



REGULAR MEETING AGENDA

Date: 4/29/2019
Time: 7:00 p.m.
City Council Chambers
701 Laurel St., Menlo Park, CA 94025

A. Call To Order

B. Roll Call

C. Reports and Announcements

Under “Reports and Announcements,” staff and Commission members may communicate general information of interest regarding matters within the jurisdiction of the Commission. No Commission discussion or action can occur on any of the presented items.

D. Public Comment

Under “Public Comment,” the public may address the Commission on any subject not listed on the agenda, and items listed under Consent Calendar. Each speaker may address the Commission once under Public Comment for a limit of three minutes. Please clearly state your name and address or political jurisdiction in which you live. The Commission cannot act on items not listed on the agenda and, therefore, the Commission cannot respond to non-agenda issues brought up under Public Comment other than to provide general information.

E. Consent Calendar

- E1. Approval of minutes from the April 8, 2019, Planning Commission meeting. ([Attachment](#))

F. Public Hearing

- F1. Use Permit/Whitney Lau/575 Kenwood Avenue:
Request for a use permit to demolish an existing one-story residence, and construct a new two-story residence on a substandard lot with regard to lot width and area in the R-1-U (Single Family Urban Residential) zoning district. The project would include excavation in the interior side setback for a lightwell associated with a basement. ([Staff Report #19-029-PC](#))
- F2. Use Permit and Architectural Control/Charlie King/250 Middlefield Road:
Request for a use permit and architectural control to add 3,853 square feet to an existing office building on a lot in the C-1 (Administrative and Professional District, Restrictive) zoning district. As a part of the proposal, the applicant requests a parking reduction from the required five spaces per 1,000 square feet (133 spaces) to approximately three parking spaces per 1,000 square feet (83 spaces), and the removal of one heritage-sized Japanese maple tree. The proposal includes a Below Market Rate (BMR) housing agreement for compliance with the City’s BMR program. ([Staff](#)

[Report #19-030-PC](#))

- F3. Development Agreement Annual Review/Facebook/1 Hacker Way: Annual review of the property owner's good faith compliance with the terms of the Development Agreement for the Facebook East Campus project. **Continued by the Planning Commission from the February 25, 2019 meeting.** ([Staff Report #19-031-PC](#))

G. Informational Items

- G1. City Council Work Plan Transmittal and Capital Improvement Program (CIP) process update. ([Attachment](#)).
- G2. Future Planning Commission Meeting Schedule – The upcoming Planning Commission meetings are listed here, for reference. No action will be taken on the meeting schedule, although individual Commissioners may notify staff of planned absences.
- Regular Meeting: May 6, 2019
 - Regular Meeting: May 20, 2019
 - Regular Meeting: June 3, 2019

H. Adjournment

Agendas are posted in accordance with Government Code Section 54954.2(a) or Section 54956. Members of the public can view electronic agendas and staff reports by accessing the City website at www.menlopark.org and can receive e-mail notification of agenda and staff report postings by subscribing to the "Notify Me" service at menlopark.org/notifyme. Agendas and staff reports may also be obtained by contacting the Planning Division at 650-330-6702. (Posted: 04/24/2019)

At every Regular Meeting of the Commission, in addition to the Public Comment period where the public shall have the right to address the Commission on any matters of public interest not listed on the agenda, members of the public have the right to directly address the Commission on any item listed on the agenda at a time designated by the Chair, either before or during the Commission's consideration of the item.

At every Special Meeting of the Commission, members of the public have the right to directly address the Commission on any item listed on the agenda at a time designated by the Chair, either before or during consideration of the item.

Any writing that is distributed to a majority of the Commission by any person in connection with an agenda item is a public record (subject to any exemption under the Public Records Act) and is available for inspection at the City Clerk's Office, 701 Laurel St., Menlo Park, CA 94025 during regular business hours.

Persons with disabilities, who require auxiliary aids or services in attending or participating in Commission meetings, may call the City Clerk's Office at 650-330-6620.



REGULAR MEETING MINUTES – DRAFT

Date: 4/8/2019
Time: 7:00 p.m.
City Council Chambers
701 Laurel St., Menlo Park, CA 94025

A. Call To Order

Chair Susan Goodhue called the meeting to order at 7:00 p.m.

B. Roll Call

Present: Andrew Barnes (Vice Chair), Michael Doran, Susan Goodhue (Chair), Henry Riggs

Absent: Camille Kennedy, John Onken, Katherine Strehl

Staff: Ceci Conley, Contract Assistant Planner; Kyle Perata, Acting Principal Planner; Matthew Pruter, Associate Planner; Thomas Rogers, Principal Planner

C. Reports and Announcements

Acting Principal Planner Kyle Perata said the City Council at its April 9, 2019 meeting would consider the appeal of 2245 Avy Drive, Phillips Brooks School's revised use permit approved by the Planning Commission in December 2018.

Commissioner Andrew Barnes asked about the two-year annual review of ConnectMenlo by the City Council. Acting Principal Planner Perata said the Council in its study session provided comments and feedback for staff to evaluate and report back to Council. He said topics discussed for further evaluation included development potential caps and community amenities.

D. Public Comment

There was none.

E. Consent Calendar

Chair Goodhue said E1 and E2 would be considered separately.

- E1. Approval of minutes from the March 25, 2019, Planning Commission meeting. ([Attachment](#))

ACTION: Motion and second (Henry Riggs/Michael Doran) to approve the minutes as presented; passes 3-0-1-3 with Commissioner Goodhue abstaining and Commissioners Camille Kennedy, John Onken and Katherine Strehl absent.

- E2. Architectural Control/Karen King/2775 Sand Hill Road:
Request for Architectural Control to modify the exterior of an existing office building in the C-1-C (Administrative, Professional and Research District, Restrictive) zoning district. The proposal consists of the installation of a new folding partition door and construction of a new usable outdoor patio area, in a location currently used for landscaping. As part of the project, the applicant proposes to remove one heritage sized, multi-trunk flowering plum tree. ([Staff Report #19-025-PC](#))

Staff Comment: Associate Planner Matthew Pruter said staff had no additions to the written report.

Chair Goodhue opened public comment and closed it as there was none.

ACTION: Motion and second (Goodhue/Barnes) to approve the item as recommended in the staff report; passes 4-0-3 with Commissioners Kennedy, Onken and Strehl absent.

1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.
2. Adopt the following findings, as per Section 16.68.020 of the Zoning Ordinance, pertaining to architectural control approval:
 - a. The general appearance of the structure is in keeping with the character of the neighborhood.
 - b. The development will not be detrimental to the harmonious and orderly growth of the City.
 - c. The development will not impair the desirability of investment or occupation in the neighborhood.
 - d. The development provides adequate parking as required in all applicable City Ordinances and has made adequate provisions for access to such parking.
 - e. The property is not within any Specific Plan area, and as such no finding regarding consistency is required to be made.
3. Approve the architectural control subject to the following **standard** conditions:
 - a. Development of the project shall be substantially in conformance with the plans prepared by HMM, consisting of 33 plan sheets, dated received April 1, 2019, and approved by the Planning Commission on April 8, 2019, except as modified by the conditions contained herein, subject to review and approval of the Planning Division.
 - b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.
 - c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.

- d. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.
- e. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the arborist report prepared by McCarthy Tree Specialties, Inc., dated received December 10, 2018.

F. Public Hearing

- F1. Use Permit/Jennifer and Nicholas Bott/371 Hedge Road:
Request for a use permit to construct first- and second-floor additions, as well as conduct interior modifications, to a single-family residence that would exceed 50 percent of the replacement value of the existing nonconforming structure in a 12-month period. The proposal would also exceed 50 percent of the existing floor area and is considered equivalent to a new structure. The subject parcel is located on a substandard lot with regard to width and area in the R-1-U (Single-Family Urban) zoning district. ~~in the right side setback for a lightwell and stair associated with the proposed basement. A heritage size coast redwood tree in very poor condition is proposed for removal.~~ (Staff Report #19-026-PC)

Staff Comment: Contract Assistant Planner Ceci Conley noted that the sentences after zoning district beginning “in the right side setback...” should be edited for removal on the agenda.

Applicant Presentation: Jennifer Bott introduced herself and her husband Nicholas. She said that they were trying to expand their home to add living space.

Replying to Commissioner Riggs, Ms. Bott said they were keeping the two-car garage and driveway as is.

Replying to Chair Goodhue, Planner Conley said the existing two-car garage was nonconforming and was 17-feet by 22-feet and would be kept as is. Planner Perata said for zoning purposes the garage was a single-car garage.

Chair Goodhue opened the public hearing and closed it as there were no speakers.

Commission Comment: Commissioner Barnes noted the project conformed to zoning where needed, protected privacy with modest windows on the neighbor-facing side, set backed the second-floor mass, and made a nice change from ranch style to farmhouse style. He moved to approve. Chair Goodhue seconded the motion.

Commissioner Riggs said the left side second floor was plain but the change to board and batten would enliven it. He said he supported the project as well.

ACTION: Motion and second (Barnes/Goodhue) to approve the item as recommended in the staff report; passes 4-0-3 with Commissioners Kennedy, Onken and Strehl absent.

1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, “New Construction or Conversion of Small Structures”) of the current California Environmental Quality Act (CEQA) Guidelines.
2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.
3. Approve the use permit subject to the following **standard** conditions:
 - a. Development of the project shall be substantially in conformance with the plans prepared by Home Plans & Commercial, consisting of 18 plan sheets, dated received April 2, 2019 and approved by the Planning Commission on April 8, 2019, subject to review and approval by the Planning Division.
 - b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies’ regulations that are directly applicable to the project.
 - c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
 - d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.
 - e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.
 - f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.
 - g. Heritage and street trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the arborist report by Kielty Arborist Services dated January 23, 2019.
4. Approve the use permit subject to the following **project-specific** condition:

- a. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans clearly labeling that the proposed windows will be simulated true divided light, subject to review and approval by the Planning Division.

F2. Use Permit/Matthew Harrigan/1301 Elder Avenue:

Request for a use permit to demolish an existing one-story residence and construct a new two-story residence with a basement on a substandard lot with regard to minimum lot width in the R-1-S (Single Family Suburban Residential) zoning district. The project includes a request for excavation into the right side setback for a lightwell and staircase associated with the proposed basement. As part of the project, the applicant proposes to remove one heritage Shamel ash tree. ([Staff Report #19-027-PC](#))

Staff Comment: Planner Pruter said staff had forwarded to the Commission comments received regarding the heritage tree removal and the excavation proposed in the side yard setback.

Questions of Staff: Replying to Commissioner Barnes, Planner Pruter said excavation within a setback required discretionary review for approval of a use permit by the Planning Commission.

Applicant Presentation: Matthew Harrigan, owner of Timeline Design and Build, Saratoga, said the project was located on a very deep and narrow lot. He said one of the challenges related to the lightwells. He said they tried to preserve the heritage trees on the lot. He said regarding the proposed lightwell that even if it were at the 10-foot setback the heritage Shamel ash tree would need to be removed due to the amount of roots that would be cut for excavation. He said they worked to make a turnaround that was safe to enter and exit the property.

Shuyan Qi, property owner, said they sent out letters and emails to their neighbors regarding their proposal. He said they had the opportunity to speak with three of the neighbors and made some adjustments to the project based on feedback.

Chair Goodhue opened the public hearing.

Public Comment:

- Tori Pickett said her residence was adjacent to the project site. She said her husband Tom was not able to attend the hearing due to business travel. She said they had submitted a letter to the Planning Commission regarding their objection to the use permit and the removal of the heritage tree, which currently provided significant privacy protection between the closely situated homes. She said privacy protection solutions were not proposed in the plans. She said the project would eliminate 50 feet of existing hedge and tree barrier and the apparent landscape plan was not enforceable. She said they requested at minimum that any reduction in privacy be mitigated by some type of binding commitment to install sufficiently tall landscaping by a specific date for the new two-story structure.

Chair Goodhue closed the public hearing.

Commission Comment: Commissioner Barnes asked the applicant about the landscaping proposed for screening. Mr. Harrigan said the property owners' landscape architect was proposing Japanese privet between the properties that would reach 20 feet in height. He said they were open

to discussing with the neighbor a different species that would be more amenable to them.

Commissioner Barnes noted concessions made by the applicant related to sill heights and obscure glass for the one neighbor. He said he did not think the proposed second story massing was an issue. He indicated he found the proposed architecture wonderful.

Chair Goodhue said she thought the second story was fairly constrained and she was supportive of the project.

Commissioner Riggs said the major issue was privacy. He said the current distance between buildings was 32 feet for the project site and the neighboring property whose owner spoke. He said in an R-1-S zoning district having yard on all sides was an expectation. He said privacy screening above 12-feet already existed but that would be removed. He said he thought plantings should be at an equal height immediately after project completion. He said options were to redesign the light well so the heritage tree was maintained as well as the hedge or before the certificate of occupancy was issued that planting of equivalent height and density was in place. He moved to approve with conditions subject to staff review and approval to either adjust the light well to allow the Shamel ash to remain with a commitment to keep the hedge or a landscape plan that reproduced the effect of both the existing heritage tree and hedge prior to certificate of occupancy.

Replying to Commissioner Barnes, Mr. Harrigan said he was not a landscape architect but the feedback he had gotten was that often when you planted a more mature tree it was not as successful as a younger tree, which would grow quite rapidly in the first three or four years for a better long term solution. He said even if the light well was at the 10-foot setback line that they would need to cut all the roots four feet from the Shamel ash, which would probably kill it. He suggested they could look at keeping the existing hedge if that would help the neighbor feel more satisfied or they could work with the neighbors to select a hedge that was acceptable to them.

Commissioner Barnes asked about the height of the existing hedge. Recognized by the Chair, Ms. Pickett said the existing hedge was 35 feet long and about 12 to 15 feet tall.

Mr. Harrigan asked that if possible that the Commission might approve the project and have them confer with the neighbor and use an expert to get a more satisfactory solution for screening.

Commissioner Riggs noted that if there was no light well there would be no impact to the Shamel ash tree. He said in cutting four feet in a line from the trunk of a tree approximately less than a third of the roots would be cut. He said there was potential to keep the Shamel ash. He said the applicant should first consider modifying the light well, which was in the setback and the setback was for landscaping. He said if the tree were replaced that a hole for it would need to be dug before the basement foundation wall was filled and the tree would be craned in and placed in the hole. He said if the hedge could be maintained that would potentially solve the issue. He said the applicant had expressed willingness to work with the neighbor through staff on landscape screening. He said he was willing to modify his motion to indicate that and allow the option to modify the design and keep the Shamel ash or replace it with a mature tree.

Replying to Commissioner Barnes, Planner Perata suggested more prescriptive conditions would be helpful for staff in working with the applicant and neighbor. He said for instance a condition that if the existing hedge was retained then the tree could be removed or if the hedge was retained and the tree removed that a tree of a certain size and growth size should be planted with perhaps the

species worked out by the applicant and neighbor.

Chair Goodhue asked if the applicant was willing to retain the existing hedge. Mr. Harrigan said they would retain the hedge if they could, noting that sometimes the drainage work created a problem for that. He said he would like the neighbor to have input now whether what was being proposed was amenable.

Chair Goodhue asked if Ms. Pickett would like to provide input on what was being proposed. Ms. Pickett said the plans had shown 80 feet of trees and hedges being stripped down to one privet hedge between the two properties and that created a great deal of exposure. She said their interest was in finding a solution. She said they would prefer mature plantings being dropped in and she would like to agree with an expert on what the real potential growth for whatever was planted would be.

Commissioner Barnes asked about a box size. Commissioner Riggs said trees he had selected some years ago were eight-foot boxes, but 72-inch box trees were easier to manipulate.

Commissioner Barnes asked staff about 72-inch box trees. Planner Perata said Facebook used that size box tree on its campus but he had never seen that size in any residential project he had worked on. He said he thought the next size down was a 48-inch box, although there might be a 60-inch box.

Commissioner Barnes asked Commissioner Riggs if a 48-inch box was satisfactory. Commissioner Riggs said he witnessed two larger box trees than 48-inch box installed in Portola Valley. He suggested a tree replacement on the larger size. Commissioner Barnes said he would second the motion to require a replacement tree with a box size of 48- to 72-inches of sufficient height to meet 75% of current screening height.

Planner Pruter asked if that included maintaining the hedge as it was. Chair Goodhue said that was desirable, if possible. She said she could see how a drainage problem could affect that. She suggested to require the applicant to maintain the existing hedge if possible or replace with mutually acceptable screening. Commissioner Riggs said he would not include the term "if possible." He said if part of the hedge was compromised then it would have to be infilled. He said the condition would state that the hedge would be maintained.

Commissioner Doran said to him it was reasonable that if the hedge was damaged during construction it could be replaced.

Commissioner Barnes said based on the understanding for the tree and hedge that he would second the motion.

ACTION: Motion and second (Riggs/Barnes) to approve the item with the following modifications; passes 4-0-3 with Commissioners Kennedy, Onken and Strehl absent.

1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.

