



## REGULAR MEETING AGENDA

**Date:** 2/25/2019  
**Time:** 7:00 p.m.  
**City Council Chambers**  
**701 Laurel St., Menlo Park, CA 94025**

**A. Call To Order**

**B. Roll Call**

**C. Reports and Announcements**

Under “Reports and Announcements,” staff and Commission members may communicate general information of interest regarding matters within the jurisdiction of the Commission. No Commission discussion or action can occur on any of the presented items.

**D. Public Comment**

Under “Public Comment,” the public may address the Commission on any subject not listed on the agenda, and items listed under Consent Calendar. Each speaker may address the Commission once under Public Comment for a limit of three minutes. Please clearly state your name and address or political jurisdiction in which you live. The Commission cannot act on items not listed on the agenda and, therefore, the Commission cannot respond to non-agenda issues brought up under Public Comment other than to provide general information.

**E. Consent Calendar**

- E1. Approval of minutes from the February 11, 2019, Planning Commission meeting. ([Attachment](#))

**F. Public Hearing**

- F1. Use Permit/Kelly Blythe/6 Greenwood Place:  
Request for a use permit to demolish an existing single-story residence and construct a new two-story, single-family residence on a substandard lot with respect to lot width and area in the R-1-U (Single-Family Urban Residential) zoning district. ([Staff Report #19-011-PC](#))
- F2. Use Permit/Sean Amiri/908 Menlo Avenue:  
Request for a use permit to demolish two existing single-family residences and construct two two-story, single-family residences and a detached garage on a substandard lot with respect to lot width in the R-3 (Apartment) zoning district. The garage would be located partly in the front half of the lot (but behind the front residence), as may be permitted with a use permit. The proposal includes an administrative review of a tentative parcel map to subdivide the project into two condominium units. As a part of the proposed development, two heritage trees (one Douglas fir and one strawberry tree) are proposed for removal. ([Staff Report #19-012-PC](#))

- F3. Use Permit and Variances/Sean Amiri/966 Menlo Avenue:  
Request for a use permit to demolish an existing single-story, single-family residence and construct two two-story, single-family residences and a detached one-car garage on a substandard lot with respect to lot width in the R-3 (Apartment) zoning district. The garage would be located partly in the front half of the lot (but behind the front residence), as may be permitted with a use permit. The proposal includes a variance to reduce the required 20-foot separation between the rear unit and the main building located on the adjacent right side parcel, as well as a variance to reduce the required 10-foot separation between the detached garage and the front unit in order to retain and protect an existing heritage redwood. The proposal includes an administrative review of a tentative parcel map to subdivide the project into two condominium units. ([Staff Report #19-013-PC](#))
- F4. Development Agreement Annual Review/Facebook/1 Hacker Way and 1 Facebook Way:  
Annual review of the property owner's good faith compliance with the terms of the Development Agreements for their East Campus, West Campus, and Facebook Campus Expansion projects. ([Staff Report #19-009-PC](#)) *Continued from the PC meeting of February 11, 2019*
- F5. Use Permit and Architectural Control/Juan Guillen/1305 Willow Road:  
Request for a use permit and architectural control for an addition to the rear, and construction of a new covered porch around the side and front, of a grocery store in an existing commercial building. The subject property is on a lot in the C-2-B (Neighborhood Mixed Use District, Restrictive) zoning district. The proposal includes a request to modify the operating hours limited in this zoning district, from 8:00 a.m. – 8:00 p.m., to 5:00 a.m. – 9:00 p.m. inclusive of deliveries. The applicant is proposing outdoor seating for customers, and outdoor storage of items for sale within the building such as produce carts, propane tanks, and water. The proposal also includes a request for sign review to allow red and yellow colors exceeding the 25-percent limitation on bright colors in the sign design guidelines. Circulation for the site is proposed to utilize a portion of Frontage Road that the City Council has begun the process to abandon. Should the abandonment be approved, a portion of Frontage Road would be acquired by the owners of the subject property and circulation would be accommodated on site. Otherwise, circulation would utilize the Frontage Road right of way. The parking lot is proposed to be re-striped to meet the parking standards. *Continued to the PC meeting of March 11, 2019.*
- F6. Public Right-of-way and Public Utility Easement Vacation/MidPen Housing/Portion of Frontage Road along 1300 Block of Willow Road: Planning Commission review for consistency with the General Plan related to the proposed vacation of public right-of-way and public utility easements adjacent to 1305 and 1345 Willow Road. A portion of the abandoned public right-of-way and public utility easements would go to the two adjacent property owners. *Continued to the PC meeting of March 11, 2019.*
- G. Study Session**
- G1. Study Session/Andrew Morcos/141 Jefferson Drive/180-186 Constitution Drive:  
Request for a study session review for a future application for use permit, architectural control, environmental review, lot line adjustment, and major subdivision to redevelop three sites with approximately 483 multi-family dwelling units comprised of 42 for-sale condominium units, and 441 rental units split between two apartment buildings with above grade two-story parking garages integrated into the proposed seven-story buildings, located in the R-MU-B (Residential Mixed Use, Bonus) zoning district. The project sites currently contain two single-story office buildings that would be demolished. The proposed approximately 42 condominium units would contain

approximately 79,192 square feet of gross floor area. The proposed approximately 441 apartment units would contain approximately 393,726 square feet of gross floor area. The proposed combined floor area ratio for the project would be 225 percent. The proposal includes a request for an increase in height and floor area ratio (FAR) under the bonus level development allowance in exchange for community amenities. (Staff Report #19-010-PC) *Continued from the PC meeting of February 11, 2019*

## H. Regular Business

- H1. Housing Element Annual Report/City of Menlo Park:  
Opportunity to consider and provide comments and/or a recommendation to the City Council on the 2018 Annual Report on the status and implementation of the City's Housing Element (2015-2023). (Staff Report #19-014-PC)

## I. Informational Items

- I1. Future Planning Commission Meeting Schedule – The upcoming Planning Commission meetings are listed here, for reference. No action will be taken on the meeting schedule, although individual Commissioners may notify staff of planned absences.
- Regular Meeting: March 11, 2019
  - Regular Meeting: March 25, 2019
  - Regular Meeting: April 8, 2019

## J. Adjournment

Agendas are posted in accordance with Government Code Section 54954.2(a) or Section 54956. Members of the public can view electronic agendas and staff reports by accessing the City website at [www.menlopark.org](http://www.menlopark.org) and can receive e-mail notification of agenda and staff report postings by subscribing to the "Notify Me" service at [menlopark.org/notifyme](http://menlopark.org/notifyme). Agendas and staff reports may also be obtained by contacting the Planning Division at 650-330-6702. (Posted: 02/20/2019)

At every Regular Meeting of the Commission, in addition to the Public Comment period where the public shall have the right to address the Commission on any matters of public interest not listed on the agenda, members of the public have the right to directly address the Commission on any item listed on the agenda at a time designated by the Chair, either before or during the Commission's consideration of the item.

At every Special Meeting of the Commission, members of the public have the right to directly address the Commission on any item listed on the agenda at a time designated by the Chair, either before or during consideration of the item.

Any writing that is distributed to a majority of the Commission by any person in connection with an agenda item is a public record (subject to any exemption under the Public Records Act) and is available for inspection at the City Clerk's Office, 701 Laurel St., Menlo Park, CA 94025 during regular business hours.

Persons with disabilities, who require auxiliary aids or services in attending or participating in Commission meetings, may call the City Clerk's Office at 650-330-6620.



## REGULAR MEETING MINUTES - DRAFT

**Date:** 2/11/2019  
**Time:** 7:00 p.m.  
**City Council Chambers**  
**701 Laurel St., Menlo Park, CA 94025**

### A. Call To Order

Chair Susan Goodhue called the meeting to order at 7:02 p.m.

### B. Roll Call

Present: Andrew Barnes (Vice Chair), Michael Doran, Susan Goodhue (Chair), John Onken

Absent: Camille Kennedy, Henry Riggs, Katherine Strehl

Staff: Fahteen Khan, Contract Assistant Planner; Kyle Perata, Acting Principal Planner; Corrina Sandmeier, Senior Planner

### C. Reports and Announcements

Acting Principal Planner Kyle Perata said the City Council at its February 12, 2019 meeting would consider an appeal of the 40 Middlefield Road project approval and an Environmental Impact Report (EIR) scope and contract for the 111 Independence Drive project EIR.

Acting Principal Planner Perata said this evening a quorum was highly unlikely for items F3 and G1 due to unexpected Commissioner absences and Commissioner Goodhue's need to recuse herself from consideration of those items. He said if a quorum was lacking that those items would need to be continued to the February 25, 2019 agenda.

### D. Public Comment

None

### E. Consent Calendar

- E1. Approval of minutes from the January 28, 2019, Planning Commission meeting. ([Attachment](#))

**ACTION:** Motion and second (John Onken/Goodhue) to approve the January 28, 2019 Planning Commission minutes as presented; passes 3-0-1-3 with Commissioner Michael Doran abstaining and Commissioners Camille Kennedy, Catherine Strehl, and Henry Riggs absent.

## **F. Public Hearing**

- F1. Use Permit/Hamid Ghazvini/1379 Carlton Avenue:  
Request for a use permit to demolish an existing two-story residence and construct a new two-story residence on a substandard lot with regard to lot width and lot area in the R-1-U (Single Family Urban Residential) zoning district. ([Staff Report #19-007-PC](#))

Staff Comment: Contract Planner Fahteen Khan said staff had no additions to the written report.

Applicant Presentation: Hamid Ghazvini, project owner, said the project would replace an existing two-story home with a two-story home that would address privacy and solar access. He noted the project met zoning, planning and flood zone regulations.

Chair Goodhue opened the public hearing.

Public Comment:

- Melody Davenport McLaughlin, 1375 Carlton Avenue, said she did not oppose the plan for construction. She said the unoccupied home at the project site was being used unlawfully by transient individuals. She said until the project started, the site needed to be monitored and secured to protect neighbors. She said she also requested that neighbors during construction be protected from noise and disruption with regular hours of work during the week and limiting any work on weekends.

Chair Goodhue closed the public hearing.

Commission Comment: Commissioner Onken asked the applicant about the difference between the location of the existing fence and the proposed fence.

Mr. Ghazvini said the site was surveyed twice and the fence was determined as offset along Carlton Avenue. He said this was an issue for all properties along that street. Commissioner Onken confirmed with the applicant that the plan conformed with setbacks based off the location of the property line as determined through the surveys.

Chair Goodhue asked the applicant what was being done currently to secure the property, noting the speaker's comments. Mr. Ghazvini said they had to physically remove people from the property when they were inspecting it. He said they secured the property about two and a half months ago with a chain link fence with locked gates. He noted the locks had been cut at least three times. He said he started the demolition permit process about two and a half months ago to deal with this issue. He said that delay was caused by PG&E as it had a long backlog to cap lines. He said until that happened, they could not get a demolition permit. He said in January 2019 he contacted PG&E to see about accelerating the process and it was scheduled to do the capping in about two weeks.

Chair Goodhue referred to the speaker's concerns about construction and confirmed with the applicant that he was familiar with the City's regulations on construction times. She asked if the property was being developed for sale. Mr. Ghazvini said his nephew had just started working at Facebook and was suggesting he occupy the home.

Commissioner Onken said the second story windows were fairly constrained in size and location. He asked if the bathroom and closet windows would have obscure glass. Mr. Nick Miller, project architect, said the windows were clear but located where privacy was not impacted. He said they would have window shades as well.

Commissioner Onken commented that the project design was good, and he understood that the raised base flood level was significant. He said as a transitional two-story home in the neighborhood he thought its design was somewhat constrained and maintained a scale that was appropriate. He moved to approve as recommended in the staff report. Chair Goodhue seconded the motion, noting she agreed with Commissioner Onken's comment that the project was a transitional house for the neighborhood.

**ACTION:** Motion and second (Onken/Goodhue) to approve the item as recommended in the staff report; passes 4-0-3 with Commissioners Kennedy, Strehl, and Riggs absent.

1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.
2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.
3. Approve the use permit subject to the following **standard** conditions:
  - a. Development of the project shall be substantially in conformance with the plans prepared by Zimmerman and Associates, consisting of 20 plan sheets, dated received February 4, 2019, subject to review and approval by the Planning Division.
  - b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.
  - c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
  - d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.
  - e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and

significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.

- f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.
- g. Heritage trees and street trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance.

F2. Use Permit/Brianne Theisen-Eaton/1700 El Camino Real:

Request for a use permit for a personal improvement service use on a lot that is substandard with regard to parking in the El Camino Real/Downtown Specific Plan (SP-ECR/D) zoning district. The tenant space was previously used for a general office. ([Staff Report #19-008-PC](#))

Staff Comment: Senior Planner Corinna Sandmeier said staff had no additions to the written report.

Applicant Presentation: Michael Dern, Dern Architecture and Development, project architect, said this performance service facility was for concierge sports services and coaching and tracking of performance. He said they were adding about 1800 square feet of gym facilities in the space and no exterior work would be done. He said they were striping an ADA parking space at the front of the building and would stripe all the parking stalls correctly there as they currently were not striped correctly. He said the interior was office space, a locker room and the gym facility.

Chair Goodhue opened the public hearing and closed it as there were no speakers.

Commission Comment: Commissioner Onken said in the new floor plan two very large ADA bathrooms were shown and asked if the bathrooms housed the locker space as well.

Mr. Dern said that the bathrooms were not that large. He described that on each side of the men and women's locker rooms were doors for privacy with five feet per code. He said four feet beyond the doors were two sinks with two toilets and urinals in the men's and two toilets in the women's, and lastly the ADA showers that were three foot by six foot.

Commissioner Andrew Barnes said the use seemed congruent for the area and neighbors did not have objections to the parking supply. He moved to approve as recommended in the staff report. Chair Goodhue seconded the motion.

**ACTION:** Motion and second (Barnes/Goodhue) to approve the item as recommended in the staff report; passes 4-0-3 with Commissioners Kennedy, Strehl, and Riggs absent.

- 1. Make findings with regard to the California Environmental Quality Act (CEQA) that the proposal is within the scope of the project covered by the El Camino Real/Downtown Specific Plan Program EIR, which was certified on June 5, 2012. Specifically, make findings that:
  - a. The project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current CEQA Guidelines.

- b. Relevant mitigation measures have been incorporated into the project through the Mitigation Monitoring and Reporting Program (Attachment F), which is approved as part of this finding.
2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.
3. Approve the use permit subject to the following **standard** conditions:
  - a. Development of the project shall be substantially in conformance with the plans provided by Dern Architecture and Development, consisting of five plan sheets, dated received January 30, 2019, and the project description letter from Performance Health Sciences, LLC, dated received February 4, 2019, and approved by the Planning Commission on February 11, 2019 except as modified by the conditions contained herein, subject to review and approval of the Planning Division.
  - b. Prior to building permit issuance, the applicant shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
4. Approve the use permit subject to the following **project-specific** conditions:
  - a. The applicant shall address all Mitigation Monitoring and Reporting Program (MMRP) requirements as specified in the MMRP (Attachment F). Failure to meet these requirements may result in delays to the building permit issuance, stop work orders during construction, and/or fines.
  - b. The business shall not operate between the hours of midnight and 6 a.m. per the requirements of Municipal Code Chapter 8.12, without obtaining approval of a use permit revision from the Planning Commission.
  - c. The City has adopted a Supplemental Transportation Impact Fee for the infrastructure required as part of the El Camino Real / Downtown Specific Plan. The fee is calculated at \$393.06 per PM peak hour vehicle trip. The proposed project is subject to a Supplemental TIF of \$1,179.18 for a total of three new PM peak hour trips. Payment is due before a building permit is issued and the supplemental TIF will be updated annually on July 1st along with the TIF.

Chair Goodhue said she was recusing herself from consideration of items F3 and G1 due to her previous association with Facebook. Vice Chair Barnes said due to a lack of a quorum that Commission items F3 and G1 were continued to the February 25, 2019 meeting.

- F3. Development Agreement Annual Review/Facebook/1 Hacker Way and 1 Facebook Way: Annual review of the property owner's good faith compliance with the terms of the Development Agreements for their East Campus, West Campus, and Facebook Campus Expansion projects. ([Staff Report #19-009-PC](#))



Item continued to the February 25, 2019 Planning Commission meeting.

## **G. Study Session**

- G1. Study Session/Andrew Morcos/141 Jefferson Drive/180-186 Constitution Drive:  
Request for a study session review for a future application for use permit, architectural control, environmental review, lot line adjustment, and major subdivision to redevelop three sites with approximately 483 multi-family dwelling units comprised of 42 for-sale condominium units, and 441 rental units split between two apartment buildings with above grade two-story parking garages integrated into the proposed seven-story buildings, located in the R-MU-B (Residential Mixed Use, Bonus) zoning district. The project sites currently contain two single-story office buildings that would be demolished. The proposed approximately 42 condominium units would contain approximately 79,192 square feet of gross floor area. The proposed approximately 441 apartment units would contain approximately 393,726 square feet of gross floor area. The proposed combined floor area ratio for the project would be 225 percent. The proposal includes a request for an increase in height and floor area ratio (FAR) under the bonus level development allowance in exchange for community amenities. ([Staff Report #19-010-PC](#))

Item continued to the February 25, 2019 Planning Commission meeting.

Chair Goodhue returned to the dais.

## **H. Informational Items**

- H1. Planning Commission Meeting Schedule

- Regular Meeting: February 25, 2019

Acting Principal Planner Perata said in addition to the two items continued from this agenda that there were two, two-unit development projects in the Menlo Avenue area, use permit and architectural control for a market on Willow Road to expand, and related to that a right of way abandonment for frontage road portion between 1345 and 1305 Willow Road, and the annual Housing Element Update.

- Regular Meeting: March 11, 2019
- Regular Meeting: March 25, 2019

Commissioner Barnes asked if a business plan for Willow Road between Highway 101 and Middlefield Road had ever been done or contemplated. Acting Principal Planner Perata said he would have to check into that with the Public Works and Community Development Departments and get back to him. Commissioner Barnes said the context was whether there was a desire to foster mixed-use along that corridor to include residential, and dependent on that to look into such a plan in the future.

## **I. Adjournment**

Chair Goodhue adjourned the meeting at 7:27 p.m.

Staff Liaison: Kyle Perata, Acting Principal Planner

Recording Secretary: Brenda Bennett



## STAFF REPORT

### Planning Commission

**Meeting Date:** 2/25/2019

**Staff Report Number:** 19-011-PC

**Public Hearing:** Use Permit/Kelly and Julianne Blythe/6  
Greenwood Place

### Recommendation

Staff recommends that the Planning Commission approve a use permit to demolish a single-story, single family residence and construct a new two-story single family residence on a substandard lot with respect to lot width and area in the R-1-U (Single-Family Urban Residential) zoning district, at 6 Greenwood Place. The recommended actions are included as Attachment A.

### Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal.

### Background

#### *Site location*

The subject property is located on Greenwood Place in the Suburban Park neighborhood. The surrounding homes also share the same R-1-U (Single Family Urban Residential) zoning designation. A location map is included as Attachment B.

The surrounding area contains a mixture of older and newer single-family residences. The older residences are generally single-story, while the newer residences are generally two-story in height, with attached front-loading garages. A variety of architectural styles are present in the neighborhood, including craftsman, ranch, and modern.

### Analysis

#### *Project description*

The applicant is proposing to demolish the existing single-story, single-family residence with an attached garage to construct a new two-story, single-family residence with an attached two-car garage. A data table summarizing parcel and project attributes is included as Attachment C. The project plans and the applicant's project description letter are included as Attachments D and E, respectively.

The proposed residence would be a three-bedroom, two-and-a-half-bathroom home, with a typical layout of the bedrooms on the second floor and most of the shared spaces on the main level. The front-loading

two-car garage would address the residence's off-street parking requirement.

The proposed project would adhere to all Zoning Ordinance regulations for lot coverage, floor area limit (FAL), height, daylight plane, and parking. Of particular note with regard to Zoning Ordinance requirements:

- The parcel is substandard with regard to lot width, at 51.6 feet where 65 feet is required.
- The parcel is substandard with regard to lot area, at 5,168 square feet where 7,000 square feet is required.
- The second floor would be relatively limited in size, at 41.6 percent of the maximum FAL, where 50 percent is permitted.
- Much of the second floor would be inset from the side property lines.

### ***Design and materials***

The applicant states that the proposed residence would be a Craftsman style residence. The exterior materials consist of a mix of fiber cement shingles and horizontal siding with fiber cement ("hardie") decorative trim around wood windows. These wood windows would use simulated true divided lites with interior and exterior grids and a spacer bar to achieve an authentic Craftsman look. The roof would generally be composition shingles with a standing seam metal roof over the front porch.

The two-car garage at the front of the house is broken up into two masses to provide relief to the façade. Additionally, the house features decorative elements such as a standing seam metal roof over the front porch, a pergola at the garage, gable and vents, and cantilevered bay windows with wood accents.

The second-story windows on the sides would have varying sill heights between three feet, four inches to four feet, 10 inches with one exception being the windows in the stairwell. At the second-story landing, the window would have a sill height of one foot, three inches. While the applicant recognizes that this is a low sill height, he also notes that people would likely spend limited time there, and the lower landing is over five feet below the sill. Additionally, there is an existing tree that could limit potential privacy impacts to the neighbor. The applicant states that the owners have discussed the proposed house design with the neighbors on that side.

Staff believes that the architectural style of the proposed residence would be generally attractive and well-proportioned. The second level would be at least modestly inset from the ground floor, helping minimize the perception of mass and providing a privacy buffer for neighbors. The roof would feature varying massing with gable projections, which would also help reduce the bulk and mass of the proposed residence. The Craftsman style design would be consistent with the styles in the surrounding neighborhood.

### ***Trees and landscaping***

The applicant has submitted an arborist report (Attachment F) detailing the species, size, and conditions of the heritage and non-heritage trees on site. The report discusses the impacts of the proposed improvements and provides recommendations for tree maintenance, based on their health. As part of the

project review process, the arborist report was reviewed by the City Arborist to confirm the accuracy of the conclusions of the report. All recommendations identified in the arborist report shall be implemented and will be ensured as part of condition 3g.

There are six trees located on or near the property, two of which are heritage size trees. Both heritage trees are proposed to remain. The first heritage tree (Tree #1) is a sweet gum street tree at the front right side of the property. The second heritage tree (Tree #4) is a coast live oak on the neighbor's lot, with canopy over the rear left side of the yard of the project residence. Tree #6 is a magnolia that is not heritage size, but is a neighbor's tree that could also be impacted by construction. These three trees (#1, 4, and 6) will be protected by a Tree Protection Zone (TPZ), which is laid out in the attached arborist report (Attachment F). Additionally, because Tree #1 is a city street tree, the city arborist must approve any root cutting or root barrier installation that would occur.

### **Correspondence**

The applicant states that they contacted the property owners of all properties who will be directly impacted by the proposed scope of the work, and offered to address any concerns or questions that impacted property owners might have. The applicant has provided staff with a map showing the 20 neighbors who had an informational handout about the project delivered. Of those 20, eight of the neighbors also discussed the project in person, and two of the 20 offered a letter of support for the project. This map and these two letters are included as Attachment G. Staff has not directly received any correspondence on this proposal.

### **Conclusion**

Staff believes that the design, scale and materials of the proposed residence are compatible with the surrounding neighborhood. The Craftsman architectural style of the proposed residence would be generally attractive and well-proportioned. The second level would be slightly inset from the ground floor, helping minimize the perception of mass. Staff recommends that the Planning Commission approve the proposed project.

### **Impact on City Resources**

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

### **Environmental Review**

The project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.

### **Public Notice**

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

### **Appeal Period**

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

### **Attachments**

- A. Recommended Actions
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter
- F. Arborist Report
- G. Applicant Summary of Neighbor Outreach

### **Disclaimer**

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

### **Exhibits to Be Provided at Meeting**

None

Report prepared by:

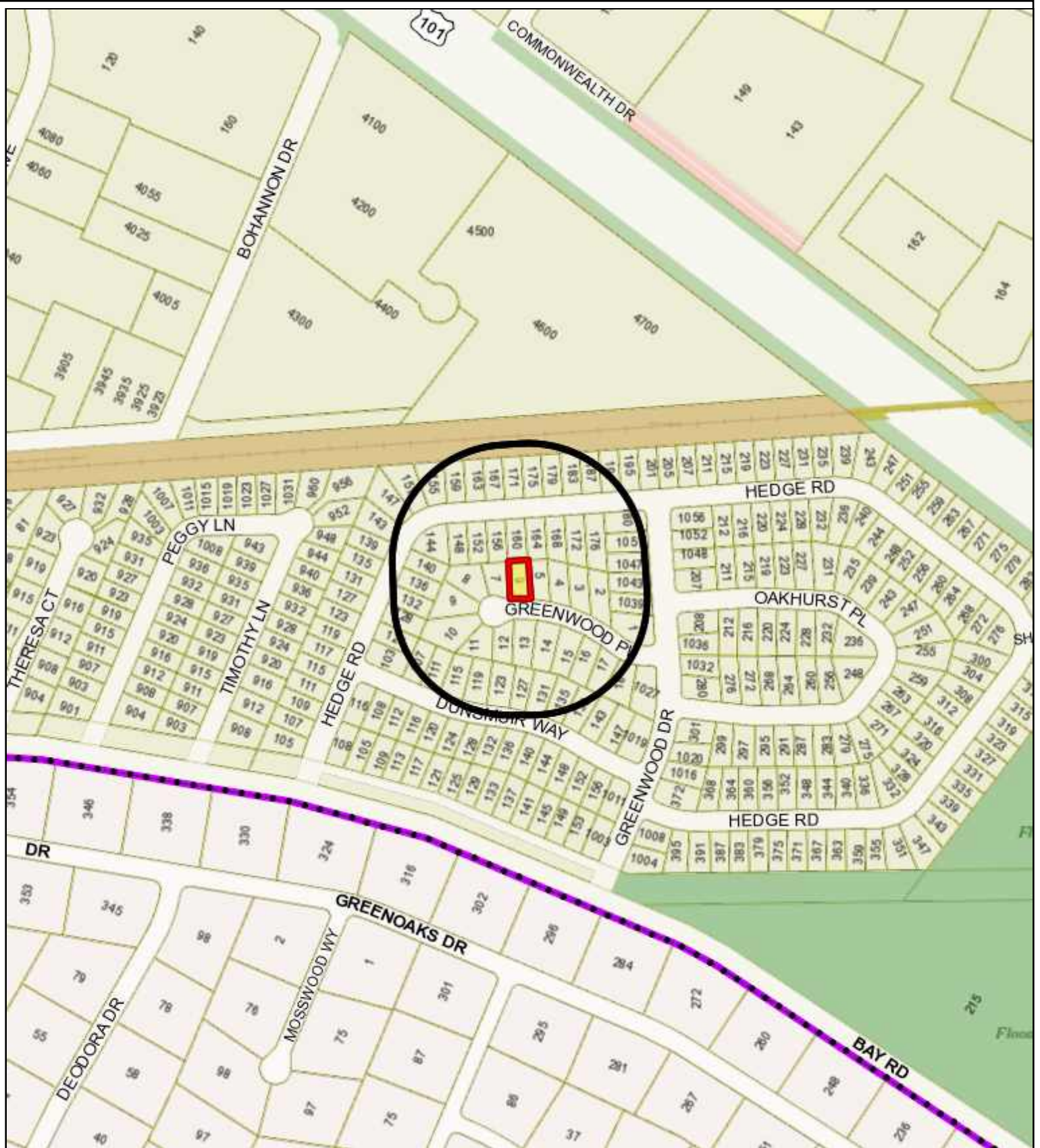
Cecilia Conley, Contract Assistant Planner

Report reviewed by:

Kyle Perata, Acting Principal Planner

## 6 Greenwood Place – Attachment A: Recommended Actions

<b>LOCATION:</b> 6 Greenwood Place	<b>PROJECT NUMBER:</b> PLN2018-00132	<b>APPLICANT:</b> Larry Kahle	<b>OWNER:</b> Kelly and Julianne Blythe
<b>PROPOSAL:</b> Request for a use permit to demolish a single-story, single family residence and construct a new two-story single family residence on a substandard lot with respect to lot width and area in the R-1-U (Single-Family Urban) zoning district.			
<b>DECISION ENTITY:</b> Planning Commission	<b>DATE:</b> February 25, 2019	<b>ACTION:</b> TBD	
<b>VOTE:</b> TBD (Barnes, Doran, Goodhue, Kennedy, Onken, Riggs, Strehl)			
<b>ACTION:</b>			
<ol style="list-style-type: none"> <li>1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, “New Construction or Conversion of Small Structures”) of the current California Environmental Quality Act (CEQA) Guidelines.</li> <li>2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.</li> <li>3. Approve the use permit subject to the following <b>standard</b> conditions: <ol style="list-style-type: none"> <li>a. Development of the project shall be substantially in conformance with the plans prepared by Metropolis Architecture, consisting of 7 plan sheets, dated received February 19, 2019 and approved by the Planning Commission on February 25, 2019, subject to review and approval by the Planning Division.</li> <li>b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies’ regulations that are directly applicable to the project.</li> <li>c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.</li> <li>d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.</li> <li>e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.</li> <li>f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.</li> <li>g. Heritage and street trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the arborist report by Advanced Tree Care dated January 11, 2019.</li> </ol> </li> </ol>			



City of Menlo Park  
 Location Map  
 6 Greenwood Place





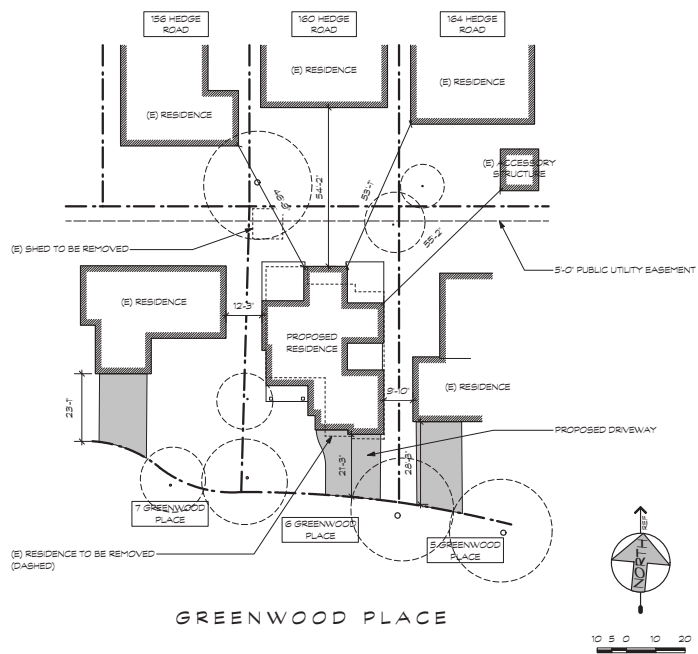
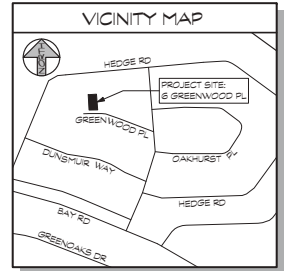
	<b>PROPOSED PROJECT</b>	<b>EXISTING DEVELOPMENT</b>	<b>ZONING ORDINANCE</b>
Lot area	5,168.0 sf	5,168.0 sf	7,000.0 sf min.
Lot width	51.6 ft.	51.6 ft.	65.0 ft. min.
Lot depth	100.94 ft.	100.94 ft.	100.0 ft. min.
Setbacks			
Front	21.3 ft.	19.8 ft.	20.0 ft. min.
Rear	20.5 ft.	20.6 ft.	20.0 ft. min.
Side (left)	5.2 ft.	6.3 ft.	5.2 ft. min.
Side (right)	5.2 ft.	5.1 ft.	5.2 ft. min.
Building coverage	1,808.7 sf 35.0 %	1,904.9 sf 36.8 %	1,808.8 sf max. 35.0 % max.
FAL (Floor Area Limit)	2,800.0 sf	1,759.9 sf	2,800.0 sf max.
Square footage by floor	1,108.9 sf/1 <sup>st</sup> floor 1,165.3 sf/2 <sup>nd</sup> floor 525.8 sf/garage 174.0 sf/porch	1,345.0 sf/1 <sup>st</sup> floor  414.9 garage	
Square footage of buildings	2,974.0 sf	1,865.1 sf	
Building height	26.8 ft.	13.0 ft.	28 ft. max.
Parking	2 covered	2 covered	1 covered/1 uncovered
<b>Note: Areas shown highlighted indicate a nonconforming or substandard situation.</b>			
Trees	Heritage trees: 2*	Non-Heritage trees: 4	New Trees: 0
	Heritage trees proposed for removal: 0	Non-Heritage trees proposed for removal: 0	Total Number of Trees: 6
*Of these two heritage trees, one is a street tree and one is located on the adjacent property on the left rear side.			

ANY FRONTAGE IMPROVEMENTS WHICH ARE DAMAGED AS A RESULT OF CONSTRUCTION WILL BE REQUIRED TO BE REPLACED. ALL FRONTAGE IMPROVEMENT WORK SHALL BE IN ACCORDANCE WITH THE LATEST VERSION OF THE CITY STANDARD DETAILS. AN ENCROACHMENT PERMIT FROM THE ENGINEERING DIVISION IS REQUIRED PRIOR TO ANY CONSTRUCTION ACTIVITIES, INCLUDING UTILITY LATERALS, IN THE PUBLIC RIGHT OF WAY.

SITE DATA	
APN:	055-292-10
ZONE:	R1-U
LOT AREA:	5,168.0 SF
MAXIMUM FLOOR AREA:	2,800.0 SF
MAXIMUM LOT COVERAGE (35%):	1,808.8 SF
EXISTING FLOOR AREA:	1,665.1 SF
EXISTING LOT COVERAGE (32.8%):	1,804.9 SF
PROPOSED FIRST FLOOR AREA:	1,634.7 SF
PROPOSED SECOND FLOOR AREA:	1,165.3 SF
TOTAL PROPOSED FLOOR AREA:	2,800.0 SF
PROPOSED PORCH AREA:	174.0 SF
TOTAL PROPOSED LOT COVERAGE (35%):	1,808.7 SF
EXISTING PAVED AREA (29.6%):	1,520.0 SF
EXISTING LANDSCAPED AREA (33.6%):	1,735.1 SF
EXISTING PARKING SPACES:	2 UNCOVERED
PROPOSED PAVED AREA (23.9%):	893.3 SF
PROPOSED LANDSCAPED AREA (46.6%):	2,407.0 SF
PROPOSED PARKING SPACES:	2 COVERED

SCOPE OF WORK	
(N) TWO-STORY SINGLE FAMILY RESIDENCE	

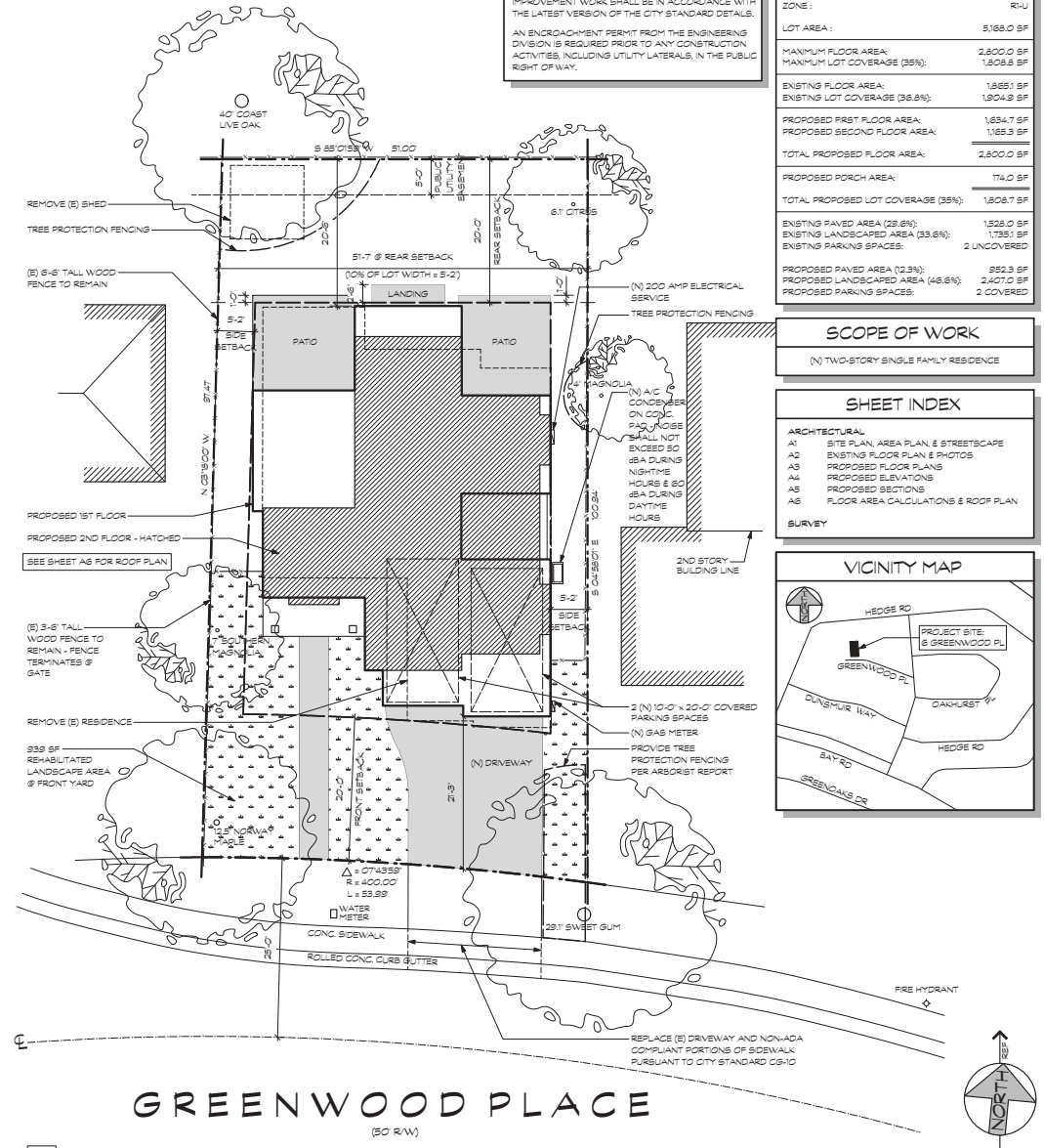
SHEET INDEX	
ARCHITECTURAL	
A1	SITE PLAN, AREA PLAN, & STREETSCAPE
A2	EXISTING FLOOR PLAN & PHOTOS
A3	PROPOSED FLOOR PLANS
A4	PROPOSED ELEVATIONS
A5	PROPOSED SECTIONS
A6	FLOOR AREA CALCULATIONS & ROOF PLAN
SURVEY	



2 AREA PLAN  
1/4"=1'-0"



3 STREETSCAPE  
1/8"=1'-0"



1 SITE PLAN  
1/8"=1'-0"



WEST (LEFT)



SOUTH (FRONT)

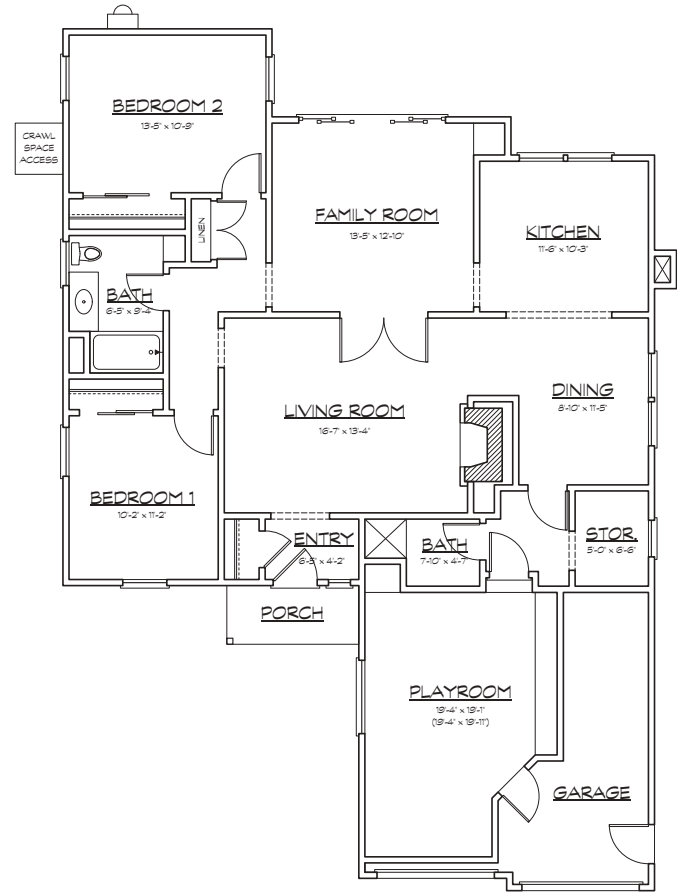


EAST (RIGHT)



NORTH (REAR)

2 EXISTING EXTERIOR PHOTOS



1 EXISTING FLOOR PLAN



PLANNING REV  
17 JAN 2019



448 N. Whisman Road  
Suite 1800  
Mountain View,  
CA 94043  
650-918-0211

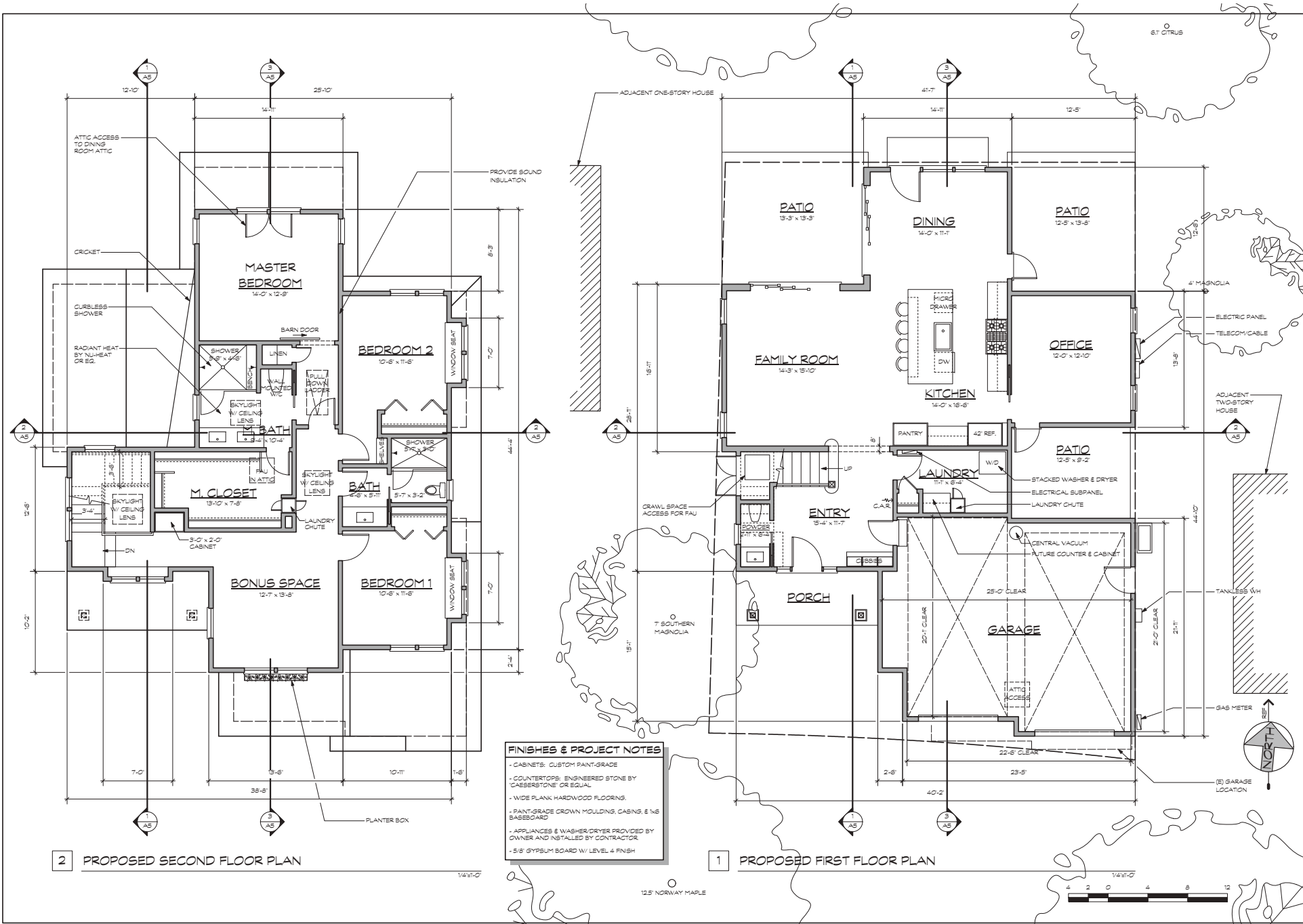
BLYTHE RESIDENCE  
6 GREENWOOD PLACE  
MENLO PARK, CALIFORNIA

Date 27 NOV 2018  
Scale NOTED  
Drawn METRO  
Job BLYTHE  
Sheet

A2



**BLYTHE RESIDENCE  
6 GREENWOOD PLACE  
MENLO PARK CALIFORNIA**

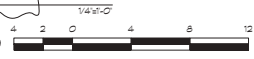


**2** PROPOSED SECOND FLOOR PLAN

**1** PROPOSED FIRST FLOOR PLAN

**FINISHES & PROJECT NOTES**

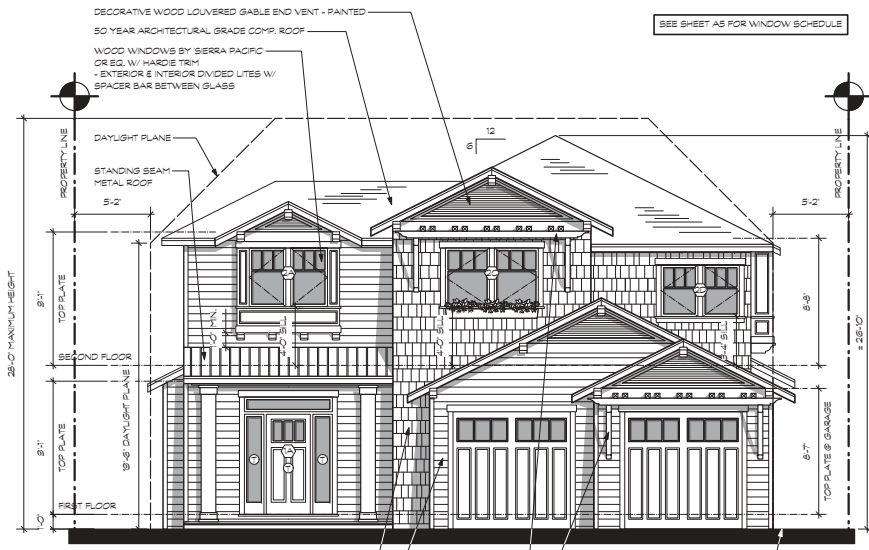
- CABINETS: CUSTOM PAINT-GRADE
- COUNTERTOPS: ENGINEERED STONE BY "CASSERSTONE" OR EQUAL
- WIDE PLANK HARDWOOD FLOORING
- PAINT-GRADE CROWN MOULDING, CASING, & 1/8" BABBING
- APPLIANCES & WASHER/DRYER PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR
- 5/8" GYPSUM BOARD W/ LEVEL 4 FINISH





WEST (LEFT)

SILL HEIGHTS FOR PLANNING PURPOSES ONLY



SOUTH (FRONT)

SEE SHEET AS FOR WINDOW SCHEDULE

FIBER CEMENT SHINGLE SIDING BY HARDEE - PAINTED  
 FIBER CEMENT HORIZ. SIDING BY HARDEE W/ CORNER BOARDS - PAINT TO MATCH  
 WOOD TRELLIS - PAINTED

AVERAGE NAT. GRADE  
 50.6'



EAST (RIGHT)



NORTH (REAR)

1 PROPOSED ELEVATION



PLANNING REV  
 17 JAN 2019

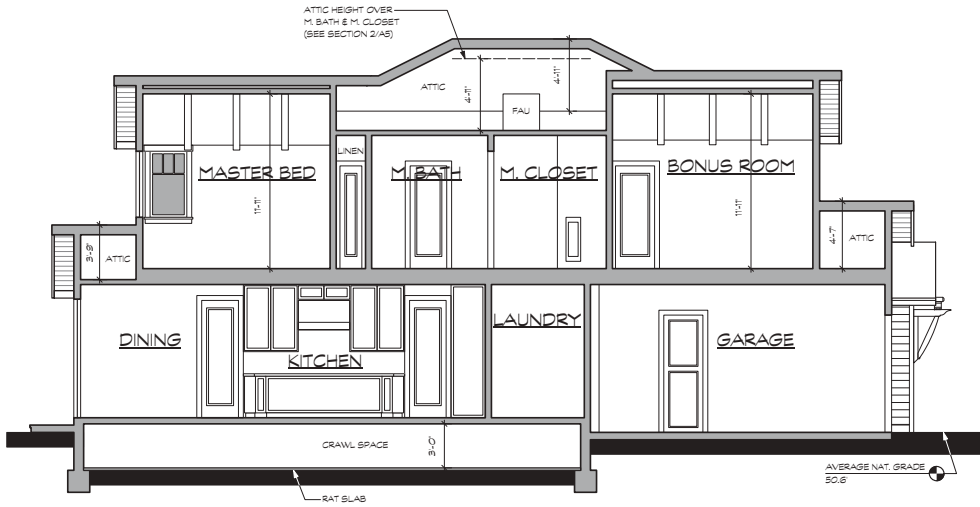


448 N. Whisman Road  
 Suite 1800  
 Mountain View,  
 CA 94043  
 650-918-0211

BLYTHE RESIDENCE  
 6 GREENWOOD PLACE  
 MENLO PARK, CALIFORNIA

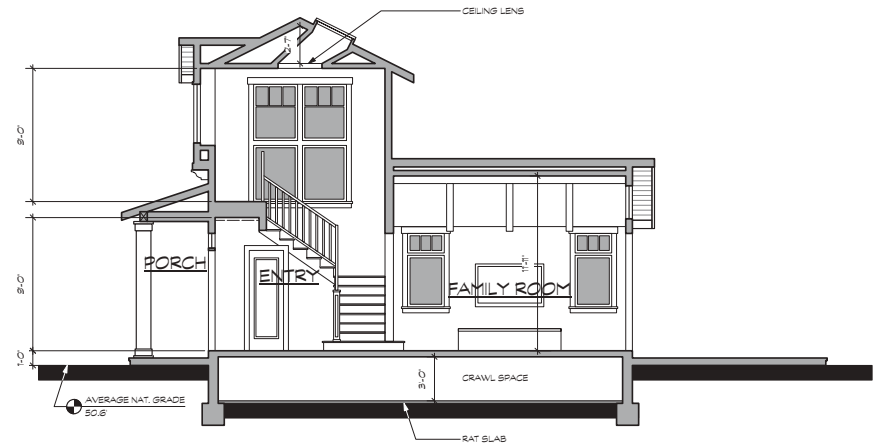
Date 27 NOV 2018  
 Scale NOTED  
 Drawn METRO  
 Job BLYTHE  
 Sheet

A4



3 PROPOSED SECTION

1/4"=1'-0"

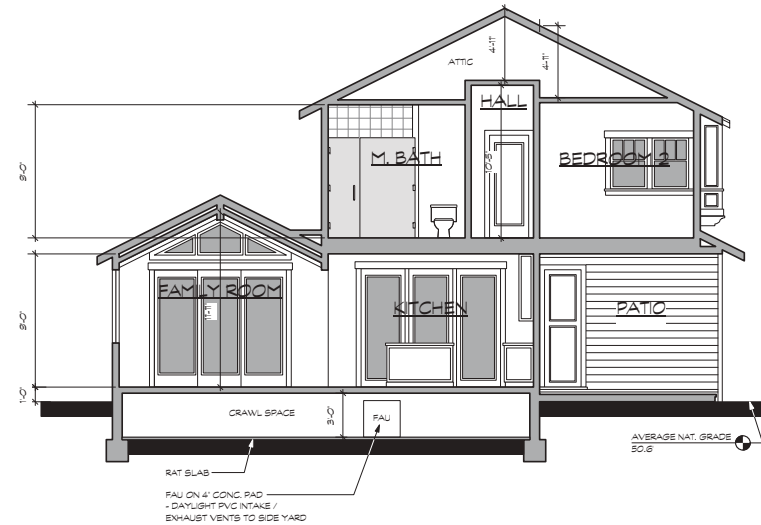


1 PROPOSED SECTION

1/4"=1'-0"

EXTERIOR DOOR & WINDOW SCHEDULE - 1ST FLOOR					
• ALUMINUM CLAD WOOD WINDOWS					
• PROVIDE WINDOW ORDER FOR REVIEW					
KEY	TYPE	NOMINAL SIZE	OPERATION	TEMP.	NOTES
1A	ENTRY DOOR	3'-0" x 8'-0"	INSWING	YES	
	(2) SIDELITES	(2) 1'-4" x 8'-0"	FIXED	YES	
	TRANSOM	6'-0" x 1'-0"	FIXED	YES	
1B	DOOR	2'-6" x 8'-0"	INSWING		
1C	DOOR	2'-6" x 8'-0"	OUTSWING		
1D	WINDOW	2'-6" x 3'-4"	DBL HUNG		
1E	WINDOW	2'-6" x 3'-0"	DBL HUNG	YES	FROSTED, VINYL
1F	DOOR	2'-6" x 8'-0"	OUTSWING		
1G	DOOR	3'-0" x 8'-0"	INSWING	YES	
	(2) WINDOWS	(2) 3'-0" x 8'-0"	FIXED	YES	
1H	SLIDING DOOR	3'-0" x 8'-0"	MULTI-SLIDE	YES	
1I	SLIDING DOOR	3'-0" x 8'-0"	MULTI-SLIDE	YES	
1J	3 WINDOWS	3'-7" x 2'-7"	FIXED		CUSTOM SHAPE
	(2) 2'-6" x 1'-8"	FIXED			
1K	WINDOW & TRANSOM	2'-6" x 3'-6"	FIXED		
	2'-6" x 1'-4"	AWNING			
1L	WINDOW & TRANSOM	2'-6" x 3'-6"	FIXED		
	2'-6" x 1'-4"	AWNING			
1M	(2) DOORS	(2) 2'-0" x 4'-0"	OUTSWING		
1N	WINDOW	2'-0" x 2'-0"	CASEMENT		FROSTED

EXTERIOR DOOR & WINDOW SCHEDULE - 2ND FLOOR					
• ALUMINUM CLAD WOOD WINDOWS					
• PROVIDE WINDOW ORDER FOR REVIEW					
KEY	TYPE	NOMINAL SIZE	OPERATION	TEMP.	NOTES
2A	2 MULLED WINDOWS	2'-6" x 4'-0"	CASEMENT		
	2'-6" x 4'-0"	CASEMENT			
2B	WINDOW	3'-0" x 4'-0"	CASEMENT		
2C	2 MULLED WINDOWS	3'-0" x 4'-0"	CASEMENT		
	2'-6" x 3'-6"	CASEMENT			EGRESS
2D	2 MULLED WINDOWS	2'-6" x 3'-6"	CASEMENT		
	2'-6" x 3'-6"	CASEMENT			
2E	2 MULLED WINDOWS	2'-6" x 3'-6"	FIXED	YES	
	2'-6" x 3'-6"	FIXED		YES	
2F	WINDOW	2'-0" x 2'-0"	CASEMENT		
2G	2 MULLED WINDOWS	2'-6" x 3'-6"	FIXED	YES	
	2'-6" x 3'-6"	FIXED		YES	
2H	2 MULLED WINDOWS	2'-6" x 3'-6"	CASEMENT		EGRESS
	2'-6" x 3'-6"	CASEMENT			
2I	WINDOW	2'-6" x 4'-6"	CASEMENT		EGRESS
2J	2 MULLED WINDOWS	3'-0" x 4'-6"	CASEMENT		
	3'-0" x 4'-6"	CASEMENT			
2K	WINDOW	2'-6" x 4'-6"	CASEMENT		
2L	WINDOW	2'-6" x 3'-6"	CASEMENT	YES	
2M	WINDOW	3'-0" x 4'-0"	CASEMENT		
2N	(4) WINDOWS	(4) 3'-0" x 3'-10"	FIXED	YES	



2 PROPOSED SECTION

1/4"=1'-0"

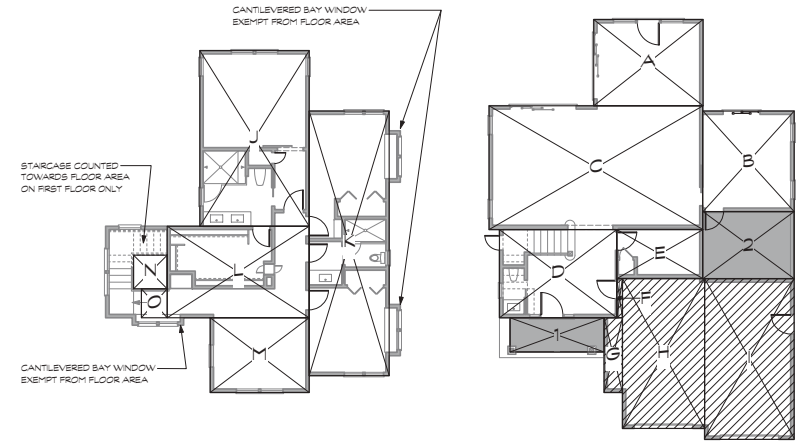


**FLOOR AREA CALCULATION**

	DIMENSION	SQUARE FOOTAGE
A	14'-7" x 7'-9"	175.4 SF
B	12'-0" x 13'-8"	170.8 SF
C	29'-0" x 16'-11"	491.5 SF
D	16'-0" x 12'-7"	192.7 SF
E	11'-8" x 6'-8"	78.5 SF
<b>TOTAL FIRST FLOOR AREA:</b>		<b>1,108.9 SF</b>
	DIMENSION	SQUARE FOOTAGE
F	0'-0" x 5'-4"	4.0 SF
G	2'-6" x 10'-0"	25.4 SF
H	11'-2" x 20'-5"	228.8 SF
I	12'-0" x 21'-11"	267.6 SF
<b>TOTAL GARAGE AREA:</b>		<b>525.8 SF</b>
	DIMENSION	SQUARE FOOTAGE
J	14'-11" x 23'-11"	357.0 SF
K	10'-11" x 36'-7"	393.9 SF
L	19'-4" x 12'-6"	242.2 SF
M	13'-6" x 10'-2"	137.3 SF
N	4'-7" x 4'-7"	21.0 SF
O	3'-6" x 3'-11"	13.9 SF
<b>TOTAL SECOND FLOOR AREA:</b>		<b>1,165.3 SF</b>
<b>TOTAL PROPOSED FLOOR AREA:</b>		<b>2,800.0 SF</b>

**COVERAGE CALCULATION**

	DIMENSION	SQUARE FOOTAGE
1	12'-10" x 4'-8"	59.8 SF
2	12'-9" x 9'-2"	114.2 SF
<b>TOTAL PORCH AREA:</b>		<b>174.0 SF</b>
<b>TOTAL PROPOSED LOT COVERAGE:</b>		<b>1,808.7 SF</b>

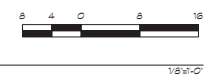


**SECOND FLOOR**

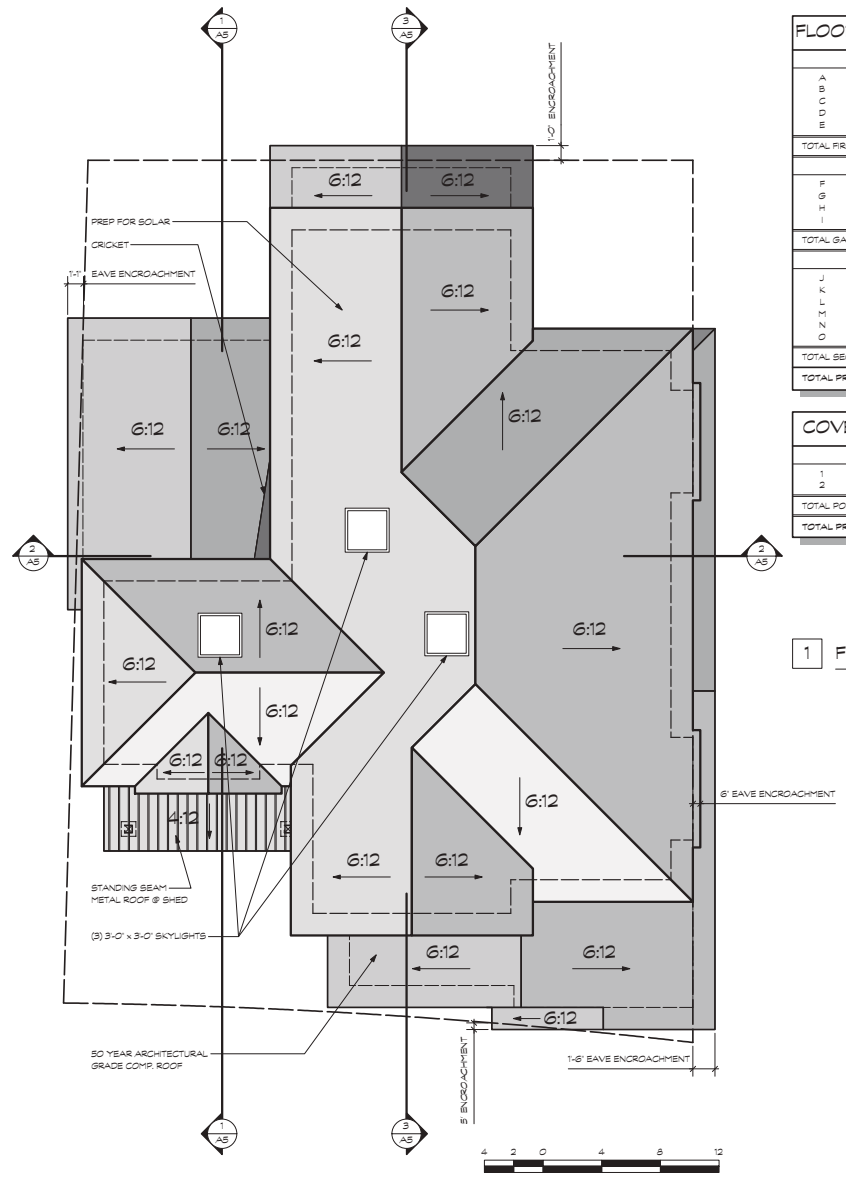
**LEGEND**

- HOUSE FLOOR AREA
- ▨ GARAGE FLOOR AREA
- LOT COVERAGE

**FIRST FLOOR**



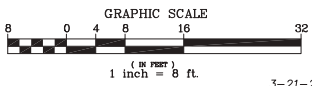
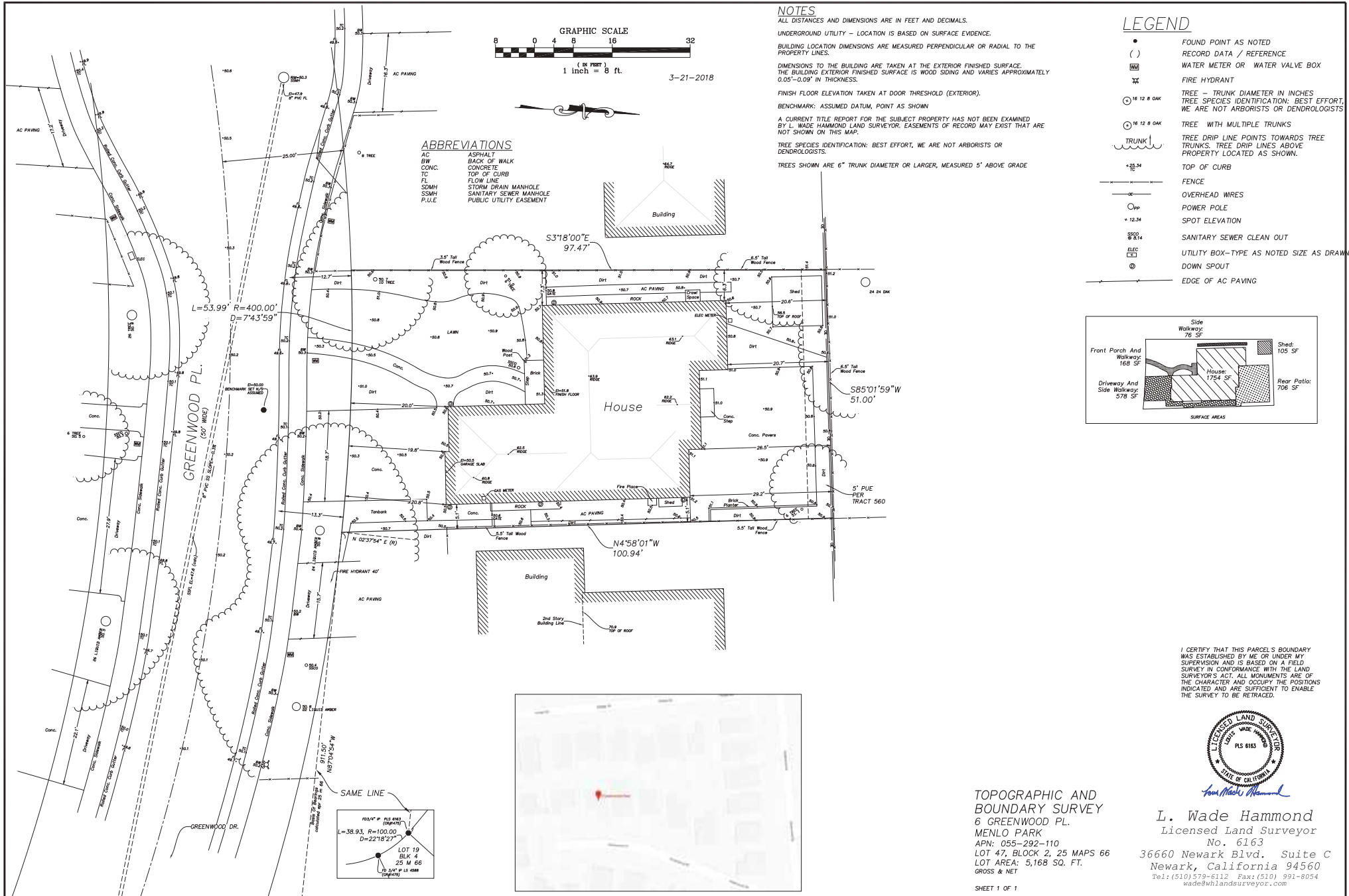
**1 FLOOR AREA & LOT COVERAGE CALCULATIONS**



**2 PROPOSED ROOF PLAN**



1/4"=1'-0"



3-21-2018

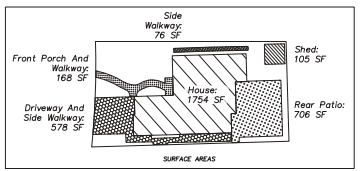
**ABBREVIATIONS**

AC	ASPHALT
AC	CONC.
BW	BACK OF WALK
CONC.	CONCRETE
TC	TOP OF CURB
FL	FLOW LINE
SDMH	STORM DRAIN MANHOLE
SSMH	SANITARY SEWER MANHOLE
P.U.E.	PUBLIC UTILITY EASEMENT

**NOTES**  
 ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.  
 UNDERGROUND UTILITY - LOCATION IS BASED ON SURFACE EVIDENCE.  
 BUILDING LOCATION DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIAL TO THE PROPERTY LINES.  
 DIMENSIONS TO THE BUILDING ARE TAKEN AT THE EXTERIOR FINISHED SURFACE. THE BUILDING EXTERIOR FINISHED SURFACE IS WOOD SIDING AND VARIES APPROXIMATELY 0.05"-0.09" IN THICKNESS.  
 FINISH FLOOR ELEVATION TAKEN AT DOOR THRESHOLD (EXTERIOR).  
 BENCHMARK: ASSUMED DATUM, POINT AS SHOWN  
 A CURRENT TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY L. WADE HAMMOND LAND SURVEYOR. EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.  
 TREE SPECIES IDENTIFICATION: BEST EFFORT, WE ARE NOT ARBORISTS OR DENDROLOGISTS.  
 TREES SHOWN ARE 6" TRUNK DIAMETER OR LARGER, MEASURED 5' ABOVE GRADE

**LEGEND**

•	FOUND POINT AS NOTED
( )	RECORD DATA / REFERENCE
⊕	WATER METER OR WATER VALVE BOX
⊕	FIRE HYDRANT
⊙ 16 12 8 OAK	TREE - TRUNK DIAMETER IN INCHES TREE SPECIES IDENTIFICATION: BEST EFFORT, WE ARE NOT ARBORISTS OR DENDROLOGISTS
⊙ 16 12 8 OAK	TREE WITH MULTIPLE TRUNKS
TRUNK	TREE DRIP LINE POINTS TOWARDS TREE TRUNKS. TREE DRIP LINES ABOVE PROPERTY LOCATED AS SHOWN.
+33.34	TOP OF CURB
—	FENCE
—	OVERHEAD WIRES
⊕	POWER POLE
+ 12.34	SPOT ELEVATION
SS 8" x 14"	SANITARY SEWER CLEAN OUT
⊕	UTILITY BOX - TYPE AS NOTED SIZE AS DRAWN
⊕	DOWN SPOUT
—	EDGE OF AC PAVING

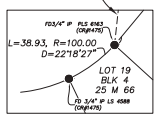


I CERTIFY THAT THIS PARCELS BOUNDARY WAS ESTABLISHED BY ME OR UNDER MY SUPERVISION AND IS BASED ON A FIELD SURVEY IN CONFORMANCE WITH THE LAND SURVEYOR'S ACT. ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.



TOPOGRAPHIC AND BOUNDARY SURVEY  
 6 GREENWOOD PL.  
 MENLO PARK  
 APN: 055-292-110  
 LOT 47, BLOCK 2, 25 MAPS 66  
 LOT AREA: 5,168 SQ. FT.  
 GROSS & NET  
 SHEET 1 OF 1

L. Wade Hammond  
 Licensed Land Surveyor  
 No. 6163  
 36660 Newark Blvd. Suite C  
 Newark, California 94560  
 Tel: (510) 579-6112 Fax: (510) 991-8054  
 wade@whlandsurveyor.com





RECEIVED

NOV 29 2018

CITY OF MENLO PARK  
PLANNING DIVISION

November 29, 2018

6 GREENWOOD PLACE PROJECT DESCRIPTION

The project proposes to build a new two-story Craftsman style single-family residence on a substandard lot with respect to area and width. The new house will replace an existing Ranch style home. The existing single-story house and detached shed will be removed, and the proposed residence will be constructed using conventional wood framing. The project conforms to all required setbacks and height limits in the R1-U Zoning District. The project will provide common areas at the first floor and private bedrooms at the second floor.

Kelly and Julianne Blythe will contact each of their neighbors regarding the project.

ARCHITECTURAL STYLE

The proposed two-story house will be built in the Craftsman style. The exterior materials consist of a mix of fiber cement shingles and horizontal siding with white decorative trim around wood windows. These wood windows will use simulated divided lites with interior spacer bars to achieve an authentic Craftsman look.

The two-car garage at the front of the house is broken up into two masses to provide relief to the façade. Additionally, the house features decorative elements such as a standing seam metal roof over the front porch, a pergola at the garage, gable end vents, and cantilevered bay windows with wood accents.

# Advanced Tree Care

965 East San Carlos Ave, San Carlos

## ATTACHMENT F

6 Greenwood Place, Menlo Park

January 11, 2019

Kelly Blythe  
CS Marine Constructors, Inc.  
425 15<sup>th</sup> Street  
Vallejo, CA 94592

Site: 6 Greenwood Pl, Menlo Park

Dear Kelly,

At your request I visited the above site for the purpose of inspecting and commenting on the regulated trees around the property. A new house is planned for the property, prompting the need for this tree protection report.

### Method:

Menlo Park regulates all trees with a trunk diameter at 4 feet above ground level greater than 15.0 inches and oaks greater than 10.0 inches. The town requests that all trees greater than 6.0 inches in diameter be included in the report, including trees on adjacent properties within 8 feet of the property line. The location of the regulated trees on this site can be found on the plan provided by you. Each tree is given an identification number. The trees are measured at 54 inches above ground level (DBH or Diameter at Breast Height). A condition rating of 1 to 100 is assigned to each tree representing form and vitality on the following scale:

1 to 29	Very Poor
30 to 49	Poor
50 to 69	Fair
70 to 89	Good
90 to 100	Excellent

The height and spread of each tree is estimated. A Comments section is provided for any significant observations affecting the condition rating of the tree.

A Summary and Tree Protection Plan are at the end of the survey providing recommendations for maintaining the health and condition of the trees during and after construction.

If you have any questions, please don't hesitate to call.

Sincerely



Robert Weatherill  
Certified Arborist WE 1936A

## Tree Survey

Tree#	Species	DBH	Ht/Sp	Con Rating	Comments
1	Sweet gum <i>Liquidambar styraciflua</i>	29.1"	70/25	65	Fair health and condition, Street Tree <b>Regulated</b>
2	Norway maple <i>Acer platanoides</i>	12.5"	30/25	70	Good health and condition <b>Not Regulated</b>
3	Southern magnolia <i>Magnolia grandiflora</i>	7.0"	25/12	75	Good health and condition, <b>Not Regulated</b>
4	Coast live oak <i>Quercus agrifolia</i>	40" at grade estimate	20/40	50	Good health and poor condition, neighbors tree Topped by PG and E. <b>Regulated</b>
5	Citrus <i>Citrus spp</i>	6.1"	10/8	60	Fair health and condition, significant lean <b>Not Regulated</b>
6	Magnolia <i>Magnolia stellata</i>	4"/4" at grade estimate	20/10	70	Good health and condition, neighbors tree <b>Not Regulated</b>

### **Summary:**

The trees on the site are a variety of natives and non-natives.

There are 2 Regulated trees of which one is a street tree (Tree # 1) and one is a neighbor's tree (Tree # 4). Both these trees should be protected during construction.

Tree # 6 is not a regulated tree but is a neighbor's tree that should be protected during construction.

The remaining trees are Not Regulated and can be removed if desired

## Tree Protection Plan

1. The Tree Protection Zone (TPZ) should be defined with protective fencing. This should be cyclone or chain link fencing on 1 1/2" or 2" posts driven at least 2 feet in to the ground standing at least 6 feet tall. Normally a TPZ is defined by the dripline of the tree. I recommend the TPZ's as follows:-

Tree #s 1 and 4: TPZ should be at 20 feet from the trunk closing on the fence line in accordance with Type I Tree Protection as outlined and illustrated in image 2.15-1 and 2 <sup>(6)</sup> .

The TPZ for Tree # 1 can be reduced to the edge of the existing driveway whilst driveway is intact. After the driveway has been removed the fencing should be placed at its fullest extent

Tree #6: TPZ should be at 5 feet radius from the trunk of the tree closing on the fence line in accordance with Type I Tree Protection as outlined and illustrated in image 2.15-1 and 2 <sup>(6)</sup> .



**IMAGE 2.15-1**  
Tree Protection Fence at the Dripline



**IMAGE 2.15-2**  
Tree Protection Fence at the Dripline

### • **Type I Tree Protection**

The fences shall enclose the entire area under the **canopy dripline or TPZ** of the tree(s) to be saved throughout the life of the project, or until final improvement work within the area is required, typically near the end of the project (*see Images 2.15-1 and 2.15-2*). Parking Areas: If the fencing must be located on paving or sidewalk that will not be demolished, the posts may be supported by an appropriate grade level concrete base.

2. Any pruning and maintenance of the tree shall be carried out before construction begins. This should allow for any clearance requirements for both the new structure and any construction machinery. This will eliminate the possibility of damage during construction. **The pruning should be carried out by an arborist, not by construction personnel.** No limbs greater than 4" in diameter shall be removed.

3. Any excavation in ground where there is a potential to damage roots of 1" or more in diameter should be carefully hand dug. Where possible, roots should be dug around rather than cut.<sup>(2)</sup>

Excavation for the new driveway should be done by hand within the TPZ of Tree # 1 (Area shaded in blue). No roots greater than 2" in diameter should be cut. Since the existing driveway is not showing any signs of lifting or cracking, I suspect there very few roots beneath the concrete. All roots less than 2" in diameter should be cut. It may be advisable to install a root barrier along the edge of the new driveway to prevent new root growth from going beneath the new driveway and causing damage. Because this is a City Tree, the City Arborist must approve root cutting and root barrier installation

4. If roots are broken, every effort should be made to remove the damaged area and cut it back to its closest lateral root. A clean cut should be made with a saw or pruners. This will prevent any infection from damaged roots spreading throughout the root system and into the tree.<sup>(2)</sup>

5. **Do Not:**<sup>(4)</sup>

- a. Allow run off or spillage of damaging materials into the area below any tree canopy.
- b. Store materials, stockpile soil, park or drive vehicles within the TPZ of the tree.
- c. Cut, break, skin or bruise roots, branches or trunk without first obtaining permission from the city arborist.
- d. Allow fires under any adjacent trees.
- e. Discharge exhaust into foliage.
- f. Secure cable, chain or rope to trees or shrubs.
- g. Apply soil sterilants under pavement near existing trees.

6. Where roots are exposed, they should be kept covered with the native soil or four layers of wetted, untreated burlap. Roots will dry out and die if left exposed to the air for too long.<sup>(4)</sup>

7. Route pipes into alternate locations to avoid conflict with roots.<sup>(4)</sup>

8. Where it is not possible to reroute pipes or trenches, the contractor is to bore beneath the dripline of the tree. The boring shall take place no less than 3 feet below the surface of the soil in order to avoid encountering "feeder" roots.<sup>(4)</sup>

9. Compaction of the soil within the dripline shall be kept to a minimum.<sup>(2)</sup> If access is required to go through the TPZ of a protected tree, the area within the TPZ should be protected from compaction either with steel plates or with 4" of wood chip overlaid with plywood.

# Advanced Tree Care

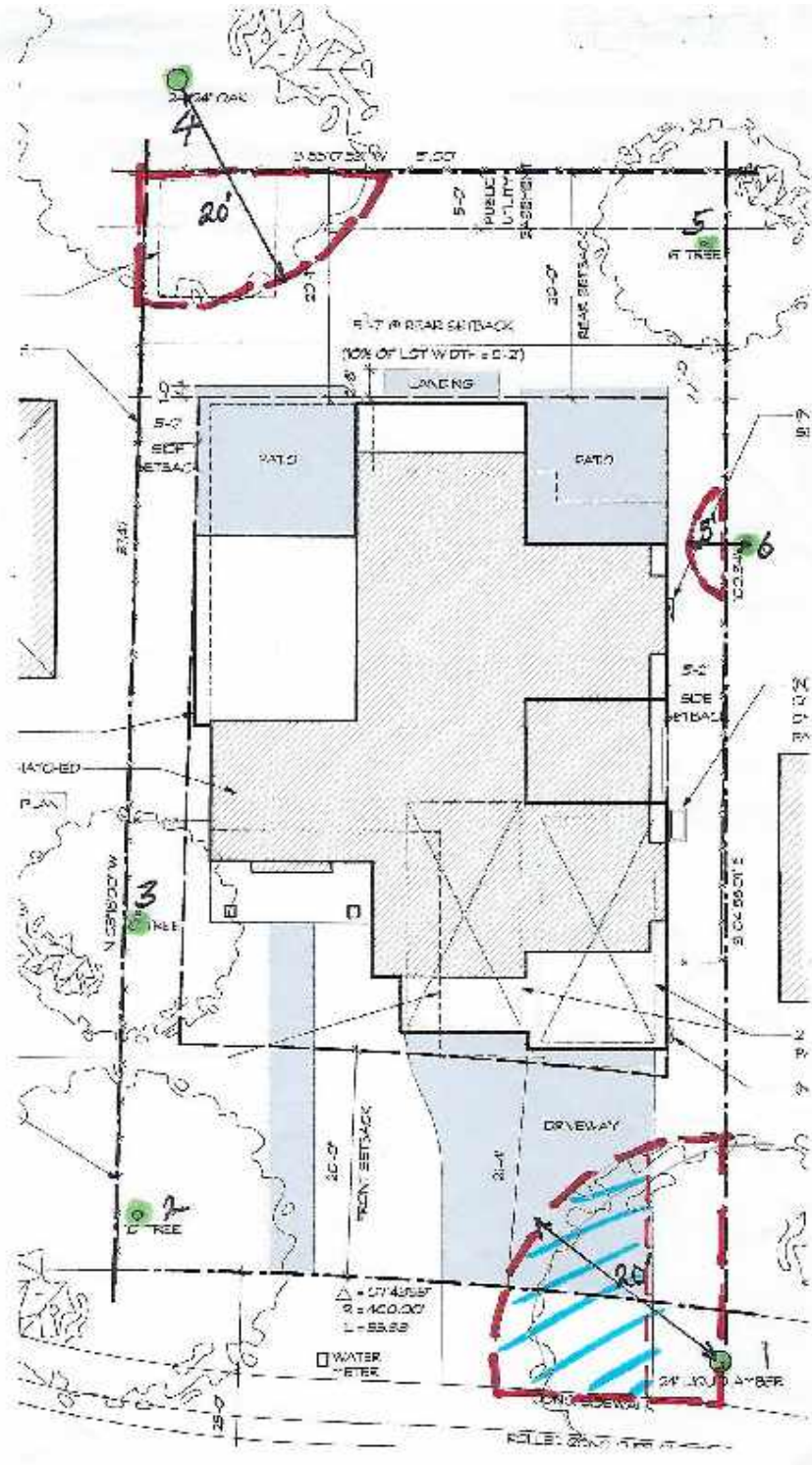
965 East San Carlos Ave, San Carlos

6 Greenwood Place, Menlo Park

January 11, 2019

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10. Any damage due to construction activities shall be reported to the project arborist or city arborist within 6 hours so that remedial action can be taken.
11. Ensure upon completion of the project that the original ground level is restored



Location of proposed new house, protected trees and their Tree Protection Zones

## **Glossary**

<b>Canopy</b>	The part of the crown composed of leaves and small twigs. <sup>(2)</sup>
<b>Cavities</b>	An open wound, characterized by the presence of extensive decay and resulting in a hollow. <sup>(1)</sup>
<b>Decay</b>	Process of degradation of woody tissues by fungi and bacteria through the decomposition of cellulose and lignin <sup>(1)</sup>
<b>Dripline</b>	The width of the crown as measured by the lateral extent of the foliage. <sup>(1)</sup>
<b>Genus</b>	A classification of plants showing similar characteristics.
<b>Root crown</b>	The point at which the trunk flares out at the base of the tree to become the root system.
<b>Species</b>	A Classification that identifies a particular plant.
<b>Standard height</b>	Height at which the girth of the tree is measured. Typically 4 1/2 feet above ground level

## **References**

(1) Matheny, N.P., and Clark, J.P. Evaluation of Hazard Trees in Urban Areas. International Society of Arboriculture, 1994.

(2) Harris, R.W., Matheny, N.P. and Clark, J.R.. Arboriculture: Integrated Management of Landscape Trees, Shrubs and Vines. Prentice Hall, 1999.

(3) Carlson, Russell E. Paulownia on The Green: An Assessment of Tree Health and Structural Condition. Tree Tech Consulting, 1998.

(4) Extracted from a copy of Tree Protection guidelines. Anon

(5) T. D. Sydnor, Arboricultural Glossary. School of Natural Resources, 2000

(6) D Dockter, Tree Technical Manual. City of Palo Alto, June, 2001



## *Certification of Performance<sup>(3)</sup>*

I, Robert Weatherill certify:

- \* That I have personally inspected the tree(s) and/or the property referred to in this report, and have stated my findings accurately. The extent of the evaluation and appraisal is stated in the attached report and the Terms and Conditions;
- \* That I have no current or prospective interest in the vegetation or the property that is the subject of this report, and I have no personal interest or bias with respect to the parties involved;
- \* That the analysis, opinions and conclusions stated herein are my own, and are based on current scientific procedures and facts;
- \* That my compensation is not contingent upon the reporting of a predetermined conclusion that favors the cause of the client or any other party, nor upon the results of the assessment, the attainment of stipulated results, or the occurrence of any subsequent events;
- \* That my analysis, opinions, and conclusions were developed and this report has been prepared according to commonly accepted Arboricultural practices;
- \* That no one provided significant professional assistance to the consultant, except as indicated within the report.

I further certify that I am a member of the International Society of Arboriculture and a Certified Arborist. I have been involved in the practice of arboriculture and the care and study of trees for over 15 years.

*Signed*



Robert Weatherill  
Certified Arborist WE 1936a  
Date: 1/11/19

## Terms and Conditions(3)

The following terms and conditions apply to all oral and written reports and correspondence pertaining to consultations, inspections and activities of Advanced Tree Care :

1. All property lines and ownership of property, trees, and landscape plants and fixtures are assumed to be accurate and reliable as presented and described to the consultant, either verbally or in writing. The consultant assumes no responsibility for verification of ownership or locations of property lines, or for results of any actions or recommendations based on inaccurate information.
2. It is assumed that any property referred to in any report or in conjunction with any services performed by Advanced Tree Care, is not in violation of any applicable codes, ordinances, statutes, or other governmental regulations, and that any titles and ownership to any property are assumed to be good and marketable. Any existing liens and encumbrances have been disregarded.
3. All reports and other correspondence are confidential, and are the property of Advanced Tree Care and it's named clients and their assignees or agents. Possession of this report or a copy thereof does not imply any right of publication or use for any purpose, without the express permission of the consultant and the client to whom the report was issued. Loss, removal or alteration of any part of a report invalidates the entire appraisal/evaluation.
4. The scope of any report or other correspondence is limited to the trees and conditions specifically mentioned in those reports and correspondence. Advanced Tree Care and the consultant assume no liability for the failure of trees or parts of trees, either inspected or otherwise. The consultant assumes no responsibility to report on the condition of any tree or landscape feature not specifically requested by the named client.
5. All inspections are limited to visual examination of accessible parts, without dissection, excavation, probing, boring or other invasive procedures, unless otherwise noted in the report. No warrantee or guarantee is made, expressed or implied, that problems or deficiencies of the plants or the property will not occur in the future, from any cause. The consultant shall not be responsible for damages caused by any tree defects, and assumes no responsibility for the correction of defects or tree related problems.
6. The consultant shall not be required to provide further documentation, give testimony, be deposed, or attend court by reason of this appraisal/report unless subsequent contractual arrangements are made, including payment of additional fees for such services as described by the consultant or in the fee schedules or contract.
7. Advanced Tree Care has no warrantee, either expressed or implied, as to the suitability of the information contained in the reports for any purpose. It remains the responsibility of the client to determine applicability to his/her particular case.
8. Any report and the values, observations, and recommendations expressed therein represent the professional opinion of the consultants, and the fee for services is in no manner contingent upon the reporting of a specified value nor upon any particular finding to be reported.
9. Any photographs, diagrams, graphs, sketches, or other graphic material included in any report, being intended solely as visual aids, are not necessarily to scale and should not be construed as engineering reports or surveys, unless otherwise noted in the report. Any reproductions of graphs material or the work product of any other persons is intended solely for the purpose of clarification and ease of reference. Inclusion of said information does not constitute a representation by Advanced Tree Care or the consultant as to the sufficiency or accuracy of that information.

January 27, 2019



Dear Neighbors

Juli and I are excited to share the news that we are planning on building a new home at 6 Greenwood Place. Our plan is to deconstruct our existing home and replace it with a new two story Craftsman style home (drawing below).

We have lived in Menlo Park for 15 years, and after looking for the perfect neighborhood, moved to Suburban Park in 2016. We truly feel the cul-de-sac at Greenwood Place is the best location to raise our boys and we would like to build our new home here.

We are well aware of the impact construction can have on a neighborhood – both during the construction process (noise and disruption) and after (a potential rise in home values). We intend that our project will minimize the first, and maximize the second, for our neighbors! If you have any questions we would be happy to discuss them and share more details of the plan with you.

Kelly, Juli, Ben and Joey

[Kelly@csmarine.com](mailto:Kelly@csmarine.com)

707-290-8448



To: City of Menlo Park Planning Commission

From: Caroline and Alejandro Goyen, Homeowners of 11 Greenwood Place Menlo Park

RE: Construction of New Home 6 Greenwood Place Menlo Park

Date: January 6, 2019

Menlo Park Planning Commission-

We own the property at 11 Greenwood Place in Menlo Park (Suburban Park) which is right across the cul-de-sac from Kelly and Juli Blythe at 6 Greenwood Place. We are directly impacted by any construction project at this site. We would like to communicate in writing, that we have reviewed the architectural plans of the proposed new construction at 6 Greenwood Place, and we are in full support of the project.

Please don't hesitate to contact us should you have any further inquiries. We can be reached at [carolinegoyen@gmail.com](mailto:carolinegoyen@gmail.com) or 206-579-2860.

