



REGULAR MEETING AGENDA

Date: 4/8/2019
Time: 7:00 p.m.
City Council Chambers
701 Laurel St., Menlo Park, CA 94025

A. Call To Order

B. Roll Call

C. Reports and Announcements

Under “Reports and Announcements,” staff and Commission members may communicate general information of interest regarding matters within the jurisdiction of the Commission. No Commission discussion or action can occur on any of the presented items.

D. Public Comment

Under “Public Comment,” the public may address the Commission on any subject not listed on the agenda, and items listed under Consent Calendar. Each speaker may address the Commission once under Public Comment for a limit of three minutes. Please clearly state your name and address or political jurisdiction in which you live. The Commission cannot act on items not listed on the agenda and, therefore, the Commission cannot respond to non-agenda issues brought up under Public Comment other than to provide general information.

E. Consent Calendar

E1. Approval of minutes from the March 25, 2019, Planning Commission meeting. ([Attachment](#))

E2. Architectural Control/Karen King/2775 Sand Hill Road:
Request for Architectural Control to modify the exterior of an existing office building in the C-1-C (Administrative, Professional and Research District, Restrictive) zoning district. The proposal consists of the installation of a new folding partition door and construction of a new usable outdoor patio area, in a location currently used for landscaping. As part of the project, the applicant proposes to remove one heritage sized, multi-trunk flowering plum tree. ([Staff Report #19-025-PC](#))

F. Public Hearing

F1. Use Permit/Jennifer and Nicholas Bott/371 Hedge Road:
Request for a use permit to construct first- and second-floor additions, as well as conduct interior modifications, to a single-family residence that would exceed 50 percent of the replacement value of the existing nonconforming structure in a 12-month period. The proposal would also exceed 50 percent of the existing floor area and is considered equivalent to a new structure. The subject parcel is located on a substandard lot with regard to width and area in the R-1-U (Single-Family

Urban) zoning district. in the right side setback for a lightwell and stair associated with the proposed basement. A heritage size coast redwood tree in very poor condition is proposed for removal. ([Staff Report #19-026-PC](#))

- F2. Use Permit/Matthew Harrigan/1301 Elder Avenue:
Request for a use permit to demolish an existing one-story residence and construct a new two-story residence with a basement on a substandard lot with regard to minimum lot width in the R-1-S (Single Family Suburban Residential) zoning district. The project includes a request for excavation into the right side setback for a lightwell and staircase associated with the proposed basement. As part of the project, the applicant proposes to remove one heritage Shamel ash tree. ([Staff Report #19-027-PC](#))
- F3. Conditional Development Permit Amendment/Sharon Hills (1-45 Biltmore Lane; 1115-1135 Continental Drive; 2-55 Hallmark Circle; 1-15 Oliver Circle; 2-26 Susan Gale Court; 2300 Tioga Drive; 1200-1371 Trinity Drive)/Sharon Hills Community Association:
Request for a Conditional Development Permit (CDP) Amendment at an existing residential development in the R-E-S(X) (Residential Estate Suburban, Conditional Development) zoning district. The CDP amendment would allow small-scale modification and expansion projects on existing townhouses to be processed through the ministerial building permit process, provided the proposals have received architectural approval by the Sharon Hills Community Association (SHCA). Currently, such projects require approval of the SHCA and architectural control approval by the Planning Commission, prior to building permit review. No changes to the number of dwelling units or other development standards are proposed, and the three standard R-E-S(X) lots that were created through this CDP (1200 and 1205 Trinity Drive, and 2300 Tioga Drive) would not be affected by the proposed changes. ([Staff Report #19-028-PC](#))

G. Informational Items

- G1. Future Planning Commission Meeting Schedule – The upcoming Planning Commission meetings are listed here, for reference. No action will be taken on the meeting schedule, although individual Commissioners may notify staff of planned absences.
- Regular Meeting: April 29, 2019
 - Regular Meeting: May 6, 2019
 - Regular Meeting: May 20, 2019

H. Adjournment

Agendas are posted in accordance with Government Code Section 54954.2(a) or Section 54956. Members of the public can view electronic agendas and staff reports by accessing the City website at www.menlopark.org and can receive e-mail notification of agenda and staff report postings by subscribing to the “Notify Me” service at menlopark.org/notifyme. Agendas and staff reports may also be obtained by contacting the Planning Division at 650-330-6702. (Posted: 04/03/2019)

At every Regular Meeting of the Commission, in addition to the Public Comment period where the public shall have the right to address the Commission on any matters of public interest not listed on the agenda, members of the public have the right to directly address the Commission on any item listed on the agenda at a time designated by the Chair, either before or during the Commission’s consideration of the item.

At every Special Meeting of the Commission, members of the public have the right to directly address the Commission on any item listed on the agenda at a time designated by the Chair, either before or during consideration of the item.

Any writing that is distributed to a majority of the Commission by any person in connection with an agenda item is a public record (subject to any exemption under the Public Records Act) and is available for inspection at the City Clerk's Office, 701 Laurel St., Menlo Park, CA 94025 during regular business hours.

Persons with disabilities, who require auxiliary aids or services in attending or participating in Commission meetings, may call the City Clerk's Office at 650-330-6620.



REGULAR MEETING MINUTES – DRAFT

Date: 3/25/2019
Time: 7:00 p.m.
City Council Chambers
701 Laurel St., Menlo Park, CA 94025

A. Call To Order

Vice Chair Andrew Barnes called the meeting to order at 7:02 p.m.

B. Roll Call

Present: Andrew Barnes (Vice Chair), Michael Doran, Camille Kennedy, John Onken, Henry Riggs, Katherine Strehl

Absent: Susan Goodhue (Chair)

Staff: Ceci Conley, Contract Assistant Planner; Fahteen Khan, Contract Assistant Planner; Kyle Perata, Acting Principal Planner; Ori Paz, Assistant Planner

C. Reports and Announcements

Acting Principal Planner Kyle Perata said the City Council at its March 26, 2019 meeting would start the two-year review of the General Plan update with a study session. He said it would also consider the Mid-Pen Housing funding agreement and abandonment of right of way between 1305 and 1345 Willow Road and hear a presentation by a group of high school students associated with the UC Berkeley group on the local supply housing study for Belle Haven and North Fair Oaks that was part of the Facebook Campus Expansion development agreement. He said the Environmental Quality Commission would consider an appeal of the heritage tree removal permit for 1000 El Camino Real on March 27. He said the appeal of the Phillips Brooks School's use permit would be heard by the Council at its April 9 meeting.

D. Public Comment

There was none.

E. Consent Calendar

- E1. Approval of minutes from the March 11, 2019, Planning Commission meeting. ([Attachment](#))

Commissioner Henry Riggs suggested a correction on page 7, 4th paragraph, 2nd line: replace "entryway" with "entry arch."

ACTION: Motion and second (Katherine Strehl/Riggs) to approve the minutes with the following modification; passes 5-0-1-1 with Commissioner Camille Kennedy abstaining and Commissioner Susan Goodhue absent.

- Page 7, 4th paragraph, 2nd line: replace “entryway” with “entry arch”

F. Public Hearing

- F1. Use Permit/~~Adam~~ **Kevin** Novak/1171 Valparaiso Avenue:
Request for a use permit to demolish an existing two-story residence and construct a new two-story residence on a substandard lot with regard to minimum lot width in the R-E (Residential Estate) district, and to conduct interior and exterior remodels to an existing non-conforming accessory structure. The scope of work on the accessory building would exceed 50 percent of the existing replacement value in a 12 month period. The project includes a request for excavation in the right side setback for a lightwell and stair associated with the proposed basement. A heritage size coast redwood tree in very poor condition is proposed for removal. ([Staff Report #19-020-PC](#))

Staff Comment: Assistant Planner Ori Paz said the agenda listing for the item showed the applicant as Adam Novak, which was not correct. He said the staff report correctly indicated the applicant was Kevin Novak.

Applicant Presentation: Pearl Renaker said she was the project architect for property owners Kevin and Hannah Novak. She said the property owners wanted to live in a warm, contemporary and light-filled home with space for entertaining. She said the siting of the new home would largely follow the siting of the existing home. She said the accessory building would be remodeled to match the new home. She said the lot had 33 heritage trees and they were proposing to remove just one redwood tree that was nearly dead.

Replying to Vice Chair Barnes, Ms. Renaker said that the courtyard in the front was gravel and very similar to the existing condition.

Replying to Commissioner Strehl, Ms. Renaker said the accessory building was intended to continue as a pool house and also included a workshop. She said it was not a dwelling unit and had no kitchen.

Vice Chair Barnes opened the public hearing and closed it as there were no speakers.

Commission Comment: Commissioner Strehl said she found eight and a half bathrooms objectionable and asked if this was a family home.

Hannah Novak said that they had a large family in the Midwest and wanted to provide them comfortable accommodations when they came to visit.

Commissioner John Onken said the second story windows did not overlook neighbors and there was more than enough screening side to side. He said it was a large home but tastefully designed.

Commissioner Kennedy said the house seemed tastefully designed and on a large lot and set back.

Vice Chair Barnes said he did not think the project was over paved referring to a question in the staff report. He moved to approve as recommended in the staff report. Commissioner Onken seconded the motion.

ACTION: Motion and second (Barnes/Onken) to approve the item as recommended in the staff report; passes 6-0-1 with Commissioner Goodhue absent.

1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.
2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.
3. Approve the use permit subject to the following **standard** conditions:
 - a. Development of the project shall be substantially in conformance with the plans prepared by Tektive Design, consisting of 22 plan sheets, dated received March 18, 2019, and approved by the Planning Commission on March 25, 2019, except as modified by the conditions contained herein, subject to review and approval of the Planning Division.
 - b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.
 - c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
 - d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.
 - e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.
 - f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.

- g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the arborist report prepared by Kielty Arborist Services, LLC., dated revised January 22, 2019.

4. Approve the use permit subject to the following **project specific** conditions:

- a. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating the revised location of the proposed heritage tree removal replacement tree, subject to review and approval by the Planning Division and City Arborist.

F2. Use Permit/Jing Quan/1331 Modoc Avenue:

Request for a use permit to determine the Floor Area Limit (FAL) for a lot with less than 5,000 square feet of developable area, in association with the demolition, remodel, and expansion of the existing single family home. The proposal includes a use permit request to add an attached secondary dwelling unit on a lot less than 6,000 square feet in size. The parcel is a substandard lot in the R-1-U (Single Family Urban Residential) zoning district. ([Staff Report #19-021-PC](#))

Staff Comment: Contract Assistant Planner Fahteen Khan said there were no additions to the written report.

Applicant Presentation: Jing Quan, project architect, outlined the proposed project.

Vice Chair Barnes opened the public hearing and closed it as there were no speakers.

Commission Comment: Commissioner Riggs said he could make the findings for the square footage noting the project was a straight forward application and was a subtle remodel.

Commissioner Strehl said the garage had a shower and toilet and asked if the access to that was only from the garage. Ms. Quan said the property owner was a contractor and wanted to have a shower and bathroom in the garage to use before coming into the house. Commissioner Strehl confirmed with the architect that to do so he would need to leave the garage to get into the house.

Commissioner Onken moved to approve as recommended in the staff report. Commissioner Riggs seconded the motion.

Vice Chair Barnes said he was disinclined to approve a secondary dwelling unit that did not meet the required lot size. He said in this instance as it was attached, he thought it would work.

ACTION: Motion and second (Onken/Riggs) to approve the item as recommended in the staff report; passes 6-0 with Commissioner Goodhue absent.

1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.

2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.
3. Approve the use permit subject to the following **standard** conditions:
 - a. Development of the project shall be substantially in conformance with the plans prepared by WEC Associates, consisting of 9 plan sheets, dated received March 5, 2019, subject to review and approval by the Planning Division.
 - b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.
 - c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
 - d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.
 - e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.
 - f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.
 - g. Heritage and street trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and per the City Arborist's recommendation, hand excavation shall be used for the proposed concrete removal in the front yard.
- F3. Use Permit Revision/Ravinder Sethi/933 Hermosa Way:

Request for a revision to a previously approved use permit to demolish an existing single-story, single-family residence and construct a new two-story, single-family residence with an attached two-car garage on a substandard lot with respect to width, depth, and area in the R-E (Residential Estate) zoning district. The request includes modifications to the approved front, rear and right elevations, slightly raising the overall height of the structure, changing the siding materials from shingles to horizontal boards, and adding stone veneer to wooden columns. ([Staff Report #19-022-PC](#))

Staff Comment: Planner Khan said staff had no additions to the staff report.

Applicant Presentation: Roger Kohler, project architect, said the property owners wanted to revise the plans previously approved for a use permit. He said changes included the removal of the second-floor balcony over the front entry, widening of the window on the second floor stair landing, removal of the door to the deck in bedroom #4, increasing the second floor plate height from 9-feet 3-inches to 9-feet 6-inches, changing exterior materials to horizontal board siding, reducing building height three-inches to 27-feet 5-inches, and addition of stone veneer to the fireplace and all the base columns. He said the property owner had spoken with neighbors about the changes and there seemed to be no issues.

Vice Chair Barnes opened the public hearing and closed it as there were no speakers.

Commission Comment: Commissioner Onken said the proposed changes and increased ridge height by six-inches were relatively de minimis. He moved to approve as recommended in the staff report.

Commissioner Riggs said the perspectives did not call out corner boards, but sometimes the elevations did. He asked if the applicant could confirm whether there were corner boards or if mitered siding would be used. Recognized by the Chair, Mr. Kohler said the property owner did not want the boards.

Commissioner Riggs said he had a problem with the aesthetics of the new central and enlarged gable. He said emphasizing one more gable on a home with many gables and hips made it appear overpowering. Mr. Kohler said this was something the property owner wanted.

Commissioner Riggs said sheet A9 showed sample stone, which was skinny, dry stack stone. He said on A13 on the sample elevation it showed larger, randomly placed stone. Mr. Kohler said the stone proposed on A13 looked better than the one on the first page. Commissioner Riggs asked which one should be put into the record. Mr. Kohler said he would prefer A13 with the randomly placed stone.

Commissioner Riggs said the record should show no corner boards and the stone veneer should be as shown on A13 for building elevations rather than what was shown on the cover sheet and the sample on A9. He said if Commissioner Onken as the maker of the motion agreed he would like to require that the middle gable not be reemphasized with the matching arch and that the architect be allowed to choose another mullion pattern for the middle window previously approved.

Responding to Mr. Kohler, Commissioner Riggs said he preferred the before version of the front window. He asked if that was acceptable to Commissioner Onken, who made the motion to approve.

Commissioner Onken said he understood taste concerns regarding corner boards. He said looking at the perspectives the design of the upper floor had a gable infill that then turned down into the corner boards so he would prefer that the mandate against corner boards not be applied here. He said he could support the gable window in the front reverting to how it was proposed for the last approval.

Commissioner Riggs said the architect had said there were no corner boards and yet on A13 they were aesthetically necessary on the two front gables. Mr. Kohler said he saw a problem on page A13 in that the corners on the second floor had trim around the corners and the trim below it did not have those boards shown. He said he thought boards should be added to the corners.

Replying to Vice Chair Barnes, Commissioner Onken said his motion was to approve the proposed revisions to the previously approved use permit with a condition through a conformance review process that the architect resubmit treatment to the front gable to be closer to what was previously approved. Commissioner Riggs seconded the motion.

ACTION: Motion and second (Onken/Riggs) to approve the item with the following modifications; passes 6-0-1 with Commissioner Goodhue absent.

1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.
2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.
3. Approve the use permit subject to the following **standard** conditions:
 - a. Development of the project shall be substantially in conformance with the plans prepared by Kohler Architects, consisting of 16 plan sheets, dated received March 8, 2019, and approved by the Planning Commission on September 17, 2018, except as modified by the conditions contained herein, subject to review and approval of the Planning Division.
 - b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.
 - c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
 - d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.

- e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.
- f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.
- g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the arborist report prepared by Mayne Tree Expert Company, Inc., dated received September 5, 2018.

4. Approve the project subject to the following project-specific conditions;

- a. ***Simultaneous with the submittal of a complete building permit application, the applicant shall submit revised plans of the second floor front façade gable, and stone veneer on the bottom of the first floor columns, which shall have the objective of providing enhanced elevations that are consistent with the architectural style of the previously approved building. The revised plans shall be subject to review and approval of the Planning Division. Consistent with the City's substantial conformance memo process, the Planning Division shall provide a copy of the proposed elevation to the Planning Commission for review via email through the Planning Division's Substantial Conformance Memo process. Should one or more Commissioners have questions or concerns about the proposed floor plan, the Commissioner(s) may request that the item be scheduled for a discussion at a future Planning Commission meeting.***

- F4. Use Permit and Variance/Scott Curtiss/1531 Laurel Place:
Request for a use permit to remodel and add a new second story to an existing non-conforming residence in the R-1-S (Single Family Suburban Residential) zoning district. The proposed work would exceed 50 percent of the existing replacement value in a 12-month period. Additionally, the project includes a variance request to legalize the non-conforming wall to allow the proposed eaves to encroach up to 18 inches into the required right-side setback from the existing nonconforming wall, in association with an increase of that wall's plate height. ([Staff Report #19-023-PC](#)) *Continued from the PC meeting of March 11, 2019*

Staff Comment: Planner Khan said staff had no additions to the written report.

Applicant Presentation: Lauren Goldman, L'oro Designs, project architect, said the primary goal for the proposed remodel and addition was to gain modest square footage while maximizing the use of an atypically shaped lot. She said they would maintain the footprint of the first floor and set back the second-story addition from the front yard. She said a portion of the existing first floor was nonconforming and due to how the home was placed on an oddly-shaped lot this proposal required a use permit. She said portions of the existing eaves extended beyond the allowed eave encroachment distance. She said they were proposing extending the plate height of the existing walls as allowed by zoning regulations except this request had nonconforming eaves to be

replaced due to the plate height raising. She said a variance was also requested to legalize the nonconforming wall for the purpose of rebuilding a nonconforming eave. She said the nonconforming wall would maintain existing framing while extending the plate height.

Vice Chair Barnes opened the public hearing and closed it as there were no speakers.

Commission Comment: Commissioner Onken said he thought the project was well described as a modest remodel with an unobjectionable second floor addition. He said the proposal had nice elements and was a fairly simple design without being grandiose. He said he supported the project.

Vice Chair Barnes asked about the garage door noting he would like to see some windows on that. Ms. Goldman said they were not renovating the garage but if they decided to replace the garage door, they would take his comment into consideration.

Michele Haddad, one of the property owners, said they would consider the garage door.

Commissioner Riggs said he had initial concerns with the right-side and left-side windows and privacy. He said looking at the streetscape he realized the home looked onto two garages, but the large master bedroom window looked onto the backyard of 1533. He asked about landscape planting at the property line that might restore the neighbor's privacy in the future.

Ms. Goldman confirmed he was speaking about the large window on the east side. She said there was an existing cedar tree that provided screening. She said they were proposing to maintain the existing patio so as not to impact that tree.

Commissioner Riggs moved to approve as recommended in the staff report. Vice Chair Barnes seconded the motion.

ACTION: Motion and second (Riggs/Barnes) to approve the item as recommended in the staff report; passes 6-0-1 with Commissioner Goodhue absent.

1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.
2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.
3. Make the following findings as per Section 16.82.340 of the Zoning Ordinance pertaining to the granting of the variance:
 - a. A hardship peculiar to the property and not created by any act of the current property owner exists. The subject site, is not a typical, rectangular-shaped lot, but rather a trapezoid shape with a narrow front. The combination of the irregular lot shape and the placement of the existing residence, creates a hardship.

- b. The proposed variance is necessary for the preservation and enjoyment of substantial property rights possessed by other conforming property in the same vicinity, and the variance would not constitute a special privilege of the recipient not enjoyed by neighbors. In this case the variance will allow for the existing roof, including the eaves, to be rebuilt along the right side resulting in a cohesive aesthetic for the development while fostering a usable floor plan.
 - c. The granting of the variance will not be materially detrimental to the public health, safety, or welfare, or will not impair an adequate supply of light and air to adjacent property, given that the location of the wall would remain unchanged and the variance would allow for an architecturally consistent aesthetic with regard to the proposed eaves. Further, the remodeled and expanded residence would comply with all other development regulations prescribed by the Zoning Ordinance, such as building coverage, floor area limit, daylight plane, and building height.
 - d. The conditions upon which the requested variance is based would not be applicable, generally, to other property within the same zoning classification as the lot is trapezoid shape, narrowest at the front and the existing encroachment into the required right side yard as examples of the uniqueness of this situation.
 - e. The property is not within any Specific Plan area. Hence, a finding regarding an unusual factor does not apply.
4. Approve the use permit subject to the following **standard** conditions:
- a. Development of the project shall be substantially in conformance with the plans prepared by L'oro Designs, consisting of 21 plan sheets, dated received February 27, 2018, subject to review and approval by the Planning Division.
 - b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.
 - c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
 - d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.
 - e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.

- f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.
- g. Heritage and street trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the arborist report by Kielty Arborist Service LLC, dated July 12, 2018; revised November 28, 2018.

5. Approve the use permit subject to the following **project-specific** condition:

- a. Prior to building permit issuance the contractor shall sign a letter acknowledging the nonconforming walls cannot be demolished past the framing members. The letter shall identify that if the existing nonconforming walls and other elements of the existing residence are demolished the project will need to be revised to comply with the current Zoning Ordinance requirements. The letter shall be subject to review and approval of the Planning Division in an effort to ensure that the projects within nonconforming situations do not exceed the scope of work authorized by the use permit.

F5. Use Permit/Mandy Dang/993 El Camino Real:

Request for a use permit for a full/limited service restaurant (boba tea shop) on a lot that is substandard with regard to parking in the El Camino Real/Downtown Specific Plan (SP/ECR-D) zoning district. The tenant space is vacant but was previously used for a cobbler shop. ([Staff Report #19-024-PC](#))

Applicant Presentation: Mandy Dang said they were proposing to open a boba tea shop at 993 El Camino Real and applying for a use permit due to the substandard parking. She said they hoped to get approval as their business had a fast turnover with the majority of their business being to go drinks. She said it took two minutes or less to make a drink.

Vice Chair Barnes asked staff if they had anything to add to the report. Contract Assistant Planner Ceci Conley so there were no additions.

Vice Chair Barnes confirmed the Commission had no questions of staff.

Commissioner Strehl asked the applicant where employees would park. Ms. Dang said they would be encouraged to park in the downtown public parking plaza. Replying further to Commissioner Strehl, Ms. Dang said two employees would work during the weekdays and three or four on the weekend.

Vice Chair Barnes opened the public hearing and closed it as there were no speakers.

Commission Comment: Commissioner Michael Doran said for the record that Menlo Park was in dire need of boba tea and he hoped they could help make this happen.

Commissioner Kennedy said that Posh Bagel had a boba tea machine. She said at that shop there was a high demand for boba tea, and it was quickly prepared. She said it was much quicker than the time it took for a coffee or latte to be made.

Commissioner Riggs moved to approve, and Commissioner Strehl seconded the motion.

Commissioner Onken said he was supportive of the application, but it did not include a signage application. He encouraged the applicant to do decent signage. He said this block needed its new tenants to improve signage and its presence.

ACTION: Motion and second (Riggs/Strehl) to approve the item as recommended in the staff report; passes 6-0 with Commissioner Goodhue absent.

1. Make findings with regard to the California Environmental Quality Act (CEQA) that the proposal is within the scope of the project covered by the El Camino Real/Downtown Specific Plan Program EIR, which was certified on June 5, 2012. Specifically, make findings that:
 - a. The project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current CEQA Guidelines.
 - b. Relevant mitigation measures have been incorporated into the project through the Mitigation Monitoring and Reporting Program (Attachment E), which is approved as part of this finding.
2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.
3. Approve the use permit subject to the following **standard** conditions:
 - a. Development of the project shall be substantially in conformance with the plans prepared by March Design, consisting of four sheets, dated received March 14, 2019, and the project description letter, dated received January 9, 2019, and approved by the Planning Commission on March 25, 2019, except as modified by the conditions contained herein, subject to review and approval of the Planning Division.
 - b. Prior to building permit issuance, the applicant shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
4. Approve the use permit subject to the following **project-specific** conditions:
 - a. The applicant shall address all Mitigation Monitoring and Reporting Program (MMRP) requirements as specified in the MMRP (Attachment E). Failure to meet these requirements may result in delays to the building permit issuance, stop work orders during construction, and/or fines.

- b. The City has adopted a Supplemental Transportation Impact Fee for the infrastructure required as part of the El Camino Real / Downtown Specific Plan. The fee is calculated at \$393.06 per PM peak hour vehicle trip. The proposed project is subject to a Supplemental TIF of \$3,993.49, for a total of 10 new PM peak hour trips. Payment is due before a building permit is issued and the supplemental TIF will be updated annually on July 1st along with the TIF.

G. Informational Items

G1. Future Planning Commission Meeting Schedule

Acting Principal Planner Perata said the next agenda would have two single-family residential development projects, architectural control for a commercial building on Sand Hill Road, and a conditional development permit amendment for Sharon Hills Association.

- Regular Meeting: April 8, 2019
- Regular Meeting: April 29, 2019
- Regular Meeting: May 6, 2019

Commissioner Strehl asked when the 201 El Camino Real project would come forward. Planner Perata said the project was still under review with no hearing date scheduled yet. Commissioner Strehl said that all medical office use was being rumored. Planner Perata said the applicant was still working through the commercial component and he believed that there was one component that was medical office. Commissioner Strehl confirmed with staff the proposal included residential on the top story, so it was not all medical office use.

H. Adjournment

Vice Chair Barnes adjourned the meeting at 8:08 p.m.

Staff Liaison: Kyle Perata, Acting Principal Planner

Recording Secretary: Brenda Bennett



STAFF REPORT

Planning Commission

Meeting Date: 4/8/2019
Staff Report Number: 19-025-PC

Consent Calendar: Architectural Control/Karen King/2775 Sand Hill Road

Recommendation

Staff recommends that the Planning Commission approve the architectural control request to modify the exterior of an existing office building in the C-1-C (Administrative, Professional and Research District, Restrictive) zoning district. The proposal consists of the installation of a new folding partition door and construction of a new usable outdoor patio area, in a location currently used for landscaping. As part of the project, the applicant proposes to remove one heritage sized, purple leaf plum tree. The recommended actions are included as Attachment A.

Policy Issues

Each architectural control request is considered individually. The Planning Commission should consider whether the required architectural control findings can be made for the proposal.

Background

Site location

The subject property is located at 2775 Sand Hill Road. Using Sand Hill Road in the east-west orientation, the subject property is located at the southern side of the street, between Monte Rosa Drive to the east and Interstate 280 to the west. The subject property, along with neighboring developments along Sand Hill Road, is located in the C-1-C (Administrative, Professional and Research District, Restrictive) zoning district. The property consists of an office complex, consisting of five two-story buildings (2725, 2735, 2755, 2765, and 2775 Sand Hill Road) originally built in 1996. A location map is included as Attachment B, and a data table is provided in Attachment C.

Analysis

Project description

The applicant is requesting to make exterior modifications to a portion of the southwestern façade (effectively the rear façade) of an existing two-story office building. The applicant is seeking to make a series of paving and façade improvements on the first floor exterior, and add a trellis and privacy fencing, along the rear of the building. The project plans and the applicant's project description letter are included as Attachments D and E, respectively.

The maximum permitted building coverage for the C-1-C district is 20 percent of the lot area. The current building coverage for the approximately 19-acre (or 827,640-square-foot) site is 12.5 percent, or 103,455 square feet. With the addition of the proposed trellis, the building coverage on site would increase nominally in relation to the overall lot area, by 152 square feet, maintaining a building coverage of approximately 12.5 percent. The proposed project would not increase the gross floor area (GFA) on site.

Design and materials

The proposed changes to the courtyard along the rear façade on site would include the following:

- Remove nine (9) existing clear glass windows with aluminum frames on the first floor;
- Remove portions of the existing wood siding;
- Remove two concrete columns;
- Remove two concrete bollards;
- Remove existing landscaping in the courtyard area adjacent to the building;
- Remove wood trim between front-facing windows;
- Add two nana doors along the first floor, comprised of glass, aluminum frames, and metal railings;
- Add new wood trim and siding surrounding nana doors to match the existing building;
- Add concrete paving and a cobble border to the courtyard area;
- Add two concrete gas fire pits;
- Add a concrete linear fountain;
- Add a metal planter;
- Add a six-foot tall aluminum fence and privacy gate around the perimeter of the courtyard;
- Add an outdoor porcelain kitchen counter; and
- Add a steel trellis.

As discussed earlier, the proposed changes to the courtyard would include removing and replacing windows and doors for a portion of the first floor facing the rear courtyard. Staff believes that the proposed changes are appropriate for this existing office development and would be compatible with the surrounding buildings. The proposed design elements, which include concrete, steel, and aluminum-framed windows for the nana doors along the proposed portion of the rear façade would maintain the previously approved massing of the existing building. Staff believes these changes would be consistent with the existing building aesthetic and would represent a comprehensive, cohesive aesthetic update within the area of proposed work.

Trees and landscaping

The applicant has submitted an arborist report (Attachment F) detailing the species, size, and conditions of the heritage and non-heritage trees on site. The report discusses the impacts of the proposed improvements, including temporary construction impacts, and provides recommendations for tree maintenance and the protection of some trees, based on their health. As part of the project review process, the arborist report was reviewed by the City Arborist.

The arborist report recommends the removal of one heritage sized tree, a 15-inch purple leaf plum tree, located toward the rear of the building and within the area of work. The plans also indicate six other non-heritage trees in the vicinity of the work area. The City Arborist has reviewed this proposed tree removal

and tentatively approved the removal of the purple leaf plum tree based on the following findings in the City's Heritage Tree Ordinance:

- (2) The necessity to remove the tree or trees in order to construct proposed improvements to the property; and
- (4) The long-term value of the species under consideration, particularly lifespan and growth rate.

All recommended tree protection measures identified in the arborist report shall be implemented and ensured as part of condition 3e.

Correspondence

Staff has not received any items of correspondence on the proposed project.

Conclusion

Staff believes that the scale, materials, and proposed design would be compatible with the existing office development and surrounding buildings. The proposed design elements would update the building's façades and overall design. The proposed modifications to the courtyard would be consistent with previously approved modifications within the building and would result in a comprehensive update to the façades within the courtyard. Staff recommends that the Planning Commission approve the proposed project.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Appeal Period

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

Attachments

- A. Recommended Actions
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter
- F. Arborist Report

Disclaimer

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings, and exhibits are available for public viewing at the Community Development Department.

Exhibits to Be Provided at Meeting

Color and Materials Board

Report prepared by:

Matt Pruter, Associate Planner

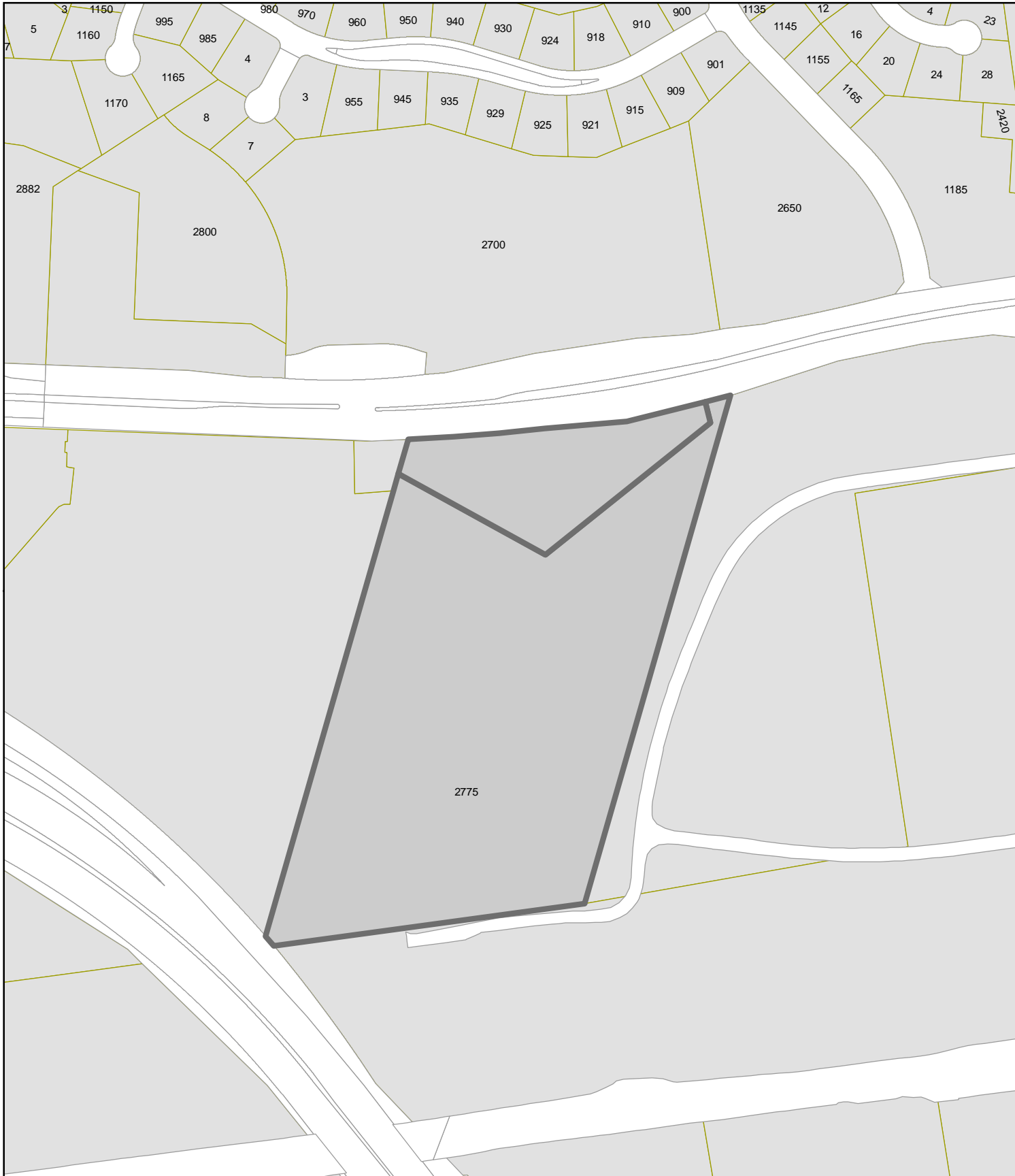
Report reviewed by:

Kyle Perata, Acting Principal Planner

LOCATION: 2775 Sand Hill Road	PROJECT NUMBER: PLN2018-00138	APPLICANT: Karen King	OWNER: Board of Trustees of the Leland Stanford, Jr. University
PROPOSAL: Request for Architectural Control to modify the exterior of an existing office building in the C-1-C (Administrative, Professional and Research District, Restrictive) zoning district. The proposal consists of the installation of a new folding partition door and construction of a new usable outdoor patio area, in a location currently used for landscaping. As part of the project, the applicant proposes to remove one heritage sized purple leaf plum tree.			
DECISION ENTITY: Planning Commission	DATE: April 8, 2019	ACTION: TBD	
VOTE: TBD (Barnes, Doran, Goodhue, Kennedy, Riggs, Strehl; Onken absent)			
<p>ACTION:</p> <ol style="list-style-type: none"> 1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, “New Construction or Conversion of Small Structures”) of the current California Environmental Quality Act (CEQA) Guidelines. 2. Adopt the following findings, as per Section 16.68.020 of the Zoning Ordinance, pertaining to architectural control approval: <ol style="list-style-type: none"> a. The general appearance of the structure is in keeping with the character of the neighborhood. b. The development will not be detrimental to the harmonious and orderly growth of the City. c. The development will not impair the desirability of investment or occupation in the neighborhood. d. The development provides adequate parking as required in all applicable City Ordinances and has made adequate provisions for access to such parking. e. The property is not within any Specific Plan area, and as such no finding regarding consistency is required to be made. 3. Approve the architectural control subject to the following standard conditions: <ol style="list-style-type: none"> a. Development of the project shall be substantially in conformance with the plans prepared by HMM, consisting of 33 plan sheets, dated received April 1, 2019, and approved by the Planning Commission on April 8, 2019, except as modified by the conditions contained herein, subject to review and approval of the Planning Division. b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies’ regulations that are directly applicable to the project. c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project. d. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division. 			

2775 Sand Hill Road – Attachment A: Recommended Actions

LOCATION: 2775 Sand Hill Road	PROJECT NUMBER: PLN2018-00138	APPLICANT: Karen King	OWNER: Board of Trustees of the Leland Stanford, Jr. University
PROPOSAL: Request for Architectural Control to modify the exterior of an existing office building in the C-1-C (Administrative, Professional and Research District, Restrictive) zoning district. The proposal consists of the installation of a new folding partition door and construction of a new usable outdoor patio area, in a location currently used for landscaping. As part of the project, the applicant proposes to remove one heritage sized purple leaf plum tree.			
DECISION ENTITY: Planning Commission	DATE: April 8, 2019	ACTION: TBD	
VOTE: TBD (Barnes, Doran, Goodhue, Kennedy, Riggs, Strehl; Onken absent)			
<p>ACTION:</p> <ul style="list-style-type: none"> e. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the arborist report prepared by McCarthy Tree Specialities, Inc., dated received December 10, 2018. 			



2775



CITY OF MENLO PARK

LOCATION MAP

2775 SAND HILL ROAD

DRAWN: TAS CHECKED: KTP DATE: 04/02/19 SCALE: 1" = 300' SHEET: 1



	PROPOSED PROJECT	EXISTING PROJECT	ZONING ORDINANCE
Lot area	19 acres	19 acres	3 acres min.
Lot width	Irregular	Irregular	200 ft. min.
Lot depth	Irregular	Irregular	200 ft. min.
Setbacks			
Front	195 ft.	195 ft.	75 ft. min.
Rear	115 ft.	115 ft.	40 ft. min.
Side (left)^	75 ft.	75 ft.	30 ft. min.
Side (right)^	190 ft.	190 ft.	30 ft. min.
Building coverage	12.5 %	12.5 %	20 % max.
FAL (Floor Area Limit)	25 %	25 %	25 % max.
Square footage by floor	104,000 sf/1st 103,000 sf/2nd 455 sf/porches 152 sf/trellis	104,000 sf/1st 103,000 sf/2nd 455 sf/porches	
Square footage of buildings	207,602 sf	207,455 sf	
Building height	35 ft.	35 ft.	35 ft. max.
Parking	828 spaces	828 spaces	828 spaces

Trees	Heritage trees	1	Non-Heritage trees*	6	New Trees	3
	Heritage trees proposed for removal	1	Non-Heritage trees proposed for removal	0	Total Number of Trees	9

* Of these 6 non-heritage trees, one is located within the area of work property and the other five trees are in the vicinity of the area of work.

LANDSCAPE ARCHITECTURAL DRAWINGS

2775 SAND HILL ROAD - SILVER LAKE

CITY OF MENLO PARK, CALIFORNIA



**SILVER LAKE
MENLO PARK, CALIFORNIA**

PLANS WERE DESIGNED BY REFERENCING:

1. GRADING PLANS PREPARED BY HMH DATED: 12/10/2018.
2. GEOTECHNICAL REPORTS PREPARED BY TRC SOLUTIONS DATED: 11/19/2018

NOTES

SOIL MANAGEMENT REPORT SHALL BE PROVIDED BY LANDSCAPE CONTRACTOR AND SOIL AMENDMENTS SHALL BE FOLLOWED PER THE REPORT. PHYSICAL COPIES OF THE SOIL MANAGEMENT REPORT SHALL BE PROVIDED TO CLIENT, PROJECT LANDSCAPE ARCHITECT AND LOCAL AGENCY AS REQUIRED. SOIL MANAGEMENT REPORT SHALL CONFORM TO STATE AB1981 WATER EFFICIENT LANDSCAPE ORDINANCE OR AGENCY ADOPTED WELD AS FOLLOWS:

(1) SUBMIT SOIL SAMPLES TO A LABORATORY FOR ANALYSIS AND RECOMMENDATIONS.

(A) SOIL SAMPLING SHALL BE CONDUCTED IN ACCORDANCE WITH LABORATORY PROTOCOL, INCLUDING PROTOCOLS REGARDING ADEQUATE SAMPLING DEPTH FOR THE INTENDED PLANTS.

(B) THE SOIL ANALYSIS MAY INCLUDE: SOIL TEXTURE, INFILTRATION RATE DETERMINED BY LABORATORY TEST OR SOIL TEXTURE INFILTRATION RATE TABLE, PH, TOTAL SOLUBLE SALTS, SODIUM, PERCENT ORGANIC MATTER, AND RECOMMENDATIONS.

(2) THE PROJECT APPLICANT, OR HIS/HER DESIGNEE, SHALL COMPLY WITH ONE OF THE FOLLOWING:

(A) IF SIGNIFICANT MASS GRADING IS NOT PLANNED, THE SOIL ANALYSIS REPORT SHALL BE SUBMITTED TO THE LOCAL AGENCY AS PART OF THE LANDSCAPE DOCUMENTATION PACKAGE, OR

(B) IF SIGNIFICANT MASS GRADING IS PLANNED, THE SOIL ANALYSIS REPORT SHALL BE SUBMITTED TO THE LOCAL AGENCY AS PART OF THE CERTIFICATE OF COMPLETION.

(3) THE SOIL ANALYSIS REPORT SHALL BE MADE AVAILABLE, IN A TIMELY MANNER, TO THE PROFESSIONALS PREPARING THE LANDSCAPE DESIGN PLANS AND IRRIGATION DESIGN PLANS TO MAKE ANY NECESSARY ADJUSTMENTS TO THE DESIGN PLANS.

(4) THE PROJECT APPLICANT, OR HIS/HER DESIGNEE, SHALL SUBMIT DOCUMENTATION VERIFYING IMPLEMENTATION OF SOIL ANALYSIS REPORT RECOMMENDATIONS TO THE LOCAL AGENCY WITH CERTIFICATE OF COMPLETION.

CONTRACTOR MUST PROVIDE AN IRRIGATION AUDIT IN ACCORDANCE WITH TITLE 23 BY THE STATE DEPARTMENT OF WATER RESOURCES SECTION 492.12, OR LOCAL AGENCY APPROVED ORDINANCE IRRIGATION AUDIT, IRRIGATION SURVEY, AND IRRIGATION WATER USE ANALYSIS PRIOR TO PROJECT ACCEPTANCE.

CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THE WORK IS COMPLETE AND IN COMPLIANCE WITH THE MOST CURRENT CODES, ORDINANCES AND REQUIREMENTS OF THE GOVERNING AGENCY. HMH IS NOT RESPONSIBLE FOR CHANGES WHICH OCCUR TO THE CODES, ORDINANCES OR REQUIREMENTS AFTER THE GOVERNING AGENCY'S APPROVAL OR DURING INSTALLATION.

CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. HMH IS NOT RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONSTRUCTION CONTRACT DOCUMENTS, NOR RESPONSIBLE FOR ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR THEIR AGENTS OR EMPLOYEES, OR OF ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.

AS REQUESTED BY THE OWNER, HMH WILL VISIT THE SITE AT INTERVALS APPROPRIATE TO THE STAGE OF CONSTRUCTION TO REVIEW THE PROGRESS AND QUALITY OF WORK AND TO DETERMINE IN GENERAL IF THE WORK IS BEING PERFORMED IN A MANNER INDICATING THAT THE WORK, WHEN COMPLETED, WILL BE IN SUBSTANTIAL CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS. HOWEVER, HMH WILL NOT MAKE EXHAUSTIVE OR CONTINUOUS ON-SITE OBSERVATIONS TO CHECK QUALITY OF THE WORK.

THERE IS NO WARRANTY OR GUARANTEE EITHER EXPRESSED OR IMPLIED BY HMH FOR THE COMPLETION OF THE WORK OR THE QUALITY OF PERFORMANCE OF THE CONSTRUCTION CONTRACTOR(S).

CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING THE CONTRACTOR'S BEST SKILL AND ATTENTION. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND FOR COORDINATING ALL PORTIONS OF THE WORK.

CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR ACTS AND OMISSIONS OF THE CONTRACTOR'S EMPLOYEES, SUBCONTRACTORS AND THEIR AGENTS AND EMPLOYEES, AND OTHER PERSONS PERFORMING PORTIONS OF THE WORK UNDER A CONTRACT WITH CONTRACTOR.

IN THE EVENT OWNER CONSENTS TO, ALLOWS, AUTHORIZES OR APPROVES OF CHANGES TO ANY PLANS, SPECIFICATIONS, OR OTHER CONSTRUCTION DOCUMENTS, AND THESE ALTERATIONS ARE NOT APPROVED IN WRITING BY HMH, OWNER RECOGNIZES THAT SUCH ALTERATION AND THE RESULTS THEREOF ARE NOT THE RESPONSIBILITY OF HMH. IN ADDITION, OWNER AGREES, TO THE FULLEST EXTENT PERMITTED BY LAW, TO INDEMNIFY AND HOLD HMH HARMLESS FROM ANY DAMAGE, LIABILITY OR COST (INCLUDING REASONABLE ATTORNEY'S FEES AND COSTS OF DEFENSE) ARISING FROM SUCH ALTERATIONS.

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES SHOWN ON THE PLANS WERE OBTAINED FROM AVAILABLE RECORDS AT THE TIME THE PLANS WERE DRAFTED AND DO NOT CONSTITUTE A REPRESENTATION AS TO THE ACCURACY OR COMPLETENESS OF THE LOCATION OR THE EXISTENCE OR NONEXISTENCE OF SUCH UTILITIES. IN NORTHERN CALIFORNIA, CONTRACTOR SHALL CONTACT UNDERGROUND SERVICES ALERT AT 1-800-642-2444 PRIOR TO PERFORMING ANY CONSTRUCTION WORK. IN OTHER AREAS, CONTRACTOR SHALL CONTACT A SIMILAR AGENCY/ORGANIZATION.

CONTRACTOR SHALL PROVIDE PROPER PROJECT MAINTENANCE AFTER THE PROJECT IS COMPLETE. ANY LACK OF OR IMPROPER MAINTENANCE MAY RESULT IN DAMAGE TO PROPERTY OR PERSONS. CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULTS OF ANY LACK OF OR IMPROPER MAINTENANCE.



VICINITY MAP

LANDSCAPE ARCHITECTURAL SCOPE

THIS PROJECT INCLUDES LANDSCAPE ENHANCEMENTS TO EXISTING OFFICE BUILDINGS AT 2775 SAND HILL ROAD, INCLUDING ENHANCED PAVING, PLANTING, A RETROFIT IRRIGATION SYSTEM, A NEW ARBOR, FIRE PITS, A LINEAR FOUNTAIN, AND NEW FURNITURE. THIS NEW AMENITY SPACE WILL HAVE DINING AND LOUNGE SEATING INTENDED TO BE USED EXCLUSIVELY BY THE TENANT.



INDEX OF DRAWINGS

SHEET	TITLE
L0.0	COVER SHEET
L0.1	AREA PLAN
L0.2	FULL SITE PLAN
C1.1	DEMOLITION PLAN
A12.02	EXISTING EXTERIOR WINDOWS
A12.03	EXTERIOR FOLDING PARTITION
L0.3	TREE PROTECTION/MITIGATION PLAN
L0.4	PATH OF TRAVEL
L0.5	TREE PROTECTION NOTES AND DETAIL
L1.1	CONSTRUCTION PLAN
L2.1 - L2.3	CONSTRUCTION DETAILS
L2.4	CONSTRUCTION NOTES, LEGEND, AND MATERIALS LIST
L2.5	CONCEPTUAL MATERIALS BOARD
L3.1	IRRIGATION PLAN
L3.2	IRRIGATION LEGEND AND NOTES
L3.3 - L3.5	IRRIGATION DETAILS
L3.6	IRRIGATION SCHEDULE AND WATER BUDGET CALCULATIONS
L4.1	PLANTING PLAN
L4.2	PLANTING LEGEND AND NOTES
L4.3	PLANTING DETAILS
L5.1 - L5.4	LANDSCAPE SPECIFICATIONS

CIVIL ENGINEERING

SHEET	TITLE
C0.1	TITLE SHEET
C0.2	ADDITIONAL NOTES
C2.1	GRADING & DRAINAGE PLAN
C3.1	BLUEPRINT FOR A CLEAN BAY

LIGHTING

SHEET	TITLE
LL-001	LANDSCAPE LIGHTING PLAN

GOVERNING AGENCY

CITY OF MENLO PARK:

701 LAUREL STREET
MENLO PARK, CA 94111
(650) 330-4500

CONSULTANTS

ARCHITECT:

GENSLER
45 FREMONT STREET, SUITE 1500
SAN FRANCISCO, CA 94105
(415) 836-4189

LANDSCAPE ARCHITECT + CIVIL ENGINEER:

HMH
1570 OAKLAND ROAD
SAN JOSE, CA 95131
(408) 487-2200

LIGHTING:

ELECTROLIGHT
328 BRYANT STREET, SUITE 3B
SAN FRANCISCO, CA 94107
(415) 549-5188

ARBORIST:

MCCARTHY TREE SPECIALTIES, INC.
1831 F. EAST BAYSHORE ROAD
REDWOOD CITY, CA 94065
(650) 367-7552

NOT FOR CONSTRUCTION

NO	DATE	DESCRIPTION
PROJECT NO:		5419.00
CAD DWG FILE:		544800C/DWG
DESIGNED BY:		JZVAN
DRAWN BY:		NA
CHECKED BY:		JZ
DATE:	MARCH 28, 2019	
SCALE:	NONE	
© HMH		

COVER SHEET

L0.0



HMH
 Land Use Entitlements
 Land Planning
 Landscape Architecture
 Civil Engineering
 Utility Design
 Land Surveying
 Stormwater Compliance

1570 Oakland Road (408) 487-2200
 San Jose, CA 95131 HMKCA.com



SILVERLAKE

**SILVER LAKE
 MENLO PARK, CALIFORNIA**

**NOT FOR
 CONSTRUCTION**

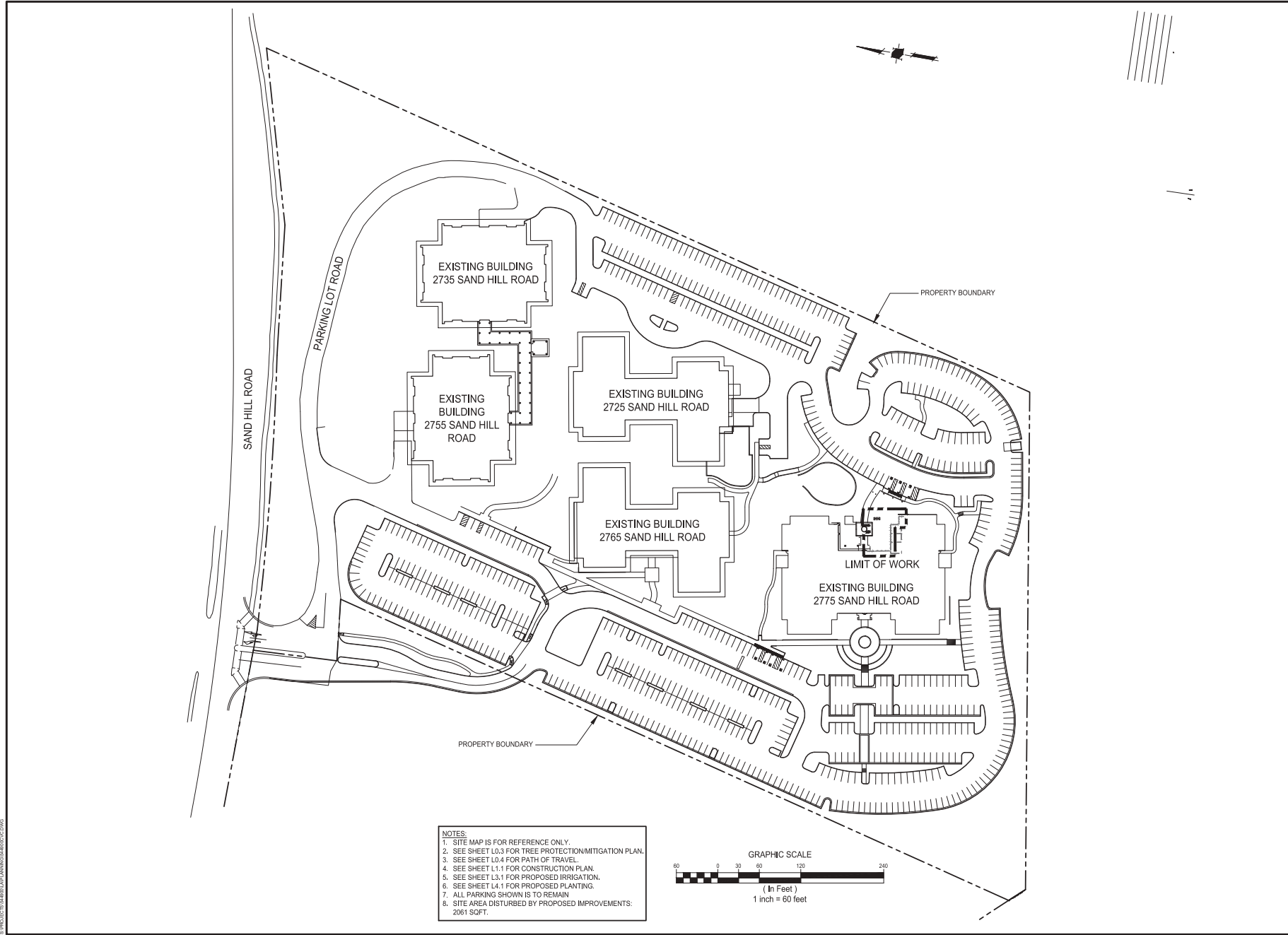
NO	DATE	DESCRIPTION
PROJECT NO:	5493.00	
CAD DWG FILE:	544600/CV.DWG	
DESIGNED BY:	JAVAN	
DRAWN BY:	NA	
CHECKED BY:	JO	
DATE:	MARCH 26, 2019	
SCALE:	1" = 40'	

AREA PLAN

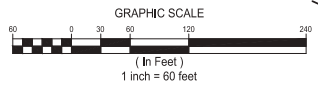
L0.1

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PLOTTED: 02/27/2019 10:17:14



- NOTES:**
1. SITE MAP IS FOR REFERENCE ONLY.
 2. SEE SHEET L0.3 FOR TREE PROTECTION/MITIGATION PLAN.
 3. SEE SHEET L0.4 FOR PATH OF TRAVEL.
 4. SEE SHEET L1.1 FOR CONSTRUCTION PLAN.
 5. SEE SHEET L3.1 FOR PROPOSED IRRIGATION.
 6. SEE SHEET L4.1 FOR PROPOSED PLANTINGS.
 7. ALL PARKING SHOWN IS TO REMAIN
 8. SITE AREA DISTURBED BY PROPOSED IMPROVEMENTS: 2061 SQFT.



HMH
 Land Use Entitlements
 Land Planning
 Landscape Architecture
 Civil Engineering
 Utility Design
 Land Surveying
 Stormwater Compliance

1570 Oakland Road (408) 487-2000
 San Jose, CA 95131 HMA@hmc.com



SILVERLAKE

**SILVER LAKE
 MENLO PARK, CALIFORNIA**

**NOT FOR
 CONSTRUCTION**

NO	DATE	DESCRIPTION
PROJECT NO:		5449.00
CAD DWG FILE:		544900/C/DWG
DESIGNED BY:		JZVAN
DRAWN BY:		NA
CHECKED BY:		JZ
DATE:		MARCH 26, 2019
SCALE:		1" = 60'

FULL SITE PLAN

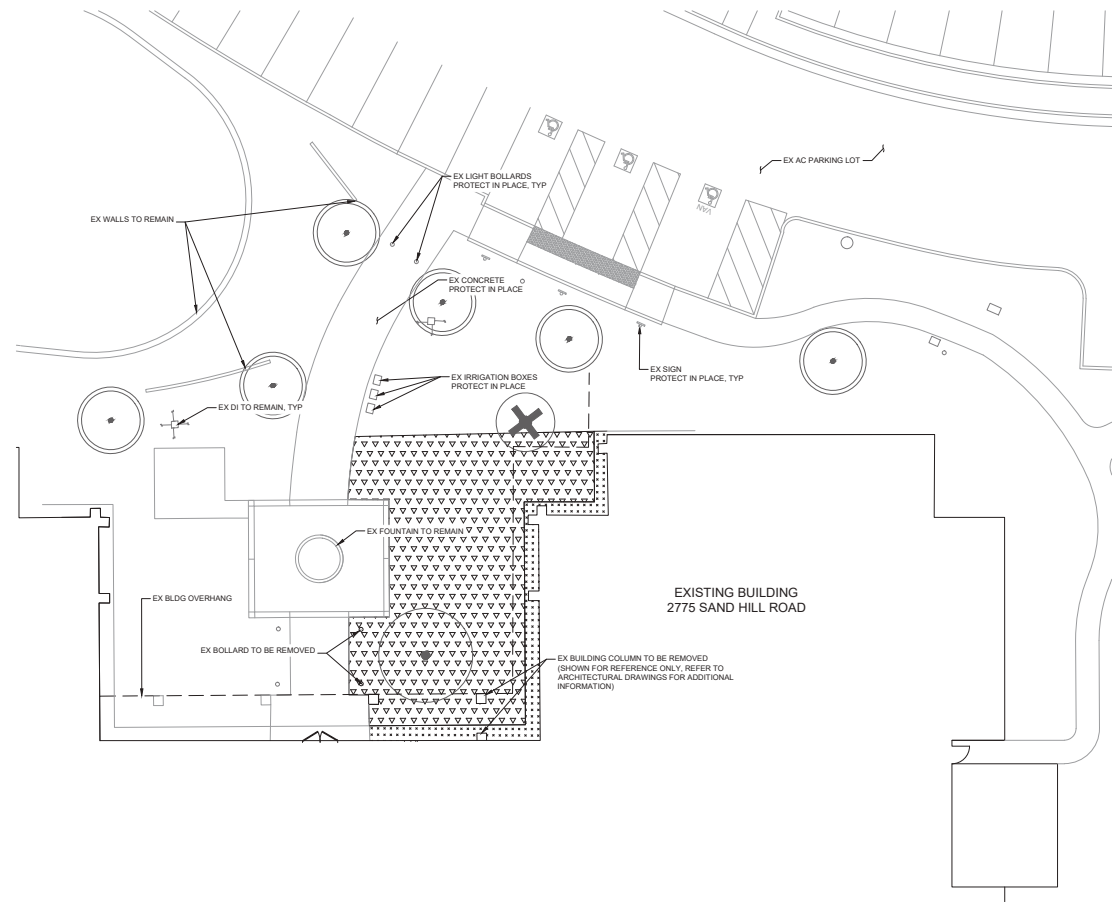
L0.2

C:\PROJECTS\5449\DWG\544900\C/DWG





PLOTTED: 2/22/2019 10:17 AM



SILVER LAKE GRADING AND DRAINAGE PLAN MENLO PARK, CALIFORNIA



DEMOLITION LEGEND:

-  REMOVE CONCRETE (CONTRACTOR TO VERIFY REMOVAL DOES NOT DIMINISH THE INTEGRITY OF THE BUILDING)
-  REMOVE LANDSCAPE
-  TREE TO REMAIN/PROTECT
-  TREE TO BE REMOVED

DEMOLITION NOTES:

1. PROTECT ALL UTILITIES IN PLACE UNLESS OTHERWISE NOTED
2. TREE REMOVAL SHOWN FOR REFERENCE ONLY. REFER TO LANDSCAPE PLANS FOR TREE REMOVAL AND MITIGATION MEASURES
3. ADDITIONAL LANDSCAPE DEMOLITION FOR REPLANTING MAY BE REQUIRED. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.

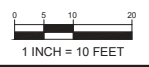
EXISTING BUILDING
2775 SAND HILL ROAD

**NOT FOR
CONSTRUCTION**

NO	DATE	DESCRIPTION

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 CAD DWG FILE: 54900-GP12 DEMO DWG
 DESIGNED BY: RPLUJ
 DRAWN BY: RPLUJ
 CHECKED BY: HMRSC
 DATE: MARCH 26, 2019
 SCALE: AS SHOWN
 © HMH

DEMOLITION PLAN



C1.1

C:\PROJECTS\54900-GP12\54900-GP12 DEMO DWG\54900-GP12 DEMO DWG.DWG

PLOTTED: 2019/03/28 10:34 AM

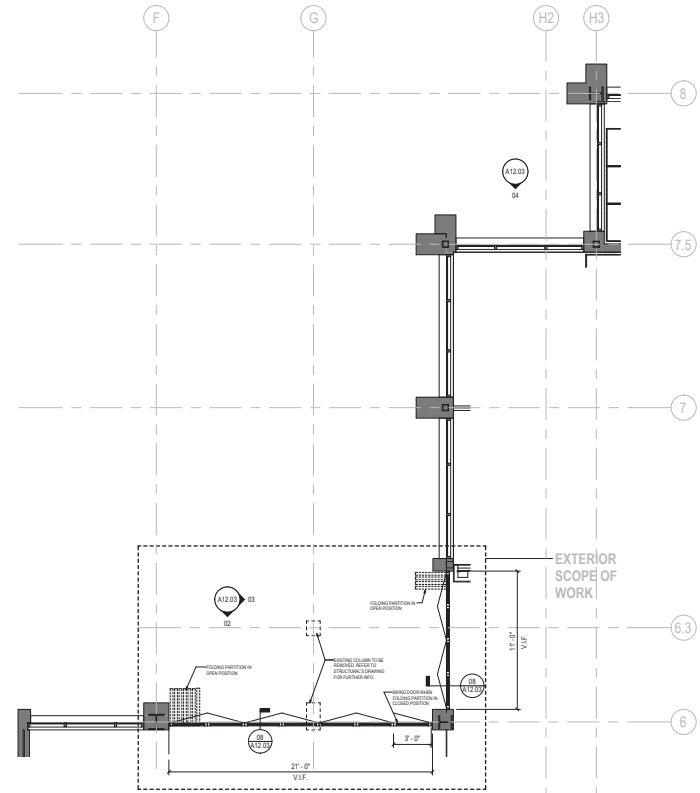
Date	Description
03/28/2019	FOLDING PARTITION COORDINATION

Seal / Signature

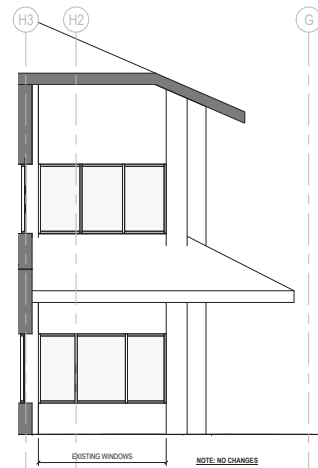
Project Name
 SLP Phase II
 Project Number
 01.2753.000
 Description
 EXTERIOR FOLDING PARTITION

Scale
 As indicated

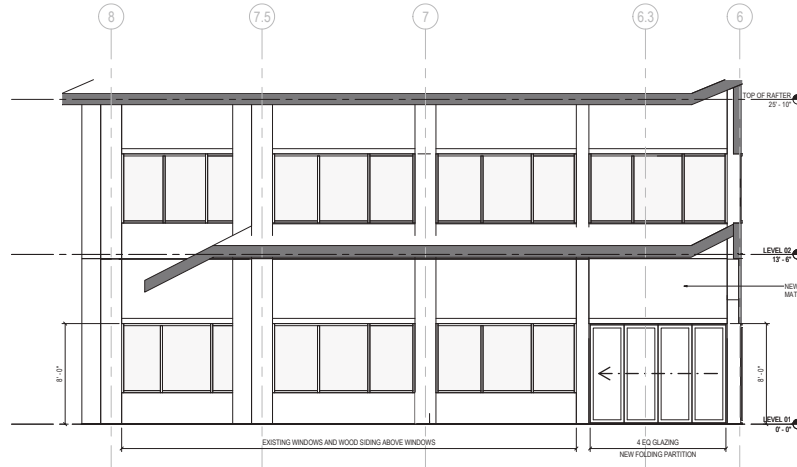
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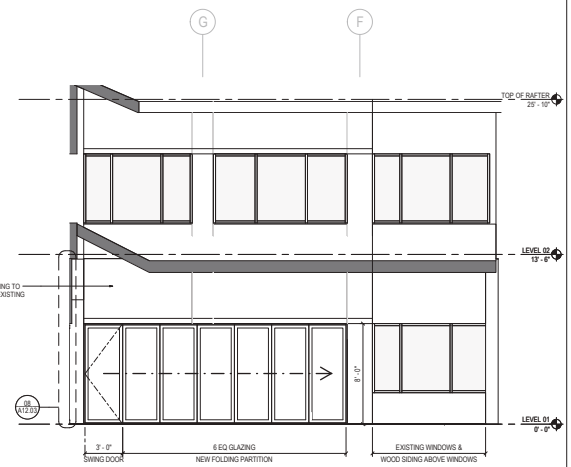
01 ENLARGED PLAN - EXTERIOR NEW FOLDING PARTITION
 SCALE: 1/8" = 1'-0"



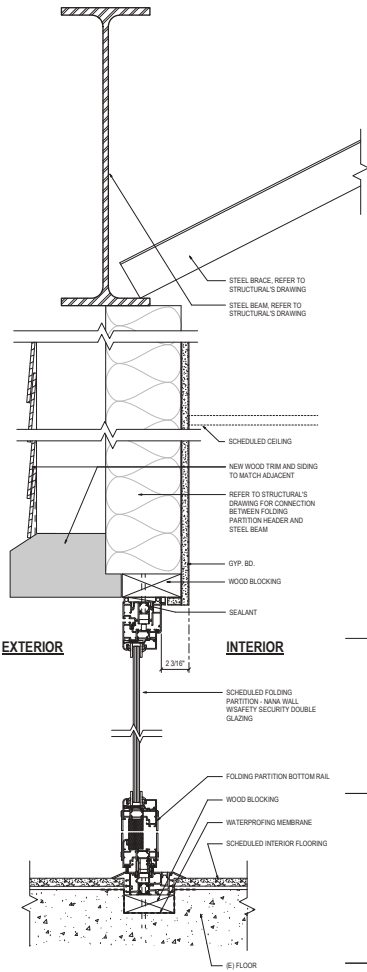
04 EXISTING EXTERIOR ELEVATION - C
 SCALE: 1/8" = 1'-0"



03 EXTERIOR NEW FOLDING PARTITION - A
 SCALE: 1/8" = 1'-0"



02 EXTERIOR NEW FOLDING PARTITION - B
 SCALE: 1/8" = 1'-0"



08 SECTION @ FOLDING PARTITION
 SCALE: 3/4" = 1'-0"



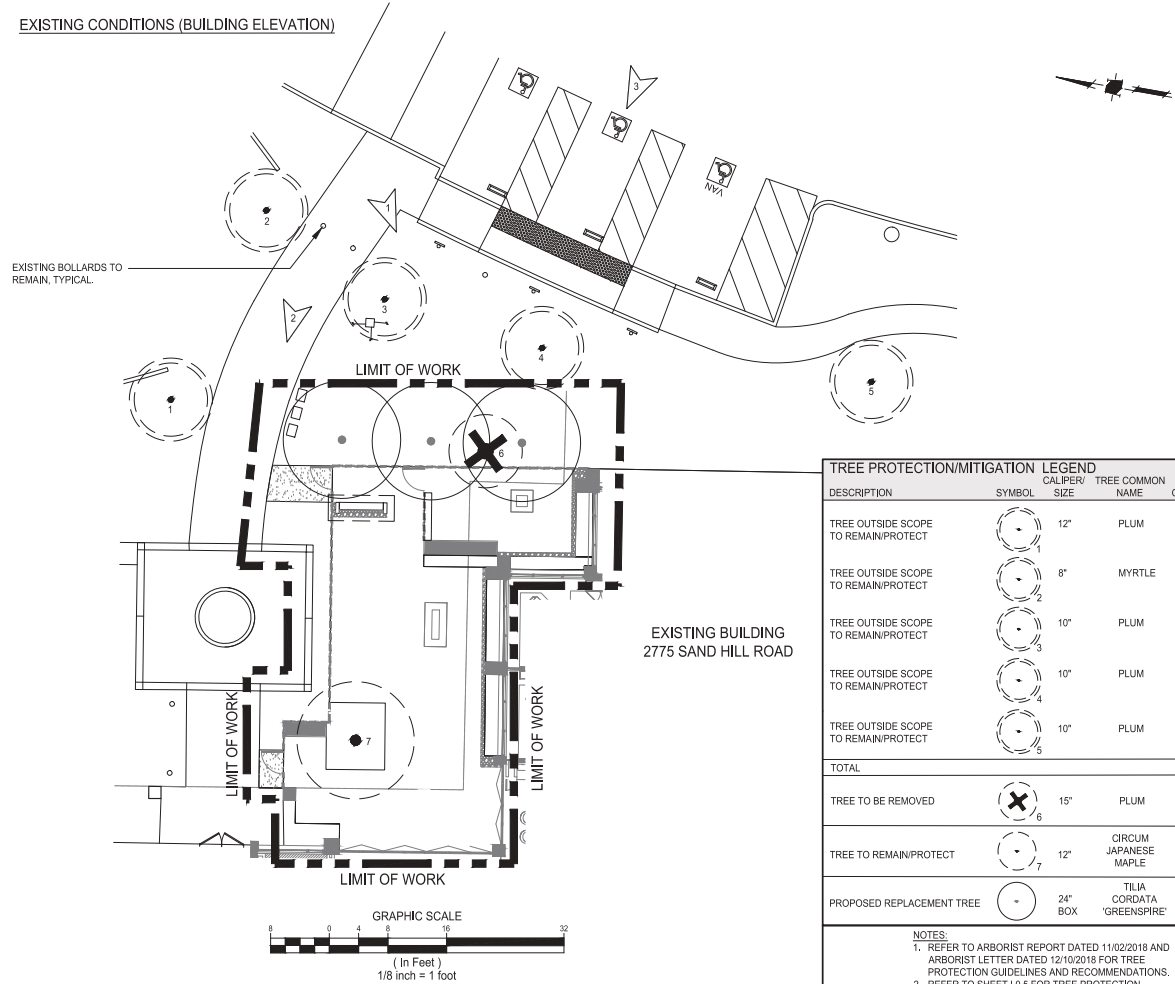
EXISTING CONDITIONS



EXISTING CONDITIONS



EXISTING CONDITIONS (BUILDING ELEVATION)



NOT FOR CONSTRUCTION

NO	DATE	DESCRIPTION
PROJECT NO.		5449.00
CAD DWG FILE:		544900/C/DWG
DESIGNED BY:		JOVAN
DRAWN BY:		NA
CHECKED BY:		JP
DATE:		MARCH 26, 2019
SCALE:		1/8" = 1'-0"

TREE PROTECTION / MITIGATION PLAN

L0.3

© PREPARED BY HMMH/CAD/CIVIL/ARCHITECTURE

PLOTTED: 02/27/2019 10:17AM



**SILVER LAKE
 MENLO PARK, CALIFORNIA**

**NOT FOR
 CONSTRUCTION**

NO	DATE	DESCRIPTION
PROJECT NO:	5449.00	
CAD DWG FILE:	544900/CV.DWG	
DESIGNED BY:	JAVAN	
DRAWN BY:	NA	
CHECKED BY:	JP	
DATE:	MARCH 26, 2019	
SCALE:	1/8" = 1'-0"	

PATH OF TRAVEL

L0.4

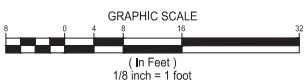
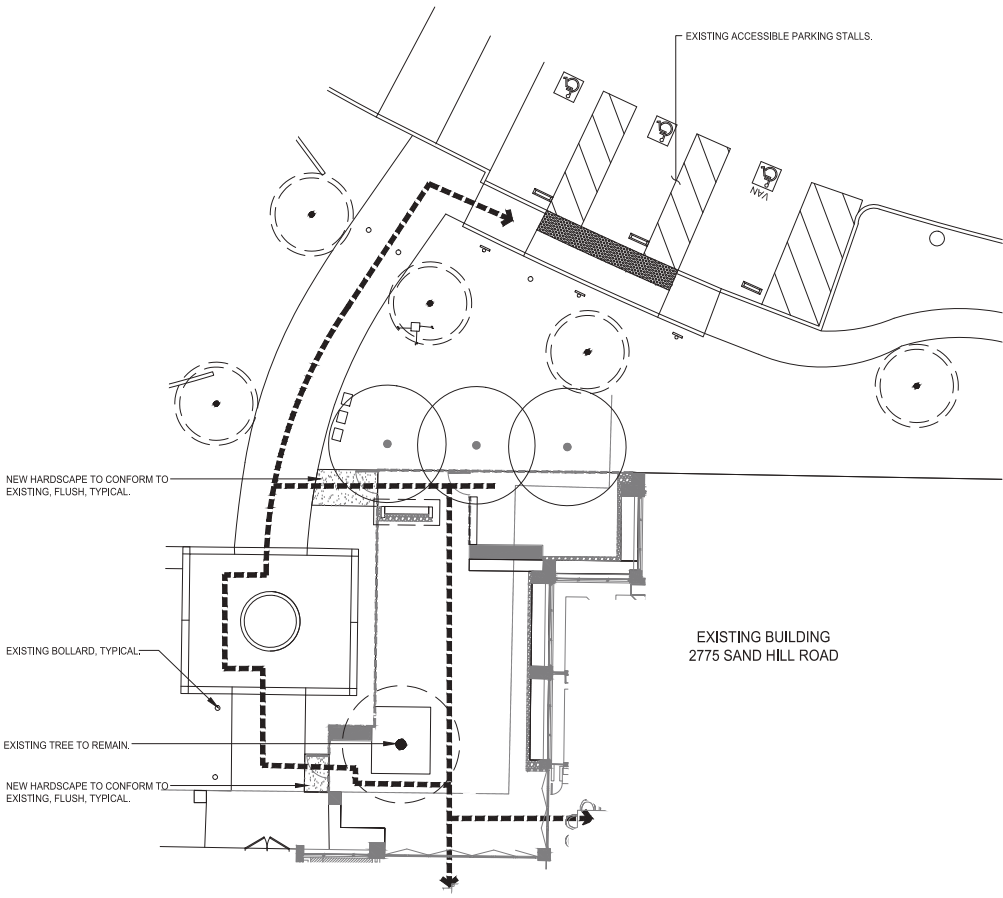


EXHIBIT LEGEND	SYMBOL
DESCRIPTION	
PATH OF TRAVEL	---
NOTES:	
1. OCCUPANCY LOAD = 80	
2. EGRESS SHALL CONFORM TO ACCESSIBILITY REQUIREMENTS.	
3. ALL GATES SHALL MEET ACCESSIBILITY AND CODE REQUIREMENTS. SEE SHEETS CONSTRUCTION DETAILS.	
4. SEE SHEET L1.1 FOR CONSTRUCTION PLAN.	
5. SEE SHEET L2.1, L2.2 FOR CONSTRUCTION DETAILS.	
6. SEE SHEET L3.1 FOR IRRIGATION PLAN.	
7. SEE SHEET L4.1 FOR PLANTING PLAN.	

C:\PROJECTS\5449\SILVERLAKE\MENLO\544900\CAD\DWG

PLOTTED: 2/27/2019 10:17 AM

TREE PROTECTION NOTES

SITE PREPARATION: ALL EXISTING TREES SHALL BE FENCED OFF WITHIN, AT OR OUTSIDE THE DRIP LINE (FOLIAR SPREAD) OF THE TREE USING THE FOLLOWING FORMULA: TWELVE INCHES IN DISTANCE FROM THE TRUNK FOR EVERY INCH IN TRUNK DIAMETER, MEASURED 2.0 FEET ABOVE THE AVERAGE GROUND LEVEL. EXAMPLE: A 24 INCH DIAMETER TREE WOULD HAVE A FENCE ERECTED 24 FEET FROM THE BASE OF THE TREE ($24 \times 12 = 288 / 12 = 24$). THE FENCE SHOULD BE A MINIMUM OF SIX FEET HIGH, MADE OF WIRE WITH STEEL STAKES, SUCH AS CYCLONE FENCING. IF THE FENCE IS WITHIN THE DRIP LINE OF THE TREES, EVERY ATTEMPT SHOULD BE MADE TO RELOCATE THE FENCE OUTSIDE THE DRIP LINE OF THE TREE. IF NOT POSSIBLE, THE TREE SHALL BE PRUNED TO REDUCE THE CHANCE OF LIMB BREAKAGE FROM CONSTRUCTION EQUIPMENT ENCRACING WITHIN THE DRIP LINE. ALL CONTRACTORS, SUBCONTRACTORS AND OTHER PERSONNEL SHALL BE WARNED THAT ENCRACEMENT WITHIN THE FENCED AREA IS FORBIDDEN WITHOUT THE CONSENT OF THE CERTIFIED ARBORIST ON THE JOB. THIS INCLUDES, BUT IS NOT LIMITED TO, STORAGE OF LUMBER AND OTHER MATERIALS, DISPOSAL OF PAINTS, SOLVENTS OR OTHER NOXIOUS MATERIALS, PARKED CARS, GRADING EQUIPMENT OR OTHER HEAVY EQUIPMENT. PENALTIES, BASED ON THE COST OF REMEDIAL REPAIRS AND THE EVALUATION GUIDE PUBLISHED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE, SHALL BE ASSESSED FOR DAMAGES TO THE TREES.

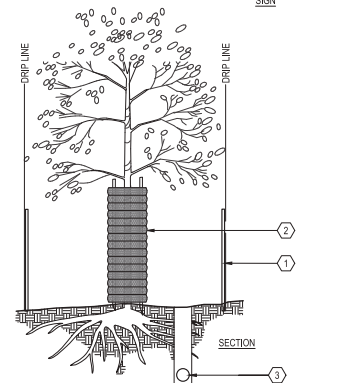
GRADING/EXCAVATING: ALL GRADING PLANS THAT SPECIFY GRADING WITHIN THE DRIP LINE OF ANY TREE, OR WITHIN THE DISTANCE FROM THE TRUNK AS OUTLINED IN SECTION I WHEN SAID DISTANCE IS OUTSIDE THE DRIP LINE, SHALL FIRST BE REVIEWED BY THE CERTIFIED ARBORIST. PROVISIONS FOR AERATION, DRAINAGE, PRUNING, TUNNELING BENEATH ROOTS, ROOT PRUNING OR OTHER NECESSARY ACTIONS TO PROTECT THE TREES SHALL BE OUTLINED BY THE ARBORIST. IF TRENCHING IS NECESSARY WITHIN THE AREA AS DESCRIBED ABOVE, SAID TRENCHING SHALL BE UNDERTAKEN BY HAND LABOR. ALL ROOTS 2 INCHES OR LARGER SHALL BE TUNNELED UNDER AND OTHER ROOTS SHALL BE CUT SMOOTHLY TO THE TRUNK SIDE OF THE TRENCH. THE TRUNK SIDE SHOULD BE DRAPED IMMEDIATELY WITH TWO LAYERS OF UNTREATED BURLAP TO A DEPTH OF 3 FEET FROM THE SURFACE. THE BURLAP SHALL BE SOAKED NIGHTLY AND LEFT IN PLACE UNTIL THE TRENCH IS BACK FILLED TO THE ORIGINAL LEVEL. THE ARBORIST SHALL EXAMINE THE TRENCH PRIOR TO BACK FILLING TO ASCERTAIN THE NUMBER AND SIZE OF ROOTS CUT, SO AS TO SUGGEST THE NECESSARY REMEDIAL REPAIRS.

REMEDIAL REPAIRS: THE ARBORIST ON THE JOB SHALL HAVE THE RESPONSIBILITY OF OBSERVING ALL ONGOING ACTIVITIES THAT MAY AFFECT THE TREES, AND PRESCRIBING NECESSARY REMEDIAL WORK TO INSURE THE HEALTH AND STABILITY OF SAID TREES. THIS INCLUDES, BUT IS NOT LIMITED TO, ALL ARBORIST ACTIVITIES BROUGHT OUT IN SECTIONS I AND II. IN ADDITION, PRUNING, AS OUTLINED IN THE "PRUNING STANDARDS" OF THE WESTERN CHAPTER OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE, SHALL BE PRESCRIBED AS NECESSARY. FERTILIZING, AERATION, IRRIGATION, PEST CONTROL AND OTHER ACTIVITIES SHALL BE PRESCRIBED ACCORDING TO THE TREE NEEDS, LOCAL SITE REQUIREMENTS, AND STATE AGRICULTURAL PEST CONTROL LAWS. ALL SPECIFICATIONS SHALL BE IN WRITING. FOR PEST CONTROL OPERATIONS, CONSULT THE LOCAL COUNTY AGRICULTURAL COMMISSIONERS OFFICE FOR INDIVIDUALS LICENSED AS PEST CONTROL ADVISORS OR PEST CONTROL OPERATORS.

FINAL INSPECTION: UPON COMPLETION OF THE PROJECT, THE ARBORIST SHALL REVIEW ALL WORK UNDERTAKEN THAT MAY IMPACT THE EXISTING TREES. SPECIAL ATTENTION SHALL BE GIVEN TO CUTS AND FILLS, COMPACTING, DRAINAGE, PRUNING AND FUTURE REMEDIAL WORK. THE ARBORIST SHOULD SUBMIT A FINAL REPORT IN WRITING OUTLINE THE ONGOING REMEDIAL CARE FOLLOWING THE FINAL INSPECTION.

NOTES:

1. PROTECTION FOR TREES SHALL BE PROVIDED BEFORE GRADING OR OTHER EQUIPMENT IS ALLOWED ON THE PROPERTY. WHEN CONSTRUCTION IS TO TAKE PLACE BENEATH A TREE CANOPY FENCING SHALL BE LOCATED PER ARBORIST. IF CONSTRUCTION OR PAVING IS TO TAKE PLACE THROUGHOUT THE AREA BENEATH CANOPY, AND DRIP LINE FENCING IS NOT PRACTICAL, WATTLE AND SNOW FENCING SHOULD BE USED TO PROTECT THE TRUNKS FROM DAMAGE PER DETAIL.
 2. PRUNING MAY BE NECESSARY TO FACILITATE REMOVAL OF DEAD WOOD, CONFLICT WITH NEW STRUCTURE, OR REDUCE STRESS AND SHALL BE CARRIED OUT BY A QUALIFIED ARBORIST.
 3. CONSULT WITH ARBORIST TO DETERMINE FERTILIZING AND WATERING SCHEDULE FOR EXISTING TREES PRIOR TO CONSTRUCTION TO REDUCE SHOCK AND STRESS.
 4. ONLY TREES WITHIN THE LIMITS OF GRADING OR ADJACENT TO CONSTRUCTION STAGING AREAS AND CONSTRUCTION ACCESS AREAS SHALL RECEIVE TREE PROTECTION.
- ① FENCE THE PERIMETER OF DRIP LINE WITH 6' HIGH CHAIN LINK FENCE. SECURE ONE SIGN PER ZONE AS DETAILED BELOW OR APPROVED EQUAL TO FENCE WITH WIRE TIES.
 - ② WHERE PROTECTIVE FENCING CAN NOT BE INSTALLED AT THE DRIP LINE OF THE TREE OR WHEN FENCING IS REMOVED FOR CONSTRUCTION, INSTALL LODGE POLE POSTS (4 PER TREE) AROUND TREE AND WRAP TRUNK IN STRAW WADDLE THEN ORANGE SNOW FENCING TO BRANCHING STRUCTURE.
 - ③ CONTRACTOR SHALL CONSULT WITH ARBORIST FOR METHODS OF TRENCHING FOR INSTALLATION FOR UTILITIES WITHIN ROOTZONE.



