



REGULAR MEETING AGENDA

Date: 1/28/2019
Time: 7:00 p.m.
City Council Chambers
701 Laurel St., Menlo Park, CA 94025

A. Call To Order

B. Roll Call

C. Reports and Announcements

Under “Reports and Announcements,” staff and Commission members may communicate general information of interest regarding matters within the jurisdiction of the Commission. No Commission discussion or action can occur on any of the presented items.

D. Public Comment

Under “Public Comment,” the public may address the Commission on any subject not listed on the agenda, and items listed under Consent Calendar. Each speaker may address the Commission once under Public Comment for a limit of three minutes. Please clearly state your name and address or political jurisdiction in which you live. The Commission cannot act on items not listed on the agenda and, therefore, the Commission cannot respond to non-agenda issues brought up under Public Comment other than to provide general information.

E. Consent Calendar

None

F. Public Hearing

F1. Use Permit/Amir Moeini/527 Bay Road:

Request for a use permit to demolish an existing single-story residence and detached garage/accessory building and construct a new two-story residence with an attached garage on a substandard lot with regard to minimum lot width and area in the R-1-U (Single Family Urban Residential) Zoning District. Some preliminary demolition work has occurred under a building permit for a remodel/addition project, but that earlier proposal is no longer being pursued. ([Staff Report #19-004-PC](#))

F2. Use Permit/Stephanie Palacios/1535 Santa Cruz Avenue:

Request for a use permit to remodel and construct first- and second-story additions to an existing residence on a substandard lot (with regard to lot width) in the R-1-S (Single Family Suburban Residential) zoning district. The proposal would exceed 50 percent of the existing floor area and is considered equivalent to a new structure. The existing structure is nonconforming with regard to

the right side setback, although this would be corrected as part of the proposed project. ([Staff Report #19-005-PC](#))

- F3. Development Agreement Annual Review/Bohannon Development Company/101-155 Constitution Drive and 100-190 Independence Drive (Menlo Gateway Project): Annual review of the property owner's good faith compliance with the terms of the Development Agreement for the Menlo Gateway (Bohannon Hotel & Office) project. ([Staff Report #19-006-PC](#))

H. Informational Items

- H1. Future Planning Commission Meeting Schedule – The upcoming Planning Commission meetings are listed here, for reference. No action will be taken on the meeting schedule, although individual Commissioners may notify staff of planned absences.
- Regular Meeting: February 11, 2019
 - Regular Meeting: February 25, 2019
 - Regular Meeting: March 11, 2019

J. Adjournment

Agendas are posted in accordance with Government Code Section 54954.2(a) or Section 54956. Members of the public can view electronic agendas and staff reports by accessing the City website at www.menlopark.org and can receive e-mail notification of agenda and staff report postings by subscribing to the "Notify Me" service at menlopark.org/notifyme. Agendas and staff reports may also be obtained by contacting the Planning Division at 650-330-6702. (Posted: 01/23/2019)

At every Regular Meeting of the Commission, in addition to the Public Comment period where the public shall have the right to address the Commission on any matters of public interest not listed on the agenda, members of the public have the right to directly address the Commission on any item listed on the agenda at a time designated by the Chair, either before or during the Commission's consideration of the item.

At every Special Meeting of the Commission, members of the public have the right to directly address the Commission on any item listed on the agenda at a time designated by the Chair, either before or during consideration of the item.

Any writing that is distributed to a majority of the Commission by any person in connection with an agenda item is a public record (subject to any exemption under the Public Records Act) and is available for inspection at the City Clerk's Office, 701 Laurel St., Menlo Park, CA 94025 during regular business hours.

Persons with disabilities, who require auxiliary aids or services in attending or participating in Commission meetings, may call the City Clerk's Office at 650-330-6620.



STAFF REPORT

Planning Commission

Meeting Date: 1/28/2019
Staff Report Number: 19-004-PC

Public Hearing: Use Permit/Amir Moeini/527 Bay Road

Recommendation

Staff recommends that the Planning Commission approve a use permit to demolish an existing single-story residence and detached garage/accessory building and construct a new two-story residence with an attached garage on a substandard lot with regard to minimum lot width and area in the R-1-U (Single Family Urban Residential) Zoning District. Some preliminary demolition work has occurred under a building permit for a remodel/addition project, but that earlier proposal is no longer being pursued. The recommended actions are included as Attachment A.

Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal.

Background

Site location

The subject property is located at 527 Bay Road, between Almanor and Berkeley Avenues, in the Flood Triangle neighborhood. Considering Bay Road in an east-west orientation, adjacent parcels north of Bay Road are also zoned R-1-U, while parcels south of Bay Road are located within unincorporated San Mateo County and zoned for single-family residential uses. Residences along both sides of Bay Road and in the general vicinity of the subject site are predominantly one-story, single-family homes featuring the ranch architectural style. A location map is included as Attachment B.

Analysis

Project description

The applicant is proposing to remove the existing single-story, single-family residence with detached one-car garage to construct a new two-story, single-family residence with an attached two-car garage. The lot is substandard with respect to minimum lot width, at 50 feet where 65 feet is required and lot area, at 5,983 square feet where 7,000 square feet is required, in the R-1-U zoning district. A data table summarizing parcel and project attributes is included as Attachment C. The project plans and the applicant's project description letter are included as Attachments D and E, respectively.

The proposed residence would be a four-bedroom and three-and-a-half bath home. The proposed project

would adhere to all Zoning Ordinance regulations for floor area limit, building coverage, and parking. The height of the proposed residence would be below the maximum permitted by the Zoning Ordinance, and the structure would comply with the daylight plane for a two-story home. The new residence would adhere to all setback requirements. Of particular note with regard to Zoning Ordinance requirements:

- The parcel is substandard with regard to lot width, at approximately 50 feet where 65 feet is required.
- The parcel is also substandard with regard to lot area at 5,983 square feet where 7,000 square feet is required.
- The second floor would be limited in size, at 28.4 percent of the maximum floor area limit (FAL).
- The second floor would be inset from the side property lines, with the exception of the staircase, which would help to minimize the perception of mass and bulk.
- The overall structure would comply with the setbacks and daylight plane requirements.

The proposed project would remove a detached single-car garage located in the rear portion of the lot and would include a two-car garage at the front of the proposed residence. The potential visual impact of the garage on the Bay Road streetscape would be minimized by a covered front entry porch to the left of the garage door. The front porch would extend from the edge of the garage to the left-side corner of the proposed residence and would provide direct access to the front door.

Design and materials

The proposed project would feature traditional design elements in a craftsman style. The residence would be clad in stucco with a composition shingle roof and painted wood trim windows. The front door is proposed to be solid mahogany. The garage door would be a craftsman styled wood door.

The second story of the proposed residence would be limited in size, concentrated toward the center of the structure, and inset on all sides, with the exception of the staircase. In particular, the second floor would be set back from the side property lines, approximately ten feet on the right and eight feet on the left, where only five feet is required.

Staff believes that the architectural style of the proposed residence would be generally attractive and well-proportioned. The second level would be inset from the ground floor, helping minimize the perception of mass and ensure neighbor privacy. The updated traditional design would be consistent with the styles in the surrounding neighborhood.

Trees and landscaping

The applicant has submitted an arborist report (Attachment F) detailing the species, size, and conditions of the heritage and non-heritage trees on site. The report discusses the potential impacts of the proposed improvements and provides recommendations for tree maintenance and protection during construction. As part of the project review process, the arborist report was reviewed by the City Arborist. All recommendations identified in the arborist report shall be implemented and will be ensured as part of condition 3g.

There are four trees located at the rear of the property that are heritage size trees. The demolition of the existing residence and the construction of the new home are not anticipated to impact the health of the existing trees; however, tree protection measures have been identified by the project arborist.

Correspondence

The applicant states that they contacted the property owners of all properties who could be directly impacted by the proposed scope of the work, and offered to address any concerns or questions that potentially impacted property owners might have. Applicant has not received any correspondence from neighbors. As of the writing of this report, staff has not received any correspondence regarding the proposed project.

Conclusion

The proposed project would develop a new single-family residence that conforms to the required setbacks for the subject property. In addition, the proposed project would provide additional covered parking for two vehicles that meets the City's current standards. Staff believes that the design, scale and materials of the proposed residence are compatible with the surrounding neighborhood. The updated traditional architectural style of the proposed residence would be generally attractive and well-proportioned. The second level would be inset from the ground floor, helping minimize the perception of mass and enhance neighbor privacy. Staff recommends that the Planning Commission approve the proposed project.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Appeal Period

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

Attachments

A. Recommended Actions

- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter
- F. Arborist Report

Disclaimer

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

Exhibits to Be Provided at Meeting

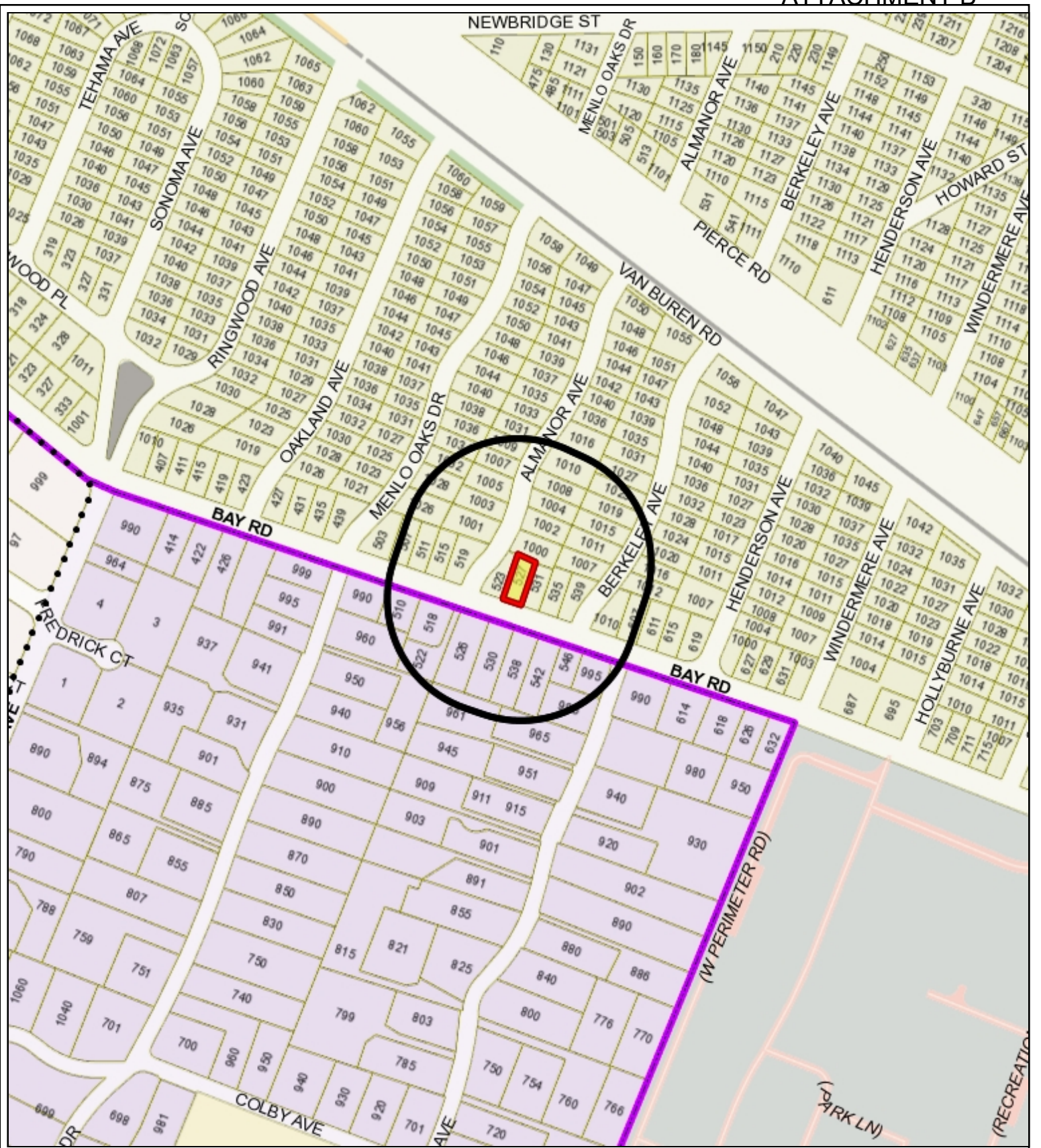
None

Report prepared by:
Fahteen Khan, Contract Assistant Planner

Report reviewed by:
Kyle Perata, Acting Principal Planner

527 Bay Road – Attachment A: Recommended Actions

LOCATION: 527 Bay Road	PROJECT NUMBER: PLN2018-00101	APPLICANT: Amir Moeini	OWNER: Amir Moeini & Shabdiz Sharef
PROPOSAL: Request for a use permit to demolish an existing single-story residence and detached garage/accessory building and construct a new two-story residence with an attached garage on a substandard lot with regard to minimum lot width and area in the R-1-U (Single Family Urban Residential) Zoning District. Some preliminary demolition work has occurred under a building permit for a remodel/addition project, but that earlier proposal is no longer being pursued.			
DECISION ENTITY: Planning Commission	DATE: January 28, 2019	ACTION: TBD	
VOTE: TBD (Barnes, Goodhue, Kennedy, Onken, Riggs, Strehl)			
<p>ACTION:</p> <ol style="list-style-type: none"> 1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, “New Construction or Conversion of Small Structures”) of the current California Environmental Quality Act (CEQA) Guidelines. 2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City. 3. Approve the use permit subject to the following standard conditions: <ol style="list-style-type: none"> a. Development of the project shall be substantially in conformance with the plans prepared by Aria Build and Construction, consisting of 14 plan sheets, dated received January 16, 2019, subject to review and approval by the Planning Division. b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies’ regulations that are directly applicable to the project. c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project. d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes. e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division. f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits. g. Heritage and street trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the arborist report by Monarch Consulting Arborists LLC, dated October 30, 2018. 			



City of Menlo Park
 Location Map
 527 Bay Rd.



Scale: 1:4,000

Drawn By: FNK

Checked By: KTP

Date: 1/28/2019

Sheet: 1

527 Bay Road – Attachment C: Data Table

	PROPOSED PROJECT	EXISTING DEVELOPMENT	ZONING ORDINANCE
Lot area	5,983.0 sf	5,983.0 sf	7,000.0 sf min.
Lot width	50.0 ft.	50.0 ft.	65.0 ft. min.
Lot depth	120.0 ft.	120.0 ft.	100.0 ft. min.
Setbacks			
Front	20.1 ft.	24.8 ft.	20.0 ft. min.
Rear	38.0 ft.	38.0 ft.	20.0 ft. min.
Side (left)	5.0 ft.	5.1 ft.	5.0 ft. min.
Side (right)	5.0 ft.	12.2 ft.	5.0 ft. min.
Building coverage	2,089.3 sf 34.9 %	1,906.9 sf 31.9 %	2,094.1 sf max. 35.0 % max.
FAL (Floor Area Limit)	2,799.8 sf	1,906.9 sf	2,800 sf max.
Square footage by floor	1,583.7 sf/1 st floor 795.9 sf/2 nd floor 420.2 sf/garage 89.1 covered porch	1,391.2 sf/1 st floor 265.5 garage	
Square footage of buildings	2,888.9 sf	1,906.9 sf	
Building height	24.6 ft.	14.5 ft.	28 ft. max.
Parking	2 covered	1 covered	1 covered/1 uncovered
Note: Areas shown highlighted indicate a nonconforming or substandard situation.			
Trees	Heritage trees: 4	Non-Heritage trees: 1	New Trees: 0
	Heritage trees proposed for removal: 0	Non-Heritage trees proposed for removal: 0	Total Number of Trees: 5

NEW 2 STORY HOME FOR: 527 BAY ROAD, MENLO PARK, CA 94025 APN: 062052170

SCOPE OF WORK

DEMOLISHING EXISTING SINGLE STORY AND BUILD NEW TWO STORY STRUCTURE PLUS DETACHED GARAGE AT THE REAR SIDE.

PROJECT DESCRIPTION

REQUEST FOR A USE PERMIT TO CONSTRUCT A NEW 2 STORY MAIN RESIDENCE AND PROPOSED GARAGE FOOTPRINT INCLUDING MINOR SITE MODIFICATIONS. THE PROJECT MAY TRIGGER THE CITY'S GRADING AND HYDROLOGY THRESHOLDS DUE TO THE OVERALL IMPERVIOUS IMPACT (PENDING ON RESUBMITTAL OF THE CITY'S IMPERVIOUS AREA WORKSHEET). ADDITIONALLY, THE PROJECT IS IN FLOODZONE X AND IS THEREFORE NOT SUBJECT TO FEMA CONSTRUCTION STANDARDS. THE PROJECT WILL MEET THE MINIMUM THRESHOLDS FOR WUFI IF ANY PROPOSED LANDSCAPING EXCEEDS 900 SF TO BE VERIFIED BY THE APPLICANT.

PROJECT DATA

ZONING DISTRICT: R-1-U
NUMBER OF FLOORS: TWO (2) STORY
FIRE PROTECTION: HAS SPRINKLER
CONSTRUCTION TYPE: VB
OCCUPANCY CLASSIFICATION: R-3/U

LOCATION: 527 BAY ROAD, MENLO PARK, CA

EXISTING USE: SINGLE FAMILY RESIDENCE
PROPOSED USE: SINGLE FAMILY RESIDENCE
ZONING: R-1-U
APPLICANT: AMIR MOEINI
PROPERTY OWNERS: AMIR MOEINI
APPLICATION(S):

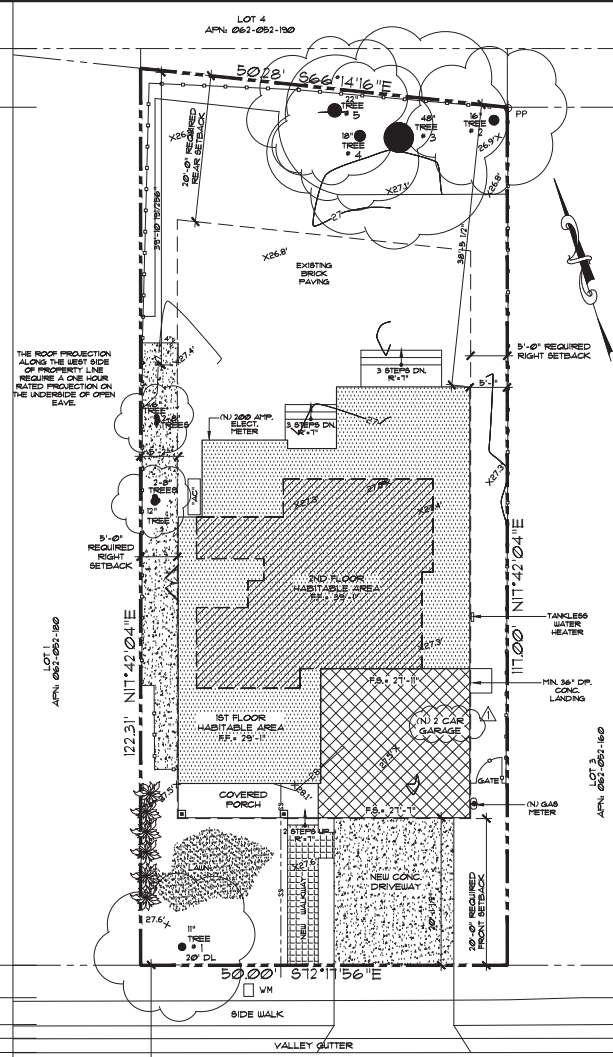
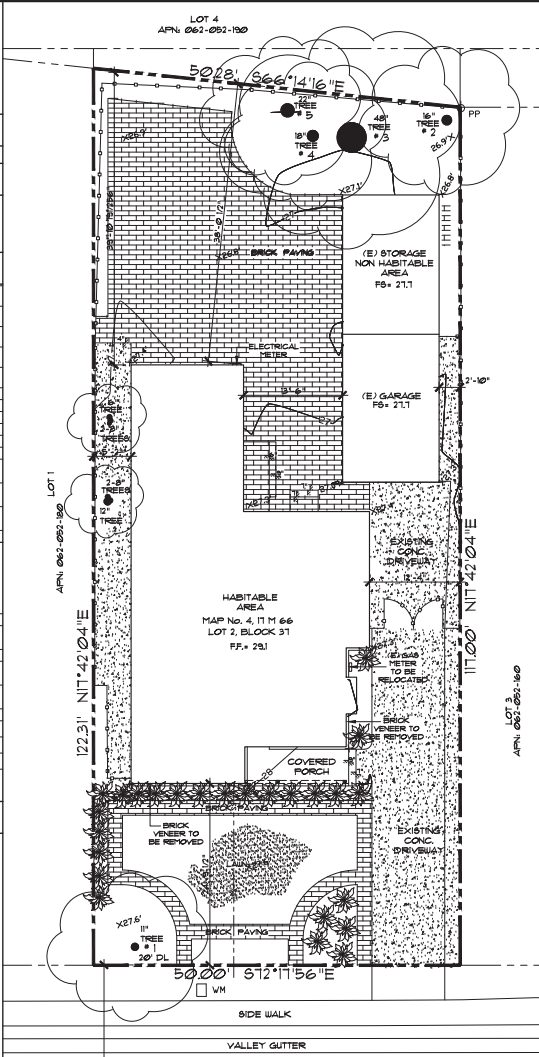
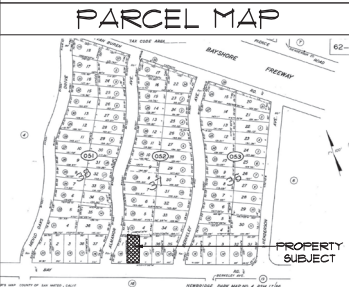
DEVELOPMENT STANDARDS	EXISTING PROJECT	PROPOSED DEVELOPMENT	ZONING ORDINANCE
LOT AREA	5,983 SQ. FT.	5,983 SQ. FT.	7,000 SQ. FT.
LOT WIDTH	50 FT.	50 FT.	65 FT. MIN.
LOT DEPTH	123 FT.	123 FT.	100 FT. MIN.
SETBACKS			
FRONT	24'-9.5"	20'-1.5"	20'-0"
REAR	38'-0.5"	38'-5.5"	20'-0"
SIZE (LEFT)	5'-2"	5'-2"	10% LOT WIDTH, NOT LESS THAN 5'-0"
SIZE (RIGHT)	2'-10"	5'-1"	LESS THAN 5'-0"
BUILDING COVERAGE	1,978.07 SF. 33.02 %	2,092.99 SF. 34.98 %	2,094.05 SQ. FT. 35% MAX.
FAR (FLOOR AREA RATIO)**	N/A	N/A	N/A
FAL (FLOOR AREA LIMIT)**	1,906.98 SF.	2,799.98	2,800 SQ. FT.
SQUARE FOOTAGE BY FLOOR			
BELOW GRADE	N/A	N/A	
1ST	1,391.20 SF.	1,585.72 SF.	
2ND	0	795.94 SF.	
GARAGE	285.83 SF.	420.22 SF.	
ACCESSORY BUILDING(S)	N/A	N/A	
OTHER (AREA "B")	250.23 SF.	0.00 SF.	
SQUARE FOOTAGE OF BUILDINGS	1,906.98 SF. 31.87 %	2,799.98 46.79 %	
BUILDING HEIGHT	+/- 14'-6"	24'-6"	28'
LANDSCAPING***	N/A	N/A	
PAVING***	N/A	N/A	
PARKING	1 COVERED	2 COVERED	
DEFINE BASIS FOR PARKING			

DRAWING INDEX

- ARCHITECTURAL**
- 1 COVER SHEET PLUS EXISTING AND PROPOSED SITE PLANS
 - 2 TOPOGRAPHIC MAP
 - 3 AERIAL PLAN AND STREET SCAPES
 - 4 PHOTOGRAPHS OF EXISTING HOUSE
 - 5 EXISTING AND PROPOSED FIRST FLOOR PLANS
 - 6 EXISTING AND PROPOSED ROOF PLANS
 - 7 PROPOSED FRONT AND REAR ELEVATIONS
 - 8 PROPOSED REAR AND LEFT ELEVATIONS
 - 9 SECTIONS AND DETAILS
 - 10 AREA CALCULATION
 - 11 BEST MANAGEMENT PRACTICES
 - 12 MASTER PLANTING PLAN
 - 13 HYDROZONE PLAN / IRRIGATION NOTES

NOTES:

- ANY AND ALL EXCESSIVELY ANNOYING, LOUD OR UNUSUAL NOISES OR VIBRATION SUCH AS OFFEND THE PEACE AND QUIET OF PERSONS OF ORDINARY SENSIBILITIES AND WHICH INTERFERE WITH THE COMFORTABLE ENJOYMENT OF LIFE OR PROPERTY AND AFFECT AT THE SAME TIME AND ENTIRE NEIGHBORHOOD OR ANY CONSIDERABLE NUMBER OF PERSONS SHALL BE CONSIDERED A NOISE DISTURBANCE.
- CONSTRUCTION ACTIVITIES ARE LIMITED TO THE HOURS OF (8) EIGHT AM, AND (6) SIX PM, MONDAY THROUGH FRIDAY. CONSTRUCTION ACTIVITIES BY RESIDENTS AND PROPERTY OWNERS PERSONALLY UNDERTAKING CONSTRUCTION ACTIVITIES TO MAINTAIN OR IMPROVE THEIR PROPERTY ARE ALLOWED ON SATURDAY, SUNDAY OR HOLIDAYS BETWEEN THE HOURS OF (9) NINE AM, AND (5) FIVE PM.
- A SIGN CONTAINING THE PERMITTED HOURS OF CONSTRUCTION ACTIVITIES EXCEEDING THE NOISE LIMIT SET FORTH IN SECTION 8.06.030, SHALL BE POSTED AT ALL ENTRANCES TO A CONSTRUCTION SITE UPON THE COMMENCEMENT OF CONSTRUCTION FOR THE PURPOSE OF INFORMING CONTRACTORS AND SUBCONTRACTORS AND ALL OTHER PERSONS AT THE CONSTRUCTION SITE OF THE BASIC REQUIREMENTS OF THIS CHAPTER. THE SIGN SHALL BE AT LEAST (9) FEET ABOVE GROUND LEVEL, AND SHALL CONSIST OF A WHITE BACKGROUND WITH BLACK LETTERS.
- NOTWITHSTANDING ANY OTHER PROVISION SET FORTH ABOVE, ALL POWERED EQUIPMENT SHALL COMPLY WITH THE LIMITS SET FORTH IN SECTION 8.06.040(d).
- ANY FRONTAGE IMPROVEMENTS WHICH ARE DAMAGED AS A RESULT OF CONSTRUCTION WILL BE REQUIRED TO BE REPLACED.
- ALL FRONTAGE IMPROVEMENT WORK SHALL BE IN ACCORDANCE WITH THE LATEST VERSION OF THE CITY STANDARD DETAILS. AN ENCROACHMENT PERMIT FROM THE ENGINEERING DIVISION IS REQUIRED PRIOR TO ANY CONSTRUCTION ACTIVITIES, INCLUDING UTILITY LATERALS, IN THE PUBLIC RIGHT OF WAY.



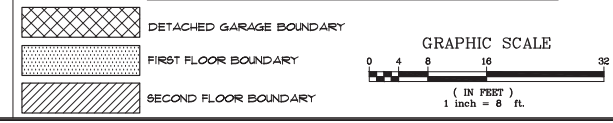
REVISIONS	BY
11-28-18	BK

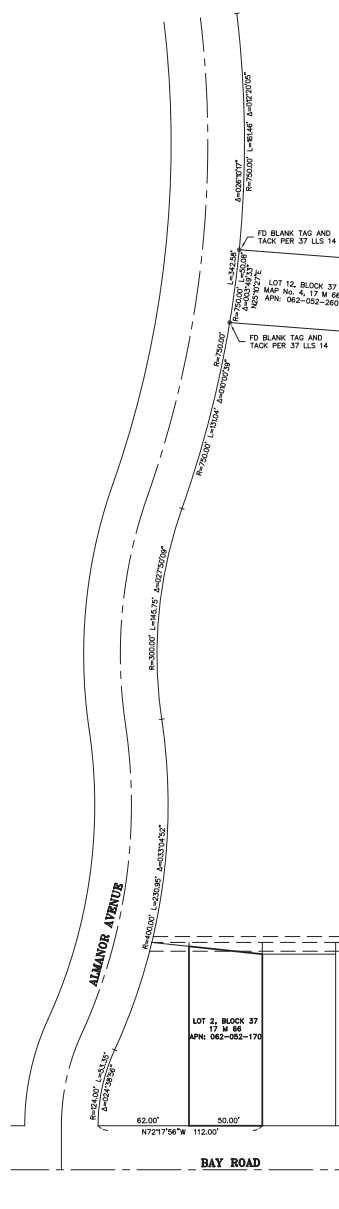
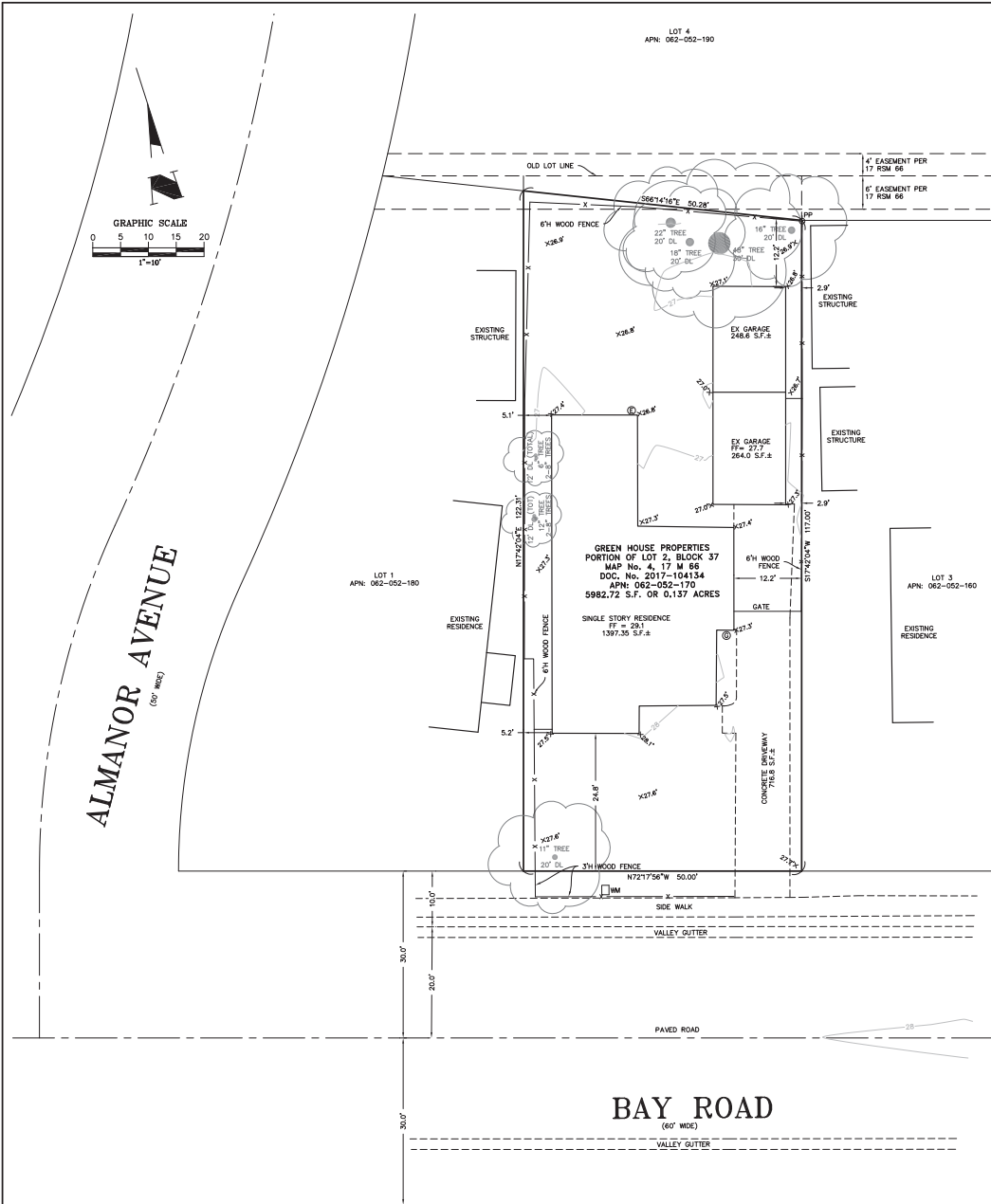
ARIA
BUILD AND CONSTRUCTION
1245 S WINCHESTER BLVD.
SUITE 313, SAN JOSE, CA 95128
Build & Construction PH: (408) 816-1134

**COVER SHEET PLUS
EXISTING AND PROPOSED
SITE PLANS**

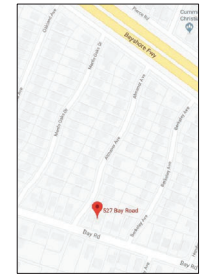
NEW 2 STORY HOME FOR:
527 BAY ROAD,
MENLO PARK, CA 94025
APN: 062052170

DATE	02/07/17
SCALE	1/8" = 1'-0"
DRAWN	BK
JOB	
SHEET	
OF SHEETS	





BASIS OF BEARINGS DETERMINATION
SCALE: 1" = 40'



VICINITY MAP
NOT TO SCALE

NOTES

- (1) A CURRENT TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY GARY D. CARNES, LAND SURVEYOR. EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.
- (2) TREE SPECIES AND DRP LINES ARE APPROXIMATE AND SHOULD BE VERIFIED BY A CERTIFIED ARBORIST.
- (3) ALL DISTANCES & DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.
- (4) THE UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE APPROXIMATE AND BASED ON EVIDENCE AT THE SURFACE.
- (5) BUILDING DIMENSIONS SHOWN ON THIS MAP ARE MEASURED FROM THE TRIM, STUCCO OR SOING AT RIGHT ANGLES TO THE PROPERTY LINES.