Regards,  
Caroline and Alejandro Goyen  
11 Greenwood Place  
Menlo Park, Ca 94025

**From:** John O'Neel <[johnoneel@gmail.com](mailto:johnoneel@gmail.com)>  
**Sent:** Wednesday, January 16, 2019 7:22 PM  
**To:** Kelly Blythe  
**Cc:** Teri O'Neel  
**Subject:** Construction at 6 Greenwood Place

To whom it may concern,

Teri and I have lived in two different homes in Suburban Park over the last 31 years. We have lived on Greenwood Place for the last 16 years. This is directly across the street from Kelly and Julie's home. We have reviewed the construction plans Kelly and Julie have provided and fully support these plans and the resultant home.

Regards,  
John & Teri O'Neel  
13 Greenwood Pl  
Menlo Park



## STAFF REPORT

### Planning Commission

**Meeting Date:** 2/25/2019

**Staff Report Number:** 19-012-PC

**Public Hearing:** Use Permit/Sean Amiri/908 Menlo Avenue

### Recommendation

Staff recommends that the Planning Commission approve a use permit to demolish two existing residences (one two-story and one single-story) and construct two two-story, single-family residences on a substandard lot with respect to lot width in the R-3 (Apartment) zoning district, at 908 Menlo Avenue. A detached garage would be located partly in the front half of the lot (but behind the front residence), as may be permitted with a use permit. The proposal includes administrative review of a tentative parcel map to subdivide the project into two condominium units. The project also includes two proposed heritage tree removals: a strawberry tree in poor condition and a Douglas fir in fair condition, both on the left side of the parcel. The recommended actions are included as Attachment A.

### Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal.

### Background

#### *Site location*

The subject property is located near the downtown area, on a dead-end block of Menlo Avenue that extends southwest of University Drive. The subject block is comprised of a mix of one- and two-story residences, in both single-family and multi-family configurations. The architectural styles in the vicinity are varied.

Most parcels in the immediate area are also zoned R-3 (Apartment) or R-3-X (Apartment, Conditional Development), with the exception of Fremont Park at the corner of University Drive and Santa Cruz Avenue, zoned OSC (Open Space and Conservation), and the parcels on the opposite side of University Drive, zoned SP-ECR/D (El Camino Real/Downtown Specific Plan). A location map is included as Attachment B.

The applicant is proposing a similar two-unit redevelopment on the same block, at 966 Menlo Avenue, which will also be reviewed by the Planning Commission at the February 25 meeting. However, these two projects are functionally separate and will be considered and acted on individually.

## **Analysis**

### ***Project description***

The subject site is currently occupied by a two-story residence at the front and a one-story residence and attached carport at the rear. The property is substandard with regard to lot width. The applicant is proposing to demolish all existing site improvements and construct two new two-story, single-family homes. Each unit would have a one-car garage (detached for the front unit and attached for the rear unit) and one uncovered parking space. A data table summarizing parcel and project attributes is included as Attachment C. The project plans and the applicant's project description letter are included as Attachments D and E.

Each residence would be a four-bedroom, three-bathroom house, with a typical layout of shared spaces on the ground level and most of the bedrooms on the upper floor. The overall site layout would stay the same, with the driveway on the right. The detached garage would be located partially in the front half of the lot, as may be permitted with a use permit. Since the garage would be located behind the front unit, with limited visibility from the street, staff does not have any concerns with the placement of this accessory building partially in the front half of the lot.

Of note with regard to Zoning Ordinance development standards:

- The project would adhere to R-3 requirements for minimum landscaping and maximum driveways/open parking areas. As is permitted by the code, a permeable paver driveway system would count equally toward the landscaping and driveways/open parking areas.
- The buildings would be well below the maximum height limit (35 feet), at approximately 28 feet. The Planning Commission should note that the ridge height as represented by the applicant includes a small buffer to account for "structural drift". However, even with this buffer, the height is limited.
- Although the R-3 district does not have the daylight plane requirement that applies to the single-family and R-2 districts, the designs feature hipped roofs to achieve a similar, modulated effect on the side elevations, which would help reduce the bulk and massing of the proposed development.

The applicant is also requesting approval of a tentative map for a minor subdivision into two residential condominium units. The minor subdivision can be reviewed and approved at an administrative level, if the Planning Commission approves the use permit request.

### ***Design and materials***

The new residences would be contemporary in style, with stucco as the primary façade material, accented by horizontal wood siding and stone veneer in various locations. The windows would have a black aluminum finish and are labeled as "true divided lite", which the applicant has clarified will be the simulated divided light style, with interior/exterior grids and a spacer bar in between the glass panes. The front and garage doors would feature stained cherry wood, and standard composition shingles would be used as the roofing material. Although color and materials boards are not required for two-unit projects, the applicant has submitted color and materials sheets in order to relay the aesthetics more fully, and these will be available for Planning Commission review at the February 25 meeting.

The residences would be somewhat boxy in nature, in particular on the side elevations, although this



would be consistent with the contemporary style. It would also be reflective of the relatively narrow site, which does not necessarily allow for significant upper-floor stepbacks. Projections and material changes would also provide some massing variation, especially on the front elevations, where small porches would also serve as a welcoming feature. On the side elevations, the upper-floor windows are designed with sensitivity to neighbor privacy, with all windows either featuring five-foot sill heights or obscure glass.

Staff believes that the scale, materials, and style of the proposed residences are consistent with the neighborhood, given the variety of architectural styles and sizes of structures in the vicinity.

### ***Trees and landscaping***

The applicant has submitted an arborist report (Attachment F) detailing the species, size and conditions of the trees on or near the site. As part of the project review process, the City Arborist reviewed the report and requested enhancements, which have been incorporated. As described in the report, there are 19 existing trees located on or near the property, 11 of which are heritage trees. Of the heritage trees, eight are located on adjacent properties, in particular a number of redwoods that are located on the edge of Fremont Park, at the rear.

Of the three on-site heritage trees, two are proposed to be removed: a 17-inch strawberry tree (#2) in poor condition and a 17-inch Douglas fir (#5) in fair condition, both in the left side setback. The strawberry tree is in significant decline, and is described by the project arborist as “nearly dead.” The Douglas fir proposed for removal is located close to another heritage Douglas fir (#4), and is in poor condition relative to that tree. Removal of tree #5 should help the long-term health of tree #4 by reducing competition for resources. The City Arborist has tentatively approved the two heritage tree removals, subject to Planning Commission action on the use permit.

All of the remaining heritage trees would be protected during construction of the residences, with measures including: using a pier-and-grade-beam system for a portion of Unit 2’s left side foundation in order to limit impacts on tree #4; removing two feet of soil using an air spade so that tree #4’s roots can be retained during the removal of tree #5; and excavating the rear foundation of Unit 2 by hand to protect the neighboring redwoods. These protections would be ensured by standard condition 3I. The City Arborist has additionally recommended that tree #4 be protected by cantilevering Unit 2’s left side fireplace pop-out, which staff believes is feasible and which has been incorporated as recommended condition 4a.

Five non-heritage trees would be removed, and four new trees would be planted as heritage replacements: three on the front elevation, and one at the right-rear side at the end of the driveway. A number of screening shrubs would be planted on the property boundaries, in particular on the right side. Each new unit would have a small at-grade patio at its rear.

### ***Correspondence***

The applicant states in the project description letter that their team knocked on doors and discussed the project with those who were available. Staff has received one email regarding the project, included as Attachment G. The letter states concerns with the loss of the existing structures, and a suggestion to revise the R-3 regulations to encourage greater density and affordability, especially in the area around

downtown. Staff believes that the comments relate to broader policy issues and not the subject use permit request. Further, the commenter states they do not want to obstruct their neighbor's use of their property.

### **Conclusion**

Staff believes that the scale, materials, and style of the proposed residences are compatible with those of the overall neighborhood. The building height would be limited relative to the R-3 maximum, and the side roofs would be hipped to limit the perceived mass. Varying materials and forms (in particular on the front elevations) would also modulate the mass and add visual interest to the project. Detailed heritage tree protection measures have been specified in the arborist report and would be followed as part of construction. The comment received on the project raised broader policy issues and not direct opposition to the proposed project. Staff recommends that the Planning Commission approve the proposed use permit.

### **Impact on City Resources**

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

### **Environmental Review**

The project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.

### **Public Notice**

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

### **Appeal Period**

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

### **Attachments**

- A. Recommended Actions
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter
- F. Arborist Report
- G. Correspondence

**Disclaimer**

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

**Exhibits to Be Provided at Meeting**

Color and materials sheets

Report prepared by:

Thomas Rogers, Principal Planner

Report reviewed by:

Kyle Perata, Acting Principal Planner

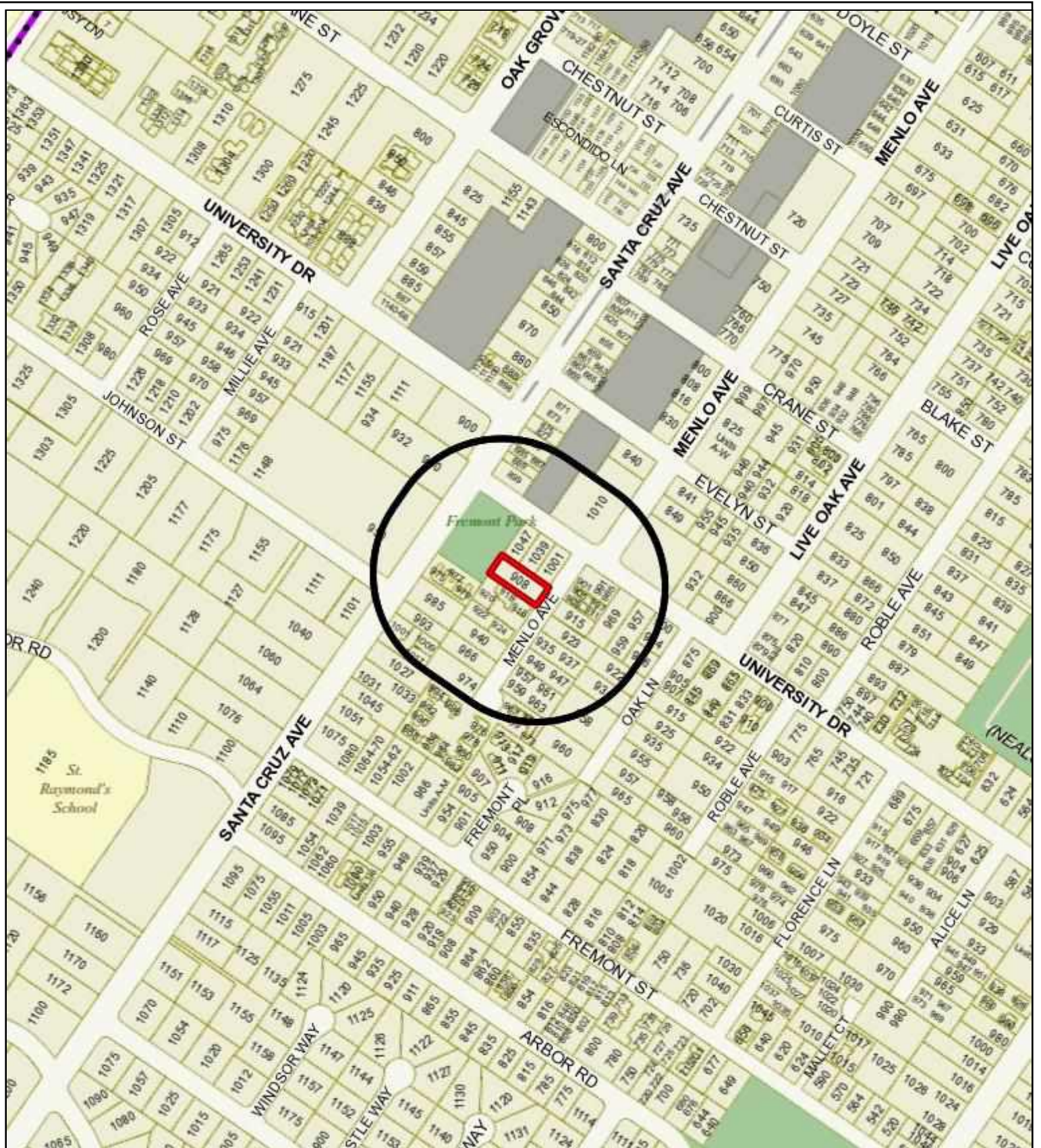
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## 908 Menlo Avenue – Attachment A: Recommended Actions

<b>LOCATION:</b> 908 Menlo Avenue	<b>PROJECT NUMBER:</b> PLN2018-00022	<b>APPLICANT:</b> Shahriar (Sean) Amiri	<b>OWNERS:</b> Stephen Massoon and Shahriar Amiri
<b>PROPOSAL:</b> Request for a use permit to demolish two existing single-family residences and construct two two-story, single-family residences and a detached garage on a substandard lot with respect to lot width in the R-3 (Apartment) zoning district. The garage would be located partly in the front half of the lot (but behind the front residence), as may be permitted with a use permit. The proposal includes an administrative review of a tentative parcel map to subdivide the project into two condominium units. As a part of the proposed development, two heritage trees (one Douglas fir and one strawberry tree) are proposed for removal.			
<b>DECISION ENTITY:</b> Planning Commission	<b>DATE:</b> February 25, 2019	<b>ACTION:</b> TBD	
<b>VOTE:</b> TBD (Barnes, Doran, Goodhue, Kennedy, Onken, Riggs, Strehl)			
<b>ACTION:</b>			
<ol style="list-style-type: none"> <li>1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.</li> <li>2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.</li> <li>3. Approve the use permit subject to the following <b>standard</b> conditions: <ol style="list-style-type: none"> <li>a. Development of the project shall be substantially in conformance with the plans prepared by Hometec Architecture, Inc., consisting of 20 plan sheets, received February 11, 2019, and approved by the Planning Commission on February 25, 2019, except as modified by the conditions contained herein, subject to review and approval by the Planning Division.</li> <li>b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.</li> <li>c. Prior to building permit issuance; the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.</li> <li>d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.</li> <li>e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.</li> <li>f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.</li> </ol> </li> </ol>			

908 Menlo Avenue – Attachment A: Recommended Actions

<b>LOCATION:</b> 908 Menlo Avenue	<b>PROJECT NUMBER:</b> PLN2018-00022	<b>APPLICANT:</b> Shahriar (Sean) Amiri	<b>OWNERS:</b> Stephen Massoon and Shahriar Amiri
<b>PROPOSAL:</b> Request for a use permit to demolish two existing single-family residences and construct two two-story, single-family residences and a detached garage on a substandard lot with respect to lot width in the R-3 (Apartment) zoning district. The garage would be located partly in the front half of the lot (but behind the front residence), as may be permitted with a use permit. The proposal includes an administrative review of a tentative parcel map to subdivide the project into two condominium units. As a part of the proposed development, two heritage trees (one Douglas fir and one strawberry tree) are proposed for removal.			
<b>DECISION ENTITY:</b> Planning Commission	<b>DATE:</b> February 25, 2019	<b>ACTION:</b> TBD	
<b>VOTE:</b> TBD (Barnes, Doran, Goodhue, Kennedy, Onken, Riggs, Strehl)			
<p><b>ACTION:</b></p> <ul style="list-style-type: none"> <li>g. If construction is not complete by the start of the wet season (October 1st through April 30th), the Applicant shall implement a winterization program to minimize the potential for erosion and sedimentation, subject to review and approval of the Engineering Division.</li> <li>h. Prior to building permit issuance, the Applicant shall submit all applicable civil plans for Engineering Division review and approval.</li> <li>i. Prior to building permit issuance, the Applicant shall submit complete off-site civil engineering plans detailing the full scope of frontage improvements along the property frontage at to the satisfaction of the City’s Public Works Department. The defined scope shall include, but is not limited to, new sidewalk, curb, gutter, pavement restoration, and utility upgrades (water, storm, sewer connections) up to the limits of the property frontage. The Applicant shall obtain an Encroachment Permit prior to commencing work within the public right of way and include the follow notes on the front cover of the plans.</li> <li>j. Prior to the building permit issuance, the Applicant shall submit a Hydrology Report, including calculations, substantiating that on-site flows will not exceed existing conditions as a result of the proposed improvements. The Hydrology report will be subject to Engineering Division review and approval.</li> <li>k. Prior to building permit issuance, the Applicant shall submit all applicable Water-Efficient Landscaping Ordinance (WELO) documents for Engineering Division review and approval, if proposed landscaping exceeds 500 sf.</li> <li>l. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the arborist report prepared by Kielty Arborist Services LLC dated October 31, 2018 and January 21, 2019.</li> </ul> <p>4. Approve the use permit subject to the following <b>project-specific</b> condition:</p> <ul style="list-style-type: none"> <li>a. Simultaneous with submittal of a complete building permit application, the applicant shall submit revised plans specifying that Unit 2’s left side fireplace pop-out shall be constructed using cantilevered construction, in order to limit impacts on the adjacent Douglas fir (tree #4). The revised plans shall be subject to review and approval of the Planning Division.</li> </ul>			



City of Menlo Park  
 Location Map  
 908 Menlo Avenue



908 Menlo Avenue – Attachment C: Data Table

	<b>PROPOSED PROJECT</b>	<b>EXISTING PROJECT</b>	<b>ZONING ORDINANCE</b>
Lot area	8,555.0 sf	8,555.0 sf	7,000 sf min.
Lot width	58.0 ft.	58.0 ft.	70 ft. min.
Lot depth	147.5 ft.	147.5 ft.	100 ft. min.
Setbacks			
Front	20.0 ft.	25.1 ft.	20 ft. min.
Rear	15.0 ft.	14.3 ft.	15 ft. min.
Side (left)	10.3 ft.	10.7 ft.	10 ft. min.
Side (right)	10.3 ft.	5.0 ft.	10 ft. min.
Building coverage	2,433.6 sf 28.4 %	2,306.0 sf 27.0 %	2,566.5 sf max. 30.0 % max.
FAR (Floor Area Ratio)	3,814.3 sf 44.6 %	2,760.0 sf 32.7 %	3,849.8 sf max. 45.0 % max.
Landscaping	5,035.4 sf 58.9 %	4,027.0 sf 47.1 %	4,277.5 sf min. 50.0 % min.
Driveways and Open Parking Areas	1,086.1 sf 12.7 %	2,222.0 sf 26.0 %	1,711.0 sf max. 20.0 % max.
Square footage by floor	Front Unit (#1) 959.4 sf/1st 976.0 sf/2nd 223.1 sf/det. gar. 79.1 sf/porch Rear Unit (#2) 883.0 sf/1st 995.9 sf/2nd 217.0 sf/att. gar. 72.0 sf/porch	Front Unit 1,179.0 sf/1st 791.0 sf/2nd Rear Unit 790.0 sf/1st 337.0 sf/carport	
Square footage of buildings	4,405.5 sf	3,097 sf	
Building height	28.1 ft.	24.7 ft.	35 ft. max.
Parking	2 covered, 2 uncovered	1 covered, 3 uncovered	1 covered/1 uncovered per unit
Note: Areas shown highlighted indicate a nonconforming or substandard situation.			

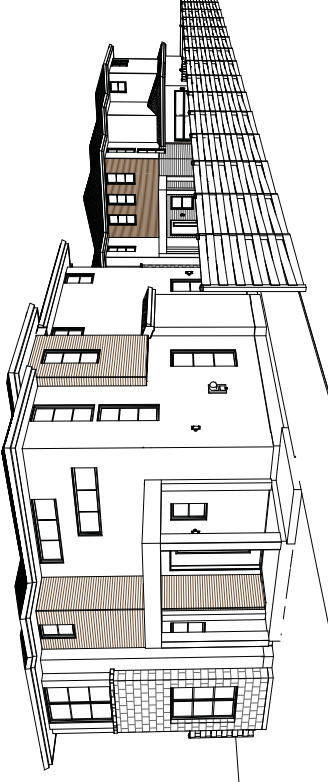
Trees	Heritage trees*	11	Non-Heritage trees*	8	New Trees	4
	Heritage trees proposed for removal	2	Non-Heritage trees proposed for removal	5	Total Number of Trees*	16

\*Includes trees on neighboring properties.



# ATTACHMENT D

- SHEET INDEX**
- A-1 SITE PLAN
  - A-2 AREARIST REPORT
  - A-3 AREA PLAN, STREET SCOPE
  - A-4 EXISTING FLOOR PLAN, ELEVATIONS (FRONT)
  - A-5 EXISTING FLOOR PLAN, ELEVATIONS (REAR)
  - A-6 UNIT #1 SECTIONS
  - A-7 UNIT #2 SECTIONS
  - A-8 UNIT #2 ELEVATIONS
  - A-9 UNIT #2 SECTION, ROOF PLAN
  - A-10 AREA CALCULATIONS
  - L-1 LANDSCAPE PLAN
  - TM-1 TENTATIVE PARCEL MAP
  - TM-2 UNIT #1 FLOOR PLAN
  - TM-3 LAYOUT PLAN
  - TM-4 GRADING & DRAINAGE PLAN
  - TM-5 UTILITY PLAN
  - BMP BEST MANAGEMENT PRACTICES



- REVISIONS**
- | NO. | DATE       | BY  | DESCRIPTION          |
|-----|------------|-----|----------------------|
| 1   | 08/11/2016 | RAH | ISSUED FOR PERMITS   |
| 2   | 08/11/2016 | RAH | REVISIONS TO PERMITS |
| 3   | 08/11/2016 | RAH | REVISIONS TO PERMITS |
| 4   | 08/11/2016 | RAH | REVISIONS TO PERMITS |
| 5   | 08/11/2016 | RAH | REVISIONS TO PERMITS |
| 6   | 08/11/2016 | RAH | REVISIONS TO PERMITS |
| 7   | 08/11/2016 | RAH | REVISIONS TO PERMITS |
| 8   | 08/11/2016 | RAH | REVISIONS TO PERMITS |
| 9   | 08/11/2016 | RAH | REVISIONS TO PERMITS |
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| 11  | 08/11/2016 | RAH | REVISIONS TO PERMITS |
| 12  | 08/11/2016 | RAH | REVISIONS TO PERMITS |
| 13  | 08/11/2016 | RAH | REVISIONS TO PERMITS |
| 14  | 08/11/2016 | RAH | REVISIONS TO PERMITS |
| 15  | 08/11/2016 | RAH | REVISIONS TO PERMITS |
| 16  | 08/11/2016 | RAH | REVISIONS TO PERMITS |
| 17  | 08/11/2016 | RAH | REVISIONS TO PERMITS |
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| 19  | 08/11/2016 | RAH | REVISIONS TO PERMITS |
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| 49  | 08/11/2016 | RAH | REVISIONS TO PERMITS |
| 50  | 08/11/2016 | RAH | REVISIONS TO PERMITS |

## VICINITY MAP

A.P.N.:	071-272-160
ZONING:	R-3
LOT SIZE:	8,656 S.F.
EXISTING FRONT HOUSE:	1,179 S.F.
EXISTING REAR HOUSE:	725 S.F.
CARPORT:	350 S.F.
SHED:	65 S.F.
FIRST FLOOR:	1,969 S.F.
SECOND FLOOR:	790 S.F.
TOTAL:	1,969 S.F.
FIRST FLOOR:	1,979 S.F.
SECOND FLOOR:	986 S.F.
TOTAL:	1,969 S.F.
FIRST FLOOR:	1,969 S.F.
SECOND FLOOR:	225 S.F.
TOTAL:	2,194 S.F.
DETACHED GARAGE:	225 S.F.
ATTACHED GARAGE:	217 S.F.
TOTAL GARAGE:	442 S.F.
PORCHES:	1510 S.F.

DRIVEWAYS ALLOWED:	6,955.20 - 1711.6 F.
PROPOSED:	2,172.25 - 25.3% (PAVED)
LOT COV. ALLOWED:	6,955.20 - 2,566.6 F.
PROPOSED:	2,431 S.F. - 28.4%
F.A.P. ALLOWED:	6,955.46 - 3,049.9 S.F.
PROPOSED:	3,029.49 - 44.3%

FOR IMPERVIOUS SURFACE CALC'S - SEE SHEET C-1

TYPE OF CONSTRUCTION: V8

OCCUPANCY GROUP: R-3, U

THIS PROJECT SHALL COMPLY WITH 2016 CBC, CMC, CMC, CFC, CEC, CFC, CAL GREEN, CAL ENERGY CODE, AND LOCAL ORD.

MR. SEAN AMIRI

908 MENLO AVENUE, MENLO PARK, CA 94025

TWO NEW HOMES FOR:

REVISIONS BY

DATE: 2-22-16

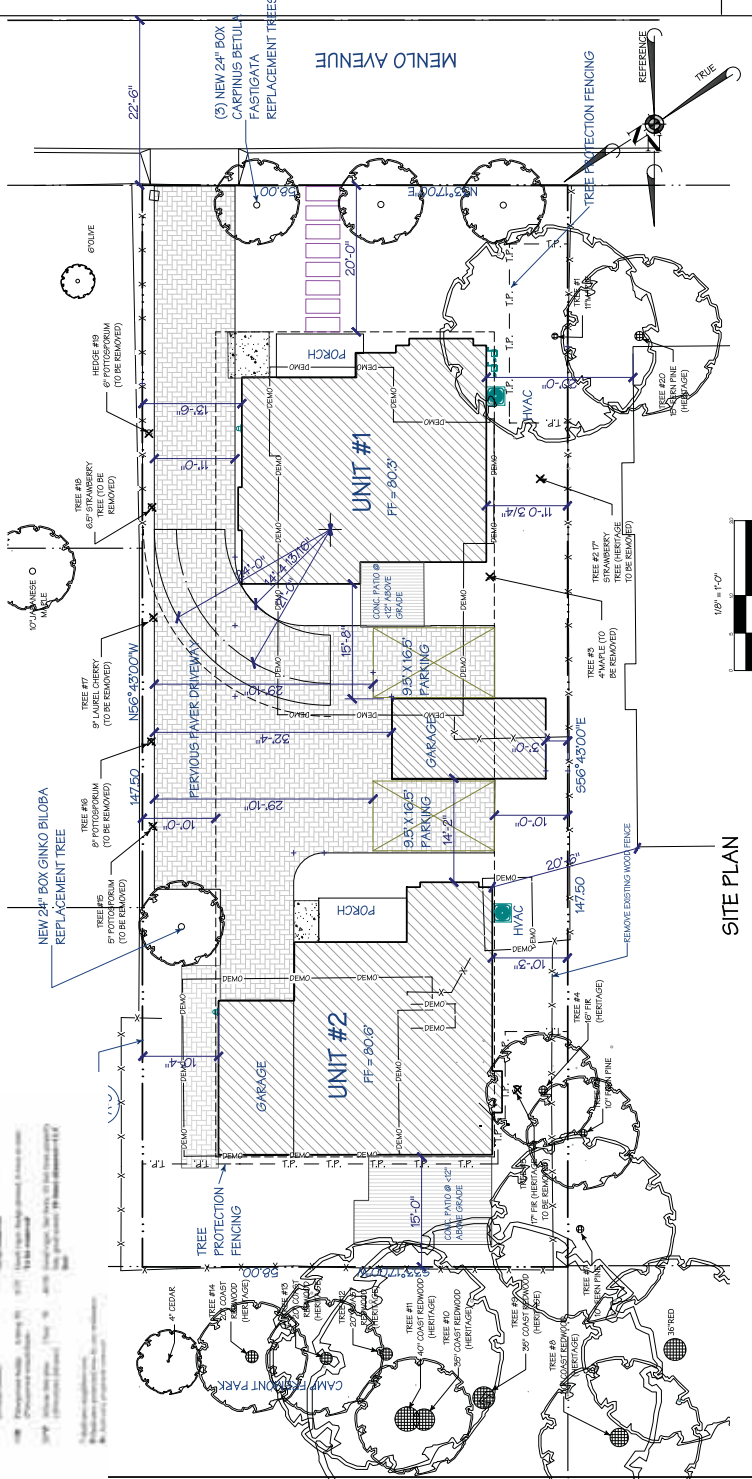
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DRAWN: RAH

JOB: F-0205

SHEET: A-1

OF: 5



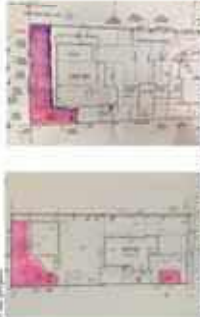
SITE PLAN



1000 (March 1st) 1/13/18  
 recommended mitigation between the property lines and some CE shall not be anticipated by any other impacts to the site.

The impacts to the site are as follows and are not anticipated from utility improvements. All regulated impacts from the project have been analyzed and it is concluded that any other impact to the site will be negligible. The following mitigation measures will help to ensure the health of the proposed site during the proposed construction.

**Tree Retention Plan**  
 Tree retention shall be maintained and established throughout the entire length of the proposed project. All trees shall be retained and established throughout the entire length of the proposed project. All trees shall be retained and established throughout the entire length of the proposed project. All trees shall be retained and established throughout the entire length of the proposed project. All trees shall be retained and established throughout the entire length of the proposed project.



Highlighted area represent areas to be retained by tree retention during boring easements and the proposed utility easement.

1000 (March 1st) 1/13/18  
 Condition of the site shall be maintained and documented. Long-term impact of the proposed project shall be maintained and documented. Long-term impact of the proposed project shall be maintained and documented. Long-term impact of the proposed project shall be maintained and documented.

Any trees to be cut shall be removed and documented. Long-term impact of the proposed project shall be maintained and documented. Long-term impact of the proposed project shall be maintained and documented. Long-term impact of the proposed project shall be maintained and documented.

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Date	2-22-18
Scale	1/4" = 1'-0"
Drawn	RAH
Job	17-0225
Sheet	A-1.3

TWO NEW HOMES FOR:  
 MR. SEAN AMIRI  
 908 MENLO AVENUE, MENLO PARK, CA 94025

HOMETEC  
 ARCHITECTURE, INC.  
 RICHARD A. HARTMAN  
 P.L.L.C.  
 619 NORTH FIRST STREET, SAN JOSE, CA 95112  
 (408) 995-0906  
 http://www.hometec.com

PLANNING	BY
2-25-18	
PLANNING	BY
2-25-18	
PLANNING	BY
2-25-18	
PLANNING	BY
2-25-18	
PLANNING	BY
2-25-18	
PLANNING	BY
2-25-18	

ARBORIST REPORT

Date: 2-22-16  
Scale: 1"=20'-0"  
Drawn: RAH  
Job: F-0225  
Sheet: A-1.5  
of 2  
Sheets

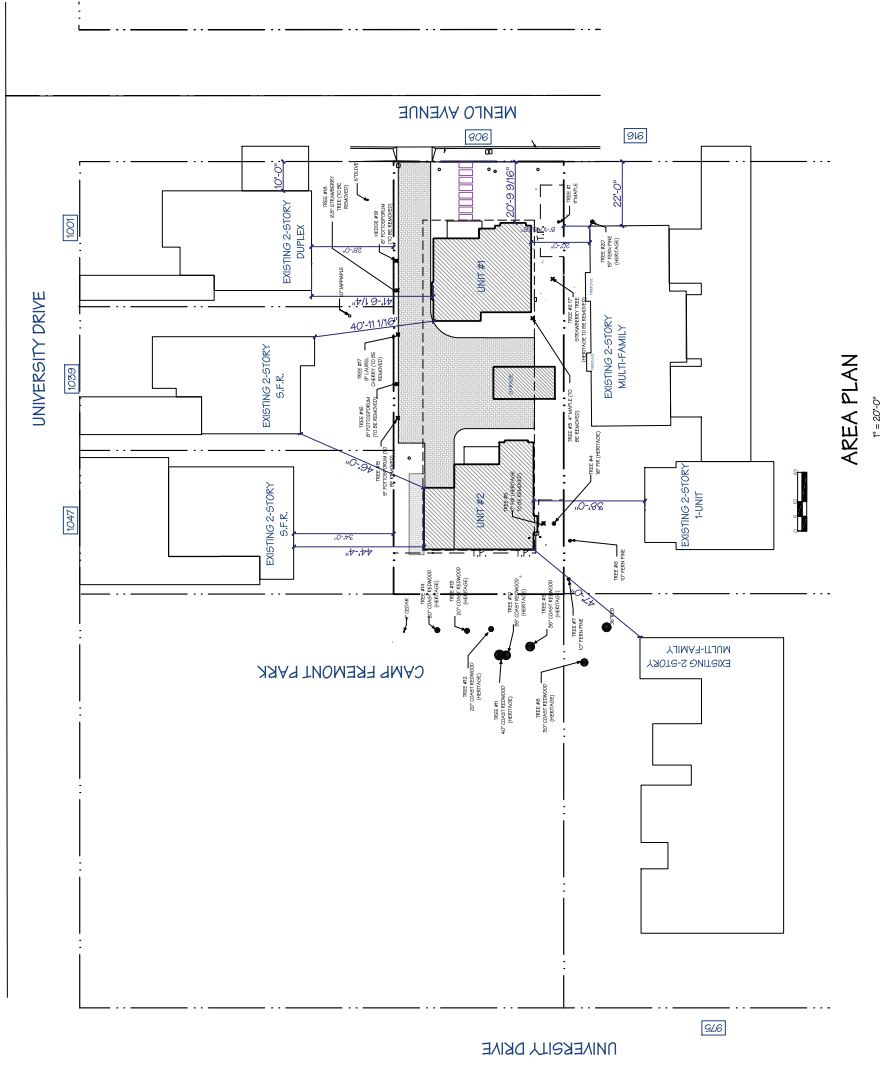
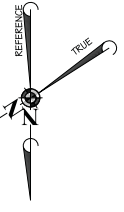
TWO NEW HOMES FOR:  
MR. SEAN AMRI

908 MENLO AVENUE, MENLO PARK, CA 94025

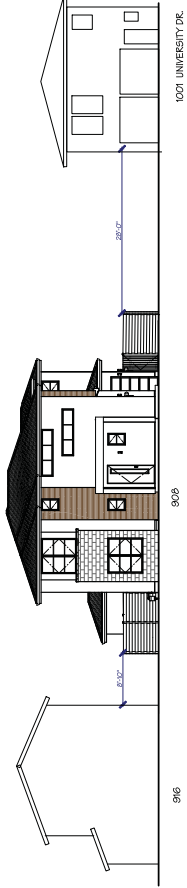
**HOMETEC**  
ARCHITECTURE, INC.  
RICHARD A. HARTMAN  
AIA

619 NORTH FIRST STREET, SAN JOSE, CA 95112  
408-995-9896  
HometecArch@hometec.com

REVISIONS	BY
PLANNING	
5-25-15	
PLANNING	
PLANNING	
8-5-15	
REVISIONS	
11-5-15	
PLANNING	
1-28-16	



AREA PLAN  
1"=20'-0"



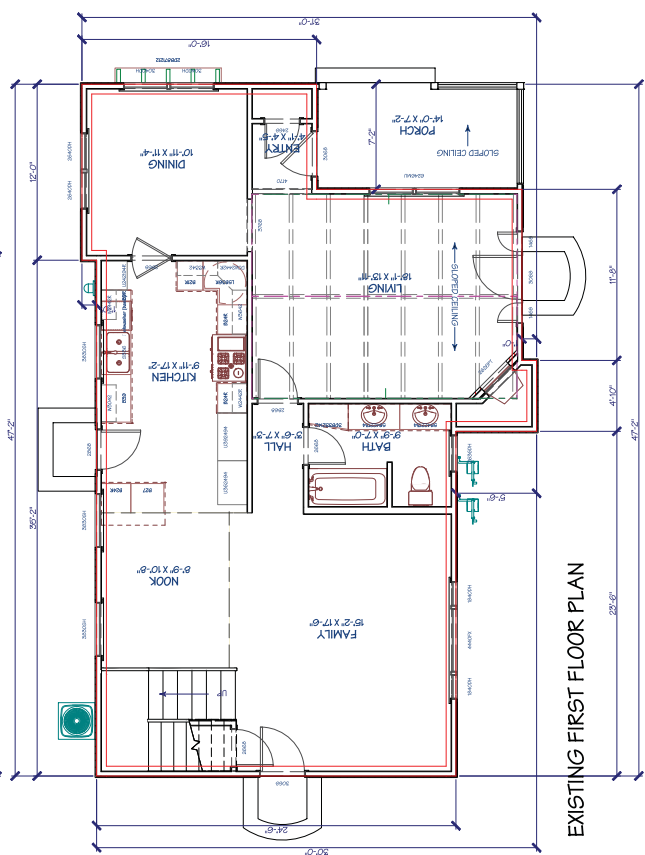
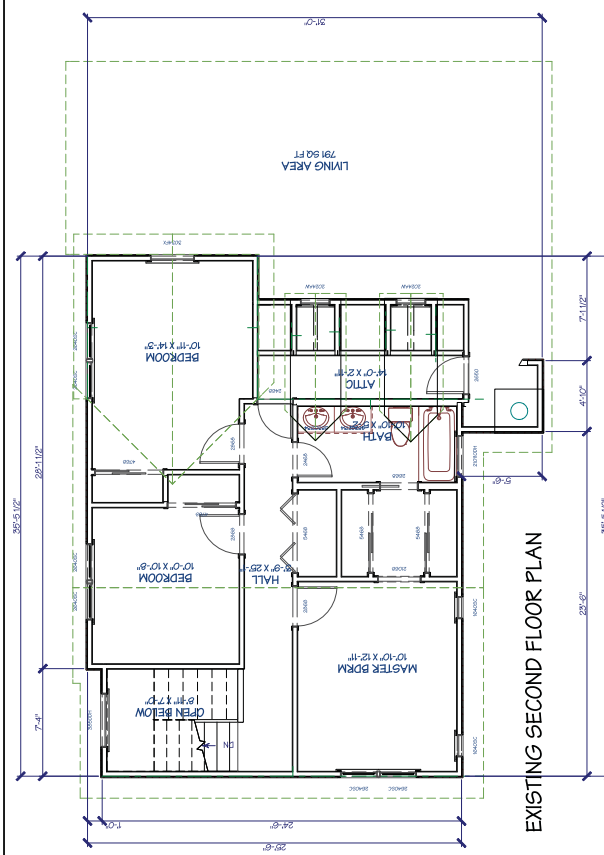
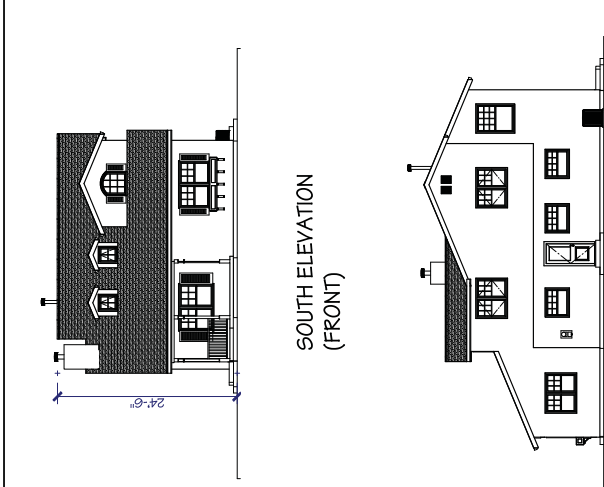
STREET SCAPE

REVISIONS	BY
PLANNING	5-23-15
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REV. CHANGE	6-5-15
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PLANNING	1-20-16
PLANNING	1-20-16

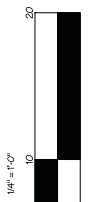
RICHARD A. HARTMAN  
 M.A.  
**HOMETEC**  
 ARCHITECTURE, INC.  
 619 NORTH FIRST STREET, SAN JOSE, CA 95112  
 408-951-4946  
 rhartman@hometec.com

TWO NEW HOMES FOR:  
**MR. SEAN AMIRI**  
 908 MENLO AVENUE, MENLO PARK, CA 94025

Date	2-22-16
Scale	1/4" = 1'-0"
Drawn	RAH
Job	T-0205
Sheet	A-2
of	2



FIRST FLOOR: 1,179 S.F.  
 SECOND FLOOR: 791 S.F.  
 TOTAL HOUSE: 1,970 S.F.

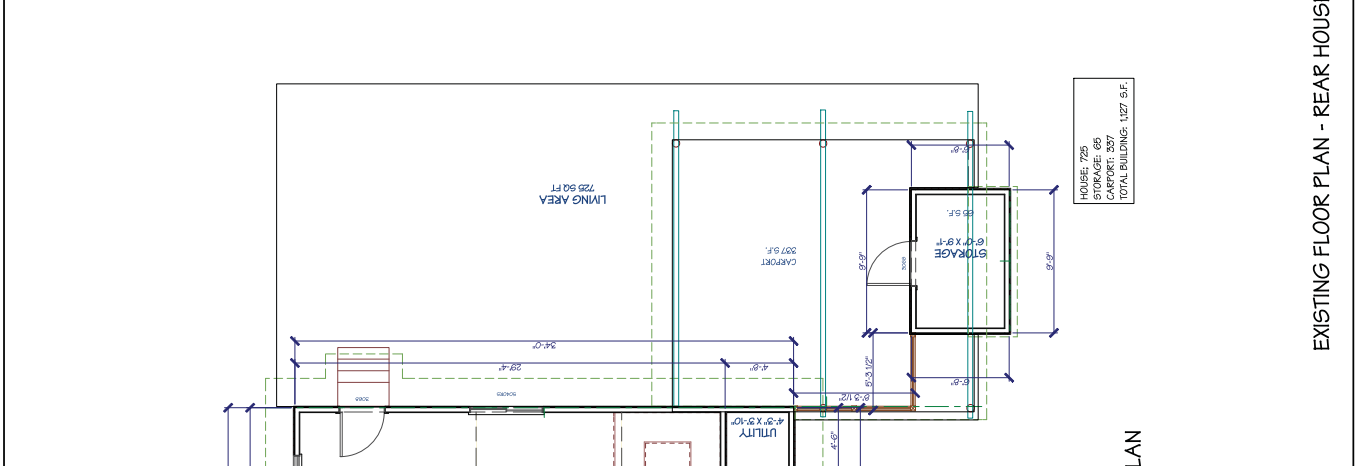
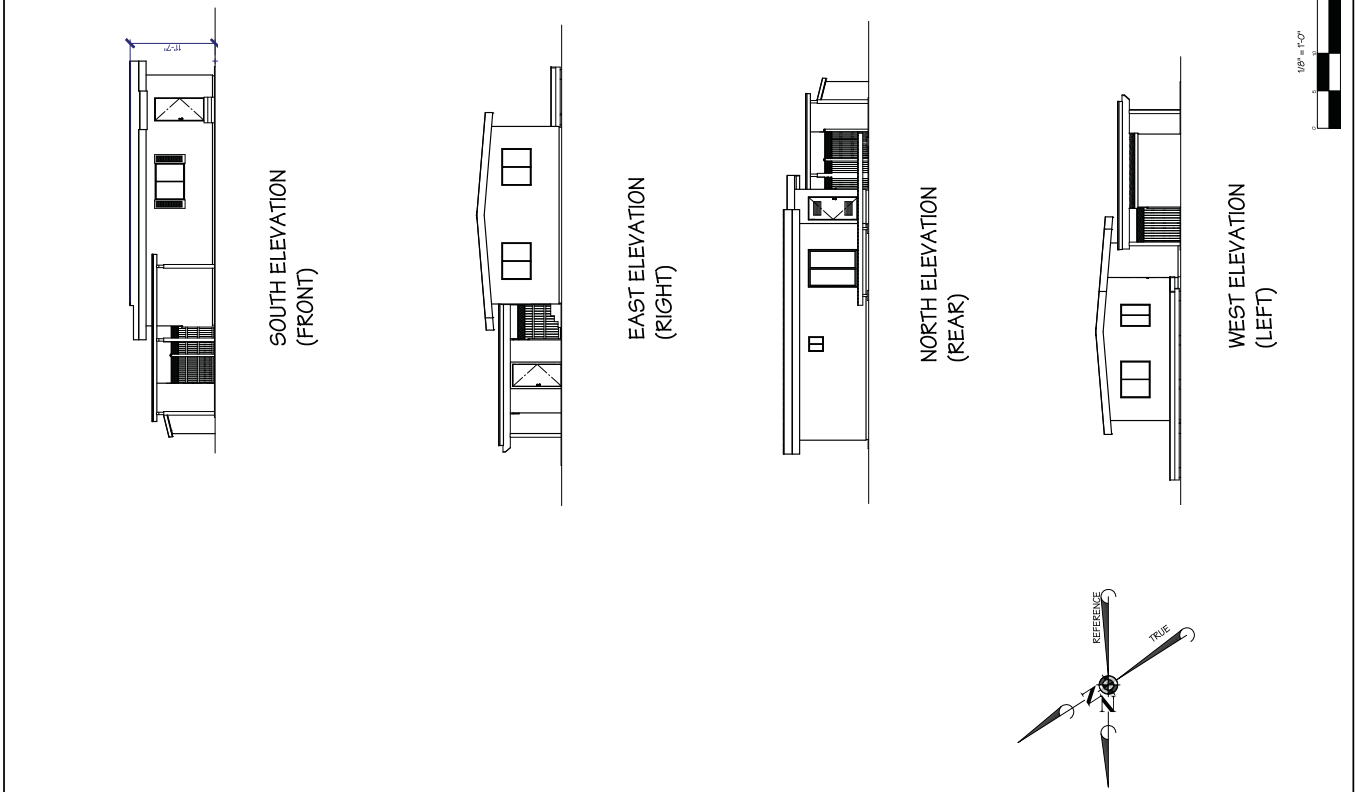


EXISTING FLOOR PLAN - FRONT HOUSE

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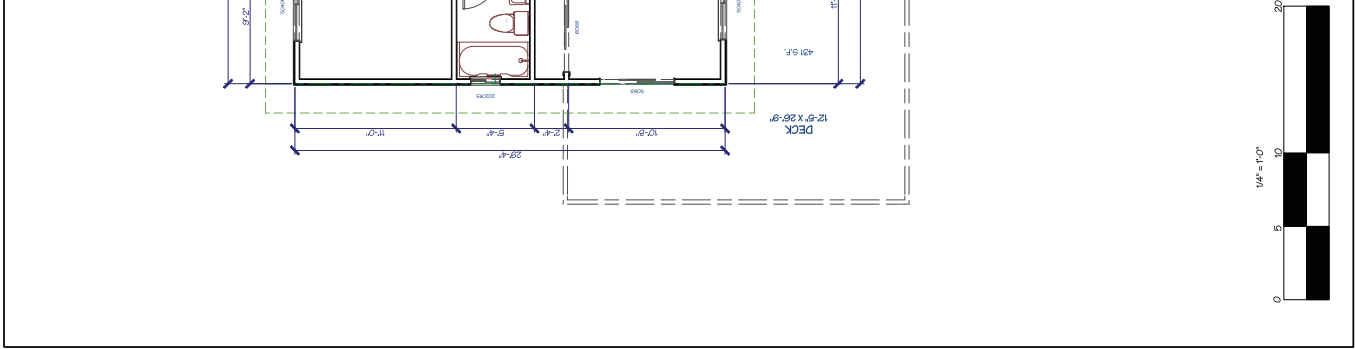
619 NORTH FIRST STREET, SAN JOSE, CA 95112  
 408-991-4986  
**HOMETEC**  
 ARCHITECTURE, INC.  
 RICHARD A. HARTMAN  
 AIA

908 MENLO AVENUE, MENLO PARK, CA 94025  
**MR. SEAN AMIRI**  
 TWO NEW HOMES FOR:  
 Date: 2-22-15  
 Scale: 1/4" = 1'-0"  
 Drawn: RAH  
 Job: F-0205  
 Sheet: A-3  
 of: Sheets



**EXISTING FLOOR PLAN**

HOUSE: 725  
 STORAGE: 65  
 CARPORT: 167  
 TOTAL BUILDING: 1327 S.F.



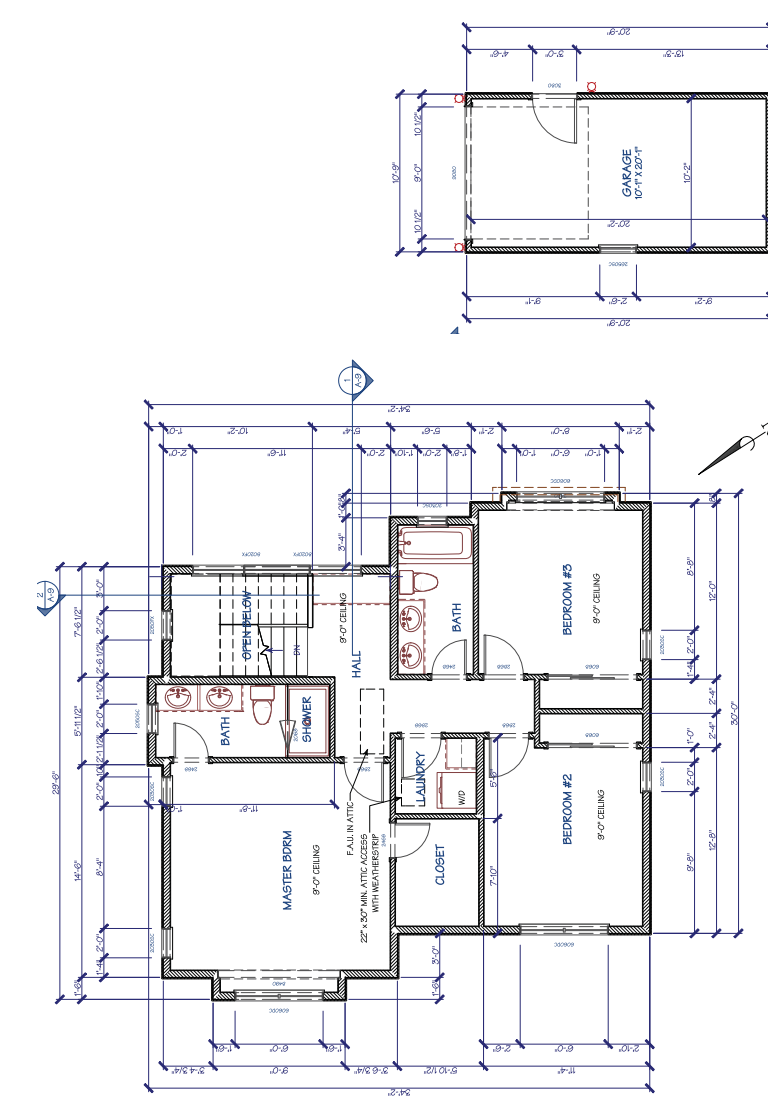
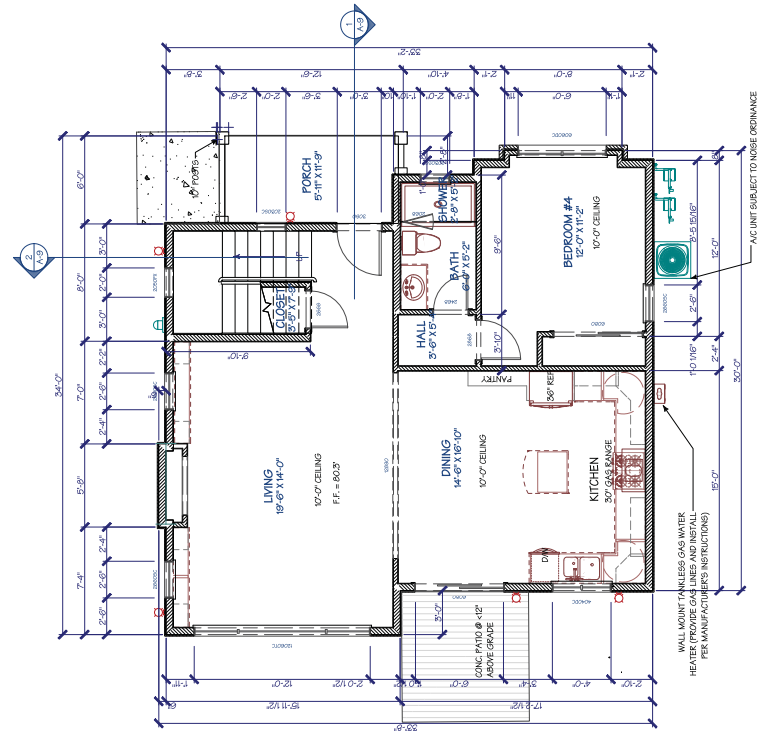
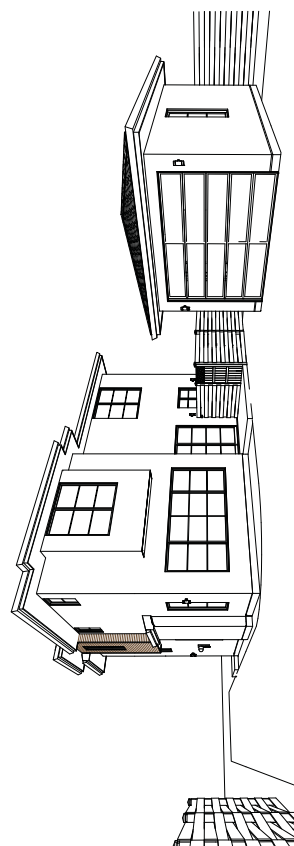
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RICHARD A. HARTMAN  
 ARCHITECTURE, INC.  
 619 NORTH FIRST STREET, SAN JOSE, CA 95112  
 408-951-9498  
 rhartman@rhaa.com

**HOMETEC**  
 ARCHITECTURE, INC.  
 908 MENLO AVENUE, MENLO PARK, CA 94025

TWO NEW HOMES FOR:  
**MR. SEAN AMRI**

Date: 2-22-15  
 Scale: 1/4" = 1'-0"  
 Drawn: RAH  
 Job: F7025  
 Sheet: F7025  
 A-4  
 of Sheets



FIRST FLOOR PLAN  
 SECOND FLOOR PLAN  
 LIVING AREA 870.50 FT.  
 SCALE: 1/4" = 1'-0"  
 REFERENCE  
 TRUE

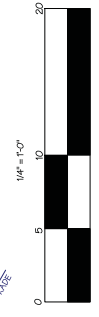
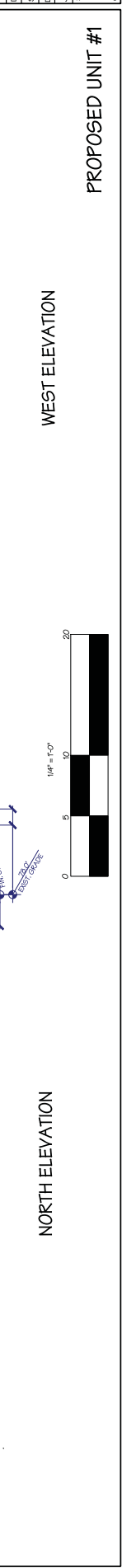
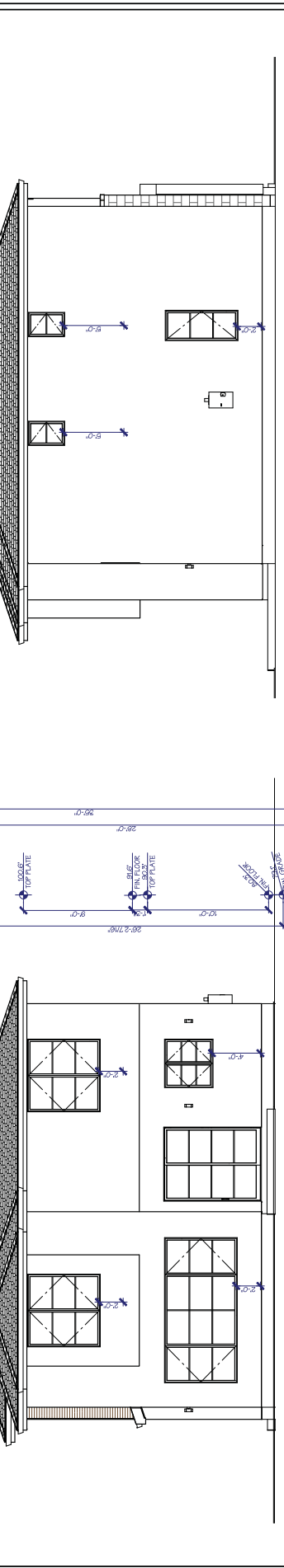
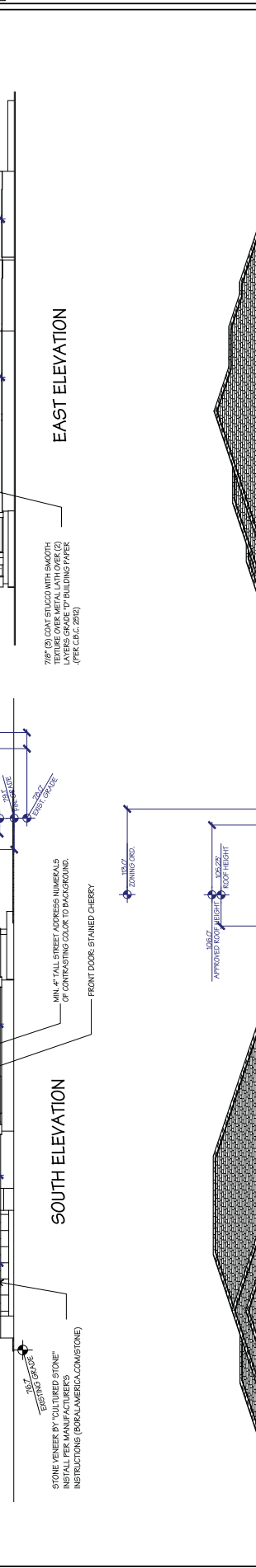
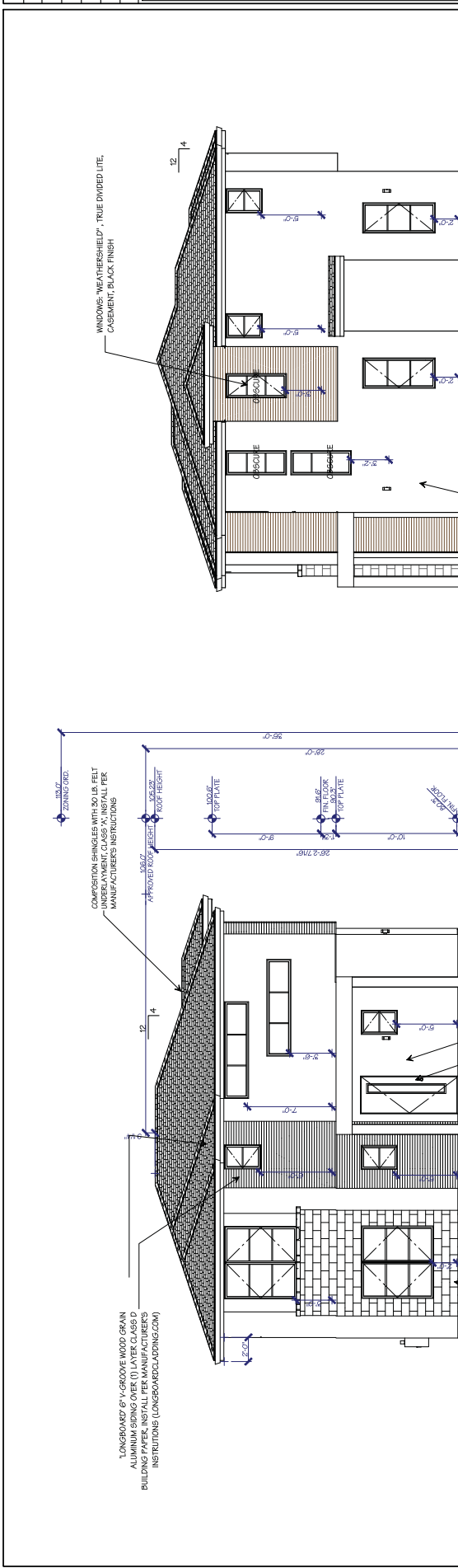
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PLANNING	8-25-19

RICHARD A. HARTMAN  
 ARCHITECTURE, INC.  
 619 NORTH FIRST STREET, SAN JOSE, CA 95112  
 408-951-9496  
 rhartman@rchartman.com

**HOMETEC**  
 ARCHITECTURE, INC.  
 M.A.  
 908 MENLO AVENUE, MENLO PARK, CA 94025

TWO NEW HOMES FOR:  
**MR. SEAN AMIRI**  
 908 MENLO AVENUE, MENLO PARK, CA 94025

Date	2-22-19
Scale	1/4" = 1'-0"
Drawn	RAH
Job	T-0225
Sheet	A-5
of	Sheets



PROPOSED UNIT #1



REVISIONS	BY
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PLANNING	2-22-18

**HOMETEC**  
 ARCHITECTURE, INC.  
 RICHARD V. HARTMAN  
 AIA  
 408-991-9496  
 hometecarchitect.com  
 619 NORTH FIRST STREET, SAN JOSE, CA 95112

TWO NEW HOMES FOR:  
**MR. SEAN AMIRI**  
 908 MENLO AVENUE, MENLO PARK, CA 94025

Date	2-22-18
Scale	1/4" = 1'-0"
Drawn	RAH
Job	T-0225
Sheet	A-6
of	Sheets

### WEST ELEVATION

TYPICAL AT ALL SIDES

### SOUTH ELEVATION

TYPICAL AT ALL SIDES

COMPOSITION SHINGLES WITH 2018 FELT UNDERLAYMENT, CLASS 7X, INSTALL PER MANUFACTURER'S INSTRUCTIONS

### EAST ELEVATION

TYPICAL AT ALL SIDES

GARAGE DOOR: STAINED CHERRY

### NORTH ELEVATION

WINDOWS: WEATHERSHIELD, CEMENT-BLOCK FINISH

### ① SECTION

APPROVED ROOF HEIGHT: 10'-0" AT FIN. FLOOR LEVEL

APPROVED ROOF HEIGHT: 10'-0" AT FIN. FLOOR LEVEL

APPROVED ROOF HEIGHT: 10'-0" AT FIN. FLOOR LEVEL

APPROVED ROOF HEIGHT: 10'-0" AT FIN. FLOOR LEVEL

APPROVED ROOF HEIGHT: 10'-0" AT FIN. FLOOR LEVEL

APPROVED ROOF HEIGHT: 10'-0" AT FIN. FLOOR LEVEL

APPROVED ROOF HEIGHT: 10'-0" AT FIN. FLOOR LEVEL

APPROVED ROOF HEIGHT: 10'-0" AT FIN. FLOOR LEVEL

APPROVED ROOF HEIGHT: 10'-0" AT FIN. FLOOR LEVEL

APPROVED ROOF HEIGHT: 10'-0" AT FIN. FLOOR LEVEL

APPROVED ROOF HEIGHT: 10'-0" AT FIN. FLOOR LEVEL

APPROVED ROOF HEIGHT: 10'-0" AT FIN. FLOOR LEVEL

APPROVED ROOF HEIGHT: 10'-0" AT FIN. FLOOR LEVEL

### ② SECTION

APPROVED ROOF HEIGHT: 10'-0" AT FIN. FLOOR LEVEL

APPROVED ROOF HEIGHT: 10'-0" AT FIN. FLOOR LEVEL

APPROVED ROOF HEIGHT: 10'-0" AT FIN. FLOOR LEVEL

APPROVED ROOF HEIGHT: 10'-0" AT FIN. FLOOR LEVEL

APPROVED ROOF HEIGHT: 10'-0" AT FIN. FLOOR LEVEL

APPROVED ROOF HEIGHT: 10'-0" AT FIN. FLOOR LEVEL

APPROVED ROOF HEIGHT: 10'-0" AT FIN. FLOOR LEVEL

APPROVED ROOF HEIGHT: 10'-0" AT FIN. FLOOR LEVEL

APPROVED ROOF HEIGHT: 10'-0" AT FIN. FLOOR LEVEL

APPROVED ROOF HEIGHT: 10'-0" AT FIN. FLOOR LEVEL

APPROVED ROOF HEIGHT: 10'-0" AT FIN. FLOOR LEVEL

APPROVED ROOF HEIGHT: 10'-0" AT FIN. FLOOR LEVEL

1/4" = 1'-0"

PROPOSED UNIT #1

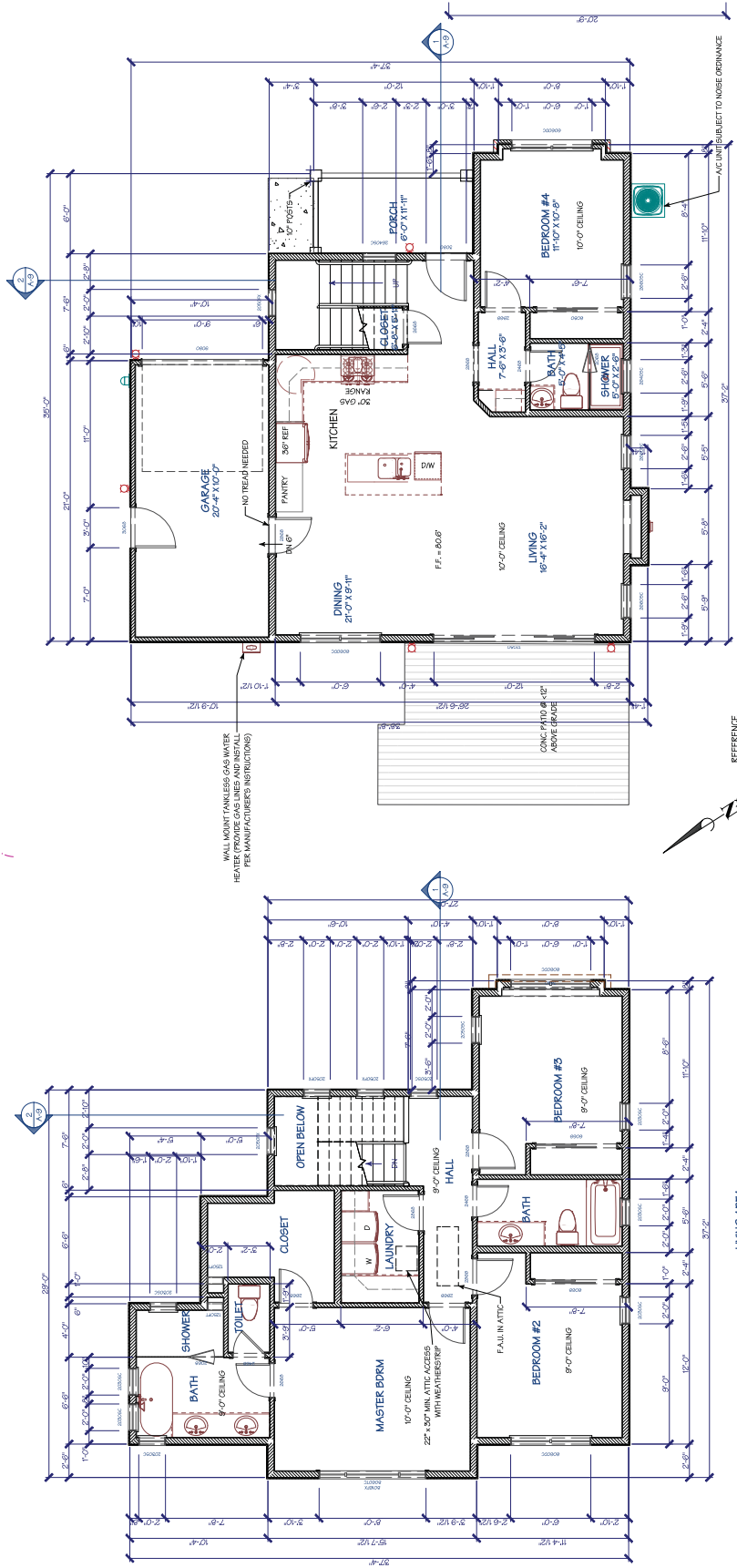
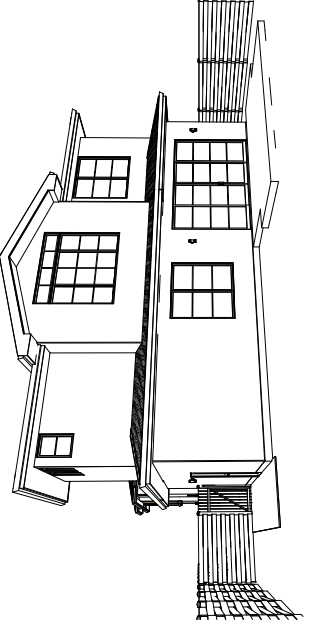
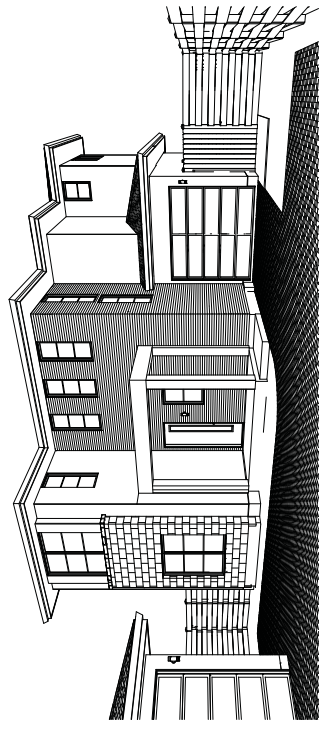
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PLANNING	5-22-15
PLANNING	5-22-15
PLANNING	5-22-15
PLANNING	5-22-15
PLANNING	5-22-15
PLANNING	5-22-15

**HOMETEC**  
 ARCHITECTURE, INC.  
 RICHARD A. HARTMAN  
 P.L.L.C.  
 619 NORTH FIRST STREET, SAN JOSE, CA 95112  
 (408) 991-9898  
 HomeTech@earthlink.com

TWO NEW HOMES FOR:  
**MR. SEAN AMIRI**  
 908 MENLO AVENUE, MENLO PARK, CA 94025

Date	2-22-15
Scale	1/4" = 1'-0"
Drawn	RAH
Job	17-0265
Sheet	
of	

**PROPOSED UNIT #2**



**FIRST FLOOR PLAN**

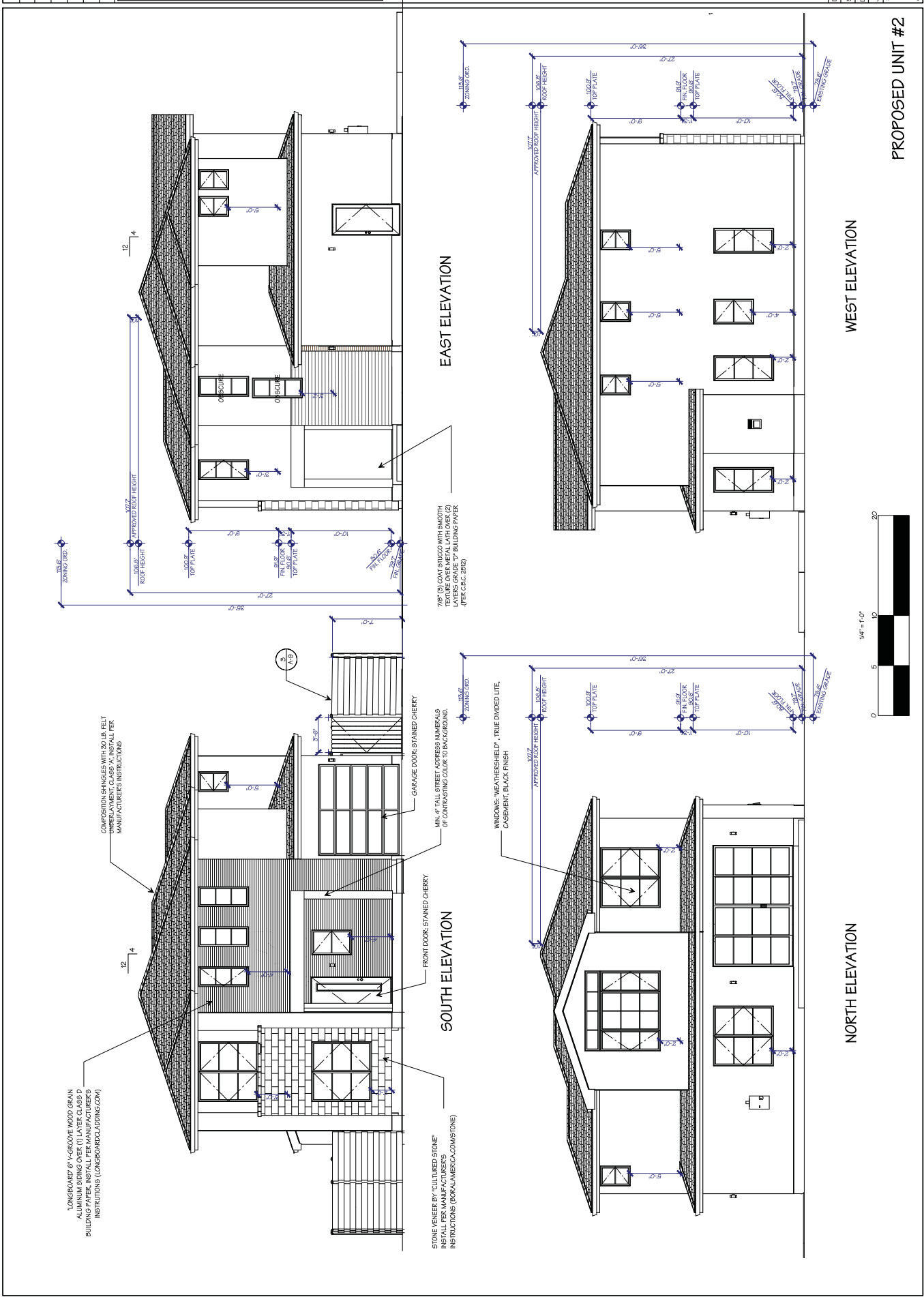
**SECOND FLOOR PLAN**

REVISIONS	BY
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5-25-19	
PLANNING	
5-25-19	
PLANNING	
5-25-19	
PLANNING	
5-25-19	
PLANNING	
5-25-19	
PLANNING	
5-25-19	
PLANNING	
5-25-19	

**HOMETEC**  
 ARCHITECTURE, INC.  
 RICHARD A. HARTMAN  
 F.L.A.  
 408-951-9498  
 rhartman@hometec.com  
 619 NORTH FIRST STREET, SAN JOSE, CA 95112

TWO NEW HOMES FOR:  
**MR. SEAN AMIRI**  
 908 MENLO AVENUE, MENLO PARK, CA 94025

Date	2-22-19
Scale	1/4" = 1'-0"
Drawn	RAH
Job	TJ-0225
Sheet	
A-8	
of Sheets	



PROPOSED UNIT #2

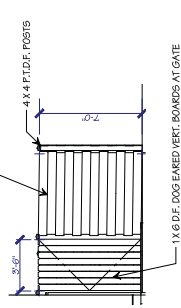
REVISIONS	BY
PLANNING	2-25-15
PLANNING	3-25-15
PLANNING	4-25-15
PLANNING	5-25-15
PLANNING	6-25-15
REV. CHANGE	7-25-15
REV. CHANGE	8-25-15
PLANNING	9-25-15
PLANNING	10-25-15
PLANNING	11-25-15
PLANNING	12-25-15

RICHARD A. HARTMAN  
 AIA  
 HOMETEC  
 ARCHITECTURE, INC.  
 619 NORTH FIRST STREET, SAN JOSE, CA 95112  
 408-951-9496  
 rhartman@hometec.com

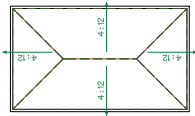
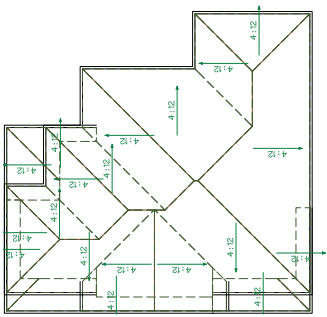
TWO NEW HOMES FOR:  
 MR. SEAN AMIRI  
 909 MENLO AVENUE, MENLO PARK, CA 94025

Date	2-25-15
Scale	1/4" = 1'-0"
Drawn	RAH
Job	T-0205
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of	9

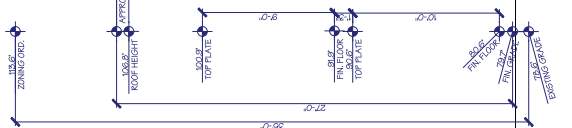
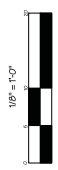
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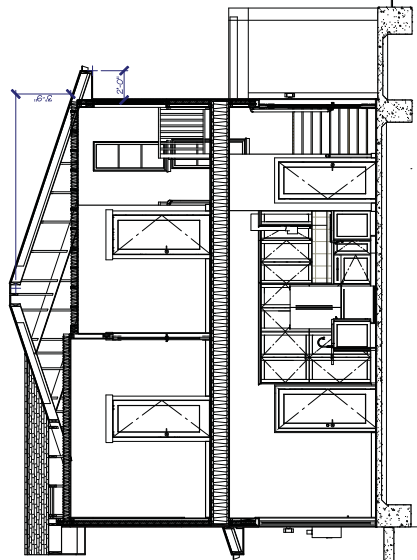
3 WOOD FENCE & GATE



ROOF PLANS  
1/8" = 1'-0"



2 SECTION



1 SECTION

REVISIONS	BY
PLANNING	3-25-15
PLANNING	3-25-15
PLANNING	3-25-15
PLANNING	3-25-15
PLANNING	3-25-15
PLANNING	3-25-15
PLANNING	3-25-15
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PLANNING	3-25-15

619 NORTH FIRST STREET, SAN JOSE, CA 95112  
 408-951-9496  
 Home@hometec.com

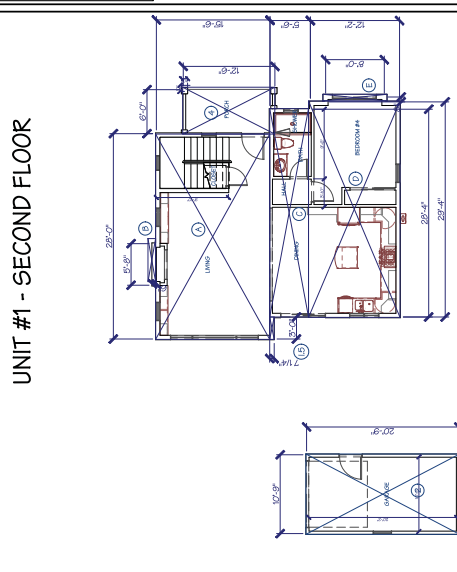
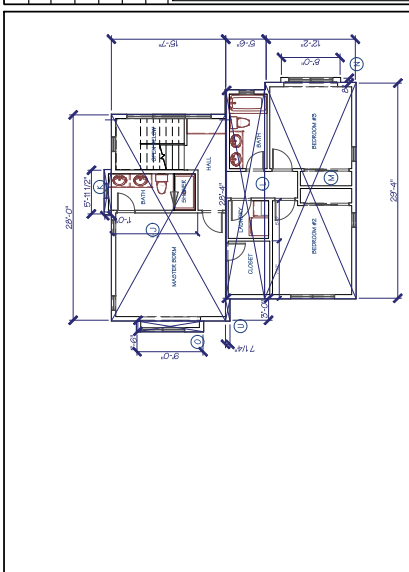
**HOMETEC**  
 ARCHITECTURE, INC.  
 M.A.

RICHARD A. HARTMAN

908 MENLO AVENUE, MENLO PARK, CA 94025

**MR. SEAN AMRI**  
 TWO NEW HOMES FOR:

Date: 2-25-15  
 Scale: 1/8" = 1'-0"  
 Drawn: RAH  
 Job: F-025  
 Sheet: A-10  
 of 10



1st FLOOR G.F.A. CALCULATION

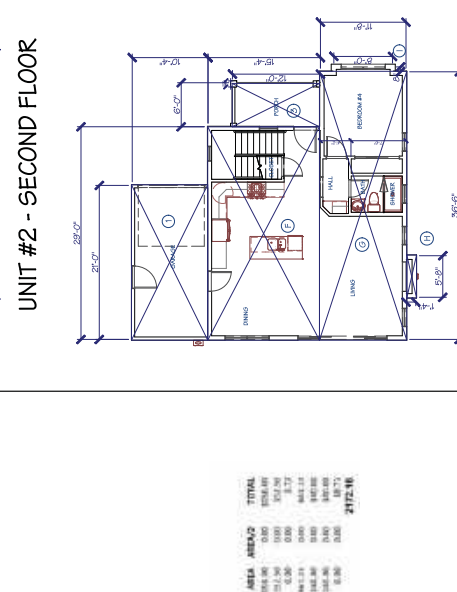
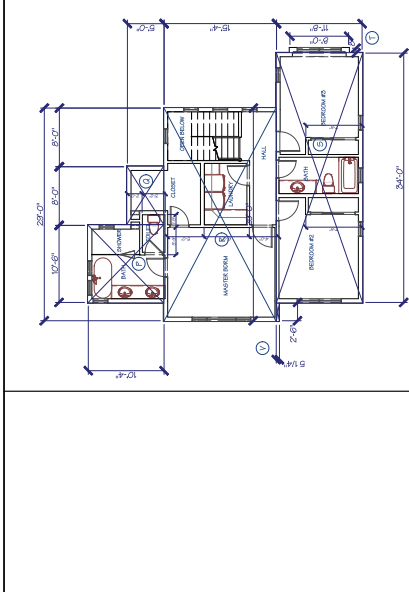
SPACE	DIM	AREA	TOTAL
LIVING	15'-0" x 15'-0"	225.00	225.00
DINING	11'-0" x 11'-0"	121.00	346.00
KITCHEN	11'-0" x 11'-0"	121.00	467.00
BREAKFAST ROOM	7'-0" x 7'-0"	49.00	516.00
BEDROOM #1	11'-0" x 11'-0"	121.00	637.00
BEDROOM #2	11'-0" x 11'-0"	121.00	758.00
BATH	5'-0" x 7'-0"	35.00	793.00
HALL	4'-0" x 4'-0"	16.00	809.00
CLOSET	4'-0" x 4'-0"	16.00	825.00
PORCH	8'-0" x 8'-0"	64.00	889.00
GARAGE	12'-0" x 12'-0"	144.00	1033.00
LANDSCAPE	12'-0" x 12'-0"	144.00	1177.00
<b>GRAND TOTAL</b>			<b>1,177.00</b>

2nd FLOOR G.F.A. CALCULATION

SPACE	DIM	AREA	TOTAL
BEDROOM #1	11'-0" x 11'-0"	121.00	121.00
BEDROOM #2	11'-0" x 11'-0"	121.00	242.00
BATH	5'-0" x 7'-0"	35.00	277.00
HALL	4'-0" x 4'-0"	16.00	293.00
CLOSET	4'-0" x 4'-0"	16.00	309.00
PORCH	8'-0" x 8'-0"	64.00	373.00
GARAGE	12'-0" x 12'-0"	144.00	517.00
LANDSCAPE	12'-0" x 12'-0"	144.00	661.00
<b>GRAND TOTAL</b>			<b>1,661.00</b>

LETTERED SPACES = HABITABLE AREA  
 NUMBERED SPACES = NON-HABITABLE AREA

1st FLOOR = 1,042.35  
 2nd FLOOR = 1,977.82  
**TOTAL = 2,994.17 S.F.**



1st FLOOR G.F.A. CALCULATION

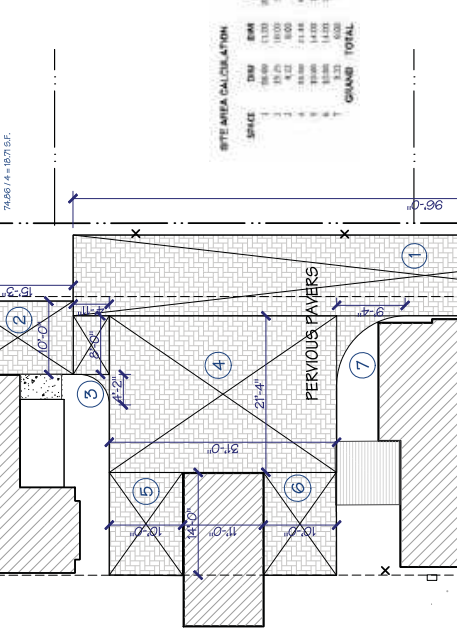
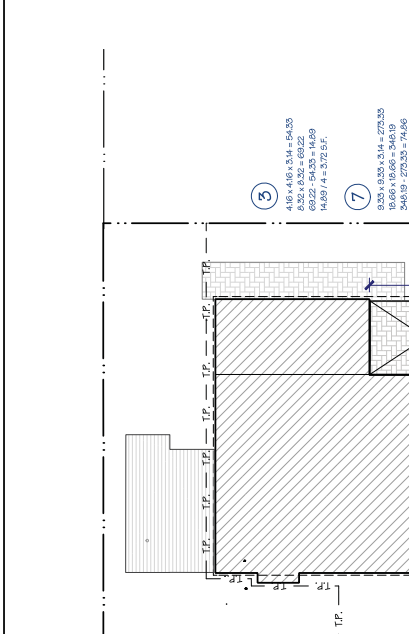
SPACE	DIM	AREA	TOTAL
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KITCHEN	11'-0" x 11'-0"	121.00	467.00
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<b>GRAND TOTAL</b>			<b>1,177.00</b>

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1st FLOOR = 1,042.35  
 2nd FLOOR = 1,977.82  
**TOTAL = 2,994.17 S.F.**

REVISIONS	BY
4/2/18	MY
6/20/18	MY
8/21/18	MY
11/14/18	MY
1/14/19	MY

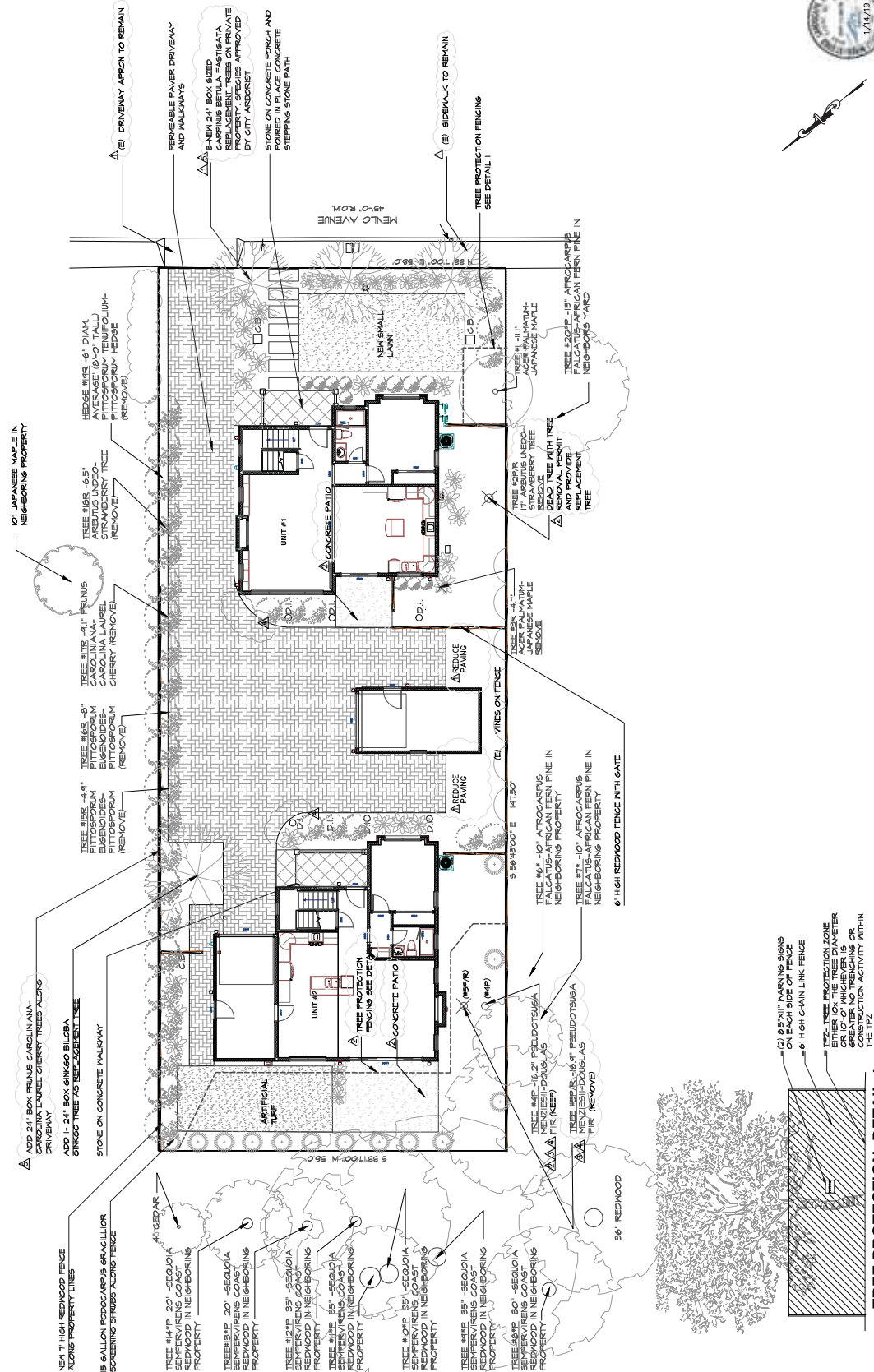


PRELIMINARY LANDSCAPE PLAN

TWO NEW HOMES FOR:  
**MT. SEAN AMIRI**  
 908 MENDO AVE  
 MENLO PARK, CA 94025

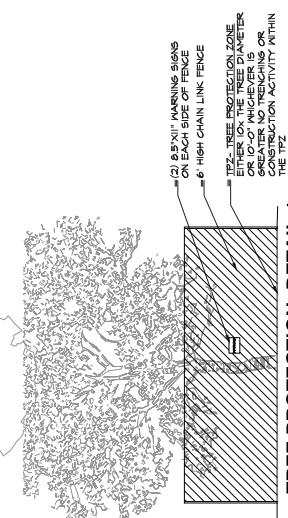
APR. 07:52:150
DRAWN BY
CHECKED BY
DATE
SCALE
JOB NO.
SHEET

L-1  
 OF SHEETS



PRELIMINARY LANDSCAPE PLAN

TREE PROTECTION DETAIL-1





VICINITY MAP

PROPERTY OWNER / APPLICANT  
 THE CITY OF MENLO PARK  
 DISTRICT: PUBLIC WORKS DEPARTMENT  
 PROJECT: PARKING LOT #100

- EXISTING LOT  
AREA = 1,000 SQ. FT.
- UNIT 1  
AREA = 1,000 SQ. FT.
- GARAGE UNIT 1  
AREA = 1,000 SQ. FT.
- PORCH UNIT 1  
AREA = 1,000 SQ. FT.
- UNIT 2  
AREA = 1,000 SQ. FT.
- PORCH UNIT 2  
AREA = 1,000 SQ. FT.
- COMMON AREA  
AREA = 1,000 SQ. FT.

