



## REGULAR MEETING AGENDA

**Date:** 2/11/2019  
**Time:** 7:00 p.m.  
**City Council Chambers**  
**701 Laurel St., Menlo Park, CA 94025**

**A. Call To Order**

**B. Roll Call**

**C. Reports and Announcements**

Under “Reports and Announcements,” staff and Commission members may communicate general information of interest regarding matters within the jurisdiction of the Commission. No Commission discussion or action can occur on any of the presented items.

**D. Public Comment**

Under “Public Comment,” the public may address the Commission on any subject not listed on the agenda, and items listed under Consent Calendar. Each speaker may address the Commission once under Public Comment for a limit of three minutes. Please clearly state your name and address or political jurisdiction in which you live. The Commission cannot act on items not listed on the agenda and, therefore, the Commission cannot respond to non-agenda issues brought up under Public Comment other than to provide general information.

**E. Consent Calendar**

- E1. Approval of minutes from the January 28, 2019, Planning Commission meeting. ([Attachment](#))

**F. Public Hearing**

- F1. Use Permit/Hamid Ghazvini/1379 Carlton Avenue:  
Request for a use permit to demolish an existing two-story residence and construct a new two-story residence on a substandard lot with regard to lot width and lot area in the R-1-U (Single Family Urban Residential) zoning district. ([Staff Report #19-007-PC](#))
- F2. Use Permit/Brianne Theisen-Eaton/1700 El Camino Real:  
Request for a use permit for a personal improvement service use on a lot that is substandard with regard to parking in the El Camino Real/Downtown Specific Plan (SP-ECR/D) zoning district. The tenant space was previously used for a general office. ([Staff Report #19-008-PC](#))
- F3. Development Agreement Annual Review/Facebook/1 Hacker Way and 1 Facebook Way:  
Annual review of the property owner’s good faith compliance with the terms of the Development Agreements for their East Campus, West Campus, and Facebook Campus Expansion projects.

([Staff Report #19-009-PC](#))

## **G. Study Session**

- G1. Study Session/Andrew Morcos/141 Jefferson Drive/180-186 Constitution Drive: Request for a study session review for a future application for use permit, architectural control, environmental review, lot line adjustment, and major subdivision to redevelop three sites with approximately 483 multi-family dwelling units comprised of 42 for-sale condominium units, and 441 rental units split between two apartment buildings with above grade two-story parking garages integrated into the proposed seven-story buildings, located in the R-MU-B (Residential Mixed Use, Bonus) zoning district. The project sites currently contain two single-story office buildings that would be demolished. The proposed approximately 42 condominium units would contain approximately 79,192 square feet of gross floor area. The proposed approximately 441 apartment units would contain approximately 393,726 square feet of gross floor area. The proposed combined floor area ratio for the project would be 225 percent. The proposal includes a request for an increase in height and floor area ratio (FAR) under the bonus level development allowance in exchange for community amenities. ([Staff Report #19-010-PC](#))

## **H. Informational Items**

- H1. Future Planning Commission Meeting Schedule – The upcoming Planning Commission meetings are listed here, for reference. No action will be taken on the meeting schedule, although individual Commissioners may notify staff of planned absences.
- Regular Meeting: February 25, 2019
  - Regular Meeting: March 11, 2019
  - Regular Meeting: March 25, 2019

## **I. Adjournment**

Agendas are posted in accordance with Government Code Section 54954.2(a) or Section 54956. Members of the public can view electronic agendas and staff reports by accessing the City website at [www.menlopark.org](http://www.menlopark.org) and can receive e-mail notification of agenda and staff report postings by subscribing to the “Notify Me” service at [menlopark.org/notifyme](http://menlopark.org/notifyme). Agendas and staff reports may also be obtained by contacting the Planning Division at 650-330-6702. (Posted: 02/06/2019)

At every Regular Meeting of the Commission, in addition to the Public Comment period where the public shall have the right to address the Commission on any matters of public interest not listed on the agenda, members of the public have the right to directly address the Commission on any item listed on the agenda at a time designated by the Chair, either before or during the Commission’s consideration of the item.

At every Special Meeting of the Commission, members of the public have the right to directly address the Commission on any item listed on the agenda at a time designated by the Chair, either before or during consideration of the item.

Any writing that is distributed to a majority of the Commission by any person in connection with an agenda item is a public record (subject to any exemption under the Public Records Act) and is available for inspection at the City Clerk’s Office, 701 Laurel St., Menlo Park, CA 94025 during regular business hours.

Persons with disabilities, who require auxiliary aids or services in attending or participating in Commission meetings, may call the City Clerk’s Office at 650-330-6620.



## REGULAR MEETING MINUTES – DRAFT

**Date:** 1/28/2019  
**Time:** 7:00 p.m.  
**City Council Chambers**  
**701 Laurel St., Menlo Park, CA 94025**

### A. Call To Order

Chair Susan Goodhue called the meeting to order at 7:00 p.m.

### B. Roll Call

Present: Andrew Barnes (Vice Chair), Susan Goodhue (Chair), Camille Kennedy, John Onken, Henry Riggs, Catherine Strehl

Staff: Fahteen Khan, Contract Assistant Planner; Kyle Perata, Acting Principal Planner; Tom Smith, Senior Planner

### C. Reports and Announcements

Acting Principal Planner Kyle Perata said the City Council at its January 29, 2019 meeting would consider filling the Planning Commission's vacant seat. He said the City Council on February 12, 2019 would hear an appeal of the 40 Middlefield Road project, approved by the Commission in December 2018. He said that an appeal of the Phillips Brooks School revised use permit, also approved by the Commission in December 2018, did not have a date certain for Council consideration yet.

Replying to Chair Goodhue, Acting Principal Planner Perata said an appeal of heritage tree removal permits for the 1000 El Camino Real project was tentatively scheduled to be heard by the Environmental Quality Commission on February 27, 2019.

### D. Public Comment

Eric Easom, Park Forest resident, said the Park Forest neighbors met with Mr. Patel, the hotel developer for 1704 El Camino Real, for about 18 months and came to an agreement with him on a building design that included underground parking. He said that plan changed, and above ground parking was proposed that increased the building size. He thanked the Planning Commissioners, who had done a site visit. He said the residents met with the developer on the currently proposed plan, but they were still strongly opposed to it. He said they remained supportive of the plan that included underground parking. He said they did not agree with allowing the public benefit density bonus in the low-density zone.

Replying to Chair Goodhue, Acting Principal Planner Perata said that the project revisions had not been submitted and no date for the project consideration was scheduled.

**E. Consent Calendar**

None

**F. Public Hearing**

**F1. Use Permit/Amir Moeini/527 Bay Road:**

Request for a use permit to demolish an existing single-story residence and detached garage/accessory building and construct a new two-story residence with an attached garage on a substandard lot with regard to minimum lot width and area in the R-1-U (Single Family Urban Residential) Zoning District. Some preliminary demolition work has occurred under a building permit for a remodel/addition project, but that earlier proposal is no longer being pursued. ([Staff Report #19-004-PC](#))

Staff Comment: Contract Planner Fahteen Khan said staff had no updates to the written report.

Applicant Presentation: Barzin Keyhankhadiv, project designer, said this was a second story addition.

Replying to Commissioner Henry Riggs, the speaker said his name was Barzin.

Chair Goodhue opened the public hearing and closed it as there were no speakers.

Commission Comment: Commissioner John Onken said the plan had numerous side-facing windows, which could be a neighbor nuisance. He asked if neighbors had been contacted and shown the proposed project. Mr. Keyhankhadiv said the windows on the second floor were for egress and the window in the second-floor bathroom was a high window. Commissioner Onken said only one window was needed for egress and the right elevation showed four very large windows that created privacy concerns both for the project occupant and the side neighbor. Mr. Keyhankhadiv said he did not think the neighbor had an objection, but the project could plant landscape screening. Commissioner Onken asked if they spoke with the neighbor specifically about the proposed plan. Mr. Keyhankhadiv said the neighbors would have been noticed of the application. Commissioner Onken said the bedrooms already had windows front and back and said the Commission often conditioned fewer side windows. Mr. Keyhankhadiv said that one side window in each bedroom could be eliminated.

Responding to Commissioner Riggs' questions about the eave details, Mr. Keyhankhadiv said the setback on the left side was less than five-feet, which was why the fire protection was required. Commissioner Riggs referenced the large and deep second-story windows and said that unless obscure glass was used in them neighbors would have privacy concerns. He asked the applicant to address how the windows might be made neighbor-friendly. Mr. Keyhankhadiv said they could obscure the windows or reduce the size of them.

Commissioner Andrew Barnes moved to approve pursuant to window changes on the right elevation second-story. Commissioner Riggs seconded the motion and to clarify the process for the four windows on the second-story right elevation to either adjust the window sill heights to four feet above finished floor or use obscure glass to be submitted to Planning Division for review and approval. Commissioner Barnes said he accepted the amended motion.

Chair Goodhue asked if the revisions would be made through the Commission conformance review process. Commissioners Barnes and Riggs as the maker of the motion and its second accepted the Chair's amendment to the motion.

**ACTION:** Motion and second (Barnes/Riggs) to approve the item with the following modification; passes 6-0.

1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.
2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.
3. Approve the use permit subject to the following **standard** conditions:
  - a. Development of the project shall be substantially in conformance with the plans prepared by Aria Build and Construction, consisting of 14 plan sheets, dated received January 16, 2019, subject to review and approval by the Planning Division.
  - b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.
  - c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
  - d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.
  - e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.
  - f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.

- g. Heritage and street trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the arborist report by Monarch Consulting Arborists LLC, dated October 30, 2018.

4. **Approve the use permit subject to the following project-specific condition:**

- a. **Simultaneous with the submittal of a complete building permit application, the applicant shall modify the windows on the right-side elevation to have a minimum sill height of four feet from finished floor or use obscure glass, subject to review and approval by the Planning Division with notification to the Planning Commission of staff's determination.**

F2. Use Permit/Stephanie Palacios/1535 Santa Cruz Avenue:

Request for a use permit to remodel and construct first- and second-story additions to an existing residence on a substandard lot (with regard to lot width) in the R-1-S (Single Family Suburban Residential) zoning district. The proposal would exceed 50 percent of the existing floor area and is considered equivalent to a new structure. The existing structure is nonconforming with regard to the right side setback, although this would be corrected as part of the proposed project. ([Staff Report #19-005-PC](#))

Staff Comment: Contract Planner Khan said staff had no additions to the written report.

Applicant Presentation: Kelly Johnson, project architect, Zak Johnson Architects, introduced the property owners, Jessie and Stephanie Palacios. She provided a model of the proposed project to show the massing and fenestration. She said the trees shown on the model indicated height noting the trees were actually denser than the model. She provided a photograph of the front of the property showing the trees.

Chair Goodhue opened the public hearing and closed it as there were no speakers.

Commission Comment: Commissioner Riggs said he liked the side elevations and thought it was a neighbor-friendly project. He said he liked the stonework on the chimney and the simple forms. He asked the architect why she chose to use the full cross hip rather than a metal cricket. Ms. Johnson said it was already fully framed out wood and she liked the clean look in having it as more of a roof piece than a steep cricket.

Commissioner Barnes commented that the project was ingenuous and well thought out. He said he thought the project's success would hinge on how well the exterior elements aged and the colors and materials used. Ms. Johnson referred to sheet 7.0 and city-suggested colors. She said they hoped to give the base of the house a deeper, richer color with a bellyband to allow the use of different colors to unify the whole house.

Commissioner Onken noted the two bay windows on the second story facing the sides, whose lower sections would have obscure glazing. He said that the corner lot on Hobart Street might be a standard lot and perhaps underdeveloped to current City standards. He said someday a McMansion might be built on that lot without any Planning Commission review. He said the project house fenestration was biased looking sideways rather than forward. He asked if that would be a problem should those windows later look to a side wall. Ms. Johnson said they looked at that with

the current neighbor on the site Commissioner Onken was referring to. She said the neighbor originally had concerns with the bay windows. She said they then proposed to him to obscure glaze the windows, which he approved of and wrote an email to the City indicating that. She said the obscure glazing went up to four-feet nine-inches giving the room inhabitants quite a bit of privacy protection. Replying further to Commission Onken, she said they did not put the bay window in the front of the front bedroom as they wanted privacy and noise protection from Santa Cruz Avenue.

Chair Goodhue moved, and Commissioner Riggs seconded, to approve the project as recommended in the staff report.

**ACTION:** Motion and second (Goodhue/Riggs) to approve the item as recommended in the staff report; passes 6-0.

1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.
2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.
3. Approve the use permit subject to the following **standard** conditions:
  - a. Development of the project shall be substantially in conformance with the plans prepared by Zak Johnson Architects, consisting of 16 plan sheets, dated received January 3, 2019, subject to review and approval by the Planning Division.
  - b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.
  - c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
  - d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.
  - e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.

- f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.
- g. Heritage and street trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the arborist report by Advanced Tree Care dated August 31, 2018.

Chair Goodhue said due to her previous relationship with Facebook that she would need to recuse herself from consideration of item F3.

Vice Chair Barnes introduced item F3.

- F3. Development Agreement Annual Review/Bohannon Development Company/101-155 Constitution Drive and 100-190 Independence Drive (Menlo Gateway Project):  
Annual review of the property owner's good faith compliance with the terms of the Development Agreement for the Menlo Gateway (Bohannon Hotel & Office) project. (Staff Report #19-006-PC)

Staff Comment: Senior Planner Tom Smith said Commissioner Riggs brought to his attention that in Attachment E, the Independence Phase Infrastructure Improvements Summary, page E2, last item, CDP 8.74, it mentioned a right-hand turn from Marsh Road to Florence Street in the Town of Atherton. He said it should read southbound left-turn lane from Middlefield Road to Marsh Road in the Town of Atherton.

Applicant Presentation: Margie Titus said she and her colleagues, Jim Anzini and Rod Roche, were representing the Bohannons during the execution phase of the project. She said Mr. David Bohannon, who in all prior years was present for this annual review, could not attend this year. She said 2018 was a great year with Facebook locating in February and the Nia Hotel starting operations the end of March. She said both buildings achieved Gold LEED certification. She said regarding the priority hiring program requirement that JobTrain had a nice partnership with the Hotel Nia. She said Webcor, their contractor, worked with JobTrain to get some construction workers onto the project. She said long term they received permission from Ensemble, the hotel developer of Hotel Nia, for the hiring of 214 associates from within 13 miles of the site with 32 of those people from the Belle Haven neighborhood. She said regarding the CDP and the Development Agreement (DA) the tracking had gone smoothly with ground broken in February 2018 for the Constitution Drive project phase. She said the core and shell was expected to be completed in early September 2019. She said Facebook would be the tenant and the tenant improvements phase would be seven and a half months from then. She said the intersection at Chrysler and Bayfront was complete as well as the new roadway section between Independence and Constitution Drives. She said the Marsh Road widening / key intersection would begin in February. She said they were in the final stages of due diligence on projects that the City identified in the Belle Haven neighborhood to execute summer of 2019. She said primarily it was around the Belle Haven school including new fencing and new landscaping.

Commissioner Onken said he was concerned with the process on D6, item 5.9, for improving the aesthetics of the main parking structure garage between Hotel Nia and the Facebook building. He said the condition stated that the applicant shall engage in design development process with City



staff to improve the aesthetics of the parking structure on Constitution and the parking structure on Independence. He said the noted improvement to the Independence parking garage was dicot glass on the ends of the structure. He said the parking structure itself was big and ugly and there could have been aesthetic improvements to it through planting, screening, and shielding. He said he thought that was the intent of condition 5.9, but all that was done was the glass on the ends, which was hard for anyone to see.

Senior Planner Smith said there had been discussions with staff internally about the design of the parking structures. He said staff and the architect after the completion of the Independence site heard concerns about the original parking structure. He said beyond the dicot glass panels minor improvements to the Constitution parking structures were made so they would have a different appearance from the Independence structure. He said the architect had added some vertical columns into which some lighting would be integrated. He said on the first floor were metal panels that would have spacing and a design to them that would improve the appearance at least at the pedestrian level.

Commissioner Katherine Strehl said she had the same concern as Commissioner Onken with the ugly appearance of the parking structure on Independence Drive particularly for drivers on Highway 101. She said when the project was approved there had been a health club fitness center she thought, which had been counted as a public benefit. She said now it seemed it was for Facebook employees only. Senior Planner Smith said originally the concept was for a hotel with a fitness center integrated into it. He said the hotel concept and fitness center, which he believed had a public component, had not proved a successful venture for Marriott. He said when the project went through revisions in 2015 there was initially an idea that the fitness center integrated into the Independence parking structure would be a Bay Club, but that did not work out. He said Facebook utilizes the gym for its employees. He said reviewing the project's CDP and DA there was no mention of a requirement for the gym to be open to the public. He said they had discussed this with the City Attorney as well, who agreed there was nothing that prevented Facebook from utilizing the fitness center for employees only. Commissioner Strehl said Commissioners at the time must have misunderstood that it would be open to the public as part of the public benefit, which was unfortunate.

Commissioner Riggs said he thought the concept of good faith was thoroughly covered by the project owner and performance measures met. He said related to the Independence parking structure during the prior year annual review, he recalled that Mr. Bohannon had indicated he would look into landscape screening on the highway side of the garage. He said he thought the exterior parking ramp was what was most noticeable. He asked Ms. Titus whether anything had been planted to break the massing up of that ramp.

Ms. Titus said they had looked into planting trees in back of garage which was a very narrow space with adjoining land owned by Caltrans, but concluded it was very difficult as they would have to go through Caltrans. She said it took them two years to get through Caltrans' processes on the Marsh Road T-intersection. Commissioner Riggs said he was not so concerned with the view of the garage for drivers on north and southbound 101 but more so with the view from the Marsh bridge. He said it was a good goal if even two redwood trees might be planted against the garage ramp.

Vice Chair Barnes opened the public hearing and closed it as there were no speakers.

Commission Comment: Commissioner Riggs moved to make the finding of the property owner's

good faith compliance with the terms of the Development Agreement for the Menlo Gateway (Bohannon Hotel & Office) project as recommended in the staff report. Commissioner Strehl seconded the motion.

Commissioner Onken said the Commission had raised the issue of the parking structure for over two years without any solution. He said he could not support the motion and that all that could be done had been done.

Vice Chair Barnes referred to condition 5.3 related to offsite landscaping improvements. He said it referenced site selection on the eastern side of Marsh Road adjacent to the Constitution site. He asked why that location was chosen. Ms. Titus said there was a process with the community and City through which six sites were identified. She said she thought this was the City's favored site. She said it was a City-owned parcel contiguous to the Constitution site.

Replying to Vice Chair Barnes, Senior Planner Smith said a number of sites were options for this landscaping. He said they went to the Belle Haven Neighbors' Association with those sites. He said they decided on this site adjacent to the Constitution site simply because it could happen the fastest and easiest as the land was controlled by the City. He said the other sites had other property owners and would have had more complicated and drawn out processes.

Vice Chair Barnes referred to condition 5.7 related to vehicle trip reduction and that the applicant shall reduce trips from 11,113 to 9,242. He asked how the 11,113 number was derived and on what site the reduction was to occur. Ms. Titus said the traffic demand analysis and trip counts was one of the more complicated parts of the CDP. She said they measured counts this fall over about six weeks at the Independence site. She said the 11,113 and 9,242 numbers related to buildout. She said the numbers measured now were a little less than half at about 5,000 trips for the Independence site that included the hotel parking garage and office building.

Replying to Vice Chair Barnes, Ms. Titus said the 11,113 was an aggregate sum of the demand analysis counting all the square footage of Phase 1 and then the square footage of Phase 2. She said the reasoning to have the count reduced were the measures to be implemented to reduce traffic. She said the Facebook shuttles was one of the big reasons why their traffic count was lower.

Commissioner Riggs said when the project came before the Planning Commission, it asked for a 40% traffic reduction through a traffic demand management plan (TDM). He said that was bargained to a 20% traffic reduction and was a requirement that was part of the project approval negotiations, ending up in the DA.

Senior Planner Smith said trip counts would be obtained once the project was fully built out the following year when occupancy would occur. He said the numbers for the Independence site came in around the end of 2018. He said Transportation Division staff were still analyzing the data but based on initial reviews it appeared the applicants would be compliant with the buildout trip cap.

Vice Chair Barnes said he had difficulty with the parking structure, its siting and relationship to the other building. He said he would like efforts made to reduce its visual impact on Highway 101. He said otherwise he was reticent to support good faith compliance.

Commissioner Strehl asked if Commissioner Riggs was willing to amend his motion finding the

property owner's good faith compliance with the terms of the Development Agreement to require progress toward improving the visual effect of the parking structure facing Highway 101. Commissioner Riggs said he was not inclined to include that as the action was based on finding good faith compliance with the DA as the project proceeded through its phases. He said as far as he could tell they had met all of the terms. He said when the Independence project was presented around eight years ago and when the final plans were presented about six years ago, he found the buildings quite enticing and the garage seemed to be a straight forward horizontal garage. He said he thought the garage ramp would only be visible from the freeway and not a problem. He said as the only architect on the Commission at the time he did not suggest the garage ramp needed further thought. He said the architectural control was approved and the site plan was tight. He said he could not see requiring a condition now on the property owner's good faith effort.

Vice Chair Barnes asked if the Commission did not find the property owner's good faith compliance with the terms of the DA what the remedy time frame was. Senior Planner Smith said the Commission would have to make a finding of noncompliance with the terms of the DA. He said the City Council would then have to make the finding that the property owner had not complied, that the failure constituted a default of the DA, and the property owner would have 30 days to cure. He said if the default was not cured, the City could modify or terminate the DA.

Vice Chair Barnes asked if it was a legitimate finding for the Commission to find the property owner to be noncompliant with 5.9 referring to engaging in a process to improve the aesthetics of the parking structures on the Independence and Constitution sites. Senior Planner Smith said he thought that would be difficult to make as the intent of 5.9 was that the design would take place prior to construction. He said as the Independence structure was built and open for almost a year to now find it noncompliant with 5.9 was a harsh penalty for the property owner.

Recognized by the Chair, Ms. Titus referred to the second page of the staff report after Table 1 and the provisions of the consistent minor modifications to the DA. She said the first bullet talked about the approval to remove the planters and to replace the planters with the dicot glass and perforated metal panels. She said she thought that was the measure. She said her understanding was that the planters were infeasible due to the exposure. She said she would be happy to convey to Mr. Bohannon the Commission's compliments about the project and its concerns about this landscaping. She said the garage was different because the fitness center built it, which had been difficult to achieve. She said the fitness center façade was handsome for those driving on Independence Drive. She said they were very pleased with the look of the metal sculpture curved, perforated panels designed by sculptor Don Rich and the dicot glass on the ends. She said quite a bit on investment was put into the garage appearance with the finished concrete and stainless steel cable railings along the sides. She said Mr. Bohannon had been unhappy with the concrete on the garage ends so those were clad in metal. She said nevertheless it was a big garage and she heard the Commission's concerns.

Commissioner Onken said planting redwood trees next to parking garages was problematic. He said he could accept the report as is and he did not think it was appropriate to find the property owner out of compliance and give 30 days to remedy. He said however he could not endorse the parking garage as it was and that it would be deemed as endorsed in approving the report.

Commissioner Riggs referred to 5.9 and asked if that was a condition of approval for Constitution or the original project eight or 10 years prior. Senior Planner Smith said the condition was for the original project approved in 2010 under a different concept. Commissioner Riggs said that the

Commission then had requested an improvement in the parking structure. He asked about the response path for that. Senior Planner Smith said he thought that was done administratively noting he took over the project in 2015. He said in 2015 there were design changes brought to the Commission when the hotel concept changed as well as changes to the office design. He said the applicant also requested some changes that went through an administrative review with notification to the Commission before staff signed off on those.

Vice Chair Barnes asked if there were any leverage points in the process or if anyone had ideas on how to make the Independence parking structure less than what it was and more palatable. Senior Planner Smith said staff meets with the Bohannon design team weekly to review project issues and concerns. He said last year they heard concerns about the Independence garage and this year even stronger concerns. He said he did not know if there was a way to force changes in the design. He said he and he thought Ms. Titus would agree that they would share these concerns directly with Mr. Bohannon to work internally to see if there was any way to provide more screening of the rear of the garage.

Vice Chair Barnes noted the condition referred to incorporating materials for consistency across the two sites for the parking garages. He asked if there was an opportunity to upgrade the Independence garage under the premise that consistency and good work was needed on both garage sites. He said as this called out for consistency to complete Constitution that modifications were needed to the Independence garage. Senior Planner Smith said the building permits for the three buildings on the Independence Drive site were final and work considered complete. He said at this point any work on the Independence Drive garage would have to be voluntarily undertaken by Mr. Bohannon.

Vice Chair Barnes said there was a motion and a second to make the finding of good faith compliance with the DA but the maker of the second requested an amendment that was declined by the maker of the motion.

Commissioner Riggs said he could suggest an aesthetic solution to the ramp to Mr. Bohannon and the architect and that might open the way to more ideas. Vice Chair Barnes confirmed that Commissioner Riggs would be willing to do this outside of the Commission meeting.

Commissioner Strehl said she would be interested in hearing the suggestions Commissioner Riggs might make to Mr. Bohannon. She said finding the property owner noncompliant and needing to go before the City Council and have a cure within 30 days seemed draconian at this time. She said the project had been reviewed by the Commission and it had expressed its strong dissatisfaction with the garage ramp visual impact. She said it was best to move forward and urge Mr. Bohannon to make whatever improvements possible to the visual aspect of the ramp on Highway 101.

Commissioner Onken referred to 5.9 regarding design engagement. He said more engagement was needed on the design. He said the motion could state compliance with everything except for 5.9. He said that the design development process had not been completed.

Vice Chair Barnes asked if the Commission found Independence development in progress rather than complete and then voted to make a finding of good faith compliance whether the status in progress would require the project to come back at some point to be considered complete. Acting Principal Planner Perata said the item was marked in progress because there were two phases. He said the Independence site was completed as the building permits issued were finalized. He said

as part of the process leading up to the building permits the applicant engaged with the City on the design development. He said that process happened prior to building permit issuance, which had been issued and was now finalized. He said to change the disposition of that now would require the City Attorney's Office to determine whether or not that was something within the Commission's purview. He said the Commission's concerns had been recorded this evening and would be available for Mr. Bohannon to review as well as directly through staff and his representative present this evening. He said to actually vote noncompliance would require repeated demonstration of noncompliance.

Acting Principal Planner Perata said staff was very clear on the Commission's concerns. He said there would be another annual review where this issue might be raised. He said within the next 12 months staff and the applicant could continue discussion to see if there were any feasible, potential ways to alleviate the visual impact of the Independence garage. He said it would be a discussion and might not result in any changes.

Vice Chair Barnes said he would call for the vote on the motion to make the finding of the property owner's good faith compliance with the terms of the Development Agreement for the Menlo Gateway (Bohannon Hotel & Office) project.

**ACTION:** Motion and second (Riggs/Strehl) to make the findings as recommended in the staff report; passes 3-2 with Commissioners Kennedy, Riggs and Strehl supporting, Commissioners Barnes and Onken opposing, and Commissioner Goodhue recused.

1. Make a finding that the Annual Review of the Development Agreement has no potential to result in an impact to the environment and does not meet the definition of a Project under the California Environmental Quality Act (CEQA).
2. Make a finding that Bohannon Development Company has implemented the provisions of its Development Agreement during the 2018-2019 Development Agreement Review Year.

Commissioner Strehl urged Commissioner Riggs to meet with Mr. Bohannon and staff to share suggestions on how to improve the visual aspect of the Independence garage structure from Highway 101 and Marsh Road.

## **H1. Future Planning Commission Meeting Schedule**

- Regular Meeting: February 11, 2019

Acting Principal Planner Perata said the tentative agenda included a use permit for 1700 El Camino Real for a personal improvement service, a single-family residential development and the annual review of the Facebook Development Agreement for all three of their sites, the East or Classic campus, the West Campus – Building 20, and the Campus Expansion project. He said a study session was slated for 141 Jefferson Drive for a 481 dwelling unit multi-family project with an apartment component and townhome / condominium / for sale component.

Commissioner Riggs said he would need to be absent from the February 11<sup>th</sup> meeting as he would be representing a project before the Town of Portola Valley.

- Regular Meeting: February 25, 2019

- Regular Meeting: March 11, 2019

Commissioner Strehl asked about the neighbor notification radius for the appeal of the 40 Middlefield Road project. Acting Principal Planner Perata said it was a radius of 300 feet and had a newspaper notice. He said that would be published this Friday and he would let them know which paper. Commissioner Strehl asked about the Willow Road boarding house. Acting Principal Planner Perata said he expected that project to come forward on either the February 25 or March 11 meeting agenda.

**J. Adjournment**

Vice Chair Barnes adjourned the meeting at 8:38 p.m.

Staff Liaison: Kyle Perata, Acting Principal Planner

Recording Secretary: Brenda Bennett



## STAFF REPORT

### Planning Commission

**Meeting Date:** 2/11/2019

**Staff Report Number:** 19-007-PC

**Public Hearing:** Use Permit/Hamid Ghazvini/1379 Carlton Avenue

### Recommendation

Staff recommends that the Planning Commission approve a use permit to demolish an existing two-story residence and construct a new two-story residence on a substandard lot with regard to lot width and lot area in the R-1-U (Single Family Urban Residential) zoning district. The recommended actions are included as Attachment A.

### Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal.

### Background

#### *Site location*

The subject property is located on Carlton Avenue near the intersection with Hamilton Avenue, in the Belle Haven neighborhood. The project site is located in close proximity to the neighborhood shopping center at Hamilton Avenue and Willow Road and the multi-family development at 777 Hamilton Avenue, directly adjacent to the neighborhood shopping center. A location map is included as Attachment B. The surrounding area contains a mixture of older and newer single-family residences. The older residences are generally single-story, while the newer residences are generally two-story in height, with attached front-loading garages. A variety of architectural styles are present in the neighborhood which include craftsman and traditional for the single family residences and contemporary for the multi-family residences at 777 Hamilton Avenue. The majority of residential properties within the vicinity are zoned R-1-U, with the exception of the multi-family developments on Hamilton Avenue and Willow Road.

### Analysis

#### *Project description*

The applicant is proposing to construct a two-story residence. The lot is substandard with respect to minimum lot width and area, at approximately 50 feet where 65 feet is required and 6,000 square feet where 7,000 square feet is required in the R-1-U zoning district. A data table summarizing parcel and project attributes is included as Attachment C. The project plans and the applicant's project description letter are included as Attachments D and E, respectively.

The proposed residence would be a three-bedroom and three-bath room home. The proposed residence would include an attached two-car, front-loading garage located at the front of the house. The existing curb cut would be used to access the proposed garage. The home will be raised to meet the base flood elevation.

The proposed project would adhere to all Zoning Ordinance regulations for setbacks, lot coverage, floor area limit, height, daylight plane, and parking. Of particular note with regard to Zoning Ordinance requirements:

- The main residence would feature greater setbacks than required at the front (30.8 feet versus 20 feet) and rear (28.6 feet versus 20 feet).
- The second floor would be limited in size, at 37.7 percent of the maximum FAL, where 50 percent could be permitted.
- The first floor habitable areas would be higher than typical in most parts of the city, due to the flood zone requirements for this area (discussed later).

### ***Design and materials***

The applicant states that the proposed residence will be progressive modern design. The proposed design includes flat roofs, a mixture of stained horizontal wood siding, painted jointless stucco, aluminum frame trimless windows, and a painted metal with glass panel as the front door.

The second-story windows, would have varying sill heights. On the left-side elevation, the minimum sill height would be three feet, 11 inches. On the right-side elevation, the sill heights would be two feet, six inches in the living areas; however, the stairwell would have floor-to-ceiling windows. The second floor on the right-side would have an eight foot, six inch setback where a minimum of five feet is required, which staff believes should alleviate potential privacy impacts from the stairwell window. The front and rear elevations would have varying sill heights including some floor to ceiling windows and a glass door to the balcony.

Staff believes that the architectural style of the proposed residence would be generally attractive and well-proportioned. The second level would be relatively modest in size and partially set back from all four facades, minimizing the perception of mass and bulk of the second level. The proposed design would result in unbroken two-story walls on portions of the sides of the residence; however, the overall second floor size is limited, which would help reduce the perceived mass and bulk of the two-story elements. Further, the design includes modulation between the first and second floor through varying setbacks for portions of the elevations and the mix of materials. The contemporary design of the proposed project would be a departure from the general pattern with the single-family residences in the vicinity of the project. However, staff believes that the material variation and comprehensive design of the proposed project are supportable. Further, the contemporary architectural style is present on the periphery of the neighborhood in the vicinity of the project.

### ***Flood Zone***

The subject property is located within the "AE" flood zone established by the Federal Emergency



Management Agency (FEMA) and Section 12.42 of the Municipal Code (Flood Damage Prevention). Within this zone, flood-proofing techniques are required for new construction and substantial improvements of existing structures.

The foundation for the main house would be a standard spread footing with a stem wall. The existing grade for the main house is 8.15 feet, and the BFE is 10.3 feet. The finished floor level for the proposed structures would be 1.6 feet above the BFE, and therefore complies with the flood zone regulations. Flood vents for the main unit are not shown on the elevations, but would be required for construction.

### ***Trees and landscaping***

There are no existing trees on-site; however, there is one street tree located at the front of the property. As part of the project review process, the project plan was reviewed by the City Arborist. It was determined that an Arborist Report would not be required at this time. However, at the time of building permit review should there be any concerns for the street tree during the time of construction a report may be requested to identify mitigation measures to ensure the protection of the tree. Standard condition of approval 3g would ensure compliance with the Heritage Tree Ordinance.

### ***Correspondence***

The applicant has contacted the property owners of all properties who would be directly impacted by the proposed scope of the work by sending out a letter attached with plans. The outreach letter is included as Attachment F. Applicant has not received any correspondence from neighbors. Staff has not directly received any correspondence on this proposal.

### ***Conclusion***

Staff believes that the design, scale and materials of the proposed residence are compatible with the surrounding neighborhood. The contemporary elements of the proposed residence would be generally attractive and well-proportioned. The second level would be generally inset from the ground floor, helping minimize the perception of mass and bulk. Staff recommends that the Planning Commission approve the proposed project.

### ***Impact on City Resources***

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

### ***Environmental Review***

The project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.

### ***Public Notice***

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72

hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

### **Appeal Period**

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

### **Attachments**

- A. Recommended Actions
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter
- F. Outreach letter by Applicant

### **Disclaimer**

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

### **Exhibits to Be Provided at Meeting**

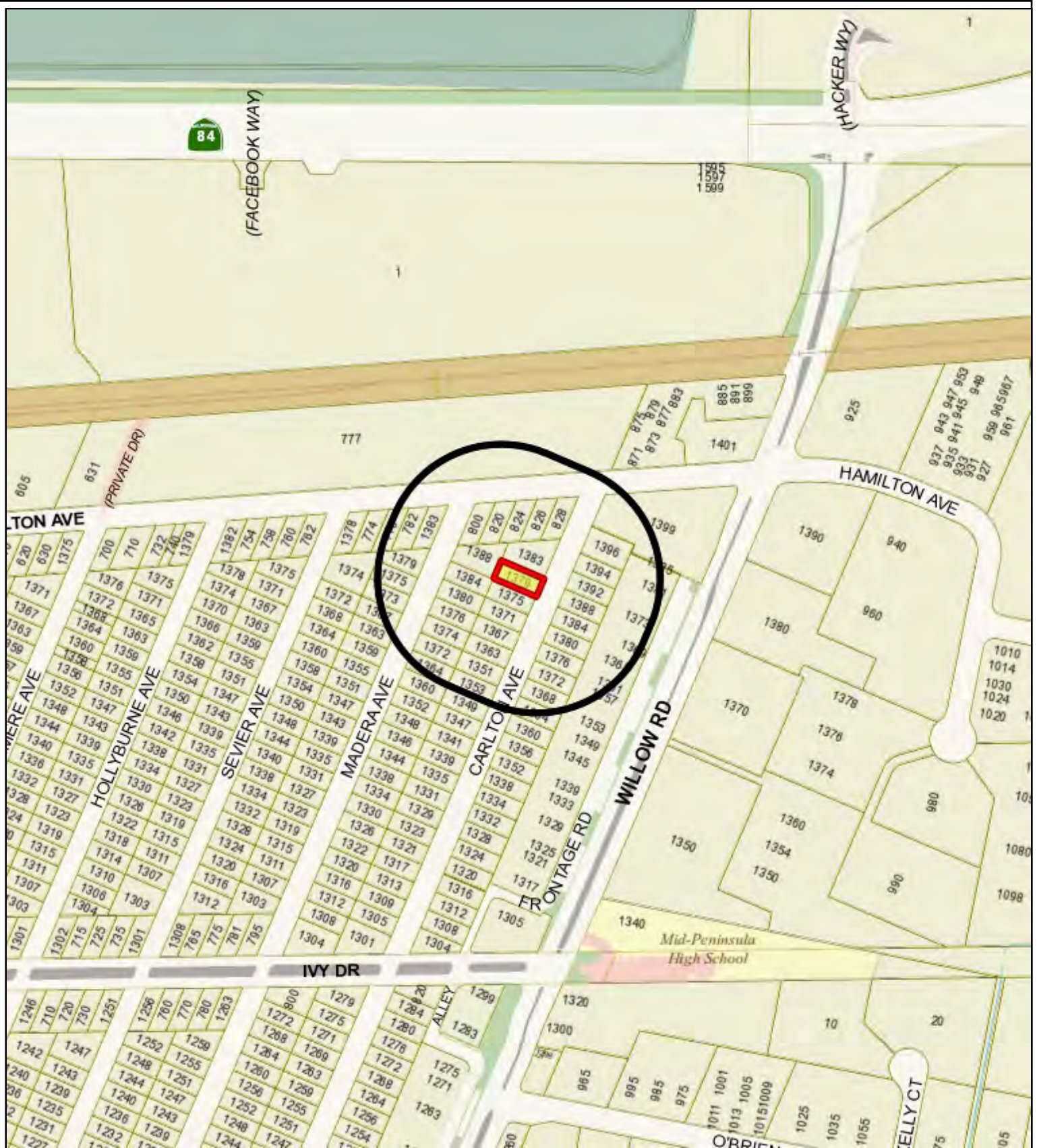
None

Report prepared by:  
Fahteen Khan, Contract Assistant Planner

Report reviewed by:  
Kyle Perata, Acting Principal Planner

## 1379 Carlton Avenue – Attachment A: Recommended Actions

<b>LOCATION:</b> 1379 Carlton Avenue	<b>PROJECT NUMBER:</b> PLN2018-00127	<b>APPLICANT:</b> Hamid Ghazvini	<b>OWNER:</b> Monta Vista Oak Inc.
<b>PROPOSAL:</b> Request for a use permit to demolish an existing two-story residence and construct a new two-story residence on a substandard lot with regard to lot width and lot area in the R-1-U (Single Family Urban Residential) zoning district.			
<b>DECISION ENTITY:</b> Planning Commission	<b>DATE:</b> February 11, 2019	<b>ACTION:</b> TBD	
<b>VOTE:</b> TBD (Barnes, Goodhue, Kennedy, Onken, Riggs, Strehl, Doran)			
<b>ACTION:</b>			
<ol style="list-style-type: none"> <li>1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, “New Construction or Conversion of Small Structures”) of the current California Environmental Quality Act (CEQA) Guidelines.</li> <li>2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.</li> <li>3. Approve the use permit subject to the following <b>standard</b> conditions: <ol style="list-style-type: none"> <li>a. Development of the project shall be substantially in conformance with the plans prepared by Zimmerman and Associates, consisting of 20 plan sheets, dated received February 4, 2019, subject to review and approval by the Planning Division.</li> <li>b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies’ regulations that are directly applicable to the project.</li> <li>c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.</li> <li>d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.</li> <li>e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.</li> <li>f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.</li> <li>g. Heritage trees and street trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance.</li> </ol> </li> </ol>			



City of Menlo Park  
 Location Map  
 1379 Carlton Avenue



	<b>PROPOSED PROJECT</b>	<b>EXISTING DEVELOPMENT</b>	<b>ZONING ORDINANCE</b>
Lot area	6,000.0 sf	6,000.0 sf	7,000.0 sf min.
Lot width	50.0 ft.	50.0 ft.	65.0 ft. min.
Lot depth	120.0 ft.	120.0 ft.	100.0 ft. min.
Setbacks			
Front	30.8 ft.	25.9 ft.	20.0 ft. min.
Rear	28.6 ft.	23.5 ft.	20.0 ft. min.
Side (left)	5.0 ft.	5.8 ft.	5.0 ft. min.
Side (right)	5.3 ft.	7.6 ft.	5.0 ft. min.
Building coverage	1,779.5 sf 29.7 %	2,075 sf 34.6 %	2,100.0 sf max. 35.0 % max.
FAL (Floor Area Limit)	2,794.0 sf	3,175.0 sf	2,800 sf max.
Square footage by floor	1,257.2 sf/1 <sup>st</sup> floor 24.4 1 <sup>st</sup> floor trellis 1,056.4 sf/2 <sup>nd</sup> floor 122.8 2 <sup>nd</sup> floor trellis 480.4 sf/garage	1,629.0 sf/1 <sup>st</sup> floor 1,100.0 sf/2 <sup>nd</sup> floor 446.0 garage	
Square footage of buildings	2,941.2 sf	3,175.0 sf	
Building height	23.9 ft.	24.0 ft.	28 ft. max.
Parking	2 covered	2 covered	1 covered/1 uncovered
Note: Areas shown highlighted indicate a nonconforming or substandard situation.			
Trees	Heritage trees: 0	Non-Heritage trees: 1*	New Trees: 2
	Heritage trees proposed for removal: 0	Non-Heritage trees proposed for removal: 0	Total Number of Trees: 3
*Street tree			

**BASIS OF ELEVATION**

CITY OF MENLO PARK BM #2  
A FOUND BRONZE DISK SET IN THE TOP OF A CONCRETE CURB AT THE EASTERLY CURB RETURN OF THE SOUTHERLY CURB LINE OF CONSTITUTION DRIVE, EASTERLY OF JEFFERSON DRIVE.  
ELEVATION: 7.50' NAVD88

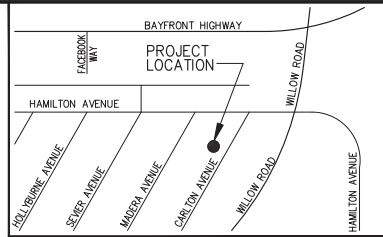
A VERTCON SHIFT OF 2.70 FEET WAS APPLIED TO A RECORD ELEVATION OF CITY OF MENLO PARK BM #2 IN ORDER TO CONVERT FROM NGVD29 TO NAVD88.

**BASIS OF BEARING**

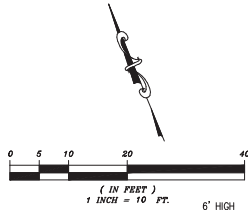
THE BEARING N22°05'00"E OF THE CENTERLINE OF CARLTON AVENUE AS SHOWN UPON THE CERTAIN MAP ENTITLED "NEW BRIDGE PARK", FILED FOR RECORD IN BOOK 14 OF MAPS AT PAGES 6 AND 7, WAS USED AS BASIS OF BEARING ON THIS MAP.

**LEGAL DESCRIPTION**

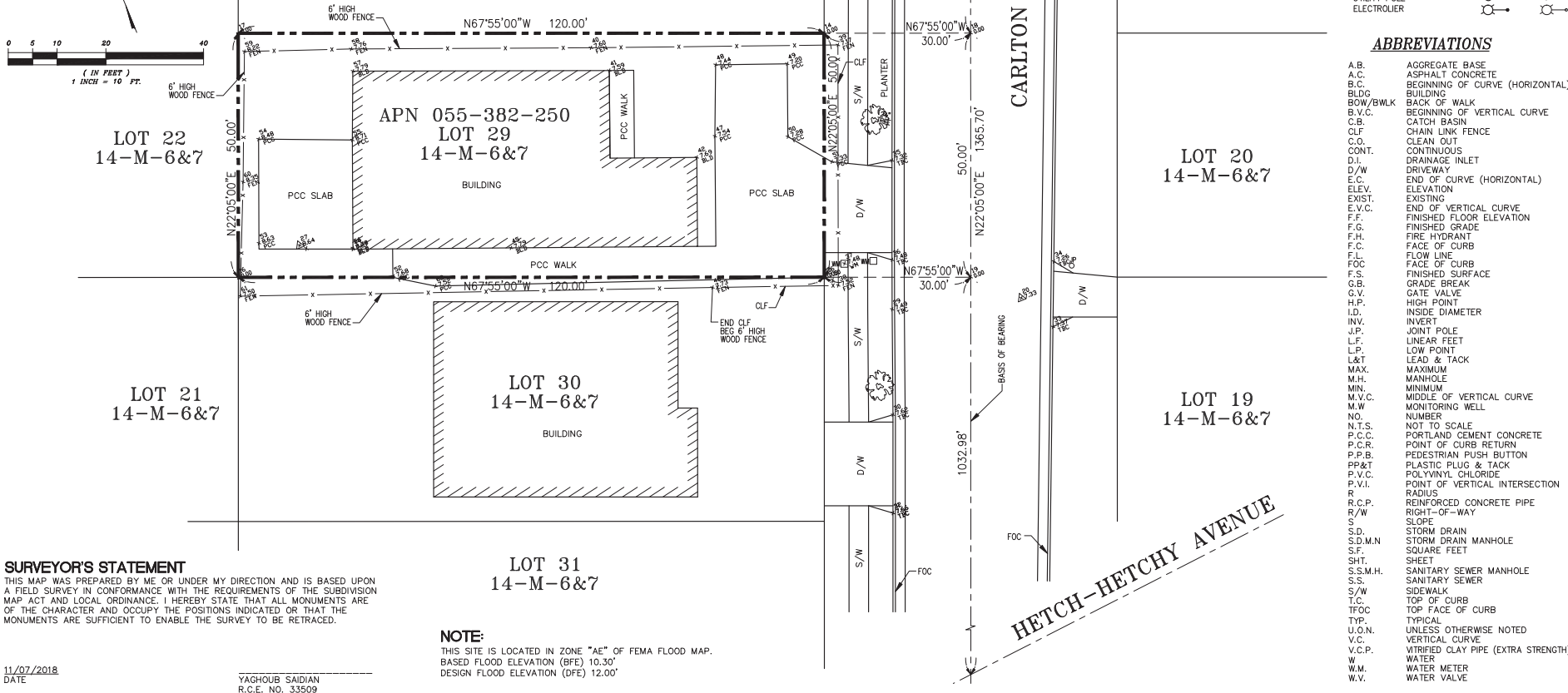
LOT 29 IN BLOCK 7, AS SHOWN ON THAT CERTAIN MAP ENTITLED NEWBRIDGE PARK, SAN MATEO COUNTY, CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN MATEO COUNTY, STATE OF CALIFORNIA, ON JUNE 10, 1926 IN BOOK 14 OF MAPS AT PAGE 6 AND 7.  
CONTAINS NET AREA: 6,000 SF (0.138 AC±)



VICINITY MAP  
NTS



0 5 10 20 40  
( IN FEET )  
1 INCH = 10 FT.



**SURVEYOR'S STATEMENT**

THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON A FIELD SURVEY IN CONFORMANCE WITH THE REQUIREMENTS OF THE SUBDIVISION MAP ACT AND LOCAL ORDINANCE. I HEREBY STATE THAT ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED OR THAT THE MONUMENTS ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

**NOTE:**

THIS SITE IS LOCATED IN ZONE "AE" OF FEMA FLOOD MAP.  
BASED FLOOD ELEVATION (BFE) 10.30'  
DESIGN FLOOD ELEVATION (DFE) 12.00'

11/07/2018  
DATE

YAGHOUB SAIDIAN  
R.C.E. NO. 33509

**LEGEND**

DESCRIPTION	PROPOSED	EXISTING
WHEELCHAIR RAMP		
SANITARY MANHOLE		
STORM MANHOLE		
CITY SURVEY MONUMENT		
STANDARD HOODED INLET		
SANITARY SEWER	SS	SS
STORM SEWER	SD	SD
CENTER LINE	CL	CL
PROPERTY LINE	PL	PL
MATCH LINE	M	M
GAS LINE	G	G
WATER LINE	W	W
JOINT TRENCH	JT	JT
GAS METER		
WATER METER		
GAS VALVE		
WATER VALVE		
EDGE OF PAVEMENT		
CURB AND GUTTER		
SIDEWALK		
DRIVEWAY		
PAVING CONFORM		
FIRE HYDRANT		
STREET SIGN		
FENCE(TYPE)		
ELECTRICAL CONDUIT		
OVERHEAD CONDUCTORS		
PULL BOX		
UTILITY POLE		
ELECTROLIER		

**ABBREVIATIONS**

A.B.	AGGREGATE BASE
A.C.	ASPHALT CONCRETE
B.C.	BEGINNING OF CURVE (HORIZONTAL)
BLDG	BUILDING
BOW/BWLK	BACK OF WALK
B.V.C.	BEGINNING OF VERTICAL CURVE
C.B.	CATCH BASIN
CLF	CHAIN LINK FENCE
C.O.	CLEAN OUT
CONT.	CONTINUOUS
DI	DRAINAGE INLET
D/W	DRIVEWAY
E.C.	END OF CURVE (HORIZONTAL)
ELEV.	ELEVATION
EXIST.	EXISTING
E.V.C.	END OF VERTICAL CURVE
F.F.	FINISHED FLOOR ELEVATION
F.G.	FINISHED GRADE
F.H.	FIRE HYDRANT
F.C.	FACE OF CURB
F.L.	FLOW LINE
FOC	FACE OF CURB
F.S.	FINISHED SURFACE
G.B.	GRADE BREAK
G.V.	GATE VALVE
H.P.	HIGH POINT
I.D.	INSIDE DIAMETER
INV.	INVERT
J.P.	JOINT POLE
L.F.	LINEAR FEET
L.P.	LOW POINT
L&T	LEAD & TACK
MAX.	MAXIMUM
M.H.	MANHOLE
MIN.	MINIMUM
M.V.C.	MIDDLE OF VERTICAL CURVE
M.W.	MONITORING WELL
N.O.	NUMBER
N.T.S.	NOT TO SCALE
P.C.C.	PORTLAND CEMENT CONCRETE
P.C.R.	POINT OF CURB RETURN
P.P.B.	PEDESTRIAN PUSH BUTTON
PP&T	PLASTIC PLUG & TACK
P.V.C.	POLYVINYL CHLORIDE
P.V.I.	POINT OF VERTICAL INTERSECTION
R.	RADIUS
R.C.P.	REINFORCED CONCRETE PIPE
R/W	RIGHT-OF-WAY
SLOPE	SLOPE
S.D.	STORM DRAIN
S.D.M.N	STORM DRAIN MANHOLE
S.F.	SQUARE FEET
SHT.	SHEET
S.S.M.H.	SANITARY SEWER MANHOLE
S.S.	SANITARY SEWER
S/W	SIDEWALK
T.C.	TOP OF CURB
T.FOC	TOP FACE OF CURB
TYP.	TYPICAL
U.O.N.	UNLESS OTHERWISE NOTED
V.C.	VERTICAL CURVE
V.C.P.	VITRIFIED CLAY PIPE (EXTRA STRENGTH)
W.	WATER
W.M.	WATER METER
W.V.	WATER VALVE

ADVANCED DEVELOPMENT

2025 SUBDIVISION MAP ACT  
S.M.A. (FORM 376-6070)

JACOB SAIDIAN  
CIVIL ENGINEER

TOPOGRAPHICAL & RECORD BOUNDARY  
SURVEY FOR: APN 055-382-250  
1379 CARLTON AVENUE  
MENLO PARK CALIFORNIA

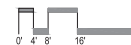
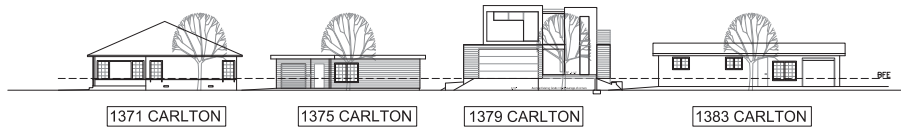
APPROVED BY: [Signature]  
DATE: 11/07/2018

Check: [ ]  
Design: [ ]  
Survey: [ ]  
Scale: 1"=100'  
Date: 11-07-2018

Sheet No. **C2**

5

Job No. 427

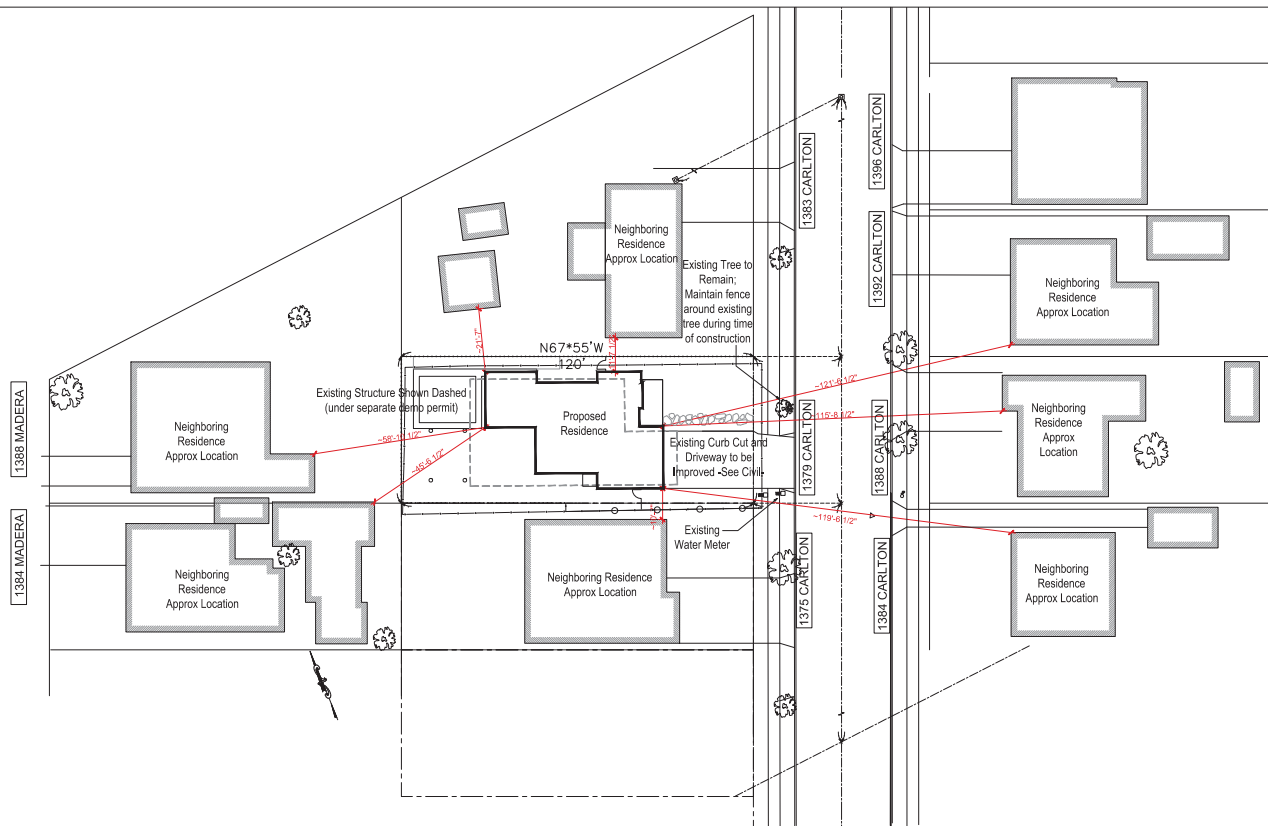


**STREETSCAPE** SCALE 1/16" = 1'



Sausalito  
100 Gate 6 Road  
Sausalito, CA 94965  
Tel 415.289.0660

Sonoma  
1707 Denmark Street  
Sonoma, CA 94976  
Tel 707.933.0442  
www.zmanarch.com



**PROJECT NOTES**  
This project shall replace all non-ADA compliant sidewalk pursuant to the latest City Standard (CG-3), to the satisfaction of the Public Works Department

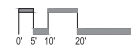
- The project will be built in compliance with the City's Flood Damage Prevention Ordinance, Chapter 12, Section 42.
- All materials below DFE shall be resistant to flood damage. (i.e., concrete, Redwood or pressure treated Douglas Fir).
  - The bottom elevation of all appliances and utilities (meters, air conditioning units, etc) shall be at or above DFE.
  - Storm runoff resulting from the project's grading and drainage activities shall not encroach onto any neighboring lot. Runoff must be contained on-site.
  - No basements or any habitable enclosure below the DFE are allowed for projects in the flood zone.
  - Flood vents shall be installed for all non-habitable enclosures below the DFE (i.e. crawlspace, garage, etc.) at a rate of 1 square inch of net opening to 1 square foot of enclosure. Refer to the engineering plans herein for vent locations and calculations.

**PROJECT DESCRIPTION**  
The new home will be a two story home with 3 beds 3 baths, a 2-car garage, outdoor decks, new landscaping, and will be lower overall height than the existing residence. The home will be more progressive with a modern design warmed up with some horizontal wood siding and clean jointless stucco. The home will be raised substantially with a perimeter foundation to meet the Base Flood Elevation. The construction will be entirely wood framed Type VB construction.