ABBREVIATIONS

- WM WATER METER
- E ELECTRIC METER
- FP POWER/UTILITY POLE
- FT FINISH FLOOR ELEVATION
- DL DRIP LINE
- EX EXISTING
- FD FOUND

LEGEND

- PROPERTY BOUNDARY
- - - LOT LINE
- - - LIP OF GUTTER/PAVEMENT

BASIS OF BEARINGS

THE BEARINGS SHOWN ON THIS MAP ARE BASED ON THE CHORD BEARING OF THE SOUTHEASTERLY LINE OF ALMANOR AVENUE, AS FOUND MONUMENTED AND RECORDED AS N 25°10'27"E IN VOLUME 37 OF L.L.S. MAPS AT PAGE 14, SAN MATEO COUNTY RECORDS.

BASIS OF ELEVATION

THE ELEVATIONS SHOWN ON THIS MAP ARE BASED ON THE CITY OF MENLO PARK BENCHMARK PETS. ELEVATION = 22.03 (NAVD88)

BUILDING SETBACKS

FRONT SETBACK - 20 FEET
 REAR SETBACK - 20 FEET
 SIDE SETBACK - 10% OF MINIMUM LOT WIDTH FOR SIDES, BUT NOT LESS THAN 5 FEET OR MORE THAN 10 FEET, EXCEPT STREET SIDES OF CORNER LOTS WHICH SHALL BE A MINIMUM OF 12 FEET.

ZONE - RIU

SURVEYORS STATEMENT

I CERTIFY THAT THIS PARCELS BOUNDARY WAS ESTABLISHED BY ME OR UNDER MY SUPERVISION AND IS BASED ON A FIELD SURVEY IN CONFORMANCE WITH THE LAND SURVEYORS ACT. ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

Gary Carnes
 GARY CARNES, PLS 4516

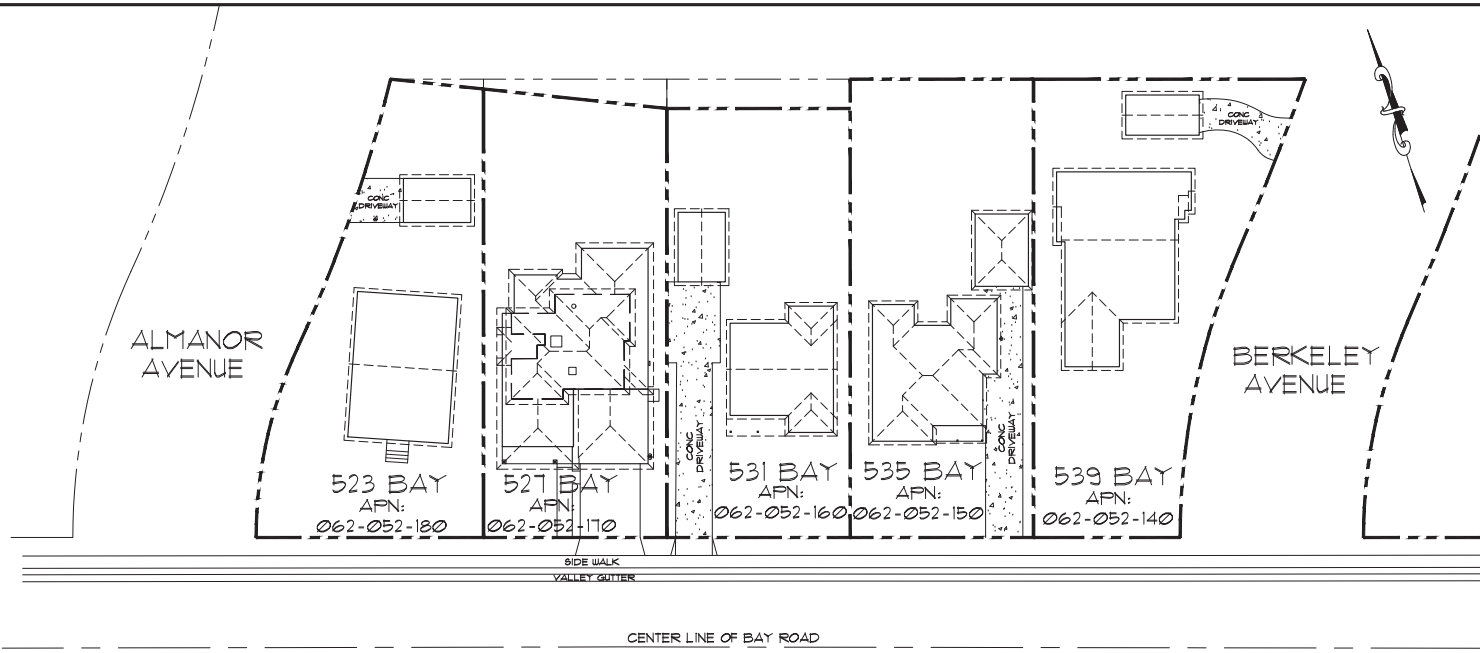


CARNES & ASSOCIATES
 9505 SUGAR BABE DRIVE
 GILROY, CALIFORNIA 95020
 408-847-2013

REVISION	No.	DATE

TOPOGRAPHIC MAP FOR AMIR MOEINI
 A PORTION OF LOT 2, BLOCK 37
 MAP No. 4, 17 M 66
 MAP No. 4, 17 M 66
 CITY OF MENLO PARK, CALIF..

SHEET	1	DATE	08-08-18
OF	1	SCALE	1" = 10'
DRAWN BY	C.L.	PROJ. MANAGER	G.C.
Job No.	1800		
FILE	AMLLTWP		



AERIAL PLAN



STREETSCAPE



523 BAY



523 BAY



531 BAY



531 BAY



531 BAY



535 BAY



535 BAY

REVISIONS	BY

ARIA
 BUILD AND CONSTRUCTION
 1245 S WINCHESTER BLVD.
 SUITE 313, SAN JOSE, CA 95128
 Build & Construction PH: (408) 816-1134

AERIAL PLAN AND
 STREET SCAPE

NEW 2 STORY HOME FOR:
 521 BAY ROAD,
 MENLO PARK, CA 94025
 APN: 062052170

DATE	08/20/18
SCALE	1/8"=1'-0"
DRAWN	BK
JOB	
SHEET	
OF SHEETS	

A1



CAMERA NO. 10



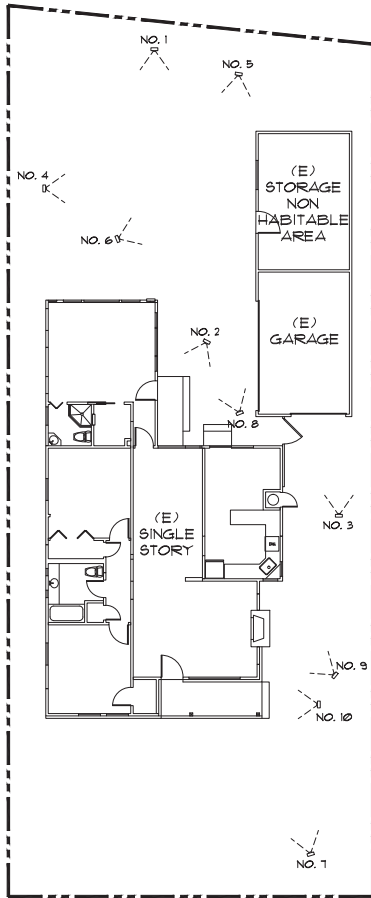
CAMERA NO. 9



CAMERA NO. 5



CAMERA NO. 1



CAMERA NO. 6



CAMERA NO. 2



CAMERA NO. 7



CAMERA NO. 3



CAMERA NO. 8



CAMERA NO. 4

REVISIONS	BY

ARIA
BUILD AND CONSTRUCTION
1245 S WINCHESTER BLVD.
SUITE 313, SAN JOSE, CA 95128
Build & Construction PH: (408) 816-1134

ARIA
Build & Construction

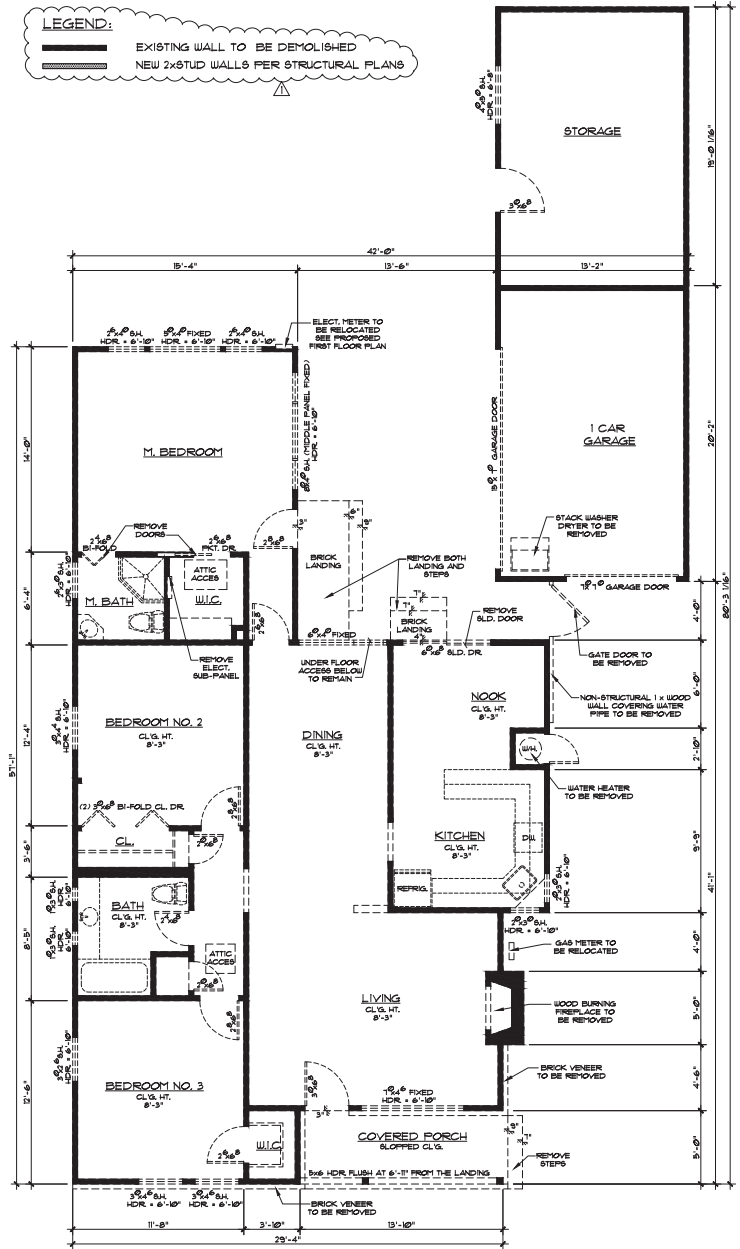
PHOTOGRAPHS

NEW 2 STORY HOME FOR:
527 BAY ROAD,
MENLO PARK, CA 94025
APN: 062052170

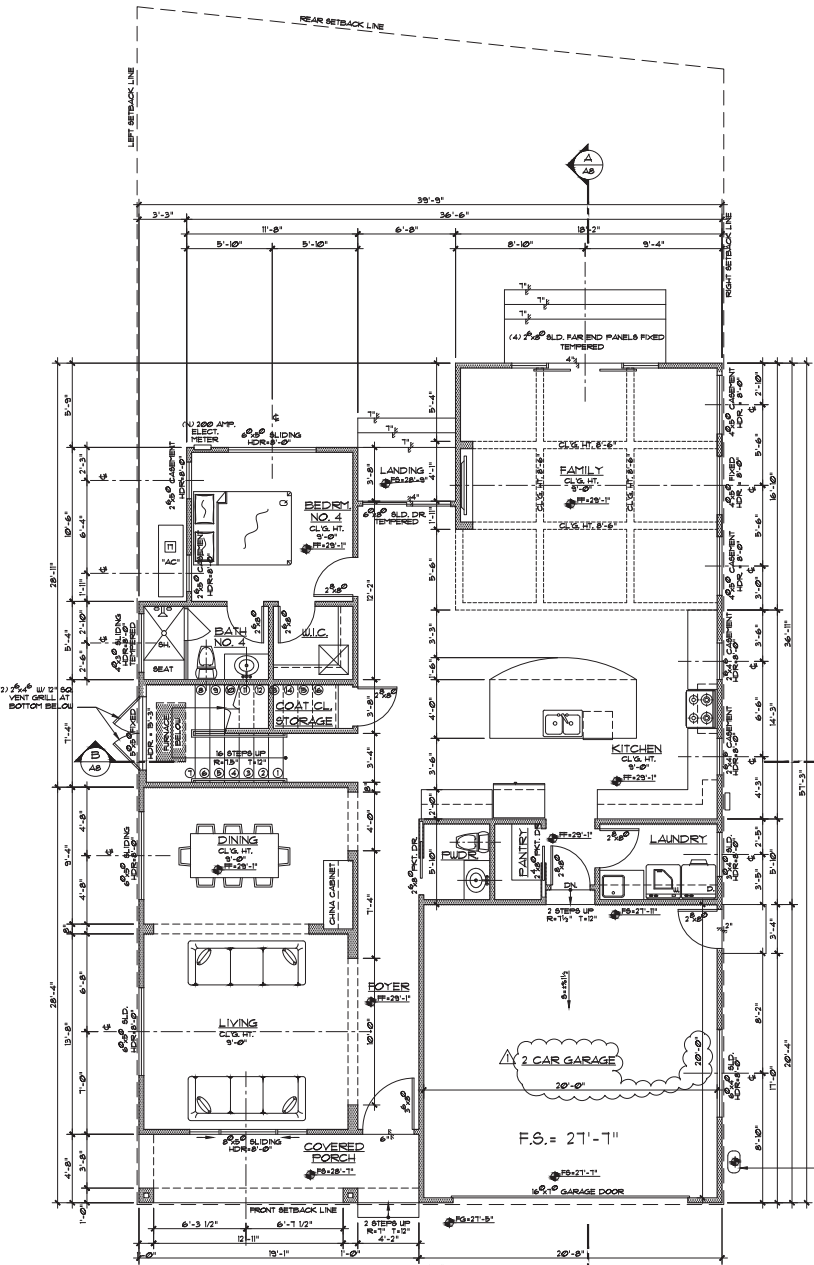
DATE	08/20/18
SCALE	N.T.A.
DRAWN	B.K.
JOB	
SHEET	

A2
OF SHEETS

LEGEND:
 - - - - - EXISTING WALL TO BE DEMOLISHED
 = = = = = NEW 2x6 STUD WALLS PER STRUCTURAL PLANS



EXISTING / DEMO FLOOR PLAN
 SC: 1/4" = 1'-0"



PROPOSED FIRST FLOOR
 SC: 1/4" = 1'-0"

PLAN NOTES:

- 101 WATER CLOSET (28 GAL. PER FLUSH)
- 102 COUNTER TOP OF VANITY
- 103 36"x72" IN BATH AT FIRST FLOOR
- 104 48"x72" IN BATH NO. 2
- 105 60"x72" IN MASTER BATH
- 106 SHELF AND POLE
- 107 TILED SHOWER W/ TEMPERED GLASS ENCLOSURE
- 108 CERAMIC TILE OVER A NONFIRE RESISTANT UNDERLAYMENT TO A HEIGHT OF 2" ABOVE THE DRAIN FLUSH. WATER RESISTANT GYPSUM BACKING BOARD SHALL NOT BE USED OVER A VAPOR RETARDER IN SHOWER OR BATH/TUB COMPARTMENT.
- 109 FIBER-CEMENT, FIBER-MAT REINFORCED CEMENT, GLASS MAT GYPSUM OR FIBER-REINFORCED GYPSUM BACKINGS SUCH AS SONOSHEED, HARDI-BACKER, DIBER BUILD OR EQUIVALENT.
- 110 ALL DOORS AND PANELS OF SHOWER AND BATH/TUB ENCLOSURES SHALL BE FULLY TEMPERED, LAMINATED SAFETY GLASS OR APPROVED PLASTIC
- 111 NEW WASHER MACHINE LOCATION
- 112 NEW DRYER MACHINE LOCATION
- 113 NEW SINK
- 114 NEW 200 AMP. ELECT. METER
- 115 NEW GAS METER LOCATION
- 116 8 ROUND SHELVES
- 117 NEW CONC. LANDING AND STEPS PER STRUCTURAL PLAN
- 118 NEW TEMPERED GLAZING SLIDING DOOR
- 119 NEW SOLID CORE ENTRY DOOR
- 120 32" DOUBLE SINK W/ GARBAGE DISPOSAL
- 121 120" AND 114"24" LOCATION IT WILL NOT EXCEED 60" DBA" AT NIGHT AND 60" DBA" DURING THE DAY AT NEAREST RESIDENTIAL
- 122 36" RANG. W/ HOOD ABOVE
- 123 NEW DISH WASHER LOCATION
- 124 NO DISHWASHER MACHINE SHALL BE DIRECTLY CONNECTED TO A DRAINAGE SYSTEM OR FOOD DISPOSER WITHOUT THE USE OF AN APPROVED AIR GAP FITTING ON THE DISCHARGE SIDE OF DRAINING MACHINE. CRC SECTION 807.5.
- 125 UPPER CABINET MIN. 18" ABOVE THE SURFACE OF LOWER CABINET
- 126 MIN. 34" HIGH LOWER CABINET
- 127 NO REFRIGERATOR
- 128 NOT USED
- 129 GAS BURNING FIREPLACE-HEAT 4 GLO. 50-550 BTU-E
- 130 ATTIC ACCESS BELOW SEE SHEET 101P.
- 131 SLAT SCREEN TV ON THE WALL OVER FIREPLACE
- 132 NEW TANKLESS WATER HEATER
- 133 FURNACE LOCATION BELOW LANDING THE FURNACES MUST HAVE A 5% AIR LE
- 134 30"x30" ATTIC ACCESS
- 135 ATTIC ACCESS DOORS SHALL HAVE PERMANENTLY ATTACHED INSULATION USING ADHESIVE OR MECHANICAL FASTENERS. THE INSULATION SHALL BE GASKETED TO PREVENT AIR LEAKAGE.
- 136 CHINA CABINET
- 137 NOT USED
- 138 24" SQ. SKYLIGHT OPENING
- 139 36" SQ. SKYLIGHT OPENING
- 140 RUN TUNNEL

141 NEW 24"x24" UNDER FLOOR ACCESS
 THE SIZE OF ACCESS OPENING TO NEW CHALLENGE FROM EXISTING CHALLENGE IS AT LEAST 18"x24".

PROVIDE ONE LAYER OF 5/8" GYPSUM BOARD ON THE WALLS AND SOFFIT FOR THE ENCLOSED ACCESSIBLE SPACE UNDER THE STAIRS. CRC SECTION 750.2.1.

SCHEDULE OF NEW PLUMBING FIXTURES

WATER CLOSETS	128 GALLONS PER FLUSH
SINGLE SHOWERHEAD	2.0 GPM AT 80 PSI
LAVATORY FAUCET	1.2 GPM AT 60 PSI (MIN. SHALL NOT BE LESS THAN 0.8 GPM AT 20 PSI)
KITCHEN FAUCET	1.8 GPM AT 60 PSI

PLUMBING PLAN NOTES:

- SHOWER HEAD SHALL HAVE A WATER FLOW RATE OF NOTE MORE THAN 2.0 GALLONS PER MINUTES AT 80 PSI. (CGCB 4305.1)
- THE MAXIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 60 PSI. (CGCB 4303.1.4)

GRAPHIC SCALE

(IN FEET)
 1 inch = 4 ft.

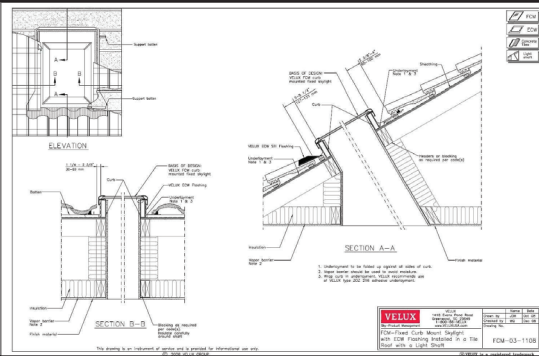
REVISIONS

NO.	DATE	BY
1	11-28-18	BK

NEW 2 STORY HOME FOR:
 527 BAY ROAD,
 MENLO PARK, CA 94025
 APN: 062052170

ARIA
 BUILD AND CONSTRUCTION
 1245 S WINCHESTER BLVD.
 SUITE 313, SAN JOSE, CA 95128
 Build & Construction P.H. (408) 816-1134

DATE: 02/07/19
 SCALE: 1/4" = 1'-0"
 DRAWN: BK
 JOB: SHEET
 OF: **A3** SHEETS



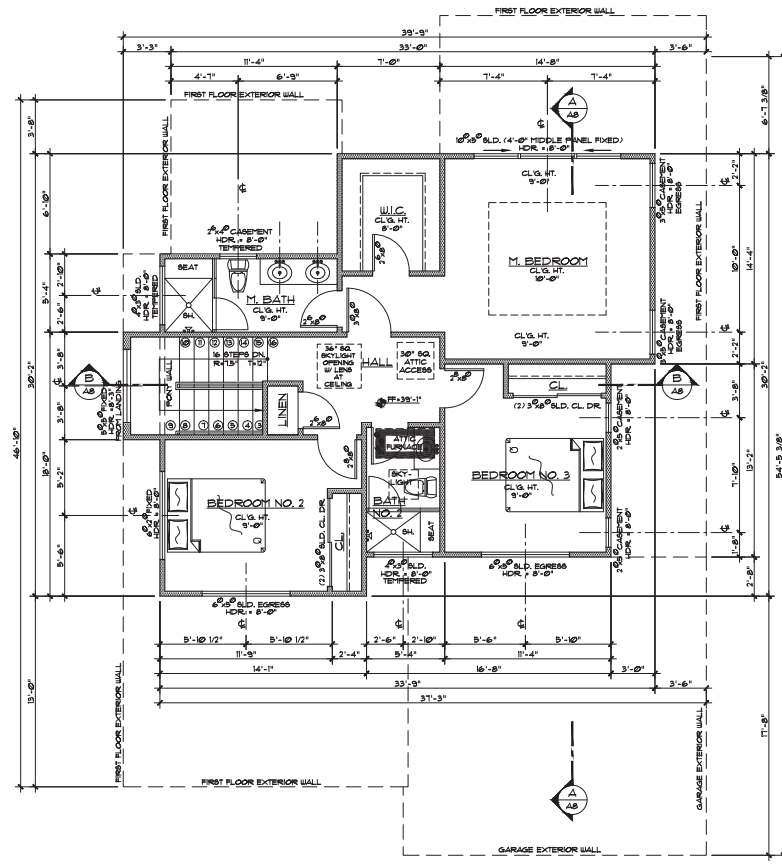
PROPOSE SKYLIGHTS DO NOT HAVE LENS

SCHEDULE OF NEW PLUMBING FIXTURES	
WATER CLOSETS	128 GALLONS PER FLUSH
SINGLE SHOWERHEAD	2.0 GPM AT 80 PSI
LAVATORY FAUCET	1.2 GPM AT 60 PSI (MIN. SHALL NOT BE LESS THAN Ø8 GPM AT 20 PSI)
KITCHEN FAUCET	1.8 GPM AT 60 PSI

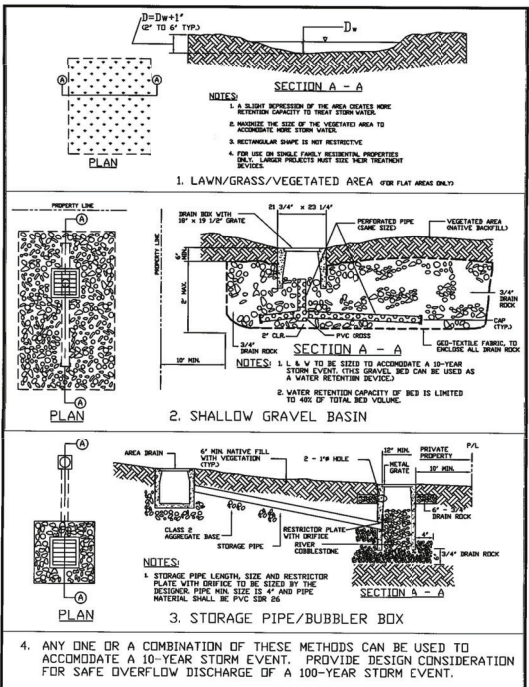
PLUMBING PLAN NOTES:
 SHOWER HEADS SHALL HAVE A WATER FLOW RATE OF NOT MORE THAN 2.0 GALLONS PER MINUTE AT 80 PSI (CGSB 4305.11)
 THE HIGHEST FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 60 PSI (CGSB 4305.11)

PLAN NOTES:

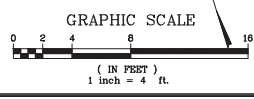
- 01 WATER CLOSET (38 GAL. PER FLUSH)
- 02 COUNTER TOP VANTY
- 03 99"x31" IN BATH AT FIRST FLOOR
- 04 47"x31" IN BATH NO2
- 05 60"x20" IN MASTER BATH
- 06 SHELF AND POLE
- 07 TILED SHOWER W/ TEMPERED GLASS ENCLOSURE
- 08 CERAMIC TILE OVER A MOISTURE RESISTANT UNDERLAYMENT TO A HEIGHT OF 1" ABOVE THE DRAIN NILET. WATER-RESISTANT GYPSUM BACKING BOARD SHALL NOT BE USED OVER A VAPOR RETARDER IN SHOWER OR BATH TUB COMPARTMENT.
- 09 FIBER-CEMENT, FIBER-MAT REINFORCED CEMENT, GLASS MAT GYPSUM OR FIBER-REINFORCED GYPSUM BACKERS SUCH AS WONDER-BOARD, HARDI-BACKER, DENS SHEILD OR EQUIVALENT.
- 10 ALL DOORS AND PANELS OF SHOWER AND BATH TUB ENCLOSURES SHALL BE FULLY TEMPERED, LAMINATED SAFETY GLASS OR APPROVED PLASTIC.
- 11 NEW WASHER MACHINE LOCATION
- 12 PROVIDE A WATER TIGHT PAN OF CORROSION RESISTANT MATERIALS BENEATH THE WASHER WITH A DRAIN TO AN APPROVED LOCATION.
- 13 NEW DRYER MACHINE LOCATION
- 14 NEW SINK
- 15 NEW 200 AMP. ELECT. METER
- 16 EXISTING GAS METER TO REMAIN
- 17 9 ROUN SHELVES
- 18 NEW CONC. LANDING AND STEPS PER STRUCTURAL PLAN
- 19 NEW TEMPERED GLAZING SLIDING DOOR
- 20 NEW SOLID CORE ENTRY DOOR
- 21 3" DOUBLE SINK
- 22 LAZY SUSAN
- 23 30" WIDE RANG W/ HOOD ABOVE
- 24 NEW DISH WASHER LOCATION
- 25 NO DISHWASHER MACHINE SHALL BE DIRECTLY CONNECTED TO A DRAINAGE SYSTEM OR FOOD DISPOSER WITHOUT THE USE OF AN APPROVED AIR GAP FITTING ON THE DISCHARGE SIDE OF DISHWASHER MACHINE. CPC SECTION 501.3.
- 26 UPPER CABINET MIN. 36" ABOVE THE SURFACE OF LOWER CABINET
- 27 MIN. 36" HIGH LOWER CABINET
- 28 36" REFRIGERATOR
- 29 30" MICROWAVE/OVEN
- 30 GAS BURNING FIREPLACE
- 31 FLAT SCREEN TV. ON THE WALL OVER FIREPLACE
- 32 NEW TANKLESS WATER HEATER
- 33 FURNACE LOCATION BELOW LANDING
- 34 FURNACE LOCATION IN ATTIC
- 35 PROVIDE THE FOLLOWING FOR THE ATTIC FURNACE PER CPC SECTION 504.4.
- 36 PASSAGEWAYS LESS THAN 6'-0" IN HEIGHT SHALL BE NOT MORE THAN 30 FEET IN LENGTH WHEN MEASURED ALONG THE CENTER LINE OF THE PASSAGEWAY TO THE ACCESS OPENING TO EQUIPMENT. SECTION 504.4.1
- 37 UN-OBSTRUCTED PASSAGEWAYS WITH A SOLID FLOORING AT LEAST 24" WIDE THROUGHOUT ITS LENGTH. SECTION 504.4.2
- 38 30" DIA. LEVEL WORK PLATFORM IN FRONT OF THE SERVICE SIDE OF THE APPLIANCE. SECTION 504.4.3
- 39 PERMANENT 1/2" RECEPTACLE OUTLET AND LIGHTING FIXTURE NEAR THE APPLIANCE. LIGHTING FIXTURE SHALL BE CONTROLLED BY A SWITCH AT THE ENTRANCE TO THE PASSAGEWAY. SECTION 504.4.4.
- 40 THE FURNACES MUST HAVE A 3/4"
- 41 30"x30" ATTIC ACCESS ON CEILING
- 42 ATTIC ACCESS DOORS SHALL HAVE PERMANENTLY ATTACHED INSULATION JENAS ADHESIVE OR MECHANICAL FASTENERS. THE ACCESS SHALL BE GASKETED TO PREVENT AIR LEAKAGE.
- 43 NOT USED
- 44 48" SQ. SKYLIGHT OPENING
- 45 24" SQ. SKYLIGHT OPENING
- 46 36" SQ. SKYLIGHT OPENING
- 47 BALCONY GUARD-OPEN GUARDS SHALL HAVE INTERMEDIATE RAILS SUCH THAT A SPHERE 4" CANNOT PASS THROUGH R321.3.