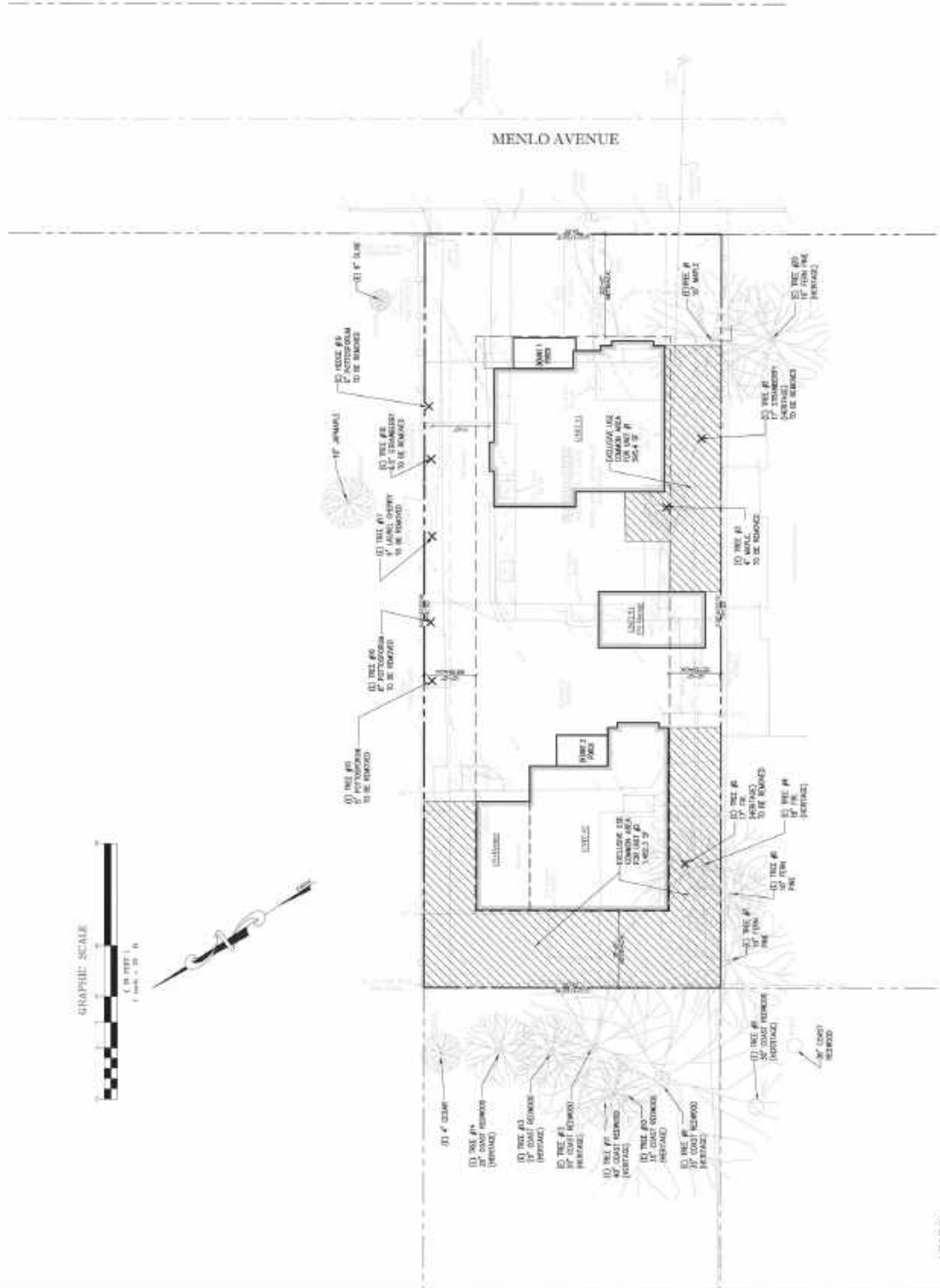
FOR REFERENCE ONLY  
 TENTATIVE PARCEL MAP  
 FOR CONDOMINIUM PURPOSES

LANDS OF AMPS  
 BEING A PORTION OF LOTS 14, 8, 10, AS DESIGNATED UPON  
 THE MAP ENTITLED, "STANFORD ANNEX",  
 AS RECORDED IN SAN MATEO COUNTY,  
 VOLUME 9 OF MAPS AT PAGE 8  
 ASSessor'S PARCEL NUMBER: 071-272-210  
 A.I.A. 308 MENLO AVENUE, MENLO PARK

SCALE: 1" = 10'  
 RECORDING DATE: DECEMBER 7, 2010



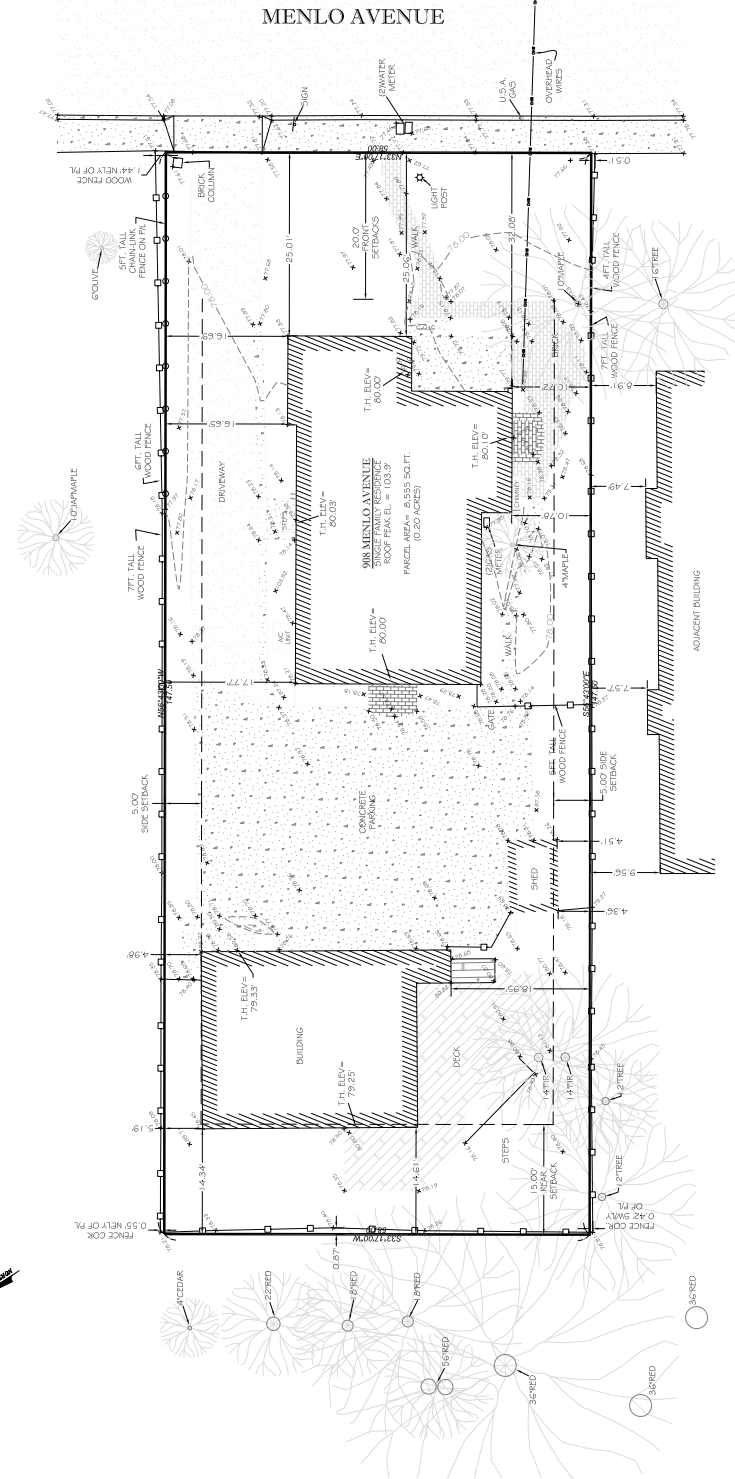
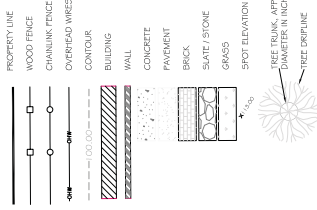
TM-1



- LEGEND**
- PROPOSED CONSTRUCTION (SEE HOOD)
  - EXISTING CONSTRUCTION
  - FIRE ALARMS
  - TELEPHONE
  - CABLE
  - SANITARY SEWER
  - WATER
  - GAS AND ELECTRIC
  - GARAGE
  - TELEPHONE
  - WATER
  - SANITARY SEWER
  - CABLE
  - FIRE



LEGEND:

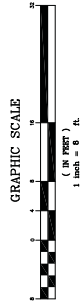


SURVEYOR'S CERTIFICATE

I, KAGE A. PLOUFF, CERTIFY THAT I AM LICENSED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF CALIFORNIA (REG. NO. 9013). I HAVE PERSONALLY CONDUCTED A FIELD SURVEY OF THE PARCELS BOUNDARY WAS PLACED ON A FIELD SURVEY IN CONFORMANCE WITH THE LAND SURVEYING ACT AND ALL APPLICABLE RULES AND REGULATIONS. I HAVE PERSONALLY CONDUCTED AND SUPERVISED THE SURVEY TO BE RETRACED.

SURVEYOR'S NOTES

1. 77 FT. BRICK WALKWAY TO EXTEND 77.85 FT. (NAD83), BRASS DISK SET IN BUILDING FOUNDATION NEAR NORTHWEST CORNER OF INTERSECTION OF EL CAMINO RD & SANTA CRUZ AVE.
2. ONLY TREES 6" AND ABOVE WERE LOCATED ON THIS SURVEY. SMALLER TREES AND SHRUBS ARE NOT SHOWN.
3. DIMENSIONS SHOWN HEREON ARE EXPRESSED IN FEET AND DECIMALS THEREOF.



LEGAL DESCRIPTION

PORTIONS OF LOTS 14 & 15 AS SHOWN ON MAP OF STANFORD AREA AS RECORDED IN VOL. 9 PG. 3 OF SAN MATEO COUNTY RECORDS.





**PAD GRADE NOTES**  
 1. CONTRACTOR SHALL VERIFY PAD GRADE FROM APPROVED FINISH FLOOR SHOW WITH APPROVED STRUCTURAL SECTIONS SHOWN ON THE STRUCTURAL PLANS.  
 2. CURRENT PLANS NOTE THAT THE PAD GRADES FOR THE GARAGES ARE TO BE THICKER THAN THE OTHER BUILDING AREAS.

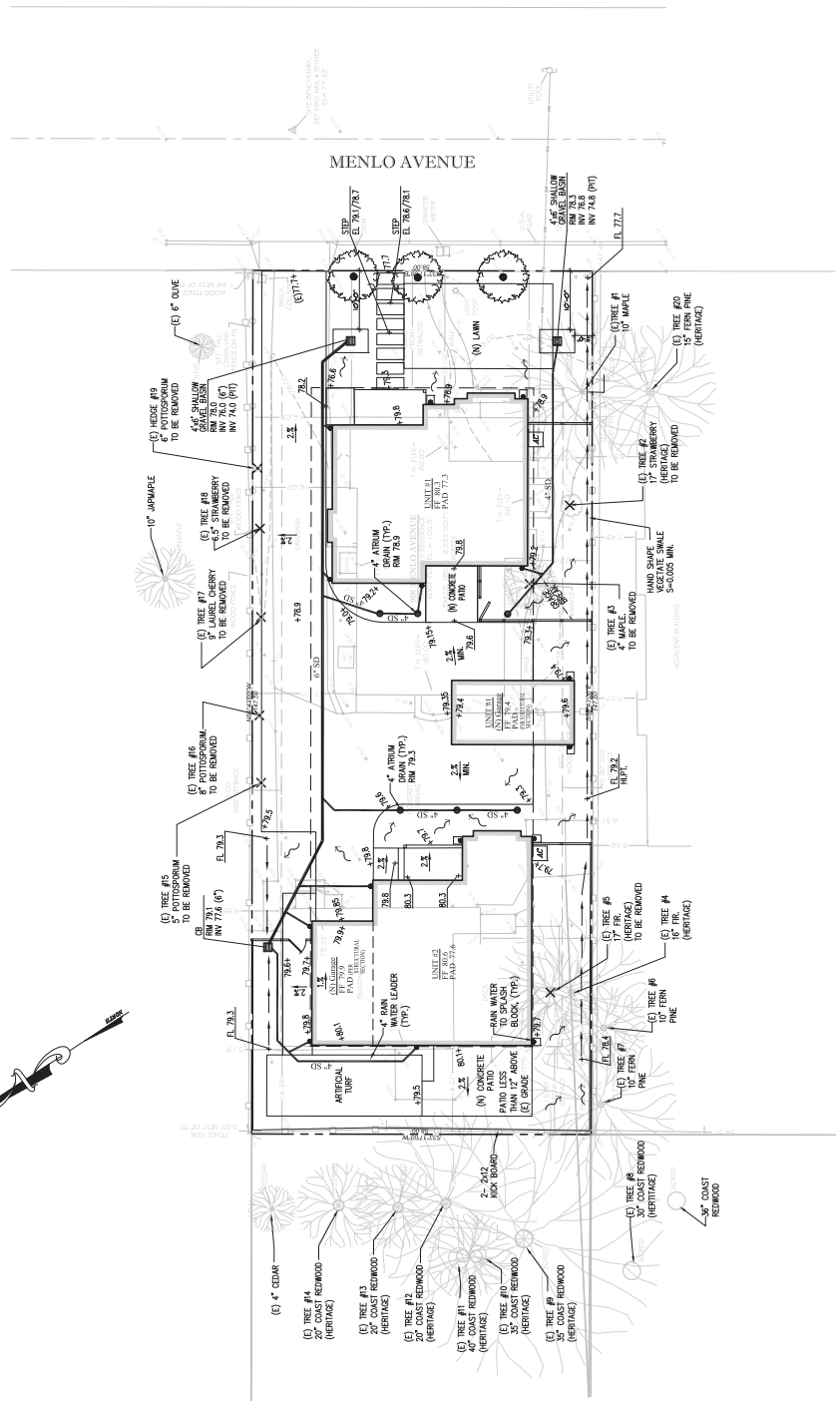
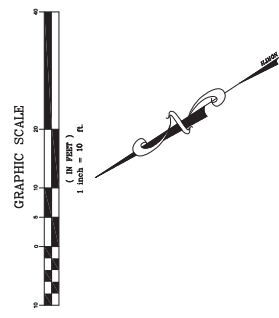
**EARTH WORK QUANTITIES**

CUT	0 CUBIC YARDS
FILL	0 CUBIC YARDS
TOTAL	0 CUBIC YARDS (IMPORT)

QUANTITIES HAVE BEEN PROVIDED FOR PLANNING PURPOSES. CONTRACTOR SHALL VERIFY QUANTITIES FOR BIDDING PURPOSES.

**LEGEND/ABBREVIATIONS**

---	6" FIBRE OR FIBER ROLL
-101.8	SPOT SHOT (PROPOSED GRADE)
AD	AREA DRAIN
CB	CATCH BASIN
FM	FORCE MAIN
FL	FLOOR LINE
FKO	FOUNDATION CLEAN OUT
RWL	RAIN WATER LEADER
PD	PATIO DRAIN
MIN.	MINIMUM
INV	INVERT
SD	STORM DRAIN PIPE
SEE UTILITY NOTE 4-C-00	SEE UTILITY NOTE 4-C-00
SKCO	SUB-DRAIN CLEANOUT
TW	TOP OF WALL
BM	BOTTOM OF WALL
EXISTING	EXISTING
(E)	GENERAL DRAINAGE FLOW DIRECTION
4" SD	4" STORM DRAIN PIPE
8" CONCRETE SPLASH BLOCK	8" CONCRETE SPLASH BLOCK
---	PROPERTY LINE
---	NEIGHBORING PROPERTY LINE
---	TREE PROTECTION
---	SURFACE FLOW DIRECTION



**PRELIMINARY GRADING AND DRAINAGE PLAN**  
 1"=10'-0"

SEE GENERAL NOTES ON SHEET C-1 AND UTILITY NOTES ON C-3

ALL UTILITIES SHALL BE PLACED UNDERGROUND AND DESIGNS SHALL BE SUBJECT TO APPROVAL AND ALL CITY, COUNTY, AND STATE CODE STANDARDS.

- SEWER CONSTRUCTION IMPROVEMENT NOTES:**
1. THE IMPROVEMENTS MUST COMPLY WITH ALL CURRENT DISTRICTS REGULATIONS AND STANDARDS.
  2. NEW CLEANOUT SHALL BE PROVIDED WITHIN 5' OF THE PROPERTY LINE ON MENLO AVENUE FOR ALL LINES. EACH CLEANOUT TO MAINTAIN IF THEY CAN NOT OBTAIN GRAVITY THEN AN EJECTOR PUMP MUST BE PROVIDED. PLEASE NOTE THAT A GRINDER TYPE PUMP SHALL NOT BE USED.
  3. THE EXISTING SEWERS SERVICE SHALL BE VIDEO INSPECTED AND INSPECTION SHALL BE PROVIDED TO SEWER DISTRICT FOR APPROVAL OF REUSE.
  4. SERVICE LATERALS FROM PROPERTY LINE CLEANOUT OR EMERGENT ON THE PREPARED SEWER SERVICES BETWEEN THE PROPERTY LINE OF MENLO PARK. BUILDINGS, SURFACE DRAINAGE, AND SECOND CONNECTION TO SEWER MAIN FOR THE NEW SEWER LATERALS.
  5. THE SEWER DISTRICT WILL REQUIRE THE USE OF A TAP-TITE CONNECTION TO SEWER MAIN FOR THE NEW SEWER LATERALS.
  6. CONTRACTOR SHALL INSTALL 4" SEWER BACK WATER PREVENTOR ON THE PREPARED SEWER SERVICES BETWEEN THE PROPERTY LINE OF MENLO PARK.
  7. ALL 800 POUNDS AND OVER SIZES SURFACE DRAINAGE AND SECOND WATER SWAMP PUMPS ARE ALLOWED TO CONNECT TO THE SANITARY SEWER.
  8. NO OTHER CONNECTIONS ARE ALLOWED BETWEEN THE PROPERTY LINE CONNECTIONS.
  9. OWNERS SHALL PAY DISTRICT CONNECTION FEE AND OBTAIN TWO CLASS A PERMITS FROM WEST BAY SANITARY DISTRICT PRIOR TO PERFORMING ANY SEWER IMPROVEMENTS SHOWN ON THESE PLANS.
  10. EACH LATERAL MUST HAVE ADDRESS IDENTIFICATIONS IN OR AT THE PROPERTY LINE. IDENTIFICATIONS MUST BE PERMANENTLY ETCHED OR ENGRAVED INTO OR NEAR THE CLEANOUT STRUCTURE, AND EASILY VISIBLE AND LEGIBLE.
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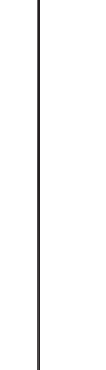
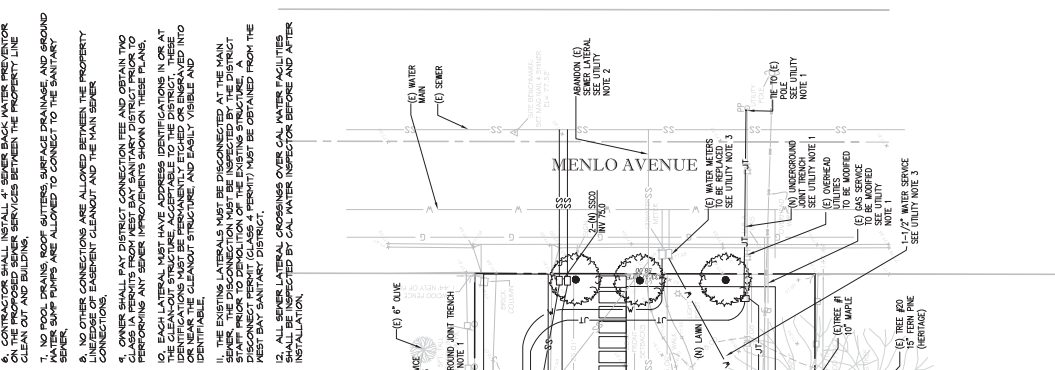
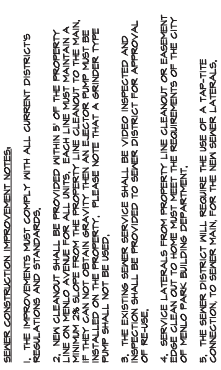
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  4. SERVICE LATERALS FROM PROPERTY LINE CLEANOUT OR EMERGENT ON THE PREPARED SEWER SERVICES BETWEEN THE PROPERTY LINE OF MENLO PARK. BUILDINGS, SURFACE DRAINAGE, AND SECOND CONNECTION TO SEWER MAIN FOR THE NEW SEWER LATERALS.
  5. THE SEWER DISTRICT WILL REQUIRE THE USE OF A TAP-TITE CONNECTION TO SEWER MAIN FOR THE NEW SEWER LATERALS.
  6. CONTRACTOR SHALL INSTALL 4" SEWER BACK WATER PREVENTOR ON THE PREPARED SEWER SERVICES BETWEEN THE PROPERTY LINE OF MENLO PARK.
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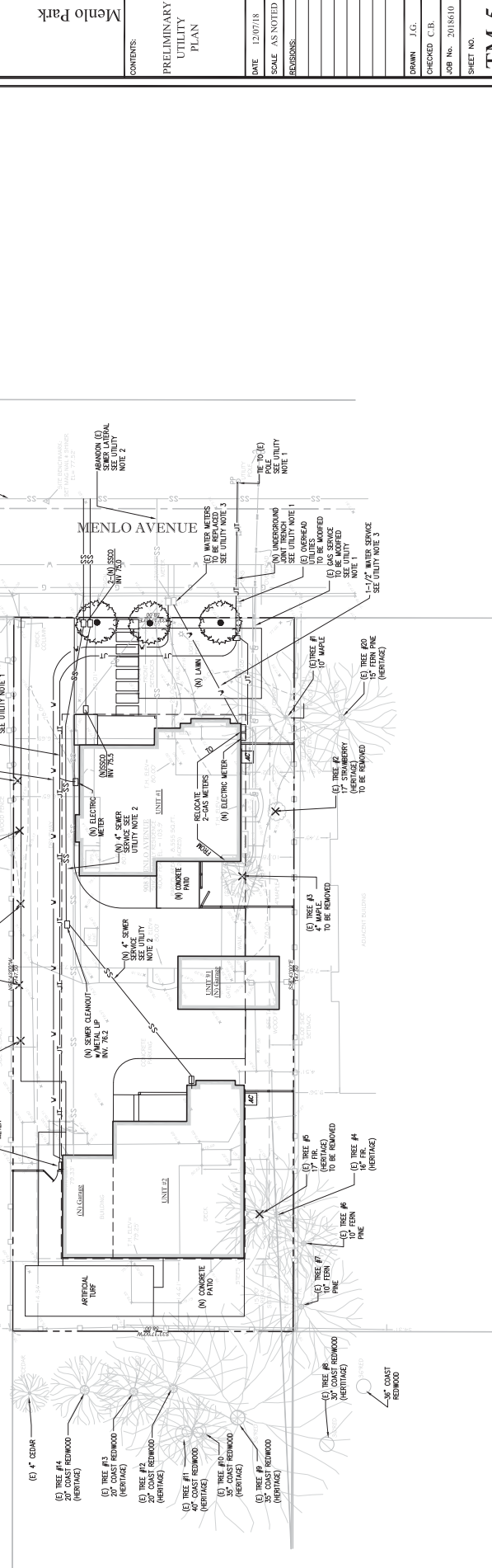
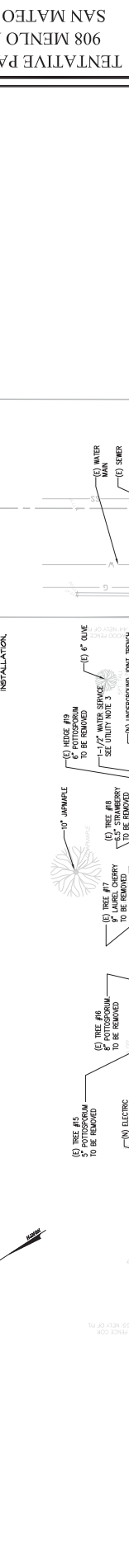
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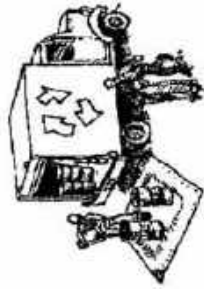
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# Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

## Materials & Waste Management



### Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.
- Hazardous Materials**
- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreezes) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

### Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and materials that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

### Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## Equipment Management & Spill Control



### Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

### Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

## Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

### Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks.
  - Abandoned wells
  - Buried barrels, debris, or trash.

## Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

### Sawcutting & Asphalt/Concrete Removal

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

## Concrete, Grout & Mortar Application



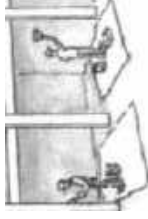
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

## Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

## Painting & Paint Removal



### Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

## Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

**Storm drain polluters may be liable for fines of up to \$10,000 per day!**

## PROJECT LETTER DESCRIPTION

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02/28/2018

Sean Amiri  
648 Menlo Ave #3  
Menlo Park, CA 94025

**RE: 908 Menlo Ave, Menlo Park**

To whom it may concern,

I am writing to you regarding the condominium mapping application and the proposal to build two single families homes on the above addressed site. This site is in R-3 zoning of the City of Menlo Park. There is an existing two story single family home and an in law unit in the rear of this site. We are proposing to demolish the existing structures and build two single family homes, one in front with a detached garage, and one with attached garage in rear.

These two homes will be in modern architectural style. Exterior of structures will be a blend of Stucco, Siding and veneer stone in line with a typical modern style home. Along with this letter please find proposed architectural, civil and landscape plans that we are submitting to City of Menlo Park Planning division. We have also submitted color and material palate for exterior along with our package.

908 Menlo Ave is in downtown area of Menlo Park. This part of the Menlo Avenue is mostly apartment buildings and rental townhomes. Directly across the street is rental condominium building. To the right at corner of University Ave is a single family home and on the left there is 3 unit town home building. We have knocked on their doors and have introduced ourselves and brief project details to those who were available. Camp Fremont Park sits directly on the back of this site.

Best Regards,

Sean Amiri

## Kielty Arborist Services LLC

Certified Arborist WE#0476A

P.O. Box 6187

San Mateo, CA 94403

650-515-9783

October 31, 2018, Revised January 21, 2019

Sean Amiri  
1190 West Hillsdale Blvd #13  
San Mateo, CA  
94403

Site: 908 Menlo Avenue, Menlo Park, CA

Dear Mr. Amiri,

As requested on Tuesday, November 14, 2017 I visited the above site to inspect and comment on the trees. Two new homes are planned for this site, and your concern for the future health and safety of the trees has prompted this visit. A tree protection plan will be included at the end of this report. The entire building plan set dated 2/22/18 has been reviewed for this report.

### Method:

All inspections were made from the ground; the trees were not climbed for this inspection. The trees in question were located on a map provided by you. The trees were then measured for diameter at 54 inches above ground level (DBH or diameter at breast height). The trees were given a condition rating for form and vitality. The trees condition rating is based on 50 percent vitality and 50 percent form, using the following scale.

1 - 29	Very Poor
30 - 49	Poor
50 - 69	Fair
70 - 89	Good
90 - 100	Excellent

The height of the trees was measured using a Nikon Forestry 550 Hypsometer. The spread was paced off. Comments and recommendations for future maintenance are provided.

908 Menlo Ave 1/21/19

(2)

**Survey:**

<b>Tree#</b>	<b>Species</b>	<b>DBH</b>	<b>CON</b>	<b>HT/SP</b>	<b>Comments</b>
1	Japanese maple ( <i>Acer palmatum</i> )	11.1@base	80	20/18	Good vigor, fair form, multi leader at 2 feet.
2P/R	Strawberry tree ( <i>Arbutus unedo</i> )	17.0	30	25/20	Poor vigor, poor form, in decline, nearly dead, root rot suspected. <b>Proposed for removal.</b>
3R	Japanese maple ( <i>Acer palmatum</i> )	4.7	70	18/20	Fair vigor, fair form, close to building. <b>To be removed</b>
4P	Douglas fir ( <i>Pseudotsuga menziesii</i> )	16.2	65	55/20	Fair vigor, fair form, #4 and #5 suppress each other.
5P/R	Douglas fir ( <i>Pseudotsuga menziesii</i> )	16.9	50	55/20	Fair to poor vigor, #4 and #5 suppress each other, slight decline in vigor. <b>Proposed for removal</b>
6*	African fern pine ( <i>Afrocarpus falcatus</i> )	10est	60	25/20	Good vigor, poor form, topped in past, good screen.
7*	African fern pine ( <i>Afrocarpus falcatus</i> )	10est	60	25/20	Good vigor, poor form, topped in past, good screen.
8*P	Redwood ( <i>Sequoia sempervirens</i> )	30est	80	100/30	Good vigor, good form. <b>10 times diameter=26 feet</b>
9*P	Redwood ( <i>Sequoia sempervirens</i> )	35est	80	100/30	Fair vigor, good form. <b>10 times diameter= 29 feet</b>
10*P	Redwood ( <i>Sequoia sempervirens</i> )	35est	70	90/25	Fair vigor, fair form, slight lean towards property. <b>10 times diameter= 29 feet</b>
11*P	Redwood ( <i>Sequoia sempervirens</i> )	40est	50	90/25	Fair to poor vigor, poor form, codominant at 8 feet, slight decline in vigor, drought stressed. <b>10 times diameter=33 feet</b>
12*P	Redwood ( <i>Sequoia sempervirens</i> )	20est	45	75/20	Fair vigor, poor form, suppressed, loss of apical dominance. <b>10 times diameter= 17 feet</b>

908 Menlo Ave 1/21/19

(3)

**Survey:**

<b>Tree#</b>	<b>Species</b>	<b>DBH</b>	<b>CON</b>	<b>HT/SP</b>	<b>Comments</b>
13*P	Redwood <i>(Sequoia sempervirens)</i>	20est	45	65/15	Fair to poor vigor, poor form, loss of apical dominance, no room for vertical growth. <b>10 times diameter= 17feet</b>
14*P	Redwood <i>(Sequoia sempervirens)</i>	20est	55	70/15	Fair vigor, fair form. <b>10 times diameter= 17 feet</b>
15R	Pittosporum <i>(Pittosporum eugenioides)</i>	4.9	60	20/10	Fair vigor, fair form, hedge pruned, good screen. <b>To be removed</b>
16R	Pittosporum <i>(Pittosporum eugenioides)</i>	8.0@base	60	20/10	Fair vigor, fair form, hedge pruned, good screen. <b>To be removed</b>
17R	Cherry laurel <i>(Prunus caroliniana)</i>	9.1@base	50	15/8	Fair vigor, fair form. <b>To be removed</b>
18R	Strawberry tree <i>(Arbutus unedo)</i>	6.5	30	10/6	Fair vigor, poor form, heavy decay at base. <b>To be removed</b>
19R	Pittosporum hedge <i>(Pittosporum tenuifolium)</i>	6.0avg.	50	8/25	Good vigor, hedge pruned, 6-trees in total. <b>To be removed</b>
20*P	African fern pine <i>(Afrocarpus falcatus)</i>	15est	70	40/30	Good vigor, fair form, 10 feet from property line, good screen. <b>10 times diameter=12.5 feet.</b>

\*-Indicates neighbors tree

P-Indicates protected tree by city ordinance

R- Indicates proposed removal

**Summary:**

The trees surveyed on site are imported species. Strawberry tree #2 and Douglas fir trees #4 and #5 are the only heritage trees on site as they have diameter measuring over 15 inches. Two of these trees are proposed for removal(#2 and #5). Many other large heritage sized trees are on the neighboring properties. The city of Menlo Park's definition of a heritage tree is as followed:

1. Any tree having a trunk with a circumference of 47.1 inches (diameter of 15 inches) or more measured at 54 inches above natural grade.
2. Any oak tree native to California, with a circumference of 31.4 inches (diameter of 10 inches) or more measured at 54 inches above natural grade.
3. Any tree or group of trees specifically designated by the City Council for protection because of its historical significance, special character or community benefit.



- 4. Any tree with more than one trunk measured at the point where the trunks divide, with a circumference of 47.1 inches (diameter of 15 inches) or more, with the exception of trees that are under 12 feet in height, which are exempt from the ordinance.



**Summary:**  
 The trees surveyed on site are all imported trees to this area of Menlo Park. Japanese maple tree #1 is in good condition. This tree is aesthetically pleasing and should be preserved if the design allows. This tree is not of a protected size.

**Showing Japanese maple tree #1**



Strawberry tree #2 is a protected tree on site. I am recommending the removal of this tree as it is in significant decline. No mitigation measures would be expected to improve the trees health, therefore removal is recommended. More than half of the tree's canopy is dead. Areas of dead bark were observed at the base of the tree. It is suspected that this tree is dying from a root rot disease. A permit will be needed to remove this tree as it is of a protected size.

**Showing tree in decline, notice abundance of dead wood in canopy**

Small Japanese maple tree #3 is in good condition. This tree is located only a few feet from the existing building. Demolition of the building will require the removal of this tree. This tree is proposed for removal, and is not of a protected size. No permit is required for removal.



**Showing decline in canopy of tree #5**

Douglas fir trees #4 and #5 are in close proximity to one another. Both of these trees are of a protected size in the city of Menlo Park. A deck has been built up to these trees in the past. Fir tree #5 is declining in vigor when compared to fir tree #4. The canopy of tree #5 is showing a large amount of dead wood. This can often be a sign of root rot. It is recommended to remove this tree, as the suspected root rot makes the tree hazardous. Also, the proposed work on site is in close proximity to this tree. It is necessary to remove fir tree #5 in order to construct the proposed property improvements, as the proposed structure is in close proximity to this tree. When removing fir tree #5, great care must be taken to assure that fir tree #4 is not impacted. All limbs shall be carefully removed and slowly lowered with ropes away from fir tree #4, so that limbs are not hitting each other and causing damage to the retained fir tree. Pieces of the trunk should be cut to small size pieces and slowly lowered down. A licensed tree care provider shall carry out the proposed work, with the Project Arborist on site to document the work. The stump can be cut low to the ground, but not poisoned, or ground with a tree stump grinder as this would have the ability to damage the retained fir tree #4. With fir tree #4 to be retained little to no screening will be lost.

African fern pine trees #6 and #7 are located on the neighbor's property to the south at 1 foot from the property line. Both of these trees have been topped in the past. These trees make a good screen between the two adjacent properties. The current height of these trees should be maintained as they have been topped in the past.



Redwood trees #8-14 are located on the neighboring property to the north west. The health of these trees varies from good to poor. The tops of some of the redwoods looks to be drought stressed. Some of the smaller redwood trees in the grove are heavily suppressed and do not have enough room for vertical growth. These trees will need to be protected by tree protection fencing extending off of the property line fence, and out to the proposed foundation for unit #2. The proposed concrete patio is recommended to be constructed entirely on top of grade, so that no roots are impacted. The use of Biaxial Geogrid may assist in the construction of an on top of grade patio. The patio shall be constructed at the end of the project, so that tree protection fencing can be placed at the proposed foundation for as long as possible.

**Showing canopies of redwood trees**

Trees #15-19 make up a large hedge on the north side of the property. These trees are all under the protected size in the city of Menlo Park. These trees are all proposed to be removed. New screening material will be planted at the property line to replace the lost screen.

African fern pine tree #20 is located on the neighbor's property to the south. This tree is of a protected size in the city of Menlo Park. No proposed property improvements are within 12.5 feet (10 times diameter) from this tree. This tree will be protected by the existing property line fence.

**Impacts/recommendations for the retained protected trees:**

It is the contractor's responsibility to contact the site arborist when work is to take place within 10 times the diameter of a protected tree on site. Kielty Arborist Services can be reached by email at [kkarbor0476@yahoo.com](mailto:kkarbor0476@yahoo.com) or by phone at (650) 515-9783 (Kevin). In addition to monitoring construction activities within 10 times the diameter of a protected tree on site, a monthly monitoring report has been required by the city of Menlo Park. A report is to be submitted to the Building Department after each site visit. These site visits will be made to monitor tree conditions and protections. These inspections will be taking place the first week of each month for the duration of construction. The contractor must notify the Project Arborist when construction is to start.

The proposed foundation for unit #2 is located in the same area as the existing foundation, but is pushed further towards the south where there is currently not a foundation. It is recommended to construct the proposed foundation on a pier and grade beam, with the grade beam not exceeding 6 inches below grade when within 13.5 feet from fir tree #4. This will reduce impacts to the retained fir tree #4 as much as possible. Structural plans showing the foundation near this tree will be made and reviewed by the Project Arborist once the architectural plans have been approved by the city. Fir tree #4 will be located 5 feet 6 inches from the new foundation when measuring from the center of the tree. The proposed excavation when within 13.5 feet from the tree (10 times diameter) must be completed entirely by hand in combination with an air spade, with the Project Arborist on site to document and inspect. This will be a part of the required monthly inspections on this site. 2 feet of soil shall be removed by an air spade in combination with hand tools between the removed fir tree #5 and proposed foundation trench, so that roots from the removed fir tree #5 can be cut and removed from the proposed foundation area. This way all the roots from the removed fir tree #5 can be removed from the foundation area, leaving behind roots from the retained fir tree #4. No roots shall be cut until the entire recommended hand excavation areas have been completed. All exposed roots must be covered in burlap as soon as possible, and kept moist by spraying down the burlap multiple times a day. Roots shall not be exposed for longer than 2 hours without being wrapped in burlap and kept moist. This will protect roots from desiccation. After all roots coming from the removed fir tree #5 have been removed within the foundation trench, the project arborist, structural engineer, and architect shall meet on site, so that a piers can be strategically placed in a way that reduces impacts (root cutting) to the tree as much as possible. All roots to be cut must be cut cleanly with a handsaw or loppers under the Project Arborist supervision. Root ends must be wrapped in burlap and kept moist to avoid root desiccation.

Impacts for fir tree #4 are expected to be minor if the above foundation recommendations can be followed. If the foundation cannot be constructed with a grade beam at 6 inches under grade, then the plan shall be changed to be further away from the retained fir tree. All roots to be cut within 13.5 feet from fir tree #4 shall first be shown to the Project Arborist. This tree will need to be irrigated throughout the construction process. It is recommended to irrigate this tree once a month during the dry season, until the top foot of soil is saturated. The soil shall be allowed to dry out between irrigation. No irrigation shall be located directly at the tree trunk. Irrigation shall stay at least 2 feet away from the trunk of the tree or basal flare. The area within the tree protection zone shall be mulched with a 3 inch thick layer of mulch. Mulch shall stay at least 1 foot away from the tree's basal flare. Tree protection fencing will need to be placed as close as possible to the proposed foundation. Because an area between the fencing and foundation will likely be needed for access, tree protection fencing shall be placed 2'6" from the foundation, with the area between the fencing and foundation being protected by a landscape barrier. Landscape barriers consist of a 6 inch thick layer of coarse mulch with plywood boards placed on top of the mulch. The plywood boards shall be attached in a way that reduces board movement. A straw wattle layer shall be placed between the landscape barrier and foundation cut, so that mulch does not fall into the foundation area. Tree protection fencing shall be placed at 13.5 feet from the tree wherever else possible. Once construction has been completed, the area within 13.5 feet

from fir tree #4 shall be tested for compaction levels. If compaction is high, soil fracturing techniques shall be done to relieve the compaction. Vertical mulching within the root zone of fir tree #4 is recommended to encourage new root growth. The mulch within the root zone of fir tree #4 will also help to improve soil conditions and encourage new root growth.

The neighbor to the south has two African fern pine trees(#6 and #7) located in close proximity to the property line fence. Excavation for the proposed foundation of unit #2 will be an estimated minimum of 12 feet from the trees. At this distance roots are expected to be small and fibrous(nothing over 1 inch in diameter). No roots needs for structural stability will be impacted from the foundation construction for the neighbor's fern pine trees. The health of the trees is not expected to be impacted. It is recommended to set up tree protection fencing for fern pine tree #6 and #7 in order to reduce potential impacts caused by soil compaction. Fencing shall be placed as close as possible to the proposed foundation area and out to a distance of 10 feet from the trees where possible. Irrigation should be provided within the tree protection areas. Once a month, during the dry season, it is recommended to irrigate the soil until the top foot of soil is saturated.

Redwood trees #8-14 are located on the neighboring property to the north. The majority of the proposed foundation is in a location where there is already an existing foundation. A small area to the south of the existing foundation is to become a new foundation area. All excavation for the north side of the proposed foundation of unit #2 is recommended to be excavated by hand with the Project Arborist on site. Any encountered roots to be cut must first be shown to the Project Arborist. Roots must be cleanly cut under the Project Arborist supervision when needed. Tree protection fencing for these trees must extend off of the property line fence and extend as close to the foundation of unit #2 as possible while still allowing for construction to safely continue. Impacts to trees #8-14 are expected to be minor as the excavation is a good distance away from the trees. Mitigations for the redwood trees will consist of heavy irrigation between unit #2 and the property line fence within the tree protection zone. Redwood are not native to this area of Menlo Park and require a significant amount of supplemental irrigation to maintain a healthy canopy. It is recommended to irrigate the area between the property line fence and unit #2 once a week during the dry season until the top foot of soil is saturated. During the winter the irrigation can be temporarily suspended.

A new concrete patio is proposed off of the foundation of unit #2. This patio will be within the calculated root zone of the neighboring redwood trees. It is recommended to construct the patio at the end of the project so that the trees can be protected as well as possible during the construction of the home. When it is time to construct the patio, the tree protection fencing will need to be slightly reduced. This should raise the need to contact the Project Arborist so that new tree protection fencing locations can be verified. The proposed concrete patio is recommended to be constructed entirely on top of grade so that no roots are impacted. The use of Biaxial Geogrid may assist in the construction of an on top of grade patio. If this is not possible excavation should not exceed 6 inches below grade. The construction of the patio will need to be supervised by the Project Arborist. Impacts to the trees are expected to be minor. The

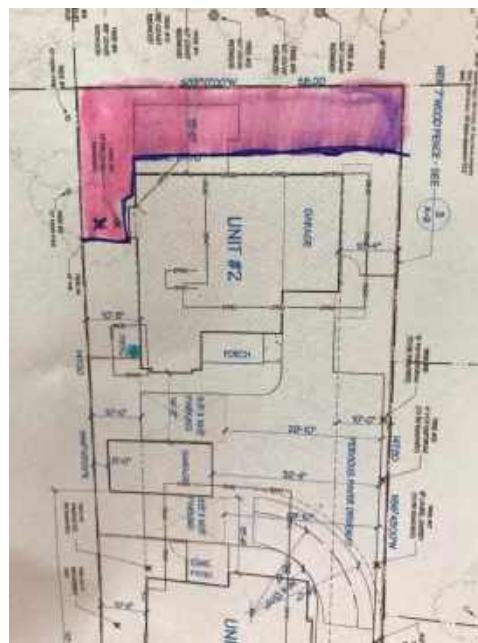
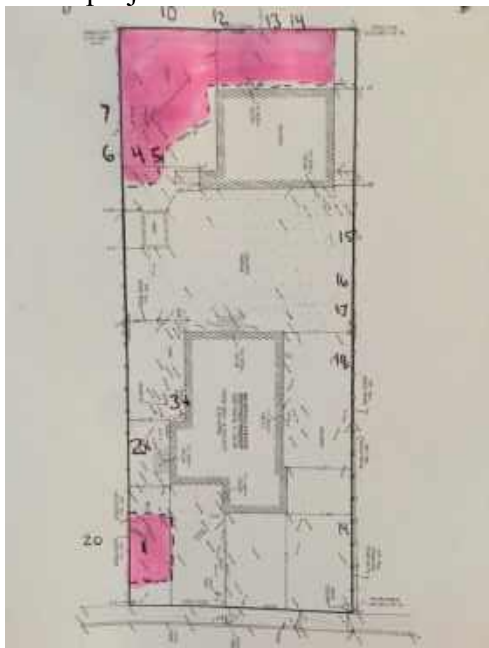
recommended irrigation between the property line and unit #2 will act as mitigations for any minor impacts to the trees.

No impacts to the trees on site or off site are expected from utility improvement. All vegetated swale work near the property lines, when within a trees calculated root zone will need to be carefully done by hand under the Project Arborist supervision. No impacts are expected from grading plans. The following tree protection plan will help to insure the health of the retained trees on site during the proposed construction.

**Tree Protection Plan:**

*Tree Protection Zones*

Tree protection zones should be installed and maintained throughout the entire length of the project. Fencing for tree protection zones should be 6' tall, metal chain link material supported by metal 2" diameter poles, pounded into the ground to a depth of no less than 2'. The location for the protective fencing for the protected trees on site should be placed at 10 times the tree diameter where possible. Where not possible because of proposed work or existing hardscapes, the tree protection fencing shall be placed at the edge of the proposed work or hardscapes. No equipment or materials shall be stored or cleaned inside the protection zones. Areas where tree protection fencing needs to be reduced for access, should be mulched with 6" of coarse wood chips with 1/2 inch plywood on top. The plywood boards should be attached together in order to minimize movement. The spreading of chips will help to reduce compaction and improve soil structure. All tree protection measures must be installed prior to any demolition or construction activity at the site. On the next page is a diagram showing the recommended tree protection fencing locations during the demolition phase of the project as well as during the construction phase of the project.



**Highlighted areas represent areas to be fenced off by tree protection fencing during demolition and the proposed construction**

*Landscape Buffer*

Where tree protection does not cover the entire root zone of the trees (10X diameter), or when a smaller tree protection zone is needed for access, a landscape buffer consisting of wood chips spread to a depth of six inches with plywood or steel plates placed on top will be placed where foot traffic is expected to be heavy. The landscape buffer will help to reduce compaction to the unprotected root zone. This may be needed for Japanese maple tree #1 to allow for access to the side of the home.

*Root Cutting and Grading*

Any roots to be cut shall be monitored and documented. Large roots (over 2" diameter) or large masses of roots to be cut must be inspected by the site arborist. The site arborist, at this time, may recommend irrigation or fertilization of the root zone. All roots needing to be cut should be cut clean with a saw or lopper. Roots to be left exposed for a period of time should be covered with layers of burlap and kept moist.

*Trenching and Excavation*

Trenching for irrigation, drainage, electrical or any other reason shall be done by hand when inside the dripline of a protected tree. Hand digging and the careful placement of pipes below or besides protected roots will significantly reduce root loss, thus reducing trauma to the tree. All trenches shall be backfilled with native materials and compacted to near its original level, as soon as possible. Trenches to be left open for a period of time, will require the covering of all exposed roots with burlap and be kept moist. The trenches will also need to be covered with plywood to help protect the exposed roots.

*Irrigation*

Normal irrigation shall be maintained on this site at all times. The imported trees will require normal irrigation. On a construction site, I recommend irrigation during winter months, 1 time per month. Seasonal rainfall may reduce the need for additional irrigation. During the warm season, April – November, my recommendation is to use heavy irrigation, 2 times per month. This type of irrigation should be started prior to any excavation. The irrigation will improve the vigor and water content of the trees. The on-site arborist may make adjustments to the irrigation recommendations as needed. The foliage of the trees may need cleaning if dust levels are extreme. Removing dust from the foliage will help to reduce mite and insect infestation.

*Inspections*

It is the contractor's responsibility to contact the site arborist when work is to take place within 10 times the diameter of a protected tree on site. Kielty Arborist Services can be reached by email at [kkarbor0476@yahoo.com](mailto:kkarbor0476@yahoo.com) or by phone at (650) 515-9783 (Kevin). In addition to monitoring construction activities within 10 times the diameter of a protected tree on site, a monthly monitoring report has been required by the city of Menlo Park. A report is to be submitted to the Building Department after each site visit. These site visits will be made to monitor tree conditions and protections. These inspections will be taking place the first week of each month for the duration of construction. The contractor must notify the Project Arborist when construction is to start.

The information included in this report is believed to be true and based on sound arboricultural principles and practices.

Sincerely, Kevin R. Kielty Certified Arborist WE#0476A



**Rogers, Thomas H**

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**From:** Kathy Kroesche <kathy.kroesche111@gmail.com>  
**Sent:** Monday, February 11, 2019 12:01 PM  
**To:** Rogers, Thomas H  
**Subject:** 908 and 966 Menlo Avenue

Dear Thomas Rogers,

Thank you for sharing the plans to demolish my two favorite structures in this 900 block of Menlo Avenue. I will be very sorry to see these charming homes destroyed. More importantly, given our serious housing shortage and people living in their cars, I am perplexed as to why we are using R3 zoning for single family homes. Why is it the town's policy to allow reducing density when the need for affordable housing is so high? I don't want to obstruct my neighbors' use of their properties now, but for our future, I think the town should make a serious change in strategy to help more people be able to live here affordably, especially in the denser downtown district.

I love this town. I became a resident in 1966 (born here), and am thankful for all the benefits of this well cared for community.

Take Care,

**Kathy Kroesche**

Cell 408-438-0103



## STAFF REPORT

### Planning Commission

**Meeting Date:** 2/25/2019  
**Staff Report Number:** 19-013-PC

**Public Hearing:** Use Permit and Variances/Sean Amiri/966 Menlo Avenue

### Recommendation

Staff recommends that the Planning Commission approve a use permit to demolish an existing single-story, single-family residence and construct two two-story, single-family residences and a detached one-car garage on a substandard lot with respect to lot width in the R-3 (Apartment) zoning district, at 966 Menlo Avenue. A detached garage would be located partly in the front half of the lot (but behind the front residence), as may be permitted with a use permit. Staff also recommends approval of a variance to reduce the required 20-foot separation between the rear unit and the main building located on the adjacent right side parcel, as well as a variance to reduce the required 10-foot separation between the detached garage and the front unit in order to retain and protect an existing heritage redwood. The proposal includes administrative review of a tentative parcel map to subdivide the project into two condominium units. The recommended actions are included as Attachment A.

### Policy Issues

Each use permit and variance request is considered individually. The Planning Commission should consider whether the required use permit and variance findings can be made for the proposal.

### Background

#### *Site location*

The subject property is located near the downtown area, on a dead-end block of Menlo Avenue that extends southwest of University Drive. The subject block is comprised of a mix of one- and two-story residences, in both single-family and multi-family configurations. The architectural styles in the vicinity are varied.

Most parcels in the immediate area are also zoned R-3 (Apartment) or R-3-X (Apartment, Conditional Development), with the exception of Fremont Park at the corner of University Drive and Santa Cruz Avenue, zoned OSC (Open Space and Conservation), and the parcels on the opposite side of University Drive, zoned SP-ECR/D (El Camino Real/Downtown Specific Plan). A location map is included as Attachment B.

The applicant is proposing a similar two-unit redevelopment on the same block, at 908 Menlo Avenue, which will also be reviewed by the Planning Commission at the February 25 meeting. However, these two projects are functionally separate and will be considered and acted on individually.

## **Analysis**

### ***Project description***

The subject site is currently occupied by a one-story residence at the front, detached garage at the middle-right, and detached shed at the rear-left corner. The property is substandard with regard to lot width. The applicant is proposing to demolish all existing structures and construct two new two-story, single-family homes. The required parking for each unit would be provided via a one-car garage (detached for the front unit and attached for the rear unit) and one uncovered parking space. The project plans currently show slightly undersized garages for each unit, a few inches below either/both the 10-foot width and 20-foot depth requirements for interior clear distance. Staff has added project-specific condition of approval 5a that would require the applicant to submit revised plans with the submittal of a building permit application that would include compliant garage dimensions. The applicant has relayed that these corrections can be accomplished with no change to either building's exterior footprint (for example, by using 2 x 4 framing elements instead of 2 x 6 studs), and the condition has been worded accordingly. A data table summarizing parcel and project attributes is included as Attachment C. The project plans and the applicant's project description letter are included as Attachments D and E.

The front residence (Unit #1) would be a four-bedroom, three-bathroom house, and the rear residence (Unit #2) would be a three-bedroom, two-and-a-half-bathroom house. Both homes would have a typical layout of shared spaces on the ground level and most/all of the bedrooms on the upper floor. The driveway would remain on the right side of the parcel. The detached garage would be located primarily in the front half of the lot, as may be permitted with a use permit. Due to the limited visibility of the garage (located behind the front unit), staff does not believe the placement of this accessory building within the front half of the lot would create any issues.

Of note with regard to Zoning Ordinance development standards:

- The project would adhere to R-3 requirements for minimum landscaping and maximum driveways/open parking areas. As is permitted by the code, a permeable paver driveway system would count equally toward the landscaping and driveways/open parking areas.
- The buildings would be well below the maximum height limit (35 feet), at approximately 29.3 feet (Unit #1) and 29 feet (Unit #2). The Planning Commission should note that the ridge height as represented by the applicant includes an approximately one-foot buffer to account for "structural drift". However, even with this buffer, the height is limited.
- Although the R-3 district does not have the daylight plane requirement that applies to the single-family and R-2 districts, the proposed designs feature hipped roofs to achieve a similar modulated effect on the side elevations.

The applicant is also requesting approval of a tentative map for a minor subdivision into two residential condominium units. The minor subdivision can be reviewed and approved at an administrative level, if the Planning Commission approves the use permit request.

### ***Design and materials***

The new residences would be designed in a simplified Spanish style, with stucco as the primary façade

material, along with a clay tile roof. The windows would be aluminum-clad, in different colors for each residence (light blue for Unit #1 and copper penny for Unit #2) in order to provide variation. A horizontal wood trim element would also be applied at the top and bottom of all windows. On the front elevation of each unit, one window would include wood plank shutters to match the trim color. The window grids would be the simulated true divided light style, with interior/exterior grids and a spacer bar in between the glass panes. The front and garage doors would feature stained walnut. Although color and materials boards are not required for two-unit projects, the applicant has submitted color and materials sheets in order to relay the aesthetics more fully, and these will be available for Planning Commission review at the February 25 meeting.

The front and rear elevations of each residence would feature more material and massing variation than the sides, which would be somewhat boxy. During the preliminary project review, staff encouraged the applicant to consider the possibility of upper-level stepbacks, which the applicant relayed was not feasible given the narrow (51.7-foot) width of the parcel. Both units would feature a decorative “belly band” to provide some massing variation, and Unit #1 would have an upper-floor bay window on its right elevation, which would likewise provide visual interest from the public right-of-way. Overall, the massing would be similar to other structures on this block, many of which also have unbroken two-story walls.

On the side elevations, the upper-floor windows are designed with sensitivity to neighbor privacy, with all windows either featuring four-foot-eight-inch sill heights or obscure glass. Staff believes that the scale, materials, and style of the proposed residences are consistent with the neighborhood, given the variety of architectural styles and sizes of structures in the vicinity.

### **Variance**

As part of this proposal, the applicant is requesting a variance for the new residence at the rear of the property (Unit #2) to encroach into the required 20-foot separation between main buildings located on adjacent lots. Specifically, the proposed separation would be 15 feet, eight-and-a-half inches. The residence at the front (Unit #1) would not require any variances with regard to this requirement. However, the applicant is requesting a variance to reduce the separation between Unit #1 and its detached garage from the required 10 feet, to six feet, six inches (measured from wall to wall; a fireplace pop-out would be located slightly closer to the garage). Both of the requested variances would stay within the variance limit of 50 percent of the respective requirement (i.e., if a setback requirement is 20 feet, the maximum variance request would be 10 feet).

The applicant has provided a variance request letter that has been included as Attachment F. The letter includes diagrams showing their evaluation of alternatives to the variances, which are helpful with relaying the issues that strict compliance with the ordinance could create. The required variance findings are evaluated below in succession:

- 1. That a hardship peculiar to the property and not created by any act of the owner exists. In this context, personal, family or financial difficulties, loss of prospective profits and neighboring violations are not hardships justifying a variance. Further, a previous variance can never have set a precedent, for each case must be considered only on its individual merits;*

The hardships for the neighboring building separation are the narrow width of the subject lot and the placement of the existing structure on the right side parcel (940 Menlo Avenue), which is located approximately five feet from the shared property line. The neighboring structure is older (estimated by the applicant to date from the 1940s) and was constructed prior to the current R-3 setback requirements. Likewise, the narrow (51.7-foot) width of the subject parcel is an existing condition that is well below the 70-foot minimum width required for new R-3 lots of this size.

For the detached garage separation, the narrow width is likewise a hardship that limits possible development layouts, in conjunction with the garage size requirement (10 feet wide by 20 feet deep, minimum) and associated guidelines for car backup distance and turning radii. In addition, the heritage redwood (tree #10) located at the left-center portion is a significant natural feature that represents a constraint to new development.

2. *That such variance is necessary for the preservation and enjoyment of substantial property rights possessed by other conforming property in the same vicinity and that a variance, if granted, would not constitute a special privilege of the recipient not enjoyed by his/her neighbors;*

With regard to the neighboring building separation requirement, the variance letter includes a diagram (Attachment F7) that shows the impact of strict compliance on the footprint and feasibility of Unit #2. In particular, the one-car garage (required by code) would have to be shifted over approximately five feet into the shared living spaces, which would result in a narrow, odd floor plan at this level. The associated shifting of the stair would likewise negatively affect the upper floor, such that the variance would be necessary to achieve a unit size and interior layout similar to dwelling units located on conforming property in the same vicinity.

Similarly, if the 10-foot setback requirement for the detached garage were strictly enforced, it appears that Unit #1 would not be able to have a covered parking space. The garage could not be attached to the residence itself without violating the backup/turning requirements for parking spaces, and it could not be shifted farther back on the property without negatively affecting the heritage redwood. For the Planning Commission's reference, the applicant's original proposal included removal of this redwood, which would have allowed the 10-foot separation requirement to be met. Based on the City Arborist's guidance to retain this tree (as was also strongly desired by neighbors), the current variance for the garage separation was incorporated. The variance to reduce the 10-foot separation requirement would allow the residence to both meet its parking requirement and retain the redwood tree, which would not represent a special privilege.

3. *That the granting of the variance will not be materially detrimental to the public health, safety, or welfare, or will not impair an adequate supply of light and air to adjacent property;*

If the right side parcel is redeveloped in the future, it would be required to adhere to the 10-foot side setback requirement, and the proposed variance would no longer be needed. The rear residence's height at 29 feet is well below the R-3 maximum of 35 feet, and the plate height at the variance area is additionally limited, at approximately 21.5 feet. In addition, the adjacent residence does not extend farther back on its property, which means the variance only applies to a portion of the proposed Unit #2. As such, granting of this variance would not impair adequate supply of light and air to the adjacent property.

For Unit #1, the garage separation would only affect that unit itself, not any adjacent property. Granting of this variance would allow the heritage redwood to be retained, which may be considered to preserve and enhance the public health and welfare.

4. *That the conditions upon which the requested variance is based would not be applicable, generally, to other property within the same zoning classification; and*

The variance requests are primarily based on the nonconformance of the adjacent right-hand structure, the presence of the heritage redwood at the left-center portion of the subject property, and the subject parcel's narrow lot width. Since other properties do not appear to have this unique combination of conditions, these variances would not apply to other properties in the same zoning district.

5. *That the condition upon which the requested variance is based is an unusual factor that was not anticipated or discussed in detail during any applicable Specific Plan process.*

The property is not within any Specific Plan area. Hence, a finding regarding an unusual factor does not apply.

Due to the above factors, staff is recommending approval of the variance request, and has included findings to that effect in the recommended actions.

### ***Trees and landscaping***

The applicant has submitted an arborist report (Attachment F) detailing the species, size and conditions of the trees on or near the site. As part of the project review process, the City Arborist reviewed the report and requested enhancements, which have been incorporated. As described in the report, there are 19 existing trees located on or near the property, five of which are heritage trees. Of the heritage trees, four are located on adjacent properties.

As noted in the Variance section, the on-site heritage tree is a redwood (tree #10) located at the left-center portion of the property. This tree was originally proposed for removal, but this was not supported by the City Arborist due to the generally good health and structure of the tree. In addition, several neighbors objected to this proposed removal. In response, the applicant is now proposing to retain this tree, and its preservation during and after construction is discussed in detail in the arborist report. In particular, the impact of the proposed paver driveway system is analyzed, and the project arborist has specified that "biaxial geogrid" be used on top of the existing grade, with a sand layer and then pavers placed on top. This is projected to limit the amount of excavation and associated impact on the roots of this tree. The project arborist would be on site during any driveway work within 33 feet of this tree, and supplemental irrigation would be deployed throughout the project.

The neighboring heritage trees would be likewise protected during construction of the residences, with measures including: conducting utility excavation near the tree #1 using an air spade (air knife) in combination with hand tools, specifying a pier-and-grade-beam system for the detached garage in order to limit impacts on tree #9; and limiting the location of demolition equipment when removing the rear shed

near tree #18. These protections would be ensured by standard condition 4I.

Eight non-heritage trees would be removed, and two new trees would be planted: one on the front elevation, and one at the right-rear side at the end of the driveway. A number of screening shrubs would be planted on the property boundaries, in particular on the right side. Each new unit would have a small at-grade patio.

### ***Correspondence***

The applicant states in the project description letter that their team knocked on doors and discussed the project with those who were available. Staff received a petition of opposition regarding the project in September 2018, signed by a number of concerned neighbors. One key concern in the petition was the original proposal to remove the heritage redwood, which is no longer part of the project. The petition also relays concerns about the new buildings' aesthetics, views, and scale. As noted earlier in this report, the project would be within the R-3 regulations, in particular for height, and staff believes it would be consistent with other developments in the vicinity. The upper-level side windows would also be designed with sensitivity to the privacy of neighboring properties, with high sill heights and/or obscure glass. Two representatives of the original petition also submitted an addendum in February 2019, relaying support for the garage separation variance that would help preserve the heritage redwood. They also state concerns regarding the left side neighbor's heritage oaks (which staff believes will be protected as a result of the arborist report specifications), and request that the second floor be tapered in order to create a less monolithic appearance.

Staff has also received two individual emails regarding the project. The letter from Kathy Kroesche states concerns with the loss of the existing structures, and a suggestion to revise the R-3 regulations to encourage greater density and affordability, especially in the area around downtown. Staff understands these to be bigger-picture comments that by their nature do not directly address the subject proposal. The letter from Rayna Brown relays concerns with impacts on her views. All correspondence is included as Attachment G.

### ***Conclusion***

Staff believes that the scale, materials, and style of the proposed residences are compatible with those of the overall neighborhood. The height of the buildings would be limited relative to the R-3 maximums. Varying materials and forms (in particular on the front and rear elevations) would vary the perception of massing and add visual interest to the project. Detailed heritage tree protection measures have been specified in the arborist report, especially for heritage redwood #10, and would be followed as part of construction. The two variances would not represent a special privilege, but rather would allow the development to preserve and enjoy property rights similar to other, conforming properties in the vicinity. Staff recommends that the Planning Commission approve the proposed use permit and variances.

### **Impact on City Resources**

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

## **Environmental Review**

The project is categorically exempt under Class 3 (Section 15303, “New Construction or Conversion of Small Structures”) of the current California Environmental Quality Act (CEQA) Guidelines.

## **Public Notice**

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

## **Appeal Period**

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

## **Attachments**

- A. Recommended Actions
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter
- F. Variance Letter
- G. Arborist Report
- H. Correspondence

## **Disclaimer**

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

## **Exhibits to Be Provided at Meeting**

Color and materials sheets

Report prepared by:  
Thomas Rogers, Principal Planner

Report reviewed by:  
Kyle Perata, Acting Principal Planner



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## 966 Menlo Avenue – Attachment A: Recommended Actions

<b>LOCATION:</b> 966 Menlo Avenue	<b>PROJECT NUMBER:</b> PLN2018-00023	<b>APPLICANT:</b> Shahriar (Sean) Amiri	<b>OWNER:</b> Ardico LLC
<p><b>PROPOSAL:</b> Request for a use permit to demolish an existing single-story, single-family residence and construct two two-story, single-family residences and a detached one-car garage on a substandard lot with respect to lot width in the R-3 (Apartment) zoning district. The garage would be located partly in the front half of the lot (but behind the front residence), as may be permitted with a use permit. The proposal includes a variance to reduce the required 20-foot separation between the rear unit and the main building located on the adjacent right side parcel, as well as a variance to reduce the required 10-foot separation between the detached garage and the front unit in order to retain and protect an existing heritage redwood. The proposal includes an administrative review of a tentative parcel map to subdivide the project into two condominium units.</p>			
<b>DECISION ENTITY:</b> Planning Commission	<b>DATE:</b> February 25, 2019	<b>ACTION:</b> TBD	
<b>VOTE:</b> TBD (Barnes, Doran, Goodhue, Kennedy, Onken, Riggs, Strehl)			
<p><b>ACTION:</b></p> <ol style="list-style-type: none"> <li>1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.</li> <li>2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.</li> <li>3. Make the following findings as per Section 16.82.340 of the Zoning Ordinance pertaining to the granting of variances: <ol style="list-style-type: none"> <li>a. The hardships for the neighboring building separation are the narrow width of the subject lot and the placement of the existing structure on the right side parcel (940 Menlo Avenue), which is located approximately five feet from the shared property line. Likewise, the narrow (51.7-foot) width of the subject parcel is an existing condition that is well below the 70-foot minimum width required for new R-3 lots of this size. For the detached garage separation, the narrow width is likewise a hardship that limits possible development layouts, in conjunction with the garage size requirement (10 feet wide by 20 feet deep, minimum) and associated guidelines for car backup distance and turning radii. In addition, the heritage redwood (tree #10) located at the left-center portion is a significant natural feature that represents a constraint to new development. None of the hardships have been created by an act of the owner.</li> <li>b. With regard to the neighboring building separation requirement, strict compliance would have a significant negative effect on the footprint and feasibility of Unit #2. In particular, the one-car garage (required by code) would have to be shifted over approximately five feet into the shared living spaces, which would result in a narrow, odd floor plan on both floors, such that the variance would be necessary to achieve a unit size and interior layout similar to dwelling units located on conforming property in the same vicinity. Similarly, if the 10-foot setback requirement for the detached garage were strictly enforced, it appears that Unit #1 would not be able to have a covered parking space. The garage could not be attached to the residence itself without violating the backup/turning requirements for parking spaces, and it could not be shifted farther back on the property without negatively affecting the heritage redwood. The variance to reduce the 10-foot separation requirement would allow the residence to both meet its parking requirement and retain the redwood tree, which would not represent a special privilege.</li> </ol> </li> </ol>			

966 Menlo Avenue – Attachment A: Recommended Actions

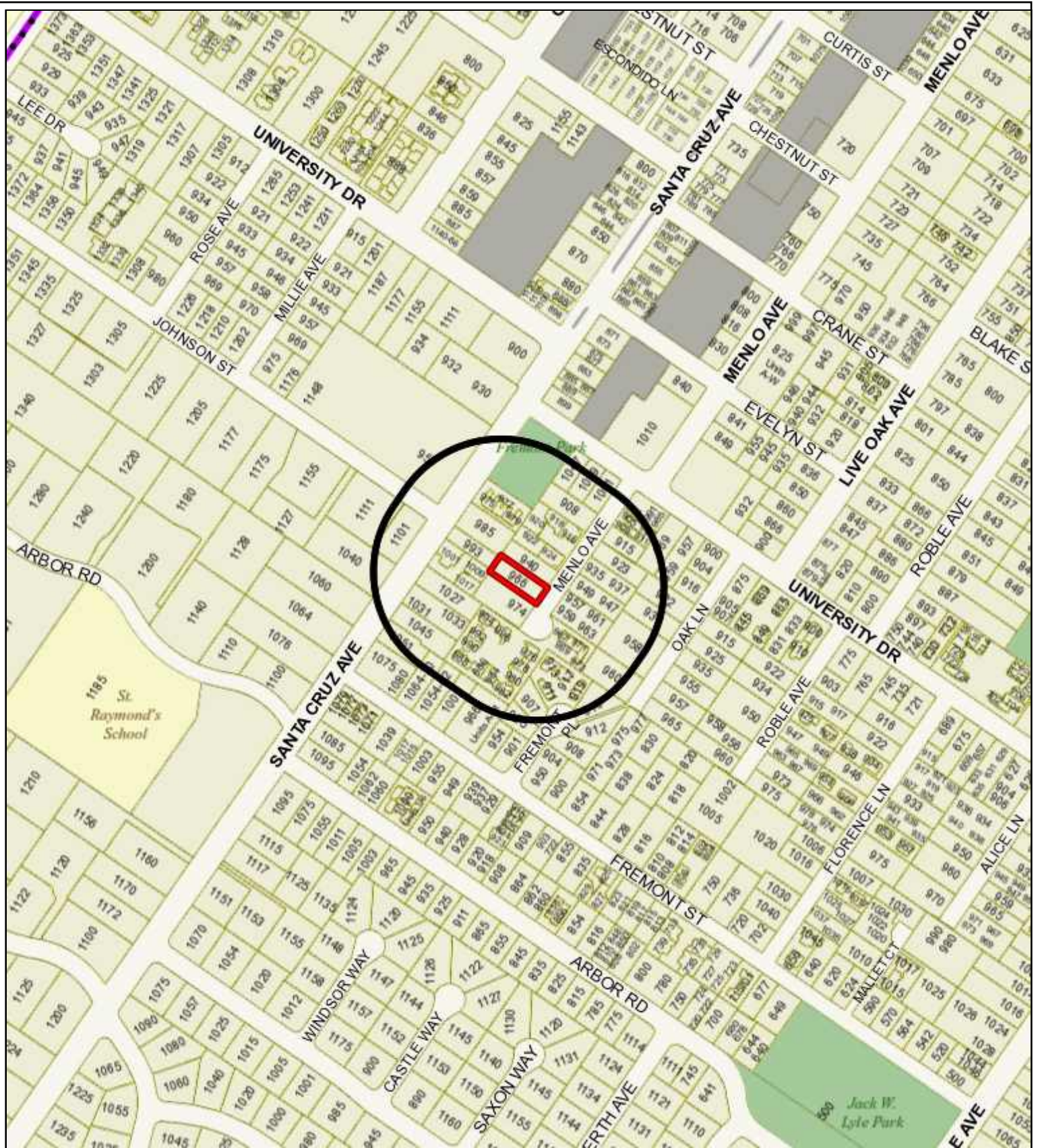
<b>LOCATION:</b> 966 Menlo Avenue	<b>PROJECT NUMBER:</b> PLN2018-00023	<b>APPLICANT:</b> Shahriar (Sean) Amiri	<b>OWNER:</b> Ardico LLC
<p><b>PROPOSAL:</b> Request for a use permit to demolish an existing single-story, single-family residence and construct two two-story, single-family residences and a detached one-car garage on a substandard lot with respect to lot width in the R-3 (Apartment) zoning district. The garage would be located partly in the front half of the lot (but behind the front residence), as may be permitted with a use permit. The proposal includes a variance to reduce the required 20-foot separation between the rear unit and the main building located on the adjacent right side parcel, as well as a variance to reduce the required 10-foot separation between the detached garage and the front unit in order to retain and protect an existing heritage redwood. The proposal includes an administrative review of a tentative parcel map to subdivide the project into two condominium units.</p>			
<b>DECISION ENTITY:</b> Planning Commission	<b>DATE:</b> February 25, 2019	<b>ACTION:</b> TBD	
<p><b>VOTE:</b> TBD (Barnes, Doran, Goodhue, Kennedy, Onken, Riggs, Strehl)</p>			
<p><b>ACTION:</b></p> <ul style="list-style-type: none"> <li>c. If the right side parcel is redeveloped in the future, it would be required to adhere to the 10-foot side setback requirement, and the proposed variance would no longer be needed. The rear residence's height at 29 feet is well below the R-3 maximum of 35 feet, and the plate height at the variance area is additionally limited, at approximately 21.5 feet. In addition, the adjacent residence does not extend farther back on its property, which means the variance only applies to a portion of the proposed Unit #2. As such, granting of this variance would not impair adequate supply of light and air to the adjacent property. For Unit #1, the garage separation would only affect that unit itself, not any adjacent property. Granting of this variance would allow the heritage redwood to be retained, which may be considered to preserve and enhance the public health and welfare.</li> <li>d. The variance requests are primarily based on the nonconformance of the adjacent right-hand structure, the presence of the heritage redwood at the left-center portion of the subject property, and the subject parcel's narrow lot width. Since other properties do not appear to have this unique combination of conditions, these variances would not apply to other properties in the same zoning district.</li> <li>e. The property is not within any Specific Plan area. Hence, a finding regarding an unusual factor does not apply.</li> </ul> <p>4. Approve the use permit subject to the following <b>standard</b> conditions:</p> <ul style="list-style-type: none"> <li>a. Development of the project shall be substantially in conformance with the plans prepared by Hometec Architecture, Inc., consisting of 19 plan sheets, received February 11, 2019, and approved by the Planning Commission on February 25, 2019, except as modified by the conditions contained herein, subject to review and approval by the Planning Division.</li> <li>b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.</li> <li>c. Prior to building permit issuance; the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.</li> <li>d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground</li> </ul>			

966 Menlo Avenue – Attachment A: Recommended Actions

<b>LOCATION:</b> 966 Menlo Avenue	<b>PROJECT NUMBER:</b> PLN2018-00023	<b>APPLICANT:</b> Shahriar (Sean) Amiri	<b>OWNER:</b> Ardico LLC
<p><b>PROPOSAL:</b> Request for a use permit to demolish an existing single-story, single-family residence and construct two two-story, single-family residences and a detached one-car garage on a substandard lot with respect to lot width in the R-3 (Apartment) zoning district. The garage would be located partly in the front half of the lot (but behind the front residence), as may be permitted with a use permit. The proposal includes a variance to reduce the required 20-foot separation between the rear unit and the main building located on the adjacent right side parcel, as well as a variance to reduce the required 10-foot separation between the detached garage and the front unit in order to retain and protect an existing heritage redwood. The proposal includes an administrative review of a tentative parcel map to subdivide the project into two condominium units.</p>			
<b>DECISION ENTITY:</b> Planning Commission	<b>DATE:</b> February 25, 2019	<b>ACTION:</b> TBD	
<p><b>VOTE:</b> TBD (Barnes, Doran, Goodhue, Kennedy, Onken, Riggs, Strehl)</p>			
<p><b>ACTION:</b></p> <p>shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.</p> <ul style="list-style-type: none"> <li>e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.</li> <li>f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.</li> <li>g. If construction is not complete by the start of the wet season (October 1st through April 30th), the Applicant shall implement a winterization program to minimize the potential for erosion and sedimentation, subject to review and approval of the Engineering Division.</li> <li>h. Prior to building permit issuance, the Applicant shall submit all applicable civil plans for Engineering Division review and approval.</li> <li>i. Prior to building permit issuance, the Applicant shall submit complete off-site civil engineering plans detailing the full scope of frontage improvements along the property frontage at to the satisfaction of the City's Public Works Department. The defined scope shall include, but is not limited to, new sidewalk, curb, gutter, pavement restoration, and utility upgrades (water, storm, sewer connections) up to the limits of the property frontage. The Applicant shall obtain an Encroachment Permit prior to commencing work within the public right of way and include the follow notes on the front cover of the plans.</li> <li>j. Prior to the building permit issuance, the Applicant shall submit a Hydrology Report, including calculations, substantiating that on-site flows will not exceed existing conditions as a result of the proposed improvements. The Hydrology report will be subject to Engineering Division review and approval.</li> <li>k. Prior to building permit issuance, the Applicant shall submit all applicable Water-Efficient Landscaping Ordinance (WELO) documents for Engineering Division review and approval, if proposed landscaping exceeds 500 sf.</li> </ul>			

966 Menlo Avenue – Attachment A: Recommended Actions

<b>LOCATION:</b> 966 Menlo Avenue	<b>PROJECT NUMBER:</b> PLN2018-00023	<b>APPLICANT:</b> Shahriar (Sean) Amiri	<b>OWNER:</b> Ardico LLC
<p><b>PROPOSAL:</b> Request for a use permit to demolish an existing single-story, single-family residence and construct two two-story, single-family residences and a detached one-car garage on a substandard lot with respect to lot width in the R-3 (Apartment) zoning district. The garage would be located partly in the front half of the lot (but behind the front residence), as may be permitted with a use permit. The proposal includes a variance to reduce the required 20-foot separation between the rear unit and the main building located on the adjacent right side parcel, as well as a variance to reduce the required 10-foot separation between the detached garage and the front unit in order to retain and protect an existing heritage redwood. The proposal includes an administrative review of a tentative parcel map to subdivide the project into two condominium units.</p>			
<b>DECISION ENTITY:</b> Planning Commission	<b>DATE:</b> February 25, 2019	<b>ACTION:</b> TBD	
<p><b>VOTE:</b> TBD (Barnes, Doran, Goodhue, Kennedy, Onken, Riggs, Strehl)</p>			
<p><b>ACTION:</b></p> <ul style="list-style-type: none"> <li data-bbox="266 743 1430 831">i. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the arborist report prepared by Kielty Arborist Services LLC dated October 24, 2018 and January 28, 2019.</li> <li data-bbox="172 863 1406 894">5. Approve the use permit and variances subject to the following <i>project-specific</i> condition of approval:             <ul style="list-style-type: none"> <li data-bbox="266 926 1430 1041">a. Simultaneous with the submittal of a complete building permit application, the applicant shall submit revised plans that show both garages with interior clear dimensions of 10 feet width and 20 feet depth, subject to review and approval of the Planning Division. The revisions shall be accomplished within the building footprints as shown on the approved plans.</li> </ul> </li> </ul>			



City of Menlo Park  
 Location Map  
 966 Menlo Avenue



966 Menlo Avenue – Attachment C: Data Table

	<b>PROPOSED PROJECT</b>	<b>EXISTING PROJECT</b>	<b>ZONING ORDINANCE</b>
Lot area	7,626.0 sf	7,626.0 sf	7,000 sf min.
Lot width	51.7 ft.	51.7 ft.	70 ft. min.
Lot depth	147.5 ft.	147.5 ft.	100 ft. min.
Setbacks			
Front	20.3 ft.	25.1 ft.	20 ft. min.
Rear	15.7 ft.	81.3 ft.	15 ft. min.
Side (left)	10.1 ft.	5.8 ft.	10 ft. min.
Side (right)	10.4 ft.	15.6 ft.	10 ft. min.
Building coverage	2,178.0 sf 28.6 %	1,881.0 sf 24.7 %	2,287.8 sf max. 30.0 % max.
FAR (Floor Area Ratio)	3,394.0 sf 44.5 %	1,268.0 sf 16.6 %	3,431.7 sf max. 45.0 % max.
Landscaping	4,463.5 sf 58.5 %	4,945.0 sf 64.8 %	3,813.0 sf min. 50.0 % min.
Driveways and Open Parking Areas	984.5 sf 12.9 %	800.0 sf 10.4 %	1,525.2 sf max. 20.0 % max.
Square footage by floor	Front Unit (#1) 852.6 sf/1st 862.1 sf/2nd 223.1 sf/det. gar. 98.9 sf/porch Rear Unit (#2) 744.3 sf/1st 935.0 sf/2nd 217.4 sf/att. gar. 41.7 sf/porch	1,059.0 sf/1st 613.0 sf/garage 209.0 sf/shed	
Square footage of buildings	3,975.1 sf	1,881.0 sf	
Building height	29.4 ft.	17.5 ft.	35 ft. max.
Parking	2 covered, 2 uncovered	2 covered	1 covered/1 uncovered per unit
Note: Areas shown highlighted indicate a nonconforming or substandard situation.			

Trees	Heritage trees*	5	Non-Heritage trees*	14	New Trees	2
	Heritage trees proposed for removal	0	Non-Heritage trees proposed for removal	8	Total Number of Trees*	13

\*Includes trees on neighboring properties.

Tree Species	DBH	CON	HT/SP	Comments
London plane	18.1	60	45.00	Fair vigor, fair form, suppressed, to post at 19 feet, crown reduction proposed to post at 18 feet, crown reduction proposed to post at 17 feet, crown reduction to trunk, street view. <b>10' (min diameter) 13' (min)</b>
Privet	3.0	30	15.00	Fair vigor, fair form, suppressed.
Coast live oak	5.0	30	20.15	Fair vigor, fair form, suppressed, to post for vertical growth, good canopy.
White oak	10.0	60	12.12	Poor vigor, poor form, suppressed at deckline. <b>Proposed for removal</b>
Coast live oak	3.0	30	18.00	Good vigor, fair form, posted, show form and line to post, close to existing form. <b>10' (min diameter) 13' (min)</b>
Coast live oak	4.0	30	15.12	Fair vigor, poor form, suppressed, to post for vertical growth, good canopy.
Coast live oak	4.0	30	15.12	Fair vigor, poor form, suppressed, to post for vertical growth, good canopy.
Coast live oak	5.0	43	20.15	Fair vigor, poor form, suppressed, to post at 19 feet, good canopy, suppressed.
Canary island palm	2.0	10	16.00	Fair vigor, poor form, crown overhanging canopy, suppressed, poor location.
Blackwood	4.0	43	15.10	Poor to fair vigor, poor form, crown overhanging canopy, poor canopy, top of tree a little bit rough around.
Plane	10.0	60	12.12	Poor to poor vigor, poor form, crown overhanging canopy, suppressed. <b>Proposed for removal</b>
London plane	9.0	60	20.15	Fair vigor, poor form, heavy shade at base, topped. <b>Proposed for removal</b>
London plane	10.0	60	20.15	Fair vigor, poor form, heavy shade at base, topped. <b>Proposed for removal</b>

Tree Species	DBH	CON	HT/SP	Comments
Orange	4.2	30	10.10	Fair vigor, poor form, heavy shade. <b>Proposed for removal</b>
Orange	1.1	60	3.0	Good vigor, fair form, crown overhanging canopy. <b>Proposed for removal</b>
Privet	2.0	30	20.15	UCAD
Apple	6.4	30	10.10	Fair vigor, poor form, heavy shade at base. <b>Proposed for removal</b>
Coast live oak	1.0	70	35.10	Good vigor, fair form, crown overhanging canopy. <b>10' (min diameter) 13' (min)</b>
Legum	1.0	50	20.10	Fair vigor, fair form.
Mixed hedge	4.0	30	7.0	Fair vigor, fair form, heavy shade. <b>Proposed for removal</b>

### SHEET INDEX

A-1	SITE PLAN
A-2	ARBORIST REPORT
A-3	ARBORIST REPORT
A-5	AREA PLAN
A-2	EXISTING FLOOR PLAN, ELEVATIONS
A-3	UNIT #1 FLOOR PLANS
A-4	UNIT #1 ELEVATIONS
A-5	UNIT #1 SECTIONS
A-6	UNIT #2 FLOOR PLANS
A-7	UNIT #2 ELEVATIONS
A-8	UNIT #2 SECTIONS, ROOF PLAN
A-9	AREA CALCULATIONS
L-1	LANDSCAPE PLAN
TM-1	TENTATIVE PARCEL MAP
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TM-3	LAYOUT PLAN
TM-4	GRADING & DRAINAGE PLAN
TM-5	UTILITY PLAN
BMP	BEST MANAGEMENT PRACTICES



VICINITY MAP

A.P.N.: 071 - 272 - 130  
 ZONING: R - 3  
 LOT SIZE: 7,625.75 S.F.

EXISTING HOUSE: 1,059 S.F.  
 GARAGE: 615 S.F.  
 SHED: 209 S.F.

	FIRST FLOOR:	SECOND FLOOR:	TOTAL:
UNIT #1:	863 S.F.	861 S.F.	1,724 S.F.
UNIT #2:	744 S.F.	936 S.F.	1,680 S.F.
TOTAL:	1,507 S.F.	1,797 S.F.	3,304 S.F.

GARAGE (ATTACHED): 223 S.F.  
 GARAGE (DETACHED): 217 S.F.  
 GARAGES = 440.41  
 PORCHES = 141

DRIVEWAYS ALLOWED: 7,625.75 x 20 = 1,525 S.F.  
 PROPOSED: 1,969 / 2 = 984.5 S.F. = 12.9%

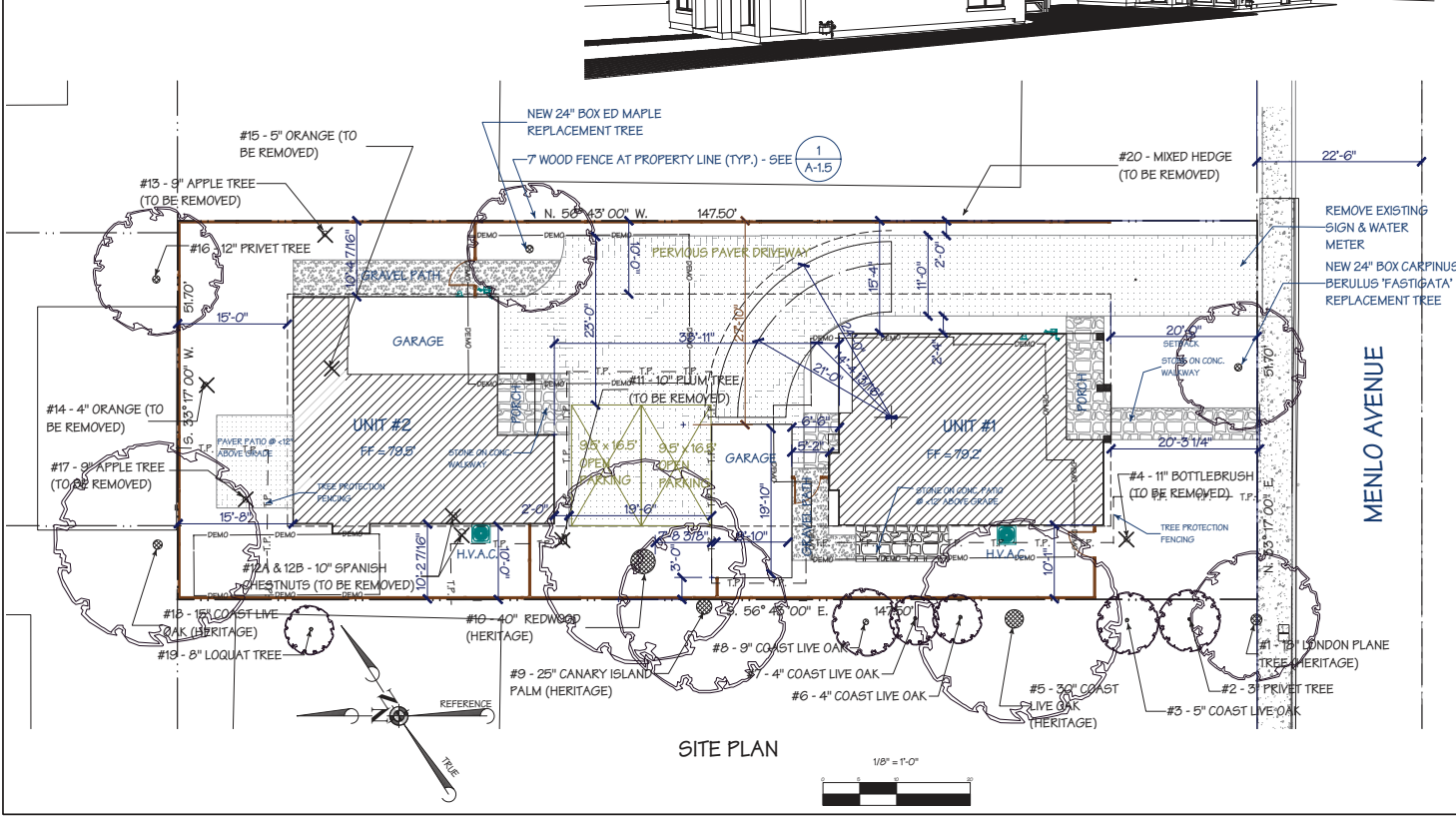
LOT COV. ALLOWED: 7,625.75 x 30 = 2,287 S.F.  
 PROPOSED: 1,624 + 581 = 2,205 = 28.9%

F.A.R. ALLOWED: 7,625.75 x .45 = 3,431 S.F.  
 PROPOSED: 3,428 + 44.9%

TYPE OF CONSTRUCTION: VB  
 OCCUPANCY GROUP: R-3, U

THIS PROJECT SHALL COMPLY WITH 2016 CBC, CRC, CMC, CFC, CEC, CFC, CAL GREEN, CAL ENERGY CODE, AND LOCAL ORD.