TREE PROTECTION DETAIL
SCALE: NONE



SILVER LAKE
MENLO PARK, CALIFORNIA

NOT FOR CONSTRUCTION	
NO	DATE
DESCRIPTION	

PROJECT NO.	5419.00
CAD DWG FILE:	544600/CV.DWG
DESIGNED BY:	JOVAN
DRAWN BY:	NA
CHECKED BY:	JP
DATE:	MARCH 26, 2019
SCALE:	1/8" = 1'-0"

TREE PROTECTION NOTES AND DETAIL

L0.5



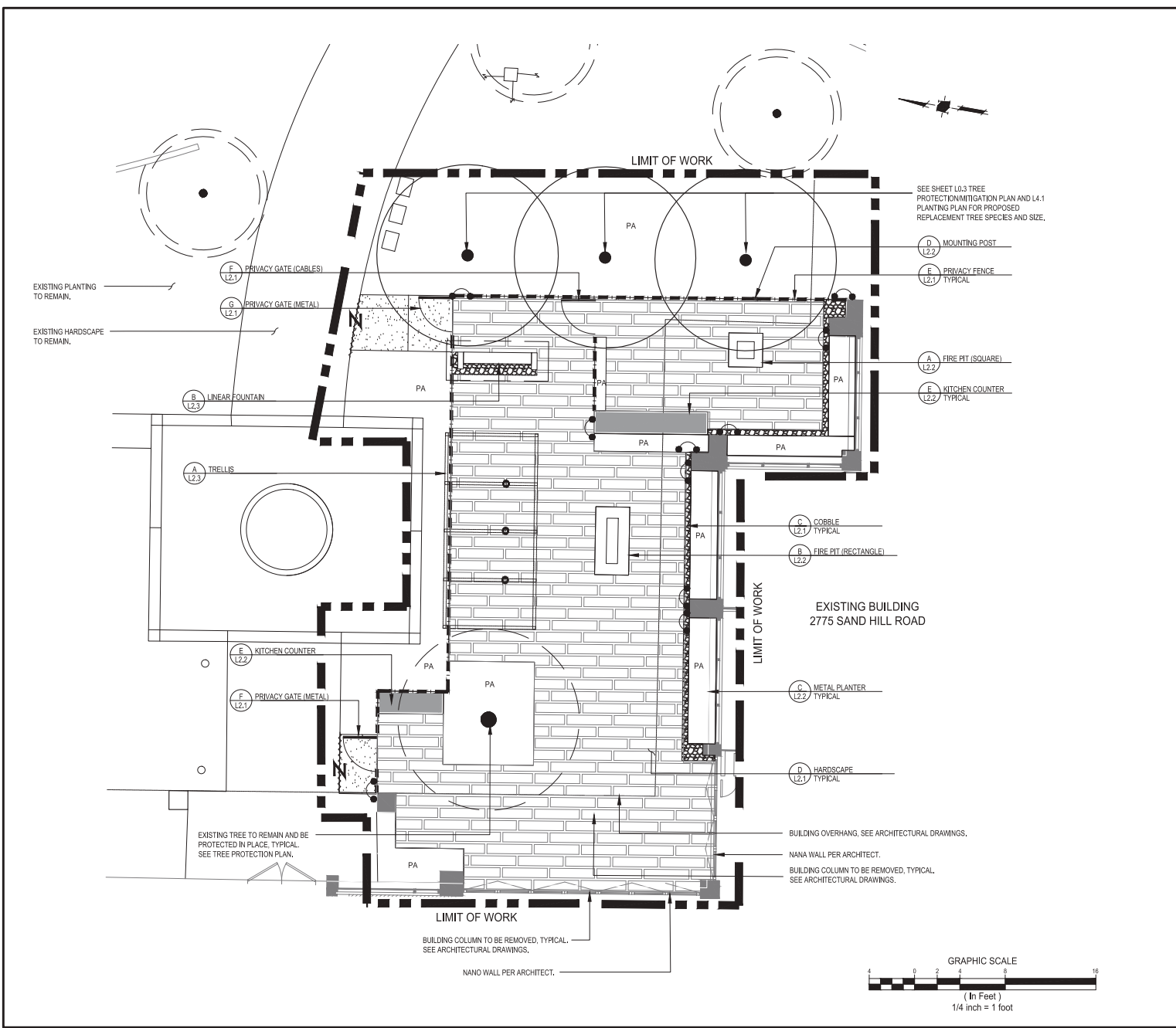
**SILVER LAKE
 MENLO PARK, CALIFORNIA**

NOT FOR CONSTRUCTION

NO	DATE	DESCRIPTION
PROJECT NO:	5449.00	
CAD DWG FILE:	544900LCC.DWG	
DESIGNED BY:	JZVAN	
DRAWN BY:	NA	
CHECKED BY:	JZ	
DATE:	MARCH 26, 2019	
SCALE:	1" = 10'	

CONSTRUCTION PLAN

L1.1



DETAIL	DESCRIPTION	SYMBOL
	EQUAL	EQ
	FACE OF BUILDING	FOB
	PLANTING AREA	PA
	TYPICAL	TYP
	ALIGN	CL
	CENTERLINE	CL
	MEET FLUSH	Z
	DOWN LIGHT (FOR REFERENCE ONLY)	DL
A L2.1	CONCRETE PAVING	[Symbol]
B L2.1	HARDSCAPE	[Symbol]
C L2.1	COBBLE	[Symbol]
B L2.1	EXPANSION JOINT	[Symbol]
B L2.1	1/4" TOOLED CONTROL JOINT	[Symbol]
E L2.1	PRIVACY FENCE	[Symbol]
L2.1	PRIVACY GATE (METAL)	[Symbol]
L2.1	PRIVACY GATE (CABLES)	[Symbol]
L2.2	METAL PLANTER	[Symbol]

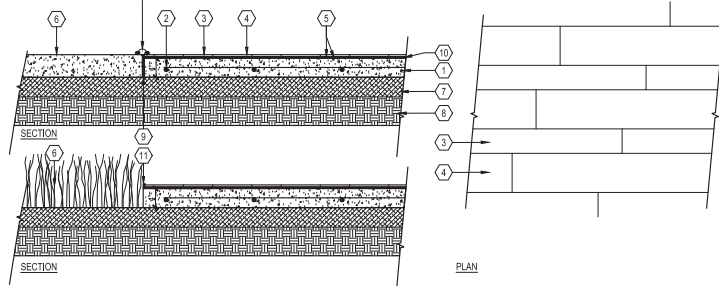
- NOTES:**
- SEE SHEET L2.1-L2.3 FOR CONSTRUCTION DETAILS.
 - SEE SHEET L2.4 FOR CONSTRUCTION NOTES AND MATERIALS LIST.
 - LOCATE EXPANSION JOINTS ADJACENT TO ALL STRUCTURES (BUILDINGS, WALLS AND STEPS) AND AT 12' MAXIMUM SPACING. COORDINATE WITH PROJECT LANDSCAPE ARCHITECT PRIOR TO LAYING OUT ALL EXPANSION JOINTS IN FIELD.
 - CONTRACTOR TO PROVIDE AND COORDINATE ALL ELECTRICAL SUPPLY AND CONTROLS FOR ALL LIGHTING AND OUTLETS. PULL BOXES SHALL BE LOCATED IN PLANTING AREA 18" MIN. AWAY FROM ADJACENT PAVING.

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PLOTTED: 2/22/2019 10:57 AM

NOTES:
1. REFER TO MATERIALS LIST FOR COLOR, TYPE AND FINISH.

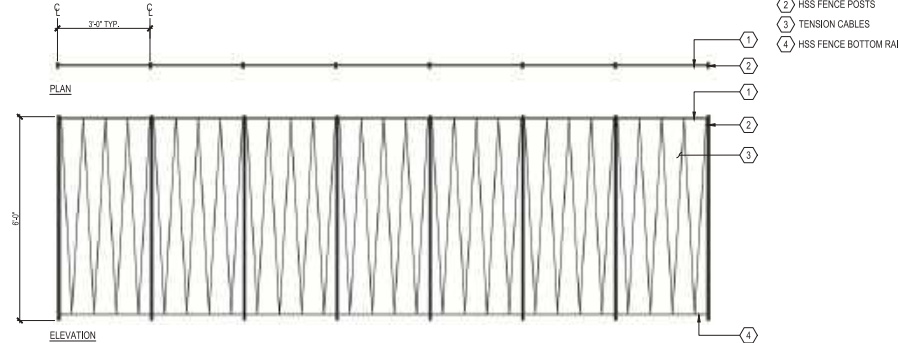
*FINISH SURFACE ELEVATIONS TO BE EQUAL.



- 1 POURED IN PLACE CONCRETE DEEP CURB
- 2 REBAR #4 @ 16" O.C. EACH WAY WITH 3" CLEAR
- 3 6' X 35' PORCELAIN TILE
- 4 9' X 35' PORCELAIN TILE
- 5 MORTAR BED
- 6 ADJACENT PAVING OR PLANTING, SEE PLAN
- 7 4" CLASS 2 AGGREGATE BASE COMPACTED PER GEOTECH RECOMMENDATIONS,
- 8 CERTIFIED COMPACTED SUBGRADE
- 9 EXPANSION JOINT PER DETAIL B, THIS SHEET. SEALER COLOR SHALL MATCH ADJACENT PAVING.
- 10 ANTI-FRACTURE MEMBRANE
- 11 SCHLUTER STRIP INSTALL PER MANUFACTURER'S RECOMMENDATIONS

D PORCELAIN WOOD TILE
SCALE: 1"=1'-0"

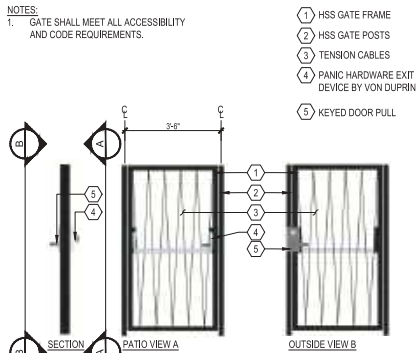
NOTES:
1. SEE MATERIALS LIST FOR FINISH AND COLOR.



- 1 HSS FENCE TOP RAIL
- 2 HSS FENCE POSTS
- 3 TENSION CABLES
- 4 HSS FENCE BOTTOM RAIL

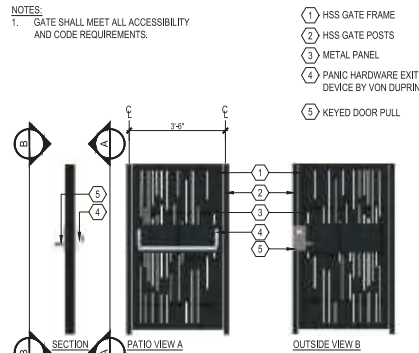
E PRIVACY FENCE
SCALE: NTS

NOTES:
1. GATE SHALL MEET ALL ACCESSIBILITY AND CODE REQUIREMENTS.



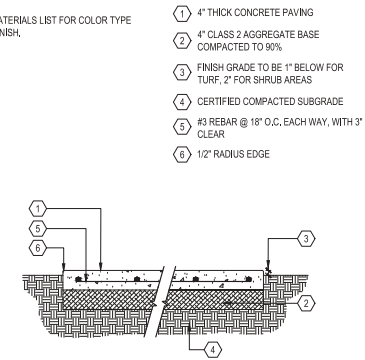
G PRIVACY GATE (CABLES)
SCALE: NTS

NOTES:
1. GATE SHALL MEET ALL ACCESSIBILITY AND CODE REQUIREMENTS.



F PRIVACY GATE (METAL)
SCALE: NTS

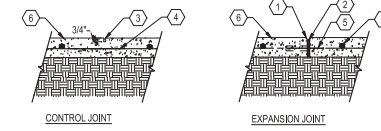
NOTES:
1. SEE MATERIALS LIST FOR COLOR TYPE AND FINISH.



A CONCRETE PAVING (PEDESTRIAN)
SCALE: 1"=1'-0"

NOTES:
1. SEE MATERIALS LIST FOR COLOR, TYPE AND FINISH.
2. CONTROL JOINTS SHALL BE PROVIDED AS SHOWN ON THE PLANS AND WITH A MAXIMUM SPACING OF 8' O.C. EXPANSION JOINTS SHALL BE AS SHOWN ON PLANS WITH A MAXIMUM SPACING OF 12' O.C.

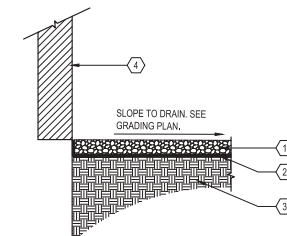
- 1 1/2" RADIUS EDGE
- 2 12"X3" POLYFELT EXPANSION JOINT (TYPICAL), TOP WITH 2 PART SELF-LEVELING SEALER TO MATCH CONCRETE COLOR
- 3 TOOLED OR SAW CUT CONTROL JOINT 3/4" DEEP
- 4 REINFORCEMENT PER PAVING DETAIL
- 5 12" SMOOTH DOWEL, SLEEVE OR GREASE ONE END, FOR SIDEWALKS UP TO 8' WIDE USE 2 EQUALLY SPACED DOWELS PER EXPANSION JOINT, FOR FLAT WORK GREATER THAN 8' WIDE AND AT CURBS SPACE DOWELS AT 36" O.C. AT EXPANSION JOINT.
- 6 CONCRETE PAVING, SEE CONCRETE PAVING DETAIL



B PAVING JOINTS (PEDESTRIAN)
SCALE: 1"=1'-0"

NOTE:
1. SEE MATERIALS LIST FOR COLOR, TYPE AND FINISH.

- 1 4" COBBLE
- 2 GEOTEXTILE FABRIC
- 3 CERTIFIED COMPACTED SUBGRADE
- 4 BUILDING OR ADJACENT PLANTER, SEE PLANS FOR LOCATION.



C COBBLE
SCALE: 1"=1'-0"



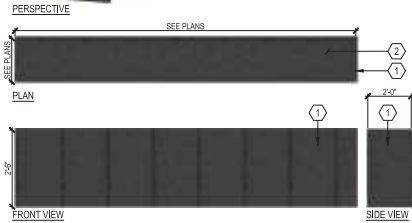
SILVER LAKE
MENLO PARK, CALIFORNIA

NOT FOR CONSTRUCTION	
NO.	DESCRIPTION
PROJECT NO.	5419.00
CAD DWG FILE:	544000SC.DWG
DESIGNED BY:	JVAN
DRAWN BY:	NA
CHECKED BY:	JP
DATE:	MARCH 26, 2019
SCALE:	AS SHOWN
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CONSTRUCTION DETAILS

L2.1

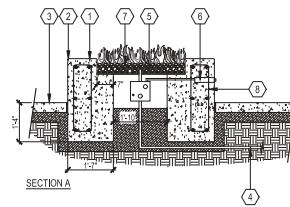
NOTES:
1. SEE MATERIALS LIST FOR FINISH AND COLOR.



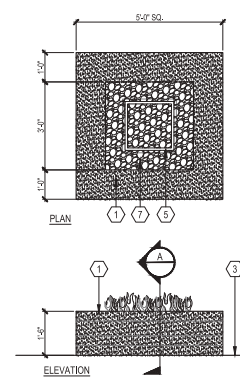
C METAL PLANTER
SCALE: NTS

- 1 METAL PLANTER
- 2 PLANTING AREA

NOTES:
1. SEE MATERIALS LIST FOR COLOR, TYPE AND FINISH

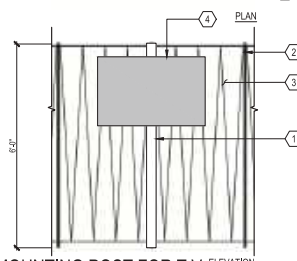
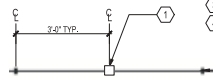


A FIRE PIT (SQUARE)
SCALE: NTS



- 1 P.I.P. CONCRETE FIRE PIT WITH HORIZONTAL BOARD FORM FINISH. NOTCH AS SHOWN TO ACCOMMODATE FIRE PIT INSERT AND PAN. VERIFY DIMENSIONS OF FIRE COMPONENTS AHEAD OF FORM WORK
- 2 1/2" RADIUS AT ALL EDGES, TYPICAL
- 3 ADJACENT PAVING PER PLAN
- 4 NATURAL GAS SUPPLY LINE, LOCATION AND SIZE PER PLUMBING CONSULTANT
- 5 24" SQUARE PAN WITH 18" SQUARE FIRE PIT RING INSERT WITH ELECTRONIC IGNITION FROM HEARTH PRODUCTS CONTROLS. INCLUDES STAINLESS STEEL PAN, BURNER AND VALVE
- 6 AUTOMATED ELECTRIC IGNITION SYSTEM AND AUTOMATIC SHUT-OFF TIMER SET INTO CONCRETE. LOCATE AT SAME LOCATION ON EACH FIRE PIT
- 7 RECYCLED GLASS SUPPORTED BY STAINLESS PAN, PROVIDE 2" MIN. COVER OVER BURNER
- 8 REBAR #4 @ 16" O.C. EACH WAY. MAINTAIN 3" CLEAR, TYPICAL

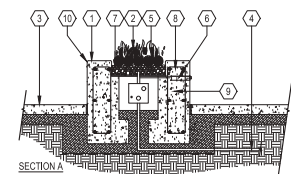
NOTES:
1. SEE MATERIALS LIST FOR FINISH AND COLOR.



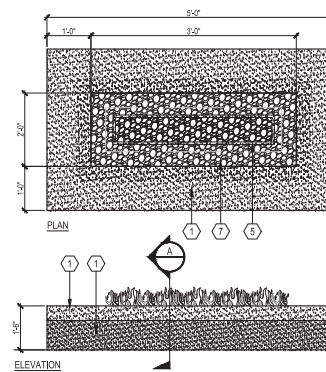
D MOUNTING POST FOR T.V.
SCALE: NTS

- 1 HSS MOUNTING POST
- 2 FENCE, SEE DETAIL.
- 3 TENSION CABLES
- 4 OUTDOOR TV MOUNTED ON POST. SHOWN FOR REFERENCE ONLY.

NOTES:
1. SEE MATERIALS LIST FOR COLOR, TYPE AND FINISH

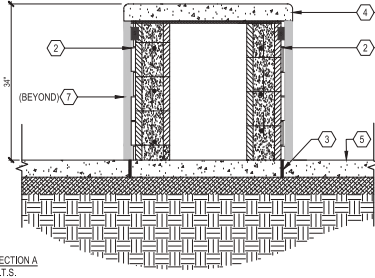


B FIRE PIT (RECTANGLE)
SCALE: NTS

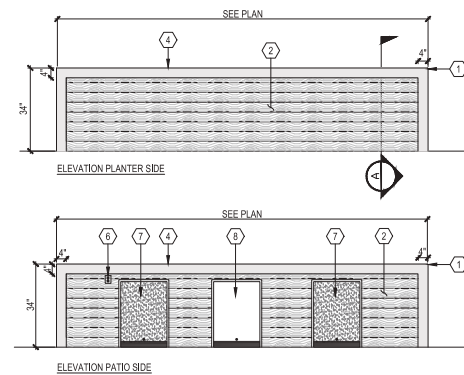
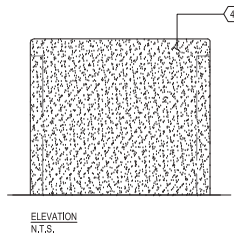


- 1 P.I.P. CONCRETE FIRE PIT TOP AND WALL WITH ARDEX FINISH
- 2 CONCRETE FIRE BALLS
- 3 ADJACENT PAVING PER PLAN
- 4 NATURAL GAS SUPPLY LINE, LOCATION AND SIZE PER PLUMBING CONSULTANT
- 5 2'-6" X 7' RECTANGLE FIRE PIT INSERT WITH ELECTRONIC IGNITION FROM HEARTH PRODUCTS CONTROLS. INCLUDES STAINLESS STEEL PAN, BURNER AND VALVE
- 6 AUTOMATED ELECTRIC IGNITION SYSTEM AND TIMER WITH DECORATIVE COVER PLATE MOUNTED UNDER FIRE PIT TOP
- 7 RECYCLED GLASS, PROVIDE 2" MIN. COVER OVER BURNER
- 8 REBAR #4 @ 16" O.C. EACH WAY WITH 3" CLEAR, TYPICAL
- 9 REBAR #4 @ 16" O.C. VERTICAL CONTINUOUS. ALTERNATING HOOKS INTO FOOTING AS SHOWN
- 10 1/2" RADIUS AT ALL EDGES, TYPICAL

NOTES:
1. SEE MATERIALS LIST FOR COLOR TYPE AND FINISH.
2. CONTRACTOR TO ENSURE ELECTRICAL CONNECTION WITHIN BAR SO ALL CORDS ARE HIDDEN.



E KITCHEN COUNTER
SCALE: 1/2"=1'-0"



- 1 1/2" CHAMFER ALL BOARDFORM VERTICAL CORNERS, TYPICAL
- 2 PORCELAIN TILE FASCIADE
- 3 EXPANSION JOINT
- 4 4" THICK POURED IN PLACE POLISHED AND SEALED CONCRETE COUNTER AND ISLAND SIDES WITH #4 REBAR AT 12" O.C. E.W. AND 1/2" RADIUS ON ALL SIDES
- 5 ADJACENT PAVING OR PLANTING
- 6 ELECTRICAL OUTLET
- 7 REFRIGERATOR BY OWNER, WITHIN KITCHEN COUNTER. CONTRACTOR TO ENSURE ELECTRICAL CONNECTION WITHIN BAR SO ALL CORDS ARE HIDDEN
- 8 TRASH RECEPTACLE BY OWNER, WITHIN KITCHEN COUNTER.

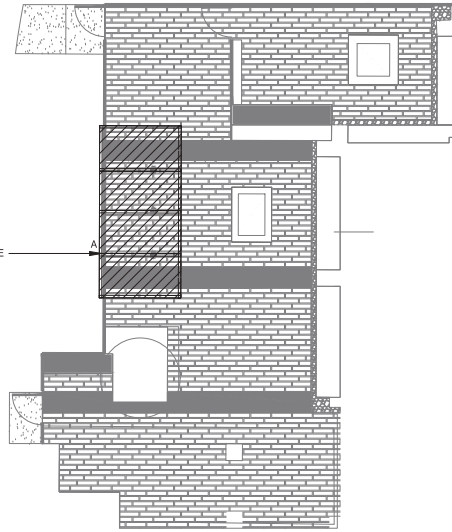


NOT FOR CONSTRUCTION	
NO. DATE	DESCRIPTION
PROJECT NO.	5449.00
CAD DWG FILE:	544900DC.DWG
DESIGNED BY:	JZVAN
DRAWN BY:	NA
CHECKED BY:	JZ
DATE:	MARCH 26, 2019
SCALE:	AS SHOWN
© HMH	

CONSTRUCTION DETAILS

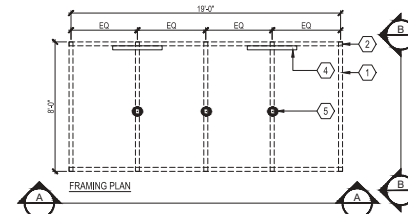
BUILDING COVERAGE CALCULATION			
AREA	DIMENSIONS		SF
A	8' x 19'		152
DEVELOPMENT STANDARDS	PROPOSED PROJECT	EXISTING DEVELOPMENT	ZONING ORDINANCE
LOT AREA	2,061 SF	19 ACRES	3 ACRES MIN.
BUILDING COVERAGE	12.5%	12.5%	20% MAX

TRELLIS, SEE BUILDING COVERAGE LEGEND ABOVE.

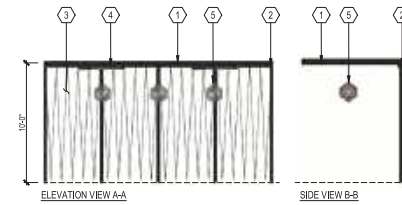


- 1 6x3 HSS BEAM
- 2 6x3 HSS POSTS
- 3 TENSION CABLES
- 4 OUTDOOR HEATER CENTERED ON POST
- 5 PENDANT LIGHT CENTERED ON BEAM

PERSPECTIVE



FRAMING PLAN



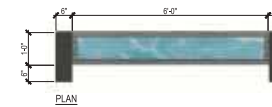
ELEVATION VIEW A-A

SIDE VIEW B-B

A TRELLIS (REFERENCE ONLY)
SCALE: NTS

NOTES:
1. SEE MATERIALS LIST FOR FINISH AND COLOR.

- 1 CONCRETE ENDS
- 2 PORCELAIN TILE



PLAN



ELEVATION

B LINEAR FOUNTAIN
SCALE: NTS



SILVER LAKE
MENLO PARK, CALIFORNIA

NO	DATE	DESCRIPTION

NOT FOR CONSTRUCTION

PROJECT NO:	5419.00
CAD DWG FILE:	544600DSC.DWG
DESIGNED BY:	JOVAN
DRAWN BY:	NA
CHECKED BY:	JP
DATE:	MARCH 26, 2019
SCALE:	AS SHOWN

CONSTRUCTION DETAILS

L2.3

© PLOTTED TO: \\HMMH\SHARE\DRAWINGS\544600DSC.DWG

PLOTTED: 2/22/2019 10:17 AM

MATERIALS LIST

***CONTRACTOR TO SUBMIT SAMPLES OF ALL FOLLOWING ITEMS TO OWNER AND LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO ORDERING:**
 SAMPLES FOR HARDSCAPE SHALL BE A 3'X3' MINIMUM SQUARE AREA OF THE PAVING TYPE, DEMONSTRATING ALL COLORS, FINISHES AND JOINTING.
 SAMPLES OF FENCES SHALL DEMONSTRATE FINISH COLOR AND FASTENER INSTALLATION.

CONCRETE PAVING:
 SHALL BE NATURAL GRAY CONCRETE WITH LIGHT SANDBLAST FINISH. 1/4" TOOLED SCORING PER PLAN. LOCATE DIAMOND DOWEL SYSTEM ADJACENT TO ALL STRUCTURES (BUILDINGS, WALLS AND STEPS) AND AT MAXIMUM SPACING PER DETAIL AND SPECIFICATIONS.

EXPANSION JOINTS:
 SHALL BE DECK-O-FOAM POLY FELT MATERIAL WITH 2-PART MASTIC FILL. MASTIC COLOR TO MATCH CONCRETE. LOCATE EXPANSION JOINTS ADJACENT TO ALL STRUCTURES (BUILDINGS, WALLS AND STEPS) AND AT MAXIMUM SPACING PER DETAIL AND SPECIFICATIONS. CONTACT W.R. MEADOWS, INC. 800.342.5976. SEALANT CAULK SHALL BE PECORA DYNATRED.

COBBLE:
 SHALL BE BLACK 2" X 3" MEXICAN PEBBLES AVAILABLE FROM GRANITEROCK. PRE-EMERGENT SHALL BE APPLIED TO PREVENT WEEDS. CONTACT TERRI EITZEN (408) 996-4502.

PORCELAIN TILE:
 SHALL BE "LEGNO TINTO" 8x48 MANUFACTURED BY IRIS .

KITCHEN COUNTER:
 - FACE TO HAVE PORCELAIN TILE FACADE. SHALL BE "BASALT GREY" MANUFACTURED BY NEOLITH.
 - TOP SHALL BE "GLACIER" MANUFACTURED BY DEKTON.

FIRE PIT (SQUARE):
 - SHALL BE POURED-IN-PLACE CONCRETE WITH INTEGRAL COLOR "OBISIDIAN" FINISH.

FIRE PIT (RECTANGLE):
 - SHALL BE POURED-IN-PLACE CONCRETE WITH INTEGRAL COLOR "OBISIDIAN" FINISH.

FOUNTAIN:
 - SHALL BE POURED-IN-PLACE CONCRETE WITH INTEGRAL COLOR "OBISIDIAN" FINISH, AND "BOSTON STONE" MANUFACTURED BY PORCELANOSA.

PRIVACY FENCE:
 - SHALL BE PAINTED TO MATCH OVERHEAD STRUCTURE.

PRIVACY GATE (METAL):
 - METAL PANEL SHALL BE 1/8" THICK ALUMINUM BOK MODERN PANEL TBD INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. COLOR SHALL BE DARK BRONZE. CONTACT TAYLOW FITZGERALD AT 415.749.6500.
 - PAINT ALL HARDWARE AND GATE FRAME TO MATCH FENCE POSTS.

PRIVACY GATE (CABLES):
 - PAINT ALL HARDWARE AND GATE FRAME TO MATCH FENCE POSTS.
 - TENSION CABLES SHALL BE PAINTED TO MATCH OVERHEAD STRUCTURE.

METAL PLANTER:
 - SHALL BE PAINTED TO MATCH OVERHEAD STRUCTURE.

OVERHEAD STRUCTURE:
 - METAL POSTS AND BEAMS SHALL BE PAINTED WITH (1) PRIME COAT OF COROTHANE I-GALVAPAK ZINC PRIMER MOISTURE CURE URETHANE (PART A) GRAY GRAY. (1) INTERMEDIATE COATE OF K46W01151 PI PRECAT SG EX WH. (2) COATS OF B65V00721 PRO INDUSTRIAL WATERBASED ACROLON 100 POLYURETHANE (PART A) EXTRA WHITE. (2) COATS OF B65V00720 PRO INDUSTRIAL WATERBASED ACROLON 100 POLYURETHANE (PART B) HARDENER, PER MANUFACTURER'S RECOMMENDATIONS. TENSION CABLES SHALL BE PAINTED TO MATCH METAL POSTS AND BEAMS.

CONSTRUCTION PLAN NOTES

CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT FOR THE INSTALLATION OF ALL IMPROVEMENTS AS SHOWN ON THE DRAWINGS AND AS DESCRIBED IN THE SPECIFICATIONS.

CONTRACTOR SHALL REVIEW ALL EXISTING SITE CONDITIONS PRIOR TO SUBMITTING BID AND PRIOR TO COMMENCING INSTALLATION. IF ANY DISCREPANCIES EXIST, THEY SHOULD BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE.

CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND STAKING ALL SEWER, WATER AND UTILITY LINES ABOVE OR BELOW GRADE THAT MIGHT BE DAMAGED AS A RESULT OF CONSTRUCTION OPERATIONS. CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR ANY COST INCURRED FOR REPAIR, RESTORATION, OR REPLACEMENT OF AFOREMENTIONED UTILITIES DAMAGED AS A RESULT OF CONSTRUCTION OPERATIONS.

DEVIATIONS BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE.

HARDSCAPE AND STRUCTURAL ELEMENTS SHALL BE PLACED PER GEOTECHNICAL SOILS REPORT. IF SUCH REPORT IS UNAVAILABLE, CONTRACTOR SHALL DISCUSS PLACEMENT ON SUITABLE GRADE WITH THE OWNER'S AUTHORIZED REPRESENTATIVE.

UNLESS DESIGNATED ON THE DRAWINGS OTHERWISE, ALL MATERIALS DESIGNATED FOR REMOVAL SHALL BE DISPOSED OF OFF-SITE.

COSTS INCURRED DUE TO REPAIR, RESTORATION, OR REPLACEMENT OF EXISTING IMPROVEMENTS WHICH ARE DESIGNATED "TO BE PROTECTED" OR "TO REMAIN" WHICH ARE DAMAGED AS A RESULT OF CONSTRUCTION OPERATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

UNLESS DESIGNATED ON THE DRAWINGS OTHERWISE, MATERIALS TO BE PURCHASED AND FURNISHED BY THE CONTRACTOR SHALL BE NEW.

CONCRETE INDICATED FOR SAWCUTTING AND REMOVAL SHALL BE CUT TO A TRUE LINE WITH NEATLY SAWED EDGES. IF A SAWCUT IS WITHIN THREE FEET (3') OF AN EXISTING EXPANSION OR CONTROL JOINT, CONCRETE SHALL BE REMOVED TO THAT NEAREST JOINT.

CONTRACTOR SHALL SUBMIT SHOP DRAWINGS, MANUFACTURER'S CUT OR DATA SHEETS FOR APPROVAL PRIOR TO ORDERING MATERIALS. CONTRACTOR SHALL FURNISH TO THE OWNER'S AUTHORIZED REPRESENTATIVE A CERTIFICATE OF COMPLIANCE FOR SUCH FURNISHED MATERIALS.

ABANDONED PIPES SHALL BE CAPPED OR PLUGGED IN A MANNER APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.



**SILVER LAKE
MENLO PARK, CALIFORNIA**

NOT FOR CONSTRUCTION

NO	DATE	DESCRIPTION

PROJECT NO: 5449.00
 CAD DWG FILE: 544900SC.DWG
 DESIGNED BY: JOAN
 DRAWN BY: NK
 CHECKED BY: JP
 DATE: MARCH 26, 2019
 SCALE: AS SHOWN
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CONSTRUCTION NOTES AND MATERIALS LIST

L2.4

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PLOTTED: 2/22/2019 10:17AM



**SILVER LAKE
 MENLO PARK, CALIFORNIA**

COUNTER FACADE



NEOLITH - BASALT GREY

WATERFALL CAP



DEKTON - GLACIER



FIRE PIT FACADE, TYPICAL



CONCRETE WORKS OBSIDIAN

PAVING, TYPICAL



IRIS "LEGNO TINTO"

NOT FOR CONSTRUCTION		
NO	DATE	DESCRIPTION
PROJECT NO: 5449.00		
CAD DWG FILE: 544900SC.DWG		
DESIGNED BY:		JUAN
DRAWN BY:		NA
CHECKED BY:		JP
DATE:		MARCH 26, 2019
SCALE:		AS SHOWN
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**CONCEPTUAL
MATERIALS BOARD**

L2.5



**SILVER LAKE
 MENLO PARK, CALIFORNIA**

NOT FOR CONSTRUCTION

NO.	DATE	DESCRIPTION
PROJECT NO:	549320	
CAD DWG FILE:	544930RCD.DWG	
DESIGNED BY:	JAVAN	
DRAWN BY:	NA	
CHECKED BY:	JG	
DATE:	MARCH 26, 2019	
SCALE:	1" = 10'	

IRRIGATION PLAN

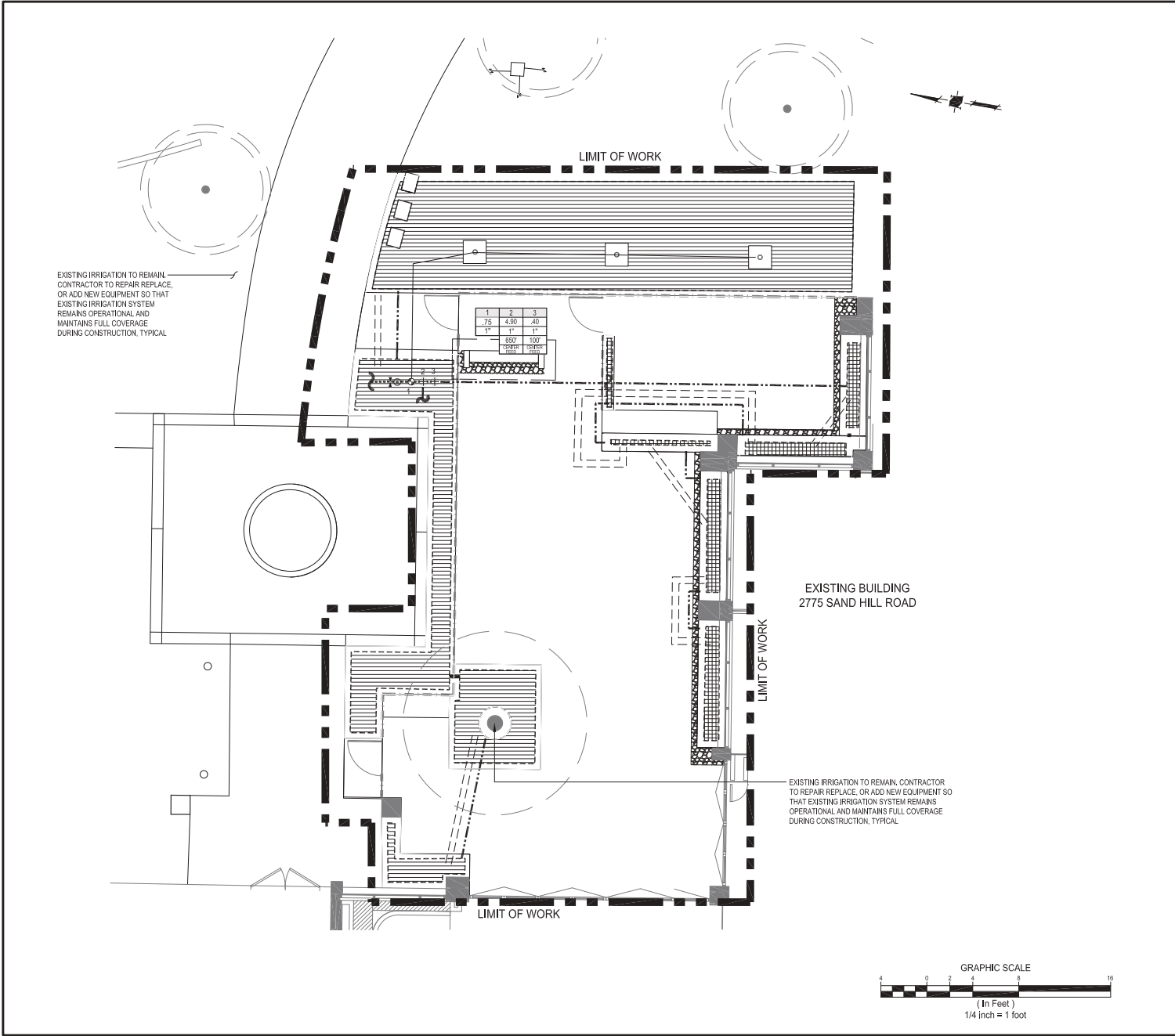
L3.1

DESCRIPTION	SYMBOL
EXISTING WATER METER	M
EXISTING REDUCED PRESSURE BACKFLOW DEVICE	RB
IRRIGATION CONTROLLER	IC
WEATHER SENSOR	WS
PVC BALL VALVE	B
REMOTE CONTROL VALVE, PRESSURE REGULATOR & FILTER FOR DRIP SYSTEMS	RV
REMOTE CONTROL VALVE, PRESSURE REGULATOR & FILTER FOR BUBBLER SYSTEMS	RVB
QUICK COUPLER	CC
ON GRADE TREE BUBBLER	OB

DRIPZONE LATERAL LINE	---	▲
NON PRESSURE LATERAL LINE	---	▲
PRESSURIZED SUPPLY LINE (MAINLINE)	▲
6" IRRIGATION SLEEVE	==	▲
12" DRIP IRRIGATION LINES		▲
12" MICRO DRIP IRRIGATION LINES		▲

VALVE TAG	STATION #	GPM	ZONE TYPE
12"	1+00	100	DRIP
12"	1+00	100	DRIP

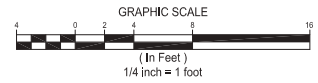
- NOTES:**
- SEE SHEET L3.3 FOR IRRIGATION LEGEND AND NOTES.
 - SEE SHEET L3.4 - L3.6 FOR IRRIGATION DETAILS.
 - SEE SHEET L3.3 NOTE # 13 FOR LATERAL SIZING.
 - IRRIGATIONS PLANS ARE DIAGRAMMATIC FOR GRAPHIC CLARITY.



EXISTING IRRIGATION TO REMAIN. CONTRACTOR TO REPAIR REPLACE, OR ADD NEW EQUIPMENT SO THAT EXISTING IRRIGATION SYSTEM REMAINS OPERATIONAL AND MAINTAINS FULL COVERAGE DURING CONSTRUCTION. TYPICAL

EXISTING BUILDING
 2775 SAND HILL ROAD

EXISTING IRRIGATION TO REMAIN. CONTRACTOR TO REPAIR REPLACE, OR ADD NEW EQUIPMENT SO THAT EXISTING IRRIGATION SYSTEM REMAINS OPERATIONAL AND MAINTAINS FULL COVERAGE DURING CONSTRUCTION. TYPICAL



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- IRRIGATION NOTES**
- CONTRACTOR SHALL UTILIZE THE EXISTING MAINLINES AND IRRIGATION SLEEVES WHENEVER POSSIBLE IN ORDER TO COMPLETE THE ENTIRE SYSTEM AS SHOWN ON THE PLANS AND SPECIFICATIONS.
 - DRAWINGS ARE DIAGRAMMATIC AND DO NOT NECESSARILY INDICATE ALL THE OFFSETS AND FITTINGS REQUIRED FOR A COMPLETE IRRIGATION SYSTEM. THE IRRIGATION SYSTEM SHALL BE INSTALLED WITHIN A PLANTING AREA WHEREVER POSSIBLE. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTMENTS NECESSARY TO CONFORM TO ACTUAL FIELD CONDITIONS.
 - EQUIPMENT INCLUDING MAIN, LATERALS, AND VALVES SHOWN GRAPHICALLY IN HARDSCAPE AREAS ARE FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED WITHIN PLANTED AREAS AT A REASONABLE, REACHABLE DISTANCE FROM HARDSCAPE OR TURF AREAS UNLESS OTHERWISE NOTED ON THE DRAWINGS.
 - CONTRACTOR SHALL INSTALL WIRE AND PIPE UNDER HARDSCAPE AREAS IN SEPERATE P.V.C. SCHEDULE 40 SLEEVES. CONTRACTOR SHALL COORDINATE PIPING AND SLEEVING LOCATION PRIOR TO HARDSCAPE INSTALLATION. SLEEVING SHALL BE INSTALLED IN ACCORDANCE WITH APPLICABLE CODES, WHEREVER POSSIBLE. CONTROL WIRES SHALL OCCUPY THE SAME TRENCH AS PIPES, EACH CONTROLLER SHALL HAVE AN INDEPENDENT GROUND WIRE.
 - "I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN." INSTALL IRRIGATION SYSTEM IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND ORDINANCES.
 - THE EXISTING WATER PRESSURE AT THE PROPOSED WATER METER LOCATION IS UNKNOWN. THE CONTRACTOR SHALL VERIFY WATER PRESSURE IS ADEQUATE FOR THE SYSTEM AS DESIGNED. IF ANY DISCREPANCY EXISTS BETWEEN DESIGN AND ACTUAL FIELD CONDITIONS NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY IN WRITING FOR A DECISION BEFORE PROCEEDING WITH THE INSTALLATION.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE AND EFFECTIVE COVERAGE OF ALL PLANTING AREAS, DURING THE MAINTENANCE PERIOD. IT IS THE RESPONSIBILITY OF THE LANDSCAPE MAINTENANCE CONTRACTOR TO ENSURE ALL PLANT MATERIAL RECEIVES AS MUCH WATER AS IS NECESSARY FOR ESTABLISHMENT AND TO SUSTAIN GOOD PLANT HEALTH.
 - CONTRACTOR SHALL FLUSH ALL LINES AND ADJUST IRRIGATION SYSTEM FOR OPTIMUM PERFORMANCE IN ACCORDANCE WITH THE SPECIFICATIONS. COSTS INCURRED DUE TO ANY ADJUSTMENTS FOR 100% COVERAGE, INCLUDING THOSE REQUESTED BY THE OWNER'S AUTHORIZED REPRESENTATIVE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - CONTRACTOR SHALL COORDINATE INSTALLATION OF THE IRRIGATION SYSTEM WITH THE LAYOUT AND INSTALLATION OF THE PLANT MATERIAL TO ENSURE THAT THERE WILL BE COMPLETE AND UNIFORM IRRIGATION COVERAGE OF PLANTING. THE IRRIGATION LAYOUT SHALL BE CHECKED BY THE CONTRACTOR AND OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO CONSTRUCTION TO DETERMINE IF ANY CHANGES, DELETIONS, OR ADDITIONS ARE REQUIRED. THE IRRIGATION SYSTEM SHALL BE INSTALLED AND TESTED PRIOR TO THE INSTALLATION OF ANY PLANT MATERIALS.
 - TRENCHING DEPTHS FOR IRRIGATION PIPES SHALL BE AS FOLLOWS; MAIN = 24". ALL LATERALS = 12". ALL DIMENSIONS ARE FROM THE TOP OF THE PIPE. PROVIDE A MINIMUM 3" SAND ENVELOPE AROUND ALL MAINLINE PIPE.
 - MINIMUM LATERAL SIZE SHALL BE 3/4". SEE PIPE SIZING CHART FOR SIZING.
 - IF SETTLEMENT OCCURS ALONG TRENCHES AND ADJUSTMENT(S) TO PIPES, VALVES, OR HEADS IS REQUIRED, THE CONTRACTOR, AS PART OF WORK UNDER THIS CONTRACT, SHALL MAKE ALL ADJUSTMENTS WITHOUT EXTRA COSTS TO THE OWNER.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FILL AND REPAIR ALL DEPRESSIONS AND REPLACE ALL NECESSARY LAWN AND/OR PLANTING DUE TO THE SETTLEMENT OF IRRIGATION FOR ONE YEAR FOLLOWING THE ACCEPTED COMPLETION OF MAINTENANCE.
 - CONTRACTOR SHALL GUARANTEE THAT ALL MATERIAL, EQUIPMENT, AND WORKMANSHIP FURNISHED BY HIM BE FREE OF DEFECTS FOR ONE YEAR FOLLOWING THE ACCEPTED COMPLETION OF MAINTENANCE. CONTRACTOR SHALL BE LIABLE FOR REPAIRS AND REPLACEMENT OF FAILED MATERIAL DURING THIS GUARANTEE PERIOD.
 - ALL PLASTIC FITTINGS SHALL BE A MINIMUM OF 18" APART TO FACILITATE REMOVAL AND REPLACEMENT OF INDIVIDUAL FITTINGS.
 - SPLICING OF 24 VOLT WIRES WILL NOT BE PERMITTED EXCEPT IN VALVE BOXES. CONTRACTOR TO LEAVE A 24" COIL OF EXCESS WIRE AT EACH SPLICE AND EVERY 100' ON CENTER ALONG WIRE RUN. TAPE WIRE BUNDLES 10' ON CENTER. NO TAPING WILL BE PERMITTED INSIDE SLEEVES. WIRE CONNECTORS SHALL BE SCOTCH DBY OR APPROVED EQUAL, INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
 - CONTROL VALVES SHALL BE SIZED AS DESIGNATED ON THE DRAWINGS AND SHALL BE INSTALLED IN VALVE BOXES AS INDICATED IN THE DETAILS. BOXES SHALL BE SET FLUSH WITH THE FINISH GRADE OR SURFACE AND PERMANENTLY MARKED AS INDICATED IN THE DETAILS.
 - EXACT LOCATION OF CONTROLLERS TO BE DETERMINED AT JOB SITE BY PROJECT MANAGER. USE THIN WALL METAL CONDUIT ABOVE GRADE AND IN GARAGES. PAINT ALL CONDUIT TO MATCH BUILDING OR WALL COLOR. USE WATERPROOF CONNECTIONS FOR OUTDOOR INSTALLATION. INSTALL PER MANUFACTURER'S SPECIFICATIONS. SEAL ALL CONDUIT HOLES WITH SILICONE OR EQUAL. PROGRAM CONTROLLER TO IRRIGATE USING MULTIPLE REPEAT CYCLES OF SHORT DURATION. CARE SHALL BE TAKEN TO PREVENT RUNOFF OF WATER AND SLOPE/SOIL EROSION DUE TO PROLONGED APPLICATIONS OF WATER.
 - CONTROL WIRES SHALL BE 14 GAUGE (RED). SEPARATE WIRES SHALL RUN FROM THE CONTROLLER TO EACH VALVE. COMMON GROUND WIRES SHALL BE 12 GAUGE (WHITE) ALL CONTROL WIRES LEADING FROM VALVES TO CONTROLLER SHALL BE LOOPED-UP A MINIMUM OF 30" INTO EVERY VALVE BOX INTERCEPTED ON THE WAY TO THE CONTROLLER.
 - CONTRACTOR TO COORDINATE CONTROLLER POWER HOOK-UP WITH PROJECT ELECTRICIAN. THE GENERAL CONTRACTOR SHALL COORDINATE HIS PORTION OF WORK WITH THE UNDERGROUND ELECTRICAL CONTRACTOR TO MINIMIZE CONFLICTS.
 - EXISTING BACKFLOW PREVENTION DEVICES SHALL BE INSPECTED AND TESTING TO THE EXTENT MANDATED BY LOCAL BUILDING CODE.
 - BUBBLERS SHALL BE LOCATED ON THE UPHILL SIDE OF TREES.
 - ALL WATER TO DRAIN AWAY FROM BUILDING PER LOCAL BUILDING CODE.
 - DO NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS, GRADE DIFFERENCES OR DIFFERENCES IN THE AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. SUCH OBSTRUCTIONS OF DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.
 - A LAMINATED, COLOR CODED, REDUCED SIZE IRRIGATION PLAN SHALL BE FURNISHED TO THE OWNER AFTER FINAL ACCEPTANCE. PLACE ANOTHER LAMINATED COPY INSIDE THE CONTROLLER CABINET DOOR.
 - LANDSCAPE CONTRACTOR TO COORDINATE WITH GENERAL CONTRACTOR PRIOR TO DEMOLITION OR PROTECTION OF EXISTING MAINLINE AND CONTROLLER WIRE FOR FUTURE USE.
 - IF THE INTENT IS TO DEMO ANY IRRIGATION EQUIPMENT IN NEW CONSTRUCTION AREA, LANDSCAPE CONTRACTOR SHALL SUPPLY ALL NEW MAINLINE AND CONTROLLER WIRE TO NEW REMOTE CONTROL VALVE AS DESIGNED PER THIS PLAN, TYPICAL.
 - CONTRACTOR SHALL INSTALL DRIPLINE ON SLOPES PER MANUFACTURER'S RECOMMENDATIONS WITH 25% INCREASED SPACING AT BOTTOM 1/3 OF SLOPE.
 - CONTRACTOR TO INSTALL LATERAL LINE CHECK VALVES WHERE NECESSARY TO PREVENT LOW HEAD DRAINAGE. MODEL SHALL BE NDS FLO CONTROL SPRING CHECK VALVE RATED TO 200PSI, MODEL 1700 (SLIPxSLIP CONNECTION WITH UNION), LINE SIZE OR APPROVED EQUAL.
 - CONTRACTOR MUST PROVIDE AN IRRIGATION AUDIT IN ACCORDANCE WITH LOCAL WELO AND TITLE 23 DEPARTMENT OF WATER RESOURCES SECTION 492.12; IRRIGATION AUDIT, IRRIGATION SURVEY, AND IRRIGATION WATER USE ANALYSIS PRIOR TO PROJECT ACCEPTANCE.
 - CONTRACTOR SHALL PROVIDE A CERTIFICATE OF COMPLETION AS REQUIRED TO THE LOCAL REVIEWING AGENCY. SEE CALIFORNIA CODE OF REGULATIONS TITLE 23 WATERS DIVISION 2 DEPARTMENT OF WATER RESOURCES CHAPTER 2.7 MODEL WATER EFFICIENT LANDSCAPE ORDINANCE APPENDIX C.
 - SOIL MANAGEMENT REPORT SHALL BE PROVIDED BY LANDSCAPE CONTRACTOR AND SOIL AMENDMENTS SHALL BE FOLLOWED PER THE REPORT. PHYSICAL COPIES OF THE SOIL MANAGEMENT REPORT SHALL BE PROVIDED TO CLIENT, PROJECT LANDSCAPE ARCHITECT AND LOCAL AGENCY AS REQUIRED. SOIL MANAGEMENT REPORT SHALL CONFORM TO STATE AB1881 WATER EFFICIENT LANDSCAPE ORDINANCE OR AGENCY ADOPTED WELD.
 - CONTRACTOR IS RESPONSIBLE FOR HAND WATERING INCLUDING BUT NOT LIMITED TO THE FOLLOWING AREAS DURING PLANT ESTABLISHMENT: BIO-CELL AREAS, SODDED AREAS. THESE AREAS WILL NEED SUPPLEMENTAL HAND WATERING IF THEY ARE IRRIGATED BY DRIP UNTIL ROOTS ARE ESTABLISHED AS DRIP IRRIGATION MAY NOT PROVIDE SUFFICIENT WATER TO THESE AREAS FOR HEALTHY PLANT ESTABLISHMENT.
 - ALL EXISTING IRRIGATION SYSTEMS SHALL REMAIN OPERATIONAL DURING CONSTRUCTION WHERE PRACTICAL. IF THE IRRIGATION SYSTEM IS TO BE SHUT OFF FOR PERIODS OF TIME LONGER THAN THREE DAYS A HAND WATERING MAINTENANCE PROGRAM SHALL BE ESTABLISHED TO MAINTAIN CURRENT PLANT HEALTH. CONTRACTOR WILL BE RESPONSIBLE FOR REPLACING ANY DEAD OR DECLINING PLANT MATERIAL DUE TO LACK OF WATERING. ALL EXISTING MAINLINE, CONTROL, WIRES, LATERAL LINES, SPRAY HEADS, DRIP TUBING OR OTHER IRRIGATION EQUIPMENT SHALL REMAIN IN PLACE AND UNDAMAGED. IF MODIFICATIONS TO THE EXISTING SYSTEM NEED TO TAKE PLACE, THE CONTRACTOR SHALL REPAIR, REPLACE OR ADD NEW EQUIPMENT AS NEEDED TO MAINTAIN PROPER COVERAGE AND WATER DISTRIBUTION FOR ALL PLANTING AREAS. ANY UNUSED CONTROL WIRES RESULTING IN THE RETROFIT SHALL BE PUT IN A NEW VALVE BOX AND LABELED. UPDATE THE CONTROLLER SCHEDULE TO INDICATE THAT THESE VALVE STATIONS ARE NO LONGER IN USE.

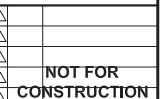
IRRIGATION LEGEND		MANUFACTURER/MODEL/SIZE	
SYMBOL	DESCRIPTION		
	WATER METER	EXISTING IRRIGATION WATER METER TO REMAIN, CONTRACTOR TO VERIFY LOCATION AND CURRENT CONDITION WITH OWNER PRIOR TO CONSTRUCTION.	
	BACKFLOW PREVENTION DEVICE AND SECURE ENCLOSURE	EXISTING BACKFLOW TO REMAIN, CONTRACTOR TO VERIFY LOCATION AND CURRENT CONDITION IN FIELD PRIOR TO CONSTRUCTION. IF ONE DOES NOT EXIST OR IS NOT WORKING PER CITY AND STATE STANDARDS INSTALL - LINE SIZE, FEBCO 825Y- OR APPROVED EQUAL.	
	WALL MOUNT ET BASED ELECTRIC IRRIGATION CONTROLLER	TBD - CONTRACTOR TO VERIFY IF SITE IS ON ONE OR MULTIPLE CONTROLLERS	
	WEATHER SENSOR	WIRELESS WEATHER SENSING KIT (CL-100-WIRELESS). INSTALL CLIMATE LOGIC MODULE IN ENCLOSURE CABINET PER DETAIL. INSTALLATION OPTIONS ARE AS FOLLOWS. SEE DETAILS FOR MOUNTING INSTRUCTIONS: 1. INSTALL ON ROOF EYE OR GUTTER (PREFERRED) 2. MOUNT TO 12" TALL PRESSURE TREATED POST WITH REINFORCED CONCRETE FOOTING IN OPEN LOCATION PER DIRECTION OF SITE SUPERINTENDENT	
	MASTER VALVE	IF ONE DOES NOT EXIST OR IS NOT WORKING PER CITY AND STATE INSTALL: GRISWOLD 2160. NORMALLY OPEN VALVE. LINE SIZE IF ONE DOES NOT EXIST OR IS NOT WORKING PER CITY AND STATE INSTALL: IRRITROL PVC FLOW SENSOR SIZE PER LINE SIZE. MODELS: FS-10/15/20 (FS-10 FOR 1" LINE, FS-15 FOR 1-1/2" LINE, AND FS-20 FOR 2" LINE). FLOW SENSOR SHIELDED CABLE: EV-CAB-SEN (FLOW SENSOR SHIELDED CABLE SHALL NEVER BE CLOSE TO HIGH VOLTAGE WIRES. USE SEPARATE CONDUIT FOR FLOW SENSOR WIRE).	
	FLOW SENSOR		
	PRESSURE REGULATOR	LINE SIZE WILKINS MODEL 500-HLR-IP INCLUDE PRESSURE GAUGE, INSTALL IF PRESSURE AT P.O.C. EXCEEDS 90 PSI	
	PVC BALL VALVE	NIBCO PVC BALL VALVE 4660-S OR EQUAL, LINE SIZE	
	1" QUICK COUPLER VALVE WITH YELLOW VINYL COVER	TORO 100-2SLVC (2 PIECE, 1" SINGLE LUG, WITH YELLOW VINYL COVER)	
	DRIPZONE VALVE KIT INC. REMOTE CONTROL VALVE, PRESSURE REGULATOR & FILTER FOR DRIP AND TREE BUBBLER VALVES	IRRITROL 1" 700 ULTRAFLOW IN-LINE DRIP ZONE VALVE KIT MODEL, DK2-700 (0.10-20 GPM)	
BUBBLERS	DESCRIPTION	OPERATING PRESSURE	MODEL
	ON GRADE TREE BUBBLER	20-75 PSI	TORO FB-25-PC MOUNTED ON FLEX TUBE WITH TORO SHRUB ADAPTERS IN QUANTITIES AS FOLLOWS: 2 PER 15 GALLON OR 24" BOX TREE, 4 PER 36" BOX AND LARGER TREE
			NOZZLE GPM (0.25 GPM EACH)
DRIP	DESCRIPTION	OPERATING PRESSURE	MODEL
	12" DRIP ON-GRADE TORO DL2000 NOTE: INSTALL TORO DL2000 PER MANUFACTURER'S SPECIFICATIONS	40 PSI	TORO DL-2000 SERIES (RGP-212-10) FOR GROUND COVER & SHRUB AREAS: DL2000 DRIPLINE SPACING =12" EMITTER SPACING =12" FLOW RATE =0.53 GPH
	12" MICRO DRIP TORO DL2000 MICROLINE NOTE: INSTALL TORO DL2000 MICROLINE PER MANUFACTURER'S SPECIFICATIONS.	15 PSI	TORO DL-2000 MICROLINE SERIES (T-MCRG-212) DL2000 DRIPLINE SPACING =12" EMITTER SPACING =12" FLOW RATE =0.53 GPH
REQUIRED DRIP EQUIPMENT NOT GRAPHICALLY DEPICTED ON PLANS; (INSTALL PER MANUFACTURER'S RECOMMENDATIONS.)			
	FLUSH VALVE FOR DL2000 SYSTEM		TORO FCH-H-FIPT, MINIMUM ONE PER VALVE
	AIR VACUUM RELIEF VALVE FOR DRIP SYSTEM		TORO YD-500-34 MINIMUM ONE PER VALVE
	OPERATION INDICATOR FOR DRIP SYSTEM		TORO DL-MP9 MINIMUM ONE PER VALVE
	DRIP TUBE FITTINGS		TORO TRI-LOC FITTINGS
IRRIGATION LINES AND SLEEVES	DESCRIPTION	MODEL	NOTES
	NONPRESSURE DRIP IRRIGATION LATERAL, SIZED PER PIPE SIZING CHART	SCHEDULE 40 PVC PIPE	12" COVER
	NONPRESSURE IRRIGATION SUPPLY LINE-3/4" MIN.	CLASS 200 PVC PIPE	12" COVER
	PRESSURE SUPPLY MAINLINE	1120 SCHD. 40 PVC PIPE FOR SIZES 1-1/2" AND SMALLER 1120 CLASS 315 PVC PIPE FOR SIZES 2" AND LARGER	24" COVER
	SLEEVE: 2x ENCLOSED PIPE DIAMETER OR AS INDICATED	1120/SCHEDULE 40 PVC PIPE	24" COVER
SPRAY, ROTOR, AND BUBBLER VALVES			
	# CONTROLLER STATION NUMBER	# CONTROLLER STATION NUMBER	
	GPM GALLONS PER MINUTE THROUGH VALVE	GPM GALLONS PER MINUTE THROUGH VALVE	
	X" CONTROL VALVE SIZE	X" CONTROL VALVE SIZE	
	XXXX LENGTH OF DRIP TUBING, IF APPLICABLE	XXXX LENGTH OF DRIP TUBING, IF APPLICABLE	
	XXXX ZONE TYPE, IF APPLICABLE	XXXX ZONE TYPE, IF APPLICABLE	

CONDUIT & SLEEVE SIZING GUIDE			
MAXIMUM NUMBER OF WIRES	MINIMUM CONDUIT SIZE (SCH 40 PIPE)	MAXIMUM LATERAL OR MAINLINE PIPE SIZE	MINIMUM SLEEVE SIZE REQUIRED (SCH 40 PIPE)
4	1"	1/2"	1-1/2"
8	1-1/4"	3/4"	2"
12	1-1/2"	1" TO 1-1/4"	2-1/2"
17	2"	1-1/2"	3"
25	2-1/2"	2" TO 2-1/2"	4"
35	3"	3"	6"
50	4"	4" > 4"	8"
>50	6"		

PIPE SIZING CHART	
FLOW RATE (GPM)	PIPE SIZE (DIAMETER)
0 TO 9	7/8"
9.1 TO 18	1"
18.1 TO 30	1.25"
30.1 TO 40	1.5"
40.1 TO 60	2"
60.1 TO 70	2.5"



SILVER LAKE
MENLO PARK, CALIFORNIA

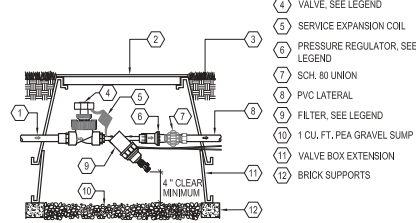


NO.	DATE	DESCRIPTION
PROJECT NO:	549320	
CAD DWG FILE:	544930C02.DWG	
DESIGNED BY:	JDOAN	
DRAWN BY:	NA	
CHECKED BY:	JZ	
DATE:	MARCH 26, 2019	
SCALE:	NONE	

IRRIGATION LEGEND AND NOTES
L3.2

NOTES:

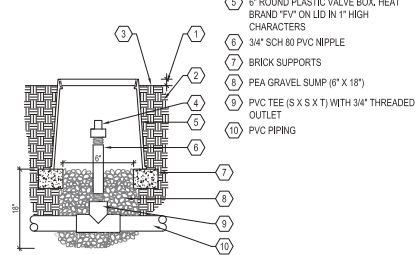
1. SEE IRRIGATION LEGEND FOR EQUIPMENT SPECIFICATION.
2. INSTALL ALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.



F DRIPLINE REMOTE CONTROL VALVE, PRESSURE REGULATOR AND FILTER
N.T.S.

NOTES:

1. SEE IRRIGATION LEGEND FOR EQUIPMENT SPECIFICATION.
2. INSTALL ALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
3. LOCATE AND USE ONE FLUSH VALVE FOR EVERY 7PM PER ZONE AT LOW POINTS.

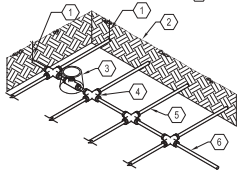


G DRIPLINE FLUSH VALVE ON PVC TEE
SCALE: N.T.S.

NOTES:

1. SEE IRRIGATION LEGEND FOR EQUIPMENT SPECIFICATION.
2. INSTALL ALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

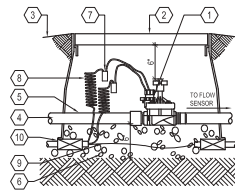
1. SEE SPECIFICATIONS FOR DEPTH
2. FINISHED GRADE
3. DRIPLINE AIR/VACUUM RELIEF VALVE IN VALVE BOX AT HIGHEST POINTS PLUMBED TO TUBING
4. PVC CROSS TO DRIPLINE COMPRESSION ADAPTERS (TYP)
5. DRIPLINE (TYP)
6. DRIPLINE BLANK TUBING (TYP)



H DRIPLINE AIR/VACUUM RELIEF LATERAL
N.T.S.

NOTES:

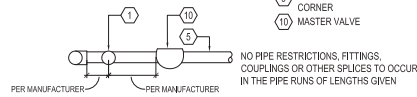
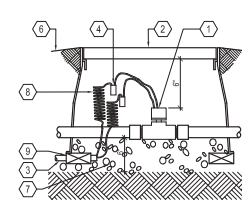
1. DO NOT LOCATE REMOTE VALVE IN TURF
2. COMPACT SOIL AROUND BOX TO SAME DENSITY AS ADJACENT UNDISTURBED SOIL. BUNDLE AND TAPE CONTROL WIRE TO MAINLINE EVERY 10'
3. SPLICES IN CONTROL WIRE ARE NOT ALLOWED BETWEEN CONTROLLER AND VALVE
4. SEE IRRIGATION LEGEND FOR EQUIPMENT SPECIFICATION
5. INSTALL ALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS



C MASTER VALVE
N.T.S.

NOTES:

1. SEE IRRIGATION LEGEND FOR EQUIPMENT SPECIFICATION
2. INSTALL ALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS

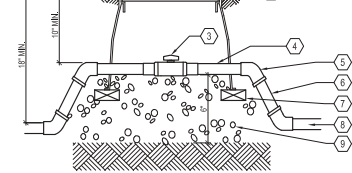


D FLOW SENSOR
N.T.S.

NOTES:

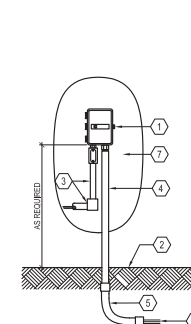
1. PLACE AGGREGATE PRIOR TO INSTALLATION OF VALVE BOX
2. INSTALL VALVE BOX SO TOP OF BOX IS FLUSH WITH ADJACENT HARDSCAPE

1. 6\"/>
- 2. FINISHED GRADE/ BEFORE PLANTING
- 3. BALL VALVE: SEE LEGEND FOR MAKE AND MODEL - LINE SIZE
- 4. PVC SCH 40 1/2\"/>
- 5. PVC 45 FITTING SCH 40 (TYP.)
- 6. PVC SCH 40
- 7. BRICK SUPPORT, 2 TOTAL
- 8. PVC MAINLINE PIPE
- 9. PEA GRAVEL SUMP, MIN. 6\"/>



E BALL VALVE
N.T.S.

1. MASTER VALVE-SEE LEGEND
2. CARSON #1324 RECTANGULAR VALVE BOX WITH BLACK BOLT DOWN COVER, OR APPROVED EQUAL HEAT BRAND \"MV\" ON LID IN 2\"/>
- 3. FINISHED GRADE
- 4. FROM POINT OF CONNECTION- ADAPT AS REQUIRED SCH. 80 TO THE NIPPLE-LENGTH AS REQUIRED
- 5. 3M DBY WIRE CONNECTOR
- 6. PEA GRAVEL SUMP, MIN. 6\"/>
- 7. 3M DBY WIRE CONNECTOR
- 8. CONTROL AND COMMON WIRE TO DESIGNATED AUTOMATIC CONTROLLER
- 9. FLOW SENSOR CABLE WITHIN CONDUIT
- 10. BRICK SUPPORT, 1 PER CORNER



A WALL MOUNT CONTROLLER
N.T.S.

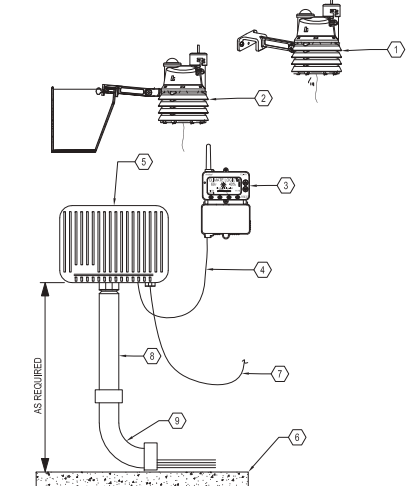
NOTES:

1. VERIFY LOCATION WITH PROJECT ELECTRICALIAN.
2. ALL ELECTRICAL WORK MUST CONFORM TO LOCAL CODES. REFER TO PRODUCT LITERATURE FOR ADDITIONAL INSTALLATION REQUIREMENTS. THIS DRAWING IS PROVIDED FOR REFERENCE ONLY. INDIVIDUAL PROJECT REQUIREMENTS AND LOCAL CODES MAY DICTATE DIFFERENCES IN INSTALLATION PROCEDURES THAT ARE NOT IDENTIFIED ON THIS DETAIL.
1. EXTERIOR WALL MOUNT IRRIGATION CONTROLLER. SEE IRRIGATION LEGEND FOR SPECIFICATION
2. FINISHED GRADE
3. 1/2\"/>
- 4. GALVANIZED ELEC. WIRE CONDUIT (SIZE AS REQUIRED) PAINT TO MATCH BLDG.
- 5. PVC SWEEP ELL (DEPTH AS REQUIRED)
- 6. CONTROL WIRES TO CONTROL VALVES
- 7. EXTERIOR SURFACE FOR MOUNTING OF SPRINKLER CONTROLLER

NOTES:

1. ALL ELECTRICAL WORK MUST CONFORM TO LOCAL CODES.
2. REFER TO PRODUCT LITERATURE FOR ADDITIONAL INSTALLATION REQUIREMENTS.

1. CLIMATE LOGIC™ WEATHER SENSOR MOUNTED OUTDOORS ON FLAT SURFACE USING SCREWS.
2. CLIMATE LOGIC™ WEATHER SENSOR MOUNTED ON A DRAIN GUTTER USING QUICKCLIP™ GUTTERMOUNT.
3. CLIMATE LOGIC™ RECEIVER MODULE MOUNTED INDOORS NEAR THE COMPATIBLE CONTROLLER. MOUNT WITH SCREWS AT EYE LEVEL OR IF IN A SECURE AREA, MOUNT ON HOOK & LOOP TYPE STRIPS FOR DISMOUNTING AND HANDHELD PROGRAMMING UTILIZING THE SLACK IN THE CORD.
4. SINGLE CONNECTION CORD PLUGGED INTO CONTROLLER'S REMOTE PORT.
5. AUTOMATIC IRRIGATION CONTROLLER
6. FINISH SURFACE OF SPACE WHERE CONTROLLER IS LOCATED.
7. POWER SOURCE, LOCATE IN CONDUIT
8. PVC SCHEDULE 40 CONTROL WIRE CONDUIT (SIZE AS REQUIRED).
9. PVC SWEEP ELL (PROTECTING LOW VOLTAGE CONTROL WIRES TO THE ELECTRIC VALVES).
10. OPTIONAL JUNCTION BOX TO ROUTE CONTROL WIRES TO THE ELECTRIC VALVES.



B CLIMATE LOGIC
SCALE: N.T.S.

HMH
Land Use Enginements
Land Planning
Landscape Architecture
Civil Engineering
Utility Design
Land Surveying
Stormwater Compliance
1570 Oakland Road (408) 487-2000
San Jose, CA 95131 HMH68.com

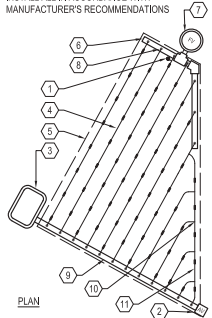


SILVER LAKE
MENLO PARK, CALIFORNIA

NOT FOR CONSTRUCTION		
NO.	DATE	DESCRIPTION
PROJECT NO:	5493.00	
CAD DWG FILE:	54690BEC.DWG	
DESIGNED BY:	JAVAN	
DRAWN BY:	NA	
CHECKED BY:	JB	
DATE:	MARCH 28, 2019	
SCALE:	AS SHOWN	

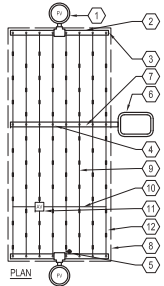
IRRIGATION DETAILS
L3.3

NOTE:
1. SEE IRRIGATION LEGEND FOR EQUIPMENT SPECIFICATION.
2. INSTALL ALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS



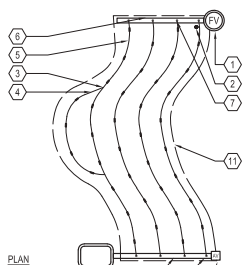
G DRIPLINE TRIANGULAR LAYOUT
N.T.S.

NOTE:
1. SEE IRRIGATION LEGEND FOR EQUIPMENT SPECIFICATION
2. INSTALL ALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS
3. THE TOTAL LENGTH OF ALL INTERCONNECTED DRIP LINE SHALL NOT EXCEED THE MAXIMUM RUN LENGTH



H DRIPLINE CENTER-FEED LAYOUT
N.T.S.

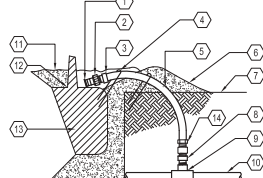
NOTE:
1. SEE IRRIGATION LEGEND FOR EQUIPMENT SPECIFICATION
2. INSTALL ALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS
3. TOTAL LENGTH OF ALL INTERCONNECTED DRIPLINE SHALL NOT EXCEED MAXIMUM RUN LENGTH



I DRIPLINE ODD CURVES LAYOUT
N.T.S.

- 1 DRIPLINE OPERATION INDICATOR, PLUMBED TO TUBING
- 2 DRIPLINE AIRVACUUM RELIEF VALVE PLUMBED TO SUPPLY MANIFOLD AT HIGH POINT
- 3 REMOTE CONTROL VALVE WITH FILTER AND PRESSURE REGULATOR
- 4 DRIPLINE
- 5 AREA PERIMETER
- 6 PVC FLUSH MANIFOLD
- 7 DRIPLINE AUTOMATIC FLUSH VALVE PLUMBED TO FLUSH MANIFOLD AT LOW POINT
- 8 DRIPLINE MANIFOLD-TO-ELBOW CONNECTION (TYP.)
- 9 PVC SUPPLY MANIFOLD
- 10 DRIPLINE TEE (TYP.)
- 11 PERIMETER LATERALS 2" TO 4" FROM EDGE

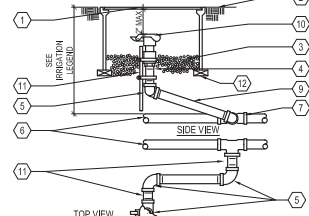
NOTES:
1. BUBBLER DISTANCE TO ROOT BALL WILL VARY DEPENDING ON THE CONTAINER SIZE OF THE PLANT. ALLOW 4" BETWEEN TRUNK AND BUBBLER.
2. PLACE ALL BUBBLERS ON UPHILL SIDE OF SLOPE IF APPLICABLE CONICAL HILL EQUIPMENT UNDER MULCH.
3. SEE IRRIGATION LEGEND FOR SPECIFICATION.
4. INSTALL ALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.



D ON GRADE TREE BUBBLER
N.T.S.

- 1 POSITION BUBBLER OVER ROOT BALL
- 2 COMPENSATING DRIP BUBBLER (SEE LEGEND FOR MODEL)
- 3 UV RESISTANT 1/2" PVC SCH 40 ADAPTER
- 4 UV RESISTANT 1/2" PVC COATED 12 GAUGE WIRE U STAKES QUANTITY AS NEEDED TO SECURE TUBING (2 MIN.) SALCO OR EQUAL
- 5 1/2" UV RESISTANT FLEXIBLE SCH 40 PVC HOSE (BLACK)
- 6 SOIL RING (SEE PLANTING DETAILS)
- 7 FINISHED GRADE
- 8 1/2" PVC SCH 40 (MPT X SLIP) MALE ADAPTER UV RADIATION RESISTANT
- 9 PVC SCH 40 TEE OR ELL 1/2" (SLIP XSLIP X FIT)
- 10 PVC LATERAL PIPE
- 11 MULCH PER SPECIFICATIONS
- 12 PLANT CROWN
- 13 ROOT BALL
- 14 INSTALL CHECK VALVE WHERE ELEVATION OF HIGHEST BUBBLER ON THE VALVE IS 4' OR MORE ABOVE THE LOWEST BUBBLER ON THE VALVE.

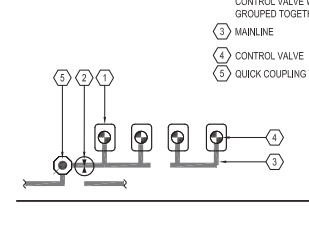
NOTE:
1. NIPPLES AND FITTINGS TO BE SAME SIZE AS VALVE IPT INLET THREAD SIZE
2. SEE IRRIGATION LEGEND FOR SPECIFICATION
3. INSTALL ALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS



E QUICK COUPLING VALVE
N.T.S.

- 1 10" ROUND PLASTIC VALVE BOX WITH BOLT DOWN LID
- 2 FINISHED GRADE
- 3 PEA GRAVEL SUMP, MIN. 6" DEPTH
- 4 3" LONG SCHEDULE 80 PVC THREADED NIPPLE
- 5 SCH 80 PVC THREADED 90 DEGREE ELL
- 6 PVC MAINLINE
- 7 MAINLINE FITTING
- 8 10" LONG SCH 80 PVC THREADED NIPPLE
- 9 QUICK COUPLING VALVE
- 10 1 1/4" x 1 1/4" x 316" ANGLE IRON 30° LONG, 2 STAINLESS STEEL STRAPS
- 11 BRICK SUPPORTS, 2 TOTAL

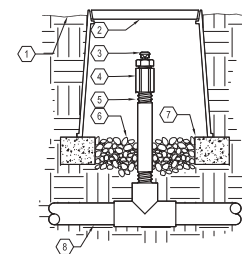
NOTES:
1. SEE IRRIGATION LEGEND FOR MODELS.
2. SEE IRRIGATION PLANS FOR ADDITIONAL GATE VALVE LOCATIONS.
3. SEE INSTALLATION DIAGRAMS DETAIL FOR ADDITIONAL INFORMATION REGARDING ACCEPTABLE VALVE BOX LOCATIONS.



F VALVE LAYOUT
N.T.S.

- 1 VALVE BOX, TYPICAL CONTRACTOR SHALL GROUP VALVES IN A MANFOLD WHENEVER POSSIBLE.
- 2 GATE VALVE; SEE DETAIL. PROVIDE 1 GATE VALVE PER GROUP OF CONTROL VALVES. PROVIDE 1 GATE VALVE PER CONTROL VALVE WHEN NOT GROUPED TOGETHER.
- 3 MAINLINE
- 4 CONTROL VALVE
- 5 QUICK COUPLING VALVE

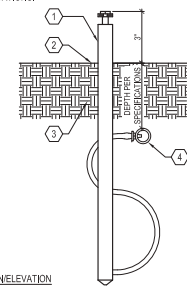
NOTES:
1. AIRVACUUM RELIEF VALVE CANNOT BE CONNECTED LOWER THAN DRIPLINE LATERALS.
2. USE ONE FOR EACH INCREMENT OF 7 GPM.
3. SEE IRRIGATION LEGEND FOR EQUIPMENT SPECIFICATION.
4. INSTALL ALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.



A DRIPLINE 1/2" AIRVACUUM RELIEF VALVE (PLUMBED TO PVC TEE)
N.T.S.

- 1 FINISHED GRADE
- 2 6" ROUND VALVE BOX
- 3 DRIPLINE AIRVACUUM RELIEF VALVE
- 4 1/2" PVC COUPLING (XT)
- 5 1/2" SCH. 80 NIPPLE (LENGTH AS REQUIRED)
- 6 PEA GRAVEL SUMP (6")
- 7 BRICK SUPPORTS
- 8 PVC PIPING AND FITTING

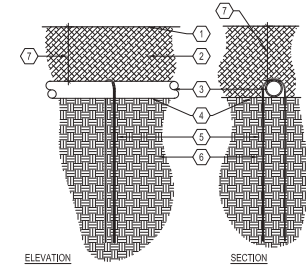
NOTES:
1. USE ONE OPERATION INDICATOR PER ZONE.
2. PLACE AT FLUSH END OF ZONE.
3. SEE IRRIGATION LEGEND FOR PIPE SCHEDULE AND EQUIPMENT SPECIFICATION.
4. INSTALL ALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.



B DRIPLINE OPERATION INDICATOR
N.T.S.

- 1 DRIPLINE OPERATION INDICATOR, USE ONE PER ZONE AND LOCATED AT FLUSH END OF ZONE
- 2 FINISHED GRADE
- 3 NATIVE SOIL BACKFILL PER SPECIFICATIONS
- 4 DRIPLINE, USE ONE PER ZONE AND LOCATED AT FLUSH END OF ZONE

NOTES:
1. SEE IRRIGATION LEGEND FOR EQUIPMENT SPECIFICATION.
2. INSTALL ALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
3. LOCATE STAPLES ALONG TUBING PER MANUFACTURER'S RECOMMENDATIONS.



C DRIPLINE STEEL SOIL STAPLE - ON GRADE
SCALE: N.T.S.

- 1 FINISH GRADE OF MULCH LAYER
- 2 MULCH TOP DRESSING PER SPECIFICATIONS
- 3 DRIPLINE
- 4 FINISH GRADE
- 5 DRIPLINE STEEL SOIL STAPLE
- 6 NATIVE SOIL PER SPECIFICATIONS
- 7 DEPTH OF MULCH PER SPECIFICATIONS AND PLANTING PLAN



SILVER LAKE
MENLO PARK, CALIFORNIA

NOT FOR CONSTRUCTION

NO.	DATE	DESCRIPTION
PROJECT NO:	549320	
CAD DWG FILE:	549320.DWG	
DESIGNED BY:	JOVAN	
DRAWN BY:	NA	
CHECKED BY:	JB	
DATE:	MARCH 26, 2019	
SCALE:	AS SHOWN	

IRRIGATION DETAILS

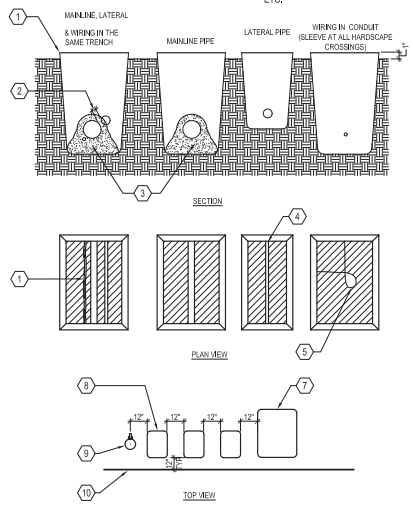
L3.4

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NOTE:
SLEEVE BELOW ALL HARDSCAPE ELEMENTS WITH THE SLEEVING TWICE THE DIAMETER OF WIRE BUNDLE CONTAINED IN IT. SEE IRRIGATION LEGEND FOR MINIMUM COVER.

INSTRUCTIONS:
1. CENTER VALVE BOX OVER REMOTE CONTROL VALVE TO FACILITATE SERVICING VALVE.
2. SET BOXES 1" ABOVE FINISH GRADE OR WALCH COVER IN GROUND COVER SHRUB AREA AND FLUSH WITH FINISH GRADE IN TURF AREA.
3. SET RCV AND VALVE BOX ASSEMBLY IN GROUND COVER SHRUB AREA WHERE POSSIBLE. INSTALL IN LAWN ONLY IF GROUND COVER DOES NOT EXIST ADJACENT TO LAWN.
4. SET BOXES PARALLEL TO EACH OTHER AND PERPENDICULAR TO EDGE OF LAWN WALK, FENCE, CURB, ETC.
5. AVOID HEAVILY COMPACTING SOIL AROUND VALVE BOXES TO PREVENT COLLAPSE AND DEFORMATION OF VALVE BOX BODIES.
6. INSTALL EXTENSION BY VALVE BOX MANUFACTURER AS REQUIRED TO COMPLETE YOUR ASSEMBLY FOR EACH ADDRESS.
7. NEVER INSTALL VALVE BOX IN HARDSCAPE.

- ① FINISHED GRADE
- ② PROVIDE A MIN. OF 2" CLEAR BETWEEN PIPES
- ③ PROVIDE A 3" MINIMUM SAND ENVELOPE AROUND ALL MAINLINE
- ④ SNAKE SOLVENT WELD PLASTIC PIPING IN TRENCH AS SHOWN
- ⑤ TIE A 24" LOOP IN WIRING AT CHANGES OF DIRECTION 30 DEGREES OR GREATER. UNTIE AFTER ALL CONNECTIONS HAVE BEEN MADE
- ⑥ INSTALL WIRING BENEATH AND BESIDE MAINLINE. TAPE AND BUNDLE AT 10 FOOT INTERVALS
- ⑦ 16" x 25" RECTANGULAR VALVE BOX FOR EMITTER MANIFOLD ASSEMBLY.
- ⑧ 14" x 19" RECTANGULAR VALVE BOX.
- ⑨ QUICK COUPLING VALVE
- ⑩ EDGE OF LAWN, WALK, FENCE, CURB, ETC.