PROPOSED SECOND FLOOR
 SC: 1/4"=1'-0"



CITY OF MENLO PARK STANDARD DETAILS	
NO. REVISIONS	DATE
1	08/20/08
TYPICAL FILTER MEDIUM AREA (FOR STORM WATER RETENTION AND/OR FILTRATION SYSTEMS)	
DESIGNED BY	DATE
DRN-18	02/20/08
CHECKED BY	SCALE
VP	NTS
DATE	SCALE
02/20/08	NTS
PAGE	18
DATE	SCALE
02/20/08	NTS
DATE	SCALE
02/20/08	NTS



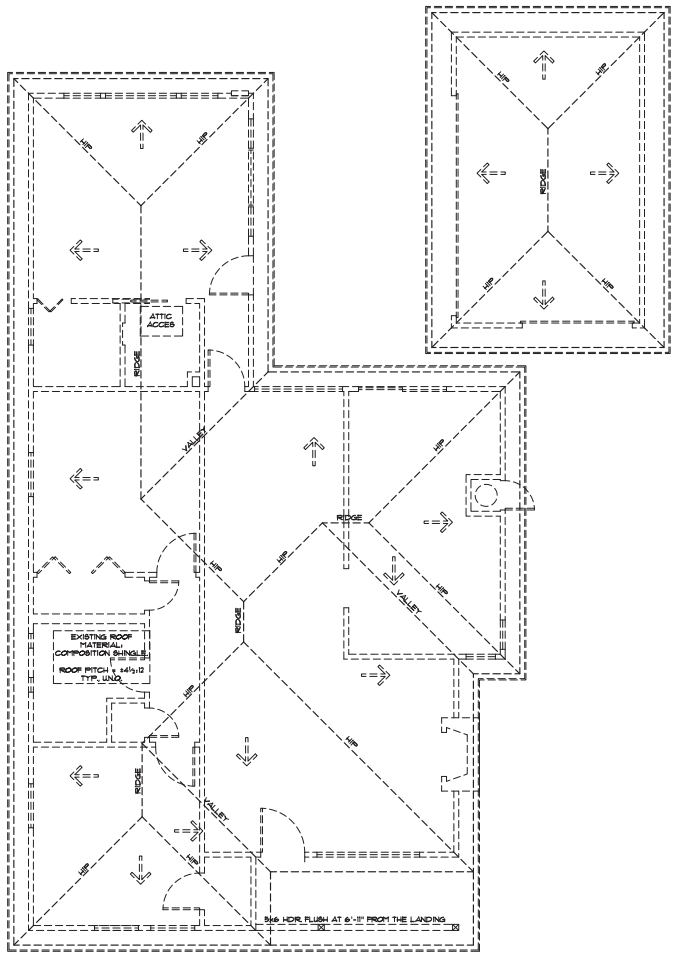
REVISIONS	BY
11-28-18	BK

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 SUITE 313, SAN JOSE, CA 95128
 PH: (408) 816-1134

PROPOSED SECOND FLOOR PLAN

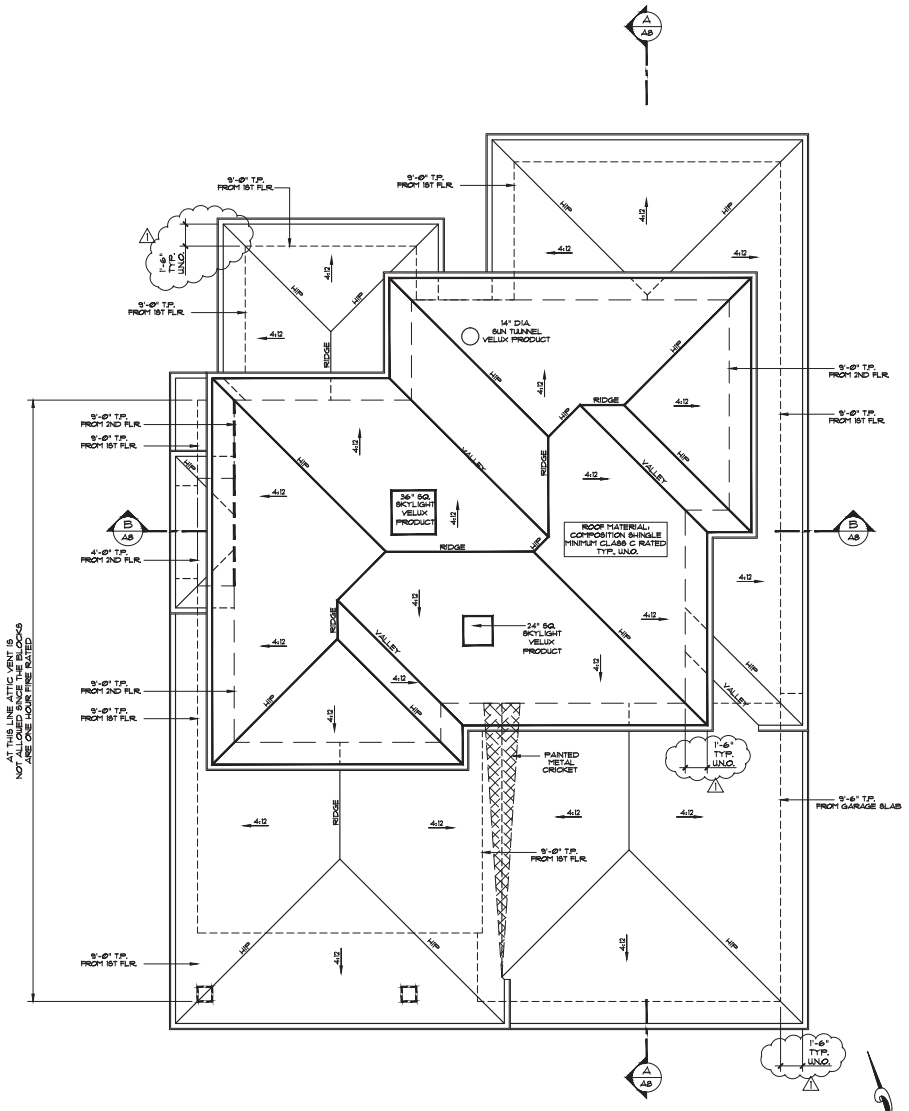
NEW 2 STORY HOME FOR:
 527 BAY PARK,
 MENLO PARK, CA 94025
 APN: 062052170

DATE: 02/07/11
 SCALE: 1/4" = 1'-0"
 DRAWN: BK
 JOB: BK
 SHEET: 44
 OF: SHEETS

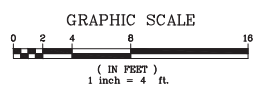


EXISTING / DEMO ROOF PLAN
 SC: 1/4"=1'-0"

WHOLE EXISTING ROOF WILL BE DEMOLISHED



PROPOSED ROOF PLAN
 SC: 1/4"=1'-0"



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11-28-18	BK

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EXISTING AND PROPOSED ROOF PLANS

NEW 2 STORY HOME FOR:
 527 BAY ROAD,
 MENLO PARK, CA 94025
 APN: 062052170

DATE	02/07/18
SCALE	1/4" = 1'-0"
DRAWN	BK
SHEET	45
OF SHEETS	

MATERIAL BOARD:

EXTERIOR FINISHING:
THREE COAT, 1/4" MIN. THICK STUCCO PAINTED WITH WITH KELLYMORE COLOR NO. 23 SWISS COFFEE

GARAGE DOOR:
CRAFTSMAN STYLE WOOD GARAGE DOOR

FRONT DOOR:
CLASSIC SERIES MAHOGANY SOLID WOOD

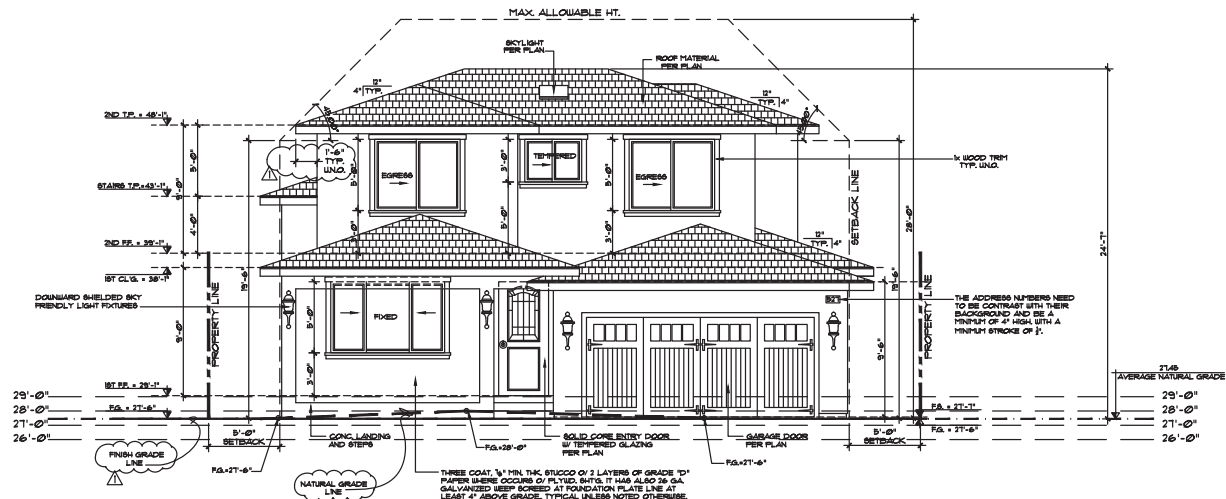
WINDOW TRIM:
CRAFTSMAN STYLE 1x4 WOOD TRIM PAINTED WITH KELLYMORE COLOR NO. 23 SWISS COFFEE

ROOF MATERIAL:
COMPOSITION SHINGLE
CHARCOAL BLACK

WINDOW ALL FROM MILGARD ALUMINUM PRODUCT

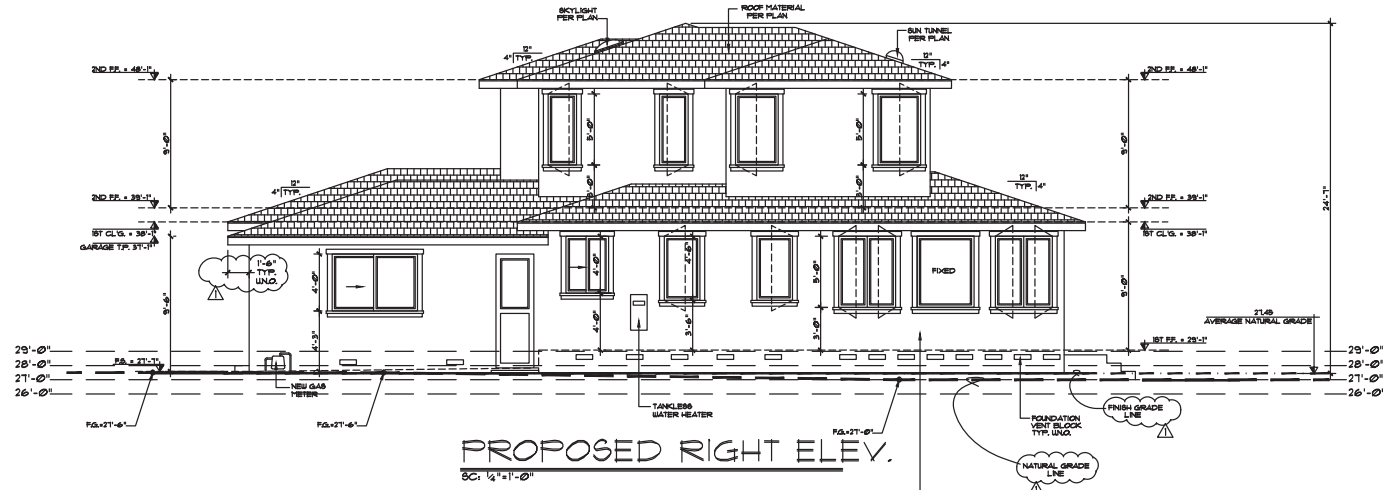
EXTERIOR PLASTER REQUIREMENTS:

4. EXTERIOR PLASTER SHALL BE 2 INCH THICK MINIMUM (3 COATS) OVER METAL LATH OR WIRE FABRIC LATH. CRC SECTION 90522 AND TABLE 90521.
5. A WATER RESISTIVE VAPOR-PERMEABLE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO 2 LAYERS OF GRADE D PAPER SHALL BE INSTALLED UNDER EXTERIOR PLASTER APPLIED OVER WOOD SHIMS. BREATHING CRC SECTION 90513.
6. A WEAR COURSE SHALL BE PROVIDED AT THE FOUNDATION PLATE LINE ON ALL WALLS COVERED WITH EXTERIOR PLASTER. SCORING SHALL BE PLACED AT 1" MINIMUM ABOVE PAVED AREAS AND 4" MINIMUM ABOVE GRADE. CRC SECTION 90513A.



PROPOSED FRONT ELEV.

AVERAGE NATURAL GRADE
(28.1 + 26.8) / 2 = 27.45



PROPOSED RIGHT ELEV.

GRAPHIC SCALE
(IN FEET)
1 inch = 4 ft.

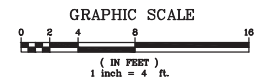
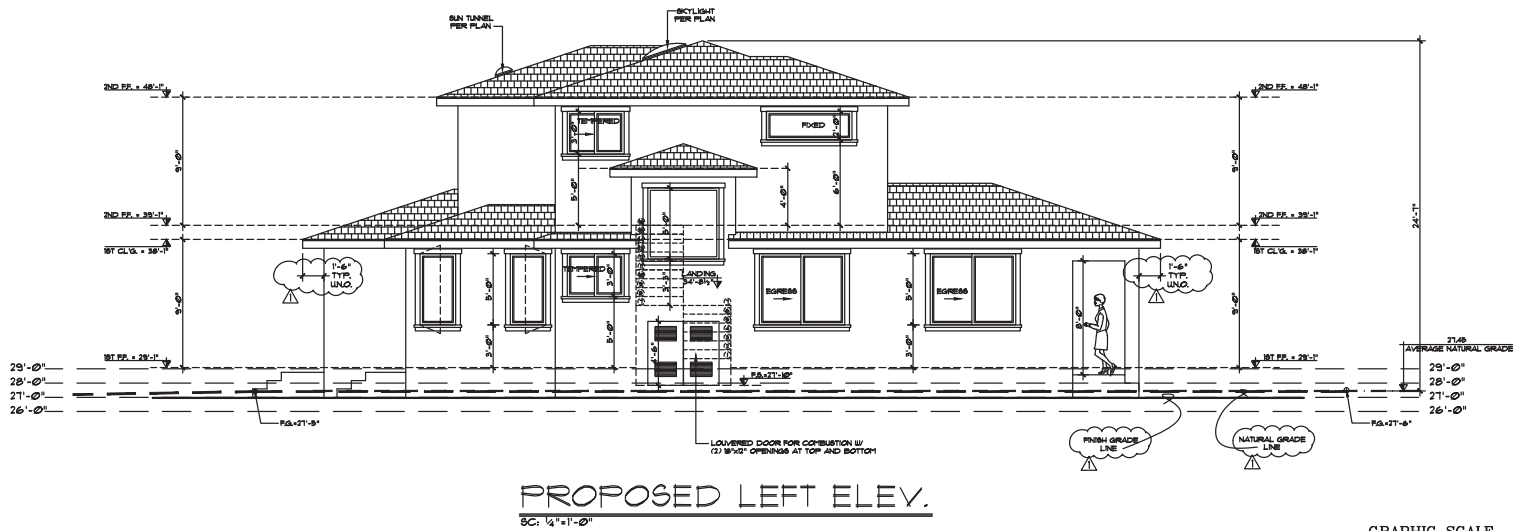
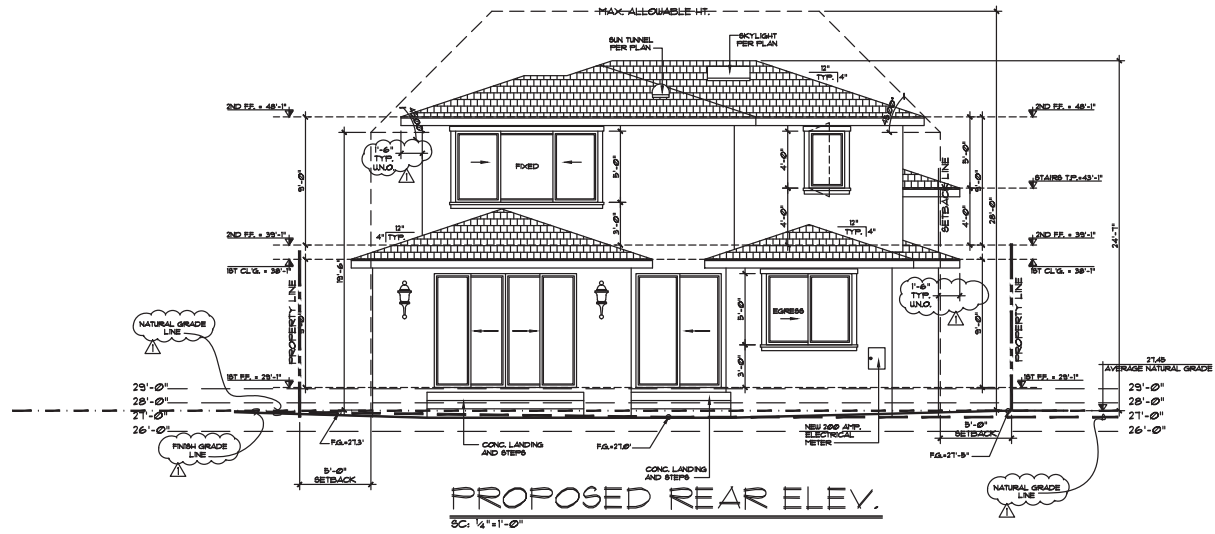
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11-28-18	BK

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SUITE 313 SAN JOSE, CA 95128
Build & Construction Ph: (408) 816-1134

PROPOSED FRONT AND RIGHT ELEVATIONS

NEW 2 STORY HOME FOR:
521 BAY ROAD,
MENLO PARK, CA 94025
APN: 062052110

DATE	07/05/17
SCALE	1/4" = 1'-0"
DRAWN	BK
JOB	
SHEET	A6
OF	SHEETS



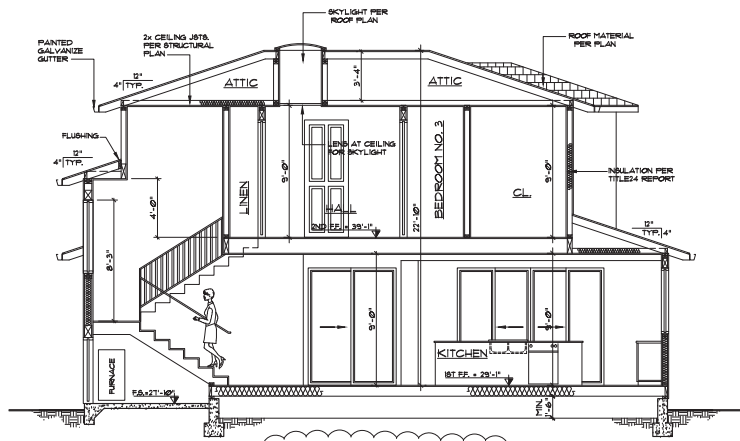
REVISIONS	BY
▲ 11-28-18	BK

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1245 S WINCHESTER BLVD.
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Ph: (408) 216-1134

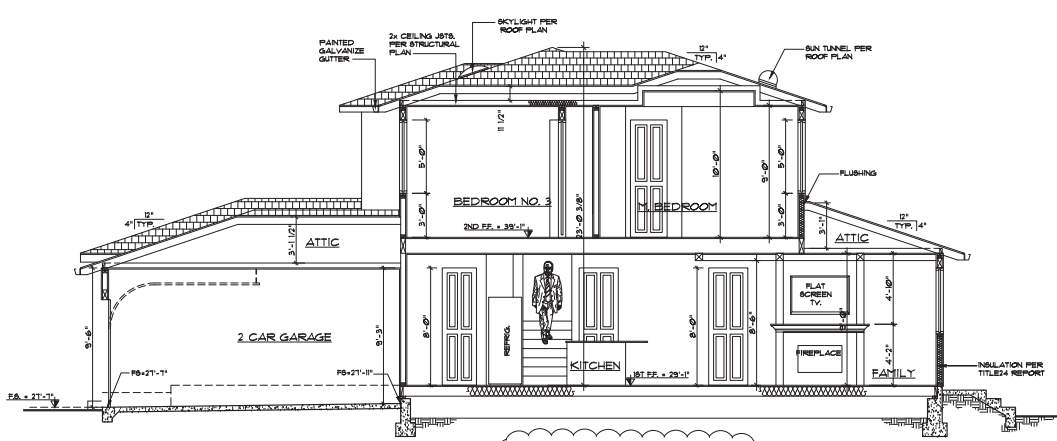
**PROPOSED REAR
AND LEFT ELEVATIONS**

NEW 2 STORY HOME FOR:
521 BAY ROAD,
MENLO PARK, CA 94025
APN: 062032110

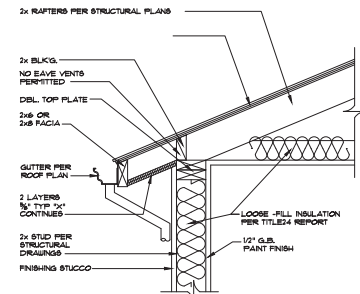
DATE	07/05/17
SCALE	1/4" = 1'-0"
DRAWN	BK
JOB	
SHEET	17
OF SHEETS	



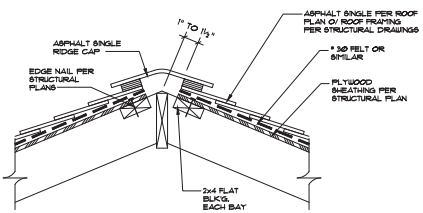
SECTION B-B
SC: 1/4"=1'-0"



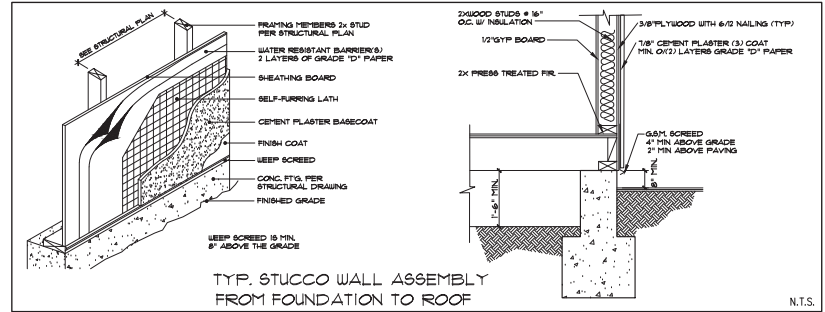
SECTION A-A
SC: 1/4"=1'-0"



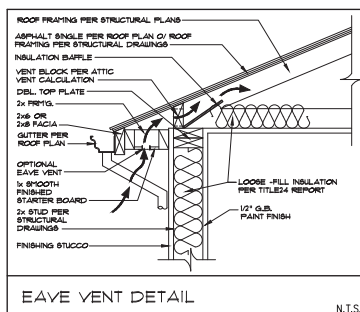
ONE HOUR FIRE RATED EAVE DETAIL



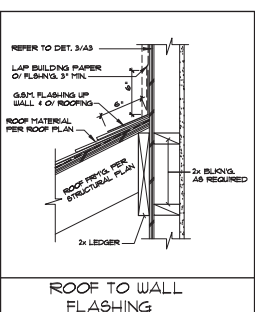
TYPICAL RIDGE DETAIL



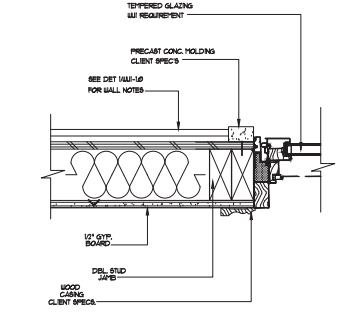
TYP. STUCCO WALL ASSEMBLY FROM FOUNDATION TO ROOF



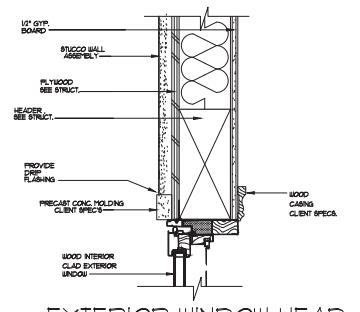
EAVE VENT DETAIL



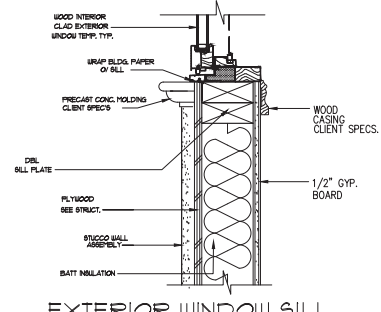
ROOF TO WALL FLASHING



EXTERIOR WINDOW JAMB



EXTERIOR WINDOW HEAD



EXTERIOR WINDOW SILL

REVISIONS	BY
11-28-18	BK

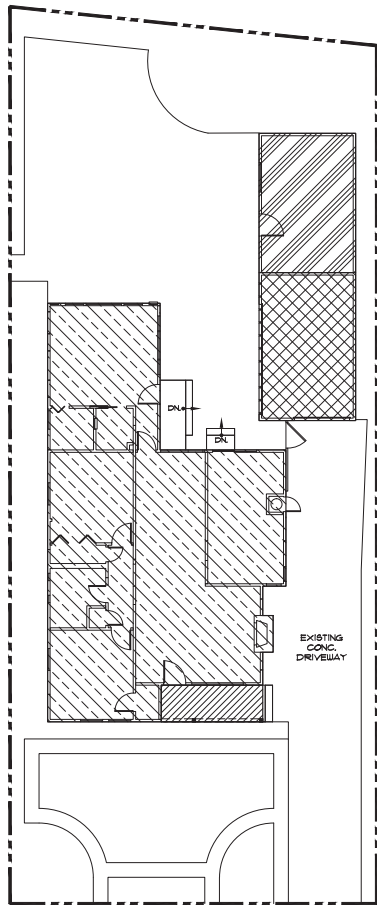
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1245 S WINCHESTER BLVD.
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SECTIONS AND DETAILS

NEW 2 STORY HOME FOR:
527 BAY ROAD,
MENLO PARK, CA 94025
APN: 062052170

DATE	02/07/17
SCALE	1/4" = 1'-0"
DRAWN	BK
JOB	
SHEET	
OF	

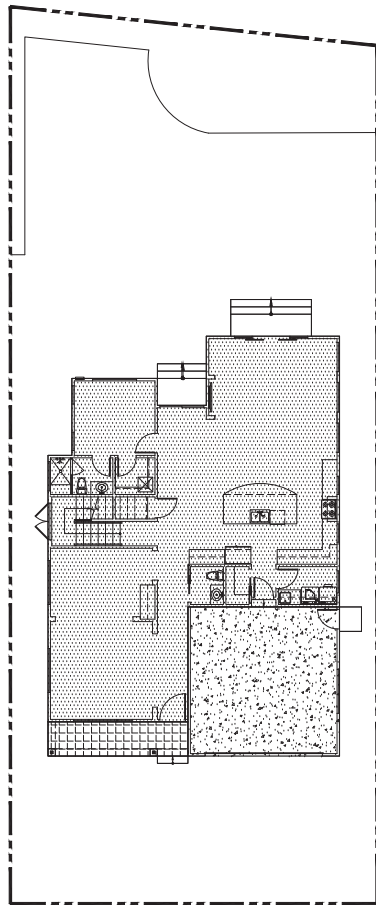
A8
OF SHEETS



(E) LOT COVERAGE
1/8" = 1'-0"

- EXISTING COVERED PORCH 69.16 SQ. FT.
- EXISTING HABITABLE AREA 1,391.2 SQ. FT.
- EXISTING GARAGE 265.51 SQ. FT.
- EXISTING STORAGE 250.20 SQ. FT.

TOTAL EXISTING LOT COVERAGE 1,916.07 SQ. FT.

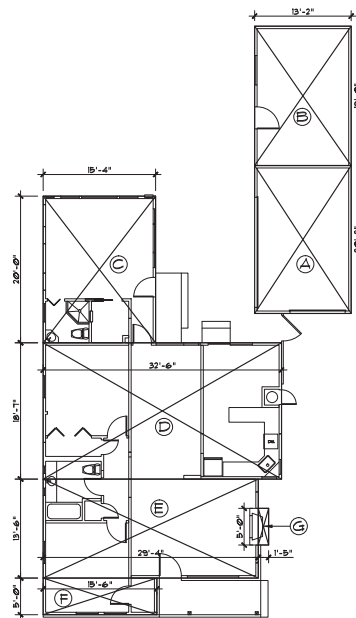


(N) LOT COVERAGE
1/8" = 1'-0"

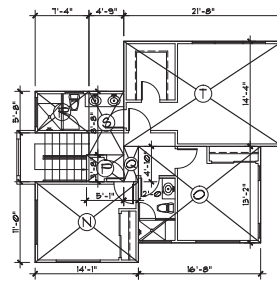
- PROPOSE COVERED PORCH 89.05 SQ. FT.
- PROPOSE HABITABLE AREA 1,583.72 SQ. FT.
- PROPOSE GARAGE 420.22 SQ. FT.

MAX. ALLOWABLE LOT COVERAGE (% 35) 2,094.25 SQ. FT.

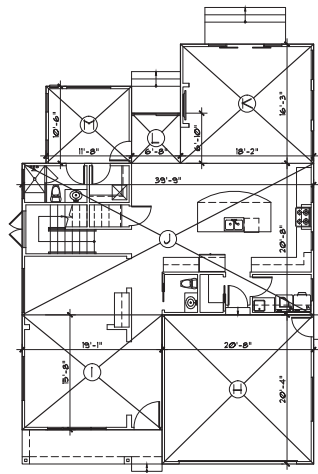
TOTAL PROVIDED LOT COVERAGE (% 34.98) 2,092.99 SQ. FT.



(E) FLOOR AREA
1/8" = 1'-0"



(N) 2ND FLOOR AREA
1/8" = 1'-0"



(N) 1ST FLOOR AREA
1/8" = 1'-0"

AREAS	SPACES	SIZES	AREAS (SQ. FT.)	TOTAL (SQ. FT.)
UN-HABITABLE AREA	GARAGE	A	20'-2" x 13'-2"	265.53
	STORAGE	B	18'-0" x 13'-2"	238.23
		C	20'-0" x 9'-4"	306.61
HABITABLE AREA	D	32'-6" x 8'-1"	603.96	
	E	13'-6" x 29'-4"	396.00	
	F	5'-0" x 19'-6"	178.00	
	G	5'-0" x 1'-5"	7.08	
TOTAL				1,906.96

AREAS	SPACES	SIZES	AREAS (SQ. FT.)	TOTAL (SQ. FT.)
2ND FLOOR HABITABLE AREA	H	20'-8" x 20'-4"	420.22	
	I	18'-1" x 15'-8"	298.91	
1ST FLOOR HABITABLE AREA	J	35'-9" x 20'-8"	813.60	
	K	18'-2" x 16'-3"	295.20	
	L	6'-8" x 16'-10"	45.89	
	M	11'-8" x 10'-6"	122.80	
	N	14'-1" x 11'-0"	154.92	
	O	16'-8" x 13'-2"	219.44	
	P	5'-1" x 3'-8"	18.64	
	Q	2'-0" x 4'-10"	9.67	
	R	7'-4" x 5'-8"	41.86	
	S	4'-5" x 8'-8"	41.6	
T	21'-8" x 14'-4"	310.59		
TOTAL			1,953.12	2,003.94
TOTAL			1,953.12	2,193.98

MAX. ALLOWABLE FLOOR AREA RATIO 2,800 SQ. FT.
PROVIDED FLOOR AREA RATIO 2,193.98 SQ. FT.

REVISIONS BY

ARIA
BUILD AND CONSTRUCTION
1245 S WINCHESTER BLVD.
SUITE 313, SAN JOSE, CA 95128
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FLOOR AREA CALCULATIONS

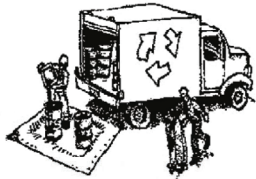
NEW 2 STORY HOME FOR:
527 BAY ROAD,
MENLO PARK, CA 94025
APN: 062052170

DATE 08/13
SCALE 1/8" = 1'-0"
DRAWN BK
JOB
SHEET
OF SHEETS

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, stored in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gypsum board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner).
- If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



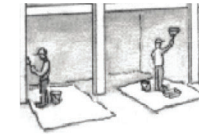
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

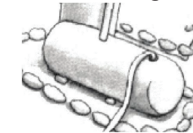
Painting & Paint Removal



Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!

REVISIONS	BY

ARIA
BUILD AND CONSTRUCTION
1245 S WINCHESTER BLVD.
SUITE 313, SAN JOSE, CA 95128
PH. (408) 816-1134

BEST MANAGEMENT PRACTICES

NEW 2 STORY HOME FOR:
527 BAY ROAD,
MENLO PARK, CA 94025
APN: 062052170

DATE	02/01
SCALE	N/A
DRAWN	BK
JOB	
SHEET	
OF	10 SHEETS

PLANT LEGEND AND NOTES

Symbol	Species	Size	Water	WUCOLS
	Sod lawn - 100% dwarf fescue	high	.7	
	Tulbaghia violacea @ 30" oc	1 gallon low	3	
	Erigeron karvinkianus @ 36" oc	1 gallon low	.3	
	Carex divisa @ 36" oc	1 gallon low	3	
A	Pittosporum tenuifolium	15 gallon low	3	
B	Loropetalum Suzanne	5 gallon low	3	
C	Cotinus Golden Spirit	5 gallon low	3	
D	Olea Little Olive / Dwarf Olive	5 gallon low	3	
E	Lavandula Grosso / Lavender	5 gallon low	3	
T1	Lagostroemia Tuscorora multi / Grape Myrtle	24" box low	3	
T2	Cotinus Royal Purple / Smoke Tree	24" box low	3	

- 1) Verify and protect all existing trees to remain.
- 2) Soil to be thoroughly prepared prior to planting. Contractor shall deliver soil sample to lab for analysis and soil preparations recommendations prior to planting.
- 3) Incorporate 4 cu of compost per 1000 sf, 6" into native soil unless otherwise dictated by soils analysis.
- 4) Spread 3" of ProChip, earthtone, or equal, mulch at all planting areas.
- 5) I have complied with the criteria of the Water Efficient Landscape Ordinance and applied them for the efficient use of water in the landscape design.



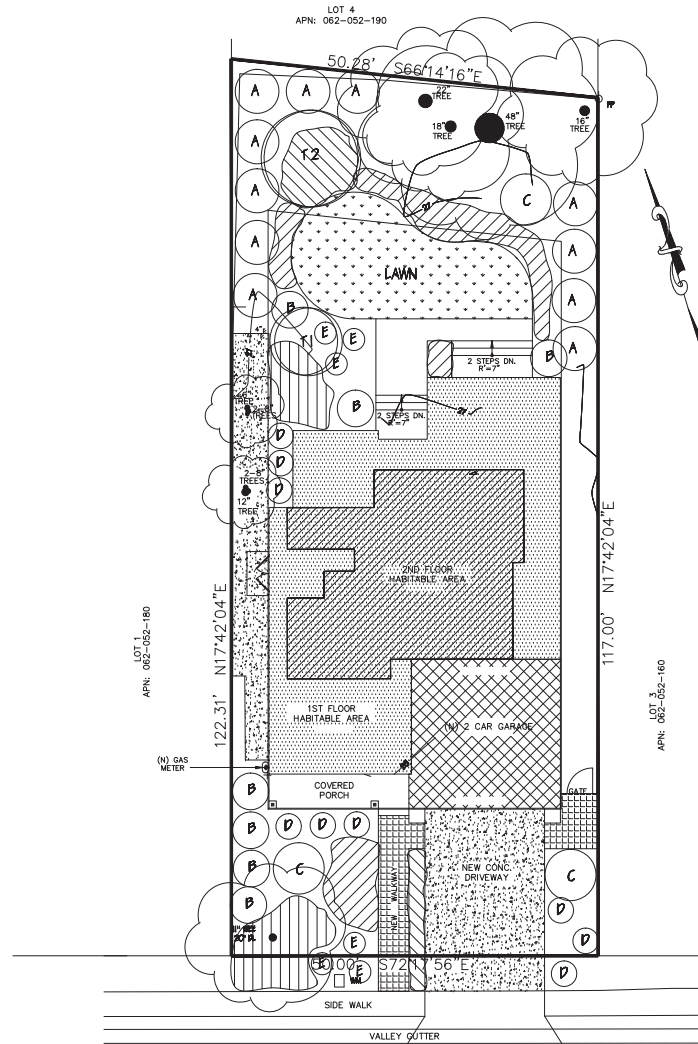
TULBAGHIA ERIGERON CAREX PITTOSPORUM



LOROPETALUM COTINUS OLEA LAVANDULA



LAGESTROEMIA COTINUS



BAY ROAD(60'-0" WIDE)



MASTER PLANTING PLAN

1/8" = 1'-0"

W. Jeffrey Heid
Landscape Architect
C-2235

6179 Onesta Drive
San Jose, California 95125

tel 408 691-9207
fax 408 226-6005
email wjheid@comcast.net

OWNERSHIP AND USE OF DRAWINGS
All drawings, specifications and copies thereof furnished by W. Jeffrey Heid Landscape Architect are and shall remain the property. They are to be used only with respect to the Project and are not to be used on any other project. Distribution or duplication to meet official regulatory requirements or for other purposes in connection with the Project is not to be construed as substitution in derogation of W. Jeffrey Heid Landscape Architect's common law, copyright or other reserved rights.

REVISED 12/15/18



NEW RESIDENCE

for:
AMIR MOENI
527 BAY ROAD
MENLO PARK, CA 94025

MASTER PLANTING PLAN

date: 12/14/18
scale: NOTED
drawn by: W.J.H.
job no. 21888
sheet

L I

of 2 sheets



Date:1/15/19

Dear commissioner at planning division:

This letter is being provided by Aria Build and Construction to explain why we are applying for planning commission to get the permit.

This project got its permit (BLD-2018-0039) and approval by all departments few months ago. Since during construction, portion of existing floor and wall (sub-contractor mistake) was removed, the project was stopped by an inspector. Therefore, we decided to change the design and go for brand new two-story single-family home. The new residence plan includes total of four bedrooms, three baths, Kitchen, Family, Dining, living rooms plus attached two car garage at the front side.

New Habitable area is 2,379 sq. ft. and Garage area is 420

Total of new building area = 2,799 sq. ft.

Please feel free to contact us if you need more information.

Aria Build and Construction appreciate your efforts.