DATE: 2-28-18  
 SCALE: 1" = 10'-0"  
 DRAWN: RAH  
 JOB: 17-026  
 SHEET: A-1



REVISIONS	BY
PLANNING 1-5-18	
PLANNING 1-28-18	
PLANNING 2-8-18	

**HOMETEC**  
 ARCHITECTURE, INC.  
 RICHARD A. HARTMAN  
 AIA  
 480.995.6506  
 rhartman@hometec.com

TWO NEW HOMES FOR:  
**MR. SEAN AMIRI**  
 9666 MENLO AVENUE, MENLO PARK, CA. 94025

Date: 2-28-18  
 Scale: 1" = 10'-0"  
 Drawn: RAH  
 Job: 17-026  
 Sheet: A-1 of 2





966 Menlo Ave 12/4/19

(10)

reduce the need to irrigate this area. This may also be recommended by the drip water fed into with 100 gallons of clear water with a well balanced fertilizer to be used at May. The driveway construction is recommended to take place at the end of the project, so that tree protection fencing can be placed at 30 feet from the tree where possible during construction of the home. This way potential construction impacts from equipment and foot traffic will be reduced. When it is time to start the driveway work the Project Arborist shall be notified so the site to witness the moving of the tree protection lines to allow the work to take place. This will also be a reminder to the contractor to have the Project Arborist on site during the excavation for the driveway. Tree protection fencing during the driveway construction must be placed as close as possible to the proposed driveway edge and not to 30 feet from the tree where possible. Review in a diagram showing the recommended construction of the driveway using the final Grading.

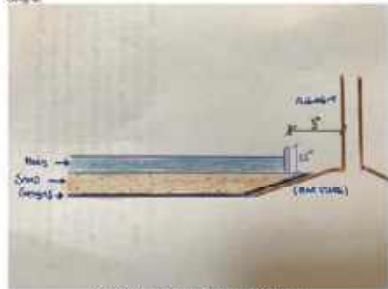


Diagram showing driveway construction method

966 Menlo Ave 12/8/19

(11)

**Approval:**  
It is the contractor's responsibility to contact the site address when work is to take place within 10 feet of the diameter of a protected tree on site. Early Arborist Services can be reached by email at [info@earlyarborists.com](mailto:info@earlyarborists.com) or by phone at (850) 515-9743. (R19071) In addition to monitoring construction activities within 10 times the diameter of a protected tree on site, a monthly monitoring report has been required by the city of Menlo Park. A report is to be submitted to the Building Department after each site visit. These site visits will be made to witness tree conditions and performance. These inspections will be taking place the first week of each month for the duration of construction. The contractor must notify the Project Arborist when construction is to start.

The information contained in this report is believed to be true and based on correct observations, photographs and practices.

Stanislav, Kevin R. Kelly Certified Arborist W1264704

966 Menlo Ave 12/8/19

(12)

The proposed garage for site #1 is located 7' from redwood tree #18. The proposed garage should be located on top of a pier and grade beam foundation with a grade beam depth set to extend 6 inches into surrounding grade, in order to reduce impact to the tree as much as possible. An appropriate trench should first be done at the proposed garage foundation location to determine if there are any roots in the area. All excavations for the proposed garage first need to be done by hand. All excavated roots will need to be exposed and remain damage free for the Project Arborist to view. Shuts will need to be stopped on both ends of the trench by spring down the trench multiple times until no more roots are discovered. If roots for the proposed garage shall cut without the Project Arborist's consent. Support to the side and over from the proposed garage are required to be extra. The recommended irrigation and drip water testing for the redwood tree shall act as mitigation measures for the tree. Once architectural plans have been approved, structural plans will then be made. Structural plans will need to be reviewed by the Project Arborist.

The utility line locations have been marked to be further away from redwood tree #18. The only line to close proximity to the redwood tree is a drainage line located 10 feet from the tree at the skid point. This line shall be supported by hand in combination with an air spade once within 12 feet of the redwood tree. All excavated roots shall remain no damage free as possible. This line will need to be placed below or between the trench to ensure no damage to the tree. The same will need to be determined by the Project Arborist. Exposed roots will need to be supported by hand and kept moist during the work to reduce risk of root desiccation. Support will be required for the entire. The excavated and supported and drip water fertirrigation will act as mitigation for the tree exposure.

The existing steel main right-of-way street for site #18 is to be abandoned. Therefore, engineering must be done for any trees or possible when determining the steel where the steel has been abandoned tree protection fencing must be installed at a distance of 12 feet from the tree where possible. All work for the segmented work near this tree shall be done by hand where within 1) tree main exposure. An excavation must be done. Impact roots may be exposed to be removed. The following tree protection plan will help to ensure the future survival of the trees to be retained.

**Tree Protection Plan:**

**Tree Protection Zones:**

Tree protection zones should be installed and maintained throughout the entire length of the project. Fencing for tree protection zones should be 4' high clear bulk material supported by metal 2" diameter posts, placed into the ground to a depth of no less than 2'. The location for the protective fencing for the protected trees on site should be placed at 30 times the tree diameter where possible. Where not possible because of approved proposed work or existing landscapes, the tree protection fencing shall be placed at the edge of the proposed work or landscapes. No equipment or materials shall be stored or cleaned inside the protection zones. Areas where tree protection fencing needs to be removed for access, should be enclosed with 4" of green wood chips with 1/2 inch plywood on top. The plywood boards should be attached together in order to minimize soil erosion. The spreading of 4 chips will help to reduce compaction

966 Menlo Ave 12/8/19

(13)

and improve soil structure. All tree protection systems must be installed prior to any demolition or construction activity at the site. Below is a diagram showing the recommended tree protection fencing locations for the heritage trees on site during the demolition phase of the project. All new heritage trees to be retained are recommended to be protected with fencing placed at the tree diameter.



Highlighted areas represent areas to be fenced off by tree protection fencing for the protected trees on site during construction.

Below is a diagram showing the recommended tree protection fencing locations during the construction phase of the project. Some of the trees present in fencing areas are located where proposed work will be taking place such as the driveway. The driveway is to be built at the end of the project so that the redwood tree can be fully protected during the construction of the home. It is advised for a reminder to contact the Project Arborist to verify new tree protection fencing locations as well as to have the Project Arborist on site during excavation within the tree protection zones.



Highlighted areas represent areas to be fenced off during the construction phase of the project. Any tree protection fencing made to be moved by surface work, the Project Arborist shall be called out to the site.

966 Menlo Ave 12/8/19

(14)

**Landscape Audit:**

Where tree protection does not cover the entire root zone of the tree (30x diameter), or where a smaller tree protection zone is needed for access, a landscape fabric covering of most chips spread to a depth of six inches with plywood or steel plate placement will be placed where that fabric is required to be heavy. The landscape fabric will help to reduce compaction to the unprotected root zone.

**Soil Testing and Loading:**

Any soils to be cut shall be monitored and documented. Large roots (over 2" diameter) or large masses of roots to be cut need to be inspected by the site arborist. The site arborist, at this time, may recommend irrigation or fertirrigation of the soil zone. All root material to be cut should be cut clean with a saw or loggers. Roots to be left exposed for a period of time should be covered with layers of mulch and kept moist.

**Pruning and Excavation:**

Pruning the irrigation channels, electrical or any other lines shall be done by hand when inside the drip line of a protected tree. Hand digging and the careful placement of pipes below or beside protected roots will significantly reduce root loss, thus reducing losses to the tree. All materials shall be backfilled with native materials and compacted to near its original level, so soon as possible. Structures to be left open for a period of time, shall require the covering of all exposed roots with bark and the least amount. The trenches will also need to be covered with plywood to help protect the exposed roots.

**Arboretum:**

Several arborists shall be recommended on this site at all times. The protected trees will require several irrigations. In construction site, 1 recommended irrigation during winter months, 1 time per month. Seasonal rainfall may reduce the need for additional irrigations. During the summer months, April - November, one recommendation is to use heavy irrigation, 2 times per month. One type of irrigation should be used prior to any excavation. The irrigation will improve the vigor and water content of the trees. The on-site arborist may make adjustments to the irrigation recommendations as needed. The foliage of the trees may need cleaning if any birds are nesting. Handweeding close to the foliage will help to reduce white and soot mold infection. Pruning cut trees shall not be brought within their root zones as recommended.

REVISIONS	BY
PLANNING 1-5-18	
PLANNING 5-28-18	
PLANNING 2-9-19	

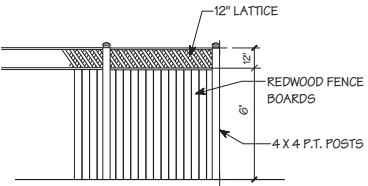
**HOMETEC**  
ARCHITECTURE, INC.  
RICHARD A. HARTMAN  
AIA  
480000408  
rhartman@hometec.com

615 NORTH HURST STREET, SAN JOSE, CA 95112

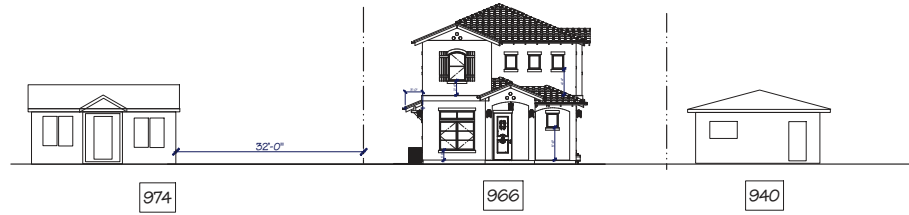
TWO NEW HOMES FOR:  
**MR. SEAN AMIRI**  
966 MENLO AVENUE, MENLO PARK, CA, 94025

Date	2 - 25 - 18
Scale	1/4" = 1'-0"
Drawn	RAH
Job	17-026
Sheet	<b>A-1.3</b>
	of Sheets

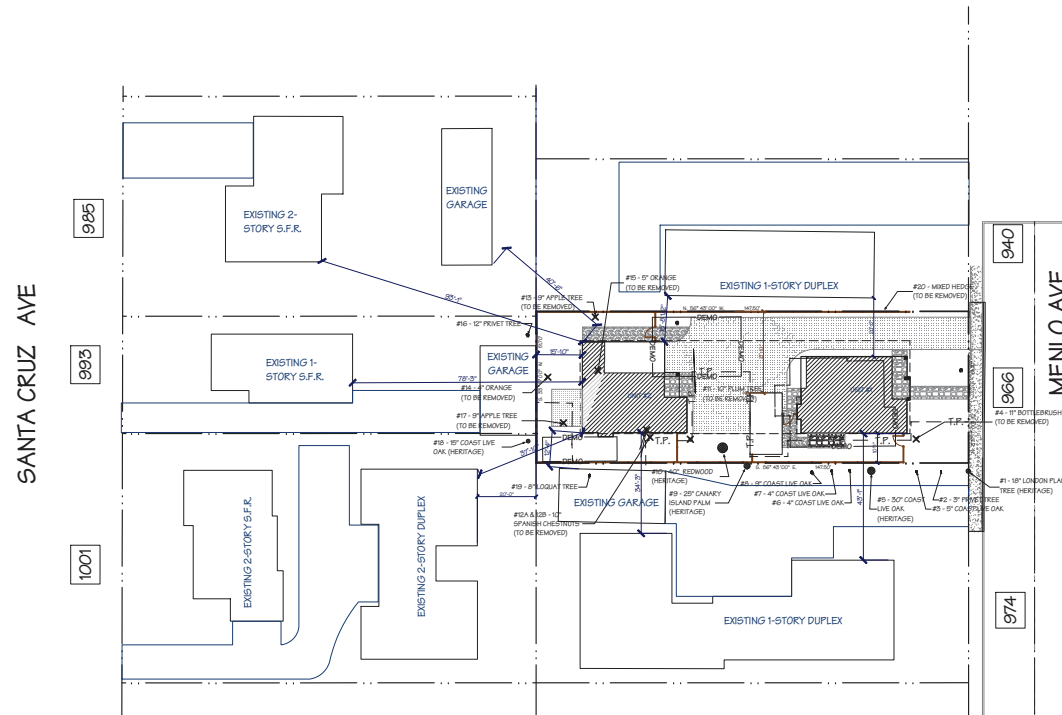
ARBORIST REPORT



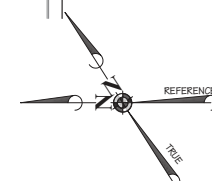
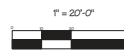
1 TYPICAL WOOD FENCE



STREET SCAPE



AREA PLAN



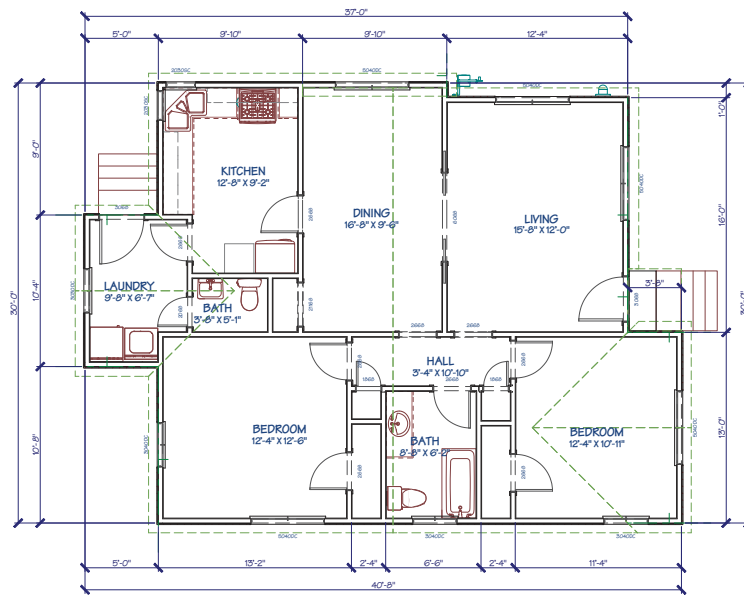
REVISIONS	BY
PLANNING 1-5-18	
PLANNING 1-28-18	
PLANNING 2-9-19	

<b>HOMETEC</b> ARCHITECTURE, INC. 615 NORTH FIRST STREET, SAN JOSE, CA 95112 (408) 995-6100 Home@hometec.com	
RICHARD A. HARTMAN AIA	SEAN AMIRI AIA

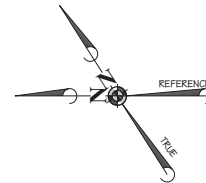
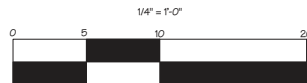
TWO NEW HOMES FOR:  
**MR. SEAN AMIRI**  
 966 MENLO AVENUE, MENLO PARK, CA. 94025

Date	2 - 28 - 18
Scale	NOTED
Drawn	RAH
Job	17-026
Sheet	<b>A-1.5</b>
	of Sheets

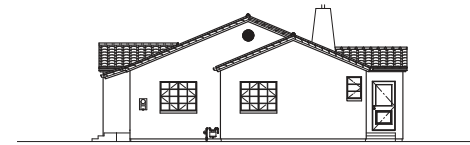


LIVING AREA  
1047 SQ. FT.

EXISTING FLOOR PLAN



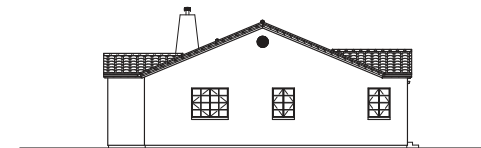
SOUTH ELEVATION  
(FRONT)



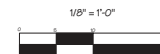
EAST ELEVATION  
(RIGHT SIDE)



NORTH ELEVATION  
(REAR)



WEST ELEVATION  
(LEFT SIDE)



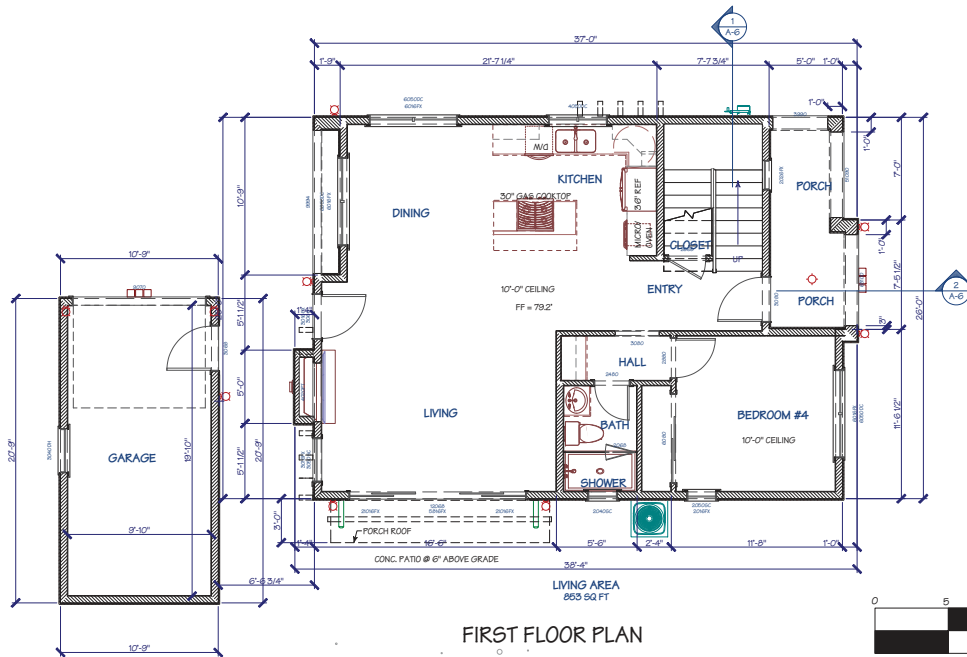
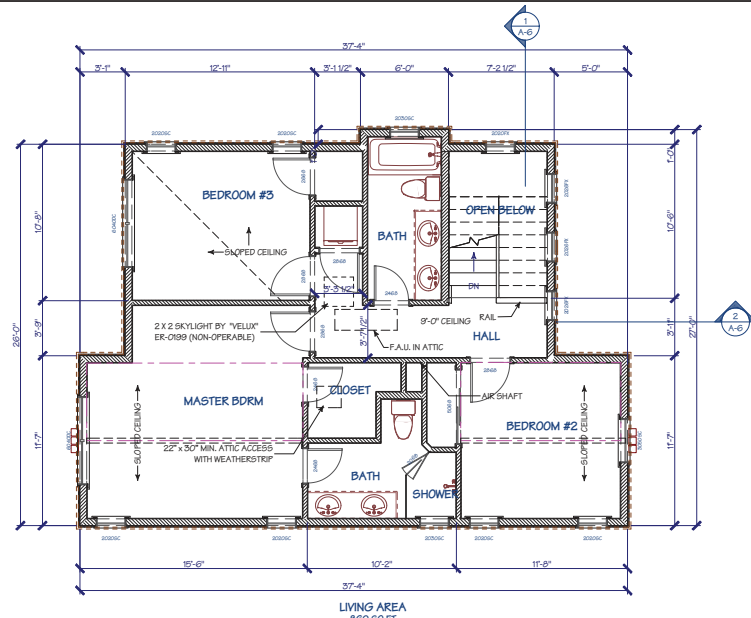
REVISIONS	BY
PLANNING 1-5-18	
PLANNING 3-28-18	
PLANNING 2-9-19	

**HOMETEC**  
ARCHITECTURE, INC.  
615 NORTH FIRST STREET, SAN JOSE, CA 95112  
RICHARD A. HARTMAN  
A.L.A.  
408.995.4206  
Richard@hometec.com

TWO NEW HOMES FOR:  
**MR. SEAN AMIRI**  
966 MENLO AVENUE, MENLO PARK, CA. 94025

Date	2-28-18
Scale	NOTED
Drawn	RAH
Job	17-026
Sheet	A-2

of Sheets



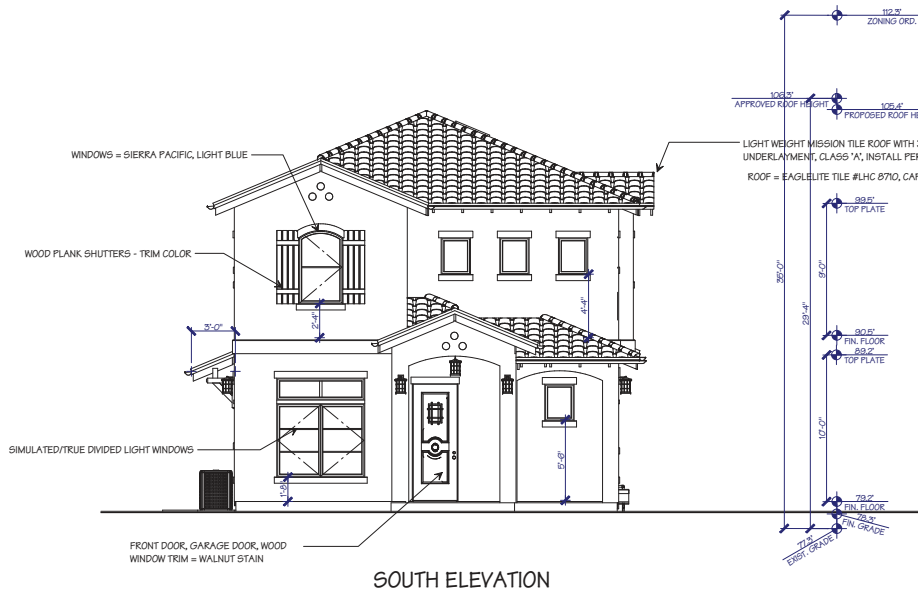
PROPOSED UNIT #1

REVISIONS	BY
PLANNING 11-5-18	
PLANNING 1-28-19	
PLANNING 2-8-19	

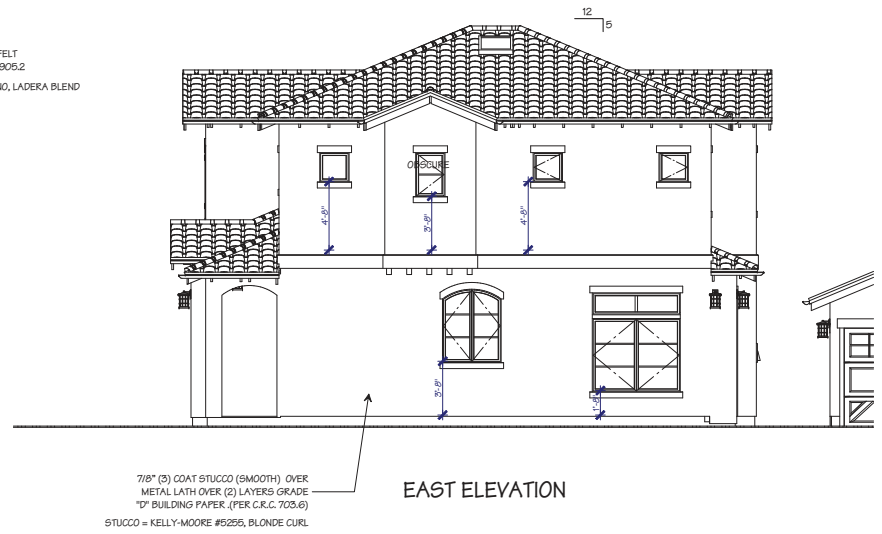
**HOMETEC**  
ARCHITECTURE, INC.  
615 NORTH FIRST STREET, SAN JOSE, CA 95112  
RICHARD A. HARTMAN  
AIA  
408.995.4506  
Richard.A.Hartman@hometec.com

TWO NEW HOMES FOR:  
**MR. SEAN AMIRI**  
966 MENLO AVENUE, MENLO PARK, CA. 94025

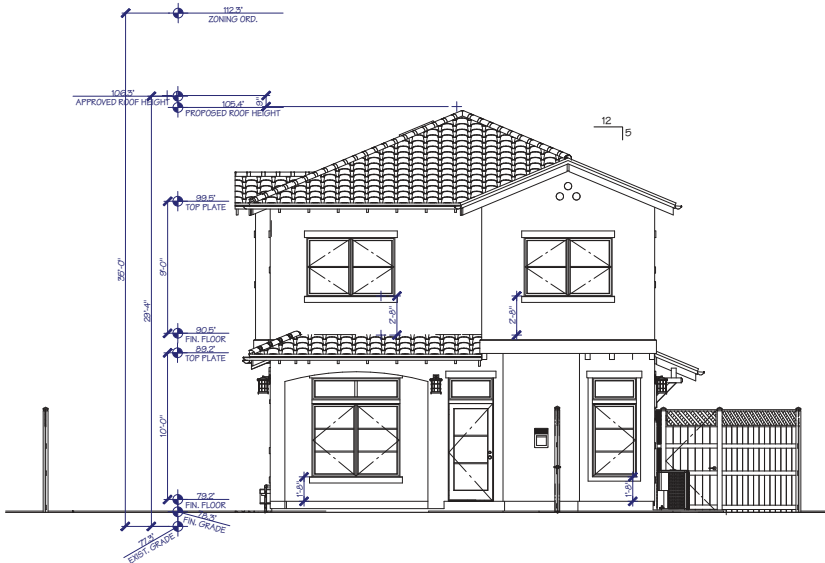
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Scale	1/4" = 1'-0"
Drawn	RAH
Job	17-026
Sheet	A-3
	of 3 Sheets



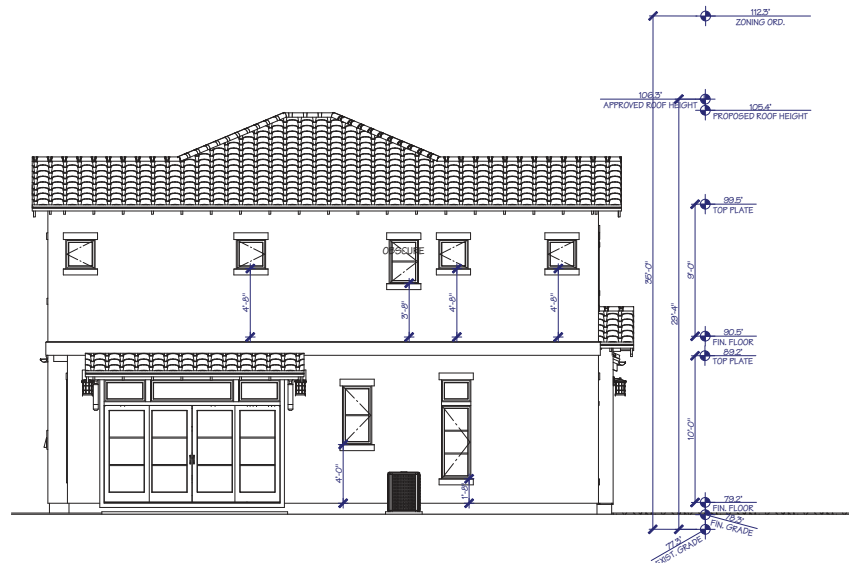
SOUTH ELEVATION



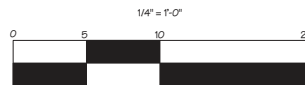
EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION



PROPOSED UNIT #1

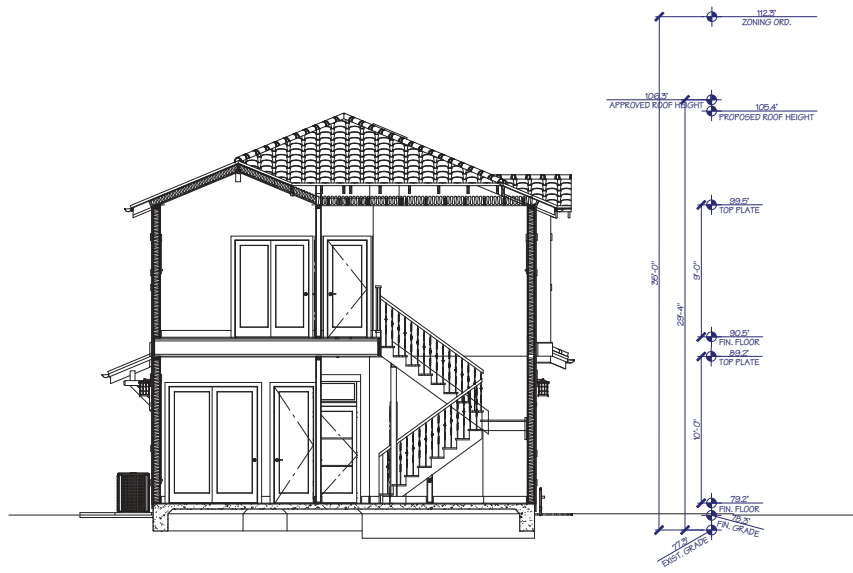
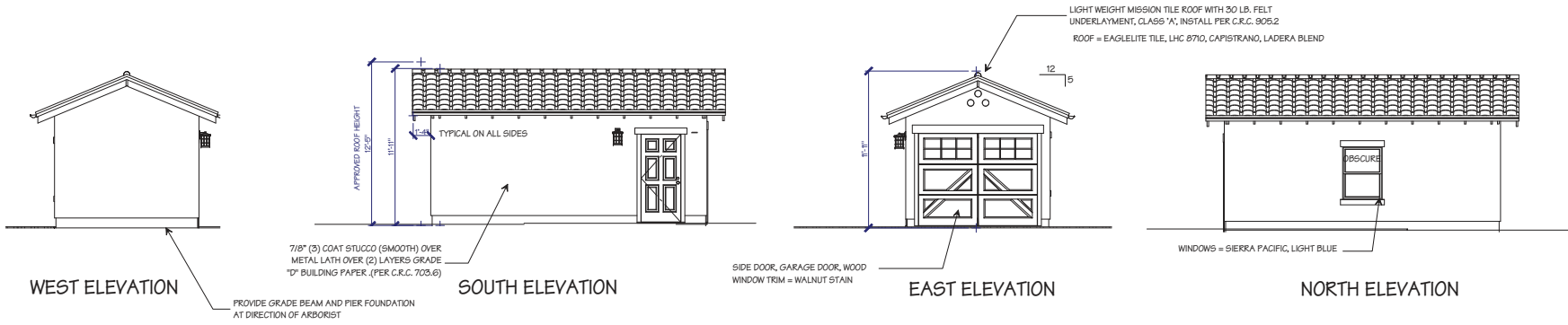
REVISIONS	BY
PLANNING 1-5-18	
PLANNING 1-29-18	
PLANNING 2-9-19	

**HOMETEC**  
ARCHITECTURE, INC.  
615 NORTH FIRST STREET, SAN JOSE, CA 95112

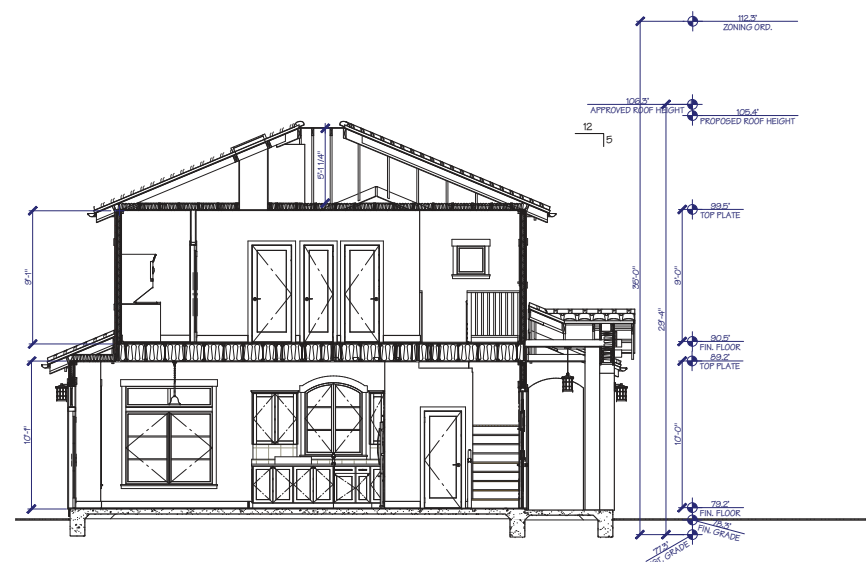
RICHARD A. HARTMAN  
A.L.A.  
ARCHITECT  
BUSINESS DEVELOPER

TWO NEW HOMES FOR:  
**MR. SEAN AMIRI**  
966 MENLO AVENUE, MENLO PARK, CA. 94025

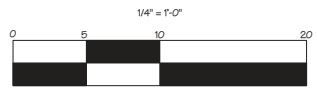
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Scale	1/4" = 1'-0"
Drawn	RAH
Job	17-026
Sheet	<b>A-4</b>
of	Sheets



① SECTION



② SECTION



REVISIONS	BY
PLANNING 1-5-18	
PLANNING 1-28-18	
PLANNING 2-8-18	

**HOMETEC**  
 ARCHITECTURE, INC.  
 615 NORTH FIRST STREET, SAN JOSE, CA 95112  
 RICHARD A. HARTMAN  
 A.L.A.  
 408.935.4508  
 richard@hometec.com

TWO NEW HOMES FOR:  
**MR. SEAN AMIRI**  
 966 MENLO AVENUE, MENLO PARK, CA. 94025

Date	2-28-18
Scale	1/4" = 1'-0"
Drawn	RAH
Job	17-026
Sheet	A-5
of	Sheets

PROPOSED UNIT #1

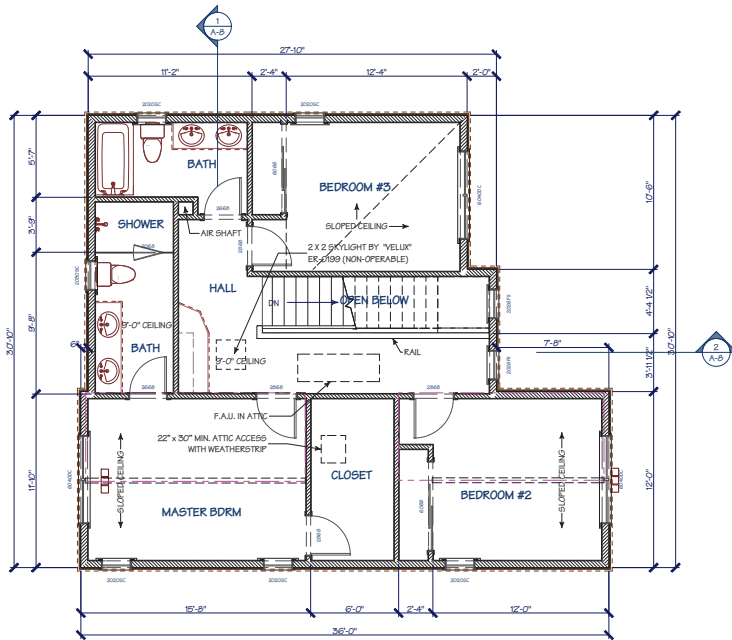


REVISIONS	BY
PLANNING 11-5-18	
PLANNING 1-28-19	
PLANNING 2-8-19	

**HOMETEC**  
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 615 NORTH FIRST STREET, SAN JOSE, CA 95112  
 RICHARD A. HARTMAN  
 AIA  
 408.995.4508  
 richard@hometec.com

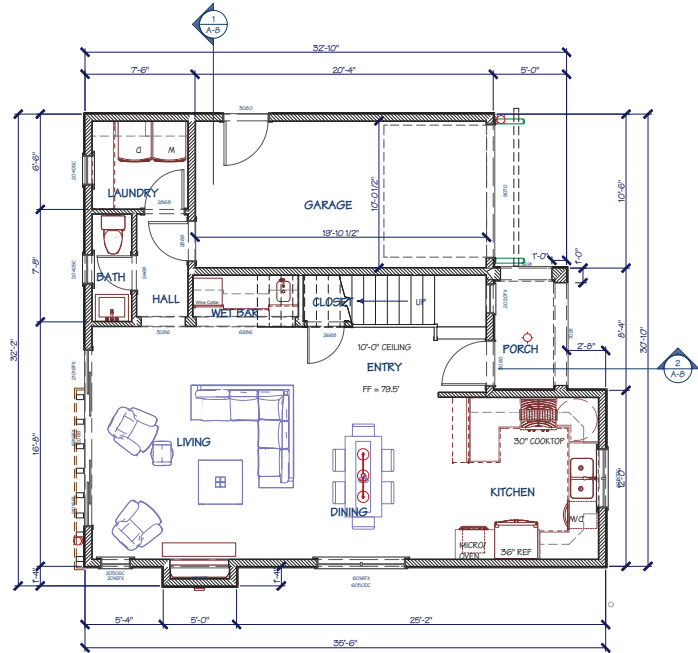
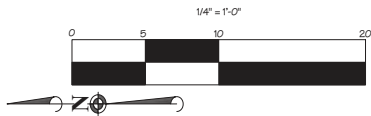
TWO NEW HOMES FOR:  
**MR. SEAN AMIRI**  
 966 MENLO AVENUE, MENLO PARK, CA. 94025

Date	2-28-18
Scale	1/4" = 1'-0"
Drawn	RAH
Job	17-026
Sheet	A-6
of	Sheets



LIVING AREA  
 936 SQ FT

SECOND FLOOR PLAN

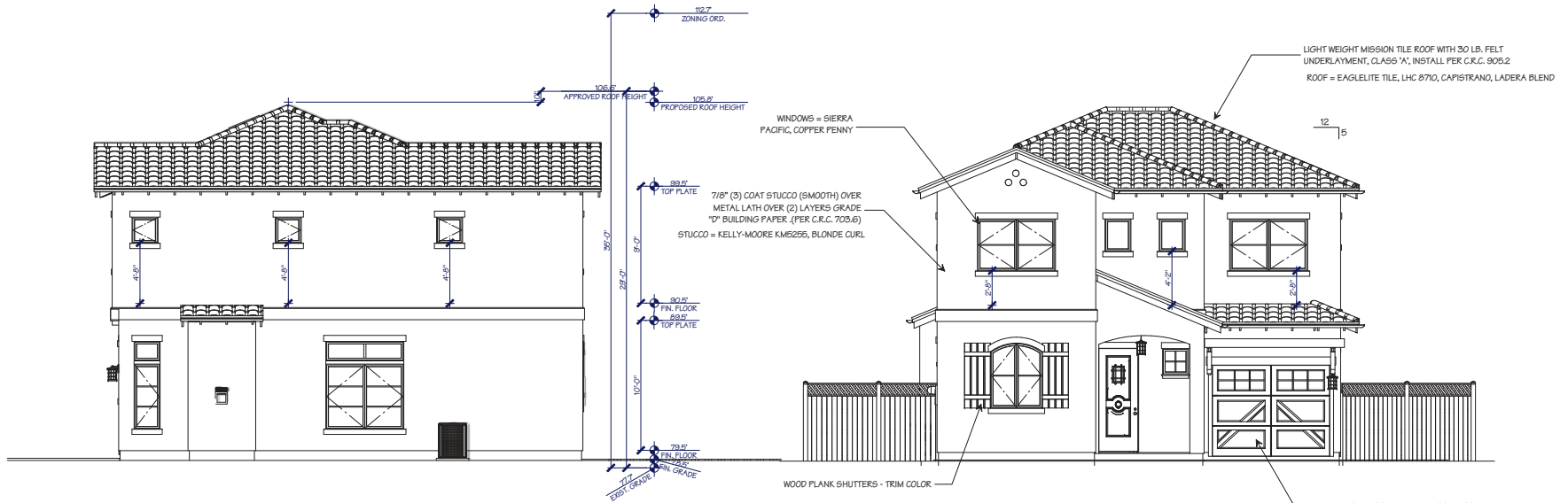


LIVING AREA  
 743 SQ FT

FIRST FLOOR PLAN

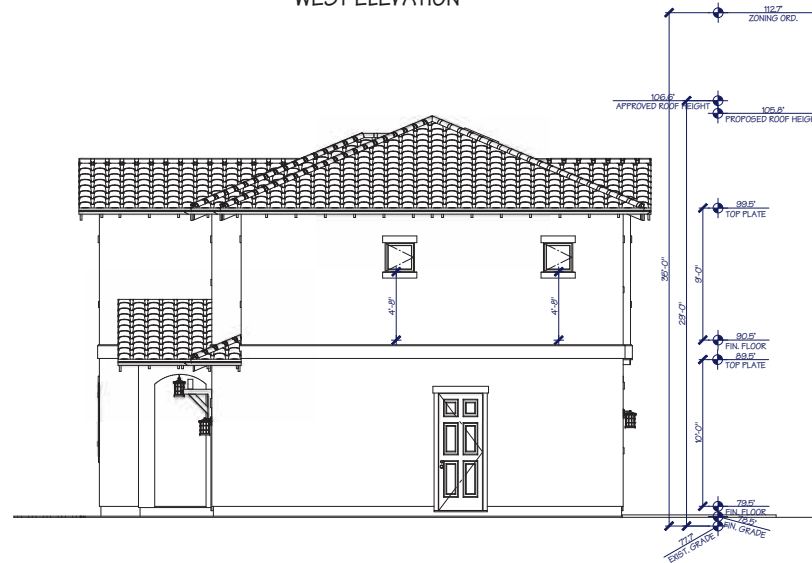
PROPOSED UNIT #2



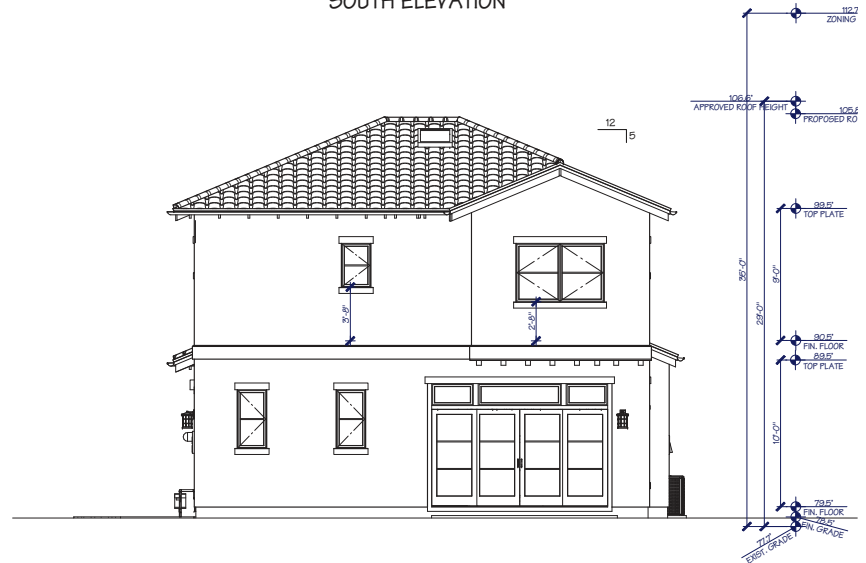


WEST ELEVATION

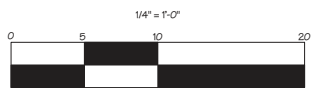
SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION

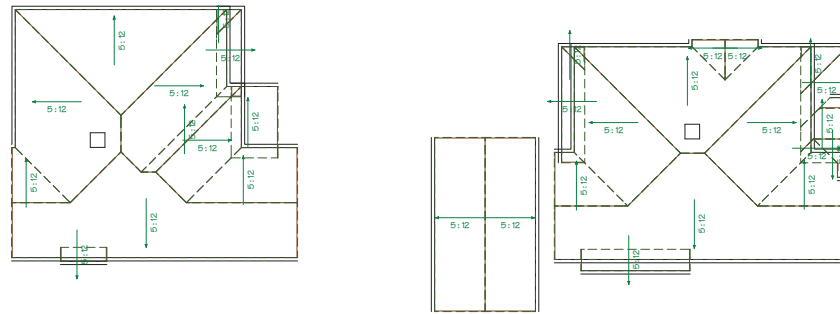


PROPOSED UNIT #2

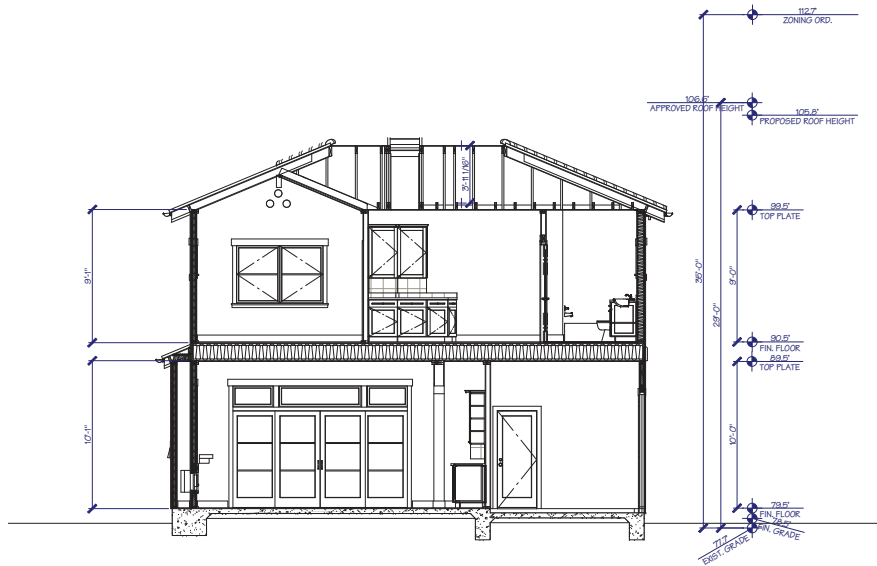
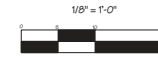
REVISIONS	BY
PLANNING 11-5-18	
PLANNING 1-28-19	
PLANNING 2-8-19	

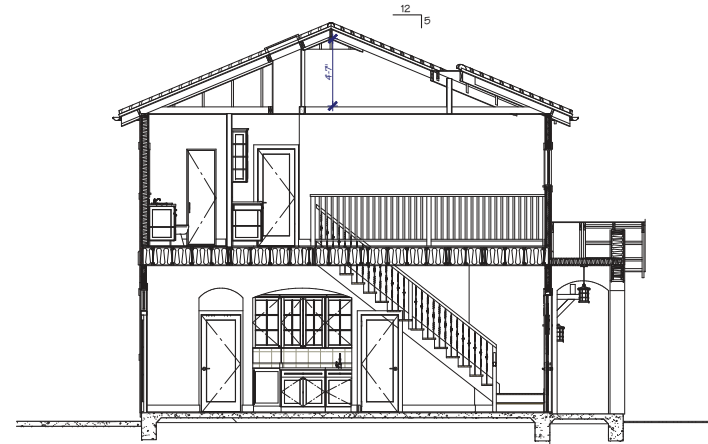
<b>HOMETEC</b> ARCHITECTURE, INC. 415 NORTH FIRST STREET, SAN JOSE, CA 95112 408.995.4508 Home@hometec.com	
TWO NEW HOMES FOR: <b>MR. SEAN AMIRI</b> 966 MENLO AVENUE, MENLO PARK, CA. 94025	
Date	2-28-18
Scale	1/4" = 1'-0"
Drawn	RAH
Job	17-026
Sheet	A-7
of	Sheets



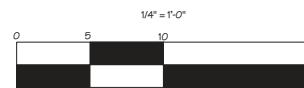
ROOF PLAN



① SECTION



② SECTION



PROPOSED UNIT #2

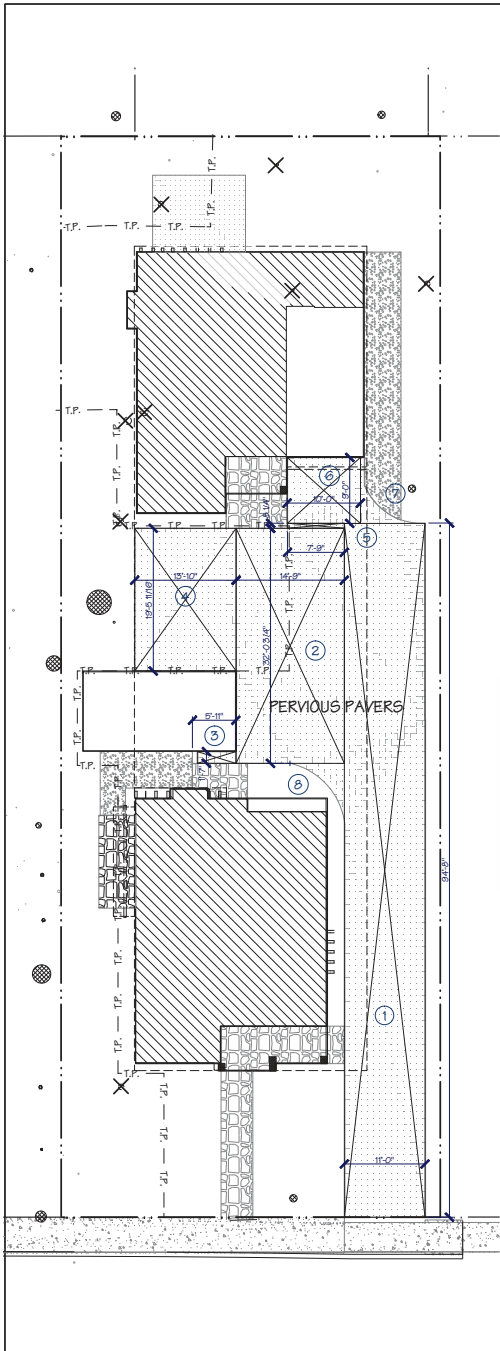
REVISIONS	BY
PLANNING 1-5-18	
PLANNING 3-28-18	
PLANNING 2-8-19	

**HOMETEC**  
ARCHITECTURE, INC.  
615 NORTH FIRST STREET, SAN JOSE, CA 95112  
RICHARD A. HARTMAN  
AIA  
408.995.4206  
Richard.Hartman@hometec.com

TWO NEW HOMES FOR:  
**MR. SEAN AMIRI**  
966 MENLO AVENUE, MENLO PARK, CA. 94025

Date	2-25-18
Scale	1/4" = 1'-0"
Drawn	KAH
Job	17-026
Sheet	

**A-8**  
of Sheets

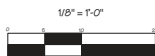


**DRIVEWAY COVERAGE CALCULATION**

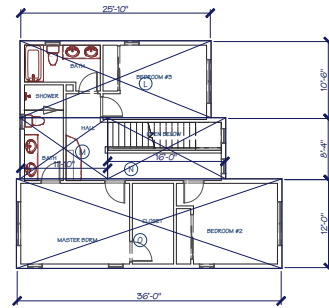
SPACE	DSM	DIM	AREA	AREA/2	TOTAL
1	98.66	11.03	1091.36	545.68	545.68
2	32.01	14.92	477.13	238.57	238.57
3	32.59	3.29	107.33	53.67	53.67
4	32.42	13.86	448.17	224.09	224.09
5	5.08	7.29	37.14	18.57	18.57
6	0.02	18.23	36.46	18.23	18.23
7	32.56	3.44	112.09	56.05	56.05
8	32.08	34.96	1122.88	561.44	561.44
<b>GRAND TOTAL</b>					<b>1597.00</b>

DRIVEWAYS = 1,969 X .5 = 984.5 (PERVIOUS PAVERS)  
 FIRST FLOOR = 1,597  
 GARAGES = 440.41  
 PORCHES = 141

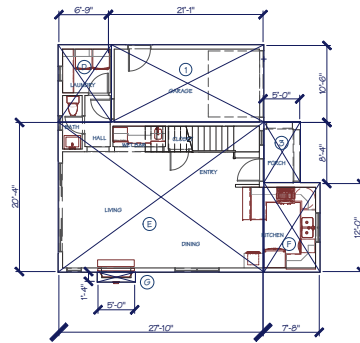
LOT SIZE: 7,625.75 S.F.  
 DRIVEWAYS: 984.5 = 12.9%  
 BUILDING COVERAGE: 1,597 + 581 = 2,178 = 28.5%  
 LANDSCAPE: 3,478.75 + 984.5 = 4,463.25 = 58.5%



SITE AREA CALCULATIONS



2nd FLOOR

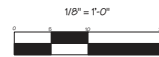


1st FLOOR  
UNIT #2

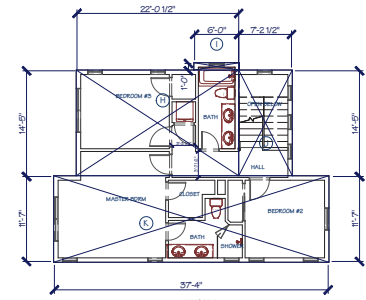
**GARAGE, PORCHES & P.A. CALCULATION**

SPACE	DSM	DIM	AREA	AREA/2	TOTAL
1	32.29	18.50	597.35	298.68	298.68
2	32.29	32.76	1067.08	533.54	533.54
3	3.00	8.33	25.00	12.50	12.50
4	9.18	3.33	30.60	15.30	15.30
5	9.09	7.41	67.35	33.68	33.68
6	1.75	34.76	60.83	30.42	30.42
<b>GRAND TOTAL</b>					<b>440.41</b>

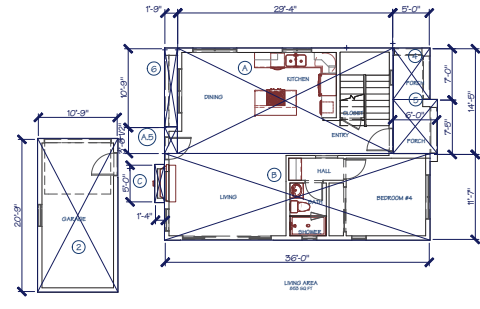
GARAGES = 440.41  
 PORCHES = 141



GROSS FLOOR AREA CALCULATIONS



2nd FLOOR



1st FLOOR  
UNIT #1

**2nd FLOOR G.F.A. CALCULATION**

SPACE	DSM	DIM	AREA	AREA/2	TOTAL
A	32.04	14.23	456.09	228.05	228.05
B	4.50	1.00	4.50	2.25	2.25
C	7.37	14.43	106.33	53.17	53.17
D	17.49	11.59	201.29	100.65	100.65
E	23.88	10.76	256.78	128.39	128.39
F	11.83	6.13	72.54	36.27	36.27
G	19.09	8.13	155.29	77.65	77.65
H	18.03	11.88	214.27	107.14	107.14
<b>GRAND TOTAL</b>					<b>1797.12</b>

1st FLOOR = 1,596.84 S.F.

2nd FLOOR = 1,797.12 S.F.

TOTAL = 3,393.96 S.F.

**1st FLOOR G.F.A. CALCULATION**

SPACE	DSM	DIM	AREA	AREA/2	TOTAL
A	19.43	14.91	289.75	144.88	144.88
B	1.75	3.44	6.01	3.01	3.01
C	18.30	13.58	247.59	123.80	123.80
D	1.23	5.20	6.40	3.20	3.20
E	7.01	10.00	70.10	35.05	35.05
F	17.83	20.13	359.19	179.60	179.60
G	7.00	12.39	86.73	43.37	43.37
H	3.02	1.84	5.55	2.78	2.78
<b>GRAND TOTAL</b>					<b>1596.84</b>

REVISIONS	BY
PLANNING	
1-5-18	
PLANNING	
1-29-18	
PLANNING	
2-9-18	

**HOMETEC**  
 ARCHITECTURE, INC.  
 615 NORTH FIRST STREET, SAN JOSE, CA 95112  
 RICHARD A. HARTMAN  
 AIA  
 408.939.6508  
 Richard.Hartman@hometec.com

TWO NEW HOMES FOR:  
**MR. SEAN AMIRI**  
 9666 MENLO AVENUE, MENLO PARK, CA. 94025

Date 2-25-18  
 Scale 1/4" = 1'-0"  
 Drawn RAH  
 Job 17-026  
 Sheet  
**A-9**  
 of Sheets

REVISIONS	BY



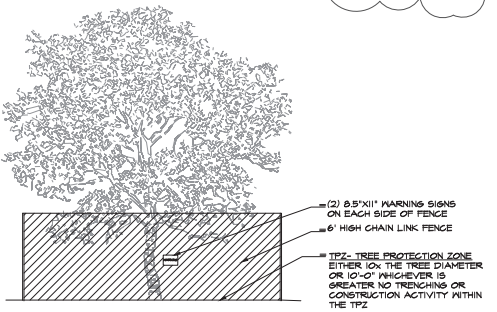
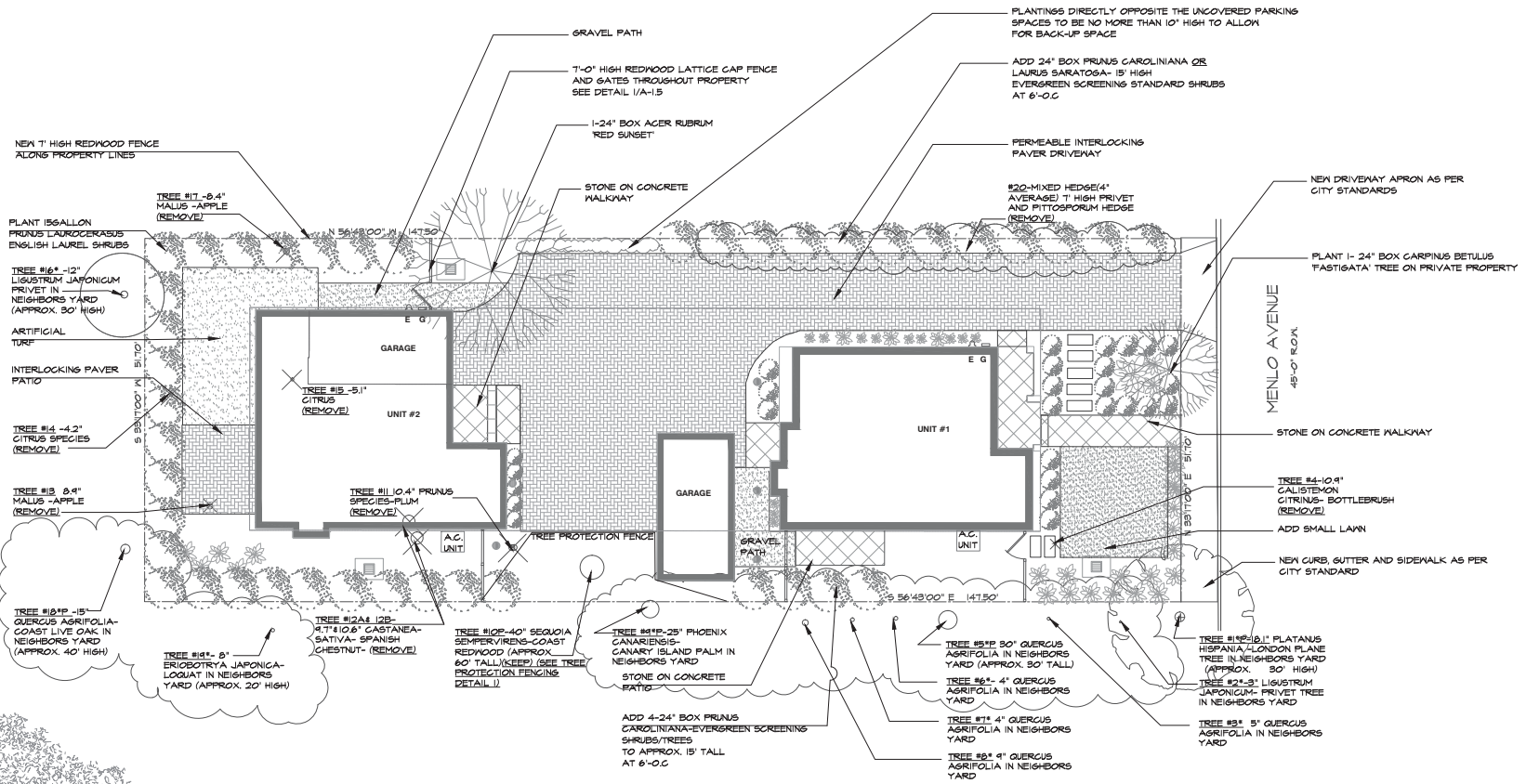
**PRELIMINARY LANDSCAPE PLAN**

TWO NEW HOMES FOR:  
**Mr. SEAN AMIRI**  
**966 MENLO AVE**  
**MENLO PARK, CA 94025**

APN : 071-272-190
DRAWN BY
CHECKED BY
DATE
2/8/19
SCALE
1/8" = 1'-0"
JOB NO.
xxx
SHEET

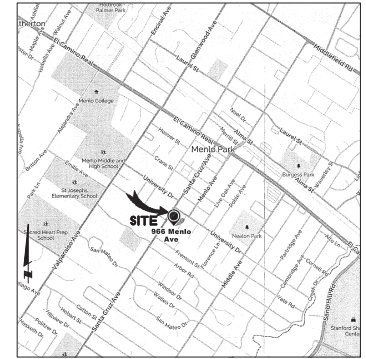
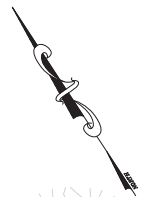
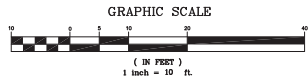
**L-1**

OF SHEETS



**PRELIMINARY LANDSCAPE PLAN**

1/8" = 1'-0"



VICINITY MAP

**PROPERTY OWNER / APPLICANT**

SEAN AMIRI  
 100 WEST HILLSDALE BLVD, SUITE 13  
 SAN MATEO, CA 94403  
 CONTACT: SEAN AMIRI  
 PHONE: 650-560-6885

**EXISTING LOT**

AREA = 7,826.8 SQ.FT.

**UNIT 1**

AREA = 861.184 SQ.FT.

**GARAGE UNIT 1**

AREA = 223.064 SQ.FT.

**PORCH UNIT 1**

AREA = 81.194 SQ.FT.

**UNIT 2**

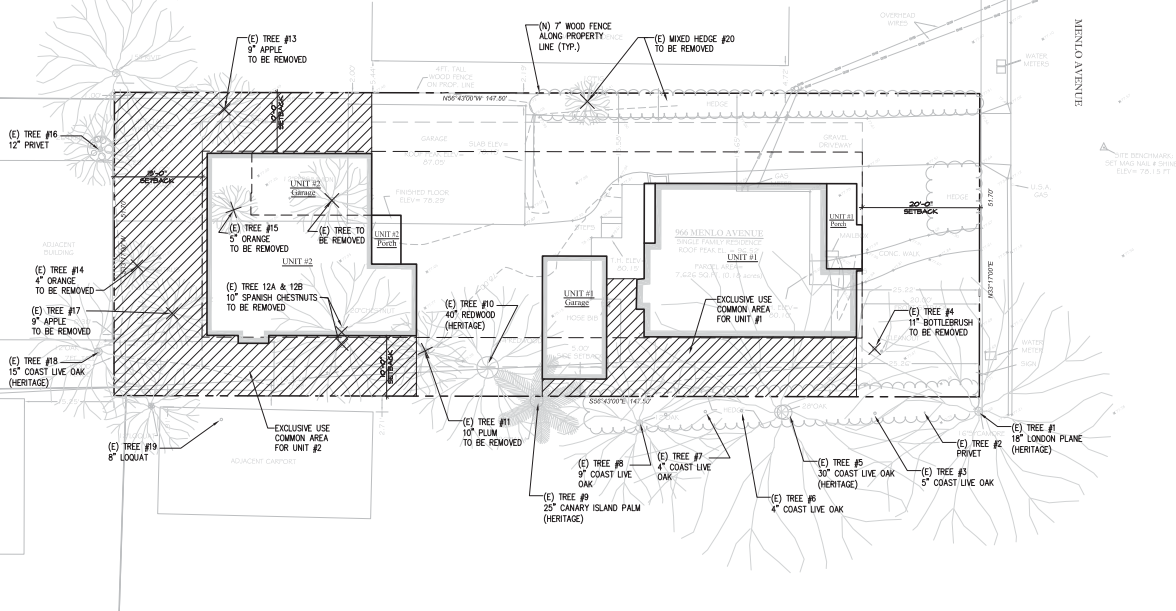
AREA = 961.614 SQ.FT.

**PORCH UNIT 2**

AREA = 41.654 SQ.FT.

**COMMON AREA**

AREA = 5,457.314 SQ.FT.



- LEGEND:**
- ⊙ FOUND SURVEY MONUMENT (AS NOTED)
  - △ SURVEY CONTROL POINT
  - ⊕ FIRE HYDRANT
  - ⊕ JOINT POLE
  - ⊕ POLE ANCHOR
  - ⊕ ASPHALTIC CONCRETE
  - A.C. ASPHALTIC CONCRETE
  - FD FOUND
  - FR FOUND FLOOR
  - INV. INVERT
  - IP IRON PIPE
  - RW RIGHT OF WAY
  - 3/4 AREA LIGHTING
  - SSCO SANITARY SEWER CLEAN-OUT
  - WV WATER VALVE
  - WB WATER METER BOX
  - E- OVERHEAD ELECTRICAL LINE
  - G- GAS LINE
  - SS- SANITARY SEWER LINE

**GAS AND ELECTRIC:**  
 PACIFIC GAS & ELECTRIC  
 270 INDUSTRIAL ROAD  
 SAN CARLOS, CA 94070  
 1-800-743-5000

**GARBAGE:**  
 ALLIED WASTE SERVICE  
 225 SHOREWAY ROAD  
 SAN CARLOS, CA 94070  
 1-800-743-5000

**TELEPHONE:**  
 PACIFIC BELL  
 140 MONTGOMERY STREET  
 SAN FRANCISCO, CA 94104  
 1-800-924-8848

**WATER:**  
 CALIFORNIA WATER SERVICE  
 120 RESERVOIR ROAD  
 ATHERTON, CA 94401  
 650-854-5454

**SANITARY SEWER:**  
 WEST BAY SANITARY DIST.  
 500 LAUREL ST.  
 MENLO PARK, CA 94025  
 650-321-0384

**CABLE:**  
 AT&T  
 1601 EL CAMINO REAL, SUITE 302  
 BELMONT, CA 94002  
 800-824-8848

**FIRE:**  
 MENLO PARK FIRE PROTECTION  
 300 MIDDLEFIELD ROAD  
 MENLO PARK, CA 94025  
 650-888-8400

FOR REFERENCE ONLY

TENTATIVE PARCEL MAP  
 FOR CONDOMINIUM PURPOSES

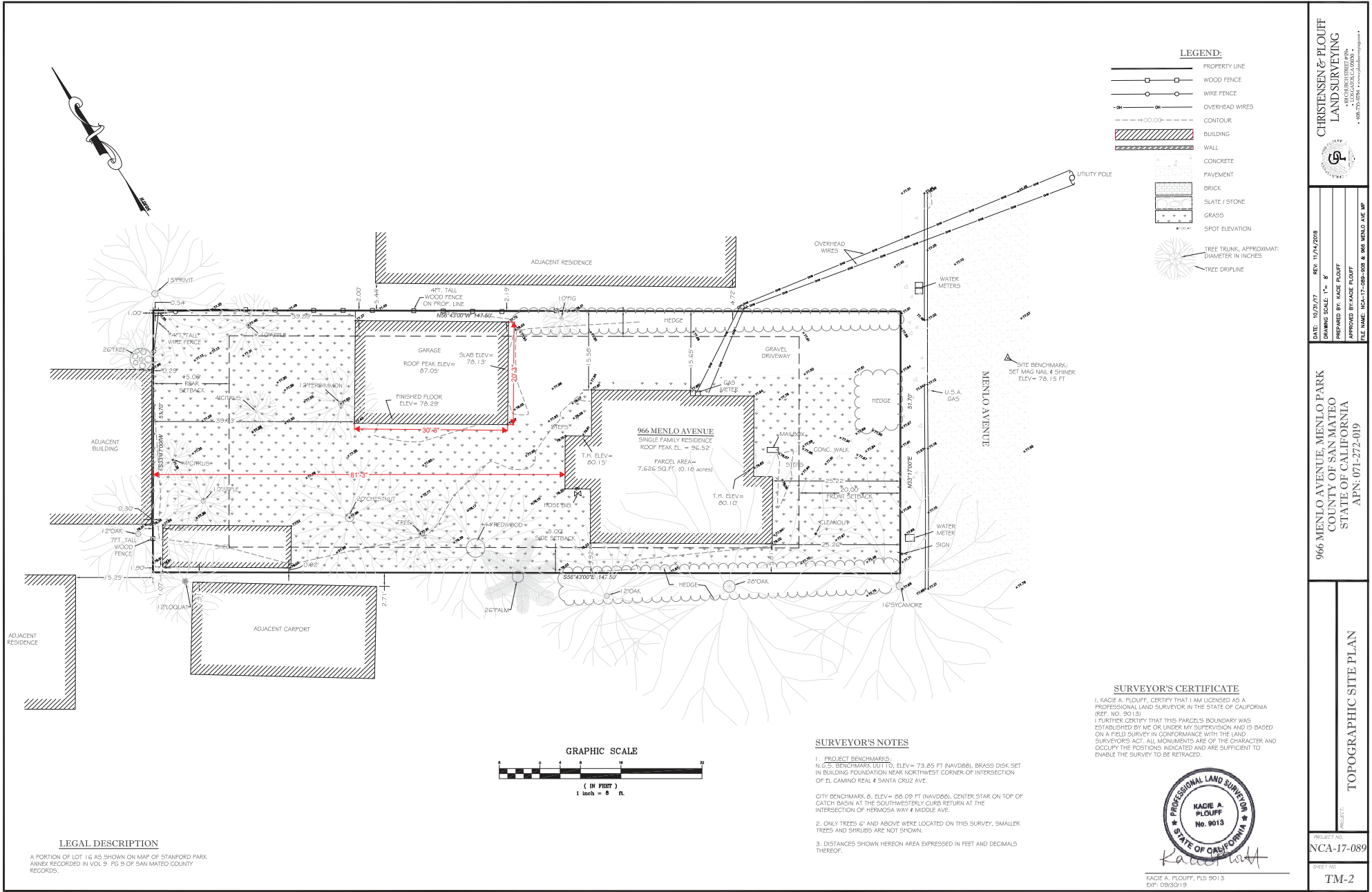
LANDS OF AMIRI  
 BEING A PORTION OF LOTS 16, AS DESIGNATED UPON  
 THE MAP ENTITLED, "STANFORD ANNEX",  
 AS RECORDED IN SAN MATEO COUNTY  
 VOLUME 9 OF MAPS AT PAGE 9  
 ASSESSOR'S PARCEL NUMBER: 071-272-019  
 A.K.A. 966 MENLO AVENUE, MENLO PARK

MENLO PARK SAN MATEO COUNTY CALIFORNIA  
 SCALE: 1" = 10' FEBRUARY 8, 2019



**CLIFFORD BECHTEL AND ASSOCIATES**  
 CLIFFORD BECHTEL, PE  
 801 WALTERS STREET  
 BERKELEY, CA 94702  
 800-333-0103  
 800-837-1098 (FAX)

TM-1



**LEGEND:**

- PROPERTY LINE
- WOOD FENCE
- WIRE FENCE
- OVERHEAD WIRES
- CONTOUR
- BUILDING
- WALL
- CONCRETE
- PAVEMENT
- BRICK
- SLATE / STONE
- GRASS
- SPOT ELEVATION
- TREE TRUNK, APPROXIMATE DIAMETER IN INCHES
- TREE DRIPLINE

**CHRISTENSEN & PLOUFF**  
**LAND SURVEYING**  
 1000 COLLEGE CIRCLE  
 SUITE 200  
 SAN MATEO, CALIFORNIA 94403  
 TEL: 650.755.0000  
 FAX: 650.755.0001

DATE: 10/24/17  
 DRAWING SCALE: 1" = 40'  
 PREPARED BY: KACIE PLOUFF  
 APPROVED BY: KACIE PLOUFF  
 FILE NAME: NCA-17-089-008 & 966 MENLO AVE UP

966 MENLO AVENUE, MENLO PARK  
 COUNTY OF SAN MATEO  
 STATE OF CALIFORNIA  
 APN: 071-272-019

TOPOGRAPHIC SITE PLAN

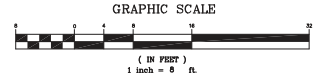
**SURVEYOR'S CERTIFICATE**

I, KACIE A. PLOUFF, CERTIFY THAT I AM LICENSED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF CALIFORNIA (REF. NO. 9013).  
 I FURTHER CERTIFY THAT THIS PARCEL'S BOUNDARY WAS ESTABLISHED BY ME OR UNDER MY SUPERVISION AND IS BASED ON A FIELD SURVEY IN CONFORMANCE WITH THE LAND SURVEYOR'S ACT. ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.



**SURVEYOR'S NOTES**

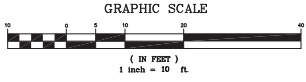
- PROJECT BENCHMARK:  
 N.C.S. BENCHMARK 88110, ELEV = 73.65 FT (NAVD88), BRASS DISK SET IN BUILDING FOUNDATION NEAR NORTHWEST CORNER OF INTERSECTION OF EL CAMINO REAL & SANTA CRUZ AVE.
- CITY BENCHMARK 6, ELEV = 26.09 FT (NAVD88), CENTER STAR ON TOP OF CATCH BASIN AT THE SOUTHWESTERLY CURB RETURN AT THE INTERSECTION OF HERKONA WAY & MIDDLE AVE.
- ONLY TREES 6" AND ABOVE WERE LOCATED ON THIS SURVEY, SMALLER TREES AND SHRUBS ARE NOT SHOWN.
- DISTANCES SHOWN HEREON AREA EXPRESSED IN FEET AND DECIMALS THEREOF.



**LEGAL DESCRIPTION**

A PORTION OF LOT 1 & AS SHOWN ON MAP OF STANFORD PARK ANNEX RECORDED IN VOL. 9, PG. 9 OF SAN MATEO COUNTY RECORDS.

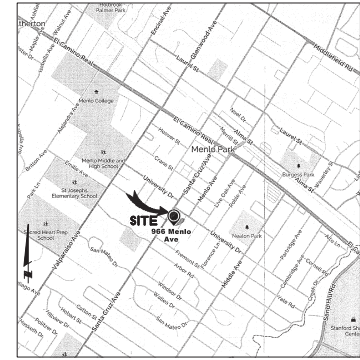
PROJECT NO.  
 NCA-17-089  
 SHEET NO.  
 TM-2



**SURFACE HATCH LEGEND**

[Hatched Pattern]	CONCRETE DRIVEWAY AND CITY SIDEWALK
[Hatched Pattern]	PERMEABLE PAVER (DETAIL 1 THIS SHEET)
[Hatched Pattern]	SITE CONCRETE WALKS & PATIOS
[Hatched Pattern]	ARTIFICIAL TURF
[Hatched Pattern]	LAWN
[Hatched Pattern]	GRAVEL PATH

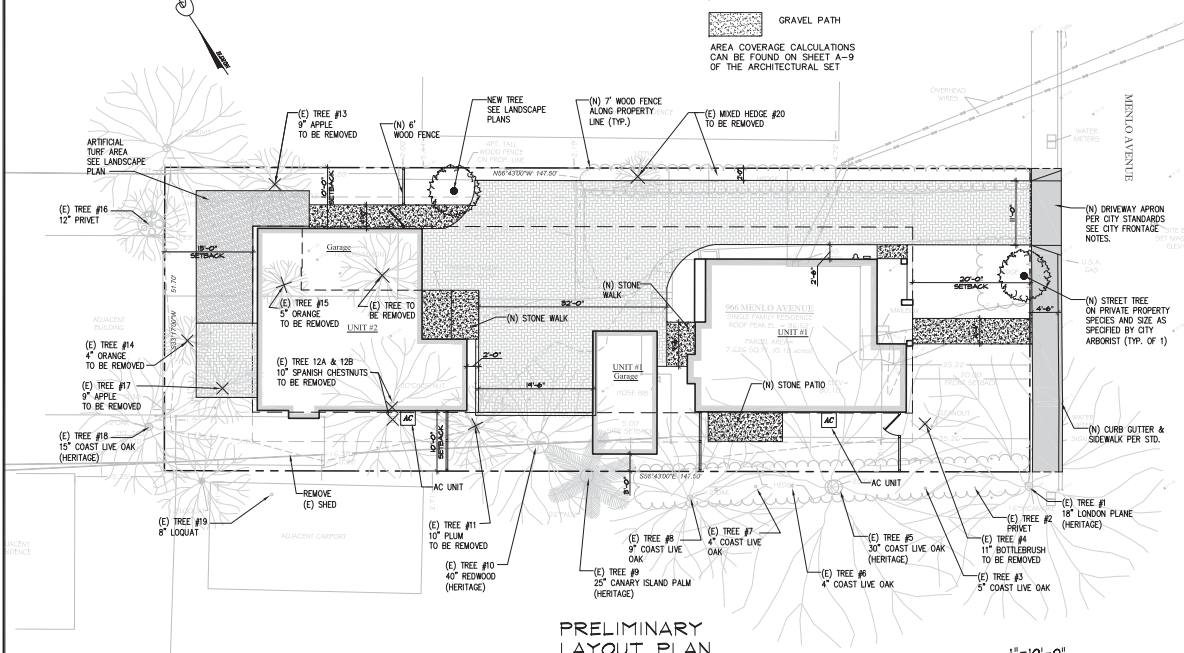
AREA COVERAGE CALCULATIONS CAN BE FOUND ON SHEET A-9 OF THE ARCHITECTURAL SET



VICINITY MAP

**GENERAL NOTES:**

- CONTRACTOR TO VERIFY ALL CONTROLLING DIMENSIONS & SETBACKS WITH PLANS AND SURVEY STAKES.
- TOPOGRAPHIC INFORMATION PROVIDED BY CHRISTENSEN & PLOUFF LAND SURVEYING, DATED OCTOBER 25, 2007.
- SLOPE PORCHES, LANDINGS AND TERRACES 2% AWAY FROM RESIDENCE.
- PROVIDE POSITIVE SURFACE DRAINAGE AWAY FROM THE HOUSE PERIMETER BY SLOPING THE FINISHED GROUND SURFACE AT LEAST 5% AWAY FROM RESIDENCE FOR A MINIMUM OF 5-FEET.
- CONTRACTOR SHALL HIRE GEOTECHNICAL CONSULTANT TO REVIEW COMPACTON ON ROADWAY IMPROVEMENTS, TRENCH BACK FILLING, AND GENERAL SITE GRADING. CONTRACTOR SHALL ADHERE TO STANDARD PRACTICES AND MEET ALL CITY STANDARDS. A FINAL GEOTECHNICAL LETTER SHALL BE SUBMITTED TO CITY AT COMPLETION OF WORK.
- THE OWNER RECOGNIZES THAT THE DRAINAGE FACILITIES WILL NEED TO BE PERIODICALLY CLEANED OF DEBRIS DURING THE FUNCTIONAL LIFE OF THE SYSTEM.
- CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ALL EXISTING CONDITIONS, THEY SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDINGS, VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES BEFORE STARTING CONSTRUCTION.
- ANY SITE WORK THAT DEVIATES FROM WHAT IS SHOWN ON THE PLANS SHALL HAVE THE ENGINEER'S APPROVAL PRIOR TO PROCEEDING WITH THE DEVIATING WORK ITEM.
- CONTRACTOR SHALL CALL "UNDERGROUND SERVICE ALERT" (800) 842-2444 48 HOURS PRIOR TO EXCAVATION.
- PRIOR TO CONSTRUCTING ANY IMPROVEMENT WITHIN THE PUBLIC RIGHT OF WAY, CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE CITY'S ENGINEERING DIVISION PRIOR TO STARTING ANY WORK. APPLICANT SHALL OBTAIN PERMITS FROM UTILITY COMPANIES PRIOR TO APPLYING TO CITY FOR ENCROACHMENT PERMIT.
- CONTRACTOR SHALL ADHERE TO "BEST MANAGEMENT PRACTICES" (BMPs) GUIDELINES DURING CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR STORING, USING, AND DISPOSING OF ALL HAZARDOUS MATERIALS, IN ACCORDANCE WITH ALL STATE AND LOCAL LAWS.
- CONTRACTOR SHALL ADHERE TO CAL OSHA STANDARD WHEN GRADING AND EXCAVATING.
- CONTRACTOR AND OWNER SHALL ADHERE TO NOISE ORDINANCE OF THE CITY OF MENLO PARK. IF REQUIRED, ALL TRENCHES IN THE CITY'S RIGHT OF WAY SHALL COMPLY WITH CITY STANDARD DETAILS ST-1A, ST-1B, AND ST-1C. ALL CONCRETE WORK IN THE CITY'S RIGHT OF WAY SHALL COMPLY WITH CITY STANDARD DETAIL 6-3.
- APPLICANT/CONTRACTOR SHALL REMOVE AND REPLACE ALL CRACKED, DAMAGED, UNLIFTED OR DEPRESSIONED FRONTAGE IMPROVEMENTS (CURBS, GUTTER, SIDEWALK, DRIVEWAY, ETC.) EXISTING OR DAMAGED BY CONSTRUCTION ACTIVITIES, PER CITY STANDARDS (CG-1 & CG-2) ALONG THE ENTIRE PROPERTY FRONTAGE ON UNIVERSITY DRIVE.
- STORM WATER RUNOFF GENERATED BY THE NEW DEVELOPMENT SHALL NOT DRAIN ONTO ADJACENT PROPERTIES. THE EXISTING STORM DRAINAGE FROM THE ADJACENT PROPERTIES SHALL NOT BE BLOCKED BY THE NEW DEVELOPMENT.
- IN ACCORDANCE WITH THE MENLO PARK FIRE DEPARTMENT PERMIT, CONTRACTOR SHALL SCHEDULE AN INSPECTION OF FINAL IMPROVEMENTS AND OBTAIN "SIGN OFF" FROM THE FIRE DEPARTMENT.
- ALL TRENCHING SHALL BE PER CITY STANDARD 57-9A, 4B AND 57-10.



PRELIMINARY LAYOUT PLAN

**STREET FRONTAGE NOTES:**

- THE APPLICANT/CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE CITY'S ENGINEERING DIVISION PRIOR TO START OF ANY WORK WITHIN THE CITY'S RIGHT-OF-WAY OF PUBLIC EASEMENT AREAS. THE APPLICANT SHALL OBTAIN PERMITS FROM UTILITY COMPANIES PRIOR TO APPLYING TO CITY ENCROACHMENT PERMIT.
- CIVIL ENGINEER SHALL COORDINATE WITH PROJECT ARBORIST TO DETERMINE THE LOCATIONS OF EDGE OF PAVEMENT, STORM DRAIN LINES AND OTHER UTILITY LINES NEAR TREES. THE LOCATIONS OF IMPROVEMENTS NEAR CITY TREES SHALL BE APPROVED BY CITY ARBORIST.
- ALL CONCRETE WORK IN THE CITY'S RIGHT-OF-WAY SHALL COMPLY WITH CITY STANDARD DETAIL 6-3.
- PRIOR TO FINAL INSPECTION THE APPLICANT SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE CITY'S ENGINEERING DIVISION FOR ALL EXISTING PRIVATE STRUCTURES, IMPROVEMENTS AND LANDSCAPING (IF ANY) LOCATED IN THE CITY'S RIGHT-OF-WAY ALONG THE PROPERTY FRONTAGE.
- THE APPLICANT SHALL REMOVE AND REPLACE ALL CRACKED, DAMAGE, UNLIFTED OR DEPRESSIONED FRONTAGE IMPROVEMENTS (CURBS, GUTTER, SIDEWALK, DRIVEWAY, ETC.) EXISTING OR DAMAGED BY THE CONSTRUCTION ACTIVITIES, PER CITY STANDARDS ALONG THE ENTIRE PROPERTY FRONTAGE. IF FRONTAGE IMPROVEMENTS DO NOT CURRENTLY EXIST, THE APPLICANT IS REQUIRED TO INSTALL FRONTAGE IMPROVEMENTS PER CITY STANDARDS ALONG THE ENTIRE PROPERTY FRONTAGE. ALL IMPROVEMENTS ARE TO COMPLETED AND APPROVED BY THE CITY OF MENLO PARK'S PUBLIC WORKS INSPECTOR PRIOR TO THE FINAL INSPECTION BY THE BUILDING INSPECTOR.



- NOTES
- FINAL STRUCTURAL SECTION SHALL BE PROVIDED BY PROJECT GEOTECHNICAL ENGINEER AND IN CONFORMANCE WITH MANUFACTURER'S SPECIFICATIONS.
  - AREA WITHIN FIRE TRUCK HANDLING AREA SHALL BE DESIGNED TO WITHSTAND A 80,000 POUND FIRE TRUCK (OR 1-3).

1 EKO 'PERVIOUS' PAVER NOT TO SCALE

CLIFFORD BECHTEL AND ASSOCIATES  
OLDFORD BECHTEL, PE  
201 BELMONT STREET  
BELMONT, CA 94002  
415-352-2000  
415-352-1059 (FAX)



California

IMPROVEMENT PLANS  
966 MENLO AVENUE  
SAN MATEO COUNTY

Menlo Park

CONTENTS:

LAYOUT PLAN

DATE 02/08/19

SCALE AS NOTED

REVISIONS:

NO.	DESCRIPTION

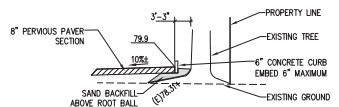
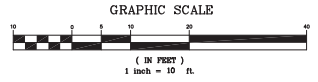
DRAWN J.G.

CHECKED C.B.

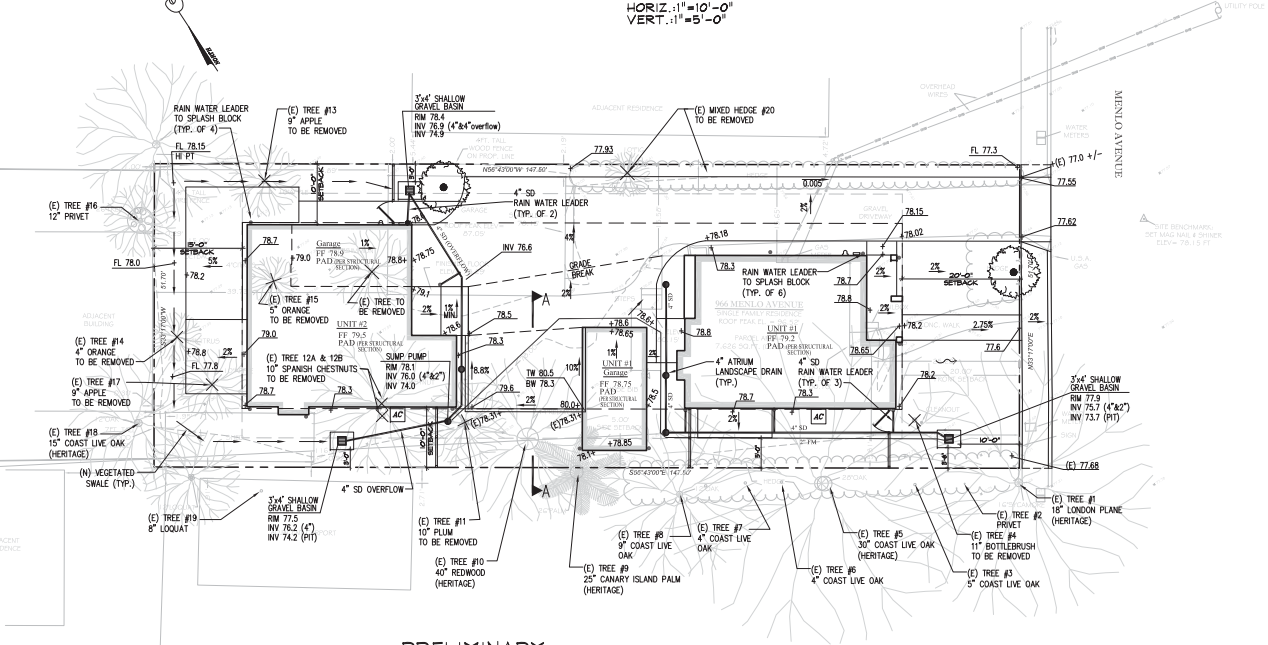
JOB NO. 2018611

SHEET NO.