2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.
3. Approve the use permit subject to the following **standard** conditions:
 - a. Development of the project shall be substantially in conformance with the plans prepared by Timeline Design and Build, consisting of 22 plan sheets, dated received March 29, 2019, and approved by the Planning Commission on April 8, 2019, except as modified by the conditions contained herein, subject to review and approval of the Planning Division.
 - b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.
 - c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
 - d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.
 - e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.
 - f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.
 - g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the arborist report prepared by Monarch Consulting Arborists, LLC, dated received February 20, 2019.
4. **Approve the use permit subject to the following project-specific conditions:**
 - a. ***Simultaneous with the submittal of a complete building permit application, the applicant shall submit revised plans demonstrating that existing perimeter landscaping will be maintained along the right side property line in the vicinity of the property located at 1315 Elder Avenue, subject to review and approval of the Planning Division.***

- b. Simultaneous with the submittal of a complete building permit application, the applicant shall replace the heritage Shamel ash tree (Tree 585) with a replacement tree containing a box size of no less than 48 inches and up to 72 inches in the same general location, with the intent of achieving future screening equivalent to 75 percent of the existing tree screening for the adjacent neighbor at 1315 Elder Avenue. The applicant shall work with the neighbor at 1315 Elder Avenue to select a mutually agreeable replacement tree species, subject to review and approval of the Planning Division.**

- F3. Conditional Development Permit Amendment/Sharon Hills (1-45 Biltmore Lane; 1115-1135 Continental Drive; 2-55 Hallmark Circle; 1-15 Oliver Circle; 2-26 Susan Gale Court; 2300 Tioga Drive; 1200-1371 Trinity Drive)/Sharon Hills Community Association:
Request for a Conditional Development Permit (CDP) Amendment at an existing residential development in the R-E-S(X) (Residential Estate Suburban, Conditional Development) zoning district. The CDP amendment would allow small-scale modification and expansion projects on existing townhouses to be processed through the ministerial building permit process, provided the proposals have received architectural approval by the Sharon Hills Community Association (SHCA). Currently, such projects require approval of the SHCA and architectural control approval by the Planning Commission, prior to building permit review. No changes to the number of dwelling units or other development standards are proposed, and the three standard R-E-S(X) lots that were created through this CDP (1200 and 1205 Trinity Drive, and 2300 Tioga Drive) would not be affected by the proposed changes. ([Staff Report #19-028-PC](#))

Staff Comment: Principal Planner Thomas Rogers said he had no additions to the written report.

Applicant Presentation: Kathryn Low said currently she was the Chair of the Sharon Hills Community Association's (SHCA) architectural control committee. She said the conditional development permit (CDP) was granted to the development builder in 1982. She said the CDP required that any architectural changes to the exterior of a Sharon Hills townhouse must be approved by the Menlo Park Planning Commission. She said the 77 Sharon Hills townhouses were now 35 years old. She said homeowners wanted to update their townhouses' look to be more current. She said the SHCA was requesting that the Planning Commission support an amendment to the original 37-year old CDP. She said the key element of the proposed amendment was to allow for exterior modifications located with the lot line to a Sharon Hills townhouse with the approval of the SHCA's Board and then through the City's building permit process without the need of Planning Commission oversight. She said an exterior modification outside the lot line of a Sharon Hills townhouse would initiate the approval process by the Planning Commission. She explained the SHCA's application process for an exterior townhouse modification.

Chair Goodhue opened the public hearing.

Public Comment:

- Cynthia Schreuder Kalev said she was the current president of the SHCA board. She said this amendment would save expense and time. She said often the proposed projects were rather small such as the replacement of a window that would be updated to be six-inches larger, and currently that required Planning Commission approval.

- Merrie Asimow said she was a Sharon Hills townhouse owner and that she and her husband had done a very small project to enclose an atrium, which under the CDP requirements process took two years and was very expensive. She said they appreciated the City assisting them to solve this issue.
- Kathryn Glassey said she was one of the newer residents in the SHCA. She said she had been very impressed with the dedication and thoroughness of the architectural control committee. She said she fully supported the proposed amendment.

Chair Goodhue closed the public hearing.

Commission Comment: Commissioner Barnes said he thought the proposed amendment to the CDP was sensible decision making. He moved to recommend that the City Council approve the amendment item as recommended in the staff report. Commissioner Riggs seconded the motion.

ACTION: Motion and second (Barnes/Riggs) to recommend that the City Council approve the Amendment and Restatement of the Conditional Development Permit for Sharon Hills as recommended in the draft document; passes 4-0 with Commissioners Kennedy, Onken and Strehl absent.

G. Informational Items

G1. Future Planning Commission Meeting Schedule

- Regular Meeting: April 29, 2019

Planner Perata said for the next meeting on April 29 that agenda items would tentatively include single-family residential projects, a commercial building addition and the Facebook East Campus development agreement that the Commission reviewed and continued in February 2019.

Planner Perata said that the City Council at its April 16 meeting would appoint members for the two seats expiring on the Planning Commission with terms beginning May 6.

Chair Goodhue asked about the Hampton Inn proposed for 1704 El Camino Real. Planner Perata said staff was reviewing the updated information and the overall project analysis. He said potentially the project would come forward in May or June depending on the availability of the applicant team and the readiness of the overall project review.

- Regular Meeting: May 6, 2019
- Regular Meeting: May 20, 2019

H. Adjournment

Chair Goodhue adjourned the meeting at 8:25 p.m.

Staff Liaison: Kyle Perata, Acting Principal Planner

Recording Secretary: Brenda Bennett



STAFF REPORT

Planning Commission

Meeting Date: 4/29/2019

Staff Report Number: 19-029-PC

Public Hearing: Use Permit/Whitney Lau/575 Kenwood Drive

Recommendation

Staff recommends that the Planning Commission approve a use permit to demolish a single-story, single family residence and construct a new two-story single family residence with a basement on a substandard lot with respect to lot depth and area in the R-1-U (Single-Family Urban) zoning district, at 575 Kenwood Drive. The proposal includes a request for excavation within the required side setback for a basement lightwell. The recommended actions are included as Attachment A.

Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal.

Background

Site location

The subject property is located on Kenwood Drive, at the corner of Morey Drive. The neighborhood is located between Safeway to the north and Nealon Park to the south. Kenwood Drive and Morey Drive form a 'U' shape. The neighborhood is contained within the 'U' with access from Middle Avenue. There are no other streets branching off either street. The surrounding area contains a mixture of older and newer single-family residences. The older residences are generally single-story, while the newer residences are generally two-story in height, with attached front-loading garages. A variety of architectural styles are present in the neighborhood, which include craftsman and traditional. All parcels in the immediate vicinity are also zoned R-1-U. Parcels along Roble Avenue and Curtis Way to the west are in the R-3 (Residential Apartment) zoning district. A location map is included as Attachment B.

Analysis

Project description

The applicant is proposing to demolish the existing single-story, single-family residence with attached one-car garage to construct a new two-story, single-family residence with a basement and attached one-car garage. A data table summarizing parcel and project attributes is included as Attachment C. The project plans and the applicant's project description letter are included as Attachments D and E, respectively.

The proposed residence would be a five-bedroom home, with a typical layout with most of the bedrooms

on the second floor and shared spaces on the main and basement levels. The front-loading one-car garage and an uncovered space to the rear would address the residence's off-street parking requirement. The proposed parking would include two curb cuts (one on each public street bordering the site). The curb cut for the proposed one car garage would be 20-feet in width. The zoning ordinance does not have a maximum requirement for paving within the front yard, but the Planning Commission may wish to discuss the appropriateness of the width of the curb cut and associated driveway, with regard to the site layout and design. Most of all the basement elements would adhere to the setback requirements; however, the right side basement lightwell would encroach into the setback, as is discussed in more detail later.

The proposed project would adhere to all Zoning Ordinance regulations for setbacks, lot coverage, floor area limit (FAL), height, daylight plane, and parking. Of particular note with regard to Zoning Ordinance requirements:

- The parcel is substandard with regard to lot depth, at 79.9 feet where 100 feet is required.
- The parcel is substandard with regard to lot area, at 5,831 square feet where 7,000 square feet is required.
- One covered and one uncovered parking space would be provided to meet the off-street parking requirements.
- The second floor is at 40 percent of the maximum FAL, where 50 percent could be permitted.
- The second floor would feature greater setbacks than required on the rear and left side, and the overall structure would be well within the daylight plane.
- The proposed lightwell on the corner side would feature a grate concealing its visibility from the public right of way.

Design and materials

The applicant states that the proposed residence would be of classic Georgian architectural style. The exterior materials would have variation with the usage of horizontal board and painted brick veneer sidings on the main facades of the proposed residence. The proposal would also include pre-cast cladding on the entryway with limestone entry columns, composite asphalt shingle roof, and a painted wood front door. A three-foot, six-inch painted metal railing would protect the right side lightwell, whereas the lightwell on the right (corner) side would be covered by a grate. The proposed wood garage door would be painted to match the wood siding, and a concrete paver driveway would be used to access the attached garage.

The second-story windows on the front, left side, and some on the rear facades would have two-foot sill heights. However, the second floor would be well inset from the side property lines, at approximately 8.5 feet on the right, where only 7 feet is required, 17 feet, five inches on the left side where 12 feet is required, and 22.5 feet on the rear where 20 feet is required. Staff believes that the increased setbacks would alleviate potential privacy concerns. Further, the second floor sill heights on the right-side façade would be between three and three-and-a-half feet in height.

Staff believes that the architectural style of the proposed residence would be generally attractive and well-proportioned. The second level would be inset from the ground floor on the right and rear facades, helping minimize the perception of mass and providing a privacy buffer for neighbors. The front and left-side facades, fronting the public right-of-way would have two story unbroken walls for the majority of the

elevations. The material variation at the main entry and the left-side bay window would help to provide articulation along the elevations. The classic Georgian architectural style is not currently found within the neighborhood, but would be comprehensively executed, providing an added feature in the neighborhood.

Trees and landscaping

The applicant has submitted an arborist report (Attachment F) detailing the species, size, and conditions of the heritage trees on site. There are three trees located on or near the property that are heritage size trees: two sycamore street trees and a cedar located at the front left corner of the parcel. All are proposed to remain. The demolition of the existing residence and the construction of the new home is not anticipated to affect existing trees, but tree protection measures are proposed.

The arborist report discusses the impacts of the proposed improvements and provides recommendations for tree maintenance, based on their health. As part of the project review process, the arborist report was reviewed by the City Arborist. All recommendations identified in the arborist report shall be implemented and will be ensured as part of condition 3g.

Excavation

The proposed lightwell encroachment of the proposed residence would require excavation within the required right side yard setback. Specifically, the proposed lightwell would encroach three feet seven inches into the setback. Staff believes the proposed encroachment of the excavation into the side setbacks for the lightwell would be modest due to its limited size, and would not result in any visible effects as it would be located on the interior side. The excavation would be reviewed in detail for Building Code compliance at the building permit stage.

Correspondence

The applicant has contacted neighbors and shared the proposed plans with them. Staff received a letter with neighbor signatures in support of the project as part of the applicant's project description letter (Attachment E). Staff has not directly received any correspondence on this proposal.

Conclusion

Staff believes that the design, scale and materials of the proposed residence are compatible with the surrounding neighborhood. Further, the classic Georgian architectural style of the proposed residence would be generally attractive, well-proportioned, and comprehensively executed. The second level would be inset from the ground floor, helping minimize the perception of mass and providing a privacy buffer. The excavation would be limited in size and would not be visible from the right-of-way or other properties. Staff recommends that the Planning Commission approve the proposed project.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The project is categorically exempt under Class 3 (Section 15303, “New Construction or Conversion of Small Structures”) of the current California Environmental Quality Act (CEQA) Guidelines.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Appeal Period

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

Attachments

- A. Recommended Actions
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter
- F. Arborist Report

Disclaimer

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

Exhibits to Be Provided at Meeting

None

Report prepared by:

Fahteen Khan, Assistant Planner

Report reviewed by:

Kyle Perata, Principal Planner

575 Kenwood Drive – Attachment A: Recommended Actions

LOCATION: 575 Kenwood Drive	PROJECT NUMBER: PLN2019-00013	APPLICANT: Jon Jang	OWNER: Whitney Lau
PROPOSAL: Request for a use permit to demolish an existing one-story residence, and construct a new two-story residence on a substandard lot with regard to lot width and area in the R-1-U (Single Family Urban Residential) zoning district. The project would include excavation in the interior side setback for a lightwell associated with a basement.			
DECISION ENTITY: Planning Commission	DATE: April 29, 2019	ACTION: TBD	
VOTE: TBD (Barnes, Doran, Goodhue, Kennedy, Onken, Riggs, Strehl)			
ACTION:			
<ol style="list-style-type: none"> 1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, “New Construction or Conversion of Small Structures”) of the current California Environmental Quality Act (CEQA) Guidelines. 2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City. 3. Approve the use permit subject to the following standard conditions: <ol style="list-style-type: none"> a. Development of the project shall be substantially in conformance with the plans prepared by Jonathan Jang Architect, consisting of 14 plan sheets, dated received April 11, 2019, subject to review and approval by the Planning Division. b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies’ regulations that are directly applicable to the project. c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project. d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes. e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division. f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits. g. Heritage and street trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the arborist report by Mayne Tree Expert Company, Inc. dated January 9, 2019. 			

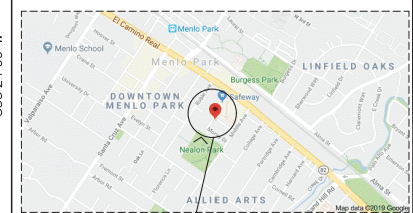
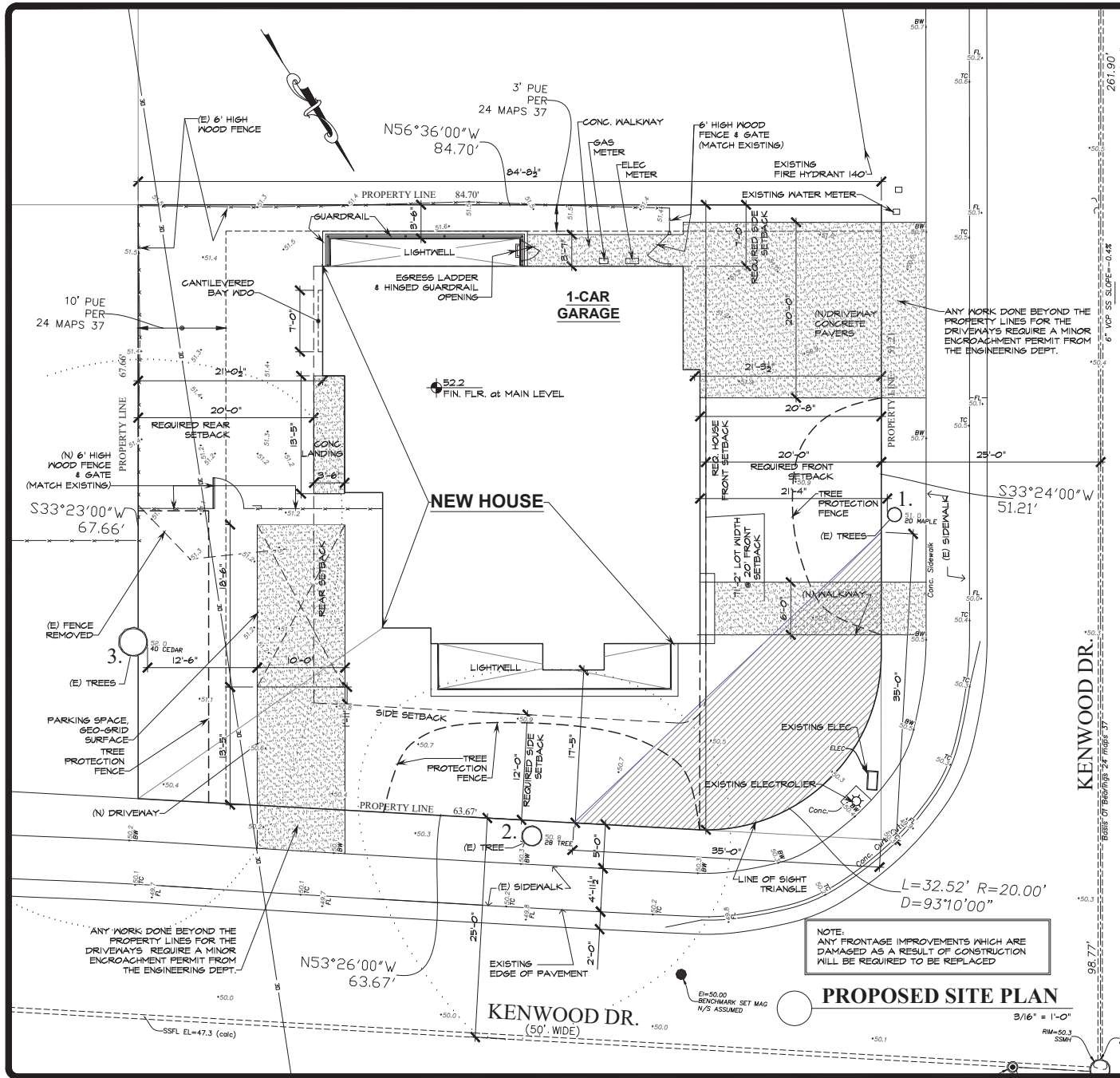


City of Menlo Park
 Location Map
 575 Kenwood Drive



575 Kenwood Drive – Attachment C: Data Table

	PROPOSED PROJECT	EXISTING DEVELOPMENT	ZONING ORDINANCE
Lot area	5,831 sf	5,831 sf	7,000.0 sf min.
Lot width	67.47 ft.	67.47 ft.	65.0 ft. min.
Lot depth	79.93 ft.	79.93 ft.	100.0 ft. min.
Setbacks			
Front	20.67 ft.	24.67 ft.	20.0 ft. min.
Rear	21.04 ft.	16.67 ft.	20.0 ft. min.
Corner Side (left)	17.42 ft.	20.1 ft.	12.0 ft. min.
Side (right)	7.0 ft.	8.25 ft.	5.0 ft. min.
Building coverage	1,685.62 sf 28.9 %	1,538.0 sf 26.38 %	2,041 sf max. 35.0 % max.
FAL (Floor Area Limit)	2,797.15 sf	1,300 sf	2,800 sf max.
Square footage by floor	1,665.75 sf/basement 1,412.75 sf/1 st floor 1,145.13 sf/2 nd floor 239.27 sf/garage 17.50 sf/porches 16.10 sf/chimney	1,050.0 sf/1 st floor 250.0 sf/garage 230.5 sf/porches 7.5 sf/chimney	
Square footage of buildings	4,796.5 sf	1,538.0 sf	
Building height	26.92 ft.	15.0 ft.	28 ft. max.
Parking	1 covered/ 1 uncovered	1 covered	1 covered/1 uncovered
Note: Areas shown highlighted indicate a nonconforming or substandard situation.			
Trees	Heritage trees: 3	Non-Heritage trees: 0	New Trees: 0
	Heritage trees proposed for removal: 0	Non-Heritage trees proposed for removal: 0	Total Number of Trees: 3



VICINITY MAP
N.T.S.