"No existing trees on property"

**SITE ANALYSIS**  
Zoning R-1-U

LOT AREA	6,000 sf
Allowable Building Coverage	2,100 sf
Floor Area Limit	2800 sf
Existing Structure 1st Floor	2,075 sf
Existing Structure 2nd Floor	1,100 sf
Existing Structure TOTAL	3,175 sf
Proposed 1st Floor	1,738 sf
Proposed 2nd Floor	1,056 sf
Proposed Floor Area TOTAL	2,794 sf
Proposed Building Coverage	1,779 sf
Land Covered Existing (demo)	34.6%
Land Covered Proposed	29.7%
Permeable Paved Area Proposed	(595+598) 19.9%
Concrete Areas Proposed	(145+26) 2.9%
Wood Deck Proposed	(132+462) 9.9%
Landscape Area Proposed	(199+230+54)
Parking Spaces (covered)	2



**AREA PLAN** SCALE 1" = 20'

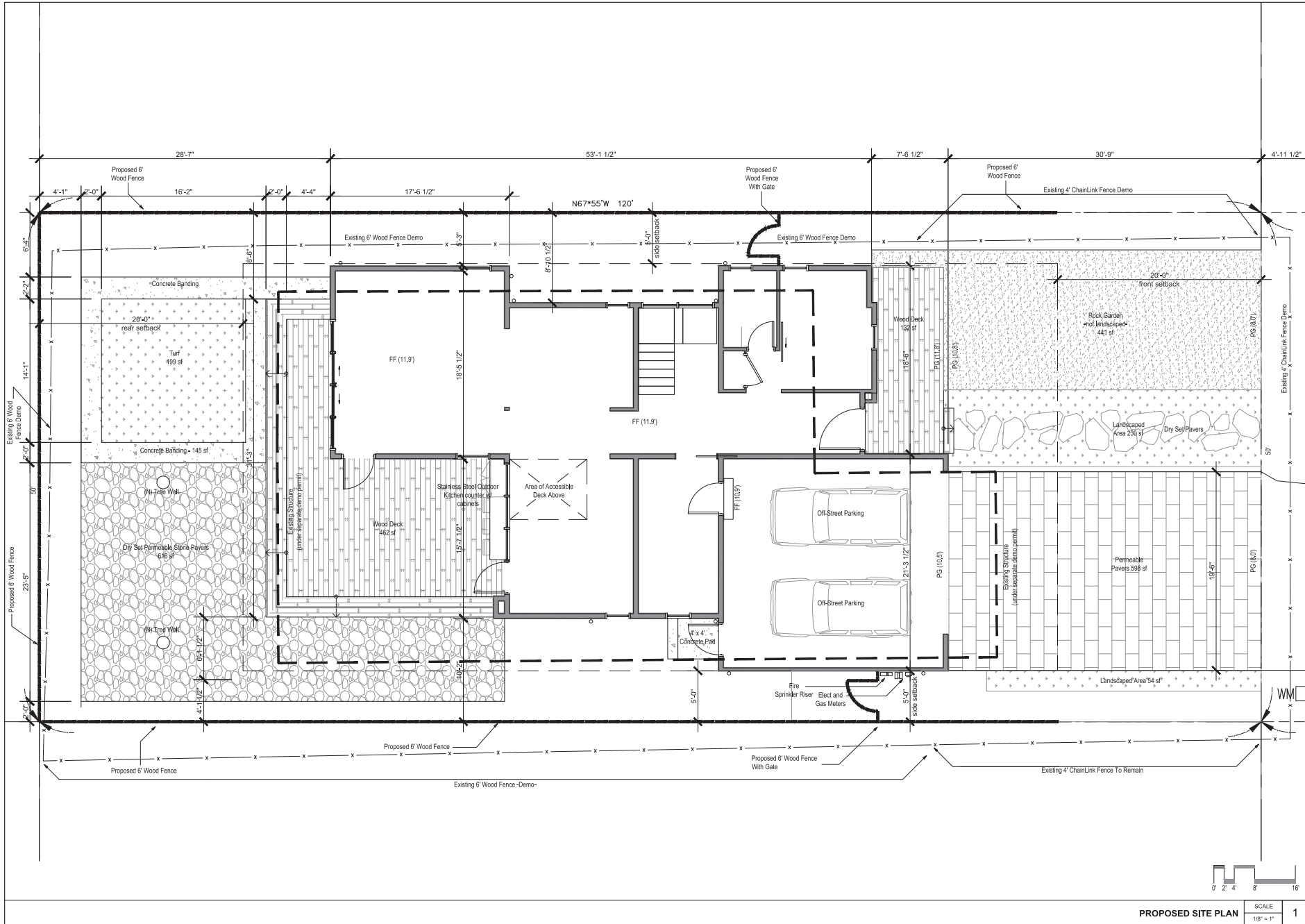
**Carlton Rebuild**  
1379 Carlton Avenue  
Menlo Park, CA 94025

Rev	Date	Issue and Revision
01	11.19	USE PERMIT RESUB

**AREA PLAN**  
Sheet 1 of 22

**A1.0**

Project Number 201617



**Zimmerman + Associates**  
 architecture planning development  
 Sausalito  
 100 Gate 6 Road  
 Sausalito, CA 94965  
 Tel 415.289.8669  
 www.zmanarch.com

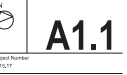


**Carlton Rebuild**  
 1379 Carlton Avenue  
 Menlo Park, CA 94025

Rev.	Date	Issued and Revision
01	11.19	USE PERMIT RESUB

**PROPOSED SITE PLAN**

North Arrow  
 Sheet 1 of 21



Project Number: 2019.17  
 SCALE: 1/8" = 1'





Zimmerman + Associates  
architecture planning development

Sausalito  
100 Gate 6 Road  
Sausalito, CA 94965  
Tel 415.289.0660

Sonoma  
1707 Denmark Street  
Sonoma, CA 94976  
Tel 707.933.0442  
www.zmanarch.com



**Carlton Rebuild**  
1379 Carlton Avenue  
Menlo Park, CA 94025

Rev	Date	Revised by	Revisions
01	11.10		USE PERMIT RESUBMIT

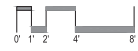
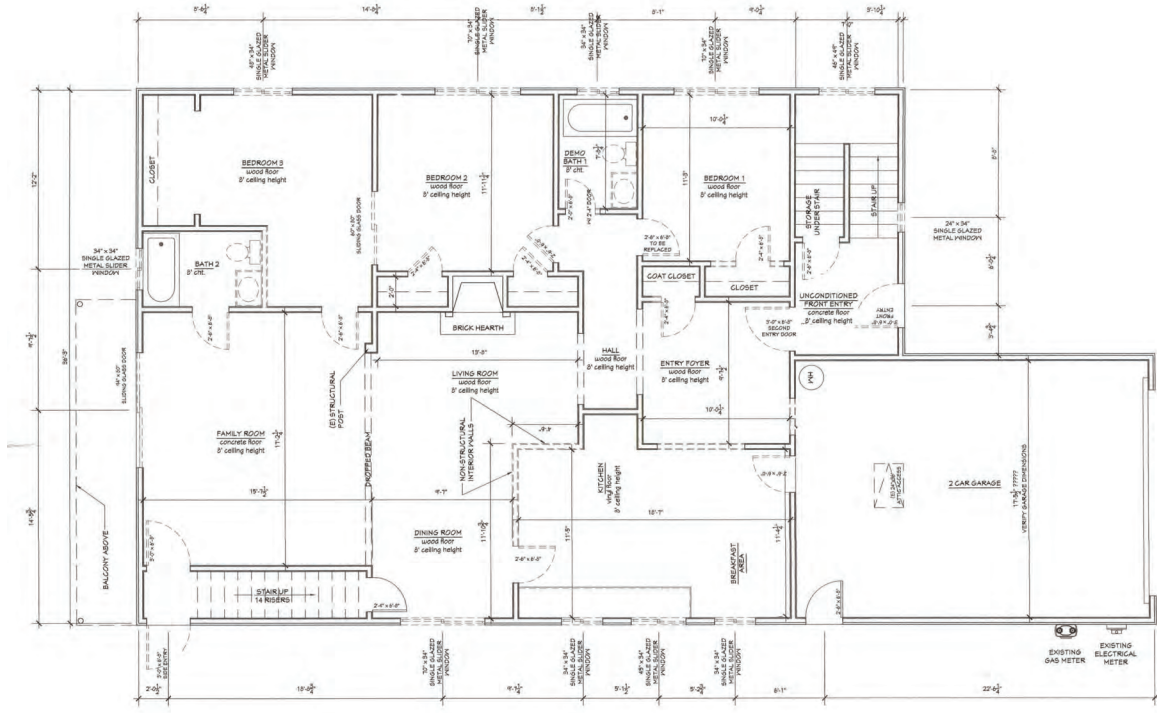
EXISTING FLOOR PLAN  
FIRST FLOOR

Proj. No. 307617

Sheet 1 of 27

Project Number 307617

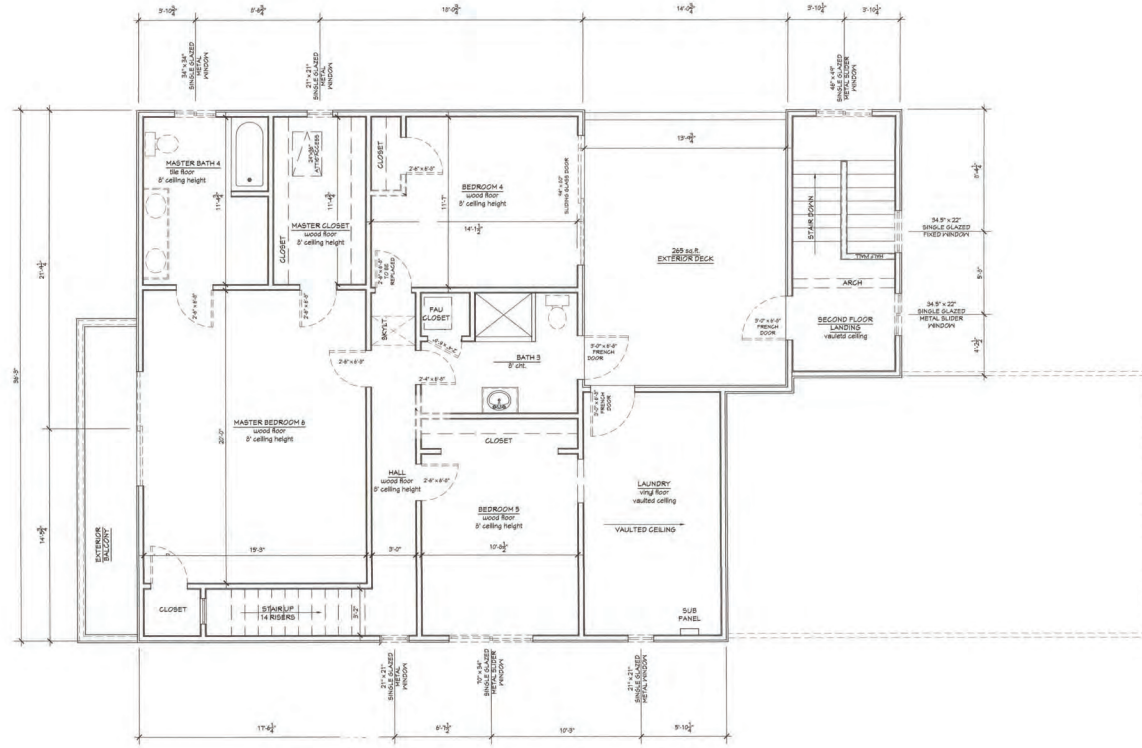
Scale: 1/4" = 1'



EXISTING FIRST FLOOR PLAN SCALE 1/4" = 1' 1



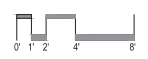
**Carlton Rebuild**  
1379 Carlton Avenue  
Menlo Park, CA 94025



Rev	Date	Issues and Revisions
01	11.10	USE PERMIT RESUB

EXISTING FLOOR PLAN  
SECOND FLOOR

Sheet 01 of 01



**A2.1**

EXISTING SECOND FLOOR PLAN SCALE 1/4" = 1" 1



**Carlton Rebuild**  
1379 Carlton Avenue  
Menlo Park, CA 94025

Rev	Date	Revised by	Revised for
01	11.10		ISSUE PERMIT RESUB

PROPOSED FLOOR PLAN

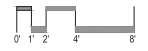
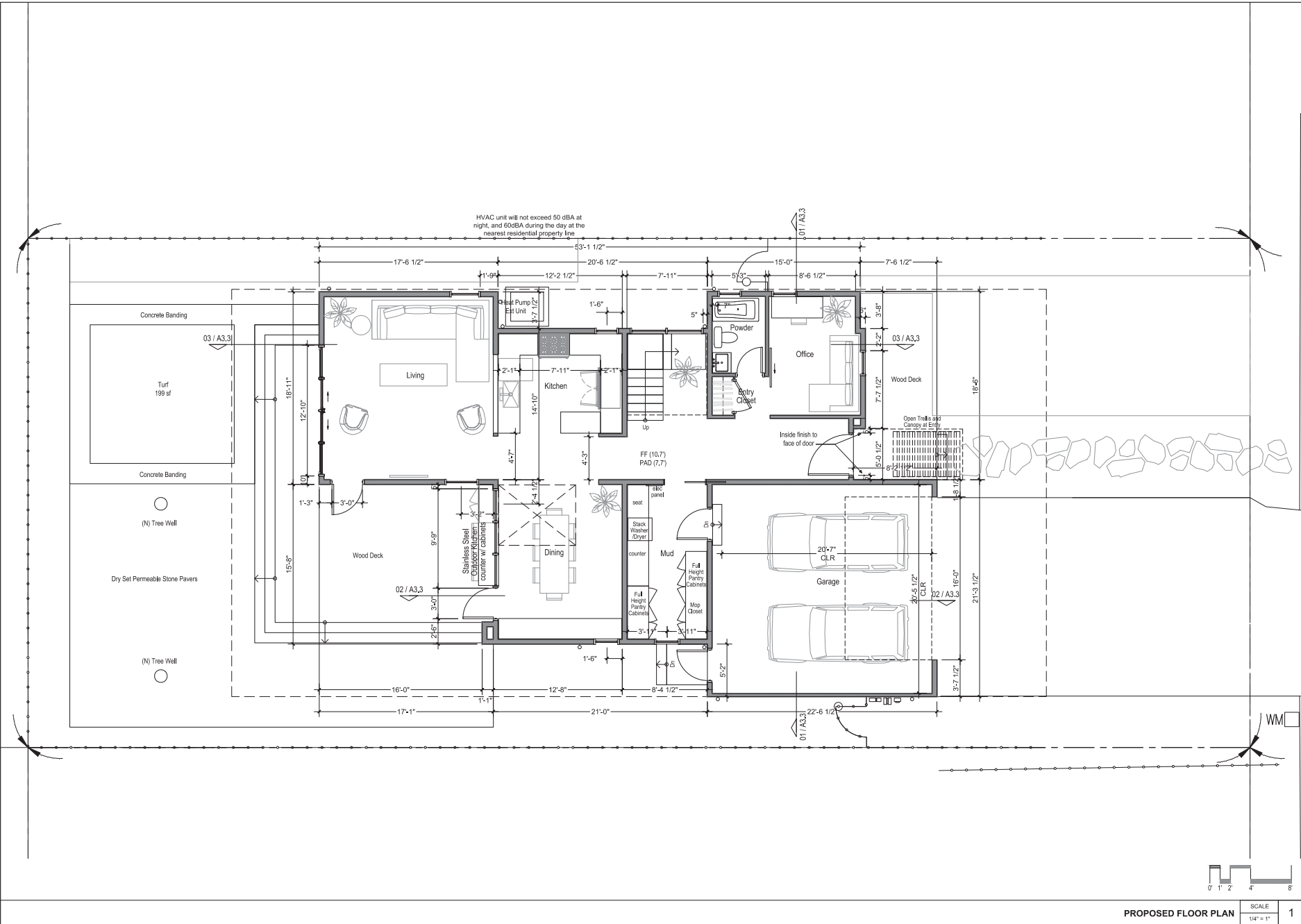
Sheet 1 of 22

**A2.2**

Project Number: 2016.17

All dimensions are in feet and inches unless otherwise noted. © 2016 Zimmerman + Associates. All rights reserved. No part of this document may be reproduced without written consent of the architect.

HVAC unit will not exceed 50 dBA at night, and 60dBA during the day at the nearest residential property line



PROPOSED FLOOR PLAN SCALE 1/4" = 1'



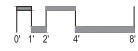
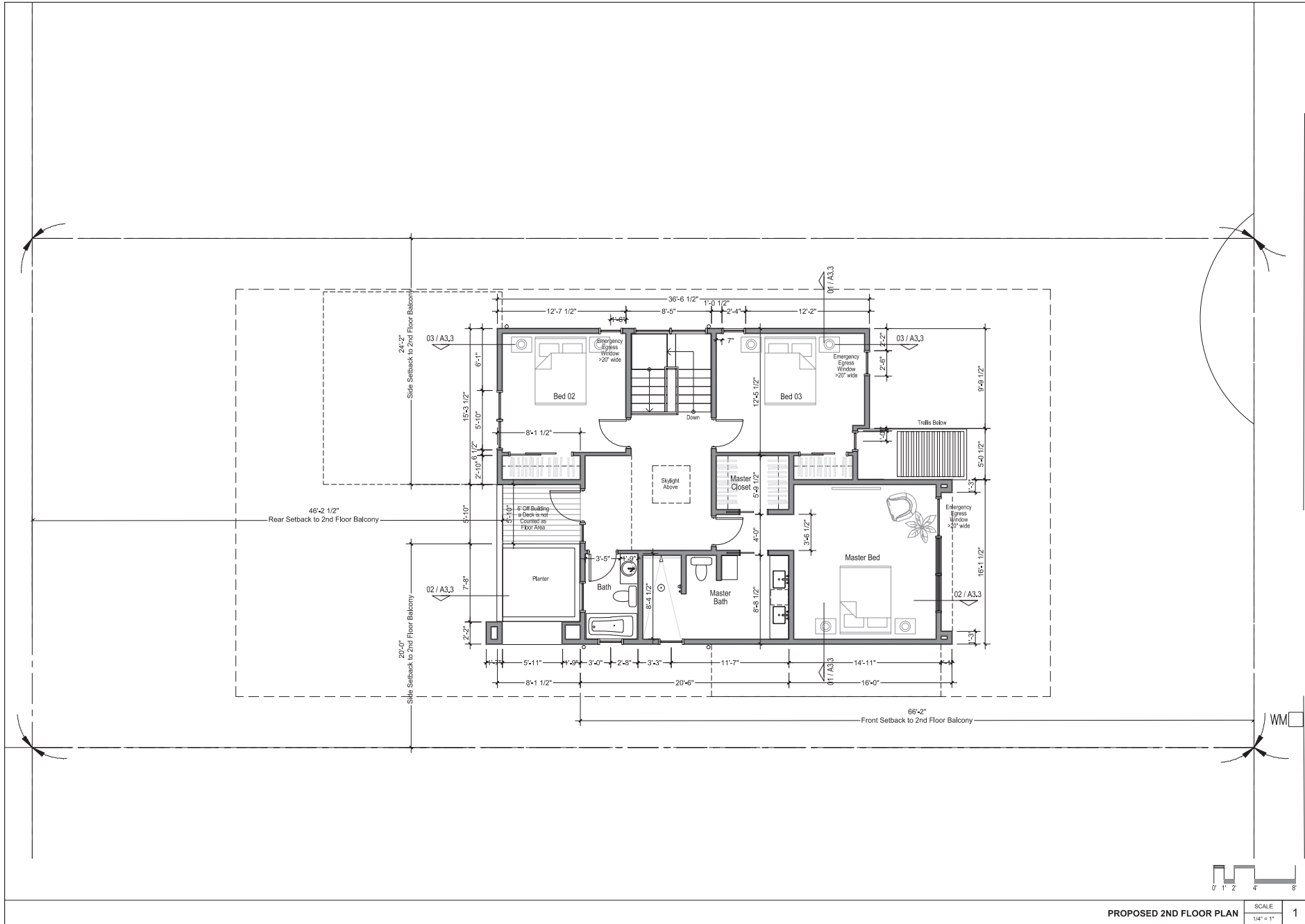
**Carlton Rebuild**  
1379 Carlton Avenue  
Menlo Park, CA 94025

Rev.	Date	Revised and Resubmitted
01	11.10	USE PERMIT RESUB

PROPOSED FLOOR PLAN  
2ND FLOOR

Project Number  
3071617

SCALE  
1/4" = 1"



PROPOSED 2ND FLOOR PLAN SCALE 1/4" = 1"



Zimmerman + Associates  
architecture planning development

Sausalito  
100 Gate 6 Road  
Sausalito, CA 94965  
Tel 415.289.0660

Sonoma  
1707 Denmark Street  
Sonoma, CA 94976  
Tel 707.933.0442  
www.zmanarch.com



**Carlton Rebuild**  
1379 Carlton Avenue  
Menlo Park, CA 94025

Rev	Date	Issues and Resolutions
01	11.10	USE PERMIT RESUB

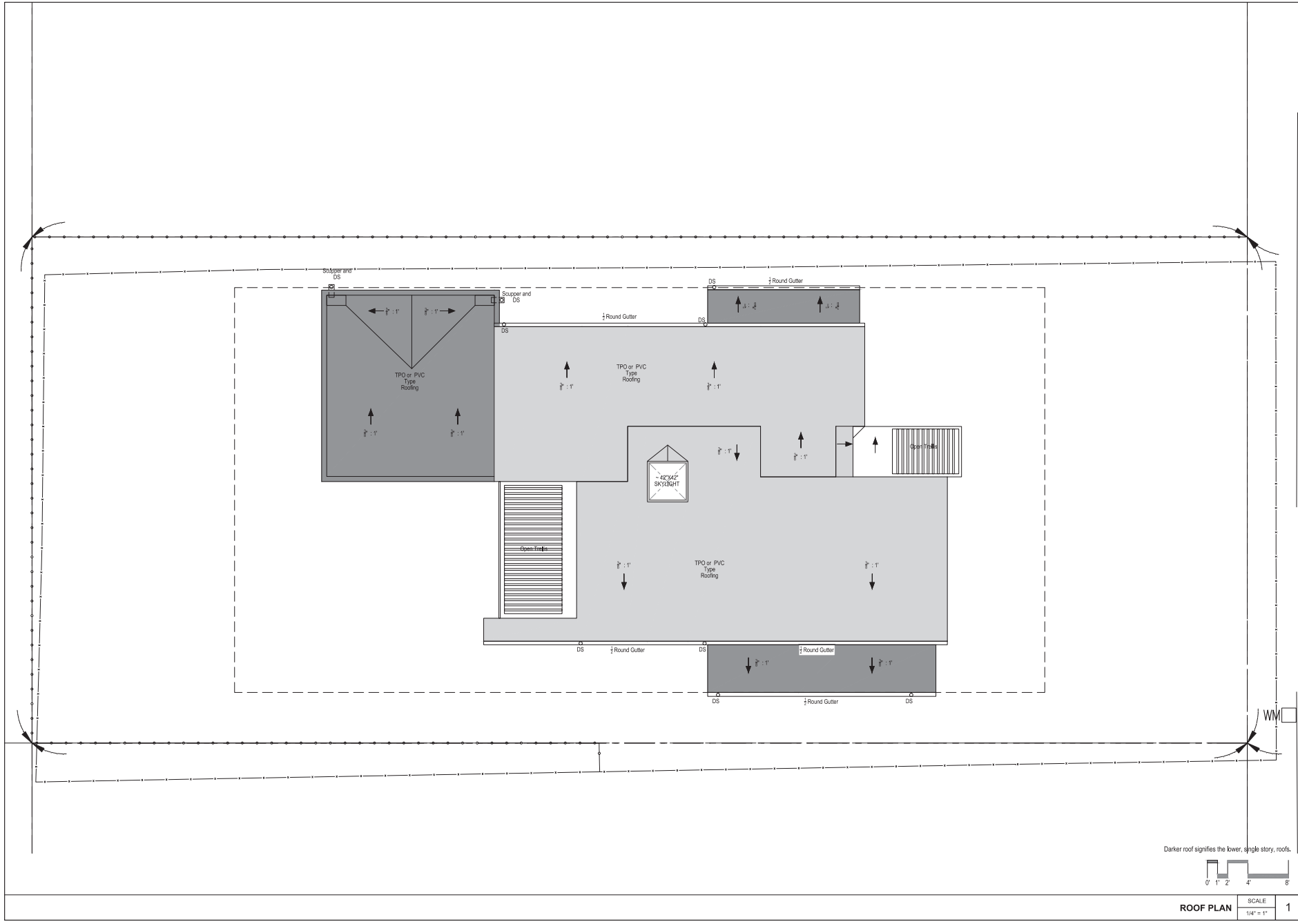
ROOF PLAN

Sheet 1 of 22

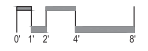
**A2.4**

Project Number 201517

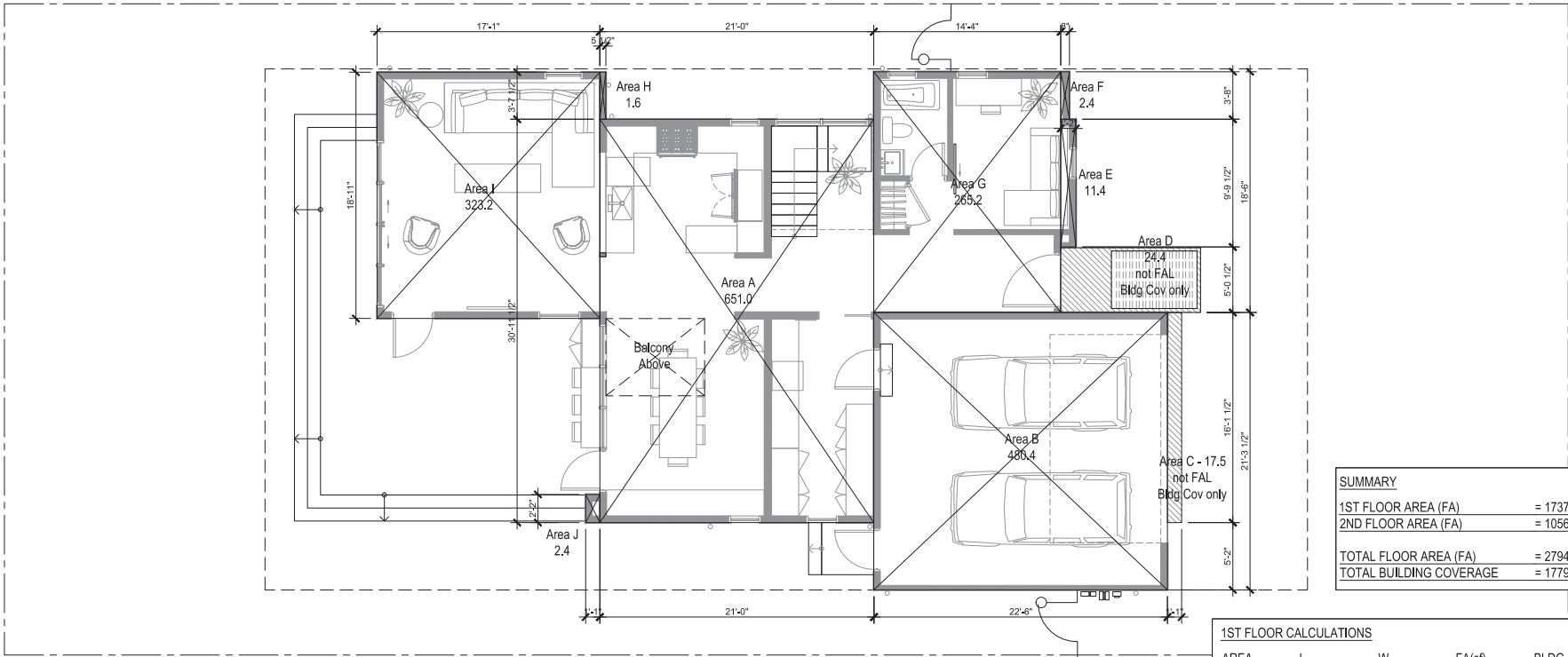
All drawings are the property of Zimmerman + Associates, Inc. No part of this drawing may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written consent of Zimmerman + Associates, Inc.



Darker roof signifies the lower, single story, roofs.

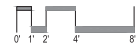


ROOF PLAN SCALE 1/4" = 1'



SUMMARY	
1ST FLOOR AREA (FA)	= 1737.6 SF
2ND FLOOR AREA (FA)	= 1056.4 SF
<b>TOTAL FLOOR AREA (FA)</b>	<b>= 2794.0 SF</b>
<b>TOTAL BUILDING COVERAGE</b>	<b>= 1779.5 SF</b>

1ST FLOOR CALCULATIONS				
AREA	L	W	FA(sf)	BLDG COV
Area A	30'-11 $\frac{1}{2}$ "	21'-0"	651.0	651.0
Area D (Trellis)			-not FAL-	24.4
Area E	9'-9 $\frac{1}{2}$ "	1'-2"	11.4	11.4
Area F	3'-8"	8"	2.4	2.4
Area G	18'-6"	14'-4"	265.2	265.2
Area H	3'-7 $\frac{1}{2}$ "	5 $\frac{1}{2}$ "	1.6	1.6
Area I	18'-11"	17'-1"	323.2	323.2
Area J	2'-2"	1'-1"	2.4	2.4
<b>GARAGE AREA</b>				
Area B	21'-3 $\frac{1}{2}$ "	22'-6"	480.4	480.4
Area C (covered)			-not FAL-	17.5
			<b>1737.6</b>	<b>1779.5</b>



Date	Revised	By	Checked
07.11.19			

PROPOSED SQUARE FOOTAGE CALCULATION PLANS

Sheet 1 of 22

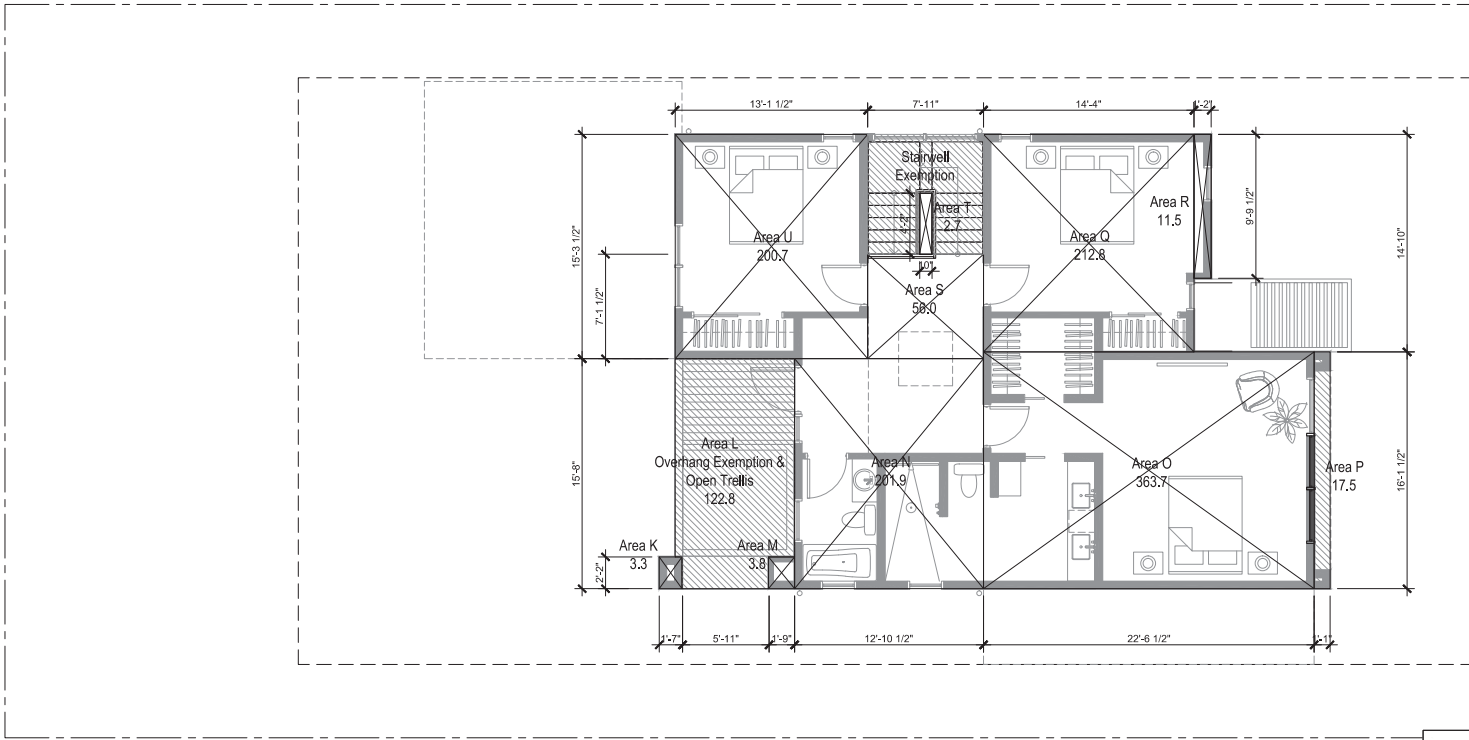
**A2.5**

Project Number: 2019117

SQUARE FOOTAGE CALCS - PROPOSED FIRST FLOOR SCALE 1/4" = 1" 1



**Carlton Rebuild**  
1379 Carlton Avenue  
Menlo Park, CA 94025

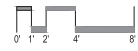


SUMMARY	
1ST FLOOR AREA (FA)	= 1737.6 SF
2ND FLOOR AREA (FA)	= 1056.4 SF
<b>TOTAL FLOOR AREA (FA)</b>	<b>= 2794.0 SF</b>
<b>TOTAL BUILDING COVERAGE</b>	<b>= 1779.5 SF</b>

2ND FLOOR CALCULATIONS			
AREA	L	W	FA(sf)
Area K	2'-2"	1'-7"	3.3
Area L (Trellis)			-not FAL-
Area M	2'-2"	1'-9"	3.8
Area N	15'-8"	12'-10 <sup>1</sup> / <sub>2</sub> "	201.9
Area O	16'-1 <sup>1</sup> / <sub>2</sub> "	22'-6 <sup>1</sup> / <sub>2</sub> "	363.7
Area P (Covered)			-not FAL-
Area Q	14'-10"	14'-4"	212.8
Area R	9'-9 <sup>1</sup> / <sub>2</sub> "	1'-2"	11.5
Area S	7'-1 <sup>1</sup> / <sub>2</sub> "	7'-11"	56.0
Area T	4'-2"	10"	2.7
Area U	15'-3 <sup>1</sup> / <sub>2</sub> "	13'-1 <sup>1</sup> / <sub>2</sub> "	200.7
			1056.4

Date	Revised by	Revisions
07.11.19		USE PERMIT RESUB

PROPOSED SQUARE FOOTAGE  
CALCULATION PLANS  
Title: Carlton Rebuild  
Sheet: 1 of 22



**A2.6**  
Project Number: 2019117

SQUARE FOOTAGE CALCS - PROPOSED SECOND FLOOR SCALE 1/4" = 1' 1



Foothill Sedge



Mexican Feather Grass



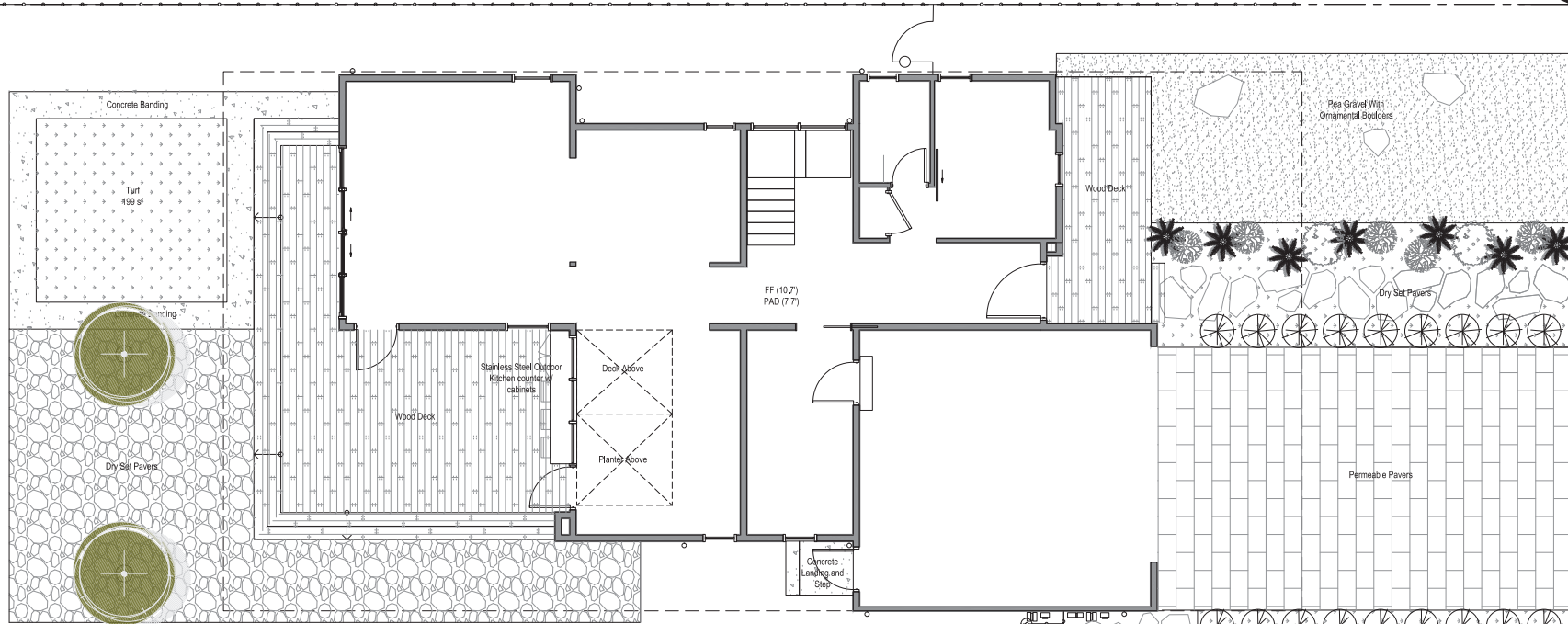
Deer Grass



Lavender



Scarlet Oak



**Zimmerman + Associates**  
 architecture planning development  
 Sausalito  
 100 Gate 6 Road  
 Sausalito, CA 94965  
 Tel 415.289.0660  
 Sonoma  
 1707 Denmark Street  
 Sonoma, CA 95476  
 Tel 707.933.0442  
 www.zmanarch.com



**Carlton Rebuild**  
 1379 Carlton Avenue  
 Menlo Park, CA 94025



6' High Cedar Fence

**LANDSCAPE KEY**

15 ga Scarlet Oak - 'quercus coccoloba' mature trees 50' height and 40' wide if not maintained

1 ga Lavendar 'lavendula'

5 ga Deer Grass 'muhlenbergia rigens'

5 ga Mexican Feather Grass 'hassella tenuissima'

5 ga Foothill Sedge 'carex tumulicola'



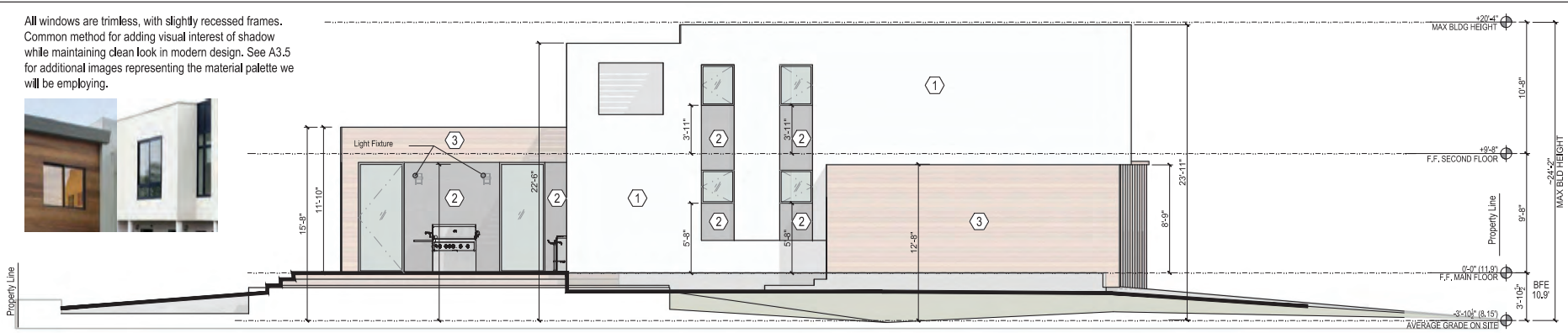
SCALE 1/4" = 1'

Rev	Date	Revised and Resubmitted
01	11.19	USE PERMIT RESUB

PRELIM LANDSCAPE PLAN  
 Project Number 2017L17  
**A2.7**  
 SCALE 1  
 1/4" = 1'

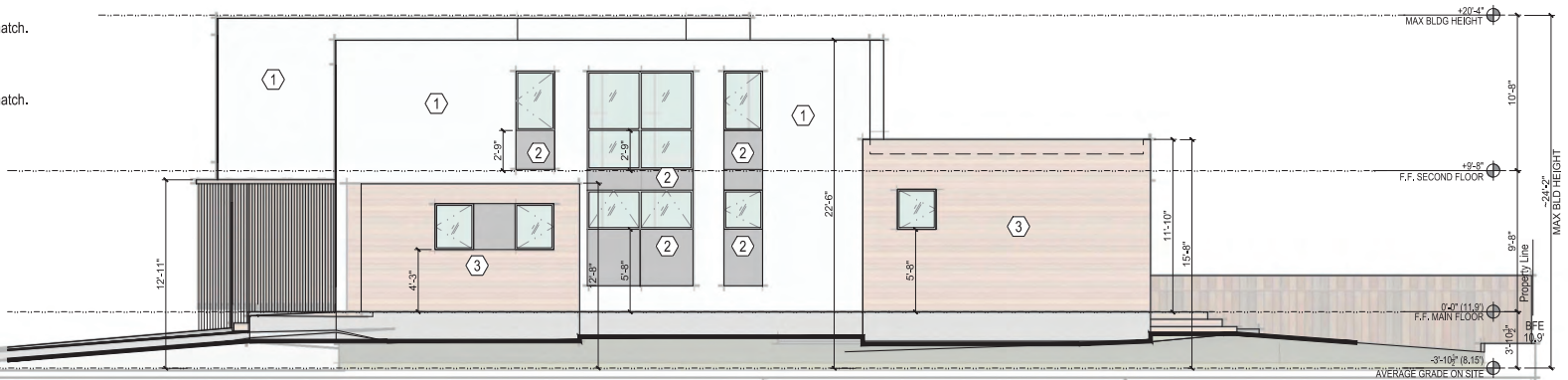


All windows are trimless, with slightly recessed frames. Common method for adding visual interest of shadow while maintaining clean look in modern design. See A3.5 for additional images representing the material palette we will be employing.

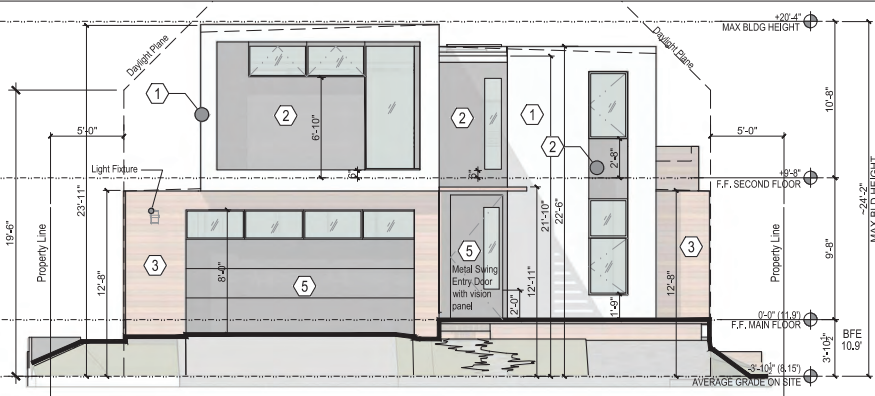


PROPOSED SOUTH (LEFT SIDE YARD) ELEVATION SCALE 1/4" = 1" 3

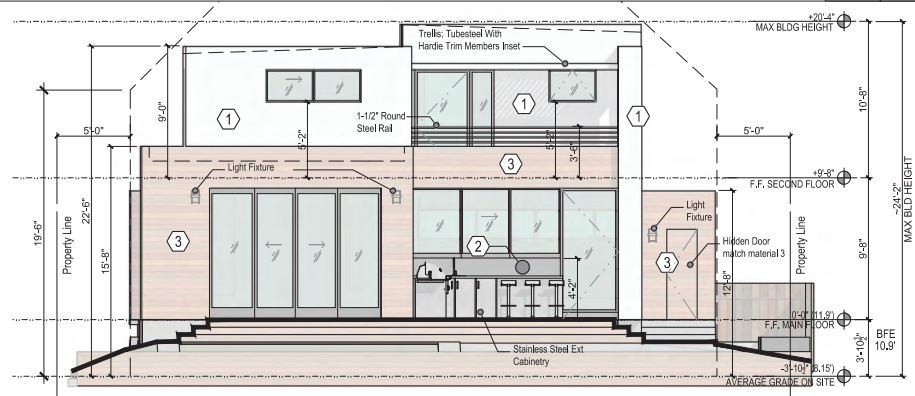
- 1 Painted stucco. Flashing painted to match.
- 2 Painted stucco. Flashing painted to match.
- 3 Horizontal Wood Material
- 4 Aluminum Frame Trimless Windows - see note above -
- 5 Painted Metal Garage doors and Front door. Painted same color as material 2.



PROPOSED NORTH (RIGHT SIDE YARD) ELEVATION SCALE 1/4" = 1" 2



PROPOSED EAST (FRONT YARD) ELEVATION SCALE 1/4" = 1" 4



PROPOSED WEST (REAR YARD) ELEVATION SCALE 1/4" = 1" 1



Sausalito  
100 Gate 6 Road  
Sausalito, CA 94965  
Tel 415.289.6669

Sonoma  
1707 Denmark Street  
Sonoma, CA 94976  
Tel 707.933.8442  
www.zmanarch.com



**Carlton Rebuild**  
1379 Carlton Avenue  
Menlo Park, CA 94025

Rev	Date	Issues and Revisions
01.11.19		USE PERMIT RESUB

PROPOSED ELEVATIONS

Max North Sheet 01

**A3.1**

Project Number 2019.17

Scale 1/4" = 1"



EXISTING CONDITIONS AT FRONT YARD

SCALE  
NTS 6



EXISTING CONDITIONS AT FRONT YARD

SCALE  
NTS 4



EXISTING CONDITIONS AT NORTH SIDE YARD

SCALE  
NTS 2



EXISTING CONDITIONS AT REAR YARD

SCALE  
NTS 5



EXISTING CONDITIONS AT SOUTH SIDE YARD

SCALE  
NTS 3



EXISTING CONDITIONS AT SOUTH SIDE YARD

SCALE  
NTS 1

**Carlton Rebuild**  
1379 Carlton Avenue  
Menlo Park, CA 94025

Rev	Date	Revised and Revisions
01	11.19	USE PERMIT RESUB

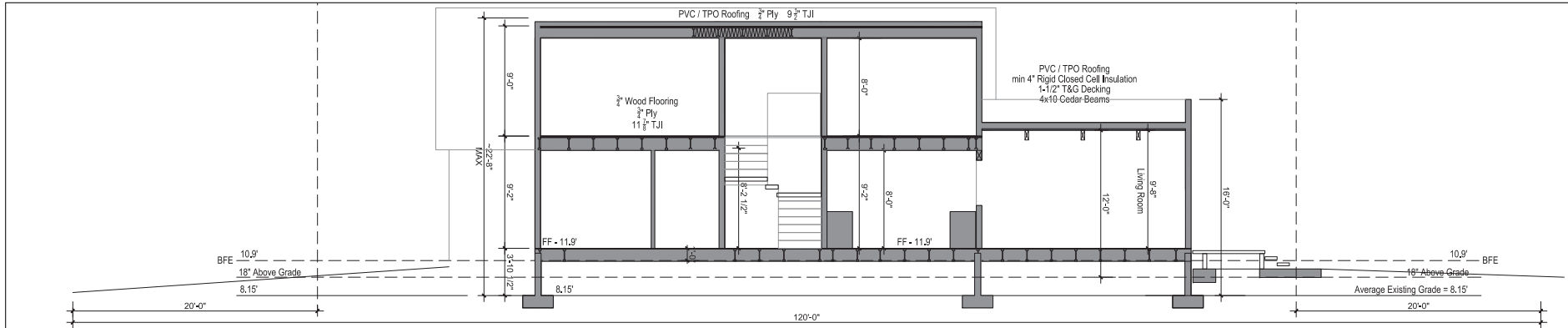
EXISTING ELEVATIONS  
FROM PHOTOGRAPHS

Sheet 1 of 22

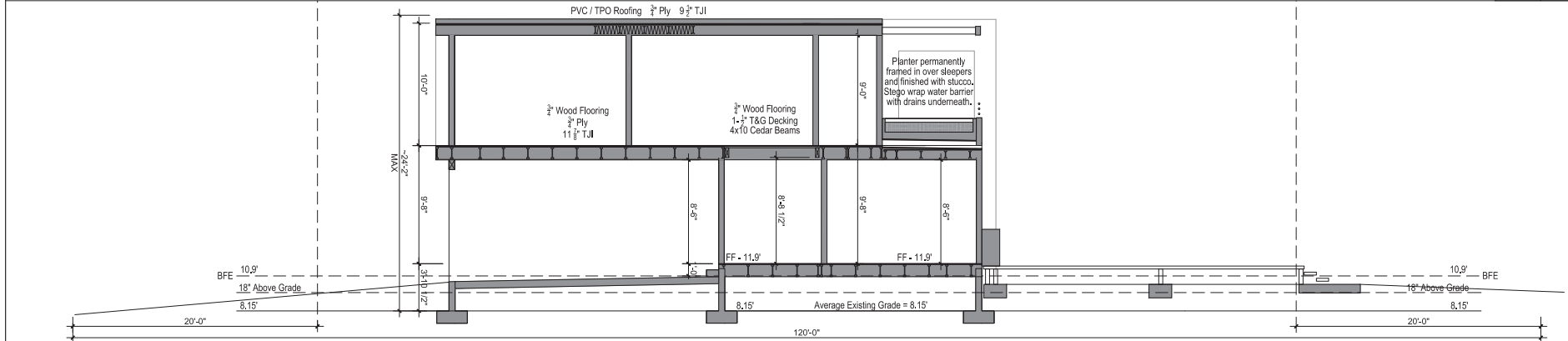
**A3.2**

Project Number  
201617

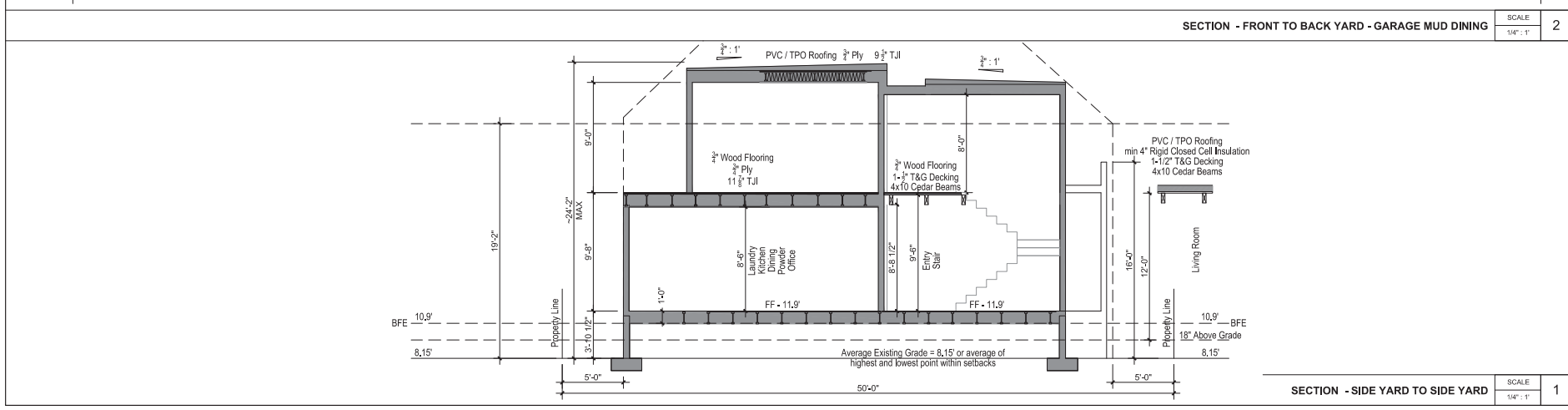
All drawings are the property of Zimmerman + Associates, Inc. and shall remain confidential. No part of this drawing may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written consent of the architect.



SECTION - FRONT TO BACK YARD - OFFICE POWDER STAIR KITCHEN LIVING  
SCALE: 1/4" = 1'  
3



SECTION - FRONT TO BACK YARD - GARAGE MUD DINING  
SCALE: 1/4" = 1'  
2



SECTION - SIDE YARD TO SIDE YARD  
SCALE: 1/4" = 1'  
1



Sausalito  
100 Gate 6 Road  
Sausalito, CA 94965  
Tel 415.289.0660

Sonoma  
1707 Denmark Street  
Sonoma, CA 94976  
Tel 707.933.8442  
www.zmanarch.com



**Carlton Rebuild**  
1379 Carlton Avenue  
Menlo Park, CA 94025

Rev	Date	Issues and Revisions
01.11.10		USE PERMIT RESUB

PROPOSED CROSS SECTIONS

Sheet 01

**A3.3**

Project Number: 2011/17



PROPOSED PERSPECTIVE RENDERING - BACK YARD

SCALE	2
NTS	



PROPOSED PERSPECTIVE RENDERING - BACK YARD

SCALE	1
NTS	



Zimmerman + Associates  
architecture planning development

Sausalito  
100 Gate Road  
Sausalito, CA 94965  
Tel 415.289.0660

Sonoma  
1707 Denmark Street  
Sonoma, CA 95476  
Tel 707.933.0442  
www.zmanarch.com



**Carlton Rebuild**  
1379 Carlton Avenue  
Menlo Park, CA 94025

No.	Date	Revisions and Remarks
01	11.10	USE PERMIT RESUB

PERSPECTIVE RENDERINGS

Sheet 1 of 22

**A3.4**

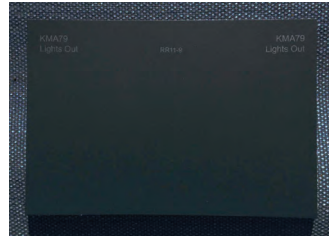
Project Number  
201617

All drawings are the property of Zimmerman + Associates, Inc. and shall remain confidential. No part of this drawing may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written consent of the architect.

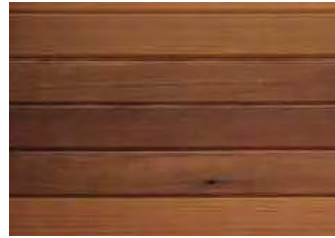
1 White stucco color painted to off-white. Flashing painted to match.



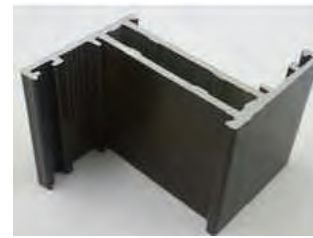
2 Black stucco color painted to dark cool gray. Flashing painted to match.



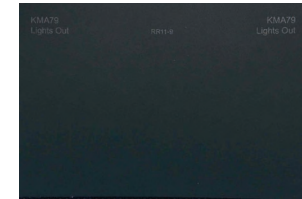
3 Horizontal Wood Material to match in tone Western Red Cedar with brushed oil-based Semi-Transparent stain. If non-wood product is chosen we will match a tone similar to Cabot Red Cedar.



4 Aluminum Frame Windows, Black or Dark Bronze



5 Painted Metal Garage doors and Front door. Painted same color as material 2.



Sausalito  
100 Gate 6 Road  
Sausalito, CA 94965  
Tel 415.289.0660

Sonoma  
1707 Denmark Street  
Sonoma, CA 94976  
Tel 707.933.0442  
www.zmanarch.com



Jointless Stucco - Jointless allows the forms to read as more sculptural elements. Off-white and off-black offers the high contrast that is desired in contemporary designs.

TPO or PVC roofing - Allows for minimum sloped roofs can drain to scuppers or gutters and downspouts. In our design we propose running to gutters with minimal slope, towards the sides of the property.



Western Red Cedar Horizontal Siding - Semi Transparent stain allows the wood grain to show through while minimizing sun damage compared with clear stains. Used to warm up the building at high profile locations.