TM-3  
OF 5 SHEETS



SECTION A-A  
 HORIZ. 1"=10'-0"  
 VERT. 1"=5'-0"



PRELIMINARY GRADING AND DRAINAGE PLAN  
 1"=10'-0"

EARTH WORK QUANTITIES

GUT	180 CUBIC YARDS
FILL	40 CUBIC YARDS
TOTAL	40 CUBIC YARDS (EXPORT)

QUANTITIES HAVE BEEN PROVIDED FOR PLANNING PURPOSES. CONTRACTOR SHALL CALCULATE HIS/HER OWN QUANTITIES FOR BIDDING PURPOSES.

LEGEND/ABBREVIATIONS

---	SILT FENCE OR FIBER ROLL
+101.8	SPOT SHOT (PROPOSED GRADE)
AD	AREA DRAIN
CB	CATCH BASIN
FM	FORCE MAIN
FL	FLOW LINE
FDCO	FOUNDATION CLEANOUT
RWL	RAIN WATER LEADER
PD	PATIO DRAIN
MIN.	MINIMUM
INV	INVERT
SD	STORM DRAIN PIPE
SEE UTILITY NOTE 4/C-00	
SDCO	SUB-DRAIN CLEANOUT
TW	TOP OF WALL
BW	BOTTOM OF WALL
(E)	EXISTING
	GENERAL DRAINAGE FLOW DIRECTION
4" SD	STORM DRAIN PIPE
■	RAIN WATER LEADER TO 2" CONCRETE SPLASH BLOCK
---	PROPERTY LINE
---	NEIGHBORING PROPERTY LINE
---	TREE PROTECTION
→	SURFACE FLOW DIRECTION

SEE GENERAL NOTES ON SHEET TM-3 AND UTILITY NOTES ON TM-5

PAD GRADE NOTES  
 1. CONTRACTOR SHALL VERIFY PAD GRADE FROM APPROVED FINISH FLOOR SHOW WITH APPROVED STRUCTURAL SECTIONS SHOWN ON THE STRUCTURAL PLANS.  
 2. CURRENT PLANS NOTE THAT THE PAD GRADES, FOR THE GARAGES OF UNIT 1 AND UNIT 2, ARE THICKER STRUCTURAL SLABS THAN ALL OTHER BUILDING AREAS.

CLIFFORD BECHTEL AND ASSOCIATES  
 CLIFFORD BECHTEL, PE  
 801 WASHINGTON STREET  
 BERKELEY, CA 94602  
 415-841-2000  
 415-841-1058 (FAX)



Improvement Plans  
 966 Menlo Avenue  
 San Mateo County  
 California

Menlo Park

CONTENTS:

GRADING AND DRAINAGE PLAN

DATE 02/08/19

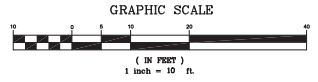
SCALE AS NOTED

REVISIONS:

DRAWN	J.G.
CHECKED	C.B.
JOB No.	2018611
SHEET No.	

TM-4  
 OF 5 SHEETS





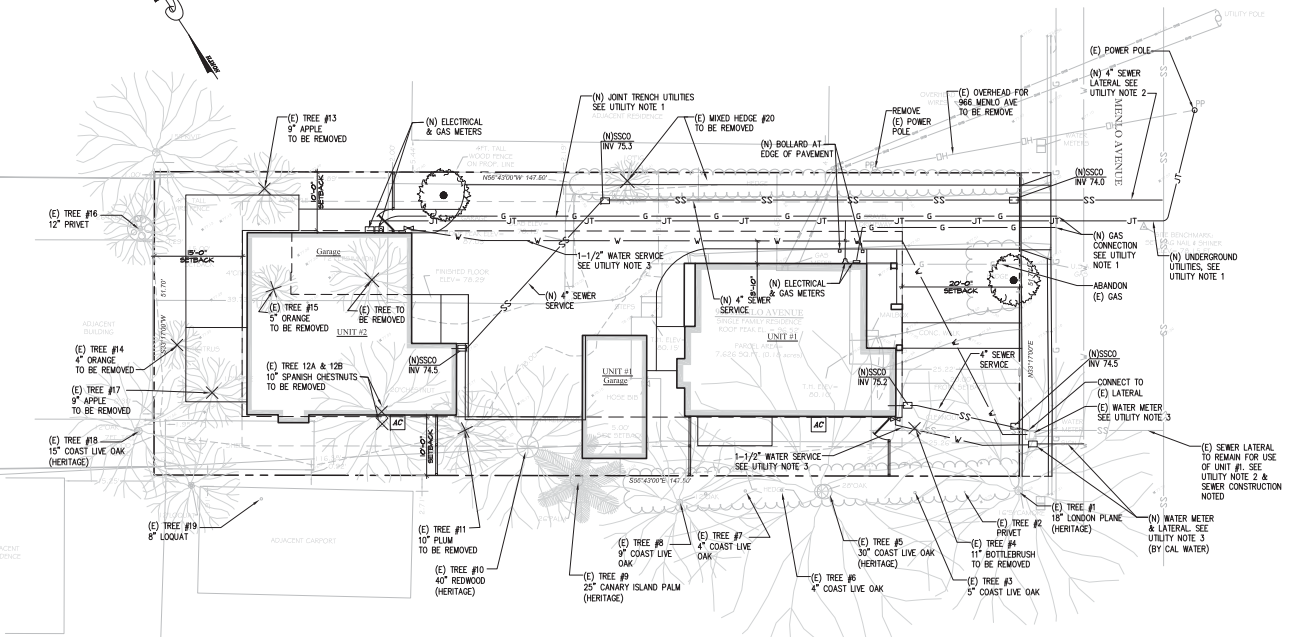
**UTILITY AGENCIES**

SANITARY SEWER	NEST BAY SANITARY DISTRICT
PUBLIC WATER	CALIFORNIA WATER SERVICE
ELECTRIC	PACIFIC GAS AND ELECTRIC
GAS	PACIFIC GAS AND ELECTRIC
TELEVISION	COMCAST
PHONE	A.T. & T. SOUTH BAY ENGINEERS

ALL UTILITIES SHALL BE PLACED UNDERGROUND AND DESIGNS SHALL MEET ALL CONDITIONS OF APPROVAL AND ALL CITY, COUNTY, AND STATE CODE STANDARDS.

- UTILITY NOTES:**
1. ALL UTILITY SERVICES SHALL BE PLACED UNDERGROUND IN ACCORDANCE WITH "JOINT TRENCH" PACKAGE AND AGREEMENT SHOWN ON THESE PLANS MEETING REQUIREMENTS OF UTILITY AGENCIES.
  2. ALL SEWER WORK SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE NEST BAY SANITARY DISTRICT AND THE CITY OF MENLO PARK. SEE ADDITIONAL NOTES BELOW.
  3. OWNER SHALL CONTRACT WITH THE CALIFORNIA WATER SERVICE TO PROVIDE (ONE) NEW WATER METERS AS REQUIRED. SERVICE SIZES SHALL BE SIZED TO MEET DOMESTIC AND FIRE SUPPRESSION NEEDS. ALL WATER SERVICE WORK SHALL BE IN CONFORMANCE WITH THE CALIFORNIA WATER SERVICE AND THE CITY OF MENLO PARK. ALL IRRIGATION SERVICES SHALL HAVE BACK FLOW PREVENTION DEVICES.
  4. ALL STORM DRAIN PIPE SHALL BE SDR 35 OR GREATER, HOPE OR SCH 40. ALL GRAVITY SERVICES SHALL BE PLACED WITH A MINIMUM SLOPE OF 1.0%.

- SEWER CONSTRUCTION IMPROVEMENT NOTES:**
1. THE IMPROVEMENTS MUST COMPLY WITH ALL CURRENT DISTRICT'S REGULATIONS AND STANDARDS.
  2. NEW CLEANOUT SHALL BE PROVIDED WITHIN 5' OF THE PROPERTY LINE ON MENLO AVENUE FOR ALL UNITS. EACH LINE MUST MAINTAIN A MINIMUM 2% SLOPE FROM THE PROPERTY LINE CLEANOUT TO THE MAIN. IF THEY CAN NOT OBTAIN GRAVITY THEN AN EJECTOR PUMP MUST BE INSTALLED ON THE PROPERTY. PLEASE NOTE THAT A GRINDER TYPE PUMP SHALL NOT BE USED.
  3. THE EXISTING SEWER SERVICE SHALL BE VIDEO INSPECTED AND INSPECTION SHALL BE PROVIDED TO SEWER DISTRICT FOR APPROVAL OF RE-USE.
  4. SERVICE LATERALS FROM PROPERTY LINE CLEANOUT OR EASEMENT EDGE CLEAN OUT TO HOME MUST MEET THE REQUIREMENTS OF THE CITY OF MENLO PARK BUILDING DEPARTMENT.
  5. THE SEWER DISTRICT WILL REQUIRE THE USE OF A TAP-TITE CONNECTION TO SEWER MAIN FOR THE NEW SEWER LATERALS.
  6. CONTRACTOR SHALL INSTALL 4" SEWER BACK WATER PREVENTOR ON THE PROPOSED SEWER SERVICES BETWEEN THE PROPERTY LINE CLEAN OUT AND BUILDING.
  7. NO POOL DRAINS, ROOF GUTTERS, SURFACE DRAINAGE, AND GROUND WATER SUMP PUMPS ARE ALLOWED TO CONNECT TO THE SANITARY SEWER.
  8. NO OTHER CONNECTIONS ARE ALLOWED BETWEEN THE PROPERTY LINE/EDGE OF EASEMENT CLEANOUT AND THE MAIN SEWER CONNECTIONS.
  9. OWNER SHALL PAY DISTRICT CONNECTION FEE AND OBTAIN TWO CLASS 1A PERMITS FROM NEST BAY SANITARY DISTRICT PRIOR TO PERFORMING ANY SEWER IMPROVEMENTS SHOWN ON THESE PLANS.
  10. EACH LATERAL MUST HAVE ADDRESS IDENTIFICATIONS IN OR AT THE CLEAN-OUT STRUCTURE ACCEPTABLE TO THE DISTRICT. THESE IDENTIFICATIONS MUST BE PERMANENTLY ETCHED OR ENGRAVED INTO OR NEAR THE CLEANOUT STRUCTURE, AND EASILY VISIBLE AND IDENTIFIABLE.
  11. THE EXISTING LATERALS MUST BE DISCONNECTED AT THE MAIN SEWER. THE DISCONNECTION MUST BE INSPECTED BY THE DISTRICT STAFF PRIOR TO DEMOLITION OF THE EXISTING STRUCTURE. A DISCONNECT PERMIT (CLASS 4 PERMIT) MUST BE OBTAINED FROM THE NEST BAY SANITARY DISTRICT.
  12. ALL SEWER LATERAL CROSSINGS OVER CAL WATER FACILITIES SHALL BE INSPECTED BY CAL WATER INSPECTOR BEFORE AND AFTER INSTALLATION.



**PRELIMINARY UTILITY PLAN**  
1"=10'-0"



IMPROVEMENT PLANS  
966 MENLO AVENUE  
SAN MATEO COUNTY

Menlo Park

CONTENTS:

UTILITY PLAN

DATE 02/08/19

SCALE AS NOTED

REVISIONS:

DRAWN J.G.

CHECKED C.B.

JOB No. 2018611

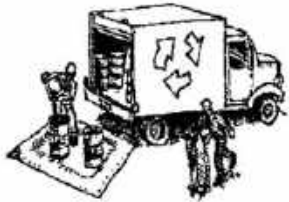
SHEET NO.

**TM-5**  
OF 5 SHEETS

# Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

## Materials & Waste Management



### Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

### Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

### Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

### Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## Equipment Management & Spill Control



### Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

### Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

## Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

### Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks.
  - Abandoned wells
  - Buried barrels, debris, or trash.

## Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

### Sawcutting & Asphalt/Concrete Removal

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

## Concrete, Grout & Mortar Application



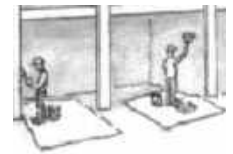
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

## Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

## Painting & Paint Removal



### Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

## Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

**Storm drain polluters may be liable for fines of up to \$10,000 per day!**

## PROJECT LETTER DESCRIPTION

---

02/28/2018

Sean Amiri  
648 Menlo Ave #3  
Menlo Park, CA 94025

RECEIVED  
FEB 28 2018  
CITY OF MENLO PARK  
BUILDING

**RE: 966 Menlo Ave, Menlo Park**

To whom it may concern,

I am writing to you regarding the condominium mapping application and the proposal to build two single family homes on the above addressed site. This site is in R-3 zoning of the City of Menlo Park. There is an existing single-story Spanish style single family home on this site. We are proposing to demolish the existing structure and build two single family homes, one in front with a detached garage, and one with attached garage in rear.

These two home designs will be in line with the existing home and will follow a true Spanish architectural style. Exterior of structures will be stucco in light sand color with aluminum clad windows and shutters in line with a typical Spanish style home. Due to narrow width of the lot the and space strain the architect has stacked the two stories on top of each other. He has creatively designed the front and rear elevations to take away from boxiness of structure. On the side elevation, we added a band between the first and second floor to break up the building mass. Please also note that both these homes are designed to be at 29' height and will not be at 35' height limit allowed (unlike the structure being built on 767 University Ave). Future landscaping will cover all of the first and portion of second floor from the view of side neighbors.

Along with this letter please find proposed architectural, civil and landscape plans that we are submitting to City of Menlo Park Planning division. We have also submitted color and material palate for exterior along with our package.

966 Menlo Ave is in downtown area of Menlo Park. This part of the Menlo Avenue is mostly apartment buildings and rental townhomes. Directly across the street and to the left side of us are rental apartment/condo buildings. To the right there is a single-family home that is also rented. We have knocked on their doors and have introduced ourselves and brief project details to those who were available.

Best Regards,

Sean Amiri

707 University Ave

707 University Ave





E3



E4

966 Menlo Avenue

Justification for Variance (Detached Garage)

We are requesting a Variance for this project in an R-3 Apartment Zone for the location of a detached garage that is less than 10' of separation to the front house.

The garage has been moved towards the front and is shown in a position that is less than 10' to the front unit. The original application showed the garages more centered between the two buildings, but this would have required the removal of Tree #10, a 40" redwood.

Although we received initial guidance from the staff planner to remove the redwood tree to be in compliance with the required distances, comments from the new staff review instructed us that removal of the redwood would not be justified and therefore the garage must shift towards the front building. This is the reason we are asking for this Variance.

Staff believes that the Zoning Ordinance restriction related to the location of accessory structures is primarily intended to prevent accessory structures from being placed so closely to the main unit. Placing the garage less than 10' from the front building will have no visual affect from the public way.

Findings to support a Variance:

1. The location of the existing redwood tree prevents the appropriate location of the garage due to the narrow width and elongated size of the property. This creates a hardship that is particular to this property, limiting the location of the detached garage.
2. A Variance is necessary for the substantial owner-property rights that are possessed by properties in the same vicinity. If a Variance is granted, it would not constitute a special privilege that is already being enjoyed by the neighbors, as it is only the relocation of the detached garage so that it does not affect Tree #10 (the 40" redwood tree)
3. Granting a Variance will not be detrimental to the public health, safety of welfare and will not impair supply of light and air to adjacent property owners as it is only shifting the detached garage to be closer to Unit #1 building.
4. The conditions on which this Variance is based would not be applicable generally to other properties in the same Zoning unless they also have a large heritage tree in a similar location.
5. Since the subject property is not within a Specific Plan area, the finding relating to any unusual factor that was not anticipated or discussed in detail during Specific plan process is not applicable.

Alternative concepts have been explored, discussed and submitted to staff planning; however, parking for this project is bounded by the width of the lot and cannot be viewed from the street, which we feel should take precedence over ordinance. Variety of options have been considered:

- a) There is an option of placing the garage attached to Unit #1 so that it is far away from the tree. Doing that however will not give us necessary back out for parking (see attached drawing 1).

- b) The other option is to flip the property so that the driveway is on the other side of the property and that it goes around the heritage tree. However, city had rejected this option as the driveway entrance would be located right beside the neighbor's property, that is not in compliance with city regulation as it creates hazard for the drivers (see attached drawing 2).
- c) The third option is to remove the heritage tree entirely, in which we are avoiding to be able to save the tree (see attached drawing 3). The neighbors are also in favor of saving this heritage tree.

We agree with Staff that relocating the detached garage closer to the front unit in order to save a heritage redwood tree is worth supporting this Variance.

Given the mentioned findings, we feel that a Variance is justified in this instance.



## Justification for Variance (Property Side Setback for 966 Menlo Avenue)

We are also requesting a Variance for this project in an R-3 Apartment Zone for the locations of the front and back units that is not completely 20 ft away from the adjacent neighboring property.

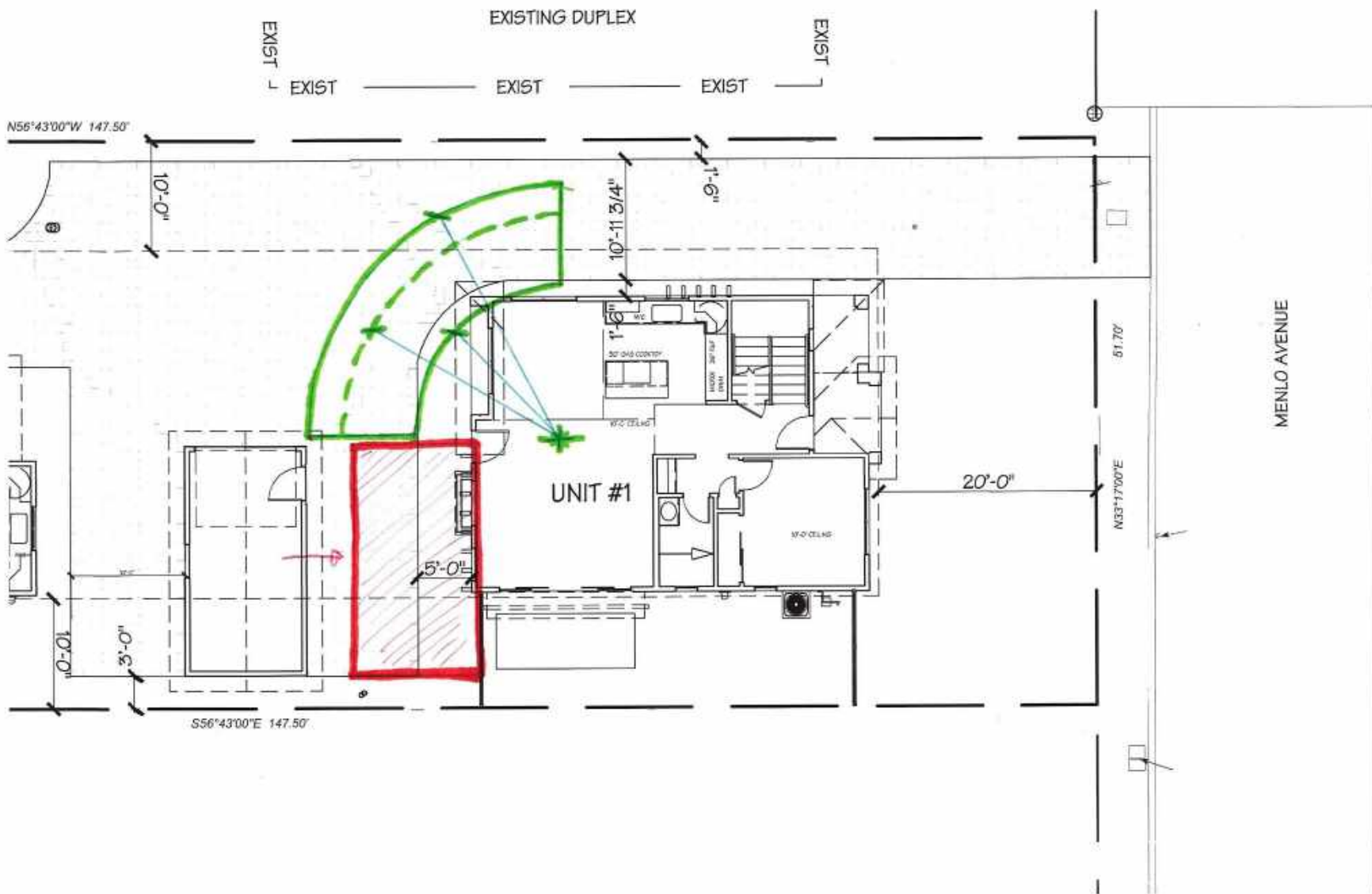
Findings to support a Variance:

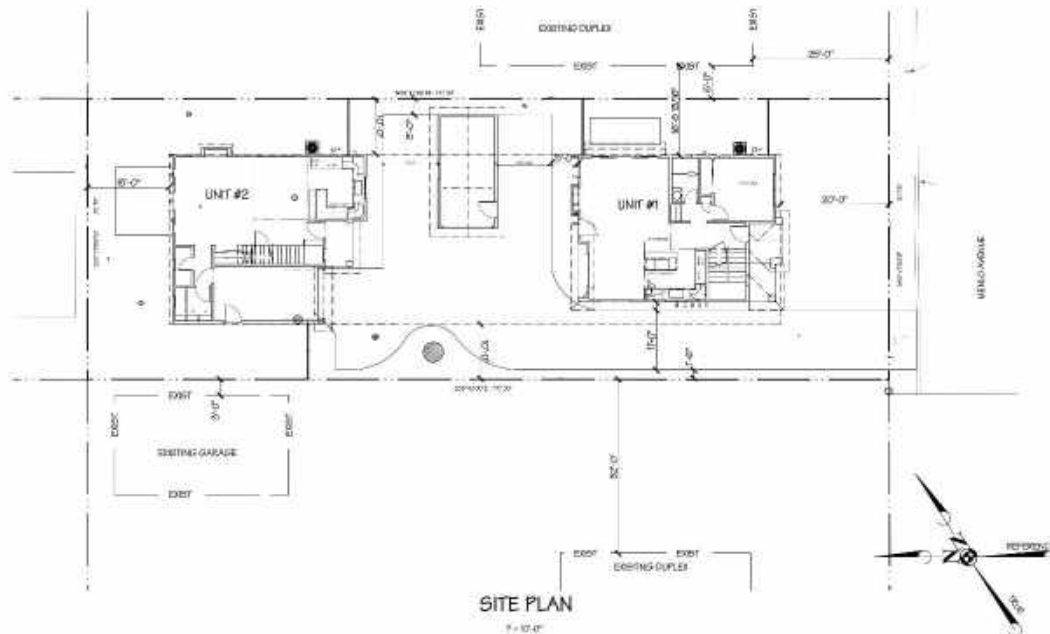
1. The neighboring property to the east is a 1 story duplex that we believe was built in the late 1940's. It was built at a time when such buildings did not require surveys for accurate positioning on their property. The side yard adjoining the subject property was intended to be 5' clear. However, our surveyor shows this building to be 4'8" clear at the front edge and 5'5" clear at the rear edge. We believe this building is nearing the end of its economic life which is evidenced by its poor condition. A new building on this lot would require a 10' side yard setback as a minimum.  
Unit 2 has been designed with 10' setback on each side with an attached garage. This provides a corner to corner building clearance of 15'8" between Unit 2 and its current east neighbor. The location of the neighboring house does not conform to current city regulations as it only has 5' setback as oppose to 10'. This creates a hardship that is particular to this property. The redesign of this unit to pick up 4'4" of clearance would put us at a significant disadvantage, both in proper structural flow and square footage.
2. As stated in previous paragraph, the city regulation of R-3 has a 10 ft building setback requirement that the neighboring property does not currently hold. A new building on this lot would require a 10' side yard setback as a minimum. As such, a Variance is necessary for the substantial owner-property rights that are possessed by properties in the same vicinity. If a Variance is granted, it would not constitute a special privilege that is already being enjoyed by the neighbors.
3. Granting a Variance will not be detrimental to the public health, safety of welfare and will not impair supply of light and air to adjacent property owners.
4. The conditions on which this Variance is based would not be applicable generally to other properties in the same Zoning, unless they also have a neighboring property that was build a while ago with a setback of below 10 ft.
5. Since the subject property is not within a Specific Plan area, the finding relating to any unusual factor that was not anticipated or discussed in detail during Specific plan process is not applicable.

Alternative concepts have been explored; however, the size of the house is bounded by the width of the lot and the effect of the non-conforming location of the neighboring duplex on this project should take precedence over the large building separation required by ordinance (see attached drawing 4).

Thus, we feel that a Variance is justified in this particular instance.

**DRAWING #1 :**  
**NOT ENOUGH BACKOUT FOR PARKING**





**VICINITY MAP**

APN: 071-205-040  
 ZONE: R-2  
 LOT: 762875 S4

EXIST. HOUSE: 1250 S.F.  
 DRIVE: 90 S.F.  
 SHEET: 200 S.F.

	EXIST. FLOOR	SECOND FLOOR	TOTAL
UNIT #1	551 S.F.	406 S.F.	1747 S.F.
UNIT #2	745 S.F.	359 S.F.	1208 S.F.
<b>TOTAL</b>	<b>1296 S.F.</b>	<b>765 S.F.</b>	<b>2061 S.F.</b>

GARAGE (ATTACHED): 225 S.F.  
 GARAGE (DETACHED): 20 S.F.

DRIVEWAY ALLOWED: PROPOSED: 762875 X 20 = 1526 S.F.  
 LOT COV. ALLOWED: PROPOSED: 762875 X 20 = 2287 S.F.  
 F.A.L. ALLOWED: PROPOSED: 762875 X 45 = 3433 S.F.  
 S.A.R. S.F.:

TYPE OF CONSTRUCTION: 1B  
 OCCUPANCY GROUP: R-2, 1  
 THIS PROJECT SHALL COMPLY WITH ZERO OZC, OZC, OZC, OZC, OZC, CAL GREEN, CAL ENERGY CODE, AND LOCAL ORD.

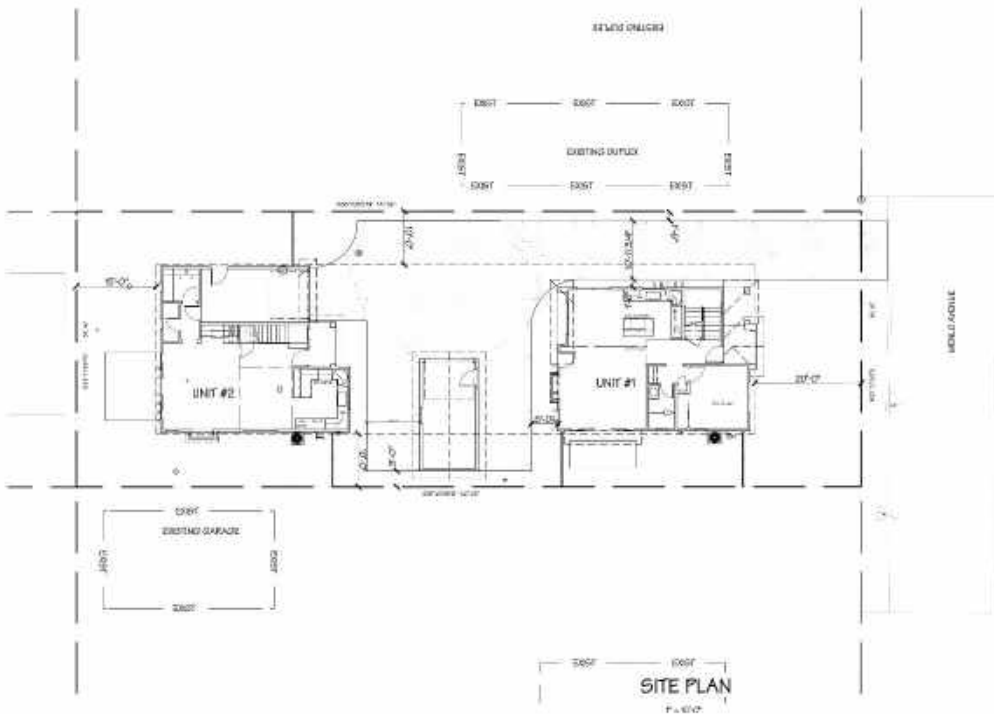
**SITE DATA**

REVISIONS	BY

**HOMETEC**  
 ARCHITECTURE, INC.  
 415 NORTH FIRST STREET, SAN JOSE, CA 95112  
 RICHARD A. HARTMAN  
 AIA  
 445 SAN JOSE  
 95128-1200

TWO NEW HOMES FOR:  
**MR. SEAN AMIRI**  
 980 MENLO AVENUE, MENLO PARK, CA 94025

Date:	02-07-17
Scale:	1" = 12'-0"
Drawn:	SAH
CHK:	TW228
Sheet:	A-1



**SITE PLAN**  
P. 610'



**VICINITY MAP**

APN:	075-020-180		
ZONING:	R-1		
LOT NO.:	768276 S.F.		
EXISTING HOUSE:	1200 S.F.		
ORSHADE:	400 S.F.		
HWYS:	200 S.F.		
PROJ. FLOOR:	1600 S.F.	TOTAL	
UNIT #1:	801 S.F.	800 S.F.	1597 S.F.
UNIT #2:	793 S.F.	801 S.F.	1594 S.F.
TOTAL:	1594 S.F.	1594 S.F.	3188 S.F.
ORSHADE (ATTACHED):	200 S.F.		
ORSHADE (DETACHED):	200 S.F.		

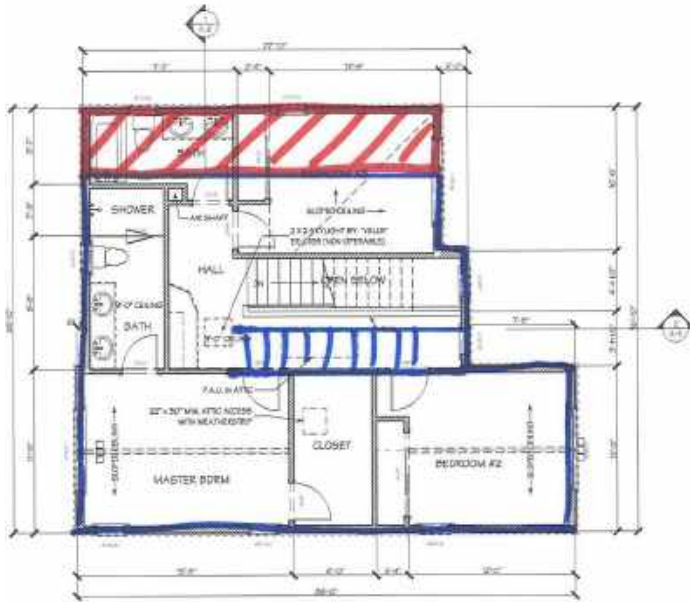
DEVELOPER ALLOWED PROPOSED:	768276 S.F. + 1520 S.F.
LOT COV. ALLOWED PROPOSED:	768276 S.F. + 2287 S.F. 1570 S.F.
FULL ALLOWED PROPOSED:	360271 S.F. + 3435 S.F. 3435 S.F.
TYPE OF CONSTRUCTION:	NO
OCCUPANCY GROUP:	R-1, U

THIS PROJECT SHALL COMPLY WITH SBOM, CBC, IBC, IMC, IRC, CCB, CFC, CAC, NRSB, CALIFORNIA CODE, AND LOCAL ORD.

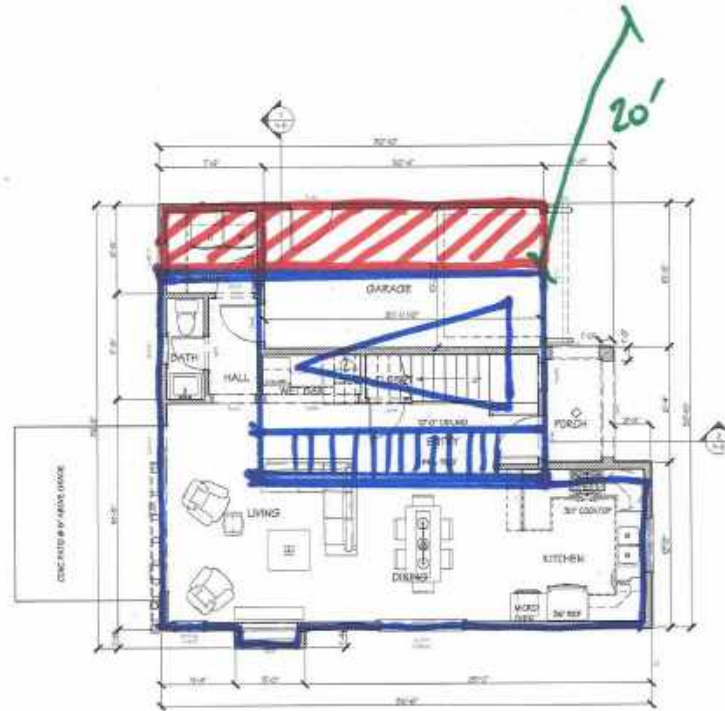
**SITE DATA**

REVISIONS	BY
<b>HOMETEC</b> ARCHITECTURE, INC. 6000 BILBILI STREET, SUITE 100, SHERMAN OAKS, CA 91105 TEL: (818) 351-1111 FAX: (818) 351-1112	
TWO NEW HOMES FOR <b>MR. SEAN AMIRI</b> 3905 MENLO AVENUE, MENLO PARK, CA 94025	
Date:	1 - 21 - 18
Scale:	1" = 10'-0"
Drawn:	KJM
Appr:	JT-CBE
Sheet:	<b>A-1</b>

*Drawing #4: no usable and functional space left to design a functional layout*

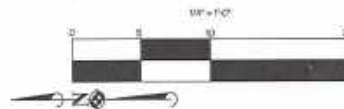


LIVING AREA  
906 SQ FT  
**SECOND FLOOR PLAN**



LIVING AREA  
947 SQ FT  
**FIRST FLOOR PLAN**

**PROPOSED UNIT #2**

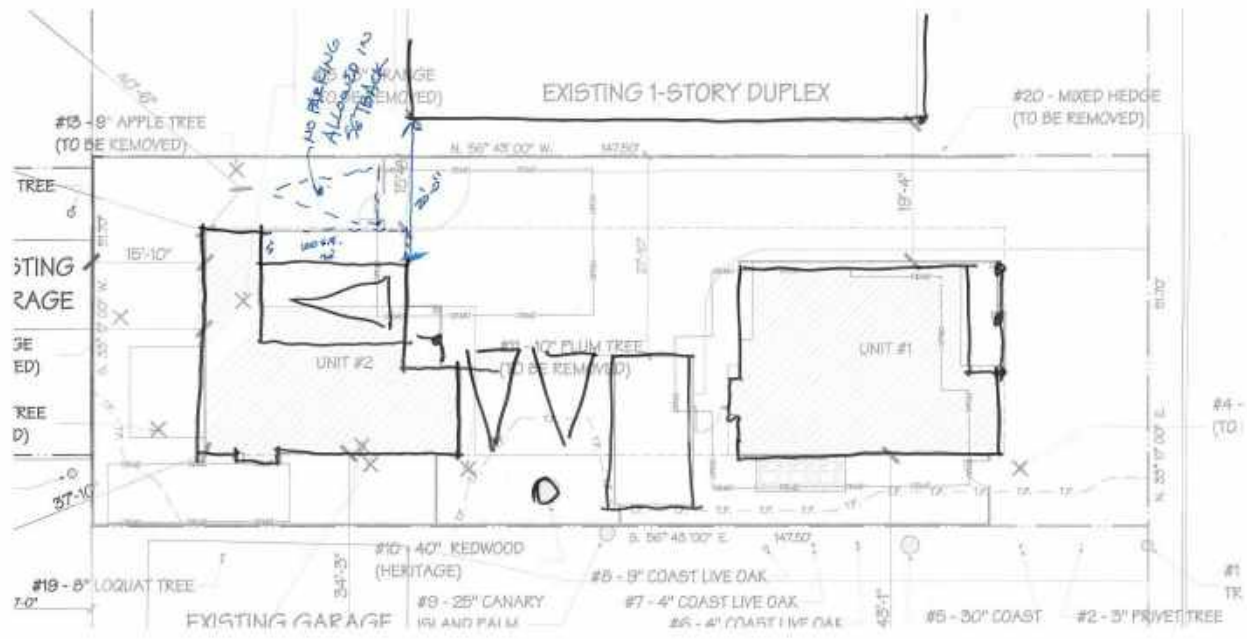


REVISIONS	BY

**HOMETEC**  
 ARCHITECTURE, INC.  
 11740 BILBERRY STREET, SAN FRANCISCO  
 94903  
 ARCHITECT  
 8/11/11  
 11/11/11

TWO NEW HOMES FOR:  
**MR. SEAN AMIRI**  
 9865 MENLO AVENUE, MENLO PARK, CA, 94025

Date: 2-28-11  
 Scale: 1/4" = 1'-0"  
 Drawn: RAN  
 App: D-COB  
 Sheet: **A-6**  
 of 2 sheets



REVISIONS	BY

**HOMETEC**  
 ARCHITECTURE, INC.  
 415 INDEPENDENT STREET, SAN DIEGO, CA 92110  
 RICHARDA, BARBARA  
 A.L.A.  
 481616 000  
 richarda@hometec.com

TWO NEW HOMES FOR:  
**MR. SEAN AMIRI**  
 866 MENLO AVENUE, MENLO PARK, CA 94028

Date	2-22-11
Scale	1/4" = 1'-0"
Drawn	EM
CHK	11-1206
Sheet	<b>12</b>
of	Sheets

## Kielty Arborist Services LLC

Certified Arborist WE#0476A

P.O. Box 6187

San Mateo, CA 94403

650-515-9783

October 24, 2018, Revised January 28, 2019

Sean Amiri  
1190 West Hillsdale Blvd #13  
San Mateo, CA  
94403

Site: 966 Menlo Avenue, Menlo Park, CA

Dear Mr. Amiri,

As requested on Tuesday, November 14, 2017 I visited the above site to inspect and comment on the trees. Two units are planned for this site and your concern for the future health and safety of the trees has prompted this visit. Site plan A-1 dated 2/28/18 as well as the current utility plan and grading and drainage plans have been reviewed for writing this report.

### Method:

All inspections were made from the ground; the trees were not climbed for this inspection. The trees in question were located on a map provided by you. The trees were then measured for diameter at 54 inches above ground level (DBH or diameter at breast height). The trees were given a condition rating for form and vitality. The trees condition rating is based on 50 percent vitality and 50 percent form, using the following scale.

1	-	29	Very Poor
30	-	49	Poor
50	-	69	Fair
70	-	89	Good
90	-	100	Excellent

The height of the trees was measured using a Nikon Forestry 550 Hypsometer. The spread was paced off. Comments and recommendations for future maintenance are provided.

966 Menlo Ave 1/28/19

(2)

**Survey:**

<b>Tree#</b>	<b>Species</b>	<b>DBH</b>	<b>CON</b>	<b>HT/SP</b>	<b>Comments</b>
1*P	London plane ( <i>Platanus x hispanica</i> )	18.1	60	45/40	Fair vigor, fair to poor form, topped in past at 10 feet, crown restoration pruning in past, large metal pole imbedded in trunk, street tree. <b>10 times diameter= 15 feet</b>
2*	Privet ( <i>Ligustrum japonicum</i> )	3.0	50	15/10	Fair vigor, fair form, suppressed.
3*	Coast live oak ( <i>Quercus agrifolia</i> )	5.0	50	20/15	Fair vigor, fair form, suppressed, no room for vertical growth, good screen.
4R	Bottle brush ( <i>Callistemon citrinus</i> )	10.9@base	40	12/12	Poor vigor, poor form, suppressed, in decline. <b>Proposed for removal</b>
5*P	Coast live oak ( <i>Quercus agrifolia</i> )	30est	70	50/45	Good vigor, fair form, pruned away from roof line in past, close to existing home. <b>10 times diameter=25'</b>
6*	Coast live oak ( <i>Quercus agrifolia</i> )	4.0	50	15/12	Fair vigor, poor form, suppressed, no room for vertical growth, good screen.
7*	Coast live oak ( <i>Quercus agrifolia</i> )	4.0	50	15/12	Fair vigor, poor form, suppressed, no room for vertical growth, good screen.
8*	Coast live oak ( <i>Quercus agrifolia</i> )	9.0	45	20/15	Fair vigor, poor form, topped in past at 8 feet, good screen, suppressed.
9*P	Canary island palm ( <i>Phoenix canariensis</i> )	25.0	50	30/20	Fair vigor, poor form, underneath redwood canopy, suppressed, poor location.
10P	Redwood ( <i>Sequoia sempervirens</i> )	40@base	45	85/30	Poor to fair vigor, poor form, codominant at base with poor union, top of tree in decline, drought stressed. <b>10 times diameter=33'</b>
11R	Plum ( <i>Prunus spp.</i> )	10.4@base	45	12/12	Fair to poor vigor, poor form, codominant at base, suppressed <b>Proposed for removal.</b>
12A R	Spanish chestnut ( <i>Castanea sativa</i> )	9.7	40	20/15	Fair vigor, poor form, heavy decay at base, topped. <b>Proposed for removal.</b>
12B R	Spanish chestnut ( <i>Castanea sativa</i> )	10.6	40	20/15	Fair vigor, poor form, heavy decay on trunk, topped. <b>Proposed for removal.</b>



966 Menlo Ave 1/28/19

(3)

**Survey:**

<b>Tree#</b>	<b>Species</b>	<b>DBH</b>	<b>CON</b>	<b>HT/SP</b>	<b>Comments</b>
13 <b>R</b>	Apple ( <i>Malus spp.</i> )	8.9@base	50	15/15	Fair vigor, poor form, multi leader at base, abundance of dead wood. <b>Proposed for removal.</b>
14 <b>R</b>	Orange ( <i>Citrus spp.</i> )	4.2@base	50	10/10	Fair vigor, poor form, heavy lean. <b>Proposed for removal.</b>
15 <b>R</b>	Orange ( <i>Citrus spp.</i> )	5.1	60	5/5	Good vigor, fair form, movable if wanted. <b>Proposed for removal.</b>
16*	Privet ( <i>Ligustrum japonicum</i> )	12@base	0	20/15	DEAD
17 <b>R</b>	Apple ( <i>Malus spp.</i> )	8.4	30	10/10	Fair vigor, poor form, heavy decay at base. <b>Proposed for removal.</b>
18* <b>P</b>	Coast live oak ( <i>Quercus agrifolia</i> )	15est	70	35/20	Good vigor, fair form, restricted root zone. <b>10 times diameter=12.5'</b>
19*	Loquat ( <i>Eriobotrya japonica</i> )	8erst	50	20/20	Fair vigor, fair form.
20 <b>R</b>	Mixed hedge ( <i>Ligustrum japonicum/ Pittosporum tenuifolium</i> )	4.0avg	50	7/45	Fair vigor, fair form, hedge pruned <b>Proposed for removal</b>

\*-Indicates neighbors tree **P**-Indicates protected tree by city ordinance

**R**-Indicates tree proposed for removal.

**Summary:**

The trees surveyed are a mix of imported and native species. Neighbor's London plane tree #1, neighbor's coast live oak tree #5, neighbor's Canary Island palm tree #9, redwood tree #10, and neighbor's coast live oak tree #18 are considered to be "Heritage Trees" and are therefore protected by city ordinance. All heritage trees have a bold **P** (protected) next to them in the survey to indicate a protected tree. The city of Menlo Park's definition of a heritage tree is as followed:

1. Any tree having a trunk with a circumference of 47.1 inches (diameter of 15 inches) or more measured at 54 inches above natural grade.
2. Any oak tree native to California, with a circumference of 31.4 inches (diameter of 10 inches) or more measured at 54 inches above natural grade.
3. Any tree or group of trees specifically designated by the City Council for protection because of its historical significance, special character or community benefit.

4. Any tree with more than one trunk measured at the point where the trunks divide, with a circumference of 47.1 inches (diameter of 15 inches) or more, with the exception of trees that are under 12 feet in height, which are exempt from the ordinance.



**Summary:**

The trees surveyed on site are a mix of imported and native trees. Neighbor's London plane street tree #1 is in fair condition. All street trees are required to be protected in the city of Menlo Park. The tree was once topped in the past at 10 feet but has had proper crown restoration pruning done to maintain a natural look. At 10 times the tree's diameter, this tree has a root zone of a 15 foot radius from the tree trunk, therefore it is recommended to place tree protection fencing at 15 feet from the tree where possible, on the property side.

**Showing London plane tree #1**

Trees #2-8 are all on the southern property line. All of these trees are on the neighbor's property except for bottle brush tree #4. These trees serve as a good screen between the property and neighbor's property. Many small non-protected oak trees are located in this area, as well as privet and a bottle brush. The small oak trees are likely volunteers by means of natural seed dispersal. In the future there will not be enough room to support all of the oak trees in this area.



Only one large protected coast live oak tree was located at the southern property line. Neighbor's coast live oak tree #5 has an estimated diameter of 30 inches. This tree has been pruned away from the existing roof line in the past. The existing foundation for the home is well within the tree's calculated root zone(10 times diameter) of 25 feet. The existing home's foundation likely acted as a root barrier for this tree. Roots underneath the home are expected to be minimal to nonexistent. The proposed home should be no closer to this tree than the existing home. Tree protection fencing will need to be placed at a radius of 25 feet from the tree where possible. Fencing should be placed at the edge of the existing foundation and out to 25 feet. Impacts for this tree are expected to be minor to nonexistent.

**Showing neighbor's oak tree #5**



Canary island palm tree #9 is poorly located underneath the canopy of redwood tree #10. This tree is protected because of its diameter. This tree will one day be in conflict with the large redwood tree. Tree protection fencing for this tree must be placed at the proposed foundation edge and out to a distance of 20 feet where possible. Any excavation within 20 feet of this tree also must take place by hand with the Site Arborist on site to document and to recommend mitigation measures as seen fit. Palm trees generally have a good tolerance to root cutting. This tree will need to be set up on an irrigation plan following any root cutting. Irrigation is recommended to saturate the top foot of soil every 2 weeks following the root cutting for at least one year.

**Showing palm tree underneath redwood canopy**



**Showing top of redwood tree in decline**

(6)

Redwood tree #10 was given a poor condition rating of 45 as its vigor is in decline, and because the tree has poor form. The tree is codominant near grade with a poor tight union. This is not the natural form of the tree, as redwoods are suppose to have only one strong central leader. The top of the tree is in decline likely from drought stress. Redwood trees in their native habitat receive water year around from coastal fog and summer time rainfall. In order to keep a redwood tree healthy in this area(oak woodland habitat) significant irrigation will need to be provided to maintain a healthy tree. The lack of supplemental irrigation is likely the cause of the top of the tree being in decline. Also, the adjacent neighbor has a driveway on the opposite side of the tree with no landscaped area available for the redwood tree, and has significantly reduced the amount of available water for the tree during rainfall. The compacted conditions within the tree's root zone caused by the neighboring driveway have also had a negative impact on the tree's health. Despite the tree being in poor condition the tree has been denied for removal. It is recommended to cable the two codominant leaders at a height of 55 feet to mitigate the poor form. Also it is recommended to heavily irrigate the tree during the dry season with the use of soaker hoses. Every 2 weeks the top foot of soil shall be saturated. This will help to improve the condition rating of the tree.

Plum tree #11 and Spanish chestnut trees 12A and 12B are all in decline and recommended and proposed for removal. None of these trees are protected in the city of Menlo Park. The Spanish chestnut trees were surveyed as one tree on the topography map. These trees are 2 separated trees and have been topped in the past.

The only other tree surveyed that is a protected tree is coast live oak tree #18. This tree is located on the neighbor's property to the north west adjacent to the existing shed on site. The shed should be removed with care. Once the shed has been removed tree protection fencing shall be placed at a radius of 12 feet where possible. Impacts to this tree are expected to be nonexistent as the rear setback restricts construction near this tree. The proposed patio is located at 12 feet from the neighbor's oak tree. Tree protection fencing shall be placed as close as possible to the proposed patio. No impact are expected from the construction of the patio, therefore no mitigation measures are needed.

**Impacts and recommendations from the proposed construction for the heritage trees on site:**

The existing sewer line is proposed to be reused for unit #1. A new sewer clean out location is to be provided within 5 feet of the property line on Menlo Avenue. A new water meter and line is to be installed for unit #1. All of this work will be taking place within the tree protection zone of the neighbor's London plane street tree #1. This species has a good tolerance to construction impacts. All of the above described utility work will be within 10 feet from the protected London plane tree. All excavation needed within 15 feet of this tree will need to be done with the use of an air spade (air knife) in combination with hand tools. All encountered roots must be exposed and remain as damage free as possible. The Project Arborist must view the trench with exposed roots. During the majority of the proposed construction, tree protection fencing will need to be placed at a radius of 15 feet from this tree where possible. Tree protection fencing during the proposed utility work will need to be slightly reduced by 5 feet. This should raise awareness to the contractor to call the Project Arborist, as the contractor must contact the Project Arborist to be able to move the fence. The Project Arborist will need to be onsite during the manual excavation needed for the utilities. When possible lines shall be tunneled below or besides roots eliminating the need to cut roots. This will reduce impacts to the tree as much as possible as encountered roots within the trench can be saved. Impacts from the utility work are expected to be minor to nonexistent. It is recommended to provide significant supplemental irrigation during the entire length of construction as mitigation for the minor to nonexistent impacts. This will also ensure the tree retains its vigor. Soaker hoses are recommended to be placed within the tree protection zone of 15 feet from the tree, and be turned on every 2 weeks during the dry season until the top foot of soil is saturated. A garden hose can also be used to flood the area and may help to speed the irrigation process up.

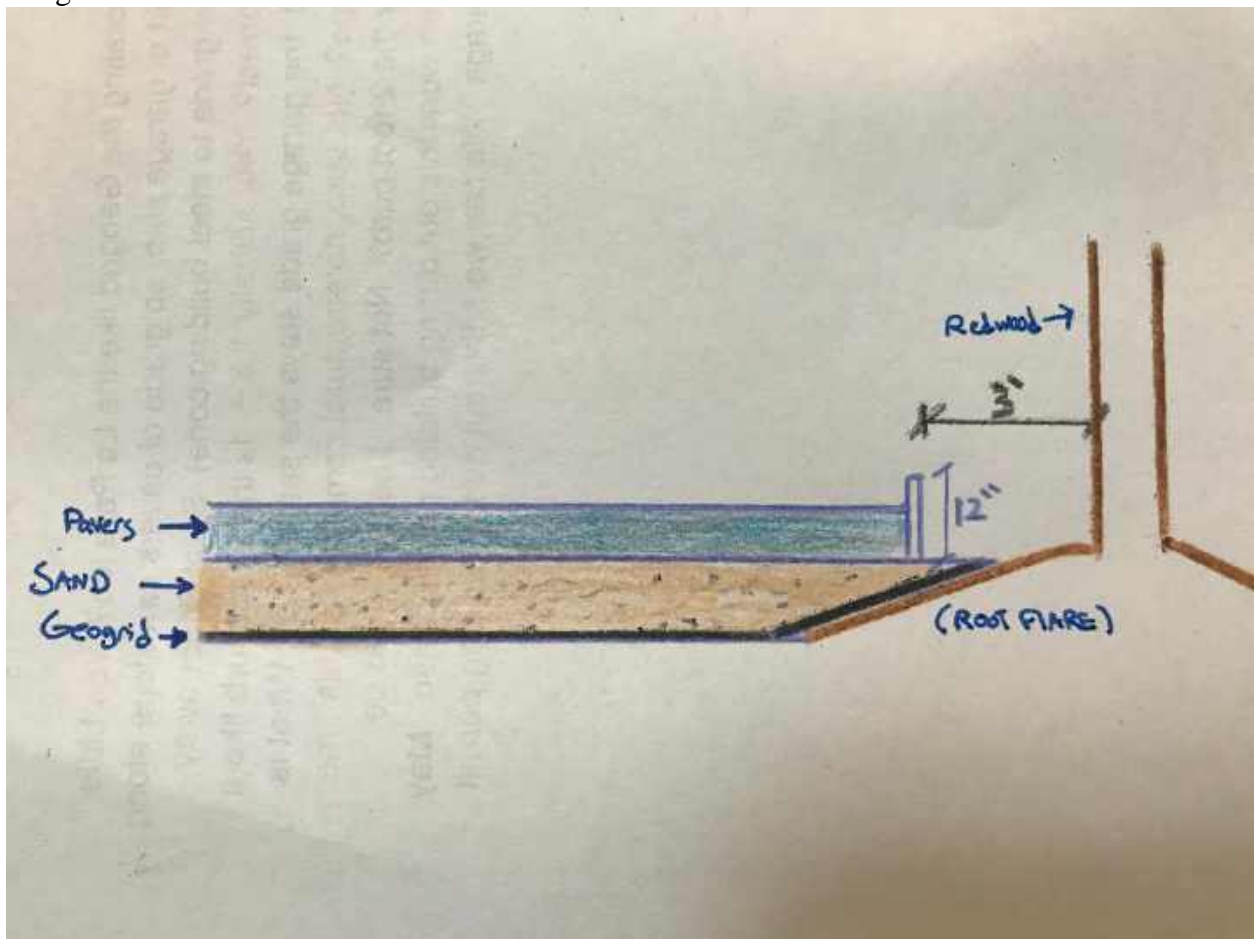
Neighbor's coast live oak tree #5 is in good condition. The existing home is located at 5 feet from the property line near this tree. The proposed home is located further from the tree than the existing home, as the proposed home is 10 feet from the property line. The existing home foundation likely acted as a root barrier for this tree. Roots underneath the existing foundation are expected to be minimal to nonexistent. Therefore, impacts from the construction of the new foundation are expected to be nonexistent. Tree protection fencing will need to be maintained at the existing home foundation area and out to a distance of 25 feet where possible. During demolition of the existing home, the existing foundation must be pulled away from the tree, with demolition equipment facing towards the tree. The Project Arborist will inspect the demolition of the foundation during the tree protection inspection needed to pick up the building permit. A small above grade stone patio is proposed off the side of unit #1. This is not expected to impact the tree as little to no excavation is needed. During the construction of the patio, tree protection fencing may need to be temporarily reduced to allow for the patio to be built. Anytime the tree protection fencing needs to be moved, the Project Arborist must first be called out to the site. The Project Arborist is recommended to be called out to the site during the excavation for the new foundation closest to the neighbor's oak tree #5 to document the work and to offer mitigation measures if needed. The oak tree has been heavily pruned away from the existing home in the past. Any needed pruning for the oak tree is expected to be minor (small branches if any at all). Any pruning to the tree must be done by a licensed tree care provider and overseen by the Project Arborist.

A drainage line is proposed on the south side of unit #1. The line is to be located at 5 feet from the property line fence. Because the existing home foundation is in this same location as the proposed line, rooting is expected to be minimal. Roots may be running parallel to the proposed drainage line/existing foundation. All excavation needed for the drainage line and catch basin will need to be manually excavated by hand under the Project Arborist supervision, when within 25 feet of neighboring oak tree #5. All encountered roots shall be exposed and remain damage free for the Project Arborist to view. The line shall be tunneled underneath the roots when possible to reduce impacts to the tree. No roots shall be cut in this area without the Project Arborist consent. Impacts from the excavation of the drainage line are expected to be minor. The catch basin is far enough from the oak tree that no impacts are expected. While the trench is open with roots exposed, roots should be wrapped in burlap and kept moist by spraying down the burlap multiple times a day to avoid root desiccation. It is recommended to deep water fertilize the tree in the month of May using 200 gallons of clean water mixed with a well balanced fertilizer.

A new garage is proposed in the rear of unit #1. The corner of the proposed garage is located 3 feet from Canary Island Palm tree #1. Impacts to the palm tree are expected to be minor to moderate. Because the excavation is a corner cut out of the tree's root zone and estimated 15-20% of the root zone will be impacted. The proposed garage should be located on top of a pier and grade beam foundation with a shallow grade beam (6" maximum depth) in order to reduce impacts as much as possible. Palm trees have a good tolerance to construction impacts. It is recommended to deep water fertilize the palm tree with a well balanced fertilizer formulated for palm trees in the month of May. Palm trees need significant amounts of nitrogen, potassium, iron, magnesium & manganese to stay healthy. The needed irrigation for the neighboring redwood tree will also be of benefit to the palm tree.

Redwood tree #10 is in close proximity to the proposed pervious paver parking spaces(3.25 feet). The tree has a large root flare that is at most 2 feet higher than the relative flat grade next to the tree at 7 feet from the tree. The root flare meets the surrounding grade at 7 feet from the tree. In order to reduce potential impacts to the redwood tree, the paver parking design has been revised. Biaxial Geogrid (Tensar BX-1100 or equivalent) will be placed on top of the existing grade, as well as the portion of the root flare at 3.25 feet from the tree, in order to build a zero cut type driveway. A sand layer will then be placed on top of the Geogrid material with pavers being placed on top of the sand. The finished grade of the driveway has also been revised, so that at 3.25 feet from the tree the grade is 1.6' higher than the existing grade thus covering the tree's root flare so that no excavation is needed into the root flare. No roots will need to be cut within the paver section as the grade of the driveway has been significantly changed to accommodate the trees root flare. This will reduce impacts to the tree as much as possible. The Project Arborist must be on site during the entire driveway build when within 33 feet from redwood tree #10. By using this method impacts to the redwood tree from the proposed pervious paver driveway is expected to be minor. The redwood tree will need to receive significant supplemental irrigation as mitigation for the minor impacts, as well as throughout the tree's lifespan in order to maintain a healthy canopy. Where possible soaker hoses shall be placed anywhere within 33 feet from the tree and be turned on every 2 weeks until the top foot of soil is saturated. Seasonal rainfall may

reduce the need to irrigate this area. This tree is also recommended to be deep water fertilized with 300 gallons of clean water with a well balanced fertilizer in the month of May. The driveway construction is recommended to take place at the end of the project, so that tree protection fencing can be placed at 33 feet from the tree where possible during construction of the home. This way potential compaction impacts from equipment and foot traffic will be reduced. When it is time to start the driveway work the Project Arborist shall be called out to the site to witness the moving of the tree protection fence to allow the work to take place. This will also be a reminder to the contractor to have the Project Arborist on site during the excavation for the driveway. Tree protection fencing during the driveway construction must be placed as close as possible to the proposed driveway edge and out to 33 feet from the tree where possible. Below is a diagram showing the recommended construction of the driveway using Biaxial Geogrid.



**Diagram showing driveway construction method**

The proposed garage for unit #1 is located 7'8" from redwood tree #10. The proposed garage should be located on top of a pier and grade beam foundation with a grade beam depth not to exceed 6 inches into surrounding grade, in order to reduce impact to the tree as much as possible. An exploratory trench should first be done at the proposed garage foundation in order to strategically place piers in locations where little to no roots are encountered. All excavation for the proposed garage will need to be done by hand. All encountered roots will need to be exposed and remain damage free for the Project Arborist to view. Roots will need to be wrapped in burlap and kept moist by spraying down the burlap multiple times a day to avoid root desiccation. No roots for the proposed garage shall be cut without the Project Arborist consent. Impacts to the redwood tree from the proposed garage are expected to be minor. The recommended irrigation and deep water fertilizing for the redwood tree shall act as mitigation measures for the tree. Once architectural plans have been approved, structural plans will then be made. Structural plans will need to be reviewed by the Project Arborist.

The utility line locations have been revised to be further away from redwood tree #10. The only line in close proximity to the redwood tree is a drainage line located 10 feet from the tree at the closest point. This line shall be excavated by hand in combination with an air spade when within 33 feet of the redwood tree. All encountered roots must remain as damage free as possible. This line will need to be placed below or between the tree's root zone to reduce impacts to the tree. This work will need to be documented by the Project Arborist. Exposed roots will need to be wrapped in burlap and kept moist during the work to reduce risk of root desiccation. Impacts are expected to be minor. The recommended irrigation and deep water fertilizer will act as mitigations for the minor impacts.

The existing shed near neighboring coast live oak tree #18 is to be demolished. Demolition equipment must work as far away from the tree as possible when demolishing the shed. Once the shed has been demolished tree protection fencing must be installed at a distance of 12 feet from the tree where possible. All work for the vegetated swale near this tree shall be done by hand when within 12 feet from the tree. No encountered roots shall be cut. Impacts to this tree are expected to be nonexistent. The following tree protection plan will help to ensure the future survival of the trees to be retained.

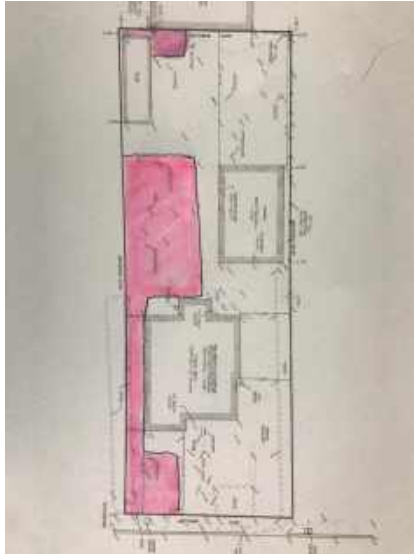
### **Tree Protection Plan:**

#### *Tree Protection Zones*

Tree protection zones should be installed and maintained throughout the entire length of the project. Fencing for tree protection zones should be 6' tall, metal chain link material supported by metal 2" diameter poles, pounded into the ground to a depth of no less than 2'. The location for the protective fencing for the protected trees on site should be placed at 10 times the tree diameter where possible. Where not possible because of approved proposed work or existing hardscapes, the tree protection fencing shall be placed at the edge of the proposed work or hardscapes. No equipment or materials shall be stored or cleaned inside the protection zones. Areas where tree protection fencing needs to be reduced for access, should be mulched with 6" of coarse wood chips with ½ inch plywood on top. The plywood boards should be attached together in order to minimize movement. The spreading of chips will help to reduce compaction

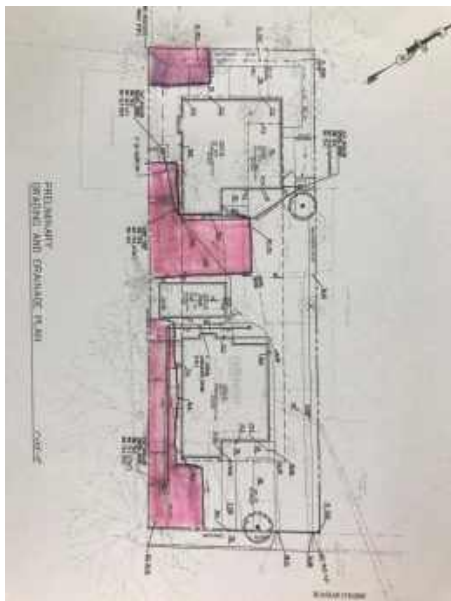


and improve soil structure. All tree protection measures must be installed prior to any demolition or construction activity at the site. Below is a diagram showing the recommended tree protection fencing locations for the heritage trees on site during the demolition phase of the project. All non heritage trees to be retained are recommended to be protected with fencing placed at the tree's dripline.



**Highlighted areas represent areas to be fenced off by tree protection fencing for the protected trees on site during demolition**

Below is a diagram showing the recommended tree protection fencing locations during the construction phase of the project. Some of the tree protection fencing areas are located where proposed work will be taking place such as the driveway. The driveway is to be built at the end of the project so that the redwood tree can be fully protected during the construction of the home. This should be a reminder to contact the Project Arborist to verify new tree protection fencing locations as well as to have the Project Arborist on site during excavation within the tree protection zones.



**Highlighted areas represent areas to be fenced off during the construction phase of the project. Anytime tree protection fencing needs to be moved to perform work, the Project Arborist shall be called out to the site.**

*Landscape Buffer*

Where tree protection does not cover the entire root zone of the trees (10X diameter), or when a smaller tree protection zone is needed for access, a landscape buffer consisting of wood chips spread to a depth of six inches with plywood or steel plates placed on top will be placed where foot traffic is expected to be heavy. The landscape buffer will help to reduce compaction to the unprotected root zone.

*Root Cutting and Grading*

Any roots to be cut shall be monitored and documented. Large roots (over 2" diameter) or large masses of roots to be cut must be inspected by the site arborist. The site arborist, at this time, may recommend irrigation or fertilization of the root zone. All roots needing to be cut should be cut clean with a saw or lopper. Roots to be left exposed for a period of time should be covered with layers of burlap and kept moist.

*Trenching and Excavation*

Trenching for irrigation, drainage, electrical or any other reason shall be done by hand when inside the dripline of a protected tree. Hand digging and the careful placement of pipes below or besides protected roots will significantly reduce root loss, thus reducing trauma to the tree. All trenches shall be backfilled with native materials and compacted to near its original level, as soon as possible. Trenches to be left open for a period of time, will require the covering of all exposed roots with burlap and be kept moist. The trenches will also need to be covered with plywood to help protect the exposed roots.

*Irrigation*

Normal irrigation shall be maintained on this site at all times. The imported trees will require normal irrigation. On a construction site, I recommend irrigation during winter months, 1 time per month. Seasonal rainfall may reduce the need for additional irrigation. During the warm season, April – November, my recommendation is to use heavy irrigation, 2 times per month. This type of irrigation should be started prior to any excavation. The irrigation will improve the vigor and water content of the trees. The on-site arborist may make adjustments to the irrigation recommendations as needed. The foliage of the trees may need cleaning if dust levels are extreme. Removing dust from the foliage will help to reduce mite and insect infestation. Native oak trees shall not be irrigated unless their root zones are traumatized.

*Inspections*

It is the contractor's responsibility to contact the site arborist when work is to take place within 10 times the diameter of a protected tree on site. Kielty Arborist Services can be reached by email at [kkarbor0476@yahoo.com](mailto:kkarbor0476@yahoo.com) or by phone at (650) 515-9783 (Kevin). In addition to monitoring construction activities within 10 times the diameter of a protected tree on site, a monthly monitoring report has been required by the city of Menlo Park. A report is to be submitted to the Building Department after each site visit. These site visits will be made to monitor tree conditions and protections. These inspections will be taking place the first week of each month for the duration of construction. The contractor must notify the Project Arborist when construction is to start.

The information included in this report is believed to be true and based on sound arboricultural principles and practices.

Sincerely, Kevin R. Kielty Certified Arborist WE#0476A

To the Menlo Park City Planning Commission

*re: The Building Plans for 966 Menlo Avenue*

We are writing to you today about the building plans for 966 Menlo Avenue. In a meeting with a MP Planning Commission member, we learned that Menlo Park residents really can have a say in how developments are approved by the Planning Commission. We are writing to you now in the hopes that this is true.

Menlo Park has a wonderful village feeling, and is loaded with greenery and trees everywhere. In that regard, we want to say how much we object to the plans for 966 Menlo Ave. The plans do not fit the lot size or the aesthetics of Menlo Park, and will block views for close neighbors. Is this the new look for Menlo Park? Are we to have large oversized homes in relation to the lot size, with pavers and very little greenery and landscaping, with little regard to our beautiful heritage trees? We do not agree with that thinking for Menlo Park. The distinctive style of our town will be lost if this kind of unbridled building escalates.

Is it really necessary to pack two 2-story homes into this very small space? These homes will create a barrier to several homeowners in the neighborhood, who now have beautiful views of all of the trees down the entire street. The new view will be of neighbors looking into the bedroom windows of these new homes. This will alter the complete beauty and lifestyle for those of us able to now enjoy a view of diverse, large trees down the avenue.

Additionally, the scale of two, 2-story homes will dwarf the homes on either side of this development, and will look as much out of synch as the 765 University Ave development, where residents are disturbed by the height and the architectural design.

We also have very strong objections to the way this development will impact the heritage trees, both on the 966 lot and on its adjacent neighbor at 974 Menlo Ave.

- The Developer's arborist states that the beautiful double trunk redwood heritage tree at 966 should be removed. His rational for this was: "*declining vigor.*" He said "*that the top of the tree is in decline likely from drought stress.*" What tree hasn't suffered from drought

stress? We don't believe that this assessment is correct. It looks quite healthy to us. There was no report of disease in this arborist's report or of imminent demise. If the tree isn't at risk for falling down, why would we agree to eliminate a beautiful redwood heritage tree? Though it could use some pruning, it looks perfectly healthy to us. It should not be removed and we would like to request joining the Menlo Park arborist when he studies this tree's health.

- Another key point is that this redwood tree is also **home to a family of hawks** . Don't we have an obligation to protect our wildlife?
- We also believe that the development plans will adversely affect the heritage oak trees of 974 Menlo Ave. The developer's plans situate the front houses so closely to the border between these properties, that it will, no doubt, necessitate the cutting of many significant branches of the oak trees belonging to its neighbor at 974, not to mention severely impinging upon their root system. That will of course put the oak trees health at great risk.
- These heritage trees of both properties now provide more than beauty. They also provide privacy and sound barrier protection. We should do everything we can to ensure their good health.

We the undersigned request that the Planning Commission ask the developer to re-do the plans with these considerations:

- The housing size is more appropriate to the lot size and the neighborhood aesthetics,
- It protects the trees on both lots of 966 and 974, both for their beauty and the healthy sound barrier they provide.
- It protects the family of hawks.

We want to thank you for considering our concerns. We know your jobs are not always easy, but we strongly believe that these are very important issues to be addressed.

RECEIVED

SEP 1 / 2018

CITY OF MENLO PARK  
PLANNING DIVISION

RESIDENTS: [NAME AND ADDRESS]

Catherine Milton	978 Menlo Ave
Richard Olson	" " "
Nancy Hunt Kresling	996 Menlo Ave
Stephen Fort	973 Menlo Ave
Lynn Brown	994 Menlo Ave, MP
Amir Goldberg	976 Menlo Ave
Heather Stre	974 Menlo Avenue
BILL EASTERLING	967 menlo Ave
CAROLYN HILKLOCK	869 UNIVERSITY DR.
James Goss <del>June Goss</del>	940 Menlo Ave Apt B
Nicole Martinez <del>NM</del>	940 Menlo Ave Apt B
Margie Gene Gulon	940 menlo Ave - Front
John J. Klue	940 MENLO AVE FRONT
<del>John J. Klue</del>	994 menlo Ave Menlo Park CA
Anne Gerbois	971 Menlo Ave, Menlo Park, CA

RESIDENTS: [NAME AND ADDRESS]

Nicole Martinez *NM*

James Goss *James Goss*

940 Menlo Ave B, Menlo Park, CA 94025

RESIDENTS: [NAME AND ADDRESS]

Gary Lewis

982 Mendocino Ave Mendocino CA 94025

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To the Menlo Park City Planning Commission

*re: The Building Plans for 966 Menlo Avenue*

Date: February 18, 2019

As an addendum to our original petition signed by 18 neighbors regarding the development proposed for 966 Menlo Ave, we would like to elaborate further on some of the original points.

-Preserving the trees is critical to mitigating the effect of this development.

-For this reason, we fully support the variance to preserve the heritage redwood tree and appreciate the efforts to ensure its survival.

-There are, however, other trees that need protection. There are two heritage oak trees at the lot line at the adjacent home, 967 Menlo Ave. There is also a heritage palm tree and several other trees located along this property border.

-It is entirely possible that the building construction may adversely affect the roots of these trees. We ask the Planning Commission to ensure their safety during building construction by requiring the builder to follow best practices to preserve these trees.

-We would also like to add that per the Arborists Report, the redwood tree had not been properly watered or cared for. We request the Commission to require that the redwood and the other trees be properly maintained, ie, watered and pruned, on an ongoing basis.

-We would also like to request a tapering of the building at the second floor so that these two, two story homes do not create the

appearance of a 'monolith', overshadowing the adjacent small, one story homes. We had requested this of the Developer, but he apparently has not done anything to accommodate this request.

In summary, the preservation of the trees along the lot line is *critically* important as a mitigation measure for the redevelopment of this property.

Thanks for your time and consideration

Rayna Brown, 994 Menlo Ave, Menlo Park, CA 94025

Carolyn Hitchcock, 869 University DR, Menlo Park, CA, 94025

2/18/19

## Rogers, Thomas H

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**From:** Kathy Kroesche <kathy.kroesche111@gmail.com>  
**Sent:** Monday, February 11, 2019 12:01 PM  
**To:** Rogers, Thomas H  
**Subject:** 908 and 966 Menlo Avenue

Dear Thomas Rogers,

Thank you for sharing the plans to demolish my two favorite structures in this 900 block of Menlo Avenue. I will be very sorry to see these charming homes destroyed. More importantly, given our serious housing shortage and people living in their cars, I am perplexed as to why we are using R3 zoning for single family homes. Why is it the town's policy to allow reducing density when the need for affordable housing is so high? I don't want to obstruct my neighbors' use of their properties now, but for our future, I think the town should make a serious change in strategy to help more people be able to live here affordably, especially in the denser downtown district.

I love this town. I became a resident in 1966 (born here), and am thankful for all the benefits of this well cared for community.

Take Care,

**Kathy Kroesche**

Cell 408-438-0103

To the Menlo Park City Planning Commission

re: ***The Building Plans for 966 Menlo Avenue***

Date: February 17, 2019

Further to our petition regarding the development proposed for 966 Menlo Ave, I would like to make a statement on the effect this development has upon me personally.

The view from my bedroom window was a critical part, if not the factor that finally cemented my decision to purchase my home at 994 Menlo Avenue over 25 years ago. Some of my neighbors and I have an entire wall of windows looking out onto a thick row of trees filling our view. The development at 966 Menlo Ave threatens this view and our privacy. If any of the trees and their roots situated on the border between 966 and 967 were to be inadvertently and adversely affected by this development, then we would literally be looking into each other's bedrooms. This would obviously alter my perspective on life in Menlo Park. I decided to live here because of the 'village-like' feel of Menlo Park, the mature, beautiful trees everywhere, and the bucolic nature of this town. I hope we do not, one development at a time, tear down that unique quality.

Rayna Brown



## STAFF REPORT

### Planning Commission

**Meeting Date:** 2/11/2019  
**Staff Report Number:** 19-009-PC

**Public Hearing:** Facebook Development Agreements – Sixth Year Annual Review

### Recommendation

Staff recommends that the Planning Commission review the information provided and make a determination that Facebook, over the course of the past year, has demonstrated good faith compliance with the provisions of the Development Agreements (DA) for the West Campus and Facebook West Campus Expansion for the period of October 2017 through September 2018. For the East Campus, staff recommends that the Planning Commission continue the DA annual review to a future meeting to allow for more information on the trip cap to be provided to the Planning Commission as part of its comprehensive review of the East Campus DA. The recommended actions are included in Attachment A.

### Policy Issues

The implementation of each of these development agreements is considered individually. The Planning Commission should make a determination on whether or not Facebook has demonstrated its good faith compliance with the provisions of the West Campus and Campus Expansion Project development agreements at this time.

### Background

The Facebook Campus Project includes three areas, specifically, the East Campus, West Campus, and Facebook West Campus Expansion (Campus Expansion Project) area. There are three DAs and two Conditional Development Permits (CDPs) for the two campuses. The land use entitlements and development agreements were also processed in phases, with the East Campus entitlement process being completed first. An overview of the project phases is provided below.

#### East Campus

The 56.9-acre East Campus is located at 1 Hacker Way (previously addressed 1601 Willow Road). This developed site was previously occupied by Oracle and Sun Microsystems. The site is developed with nine buildings (Buildings 10 through 19) and contains approximately 1,035,840 square feet. Applicable entitlements and agreements for the Facebook East Campus project included an amended and restated CDP and DA. The City Council approved the project in May and June of 2012. All of the buildings on the East Campus are occupied.

#### West Campus

The 22-acre West Campus is located at 1 Facebook Way. The 433,555 square foot building (also known as Building 20) is constructed over surface parking. Applicable entitlements and agreements for the

Facebook West Campus Project included a Rezoning, Conditional Development Permit, and Development Agreement. The City Council approved the project in March 2013. The West Campus building, known as Building 20, is completed and occupied.

### Campus Expansion Project

The Campus Expansion Project includes two new office buildings (Buildings 21 and 22) and a limited service hotel. The project also includes approximately two acres of publicly accessible open space and a bicycle/pedestrian bridge over Bayfront Expressway. The City Council approved this project on November 1, 2016. Applicable entitlements and agreements for the Facebook Campus Expansion Project included an amended and restated Conditional Development Permit, Development Agreement, Rezoning, Zoning Ordinance Text Amendment, Heritage Tree Removal Permits, and Below Market Rate (BMR) Housing Agreement. This Development Agreement and associated Conditional Development Permit were amended in November 2017 as part of applicant-initiated revisions to the approved Campus Expansion Project.

### **Analysis**

A DA is a legally binding contract between the City of Menlo Park and an applicant that delineates the terms and conditions of a proposed development project. A DA allows an applicant to secure vested rights and allows the City to secure benefits that are generally not obtainable otherwise. DAs are commonly used for land use developments which are implemented in phases over a period of time. DAs provide assurances to both the applicant and the City that the terms of the agreement will be in force until the completion of the project, and in some cases, elements of the DA could be in effect for the life of the project. DAs are enabled by California Government Code Sections 65864-65869.5.

The City Council adopted Resolution No. 4159 in January 1990, establishing the procedures and requirements for the consideration of DAs. Resolution No. 4159 calls for the Planning Commission to conduct a public hearing at which the property owner (or representative for the property owner) must demonstrate good faith compliance with the terms of the agreement. The Planning Commission is to determine, upon the basis of substantial evidence, whether or not the property owner has, for the period under review, complied in good faith with the terms and conditions of the Agreement. The decision of the Planning Commission is final, unless it is appealed to the City Council. These provisions implement Government Code Section 65865.1 which requires the periodic review, at least once every 12 months, to determine compliance with the terms of the agreement.

In addition, the approved DAs for the East and West Campuses, Sections 24.1 and 15.1, respectively, and Section 12.1 of the Campus Expansion Project DA, set forth the following requirement for the Annual Review: "The City shall, at least every 12 months during the term of this Agreement, review the extent of Facebook's and Owner's good faith compliance with the terms of this Agreement pursuant to Government Code Section 65865.1 and Resolution No. 4159. Notice of such annual review shall be provided by the City's Community Development Director to Facebook and Owner not less than 30 days prior to the date of the hearing by the Planning Commission on Facebook's and Owner's good faith compliance with this Agreement and shall to the extent required by law include the statement that any review may result in amendment or termination of this Agreement. A finding by the City of good faith compliance with the terms of this Agreement shall conclusively determine the issue up to and including the date of such review."

There is an additional clause in the Facebook West Campus Development Agreement that requires that, “Such review shall be scheduled to coincide with the City’s review of compliance with the 1601 Willow Road Development Agreement.”

In evaluating Facebook’s progress at implementing the Development Agreements, staff has developed a classification system to describe how the specific requirements are being implemented using four categories. Three of these categories are consistent with the principle of good faith compliance with the terms of the agreements and are as follows:

- **Completed:** A One-time Action was completed or an Ongoing Activity occurred during the DA review year.
- **In Progress:** A One-time Action is underway (acceptable progress).
- **Conditional, No Action Required:** The triggering event, condition, or requirement to undertake an item has not occurred and no action is necessary at this time.

The fourth category, described as Unacceptable Progress implies that, at least potentially, good faith compliance for that item may not have occurred. However, a determination that substantial and persistent non-implementation of a development agreement would have to occur before a lack of good faith compliance could truly be determined. None of the DA requirements for the West and Campus Expansion Project have been identified as Unacceptable Progress during the 2017-2018 DA review year.

To ensure that the City is aware of the status of their compliance and any challenges they may be having achieving compliance, Facebook provides periodic updates on the status of all applicable requirements. These updates, as well as supporting correspondence and written documentation have been used to develop the DA Implementation tables attached to this staff report.

**East Campus DA**

The East Campus DA includes 37 requirements that are associated with the annual DA tracking. These requirements fall into two categories, One-Time Actions and Ongoing Activities. A detailed description of the requirements of the DA for the East Campus are contained in Attachments B and C, respectively. The summary of the implementation status of the 37 DA requirements is provided in the following table.

<b>East Campus DA Implementation Status</b>	<b>One-Time Actions (Attachment B)</b>	<b>Ongoing Activities (Attachment C)</b>
Completed	16	15
In Progress/Ongoing* (Acceptable Progress)	1	
Conditional / No Action Required	1	4
Unacceptable Progress/No Information Provided	0	0

\*Trip Cap Compliance is considered In Progress since it is currently under review.

### Trip Cap Compliance

Facebook and the City continue to monitor compliance with the trip cap requirements. According to the Trip Cap Policy, Facebook is allowed to exceed its trip cap on twelve special event days in a 12-month period and on 3 non-special event days in a 180 day period (at which time Facebook must be in compliance with the trip cap for 180 days before utilizing any additional non-special event exclusions). According to the trip cap policy, special events are defined as those that are not typical of the operating conditions at the campus and would be likely to involve more than Facebook employees.

Under the trip cap, a trip is considered a vehicle whose occupant(s)' final destination is the East Campus or a vehicle whose origin is the East Campus. In accordance with the trip cap, staff reviewed additional data this year to determine the reliability (sensitivity) factor for trips to/from the site, specifically with regard to the accuracy of the trip count equipment sensors. The trip cap would include the application of the updated reliability factor.

There were a number of trip cap exceedances during the 2018 calendar year and the City is reviewing the log to determine what exceedances are attributed to eligible exclusions, determining the total number of exceedances, and reviewing measures taken by Facebook to bring the site into compliance. Preliminary review of the data shows that the majority of exceedances occurred in the first part of the year and have reduced in frequency. Depending on the number of event exclusions, penalties for the exceedances could be assessed. Further, the City has been made aware that rideshare (e.g. Uber/Lyft) pick-up and drop-off have been restricted from using the East Campus. Since a trip is considered a vehicle whose occupant(s)' final destination is the East Campus, staff believes that some of these rideshare trips may need to be applied to the East Campus trip cap. City staff will be working with Facebook to determine if any additional trips should be credited against the East Campus trip cap and will adjust the number of exceedances accordingly.

Staff is still reviewing the trip log to determine the number of trip exceedances and Facebook's current operations and proposed modifications to ensure compliance going forward. Staff recommends that the Planning Commission continue the entire DA annual review for the East Campus to a future meeting to allow for a comprehensive review of compliance with the DA, including the trip cap component. Staff anticipates bringing the East Campus DA back to the Planning Commission in April.

### ***West Campus DA***

The West Campus DA (for Facebook's Building 20) includes 11 requirements that are associated with the annual DA tracking. These requirements fall into two categories, One-Time Requirements and Ongoing Activities. Requirements that apply only to project construction (e.g. 7.3.1 and 7.3.2) are also classified as One-Time activities since once construction is completed the obligation no longer applies. All of the Ongoing Activities are required to be implemented after the West Campus has been constructed and occupied. As a result, these items have been classified as Conditional/No Action Required. A detailed description of the requirements of the DA for the West Campus is contained in Attachments D and E, respectively. The summary of the implementation status of the 11 West Campus Development Agreement requirements is provided below:



<b>West Campus DA Implementation Status</b>	<b>One-Time Actions (Attachment D)</b>	<b>Ongoing Activities (Attachment E)</b>
Completed	5	4
In Progress (Acceptable Progress)	0	
Conditional / No Action Required	0	2
Unacceptable Progress	0	0

Trip Cap Compliance

The West Campus building also has a trip cap requirement. The system has been installed and is counting properly. The City continues to monitor compliance with the trip cap requirements. Facebook is in compliance with the trip cap specified in the Conditional Development Permit. The reliability factor, discussed in the East Campus section above, applies to the West Campus as well and Facebook anticipates determining the appropriate reliability factor for the West Campus equipment in the spring of 2019, with input, consultation, and final determination by City staff.

Campus Expansion Project DA

The Facebook Campus Expansion Project DA (for Facebook’s Buildings 21 and 22, and the hotel) includes 38 requirements that are associated with the annual DA tracking. These requirements fall into two categories, One-Time Requirements and Ongoing Activities. Requirements that apply only to project construction are also classified as One-Time activities since once construction is completed the obligation no longer applies. All of the Ongoing Activities are required to be implemented after the Campus Expansion Project has been constructed and occupied. However, since the project is phased, some Ongoing Activities will be required during construction of the future phases. Occupancy of Building 21 was granted by the City this calendar year and as a result, a number of items that had been previously classified as Conditional/No Action Required, have been changed to ongoing or one-time action depending on the requirement since the previous annual review. Due to the phased nature of the project, some items are still identified as Conditional/No Action Required. If an Ongoing Activity was completed during the last year, it has been identified as completed in the attached table. A detailed description of the requirements of the DA for the Campus Expansion Project is contained in Attachments F and G, respectively. The summary of the implementation status of the 38 requirements is provided below:

<b>Expansion Campus DA Implementation Status</b>	<b>One-Time Actions (Attachment F)</b>	<b>Ongoing Activities (Attachment G)</b>
Completed	6	8
In Progress (Acceptable Progress)	13	2
Conditional / No Action Required	3	6
Unacceptable Progress	0	0

Facebook has made a good faith effort to comply with the terms of the DA for the Campus Expansion Project, including the terms of the Amendment to the DA (adopted in November 2017). The timelines to deliver some items have been extended but staff believes are generally in compliance with a good faith effort to comply with the terms of the DA. The Chilco Street Frontage Improvements were anticipated to be constructed in phases. Phases 3a and 3b have been incorporated into the additional phases of the improvements and construction is anticipated to be completed by the end of 2019, where these phases were originally required to be completed prior to Occupancy of Building 21. Design modifications and coordination with Samtrans across the Dumbarton Corridor have extended the timeline of the project. Facebook has been working with the City to complete these improvements by combining these with Phases 5 and 6. Additionally, Facebook states that its proposed approach for more detailed information to the Housing Inventory and Local Supply Study has extended the timeline, but the final study is anticipated to be submitted to the City in August 2019. The Housing Innovation Fund would implement near-term actions from the Housing Inventory and Local Supply Study and therefore, would be developed concurrently with the completion of the study. However, staff will be working with Facebook to ensure that the necessary items required to ensure an efficient implementation are completed prior to the finalization of the Housing Inventory and Local Supply Study. Another key “in progress” project is the Affordable Housing Preservation Pilot Program. Facebook states that it pursued multiple options that ultimately were unsuccessful. The first project was a secondary dwelling unit program that Facebook determined did not fit within the Affordable Housing Preservation Pilot Program, but that Facebook is exploring the project separately. The second project was the purchase of a multi-family building in partnership with an affordable housing developer, but the proposal fell through. Therefore, at this time, Facebook has proposed partnering with Local Initiatives Support Coalition (LISC), to implement the program, subject to authorization of the City. City staff and Facebook will be discussing this option further in the near future. Staff believes that these efforts constitute a good faith effort to comply with the terms of the DA.

The Campus Expansion Project and the West Campus (Building 20) are under a common trip cap, which is in compliance with the Trip Cap for the project site.

#### Requirements of the Conditional Development Permits

As part of this annual review staff has also reviewed the implementation status of the major infrastructure improvements identified in the CDPs for both the East Campus and West Campus, and Campus Expansion projects. For reference, the West Campus CDP was incorporated into the Amended and Restated CDP for the Facebook Campus Expansion Project. For the sake of simplicity, only the East Campus CDP numbers are provided when the improvement is identified in both CDP documents. The original schedule required bonding for the improvements within 90 days after the approval of the DA, and the submittal of complete construction/ improvement plans within 180 days of approval of the DA. Once Caltrans (and/or the cities of Menlo Park and East Palo Alto) approve the construction plans, construction is required to be completed within 180 days. The CDP schedule contains no deadlines for the review and approval of the encroachment permit by either Caltrans or the City of East Palo Alto since these outside agencies have their own processing requirements and timelines.

The following table summarizes the status of the various infrastructure requirements contained in the Conditional Development Permits for the East and West Campus Projects. As shown below, Facebook has made progress at meeting their obligations under their Conditional Development Permits. During the

next annual review cycle, it is expected that the remaining substantially completed improvement will be complete and accepted by the City. Acceptance of the improvements by the City is the last step in any public infrastructure project.

Completion Status Summary	Number
Project Complete, Work Accepted by the City	9
Project Substantially Completed, the improvements have not been accepted by the City	1
Project still under design development/Encroachment Permit has not been issued/Construction has not started	0

A summary of the status of each of these required public improvements is provided in the following table. For the remaining “95%” project, City staff has met with Facebook regarding the remaining corrective actions needed to complete the University Avenue Trail Improvements. These final corrective items are anticipated to be completed over the summer.