Your Truly,

Amir Moeini

1245 S Winchester Blvd Suite 313 San Jose, CA 95128

Office: 408-816-7734 Fax: 408-816-7736

License #1018395

ATTACHMENT F

October 30, 2018

Amir Moeini
1245 S Winchester Blvd suite 313
San Jose, CA 95128



Monarch Consulting Arborists LLC
P.O. Box 1010
Felton, CA 95018
831.331.8982

Summary

The site contains five trees comprised of three different species with four being large enough to qualify as “Heritage Trees”. All four “Heritage Trees” Are growing along the back fence on the the north end of the site. Only pittosporum (*Pittosporum eugenoides*) #2 is in poor condition while the remaining three “Heritage” coast redwoods (*Sequoia sempervirens*) are all in good shape with good suitability to retain. The plans indicate the impact on all the trees will be low. This project will require a modified Type I protection scheme comprised of chain link fence. It is not practical to place fence at the city’s recommended ten times the trunk diameter distance around the trees (53 feet from the trunks). Placing fence at a distance of three to four times the trunk diameter, about 16 to 25 feet, would exclude the use of the area under the trees during the initial construction phase.

Introduction

Background

Aria Build and Construction asked me to assess the site, trees, proposed footprint plan, and to provide a report with my findings and recommendations to help satisfy the City of Menlo Park planning requirements.

Assignment

1. Provide an arborist’s report including an assessment of the trees within the project area and those on adjacent sites that could be affected. The assessment is to include the species, size (trunk diameter), condition (health, structure, and form), and suitability for preservation.
2. Provide tree protection guidelines, specifications, and expected impact ratings for those potentially affected by the project.



Limits of the Assignment

1. No tree risk assessments were performed.
2. The information in this report is limited to the condition of the trees during my inspection on October 16, 2018.
3. The plans reviewed for this assignment were as follows in Table 1:

Table 1: Plans Reviewed Checklist

Plan	Date	Sheet	Reviewed	Source	Notes
Existing Site Topographic Map or A.L.T.A with tree locations			No		
Proposed Site Plan	Not Dated	Not Labeled	Yes	Aria Build and Construction	Site plan reviewed is located on Pages 4 and 8 of this report
Demolition Plan			No		
Construction Staging			No		
Grading and Drainage			No		
Utility Plan and Hook-up locations			No		
Exterior Elevations			No		
Landscape Plan			No		
Irrigation Plan			No		
T-1 Tree Protection Plan			No		

Purpose and Use of the Report

The report is intended to identify all the trees within the plan area that could be affected by a project. The report is to be used by the property owners, owner’s agents, and the City of Menlo Park as a reference for existing tree conditions to help satisfy planning requirements.



Observations

Tree Inventory

The City of Menlo Park ordinance Chapter 13.24.020 defines “Heritage Trees” as one of the following:

1. Any tree having a trunk with a circumference of 47.1 inches (diameter of 15 inches) or more measured at 54 inches above natural grade.
2. Any oak tree native to California, with a circumference of 31.4 inches (diameter of 10 inches) or more measured at 54 inches above natural grade.
3. Any tree or group of trees specifically designated by the City Council for protection because of its historical significance, special character or community benefit.
4. Any tree with more than one trunk measured at the point where the trunks divide, with a circumference of 47.1 inches (diameter of 15 inches) or more, with the exception of trees that are under 12 feet in height, which are exempt from the ordinance.
5. The tree inventory contains all trees on the property with trunk diameters greater than four inches and those on adjacent sites with crowns overhanging the boundary,

I inspected the site and assessed five trees comprised of three different species with four being large enough to qualify as “Heritage Trees” (Table 2). Chinese pistache (*Pistacia chinensis*) #1 does not have a trunk diameter greater than 15 inches. Pittosporum (*Pittosporum eugenoides*) #2 (measured at the bifurcation) has a trunk diameter of 18 inches and is growing suppressed under the coast redwoods (*Sequoia sempervirens*) #3, #4, and #5. Coast redwoods #3, #4, and #5 have trunk diameters of 64, 20, and 30 inches respectively and are considered “Heritage Trees” by definition. All the redwoods have normal foliar color, size, and density for the species.

Table 2: Tree Inventory

Tree Species	Number	Trunk Diameter (in.)	~ Height (ft.)	~ Canopy Diameter (ft.)	Suitability for preservation	Heritage
Chinese pistache (<i>Pistacia chinensis</i>)	1	13	25	25	Fair	No
Pittosporum (<i>Pittosporum eugenoides</i>)	2	18	25	25	Poor	Yes
coast redwood (<i>Sequoia sempervirens</i>)	3	64	85	30	Poor	Yes
coast redwood (<i>Sequoia sempervirens</i>)	4	20	75	25	Poor	Yes
coast redwood (<i>Sequoia sempervirens</i>)	5	30	75	25	Poor	Yes



Plans and Conflicts

The plan (Image 1) indicates the new garage and proposed improvements are all located in the same footprint of the existing structures. During my site visit I observed some of the existing brick patio has been removed and there is an old low wall surrounding the trees that is falling apart.

Based on this plan any expected impacts on the trees will be minimal and the patio should remain in place or a new patio installed in the same location. Depending on the new patio construction and sub-base excavation, impacts would be expected to be minimal.

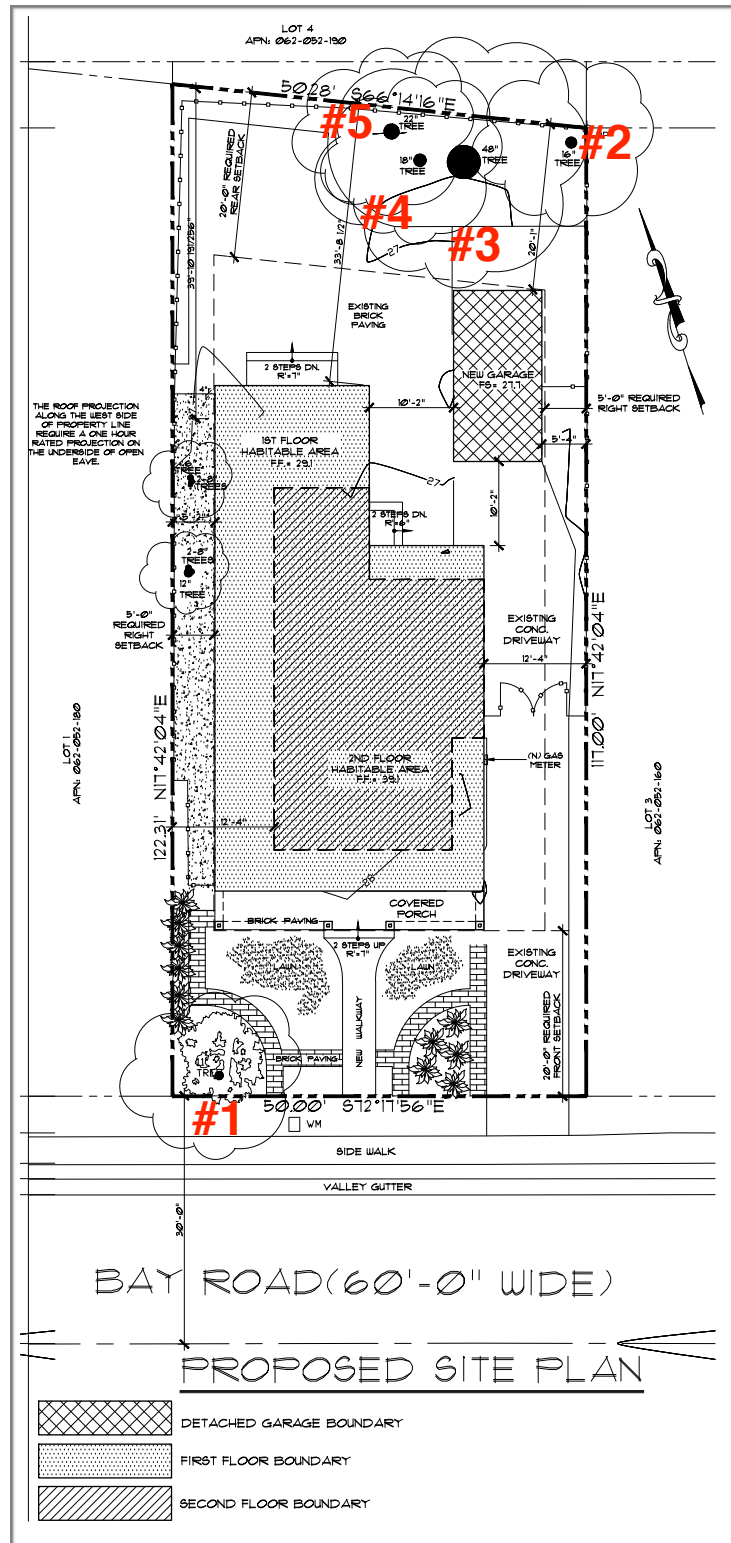


Image 1: Proposed Site Plan



Discussion

Condition Rating

A tree’s condition is a determination of its overall health, structure, and form (ISA, 2018). The assessment considered both the health and structure for a combined condition rating.

- 100% - Exceptional = Good health and structure with significant size, location or quality.
- 61-80% - Good = Normal vigor, well-developed structure, function and aesthetics not compromised with good longevity for the site.
- 41-60 % - Fair = Reduced vigor, damage, dieback, or pest problems, at least one significant structural problem or multiple moderate defects requiring treatment. Major asymmetry or deviation from the species normal habit, function and aesthetics compromised.
- 21-40% - Poor = Unhealthy and declining appearance with poor vigor, abnormal foliar color, size or density with potential irreversible decline. One serious structural defect or multiple significant defects that cannot be corrected and failure may occur at any time. Significant asymmetry and compromised aesthetics and intended use.
- 6-20% - Very Poor = Poor vigor and dying with little foliage in irreversible decline. Severe defects with the likelihood of failure being probable or imminent. Aesthetically poor with little or no function in the landscape.
- 0-5% - Dead/Unstable = Dead or imminently ready to fail.

Only pittosporum #2 is in poor condition with codominant stems and a suppressed crown (poor form) (Table 3).

Table 3: Condition Assessment

Tree Species	#	Trunk Diameter (in.)	Vigor	Structure	Form	Condition
Chinese pistache (<i>Pistachia chinensis</i>)	1	13	Good	Fair	Good	Good
Pittosporum (<i>Pittosporum eugenoides</i>)	2	18	Good	Poor (Codominant stems)	Poor (Suppressed and deformed crown)	Poor
coast redwood (<i>Sequoia sempervirens</i>)	3	64	Good	Good	Good	Good
coast redwood (<i>Sequoia sempervirens</i>)	4	20	Good	Good	Good	Good
coast redwood (<i>Sequoia sempervirens</i>)	5	30	Good	Good	Good	Good



Suitability for Preservation

A tree's suitability for preservation is determined based on its health, structure, age, species and disturbance tolerances, proximity to cutting and filling, proximity to construction or demolition, and potential longevity using a scale of good, fair, or poor (Fite, K, and Smiley, E. T., 2016). The following list defines the rating scale:

- Good = Trees with good health, structural stability and longevity after construction.
- Fair = Trees with fair health and/or structural defects that may be mitigated through treatment. These trees require more intense management and monitoring, before, during, and after construction, and may have shorter life expectancy after development.
- Poor = Trees are expected to decline during or after construction regardless of management. The species or individual may possess characteristics that are incompatible or undesirable in landscape settings or unsuited for the intended use of the site.

All the trees have good suitability for preservation except for pittosporum #2. The pittosporum is growing suppressed under the large redwoods and has a deformed crown and codominant stems originating near grade. This tree will never be a decent specimen and will always be deformed and suppressed as it grows east over the fence into the only available space.

Impact Level

Impact level defines how a tree may be influenced by construction activity and proximity to the tree, and is described as low, moderate, or high. The following scale defines the impact rating:

- Low = The construction activity will have little influence on the tree.
- Moderate = The construction may cause future health or structural problems, and steps must be taken to protect the tree to reduce future problems.
- High = Tree structure and health will be compromised and removal is recommended, or other actions must be taken for the tree to remain. The tree is located in the building envelope.

The plans indicate the impact on all the trees will be low. There has been some alterations to the patio under the redwoods but nothing significant to date. Keeping as much of the patio in place until it is time to renovate or replace the bricks will help to further reduce impacts. Protection fence and exclusion from the area under the redwoods will be required once the debris is removed. The Chinese pistache could be affected but it is not a protected tree under the ordinance. All of the proposed structures are located within the footprint of the proposed improvements. The International Society of Arboriculture Best Management Practices: *Managing Trees During Construction, Second Edition 2016* suggests keeping any existent infrastructure in place where possible to minimize greater impacts to soils, roots, and trees. Typically it is best to keep new infrastructure within the footprint of existing to minimize tree and soil impacts.



Tree Protection

There are three different tree protection schemes which are called Type I, Type II and Type III trunk protection only (Figures 1, 2, and 3). Tree protection focuses on protecting trees from damage to their roots, trunk, or scaffold branches from heavy equipment (Appendix D). The tree protection zone (TPZ) is the defined area in which certain activities are prohibited to minimize potential injury and can be determined by a formula based on species tolerance, tree age, and diameter at breast height (DBH) (Matheny, N. and Clark, J. 1998) or as the drip line in some instances. Preventing mechanical damage to the main stems from equipment or hand tools can be accomplished by wrapping the main stem with straw wattle or bracing with timbers (Figure 3).

This project will require a modified Type I scheme for any trees to be retained and protected. It is not practical to place fence at ten times the trunk diameter distance around around the trees (53 feet from the trunks). Placing fence at a distance of about three to four times (16 to 25 feet) would exclude the use of the area under the trees during the initial construction phase. Once the initial construction phase is completed and the new patio is to be installed the fence could be removed to allow for construction in this area.

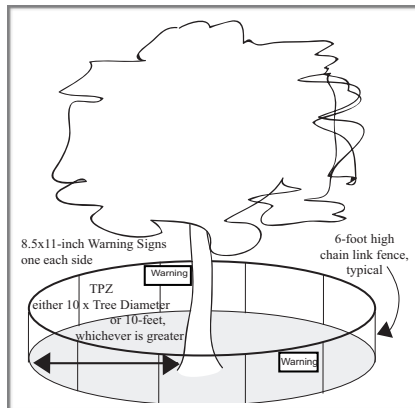


Figure 1: Type I Tree protection with fence placed at a radius of ten times the trunk diameter. Image City of Palo Alto 2006.

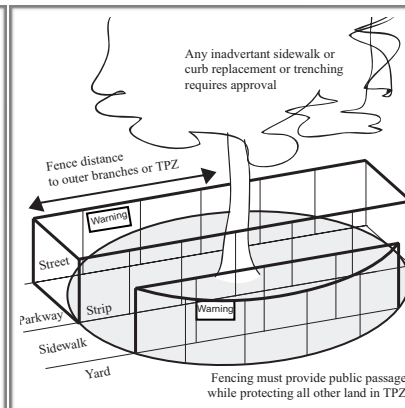


Figure 2: Type II Tree protection with fence placed along the sidewalk and curb to enclose the tree. Image City of Palo Alto 2006.

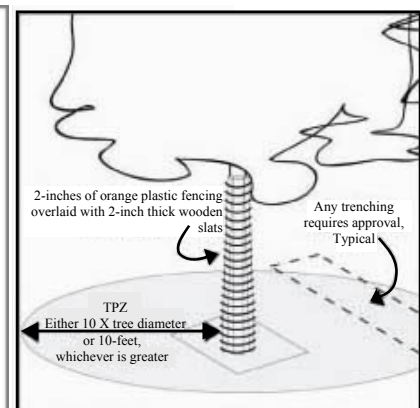


Figure 3: Type III Tree protection with trunk protected by a barrier to prevent mechanical damage. Image City of Palo Alto 2006..



The image below indicates the approximate location where the tree protection fence would need to be located (Image 2).

The red dashed line indicates the proposed tree protection fence location.

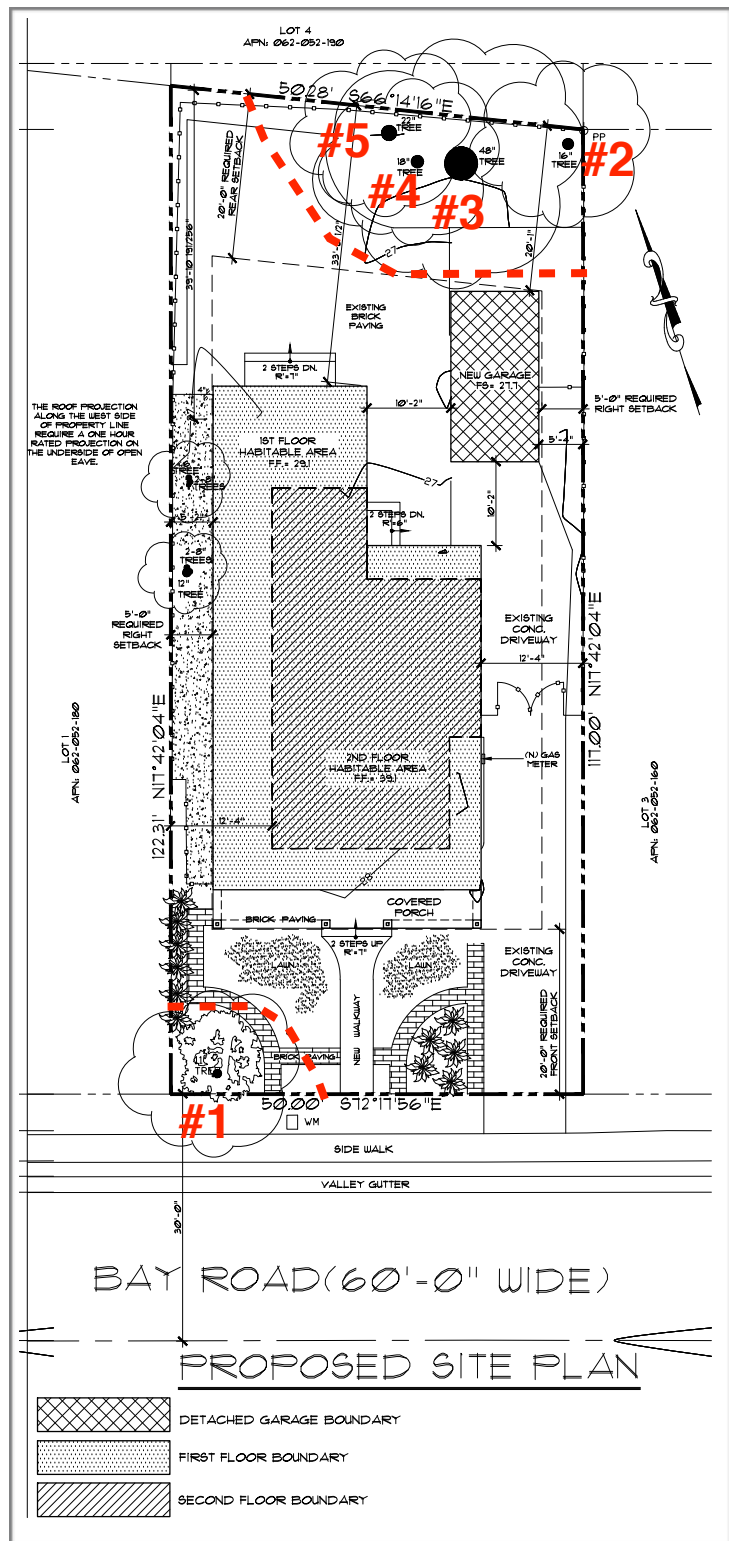


Image 1: Proposed Tree Protection Location



Conclusion

The site contains five trees comprised of three different species with four being large enough to qualify as “Heritage Trees”. All four “Heritage Trees” Are growing along the back fence on the north end of the site. Only pittosporum #2 is in poor condition with codominant stems and a suppressed crown and has poor suitability for preservation. The remaining three protected coast redwoods are all in good condition with good suitability to preserve. The plans indicate the impact on all the trees will be low. There has been some alterations to the patio under the redwoods but nothing significant to this point. This project will require a modified Type I protection scheme comprised of chain link fence. It is not practical to place fence at ten times the trunk diameter distance around around the trees (53 feet from the trunks). Placing fence at a distance of about three to four times (16 to 25 feet) would exclude the use of the area under the trees during the initial construction phase. Once the initial construction phase is completed and the new patio is to be installed the fence could be removed to allow for construction in this area.

Recommendations

Pre-construction and Planning Phase

1. Place tree numbers and protection schemes on all the plans.
2. Place tree protection fence around the trees to exclude personnel, materials, and equipment from accessing the area. The fence should be placed no closer than a 16 foot radius and 24 feet where possible.
3. All tree maintenance and care shall be performed by a qualified arborist with a C-61/D-49 California Contractors License. Tree maintenance and care shall be specified in writing according to American National Standard for Tree Care Operations: *Tree, Shrub and Other Woody Plant Management: Standard Practices* parts 1 through 10 and adhere to ANSI Z133.1 safety standards and local regulations.
4. Refer to Appendix B for general tree protection guidelines including recommendations for arborist assistance while working under trees, trenching, or excavation within a trees drip line.
5. Provide a copy of this report to all contractors and project managers, including the architect, civil engineer, and landscape designer or architect. It is the responsibility of the owner to ensure all parties are familiar with this document.
6. Arrange a pre-construction meeting with the project arborist or landscape architect to verify tree protection is in place, with the correct materials, and at the proper distances.



Bibliography

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- ISA. Species Classification and Group Assignment, 2004 Western Chapter Regional Supplement. Western Chapter ISA
- Matheny, Nelda P., Clark, James R. *Trees and development: A technical guide to preservation of trees during land development*. Bedminster, PA: International Society of Arboriculture 1998.
- Smiley, E, Matheny, N, Lilly, S, ISA. *Best Management Practices: Tree Risk Assessment*: International Society of Arboriculture, 2017. Print



Appendix A: Photographs

A1: Heritage Trees Coast redwoods #3, #4, and #5



A2: Chinese pistache #1



Appendix B: Tree Protection Guidelines

13.24.025 Maintenance and preservation of heritage trees.

Any person who owns, controls, has custody or possession of any real property within the city shall use reasonable efforts to maintain and preserve all heritage trees located thereon in a state of good health pursuant to the provisions of this chapter. Failure to do so shall constitute a violation of this chapter. Any person who conducts any grading, excavation, demolition or construction activity on property shall do so in such a manner as to not threaten the health or viability or cause the removal of any heritage tree. Any work performed within an area ten (10) times the diameter of the tree (i.e., the tree protection zone) shall require submittal of a tree protection plan for review and approval by the director of community development or his or her designee prior to issuance of any permit for grading or construction. The tree protection plan shall be prepared by a certified arborist and shall address issues related to protective fencing and protective techniques to minimize impacts associated with grading, excavation, demolition and construction. The director of community development or his or her designee may impose conditions on any city permit to assure compliance with this section. (Ord. 928 § 1 (part), 2004).

13.24.030 Removal and major pruning of heritage trees prohibited.

It is unlawful for any person to remove, or cause to be removed any heritage tree from any parcel of property in the city, or prune more than one-fourth of the branches or roots within a twelve (12) month period, without obtaining a permit; provided, that in case of emergency, when a tree is imminently hazardous or dangerous to life or property, it may be removed by order of the police chief, fire chief, the director of public works or their respective designees. Any person who vandalizes, grievously mutilates, destroys or unbalances a heritage tree without a permit or beyond the scope of an approved permit shall be in violation of this chapter. (Ord. 928 § 1 (part), 2004).

Pre-Construction Meeting with the Project Arborist

Tree protection locations should be marked before any fencing contractor arrives.

Prior to beginning work, all contractors involved with the project should attend a pre construction meeting with the project arborist to review the tree protection guidelines. Access routes, storage areas, and work procedures will be discussed.



Tree Protection Zones and Fence Specifications

Tree protection fence should be established prior to the arrival of construction equipment or materials on site. Fence should be comprised of six-foot high chain link fence mounted on eight-foot tall, 1 7/8-inch diameter galvanized posts, driven 24 inches into the ground and spaced no more than 10 feet apart. Once established, the fence must remain undisturbed and be maintained throughout the construction process until final inspection.

The fence should be maintained throughout the site during the construction period and should be inspected periodically for damage and proper functions. Fence should be repaired, as necessary, to provide a physical barrier from construction activities.

Monitoring

Any trenching, construction or demolition that is expected to damage or encounter tree roots should be monitored by the project arborist or a qualified ISA Certified Arborist and should be documented.

The site should be evaluated by the project arborist or a qualified ISA Certified Arborist after construction is complete, and any necessary remedial work that needs to be performed should be noted.

Restrictions Within the Tree Protection Zone

No storage of construction materials, debris, or excess soil will be allowed within the Tree Protection Zone. Spoils from the trenching shall not be placed within the tree protection zone either temporarily or permanently. Construction personnel and equipment shall be routed outside the tree protection zones.

Root Pruning

Root pruning shall be supervised by the project arborist. When roots over two inches in diameter are encountered they should be pruned by hand with loppers, handsaw, reciprocating saw, or chain saw rather than left crushed or torn. Roots should be cut beyond sinker roots or outside root branch junctions and be supervised by the project arborist. When completed, exposed roots should be kept moist with burlap or backfilled within one hour.



Boring or Tunneling

Boring machines should be set up outside the drip line or established Tree Protection Zone. Boring may also be performed by digging a trench on both sides of the tree until roots one inch in diameter are encountered and then hand dug or excavated with an Air Spade® or similar air or water excavation tool. Bore holes should be adjacent to the trunk and never go directly under the main stem to avoid oblique (heart) roots. Bore holes should be a minimum of three feet deep.

Timing

If the construction is to occur during the summer months supplemental watering and treatments should be applied to help ensure survival during and after construction.

Tree Pruning and Removal Operations

All tree pruning or removals should be performed by a qualified arborist with a C-61/D-49 California Contractors License. Tree pruning should be specified in writing according to ANSI A-300A pruning standards and limitations and adhere to ANSI Z133.1 safety standards. Trees that need to be removed or pruned should be identified in the pre-construction walk through.

Tree Protection Signs

All sections of fencing should be clearly marked with signs stating that all areas within the fencing are Tree Protection Zones and that disturbance is prohibited. Text on the signs should be in both English and Spanish (Appendix E).



Appendix C: Tree Protection Signs C1: English

WARNING
Tree Protection Zone
**This Fence Shall not be moved without
approval. Only authorized personnel
may enter this area!**

Project Arborist



C2: Spanish

CUIDADO
Zona De Arbol Pretejido
Esta cerca no sera removida sin
aprobacion. Solo personal autorizado
entrara en esta area!

Project Arborist



Qualifications, Assumptions, and Limiting Conditions

Any legal description provided to the consultant is assumed to be correct. Any titles or ownership of properties are assumed to be good and marketable. All property is appraised or evaluated as though free and clear, under responsible ownership and competent management.

All property is presumed to be in conformance with applicable codes, ordinances, statutes, or other regulations.

Care has been taken to obtain information from reliable sources. However, the consultant cannot be responsible for the accuracy of information provided by others.

The consultant shall not be required to give testimony or attend meetings, hearings, conferences, mediations, arbitration, or trials by reason of this report unless subsequent contractual arrangements are made, including payment of an additional fee for such services.

This report and any appraisal value expressed herein represent the opinion of the consultant, and the consultant's fee is not contingent upon the reporting of a specified appraisal value, a stipulated result, or the occurrence of a subsequent event.

Sketches, drawings, and photographs in this report are intended for use as visual aids, are not necessarily to scale, and should not be construed as engineering or architectural reports or surveys. The reproduction of information generated by architects, engineers, or other consultants on any sketches, drawings, or photographs is only for coordination and ease of reference. Inclusion of said information with any drawings or other documents does not constitute a representation as to the sufficiency or accuracy of said information.

Unless otherwise expressed: a) this report covers only examined items and their condition at the time of inspection; and b) the inspection is limited to visual examination of accessible items without dissection, excavation, probing, or coring. There is no warranty or guarantee, expressed or implied, that structural problems or deficiencies of plants or property may not arise in the future.



Certification of Performance

I Richard Gessner, Certify:

That I have personally inspected the tree(s) and/or the property referred to in this report, and have stated my findings accurately. The extent of the evaluation and/or appraisal is stated in the attached report and Terms of Assignment;

That I have no current or prospective interest in the vegetation or the property that is the subject of this report, and I have no personal interest or bias with respect to the parties involved;

That the analysis, opinions and conclusions stated herein are my own;

That my analysis, opinions, and conclusions were developed and this report has been prepared according to commonly accepted Arboricultural practices;

That no one provided significant professional assistance to the consultant, except as indicated within the report.

That my compensation is not contingent upon the reporting of a predetermined conclusion that favors the cause of the client or any other party, nor upon the results of the assessment, the attainment of stipulated results, or the occurrence of any other subsequent events;

I further certify that I am a Registered Consulting Arborist® with the American Society of Consulting Arborists, and that I acknowledge, accept and adhere to the ASCA Standards of Professional Practice. I am an International Society of Arboriculture Board Certified Master Arborist®. I have been involved with the practice of Arboriculture and the care and study of trees since 1998.

Richard J. Gessner



ASCA Registered Consulting Arborist® #496
ISA Board Certified Master Arborist® WE-4341B
ISA Tree Risk Assessor Qualified
CA Qualified Applicators License QL104230



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STAFF REPORT

Planning Commission

Meeting Date: 1/28/2019
Staff Report Number: 19-005-PC

Public Hearing: Use Permit/Stephanie & Jesse Palacios/1535 Santa Cruz Avenue

Recommendation

Staff recommends that the Planning Commission approve a use permit to remodel and construct first- and second-story additions to an existing residence on a substandard lot (with regard to lot width) in the R-1-S (Single Family Suburban Residential) zoning district. The proposal would exceed 50 percent of the existing floor area and is considered equivalent to a new structure. The existing structure is nonconforming with regard to the right side setback, although this would be corrected as part of the proposed project. The recommended actions are included as Attachment A.

Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal.

Background

Site location

The subject property is located on Santa Cruz Avenue between Olive and Hobart Streets, in the West Menlo Park neighborhood. A location map is included as Attachment B. The surrounding area contains pre-dominantly one-story single-family residences with attached front-loading garages. A variety of architectural styles are present in the neighborhood which include craftsman and traditional. All parcels in the general vicinity are also zoned R-1-S.

Analysis

Project description

The applicant is proposing to remodel an existing single-story, single-family residence, construct a second story, and relocate the existing attached two-car garage from the rear to the front of the property. The lot is substandard with respect to minimum lot width, at approximately 61 feet where 80 feet is required in the R-1-S zoning district. A data table summarizing parcel and project attributes is included as Attachment C. The project plans and the applicant's project description letter are included as Attachments D and E, respectively.

The proposed residence would be a five-bedroom and four-bath room home. The first-story would include

the common areas and two bedrooms. The second-story living space would be comprised of two bedrooms and one bathroom and a master bedroom suite with attached bathroom and walk-in closet. In addition, an attached two-car, side-loading garage is proposed to be located at the front of the house. The existing curb cut would be used to access the proposed garage and the majority of the existing driveway along the left-side of the residence to the rear of the lot would be removed. A portion of the existing driveway at the left-side of the residence would remain, however.

The proposed project would adhere to all Zoning Ordinance regulations for setbacks, lot coverage, floor area limit, height, daylight plane, and parking.

Design and materials

The applicant states that the proposed residence would retain its traditional architectural massing through the proposal's general shape and gabled roofs but would have a contemporary aesthetic. The applicant states that the proposed residence would include a blend of traditional massing and contemporary detailing. The exterior materials would be primarily painted stucco with vertical wood siding on the second floor bay windows and the garage door to provide variation in materials, composition shingle roof, and aluminum clad dual glazed windows. The front door is proposed to be custom stained wood with glass panels.

The second-story windows, with the exception of the two bay windows, would have sill heights a minimum of three feet, two inches. The two bay windows on the north east (left) façade would have a lower sill height of two feet. While the windows would have a sill height of two feet, the lower portions of the windows are proposed to be obscure glass. The sill height of the top of the obscure glass would be four feet, nine-and-a-half inches, which should alleviate potential privacy impacts. In addition, the bathroom window on the left-side façade would also utilize obscure glass.

Staff believes that the architectural style of the proposed residence would be generally attractive and well-proportioned. The second level would be relatively modest in size and set back from the front and rear facades, minimizing the perception of mass and bulk of the second level addition. The proposed design would result in unbroken two-story walls on the sides of the residence; however, the overall second floor size is limited, which would help reduce the perceived mass and bulk of the two-story elements. The mixture of traditional and contemporary elements in the proposed project would be compatible with the styles in the surrounding neighborhood.

Trees and landscaping

The applicant has submitted an arborist report (Attachment F) detailing the species, size, and conditions of the heritage and non-heritage trees on site. There are three heritage size trees located on or near the property and three non-heritage size trees. As part of the construction a non-heritage tree (14.8 inch mulberry) is proposed for removal. The report discusses the potential impacts of the proposed improvements and provides recommendations for tree maintenance and protection during construction. As part of the project review process, the arborist report was reviewed by the City Arborist. All recommendations identified in the arborist report shall be implemented and will be ensured as part of condition 3g.

Correspondence

The applicant states that they contacted the property owners of all properties who would be directly impacted by the proposed scope of the work, and offered to address any concerns or questions with regard to the project. Applicant has received correspondence from neighbors which were then forwarded to staff (Attachment G). Staff has not directly received any correspondence on this proposal.