Aluminum Frame Windows - Milgard Aluminum is a good option that retains the modern look of thin aluminum. Black or Dark Bronze has the high contrast look seen in contemporary buildings



**Carlton Rebuild**  
1379 Carlton Avenue  
Menlo Park, CA 94025

Rev	Date	Revised by/Description
01	11.19	USE PERMIT RESUB

TITLE SHEET  
COLORS AND MATERIALS

Project Name: \_\_\_\_\_ Sheet: 01 of 01

**A3.5**

Project Number: 2019117  
NTS

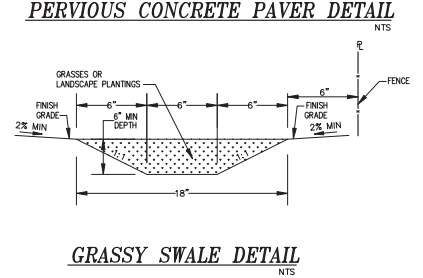
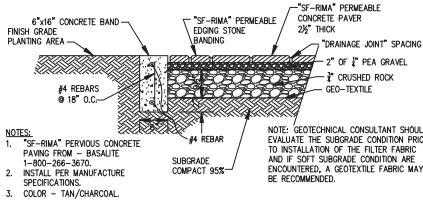
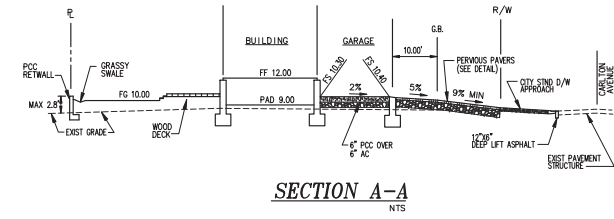
PERSPECTIVE RENDERING - BACK YARD SCALE: 1 NTS

**TABLE OF CONTENTS**

SHEET	DESCRIPTION
C1	GRADING AND DRAINAGE PLAN
C2	TOPOGRAPHICAL AND RECORD BOUNDARY SURVEY
C3	STORMWATER MANAGEMENT PLAN
C4	DEMOLITION PLAN
C5	EROSION AND SEDIMENT CONTROL PLAN

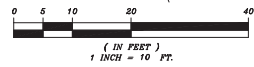
**EARTHWORK SUMMARY**

EXCAVATION	50 CY
EMBANKMENT	350 CY
EXCESS	0 CY
SHORTAGE/IMPORT	300 CY

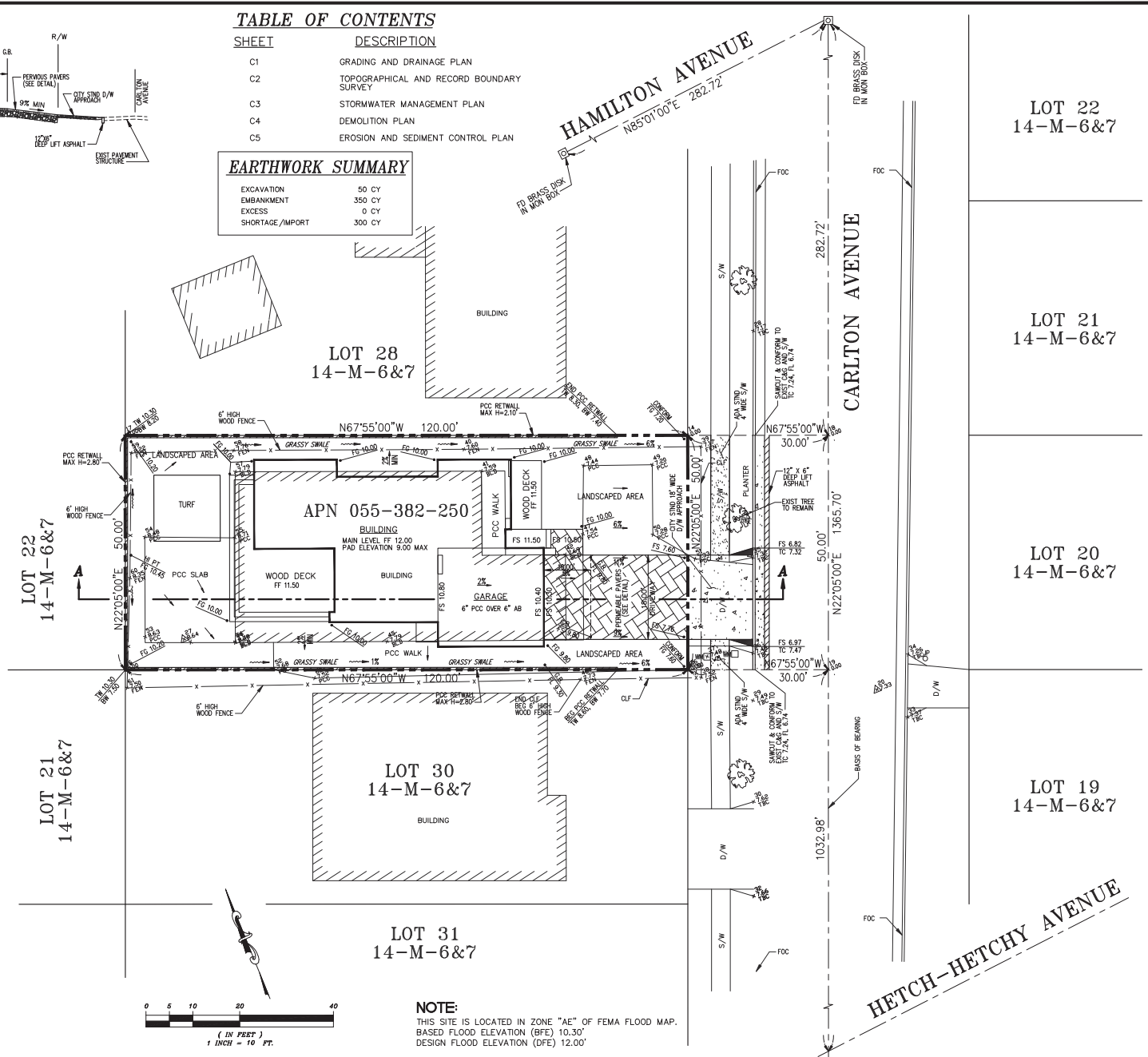


**STANDARD GRADING PLAN NOTES:**

- PRIOR TO THE COMMENCEMENT OF ANY EARTHWORK/GRADING ACTIVITIES, THE PERMITTEE SHALL ARRANGE A PRE-CONSTRUCTION MEETING. THE MEETING SHALL INCLUDE THE CITY OF MENLO PARK GRADING INSPECTOR (650-752-5555), THE GRADING CONTRACTOR AND THE PROJECT SOILS ENGINEER. THE PERMITTEE OR REPRESENTATIVE SHALL ARRANGE THE PRE-CONSTRUCTION MEETING AT LEAST 48 HOURS TO THE START OF ANY EARTHWORK/GRADING ACTIVITIES.
- APPROVAL OF THIS PLAN APPLIES ONLY TO THE EXCAVATION, PLACEMENT AND COMPACTION OF NATURAL EARTH. THIS APPROVAL DOES NOT CONFER ANY RIGHTS OF ENTRY TO EITHER PUBLIC PROPERTY OR THE PRIVATE PROPERTY OF OTHERS. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE APPROVAL OF ANY IMPROVEMENTS. ANY PROPOSED IMPROVEMENTS ARE SUBJECT TO REVIEW AND APPROVAL BY THE RESPONSIBLE AUTHORITIES AND ALL OTHER PERMITS/APPROVALS SHALL BE OBTAINED.
- IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE TO IDENTIFY, LOCATE AND PROTECT ALL UNDERGROUND FACILITIES.
- THE PERMITTEE SHALL MAINTAIN ALL STREETS, SIDEWALKS AND OTHER PUBLIC RIGHT-OF-WAYS IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE REMOVED FROM PUBLIC PROPERTY. ALL ADJACENT PROPERTY, BOTH PUBLIC AND PRIVATE, SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.
- ALL GRADING AND EARTHWORK ACTIVITIES SHALL BE PERFORMED IN SUCH A MANNER AS TO COMPLY WITH STANDARDS ESTABLISHED BY THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT FOR AIRBORNE PARTICULATES.
- ALL KNOWN WATER WELL LOCATIONS ON SITE SHALL BE MAINTAINED OR ABANDONED ACCORDING TO CURRENT REGULATIONS ADMINISTERED BY THE SANTA CLARA VALLEY WATER DISTRICT. CALL 408-265-2600 X2660 TO ARRANGE FOR DISTRICT OBSERVATION OF WELL ABANDONMENT.
- THIS PLAN DOES NOT APPROVE THE REMOVAL OF ANY TREES. APPROPRIATE TREE REMOVAL PERMITS SHALL BE OBTAINED FROM THE COMMUNITY DEVELOPMENT DEPARTMENT. ANY REQUIRED TREE PROTECTION MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- THE PROJECT CIVIL ENGINEER, ADVANCED DEVELOPMENT, 2933 BENJAMIN COURT, SAN JOSE, CA 95126, HAS DESIGNED THIS PROJECT TO COMPLY WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT.
- ALL GRADING AND EARTHWORK ACTIVITIES SHALL CONFORM TO THE APPROVED PLANS AND SPECIFICATIONS. ALL GRADING AND EARTHWORK ACTIVITIES SHALL BE OBSERVED AND APPROVED BY THE SOILS ENGINEER. THE SOILS ENGINEER SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO ANY GRADING OR EARTHWORK ACTIVITIES. UNOBSERVED OR UNAPPROVED WORK SHALL BE REMOVED AND REPLACED UNDER OBSERVATION OF THE PROJECT SOILS ENGINEER.
- ALL CONSTRUCTION SITES ARE TO BE WINTERIZED WITH APPROPRIATE EROSION CONTROL MEASURES IN PLACE FROM OCTOBER 15TH TO APRIL 15TH OF EACH YEAR.
- GRADING ACTIVITIES ARE ONLY ALLOWED MONDAY THROUGH FRIDAY, 7:30 AM TO 6:00 PM.



**NOTE:**  
THIS SITE IS LOCATED IN ZONE "AE" OF FEMA FLOOD MAP. BASED FLOOD ELEVATION (BFE) 10.30' DESIGN FLOOD ELEVATION (DFE) 12.00'



ADVANCED DEVELOPMENT  
2933 BENJAMIN COURT, SAN JOSE, CA 95126  
SUN. (408) 396-6670  
JACOB SALDANHA, CIVIL ENGINEER

GRADING AND DRAINAGE PLAN  
FOR: APN 055-382-250  
1379 CARLTON AVENUE  
MENLO PARK CALIFORNIA

APPROVED BY: JACOB SALDANHA, CIVIL ENGINEER  
Checked: [Signature] Date: 01-22-2019  
Scale: 1"=10'  
Job No. 427

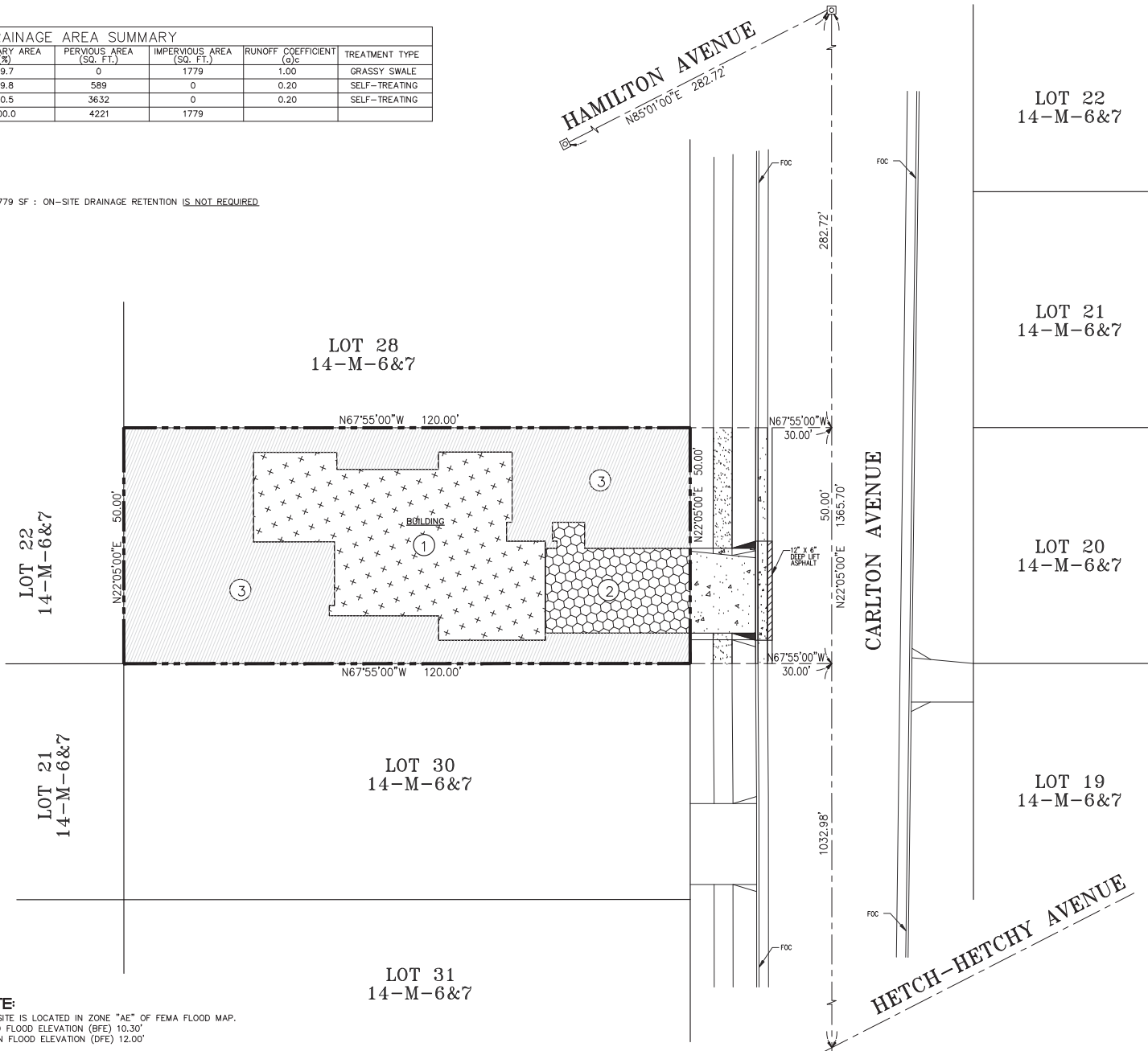
Sheet No. C1  
5

DRAINAGE AREA SUMMARY						
DRAINAGE AREA	TOTAL AREA (SQ. FT.)	TRIBUTARY AREA (%)	PERVIOUS AREA (SQ. FT.)	IMPERVIOUS AREA (SQ. FT.)	RUNOFF COEFFICIENT (c)	TREATMENT TYPE
1-ROOF	1779	29.7	0	1779	1.00	GRASSY SWALE
2-DRIVEWAY	589	9.8	589	0	0.20	SELF-TREATING
3-LANDSCAPE	36.32	60.5	36.32	0	0.20	SELF-TREATING
TOTAL	6000	100.0	4221	1779		

**NOTE:**

PROPOSED TOTAL IMPERVIOUS AREA = 1779 SF

EXISTING IMPERVIOUS AREA TO BE REMOVED = 3,781 SF > 1779 SF : ON-SITE DRAINAGE RETENTION IS NOT REQUIRED (SEE SHEET C4, DEMOLITION PLAN)



**NOTE:**

THIS SITE IS LOCATED IN ZONE "AE" OF FEMA FLOOD MAP. BASED FLOOD ELEVATION (BFE) 10.30' DESIGN FLOOD ELEVATION (DFE) 12.00'

ADVANCED DEVELOPMENT

2023 SUBMITTAL CODED  
SAP 1000 376-6074  
JACOB SALDAN  
CITY ENGINEER

STORMWATER MANAGEMENT PLAN  
FOR: APN 055-382-250  
1379 CARLTON AVENUE  
MENLO PARK CALIFORNIA

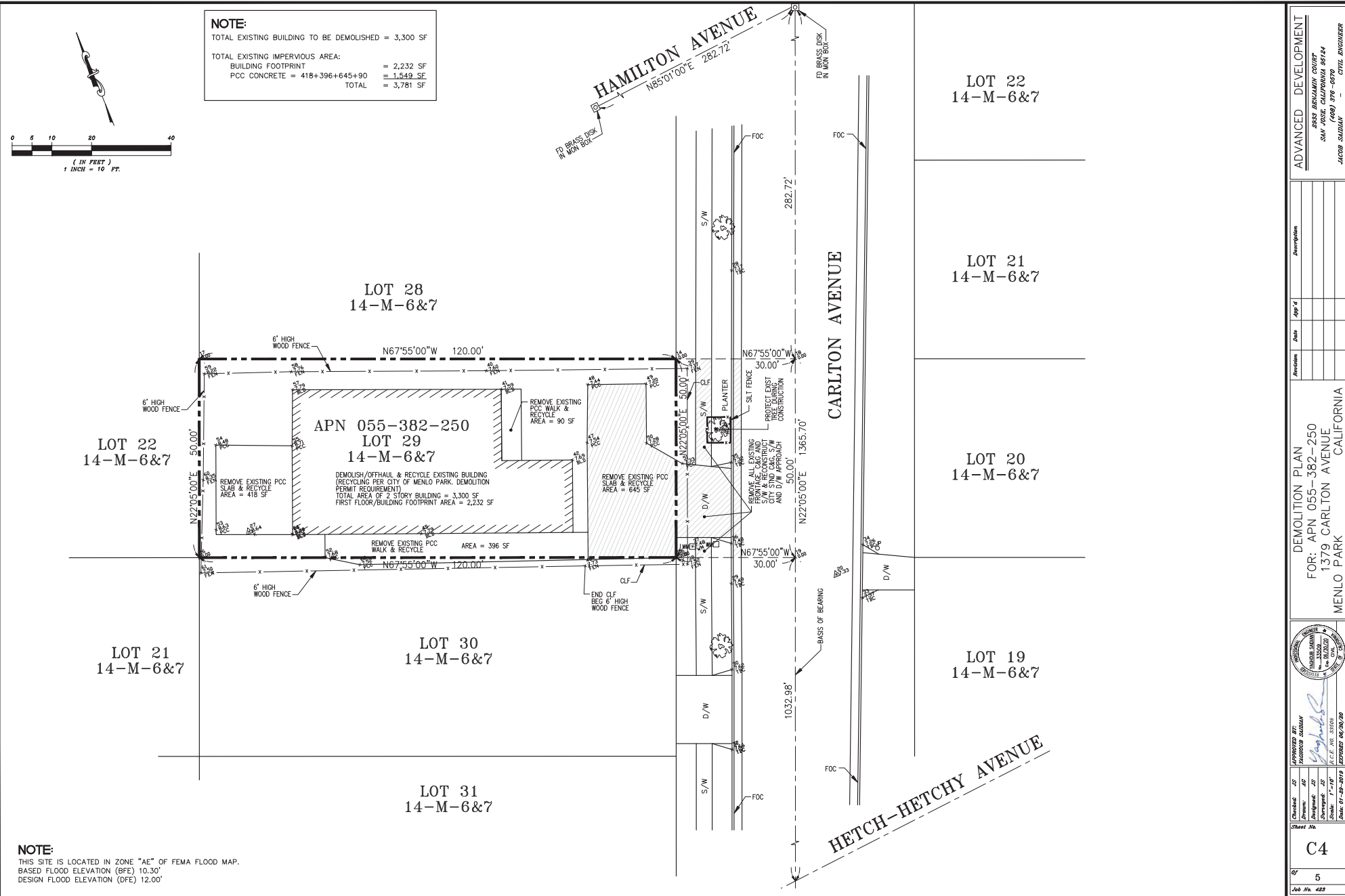
APPROVED BY: [Signature]  
DATE: 01-22-2024

Checklist: [ ]  
Design: [ ]  
Construction: [ ]  
Final: [ ]

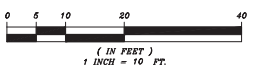
Sheet No. C3

5

Job No. 427



**NOTE:**  
 TOTAL EXISTING BUILDING TO BE DEMOLISHED = 3,300 SF  
 TOTAL EXISTING IMPERVIOUS AREA:  
 BUILDING FOOTPRINT = 2,232 SF  
 PCC CONCRETE = 418+396+645+90 = 1,549 SF  
 TOTAL = 3,781 SF



**NOTE:**  
 THIS SITE IS LOCATED IN ZONE "AE" OF FEMA FLOOD MAP.  
 BASED FLOOD ELEVATION (BFE) 10.30'  
 DESIGN FLOOD ELEVATION (DFE) 12.00'

APPROVED BY:		DATE:	
DESIGNED BY:	DATE:	APPROVED BY:	DATE:
CHECKED BY:	DATE:	APPROVED BY:	DATE:
PROJECT NO.:	DATE:	APPROVED BY:	DATE:
SCALE:	DATE:	APPROVED BY:	DATE:
DATE:	DATE:	APPROVED BY:	DATE:

DEMOLITION PLAN  
 FOR: APN 055-382-250  
 1379 CARLTON AVENUE  
 MENLO PARK CALIFORNIA

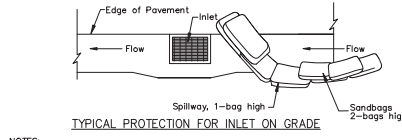
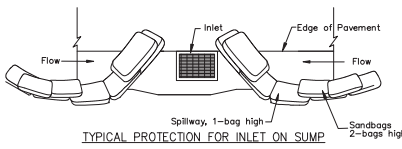
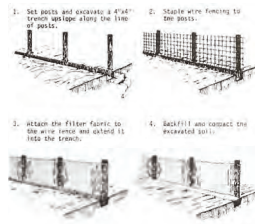
ADVANCED DEVELOPMENT  
 2950 BARTON COURT  
 SAN JOSE, CA 95128  
 JACOB SALMAN CIVIL ENGINEER

SHEET NO. C4  
 OF 5  
 JOB NO. 427

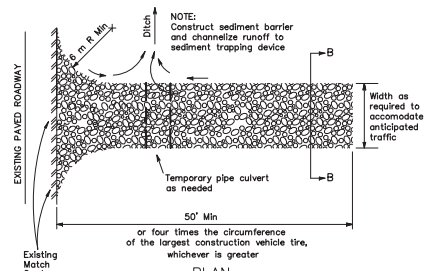
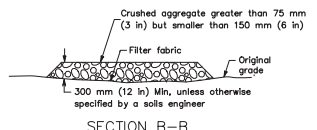


**EROSION AND SEDIMENT CONTROL NOTES**

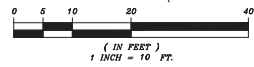
1. EROSION CONTROL MEASURES SHALL CONFORM TO ABAG STANDARDS, TOWN STANDARDS AND THE APPROVAL OF THE TOWN'S ENGINEERING DEPARTMENT.
2. ALL MATERIALS NECESSARY FOR THE APPROVED EROSION CONTROL MEASURES SHALL BE ON SITE BY SEPTEMBER 15TH AND IN PLACE BY OCTOBER 1ST.
3. EROSION CONTROL SYSTEMS SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE RAINY SEASON, OR FROM OCTOBER 1ST THROUGH APRIL 30TH, WHICHEVER IS LONGER.
4. IN THE EVENT OF RAIN, ALL GRADING WORK IS TO CEASE IMMEDIATELY AND THE SITE IS TO BE SEALED IN ACCORDANCE WITH THE APPROVED EROSION CONTROL MEASURES AND APPROVED EROSION CONTROL PLAN.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING AND REPAIRING EROSION CONTROL SYSTEMS AFTER EACH STORM.
6. PROJECTS MUST HAVE ALL CUT AND FILL SLOPES PROTECTED BY AND DISTURBED AREAS BY ONE OF THE FOLLOWING MEASURES OR THE COMBINATION OF THEM: TEMPORARY SEEDING AND MULCHING, PERMANENT SEEDING AND MULCHING, HYDROMULCHING-HYDROSEEDING, EROSION CONTROL BLANKETS/GEOTEXTILES, AND FIBER ROLLS.
7. ANY AREAS OF DISTURBED SOIL SHALL BE SEEDED OR REPLANTED TO THE SATISFACTION OF THE CITY ENGINEER PRIOR TO OCTOBER 1ST, OR FINAL INSPECTION, WHICHEVER IS SOONER.
8. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AS DETERMINED BY TOWN'S ENGINEERING DEPARTMENT OR BUILDING OFFICIALS.
9. PROJECTS SHALL PREVENT ANY ACCUMULATION OR DEPOSIT OF DIRT, MUD, SAND, ROCKS, GRAVEL OR DEBRIS ON THE SURFACE OF ANY STREET, ALLEY OR PUBLIC PLACE OR IN ANY PUBLIC STORM DRAIN SYSTEM.



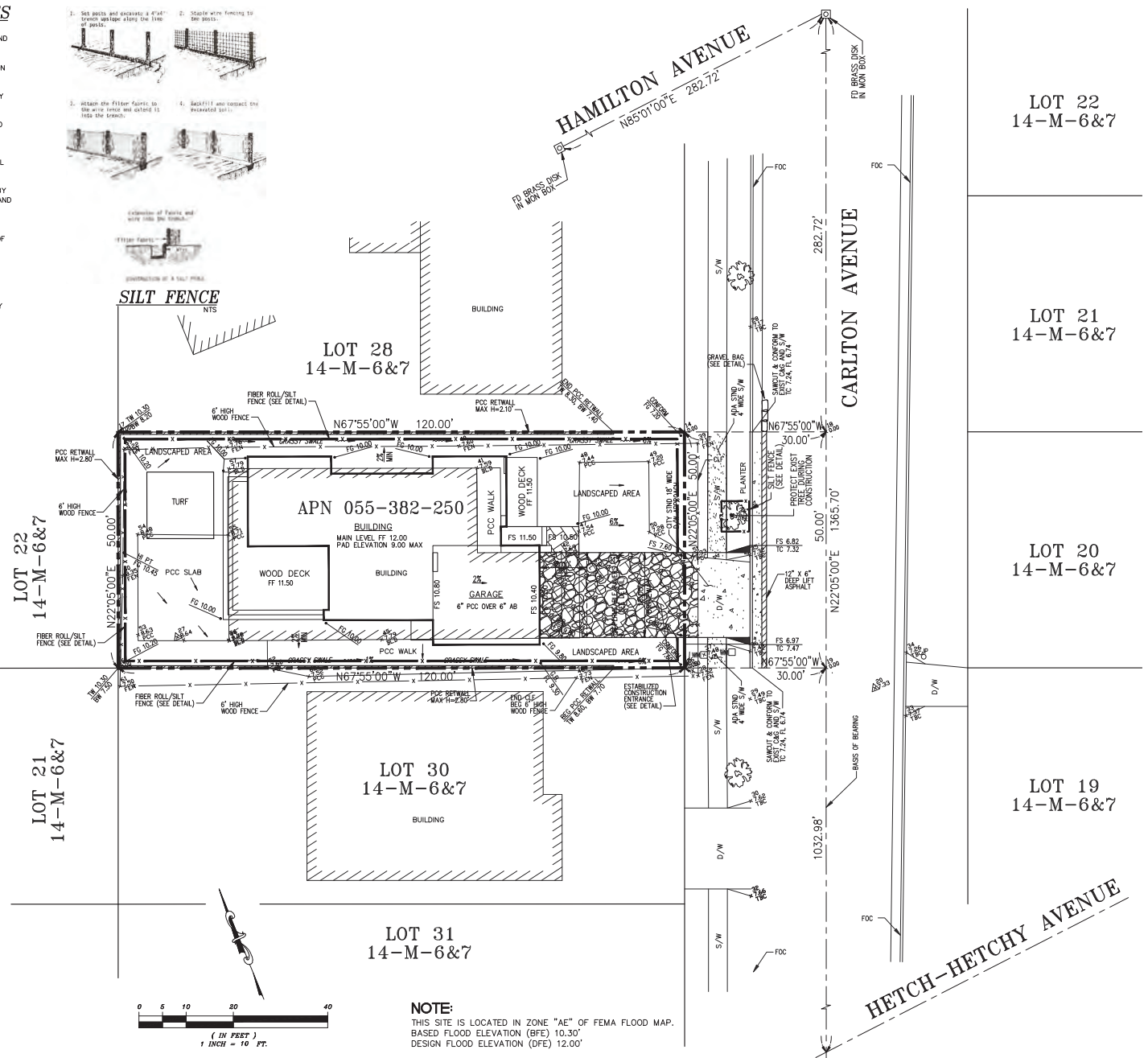
- NOTES:
1. Intended for short-term use.
  2. Use to inhibit non-storm water flow.
  3. Allow for proper maintenance and cleanup.
  4. Bags must be removed after adjacent operation is completed.
  5. Not applicable in areas with high silts and clays without filter fabric.



**STABILIZED CONSTRUCTION ENTRANCE**



**NOTE:**  
THIS SITE IS LOCATED IN ZONE "AE" OF FEMA FLOOD MAP. BASED FLOOD ELEVATION (BFE) 10.30', DESIGN FLOOD ELEVATION (DFE) 12.00'



ADVANCED DEVELOPMENT

2025 ZONING CODE 055-382-250  
S.M. (055) 382-250  
JACOB SALDAN

EROSION AND SEDIMENT CONTROL PLAN  
FOR: APN 055-382-250  
1379 CARLTON AVENUE  
MENLO PARK CALIFORNIA

APPROVED BY: [Signature]  
DATE: 07-22-2019

Checked	By	Date

Sheet No. **C5**

Job No. 427



## Zimmerman + Associates

### Project Description

1379 Carlton Avenue, Menlo Park, CA

Date: 11/02/18

Our project team is proposing to take this abandoned single family residence in the Belle Haven neighborhood and completely demo and redevelop this property as a new two-story single family residence. The new residence is designed to meet all planning codes and has been developed around an anticipated 2019 Base Flood Elevation increase.

The new home will be a two story home with 3 beds 3 baths, a 2-car garage, outdoor decks, new landscaping, and will be lower overall height than the existing residence. The home will be more progressive with a modern design warmed up with some horizontal wood siding and clean jointless stucco. The home will be raised substantially with a perimeter foundation to meet the Base Flood Elevation. The construction will be entirely wood framed Type VB construction.

The home was laid out to try and land in roughly the same position as the existing structure, we are able to retain the existing curb cut at the existing driveway and keep the existing city maintained tree that is between the sidewalk and street. The building sits within the setbacks and allows the living room to face south for best solar exposure with a back deck that lands on the south side of the lot. The bedrooms are all above on the second floor which is accessed via a stairwell at the entry.

The use of this property as a single family residence is consistent with existing and should help this active community near the Facebook Campus. Many neighbors have passed the property and inquired what was planned. Everyone has reacted very positively to replacing this abandoned building that is considered an eyesore for the neighborhood. We plan to reach out to the neighboring parcels to show them the design and get any feedback or easily achieved adjustments to incorporate. We hope this project will point the neighborhood in a direction of eclectic revitalism considering both the vicinity to the prosperous tech campus and the history of the neighborhood.

Nick Miller

Zimmerman + Associates, Inc.

415 289 0660

architecture

planning

development

Sausalito

100 Gale 5 Road

Sausalito CA 94965

Tel: 415 289 0660

Sonoma

1707 Denmark Street

Sonoma CA 95476

Tel: 707 933 0442

[www.zmanarch.com](http://www.zmanarch.com)

December 5, 2018

Subject: 1379 Carlton Ave, Menlo Park CA 94025

Dear neighbors;

My name is Hamid Ghazvini. I am the project manager for development of the subject property at 1379 Carlton Ave. in Menlo Park. We have been engaged with the city planning dept. to design a home which will enhance the image of the neighborhood and attract homeowners that appreciate the serenity and values of the beautiful city of Menlo Park and Carlton neighborhood.

As part of this effort, we are designing a home at a smaller scale with updated architectural and structural features not to mention with a beautiful landscape design with green initiatives to minimize water and electricity usage.

I have attached a copy of the design for your review and comments. The design is simple and sound in terms of static look, privacy, construction and maintenance.

I appreciate your comments and feedback. I can be reached by email ([hamidfgg@gmail.com](mailto:hamidfgg@gmail.com)) or on my cell at 408-218-3860.

Regards

Hamid F. Ghazvini



Monta Vista Oaks Inc.



Zimmerman + Associates  
ARCHITECTS + INTERIORS

San Jose  
150 Santa Clara Road  
San Jose, CA 95128  
Tel: 415.256.6666

Sanoma  
1101 Broadway Street  
Sanoma, CA 94718  
Tel: 707.833.6442  
www.zimmerman.com



Carlton Rebuild  
1070 Carlton Avenue  
Menlo Park, CA 94025

NO.	DATE	DESCRIPTION

DATE:      SCALE:      SHEET NO.:

PROJECT:      PERSPECTIVE RENDERING

TITLE:      DATE:      BY:

**A3.4**

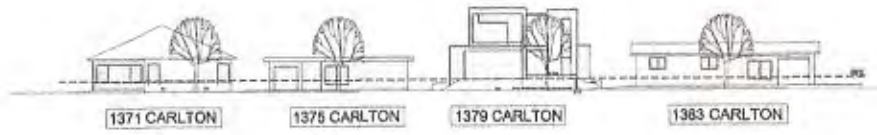
Project Name:      Date:      Scale:      Sheet No.:



PERSPECTIVE RENDERING - BACK YARD      SCALE: NTS      2



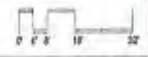
PERSPECTIVE RENDERING - BACK YARD      SCALE: NTS      1



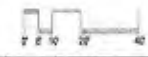
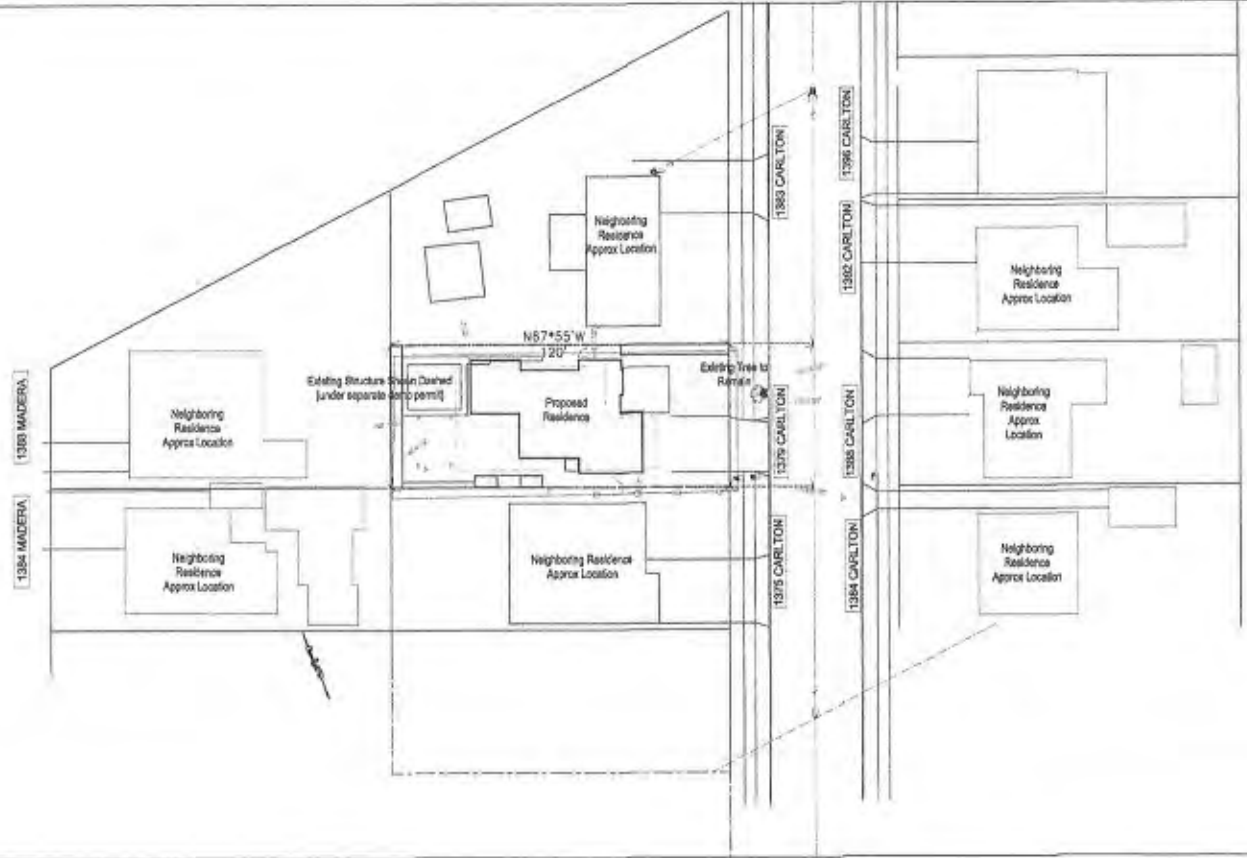
**ZA**  
Zimmerman + Associates  
Inclusive Planning Architecture

San Jose  
194 Olive Street  
San Jose, CA 95131  
Tel: 415.289.8088

Sanoma  
1707 Samart Road  
Sanoma, CA 94075  
Tel: 949.452-4402  
www.zimmerman-associates.com



STREETSCAPE SCALE 1/8" = 1'



AREA PLAN SCALE 1/4" = 20'

**Carlton Rebuild**  
1379 Carlton Avenue  
Menlo Park, CA 94025

NO.	DATE	DESCRIPTION
1	11.27.15	URS PERMIT

AREA PLAN

**A1.0**

SCALE 1/4" = 20'



Zimmerman + Associates  
Landscape Architecture

Head Office  
18400 Via Arroyo  
San Jose, CA 95138  
Tel 415.357.5500

Bay Area  
1707 Belmont Street  
Berkeley, CA 94712  
Tel 707.835.4442  
www.zimmerman.com



Carlton Rebuild  
1373 Carlton Avenue  
Menlo Park, CA 94025

NO.	DATE	ISSUE NUMBER
11	01	1000 PRELIM

Project: PRELIM LANDSCAPE PLAN

Scale: 1/8" = 1'-0"

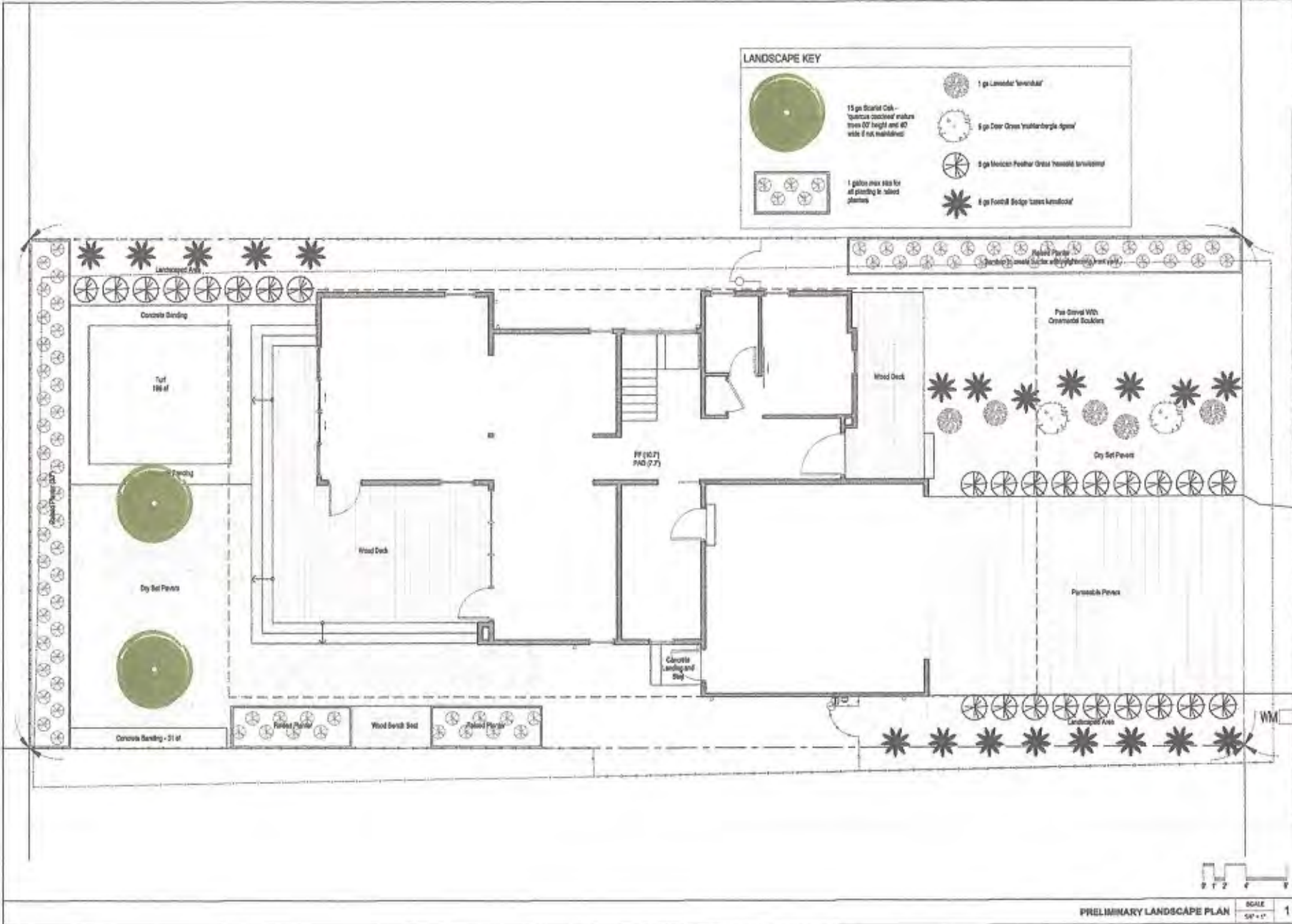
**A2.5**

DATE: 11/11/11

**LANDSCAPE KEY**

- 15 gal Starburst Oak - Japanese Quercus oak-leaf oak (max 07' height and 40" wide if not maintained)
- 1 gal Landscape 'Lemonball'
- 1 gal Deer Grass 'Yuletide Heritage Spirit'
- 1 gal Mexican Feather Grass 'Yuletide Spirit'
- 1 gal Foothill Sage 'Lemonball'
- 1 gal Landscape 'Lemonball'
- 1 gal Deer Grass 'Yuletide Heritage Spirit'
- 1 gal Mexican Feather Grass 'Yuletide Spirit'
- 1 gal Foothill Sage 'Lemonball'

1 gallon max size for all planting to select plants



PRELIMINARY LANDSCAPE PLAN SCALE 1/8" = 1'-0" 1



**Zimmerman Associates**  
 architects planning landscape  
 Studio  
 158 9th Street  
 Berkeley, CA 94710  
 Tel 415.224.4444  
 www.zimmerman.com



**Carlton Rebuild**  
 1373 Carlton Avenue  
 Menlo Park, CA 94025

No.	Date	Revised	Author
1	11/21/18	USE PLAN	

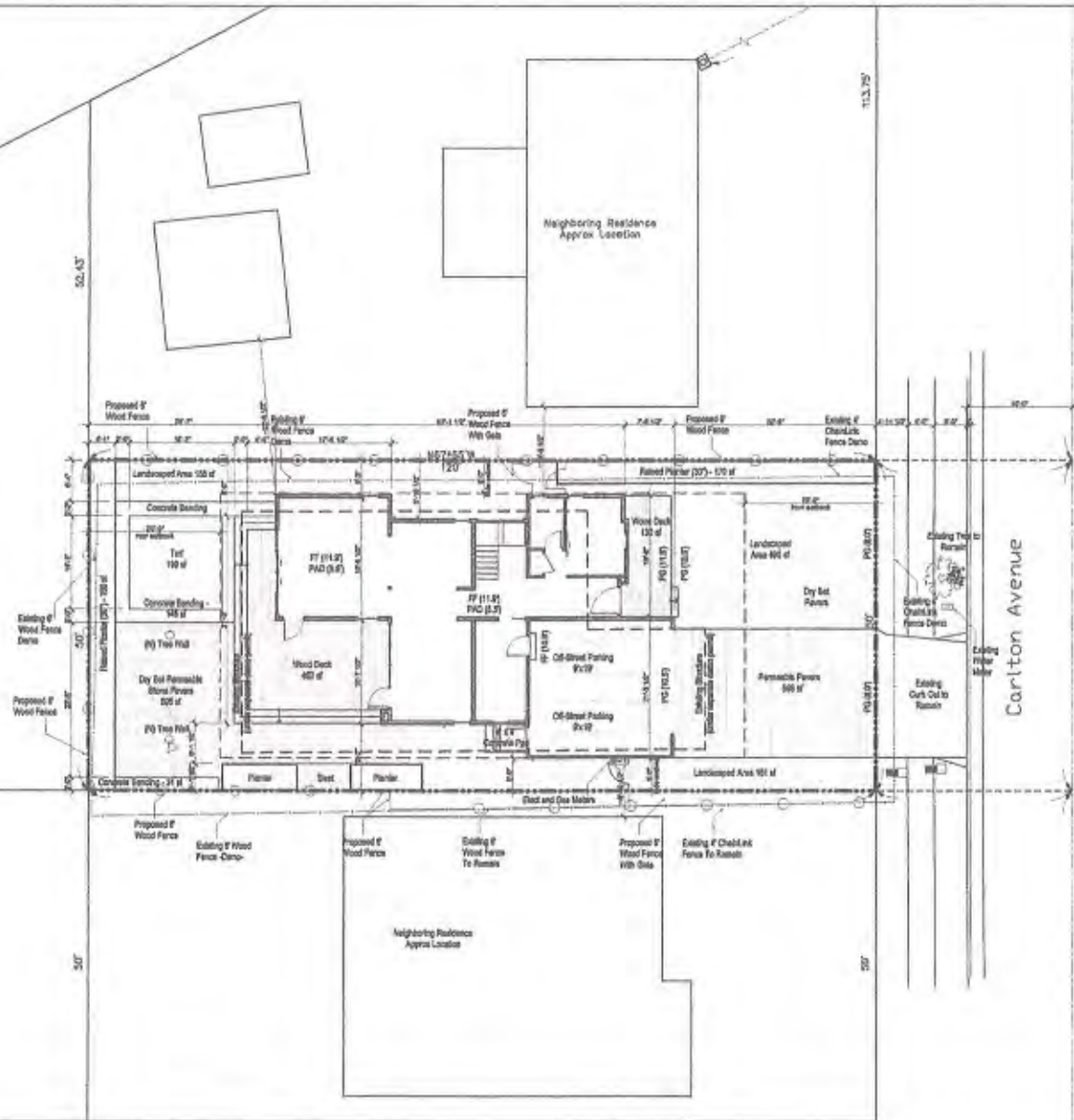
PROJECT  
**SITE PLAN**

SCALE  
  
**A1.1**

"No existing trees on property"

**SITE ANALYSIS**  
 Zoning R1-U

LOT AREA	6,300 sf
Maximum Building Coverage	3,150 sf
Floor Area Limit	3,938 sf
Existing Structure 1st Floor	2,878 sf
Existing Structure 2nd Floor	1,160 sf
Existing Structure 100%	4,038 sf
Proposed 1st Floor	1,727 sf
Proposed 2nd Floor	1,081 sf
Proposed Floor Area TOTAL	2,808 sf
Proposed Building Coverage	1,783 sf
Land Covered Existing (trees)	34.9%
Land Covered Proposed	39.7%
Possible Paved Area Proposed	(358-385) 19.0%
Concrete Area Proposed	(146-22) 8.2%
Wood Deck Proposed	(135-165) 8.8%
Landscape Area Proposed	(181+482+170+155+130+120+94)
Parking Spaces (average)	2



SITE PLAN SCALE 1/8" = 1'



Zimmerman + Associates  
architectural planning & design

Sausalito  
100 Gull Street  
Sausalito, CA 94965  
Tel: 415.334.0158

Sanoma  
1787 Sennott Street  
Sanoma, CA 94976  
Tel: 415.334.8142

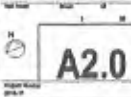
www.zimmerman.com



Carlton Rebuild  
1272 Carlton Avenue  
North Park, CA 94108

NO.	REV.	DESCRIPTION
1	11.21.18	Issue Permit

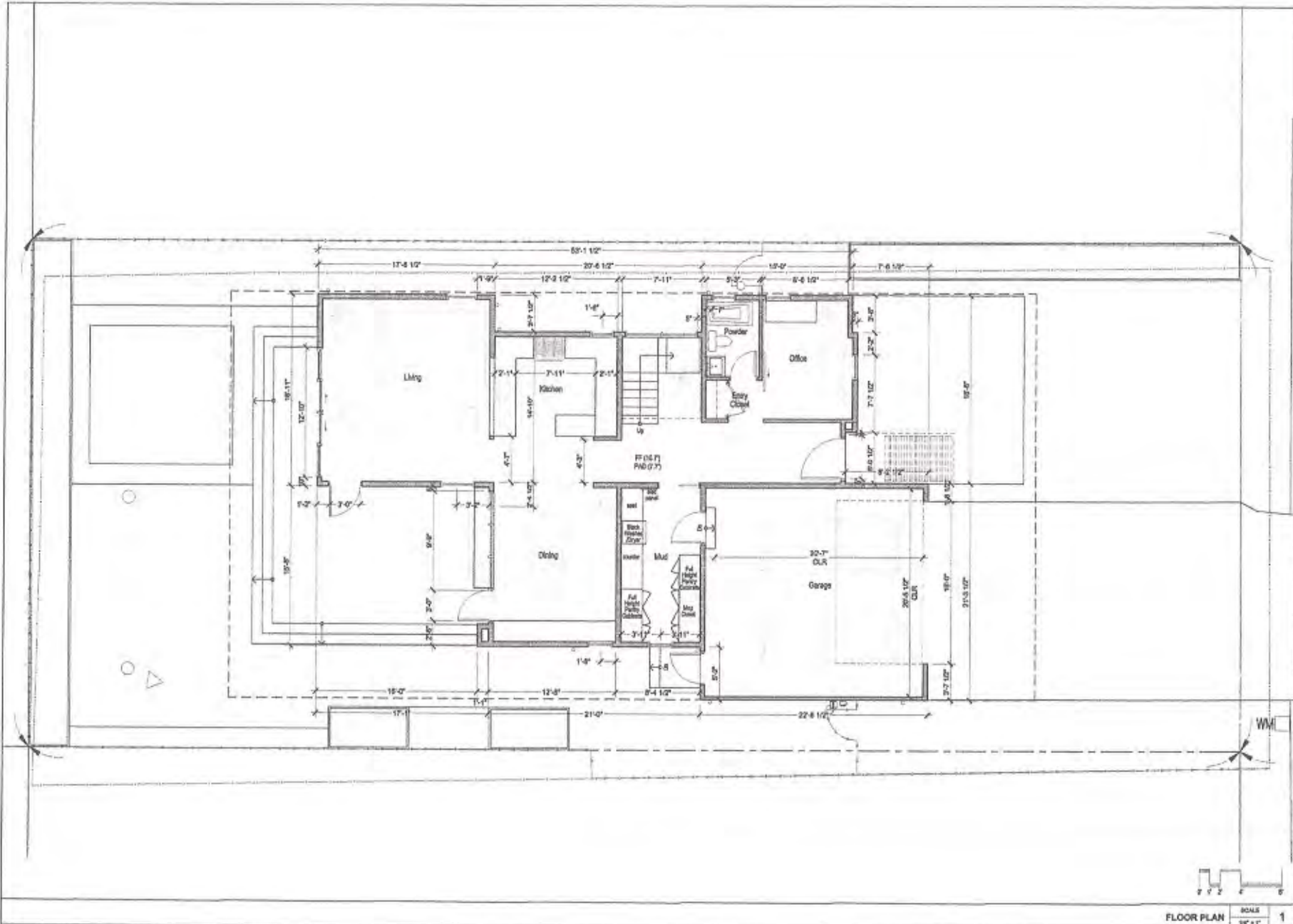
FLOOR PLAN



**A2.0**

SCALE 1/8" = 1'-0"

FLOOR PLAN 1







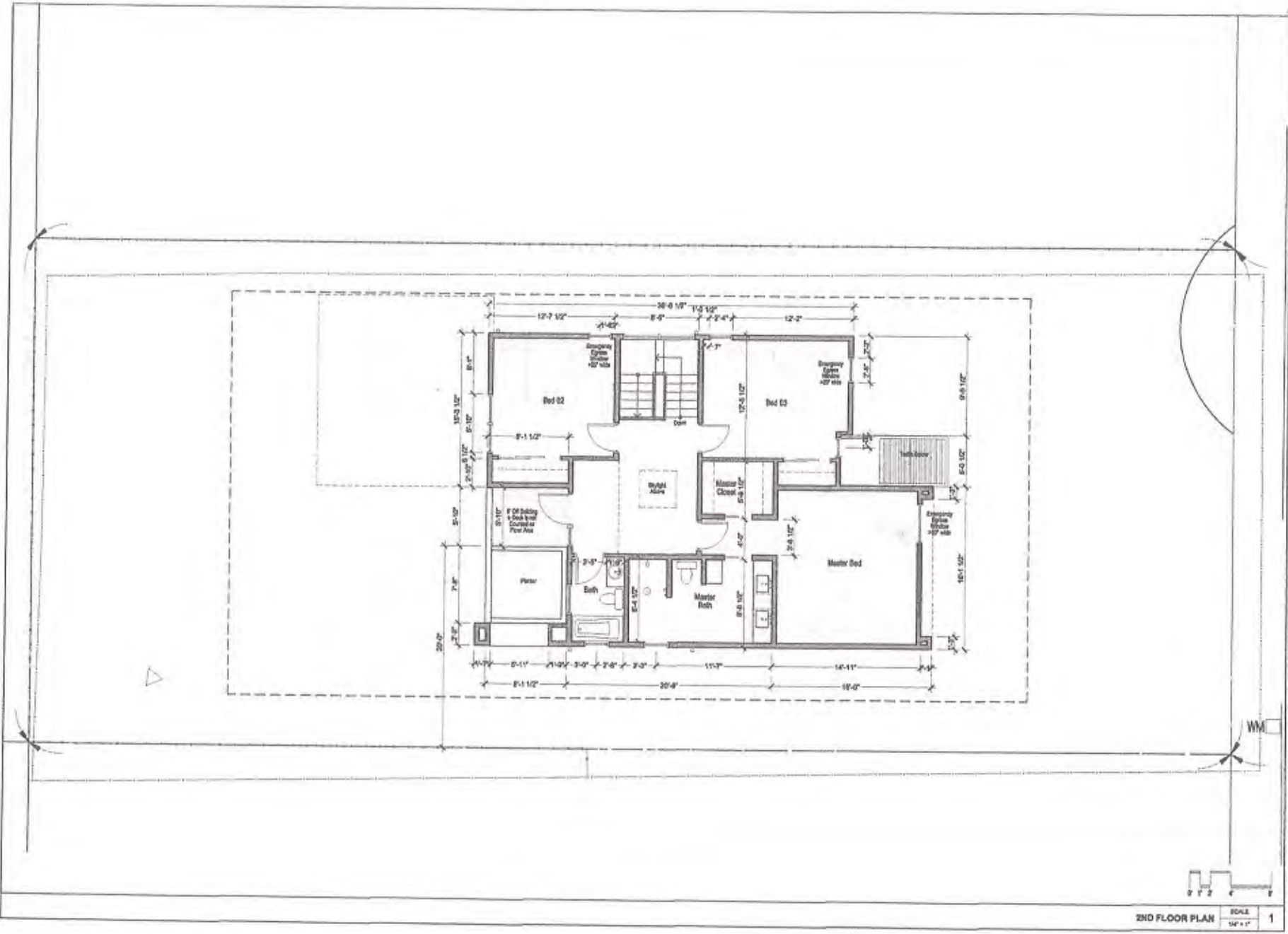
**Carlton Rebuild**  
 1279 Carlton Avenue  
 Menlo Park, CA 94025

NO.	DATE	DESCRIPTION
1	11.25.15	ISSUE PERMIT

FLOOR PLAN  
 2ND FLOOR  
 No. 101

**A2.1**

DATE: 11/25/15  
 SCALE: 1/4" = 1'-0"



2ND FLOOR PLAN SCALE 1/4" = 1'-0" 1



## STAFF REPORT

### Planning Commission

**Meeting Date:** 2/11/2019  
**Staff Report Number:** 19-008-PC

**Public Hearing:** Use Permit/Brianne Theisen-Eaton/1700 El Camino Real

### Recommendation

Staff recommends that the Planning Commission approve a use permit for a personal improvement service use on a lot that is substandard with regard to parking in the El Camino Real/Downtown Specific Plan (SP-ECR/D) zoning district. The tenant space was previously used for a general office. The recommended actions are included as Attachment A.

### Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal.

### Background

#### *Site location*

The subject property is located at 1700 El Camino Real, between Buckthorn Way and Stone Pine Lane. The parcel is located within the El Camino Real/Downtown Specific Plan's El Camino Real North East-Low Density (ECR NE-L) sub-district. The parcel consists of a one-story commercial building and private parking in the front and the rear of the lot. The commercial building is currently vacant and was most recently used for general office.

Using El Camino Real in a north to south orientation, adjacent parcels to the north and south are also in the SP-ECR/D zoning district, and are developed with personal service and hotel uses to the north and multi-family residential to the south. Adjacent parcels to the east are developed with residential uses and are zoned R-3. Menlo College is located across El Camino Real from the subject property, in the Town of Atherton. A location map is included as Attachment B.

#### *Previous approvals*

The property was previously zoned C-4 (General Commercial, El Camino Real). On March 1, 1999, the Planning Commission approved a blanket use permit to allow uses in the C-4 zoning district to operate on a property that is substandard in regards to parking. The blanket use permit allows all uses that were permitted in the C-4 zoning district to occupy the property without obtaining individual use permits. These uses include retail stores, financial establishments, professional offices, personal services, offices, and cafes and restaurants not serving beer, wine, or liquor and not providing live entertainment. However, personal improvement services were not a permitted use in the C-4 zoning district. The blanket use permit

was approved with the condition that the applicant return to the Planning Commission within six months of the approval of the use permit or prior to the leasing of the third tenant space for approval of a detailed landscape and parking plan, as well as paint colors for the building. The Planning Commission approved the applicant's proposed landscaping, parking plan and paint colors on August 23, 1999.

If the current use permit request is approved, the previous blanket use permit would be superseded and the site would be governed by the new use permit.

## Analysis

### ***Project description***

The applicant is requesting a use permit for a personal improvement service use on a lot that is substandard with regard to parking in the El Camino Real/Downtown Specific Plan (SP-ECR/D) zoning district. The applicant describes the business as a high end wellness concierge and consulting service that utilizes the latest sports science methodologies and tracking technology for clients to utilize throughout their day to help them with their training, nutrition, sleep, recovery, and mindfulness. The proposed personal improvement service would occupy the entire approximately 3,450 square-foot commercial building. According to the applicant's project description letter, most services would be delivered outside of their facility at clients' homes, offices, on the road, at clients' training facilities, or over messaging. Additionally, the applicant states that they would accommodate client schedules but appointments would be required for clients to visit the project site. The typical hours of operation would be the following:

- Monday - Friday:
  - 6 a.m.-10 a.m.
  - 12 p.m. – 2 p.m.
  - 5 p.m. – 9 p.m.
- Saturday - Sunday:
  - 7 a.m. – 2 p.m.

The applicant's project description letter states the hours of operation may begin as early as 5 a.m.; however, Municipal Code Chapter 8.12 (Business Operations After Midnight) does not permit this type of business to operate between the hours of midnight and 6 a.m. without a use permit, which was not incorporated into the public hearing notice. Staff has added a recommended condition of approval (condition 4b) stating the business may not operate between the hours of midnight and 6 a.m., without obtaining approval from the Planning Commission of a use permit revision. The applicant states the space will eventually employ six full and part-time people including a Director of Operations, Director of Performance, Director of Nutrition, client success coach, trainer and a receptionist. Any additional consultation focus areas that may be developed in the future (such as sleep analysis) would be conducted by outside professionals working in coordination with the proposed personal improvement service.

No exterior changes to the building are proposed. The applicant proposes to construct new tenant improvements within the space, consisting of the following:

- Reception desk and employee lounge area

- Conference room for staff meetings and conference calls
- Employee work area and kitchen
- Demonstration technology lab with the latest fitness, assessment, recovery, and monitoring platforms/devices
- Four offices for individual work, meetings, phone calls or conference calls
- Accessible men's and women's bathrooms
- Storage area

The applicant has submitted plans for tenant improvements, which may be approved by staff if they are only for an office use with no clients visiting the site, as permitted under the blanket use permit. As of the writing of this report, the tenant improvements are still under review. The applicant has submitted proposed plans (Attachment C) and a project description letter (Attachment D), which describes the proposed operations in more detail.

### ***Parking and circulation***

The Specific Plan does not set a parking requirement for personal improvement services since the parking needs of these types of uses can vary widely. While some personal improvement services require enough parking to accommodate classes, such as a yoga studio, the proposed personal improvement service is similar to a personal service, such as a beauty shop, that requires clients to make individual appointments. In the Specific Plan, the required parking rate for a personal service is four spaces per 1,000 square feet of gross floor area, meaning the approximately 3,450 square-foot commercial building on the subject site would require 14 parking spaces for this specific personal improvement service given its similarities to a personal service. There are currently 11 parking spaces at the site, five in front of the building and six behind the building, resulting in the property being non-conforming with regard to parking for a use such as a personal service. The applicant is proposing to restripe the five parking spaces in the front, which do not meet City standards, to create three spaces with the required eight feet, six inches of width and one nine-foot wide accessible space. Although four of the six parking spaces behind the building do not meet width requirements, the applicant has proposed not restriping these to retain all six spaces. The proposed project would have 10 parking spaces. According to the applicant's project description letter, many of the employees and clients would likely walk or use public transit to get to the site.

The number of on-site staff would be limited. Per the applicant's project description letter, client visits to the site would also be limited and would be by appointment only. Further, group fitness classes are not proposed as part of the project. Staff believes that with the on-site parking spaces and the parking demand of the proposed use, parking impacts would be minimized. The Transportation Division has also reviewed this proposal and does not anticipate any significant parking issues.

### ***Correspondence***

According to the applicant's project description letter, they conducted outreach to the surrounding property owners. Seven letters of support were received by staff. (Attachment E).

### ***Conclusion***

Staff believes that with the on-site parking spaces and the parking demand of this proposed use, parking

impacts would be minimized. The Transportation Division has reviewed the applicant's proposal and has expressed no concerns with the proposed personal improvement service use. The proposal would activate a currently vacant site. Staff recommends that the Planning Commission approve the proposed project.