STATUS OF FACEBOOK CDP INFRASTRUCTURE IMPROVEMENTS						
CDP Requirement	Bond Paid	Encroachment Permit		Construction		
		Applied For	Received	Started	Substantially Complete	Percent Complete
<b>EAST CAMPUS</b>						
Willow Rd. & Bayfront Expway. lane widening and bike lanes <i>(EC CDP 10.1)</i>	✓	✓	✓	✓	✓	<b>100%</b>
Willow Rd. & Middlefield Rd. lane and signal revisions <i>(EC CDP 10.2)</i>	✓	✓	✓	✓	✓	<b>100%</b>
University Ave. & Bayfront Expway. trail improvement <i>(EC CDP 10.3)</i>	✓	✓	✓	✓	✓	<b>95%</b>
Bayfront Expway. & Chrysler Drive lane restriping <i>(EC CDP 10.4)</i>	✓	✓	✓	✓	✓	<b>100%</b>
Marsh Rd. & Bayfront Expway. lane restriping <i>(EC CDP 10.5)</i>	✓	✓	✓	✓	✓	<b>100%</b>
Marsh Rd. & US101 NB ramp widening <i>(EC CDP 10.6)</i>	✓	✓	✓	✓	✓	<b>100%</b>

<b>STATUS OF FACEBOOK CDP INFRASTRUCTURE IMPROVEMENTS</b>						
<b>CDP Requirement</b>	<b>Bond Paid</b>	<b>Encroachment Permit</b>		<b>Construction</b>		
		<b>Applied For</b>	<b>Received</b>	<b>Started</b>	<b>Substantially Complete</b>	<b>Percent Complete</b>
Willow Rd. & Newbridge St. lane widening (EC CDP 10.7)	✓	✓	✓	✓	✓	100%
WEST CAMPUS						
Bayfront Expway. Undercrossing (WC CDP 10.0)	✓	✓	✓	✓	✓	100%
University Ave. & Donahoe St. restriping (WC CDP 12.10)	✓	✓	✓	✓	✓	100%
Willow Rd. Median, emergency vehicle access	✓	✓	✓	✓	✓	100%

The infrastructure improvement projects listed in the table above are substantially complete but minor finalizations are still necessary for one of the items. The infrastructure improvements associated with the Campus Expansion Project CDP include the bicycle and pedestrian bridge, the publicly accessible open space, and the on-site recycled water system for Buildings 21 and 22. The bicycle and pedestrian bridge and the first phase of the publicly accessible open space are required to be completed prior to occupancy of Building 22 and Facebook has been working with the City and Caltrans on the building permit for the bridge, which is expected to be issued in spring 2019. The on-site recycled water system has been installed in Building 21 and is currently undergoing commissioning, which must be completed before the issuance of the permit to operate the system.

The following table outlines the infrastructure improvements associated with the Mitigation Measure Monitoring and Reporting Program (MMRP) for the Campus Expansion Project.

<b>STATUS OF FACEBOOK CAMPUS EXPANSION PROJECT CDP INFRASTRUCTURE IMPROVEMENTS</b>			
<b>CDP Requirement</b>	<b>Timeline</b>	<b>Status</b>	<b>Notes</b>
TRA-1.1(c) Bayfront Expressway and Willow Road Improvements	Construct improvement within 180 Days of Caltrans Approval	Completed	
TRA-1.1(d) Bayfront Expressway and University Avenue Future Grade Separation Project Study Report (PSR)	Prior to Occupancy of Building 21	Completed	PSR on file with the City
TRA-1.1(f) Chilco Street and Constitution Drive	Prior to Occupancy of Building 22	In Progress	Pre-construction requirements completed; Construction outstanding

TRA-1.1(i) Bayfront Expressway and Building 20 Entrance	Prior to Occupancy of Building 21	Completed	Microsimulation provided to document that new intersection would not result in queuing into Building 20 intersection.
TRA-1.1(m) Bayfront Expressway and Proposed Building 21 Entrance	Prior to Occupancy of Building 21	Completed	Microsimulation provided in TRA-1.1(i) also applicable to proposed new intersection.
TRA-1.2 Reduce Peak Hour Trip Share for Peak Period to 50 Percent of Total Trips (West Campus and East Campus)	Prior to Occupancy of Building 21	Completed	East "Classic" Campus DA and CDP amended to incorporate TRA-1.2. limits into the Trip Cap Policy for the East Campus
TRA-3.1 Provide Measures to Reduce Cut Through Traffic in the Belle Haven Neighborhood	Implement Measures Prior to Occupancy of Building 22	Ongoing	Facebook and City Staff working on study to identify appropriate measures.
TRA-4.1 (a) Pedestrian Connections: Constitution Drive	Prior to Occupancy of Building 21	Completed	Completed after temporary occupancy of Building 21 but prior to building permit final sign-off
TRA-5.1 (a) Bicycle Connections: Hamilton Avenue	Prior to Occupancy of Building 22	Completed	
TRA-5.1 (b) Bicycle Connections: Northbound access	Prior to Occupancy of Building 22	In Progress	Pre-construction requirements completed; Construction outstanding

All required infrastructure-based mitigation measures from the Campus Expansion Project are on schedule. Improvements required prior to occupancy of Building 21 have been construction/implemented.

### Impact on City Resources

Facebook is required to pay all costs associated with this review to fully cover the cost of staff time spent on the review of these projects.

### Environmental Review

The California Environmental Quality Act (CEQA) requires that activities which meet the definition of a Project be evaluated for their potential impacts on the environment. The Annual Review of the Development Agreements has no potential to result in an impact to the environment and does not meet the definition of a Project under CEQA; as a result, no environmental review or determination is needed. The environmental impacts of the original East and West Campus projects and their associated development agreements were evaluated and considered at the time projects were initially approved by the City in 2012, 2013, 2016, and 2017 respectively.

## **Public Notice**

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting.

## **Attachments**

- A. Recommended Actions
- B. East Campus Development Agreement One-Time Action Status
- C. East Campus Development Agreement Ongoing Activities Status
- D. West Campus Development Agreement One-Time Action Status
- E. West Campus Development Agreement Ongoing Activities Status
- F. Expansion Campus Development Agreement One-Time Action Status
- G. Expansion Campus Development Agreement Ongoing Activities Status

Report prepared by:

David Hogan, Contract Planner and Kyle Perata, Acting Principal Planner

Report reviewed by:

Deanna Chow, Assistant Community Development Director

Facebook Development Agreements – Attachment A: Recommended Actions

<b>LOCATION:</b> 1 Hacker Way, 1 Facebook Way, 300 Constitution Drive	<b>PROJECT NUMBER:</b> N/A	<b>APPLICANT:</b> Facebook, Inc.	<b>OWNER:</b> Facebook, Inc.
<b>REQUEST:</b> Make a determination that Facebook has made good faith efforts to implement the provisions of the three development agreements during the 2018 DA Review Year.			
<b>DECISION ENTITY:</b> Planning Commission	<b>DATE:</b> February 11, 2019	<b>ACTION:</b> TBD	
<b>VOTE:</b> TBD (Barnes, Doran, Goodhue, Kennedy, Onken, Riggs, Strehl)			
<b>ACTION:</b> <ol style="list-style-type: none"> <li>1. Make a finding that the Annual Review of the Development Agreements has no potential to result in an impact to the environment and does not meet the definition of a Project under the California Environmental Quality Act (CEQA).</li> <li>2. Make a finding that Facebook has implemented the provisions of its West Campus and Campus Expansion Development Agreements and associated amendments during the 2017 – 2018 Development Agreement Review Year.</li> <li>3. Continue the review of Facebook’s implementation of the provisions of its East Campus Development Agreement during the 2017 – 2018 Development Agreement Review Year to a future meeting.</li> </ol>			

ATTACHMENT B EAST CAMPUS DEVELOPMENT AGREEMENT ONE TIME ACTIONS OR IMPROVEMENTS				
DA Term	Task/Requirement/Action*	Timeline	Status	Notes
7.1	<u>Capital Improvement</u> . Facebook shall make a one-time payment of One Million One Hundred Thousand Dollars (\$1,100,000) to the City for the City’s unrestricted use toward capital improvement projects.	Within 45 days of the satisfaction of the Conditions Precedent* (11/2/12).	Completed	
7.2.1	<u>Bicycle/Pedestrian</u> . Facebook shall perform one-time improvements to the Undercrossing above and beyond those described in the Project; including to the extent appropriate, preserving existing art and/or providing wall surfaces for invited artists to create mural art with the intent to create an "art gallery" experience for the pedestrians/bicyclists using the undercrossing. (See also East Campus CDP, Section 9)	Within 240 days of the satisfaction of the Conditions Precedent* (5/31/13).	Completed	
7.2.2	<u>Bicycle/Pedestrian</u> . Facebook shall perform restriping improvements for bicycle lanes to the following streets on a one-time basis:  (a) Willow Road and Middlefield Road intersection.	Within 240 days of the satisfaction of the Conditions Precedent* (5/31/13).	Completed	
	(b) Willow Road and U.S. 101 bridge – Green Lane Bicycle Striping.		Completed	Caltrans has not approved this improvement support these improvements. No further actions are possible, obligation satisfied.
	(c) Willow Road between Hamilton Avenue and Bayfront Expressway.		Completed	
	(d) Willow Road between Newbridge Street and Ivy Drive.		Completed	

\* The DA requirements listed here may be summarized; the complete terms are found in the recorded Development Agreement.



**ATTACHMENT B  
EAST CAMPUS DEVELOPMENT AGREEMENT  
ONE TIME ACTIONS OR IMPROVEMENTS**

DA Term	Task/Requirement/Action*	Timeline	Status	Notes
	(e) Willow Road between O'Keefe Street and U.S. 101 (shared lane markings).		Completed	Caltrans did not approve the proposed improvements. No further action is possible, as a result, this obligation is satisfied.
7.2.3	<u>Bicycle/Pedestrian</u> . Facebook shall have a one-time obligation to investigate the possibility of making crosswalk improvements to the pedestrian crossings at the US 101 and Willow Road interchange.	Within 240 days of the satisfaction of the Conditions Precedent* (5/31/13).	Completed	Caltrans will not allow the proposed improvements. No additional action by Facebook is required.
7.2.4	<u>Bicycle/Pedestrian</u> . Facebook shall perform one-time improvements to publicly accessible walking paths, trails and levees in the immediate vicinity of the Property, subject to approval by the San Francisco Bay Conservation and Development Commission ("BCDC").	Within 240 days of the satisfaction of the Conditions Precedent* (5/31/13).	Completed	
7.3	<u>Business District</u> . Facebook will have a one-time obligation to investigate the possibility of creating a business improvement district in the Willow Road corridor between US 101 and Bayfront Expressway that includes the Property. If the business improvement district is feasible and the adjacent property owners are likewise interested in creating the business improvement district, Facebook shall initiate the process for creating the business improvement district.	Within three years of the satisfaction of the Conditions Precedent* (10/3/15).	Completed	Facebook conducted contacts with potentially effected business owner, there was no interest in establishing a business improvement district. Facebook has completed their obligation.

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**ATTACHMENT B  
EAST CAMPUS DEVELOPMENT AGREEMENT  
ONE TIME ACTIONS OR IMPROVEMENTS**

DA Term	Task/Requirement/Action*	Timeline	Status	Notes
9.1	<u>Housing</u> . Facebook will explore opportunities to invest in low income tax credits for affordable housing projects in the City and the City of East Palo Alto, including partnering with a local non-profit housing developer(s) or contributing funds toward the creation of low, very-low or extremely-low income housing. Facebook shall report the results of its explorations to the City's Community Development Director upon the City's Community Development Director's written request. The decision of whether to make any investments will be in Facebook's sole and absolute discretion.	Prior to February 6, 2026.	Completed	
9.2	<u>Housing</u> . Facebook will contact a local real estate developer or local real estate developers interested in building housing projects in the City. Facebook in concert with the real estate developer(s) will explore ways to support housing projects, including, but not limited to investing capital, committing to leasing units or offering marketing opportunities to Facebook employees. Facebook shall report the conclusions from this collaborative effort to the City's Community Development Director upon the City's Community Development Director's written request. The decision of whether to provide any support will be in Facebook's sole and absolute discretion.	Prior to February 6, 2026.	Completed	Facebook has collaborated with the St Anton's Housing Project and provided funding for Below Market Rate housing units.
11.	<u>Bay Trail Gap</u> . Facebook will work with Bay Trail stakeholders, including, but not limited to Mid-peninsula Regional Open Space District, Association of Bay Area Governments (ABAG), the City of East Palo Alto and the City and County of San Francisco and appropriate members of the business community to close the Bay Trail Gap, commonly known as Gap No. 2092, which terminates at the railroad right-of-way on University Avenue.	Prior to February 6, 2026.	Completed	Facebook has written a letter to support the project and Measure A funds. Funds were received by ABAG. Facebook has indicated that they are committed to providing additional funding, as needed.

\* The DA requirements listed here may be summarized; the complete terms are found in the recorded Development Agreement.

**ATTACHMENT B  
EAST CAMPUS DEVELOPMENT AGREEMENT  
ONE TIME ACTIONS OR IMPROVEMENTS**

DA Term	Task/Requirement/Action*	Timeline	Status	Notes
12.	<u>Utility Undergrounding</u> . Facebook agrees to cooperate with the City in the City's efforts to underground existing electric transmission lines located in the vicinity of the property. However, neither the City nor Facebook will be obligated to provide funding for utility undergrounding.	Prior to February 6, 2026.	Conditional	No undergrounding project was initiated during this annual review period.
15.	<u>Adopt-a-Highway</u> . Facebook will adopt a roadway segment in the vicinity of the Property pursuant to Caltrans' Adopt-A-Highway Program. This commitment will be for a period of five years. If there are no segments available for adoption in the vicinity of the Property, Facebook's obligation shall be deferred until a segment becomes available.	Within 180 days of the satisfaction of the Conditions Precedent* (4/1/13).	Completed	Facebook has adopted the Bike trail along 84 from Dumbarton Bridge to Marsh Road and the Northbound and Southbound Willow/101 ramps. (Additional information is located in Attachment C.)
18.1	<u>Local Purchasing</u> . Facebook shall adopt a program to incentivize Facebook employees to frequent local businesses and continue such program for three years from the Effective Date.	July 5, 2015: Three year duration required from effective date.	Completed	The program operated for the required three year period. (This activity was previously listed as an ongoing action.)
22.1	<u>Sanitary Sewer System Upgrades</u> . Facebook shall purchase a third wastewater pump to be placed into reserve in case of pump failure at the Hamilton Henderson Pump Station. Within 120 days of the Effective Date of this Agreement, Facebook shall purchase a 3-Phase pump as approved by West Bay Sanitary District (WBSD).	Facebook shall post a bond equal to 120 percent of the cost of the wastewater pump within 30 days of the satisfaction of the Conditions Precedent* (11/2/12).	Completed	
22.2	<u>Sanitary Sewer System Upgrades</u> . Facebook shall upsize 114 feet of the existing 12-inch diameter pipeline that runs north along Hamilton Avenue, beginning at the Hamilton/Willow Road intersection, to a 15-inch diameter pipe and apply for a Class 3 permit from WBSD. Facebook shall post a bond equal to 200 percent of the estimated cost of the work within 30 days of the satisfaction of the Conditions Precedent	Within 90 days of the Effective Date of this Agreement (10/3/12)	Completed	

\* The DA requirements listed here may be summarized; the complete terms are found in the recorded Development Agreement.

Conditions Precedent. Facebook's and Owner's obligations are expressly conditioned on the resolution of all legal challenges, if any, to the EIR, the Project Approvals and the Project. If no litigation or referendum is commenced challenging the EIR, the Project Approvals and/or the Project, Facebook's and Owner's obligations will vest 90 days after the Effective Date, with the **effective date being July 5, 2012 and 90 days post that being October 3, 2012.** If litigation or a referendum is commenced challenging the EIR, the Project Approvals and/or the Project, then Facebook's and Owner's obligations will vest on the date of final, non-appealable resolution of all litigation in a manner that is reasonably acceptable to Facebook and Owner or resolution of the referendum in a manner that is reasonably acceptable to Facebook and Owner. The conditions described in this Section 6 shall, collectively, be referred to as the "Conditions Precedent".

\* The DA requirements listed here may be summarized; the complete terms are found in the recorded Development Agreement.

ATTACHMENT C EAST CAMPUS DEVELOPMENT AGREEMENT ONGOING ACTIVITIES				
DA Term	Task/Requirement/Action*	Timeline	Status	Notes
5.	<u>Trip Cap.</u> Facebook shall adhere to the Trip Cap, details included in the Project Approved, and incorporated herein by this reference (CDP Requirement 7).	Within 180 days of CDP Approval.	In Progress	The City is receiving regular automated daily reports. Facebook is working with the City to finalize calibration on the combined trip caps for East and West campuses. City staff is reviewing the East Campus trips to determine the number of exceedances and also reviewing Facebook's proposed modifications to ensure compliance going forward.
8.	<u>Annual Payment.</u> During the term of this Agreement, Facebook and/or Owner shall make an annual payment ("Annual Payment") to the City in lieu of sales tax or other revenue that might otherwise accrue to the City if the Property was occupied by a sales tax producer. Task 8.1.2 is now in effect which requires that in each of the first five years beginning with the first payment on January 1, 2018, the amount of the Annual Payment shall be Nine Hundred Thousand (\$900,000).	Due on July 1 of each year from 2017 to 2021.	Completed	Payment was made on June 11, 2018.
10.	<u>Local Community Fund.</u> Facebook shall create a Local Community Fund ("LCF") in partnership with a non-profit partner to manage and administer the LCF and Facebook shall contribute Five Hundred Thousand Dollars (\$500,000) to the LCF. The purpose of the LCF will be to provide support for local community needs.	Within one year of the satisfaction of the Conditions Precedent* (10/3/13)	Completed	See continuing local community Fund payment under West Campus DA Term 8 on Attachment D.

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**ATTACHMENT C  
EAST CAMPUS DEVELOPMENT AGREEMENT  
ONGOING ACTIVITIES**

<b>DA Term</b>	<b>Task/Requirement/Action*</b>	<b>Timeline</b>	<b>Status</b>	<b>Notes</b>
13.1	<p><u>Internship Program.</u> Facebook will create a summer intern program for residents of the Ravenswood Elementary School District. The summer intern program will commence with an initial, pilot program, and then later, if successful, may be expanded, in Facebook's sole and absolute discretion, to include more participants and/or subject areas.</p>	No later than summer 2013	Completed	<p>The Seventh Facebook Academy was completed on August 3, 2018. Nineteen students graduated from the six-week program.</p> <p>The students represented the following schools:</p> <ul style="list-style-type: none"> <li>• East Palo Alto Academy</li> <li>• Menlo-Atherton High School</li> <li>• Eastside Prep</li> <li>• Everest Public High School</li> <li>• Summit Prep</li> <li>• Menlo School</li> <li>• Sacred Heart Prep</li> <li>• Middle College @ Cañada College</li> </ul>

\* The DA requirements listed here may be summarized; the complete terms are found in the recorded Development Agreement.

**ATTACHMENT C  
EAST CAMPUS DEVELOPMENT AGREEMENT  
ONGOING ACTIVITIES**

DA Term	Task/Requirement/Action*	Timeline	Status	Notes
13.2	<p><u>Encourage Local Jobs.</u> Facebook will work with a local training program to expand training services for residents of the City and the City of East Palo Alto. Facebook will also create an ongoing quarterly series of career development workshops to commence within one year of the satisfaction of the Conditions Precedent. The workshops will focus on topics such as resume writing, interviewing skills and how to find a job via social media, including Facebook. These workshops will take place in local community centers and/or other neighborhood sites. In addition, within one year of the satisfaction of the Conditions Precedent, Facebook will host a session, promoted in the Belle Haven neighborhood and East Palo Alto, on how to become a Facebook employee and to encourage contractors to hire City residents and residents of the City of East Palo Alto, Facebook will require future vendors to use reasonable efforts to notify residents of the City and the City of East Palo Alto when they are hiring new people to work at the Property in the facilities, culinary and construction trades. Vendors with existing contracts will be encouraged to use reasonable efforts to promote local hiring as openings become available. Facebook will also encourage campus vendors to host sessions on how to become an employee of their organization.</p>	<p>Within one year of the satisfaction of the Conditions Precedent* (10/3/13)</p>	<p>Completed</p>	<p>A Job Fair conducted a series of job workshops and fairs.</p> <p><u>Job Workshops:</u>            Jan. (Resumes) –30 Attendees            April (Communication) – 50 Attendees            May (Resumes) – 20 Attendees            June (Interviews) – #1: 20 Attendees, #2: 90 Attendees            July (Resumes) – 20 Attendees            Aug. (Interviews) – 15 Attendees            Sept (Interviews) – 15 Attendees            Nov. (Interviews) – 20 Attendees</p> <p><u>Job Fairs:</u>            April – Community Fair - 54 Attendees            Nov. – Fall Job Fair with EDD – 200+ Attendees</p> <p><u>Results:</u>            18 new FB hires            36 Contractor/Vendor hires            38 received job training and were placed in other jobs</p>

\* The DA requirements listed here may be summarized; the complete terms are found in the recorded Development Agreement.

**ATTACHMENT C  
EAST CAMPUS DEVELOPMENT AGREEMENT  
ONGOING ACTIVITIES**

DA Term	Task/Requirement/Action*	Timeline	Status	Notes
15.	<u>Adopt-a-Highway</u> . Facebook will adopt a roadway segment in the vicinity of the Property pursuant to Caltrans' Adopt-A-Highway Program. This commitment will be for a period of five years. If there are no segments available for adoption in the vicinity of the Property, Facebook's obligation shall be deferred until a segment becomes available. (Previously identified as a One Time Activity, it has been moved to Ongoing)	Within 180 days of the satisfaction of the Conditions Precedent* (4/1/13).	Completed	<p>1. Bike trail along Highway 84. Litter removal and vegetation control done every three months</p> <p>2. Northbound and Southbound Willow/101 ramps. Litter removal and vegetation control are on hold due to the overpass construction.</p>
16.1	<u>Environmental Education</u> . When performing work that might impact the San Francisco Bay, Facebook will hire an environmental consultant knowledgeable about the San Francisco Bay and associated marsh habitats to ensure that endangered species, particularly the Salt Marsh Harvest Mouse and Clapper Rail, are not harmed.	Prior to February 6, 2026.	Completed	<p>Facebook has retained HT Harvey &amp; Associates to ensure compliance with this requirement.</p> <p>WRA Environmental Consultants hired for bike/ped bridge project.</p>
16.2	<u>Environmental Education</u> . Facebook will cooperate with the Don Edwards San Francisco Bay National Wildlife Refuge ("Refuge") team and related nonprofit groups on habitat protection and restoration adjacent to the Property. Facebook will establish an ongoing, in-house point of contact for the Refuge, nonprofit groups and related agencies to ensure collaborative success.	Prior to February 6, 2026.	Completed	<p>Lauren Swezey continues to be the point of contact, and meets periodically with the various stakeholders (Audubon, Citizens Committee to Complete the Refuge, US Fish &amp; Wildlife/ SFBNW Refuge, South Bay Salt Pond Restoration project, etc.) to discuss FB activities/projects.</p>

\* The DA requirements listed here may be summarized; the complete terms are found in the recorded Development Agreement.



**ATTACHMENT C  
EAST CAMPUS DEVELOPMENT AGREEMENT  
ONGOING ACTIVITIES**

DA Term	Task/Requirement/Action*	Timeline	Status	Notes
16.3	<p><u>Environmental Education</u>. Facebook will educate employees and visitors about the unique species next to the Property and their habitat requirements. Such education may include installing interpretive signage and/or hosting educational programs.</p>	<p>Prior to February 6, 2026.</p> <ul style="list-style-type: none"> <li>• Earth Week 2018</li> </ul>	Completed	<p>Facebook conducted the following activities:</p> <ol style="list-style-type: none"> <li>1. Conducted periodic educational tours for our employees with the Audubon Society – First Friday of the month (ongoing throughout 2018).</li> <li>2. Brought in OneTreePlanted (a nonprofit that supports reforestation) to the MPK 20 Green Roof to teach employees about the importance of reforestation after the fires in Northern California.</li> <li>3. San Francisco Bay Bird Observatory gave noontime walk in the marshland to talk to employees about endangered species and marsh birds.</li> </ol>
16.4	<p><u>Environmental Education</u>. Facebook will engage in "wildlife-friendly" behavior, such as: (a) adopting policies requiring the trapping and removal of feral cats and the leashing of dogs when using trails located on the Property, (b) employing wildlife-safe rodent control measures, and (c) encouraging beneficial species.</p>	Prior to February 6, 2026.	Completed	<ol style="list-style-type: none"> <li>1. Feral Cat Trapping on the Levee Trail occurred in March, June, September and December. No feral cats were caught.</li> <li>2. FB is using the least toxic approaches to rodent control, and do not trap for rodents near the bay trail.</li> </ol>

\* The DA requirements listed here may be summarized; the complete terms are found in the recorded Development Agreement.

**ATTACHMENT C  
EAST CAMPUS DEVELOPMENT AGREEMENT  
ONGOING ACTIVITIES**

DA Term	Task/Requirement/Action*	Timeline	Status	Notes
				3. FB is planting beneficial plant species growth on the bay trail through hand weeding and by avoiding removal of native plants.
17.1	<u>On-going Environmental Commitments.</u> When performing landscape improvements, Facebook and/or Owner will minimize (or require the minimization of) potential stormwater runoff through the use of appropriate techniques, such as grassy swales, rain gardens and other Low Impact Development (LID) measures.	Prior to February 6, 2026.	Conditional	Facebook has not initiated any landscape improvements which would trigger this requirement.
17.2	<u>On-going Environmental Commitments.</u> If Facebook and/or Owner installs at the Property new windows or new window treatments on windows facing the parking lot or the San Francisco Bay, Facebook and/or Owner will select (or require the selection of) windows and window treatments that minimize impacts of light pollution and risk of collision to birds.  If Facebook and/or Owner installs new lighting in the parking lot at the Property, Facebook and/or Owner will use (or require the use of) then available best practices to design and shield that new lighting so as to confine direct rays to the Property and not out into the adjacent areas of the San Francisco Bay.	Prior to February 6, 2026.	Conditional	Facebook has not initiated the replacement of any new windows which would trigger this requirement.

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**ATTACHMENT C  
EAST CAMPUS DEVELOPMENT AGREEMENT  
ONGOING ACTIVITIES**

<b>DA Term</b>	<b>Task/Requirement/Action*</b>	<b>Timeline</b>	<b>Status</b>	<b>Notes</b>
17.3	<u>On-going Environmental Commitments.</u> Except for the existing basketball court, Facebook and/or Owner will not create (or permit the creation of) any lighted playing field on the perimeter of the site that abuts the San Francisco Bay. Facebook and/or Owner will require the lights on the existing basketball court to be controlled so that the court is dark except when in use.	Prior to February 6, 2026.	Conditional	Facebook has not initiated any lighting improvements which would trigger this requirement.
17.4	<u>On-going Environmental Commitments.</u> If Facebook and/or Owner installs new building roofs, window ledges, parking lot light poles or landscaping changes, Facebook and/or Owner will use (or require use of) then available best practices to ensure that the new building roofs, window ledges, parking lot light poles or landscaping changes do not create sites for predatory bird species to roost or nest.	Prior to February 6, 2026.	Conditional	Facebook has not initiated any improvements which would trigger this requirement.
17.5	<u>On-going Environmental Commitments.</u> When performing landscape improvements to those portions of the Property that abut the San Francisco Bay, Facebook and/or the Owner will consult with (or require consultation with) a qualified environmental consultant familiar with California native plant communities and select (or require the selection of) suitable native plants for landscaping.	Prior to February 6, 2026.	Completed	Facebook continues to utilize landscape architects and wildlife biologists from HT Harvey & Associates on all exterior landscape renovations.

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**ATTACHMENT C  
EAST CAMPUS DEVELOPMENT AGREEMENT  
ONGOING ACTIVITIES**

DA Term	Task/Requirement/Action*	Timeline	Status	Notes
18.2	<u>Local Purchasing</u> . When purchasing goods that can be sourced locally, Facebook shall endeavor to purchase goods from vendors located in the City if the quality, price, terms and conditions are competitive.	Prior to February 6, 2026.	Completed	<p>According to Facebook, the following are some of the local businesses were patronized.</p> <p>In Menlo Park: American Printing, Back-A-Yard, BrightView Landscape Services, Inc., Cafe Borrones, Cafe Zoe, Dashi, Donut Delite, Eric's Gourmet Food &amp; Catering, Five Star Pizza, Jonathan's Fish &amp; Chips, Lulu's Mexican Food, Mi Taqueria, SAJJ Mediterranean, Starbucks, Togos, and Willows Market.</p> <p>In East Palo Alto: Cardenas Market, Mi Cazuela, and Three Brothers Tacos.</p>
18.3	<u>Local Purchasing</u> . When engaging vendors to provide on-site services to employees (e.g., chiropractic services), Facebook shall endeavor to engage vendors that are located in the City if their services satisfy Facebook's needs and the quality, price, terms and conditions are competitive.	Prior to February 6, 2026.	Completed	Facebook indicates that they continue to evaluate all local vendors and hire locally when feasible. Many are smaller vendors that have difficulty managing large scale projects.
18.4	<u>Local Purchasing</u> . If the Menlo Gateway project is developed, Facebook will consider adding the hotel built as part of that project to its list of preferred hotels for visitors.	Prior to February 6, 2026.	Completed	The hotel in the Menlo Gateway Project is open and employees are using the restaurant and hotel facility. This hotel is FB's preferred hotel.

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**ATTACHMENT C  
EAST CAMPUS DEVELOPMENT AGREEMENT  
ONGOING ACTIVITIES**

DA Term	Task/Requirement/Action*	Timeline	Status	Notes
19.	<p><u>Transportation Demand Management Information Sharing.</u> To help mitigate regional traffic, Facebook agrees to share its Transportation Demand Management best practices with other interested Silicon Valley companies that request such information from Facebook.</p>	Ongoing through to February 6, 2026.	Completed	The Transportation Team regularly shares information through the Bay Area Council or Silicon Valley Leadership Group. At other times, they share directly with their TDM peers at other companies.
20.	<p><u>Volunteerism.</u> Facebook will actively promote local volunteer opportunities in the City and the City of East Palo Alto to all its employees. Such promotion shall include the creation of an internal Facebook page for the posting of volunteer opportunities. Facebook will host a "Local Community (Non-Profit) Organization Fair" on the Property.</p>	Annually through February 6, 2026.	Completed	Facebook held a Local Community Organization (Volunteer) Fair held on campus for employees on Nov 27, 2018. Sixteen local nonprofits visited campus and had interactions with about 115 employees. Rainy weather limited the turn out since the Fair had to be held indoors.

Conditions Precedent. Facebook's and Owner's obligations are expressly conditioned on the resolution of all legal challenges, if any, to the EIR, the Project Approvals and the Project. If no litigation or referendum is commenced challenging the EIR, the Project Approvals and/or the Project, Facebook's and Owner's obligations will vest 90 days after the Effective Date, with the **effective date being July 5, 2012 and 90 days post that being October 3, 2012.** If litigation or a referendum is commenced challenging the EIR, the Project Approvals and/or the Project, then Facebook's and Owner's obligations will vest on the date of final, non-appealable resolution of all litigation in a manner that is reasonably acceptable to Facebook and Owner or resolution of the referendum in a manner that is reasonably acceptable to Facebook and Owner. The conditions described in this Section 6 shall, collectively, be referred to as the "Conditions Precedent".

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ATTACHMENT D WEST CAMPUS DEVELOPMENT AGREEMENT ONE TIME ACTIONS OR IMPROVEMENTS				
DA Term	Task/Requirement/Action*	Timeline	Status	Notes
6.	<u>Capital Improvements</u> . Within 60 days of the later of (a) City sign off on final building permits allowing occupancy of the West Campus by Owner and (b) Owner's receipt of City's request for payment, Owner shall make a one-time payment of \$100,000 to the City for the City's unrestricted use toward capital improvement projects that benefit the adjacent Belle Haven neighborhood.	Payable within 60 days of Certificate of Occupancy.	Completed	Paid on June 22, 2015.
7.3.1	<u>Sales and Use Taxes</u> . For all construction work performed on the project, should include a provision in all construction contracts for \$5 million or more to record a sub-permit from CA State Board of Equalization to book and record construction materials purchases/sales as sales originating in the City	Throughout duration of construction through occupancy (not applicable to future remodeling or construction).	Completed	
7.3.2	<u>Sales and Use Taxes</u> . From the purchase of furnishings, equipment and personal property for initial occupancy of the building, owner shall maximize sales and use taxes to be received by the City.	Applicable throughout the duration of construction and initial occupancy (not applicable to future remodeling or construction).	Completed	Facebook indicated that they have paid over \$277,000 through the Second Quarter of 2015.
8.	<u>Local Community Fund</u> . Facebook shall contribute an additional \$100,000 to the Local Community Fund within one year of occupancy. However, if the fund is depleted at the time the owner receives a core and shell permit, owner shall make a payment within 6 months of conditions precedent.	Within one year of final building permit sign-off, or sooner if the fund is depleted at the time the owner receives a core and shell permit.	Completed	Facebook provided an additional \$100,000 in 2017 and distributed \$122,000 to 37 non-profit organizations 2017.

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**ATTACHMENT D  
WEST CAMPUS DEVELOPMENT AGREEMENT  
ONE TIME ACTIONS OR IMPROVEMENTS**

<b>DA Term</b>	<b>Task/Requirement/Action*</b>	<b>Timeline</b>	<b>Status</b>	<b>Notes</b>
10.	<p><u>Design and Environment.</u></p> <p>Use of Gehry Partners as Architect of record.</p> <p>The green roof shall be designed consistent with project approvals.</p> <p>Owner will design building to be LEED Gold equivalency.</p>	<p>Prior to approval of the building plans for the West Campus.</p>	<p>Completed</p>	<p>Gehry Partners is the architect of record on the project.</p> <p>Core and shell permit approved in 2014 incorporated roof landscaping designs consistent with original approval.</p> <p>LEED Report indicated the building achieved LEED Gold.</p>

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ATTACHMENT E WEST CAMPUS DEVELOPMENT AGREEMENT ONGOING ACTIVITIES				
DA Term	Task/Requirement/Action*	Timeline	Status	Notes
7.1	<u>Recurring Public Benefits Payment</u> - \$150,000/year	Payments are due on July 1 beginning after building occupancy is approved and continue for 10 years.	Completed	Paid on September 11, 2018.
7.2	<u>Property Tax Guarantee.</u> Facebook shall pay the City the positive difference between the projected assessed value and property tax collected.	Payment due the first tax fiscal year following the initial reassessment of the property and shall continue for 10 years.	Completed	According to the County Assessor, the assessed value of the site and building exceeds the \$230 million assessed value threshold. No additional payment is required.
9.	<u>Recycling.</u> Facebook agrees to use the City's franchisee for all trash and recycling services, provided the price is the same as that charged to other commercial users in the City.	For lifetime of development agreement (February 6, 2026).	Completed	Recology is providing trash and recycling services to the West Campus.
11.	<u>Public Access.</u> public access shall be permitted on the landscaped area adjacent to the undercrossing (in addition to the dedicated access easement).	For lifetime of development agreement (February 6, 2026).	Completed	The undercrossing and connecting pathways remain open for public use.
12.	<u>Future Pedestrian/Bike Access.</u> If a public transit agency provides service proximate to the West Campus, and locates a stop near Willow Road and the rail spur and there is not a convenient alternative to service adjacent properties, owner will work with City to explore a bike/pedestrian route on the West Campus.	For lifetime of development agreement (February 6, 2026).	Conditional	Additional transit service in proximity to the West Campus is has not been established. No action required.
13.	<u>Facebook East Campus Benefits.</u> If some of the commitments under the East Campus DA terminate, they shall be required under the West Campus Development Agreement.	Until the earlier of (i) Owner and Facebook vacate WC, or (ii) February 6, 2026.	Conditional	East Campus Development Agreement still in effect, this requirement is not applicable for the 2017-2018 period.

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ATTACHMENT F WEST EXPANSION CAMPUS DEVELOPMENT AGREEMENT ONE TIME ACTIONS OR IMPROVEMENTS				
DA Term	Task/Requirement/Action*	Timeline	Status	Notes
6.6.1A	<u>Sales and Use Taxes, Building 21.</u> For all construction work performed on the project, should include a provision in all construction contracts for \$5,000,000 or more to record a sub-permit from CA State Board of Equalization to book and record construction materials purchases/sales as sales originating in the City throughout duration of construction through occupancy. <sup>1</sup>	Applicable throughout duration of construction through occupancy (not applicable to future remodeling or construction).	Completed	Facebook has been working with the City's consultant to ensure maximum possible use tax is collected from construction materials.
6.6.1B	<u>Sales and Use Taxes, Building 22.</u> For all construction work performed on the project, should include a provision in all construction contracts for \$5,000,000 or more to record a sub-permit from CA State Board of Equalization to book and record construction materials purchases/sales as sales originating in the City throughout duration of construction through occupancy. <sup>1</sup>	Applicable throughout the duration of construction and initial occupancy (not applicable to future remodeling or construction).	In Progress	Facebook has been working with the City's consultant to ensure maximum possible use tax is collected from construction materials.
6.6.1C	<u>Sales and Use Taxes, Hotel.</u> For all construction work performed on the project, should include a provision in all construction contracts for \$5,000,000 or more to record a sub-permit from CA State Board of Equalization to book and record construction materials purchases/sales as sales originating in the City throughout duration of construction through occupancy. <sup>1</sup>	Applicable throughout duration of construction through occupancy (not applicable to future remodeling or construction or to future sales or transient occupancy taxes).	Conditional	No construction has started on the Hotel.

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**ATTACHMENT F  
WEST EXPANSION CAMPUS DEVELOPMENT AGREEMENT  
ONE TIME ACTIONS OR IMPROVEMENTS**

DA Term	Task/Requirement/Action*	Timeline	Status	Notes
7.1.1	<u>Dumbarton Transportation Corridor Study</u> . Facebook has committed \$1,000,000 in funding to SamTrans to conduct the Dumbarton Transportation Corridor Study. The purpose of the study is to evaluate ways to improve the existing rail line as a multi-modal transit corridor.	Completed in December 2017	Completed	
7.1.2	<u>Funding Recommendations from Dumbarton Transportation Corridor Study</u> . Facebook agrees to fund future recommendations arising from the Dumbarton Transportation Corridor Study in the amount of up to \$1,000,000. Facebook shall evaluate the recommendations contained in the Dumbarton Transportation Corridor Study and provide a written proposal identifying recommendations for how the Dumbarton Corridor Funding should be allocated for review by the City Manager or his or her designee.	Within 90 days after SamTrans publishes the final version of the Dumbarton Transportation Corridor Study, submit proposal for review of City Manager. Within 60 days of occupancy of Building 21 or City's approval make funding available	Completed	Facebook has provided funding for CEQA/NEPA evaluations of the preferred alternative from the Dumbarton Corridor Study. Environmental review is in progress.
7.1.3	<u>Dumbarton Rail Trail Study</u> . Facebook has committed \$700,000 in funding to SamTrans for the pre-design and environmental clearance of a pedestrian/bicycle path between East Palo Alto and the Redwood City Caltrain Station.		Completed	
7.1.4	<u>Transportation Management Association Feasibility and Implementation Strategy</u> . Facebook agrees to make a one-time payment in the amount of \$100,000 to the City to be set aside in a special fund and earmarked for the development of a Transportation Management Association Feasibility and Implementation Strategy study ("TMA Study").	Such payment shall be required within sixty days of the City's request for payment.	Completed	Facebook made payment to the City in November 2017 at the request of the City to begin the TMA feasibility study process.

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**ATTACHMENT F  
WEST EXPANSION CAMPUS DEVELOPMENT AGREEMENT  
ONE TIME ACTIONS OR IMPROVEMENTS**

DA Term	Task/Requirement/Action*	Timeline	Status	Notes
7.1.5	<u>Regional Transportation Forum</u> . Facebook shall sponsor a forum in partnership with officials from the City, East Palo Alto, San Mateo County, and Santa Clara County to consider and evaluate innovative ways that the recommendations of the Dumbarton Transportation Corridor Study may be executed with minimal delays. Facebook shall commit \$1,000,000 in funding to sponsor this forum.	Commence the process of facilitating this forum within six months of the date the final version of Dumbarton Corridor Study and convene the forum within two years of starting the process.	In Progress	Forum should be convened before July 2020.
7.1.6	<p><u>Chilco Streetscape Improvements (Phases 3 and 4)</u>. Facebook shall complete certain capital improvements associated with Phases 3 through 4 of the Chilco Streetscape Improvements at its sole cost. Facebook shall coordinate the design of the Chilco Streetscape Improvements with the City and shall provide detailed plans and specifications for construction of the improvements to the City for final review and approval. Facebook shall pay for and cause the construction of the Improvements:</p> <p>(1) Complete the Phase 3a and 3b improvements; and</p> <p>(2) Complete the Phase 4A and 4B improvements.</p>	<p>Prior to the City's final building inspection of Building 21</p> <p>Prior to the date of the City's final building inspection of Building 22</p>	In Progress	Phase 3a and 3b have not been completed. Facebook and the City have been discussing the overall design and implementation of the Chilco Street Frontage Improvements and have combined multiple phases. Most of the improvements, including 3a and 3b are anticipated to be completed by the end of 2019, prior to completion of Building 22.

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**ATTACHMENT F  
WEST EXPANSION CAMPUS DEVELOPMENT AGREEMENT  
ONE TIME ACTIONS OR IMPROVEMENTS**

DA Term	Task/Requirement/Action*	Timeline	Status	Notes
7.1.7	<p><u>Chilco Streetscape Improvements (Phases 5 and 6).</u> Facebook shall also complete certain capital improvements associated with Phases 5 and 6 of the Chilco Streetscape Improvements, at its sole cost. Facebook shall be entitled to a credit against any construction road impact fees imposed on the Project in an amount equal to the actual costs of constructing Phases 5 through 6. Subject to the City Manager's approval of the design for Phases 5 and 6 of the Chilco Streetscape Improvements. If permits or approvals are required from outside agencies and such permits or approvals delay issuance of permits or completion of construction, or if construction is delayed for reasons beyond Facebook's reasonable control, then Facebook shall have such additional time to complete such capital improvements as may be reasonably necessary resulting from such delays beyond Facebook's reasonable control.</p>	<p>Schedule will be mutually determined agreed upon by Facebook and the City. The schedule has not yet been established.</p>	<p>In Progress</p>	<p>Anticipated to be completed by End of 2019.</p>

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**ATTACHMENT F  
WEST EXPANSION CAMPUS DEVELOPMENT AGREEMENT  
ONE TIME ACTIONS OR IMPROVEMENTS**

DA Term	Task/Requirement/Action*	Timeline	Status	Notes
8.1.1	<u>Housing Inventory and Local Supply Study.</u> Facebook agrees to collaborate with officials and local stakeholders in the City and East Palo Alto to conduct a Housing Inventory and Local Supply Study to assess the conditions, occupancy, and resident profiles of residents living in the immediate vicinity of the Property (including, but not limited to Belle Haven, Fair Oaks and the City of East Palo Alto). Facebook agrees to fund up to \$350,000 for the study and shall be responsible for selecting a qualified consultant to undertake the study.	Within thirty days of satisfaction of the Conditions Precedent, and shall use diligent good faith efforts to complete the study within eighteen months from commencement. Within thirty days of completion of the study, Facebook shall provide a copy of the study to the City Manager of the City of Menlo Park and the City Manager of the City of East Palo Alto.	In Progress	Facebook has partnered with UC Berkeley Center for Cities & Schools YPLAN and UC Berkeley has engaged local students to conduct research within their communities. The Community based approach extended the timeline, with final presentation/work from the students anticipated to be completed in April 2019 and final report delivered to the City in August 2019.
8.1.2	<u>Housing Innovation Fund.</u> Facebook shall establish a Housing Innovation Fund to identify near-term actions that may be taken within the local community (including Belle Haven and East Palo Alto) as a direct outcome of the Housing Inventory and Local Supply Study. Facebook shall commit \$1,500,000 to establish the Housing Innovation Fund and provide seed funding for near-term implementation actions.	Prior to completion of the Housing Inventory and Local Supply Study described in Section 8.1.1.	Conditional	Required prior to completion of the Housing Inventory and Local Supply Study. Facebook will need to begin the background work to create the fund prior to August 2019 to allow for implementation directly after final study received by the City.

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**ATTACHMENT F  
WEST EXPANSION CAMPUS DEVELOPMENT AGREEMENT  
ONE TIME ACTIONS OR IMPROVEMENTS**

DA Term	Task/Requirement/Action*	Timeline	Status	Notes
8.1.3	<p><u>Affordable Housing Preservation Pilot Program.</u> Facebook shall work in partnership with a reputable non-profit affordable housing partner to create and/or provide funding for a Housing Preservation pilot project. Within one year of satisfaction of the Conditions Precedent, Facebook shall identify an appropriate non-profit affordable housing partner and contribute \$1,000,000 towards a suitable Housing Preservation pilot project, to be determined by Facebook at Facebook’s sole and absolute discretion.</p>	<p>Within one year of satisfaction of the Conditions Precedent.</p>	In Progress	<p>Facebook evaluated a Secondary Dwelling Unit project for approximately one year but determined it wasn’t appropriate for the Affordable Housing Preservation Fund; evaluated a potential acquisition project for multiple months, which fell through; Facebook is considering partnering with LISC to implement the Pilot Program, pending authorization from the City.</p>
8.1.5	<p><u>Use of BMR Housing Fees.</u> Facebook will be entering into a Below Market Rate (“BMR”) Housing Agreement with the City to satisfy the requirements under Chapter 16.96 of the City’s Municipal Code. As part of the implementation of the BMR Housing Agreement, Facebook shall use diligent good faith efforts to identify opportunities to partner with a non-profit housing organization in order to leverage the use of BMR housing fees payable in connection with the Project to develop the maximum number of units.</p>	<p>Concurrent with the recordation of the Development Agreement and BMR Agreement.</p>	In Progress	<p>First payment or delivery of units due within two years of date City issues first building permit for each building. Facebook and the City are discussing the possibility of using these funds to increase the number of BMR units for a future project, including the pending Willow Village project.</p>

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**ATTACHMENT F  
WEST EXPANSION CAMPUS DEVELOPMENT AGREEMENT  
ONE TIME ACTIONS OR IMPROVEMENTS**

DA Term	Task/Requirement/Action*	Timeline	Status	Notes
8.1.6	<u>Commitment to Design Housing Units Pending Completion of General Plan Update.</u> Subject to completion and approval of the pending ConnectMenlo process. Facebook shall commit to the planning and design of at least 1,500 housing units on the approximately 56-acre site known as the Menlo Science & Technology Park. Facebook further agrees that any future application to develop residential units will include a commitment to include no less than 15% BMR units and/or workforce housing units.	Subject to completion and approval of the ConnectMenlo General Plan Update	In Progress	Willow Campus Masterplan submitted on July 6, 2017 with 1,500 housing units proposed.
9.1.4	<u>Bedwell Bayfront Park Maintenance.</u> Facebook shall contribute \$1,000,000 to the Bedwell Bayfront Park Maintenance Fund for maintenance and operation.	Within one year of satisfaction of the Conditions Precedent	Completed	
9.2	<u>Design and Environmental Commitments.</u>  Owner will design building to be LEED Gold equivalency or better.  Enhanced soil remediation/cleanup measures consistent with the Soil Management Plan for the Property.	Prior to final sign-off on building permit for the Project	In Progress	
9.2.1	When performing work that might affect the bay lands, Facebook will hire environmental consultant to ensure that endangered species are not harmed	Concurrent to and during construction of Project	In Progress	
9.2.5	Facebook will use best practices to ensure building elements do not create sites for predatory bird species to roost or nest.	Concurrent to and during construction of Project/Ongoing	In Progress	
9.2.6	Fund seasonal docent for two year for the Don Edwards National Wildlife Refuge	Within 90 days of completion of the bridge improvements	Conditional	

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**ATTACHMENT F  
WEST EXPANSION CAMPUS DEVELOPMENT AGREEMENT  
ONE TIME ACTIONS OR IMPROVEMENTS**

<b>DA Term</b>	<b>Task/Requirement/Action*</b>	<b>Timeline</b>	<b>Status</b>	<b>Notes</b>
9.2.7A	<p><u>Recycled Water System.</u> Contributions to Future District-Wide Recycled Water Systems. Facebook agrees to use diligent good faith efforts to install a recycled water system on the Property to serve Buildings 21 and 22. (If Facebook is unable to obtain all permits necessary to construct and operate an on-site recycled water system Facebook agrees to: (a) connect the office buildings to any future recycled water system for landscaping and non-potable uses for Buildings 21 and 22, (b) offer to provide the Recycled Water Purveyor with initial funding not to exceed \$1,500,000 to finance the development and construction of a recycled water system capable of serving the Project in exchange for a credit against future capital expense charges, and (c) if the Recycled Water Purveyor's does not accept Facebook's offer to provide initial financing Facebook shall pay reasonable proportionate share of Recycled Water Purveyor's costs of developmeing and/or implementing the system.)</p> <p>If the Recycled Water Purveyor develops an area-wide recycled water system serving multiple properties in the Bayfront Area, Facebook agrees that any applications submitted by Facebook or its affiliates to develop buildings (other than the buildings proposed as part of the Project) in the Bayfront Area will include a commitment to pay a reasonable proportionate share of the Recycled Water Purveyor's costs of developing and/or implementing the system in a manner consistent with conditions imposed on other similarly situated projects in the Bayfront Area.</p>	Concurrent with construction of Building 21	In Progress	

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**ATTACHMENT F  
WEST EXPANSION CAMPUS DEVELOPMENT AGREEMENT  
ONE TIME ACTIONS OR IMPROVEMENTS**

DA Term	Task/Requirement/Action*	Timeline	Status	Notes
9.2.7B	Facebook agrees to contribute \$25,000 in seed funding to the City to conduct feasibility studies for a Bayfront Area-wide recycled water system.	Within sixty days of the occupancy of Building 21.	Completed	

1. This requirement was originally described as ongoing since it applied to three buildings. But because each building is a discrete construction event, these items have been classified as one-time actions for the purpose of this evaluation.

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ATTACHMENT G WEST CAMPUS EXPANSION DEVELOPMENT AGREEMENT ONGOING ACTIVITIES				
DA Term	Task/Requirement/Action*	Timeline	Status	Notes
6.1	<u>Recurring Public Benefit Payment.</u> Within sixty days of the later of: (a) City sign off on final building permits allowing occupancy of Building 21 by Facebook or (b) Facebook's receipt of City's request for payment, Facebook will commence making an annual payment of \$300,000 per year to the City.	Payments are due on July 1 beginning after building occupancy is approved and continue for 20 years.	Completed	First payment made September 11, 2018
6.2	<u>Interim In-Lieu Sales Tax Payment.</u> Within sixty days of the later of: (a) City sign off on final building permits allowing occupancy of Building 21 by Facebook or (b) Facebook's receipt of City's request for payment, Facebook will commence making an annual payment of \$336,000 per year to the City. Facebook shall continue to make annual Interim In-Lieu Sales Tax Payment until the Guarantee Commencement Date, defined in Section 6.3.1.	Payments are due on July 1 beginning after building occupancy is approved For Building 21 and until the Guarantee Commencement Date years	Completed	First payment made August 14, 2018.
6.3	<u>Hotel TOT Guarantee Payments.</u> Beginning on the Guarantee Commencement Date and throughout the Guarantee Payment Period, Facebook shall guarantee TOT payments to the City in the amount of the Revenue Benchmark (\$1.25 million) and shall pay to the City the TOT Guarantee Payments to the extent required under, and on the terms and conditions contained in, this Section 6.3. Facebook shall receive a credit against the Revenue Benchmark for Hotel Revenue received by the City during the Guarantee Payment Period, as defined in Section 6.3.1. (The negative difference, if any, between the Revenue Benchmark and the Hotel Revenue is the "TOT Guarantee Payment.")	Payment due on July 1 following the second full fiscal year from Guarantee Commencement Date and shall continue for 39 years.	Conditional	The Guarantee Commencement Date has not occurred.
6.3.7	<u>Transient Occupancy Tax.</u> Applicable tax rate for the hotel shall be set one basis point higher than the applicable TOT rate for the City.	Concurrent with the commencement of operations for the hotel	Conditional	

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**ATTACHMENT G  
WEST CAMPUS EXPANSION DEVELOPMENT AGREEMENT  
ONGOING ACTIVITIES**

DA Term	Task/Requirement/Action*	Timeline	Status	Notes
6.4.1	<u>Property Tax Guaranty.</u> Facebook agrees to provide an independent property tax guaranty with respect to Building 21 such that the value of the Property, improvements only, following completion of the Project will be at least \$325,000,000. <sup>1</sup>	Payment due the first tax fiscal year following the initial reassessment of the property and shall continue for 39 years.	Conditional	Building 21 has not been reassessed yet.
6.4.2	<u>Property Tax Guaranty.</u> Facebook agrees to provide an independent property tax guaranty with respect to Building 22 such that the value of the Property, improvements only, following completion of the Project will be at least \$305,000,000. <sup>1</sup>	Payment due the first tax fiscal year following the initial reassessment of the property and shall continue for 39 years.	Conditional	Building 22 construction is not complete at this time.
6.4.3	<u>Property Tax Guaranty.</u> Facebook agrees to provide an independent property tax guaranty with respect to Hotel such that the value of the Property, improvements only, following completion of the Project will be at least \$70,000,000. <sup>1</sup>	Payment due the first tax fiscal year following the initial reassessment of the property and shall continue for 39 years.	Conditional	The hotel has not been constructed or occupied.
6.5	<u>Utility User's Tax Cap.</u> Facebook agrees to pay the City all Utility User's Taxes for the Property, including Building 20.	January 1, 2017 (earlier for January 1 or July1 following the Effective Date.	Completed	The Utility User's Tax has been paid on utility bills. City staff reviewing to ensure full payment without the cap collected.
8.1.4	<u>Workforce Housing Fund Pilot Program.</u> Facebook agrees to commit up to \$430,000 per year for five years (up to a total of \$2,150,000) for the program, which represents an average subsidy of \$1,628 per unit per month.	Within one year of satisfaction of the Conditions Precedent.	Completed	Currently in the second year of the subsidized leases.

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**ATTACHMENT G  
WEST CAMPUS EXPANSION DEVELOPMENT AGREEMENT  
ONGOING ACTIVITIES**

DA Term	Task/Requirement/Action*	Timeline	Status	Notes
9.1.1	<u>Belle Haven Community Pool Maintenance and Operations.</u> Facebook shall contribute an initial \$60,000 to the City to be applied exclusively for operating and maintenance costs for the community pool at the Onetta Harris Community Center, and shall make an additional contribution of \$60,000 on July 1 of each of the following four calendar years to the City for the same purpose.	Within one year of satisfaction of the Conditions Precedent.	Completed	Yearly commitment of \$60,000. Payment for 2018 made in April.
9.1.2	<u>Local Scholarship Program.</u> Facebook shall establish, or shall partner with an appropriate organization to establish, an educational scholarship program to provide financial assistance for young residents of the City and East Palo Alto for ten years, and shall contribute \$100,000 per year for ten years in scholarship funds.	Within one year of satisfaction of the Conditions Precedent.	Completed	Second payment made in June 2018.
9.1.3	<u>Local Community Fund.</u> Facebook shall contribute an additional \$100,000 to the Local Community Fund (“LCF”) previously established and funded by Facebook, and shall continue to contribute \$100,000 per year to the LCF for a total period of ten years. After the ten (10) year period is complete, Facebook will consider whether to provide additional funding for the LCF.	Within one year of satisfaction of the Conditions Precedent.	Completed	Second funding payment made in June 2018.
9.1.5	<u>Public Open Space; Multi-Use Bridge Facility; Public Access.</u> Facebook shall construct, operate, and maintain a new two-acre publicly accessible open space and safe multi-use pedestrian/bicyclist bridge across the Bayfront Expressway as shown on the approved plans and in the Project Approvals for public use as provided for in the CDP.		In Progress	Delivery of open space and construction of bicycle and pedestrian bridge prior to Occupancy of Building 22. Construction permits in for plan check with the City for the bridge.

\* The DA requirements listed here may be summarized; the complete terms are found in the recorded Development Agreement.

**ATTACHMENT G  
WEST CAMPUS EXPANSION DEVELOPMENT AGREEMENT  
ONGOING ACTIVITIES**

DA Term	Task/Requirement/Action*	Timeline	Status	Notes
	<p>Construct, operate and maintain the multi-use pedestrian/ bicyclist bridge. At the end of the useful life of the multi-use pedestrian/bicyclist bridge, Facebook shall have the right to demolish the bridge improvements and shall have no obligation to replace or reconstruct the improvements.</p> <p>Construct, operate and maintain the two-acre publicly accessible open space Facebook. The public access right to the open space will be a right to pass by permission and Facebook will have the right to implement reasonable rules and regulations governing such access.</p>	<p>Following the issuance of building permits for Building 21.</p> <p>Following the issuance of building permits for Building 22</p>		
9.1.6	<p><u>City Services.</u> Within one year of satisfaction of the Conditions Precedent, Facebook shall contribute \$11,250,000 to the City's general fund to be spent in the sole discretion of the City on services that benefit the community. [Modification to the original Development Agreement.]</p>	Payment shall be required on July 1 of each fiscal year beginning in 2018	Completed	
9.2.2	Facebook will cooperate with Don Edwards Refuge team and nonprofits on habitat protection and restoration adjacent to the Project Site.	Ongoing	In Progress	
9.2.3	Facebook will educate employees and visitors about species next to the Property	Ongoing	Conditional	May include interpretive signage implemented upon completion of bike/ped bridge
9.2.4	Facebook will engage in wildlife-friendly behavior	Ongoing	In Progress	

1. It is expected that the site will be merged and that the merged site will be assessed as a single tax parcel. When this occurs it will be necessary for the parties to agree upon a methodology for determining the assessed value of Building 21, Building 22 and the Hotel (as applicable). As Building 21, Building 22, and the Hotel are completed, the parties shall confer in good faith and attempt to develop a means for equitably determining the assessed value of those improvements.

\* The DA requirements listed here may be summarized; the complete terms are found in the recorded Development Agreement.



## STAFF REPORT

### Planning Commission

Meeting Date: 2/11/2019

Staff Report Number: 19-10-PC

**Study Session:** Consider and provide feedback on a proposed project with 483 multi-family dwelling units comprised of 42 for-sale condominium units and 441 rental units at 141 Jefferson Drive and 180-186 Constitution Drive

### Recommendation

Staff recommends that the Planning Commission review and provide feedback on a proposed project, tentatively named Menlo Uptown, to redevelop three parcels with 483 multi-family dwelling units comprised of 42 for-sale condominium units and 441 rental units on a 4.83-acre site. The three project parcels (project site) are located at 141 Jefferson Drive and 180-186 Constitution Drive in the R-MU-B (Residential Mixed Use-Bonus) zoning district. The project will ultimately require the following actions:

1. **Environmental Review** to analyze potential environmental impacts of the project through an Environmental Impact Report (EIR), pursuant to the California Environmental Quality Act (CEQA);
2. **Use Permit** for bonus-level development (which requires the provision of community amenities) and possibly to modify design standards;
3. **Architectural Control** to review the design of the new building and associated site improvements;
4. **Lot Line Adjustment** to change the boundaries of the three existing parcels on the site;
5. **Major Subdivision** to create 42 condominium units; and
6. **Below Market Rate (BMR) Housing Agreement** to provide on-site BMR units in accordance with the City's BMR Ordinance.

Additional actions and entitlements may be required as the project plans are refined. No formal actions will be taken at this time.

### Policy Issues

Study sessions provide an opportunity for Planning Commissioners and the public to provide preliminary feedback on a project, with comments used to inform future review and consideration of the proposal. Study sessions also allow City staff to pose specific questions to the Planning Commission regarding staff's interpretation and implementation of aspects of the Zoning Ordinance, General Plan, and related requirements.

### Background

#### *Site location*

The project site consists of three contiguous R-MU-B (Residential Mixed Use) zoned parcels with a total area of approximately 4.83 acres, and currently contains three single-story buildings with a mix of office and industrial uses. The existing buildings would be demolished as part of the redevelopment of the project site.

For purposes of this staff report, Bayfront Expressway (California State Route 84) is considered to have an east-west orientation, and all compass directions referenced will use this orientation. The project site is located south of Bayfront Expressway and east of Chrysler Drive. The project site is bounded by Constitution Drive to the north and Jefferson Drive to the south. The parcels to the north of the site are located in the O-B (Office, Bonus) district and contain a mix of office, light industrial, and R&D uses. The parcel directly south of the project site is zoned PF (Public Facilities) and is the site of the TIDE Academy high school, currently under construction. Parcels immediately adjacent to the east and west of the project site are zoned R-MU-B and contain a mix of office, light industrial, and R&D uses. A location map is provided as Attachment A.

## **Analysis**

### ***Project description***

The applicant is proposing to demolish the existing buildings and site improvements across the entire project site and construct two seven-story buildings with a total of 441 rental units and six three-story buildings with 42 townhome-style condominium units, for a total of 483 new dwelling units (proposed project). The proposed floor area ratio (FAR) would be approximately 225 percent, which is the maximum permitted FAR for a development with a density of 100 dwelling units per acre, as proposed by the subject project. The proposal includes a request for an increase in height, density, and FAR under the bonus level development allowance subject to obtaining a use permit or conditional development permit and providing one or more community amenities. The applicant's project description is included in Attachment B, and the project plans are included as Attachment C.

The project site includes and would maintain three legal parcels; however, the applicant is requesting that the proposed development be reviewed as if it is one parcel. Therefore, the development regulations such as density, gross floor area (GFA), height, parking and open space (publicly accessible and private) would be comprehensively evaluated across the entire project site rather than on a parcel-by-parcel basis.

### **Site layout**

The two proposed apartment buildings would be located on the existing 141 Jefferson Drive parcel, and would be separated by a central area used for storm water treatment, a dog run, and landscaping that would run east to west between the two buildings. One building would front onto Constitution Drive while the other would front onto Jefferson Drive. The buildings would have footprints and forms that would be virtually identical as viewed from either street frontage or the 20-foot paseo proposed directly east of the apartment buildings, which would run north to south between Constitution Drive and Jefferson Drive. A fire and service lane would run north to south along the western edge of the apartment buildings, between Constitution Drive and Jefferson Drive.

The apartment building fronting Constitution Drive would have five stories containing 220 dwelling units located above two levels of above-grade structured parking, a lobby, and amenity spaces for tenants. To account for potential flooding and sea level rise, the main lobby and amenity spaces fronting Constitution Drive would be elevated approximately five feet above the existing grade of the street. Stairs and ramps at the east end of the front of the building are proposed to bring pedestrians from the sidewalk to the front doors of the recessed lobby. A ramp at the west end of the front of the building would provide access to an automated parking system within the building. Beginning at the third story, five levels of apartment units would wrap in a U-shape around a west-facing terrace with a pool and other private and communal open spaces for tenants located above the garage. The apartment building fronting Jefferson Drive would have virtually identical features, with the exception that it would contain one additional apartment for a total of 221 dwelling units.

The proposed apartment buildings would comply with the minimum and maximum setbacks permitted at the street, with portions of the ground floor façades along Constitution Drive and Jefferson Drive set back at varying distances between zero feet and approximately 25 feet. The buildings would also meet or exceed the minimum interior side setbacks of 10 feet, given that they would be bounded by the following:

- The aforementioned 21-foot wide fire and service lane to the west, as requested by the Menlo Park Fire Protection District; and
- The 20-foot wide paseo to the east (as well as an additional five-foot required setback from the paseo).

Farther east across the paseo and a 26-foot wide fire access road directly adjacent to the paseo, six townhome-style condominium buildings with seven units each (a total of 42 for-sale units) would be located in an array two buildings wide by three buildings deep. The buildings would have north and south orientations fronting onto Constitution Drive, interior roads running east to west, a central rear shared lawn area with landscaping, and paths that would connect to the paseo across the fire lane via a raised crossing with accent pavers. The fire access road would curve south and follow the rear property line of the site, and then curve north again to Constitution Drive in a large U-shape. The U-shaped road would be bisected by a road and sidewalks running east to west between the four townhome buildings closest to Constitution Drive. The townhomes would have a mix of open space provided through balconies and ground-level areas in between the buildings. Additional details regarding the proposed publicly accessible and private open space are provided in a later section of this report.

#### Floor Area Ratio (FAR) and Gross Floor Area (GFA)

The proposed project would be developed at a FAR of approximately 225 percent (472,918 square feet of GFA). However, preliminary review by staff has identified some areas of the building that were inadvertently not included in the calculation of GFA would need to be included with the next formal submittal of the project. These changes would increase the GFA and subsequently the FAR. The proposed project would need to be revised to comply with the maximum FAR for the site. In the R-MU-B zoning district, bonus level development has a maximum FAR of 90 percent at 30 dwelling units per acre and increases on an even gradient to 225 percent at 100 dwelling units per acre (approximately 1.93 percent FAR for each unit). The proposed project would include 483 dwelling units on a net lot area of 4.83 acres, yielding a density of approximately 100 dwelling units per acre and an FAR of approximately 225 percent. The proposed 483 units would be the maximum density permitted through the provisions of bonus level development (100 dwelling units per acre).

#### Height

The proposed apartment buildings would have a maximum height of 84 feet, nine inches, and the proposed townhome buildings would have a maximum height of 39 feet, four inches, where 95 feet is the maximum height permitted for any building on a bonus level development site along Jefferson Drive, Constitution Drive, or Independence Drive in the R-MU-B district. The 95 foot maximum height limit includes the 10 foot height increase allowed for properties within the FEMA flood zone. The heights of all buildings across the project site are limited to 62.5 feet, where height is defined as average height of all buildings on one site, and where the maximum height cannot be exceeded. Maximum height and height do not include roof-mounted equipment and utilities, nor do these development standards include a parapet used to screen mechanical equipment.

The applicant has submitted a preliminary analysis that documents compliance with the height limitation. The applicant's analysis averages the height of each specific portion of all the buildings using the portion of the footprint to weight that element of the building accordingly. The height of the overall development,



according to the applicant team, is 62.3 feet. As stated previously, compliance with the height limitation of the Zoning Ordinance may be calculated across multiple parcels and buildings within a single project site. Staff is still reviewing the analysis to determine compliance.

### ***Lot line adjustment***

The site currently consists of three parcels addressed 141 Jefferson Drive (which is a through lot with a second frontage on Constitution Drive, currently addressed 172 Constitution Drive), 180 Constitution Drive, and 186 Constitution Drive. As part of the project, the applicant is requesting a lot line adjustment, which is defined in California Government Code Section 66412 as an "...adjustment between four or fewer existing adjacent parcels, where the land taken from one parcel is added to an adjoining parcel, and where a greater number of parcels than originally existed is not thereby created, if the lot line adjustment is approved by the local agency, or advisory agency." The applicant is proposing a lot line adjustment that would maintain three parcels on the site, with the property lines shifted so that the existing 141 Jefferson Drive/172 Jefferson Drive through lot would be divided in half, and the lot line currently dividing the existing 180 and 186 Constitution Drive parcels would be moved west to the location of the existing lot line that divides 141 Jefferson Drive and 180 Constitution Drive. This lot line adjustment would effectively locate the two apartment buildings on separate parcels and place all of the townhome buildings on a single parcel.

### ***Major subdivision***

The applicant is requesting a major subdivision for the townhome component of the project at 180 and 186 Constitution Drive, which would allow the 42 condominium units to be purchased and sold independently. State law outlines five factors that the City Council may consider in reviewing the request for a subdivision. Staff will evaluate whether the proposed major subdivision would be in conformance with the State requirements as more detailed plans are prepared and additional study is performed for the proposed project. The City Council would review and take final action on the proposed subdivision following a recommendation by the Planning Commission.

### ***Parking and circulation***

#### Vehicular

The proposed project would include a total of 582 vehicular parking stalls distributed between the two apartment buildings and townhomes, for a ratio of 1.2 stalls per unit for the overall proposed project. The R-MU-B zoning district requires a minimum of one space per unit and a maximum of 1.5 spaces per unit. Therefore, the proposed project would provide parking within the range permitted by the Zoning Ordinance. The proposed apartment buildings would incorporate two above-ground levels of parking at the base of each building. The parking structure for each of the apartment buildings would be accessed from a ramp located at the western end of each building's street frontage on Constitution Drive and Jefferson Drive, respectively. Each apartment building would include the minimum required parking for tenants at a rate of one space per unit and approximately 35 additional spaces for guests and visitors. An automated parking system would be utilized within the apartment building garages to minimize the amount of space needed to park vehicles while meeting the parking requirements of the zoning district. The automated parking system would be used by tenants who would be trained on the operations of the system, while guests and visitors would use non-mechanized ground-level parking stalls within the parking structures.

The townhome buildings would include 66 vehicular parking stalls incorporated into one- and two-car garages located at the ground floor of each unit. The Planning Commission should consider and provide direction on the appropriateness of an individual unit to have two parking spaces as long as the average number of parking spaces per unit for the overall project does not exceed 1.5 spaces. An additional four surface parking stalls would be provided for guests off of the internal roads on the site and would be tucked

between the six townhome buildings.

The Zoning Ordinance requires parking within multi-family residential developments to be unbundled from the price of a unit (unless parking is physically connected to one unit). Therefore, the proposed project will be required to unbundle the parking for the apartment units, while the for-sale townhomes may include the parking in the overall cost of each unit. Regardless, the proposed parking provided would meet the zoning ordinance parking ratio. In addition, as required by the R-MU-B zoning regulations, the project will be required to submit a transportation demand management (TDM) plan demonstrating that the project will reduce associated vehicle trips by least 20 percent below standard generation rates for uses on the site.

#### Bicycle and pedestrian

The proposed project would include a total of 799 bicycle parking spaces, which would meet the R-MU-B zoning district requirement of 1.5 long-term spaces per unit plus an additional 10 percent short-term spaces for guests. The apartment buildings would incorporate bicycle parking into dedicated storage rooms on the first level of each building. The bicycle storage rooms would be accessible from the paseo directly east of the apartment buildings. Each apartment building would include the minimum required long-term bicycle parking spaces for tenants (330 spaces for residents of the building fronting Constitution Drive and 332 spaces for residents of the building fronting Jefferson Drive), as well as 67 short-term outdoor spaces divided between the two buildings to meet the 10 percent additional parking for guests. For the townhome units, long-term bicycle parking would be provided in each garage (a total of 63 spaces), and seven short-term bicycle parking spaces would be provided outdoors.

As part of the proposed project, it is anticipated that new sidewalks and other street improvements such as street trees and planting buffers would be provided along the project frontages on Constitution Drive and Jefferson Drive, as required by the City's Public Works Department.

#### ***Open space***

The proposed project would be required to provide open space equivalent to 25 percent of the project site area, of which 25 percent must be provided as publicly accessible open space. According to the Zoning Ordinance (Chapter 16.45.120(4)(A)):

Publicly accessible open space consists of areas unobstructed by fully enclosed structures with a mixture of landscaping and hardscape that provides seating and places to rest, places for gathering, passive and/or active recreation, pedestrian circulation, or other similar use as determined by the planning commission. Publicly accessible open space types include, but are not limited to, paseos, plazas, forecourts and entryways, and outdoor dining areas. Publicly accessible open space must:

- (i) Contain site furnishings, art, or landscaping;
- (ii) Be on the ground floor or podium level;
- (iii) Be at least partially visible from a public right-of-way such as a street or paseo;
- (iv) Have a direct, accessible pedestrian connection to a public right-of-way or easement.

The minimum open space required for the project would be 52,566 square feet, of which a minimum of 13,142 square feet must be publicly accessible and meet the requirements stated above. The applicant is proposing 83,724 square feet of open space for the development, of which 32,739 square feet would be publicly accessible.

#### Paseo and publicly accessible open space

As defined in the Zoning Ordinance, paseos are pedestrian and bicycle paths that provide a member of the

public access through one or more parcels and to public streets and/or other paseos. The adopted Zoning Map identifies the locations of new paseos in the Bayfront Area, including a paseo connecting Constitution Drive to Jefferson Drive along the eastern edge of the proposed apartment buildings, and directly west of the site of the proposed townhomes. The paseo would provide an important mid-block connection from Jefferson Drive to Constitution Drive. As required by the Zoning Ordinance, the paseo would have a minimum 20-foot width and provide furnishing zones, trees, landscaping, and lighting at set distances to enhance the pedestrian experience. The applicant is proposing to incorporate the paseo into the publicly accessible open space provided as part of the project, which is permitted by the zoning regulations.

Areas at the exterior of the entrances to each apartment building have been included as publicly accessible open space, including steeply sloped landscape areas and ramps and stairs leading to the recessed lobby of each building. Staff does not believe that these sloped areas would meet the requirements of publicly accessible open space, given the steep slopes; lack of furnishings, art, or enhanced landscaping; and location beneath canopies or in recesses of the buildings. Access is limited to circulation from the right-of-way to the entry to the building and does not provide any additional plaza or accessible landscaping. In addition, street tree planters in the public right of way adjacent to the front of each apartment building appear to have been included in the publicly accessible open space calculations diagram. Areas in the public right of way cannot be counted toward the publicly accessible open space requirements for a project and will be removed from the diagram for future plan sets.

For the townhome portion of the project site, the applicant is proposing additional publicly accessible open space between the Constitution Drive right-of-way and the first row of townhome buildings, and also between the two rows of townhome buildings located farther interior on the site. From staff's perspective, portions of these areas may not meet the criteria for publicly accessible open space on the site, such as the landscape area between the Constitution Drive sidewalk and the front of the townhome buildings fronting onto Constitution Drive. As shown on the plans, these areas may be perceived by the public as private front yards for the townhome units since they have direct connections from the sidewalk to the front doors of each unit, with few additional pedestrian paths or amenities provided. Staff believes these areas would better serve as private open space for the individual townhomes fronting Constitution Drive. In addition, staff believes that the cross-shaped open space at the interior of the townhome site should have stronger connections to the paseo and the strip of open space running north to south from Constitution Drive between the rows of townhome buildings in order to be publicly accessible open space. Additional edge landscaped areas around the edge of the townhomes and the associated access do not appear to meet the criteria for publicly accessible open space and should be included in common/private open space accordingly.

Staff believes that different site layouts for the townhome buildings should be explored to relocate the fire access road away from the edge of the paseo, bring the buildings closer to the paseo to better activate the area, and create a larger central open space rather than the narrow greenspaces between the buildings as proposed. The Planning Commission should consider the proposed site layout and provide feedback on the applicant's proposal with regard to the general functionality and usability of the publicly accessible open space for the townhome buildings.

#### Common and private open space

The proposed project would provide a mix of common and private open spaces for tenants. The apartment buildings would incorporate a combination of balconies, private terraces, common terraces above the garages at the courtyard level, as well as four open-air roof decks on the seventh floor of each building. Common open spaces in the apartment buildings would be available to tenants and guests, and would not be accessible to the public or townhome owners. 17,541 square feet of private open space and 25,284

square feet of common open space would be provided for the two apartment buildings, for a total of 42,825 square feet of private and common open space. Based on staff's review of the initial project plans, it appears that the applicant has included square footages within a storm water treatment area between the two apartment buildings toward the common open space for tenants. More information about the proposed storm water treatment methods in this area will be needed to determine if the space should be included in open space calculations for the project.

The townhomes units would have a total of 8,160 square feet of private open space provided on balconies and terraces for each unit. As the plans continue to develop, staff will be working with the applicant to ensure compliance with all open space requirements.

### ***Community amenities***

As mentioned in the previous section, the R-MU-B zoning district permits bonus level development, subject to providing one or more community amenities. As part of the ConnectMenlo process, a list of community amenities was generated based on public input and adopted through a resolution of the City Council. Community amenities are intended to address identified community needs that result from the effect of the increased development intensity on the surrounding community. Project requirements (such as the publicly-accessible open space and street improvements determined by the Public Works Director) do not count as community amenities. In the R-MU-B zoning district, the proposed community amenity may be in the form of additional affordable housing units above the 15 percent affordable housing required as part of the City's inclusionary zoning requirement (up to 20 percent of the bonus level development), or an applicant may offer a community amenity from the established list.

An applicant requesting bonus level development must provide the City with a proposal indicating the specific amount of bonus development sought and the value of the amenity. The value of the amenity to be provided must equal 50 percent of the fair market value of the additional GFA of the bonus level development. The applicant must provide an appraisal performed by a licensed appraisal firm that sets a fair market value of the GFA and density of the bonus level of development. The City recently finalized appraisal instructions for bonus level developments, and staff and the applicant will continue to work through the appraisal process as the project plans are refined. The applicant's proposal for community amenities will be subject to review by the Planning Commission through a later study session, or in conjunction with the other project entitlements.

For the Commission's reference, the appraisal instructions are available at the following link on the City's website: <https://www.menlopark.org/DocumentCenter/View/20467/Community-Amenity-Appraisal-Instructions>.

### ***Design standards***

In the R-MU-B zoning district, all new construction and building additions of 10,000 square feet of GFA or more must meet design standards subject to architectural control review. The design standards regulate the siting and placement of buildings, landscaping, parking, and other features in relation to the street; building mass, bulk, size, and vertical building planes; ground floor exterior facades of buildings; open space, including publicly accessible open space; development of paseos to enhance pedestrian and bicycle connections between parcels and public streets in the vicinity; building design, materials, screening, and rooflines; and site access and parking. As noted below, design requirements may be modified with a use permit.

### Architectural style and building design

The design of the proposed multi-family residential buildings would have a contemporary architectural style, incorporating both solid elements and glass storefront along the majority of the primary street façades. The façades would predominantly consist of pre-finished rainscreen panels (a cladding system of interlocking panels made of wood, metal, composite, or other materials attached over top of a waterproof barrier) and vinyl punched-opening windows. The lower levels of the building would also contain board-formed concrete that address durability for potential flooding and sea level rise, in addition to the storefront and rainscreen system. The proposed windows, including the glass storefront system, would have aluminum frames and mullions. Select residences would include private balconies finished with a mix of glass and metal railings.

The two multi-family buildings would both be seven stories tall, including a two-story concrete podium base element and a five-story wood-framed structure above. Parking, residential amenities, the leasing area, and tenant bicycle storage would be incorporated on the first floor. Parking would largely be managed using an automated parking system, with some spaces reserved for accessible parking, loading, guests, employees, and prospective tenants. The main residential structures above the podium base would form U-shaped courtyard buildings, with the openings facing west to let afternoon sun into the common courtyards. Residential units are proposed to be a mix of studios, junior one-bedrooms, one-bedrooms, two-bedrooms, and three-bedroom units. The specific unit mix would be further refined prior to commencing the entitlement and environmental review for the proposed project.

The design of the proposed townhome buildings would also have a contemporary style. All townhome buildings would be three stories tall. Typical townhomes would have one- and two-car garages on the ground level, with living areas and bedrooms on the upper floors. The townhome-style units are proposed to be a mix of three-bedroom and four-bedroom units. The buildings would include recesses to modulate the building facades, and the roof lines of all the buildings would be flat with height modulations to create a visually interesting roofline. As currently proposed, the site layout and building orientation would reduce parking and garage visibility from Constitution Drive.

At this time, specific materials, finishes, and colors for the apartment buildings and townhomes have not been determined. The Commission may wish to comment on preferences for colors and materials as part of this study session for the project.

### Minimum setback and building projections

On public-street-facing facades, buildings in the R-MU-B zoning district are required to step back at least 10 feet for 75 percent of the building on the upper stories above 45 feet in height. The applicant has submitted preliminary documentation that the proposal would comply with the required minimum step back through the offset of the center portion of the front façades of the apartment buildings facing Jefferson Drive and Constitution Drive. While portions of the building facade would be set back more than 10 feet from the property line, private balconies would extend to within 10 feet of the property line. The balconies would comply with the building projection allowance in the Zoning Ordinance, which permits encroachments up to six feet into a required setback.

The townhome buildings are all set back more than 10 feet from Constitution Drive. None of the townhome buildings are proposed to be over 45 feet in height, so the setback requirement would not apply.

### Major and minor modulations

The design standards for the R-MU-B zoning district require major and minor modulations on street- and paseo-facing facades. For major modulations, the design must include a minimum of one recess of 15 feet

wide by 10 feet deep per every 200 feet of facade length from ground level to 45 feet in height. For minor modulations, a minimum recess of five feet wide by five feet deep per 50 feet of facade length is required from ground level to the top of the building. The intent of the required modulations is to provide visual variety, reduce large building volumes, and provide spaces for entryways.

For the apartment buildings, the proposed major modulation along each street-facing frontage would be a recess of approximately 50 feet wide by 10 feet deep in the vicinity of the recessed entryway to each building. Along the paseo, no major modulations are currently proposed, but a formal submittal of the project would require a major modulation to be provided since the paseo-facing façade of each building would be over 200 feet in length. Minor modulations proposed along the street-facing frontages of each building would be a single recess spanning over 165 feet in length and 10 feet in depth. Staff believes that this proposed recess does not meet the intent of the minor modulation requirement and the design would need to be revised because it spans a majority of the length of the building, does not change per each 50 feet of façade length, and does not provide visual variety. The proposed minor modulations along the paseo-facing façade of each building appear to meet the intent of the Zoning Ordinance requirements for the first 27 feet, but they do not span the entire height of the building, as required by the design guidelines.

For the townhome buildings, no major modulations would be required since the buildings would be less than 200 feet in length. For the required minor modulations, the buildings would provide two rectangular elements with a roof and enclosed sides that would project forward to create covered porches at the front of certain units. The remainder of the facade would be recessed. Staff believes that these covered porch elements do not meet the spirit of the minor modulation requirement because they are hollow and lack a front wall to give the buildings more depth and visual interest. In addition, these elements do not span the full height of the building, as required by the design guidelines. The Planning Commission may wish to comment whether the proposed treatment is acceptable, or if the modulations should be fully-enclosed spaces from the ground floor to the top of the buildings to provide more depth and volume.

#### Ground floor exterior

As part of the project review, staff will review the project to ensure that it meets the ground floor transparency requirement and building entrance location and frequency requirements. Staff believes the project generally would meet the ground floor transparency requirement along Constitution Drive and Jefferson Drive; however, adjacent to the paseo, the project proposes windows along the ground floor façade that would serve only to break up long expanses of wall associated with bicycle storage rooms that would span most of the building next to the paseo. The Planning Commission may wish to consider whether other tenant amenity spaces should be relocated along the paseo to increase the functional advantage of having windows and transparent storefront in the area, and to promote additional vibrancy and activity on the paseo. The current proposal would comply with the maximum garage entrance size and ground floor minimum height requirement.

#### Summary

With regard to the overall project design/style and the application of R-MU-B zoning district standards, staff believes that the project would meet a majority of the design guidelines required in the Zoning Ordinance with the exception of the major and minor modulations for the apartment buildings. Staff believes that compliance with the modulation requirements would help reduce the appearance of bulk and massing that the proposal currently exhibits. Staff will continue to evaluate the proposed project to ensure compliance as more detailed plans are prepared and any modifications are made. The Planning Commission may wish to provide additional feedback on the proposed building design and site layout before the project advances to the full submittal stage. The applicant's project description letter is included in Attachment B and describes the overall project proposal and design in more detail.

### ***Green and sustainable building***

In the R-MU-B zoning district, projects are required to meet green and sustainable building regulations. The proposed building will be required to meet 100 percent of its energy demand through any combination of on-site energy generation, purchase of 100 percent renewable electricity, and/or purchase of certified renewable energy credits. Additionally, as currently proposed, the new building will need to be designed to meet LEED (Leadership in Energy and Environmental Design) Gold BD+C, comply with the electric vehicle (EV) charger requirements adopted by the City Council in November 2018, and incorporate bird-friendly design in the placement of the building and the use of exterior glazing. Other green building requirements, including water use efficiency, placement of new buildings 24 inches above the Federal Emergency Management Agency (FEMA) base flood elevation (BFE) to account for sea level rise, and waste management planning, would also apply to the project. Details regarding how the proposed building would meet the green and sustainable building requirements will be provided as the project plans and materials are further developed.

### ***Planning Commission considerations***

The following comments/questions are suggested by staff to guide the Commission's discussion, although Commissioners should feel free to explore other topics of interest. Some of the topics listed below were previously identified throughout the staff report.

- **Publicly Accessible Open Space.** Should different site layouts for the townhome buildings be explored to relocate the fire access road away from the edge of the paseo, bring the buildings closer to the paseo to better activate the area, and potentially create a larger central open space rather than the narrow greenspaces between the buildings as proposed? Should apartment building amenity spaces other than bicycle storage be located adjacent to the paseo to promote additional active uses along the paseo? Does the Planning Commission believe the general approach to the publicly accessible open space elsewhere on the site is acceptable? While the layout and design are preliminary, does the Commission have any comments or feedback for the applicant team on the preliminary design and location of the open spaces, considering the criteria outlined previously in the staff report?
- **Architectural Design and Materials.** Is the architectural design of the proposed building appropriate for a multi-family dwelling building? Does the Planning Commission believe the overall proposal meets the intent of the ordinance, contains a cohesive design, provides visual interest, and breaks up the massing? Would the Commission consider a use permit request to modify the design standards for major and minor modulations for the apartment buildings? As the first redevelopment of a site on this block since the adoption of ConnectMenlo, does the proposed design set the desired standard for future redevelopment in the vicinity?
- **Density.** Is the proposed density appropriate for the site? The proposal would utilize the bonus level allowance for density, floor area ratio, and height in exchange for community amenities. At this time the proposed community amenities have not been identified and staff will be evaluating the project for the appropriate value of community amenities to be provided in exchange for the bonus level development. Does the Planning Commission believe that the proposed project is generally appropriate for the site?
- **Overall Approach.** Is the overall aesthetic approach for the project consistent with the Planning Commission's expectations for new development in the R-MU-B zoning district?

### **Correspondence**

As of the writing of this report, staff has not received any correspondence regarding the project.

### **Impact on City Resources**

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

### **Environmental Review**

Study sessions do not require analysis under the California Environmental Quality Act (CEQA). With regard to the overall project review and action, the terms of the 2017 settlement agreement with the City of East Palo Alto require projects seeking bonus level development to complete an EIR. Subsequent to this study session, City staff will identify a consultant to complete the environmental review and prepare an initial study and EIR for the proposed project. Depending on the initial study, a focused EIR may be prepared only on the topics that warrant further analysis but would include a transportation and housing analysis at a minimum, per the terms of the settlement agreement. As currently proposed, the Planning Commission would take the final action on the project entitlements, including the EIR, after the completion of the environmental review and any revisions to the plans based on feedback from the Planning Commission and Planning staff.

### **Public Notice**

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

### **Attachments**

- A. Location Map
- B. Project Description Letter
- C. Project Plans

### **Disclaimer**

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

### **Exhibits to Be Provided at Meeting**

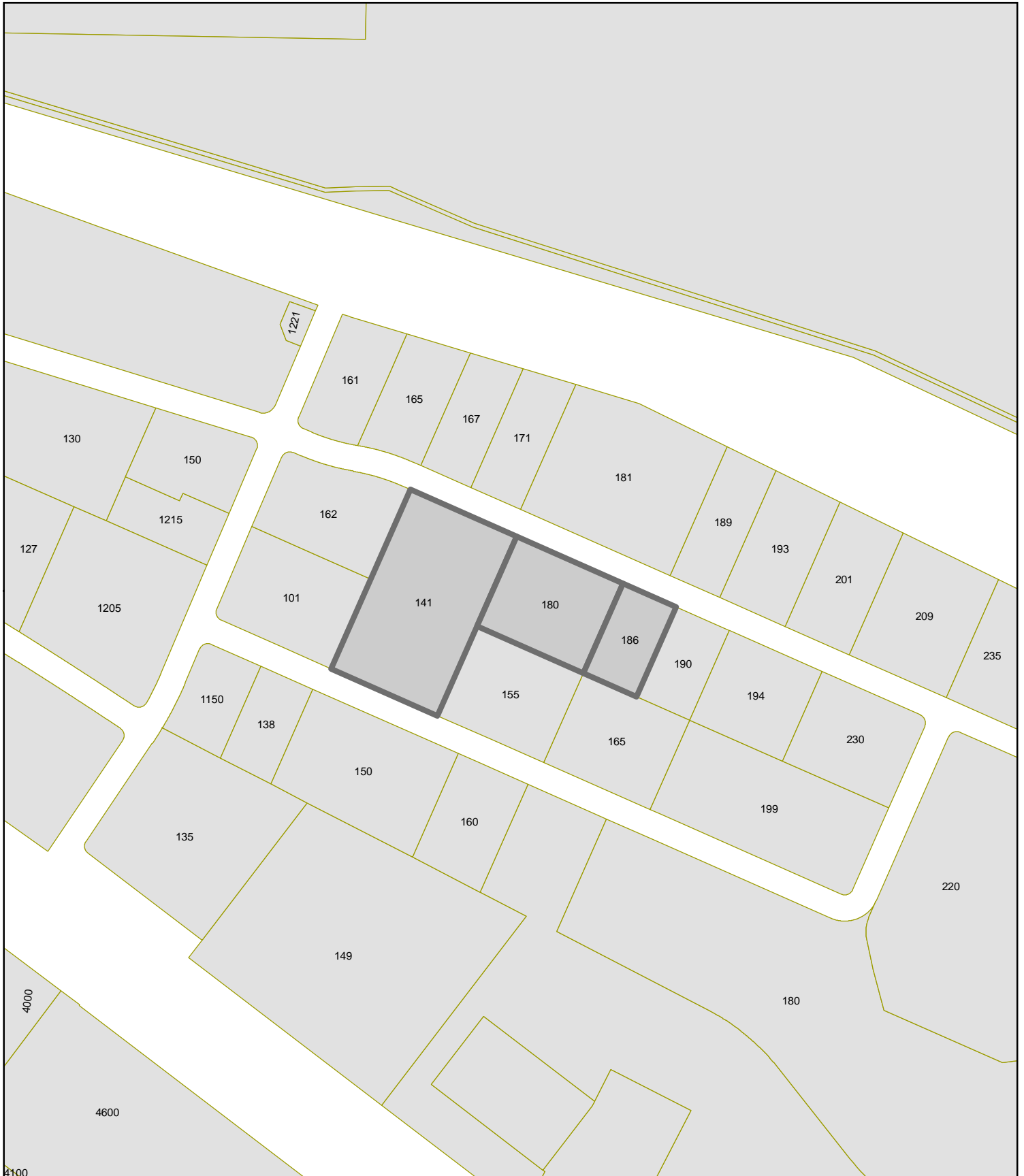
None

Report prepared by:  
Tom Smith, Senior Planner

Report reviewed by:  
Kyle Perata, Acting Principal Planner



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# CITY OF MENLO PARK

## LOCATION MAP

### MENLO UPTOWN PROJECT

DRAWN: TAS CHECKED: KTP DATE: 02/11/19 SCALE: 1" = 300' SHEET: 1



October 29, 2018

Planning Commission  
City of Menlo Park  
701 Laurel Street  
Menlo Park, CA 94025

**Project Description Letter, Study Session  
141 Jefferson Drive, 180 Constitution Drive, 186 Constitution Drive**

Dear Menlo Park Planning Commission:

We are excited to present to you this proposal that would deliver 483 new housing units to the Bayfront Area. We had recently completed the 146-unit multifamily apartment project at 3645 Haven Avenue, and we look forward to working with you once again to help alleviate the housing and traffic crises in the area.