Conclusion

Staff believes that the design, scale and materials of the proposed residence are compatible with the surrounding neighborhood. The traditional massing and contemporary elements of the proposed residence would be generally attractive and well-proportioned. The second level would be inset from the ground floor (on the front and rear), helping minimize the perception of mass. The second floor bay windows would be partially obscure glass to help ensure neighbor privacy. Staff recommends that the Planning Commission approve the proposed project.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Appeal Period

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

Attachments

- A. Recommended Actions
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter
- F. Arborist Report
- G. Applicant provided letters from neighbors

Disclaimer

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

Exhibits to Be Provided at Meeting

None

Report prepared by:

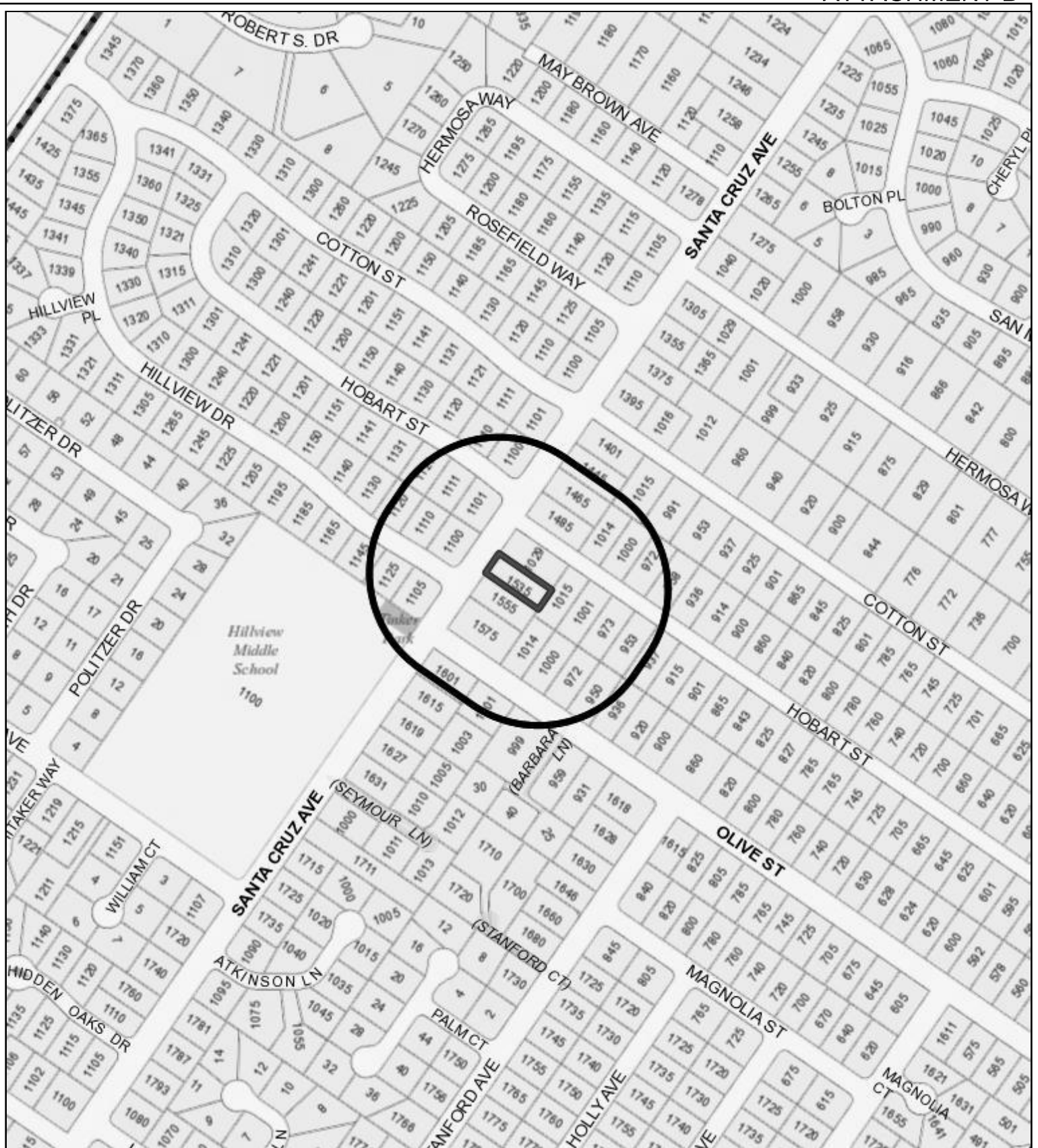
Fahteen Khan, Contract Assistant Planner

Report reviewed by:

Kyle Perata, Acting Principal Planner

1535 Santa Cruz Avenue – Attachment A: Recommended Actions

LOCATION: 1535 Santa Cruz Avenue	PROJECT NUMBER: PLN2018-00112	APPLICANT: Kelly Johnson	OWNER: Stephanie & Jesse Palacios
PROPOSAL: Request for a use permit to remodel and construct first- and second-story additions to an existing residence on a substandard lot (with regard to lot width) in the R-1-S (Single Family Suburban Residential) zoning district. The proposal would exceed 50 percent of the existing floor area and is considered equivalent to a new structure. The existing structure is nonconforming with regard to the right side setback, although this would be corrected as part of the proposed project.			
DECISION ENTITY: Planning Commission	DATE: January 28, 2019	ACTION: TBD	
VOTE: TBD (Barnes, Goodhue, Kennedy, Onken, Riggs, Strehl)			
ACTION:			
<ol style="list-style-type: none"> 1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, “New Construction or Conversion of Small Structures”) of the current California Environmental Quality Act (CEQA) Guidelines. 2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City. 3. Approve the use permit subject to the following standard conditions: <ol style="list-style-type: none"> a. Development of the project shall be substantially in conformance with the plans prepared by Zak Johnson Architects, consisting of 16 plan sheets, dated received January 3, 2019, subject to review and approval by the Planning Division. b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies’ regulations that are directly applicable to the project. c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project. d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes. e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division. f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits. g. Heritage and street trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the arborist report by Advanced Tree Care dated August 31, 2018. 			



City of Menlo Park
 Location Map
 1535 Santa Cruz Ave



1535 Santa Cruz Avenue – Attachment C: Data Table

	PROPOSED PROJECT	EXISTING DEVELOPMENT	ZONING ORDINANCE
Lot area	10,126 sf	10,126 sf	10,000 sf min.
Lot width	61.0 ft.	61.0 ft.	80.0 ft. min.
Lot depth	166.0 ft.	166.0 ft.	100.0 ft. min.
Setbacks			
Front	20.0 ft.	39.7 ft.	20.0 ft. min.
Rear	48.0 ft.	42.4 ft.	20.0 ft. min.
Side (left)	11.4 ft.	11.2 ft.	10.0 ft. min.
Side (right)	10.0 ft.	9.3 ft.	10.0 ft. min.
Building coverage	2,842.8 sf 28.1 %	2,531.2 sf 25.0 %	3,544.1 sf max. 35 % max.
FAL (Floor Area Limit)	3,563.0 sf	2,488.4 sf	3,581.5 sf max.
Square footage by floor	1,906.7 sf/1 st floor 942.9 sf/2 nd floor 533.6 sf/garage 402.5 covered porch 179.8 attic	1,943.0 sf/1 st floor 545.4 garage	
Square footage of buildings	3,965.5 sf	2,488.4 sf	
Building height	25.9 ft.	15.3 ft.	28 ft. max.
Parking	2 covered	2 covered	1 covered/1 uncovered
Note: Areas shown highlighted indicate a nonconforming or substandard situation.			
Trees	Heritage trees: 3	Non-Heritage trees: 3	New Trees: 0
	Heritage trees proposed for removal: 0	Non-Heritage trees proposed for removal: 1	Total Number of Trees: 5

Palacios Residence

1535 Santa Cruz Ave.

Menlo Park, California 94025

Project Data:

Zoning District: RIS
 Building Occupancy Groups: R3/U
 Type of Construction: V-B
 Lot Area: 10,126 sf

Allowable Building Coverage
 Two Story - (10,126 sf x 35%)
 3,544.1 sf

Max. Allowed Floor Area Limit:
 2,800 sf + .25(10,126-7,000)
 1,400.0 sf

Max. Allowable 2nd Floor
 Existing Building Coverage:
 (E) House & Attached Garage
 2,531.2 sf

Existing Floor Area:
 (E) House & Attached Garage
 2,488.4 sf

Proposed Building Coverage:
 House & Attached Garage
 2,842.8 sf

Proposed Floor Area of New House:
 First Floor House & Attached Garage
 2,440.3 sf
 Second Floor
 942.9 sf
 Interior Space above 12' Tall
 163.1 sf
 Attic Space above 5' Tall
 167.7 sf
Total:
 3,563.0 sf

Existing Height: Approx. 15'-4"
 Max. Height: 28'-0"
 Proposed Height: Max. 25'-11"
 Flood Zone: NO

Project Location:
 1535 Santa Cruz Ave.



Project Scope of Work:

The existing one-story, three bedroom house with 2-car attached garage will be renovated. The existing 2 car attached garage will be demolished and a new 2-car attached garage will be constructed. The existing back yard will be reworked and a new back yard will be added to the rear of the house. A second story will be added to the existing house. The final configuration of the house will be a 5 bedroom house with a 2-car attached garage.

Sheet Index:

Sheet	Cover Sheet, Project Data & Surrounding Area Plan
A-0.0	Survey
A-1.0	Existing Site Plan
A-1.1	Proposed Site Plan, Streetscape & Photographs
A-1.2	Existing Floor Plan
A-1.3	Demolition Plan
A-2	First Floor Plan
A-3	2nd Floor Plan & Lower Level Roof Plan
A-4	Comprehensive Roof Plan
A-5	Square Footage Area Calculations
A-6	Existing Exterior Elevations
A-7.0	Proposed Exterior Elevations
A-7.1	Building Sections
A-8	Building Sections
A-9	Wall Sections & Detail through Window Seat
A-10	Wall Sections & Detail through Window Seat

Project Team:

Architect:
 Kelly W. Johnson
 Zak Johnson Architects
 900 College Ave. #4025
 Menlo Park, CA 94025
 650-329-9767

Surveyor:
 Wade Hammond
 Licensed Land Surveyor
 1600 Lakeside Blvd., Suite C
 Menlo Park, CA 94025
 510-579-6112

Structural Engineer:
 Mohammad Saaber
 1263 El Cerrito Pk.
 San Carlos, CA 94070
 650-329-9219

Archivist:
 Robert Weatherill
 Hillview Dr.
 965 Elm St. #200
 Menlo Park, CA 94025
 650-839-9539

Applicable Codes & Regulations:

- 2016 California Building Code
- 2016 California Electrical Code
- 2016 California Mechanical Code
- 2016 California Plumbing Code
- 2016 California Fire Code
- 2016 California Energy Code/Building Energy Efficiency Standards
- 2016 California Green Building Code (CAL Green)



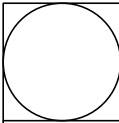
Stephanie & Jesse Palacios
 1535 Santa Cruz Ave.
 Menlo Park, CA 94025



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 Date: November 26, 2018



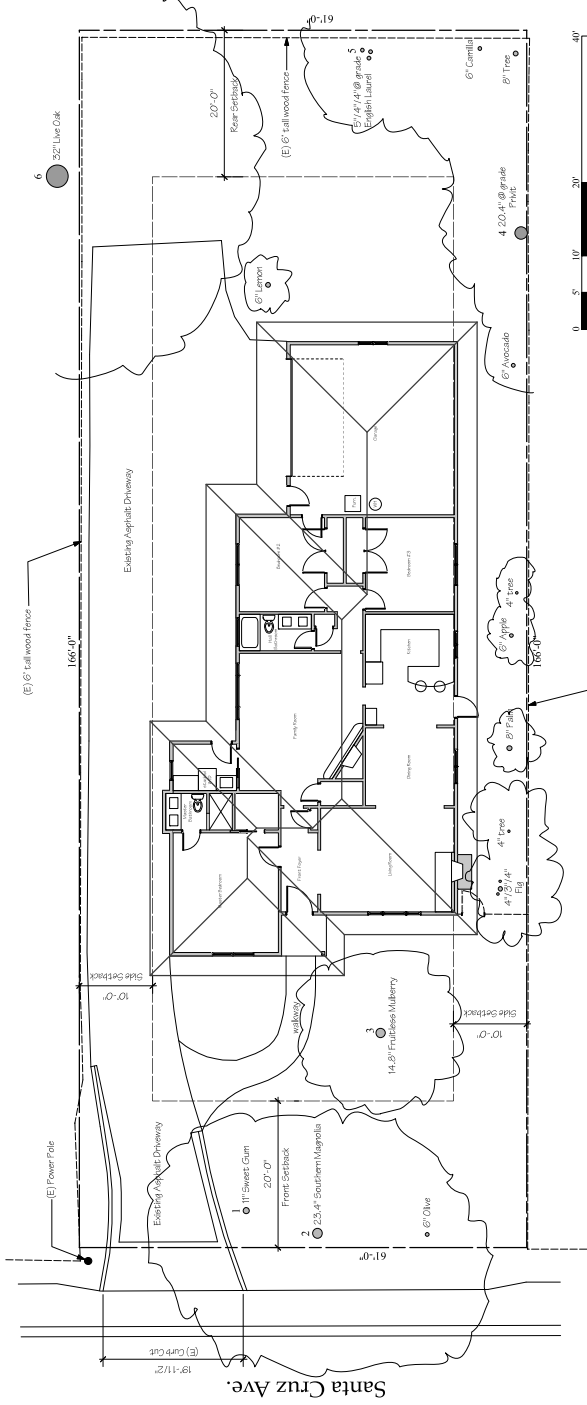


Stephanie & Jesse Palacios
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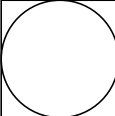
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North: Existing Site Plan
 1/8" = 1'-0"



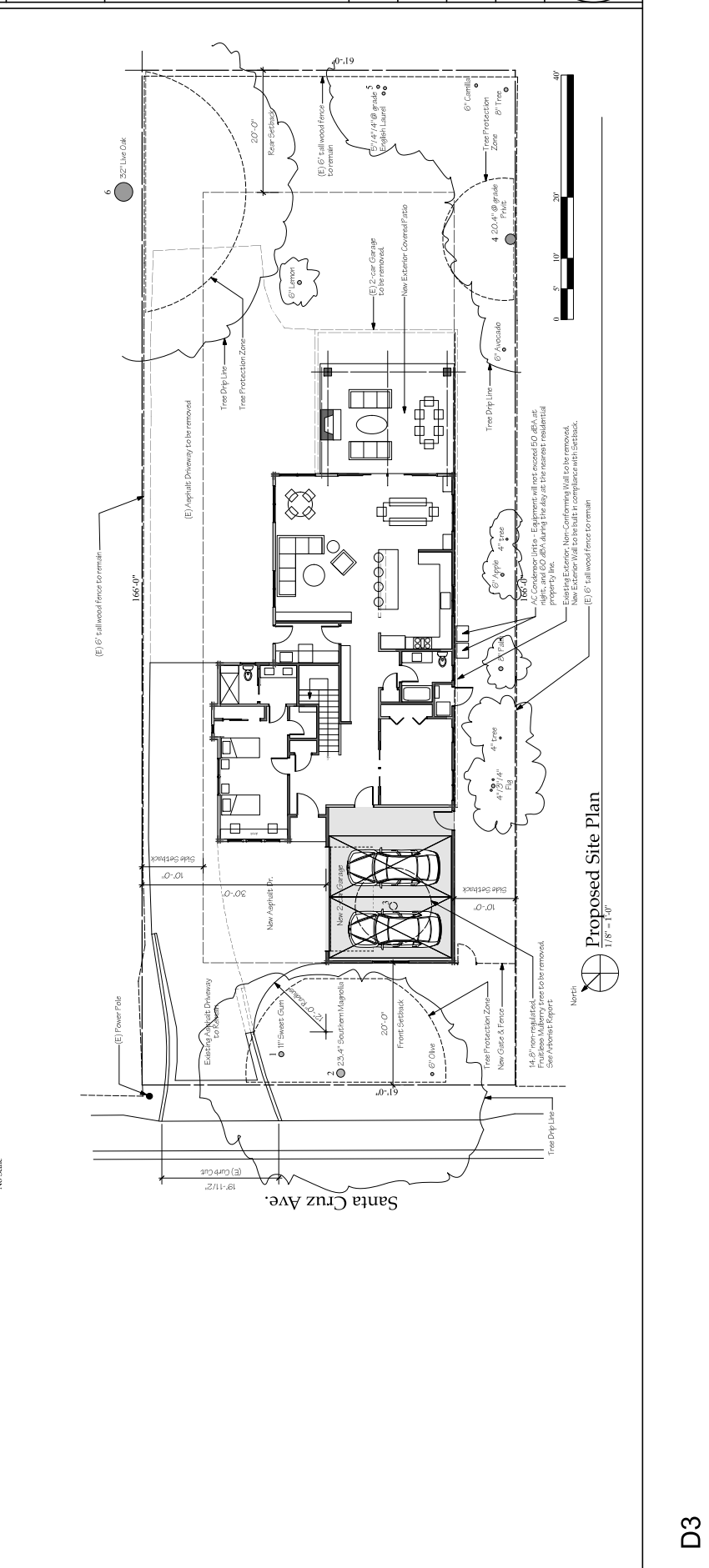
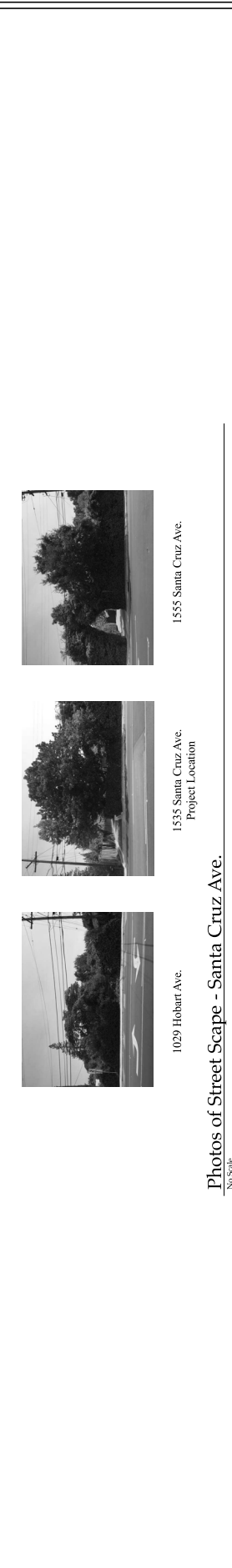
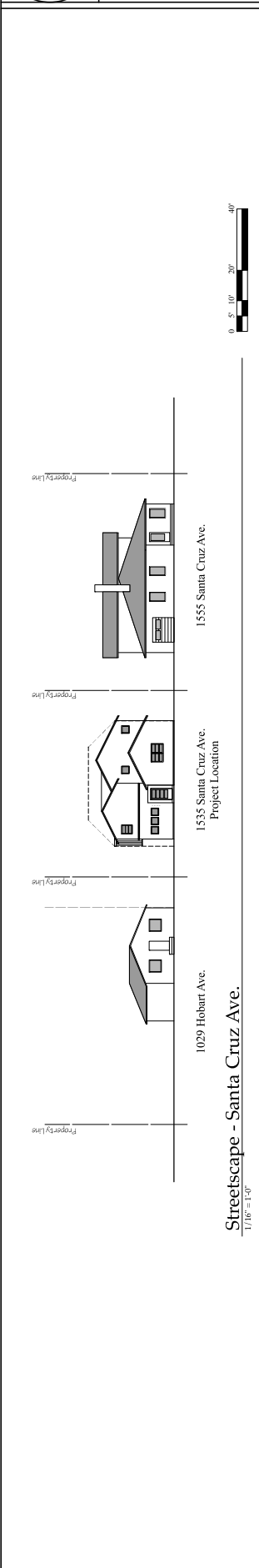
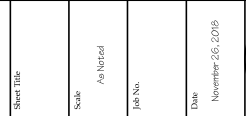


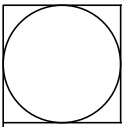
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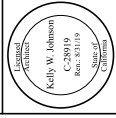


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 Date: November 26, 2019





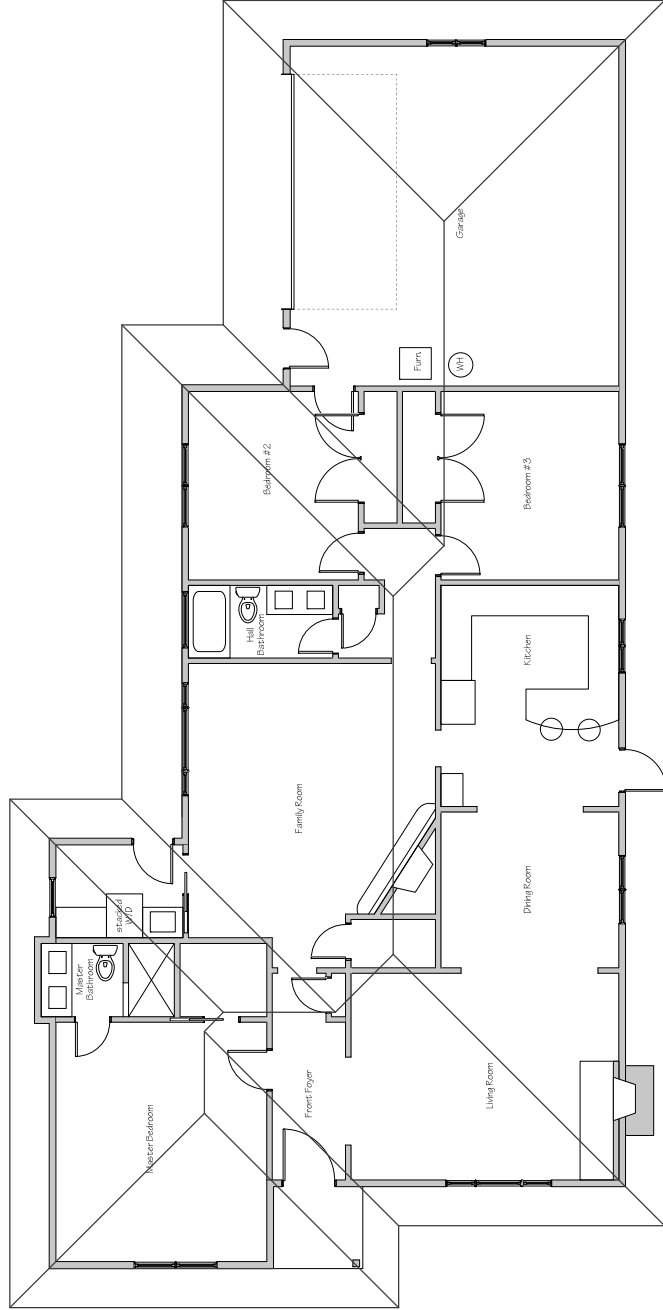
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Date	November 26, 2016

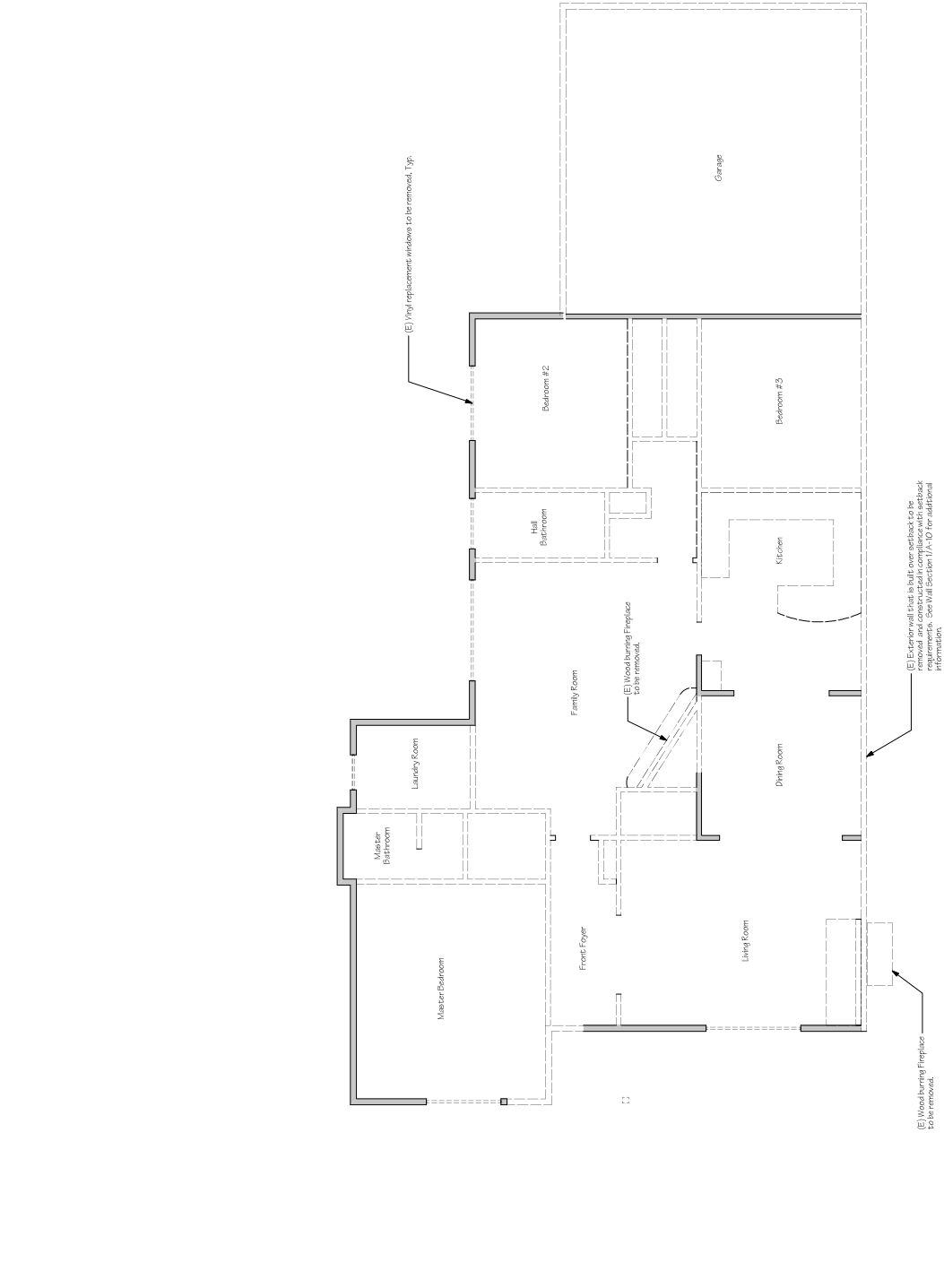
A-1.2



North
 Existing Floor & Roof Plan
 1/4" = 1'-0"

Wall Legend

	Existing Wall to be Demolished
	Existing Wall to Remain



First Floor Demolition Plan
1/4" = 1'-0"



A-1.3

Date: November 26, 2019
Job No.:

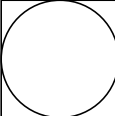
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Sheet Title:

Zak Johnson Architects
900 College Avenue
Menlo Park, CA 94025
650.329.9767



Stephanie & Jesse Palacios
1535 Santa Cruz Ave.
Menlo Park, CA 94025



Wall Legend

- Existing Wall to be demolished
- Existing Wall to Remain
- New Wall to be constructed

For Contractor Layout, all dimensions on floor plan are from Face of Stud for Face of Stud unless noted otherwise.
For Planning Staff, Square Footage calculations were measured from Face of Exterior (wood) to Face of Exterior (wood). See Sheet A-3 for additional information.

Stephanie & Jesse Palacios
1535 Santa Cruz Ave.
Menlo Park, CA 94025

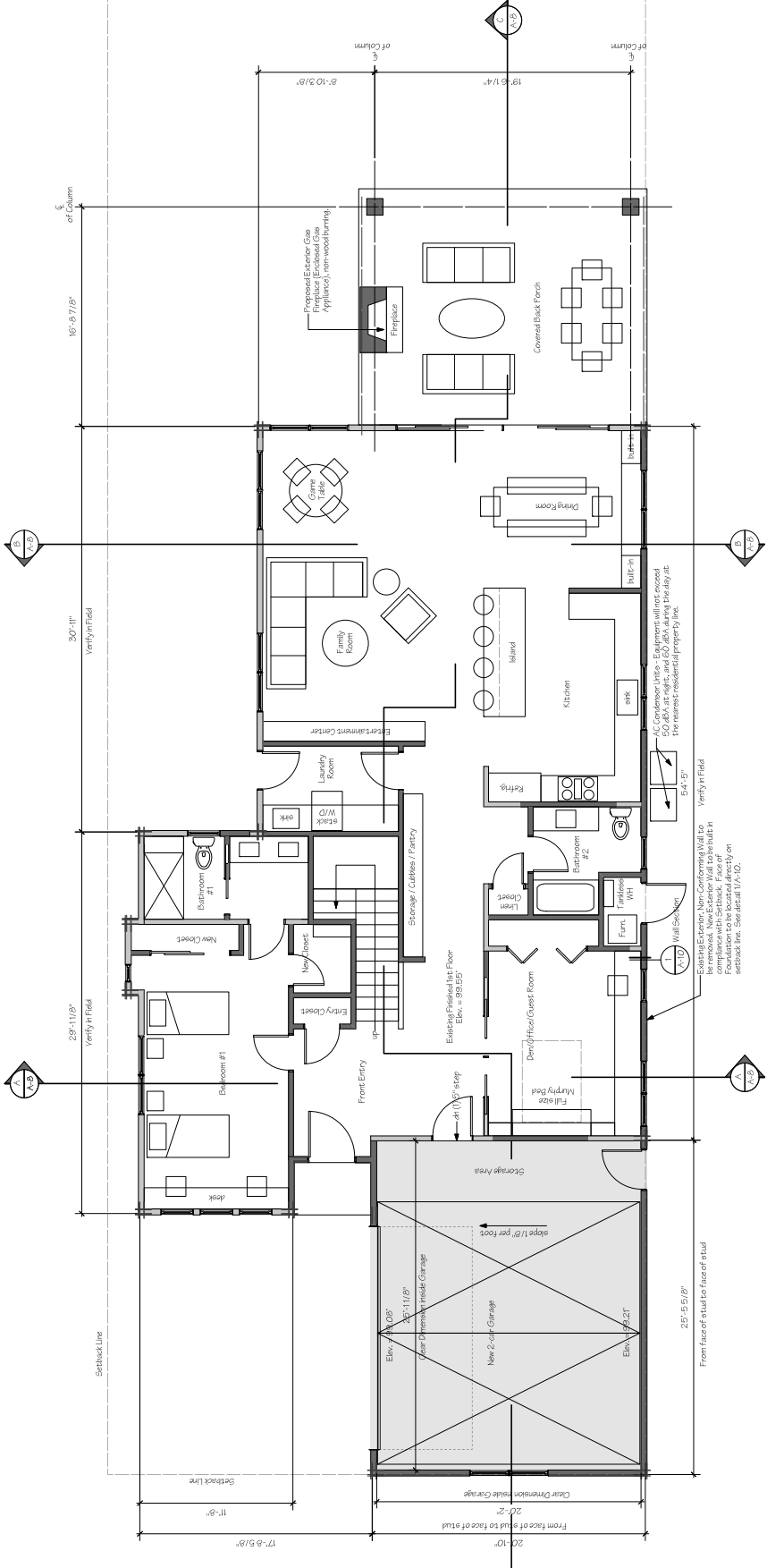


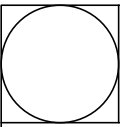
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Scale: As Noted
Rev. No.:
Date: November 26, 2016

A-2

Property Line





Wall Legend

- Existing Wall to be Demolished
- - - Existing Wall to Remain
- ▬▬▬ New Wall to be Constructed

For Contractor Layout, all dimensions on Floor Plan are from Face of Stud for Face of Stud, unless noted otherwise.
 For Planning Staff, Square Footage calculations were measured from Face of Exterior Window to Face of Exterior Window. See Sheet A-5 for additional information.