A INSTALLATION DIAGRAMS
N.T.S.

HMH
Land Use Enginements
Land Planning
Landscape Architecture
Civil Engineering
Utility Design
Land Surveying
Stormwater Compliance

1570 Oakland Road (408) 487-2000
San Jose, CA 95131 HMB68.com



SILVERLAKE

SILVER LAKE
MENLO PARK, CALIFORNIA

NOT FOR CONSTRUCTION

NO.	DATE	DESCRIPTION
PROJECT NO:		5449J20
CAD DWG FILE:		544908C.DWG
DESIGNED BY:		JAVAN
DRAWN BY:		NA
CHECKED BY:		JG
DATE:		MARCH 26, 2019
SCALE:		AS SHOWN

IRRIGATION DETAILS

L3.5

PLOTTED: 02/27/19 10:17 AM

WATER EFFICIENT LANDSCAPE WORKSHEET

Reference Evapotranspiration (ET₀)

Value / Landscape Area	Plant Factor (PF)	Irrigation Method ^a	Irrigation Efficiency (IE) ^b	ETAP (ETAP)	Landscape Area (sq. ft.)	ETAP x Area	Estimated Total Water Use (ETWU) ^c
Regular Landscape Areas							
ET Regular	0.80	0.80	0.80	0.51	12	0.61	1.08
ET Regular	0.80	0.80	0.80	0.51	842	0.43	8.48
ET Regular	0.80	0.80	0.80	0.51	108	0.55	1.42
Totals						1.08	10.98
Special Landscape Areas							
ET Special							
Totals							
ETWU Totals						11.42	11.42

a Hydrozone	b Plant Factor
Very Low	Very Low (0 - 0.1)
Low	Low (0.1 - 0.3)
Medium	Medium (0.4 - 0.6)
High	High (0.7 - 1.0)

c Irrigation Method	d Irrigation Efficiency
Overhead spray	0.70 for spray head
Drip	0.81 for drip

^e ETWU (Annual Gallons Required) = Eto x 0.62 x ETAP x Area
where 0.62 is a conversion factor that converts area-inches per acre per year to gallons per square foot per year.

^f MAWA (Annual Gallons Allowed) = (Eto) (0.62) (ETAP x LA) = (0.1-ETAP) x SLA
where 0.62 is a conversion factor that converts area-inches per acre per year to gallons per square foot per year, LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAP is 0.6 for residential areas and 0.45 for non-residential areas.

ETAP Calculation

Average ETAP for Regular Landscape Areas must be 0.50 or below for residential areas, and 0.45 or below for non-residential areas.

Regular Landscape Areas	
Total ETAP x Area	(B)
Total Area	(A)
Average ETAP	B ÷ A

Regular Landscape Areas	
Total ETAP x Area	0.73
Total Area	702
Average ETAP	0.48

All Landscape Areas	
Total ETAP x Area	(B+D)
Total Area	(A+C)

All Landscape Areas	
Total ETAP x Area	0.73 + 0.48 = 1.21
Total Area	702

IRRIGATION MAINTENANCE SCHEDULE

1. THE LANDSCAPE SHALL BE MAINTAINED TO ENSURE WATER EFFICIENCY. A REGULAR MAINTENANCE SCHEDULE SHALL INCLUDE, BUT NOT BE LIMITED TO, ROUTINE INSPECTION, CHECKING, ADJUSTING, AND REPAIRING IRRIGATION EQUIPMENT; RESETTNG THE AUTOMATIC IRRIGATION CONTROLLER; AERATING AND DETACHING TURF AREAS; REPLENISHING MULCH; FERTILIZING; PRUNING, WEEDING IN ALL LANDSCAPE AREAS; TOPDRESSING WITH COMPOST; AND REMOVING OBSTRUCTIONS TO EMISSION DEVICES.
2. WHENEVER POSSIBLE, REPAIR OF IRRIGATION EQUIPMENT SHALL BE DONE WITH THE ORIGINALLY SPECIFIED MATERIALS OR THEIR EQUIVALENTS OR WITH COMPONENTS WITH GREATER EFFICIENCY.

MONTHLY MAINTENANCE SCHEDULE

REMARKS	JAN	FEB	MAR	APRIL	MAY	JUNE	JULY	AUG	SEPT	OCT	NOV	DEC
IRRIGATION WATERING			X	X	X	X	X	X	X	X	X	
IRRIGATION MAINTENANCE			X					X				
FERTILIZATION			X		X		X					
WEEDING			X	X	X	X	X	X	X			
CLEAN-UP	X	X	X	X	X	X	X	X	X	X	X	
MULCHING			X									
PRUNING	X	X	X	X								

IRRIGATION AUDIT SCHEDULE

1. AUDITS SHALL BE IN ACCORDANCE WITH THE STATE OF CALIFORNIA LANDSCAPE AUDITOR HANDBOOK.
2. AUDITS SHALL BE CONDUCTED BY A STATE CERTIFIED LANDSCAPE IRRIGATION AUDITOR AT LEAST ONCE EVERY FIVE YEARS AND SUBMITTED TO THE LOCAL WATER PURVEYOR AT THE COST OF THE LAND OWNER.
3. AUDITS SHALL INCLUDE INSPECTION, SYSTEM TUNE-UP, SYSTEM TEST WITH DISTRIBUTION UNIFORMITY, REPORTING OVERSPRAY OR RUN OFF THAT CAUSES OVERLAND FLOW, AND PREPARATION OF AN IRRIGATION SCHEDULE INCLUDING CONFIGURING IRRIGATION CONTROLLERS WITH APPLICATION RATE, SOIL TYPES, PLANT FACTORS, SLOPE, EXPOSURE AND ANY OTHER FACTORS NECESSARY FOR ACCURATE PROGRAMMING.
4. AUDITS WILL NOT BE CONDUCTED BY THE PERSON WHO DESIGNED OR INSTALLED THE LANDSCAPE.
5. IN LARGE PROJECTS OR PROJECTS WITH MULTIPLE LANDSCAPE INSTALLATIONS (I.E. PRODUCTION HOME DEVELOPMENTS) AN AUDITING RATE OF 1 IN 7 LOTS OR APPROXIMATELY 15% WILL SATISFY REQUIREMENT.

SOIL MANAGEMENT REPORT

SOIL MANAGEMENT REPORT SHALL BE PROVIDED BY LANDSCAPE CONTRACTOR AND SOIL AMENDMENTS SHALL BE FOLLOWED PER THE REPORT. PHYSICAL COPIES OF THE SOIL MANAGEMENT REPORT SHALL BE PROVIDED TO CLIENT, PROJECT LANDSCAPE ARCHITECT, AND LOCAL AGENCY REQUIRED. SOIL MANAGEMENT REPORT SHALL CONFORM TO STATE AB1881 WATER EFFICIENT LANDSCAPE ORDINANCE OR AGENCY ADOPTED WEL0 AS FOLLOWS:

1. SUBMIT SOIL SAMPLES TO A LABORATORY FOR ANALYSIS AND RECOMMENDATIONS.
 - (A) SOIL SAMPLING SHALL BE CONDUCTED IN ACCORDANCE WITH LABORATORY PROTOCOL, INCLUDING PROTOCOLS REGARDING ADEQUATE SAMPLING DEPTH FOR THE INTENDED PLANTS.
 - (B) THE SOIL ANALYSIS SHALL INCLUDE SOIL STRUCTURE, INFILTRATION RATE DETERMINED BY LABORATORY TEST OR SOIL TEXTURE INFILTRATION RATE TABLE, PH, TOTAL SOLUBLE SALTS, SODIUM, PERCENT ORGANIC MATTER, AND RECOMMENDATIONS.
 - (C) PROJECTS WITH MULTIPLE LANDSCAPE INSTALLATIONS (I.E. PRODUCTION HOME DEVELOPMENTS) A SOIL SAMPLING RATE OF 1 IN 7 LOTS OR APPROXIMATELY 15% WILL SATISFY THIS REQUIREMENT, LARGE LANDSCAPE PROJECTS SHALL SAMPLE AT A RATE EQUIVALENT TO 1 IN 7 LOTS.
2. THE PROJECT APPLICANT, OR HIS/HER DESIGNEE, SHALL COMPLY WITH ONE OF THE FOLLOWING:
 - (A) IF SIGNIFICANT MASS GRADING IS NOT PLANNED, THE SOIL ANALYSIS REPORT SHALL BE SUBMITTED TO THE LOCAL AGENCY AS PART OF THE LANDSCAPE DOCUMENTATION PACKAGE; OR
 - (B) IF SIGNIFICANT MASS GRADING IS PLANNED, THE SOIL ANALYSIS REPORT SHALL BE SUBMITTED TO THE LOCAL AGENCY AS PART OF THE CERTIFICATE OF COMPLETION.
3. THE SOIL ANALYSIS REPORT SHALL BE MADE AVAILABLE, IN A TIMELY MANNER, TO THE PROFESSIONALS PREPARING THE LANDSCAPE DESIGN PLANS AND IRRIGATION DESIGN PLANS TO MAKE ANY NECESSARY ADJUSTMENTS TO THE DESIGN PLANS.
4. THE PROJECT APPLICANT, OR HIS/HER DESIGNEE, SHALL SUBMIT DOCUMENTATION VERIFYING IMPLEMENTATION OF SOIL ANALYSIS REPORT RECOMMENDATIONS TO THE LOCAL AGENCY WITH CERTIFICATE OF COMPLETION.



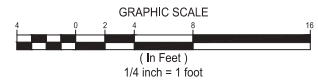
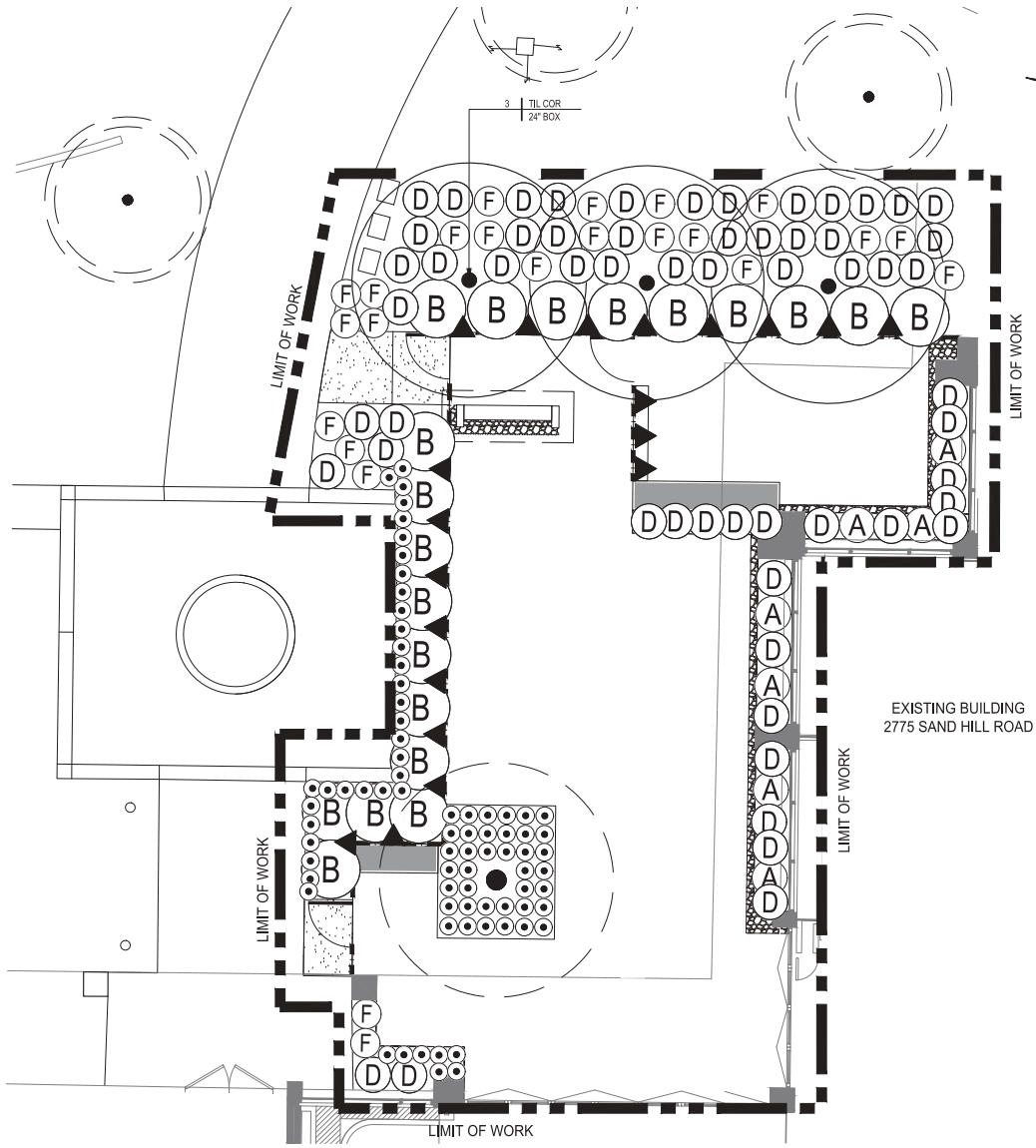
**SILVER LAKE
MENLO PARK, CALIFORNIA**

NOT FOR CONSTRUCTION

NO	DATE	DESCRIPTION
PROJECT NO:		5449.00
CAD DWG FILE:		544900ECLDING
DESIGNED BY:		JOVAN
DRAWN BY:		NA
CHECKED BY:		JO
DATE:		MARCH 26, 2019
SCALE:		NONE

IRRIGATION SCHEDULE AND WATER BUDGET CALCULATIONS

L3.6



TREE LEGEND	
BOTANICAL NAME	SYMBOL
TILIA CORDATA 'GREENSPIRE'	TIL COR
SHRUB LEGEND	
ASPARAGUS DENSIFLORUS	(A)
DIANELLA 'TINY TITAN'	●
LOMANDRA HYSTRIX 'TROPICBELLE'	(D)
PITTOSPORUM 'SILVERSHEEN'	(B)
VERBENA BONARIENSIS	(F)
VINE LEGEND	
CAMPISIS X TAGLIABUANA 'TAKARAZUKA FRESA'	▼
NOTES: 1. SEE SHEET L4.2 FOR PLANTING LEGEND AND PLANTING NOTES. 2. SEE SHEET L4.3 FOR PLANTING DETAILS. 3. SEE SHEET L0.3 FOR TREE PROTECTION AND MITIGATION.	

HMH
 Land Use Entitlements
 Land Planning
 Landscape Architecture
 Civil Engineering
 Utility Design
 Land Surveying
 Stormwater Compliance
 1570 Oakland Road (408) 487-2000
 San Jose, CA 95131 hmh@ca.com



SILVERLAKE

**SILVER LAKE
 MENLO PARK, CALIFORNIA**

NOT FOR CONSTRUCTION		
NO	DATE	DESCRIPTION
PROJECT NO.	5449.00	
CAD DWG FILE:	544900PAC.DWG	
DESIGNED BY:	JUVAN	
DRAWN BY:	NK	
CHECKED BY:	JZ	
DATE:	MARCH 26, 2019	
SCALE:	1" = 10'	
©	HMH	

PLANTING PLAN
L4.1

© PROJECTS BY HMM/CA/2019/03/26/544900PAC.DWG

PLOTTED: 2022/01/13 11:17 AM



PITTOSPORUM 'SILVER SHEEN'



LOMANDRA 'HYSTRIX TROPICBELLE'



VERBENA BONARIENSIS



CLEMATIS 'BELLE OF WOKING'



TILIA CORDATA 'GREENSPIRE'



ASPARAGUS DENSIFLORA



DIANELLA 'TINY TITAN'

*CONTRACTOR SHALL SUBMIT PHOTOS OF ALL PLANT MATERIAL, TREES AND GROUND COVERS. PHOTOS SHALL BE OF THE SPECIFIED CONTAINER SIZE. THESE PHOTOS SHALL BE SUBMITTED AS A COMPLETE SUBMITTAL PACKAGE FOR APPROVAL BY LANDSCAPE ARCHITECT.

PROPOSED PLANT PALETTE

SYMBOL	QTY. / MX RATIO	BOTANICAL NAME	COMMON NAME	MINIMUM CONTAINER SIZE / SPACING G.C.	HxW	WUCOLS
TREES						
TIL COR	3	TILIA CORDATA 'GREENSPIRE'	EUROPEAN LINDEN TREE	24" BOX (BOX HEAD FORM)	45'x25'	M
SHRUBS						
(A)	7	ASPARAGUS DENSIFLORA	SPRENGER'S ASPARAGUS	5 GALLON	2'X3'	M
(C)	61	DIANELLA 'TINY TITAN'	BLUE FLAX LILY	1 GALLON	7"x15"	M
(D)	25	LOMANDRA 'HYSTRIX TROPICBELLE'	TROPIC BELLE MAT RUSH	1 GALLON	3'X3'	L
(B)	20	PITTOSPORUM 'SILVER SHEEN'	SILVER SHEEN KOHUHU	5 GALLON	6'X5'	M
(F)	20	VERBENA BONARIENSIS	PURPLETOP VERVAIN	1 GALLON	3'X4'	L
VINES						
(V)	20	CLEMATIS 'BELLE OF WOKING'	BELLE OF WOKING CLEMATIS	5 GALLON	6'X3'	M

PLANTING NOTES

SEE SHEET L0.3 FOR TREE PROTECTION / MITIGATION NOTES AND PLAN.

CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO FURNISH AND INSTALL PLANT MATERIAL AS SHOWN ON THE DRAWINGS AND AS DESCRIBED IN THE SPECIFICATIONS.

UNLESS DESIGNATED ON THE DRAWINGS OTHERWISE, STRUCTURAL IMPROVEMENTS AND HARDSCAPE SHALL BE INSTALLED PRIOR TO PLANTING OPERATIONS.

PLANT LIST ON THE DRAWINGS SHALL BE USED AS A GUIDE ONLY. CONTRACTOR SHALL TAKEOFF AND VERIFY SIZES AND QUANTITIES BY PLAN CHECK.

A SOIL MANAGEMENT REPORT SHALL BE PROVIDED BY LANDSCAPE CONTRACTOR AND SOIL AMENDMENTS SHALL BE FOLLOWED PER THE REPORT. PHYSICAL COPIES OF THE SOIL MANAGEMENT REPORT SHALL BE PROVIDED TO THE CLIENT, PROJECT LANDSCAPE ARCHITECT AND LOCAL AGENCY AS REQUIRED, THE SOIL MANAGEMENT REPORT SHALL CONFORM TO STATE AB1881 WATER EFFICIENT LANDSCAPE ORDINANCE (WEO) OR LOCAL AGENCY ADOPTED WEO. CONTRACTOR SHALL OBTAIN A SOILS MANAGEMENT REPORT AFTER GRADING OPERATIONS AND PRIOR TO PLANT INSTALLATION.

SAMPLES OF FERTILIZERS, ORGANIC AMENDMENT, SOIL CONDITIONERS, AND SEED SHALL BE SUBMITTED PRIOR TO INCORPORATION. CONTRACTOR SHALL FURNISH TO THE OWNER'S AUTHORIZED REPRESENTATIVE A CERTIFICATE OF COMPLIANCE FOR SUCH FURNISHED MATERIALS.

ALL WORK ON THE IRRIGATION SYSTEM, INCLUDING HYDROSTATIC, COVERAGE, AND OPERATIONAL TESTS AND THE BACKFILLING AND COMPACTION OF TRENCHES SHALL BE PERFORMED PRIOR TO PLANTING OPERATIONS.

LOCATIONS OF PLANT MATERIAL SHALL BE REVIEWED ON SITE BY THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION.

TREES SHALL BE PLANTED NO CLOSER THAN TEN FEET (10') FROM UTILITIES.

TREES PLANTED WITHIN FIVE FEET (5') OF HARDSCAPE OR STRUCTURES SHALL BE INSTALLED WITH A ROOT BARRIER AS APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

CONTRACTOR MUST CONTACT THE CITY OF SAN JOSE ARBORIST TO VERIFY SPECIES (EVEN IF SHOWN ON THE PLANS), LOCATIONS, AND QUANTITIES OF ALL STREET TREES PRIOR TO ORDERING MATERIAL. IF STREET TREES ARE TO BE PLANTED IN TREE WELLS, FINAL LOCATION OF TREE WELLS SHALL BE DETERMINED BY THE ARBORIST PRIOR TO INSTALLATION OF SIDEWALK.

ALL PLANTING AREAS TO RECEIVE 3" THICK BARK MULCH LAYER. IN THE EVENT THAT BARK MULCH EXISTS ON SITE, CONTRACTOR SHALL PROVIDE SAMPLE OF EXISTING AND PROPOSED MATCHING BARK MULCH FOR APPROVAL. OTHERWISE, BARK MULCH SHALL BE LYNGSO SMALL FIR BARK (3/4" TO 1-1/2") OR APPROVED EQUAL.

ALL PLANT MATERIAL SHALL BE SELECTED IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1) FOR STANDARD FORM TREES, CALIPER SIZE SHALL BE MEASURED 6" ABOVE THE SOIL LINE FOR CALIPERS EQUAL TO OR LESS THAN 4" FOR CALIPERS GREATER THAN 4". CALIPER SHALL BE MEASURES 12" ABOVE THE SOIL LINE. FOR MULTI-TRUNK TREES THE CALIPER SHALL BE ESTABLISHED BY TAKING THE AVERAGE OF THE CALIPER OF THE TWO LARGEST TRUNKS. CALIPER IS MEASURED 6" ABOVE ORIGINATION POINT OF THE SECOND LARGEST TRUNK OR 6" ABOVE GROUND IF ALL TRUNKS ORIGINATE FROM THE SOIL.

CALIPER SIZES STANDARDS:
 15 GALLON: 0.75-1.25"
 24" BOX: 1.25-2"
 36" BOX: 2.3-3.5"
 48" BOX: 3.5-5"
 60" BOX: 4-6"

WATER NEEDS CATEGORY BASED ON WUCOLS IV (JANUARY 2014) LANDSCAPE COEFFICIENT METHOD:

CATEGORY	PERCENTAGE OF ET ₀
(H) HIGH:	0.7-0.9
(M) MEDIUM:	0.4-0.6
(L) LOW:	0.1-0.3
(VL) VERY LOW:	<0.1



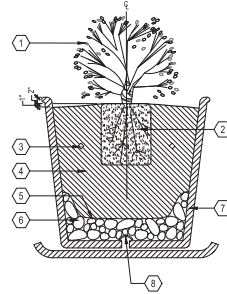
SILVER LAKE
MENLO PARK, CALIFORNIA

NOT FOR CONSTRUCTION		
NO	DATE	DESCRIPTION
PROJECT NO:		5493.00
CAD DWG FILE:		544806LDC.DWG
DESIGNED BY:		JZAN
DRAWN BY:		NAK
CHECKED BY:		JP
DATE:	MARCH 26, 2019	
SCALE:	AS SHOWN	
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PLANTING LEGEND AND NOTES

L4.2

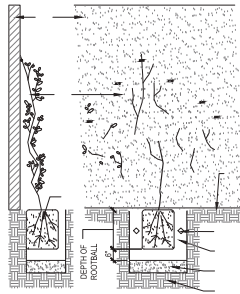
NOTES:
1. SEE PLANTING SPECIFICATIONS PRIOR TO INSTALLATION OF PLANT MATERIALS.



- ① SHRUB-SEE PLAN AND LEGEND FOR SIZE AND TYPE
- ② ROOTBALL
- ③ AGRIFORM PLANT TABLETS 2 PER 1 GALLON, 3 PER 5 AND 15 GALLON
- ④ BACKFILL MIX:
50% ORGANIC AMENDMENTS
50% WASHED HORTICULTURAL SAND
- ⑤ SARAN CLOTH 92% SHADE
- ⑥ PEA GRAVEL 2" MINIMUM DEPTH
- ⑦ POTTERY WITH MATCHING SAUCER-SEE POTTERY PLAN FOR TYPE
- ⑧ DRAIN CHIP

C CONTAINER PLANTING (SHRUB)
SCALE: N.T.S.

NOTES:
1. SEE PLANTING SPECIFICATIONS PRIOR TO INSTALLATION OF PLANT MATERIALS.
2. ROOTBALL CROWN TO BE 1" ABOVE FINISH GRADE.

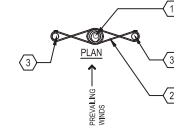


FENCE OR WALL
VINE-SEE PLANTING PLAN FOR SIZE AND TYPE

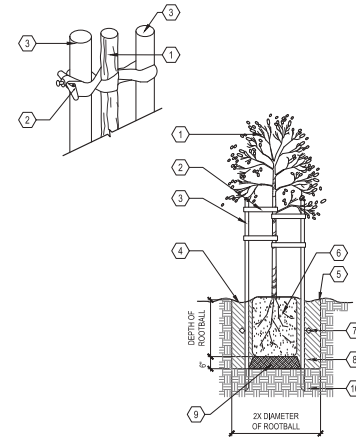
AGRIFORM PLANT TABLETS 2 PER 1 GALLON, 3 PER 5 AND 15 GALLON
APPROVED BACKFILL, THOROUGHLY MIXED PRIOR TO INSTALLATION
SCARIFY SOIL TO 6" DEPTH AND ADD EQUAL AMOUNT OF PREPARED SOIL AND THOROUGHLY MIX
NATIVE GRADE
FINISH GRADE
ROOTBALL

D

NOTES:
1. SEE PLANTING SPECIFICATIONS PRIOR TO INSTALLATION OF PLANT MATERIALS.
2. THIS DETAIL APPLIES TO 15 GALLON AND 24" BOX TREES.
3. ROOTBALL CROWN TO EXTEND 1" ABOVE FINISH GRADE.
4. TREES INSTALLED WITHIN TURF AREAS SHALL BE INSTALLED WITH 'ARBOR-GARD' AT BASE OF TRUNK.

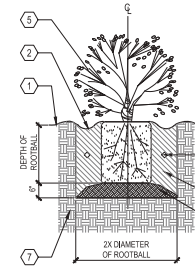


- ① TREE-SEE PLAN FOR SIZE AND TYPE
- ② CINCH TIE OR APPROVED EQUAL
- ③ 2" DIAMETER TREATED LODGE POLE PINE STAKE PLACED ON WINDWARD SIDES OF TREE, AND OUTSIDE OF ROOTBALL
- ④ A SHALLOW BASIN 2" DEEP SHALL BE FORMED AROUND ROOTBALL BELOW FINISH GRADE. TREES PLANTED IN TURF SHALL NOT HAVE BASINS.
- ⑤ FINISH GRADE
- ⑥ ROOTBALL
- ⑦ AGRIFORM PLANT TABLETS 3 PER 15 GALLON, 6 PER 24" BOX AND 8 FOR 36" BOX
- ⑧ APPROVED BACKFILL, THOROUGHLY MIXED PRIOR TO INSTALLATION. PUDDLE AND SETTLE PRIOR TO PLANTING TREE.
- ⑨ FOOT TAMP BASE
- ⑩ NATIVE GRADE



A TREE STAKING (DOUBLE)
SCALE: N.T.S.

NOTES:
1. SEE PLANTING SPECIFICATIONS PRIOR TO INSTALLATION OF PLANT MATERIALS.
2. ROOTBALL CROWN TO BE 1" ABOVE FINISH GRADE.



- ① FINISH GRADE
- ② A SHALLOW BASIN 2" DEEP SHALL BE FORMED AROUND ROOTBALL BELOW FINISH GRADE
- ③ AGRIFORM PLANT TABLETS 2 PER 1 GALLON, 3 PER 5 AND 15 GALLON
- ④ FOOT TAMP BASE
- ⑤ SHRUB-SEE PLAN AND LEGEND FOR SIZE AND TYPE
- ⑥ APPROVED BACKFILL, THOROUGHLY MIXED PRIOR TO INSTALLATION
- ⑦ NATIVE GRADE OR CERTIFIED COMPACTED SUBGRADE

B SHRUB PLANTING
SCALE: N.T.S.

NOT FOR CONSTRUCTION	
NO.	DESCRIPTION
PROJECT NO.	5449.00
CAD DWG FILE:	544900LDC.DWG
DESIGNED BY:	JUAN
DRAWN BY:	NK
CHECKED BY:	JP
DATE:	MARCH 26, 2019
SCALE:	AS SHOWN

INSTRUCTIONS TO BIDDERS

A. SUBMITTALS

Bids shall be submitted in sealed envelopes bearing on the outside the name of the bidder, the bidder's address and the name of the project for which the bid is being submitted. Bids shall be delivered to Owner or general contractor responsible for reviewing and processing bids.

B. EXAMINATION OF CONSTRUCTION DOCUMENTS AND SITE

Each bidder shall inspect the construction documents (drawings and specifications) and site of the proposed project. The submission of a bid shall constitute and acknowledge that the bidder is familiar with all conditions which might affect the contemplated project.

Any discrepancies shall be brought to the immediate attention of the Owner. Contractor shall assume all necessary revisions due to failure to give such notification.

C. REJECTION OF ALL BIDS

The Owner reserves the right to any time prior to the award, to reject all bids. The Owner also reserves the right to accept other than the lowest bidder, to accept one (1) part of a proposal and to waive any technical informalities in any proposal.

D. WITHDRAWAL OF BID

A bidder may withdraw the bid without prejudice, provided a written request for such withdrawal is delivered to the Owner prior to the commencement of the opening of bids.

GENERAL CONDITIONS

A. DEFINITIONS

Unless otherwise specifically defined herein, or unless the context requires a different meaning, all words, abbreviations, symbols, terms and phrases having a well known or technical meaning shall be so construed.

Whenever in these specifications, or in any documents or instruments where these specifications govern, the following terms are used, the intent and meaning thereof shall be as follows:

CONTRACT - Represents the entire and integrated agreement between the Owner and the Contractor. The contract documents form the Contract for construction.

CONTRACT DOCUMENTS - These specifications, the drawings, addenda issued prior to execution of the Contract, and the Contract between the Owner and the Contractor.

CONTRACTOR - The person or entity whose bid is accepted and to whom the Contract is awarded.

LANDSCAPE ARCHITECT - The professional services firm who prepared the project drawings and specifications for the Owner.

OWNER - Is the person or entity identified as such in the Contract.

WORK - The term "work" or "project" means the construction and services required by the Contract Documents and includes providing all labor, materials, equipment, transportation, tools, and incidentals necessary to complete the work in a satisfactory manner by licensed contractor and experienced workers.

B. CONSTRUCTION PROCEDURE

Contractor shall not be relieved of obligations to perform the work in accordance with the Contract Documents either by activities or duties of the Owner, Landscape Architect, or by tests, inspections or approvals required or performed by persons other than the Contractor.

C. SUBCONTRACTS

Contractor shall set forth in the bid the name and the location of each subcontractor who will perform work or labor or render service to the Contractor in or about the construction of the work.

Contractor must have the written consent of the Owner to substitute a subcontractor other than that designated in the bid.

D. DRAWINGS AND SPECIFICATIONS

The contractor shall keep at the project site a copy of the drawings and specifications. In the event a discrepancy exists between figures and/or drawings, the discrepancy shall be immediately submitted to the Owner for clarification. Any adjustment made by the Contractor without obtaining such clarification from the Owner shall be at the Contractor's risk and expense and be subject to removal if said adjustment does not meet the approval of the Owner.

The Contract documents, as defined herein, are intended to be read together to describe a complete and finished piece of work, including all labor, materials and equipment necessary for the proper execution of the project. Anything in the specifications and not on the drawings, or on the drawings and not in the specifications, shall be as though shown or mentioned in both.

E. SHOP DRAWINGS OR PRODUCT DATA AND SAMPLES

Shop drawings, product data, samples, and similar submittals are not contract documents. The purpose of their submittals is to demonstrate for those portions of the work for which submittals are required the way the Contractor proposes to conform to the information given and the design concept expressed in the drawings.

The Contractor shall review, approve, and submit such submittals required by the contract documents with reasonable promptness and in such sequence or to cause no delay in the work.

Landscape Architect shall review and approve or take other appropriate action on the contractor submittals, such as shop drawings, product data, samples and other data, which the contractor is required to submit, but only for the limited purpose of checking for conformance with the design concept and the information shown in the construction documents. This review shall not include review of the accuracy or completeness of details, such as quantities, dimensions, weights or gauges, fabrication processes, construction means or methods, coordination of the work with other trades or construction safety precautions, all of which are the sole responsibility of the contractor. Review of a specific item shall not indicate that the Landscape Architect has reviewed the entire assembly of which the item is a component. Landscape Architect shall not be responsible for any deviations from the construction documents not brought to the attention of the Landscape Architect in writing by the contractor.

F. CHANGE ORDERS

The Owner may at any time prior to acceptance of the work, by written order to Contractor and without notice to sureties, increase or decrease the estimated quantity of work or material, make alterations, omissions, additions to or omissions from the drawings and specifications, and make changes in the project as may be deemed necessary or advisable, within the general scope thereof.

No claim for additional work or material will be allowed unless supported by a written Change Order signed by the Owner and the Contractor stating their agreement upon all of the following:

- Change in the work,
- Amount of the adjustment in the Contract sum, and
- Extent of the adjustment in the Contract time, if any.

G. CONTROL OF MATERIALS

Materials, parts and equipment to be furnished by the Contractor shall be new, unless otherwise specified in these specifications or noted on the drawings. The materials shall be manufactured, handled, and used in a workmanlike manner.

All materials shall be subject to rigid inspection and if, in the opinion of the Owner the same do not comply with the contract documents, said materials shall be rejected and immediately removed from the premises at the expense of the Contractor.

Manufacturers warranties, guarantees, instructions sheets and parts lists, which are furnished with certain articles or materials incorporated in the work, shall be delivered to the Owner prior to acceptance of the work.

H. SAMPLES AND TESTS

The Contractor shall furnish such samples of all materials as requested by the Owner without charge. Labor and equipment necessary for the furnishing of such samples shall be the responsibility of the Contractor.

I. SUBSTITUTION OR EQUIVALENTS

For convenience in designation on the drawings or in the specifications, certain articles or materials to be incorporated in the work may be designated under a trade name or the name of a manufacturer and catalogue number. Subject to approval by the Owner or Landscape Architect, an alternative article or material may be utilized.

The burden of proof as to the quality and suitability of alternatives shall be upon the Contractor.

J. CERTIFICATES OF COMPLIANCE

When requested, Contractor shall furnish the Owner with a Certificate of Compliance stating that the material substantially meets the specifications

K. INDEMNIFICATION

The obligations of the Contractor under this section shall not extend to the liability of the Landscape Architect, the Landscape Architect's consultants, and agents and employees of any of them arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications, or (2) the giving of or the failure to give directions or instructions by the Landscape Architect, the Landscape Architect's consultants, and agents and employees of any of them provided such giving or failure to give is the primary cause of the injury or damage.

L. SAFETY OF PERSONS AND PROPERTY

The Contractor shall be responsible for initiating, maintaining and supervising all safety precautions and programs in connection with the performance of the Contract.

The Contractor shall take reasonable precautions for safety of, and shall provide reasonable protection to prevent damage, injury or loss to, employees on the work and other persons who may be affected thereby, the work and materials and equipment to be incorporated therein, whether in storage on or off the site, under care, custody or control of the Contractor or the Contractor's subcontractors, and other property at the site or adjacent thereto, such as trees, shrubs, lawns, walks, pavements, roadways, structures and utilities not designated for removal, relocation or replacement in the course of construction.

The Contractor shall give notices and comply with applicable laws, ordinances, rules, regulations and lawful orders of public authorities bearing on safety of persons or property or their protection from damage, injury or loss.

The Contractor shall so conduct operations as to offer the least possible obstruction and inconvenience to the public. The Contractor shall have under construction no greater amount of work than can be performed properly with due regard to the rights of the public.

M. PROJECT SITE MAINTENANCE

Throughout all phases of construction, and until acceptance of the work, the Contractor shall keep the project site clean and free from rubbish and debris.

Costs incurred due to cleanup operations shall be as included in the prices bid for the various items of work and no separate payment will be made therefor.

N. AIR POLLUTION

Contractor shall comply with all air pollution control rules, regulations, ordinances and statutes which apply to any work performed pursuant to the Contract and shall not discharge smoke, dust or any other air contaminants into the atmosphere in such quantity as will violate the regulations of any legally constituted authority.

O. NOISE CONTROL

Contractor shall comply with all local sound control and noise level regulations and ordinances which apply to any work performed pursuant to the Contract, and shall make every effort to control an undue noise resulting from the construction operation.

P. PESTICIDES/HERBICIDES

Contractor shall comply with all rules and regulations of the Department of Food and Agriculture, the Department of Health, the Department of Industrial Relations and all other agencies which govern the use of pesticides/herbicides required in the performance of the work.

Q. DUST CONTROL

The Contractor shall abate dust nuisance by cleaning, sweeping and sprinkling with water, or other means as necessary, and shall save the Owner free and harmless from any claim for loss or damage sustained by others and resulting from operations on the project site.

R. UTILITIES

When placing concrete around or contiguous to any utility, the Contractor shall assume responsibility for costs to furnish and install a cushion of expansion joint material, clear opening or sleeve, or by other suitable means shall prevent embedment or bonding with the concrete.

S. PATENTS AND ROYALTIES

The Contractor shall absorb in its bid, the patent fees or royalties on any patented article or process which may be furnished or used in the work. The Contractor shall indemnify and hold the Owner harmless from any legal actions that may be brought from infringement of patents.

T. REPAIRS AND REPLACEMENT

Costs incurred due to repair or replacement of defective or damaged work shall be the responsibility of the contractor.

U. PROJECT MAINTENANCE

Project maintenance is required after the project is complete. A lack of maintenance in area such as, but not limited to irrigation and planting operations may result in damage to property and/or persons. Contractor acknowledges and agrees that, as between parties to the contract, the Contractor is solely responsible for the results of any lack of or improper maintenance.

CLEARING AND GRUBBING

A. GENERAL

Contractor shall provide all labor, materials, and equipment for clearing and grubbing operations performed in advance of grading operations.

Clearing and grubbing shall consist of removing all natural and artificial objectionable materials within the limits of construction.

Except as indicated on the drawings, materials removed shall not be incorporated in the project.

Depressions caused by the removal of objectionable materials shall be backfilled and compacted with materials equal to the surrounding soil.

B. PRESERVATION OF PROPERTY

Costs incurred due to repair or replacement of existing improvements which are not designated for removal and which are damaged as a result of construction operations shall be the responsibility of the Contractor.

Replacements shall be at least equal to the conditions when Contractor entered upon the work, and shall match them in finish and dimension. Plant material shall be replaced with the same species, size, and in the original location (unless otherwise designated).

C. REMOVAL AND DISPOSAL OF MATERIAL

All materials removed shall be disposed of off-site. Burning shall not be permitted. No accumulation of flammable material shall remain on or adjacent to the project site.

Abandoned pipes shall be capped or plugged in a manner suitable to site supervisor or agency inspector.

FINE GRADING

GENERAL

Contractor shall provide all labor, materials and equipment to perform all fine grading operations as indicated on the drawings and specified herein. See geotechnical, civil, and structural drawings for other earthwork specifications/recommendations.

The Contractor shall provide all lines and grades necessary to properly carry on the work. Any work which is not found to comply with the lines and grades shown on the drawings shall be altered or removed and replaced by, and at the expense of, the Contractor.

All bench marks, monuments and other reference points shall remain undisturbed.

B. GRADING OPERATIONS

Finished surfaces in all cases shall conform to the lines, grades, cross sections and dimensions indicated on the drawings.

Finish grades shall be well compacted, reasonably smooth, ensuring positive drainage, free of abrupt grade changes, irregularities, water pockets or discontinuities in surface level. Grades shall flow away from structures and in accordance with local jurisdictional requirements.

Finish grade adjacent to paved areas, curbs, valve boxes and similar structures shall be one inch (1") below the finished surface for turf areas, and two to three inches (2" - 3") below the finished surface for ground cover areas. Areas adjacent to hardscape should be graded so 3" layer of mulch does not over spill onto adjacent surface.

No grading shall be done when the moisture content of the soil is so great that excessive compaction will occur, nor when it is so dry that dust will form in the air or that clods will not break readily.

Grading shall be completed prior to weed abatement operations and soil preparation.

Grading shall be to the dimensions and elevations indicated on the drawings, of sufficient width to provide clearances for setting of forms and inspection of the various classifications of work.

Concrete for footings shall be placed against native grade or certified compacted subgrade prepared per geotechnical report.

Grading excavations shall be level, free from loose material, and free from standing water.

C. COMPACTED FILL

Fill material shall be composed of satisfactory excavated material or approved imported soil and shall be evenly spread in uniform continuous horizontal layers per geotechnical report.

D. BACKFILL

Excavated material, approved for backfilling by geotechnical engineer, shall be free from large dots, stones and other objectionable materials, exceeding three inches (3") in diameter; and deposited in accordance with the requirements for compacted fill as specified herein.

Trenches that settle below grade shall be reopened to a depth required for proper compaction, refilled and compacted to indicated surface elevation.

Compaction of backfill by ponding and jetting will not be permitted.

E. UNSUITABLE MATERIALS

Unsuitable materials as determined by the Owner shall be removed from the project site. Arrangements for disposal of the material at off-site locations shall be made with the City's/Owner's written consent of the property upon which such material will be disposed.

DRAINAGE

A. GENERAL

Contractor shall provide all labor, materials, and equipment to furnish and install drainage systems as indicated on the drawings and as specified herein. Cross reference civil engineering drawings for connections and coordinated drainage systems.

Contractor shall maintain the project site throughout the progress of the work in a reasonable, dry, workable condition, free of surface water.

Contractor shall be responsible for all cutting and patching of new or existing walks, curbs and pavements required for proper installation of drainage systems.

In order to make any necessary adjustments, connections that are to be made to an existing pipe, catch basin or other appurtenances shall be exposed and inspected before laying new pipe.

B. HORIZONTAL SUBDRAINS

Drainage systems shall be as indicated and installed as detailed on the drawings.

Pipe shall be as indicated on the drawings and laid and jointed in accordance with generally accepted practice and to line and grade as designated on the drawings.

Interior of pipe shall be thoroughly cleaned of all foreign matter prior to, during, and after installation in the trench.



Land Use Entitlements
Land Planning
Landscape Architecture
Civil Engineering
Utility Design
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1570 Oakland Road
San Jose, CA 95131 (408) 487-2200
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SILVER LAKE
MENLO PARK, CALIFORNIA

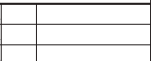


Table with columns: NO, DATE, DESCRIPTION. Includes project details like PROJECT NO: 5493.00, CAD DWG FILE: 544699BCC.DWG, DESIGNED BY: JUDAN, DRAWN BY: HMH, CHECKED BY: JET, DATE: MARCH 26, 2019, SCALE: NONE.

LANDSCAPE SPECIFICATIONS

L5.1

NON-VEGETATIVE SITE MATERIALS

A. WEED ABATEMENT AND SOIL TREATMENT

- Contractor shall apply, in areas to be installed with subbase materials, a selective pre-emergent, surface-applied herbicide. Rates and application method shall be as recommended by manufacturer.
- Visible weeds shall be sprayed with a non-selective, post-emergent herbicide. Application method shall be as recommended by manufacturer.
- Contractor shall apply spray chemicals when air currents are still, preventing drifting onto adjoining property and preventing any toxic exposure to persons whether or not they are in, or near, the project.

B. AGGREGATE SUBBASE MATERIAL

- Aggregate subbase material shall be as specified in the project geotechnical report.
- Material shall be of such nature that it can be compacted readily under watering and rolling to form a firm, stable base that is spread in one (1) operation, free from pockets of large fine material.

C. SAND SUBBASE MATERIAL

- Sand utilized for subbase material shall be as specified in the project geotechnical report OR consist of natural or manufactured granular material free of clay, deleterious amounts of organic material broken glass, cans or other substances not suitable for the purposes intended. Samples should be submitted prior to project order for approval.

D. SAND FOR SURFACE AREAS

- Sand for surface areas shall consist of natural or manufactured granular material free of clay, deleterious amounts of organic material, broken glass, cans or other substances not suitable for the purposes intended. Washed concrete sand shall be thoroughly and uniformly washed. Plaster sand is unacceptable for play areas. Samples should be submitted prior to project order for approval.

E. DECOMPOSED GRANITE

- Decomposed granite shall be the product of crushing rock or gravel, clean, hard, sound, durable, uniform in quality, and free of any detrimental quantity of soft, friable, thin, elongated or laminated pieces, disintegrated material, organic matter, oil, or other deleterious substances. Color shall be as indicated on the drawings or selected by Landscape Architect.
- Geotextile fabric, if applicable, shall be TenCrate Mirifi Type N-Series, nonwoven polypropylene geotextile fabric or equal, unless otherwise noted in detail or materials list.

TEMPORARY ASPHALTIC CONCRETE PAVING

A. GENERAL

- Contractor shall provide all labor, materials and equipment for furnishing, spreading, compacting and finishing asphaltic concrete paving as indicated on the drawings and specified herein.
- Prior to placement of asphaltic concrete, Contractor shall be responsible for establishing subgrade and providing drainage in accordance with the Fine Grading Section, and performing weed abatement operations as specified herein.

B. WEED ABATEMENT AND SOIL TREATMENT

- Contractor shall apply an approved selective pre-emergent, surface-applied herbicide. Rates and application method shall be as recommended by the manufacturer.
- Visible weeds shall be sprayed with an approved non-selective, post-emergent herbicide. Rates and application method shall be as recommended by the manufacturer.
- Contractor shall apply spray chemicals when air currents are still, preventing drifting onto adjoining property and preventing any toxic exposure to persons whether or not they are in, or near, the project.

C. MATERIALS

- Asphaltic concrete shall be the product of mixing coarse and fine aggregate with paving asphalt at a central mixing plant until all aggregate particles are uniformly coated.
- Paving asphalt shall be steam-refined, produced from crude asphaltic petroleum or a mixture of refined liquid asphalt and refined solid asphalt. Paving asphalt shall be homogeneous and free from water and residues obtained by the artificial distillation of coal, coal tar or paraffin oil.
- Aggregates shall be clean and free from decomposed or organic materials, and other deleterious substances.

D. REPAIR AND REPLACEMENT

- Costs incurred due to repair or replacement of defective or damaged work shall be the responsibility of the Contractor.

CONCRETE

A. GENERAL

- Contractor shall provide all labor, materials and equipment to construct concrete items as indicated on the drawings and specified herein.
- Concrete shall consist of portland cement, fine aggregate (sand), coarse aggregate and water, proportioned to repair or replacement of a twenty-eight (28) day compressive strength of at least 2,500 pounds per square inch with a slump not to exceed three inches (3"). Concrete shall not contain reactive aggregate or calcium chloride.
- In addition to complying with all pertinent codes and regulations of local governing agencies, Contractor shall comply with all pertinent recommendations contained in "Recommended Practice for Concrete Formwork", publication #347-78 of the American Concrete Institute.

B. MATERIALS

- Cement shall be Type II low alkali portland cement conforming to ASTM C-150. Cement shall be of the same brand and type used throughout the project.
- Sand shall consist of natural or manufactured granular material, free of deleterious amounts of organic material, mica, loam, clay, and other substances not suitable for portland cement concrete. Sand shall be thoroughly and uniformly washed.
- Coarse aggregate shall be composed of gravel or a blended mixture of crushed rock and gravel containing no more than fifty (50) percent of crushed rock particles having all faces fractured and not less than twenty-five percent (25%) of gravel. Aggregates shall not exceed a diameter of one and one-half inches (1 1/2"). Blending shall produce a uniform, consistent percentage of each. Rock products shall be clean, hard, sound, durable, uniform in quality and free of any detrimental quantity of soft, friable, thin, elongated or laminated pieces, disintegrated material, organic matter, oil, alkali, or other deleterious substances.
- Water shall not contain deleterious substances or any amount of impurities that will cause a change in the time of setting. The amount of water used in the mixture shall not exceed the amount necessary to permit material placement and consolidation.

C. FORMS

- Forms shall be free of warp, set plumb and true to line and grade with upper edges flush with specified grade or finished surface of the constructed improvement, and not more than one-half inch (1/2") less in depth than the specified thickness of the edge of the concrete to be placed.
- Wooden forms shall have a net thickness of at least one and one-half inches (1 1/2") and shall be free of imperfections which would impair the strength for the use intended. Forms shall be secured by nailing to side stakes of sufficient length and cross-sectional area to adequately resist lateral displacement during placement of concrete. Forms shall be clean and shall receive a coat of light oil immediately prior to placing concrete. Sanders or thin plank forms may be used on curves.

- Metal forms shall have sufficient rigidity to resist springing during placement of concrete. Forms shall be secured by means of metal stakes designed so as to be driven below the top of the forms through openings, locking them into position.

D. REINFORCEMENT

- Reinforcement shall conform to the dimensions and details shown on the drawings and shall be cleaned thoroughly of all rust, mill scale, mortar, oil, dirt, or coating of any character which would be likely to destroy or impair its proper bonding with the concrete.
- Reinforcing steel, where indicated on the drawings, shall be Grade 40 or Grade 60 billet steel, conforming to ASTM A-615.
- Wire mesh reinforcement, where indicated on the drawings, shall conform to ASTM A-185.

E. PLACING CONCRETE

- Install embedded items accurately in their proper locations, secured against displacement, prior to placing concrete.
- Concrete shall be placed on native grade, certified compacted subgrade, or subbase material, free of all loose and extraneous material, sufficiently dampened to ensure that no moisture will be absorbed from the fresh concrete.
- Concrete shall be distributed uniformly and thoroughly vibrated in a manner that will encase the reinforcement, fill the forms and bring the surface true to grade and cross-section.
- Equipment used shall not have any aluminum components coming into direct contact with the concrete.

F. FINISHING

- Concrete surfaces shall be floated prior to steel troweling. Formed edges shall be rounded to a radius of one-half inch (1/2"). Edges at expansion joints shall be rounded to a radius of one-half inch (1/2").
- Concrete finishes shall be as indicated on the drawings and specified herein.
- No advertising impressions, stamp or mark of any description will be accepted on surface of concrete.
- Concrete shall not be covered with plastic sheeting.
- Broom finish, where indicated on the drawings, shall be performed after finish troweling by drawing the following broom types across the narrowest width of the concrete or in the direction as indicated on the drawings.
 - Fine Broom - Push with fine or soft textured bristles.
 - Medium Broom - Push with medium or medium stiff bristles.
 - Heavy Broom - Push with coarse or stiff bristles.
- Rock salt finish, where indicated on the drawings, shall be performed by applying rock salt evenly over entire surface just prior to the finish troweling. Press salt crystals into the surface with sufficient trowel pressure so that salt is embedded just barely below surface leaving the tops of the crystals exposed. Cure finished surface in accordance with generally accepted practice.
- Colored concrete, where indicated on the drawings and per materials list and installed per manufacturer recommendations.
- Stamped concrete, where indicated on the drawings, shall be performed by applying special forming tools while concrete is still in the plastic stage of set. Desired pattern shall be as indicated on the drawings. Contractor shall be licensed, tooled, and trained for stamping product being used.

- Sandblasted Finish, where indicated on the drawings, shall be performed after finish troweling by blowing the surface granules with an air-pressure hose and fine grain silicon sand. Contractor shall do a test sample for approval prior to completing entire area to be sandblasted.

G. JOINTS

- Expansion joints shall be as indicated on the drawings and at corners, radius points and at regular intervals not to exceed twelve feet (12') on center. Set premoled expansion joint strip below finished surface, temporarily secured to top of expansion strip or use a removable plastic filler strip. Expansion joints shall be sealed per detail callout.
- Scored control joints shall be to a minimum depth of three-quarters inch (3/4") and a radius of one-eighths inch (1/8") at five foot (5') intervals or per plan.
- Saw cut joints, where specified shall be as indicated on the drawings or at intervals not to exceed twelve feet (12') on center, and shall be cut to a minimum depth of three-quarters inch (3/4") and a width not to exceed one-quarter inch (1/4").

H. CURING

- Curing compound shall form an impervious membrane and shall be a blend of pure waxes and alkali-resistant pigments in a solvent emulsion and installed per manufacturer recommendation.
- Spraying of curing compound shall commence as soon as free water leaves the surface but no later than three (3) hours following placement of concrete.

MASONRY

A. GENERAL

- Contractor shall provide all labor, materials and equipment to construct masonry structures conforming to the dimensions and details indicated on the drawings and specified herein.

B. MATERIALS

- Hollow load bearing (CMU) masonry units shall be made with sand-gravel aggregate and shall conform to ASTM C-90 for Grade N-1 units, free of cracks or defects. Net size of units shall be shown on the drawings.
- Brick shall be whole, sound, hard burned, give a clear ringing sound when struck together, and be uniform in quality. Brick shall be clean and free of dust or other foreign materials. Net size, color and texture of units shall be as shown on the drawings.
- Stone shall be uniform in quality, clean and free of dust or other foreign materials.

- Mortar used in masonry construction shall be one (1) part portland cement to two and one-half (2 1/2) parts of sand, to which one-quarter (1/4) to one-half (1/2) part hydrated lime or lime putty has been added. Color shall be as indicated on the drawings or as selected by Landscape Architect.

- Grout for use in spaces less than two inches (2") clear in dimension shall be one (1) part portland cement and two and one-quarter (2 1/4) to three (3) parts sand. For spaces four inches (4") or larger add one-quarter (1/4) to two (2) parts of aggregate.

- Water shall be free of any amount of impurities that will cause change in the time of setting of portland cement. Quantity of water shall be the minimum required to produce a mixture sufficiently workable for the purpose intended.

- Cement shall be Type II low alkali portland cement conforming to ASTM C-150. Cement shall be of the same brand and type used throughout the project.

- Sand shall consist of natural or manufactured granular material, free of deleterious amounts of organic material, mica, loam or clay, conforming to ASTM G-404 for grout and ASTM C-144 for mortar. Sand shall be thoroughly and uniformly washed.

- Coarse aggregate shall be composed of gravel or a blended mixture of crushed rock and gravel. Rock products shall be clean, hard, sound, durable, uniform in quality and free of any detrimental quantity of soft, friable, thin, elongated or laminated pieces, disintegrated material, organic matter, oil, alkali or other deleterious substance.
- Reinforcing steel shall be Grade 40 or Grade 60 billet steel conforming to ASTM A-615. Varying grades shall not be used interchangeably in any one wall.

C. INSTALLATION

- All work shall be performed in compliance with applicable local building ordinances and Uniform Building Code and Masonry Design Manual.
- All walls shall be laid true, level, and plumb, and unless otherwise indicated on the drawings, brick and concrete block shall be laid in a running bond pattern.
- Brick and stone shall be clean, wetted immediately before laying and shall be laid on a full mortar bed with "push joints".
- Concrete block which becomes wet shall be permitted to dry before commencing work.
- Mortar joints for brick and concrete block shall be straight, clean, uniform in thickness of not less than three-eighths of an inch (3/8"), tooled to produce a slightly concave surface, and well bonded at edges.

- Mortar joints for stone shall be tooled to produce a slightly concave surface, and well-bonded to stone at edges.
- Contractor shall provide expansion joints at corners and at thirty feet (30') on center as required by local code.
- All bolts and anchors to be inserted in the wall shall be solidly grouted in place.

- Contractor shall provide weep holes in first or second layer of brick as indicated in details on drawings or as required.

D. REINFORCEMENT

- Reinforcement shall be placed as indicated on the drawings and as required by building codes.
- Horizontal steel for concrete block walls shall be laid in a course of bond beam block filled with grout.
- For concrete block walls, a vertical dowel shall be provided in the foundation for each vertical bar. Vertical cores containing steel shall be filled solid with grout.

E. LAYING PAVERS

- Spread and screed setting bed to a uniform thickness, except for minor variations required to produce a true surface, level in plane or uniformly spread for drainage as shown on drawings.
- Setting bed shall be three-quarter inch (3/4") minimum and one and one-quarter inch (1 1/4") maximum.
- Apply a thin layer of cement paste (132" to 116") by brushing or troweling over setting bed or to bottom of brick. Set and level each brick.

F. GRAFFITI CONTROL

- Product shall be Graffiti Control as manufactured by Sure Klean or an approved equal.
- Deliver materials in manufacturer's original unopened containers.
- Rates and application method shall be as recommended by the manufacturer.

ROUGH CARPENTRY

A. GENERAL

- Contractor shall provide all labor, materials and equipment to construct wooden structures conforming to the dimensions and details indicated on the drawings and as specified herein.

B. MATERIALS

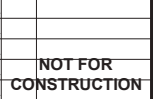
- Lumber shall be straight, free from large, loose or unsound knots or knot clusters, scars, decay, holes, insect damage, and other defects or imperfections that would materially impair the strength or durability. Spills shall be no longer than the butt dimension. No cracks will be permitted. No nails, spikes, or other metal shall be present.
- Douglas fir, where indicated on the drawings, shall conform in all particulars to the Standard Grading Rules for Western Lumber published by the Western Wood Products Association.
- Cedar, where indicated on the drawings, shall conform in all particulars to the Standard Grading Rules for West Coast Lumber.
- Redwood, where indicated on the drawings, shall conform in all particulars to the Standard Specifications for Grades of California Redwood of the Redwood Inspection Service.
- Plywood, where indicated on the drawings, shall be manufactured and graded in accordance with the rules of the American Plywood Association and the latest Product Standard for Softwood Plywood, Construction and Industrial, of the National Bureau of Standards. Each sheet of plywood shall bear the official stamp of a quality control agency stating the grade of the sheet.
- Poles, where indicated on the drawings, shall be cut from sound, live, close-grained trees, machine peeled with all branch stubs and overgrown knots trimmed flush with the surface.

C. TREATMENTS AND PRESERVATIVES

- Type of pressure treatment or preservative shall be as indicated on the drawings and shall conform with the applicable standards contained in the Manual of Recommended Practice of the American Wood Preservers Association. Contractor shall furnish a Certificate of Compliance for each load of pressure treated lumber to Owner.
- Where a particular method of pressure treatment is not indicated on the drawings, the lumber shall be conditioned, seasoned, prepared and treated by the empty cell pressure process with pentachlorophenol with six-tenths (0.60) pounds per cubic foot retention. Penetration shall be determined by the pentor check method.
- Where practical, treated wood shall be cut to final size and trimmed prior to treatment. If site sawing or drilling is necessary, cut surfaces shall be thoroughly brushed with two (2) coats of the same kind of preservative in conformance with AWPA Specification M-4.
- Portions of posts which are to be embedded in earth or concrete shall be brushed before installation with two (2) coats of coal tar bitumen, or approved equal. Applications shall extend a minimum of one inch (1") above finish grade or surface. Spraying will not be permitted.



SILVER LAKE
MENLO PARK, CALIFORNIA



NO	DATE	DESCRIPTION
PROJECT NO.	5493.00	
CAD DWG FILE:	54469BCC.DWG	
DESIGNED BY:	JUDAN	
DRAWN BY:	HMM	
CHECKED BY:	JP	
DATE:	MARCH 26, 2018	
SCALE:	NONE	
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LANDSCAPE SPECIFICATIONS

L5.2

- D. WORKMANSHIP**
- Framing shall be true and exact. All lumber shall be cut and framed to a close fit and shall have even bearing over the entire contact surface. Shimming will not be permitted.
 - Lumber shall be well nailed or bolted together as indicated on the drawings. Nails shall not be driven closer together than one-half (1/2) their length. Care shall be taken to avoid hammer marks, moons, or saw cuts.
 - Lumber shall be stored neatly in piles on skids in such manner that they may be readily inspected, and shall be handled in a manner that will avoid injury or breakage.

- PAINTING AND STAINING**
- GENERAL**
- Contractor shall provide all labor, material, tools, equipment and incidentals for sanding, priming, painting and staining of improvements as indicated on the drawings and specified herein.
 - Contractor shall be responsible for the location, alignment, layout, dimensions and application of paint and stains.
 - Costs incurred for repair or replacement of defective or damaged work, rejected materials or workmanship shall be the responsibility of the Contractor.

- B. MATERIALS**
- Paints and stains shall be of colors and tints as indicated on the drawings, and shall be applied in accordance with the manufacturer's recommendations and these specifications. Contractor shall submit color samples to the City for approval before applying any paint materials.
 - Paint shall be homogeneous, free of contaminants and of a consistency suitable for use in the capacity for which it is specified. Finished paint shall be well ground and the pigment shall be properly dispersed in the vehicle according to the requirements of the paint. The dispersion shall be of such nature that the pigment does not settle appreciably, does not cake or thicken in the container or become granular or curdled. Paints shall possess properties which in all respects effect satisfactory application, adhesion and curing. Thinning will not be permitted.
 - Paint shall be delivered to the project site in new, unopened, round, airtight containers, appropriately identified with the manufacturer's name, date of manufacture, type of material and lot or batch number.

- C. WORKMANSHIP AND PROTECTION**
- Paint shall be applied on thoroughly dry surfaces and during periods of favorable weather.
 - Surfaces being covered shall be free from moisture, dust, grease or other deleterious substance which would prevent bonding.
 - Painting shall be done in a neat and workmanlike manner, applied by brush, roller or spray methods. Finished surfaces shall be uniform, free of brush marks, roller stipple texture, runs or skips. Each application of paint shall be thoroughly cured and any skips, holidays, thin areas or other deficiencies corrected before the succeeding application.
 - Contractor shall protect all adjacent improvements against disfigurement as a result of painting operations.

- D. PAINTING GALVANIZED SURFACES**
- Galvanizing surfaces which are to be painted shall be prepared by hand-scraping, brushing with stiff fiber or wire brushes or cleaning with alkaline solution followed by a fresh water rinse. After washing, surfaces shall be roughened by abrasive blasting. Galvanizing shall not be removed during preparation operations.
 - After preparation, apply one (1) coat of zinc dust-zinc oxide primer followed by a vinyl wash pre-treatment and two (2) finish enamel paint coats.

- E. PAINTING CONCRETE**
- Prior to painting concrete surfaces, a brush coat or surface film of thin cement mortar shall be applied. When the film has set sufficiently the surface shall be rubbed by hand or mechanical means necessary to remove excess mortar and produce a smooth surface of even texture. Finished surfaces shall be washed with water and then with a ten percent (10%) to fifteen percent (15%) muriatic acid wash. Concrete surfaces shall be thoroughly dry and free of dust at time of painting.
 - Paint for concrete surfaces shall be of either epoxy enamel type or acrylic emulsion type applied in not less than two (2) applications producing a uniform appearance.

- F. PAINTING WOOD SURFACES**
- Wood surfaces shall be prepared for painting by removing any foreign matter by wire brushing, scraping or sanding. All surfaces shall be wiped or dry brushed to remove any dust or chalky residue resulting from preparation operations.
 - Paints, stains, or sealers shall be applied prior to assembling.

- MISCELLANEOUS METAL**
- GENERAL**
- Contractor shall provide all labor, materials, and equipment to furnish and install miscellaneous metal items as indicated on the drawings and as specified herein.
 - This section does not include reinforcing steel for concrete and masonry or items required in connection with irrigation or electrical work.

- B. WORKMANSHIP**
- Workmanship and finish shall be equal to the best general practice in steel fabrication shops.
 - Portions of work exposed to view shall be finished neatly. All sharp corners and edges that are marred, cut or roughened during erection shall be slightly rounded.
- C. MATERIALS**
- All materials, prior to fabrications, shall be thoroughly wire brushed and cleaned of all scale and rust. Finished members shall be free from twists, bends or open joints.
 - Miscellaneous metal items shall conform to the dimensions and details as indicated on the drawings. Steel bars, plates and shapes shall conform to ASTM A-36.

- D. BOLTS, NUTS AND FASTENERS**
- Unless specified otherwise in the details on the drawings, nails and spikes shall be galvanized flat common.
 - Bolts shall be long enough to extend entirely through the nut but not more than one-quarter inch (1/4") beyond. Unless otherwise specified on the drawings, bolts, nuts and lag screws shall be galvanized square head. Carriage bolts shall have truss heads with square shoulder. Washers shall be over-sized of "cut" type. Holes shall be either punched full size, drilled full size, or sub-punched and reamed.
 - Anchor bolts, where applicable, shall be carefully installed to permit true positioning of the bearing assemblies.
 - Framing anchors, where applicable, shall be sixteen (16) gauge, zinc-coated, corrosion resistant sheet steel.

- E. GALVANIZING**
- Galvanizing shall be performed after fabrication and prior to assembling component parts.
 - Zinc used for galvanizing shall be grade Prime Western conforming to ASTM B-6. Materials shall be galvanized by the hot-dip method or electrodeposition process.
 - Galvanized surfaces that are abraded or damaged after zinc coating application shall be thoroughly stripped and cleaned and repaired by a coating of "galvalloy", or approved equal. Finish coat to match existing finish.

- F. WROUGHT IRON OR TUBULAR STEEL FENCING**
- Material shall be manufactured from coil steel having a minimum yield strength of 50,000 psi. Steel shall be galvanized to meet the requirements of ASTM A-526 with a minimum zinc coating weight of nine-tenths (.90) ounces per square foot hot-dip process.
 - Contractor shall submit detail shop drawings indicating material thickness, type grade, and class, dimension, construction details, and other pertinent data for review and approval by engineer prior to fabrication, drawings shall include catalog cuts, erection details, manufacturer's descriptive data and installation instructions and templates.
 - Contractor shall verify all measurements and shall take all field measurements necessary before fabrication. Exposed fastenings shall be compatible materials, shall generally batch in color and finish, and shall harmonize with the material to which fastenings are applied. Materials and parts necessary to complete each item, even though such work is not definitely shown or specified, shall be included. Poor matching of holes for fasteners shall be cause for rejection. Fastenings shall be concealed where practical. Thickness of metal and details of assembly and supports shall provide strength and stiffness. Joints exposed to weather shall be formed to exclude water.
 - Anchorage shall be provided where necessary for fastening miscellaneous metal items securely in place. Anchorage not otherwise specified or indicated shall include slotted inserts made to engage with the anchor, expansion shields, and power-driven fasteners when approved for concrete; toggle bolts and through bolts for masonry; machine and carriage bolts for steel; and lag bolts and screws for wood.

- IRRIGATION SYSTEM**
- A. GENERAL**
- Contractor shall provide all labor, materials, and equipment necessary to furnish and install the irrigation system as indicated on the drawings and as specified herein.
 - Coordinate the installation of all irrigation materials with the construction of site amenities and planting.
 - All work on the irrigation system, including hydrostatic, coverage, and operational tests and the backfilling and compaction of trenches shall be performed before planting operations.
 - Drawings are diagrammatic and shall be adjusted as necessary to conform to actual field conditions. Costs incurred due to any adjustment for coverage, including those requested by the Owner relative to the location of irrigation heads as shown on the drawings shall be the responsibility of the Contractor.
 - Point of connection (P.O.C.) and operating pressure (P.S.I.) shall be as indicated on the drawings. Contractor shall verify the location and size of water source, PSI, and electrical supply prior to commencing installation. In case of discrepancy, Contractor shall immediately notify the Owner.

- B. QUALITY ASSURANCE**
- All local and state laws, rules and regulations governing or relating to any portion of the irrigation system are hereby incorporated into and made a part of these specifications. However, if these specifications call for or describe materials, workmanship or construction of a better quality, higher standard or larger size than is required by the above rules, regulations or requirements, these specifications and the drawings shall take precedence.

- In the event any equipment or methods indicated on the drawings or specified herein conflict with applicable regulations, Contractor shall immediately notify the Owner or Landscape Architect in writing prior to installation. In case of discrepancy, Contractor shall immediately notify the Owner.

- Due to the scale of the drawings, it is not possible to indicate all offsets, fittings, sleeves, and related other equipment which may be required. Contractor shall carefully investigate the structural and finished conditions affecting the work and install a complete irrigation system within the intent of the drawings and specifications.
- Manufacturer's warranties shall not relieve the Contractor of liability under the provisions for guarantees.

- C. MATERIALS LIST**
- Within fifteen (15) calendar days after award of Contract and prior to installation, the Contractor shall submit to the Owner a list of materials including the manufacturer, description, model number and installation data.
 - Equipment or materials installed or furnished without prior written acceptance may be rejected and such materials removed from the site at the Contractor's expense.

- D. PRODUCT DELIVERY, STORAGE AND HANDLING**
- Contractor shall exercise care in handling, loading, unloading and storing of irrigation materials and equipment.

- E. PLASTIC PIPE**
- Plastic pipe, where indicated on the drawings, shall be injection molded, rigid, unplasticized polyvinyl chloride (PVC), NSF approved, of high tensile strength, chemical resistant and impact strength, and depending on class and grade, conform to ASTM D241 or ASTM D-1785.
 - Fittings and couplings shall be threaded PVC Schedule 80 conforming to ASTM D-2464, or slip-fitting, tapered socket, solvent-weld type, PVC Schedule 40 conforming to ASTM D-2466 or PVC Schedule 80 conforming to ASTM D-2467.
 - Solvent cement and primer for rigid PVC solvent-weld pipe and fittings shall be of commercial quality, IAPMO approved, conforming to ASTM D-2564.

- F. BRASS PIPE**
- Brass pipe, where indicated on the drawings, shall be 86% red brass, American National Standards Institute, Schedule 40 screwed pipe, conforming to Federal Specifications WW-P-351.
 - Fittings shall be medium brass, screwed 125 pound class, conforming to Federal Specifications WW-P-460.

- G. GALVANIZED PIPE**
- Galvanized steel pipe, where indicated on the drawings, shall be ASA Schedule 40 mild steel screwed pipe. Fittings shall be medium galvanized screwed beaded malleable iron.
 - All galvanized pipe and fittings installed below grade shall be painted with two (2) coats of Koppers #50 Bitumatic, or approved equal. Pipes may be wrapped with an approved asphaltic tape.

- H. UVR-PVC PIPE**
- UVR-PVC pipe, where indicated on the drawings, shall be ultra-violet resistant, Schedule 40 PVC pipe. Fittings shall be UVR-PVC fittings.

- I. BACKFLOW PREVENTION UNIT**
- Backflow prevention unit shall be factory assembled and shall be as indicated in the Irrigation Legend on the drawings, or approved equal. Contractor shall install backflow prevention unit as indicated in the details on the drawings and in accordance with manufacturer's recommendation.

- J. VALVE BOXES**
- Gate valves and remote control valves, except for anti-siphon valves, shall be installed below grade as indicated in the details on the drawings, in lockable valve boxes manufactured by Carson, Brooks, Fraser, Ametek, or approved equal.

- Valve box lids shall be per Irrigation Legend. Gate valves shall be identified by stamping "CV" on the valve box cover. Remote control valves shall be identified by stamping "RCV" and station number on the valve box cover.
- Valve boxes shall be set one inch (1") above finish grade, with valves set at sufficient depth to provide appropriate clearance between the cover and valve.

- K. ISOLATION VALVES**
- Isolation valves (ball) shall be as indicated in the Irrigation Legend on the drawings, or approved equal. Contractor shall install isolation valves as indicated in the details on the drawings and in accordance with manufacturer's recommendation.

- L. QUICK COUPLING VALVES**
- Quick coupling valves shall be as indicated in the Irrigation Legend on the drawings.

- M. ANTI-DRAIN VALVES**
- Where indicated on the drawings, and as needed for field conditions, anti-drain valves shall be as indicated in the Irrigation Legend on the drawings.

- N. REMOTE CONTROL VALVES**
- Remote control valves shall be solenoid actuated, of the type, manufacturer and size as indicated in the Irrigation Legend on the drawings.

- O. CONTROLLERS AND WIRING**
- Controller shall be of the type and manufacturer as indicated in the Irrigation Legend on the drawings, or approved equal. Contractor shall install controller as indicated in the details on the drawings and in accordance with manufacturer's recommendations.

- For traditional wire systems connections between the controller and the remote control valves shall be made with direct burial solid copper wire. Control wire shall be #14 AWG, Type UF, 600 volt. Common wire shall be #12 AWG. Wire shall be PVC insulated of single conductor type, underground feeder cable, U.L. approved.
- For traditional wire systems, as practical, pilot wires shall be a different color for each valve. Common wires shall be white with a different color stripe for each automatic controller. For 2wire systems, each controller shall have a different wire color.

- Wire shall be buried a minimum of eighteen inches (18") in depth and whenever possible shall occupy the same trench as the mainline, bundled and secured to irrigation pipelines at ten foot (10') intervals with plastic electrical tape, providing sufficient slack for expansion and contraction.
- Wire for slope systems shall be installed in a UVR PVC sleeve laid adjacent to the on-grade pipes.

- Provide a separate ground wire for each controller.
- An expansion curl shall be provided within three feet (3') of each wire connection and change of direction, and at least every 100 feet of wire length on longer runs.

- For traditional wire systems, all splices shall be made with Scotch-Lok #3576 Connector Sealing Packs, Rain Bird Pen-Tite, Sears DS-400 wire connectors, 3M DBY wire sealing packs, or approved equal. Use one (1) splice per connector sealing pack. Wire splices shall be located in pull boxes set one inch (1") above finish grade.

- For two wire systems, all splices shall be made with 3M DBY-6 direct bury splice kits or approved equal. Use one (1) splice per connector sealing pack. Wire splices shall be located in pull boxes set one inch (1") above finish grade.

- Field splices between the controller and remote control valves will not be permitted.
- For traditional wire systems, install a spare control wire of a different color along entire mainline. Loop thirty-six inches (36") excess wire into each single box and into one valve box in each group of valves.

- All controller wires installed within the garage shall be run in corrosion resistant thin metal wall electrical conduit and labeled as "Irrigation Control Wires."

- For two wire systems, surge protection against surge damage due to lightning or other electrical surge events is required. All installations shall conform to manufacturer's instructions, and must meet or exceed the American Society of Irrigation Consultants (ASIC) Earth Grounding Guideline 100-2002. In all cases where it does not conflict with appropriate grounding grid design for the project, Ground Rods or Plates as referred to in this specification shall conform to the following standards:
 1. All grounding rods shall be bare copper of 5/8" diameter or greater, and 8' length or greater.
 2. All grounding plates shall be 5 square feet, typically 4' by 96", as outlined in ASIC Earth Grounding Guideline 100-2002.
 3. A measured resistance reading of no more than 25 ohms is necessary at each TW-LA-1 (Lightning Arrestor). ASIC Spec: Section 7.0 – Measuring resistance, Item A.

- Ground rods and plates shall be located at a minimum distance to assure that the two-wire path is outside of the electrode sphere of influence for the grounding rod. For an 8' grounding rod, this means that the grounding rod must be connected at least 8' away from the two-wire path, at a right angle to the two-wire path. See the section below for details on connecting the grounding rod or plate to the lightning or diversion arrestor. (Under no circumstance should a ground rod or ground plate be installed in or under a valve box, meter box or electrical box.)

- P. IRRIGATION HEADS**
- Irrigation heads shall be of the manufacturer, size, type, and rate of precipitation with the diameter (or radius) of throw, pressure, and discharge as specified in the Irrigation Legend.
 - Riser units shall be oriented perpendicular to the finish grade with nipples of the same size as the riser operating in the irrigation head.

- Spacing of heads and drip irrigation tubing shall not exceed the maximum shown on the drawings and in no case exceeding the maximum spacing recommended by the manufacturer. Contractor responsible to insure complete coverage.

- Q. INSTALLATION**
- Pipe shall be cut square and the ends reamed out to the full inside diameter of the pipe and thoroughly cleaned of dirt, dust and moisture before installation.
 - PVC pipe shall be protected from tool damage during assembly. Plastic pipe which has been nicked, scuffed or damaged shall be removed and replaced at the Contractor's expense.
 - PVC solvent-weld joints shall be made in accordance with ASTM D-2855. Pipe shall not be exposed to water for twenty-four (24) hours after solvent-weld joints are completed.
 - Trenches shall be of open vertical construction to appropriate depths as indicated on the drawings and specified herein. PVC pipe shall be laid on native grade or certified compacted subgrade, free of rocks or sharp-edged objects and snaked from side to side in the trench to allow for expansion and contraction.
 - Teflon tape shall be used on all threaded PVC to PVC and on all threaded PVC to metal joints.
 - Brass pipe and fittings shall be assembled using Teflon tape, applied to the male threads only.
 - Galvanized pipe threads shall be cut with clean, sharp dies, conforming to American Standards Association Specification. Male pipe threads shall be coated with a non-toxic, non-hardening, non-corrosive joint compound.



SILVER LAKE
MENLO PARK, CALIFORNIA

NOT FOR CONSTRUCTION

NO.	DATE	DESCRIPTION
PROJECT NO.	5493.00	
CAD DWG FILE	544669BCC.DWG	
DESIGNED BY	JUDAN	
DRAWN BY	HMM	
CHECKED BY	JP	
DATE	MARCH 26, 2019	
SCALE	NONE	
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LANDSCAPE SPECIFICATIONS

L5.3

- Galvanized pipe or ultra-violet resistant (UVR) PVC installed on grade shall be anchored at intervals not to exceed ten feet (10'), with #4 rebar, with a "J" hooked radius.
- Rubber Ring Seal Joint:
 - Use factory-made male end or prepare field-cut male end to exact specifications of factory-made end.
 - Carefully clean bell or coupling and insert rubber ring without lubricant. Position ring carefully according to manufacturer's recommendations.
 - Lubricate male end according to manufacturer's recommendations and insert male end to specified depth. Use hands only when inserting PVC pipe.

- Thrust blocks shall be provided where necessary to resist system pressure on ring-tile pipe and fittings. Blocks shall be concrete and the size shall be based on an average soil safe bearing load of 1000 pounds per square foot.
- Form thrust blocks in such a manner that concrete comes in contact only with the fittings. Thrust blocks shall be between solid soil and the fitting.

- Irrigation lines and control wiring shall be installed under paving in separate PVC Schedule 40 sleeves. Sleeves shall be installed with the coverage depths as specified herein.
- Piping under existing pavement may be installed by jacking, boring or hydraulic driving, except that no hydraulic driving will be permitted under asphaltic concrete pavement. Where cutting or breaking of existing pavement is necessary, obtain permission from the Owner before cutting or breaking pavement and then make all necessary repairs and replacements to the satisfaction of the Owner, and at no additional cost to the Owner.

- All lines shall have a minimum horizontal clearance of six inches (6") from each other and from lines of other trades. Parallel lines shall not be installed directly over one another.
- Provide the following minimum coverage (where lines run over paved areas, these coverage depths shall be considered below subgrade):

Pressure mainline	18"
Non-pressure lateral lines	12"
Control wiring	18"

R. ADJUSTING AND TESTING THE SYSTEM

- Contractor shall furnish all equipment, materials and labor to conduct pipeline pressure tests, coverage tests and operational tests. All tests shall be made in the presence of the Owner prior to planting operations. Trenches shall not be backfilled until the pipeline pressure tests have been performed to the satisfaction of the Owner.

- After completion of pipeline assembly, prior to installation of terminal fittings, including but not limited to remote control valves and quick coupler valves, entire system shall be thoroughly flushed to remove dirt, scale or other deleterious material.

- With open ends capped, prior to installing valves, test pressure supply lines for six (6) hours at 125 PSI. Center load PVC pipe with a small amount of backfill to prevent arching and whipping under pressure.

- Contractor shall be responsible for correcting any portions of the work twenty (24) hours in advance for the following inspections,
 - system layout
 - pressure pipeline tests
 - coverage tests
 - operational tests (prior to commencing planting operations)

- Coverage test shall demonstrate that each station area is balanced to provide uniform and adequate coverage.

- Operational test shall demonstrate the performance and operation of all components of the controller system. Remote control valves shall be properly balanced, heads adjusted for coverage and system shall be workable, clean and efficient.

- Contractor shall be responsible for correcting any portions of the work that are not properly installed and retesting until installation has been accepted by the Owner.

S. MATERIALS TO BE FURNISHED

- Contractor shall furnish the Owner the following materials at the end of construction, prior to the Post-Installation Maintenance Period:
 - Two (2) sets of special tools required for removing, disassembling and adjusting each type of sprinkler and valve supplied on the project.
 - Two (2) five foot (5') valve keys for operating isolation valves.
 - Two (2) keys for each controller.
 - One (1) quick coupler key and matching hose swivels for each quick coupler valve installed.
 - One (1) set each approved as-built and record drawings.
 - Two (2) sets each approved controller charts.

T. AS-BUILT AND RECORD DRAWINGS

- Contractor shall maintain and keep up to date one (1) set of blueprints showing the "as-built" location of major features of the project and indicating changes that may occur during installation. Prior to acceptance of the work, Contractor shall furnish the Owner with one (1) set of reproducible transparencies as the Record Set showing the as-built data, of a quality satisfactory to the Owner. Transfer as-built data in ink (no ball point pen) and eradicate outdated items.
- Dimension from two (2) permanent points of reference (buildings, monuments, sidewalks, curbs, pavement) the location of the following items:
 - Point of connection to existing water lines.
 - Point of connection to existing electrical power.
 - Irrigation valves.
 - Routing of irrigation pressure lines (dimensions, maximum 100' along route).
 - Remote control valves.
 - Routing of control valves.
 - Quick coupling valves.
 - Other related equipment as requested by the Owner.

- Contractor shall submit As-Built/Record Drawings to Owner for review prior to completing Controller Charts.

U. CONTROLLER CHARTS

- Contractor shall provide two (2) controller charts for each controller supplied. The controller charts shall show the area controlled and shall be the maximum size which the controller door will allow. The controller charts shall be a photographic print with a different color indicating the area of coverage for each station. When completed and approved, the controller charts shall be hermetically sealed between two (2) pieces of transparent plastic, each being a minimum of twenty (20) mils thick.

V. OPERATION AND MAINTENANCE MANUALS

- Prepare and deliver four (4) individually bound copies of the Operation and Maintenance Manual to the Owner at least ten (10) calendar days prior to acceptance of the work. The Manual shall include descriptive material of equipment installed and shall be in sufficient detail for maintenance personnel to understand, operate and maintain all equipment. Each complete, bound manual shall include the following:
 - Index sheets stating Contractor's address and telephone number, list of equipment with names and addresses of local manufacturers representatives.
 - Catalog and parts sheets on all material and equipment installed.
 - Complete operation.
 - Guarantee statement and maintenance instructions.

- Index sheets stating Contractor's address and telephone number, list of equipment with names and addresses of local manufacturers representatives.
- Catalog and parts sheets on all material and equipment installed.
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W. GUARANTEE

- Contractor shall guarantee all materials and equipment for one (1) year from the date of acceptance of the work. Should any trouble develop within the time specified due to inferior or faulty materials or workmanship, the Contractor shall be responsible for costs incurred due to repair and replacement.

GENERAL PLANTING

A. GENERAL

- Contractor shall provide all labor, materials and equipment for the installation of plant material as indicated on the drawings and as specified herein.
- Contractor shall coordinate planting with other site improvements. Unless otherwise specified, structural improvements shall be installed prior to planting operations.
- Contractor shall be responsible for locating and staking existing sewer, water and utility lines above or below grade that might be damaged as a result of planting operations. Contractor shall assume sole responsibility for any cost incurred due to damage and for replacement of aforementioned utilities.
- All work on the irrigation system, including hydrostatic, coverage, and operational tests, and the backfilling and compaction of trenches shall be performed prior to planting operations.
- Samples of fertilizers, soil conditioners, seed, or other materials shall be submitted to Owner forty-eight (48) hours prior to incorporation in the work.
- An agricultural suitability and fertility analysis soils report shall take precedence over these specifications.