### **Impact on City Resources**

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

### **Environmental Review**

The Specific Plan process included detailed review of projected environmental impacts through a program Environmental Impact Report (EIR), as required by the California Environmental Quality Act (CEQA). In compliance with CEQA requirements, the Draft EIR was released in April 2011, with a public comment period that closed in June 2011. The Final EIR, incorporating responses to Draft EIR comments, as well as text changes to parts of the Draft EIR itself, was released in April 2012, and certified along with the final Plan approvals in June 2012.

The proposed project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines, and as such, no additional environmental analysis is required above and beyond the Specific Plan EIR. However, relevant mitigation measures from this EIR have been applied and would be adopted as part of the Mitigation Monitoring and Reporting Program (MMRP), which is included as Attachment F. Mitigation measures include construction-related best practices regarding biological resources, the handling of any hazardous materials and implementation of a Transportation Demand Management (TDM) program. The applicant has submitted an initial draft TDM plan, which would be finalized with the approval of the building permit.

### **Public Notice**

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

### **Appeal Period**

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

### **Attachments**

- A. Recommended Actions
- B. Location Map
- C. Project Plans
- D. Project Description Letter
- E. Correspondence

## F. Mitigation Monitoring and Reporting Program

### **Disclaimer**

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

### **Exhibits to Be Provided at Meeting**

None

Report prepared by:

Corinna Sandmeier, Senior Planner

Report reviewed by:

Kyle Perata, Acting Principal Planner

THIS PAGE INTENTIONALLY LEFT BLANK

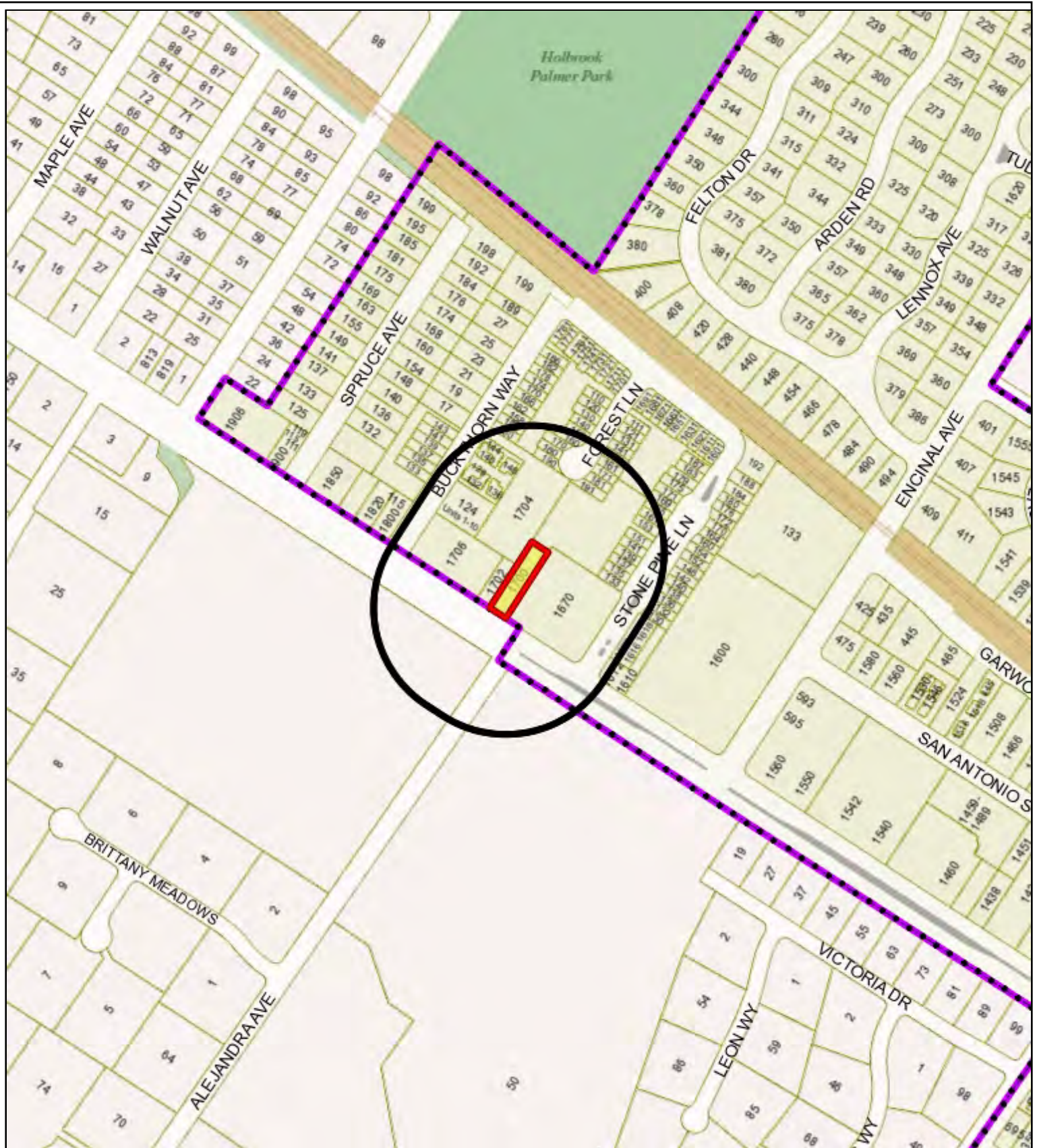
## 1700 El Camino Real – Attachment A: Recommended Actions

<b>LOCATION:</b> 1700 El Camino Real	<b>PROJECT NUMBER:</b> PLN2018-00092	<b>APPLICANT:</b> Brianne Theisen-Eaton	<b>OWNER:</b> Leon G. Campbell
<b>REQUEST:</b> Request for a use permit for a personal improvement service use on a lot that is substandard with regard to parking in the El Camino Real/Downtown Specific Plan (SP-ECR/D) zoning district. The tenant space was previously used for a general office.			
<b>DECISION ENTITY:</b> Planning Commission	<b>DATE:</b> February 11, 2019	<b>ACTION:</b> TBD	
<b>VOTE:</b> TBD (Barnes, Doran, Goodhue, Kahle, Onken, Riggs, Strehl)			
<b>ACTION:</b>			
<ol style="list-style-type: none"> <li>1. Make findings with regard to the California Environmental Quality Act (CEQA) that the proposal is within the scope of the project covered by the El Camino Real/Downtown Specific Plan Program EIR, which was certified on June 5, 2012. Specifically, make findings that: <ol style="list-style-type: none"> <li>a. The project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current CEQA Guidelines.</li> <li>b. Relevant mitigation measures have been incorporated into the project through the Mitigation Monitoring and Reporting Program (Attachment F), which is approved as part of this finding.</li> </ol> </li> <li>2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.</li> <li>3. Approve the use permit subject to the following <b>standard</b> conditions: <ol style="list-style-type: none"> <li>a. Development of the project shall be substantially in conformance with the plans provided by Dern Architecture and Development, consisting of five plan sheets, dated received January 30, 2019, and the project description letter from Performance Health Sciences, LLC, dated received February 4, 2019, and approved by the Planning Commission on February 11, 2019 except as modified by the conditions contained herein, subject to review and approval of the Planning Division.</li> <li>b. Prior to building permit issuance, the applicant shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.</li> </ol> </li> <li>4. Approve the use permit subject to the following <b>project-specific</b> conditions: <ol style="list-style-type: none"> <li>a. The applicant shall address all Mitigation Monitoring and Reporting Program (MMRP) requirements as specified in the MMRP (Attachment F). Failure to meet these requirements may result in delays to the building permit issuance, stop work orders during construction, and/or fines.</li> <li>b. The business shall not operate between the hours of midnight and 6 a.m. per the requirements of Municipal Code Chapter 8.12, without obtaining approval of a use permit revision from the Planning Commission.</li> <li>c. The City has adopted a Supplemental Transportation Impact Fee for the infrastructure required as part of the El Camino Real / Downtown Specific Plan. The fee is calculated at</li> </ol> </li> </ol>			



1700 El Camino Real – Attachment A: Recommended Actions

<b>LOCATION:</b> 1700 El Camino Real	<b>PROJECT NUMBER:</b> PLN2018-00092	<b>APPLICANT:</b> Brianne Theisen-Eaton	<b>OWNER:</b> Leon G. Campbell
<b>REQUEST:</b> Request for a use permit for a personal improvement service use on a lot that is substandard with regard to parking in the El Camino Real/Downtown Specific Plan (SP-ECR/D) zoning district. The tenant space was previously used for a general office.			
<b>DECISION ENTITY:</b> Planning Commission	<b>DATE:</b> February 11, 2019	<b>ACTION:</b> TBD	
<b>VOTE:</b> TBD (Barnes, Doran, Goodhue, Kahle, Onken, Riggs, Strehl)			
<b>ACTION:</b> \$393.06 per PM peak hour vehicle trip. The proposed project is subject to a Supplemental TIF of \$1,179.18 for a total of three new PM peak hour trips. Payment is due before a building permit is issued and the supplemental TIF will be updated annually on July 1st along with the TIF.			



City of Menlo Park  
 Location Map  
 1700 El Camino Real



Scale: 1:4,000

Drawn By: CDS

Checked By: KTP

Date: 2/11/2019

Sheet: 1

## Performance Health Sciences, LLC

1700 El Camino Real,  
Menlo Park, CA

### **COMPANY OVERVIEW**

Geoff Yang and Marc Guillet are creating a high end, boutique, wellness concierge and consulting service utilizing the latest sports science methodologies and tracking technology to improve the overall lives of their clients. This will be a personalized coaching and tracking program that clients will utilize throughout their day to help them with their training, nutrition, sleep, recovery, and mindfulness. The company is named Performance Health Sciences, LLC and will be headquartered in Menlo Park. You will find a detailed business description below.

Geoff Yang is a Founding Partner of Redpoint Ventures, a leading venture firm headquartered in Menlo Park. Prior to founding Redpoint, Geoff was a general partner with IVP (also headquartered in Menlo Park), a firm he joined in 1987. He is currently Vice Chair for the United States Olympic Committee Foundation, He has been actively involved at Stanford including as a former Advisory Council member for the Graduate School of Business and Chairman of the Stanford Engineering Venture Fund; and previously served on the President's Information Technology Advisory Committee (PITAC), Director of the National Venture Capital Association (NVCA) and President of the Western Association of Venture Capitalists (WAVC). Geoff holds a B.S.E. in Engineering from Princeton University and an M.B.A. from the Stanford Graduate School of Business. He and his family have lived in Menlo Park or Atherton since 1992.

Marc Guillet PT, MSPT, OCS, ATC has his Master's degree in Physical Therapy from Columbia University. He completed his Athletic Training Certification while working at the UCLA Athletic Department. He spent two years on rotations in general orthopedics, neurology, pediatrics, and cardiac rehabilitation. Marc served as the Director of Rehabilitation at UCLA and Stanford Athletic departments, where he concentrated his focus on injuries related to high-level athletes in over 35 different sports. Later, he managed a staff of thirty clinicians for over two years at Stanford University Hospital and Clinics. He is Board Certified as an Orthopedic Specialist and has lectured and been published in peer reviewed journals in spine and extremity related problems. He serves on the advisory board for Alter-G, whose technologies include the anti-gravity treadmill and the bionic leg. Marc founded Agile Physical Therapy (headquartered in Palo Alto) in July of 2002. He is also the CEO of "A Foundation Building Strength" which he founded in February of 2008 to help his daughter Ava and all patients with Nemaline Myopathy.

Geoff, Marc, and their respective families live in the area and are long-time residents and supporters of the local community. They have a passion for wellness, and the promise of helping people in the local community achieve their full potential. They are interested in locating their business at 1700 El Camino Real, Menlo Park. The owner of the property, Triad Properties, supports them as a tenant.

1700 El Camino Real

APN: 060-343-070

Lot Size: ±0.23 acres

Bldg Size: ±3,600 sf

Zoning: Menlo Park El Camino Real & Downtown Specific Plan (SP-ECR/D) "Personal Improvement Services" permitted use

## ***BUSINESS DESCRIPTION***

Performance Health Sciences is a concierge performance and wellness consulting service for a limited number of high performing executives. Customized programs are delivered via a mobile app so clients can utilize our services while at home, at work, on the road, or in the gym. We intend to use the best in leading-edge sports science and human physiology methodologies to achieve results and will therefore maintain a facility for periodic demo and assessment purposes, as well as to test the latest exercise, monitoring and assessment technologies.

The first step to operationalize our business is to work with the planning department to get our building permit approved for office use only. We will be using the space to test the best and leading-edge sports science and human physiology equipment as well as develop our business framework and mobile platform. The facility located at 1700 El Camino Real will be our corporate office headquarters where we'll have a full-time team consisting of four members; a CTO, a Director of Operations, a Director of High Performance and a Director of Nutrition. It would immensely improve the productivity of this team to centralize our meetings at the 1700 El Camino Real facility as we develop the protocols and business models.

The nature of our work will include:

- Program framework
- Assessment protocols
- Technology and web/mobile platform development
- Employee onboarding material
- General business/process review meetings
- Interviews and recruitment
- New hire onboarding and training
- Testing new technology devices

These activities are mostly brainstorming sessions for the core team along with a demo technology space to onboard and familiarize all employees and staff with the technology devices.

The improvements and features of the tenant space will include:

- Admin desk and employee lounge area
- Conference room for staff meetings and conference calls
- Employee work area and kitchen
- Demo technology lab – latest fitness, assessment, recovery, and monitoring platforms/devices for employee training.
- Storage area
- 4 offices: for individual work, meetings, phone calls or conference calls
- Fully accessible men's and women's bathrooms

The second step to operationalize our business will be to open our doors to a limited number of paying, high performing executives for assessment and testing. Paying clients will only be coming to the site if a use permit is obtained from the Planning Commission. Our service will begin with personalized assessments and consultations with every client to determine their individual needs. We will then create personalized programs including:

- Strength and training
- Nutrition
- Sleep and Recovery
- Skeletal and soft tissue: including stretching, yoga
- Mindfulness: including meditation, imagery, focus drills

Clients will utilize our services by appointment only, with most of their program being delivered outside of our facility over our mobile platform while they are on the road, at home, or training with their own personal trainers.

Our community outreach has been completed and information about the nature of our business, use, occupancy and expected traffic has been provided to residents and businesses within 300 feet of 1700 El Camino Real. This information was provided through either one-on-one conversation, or through informational packets for residents and business owners to read through at their convenience. While additional letters will be mailed in, below is the current list of addresses we've received letters of support from:

Atherton Park Forest Apartment - 1670 El Camino Real  
Cindy's Nail Spa - 1702 El Camino Real  
Resident - 151 Stone Pine Lane  
Bulldog Sports & Fitness - 1610 El Camino Real  
Revitalize Integrated Body Systems - 1618 El Camino Real  
Triad Properties - Property Owner  
Jax Salon - 1610 El Camino Real

#### Employees

This space will eventually employ 6 full and part-time people including a Director of Operations, Director of Performance, Director of Nutrition, client success coach, trainer and a receptionist. Any additional consultation focus areas we develop in the future (such as sleep analysis) will be conducted by outside professionals working in coordination with Performance Health Sciences.

#### Clientele

Once we launch our service to the public, we expect most of our clientele will be senior executives in the local community ranging from mid-40's to late 70's in age. Most of our services are delivered outside of our facility at clients' homes, offices, on the road, at their own training facilities, or over messaging and mobile apps. Consequently, we expect very low facility utilization at any particular time beyond our full-time staff.

#### Parking

The tenant space has designated access to 10 parking spaces; 6 in the rear of the building, 4 in the front. Due to the nature of the business, limited numbers controlled by appointment-based use, our occupancy will be much lower than what Building Code describes. Experience tells us many of the employees or clients will be local and will likely walk or ride to the business. Bus transit is immediately adjacent to the building and CalTrain is located 0.6 miles away, so alternate transportation is available and convenient. As a result, we are confident there is adequate parking to satisfy the parking demand.

#### Hours of Operation

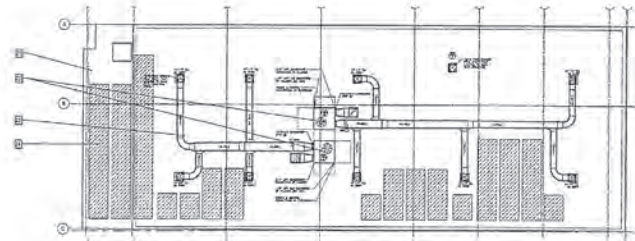
We will accommodate our client schedules if and when they desire to come see our staff. All will be by appointment only, and we may close mid-morning and mid-afternoon during slow hours. Therefore, typical business hours may reflect:

Monday - Friday: 5am-10am  
                          12pm - 2pm  
                          5pm - 9pm  
Saturday - Sunday: 7am - 2pm

For further questions, please contact:

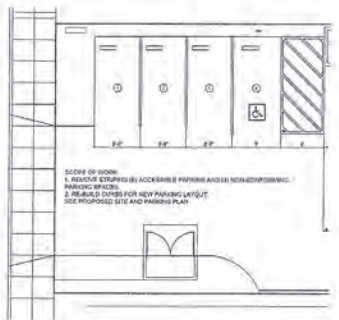
Brianne Theisen-Eaton  
541-232-7647  
brianne@phscorp.co





NO NEW ROOF MOUNTED EQUIPMENT IS BEING PROPOSED IN THIS PROJECT SUBMITTAL.

Existing Roof Plan  
Scale 1/8" = 1'-0"

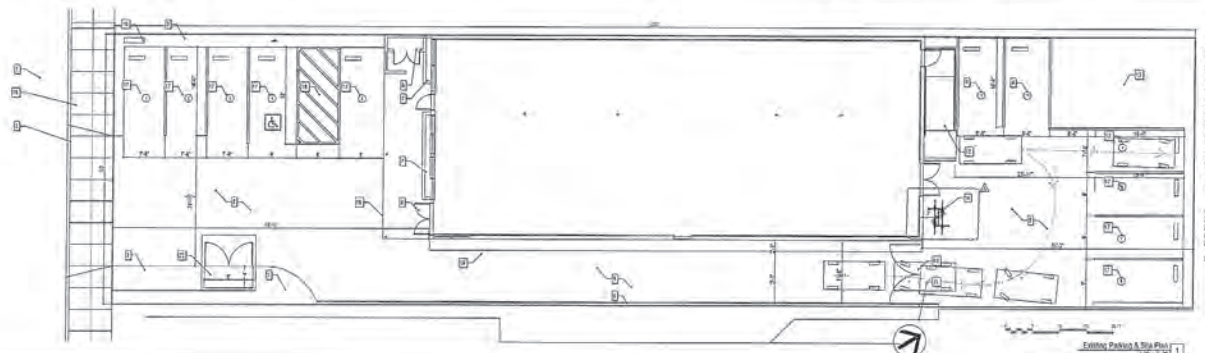


SCOPE OF WORK  
1. REMOVE EXISTING (E) ACCESSIBLE PARKING AND RECONSTRUCTING PARKING SPACES  
2. RECREATE DRIVE FOR NEW PARKING LAYOUT  
SEE PROPOSED SITE AND PARKING PLAN

Proposed Parking Site Plan  
Scale 1/8" = 1'-0"



NOTE:  
NO EXTERIOR CHANGES ARE PROPOSED



- SITE PLAN NOTES**
1. EXISTING PAVED
  2. EXISTING CONCrete
  3. EXISTING ASPHALT
  4. EXISTING CONCRETE
  5. EXISTING ASPHALT
  6. EXISTING CONCRETE
  7. EXISTING ASPHALT
  8. EXISTING CONCRETE
  9. EXISTING ASPHALT
  10. EXISTING CONCRETE
  11. EXISTING ASPHALT
  12. EXISTING CONCRETE
  13. EXISTING ASPHALT
  14. EXISTING CONCRETE
  15. EXISTING ASPHALT
  16. EXISTING CONCRETE
  17. EXISTING ASPHALT
  18. EXISTING CONCRETE
  19. EXISTING ASPHALT
  20. EXISTING CONCRETE
  21. EXISTING ASPHALT
  22. EXISTING CONCRETE
  23. EXISTING ASPHALT
  24. EXISTING CONCRETE
  25. EXISTING ASPHALT
  26. EXISTING CONCRETE
  27. EXISTING ASPHALT
  28. EXISTING CONCRETE
  29. EXISTING ASPHALT
  30. EXISTING CONCRETE
  31. EXISTING ASPHALT
  32. EXISTING CONCRETE
  33. EXISTING ASPHALT
  34. EXISTING CONCRETE
  35. EXISTING ASPHALT
  36. EXISTING CONCRETE
  37. EXISTING ASPHALT
  38. EXISTING CONCRETE
  39. EXISTING ASPHALT
  40. EXISTING CONCRETE
  41. EXISTING ASPHALT
  42. EXISTING CONCRETE
  43. EXISTING ASPHALT
  44. EXISTING CONCRETE
  45. EXISTING ASPHALT
  46. EXISTING CONCRETE
  47. EXISTING ASPHALT
  48. EXISTING CONCRETE
  49. EXISTING ASPHALT
  50. EXISTING CONCRETE
  51. EXISTING ASPHALT
  52. EXISTING CONCRETE
  53. EXISTING ASPHALT
  54. EXISTING CONCRETE
  55. EXISTING ASPHALT
  56. EXISTING CONCRETE
  57. EXISTING ASPHALT
  58. EXISTING CONCRETE
  59. EXISTING ASPHALT
  60. EXISTING CONCRETE
  61. EXISTING ASPHALT
  62. EXISTING CONCRETE
  63. EXISTING ASPHALT
  64. EXISTING CONCRETE
  65. EXISTING ASPHALT
  66. EXISTING CONCRETE
  67. EXISTING ASPHALT
  68. EXISTING CONCRETE
  69. EXISTING ASPHALT
  70. EXISTING CONCRETE
  71. EXISTING ASPHALT
  72. EXISTING CONCRETE
  73. EXISTING ASPHALT
  74. EXISTING CONCRETE
  75. EXISTING ASPHALT
  76. EXISTING CONCRETE
  77. EXISTING ASPHALT
  78. EXISTING CONCRETE
  79. EXISTING ASPHALT
  80. EXISTING CONCRETE
  81. EXISTING ASPHALT
  82. EXISTING CONCRETE
  83. EXISTING ASPHALT
  84. EXISTING CONCRETE
  85. EXISTING ASPHALT
  86. EXISTING CONCRETE
  87. EXISTING ASPHALT
  88. EXISTING CONCRETE
  89. EXISTING ASPHALT
  90. EXISTING CONCRETE
  91. EXISTING ASPHALT
  92. EXISTING CONCRETE
  93. EXISTING ASPHALT
  94. EXISTING CONCRETE
  95. EXISTING ASPHALT
  96. EXISTING CONCRETE
  97. EXISTING ASPHALT
  98. EXISTING CONCRETE
  99. EXISTING ASPHALT
  100. EXISTING CONCRETE

Existing Parking & Site Plan  
Scale 1/8" = 1'-0"

**DERN**  
ARCHITECTURE + DEVELOPMENT, PC  
ARCHITECT  
DERN ARCHITECTURE + DEVELOPMENT, PC  
1101 EL CAMINO REAL  
MENLO PARK, CA 94025  
MICHAEL DERN, PRINCIPAL  
(415) 320-0400

CLIENT  
PERFORMANCE HEALTH SCIENCES, LLC  
1101 EL CAMINO REAL  
MENLO PARK, CA 94025  
BRANDIE THORNTON, OWNER  
(415) 320-0400

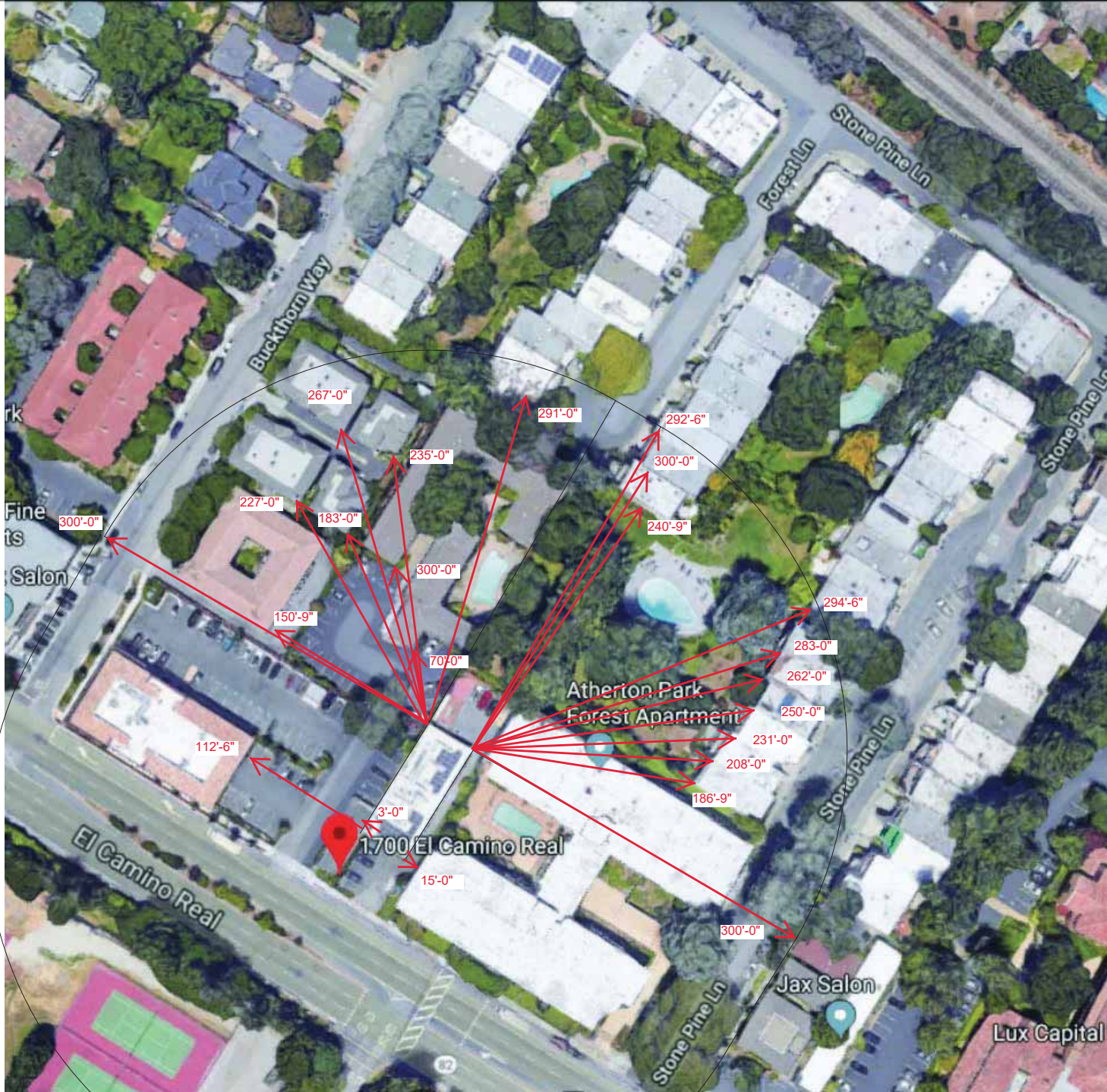


**PERFORMANCE HEALTH SCIENCES, LLC**  
TENANT IMPROVEMENT

1101 EL CAMINO REAL, MENLO PARK, CA 94025

DATE: NOV. 5, 2016  
PLAN CHECK: 03 1/26/2016

NOV. 5, 2016  
PERMIT  
SITE & PROPOSED T1  
(E) ELEVATIONS &  
(E) ROOF PLAN  
**A1.1**



**DERN**  
ARCHITECTURE + DEVELOPMENT

**ARCHITECT**  
DERN ARCHITECTURE + DEVELOPMENT, PC  
110 CARA GRANDE  
LOS GATOS, CA 95032  
MICHAEL DERN, PRINCIPAL  
(415) 307-1283

**CLIENT**  
PERFORMANCE HEALTH SCIENCES, LLC  
1700 EL CAMINO REAL  
MENLO PARK, CA 94025  
BRIANNE THEISEN-EATON  
(641) 232-7647



*Michael Dern*

**PERFORMANCE HEALTH SCIENCES, LLC**  
TENANT IMPROVEMENT  
1700 EL CAMINO REAL, MENLO PARK, CA 94025

No.	Description	Date
C	PLAN CHECK 03	1/15/2019

**DATE**  
NOV. 5, 2018  
**ISSUE**  
PERMIT  
**SHEET TITLE**  
SITE & CONTEXT  
PHOTOS

**A1.2**





Street View - 1706 El Camino Real

1



Street View - 1704 El Camino Real

1



Street View - 1700 El Camino Real

0



Street View - 1670 El Camino Real

2



On-Site Trash Enclosure

4



Building - Existing Condition

1

**DERN**  
ARCHITECTURE + DEVELOPMENT  
ARCHITECT  
DERN ARCHITECTURE + DEVELOPMENT, PC  
110 CARRA GRANDE  
LOS GATOS, CA 95032  
MICHAEL DERN, PRINCIPAL  
(415) 307-1283

CLIENT  
PERFORMANCE HEALTH SCIENCES, LLC  
1700 EL CAMINO REAL  
MENLO PARK, CA 94025  
BRIANNE THEISEN-LEATON  
(641) 232-7647



*MJD*

**PERFORMANCE HEALTH SCIENCES, LLC**  
TENANT IMPROVEMENT  
1700 EL CAMINO REAL, MENLO  
PARK, CA 94025

Rev. No.	Description	Date
C	PLAN CHECK 03	1/16/2019

DATE  
**NOV. 5, 2018**

TYPE  
**PERMIT**

SHEET TITLE  
**SITE & CONTEXT  
PHOTOS**

SHEET NO.  
**A1.3**



ATHERTON PARK FOREST APARTMENTS

**BUSINESS NAME**

1670 EL CAMINO REAL

**ADDRESS,**  
Menlo Park, CA

1/22/19

**DATE**

City of Menlo Park  
Planning Division  
701 Laurel St.  
Menlo Park, CA. 94025

To Whom It May Concern,

ATHERTON PARK FOREST APTS is pleased to support the opening of Performance Health Sciences at 1700 EL Camino Real in Menlo Park.

Performance Health Sciences is a concierge performance and wellness consulting service with the promise to make a positive impact by helping people in the local community achieve their full potential. They offer a unique service not yet available in the surrounding area, thus providing our residents with not only a unique experience, but a sustainable and effective way to improve their health.

Since Performance Health Sciences' business model is to be an appointment only, personalized performance and wellness service with a limited number of members, traffic to and from the facility will be minimal and is not something we are concerned about.

The co-founders, Geoffrey Yang and Marc Guillet, are long-time residents, business owners, and supporters of the local community and have chosen to start their business in Menlo Park. They have a passion for wellness and the promise to make a positive impact by helping people in the local community achieve their full potential.

We believe this business will add value to our community and its residents and therefore, respectfully ask for your support in the opening of Performance Health Sciences' doors.

We hope you will join us in supporting Performance Health Sciences and welcoming them to our community.

Sincerely,



**NAME**

LESTER WATANABE

Compass  
BUSINESS NAME

1706 El Camino Real, suite 210  
ADDRESS,  
Menlo Park, CA

1/22/19

DATE

City of Menlo Park  
Planning Division  
701 Laurel St.  
Menlo Park, CA. 94025

To Whom It May Concern,

Compass is pleased to support the opening of Performance Health Sciences at 1700 EL Camino Real in Menlo Park.

Performance Health Sciences is a concierge performance and wellness consulting service with the promise to make a positive impact by helping people in the local community achieve their full potential. They offer a unique service not yet available in the surrounding area, thus providing our residents with not only a unique experience, but a sustainable and effective way to improve their health.

Since Performance Health Sciences' business model is to be an appointment only, personalized performance and wellness service with a limited number of members, traffic to and from the facility will be minimal and is not something we are concerned about.

The co-founders, Geoffrey Yang and Marc Guillet, are long-time residents, business owners, and supporters of the local community and have chosen to start their business in Menlo Park. They have a passion for wellness and the promise to make a positive impact by helping people in the local community achieve their full potential.

We believe this business will add value to our community and its residents and therefore, respectfully ask for your support in the opening of Performance Health Sciences' doors.

We hope you will join us in supporting Performance Health Sciences and welcoming them to our community.

Sincerely,

Donna Sanchez  
NAME

Fritz Xanthopoulos  
NAME  
151 Stone Pine Lane  
ADDRESS  
Menlo Park, CA

1/22/2019  
DATE

City of Menlo Park  
Planning Division  
701 Laurel St.  
Menlo Park, CA. 94025

To Whom It May Concern,

I am writing to show support for the opening of Performance Health Sciences at 1700 El Camino Real in Menlo Park.

Performance Health Sciences is a concierge performance and wellness consulting service with the promise to make a positive impact by helping people in the local community achieve their full potential. They offer a unique service not yet available in the surrounding area, thus providing our residents with not only a unique experience, but a sustainable and effective way to improve their health.

Since Performance Health Sciences' business model is to be an appointment only, personalized performance and wellness service with a limited number of members, traffic to and from the facility will be minimal and is not something I am concerned about.

I believe this business will add value to our community and its residents and therefore, respectfully ask for your support in the opening of Performance Health Sciences doors.

Thank you for supporting new businesses in our special community, and thank you for considering Performance Health Sciences as one of them.

Sincerely,

Fritz Xanthopoulos  
NAME

**Bulldog Sports and Fitness**  
1610 El Camino Real,  
Menlo Park, CA

January 22, 2019

City of Menlo Park  
Planning Division  
701 Laurel St.  
Menlo Park, CA. 94025

To Whom It May Concern,

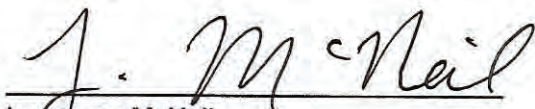
On behalf of Bulldog Sports and Fitness, I am writing to show support for the opening of Performance Health Sciences at 1700 El Camino Real in Menlo Park.

Performance Health Sciences is a concierge performance and wellness consulting service with the promise to make a positive impact by helping people in the local community achieve their full potential. Since their business model is to be an appointment only, personalized performance and wellness service with a limited number of members, traffic to and from the facility will be minimal and is not something we are concerned about.

The co-founders, Geoffrey Yang and Marc Guillet, are long-time residents, business owners, and supporters of the local community and have chosen to start their business in Menlo Park. They have a passion for wellness and the promise to make a positive impact by helping people in the local community achieve their full potential.

We believe this business will add value to our community and its residents and hope you will join us in supporting Performance Health Sciences and welcoming them to our community.

Sincerely,

  
\_\_\_\_\_  
Lawrence McNeil

650-561-4095  
admin@bulldogsportsandfitness.com

**JAX Salon**  
1610 El Camino Real,  
Suite B, Menlo Park, CA

January 22, 2019

City of Menlo Park  
Planning Division  
701 Laurel St.  
Menlo Park, CA. 94025

To Whom It May Concern,

On behalf of JAX Salon, I am writing to show support for the opening of Performance Health Sciences at 1700 El Camino Real in Menlo Park.

Performance Health Sciences is a concierge performance and wellness consulting service with the promise to make a positive impact by helping people in the local community achieve their full potential. They offer a unique service not yet available in the surrounding area, thus providing our residents with not only a personalized experience, but a sustainable and effective way to improve their health.

Since Performance Health Sciences's business model is to be an appointment only, personalized performance and wellness service with a limited number of members, traffic to and from the facility will be minimal and is not something we are concerned about.

The co-founders, Geoffrey Yang and Marc Guillet, are long-time residents, business owners, and supporters of the local community and have chosen to start their business in Menlo Park. They have a passion for wellness and the promise to make a positive impact by helping people in the local community achieve their full potential.

We hope you will join us in supporting Performance Health Sciences and welcoming them to our community. Please let me know if there is anything I can do to assist with this project and move it forward.

Sincerely,

  
\_\_\_\_\_  
Signature

JACK Ajluni  
\_\_\_\_\_  
Name

650-323-4247  
jaxpolo@gmail.com

## Revitalize Integrated Body Systems

1618 El Camino Real,  
Menlo Park, CA

January 16, 2019

City of Menlo Park  
Planning Division  
701 Laurel St.  
Menlo Park, CA. 94025

To Whom It May Concern,

Revitalize Integrated Body Systems writes in strong support of the opening of Performance Health Sciences at 1700 El Camino Real in Menlo Park.

Performance Health Sciences is a concierge performance and wellness consulting service with the promise to make a positive impact by helping people in the local community achieve their full potential. They offer a service not yet available in the surrounding area, thus providing our residents with not only a unique experience, but a sustainable and effective way to improve their health.

Performance Health Sciences' business model is to be an appointment only, personalized performance and wellness service with a limited number of members therefore, traffic to and from the facility will be minimal and is not something we are concerned about.

The co-founders, Geoffrey Yang and Marc Guillet, are long-time residents, business owners, and supporters of the local community and have chosen to start their business in Menlo Park. They have a passion for wellness and the promise to make a positive impact by helping people in the local community achieve their full potential.

We believe this business will add value to our community and its residents and therefore, hope you will join us in supporting Performance Health Sciences and welcoming them to our community. Please let me know if there is anything I can do to assist with this project and move it forward.

Sincerely,



Dr. Angelique Waite, DC

650-323-7427

dr.angeliquewaite@gmail.com



## Triad Properties

157 Homer Ave,  
Palo Alto, CA

January 16, 2019

City of Menlo Park  
Planning Division  
701 Laurel St.  
Menlo Park, CA. 94025

To Whom It May Concern,

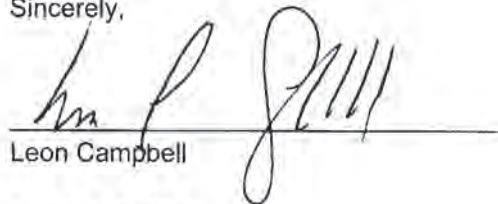
As the owner and manager of the 1700 El Camino Real property, I am writing to show strong support for the opening of Performance Health Sciences. I couldn't be more pleased to have Geoffrey Yang and Marc Guillet's new concierge performance and wellness business as my tenant.

Both Geoffrey and Marc are long-time residents, business owners, and supporters of the local community and have chosen to start their business in Menlo Park. They have a passion for wellness and the promise to make a positive impact in our community by helping people achieve their full potential.

Performance Health Sciences is a unique concierge performance and wellness consulting service not yet offered in the surrounding area, thus providing our residents with not only a personalized experience, but a sustainable and effective way to improve their health. Since Performance Health Sciences' business model is to be an appointment only, personalized performance and wellness service with a limited number of members, traffic to and from the facility will be minimal and is not something we are concerned about.

We believe this business will add value to our community and its residents and therefore, respectfully ask for your support in the opening of Performance Health Sciences' doors. Thank you for supporting new businesses in our special community, and please let me know if there is anything I can do to assist with this project and move it forward.

Sincerely,



Leon Campbell

650-644-8828  
winilewis@yahoo.com

El Camino Real/Downtown Mitigation Monitoring and Reporting Program				
Mitigation Measure	Action	Timing	Implementing Party	Monitoring Party
BIOLOGICAL RESOURCES				
<p><b>Mitigation Measure BIO-3b:</b> Reduce building lighting from interior sources.</p> <p>a. Dim lights in lobbies, perimeter circulation areas, and atria;</p> <p>b. Turn off all unnecessary lighting by 11pm thorough sunrise, especially during peak migration periods (mid-March to early June and late August through late October);</p> <p>c. Use gradual or staggered switching to progressively turn on building lights at sunrise.</p> <p>d. Utilize automatic controls (motion sensors, photosensors, etc.) to shut off lights in the evening when no one is present;</p> <p>e. Encourage the use of localized task lighting to reduce the need for more extensive overhead lighting;</p> <p>f. Schedule nightly maintenance to conclude by 11 p.m.;</p> <p>g. Educate building users about the dangers of night lighting to birds.</p>	Reduce building lighting from interior sources.	Prior to building permit issuance and ongoing.	Project sponsor(s) and contractor(s)	CDD
HAZARDOUS MATERIALS				
<b>Impact HAZ-3: Hazardous materials used on any individual site during construction activities (i.e., fuels, lubricants, solvents) could be released to the environment through improper handling or storage. (Potentially Significant)</b>				
<p><i>Mitigation Measure HAZ-3:</i> All development and redevelopment shall require the use of construction Best Management Practices (BMPs) to control handling of hazardous materials during construction to minimize the potential negative effects from accidental release to groundwater and soils. For projects that disturb less than one acre, a list of BMPs to be implemented shall be part of building specifications and approved of by the City Building Department prior to issuance of a building permit.</p>	Implement best management practices to reduce the release of hazardous materials during construction.	Prior to building permit issuance for sites disturbing less than one acre and on-going during construction for all project sites	Project sponsor(s) and contractor(s)	CDD
TRANSPORTATION, CIRCULATION AND PARKING				
<b>Impact TR-1: Traffic from future development in the Plan area would adversely affect operation of area intersections. (Significant)</b>				
<p><i>Mitigation Measures TR-1a through TR-1d:</i> (see EIR for details)</p>	Payment of fair share funding.	Prior to building permit issuance.	Project sponsor(s)	PW/CDD
<b>Impact TR-2: Traffic from future development in the Plan area would adversely affect operation of local roadway segments. (Significant)</b>				
<p><i>Mitigation Measure TR-2:</i> New developments within the Specific Plan area, regardless of the amount of new traffic they would generate, are required to have in-place a City-approved Transportation Demand Management (TDM) program prior to project occupancy to mitigate impacts on roadway segments and intersections. TDM programs could include the following measures for site users (taken from the C/CAG CMP), as applicable:</p> <ul style="list-style-type: none"> <li>* Commute alternative information;</li> <li>* Bicycle storage facilities;</li> <li>* Showers and changing rooms;</li> <li>* Pedestrian and bicycle subsidies;</li> </ul>	Develop a Transportation Demand Management program.	Submit draft TDM program with building permit. City approval required before permit issuance. Implementation prior to project occupancy.	Project sponsor(s)	PW/CDD

<b>EI Camino Real/Downtown Mitigation Monitoring and Reporting Program</b>				
<b>Mitigation Measure</b>	<b>Action</b>	<b>Timing</b>	<b>Implementing Party</b>	<b>Monitoring Party</b>
<ul style="list-style-type: none"> <li>* Operating dedicated shuttle service (or buying into a shuttle consortium);</li> <li>* Subsidizing transit tickets;</li> <li>* Preferential parking for carpoolers;</li> <li>* Provide child care services and convenience shopping within new developments;</li> <li>* Van pool programs;</li> <li>* Guaranteed ride home program for those who use alternative modes;</li> <li>* Parking cashout programs and discounts for persons who carpool, vanpool, bicycle or use public transit;</li> <li>* Imposing charges for parking rather than providing free parking;</li> <li>* Providing shuttles for customers and visitors; and/or</li> <li>* Car share programs.</li> </ul>				
<b><i>Impact TR-7: Cumulative development, along with development in the Plan area, would adversely affect operation of local intersections. (Significant)</i></b>				
<i>Mitigation Measures TR-7a through TR-7n: (see EIR for details)</i>	Payment of fair share funding.	Prior to building permit issuance.	Project sponsor(s)	PW/CDD



## STAFF REPORT

### Planning Commission

**Meeting Date:** 2/11/2019  
**Staff Report Number:** 19-009-PC

**Public Hearing:** Facebook Development Agreements – Sixth Year Annual Review

### Recommendation

Staff recommends that the Planning Commission review the information provided and make a determination that Facebook, over the course of the past year, has demonstrated good faith compliance with the provisions of the Development Agreements (DA) for the West Campus and Facebook West Campus Expansion for the period of October 2017 through September 2018. For the East Campus, staff recommends that the Planning Commission continue the DA annual review to a future meeting to allow for more information on the trip cap to be provided to the Planning Commission as part of its comprehensive review of the East Campus DA. The recommended actions are included in Attachment A.

### Policy Issues

The implementation of each of these development agreements is considered individually. The Planning Commission should make a determination on whether or not Facebook has demonstrated its good faith compliance with the provisions of the West Campus and Campus Expansion Project development agreements at this time.

### Background

The Facebook Campus Project includes three areas, specifically, the East Campus, West Campus, and Facebook West Campus Expansion (Campus Expansion Project) area. There are three DAs and two Conditional Development Permits (CDPs) for the two campuses. The land use entitlements and development agreements were also processed in phases, with the East Campus entitlement process being completed first. An overview of the project phases is provided below.

#### East Campus

The 56.9-acre East Campus is located at 1 Hacker Way (previously addressed 1601 Willow Road). This developed site was previously occupied by Oracle and Sun Microsystems. The site is developed with nine buildings (Buildings 10 through 19) and contains approximately 1,035,840 square feet. Applicable entitlements and agreements for the Facebook East Campus project included an amended and restated CDP and DA. The City Council approved the project in May and June of 2012. All of the buildings on the East Campus are occupied.

#### West Campus

The 22-acre West Campus is located at 1 Facebook Way. The 433,555 square foot building (also known as Building 20) is constructed over surface parking. Applicable entitlements and agreements for the

Facebook West Campus Project included a Rezoning, Conditional Development Permit, and Development Agreement. The City Council approved the project in March 2013. The West Campus building, known as Building 20, is completed and occupied.

### Campus Expansion Project

The Campus Expansion Project includes two new office buildings (Buildings 21 and 22) and a limited service hotel. The project also includes approximately two acres of publicly accessible open space and a bicycle/pedestrian bridge over Bayfront Expressway. The City Council approved this project on November 1, 2016. Applicable entitlements and agreements for the Facebook Campus Expansion Project included an amended and restated Conditional Development Permit, Development Agreement, Rezoning, Zoning Ordinance Text Amendment, Heritage Tree Removal Permits, and Below Market Rate (BMR) Housing Agreement. This Development Agreement and associated Conditional Development Permit were amended in November 2017 as part of applicant-initiated revisions to the approved Campus Expansion Project.

### **Analysis**

A DA is a legally binding contract between the City of Menlo Park and an applicant that delineates the terms and conditions of a proposed development project. A DA allows an applicant to secure vested rights and allows the City to secure benefits that are generally not obtainable otherwise. DAs are commonly used for land use developments which are implemented in phases over a period of time. DAs provide assurances to both the applicant and the City that the terms of the agreement will be in force until the completion of the project, and in some cases, elements of the DA could be in effect for the life of the project. DAs are enabled by California Government Code Sections 65864-65869.5.

The City Council adopted Resolution No. 4159 in January 1990, establishing the procedures and requirements for the consideration of DAs. Resolution No. 4159 calls for the Planning Commission to conduct a public hearing at which the property owner (or representative for the property owner) must demonstrate good faith compliance with the terms of the agreement. The Planning Commission is to determine, upon the basis of substantial evidence, whether or not the property owner has, for the period under review, complied in good faith with the terms and conditions of the Agreement. The decision of the Planning Commission is final, unless it is appealed to the City Council. These provisions implement Government Code Section 65865.1 which requires the periodic review, at least once every 12 months, to determine compliance with the terms of the agreement.

In addition, the approved DAs for the East and West Campuses, Sections 24.1 and 15.1, respectively, and Section 12.1 of the Campus Expansion Project DA, set forth the following requirement for the Annual Review: "The City shall, at least every 12 months during the term of this Agreement, review the extent of Facebook's and Owner's good faith compliance with the terms of this Agreement pursuant to Government Code Section 65865.1 and Resolution No. 4159. Notice of such annual review shall be provided by the City's Community Development Director to Facebook and Owner not less than 30 days prior to the date of the hearing by the Planning Commission on Facebook's and Owner's good faith compliance with this Agreement and shall to the extent required by law include the statement that any review may result in amendment or termination of this Agreement. A finding by the City of good faith compliance with the terms of this Agreement shall conclusively determine the issue up to and including the date of such review."

There is an additional clause in the Facebook West Campus Development Agreement that requires that, “Such review shall be scheduled to coincide with the City’s review of compliance with the 1601 Willow Road Development Agreement.”

In evaluating Facebook’s progress at implementing the Development Agreements, staff has developed a classification system to describe how the specific requirements are being implemented using four categories. Three of these categories are consistent with the principle of good faith compliance with the terms of the agreements and are as follows:

- **Completed:** A One-time Action was completed or an Ongoing Activity occurred during the DA review year.
- **In Progress:** A One-time Action is underway (acceptable progress).
- **Conditional, No Action Required:** The triggering event, condition, or requirement to undertake an item has not occurred and no action is necessary at this time.

The fourth category, described as Unacceptable Progress implies that, at least potentially, good faith compliance for that item may not have occurred. However, a determination that substantial and persistent non-implementation of a development agreement would have to occur before a lack of good faith compliance could truly be determined. None of the DA requirements for the West and Campus Expansion Project have been identified as Unacceptable Progress during the 2017-2018 DA review year.

To ensure that the City is aware of the status of their compliance and any challenges they may be having achieving compliance, Facebook provides periodic updates on the status of all applicable requirements. These updates, as well as supporting correspondence and written documentation have been used to develop the DA Implementation tables attached to this staff report.

**East Campus DA**

The East Campus DA includes 37 requirements that are associated with the annual DA tracking. These requirements fall into two categories, One-Time Actions and Ongoing Activities. A detailed description of the requirements of the DA for the East Campus are contained in Attachments B and C, respectively. The summary of the implementation status of the 37 DA requirements is provided in the following table.

<b>East Campus DA Implementation Status</b>	<b>One-Time Actions (Attachment B)</b>	<b>Ongoing Activities (Attachment C)</b>
Completed	16	15
In Progress/Ongoing* (Acceptable Progress)	1	
Conditional / No Action Required	1	4
Unacceptable Progress/No Information Provided	0	0

\*Trip Cap Compliance is considered In Progress since it is currently under review.

### Trip Cap Compliance

Facebook and the City continue to monitor compliance with the trip cap requirements. According to the Trip Cap Policy, Facebook is allowed to exceed its trip cap on twelve special event days in a 12-month period and on 3 non-special event days in a 180 day period (at which time Facebook must be in compliance with the trip cap for 180 days before utilizing any additional non-special event exclusions). According to the trip cap policy, special events are defined as those that are not typical of the operating conditions at the campus and would be likely to involve more than Facebook employees.

Under the trip cap, a trip is considered a vehicle whose occupant(s)' final destination is the East Campus or a vehicle whose origin is the East Campus. In accordance with the trip cap, staff reviewed additional data this year to determine the reliability (sensitivity) factor for trips to/from the site, specifically with regard to the accuracy of the trip count equipment sensors. The trip cap would include the application of the updated reliability factor.

There were a number of trip cap exceedances during the 2018 calendar year and the City is reviewing the log to determine what exceedances are attributed to eligible exclusions, determining the total number of exceedances, and reviewing measures taken by Facebook to bring the site into compliance. Preliminary review of the data shows that the majority of exceedances occurred in the first part of the year and have reduced in frequency. Depending on the number of event exclusions, penalties for the exceedances could be assessed. Further, the City has been made aware that rideshare (e.g. Uber/Lyft) pick-up and drop-off have been restricted from using the East Campus. Since a trip is considered a vehicle whose occupant(s)' final destination is the East Campus, staff believes that some of these rideshare trips may need to be applied to the East Campus trip cap. City staff will be working with Facebook to determine if any additional trips should be credited against the East Campus trip cap and will adjust the number of exceedances accordingly.

Staff is still reviewing the trip log to determine the number of trip exceedances and Facebook's current operations and proposed modifications to ensure compliance going forward. Staff recommends that the Planning Commission continue the entire DA annual review for the East Campus to a future meeting to allow for a comprehensive review of compliance with the DA, including the trip cap component. Staff anticipates bringing the East Campus DA back to the Planning Commission in April.

### ***West Campus DA***

The West Campus DA (for Facebook's Building 20) includes 11 requirements that are associated with the annual DA tracking. These requirements fall into two categories, One-Time Requirements and Ongoing Activities. Requirements that apply only to project construction (e.g. 7.3.1 and 7.3.2) are also classified as One-Time activities since once construction is completed the obligation no longer applies. All of the Ongoing Activities are required to be implemented after the West Campus has been constructed and occupied. As a result, these items have been classified as Conditional/No Action Required. A detailed description of the requirements of the DA for the West Campus is contained in Attachments D and E, respectively. The summary of the implementation status of the 11 West Campus Development Agreement requirements is provided below:

<b>West Campus DA Implementation Status</b>	<b>One-Time Actions (Attachment D)</b>	<b>Ongoing Activities (Attachment E)</b>
Completed	5	4
In Progress (Acceptable Progress)	0	
Conditional / No Action Required	0	2
Unacceptable Progress	0	0

Trip Cap Compliance

The West Campus building also has a trip cap requirement. The system has been installed and is counting properly. The City continues to monitor compliance with the trip cap requirements. Facebook is in compliance with the trip cap specified in the Conditional Development Permit. The reliability factor, discussed in the East Campus section above, applies to the West Campus as well and Facebook anticipates determining the appropriate reliability factor for the West Campus equipment in the spring of 2019, with input, consultation, and final determination by City staff.

Campus Expansion Project DA

The Facebook Campus Expansion Project DA (for Facebook’s Buildings 21 and 22, and the hotel) includes 38 requirements that are associated with the annual DA tracking. These requirements fall into two categories, One-Time Requirements and Ongoing Activities. Requirements that apply only to project construction are also classified as One-Time activities since once construction is completed the obligation no longer applies. All of the Ongoing Activities are required to be implemented after the Campus Expansion Project has been constructed and occupied. However, since the project is phased, some Ongoing Activities will be required during construction of the future phases. Occupancy of Building 21 was granted by the City this calendar year and as a result, a number of items that had been previously classified as Conditional/No Action Required, have been changed to ongoing or one-time action depending on the requirement since the previous annual review. Due to the phased nature of the project, some items are still identified as Conditional/No Action Required. If an Ongoing Activity was completed during the last year, it has been identified as completed in the attached table. A detailed description of the requirements of the DA for the Campus Expansion Project is contained in Attachments F and G, respectively. The summary of the implementation status of the 38 requirements is provided below:

<b>Expansion Campus DA Implementation Status</b>	<b>One-Time Actions (Attachment F)</b>	<b>Ongoing Activities (Attachment G)</b>
Completed	6	8
In Progress (Acceptable Progress)	13	2
Conditional / No Action Required	3	6
Unacceptable Progress	0	0



Facebook has made a good faith effort to comply with the terms of the DA for the Campus Expansion Project, including the terms of the Amendment to the DA (adopted in November 2017). The timelines to deliver some items have been extended but staff believes are generally in compliance with a good faith effort to comply with the terms of the DA. The Chilco Street Frontage Improvements were anticipated to be constructed in phases. Phases 3a and 3b have been incorporated into the additional phases of the improvements and construction is anticipated to be completed by the end of 2019, where these phases were originally required to be completed prior to Occupancy of Building 21. Design modifications and coordination with Samtrans across the Dumbarton Corridor have extended the timeline of the project. Facebook has been working with the City to complete these improvements by combining these with Phases 5 and 6. Additionally, Facebook states that its proposed approach for more detailed information to the Housing Inventory and Local Supply Study has extended the timeline, but the final study is anticipated to be submitted to the City in August 2019. The Housing Innovation Fund would implement near-term actions from the Housing Inventory and Local Supply Study and therefore, would be developed concurrently with the completion of the study. However, staff will be working with Facebook to ensure that the necessary items required to ensure an efficient implementation are completed prior to the finalization of the Housing Inventory and Local Supply Study. Another key “in progress” project is the Affordable Housing Preservation Pilot Program. Facebook states that it pursued multiple options that ultimately were unsuccessful. The first project was a secondary dwelling unit program that Facebook determined did not fit within the Affordable Housing Preservation Pilot Program, but that Facebook is exploring the project separately. The second project was the purchase of a multi-family building in partnership with an affordable housing developer, but the proposal fell through. Therefore, at this time, Facebook has proposed partnering with Local Initiatives Support Coalition (LISC), to implement the program, subject to authorization of the City. City staff and Facebook will be discussing this option further in the near future. Staff believes that these efforts constitute a good faith effort to comply with the terms of the DA.

The Campus Expansion Project and the West Campus (Building 20) are under a common trip cap, which is in compliance with the Trip Cap for the project site.

#### Requirements of the Conditional Development Permits

As part of this annual review staff has also reviewed the implementation status of the major infrastructure improvements identified in the CDPs for both the East Campus and West Campus, and Campus Expansion projects. For reference, the West Campus CDP was incorporated into the Amended and Restated CDP for the Facebook Campus Expansion Project. For the sake of simplicity, only the East Campus CDP numbers are provided when the improvement is identified in both CDP documents. The original schedule required bonding for the improvements within 90 days after the approval of the DA, and the submittal of complete construction/ improvement plans within 180 days of approval of the DA. Once Caltrans (and/or the cities of Menlo Park and East Palo Alto) approve the construction plans, construction is required to be completed within 180 days. The CDP schedule contains no deadlines for the review and approval of the encroachment permit by either Caltrans or the City of East Palo Alto since these outside agencies have their own processing requirements and timelines.

The following table summarizes the status of the various infrastructure requirements contained in the Conditional Development Permits for the East and West Campus Projects. As shown below, Facebook has made progress at meeting their obligations under their Conditional Development Permits. During the

next annual review cycle, it is expected that the remaining substantially completed improvement will be complete and accepted by the City. Acceptance of the improvements by the City is the last step in any public infrastructure project.

Completion Status Summary	Number
Project Complete, Work Accepted by the City	9
Project Substantially Completed, the improvements have not been accepted by the City	1
Project still under design development/Encroachment Permit has not been issued/Construction has not started	0

A summary of the status of each of these required public improvements is provided in the following table. For the remaining “95%” project, City staff has met with Facebook regarding the remaining corrective actions needed to complete the University Avenue Trail Improvements. These final corrective items are anticipated to be completed over the summer.