Stephanie & Jesse Palacios
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 Menlo Park, CA 94025



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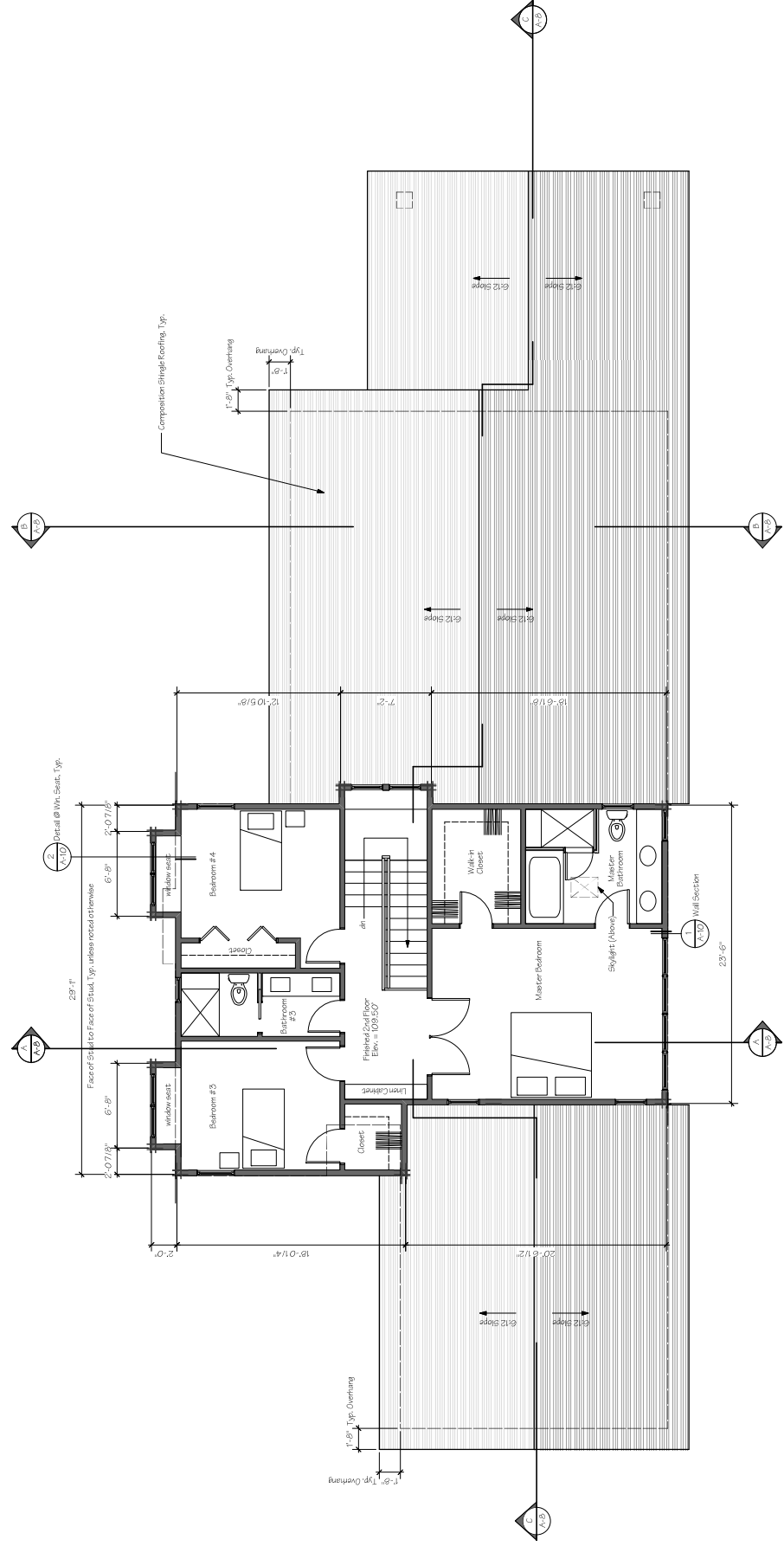
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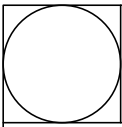
Date November 26, 2016

A-3



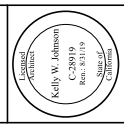
Proposed Second Floor Plan & Lower Level Roof Plan
 1/4" = 1'-0"





Scale: As Noted
 Date: November 26, 2015
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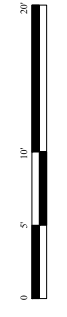
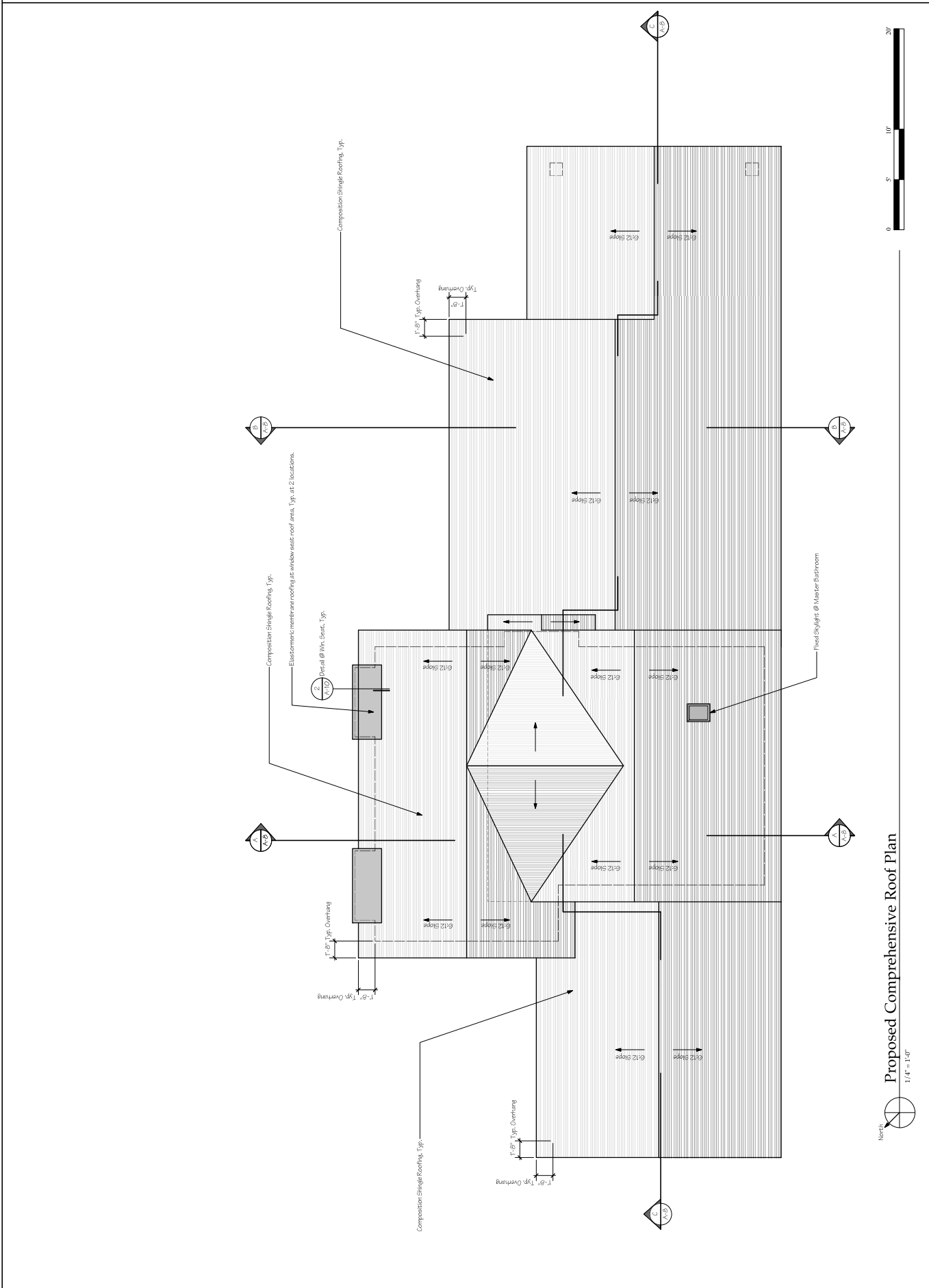
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 Zak Johnson Architects



Stephanie & Jesse Palacios
 1535 Santa Cruz Ave.
 Menlo Park, CA 94025

11/26/15
 11/26/15
 11/26/15

A-4



North:  **Proposed Comprehensive Roof Plan**
 1/4" = 1'-0"

EXISTING HOUSE

Floor Area Coverage Calculations:

Area	Dimensions	Area
1	(5'-7" x 15'-1 1/2")	84.4 sf
2	(5'-9" x 1'-0")	5.8 sf
3	(23'-7" x 39'-1 1/2")	922.7 sf
4	(30'-11" x 30'-1")	930.1 sf
5	(23'-6 1/2" x 23'-2")	545.4 sf
Existing Floor Area Coverage TOTAL =		2,488.4 sf

Building Coverage Calculations:

Area	Dimensions	Area
1	(5'-7" x 15'-1 1/2")	84.4 sf
2	(5'-9" x 1'-0")	5.8 sf
3	(23'-7" x 39'-1 1/2")	922.7 sf
4	(30'-11" x 30'-1")	930.1 sf
5	(23'-6 1/2" x 23'-2")	545.4 sf
6	(4'-9" x 1'-11 7/8")	9.5 sf
7	(5'-7" x 5'-11 1/2")	33.3 sf
Existing Building Coverage TOTAL =		2,531.2 sf

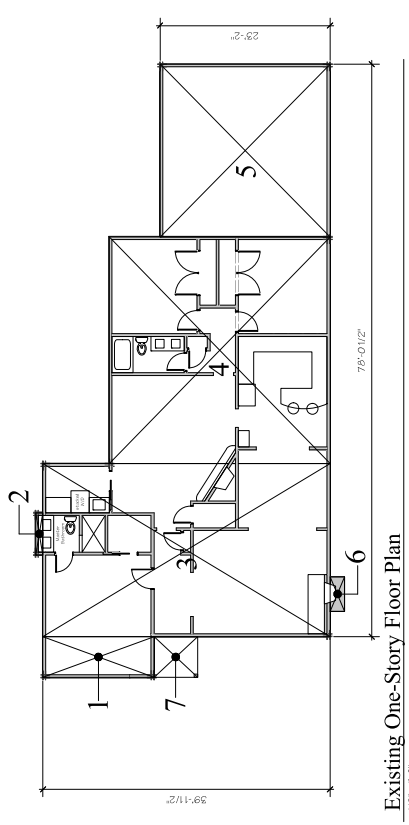
PROPOSED RENOVATED 2-STORY HOUSE

Building Coverage Calculations:

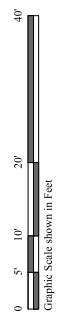
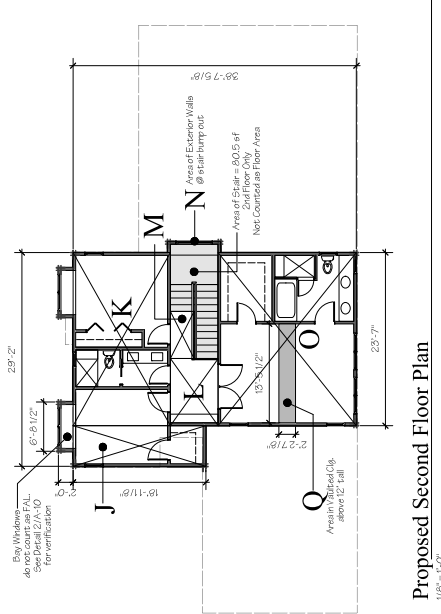
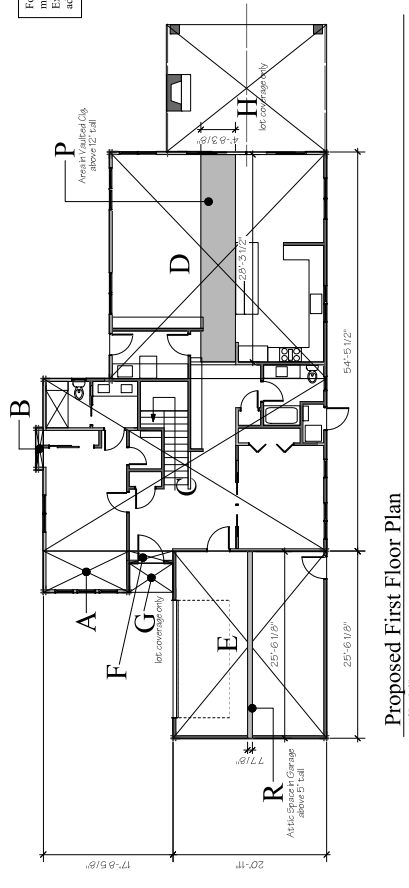
Area	Dimensions	Area
A	(5'-7 1/2" x 11'-9")	66.1 sf
B	(5'-9" x 1'-0")	5.8 sf
C	(23'-6 1/2" x 38'-7 3/4")	909.8 sf
D	(30'-11" x 29'-7 1/4")	915.3 sf
E	(25'-6 1/8" x 20'-11")	533.6 sf
F	(1'-7 1/2" x 5'-11 5/8")	9.7 sf
G	(4'-0" x 5'-11 5/8")	23.9 sf
H	(17'-3 7/8" x 21'-10 1/4")	378.6 sf
PROPOSED Building Coverage TOTAL =		2,842.8 sf

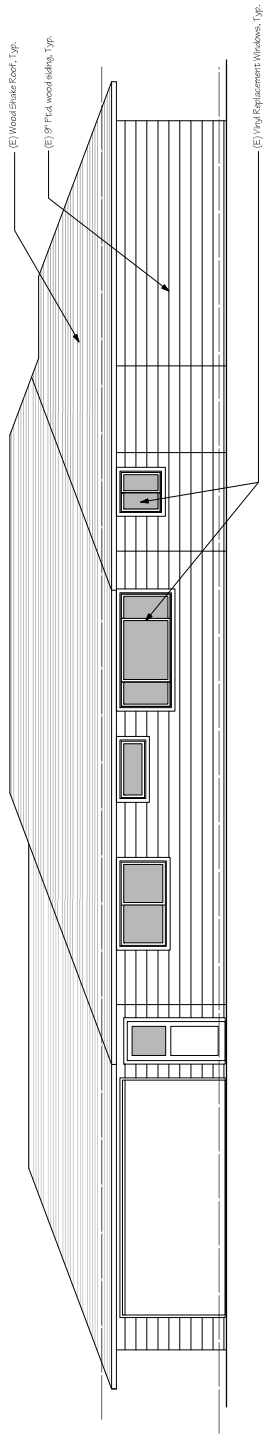
Floor Area Coverage Calculations:

Area	Dimensions	Area
A	(5'-7 1/2" x 11'-9")	66.1 sf
B	(5'-9" x 1'-0")	5.8 sf
C	(23'-6 1/2" x 38'-7 3/4")	909.8 sf
D	(30'-11" x 29'-7 1/4")	915.3 sf
E	(25'-6 1/8" x 20'-11")	533.6 sf
F	(1'-7 1/2" x 5'-11 5/8")	9.7 sf
First Floor Area =		2,440.3 sf
J	(5'-7" x 18'-1 1/8")	101.0 sf
K	(23'-7" x 13'-3")	312.5 sf
L	(9'-1 1/2" x 6'-6")	59.3 sf
M	(6'-5" x 3'-3")	20.9 sf
N	Exterior Wall @ Stair	3.8 sf
O	(23'-7" x 18'-10 5/8")	445.4 sf
Second Floor Area =		942.9 sf
P	(28'-3 1/2" x 4'-8 3/8")	133.0 sf
Q	(2'-2 7/8" x 13'-5 1/2")	30.1 sf
Area from Ceiling (above 12') =		163.1 sf
R	(25'-6 1/8" x 7'-7/8")	16.7 sf
Attic Area (above 5') =		16.7 sf
Proposed Floor Area TOTAL =		3,563.0 sf

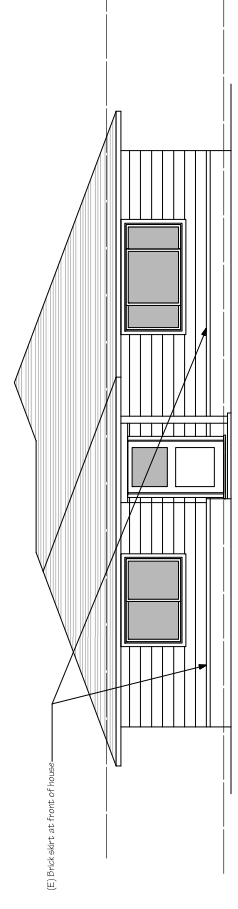


For Planning Staff, square footage dimensions were measured from Face of Exterior Plywood to Face of Exterior Plywood. See Sheet A-10 - Wall Section for additional clarity.

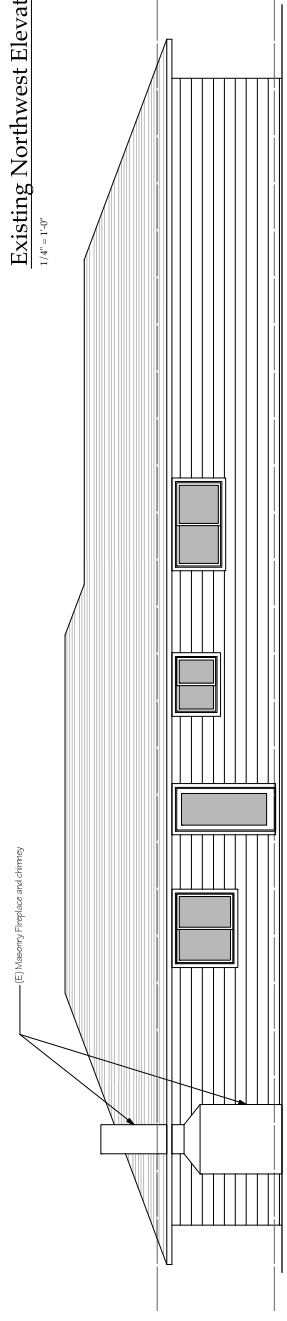




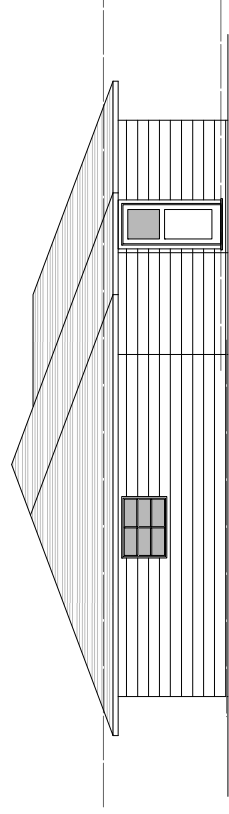
Existing Northeast Elevation
1/4" = 1'-0"



Existing Northwest Elevation
1/4" = 1'-0"



Existing Southwest Elevation
1/4" = 1'-0"



Existing Southeast Elevation
1/4" = 1'-0"

A-6

Date: November 26, 2019

Job No.:

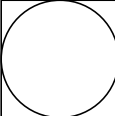
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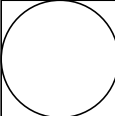
Sheet Title:

Zak Johnson Architects
900 College Avenue
Menlo Park, CA 94025
650.329.9767



Stephanie & Jesse Palacios
1535 Santa Cruz Ave.
Menlo Park, CA 94025





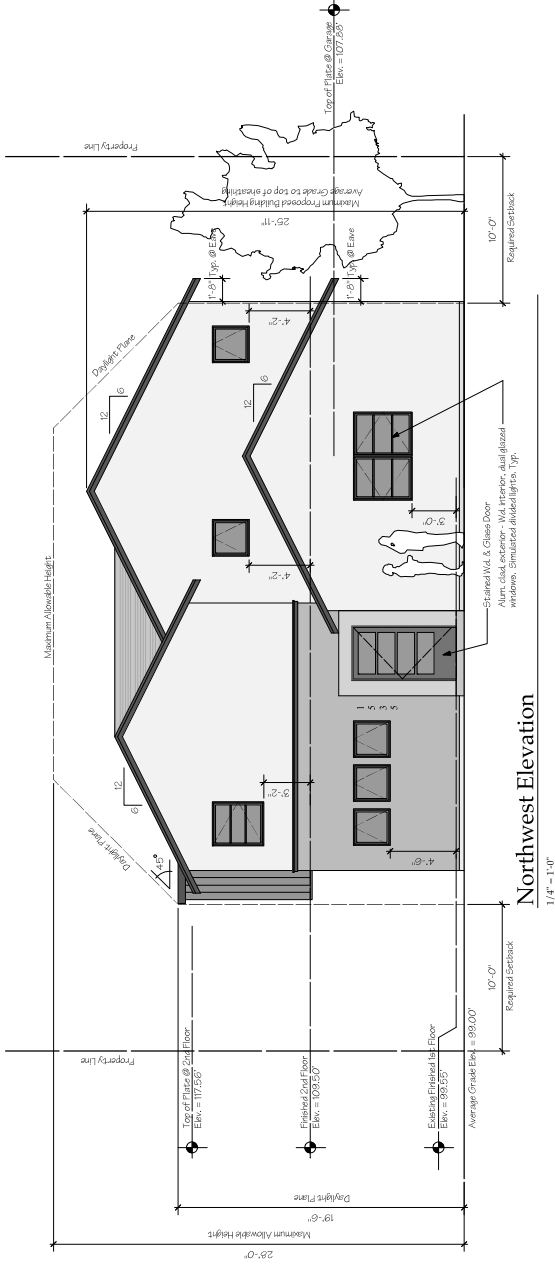
Stephanie & Jesse Palacios
 1535 Santa Cruz Ave.
 Menlo Park, CA 94025



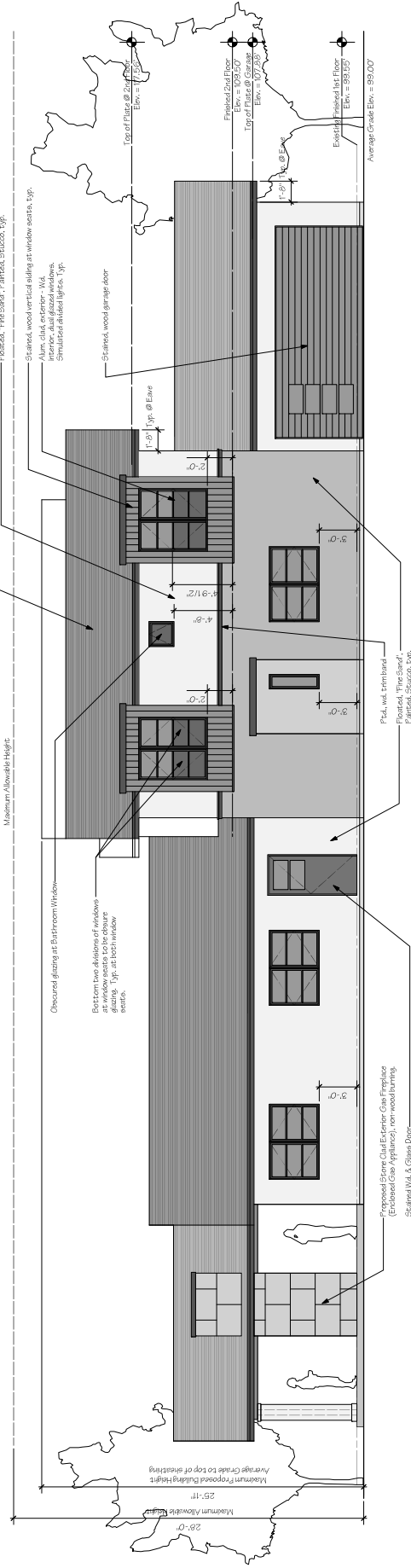
Zak Johnson Architects
 900 College Avenue
 Menlo Park, CA 94025
 650.329.9767

Sheet Title	
Scale	As Noted
Job No.	
Date	November 26, 2016

A-7.0

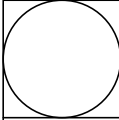


Northwest Elevation
 1/4" = 1'-0"



Northeast Elevation
 1/4" = 1'-0"





Stephanie & Jesse Palacios
1535 Santa Cruz Ave.
Menlo Park, CA 94025



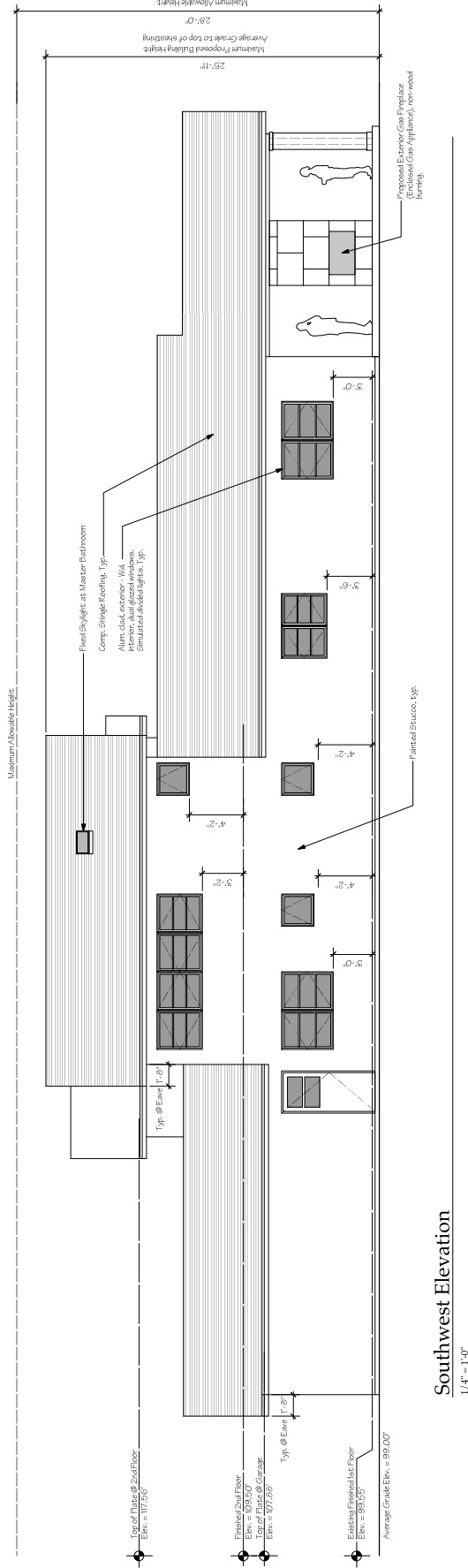
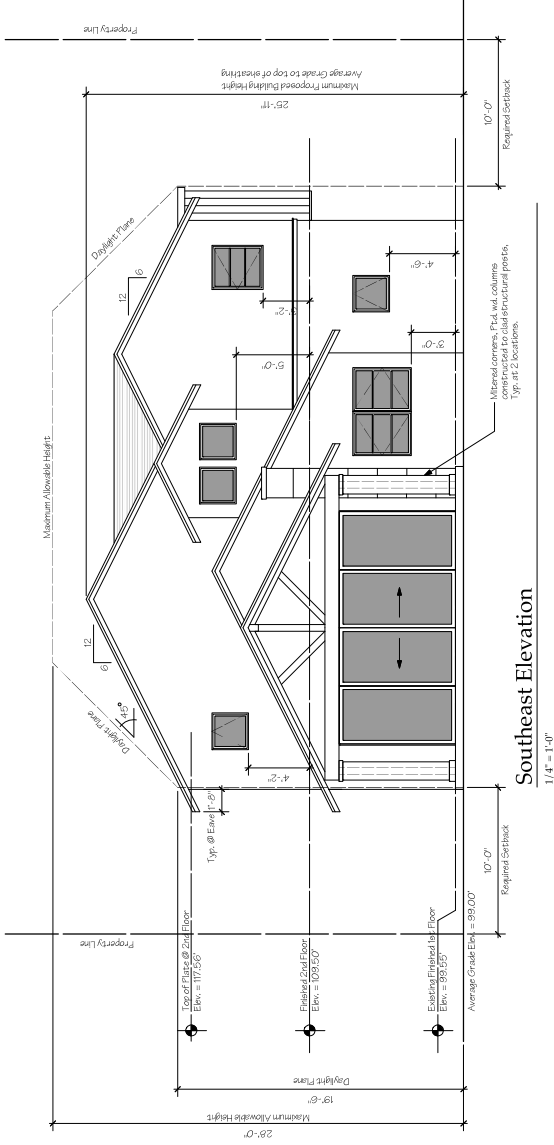
Zak Johnson Architects
900 College Avenue
Menlo Park, CA 94025
650.329.9767

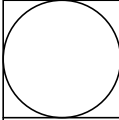
Sheet Title

Scale As Noted

Job No.

Date November 26, 2016



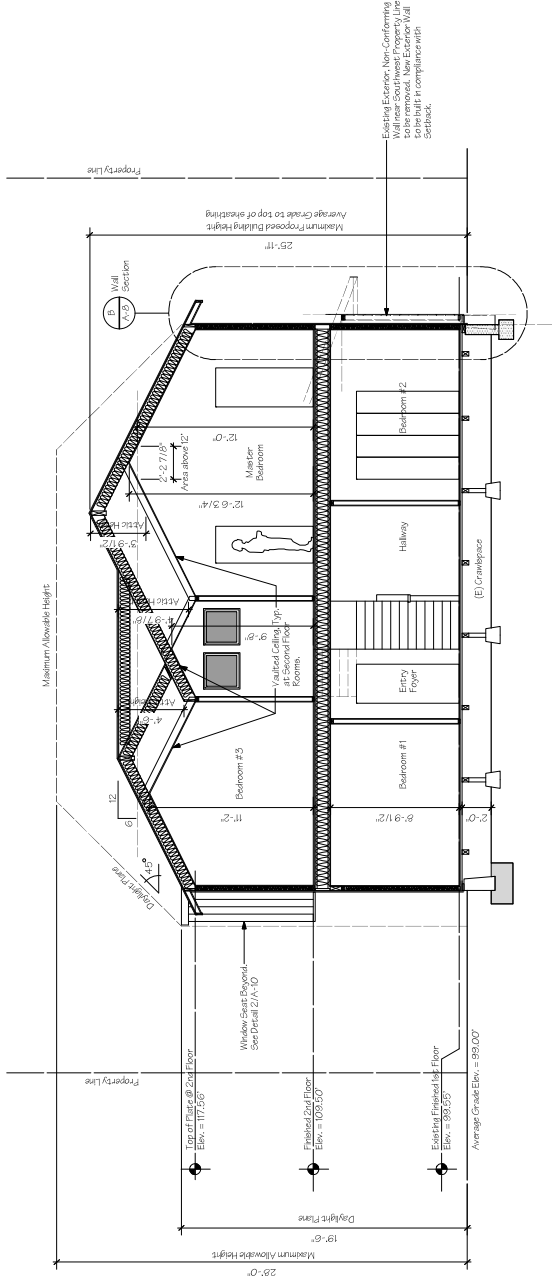


Stephanie & Jesse Palacios
1535 Santa Cruz Ave.
Menlo Park, CA 94025

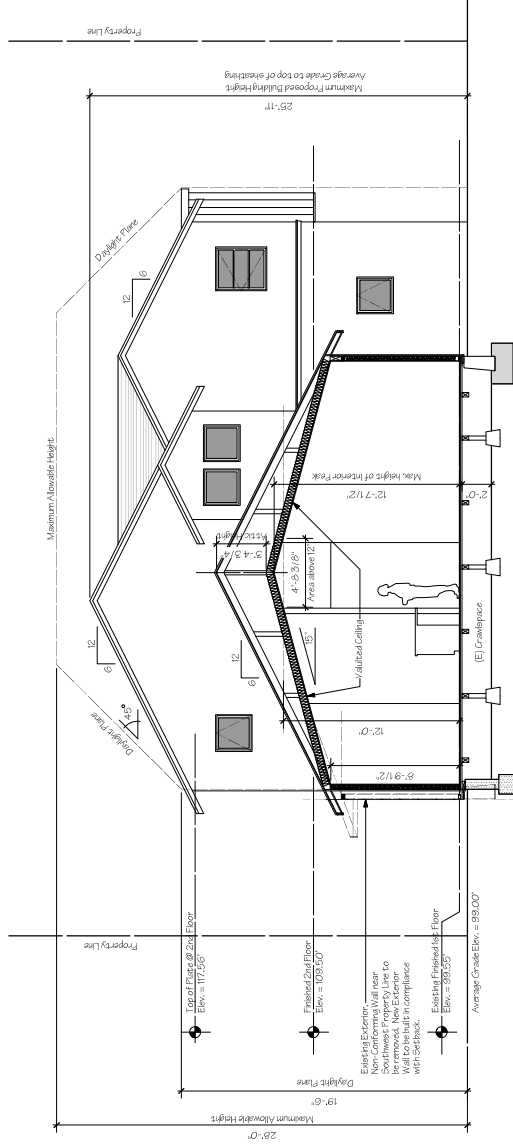


Zak Johnson Architects
900 College Avenue
Menlo Park, CA 94025
650.329.9767

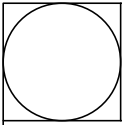
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Rev. No.	
Date	November 26, 2019



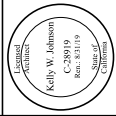
Building Section A-A
1/4" = 1'-0"



Building Section B-B
1/4" = 1'-0"



Stephanie & Jesse Palacios
1535 Santa Cruz Ave.
Menlo Park, CA 94025



Zak Johnson Architects
900 College Avenue
Menlo Park, CA 94025
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Sheet Title

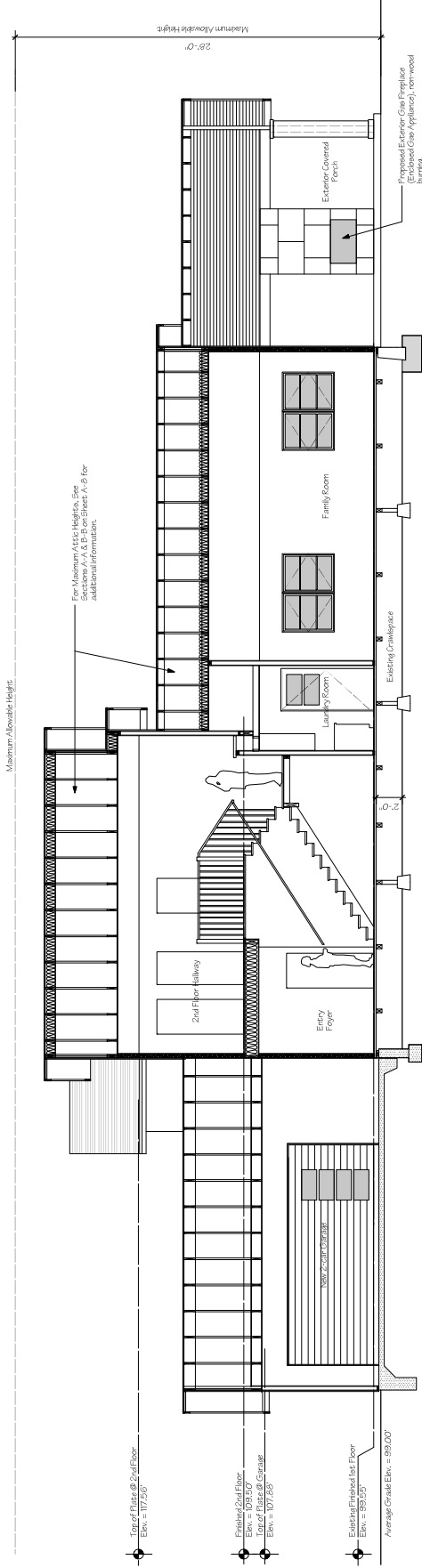
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As Noted

Rev. No.