OWNER:
Michael Lau
575 Kenwood Ave.
Menlo Park, CA

PROJECT ARCHITECT:
JON JANG
722 Maple St.
Redwood City, CA
Tel# (650) 679-3394
e-mail: jonjang@mns.com

SCOPE OF WORK

DEMOLITION OF AN EXISTING HOUSE AND CONSTRUCTION OF A NEW TWO STORY SINGLE FAMILY RESIDENCE WITH A FULL BASEMENT, LIGHTWELLS AND RELATED SITE WORK

PROJECT DATA

PROJECT ADDRESS: 575 Kenwood Dr., Menlo Park, CA

APN #: 071-323-030

TYPE OF CONSTRUCTION: V-B (SPRINKLED)
OCCUPANCY CATEGORY: R3-U

ZONING: R1-U
BLDG HT: +19'-9"
LOT SIZE: 5,631 sqft
ALLOWED LOT COVERAGE (95%): 2,841 sqft
PROPOSED LOT COVERAGE: 1,885.62 sqft (30%)

FLOOR AREA LIMIT (FAL)

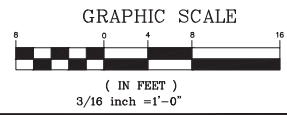
ALLOWED	2,800 sq. ft. allowed
HOUSE MAIN FLOOR AREA	1,412.75 sq. ft.
UPPER FLOOR AREA	1,145.00 sq. ft.
GARAGE FLOOR AREA	239.27 sq. ft.
TOTAL BLDG FLOOR AREA:	2,797.146 sq. ft. < 2,800
BASEMENT FLOOR AREA: (Not included in floor area calculations)	1,665.75 sq. ft.
COVERED FRONT PORCH	17.50 sq. ft.
FIRE PLACE:	16.10 sq. ft.

MAX. BLDG HEIGHT ALLOWED: 28'-0" / +26'-11" PROPOSED

1 COVERED / 1 UNCOVERED PARKING SPACES PROVIDED

SHEET INDEX:

- A1.0- SITE PLAN /PROJECT DATA
- A1.1- AREA PLAN /STREETSCAPE & ELEVATIONS (E) HOUSE PICTURES
- SU1- SURVEY
- A1.2- PERVIOUS-IMPERVIOUS AREA CALCULATIONS
- A2.01- EXISTING HOUSE FLOOR PLAN
- A2.1- PROPOSED MAIN FLR PLAN
- A2.2- PROPOSED UPPER FLR PLAN
- A2.3- PROPOSED BASEMENT FLR PLAN
- A2.4- PROPOSED ROOF PLAN
- A2.5- FLOOR AREA CALCULATIONS
- A3.1- BUILDING SECTIONS
- A4.1- PROPOSED BUILDING ELEVATIONS
- A4.2- PROPOSED BUILDING ELEVATIONS
- A4.3- PROPOSED FRONT FACADE-COLOR & MATERIALS



REVISION	BY

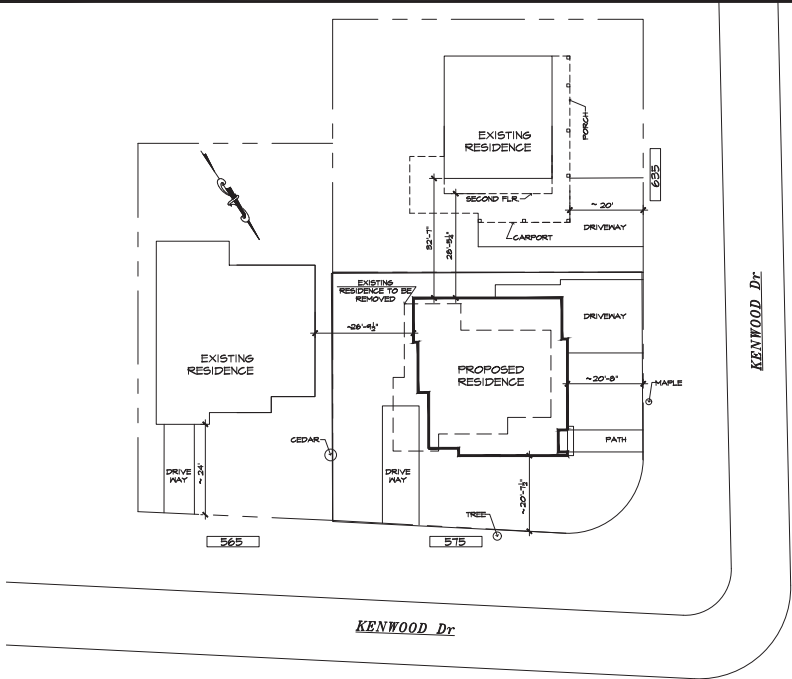
ARCHITECT
JON JANG
722 MAPLE ST.
REDWOOD CITY, CA 94061
TEL: (650) 679-3394
E-MAIL: JONJANG@MNS.COM



NEW HOUSE FOR LAU RESIDENCE
575 KENWOOD DR., MENLO PARK, CA

DRAWN	BY	
CHECKED	BY	
DATE		
SCALE		
SHEET		

A1.0



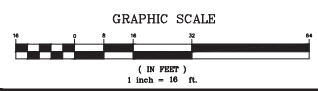
AREA PLAN



STREETSCAPE NORTHEAST ELEVATION



STREETSCAPE NORTHWEST ELEVATION



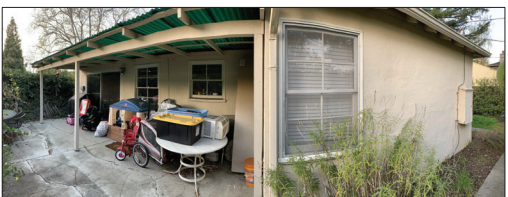
EXIST'G HOUSE NORTHEAST PHOTO



EXIST'G HOUSE NORTHWEST PHOTO



EXIST'G HOUSE SOUTHEAST (REAR) PHOTO



EXIST'G HOUSE SOUTHWEST (RIGHT SIDE) PHOTO

REVISION	BY

ARCHITECT
 JONATHAN LANG



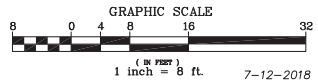
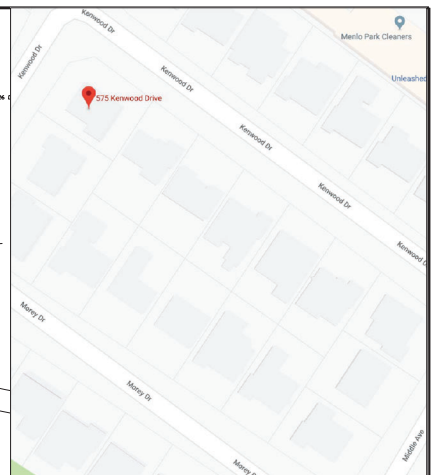
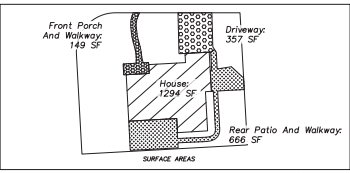
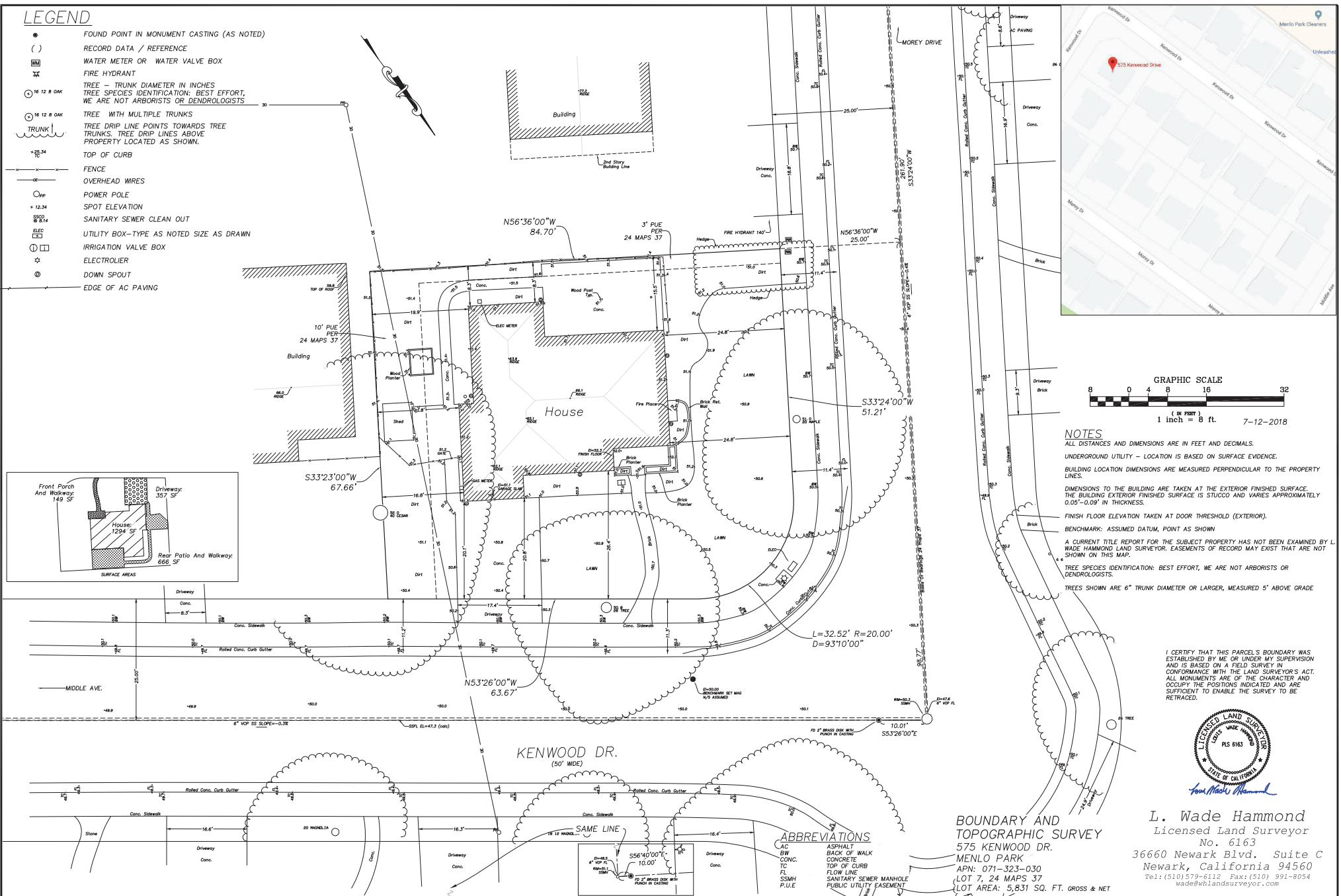
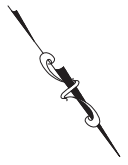
NEW HOUSE FOR
LAU RESIDENCE
 575 KENWOOD DR.
 MENLO PARK, CA

DRAWN	BY	
CHECKED	BY	
DATE		
SCALE		
DRAWING		
SHEET		

A1.1

LEGEND

- FOUND POINT IN MONUMENT CASTING (AS NOTED)
- () RECORD DATA / REFERENCE
- WM WATER METER OR WATER VALVE BOX
- ⊕ FIRE HYDRANT
- 16 12 8 OAK TREE - TRUNK DIAMETER IN INCHES
TREE SPECIES IDENTIFICATION: BEST EFFORT, WE ARE NOT ARBORISTS OR DENDROLOGISTS
- 16 12 8 OAK TREE WITH MULTIPLE TRUNKS
- TRUNK! TREE DRIP LINE POINTS TOWARDS TREE TRUNKS; TREE DRIP LINES ABOVE PROPERTY LOCATED AS SHOWN.
- +56.34 TOP OF CURB
- FENCE
- OVERHEAD WIRES
- PP POWER POLE
- + 12.34 SPOT ELEVATION
- SS SANITARY SEWER CLEAN OUT
- ELEC UTILITY BOX—TYPE AS NOTED SIZE AS DRAWN
- ⊠ IRRIGATION VALVE BOX
- ⊛ ELECTROLIQUER
- ⊙ DOWN SPOUT
- EDGE OF AC PAVING



- NOTES**
- ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.
 - UNDERGROUND UTILITY - LOCATION IS BASED ON SURFACE EVIDENCE.
 - BUILDING LOCATION DIMENSIONS ARE MEASURED PERPENDICULAR TO THE PROPERTY LINES.
 - DIMENSIONS TO THE BUILDING ARE TAKEN AT THE EXTERIOR FINISHED SURFACE. THE BUILDING EXTERIOR FINISHED SURFACE IS STUCCO AND VARIES APPROXIMATELY 0.05"-0.09" IN THICKNESS.
 - FINISH FLOOR ELEVATION TAKEN AT DOOR THRESHOLD (EXTERIOR).
 - BENCHMARK: ASSUMED DATUM, POINT AS SHOWN
 - A CURRENT TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY L. WADE HAMMOND LAND SURVEYOR. EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.
 - TREE SPECIES IDENTIFICATION: BEST EFFORT, WE ARE NOT ARBORISTS OR DENDROLOGISTS.
 - TREES SHOWN ARE 6" TRUNK DIAMETER OR LARGER, MEASURED 5' ABOVE GRADE

I CERTIFY THAT THIS PARCEL'S BOUNDARY WAS ESTABLISHED BY ME OR UNDER MY SUPERVISION AND IS BASED ON A FIELD SURVEY IN CONFORMANCE WITH THE LAND SURVEYOR'S ACT. ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RE-TRACED.

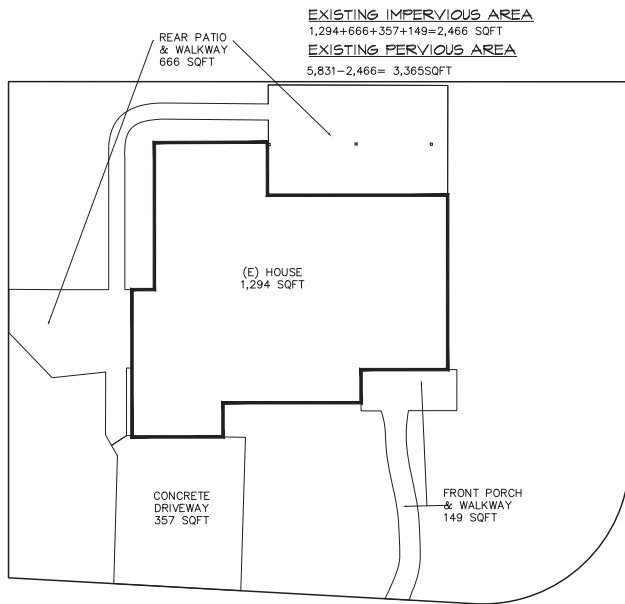


L. Wade Hammond
 Licensed Land Surveyor
 No. 6163
 36660 Newark Blvd. Suite C
 Newark, California 94560
 Tel: (510) 579-6112 Fax: (510) 991-8054
 wade@whlandsurveyor.com

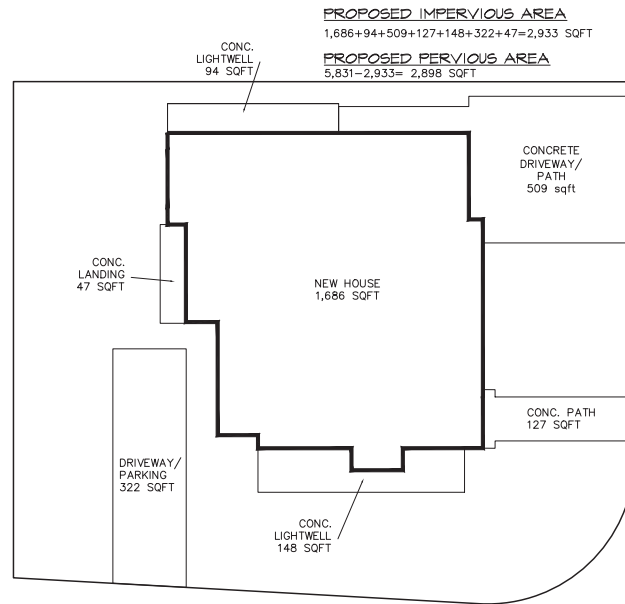
ABBREVIATIONS

- AC ASPHALT
- BW BACK OF WALK
- CONC. CONCRETE
- TO TOP OF CURB
- FL FLOW LINE
- SSMH SANITARY SEWER MANHOLE
- P.U.E. PUBLIC UTILITY EASEMENT

BOUNDARY AND TOPOGRAPHIC SURVEY
 575 KENWOOD DR.
 MENLO PARK
 APN: 071-323-030
 LOT 7, 24 MAPS 37
 LOT AREA: 5,831 SQ. FT. GROSS & NET



EXISTING PERVIOUS / IMPERVIOUS AREAS



PROPOSED PERVIOUS / IMPERVIOUS AREAS

IMPERVIOUS AREA WORKSHEET

Page 1

IMPERVIOUS AREA TABLE		
Total Area of Parcel	A	5,831 sq ft
Existing Pervious Area	B	3,365 sq ft
Existing Impervious Area	C	2,466 sq ft
Existing Impervious Area To Be Replaced W/ New Impervious Area	D	42 sq ft
Existing Pervious Area To Be Replaced W/ New Impervious Area	E	1,614 sq ft
New Impervious Area (Creating and/or Replacing)*	F	1,059 sq ft
*If greater than 10,000sqft, hydrology report must be submitted	F + D	2,113 sq ft
Existing Impervious Area To Be Replaced W/ New Pervious Area	G	672 sq ft
New Change in Impervious Area*	F - G	467 sq ft
Proposed Pervious Area	B - E	2,818 sq ft
Proposed Impervious Area*	C + F	2,933 sq ft
*Net Change in Impervious	A - (C + F)	2,898 sq ft

*Net change in impervious area is the area required by

IMPERVIOUS AREA WORKSHEET

Page 1

Submit this form with the improvement plan set to the City of Menlo Park Engineering Division.