B. PLANT MATERIAL QUALITY

- Plant material shall be in accordance with the State Department of Agriculture's regulations for nursery inspections, nurseries and grading. All plants shall be of No. 1 Grade and have a normal habit of growth, and shall be sound, healthy, vigorous and free of insect infestations, plant diseases, sun scalds, fresh bark abrasions or other objectionable disfigurements. All plants shall have a normal, well-developed branch system and vigorous and fibrous root system which is not root bound and is free of kinked or girdling roots.
- Nursery growth stock shall be selected from high quality, well-shaped stock, grown under climatic conditions similar to those in the project locale. Minimum acceptable size of plants as indicated in the drawings shall correspond with that normally expected for the species and variety of commercially available nursery stock.
- Where applicable, caliper shall be the diameter of the trunk one foot (1') above the ground surface.
- Oversize plants may be used if not root bound, but shall not increase the Contract price. Up to ten percent (10%) of undersized plants in any one (1) variety and grade may be used, provided they are larger than the average size of the next smallest grade.
- Scientific and common names conform to customary nursery usage.
- Types and sizes of plant materials shall be as indicated on the drawings. Quantities shown are a guide only. Contractor shall verify quantities by plan check.
- The Owner reserves the right to refuse or reject any unsuitable plant material. Unsuitable plants shall be removed from the project site and replaced at the Contractor's expense. Replacement plants shall be the same species, variety, size and conditions as specified.
- Pruning of plant materials shall not be done prior to delivery. After planting, pruning shall be limited to the minimum necessary to remove injured twigs and branches, dead wood and suckers.
- Plant material is subject to substitution based upon availability. Substituted material shall be approved in advance by the Owner.

C. FERTILIZERS

- Fertilizers shall comply with applicable requirements of the State Agricultural Code and shall be packaged, first grade, commercial quality products identified as to source, type of material, weight and manufacturer's guaranteed analysis. Fertilizers shall not contain toxic ingredients in quantities harmful to human, animal, or plant life. When requested, Contractor shall furnish the Owner with Certificate of Compliance stating that the material substantially meets the specifications.

- Commercial fertilizer shall be a pelleted, beaded, or granular product having the chemical analysis specified herein and shall be free-flowing material delivered in original unopened containers. Use of material which becomes caked or otherwise damaged shall not be permitted.

D. AMENDMENTS

- Organic base fertilizer shall be comprised of decomposed animal, fish and vegetable matter with humic acids and a bacterial stimulant, manufactured as Gro-Power by Southern California Organic Fertilizer Co., Glendale, California, or approved equal.
- Nitrogen stabilized organic amendment shall be a ground or processed wood product derived from wood of redwood, fir or cedar, treated with a non-toxic agent to absorb water quickly. Nitrogen content, based on dry weight, shall be 0.5% for redwood and 0.7% for fir and cedar. Iron content, based on dry weight, shall be 0.1%. Pine sawdust is not acceptable.
- When requested, Contractor shall furnish the Owner with a delivery receipt and Certificate of Compliance stating that the material substantially meets the specifications.

E. TOPSOIL

- Topsoil shall consist of fertile, friable soil of loamy character, and shall contain an amount of organic matter normal to the area. It shall be reasonably free from weeds, refuse, roots, heavy or stiff clay, stones larger than one inch (1") in diameter, sticks, brush, litter and other deleterious substances. Topsoil may be obtained from the site if approved by the Owner.
- When required, imported topsoil shall be subject to inspection and testing at the source of supply prior to delivery to the project.

F. MATERIAL DELIVERY AND INSPECTION

- Plant material shall be delivered with legible identification labels, handled and stored adequately to maintain a healthy condition, protecting them from drying out, windburn or any other injury.

G. SOIL PREPARATION

- Areas to receive "soil preparation" include turf, groundcover from rooted cuttings and non-slope hydroseeded areas.
- Fertilizing and conditioning materials shall be as specified in the project agricultural suitability report. Wash off fertilizer from plant.
- If an agricultural suitability report is not available, the following amendments, or approved equal, shall be mechanically spread and uniformly cultivated into the upper six inches (6") per 1,000 square feet of soil by suitable equipment operated at approximately right angles in at least two (2) directions:
 - 3 CY Nitrogen stabilized organic amendment
 - 125 LBS Gro-Power Plus soil conditioner/fertilizer
 - 30 LBS Agricultural gypsum
- Resulting soil shall be clean, in a friable condition and suitable for planting.

H. WEED ABATEMENT OPERATIONS

- The irrigation system and finish grade shall be completed prior to weed abatement operations.
- Contractor shall operate the irrigation system to keep planting areas uniformly moist for a period of three (3) weeks (21 consecutive calendar days). At the end of the three (3) week period, Contractor shall spray all visible weeds with a contact herbicide. Application method shall be as recommended by manufacturer. After spraying, planting areas shall remain unwatered for a minimum of forty-eight (48) hours. Remove weeds from site.
- Water seven (7) additional consecutive calendar days from the first application, and apply a contact herbicide as may be necessary. After second spraying, water shall not be applied for an additional forty-eight (48) hour period. Applications shall continue at seven (7) day intervals as determined by the Owner.
- Contractor shall apply spray chemicals when air currents are still, preventing drifting onto adjoining property and preventing any toxic exposure to persons whether or not they are in or near the project.
- Weeds and debris shall be disposed of off-site.

I. BACKFILL

- Backfill shall be as specified in the project agricultural suitability report, machine-mixed and approved by the Owner prior to incorporation in planting pits.
- If a agricultural suitability report is not available, the following amendments or approved equal, shall be incorporated:
 - 7 parts by volume On-site soil
 - 3 parts by volume Nitrogen stabilized organic amendment
 - 16 LBS per CY of mix Gro-Power Plus soil conditioner/fertilizer
 - 1 LB per CY of mix Iron sulfate
 - 1 LBS per CY of mix Agricultural gypsum

J. INSTALLATION - SHRUBS, VINES, AND TREES

- Stake plant locations and secure approval from the Owner before excavating pits. Excavated pits shall be as indicated in the details on the drawings. Dust sides of pits with gypsum before backfilling.
- Containers shall be opened and removed such that the rootball is not injured.
- Water all planting areas thoroughly after installation of plant materials. Additional backfill shall be added to fill voids caused by water settlement.

- Trees shall be staked at time of planting as indicated in the details on the drawings.
- All nursery stakes shall be removed after tree has been planted and staked according to construction details.

K. BIOTREATMENT SOIL

- Biotreatment soil shall conform to the most current regional permit based on project location.
- Biotreatment soil for projects located within the MRC (Municipal Regional Permit) boundary including but not limited to portions of Contra Costa County, Alameda County, San Mateo County and Santa Clara County shall conform to California Regional Water Quality Control Board San Francisco Bay Region Municipal NPDES Permit No. CAS6120058 Attachment L "Specification of Soils for Biotreatment or Bioreclamation Facilities."

- Biotreatment soil for projects located within the Small MS4s (Municipal Separate Storm Sewer System) General Permit Boundary including but not limited to portions of Santa Clara County (southern), Santa Cruz County, San Benito County and Monterey County shall conform to the provisions of the permit. If none exists, soil shall conform to California Regional Water Quality Control Board San Francisco Bay Region Municipal Stormwater NPDES Permit No. CAS6120058 Attachment L "Specification of Soils for Biotreatment or Bioreclamation Facilities."

L. GUARANTEE

- Contractor shall guarantee plant material through one (1) full year after the date of acceptance of the work.
- Replacement plant material shall be of the same species, variety, & size as originally planted and shall be guaranteed for one (1) full year from the date of re-planting.
- Cost incurred due to replacement of dead or dying plant material shall be the responsibility of the Contractor.

M. INSTALLATION - HYDROSEEDING

- An agricultural suitability report that has been prepared for the specific site shall take precedence over the following materials. If such report is not available, the following materials shall be of such a character that when dispersed in a uniform slurry shall form an absorbent porous mat:

3000 pounds per acre	Fresh water
1500 to 2000 pounds per acre, depending on slope	Wood cellulose fiber, Coweed 2000 or approved equal
5 to 15 pounds per acre, depending on slope	Organic stabilizer, ECO E-Tac or approved equal
1000 pounds per acre	Gro-Power Plus, or approved equal
- Seed mixture shall be as indicated on the drawings.
- Water shall be fresh, free of impurities, excess chlorine and salts.
- Fiber shall be clean, weed-free mulch of wood cellulose containing no germination or growth-inhibiting factors. Fiber shall contain a harmless, temporary green dye.
- Mixing shall be performed in a tank, with a built-in continuous agitation and recirculation system, of sufficient operating capacity to produce a homogeneous slurry and a discharge system which will apply the slurry to the designated areas at a continuous and uniform rate.
- The slurry preparation shall take place at the project site and shall begin by adding water to the tank when the engine is at half throttle. When the water level has reached the height of the agitator shaft, good recirculation shall be established, and at this time the seed shall be added. Fertilizer shall then be added followed by the wood cellulose fiber, when the tank is at least one-third (1/3) filled with water. Spraying shall commence immediately when the tank is full.
- Contractor shall spray designated areas with the slurry in a sweeping motion, in an arched stream, until a uniform coat is achieved and the material is spread at the required rate per acre.
- A slurry mixture which has not been applied within four (4) hours after mixing shall be rejected and replaced at the Contractor's expense.
- Slopes shall be hydroseeded after weed abatement operations and planting of trees and shrubs.
- Costs incurred for repair or replacement of bare, sparse or damaged areas shall be the responsibility of the Contractor.

N. INSTALLATION - SOD

- Pitback soil and provide weed abatement operations in accordance with the General Planting Section. Backfill, cultivate, frost and roll until areas to receive turf are in a smooth and uniform condition.
- Finish grade for turf areas shall be one (1) inch below the finish surface of walks, curbs, or related hardscape.
- Prior to sodding, soil shall be moist to a minimum depth of one inch (1").
- Prior to installation, area to be sodded shall receive sufficient ammonia at the rate of one (1) pound per 200 square feet.
- Sod shall be laid and tamped with butt joint in a staggered "running bond" pattern.
- After installation, sod shall be rolled with a 200-pound water-filled lawn roller.
- Sod shall be as indicated on the drawings.



**SILVER LAKE
MENLO PARK, CALIFORNIA**

NOT FOR CONSTRUCTION

NO.	DATE	DESCRIPTION
PROJECT NO.		5493.00
CAD DWG FILE		544669BCC.DWG
DESIGNED BY		JDUAN
DRAWN BY		HMM
CHECKED BY		JE
DATE		MARCH 26, 2018
SCALE		NONE
© HMM		

LANDSCAPE SPECIFICATIONS

L5.4

POST-INSTALLATION MAINTENANCE PERIOD

A. GENERAL

- Contractor shall provide all labor, materials and equipment to perform work during the Post-Installation Maintenance Period, as specified herein, including but not limited to, adequate watering of plant material, replacing unsuitable plant material and controlling weeds, rodents and other pests.
- Contractor shall maintain the project on a continuous basis from the first day after planting is completed, until acceptance of the work.
- Costs incurred due to damage or replacement during Post-Installation Maintenance Period shall be the responsibility of the Contractor.
- Unless stipulated otherwise by the Owner, the Post-Installation Maintenance Period shall consist of a minimum of ninety (90) consecutive calendar days, once all parties agree the Maintenance Period can start.
- Post-Installation Maintenance Period may be extended by the Owner if the project is improperly maintained, appreciable replacement is required, or other corrective work becomes necessary.

B. EXECUTION

- All areas including, but not limited to, turf, ground cover, and concrete flatwork, shall be kept clean and free of weeds, litter and debris.
- Subsurface drains and catch basin grates shall be kept clear of leaves, litter and debris to ensure unimpeded passage of water. Drainlines shall be periodically flushed with clear water to avoid build-up of silt and debris.
- Before weeds exceed two inches (2") in height, they shall be removed and disposed of off-site. All weeds shall be spot sprayed and left in place for seven (7) calendar days. Areas sprayed shall remain unwatered for a minimum of forty-eight (48) hours. Dead weeds shall be removed seven (7) calendar days after application and disposed of off-site.
- If the Owner notifies the Contractor of failure to control weeds as specified herein, the Contractor shall kill all weeds within ten (10) calendar days of such notification. The Post-Installation Maintenance Period will be extended for every day after the ten (10) calendar days until such weeds have been killed.
- Contractor shall take appropriate steps to eliminate rodents.

C. IRRIGATION SYSTEM

- Contractor shall operate the irrigation system automatically and shall properly and completely maintain all parts of the irrigation system.
- Contractor shall provide for delivery of water in sufficient quantities and adjust water application to compensate for seasonal conditions and shall ensure full and complete coverage.
- Costs incurred due to repair or replacement of equipment shall be the responsibility of the Contractor. Replacement parts shall be identical to the material and as indicated on the drawings and specified herein.

D. TURF

- Prior to acceptance of the project and maintenance period, turf areas shall be established with a uniform 80% coverage, healthy vigorous growth and to a minimum of two inches (2") in height. Costs incurred for repair or replacement of bare, sparse or damaged areas shall be the responsibility of the Contractor.
- If an agricultural suitability soils report is not available, turf areas shall be fertilized with Gro Power Plus or approved equal every seventy (70) calendar days, at a rate recommended by the manufacturer.
- First mowing of turf shall be performed when the grass is two and one-half inches (2-1/2") in height. After initial mowing, turf shall be cut as often as necessary to maintain the turf at a height of two inches (2") for bluegrass and fescues and one inch (1") for bermuda.
- Contractor shall trim around irrigation heads to allow for unimpeded spray, at the base of trees, and at borders along walks, mowstrips and curbs.
- Contractor shall remove all grass clippings from project site.

~~E. SPECIALTY SODS INCLUDING NATIVE, MOW FREE, AND BIOFILTRATION SOD~~

- ~~Prior to acceptance of the project and maintenance period, turf areas shall be established with a uniform 80% coverage, healthy vigorous growth and to a minimum of four inches (4") in height. Costs incurred for repair or replacement of bare, sparse or damaged areas shall be the responsibility of the Contractor.~~
- ~~If an agricultural suitability soils report is not available, specialty sod areas shall be fertilized with Gro Power Plus or approved equal two or three times per year in early spring, late spring, or fall depending on grower recommendations and sod type and sod health. Specialty sods do not require as much fertilization as traditional fescue sod.~~
- ~~Mow free and specialty sods shall be allowed to grow without regular mowing or line trimming. No more than 1/3 of the leaf blade shall be removed, mowed or trimmed in any trim or mow cycle. Specialty sod shall never be mowed or trimmed to a height less than 4". Mowing or trimming shall be done once a year in the late spring to remove florets or seed heads.~~
- ~~Contractor shall trim around irrigation heads to allow for unimpeded spray, at the base of trees and at borders along walks, mowstrips and curbs.~~
- ~~Contractor shall remove all grass clippings from project site.~~

F. GROUND COVER AREAS

- If an agricultural suitability soils report is not available, ground cover areas shall be fertilized with Gro Power Plus or approved equal every seventy (70) calendar days, at a rate recommended by the manufacturer.

G. TREES

- If required, or at the direction of the Owner, trees planted as part of the Contract shall be pruned or headed back, to eliminate diseased or damaged growth, reduce toppling or wind damage, maintain growth within space limitations, maintain natural appearance, due to vandalism, and to balance the crown with the root structure.
- Staking of trees shall be checked frequently for damage, and to prevent chaffing or girdling. Costs incurred due to damage or replacement due to improper staking materials shall be the responsibility of the Contractor.
- At the request of the Owner, wounds over one and one-half inch (1-1/2") in diameter may be sealed with an approved tree seal.
- Dead or dying trees shall be immediately replaced at the Contractor's expense with material of the same species and size and guaranteed as described in these specifications.
- Contractor shall exercise preventive measures when using stringline trimmers near tree trunks. Costs incurred due to damage or replacement of trees due to improper measures shall be the responsibility of the Contractor.

H. SLOPES

- Prior to acceptance of the project and maintenance period, slopes shall be established with a uniform 80% coverage, healthy vigorous growth. Costs incurred for repair or replacement of bare, sparse or damaged areas shall be the responsibility of the Contractor.
- Seed for replacement shall be of the same type and quantity ratio as specified in the Plant List on the drawings.
- If a soils report is not available, slopes shall be fertilized with Gro Power Plus or approved equal every seventy (70) calendar days, at a rate recommended by the manufacturer.

~~T. BIOTREATMENT AREAS~~

- ~~Bioreatment areas and facilities including, but not limited to, planting, irrigation, soils, impermeable liner, drain rock, mulch, underground storm drains, pipes, and tree filter boxes shall be monitored and maintained throughout the life of the project in accordance with local regulations and requirements.~~

J. INSPECTION

- Upon completion of the Post-Installation Maintenance Period, Contractor shall request a final observation and letter of acceptance of the work performed in accordance with the Contract Documents. The request shall be made to the Owner, a minimum of seven (7) calendar days prior to the date for inspection.



SILVER LAKE
MENLO PARK, CALIFORNIA

NO	DATE	DESCRIPTION
PROJECT NO.	5493.00	
CAD DWG FILE:	549300.DWG	
DESIGNED BY:	JDIAN	
DRAWN BY:	HBM	
CHECKED BY:	JDI	
DATE:	MARCH 26, 2019	
SCALE:	NONE	
© HMH		

LANDSCAPE SPECIFICATIONS

L5.5

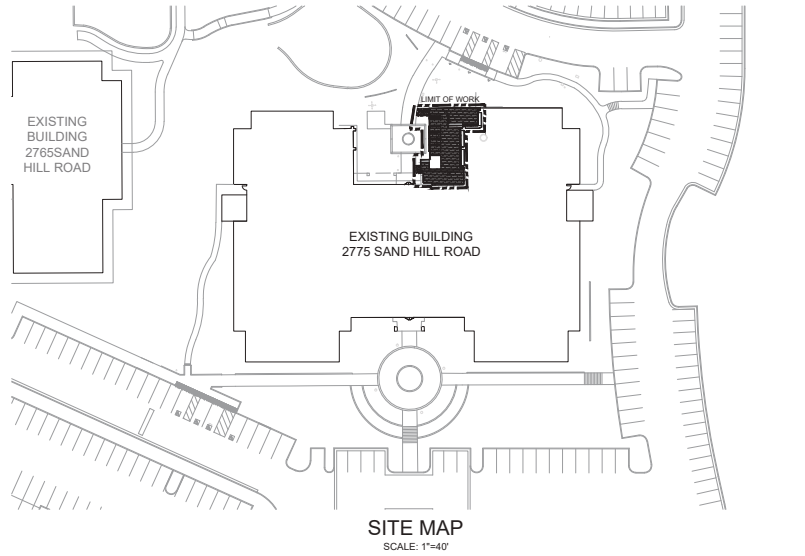
S:\PROJECTS\2019\20190326\20190326.DWG

PLOTTED: 2/22/2019 10:31 AM

GENERAL NOTES

- ELEVATIONS AND LOCATIONS OF ALL EXISTING UTILITY CROSSINGS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO START OF ANY CONSTRUCTION AFFECTING SAID LINES. CONTACT USA AT (800) 642-2444 AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION.
- ALL APPLICABLE WORK AND MATERIALS SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MENLO PARK STANDARD DETAILS, SPECIFICATIONS AND ORDINANCES.
- THE CONTRACTOR SHALL RESTORE ALL DAMAGED, REMOVED OR OTHERWISE DISTURBED WALLS, FENCES, SERVICES, UTILITIES, IMPROVEMENTS OR FEATURES OF WHATEVER NATURE, DUE TO CONTRACTOR'S WORK.
- THE CONTRACTOR SHALL COORDINATE HISHER WORK WITH ALL UTILITY COMPANIES INCLUDING PG&E, AT&T, WEST BAY SANITARY, CAL WATER OR MENLO PARK WATER. VALVE BOXES AND MANHOLES, AND STRUCTURES TO BE SET TO GRADE IN CONCRETE AFTER PAVING.
- ALL STREET MONUMENTS AND OTHER PERMANENT MONUMENTS DISTURBED DURING THE PROCESS OF CONSTRUCTION SHALL BE REPLACED BEFORE ACCEPTANCE OF THE IMPROVEMENTS BY THE PUBLIC WORKS DIRECTOR.
- THE CONTRACTOR SHALL GIVE THE CITY INSPECTOR TWO WORKING DAYS ADVANCE NOTICE FOR INSPECTION.
- REMOVAL OF HERITAGE TREES REQUIRES HERITAGE TREE REMOVAL PERMIT.
- FOR LANE CLOSURES, THE CONTRACTOR SHALL PREPARE A TRAFFIC CONTROL PLAN AND OBTAIN APPROVAL OF THE CITY ENGINEER BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE FLAGMEN, CONES OR BARRICADES, AS NECESSARY TO CONTROL TRAFFIC AND PREVENT HAZARDOUS CONDITIONS PER THE CALIFORNIA STANDARD PLANS, SPECIFICATIONS, AND MANUAL ON TRAFFIC CONTROL DEVICES, LATEST EDITION.
- PEDESTRIAN, PUBLIC ACCESSSES, WHEELCHAIR ACCESSSES SHALL BE MAINTAINED DURING THE CONSTRUCTION TO THE SATISFACTION OF THE PUBLIC WORKS DIRECTOR.
- NO TRENCHES OR HOLES SHALL BE LEFT OPEN OVERNIGHT. USE STEEL PLATING OR HOT-MAK ASPHALT AS REQUIRED TO PROTECT OPEN TRENCHES OVERNIGHT.
- THE CONTRACTOR SHALL CONTROL DUST AT ALL TIMES AND SWEEP STREETS AS OFTEN AS NECESSARY DURING CONSTRUCTION AS REQUIRED BY THE PUBLIC WORKS DIRECTOR.
- ALL REVISIONS TO THIS PLAN MUST BE REVIEWED AND APPROVED BY THE CITY ENGINEER PRIOR TO CONSTRUCTION AND SHALL BE ACCURATELY SHOWN ON REVISED PLANS STAMPED AND SIGNED BY CITY ENGINEER PRIOR TO THE INSTALLATION OF THE IMPROVEMENTS.
- ALL CONSTRUCTION STAKING FOR CURB, GUTTER, SIDEWALK, SANITARY SEWERS, STORM DRAINS, WATER LINES, FIRE HYDRANTS, ELECTROLES, ETC., SHALL BE DONE BY A REGISTERED CIVIL ENGINEER OR LICENSED LAND SURVEYOR.
- ALL EXISTING FRONTAGE IMPROVEMENTS THAT ARE DAMAGED, CRACKED, LIFTED OR DEPRESSED DURING THE COURSE OF CONSTRUCTION, OR THAT WERE DAMAGED PRIOR TO CONSTRUCTION, SHALL BE REMOVED, REPLACED AND/OR REPAIRED. REPLACED AND REPAIRED SECTIONS SHALL MEET CITY STANDARDS ALONG THE ENTIRE PROPERTY FRONTAGE. CITY WILL NOT BEAR THE COSTS OF RECONSTRUCTION.
- ALL FRONTAGE IMPROVEMENT WORK SHALL BE IN ACCORDANCE WITH THE LATEST VERSION OF THE CITY STANDARD DETAILS.
- OUTSIDE A SEPARATE ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK WITHIN THE PUBLIC RIGHT OF WAY. THE APPLICANT/CONTRACTOR SHALL OBTAIN THE PERMIT FROM THE CITY'S ENGINEERING DIVISION PRIOR TO START OF ANY WORK WITHIN THE CITY'S RIGHT-OF-WAY OR PUBLIC EASEMENT AREAS. THE APPLICANT SHALL OBTAIN PERMITS FROM UTILITY COMPANIES PRIOR TO APPLYING FOR CITY ENCROACHMENT PERMIT. TO VIEW ENCROACHMENT PERMIT REQUIREMENTS PLEASE VISIT THE CITY'S WEBSITE AT: [HTTP://WWW.MENLOPARK.ORG/202/ENCROACHMENT-PERMITS](http://www.menlopark.org/202/ENCROACHMENT-PERMITS)

SILVER LAKE GRADING AND DRAINAGE PLAN MENLO PARK, CALIFORNIA



CITY OF MENLO PARK DRAINAGE NOTES

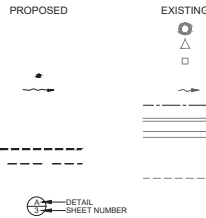
- CONTACT PUBLIC WORKS AT 650-330-6740 TO SCHEDULE AN INSPECTION A MINIMUM OF 24 HOURS IN ADVANCE OF COMMENCEMENT OF GRADING.
- GRADING SHALL FOLLOW THE SPECIFICATIONS IN THE SOILS REPORT DATED NA (IF ANY). NOTE: A SOILS ENGINEER IS NOT REQUIRED FOR THIS PROJECT.
- GRADING OPERATIONS AND/OR DRAINAGE FACILITIES SHALL HAVE NO NEGATIVE IMPACT TO ANY HERITAGE TREE. OWNER ACKNOWLEDGES FACILITATION OF INFORMATION BETWEEN THE ENGINEER, PROJECT ARBORIST, AND CONTRACTOR WITH RESPECT TO THIS ITEM.
- ALL GRADING DURING THE RAINY SEASON (OCTOBER 15TH THROUGH APRIL 15TH) REQUIRES AN EROSION AND SEDIMENT CONTROL PLAN APPROVED BY THE CITY. STORMWATER POLLUTION PREVENTION MEASURES SHALL BE IMPLEMENTED THROUGHOUT THE YEAR, TO THE SATISFACTION OF THE CONSTRUCTION SUPERVISOR.
- MODIFICATIONS TO THE APPROVED GRADING AND DRAINAGE PLAN REQUIRE APPROVAL BY THE CITY IN ADVANCE OF THEIR CONSTRUCTION. REVISED PLAN SHALL BE GENERATED BY THE ENGINEER OR ARCHITECT WHO ORIGINALLY PREPARED THE PLAN.
- DEVIATIONS FROM THE APPROVED PLAN AND/OR FAILURE TO OBTAIN INSPECTION MAY DELAY PUBLIC WORKS SIGNOFF FOR BUILDING OCCUPANCY.

ABBREVIATIONS

- AT AREA DRAIN
- BC BEGIN CURVE
- BLDG BUILDING
- BW BOTTOM OF WALL
- CMP CITY OF MENLO PARK
- EC END CURVE
- EFF EXISTING FINISHED FLOOR
- EG EXISTING GROUND
- ES EXISTING SURFACE
- EVC END VERTICAL CURVE
- EX(E) EXISTING
- FF FINISHED FLOOR
- FG FINISHED GRADE
- GB GRADE BREAK
- GR GRATE ELEVATION
- HP HIGH POINT
- LP LOW POINT
- NTS NOT TO SCALE
- P.C.C. PORTLAND CEMENT CONCRETE
- PL PROPERTY LINE
- PVC POLYVINYL CHLORIDE
- RCP REINFORCED CONCRETE PIPE
- SE STORM DRAIN
- SDFI STORM DRAIN FIELD INLET
- SOMH STORM DRAIN MANHOLE
- TC TOP OF CURB & GUTTER
- TDC TOP OF DEPRESSED CURB
- TVC TOP OF ROLLED CURB
- TRC TOP OF VERTICAL CURB
- TW TOP OF WALL

LEGEND

- STORM DRAIN MANHOLE
- STANDARD CURB INLET
- FIELD INLET
- AREA DRAIN PLANTING AREA
- DIRECTION OF SURFACE DRAINAGE
- PROPERTY LINE
- CURB AND GUTTER
- SIDEWALK
- GRADE BREAK
- STORM DRAIN PIPE
- BUILDING OVERHANG
- DETAIL CALLOUT



ENGINEER'S STATEMENT

THIS PLAN HAS BEEN PREPARED BY ME OR UNDER MY DIRECTION IN ACCORDANCE WITH STANDARD ENGINEERING PRACTICE.

NAME: MARTIN DEFORGE
TITLE: SENIOR CIVIL ENGINEER
COMPANY: HMM
P.E. No. 68876

DATE



SHEET INDEX

- C0.1 TITLE SHEET
- C0.2 NOTES & DETAILS
- C1.1 DEMOLITION PLAN
- C2.1 GRADING & DRAINAGE PLAN
- C3.1 BLUEPRINT FOR A CLEAN BAY

HORIZONTAL CONTROL

ASSUMED

BENCHMARK

ASSUMED

Type of Intersecting Barrier	100 ft or Greater	16 ft to 99 ft	16 ft to 99 ft	16 ft to 99 ft	16 ft or Less
Concrete Barrier	1.00	1.00	1.00	1.00	1.00
Concrete Barrier with Channel	1.00	1.00	1.00	1.00	1.00
Concrete Barrier with Channel and Channel	1.00	1.00	1.00	1.00	1.00
Concrete Barrier with Channel and Channel and Channel	1.00	1.00	1.00	1.00	1.00
Concrete Barrier with Channel and Channel and Channel and Channel	1.00	1.00	1.00	1.00	1.00
Concrete Barrier with Channel and Channel and Channel and Channel and Channel	1.00	1.00	1.00	1.00	1.00
Concrete Barrier with Channel and Channel and Channel and Channel and Channel and Channel	1.00	1.00	1.00	1.00	1.00
Concrete Barrier with Channel and Channel and Channel and Channel and Channel and Channel and Channel	1.00	1.00	1.00	1.00	1.00
Concrete Barrier with Channel and Channel and Channel and Channel and Channel and Channel and Channel and Channel	1.00	1.00	1.00	1.00	1.00
Concrete Barrier with Channel and Channel and Channel and Channel and Channel and Channel and Channel and Channel and Channel	1.00	1.00	1.00	1.00	1.00
Concrete Barrier with Channel and Channel and Channel and Channel and Channel and Channel and Channel and Channel and Channel and Channel	1.00	1.00	1.00	1.00	1.00



**SILVER LAKE
GRADING AND DRAINAGE PLAN
MENLO PARK, CALIFORNIA**

NOT FOR CONSTRUCTION

NO	DATE	DESCRIPTION
PROJECT NO:	54490-GP11	TITLE SHEET DWG
CAD DWG FILE:	544900-GP11	TITLE SHEET DWG
DESIGNED BY:	RHLU	
DRAWN BY:	RHLU	
CHECKED BY:	HMRK	
DATE:	MARCH 26, 2019	
SCALE:	AS SHOWN	

TITLE SHEET

C0.1



UNAUTHORIZED CHANGES & USES OF THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

ADDITIONAL NOTES

THE FOLLOWING NOTES ARE NOT PART OF THE CITY OF MENLO PARK STANDARD NOTES AND ARE PROVIDED AS SUPPLEMENTAL NOTES BY HHM.

EARTHWORK AND GRADING

- THE DESIGN INTENT OF THIS PLAN IS TO SET LINES AND GRADES ONLY. REFER TO THE GEOTECHNICAL REPORT REFERENCED IN NOTE 3 BELOW FOR GEOTECHNICAL DESIGN AND MITIGATION.
- THE GEOTECHNICAL ENGINEER OR RECORD IS _____ IN CASE OF CONFLICTS, BETWEEN THE INFORMATION SHOWN ON THIS PLAN AND THE REQUIREMENTS CONTAINED IN THE GEOTECHNICAL REPORT, THE GEOTECHNICAL REPORT SHALL GOVERN WITH PRIOR APPROVAL BY THE CITY.
- THE DESIGN FOR THE GEOTECHNICAL AND SOILS REPAIR, MITIGATION, NOTES AND STABILIZATION SPECIFIED ON THIS PLAN (ALL SHEETS OF THE PLAN SET) IS BASED ON THE DESIGN AND RECOMMENDATIONS PROVIDED TO HHM BY _____. HHM MAKES NO WARRANTY, EXPRESS OR IMPLIED, AS TO THE ADEQUACY OF THE PROPOSED GEOTECHNICAL DESIGN AND MITIGATION. HHM ACCEPTS NO LIABILITY, AND/OR RESPONSIBILITY THAT MAY ARISE DUE TO SLIDE MOVEMENT, SETTLEMENT, OR SIMILAR RELATED OCCURRENCES WITH RESPECT TO THE DESIGN OR CONSTRUCTION OF GEOTECHNICAL CORRECTIVE SCHEMES.
- BASE KEYS AND SUBDRAINS SHALL BE INSTALLED PER THE PROJECT GEOTECHNICAL REPORTS AS DIRECTED BY THE PROJECT GEOTECHNICAL ENGINEER IN THE FIELD.
- THE CONTRACTOR SHALL POT-HOLE AND VERIFY LOCATIONS AND ELEVATIONS OF ALL CONNECTIONS TO EXISTING UNDERGROUND FACILITIES BEFORE ANY CONSTRUCTION. THE ENGINEER MUST BE NOTIFIED IMMEDIATELY IF CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLANS SO THAT DESIGN CHANGES CAN BE MADE.
- IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES. CALL USA (UNDERGROUND SERVICE ALERT) 2 WORKING DAYS BEFORE DIGGING AT ALL LOCATIONS SHOWN ON THE PLANS. HEREIN TAKEN FROM AVAILABLE RECORDS AND ARE APPROXIMATE AND SHOWN FOR GENERAL INFORMATION ONLY, AND MAY BE INCOMPLETE. RELOCATION OR REPAIR OF ANY DAMAGE TO UTILITIES OR PIPELINES AND PLUGGING OR REMOVAL OF ABANDONED LINES SHALL BE THE CONTRACTORS RESPONSIBILITY.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PRESERVE AND PROTECT ANY FENCES WHICH MAY BE REQUIRED TO REMAIN BY THE OWNER.
- ALL EXISTING GESSPOOLS, FOUNDATIONS, BASEMENTS, TANKS OR OTHER UNDERGROUND STRUCTURES SHALL BE REMOVED AND THE RESULTING DEPRESSIONS BACKFILLED AND COMPACTED UNDER THE OBSERVATION OF THE SOILS ENGINEER. ALL COST INVOLVED IN THIS WORK SHALL BE CONSIDERED AS INCLUDED IN THE CONTRACT PRICE FOR THE GRADING ITEMS UNLESS COVERED IN SEPARATE PAY ITEMS.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PRESERVE AND PROTECT THOSE TREES WHICH ARE TO REMAIN.
- EARTHWORK QUANTITIES HAVE BEEN ESTIMATED BY THE OWNERS ENGINEER, BASED UPON AVAILABLE INFORMATION IN ORDER TO ASSIST THE CONTRACTOR. HOWEVER, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO INDEPENDENTLY ESTIMATE QUANTITIES FOR HIS USE. IF ADJUSTMENTS TO ELEVATIONS ARE NECESSARY TO EFFECT A BALANCE, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY. THE COSTS INVOLVED TO EFFECT A BALANCE SHALL BE CONSIDERED AS INCLUDED IN THE CONTRACT PRICE FOR GRADING ITEMS AND NO EXTRA COMPENSATION WILL BE ALLOWED. BANK YARDAGE DOES NOT INCLUDE SHRINKAGE, SWELL, SUBSIDENCE, GEOTECHNICAL REMEDIATION OR TRENCHING AND FOUNDATION SPOOLS.
- COMPACTION TO BE DETERMINED USING ASTM D 1557-76.
- ALL WORK AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF MENLO PARK STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION UNLESS SPECIFICALLY NOTED OTHERWISE.
- ALL GRADING SHALL COMPLY WITH THE REQUIREMENTS CONTAINED IN THE PROJECT E.I.R. AND PROJECT GEOLOGICAL/GEOTECHNICAL REPORT REGARDING ANY ASBESTOS REMOVAL, ENCAPSULATION, AND/OR GEOTECHNICAL OBSERVATION AND TESTING REQUIRED.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ACCESSING AND EXITING THE SITE MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCE WAYS.
- SEE PROJECT STRUCTURAL PLANS (PREPARED BY OTHERS) FOR CANTILEVER DESIGN AND DETAILS. SEPARATE PERMITS FOR CANTILEVERS ARE REQUIRED.
- GENERAL PERMIT TO DISCHARGE STORM WATER STATE WATER RESOURCE CONTROL BOARD.

STATEMENT OF RESPONSIBILITY

- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OR WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

DEMOLITION NOTES

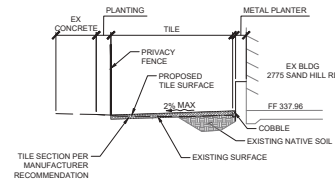
- ITEMS DEMOLISHED ARE TO BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF IN A LEGAL MANNER.
- PROTECT TREES TO REMAIN, BOTH ON-SITE AND ADJACENT PROPERTIES.
- PROTECT NEIGHBORING PROPERTIES FROM DAMAGE DURING CONSTRUCTION AND DEMOLITION ACTIVITIES.
- IT IS THE CONTRACTORS RESPONSIBILITY TO MAINTAIN AND PRESERVE THE EXISTING MONUMENTS OF RECORD. SHOULD THE CONTRACTOR DESTROY OR DISTURB ANY MONUMENTS OF RECORD, THE CONTRACTOR SHALL, AT ITS SOLE EXPENSE, RETAIN A CALIFORNIA LICENSED LAND SURVEYOR TO REPLACE SAID MONUMENTS AND FILE AN APPROPRIATE CORNER RECORD.

GENERAL NOTES

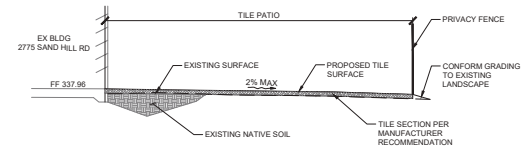
- REVISIONS TO THESE PLANS MUST BE REVIEWED AND APPROVED IN WRITING BY HHM AND THE CITY OF MENLO PARK PRIOR TO CONSTRUCTION OF AFFECTED ITEM.
- THE CONTRACTOR SHALL NOTIFY HHM AT (408) 487 2200 BEFORE PROCEEDING WITH ANY WORK THAT APPEARS TO BE INSUFFICIENTLY DETAILED.
- CONTRACTOR SHALL REPLACE OR REPAIR, AT HIS OWN EXPENSE, ALL DAMAGED, REMOVED OR OTHERWISE DISTURBED EXISTING UTILITIES, OR IMPROVEMENTS IN KIND.
- IF TEMPORARY LANE CLOSURES ARE REQUIRED FOR CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL PREPARE A TRAFFIC CONTROL PLAN AND OBTAIN APPROVAL FROM THE CITY OF MENLO PARK BEFORE COMMENCING WORK. THE CONTRACTOR SHALL ALSO PROVIDE FLAG MEN, CONES OR BARRICADES, AS NECESSARY TO CONTROL TRAFFIC AND PREVENT HAZARDOUS CONDITIONS, PER CALTRANS STANDARDS.
- EXISTING PEDESTRIAN WALKWAYS, BIKE PATHS AND DISABLED ACCESS PATHWAYS SHALL BE MAINTAINED DURING CONSTRUCTION TO THE SATISFACTION OF THE CITY INSPECTOR.
- CONTRACTOR SHALL BACKFILL TRENCHES, OR PLACE STEEL PLATING AND/OR HOT MIX ASPHALT, AS REQUIRED BY THE CITY INSPECTOR, TO PROTECT OPEN TRENCHES AT THE END OF EVERY WORK DAY.
- THE CONTRACTOR SHALL COMPLY WITH ALL OSHA REQUIREMENTS RELATED TO SHORING OF EXCAVATIONS.
- CONTRACTOR SHALL CLEAN STREETS TO REMOVE ACCUMULATION OF MUD AND DEBRIS RESULTING FROM CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR IS RESPONSIBLE FOR CONFORMING TO EXISTING PAVEMENT, ADJACENT LANDSCAPE AND OTHER IMPROVEMENTS WITH A SMOOTH TRANSITION IN PAVING CURBS, GUTTERS, SIDEWALK, ETC. TO AVOID ABRUPT OR APPARENT CHANGES IN GRADES OR CROSS SLOPES, LOW SPOTS OR HAZARDOUS CONDITIONS.
- CONTRACTOR TO OBTAIN REQUIRED PERMITS FOR HAUL ROUTES PRIOR TO DEMOLITION AND CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR SCHEDULING ALL INSPECTIONS AS REQUIRED.
- CONTRACTOR IS TO PROVIDE STREET CROSS SLOPES BETWEEN 2% AND 4% UNLESS SPECIFICALLY NOTED OTHERWISE ON PLANS, AND TO ALLOW CITY INSPECTOR AND ENGINEER TO INSPECT FORMS PRIOR TO POURING OF CURB AND GUTTER.
- CONTRACTOR IS TO POT-HOLE ALL UTILITY CONNECTIONS PRIOR TO CONSTRUCTION TO VERIFY INFORMATION PROVIDED ON PLAN REGARDING EXISTING UTILITIES.

EXISTING CONDITIONS

- GRADES ENCOUNTERED ON-SITE MAY VARY FROM THOSE SHOWN. CONTRACTOR SHALL REVIEW THE PLANS AND CONDUCT INVESTIGATIONS AS REQUIRED TO VERIFY EXISTING CONDITIONS AT THE PROJECT SITE.
- EXISTING GRADES AND CONFORM DESIGN SHOWN ARE BASED OFF OF INTERMITTENT FIELD TOPO DATA AND MAY NOT INCLUDE ALL CONFORM SITUATIONS. CONTRACTOR SHALL REVIEW ALL CONFORM CONDITIONS AND NOTIFY ENGINEER OF ANY AREAS THAT MAY REQUIRE FIELD FIT ADJUSTMENTS. ALL PAVING AND HARDSCAPE CONFORMS MUST COMPLY WITH ADA REQUIREMENTS AND MAINTAIN POSITIVE DRAINAGE TO DRAIN INLETS.
- INFORMATION REGARDING EXISTING UTILITIES IS FROM RECORD DATA AND MAY NOT REPRESENT ACTUAL CONDITIONS. CONTRACTOR SHALL CONDUCT FIELD EVALUATION OF ALL EXISTING SUBSURFACE IMPROVEMENTS AND UTILITIES, WHETHER SHOWN ON THESE PLANS OR NOT, PRIOR TO THE COMMENCEMENT OF WORK. CONTRACTOR SHALL CONTACT HHM IF ANY DISCREPANCIES ARE DISCOVERED.



B SECTION
1H : 2V



A SECTION
1H : 2V



SILVER LAKE GRADING AND DRAINAGE PLAN MENLO PARK, CALIFORNIA

NOT FOR CONSTRUCTION		
NO.	DATE	DESCRIPTION
PROJECT NO.	5499.00	
CAD DWG FILE:	549900-GP01 TILE SHEET DWG	
DESIGNED BY:	RJLU	
DRAWN BY:	RJLU	
CHECKED BY:	HHMRC	
DATE:	MARCH 26, 2019	
SCALE:	AS SHOWN	
© HHM		

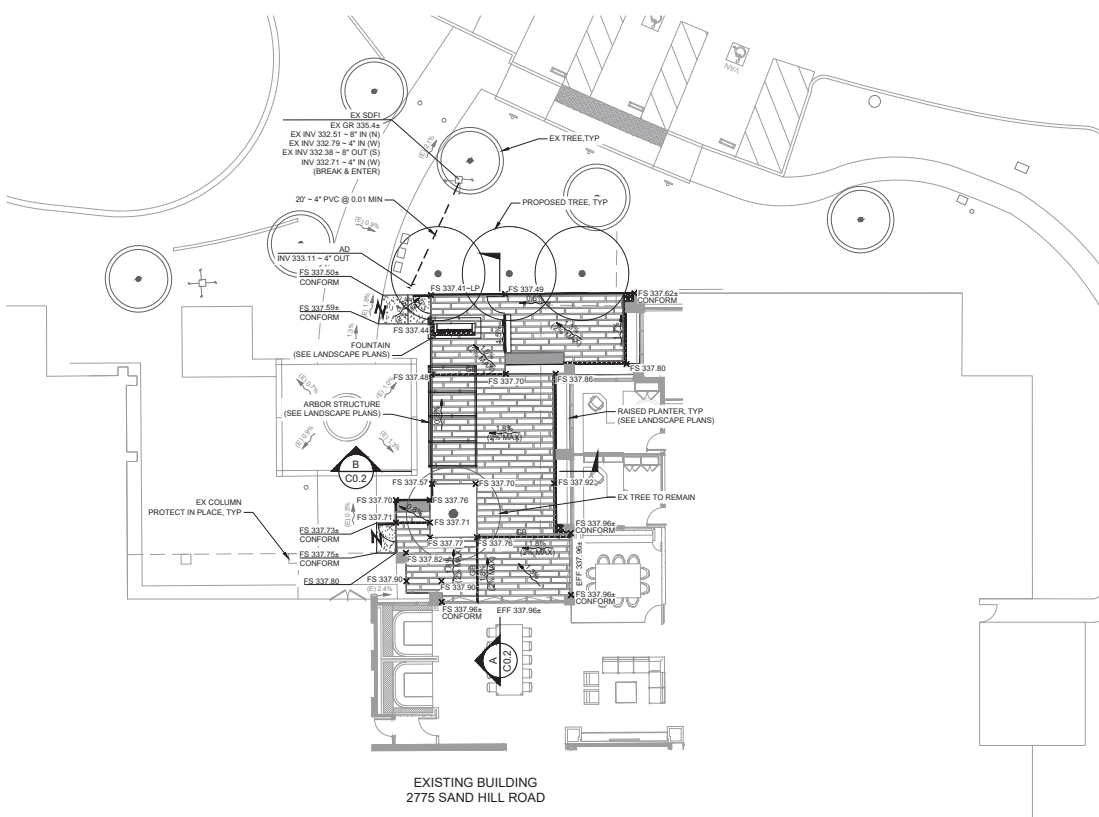
NOTES & DETAILS

C0.2

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SILVER LAKE GRADING AND DRAINAGE PLAN MENLO PARK, CALIFORNIA



EXISTING BUILDING
 2775 SAND HILL ROAD

1 INCH = 10 FEET

DETAIL	DESCRIPTION	SYMBOL
	MEET FLUSH	
	CONCRETE PAVING	
	HARDSCAPE	
	COBBLE	
	1/4" TOOLED CONTROL JOINT	
	PRIVACY FENCE	
	PRIVACY GATE (METAL)	
	PRIVACY GATE (CABLES)	
	METAL PLANTER	

NOT FOR CONSTRUCTION

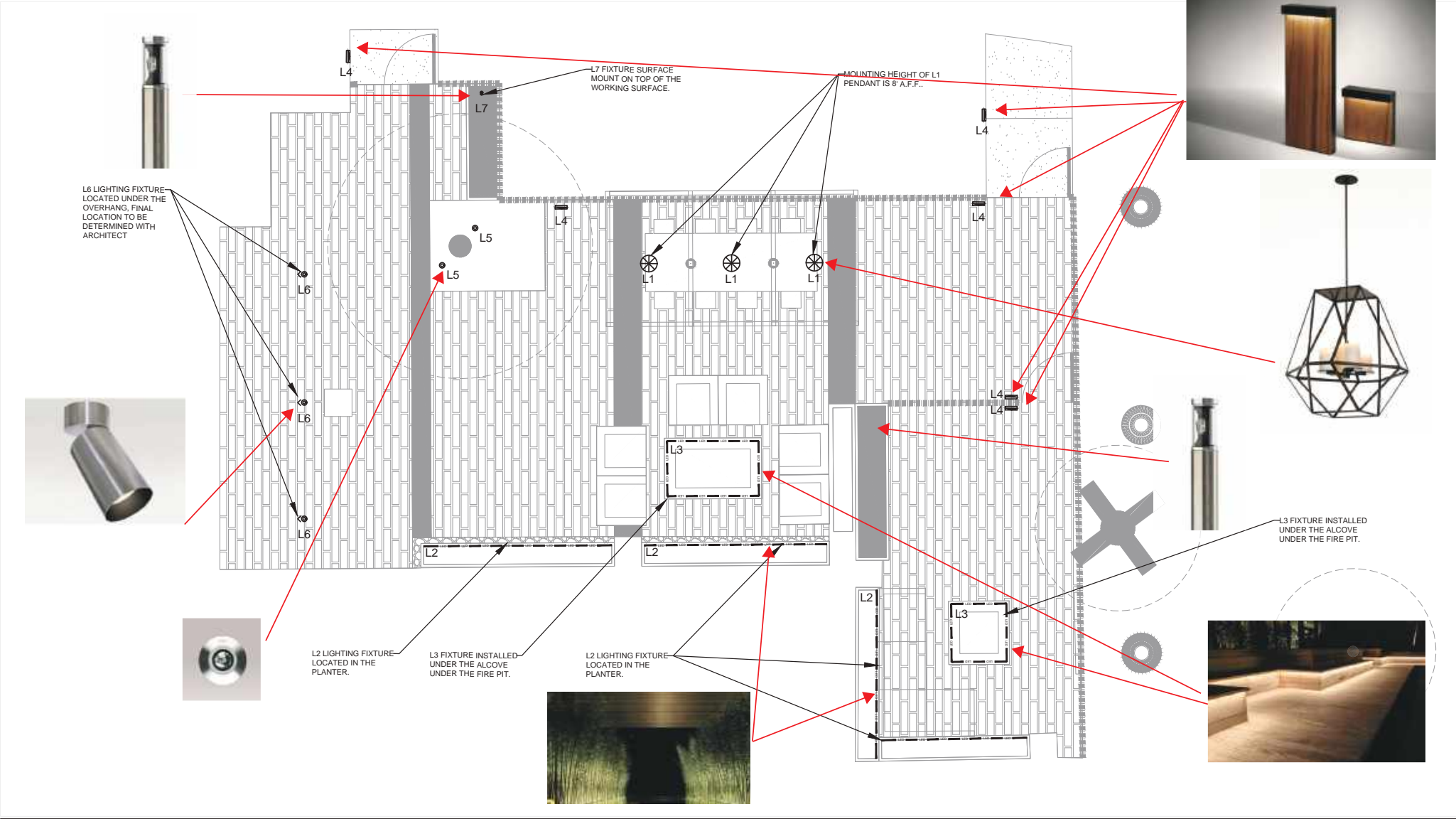
NO.	DATE	DESCRIPTION

PROJECT NO: 5449.00
 CAD DWG: GPM: GRADING & DRAINAGE DWG
 DESIGNED BY: RPLUJ
 DRAWN BY: RPLUJ
 CHECKED BY: HMRBC
 DATE: MARCH 26, 2019
 SCALE: AS SHOWN
 © HMM

- NOTES:**
- SEE SHEET L2.1 L2.3 FOR CONSTRUCTION DETAILS.
 - SEE SHEET L2.4 FOR CONSTRUCTION NOTES AND MATERIALS LIST.
 - LOCATE EXPANSION JOINTS ADJACENT TO ALL STRUCTURES (BUILDINGS, WALLS AND STEPS) AND AT 12' MAXIMUM SPACING. COORDINATE WITH PROJECT LANDSCAPE ARCHITECT PRIOR TO LAYING OUT ALL EXPANSION JOINTS IN FIELD.
 - CONTRACTOR TO PROVIDE AND COORDINATE ALL ELECTRICAL SUPPLY AND CONTROLS FOR ALL LIGHTING AND OUTLETS. PULL BOXES SHALL BE LOCATED IN PLANTING AREA 18" MIN. AWAY FROM ADJACENT PAVING.

GRADING & DRAINAGE PLAN

C.2.1



REV.	DATE	ISSUE	DWN.	CHKD.
XX	XX	XXXX	XX	XX

NOTES
 This drawing shows design intent only and requires coordination with Architecture and MEP.
 Linear Lengths are indicative only and are subject to change. Final lengths to be confirmed prior to ordering of equipment.
 Control philosophy to be developed with Electrical Engineer. Lighting control specification, circuit allocation and control protocol to be approved by Electrolight. Emergency & ARII Panic lighting are not included in the Electrolight scope of work and are not included on this drawing.

REV.	DATE	ISSUE	DWN.	CHKD.
XX	XX	XXXX	XX	XX

REV.	DATE	ISSUE	DWN.	CHKD.
XX	XX	XXXX	XX	XX

CLIENT
 Silver Lake

LANDSCAPE ARCHITECT
 HMH Landscape
 Architecture

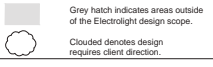
PROJECT TITLE
 Silver Lake

DRAWING TITLE
 Landscape Lighting Plan

PURPOSE OF ISSUE Design Development	
JOB No. 18-048	DRAWING No. LL-001
REVISION 00	DATE 12-10-2018
SCALE 3/16" = 1'	CHECKED LH

Electrolight
 at electrolight.com
 electrolight.com
 San Francisco | London | Sydney | Melbourne

1700 Montgomery St 134
 San Francisco, CA 94111
 T +1(415) 954 7150





February 15, 2018
Job No. 5449.00 (2775 Sand Hill Road)

Thomas Rogers
Principal Planner
City Hall
701 Laurel Street
Menlo Park, CA 94025

Re: Project Description

Dear Thomas:

At 2775 Sand Hill Road in Menlo Park, a current tenant of the property, Silver Lake Technology Management LLC, is proposing a 2,061 square foot exterior patio space with site furnishings. This exterior patio space will provide employees at Silver Lake, a private equity firm, with amenities including dining and lounge seating to be used exclusively by the tenant. The space will be surrounded by a hedge, cable fence, and gate to create a more private environment.

The landscape enhancements to the existing office building will include enhanced paving, planting, a retrofit irrigation system, a linear fountain, two fire pits, and a new arbor with pendant lighting and heaters. Selected materials are described on sheet L2.5 (Conceptual Materials Board), sheet L2.4 (Construction Notes and Materials List), and a physical materials board. The space will be designed to accommodate furniture to be selected by the tenant at a later date and will be coordinated with the interior furniture.

An existing plum tree will be removed for the proposed exterior patio design, but an existing multi-stem maple tree will remain and be protected. An arborist report has been provided with recommendations and guide lines for protecting the existing maple tree.

Neighborhood outreach was considered, but no action was taken.

Sincerely,

HMH

A handwritten signature in black ink, appearing to read 'Andy Nowak'.

Andy Nowak
Project Landscape Architect

CC:
Jackson Derler (HMH)
Christopher Sanderson (synerBuild)
Brittney Cooper (synerBuild)



Quercus agrifolia

McCarthy

TREE SPECIALITIES, INC.

CONT. LIC. # 762280

ATTACHMENT F

December 10, 2018

Katrina Thollaug
Assistant Project Manager
Syner Build

RE: Silver Lake Project
2775 Sand Hill Road
Menlo Park, CA

Katrina,

To protect the tree health of the *Acer palmatum* (Japanese maple) at 2775 Sand Hill Road, the tree protection guide lines I sent you on November 2, 2018 must be strictly adhered to.

I have reviewed the proposal plans for the patio and all seem adequate for the retention of the tree with the following added:

- Construction of the patio should include a 4' diameter circle around the trunk of the tree
- Include a ½" to ¾" water valve in the circle for tree irrigation purposes.
- Apply a 3" layer of mulch on the dirt around the tree trunk. Keep the mulch 1' away from the tree trunk.

These procedures will assure the trees health for many years to come.

The removal of the plum tree will require a removal permit from The City of Menlo Park. I have completed a removal permit application for you and it has been approved and signed by Ford Land Company. There will be a fee for the permit to be processed.

Sincerely,

John H. McCarthy
Certified Arborist
WE0956A

REMIT TO ACCOUNTING: P.O. Box 1803 • Lower Lake, CA 95457 • (707) 995-2275 • FAX (707) 995-3566

PHYSICAL ADDRESS: 1831 F. East Bayshore Road • Redwood City, CA 94063 • (650) 367-7552 • FAX (650) 367-1353



Quercus agrifolia

McCarthy

TREE SPECIALITIES, INC.

CONT. LIC. # 762280

November 2, 2018

Katrina Thollaug
Assistant Project Manager
Syner Build

RE: Silver Lake Project
2775 Sand Hill Road
Menlo Park, CA

This report applies to the one *Acer palmatum* (Japanese maple) as it would if there were many trees on the project that could sustain possible tree health impacts from construction processes.

The tree is a multi trunk Japanese maple in good health condition.

Attached are arborist recommendations for tree retention during construction processes.

Sincerely,

John McCarthy
Certified Arborist
WE-0956A

REMIT TO ACCOUNTING: P.O. Box 1803 • Lower Lake, CA 95457 • (707) 995-2275 • FAX (707) 995-3566

PHYSICAL ADDRESS: 1831 F. East Bayshore Road • Redwood City, CA 94063 • (650) 367-7552 • FAX (650) 367-1353

TREE PROTECTION ZONES

All trees on site to be preserved should be clearly identified by tree protection zone barriers. Barriers shall be 6' to 8' high portable chain link fencing installed at each trees drip line to protect the space above and below ground to the outer edges of the tree branching structure. All exposed tree trunks within tree protection zones shall be encased around each trunk using 2'x4' or 2'x6' lumber stood on end and secured by rope or wire, at no time may this tree trunk protection be removed.

Tree protection place cards stating DO NOT ENTER TREE PROTECTION ZONE shall be placed on each tree protection zone fence. This protective fencing may not be moved or adjusted without the permission and under the direction of the construction managing arborist. At no time may this tree trunk protection be removed. Any intrusion on tree protection zones, barriers, damage to soil within tree protection zones or damage to roots, tree limbs, or the tree trunks themselves must be reported to the arborist within four hours of the action.

SOIL EXCAVATION AND ROOT PRUNING

All soils that need excavation within tree protection zone barriers shall be exhumed under the direction of the site arborist and his employees with the use of an air spade.

All roots exhumed through the soil excavating process of air spading shall be wrapped in water soaked burlap. The burlap shall remain moistened throughout the exposure of the exhumed roots.

Any roots that must be pruned for completion of construction processes shall be cut with hand pruning shears or hand saw on the tree side of the excavated trench. The pruned root shall then be covered with a plastic baggie secured to the end of the pruned root with a rubber band.

No roots, branches, or pruning of trees shall be allowed unless directed by the arborist or his employees.

After completion of air spading for foundation excavation, pier holes shall be located to layout the caisson to grade beam preferred type of foundation construction.

WAREHOUSING OF CONSTRUCTION MATERIAL

There shall be no warehousing of building materials, parking of construction equipment or any other imposing entry within the tree protection zones.

A 10'x10' slurry box built from 2"x4" lumber and 1" plywood lined with 30ml plastic shall be constructed for the collection of concrete, mortar or other toxic type materials and all cleaning of tools, so these materials can be collected and disposed of properly

later. Site of slurry box to be determined by the arborist prior to beginning of construction.

ON SITE CONSTRUCTION PHASE

1. *All contractors, sub-contractors and their employees shall be informed of the tree protection plans, tree protection zones and their barriers and all applicable rules pertaining to them.*
2. *The construction site arborist shall through job site visitations monitor and implement the recommendation of this tree protection report.*
3. *Arborist will advise, implement and correct any damage, if applicable, to the trees at the protected zone areas.*
4. *Site arborist will document and report to the City of Menlo Park arborist any non-compliances of the tree protection plan when deemed necessary.*
5. *Any intrusion on tree protection zones, barriers, damage to soil within tree protection zones or damage to roots, tree limbs or the tree trunks themselves must be reported to the arborist within four hours.*

POST CONSTRUCTION

1. *All tree protection zone barriers and protection devices shall be removed.*
2. *All trees on site protected for conservation shall be fertilized in the following method: Using Romeo Greenbelt 22-14-14 soluble fertilizer. Mix the fertilizer in an agitating spray tank at a rate of 3lbs fertilizer per 100 gallons of water. Using a fertilizer injection soil probe at 200psi dispense fertilizer at the drip line of the tree to within 8 feet of the trunk in a triangular pattern spaced 18 inches apart. Sink probe into soil 6-18 inches deep. Apply 10 gallons of fertilizer for every 1 inch of trunk diameter per tree. This will be administered under the directions of the arborist.*

CONCEPT A

SILVERLAKE | PLAN VIEW

PROPOSED CONDITIONS



entry gates pattern

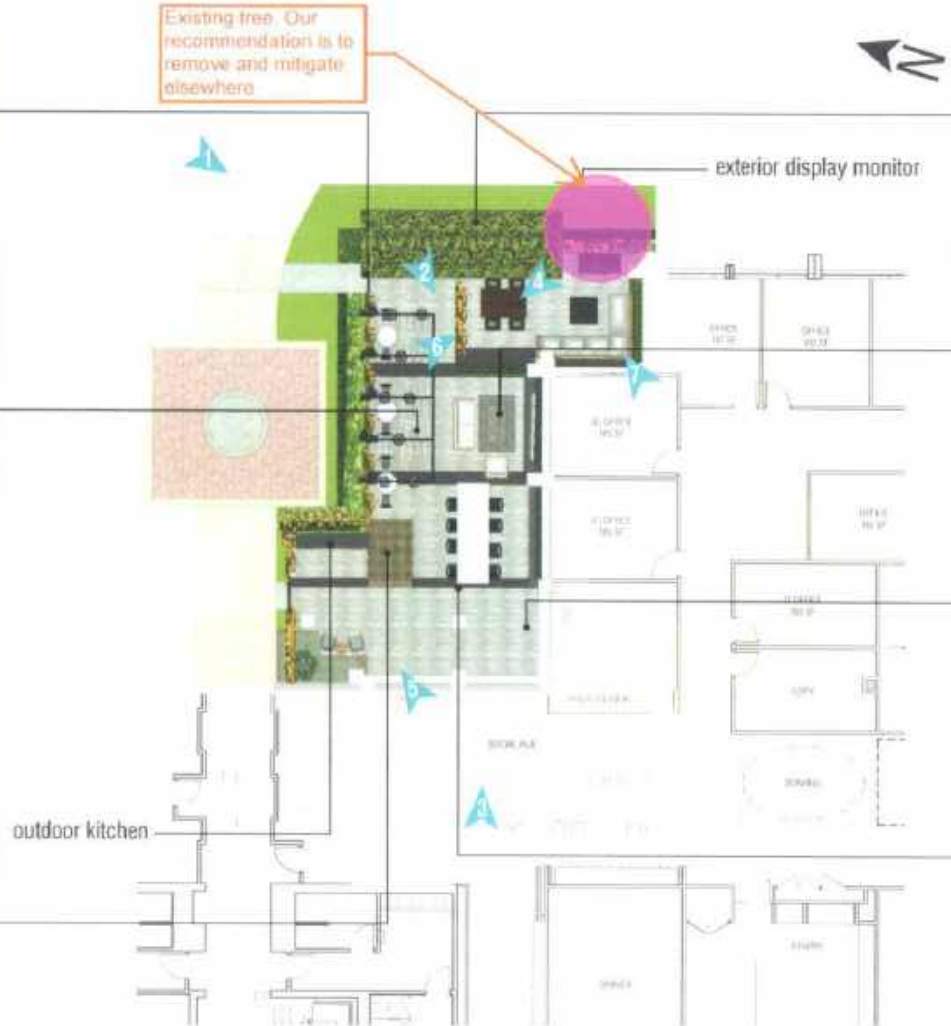


cantilever posts



existing japanese maple

Existing tree. Our recommendation is to remove and mitigate disewhere



exterior display monitor



tree hedge



fire pit



overhead heater



communal table

outdoor kitchen



STAFF REPORT

Planning Commission

Meeting Date:

4/8/2019

Staff Report Number:

19-026-PC

Public Hearing:

Use Permit/Jennifer and Nicholas Bott/371 Hedge Road

Recommendation

Staff recommends that the Planning Commission approve a use permit to construct first- and second-floor additions, as well as conduct interior modifications, to a single-family residence that would exceed 50 percent of the replacement value of the existing nonconforming structure in a 12-month period. The proposal would also exceed 50 percent of the existing floor area and is considered equivalent to a new structure. The subject parcel is located on a substandard lot with regard to width and area in the R-1-U (Single-Family Urban) zoning district, at 371 Hedge Road. The recommended actions are included as Attachment A.

Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal.

Background

Site location

The subject property is located on Hedge Road in the Flood Park neighborhood. The surrounding homes also share the same R-1-U (Single Family Urban Residential) zoning designation. A location map is included as Attachment B.

The surrounding area contains a mixture of older and newer single-family residences. The older residences are generally single-story, while the newer residences are generally two-story in height, with attached front-loading garages. A variety of architectural styles are present in the neighborhood, including craftsman, ranch, and modern.

Analysis

Project description

The applicant is proposing to remodel an existing single-story, single-family residence with an attached garage and to construct first- and second-floor additions. A data table summarizing parcel and project attributes is included as Attachment C. The project plans and the applicant's project description letter are included as Attachments D and E, respectively.

The proposed residence would be a four-bedroom, four-bathroom home, with a typical layout of most of the bedrooms on the second floor and most of the shared spaces on the main level. The master bedroom would be located on the ground level, however. The existing residence is nonconforming with regard to the number of parking spaces and the existing nonconforming front-loading one-car garage would remain.

The proposed project would adhere to all Zoning Ordinance regulations for lot coverage, floor area limit (FAL), height, daylight plane, and parking. Of particular note with regard to Zoning Ordinance requirements:

- The parcel is substandard with regard to lot width, at 50 feet where 65 feet is required.
- The parcel is substandard with regard to lot area, at 5,447 square feet where 7,000 square feet is required.
- The second floor would be relatively limited in size, and would be significantly inset from the side property lines.
- The nonconforming walls would remain, and the ground floor additions would be built to meet the required setbacks.

Design and materials

The applicant states that the proposed residence would be a modern farmhouse style residence. The exterior materials would include board and batten siding, a standing seam metal roof, and metal gutters to match the existing. The proposed windows and new rear doors would be Milgard Ultra Series fiberglass. The applicant has informed staff that the windows would be simulated true divided light, and project-specific condition of approval 4.a. has been added to the recommended actions that would require the building permit to be updated accordingly.

In the project description letter, the applicant states that they plan to paint the house white, with a black metal roof and black-rimmed windows, to emphasize this modern farmhouse style.

The second-story windows on the sides would be relatively small and would have sill heights of four feet, seven inches on the left side and sill heights of five feet on the right side, helping to maintain privacy for both the owners and the neighbors.

Staff believes that the architectural style of the proposed residence would be generally attractive and well-proportioned. The second level would be significantly inset from the ground floor, helping minimize the perception of mass and providing a privacy buffer for neighbors. The roof would feature varying massing with gable projections, which would also help reduce the bulk and mass of the proposed residence. The modern farmhouse style design would be consistent with the styles in the surrounding neighborhood.

Trees and landscaping

The applicant has submitted an arborist report (Attachment F) detailing the species, size, and conditions of the heritage and non-heritage trees on site. The report discusses the impacts of the proposed improvements and provides recommendations for tree maintenance, based on their health. As part of the

project review process, the arborist report was reviewed by the City Arborist to confirm the accuracy of the conclusions of the report. All recommendations identified in the arborist report shall be implemented and will be ensured as part of condition 3g.

There are five trees located on or near the property, three of which are heritage size street trees. All trees are proposed to remain. Trees #1, #2, and #3 are sweet gum (liquid amber) street trees and are located on Hedge Road. All of these will be protected by a Tree Protection Zone (TPZ). Trees #4 and #5 are smaller non-heritage trees in the rear of the house, but protection measures are also proposed in order to reduce impacts to the trees. One new tree, a ginkgo biloba, is proposed in the right side of the front yard.

Correspondence

The applicant states that they reached out to five of their surrounding neighbors, sharing their plans and offering to address any questions or concerns raised. The applicant has provided staff with the responses received from these neighbors. The summary of this outreach is included as Attachment G. Staff has not directly received any correspondence on this proposal.

Conclusion

Staff believes that the design, scale and materials of the proposed residence are compatible with the surrounding neighborhood. The modern farmhouse architectural style of the proposed residence would be generally attractive and well-proportioned. The second level would be significantly inset from the ground floor, helping minimize the perception of mass. Staff recommends that the Planning Commission approve the proposed project.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Appeal Period

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

Attachments

- A. Recommended Actions
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter
- F. Arborist Report
- G. Applicant Summary of Neighbor Outreach

Disclaimer

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

Exhibits to Be Provided at Meeting

None

Report prepared by:

Cecilia Conley, Contract Assistant Planner

Report reviewed by:

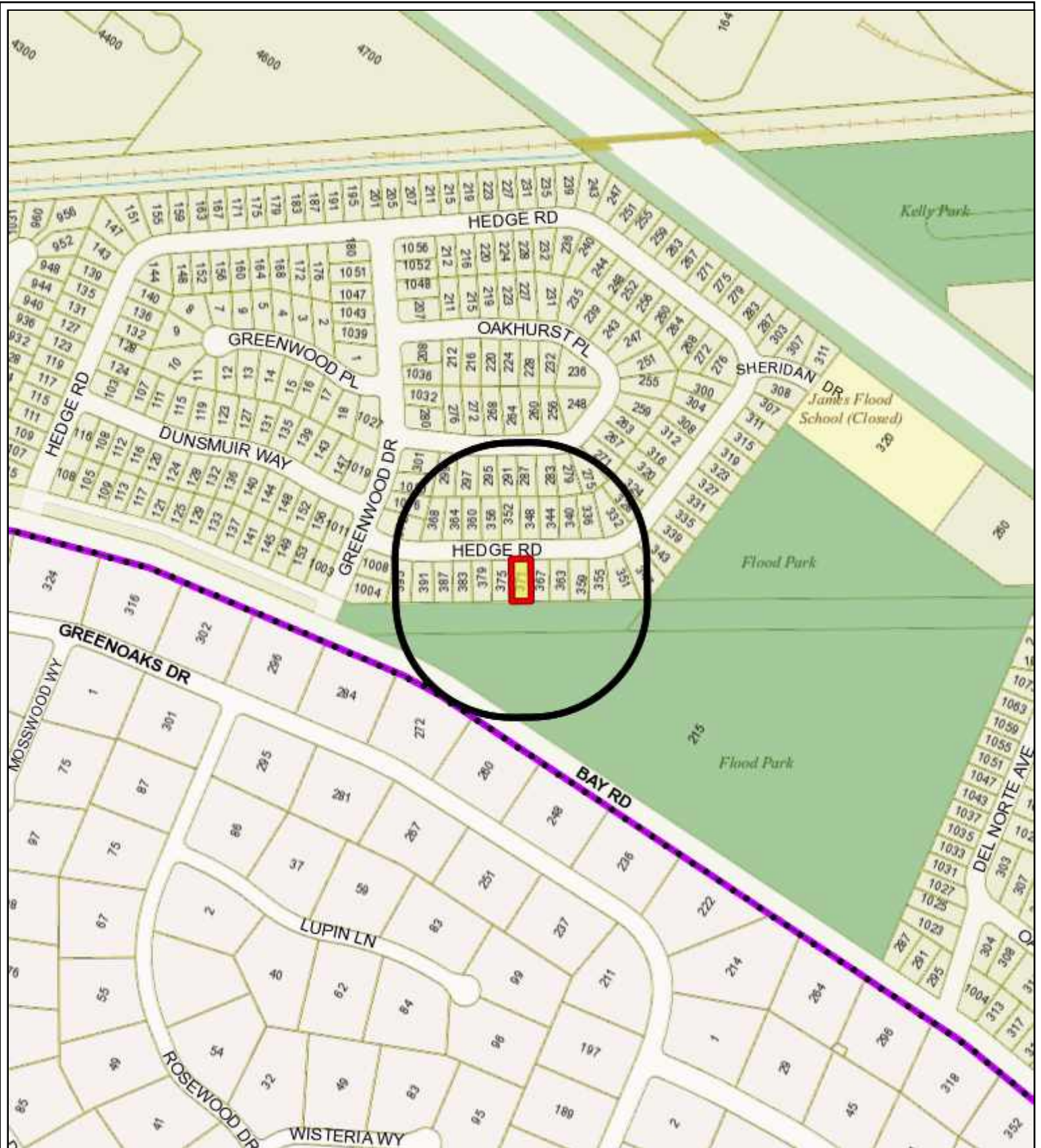
Kyle Perata, Acting Principal Planner

371 Hedge Road – Attachment A: Recommended Actions

LOCATION: 371 Hedge Road	PROJECT NUMBER: PLN2018-00102	APPLICANT: Luis Barbosa	OWNER: Jennifer and Nicholas Bott
PROPOSAL: Request for a use permit to construct first- and second-floor additions, as well as conduct interior modifications, to a single-family residence that would exceed 50 percent of the replacement value of the existing nonconforming structure in a 12-month period. The proposal would also exceed 50 percent of the existing floor area and is considered equivalent to a new structure. The subject parcel is located on a substandard lot with regard to width and area in the R-1-U (Single-Family Urban) zoning district.			
DECISION ENTITY: Planning Commission	DATE: April 8, 2019	ACTION: TBD	
VOTE: TBD (Barnes, Doran, Goodhue, Kennedy, Onken, Riggs, Strehl)			
ACTION:			
<ol style="list-style-type: none"> 1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, “New Construction or Conversion of Small Structures”) of the current California Environmental Quality Act (CEQA) Guidelines. 2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City. 3. Approve the use permit subject to the following standard conditions: <ol style="list-style-type: none"> a. Development of the project shall be substantially in conformance with the plans prepared by Home Plans & Commercial, consisting of 18 plan sheets, dated received April 2, 2019 and approved by the Planning Commission on April 8, 2019, subject to review and approval by the Planning Division. b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies’ regulations that are directly applicable to the project. c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project. d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes. e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division. f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits. g. Heritage and street trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the arborist report by Kiely Arborist Services dated January 23, 2019. 4. Approve the use permit subject to the following project-specific condition: 			

371 Hedge Road – Attachment A: Recommended Actions

LOCATION: 371 Hedge Road	PROJECT NUMBER: PLN2018-00102	APPLICANT: Luis Barbosa	OWNER: Jennifer and Nicholas Bott
PROPOSAL: Request for a use permit to construct first- and second-floor additions, as well as conduct interior modifications, to a single-family residence that would exceed 50 percent of the replacement value of the existing nonconforming structure in a 12-month period. The proposal would also exceed 50 percent of the existing floor area and is considered equivalent to a new structure. The subject parcel is located on a substandard lot with regard to width and area in the R-1-U (Single-Family Urban) zoning district.			
DECISION ENTITY: Planning Commission	DATE: April 8, 2019	ACTION: TBD	
VOTE: TBD (Barnes, Doran, Goodhue, Kennedy, Onken, Riggs, Strehl)			
ACTION: <ul style="list-style-type: none"> a. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans clearly labeling that the proposed windows will be simulated true divided light, subject to review and approval by the Planning Division. 			



City of Menlo Park
 Location Map
 371 Hedge Road



	PROPOSED PROJECT	EXISTING DEVELOPMENT	ZONING ORDINANCE
Lot area	5,447.0 sf	5,447.0 sf	7,000.0 sf min.
Lot width	50.0 ft.	51.6 ft.	65.0 ft. min.
Lot depth	109.0 ft.	109.0 ft.	100.0 ft. min.
Setbacks			
Front	25.0 ft.	25.0 ft.	20.0 ft. min.
Rear	19.6 ft.	19.6 ft.	20.0 ft. min.
Side (left)	4.7 ft.	4.7 ft.	5.2 ft. min.
Side (right)	5.0 ft.	5.0 ft.	5.2 ft. min.
Building coverage	2,168.2 sf 39.8 %	1,665.4 sf 30.5 %	2,178.8 sf max. 40.0 % max.
FAL (Floor Area Limit)	2,797.6 sf	1,665.4 sf	2,800.0 sf max.
Square footage by floor	1,580.9 sf/1 st floor 814.9 sf/2 nd floor 401.6 sf/garage 185.6 sf/porch	1,263.7 sf/1 st floor 401.6 garage	
Square footage of buildings	2,983.0 sf	1,665.4 sf	
Building height	22.8 ft.	13.3 ft.	28 ft. max.
Parking	1 covered	1 covered	1 covered/1 uncovered
Note: Areas shown highlighted indicate a nonconforming or substandard situation.			
Trees	Heritage trees: 3*	Non-Heritage trees: 2	New Trees: 1
	Heritage trees proposed for removal: 0	Non-Heritage trees proposed for removal: 0	Total Number of Trees: 6
*Of these three heritage trees, all are street trees located in the front of the residence.			

Fire sprinkles will be part of a deferral submittal.

*HERS VERIFICATION FOR HVAC DISTRIBUTION SYSTEM, HVAC FAN SYSTEMS, AND IAQ (INDOR AIR QUALITY).

NFPA Fire sprinkles system, under separate permit.

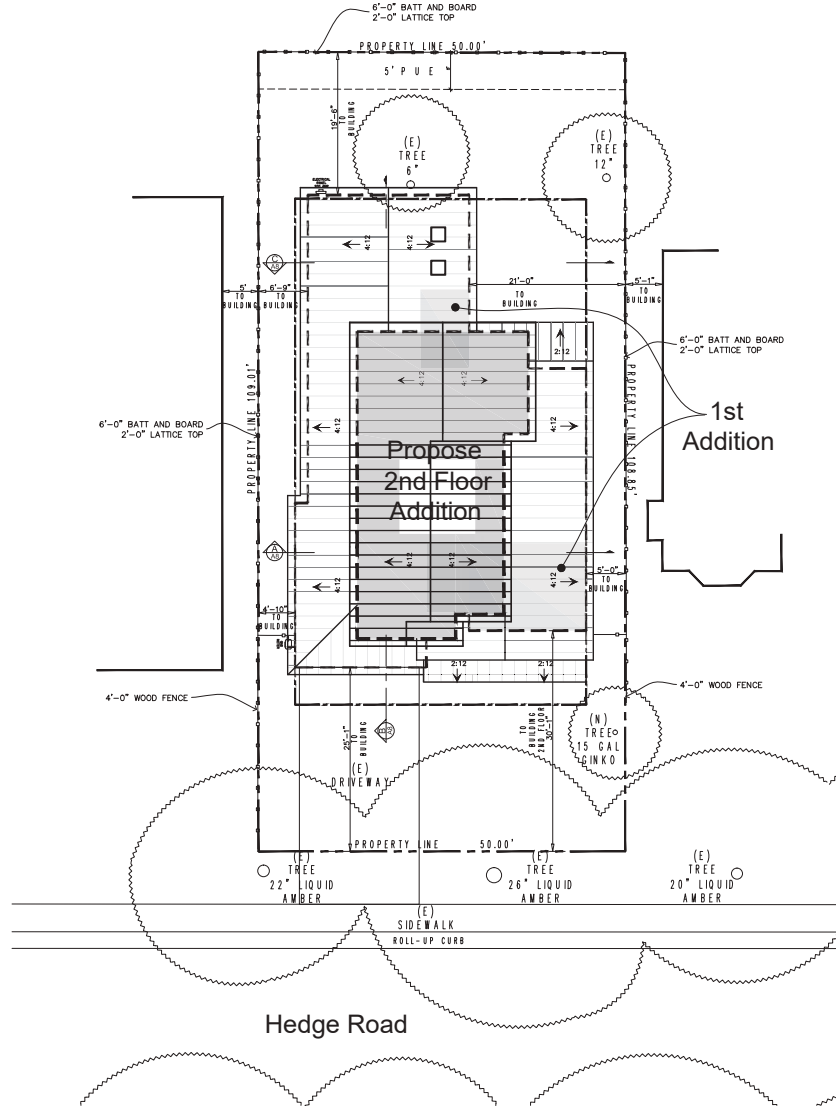
Work Hours

- Work hours are regulated by noise levels created during construction. The maximum noise levels allowed are established in the City of Menlo Park Municipal Code Chapter 8.06 Noise.
- Any and all excessively annoying, loud or unusual noises or vibrations such as offend the peace and quiet of persons of ordinary sensibilities and which interfere with the comfortable enjoyment of life or property and affect at the same time an entire neighborhood or any considerable number of persons shall be considered a noise disturbance.
- Construction Activities:
 1. Construction activities are limited to the hours of eight (8) a.m. and six (6) p.m. Monday through Friday.
 2. Construction activities by residents and property owners personally undertaking construction activities to maintain or improve their property are allowed on Saturdays, Sundays or holidays between the hours of nine (9) a.m. and five (5) p.m.
 3. A sign, containing the permitted hours of construction activities exceeding the noise limits set forth in Section 8.06.03D, shall be posted at all entrances to a construction site upon the commencement of construction for the purpose of informing contractors and subcontractors and all other persons at the construction site of the basic requirements of this chapter. The sign shall be at least five (5) feet above ground level and shall consist of a white background with black letters.
 4. Notwithstanding any other provision set forth above, all powered equipment shall comply with the limits set forth in Section 8.06.04(b).

Powered Equipment:

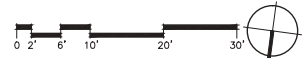
1. Powered equipment used on a temporary, occasional or infrequent basis operated between the hours of eight (8) a.m. and six (6) p.m. Monday through Friday. No piece of equipment shall generate noise in excess of eighty-five (85) dBA at fifty (50) feet.
2. Residents/property owners personally using powered equipment to maintain their property and/or residence on Saturdays, Sundays or holidays between the hours of nine (9) a.m. and five (5) p.m. No piece of equipment shall generate noise in excess of eighty-five (85) dBA at fifty (50) feet.

3) FRUITING PROJECTIONS
 a. All trees having fruit in the cover shall:
 1. Any damage to fruit which is damaged as a result of construction shall be replaced. All damage measurements shall be in accordance with the latest edition of the City Standards Details.
 2. An assessment period from the Engineering Division is required prior to any construction activities involving utility materials in the public right-of-way.
 b. A list of requirements for assessment period shall can be found on the City's website at: <http://www.ci.menlopark.ca.us/development>



Hedge Road

Site Plan



Scale 1/8" = 1'-0"

PROJECT DATA SHEET			
APN	850 303 280		
Lot Size	5447 sq ft		
Zoning	R1U		
Fire Sprinkles			
Occupancy	R-31U		
Construction Type	V-B		
	Allowed Existing Proposed		
Lot Coverage	3176.00 sf	3522.40 sf	3168.24 sf
Floor Area Limit	2800.00 sf	3500.40 sf	2797.62 sf
Area			
1st Floor			
(E) Garage			421.60 sf
(E) Living Area			1283.78 sf
(N) Living Area			117.35 sf
(N) Porch			182.58 sf
2nd Floor			
(N) Living Area			834.06 sf
Scope of Work			
1- Remodel and Addition of a second floor			
Sheet Index			
T1	Site Plan		
T2	Area Diagram		
T3	Area and Non-conforming Structure		
T4	Area Plan and StreetScape		
S1	Survey		
A0	As Built Floor Plans		
A1	1st Floor Plan		
A1.1	1st Floor Plan Demolition Plan		
A2	2nd Floor Plan		
A3	Roof plan		
A4	Elevations Existing and Proposed		
A5	Elevations Existing and Proposed		
A7	Elevations Existing and Proposed		
A8	Sections		
TR 1	Arboret Report		
L0	Landscape Layout Plan		
L1	Landscape Planting Plan		
Directory			
Designer	LOWWATERLANDSCAPES.COM	Structural Engineer	VENICE INC.
1155 AVENUE	FULLERTON, CALIFORNIA 92631	1740 OLLY WAY	SAN JOSE, CA 95131
951-559-1128	707-571-8807		408-441-3911
Her's Rater	Landscape	Surveyor	
		L. WADE HAMMOND	
		3680 WILSON BLVD	
		FULLERTON, CALIFORNIA 92631	
		951-579-4112	

Standard Abbreviations

AS	As Built	AS	As Built
BL	Block	BL	Block
CL	Center Line	CL	Center Line
...

Symbols

[Symbol]	EXISTING AREA
[Symbol]	REMODEL AREA
[Symbol]	1ST FLOOR ADDITION
[Symbol]	2ND FLOOR ADDITION

General Notes

1- REMODEL AND ADDITION OF A SECOND FLOOR

1-1. WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, REGULATIONS, OR ORDERS OF AGENCIES HAVING JURISDICTION OVER THE WORK OF THIS PROJECT. CONTRACTOR AND DESIGNER SHALL ENSURE THE CONSTRUCTION OBSERVERS FOR CONFORMANCE WITH THESE CODES AND REGULATIONS AND PROMPTLY NOTIFY THE DESIGNER OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK.

2-1. THE EQUIPMENT AND OTHER ITEMS LISTED AS PART OF THE WORK OF THIS PROJECT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND REGULATIONS.

3- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO START OF CONSTRUCTION. UTILITIES IDENTIFIED BY CONSTRUCTION SHALL BE PROTECTED AND OR COVERED OFF IN ACCORDANCE WITH APPLICABLE CODES AND UTILITY REGULATIONS.