STATUS OF FACEBOOK CDP INFRASTRUCTURE IMPROVEMENTS						
CDP Requirement	Bond Paid	Encroachment Permit		Construction		
		Applied For	Received	Started	Substantially Complete	Percent Complete
<b>EAST CAMPUS</b>						
Willow Rd. & Bayfront Expway. lane widening and bike lanes <i>(EC CDP 10.1)</i>	✓	✓	✓	✓	✓	<b>100%</b>
Willow Rd. & Middlefield Rd. lane and signal revisions <i>(EC CDP 10.2)</i>	✓	✓	✓	✓	✓	<b>100%</b>
University Ave. & Bayfront Expway. trail improvement <i>(EC CDP 10.3)</i>	✓	✓	✓	✓	✓	<b>95%</b>
Bayfront Expway. & Chrysler Drive lane restriping <i>(EC CDP 10.4)</i>	✓	✓	✓	✓	✓	<b>100%</b>
Marsh Rd. & Bayfront Expway. lane restriping <i>(EC CDP 10.5)</i>	✓	✓	✓	✓	✓	<b>100%</b>
Marsh Rd. & US101 NB ramp widening <i>(EC CDP 10.6)</i>	✓	✓	✓	✓	✓	<b>100%</b>

STATUS OF FACEBOOK CDP INFRASTRUCTURE IMPROVEMENTS						
CDP Requirement	Bond Paid	Encroachment Permit		Construction		
		Applied For	Received	Started	Substantially Complete	Percent Complete
Willow Rd. & Newbridge St. lane widening (EC CDP 10.7)	✓	✓	✓	✓	✓	100%
WEST CAMPUS						
Bayfront Expway. Undercrossing (WC CDP 10.0)	✓	✓	✓	✓	✓	100%
University Ave. & Donahoe St. restriping (WC CDP 12.10)	✓	✓	✓	✓	✓	100%
Willow Rd. Median, emergency vehicle access	✓	✓	✓	✓	✓	100%

The infrastructure improvement projects listed in the table above are substantially complete but minor finalizations are still necessary for one of the items. The infrastructure improvements associated with the Campus Expansion Project CDP include the bicycle and pedestrian bridge, the publicly accessible open space, and the on-site recycled water system for Buildings 21 and 22. The bicycle and pedestrian bridge and the first phase of the publicly accessible open space are required to be completed prior to occupancy of Building 22 and Facebook has been working with the City and Caltrans on the building permit for the bridge, which is expected to be issued in spring 2019. The on-site recycled water system has been installed in Building 21 and is currently undergoing commissioning, which must be completed before the issuance of the permit to operate the system.

The following table outlines the infrastructure improvements associated with the Mitigation Measure Monitoring and Reporting Program (MMRP) for the Campus Expansion Project.

STATUS OF FACEBOOK CAMPUS EXPANSION PROJECT CDP INFRASTRUCTURE IMPROVEMENTS			
CDP Requirement	Timeline	Status	Notes
TRA-1.1(c) Bayfront Expressway and Willow Road Improvements	Construct improvement within 180 Days of Caltrans Approval	Completed	
TRA-1.1(d) Bayfront Expressway and University Avenue Future Grade Separation Project Study Report (PSR)	Prior to Occupancy of Building 21	Completed	PSR on file with the City
TRA-1.1(f) Chilco Street and Constitution Drive	Prior to Occupancy of Building 22	In Progress	Pre-construction requirements completed; Construction outstanding

TRA-1.1(i) Bayfront Expressway and Building 20 Entrance	Prior to Occupancy of Building 21	Completed	Microsimulation provided to document that new intersection would not result in queuing into Building 20 intersection.
TRA-1.1(m) Bayfront Expressway and Proposed Building 21 Entrance	Prior to Occupancy of Building 21	Completed	Microsimulation provided in TRA-1.1(i) also applicable to proposed new intersection.
TRA-1.2 Reduce Peak Hour Trip Share for Peak Period to 50 Percent of Total Trips (West Campus and East Campus)	Prior to Occupancy of Building 21	Completed	East "Classic" Campus DA and CDP amended to incorporate TRA-1.2. limits into the Trip Cap Policy for the East Campus
TRA-3.1 Provide Measures to Reduce Cut Through Traffic in the Belle Haven Neighborhood	Implement Measures Prior to Occupancy of Building 22	Ongoing	Facebook and City Staff working on study to identify appropriate measures.
TRA-4.1 (a) Pedestrian Connections: Constitution Drive	Prior to Occupancy of Building 21	Completed	Completed after temporary occupancy of Building 21 but prior to building permit final sign-off
TRA-5.1 (a) Bicycle Connections: Hamilton Avenue	Prior to Occupancy of Building 22	Completed	
TRA-5.1 (b) Bicycle Connections: Northbound access	Prior to Occupancy of Building 22	In Progress	Pre-construction requirements completed; Construction outstanding

All required infrastructure-based mitigation measures from the Campus Expansion Project are on schedule. Improvements required prior to occupancy of Building 21 have been construction/implemented.

### Impact on City Resources

Facebook is required to pay all costs associated with this review to fully cover the cost of staff time spent on the review of these projects.

### Environmental Review

The California Environmental Quality Act (CEQA) requires that activities which meet the definition of a Project be evaluated for their potential impacts on the environment. The Annual Review of the Development Agreements has no potential to result in an impact to the environment and does not meet the definition of a Project under CEQA; as a result, no environmental review or determination is needed. The environmental impacts of the original East and West Campus projects and their associated development agreements were evaluated and considered at the time projects were initially approved by the City in 2012, 2013, 2016, and 2017 respectively.

## **Public Notice**

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting.

## **Attachments**

- A. Recommended Actions
- B. East Campus Development Agreement One-Time Action Status
- C. East Campus Development Agreement Ongoing Activities Status
- D. West Campus Development Agreement One-Time Action Status
- E. West Campus Development Agreement Ongoing Activities Status
- F. Expansion Campus Development Agreement One-Time Action Status
- G. Expansion Campus Development Agreement Ongoing Activities Status

Report prepared by:

David Hogan, Contract Planner and Kyle Perata, Acting Principal Planner

Report reviewed by:

Deanna Chow, Assistant Community Development Director

Facebook Development Agreements – Attachment A: Recommended Actions

<b>LOCATION:</b> 1 Hacker Way, 1 Facebook Way, 300 Constitution Drive	<b>PROJECT NUMBER:</b> N/A	<b>APPLICANT:</b> Facebook, Inc.	<b>OWNER:</b> Facebook, Inc.
<b>REQUEST:</b> Make a determination that Facebook has made good faith efforts to implement the provisions of the three development agreements during the 2018 DA Review Year.			
<b>DECISION ENTITY:</b> Planning Commission	<b>DATE:</b> February 11, 2019	<b>ACTION:</b> TBD	
<b>VOTE:</b> TBD (Barnes, Doran, Goodhue, Kennedy, Onken, Riggs, Strehl)			
<b>ACTION:</b> <ol style="list-style-type: none"> <li>1. Make a finding that the Annual Review of the Development Agreements has no potential to result in an impact to the environment and does not meet the definition of a Project under the California Environmental Quality Act (CEQA).</li> <li>2. Make a finding that Facebook has implemented the provisions of its West Campus and Campus Expansion Development Agreements and associated amendments during the 2017 – 2018 Development Agreement Review Year.</li> <li>3. Continue the review of Facebook’s implementation of the provisions of its East Campus Development Agreement during the 2017 – 2018 Development Agreement Review Year to a future meeting.</li> </ol>			

ATTACHMENT B EAST CAMPUS DEVELOPMENT AGREEMENT ONE TIME ACTIONS OR IMPROVEMENTS				
DA Term	Task/Requirement/Action*	Timeline	Status	Notes
7.1	<u>Capital Improvement.</u> Facebook shall make a one-time payment of One Million One Hundred Thousand Dollars (\$1,100,000) to the City for the City's unrestricted use toward capital improvement projects.	Within 45 days of the satisfaction of the Conditions Precedent* (11/2/12).	Completed	
7.2.1	<u>Bicycle/Pedestrian.</u> Facebook shall perform one-time improvements to the Undercrossing above and beyond those described in the Project; including to the extent appropriate, preserving existing art and/or providing wall surfaces for invited artists to create mural art with the intent to create an "art gallery" experience for the pedestrians/bicyclists using the undercrossing. (See also East Campus CDP, Section 9)	Within 240 days of the satisfaction of the Conditions Precedent* (5/31/13).	Completed	
7.2.2	<u>Bicycle/Pedestrian.</u> Facebook shall perform restriping improvements for bicycle lanes to the following streets on a one-time basis:  (a) Willow Road and Middlefield Road intersection.  (b) Willow Road and U.S. 101 bridge – Green Lane Bicycle Striping.  (c) Willow Road between Hamilton Avenue and Bayfront Expressway.  (d) Willow Road between Newbridge Street and Ivy Drive.	Within 240 days of the satisfaction of the Conditions Precedent* (5/31/13).	Completed	Caltrans has not approved this improvement support these improvements. No further actions are possible, obligation satisfied.

\* The DA requirements listed here may be summarized; the complete terms are found in the recorded Development Agreement.

<b>ATTACHMENT B EAST CAMPUS DEVELOPMENT AGREEMENT ONE TIME ACTIONS OR IMPROVEMENTS</b>				
<b>DA Term</b>	<b>Task/Requirement/Action*</b>	<b>Timeline</b>	<b>Status</b>	<b>Notes</b>
	(e) Willow Road between O'Keefe Street and U.S. 101 (shared lane markings).		Completed	Caltrans did not approve the proposed improvements. No further action is possible, as a result, this obligation is satisfied.
7.2.3	<u>Bicycle/Pedestrian</u> . Facebook shall have a one-time obligation to investigate the possibility of making crosswalk improvements to the pedestrian crossings at the US 101 and Willow Road interchange.	Within 240 days of the satisfaction of the Conditions Precedent* (5/31/13).	Completed	Caltrans will not allow the proposed improvements. No additional action by Facebook is required.
7.2.4	<u>Bicycle/Pedestrian</u> . Facebook shall perform one-time improvements to publicly accessible walking paths, trails and levees in the immediate vicinity of the Property, subject to approval by the San Francisco Bay Conservation and Development Commission ("BCDC").	Within 240 days of the satisfaction of the Conditions Precedent* (5/31/13).	Completed	
7.3	<u>Business District</u> . Facebook will have a one-time obligation to investigate the possibility of creating a business improvement district in the Willow Road corridor between US 101 and Bayfront Expressway that includes the Property. If the business improvement district is feasible and the adjacent property owners are likewise interested in creating the business improvement district, Facebook shall initiate the process for creating the business improvement district.	Within three years of the satisfaction of the Conditions Precedent* (10/3/15).	Completed	Facebook conducted contacts with potentially effected business owner, there was no interest in establishing a business improvement district. Facebook has completed their obligation.

\* The DA requirements listed here may be summarized; the complete terms are found in the recorded Development Agreement.



<b>ATTACHMENT B EAST CAMPUS DEVELOPMENT AGREEMENT ONE TIME ACTIONS OR IMPROVEMENTS</b>			
<b>DA Term</b>	<b>Task/Requirement/Action*</b>	<b>Timeline</b>	<b>Status</b>
9.1	<p><u>Housing.</u> Facebook will explore opportunities to invest in low income tax credits for affordable housing projects in the City and the City of East Palo Alto, including partnering with a local non-profit housing developer(s) or contributing funds toward the creation of low, very-low or extremely-low income housing. Facebook shall report the results of its explorations to the City's Community Development Director upon the City's Community Development Director's written request. The decision of whether to make any investments will be in Facebook's sole and absolute discretion.</p>	Prior to February 6, 2026.	Completed
9.2	<p><u>Housing.</u> Facebook will contact a local real estate developer or local real estate developers interested in building housing projects in the City. Facebook in concert with the real estate developer(s) will explore ways to support housing projects, including, but not limited to investing capital, committing to leasing units or offering marketing opportunities to Facebook employees. Facebook shall report the conclusions from this collaborative effort to the City's Community Development Director upon the City's Community Development Director's written request. The decision of whether to provide any support will be in Facebook's sole and absolute discretion.</p>	Prior to February 6, 2026.	Completed
11.	<p><u>Bay Trail Gap.</u> Facebook will work with Bay Trail stakeholders, including, but not limited to Mid-peninsula Regional Open Space District, Association of Bay Area Governments (ABAG), the City of East Palo Alto and the City and County of San Francisco and appropriate members of the business community to close the Bay Trail Gap, commonly known as Gap No. 2092, which terminates at the railroad right-of-way on University Avenue.</p>	Prior to February 6, 2026.	Completed
			Facebook has collaborated with the St Anton's Housing Project and provided funding for Below Market Rate housing units.
			Facebook has written a letter to support the project and Measure A funds. Funds were received by ABAG. Facebook has indicated that they are committed to providing additional funding, as needed.

\* The DA requirements listed here may be summarized; the complete terms are found in the recorded Development Agreement.

**ATTACHMENT B  
EAST CAMPUS DEVELOPMENT AGREEMENT  
ONE TIME ACTIONS OR IMPROVEMENTS**

<b>DA Term</b>	<b>Task/Requirement/Action*</b>	<b>Timeline</b>	<b>Status</b>	<b>Notes</b>
12.	<u>Utility Undergrounding.</u> Facebook agrees to cooperate with the City in the City's efforts to underground existing electric transmission lines located in the vicinity of the property. However, neither the City nor Facebook will be obligated to provide funding for utility undergrounding.	Prior to February 6, 2026.	Conditional	No undergrounding project was initiated during this annual review period.
15.	<u>Adopt-a-Highway.</u> Facebook will adopt a roadway segment in the vicinity of the Property pursuant to Caltrans' Adopt-A-Highway Program. This commitment will be for a period of five years. If there are no segments available for adoption in the vicinity of the Property, Facebook's obligation shall be deferred until a segment becomes available.	Within 180 days of the satisfaction of the Conditions Precedent* (4/1/13).	Completed	Facebook has adopted the Bike trail along 84 from Dumbarton Bridge to Marsh Road and the Northbound and Southbound Willow/101 ramps. (Additional information is located in Attachment C.)
18.1	<u>Local Purchasing.</u> Facebook shall adopt a program to incentivize Facebook employees to frequent local businesses and continue such program for three years from the Effective Date.	July 5, 2015: Three year duration required from effective date.	Completed	The program operated for the required three year period. (This activity was previously listed as an ongoing action.)
22.1	<u>Sanitary Sewer System Upgrades.</u> Facebook shall purchase a third wastewater pump to be placed into reserve in case of pump failure at the Hamilton Henderson Pump Station. Within 120 days of the Effective Date of this Agreement, Facebook shall purchase a 3-Phase pump as approved by West Bay Sanitary District (WBSD).	Facebook shall post a bond equal to 120 percent of the cost of the wastewater pump within 30 days of the satisfaction of the Conditions Precedent* (11/2/12).	Completed	
22.2	<u>Sanitary Sewer System Upgrades.</u> Facebook shall upsize 114 feet of the existing 12-inch diameter pipeline that runs north along Hamilton Avenue, beginning at the Hamilton/Willow Road intersection, to a 15-inch diameter pipe and apply for a Class 3 permit from WBSD. Facebook shall post a bond equal to 200 percent of the estimated cost of the work within 30 days of the satisfaction of the Conditions Precedent	Within 90 days of the Effective Date of this Agreement (10/3/12)	Completed	

\* The DA requirements listed here may be summarized; the complete terms are found in the recorded Development Agreement.

Conditions Precedent. Facebook's and Owner's obligations are expressly conditioned on the resolution of all legal challenges, if any, to the EIR, the Project Approvals and the Project. If no litigation or referendum is commenced challenging the EIR, the Project Approvals and/or the Project, Facebook's and Owner's obligations will vest 90 days after the Effective Date, with the **effective date being July 5, 2012 and 90 days post that being October 3, 2012.** If litigation or a referendum is commenced challenging the EIR, the Project Approvals and/or the Project, then Facebook's and Owner's obligations will vest on the date of final, non-appealable resolution of all litigation in a manner that is reasonably acceptable to Facebook and Owner or resolution of the referendum in a manner that is reasonably acceptable to Facebook and Owner. The conditions described in this Section 6 shall, collectively, be referred to as the "Conditions Precedent".

\* The DA requirements listed here may be summarized; the complete terms are found in the recorded Development Agreement.

**ATTACHMENT C  
EAST CAMPUS DEVELOPMENT AGREEMENT  
ONGOING ACTIVITIES**

<b>DA Term</b>	<b>Task/Requirement/Action*</b>	<b>Timeline</b>	<b>Status</b>	<b>Notes</b>
5.	<u>Trip Cap</u> . Facebook shall adhere to the Trip Cap, details included in the Project Approved, and incorporated herein by this reference (CDP Requirement 7).	Within 180 days of CDP Approval.	In Progress	The City is receiving regular automated daily reports. Facebook is working with the City to finalize calibration on the combined trip caps for East and West campuses. City staff is reviewing the East Campus trips to determine the number of exceedances and also reviewing Facebook's proposed modifications to ensure compliance going forward.
8.	<u>Annual Payment</u> . During the term of this Agreement, Facebook and/or Owner shall make an annual payment ("Annual Payment") to the City in lieu of sales tax or other revenue that might otherwise accrue to the City if the Property was occupied by a sales tax producer. Task 8.1.2 is now in effect which requires that in each of the first five years beginning with the first payment on January 1, 2018, the amount of the Annual Payment shall be Nine Hundred Thousand (\$900,000).	Due on July 1 of each year from 2017 to 2021.	Completed	Payment was made on June 11, 2018.
10.	<u>Local Community Fund</u> . Facebook shall create a Local Community Fund ("LCF") in partnership with a non-profit partner to manage and administer the LCF and Facebook shall contribute Five Hundred Thousand Dollars (\$500,000) to the LCF. The purpose of the LCF will be to provide support for local community needs.	Within one year of the satisfaction of the Conditions Precedent* (10/3/13)	Completed	See continuing local community Fund payment under West Campus DA Term 8 on Attachment D.

\* The DA requirements listed here may be summarized; the complete terms are found in the recorded Development Agreement.

**ATTACHMENT C  
EAST CAMPUS DEVELOPMENT AGREEMENT  
ONGOING ACTIVITIES**

<b>DA Term</b>	<b>Task/Requirement/Action*</b>	<b>Timeline</b>	<b>Status</b>	<b>Notes</b>
13.1	<p><u>Internship Program</u>. Facebook will create a summer intern program for residents of the Ravenswood Elementary School District. The summer intern program will commence with an initial, pilot program, and then later, if successful, may be expanded, in Facebook's sole and absolute discretion, to include more participants and/or subject areas.</p>	No later than summer 2013	Completed	<p>The Seventh Facebook Academy was completed on August 3, 2018. Nineteen students graduated from the six-week program.</p> <p>The students represented the following schools:</p> <ul style="list-style-type: none"> <li>• East Palo Alto Academy</li> <li>• Menlo-Atherton High School</li> <li>• Eastside Prep</li> <li>• Everest Public High School</li> <li>• Summit Prep</li> <li>• Menlo School</li> <li>• Sacred Heart Prep</li> <li>• Middle College @ Cañada College</li> </ul>

\* The DA requirements listed here may be summarized; the complete terms are found in the recorded Development Agreement.

**ATTACHMENT C  
EAST CAMPUS DEVELOPMENT AGREEMENT  
ONGOING ACTIVITIES**

DA Term	Task/Requirement/Action*	Timeline	Status	Notes
13.2	<p><u>Encourage Local Jobs</u>. Facebook will work with a local training program to expand training services for residents of the City and the City of East Palo Alto. Facebook will also create an ongoing quarterly series of career development workshops to commence within one year of the satisfaction of the Conditions Precedent. The workshops will focus on topics such as resume writing, interviewing skills and how to find a job via social media, including Facebook. These workshops will take place in local community centers and/or other neighborhood sites. In addition, within one year of the satisfaction of the Conditions Precedent, Facebook will host a session, promoted in the Belle Haven neighborhood and East Palo Alto, on how to become a Facebook employee and to encourage contractors to hire City residents and residents of the City of East Palo Alto, Facebook will require future vendors to use reasonable efforts to notify residents of the City and the City of East Palo Alto when they are hiring new people to work at the Property in the facilities, culinary and construction trades. Vendors with existing contracts will be encouraged to use reasonable efforts to promote local hiring as openings become available. Facebook will also encourage campus vendors to host sessions on how to become an employee of their organization.</p>	<p>Within one year of the satisfaction of the Conditions Precedent* (10/3/13)</p>	<p>Completed</p>	<p>A Job Fair conducted a series of job workshops and fairs.</p> <p><u>Job Workshops:</u> Jan. (Resumes) –30 Attendees April (Communication) – 50 Attendees May (Resumes) – 20 Attendees June (Interviews) – #1: 20 Attendees, #2: 90 Attendees July (Resumes) – 20 Attendees Aug. (Interviews) – 15 Attendees Sept (Interviews) – 15 Attendees Nov. (Interviews) – 20 Attendees</p> <p><u>Job Fairs:</u> April – Community Fair - 54 Attendees Nov. – Fall Job Fair with EDD – 200+ Attendees</p> <p><u>Results:</u> 18 new FB hires 36 Contractor/Vendor hires 38 received job training and were placed in other jobs</p>

\* The DA requirements listed here may be summarized; the complete terms are found in the recorded Development Agreement.

**ATTACHMENT C  
EAST CAMPUS DEVELOPMENT AGREEMENT  
ONGOING ACTIVITIES**

DA Term	Task/Requirement/Action*	Timeline	Status	Notes
15.	<p><u>Adopt-a-Highway</u>. Facebook will adopt a roadway segment in the vicinity of the Property pursuant to Caltrans' Adopt-A-Highway Program. This commitment will be for a period of five years. If there are no segments available for adoption in the vicinity of the Property, Facebook's obligation shall be deferred until a segment becomes available. (Previously identified as a One Time Activity, it has been moved to Ongoing)</p>	<p>Within 180 days of the satisfaction of the Conditions Precedent* (4/1/13).</p>	<p>Completed</p>	<p>1. Bike trail along Highway 84. Litter removal and vegetation control done every three months  2. Northbound and Southbound Willow/101 ramps. Litter removal and vegetation control are on hold due to the overpass construction.</p>
16.1	<p><u>Environmental Education</u>. When performing work that might impact the San Francisco Bay, Facebook will hire an environmental consultant knowledgeable about the San Francisco Bay and associated marsh habitats to ensure that endangered species, particularly the Salt Marsh Harvest Mouse and Clapper Rail, are not harmed.</p>	<p>Prior to February 6, 2026.</p>	<p>Completed</p>	<p>Facebook has retained HT Harvey &amp; Associates to ensure compliance with this requirement.  WRA Environmental Consultants hired for bike/ped bridge project.</p>
16.2	<p><u>Environmental Education</u>. Facebook will cooperate with the Don Edwards San Francisco Bay National Wildlife Refuge ("Refuge") team and related nonprofit groups on habitat protection and restoration adjacent to the Property. Facebook will establish an ongoing, in-house point of contact for the Refuge, nonprofit groups and related agencies to ensure collaborative success.</p>	<p>Prior to February 6, 2026.</p>	<p>Completed</p>	<p>Lauren Swezey continues to be the point of contact, and meets periodically with the various stakeholders (Audubon, Citizens Committee to Complete the Refuge, US Fish &amp; Wildlife/ SFBNW Refuge, South Bay Salt Pond Restoration project, etc.) to discuss FB activities/projects.</p>

\* The DA requirements listed here may be summarized; the complete terms are found in the recorded Development Agreement.

**ATTACHMENT C  
EAST CAMPUS DEVELOPMENT AGREEMENT  
ONGOING ACTIVITIES**

<b>DA Term</b>	<b>Task/Requirement/Action*</b>	<b>Timeline</b>	<b>Status</b>	<b>Notes</b>
16.3	<u>Environmental Education</u> . Facebook will educate employees and visitors about the unique species next to the Property and their habitat requirements. Such education may include installing interpretive signage and/or hosting educational programs.	Prior to February 6, 2026. <ul style="list-style-type: none"> <li>• Earth Week 2018</li> </ul>	Completed	Facebook conducted the following activities: 1. Conducted periodic educational tours for our employees with the Audubon Society – First Friday of the month (ongoing throughout 2018). 2. Brought in One Tree Planted (a nonprofit that supports reforestation) to the MPK 20 Green Roof to teach employees about the importance of reforestation after the fires in Northern California. 3. San Francisco Bay Bird Observatory gave noontime walk in the marshland to talk to employees about endangered species and marsh birds.
16.4	<u>Environmental Education</u> . Facebook will engage in "wildlife-friendly" behavior, such as: (a) adopting policies requiring the trapping and removal of feral cats and the leashing of dogs when using trails located on the Property, (b) employing wildlife-safe rodent control measures, and (c) encouraging beneficial species.	Prior to February 6, 2026.	Completed	1. Feral Cat Trapping on the Levee Trail occurred in March, June, September and December. No feral cats were caught. 2. FB is using the least toxic approaches to rodent control, and do not trap for rodents near the bay trail.

\* The DA requirements listed here may be summarized; the complete terms are found in the recorded Development Agreement.



ATTACHMENT C EAST CAMPUS DEVELOPMENT AGREEMENT ONGOING ACTIVITIES				
DA Term	Task/Requirement/Action*	Timeline	Status	Notes
				3. FB is planting beneficial plant species growth on the bay trail through hand weeding and by avoiding removal of native plants.
17.1	<u>On-going Environmental Commitments.</u> When performing landscape improvements, Facebook and/or Owner will minimize (or require the minimization of) potential stormwater runoff through the use of appropriate techniques, such as grassy swales, rain gardens and other Low Impact Development (LID) measures.	Prior to February 6, 2026.	Conditional	Facebook has not initiated any landscape improvements which would trigger this requirement.
17.2	<u>On-going Environmental Commitments.</u> If Facebook and/or Owner installs at the Property new windows or new window treatments on windows facing the parking lot or the San Francisco Bay, Facebook and/or Owner will select (or require the selection of) windows and window treatments that minimize impacts of light pollution and risk of collision to birds.  If Facebook and/or Owner installs new lighting in the parking lot at the Property, Facebook and/or Owner will use (or require the use of) then available best practices to design and shield that new lighting so as to confine direct rays to the Property and not out into the adjacent areas of the San Francisco Bay.	Prior to February 6, 2026.	Conditional	Facebook has not initiated the replacement of any new windows which would trigger this requirement.

\* The DA requirements listed here may be summarized; the complete terms are found in the recorded Development Agreement.

**ATTACHMENT C  
EAST CAMPUS DEVELOPMENT AGREEMENT  
ONGOING ACTIVITIES**

<b>DA Term</b>	<b>Task/Requirement/Action*</b>	<b>Timeline</b>	<b>Status</b>	<b>Notes</b>
17.3	<u>On-going Environmental Commitments.</u> Except for the existing basketball court, Facebook and/or Owner will not create (or permit the creation of) any lighted playing field on the perimeter of the site that abuts the San Francisco Bay. Facebook and/or Owner will require the lights on the existing basketball court to be controlled so that the court is dark except when in use.	Prior to February 6, 2026.	Conditional	Facebook has not initiated any lighting improvements which would trigger this requirement.
17.4	<u>On-going Environmental Commitments.</u> If Facebook and/or Owner installs new building roofs, window ledges, parking lot light poles or landscaping changes, Facebook and/or Owner will use (or require use of) then available best practices to ensure that the new building roofs, window ledges, parking lot light poles or landscaping changes do not create sites for predatory bird species to roost or nest.	Prior to February 6, 2026.	Conditional	Facebook has not initiated any improvements which would trigger this requirement.
17.5	<u>On-going Environmental Commitments.</u> When performing landscape improvements to those portions of the Property that abut the San Francisco Bay, Facebook and/or the Owner will consult with (or require consultation with) a qualified environmental consultant familiar with California native plant communities and select (or require the selection of) suitable native plants for landscaping.	Prior to February 6, 2026.	Completed	Facebook continues to utilize landscape architects and wildlife biologists from HT Harvey & Associates on all exterior landscape renovations.

\* The DA requirements listed here may be summarized; the complete terms are found in the recorded Development Agreement.

**ATTACHMENT C  
EAST CAMPUS DEVELOPMENT AGREEMENT  
ONGOING ACTIVITIES**

<b>DA Term</b>	<b>Task/Requirement/Action*</b>	<b>Timeline</b>	<b>Status</b>	<b>Notes</b>
18.2	<u>Local Purchasing.</u> When purchasing goods that can be sourced locally, Facebook shall endeavor to purchase goods from vendors located in the City if the quality, price, terms and conditions are competitive.	Prior to February 6, 2026.	Completed	According to Facebook, the following are some of the local businesses were patronized.  In Menlo Park: American Printing, Back-A-Yard, BrightView Landscape Services, Inc., Cafe Borrones, Cafe Zoe, Dashi, Donut Delite, Eric's Gourmet Food & Catering, Five Star Pizza, Jonathan's Fish & Chips, Lulu's Mexican Food, Mi Taqueria, SAJJ Mediterranean, Starbucks, Togos, and Willows Market.  In East Palo Alto: Cardenas Market, Mi Cazuela, and Three Brothers Tacos.
18.3	<u>Local Purchasing.</u> When engaging vendors to provide on-site services to employees (e.g., chiropractic services), Facebook shall endeavor to engage vendors that are located in the City if their services satisfy Facebook's needs and the quality, price, terms and conditions are competitive.	Prior to February 6, 2026.	Completed	Facebook indicates that they continue to evaluate all local vendors and hire locally when feasible. Many are smaller vendors that have difficulty managing large scale projects.
18.4	<u>Local Purchasing.</u> If the Menlo Gateway project is developed, Facebook will consider adding the hotel built as part of that project to its list of preferred hotels for visitors.	Prior to February 6, 2026.	Completed	The hotel in the Menlo Gateway Project is open and employees are using the restaurant and hotel facility. This hotel is FB's preferred hotel.

\* The DA requirements listed here may be summarized; the complete terms are found in the recorded Development Agreement.

**ATTACHMENT C  
EAST CAMPUS DEVELOPMENT AGREEMENT  
ONGOING ACTIVITIES**

<b>DA Term</b>	<b>Task/Requirement/Action*</b>	<b>Timeline</b>	<b>Status</b>	<b>Notes</b>
19.	<u>Transportation Demand Management Information Sharing.</u> To help mitigate regional traffic, Facebook agrees to share its Transportation Demand Management best practices with other interested Silicon Valley companies that request such information from Facebook.	Ongoing through to February 6, 2026.	Completed	The Transportation Team regularly shares information through the Bay Area Council or Silicon Valley Leadership Group. At other times, they share directly with their TDM peers at other companies.
20.	<u>Volunteerism.</u> Facebook will actively promote local volunteer opportunities in the City and the City of East Palo Alto to all its employees. Such promotion shall include the creation of an internal Facebook page for the posting of volunteer opportunities. Facebook will host a "Local Community (Non-Profit) Organization Fair" on the Property.	Annually through February 6, 2026.	Completed	Facebook held a Local Community Organization (Volunteer) Fair held on campus for employees on Nov 27, 2018. Sixteen local nonprofits visited campus and had interactions with about 115 employees. Rainy weather limited the turn out since the Fair had to be held indoors.

Conditions Precedent. Facebook's and Owner's obligations are expressly conditioned on the resolution of all legal challenges, if any, to the EIR, the Project Approvals and the Project. If no litigation or referendum is commenced challenging the EIR, the Project Approvals and/or the Project, Facebook's and Owner's obligations will vest 90 days after the Effective Date, with the **effective date being July 5, 2012 and 90 days post that being October 3, 2012**. If litigation or a referendum is commenced challenging the EIR, the Project Approvals and/or the Project, then Facebook's and Owner's obligations will vest on the date of final, non-appealable resolution of all litigation in a manner that is reasonably acceptable to Facebook and Owner or resolution of the referendum in a manner that is reasonably acceptable to Facebook and Owner. The conditions described in this Section 6 shall, collectively, be referred to as the "Conditions Precedent".

\* The DA requirements listed here may be summarized; the complete terms are found in the recorded Development Agreement.

**ATTACHMENT D  
WEST CAMPUS DEVELOPMENT AGREEMENT  
ONE TIME ACTIONS OR IMPROVEMENTS**

DA Term	Task/Requirement/Action*	Timeline	Status	Notes
6.	<p><u>Capital Improvements.</u> Within 60 days of the later of (a) City sign off on final building permits allowing occupancy of the West Campus by Owner and (b) Owner's receipt of City's request for payment, Owner shall make a one-time payment of \$100,000 to the City for the City's unrestricted use toward capital improvement projects that benefit the adjacent Belle Haven neighborhood.</p>	<p>Payable within 60 days of Certificate of Occupancy.</p>	<p>Completed</p>	<p>Paid on June 22, 2015.</p>
7.3.1	<p><u>Sales and Use Taxes.</u> For all construction work performed on the project, should include a provision in all construction contracts for \$5 million or more to record a sub-permit from CA State Board of Equalization to book and record construction materials purchases/sales as sales originating in the City</p>	<p>Throughout duration of construction through occupancy (not applicable to future remodeling or construction).</p>	<p>Completed</p>	
7.3.2	<p><u>Sales and Use Taxes.</u> From the purchase of furnishings, equipment and personal property for initial occupancy of the building, owner shall maximize sales and use taxes to be received by the City.</p>	<p>Applicable throughout the duration of construction and initial occupancy (not applicable to future remodeling or construction).</p>	<p>Completed</p>	<p>Facebook indicated that they have paid over \$277,000 through the Second Quarter of 2015.</p>
8.	<p><u>Local Community Fund.</u> Facebook shall contribute an additional \$100,000 to the Local Community Fund within one year of occupancy. However, if the fund is depleted at the time the owner receives a core and shell permit, owner shall make a payment within 6 months of conditions precedent.</p>	<p>Within one year of final building permit sign-off, or sooner if the fund is depleted at the time the owner receives a core and shell permit.</p>	<p>Completed</p>	<p>Facebook provided an additional \$100,000 in 2017 and distributed \$122,000 to 37 non-profit organizations 2017.</p>

\* The DA requirements listed here may be summarized; the complete terms are found in the recorded Development Agreement.

**ATTACHMENT D  
WEST CAMPUS DEVELOPMENT AGREEMENT  
ONE TIME ACTIONS OR IMPROVEMENTS**

DA Term	Task/Requirement/Action*	Timeline	Status	Notes
10.	<p><u>Design and Environment.</u></p> <p>Use of Gehry Partners as Architect of record.</p> <p>The green roof shall be designed consistent with project approvals.</p> <p>Owner will design building to be LEED Gold equivalency.</p>	<p>Prior to approval of the building plans for the West Campus.</p>	<p>Completed</p>	<p>Gehry Partners is the architect of record on the project.</p> <p>Core and shell permit approved in 2014 incorporated roof landscaping designs consistent with original approval.</p> <p>LEED Report indicated the building achieved LEED Gold.</p>

\* The DA requirements listed here may be summarized; the complete terms are found in the recorded Development Agreement.

**ATTACHMENT E  
WEST CAMPUS DEVELOPMENT AGREEMENT  
ONGOING ACTIVITIES**

<b>DA Term</b>	<b>Task/Requirement/Action*</b>	<b>Timeline</b>	<b>Status</b>	<b>Notes</b>
7.1	<u>Recurring Public Benefits Payment</u> - \$150,000/year	Payments are due on July 1 beginning after building occupancy is approved and continue for 10 years.	Completed	Paid on September 11, 2018.
7.2	<u>Property Tax Guarantee</u> . Facebook shall pay the City the positive difference between the projected assessed value and property tax collected.	Payment due the first tax fiscal year following the initial reassessment of the property and shall continue for 10 years.	Completed	According to the County Assessor, the assessed value of the site and building exceeds the \$230 million assessed value threshold. No additional payment is required.
9.	<u>Recycling</u> . Facebook agrees to use the City's franchisee for all trash and recycling services, provided the price is the same as that charged to other commercial users in the City.	For lifetime of development agreement (February 6, 2026).	Completed	Recology is providing trash and recycling services to the West Campus.
11.	<u>Public Access</u> . public access shall be permitted on the landscaped area adjacent to the undercrossing (in addition to the dedicated access easement).	For lifetime of development agreement (February 6, 2026).	Completed	The undercrossing and connecting pathways remain open for public use.
12.	<u>Future Pedestrian/Bike Access</u> . If a public transit agency provides service proximate to the West Campus, and locates a stop near Willow Road and the rail spur and there is not a convenient alternative to service adjacent properties, owner will work with City to explore a bike/pedestrian route on the West Campus.	For lifetime of development agreement (February 6, 2026).	Conditional	Additional transit service in proximity to the West Campus is has not been established. No action required.
13.	<u>Facebook East Campus Benefits</u> . If some of the commitments under the East Campus DA terminate, they shall be required under the West Campus Development Agreement.	Until the earlier of (i) Owner and Facebook vacate WC, or (ii) February 6, 2026.	Conditional	East Campus Development Agreement still in effect, this requirement is not applicable for the 2017-2018 period.

\* The DA requirements listed here may be summarized; the complete terms are found in the recorded Development Agreement.

ATTACHMENT F WEST EXPANSION CAMPUS DEVELOPMENT AGREEMENT ONE TIME ACTIONS OR IMPROVEMENTS					
DA Term	Task/Requirement/Action*	Timeline	Status	Notes	
6.6.1A	<u>Sales and Use Taxes, Building 21.</u> For all construction work performed on the project, should include a provision in all construction contracts for \$5,000,000 or more to record a sub-permit from CA State Board of Equalization to book and record construction materials purchases/sales as sales originating in the City throughout duration of construction through occupancy. <sup>1</sup>	Applicable throughout duration of construction through occupancy (not applicable to future remodeling or construction).	Completed	Facebook has been working with the City's consultant to ensure maximum possible use tax is collected from construction materials.	
6.6.1B	<u>Sales and Use Taxes, Building 22.</u> For all construction work performed on the project, should include a provision in all construction contracts for \$5,000,000 or more to record a sub-permit from CA State Board of Equalization to book and record construction materials purchases/sales as sales originating in the City throughout duration of construction through occupancy. <sup>1</sup>	Applicable throughout the duration of construction and initial occupancy (not applicable to future remodeling or construction).	In Progress	Facebook has been working with the City's consultant to ensure maximum possible use tax is collected from construction materials.	
6.6.1C	<u>Sales and Use Taxes, Hotel.</u> For all construction work performed on the project, should include a provision in all construction contracts for \$5,000,000 or more to record a sub-permit from CA State Board of Equalization to book and record construction materials purchases/sales as sales originating in the City throughout duration of construction through occupancy. <sup>1</sup>	Applicable throughout duration of construction through occupancy (not applicable to future remodeling or construction or to future sales or transient occupancy taxes).	Conditional	No construction has started on the Hotel.	

\* The DA requirements listed here may be summarized; the complete terms are found in the recorded Development Agreement.



ATTACHMENT F WEST EXPANSION CAMPUS DEVELOPMENT AGREEMENT ONE TIME ACTIONS OR IMPROVEMENTS				
DA Term	Task/Requirement/Action*	Timeline	Status	Notes
7.1.1	<u>Dumbarton Transportation Corridor Study</u> . Facebook has committed \$1,000,000 in funding to SamTrans to conduct the Dumbarton Transportation Corridor Study. The purpose of the study is to evaluate ways to improve the existing rail line as a multi-modal transit corridor.	Completed in December 2017	Completed	
7.1.2	<u>Funding Recommendations from Dumbarton Transportation Corridor Study</u> . Facebook agrees to fund future recommendations arising from the Dumbarton Transportation Corridor Study in the amount of up to \$1,000,000. Facebook shall evaluate the recommendations contained in the Dumbarton Transportation Corridor Study and provide a written proposal identifying recommendations for how the Dumbarton Corridor Funding should be allocated for review by the City Manager or his or her designee.	Within 90 days after SamTrans publishes the final version of the Dumbarton Transportation Corridor Study, submit proposal for review of City Manager. Within 60 days of occupancy of Building 21 or City's approval make funding available	Completed	Facebook has provided funding for CEQA/NEPA evaluations of the preferred alternative from the Dumbarton Corridor Study. Environmental review is in progress.
7.1.3	<u>Dumbarton Rail Trail Study</u> . Facebook has committed \$700,000 in funding to SamTrans for the pre-design and environmental clearance of a pedestrian/bicycle path between East Palo Alto and the Redwood City Caltrain Station.		Completed	
7.1.4	<u>Transportation Management Association Feasibility and Implementation Strategy</u> . Facebook agrees to make a one-time payment in the amount of \$100,000 to the City to be set aside in a special fund and earmarked for the development of a Transportation Management Association Feasibility and Implementation Strategy study ("TMA Study").	Such payment shall be required within sixty days of the City's request for payment.	Completed	Facebook made payment to the City in November 2017 at the request of the City to begin the TMA feasibility study process.

\* The DA requirements listed here may be summarized; the complete terms are found in the recorded Development Agreement.

ATTACHMENT F WEST EXPANSION CAMPUS DEVELOPMENT AGREEMENT ONE TIME ACTIONS OR IMPROVEMENTS				
DA Term	Task/Requirement/Action*	Timeline	Status	Notes
7.1.5	<u>Regional Transportation Forum</u> . Facebook shall sponsor a forum in partnership with officials from the City, East Palo Alto, San Mateo County, and Santa Clara County to consider and evaluate innovative ways that the recommendations of the Dumbarton Transportation Corridor Study may be executed with minimal delays. Facebook shall commit \$1,000,000 in funding to sponsor this forum.	Commence the process of facilitating this forum within six months of the date the final version of Dumbarton Corridor Study and convene the forum within two years of starting the process.	In Progress	Forum should be convened before July 2020.
7.1.6	<u>Chilco Streetscape Improvements (Phases 3 and 4)</u> . Facebook shall complete certain capital improvements associated with Phases 3 through 4 of the Chilco Streetscape Improvements at its sole cost. Facebook shall coordinate the design of the Chilco Streetscape Improvements with the City and shall provide detailed plans and specifications for construction of the improvements to the City for final review and approval. Facebook shall pay for and cause the construction of the Improvements:  (1) Complete the Phase 3a and 3b improvements; and  (2) Complete the Phase 4A and 4B improvements.	Prior to the City's final building inspection of Building 21  Prior to the date of the City's final building inspection of Building 22	In Progress	Phase 3a and 3b have not been completed. Facebook and the City have been discussing the overall design and implementation of the Chilco Street Frontage Improvements and have combined multiple phases. Most of the improvements, including 3a and 3b are anticipated to be completed by the end of 2019, prior to completion of Building 22.

\* The DA requirements listed here may be summarized; the complete terms are found in the recorded Development Agreement.

ATTACHMENT F WEST EXPANSION CAMPUS DEVELOPMENT AGREEMENT ONE TIME ACTIONS OR IMPROVEMENTS				
DA Term	Task/Requirement/Action*	Timeline	Status	Notes
7.1.7	<p><u>Chilco Streetscape Improvements (Phases 5 and 6).</u> Facebook shall also complete certain capital improvements associated with Phases 5 and 6 of the Chilco Streetscape Improvements, at its sole cost. Facebook shall be entitled to a credit against any construction road impact fees imposed on the Project in an amount equal to the actual costs of constructing Phases 5 through 6. Subject to the City Manager's approval of the design for Phases 5 and 6 of the Chilco Streetscape Improvements. If permits or approvals are required from outside agencies and such permits or approvals delay issuance of permits or completion of construction, or if construction is delayed for reasons beyond Facebook's reasonable control, then Facebook shall have such additional time to complete such capital improvements as may be reasonably necessary resulting from such delays beyond Facebook's reasonable control.</p>	<p>Schedule will be mutually determined agreed upon by Facebook and the City. The schedule has not yet been established.</p>	<p>In Progress</p>	<p>Anticipated to be completed by End of 2019.</p>

\* The DA requirements listed here may be summarized; the complete terms are found in the recorded Development Agreement.

ATTACHMENT F WEST EXPANSION CAMPUS DEVELOPMENT AGREEMENT ONE TIME ACTIONS OR IMPROVEMENTS				
DA Term	Task/Requirement/Action*	Timeline	Status	Notes
8.1.1	<u>Housing Inventory and Local Supply Study</u> . Facebook agrees to collaborate with officials and local stakeholders in the City and East Palo Alto to conduct a Housing Inventory and Local Supply Study to assess the conditions, occupancy, and resident profiles of residents living in the immediate vicinity of the Property (including, but not limited to Belle Haven, Fair Oaks and the City of East Palo Alto). Facebook agrees to fund up to \$350,000 for the study and shall be responsible for selecting a qualified consultant to undertake the study.	Within thirty days of satisfaction of the Conditions Precedent, and shall use diligent good faith efforts to complete the study within eighteen months from commencement. Within thirty days of completion of the study, Facebook shall provide a copy of the study to the City Manager of the City of Menlo Park and the City Manager of the City of East Palo Alto.	In Progress	Facebook has partnered with UC Berkeley Center for Cities & Schools YPLAN and UC Berkeley has engaged local students to conduct research within their communities. The Community based approach extended the timeline, with final presentation/work from the students anticipated to be completed in April 2019 and final report delivered to the City in August 2019.
8.1.2	<u>Housing Innovation Fund</u> . Facebook shall establish a Housing Innovation Fund to identify near-term actions that may be taken within the local community (including Belle Haven and East Palo Alto) as a direct outcome of the Housing Inventory and Local Supply Study. Facebook shall commit \$1,500,000 to establish the Housing Innovation Fund and provide seed funding for near-term implementation actions.	Prior to completion of the Housing Inventory and Local Supply Study described in Section 8.1.1.	Conditional	Required prior to completion of the Housing Inventory and Local Supply Study. Facebook will need to begin the background work to create the fund prior to August 2019 to allow for implementation directly after final study received by the City.

\* The DA requirements listed here may be summarized; the complete terms are found in the recorded Development Agreement.

ATTACHMENT F WEST EXPANSION CAMPUS DEVELOPMENT AGREEMENT ONE TIME ACTIONS OR IMPROVEMENTS				
DA Term	Task/Requirement/Action*	Timeline	Status	Notes
8.1.3	<u>Affordable Housing Preservation Pilot Program.</u> Facebook shall work in partnership with a reputable non-profit affordable housing partner to create and/or provide funding for a Housing Preservation pilot project. Within one year of satisfaction of the Conditions Precedent, Facebook shall identify an appropriate non-profit affordable housing partner and contribute \$1,000,000 towards a suitable Housing Preservation pilot project, to be determined by Facebook at Facebook's sole and absolute discretion.	Within one year of satisfaction of the Conditions Precedent.	In Progress	Facebook evaluated a Secondary Dwelling Unit project for approximately one year but determined it wasn't appropriate for the Affordable Housing Preservation Fund; evaluated a potential acquisition project for multiple months, which fell through; Facebook is considering partnering with LISC to implement the Pilot Program, pending authorization from the City.
8.1.5	<u>Use of BMR Housing Fees.</u> Facebook will be entering into a Below Market Rate ("BMR") Housing Agreement with the City to satisfy the requirements under Chapter 16.96 of the City's Municipal Code. As part of the implementation of the BMR Housing Agreement, Facebook shall use diligent good faith efforts to identify opportunities to partner with a non-profit housing organization in order to leverage the use of BMR housing fees payable in connection with the Project to develop the maximum number of units.	Concurrent with the recordation of the Development Agreement and BMR Agreement.	In Progress	First payment or delivery of units due within two years of date City issues first building permit for each building. Facebook and the City are discussing the possibility of using these funds to increase the number of BMR units for a future project, including the pending Willow Village project.

\* The DA requirements listed here may be summarized; the complete terms are found in the recorded Development Agreement.

ATTACHMENT F WEST EXPANSION CAMPUS DEVELOPMENT AGREEMENT ONE TIME ACTIONS OR IMPROVEMENTS				
DA Term	Task/Requirement/Action*	Timeline	Status	Notes
8.1.6	<u>Commitment to Design Housing Units Pending Completion of General Plan Update.</u> Subject to completion and approval of the pending ConnectMenlo process. Facebook shall commit to the planning and design of at least 1,500 housing units on the approximately 56-acre site known as the Menlo Science & Technology Park. Facebook further agrees that any future application to develop residential units will include a commitment to include no less than 15% BMR units and/or workforce housing units.	Subject to completion and approval of the ConnectMenlo General Plan Update	In Progress	Willow Campus Masterplan submitted on July 6, 2017 with 1,500 housing units proposed.
9.1.4	<u>Bedwell Bayfront Park Maintenance.</u> Facebook shall contribute \$1,000,000 to the Bedwell Bayfront Park Maintenance Fund for maintenance and operation.	Within one year of satisfaction of the Conditions Precedent	Completed	
9.2	<u>Design and Environmental Commitments.</u> Owner will design building to be LEED Gold equivalency or better. Enhanced soil remediation/cleanup measures consistent with the Soil Management Plan for the Property.	Prior to final sign-off on building permit for the Project	In Progress	
9.2.1	When performing work that might affect the bay lands, Facebook will hire environmental consultant to ensure that endangered species are not harmed	Concurrent to and during construction of Project	In Progress	
9.2.5	Facebook will use best practices to ensure building elements do not create sites for predatory bird species to roost or nest.	Concurrent to and during construction of Project/Ongoing	In Progress	
9.2.6	Fund seasonal docent for two year for the Don Edwards National Wildlife Refuge	Within 90 days of completion of the bridge improvements	Conditional	

\* The DA requirements listed here may be summarized; the complete terms are found in the recorded Development Agreement.

**ATTACHMENT F  
WEST EXPANSION CAMPUS DEVELOPMENT AGREEMENT  
ONE TIME ACTIONS OR IMPROVEMENTS**

DA Term	Task/Requirement/Action*	Timeline	Status	Notes
9.2.7A	<p><u>Recycled Water System</u>. Contributions to Future District-Wide Recycled Water Systems. Facebook agrees to use diligent good faith efforts to install a recycled water system on the Property to serve Buildings 21 and 22. (If Facebook is unable to obtain all permits necessary to construct and operate an on-site recycled water system Facebook agrees to: (a) connect the office buildings to any future recycled water system for landscaping and non-potable uses for Buildings 21 and 22, (b) offer to provide the Recycled Water Purveyor with initial funding not to exceed \$1,500,000 to finance the development and construction of a recycled water system capable of serving the Project in exchange for a credit against future capital expense charges, and (c) if the Recycled Water Purveyor's does not accept Facebook's offer to provide initial financing Facebook shall pay reasonable proportionate share of Recycled Water Purveyor's costs of developmeing and/or implementing the system.)</p> <p>If the Recycled Water Purveyor develops an area-wide recycled water system serving multiple properties in the Bayfront Area, Facebook agrees that any applications submitted by Facebook or its affiliates to develop buildings (other than the buildings proposed as part of the Project) in the Bayfront Area will include a commitment to pay a reasonable proportionate share of the Recycled Water Purveyor's costs of developing and/or implementing the system in a manner consistent with conditions imposed on other similarly situated projects in the Bayfront Area.</p>	Concurrent with construction of Building 21	In Progress	

\* The DA requirements listed here may be summarized; the complete terms are found in the recorded Development Agreement.

**ATTACHMENT F  
WEST EXPANSION CAMPUS DEVELOPMENT AGREEMENT  
ONE TIME ACTIONS OR IMPROVEMENTS**

DA Term	Task/Requirement/Action*	Timeline	Status	Notes
9.2.7B	Facebook agrees to contribute \$25,000 in seed funding to the City to conduct feasibility studies for a Bayfront Area-wide recycled water system.	Within sixty days of the occupancy of Building 21.	Completed	

1. This requirement was originally described as ongoing since it applied to three buildings. But because each building is a discrete construction event, these items have been classified as one-time actions for the purpose of this evaluation.

\* The DA requirements listed here may be summarized; the complete terms are found in the recorded Development Agreement.



**ATTACHMENT G  
WEST CAMPUS EXPANSION DEVELOPMENT AGREEMENT  
ONGOING ACTIVITIES**

DA Term	Task/Requirement/Action*	Timeline	Status	Notes
6.1	<u>Recurring Public Benefit Payment.</u> Within sixty days of the later of: (a) City sign off on final building permits allowing occupancy of Building 21 by Facebook or (b) Facebook’s receipt of City’s request for payment, Facebook will commence making an annual payment of \$300,000 per year to the City.	Payments are due on July 1 beginning after building occupancy is approved and continue for 20 years.	Completed	First payment made September 11, 2018
6.2	<u>Interim In-Lieu Sales Tax Payment.</u> Within sixty days of the later of: (a) City sign off on final building permits allowing occupancy of Building 21 by Facebook or (b) Facebook’s receipt of City’s request for payment, Facebook will commence making an annual payment of \$336,000 per year to the City. Facebook shall continue to make annual Interim In-Lieu Sales Tax Payment until the Guarantee Commencement Date, defined in Section 6.3.1.	Payments are due on July 1 beginning after building occupancy is approved For Building 21 and until the Guarantee Commencement Date years	Completed	First payment made August 14, 2018.
6.3	<u>Hotel TOT Guarantee Payments.</u> Beginning on the Guarantee Commencement Date and throughout the Guarantee Payment Period, Facebook shall guarantee TOT payments to the City in the amount of the Revenue Benchmark (\$1.25 million) and shall pay to the City the TOT Guarantee Payments to the extent required under, and on the terms and conditions contained in, this Section 6.3. Facebook shall receive a credit against the Revenue Benchmark for Hotel Revenue received by the City during the Guarantee Payment Period, as defined in Section 6.3.1. (The negative difference, if any, between the Revenue Benchmark and the Hotel Revenue is the “TOT Guarantee Payment.”)	Payment due on July 1 following the second full fiscal year from Guarantee Commencement Date and shall continue for 39 years.	Conditional	The Guarantee Commencement Date has not occurred.
6.3.7	<u>Transient Occupancy Tax.</u> Applicable tax rate for the hotel shall be set one basis point higher than the applicable TOT rate for the City.	Concurrent with the commencement of operations for the hotel	Conditional	

\* The DA requirements listed here may be summarized; the complete terms are found in the recorded Development Agreement.

**ATTACHMENT G  
WEST CAMPUS EXPANSION DEVELOPMENT AGREEMENT  
ONGOING ACTIVITIES**

<b>DA Term</b>	<b>Task/Requirement/Action*</b>	<b>Timeline</b>	<b>Status</b>	<b>Notes</b>
6.4.1	<u>Property Tax Guaranty.</u> Facebook agrees to provide an independent property tax guaranty with respect to Building 21 such that the value of the Property, improvements only, following completion of the Project will be at least \$325,000,000. <sup>1</sup>	Payment due the first tax fiscal year following the initial reassessment of the property and shall continue for 39 years.	Conditional	Building 21 has not been reassessed yet.
6.4.2	<u>Property Tax Guaranty.</u> Facebook agrees to provide an independent property tax guaranty with respect to Building 22 such that the value of the Property, improvements only, following completion of the Project will be at least \$305,000,000. <sup>1</sup>	Payment due the first tax fiscal year following the initial reassessment of the property and shall continue for 39 years.	Conditional	Building 22 construction is not complete at this time.
6.4.3	<u>Property Tax Guaranty.</u> Facebook agrees to provide an independent property tax guaranty with respect to Hotel such that the value of the Property, improvements only, following completion of the Project will be at least \$70,000,000. <sup>1</sup>	Payment due the first tax fiscal year following the initial reassessment of the property and shall continue for 39 years.	Conditional	The hotel has not been constructed or occupied.
6.5	<u>Utility User's Tax Cap.</u> Facebook agrees to pay the City all Utility User's Taxes for the Property, including Building 20.	January 1, 2017 (earlier for January 1 or July 1 following the Effective Date.	Completed	The Utility User's Tax has been paid on utility bills. City staff reviewing to ensure full payment without the cap collected.
8.1.4	<u>Workforce Housing Fund Pilot Program.</u> Facebook agrees to commit up to \$430,000 per year for five years (up to a total of \$2,150,000) for the program, which represents an average subsidy of \$1,628 per unit per month.	Within one year of satisfaction of the Conditions Precedent.	Completed	Currently in the second year of the subsidized leases.

\* The DA requirements listed here may be summarized; the complete terms are found in the recorded Development Agreement.

**ATTACHMENT G  
WEST CAMPUS EXPANSION DEVELOPMENT AGREEMENT  
ONGOING ACTIVITIES**

<b>DA Term</b>	<b>Task/Requirement/Action*</b>	<b>Timeline</b>	<b>Status</b>	<b>Notes</b>
9.1.1	<u>Belle Haven Community Pool Maintenance and Operations.</u> Facebook shall contribute an initial \$60,000 to the City to be applied exclusively for operating and maintenance costs for the community pool at the Onetta Harris Community Center, and shall make an additional contribution of \$60,000 on July 1 of each of the following four calendar years to the City for the same purpose.	Within one year of satisfaction of the Conditions Precedent.	Completed	Yearly commitment of \$60,000. Payment for 2018 made in April.
9.1.2	<u>Local Scholarship Program.</u> Facebook shall establish, or shall partner with an appropriate organization to establish, an educational scholarship program to provide financial assistance for young residents of the City and East Palo Alto for ten years, and shall contribute \$100,000 per year for ten years in scholarship funds.	Within one year of satisfaction of the Conditions Precedent.	Completed	Second payment made in June 2018.
9.1.3	<u>Local Community Fund.</u> Facebook shall contribute an additional \$100,000 to the Local Community Fund (“LCF”) previously established and funded by Facebook, and shall continue to contribute \$100,000 per year to the LCF for a total period of ten years. After the ten (10) year period is complete, Facebook will consider whether to provide additional funding for the LCF.	Within one year of satisfaction of the Conditions Precedent.	Completed	Second funding payment made in June 2018.
9.1.5	<u>Public Open Space; Multi-Use Bridge Facility; Public Access.</u> Facebook shall construct, operate, and maintain a new two-acre publicly accessible open space and safe multi-use pedestrian/bicyclist bridge across the Bayfront Expressway as shown on the approved plans and in the Project Approvals for public use as provided for in the CDP.		In Progress	Delivery of open space and construction of bicycle and pedestrian bridge prior to Occupancy of Building 22. Construction permits in for plan check with the City for the bridge.

\* The DA requirements listed here may be summarized; the complete terms are found in the recorded Development Agreement.

**ATTACHMENT G  
WEST CAMPUS EXPANSION DEVELOPMENT AGREEMENT  
ONGOING ACTIVITIES**

DA Term	Task/Requirement/Action*	Timeline	Status	Notes
	<p>Construct, operate and maintain the multi-use pedestrian/ bicyclist bridge. At the end of the useful life of the multi-use pedestrian/bicyclist bridge, Facebook shall have the right to demolish the bridge improvements and shall have no obligation to replace or reconstruct the improvements.</p> <p>Construct, operate and maintain the two-acre publicly accessible open space Facebook. The public access right to the open space will be a right to pass by permission and Facebook will have the right to implement reasonable rules and regulations governing such access.</p>	<p>Following the issuance of building permits for Building 21.</p> <p>Following the issuance of building permits for Building 22</p>		
9.1.6	<p><u>City Services</u>. Within one year of satisfaction of the Conditions Precedent, Facebook shall contribute \$11,250,000 to the City's general fund to be spent in the sole discretion of the City on services that benefit the community. [Modification to the original Development Agreement.]</p>	<p>Payment shall be required on July 1 of each fiscal year beginning in 2018</p>	Completed	
9.2.2	<p>Facebook will cooperate with Don Edwards Refuge team and nonprofits on habitat protection and restoration adjacent to the Project Site.</p>	<p>Ongoing</p>	In Progress	
9.2.3	<p>Facebook will educate employees and visitors about species next to the Property</p>	<p>Ongoing</p>	Conditional	<p>May include interpretive signage implemented upon completion of bike/ped bridge</p>
9.2.4	<p>Facebook will engage in wildlife-friendly behavior</p>	<p>Ongoing</p>	In Progress	

1. It is expected that the site will be merged and that the merged site will be assessed as a single tax parcel. When this occurs it will be necessary for the parties to agree upon a methodology for determining the assessed value of Building 21, Building 22 and the Hotel (as applicable). As Building 21, Building 22, and the Hotel are completed, the parties shall confer in good faith and attempt to develop a means for equitably determining the assessed value of those improvements.