Date: 3/26/24 APR 03 - 323-030

Property Address: 575 KENWOOD DR

Project Description: DEMOLITION OF EXISTING CONSTRUCTION OF A NEW 3,000 SQFT SINGLE FAMILY RES. WITH SWIMMING POOL (10'x16'x4') & RELATED SITE WORK

Contact Name: JOE JUNG

Contact Telephone Number: 650 / 619 - 8394

Contact Email: jojo.jung.architect@gmail.com

Title And Sheet of Submitted Drawing used For Calculations: A1.2

Land Use (Code One): (Residential) Commercial Industrial Professional Roadway

Drainage Basin (Circle One):
(See the Hydrology Report Requirements for a Drainage Basin map.)
Albion Creek San Francisco Creek San Francisco Bay

I certify that the calculations below accurately reflect the proposed changes and final impervious surfaces for the above project.

Calculations Performed By (Print): JOE JUNG

Checked By (Print): ALAN HUI

Calculations Performed By (Signature): [Signature]

Date: 3/22/24

REVISION	BY

ARCHITECT

JOE JUNG

1000 Folsom Street, Suite 100
San Francisco, CA 94103
Phone: 415.774.8888
www.joejung.com



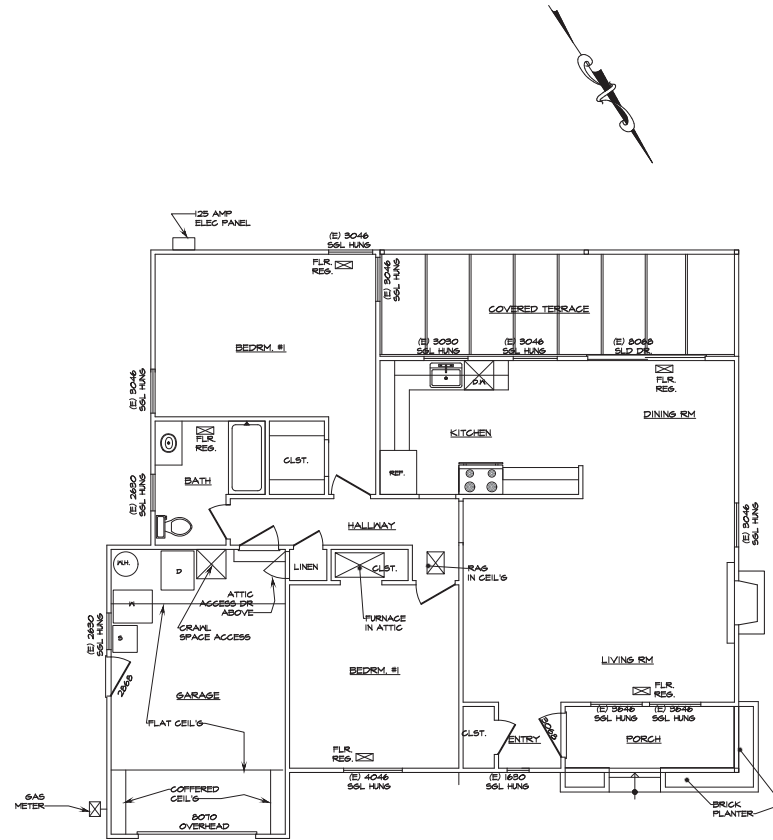
NEW HOUSE FOR
LAU RESIDENCE
575 KENWOOD DR.
MENLO PARK, CA

SCALE

JOB NO.

SHEET

A1.2



EXISTING FLOOR PLAN
 1/4" = 1'-0"

REVISION	BY

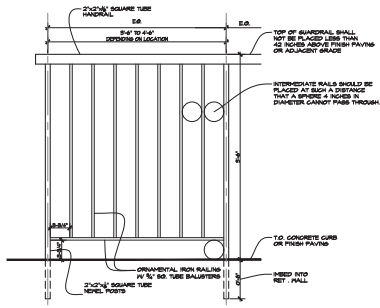
ARCHITECT
 JONATHAN JANG
 10000 Wilshire Blvd., Suite 1000
 Los Angeles, CA 90024



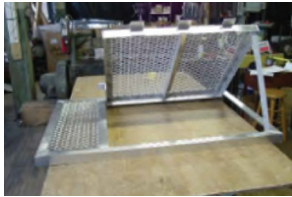
NEW HOUSE FOR
LAU RESIDENCE
 575 KENWOOD DR.
 MENLO PARK, CA

DRAWN	BY
CHECKED	BY
DATE	08/14/18
SCALE	1/4" = 1'-0"
JOB NO.	
SHEET	

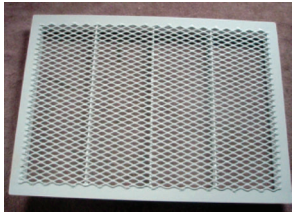
A2.01



B EXT. GUARDRAIL DETAIL @ LIGHTWELL #2
1/4" = 1'-0"



ESCAPE HATCH

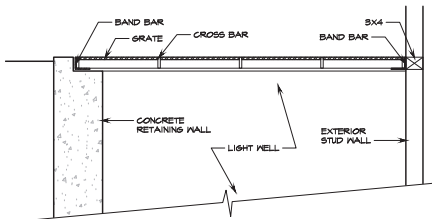


The REDI-EXITE Custom Grate Egress and Non-Egress Well Covers are constructed of mill finished Aluminum.

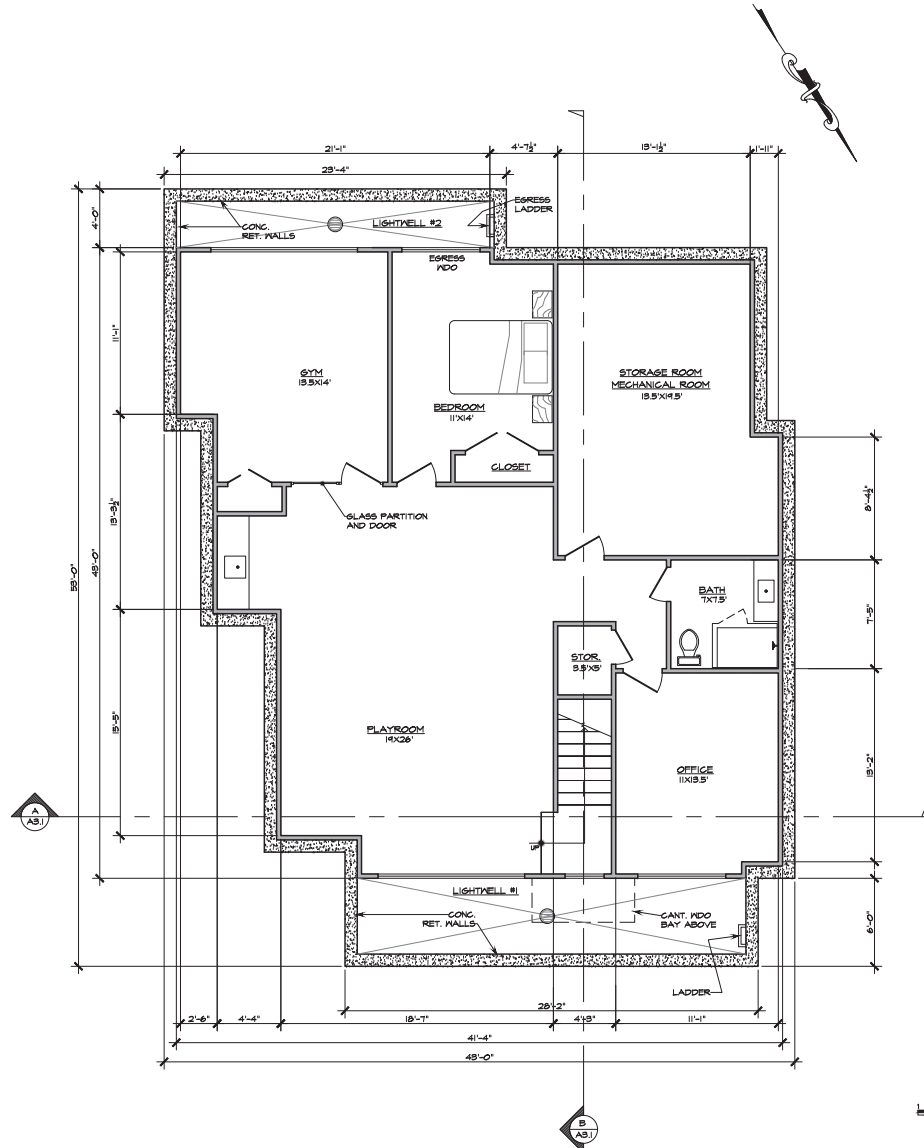
Details & Specs

These heavy duty structural grate Covers can be designed to hold up to 400 pounds or more if required, allowing someone to stand or walk on the cover without falling in, they height about 1 1/2 pounds per square foot.

The REDI-EXITE Custom Sized Aluminum Grate Style Covers can be designed to either lift-off, hinge open or be permanently attached.



A GRATE @ LIGHTWELL #1
1" = 1'-0"



PROPOSED BASEMENT FLR PLAN

1/4" = 1'-0"

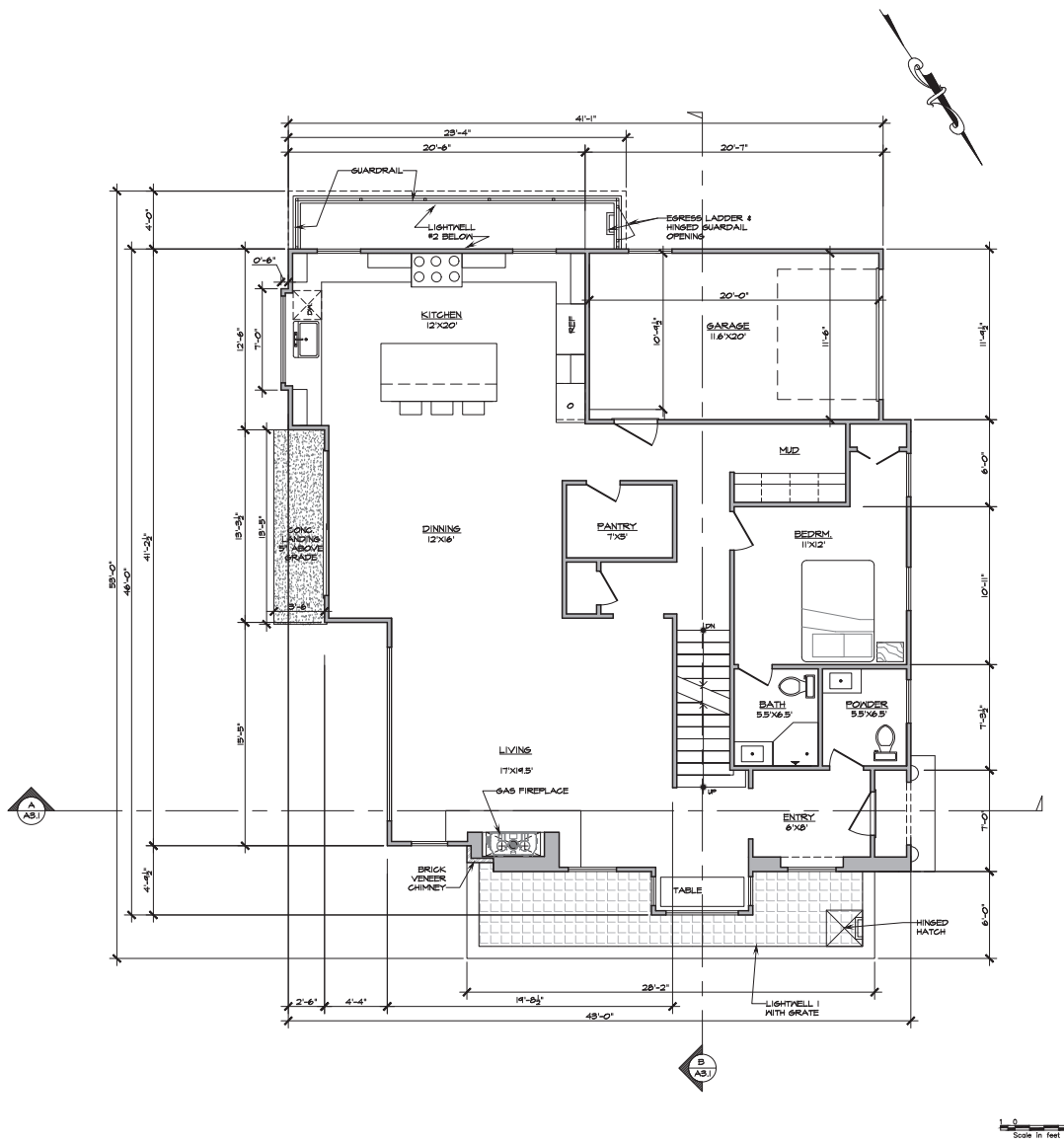
REVISION	BY

ARCHITECT
 JONATHAN JUNG
 10000 Wilshire Blvd., Suite 1000
 Beverly Hills, CA 90210
 (310) 477-1111



NEW HOUSE FOR
LAU RESIDENCE
 575 KENWOOD DR.
 MENLO PARK, CA

A2.1



PROPOSED MAIN FLR PLAN
1/4" = 1'-0"

Scale in feet

REVISION	BY

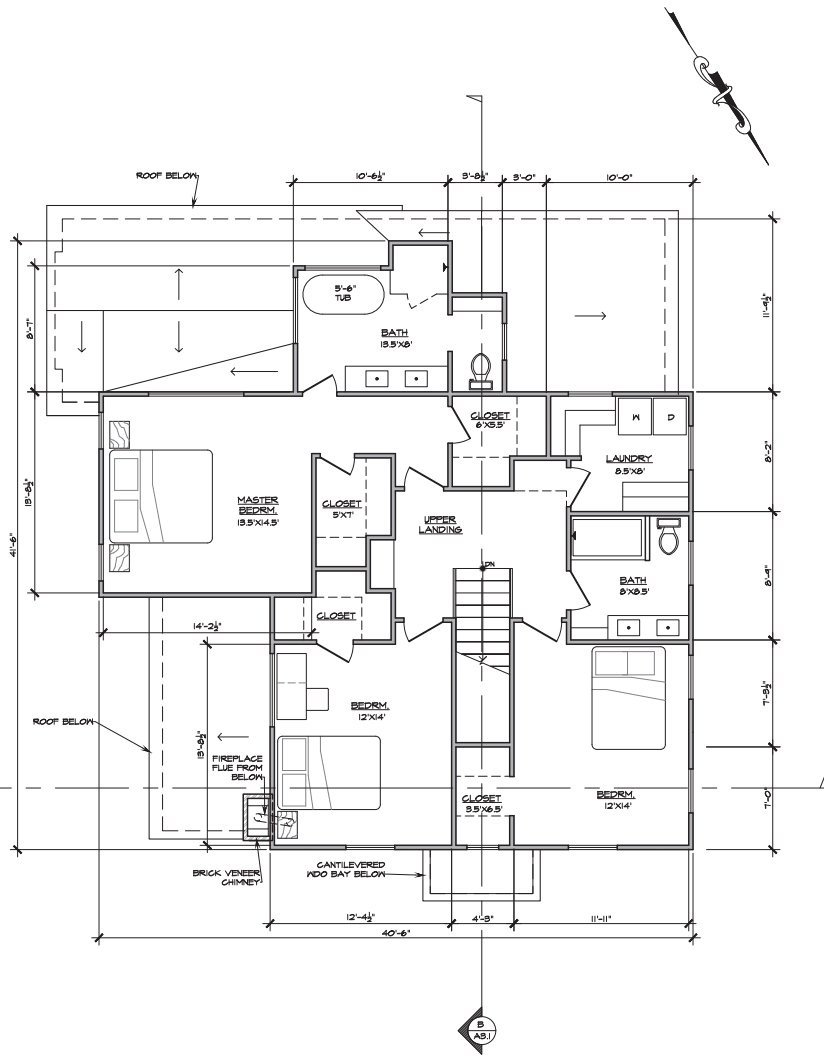
ARCHITECT
JONATHAN JUNG
1000 AVENUE OF THE STARS
SUITE 100
MENLO PARK, CA 94025



NEW HOUSE FOR
LAU RESIDENCE
575 KENWOOD DR.
MENLO PARK, CA

OWNER	EVGS
DESIGNED	JJ
DATE	06/16/18
SCALE	A=1/2"
JOB NO.	