4- ALL EXISTING OR REMOVED ITEMS IN THESE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT OR DESIGNER IMMEDIATELY.

5- ALL DIMENSIONS ON EXISTING CONDITIONS SHALL BE VERIFIED IN THE FIELD AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

6- WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE. DIMENSIONS ARE NOT TO BE SCALE.

7- VERIFY LOCATION AND SIZE OF EXISTING UTILITIES, WATER, SEWER, GAS, CABLE TV, TELEPHONE AND ELECTRIC.

8- PROVIDED & INSTALLED R-13 FIBER GLASS INSULATION BATT IN WALL CAVITIES EXPOSED DURING CONSTRUCTION WHICH HAVE NO EXISTING INSULATION.

9- ALL NEW FINISHES TO ALLOW AND MATCH EXISTING UNLESS OTHERWISE NOTED. FINISHED NEW FINISH TO MATCH EXISTING, SIZE OF THE FINISH APPLICABLE.

10- ADDRESS: EXISTING STREET NUMBERS ARE FAIRLY VISIBLE AND LEGIBLE FROM STREET FRONTING THE PROPERTY AND ARE 4" HIGH AND STROKE OF MINIMUM 0.5 INCHES CONTRAST WITH THE BACKGROUND ITSELF.

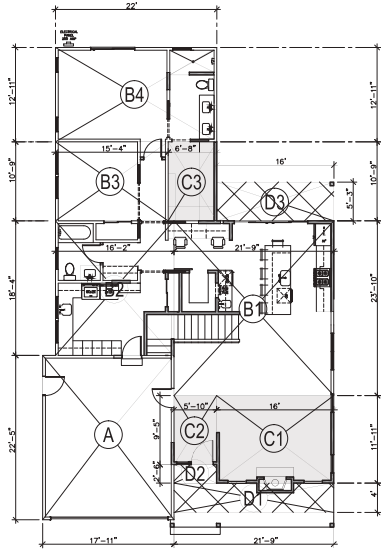
11- WINDOW EFFECTIVE THE BREAK BY CLEARING BRUSH AND REMOVING FLAMMABLE VEGETATION FROM PERIMETER OF HOME.

12- FINISH SURFACE SPECIFICATIONS ON EACH LEVEL, SECTIONS SHALL BE LOCATED IN EACH SLEEPING ROOM, IN WALL ADJACENT TO SLEEPING AND CLOSE PROXIMITY TO SLEEPING ROOMS ON THE FLOOR THAT NEW WINDOW SECTIONS SHALL BE FINISHED TO FIT WITH A WINDOW CASSETTE AND SHALL BE.

HOMEPLANS & COMMERCIAL
 Jennifer and Nicholas Bott
 Residence
 371 Hedge rd.
 Menlo Park, Ca. 94025
 650-520-9128

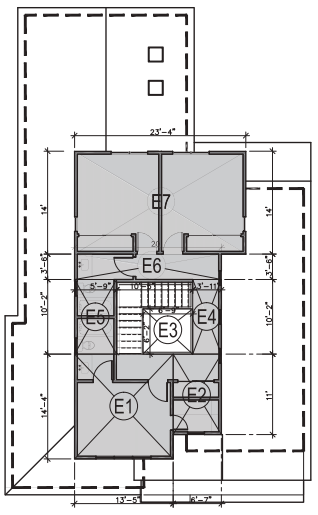
Site Plan
 DRAWN BY: Luis Barrios
 CHECKED BY:
 DATE:
 REVISIONS
 SHEET NO. T-1





1st Floor Plan

Scale 1/8" = 1'-0"



2nd Floor Plan

Scale 1/8" = 1'-0"

- EXISTING AREA
- BUILDING COVERAGE
- 1ST FLOOR ADDITION
- 2ND FLOOR ADDITION

AREAS DIAGRAM

Existing 1st Floor		
A	17' 11" x 22' 5"	401.6 sf
TOTAL EXISTING GARAGE		401.63 sf
B1	23' 10" x 21' 9"	518.4 sf
B2	18' 4" x 16' 2"	298.4 sf
B3	10' 9" x 15' 4"	165.8 sf
B4	12' 11" x 22' 0"	284.2 sf
TOTAL EXISTING 1st FLOOR AREA		1263.78 sf
C1	16' 0" x 11' 11"	190.7 sf
C2	9' 5" x 5' 10"	54.9 sf
C3	8' 8" x 10' 9"	71.7 sf
TOTAL NEW 1st FLOOR AREA		317.26 sf
<hr/>		
D1	21' 9" x 4' 0"	87.0 sf
D2	2' 8" x 5' 10"	14.6 sf
D3	5' 3" x 16' 0"	84.0 sf
TOTAL NEW PORCH AREA		185.58 sf
<hr/>		
E1	13' 5" x 14' 4"	192.3 sf
E2	8' 7" x 11' 0"	72.4 sf
E3	5' 9" x 6' 2"	41.6 sf
E4	3' 11" x 10' 2"	39.8 sf
E5	6' 8" x 10' 2"	69.6 sf
E6	3' 6" x 21' 0"	73.5 sf
E7	14' 0" x 23' 4"	328.7 sf
TOTAL NEW 2nd FLOOR AREA		814.96 sf

Lot Coverage

TOTAL EXISTING GARAGE A	401.63 sf
TOTAL EXISTING 1st FLOOR AREA B1+B2+B3+B4	1263.78 sf
TOTAL NEW 1st FLOOR AREA C1+C2+C3	317.26 sf
TOTAL NEW PORCH AREA D1+D2+D3	185.58 sf
TOTAL	2168.24 sf

Floor Area Limit

TOTAL EXISTING GARAGE A	401.63 sf
TOTAL EXISTING 1st FLOOR AREA B1+B2+B3+B4	1263.78 sf
TOTAL NEW 1st FLOOR AREA C1+C2+C3	317.26 sf
TOTAL NEW 2nd FLOOR AREA E1+E2+E3+E4+E5+E6+E7	814.96 sf
TOTAL	2797.62 sf

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Area Diagrams

DRAWN BY: Lux Barrios
CHECKED BY: _____
DATE: _____

△	REVISIONS

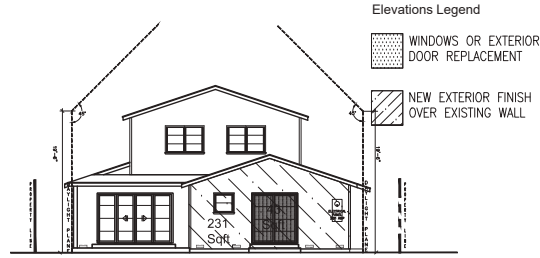
SHEET No. _____

T-2



Front Elevation

Scale 1/8" - 1'-0"

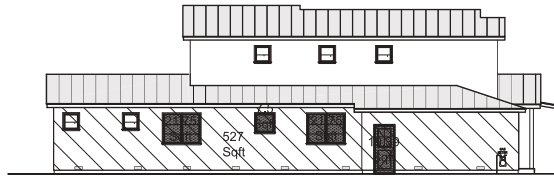


Rear Elevation

Scale 1/8" - 1'-0"

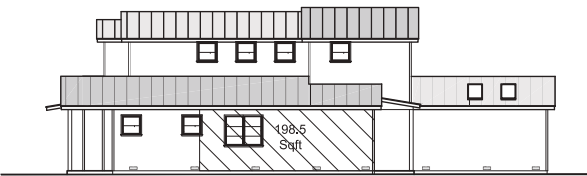
- Elevations Legend
- WINDOWS OR EXTERIOR DOOR REPLACEMENT
 - NEW EXTERIOR FINISH OVER EXISTING WALL

- Roof Legend
- NEW ROOFING OVER EXISTING ROOF FRAMING
 - NEW ROOF STRUCTURE OVER EXISTING SQFT



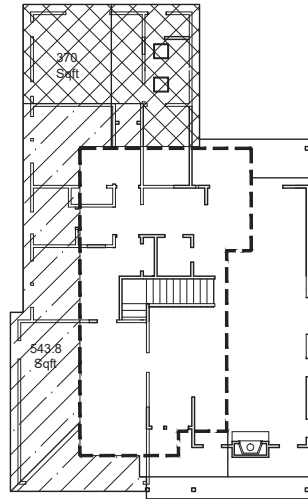
Proposed Left Side Elevation

Scale 1/8" - 1'-0"



Proposed Right Side Elevation

Scale 1/8" - 1'-0"



Roof Plan

Scale 1/8" - 1'-0"

NONCONFORMING STRUCTURE - NEW WORK VALUE CALCULATION

Address: 371 Hedge Rd.
 Case No.:
 50% of Existing Value: \$140,433.06
 75% of Existing Value: \$210,649.58
 Value of Proposed Project: \$438,483.20 (153%)

Existing Development

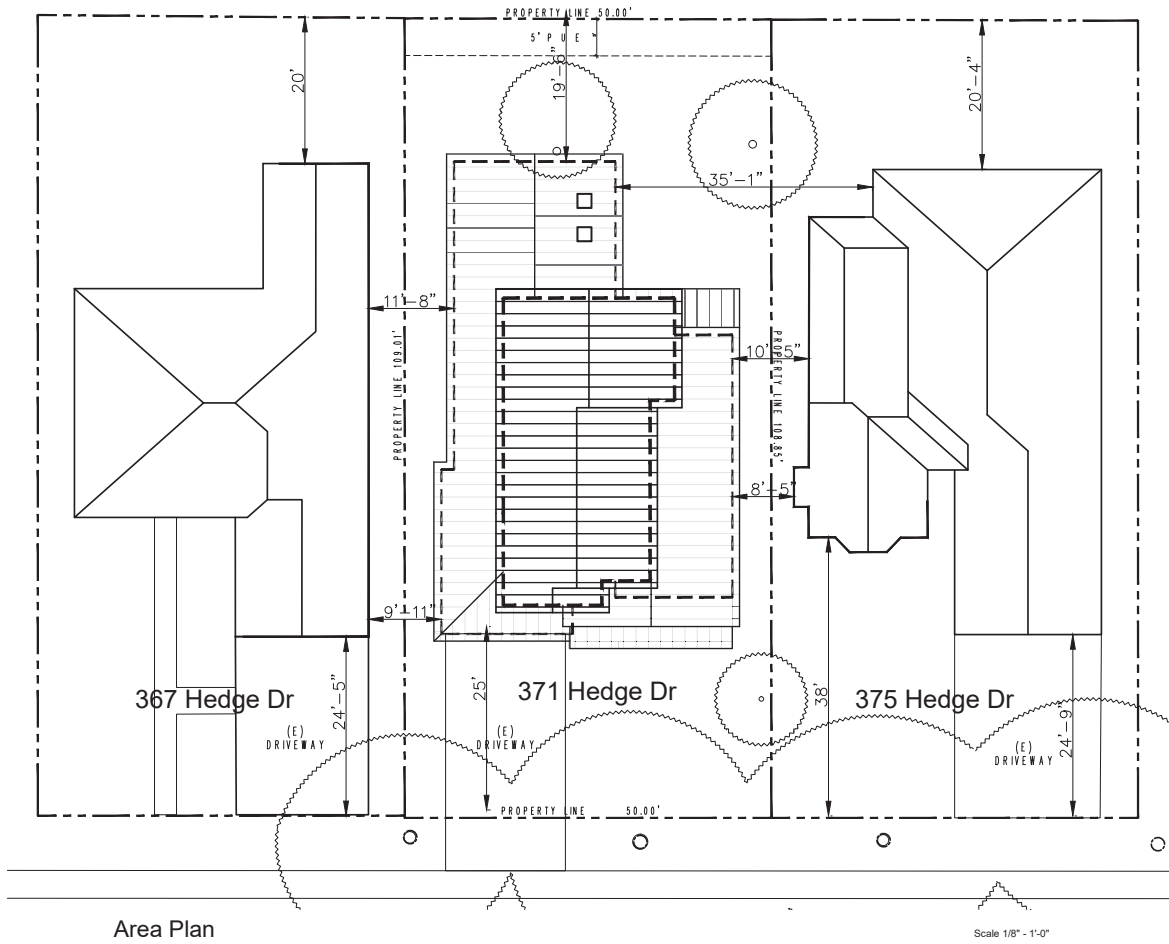
Non-Conforming Structure Type	Square Footage		Construction Cost	Existing Value
Existing 1st floor	1053.76	X	\$200/Sq Ft	\$210,752.00
Existing 2nd floor	0	X	\$200/Sq Ft	\$0.00
Existing Basement	0	X	\$200/Sq Ft	\$0.00
Existing Garage	411.83	X	\$70/Sq Ft	\$28,828.10
Total	1465.59			\$239,580.10

Note: This spreadsheet is only used on one nonconforming structure at a time. If there are detached structures on the same site, they are either subject to their own spreadsheet (if they are also nonconforming and subject to new-work) or ignored (if not)

Proposed Development

Proposed Development Type	Square Footage		Construction Cost	Development Value
<i>Category 1: New square footage (scope of new foundation and/or wall framing)</i>				
1st Floor Addition	311.30	X	\$200/Sq Ft	\$62,260.00
2nd Floor Addition	814.08	X	\$200/Sq Ft	\$162,816.00
Basement Floor Addition	0	X	\$200/Sq Ft	\$0.00
Garage Addition	0	X	\$70/Sq Ft	\$0.00
<i>Category 2: Remodel of existing square footage (foundation and wall framing are both retained)</i>				
Note: Square footage measurements are taken to full extent of any room with any exterior modifications. When the use of a room is changing, the proposed use should be used for this calculation.				
Remodel of Kitchen	277.00	X	\$130/Sq Ft	\$36,210.00
Remodel of Bathrooms	134.91	X	\$130/Sq Ft	\$17,538.30
Remodel of Other Living Areas	431.10	X	\$100/Sq Ft	\$43,110.00
Remodel of Garage	488.10	X	\$20/Sq Ft	\$9,762.00
<i>Category 3: Exterior modifications to existing structure</i>				
Windows and exterior door replacements are included in area 2 remodel and accounted for in Category 2. New roofs and new siding on existing portions of the structure are not included in Category 2 or Category 3 and should be accounted for using the actual				
New Roof Structure Over Existing Sq Ft	300	X	\$50/Sq Ft	\$15,000.00
Replacement of Existing Windows/Exterior Doors	113	X	\$20/Sq Ft	\$2,260.00
Replacement of Existing Siding	662.8	X	\$20/Sq Ft	\$13,256.00
Total	4028.04			\$428,483.20

Notes



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Areal Plan
 Street Scape

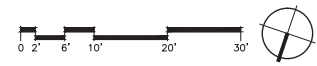
DRAWN BY: Luke Barrios

CHECKED BY:

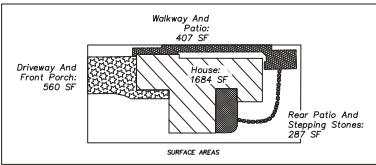
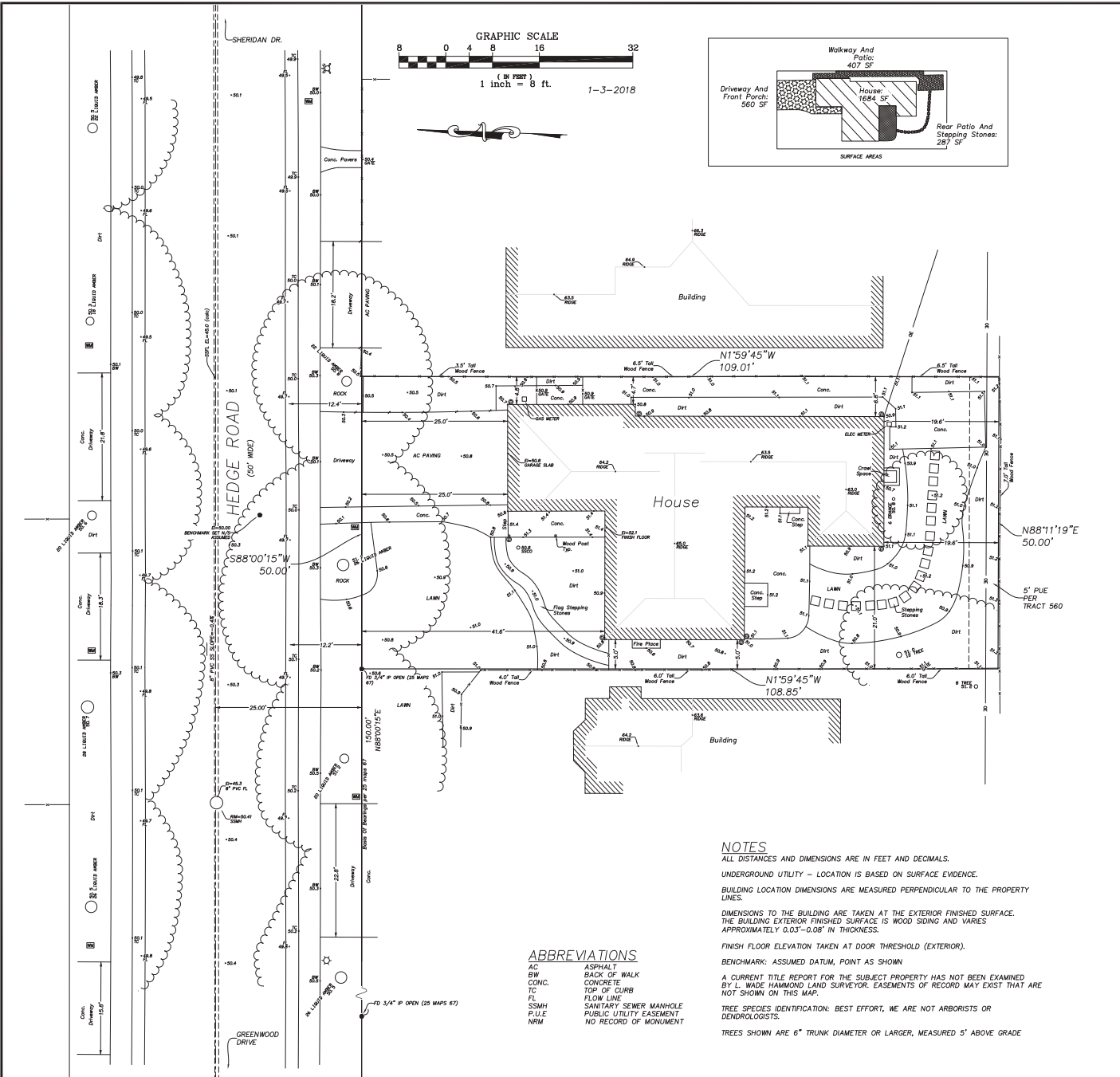
DATE:

REVISIONS
Building Submittal DATE

SHEET No.



T-4



LEGEND

- FOUND POINT AS NOTED
- () RECORD DATA / REFERENCE
- ⊞ WATER METER OR WATER VALVE BOX
- ⊞ FIRE HYDRANT
- 16 12 8 OAK TREE - TRUNK DIAMETER IN INCHES
TREE SPECIES IDENTIFICATION: BEST EFFORT, WE ARE NOT ARBORISTS OR DENDROLOGISTS
- 16 12 8 OAK TREE WITH MULTIPLE TRUNKS
- TRUNK | TREE DRIP LINE POINTS TOWARDS TREE TRUNKS. TREE DRIP LINES ABOVE PROPERTY LOCATED AS SHOWN.
- +25.34 TOP OF CURB
- FENCE
- OVERHEAD WIRES
- POWER POLE
- + 12.34 SPOT ELEVATION
- ⊞ SANITARY SEWER CLEAN OUT
- ⊞ DOWN SPOUT
- ⊞ ELECTROLIER
- EDGE OF AC PAVING

NOTES

ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.
 UNDERGROUND UTILITY - LOCATION IS BASED ON SURFACE EVIDENCE.
 BUILDING LOCATION DIMENSIONS ARE MEASURED PERPENDICULAR TO THE PROPERTY LINES.
 DIMENSIONS TO THE BUILDING ARE TAKEN AT THE EXTERIOR FINISHED SURFACE. THE BUILDING EXTERIOR FINISHED SURFACE IS WOOD SIDING AND VARIES APPROXIMATELY 0.03"-0.08" IN THICKNESS.
 FINISH FLOOR ELEVATION TAKEN AT DOOR THRESHOLD (EXTERIOR).
 BENCHMARK: ASSUMED DATUM, POINT AS SHOWN
 A CURRENT TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY L. WADE HAMMOND, LAND SURVEYOR. EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.
 TREE SPECIES IDENTIFICATION: BEST EFFORT, WE ARE NOT ARBORISTS OR DENDROLOGISTS.
 TREES SHOWN ARE 6" TRUNK DIAMETER OR LARGER, MEASURED 5' ABOVE GRADE.

ABBREVIATIONS

- AC ASPHALT
- BW BACK OF WALK
- CONC. CONCRETE
- TC TOP OF CURB
- FL FLOW LINE
- SSMH SANITARY SEWER MANHOLE
- P.U.E PUBLIC UTILITY EASEMENT
- NRW NO RECORD OF MONUMENT

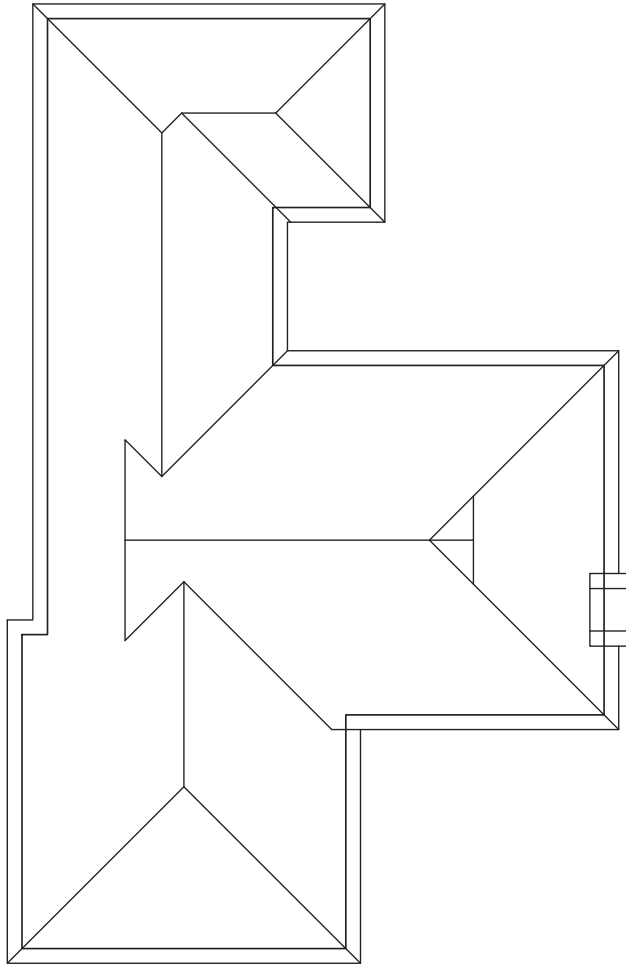
I CERTIFY THAT THIS PARCEL'S BOUNDARY WAS ESTABLISHED BY ME OR UNDER MY SUPERVISION AND IS BASED ON A FIELD SURVEY IN CONFORMANCE WITH THE LAND SURVEYOR'S ACT. ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.



L. Wade Hammond
 Licensed Land Surveyor
 No. 6163

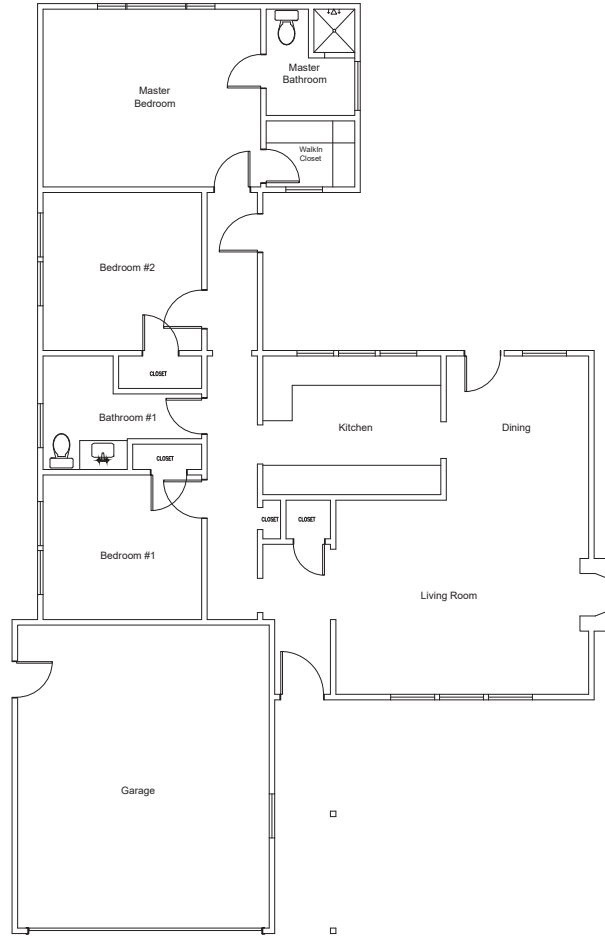
SURVEY
 371 HEDGE RD
 MENLO PARK
 APN: 055-303-290
 LOT 9, BLOCK 6, 25 MAPS 67
 LOT AREA: 5,447 SQ. FT. GROSS & NET

36660 Newark Blvd. Suite C
 Newark, California 94560
 Tel: (510) 579-6112 Fax: (510) 991-8054
 wade@whlandsurveyor.com



(E) Roof Plan

Scale 1/4" = 1'-0"



(E) 1st Floor Plan

Scale 1/4" = 1'-0"

Demolition notes

- EXISTING STUCCO
- WOOD WINDOWS
- BRICK
- EXISTING ASPHALT SHINGLES

Wall Legend

- DEMOW WALL
- FIRE RATED WALL
- PARTITION WALL
- MASONRY WALL
- 60 WALL
- 80 WALL
- WALL TO BE IN PLACE AND NEW ELECTRICAL INSTALLED
- HATCHING INDICATES ADDITION AREA
- DASHED HATCHING INDICATES REMODEL AREA
- VENTILATION AREA

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As Built

DRAWN BY: Luis Barrios

CHECKED BY:

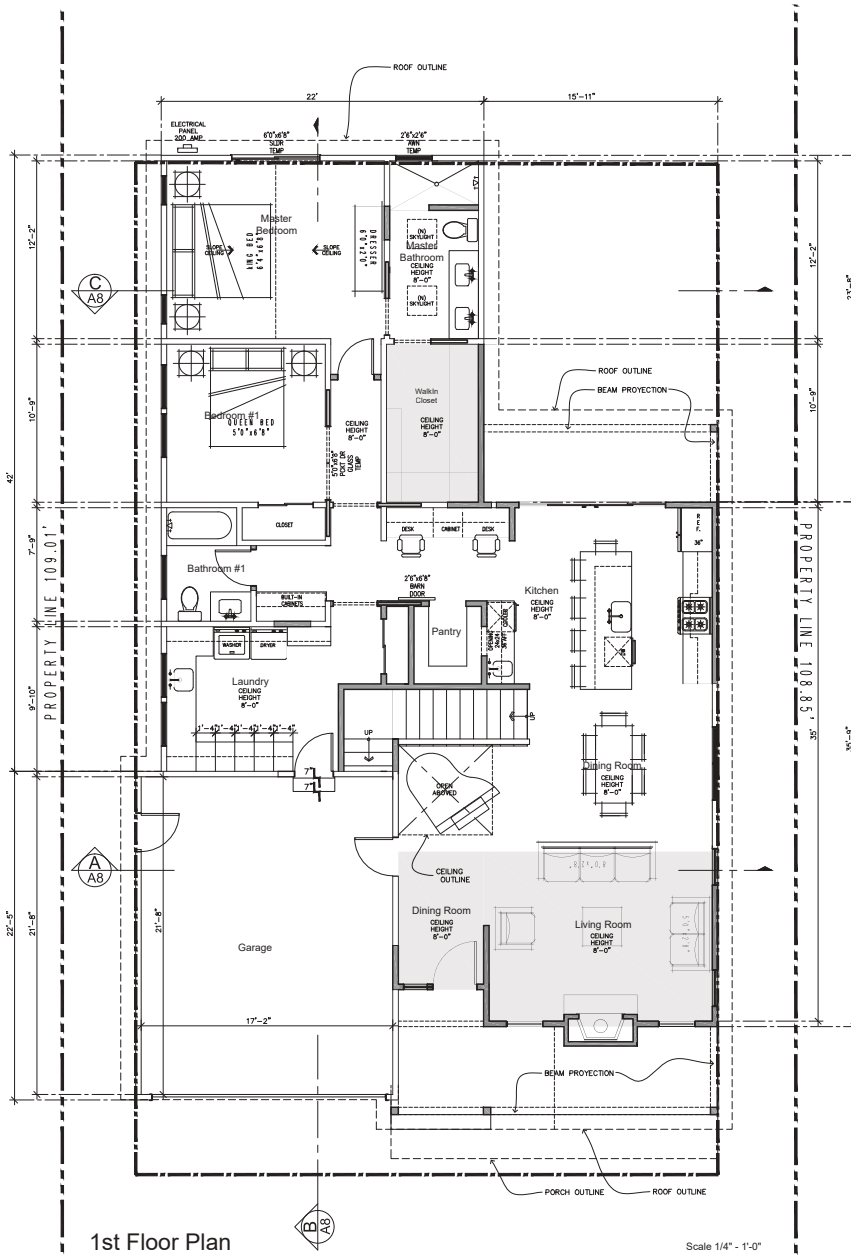
DATE:

REVISIONS

NO.	DESCRIPTION

SHEET No.

A0

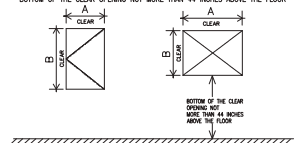


Safety Class Requirements:

- ADJACENT TO AND 24 INCHES OF EITHER EDGE OF A DOOR AND WITHIN 60 INCHES ABOVE WALKING SURFACE (NOT REQUIRED IN WALL PERPENDICULAR TO THE PLANE OF DOOR).
- IN DOORS AND WINDOWS GREATER THAN 9 SQ. FT. CLOSER TO THE FLOOR AND TOP EDGE GREATER THAN 36" INCHES.
- BOTTOM OF STAIR AND ANY GLAZING WITHIN 36" HORIZONTALLY AND 60" VERTICALLY OF THE WALKING SURFACE OF STAIRWAY.
- GLAZING IN RAILING
- ADJACENT TO STAIRWAY/LANDING/RAMPS WITHIN 36 INCHES HORIZONTALLY OF A WALKING SURFACE WHEN THE EXPOSED SURFACE IS LESS THAN 60" VERTICALLY OF THE WALKING SURFACE OF STAIRWAY.
- ADJACENT TO STAIRWAY WITHIN 60" HORIZONTALLY OF THE BOTTOM TREAD IN ANY DIRECTION.

Egress Requirements

- ALL NEW WINDOWS AND REPLACED WINDOWS ARE TO BE DOUBLE GLAZED
- ALL SAFETY GLASS & TEMPERED GLASS SHALL BE AFFIXED WITH A PERMANENT LABEL.
- TEMPERED APPROVED WINDOWS TO HAVE A MINIMUM CLEAR OPENINGS OF 5.7 SQ FT MINIMUM BEDROOM WINDOW OPENING HEIGHT: 24" MINIMUM BEDROOM WINDOW OPENING WIDTH: 20"



A	20	20.5	21	21.5	22	22.5	23	23.5	24	24.5	25	25.5	26	26.5	27
B	41	40	38.1	36.2	34.3	32.5	30.7	29.0	27.4	25.8	24.3	22.9	21.6	20.4	19.3
A	27.5	28	28.5	29	29.5	30	30.5	31	31.5	32	32.5	33	33.5	34	34.2
B	28.8	29.3	29.8	30.3	30.8	31.3	31.8	32.3	32.8	33.3	33.8	34.3	34.8	35.3	35.8

MINIMUM WIDTH/HEIGHT REQUIREMENTS FOR EMERGENCY ESCAPE AND RESCUE WINDOWS (INCHES)

- SAFETY GLAZING REQUIRED FOR THE FOLLOWING CONDITION:
 - GLASS IN ANY KIND OF SHOWER BATH/TUB AREA, HOT TUB, STEAM ROOM, SAUNA OR SHOWER AREA WHERE THE BOTTOM EDGE OF THE GLASS IS LESS IS LESS THAN 60 INCHES ABOVE A STANDING SURFACE AND DRAIN OUTLET.

- GLASS IN FIXED OR OPERABLE PANELS THAT MEETS ALL OF THE FOLLOWING CONDITIONS:**
- VERTICAL EDGE OF GLAZING LESS THAN 24" OF CLOSED DOOR
 - BOTTOM EDGE IS LESS THAN 18" ABOVE FLOOR.
 - TOP EDGE IS GREATER THAN 36" ABOVE FLOOR.
 - TOTAL AREA OF GLASS IS GREATER THAN 9 SQ. FT. (1206 sq.in.)
 - ONE OR MORE WALKING SURFACE WITHIN 36" HORIZONTAL OF THE GLAZING.
- NATURAL LIGHT REQUIREMENTS: GLAZING SHALL EQUAL 8 % THE FLOOR AREA
 - NATURAL VENTILATION REQUIREMENTS: WINDOW OPENING SHALL EQUAL 4 % THE FLOOR AREA
 - NO WINDOWS LESS THAN 3 FEET FROM PROPERTY LINE
 - SECURITY BARS MUST HAVE ESCAPE HARDWARE
 - NO WINDOWS ENCLOSING PATIO COVERS

Exterior Openings

- OPENINGS ARE NOT PERMITTED WITH WHEN EXTERIOR WALL IS LESS THAN 3 FEET FROM PROPERTY LINE WITH OR WITHOUT SPRINKLERS
- OPENINGS ARE PERMITTED WITH A MAXIMUM OF 25% OF WALL AREA WHEN EXTERIOR WALL IS LOCATED MORE THAN 3 FEET AND LESS THAN 5 FEET FROM PROPERTY LINE.
- OPENINGS ARE ALLOWED WHEN WALL IS LOCATED A 3 FEET FROM PROPERTY LINE AND BUILDING IS PROTECTED WITH FIRE SPRINKLER SYSTEM.

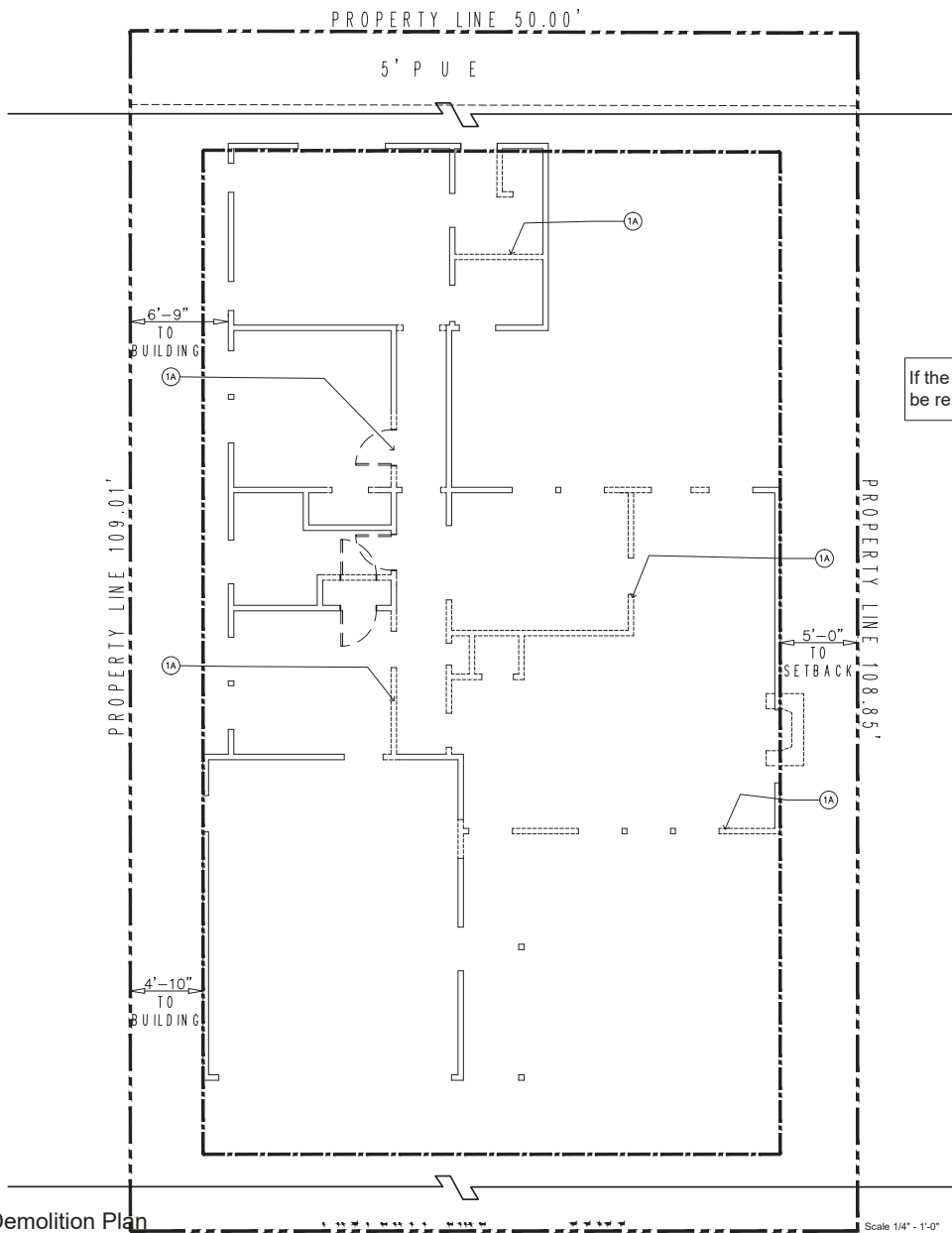
Projections

PROJECTIONS SHALL BE PROTECTED WITH ONE-HOUR FIRE RESISTANCE RATED ON THE UNDERSIDE ACCORDING TO CRC TABLE R302.1 (1) TABLE R302.1(2)

- IF PROPERTY LINE IS LOCATED BETWEEN 2 FEET AND LESS THAN 5 FEET.
- IF BUILDING IS PROTECTED WITH FIRE SPRINKLERS AND PROPERTY LINE IS LOCATED BETWEEN 2 FEET AND LESS THAN 3 FEET.

Wall Legend

- DOW WALL
- - - PARTITION WALL
- (D) WALL
- (DU) WALL
- (E) WALL TO BE IN NEW SHEATHING INSTALLED
- FIRE RATED WALL
- MASSOARY WALL
- SHADE INDICATES ADDITION AREA
- VENTILATION AREA

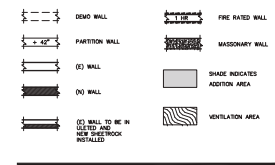


If the non conforming walls are removed, the walls must be rebuilt to meet the current setback requirements.

Demolition notes

- (1A) REMOVE EXISTING WALL
- (2A) REMOVE EXISTING PLUMBING FIXTURES
- (3A)
- (4A)
- (5A)

Wall Legend



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1st Floor Demolition Plan

DRAWN BY: Luke Barrios

CHECKED BY:

DATE:

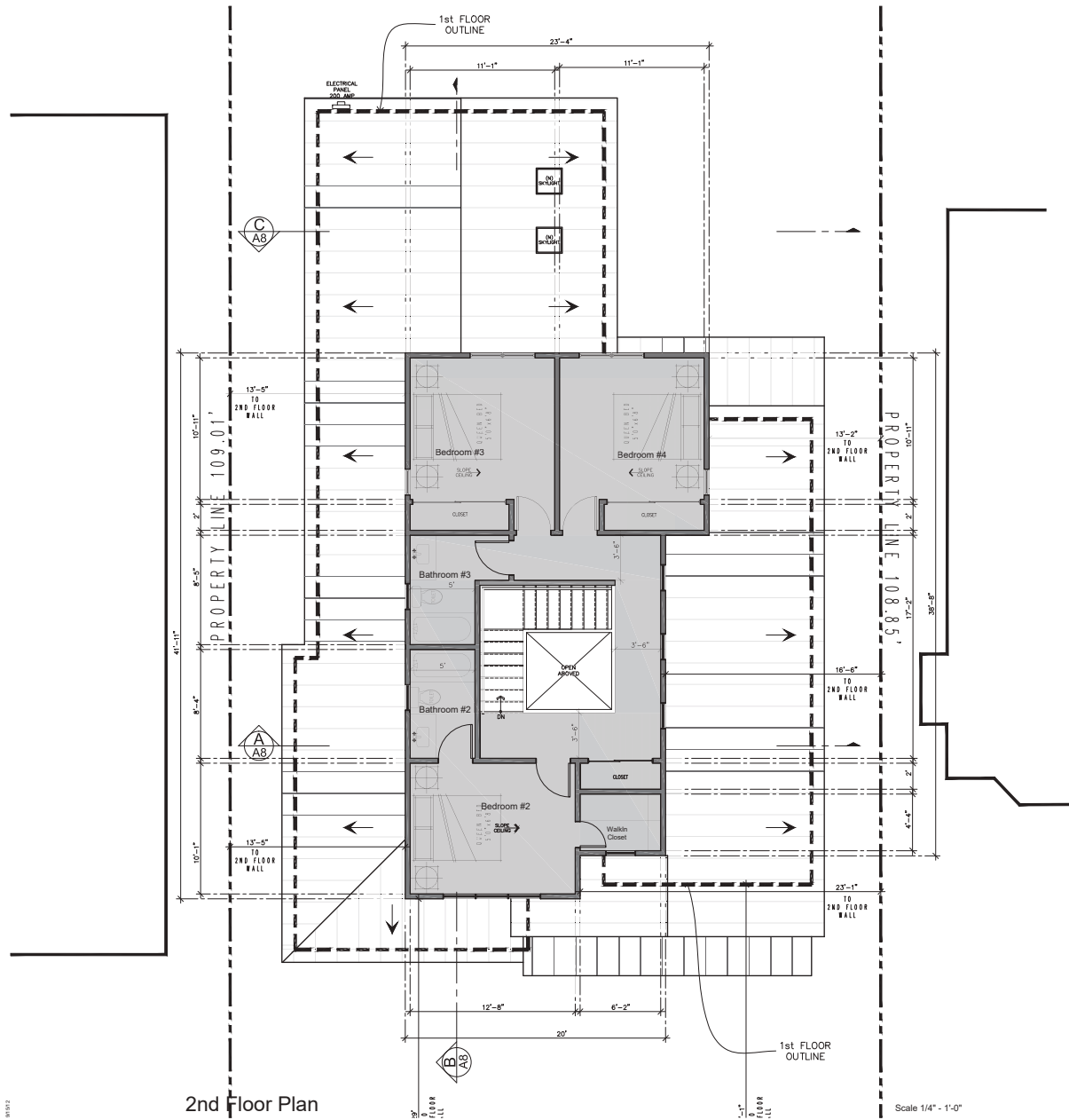
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SHEET No.

A1.1

1st Floor Demolition Plan

Scale 1/4" = 1'-0"



2nd Floor plan

Wall Legend

DEMO WALL	FIRE RATED WALL
PARTITION WALL	MASONRY WALL
(S) WALL	SHADE INDICATES ADDITION AREA
(N) WALL	DASHED HATCHING INDICATES REMODEL AREA
(S) WALL TO BE IN EXISTING AND NEW ELECTRICAL REROUTED	VENTILATION AREA



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2ndt Floor Plan

DRAWN BY: Luke Barrios

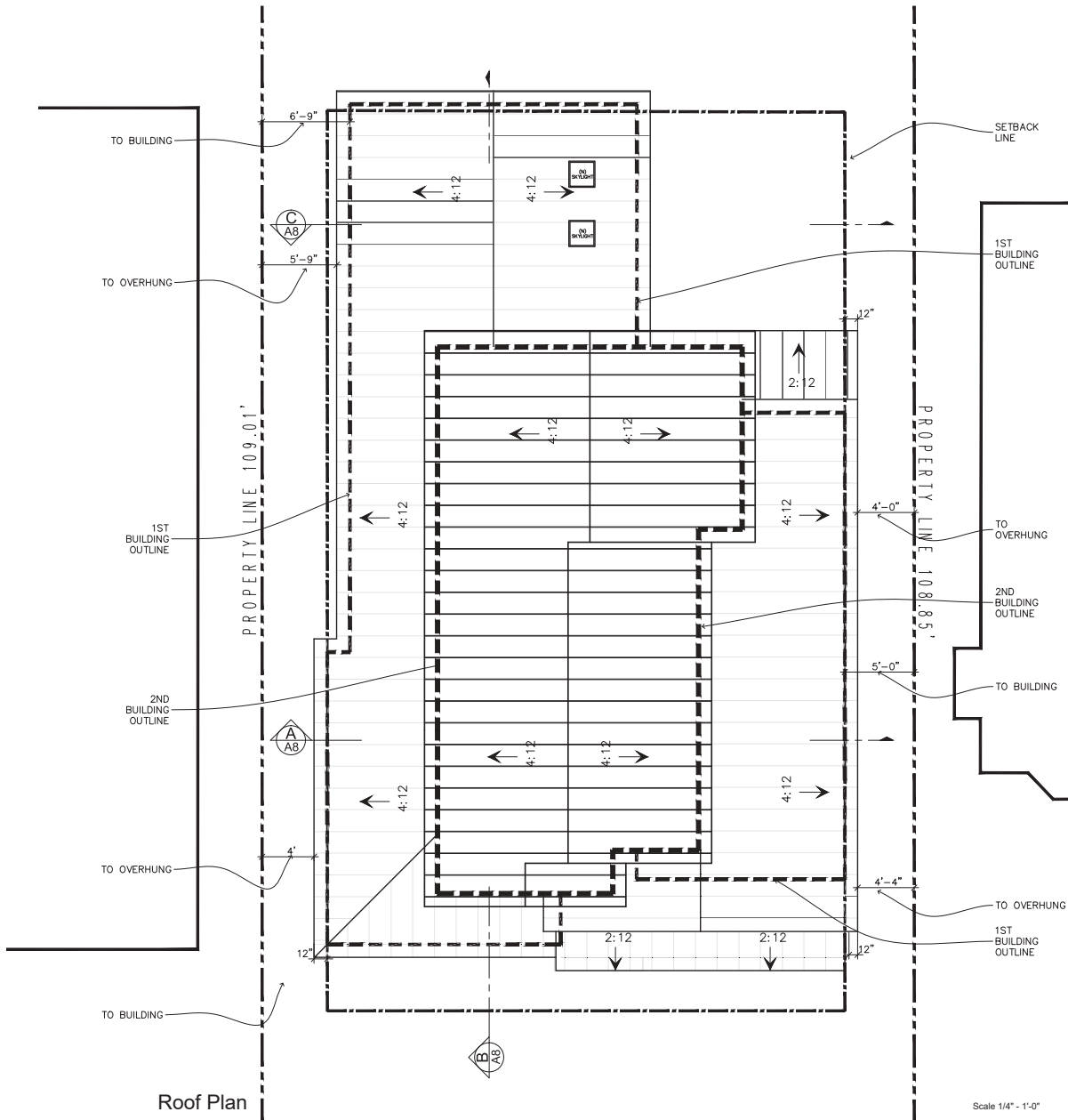
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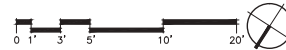
SHEET No.

A-2



Roof Plan

Scale 1/4" = 1'-0"



Roof Plan

- [R1] "GABLE ROOF" BOARD AND BATTEN, OVER WATERPROOF WRAPING "TYVEE" OR SIMILAR, OVER ROOF DECKING.
- [R2] VINYL WINDOWS, MIN. EFFICIENCY STANDARD: 0.40 U-FACTOR AND 0.40 SOLAR HEAT GAIN COEFFICIENT (SHGC).
- [R3] PROVIDE AN ADDRESS SIGN ON THE FRONT/STREET SIDE OF THE BUILDING. AN ILLUMINATED ADDRESS NUMBER WITH CONTRASTING BACKGROUND AND A MINIMUM 1/2" STROKE BY 4" MINIMUM HEIGHT THAT IS VISIBLE FROM STREET.
- [R4] UNDERFLOOR VENT 6"x6" NET OPENING VENTS SHALL BE COVERED WITH A CORROSION-RESISTANT WIRE-MESH WITH MESH OPENING OF 1/4" IN CHECKDOWN.
- [R5] STANDING SEAM METAL ROOF, "COLOR TIE" OVER WATER PROOF MATERIAL.
- [R6] METAL GUTTER, TO MATCH EXISTING.

Legend

- 4:12 ← SHIP ROOF DIRECTION
- VENTILATION AREA

ALL ROOF VENTS SHALL BE A MINIMUM OF 3 FEET ABOVE OR 10 FEET HORIZONTALLY AWAY FROM OPERABLE SKYLIGHTS

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Roof Plan

DRAWN BY: Luis Barrios

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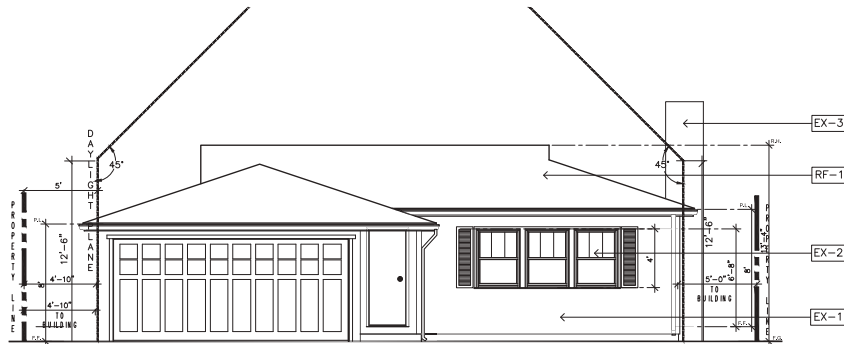
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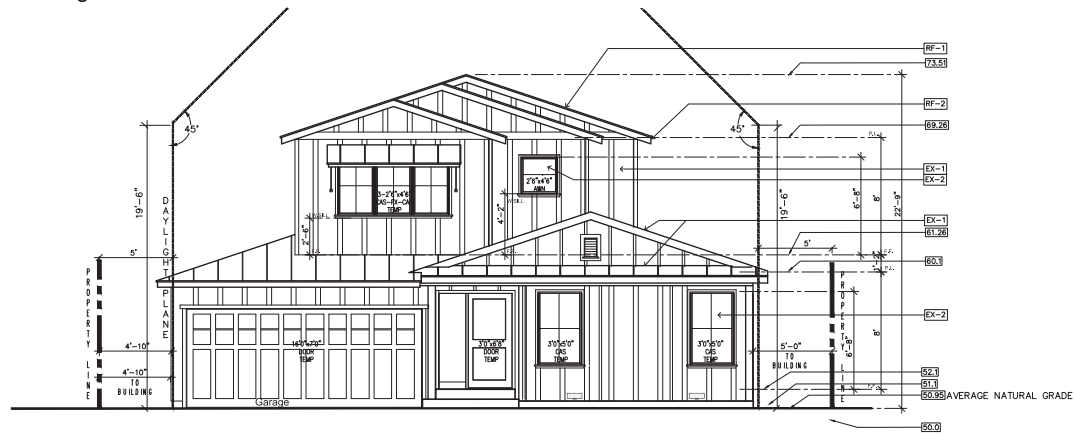
SHEET No.

A3



Existing Front Elevation

Scale 1/4" = 1'-0"



Proposed Front Elevation

Scale 1/4" = 1'-0"

Materials

- EX-1 "JAMES HARDIE", BOARD AND BATTEN, OVER WATERPROOF WRAPPING "TYVEK" OR SIMILAR, OVER WOOD SHEATHING.
- EX-2 MILGARD ULTRA SERIES FIBERGLASS WINDOWS, MIN. EFFICIENCY STANDARD: 0.40 U-FACTOR AND 0.40 SOLAR HEAT GAIN COEFFICIENT (SHGC)
- EX-3 PROVIDE AN ADDRESS SIGN ON THE FRONT/STREET SIDE OF THE BUILDING, AN ILLUMINATED ADDRESS NUMBER WITH CONTRASTING BACKGROUND AND A MINIMUM 1/2" STROKE BY 4" MINIMUM HEIGHT THAT IS VISIBLE FROM STREET.
- EX-4 UNDERFLOOR VENT 6"x10" NET OPENING VENTS SHALL BE COVERED WITH A CORROSION-RESISTANT WIRE-MESH WITH MESH OPENING OF 1/4" IN DIMENSION.
- RF-1 STANDING SEAM METAL ROOF, "COLOR TBD" OVER WATER PROOF MATERIAL.
- RF-2 METAL GUTTER, TO MATCH EXISTING.

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Elevation

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CHECKED BY:

DATE:

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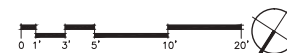
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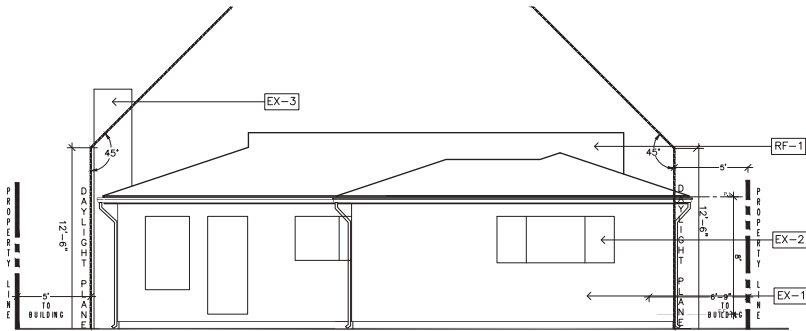
SHEET No.

A4

Wall Legend

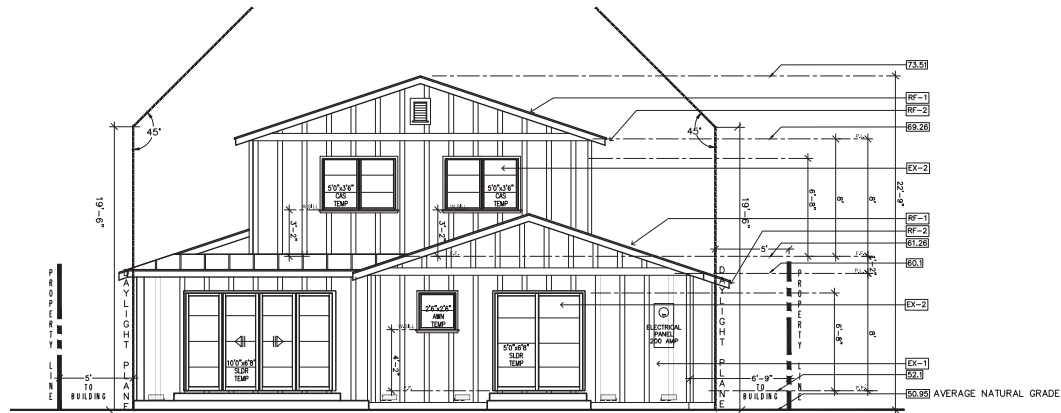
- F.F. FINISH FLOOR
- F.G. FINISH GRADE
- T.O.P. TOP OF PLATE
- T.O.S. TOP OF SLAB
- R.B. RIDGE BOARD
- ELEV. ELEVATION





Existing Rear Elevation

Scale 1/4" = 1'-0"



Proposed Rear Elevation

Scale 1/4" = 1'-0"

Materials

- EX-1 "JAMES HARDIE" , BOARD AND BATTEN, OVER WATERPROOF WRAPPING "TYVEK" OR SIMILAR, OVER WOOD SHEATHING.
- EX-2 MILGARD ULTRA SERIES FIBERGLASS WINDOWS. MIN. EFFICIENCY STANDARD: 0.40 U-FACTOR AND 0.40 SOLAR HEAT GAIN COEFFICIENT (SHGC)
- EX-3 PROVIDE AN ADDRESS SIGN ON THE FRONT/STREET SIDE OF THE BUILDING. AN ILLUMINATED ADDRESS NUMBER WITH CONTRASTING BACKGROUND AND A MINIMUM 1/2" STROKE BY 4" MINIMUM HEIGHT THAT IS VISIBLE FROM STREET.
- EX-4 UNDERFLOOR VENT 6"x10" NET OPENING VENTS SHALL BE COVERED WITH A CORROSION-RESISTANT WIRE-MESH WITH MESH OPENING OF 1/4" IN DIMENSION.
- RF-1 STANDING SEAM METAL ROOF. *COLOR TBD * OVER WATER PROOF MATERIAL.
- RF-2 METAL GUTTER, TO MATCH EXISTING.

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Elevation

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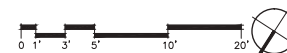
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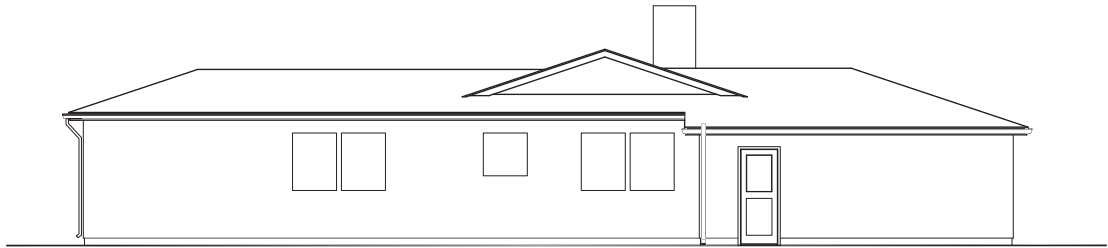
A5

- TEMPORARY NFRC LABELS ON NEW WINDOWS AND EXTERIOR DOOR SHALL NOT BE REMOVED UNTIL AFTER FINAL INSPECTION.

Wall Legend

- F.F. FINISH FLOOR
- F.G. FINISH GRADE
- T.O.P TOP OF PLATE
- T.O.S TOP OF SLAB
- R.B. RIDGE BOARD
- ELEV. ELEVATION





Existing Left Side Elevation

Scale 1/4" = 1'-0"



Proposed Left Side Elevation

Scale 1/4" = 1'-0"

Materials

- EX-1 "JAMES HARDIE", BOARD AND BATTEN, OVER WATERPROOF WRAPPING "TYVEK" OR SIMILAR, OVER WOOD SHEATHING.
- EX-2 MILGARD ULTRA SERIES FIBERGLASS WINDOWS, MIN. EFFICIENCY STANDARD: 0.40 U-FACTOR AND 0.40 SOLAR HEAT GAIN COEFFICIENT (SHGC)
- EX-3 PROVIDE AN ADDRESS SIGN ON THE FRONT/STREET SIDE OF THE BUILDING, AN ILLUMINATED ADDRESS NUMBER WITH CONTRASTING BACKGROUND AND A MINIMUM 1/2" STROKE BY 4" MINIMUM HEIGHT THAT IS VISIBLE FROM STREET.
- EX-4 UNDERFLOOR VENT 6"x10" NET OPENING VENTS SHALL BE COVERED WITH A CORROSION-RESISTANT WIRE-MESH WITH MESH OPENING OF 1/4" IN DIMENSION.
- RF-1 STANDING SEAM METAL ROOF, "COLOR TBD" OVER WATER PROOF MATERIAL.
- RF-2 METAL GUTTER, TO MATCH EXISTING.

HOMEPLANS
& CONSTRUCTION
homeplans.com 650-520-9128

Jennifer and Nicholas Bott
Residence
371 Hedge rd.
Menlo Park, Ca. 94025

CLIENT

Elevation

DRAWN BY: Lux Barrios

CHECKED BY:

DATE:

REVISIONS

NO.	REVISIONS

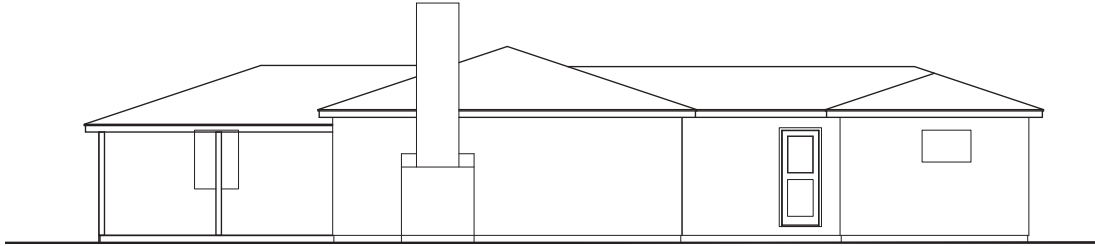
SHEET No.

A6

• TEMPORARY NFRC LABELS ON NEW WINDOWS AND EXTERIOR DOOR SHALL NOT BE REMOVED UNTIL AFTER FINAL INSPECTION.

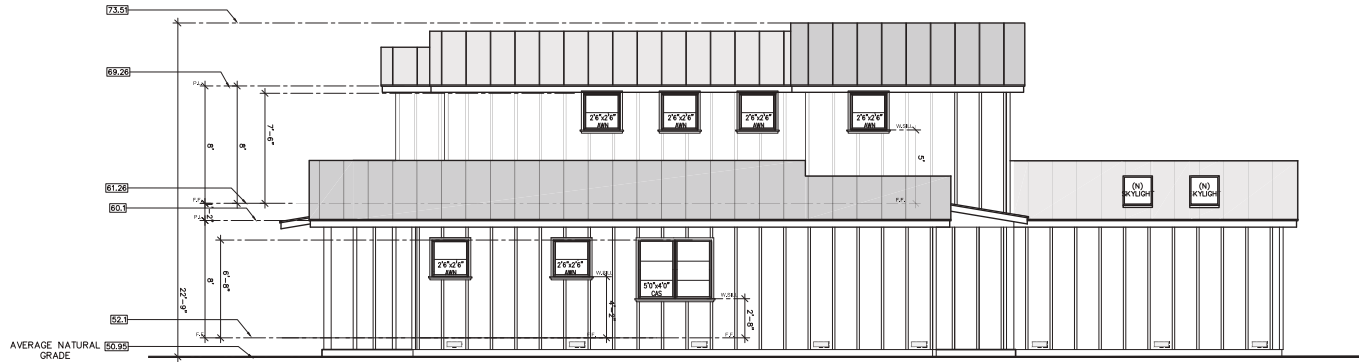
Wall Legend

- F.F. FINISH FLOOR
- F.G. FINISH GRADE
- T.O.P. TOP OF PLATE
- T.O.S. TOP OF SLAB
- R.B. RIDGE BOARD
- ELEV. ELEVATION



Existing Right Side Elevation

Scale 1/4" = 1'-0"



Proposed Right Side Elevation

Scale 1/4" = 1'-0"

Materials

- EX-1 "JAMES HARDIE", BOARD AND BATTEN, OVER WATERPROOF WRAPPING "TYVEK" OR SIMILAR, OVER WOOD SHEATHING.
- EX-2 MILGARD ULTRA SERIES FIBERGLASS WINDOWS. MIN. EFFICIENCY STANDARD: 0.40 U-FACTOR AND 0.40 SOLAR HEAT GAIN COEFFICIENT (SHGC)
- EX-3 PROVIDE AN ADDRESS SIGN ON THE FRONT/STREET SIDE OF THE BUILDING. AN ILLUMINATED ADDRESS NUMBER WITH CONTRASTING BACKGROUND AND A MINIMUM 1/2" STROKE BY 4" MINIMUM HEIGHT THAT IS VISIBLE FROM STREET.
- EX-4 UNDERFLOOR VENT 6"x10" NET OPENING VENTS SHALL BE COVERED WITH A CORROSION-RESISTANT WIRE-MESH WITH MESH OPENING OF 1/4" IN DIMENSION.
- RF-1 STANDING SEAM METAL ROOF. "COLOR TBD " OVER WATER PROOF MATERIAL.
- RF-2 METAL GUTTER, TO MATCH EXISTING.

HOMEPLANS
 & COMMERCIAL
 homeplans.com@gmail.com
 650-520-9128

CLIENT
Jennifer and Nicholas Bott
 Residence
 371 Hedge rd.
 Menlo Park , Ca. 94025

Elevation

DRAWN BY: Lux Barrios

CHECKED BY: _____

DATE: _____

REVISIONS

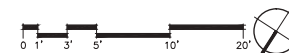
NO.	REVISIONS

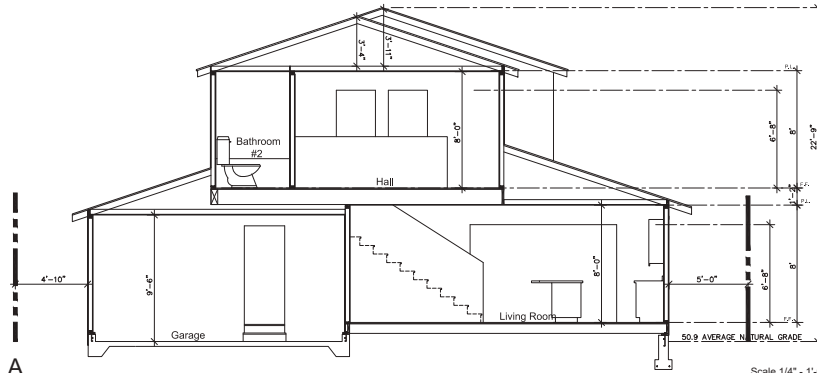
SHEET No.

A7

Wall Legend

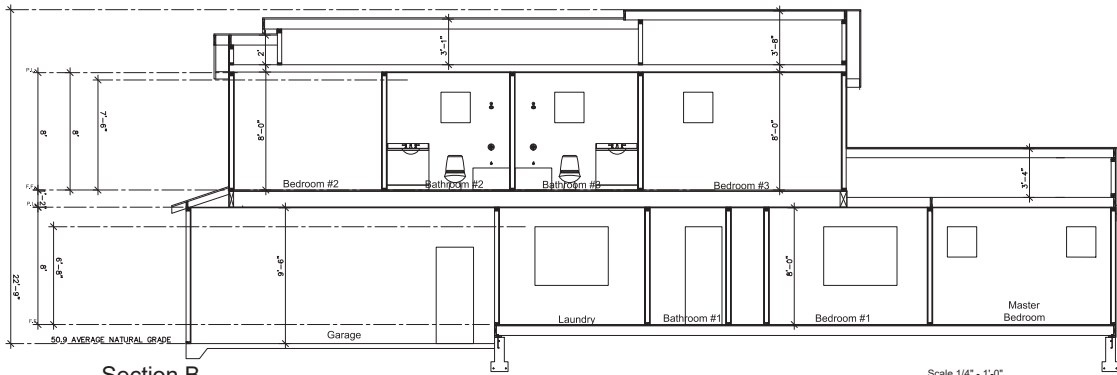
- F.F. FINISH FLOOR
- F.G. FINISH GRADE
- T.O.P. TOP OF PLATE
- T.O.S. TOP OF SLAB
- R.B. RIDGE BOARD
- ELEV. ELEVATION





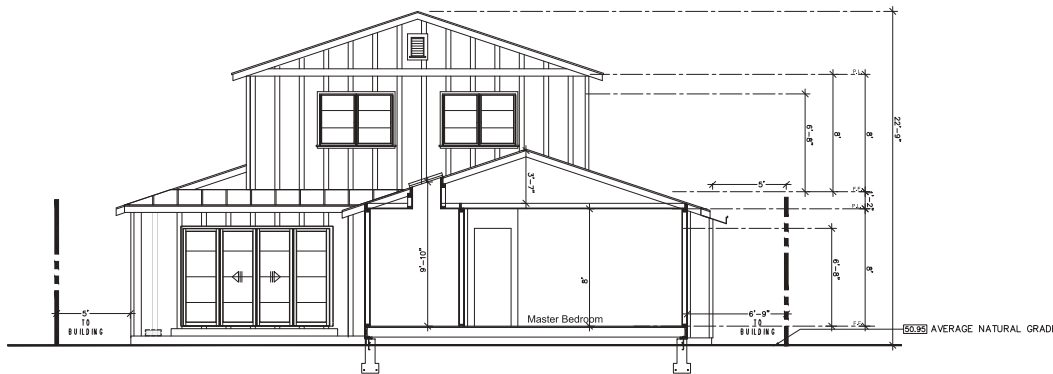
Section A

Scale 1/4" = 1'-0"



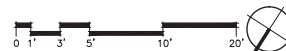
Section B

Scale 1/4" = 1'-0"



Section C

Scale 1/4" = 1'-0"



Sections

- 2X4 WOOD STUDS @ 16. O.C., TYP.
- 2X6 WOOD STUDS @ 16. O.C., TYP.
- 1/2" GYP. BD. TAPE & TEXTURE, TYP.
- 5/8" GYP. BD. TAPE & TEXTURE, TYP.
- 5/8" TYPE "X" GYPBD. FROM FOUNDATION TO CEILINGS AND SUPPORT MEMBERS
- 3/4" PLYWOOD @ 2x FLOOR JOISTS
- ENCLOSED USABLE SPACE UNDER STAIRS MUST BE PROTECTED ON THE ENCLOSED SIDE BY 1 HOUR FIRE RATED CONSTRUCTION.
- R-13 INSUL. BATT
- R-19 INSUL. BATT
- R-30 INSUL. BATT

Wall Legend

- F.F. FINISH FLOOR
- F.G. FINISH GRADE
- T.O.P. TOP OF PLATE
- T.O.S. TOP OF SLAB
- R.B. RIDGE BOARD
- ELEV. ELEVATION

HOMEPLANS
& COMMERCIAL
homeplans.com
650-520-9128

Jennifer and Nicholas Bott
Residence
371 Hedge rd.
Menlo Park, Ca. 94025

CLIENT

Sections

DRAWN BY: Luke Barrios

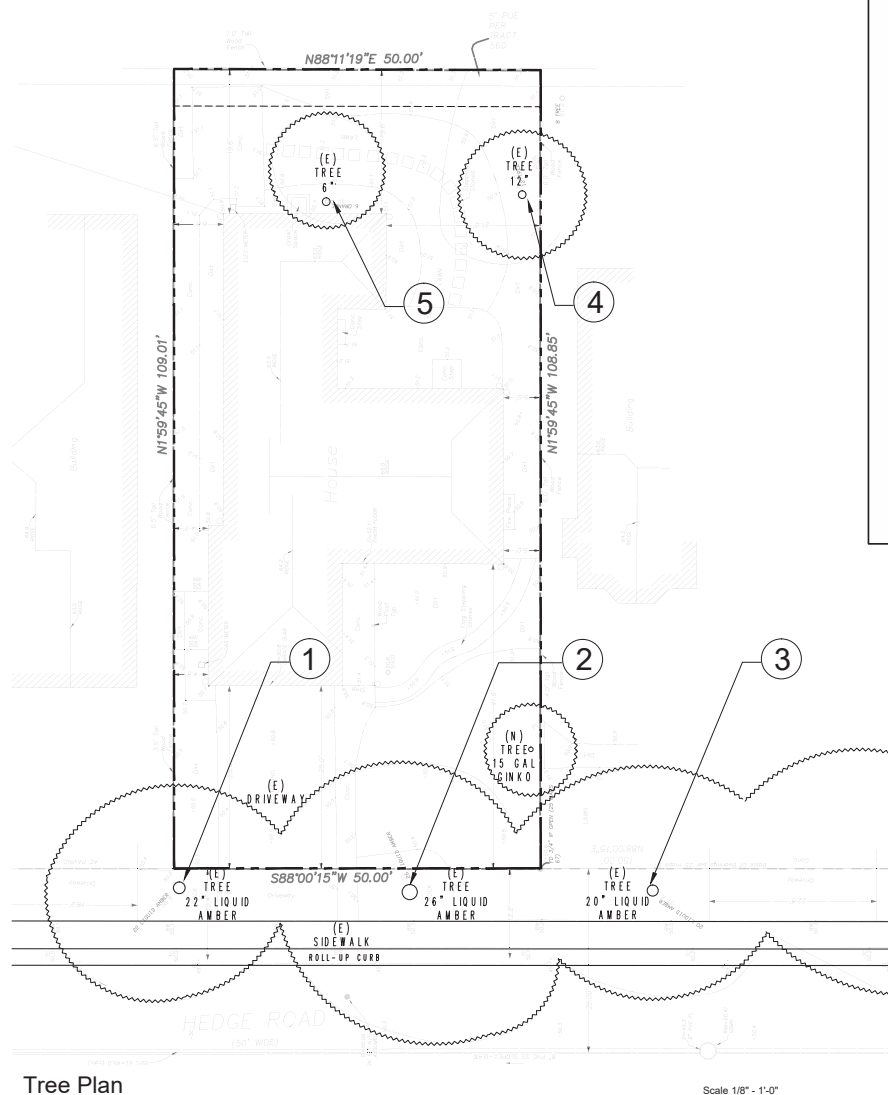
CHECKED BY:

DATE:

REVISIONS

SHEET No.

A8



Tree Plan

Scale 1/8" = 1'-0"

Kiely Arborist Services
 Certified Arborist WFO0765A
 201 Hays Road
 San Mateo, CA 94403
 650.314.9793

January 23, 2018
 Mr. Luis Barbosa
 223 Hedges Road
 Menlo Park, CA 94025

Re: 371 Hedge, Menlo Park, CA
 Dear Mr. Barbosa,

As requested on Wednesday, January 23, 2018, I visited the above site for the purpose of inspecting and assessing the trees. A tree care solution is being designed for this site and your consent as to the intent, health and safety of the trees is requested (this visit).

Method:
 All inspections were made from the ground; the trees were not climbed for this inspection. The trees in question were located as they provided by you. The trees were then measured for diameter at 48 inches above ground level (DBH) or diameter at breast height. The trees were given a condition rating for form and structure. The trees condition rating is based on 30 percent vitality and 70 percent form, using the following scale:

1	20 - Very Poor
2	30 - Fair
3	40 - Fair
4	50 - Good
5	60 - Good
6	70 - Good
7	80 - Good
8	90 - Excellent

The height of the trees were measured using a Nikon Forestry 550 Hyprometer. The spread was measured as follows: Comments and recommendations for future maintenance are provided.

371 Hedge 1/23/18 (2)

Tree #	Species	DBH	CVS	HT (off)	Comments
1	Sweet gum (Liquidambar styraciflua)	25.7	35	48-49	Good signs, fair form, no assessment at 20 feet.
2	Sweet gum (Liquidambar styraciflua)	23.3	23	48-49	Good signs, fair form, no assessment at 20 feet.
3	Sweet gum (Liquidambar styraciflua)	28.0	60	23-48	Good signs, fair form, well maintained.
4	Eastern White Pine (Pinus strobus)	12.0	18	23-24	Flawless signs, fair form, near property line.
5	Orange (Citrus sinensis)	7.8	00	23-24	Good signs, fair form, fair south, 1 foot from existing fence. WR requires arbor treatment.

*Indicate neighbor's trees.

Summary:
 The trees on site are a mix of important trees, there are no trees on-site. The trees were given an overall tree care condition with good signs. The sweet gum are well established and if properly protected will not have significant impacts to their overall health. The driveway will remain during the construction protecting the trees root zone. A tree skirt will be installed within the root zone of tree #2. Hand digging or horizontal boring will occur the impact during the installation.

Trees #1 and #3 are critical trees; however tree protection is recommended if the trees are to be retained. The following tree protection plan will help to reduce impacts to the retained trees.

Tree Protection Plan:
 Tree Protection Zones
 The protection zone should be established and maintained throughout the entire length of the project. Fencing for the protection zones should be 6 feet maximum high, having supported by metal poles or cables provided into the ground. The support poles should be spaced no more than 10 feet apart or closer. The location for the protection fencing should be as close to the driveway as possible while allowing room for construction to safely continue. Signs should be placed on the fencing signifying "Tree Protection Code - Keep Out". No vehicles or equipment should be stored or placed inside the tree protection zone.

371 Hedge 1/23/18 (3)

The following distances from the trunk should be maintained for fencing:

- Sweet gum #1 will be wrapped with cable mesh, and orange plastic fencing.
- Sweet gum #2 the minimum distance for fencing will be the sidewalk and drive and extend to 15 feet where possible.
- Sweet gum #3 as the neighbor's property and will require no tree protection.
- Orange #4 should have fencing at 15 feet from the trunk if retained.
- The orange tree #5 will have the trunk wrapped with cable mesh and orange plastic fencing (if retained).

Hand Digging:
 Any work to be done should be conducted and dimensional. Large roots or large masses of roots to be cut should be inspected by the site arborist. The site arborist will coordinate hand digging or inspection of root cutting is significant. Cut all roots close to the trunk or bypass them to be left exposed for a period of time should be covered with layers of bedding and topsoil.

Tree Wrapping:
 Wrapping for irrigation, electrical, drainage or any other reason should be handled after hours from the beginning of protection zone. Hand digging and/or cutting being done below or beside protected roots will dramatically reduce root loss of retained trees after following trenches to the surface. Trenches should be backfilled and sealed as possible with native material and compacted to same or original level. Trenches that need to be left exposed for a period of time should also be covered with layers of bedding or native earth, and topsoil. If exposed over the top of the trench, it will also help ground exposed roots below.

Installation:
 Several systems should be maintained throughout the entire length of the project. The impacted trees on site will require arbor care during the entire construction. Some arbor care may be required during the winter months depending on the seasonal rainfall. During the summer months the trees on site should require heavy hand care irrigation. Once a month during the fall and winter 1 time a month should suffice. Maintaining the root zone of protected trees will help the soil retain moisture, thus reducing water consumption.

Inspection Schedule:
 The tree protection will be inspected prior to the start of demolition and the start of construction. Future inspections will be as per attached form.

The information included in this report is to be used for the tree and based on visual observations, protection, and location.