\* The DA requirements listed here may be summarized; the complete terms are found in the recorded Development Agreement.



## STAFF REPORT

### Planning Commission

Meeting Date: 2/11/2019

Staff Report Number: 19-10-PC

**Study Session:** Consider and provide feedback on a proposed project with 483 multi-family dwelling units comprised of 42 for-sale condominium units and 441 rental units at 141 Jefferson Drive and 180-186 Constitution Drive

### Recommendation

Staff recommends that the Planning Commission review and provide feedback on a proposed project, tentatively named Menlo Uptown, to redevelop three parcels with 483 multi-family dwelling units comprised of 42 for-sale condominium units and 441 rental units on a 4.83-acre site. The three project parcels (project site) are located at 141 Jefferson Drive and 180-186 Constitution Drive in the R-MU-B (Residential Mixed Use-Bonus) zoning district. The project will ultimately require the following actions:

1. **Environmental Review** to analyze potential environmental impacts of the project through an Environmental Impact Report (EIR), pursuant to the California Environmental Quality Act (CEQA);
2. **Use Permit** for bonus-level development (which requires the provision of community amenities) and possibly to modify design standards;
3. **Architectural Control** to review the design of the new building and associated site improvements;
4. **Lot Line Adjustment** to change the boundaries of the three existing parcels on the site;
5. **Major Subdivision** to create 42 condominium units; and
6. **Below Market Rate (BMR) Housing Agreement** to provide on-site BMR units in accordance with the City's BMR Ordinance.

Additional actions and entitlements may be required as the project plans are refined. No formal actions will be taken at this time.

### Policy Issues

Study sessions provide an opportunity for Planning Commissioners and the public to provide preliminary feedback on a project, with comments used to inform future review and consideration of the proposal. Study sessions also allow City staff to pose specific questions to the Planning Commission regarding staff's interpretation and implementation of aspects of the Zoning Ordinance, General Plan, and related requirements.

### Background

#### *Site location*

The project site consists of three contiguous R-MU-B (Residential Mixed Use) zoned parcels with a total area of approximately 4.83 acres, and currently contains three single-story buildings with a mix of office and industrial uses. The existing buildings would be demolished as part of the redevelopment of the project site.

For purposes of this staff report, Bayfront Expressway (California State Route 84) is considered to have an east-west orientation, and all compass directions referenced will use this orientation. The project site is located south of Bayfront Expressway and east of Chrysler Drive. The project site is bounded by Constitution Drive to the north and Jefferson Drive to the south. The parcels to the north of the site are located in the O-B (Office, Bonus) district and contain a mix of office, light industrial, and R&D uses. The parcel directly south of the project site is zoned PF (Public Facilities) and is the site of the TIDE Academy high school, currently under construction. Parcels immediately adjacent to the east and west of the project site are zoned R-MU-B and contain a mix of office, light industrial, and R&D uses. A location map is provided as Attachment A.

## **Analysis**

### ***Project description***

The applicant is proposing to demolish the existing buildings and site improvements across the entire project site and construct two seven-story buildings with a total of 441 rental units and six three-story buildings with 42 townhome-style condominium units, for a total of 483 new dwelling units (proposed project). The proposed floor area ratio (FAR) would be approximately 225 percent, which is the maximum permitted FAR for a development with a density of 100 dwelling units per acre, as proposed by the subject project. The proposal includes a request for an increase in height, density, and FAR under the bonus level development allowance subject to obtaining a use permit or conditional development permit and providing one or more community amenities. The applicant's project description is included in Attachment B, and the project plans are included as Attachment C.

The project site includes and would maintain three legal parcels; however, the applicant is requesting that the proposed development be reviewed as if it is one parcel. Therefore, the development regulations such as density, gross floor area (GFA), height, parking and open space (publicly accessible and private) would be comprehensively evaluated across the entire project site rather than on a parcel-by-parcel basis.

### **Site layout**

The two proposed apartment buildings would be located on the existing 141 Jefferson Drive parcel, and would be separated by a central area used for storm water treatment, a dog run, and landscaping that would run east to west between the two buildings. One building would front onto Constitution Drive while the other would front onto Jefferson Drive. The buildings would have footprints and forms that would be virtually identical as viewed from either street frontage or the 20-foot paseo proposed directly east of the apartment buildings, which would run north to south between Constitution Drive and Jefferson Drive. A fire and service lane would run north to south along the western edge of the apartment buildings, between Constitution Drive and Jefferson Drive.

The apartment building fronting Constitution Drive would have five stories containing 220 dwelling units located above two levels of above-grade structured parking, a lobby, and amenity spaces for tenants. To account for potential flooding and sea level rise, the main lobby and amenity spaces fronting Constitution Drive would be elevated approximately five feet above the existing grade of the street. Stairs and ramps at the east end of the front of the building are proposed to bring pedestrians from the sidewalk to the front doors of the recessed lobby. A ramp at the west end of the front of the building would provide access to an automated parking system within the building. Beginning at the third story, five levels of apartment units would wrap in a U-shape around a west-facing terrace with a pool and other private and communal open spaces for tenants located above the garage. The apartment building fronting Jefferson Drive would have virtually identical features, with the exception that it would contain one additional apartment for a total of 221 dwelling units.

The proposed apartment buildings would comply with the minimum and maximum setbacks permitted at the street, with portions of the ground floor façades along Constitution Drive and Jefferson Drive set back at varying distances between zero feet and approximately 25 feet. The buildings would also meet or exceed the minimum interior side setbacks of 10 feet, given that they would be bounded by the following:

- The aforementioned 21-foot wide fire and service lane to the west, as requested by the Menlo Park Fire Protection District; and
- The 20-foot wide paseo to the east (as well as an additional five-foot required setback from the paseo).

Farther east across the paseo and a 26-foot wide fire access road directly adjacent to the paseo, six townhome-style condominium buildings with seven units each (a total of 42 for-sale units) would be located in an array two buildings wide by three buildings deep. The buildings would have north and south orientations fronting onto Constitution Drive, interior roads running east to west, a central rear shared lawn area with landscaping, and paths that would connect to the paseo across the fire lane via a raised crossing with accent pavers. The fire access road would curve south and follow the rear property line of the site, and then curve north again to Constitution Drive in a large U-shape. The U-shaped road would be bisected by a road and sidewalks running east to west between the four townhome buildings closest to Constitution Drive. The townhomes would have a mix of open space provided through balconies and ground-level areas in between the buildings. Additional details regarding the proposed publicly accessible and private open space are provided in a later section of this report.

#### Floor Area Ratio (FAR) and Gross Floor Area (GFA)

The proposed project would be developed at a FAR of approximately 225 percent (472,918 square feet of GFA). However, preliminary review by staff has identified some areas of the building that were inadvertently not included in the calculation of GFA would need to be included with the next formal submittal of the project. These changes would increase the GFA and subsequently the FAR. The proposed project would need to be revised to comply with the maximum FAR for the site. In the R-MU-B zoning district, bonus level development has a maximum FAR of 90 percent at 30 dwelling units per acre and increases on an even gradient to 225 percent at 100 dwelling units per acre (approximately 1.93 percent FAR for each unit). The proposed project would include 483 dwelling units on a net lot area of 4.83 acres, yielding a density of approximately 100 dwelling units per acre and an FAR of approximately 225 percent. The proposed 483 units would be the maximum density permitted through the provisions of bonus level development (100 dwelling units per acre).

#### Height

The proposed apartment buildings would have a maximum height of 84 feet, nine inches, and the proposed townhome buildings would have a maximum height of 39 feet, four inches, where 95 feet is the maximum height permitted for any building on a bonus level development site along Jefferson Drive, Constitution Drive, or Independence Drive in the R-MU-B district. The 95 foot maximum height limit includes the 10 foot height increase allowed for properties within the FEMA flood zone. The heights of all buildings across the project site are limited to 62.5 feet, where height is defined as average height of all buildings on one site, and where the maximum height cannot be exceeded. Maximum height and height do not include roof-mounted equipment and utilities, nor do these development standards include a parapet used to screen mechanical equipment.

The applicant has submitted a preliminary analysis that documents compliance with the height limitation. The applicant's analysis averages the height of each specific portion of all the buildings using the portion of the footprint to weight that element of the building accordingly. The height of the overall development,

according to the applicant team, is 62.3 feet. As stated previously, compliance with the height limitation of the Zoning Ordinance may be calculated across multiple parcels and buildings within a single project site. Staff is still reviewing the analysis to determine compliance.

### ***Lot line adjustment***

The site currently consists of three parcels addressed 141 Jefferson Drive (which is a through lot with a second frontage on Constitution Drive, currently addressed 172 Constitution Drive), 180 Constitution Drive, and 186 Constitution Drive. As part of the project, the applicant is requesting a lot line adjustment, which is defined in California Government Code Section 66412 as an "...adjustment between four or fewer existing adjacent parcels, where the land taken from one parcel is added to an adjoining parcel, and where a greater number of parcels than originally existed is not thereby created, if the lot line adjustment is approved by the local agency, or advisory agency." The applicant is proposing a lot line adjustment that would maintain three parcels on the site, with the property lines shifted so that the existing 141 Jefferson Drive/172 Jefferson Drive through lot would be divided in half, and the lot line currently dividing the existing 180 and 186 Constitution Drive parcels would be moved west to the location of the existing lot line that divides 141 Jefferson Drive and 180 Constitution Drive. This lot line adjustment would effectively locate the two apartment buildings on separate parcels and place all of the townhome buildings on a single parcel.

### ***Major subdivision***

The applicant is requesting a major subdivision for the townhome component of the project at 180 and 186 Constitution Drive, which would allow the 42 condominium units to be purchased and sold independently. State law outlines five factors that the City Council may consider in reviewing the request for a subdivision. Staff will evaluate whether the proposed major subdivision would be in conformance with the State requirements as more detailed plans are prepared and additional study is performed for the proposed project. The City Council would review and take final action on the proposed subdivision following a recommendation by the Planning Commission.

### ***Parking and circulation***

#### Vehicular

The proposed project would include a total of 582 vehicular parking stalls distributed between the two apartment buildings and townhomes, for a ratio of 1.2 stalls per unit for the overall proposed project. The R-MU-B zoning district requires a minimum of one space per unit and a maximum of 1.5 spaces per unit. Therefore, the proposed project would provide parking within the range permitted by the Zoning Ordinance. The proposed apartment buildings would incorporate two above-ground levels of parking at the base of each building. The parking structure for each of the apartment buildings would be accessed from a ramp located at the western end of each building's street frontage on Constitution Drive and Jefferson Drive, respectively. Each apartment building would include the minimum required parking for tenants at a rate of one space per unit and approximately 35 additional spaces for guests and visitors. An automated parking system would be utilized within the apartment building garages to minimize the amount of space needed to park vehicles while meeting the parking requirements of the zoning district. The automated parking system would be used by tenants who would be trained on the operations of the system, while guests and visitors would use non-mechanized ground-level parking stalls within the parking structures.

The townhome buildings would include 66 vehicular parking stalls incorporated into one- and two-car garages located at the ground floor of each unit. The Planning Commission should consider and provide direction on the appropriateness of an individual unit to have two parking spaces as long as the average number of parking spaces per unit for the overall project does not exceed 1.5 spaces. An additional four surface parking stalls would be provided for guests off of the internal roads on the site and would be tucked



between the six townhome buildings.

The Zoning Ordinance requires parking within multi-family residential developments to be unbundled from the price of a unit (unless parking is physically connected to one unit). Therefore, the proposed project will be required to unbundle the parking for the apartment units, while the for-sale townhomes may include the parking in the overall cost of each unit. Regardless, the proposed parking provided would meet the zoning ordinance parking ratio. In addition, as required by the R-MU-B zoning regulations, the project will be required to submit a transportation demand management (TDM) plan demonstrating that the project will reduce associated vehicle trips by least 20 percent below standard generation rates for uses on the site.

### Bicycle and pedestrian

The proposed project would include a total of 799 bicycle parking spaces, which would meet the R-MU-B zoning district requirement of 1.5 long-term spaces per unit plus an additional 10 percent short-term spaces for guests. The apartment buildings would incorporate bicycle parking into dedicated storage rooms on the first level of each building. The bicycle storage rooms would be accessible from the paseo directly east of the apartment buildings. Each apartment building would include the minimum required long-term bicycle parking spaces for tenants (330 spaces for residents of the building fronting Constitution Drive and 332 spaces for residents of the building fronting Jefferson Drive), as well as 67 short-term outdoor spaces divided between the two buildings to meet the 10 percent additional parking for guests. For the townhome units, long-term bicycle parking would be provided in each garage (a total of 63 spaces), and seven short-term bicycle parking spaces would be provided outdoors.

As part of the proposed project, it is anticipated that new sidewalks and other street improvements such as street trees and planting buffers would be provided along the project frontages on Constitution Drive and Jefferson Drive, as required by the City's Public Works Department.

### ***Open space***

The proposed project would be required to provide open space equivalent to 25 percent of the project site area, of which 25 percent must be provided as publicly accessible open space. According to the Zoning Ordinance (Chapter 16.45.120(4)(A)):

Publicly accessible open space consists of areas unobstructed by fully enclosed structures with a mixture of landscaping and hardscape that provides seating and places to rest, places for gathering, passive and/or active recreation, pedestrian circulation, or other similar use as determined by the planning commission. Publicly accessible open space types include, but are not limited to, paseos, plazas, forecourts and entryways, and outdoor dining areas. Publicly accessible open space must:

- (i) Contain site furnishings, art, or landscaping;
- (ii) Be on the ground floor or podium level;
- (iii) Be at least partially visible from a public right-of-way such as a street or paseo;
- (iv) Have a direct, accessible pedestrian connection to a public right-of-way or easement.

The minimum open space required for the project would be 52,566 square feet, of which a minimum of 13,142 square feet must be publicly accessible and meet the requirements stated above. The applicant is proposing 83,724 square feet of open space for the development, of which 32,739 square feet would be publicly accessible.

### Paseo and publicly accessible open space

As defined in the Zoning Ordinance, paseos are pedestrian and bicycle paths that provide a member of the

public access through one or more parcels and to public streets and/or other paseos. The adopted Zoning Map identifies the locations of new paseos in the Bayfront Area, including a paseo connecting Constitution Drive to Jefferson Drive along the eastern edge of the proposed apartment buildings, and directly west of the site of the proposed townhomes. The paseo would provide an important mid-block connection from Jefferson Drive to Constitution Drive. As required by the Zoning Ordinance, the paseo would have a minimum 20-foot width and provide furnishing zones, trees, landscaping, and lighting at set distances to enhance the pedestrian experience. The applicant is proposing to incorporate the paseo into the publicly accessible open space provided as part of the project, which is permitted by the zoning regulations.

Areas at the exterior of the entrances to each apartment building have been included as publicly accessible open space, including steeply sloped landscape areas and ramps and stairs leading to the recessed lobby of each building. Staff does not believe that these sloped areas would meet the requirements of publicly accessible open space, given the steep slopes; lack of furnishings, art, or enhanced landscaping; and location beneath canopies or in recesses of the buildings. Access is limited to circulation from the right-of-way to the entry to the building and does not provide any additional plaza or accessible landscaping. In addition, street tree planters in the public right of way adjacent to the front of each apartment building appear to have been included in the publicly accessible open space calculations diagram. Areas in the public right of way cannot be counted toward the publicly accessible open space requirements for a project and will be removed from the diagram for future plan sets.

For the townhome portion of the project site, the applicant is proposing additional publicly accessible open space between the Constitution Drive right-of-way and the first row of townhome buildings, and also between the two rows of townhome buildings located farther interior on the site. From staff's perspective, portions of these areas may not meet the criteria for publicly accessible open space on the site, such as the landscape area between the Constitution Drive sidewalk and the front of the townhome buildings fronting onto Constitution Drive. As shown on the plans, these areas may be perceived by the public as private front yards for the townhome units since they have direct connections from the sidewalk to the front doors of each unit, with few additional pedestrian paths or amenities provided. Staff believes these areas would better serve as private open space for the individual townhomes fronting Constitution Drive. In addition, staff believes that the cross-shaped open space at the interior of the townhome site should have stronger connections to the paseo and the strip of open space running north to south from Constitution Drive between the rows of townhome buildings in order to be publicly accessible open space. Additional edge landscaped areas around the edge of the townhomes and the associated access do not appear to meet the criteria for publicly accessible open space and should be included in common/private open space accordingly.

Staff believes that different site layouts for the townhome buildings should be explored to relocate the fire access road away from the edge of the paseo, bring the buildings closer to the paseo to better activate the area, and create a larger central open space rather than the narrow greenspaces between the buildings as proposed. The Planning Commission should consider the proposed site layout and provide feedback on the applicant's proposal with regard to the general functionality and usability of the publicly accessible open space for the townhome buildings.

#### Common and private open space

The proposed project would provide a mix of common and private open spaces for tenants. The apartment buildings would incorporate a combination of balconies, private terraces, common terraces above the garages at the courtyard level, as well as four open-air roof decks on the seventh floor of each building. Common open spaces in the apartment buildings would be available to tenants and guests, and would not be accessible to the public or townhome owners. 17,541 square feet of private open space and 25,284

square feet of common open space would be provided for the two apartment buildings, for a total of 42,825 square feet of private and common open space. Based on staff's review of the initial project plans, it appears that the applicant has included square footages within a storm water treatment area between the two apartment buildings toward the common open space for tenants. More information about the proposed storm water treatment methods in this area will be needed to determine if the space should be included in open space calculations for the project.

The townhomes units would have a total of 8,160 square feet of private open space provided on balconies and terraces for each unit. As the plans continue to develop, staff will be working with the applicant to ensure compliance with all open space requirements.

### ***Community amenities***

As mentioned in the previous section, the R-MU-B zoning district permits bonus level development, subject to providing one or more community amenities. As part of the ConnectMenlo process, a list of community amenities was generated based on public input and adopted through a resolution of the City Council. Community amenities are intended to address identified community needs that result from the effect of the increased development intensity on the surrounding community. Project requirements (such as the publicly-accessible open space and street improvements determined by the Public Works Director) do not count as community amenities. In the R-MU-B zoning district, the proposed community amenity may be in the form of additional affordable housing units above the 15 percent affordable housing required as part of the City's inclusionary zoning requirement (up to 20 percent of the bonus level development), or an applicant may offer a community amenity from the established list.

An applicant requesting bonus level development must provide the City with a proposal indicating the specific amount of bonus development sought and the value of the amenity. The value of the amenity to be provided must equal 50 percent of the fair market value of the additional GFA of the bonus level development. The applicant must provide an appraisal performed by a licensed appraisal firm that sets a fair market value of the GFA and density of the bonus level of development. The City recently finalized appraisal instructions for bonus level developments, and staff and the applicant will continue to work through the appraisal process as the project plans are refined. The applicant's proposal for community amenities will be subject to review by the Planning Commission through a later study session, or in conjunction with the other project entitlements.

For the Commission's reference, the appraisal instructions are available at the following link on the City's website: <https://www.menlopark.org/DocumentCenter/View/20467/Community-Amenity-Appraisal-Instructions>.

### ***Design standards***

In the R-MU-B zoning district, all new construction and building additions of 10,000 square feet of GFA or more must meet design standards subject to architectural control review. The design standards regulate the siting and placement of buildings, landscaping, parking, and other features in relation to the street; building mass, bulk, size, and vertical building planes; ground floor exterior facades of buildings; open space, including publicly accessible open space; development of paseos to enhance pedestrian and bicycle connections between parcels and public streets in the vicinity; building design, materials, screening, and rooflines; and site access and parking. As noted below, design requirements may be modified with a use permit.

### Architectural style and building design

The design of the proposed multi-family residential buildings would have a contemporary architectural style, incorporating both solid elements and glass storefront along the majority of the primary street façades. The façades would predominantly consist of pre-finished rainscreen panels (a cladding system of interlocking panels made of wood, metal, composite, or other materials attached over top of a waterproof barrier) and vinyl punched-opening windows. The lower levels of the building would also contain board-formed concrete that address durability for potential flooding and sea level rise, in addition to the storefront and rainscreen system. The proposed windows, including the glass storefront system, would have aluminum frames and mullions. Select residences would include private balconies finished with a mix of glass and metal railings.

The two multi-family buildings would both be seven stories tall, including a two-story concrete podium base element and a five-story wood-framed structure above. Parking, residential amenities, the leasing area, and tenant bicycle storage would be incorporated on the first floor. Parking would largely be managed using an automated parking system, with some spaces reserved for accessible parking, loading, guests, employees, and prospective tenants. The main residential structures above the podium base would form U-shaped courtyard buildings, with the openings facing west to let afternoon sun into the common courtyards. Residential units are proposed to be a mix of studios, junior one-bedrooms, one-bedrooms, two-bedrooms, and three-bedroom units. The specific unit mix would be further refined prior to commencing the entitlement and environmental review for the proposed project.

The design of the proposed townhome buildings would also have a contemporary style. All townhome buildings would be three stories tall. Typical townhomes would have one- and two-car garages on the ground level, with living areas and bedrooms on the upper floors. The townhome-style units are proposed to be a mix of three-bedroom and four-bedroom units. The buildings would include recesses to modulate the building facades, and the roof lines of all the buildings would be flat with height modulations to create a visually interesting roofline. As currently proposed, the site layout and building orientation would reduce parking and garage visibility from Constitution Drive.

At this time, specific materials, finishes, and colors for the apartment buildings and townhomes have not been determined. The Commission may wish to comment on preferences for colors and materials as part of this study session for the project.

### Minimum setback and building projections

On public-street-facing facades, buildings in the R-MU-B zoning district are required to step back at least 10 feet for 75 percent of the building on the upper stories above 45 feet in height. The applicant has submitted preliminary documentation that the proposal would comply with the required minimum step back through the offset of the center portion of the front façades of the apartment buildings facing Jefferson Drive and Constitution Drive. While portions of the building facade would be set back more than 10 feet from the property line, private balconies would extend to within 10 feet of the property line. The balconies would comply with the building projection allowance in the Zoning Ordinance, which permits encroachments up to six feet into a required setback.

The townhome buildings are all set back more than 10 feet from Constitution Drive. None of the townhome buildings are proposed to be over 45 feet in height, so the setback requirement would not apply.

### Major and minor modulations

The design standards for the R-MU-B zoning district require major and minor modulations on street- and paseo-facing facades. For major modulations, the design must include a minimum of one recess of 15 feet

wide by 10 feet deep per every 200 feet of facade length from ground level to 45 feet in height. For minor modulations, a minimum recess of five feet wide by five feet deep per 50 feet of facade length is required from ground level to the top of the building. The intent of the required modulations is to provide visual variety, reduce large building volumes, and provide spaces for entryways.

For the apartment buildings, the proposed major modulation along each street-facing frontage would be a recess of approximately 50 feet wide by 10 feet deep in the vicinity of the recessed entryway to each building. Along the paseo, no major modulations are currently proposed, but a formal submittal of the project would require a major modulation to be provided since the paseo-facing façade of each building would be over 200 feet in length. Minor modulations proposed along the street-facing frontages of each building would be a single recess spanning over 165 feet in length and 10 feet in depth. Staff believes that this proposed recess does not meet the intent of the minor modulation requirement and the design would need to be revised because it spans a majority of the length of the building, does not change per each 50 feet of façade length, and does not provide visual variety. The proposed minor modulations along the paseo-facing façade of each building appear to meet the intent of the Zoning Ordinance requirements for the first 27 feet, but they do not span the entire height of the building, as required by the design guidelines.

For the townhome buildings, no major modulations would be required since the buildings would be less than 200 feet in length. For the required minor modulations, the buildings would provide two rectangular elements with a roof and enclosed sides that would project forward to create covered porches at the front of certain units. The remainder of the facade would be recessed. Staff believes that these covered porch elements do not meet the spirit of the minor modulation requirement because they are hollow and lack a front wall to give the buildings more depth and visual interest. In addition, these elements do not span the full height of the building, as required by the design guidelines. The Planning Commission may wish to comment whether the proposed treatment is acceptable, or if the modulations should be fully-enclosed spaces from the ground floor to the top of the buildings to provide more depth and volume.

#### Ground floor exterior

As part of the project review, staff will review the project to ensure that it meets the ground floor transparency requirement and building entrance location and frequency requirements. Staff believes the project generally would meet the ground floor transparency requirement along Constitution Drive and Jefferson Drive; however, adjacent to the paseo, the project proposes windows along the ground floor façade that would serve only to break up long expanses of wall associated with bicycle storage rooms that would span most of the building next to the paseo. The Planning Commission may wish to consider whether other tenant amenity spaces should be relocated along the paseo to increase the functional advantage of having windows and transparent storefront in the area, and to promote additional vibrancy and activity on the paseo. The current proposal would comply with the maximum garage entrance size and ground floor minimum height requirement.

#### Summary

With regard to the overall project design/style and the application of R-MU-B zoning district standards, staff believes that the project would meet a majority of the design guidelines required in the Zoning Ordinance with the exception of the major and minor modulations for the apartment buildings. Staff believes that compliance with the modulation requirements would help reduce the appearance of bulk and massing that the proposal currently exhibits. Staff will continue to evaluate the proposed project to ensure compliance as more detailed plans are prepared and any modifications are made. The Planning Commission may wish to provide additional feedback on the proposed building design and site layout before the project advances to the full submittal stage. The applicant's project description letter is included in Attachment B and describes the overall project proposal and design in more detail.

### ***Green and sustainable building***

In the R-MU-B zoning district, projects are required to meet green and sustainable building regulations. The proposed building will be required to meet 100 percent of its energy demand through any combination of on-site energy generation, purchase of 100 percent renewable electricity, and/or purchase of certified renewable energy credits. Additionally, as currently proposed, the new building will need to be designed to meet LEED (Leadership in Energy and Environmental Design) Gold BD+C, comply with the electric vehicle (EV) charger requirements adopted by the City Council in November 2018, and incorporate bird-friendly design in the placement of the building and the use of exterior glazing. Other green building requirements, including water use efficiency, placement of new buildings 24 inches above the Federal Emergency Management Agency (FEMA) base flood elevation (BFE) to account for sea level rise, and waste management planning, would also apply to the project. Details regarding how the proposed building would meet the green and sustainable building requirements will be provided as the project plans and materials are further developed.

### ***Planning Commission considerations***

The following comments/questions are suggested by staff to guide the Commission's discussion, although Commissioners should feel free to explore other topics of interest. Some of the topics listed below were previously identified throughout the staff report.

- **Publicly Accessible Open Space.** Should different site layouts for the townhome buildings be explored to relocate the fire access road away from the edge of the paseo, bring the buildings closer to the paseo to better activate the area, and potentially create a larger central open space rather than the narrow greenspaces between the buildings as proposed? Should apartment building amenity spaces other than bicycle storage be located adjacent to the paseo to promote additional active uses along the paseo? Does the Planning Commission believe the general approach to the publicly accessible open space elsewhere on the site is acceptable? While the layout and design are preliminary, does the Commission have any comments or feedback for the applicant team on the preliminary design and location of the open spaces, considering the criteria outlined previously in the staff report?
- **Architectural Design and Materials.** Is the architectural design of the proposed building appropriate for a multi-family dwelling building? Does the Planning Commission believe the overall proposal meets the intent of the ordinance, contains a cohesive design, provides visual interest, and breaks up the massing? Would the Commission consider a use permit request to modify the design standards for major and minor modulations for the apartment buildings? As the first redevelopment of a site on this block since the adoption of ConnectMenlo, does the proposed design set the desired standard for future redevelopment in the vicinity?
- **Density.** Is the proposed density appropriate for the site? The proposal would utilize the bonus level allowance for density, floor area ratio, and height in exchange for community amenities. At this time the proposed community amenities have not been identified and staff will be evaluating the project for the appropriate value of community amenities to be provided in exchange for the bonus level development. Does the Planning Commission believe that the proposed project is generally appropriate for the site?
- **Overall Approach.** Is the overall aesthetic approach for the project consistent with the Planning Commission's expectations for new development in the R-MU-B zoning district?

### **Correspondence**

As of the writing of this report, staff has not received any correspondence regarding the project.

### **Impact on City Resources**

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

### **Environmental Review**

Study sessions do not require analysis under the California Environmental Quality Act (CEQA). With regard to the overall project review and action, the terms of the 2017 settlement agreement with the City of East Palo Alto require projects seeking bonus level development to complete an EIR. Subsequent to this study session, City staff will identify a consultant to complete the environmental review and prepare an initial study and EIR for the proposed project. Depending on the initial study, a focused EIR may be prepared only on the topics that warrant further analysis but would include a transportation and housing analysis at a minimum, per the terms of the settlement agreement. As currently proposed, the Planning Commission would take the final action on the project entitlements, including the EIR, after the completion of the environmental review and any revisions to the plans based on feedback from the Planning Commission and Planning staff.

### **Public Notice**

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

### **Attachments**

- A. Location Map
- B. Project Description Letter
- C. Project Plans

### **Disclaimer**

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

### **Exhibits to Be Provided at Meeting**

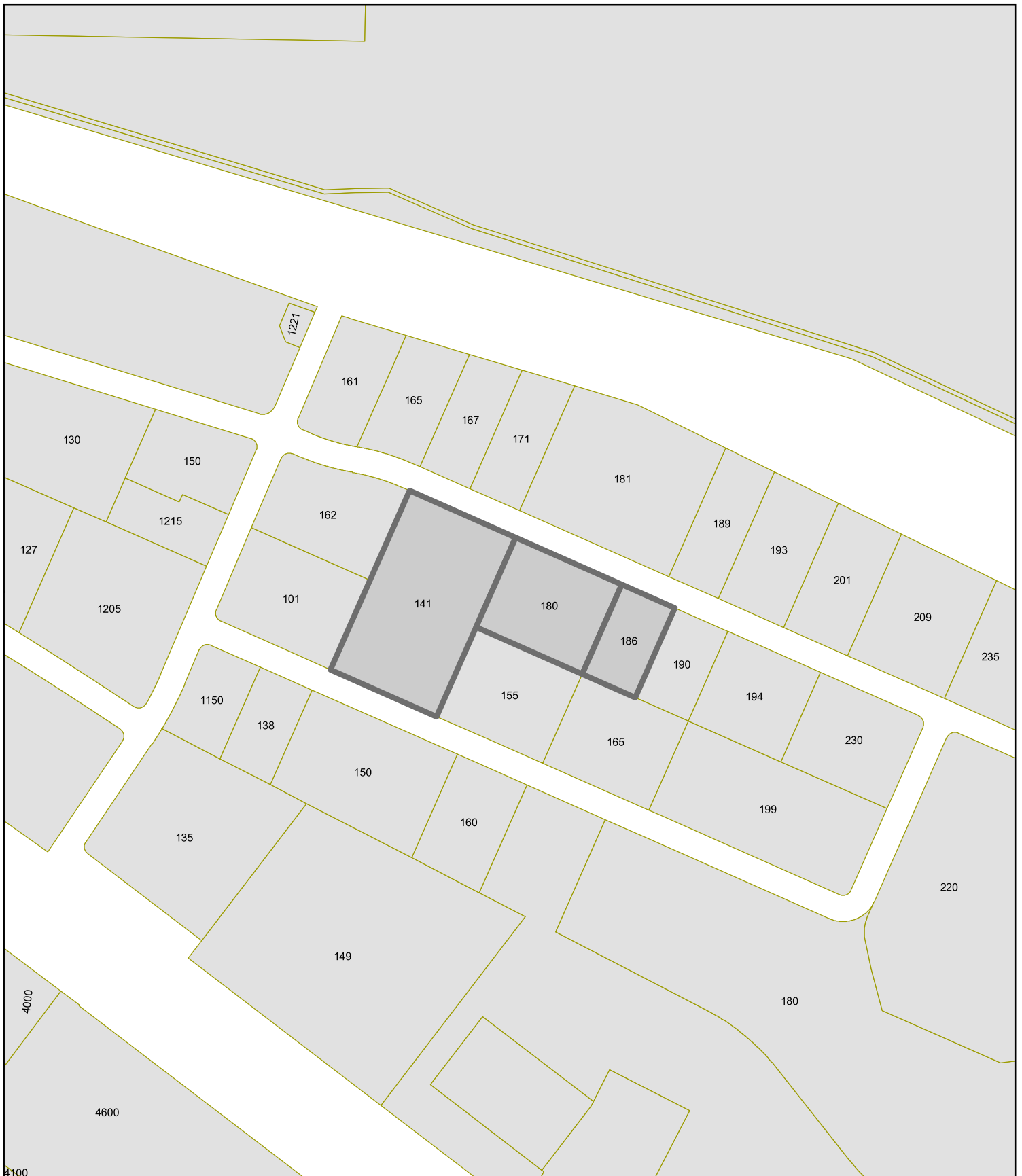
None

Report prepared by:  
Tom Smith, Senior Planner

Report reviewed by:  
Kyle Perata, Acting Principal Planner

THIS PAGE INTENTIONALLY LEFT BLANK





# CITY OF MENLO PARK

LOCATION MAP

MENLO UPTOWN PROJECT

DRAWN: TAS CHECKED: KTP DATE: 02/11/19 SCALE: 1" = 300' SHEET: 1



October 29, 2018

Planning Commission  
City of Menlo Park  
701 Laurel Street  
Menlo Park, CA 94025

**Project Description Letter, Study Session  
141 Jefferson Drive, 180 Constitution Drive, 186 Constitution Drive**

Dear Menlo Park Planning Commission:

We are excited to present to you this proposal that would deliver 483 new housing units to the Bayfront Area. We had recently completed the 146-unit multifamily apartment project at 3645 Haven Avenue, and we look forward to working with you once again to help alleviate the housing and traffic crises in the area.

The proposed project, named "Menlo Uptown," is located in the M-2 Area of Menlo Park, north of Highway US 101 and east of Marsh Road. The project site is across 3 contiguous parcels at 141 Jefferson/172 Constitution Drive, 180 Constitution Drive, and 186 Constitution Drive. The project proposes to demolish the existing office/industrial buildings on the 3 parcels that total approximately 110,800 square feet.

The proposed project is located in the R-MU-B zoning district within the ConnectMenlo General Plan. ConnectMenlo seeks to develop a new live/work/play environment in the M-2 area, and we believe this proposed project would further that vision. Furthermore, this project proposes to deliver maximum residential density by using the bonus level development provisions, which would bring much-needed new housing to the area.

The proposed 483-unit project consists of 441 apartment units across 2 multifamily buildings and 42 for-sale townhome-style units, as well as 533 vehicle parking stalls and 799 bicycle parking spaces. The 2 mid-rise apartment buildings will mirror each other with slight variations to unit count. Both apartment buildings would incorporate two-levels of above-grade podium garage with five-levels of residential units above, and would include residential amenities, roof decks, and an outdoor courtyard on the podium level. The 42 for-sale townhomes units would be located in 6 separate three-story buildings and tuck-under private garages. Additionally, the project proposal incorporates the pedestrian paseo between Constitution Drive and Jefferson Drive, per the ConnectMenlo plan, in order to improve pedestrian activity and accessibility throughout the area.

We understand that new construction projects of this size are subject to architectural control review, and as a result the proposal as presented includes only preliminary design direction. We plan to work with Staff and Planning Commission to further refine the design of this project. Additionally, we plan to engage the community and our future neighbors in order to thoughtfully gather, consider, and incorporate feedback.

We anticipate that the project will ultimately require:

- Environmental review to analyze potential environmental and traffic impacts of the project
- Use permit for bonus level development
- Lot line adjustment to change the boundaries of the existing lots

- Subdivision to allow the townhome units to be sold separately
- Architectural control to review the future design of the project and site improvements
- Below Market Rate (BMR) housing agreement to provide on-site BMR units

We believe that the region is in great need of more housing, especially as regional employers continue to grow rapidly. A jobs/housing imbalance has existed in recent years and is expected to continue into the future, causing further strain on housing availability, increased rents, and traffic. We look forward to working with Planning Commission to deliver this new proposed housing project to Menlo Park.

Sincerely,

Andrew Morcos  
Development Director  
Greystar



# MENLO UPTOWN

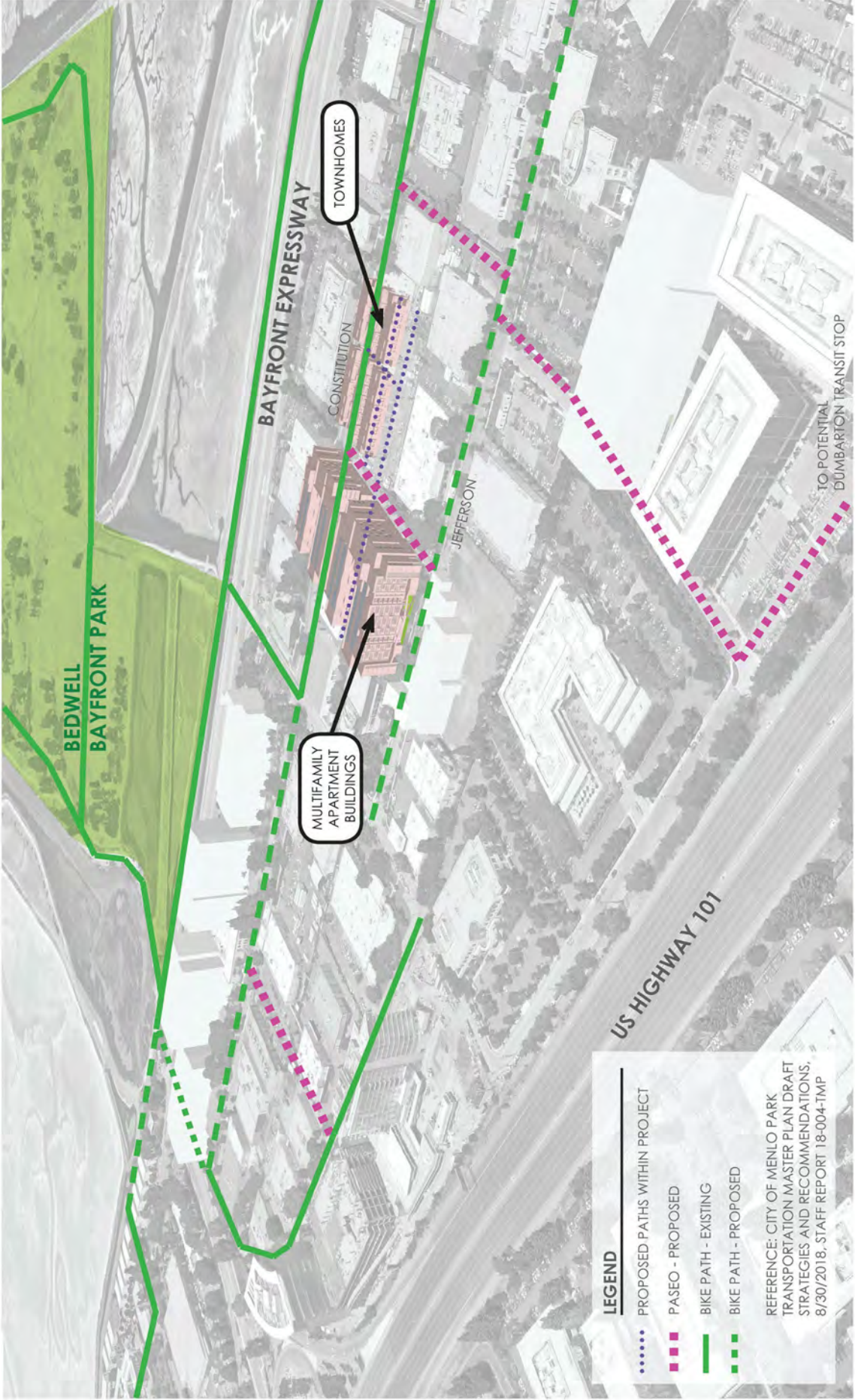
MULTI-FAMILY HOUSING & TOWNHOMES

MENLO PARK, CA

STUDY SESSION REVIEW SUBMITTAL TO THE CITY OF MENLO PARK  
JANUARY 17, 2019



MENLO UPTOWN HOUSING  
MENLO PARK, CA  
01-17-19



**LEGEND**

- ..... PROPOSED PATHS WITHIN PROJECT
- PASEO - PROPOSED
- BIKE PATH - EXISTING
- BIKE PATH - PROPOSED

REFERENCE: CITY OF MENLO PARK TRANSPORTATION MASTER PLAN DRAFT STRATEGIES AND RECOMMENDATIONS, 8/30/2018. STAFF REPORT 18-004-TMP

**PROJECT ADDRESSES**

- TOWNHOMES (TH-1)
- MULTIFAMILY (MF-1)
- MULTIFAMILY (MF-2)

- 180 AND 186 CONSTITUTION
- 141 JEFFERSON (172 CONSTITUTION)
- 141 JEFFERSON



Category	Requirement
<b>ZONING:</b>	R-MUL-B Zoning District (Bonus level development)
<b>FLOOR AREA SUMMARY:</b>	Per City Ordinance Table A-2.00 for individual space FAR
MAX. ALLOWED FLOOR AREA	75%
TOWNHOME GSF	473,922 SF
MULTIFAMILY GSF	78,192 SF
Total GSF	552,114 SF
PROJECT TOTAL FLOOR AREA (TOWNHOME + MULTIFAMILY)	552,114 SF
FAR % PROVIDED	234.5%

Category	Requirement
<b>PARKING REQUIREMENTS</b>	Multi-Family & Townhomes
Min. 1 space/unit	1.5 spaces/unit + 10% overflow for guests
Min. 1.5 space/unit	10% overflow for guests
Min. 461 - Max. 725 Vehicular Parking	(725 long term + 71 short term = 796 total bike parking)
<b>PARKING PROVIDED</b>	532 Vehicular spaces & 179 Bike spaces (provided)
Parking Ratio Unit :	1.21 Vehicular Parking and 1.65 Bike parking
MULTIFAMILY	Vehicular spaces: 441, additional spaces for guest/ visits = 512 spaces Bike spaces: 66 long term parking + 61 short term parking outdoor = 127 spaces
Townhome	Vehicular spaces: 66 spaces in townhomes + 4 spaces on interval street = 70 spaces Bike spaces: 63 long term parking indoors + 1 short term parking outdoor = 64 spaces

UNIT COUNT SUMMARY:	
483 Units on net lot area of 4.83 acres	(100 dwelling units/acre)

**MULTI-FAMILY - AREA SUMMARY (441 UNITS)**

Level	RESID. GSF (PARK)	RESID. AMENITIES GSF (PARK)	RESID. COMMON GSF (PARK)	PARKING GSF (NOT IN PARK)	TOTAL BLDG GSF
Level 07	54,790 SF	0 SF	9,524 SF	0 SF	64,314 SF
Level 06	59,662 SF	0 SF	9,305 SF	0 SF	68,967 SF
Level 05	59,662 SF	0 SF	9,305 SF	0 SF	68,967 SF
Level 04	59,662 SF	0 SF	9,305 SF	0 SF	68,967 SF
Level 03	54,001 SF	3,262 SF	9,209 SF	0 SF	66,472 SF
Level 02	22,816 SF	2,438 SF	4,344 SF	0 SF	30,004 SF
Level 01	13,528 SF	0 SF	5,328 SF	0 SF	18,856 SF
Grand Total	311,389 SF	21,031 SF	49,328 SF	144,431 SF	506,179 SF

**UNIT COUNT - MULTIFAMILY**

Level	STUDIO	JR. BR.	1 BR.	2 BR.	3 BR.	# UNITS
Level 07	12	24	34	6	2	78
Level 06	12	24	38	10	2	84
Level 05	12	24	38	8	2	86
Level 04	14	24	38	8	2	86
Level 03	6	22	38	8	2	76
Level 02	10	8	5	7	0	31
Grand Total	68	126	199	46	10	441
<b>UNIT TYPE MIX</b>						<b>TOTALS</b>
STUDIO	JR. BR.	1 BR.	2 BR.	3 BR.	0	441
15%	29%	45%	6%	11%	0%	100%
UNIT COUNT	126	199	46	10	0	441
UNIT MIX	18%	47%	11%	2%	0%	100%

**UNIT COUNT - INDIVIDUAL MULTIFAMILY BUILDINGS**

Area Schedule	UNIT TYPE AREAS	UNIT SUMMARY (UFI)
Level 07	STUDIO   JR. BR.   1 BR.   2 BR.   3 BR.   UNITS	Level 07   12   24   34   6   2   78
Level 06	Level 06   12   24   38   10   2   84	
Level 05	Level 05   12   24   38   8   2   86	
Level 04	Level 04   14   24   38   8   2   86	
Level 03	Level 03   6   22   38   8   2   76	
Level 02	Level 02   10   8   5   7   0   31	
Grand Total	68   126   199   46   10   441	
<b>AREA SCHEDULES</b>		
RESID. GSF	311,389 SF	49,328 SF
RESID. AMENITIES GSF	21,031 SF	144,431 SF
RESID. COMMON GSF	49,328 SF	506,179 SF

**TOWNHOME - AREA SUMMARY (42 DWELLING UNITS)**

Unit Name	Description	Garage	Approx NSF*	#	%	Approx NSF Total	Approx GSF**	Approx GSF Total
Alley Loaded Townhomes, R-3								
P1	3 bd + 3.5 bath	1-car	1,547	18	43%	27,846	1,651	29,718
P2	3 bd + 3.5 bath	2-car	1,756	12	29%	21,072	1,900	22,800
P3	4 bd + 3.5 bath	2-car	1,986	8	19%	15,888	2,186	17,488
P4	4 bd + 3.5 bath	2-car	1,986	4	10%	7,944	2,199	8,796
Subtotal				42	100%	72,750		78,802
Overall Density			+/-	20.3	du/sq.ft.			
Approx. NET Avg. Unit Square Foot			+/-	1,732	sq.ft.			

\* Measured to interior stud of wall, excludes parking and patios; \*\* measured to exterior stud of wall

<b>Townhomes</b>	78,802 gsf
<b>Total Unit GSF**</b>	390 gsf
<b>Utility Box (65' x 6' bldgs)</b>	79,192 gsf
<b>Total Townhomes GSF</b>	

**OPEN SPACE SUMMARY (Refer to sheet A-013 for Open Space Calculation Diagrams for 441 Unit Multi-Family Buildings and to sheet A-022 for Townhomes)**

Category	REQUIRED SF	PROVIDED SF	PERCENTAGE
MINIMUM OPEN SPACE REQUIRED	25% OF SITE AREA	30,038	60.068 SF (62.69 % Open Space)
PUBLIC OPEN SPACE REQUIRED	25% OF MIN. OPEN SPACE	7,510	17,245 SF (Passage & Entrances)
PRIVATE OPEN SPACE REQUIRED	50% COMMON OPEN SPACE	44,100	(67) 32,206
Total Common Open Space			
Common Open Space		3,264 SF (Common Open Space)	
Open Space		17,841 SF (Private Open Space)	
Total Private Open Space			
Private Open Space		8,242 SF (Level 4-6)	
Private Open Space		3,599 SF (Level 7)	
Total Private Open Space			
Private Open Space		107 SF Common Space/dr	(OR)
Private Open Space		65 SF Private Space/dr	
Total Private Open Space			
Private Open Space		5,130 SF (Level 1 Terrace)	
Private Open Space		3,066 SF (Level 2 Terrace)	
Private Open Space		8,488 SF	
Private Open Space		8,100 SF	
Private Open Space		106 SF/dr	
Private Open Space		294 SF/dr	
Total Private Open Space			
Private Open Space		23,656 SF	28%

**AVERAGE BUILDING HEIGHT CALCULATION SUMMARY**

AVERAGE BUILDING HEIGHT = 62.71 < 62.7 Max. Height  
 NOTE: REFER TO SHEET A-010 FOR DETAILED BUILDING HEIGHTS AND AREA CALCULATIONS

**GREYSTAR** **100 YEARS** **BKF** **IPG** **design** **LANDSCAPE ARCHITECTS** **kitbay** **landscaping** **MENLO UPTOWN HOUSING** **MENLO PARK, CA** **01-16-19** **LOCATION MAP & PROJECT DATA SUMMARY** **A-002**

**TOWNHOUSE BUILDINGS CODE SUMMARY**

**PROJECT SUMMARY:**  
FORTY-TWO (42) ATTACHED TOWNHOUSE UNITS IN SIX CONNECTED CLUSTER BUILDINGS, ON A 2.07 ACRE SITE.

**CODES IN USE:**  
2016 CALIFORNIA RESIDENTIAL CODE (CRC)  
2016 CALIFORNIA FIRE CODE (FC)  
2016 CALIFORNIA MECHANICAL CODE (CMC)  
2016 CALIFORNIA ELECTRICAL CODE (CEC)  
2016 CALIFORNIA PLUMBING CODE (CPC)  
2016 CALIFORNIA GAS CODE (CGC)  
2016 CALIFORNIA BUILDING STANDARDS CODE (CBC)

**OCCUPANCY GROUPS:**  
R-3 (ATTACHED) TOWNHOUSE  
R-3 (ATTACHED) GARAGES  
U (PRIVATE GARAGES)

**DEFINITION (PER CRC, R 202):** ATTACHED TOWNHOUSE: A SINGLE FAMILY DWELLING UNIT CONSTRUCTED IN A GROUP OF THREE OR MORE ATTACHED UNITS IN WHICH EACH UNIT EXTENDS FROM FOUNDATION TO ROOF AND WITH A FLOOR OR PUBLIC WAY ON AT LEAST TWO SIDES.

**ALLOWABLE HEIGHTS AND AREAS:**  
ALLOWABLE HEIGHT: 3 STORIES AND <40 FEET PER CBC TABLE 504.3, 504.4  
ALLOWABLE FLOOR AREA:  
R-3 UNLIMITED PER CBC TABLE 506.2  
U-1 1,000 SQ. FT. PER CBC TABLE 506.2

**FIRE SEPARATION BETWEEN OCCUPANCIES:**  
PER CRC R 302.2 EACH TOWNHOUSE CONDOMINIUM SHALL BE SEPARATED BY A COMMON WALL FOR FIRE SEPARATION DISTANCE UNDER 3'. NO OPENINGS ALLOWED. MECHANICAL EQUIPMENT, DUCTS OR VENTS RUNNING VERTICALLY IN THE COMMON WALL CAVITY.

**PER CRC R 302.2 ITEM 4:** THE COMMON WALL SHALL BE NOT LESS THAN 1-HOUR FIRE RATED.  
MAXIMUM AREA OF EXTERIOR WALL OPENINGS:  
FOR FIRE SEPARATION DISTANCE OVER 3', MAXIMUM AREA OF UNRATED OPENINGS SHALL BE UNLIMITED.  
FOR FIRE SEPARATION DISTANCE UNDER 3', NO OPENINGS ALLOWED.

**TYPE OF CONSTRUCTION:**  
CONSTRUCTION TYPE: TYPE V-B  
**FIRE PROTECTION SYSTEMS:**  
FIRE SPRINKLERS: NFPA-13D

**MULTI FAMILY BUILDINGS CODE SUMMARY**

**CHAPTER 7 - (CONTINUED):**  
SECTION 712.10 PARKING GARAGES: VERTICAL OPENINGS IN PARKING GARAGES SHALL COMPLY WITH THIS SECTION.

**SECTION 713.4 SHIELD ENCLOSURES:** SHAFTS SHALL BE 2-HR FIRE RATED WHERE CONNECTING FOUR OR MORE STORIES, AND 1-HR WHERE CONNECTING LESS THAN FOUR STORIES.

**SECTION 713.5 WASTE CHUTES AND ACCESS ROOMS:** SHALL COMPLY WITH THIS SECTION.

**SECTION 716:** PROTECTION FOR DOORS IN FIRE RATED ASSEMBLIES SHALL COMPLY WITH TABLE 716.

**CHAPTER 9 - FIRE PROTECTION SYSTEMS:**  
THIS SPARKLER SYSTEM IS BEING UTILIZED.

**SECTION 1004.12 OCCUPANT LOADS FOR EACH SPACE:** ARE AS NOTED BELOW:  
STORAGE AREAS (BUSINESS WAREHOUSES): 300 SFPERPERSON  
OFFICES (BUSINESS OFFICES): 100 SFPERPERSON  
LEASED OFFICE (BUSINESS AREAS): 200 SFPERPERSON  
PARKING GARAGES: 200 SFPERPERSON  
RESIDENTIAL AREAS:  
a OCCUPANCIES: -29 PERSONS (2 EXITS)  
b OCCUPANCIES: -29 PERSONS (2 EXITS)

**SECTION 1004.13 MEANS OF EGRESS SIZING:**  
STAIRWAYS SHALL BE CALCULATED BY MULTIPLYING THE OCCUPANT LOAD x 0.3'.  
DOORS SHALL BE CALCULATED BY MULTIPLYING THE OCCUPANT LOAD x 0.2'.

**TABLE 1009.2.1 TWO OR MORE EXITS ARE REQUIRED FOR SPACES BASED ON THE FOLLOWING:**  
a OCCUPANCIES: -29 PERSONS (2 EXITS), -200 PERSONS (3 EXITS)  
b OCCUPANCIES: -29 PERSONS (2 EXITS)  
c OCCUPANCIES: -29 PERSONS (2 EXITS)  
d OCCUPANCIES: -29 PERSONS (2 EXITS)

**MAXIMUM COMMON PATH OF TRAVEL:**  
a OCCUPANCIES: 75 FEET  
b OCCUPANCIES: 100 FEET  
c OCCUPANCIES: 75 FEET  
d OCCUPANCIES: 100 FEET

**SECTION 1009.7 ACCESSIBLE MEANS OF EGRESS:** SHALL BE PROVIDED EITHER BY MEANS OF AN ACCESSIBLE SPRINKLER SYSTEM OR BY MEANS OF AN ACCESSIBLE ROUTE PER SECTION 1104A. AN AUTOMATIC SPRINKLER SYSTEM, 400 FOR 3 OCCUPANCIES.

**SECTION 1009.8 TWO WAY COMMUNICATION DEVICES:** SHALL BE PLACED ON EITHER SIDE OF A HORIZONTAL EXIT AND AT ALL ELEVATOR LOBBIES ABOVE THE FIRST FLOOR.

**DOORS SHALL COMPLY WITH SECTION 1010**  
a OCCUPANCIES: 1010  
b OCCUPANCIES: 1010  
c OCCUPANCIES: 1010  
d OCCUPANCIES: 1010

**SECTION 1017 EXIT ACCESS DISTANCE:** 200 MAXIMUM IN R OCCUPANCIES WHERE PROVIDED WITH AN AUTOMATIC SPRINKLER SYSTEM; 400 FOR 3 OCCUPANCIES.

**CHAPTER 11A - HOUSING ACCESSIBILITY:**

ALL RESIDENTIAL AREAS SHALL BE SERVED BY AN ACCESSIBLE ROUTE PER SECTION 1104A.  
ALL COMMON AREAS SHALL BE FULLY ACCESSIBLE PER SECTION 1127A.  
ALL COMMON SPACES SHALL BE FULLY ACCESSIBLE PER SECTION 1127A.

**SECTION 1104A:** PARKING FACILITIES: FULLY ACCESSIBLE AUTO AND VAN PARKING WILL BE PROVIDED AT THE FIRST FLOOR.

**SECTION 1110A:** EXTERIOR ROUTES: ALL EXTERIOR PATHWAYS, RAMPS AND STAIRS WHICH ARE NOT PART OF A MAINTENANCE ONLY AREA ARE CONSIDERED ACCESSIBLE.

**SECTION 1128A:** INTERIOR STAIRWAYS SHALL BE ACCESSIBLE PER THIS SECTION.

**SECTION 1129A:** ELEVATORS SHALL BE ACCESSIBLE PER THIS SECTION.

**SECTION 1127A:** ALL COMMON AREAS, INCLUDING BATHROOM FACILITIES, SHALL COMPLY WITH THIS SECTION.

**SECTION 1133A:** ALL KITCHENS WITHIN UNITS AND IN COMMON AREAS SHALL COMPLY WITH THIS SECTION.

**SECTION 1134A:** ALL BATHING AND TOILET FACILITIES WITHIN THE RESIDENTIAL UNITS SHALL COMPLY WITH THIS SECTION.

**SECTION 1141A:** SWIMMING POOLS SHALL BE ACCESSIBLE PER THIS SECTION.

**MULTI FAMILY BUILDINGS CODE SUMMARY**

**CHAPTER 3 - OCCUPANCY GROUPS:**  
SECTION 310.4 OCCUPANCY GROUP R-2  
SECTION 311.2 OCCUPANCY GROUP S-2

**CHAPTER 5 - ALLOWABLE HEIGHTS AND AREAS:**

MAXIMUM HEIGHT IN FEET:  
R-2 OCCUPANCY: 60.43 - (SPRINKLERED, WITHOUT AREA INCREASE)  
S-2 OCCUPANCY: 60.43  
R-2 OCCUPANCY: UNLIMITED  
S-2 OCCUPANCY: UNLIMITED

MAXIMUM AREA OF STORIES:  
SECTION 504.3 & TABLE 504.4 - (SPRINKLERED, WITHOUT AREA INCREASE)  
SECTION 504.5 (SEE SECTION 5.0.5 BELOW FOR INCREASES)  
S-2 OCCUPANCY: UNLIMITED  
R-2 OCCUPANCY: UNLIMITED

ALLOWABLE BUILDING AREA:  
SECTION 506 & TABLE 506.2 - (SPRINKLERED)  
R-2 OCCUPANCY: 60,000 SF UNLIMITED, 17,000 SF PROPOSED, 5,100 MULTI FAMILY BUILDING (WAY)  
S-2 OCCUPANCY: UNLIMITED, 17,000 SF PROPOSED, 5,100 MULTI FAMILY BUILDING (WAY)

REQUIRED SEPARATION OF OCCUPANCIES:  
TABLE 508.4  
R-2 / S-2: 2 HRS.

INCIDENTAL USES:  
GENERAL INCIDENTAL USES LOCATED WITHIN SINGLE OCCUPANCY OR MIXED OCCUPANCY BUILDINGS SHALL NOT BE CLASSIFIED AS SEPARATE OCCUPANCIES IF THEY DO NOT OCCUPY MORE THAN 10 PERCENT OF THE BUILDING AREA OF THE STORY IN WHICH THEY ARE LOCATED.

BE IDENTIFIED ONCE ALL PROGRAMMATIC ELEMENTS ARE ESTABLISHED.

**HORIZONTAL SEPARATION:**  
SECTION 716.1 RESIDENTIAL BUILDINGS SHALL BE CONSIDERED A SEPARATE BUILDING FROM THE TYPE I/A STRUCTURE BELOW IF SEPARATED BY A 3 HR PODIUM.

**CHAPTER 6 - TYPES OF CONSTRUCTION:**

TYPE I/A WOOD FRAMING OVER TYPE I/A CONCRETE STRUCTURE: RATINGS PER TABLE 601.4 AS SHOWN IN THE LIST BELOW.