SHEET
A2.2



PROPOSED UPPER FLR PLAN
1/4" = 1'-0"

REVISION	BY

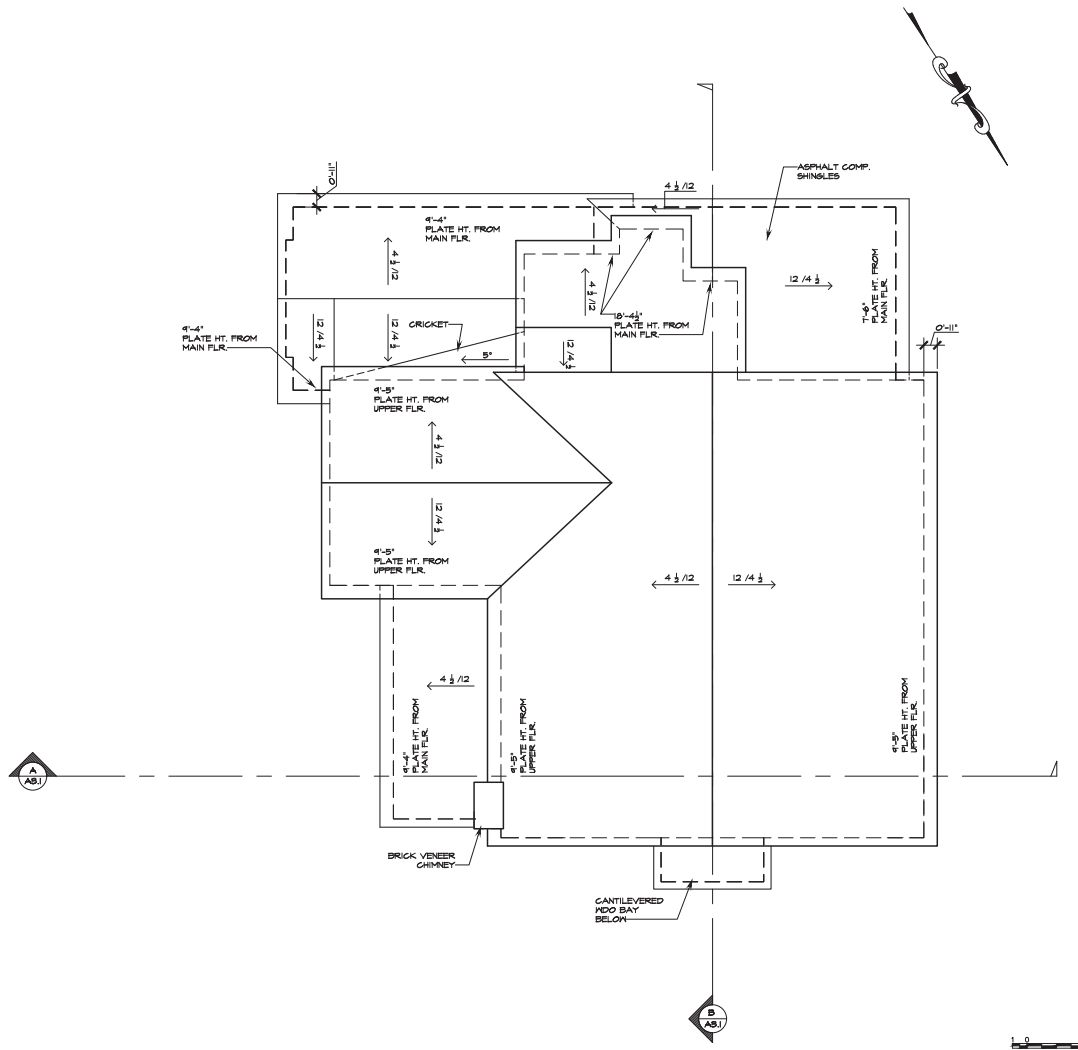
ARCHITECT
JONATHAN LANG



NEW HOUSE FOR
LAU RESIDENCE
575 KENWOOD DR.
MENLO PARK, CA

DRAWN	BY
CHECKED	BY
DATE	08/14/18
SCALE	1/4" = 1'-0"
JOB NO.	
SHEET	

A2.3



PROPOSED ROOF PLAN
 1/4" = 1'-0"

REVISION	BY

ARCHITECT
 JONATHAN LANG

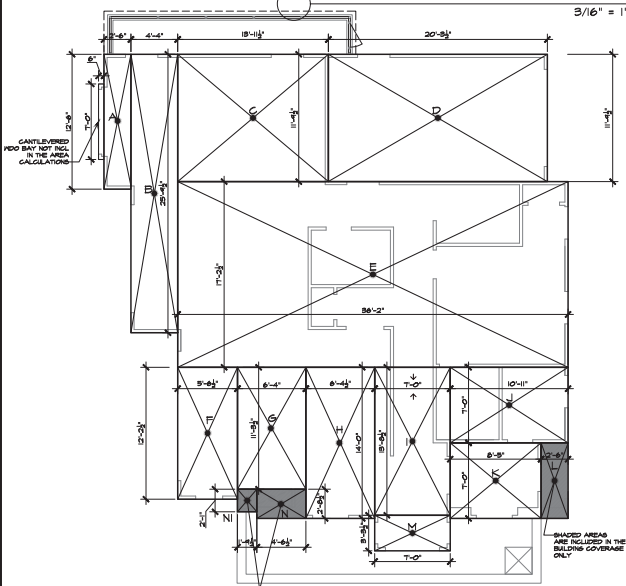


NEW HOUSE FOR
LAU RESIDENCE
 575 KENWOOD DR.
 MENLO PARK, CA

DRAWN
BY WH
CHECKED
JJ
DATE
08/16/18
SCALE
AS SH
JOB NO.
SHEET
A2.4

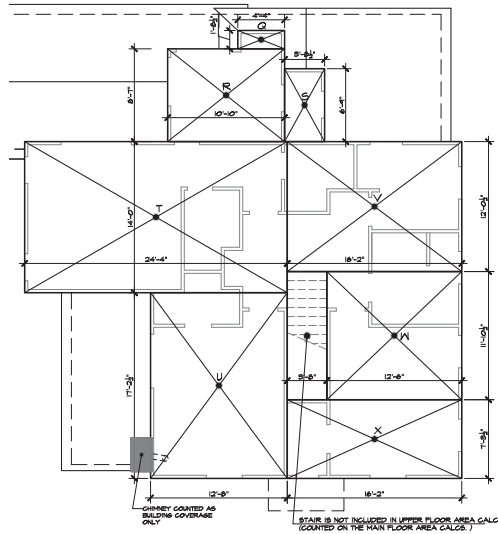
MAIN FLOOR AREA CALCULATIONS

3/16" = 1'-0"



UPPER FLOOR AREA CALCULATIONS

3/16" = 1'-0"



MAIN FLOOR AREA CALCULATIONS

SECTION	DIMENSIONS	AREA
A	2'-6" x 12'-6"	31.25 SQ. FT.
B	4'-4" x 28'-4"	111.75 SQ. FT.
C	18'-1 1/2" x 11'-4"	184.54 SQ. FT.
D	36'-2" x 17'-2 1/2"	622.37 SQ. FT.
E	37'-8 1/2" x 12'-2 1/2"	471.72 SQ. FT.
F	6'-4" x 11'-8"	75.52 SQ. FT.
G	6'-4" x 14'-0"	89.28 SQ. FT.
H	7'-0" x 13'-8"	95.46 SQ. FT.
I	12'-11" x 7'-0"	91.27 SQ. FT.
J	8'-0" x 11'-0"	88.00 SQ. FT.
K	7'-0" x 9'-8"	67.00 SQ. FT.
L	7'-0" x 9'-8"	67.00 SQ. FT.
M	7'-0" x 9'-8"	67.00 SQ. FT.
N	7'-0" x 9'-8"	67.00 SQ. FT.

HOUSE MAIN FLOOR AREA:	1452.75 SQ. FT.
D GARAGE AREA:	20'-8 1/2" x 11'-4 1/2" = 234.21 SQ. FT.
TOTAL FIRST FLOOR AREA:	1,685.02 SQ. FT.

N FIRE PLACE AREA:	4'-8" x 2'-8" = 12.5 SQ. FT.
N FIRE PLACE AREA:	1'-4 1/2" x 2'-1" = 3.0 SQ. FT.
TOTAL FIRE PLACE AREA:	15.0 SQ. FT.
L PORCH AREA:	2'-6" x 7'-0" = 17.50 SQ. FT.

BUILDING COVERAGE AREA: 1,685.62 SQ. FT.
 MAIN FLOOR FIRE PLACE+GARAGE+COVERED PORCH
 (1452.75 + 234.21 + 17.50 = 1604.46 SQ. FT. / 28 %)

UPPER FLOOR AREA CALCULATIONS

SECTION	DIMENSIONS	AREA
R	4'-4" x 11'-8 1/2"	50.50 SQ. FT.
S	12'-0" x 8'-1"	98.40 SQ. FT.
T	3'-0" x 6'-4"	19.20 SQ. FT.
U	24'-4" x 14'-0"	341.60 SQ. FT.
V	12'-8" x 17'-2 1/2"	217.41 SQ. FT.
W	18'-0" x 12'-0"	216.00 SQ. FT.
X	18'-2" x 11'-0"	199.84 SQ. FT.
X	18'-2" x 7'-8 1/2"	139.88 SQ. FT.

UPPER FLOOR AREA: 1458.18 SQ. FT.

TOTAL UPPER FLOOR AREA: 1,445.13 SQ. FT.

BASEMENT FLOOR AREA CALCULATIONS

SECTION	DIMENSIONS	AREA
1a	2'-6" x 12'-6"	31.25 SQ. FT.
1b	20'-0" x 28'-4"	568.00 SQ. FT.
1c	15'-8" x 14'-0"	220.80 SQ. FT.
1d	3'-0" x 18'-0"	54.00 SQ. FT.
1e	30'-8" x 17'-2 1/2"	527.12 SQ. FT.
1f	17'-4" x 11'-4"	204.80 SQ. FT.

BASEMENT FLOOR AREA: 1,665.75 SQ. FT.

TOTAL BASEMENT FLOOR AREA: 1,665.75 SQ. FT.
 ENTIRE BASEMENT FLOOR INCLUDING LIGHTWELLS ARE NOT INCLUDED IN THE FLOOR AREA CALCULATIONS

EXIST. HOUSE FLOOR AREA CALCULATIONS

SECTION	DIMENSIONS	AREA
EX.1	4'-6" x 18'-4"	84.5 SQ. FT.
EX.2	6'-2" x 11'-0"	67.5 SQ. FT.
EX.3	24'-8 1/2" x 28'-10 1/2"	698.0 SQ. FT.
EX.4	18'-1 1/2" x 20'-1 1/2"	364.0 SQ. FT.
TOTAL EX. HOUSE BLDG. FLOOR AREA:		1092.0 SQ. FT.
EX.5	12'-8 1/2" x 20'-0"	257.0 SQ. FT.
TOTAL EX. BUILDING FLR. AREA:		1300.0 SQ. FT.

CP.1	11'-0" x 4'-4"	48.0 SQ. FT.
CP.2	24'-4 1/2" x 7'-8"	177.5 SQ. FT.
FP.1	1'-4" x 4'-4"	5.5 SQ. FT.
TOTAL EX. PORCH/FIREPLACE AREA:		230.5 SQ. FT.

(E) BUILDING COVERAGE AREA: 1,538 SQ. FT.
 HOUSE FLR+GARAGE+COVERED PORCHES/FIREPLACE
 (1092 + 250 + 230 = 1538 SQ. FT. / 28 %)

(E) BUILDING FLOOR AREA: 1,300 SQ. FT.
PROPOSED BUILDING FLOOR AREA: 2,797 SQ. FT.

(E) BUILDING COVERAGE AREA: 1,538 SQ. FT.
PROPOSED BUILDING COVERAGE AREA: 1,686 SQ. FT.

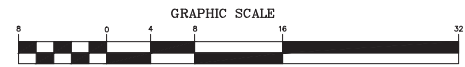
(E) IMPERVIOUS AREA: 2,466 SQ. FT.
PROPOSED IMPERVIOUS AREA: 2,933 SQ. FT.

BASEMENT FLOOR AREA CALCULATIONS

3/16" = 1'-0"

EXIST. HOUSE FLOOR AREA CALCULATIONS

3/16" = 1'-0"



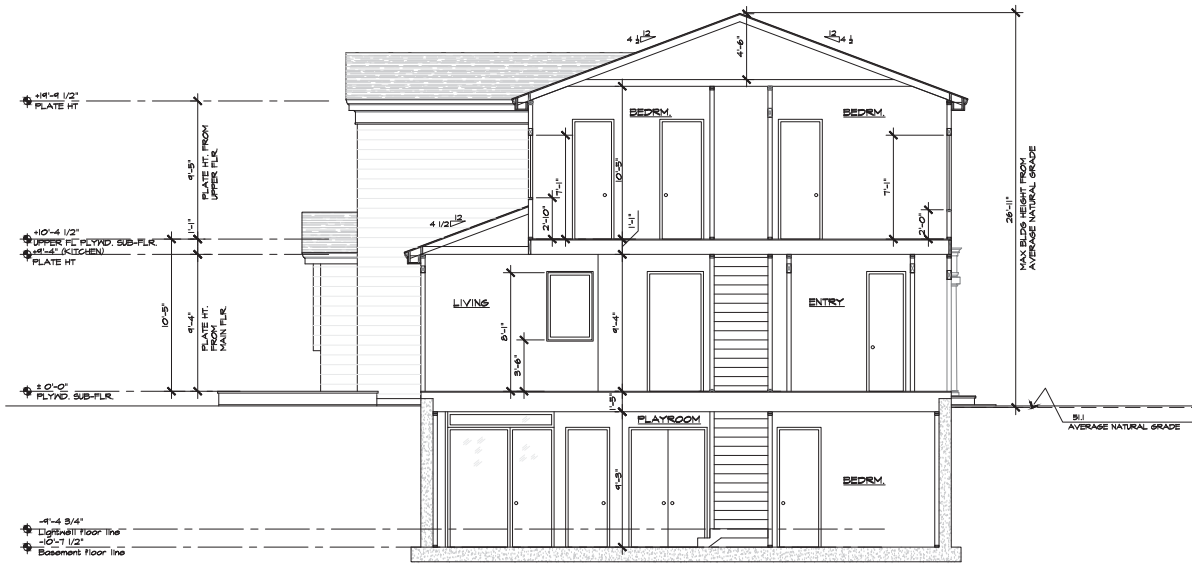
REVISION	BY

ARCHITECT
 JONATHAN LANG
 1000 N. GARDEN ST. SUITE 100
 ANAHEIM, CA 92810

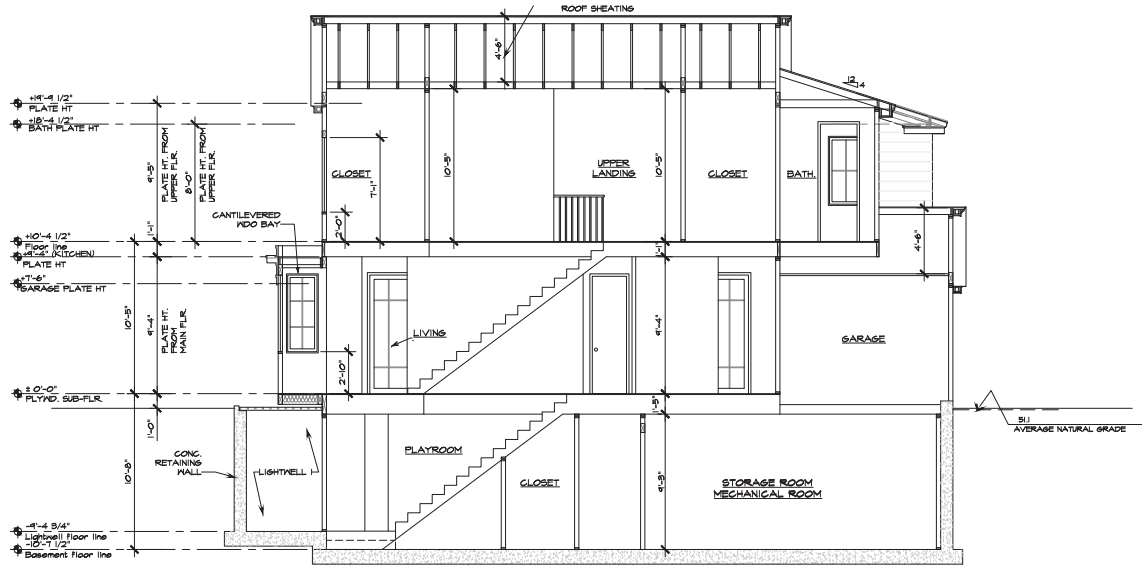


NEW HOUSE FOR
LAU RESIDENCE
 575 KENWOOD DR.
 MENLO PARK, CA

DRAWN	BY
CHECKED	BY
DATE	08/14/18
SCALE	3/16" = 1'-0"
SHEET	08/14/18
A2.5	



A PROPOSED BUILDING SECTION
1/4" = 1'-0"