Respectfully,
 Kevin P. Kiely
 Certified Arborist WFO0765A

DRAWN BY: Lisa Bostrom
 CHECKED BY:
 DATE:
 REVISIONS
 SHEET NO.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS DIVISION MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

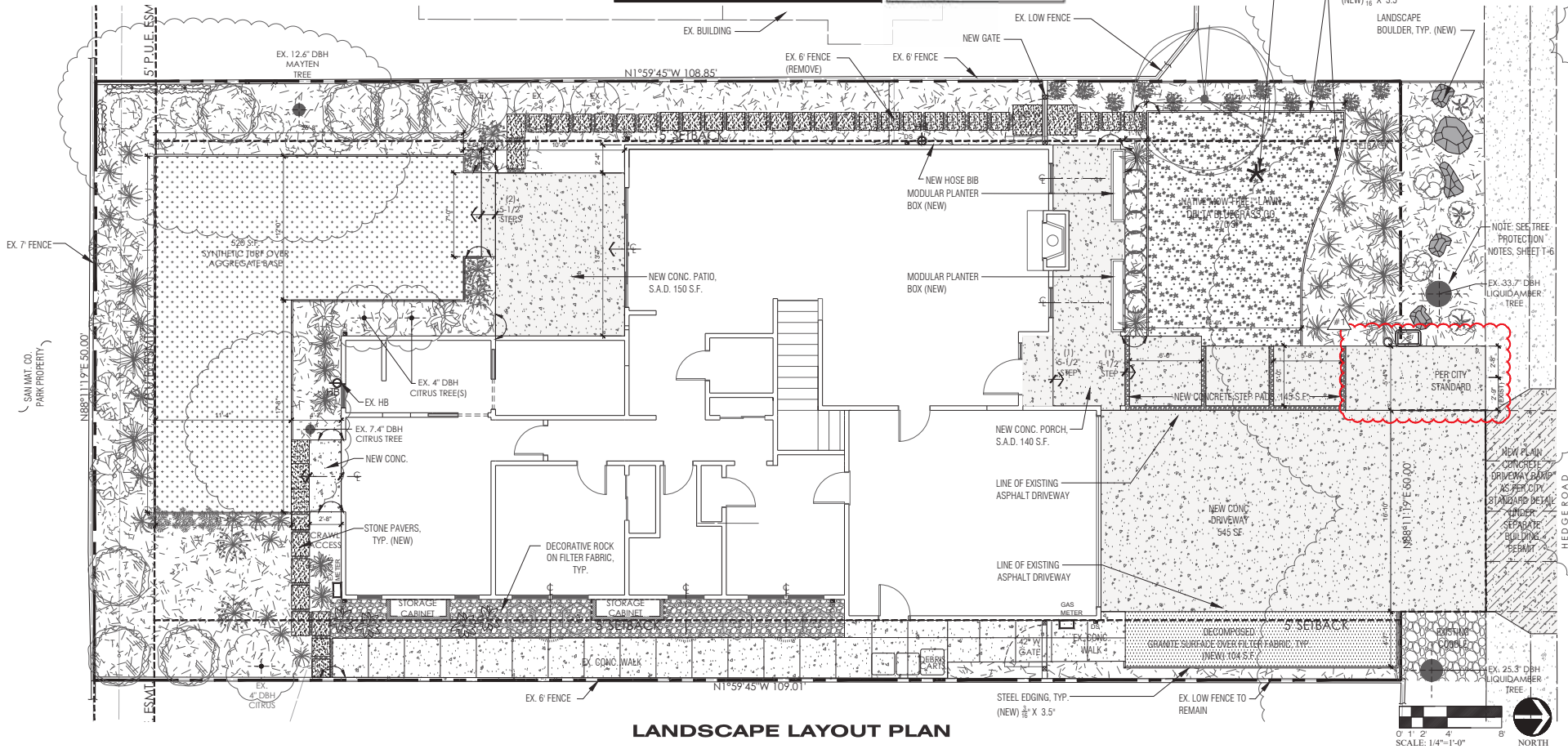
NOTE: I HAVE COMPLIED WITH THE CRITERIA OF THE WATER CONSERVATION IN LANDSCAPE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

AARON W. REDDICK 01.29.2019
LANDSCAPE DESIGNER

KEY LEGEND

	PROPERTY LINE		STORM DRAIN R/W ELEVATION
	CENTERLINE		EXISTING GRADE CONDITION
	GRADE BREAK		PROPOSED SPOT ELEVATION
	CONCRETE SCORE JOINT		SHEET FLOW DRAINAGE THROUGH LANDSCAPE
	CONCRETE EXPANSION JOINT		STEP CALLOUT
	SCOPE OF PROJECT WORK		SOIL
	PROPOSED 1' CONTOUR LINE		WATER METER
	EXISTING FENCE		ELECTRIC METER
	NO-MOW FESCUE LAWN		GAS METER
	NEW CONCRETE		ELECTRIC BOX
	EXISTING CONCRETE		AIR CONDITIONING UNIT
	PLANTING AREA #/ANNUC		IRRIGATION CONTROLLER
	ROCK COBBLES		LIGHTING TRANSFORMER
	STONE PAVER		FIRE HYDRANT
	SYNTHETIC TURF		CONTROL POINT (SEE CIVIL)
	DECOMPOSED GRANITE		POINT OF BEGINNING
	(E) TREE		
	HOSE BIB		
	DOWNSPOUT		
	SEWER MANHOLE		
	SEWER CLEANOUT		
	ELECTRICAL OUTLET		
	BACKFLOW PREVENTER		
	IRRIGATION VALVE-SPRINKLER		
	IRRIGATION VALVE-DROP		
	GATE VALVE		
	OVERHEAD POWER LINE		
	WATER LINE		
	POINT OF CONNECTION/STUB		

AD	ADJUSTED
BL	GRADE BREAK CHANGE
BL	BOTTOM OF STEP ELEVATION
BM	BOTTOM OF WALL ELEVATION
BR	DRAINAGE BREAK
CS	CONCRETE SCORE LINE
EX	EXISTING
FL	FINISHED FLOOR ELEVATION
FS	FINISHED GRADE ELEVATION
FS	FINISHED SPACE ELEVATION
ICE	OUTDOOR ELECTRICAL OUTLET
HB	HOSE BIB
HP	HIGH POINT
HT	HEIGHT
JL	JOINT UTILITY TRENCH
LR	LOW WATER USE PLANT
LR	MODERATE WATER USE PLANT
CH	OVERHEAD POWER/PHONE LINE
PA	PLANTING AREA
PC	POINT OF CONNECTION
PC	POINT OF CONNECTION
PE	PERCENT ELEVATION
PL	PLUMBING LIGHT
SC	SANITARY STORM CLEANOUT
SLA	SPRING LANDSCAPE AREA
TL	TOWER TOWER LINE
TL	LIGHTING TRANSFORMER BOX
TE	TOP OF STEP ELEVATION
TE	TOP OF WALL ELEVATION
TR	TRENCH
WL	WATER LINE
WW	WINDOW



LANDSCAPE LAYOUT PLAN

LANDSCAPE LAYOUT PLAN
371 HEDGE ROAD
MENLO PARK, CA 94025

PROJECT: RESIDENTIAL LANDSCAPE
371 HEDGE ROAD, MENLO PARK, CA 94025

CLIENT: 8077 RESIDENCE

REVISIONS

DATE	DESCRIPTION
11.24.2018	PROVISIONAL PLANTING
01.09.2019	REVISION PLAN
01.29.2019	REVISION: CONCRETE DETAIL
02.19.2019	REVISION

REVISIONS

1	LANDSCAPE LAYOUT PLAN
---	-----------------------

SCALE: 1/4"=1'-0"

SHEET NO. L-0

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS DIVISION MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

NOTE: I HAVE COMPLIED WITH THE CRITERIA OF THE WATER CONSERVATION IN LANDSCAPE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

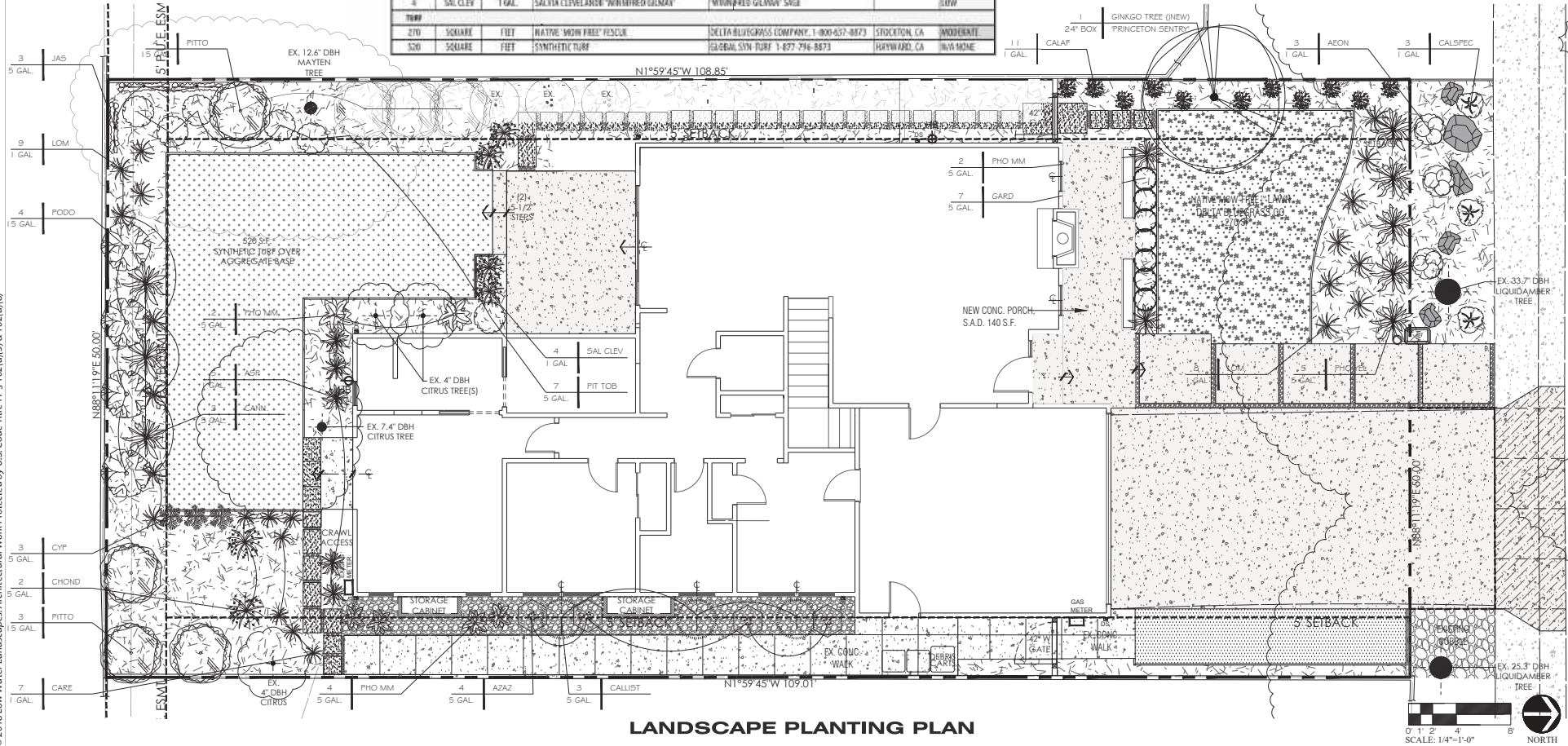
Aaron W. Reddick

AARON W. REDDICK 01.29.2019
LANDSCAPE DESIGNER

PLANTING SCHEDULE - 371 HEDGE ROAD, MENLO PARK, CA							01.29.2019	VER. 2.0
QUANTITY	SYMBOL	NURSERY SIZE	BOTANICAL NAME	COMMON NAME	COMMENTS	WUCOLS		
TREES								
1	GINKGO	24" BOX	GINKGO BILBOBA 'PRINCETON SENTINEL'	GINKGO 'PRINCETON SENTINEL'	(STAMINATED)	MODERATE		
SHRUBS								
3	AEON	1 GAL	AEONIUM CYCLOPS	AEONIUM CYCLOPS		LOW		
5	ASP	1 GAL	ASPENAGUS DEMOSPLOREUS VIAL MEYER	FOXTAIL FERU		LOW		
4	AZAZ	2 GAL	AZALEA SOUTHERN INDIAN 'TORMOSA'	PURPLE SUN AZALEA		MODERATE		
11	CALAF	1 GAL	CALAMAGROSTIS ACUTIFLORA	KARL FOERSTER FEATHER REED GRASS		MODERATE		
3	CALSPEC	1 GAL	CALANDRINA SPECIABILIS	ROCK PURSULANE		LOW		
3	CALLIST	5 GAL	CALLISTEMON 'LITTLE JOHN'	LITTLE JOHN BOTTLERUSH		LOW		
3	CANN	3 GAL	CANNA 'SCEPTERALS' 'BLACK KNIGHT'	BLACK KNIGHT CANNIA		MODERATE		
7	CARE	1 GAL	CAREX TUMIDICOLA	BURDELEY SEDGE		LOW		
2	CHOND	5 GAL	CHONDRIPETALUM TETRORUM	CAPE BUSH		LOW		
3	CYP	5 GAL	CYPERUS PAPPUS	PAPPYRUS SEDGE		HIGH		
7	GARD	5 GAL	GARDENIA SP.	GARDENIA		MODERATE		
3	JAS	5 GAL	JACQUINUM POLYANTHUM	PRK JACARINE	STAKED VINE	MODERATE		
17	LOH	1 GAL	LOMANDRIS LONG 'BREEZE'	DWARF MAUI FRESH		LOW		
6	PHO MM	5 GAL	PHORMIUM HYBRID 'BLACK MAIDEN'	NEW ZEALAND FLAT 'RAINBOW MAIDEN'		LOW		
3	PHO TIL	5 GAL	PHORMIUM TER 'YELLOW WAVE'	NEW ZEALAND FLAT 'YELLOW WAVE'		LOW		
6	PITTO	15 GAL	PITTOSPORIUM TEN 'SILVER SHEEP'	SILVER SHEEP KOHIBU	HEDGE	LOW		
7	PIT TOB	5 GAL	PITTOSPORIUM TOBIANA 'WHEELERS DWARF'	WICK DWARF 'WHEELERS DWARF'		LOW		
4	PODO	15 GAL	PODOCARPUS ELONGATUS 'MONNAL'	KETE BLUE YELLOWWOOD		MODERATE		
4	SAL CLEV	1 GAL	SALIX CLEVELANDII 'WINNIFRED GILMAN'	'WINNIFRED GILMAN' SAGE		LOW		
TURF								
270	SQUARE	FEET	NATIVE 'MOH FRESH' FESCUE	DELTA BLUEGRASS COMPANY, 1-800-457-8873	STOCKTON, CA	MODERATE		
320	SQUARE	FEET	SYNTHETIC TURF	GLOBAL SYN TURF 1-877-796-8873	HAYWARD, CA	NAI-MODE		

PLANTING NOTES:

- SEE SHEET L-2 & L-3 FOR HYDROZONE PLAN, IRRIGATION DESIGN PLAN & WATER USE CALCULATIONS
- A 3" LAYER OF MULCH SHALL BE APPLIED TO ALL EXPOSED PLANTING SURFACES WITH THE EXCEPTION OF TURF OR DECORATIVE ROCK AREAS.
- APPLY AGRIFORM FERTILIZER TABLETS TO ALL NEW TREES & 15 GALLON SIZE SHRUBS.
- USE APPROXIMATELY 4 CUBIC YARDS PER 1,000 FEET OF PERMEABLE PLANTING AREA A 50 / 50 COMPOST MIX INTO THE TOP 6" OF THE SOIL.



LANDSCAPE PLANTING PLAN



ARCHITECTURAL DESIGNER:
HOMERLAND & COMMERCIAL
HOMERLAND@GMAIL.COM
650.591.9128

PROJECT:
RESIDENTIAL LANDSCAPE
371 HEDGE ROAD,
MENLO PARK, CA 94025

CLIENT:
8077 RESIDENCE

SHEET TITLE:
LANDSCAPE PLANTING PLAN
371 HEDGE ROAD
MENLO PARK, CA 94025

ISSUE DATE	DESCRIPTION
1 01.14.2019	LANDSCAPE PLANTING
2 01.29.2019	REVISION PLAN
3 01.29.2019	REVISION COMMENTS

SHEET NO.
L-1

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Remodel proposal for:

Jennifer & Nick Bott
371 Hedge Road
Menlo Park, CA 94025
650-814-2552

PROJECT DESCRIPTION

Purpose of the proposal

Plans at 371 Hedge Road are being proposed for a 2nd story addition to make room for our growing family. Our family of 5 is cramped in our 1280 sq/ft space—making it difficult to host guests for lack of space. We love our neighborhood, and this remodel ensures our thriving here for decades to come.

Scope of work

We plan on keeping our existing foundation and punching out a small amount in the front, annexing a small alcove in the back, and adding three bedrooms and two baths on top. Our project will require reinforcement of our existing foundation to build a second story. The remainder of our current footprint will remain in tact.

Architectural style, materials, colors, and construction methods

The style of our remodel can be classified as “Modern Farmhouse”. We plan on painting our house white, with a black metal roof and black-rimmed windows. We plan on using board and batten siding that also aligns with the style.

Basis for site layout

Having lived in our current home for almost 5 years, we have done our best to maximize our existing floor plan while accommodating our needs for increased space for family and friends. We have carefully considered our use case and traffic flow, and what changes will work best for our family in its current state and in the years to come.

Existing and proposed uses

We have decided to keep our master bedroom downstairs to ensure our ability to live in the home for many years to come. We will convert one downstairs bedroom to an indoor laundry/utility room and the other to an office/guest room. We plan on opening up our kitchen, dining room, and living area to align with the “open floor plan” style and give us flexibility when

having others in our home. Our downstairs floor plan also includes a pantry, open computer desk area, and guest bathroom. The upstairs addition will house our three children, providing privacy for them to retreat and work on homework.

Kielty Arborist Services

Certified Arborist WE#0476A

P.O. Box 6187

San Mateo, CA 94403

650-515-9783

January 23, 2019

Mr. Luis Barbosa
823 Marsh Road
Menlo Park, CA 94025

Site: 371 Hedge, Menlo Park, CA

Dear Mr. Barbosa,

As requested on Wednesday, January 23, 2019, I visited the above site for the purpose of inspecting and commenting on the trees. A new home addition is being designed for this site and your concern as to the future health and safety of the trees has prompted this visit.

Method:

All inspections were made from the ground; the trees were not climbed for this inspection. The trees in question were located on a map provided by you. The trees was then measured for diameter at 48 inches above ground level (DBH or diameter at breast height). The trees were given a condition rating for form and vitality. The trees condition rating is based on 50 percent vitality and 50 percent form, using the following scale.

1	-	29	Very Poor
30	-	49	Poor
50	-	69	Fair
70	-	89	Good
90	-	100	Excellent

The height of the trees were measured using a Nikon Forestry 550 Hypsometer. The spread was paced off. Comments and recommendations for future maintenance are provided.

Survey:

Tree#	Species	DBH	CON	HT/SP	Comments
1	Sweet gum (<i>Liquidambar styraciflua</i>)	25.3	55	60/40	Good vigor, fair form, codominant at 10 feet.
2	Sweet gum (<i>Liquidambar styraciflua</i>)	33.7	55	60/40	Good vigor, fair form, codominant at 20 feet.
3*	Sweet gum (<i>Liquidambar styraciflua</i>)	26est	60	55/40	Good vigor, fair form, well maintained.
4	Maytens (<i>Maytenus boria</i>)	12.6	55	25/20	Poor-fair vigor, fair form, near property line.
5	Orange (<i>Citrus sinensis</i>)	7.4	60	20/20	Good vigor, fair form, leans south, 1 foot from existing home. Will require minor Trimming.

*indicates neighbor's tree.

Summary:

The trees on site are a mix of imported trees, there are no native trees on site. The three sweet gums are street trees in fair condition with good vigor. The sweet gums are well establish and if properly protected will not have significant impacts to their overall health. The driveway will remain during the construction protecting the trees root zones. A new water line will be installed within the root zone of tree #2. Hand digging or horizontal boring will lessen the impacts during the installation.

Trees #4 and #5 are not heritage however tree protection is recommended if the trees are to be retained. The following tree protection plan will help to reduce impacts to the retained trees.

Tree Protection Plan:**Tree Protection Zones**

Tree protection zones should be established and maintained throughout the entire length of the project. Fencing for the protection zones should be 6 foot metal chain link fencing supported by metal poles or stakes pounded into the ground. The support poles should be spaced no more than 10 feet apart on center. The location for the protection fencing should be as close to the dripline as possible still allowing room for construction to safely continue. Signs should be placed on fencing signifying "Tree Protection Zone - Keep Out". No materials or equipment should be stored or cleaned inside the tree protection zones.

The following distances from the trunk should be maintained for fencing:

- Sweet gum #1 will be wrapped with straw wattle and orange plastic fencing.
- Sweet gum #2 the minimum distance for fencing will be the sidewalk and drive and extend to 15 feet where possible.
- Sweet gum #3 is on the neighbor's property and will require no tree protection.
- Maytens #4 should have fencing at 10 feet from the trunk (if retained).
- The orange tree #5 will have the trunk wrapped with straw wattle and orange plastic fencing (if retained)

Root Cutting

Any roots to be cut should be monitored and documented. Large roots or large masses of roots to be cut should be inspected by the site arborist. The site arborist may recommend fertilizing or irrigation if root cutting is significant. Cut all roots clean with a saw or loppers. Roots to be left exposed for a period of time should be covered with layers of burlap and kept moist.

Trenching

Trenching for irrigation, electrical, drainage or any other reason should be hand dug when beneath the driplines of protected trees. Hand digging and carefully laying pipes below or beside protected roots will dramatically reduce root loss of desired trees thus reducing trauma to the entire tree. Trenches should be backfilled as soon as possible with native material and compacted to near its original level. Trenches that must be left exposed for a period of time should also be covered with layers of burlap or straw wattle and kept moist. Plywood over the top of the trench will also help protect exposed roots below.

Irrigation

Normal irrigation should be maintained throughout the entire length of the project. The imported trees on this site will require irrigation during the warm season months. Some irrigation may be required during the winter months depending on the seasonal rainfall. During the summer months the trees on this site should receive heavy flood type irrigation 2 times a month. During the fall and winter 1 time a month should suffice. Mulching the root zone of protected trees will help the soil retain moisture, thus reducing water consumption.

Inspection Schedule

The tree protection will be inspected prior to the start of demolition and the start of construction. Future inspections will be on an as needed basis.

The information included in this report is believed to be true and based on sound arboricultural principles and practices.

Sincerely,

Kevin R. Kielty
Certified Arborist WE#0476A



Remodel proposal for:

Jennifer & Nick Bott
371 Hedge Road
Menlo Park, CA 94025
650-814-2552

OUTREACH TO NEIGHBORING PROPERTIES.

We have reached out to 5 of our surrounding neighbors regarding our proposed plans. With each, we've shared our plans and addressed any questions or concerns they may have. So far, we have received the following responses.

From Kathy and Tony Nicosia, our neighbors to the east at 367 Hedge:

Hi Jenna-it was great talking with yo and Nick and seeing your plans. We are excited to see your plans come to pass and to view the finished product!

As we discussed-the name and contact info for our designer.

Susan Seaton, 510-468-2799, susanjseatondesigns@gmail.com

I pulled an old invoice from her-back 5 years ago she was charging \$60 per hour-not sure what she currently charges.

Thanks so much and good luck!

Please remember you can email or call us anytime!!!

Hugs!

Kathryn Nicosia, Realtor, SRES

From Mary and Phil McHale, our neighbors to the west at 375 Hedge:

Hi Jenna and Nick –

Great to hear from you, and apologies for the delay in replying, but we just had visitors (from Menlo Park!) for ten days, and are only just getting back to a more normal routine.

Thanks for sharing the news about your remodel – exciting times!

We have reviewed the plans, and these are the main areas we would like to discuss with you:

- Any impact on reduced light or loss of privacy in our front garden sitting area from the new second story?
- Same question for the patio area in our back garden.
- We couldn't see if there will be an air conditioning unit installed, but if there is, where will the fan/condenser be located?
- An indication of likely start and end dates for the project, and the allowed working hours each day.

If we think of anything else, we'll let you know.

The main tips we can provide to help you through the process are to maintain regular and open communication with your contractor, and to insist on a workable schedule of when you will need to make the multiple decisions that a remodel entails.

Our contractor was very good at this, and spaced out and prioritized the decisions/selections that we would need to make, with recommendations for preferred suppliers, and required deadlines. The list seems endless – paint colors, tiles and tiling patterns, bathroom and kitchen fittings, floor finishes, light fittings and switches, door and window frames and base board styles, etc., etc. and not having to make too many decisions in a short space of time was very helpful.

You should also ask for regular updates on the project to ensure that things are on track and that any potential problems are either pre-empted or dealt with correctly. There may well be some changes that fall outside the scope of the agreed project plan, and you will need to deal with the dreaded “change orders” which will cost extra \$\$ to keep the project on track, so you need to be prepared for that.

We hope this is helpful, and again, if we think of other tips, we'll let you know.

We are having a great time in Ireland, and can't believe that a year has almost already passed.

We will be back in June for a few weeks to see the family and attend a friends' daughter's wedding, so hope we can catch up face-to-face then.

Best wishes to you and the family.

Phil & Mary

> Response from us:

Phil and Mary,

Thank you so much for responding! So great to hear from you and to know that you both are doing well. I can't believe it has really almost been a year—how time flies! Do you have plans for moving back to the states?

These are great questions—and I'll provide some brief answers below, but please let me know if it would help at all to elaborate or hop on a call.

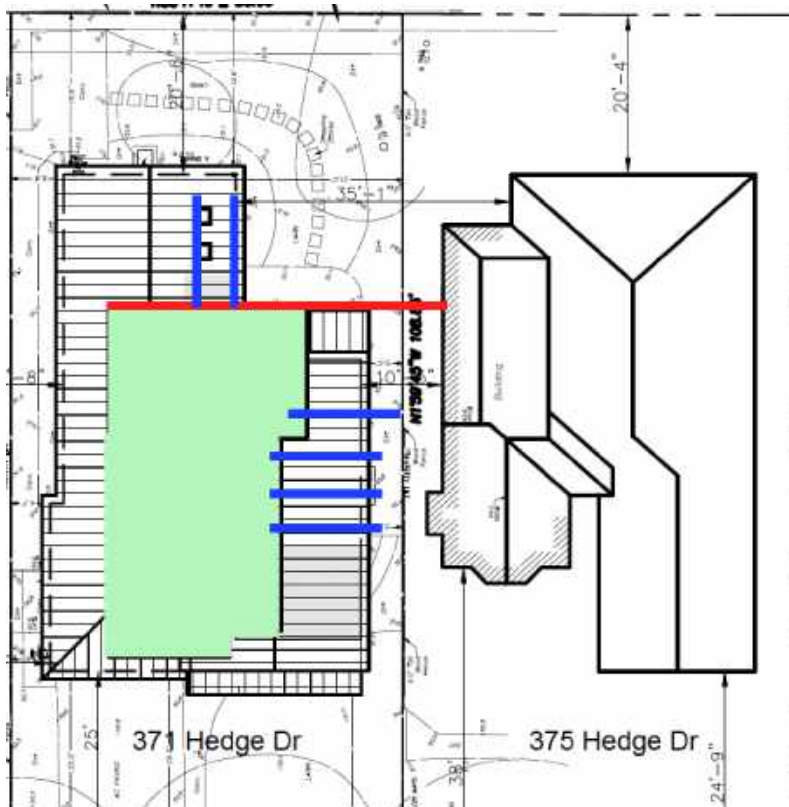
1. Any impact on reduced light or loss of privacy in our front garden sitting area from the new second story?

The new second story falls very far back from the allowed "daylight plane" limit (shown below as the dotted line) and hopefully would not pose an issue for your front garden sitting area, especially during daylight hours and into the afternoon and evening once the sun is higher and moving west. There are also no second story windows that will look out on your sitting area. Screenshot showing daylight plane below:



2. Same question for the patio area in our back garden.

The scope of our second story (green block) will end well before your back garden begins (at the red line) so we do not anticipate any interference with daylight or privacy. The 3 windows that face westward toward your home across the center of the house (bottom 3 horizontal blue lines) are high and small over a hallway (intended to only let in the sunlight and not be able to see into your property). The 4th window (top horizontal blue line) will be a single-wide bedroom window and will most likely have shades drawn for privacy and looks out onto the middle of the roof. The two back windows are centered with our home and will look out onto the park. We also plan on planting new privacy plantings along our shared fence line to honor both of our private spaces.



3. We couldn't see if there will be an air conditioning unit installed, but if there is, where will the fan/condenser be located?

This is a great question, and to be honest, one we haven't addressed at this point in time. I think the best place for it will be closer to our garage on the east side of the house.

4. An indication of likely start and end dates for the project, and the allowed working hours each day.

We are hoping to start this coming summer—but we will know more once we get our construction plans (after we make it through the planning department) and can solicit official bids. At this point

in time I'm unfamiliar with what the city-wide working hours are, but of course, we will demand our contractor abides by them. In terms of an end date—I imagine it will take a full year (at least) before we are back in the house.

Again, please let me know if there is anything else that I can elaborate on! I do hope we get to see you when you swing by in June.

Thanks again!

From Maureen & Mike Clark, our neighbors to the across the street at 356 Hedge:

Thank you, Jenna. We'll take a look.

Reaching out like this is exactly what we did with our remodel. Just the front elevation looks wonderful and it will give you so much more room...which you will fill up, and then some.

We would love to talk in person but this is tax season for Mike, so he won't raise his head until after 4/15. When are you planning to start?

--Maureen Clark

> Response from us:

Thanks, Maureen! Yes, we can't wait to have more space... and, sadly, I imagine it will fill out all too fast, especially as the kids age!

We are hoping to start sometime this summer. Exact timing depends on when our plans are approved by the city--we are almost through the planning department and then will move to the building/construction department. It is my understanding communication with our neighbors is part of the planning process—which we are hoping to complete soon. We are happy to wait to meet until Mike is available—and we would love to gain your wisdom.

Let me know when might work with your schedule!



STAFF REPORT

Planning Commission

Meeting Date: 4/8/2019

Staff Report Number: 19-027-PC

Public Hearing: Use Permit/Matthew Harrigan/1301 Elder Avenue

Recommendation

Staff recommends that the Planning Commission approve a use permit to demolish an existing one-story residence with an attached garage and construct a new two-story residence with an attached garage and a basement on a substandard lot with regard to lot width in the R-1-S (Single Family Suburban Residential) zoning district, at 1301 Elder Avenue. The project includes a request for excavation into the right side setback for a lightwell and staircase associated with the proposed basement. As part of the project, the applicant proposes to remove one heritage Shamel ash tree. The recommended actions are included as Attachment A.

Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal.

Background

Site location

The subject property is located at 1301 Elder Avenue. Using Elder Avenue in the north-south orientation, the subject property is located on the western side of Elder Avenue, between Pulitzer Drive and Elder Court, with the driveway facing Hesketh Drive. A location map is included as Attachment B. Elder Avenue is a residential street that extends across a portion of the neighborhood. Using Valparaiso in an east to west orientation, Elder Avenue terminates at Valparaiso Avenue in the north and Santa Cruz Avenue, adjacent to Hillview Middle School in the south. The Town of Atherton is located to the north across Valparaiso Avenue. This street serves as one of the two streets connecting much of the traffic to and from Hillview Middle School. The subject property is a panhandle lot. At the front of the panhandle portion of the lot is an ingress and egress easement that is designated for the neighboring property at 1305 Elder Avenue.

Houses along Elder Avenue include both one- and two-story residences. While most residences in the neighborhood are generally one story in height, some two-story residences exist as a result of new development and older residences containing second-story additions. The residences mainly reflect a ranch or traditional architectural style, although some contemporary-style and modern farmhouse residences also exist. The neighborhood features predominantly single-family residences in the R-1-S (Single Family Suburban Residential) zoning district along the eastern side of Elder Avenue and portions of Elder Avenue south of Elder Court, with some of the parcels near Pineview Lane zoned R-1-U (Single

Family Urban Residential).

Analysis

Project description

The applicant is proposing to demolish the existing one-story, single-family residence with an attached one-car garage and construct a new two-story, single-family residence with an attached two-car garage and basement. The project includes a request for excavation into the right side setback for a lightwell and staircase associated with the proposed basement. The subject property is substandard with respect to lot width. The proposed development would include four bedrooms and six bathrooms with a basement.

Of particular note with regard to Zoning Ordinance requirements:

- The second floor would be limited in size, with its floor area representing approximately 34.7 percent of the maximum FAL, where 50 percent may be permitted on this property.
- The proposed basement areas would be entirely located within the building footprint and therefore are not included in the subject property's floor area limit (FAL) calculation.
- A portion of the lightwell along the right side and rear of the proposed residence would require excavation up to four feet into the required 10-foot side yard setback along the right side of the subject property. The proposed excavation is relatively modest in scale, and would have limited visibility from other properties and the public right-of-way, based on the configuration of the panhandle lot. An existing pool house that is built up to the side property line (i.e., built within all 10 feet of the side yard setback) would be removed where the lightwell is proposed.
- The proposed residence would be 27 feet, nine inches in height, where 28 feet is the maximum permitted.
- As a panhandle lot, the proposed project is required to provide paved guest parking of not less than twenty feet by twenty feet in size. These spaces may be located in the front and side yard setbacks. The proposed two uncovered spaces would be located within the front yard setback, alongside the garage.

The proposed project conforms to the development standards of the R-1-S zoning district. A data table summarizing parcel and project attributes is included as Attachment C. The project plans and the applicant's project description letter are included as Attachments D and E, respectively.

Design and materials

The applicant states that the proposed new residence would be designed as a Provincial French style home, consisting of some cast stone elements, painted wrought iron architectural elements, and other exterior architectural elements typical of the architectural style. A mixture of gable and hip forms feature prominently in the overall appearance of the proposed residence, particularly in the front of the residence. Roofing for the proposed residence would consist of traditional slate. Stucco would be the primary exterior material, along with cast stone window and door moldings and cast stone quoins adorning several front- and rear-facing corners. A decorative curved design would be featured on several of the gables, which would additionally enhance architectural interest on site.

The second floor would be located in the center, which would be stepped back from the attached garage

to minimize the perception of massing. The second floor would be located approximately 50 feet from the front property line. All windows on the sides on the second floor would have a sill height of at least three feet. Some windows on the front and rear elevations would feature sill heights lower than three feet. However, a variety of heritage and non-heritage trees would provide additional privacy toward the front and rear of the property. Windows would be simulated true divided light, consisting of clear insulated glass with spacer bars on both sides.

Staff believes that the scale, materials, and design of the proposed residence would be consistent with the variety of architectural styles in the neighborhood, and that the proposed materials and overall design integrity would result in a consistent aesthetic approach.

Trees and landscaping

The applicant has submitted an arborist report (Attachment F) detailing the species, size, and conditions of the heritage and non-heritage trees on site. The report discusses the impacts of the proposed improvements and provides recommendations for tree maintenance and the protection of some trees, based on their health. As part of the project review process, the arborist report was reviewed by the City Arborist.

Based on the arborist report, there are 25 heritage trees located within the subject property, which include the following: 15 European olive (Trees 544, 547, 548, 550, 551, 552, 553, 554, 555, 556, 557, 559, 562, 563, and 566), six coast redwood (Trees 568, 569, 571, 573, 574, and 575), two Shamel ash (Trees 583 and 585), one English walnut tree (Tree 576), and one fern pine tree (Tree 564). There are also five heritage trees adjacent to but not located within the subject property, specifically along the left side of the panhandle, with Tree 535 (coast live oak) located in the public right-of-way near the front of the panhandle. These trees include the following: three black locust (Trees 541, 542, and 543), one buckeye (Tree 541), and one coast live oak tree (Tree 535).

There are 17 non-heritage trees located within the subject property which include six European olive (Trees 545, 546, 549, 558, 560, and 561), three purple plum (Trees 577, 578, and 579), two coast redwood (Trees 570 and 572), two privet (Trees 582 and 584), one fern pine (Tree 564), one Japanese maple (Tree 565), one pear (Tree 581), and one southern magnolia tree (Tree 567). There are also four heritage trees adjacent to but not located within the subject property, specifically along the left side of the panhandle, including the following: one jacaranda (Tree 536), one loquat (Tree 537), one valley oak (Tree 538), and one unknown tree (Tree 539).

To protect the heritage and non-heritage trees on site, the arborist report has identified such tree protection guidelines as a no-dig policy involving a geotextile fabric, tree protection fencing, and paving materials that do not rely on compacted subgrade for strength. The applicant has also moved a portion of the driveway further away from Trees 544 through 547.

The proposed project also includes a request to remove one of the onsite heritage trees, a Shamel ash (Tree 585), due to its location relative to the proposed footprint of the new development. The City Arborist has reviewed this proposed tree removal and tentatively approved the removal of Tree 585 based on the following findings in the City's Heritage Tree Ordinance:

- (1) The condition of the tree or trees with respect to disease, danger of falling, proximity to existing or proposed structures and interference with utility services.

All recommended tree protection measures identified in the arborist report shall be implemented and ensured as part of condition 3g.

Correspondence

Staff has not received any items of correspondence on the proposed project. The applicant indicates that the applicant team, along with the property owner, spoke with the neighbors located at 1275 Elder Avenue, 1305 Elder Avenue, and 1315 Elder Avenue. The neighbors located at 1275 Elder Avenue expressed some concerns regarding the windows on the second floor, specifically along the left side of the residence, and the applicant responded to those concerns by raising sill heights for the two smaller windows (with a five-foot sill height) and using obscured glass on the two other, longer windows (with the three-foot, two-inch sill height).

Conclusion

Staff believes the scale, materials, and style of the proposed residence are compatible with the neighborhood, and that the proposed overall design would result in a consistent aesthetic approach. The Provincial French architectural style of the proposed residence would be generally attractive and well-proportioned, and the centering and setting back of the second floor would help minimize massing and limit privacy impacts. Tree protection measures would minimize impacts on the 29 heritage trees near or within the subject property that are proposed to remain, as confirmed by the City Arborist. The applicant has conducted outreach and has indicated they received support from the adjacent neighbors. Staff recommends that the Planning Commission approve the proposed project.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Appeal Period

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

Attachments

- A. Recommended Actions
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter
- F. Arborist Report

Disclaimer

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings, and exhibits are available for public viewing at the Community Development Department.

Exhibits to Be Provided at Meeting

None

Report prepared by:
Matt Pruter, Associate Planner

Report reviewed by:
Kyle Perata, Acting Principal Planner

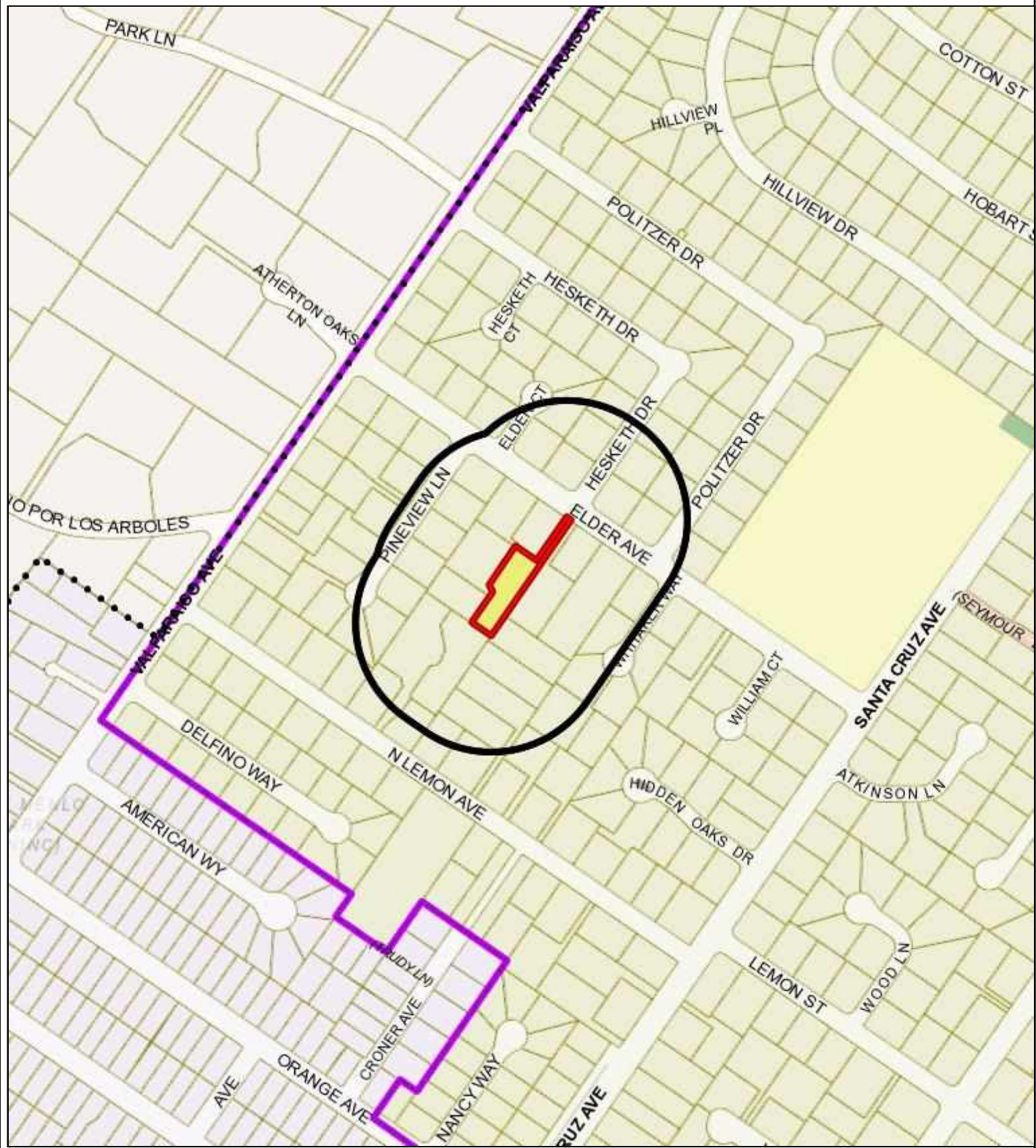
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1301 Elder Avenue – Attachment A: Recommended Actions

LOCATION: 1301 Elder Avenue	PROJECT NUMBER: PLN2018-00133	APPLICANT: Matthew Harrigan	OWNER: Shuyan Qi and Song Wang
PROPOSAL: Request for a use permit to demolish an existing one-story residence and construct a new two-story residence with a basement on a substandard lot with regard to minimum lot width in the R-1-S (Single Family Suburban Residential) zoning district. The project includes a request for excavation into the right side setback for a lightwell and staircase associated with the proposed basement. As part of the project, the applicant proposes to remove one heritage Shamel ash tree.			
DECISION ENTITY: Planning Commission	DATE: April 8, 2019	ACTION: TBD	
VOTE: TBD (Barnes, Doran, Goodhue, Kennedy, Riggs, Strehl; Onken absent)			
ACTION:			
<ol style="list-style-type: none"> 1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, “New Construction or Conversion of Small Structures”) of the current California Environmental Quality Act (CEQA) Guidelines. 2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City. 3. Approve the use permit subject to the following standard conditions: <ol style="list-style-type: none"> a. Development of the project shall be substantially in conformance with the plans prepared by Timeline Design and Build, consisting of 22 plan sheets, dated received March 29, 2019, and approved by the Planning Commission on April 8, 2019, except as modified by the conditions contained herein, subject to review and approval of the Planning Division. b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies’ regulations that are directly applicable to the project. c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project. d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes. e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division. f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits. 			

1301 Elder Avenue – Attachment A: Recommended Actions

LOCATION: 1301 Elder Avenue	PROJECT NUMBER: PLN2018-00133	APPLICANT: Matthew Harrigan	OWNER: Shuyan Qi and Song Wang
PROPOSAL: Request for a use permit to demolish an existing one-story residence and construct a new two-story residence with a basement on a substandard lot with regard to minimum lot width in the R-1-S (Single Family Suburban Residential) zoning district. The project includes a request for excavation into the right side setback for a lightwell and staircase associated with the proposed basement. As part of the project, the applicant proposes to remove one heritage Shamel ash tree.			
DECISION ENTITY: Planning Commission	DATE: April 8, 2019	ACTION: TBD	
VOTE: TBD (Barnes, Doran, Goodhue, Kennedy, Riggs, Strehl; Onken absent)			
ACTION:			
<ul style="list-style-type: none"> g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the arborist report prepared by Monarch Consulting Arborists, LLC, dated received February 20, 2019. 			



City of Menlo Park
 Location Map
 1301 Elder Avenue



Scale: 1:4,000

Drawn By: MAP

Checked By: KTP

Date: 4/8/2019

Sheet: 1

1301 Elder Avenue – Attachment C: Data Table

	PROPOSED PROJECT	EXISTING PROJECT	ZONING ORDINANCE
Lot area	17,889.0 sf (15,973.0)	17,889.0 sf (15,973.0)	10,000 sf min.
Lot width	62.0 ft.	62.0 ft.	80 ft. min.
Lot depth	227.9 ft.	227.9 ft.	100 ft. min.
Setbacks			
Front	27.1 ft.	24.8 ft.	20 ft. min.
Rear	110.8 ft.	95.5 ft.	20 ft. min.
Side (left)^	10.7 ft.	8.8 ft.	10 ft. min.
Side (right)^	6.0 ft.	9.9 ft.	10 ft. min.
Building coverage	3,418.2 sf 21.4 %	3,255.4 sf 20.3 %	5,590.6 sf max. 35 % max.
FAL (Floor Area Limit)	4,764.9 sf	3,255.4 sf	5,043 sf max.
Square footage by floor	2,515.3 sf/1st 1,271.6 sf/2nd 500.3 sf/garage 402.6 sf/porches 477.7 sf/areas 12' or more	2,623.0 sf/1st 406.8 sf/garage 225.6 sf/acc. buildings	
Square footage of buildings	5,167.5 sf	3,255.4 sf	
Building height	27.8 ft.	14.2 ft.	28 ft. max.
Parking	2 covered and 2 guest	2 covered	1 covered/1 uncovered, and 2 guest
Note: Areas shown highlighted indicate a nonconforming or substandard situation.			

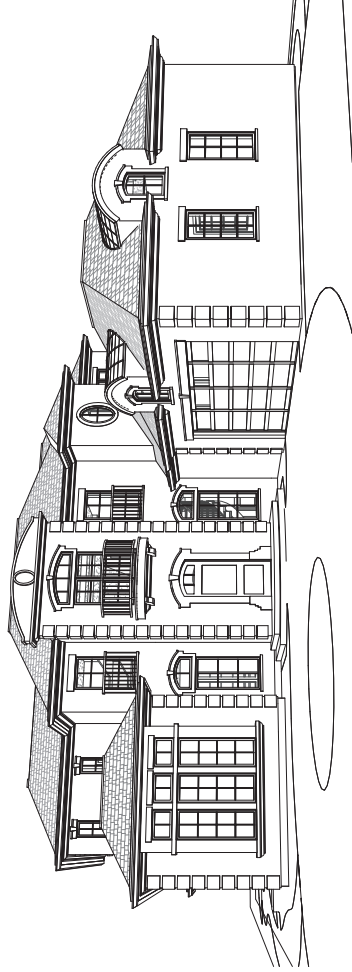
Trees	Heritage trees*	30	Non-Heritage trees**	21	New Trees	1
	Heritage trees proposed for removal	1	Non-Heritage trees proposed for removal	0	Total Number of Trees	51

* Of these 30 heritage trees, 25 are located within the subject property, four are fully located in the property neighboring the adjacent property on the right side, and one is located in the right-of-way to the front of the property.

**Of these two non-heritage trees, 17 are located within the subject property and four non-heritage trees are located in the property neighboring the adjacent property on the right side.

QI-WANG RESIDENCE

1301 ELDER AVENUE
MENLO PARK, CALIFORNIA



VICINITY MAP

PROJECT DATA

ZONING: R-1.5
 LOT AREA: 17,889 SF
 LOT SIZE (including setbacks): 15,975 SF
 MAXIMUM SETBACKS:
 FRONT: 7,000' x 25% = 1,750' = 5,043 SF
 REAR: 7,000' x 25% = 1,750' = 5,043 SF
 NO ATIC SPACE OVER 5'0"
 PROPOSED 1ST FLOOR AREA: 3,195.52 SF
 PROPOSED 2ND FLOOR AREA: 4,784.88 SF
 TOTAL PROPOSED FLOOR AREA: 7,980.40 SF
 MAX BUILDING COVERAGE: 6,081 SF (33% of Lot Size)
 LAND COVERED BY STRUCTURES: 3,418 SF = 19.1%
 LAND COVERED BY DRIVEWAYS: 2,662 SF = 14.9%
 PAVED SURFACES: 5,118 SF = 28.7%
 PARKING SPACES: 4 (2 COVERED, 2 UNCOVERED)
 ALL GRASSES TO REMAIN NATURAL

GENERAL PROJECT INFORMATION

Address: 1301 ELDER AVENUE, MENLO PARK, CALIFORNIA, 94025
 Zoning District: R-1.5
 Occupancy Type: R3 U
 Construction Type: V-B
 Fire Code Compliance:
 2018 CALIFORNIA CODES (CBC, CEC, CM, CPC)
 2018 CALIFORNIA FIRE CODE
 2018 CALIFORNIA FIRE CODE (CALIFORNIA)
 CITY OF LOS ANGELES ORDINANCES

PROJECT DESCRIPTION

- NEW HOUSE:
- REMOVE ALL EXISTING STRUCTURES.
 - BUILD A NEW TWO-STORY HOME WITH A BASEMENT WITH TOTAL OF FIVE BEDROOMS AND FIVE FULL BATHS AND TWO HALF BATHS.
 - 1ST FLOOR: GYM, HALL, ENTRY, LIVING ROOM, DINING ROOM, KITCHEN, BREAKFAST ROOM, PANTRY, ATTIC, FAMILY ROOM, DEN, STUDY, GUEST ROOM, GUEST BATH, POWDER ROOM, STUDIO, AND CLOSET.
 - 2ND FLOOR: GYM, HALL, ENTRY, LIVING ROOM, DINING ROOM, KITCHEN, BREAKFAST ROOM, PANTRY, ATTIC, FAMILY ROOM, DEN, STUDY, GUEST ROOM, GUEST BATH, POWDER ROOM, STUDIO, AND CLOSET.
 - BASEMENT FLOOR TO INCLUDE: THREE BEDROOMS, THREE BATHS, STORAGE AND A POWER ROOM.

SHEET INDEX

NO.	DESCRIPTION	DATE
A0.1	COVER SHEET	03/25/19
A1.1	AREA PLAN	03/25/19
A1.2	SITE PLAN	03/25/19
A1.3	AREA DIAGRAMS	03/25/19
A1.4	FOUNDATION PLAN	03/25/19
A1.5	AGEARIST REPORT	03/25/19
A2.0	PROPOSED BASEMENT PLAN	03/25/19
A2.1	PROPOSED FIRST FLOOR PLAN	03/25/19
A2.2	PROPOSED SECOND FLOOR PLAN	03/25/19
A2.3	PROPOSED ROOF PLAN	03/25/19
A3.0-A	EXISTING ELEVATIONS - PHOTOS	03/25/19
A3.0-B	EXISTING ELEVATIONS	03/25/19
A3.1	EXTERIOR ELEVATIONS	03/25/19
A3.2	INTERIOR ELEVATIONS	03/25/19
A4.1	SECTIONS	03/25/19
A4.2	SECTIONS	03/25/19
SUT	TOPOGRAPHIC SURVEY	03/25/19
L1	LANDSCAPE PLAN	03/25/19
RL1	BEFORE AND AFTER IMAGES	03/25/19
CL1.0	CIVIL TITLE SHEET	03/25/19
CD1.0	GRADING AND DRAINAGE PLAN	03/25/19
CD2.1	GRADING AND DRAINAGE PLAN	03/25/19

PROJECT TEAM

OWNER:
 SHUAN QI AND SONG WANG
 1301 ELDER AVENUE
 MENLO PARK, CA 94025
 TEL: (415) 984-0171
 shuanqi@gmail.com

DESIGNER:
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 14401 BIG BASIN WAY
 SUITE 100
 SAN TONITO, CA 94070
 TEL: (415) 317-1708
 FAX: (415) 317-1708
 www.timeline.com
 info@timeline.com

LANDSCAPE ARCHITECT:
 JEN & BRUCE ENGINEERING, INC.
 470 MAIN ST. #8
 SAN TONITO, CA 94070
 TEL: (415) 927-4884 x138
 TEL: (415) 927-4884
 ATTN: JUDIE GARDIA
 judie@jebeng.com

ARCHITECT CONSULTING LLC:
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 SAN TONITO, CA 94070
 TEL: (415) 317-1708
 TEL: (415) 317-1708
 info@architectconsulting.com
 info@architectconsulting.com

No.	Description	Date

NEW HOUSE FOR:
SHUAN QI AND SONG WANG
 1301 ELDER AVENUE, MENLO PARK,
 CALIFORNIA, 94025

A.P.N. 071-022-260

SCALE: 1/4" = 1'-0"

DRAWN BY: SC
 APPROVED BY: MH
 DATE: 03/25/19

PHONE: 408.741.3000 FAX: 408.317.1708
 14401 BIG BASIN WAY
 SUITE 100, SAN TONITO, CALIFORNIA 94070
DESIGN + BUILD



A0.1
 COVER SHEET

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No.	Description	Date

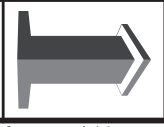
NEW HOUSE FOR:
SHUAN QI and SONG WANG
 1301 ELDER AVENUE, MENLO PARK,
 CALIFORNIA, 94025

A.P.N. 071-022-260

SCALE: As indicated
 DRAWN BY: SC
 APPROVED BY: MH
 DATE: 03/25/19

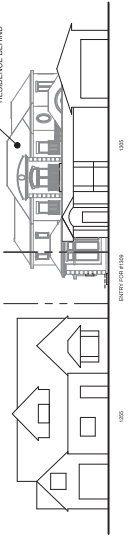
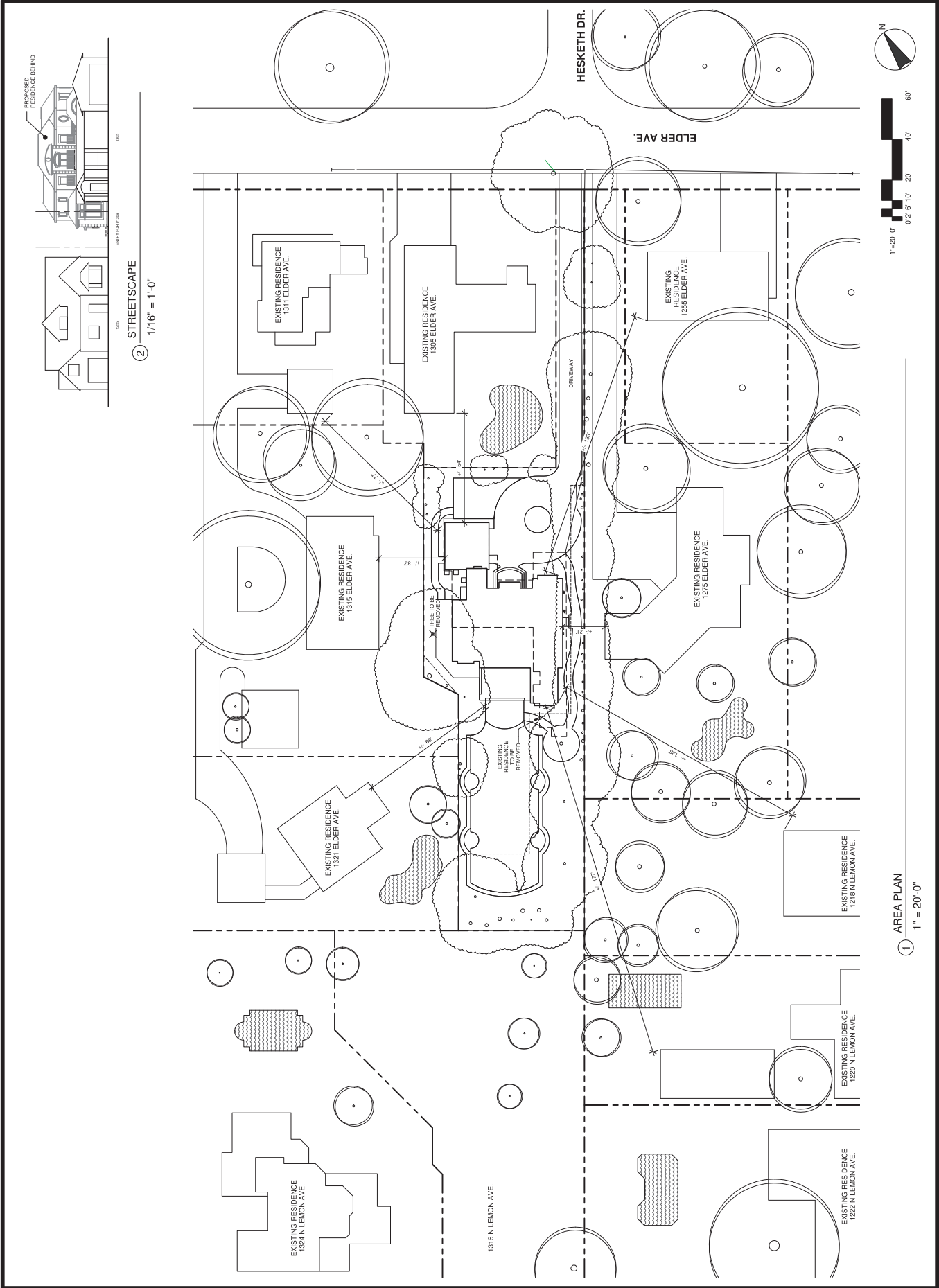
TIMELINE
 DESIGN + BUILD

14401 BIG BASIN WAY
 SERRA CLOCA, CALIFORNIA 95070
 PHONE: 408.741.3000 FAX: 408.317.1788



A1.1
 AREA PLAN

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① AREA PLAN
 1" = 20'-0"

No.	Description	Date

NEW HOUSE FOR:
SHUAN QI and SONG WANG
 1301 ELDER AVENUE, MENLO PARK,
 CALIFORNIA, 94025
 A.P.N. 071-032-260

SCALE: As indicated
 DRAWN BY: SC
 APPROVED BY: MH
 DATE: 04/02/19

TIMELINE
 DESIGN + BUILD
 14401 BIG BASIN WAY
 SERRA COLUMBIA 95070
 PHONE: 408.741.3000 FAX: 408.317.1788

A1.3
 AREA DIAGRAMS

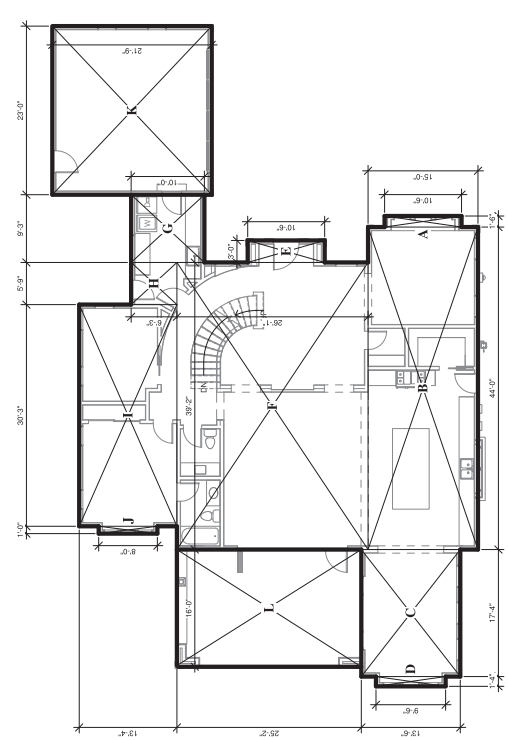
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- A 1'-6" x 10'-6" = 15.75 SF
 - B 44'-0" x 15'-0" = 660.00 SF
 - C 17'-4" x 13'-6" = 234.00 SF
 - D 1'-4" x 9'-6" = 12.67 SF
 - E 3'-0" x 10'-6" = 31.50 SF
 - F 39'-2" x 26'-1" = 1,021.60 SF
 - G 9'-3" x 10'-0" = 93.50 SF
 - H 5'-9" x 6'-3" = 36.94 SF
 - I 30'-3" x 13'-4" = 403.33 SF
 - J 1'-0" x 8'-0" = 8.00 SF
- TOTAL HABITABLE SPACE 1st FLOOR: 2,515.29 SF

- K 23'-0" x 21'-9" = 500.25 SF
 - L 16'-0" x 25'-8" = 408.67 SF
 - M 19'-5 1/2" x 12'-1 1/2" = 183.18 SF
 - N 17'-2 1/2" x 13'-6" = 232.31 SF
 - O 2'-0" x 9'-6" = 19.00 SF
 - P 19'-9" x 7'-10 1/2" = 124.03 SF
 - Q 6'-2 1/2" x 7'-5" = 46.05 SF
 - R 7'-2 1/2" x 6'-8 1/2" = 48.36 SF
 - S 5'-2 1/2" x 6'-6" = 33.65 SF
 - T 4'-9" x 4'-0" = 19.00 SF
 - U 9'-8" x 6'-4" = 61.22 SF
 - V 28'-9" x 15'-9" = 438.44 SF
 - W 12'-6 1/2" x 4'-5 1/2" = 55.91 SF
 - X 4'-9" x 6'-4 1/2" = 30.28 SF
- TOTAL FLOOR AREA 2nd FLOOR: 1,271.63 SF

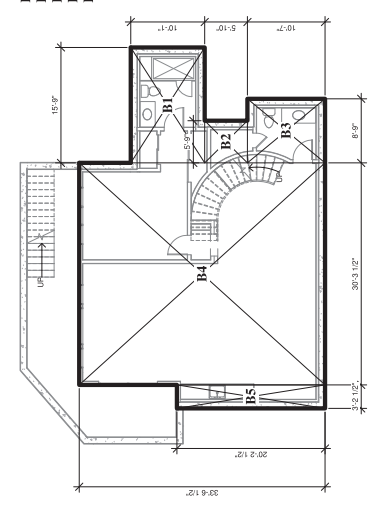
- Y1 13'-6 1/2" x 7'-9" = 104.85 SF
 - Y2 16'-1 1/2" x 6'-0" = 96.00 SF
 - Y3 3'-9" x 6'-8" = 26.06 SF
 - Y4 2'-3 1/2" x 6'-3" = 13.80 SF
 - Y5 12'-5 1/2" x 6'-0 1/2" = 74.75 SF
 - Y6 11'-5 1/2" x 6-8 1/2" = 76.87 SF
 - Y7 12'-5 1/2" x 6-0 1/2" = 74.75 SF
 - Y8 3'-0" x 1'-6" = 4.50 SF
 - Y9 3'-0" x 1'-0" = 3.00 SF
 - Y10 3'-0" x 1'-0" = 3.00 SF
 - Z1 (7 x 8 - T x 5) / 4 = -43.98 SF
 - Z2 4'-0" x 0'-11" = -3.67 SF
- TOTAL AREA OF SPACE HIGHER THAN 12'-0": 477.69 SF

TOTAL PROPOSED 2nd FLOOR TOTAL 1,749.32 SF



1 AREA DIAGRAM - FIRST FLOOR
 1/8" = 1'-0"

- B1 15'-9" x 10'-1" = 158.81 SF
 - B2 5'-9" x 5'-10" = 33.54 SF
 - B3 8'-9" x 10'-7" = 92.60 SF
 - B4 30'-3 1/2" x 33'-6 1/2" = 1,016.03 SF
 - B5 3'-2 1/2" x 20'-2 1/2" = 64.84 SF
- TOTAL BASEMENT AREA: 1,365.82 SF



3 Area Diagram - Basement
 1/8" = 1'-0"

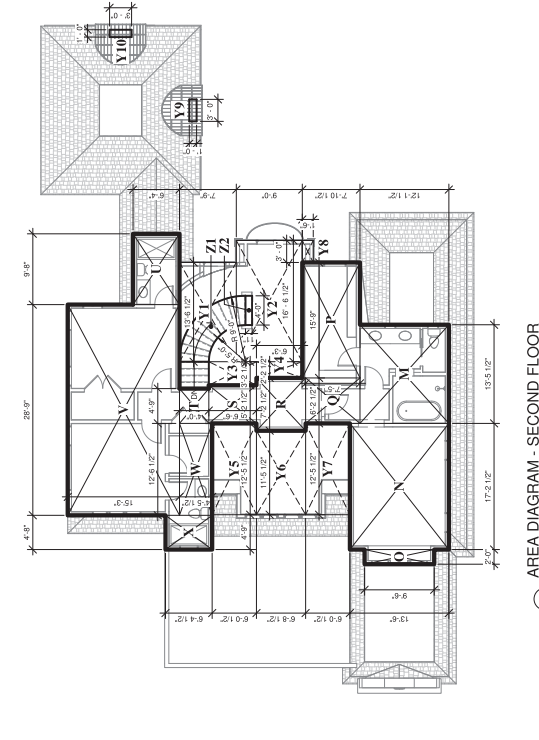
FAL CALCULATIONS

FAI LOT SIZE: 15,846 SF
 LOT SIZE (excluding setbacks): 15,872 SF
 LENGTH (excluding setbacks): 227.98'
 WIDTH @ FRONT SETBACK: 78.15'
 WIDTH @ REAR SETBACK: 53.54'
 MAX. BUILDING COVERAGE: 6,281 SF (25% of Lot Size)
 FLOOR AREA LIMIT: 5,043 SF (20.0% SF - 25% of lot area in excess of 7,000 SF)
 2nd FLOOR AREA LIMIT: 1,751 SF (Lot Width at Front x FAL (Lot Length))

PROPOSED AREAS

- A 1st FLOOR HABITABLE AREA 2,515.29 SF
- B GARAGE 500.25 SF
- C COVERED PATIO 408.67 SF
- D DOUBLE DECKER AREA 1,271.63 SF
- E DOUBLE DECKER SPACE (15' x 20') 1,366.62 SF
- F BASEMENT

PROPOSED COVERAGE (A+B+C) 3,418.21 SF
 TOTAL PROPOSED FLOOR AREA (A+B+D+E) 4,794.86 SF
 PROPOSED 2nd FLOOR AREA (D+E) 1,749.32 SF



2 AREA DIAGRAM - SECOND FLOOR
 1/8" = 1'-0"

No.	Description	Date

NEW HOUSE FOR :
SHUAN QI and SONG WANG
 1301 ELDER AVENUE, MENLO PARK,
 CALIFORNIA, 94025

A.P.N. 071-022-260

SCALE: 1/4" = 1'-0"

DRAWN BY: SC

APPROVED BY: MH

DATE: 03/25/19

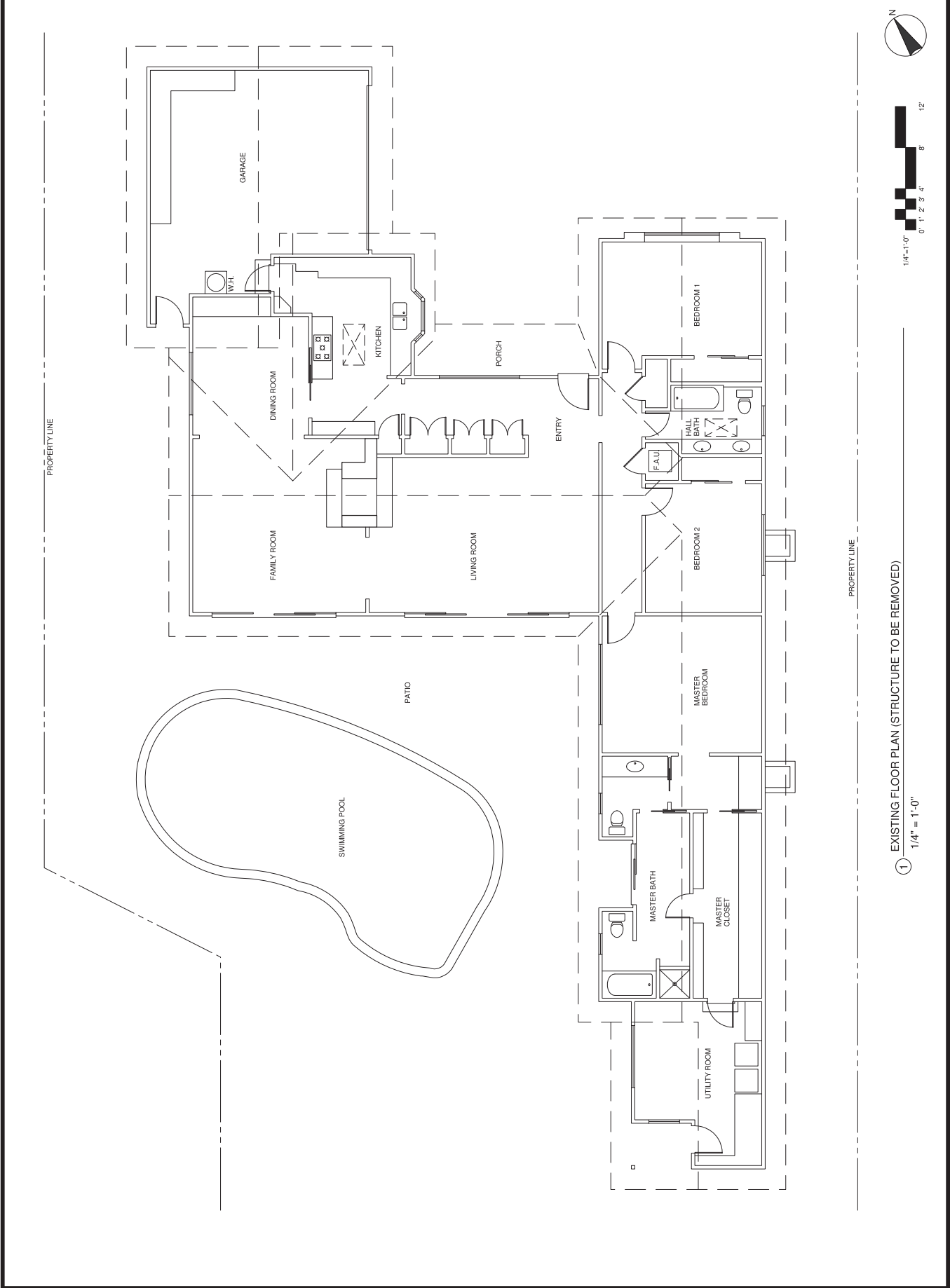
TIMELINE
 DESIGN + BUILD

14401 BIG BASIN WAY
 SANATA OCA, CALIFORNIA 95070
 PHONE: 408.741.3000 FAX: 408.317.1708



A1.4
 EXISTING
 FLOOR PLAN

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① EXISTING FLOOR PLAN (STRUCTURE TO BE REMOVED)
 1/4" = 1'-0"

No.	Description	Date

NEW HOUSE FOR :
SHYUAN QI and SONG WANG
 1301 ELDER AVENUE, MENLO PARK,
 CALIFORNIA, 94025

A.P.N. 071-022-260

SCALE: 1/4" = 1'-0"

DRAWN BY: SC
 APPROVED BY: MH
 DATE: 03/25/19

TIMELINE
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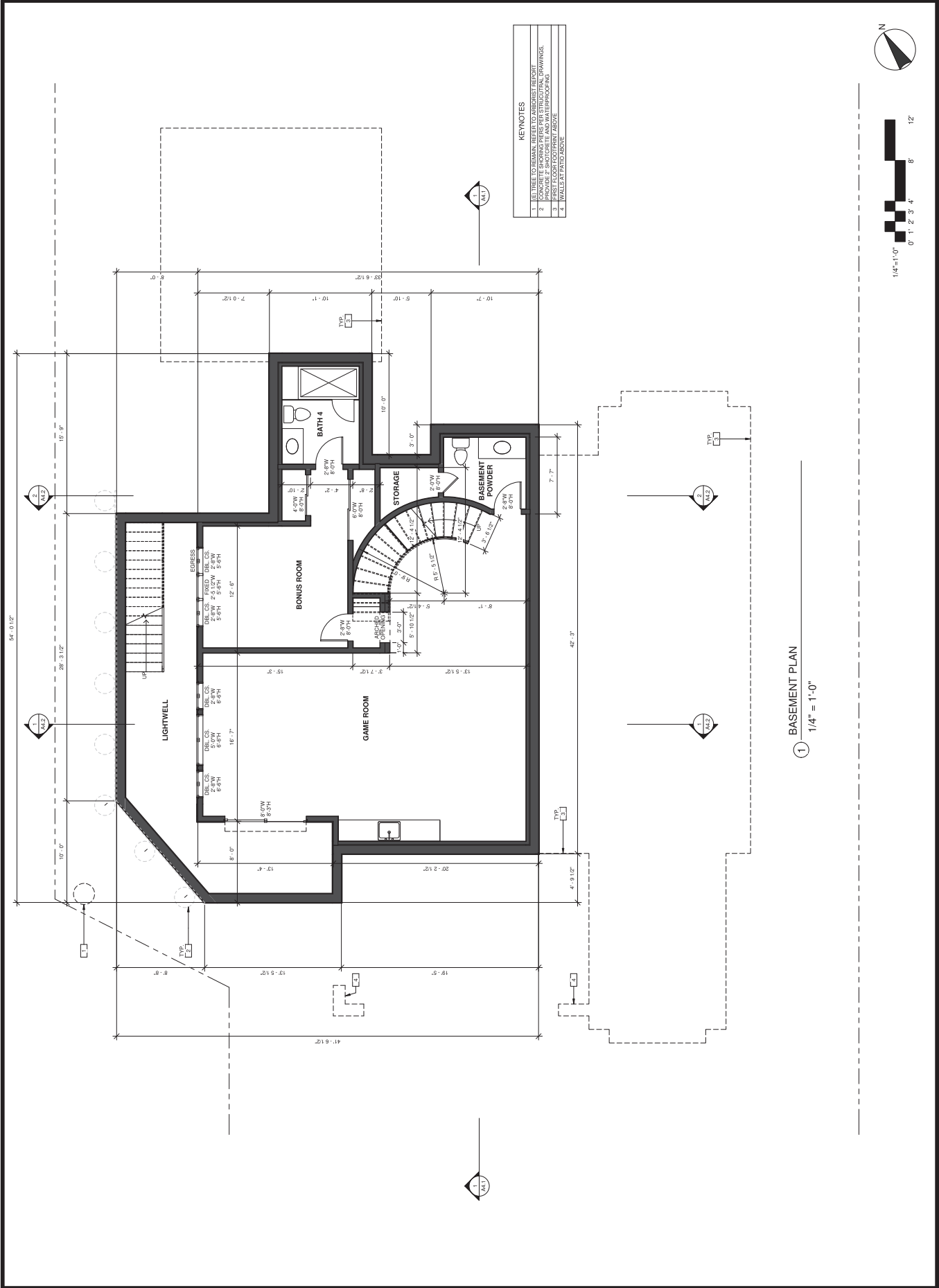
14401 BIG BASIN WAY
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A2.0

PROPOSED
 BASEMENT
 PLAN

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No.	Description	Date

NEW HOUSE FOR:
SHUAN QI and SONG WANG
 1301 ELDER AVENUE, MENLO PARK,
 CALIFORNIA, 94025

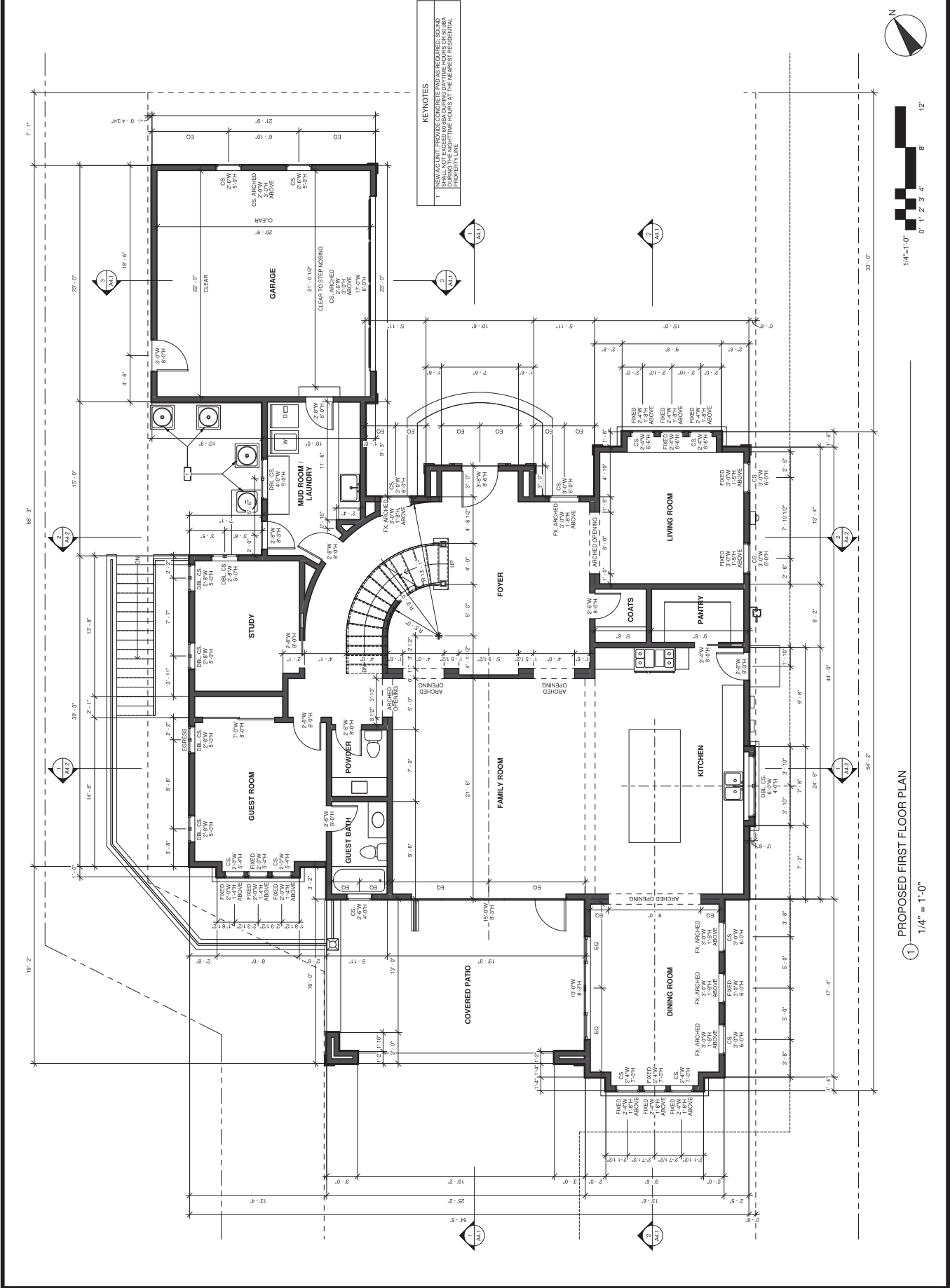
A.P.N. 071-022-260

SCALE: 1/4" = 1'-0"
 DRAWN BY: SC
 APPROVED BY: MH
 DATE: 03/25/19

TIMELINE
 DESIGN + BUILD

14401 BIG BASS WAY
 SERRAFOLO, CALIFORNIA 95070
 PHONE: 408.741.3000 FAX: 408.317.1708

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PROPOSED FIRST FLOOR PLAN
 1/4" = 1'-0"

No.	Description	Date

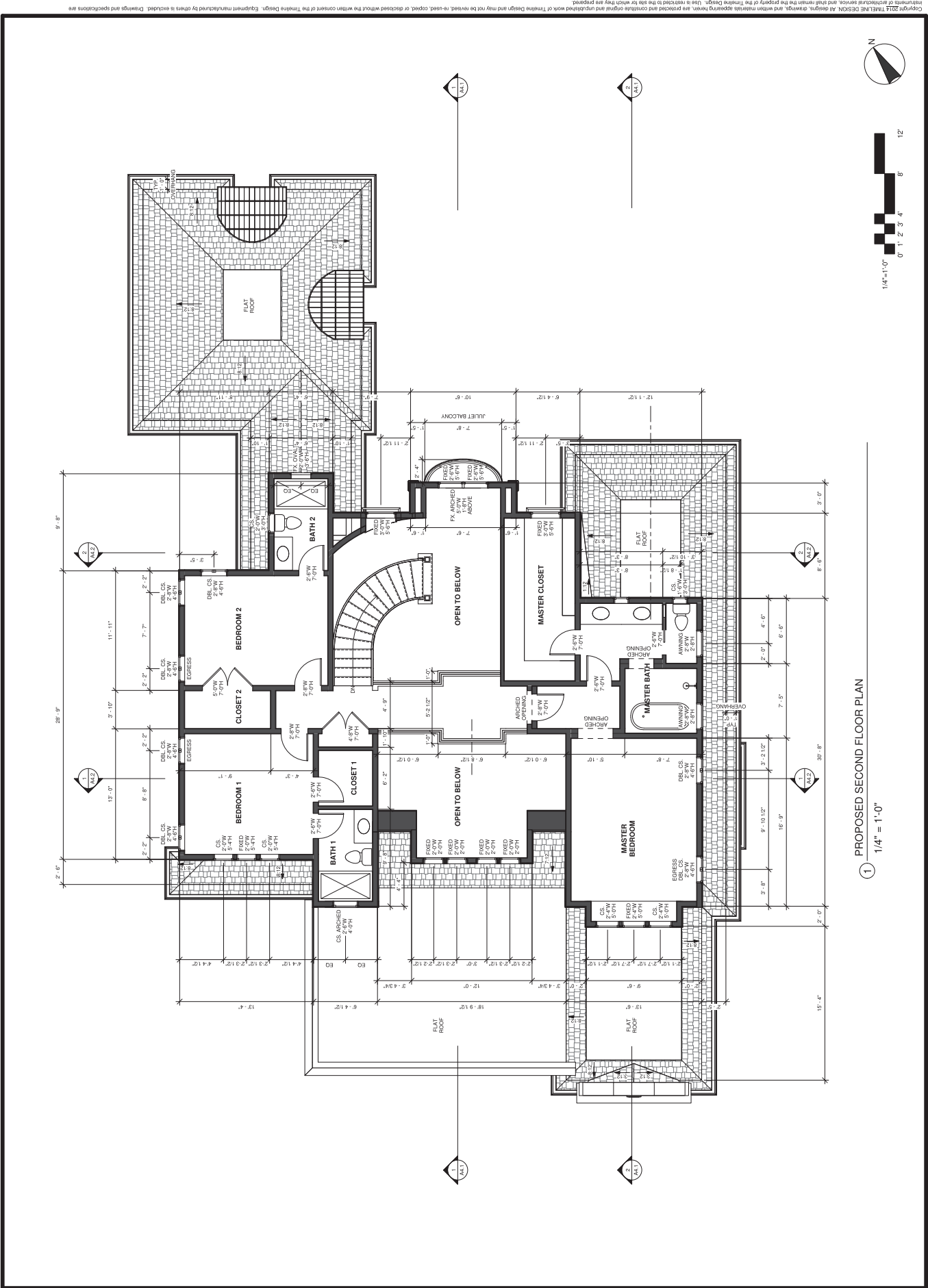
NEW HOUSE FOR :
SHYUAN QI and SONG WANG
 1301 ELDER AVENUE, MENLO PARK,
 CALIFORNIA, 94025

A.P.N. 071-022-260
 SCALE: 1/4" = 1'-0"
 DRAWN BY: SC
 APPROVED BY: MH
 DATE: 03/25/19

TIMELINE
 DESIGN + BUILD
 PHONE: 408.741.3000 FAX: 408.317.1788
 SAN JOSE, CALIFORNIA 95070



A2.2
 PROPOSED
 SECOND
 FLOOR PLAN



① PROPOSED SECOND FLOOR PLAN
 1/4" = 1'-0"

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No.	Description	Date

NEW HOUSE FOR :
SHUAN QI and SONG WANG
 1301 ELDER AVENUE, MENLO PARK,
 CALIFORNIA, 94025

A.P.N. 071-022-260

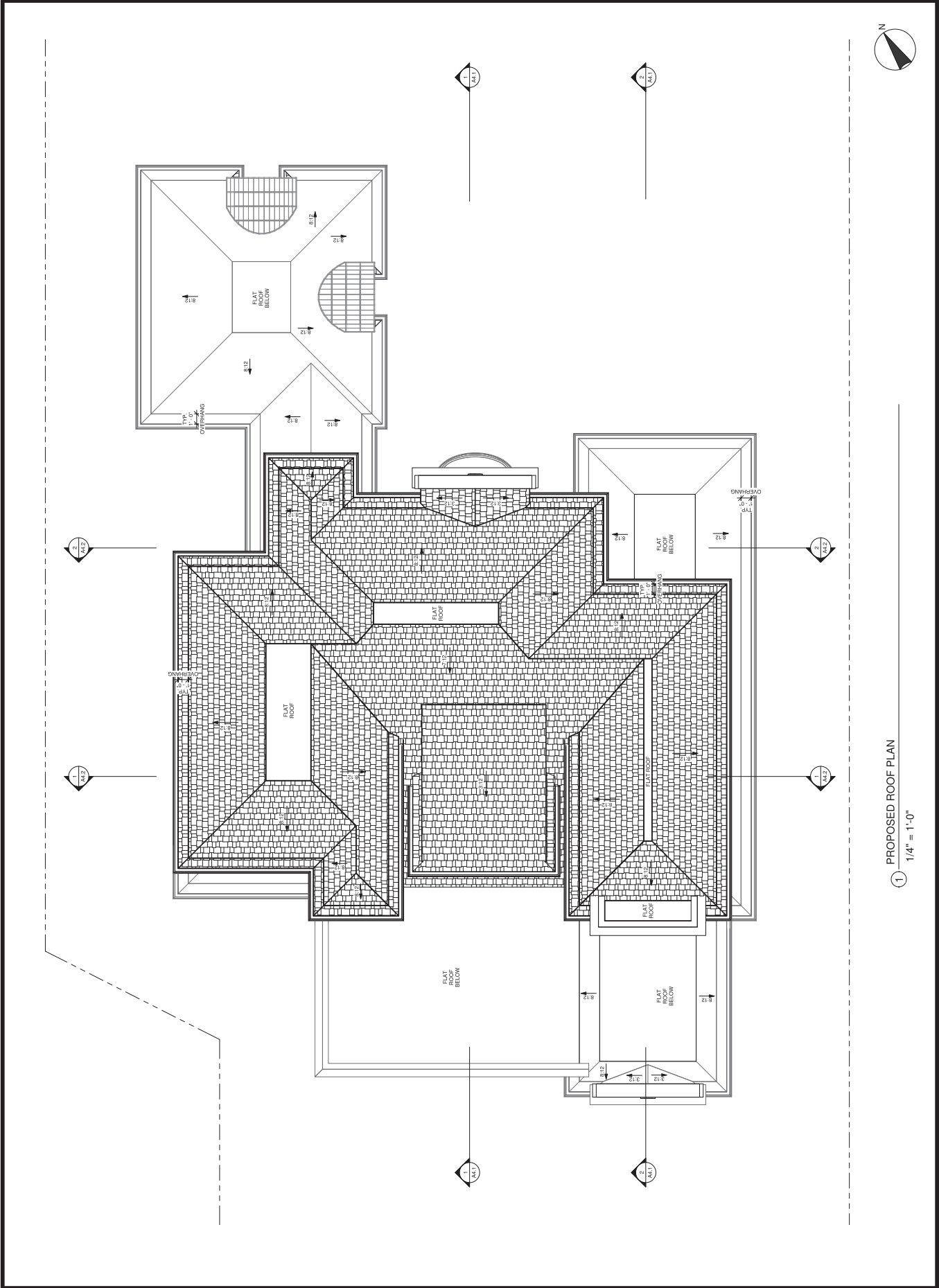
SCALE: 1/4" = 1'-0"
 DRAWN BY: SC
 APPROVED BY: MH
 DATE: 03/25/19

TIME LINE
 DESIGN + BUILD
 14401 BIG BASSIN WAY
 SARATOGA, CALIFORNIA 95070
 PHONE: 408.741.3000 FAX: 408.317.1708




A2.3
 PROPOSED
 ROOF PLAN

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① PROPOSED ROOF PLAN
 1/4" = 1'-0"

	A3.0-A EXISTING ELEVATIONS - PHOTOS	TIMELINE DESIGN + BUILD 14401 BIG BASIN WAY SANATONIA, CALIFORNIA 95070 PHONE: 408.741.3000 FAX: 408.317.1708	SCALE: DRAWN BY: SC APPROVED BY: MH DATE: 02/20/19	NEW HOUSE FOR : SHUYAN QI and SONG WANG 1301 ELDER AVENUE, MENLO PARK, CALIFORNIA, 94025 A.P.N. 071-022-260	Revisions <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>No.</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>	No.	Description	Date																														
No.	Description	Date																																				

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REAR (SOUTH / WEST)



SIDE (SOUTH / EAST)



FRONT (NORTH / EAST)



SIDE (NORTH / WEST)



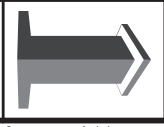
No.	Description	Date

NEW HOUSE FOR :
SHUAN QI and SONG WANG
 1301 ELDER AVENUE, MENLO PARK,
 CALIFORNIA, 94025

A.P.N. 071-022-260

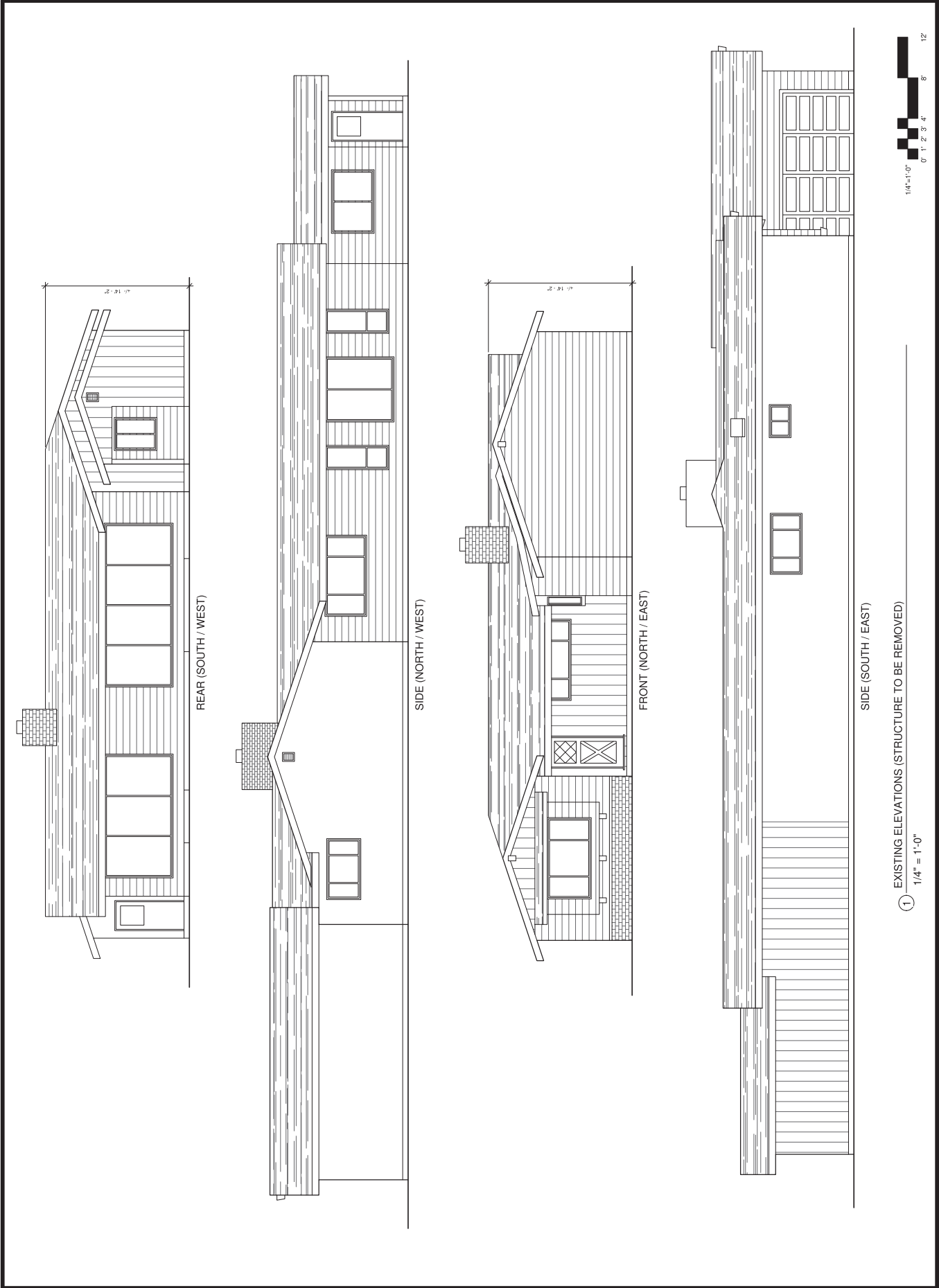
SCALE: 1/4" = 1'-0"
 DRAWN BY: SC
 APPROVED BY: MH
 DATE: 03/25/19

TIMELINE
 DESIGN + BUILD
 14401 BIG BASIN WAY
 SARATOGA, CALIFORNIA 95070
 PHONE: 408.741.3000 FAX: 408.317.1788



A3.0-B
 EXISTING
 ELEVATIONS

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① EXISTING ELEVATIONS (STRUCTURE TO BE REMOVED)
 1/4" = 1'-0"

No.	Description	Date

NEW HOUSE FOR :
SHUAN QI and SONG WANG
 1301 ELDER AVENUE, MENLO PARK,
 CALIFORNIA, 94025

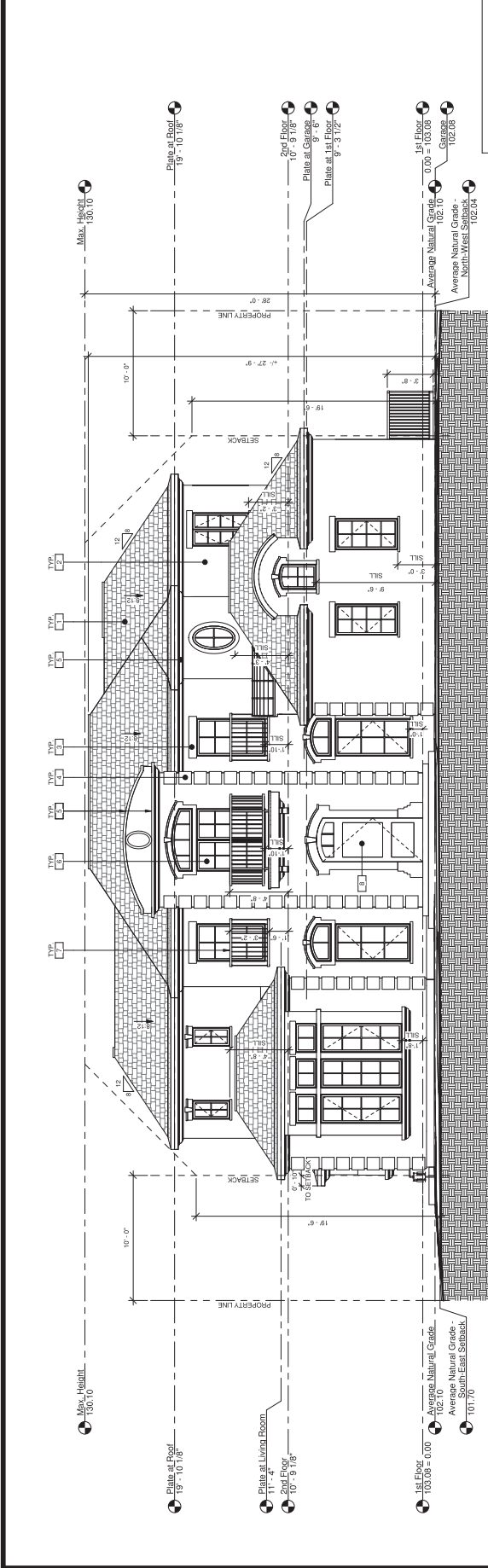
A.P.N. 071-022-260
 DATE: 03/25/19
 APPROVED BY: MH
 DRAWN BY: SC
 SCALE: 1/4" = 1'-0"

TIME LINE
 DESIGN + BUILD
 14401 BIG BASSIN WAY
 SAN RAFAEL, CALIFORNIA 95070
 PHONE: 408.741.3000 FAX: 408.317.1788



A3.1
 EXTERIOR
 ELEVATIONS

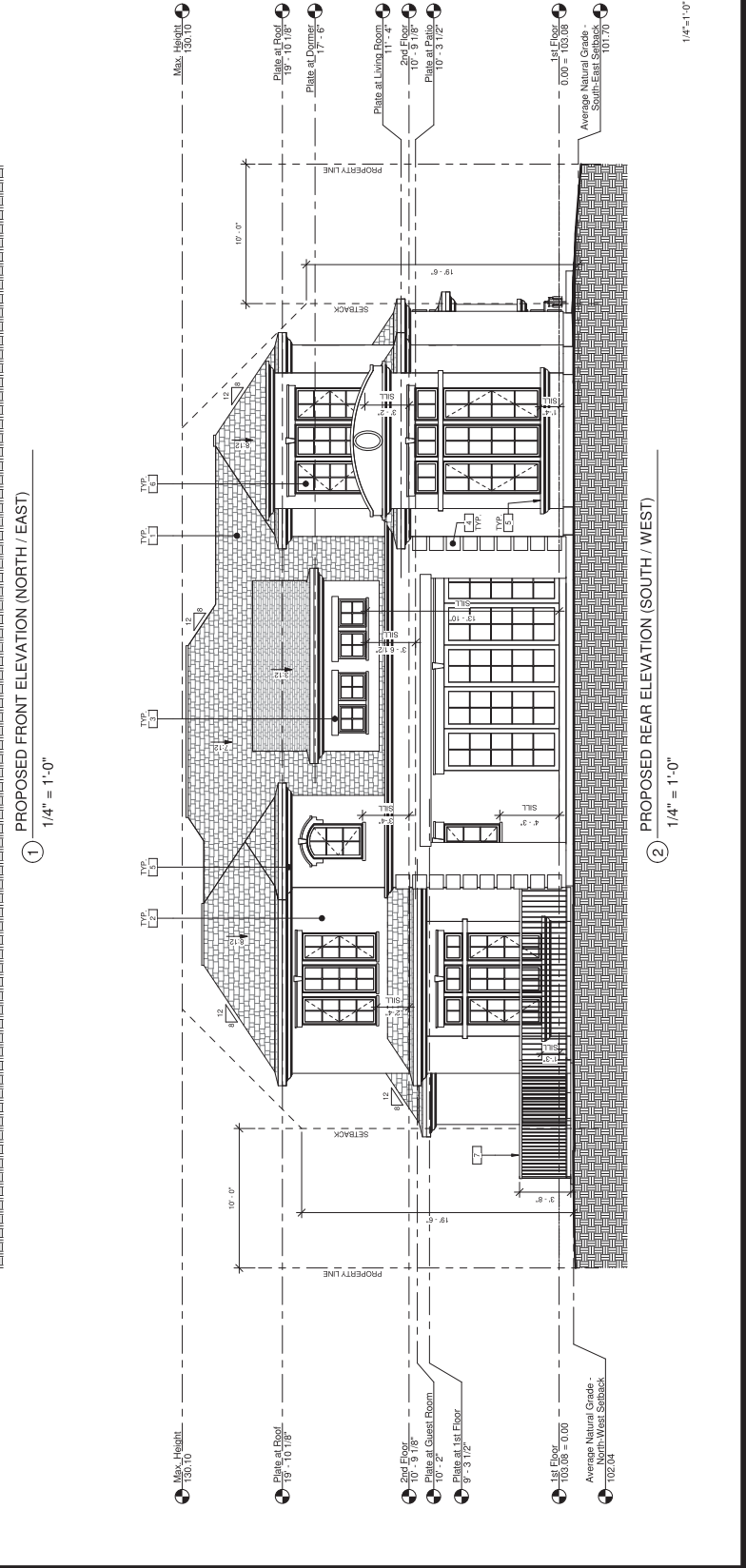
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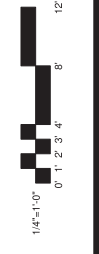
1 PROPOSED FRONT ELEVATION (NORTH / EAST)
 1/4" = 1'-0"

KEYNOTES

- 1 SLATE ROOFING, COLOR BLEND OF GRAYS, GREENS AND PURPLES. REFER TO MATERIAL BOARD.
- 2 STUCCO WALL FINISH WITH TAN COLOR. REFER TO MATERIAL BOARD.
- 3 CAST STONE WINDOW DOOR, INCLUDING INTERIOR WHITE POLISHES WITH TAN COLOR.
- 4 CAST STONE QUILTS, NATURAL WHITE POLISHES WITH TAN COLOR.
- 5 CAST STONE MOLDINGS, CORNERED WITH TAN POLISHED COLOR.
- 6 ALUMINUM CLAD, THREE BEVELED, LIGHT ANODIZED, WITH TAN COLOR, REFER TO MATERIAL BOARD.
- 7 METAL ENTRY DOOR, WANTED DARK, REFER TO MATERIAL BOARD.
- 8 REFER TO MATERIAL BOARD.