**TYPE I CONSTRUCTION:**  
PRIMARY STRUCTURAL FRAME: 3 HRS  
NON-BEARING EXTERIOR WALLS: PER TABLE 602  
NON-BEARING EXTERIOR WALLS: NR  
FLOOR CONSTRUCTION: 1.5 HRS  
ROOF CONSTRUCTION: 1.5 HRS

**TYPE II CONSTRUCTION:**  
PRIMARY STRUCTURAL FRAME: 1 HR  
BEARING WALLS (INT): 2 HRS  
NON-BEARING EXTERIOR WALLS: PER TABLE 602  
NON-BEARING EXTERIOR WALLS: NR  
FLOOR CONSTRUCTION: 1 HR  
ROOF CONSTRUCTION: 1 HR

**ALL RATINGS APPLY TO BOTH CONSTRUCTION TYPES I/A AND I/A-A, AND BOTH R AND S OCCUPANCIES**

**FIRE SEPARATION DISTANCE - FIRE EXITS:**  
5' TO 10'  
10' TO 30'  
OVER 30'

**CHAPTER 7 - FIRE AND SMOKE PROTECTION FEATURES:**

OPENINGS PER TABLE 705.11 PARAPETS SHALL BE PROVIDED UNLESS THE ROOF IS PROVIDED WITH A ONE-HOUR FIRE RATED W/WRAP-BACK OF 4" PER SECTION 705.11 EXCEPTION 4.

SECTION 706 FIRE WALLS, WHERE USED FOR AREA SEPARATION PURPOSES, SHALL BE 4-HR RATED. THESE SHALL TERMINATE IN 30' PARAPETS UNLESS THE ROOF IS STEEPED PER EXCEPTION 1; 9' PROVIDED WITH A ONE-HOUR W/WRAP-BACK OF 4" ON EITHER SIDE PER EXCEPTIONS 2 AND 4; OR A CLASS B ROOF AND W/WRAP-BACK ARE PROVIDED PER EXCEPTION 3.

SECTION 706.5.1 OPENINGS WITHIN 4' OF EACH SIDE OF A FIRE WALL SHALL BE 45 MINUTE FIRE RATED.

**PROJECT SUMMARY**

**NORTH MULTI-FAMILY BUILDING (MF-1)**

Table with project details for North Multi-Family Building (MF-1), including project address, APN, lot, zoning, and other information.

**SOUTH MULTI-FAMILY BUILDING (MF-2)**

Table with project details for South Multi-Family Building (MF-2), including project address, APN, lot, zoning, and other information.

**TOWNHOMES (TH-1)**

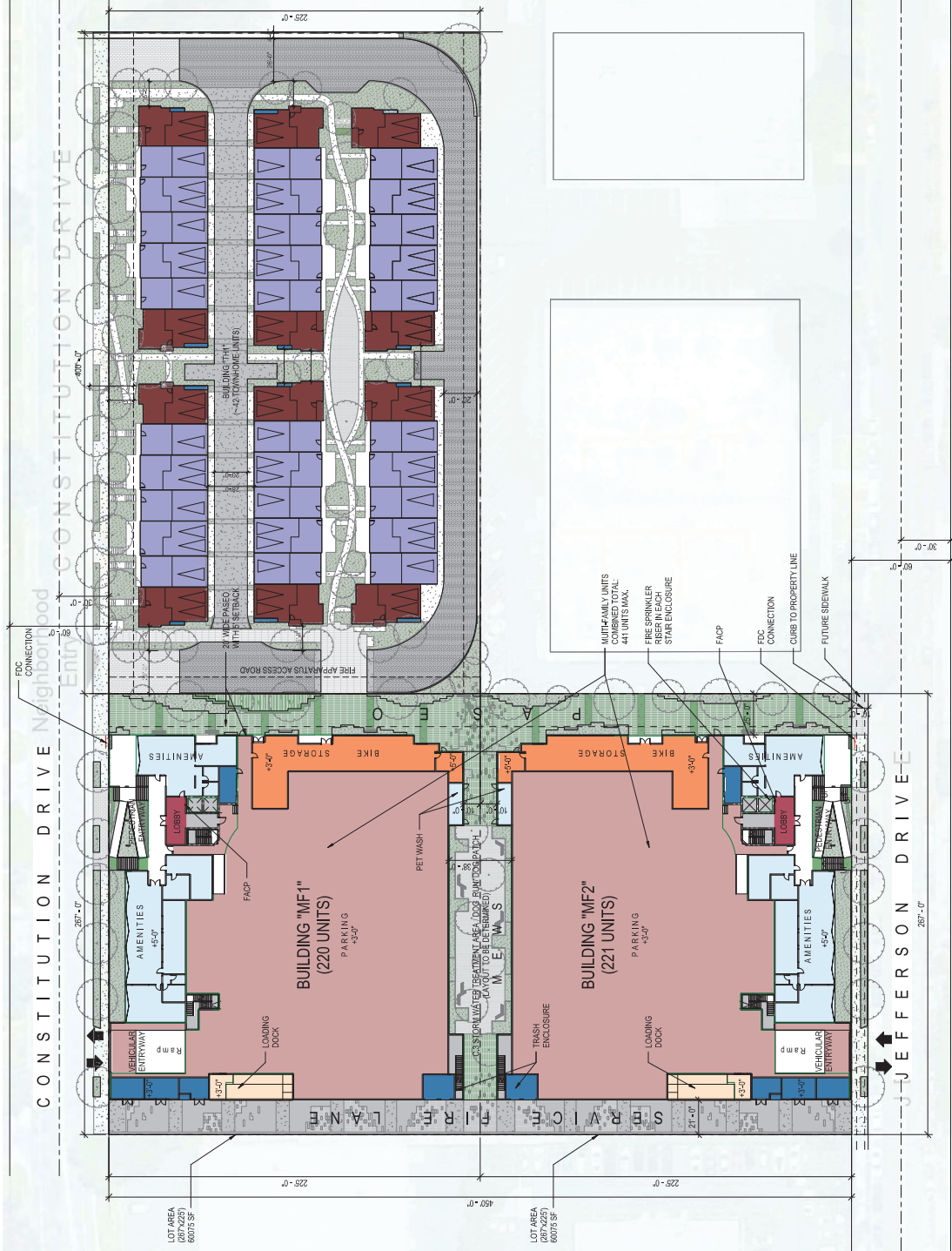
Table with project details for Townhomes (TH-1), including project address, APN, lot, zoning, and other information.

**CODES USED**

Table listing various codes used in the project, such as building code, fire code, and accessibility code.

**PROJECT SUMMARY**

THE PROJECT CONSISTS OF THREE "POD" BLDGS.  
1. & 2. 100 ALLOWER TYPICAL MULTI-FAMILY APARTMENT BUILDINGS, WITH AMENITY AND SUPPORT SPACES, OVER TWO STORIES OF STRUCTURED PARKING, RESIDENTIAL APARTMENTS, COMMERCIAL AND SUPPORTIVE SPACES. THE HIGHEST OCCUPIED FLOOR, THE 7TH FLOOR, WILL BE 17.12' ABOVE THE FINISH GRADE AND WILL BE AT THE LEVEL OF THE DEPARTMENT ACCESS, AND THEREFORE THE BUILDING IS NOT AN EGRESS STRUCTURE.  
3. FORTY-TWO (42) TOWNHOME APARTMENTS IN SIX SEPARATE DETACHED STRUCTURES. THESE ARE TYPE I/A CONSTRUCTION, AND INCLUDE ENCLOSED INDIVIDUAL PARKING GARAGES.



**PLAN LEGEND**

[Light Blue Box]	0 Studio (FAR)
[Light Orange Box]	1 Junior Bedroom (FAR)
[Light Green Box]	1 Bedroom (FAR)
[Light Pink Box]	2 Bedroom (FAR)
[Light Purple Box]	3 Bedroom (FAR)
[Dark Purple Box]	4 Bedroom (FAR)

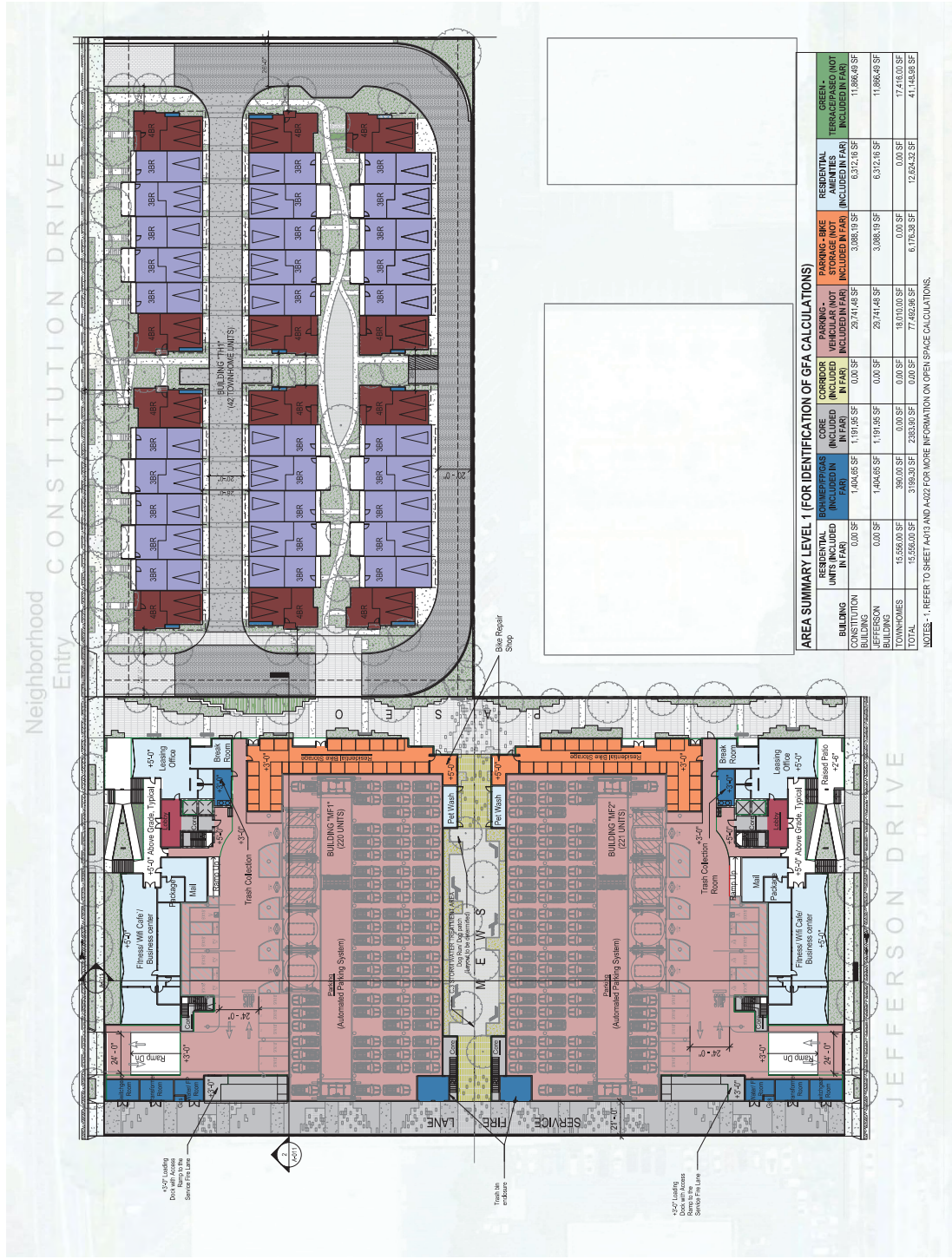


**SITE PLAN**

**MENLO UPTOWN HOUSING**  
MENLO PARK, CA  
01-16-19







**PLAN LEGEND**

[Light Blue Box]	0 Studio (FAR)
[Light Orange Box]	1 Junior Bedroom (FAR)
[Light Green Box]	1 Bedroom (FAR)
[Light Purple Box]	2 Bedroom (FAR)
[Light Red Box]	3 Bedroom (FAR)
[Dark Red Box]	4 Bedroom (FAR)

**AREA SUMMARY LEVEL 1 (FOR IDENTIFICATION OF GFA CALCULATIONS)**

RESIDENTIAL UNITS (INCLUDED IN FAR)	COMMERCIAL (INCLUDED IN FAR)	PARKING - BIKE (INCLUDED IN FAR)	PARKING - CAR (INCLUDED IN FAR)	CORRIDOR (INCLUDED IN FAR)	GREEN YARDS (NOT INCLUDED IN FAR)
BUILDING CONSTITUTION BUILDING	0.00 SF	0.00 SF	0.00 SF	1,191.85 SF	6,372.16 SF
BUILDING JEFFERSON BUILDING	0.00 SF	0.00 SF	0.00 SF	1,191.85 SF	6,372.16 SF
TOWNHOMES	15,558.00 SF	380.00 SF	0.00 SF	2,833.50 SF	0.00 SF
TOTAL	15,558.00 SF	380.00 SF	0.00 SF	5,017.20 SF	12,744.32 SF

NOTES: -1. REFER TO SHEET A-410 AND A-402 FOR MORE INFORMATION ON OPEN SPACE CALCULATIONS.



PLAN LEVEL 01

MENLO UPTOWN HOUSING  
MENLO PARK, CA  
01-16-19

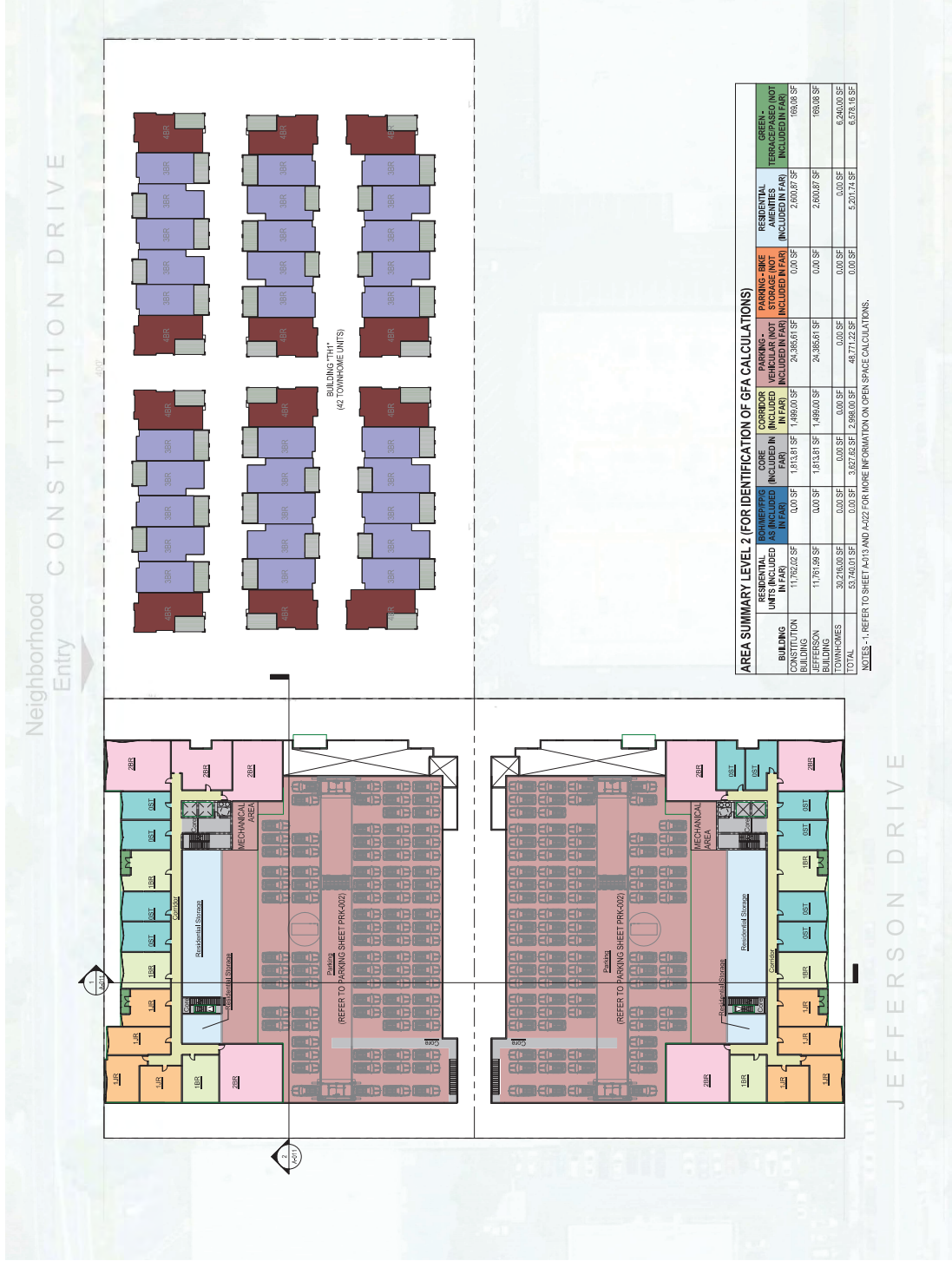


PGAdesign  
LANDSCAPE ARCHITECTS

BKF 100 YEARS



GREYSTAR  
REAL ESTATE



Neighborhood Entry  
CONSTITUTION DRIVE

JEFFERSON DRIVE

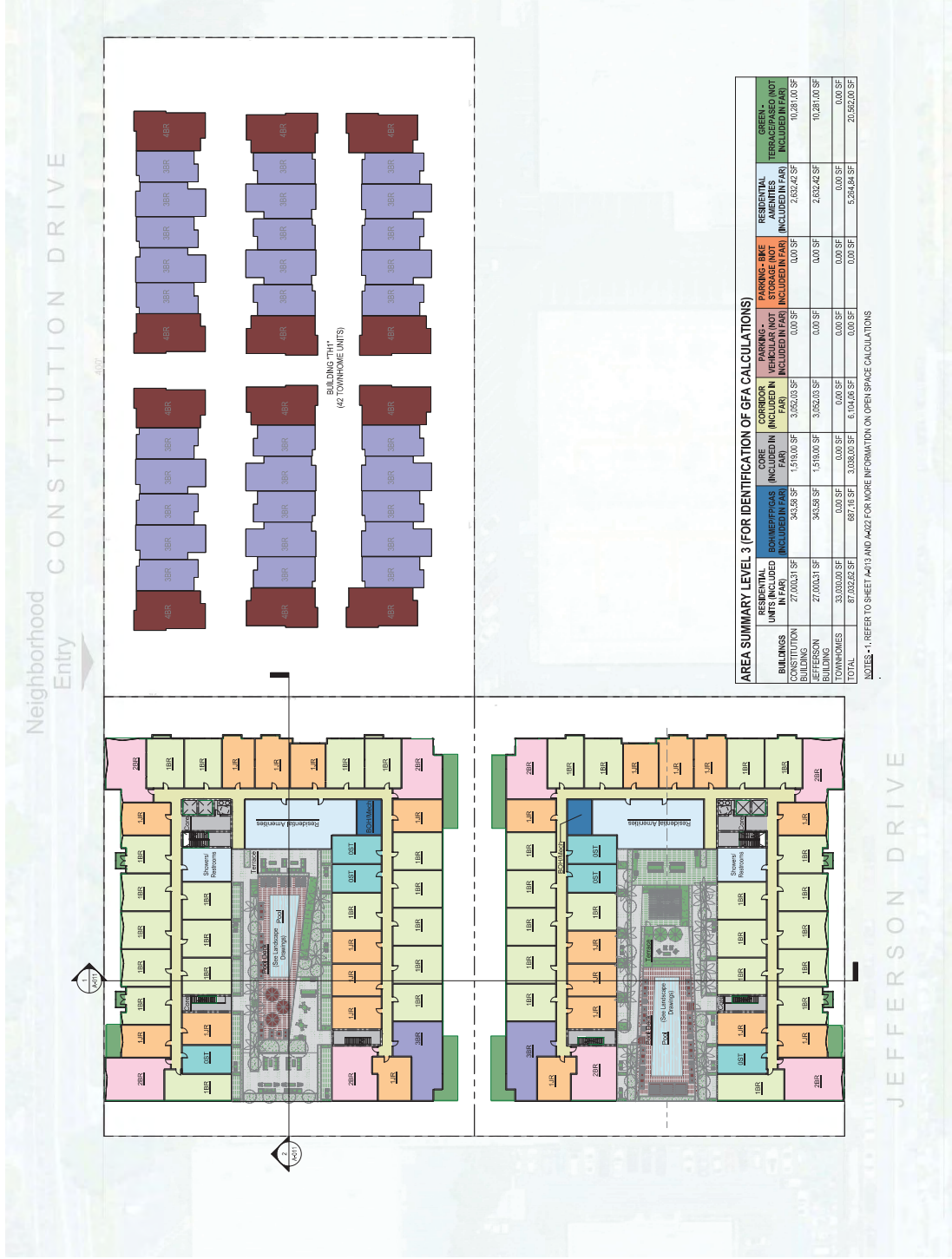
**PLAN LEGEND**

[Light Blue Box]	0 Studio (FAR)
[Orange Box]	1 Junior Bedroom (FAR)
[Light Green Box]	1 Bedroom (FAR)
[Pink Box]	2 Bedroom (FAR)
[Purple Box]	3 Bedroom (FAR)
[Dark Red Box]	4 Bedroom (FAR)

**AREA SUMMARY LEVEL 2 (FOR IDENTIFICATION OF GFA CALCULATIONS)**

BUILDING	RESIDENTIAL UNITS INCLUDED IN FAR	REINFORCEMENT (IN FAR)	CORE (IN FAR)	CORRIDOR (IN FAR)	PARKING-VEHICULAR (IN FAR)	PARKING-BIKE STORAGE (IN FAR)	RESIDENTIAL AMENITIES (IN FAR)	GREEN-TERRACE/PATIO (INCLUDED IN FAR)
CONSTITUTION BUILDING	11,762.22 SF	0.00 SF	1,513.41 SF	1,495.00 SF	24,385.61 SF	0.00 SF	2,600.87 SF	168.08 SF
JEFFERSON BUILDING	11,761.98 SF	0.00 SF	1,513.41 SF	1,495.00 SF	24,385.61 SF	0.00 SF	2,600.87 SF	168.08 SF
TOWNHOMES	30,216.00 SF	0.00 SF	0.00 SF	0.00 SF	0.00 SF	0.00 SF	0.00 SF	6,240.00 SF
TOTAL	53,740.20 SF	0.00 SF	3,026.82 SF	2,990.00 SF	48,771.22 SF	0.00 SF	5,201.74 SF	6,576.16 SF

NOTES - 1. REFER TO SHEET A-10 AND A-22 FOR MORE INFORMATION ON OPEN SPACE CALCULATIONS.



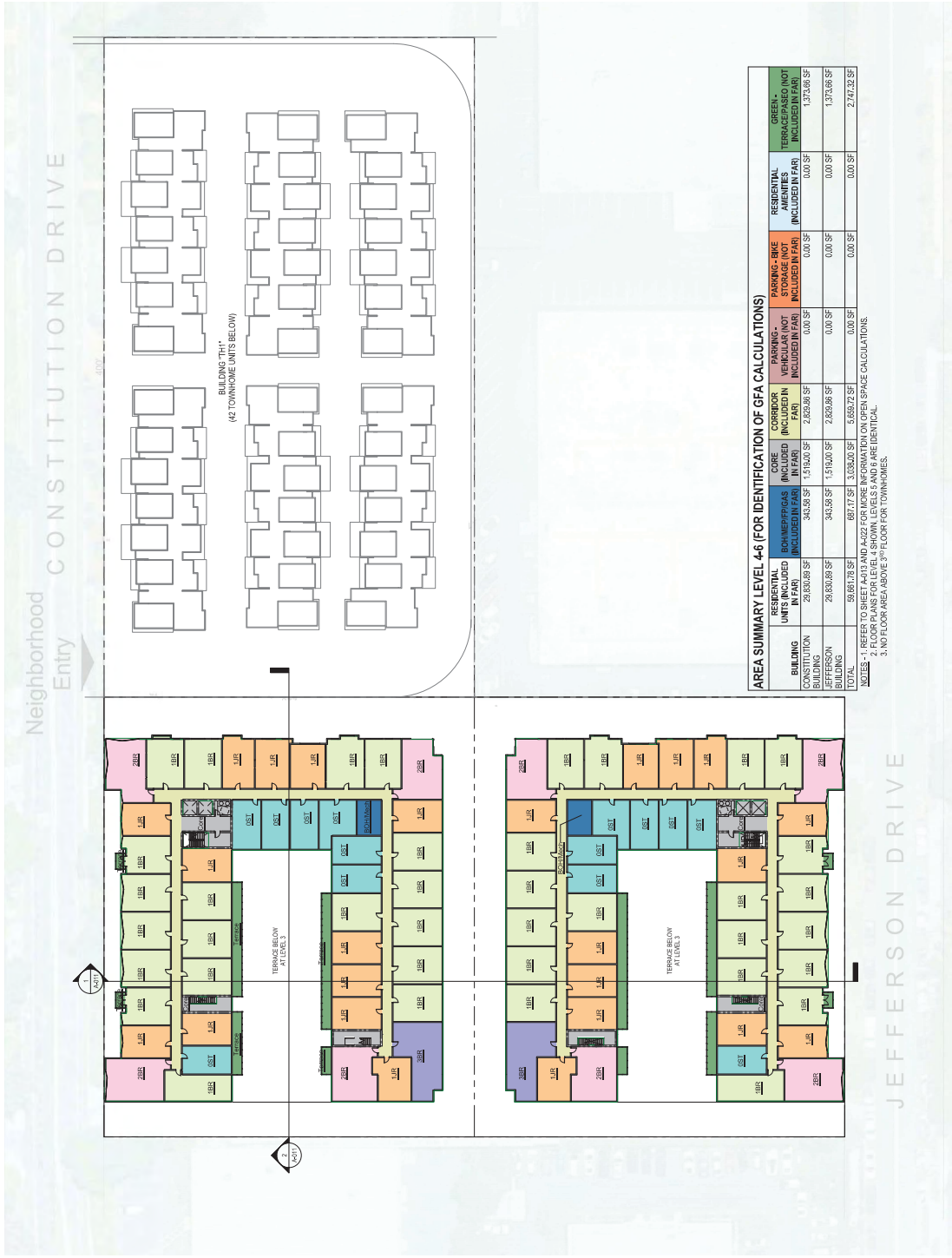
**PLAN LEGEND**

<span style="display:inline-block; width:15px; height:15px; background-color:#ADD8E6;"></span>	0 Studio (FAR)
<span style="display:inline-block; width:15px; height:15px; background-color:#FFD700;"></span>	1 Junior Bedroom (FAR)
<span style="display:inline-block; width:15px; height:15px; background-color:#90EE90;"></span>	1 Bedroom (FAR)
<span style="display:inline-block; width:15px; height:15px; background-color:#FFB6C1;"></span>	2 Bedroom (FAR)
<span style="display:inline-block; width:15px; height:15px; background-color:#9370DB;"></span>	3 Bedroom (FAR)
<span style="display:inline-block; width:15px; height:15px; background-color:#8B0000;"></span>	4 Bedroom (FAR)

**AREA SUMMARY LEVEL 3 (FOR IDENTIFICATION OF GFA CALCULATIONS)**

BUILDINGS	RESIDENTIAL UNITS INCLUDED IN FAR	BOHEMPPGAS INCLUDED IN FAR	CORRECTOR INCLUDED IN FAR	COBBOR INCLUDED IN FAR	PARKING-VEHICULAR (NOT INCLUDED IN FAR)	PARKING-BIKE STORAGE (NOT INCLUDED IN FAR)	RESIDENTIAL AMENITIES INCLUDED IN FAR	GREEN-TERRACE/PASEO (NOT INCLUDED IN FAR)
CONSTITUTION	27,000.31 SF	343.58 SF	1,519.00 SF	3,052.03 SF	0.00 SF	0.00 SF	2,652.42 SF	10,281.00 SF
JEFFERSON BUILDING	33,000.00 SF	343.58 SF	1,519.00 SF	3,052.03 SF	0.00 SF	0.00 SF	2,652.42 SF	10,281.00 SF
TOWNHOMES	87,632.62 SF	897.16 SF	3,038.05 SF	6,104.06 SF	0.00 SF	0.00 SF	5,294.84 SF	20,562.00 SF
TOTAL								

NOTES: \* 1. REFER TO SHEET A-013 AND A-022 FOR MORE INFORMATION ON OPEN SPACE CALCULATIONS



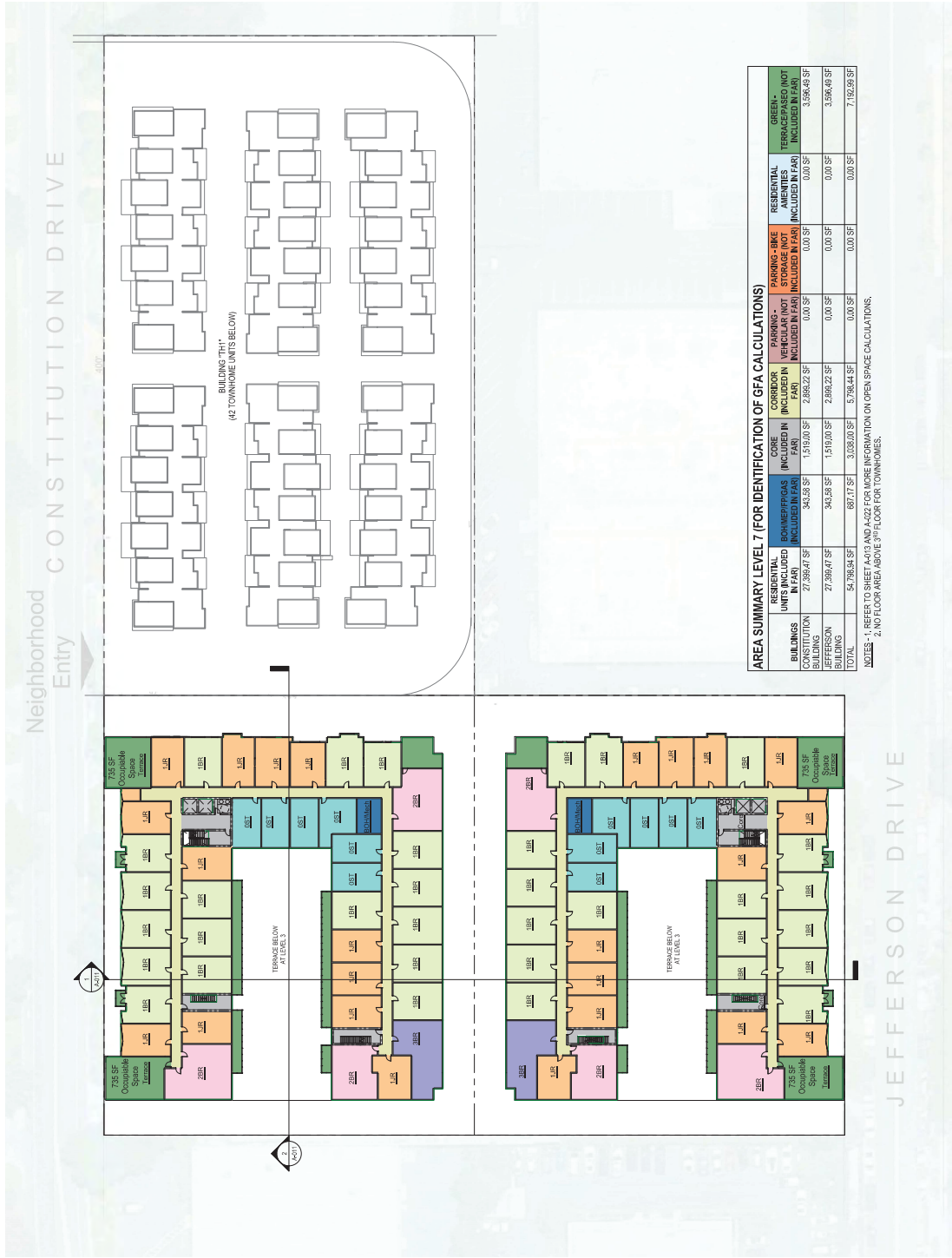
**PLAN LEGEND**

- 0 Studio (FAR)
- 1 Junior Bedroom (FAR)
- 1 Bedroom (FAR)
- 2 Bedroom (FAR)
- 3 Bedroom (FAR)
- 4 Bedroom (FAR)

**AREA SUMMARY LEVEL 4-6 (FOR IDENTIFICATION OF GFA CALCULATIONS)**

BUILDING	RESIDENTIAL UNITS INCLUDED (IN FAR)	COMMERCIAL/FF&AS INCLUDED (IN FAR)	CORRIDOR INCLUDED (IN FAR)	PARKING-VEHICULAR (NOT INCLUDED IN FAR)	PARKING-BIKE STORAGE (NOT INCLUDED IN FAR)	RESIDENTIAL AMENITIES (INCLUDED IN FAR)	GREEN-TERRACE/PASEO (NOT INCLUDED IN FAR)
CONSTITUTION BUILDING	29,830.08 SF	343.08 SF	1,519.00 SF	2,823.96 SF	0.00 SF	0.00 SF	1,372.68 SF
JEFFERSON BUILDING	28,830.08 SF	343.58 SF	1,519.00 SF	2,823.96 SF	0.00 SF	0.00 SF	1,372.68 SF
TOTAL	58,660.16 SF	686.66 SF	3,038.00 SF	5,647.92 SF	0.00 SF	0.00 SF	2,745.36 SF

NOTES - 1. REFER TO SHEET A-03 AND A-02 FOR MORE INFORMATION ON OPEN SPACE CALCULATIONS.  
 2. CORRIDOR AREA IS IDENTICAL.  
 3. NOT FLOOR AREA ABOVE 3<sup>RD</sup> FLOOR FOR TOWNHOMES.



**PLAN LEGEND**

<span style="display:inline-block; width:15px; height:15px; background-color:lightblue;"></span>	0 Studio (FAR)
<span style="display:inline-block; width:15px; height:15px; background-color:orange;"></span>	1 Junior Bedroom (FAR)
<span style="display:inline-block; width:15px; height:15px; background-color:lightgreen;"></span>	1 Bedroom (FAR)
<span style="display:inline-block; width:15px; height:15px; background-color:lightpink;"></span>	2 Bedroom (FAR)
<span style="display:inline-block; width:15px; height:15px; background-color:lightpurple;"></span>	3 Bedroom (FAR)
<span style="display:inline-block; width:15px; height:15px; background-color:lightred;"></span>	4 Bedroom (FAR)

**AREA SUMMARY LEVEL 7 (FOR IDENTIFICATION OF GFA CALCULATIONS)**

BUILDINGS	RESIDENTIAL UNITS INCLUDED IN FAR	BOH/HP/PP/GAS (INCLUDED IN FAR)	CORE (INCLUDED IN FAR)	CORRIDOR (INCLUDED IN FAR)	PARKING - VEHICULAR (NOT INCLUDED IN FAR)	PARKING - BIKE STORAGE (NOT INCLUDED IN FAR)	RESIDENTIAL AMENITIES (INCLUDED IN FAR)	GREEN TERRACE/PASO (NOT INCLUDED IN FAR)
DEFINITION BUILDING	27,356.47 SF	343.25 SF	1,519.00 SF	2,866.22 SF	0.00 SF	0.00 SF	0.00 SF	3,596.49 SF
JEFFERSON BUILDING	27,356.47 SF	343.25 SF	1,519.00 SF	2,866.22 SF	0.00 SF	0.00 SF	0.00 SF	3,596.49 SF
TOTAL	54,712.94 SF	686.50 SF	3,038.00 SF	5,732.44 SF	0.00 SF	0.00 SF	0.00 SF	7,192.98 SF

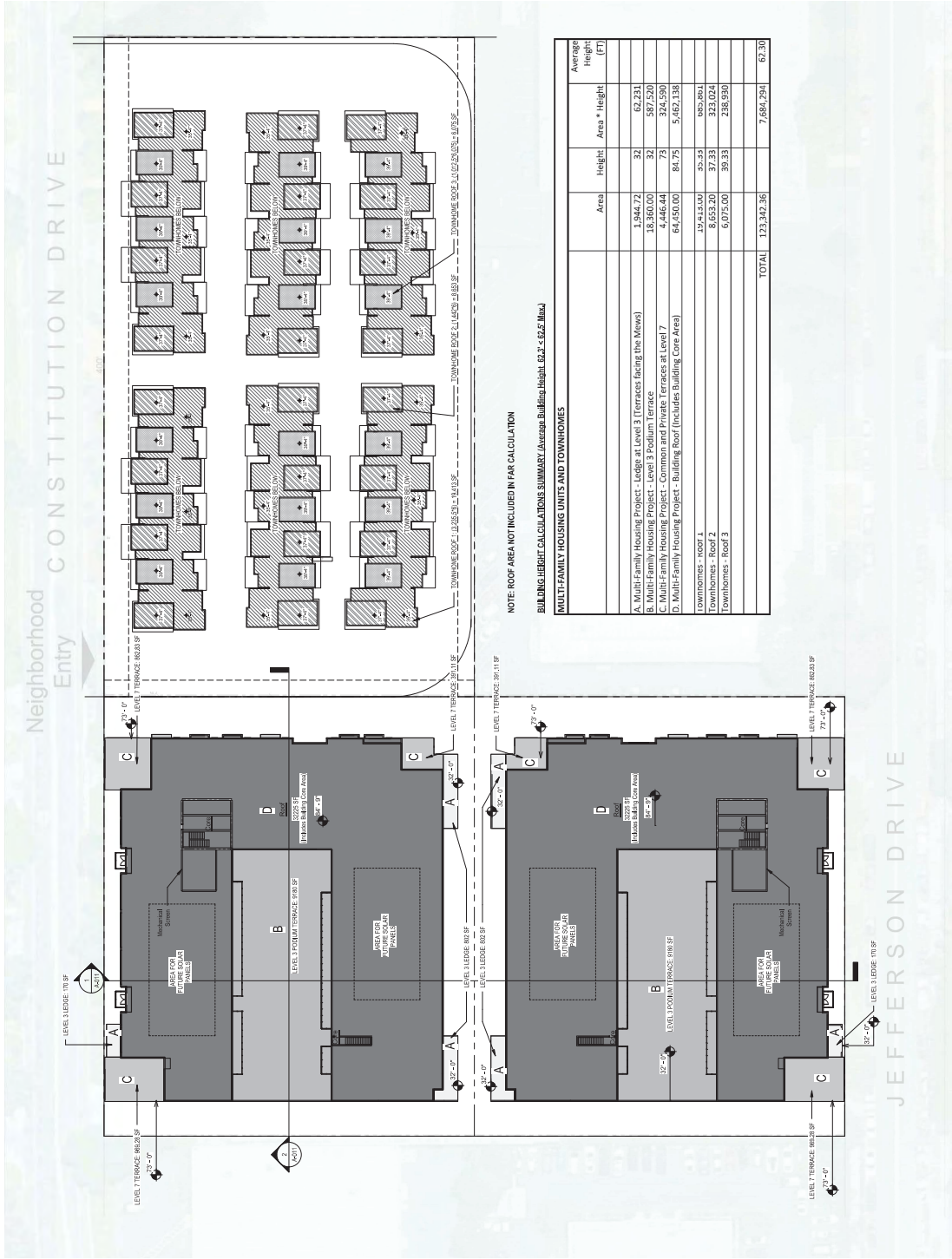
NOTES - 1. REFER TO SHEET A-010 AND A-022 FOR MORE INFORMATION ON OPEN SPACE CALCULATIONS.  
2. NO FLOOR AREA ABOVE 3<sup>RD</sup> FLOOR FOR TOWNHOMES.



PLAN LEVEL 07

MENLO UPTOWN HOUSING  
MENLO PARK, CA  
01-16-19





Neighborhood Entry CONSTITUTION DRIVE

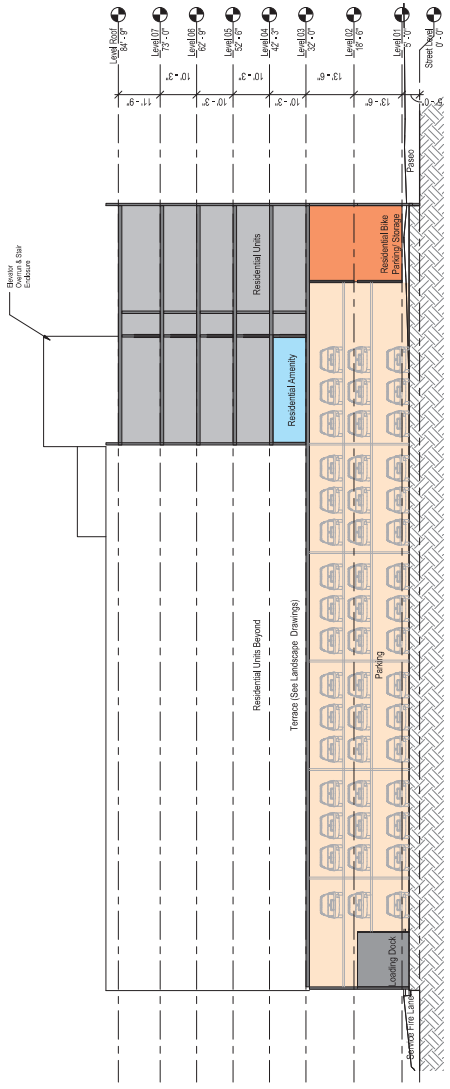
JEFFERSON DRIVE

**PLAN LEGEND**

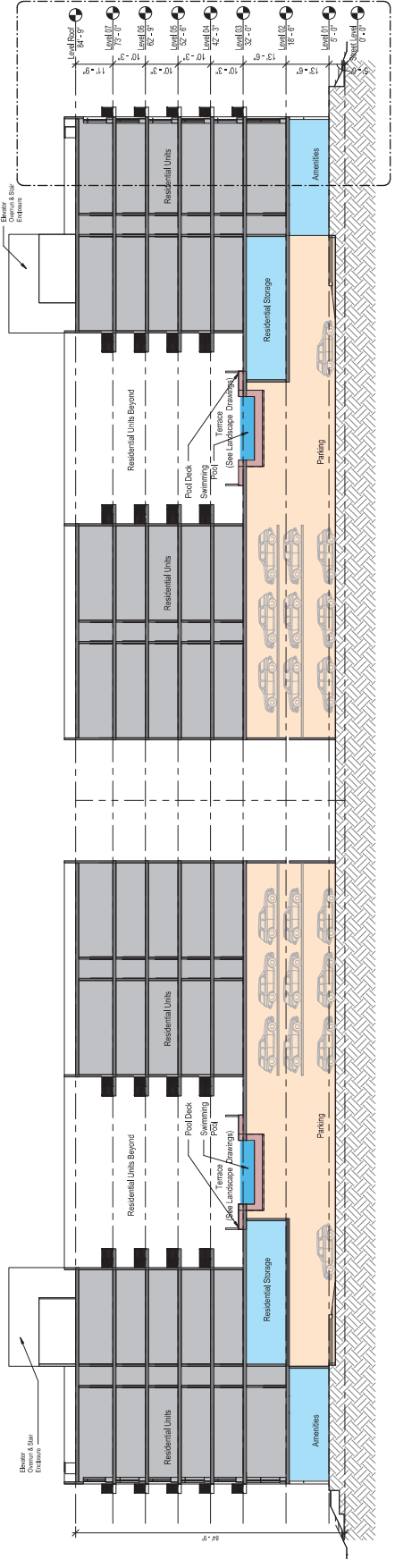
[Light Blue Box]	0 Studio (FAR)
[Light Orange Box]	1 Junior Bedroom (FAR)
[Light Green Box]	1 Bedroom (FAR)
[Light Pink Box]	2 Bedroom (FAR)
[Light Purple Box]	3 Bedroom (FAR)
[Light Red Box]	4 Bedroom (FAR)

NOTE: ROOF AREA NOT INCLUDED IN FAR CALCULATION  
 BUILDING HERIT CALCULATIONS SUMMARY (Average Building Height: 62.3 < 62.5' Max)  
 MULTI-FAMILY HOUSING UNITS AND TOWNHOMES

	Area	Height	Area * Height	Average Height (FT)
A. Multi-Family Housing Project - Lodge at Level 3 (Terraces Facing the Mews)	1,944.72	32	62,231	
B. Multi-Family Housing Project - Level 3 Podium Terrace	18,360.00	32	587,520	
C. Multi-Family Housing Project - Common and Private Terraces at Level 7	4,446.44	75	334,590	
D. Multi-Family Housing Project - Building Roof (Includes Building Core Area)	64,450.00	84.75	5,467,138	
Townhomes - Roof 1	19,413.00	25-25	485,325	
Townhomes - Roof 2	8,653.20	37.33	323,024	
Townhomes - Roof 3	6,075.00	39.33	238,930	
<b>TOTAL</b>	<b>123,342.36</b>		<b>7,687,294</b>	<b>62.30</b>



2 WEST EAST BUILDING SECTION  
1/8" = 1'-0"



1 NORTH SOUTH BUILDING SECTION  
1/8" = 1'-0"





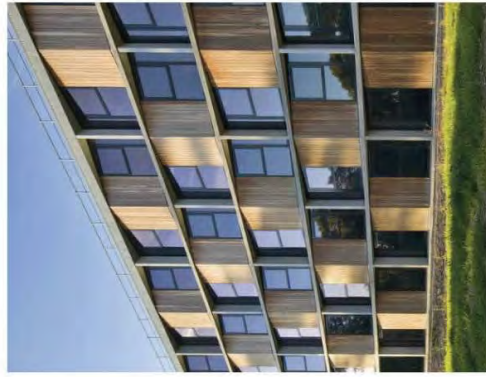
Multifamily Inspiration Image 1 - Modulation and Rhythm



Multifamily Inspiration Image 2 - Building Corner



Multifamily Inspiration Image 3 - Building Corner



Multifamily Inspiration Image 4 - Angled Facade



Multifamily Inspiration Image 5 - Projecting Bays



**Municipal Code 16.45120 (4) -**

**Open Space:**

All development in the Residential-Mixed Use district shall provide a minimum amount of open space equal to 25% of the total lot area, with a minimum amount of publicly accessible open space equal to 25% of the total required open space area.

One hundred (100) square feet of open space per unit shall be created as common open space. In the case of a mix of private and common open space, such common open space shall be provided at a ratio equal to one and one-quarter (1.25) square feet for each one (1) square foot of private open space that is not provided.

**Project Requirements:**

25% of the total lot area (120,150) = 30,038 SF Open Space required  
100 SF of Common Open Space per unit required

✓ **Project Compliance - Open Space:**  
60,068 SF of Open Space provided by design  
(49.99% of total site area)

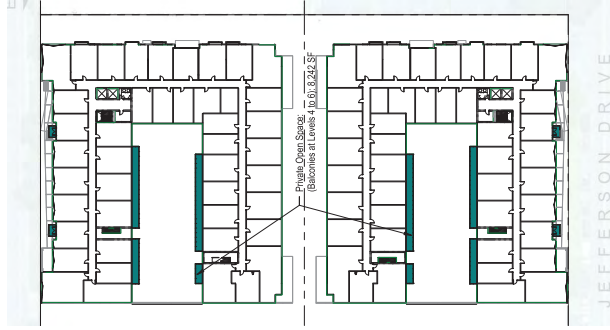
- Includes:
- Public Open Space: 17,243 SF
  - Private & Common Open Space: 42,825 SF
- PUBLIC OPEN SPACE 17,243 SF  
 PRIVATE OPEN SPACE 17,541 SF  
 COMMON OPEN SPACE 25,284 SF

✓ **Project Compliance - Common Open Space:**  
Common Open Space + Private Open Space (1.25x equivalency) = Total Common Open Space Provided  
25,284 SF + (17,541 SF x 1.25) = 47,210 SF

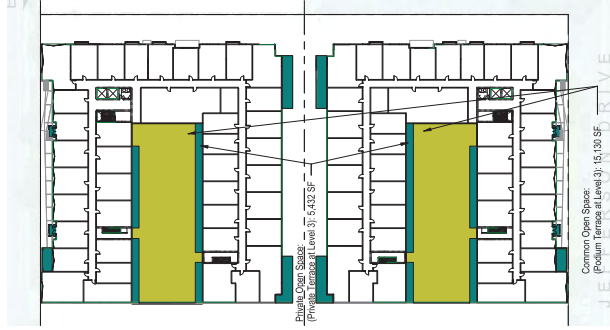
47,210 SF for 441 units = 107 SF per unit  
107 SF Common Open Space/du > min. 100 SF/du requirement



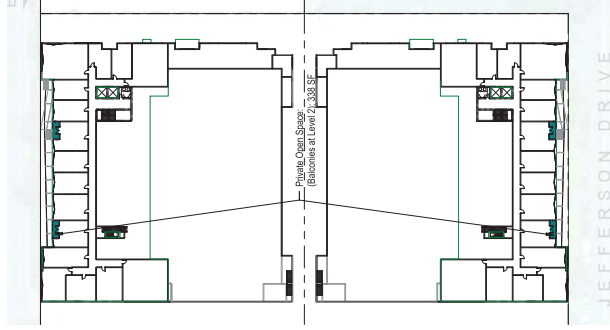
⑤ LEVEL 01



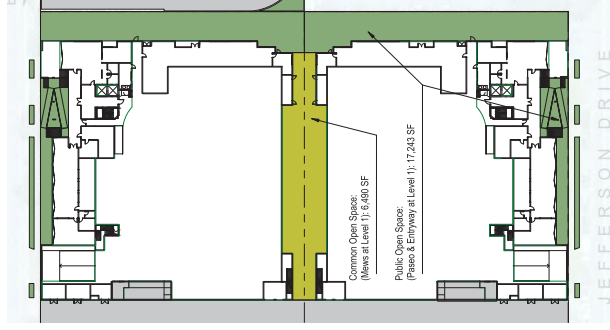
④ LEVEL 02 (TYPICAL LEVELS 4-6)



③ LEVEL 03



② LEVEL 02



① LEVEL 01



100% of building face (upper stories)  
 Exempt building face  
 Eligible building face  
 Required setback face  
 Stepback building face provided

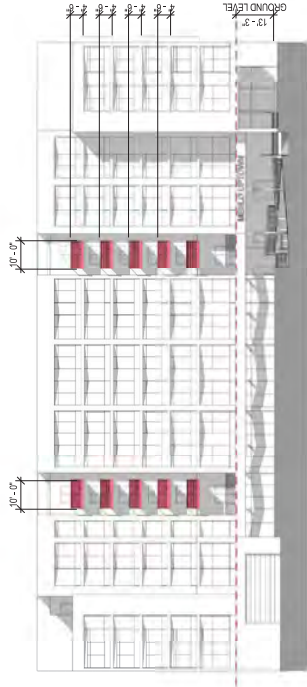
11,728 SF  
 11,728 SF x 25% = 2,932 SF  
 11,728 SF - 2,932 SF = 8,796 SF  
 8,796 SF x 75% = 6,597 SF

9,147 SF  
 9,147 SF > 6,597 SF    Complies

**Municipal Code 16.45120 (2) - Minimum Stepback:**  
 10' for a minimum of 75% of the building's face along public streets for the building's upper stories. A maximum of 25% of the building face along public streets may be excepted from this standard in order to provide architectural variation.

✓ **Project Compliance:**  
 Building steps back at least 10' for 75% of the building face on the upper stories

- Stepped back portion of the building
- - Base Height

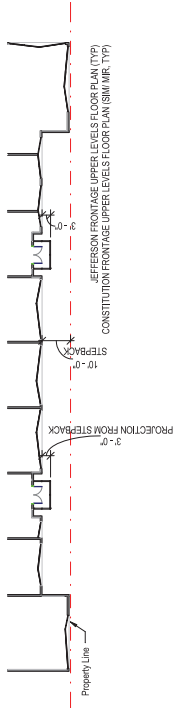


Building projection provided  
 453 SF

**Municipal Code 16.45120 (2) - Building Projections:**  
 Maximum 6' from the required stepback for portions of the building above the ground floor

✓ **Project Compliance:**  
 All building projections are within 6' from required stepback

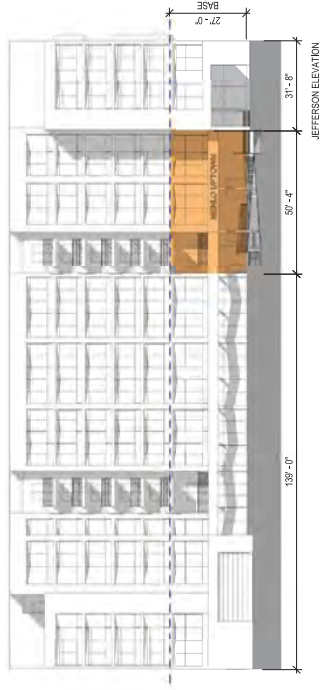
- Building projection beyond required stepback
- - Ground level height



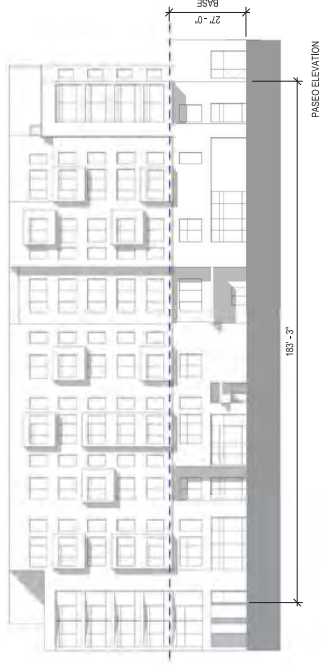
**Municipal Code 16.45120 (2) - Major Building Modulations:**  
 Minimum one recess of 15' wide by 10' deep per 200' of facade length facing publicly accessible spaces (streets, open space, and passes) applicable from the ground level to the top of the buildings' base height.

**Project Compliance:**  
 At least one major building recess provided every 200' of facade on Jefferson and Constitution elevations. Not applicable for paseo elevation since the facade length is less than 200'

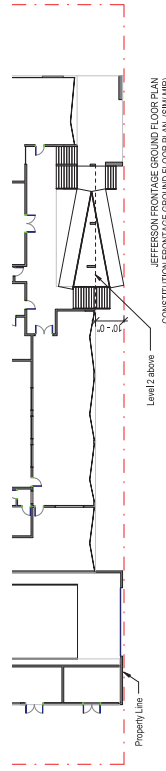
- Major building recess
- - - Base height



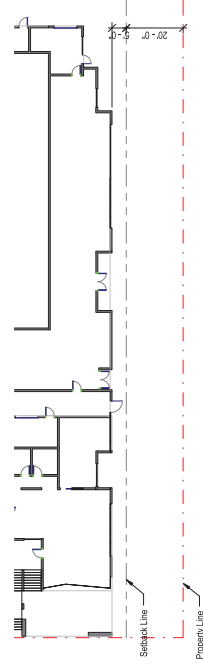
JEFFERSON ELEVATION  
 CONSTITUTION ELEVATION (SMI MR)



MAJOR BUILDING MODULATION NOT APPLICABLE SINCE FACADE LENGTH IS LESS THAN 200'



JEFFERSON FRONTAGE GROUND FLOOR PLAN  
 CONSTITUTION FRONTAGE GROUND FLOOR PLAN (SMI MR)



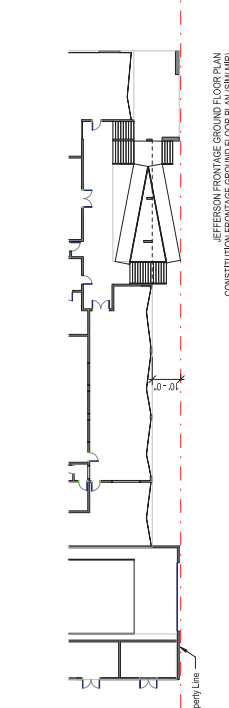
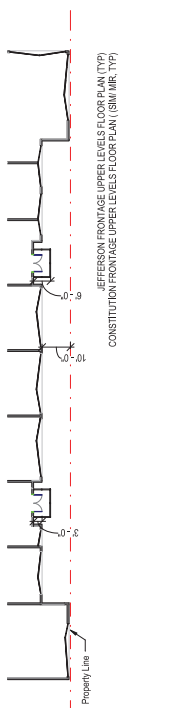
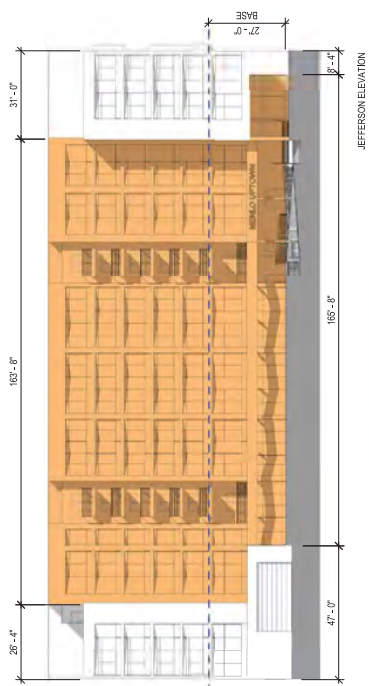
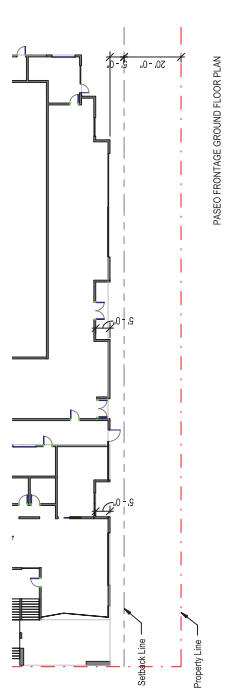
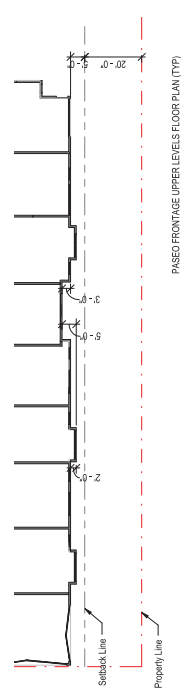
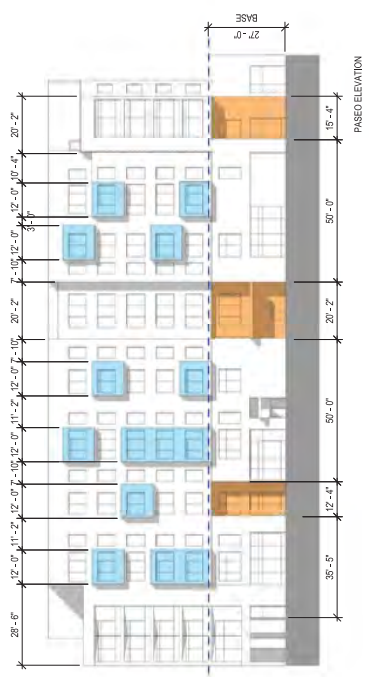
PASEO FRONTAGE UPPER LEVELS FLOOR PLAN (TYP)

**Municipal Code 16.45120 (2) - Minor Building Modulations:**  
 Minimum recess of 5' wide by 5' deep per 50' of facade length facing publicly accessible spaces (streets, open space, and paseos).