B PROPOSED BUILDING SECTION
1/4" = 1'-0"

REVISIONS	BY

JONATHAN LAU
 ARCHITECT
1000 PINE STREET, SUITE 200, MENLO PARK, CA 94025



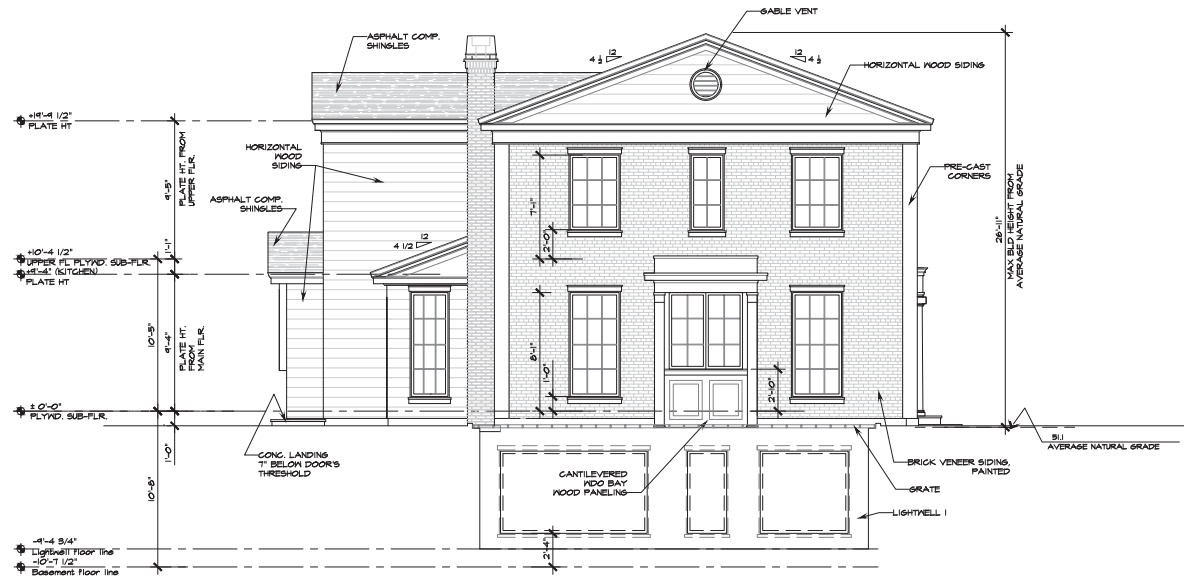
NEW HOUSE FOR
LAU RESIDENCE
 575 KENWOOD DR.
 MENLO PARK, CA

DESIGN	
CHECKED	
DATE	
SCALE	
JOB NO.	
SHEET	

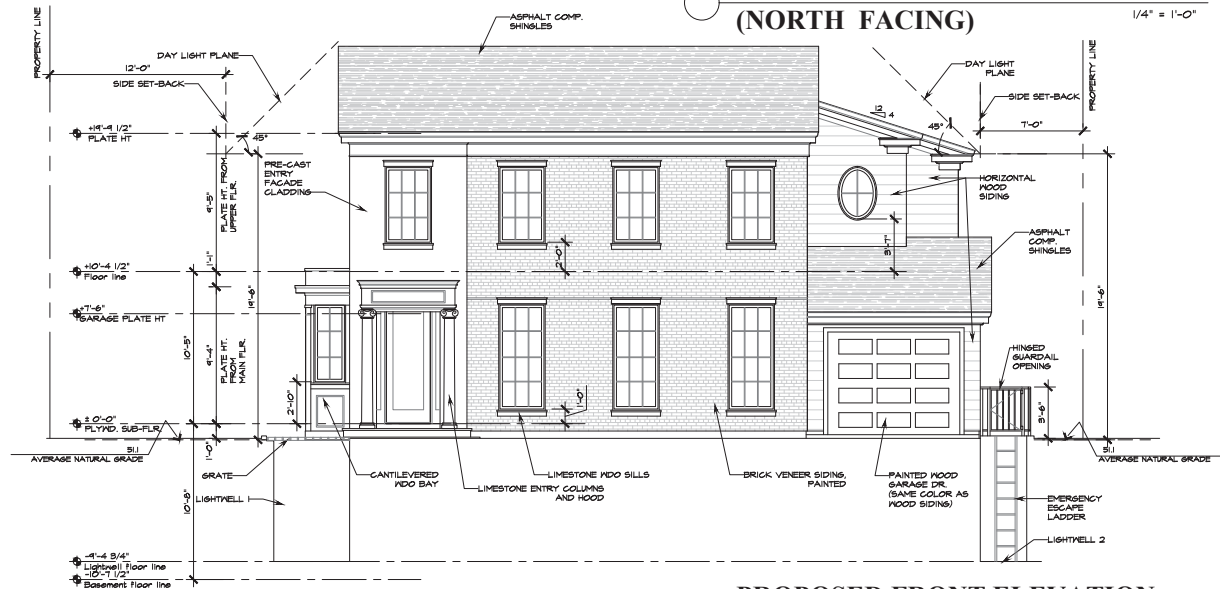
A3.1

NOTE:

WINDOWS TO BE KOLBE HERITAGE SERIES,
WITH SIMULATED DIVIDED LIGHT MUNTINS.
KARRON FACTORY PAINT FINISH, SATIN SHEEN.
SEE SHEET A4.3 FOR EXTERIOR FINISH MATERIALS AND COLORS.



**PROPOSED LEFT-SIDE ELEVATION
(NORTH FACING)**
1/4" = 1'-0"



**PROPOSED FRONT ELEVATION
(WEST FACING)**
1/4" = 1'-0"



REVISION	BY

ARCHITECT
JONATHAN JUNG
10000 Wilshire Blvd., Suite 1000
Beverly Hills, CA 90210
Tel: 310.277.1000

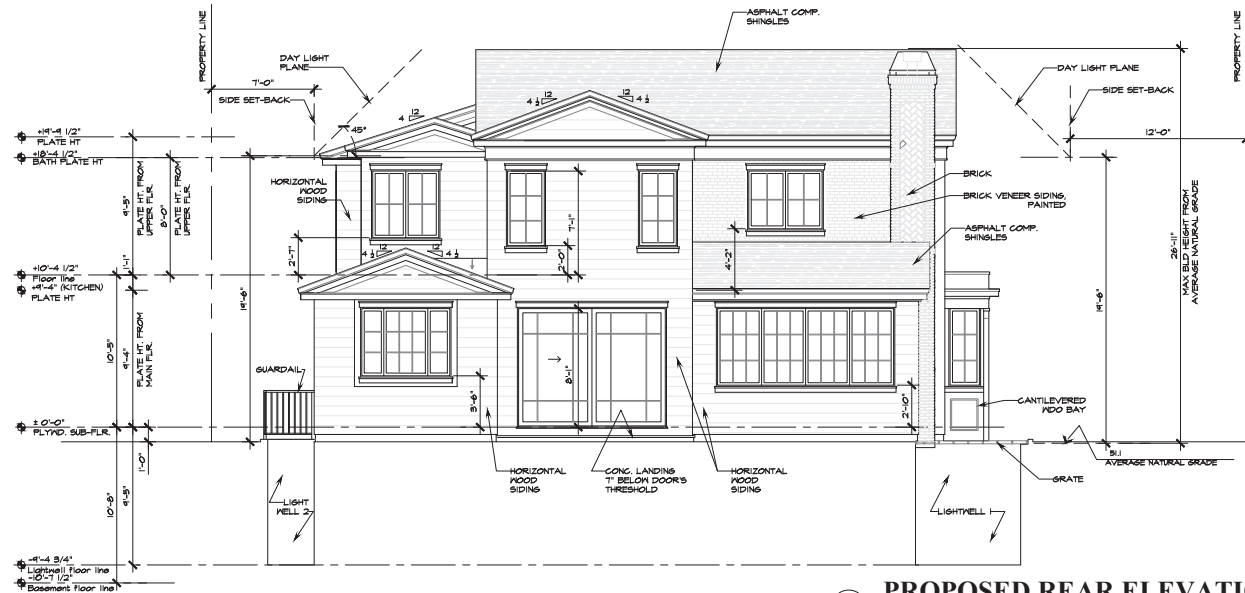


NEW HOUSE FOR
LAU RESIDENCE
575 KENWOOD DR.
MENLO PARK, CA

DRAWN	BY	WV
CHECKED	BY	JJ
DATE	08/18/18	
SCALE	2 1/4" = 1'-0"	
JOB NO.		
SHEET		

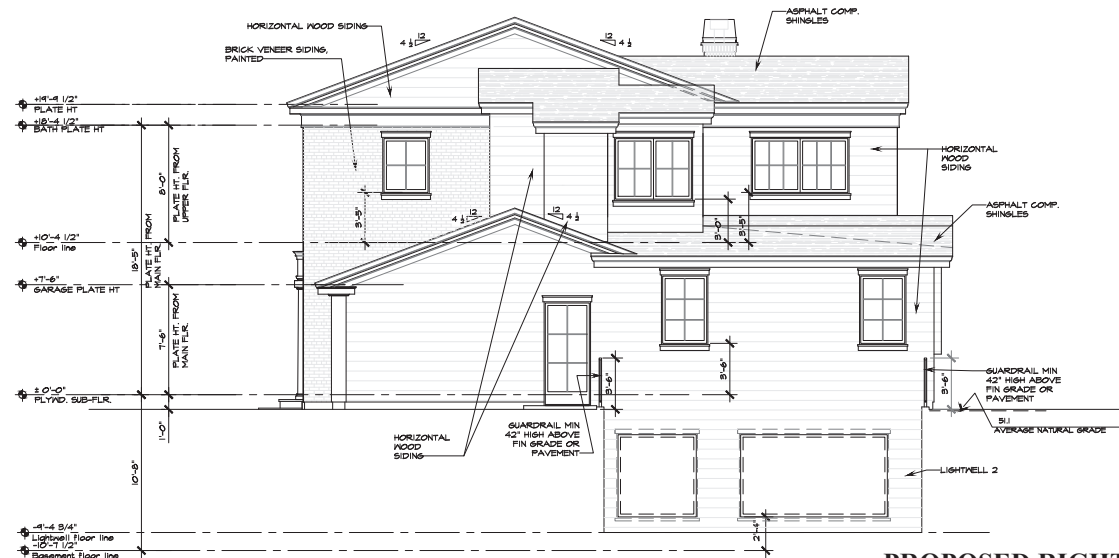
A4.1

NOTE:
 WINDOWS TO BE KOLBE HERITAGE SERIES,
 WITH SIMULATED DIVIDED LIGHT MUNTINS,
 K-KRON FACTORY PAINT FINISH, SATIN SHEEN.
 SEE SHEET A4.3 FOR EXTERIOR FINISH MATERIALS AND COLORS.



**PROPOSED REAR ELEVATION
 (EAST FACING)**

1/4" = 1'-0"



**PROPOSED RIGHT-SIDE ELEVATION
 (SOUTH FACING)**

1/4" = 1'-0"



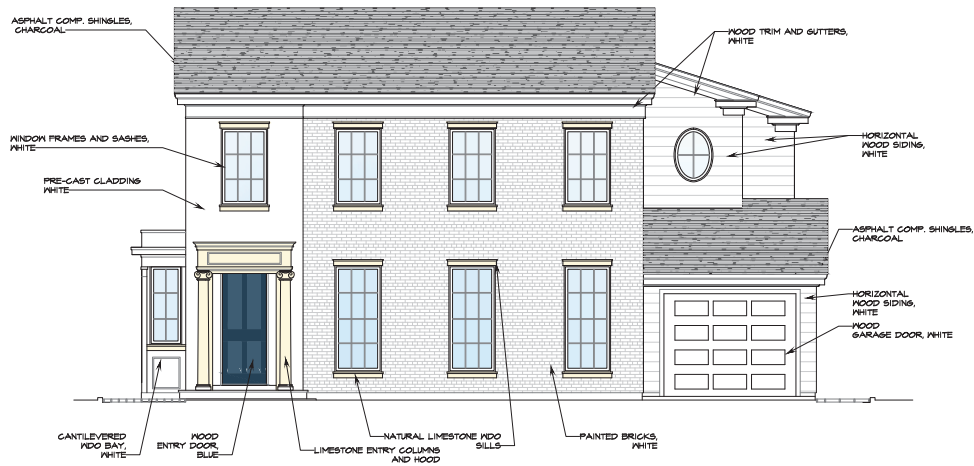
REVISION	BY

ARCHITECT
 JONATHAN LING
 10000 Wilshire Blvd., Suite 200
 Los Angeles, CA 90024



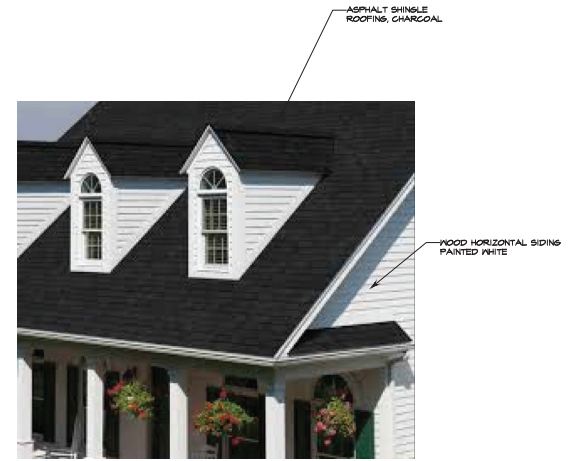
NEW HOUSE FOR
LAU RESIDENCE
 575 KENWOOD DR.
 MENLO PARK, CA

A4.2



PROPOSED FRONT FACADE- COLOR MATERIALS
(WEST FACING)

1/4" = 1'-0"



ROOFING & HORIZONTAL SIDING



WHITE PAINTED BRICK WALLS



WOOD PAINTED FRONT DOOR

REVISION	BY

ARCHITECT

JOHN HAN JUNG

1000 N. RAY BLVD. SUITE 100
 SAN ANTONIO, TX 78207



NEW HOUSE FOR
LAU RESIDENCE
 575 KENWOOD DR.
 MENLO PARK, CA

DATE
REVIEW
CHECKED
JJ
DATE
08/18/18
SCALE
JOB NO.
SHEET

A4.3

PROJET DESCRIPTION

Lau Residence - New House
575 Kenwood Ave
Menlo Park

The following describes the inspiration for and the design of the proposed house style.

The inspiration for the house is a classic Georgian house, the primary feature of which is the main two story element with a classically detailed gable roof. The two street-side facades' windows are appropriately spaced, and classically proportioned with vertical elongation. The street-side gable end wall is symmetrically composed with a classically detailed pediment, raking and eave cornices, and frieze.

The siding material of the main gable is painted brick veneer, with off-shoot wings clad with horizontal wood siding. The effect is to suggest a structure that has evolved over time.

The chimney is veneered with reclaimed brick and is slimly proportioned to avoid the look of commonly built bulky chimneys.

Windows are wood casement with factory painted satin finish, avoiding the metallic look of cladding. Brick returns into the window side jambs for a recessed appearance. Brick-returned jambs with limestone headers and water table sills complete the windows' trim out.

Lightwells are proposed for the full basement, one at the south side and one at the north side, each to serve the full basement. The street-side lightwell will be grated to avoid the use of guardrails.

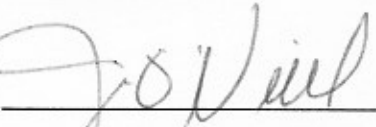
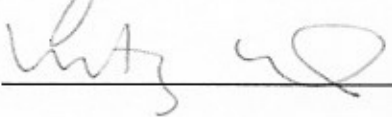
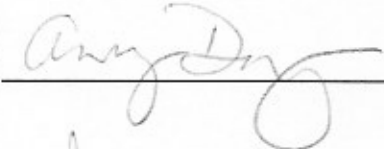
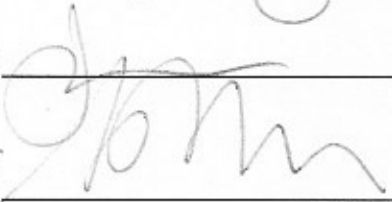
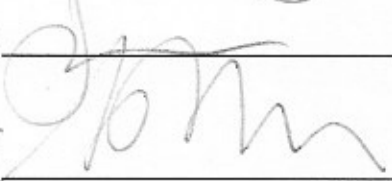

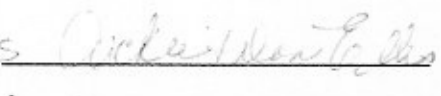
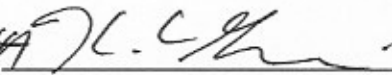
Off-street parking relies on two driveways, each at the opposite ends of the corner street corner. An arborist has been retained to assess the construction of house and driveways to Heritage trees, particularly the large Deodora cedar at the property's East side. Shallow excavation will be done for a geo-grid drive and parking space.