2 PROPOSED REAR ELEVATION (SOUTH / WEST)
 1/4" = 1'-0"



No.	Description	Date

NEW HOUSE FOR :
SHUAN QI AND SONG WANG
 1301 ELDER AVENUE, MENLO PARK,
 CALIFORNIA, 94025

A.P.N. 071-022-260

SCALE: 1/4" = 1'-0"

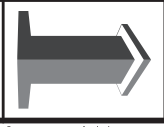
DRAWN BY: SC

APPROVED BY: MH

DATE: 03/25/19

TIMELINE
 DESIGN + BUILD

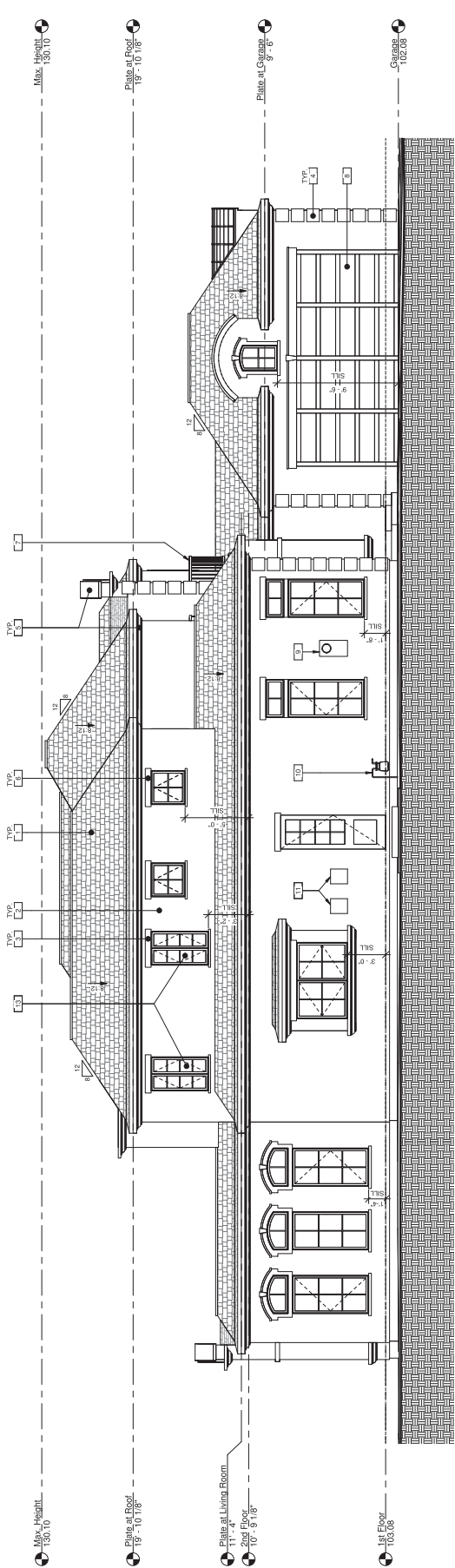
14401 BIG BASIN WAY
 SERRAVALLO, CA 94070
 PHONE: 408.741.3000 FAX: 408.317.1788



A3.2

EXTERIOR
 ELEVATIONS

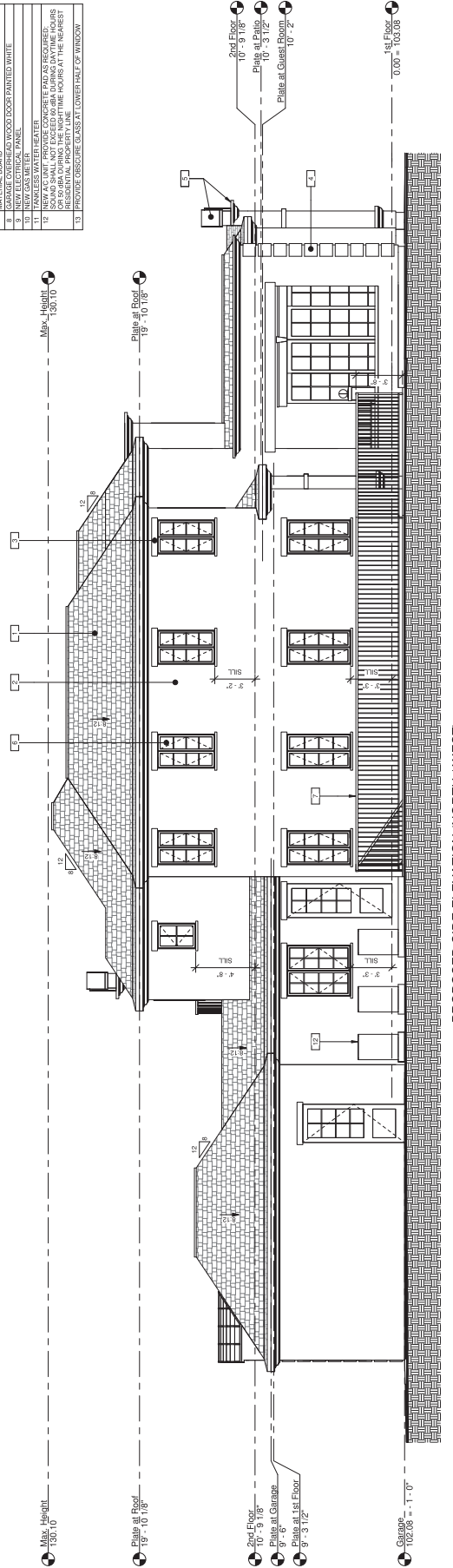
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① PROPOSED SIDE ELEVATION (SOUTH / EAST)
 1/4" = 1'-0"

KEYNOTES

1. SLATE ROOFING, COLOR BLEND OF GREYS, GREENS AND PURPLES. REFER TO MATERIAL BOARD.
2. EXTERIOR WALLS AND TRIM. COLOR PAINT REFER TO MATERIAL BOARD.
3. EXTERIOR WALLS AND TRIM. COLOR PAINT REFER TO MATERIAL BOARD.
4. GAST STONE COLORED. NATURAL WHITE COLOR. REFER TO MATERIAL BOARD.
5. CAST STONE MOLDINGS (CORNICES) WALL CAPS. PAINTED NATURAL WHITE COLOR. REFER TO MATERIAL BOARD.
6. ALUMINUM CLAD, TRIM FINISHED LIGHT WINDOWS, DARK GREY COLOR. REFER TO MATERIAL BOARD.
7. ALUMINUM CLAD, TRIM FINISHED DARK GREY. REFER TO MATERIAL BOARD.
8. NEW CROWN MOULDING PAINTED WHITE.
9. NEW CROWN MOULDING PAINTED WHITE.
10. NEW CROWN MOULDING PAINTED WHITE.
11. NEW CROWN MOULDING PAINTED WHITE.
12. NEW CROWN MOULDING PAINTED WHITE.
13. PROVIDE CURTAIN GLASS AT LOWER PART OF WINDOW.



② PROPOSED SIDE ELEVATION (NORTH / WEST)
 1/4" = 1'-0"



No.	Description	Date

NEW HOUSE FOR :
SHUYAN QI and SONG WANG
 1301 ELDER AVENUE, MENLO PARK,
 1301 CALIFORNIA, 94025

A.P.N. 071-022-260

SCALE: 1/4" = 1'-0"

DRAWN BY: SC
 APPROVED BY: MH
 DATE: 03/25/19

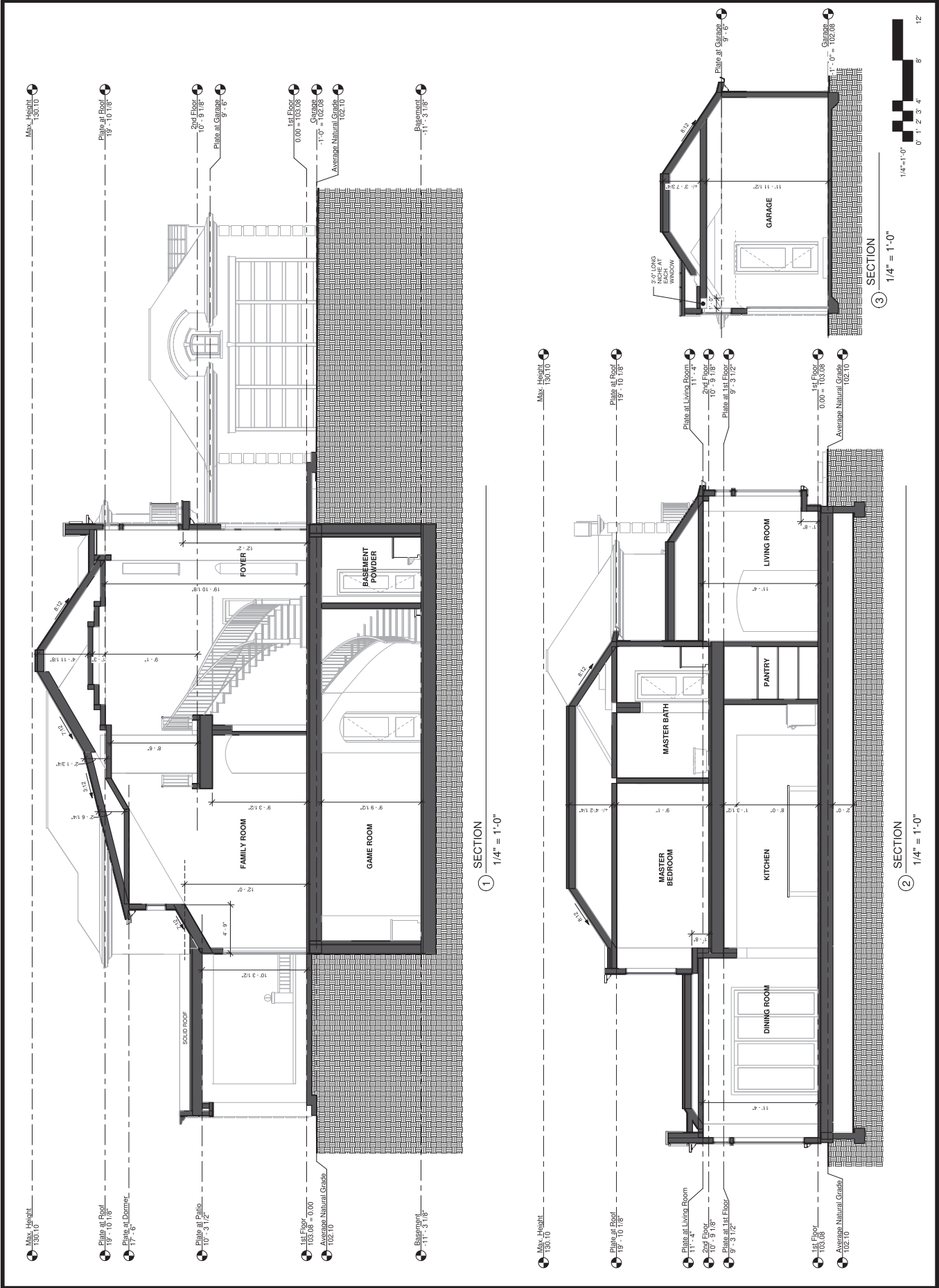
TIMELINE
 DESIGN + BUILD

14401 BIG BASIN WAY
 SERRA LOMA, CA, P.O. BOX 95070
 PHONE: 408.741.3000 FAX: 408.317.1788



A4.1

SECTIONS



No.	Description	Date

NEW HOUSE FOR :
SHYUAN QI and SONG WANG
 1301 ELDER AVENUE, MENLO PARK,
 CALIFORNIA, 94025

A.P.N. 071-022-260

SCALE: 1/4" = 1'-0"
 DRAWN BY: Author
 APPROVED BY/Approver:
 DATE: 03/25/19



A4.2
 SECTIONS

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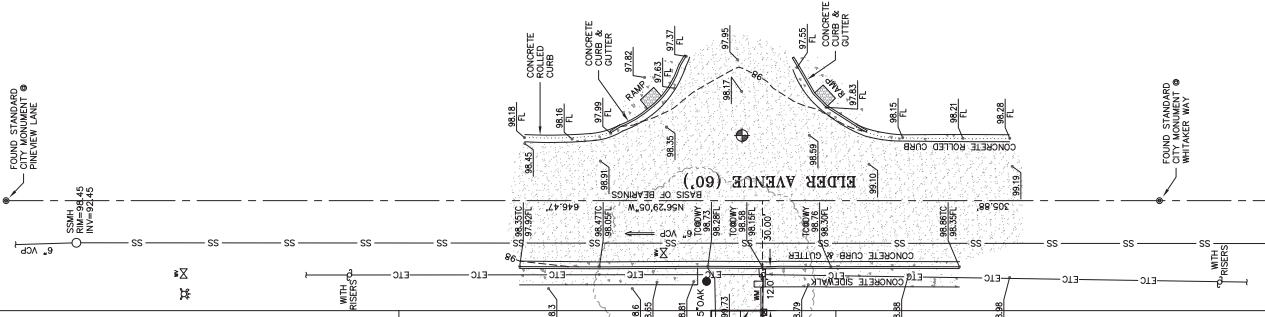
LEA & BRAZE ENGINEERING, INC.
 CIVIL ENGINEERS - LAND SURVEYORS
 2495 INDUSTRIAL PARK WEST
 SAN MATEO COUNTY, CA 94403
 (415) 998-2222
 WWW.LEABRAZE.COM

**1301 ELDER AVENUE
 MENLO PARK
 CALIFORNIA**
 SAN MATEO COUNTY
 APN: 071-022-220

**TOPOGRAPHIC AND
 BOUNDARY SURVEY**

JOB NO.	2182762
DATE	7-20-18
SCALE	1"=16'
FIELD BY	EPH
DRAWN BY	DOR
SHEET NO.	

1 OF 1 SHEETS



BENCHMARK
 WATERS SANTA CLARA VALLEY
 BRASS BRASS ON TOP OF 3" DIA. CONCRETE
 HEADWALL, AT MOST EASTERLY END OF
 KNIGHTS CREEK DRIVE, APPROXIMATELY
 500 FEET EAST FROM ALPINE ROAD, CITY OF PALO
 ALTO
 ELEVATION = 141.67
 (NAVD 88 DATUM)

NOTES
 ALL DISTANCES AND DIMENSIONS ARE
 IN FEET AND DECIMALS.
 UNDERGROUND UTILITY LOCATION IS
 BASED ON SURFACE EVIDENCE.
 BUILDING FOOTPRINTS ARE SHOWN TO
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 AT GROUND LEVEL.
 FINISH FLOOR ELEVATIONS ARE TAKEN
 AT DOOR THRESHOLD (EXTERIOR).

NOTE
 EASEMENTS ARE SHOWN PER PRELIMINARY
 TITLE REPORT ISSUED BY FIDELITY NATIONAL
 TITLE COMPANY, SAN MATEO COUNTY, CALIFORNIA
 FMSC-1081800088-80, DATED AS OF
 JANUARY 29, 2018

**PARCEL 2
 PARCEL MAP
 79 PM 2**

**PARCEL 3
 PARCEL MAP
 79 PM 2**

**PARCEL 4
 PARCEL MAP
 88 PM 28**

**LANDS OF CHUIEH
 & LOUIE**

**LANDS OF SHAR
 & HOPSTADTER**

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LEGEND AND NOTES

□	GAS METER	□	BOUNDARY LINE
○	INVERT	---	TRUSS OVERHEAD LINE
○	REGULATION CONTROL VALVE	---	ELECTRICAL/TELEPHONE/ CABLE TV OVERHEAD LINE
○	JOINT POLE	---	EASEMENT
○	JAPANESE MAPLE	---	FENCE LINE
○	MULTI-TRUNK TREE	---	FLOW LINE
○	MAGNOLIA	---	SANITARY SEWER LINE
○	GATE	---	BENCHMARK
○	REDWOOD	---	BUCKEYE
○	ROOF PEAK	---	CLEAN-OUT BOX
○	SANITARY SEWER CLEAN-OUT	---	CAMPION
○	SANITARY SEWER MANHOLE	---	OWS
○	TOP OF CURB	---	CHMS
○	TOP OF SLAB	---	CPW
○	WIRRED CLAY PIPE	---	EQP
○	WALNUT	---	ELECTRICAL METER
○		---	FINISH FLOOR
○		---	FREE HOBBART
○		---	FLOW LINE

BEFORE AND
AFTER
IMAGES

R1.1



TIMELINE
DESIGN + BUILD
14401 BIG BASIN WAY
SANATONIA, CALIFORNIA 95070
PHONE: 408.741.3000 FAX: 408.317.1708

SCALE:
DRAWN BY: SC
APPROVED BY: MH
DATE: 02/20/19

A.P.N. 071-022-260

NEW HOUSE FOR :
SHUAN QI and SONG WANG
1301 ELDER AVENUE, MENLO PARK,
CALIFORNIA, 94025

Revisions		
No.	Description	Date



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QI-WANG RESIDENCE 1301 ELDER AVENUE MENLO PARK, CALIFORNIA

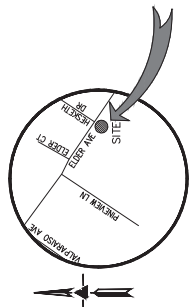


LEA & BRAZE ENGINEERING, INC.
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(310) 887-7263
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QI-WANG RESIDENCE
1301 ELDER AVENUE
MENLO PARK, CALIFORNIA
APR. 07-02-2018

TITLE SHEET

C-1.0
01 OF 03 SHEETS



VICINITY MAP
NTS

OWNERS' INFORMATION

OWNER: QI-WANG & SONS WANG
1301 ELDER AVENUE
MENLO PARK, CA 94025

APR. 07-02-2018

REFERENCES

- THIS GRADING AND DRAINAGE PLAN IS SUPPLEMENTAL TO:
TOPOGRAPHIC SURVEY BY LEA & BRAZE ENGINEERING, INC.
DATED: 07-20-18
JOB# 2107016
- THE PLAN BY TIMELINE DESIGN + BUILD, DATED:
1301 ELDER AVENUE
MENLO PARK, CA 94025
- LANDSCAPE PLAN BY DPG DESIGN, ENTITLED:
1301 ELDER AVENUE
LANDSCAPE PLAN
MENLO PARK, CA 94025

THE CONTRACTOR SHALL REFER TO THE ABOVE NOTED SURVEY ITEMS ACCORDING TO THEM.

NOTES:

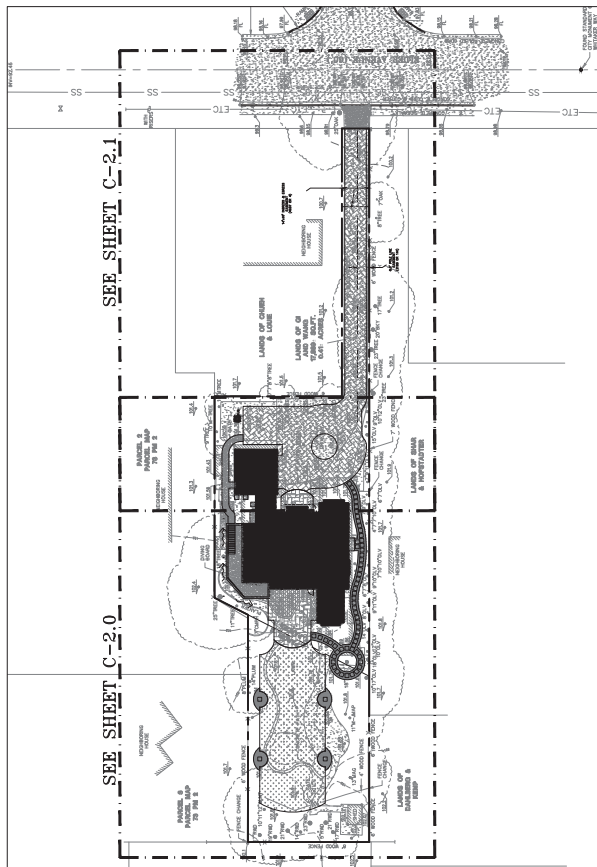
- THE HORIZONTAL LOCATION OF BASEMENT SUBDRAIN PIPE WITH 90-DEGREE BEND USE OF 3/4" SCHEDULE 40S OR 1/2" 40-DEGREE BEND TO ALLOW FOR EAST CLEANOUT ACCESS WHEN CHANGING DIRECTION.
- ALL EXISTING CHANGED OR DAMAGED FEATURES ALONG THE PROPERTY BOUNDARY SHALL BE IN ACCORDANCE WITH THE LATEST VERSION OF THE CITY STANDARD DETAILS.
- ANY FRONTAGE IMPROVEMENTS THAT ARE DAMAGED AS A RESULT OF CONSTRUCTION WILL BE REQUIRED TO BE REPLACED.
- AN ENCROACHMENT PERMIT FROM THE ENGINEERING DIVISION IS REQUIRED PRIOR TO ANY CONSTRUCTION ACTIVITIES IN THE PUBLIC RIGHT-OF-WAY.

CITY NOTES:

- ALL EXISTING CHANGED OR DAMAGED FEATURES ALONG THE PROPERTY BOUNDARY SHALL BE IN ACCORDANCE WITH THE LATEST VERSION OF THE CITY STANDARD DETAILS.
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SHEET INDEX

- C-1.0 TITLE SHEET
- C-2.0 GRADING & DRAINAGE PLAN
- C-2.1 GRADING & DRAINAGE PLAN



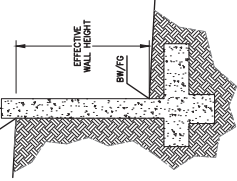
SEE SHEET C-2.0

SEE SHEET C-2.1

KEY MAP
1" = 30'

RETAINING WALL NOTES

- TW/FG REPRESENTS FINISHED EARTHEN GRADE OR PAVEMENT ELEVATION AT TOP OF WALL NOT ACTUAL TOP OF WALL MATERIAL. BW/FG REPRESENTS FINISHED GRADE OR PAVEMENT ELEVATION INCLUDING FILL FOUNDATION. GRADES INDICATED ON THESE PLANS REFER TO FINISHED GRADE OR PAVEMENT, NOT TO THE RETAINING WALL, NOT INCLUDING FOUNDATION, FOOTING, OR OTHER BELOW-GRADE ELEMENTS.
- RETAINING WALLS SHALL BE CONSTRUCTED AS [TYPED] ABOVE THE SPECIFIED WALL HEIGHT ONLY. THE ACTUAL WALL HEIGHT AND DEPTH MAY DIFFER DUE TO CONSTRUCTION REQUIREMENTS.
- REFER TO SPECIFIC WALL CONSTRUCTION DETAIL FOR STRUCTURAL ELEMENTS, FOOTING, AND EMBEDMENT.
- REFER TO ARCHITECTURAL, LANDSCAPE ARCHITECTURE, AND/OR STRUCTURAL DRAWINGS FOR FINISHES, COLORS, STEEL REINFORCING, MATERIALS, ETC. PROVIDE CLIPS OR OTHER MEANS OF SECURING FINISH MATERIALS AS NECESSARY (NET SET INTO THE WALL).
- ALL RETAINING WALLS SHOULD HAVE A BUILT-UP WALL SUB-SURFACE DRAINAGE SYSTEM INCLUDING APPROXIMATE 18 PERCENT THROUGH-DRAIN PRESSURE.
- SEE DETAIL SHEET FOR SPECIFIC INFORMATION.
- PROVIDE DIMENSIONAL (WHERE APPLICABLE AND DESIGNED BY OTHERS) AS REQUIRED FOR GRADE SEPARATION OF 30 INCHES OR MORE MEASURED 5' HORIZONTALLY FROM FACE OF WALL, PER CBC.



ESTIMATED EARTHWORK QUANTITIES

	CUBIC YARDS	WITH BUILDING FOOTPRINT	OUTSIDE BUILDING FOOTPRINT	TOTAL CUBIC YARDS
CUT	751	0	0	751
FILL	37	0	0	37
EXPORT IMPORT				714

NOTE: QUANTITIES REPRESENT BANK VOLUME. IT DOES NOT INCLUDE ANY SHRINKAGE FACTORS AND IS INTENDED TO REPRESENT APPROXIMATE QUANTITIES. THESE QUANTITIES ARE FOR INFORMATION ONLY. FOR SUB SECTION OR TRENCHING, STRUCTURAL FOUNDATIONS OR PILES, OR POOL EXCAVATION (IF ANY), NOTE ADDITIONAL DIMENSIONS SUCH AS VOLUMES OF EXCAVATION, LENGTH, WIDTH, AND DEPTH. THESE QUANTITIES ARE FOR THE FIELD AT THE LEVEL.

* BUILDING BAY NOTE: BUILDING BAY LEVELS TO BE ADJUSTED TO REPRESENT SUBSECTION QUANTITIES. FOR SUB SECTION OR TRENCHING, STRUCTURAL FOUNDATIONS OR PILES, OR POOL EXCAVATION (IF ANY), NOTE ADDITIONAL DIMENSIONS SUCH AS VOLUMES OF EXCAVATION, LENGTH, WIDTH, AND DEPTH. THESE QUANTITIES ARE FOR THE FIELD AT THE LEVEL.

LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	BOUNDARY
---	---	PROPERTY LINE
---	---	RETAINING WALL
---	---	LANDSCAPE RETAINING WALL
---	---	RAINWATER TIGHTLINE
---	---	SUBDRAIN LINE
---	---	TIGHTLINE
---	---	STORM DRAIN LINE
---	---	SANITARY SEWER LINE
---	---	WATER LINE
---	---	GAS LINE
---	---	PRESSURE LINE
---	---	JOINT TRENCH
---	---	SET BACK LINE
---	---	CONCRETE VALLEY CUTTER
---	---	EARTHEN SWALE
---	---	CATCH BASIN
---	---	JUNCTION BOX
---	---	AREA DRAIN
---	---	CURB INLET
---	---	STORM DRAIN MANHOLE
---	---	FIRE HYDRANT
---	---	SANITARY SEWER MANHOLE
---	---	SPOT ELEVATION
---	---	FLOW DIRECTION
---	---	DEMOLISH/REMOVE
---	---	BENCHMARK
---	---	CONTOURS
---	---	TREE TO BE REMOVED

ABBREVIATIONS

AB	ASBESTOS	MANHOLE	CONCRETE VALLEY CUTTER
ACC	ACCESSIBLE	MIN	MINIMUM
BC	BEGINNING OF CURVE	MIR	METERED RELEASE OUTLET
B & D	BENCHMARK & DISTANCE	N	NEW
BIB	BIBBLER BOX	NTS	NOT TO SCALE
BW/FG	BUILT-UP WALL/FINISH GRADE	O.C.	OVER
CB	CATCH BASIN	(PA)	PLANTING AREA
C & G	CORROGATED PLASTIC PIPE	PIV	POST INDICATOR VALVE
CP	CONSTRUCT OF -TION	PP	PUBLIC SERVICES EASMENT
CO	CLEAROUT TO GRADE	PP	POWER POLE
CONC	CONCRETE	PVE	POLYETHYLENE
CONC COR	CONCRETE CORNER	PVC	POLYVINYL CHLORIDE
CV	CUBIC YARD CORNER	R	RADIUS
D	DRAIN INLET	RIM	RIM ELEVATION
DIP	DUCTILE IRON PIPE	RW	RAINWATER
EA	END OF CURVE	S	SLOPE OF WAY
EG	ELEVATION	SAN	SANITARY
EP	EDGE OF PAVEMENT	SD	STORM DRAIN
EW	EACH WAY	SD	STORM DRAIN MANHOLE
(E)	EXISTING CURB	SH	SHEET
FF	FINISHED FLOOR	SHC	SEWER CLEANOUT
FG	FINISHED GRADE	SS	SANITARY SEWER
FL	FLOW LINE	SSM	SANITARY SEWER MANHOLE
FL	FINISHED FLOOR	ST	STREET
G	GAUGE OR GAUGE	STD	STANDARD
GA	GAS	T	TIGHTLINE
GP	HIGH DENSITY CORRUGATED	TC	TOP OF CURB
HORIZ	HORIZONTAL	TEMP	TEMPORARY
HPT	HIGH POINT	TF	TOP OF FLOOR
INT	INTERIOR	TF	TOP OF FINISH GRADE
ISD	INSIDE DIAMETER	VC	VERTICAL CURVE
JUN	JUNCTION BOX	VCP	VERTICAL CURVE POINT
JT	JOINT TRENCH	W	WATER
L	LENGTH	W	WATER
L	LANE	WL	WATER METER
LD	LANE WIDTH	WLF	WELDED WIRE FABRIC
L	LANE	WLF	WELDED WIRE FABRIC



LEA & BRAZE ENGINEERING, INC.
 CIVIL ENGINEERS • LAND SURVEYORS
 2465 INDUSTRIAL PARK WEST, SUITE 200
 2077 DOWLING BLVD., SUITE 100
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 (916) 887-2919
 WWW.LEABRAZE.COM

QI-WANG RESIDENCE
1301 ELDER AVENUE
MENLO PARK, CALIFORNIA

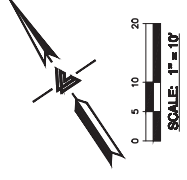
GRADING AND DRAINAGE PLAN

JOB NO.	2181184
DATE:	11-06-18
SCALE:	1" = 10'
DESIGN BY:	CA
REVISIONS:	BY
PLANNING REVIEW:	CA
SHEET NO.:	MM

C-2.0
 02 OF 03 SHEETS

LEGEND

DESCRIPTION	SYMBOL
(N) CONCRETE PAVEMENT	[Pattern]
(N) GRAVEL PAVING FOR DETAIL	[Pattern]
(N) STONE PATIO/WALKWAY FOR DETAIL	[Pattern]
(N) AC PAVEMENT	[Pattern]
(N) LANDSCAPE AREA	[Pattern]
TREE PROTECTION	[Symbol]
TREE REMOVAL	[Symbol]



- NOTES:**
- THE PROPOSED LOCATION OF EXISTING SUBDRAINAGE MAINS AND THE PROPOSED LOCATION OF NEW SUBDRAINAGE MAINS SHALL BE IN ACCORDANCE WITH THE LATEST VERSION OF THE CITY STANDARD DETAILS.
 - CONSTRUCTION SHALL BE REQUIRED TO BE REPLACED.
 - AN ENCROACHMENT PERMIT FROM THE ENGINEERING DIVISION IS REQUIRED PRIOR TO ANY CONSTRUCTION ACTIVITIES IN THE PUBLIC RIGHT-OF-WAY.
- CITY NOTES:**
- ALL EXISTING STRUCTURES OR EXISTING FEATURES ALONG THE PROPERTY FRONTAGE MUST BE REPAIRED IN KIND. ALL FRONTAGE IMPROVEMENT WORK SHALL BE IN ACCORDANCE WITH THE LATEST VERSION OF THE CITY STANDARD DETAILS.
 - CONSTRUCTION SHALL BE REQUIRED TO BE REPLACED.
 - AN ENCROACHMENT PERMIT FROM THE ENGINEERING DIVISION IS REQUIRED PRIOR TO ANY CONSTRUCTION ACTIVITIES IN THE PUBLIC RIGHT-OF-WAY.

FLATWORK

FINISHED GRADES AT BUILDING PERIMETER SHALL BE SLOPED AT A MINIMUM OF 1/8" PER FOOT TO AN APPROVED DRAINAGE SINK OR STRUCTURE. GRADES SHALL CONTINUE TO SLOPE TOWARDS POSITIVE DRAINAGE AND A POSITIVE BOTTOM OF MAID SILL AT ALL TIMES PER CBC 2304.12.1.5 UNLESS FOUNDATION DESIGN AND DETAILS.

SLOPE GARAGE SLAB 1/8" MINIMUM (1/4" PER FOOT) FROM BACK TO FRONT TO ALLOW FOR ADEQUATE DRAINAGE. MAINTAIN 1/2" TO 1" LIP BETWEEN GARAGE SLAB AND DRIVEWAY. SEE PLANS FOR SPECIFIC DROP PROVIDE 2% SLOPE ACROSS FLAT WORK AND/OR PAVING PER CBC 1804.4.4. SLOPE TOWARDS POSITIVE DRAINAGE AS SHOWN ON PLAN.

GRIND AC TO THE (N) AC INTO (E) AC PAVING.

INSTALL (N) CONCRETE PAVEMENT DRIVEWAY.

(N) CONCRETE PATIOS/WALKWAYS.

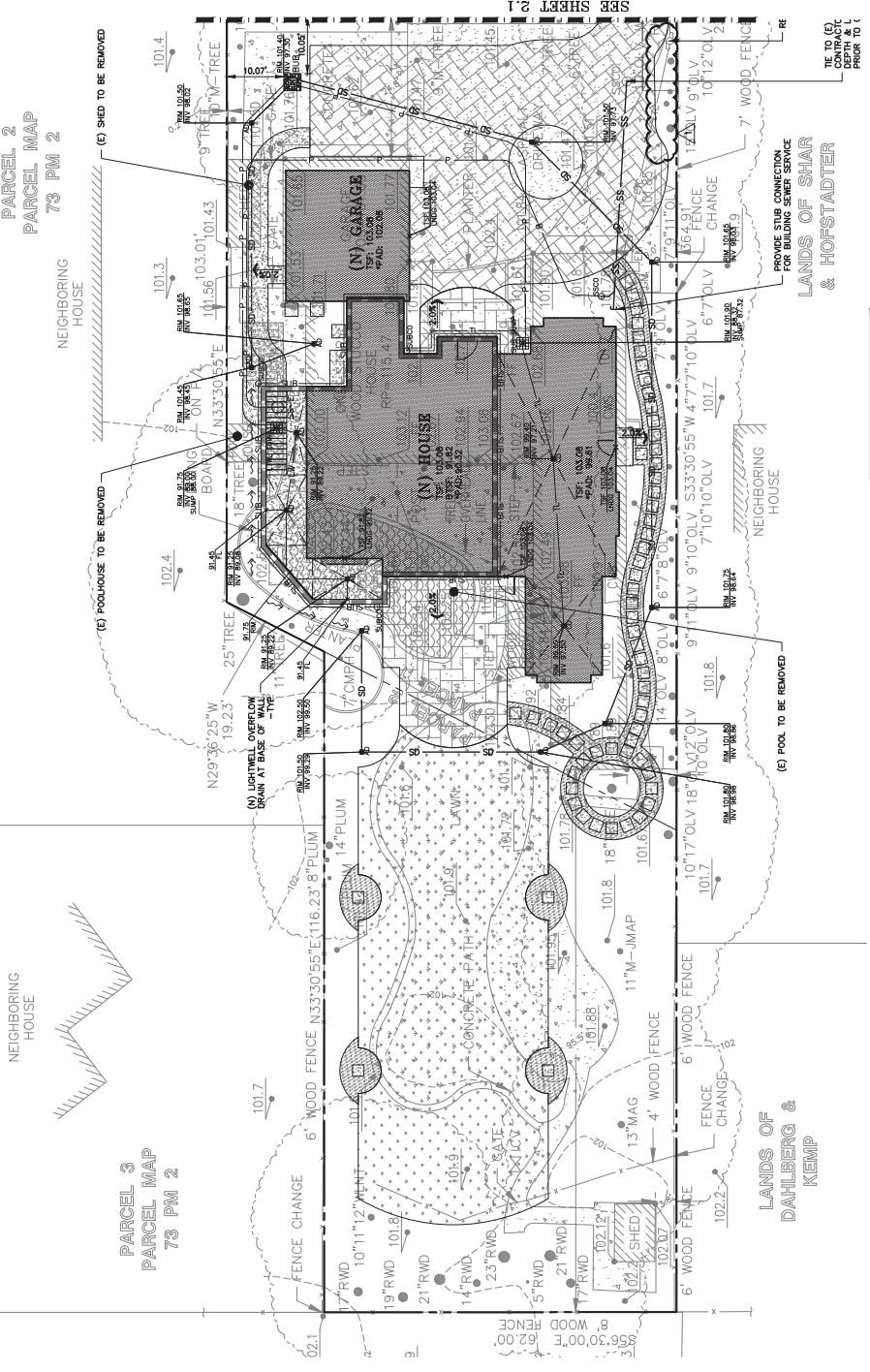
INSTALL (N) CONCRETE PAVEMENT PATIOS/WALKWAYS.

DEMOLITION

DEMOLITION OF EXISTING CONSTRUCTION IS NECESSARY TO ACCOMMODATE (N) CONSTRUCTION. NO DEMOLITION SHALL COMMENCE WITHOUT REQUIRED DEMOLITION PERMITS.

REMOVE (E) TREE CONTRACTOR SHALL OBTAIN THE PROPER TREE REMOVAL PERMITS AS REQUIRED.

PROVIDE TREE PROTECTION AROUND TREES TO REMAIN. CONTRACTOR SHALL PROVIDE TREE PROTECTION AROUND TREES TO REMAIN. CONTRACTOR SHALL COORDINATE WITH PROJECT ARBORIST PRIOR TO ANY WORK WITHIN CIRCUMFERENCE OF TREE TRUNKS TO REMAIN TO PROTECT EXISTING ROOTS.



NOTE:

BUILDING BASE LINE ADJUST PAUL LEVEL REQUIRED. REFER TO ELEVATIONS CALL PLANS FOR SLAB SECTION OR FINISH FLOOR ELEVATION. CONTACT ANUBAYA@LEABRAZE.COM TO ESTABLISH PAD LEVEL.

NOTE:

FOR CONSTRUCTION STAKING SCHEDULING OR QUOTATIONS PLEASE CONTACT ALEX ABAYA AT 916-887-1233 OR ALEX.ABAYA@LEABRAZE.COM

NOTE:

CIVIL PLANS DO NOT CALL FOR FINISH ELEVATIONS. CIVIL PLANS SHALL BE USED TO ESTABLISH PAD LEVEL.

NOTE:

REMOVE THIS CONSTRUCTION PER BUILDING SEWER SERVICE

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REMOVE THIS CONSTRUCTION PER BUILDING SEWER SERVICE

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REMOVE THIS CONSTRUCTION PER BUILDING SEWER SERVICE



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 WWW.LEABRAZE.COM

QI-WANG RESIDENCE
 1301 ELDER AVENUE
 MENDO PARK, CALIFORNIA

GRADING AND DRAINAGE PLAN

JOB NO.	218104
DATE:	11-06-18
SCALE:	1" = 10'
PK:	CA
DESIGN BY:	MM
SHEET NO.:	

C-2.1
 03 OF 03 SHEETS

LEGEND

DESCRIPTION	SYMBOL
(N) CONCRETE PAVEMENT	[Pattern]
(N) GRAVEL PAVING FOR DETAIL	[Pattern]
(N) STONE PATIO/WALKWAY FOR DETAIL	[Pattern]
(N) AC PAVEMENT	[Pattern]
(N) LANDSCAPE AREA	[Pattern]
TREE PROTECTION	[Symbol]
TREE REMOVAL	[Symbol]

- NOTES:**
- THE ORIGINAL LOCATION OF EXISTING SUBURBAN LIFE WAY AND THE ORIGINAL CENTERLINE OF PARKWAY SHALL BE MAINTAINED USING 90-DEGREE BENDS. USE 90-DEGREE SWEEP OR TWO 45-DEGREE BENDS TO ALLOW FOR EASY CLEANOUT ACCESS WHEN CHANGING DIRECTION.
- CITY NOTES:**
- ALL EXISTING STRUCTURES OR DAMAGED FEATURES ALONG THE PROPERTY FRONTAGE MUST BE REPAIRED IN KIND. ALL FRONTAGE IMPROVEMENT WORK SHALL BE IN ACCORDANCE WITH THE LATEST VERSION OF THE CITY STANDARD DETAILS.
 - EXISTING UTILITIES SHALL BE MAINTAINED UNLESS OTHERWISE INDICATED. ANY UTILITIES THAT ARE DAMAGED AS A RESULT OF CONSTRUCTION WILL BE REPAIRED.
 - AN ENCROACHMENT PERMIT FROM THE ENGINEERING DIVISION IS REQUIRED PRIOR TO ANY CONSTRUCTION ACTIVITIES IN THE PUBLIC RIGHT-OF-WAY.

FLATWORK

FINISHED GRADES AT BUILDING PERIMETER SHALL BE SLOPED AT A MINIMUM OF 1/4" PER FOOT TO AN APPROVED DRAINAGE, SINGLE OR STRUCTURE. GRADES SHALL CONTINUE TO SLOPE TOWARDS POSITIVE DRAINAGE AND A POSITIVE BOTTOM OF MAID SILL AT ALL TIMES PER CBC 2304.12.1 UNLESS OTHERWISE INDICATED. REFER TO STRUCTURAL PLANS FOR FOUNDATION DESIGN AND DETAILS.

SLOPE GARAGE SLAB 1/4" MINIMUM (1/4" PER FOOT) FROM BACK TO FRONT TO ALLOW FOR ADEQUATE DRAINAGE. MAINTAIN 1/2" TO 1" LIP BETWEEN GARAGE SLAB AND DRIVEWAY. SEE PLANS FOR SPECIFIC DROP PROVIDE 2% SLOPE ACROSS FLAT WORK AND/OR PAVING PER CBC 1804.4.4 SLOPE TOWARDS POSITIVE DRAINAGE AS SHOWN ON PLAN.

GRIND AC TO THE (N) AC INTO (E) AC PAVING.

INSTALL (N) CONCRETE PAVER DRIVEWAY.

(N) CONCRETE PATIOS/WALKWAYS.

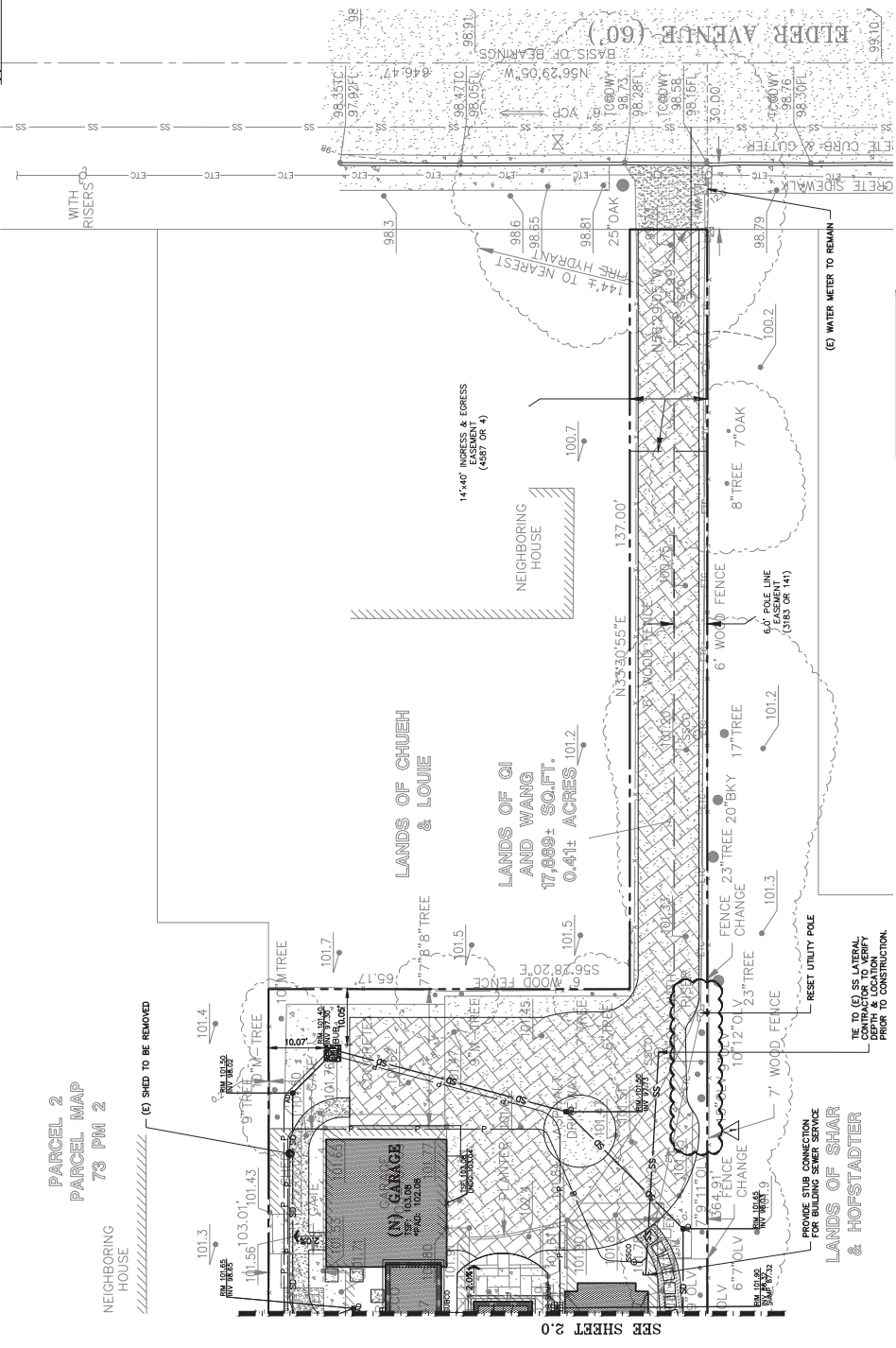
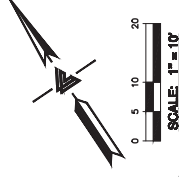
INSTALL (N) CONCRETE PAVER PATIOS/WALKWAYS.

DEMOLITION

DEMOLITION OF EXISTING STRUCTURES IS NECESSARY TO ACCOMMODATE (N) CONSTRUCTION. ALL DEMOLITION SHALL COMMENCE WITHOUT REQUIRED DEMOLITION PERMITS.

REMOVE (E) TREE CONTRACTOR SHALL OBTAIN THE PROPER TREE REMOVAL PERMITS AS REQUIRED.

PROVIDE TREE PROTECTION AROUND TREES TO REMAIN. CONTRACTOR SHALL MAINTAIN PROTECTION AROUND TREES TO REMAIN. CONTRACTOR SHALL COORDINATE WITH PROJECT ARBORIST PRIOR TO ANY WORK WITHIN CIRCUMFERENCE OF TRUNK TO REMAIN TO PROTECT EXISTING ROOTS.



NOTE:
 CIVIL PLANS DO NOT ADJUST PAD LEVEL TO ELEVATIONS. CIVIL PLANS CALL TO TOP OF SUBFLOOR. CONTRACTOR SHALL PROVIDE PLANS FOR FINISH FLOOR ELEVATION.

NOTE:
 BUILDING BASINETS REQUIRED. REFER TO ELEVATIONS FOR FINISH FLOOR ELEVATION. CONTACT ALEX ABAYA AT 916-987-1133 FOR MORE INFORMATION. alexabaya@leabraze.com

NOTE:
 FOR CONSTRUCTION STAKING SCHEDULING OR QUOTATIONS PLEASE CONTACT ALEX ABAYA AT 916-987-1133. alexabaya@leabraze.com

SEE SHEET 2.0

D22



Proposed Residence for 1301 Elder Avenue Menlo Park, CA 94025



The proposed single-family home will be sited on a city 18,000 SF. flag lot with a 137-foot driveway on Elder Avenue. The existing house on the property, to be demolished is a Ranch style single-family residence with a bean-shaped pool.

Given the length of the driveway, the proposed residence will be hardly visible from the access street. It is designed as a two-story residence with Provincial French exterior architectural elements. The structure will be a raised floor system with a 1500-SF basement. This includes a 300-SF lightwell for adequate natural light and egress stairs. The final product will be a cement plaster or stucco building with traditional slate roofing and attached 2-car garage. We propose some cast stone elements, painted wrought iron architectural elements, and other exterior architectural elements typical of the architectural style. The existing pool will be eliminated.

The entire project is designed to comply with all applicable first and second floor setback requirements. It also complies with all applicable daylight planes, floor area requirements, and maximum height requirements. The permit application will not seek any variances or special planning considerations.

As a project on a city flag lot, the proposed design has made considerable design concessions to limit its impact on the existing collection of growing and mature trees on the site. Keeping the tree cover intact will be vital in addressing the challenge of maintaining privacy with adjacent properties.

Timeline Design and the owners have reached out to all neighbors with efforts to learn and address all neighbors' concerns, especially privacy concerns. The home owners met with three of their neighbors, family of 1275 Elder Avenue, family of 1315 Elder Avenue and family of 1305 Elder Avenue. The family at 1275 Elder Avenue have expressed some concerns regarding the windows on the 2nd floor, and the design was amended to address those concerns by raising sill heights and using obscured glass on two other openings.

3/27/2019

February 5, 2019

February 5, 2019

Timeline Design + Build
14401 Big Basin Way
Saratoga, CA 95070



I was asked to provide an assessment of the following: “The Contract City Arborist has expressed concern with the group of trees near the driveway #544-547 that will be impacted by the paver driveway installation. The drawings show the driveway to be installed over/into their trunks. The driveway in this area needs to be adjusted to accommodate the Heritage trees (#544, 547) and the “Construction Phase” guidelines need to be updated to include excavation guidelines for these (and any other) heritage trees.”

A new A1.2 Site Plan has been designed to provide a minimum of two feet of space (pop-out) from the proposed driveway and olives (*Olea europaea*) #544 through #547. This was the minimum required distance from the proposed hardscape to help accommodate the trunk flare and tree diameter at grade level.

For the “Construction Phase” recommendations and installation of the paver driveway I recommend the following within seven feet of the trees:

1. The first priority for the driveway construction is to adopt a no dig policy and incorporate a design plan that will minimize soil compaction and root disturbances within six times the trunk diameter distance of seven feet from trees #544 and #547.
2. Adjust the finished grade to be above the natural grade minimizing digging for a sub-grade treatment. In this instance the surface will be higher up and edge treatments or curbing also need to be constructed above grade if necessary.
3. Use paving material that does not rely on the strength of a compacted sub-base for strength. This may be accomplished by reinforcing the surface layer material or placing geotextile fabric at the bottom of the sub-base within seven feet of the trees to reduce displacement into the parent soil along with a reduction in compaction requirements. Use biaxial Tensar BX-1100 or equivalent to manufacturer specifications on grade.



Certification of Performance

I Richard Gessner, Certify:

That I have personally inspected the tree(s) and/or the property referred to in this report, and have stated my findings accurately. The extent of the evaluation and/or appraisal is stated in the attached report and Terms of Assignment;

That I have no current or prospective interest in the vegetation or the property that is the subject of this report, and I have no personal interest or bias with respect to the parties involved;

That the analysis, opinions and conclusions stated herein are my own;

That my analysis, opinions, and conclusions were developed and this report has been prepared according to commonly accepted Arboricultural practices;

That no one provided significant professional assistance to the consultant, except as indicated within the report.

That my compensation is not contingent upon the reporting of a predetermined conclusion that favors the cause of the client or any other party, nor upon the results of the assessment, the attainment of stipulated results, or the occurrence of any other subsequent events;

I further certify that I am a Registered Consulting Arborist® with the American Society of Consulting Arborists, and that I acknowledge, accept and adhere to the ASCA Standards of Professional Practice. I am an International Society of Arboriculture Board Certified Master Arborist®. I have been involved with the practice of Arboriculture and the care and study of trees since 1998.

Richard J. Gessner



ASCA Registered Consulting Arborist® #496
ISA Board Certified Master Arborist® WE-4341B
ISA Tree Risk Assessor Qualified

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**Tree Inventory, Assessment,
and
Protection**

**1301 Elder Avenue
Menlo Park, CA 94025**

Prepared for:

Timeline Design + Build

October 23, 2018

Prepared By:

Richard Gessner

*ASCA - Registered Consulting Arborist® #496
ISA - Board Certified Master Arborist® WE-4341B
ISA - Tree Risk Assessor Qualified
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Summary

The inventory and assessment contains 51 trees comprised of 17 different species with European olive (*Olea europaea*) being the most abundant. Thirty trees have trunk diameters fifteen inches or greater and would be considered protected “Heritage Trees”. Most of the trees are in fair condition and the majority have fair suitability for preservation. One ash (*Fraxinus uhdei*) #585 is expected to be highly impacted by the basement and is in fair condition with fair suitability for preservation. The row of olive trees #546 to #561 are expected to be moderately impacted depending on the basement cut while the remaining 32 trees including 9 originating on adjacent properties will not be affected. Tree protection for this project will consist of placing fence along the side of the property to protect olives #546 to #561, and ash 583. The entire back portion of the site can be fenced off to prevent access to trees #564 to #576. The coast live oak (*Quercus agrifolia*) at the front of the property will need to have its trunk protected with either straw wattle or timbers to prevent damage from construction vehicles and equipment.

Introduction

Background

Timeline Design + Build asked me to assess the site, trees, proposed footprint plan, and to provide a report with my findings and recommendations to help satisfy the City of Menlo Park planning requirements.

Assignment

1. Provide an arborist’s report including an assessment of the trees within the project area and those on adjacent sites that could be affected. The assessment is to include the species, size (trunk diameter), condition (health, structure, and form), and suitability for preservation ratings.
2. Provide tree protection guidelines and impact ratings for those potentially affected by the project.



Limits of the Assignment

1. No tree risk assessments were performed.
2. The information in this report is limited to the condition of the trees during my inspection on September 20, 2018.
3. The plans reviewed for this assignment were as follows in Table 1:

Table 1: Plans Reviewed Checklist

Plan	Date	Sheet	Reviewed	Source	Notes
Existing Site Topographic Map or A.L.T.A with tree locations			No		
Proposed Site Plan	10/18/18	A1.1	Yes	Timeline Design + Build	
Demolition Plan			No		
Construction Staging			No		
Grading and Drainage			No		
Utility Plan and Hook-up locations			No		
Exterior Elevations			No		
Landscape Plan			No		
Irrigation Plan			No		
T-1 Tree Protection Plan			No		

Purpose and Use of the Report

The report is intended to identify all the trees within the plan area that could be affected by a project. The report is to be used by the property owners, owner's agents, and the City of Menlo Park as a reference for existing tree conditions to help satisfy planning requirements.



Observations

Tree Inventory

The City of Menlo Park ordinance Chapter 13.24.020 defines “Heritage Trees” as one of the following:

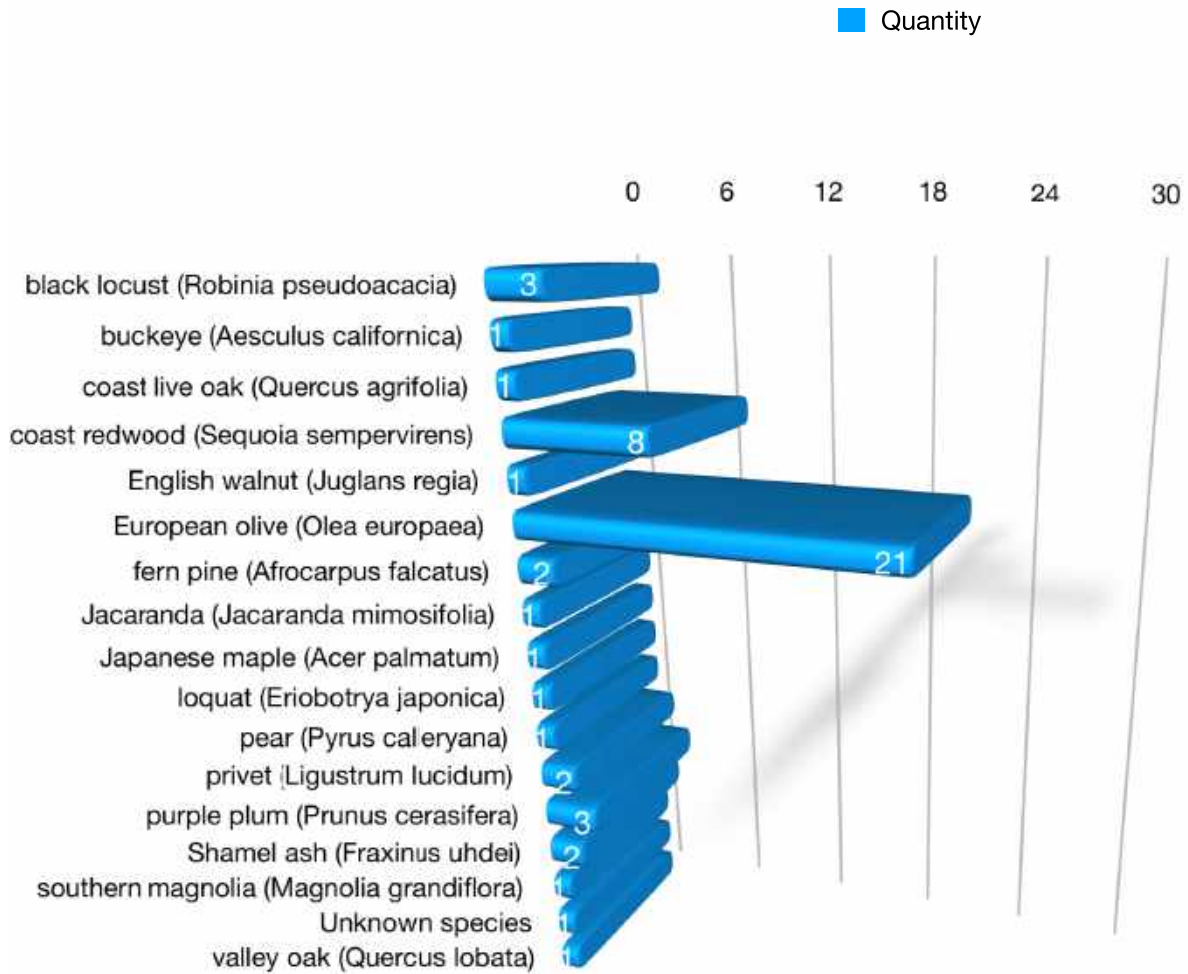
1. Any tree having a trunk with a circumference of 47.1 inches (diameter of 15 inches) or more measured at 54 inches above natural grade.
2. Any oak tree native to California, with a circumference of 31.4 inches (diameter of 10 inches) or more measured at 54 inches above natural grade.
3. Any tree or group of trees specifically designated by the City Council for protection because of its historical significance, special character or community benefit.
4. Any tree with more than one trunk measured at the point where the trunks divide, with a circumference of 47.1 inches (diameter of 15 inches) or more, with the exception of trees that are under 12 feet in height, which are exempt from the ordinance.
5. The tree inventory contains all trees on the property with trunk diameters greater than four inches and those on adjacent sites with crowns overhanging the boundary

The inventory contains 51 trees comprised of 17 different species (Chart 1, Pg. 4). European olive was the most abundant species with 21 specimens accounting for 41 percent of all trees assessed. Thirty trees have trunk diameters fifteen inches or greater and would be considered protected “Heritage Trees”. Nine trees originate on the adjacent property with most located along the driveway.



The chart below indicates the quantity and species of each tree assessed (Chart 1).

Chart 1: Species Distribution



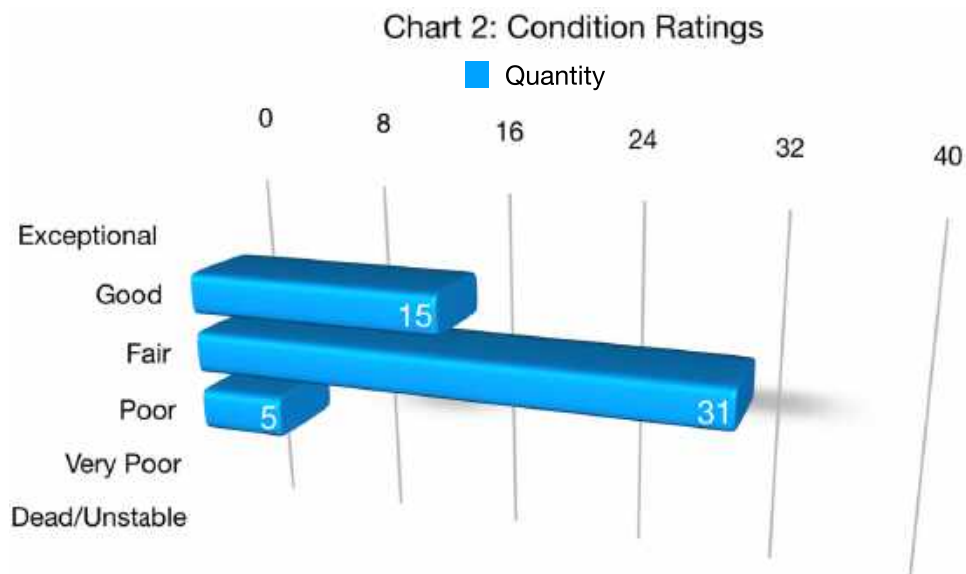
Discussion

Condition Rating

A tree's condition is a determination of its overall health, structure, and form. The assessment considered both the health and structure for a combined condition rating.

- 100% - Exceptional = Good health and structure with significant size, location or quality.
- 61-80% - Good = Normal vigor, well-developed structure, function and aesthetics not compromised with good longevity for the site.
- 41-60 % - Fair = Reduced vigor, damage, dieback, or pest problems, at least one significant structural problem or multiple moderate defects requiring treatment. Major asymmetry or deviation from the species normal habit, function and aesthetics compromised.
- 21-40% - Poor = Unhealthy and declining appearance with poor vigor, abnormal foliar color, size or density with potential irreversible decline. One serious structural defect or multiple significant defects that cannot be corrected and failure may occur at any time. Significant asymmetry and compromised aesthetics and intended use.
- 6-20% - Very Poor = Poor vigor and dying with little foliage in irreversible decline. Severe defects with the likelihood of failure being probable or imminent. Aesthetically poor with little or no function in the landscape.
- 0-5% - Dead/Unstable = Dead or imminently ready to fail.

Most of the trees are in fair condition while sixteen are in good shape and five poor. Of the five trees in poor condition four originate on the adjacent site.

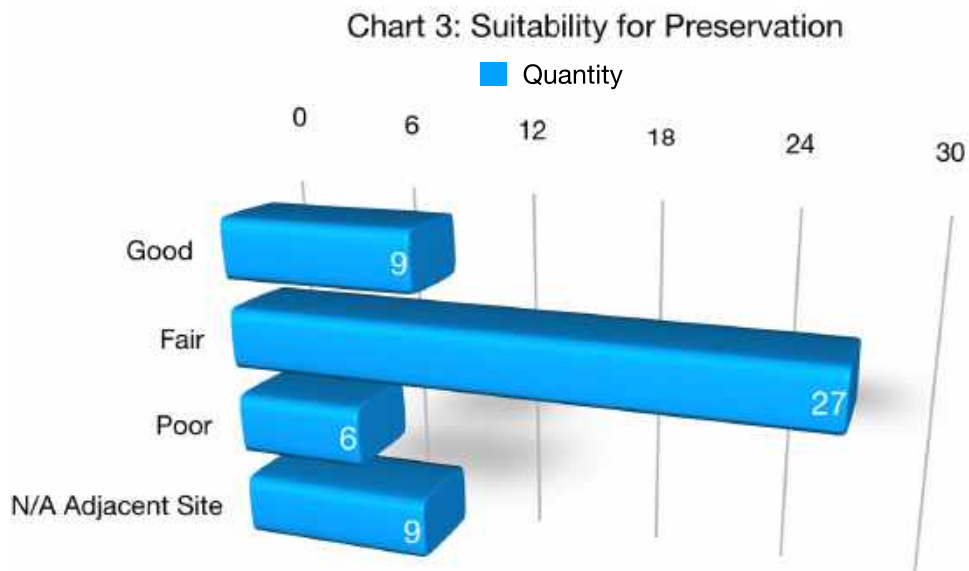


Suitability for Preservation

A tree's suitability for preservation is determined based on its health, structure, age, species and disturbance tolerances, proximity to cutting and filling, proximity to construction or demolition, and potential longevity using a scale of good, fair, or poor (Fite, K, and Smiley, E. T., 2016). The following list defines the rating scale:

- Good = Trees with good health, structural stability and longevity after construction.
- Fair = Trees with fair health and/or structural defects that may be mitigated through treatment. These trees require more intense management and monitoring, before, during, and after construction, and may have shorter life expectancy after development.
- Poor = Trees are expected to decline during or after construction regardless of management. The species or individual may possess characteristics that are incompatible or undesirable in landscape settings or unsuited for the intended use of the site.

Most of the trees have fair suitability for preservation. Nine have good suitability for retention and six trees are poorly suited including three plums, two privets, and one fern pine #564. Nine trees originate on the adjacent site and their suitability is not a factor.

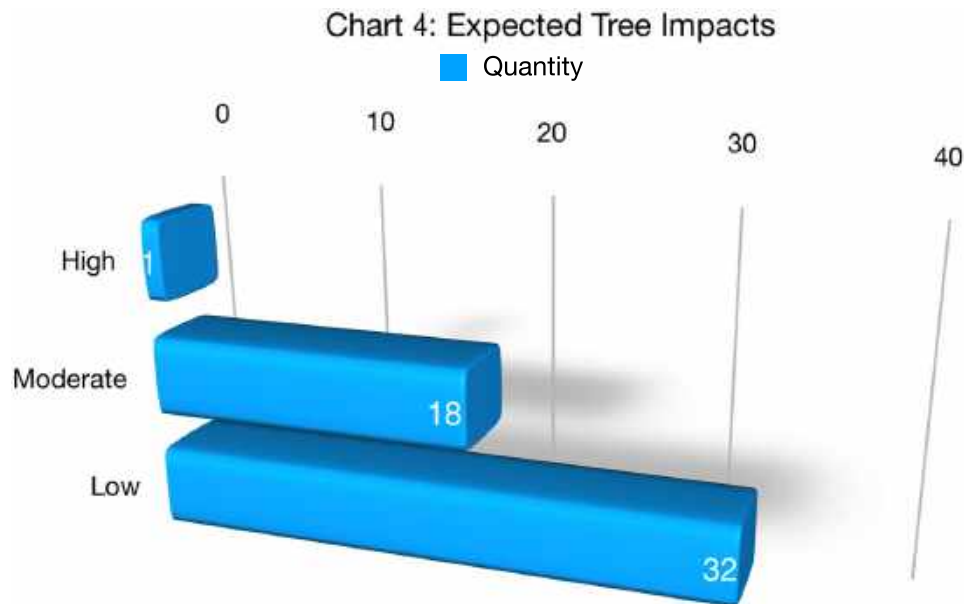


Impact Level

Impact level defines how a tree may be influenced by construction activity and proximity to the tree, and is described as low, moderate, or high. The following scale defines the impact rating:

- Low = The construction activity will have little influence on the tree.
- Moderate = The construction may cause future health or structural problems, and steps must be taken to protect the tree to reduce future problems.
- High = Tree structure and health will be compromised and removal is recommended, or other actions must be taken for the tree to remain. The tree is located in the building envelope.

One ash tree #585 is expected to be highly impacted and is in fair condition with fair suitability for preservation (Chart 4). The ash has been topped in the past and is near the proposed light well for the basement. The basement excavation and light well constriction will cause the tree to be removed. On the other side of the existing structure is a row of olive trees #546 to #561 which I would expect to be moderately impacted depending on the basement cut. Of this group of trees eleven are large enough to be considered protected by the ordinance and many are multiple trunks. The remaining 32 trees including 9 originating on adjacent properties will not be affected.



Tree Protection

There are three different tree protection schemes which are called Type I, Type II and Type III trunk protection only (Figures 1, 2, and 3). Tree protection focuses on protection from damage to the roots, trunk, or scaffold branches (Appendix D). The most current accepted method for determining the TPZ is to use a formula based on species tolerance, tree age/vigor, and trunk diameter (Matheny, N. and Clark, J. 1998) (Fite, K, and Smiley, E. T., 2016). Preventing mechanical damage to the trunk from equipment or hand tools can be accomplished by wrapping the main stem with straw wattle or using vertical timbers (Figure 3).

Tree protection for this project will consist of placing fence along the side of the property to protect olives #546 to #561, ash 583. The entire back portion of the site can be fenced off to prevent access to trees #564 to #576. This would consist of a Type I protection scheme. The coast live oak at the front of the property along the road #535 will need to have its trunk protected in a Type III scheme with either straw wattle or timber to prevent construction vehicles and equipment from damaging it as they enter and leave the site.

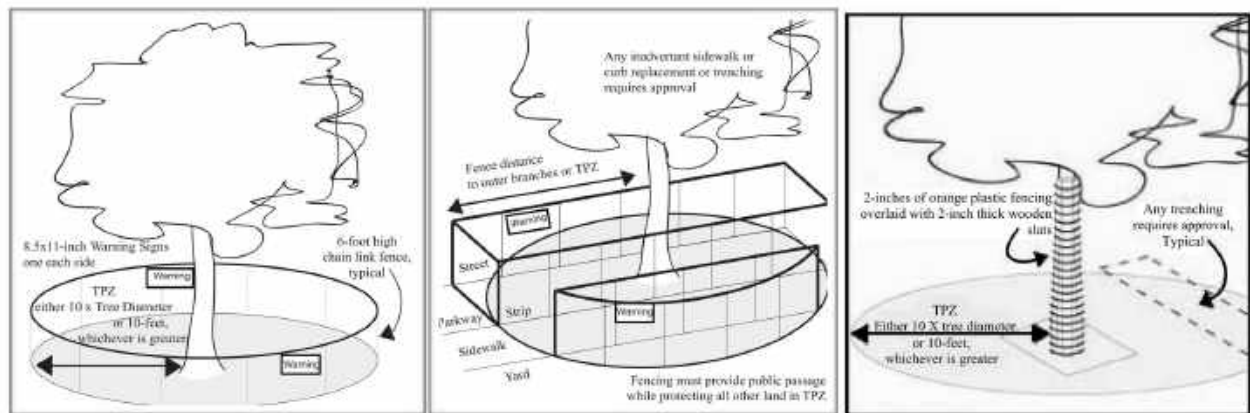


Figure 1: Type I Tree protection with fence placed at a radius of ten times the trunk diameter. Image City of Palo Alto 2006.

Figure 2: Type II Tree protection with fence placed along the sidewalk and curb to enclose the tree. Image City of Palo Alto 2006.

Figure 3: Type III Tree protection with trunk protected by a barrier to prevent mechanical damage. Image City of Palo Alto 2006..



Conclusion

The inventory contains 51 trees comprised of 17 different species with European olive being the most abundant accounting for 41 percent of all trees assessed. Thirty trees have trunk diameters fifteen inches or greater and would be considered protected “Heritage Trees”. Nine trees originate on the adjacent property with most located along the driveway.

Most of the trees are in fair condition while sixteen are in good shape and five poor. Of the five trees in poor condition four originate on the adjacent site.

The majority have fair suitability for preservation with nine having good suitability for retention. Six trees are poorly suited for preservation and include three plums, two privets, and one fern pine #564 growing up against the house.

One ash tree #585 is expected to be highly impacted and is in fair condition with fair suitability for preservation. The ash has been topped in the past and is near the proposed light well for the basement. On the other side of the existing structure is a row of olive trees #546 to #561 which I would expect to be moderately impacted depending on the basement cut. The remaining 32 trees including 9 originating on adjacent properties will not be affected.

Tree protection for this project will consist of placing fence along the side of the property to protect olives #546 to #561, ash 583. The entire back portion of the site can be fenced off to prevent access to trees #564 to #576. The coast live oak at the front of the property will need to have its trunk protected with either straw wattle or timbers to prevent damage from construction vehicles and equipment.



Recommendations

Pre-construction and Planning Phase

1. Place tree numbers and protection schemes on all the plans.
2. Wrap coast live oak 535 with straw wattle or brace vertical timbers against its trunk.
3. Place tree protection fence along the side yard at the location of the old house foundation once demolition is complete to protect olives #546 through #563.
4. Place tree protection fence at the edge of the concrete pool patio to protect ash #583.
5. Place tree protection fence across the back of the property in front of fen pine #564 to exclude personal and equipment from entering the back of the site.
6. All tree maintenance and care shall be performed by a qualified arborist with a C-61/D-49 California Contractors License. Tree maintenance and care shall be specified in writing according to American National Standard for Tree Care Operations: *Tree, Shrub and Other Woody Plant Management: Standard Practices* parts 1 through 10 and adhere to ANSI Z133.1 safety standards and local regulations.
7. Refer to Appendix D for general tree protection guidelines including recommendations for arborist assistance while working under trees, trenching, or excavation within a trees drip line.
8. Copy Appendix A, B, and D of the arborist report to the final set of plans, which will serve as part of the Tree Preservation Plan.
9. Provide a copy of this report to all contractors and project managers, including the architect, civil engineer, and landscape designer or architect. It is the responsibility of the owner to ensure all parties are familiar with this document.
10. Arrange a pre-construction meeting with the project arborist or landscape architect to verify tree protection is in place, with the correct materials, and at the proper distances.
11. Arrange for the project arborist to monitor and document initial grading activity and no grading is to occur within any tree protection zone including utility hook-ups.