Building projections spaced no more than 50' apart with a minimum of 3' depth and 5' width may satisfy this requirement (in lieu of a recess).

**Project Compliance:**  
 At least one minor building recess or building projection provided every 50' of facade

- Minor building recess
- Building projections
- - - Base height











Ground level facade surface 3,068 SF  
 Minimum required transparent glazing surface 3,068 SF x 30% = 920 SF  
 Opaque surface provided 1,534 SF  
 Transparent glazing surface provided 1,534 SF > 920 SF Complies

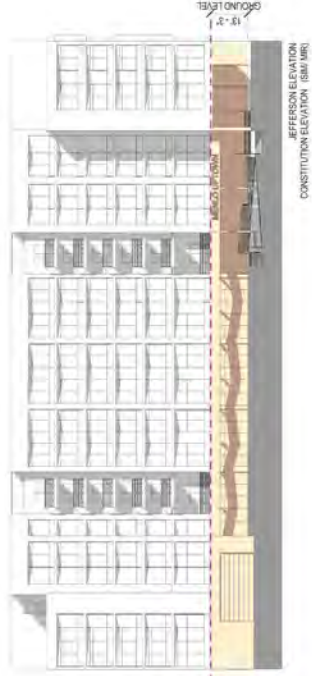


Ground level facade surface 2,457 SF  
 Minimum required transparent glazing surface 2,457 SF x 30% = 737 SF  
 Opaque surface provided 1,599 SF  
 Transparent glazing surface provided 858 SF > 737 SF Complies

**Municipal Code 16.45120 (3) - Ground Floor Transparency:**  
 Minimum 30% for residential uses of the ground floor facade that must provide visual transparency

**Project Compliance:**  
 Transparent glazing exceeds 30% of the ground floor facade.

Ground level transparent glazing surface  
 Ground level opaque surface  
 Ground level height

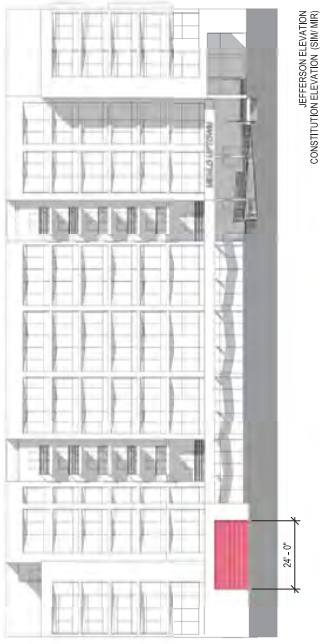


**Municipal Code 16.45120 (3) - Minimum Ground Floor Height Along Street Frontage:**  
 10' for residential uses

**Project Compliance:**  
 The ground level is 13'-6".

Ground level  
 Ground level height





**Municipal Code 16.45120 (3) - Garage Entrances:**  
Maximum 24' opening for two-way entrance

✓ **Project Compliance:**  
A 24' opening for two-way vehicular entrance is provided on Jefferson and Constitution.

■ Garage opening

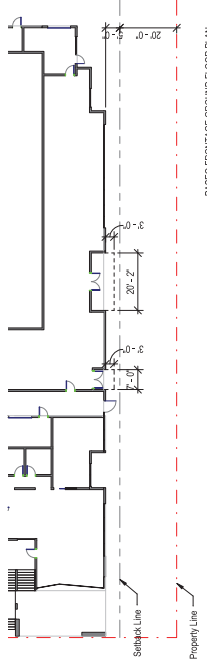
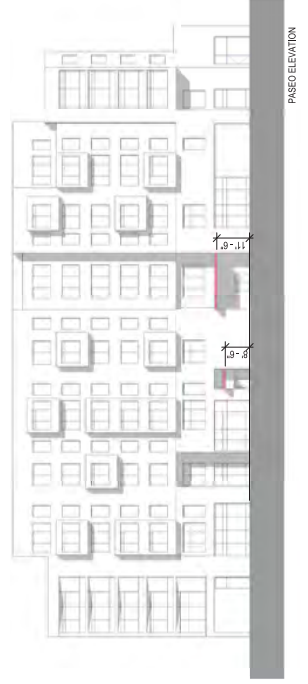
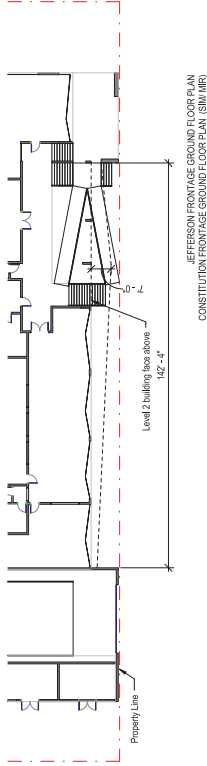
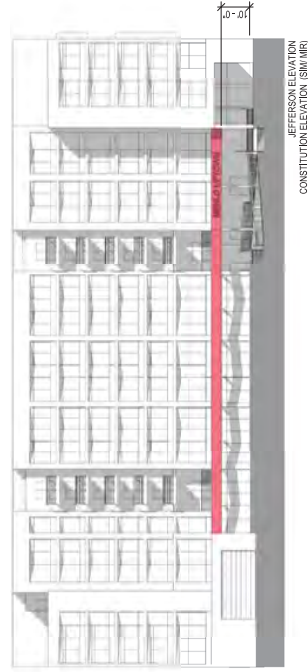


**Municipal Code 16.45120 (3) - Building Entrances:**  
One entrance every 100' of building length along a public street or paseo.

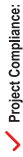
✓ **Project Compliance:**  
At least one entrance is provided every 100'.

■ Building entrance

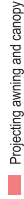




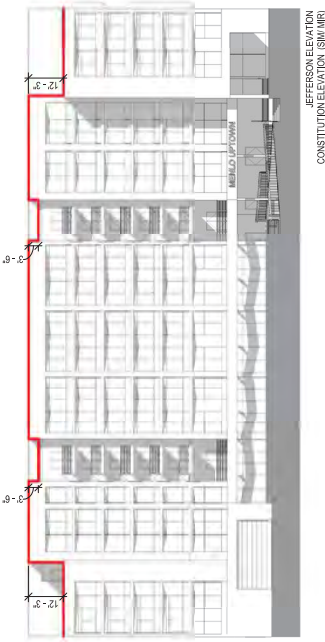
**Municipal Code 16.45120 (3) - Awnings, Signs, and Canopies:**  
Maximum 7' horizontal projection



**Project Compliance:**  
All awnings and canopies project less than 7' horizontally from face of building. A minimum vertical clearance of 8' from finished grade to the bottom of the projection is required.



Projecting awning and canopy



**Municipal Code 16.45120 (6) - Roof Line:**  
Roof lines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break visual monotony and create a visually interesting skyline as seen from public streets.

✓ **Project Compliance:**  
Roof line varies across the building, including a four-foot minimum height modulation.

— Roof line





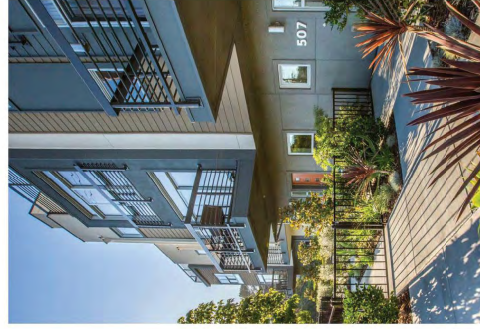
Townhouse Inspiration image 3.



Townhouse Inspiration image 2.



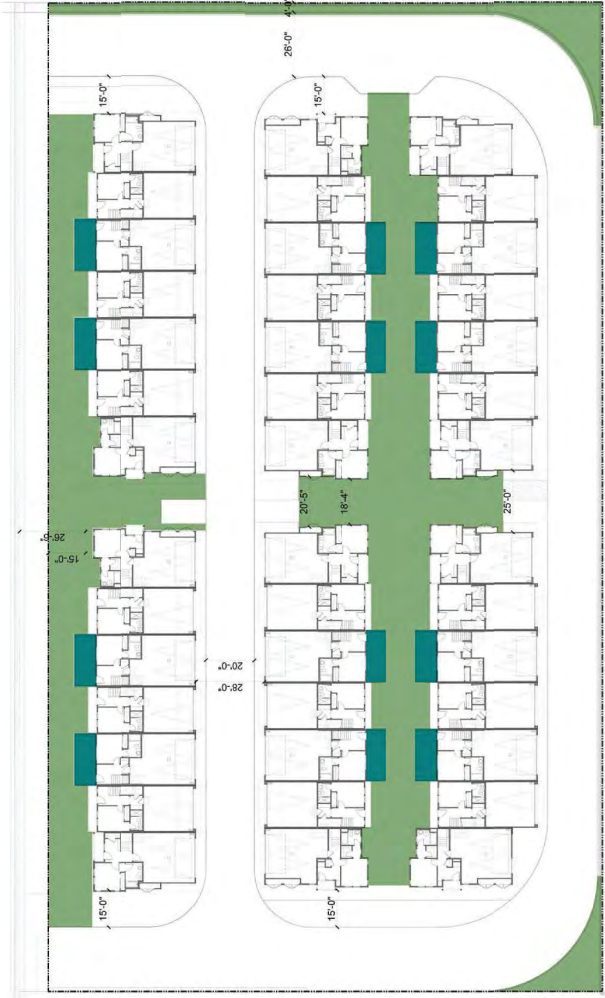
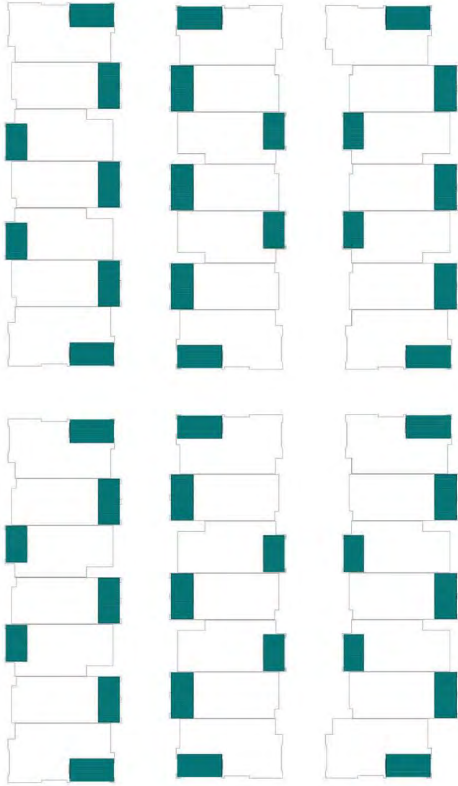
Townhouse Inspiration image 5.



Townhouse Inspiration image 4.



Townhouse Inspiration image 1.



**Municipal Code 16.45.120 (4)**

**Open Space:**

All Development in the Residential- Mixed Use district shall provide a minimum amount of open space equal to 25% of the total lot area, with a minimum amount of publicly accessible open space equal to 25% of the total required open space area.

**Project Requirement**

25% of the total area (90,113SF) = 22,528 SF open space required

**Project Compliance**

26% total area (23,656 SF) provided including:

Public Open Space: 15,496 SF

(Common: 4,468 SF + Landscape: 11,028 SF)

Private Open Space: 8,160 SF

(Ground: 1,920 SF + 2nd Floor: 6,240 SF)

 PUBLIC OPEN SPACE & LANDSCAPE

 PRIVATE OPEN SPACE (COMMON RESIDENTIAL AREAS)

45' base height (per 16.45.120 (2A))



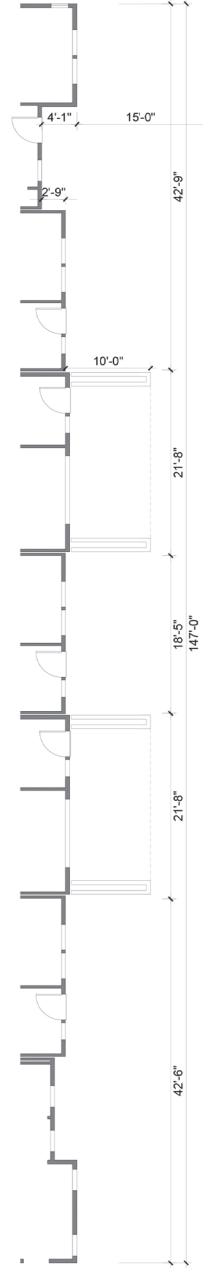
Typical Front Elevation

**Municipal Code 16.45.120 (2)**  
**Minimum Stepback above the base height of 45 ft:**  
 10 % for a minimum of 75% of the building face along public streets for buildings upper stories

**Project Compliance:**

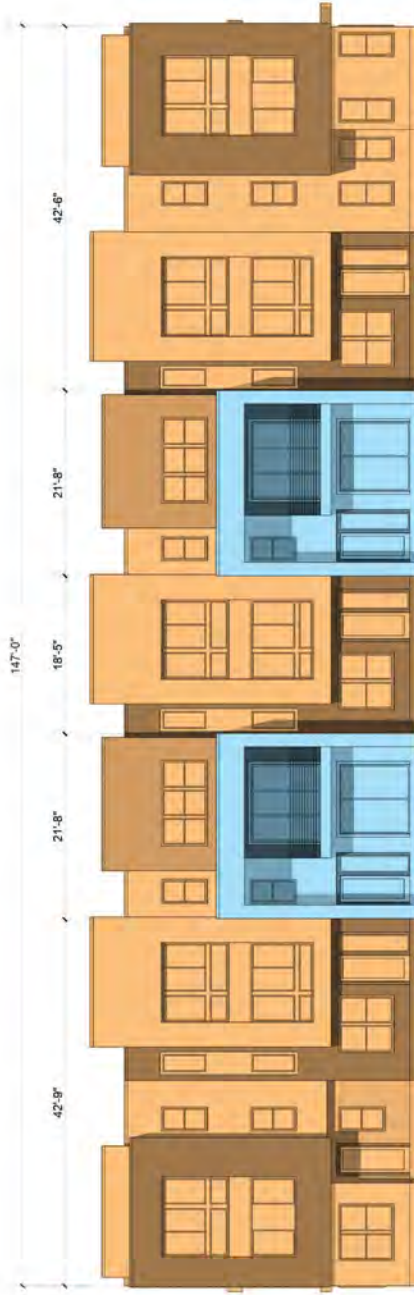
Building is below the 45' base height stepback definition; standard does not apply

**Municipal Code 16.45.120 (2)**  
**Building Projections:**  
 Maximum 6' from the required stepback



Typical Partial Building Plan

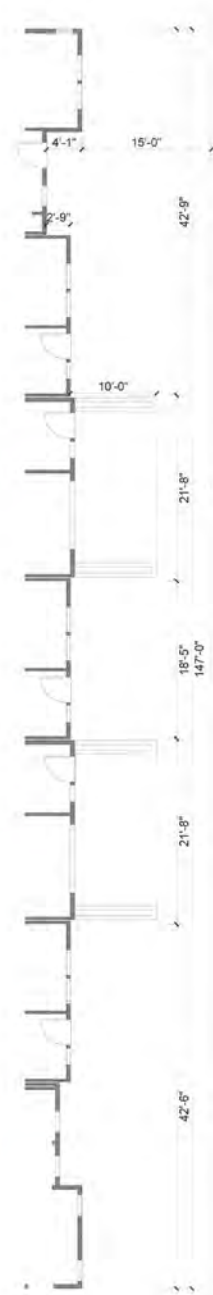
**Project Compliance:**  
 All building projections are within 6' from required stepback



Typical Front Elevation

**Municipal Code 16.45.120 (2)**  
**Minor Building Modulations:**  
 Minimum one recess of 5' wide by 5' deep per 50' of façade length

**Project Compliance:**  
 At least one minor building recess provided every 50' of façade



Typical Partial Building Plan

Minor building modulation delineation  
 Building Projections



**Municipal Code 16.45.120 (3)**  
**Ground Floor Transparency:**  
 Minimum 30% for residential uses of the ground floor facade that must provide visual transparency

**Project Compliance:**  
 Transparent glazing exceeds 30% of the ground floor facade



Ground floor level facade area 1,325.25 SF  
 Minimum required glazing area 1,325.25 SF = 398 SF  
 Transparent glazing provided 522.25 SF  
 522.25 SF > 398 SF Complies

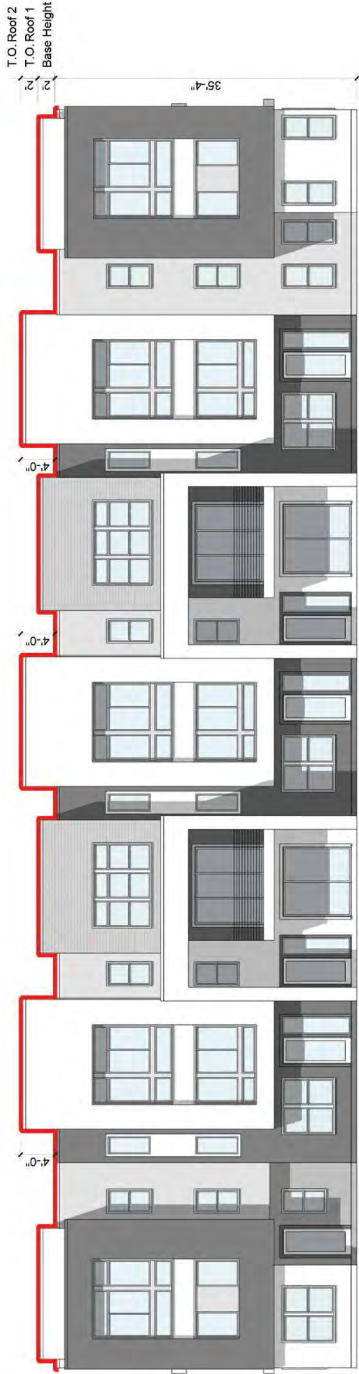
**Municipal Code 16.45.120(6)**

**Roof Line:**

Roof lines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break visual monotony and create a visually interesting skyline as seen from public streets

**Project Compliance:**

Roof line varies across the building, including a four-foot minimum height modulation



Typical Front Elevation

— Roof line



A-027

PROJECT VIEW - VIEW ON JEFFERSON  
LOOKING NORTH

MENLO UPTOWN HOUSING  
MENLO PARK, CA  
01-16-19





PROJECT VIEW -VIEW ON JEFFERSON  
LOOKING WEST

MENLO UPTOWN HOUSING  
MENLO PARK, CA  
01-16-19







PROJECT VIEW - VIEW ON CONSTITUTION  
LOOKING WEST

MENLO UPTOWN HOUSING  
MENLO PARK, CA  
01-16-19



A-029



CONSTITUTION

**GREYSTAR**

**HM**  
HOLLAND MARSH

**BKF 100 YEARS**  
LANDSCAPE ARCHITECTS

**kit by**  
ARCHITECTS

**MENLO UPTOWN HOUSING**  
MENLO PARK, CA  
01-17-19

**PROJECT VIEW – VIEW FROM  
CONSTITUTION LOOKING SOUTH**

**A-030**



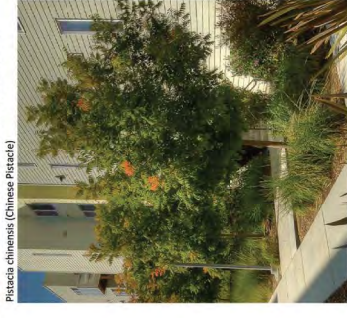
PROJECT VIEW -VIEW ON PASEO  
LOOKING SOUTH

MENLO UPTOWN HOUSING  
MENLO PARK, CA  
01-17-19



A-031

**STREET TREE AT JEFFERSON ST**



**STREET TREE AT CONSTITUTION ST**



**PLANTING - UNDERSTORY**



**DOG RUN TREES**  
Gilligo bioba "Princeton Sentry" (Gilligo)



**PASEO TREES**  
Acer rubrum (Red Maple)



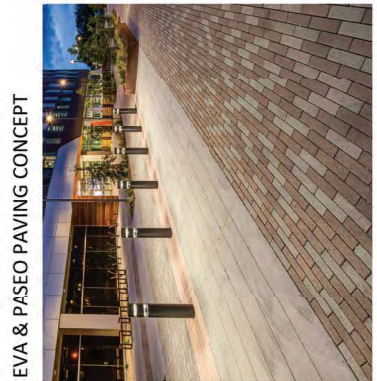
Quercus virginiana (Southern Live Oak)



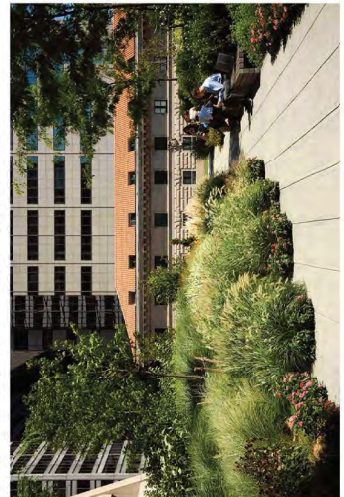


**KEY NOTES**

- A. EVA DRIVEWAY: A FLEXIBLE USE SPACE WITH ACCENT PAVING.
- B. THE MEWS ARTIFICIAL TURF DOG PLAY AREA WITH DOG FITNESS EQUIPMENT, TREES IN SILVA CELLS FOR STORMWATER TREATMENT.
- C. PASEO: PUBLIC ACCESS PASEO BETWEEN JEFFERSON AND CONSTITUTION. VARIED WIDTH PATH FROM 10' TO 14' WIDE, WITH PLANTING AREAS, TREES IN SILVA CELLS FOR STORMWATER TREATMENT, & SEATING ZONES WITH BENCHES & BIKE RACKS.
- D. STREET FRONTAGE: ENHANCED WITH STREET TREES AND PLANTING BUFFER BETWEEN SIDEWALK AND STREET.



EVA & PASEO PAVING CONCEPT



PASEO LANDSCAPE PLANTING & PAVING

BENCHES AT THE MEWS



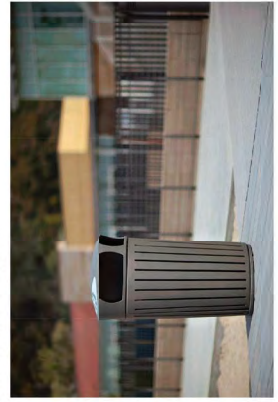
BENCHES AT PASEO

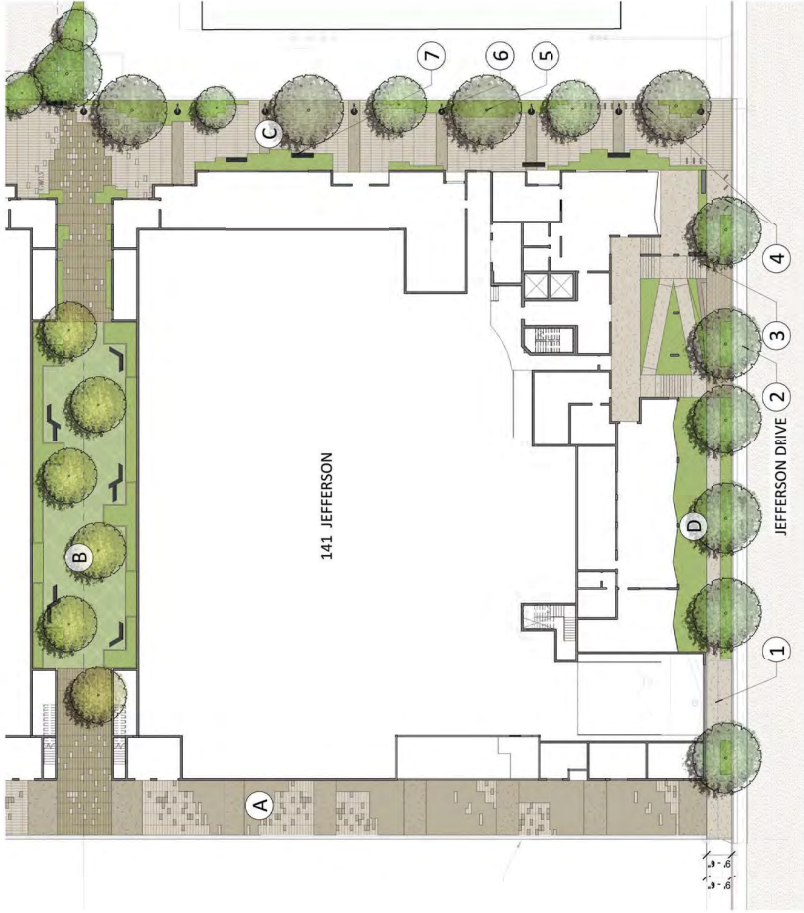


BIKE RACKS



TRASH RECEPTACLE





**KEY NOTES**

- A. E/A DRIVEWAY: A FLEXIBLE USE SPACE WITH ACCENT PAVING.
- B. THE MEWS: ARTIFICIAL TURF DOG PLAY AREA WITH DOG FITNESS EQUIPMENT, TREES IN SILVA CELLS FOR STORMWATER TREATMENT.
- C. PASEO: PUBLIC ACCESS PASEO BETWEEN JEFFERSON AND CONSTITUTION, VARIED WIDTH PATH FROM 10' TO 14' WDE, WITH PLANTING AREAS, TREES IN SILVA CELLS FOR STORMWATER TREATMENT, & SEATING ZONES WITH BENCHES & BIKE RACKS.
- D. STREET FRONTAGE: ENHANCED WITH STREET TREES AND PLANTING BUFFER BETWEEN SIDEWALK AND STREET.
- 1. GARAGE ENTRY/EXIT.
- 2. PROPOSED BIKE LANE
- 3. MAIN ENTRY TO BUILDING
- 4. SHORT TERM BIKE PARKING
- 5. SMALL CANOPY SHADE TREES
- 6. PEDESTRIAN LIGHTING, 36' O.C.
- 7. SEATING AREA WITH SITE FURNISHINGS

MAIN ENTRY RAMP & STAIR PRECEDENT IMAGE



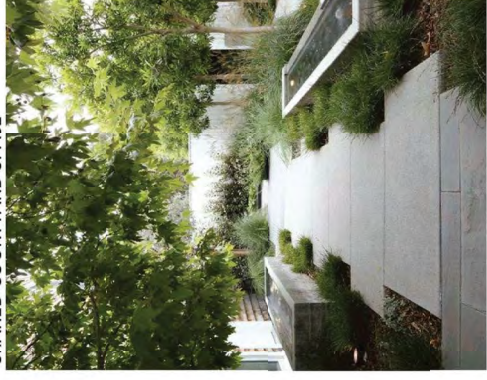
THE MEWS FEATURES & ARTIFICIAL TURF



SHARED DRIVEWAY SPACE



SHARED COURTYARD SPACE



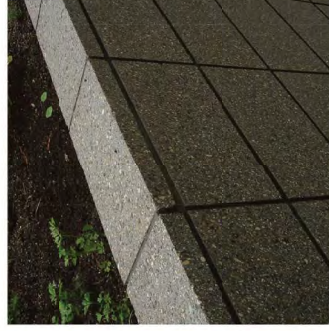
SHARED LAWN AREA



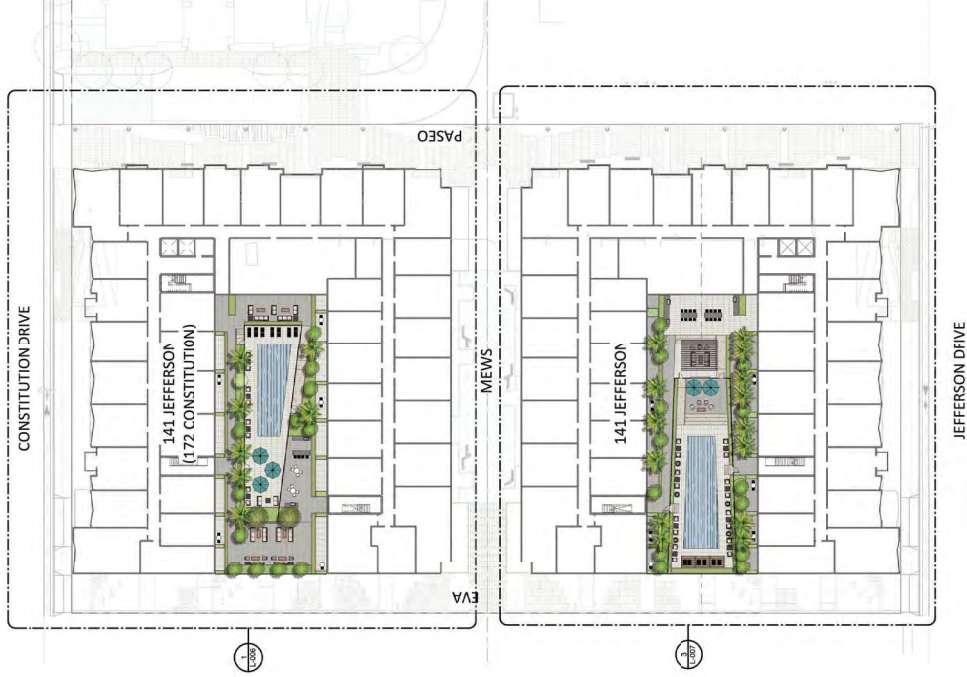
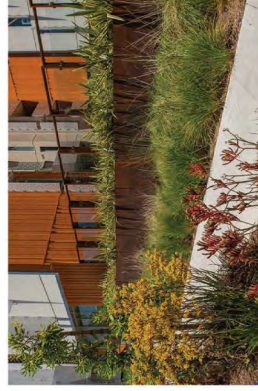
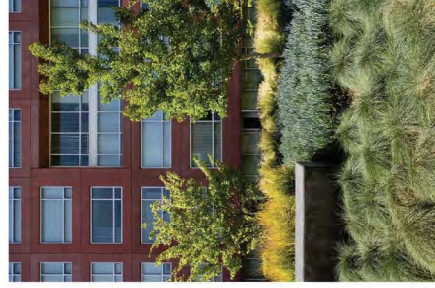
**KEY NOTES**

- A. SHARED DRIVEWAY SPACE: A FLEXIBLE USE SPACE WITH COLORED CONCRETE.
- B. SHARED COURTYARD SPACE: PLANTED COURTYARD WITH ACCESSIBLE WALKWAYS.
- C. PASEO: PUBLIC ACCESS PASEO BETWEEN JEFFERSON AND CONSTITUTION.
- D. SHARED LAWN AREA: FOR OUTDOOR PLAY AND COMMUNITY EVENTS.
- 1. PERMEABLE PAVERS AT DRIVEWAY
- 2. SHORT TERM BIKE PARKING
- 3. SLOPED WALKWAY, ADA SITE ACCESS
- 4. STREET TREES: SEE L-001
- 5. RAISED CROSSING TO PASEO
- 6. ACCESSIBLE PARKING STALL

PLANTER WALL TYPES



PLANTS AT PODIUM LEVEL



LANDSCAPE PLAN LEVEL 3 - OVERALL

MENLO UPTOWN HOUSING  
 MENLO PARK, CA  
 01-16-19





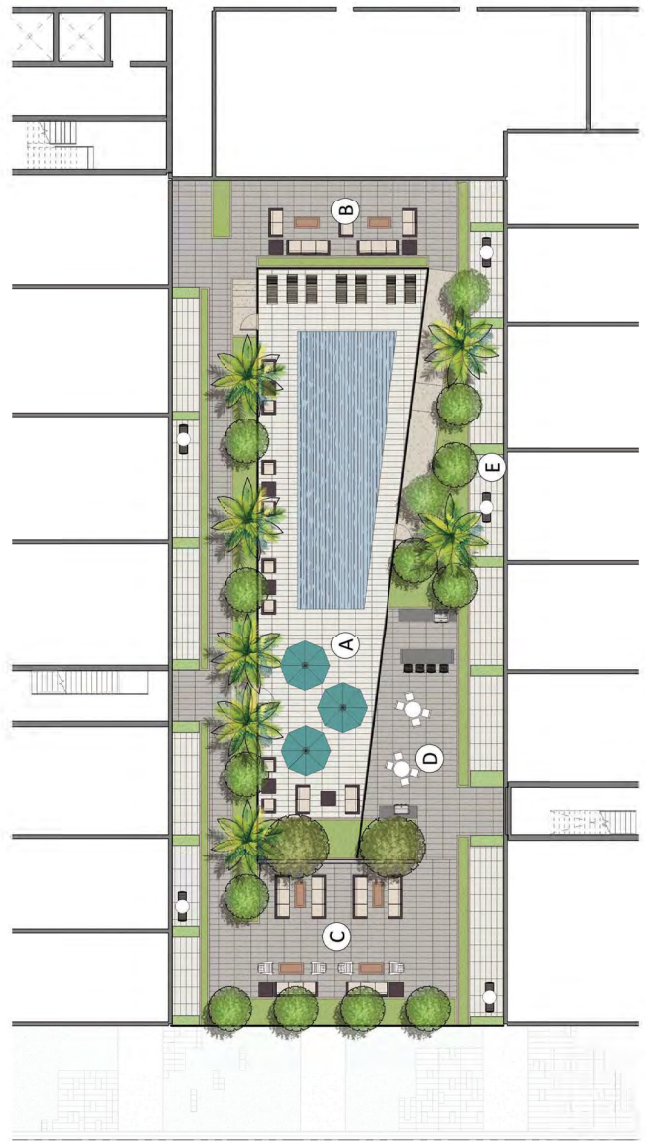
OUTDOOR SCREENS



OUTDOOR KITCHEN



POOL



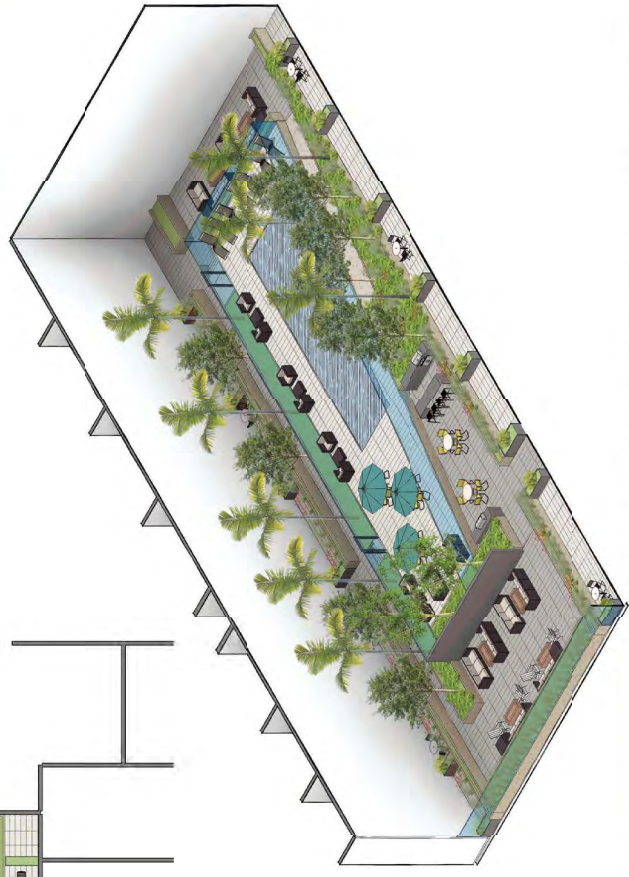
**KEY NOTES**

- A. POOL WITH POOL DECK
- B. SOCIAL AREA WITH FIRE PIT
- C. OUTDOOR LIVING ROOM
- D. OUTDOOR KITCHEN AND DINING AREA
- E. PRIVATE PATIO

**SEATING**



**FIRE PITS**

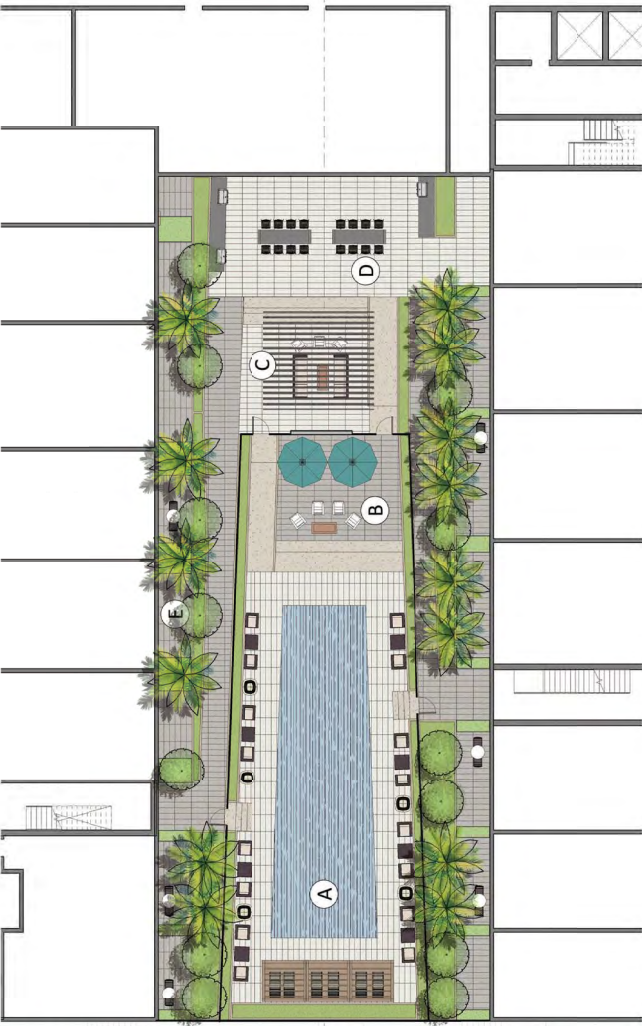


MENLO UPTOWN HOUSING  
 MENLO PARK, CA  
 01-16-19

LANDSCAPE PLAN LEVEL 3 -  
 ENLARGEMENT NORTH COURTYARD



L-006



POOL & CABANA



OUTDOOR KITCHEN



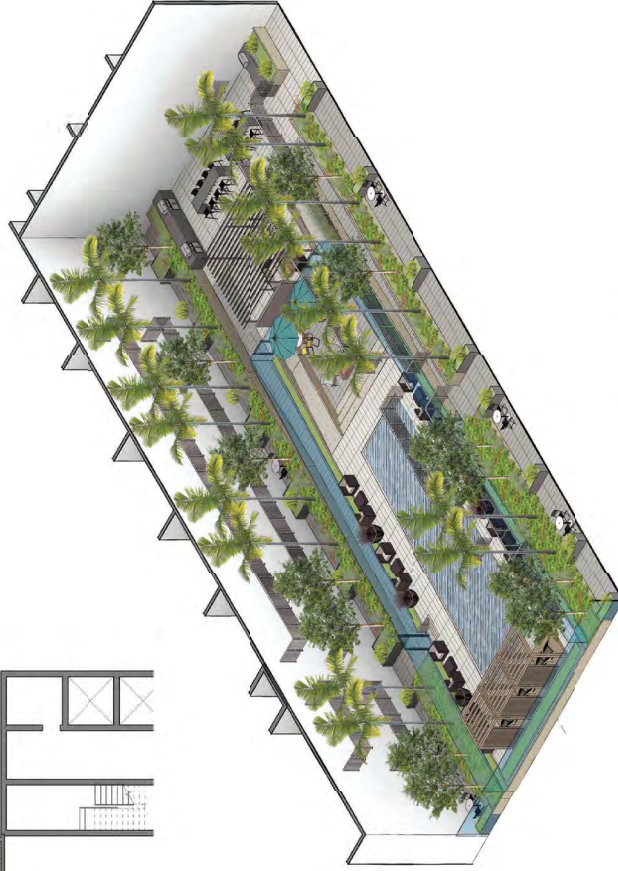
**KEY NOTES**

- A. POOL WITH POOL DECK
- B. SOCIAL AREA WITH FIRE PIT
- C. U/LIVING ROOM
- D. OUTDOOR KITCHEN AND DINING AREA
- E. PRIVATE PATIO

**FIRE PITS**



**SEATING**



ROOF DECK PLAN ENLARGEMENTS



ROOF DECK PRECEDENT IMAGES



MENLO UPTOWN HOUSING  
 MENLO PARK, CA  
 01-16-19

LANDSCAPE PLAN LEVEL 7 - ROOF DECK



L-008





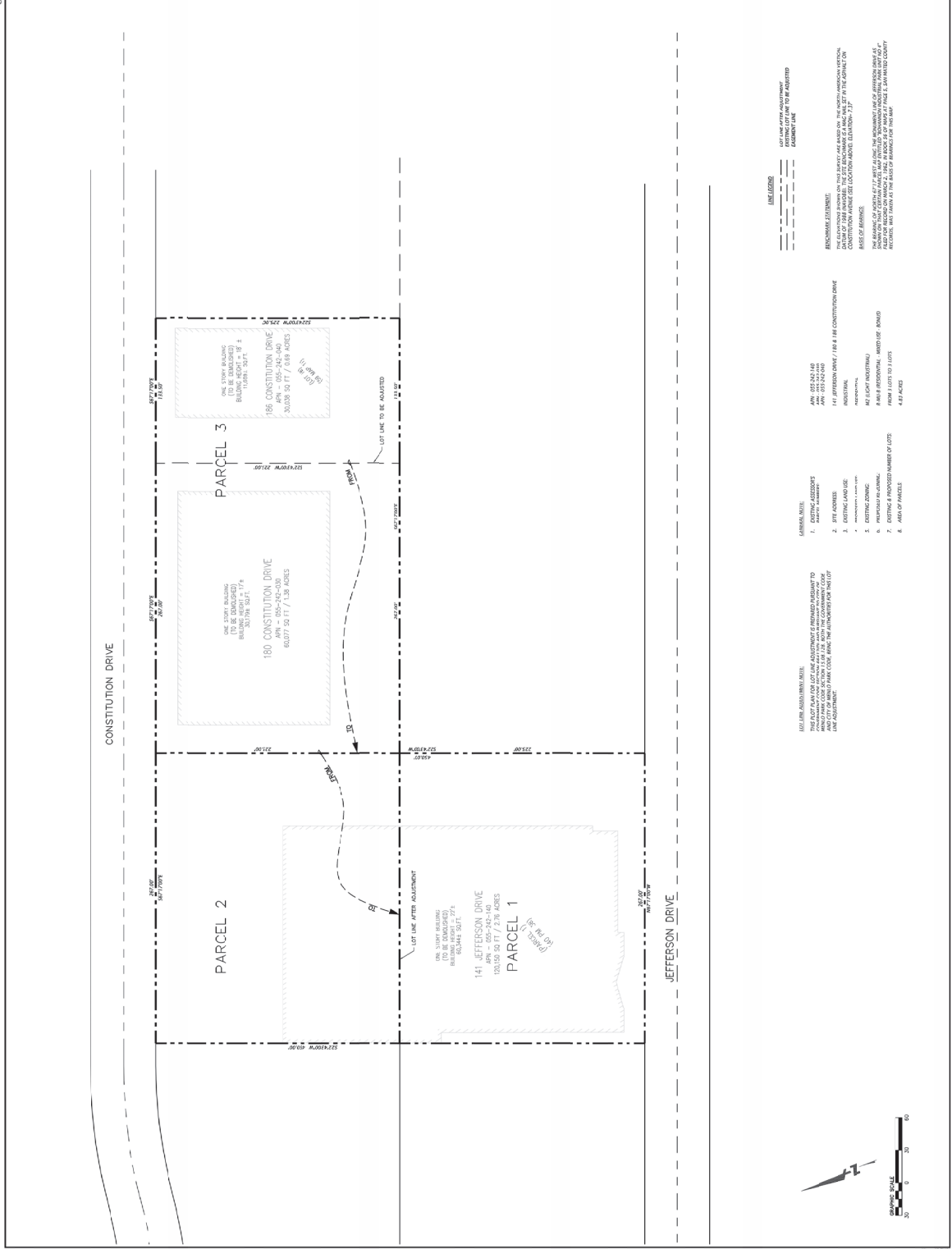
1720 N. 95th STREET,  
SUNNYVALE, CA 94086  
(415) 352-1300  
www.bkf.com



ENGINEERING | SURVEYING | PLANNING

STATE OF CALIFORNIA  
COUNTY OF SANTA CLARA  
PLOT PLAN FOR LOT LINE ADJUSTMENTS  
141 JEFFERSON DRIVE / 180 & 186 CONSTITUTION DRIVE

CITY OF MENLO PARK



**GENERAL NOTE:**  
THIS PLOT PLAN FOR LOT LINE ADJUSTMENT IS SUBMITTED PURSUANT TO THE PROVISIONS OF THE SUBDIVISION MAP ACT AND THE SUBDIVISION MAP ACT REGULATIONS. THE PLOT PLAN FOR LOT LINE ADJUSTMENT IS NOT A GUARANTEE OF THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. THE PLOT PLAN FOR LOT LINE ADJUSTMENT IS NOT A GUARANTEE OF THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. THE PLOT PLAN FOR LOT LINE ADJUSTMENT IS NOT A GUARANTEE OF THE ACCURACY OF THE INFORMATION CONTAINED HEREIN.

- EXISTING ZONING:**
1. EXISTING ZONING
  2. ZONING DISTRICT
  3. ZONING DISTRICT
  4. ZONING DISTRICT
  5. EXISTING ZONING
  6. EXISTING ZONING
  7. EXISTING ZONING
  8. EXISTING ZONING
  9. EXISTING ZONING
  10. EXISTING ZONING

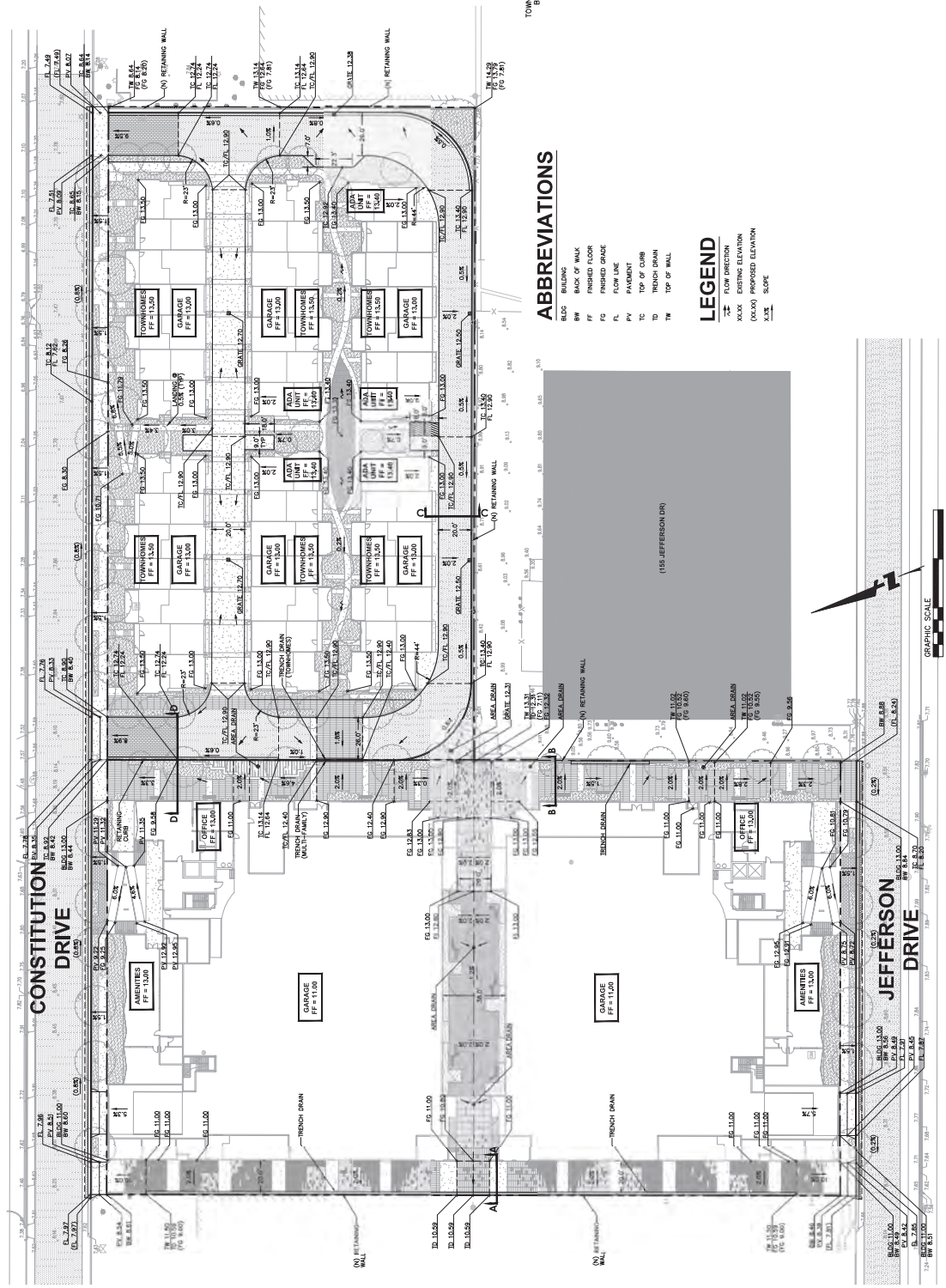
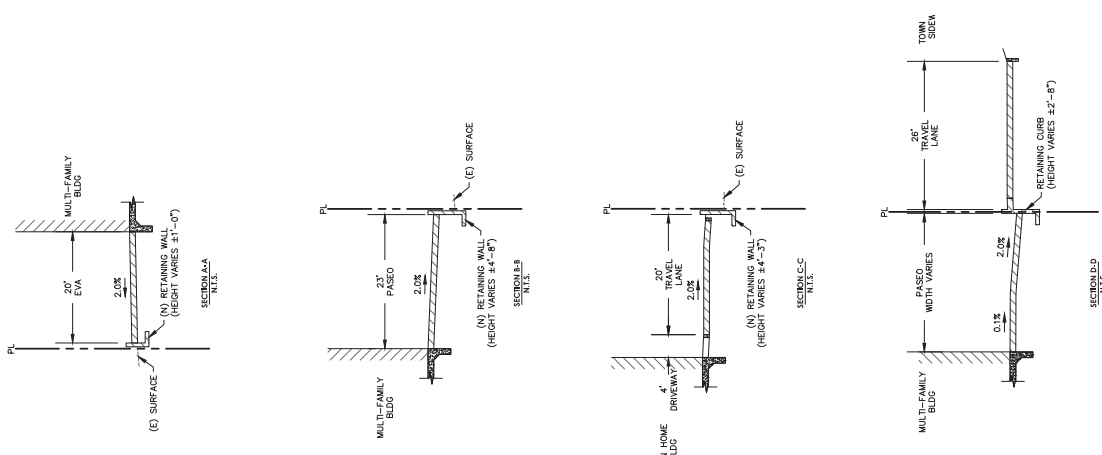
**EXISTING ZONING:**  
M-1 (OFFICE INDUSTRIAL)  
M-1 (OFFICE INDUSTRIAL)  
M-1 (OFFICE INDUSTRIAL)  
M-1 (OFFICE INDUSTRIAL)  
M-1 (OFFICE INDUSTRIAL)  
M-1 (OFFICE INDUSTRIAL)  
M-1 (OFFICE INDUSTRIAL)  
M-1 (OFFICE INDUSTRIAL)  
M-1 (OFFICE INDUSTRIAL)  
M-1 (OFFICE INDUSTRIAL)

**EXISTING ZONING:**  
M-1 (OFFICE INDUSTRIAL)  
M-1 (OFFICE INDUSTRIAL)  
M-1 (OFFICE INDUSTRIAL)  
M-1 (OFFICE INDUSTRIAL)  
M-1 (OFFICE INDUSTRIAL)  
M-1 (OFFICE INDUSTRIAL)  
M-1 (OFFICE INDUSTRIAL)  
M-1 (OFFICE INDUSTRIAL)  
M-1 (OFFICE INDUSTRIAL)  
M-1 (OFFICE INDUSTRIAL)

**EXISTING ZONING:**  
M-1 (OFFICE INDUSTRIAL)  
M-1 (OFFICE INDUSTRIAL)  
M-1 (OFFICE INDUSTRIAL)  
M-1 (OFFICE INDUSTRIAL)  
M-1 (OFFICE INDUSTRIAL)  
M-1 (OFFICE INDUSTRIAL)  
M-1 (OFFICE INDUSTRIAL)  
M-1 (OFFICE INDUSTRIAL)  
M-1 (OFFICE INDUSTRIAL)  
M-1 (OFFICE INDUSTRIAL)

**EXISTING ZONING:**  
M-1 (OFFICE INDUSTRIAL)  
M-1 (OFFICE INDUSTRIAL)  
M-1 (OFFICE INDUSTRIAL)  
M-1 (OFFICE INDUSTRIAL)  
M-1 (OFFICE INDUSTRIAL)  
M-1 (OFFICE INDUSTRIAL)  
M-1 (OFFICE INDUSTRIAL)  
M-1 (OFFICE INDUSTRIAL)  
M-1 (OFFICE INDUSTRIAL)  
M-1 (OFFICE INDUSTRIAL)

**GREYSTAR** | **HM** | **BKF 100 YEARS** | **PGAdesign** | **LANDSCAPE ARCHITECTS** | **ktby** | **MENLO UPTOWN HOUSING** | **MENLO PARK, CA** | **01-16-19** | **SITE PLAN - PROPOSED LOT LINE ADJUSTMENT** | **C-003**



**ABBREVIATIONS**

- BUILDING
- BP BACK OF WALK
- FF FINISHED FLOOR
- FG FINISHED GRADE
- FL FLOW LINE
- PV PAVEMENT
- TC TOP OF CURB
- TD TRENCH DRAIN
- TR TOP OF WALL

**LEGEND**

- FLOW DIRECTION
- XXXX EXISTING ELEVATION
- (XXXX) PROPOSED ELEVATION
- X:XX% SLOPE

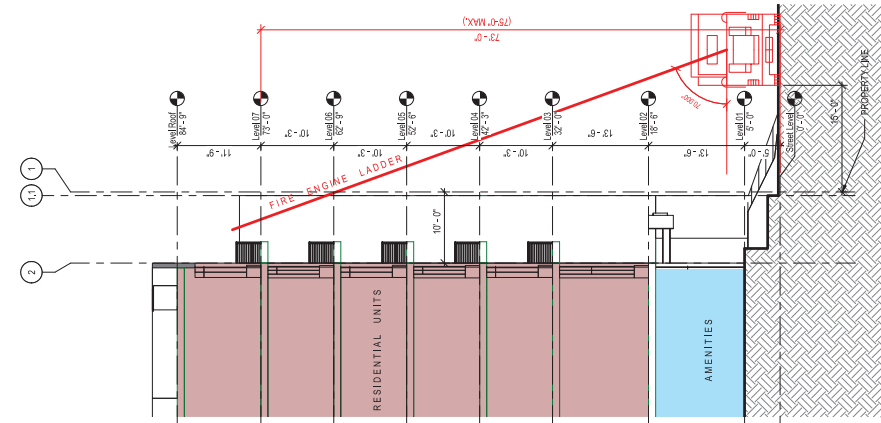
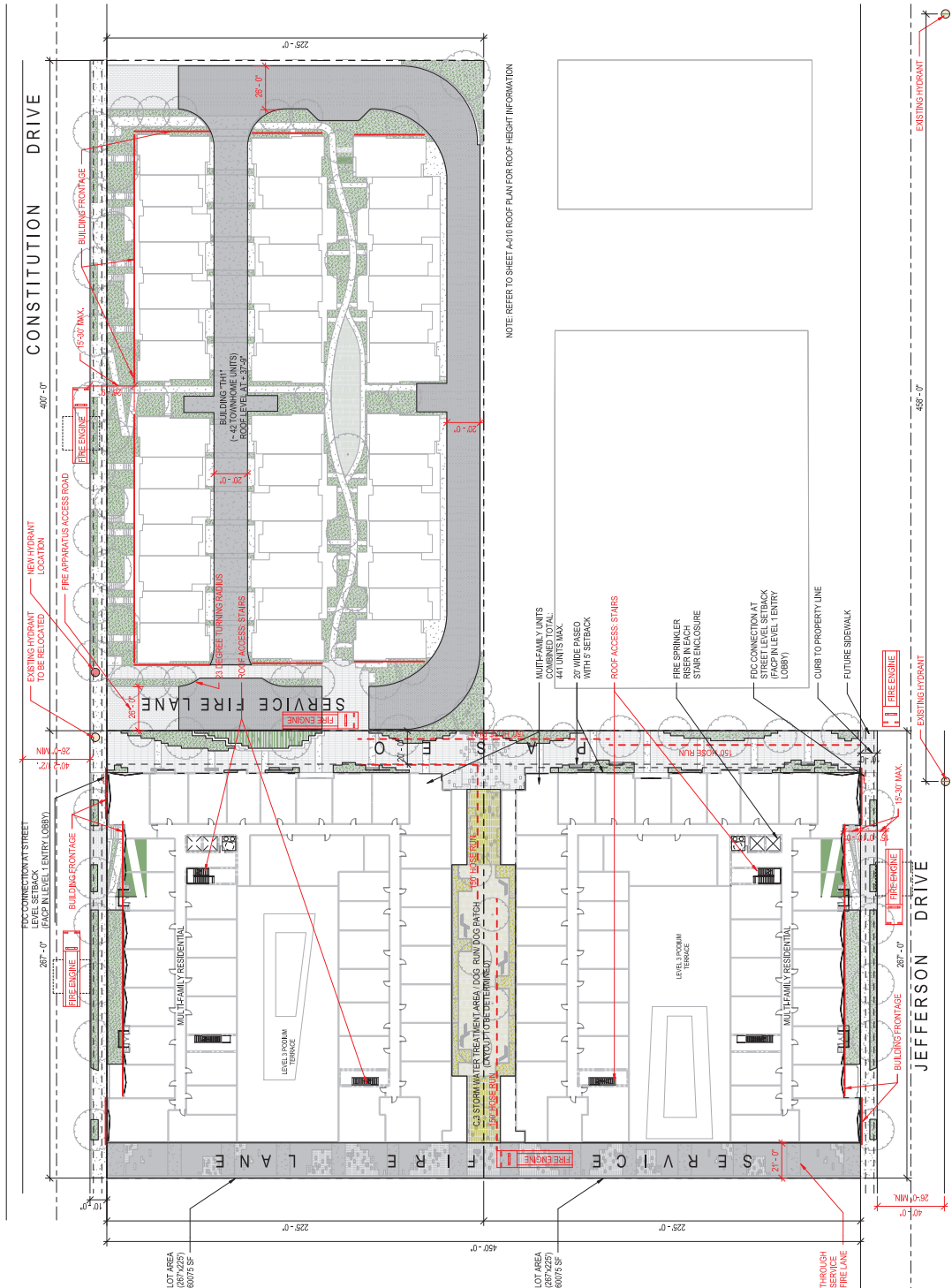
**MENLO UPTOWN HOUSING**  
MENLO PARK, CA  
01-16-19







**C-004**



0, 15', 30'

N

FE-001

SITE PLAN - FIRE EXHIBIT

MENLO UPTOWN HOUSING  
MENLO PARK, CA  
01-16-19



PGAdesign  
LANDSCAPE ARCHITECTS

BKF 100 YEARS



GREYSTAR