Adjacent neighbors' rear patio areas are screened from proposed upper floor window views.

The owners have met with neighbors, showed them the proposed design plans, and have received positive feedback and endorsements. These are included as an attachment to this narrative.

Jon Jang, Architect

I have spoken with Michael and Whitney Lau about their house project and I am supportive of the project.

<u>Name</u>	<u>Signature</u>	<u>Address</u>
Frank & Joan O'Neill		590 Kenwood Dr.
KRISTY HOLCH		600 Kenwood Dr.
Brett & Annley Dempsey		575 Morey Dr.
Tom & ANDREA BAKER		680 Kenwood Dr.
Scott & Hilary Herscher		635 Kenwood Dr.
Andrei Pesic		595 Morey Dr.
Jackie & Don FLS		630 Kenwood Dr. 5th P.
CHRIS GARCIA		580 Kenwood Dr.
Jeanne Gang		565 Kenwood Dr.
		610 Kenwood Dr.



Mayne Tree Expert Company, Inc.

ESTABLISHED 1931

STATE CONTRACTOR'S LICENSE NO. 276793

CERTIFIED FORESTER • CERTIFIED ARBORISTS • PEST CONTROL • ADVISORS AND OPERATORS

RICHARD L. HUNTINGTON
PRESIDENTJEROMEY INGALLS
CONSULTANT/ESTIMATOR

January 9, 2019

535 BRAGATO ROAD, STE. A
SAN CARLOS, CA 94070-6311

TELEPHONE: (650) 593-4400

FACSIMILE: (650) 593-4443

EMAIL: info@maynetree.com

Mr. Jon Jang, Architect
722 Maple St.
Redwood City, CA 94063

Dear Mr. Jang,

RE: 575 KENWOOD DRIVE, MENLO PARK

On January 3, 2019, I inspected three trees at the above-referenced site. The existing house is to have a basement put under the house. There will be excavation layback per OSHA requirements. This layback may go out 6 feet toward the three trees with 1-foot deep, 1-foot out.

There are two sycamores, *Platanus acerifolia*, and a cedar, *Cedrus deodara*, on the south property line. The sycamores, street trees, are far enough away to avoid construction impacts. There will be a parking space 12½ feet from the cedar.

The proposed driveway will be in the same footprint as the existing driveway, so only minimal impact is expected.

This parking space will have the finished elevation 6 inches lower than the base of the tree. Since the area between the tree and the parking space slopes rapidly, minor root cutting is expected. To reduce any root damage pull soil away from the tree. Using geogrid may reduce excavation to only 4 inches.

The cedar has had broken limbs in the past. This resulted in the removal of several limbs on the south side. At this time, there are two or three broken limbs. Removing broken and cracked limbs (not visible) and end weight reduction, or removing heavier higher-risk limbs could slightly change the tree's appearance.

To conclude, the proposed construction will not impact the three trees. Protecting the sycamores can be done easily. (See site plan.) Protecting the cedar is more difficult, as there is less space and excavation nearby. (See site plan.)

Have all excavation (soil disturbance) inspected for any root impact. At that time mitigating measures can be recommended. If you have any questions, or would like a site visit, please call or email.

I think this report is accurate and based on sound arboricultural principles and practices.

Sincerely,



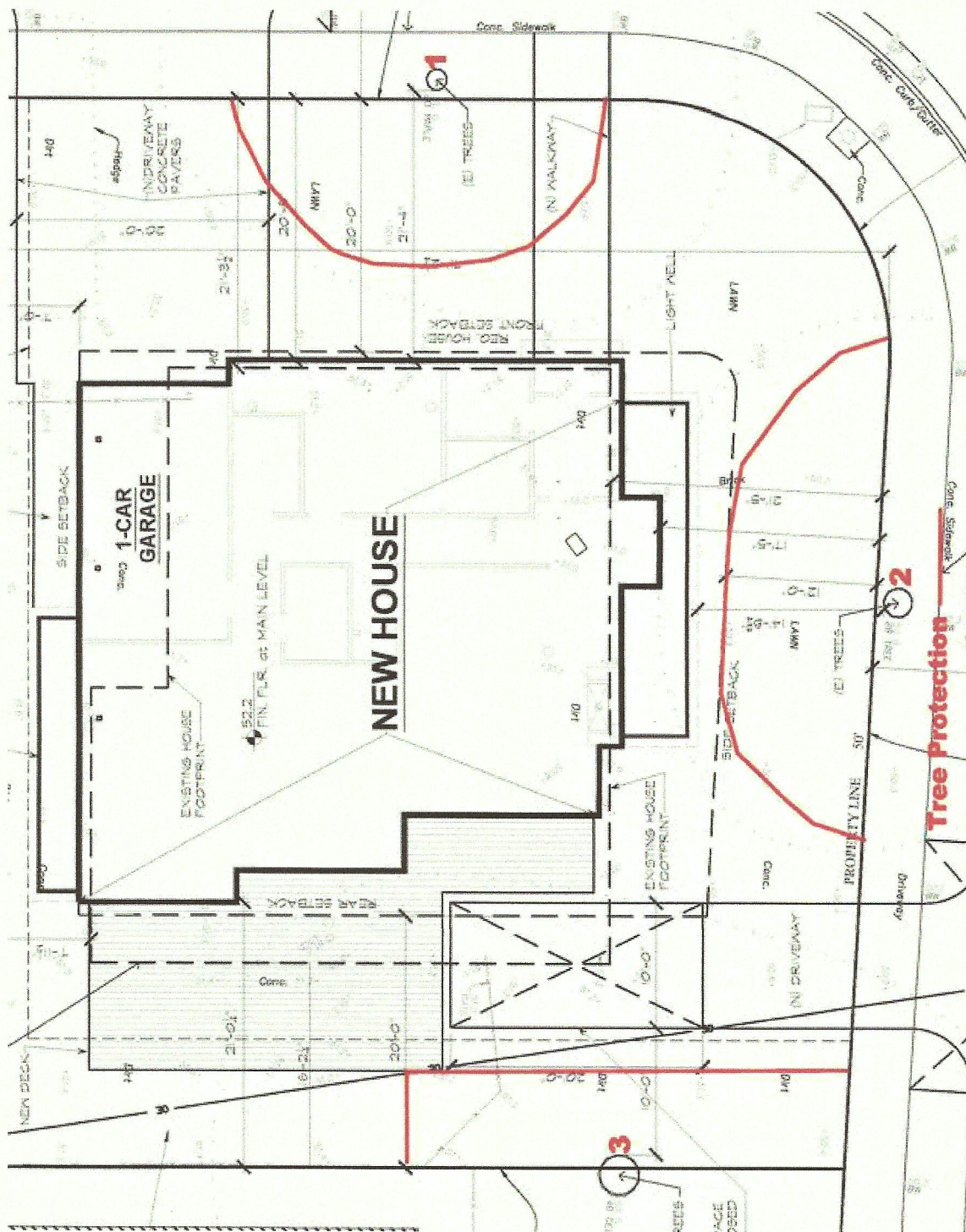
Richard L. Huntington
Certified Arborist WE #0119A
Certified Forester #1925

RLH:pmd



Tree Survey

Tree #	Species	Diameter (inches) @ 36"	Condition (percent)	Comments
1	Sycamore	23.4 @ 36"	65	Pollarded & allowed to grow; root flare 1 foot from sidewalk; sidewalk being uplifted. Tree has been routinely pruned; no impact from OSHA-required basement layback.
2	Sycamore	27.1 @ 24"	70	Pollarded & allowed to grow; routinely pruned; root flare is about 18 inches from the sidewalk; sidewalk being uplifted. The proposed light well is 14 feet away with the layback about 8 feet away and may potentially impact roots. I recommend, if possible, using shoring.
3	Deodar Cedar	36.4 @ 36"	60	On property line with neighbors. Proposed parking space is about 12½ feet away. Keep excavation no deeper than 8 inches. Using geogrid should reduce excavation. No impact from basement layback, as it will be about 20 feet away. Past broken limb on neighbor's side with 2 cracked limbs; 1 low & 1 high. After pruning to remove cracked limbs & end weight on higher-risk limbs the tree may appear very unsightly.



See tree fencing locations site plan (pdf) attached to email with this letter.



STAFF REPORT

Planning Commission

Meeting Date: 4/29/2019
Staff Report Number: 19-030-PC

Public Hearing: Use Permit, Architectural Control, Heritage Tree Removal Permit, and Below Market Rate Housing Agreement/Charlie King/250 Middlefield

Recommendation

Staff recommends that the Planning Commission approve a request for a use permit and architectural control to add 3,853 square feet of gross floor area (GFA) to an existing office building on a lot in the C-1 (Administrative and Professional District, Restrictive) zoning district. As a part of the proposal, the applicant requests a use-based parking reduction from the required one space per 200 square feet of GFA (133 spaces) to approximately three parking spaces per 1,000 square feet of GFA (83 spaces), and the removal of one heritage-sized Japanese maple tree. The proposal includes a Below Market Rate (BMR) housing agreement for compliance with the City's BMR program. The recommended actions are contained in Attachment A.

Policy Issues

Each use permit and architectural control request is considered individually. The Planning Commission should consider whether the required use permit and architectural control findings can be made for the proposal. The Planning Commission, through the use permit request, should also consider the appropriateness of the proposed use-based parking reduction request for this individual project.

Background

Site location

The approximately two acre subject site is located at 250 Middlefield Road. The site is zoned C-1 (Administrative and Professional District, Restrictive). For the purposes of this staff report, Middlefield Road is considered to have an east-west orientation, and all compass directions referenced will use this orientation. The parcel is located on the northern side of Middlefield Road at the corner of Santa Monica Avenue and Middlefield Road. The Menlo Park Fire Protection District Station 1 is located to the west of the site across Santa Monica Avenue. Properties south of the site, across Middlefield Road and directly to the east of the site are also zoned C-1, and properties north of the subject site are zoned R-1-U. A location map is included as Attachment B.

Analysis

Project description

The existing building is approximately 22,623 square feet, including a second floor and two covered entry porches with columns greater than 12 inches in width (which count as GFA toward the floor area ratio for the development). Since its construction in the 1950s, the building has been used for offices. The building owner, Charlie King, is requesting use permit and architectural control to expand an existing office building to create additional office space on the first floor and a use permit to reduce the number of parking spaces from the required 133 to 83 spaces. Additionally, the project is also proposing removal of a heritage-sized Japanese maple tree; the health of the tree is in decline. While the proposed addition is less than 10,000 square feet, the total proposed project is greater than 10,000 square feet in size, and is required to comply with the City's Below Market Rate (BMR) Housing Ordinance. A data table summarizing parcel and project attributes is included as Attachment C. The project plans and the applicant's project description letter are included as Attachments D and E, respectively.

Site layout

The site is a corner lot, at the intersection of Middlefield Road and Santa Monica Avenue. The front of the existing building is oriented toward Middlefield Road. A limited number of parking spaces are located at the front of the building, accessed from Middlefield Road and the remainder of the parking spaces for the site are located to the rear of the building, which can be accessed from Santa Monica Avenue. The site is very long and building sits more to the front of the property to allow for on-site parking. The existing site layout includes a shed at the rear-right corner, which is proposed to be removed. The site includes some covered parking spaces along the right-side property line. The trash enclosure sits facing Santa Monica for better access by Recology and is proposed to be rebuilt in the existing location. There are 48 trees present in or surrounding the subject property. Out of the 48 trees 11 are considered heritage size; of which two are street trees.

Design and materials

The existing two-story structure is of Monterey style with cement plaster walls, metal windows, wrought iron railings, wood columns, heavy wood detailing, and wood shake roof. The additions would complete the enclosure of the existing rear courtyard and will match the existing structure. No changes are proposed to the existing front or left side elevation. The following list identifies additional key characteristics of the proposed project's design and materials.

- The proposed additions would use the same building materials and forms, such as cement plaster finishes, wood shake roof, and roof ridge slopes.
- The proposed rear addition on the southern side of the building would match the existing rear façade, including the provision of wrought iron railings.
- The proposed courtyard and steps feature tiles which the proposed addition will match.
- The existing building on the first floor has two color gradients, the darker shade at the bottom with a lighter shade at the top. The proposed additions would match this color gradient.
- As part of the proposal the project would incorporate a new trash enclosure, painted to match the building color. The trash enclosure pad would be within a landscaped area and screened by new shrubs.

A color and materials board will be provided for the Commission's review at the April 29th Planning

Commission meeting.

Parking and circulation

The existing site is served by a surface parking lot with 70 parking spaces, which is considered substandard. The majority of the existing and proposed parking would be located at the rear of the site, accessed from Santa Monica Avenue. A limited number of parking spaces are located at the front of the building, accessed from Middlefield Road. Because of the proposed addition of GFA on the site, the building is required to comply with the parking standards of the C-1 zoning district. Under those standards, all development is required to provide one space for every 200 square feet of GFA or 5 spaces per 1,000 square feet of GFA, regardless of the uses within the building. With a proposed GFA of 26,476 square feet, the parking requirement for the project would be 133 spaces.

As part of the use permit, the applicant is requesting a use-based parking reduction to provide approximately 3.13 parking spaces per 1,000 square feet of GFA which totals 83 spaces by reconfiguring the existing above grade rear parking lot. The proposed parking lot reconfiguration to 83 spaces would also incorporate eight EV charging spaces and required accessible spaces. For reference, the City's recommended parking ratio for office uses is one space for every 300 square feet of GFA or 3.3 spaces per 1,000 square feet of GFA. The applicant provided a letter of request for the parking reduction, included in Attachment F. In addition the tenant, TVC, provided its own letter outlining the businesses specific operations and current commute incentives to reduce trips and associated parking demand. TVC employs approximately 56 people at the site and estimates that approximately 10 guests visit the site each day. The tenant generally is open from 8:00 a.m. to 6:00 p.m. Currently, the occupant provides free annual Caltrain passes for all of their permanent employees, along with a shuttle to and from the Caltrain station. Additionally they cater food and provide onsite amenities to help reduce overall trips. The tenant's letter is included as Attachment G. Given the existing employee count, the operations of the tenants, and the size of the proposed addition, the proposed 83 parking spaces should accommodate the expansion of the existing tenant at the site. Further the proposed parking ratio is similar to the City's recommended rate for general office.

While the proposed addition would allow the existing tenant to expand at the site, it would also allow for future office users to occupy the building. The building owner has proposed a transportation demand management (TDM) program (Attachment H) to ensure that TVC and future tenants continue to implement TDM measures intended to reduce trips to the site and associated parking demand. The transportation demand management measures would require tenants to create a commute program for their employees and sets up a monitoring program to ensure compliance. The effectiveness of the TDM program would be ensured through project-specific condition of approval 5g.

The TDM features programs such as, but not limited to:

- Guaranteed ride home program for employees
- Preferential carpool parking
- Conduct annual employee commute survey
- Conduct driveway vehicle trip counts for review by the City's Transportation Department. These counts will help assess the effectiveness of the proposed TDM measures and modify as necessary to meet required performance.

Any future tenants would be required to comply with the conditions of approval in Attachment A, including the implementation of a TDM program to reduce trips and associated parking demand at the site.

Trees and landscaping

The applicant has submitted an arborist report (Attachment I) detailing the species, size, and conditions of the heritage and non-heritage trees on site. The report discusses the impacts of the proposed improvements and provides recommendations for tree maintenance, based on their health. As part of the project review process, the arborist report was reviewed by the City Arborist. All recommendations identified in the arborist report shall be implemented and will be ensured as part of condition 5g.

There are 48 trees present in or surrounding the subject property. Out of the 48 trees 11 are considered heritage sized; of which two are street trees. As part of the proposal one heritage Japanese maple and two non-heritage trees are being removed due to health and structural issues as described in the Arborist Report. Applicant is proposing to plant two London plane trees as replacements for the removal of the heritage tree on the rear parking lot. An existing rear shed is proposed to be removed and in its place a new tree will be planted. As part of the proposal there are landscape modifications proposed mainly to the rear of the property. In addition, most existing trees will be retained and maintained as part of the project, while also adding smaller trees and shrubs, as detailed in the landscape plans.

BMR housing program requirement

Per the Zoning Ordinance, commercial projects inclusive of 10,000 square feet or more of GFA are subject to the City's BMR requirements. The applicant is required to comply with Chapter 16.96 of City's Municipal Code, ("BMR Ordinance"), and with the BMR Housing Program Guidelines adopted by the City Council to implement the BMR Ordinance ("Guidelines"). Because the existing building is over the 10,000-square-foot threshold, BMR requirements apply to the proposed addition.

For this specific project, the residential unit equivalent is 0.19 units. However, residential use of the property is not allowed in the C-1 zoning district and consequently would not be consistent with the Commercial General Plan Land Use Designation. Further, the property owner does not own any sites zoned for residential uses. Based on the project zoning and land use, and the small residential unit equivalent, staff has found that development of such units on-site in accordance with the requirements of the BMR Ordinance and Guidelines is not feasible. Therefore, the proposed draft BMR Agreement (Attachment J) allows the applicant to pay the applicable in-lieu fee prior to final sign-off of the building permit for this project.