Construction Phase

1. Maintain tree protection fence around all trees to be retained. When the landscape is to be installed have the project arborist authorize and monitor the removal and replacement of the fence locations if necessary.

Post-Construction Phase

1. Monitor the health and structure of all trees for any changes in condition.
2. Perform any other mitigation measures to help ensure long term survival.
3. Have a Level 2: Basic Tree Risk Assessment performed to help identify any tree defects or conditions that could lead to a failure striking a target and include consequences and a risk rating.



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Glossary of Terms

Defect: An imperfection, weakness, or lack of something necessary. In trees defects are injuries, growth patterns, decay, or other conditions that reduce the tree's structural strength.

Diameter at breast height (DBH): Measures at 1.4 meters (4.5 feet) above ground in the United States, Australia (arboriculture), New Zealand, and when using the Guide for Plant Appraisal, 9th edition; at 1.3 meters (4.3 feet) above ground in Australia (forestry), Canada, the European Union, and in UK forestry; and at 1.5 meters (5 feet) above ground in UK arboriculture.

Drip Line: Imaginary line defined by the branch spread or a single plant or group of plants.

Mechanical damage: Physical damage caused by outside forces such as cutting, chopping or any mechanized device that may strike the tree trunk, roots or branches.

Scaffold branches: Permanent or structural branches that form the scaffold architecture or structure of a tree.

Straw wattle: also known as straw worms, bio-logs, straw noodles, or straw tubes are man made cylinders of compressed, weed free straw (wheat or rice), 8 to 12 inches in diameter and 20 to 25 feet long. They are encased in jute, nylon, or other photo degradable materials, and have an average weight of 35 pounds.

Tree Protection Zone (TPZ): Defined area within which certain activities are prohibited or restricted to prevent or minimize potential injury to designated trees, especially during construction or development.

Tree Risk Assessment: Process of evaluating what unexpected things could happen, how likely it is, and what the likely outcomes are. In tree management, the systematic process to determine the level of risk posed by a tree, tree part, or group of trees.

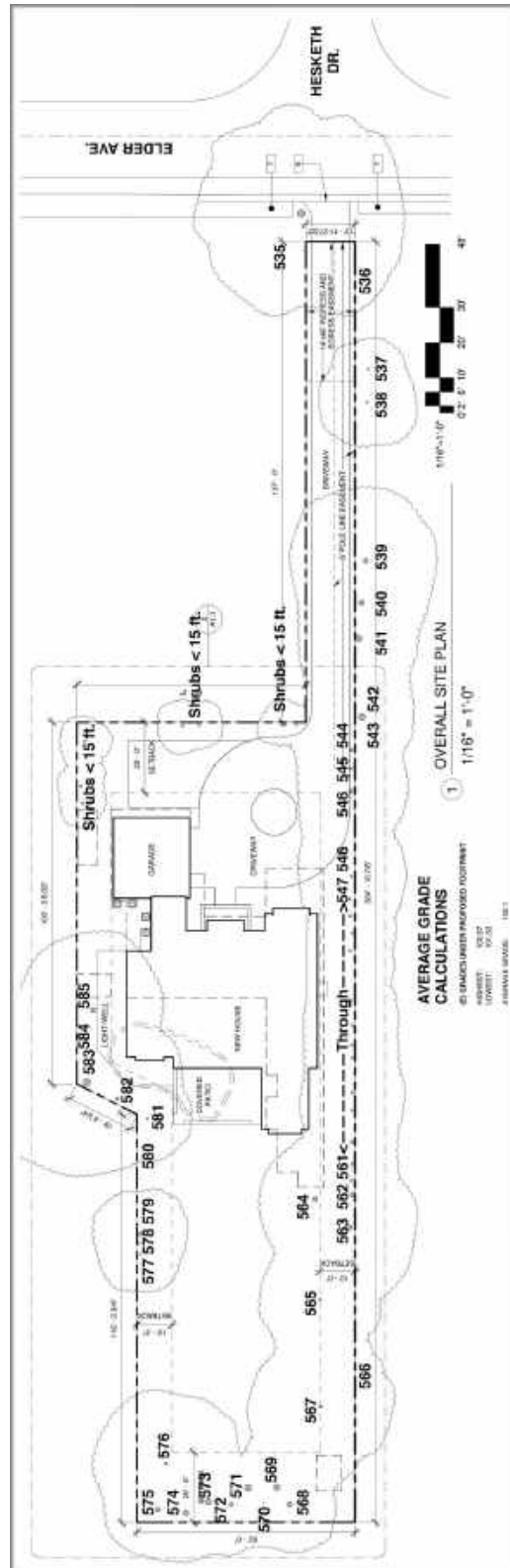
Trunk: Stem of a tree.

Volunteer: A tree, not planted by human hands, that begins to grow on residential or commercial property. Unlike trees that are brought in and installed on property, volunteer trees usually spring up on their own from seeds placed onto the ground by natural causes or accidental transport by people. Normally, volunteer trees are considered weeds and removed, but many desirable and attractive specimens have gone on to become permanent residents on many public and private grounds.



Appendix A: Site Plan and Tree Locations

Not to scale. Taken from A1.1



Appendix B: Tree Inventory and Assessment Tables

Table 2: Tree Inventory Summary

Tree Species	I.D. #	Trunk Diameter (in.)	~ Height (ft.)	~ Canopy Diameter (ft.)	Condition	Suitability	Impact	Heritage
coast live oak (<i>Quercus agrifolia</i>)	535	24	35	30	Fair	Good	Low	Yes
Jacaranda (<i>Jacaranda mimosifolia</i>)	536	8	20	20	Fair	N/A	Low	
loquat (<i>Eriobotrya japonica</i>)	537	8	20	20	Fair	N/A	Low	
valley oak (<i>Quercus lobata</i>)	538	6	30	20	Good	N/A	Low	
Unknown species	539	8	35	35	Poor	N/A	Low	
black locust (<i>Robinia pseudoacacia</i>)	540	15	65	35	Poor	N/A	Low	Yes
buckeye (<i>Aesculus californica</i>)	541	24	25	25	Poor	N/A	Low	Yes
black locust (<i>Robinia pseudoacacia</i>)	542	20	75	35	Fair	N/A	Low	Yes
black locust (<i>Robinia pseudoacacia</i>)	543	24	65	35	Poor	N/A	Low	Yes
European olive (<i>Olea europaea</i>)	544	22	45	30	Fair	Fair	Low	Yes
European olive (<i>Olea europaea</i>)	545	8	45	30	Fair	Fair	Low	
European olive (<i>Olea europaea</i>)	546	12	45	30	Fair	Fair	Moderate	



Tree Species	I.D. #	Trunk Diameter (in.)	~ Height (ft.)	~ Canopy Diameter (ft.)	Condition	Suitability	Impact	Heritage
European olive (<i>Olea europaea</i>)	547	15	45	30	Fair	Fair	Moderate	Yes
European olive (<i>Olea europaea</i>)	548	32 X 13	45	30	Fair	Fair	Moderate	Yes
European olive (<i>Olea europaea</i>)	549	14	45	30	Fair	Fair	Moderate	
European olive (<i>Olea europaea</i>)	550	18 x 13	45	30	Fair	Fair	Moderate	Yes
European olive (<i>Olea europaea</i>)	551	24	45	30	Fair	Fair	Moderate	Yes
European olive (<i>Olea europaea</i>)	552	19	45	30	Fair	Fair	Moderate	Yes
European olive (<i>Olea europaea</i>)	553	22	45	30	Fair	Fair	Moderate	Yes
European olive (<i>Olea europaea</i>)	554	21	45	30	Fair	Fair	Moderate	Yes
European olive (<i>Olea europaea</i>)	555	20	45	30	Fair	Fair	Moderate	Yes
European olive (<i>Olea europaea</i>)	556	20	45	30	Fair	Fair	Moderate	Yes
European olive (<i>Olea europaea</i>)	557	38 X 20	45	30	Fair	Fair	Moderate	Yes
European olive (<i>Olea europaea</i>)	558	8	45	30	Fair	Fair	Moderate	
European olive (<i>Olea europaea</i>)	559	16	45	30	Fair	Fair	Moderate	Yes



Tree Species	I.D. #	Trunk Diameter (in.)	~ Height (ft.)	~ Canopy Diameter (ft.)	Condition	Suitability	Impact	Heritage
European olive (<i>Olea europaea</i>)	560	12	45	30	Fair	Fair	Moderate	
European olive (<i>Olea europaea</i>)	561	10	45	30	Fair	Fair	Moderate	
European olive (<i>Olea europaea</i>)	562	17	45	30	Fair	Fair	Low	Yes
European olive (<i>Olea europaea</i>)	563	32	45	30	Fair	Fair	Low	Yes
fern pine (<i>Afrocarpus falcatus</i>)	564	18	55	40	Good	Poor	Low	Yes
Japanese maple (<i>Acer palmatum</i>)	565	14	25	25	Good	Fair	Low	
European olive (<i>Olea europaea</i>)	566	24	45	35	Fair	N/A	Low	Yes
southern magnolia (<i>Magnolia grandiflora</i>)	567	14	35	35	Good	Fair	Low	
coast redwood (<i>Sequoia sempervirens</i>)	568	16	75	30	Good	Good	Low	Yes
coast redwood (<i>Sequoia sempervirens</i>)	569	22	75	30	Good	Good	Low	Yes
coast redwood (<i>Sequoia sempervirens</i>)	570	5	20	10	Poor	Good	Low	
coast redwood (<i>Sequoia sempervirens</i>)	571	22	75	25	Good	Good	Low	Yes
coast redwood (<i>Sequoia sempervirens</i>)	572	13	75	25	Good	Good	Low	



Tree Species	I.D. #	Trunk Diameter (in.)	~ Height (ft.)	~ Canopy Diameter (ft.)	Condition	Suitability	Impact	Heritage
coast redwood (<i>Sequoia sempervirens</i>)	573	20	75	25	Good	Good	Low	Yes
coast redwood (<i>Sequoia sempervirens</i>)	574	17	55	25	Good	Good	Low	Yes
coast redwood (<i>Sequoia sempervirens</i>)	575	18	55	25	Good	Good	Low	Yes
English walnut (<i>Juglans regia</i>)	576	24	35	35	Good	Fair	Low	Yes
purple plum (<i>Prunus cerasifera</i>)	577	6	30	15	Fair	Poor	Low	
purple plum (<i>Prunus cerasifera</i>)	578	8	30	15	Fair	Poor	Low	
purple plum (<i>Prunus cerasifera</i>)	579	14	30	15	Fair	Poor	Low	
fern pine (<i>Afrocarpus falcatus</i>)	580	11	35	30	Fair	Fair	Low	
pear (<i>Pyrus calleryana</i>)	581	6	20	15	Fair	Fair	Low	
privet (<i>Ligustrum lucidum</i>)	582	11	35	25	Good	Poor	Low	
Shamel ash (<i>Fraxinus uhdei</i>)	583	24	35	25	Good	Fair	Moderate	Yes
privet (<i>Ligustrum lucidum</i>)	584	8	35	25	Good	Poor	Moderate	
Shamel ash (<i>Fraxinus uhdei</i>)	585	21	35	25	Fair	Fair	High	Yes



Appendix C: Photographs

C1: Row of olives #546 through #561



C2: Fern pine 564 against the existing house



C3: Ash #583 and #585



C4: Coast redwoods #568 to #575 in back



C5: Coast live oak 535 in front



C6: Driveway



Appendix D: Tree Protection Guidelines

13.24.025 Maintenance and preservation of heritage trees.

Any person who owns, controls, has custody or possession of any real property within the city shall use reasonable efforts to maintain and preserve all heritage trees located thereon in a state of good health pursuant to the provisions of this chapter. Failure to do so shall constitute a violation of this chapter. Any person who conducts any grading, excavation, demolition or construction activity on property shall do so in such a manner as to not threaten the health or viability or cause the removal of any heritage tree. Any work performed within an area ten (10) times the diameter of the tree (i.e., the tree protection zone) shall require submittal of a tree protection plan for review and approval by the director of community development or his or her designee prior to issuance of any permit for grading or construction. The tree protection plan shall be prepared by a certified arborist and shall address issues related to protective fencing and protective techniques to minimize impacts associated with grading, excavation, demolition and construction. The director of community development or his or her designee may impose conditions on any city permit to assure compliance with this section. (Ord. 928 § 1 (part), 2004).

13.24.030 Removal and major pruning of heritage trees prohibited.

It is unlawful for any person to remove, or cause to be removed any heritage tree from any parcel of property in the city, or prune more than one-fourth of the branches or roots within a twelve (12) month period, without obtaining a permit; provided, that in case of emergency, when a tree is imminently hazardous or dangerous to life or property, it may be removed by order of the police chief, fire chief, the director of public works or their respective designees. Any person who vandalizes, grievously mutilates, destroys or unbalances a heritage tree without a permit or beyond the scope of an approved permit shall be in violation of this chapter. (Ord. 928 § 1 (part), 2004).

Pre-Construction Meeting with the Project Arborist

Tree protection locations should be marked before any fencing contractor arrives.

Prior to beginning work, all contractors involved with the project should attend a pre construction meeting with the project arborist to review the tree protection guidelines. Access routes, storage areas, and work procedures will be discussed.



Tree Protection Zones and Fence Specifications

Tree protection fence should be established prior to the arrival of construction equipment or materials on site. Fence should be comprised of six-foot high chain link fence mounted on eight-foot tall, 1 7/8-inch diameter galvanized posts, driven 24 inches into the ground and spaced no more than 10 feet apart. Once established, the fence must remain undisturbed and be maintained throughout the construction process until final inspection.

The fence should be maintained throughout the site during the construction period and should be inspected periodically for damage and proper functions. Fence should be repaired, as necessary, to provide a physical barrier from construction activities.

Monitoring

Any trenching, construction or demolition that is expected to damage or encounter tree roots should be monitored by the project arborist or a qualified ISA Certified Arborist and should be documented.

The site should be evaluated by the project arborist or a qualified ISA Certified Arborist after construction is complete, and any necessary remedial work that needs to be performed should be noted.

Restrictions Within the Tree Protection Zone

No storage of construction materials, debris, or excess soil will be allowed within the Tree Protection Zone. Spoils from the trenching shall not be placed within the tree protection zone either temporarily or permanently. Construction personnel and equipment shall be routed outside the tree protection zones.

Root Pruning

Root pruning shall be supervised by the project arborist. When roots over two inches in diameter are encountered they should be pruned by hand with loppers, handsaw, reciprocating saw, or chain saw rather than left crushed or torn. Roots should be cut beyond sinker roots or outside root branch junctions and be supervised by the project arborist. When completed, exposed roots should be kept moist with burlap or backfilled within one hour.



Boring or Tunneling

Boring machines should be set up outside the drip line or established Tree Protection Zone. Boring may also be performed by digging a trench on both sides of the tree until roots one inch in diameter are encountered and then hand dug or excavated with an Air Spade® or similar air or water excavation tool. Bore holes should be adjacent to the trunk and never go directly under the main stem to avoid oblique (heart) roots. Bore holes should be a minimum of three feet deep.

Timing

If the construction is to occur during the summer months supplemental watering and treatments should be applied to help ensure survival during and after construction.

Tree Pruning and Removal Operations

All tree pruning or removals should be performed by a qualified arborist with a C-61/D-49 California Contractors License. Tree pruning should be specified in writing according to ANSI A-300A pruning standards and limitations and adhere to ANSI Z133.1 safety standards. Trees that need to be removed or pruned should be identified in the pre-construction walk through.

Tree Protection Signs

All sections of fencing should be clearly marked with signs stating that all areas within the fencing are Tree Protection Zones and that disturbance is prohibited. Text on the signs should be in both English and Spanish (Appendix E).



Appendix E: Tree Protection Signs

E1: English

WARNING

Tree Protection Zone

**This Fence Shall not be moved without
approval. Only authorized personnel
may enter this area!**

Project Arborist



E2: Spanish

CUIDADO
Zona De Arbol Pretejido
Esta cerca no sera removida sin
aprobacion. Solo personal autorizado
entrara en esta area!

Project Arborist



Qualifications, Assumptions, and Limiting Conditions

Any legal description provided to the consultant is assumed to be correct. Any titles or ownership of properties are assumed to be good and marketable. All property is appraised or evaluated as though free and clear, under responsible ownership and competent management.

All property is presumed to be in conformance with applicable codes, ordinances, statutes, or other regulations.

Care has been taken to obtain information from reliable sources. However, the consultant cannot be responsible for the accuracy of information provided by others.

The consultant shall not be required to give testimony or attend meetings, hearings, conferences, mediations, arbitration, or trials by reason of this report unless subsequent contractual arrangements are made, including payment of an additional fee for such services.

This report and any appraisal value expressed herein represent the opinion of the consultant, and the consultant's fee is not contingent upon the reporting of a specified appraisal value, a stipulated result, or the occurrence of a subsequent event.

Sketches, drawings, and photographs in this report are intended for use as visual aids, are not necessarily to scale, and should not be construed as engineering or architectural reports or surveys. The reproduction of information generated by architects, engineers, or other consultants on any sketches, drawings, or photographs is only for coordination and ease of reference. Inclusion of said information with any drawings or other documents does not constitute a representation as to the sufficiency or accuracy of said information.

Unless otherwise expressed: a) this report covers only examined items and their condition at the time of inspection; and b) the inspection is limited to visual examination of accessible items without dissection, excavation, probing, or coring. There is no warranty or guarantee, expressed or implied, that structural problems or deficiencies of plants or property may not arise in the future.



Certification of Performance

I Richard Gessner, Certify:

That I have personally inspected the tree(s) and/or the property referred to in this report, and have stated my findings accurately. The extent of the evaluation and/or appraisal is stated in the attached report and Terms of Assignment;

That I have no current or prospective interest in the vegetation or the property that is the subject of this report, and I have no personal interest or bias with respect to the parties involved;

That the analysis, opinions and conclusions stated herein are my own;

That my analysis, opinions, and conclusions were developed and this report has been prepared according to commonly accepted Arboricultural practices;

That no one provided significant professional assistance to the consultant, except as indicated within the report.

That my compensation is not contingent upon the reporting of a predetermined conclusion that favors the cause of the client or any other party, nor upon the results of the assessment, the attainment of stipulated results, or the occurrence of any other subsequent events;

I further certify that I am a Registered Consulting Arborist® with the American Society of Consulting Arborists, and that I acknowledge, accept and adhere to the ASCA Standards of Professional Practice. I am an International Society of Arboriculture Board Certified Master Arborist®. I have been involved with the practice of Arboriculture and the care and study of trees since 1998.

Richard J. Gessner



ASCA Registered Consulting Arborist® #496
ISA Board Certified Master Arborist® WE-4341B
ISA Tree Risk Assessor Qualified
CA Qualified Applicators License QL104230

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STAFF REPORT

Planning Commission

Meeting Date: 4/8/2019
Staff Report Number: 19-028-PC

Public Hearing: **Conditional Development Permit Amendment/Sharon Hills (1-45 Biltmore Lane; 1115-1135 Continental Drive; 2-55 Hallmark Circle; 1-15 Oliver Circle; 2-26 Susan Gale Court; 2300 Tioga Drive; 1200-1371 Trinity Drive)/Sharon Hills Community Association**

Recommendation

Staff recommends that the Planning Commission review and recommend that the City Council approve an amended and restated conditional development permit (CDP) to allow small-scale modification and expansion projects on existing townhouses to be processed through the ministerial building permit process, provided the proposals have received architectural approval by the Sharon Hills Community Association (SHCA). Currently, such projects require approval of the SHCA and architectural control approval by the Planning Commission, prior to building permit review. The site is part of the R-E-S(X) (Residential Estate Suburban, Conditional Development) zoning district. No changes to the number of dwelling units or other development standards are proposed, and the three standard lots that were created as part of this CDP (1200 and 1205 Trinity Drive, and 2300 Tioga Drive) would not be affected by the proposed changes. The draft CDP is included as Attachment A.

Policy Issues

Each conditional development permit request is considered individually. The subject request involves setting up a new administrative review process for modest exterior changes to the existing townhouse buildings, which has the potential to make the City's review process more efficient for this developed CDP.

Background

Site location

The subject properties are located in Sharon Heights, at the end of Valparaiso Avenue. The combined site is approximately 38 acres in size, and adjoins the Town of Atherton and Unincorporated San Mateo County on the west and north, respectively. The site contains 77 townhomes and associated private recreational facilities, three single-family residential parcels, and a public park (Sharon Hills Park). The CDP covers the following addresses: 1-45 Biltmore Lane; 1115-1135 Continental Drive; 2-55 Hallmark Circle; 1-15 Oliver Circle; 2-26 Susan Gale Court; 2300 Tioga Drive; and 1200-1371 Trinity Drive. A location map is included as Attachment B.

The broader area is hilly in nature, with mature landscaping and residences in a variety of styles and

scales. The nearby residences that are within the City of Menlo Park are part of the R-E-S (Residential Estate Suburban) and R-1-S (Single Family Suburban Residential) zoning districts. Sharon Hills Park features walking trails and limited park infrastructure (i.e., no playing fields or restrooms).

Original development

The subject parcels were developed through a CDP that was approved in 1982 (Attachment C). The property was known at the time as 4000 Valparaiso Avenue or “The Hill.” As specified in the Zoning Ordinance, a “conditional development permit may be issued to allow adjustment of the requirements of the district in order to secure special benefits possible through comprehensive planning of such large development. Further, such adjustment is intended to allow relief from the monotony of standard development; to permit the application of new and desirable development techniques; and to encourage more usable open space than would otherwise be provided with standard development.”

The adopted CDP specifies that “Precise Development Plans shall be submitted to the Planning Commission for Architectural Control review and approval prior to the issuance of Building Permits.” Following the Planning Commission’s approval of the initial precise development plans, construction of the townhomes and associated improvements (e.g., streets) took place in the early-/mid-1980s. The approvals of the project resulted in the formation of the Sharon Hills Community Association (SHCA), which is the homeowners’ association (HOA) for the townhouse portion of the development. The SHCA is governed by CC&Rs (Covenants, Conditions and Restrictions). Each of the SHCA townhomes occupies a parcel owned by that particular homeowner, while the common areas and recreational facilities under the control of the SHCA.

The three conventional lots that were created in conjunction with the CDP share the R-E-S(X) zoning and are technically covered by the CDP, but effectively function like all other R-E-S lots. Owners of these properties can improve and redevelop their properties like other detached, single-family residential owners can, and they are not part of the SHCA. Sharon Hills Park, which was developed as part of the CDP, has been turned over to the City and is maintained and improved similar to other public parks.

Current process for townhouse modifications

For the townhomes, interior alterations and “like for like” exterior material replacements are processed through the City’s ministerial building permit process. For substantive exterior changes (including exterior material changes that are not “like for like,” as well as additions that take place within the individual homeowner’s parcel lines), Planning Commission architectural control review and approval is required, due to the CDP provision regarding precise development plans. For such projects, the SHCA CC&Rs also require review and recommendation by their Architectural Control Committee (ACC) and final action by the SHCA Board, prior to submitting a Planning Commission architectural control application. The SHCA review process is detailed and thorough, and SHCA representatives have confirmed that not every proposal is approved.

Staff and the applicant generally understand that the volume of exterior changes was limited in the period immediately following the development’s construction. However, the number of such proposals appears to have increased in recent years, possibly as a result of the buildings’ ages and changing aesthetic

preferences. A listing of the seven Sharon Hills architectural control applications made since 2012 is included as Attachment D. In all of these instances, the item was listed on the Consent Calendar and was approved unanimously by the Planning Commission (with some absences or abstentions, for other reasons), without any discussion.

Analysis

Project description

The applicant is proposing that the CDP be amended and restated in order to allow for small-scale renovation and expansion projects to be reviewed and processed through the ministerial building permit process, provided the proposals have received architectural approval by the SHCA, without requiring any architectural control approval by the Planning Commission. The applicant's project description letter, including example photographs of recently-approved changes, is attached as Attachment E.

In preliminary discussions with the SHCA regarding this proposal, staff generally concurred that the current requirement for Planning Commission review could be considered unnecessary, given the fact that the SHCA's own review processes are detailed and allow for input from fellow SHCA homeowners. In addition, the limited input by the Planning Commission and the broader public in the recent example cases also implies that these types of changes could be processed administratively without negative external effects.

After reviewing the original CDP, which is in an outdated format and which includes a number of completed provisions that were specific to the original construction of the project, staff determined that it would be clearest to propose a comprehensively amended and restated CDP that would replace the earlier CDP in its entirety (as opposed to modifying or supplementing the current CDP). The draft CDP (Attachment A) has the following structure:

- General Information
 - Applicant/ownership
 - Nature of project
 - Addresses and project data
- Development Standards
 - Reiteration of the key binding development standards (e.g., dwelling unit count, building height), so that it is clear this proposal is not changing any of those
 - Clarifications regarding standards that have been added/changed in local ordinances since the original CDP adoption (e.g., Floor Area Limit (FAL), which does not apply since it was not in effect before the original development)
 - Restatement that the three conventional single-family lots that were created as part of the original CDP still adhere to the standard R-E-S requirements, except for minimum lot width
- Project Plans and Approvals [*the section with the most revised/new content*]
 - Interior-only changes
 - Only need any applicable building permit; no SHCA approval for interior townhome changes required since the SHCA CC&Rs do not require this; SHCA approval needed for interior modifications to their recreational facilities

- Exterior changes
 - SHCA-approved modifications that fall within the individual townhouse lot lines, or recreation facility changes that fall into their equivalent zone, can proceed under the ministerial building permit process. Examples of such changes include: size of and placement of windows and sliding doors, decks/railings where deck size does not change, front and/or garage doors, roofs over interior atriums, and more as noted.
 - Exterior modifications that extend past the individual townhouse lot lines, such as deck extensions, require both SHCA approval and Planning Commission architectural control approval, and would also have to follow administrative procedures that were established by staff in 2011 to address certain technical requirements.
 - Changes to plantings within existing landscaped areas would be at the discretion of the SHCA, provided all relevant City regulations (e.g., Water-Efficient Landscaping Ordinance) are followed. Changes to the extents of landscaped/paved areas themselves would require Community Development Director review and approval.
 - The three conventional lots would continue to follow the standard R-E-S review and approval process.
- Standard Condition
 - Changes to this CDP would require Planning Commission review and recommendation and City Council review and action.
- General Conditions
 - Typical requirements regarding indemnity and severability
- Exhibits
 - Listing of current addresses, APNs (Assessor's Parcel Numbers), and owner names [*not attached to this staff report due to privacy concerns, but available for review on request*]
 - Plat of property, from the original subdivision map

Staff believes that this structure would effectively address the SHCA's objectives, while still addressing the general public interest for attractive and context-sensitive aesthetics. The draft CDP has been reviewed by both the City Attorney and the SHCA.

Correspondence

Staff has received nine letters regarding the request, included as Attachment F. The letters are all supportive of the proposal, with several noting that the SHCA review process provides adequate oversight.

Conclusion

Staff believes that the proposal to amend and restate the CDP would establish a more efficient review process for modest-scale building modifications, which have not historically been a focus of interest for the Planning Commission or the broader public. The SHCA's review and approval process would continue to allow for input from the SHCA owners themselves and to address detailed design feedback, and the Planning Commission's review would be focused on more substantive modification proposals. Staff recommends that the Planning Commission recommend that the City Council adopt the amended and restated CDP.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines, in that the subject properties have already been developed, and the number of dwelling units and other critical development regulations would not change. The proposal would only modify the review process for small-scale modifications to the existing townhomes.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Attachments

- A. Draft Amended and Restated Conditional Development Permit
- B. Location Map
- C. Adopted Conditional Development Permit, 1982
- D. Recent Sharon Hills Architectural Control Applications
- E. Project Description Letter
- F. Correspondence

Disclaimer

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

Exhibits to Be Provided at Meeting

None

Report prepared by:
Thomas Rogers, Principal Planner

Report reviewed by:
Kyle Perata, Acting Principal Planner

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AMENDED AND RESTATED CONDITIONAL DEVELOPMENT PERMIT

Sharon Hills

This amended and restated Conditional Development Permit (CDP) replaces in its entirety the CDP adopted by the Menlo Park City Council on November 16, 1982.

1. GENERAL INFORMATION:

- 1.1. Applicant: Sharon Hills Community Association (SHCA) (and its successors and assigns)
- 1.2. Property Owner: Owners of properties described in Exhibit A (and their successors and assigns)
- 1.3. Nature of Project: An amendment to a Conditional Development Permit (CDP) to enable the following:
 - 1.3.1. Remove completed or otherwise unnecessary provisions of the 1982 CDP;
 - 1.3.2. Restate ongoing development regulations and other obligations;
 - 1.3.3. Reference existing administrative procedures for deck extensions into the Public Utility Easement (PUE) and Emergency Access Easement (EAE) Common Areas; and
 - 1.3.4. Establish a review process to allow small-scale exterior modifications to be processed through the building permit process, without Planning Commission architectural control review.
- 1.4. Project Location (Project Site)
 - 1.4.1. Address: 1-45 Biltmore Lane; 1115-1135 Continental Drive; 2-55 Hallmark Circle; 1-15 Oliver Circle; 2-26 Susan Gale Court; 2300 Tioga Drive; 1200-1371 Trinity Drive
 - 1.4.2. Assessor's Parcel Numbers (APNs) and Legal Descriptions: Exhibit A
 - 1.4.3. Area of Property: ± 38 acres
 - 1.4.4. Plat of Property: Exhibit B
 - 1.4.5. Zoning: R-E-S(X) (Residential Estate Suburban, Conditional Development)

2. DEVELOPMENT STANDARDS:

- 2.1. Permitted Uses: Clustered housing, recreational facilities to serve the project, single-family detached dwellings, and a public park (Sharon Hills Park).
- 2.2. Overall Residential Density: The development shall consist of 77 townhouses and three detached dwellings. The three detached dwellings may each include a Secondary Dwelling Unit (SDU) in accordance with applicable regulations, but the 77 townhouses may not.
- 2.3. Townhouse Units
 - 2.3.1. Building Coverage: Maximum building coverage at the site shall be 15 percent. As documented by the SHCA in 2009, the hypothetical enclosure of all atriums, including both the interior atriums (bounded by four walls) and the outer atriums (bounded by three walls, which SHCA refers to as “patios”) would not exceed this limit; as a result; no additional building coverage calculations are required for any enclosure of those types of atriums, but may be required for building additions that extend past the bounded building footprints.
 - 2.3.2. Height: Building height shall not exceed 35 feet from the average natural grade, and all buildings shall be properly screened from nearby residential areas.
 - 2.3.3. Landscaping: Open areas, including common open space, pathways, and other areas not occupied by structures with roofs (including trellises), but not including driveways, streets, or open parking areas, shall be at least 65 percent of the site.
 - 2.3.4. Parking: Two garage parking spaces shall be provided for each housing unit. Additional guest parking for the residential development shall continue to be provided at the ratio of one parking space per unit, and as is more specifically set forth in the SHCA CC&Rs (Covenants, Conditions & Restrictions).
 - 2.3.5. Floor Area Limit (FAL): As a result of the fact that the FAL standard did not exist at the time the 1982 CDP was adopted, and because none of the approved development standards are proposed to change, the townhouse units remain exempt from FAL.
- 2.4. Conventional Lots
 - 2.4.1. The three conventional lots (1200 Trinity Drive, 1205 Trinity Drive, and

2300 Tioga Drive) shall conform with the development regulations for the R-E-S Zoning District with the exception of the 100-foot width requirement. As a result of the latter provision, all three lots are standard lots as it relates to Zoning Ordinance Chapter 16.59 (“Lots”).

3. PROJECT PLANS AND APPROVALS:

3.1. Townhouse Units and Associated Recreational Facility Buildings

3.1.1. Interior-Only Changes: Modifications that only affect the interior of the townhouses or recreational facility buildings shall be processed through the building permit process to the extent applicable. Such interior-only changes do not require approval by the SHCA Board of Directors, although any modifications to the recreational facility buildings will require authorization by SHCA as the owners of those buildings.

3.1.2. Exterior Changes:

3.1.2.1. Exterior modifications to individual units that fall within the unit’s lot line as shown on the Sharon Hills I Residential Subdivision Map (Volume 109, Pages 88-92) shall be processed through the building permit process to the extent applicable, provided that the SHCA Board of Directors have granted approval of the project, and documentation of such approval is submitted with the building permit application. Examples of such modifications include, but are not limited to:

- Size of and placement of windows and sliding doors
- Decks/railings where deck size does not change
- Front and/or garage doors
- Skylights
- Roofs over interior atriums
- Structures to separate adjoining decks between two townhouses
- Outside shades/blinds/awnings for windows or decks
- Enclosure of outside atriums (“patios”, in SHCA terminology)
- Chimney removal

3.1.2.2. Exterior modifications to the recreational facilities that fall within the “Exception to P.U.E.” zone on the Sharon Hills I Residential Subdivision Map (Volume 109, Page 92) shall be processed through the building permit process to the extent applicable, provided that the SHCA Board of Directors have granted approval of the project, and documentation of such approval is submitted with the building permit application.

3.1.2.3. Exterior modifications to individual units that fall outside the unit's lot line as shown on the Sharon Hills I Residential Subdivision Map (Volume 109, Pages 88-92) shall require SHCA Board of Directors review and approval and City of Menlo Park Planning Commission Architectural Control review and approval, prior to being processed through the building permit process to the extent applicable. Any submittal for Planning Commission Architectural Control review shall include application elements (e.g., plans, color and materials board) as specified by the Planning Division. Deck extensions or other encroachments into the "P.U.E. & Emergency Access Easement" zones on the Sharon Hills I Residential Subdivision Map (Volume 109, Pages 88-92) shall also follow administrative procedures as specified in the January 31, 2011 letter from Charles Taylor (included as Exhibit C), or any successor letter from the Public Works Director or his/her designee.

3.1.3. Changes to plantings within existing landscaped areas shall be at the discretion of the SHCA, subject to compliance with all applicable City regulations (for example: Heritage Tree Ordinance, Water-Efficient Landscaping Ordinance). Changes to the extent of landscaped/paved areas themselves shall require review and approval of the Community Development Director or designee.

3.2. Conventional Lots:

3.2.1. Modifications to, or redevelopment of, the three conventional lots (1200 Trinity Drive, 1205 Trinity Drive, and 2300 Tioga Drive) shall be processed in accordance with applicable Zoning Ordinance and other Municipal Code requirements.

3.2.2. As noted in Section 2.4.1, the three conventional lots are standard lots, and as such do not require Planning Commission use permit review for using a substandard lot as a building site. However, use permit review may be required as specified in the Zoning Ordinance for other reasons (e.g., certain modifications to nonconforming structures, excavation within required setbacks, etc.), consistent with other standard lots.

4. STANDARD CONDITION:

4.1. This Permit may be amended by majority vote of the City Council. Application for amendment shall be made by the SHCA, in writing, to the Planning Commission. The Planning Commission shall then forward its recommendation to the City Council.

5. GENERAL CONDITIONS:

- 5.1. Indemnity By Applicant: Applicant shall indemnify, defend and hold harmless the City, and its elective and appointive boards, commissions, officers, agents, contractors, and employees (collectively, City Indemnified Parties) from any and all claims, causes of action, damages, costs or expenses (including reasonable attorneys' fees) arising out of or in connection with, or caused on account of, the development and occupancy of the Project, any Approval with respect thereto, or claims for injury or death to persons, or damage to property, as a result of the operations of Applicant or its employees, agents, contractors, representatives or tenants with respect to the Project (collectively, Applicant Claims); provided, however, that the Applicant shall have no liability under this Section for Applicant Claims that (a) arise from the gross negligence or willful misconduct of any City Indemnified Party, or (b) arise from, or are alleged to arise from, the repair or maintenance by the City of any improvements that have been offered for dedication by the Applicant and accepted by the City.
- 5.2. Covenants Run with the Land: All of the conditions contained in this Conditional Development Permit shall run with the land comprising the Property and shall be binding upon, and shall inure to the benefit of the Applicant and its heirs, successors, assigns, devisees, administrators, representatives and lessees, except as otherwise expressly provided in this Conditional Development Permit.
- 5.3. Severability: If any condition of this Conditional Development Permit, or any part hereof, is held by a court of competent jurisdiction in a final judicial action to be void, voidable or enforceable, such condition, or part hereof, shall be deemed severable from the remaining conditions of this Conditional Development Permit and shall in no way affect the validity of the remaining conditions hereof.
- 5.4. Exhibits: The exhibits referred to herein are deemed incorporated into this Conditional Development Permit in their entirety.

SHARON HILLS-I

BEING A RE-SUBDIVISION OF SHARON HILLS, AS SHOWN IN VOLUME 97 OF MAPS, PAGES 62-68 AND LYING WITHIN THE CITY OF MENLO PARK, CALIFORNIA

SAN MATEO, CALIFORNIA

CONSISTING OF 5 SHEETS

JENNINGS-MCDERMOTT-HEISS, INC.
CIVIL ENGINEERS AND LAND PLANNERS
SAN JOSE — CALIFORNIA

SCALE 1" = 50'

OWNERS CERTIFICATE

WE HEREBY CERTIFY THAT WE ARE THE OWNERS OF THE REAL PROPERTY OR HOLDERS OF SECURITY INTERESTS OR HAVE SOME RIGHT, TITLE OR INTEREST IN AND TO THE REAL PROPERTY INCLUDED WITHIN THE SUBDIVISION SHOWN UPON THIS MAP AND THAT WE ARE THE ONLY PERSONS WHOSE NAMES SHOULD BE LISTED AS OWNERS OF SAID REAL PROPERTY. WE CONSENT TO THE MARKING OF THE RECORDS OF THE COUNTY OF SANTA CLARA WITHIN THE DISTRICTS OF RECORDS, LINES AND HEREBY DEEDS TO PUBLIC USE TRINITY DRIVE, LA LOMA DRIVE, CONTINENTAL DRIVE, AND A PORTION OF ALL MAPS AND PLANS, AND TO THE DEEDS, EASEMENTS AND INTERESTS IN ANY CERTAIN STRIPS OF LAND DESIGNATED BY LINES WITHIN LOTS 70-78 AND 79-80, EXCEPTING THE AREA DESIGNATED IN EXCEPTION TO LOT 77 AS SHOWN HEREON, AND HEREBY DEDICATE TO PUBLIC USE FOR PARK PURPOSES THOSE CERTAIN AREAS SO DESIGNATED AND HEREBY AUTHORIZE THE CITY OF MENLO PARK TO TAKE SAID SANITARY SEWERS UNDER TUNNEL OR OVER THOSE CERTAIN STRIPS OF LAND HEREIN DESCRIBED AND DESIGNATED AS IS SET FORTH IN THE SEWER STATEMENT.

IT IS HEREBY UNDERSTOOD THAT THOSE COMMON AREAS DESIGNATED AS TRINITY DRIVE, LA LOMA DRIVE, CONTINENTAL DRIVE, AND A PORTION OF ALL MAPS AND PLANS, AND TO THE DEEDS, EASEMENTS AND INTERESTS IN ANY CERTAIN STRIPS OF LAND DESIGNATED BY LINES WITHIN LOTS 70-78 AND 79-80, EXCEPTING THE AREA DESIGNATED IN EXCEPTION TO LOT 77 AS SHOWN HEREON, HAVE THE RIGHT TO INSTALL, OPERATE AND MAINTAIN TRINITY DRIVE, LA LOMA DRIVE, CONTINENTAL DRIVE, AND A PORTION OF ALL MAPS AND PLANS, AND TO THE DEEDS, EASEMENTS AND INTERESTS IN ANY CERTAIN STRIPS OF LAND HEREIN DESCRIBED AND DESIGNATED AS IS SET FORTH IN THE SEWER STATEMENT.

OWNERS

Jack R. Blackwell
BLACKWELL HOMES A PARTNERSHIP
BY JACK R. BLACKWELL, INC., PRESIDENT

TRUSTEE

Edward D. Blackwell
CALIFORNIA RECONSTRUCTION COMPANY, A CALIFORNIA CORPORATION
BY Edward D. Blackwell, Assistant Vice President

(STATE OF CALIFORNIA) SS

ON THIS 14th DAY OF April, 1983, BEFORE ME, Nancy Rose Peters, a Notary Public in and for the County of Santa Clara, California, appeared Jack R. Blackwell, known to me to be the President of Blackwell Homes A Partnership, a corporation organized under the laws of the State of California, and Edward D. Blackwell, known to me to be the Assistant Vice President of California Reconstruction Company, a corporation organized under the laws of the State of California, and they acknowledged to me that they executed the within instrument and only such knowledge to me that they executed the same on behalf of said partnership.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY OFFICIAL SEAL, THIS DAY AND YEAR IN THIS CERTIFICATE FIRST ABOVE WRITTEN.

Nancy Rose Peters
NOTARY PUBLIC



ENDORSEMENT

THE SIGNATURES REPRESENTING THE COUNTY OF SAN MATEO, AND PUBLIC GAS & ELECTRIC COMPANY'S SUCCESSORS IN INTEREST, HAVE BEEN OBTAINED AND THE SAME HAVE BEEN ATTACHED TO THIS MAP AS PROVIDED IN SECTION 18.05 OF THE GOVERNMENT CODE OF THE STATE OF CALIFORNIA.

(STATE OF CALIFORNIA) SS

ON THIS 14th DAY OF April, 1983, BEFORE ME, Hannah A. Blackwell, a Notary Public in and for the County of Santa Clara, California, appeared Jack R. Blackwell, known to me to be the President of Blackwell Homes A Partnership, a corporation organized under the laws of the State of California, and Edward D. Blackwell, known to me to be the Assistant Vice President of California Reconstruction Company, a corporation organized under the laws of the State of California, and they acknowledged to me that they executed the within instrument and only such knowledge to me that they executed the same on behalf of said partnership.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY OFFICIAL SEAL, THIS DAY AND YEAR IN THIS CERTIFICATE FIRST ABOVE WRITTEN.

Hannah A. Blackwell
NOTARY PUBLIC IN AND FOR SAN JOSE COUNTY & STATE



SURVEYORS CERTIFICATE

I, ROBERT G. MCDERMOTT, HEREBY CERTIFY THAT I AM A LICENSED SURVEYOR OF THE STATE OF CALIFORNIA, AND THAT I HAVE MADE UNDER MY DIRECTION DURING THE MONTH OF March, 1983, THAT THE SURVEY IS TRUE AND COMPLETE AS SHOWN AND THAT ALL INSTRUMENTS SHOWN ON OR BEFORE THIS MAP, AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

DATED March, 1983

Robert G. McDermott
ROBERT G. MCDERMOTT, L.S. 5724

CITY ENGINEER'S CERTIFICATE

I, LAUREN L. WILSON, CITY ENGINEER OF THE CITY OF MENLO PARK, WITHIN MAP AND AND HEREBY CERTIFY THAT I HAVE EXAMINED THE MAP AND IT IS SUBSTANTIALLY THE SAME AS IT APPEARED ON THE ORIGINAL MAP AND THAT THE SURVEY IS TRUE AND COMPLETE AS SHOWN AND THAT ALL INSTRUMENTS SHOWN ON OR BEFORE THIS MAP, AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

DATED April, 1983.

Lauren L. Wilson
CITY ENGINEER OF THE CITY OF MENLO PARK, STATE OF CALIFORNIA

COUNTY RECORDER'S CERTIFICATE

FILE NO. 83041228 FEE \$14.00 VOLUME 109 OF MAPS PAGES 82-88 OF 109 IN THE OFFICE OF THE COUNTY RECORDER OF THE COUNTY OF SAN MATEO, THIS 23rd DAY OF April, 1983.

MARVIN QUINN, SAN MATEO COUNTY RECORDER BY Edith A. Quinn

CITY CLERK'S CERTIFICATE

I, MARGARET E. SNOWDEN, CITY CLERK AND EX-OFFICIO CLERK OF THE CITY COUNCIL OF THE CITY OF MENLO PARK, HEREBY CERTIFY THAT I HAVE MADE UNDER MY DIRECTION DURING THE MONTH OF April, 1983, THAT THE SURVEY IS TRUE AND COMPLETE AS SHOWN AND THAT ALL INSTRUMENTS SHOWN ON OR BEFORE THIS MAP, AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

Margaret E. Snowden
CITY CLERK AND EX-OFFICIO CLERK OF THE CITY COUNCIL, MENLO PARK, CALIF.

LEGEND & NOTES

RECORD DATA

(171.31) IRON PIPE FOUND UNLESS NOTED
 IRON SPIKE FOUND UNLESS NOTED

P.U. PUBLIC UTILITY EASEMENT

S.S.U. SANITATION SEWER EASEMENT

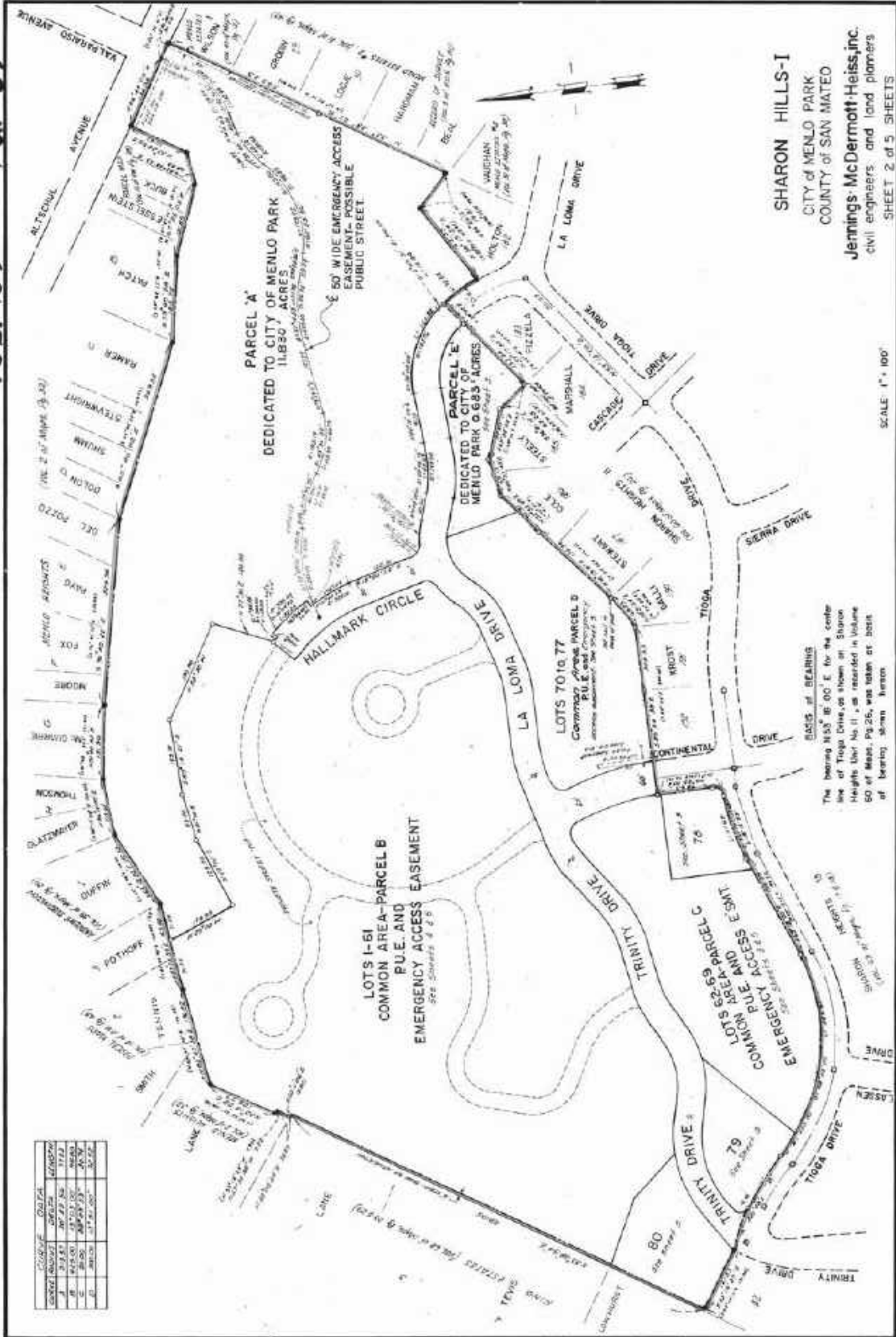
LIMIT OF PUBLIC STREET

LIMIT OF PRIVATE STREET

DISTINCTIVE BORDER

ALL DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF UNLESS OTHERWISE NOTED. DIMENSIONS OF LOTS AND BLOCKS ARE APPROXIMATELY AS SHOWN ON THIS MAP.

A SOILS REPORT WAS PREPARED BY APPLIED SOIL MECHANICS, INC. FILE NO. AG-0721-J3 2-23-77 AND IS ON FILE IN THE CITY OF MENLO PARK.



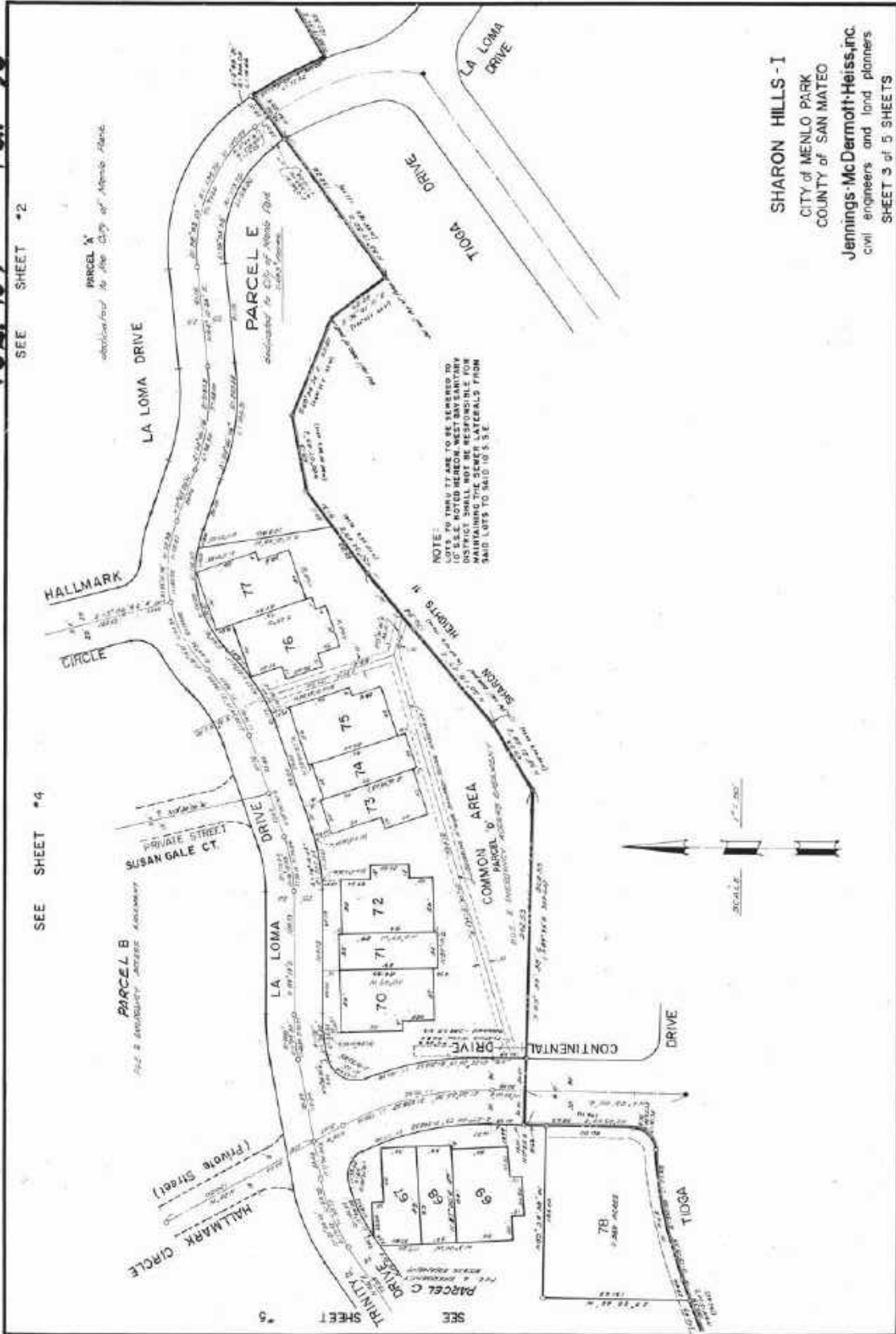
SHARON HILLS-I
 CITY OF MENLO PARK
 COUNTY OF SAN MATEO
Jennings McDermott Heiss, Inc.
 civil engineers and land planners
 SHEET 2 of 5 SHEETS

SCALE 1" = 100'

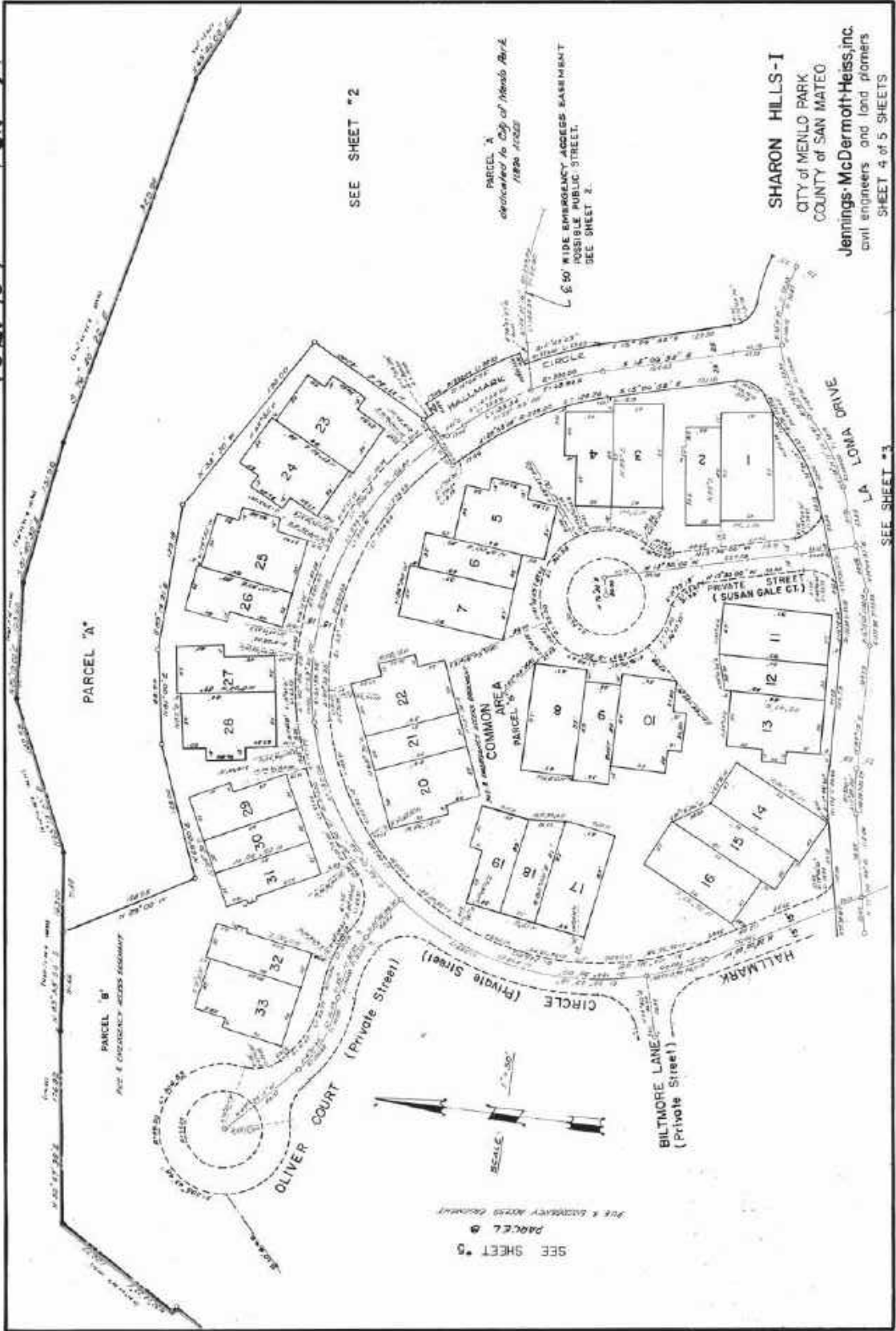
THE BEARING N33° 00' E FOR THE CENTER LINE OF TIOOGA DRIVE, AS SHOWN IN SHARON HEIGHTS UNIT NO. 11, AS RECORDED IN VOLUME 50 OF MAPS, PG. 25, WAS TAKEN AT DATE OF BEARING SHOWN THEREON.

SEE SHEET #2

SEE SHEET #4



SHARON HILLS - I
 CITY OF MENLO PARK
 COUNTY OF SAN MATEO
 Jennings-McDermott-Heiss, Inc.
 civil engineers and land planners
 SHEET 3 of 5 SHEETS



SHARON HILLS-I
 CITY OF MENLO PARK
 COUNTY OF SAN MATEO
 Jennings McDermott Heiss, Inc.
 civil engineers and land planners
 SHEET 4 of 5 SHEETS

SEE SHEET #2

PARCEL C
 dedicated to City of Menlo Park
 1988 ADCE

60' WIDE EMERGENCY ACCESS EASEMENT
 POSSIBLE PUBLIC STREET.
 SEE SHEET 2.

PARCEL A

PARCEL B
 60' WIDE EMERGENCY ACCESS EASEMENT

OLIVER COURT
 (Private Street)

CIRCLE
 (Private Street)

BILTMORE LANE
 (Private Street)

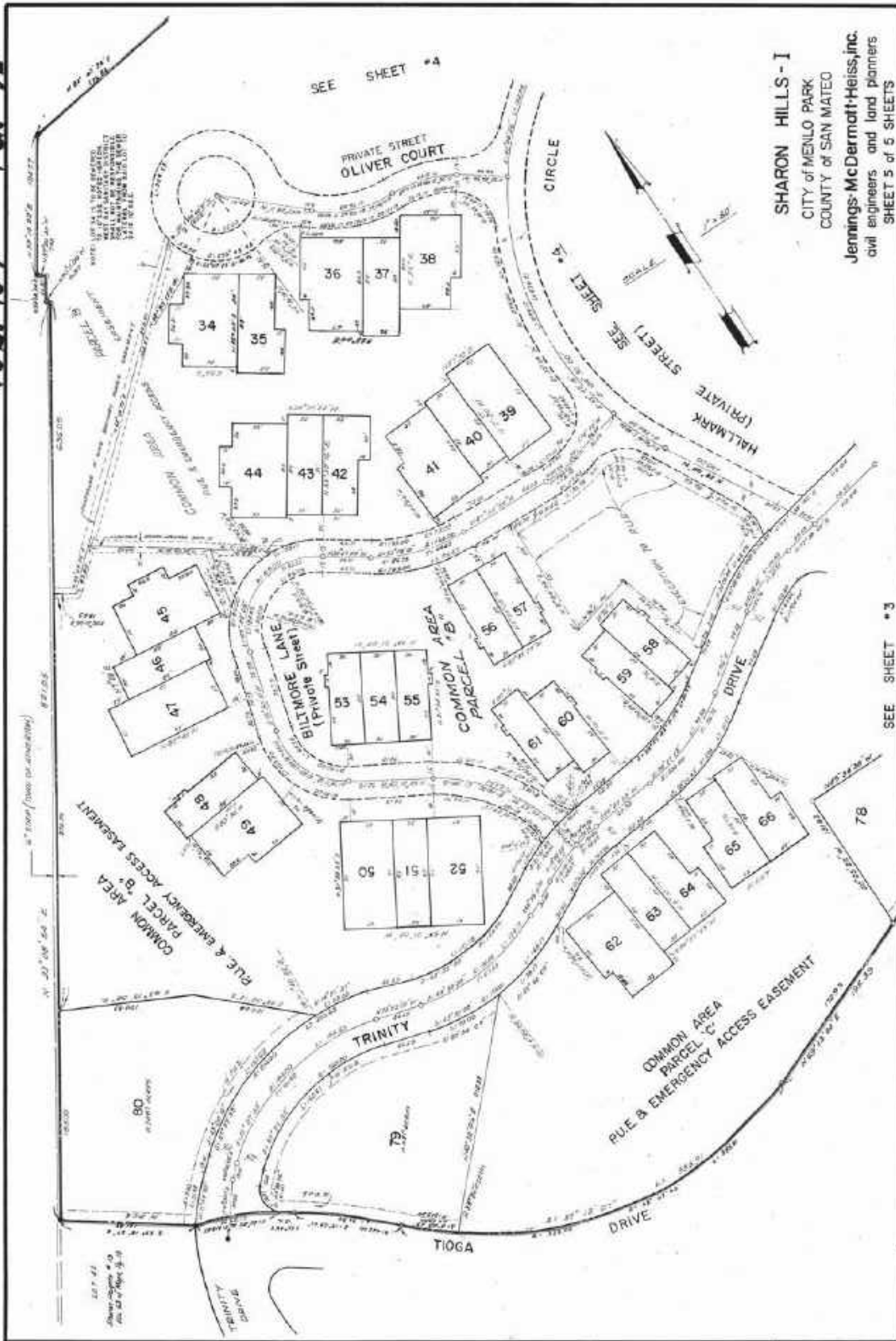
HALLMARK

LA LOMA DRIVE

SEE SHEET #3

SEE SHEET #5
 PARCEL D
 60' WIDE EMERGENCY ACCESS EASEMENT





SHARON HILLS - I
 CITY OF MENLO PARK
 COUNTY OF SAN MATEO
 Jennings-McDermott-Heiss, Inc.
 civil engineers and land planners
 SHEET 5 of 5 SHEETS

SEE SHEET #4

CIRCLE

PRIVATE STREET OLIVER COURT



SEE SHEET #4

HALLMARK STREET (PRIVATE)

34 35 36 37 38

44 43 42 41 40 39

45 46 47 48 49

53 54 55 56 57 58 59 60 61 62

50 51 52

63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78

COMMON AREA PARCEL B P.U.E. & EMERGENCY ACCESS EASEMENT

BILTMORE LANE (Private Street)

COMMON AREA PARCEL C

DRIVE

TRINITY

COMMON AREA PARCEL D P.U.E. & EMERGENCY ACCESS EASEMENT

TIOGA DRIVE

SEE SHEET #3

RICHARD CLINE
MAYOR

KIRSTEN KEITH
MAYOR PRO TEM

ANDREW COHEN
COUNCIL MEMBER

KELLY FERGUSSON
COUNCIL MEMBER

PETER OHTAKI
COUNCIL MEMBER



701 LAUREL STREET, MENLO PARK, CA 94025-3483
www.menlopark.org

January 31, 2011

Ms. Karen Cindrich
Sharon Hills Homeowner's Association
1310 Trinity Drive
Menlo Park, CA 94025

Subject: SHARON HILL DECK EXTENSIONS AMENDMENT LETTER

Dear Ms. Cindrich:

This letter is in response to your letter dated October 26, 2010, and amends the letter from the City dated May 1, 2008, which outlined instructions for clearing title and establishing exclusive use common area easements for deck extensions encroaching into common area, emergency access easements, and public utility easements.

The request to delete the seventh bullet point of the City's May 1, 2008 letter (relating to confirming the 15 percent building coverage limit) is not granted, but the City does confirm that the associated research presented by Don Caddes to Thomas Rogers did verify that the coverage of the buildings themselves were a fair bit below that limit. This analysis can be supplemented by a comprehensive (albeit non-survey) analysis of additional coverage from roofed decks (if there are any). The presence/absence of roofed decks can be confirmed through photographs and other less formal methods. Please coordinate with Thomas Rogers on this element of the request (throgers@menlopark.org or 650-330-6722).

The City of Menlo Park is willing to entertain a compromise for any party desirous of obtaining a building permit for a deck extension on the terms outlined in this letter. It is our understanding, that over time, the below actions will likely clear title and create the private use easements for all of the previous constructed deck extensions which are not in compliance the Associations' Conditions, Covenants, and Restrictions (CC&R's) and City requirements. The new instructions are detailed below:

Building

TEL 650.330.6704
FAX 650.327.5403

City Clerk

TEL 650.330.6620
FAX 650.328.7935

City Council

TEL 650.330.6630
FAX 650.328.7935

City Manager's Office

TEL 650.330.6610
FAX 650.328.7935

Community Services

TEL 650.330.2200
FAX 650.324.1721

Engineering

TEL 650.330.6740
FAX 650.327.5497

Environmental

TEL 650.330.6763
FAX 650.327.5497

Finance

TEL 650.330.6640
FAX 650.327.5391

**Housing &
Redevelopment**

TEL 650.330.6706
FAX 650.327.1759

Library

TEL 650.330.2500
FAX 650.327.7030

Maintenance

TEL 650.330.6780
FAX 650.327.1953

Personnel

TEL 650.330.6670
FAX 650.327.5382

Planning

TEL 650.330.6702
FAX 650.327.1653

Police

TEL 650.330.6300
FAX 650.327.4314

Transportation

TEL 650.330.6770
FAX 650.327.5497

1. Any person desiring a deck extension must survey the full extent of the affected unit, plus the full extent of the immediately surrounding units (contiguous or otherwise) which are adjacent to the affected unit. Payment to the California licensed land surveyor may be paid for by homeowner(s) or shared with the Association. The City will not contribute to any payment to the surveyor. [Note: This is less than previously required but more than what was requested by the HOA.]
2. Issuance of a building permit is contingent upon the Homeowner's Association granting to the homeowner an exclusive use easement for the deck extension into the common area.

A complete submittal package for both the proposed easement and any existing non-compliant encroachment revealed by the survey must be presented to the Engineering Division concurrently with the building permit application. Each easement submittal for an individual lot is a separate package consisting of the following and is in addition to any Building Division permit requirements for the deck extension itself:

1. Cover or transmittal letter
2. Two (2) copies of the plat, legal description, and closure calculations of the proposed easement. Each copy must be prepared, sealed, and signed by a California Licensed Land Surveyor
3. Draft easement grant deed from HOA to lot owner prepared by lawyer or title company
4. Title report, dated within two (2) months of the submittal date
5. Review fee per the current Master Fee Schedule

In addition to the above, the homeowner for the proposed deck extension must also provide:

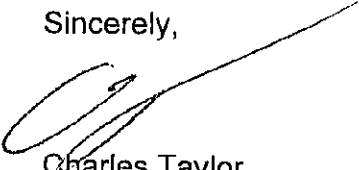
6. A copy of the proposed building permit plans for deck extension
7. A letter from the Homeowner's Association stating that the Association has reviewed the architecture of the proposed deck extension and is in agreement with the plans being presented to the City

Once the exclusive use common area easements are approved by the City, the Homeowner must record the grant deed at the County of San Mateo Recorder's Office. A conformed copy must be returned to the Building and Engineering Divisions prior to release of the building permit.

It should be noted that the owner of a lot with a deck that encroaches into the common area, emergency access easement and utility easement where there is no existing easement grant deed for the encroachment, does not have good title to their deck and such fact must be disclosed to a purchaser of the lot. The HOA should notify all lot owners that do not have such easements of this potential issue affecting resale of lots. Any lot owner desiring to clear up title to their individual lot can submit a package as noted above to clear up title and avoid any problem on resale.

Should you have any questions, please do not hesitate to contact Jennifer Ng, Senior Civil Engineer, at jcng@menlopark.org or 650-330-6740.

Sincerely,



Charles Taylor
Engineering Services Manager
Public Works Department

c: file
Ron LaFrance – Building Division
Thomas Rogers – Planning Division
Bill McClure – City Attorney

Y:\EngDiv\Administration\Development Services\Easements\Sharon Heights Deck Extension amendment 1.13.11.doc



CITY OF MENLO PARK

LOCATION MAP

SHARON HILLS CDP AMENDMENT

DRAWN: THR CHECKED: KTP DATE: 04/08/19 SCALE: 1" = 400' SHEET: 1



"SHARON HILLS"

CONDITIONAL DEVELOPMENT PERMIT

I. Statement of Purpose: The Conditional Development Zoning District, which provides the authority under which Conditional Development Permits may be granted, was created to promote comprehensive planning of large parcels of land to protect the natural environment by allowing flexibility from the strict requirements of the zoning district with which it is combined; to encourage development of more usable open space; to promote creative design and to permit the application of innovative and desirable development techniques, consistent with the aesthetic and environmental character of the community.

II. General Information:

- A. Applicant: Blackwell Homes.
- B. Nature of Project for Which the Permit is Being Applied for: A single family planned unit development of 77 townhouses and three detached dwellings.
- C. Property Location: Westerly end of Valparaiso Avenue, bounded by Tioga Drive.
- D. Assessor Parcel Number: 074-561-010 to 220, 074-562-010 to 060,
074-571-010 to 470, 074-562-070, 080,
074-571-480 to 500.
- E. Area of Property: 38⁺ acres.
- F. Present Zoning: R-E-S (Residential Estate Suburban)
- G. Proposed Zoning: R-E-S-X (Residential Estate Suburban--Conditional Development)
- H. Permitted Uses: Clustered housing, single family detached dwellings, recreational facilities to serve the project.

III. Project Plans and Approvals:

A. General Development Plans:

The General Development Plans for the project shall be reviewed and approved by both the City Council and the Planning Commission. They will consist of the following: Site Plan, Preliminary Grading Plan, Building Elevations, Parking Plan, Preliminary Off-Site Improvement Plans, and Preliminary Landscaping Plans. The zone reclassification will not be approved until both the City Council and the Planning Commission have approved the General Development Plans.

III. Project Plans and Approvals (cont'd.):

B. Precise Development Plans:

The Precise Development Plans shall be submitted to the Planning Commission for Architectural Control review and approval prior to the issuance of Building Permits. The Precise Plans shall conform with the General Development Plans and shall be comprised of the following:

1. Site Plan: Site Plan shall show all major dimensions and exact location of all proposed buildings and related improvements, e.g., walls, fences, patios driveways, external lighting, public and private roads, fire hydrants, etc.
2. Final Grading and Drainage Plans: The final grading and drainage plans shall show the exact finish grade elevations and final design of the drainage system.
3. Building Elevations and Floor Plans: Elevation drawings shall show all exterior finishes, colors and all painted and stained surfaces and major dimensions; plans for passive solar design features and domestic hot water systems shall be included.
4. Detailed Landscaping Plan: The detailed landscaping plan, including the 12.5 acre park, shall show the exact location of all plant material and plant schedule (listing size and quantity of plant material) and all other landscaping materials (including paved areas). The plan shall also show the construction details of all fences, walls and exterior lighting fixtures.
5. Parking Plan: The parking plan shall show all required and guest parking.
6. Off-Site Improvement Plan: The off-site improvement plan shall delineate all the off-site improvements that are to be constructed in conjunction with the project and shall show all construction details, including the construction details for the extension of Valparaiso Avenue, if required.
7. Subdivision Maps: The Tentative Subdivision Map for the resubdivision of the subject property shall show all the newly created easements.

IV. Development Standards:

- A. Building setbacks, coverage and open space shall be in accordance with the approved General Development Plans. Building coverage shall not exceed 15% of the building site; road and parking areas shall not exceed 20% of the site; open areas, including patios and common open space, shall be at least 65% of the site.
- B. Building height shall not exceed 35 ft. from the average natural grade, and all buildings shall be properly screened from nearby residential areas.
- C. Two garage parking spaces shall be provided for each housing unit. Additional guest parking for the residential development shall be provided at the ratio of one parking space per unit.
- D. All utilities shall be placed underground.
- E. Parking and landscaping shall be installed and maintained according to the approved plans.
- F. Dedication of the proposed 12.5 acre park shall be part of the Subdivision Map submitted for Planning Commission and City Council consideration. Applicant shall install and maintain improvements for a two-year period, subject to City approval and acceptance of dedication.
- G. All subdivision improvements on the 38-acre site, including the 12.5 acre parcel, shall be installed by the applicant to the approval of the City Engineer, as specified in the Tentative Subdivision Map; Map shall show the location of any required parking for the 12.5 acre parcel.

V. Other Conditions:

- A. A standard Subdivision Map shall be recorded prior to conveyance of any portion of the property, complying with all provisions of this Permit.
- B. Conventional lots created in connection with this development shall conform with the development regulations for the R-E-S Zoning District, with the exception of the 100 ft. width requirement.
- C. Conditions, covenants and restrictions (CC & R's) governing the planned unit development (or condominium) portions of the project shall meet with the approval of the City Attorney and Condominium Ordinance provisions.
- D. This Permit shall be binding upon the applicant and any subsequent owner of the property or portion thereof.

V. Other Conditions (cont'd.):

- E. The construction of the project shall commence within one year from the date of approval of this Permit by the City Council; otherwise, this Permit shall be null and void.
- F. Allocate 17,600 g.p.d. (80 res. units eq.) of sewer capacity for the project.
- G. Applicant shall prepare an appropriate disclosure statement concerning the soil character of the project site and request that the State Department of Real Estate include said statement in its Public Report. The Report shall also be referred to in the CC & R's, and such Report shall be approved by the City Attorney.
- H. Applicant shall set up a trust fund not to exceed \$200,000.00 for the maintenance of the park proposed to be dedicated to the City.
- I. Notwithstanding all the above conditions all the applicable conditions of the Tentative Subdivision Map approval are part of this Conditional Development Permit.
- J. This Permit may be amended by a majority vote of the City Council. Application for amendment shall be made by the property owner, in writing, to the Planning Commission. The Planning Commission shall then forward its recommendation to the City Council.

Acknowledged and agreed to by applicant:

BLACKWELL HOMES, a Partnership

By: KENNETH M. BLACKWELL, INC., Partner

By: *Kenneth M. Blackwell* for Blackwell Homes
Kenneth M. Blackwell, President

Approved by the Menlo Park
Planning Commission:

Leon C. Pirofalo
Leon C. Pirofalo, Director of
Community Development

Approved by the Menlo Park
City Council:

Margaret E. Snowden
Margaret E. Snowden, City Clerk

Date: September 27, 1982

Date: November 16, 1982

Case	Address	Project Description	Action	Action	Vote
PLN2012-00060	1340 Trinity Dr	Request for Architectural Control to modify the rear portion of the existing single-family townhouse by adding approximately 55 square feet over an existing deck located on the first floor in the R-E-S(X) (Single Family Estate Suburban, Conditional Development) zoning district.	9/10/2012	Approval	5-0-2
PLN2014-00023	21 Hallmark Cir	Request for Architectural Control to modify the rear and left side of an existing single-family townhouse by modifying the windows and doors on the rear elevation and enclosing an existing recessed area of approximately 132 square feet on the first and second floors. As part of the proposal, the roof would extend to meet the existing roof line and cover the new floor area, and balconies on the side elevation would be modified to align with new doors. The proposed project is located in the R-E-S(X) (Residential Estate Suburban, Conditional Development) zoning district.	6/9/2014	Approval	7-0
PLN2016-00074	35 Hallmark Cir	Request for architectural control to make exterior modifications to the front, right side, and rear elevations and enclose an existing recessed area of an existing single-family townhouse in the R-E-S(X) (Residential Estate Suburban, Conditional Development) zoning district.	9/12/2016	Approval	6-0-1
PLN2017-00059	26 Susan Gale Ct	Request for Architectural Control to modify the rear and left side of an existing single-family townhouse by modifying the windows and doors on the rear elevation and enclosing an existing recessed area of approximately 132 square feet on the first and second floors. As part of the proposal, the roof would extend to meet the existing roof line and cover the new floor area, and balconies on the side elevation would be modified to align with new doors. The proposed project is located in the R-E-S(X) (Residential Estate Suburban, Conditional Development) zoning district.	9/25/2017	Approval	6-0-1
PLN2017-00070	25 Hallmark Cir	Request for architectural control to perform exterior modifications and to add a new lower level and enclose a first floor deck to an existing single-family townhome in the R-E-S(X) (Residential Estate Suburban, Conditional Development) zoning district.	6/20/2018	Approval	5-0-2
PLN2017-00095	23 Hallmark Cir	Request for architectural control for exterior modifications to an existing single-family residential townhouse in the RES(X) (Residential Estate Suburban, Conditional Development) zoning district.	3/12/2018	Approval	7-0
PLN2017-00132	1275 Trinity Dr	Request for architectural control review to modify the exterior of a townhome, including the enclosure of an open patio area, on a lot in the R-E-S (X) (Residential Estate Suburban, Restrictive) zoning district.	4/9/2018	Approval	7-0

Sharon Hills Community Association
1340 Trinity Drive
Menlo Park, California

Menlo Park City Council
701 Laurel Street
Menlo Park, CA 94025

September 11, 2018

Via: Menlo Park Planning Commission

Dear Menlo Park City Council,

On November 16, 1982, you approved a Conditional Development Permit (CDP) for the construction of the Sharon Hills Community Association (SHCA).

The original 1982 CDP's Statement of Purpose in part states, "The Conditional Development Zoning District... was created to promote creative design and to permit the application of innovative and desirable development techniques, consistent with the aesthetic and environmental character of the community." SHCA supports and encourages that original intent of the CDP.

Now in 2018, 36 years later, in accordance with the 1982 CDP, homeowners continue to submit applications to the City Planning Commission for all exterior modifications to their townhouse. This CDP requirement occurs only after the homeowner already has obtained approval from both SHCA's Architectural Control Committee (ACC) and the Board as required by our Declaration of Covenants, Conditions and Restrictions (CC&R's). Then the CDP requires the homeowner to engage in an additional lengthy and costly process.

In discussions with both the City Planning Department and City Planning Commission, the relevance today for this process has been questioned. Additionally, given the thoroughness of the SHCA's ACC and Board's previous review process, needing to follow the 1982 CDP takes away valuable staff time from processing more complicated projects. Accordingly, we are suggesting that the CDP be amended to support the SHCA's ACC and Board to continue to oversee and approve as sufficient oversight to any such changes within the SHCA's homeowner's lot line, as defined by the homeowner's deed, while any changes to open space outside the lot line would still be governed by this amended CDP. Indeed, the SHCA Board and ACC's focus is to allow changes that improve and encourage creative design affecting the aesthetic and environmental character of our community consistent with moving into the 21st Century and the overall look of our community.

We encourage your favorable consideration to our suggested amendment to the 1982 CDP resulting in a more efficient townhome exterior modification process for both The City of Menlo Park as well as the SHCA.

Sincerely,



Cynthia Schreuder
President, Sharon Hills Community Association Board

Sharon Hills





Original patio/atrium



Enclosed patio/atrium with updated windows and one upstairs deck removed

Sharon Hills



SHCA townhouse original kitchen window



SHCA townhouse updated kitchen window





SHCA townhouse original deck



SHCA townhouse updated deck



Rogers, Thomas H

From: Michael Asimow <asimow@law.stanford.edu>
Sent: Monday, October 29, 2018 10:32 AM
To: Rogers, Thomas H
Subject: Sharon Hills permit amendment

Dear Mr. Rogers, I'd like to indicate my strong support for the proposed permit amendment which eliminates a redundant Planning Commission review of small-scale modifications for the Sharon Hills Community Association. As a former SHCA president, I express my gratitude that you're proceeding with this amendment which will be an improvement in efficiency for all. Sincerely, Michael Asimow

--

Michael Asimow
Stanford Law School
Stanford CA, 94305-8610
650-723-2431

Rogers, Thomas H

From: Ed and Constance <ecvincent@comcast.net>
Sent: Tuesday, October 30, 2018 1:01 PM
To: Rogers, Thomas H
Subject: MP Building permit process

I believe the ACC for SHCA provides adequate oversight for these kind of changes in addition to the oversight of the MP Building Permit Process.

Constance Vincent

4 Hallmark Circle, Menlo Park

Sharon Hills Community Assoc.

Rogers, Thomas H

From: Brian Amerige <brian@fivedetails.com>
Sent: Tuesday, October 30, 2018 3:08 PM
To: Rogers, Thomas H
Subject: SHCA CDP Amendment

Hi Thomas,

Just wanted to drop you a quick note regarding the Sharon Hills Community Association's proposal to amend the CDP. I live in Sharon Hills, and I'm in emphatic support of it.

The community's architectural control committee does a great job overseeing small-scale changes to our homes, and I know the time and cost of *also* working with Menlo Park's planning commission scares some homeowners away from improving their properties (which is a shame, since the improvements are usually identical to those already approved for other homeowners).

Good luck,
Brian.

Rogers, Thomas H

From: cheryl stewart <cjs_cardinal@yahoo.com>
Sent: Tuesday, October 30, 2018 3:42 PM
To: Rogers, Thomas H
Subject: Support for SHCA Amendment to CDP

I am writing in support of the proposal to allow small scale building and expansion projects for SHCA Townhouses proceed only with the MP Building Permit Process.

I believe the ACC for SHCA provides adequate oversight for these kind of changes in addition to the oversight of the MP Building Permit Process.

Thank you,

Cheryl Stewart
11 Susan Gale Court
Menlo Park, CA 94025

Rogers, Thomas H

From: Susan M <sml3susan@gmail.com>
Sent: Tuesday, October 30, 2018 4:27 PM
To: Rogers, Thomas H
Cc: Howard R. Mullin (howardrmullin@gmail.com)
Subject: SHCA Townhouse proposal

Thomas,

Howard and I are emailing you in support of the proposal to allow small scale building and expansion projects for SHCA Townhouses proceed only with the MP Building Permit Process.

Sincerely,
Susan Mullin
1290 Trinity Drive
Menlo Park, CA 94025

Rogers, Thomas H

From: Carol Dressler <cdress@stanford.edu>
Sent: Tuesday, October 30, 2018 5:04 PM
To: Rogers, Thomas H
Subject: thank you for your consideration

I am writing in support of the proposal to allow small scale building and expansion projects for SHCA Townhouses proceed only with the MP Building Permit Process.

Best,
Carol Dressler
1300 Trinity Drive
Menlo Park

Rogers, Thomas H

From: George Newcombe <gnewcombe@mac.com>
Sent: Tuesday, October 30, 2018 5:47 PM
To: Rogers, Thomas H
Subject: SHCA

Dear Mr. Rogers:

As a former member of the Board of the Sharon Hills Homeowners Association and a former member of its Architectural Control Committee, I write to support the proposal to allow building and expansion projects for SHCA townhouses so long as any such modifications comply with all Menlo Park Building Permit requirements. The ACC and Board of the HOA scrutinize each and every modification to the exterior of all townhouses. I am comfortable that this scrutiny is sufficient to ensure that any modifications are consistent with the character and designs of the Sharon Hills community. Compliance with Menlo Park building permit requirements, which incorporate all extant building codes, ensures that any such modification will be done appropriately.

Thus, there is no need for such modifications to be brought before the Planning Commission, which is a costly and time consuming process.

Sincerely,

George M. Newcombe
14 Susan Gale CT
Menlo Park, CA 94025

> I am writing in support of the proposal to allow small scale building and expansion projects for SHCA Townhouses proceed only with the MP Building Permit Process.

>

> or

>

> I believe the ACC for SHCA provides adequate oversight for these kind of changes in addition to the oversight of the MP Building Permit Process

Rogers, Thomas H

From: Sheila Sello <skselo@sbcglobal.net>
Sent: Wednesday, October 31, 2018 9:01 AM
To: Rogers, Thomas H
Subject: Sharon Hills Community Assoc. (HOA)

I am writing in support of the proposal to permit small scale building and expansion projects for SHCA townhouses to proceed with the Menlo Park Bldg. Permit process ONLY.
Thank you very much.

Sheila Sello
Resident
Sharon Hills Community/HOA

Sent from my iPad

Rogers, Thomas H

From: Jeanne Scherba <scherbajeanne@hotmail.com>
Sent: Friday, November 2, 2018 10:07 AM
To: Rogers, Thomas H
Subject: Amendment

I support the SHCA amendment to the CDP.

Jeanne Scherba
14 Hallmark Circle
Menlo Park, Ca.