The proposed project, named "Menlo Uptown," is located in the M-2 Area of Menlo Park, north of Highway US 101 and east of Marsh Road. The project site is across 3 contiguous parcels at 141 Jefferson/172 Constitution Drive, 180 Constitution Drive, and 186 Constitution Drive. The project proposes to demolish the existing office/industrial buildings on the 3 parcels that total approximately 110,800 square feet.

The proposed project is located in the R-MU-B zoning district within the ConnectMenlo General Plan. ConnectMenlo seeks to develop a new live/work/play environment in the M-2 area, and we believe this proposed project would further that vision. Furthermore, this project proposes to deliver maximum residential density by using the bonus level development provisions, which would bring much-needed new housing to the area.

The proposed 483-unit project consists of 441 apartment units across 2 multifamily buildings and 42 for-sale townhome-style units, as well as 533 vehicle parking stalls and 799 bicycle parking spaces. The 2 mid-rise apartment buildings will mirror each other with slight variations to unit count. Both apartment buildings would incorporate two-levels of above-grade podium garage with five-levels of residential units above, and would include residential amenities, roof decks, and an outdoor courtyard on the podium level. The 42 for-sale townhomes units would be located in 6 separate three-story buildings and tuck-under private garages. Additionally, the project proposal incorporates the pedestrian paseo between Constitution Drive and Jefferson Drive, per the ConnectMenlo plan, in order to improve pedestrian activity and accessibility throughout the area.

We understand that new construction projects of this size are subject to architectural control review, and as a result the proposal as presented includes only preliminary design direction. We plan to work with Staff and Planning Commission to further refine the design of this project. Additionally, we plan to engage the community and our future neighbors in order to thoughtfully gather, consider, and incorporate feedback.

We anticipate that the project will ultimately require:

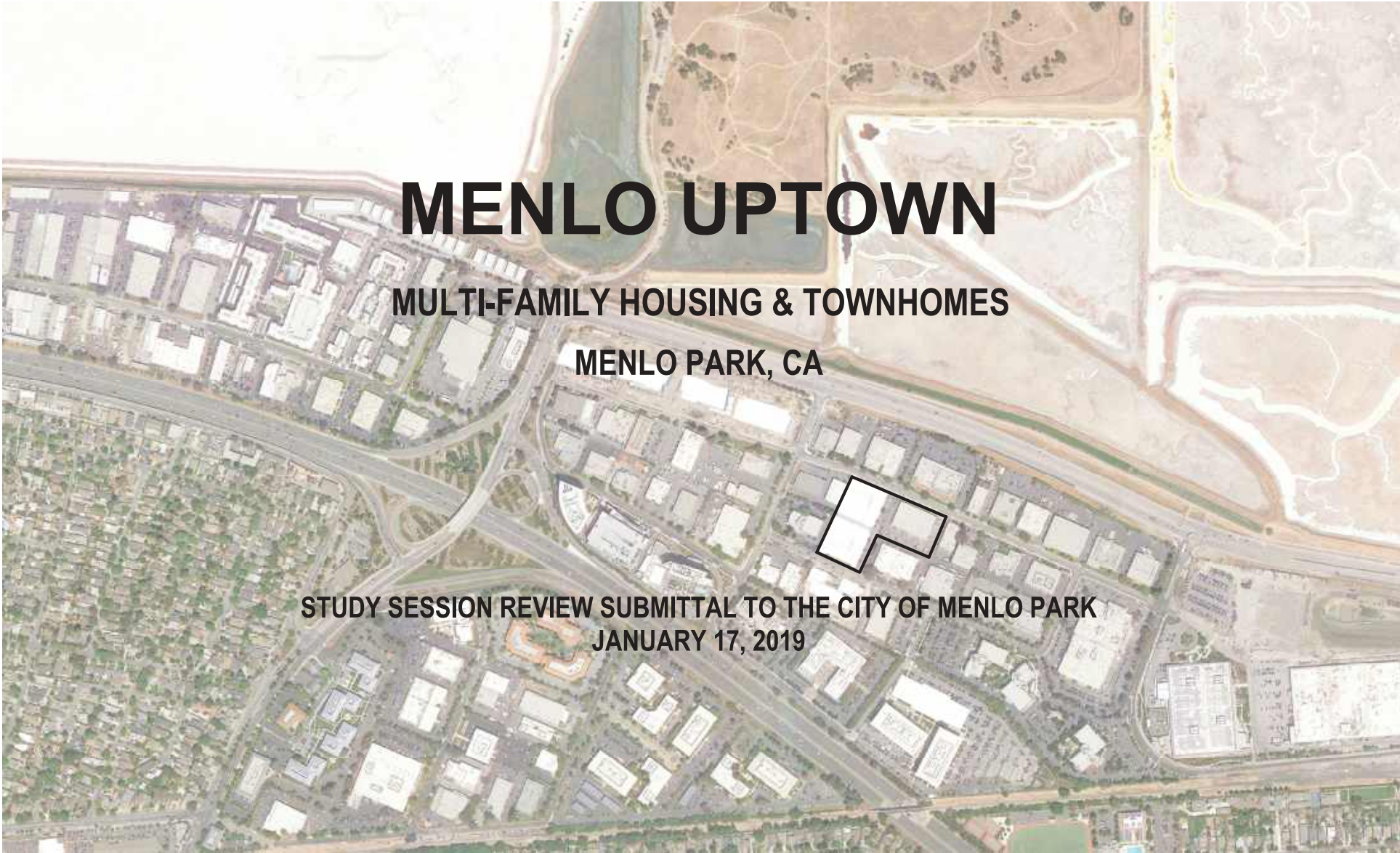
- Environmental review to analyze potential environmental and traffic impacts of the project
- Use permit for bonus level development
- Lot line adjustment to change the boundaries of the existing lots

- Subdivision to allow the townhome units to be sold separately
- Architectural control to review the future design of the project and site improvements
- Below Market Rate (BMR) housing agreement to provide on-site BMR units

We believe that the region is in great need of more housing, especially as regional employers continue to grow rapidly. A jobs/housing imbalance has existed in recent years and is expected to continue into the future, causing further strain on housing availability, increased rents, and traffic. We look forward to working with Planning Commission to deliver this new proposed housing project to Menlo Park.

Sincerely,

Andrew Morcos  
Development Director  
Greystar



# MENLO UPTOWN

MULTI-FAMILY HOUSING & TOWNHOMES

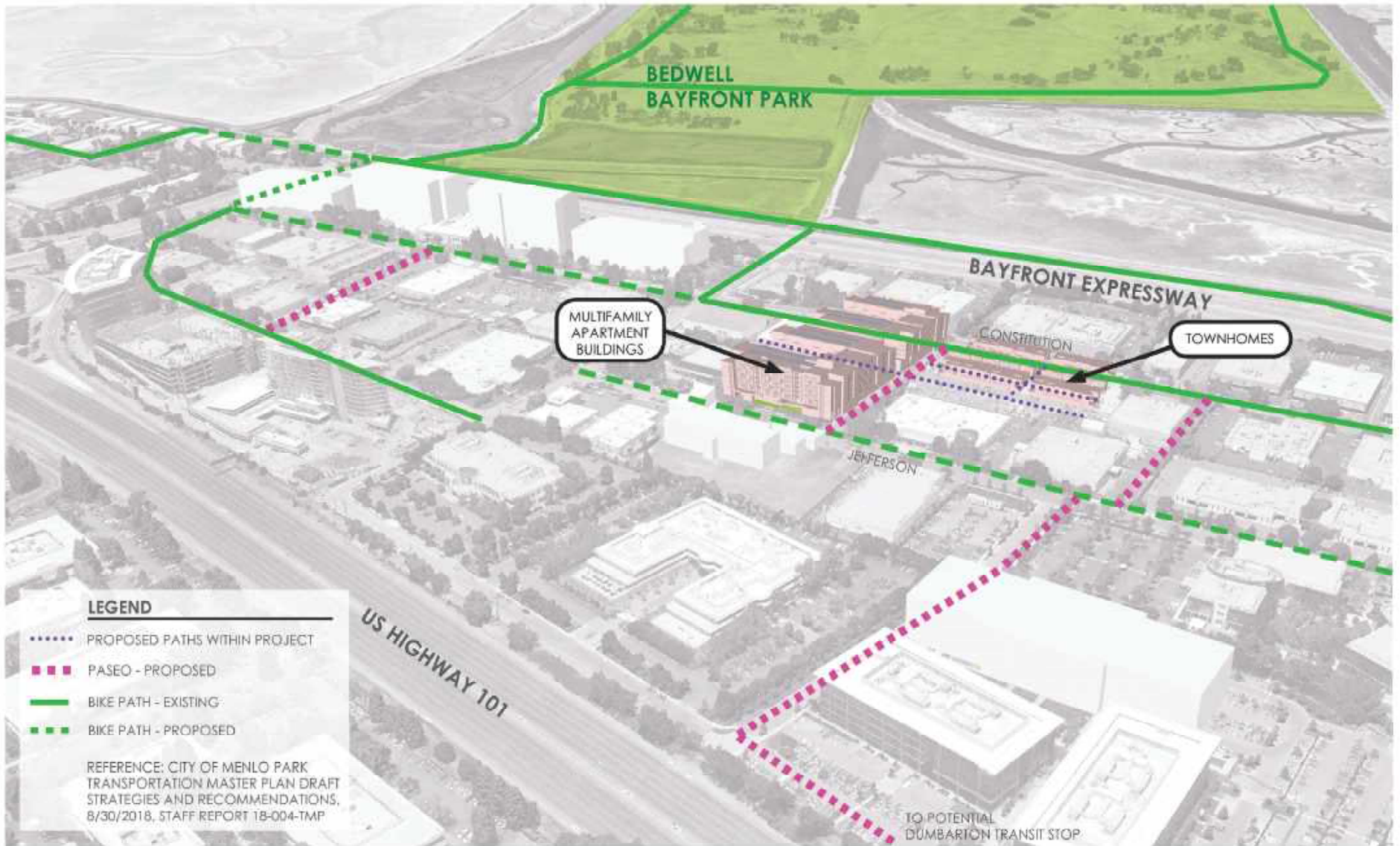
MENLO PARK, CA



STUDY SESSION REVIEW SUBMITTAL TO THE CITY OF MENLO PARK  
JANUARY 17, 2019



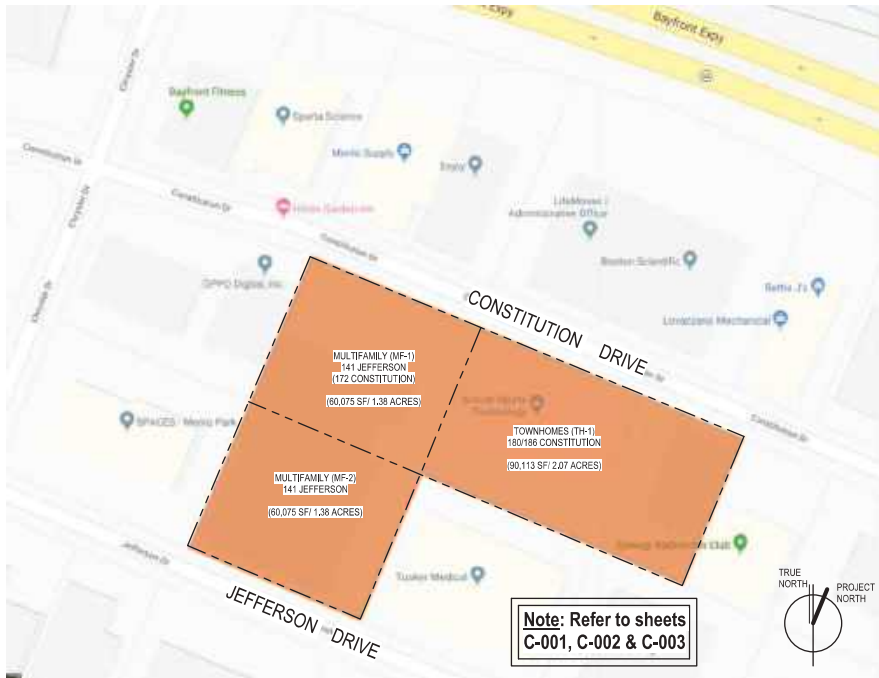
MENLO UPTOWN HOUSING  
MENLO PARK, CA  
01-17-19



**PROJECT ADDRESSES**

180 AND 186 CONSTITUTION  
 141 JEFFERSON (172 CONSTITUTION)  
 141 JEFFERSON

- TOWNHOMES (TH-1)  
 - MULTIFAMILY (MF-1)  
 - MULTIFAMILY (MF-2)



**MULTI FAMILY - AREA SUMMARY (441 UNITS)**

Area Schedule (UNIT TYPE AREAS) - AREA SUMMARY					
Level	RESID. GSF (FAR)	RESID. AMENITIES GSF (FAR)	RESID. COMMON GSF (FAR)	PARKING GSF (NOT IN FAR)	TOTAL BLDG GSF
Level 07	54,799 SF	0 SF	9,524 SF	0 SF	64,323 SF
Level 06	59,662 SF	0 SF	9,385 SF	0 SF	69,047 SF
Level 05	59,662 SF	0 SF	9,385 SF	0 SF	69,047 SF
Level 04	59,662 SF	0 SF	9,385 SF	0 SF	69,047 SF
Level 03	54,001 SF	5,265 SF	9,829 SF	0 SF	69,095 SF
Level 02	23,524 SF	5,232 SF	6,026 SF	49,771 SF	84,123 SF
Level 01	0 SF	12,624 SF	5,193 SF	65,659 SF	83,477 SF
Grand total	311,309 SF	23,091 SF	59,326 SF	114,431 SF	508,157 SF

**UNIT COUNT - MULTIFAMILY**

MULTIFAMILY HOUSING PROJECT - UNIT TYPE MIX						
Level	STUDIO	JR 1 BR	1 BR	2 BR	3 BR	# UNITS
Level 07	12	24	34	6	2	78
Level 06	12	24	36	10	2	84
Level 05	14	24	38	8	2	86
Level 04	14	24	38	8	2	86
Level 03	6	22	38	8	2	76
Level 02	10	8	8	7	0	31
Grand total	68	126	190	47	10	441

UNIT TYPES	STUDIO	JR 1 BR	1 BR	2 BR	3 BR	TOTALS
AVERAGE UNIT SIZES	550	630	700	900	1200	
UNIT COUNT	68	126	190	47	10	441
UNIT MIX	15%	29%	43%	11%	2%	100%

**GFA AREA SUMMARY NOTES:**  
 1. RESIDENTIAL GSF AREA INCLUDES AREAS OF RESIDENTIAL UNITS  
 2. RESIDENTIAL AMENITIES AREAS INCLUDES LOBBY, RESIDENTIAL AMENITIES AND RESIDENTIAL STORAGE AREAS  
 3. RESIDENTIAL COMMON AREA INCLUDES STAIR, ELEVATOR, CORRIDOR, MECHANICAL, GAS PLUMBING, ELECTRICAL, GAS AND FIRE AREAS  
 4. PARKING GSF AREA INCLUDES VEHICULAR PARKING AREA, RESIDENTIAL BIKE STORAGE AND REPAIR AREAS.  
 5. REFER TO FLOOR PLANS FOR GFA AREA BREAKDOWN.  
 6. CORE AREA SERVING MAINTENANCE ONLY ROOF EXCLUDED FROM FAR SF CALCULATION, (i.e., 2,224 SF CORE SPACE IN ROOF LEVELS NOT INCLUDED IN AREA CALCULATION)  
 7. AREA NUMBERS ARE ROUNDED TO THE CLOSEST INTEGER.

MULTIFAMILY FAR SUMMARY	
MULTIFAMILY GSF (FAR)	= 393,726 SF
RESID.GSF+RESID.AMENITIES GSF+RESID. COMMON GSF	(311,309 + 23,091 + 59,326)

**UNIT COUNT - INDIVIDUAL MULTIFAMILY BUILDINGS**

Area Schedule (UNIT TYPE AREAS) - UNIT SUMMARY MF1						Area Schedule (UNIT TYPE AREAS) - UNIT SUMMARY MF2							
Level	STUDIO	JR 1 BR	1 BR	2 BR	3 BR	# UNITS	Level	STUDIO	JR 1 BR	1 BR	2 BR	3 BR	# UNITS
Level 07	6	12	17	3	1	39	Level 07	6	12	17	3	1	39
Level 06	6	12	18	5	1	42	Level 06	6	12	18	5	1	42
Level 05	7	12	19	4	1	43	Level 05	7	12	19	4	1	43
Level 04	7	12	19	4	1	43	Level 04	7	12	19	4	1	43
Level 03	3	11	19	4	1	38	Level 03	3	11	19	4	1	38
Level 02	4	4	3	4	0	15	Level 02	6	4	3	3	0	16
Grand total	33	63	95	24	5	220	Grand total	35	63	95	23	5	221

**TOWNHOME - AREA SUMMARY (42 DWELLING UNITS)**

Unit Name	Description	Garage	Approx NSF*	#	%	Approx NSF Total	Approx GSF**	Approx GSF Total
<b>Alley Loaded Townhomes, R-3</b>								
P1	3 bd + 3.5 bath	1-car	1,547	38	43%	27,846	1,651	29,718
P2	3 bd + 3.5 bath	2-car	1,756	12	29%	21,072	1,900	22,800
P3	4 bd + 3.5 bath	2-car	1,986	8	19%	15,888	2,186	17,498
P4	4 bd + 3.5 bath	2-car	1,986	4	10%	7,944	2,199	8,796
<b>Subtotal</b>				<b>42</b>	<b>100%</b>	<b>72,750</b>		<b>78,802</b>
<b>Overall Density</b>					<b>+/-</b>	<b>20.3 du/ac.</b>		
<b>Approx. NET Avg. Unit Square Foot</b>					<b>+/-</b>	<b>1,732 sq.ft.</b>		

\* Measured to interior stud of wall, excludes parking and patios; \*\* measured to exterior stud of wall

Townhomes	
Total Unit GSF**	78,802 gsf
Utility Box (65 sf x 6 bldgs)	390 gsf
<b>Total Townhomes GSF</b>	<b>79,192 gsf</b>

**OPEN SPACE SUMMARY (Refer to sheet A-013 for Open Space Calculation Diagrams for 441 Unit Multi-Family Buildings and to sheet A-022 for Townhomes)**

MULTIFAMILY HOUSING PROJECT	SITE AREA 120,150 SF	PERCENTAGE	REQUIRED (SF)	OPEN SPACE PROVIDED (SF)
MINIMUM OPEN SPACE REQUIRED		25% OF SITE AREA	30,038	60,068 SF (49.99 % Open Space)
PUBLIC OPEN SPACE REQUIRED		25% OF MIN. OPEN SPACE	7,510	17,243 SF (Passes & Entrances)
PRIVATE OPEN SPACE REQUIRED	100sf COMMON OPEN SPACE / UNIT		44,100 (or) 35,280	25,284 SF (Common Open Space)
	(or) 80sf PRIVATE OPEN SPACE / UNIT			17,541 SF (Private Open Space)
Total Private Open Space (Common space equivalency: min. 100sf/du) = 25,284 + (17,541*1.25) = 47,210 SF > 44,100 SF				6,490 SF (Level 1 Dog Run) 15,130 SF (Level 3 Terrace) 3,664 SF (Level 7 Terrace)
Total Private Open Space (Private space equivalency: min. 80sf/du) = (25,284 * 0.8) + 17,541 = 37,769 SF > 35,280 SF				(Balconies/ Private Terraces) 338 SF (Level 2) 5,432 SF (Level 3) 8,242 SF (Levels 4-6) 3,529 SF (Level 7)
				107 sf Common Space/du  (OR) 85 sf Private Space/du

TOWNHOME PROJECT SITE AREA 80,113 SF		
Open Space Summary per 10,000 sq.ft.		
Required	27,529 sf	
Min required (25% of site)	20,028 sf	
Includes common (300 sf/du, 400 sf per unit, 27,000 sq ft for open space) and private (80 sf/du) space		
Provided	75,696 sf	28%
Common	4,488 sf	18% (60%)
Private	8,107 sf	34% (42%)
Long term bike	11,430 sf	46% (58%)
Total provided	75,696 sf	28%

**AVERAGE BUILDING HEIGHT CALCULATION SUMMARY**

AVERAGE BUILDING HEIGHT = 62.3' (< 62.5' Max. Height)

NOTE: REFER TO SHEET A-10 FOR DETAILED BUILDING HEIGHTS AND AREA CALCULATIONS

**ZONING: R-MU-B Zoning District (Bonus level development)**

FLOOR AREA SUMMARY (Refer Plan Drawings A-004 to A-009 for individual space FAR calculation)	
MAX. ALLOWED FAR %	225%
MAX. ALLOWED FLOOR AREA	(210,263 SF X 2.25) = 473,092 SF
TOWNHOME GSF (Unit GSF + Utility box)	= 79,192 SF
MULTIFAMILY GSF (Building GSF - Parking - Roof Core/Mechanical)	= 393,726 SF
PROJECT TOTAL FLOOR AREA (TOWNHOME + MULTIFAMILY)	= 472,918 SF
FAR % PROVIDED	224.92%

**UNIT COUNT SUMMARY:**

483 Units on net lot area of 4.83 acres  
 (100 dwelling units/acre)

**PARKING SUMMARY**

PARKING REQUIREMENTS		BIKE PARKING REQUIREMENTS	
Min. 1 space/unit		Multi-Family & Townhomes	1.5 spaces / unit +
Max. 1.5 space/unit			10% Short-term for guests
Min.483 - Max. 725 Vehicular Parking	(725 long term + 73 short term = 798 total bike parking)		
<b>PARKING PROVIDED (582 Vehicular spaces &amp; 799 Bike spaces provided)</b>			
Parking Ratio/ Unit :	1.21 Vehicular Parking and 1.65 Bike parking		
Multi-Family	Vehicular spaces: 441 vehicular spaces + 71 additional spaces for guest / visitor = 512 spaces Bike spaces: 662 long term parking indoors + 67 short term parking outdoors = 729 spaces		
Townhome	Vehicular spaces: 66 spaces in townhomes + 4 spaces on internal street = 70 spaces Bike spaces: 63 long term parking indoors + 7 short term parking outdoors = 70 spaces		



**MENLO UPTOWN HOUSING**  
 MENLO PARK, CA  
 01-16-19

**LOCATION MAP & PROJECT DATA SUMMARY**

**TOWNHOUSE BUILDINGS CODE SUMMARY**

**PROJECT SUMMARY:** FORTY-TWO (42) ATTACHED TOWNHOUSE UNITS IN SIX CONNECTED CLUSTER BUILDINGS, ON A 2.07 ACRE SITE.

**CODES IN USE:** 2016 CALIFORNIA RESIDENTIAL CODE (CRC)

**OCCUPANCY GROUPS:** OCCUPANCY: R-3 (ATTACHED TOWNHOUSES)  
R (MULTI-FAMILY BUILDINGS)

**DEFINITION (PER LIRC, R. 202) ATTACHED TOWNHOUSE:** A SINGLE FAMILY DWELLING UNIT CONSTRUCTED IN A GROUP OF THREE OR MORE ATTACHED UNITS IN WHICH EACH UNIT EXTENDS FROM FOUNDATION TO ROOF AND WITH A YARD OR PUBLIC WAY ON AT LEAST TWO SIDES.

**ALLOWABLE HEIGHTS AND AREAS:** ALLOWABLE HEIGHT: 3 STORIES AND +46 FEET PER CBC TABLE 604.3.1, 604.4

**ALLOWABLE FLOOR AREA:** R-3 (MULTIFAM) PER CBC TABLE 508.2  
0 - 1,000 SQ FT. PER CBC 409.3.1

**FIRE SEPARATION BETWEEN OCCUPANCIES:** PER CBC R 302.3 EACH TOWNHOUSE CONDOMINIUM SHALL BE SEPARATED BY A COMMON WALL, CONSTRUCTED WITHOUT PILLARS OR MECHANICAL EQUIPMENT, DUCTS OR VENTS RUNNING VERTICALLY TO THE COMMON WALL CAVITY.

PER CBC R 302.2 ITEM A THE COMMON WALL SHALL BE NOT LESS THAN 1 HOUR FIRE RATED.

**MAXIMUM AREA OF EXTERIOR WALL OPENINGS:** FOR FIRE SEPARATION DISTANCE OVER 3', MAXIMUM AREA OF UNRATED OPENINGS SHALL BE UNLIMITED.  
FOR FIRE SEPARATION DISTANCE UNDER 3', NO OPENINGS ALLOWED.

**TYPES OF CONSTRUCTION:** CONSTRUCTION TYPE: TYPE V-B

**FIRE PROTECTION SYSTEMS:** FIRE SPRINKLERS: NFPA-130

**MULTI FAMILY BUILDINGS CODE SUMMARY**

**CHAPTER 7 - (CONTINUED):**

**SECTION 712.1:** TO PARKING GARAGES. VERTICAL OPENINGS IN PARKING GARAGES SHALL COMPLY WITH THIS SECTION.

**SECTION 712.4 SHaft ENCLOSURES:** SHAFTS SHALL BE 2-HR. FIRE RATED WHERE CONNECTING FOUR OR MORE STORIES, AND 1 HR. WHERE CONNECTING LESS THAN FOUR STORIES.

**SECTION 712.13 WASTE CHUTES AND ACCESS ROOMS:** SHALL COMPLY WITH THIS SECTION

**SECTION 718:** PROTECTION FOR DOORS IN FIRE RATED ASSEMBLY SHALL COMPLY WITH THIS SECTION.

**CHAPTER 9 - FIRE PROTECTION SYSTEMS:**

FIRE SPRINKLER SYSTEMS: NFPA-13  
CLASS II WET COMBINATION SPRINKLER SYSTEM THROUGHOUT.

**CHAPTER 10 - MEANS OF EGRESS:**

**TABLE 1006.1.3 OCCUPANT LOADS FOR EACH SPACE ARE AS NOTED BELOW:**  
STORAGE AREAS: 100 SPPERSON  
ROOF DECK ASSEMBLY (W/OUT FIXED SEATING): 7 SPPERSON  
LEASING OFFICE (BUSINESS AREAS): 150 SPPERSON  
PARKING GARAGES: 200 SPPERSON  
RESIDENTIAL AREAS: 200 SPPERSON

**SECTION 1004:** MEANS OF EGRESS SOUNDINGS  
STAIRWAYS SHALL BE CALCULATED BY MULTIPLYING THE OCCUPANT LOAD A 0.2'  
DOORS SHALL BE CALCULATED BY MULTIPLYING THE OCCUPANT LOAD A 0.2'.

**TABLE 1006.2.1 TWO OR MORE EXITS ARE REQUIRED FOR SPACES BASED ON THE FOLLOWING:**

A OCCUPANCIES: 140 PERSONS (2 EXITS) OR MORE PERSONS (3 EXITS)  
B OCCUPANCIES: 440 PERSONS (2 EXITS)  
R OCCUPANCIES: 410 PERSONS (2 EXITS)  
S OCCUPANCIES: 140 PERSONS (2 EXITS)

**MAXIMUM COMMON PATH OF TRAVEL:**

A OCCUPANCIES: 75 FEET  
B OCCUPANCIES: 100 FEET  
R OCCUPANCIES: 75 FEET  
S OCCUPANCIES: 100 FEET

**SECTION 1009.1:** ACCESSIBLE MEANS OF EGRESS SHALL BE PROVIDED EITHER BY MEANS OF AN ELEVATOR PROVIDED WITH EMERGENCY POWER PER SECTION 1009.4, OR BY MEANS OF A HORIZONTAL EXIT SUCH AS AN AREA SEPARATION WALL, IF A HORIZONTAL EXIT IS USED, THE STAIRS SHALL COMPLY WITH SECTION 1009.2, PROVIDING AN AREA OF REFUGE.

**SECTION 1006.8:** TWO-WAY COMMUNICATION DEVICES SHALL BE PLACED ON EITHER SIDE OF A HORIZONTAL EXIT AND AT ALL ELEVATOR LOBBIES ABOVE THE FIRST FLOOR.

**DOORS:** SHALL COMPLY WITH SECTION 1010  
STAIRWAYS SHALL COMPLY WITH SECTION 1011  
RAMPS SHALL COMPLY WITH SECTION 1012

**SECTION 1017:** EXIT ACCESS DISTANCE: 200' MAXIMUM IN R OCCUPANCIES WHERE PROVIDED WITH AN AUTOMATIC SPRINKLER SYSTEM; 400' FOR S OCCUPANCIES.

**CHAPTER 11A - HOUSING ACCESSIBILITY:**

- ALL RESIDENTIAL AREAS SHALL BE SERVED BY AN ACCESSIBLE ROUTE PER SECTION 1106A.
- ALL RESIDENTIAL UNITS SHALL BE ACCESSIBLE PER SECTION 1106A.
- ALL COMMON SPACES SHALL BE FULLY ACCESSIBLE PER SECTION 1107A.

**SECTION 1106A:** PARKING FACILITIES: FULLY ACCESSIBLE. AUTO AND VAN PARKING WILL BE PROVIDED AT THE FIRST FLOOR.

**SECTION 1118A:** THROUGH 1118A, EXTERIOR ROUTES, ALL EXTERIOR PATHWAYS, RAMPS AND STAIRS WHICH ARE NOT PART OF A MAINTENANCE ONLY AREA ARE CONSIDERED ACCESSIBLE.

**SECTION 1118A:** EXTERIOR STAIRWAYS SHALL BE ACCESSIBLE PER THIS SECTION.

**SECTION 1109A:** ELEVATORS SHALL BE ACCESSIBLE PER THIS SECTION.

**SECTION 1126A:** DOORS, GATES AND WINDOWS SHALL BE ACCESSIBLE PER THIS SECTION.

**SECTION 1127A:** ALL COMMON AREAS, INCLUDING BATHROOM FACILITIES, SHALL COMPLY WITH THIS SECTION.

**SECTION 1133A:** ALL KITCHENS WITHIN UNITS AND IN COMMON AREAS SHALL COMPLY WITH THIS SECTION.

**SECTION 1134A:** ALL BATHING AND TOILET FACILITIES WITHIN THE RESIDENTIAL UNITS SHALL COMPLY WITH THIS SECTION.

**SECTION 1141A:** SWIMMING POOLS SHALL BE ACCESSIBLE PER THIS SECTION.

**MULTI FAMILY BUILDINGS CODE SUMMARY**

**CHAPTER 3 - OCCUPANCY GROUPS:**

SECTION 310.4 - OCCUPANCY GROUP R-3  
SECTION 311.3 - OCCUPANCY GROUP R-2

**CHAPTER 5 - ALLOWABLE HEIGHTS AND AREAS:**

**MAXIMUM HEIGHT IN FEET:**  
SECTION 504.3 & TABLE 504.3 - (SPRINKLERED, WITHOUT AREA INCREASE)  
R-2 OCCUPANCY: 30,000 SF  
R-3 OCCUPANCY: UNLIMITED

**MAXIMUM # OF STORIES:**  
SECTION 504.4 & TABLE 504.4 - (SPRINKLERED, WITHOUT AREA INCREASE)  
R-2 OCCUPANCY: 5 (SEE SECTION 511.5 BELOW FOR INCREASES)  
R-3 OCCUPANCY: UNLIMITED

**ALLOWABLE BUILDING AREA:**  
SECTION 506 & TABLE 506.2 - (SPRINKLERED)  
R-2 OCCUPANCY: 30,000 SF ALLOWED; 12,000 SF PROPOSED; EACH MULTI-FAMILY BUILDING MAY REQUIRE SEPARATION WALLS  
R-3 OCCUPANCY: UNLIMITED; 87,862 PROPOSED

**REQUIRED SEPARATION OF OCCUPANCIES:**

TABLE 506.4 R-2 | S-2 3 HRS.

**INCIDENTAL USES:**

**SECTION 100:**  
GENERAL RESIDENTIAL USES LOCATED WITHIN SINGLE OCCUPANCY OR MIXED OCCUPANCY BUILDINGS SHALL NOT BE CLASSIFIED AS SEPARATE OCCUPANCIES IF THEY DO NOT OCCUPY MORE THAN 10% PERCENT OF THE BUILDING AREA OF THE STORY IN WHICH THEY ARE LOCATED. SEPARATION SHALL BE PER TABLE 506.4. SPECIFIC REQUIREMENTS FOR NECESSARY CONDITIONS WILL BE IDENTIFIED ONCE ALL PROGRAMMATIC ELEMENTS ARE ESTABLISHED.

**HORIZONTAL SEPARATION:**

SECTION 1012: THE TYPE IIA RESIDENTIAL BUILDING SHALL BE CONSIDERED A SEPARATE BUILDING FROM THE TYPE IIA STRUCTURE BELOW IF SEPARATED BY A 3 HR POOL.

**CHAPTER 6 - TYPES OF CONSTRUCTION:**

**TYPE IIA WOOD FRAMING OVER TYPE IIA CONCRETE STRUCTURE:** RATINGS PER TABLE 601, AS SHOWN IN THE LIST BELOW.

TYPE IIA CONSTRUCTION:  
PRIMARY STRUCTURAL FRAME: 3 HRS  
BEARING WALLS (EXT & INT): 2 HRS  
NON-BEARING EXTERIOR WALLS: PER TABLE 601  
NON-BEARING INTERIOR WALLS: NR  
FLOOR CONSTRUCTION: 2 HRS  
ROOF CONSTRUCTION: 1.5 HRS

TYPE IIB CONSTRUCTION:  
PRIMARY STRUCTURAL FRAME: 1 HR  
BEARING WALLS (EXT): 2 HRS  
BEARING WALLS (INT): 1 HR  
NON-BEARING EXTERIOR WALLS: PER TABLE 603  
NON-BEARING INTERIOR WALLS: NR  
FLOOR CONSTRUCTION: 1 HR  
ROOF CONSTRUCTION: 1 HR

**EXTERIOR WALL RATINGS PER TABLE 602:**  
ALL RATINGS APPLY TO BOTH CONSTRUCTION TYPES IIA AND IIB, AND BOTH R AND S OCCUPANCIES

**FIRE SEPARATION DISTANCE:** FIRE RATING:  
0' TO 10' 1 HR  
10' TO 20' 1 HR  
20' TO 30' 2 HR  
OVER 30' NR

**CHAPTER 7 - FIRE AND SMOKE PROTECTION FEATURES:**

**PROJECTIONS:** PER 703.2.1, PROJECTIONS FROM TYPE I CONSTRUCTION SHALL BE NON-COMBUSTIBLE, AND PER 703.2.2, PROJECTIONS FROM TYPE II CONSTRUCTION MAY BE OF ANY APPROVED MATERIAL. SEE SECTION 703.2.3 FOR PROJECTIONS WITHIN 3' OF THE FIRE SEPARATION DISTANCE.

**OPENINGS PER TABLE 703.3:** THE MAXIMUM AREA OF UNPROTECTED EXTERIOR WALL OPENINGS FOR SPRINKLERED BUILDINGS, BASED ON DISTANCE FROM THE PROPERTY LINE, IS AS NOTED:  
3' TO 6' 50% OF WALL ALLOWED TO BE OPEN (WINDOWS + DOORS)  
6' TO 10' 20%  
10' TO 15' 40%  
15' TO 20' 70%  
OVER 20' NO LIMIT

**SECTION 705.1:** PARAPETS SHALL BE PROVIDED UNLESS THE ROOF IS PROVIDED WITH A ONE-HOUR FIRE RATED WRAP BACK OF 4" PER SECTION 1011.1 EXCEPTION 4

**SECTION 705:** FIRE WALLS, WHERE USED FOR AREA SEPARATION PURPOSES, SHALL BE 4-HR RATED. THESE SHALL TERMINATE IN 2" PARAPETS UNLESS THE ROOF IS STRENGTH PER EXCEPTION 1, IS PROVIDED WITH A ONE-HOUR WRAP BACK OF 4" ON EITHER SIDE PER EXCEPTIONS 2 AND 4, OR A CLASS B ROOF AND WRAP BACK ARE PROVIDED PER EXCEPTION 3.

**SECTION 706.1:** OPENINGS WITHIN 4' OF EACH SIDE OF A FIRE WALL SHALL BE 45-MINUTE FIRE RATED.

**PROJECT SUMMARY**

**NORTH MULTI-FAMILY BUILDING (MF-1)**

PROJECT ADDRESS: 170 CONSTITUTION DRIVE, MENLO PARK, CA  
APN: 095-243-190  
LOT: PARCEL 1  
LOT AREA: 85,170 SF  
ZONING DISTRICT: R-MULB  
PROPOSED USE: R-2 (RESIDENTIAL) S2 (STORAGE)  
TYPE OF BUILDING: MULTI-FAMILY APARTMENT BUILDING  
BUILDING HEIGHT: 54'-0"  
NUMBER OF STORIES: 7

**SOUTH MULTI-FAMILY BUILDING (MF-2)**

PROJECT ADDRESS: 141 INDEPENDENCE DRIVE, MENLO PARK, CA  
APN: 095-243-038  
LOT: PARCEL 1  
LOT AREA: 85,170 SF  
ZONING DISTRICT: R-MULB  
PROPOSED USE: R-2 (RESIDENTIAL) S2 (STORAGE)  
TYPE OF BUILDING: MULTI-FAMILY APARTMENT BUILDING  
BUILDING HEIGHT: 54'-0"  
NUMBER OF STORIES: 7

**TOWNHOMES (TH-1)**

PROJECT ADDRESS: 105106 CONSTITUTION DRIVE, MENLO PARK, CA  
APN: 095-243-046  
LOT: 16-18 (AND 20)  
LOT AREA: 94,110 SF  
ZONING DISTRICT: R-MULB  
PROPOSED USE: R-2 (RESIDENTIAL) S2 (STORAGE)  
TYPE OF BUILDING: MULTI-FAMILY  
BUILDING HEIGHT: 32'-0"  
NUMBER OF STORIES: 3

**CODES USED**

BUILDING CODE: 2016 CALIFORNIA BUILDING CODE (CBC)  
LIFE SAFETY CODE: NFPA 72 NATIONAL FIRE ALARM AND SIGNALING CODE, 2013 ED  
FIRE CODES: 2016 CALIFORNIA FIRE CODE  
NFPA 13 STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS, 2013 ED  
NFPA 14 STANDARD FOR THE INSTALLATION OF STATIONARY PUMPS AND HOSE SYSTEMS, 2013 ED  
NFPA 20 STANDARD FOR THE INSTALLATION OF STATIONARY PUMPS FOR FIRE PROTECTION, 2013 ED  
NFPA 72 NATIONAL FIRE ALARM AND SIGNALING CODE, 2013 ED  
NFPA 111 STANDARD FOR EMERGENCY AND STANDBY POWER SYSTEMS, 2013 ED  
CA STATE FIRE MARSHAL REQUIREMENTS  
ACCESSIBILITY CODE: 2016 CALIFORNIA BUILDING CODE (CBC), SECTIONS 11, 11.20  
ENERGY CODE: 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE  
STRUCTURAL CODE: 2016 CA BUILDING CODE (CBC)  
MECHANICAL CODE: 2016 CA MECHANICAL CODE (CMC)  
ELECTRICAL CODE: 2016 CA ELECTRICAL CODE (CEC)  
PLUMBING CODE: 2016 CA PLUMBING CODE (CPC)  
MENLO PARK MUNICIPAL CODE  
ELEVATOR CODE: CDR - TITLE 17 ELEVATOR SAFETY CODES WITH ASME A17.1 CODE FOR GROUP 4 ELEVATORS  
OTHER MISC. CODES: MENLO PARK MUNICIPAL CODE  
VUE GREEN BOOK REQUIREMENTS

**PROJECT SUMMARY**

THE PROJECT CONSISTS OF THREE PROJECTS:

1 & 2: TWO 170-UNIT REVENUE-PRODUCING MULTI-FAMILY APARTMENT BUILDINGS, WITH AMENITY AND SUPPORT SPACES, OVER TWO STORIES OF STRUCTURED PARKING, RECREATIONAL APARTMENTS, COMMERCIAL AND SUPPORTIVE SPACES, THE HIGHEST OCCUPIED FLOOR, THE 1<sup>ST</sup> FLOOR, WILL BE LESS THAN 15 FEET ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT ACCESS, AND THEREFORE THE BUILDING IS NOT A HIGH-RISE STRUCTURE.

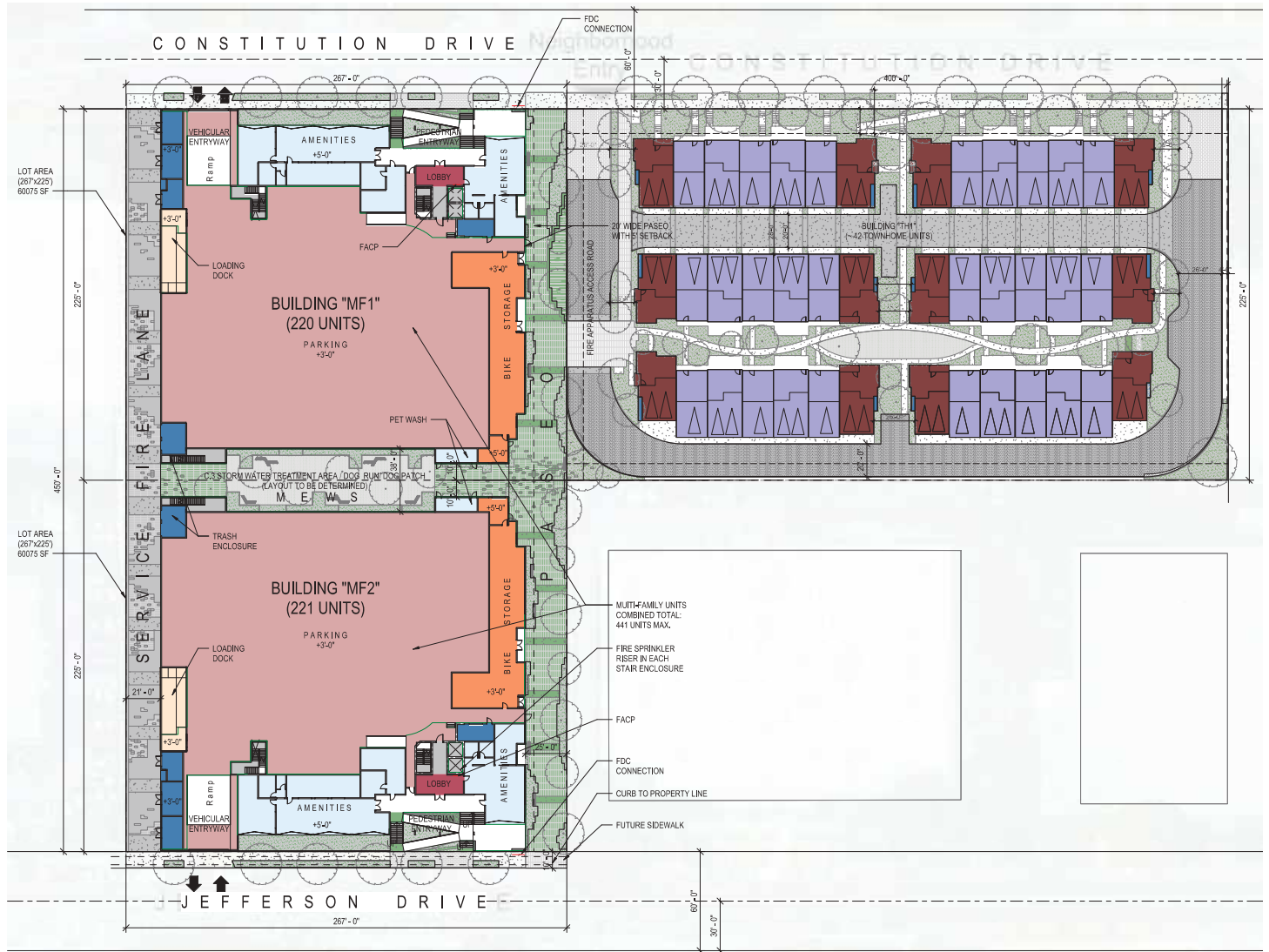
3: FORTY-TWO (42) TOWNHOUSE APARTMENTS IN SIX SEPARATE DETACHED STRUCTURES, THESE ARE TYPE V-A CONSTRUCTION, AND INCLUDE ENCLOSED INDIVIDUAL PARKING GARAGES.



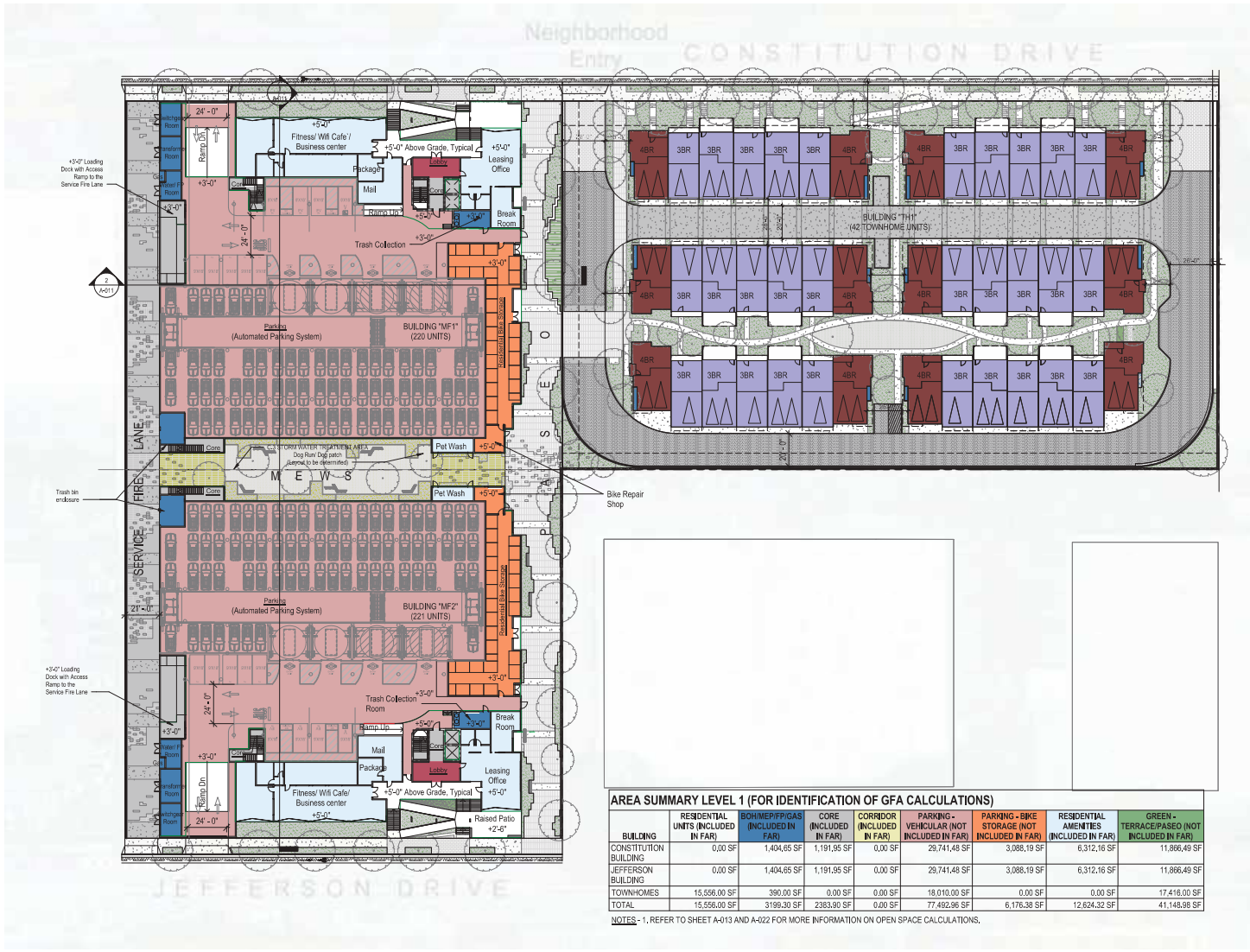
MENLO UPTOWN HOUSING  
MENLO PARK, CA  
01-16-19

CODE INFORMATION





PLAN LEGEND	
	0 Studio (FAR)
	1 Junior Bedroom (FAR)
	1 Bedroom (FAR)
	2 Bedroom (FAR)
	3 Bedroom (FAR)
	4 Bedroom (FAR)



**PLAN LEGEND**

<span style="color: lightblue;">■</span>	0 Studio (FAR)
<span style="color: orange;">■</span>	1 Junior Bedroom (FAR)
<span style="color: lightgreen;">■</span>	1 Bedroom (FAR)
<span style="color: pink;">■</span>	2 Bedroom (FAR)
<span style="color: purple;">■</span>	3 Bedroom (FAR)
<span style="color: darkred;">■</span>	4 Bedroom (FAR)

**AREA SUMMARY LEVEL 1 (FOR IDENTIFICATION OF GFA CALCULATIONS)**

BUILDING	RESIDENTIAL UNITS INCLUDED IN FAR	BOHMEPPPGAS (INCLUDED IN FAR)	CORE (INCLUDED IN FAR)	CORRIDOR (INCLUDED IN FAR)	PARKING - VEHICULAR (NOT INCLUDED IN FAR)	PARKING - BIKE STORAGE (NOT INCLUDED IN FAR)	RESIDENTIAL AMENITIES (INCLUDED IN FAR)	GREEN - TERRACE/PASEO (NOT INCLUDED IN FAR)
CONSTITUTION BUILDING	0,00 SF	1,404,65 SF	1,191,95 SF	0,00 SF	29,741,48 SF	3,088,19 SF	6,312,16 SF	11,866,49 SF
JEFFERSON BUILDING	0,00 SF	1,404,65 SF	1,191,95 SF	0,00 SF	29,741,48 SF	3,088,19 SF	6,312,16 SF	11,866,49 SF
TOWNHOMES	15,556,00 SF	390,00 SF	0,00 SF	0,00 SF	18,010,00 SF	0,00 SF	0,00 SF	17,416,00 SF
TOTAL	15,556,00 SF	3,199,30 SF	2,383,90 SF	0,00 SF	77,492,96 SF	6,176,38 SF	12,624,32 SF	41,148,98 SF

NOTES - 1. REFER TO SHEET A-013 AND A-022 FOR MORE INFORMATION ON OPEN SPACE CALCULATIONS.



**MENLO UPTOWN HOUSING**  
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PLAN LEVEL 01



**A-005**



**PLAN LEGEND**

	0 Studio (FAR)
	1 Junior Bedroom (FAR)
	1 Bedroom (FAR)
	2 Bedroom (FAR)
	3 Bedroom (FAR)
	4 Bedroom (FAR)

**AREA SUMMARY LEVEL 2 (FOR IDENTIFICATION OF GFA CALCULATIONS)**

BUILDING	RESIDENTIAL UNITS (INCLUDED IN FAR)	SOHNIER/FFIG AS (INCLUDED IN FAR)	CORE (INCLUDED IN FAR)	CORRIDOR (INCLUDED IN FAR)	PARKING - VEHICULAR (NOT INCLUDED IN FAR)	PARKING - BIKE STORAGE (NOT INCLUDED IN FAR)	RESIDENTIAL AMENITIES (INCLUDED IN FAR)	GREEN - TERRACE/PASEO (NOT INCLUDED IN FAR)
CONSTITUTION BUILDING	11,762.02 SF	0.00 SF	1,813.81 SF	1,496.00 SF	24,365.61 SF	0.00 SF	2,600.87 SF	169.06 SF
JEFFERSON BUILDING	11,761.99 SF	0.00 SF	1,813.81 SF	1,496.00 SF	24,365.61 SF	0.00 SF	2,600.87 SF	169.06 SF
TOWNHOMES	30,216.00 SF	0.00 SF	0.00 SF	0.00 SF	0.00 SF	0.00 SF	0.00 SF	6,240.00 SF
<b>TOTAL</b>	<b>53,740.01 SF</b>	<b>0.00 SF</b>	<b>3,627.62 SF</b>	<b>2,992.00 SF</b>	<b>48,731.22 SF</b>	<b>0.00 SF</b>	<b>5,201.74 SF</b>	<b>6,678.16 SF</b>

NOTES - 1. REFER TO SHEET A-013 AND A-022 FOR MORE INFORMATION ON OPEN SPACE CALCULATIONS.



**PLAN LEGEND**

<span style="color: cyan;">■</span>	0 Studio (FAR)
<span style="color: orange;">■</span>	1 Junior Bedroom (FAR)
<span style="color: lightgreen;">■</span>	1 Bedroom (FAR)
<span style="color: pink;">■</span>	2 Bedroom (FAR)
<span style="color: purple;">■</span>	3 Bedroom (FAR)
<span style="color: brown;">■</span>	4 Bedroom (FAR)

**AREA SUMMARY LEVEL 3 (FOR IDENTIFICATION OF GFA CALCULATIONS)**

BUILDINGS	RESIDENTIAL UNITS (INCLUDED IN FAR)	BOHMEP/PP/GAS (INCLUDED IN FAR)	CORE (INCLUDED IN FAR)	CORRIDOR (INCLUDED IN FAR)	PARKING - VEHICULAR (NOT INCLUDED IN FAR)	PARKING - BIKE STORAGE (NOT INCLUDED IN FAR)	RESIDENTIAL AMENITIES (INCLUDED IN FAR)	GREEN - TERRACE/PASEO (NOT INCLUDED IN FAR)
CONSTITUTION BUILDING	27,000.31 SF	343.58 SF	1,519.00 SF	3,052.03 SF	0.00 SF	0.00 SF	2,632.42 SF	10,281.00 SF
JEFFERSON BUILDING	27,000.31 SF	343.58 SF	1,519.00 SF	3,052.03 SF	0.00 SF	0.00 SF	2,632.42 SF	10,281.00 SF
TOWNHOMES	33,030.00 SF	0.00 SF	0.00 SF	0.00 SF	0.00 SF	0.00 SF	0.00 SF	0.00 SF
<b>TOTAL</b>	<b>87,030.62 SF</b>	<b>687.16 SF</b>	<b>3,038.00 SF</b>	<b>6,104.06 SF</b>	<b>0.00 SF</b>	<b>0.00 SF</b>	<b>5,264.84 SF</b>	<b>20,562.00 SF</b>

NOTES - 1. REFER TO SHEET A-013 AND A-022 FOR MORE INFORMATION ON OPEN SPACE CALCULATIONS



**PLAN LEGEND**

	0 Studio (FAR)
	1 Junior Bedroom (FAR)
	1 Bedroom (FAR)
	2 Bedroom (FAR)
	3 Bedroom (FAR)
	4 Bedroom (FAR)

**AREA SUMMARY LEVEL 4-6 (FOR IDENTIFICATION OF GFA CALCULATIONS)**

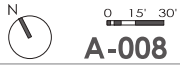
BUILDING	RESIDENTIAL UNITS (INCLUDED IN FAR)	BOH/ME/PP/GAS (INCLUDED IN FAR)	CORE (INCLUDED IN FAR)	CORRIDOR (INCLUDED IN FAR)	PARKING - VEHICULAR (NOT INCLUDED IN FAR)	PARKING - BIKE STORAGE (NOT INCLUDED IN FAR)	RESIDENTIAL AMENITIES (INCLUDED IN FAR)	GREEN - TERRACE/PASEO (NOT INCLUDED IN FAR)
CONSTITUTION BUILDING	29,830.89 SF	343.58 SF	1,519.00 SF	2,829.86 SF	0.00 SF	0.00 SF	0.00 SF	1,373.66 SF
JEFFERSON BUILDING	29,830.89 SF	343.58 SF	1,519.00 SF	2,829.86 SF	0.00 SF	0.00 SF	0.00 SF	1,373.66 SF
<b>TOTAL</b>	<b>59,661.78 SF</b>	<b>687.17 SF</b>	<b>3,038.00 SF</b>	<b>5,659.72 SF</b>	<b>0.00 SF</b>	<b>0.00 SF</b>	<b>0.00 SF</b>	<b>2,747.32 SF</b>

NOTES - 1. REFER TO SHEET A-013 AND A-022 FOR MORE INFORMATION ON OPEN SPACE CALCULATIONS.  
 2. FLOOR PLANS FOR LEVEL 4 SHOWN. LEVELS 5 AND 6 ARE IDENTICAL.  
 3. NO FLOOR AREA ABOVE 3<sup>RD</sup> FLOOR FOR TOWNHOMES.



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PLAN LEVELS 04 (TYPICAL 04-06)



**A-008**



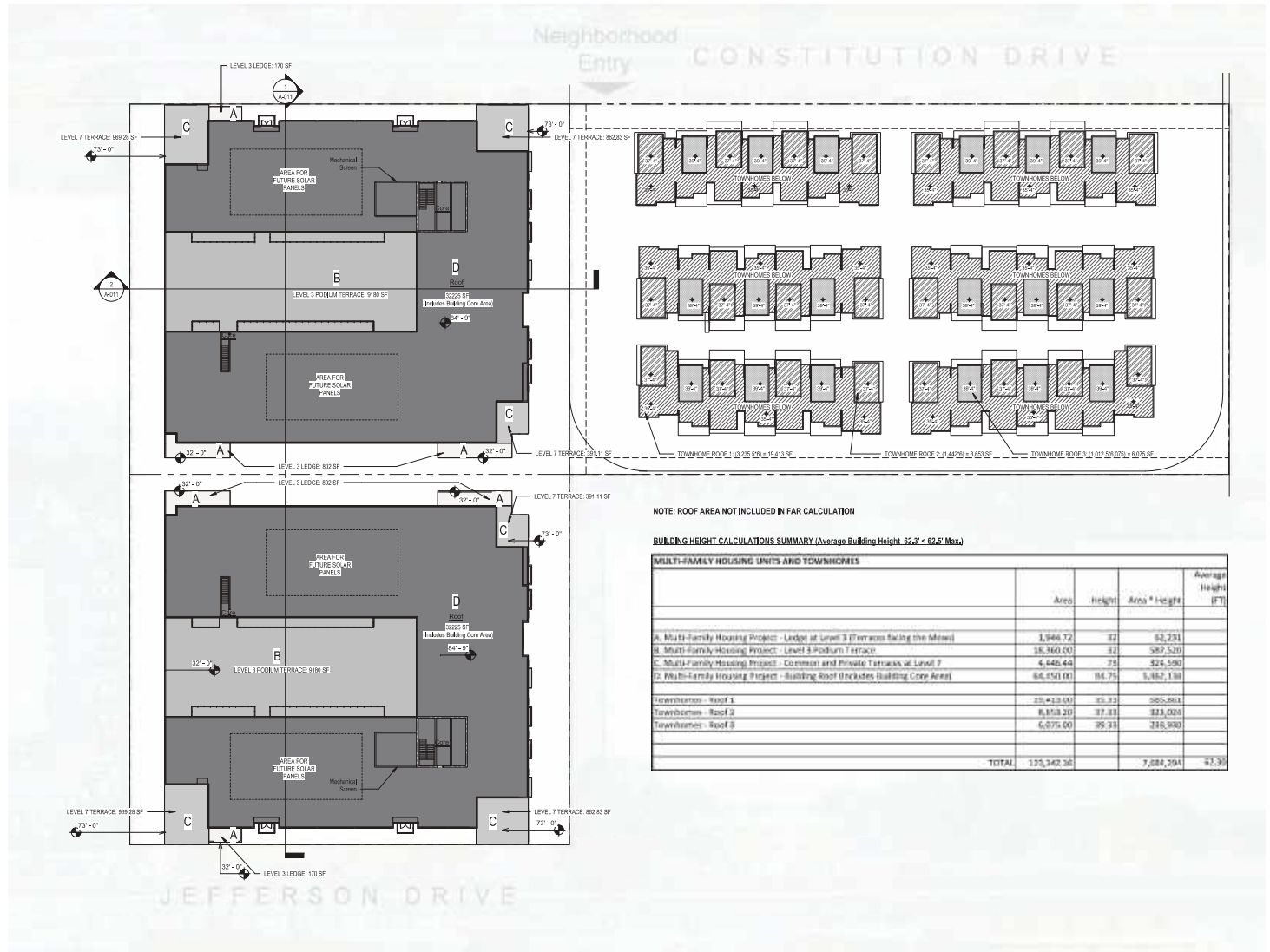
**PLAN LEGEND**

	0 Studio (FAR)
	1 Junior Bedroom (FAR)
	1 Bedroom (FAR)
	2 Bedroom (FAR)
	3 Bedroom (FAR)
	4 Bedroom (FAR)

**AREA SUMMARY LEVEL 7 (FOR IDENTIFICATION OF GFA CALCULATIONS)**

BUILDINGS	RESIDENTIAL UNITS (INCLUDED IN FAR)	BOHMEP/PG/GAS (INCLUDED IN FAR)	CORE (INCLUDED IN FAR)	CORRIDOR (INCLUDED IN FAR)	PARKING - VEHICULAR (NOT INCLUDED IN FAR)	PARKING - BKE STORAGE (NOT INCLUDED IN FAR)	RESIDENTIAL AMENITIES (INCLUDED IN FAR)	GREEN - TERRACE/PASEO (NOT INCLUDED IN FAR)
CONSTITUTION BUILDING	27,396.47 SF	343.58 SF	1,519.00 SF	2,899.22 SF	0.00 SF	0.00 SF	0.00 SF	3,596.49 SF
JEFFERSON BUILDING	27,396.47 SF	343.58 SF	1,519.00 SF	2,899.22 SF	0.00 SF	0.00 SF	0.00 SF	3,596.49 SF
<b>TOTAL</b>	<b>54,792.94 SF</b>	<b>687.17 SF</b>	<b>3,038.00 SF</b>	<b>5,798.44 SF</b>	<b>0.00 SF</b>	<b>0.00 SF</b>	<b>0.00 SF</b>	<b>7,192.98 SF</b>

NOTES - 1. REFER TO SHEET A-013 AND A-022 FOR MORE INFORMATION ON OPEN SPACE CALCULATIONS.  
 2. NO FLOOR AREA ABOVE 3<sup>RD</sup> FLOOR FOR TOWNHOMES.



**PLAN LEGEND**

- 0 Studio (FAR)
- 1 Junior Bedroom (FAR)
- 1 Bedroom (FAR)
- 2 Bedroom (FAR)
- 3 Bedroom (FAR)
- 4 Bedroom (FAR)

NOTE: ROOF AREA NOT INCLUDED IN FAR CALCULATION

BUILDING HEIGHT CALCULATIONS SUMMARY (Average Building Height: 62.3' < 62.5' Max.)

MULTI-FAMILY HOUSING UNITS AND TOWNHOMES			
	Area	Height	Average Height (FT)
A. Multi-Family Housing Project - Ledge at Level 3 (Terrace facing the Street)	1,946.72	32	62.251
B. Multi-Family Housing Project - Level 3 Podium Terrace	38,360.00	32	59.75203
C. Multi-Family Housing Project - Common and Private Terraces at Level 7	4,446.44	75	424.590
D. Multi-Family Housing Project - Building Roof (Includes Building Core Area)	84,150.00	84.75	5,162.138
Townhomes - Roof 1	33,413.84	33.33	365.8613
Townhomes - Roof 2	8,873.20	37.33	113.0205
Townhomes - Roof 3	6,075.00	35.33	216.900
<b>TOTAL</b>	<b>123,342.38</b>		<b>7,084.294</b>

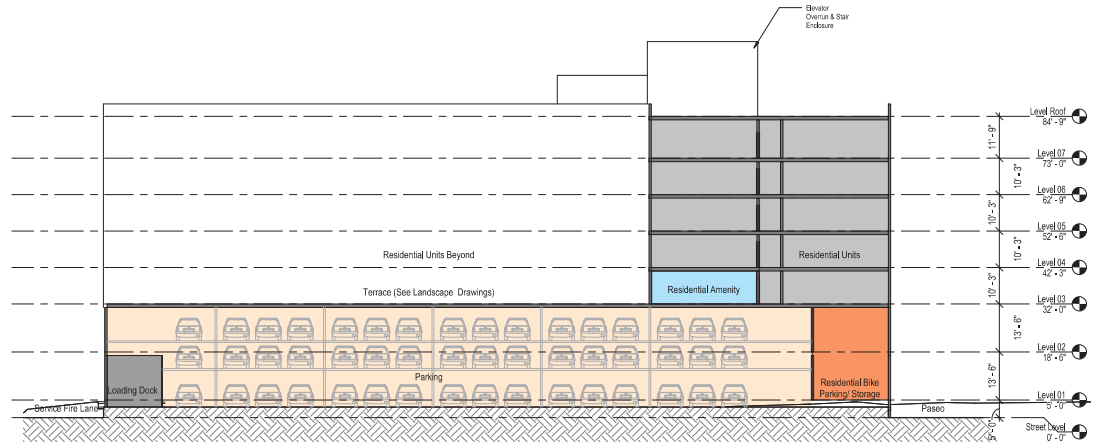


**MENLO UPTOWN HOUSING**  
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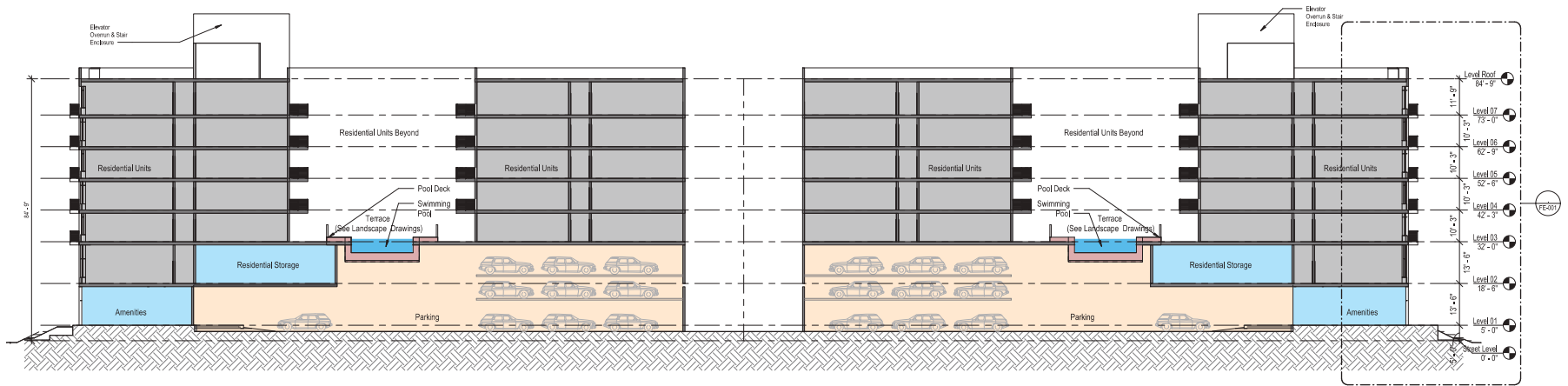
PLAN LEVEL ROOF



0 15' 30'  
**A-010**



2 WEST EAST BUILDING SECTION  
1/16" = 1'-0"



1 NORTH SOUTH BUILDING SECTION  
1/16" = 1'-0"



MENLO UPTOWN HOUSING  
MENLO PARK, CA  
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BUILDING SECTIONS

0 15' 30'

A-011





Multifamily Inspiration Image 1 - Modulation and Rhythm



Multifamily Inspiration Image 2 - Building Corner



Multifamily Inspiration Image 3 - Building Corner



Multifamily Inspiration Image 4 - Angled Facade



Multifamily Inspiration Image 5 - Projecting Bays

**Municipal Code 16.45120 (4) - Open Space:**

All development in the Residential-Mixed Use district shall provide a minimum amount of open space equal to 25% of the total lot area, with a minimum amount of publicly accessible open space equal to 25% of the total required open space area.

One hundred (100) square feet of open space per unit shall be created as common open space. In the case of a mix of private and common open space, such common open space shall be provided at a ratio equal to one and one-quarter (1.25) square feet for each one (1) square foot of private open space that is not provided.

**Project Requirements:**

25% of the total lot area (120,150) = 30,038 SF Open Space required  
100 SF of Common Open Space per unit required

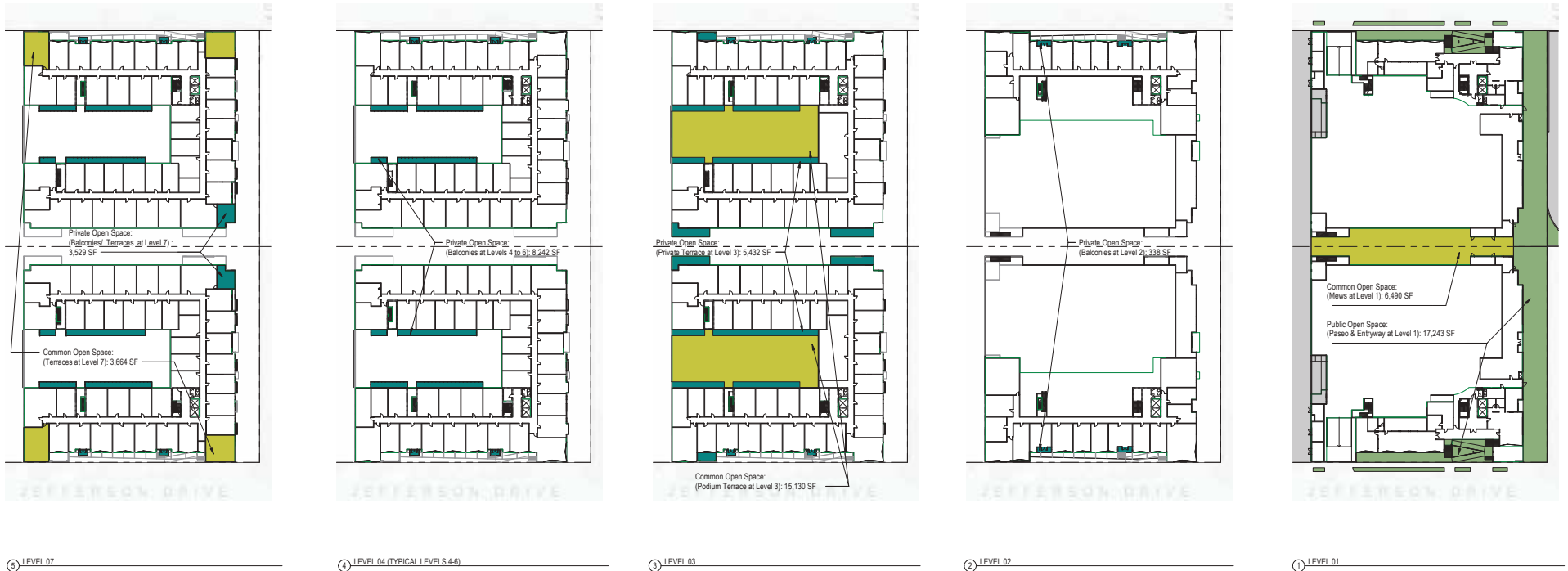
✓ **Project Compliance - Open Space:**  
60,068 SF of Open Space provided by design (49.99% of total site area)

Includes:  
Public Open Space: 17,243 SF  
Private & Common Open Space: 42,825 SF

■ PUBLIC OPEN SPACE	17,243 SF
■ PRIVATE OPEN SPACE	17,541 SF
■ COMMON OPEN SPACE	25,284 SF

✓ **Project Compliance - Common Open Space:**  
Common Open Space + Private Open Space (1.25x equivalency) = Total Common Open Space Provided  
25,284 SF + (17,541 SF \* 1.25) = 47,210 SF

47,210 SF for 441 units = 107 SF per unit  
107 SF Common Open Space/du > min.100 sf/du requirement





100% of building face (upper stories) 11,728 SF  
 Exempt building face 11,728 SF x 25% = 2,932 SF  
 Eligible building face 11,728 SF - 2,932 SF = 8,796 SF  
 Required stepback face 8,796 SF x 75% = 6,597 SF

Stepback building face provided 9,147 SF  
 9,147 SF > 6,597 SF Complies

**Municipal Code 16.45120 (2) - Minimum Stepback:**  
 10' for a minimum of 75% of the building face along public streets for the building's upper stories. A maximum of 25% of the building face along public streets may be excepted from this standard in order to provide architectural variation.

✓ **Project Compliance:**  
 Building steps back at least 10' for 75% of the building face on the upper stories

- Stepped back portion of the building
- - Base Height

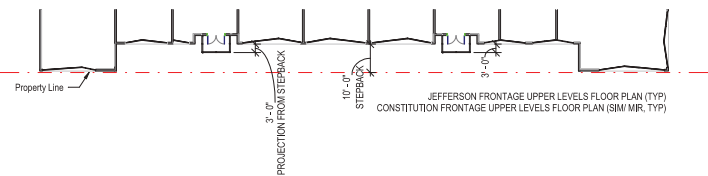


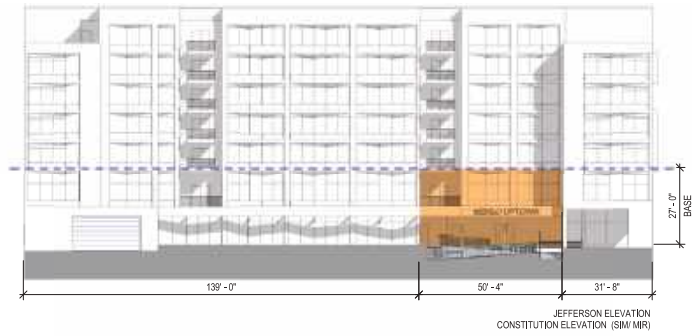
Building projection provided 453 SF

**Municipal Code 16.45120 (2) - Building Projections:**  
 Maximum 6' from the required stepback for portions of the building above the ground floor

✓ **Project Compliance:**  
 All building projections are within 6' from required stepback

- Building projection beyond required stepback
- - Ground level height

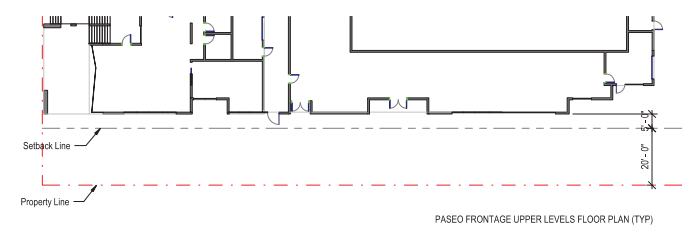
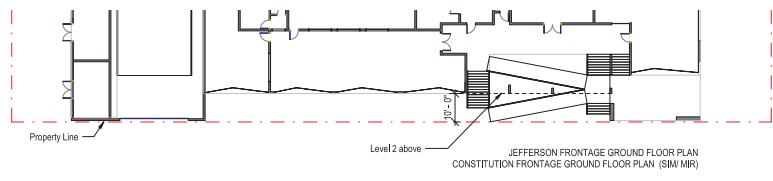


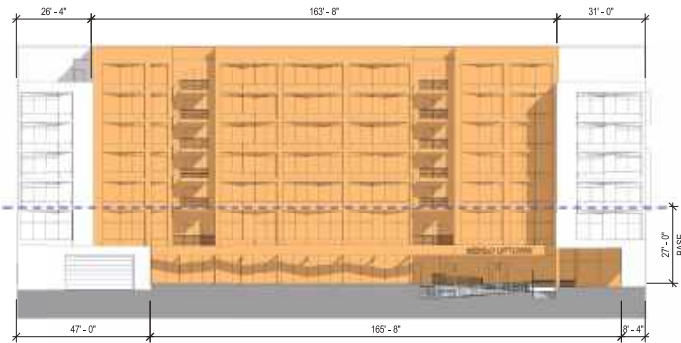


**Municipal Code 16.45120 (2) - Major Building Modulations:**  
Minimum one recess of 15' wide by 10' deep per 200' of facade length facing publicly accessible spaces (streets, open space, and paseos) applicable from the ground level to the top of the buildings' base height.

✓ **Project Compliance:**  
At least one major building recess provided every 200' of facade on Jefferson and Constitution elevations; Not applicable for paseo elevation since the facade length is less than 200'

- Major building recess
- Base height

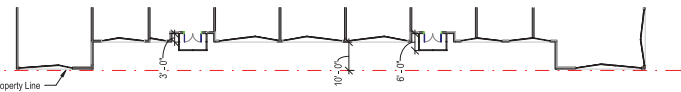




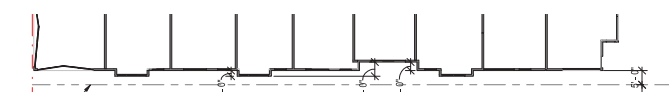
JEFFERSON ELEVATION  
CONSTITUTION ELEVATION (SIM/ M/R)



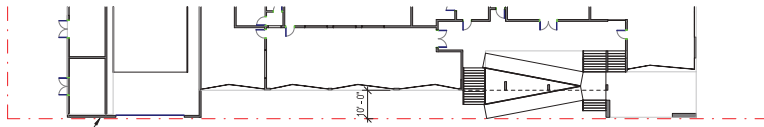
PASEO ELEVATION



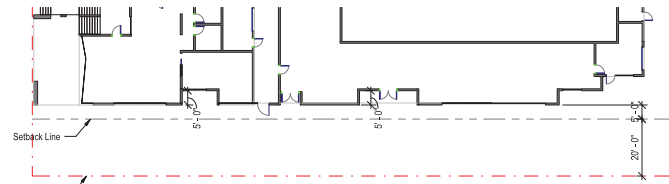
JEFFERSON FRONTAGE UPPER LEVELS FLOOR PLAN (TYP)  
CONSTITUTION FRONTAGE UPPER LEVELS FLOOR PLAN (SIM/ M/R, TYP)



PASEO FRONTAGE UPPER LEVELS FLOOR PLAN (TYP)



JEFFERSON FRONTAGE GROUND FLOOR PLAN  
CONSTITUTION FRONTAGE GROUND FLOOR PLAN (SIM/ M/R)



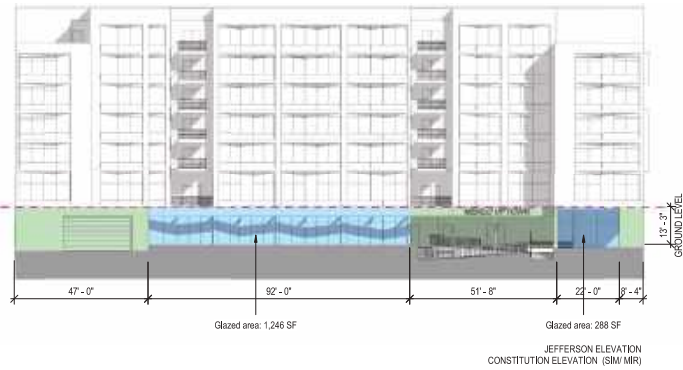
PASEO FRONTAGE GROUND FLOOR PLAN

**Municipal Code 16.45120 (2) - Minor Building Modulations:**  
Minimum recess of 5' wide by 5' deep per 50' of façade length facing publicly accessible spaces (streets, open space, and paseos).

Building projections spaced no more than 50' apart with a minimum of 3' depth and 5' width may satisfy this requirement in lieu of a recess.

✓ **Project Compliance:**  
At least one minor building recess or building projection provided every 50' of façade

- Minor building recess
- Building projections
- Base height



Ground level facade surface 3,068 SF  
 Minimum required transparent glazing surface 3,068 SF x 30% = 920 SF

Opaque surface provided 1,534 SF  
 Transparent glazing surface provided 1,534 SF  
 1,534 SF > 920 SF Complies



Ground level facade surface 2,457 SF  
 Minimum required transparent glazing surface 2,457 SF x 30% = 737 SF

Opaque surface provided 1,599 SF  
 Transparent glazing surface provided 858 SF  
 858 SF > 737 SF Complies

**Municipal Code 16.45120 (3) - Ground Floor Transparency:**  
 Minimum 30% for residential uses of the ground floor façade that must provide visual transparency

✓ **Project Compliance:**  
 Transparent glazing exceeds 30% of the ground floor facade.

- Ground level transparent glazing surface
- Ground level opaque surface
- Ground level height



**Municipal Code 16.45120 (3) - Minimum Ground Floor Height Along Street Frontage:**  
 10' for residential uses

✓ **Project Compliance:**  
 The ground level is 13'-6".

- Ground level
- Ground level height



JEFFERSON ELEVATION  
CONSTITUTION ELEVATION (SIM/MR)

**Municipal Code 16.45120 (3) -  
Garage Entrances:**  
Maximum 24' opening for two-way  
entrance

✓ **Project Compliance:**  
A 24' opening for two-way vehicular  
entrance is provided on Jefferson and  
Constitution.

■ Garage opening



JEFFERSON ELEVATION  
CONSTITUTION ELEVATION (SIM/MR)

**Municipal Code 16.45120 (3) -  
Building Entrances:**  
One entrance every 100' of building  
length along a public street or paseo.

✓ **Project Compliance:**  
At least one entrance is provided every  
100'.

■ Building entrance



PASEO ELEVATION



JEFFERSON ELEVATION  
CONSTITUTION ELEVATION (SIM/ M/R)

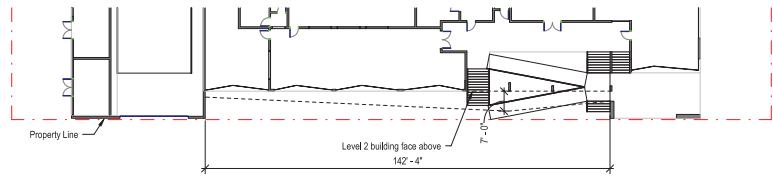


PASEO ELEVATION

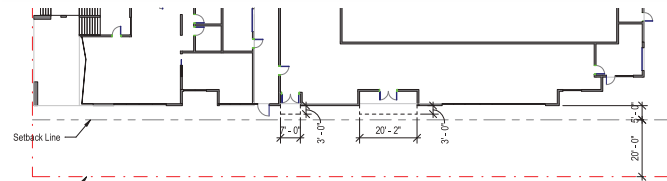
**Municipal Code 16.45120 (3) -  
Awnings, Signs, and Canopies:**  
Maximum 7' horizontal projection

- ✓ **Project Compliance:**  
All awnings and canopies project less than 7' horizontally from face of building. A minimum vertical clearance of 8' from finished grade to the bottom of the projection is required.

■ Projecting awning and canopy

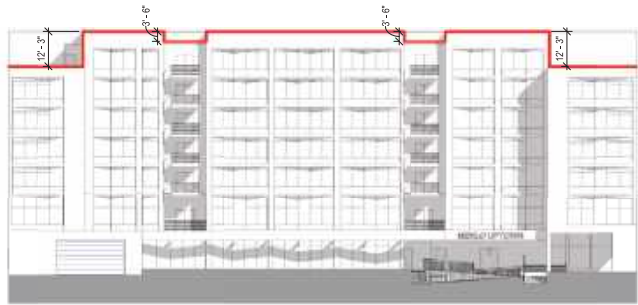


JEFFERSON FRONTAGE GROUND FLOOR PLAN  
CONSTITUTION FRONTAGE GROUND FLOOR PLAN (SIM/ M/R)



PASEO FRONTAGE GROUND FLOOR PLAN





JEFFERSON ELEVATION  
CONSTITUTION ELEVATION (SIM/MR)



PASEO ELEVATION

**Municipal Code 16.45120 (6) - Roof Line:**  
Roof lines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break visual monotony and create a visually interesting skyline as seen from public streets.

✓ **Project Compliance:**  
Roof line varies across the building, including a four-foot minimum height modulation.

— Roof line



Townhouse Inspiration image 3.



Townhouse Inspiration image 2.



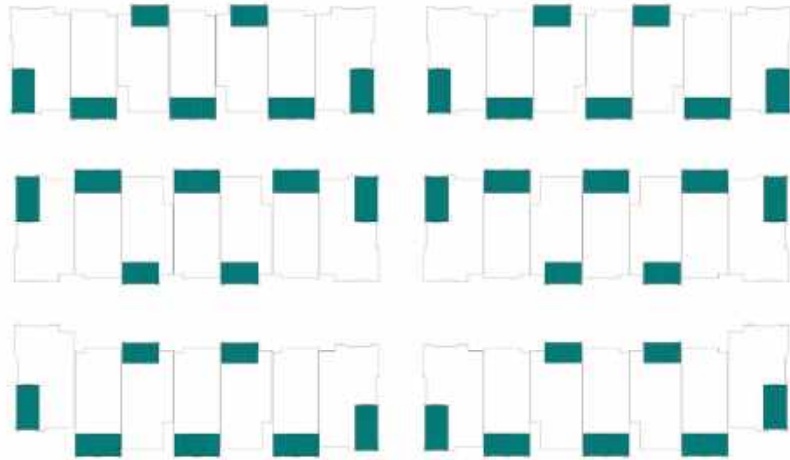
Townhouse Inspiration image 5.



Townhouse Inspiration image 4.



Townhouse Inspiration image 1.



LEVEL 2

**Municipal Code 16.45.120 (4)**

**Open Space:**

All Development in the Residential- Mixed Use district shall provide a minimum amount of open space equal to 25% of the total lot area, with a minimum amount of publicly accessible open space equal to 25% of the total required open space area.

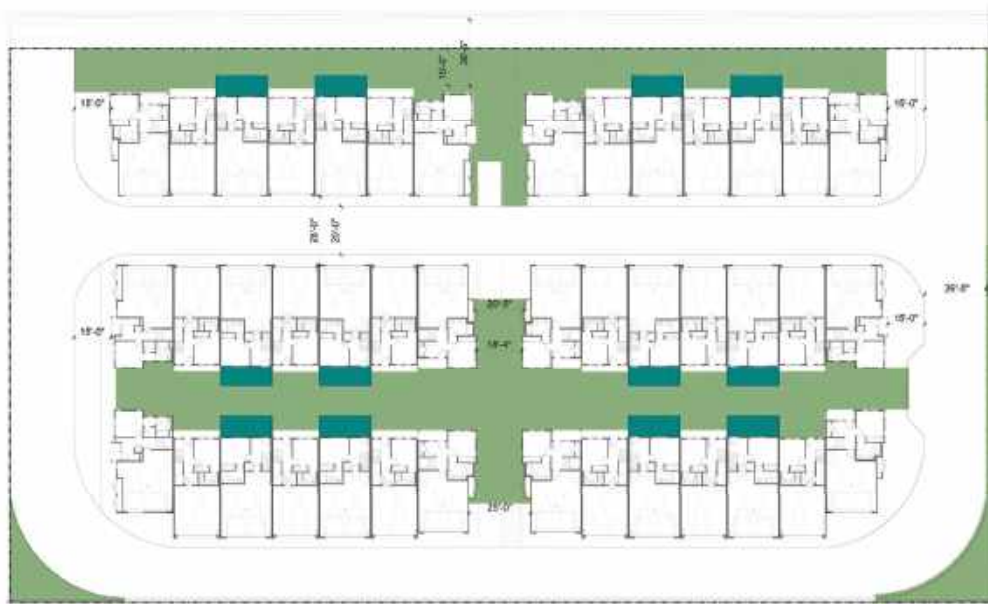
**Project Requirement**

25% of the total area (90,113SF) = 22,528 SF open space required



**Project Compliance**

26% total area (23,656 SF) provided including:  
 Public Open Space: 15,496 SF  
 (Common: 4,468 SF + Landscape: 11,028 SF)  
 Private Open Space: 8,160 SF  
 (Ground: 1,920 SF + 2nd Floor: 6,240 SF)



LEVEL 1

45' base height (per 16.45.120 (2A))



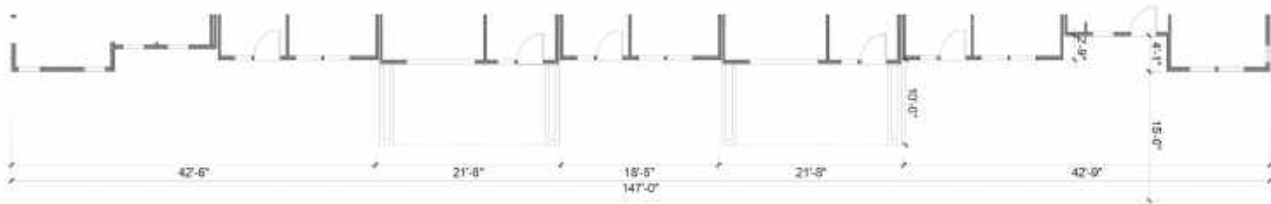
Typical Front Elevation

**Municipal Code 16.45.120 (2)**  
**Minimum Stepback above the base height of 45 ft:**  
 10 % for a minimum of 75% of the building face along public streets for buildings upper stories

✓ **Project Compliance:**  
 Building is below the 45' base height stepback definition; standard does not apply

**Municipal Code 16.45.120 (2)**  
**Building Projections:**  
 Maximum 6' from the required stepback

✓ **Project Compliance:**  
 All building projections are within 6' from required stepback



Typical Partial Building Plan

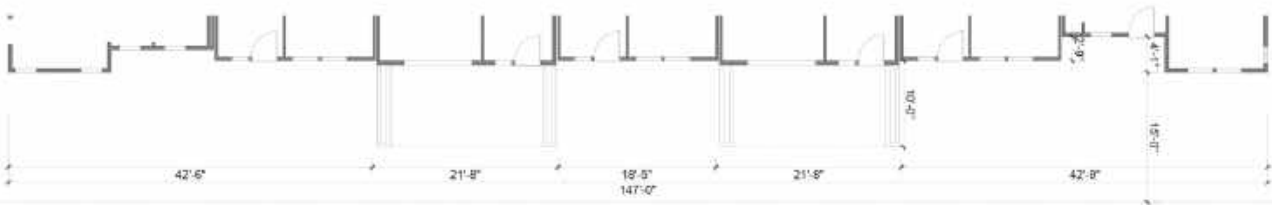


Typical Front Elevation

**Municipal Code 16.45.120 (2)**  
**Minor Building Modulations:**  
 Minimum one recess of 5' wide by 5' deep per 50' of façade length

✓ **Project Compliance:**  
 At least one minor building recess provided every 50' of façade

Minor building modulation delineation  
 Building Projections



Typical Partial Building Plan



Typical Glazing at Front Elevation

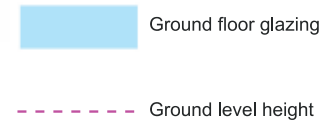
36 sq. ft. 16.3 sq. ft. 12.5 sq. ft. 36 sq. ft. 32.3 sq. ft. 32.3 sq. ft. 64 sq. ft. 36 sq. ft. 32.3 sq. ft. 32.3 sq. ft. 64 sq. ft. 36 sq. ft. 32.3 sq. ft. 15 sq. ft. 15 sq. ft. 15 sq. ft. 15 sq. ft.