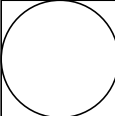
Date

November 26, 2018



Building Section C-C

1/4" = 1'-0"

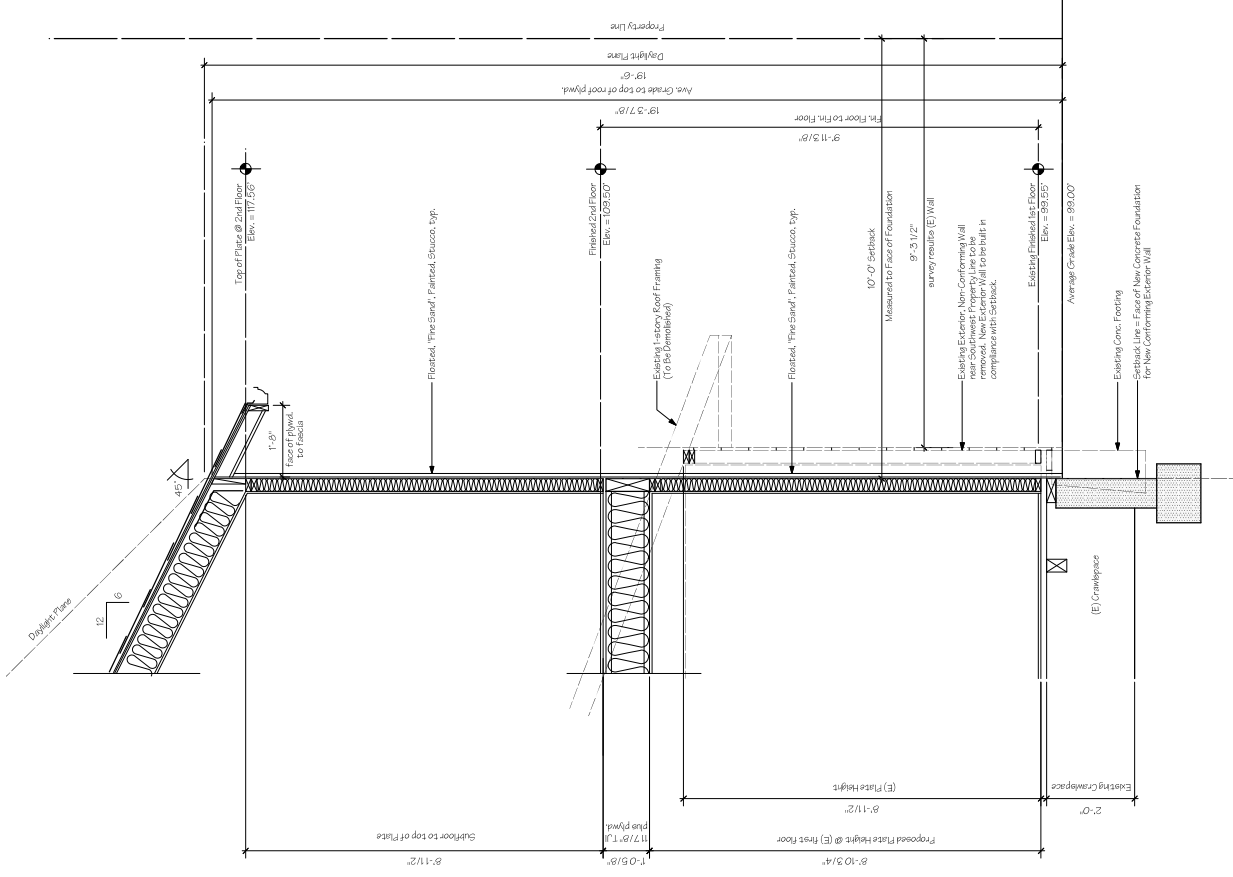


Stephanie & Jesse Palacios
1535 Santa Cruz Ave.
Menlo Park, CA 94025

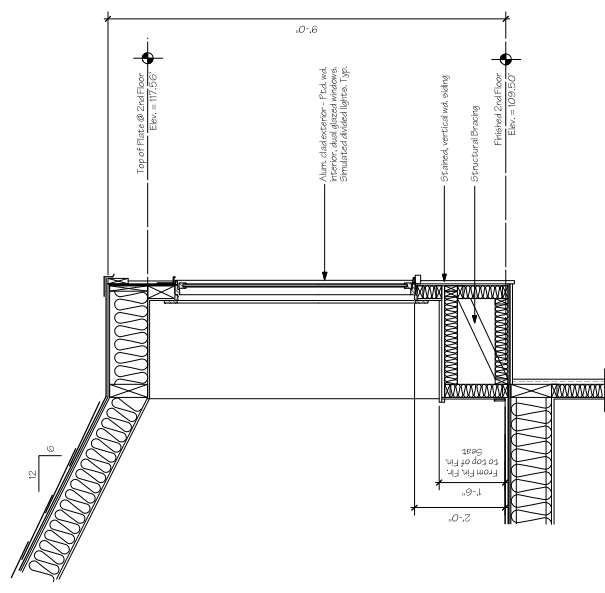


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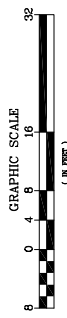
Sheet Title	
Scale	As Noted
Rev. No.	
Date	November 26, 2019



1 Two-Story Wall Section
3/4" = 1'-0"

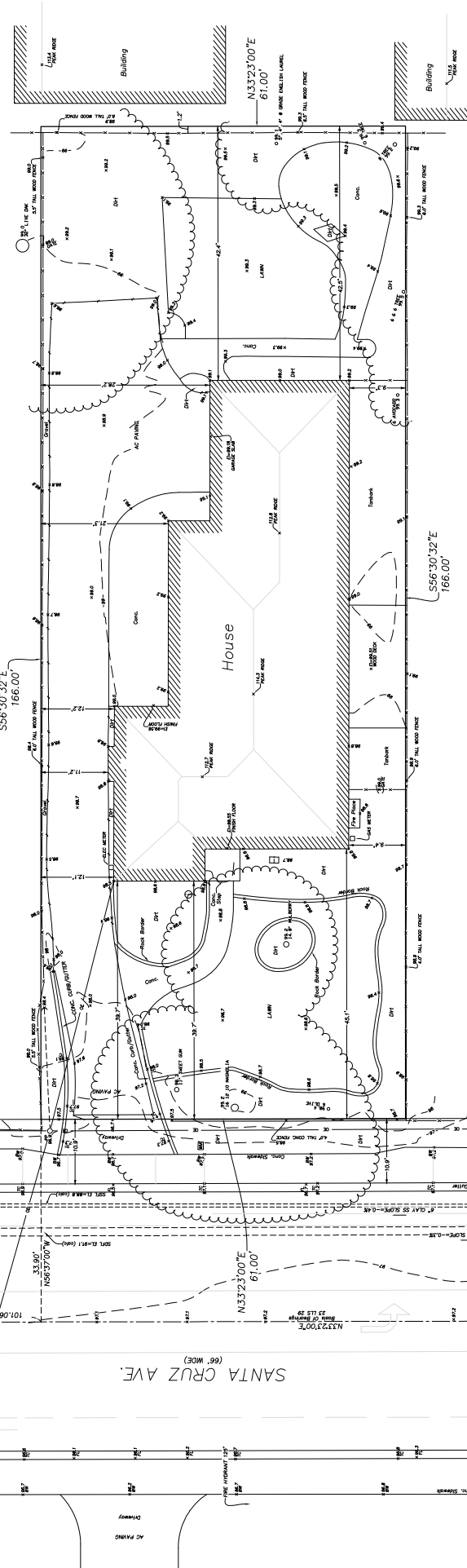
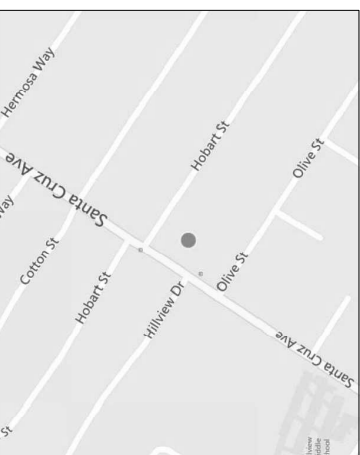
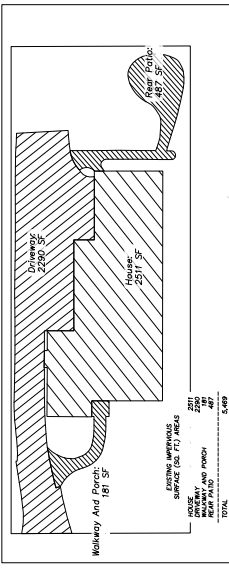
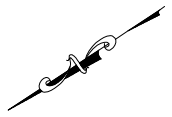


2 Detail through 2nd Floor Window Seat
3/4" = 1'-0"



5-30-2018
1-10-2019 REVISED 4 TREE SPECIES

ABBREVIATIONS
 CONC. CONCRETE
 DRAIN DRAIN
 S.W.H. STORM DRAIN MANHOLE
 S.S.H. SANITARY SEWER MANHOLE
 P.O. PUBLIC UTILITY EGRESS



LEGEND

- FOUND POINT AS NOTED
- WATER METER OR WATER VALVE BOX
- EDGE OF AC PAVING
- FIRE HYDRANT
- TREE - TRUNK DIAMETER IN INCHES SPECIES NOTED WHEN KNOWN; TREE = DECIDUOUS UNLESS NOTED OTHERWISE
- FENCE
- OVERHEAD WIRES
- POWER POLE
- SPOT ELEVATION
- IRRIGATION VALVE BOX
- POLE ANCHOR
- TREE DRIP LINE POINTS TOWARDS TREE TRUNKS; PROPERTY LOCATED AS SHOWN

NOTES
 ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.
 UNDERGROUND UTILITY - LOCATION IS BASED ON SURFACE EVIDENCE.
 DIMENSIONS TO THE BUILDING ARE MEASURED PERPENDICULAR TO THE PROPERTY LINES.
 FINISH FLOOR ELEVATION TAKEN AT DOOR THRESHOLD (EXTERIOR).
 BENCHMARK: S.C.V.M.D. #460 ELEVATION: 116.79' (88 DATUM 2010 ADJUSTMENT)
 RECORD DATA PROPERTY LINES AND EASEMENTS PER LOT 2, 13 MAPS 46
 SITE LIES IN FLOOD ZONE X PER FIRM MAP (UNPRINTED PANEL)
 THIS IS A "FIELD BASED BOUNDARY SURVEY" PER THE CITY SURVEY CHECKLIST
 TITLE REPORT: CORNERSTONE MP-1209 8-8-2012

I CERTIFY THAT THIS PARCEL'S BOUNDARY WAS SURVEYED IN ACCORDANCE WITH THE CHARACTER AND OCCUPY THE POSITIONS INDICATED AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.



I. Wade Hammond
 Licensed Land Surveyor
 No. 6163
 36660 Newark Blvd., Suite C
 Newark, California 94560
 Tel.: (910) 579-6112 Fax: (910) 991-8054
 iwade@iwadhammondps.com

SURVEY
 1535 SANTA CRUZ AVE.
 MENLO PARK
 APN: 071-211-210
 DOC #2012-180797
 LOT AREA: 10,126 SQ. FT.
 GROSS & NET

January 11, 2019

Project Description

1535 Santa Cruz Ave., Menlo Park

We are submitting this Use Permit Application for your consideration. The Use Permit is required due to the proposed second story addition on a substandard lot in regards to width. The site dimensions can be verified on the site plan on Sheet A-1.0 and in the attached survey.

The existing one-story, 3-bedroom house with a 2-car attached garage (2,488 sf) will be renovated. The existing 2-car garage, which currently sits at the rear of the property, will be demolished and a new 2-car attached garage will be built at the front of the property. This reconfiguration will allow the residents access to their backyard from the main house, protecting them from the traffic and noise of Santa Cruz Ave. During this renovation, the existing Southwest wall, that sits over the setback, will be completely re-built so that it is in full compliance with the required setback.

Due to the relocation of the garage, a covered porch will be added to the rear of the house providing a much needed outdoor gathering space in the rear yard for the Palacios family.

In addition, a second story will be added to the existing house. The final configuration will be a 5-bedroom house with a 2-car attached garage (3,563 sf). The new 2nd story has been designed such that it is nestled into the middle of the house to give a good balance to the design. The overall massing of the residence cascades down to the ground by having 1-story masses flanking both sides of the new 2nd story.

Although the massing of the house is traditional in it's shape and gabled roofs, the house has a modern, clean style that includes a mix of stucco and vertical wood siding as the exterior cladding. The proposed window shapes and patterns add to this modern, updated renovation. We would refer to this design nomenclature as a "transitional styled house". It is a balanced blend of traditional massing and contemporary detailing. The project will be constructed using typical wood studs and a poured concrete foundation system.

The owners, Stephanie & Jesse Palacios, have reached out to the immediate neighbors that would be impacted by this project. They shared the use permit drawings with each of the 3 neighbors who have adjacent properties and worked with them to make some improvements to protect privacy. Attached you will find the responses they received from these interactions.

Kelly Johnson, Architect
Zak Johnson Architects
Menlo Park, CA

Advanced Tree Care

P. O. Box 5326 Redwood City, CA 94063

1535 Santa Cruz Ave, Menlo Park

August 31, 2018

Jesse Palacios and Stephanie Ericksen
1535 Santa Cruz Ave
Menlo Park, CA 94025

Site: 1535 Santa Cruz Ave, Menlo Park

Dear Jesse and Stephanie,

At your request I visited the above site for the purpose of inspecting and commenting on the regulated trees around the property. A new garage is planned, prompting the need for this tree protection report.

Method:

Menlo Park regulates all Street trees and Heritage trees whereby Heritage trees are:

1. Any tree having a trunk with a circumference of 47.1 inches (diameter of 15 inches) or more measured at 54 inches above natural grade.
2. Any oak tree native to California, with a circumference of 31.4 inches (diameter of 10 inches) or more measured at 54 inches above natural grade.
3. Any tree or group of trees specifically designated by the City Council for protection because of its historical significance, special character or community benefit.
4. Any tree with more than one trunk measured at the point where the trunks divide, with a circumference of 47.1 inches (diameter of 15 inches) or more, with the exception of trees that are under 12 feet in height, which are exempt from the ordinance.

Menlo Park requests that the tree protection plan contains all trees with a trunk diameter greater than 6 inches be included, this also includes trees on neighboring properties within 8 feet of the property line that may also be impacted by construction.

The location of the regulated trees on this site can be found on the plan provided by you. Each tree is given an identification number. The trees are measured at 54 inches above ground level (DBH or Diameter at Breast Height). A condition rating of 1 to 100 is assigned to each tree representing form and vitality on the following scale:

1 to 29	Very Poor
30 to 49	Poor
50 to 69	Fair
70 to 89	Good
90 to 100	Excellent

The height and spread of each tree is estimated. A Comments section is provided for any significant observations affecting the condition rating of the tree.

A Summary and Tree Protection Plan are at the end the survey providing recommendations for maintaining the health and condition of the trees during and after construction.

Tree Survey

Tree#	Species	DBH	Ht/Sp	Con Rating	Comments
1	Sweet gum <i>Liquidambar styraciflua</i>	11.0"	30/15	50	Fair health and condition, suppressed by #2 Not Regulated
2	Southern magnolia <i>Magnolia grandiflora</i>	23.4"	30/25	70	Good health and condition, topped for PGE, Regulated
3	Fruitless mulberry <i>Morus alba</i>	14.8"	30/25	50	Fair health and condition, leaning, cavity in root crown, Not Regulated
4	Privet <i>Ligustrum lucidum</i>	20.4"@grade	30/20	70	Good health and condition, poor species Regulated
5	English laurel <i>Prunus laurocerasus</i>	5"/4"/4"@grade	20/20	70	Good health and condition, good screen Not Regulated
6	Coast live oak <i>Quercus agrifolia</i>	32"est	50/50	65	Good health and condition, heavily pruned and cabled, neighbors tree, Regulated

Summary:

The trees on the site are a variety of natives and non-natives.

There are 3 Regulated trees of which one is on the neighbor's property.

Tree # 2 is a southern magnolia in good health and condition. The upper **canopy** beneath the power lines has been pruned heavily to accommodate the power lines. This tree is a Heritage tree and should be protected during construction.

Tree # 4 is a glossy privet. This is an invasive species and typically not highly recommended. This tree is a Heritage tree because of its trunk diameter and so should be protected during construction.

Tree # 6 is a coast live oak on the neighbor's property. It has been heavily pruned and there are cables in the canopy to provide extra support. This tree is a Heritage tree and should be protected during construction.

The remaining trees on the property are not protected and can be removed if desired.

Tree Protection Plan

1. The Tree Protection Zone (TPZ) should be defined with protective fencing. This should be cyclone or chain link fencing on 1 1/2" or 2" posts driven at least 2 feet in to the ground standing at least 6 feet tall. Normally a TPZ is defined by the **dripline** of the tree. I recommend the TPZ's as follows:-

Tree # 2: TPZ should be at 20 feet radius from the trunk of the tree closing on the sidewalk in accordance with Type I Tree Protection as outlined and illustrated in image 2.15-1 and 2 ⁽⁶⁾. This can be reduced to no less than 15 feet radius to accommodate the new construction.

Since there will only be demolition work close to Tree #s 4 and 6, I have reduced the TPZ's to less than normally required.

Tree # 4: TPZ should be at 10 feet from the trunk closing on the fence line in accordance with Type I Tree Protection as outlined and illustrated in image 2.15-1 and 2 ⁽⁶⁾.

Tree # 6: TPZ should be at 20 feet from the trunk closing on the fence line in accordance with Type I Tree Protection as outlined and illustrated in image 2.15-1 and 2 ⁽⁶⁾.



IMAGE 2.15-1
Tree Protection Fence at the Dripline



IMAGE 2.15-2
Tree Protection Fence at the Dripline

• **Type I Tree Protection**

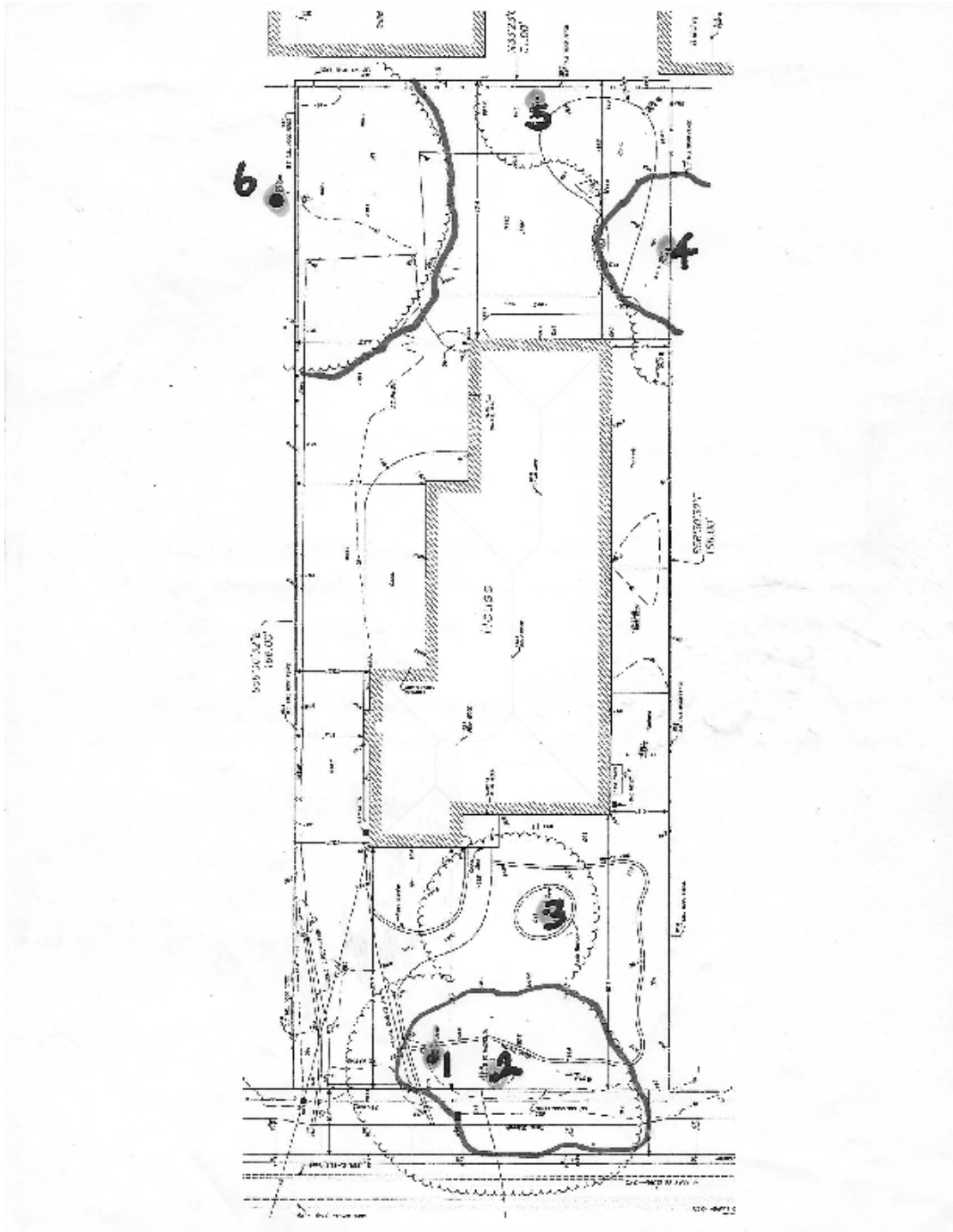
The fences shall enclose the entire area under the **canopy dripline or TPZ** of the tree(s) to be saved throughout the life of the project, or until final improvement work within the area is required, typically near the end of the project (*see Images 2.15-1 and 2.15-2*). Parking Areas: If the fencing must be located on paving or sidewalk that will not be demolished, the posts may be supported by an appropriate grade level concrete base.

2. Any pruning and maintenance of the tree shall be carried out before construction begins. This should allow for any clearance requirements for both the new structure and any construction machinery. This will eliminate the possibility of damage during construction. **The pruning should be carried out by an arborist, not by construction personnel.** No limbs greater than 4" in diameter shall be removed.
3. Any excavation in ground where there is a potential to damage roots of 1" or more in diameter should be carefully hand dug. Where possible, roots should be dug around rather than cut.⁽²⁾
4. If roots are broken, every effort should be made to remove the damaged area and cut it back to its closest lateral root. A clean cut should be made with a saw or pruners. This will prevent any infection from damaged roots spreading throughout the root system and into the tree.⁽²⁾
5. **Do Not:**⁽⁴⁾
 - a. Allow run off or spillage of damaging materials into the area below any tree canopy.
 - b. Store materials, stockpile soil, park or drive vehicles within the TPZ of the tree.
 - c. Cut, break, skin or bruise roots, branches or trunk without first obtaining permission from the city arborist.
 - d. Allow fires under any adjacent trees.
 - e. Discharge exhaust into foliage.
 - f. Secure cable, chain or rope to trees or shrubs.
 - g. Apply soil sterilants under pavement near existing trees.
6. Where roots are exposed, they should be kept covered with the native soil or four layers of wetted, untreated burlap. Roots will dry out and die if left exposed to the air for too long.⁽⁴⁾
7. Route pipes into alternate locations to avoid conflict with roots.⁽⁴⁾
8. Where it is not possible to reroute pipes or trenches, the contractor is to bore beneath the dripline of the tree. The boring shall take place no less than 3 feet below the surface of the soil in order to avoid encountering "feeder" roots.⁽⁴⁾
9. Compaction of the soil within the dripline shall be kept to a minimum.⁽²⁾ If access is required to go through the TPZ of a protected tree, the area within the TPZ should be protected from compaction either with steel plates or with 4" of wood chip overlaid with plywood.
10. Any damage due to construction activities shall be reported to the project arborist or city arborist within 6 hours so that remedial action can be taken.
11. Ensure upon completion of the project that the original ground level is restored

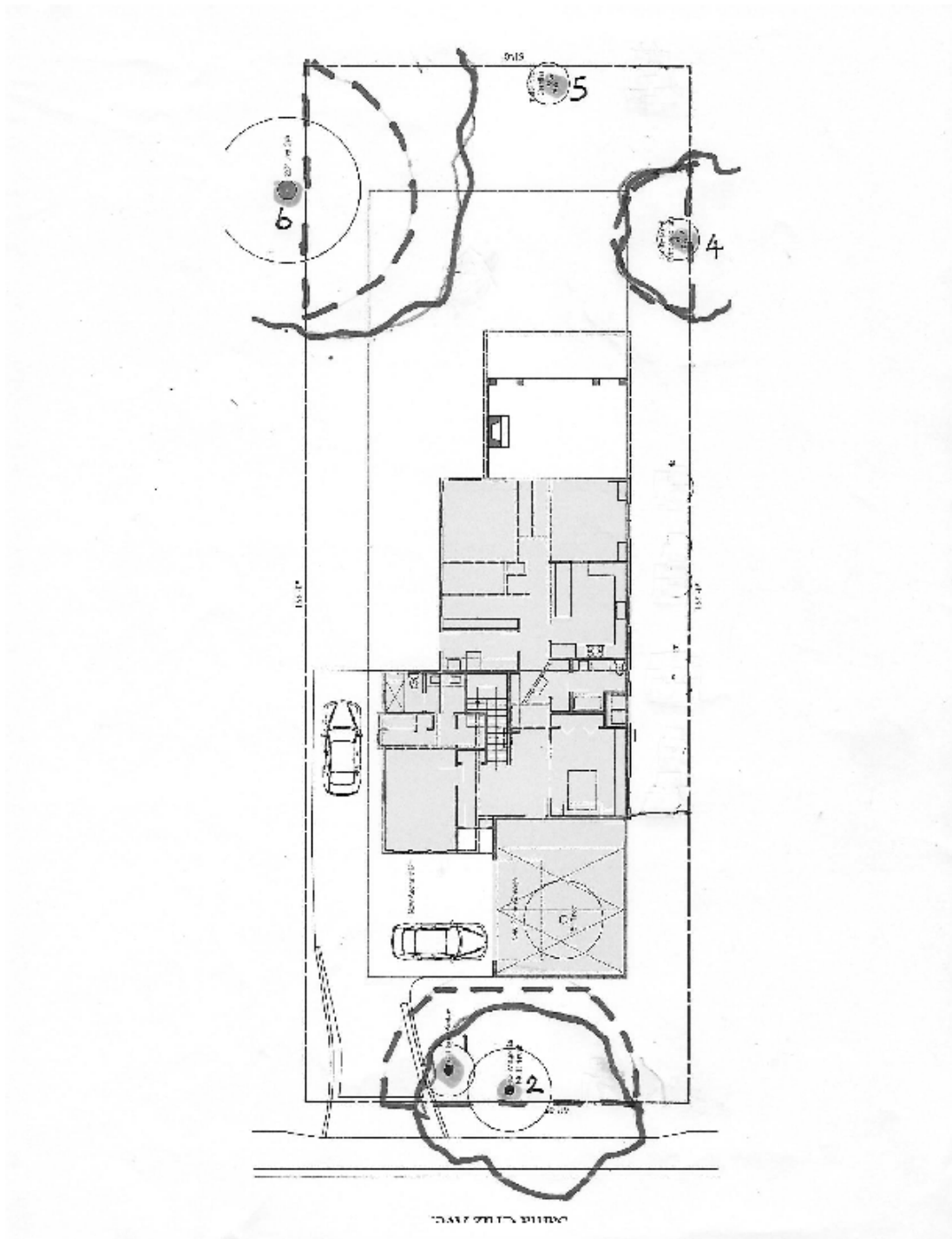
Site Monitoring Activities

There will be an initial site visit to approve tree protection fencing prior to demolition and again prior to construction.

There will be monthly site visits for the duration of the project to ensure tree protection is all in place and to monitor the health and condition of the trees during construction.



Location of existing house and garage, trees and their canopies



Location of proposed new garage and Tree Protection Zones

Glossary

Canopy	The part of the crown composed of leaves and small twigs. ⁽²⁾
Cavities	An open wound, characterized by the presence of extensive decay and resulting in a hollow. ⁽¹⁾
Dripline	The width of the crown as measured by the lateral extent of the foliage. ⁽¹⁾
Genus	A classification of plants showing similar characteristics.
Species	A Classification that identifies a particular plant.
Standard height	Height at which the girth of the tree is measured. Typically 4 1/2 feet above ground level

References

(1) Matheny, N.P., and Clark, J.P. Evaluation of Hazard Trees in Urban Areas. International Society of Arboriculture, 1994.

(2) Harris, R.W., Matheny, N.P. and Clark, J.R.. Arboriculture: Integrated Management of Landscape Trees, Shrubs and Vines. Prentice Hall, 1999.

(3) Carlson, Russell E. Paulownia on The Green: An Assessment of Tree Health and Structural Condition. Tree Tech Consulting, 1998.

(4) Extracted from a copy of Tree Protection guidelines. Anon

(5) T. D. Sydnor, Arboricultural Glossary. School of Natural Resources, 2000

(6) D Dockter, Tree Technical Manual. City of Palo Alto, June, 2001

Certification of Performance⁽³⁾

I, Robert Weatherill certify:

- * That I have personally inspected the tree(s) and/or the property referred to in this report, and have stated my findings accurately. The extent of the evaluation and appraisal is stated in the attached report and the Terms and Conditions;
- * That I have no current or prospective interest in the vegetation or the property that is the subject of this report, and I have no personal interest or bias with respect to the parties involved;
- * That the analysis, opinions and conclusions stated herein are my own, and are based on current scientific procedures and facts;
- * That my compensation is not contingent upon the reporting of a predetermined conclusion that favors the cause of the client or any other party, nor upon the results of the assessment, the attainment of stipulated results, or the occurrence of any subsequent events;
- * That my analysis, opinions, and conclusions were developed and this report has been prepared according to commonly accepted Arboricultural practices;
- * That no one provided significant professional assistance to the consultant, except as indicated within the report.

I further certify that I am a member of the International Society of Arboriculture and a Certified Arborist. I have been involved in the practice of arboriculture and the care and study of trees for over 15 years.

Signed



Robert Weatherill
Certified Arborist WE 1936a
Date: 8/31/18

Terms and Conditions(3)

The following terms and conditions apply to all oral and written reports and correspondence pertaining to consultations, inspections and activities of Advanced Tree Care :

1. All property lines and ownership of property, trees, and landscape plants and fixtures are assumed to be accurate and reliable as presented and described to the consultant, either verbally or in writing. The consultant assumes no responsibility for verification of ownership or locations of property lines, or for results of any actions or recommendations based on inaccurate information.
2. It is assumed that any property referred to in any report or in conjunction with any services performed by Advanced Tree Care, is not in violation of any applicable codes, ordinances, statutes, or other governmental regulations, and that any titles and ownership to any property are assumed to be good and marketable. Any existing liens and encumbrances have been disregarded.
3. All reports and other correspondence are confidential, and are the property of Advanced Tree Care and it's named clients and their assignees or agents. Possession of this report or a copy thereof does not imply any right of publication or use for any purpose, without the express permission of the consultant and the client to whom the report was issued. Loss, removal or alteration of any part of a report invalidates the entire appraisal/evaluation.
4. The scope of any report or other correspondence is limited to the trees and conditions specifically mentioned in those reports and correspondence. Advanced Tree Care and the consultant assume no liability for the failure of trees or parts of trees, either inspected or otherwise. The consultant assumes no responsibility to report on the condition of any tree or landscape feature not specifically requested by the named client.
5. All inspections are limited to visual examination of accessible parts, without dissection, excavation, probing, boring or other invasive procedures, unless otherwise noted in the report. No warrantee or guarantee is made, expressed or implied, that problems or deficiencies of the plants or the property will not occur in the future, from any cause. The consultant shall not be responsible for damages caused by any tree defects, and assumes no responsibility for the correction of defects or tree related problems.
6. The consultant shall not be required to provide further documentation, give testimony, be deposed, or attend court by reason of this appraisal/report unless subsequent contractual arrangements are made, including payment of additional fees for such services as described by the consultant or in the fee schedules or contract.
7. Advanced Tree Care has no warrantee, either expressed or implied, as to the suitability of the information contained in the reports for any purpose. It remains the responsibility of the client to determine applicability to his/her particular case.
8. Any report and the values, observations, and recommendations expressed therein represent the professional opinion of the consultants, and the fee for services is in no manner contingent upon the reporting of a specified value nor upon any particular finding to be reported.
9. Any photographs, diagrams, graphs, sketches, or other graphic material included in any report, being intended solely as visual aids, are not necessarily to scale and should not be construed as engineering reports or surveys, unless otherwise noted in the report. Any reproductions of graphs material or the work product of any other persons is intended solely for the purpose of clarification and ease of reference. Inclusion of said information does not constitute a representation by Advanced Tree Care or the consultant as to the sufficiency or accuracy of that information.

Neighbor Response from 1555 Santa Cruz.
* Share Southwest property line.

ATTACHMENT G

Begin forwarded message:

From: Stephanie Ericksen <stephanieandjesse6@gmail.com>
Date: October 7, 2018 at 3:40:40 PM PDT
To: Mike Raab <mraab@ardelyx.com>
Cc: "mgraab@me.com" <mgraab@me.com>, Jesse Palacios <jesserpalacios@gmail.com>
Subject: Re: Home remodel plans

Thanks Mike!

Sent from my iPhone

On Oct 7, 2018, at 2:49 PM, Mike Raab <mraab@ardelyx.com> wrote:

Hi you guys,

These look great and we have no issue at all.

Congrats!

M

<image001.png>

Mike Raab
President & CEO
Ardelyx, Inc.
34175 Ardenwood Blvd.
Fremont, CA 94555
Office: (510) 745-1757
web: www.ardelyx.com
email: mraab@ardelyx.com

From: Stephanie Palacios <stephanieandjesse6@gmail.com>
Date: Saturday, October 6, 2018 at 4:58 PM
To: Mike Raab <mgraab@me.com>
Cc: Jesse Palacios <jesserpalacios@gmail.com>
Subject: Home remodel plans

Hi Mike,
I hope you and Carrie are having a great time in Colorado!

Attached are the plans for our remodel/addition. We are planning to move the garage from the back of our house to the front by the street (keeping our same driveway entrance location) and add a second story over the front of the house so that we have more usable space and a better flow from the new kitchen/family room to the back yard.

- Image A0.0 shows the updated position of the house on the property as well as the position of the house to your house and the neighbors' houses. You can also see the position of the 2nd story towards the front of the property.

Neighbor Response from 1015 Hobart Ave
* Share Southeast property line

From: **Stephanie Ericksen** stephanieandjesse6@gmail.com
Subject: Fwd: Home remodel/addition plans
Date: October 9, 2018 at 8:29 AM
To: kelly@zakjohnson.com, **Jesse Palacios** jesserpalacios@gmail.com



Sent from my iPhone

Begin forwarded message:

From: Monica Corman <mcorman@apr.com>
Date: October 9, 2018 at 11:26:36 AM GMT-4
To: Stephanie Ericksen <stephanieandjesse6@gmail.com>
Cc: Jesse Palacios <jesserpalacios@gmail.com>
Subject: Re: Home remodel/addition plans

I have a property on tour this morning but could probably be available for a short call. I looked at you plans and they seem fine. We are not affected by a second story Your other neighbors might be but we aren't.

Monica

Sent from my iPhone

On Oct 9, 2018, at 7:34 AM, Stephanie Ericksen <stephanieandjesse6@gmail.com> wrote:

Hi Monica,
Would a call today between 10:00-11:00 am work for you? I could also be available around 9:00 or 9:30 am.
Best,
Stephanie

Sent from my iPhone

On Oct 8, 2018, at 12:17 PM, Monica Corman <mcorman@apr.com> wrote:

I got it. Thank you.

Monica Corman, Broker
Alain Pinel Realtors
650-543-1164 Office
650-465-5971 Mobile
BRE #01111473
www.monicacorman.com
Ranked in The Wall Street Journal's
2016, 2017 and 2018 Nationwide List of 250 Top Real Estate
Professionals

From: Stephanie Palacios [<mailto:stephanieandjesse6@gmail.com>]
Sent: Sunday, October 07, 2018 7:04 AM
To: Monica Corman
Cc: Jesse Palacios
Subject: Re: Home remodel/addition plans

Hi Monica,
My cell number is 650-504-4862 and our home number is 650-521-0590. I will be out this morning until about 9:30 and then around or doing errands the rest of the day.

In case it's helpful attached are the plans for our remodel/addition



STAFF REPORT

Planning Commission

Meeting Date: 1/28/2019
Staff Report Number: 19-006-PC

Public Hearing: Menlo Gateway Development Agreement – Eighth Annual Review

Recommendation

Staff recommends that the Planning Commission review the information provided and make a determination that the property owner, over the course of the past year, has demonstrated good faith compliance with the provisions of the Menlo Gateway Development Agreement for the period of January 2018 through January 2019. The recommended actions are included as Attachment A.

Policy Issues

The Planning Commission should consider whether or not the property owner has demonstrated good faith compliance with the provisions of the Development Agreement for the Menlo Gateway (Bohannon Hotel & Office) project on nine properties addressed 100 to 190 Independence Drive (Independence Site) and 101 to 155 Constitution Drive (Constitution Site).

Background

In June 2010, the City Council voted to approve the Menlo Gateway project, subject to voter approval of a ballot measure for the November 2, 2010 general election. The voters approved Measure T, and the project approvals became effective with the certification of the election results on December 7, 2010. The project involved General Plan and Zoning Ordinance Amendments and a number of other approvals, including a Conditional Development Permit (CDP) and Development Agreement, to allow the construction of an office, research and development (R&D), hotel, and health club development on two sites (referred to as the Independence Site and Constitution Site) located between US 101 and Bayfront Expressway adjacent to the Marsh Road interchange. A location map is included as Attachment B.

In March 2015, the applicant requested substantially consistent major modifications to the CDP to accommodate a different hotel format than the one anticipated as part of the original approval. This was mainly due to a change in market conditions and the discontinuation of the hotel concept that was originally proposed. In May 2015, the Planning Commission and City Council recommended the City Manager to approve the following major modifications to the original project:

- An increase in the number of hotel rooms from 230 to 250;
- An increase in the hotel square footage by approximately 24,000 from 173,000 to 197,000;
- Incorporation of the health and fitness facility into a parking structure on the Independence Site;
- A decrease in the health and fitness facility square footage by approximately 28,000 from 69,000 to 41,000; and
- A net decrease in square footage by approximately 4,400 for the total project.

On July 28, 2015, the City Manager issued a letter approving these major modifications to the CDP.

The following table summarizes some of the key features of the overall project on approximately 15.9 acres:

Land Use	Constitution Site (Closest to SR 84)	Independence Site (Closest to US 101)	Total
Office/R&D	494,664 s.f.	200,000 s.f.	694,664 s.f.
Hotel	n/a	197,000 s.f./ 250 rooms	197,000 s.f./ 250 rooms
Health Club	n/a	41,000 s.f.	41,000 s.f.
Total	494,664 s.f.	438,000 s.f.	932,664 s.f.

In October 2017, the applicant requested substantially consistent minor modifications to the approved plans for the Constitution Site office buildings. The changes were requested to enhance the functionality of the proposed buildings and site. The proposed changes included:

- Removal of the planters and foliage along each level and elevation of the parking structure facades, and installation of dichroic glass panels on the north and southern elevations of each structure to create a unique, iconic sculptural element on each of the parking structures;
- Replacement of the “lamella” trellis structure between the two Constitution office buildings with two aerial pedestrian bridges to provide connectivity for workers; and
- An increase in the height of the roof canopy of the Constitution office buildings from 12 feet to 13 feet to accommodate screening for elevator hoistways and cooling tower penthouses.

Following a notification to the Planning Commission of the proposed changes, the substantially consistent minor modifications were approved by the Community Development Director on December 15, 2017.

Beginning in late September 2017 through December 2017, the applicant submitted building permit plans for the construction of the two parking garages and two eight-story office buildings approved for the Constitution Site. The plans are consistent with the substantially consistent minor modifications approved by the Community Development Director. Construction of the new buildings and structures on the Constitution Site is underway, with the steel frames of the buildings erected and concrete pouring of the floors taking place now. Occupancy of the buildings is anticipated to occur in early 2020.

Construction of the buildings on the Independence Site was completed in spring 2018, and all buildings on the site are occupied. Facebook is the current lessee of the office building and garage health club at 100 Independence Drive and 150 Independence Drive, respectively, and Hotel Nia is the operator of the hotel building at 200 Independence Drive. The three buildings opened in May 2018.

The Planning Commission has conducted seven annual reviews of the project between December 2011 and January 2018. In each instance, the Commission found that the property owner had complied in good faith with the terms and conditions of the Development Agreement.

Analysis

A Development Agreement is a legally binding contract between the City of Menlo Park and an applicant that delineates the terms and conditions of a proposed development project. A Development Agreement allows an applicant to secure vested rights and allows the City to secure benefits that are generally not obtainable otherwise. Development Agreements are commonly used for land use developments which are implemented in phases over a period of time. Development Agreements provide assurances to both the applicant and the City that the terms of the agreement will be in force until the completion of the project, and in some cases, elements of the Development Agreement could be in effect for the life of the project. Development Agreements are enabled by California Government Code Sections 65864-65869.5.

The City Council adopted Resolution No. 4159 in January 1990, establishing the procedures and requirements for the consideration of Development Agreements. Resolution No. 4159 calls for the Planning Commission to conduct a public hearing at which the property owner (or representative for the property owner) must demonstrate good faith compliance with the terms of the agreement. The Planning Commission is to determine, upon the basis of substantial evidence, whether or not the property owner has, for the period under review, complied in good faith with the terms and conditions of the Agreement. The decision of the Planning Commission is final, unless it is appealed to the City Council. These provisions implement Government Code Section 65865.1 which requires the periodic review, at least once every 12 months, to determine compliance with the terms of the agreement.

In addition, the approved Development Agreement for the Menlo Gateway project, Section 7.1, sets forth the following requirement for the Annual Review: "The City shall, at least every twelve (12) months during the term of this Agreement, review the extent of Owner's good faith compliance with the terms of this Agreement pursuant to Government Code § 65865.1 and Resolution No. 4159. Notice of such annual review shall be provided by the Director to Owner not less than thirty (30) days prior to the date of the hearing by the Planning Commission on Owner's good faith compliance with this Agreement and shall to the extent required by law include the statement that any review may result in amendment or termination of this Agreement. A finding by City of good faith compliance by Owner with the terms of Agreement shall conclusively determine the issue up to and including the date of such review."

Section 2 of the Menlo Gateway Development Agreement identifies the term for retaining development rights. The initial term of the Development Agreement was five years from the effective date of December 7, 2010. By the fifth year of the agreement, which ended December 7, 2015, the applicant was required to make a complete building permit submittal. However, Section 8.2 of the Development Agreement gives the City Manager authority to extend for a reasonable period, not to exceed 180 days, the time to satisfy the actions identified in Section 2, provided the owner is using diligent efforts. On November 30, 2015, the City Manager authorized a 180-day time extension for the applicant to submit a substantially complete building permit application on or before June 7, 2016. On May 12, 2016, the applicant submitted a 100 percent construction document permit set for the hotel, which met the Development Agreement requirements to retain development rights. As a result, an automatic three year extension of the Development Agreement to December 7, 2018 was granted according to the terms in Section 2. With construction nearly complete on the Independence Site, the applicant has until the 15th year from the effective date of the Development Agreement (December 7, 2025) to start construction on the first office building on the Constitution Site. Upon beginning construction on the first Constitution Site office building, the applicant would have an additional five years (i.e., 20 years from the effective date) to start construction of the second Constitution Site office building. As mentioned in a previous section, the applicant has begun construction on both office buildings and parking structures on the Constitution Site and remains within the term of the Development Agreement.

The applicant has provided a letter (Attachment C), and staff has reviewed two matrices indicating the status of Development Agreement obligations (Attachment D) and CDP-related infrastructure improvements tied to the Independence Site phase of the project (Attachment E).

In evaluating the applicant's progress at implementing various aspects of the Development Agreement, staff has developed a classification system to describe how the specific requirements are being fulfilled using four categories. Three of these categories are consistent with the principle of good faith compliance with the terms of the agreements and are as follows:

- **Completed:** A one-time action was completed or an ongoing activity occurred during the Development Agreement review year.
- **In Progress:** A one-time action is underway (acceptable progress).
- **Conditional, No Action Required:** The triggering event, condition, or requirement to undertake an item has not occurred; no action is necessary.

The fourth category, described as Unacceptable Progress implies that, at least potentially, good faith compliance for that item may not have occurred. However, a determination that substantial and persistent non-implementation of the Development Agreement would have to occur before a lack of good faith compliance could truly be determined. None of the Development Agreement requirements have been identified as unacceptable progress during the 2018-2019 Development Agreement review year.

To ensure that the City is aware of the status of their compliance and any challenges they may be having achieving compliance, the applicant meets with City staff weekly and provides periodic updates on the status of all applicable requirements. These updates, as well as supporting correspondence and written documentation have been used to develop the Development Agreement Implementation tables attached to this staff report.

Development Agreement progress

The Development Agreement includes 14 requirements that are associated with the annual Development Agreement tracking. A summary of the implementation status of the 14 Development Agreement requirements is provided in the following table:

Table 2: Development Agreement Project Progress	
Implementation Status	Number of Requirements
Completed	4
In Progress (Acceptable Progress)	8
Conditional, No Action Required	2
Unacceptable Progress	0

Over the course of the past year, one additional requirement was completed, three requirements were initiated based on the completion of the Independence Phase of the project, and two projects remain conditional with no action required, compared to the previous year. No Development Agreement requirements are considered to have made unacceptable progress. Details of the individual items are described in Attachment D, as mentioned previously.

CDP implementation progress

As part of this annual review, staff has also reviewed the status of seven major infrastructure improvements identified in the project CDP related to the Independence Site and five major infrastructure improvements in the CDP related to the Constitution Site. These infrastructure improvements are tied to the implementation of mitigation measures from the certified environmental impact report (EIR). As shown in the table below, the applicant has made good progress at meeting its obligations under the CDP.

Completion Status	Number of Projects
Completed (or Fair Share Paid)	11
Under Construction	1
Project in design development / Permits not issued / Construction not started	0

The applicant has completed or contributed a fair share amount toward all seven identified infrastructure projects for the Independence Phase of the project. For the Constitution Phase, the applicant has completed or contributed a fair share amount toward four of the five identified infrastructure projects required in the CDP. The fifth and final infrastructure project for the Constitution Phase has been approved and construction will begin early this year, with the improvements expected to be complete by summer 2019. Details of the individual items are described in Attachments E and F.

Correspondence

Staff has not received any correspondence regarding the applicant's progress in meeting the provisions of the Development Agreement.

Conclusion

Since May 2015, the applicant's project development team has met with City staff on a weekly basis to provide updates on the development of the project and compliance with the requirements of the Development Agreement and CDP. Construction is complete for the hotel, garage/health club, and office building on the Independence Site, which occurred within the Development Agreement term to retain development rights. With regard to Independence Site-related requirements in the Development Agreement and CDP, the applicant made good progress and completed all of the outstanding infrastructure projects during the previous year.

In the final months of 2017, the applicant submitted building permit applications to construct the Constitution Phase of the approved project, well ahead of the required term specified in the Development Agreement. Construction work on the Constitution Site is well underway with steel erected and concrete being poured. Four out of the five infrastructure improvements housed in the CDP related to the Constitution Phase of the project are complete, with the final infrastructure improvement approved and ready to be constructed over the course of the next several months. Based on the progress made over the past year, staff recommends that the Planning Commission make a determination that the property owner has demonstrated good faith compliance with the provisions of the Development Agreement for the period of January 2018 through January 2019.

Impact on City Resources

The applicant is required to pay all costs associated with this review to fully cover the cost of staff time spent on the review of these projects.

Environmental Review

The California Environmental Quality Act (CEQA) requires that activities which meet the definition of a Project be evaluated for their potential impacts on the environment. The Annual Review of the Development Agreement has no potential to result in an impact to the environment and does not meet the definition of a Project under CEQA; as a result, no environmental review or determination is needed. The environmental impacts of the original project and the associated Development Agreement were evaluated and considered at the time the project was initially approved by the City in 2010.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Attachments

- A. Recommended Actions
- B. Location Map
- C. Letter from Bohannon Development Company
- D. Development Agreement Obligations Status Summary
- E. CDP Independence Phase Infrastructure Improvements Summary
- F. CDP Constitution Phase Infrastructure Improvements Summary

Report prepared by:
Tom Smith, Senior Planner

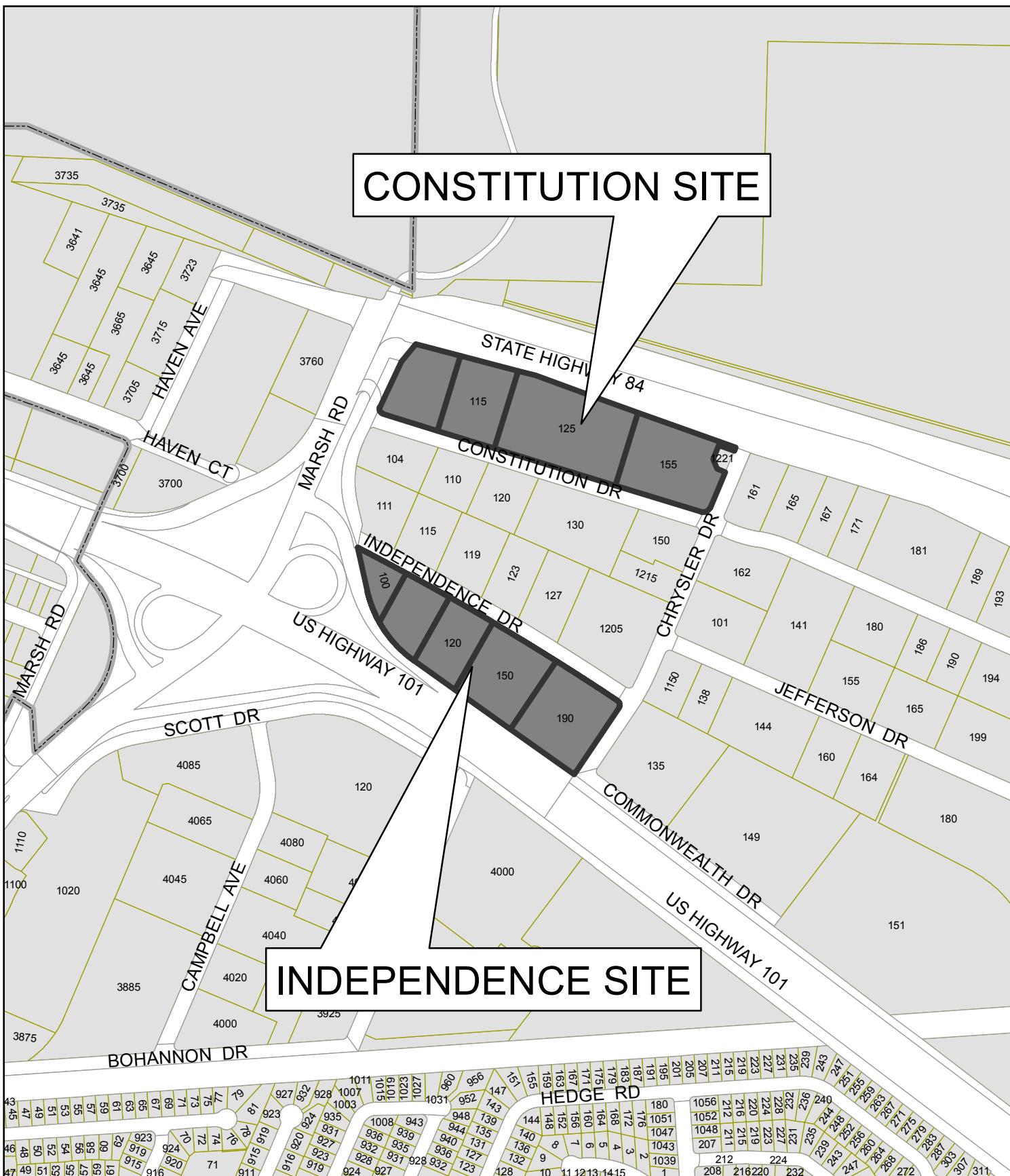
Report reviewed by:
Kyle Perata, Acting Principal Planner

Menlo Gateway Development Agreement – Attachment A: Recommended Actions

LOCATION: 100-190 Independence Drive, 101-155 Constitution Drive	PROJECT NUMBER: N/A	APPLICANT: Bohannon Development Company	OWNER: Bohannon Development Company
PROPOSAL: Make a determination that Bohannon Development Company has made good faith efforts to implement the provisions of the Menlo Gateway development agreement during the 2018-2019 Development Agreement Review Year.			
DECISION ENTITY: Planning Commission	DATE: January 28, 2019	ACTION: TBD	
VOTE: TBD (Barnes, Goodhue, Kahle, Onken, Riggs, Strehl)			
ACTION: <ol style="list-style-type: none"> 1. Make a finding that the Annual Review of the Development Agreement has no potential to result in an impact to the environment and does not meet the definition of a Project under the California Environmental Quality Act (CEQA). 2. Make a finding that Bohannon Development Company has implemented the provisions of its Development Agreement during the 2018-2019 Development Agreement Review Year. 			

CONSTITUTION SITE

INDEPENDENCE SITE



CITY OF MENLO PARK

CITY OF MENLO PARK

LOCATION MAP

MENLO GATEWAY PROJECT

DRAWN: TAS CHECKED: KTP DATE: 1/28/19 SCALE: 1" = 500' SHEET: 1





Bohannon Development Company T 650.345.8222
Sixty 31st Avenue F 650.573.5457
San Mateo, CA 94403-3404 W ddbo.com

January 10, 2019

Tom Smith
City of Menlo Park
701 Laurel Street
Menlo Park, CA 94025

Dear Tom:

We understand that on January 28, 2019, the City will conduct its annual review of Bohannon's good faith compliance with the terms of the Development Agreement for the Menlo Gateway Project, located at 100 to 190 Independence Drive and 101 to 155 Constitution Drive, both in the City of Menlo Park, California.

The purpose of this letter is to help facilitate this annual review by providing some background and then reporting on the status of the various initiatives described in the Development Agreement. The City has conducted seven annual reviews of the Project, and in each instance, the Planning Commission found that we had complied in good faith with the terms and conditions of the Development Agreement. As demonstrated below, we believe that Bohannon has demonstrated its good faith compliance with the Development Agreement. We therefore respectfully request that the staff recommend that the Planning Commission find and determine, on the basis of substantial evidence, that Bohannon has, for the period between January 2018 and January 2019, complied in good faith with the terms and conditions of the Development Agreement.

2018 was a great year for the Project. We have continued to work closely with our hotel partners, Ensemble Investments and AECOM Capital, as well as our tenant, Facebook (which occupied 100 Independence Drive in early February 2018), and City staff, to complete the Independence Phase of the Project. Hotel Nia opened in late March 2018, and has enjoyed great success.

We also have continued to work closely with our financial partner, Alexandria Real Estate Equities, and City staff, on the Constitution Phase, which broke ground in February 2018. Notable milestones include a "steel topping off" ceremony for the office building on October 11, 2018, and the completion of the core and shell phase in September 2018. Occupancy is scheduled for April 2019.

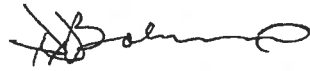
Status of Compliance with the Terms of the Development Agreement

To facilitate the Planning Commission's annual review, we have prepared a summary of our progress on implementing the Development Agreement, attached

as Exhibit A. We have also included a summary of the major infrastructure improvements identified in the Conditional Development Permit, which are incorporated by reference into the Development Agreement. The table attached hereto as Exhibit B summarizes the status of the infrastructure requirements contained in the Conditional Development Permit. As you can see, we continue to make significant progress towards satisfying all of the Development Agreement's requirements; however, some of the requirements are triggered either by issuance of building permits or occupancy of the buildings, so those items remain "in progress."

We are immensely proud of all that has been accomplished to date, and are delighted that this landmark project is becoming a reality. As always, we appreciate the City's ongoing cooperation and good faith efforts to help this project move forward. Please do not hesitate to contact me if you have any questions, or if there is any further information we can provide to facilitate the Planning Commission's review.

Sincerely,

A handwritten signature in black ink, appearing to read "D. Bohannon", written in a cursive style.

David D. Bohannon

Enclosures

Attachment D: Development Agreement Obligations Status Summary

DA TERM	TASK/REQUIREMENT/ACTION ¹	TIMING	STATUS	NOTES
§5.1	<u>Guarantee Payments.</u> Applicant shall be obligated to make to the City the Guarantee Payments to the extent required.	Applicant's obligation to make Guarantee payments, if any, commence as of the first day of the first full calendar quarter following the earlier of: (a) the third anniversary date of the Hotel Opening Date, or (b) the fourth anniversary of the date the City allows occupancy of the office building on the Independence Site, unless the Guarantee Payment Period shall be earlier terminated in accordance with this Agreement.	Conditional, No Action Required	No change since last annual review.
§5.2	<u>Capital Improvements.</u> Applicant shall make capital improvements to the Belle Haven neighborhood (not less than \$750,000) and Bedwell Bayfront Park or other city-wide recreational improvements (approximately \$500,000) in the amount of up to \$1,250,000.	Applicant shall pay for and cause the construction of such capital improvements to be completed prior to the date of the City's final building inspection of the first office building in the Independence Phase.	In Progress	Applicant and City finalized a Memorandum of Understanding (MOU) that established Applicant's funding contribution and obligations in 2017. Based on the MOU, the City was to determine specific capital improvements by June 1, 2018 for Applicant to design and construct, or Applicant would pay

¹ The DA requirements listed here may be summarized. The complete terms can be found in the recorded Development Agreement.

DA TERM	TASK/REQUIREMENT/ACTION ¹	TIMING	STATUS	NOTES
				<p>required funding contribution and City would design and construct the capital improvements.</p> <p>Following outreach to the Belle Haven neighborhood in May 2018, Applicant began working with City and other parties on project along Chilco Street adjacent to Belle Haven School to provide new perimeter fencing, street trees, and a bulb out. The improvements are expected to be completed in 2019.</p> <p>Applicant provided an in lieu fee payment for Bedwell Bayfront Park in the amount of \$362,536.69, as permitted by the terms of the MOU. The amount will be used to fund future improvements to the park consistent with the Bedwell Bayfront Park Master Plan, approved by Council in 2018.</p>

DA TERM	TASK/REQUIREMENT/ACTION ¹	TIMING	STATUS	NOTES
§5.3	<p><u>Off-Site Landscaping Improvements.</u> Applicant shall pay for and cause to be constructed off-site landscaping improvements, which may include pedestrian/bicycle pathways, hardscape, and other architectural and landscape features in addition to plantings, in certain areas surrounding the Property in an amount not to exceed \$500,000.</p>	<p>Applicant shall pay for and cause the construction of such landscaping improvements to be completed in two phases: 1) prior to the date of the City's final building inspection of the first office building in the Independence Phase; and 2) prior to the date of the City's final building inspection of the first office building in the Constitution Phase.</p>	In Progress	<p>A community meeting was held in January 2018 to solicit input and feedback on Applicant's proposal for landscaping improvements. A site was selected along the eastern side of Marsh Road, adjacent to the Constitution Site.</p> <p>The landscape and civil drawings for the project, including new plantings, trees, and a walking path, were submitted to the City in November 2018. Installation is expected to be complete by July 2019.</p>
§5.4	<p><u>TOT Amount.</u> Applicant agrees that, during the term of this Agreement and for so long as the Hotel is operating, the TOT applicable to the Hotel shall be assessed at 1.0% above the Citywide TOT rate in effect.</p>	<p>The TOT can only be imposed on applicable hotel room rents and other receipts.</p>	In Progress	<p>Hotel Nia opened in April 2018 and the City is receiving TOT payments.</p>
§5.5	<p><u>Priority Hiring Program.</u> Applicant shall create a</p>	<p>This obligation begins with construction and includes hotel</p>	In Progress	<p>Hotel Nia has partnered with JobTrain to support</p>

DA TERM	TASK/REQUIREMENT/ACTION ¹	TIMING	STATUS	NOTES
	<p>priority-hiring program that will use JobTrain, or a comparable program selected by Applicant if JobTrain is not able to operate such program, as the first source for referral of qualified applicants for entry-level job openings related to both the Hotel and office uses, as well as construction positions.</p>	<p>operations, which are now ongoing.</p>		<p>ESL classes for associates that would like to become proficient in English. The hotel has also hired 214 associates who live within the 13.5 miles of the site. A number of these employees live either in Menlo Park or Redwood City and East Palo Alto. Local hires work across 32 different job types, including accounting, food service, and housekeeping.</p> <p>With respect to construction jobs, Webcor hired a JobTrain apprentice for work on Hotel Nia. Webcor also utilized up to 15 laborers from the JobTrain Labor Training Class for work on the Independence Phase. Webcor has continued to work with JobTrain for assistance on development of the Constitution Site.</p>
§5.6	<p><u>LEED Certifications.</u> Applicant shall cause (a)</p>	<p>Applicant shall submit each application for such LEED</p>	<p>Completed</p>	<p>LEED Core and Shell Gold certification for the</p>

DA TERM	TASK/REQUIREMENT/ACTION ¹	TIMING	STATUS	NOTES
	the Hotel to qualify for the “LEED Silver Certification”, and (b) the office buildings included in the Project to qualify for the “LEED Gold Certification.”	certification following Applicant’s Completion of Construction of the Hotel or the applicable office building and shall use diligent, good faith efforts to obtain such LEED certifications, providing City with evidence of such applications and efforts to achieve such certifications.		Independence office building, garage, and fitness center was received in March 2018. Hotel Nia obtained LEED New Construction Silver certification in July 2018.
§5.7	<u>Vehicle Trip Reduction.</u> Applicant shall reduce Net New Vehicle Trips for the Project to be reduced from 11,113 Net New Vehicle Trips to 9,242 Net New Vehicle Trips.		In Progress	Initial analysis of trips attributed to the Independence Phase buildings show a reduction in net new vehicle trips, which is currently being reviewed by City staff. Further analysis will be conducted through 2019 and after the Constitution Phase is operational.
§5.8	<u>GHG Emissions Reductions.</u> Applicant shall enroll all buildings in PG&E’s ClimateSmart program. In the event such ClimateSmart program is discontinued or becomes financially burdensome on the Project, Applicant may		In Progress	PG&E no longer operates the Climate Smart Program, and Applicant investigated several alternatives to compliance with this condition including purchasing Renewable Energy Credit (REC) offsets. A substantially

DA TERM	TASK/REQUIREMENT/ACTION ¹	TIMING	STATUS	NOTES
	propose substitution of a comparable GHG offset program selected by Applicant, subject to the City Manager's reasonable approval for the Project.			similar substitute program, requiring enrollment in Peninsula Clean Energy (PCE) ECOPlus (which is 75% greenhouse gas-free) and an offset of the remaining 25% with green-certified RECs annually, was proposed and accepted by the City.
§5.9	<u>Parking Structures.</u> Applicant shall engage in a design development process with City staff to improve the aesthetics of the parking structures on Constitution and the parking structure on Independence.		Independence Phase - Complete; Constitution Phase - In Progress	Aesthetic improvements to the parking garages were completed in October 2018. The improvements combine dichroic glass and sculptured perforated metal panels that reflect different colors based on sunlight or artificial light and the location of the viewer. The Constitution Site garages will also incorporate these materials for consistency across the two sites.
§5.10	<u>Utility Undergrounding.</u> Applicant agrees to work collaboratively with and		Completed	All undergrounding work has been completed as part

DA TERM	TASK/REQUIREMENT/ACTION ¹	TIMING	STATUS	NOTES
	support City efforts to underground existing electric transmission lines located on the Constitution Site.			of construction activities on the Constitution Site.
§5.11	<u>School District Boundaries.</u> In the event the City, one or more property owners, or the Ravenswood School District initiates an effort to reorganize school district boundaries, Applicant agrees to cooperate with any such future effort.		Conditional, No Action Required	No change since last annual review.
§5.12	<u>Construction Sales Taxes.</u> Applicant agrees to make diligent good faith efforts to include a provision in all construction contracts with all qualifying parties holding reseller's permits to obtain a sub-permit from the California State Board of Equalization to book and record construction materials purchases/sales as sales originating within the City of Menlo Park.	Obligation begins when Applicant enters into construction contracts.	In Progress	No change since last annual review. Applicant is complying with this provision and has directed its contractors to obtain sub-permits to book and record construction material purchases/sales as originating in Menlo Park for qualifying contracts.

DA TERM	TASK/REQUIREMENT/ACTION ¹	TIMING	STATUS	NOTES
§5.13	<p><u>Housing Sites.</u> Applicant shall actively participate in a citizen advisory committee to assist the City in identifying future housing sites within the City when the City updates the Housing Element of the General Plan if the City decides to create such a committee.</p>	<p>Housing Element was adopted on April 1, 2014.</p>	<p>Completed</p>	<p>Applicant participated in the update of the Housing Element of the General Plan.</p>
§5.14	<p><u>Fire Impact Fee Study/Fire Impact Fee/Traffic Signal Priority System.</u> The City Manager shall have the discretion to require Applicant to pay up to \$25,000 to the City to cover any City contribution toward the cost of a fire impact fee study. Prior to issuance of a building permit for the Independence site, Applicant shall coordinate with the City and the Fire District to provide up to \$100,000 either for installation of traffic signal priority systems on Middlefield and Marsh</p>		<p>Completed</p>	<p>Applicant made the required payment.</p>

DA TERM	TASK/REQUIREMENT/ACTION ¹	TIMING	STATUS	NOTES
	Roads or an advance against any fire impact fee imposed on the Project.			

Attachment E: CDP Independence Phase Infrastructure Improvements Summary

CDP Requirement	Timing	Status
<p>CDP § 8.63: Payment of \$125,000 as a contribution toward signal timing improvements based on impacts to the intersections of Willow Road/Newbridge Street</p>	<p>Prior to building permit issuance for the first building permit for foundation of the Independence Phase.</p>	<p>Completed</p>
<p>CDP § 8.64: Eastbound right turn lane from Willow Road to Bayfront Expressway</p>	<p>Submit plans concurrent with the building permit submittal for the first building of the Independence Phase; submit plans and seek approval from Caltrans for a period of 5 years from the date of occupancy of the first building.</p>	<p>Completed</p>
<p>CDP § 8.66: Eastbound left turn lane from Chrysler Drive to Bayfront Expressway</p>	<p>Submit plans concurrent with the building permit submittal for the first building of the Independence Phase; construction to be completed prior to occupancy of the first building in the Independence Phase.</p>	<p>Completed</p>
<p>CDP § 8.67: Pedestrian improvements at Bayfront Expressway and Haven Avenue</p>	<p>Submit plans concurrent with the building permit submittal for the first building of the Independence Phase; construction to be completed prior to occupancy of the first building in the Independence Phase.</p>	<p>This improvement is being constructed by a different developer and is no longer Owner's obligation. Owner has paid a fair share contribution of \$143,899.87.</p>

CDP Requirement	Timing	Status
<p>CDP § 8.68: Install a traffic signal and proposed lane geometry modifications at Constitution Drive and Chrysler Drive</p>	<p>Submit plans concurrent with the building permit submittal for the first building of the Independence Phase; construction to be completed prior to occupancy of the first building in the Independence Phase.</p>	<p>Completed</p>
<p>CDP § 8.71: Construct a westbound right turn lane from Marsh Road to Florence Street; pursue preservation of certain trees and submit a planning plan</p>	<p>Submit plans concurrent with the building permit submittal for the first building of the Independence Phase; construction to be completed prior to occupancy of the first building in the Independence Phase.</p>	<p>Completed</p> <p>Applicant completed concepts for installation of bike lanes on Marsh Road as an alternative to this improvement, due to concerns about heritage tree impacts and lack of interest from Redwood City.</p>
<p>CDP § 8.74: Provide a fair-share contribution for a westbound right turn lane from Marsh Road to Florence Street in the Town of Atherton</p>	<p>Prior to building permit issuance for the first building of the Independence Phase.</p>	<p>Completed</p> <p>Owner paid a fair share contribution of \$198,709.47.</p>

Attachment F: CDP Constitution Phase Infrastructure Improvements Summary

CDP Requirement	Timing	Status
<p>CDP § 8.31: Improvement plans for new sidewalks between Independence office building and intersection of Independence Drive and Constitution Drive</p>	<p>Submit plans concurrent with the building permit submittal for the first building of the Constitution Phase; construction to be completed prior to final inspection of the shell of the first Constitution office building.</p>	<p>Completed</p>
<p>CDP § 8.33: Underground overhead electric lines that cross Chrysler Drive between Constitution Site and 161 Constitution Drive</p>	<p>Submit plans concurrent with the building permit submittal for the first building of the Constitution Phase; construction to be completed prior to building permit issuance for the first Constitution office building.</p>	<p>Completed</p>
<p>CDP § 8.45: Marsh Road and Bayfront Expressway intersection improvements, and Constitution Drive and Independence Drive intersection improvements</p>	<p>Submit plans prior to building permit issuance for the first building of the Constitution Phase; construction to be completed prior to final inspection of the first building of the Constitution Phase.</p>	<p>Plans were approved by Caltrans in September 2018. Construction is scheduled to begin in January 2019, and completion is anticipated by July 2019.</p>
<p>CDP § 8.65: Additional left turn lane from Chilco Street to Bayfront Expressway</p>	<p>Submit plans concurrent with the building permit submittal for the first building of the Constitution Phase; construction to be completed prior to occupancy of the first building on the Constitution Phase.</p>	<p>This improvement is being constructed by a different developer. Owner has paid a fair share contribution of \$1.2 million.</p>

CDP Requirement	Timing	Status
CDP § 8.72: Adaptive signal timing payment based on impacts to intersection of Bayfront Expressway and University Avenue	Submit payment prior to issuance of the first building permit on the Constitution Site phase.	Completed