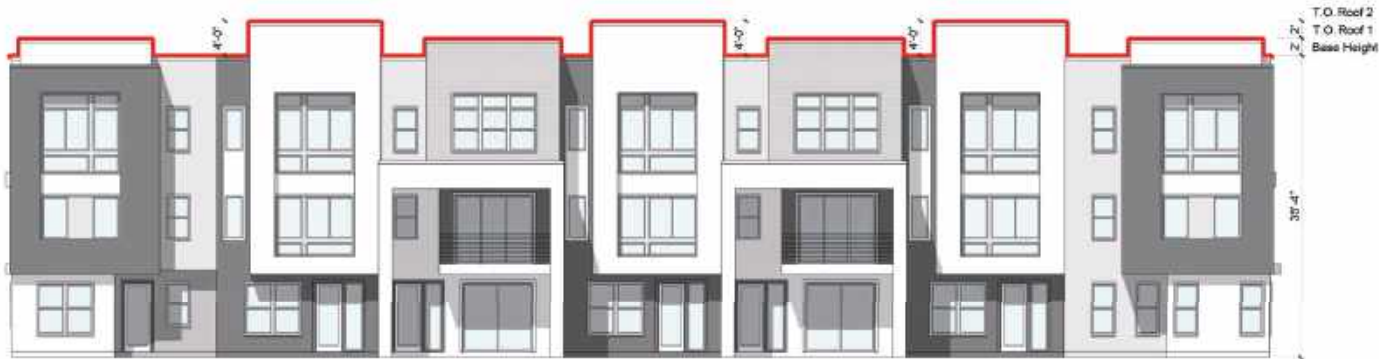
Ground floor level facade area 1,325.25 SF  
 Minimum required glazing area 1,325.25 SF = 398 SF  
 Transparent glazing provided 522.25 SF

522.25 SF > 398 SF Complies

**Municipal Code 16.45.120 (3)**  
**Ground Floor Transparency:**  
 Minimum 30% for residential uses of the ground floor façade that must provide visual transparency

✓ **Project Compliance:**  
 Transparent glazing exceeds 30% of the ground floor facade





Typical Front Elevation

**Municipal Code 16.45.120(6)**

**Roof Line:**

Roof lines and eaves adjacent to street-facing facades shall vary across a building, including a four foot minimum height modulation to break visual monotony and create a visually interesting skyline as seen from public streets

✓ **Project Compliance:**  
 Roof line varies across the building, including a four-foot minimum height modulation

— Roof line



GREYSTAR

HM  
HALLER MARSH

BKF 100  
YEARS

PGAdesign  
LANDSCAPE ARCHITECTS

ktgy

MENLO UPTOWN HOUSING  
MENLO PARK, CA  
01-16-19

PROJECT VIEW – VIEW ON JEFFERSON  
LOOKING NORTH

A-027





GREYSTAR

HM  
HALLER MORRIS

BKF 100  
YEARS

PGAdesign  
LANDSCAPE ARCHITECTS

kitgy

MENLO UPTOWN HOUSING  
MENLO PARK, CA  
01-16-19

PROJECT VIEW -VIEW ON JEFFERSON  
LOOKING WEST

A-028



GREYSTAR

HM  
HELAND MARRIOTT

BKF 100  
YEARS

PGAdesign  
LANDSCAPE ARCHITECTS

kitgy

MENLO UPTOWN HOUSING  
MENLO PARK, CA  
01-16-19

PROJECT VIEW – VIEW ON CONSTITUTION  
LOOKING WEST

A-029



CONSTITUTION

PASEO

GREYSTAR

HM  
HALLER MORRIS

BKF 100  
YEARS

PGAdesign  
LANDSCAPE ARCHITECTS

kitgy

MENLO UPTOWN HOUSING  
MENLO PARK, CA  
01-17-19

PROJECT VIEW – VIEW FROM  
CONSTITUTION LOOKING SOUTH

A-030



GREYSTAR

HM  
HALLER MORRIS

BKF 100  
YEARS

PGAdesign  
LANDSCAPE ARCHITECTS

kitgy

MENLO UPTOWN HOUSING  
MENLO PARK, CA  
01-17-19

PROJECT VIEW -VIEW ON PASEO  
LOOKING SOUTH

A-031



**STREET TREE AT JEFFERSON ST**



**STREET TREE AT CONSTITUTION ST**



**DOG RUN TREES**

*Gleditsia triacanthos* "Princeton Sentry" (Dog Run)



**PASEO TREES**

*Acer rubrum* (Red Maple)

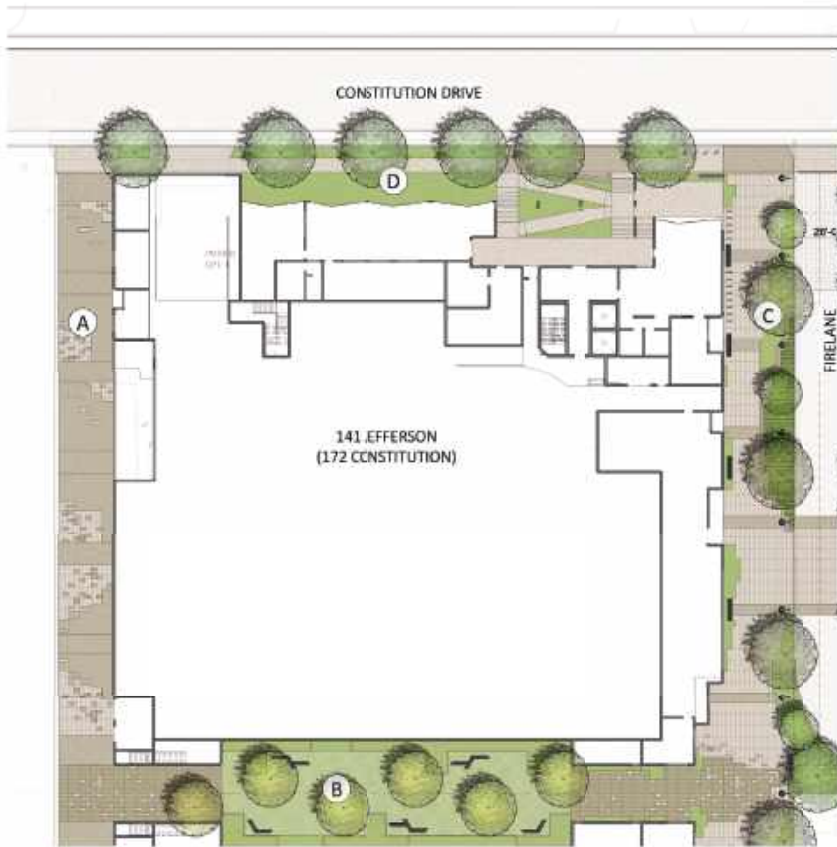


*Quercus virginiana* (Southern Live Oak)



**PLANTING - UNDERSTORY**





**KEY NOTES**

- A. EVA DRIVEWAY: A FLEXIBLE USE SPACE WITH ACCENT PAVING.
- B. THE MEWS: ARTIFICIAL TURF DOG PLAY AREA WITH DOG FITNESS EQUIPMENT, TREES IN SILVA CELLS FOR STORMWATER TREATMENT.
- C. PASEO: PUBLIC ACCESS PASEO BETWEEN JEFFERSON AND CONSTITUTION. VARIED WIDTH PATH FROM 10' TO 14' WIDE, WITH PLANTING AREAS, TREES IN SILVA CELLS FOR STORMWATER TREATMENT, & SEATING ZONES WITH BENCHES & BIKE RACKS.
- D. STREET FRONTAGE: ENHANCED WITH STREET TREES AND PLANTING BUFFER BETWEEN SIDEWALK AND STREET.

**EVA & PASEO PAVING CONCEPT**



**PASEO LANDSCAPE PLANTING & PAVING**



**BENCHES AT THE MEWS**



**BENCHES AT PASEO**



**BIKE RACKS**



**TRASH RECEPTACLE**





**KEY NOTES**

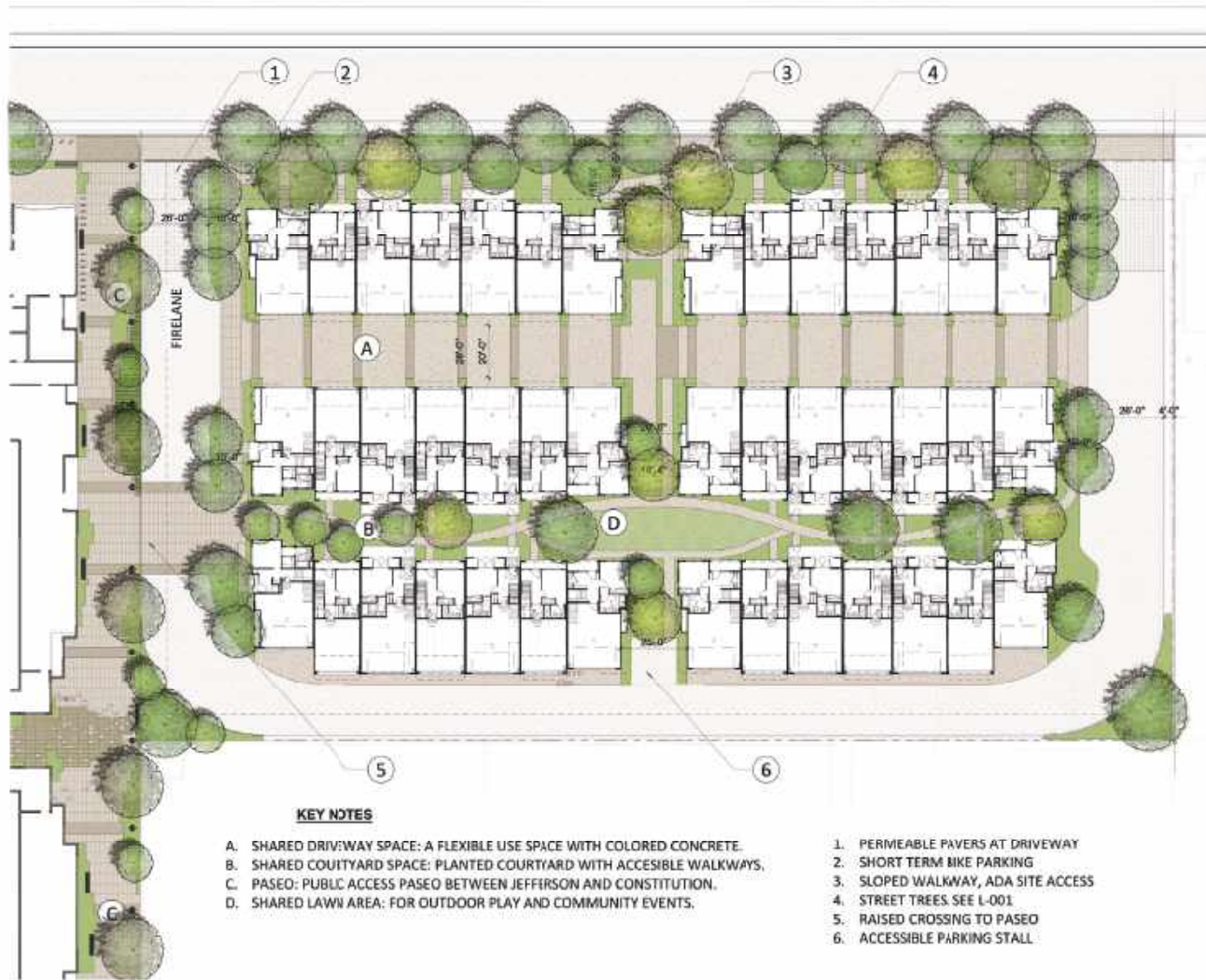
- |   |  |
|---|--|
| <p>A. EVA DRIVEWAY: A FLEXIBLE USE SPACE WITH ACCENT PAVING.</p> <p>B. THE MEWS: ARTIFICIAL TURF DOG PLAY AREA WITH DOG FITNESS EQUIPMENT, TREES IN SILVA CELLS FOR STORMWATER TREATMENT.</p> <p>C. PASEO: PUBLIC ACCESS PASEO BETWEEN JEFFERSON AND CONSTITUTION. VARIED WIDTH PATH FROM 10' TO 14' WDE, WITH PLANTING AREAS, TREES IN SILVA CELLS FOR STORMWATER TREATMENT, &amp; SEATING ZONES WITH BENCHES &amp; BIKE RACKS.</p> <p>D. STREET FRONTAGE: ENHANCED WITH STREET TREES AND PLANTING BUFFER BETWEEN SIDEWALK AND STREET.</p> | <p>1. GARAGE ENTRY/EXIT.</p> <p>2. PROPOSED BIKE LANE</p> <p>3. MAIN ENTRY TO BUILDING</p> <p>4. SHORT TERM BIKE PARKING</p> <p>5. SMALL CANOPY SHADE TREES</p> <p>6. PEDESTRIAN LIGHTING, 36" O.C.</p> <p>7. SEATING AREA WITH SITE FURNISHINGS</p> |
|---|--|

**MAIN ENTRY RAMP & STAIR PRECEDENT IMAGE**



**THE MEWS FEATURES & ARTIFICIAL TURF**





SHARED DRIVEWAY SPACE



SHARED COURTYARD SPACE



SHARED LAWN AREA







PLANTER WALL TYPES



PLANTS AT PODIUM LEVEL





OUTDOOR SCREENS



OUTDOOR KITCHEN



POOL



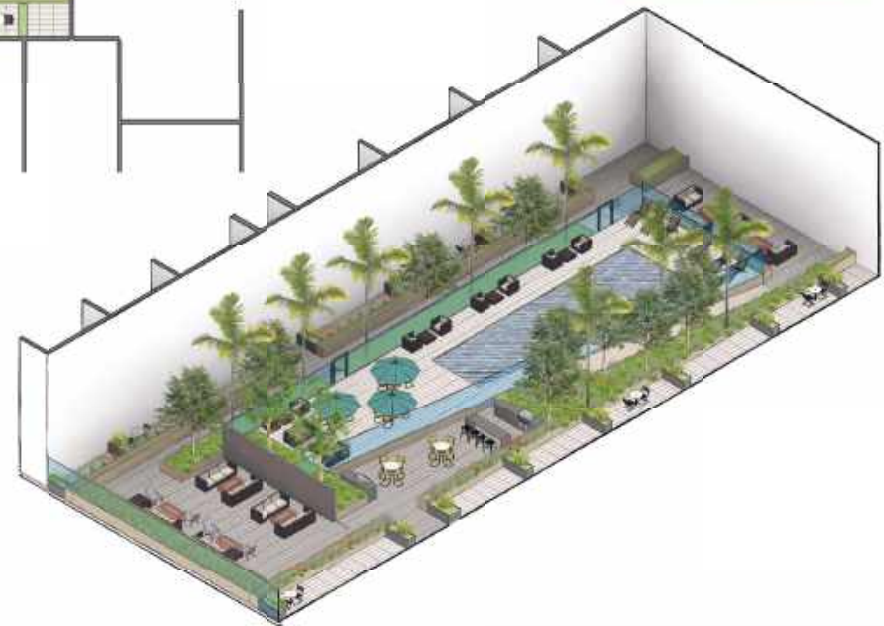
**KEY NOTES**

- A. POOL WITH POOL DECK
- B. SOCIAL AREA WITH FIRE PIT
- C. OUTDOOR LIVING ROOM
- D. OUTDOOR KITCHEN AND DINING AREA
- E. PRIVATE PATIO

**SEATING**



**FIRE PITS**



GREYSTAR

HM  
HOLLER HANCOCK

BKI 100 YEARS

PGAdesign  
LANDSCAPE ARCHITECTS

ktgy  
ARCHITECTURE & PLANNING

MENLO UPTOWN HOUSING  
MENLO PARK, CA  
01-16-19

LANDSCAPE PLAN LEVEL 3 -  
ENLARGEMENT NORTH COURTYARD



0 15 30'  
L-006



POOL & CABANA



OUTDOOR KITCHEN



**KEY NOTES**

- A. POOL WITH POOL DECK
- B. SOCIAL AREA WITH FIRE PIT
- C. OUTDOOR LIVING ROOM
- D. OUTDOOR KITCHEN AND DINING AREA
- E. PRIVATE PATIO

**FIRE PITS**



**SEATING**



GREYSTAR

HM  
HOLLER MANDE

BKI 100  
YEARS

PGAdesign  
LANDSCAPE ARCHITECTS

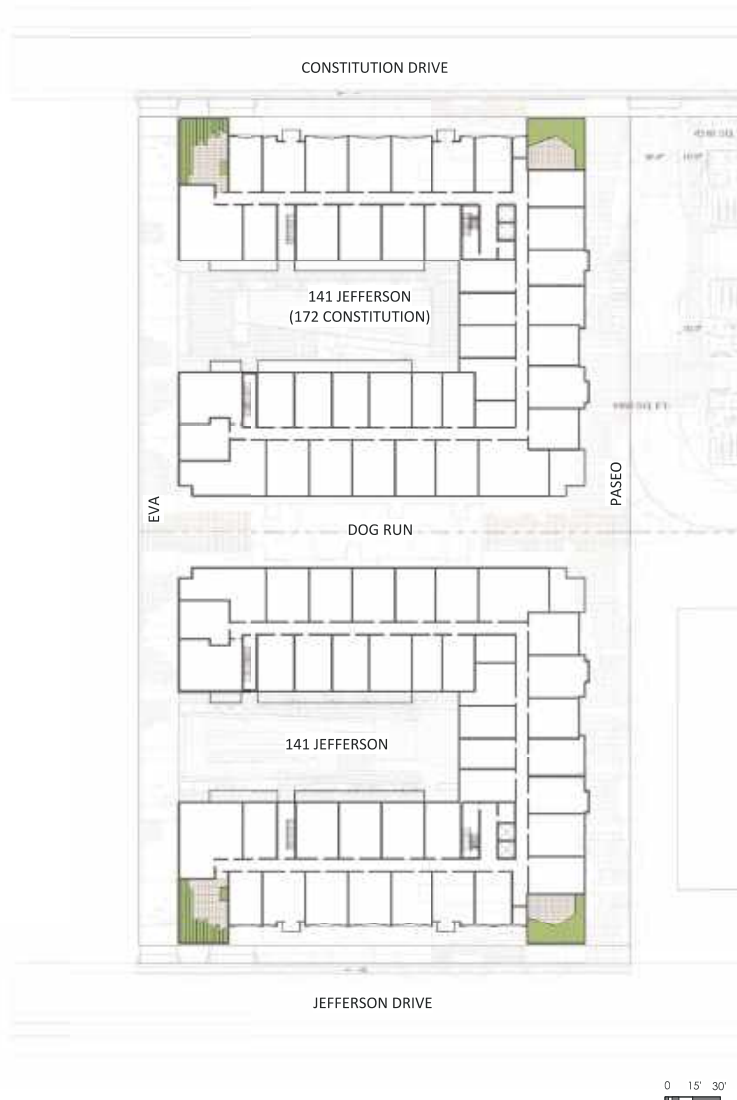
ktgy  
ARCHITECTURE & PLANNING

MENLO UPTOWN HOUSING  
MENLO PARK, CA  
01-16-19

LANDSCAPE PLAN LEVEL 3 -  
ENLARGEMENT SOUTH COURTYARD



0 5 10  
L-007



ROOF DECK PLAN ENLARGEMENTS



ROOF DECK PRECEDENT IMAGES



GREYSTAR

HM  
MULLER HANDE

BKF100  
YEARS

PGAdesign  
LANDSCAPE ARCHITECTS

kitgy

MENLO UPTOWN HOUSING  
MENLO PARK, CA  
01-16-19

LANDSCAPE PLAN LEVEL 7 - ROOF DECK



L-008

A.L.T.A. / N.S.P.S. LAND TITLE SURVEY

TITLE REPORT EXCEPTIONS:

- 141 JEFFERSON DRIVE
THE FOLLOWING EXCEPTIONS HAVE BEEN MADE TO THIS REPORT...
1. THE USE OF SURVEILING TAPES...

186 CONSTITUTION DRIVE

- THE FOLLOWING EXCEPTIONS HAVE BEEN MADE TO THIS REPORT...
1. THE USE OF SURVEILING TAPES...

186 CONSTITUTION DRIVE

- THE FOLLOWING EXCEPTIONS HAVE BEEN MADE TO THIS REPORT...
1. THE USE OF SURVEILING TAPES...

LEGAL DESCRIPTIONS:

- 141 JEFFERSON DRIVE
SUB-PROJECT FOR LOT 11 OF LOTS 10 AND 11, COUNTY OF SAN MATEO, STATE OF CALIFORNIA...
186 CONSTITUTION DRIVE
SUB-PROJECT FOR LOT 11 OF LOTS 10 AND 11, COUNTY OF SAN MATEO, STATE OF CALIFORNIA...



Table with 7 columns: PARCEL NUMBER, MEASUREMENT, COUNTY, AREA OF PARCEL, AREA OF SITE, TOTAL AREA, and CITY AREA.

LEGAL DESCRIPTION:
SUB-PROJECT FOR LOT 11 OF LOTS 10 AND 11, COUNTY OF SAN MATEO, STATE OF CALIFORNIA...
VOLUME 10, PAGE 110 OF MAPS OF THIS COUNTY.

- 1. THE BOUNDARY CORNER IS...
2. THE BOUNDARY CORNER IS...
3. THE BOUNDARY CORNER IS...

NOTICE:
THE SURVEYOR HAS REVIEWED THIS SURVEY AND...
CITY OF SAN MATEO, CALIFORNIA.

141 JEFFERSON DRIVE / 186 CONSTITUTION DRIVE
A.L.T.A./N.S.P.S. LAND TITLE SURVEY
COUNTY OF SAN MATEO, CALIFORNIA
CITY OF SAN MATEO, CALIFORNIA

Vertical sidebar containing BKF logo, project title, county/city names, and a small table at the bottom with 'ALTA' and page numbers.

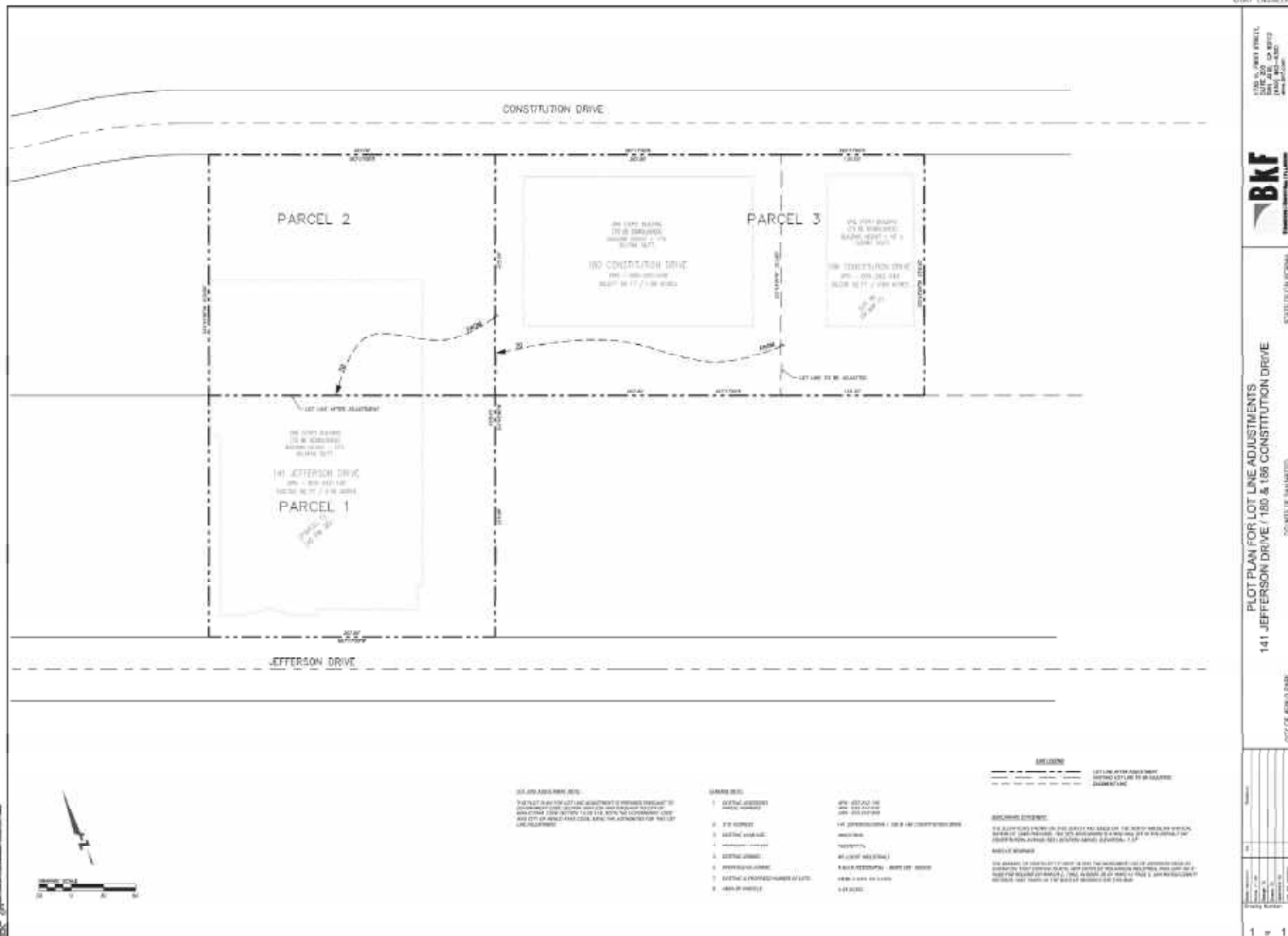


MENLO UPTOWN HOUSING
MENLO PARK, CA
01-16-19

ALTA SURVEY

C-001





© BKF ENGINEERS

USE 5.000 SHEET  
 DATE 01-16-19  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]

**BKF**  
 ENGINEERS ARCHITECTS

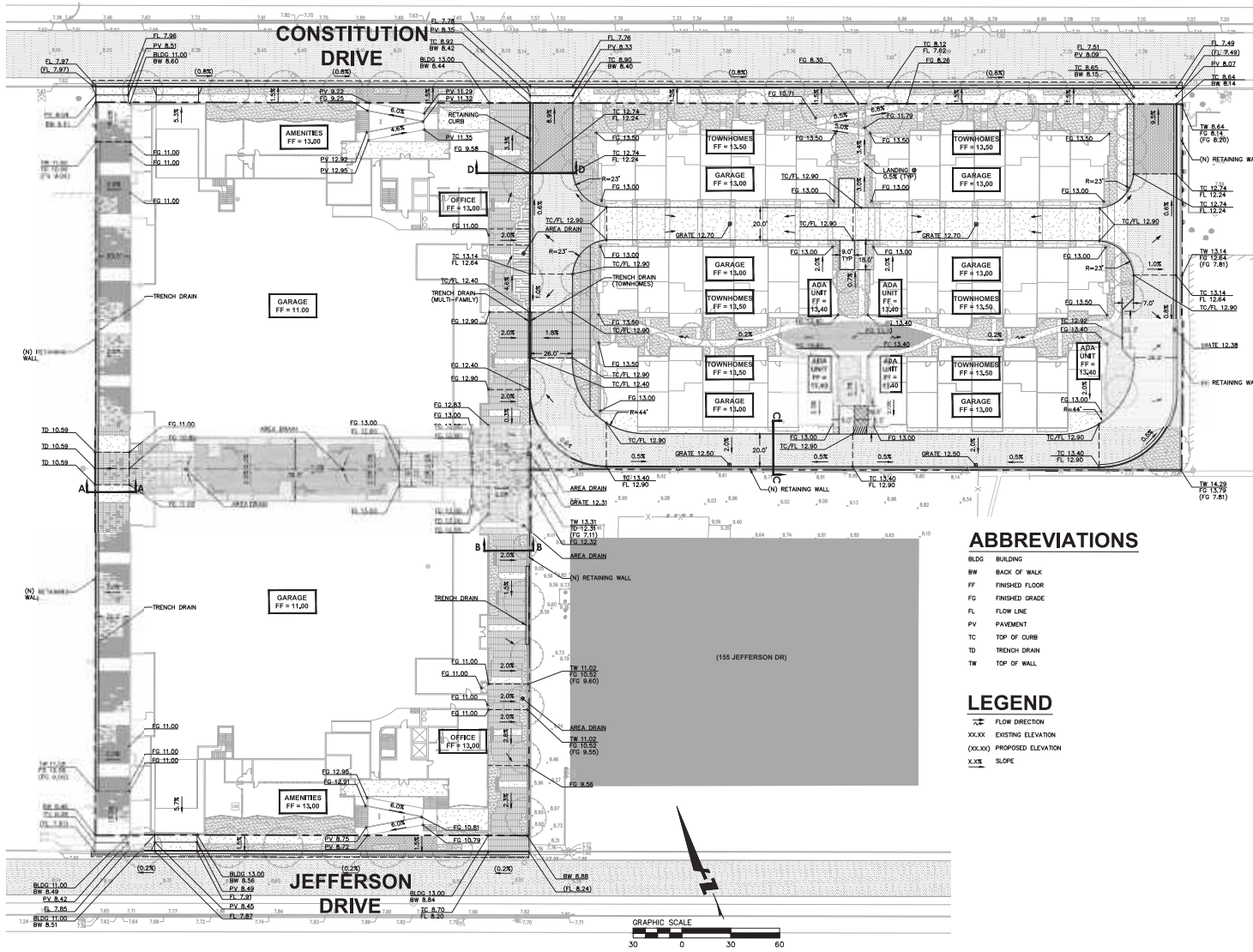
STATE OF CALIFORNIA

**PLOT PLAN FOR LOT LINE ADJUSTMENTS**  
**141 JEFFERSON DRIVE / 180 & 186 CONSTITUTION DRIVE**

COUNTY OF SAN MATEO

CITY OF MENLO PARK

1	1
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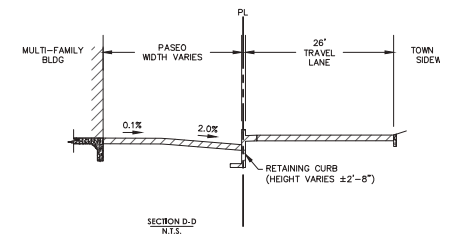
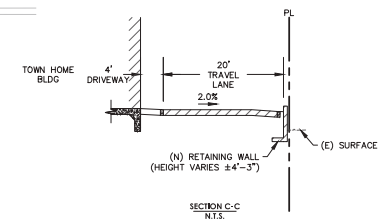
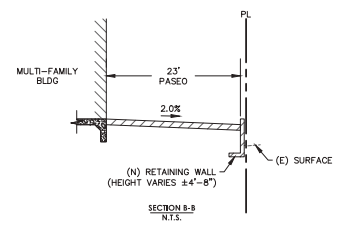
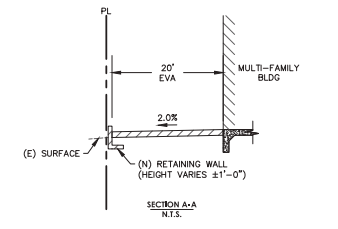


**ABBREVIATIONS**

- BLDG BUILDING
- BW BACK OF WALK
- FF FINISHED FLOOR
- FG FINISHED GRADE
- FL FLOW LINE
- PV PAVEMENT
- TC TOP OF CURB
- TD TRENCH DRAIN
- TW TOP OF WALL

**LEGEND**

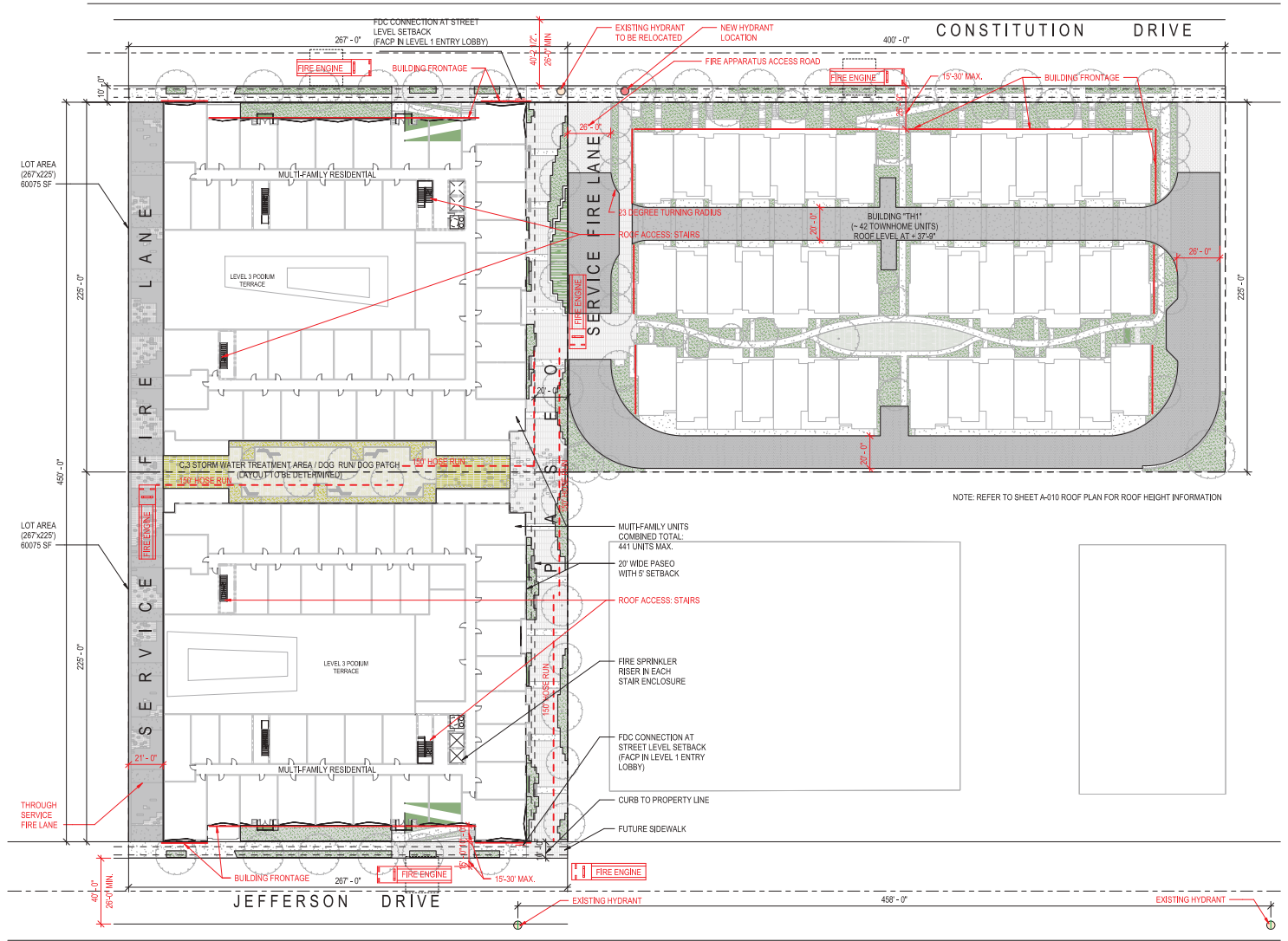
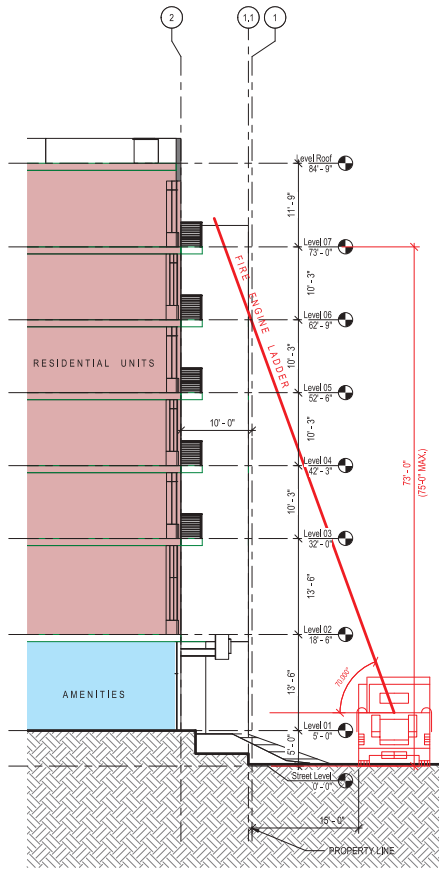
- FLOW DIRECTION
- XX.XX EXISTING ELEVATION
- (XX.XX) PROPOSED ELEVATION
- X.X% SLOPE



GREYSTAR | HM | BKF100 | PGAdesign | kitgy

**MENLO UPTOWN HOUSING**  
 MENLO PARK, CA  
 01-16-19





GREYSTAR

HM  
HEALTHY MARKETS

BKF100  
YEARS

PGAdesign  
LANDSCAPE ARCHITECTS

kitgy

MENLO UPTOWN HOUSING  
MENLO PARK, CA  
01-16-19

SITE PLAN - FIRE EXHIBIT



0 15' 30'  
FE-001



## STAFF REPORT

### Planning Commission

**Meeting Date:** 2/25/2019

**Staff Report Number:** 19-014-PC

**Regular Business:** 2018 Annual Progress Report on the Status and Progress in Implementing the City's Housing Element

### Recommendation

Staff recommends that the Planning Commission consider the report and recommend that the City Council accept the 2018 Housing Element Annual Progress (APR) Report.

### Policy Issues

The preparation and submittal of the APR to the state Housing and Community Development Department (HCD) and Governor's Office of Planning and Research (OPR) is required by State law pursuant to Government Code Section 65400. The Annual Report documents past housing-related activities and may identify the timing of upcoming activities, but does not authorize the implementation of programs or expenditure of funds.

### Background

Every city and county in California are required to prepare an annual report on the status and progress of implementing the jurisdiction's Housing Element of the General Plan using forms and definitions adopted by the HCD. This year, the APR forms have been updated to incorporate new data requirements pursuant to Assembly Bill 879 and Senate Bill 35. The APR is due annually by April 1 for the calendar year immediately preceding the April 1 reporting deadline. Therefore, this year's report evaluates the status of the implementation programs and housing production for the time period between January 1 and December 31, 2018.

At the Planning Commission meeting, Commissioners and the public will have an opportunity to provide comments on the APR. The Housing Commission will also be reviewing the APR at its March 6<sup>th</sup> meeting. The Planning Commission's and Housing Commission's comments will be forwarded to the City Council for its review at the March 26, 2019 meeting.

### Analysis

Attachment A includes the 2018 APR. The APR includes a status update of the Housing Element's implementation programs and an inventory of housing applications and production in the City for the 2018 calendar year. This staff report highlights several key accomplishments in 2018 and work items that will be continued in 2019, in more detail below. The APR is a reporting document that reflects on the past year's

efforts, and is not intended to establish work priorities for staff. Through the Council's goal setting session, priorities are set for the upcoming year. The Council is scheduled to discuss its Work Plan and project priorities at its February 26, 2019 meeting.

### ***Implementation Programs***

#### **Below Market Rate (BMR) Ordinance and Guidelines Update**

The City's Housing Element includes program H.4.B, which is to implement inclusionary housing requirements to assist in providing affordable housing in Menlo Park. In April 2018, in response to changes in state law (AB 1505), the City Council adopted an ordinance and updates to the BMR Guidelines to restore the City's inclusionary housing policy for rental projects and to allow the Council to approve BMR housing with a range of affordability levels to meet unmet Housing Element need. At the same time, the Council also adopted amendments to the City's State Density Bonus law to conform to recent State updates. The update to the BMR housing ordinance furthers the city's affordable housing goals by allowing the City of Menlo Park to again apply inclusionary requirements on rental housing as a condition of development. Subsequently, the Council adopted modifications to the community amenities requirement in the R-MU-B zoning district. The Council removed the requirement for 15 percent affordable housing as a required community amenity in response to the City's new inclusionary zoning requirement, which was not in effect for rental housing at the time of adoption of the R-MU zoning district.

Furthermore in June 2018, the Council adopted a second set of changes to address six different topics in the BMR Guidelines: 1) definition of household, 2) how to address over-income tenants, 3) align City BMR household income and maximum rent limits with San Mateo County, 4) memorialize the City's current practice of maintaining a BMR Rental Interest List, 5) address displaced tenants, and 6) standalone BMR project on the same lot as a market rate project with Council approval. The changes provide clarity and document practices in application of the BMR Guidelines.

In addition to inclusionary zoning for residential projects, the City's BMR Ordinance applies to commercial developments of 10,000 square feet of gross floor area or more. The fee varies by use and is adjusted annually on July 1. In April 2018, the Housing Commission recommended that the City Council adopt updated commercial linkage fees based upon a nexus study that was prepared in collaboration with other jurisdictions in San Mateo County through 21 Elements. The Housing Commission's work to review and make a recommendation on the BMR Nexus Study is in support of Housing Element program H4.D. The City Council has yet to take action on the commercial linkage fee update, but it is anticipated to be reviewed in 2019.

#### **Anti-Discrimination Ordinance**

Housing Element Program H1.G (Adopt an Anti-Discrimination Ordinance) calls for the City to adopt an anti-discrimination ordinance to prohibit discrimination based on the source of a person's income. In August 2018, the Council adopted an anti-discrimination ordinance, which establishes a right of tenants to be free from discrimination based on a person's income or their use of a rental subsidy, including Section 8 vouchers. The ordinance would prohibit discrimination based on the source of income, wholly or partially, in any real property transaction, including rental of a unit.

### Funding Affordable Housing

The primary purpose of the Below Market Rate (BMR) Housing Program is to increase the supply and assist in the development of housing that is affordable to very low-, low-, and moderate income households. Compliance with the City's BMR Program can be met with the development of affordable units, the payment of in-lieu fees, or a combination of the two. The BMR Housing Fund is comprised primarily of commercial development in-lieu fees. Payment of BMR fees typically occurs prior to building permit issuance for a project, unless specific provisions are included as part of the BMR Agreement. In 2018, the City collected approximately \$6.1 million of BMR funds. As of December 4, 2018, it had approximately \$15.8 million of unencumbered funds.

Program H1.H (Utilize the City's Below Market Rate (BMR) Housing Fund) requires the City to administer and advertise at least every two years the availability of funds in the BMR Housing Fund. The objective of the Notice of Funding Availability (NOFA) is to support the acquisition, rehabilitation or new construction of housing that will provide long-term affordability. The funding is intended to fill the financing gap between projected total development costs and other available funding sources.

In October 2018, the City released its third NOFA and announced the availability of approximately \$11.5 million for affordable rental projects in Menlo Park. Eligible projects include preservation of existing affordable housing, new construction and acquisition for developing permanent affordable rental housing for extremely low-, very low-, and low-income households. The projects will be evaluated on a variety of goals and priorities, including length of affordability, consistency with City goals, policies and regulations, location near transit and other services, reasonable cost, and demonstrated experience. The application filing deadline was January 31, 2019, and the City received two applications that are under review.

### Housing Commission Work Plan

The Housing Commission is charged with advising the City Council on housing matters, including reviewing and recommending on housing policies and programs for the City, providing input on regional housing issues, and recommendations on Below Market Rate Housing Agreements. Every two years Menlo Park Commissions review their respective work plans and update them with new/updated priorities, projects, and goals. On May 23, 2017, the City Council approved the Housing Commission 2016-2018 work plan, which established a robust set of activities to further advance the goals of the Housing Commission. The Work Plan focuses on four key areas: 1) BMR program funding and compliance, 2) housing projects, 3) policies that prevent residential displacement, promote affordable housing preservation, and encourage affordable housing development, and 4) advocacy/Housing Element implementation.

In addition to the activities described above, the Housing Commission also provided guidance on a proposed tenant relocation assistance ordinance. The ordinance is still pending review by the Council and is anticipated to be introduced at its February 26, 2019 meeting. Other topics the Housing Commission is interested in pursuing are establishing a program to leverage BMR funds to purchase market rate housing for the creation and preservation of affordable housing and short-term rentals (e.g. Airbnb and VRBO).

### ***Housing Production***

As part of HCD's SB 35 Statewide Determination Summary, Menlo Park is one of only 24 jurisdictions in

California that has met its pro-rated Lower (Very-Low and Low) and Above-Moderate Income Regional Housing Needs Assessment/Allocation (RHNA) for the reporting period. This means that Menlo Park is not currently subject to SB 35 (Housing Accountability and Affordability Act), which was passed in 2017 and became effective on January 1, 2018, and created a streamlined approval process for housing when cities are not meeting its RHNA.

In 2018, the City issued building permits for 41 net new dwelling units. Of those units, 58 percent of the units were attributed to the 24 townhomes at 133 Encinal Avenue, approximately 29 percent of the units were associated secondary dwelling units, and the remaining permits were issued for a combination of single-family and multi-family residences. The overall number of secondary dwelling units as well as the overall number of residential building permits slightly increased from 2017. While Table A2 of the APR form includes data on new housing units that have either received entitlements, a building permit or a certificate of occupancy that was issued during the reporting period, only building permits are used for the purposes of determining progress towards RHNA (fields 7, 8, and 9).

Building permits for approximately 407 new residential units are also currently under review - 183 units at 1300 El Camino Real, 215 units at 500 El Camino Real, and nine units at 506-556 Santa Cruz Avenue/1125 Merrill Street. While some construction has begun at 1300 El Camino Real and 506-556 Santa Cruz Avenue, the permits for the residential units have not been issued and therefore, have not been accounted for in Table A2. These projects will also include affordable units for households of varying income levels and will be counted towards meeting the City's Regional Housing Needs Assessment figure. As part of two negotiated Development Agreements for the projects at 500 El Camino Real project and 1300 El Camino Real, the City will add 28 affordable housing units to the City's inventory. Eight units will be designated for low-income households at 500 El Camino Real and 14 units will also be designated for low-income households at 1300 El Camino Real. An additional six units will be designated as "workforce" housing within the 1300 El Camino Real project. The two required BMR units for 506-556 Santa Cruz Avenue/1125 Merrill Street are anticipated to be met at an off-site location also within the Specific Plan Area at 1162 El Camino Real, which is currently under development review. The addition of housing stock and affordable housing units is helping the City meet its Regional Housing Needs Assessment (RHNA). These new units will be located in the central area of the City, which will provide housing in close proximity to transit and services, and disperse the affordable housing units in the City.

In total, 52 net new residential units were entitled in 2018. It is important to clarify that the units that were entitled could be different from the building permits that were issued for the same year so the two numbers would likely differ. The number of units that are entitled in the year is a new reporting category with the 2018 APR form and helps provide a more complete picture of housing in a jurisdiction. The approved 2018 projects include 27 units at 1540 El Camino Real, of which five will be BMR units, nine units at 506-556 Santa Cruz Avenue/1125 Merrill Street, three units at 840 Menlo Avenue, and five net new units at 409 Glenwood Avenue, including one BMR unit. The remainder of units approved in 2018 are a combination of secondary dwelling units and single-family homes.

The new APR form also includes a list of residential development applications that were submitted and also deemed complete in the calendar year. While a number of large housing projects or mixed use developments are currently on file, they are not listed in Table A2 because they were not deemed

complete in the same year. Examples of those projects include 1,500 proposed multi-family units on the Facebook Willow Village site and 483 multi-family units at a Greystar-owned site at 141 Jefferson Dr.

While the City's housing production during the first three years of the planning period has exceeded the City's Regional Housing Needs Assessment of 655 units, the City continues to seek opportunities for housing and will strive to meet its numbers for affordable housing. A key component of the General Plan Update adopted in December 2016 was the planning for an additional 4,500 units in the City. Since the adoption of the General Plan Update, the City has received several development or study session applications for residential or mixed use developments in the Bayfront Area that total approximately 2,100 units. All of the proposed projects would be subject to the City's 15 percent BMR requirement.

### ***What is ahead?***

The focus on housing continues to remain a community and regional interest. Staff will be continuing to work on 2018-initiated programs, including a tenant relocation assistance program identified in the Housing Commission Work Plan and a BMR study directed by the City Council to evaluate the feasibility of City's 15 percent BMR requirement on various housing product types and sizes. In addition, staff is continuing to coordinate with Mid-Pen Housing on their proposed 140-unit, 100 percent affordable development along the 1300 block of Willow Road. In 2017, the Council affirmed up to \$6.7 million from the 2015 NOFA for the proposed development, which would utilize the Affordable Housing Overlay (AHO) to increase the allowed density from 30 dwelling units per acre (du/ac) to 40 du/ac.

During the 2019 City Council Goal Setting Session, the topic of teacher housing and the development of multi-family housing at the former Flood School site at 320 Sheridan Drive. was discussed as a potential project priority. Staff will continue to focus on programs to implement the Housing Element and other work, as directed by the Council, that supports the production and preservation of the City's housing stock.

### **Impact on City Resources**

There are no impacts to City resources besides the preparation of the report. Program implementation may have impacts to staffing resources and/or projects/priorities and will be considered as part of the City's annual Capital Improvement Plan and budget process.

### **Environmental Review**

The Housing Element Annual Report is not considered a project. Implementation of Housing Programs may be subject to the California Environmental Quality Act (CEQA), and each program will be evaluated on a case-by-case basis.

### **Public Notice**

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. In addition, the City sent an email update to the subscribers of the Housing Element webpage.

## Attachments

- A. 2018 Housing Element Annual Progress Report
- B. Link to: Adopted Housing Element for the 2015-2023 Planning Period  
<https://www.menlopark.org/DocumentCenter/View/4329/Adopted-Housing-Element-2015-2023?bidId=>

### Report prepared by:

Deanna Chow, Assistant Community Development Director  
Tom Smith, Senior Planner  
Michael Noce, Management Analyst II

### Report reviewed by:

Kyle Perata, Acting Principal Planner  
Mark Muenzer, Community Development Director

**Please Start Here**

General Information	
Jurisdiction Name	Menlo Park
Reporting Calendar Year	2018
Contact Information	
First Name	
Last Name	
Title	
Email	
Phone	
Mailing Address	
Street Address	
City	
Zipcode	

Submittal Instructions
<p>Housing Element Annual Progress Reports (APRs) forms and tables must be submitted to HCD and the Governor's Office of Planning and Research (OPR) on or before April 1 of each year for the prior calendar year; submit separate reports directly to both HCD and OPR pursuant to Government Code section 65400. There are two options for submitting APRs:</p> <p><b>1. Online Annual Progress Reporting System (Preferred)</b> - This enters your information directly into HCD's database limiting the risk of errors. If you would like to use the online system, email <a href="mailto:APR@hcd.ca.gov">APR@hcd.ca.gov</a> and HCD will send you the login information for your jurisdiction. <i>Please note: Using the online system only provides the information to HCD. The APR must still be submitted to OPR. Their email address is <a href="mailto:opr.apr@opr.ca.gov">opr.apr@opr.ca.gov</a>.</i></p> <p><b>2. Email</b> - If you prefer to submit via email, you can complete the excel Annual Progress Report forms and submit to HCD at <a href="mailto:APR@hcd.ca.gov">APR@hcd.ca.gov</a> and to OPR at <a href="mailto:opr.apr@opr.ca.gov">opr.apr@opr.ca.gov</a>. Please send the Excel workbook, not a scanned or PDF copy of the tables.</p>

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**ANNUAL ELEMENT PROGRESS REPORT**

**Housing Element Implementation**

(CCR Title 25 §6202)

Jurisdiction	Menlo Park
Reporting Year	2018 (Jan. 1 - Dec. 31)

Note: + Optional field  
Cells in grey contain auto-calculation formulas

**Table A**  
**Housing Development Applications Submitted**

Project Identifier																Unit Types		Date Application Submitted	Proposed Units - Affordability by Household Incomes							Total Approved Units by Project	Total Disapproved Units by Project	Streamlining	Notes
1				2		3	4	5							6	7	8	9	10										
Prior APN*	Current APN	Street Address	Project Name*	Local Jurisdiction Tracking ID*	Unit Category (SFA,SFD,2 to 4,5+ ADU,MH)	Tenure R=Renter O=Owner	Date Application Submitted	Very Low-Income Deed Restricted	Very Low-Income Non Deed Restricted	Low-Income Deed Restricted	Low-Income Non Deed Restricted	Moderate-Income Deed Restricted	Moderate-Income Non Deed Restricted	Above-Moderate-Income	Total PROPOSED Units by Project	Total APPROVED Units by project	Total DISAPPROVED Units by Project (Auto-calculated Can Be Overwritten)	Was APPLICATION SUBMITTED Pursuant to GC 65913.4(b)? (SB 35 Streamlining)	Notes*										
Summary Row: Start Data Entry Below																													
	55331180	341 Terminal Ave		PLN2018-00037	ADU	R	4/6/2018		1						1				No Existing single-family unit to be d										
	71103330	1346 Hoover St		PLN2018-00074	ADU	R	6/21/2018		1						1	1			No										
	63452080	445-A Oak Ct		BLD2018-00186	ADU	R	2/6/2018							1	1	1			No										
	63430240	198 Elliott Dr		BLD2018-00443	ADU	R	4/5/2018		1						1	1			No										
	74111350	2145-A Sharon Rd		BLD2018-00621	ADU	R	5/9/2018						1		1	1			No										
	74280330	956 Siskiyow Dr		BLD2018-00618	ADU	R	4/19/2018						1		1	1			No										
	71072230	1180 Arbor Rd		BLD2018-00642	ADU	R	5/15/2018						1		1	1			No										
	62204160	304-A O'Keefe St		BLD2018-00487	ADU	R	4/12/2018		1						1	1			No										



**ANNUAL ELEMENT PROGRESS REPORT**  
**Housing Element Implementation**

(CCR Title 25 §6202)

<b>Jurisdiction</b>	Menlo Park
<b>Reporting Year</b>	2018 (Jan. 1 - Dec. 31)

This table is auto-populated once you enter your jurisdiction name and current year data. Past year information comes from previous APRs.  
 Please contact HCD if your data is different than the material supplied here

Table B													
Regional Housing Needs Allocation Progress													
Permitted Units Issued by Affordability													
		1	2									3	4
Income Level		RHNA Allocation by Income Level	2015	2016	2017	2018	2019	2020	2021	2022	2023	Total Units to Date (all years)	Total Remaining RHNA by Income Level
Very Low	Deed Restricted	233	84									103	130
	Non-Deed Restricted		1	3	8	7							
Low	Deed Restricted	129	20		2	1						37	92
	Non-Deed Restricted		2	4	4	4							
Moderate	Deed Restricted	143				2						4	139
	Non-Deed Restricted				1	1							
Above Moderate		150	712	17	20	26						775	
<b>Total RHNA</b>		<b>655</b>											
<b>Total Units 44</b>			<b>819</b>	<b>24</b>	<b>35</b>	<b>41</b>						<b>919</b>	<b>361</b>

Note: units serving extremely low-income households are included in the very low-income permitted units totals  
 Cells in grey contain auto-calculation formulas

**ANNUAL ELEMENT PROGRESS REPORT**  
**Housing Element Implementation**

(CCR Title 25 §6202)

<b>Jurisdiction</b>	Merlo Park
<b>Reporting Year</b>	2018 (Jan. 1 - Dec. 31)

Note: + Optional field  
 Cells in grey contain auto-calculation formulas

Table C																		
Sites Identified or Rezoned to Accommodate Shortfall Housing Need																		
Project Identifier				Date of Rezone	Affordability by Household Income				Type of Shortfall	Sites Description								
1				2	3				4	5	6	7	8		9	10	11	
APN	Street Address	Project Name*	Local Jurisdiction Tracking ID*	Date of Rezone	Very-Low Income	Low-Income	Moderate Income	Above Moderate - Income	Type of Shortfall	Parcel Size (Acres)	General Plan Designation	Zoning	Minimum Density Allowed	Maximum Density Allowed	Realistic Capacity	Vacant/Nonvacant	Description of Existing Uses	
Summary Row: Start Data Entry Below																		

# ANNUAL ELEMENT PROGRESS REPORT

## Housing Element Implementation

(CCR Title 25 §6202)

<b>Jurisdiction</b>	Menlo Park	
<b>Reporting Year</b>	2018	(Jan. 1 - Dec. 31)

**Table D**

**Program Implementation Status pursuant to GC Section 65583**

**Housing Programs Progress Report**

Describe progress of all programs including local efforts to remove governmental constraints to the maintenance, improvement, and development of housing as identified in the housing element.

1	2	3	4
Name of Program	Objective	Timeframe in H.E	Status of Program Implementation
H1.A Establish City Staff Work Priorities for Implementing Housing Element Programs	Establish staff priorities for implementing Housing Element Programs	Annually	This will be done annually as part of the annual Housing Element review.
H1.B Review the Housing Element Annually	Review and monitor Housing Element implementation; conduct public review with the Housing Commission, Planning Commission and City Council, and submit Annual Report to HCD	Annually	Annual Review for the 2017 calendar year was accepted by the City Council on March 27, 2018 and submitted to HCD for review. Using forms provided by HCD, the 2018 Annual Review will be undertaken between February and March 2019, and reviewed by the Housing Commission, Planning Commission and accepted by the City Council.
H1.C Publicize Fair Housing Laws and Respond to Discrimination Complaints	Obtain and distribute materials (see Program H1.D)	Ongoing	Materials available at the 1st floor counter located at Menlo Park City Hall and on the City's Web site.
H1.D Provide Information on Housing Programs	Obtain and distribute materials at public locations; conduct staff training	Annually	Materials are available at the 1st floor counter located at Menlo Park City Hall and on the City's Web site. In 2017, the Housing Commission modified its meeting schedule by meeting monthly as opposed to quarterly, and its membership was expanded from five to seven commissioners. In 2018, the Housing Commission conducted twelve meetings. Housing Commission agendas and notices are posted at City Hall and on the City's website. The Commission designated five subcommittees to address the following topics: Anti-Displacement, BMR Housing Guidelines, Housing Policy, Marketing, and NOFA. The City adopted an anti-discrimination ordinance in August 2018. The Housing Commission also approved a recommendation for the City to pass a Tenant Relocation Assistance (TRA) ordinance, which is scheduled for City Council's consideration in 2019. Two community meeting were held in September 2018 to inform residence of the proposed TRA ordinance.
H1.E Undertake Community	Conduct community outreach and	Consistent with program	Materials are available at the 1st floor counter located at Menlo Park City Hall and on
H1.F Work with the San Mateo County Department of Housing	Coordinate with County efforts to maintain and support affordable housing	Ongoing	Continued participation and coordination has occurred as part of the countywide 21 Elements organization. Working with the County Department of Housing and other jurisdictions on housing-related topics such as accessory dwelling units and short-term rentals, and coordination in implementing Housing Element programs. The City adopted a resolution in 2017 and participates in the Home for All Initiative, which is a continuation of the work of the Closing the Jobs/Housing Gap Task Force. Home for All includes "representatives from all sectors of the community and are focused on creating a future where everyone in San Mateo County has an affordable home," (See <a href="http://homeforallsmc.com/">http://homeforallsmc.com/</a> ).
H1.G Adopt an Anti-Discrimination Ordinance	Undertake Municipal Code amendment and ensure effective implementation of anti-discrimination policies and enforcement as needed	2016	Completed. On August 6, 2018, the City Council approved the Anti-Discrimination ordinance. The City will be considering additional ordinances to address housing challenges as part of its ongoing discussion about housing supply, affordable housing and displacement.
H1.H Utilize the City's Below Market Rate (BMR) Housing Fund	Accumulate and distribute funds for housing affordable to extremely low, very low, low and moderate income households	Ongoing	The City issued a Notice of Funding Availability (NOFA) in July 2013, and awarded MidPen a loan for up to \$3.2 million for an affordable senior development at 1221 Willow Road in September 2014. In June 2015, the Community Development Director issued a compliance letter indicating that the proposed 90-unit senior development is in compliance with the zoning regulations and design standards, and funds were distributed to MidPen for construction in 2016. The project targets extremely low and very low income senior households. In July 2015, the City issued its second NOFA for new affordable rental projects. Approximately \$7.8 million BMR housing funds are available under the NOFA to support the acquisition, rehabilitation and/or construction of housing that will provide long-term affordability. Staff received three applications and is working with one applicant on the viability of its application. In July 2017, the City Council affirmed a funding agreement of \$6.7 million towards a project located at the 1300 block of Willow Road for up to 141 units of affordable housing. In October 2018, the City released a NOFA for up to \$11.5 million. The deadline for applications was January 2019.
H1.I Work with Non-Profits	Maintain a working relationship with non-	Ongoing	The City worked closely with MidPen to assist in their application submittal to redevelop
H1.J Update the Housing Element	Assure consistency with SB375 and Housing Element law	2023	Completed. The City Council adopted the 2015-2023 Housing Element on April 1, 2014, and was certified by HCD on April 16, 2014.
H1.K Address Rent Conflicts	Resolve rent conflicts as they arise	Ongoing	In January 2017, the City Council referred mandatory mediation and rental relocation assistance to the Housing Commission for prioritization along with 13 other potential anti-residential displacement policy initiatives. The Housing Commission solicited community input over 3 public hearings and recommended a prioritization for the 15 policy initiatives. Mandatory Mediation was given a low priority by the Housing Commission, due in large part to the concerns raised by housing advocates and tenants' rights advocates, who questioned the effectiveness of similar programs in other cities. Conversely, instituting mandatory rental relocation assistance was ranked as a high priority. A draft rental relocation assistance ordinance was recommended for approval by the Housing Commission in October 2018. The item is scheduled for City Council consideration in early 2019. Previously, in December 2016, the City Council adopted an ordinance requiring the option for 12-month lease agreements for apartments with four or more units.
H1.L Update Priority Procedures for Providing Water Service to Affordable Housing Developments	Comply with Government Code Section 65589.7	2015 and 2020 (as part of Urban Water Management Plan updates)	Program completed in February 2014. No additional work on this program is needed at this time.
H1.M Lobby for Changes to State Housing Element Requirements	Work with other San Mateo County jurisdictions and lobby for modifications to Housing Element law (coordinate with Program H1.B)	Ongoing	Meet with State Representatives and other jurisdictions and provided input on proposed legislation as needed.
H2.A Adopt Ordinance for "At Risk" Units	Protect existing affordable housing	2016	There are no "at risk" subsidized affordable units in Menlo Park at the current time. "At risk" units are those that appear to be in danger of conversion from subsidized housing units to market rents.

# ANNUAL ELEMENT PROGRESS REPORT

## Housing Element Implementation

(CCR Title 25 §6202)

<b>Jurisdiction</b>	Menlo Park	
<b>Reporting Year</b>	2018	(Jan. 1 - Dec. 31)

**Table D**

**Program Implementation Status pursuant to GC Section 65583**

<b>Housing Programs Progress Report</b>			
Describe progress of all programs including local efforts to remove governmental constraints to the maintenance, improvement, and development of housing as identified in the housing element.			
1	2	3	4
Name of Program	Objective	Timeframe in H.E	Status of Program Implementation
H2.B Promote Energy Efficient/Renewable Programs	50 or more homes and businesses participating in a program	Establish policy and programs by 2017; Participation rate by 2022	In 2017, a major sustainability achievement occurred by making renewable energy available to all residents and business in Menlo Park. In 2017, the City enrolled all Menlo Park PG&E customers in Peninsula Clean Energy (PCE). PCE is a local electricity provider for carbon free renewables, such as wind, water, and solar. Residents are automatically enrolled in PCE with the ability to opt out. At minimum, 50% of PCE's electricity is guaranteed to be from renewable sources, and the cost is comparable to PG&E rates. Additionally, customers can choose to opt up to 100% renewable energy for an increased cost. As a result, 24,098 Menlo Park PG&E customers became PCE customers in 2017: 89% are residential customers receiving at minimum 50% of their electricity from renewable sources <ul style="list-style-type: none"> <li>• 11% are commercial customers receiving at minimum 50% of their electricity from renewable sources.</li> <li>• 1.2% opted out of the program and went back to PG&amp;E or other provider</li> <li>• 1.7% customers opted up to receive 100% renewable energy from PCE, offsetting those customers that opted out.</li> </ul> In addition to this significant paradigm shift, Menlo Park continued to participate in regional energy efficiency/renewable energy regional programs, such as Home Energy Renovation Opportunity (HERO), Energy Upgrade California, and SunShares.
H2.C Amend the Zoning Ordinance to Protect Existing Housing	Protect existing rental housing as part of infill implementation and other Zoning Ordinance changes	Consider as part of the City's General Plan Update (2014-2017)	The zoning ordinance efforts during the General Plan process focused on the creation of new housing in an area that previously did not allow residential uses. Staff recognizes that potential ordinance changes to limit the loss of residential units or the conversion of units can be strategies to maintain the City's housing stock. This is an ongoing item staff will evaluate along with other housing priorities.
H2.D Assist in Implementing Housing Rehabilitation Programs	Apply to the County for CDBG funds to provide loans to rehabilitate very low and low income housing (20 loans from 2015-2023)	2015-2023	The County has temporarily stopped administering the CDBG rehabilitation loan program, except in emergency situations.
H3.A Zone for Emergency Shelter for the Homeless	Amend the Zoning Ordinance	2014; concurrent with RHNA 5 Housing Element Update	Completed. Ordinance adopted on April 29, 2014. Ordinance identifies the location of the overlay to allow an emergency shelter for the homeless for up to 16 beds as a use by right and includes standards consistent with State law as established in SB2.
H3.B Zone for Transitional and Supportive Housing	Amend the Zoning Ordinance	2014; concurrent with RHNA 5 Housing Element Update	Completed. Ordinance adopted on April 29, 2014 to update the definitions of transitional and supportive housing to be consistent with State law and adds transitional, supportive housing and small (6 or fewer) residential care facilities as part of the definition of a "dwelling" in the Zoning Ordinance so these uses are treated the same way as other residential uses as required by State law under SB2.
H3.C Adopt Procedures for Reasonable Accommodation	Amend the Zoning Ordinance and/or modify administrative procedures; create public handout	2014; concurrent with RHNA 5 Housing Element Update	Completed. Ordinance adopted April 29, 2014 to establish procedures, criteria and findings for enabling individuals with disabilities to make improvements and overcome barriers to their housing.
H3.D Encourage Rental Housing Assistance Programs	Provide assistance at current Section 8 funding levels to assist 220 extremely low and very low-income households per year (assumes continued funding of program)	2015-2023	There are 284 households provided rental assistance in Menlo Park through Section 8 funding.
H3.E Investigate Possible Multi-Jurisdictional Emergency Shelter	Coordinate in the construction of homeless facility (if determined feasible)	Longer term program as the opportunity arises	There are no plans for a specific facility at this time.
H3.F Assist in Providing Housing for Persons Living with Disabilities	Provide housing and services for disabled persons	Ongoing	Continued participation and coordination has occurred as part of the countywide 21 Elements organization. Working with the County Department of Housing and other jurisdictions on housing-related topics such as accessory dwelling units and short-term rentals, and coordination in implementing Housing Element programs. The City adopted a resolution in 2017 and participates in the Home for All Initiative, which is a continuation of the work of the Closing the Jobs/Housing Gap Task Force. Home for All includes "representatives from all sectors of the community and are focused on creating a future where everyone in San Mateo County has an affordable home," (See <a href="http://homeforallsmc.com/">http://homeforallsmc.com/</a> ).
H3.G Develop Incentives for Special Needs Housing	Amend the Zoning Ordinance to provide opportunities for housing and adequate support services for seniors and people living with disabilities	Consider as part of the City's General Plan Update (2014-2017)	The City's Affordable Housing Overlay (AHO), which was established in 2013, was applied to MidPen's 90-unit affordable, senior housing development. Along with financial incentives, the AHO provides density bonuses and a parking reduction for senior housing.
H3.H Continue Support for Countywide Homeless Programs	Support housing and services for the homeless and at-risk persons and families	Ongoing	The City has continued to support HEART and has participated in countywide activities to address homeless needs. In addition, through the City's Community Funding program, the City supports LifeMoves, and continues to participate and support the Housing Leadership Council, and promote staff attendance at Housing Leadership Day sessions and discussions.
H3.I Work with the Department of Veterans Affairs on Homeless Issues	Coordination in addressing the needs of the homeless	2014; ongoing thereafter	In January 2014 the City Council authorized a loan increase from the City's BMR funds to CORE Housing for up to \$2.86 million for affordable housing at 605 Willow Road (Veterans Affairs Campus). The development includes 60 dwelling units and would provide permanent housing to extremely low- and very low-income veterans. The development received its certificate of occupancy in December 2015. As opportunities arise, staff will continue to work with the VA.
H4.A Modify R-2 Zoning to Maximize Unit Potential	Amend the Zoning Ordinance to minimize underutilization of R-2 development potential	Consider as part of the City's General Plan Update (2014-2017)	In 2016, the City Council began a broader housing discussion of potential policies, particularly to address displacement. In 2017, specific strategies and priorities were reviewed to address displacement by the Housing Commission and City Council. As a result of these discussions, staff was directed to prioritize other modifications such as citywide zoning changes for secondary dwelling units; nonetheless, staff will revisit modifications to R-2 in the future.
H4.B Implement Inclusionary Housing Regulations	Implement requirements to assist in providing housing affordable to extremely low, very low, low and moderate income households in Menlo Park	Ongoing	To comply with the City's BMR Ordinance for commercial and industrial projects, new commercial/industrial development (meeting certain criteria) in the City contributed \$6,107,322.00 of BMR in-lieu fees to the City's BMR fund in 2018. The funds will be used to help house extremely low, very low, low and moderate-income households (see Program H1.H). In April 2018, the Council adopted an ordinance and updated the BMR Guidelines to implement inclusionary zoning once again due to State law changes (AB 1505).
H4.C Modify BMR Guidelines	Amend the Zoning Ordinance to require affordable units in market rate developments	2015	Modification to the City's BMR Guidelines will be considered as part of the Housing Commission's 2017-2019 work plan for recommendation to the City Council (see Program H4.D). Housing Commission members and staff worked collaboratively to draft proposed changes to the guidelines. In April and June, 2018 the City Council approved the updated BMR Guidelines. Staff expects the Housing Commission to have additional recommendations for a revision pass on to City Council for approval in 2019 or 2020.

# ANNUAL ELEMENT PROGRESS REPORT

## Housing Element Implementation

(CCR Title 25 §6202)

<b>Jurisdiction</b>	Menlo Park	
<b>Reporting Year</b>	2018	(Jan. 1 - Dec. 31)

**Table D**

**Program Implementation Status pursuant to GC Section 65583**

<b>Housing Programs Progress Report</b>			
Describe progress of all programs including local efforts to remove governmental constraints to the maintenance, improvement, and development of housing as identified in the housing element.			
1	2	3	4
Name of Program	Objective	Timeframe in H.E	Status of Program Implementation
H4.D Update the BMR Fee Nexus Study	Update to fees consistent with the nexus of potential impacts on affordable housing need	2015	The City participated in a multi-jurisdictional nexus study that provided a defensible analysis to maintain the legal justification for inclusionary zoning and affordable housing impact fees. The study was reviewed by the City Council in July 2016. In 2017, the City Council requested further action by the Housing Commission which formed a subcommittee to further review the Nexus Study. In 2018, the Housing Commission's Nexus Fee committee provided recommendations to staff.
H4.E Modify Second Dwelling Unit Development Standards and Permit Process	Achieve Housing Element target for new second units (40 new secondary dwelling units between 2015-2023, with 5 per year) — 18 very low, 18 low and 4 moderate income second units.	2014; ongoing thereafter	<p>Concurrent with the adoption of the 2007-2014 Housing Element in May 2013, the City of Menlo Park reviewed a Zoning Ordinance amendment for modifications to the Secondary Dwelling Unit Ordinance in recognition that secondary dwelling units can be a valuable source of affordable units. In addition to ensuring the City's ordinance was compliant with State law, the Zoning Ordinance amendment included a number of revisions to provide greater flexibility in the development regulations to encourage more development of secondary dwelling units.</p> <p>As part of the Housing Element for the 2015-2023 Housing Element, the City of Menlo Park continued this program to further explore opportunities for additional revisions to the Secondary Dwelling Unit Ordinance. In April 2014, the City Council adopted additional revisions to the secondary dwelling unit ordinance, including increasing the maximum unit size for units that comply with accessibility requirements, establishing a new daylight plane requirement in lieu of the wall height requirement, and providing flexibility in the tenancy requirement. In 2016, the Planning Commission considered and recommended approval of changes to the secondary dwelling unit ordinance for consistency with State law changes, including the reduction of off-street parking requirements. The Council adopted amendments to the secondary dwelling unit ordinance in February 2017. Building permits for 12 new secondary dwelling units were issued in 2018.</p>
H4.F Establish a Process and Standards to Allow the Conversion of Accessory Buildings and Structures to a Secondary Dwelling Unit	Adopt procedures and requirements to allow conversion of accessory structures and buildings (15 new secondary dwelling units — 6 very low income, 6 low income and 3 moderate income units)	2014; review the effectiveness of the ordinance in 2015	In April 2014, the City adopted an ordinance, that would allow legally permitted accessory buildings that do not meet the setback requirements for a secondary dwelling unit to be converted to a secondary dwelling unit through an administrative permit process. This conversion process through the administrative permit process was set to expire in one year from ordinance adoption, but was extended in May 2015 for one additional year, expiring in June 2016. In 2016, the City Council extended the conversion provision for an additional three years. New state law requirements superseded the City's local ordinance in 2017 regarding the conversion of accessory buildings into secondary dwelling units. The City updated its secondary dwelling unit ordinance for consistency with State law in February 2017. The amended ordinance would allow legally permitted accessory buildings to be converted to secondary dwelling units through the non-discretionary process if the accessory building complies with the development regulations of a secondary dwelling unit, with the exception of minimum yards, height, daylight plane, and parking. In 2018, four building permits were approved for conversions from accessory structures and buildings into secondary dwelling units.
H4.G Implement First-Time Homebuyer Program	Provide referrals	2015-2023	The City is referring first time homebuyers to HEART for down payment assistance since BMR funds are no longer available for this program. Information is available on the City's Housing webpage per Housing Programs H1.C and H1.D. The City and HEART did not hold any first-time homebuyer workshops in Menlo Park in 2018; however, a workshop is scheduled in 2019 at the City Council Chambers.
H4.H Work with Non-Profits and Property Owners on Housing Opportunity Sites	Identify incentives and procedures to facilitate development of housing affordable to extremely low, very low, low and moderate income households on higher density housing sites	Ongoing	The City continues to work with affordable housing providers on potential housing projects in the City. As part of the General Plan Update, zoning amendments were adopted to allow housing and mixed use developments in the C-2-B zone, which provides an opportunity to increase housing supply while adding services to key locations in the City. MidPen has property located in the C-2-B district as well as in the R-4-S (AHO), which allows high density residential and provisions for a density bonus in exchange for affordable housing. In 2017, the City Council committed up to \$6.7 million towards MidPen's affordable housing project in the R-4-S (AHO) district. In 2018, staff worked closely with MidPen to refine their site plan requirements. The authorization to negotiate the funding agreement for up to \$6.7 million along with a right-of-way abandonment is scheduled for City Council consideration in early 2019.
H4.I Create Multi-Family and Residential Mixed Use Design Guidelines	Adopt design guidelines for multi-family and mixed use housing developments	Consider as part of the City's General Plan Update (2014-2017)	As part of the General Plan and M-2 Area Zoning Update, the City Council adopted the new R-MU (Residential Mixed Use) zoning district. The proposed zoning district includes design standards, which include a number of provisions addressing building modulation, height variation, site design, and open space requirements.
H4.J Consider Surplus City-Owned Land for Housing	Identify opportunities for housing as they arise	Consider as part of the City's General Plan Update (2014-2017)	As part of the General Plan and M-2 Area Zoning Update, the geographic focus was on the M-2 Area and there was no City-owned land suitable for housing. As part of a Council study session in May 2016, the Council considered potential ways to redevelop the City-owned parking plazas in the downtown with retail, entertainment and housing options. The main library and downtown garage locations are being explored as possible underutilized sites for housing development. Discussion of these City-owned locations as possible sites began in 2017 in City Council study sessions and community meetings. In April 2018, a City Council Study Session was held and two members of the Council were appointed to a subcommittee focused on working with staff to identifying possible mixed use development options.
H4.K Work with the Fire District	Undertake local amendments to the State Fire Code and approve City Council Resolution ratifying the Fire District's local amendments	2014 (in progress)	Staff worked with the Menlo Park Fire Protection District to develop a draft ordinance to the 2016 Fire Code. The City Council approved a resolution ratifying the Fire District's amendments to the Fire Code in February 2017.
H4.L Coordinate with School Districts to Link Housing with School District Planning Activities	Coordinate and consider school districts long-range planning, resources and capacity in planning for housing	Ongoing with Housing Element program implementation. Consider as part of the City's General Plan Update (2014-2017)	Continued coordination on new residential development (unit type, timing, etc.) and implications for enrollment growth and facility planning with various school districts. In 2017, staff met with a enrollment projections consultant for the Menlo Park City School District to identify pending and approved development in the City. In 2018, City staff have continued to be in contact with school district demographers sharing information on new residential development proposals.
H4.M Review the Subdivision Ordinance	Modify the Subdivision Ordinance as needed	Consider as part of the City's General Plan Update (2014-2017)	No activity to date.

# ANNUAL ELEMENT PROGRESS REPORT

## *Housing Element Implementation*

(CCR Title 25 §6202)

<b>Jurisdiction</b>	Menlo Park	
<b>Reporting Year</b>	2018	(Jan. 1 - Dec. 31)

**Table D**

**Program Implementation Status pursuant to GC Section 65583**

<b>Housing Programs Progress Report</b>			
Describe progress of all programs including local efforts to remove governmental constraints to the maintenance, improvement, and development of housing as identified in the housing element.			
1	2	3	4
Name of Program	Objective	Timeframe in H.E	Status of Program Implementation
H4.N Create Opportunities for Mixed Use Development	Conduct study and establish regulations to allow housing in commercial zones	Consider as part of the City's General Plan Update (2014-2017)	As part of the General Plan and M-2 Area Update approval in December 2016, the Council adopted zoning amendments to the C-2-B zoning district to allow residential uses to create mixed-use opportunities in key areas along the Willow Road Corridor and created the R-MU zoning district. A number of properties that were previously zoned for commercial and industrial uses were rezoned with the new zoning district to create opportunities for higher density housing and mixed use developments. Consideration of the amended C-2-B and the new R-MU zoning districts will continue on an as-needed basis. Staff has received interest to redevelop properties in both zoning districts with residential and mixed use developments.
H4.O Review Transportation Impact Analysis Guidelines	Modify Transportation Impact Analysis (TIA) guidelines	Consider as part of the City's General Plan Update (2014-2017)	In December 2016, the City Council adopted a new Circulation Element, recognizing that work on the Transportation Master Plan (TMP) was a high priority. Work on modifications to the TIA will be considered a future program and may be informed by the work of the Transportation Master Plan that is underway. A consultant team was hired in 2017 to lead the TMP effort and an 11-member city-led Oversight and Outreach Committee (OOC) was formed to help guide the process. The TMP OOC has held seven (7) public community meetings thus far and the TMP is projected to be adopted by end of 2019. A consultant team is expected to be hired in 2019 to lead the effort of revising the city's current TIA Guidelines. An updated version of the TIA Guidelines is projected to be adopted by June 2020.
H4.P Update Parking Stall and Driveway Design Guidelines	Modify Parking Stall and Driveway Design Guidelines	2014	In 2017, the City began a preliminary review of draft parking stall and driveway design guidelines. Input and recommendations would be combined and a draft memo of recommendations, design guidelines and modifications would be presented for consideration in the future. Review of these guidelines is still underway.
H4.Q Achieve Long-Term Viability of Affordable Housing	Establish project management and other ongoing project coordination needs	As developments are proposed and ongoing thereafter	The City continues to partner with Hello Housing to administer the City's BMR list and to coordinate with project sponsors on qualifying tenants for affordable housing in the City per the BMR Guidelines. In 2018, construction began on a townhome development, which will include 3 deed restricted BMR ownership units. These units are family oriented with 4 bedrooms and located close to transit.
H4.R Modify Overnight Parking Requirements to include the R-4-S Zoning District	Modify Section 11.24.050 [Night Parking Prohibited] of the Municipal Code as needed	2014	In October 2015, the City Council approved the removal of on-street parking along the north side of Haven Avenue as part of the Haven Avenue Streetscape Project. Identified as housing opportunity sites in the Housing Element, two parcels along Haven Avenue are currently being redeveloped with 540 multi-family residential units. The objective of the Haven Avenue Streetscape Project is to provide a direct connection for bicyclists and pedestrians between the Bay Trail and the City of Redwood City's bikeway and sidewalk network by constructing sidewalks and bicycle facilities along Haven Avenue. The removal of on-street parking is helping facilitate the enhanced multi-modal improvements along this corridor.
H4.S Explore Creation of a Transportation Management Association	Explore creation of a Transportation Management Association	Consider as part of the City's General Plan Update (2014-2017)	As part of three new zoning districts for the former M-2 Area, transportation demand management measures are required to reduce the number of vehicle trips by at least 20 percent below standard generation rates based on the use of the site. The possible creation of a TMA was subject to ongoing discussion in 2017 with potential topics such as transportation alliances and regional coordination, collaboration of businesses and/or institutions, and coordination of TMA with TDM policies for new developments. In 2018, staff performed outreach with local businesses and neighboring cities to gain insight on whether to establish a local or sub-regional TMA. The City will release an RFP (request for proposal) in Spring 2019 to assist with the decision.
H4.T Explore Pedestrian and Bicycle Improvements	Coordinate with Redwood City on potential pedestrian and bicycle improvements	Consider as part of the City's General Plan Update (2014-2017)	The City was awarded a grant from the San Mateo County Transportation Authority (Measure A funds) to implement the Haven Avenue bicycle/pedestrian improvements. The improvements include new facilities to a key corridor that connects Menlo Park, San Mateo County and Redwood City. The project area includes Haven Avenue between Marsh Road and the Redwood City boundary, an area where several properties were recently rezoned to higher density housing. Through work on the Transportation Master Plan, improvements in the area can be identified. In addition, as part of the Menlo Gateway hotel and office project, pedestrian and bicycle improvements will be implemented. Bike lanes along a portion of Haven Avenue have been installed. Recently, the City has been awarded multiple grants to improve the existing bicycle/pedestrian networks. These improvements include: new sidewalk facilities on Pierce Road and Oak Grove Avenue, and new bicycle facilities on San Mateo Drive and Ringwood Avenue. Additionally, the ongoing Transportation Master Plan will serve as an update to the City's existing Sidewalk Master Plan and Comprehensive Bicycle Development Plan.



**ANNUAL ELEMENT PROGRESS REPORT**

***Housing Element Implementation***

(CCR Title 25 §6202)

<b>Jurisdiction</b>	Menlo Park	
<b>Reporting Period</b>	2018	(Jan. 1 - Dec. 31)

Note: + Optional field  
Cells in grey contain auto-calculation formulas

Table E									
Commercial Development Bonus Approved pursuant to GC Section 65915.7									
Project Identifier				Units Constructed as Part of Agreement				Description of Commercial Development Bonus	Commercial Development Bonus Date Approved
1				2				3	4
APN	Street Address	Project Name <sup>+</sup>	Local Jurisdiction Tracking ID <sup>+</sup>	Very Low Income	Low Income	Moderate Income	Above Moderate Income	Description of Commercial Development Bonus	Commercial Development Bonus Date Approved
Summary Row: Start Data Entry Below									

# ANNUAL ELEMENT PROGRESS REPORT

## Housing Element Implementation

(CCR Title 25 §6202)

<b>Jurisdiction</b>	Menlo Park	
<b>Reporting Period</b>	2018	(Jan. 1 - Dec. 31)

Note: + Optional field  
Cells in grey contain auto-calculation formulas

**Table F**

**Units Rehabilitated, Preserved and Acquired for Alternative Adequate Sites pursuant to Government Code section 65583.1(c)(2)**

This table is optional. Jurisdictions may list (for informational purposes only) units that do not count toward RHNA, but were substantially rehabilitated, acquired or preserved. To enter units in this table as progress toward RHNA, please contact HCD at APR@hcd.ca.gov. HCD will provide a password to unlock the grey fields. Units may only be credited to the table below when a jurisdiction has included a program in its housing element to rehabilitate, preserve or acquire units to accommodate a portion of its RHNA which meet the specific criteria as outlined in Government Code section 65583.1(c)(2).

Activity Type	Units that Do Not Count Towards RHNA <sup>+</sup> Listed for Informational Purposes Only				Units that Count Towards RHNA <sup>+</sup> Note - Because the statutory requirements severely limit what can be counted, please contact HCD to receive the password that will enable you to populate these fields.				The description should adequately document how each unit complies with subsection (c)(7) of Government Code Section 65583.1 <sup>+</sup>
	Extremely Low-Income <sup>+</sup>	Very Low-Income <sup>+</sup>	Low-Income <sup>+</sup>	TOTAL UNITS <sup>+</sup>	Extremely Low-Income <sup>+</sup>	Very Low-Income <sup>+</sup>	Low-Income <sup>+</sup>	TOTAL UNITS <sup>+</sup>	
Rehabilitation Activity									
Preservation of Units At-Risk									
Acquisition of Units									
Total Units by Income									

<b>Jurisdiction</b>	Menlo Park	
<b>Reporting Year</b>	2018	(Jan. 1 - Dec. 31)

<b>Permitted Units Issued by Affordability Summary</b>		
<b>Income Level</b>		<b>Current Year</b>
Very Low	Deed Restricted	0
	Non-Deed Restricted	4
Low	Deed Restricted	6
	Non-Deed Restricted	1
Moderate	Deed Restricted	0
	Non-Deed Restricted	4
Above Moderate		37
Total Units 44		52

Note: units serving extremely low-income households are included in the very low-income permitted units totals

<b>Entitlement Summary</b>	
Total Housing Applications Submitted:	8
Number of Proposed Units in All Applications Received:	8
Total Housing Units Approved:	9
Total Housing Units Disapproved:	0

<b>Use of SB 35 Streamlining Provisions</b>	
Number of Applications for Streamlining	0
Number of Streamlining Applications Approved	0
Total Developments Approved with Streamlining	0
Total Units Constructed with Streamlining	0

<b>Units Constructed - SB 35 Streamlining Permits</b>			
<b>Income</b>	<b>Rental</b>	<b>Ownership</b>	<b>Total</b>
Very Low	0	0	0
Low	0	0	0
Moderate	0	0	0
Above Moderate	0	0	0
Total	0	0	0

Cells in grey contain auto-calculation formulas