The current BMR fee per square foot of office is \$17.79 through June 30, 2019. Under the present rate, the estimated BMR in lieu fee for the proposed project is \$68,544.87 based upon the proposed land use breakdown within the building. The applicable fee for the project would be adjusted based upon the per square foot fee in effect at the time of payment. The Housing Commission, at its April 3, 2019 meeting, voted unanimously to approve the draft BMR agreement term sheet and recommended that the Planning Commission approve the BMR Agreement, permitting the applicant to satisfy the BMR requirement through payment of an in lieu fee

The in lieu fee would be calculated as set forth in the table below. The applicable fee for the project would be based upon the per square foot fee in effect at the time of payment and the proposed square footages within Group A (offices) and Group B (other commercial) at the time of payment.

Table 1: BMR Requirements and Applicant Proposal			
	Fee per square foot	Square feet	Component fees
Existing Building - Office	\$17.79	22,623	(\$402,463.17)
Existing Building - Non-Office	\$9.66	0	\$0.00
Proposed Building - Office	\$17.79	26,476	\$471,008.04
Proposed Building - Non-Office	\$9.66	0	\$0.00
BMR In-Lieu Fee			\$68,544.87

Correspondence

The applicant states in their project description letter that they held an outreach event for the neighbors and no neighbors attended the event. Staff has received a letter of opposition relaying concerns about the location of the on-site parking, the adequacy of the proposed amount of on-site parking, concerns about noise and light, and the lack of sidewalks along the project frontages. The letter is included in Attachment K. With regard to the frontage improvements and sidewalks, the City’s Engineering Division determined that a new sidewalk would be required along Middlefield Road but not Santa Monica Avenue, based on the scope of work. The project specific conditions of approval require a sidewalk along Middlefield Road and the proposed frontage improvements are included in the project plan set. The proposed parking spaces should be sufficient for the use of the site based on the applicant’s TDM plan and the operations of the existing business.

Conclusion

Staff believes that the design, scale and materials of the proposed additions are compatible with the existing structure and within zoning and planning compliance. Additionally, the proposed addition meets the required setbacks. Also, given that the residential unit equivalent for the project is 0.19 units and residential use of C-1 zoned properties is not permitted under current zoning regulations the BMR Agreement for the payment of an in-lieu fee would be appropriate. Staff has received a letter in opposition from a neighboring property owner in regards to parking, noise and light, traffic, and sidewalks. The City’s Engineering Division has required a new sidewalk along Middlefield Road to improve pedestrian accessibility along the northern side of Middlefield Road. Given the existing employee count, the operations of the tenants, and the size of the proposed addition, staff believes the proposed 83 parking spaces should accommodate the expansion of the existing tenant at the site. Staff recommends that the Planning Commission approve the use permit and architectural control requests for the expansion of the building, the parking reduction, and the BMR Housing Agreement.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.

Public Notice

Public notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Attachments

- A. Recommend Actions
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter
- F. Letter for parking reduction by Hayes Group Architects
- G. Letter from tenant, TVC
- H. TDM Plan
- I. Arborist Report
- J. Draft Below Market Rate (BMR) Housing Agreement
- K. Neighbor correspondence

Disclaimer

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

Exhibits to Be Provided at Meeting

Colors and materials board

Report prepared by:

Fahteen Khan, Assistant Planner

Report reviewed by:

Kyle Perata, Acting Principal Planner

250 Middlefield Road – Attachment A: Recommended Actions

LOCATION: 250 Middlefield Road	PROJECT NUMBER: PLN2018-00053	APPLICANT: Ken Hayes	OWNER: Charlie King
PROPOSAL: Request for a use permit and architectural control to add 3,853 square feet to an existing office building on a lot in the C-1 (Administrative and Professional District, Restrictive) zoning district. As a part of the proposal, the applicant requests a parking reduction from the required six spaces per 1,000 square feet (133 spaces) to approximately three parking spaces per 1,000 square feet (83 spaces), and the removal of one heritage-sized Japanese maple tree. The proposal includes a Below Market Rate (BMR) housing agreement for compliance with the City's BMR program.			
DECISION ENTITY: Planning Commission	DATE: April 29, 2019	ACTION: TBD	
VOTE: TBD (Barnes, Doran, Goodhue, Kennedy, Onken, Riggs, Strehl)			
ACTION:			
<ol style="list-style-type: none"> 1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines. 2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City. 3. Adopt the following findings, as per Section 16.68.020 of the Zoning Ordinance, pertaining to architectural control approval: <ol style="list-style-type: none"> a. The general appearance of the structure is in keeping with the character of the neighborhood. b. The development will not be detrimental to the harmonious and orderly growth of the City. c. The development will not impair the desirability of investment or occupation in the neighborhood. d. The development provides adequate parking as required in all applicable City Ordinances and has made adequate provisions for access to such parking. 4. Approve the Below Market Rate Housing In-Lieu Fee Agreement (Attachment J) in accordance with the City's Below Market Rate Housing Program. 5. Approve the use permit and architectural control subject to the following standard conditions: <ol style="list-style-type: none"> a. Development of the project shall be substantially in conformance with the plans prepared by Hayes Group Architect, consisting of 41 plan sheets, dated received April 11, 2019; along with the project description letter (dated and received April 22, 2019), parking reduction request letter (dated and received May 15, 2018), and TDM plan letter (received January 31, 2019), subject to review and approval by the Planning Division. b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project. c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project. 			

250 Middlefield Road – Attachment A: Recommended Actions

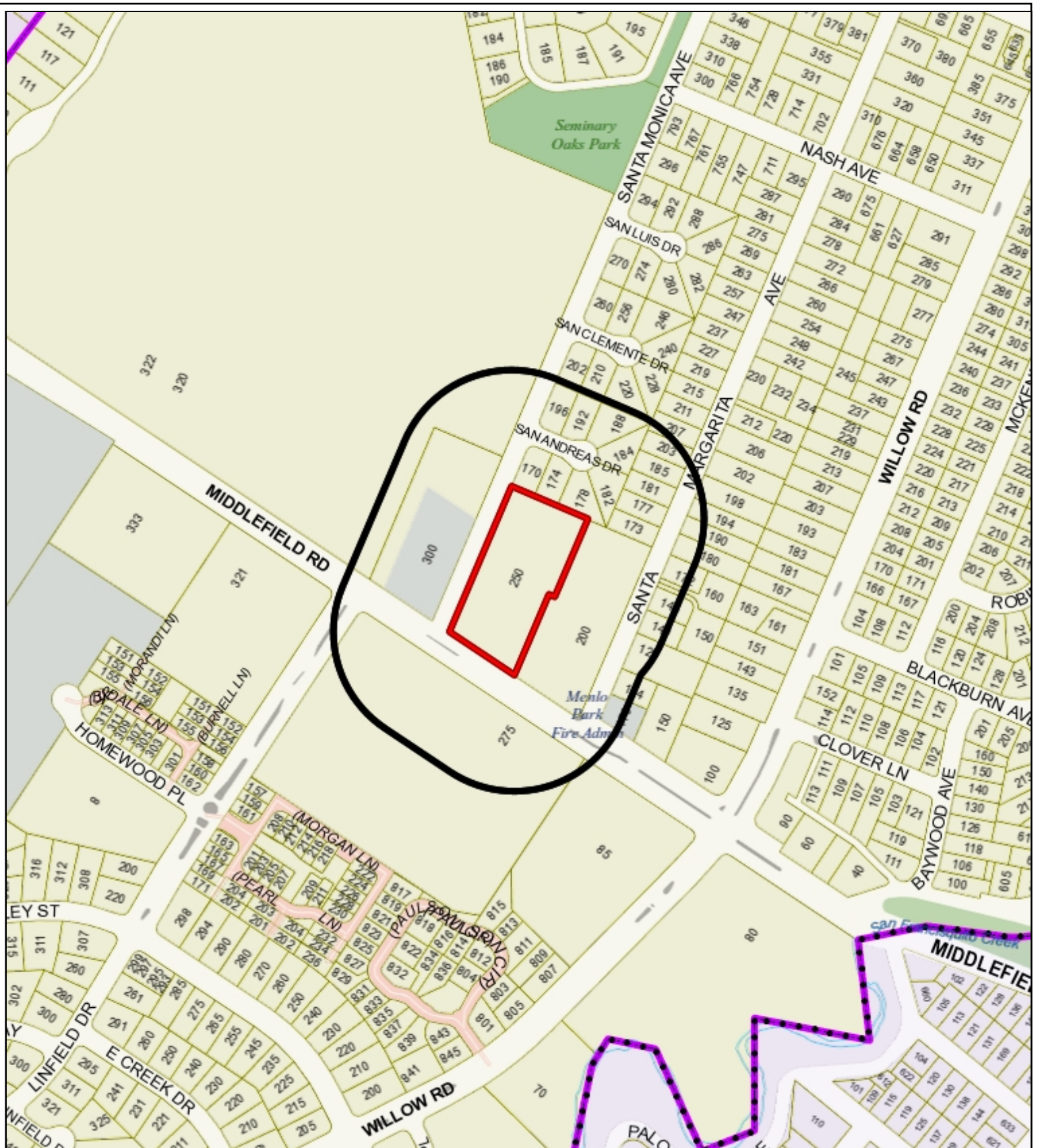
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DECISION ENTITY: Planning Commission	DATE: April 29, 2019	ACTION: TBD	
VOTE: TBD (Barnes, Doran, Goodhue, Kennedy, Onken, Riggs, Strehl)			
<p>ACTION:</p> <ul style="list-style-type: none"> d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes. e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division. f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits. g. Heritage and street trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the arborist report by Urban Tree Management, Inc. dated April 4, 2019. <p>6. Approve the use permit architectural control subject to the following project-specific conditions:</p> <ul style="list-style-type: none"> a. During the design phase of the construction drawings all potential utility conflicts shall be potholed with actual depths and recorded on the improvement plans, submitted for City review and approval. b. During the design phase of the construction drawings the frontage heritage trees adjacent to the proposed sidewalk shall be assessed for root damage resulting from the project with a formal Arborist Report and documented to the City simultaneous with the first Building application. A heritage tree removal permits shall be obtained with approval by the City Arborist if applicable. c. Prior to building permit issuance the Applicant shall submit all applicable engineering plans for Engineering review and approval. The plans shall include, but are not limited to: <ul style="list-style-type: none"> i. Existing Topography (NAVD 88') ii. Demolition Plan iii. Site Plan (including easement dedications) iv. Grading and Drainage Plan 			

250 Middlefield Road – Attachment A: Recommended Actions

LOCATION: 250 Middlefield Road	PROJECT NUMBER: PLN2018-00053	APPLICANT: Ken Hayes	OWNER: Charlie King
PROPOSAL: Request for a use permit and architectural control to add 3,853 square feet to an existing office building on a lot in the C-1 (Administrative and Professional District, Restrictive) zoning district. As a part of the proposal, the applicant requests a parking reduction from the required six spaces per 1,000 square feet (133 spaces) to approximately three parking spaces per 1,000 square feet (83 spaces), and the removal of one heritage-sized Japanese maple tree. The proposal includes a Below Market Rate (BMR) housing agreement for compliance with the City's BMR program.			
DECISION ENTITY: Planning Commission	DATE: April 29, 2019	ACTION: TBD	
VOTE: TBD (Barnes, Doran, Goodhue, Kennedy, Onken, Riggs, Strehl)			
<p>ACTION:</p> <ul style="list-style-type: none"> v. Utility Plan vi. Erosion Control Plan (SWPPP if applicable) vii. Planting and Irrigation Plan (Demonstrating WELO compliance) viii. Off-site Improvement Plan ix. Construction Details (including references to City Standards) x. Final Hydrology Report and Stormwater Treatment Report xi. Stormwater O&M Agreement xii. WELO documents pursuant to the City's webpage https://www.menlopark.org/361/Water-efficient-landscaping-ordinance <ul style="list-style-type: none"> d. Prior to building permit issuance the Applicant shall submit plans for construction parking management, construction staging, material storage, and Traffic Control Plans to be reviewed and approved by the City. The plans must delineate construction phasing and anticipated method of traffic handling for each phase. e. Prior to building permit issuance the Applicant shall furnish a Final Hydrology Report and Stormwater Treatment Report. The Reports shall substantiate all calculations demonstrating conformance with C.3 guidelines and the City's policy of no net increase in stormwater flow from pre-development conditions up to the 10-year storm. Additionally, both reports must be prepared and approved to the satisfaction of the Public Works Department and include provisions for the capacity of the existing 8" VCP discharge pipe. f. Prior to building permit issuance the Applicant shall prepare a Grading and Drainage plan detailing all surface grades and overland release patterns. The grading and drainage plan shall be in substantial conformance with the project's Stormwater Treatment Report and demonstrate how watershed boundaries are directed to green infrastructure facilities. g. Prior to building permit issuance the Applicant shall prepare an off-site improvement plan that details all extents of frontage work in public right of way. This includes but is not limited to, sidewalks, driveways, and planting deemed necessary by the Public Works Department upon review of the submittal. The Applicant hereby agrees to file an encroachment permit, subject to Public Works approval, prior to any construction in the public right of way. h. Prior to construction if necessary, the Applicant shall file and obtain a VOC and Fuel Discharge Permit with the San Francisco Bay Regional Water Quality Control Board for groundwater discharge. All groundwater discharge to the City storm drain during 			

250 Middlefield Road – Attachment A: Recommended Actions

LOCATION: 250 Middlefield Road	PROJECT NUMBER: PLN2018-00053	APPLICANT: Ken Hayes	OWNER: Charlie King
PROPOSAL: Request for a use permit and architectural control to add 3,853 square feet to an existing office building on a lot in the C-1 (Administrative and Professional District, Restrictive) zoning district. As a part of the proposal, the applicant requests a parking reduction from the required six spaces per 1,000 square feet (133 spaces) to approximately three parking spaces per 1,000 square feet (83 spaces), and the removal of one heritage-sized Japanese maple tree. The proposal includes a Below Market Rate (BMR) housing agreement for compliance with the City's BMR program.			
DECISION ENTITY: Planning Commission	DATE: April 29, 2019	ACTION: TBD	
VOTE: TBD (Barnes, Doran, Goodhue, Kennedy, Onken, Riggs, Strehl)			
<p>ACTION:</p> <p>construction shall be approved to the satisfaction of the Public Works Department prior to commencement of work.</p> <ul style="list-style-type: none"> i. Prior to final occupancy the Applicant shall enter into an Operations and Maintenance Agreement (O&M Agreement) with the City for all stormwater treatment devices and appurtenances. The Applicant further agrees to record this Agreement with the County of San Mateo and route a copy of the conform documents to the Public Works Department for the City's record. j. Prior to final occupancy the Applicant shall retain a civil engineer to prepare "as-built" or "record" drawings of public improvements, and the drawings shall be submitted in both AutoCAD and PDF formats to the Engineering Division. k. Prior to final occupancy the Applicant shall submit a landscape audit report to the Public Works Department. l. Prior to building permit issuance, the applicant shall pay a Transportation Impact Fee (TIF) at an office rate of \$4.87 per square foot of gross floor area (GFA) for a total estimated TIF of \$21,447.48, subject to the Municipal Code Section 13.26. The fee rate is subject to change annually on July 1 and the final calculation will be based upon the rate at the time of fee payment. The TIF rate is adjusted each year based on the ENR Construction Cost Index percentage change for San Francisco. The TIF was calculated as follows: 3,853 sq. ft. x \$4.87 = \$18,764.11. m. The applicant shall submit a report with frequency as determined by the Transportation Division to show that it is complying with the TDM plan. If the report shows that the site is not in compliance with the TDM plan, then the applicant shall work with the City to identify corrective measures to bring the site into compliance with the TDM plan. n. New handicapped and non-handicapped spaces shall be painted, marked, and signed per City of Menlo Park standards. 			



CITY OF
MENLO PARK

City of Menlo Park
Location Map
250 Middlefield Road



Scale: 1:4,000

Drawn By: FNK

Checked By: KTP

Date: 4/3/2019

Sheet: 1

250 Middlefield Road – Attachment C: Data Table

	PROPOSED PROJECT	EXISTING DEVELOPMENT	ZONING ORDINANCE
Lot area	88,254 sf	88,254 sf	87,120 sf min.
Lot width	201.95 ft.	201.95 ft.	150 ft. min.
Lot depth	408.3 ft.	408.3 ft.	150 ft. min.
Setbacks			
Front	58.1 ft.	58.1 ft.	30 ft. min.
Rear	141.1 ft.	141.1 ft.	20 ft. min.
Side (left)	20.0 ft.	20.0 ft.	20 ft. min.
Side (right)	23.3 ft.	23.3 ft.	20 ft. min.
Building coverage	26,141 sf 29.6 %	22,288 sf 25.3 %	35,302 sf max. 40 % max.
FAR (Floor Area Ratio)	26,476 sf	22,623 sf	26,476 sf max. 30 % max.
Square footage by floor	19,930 sf/1 st floor 4,278 sf/2 nd floor 226 sf/attic area 2,042 sf/covered walkway 2,220 sf/covered parking 157 sf/trash enclosure	16,077 sf/1 st floor 4,278 sf/2 nd floor 226 sf/attic area 2,042 sf/covered walkway 2,220 sf/covered parking 157 sf/trash enclosure	
Square footage of buildings	28,853 sf	25,000 sf	
Building height	29.8 ft.	29.8 ft.	35 ft. max.
Parking	83 spaces **	70 spaces	133 spaces
Note: Areas shown highlighted indicate a nonconforming or substandard situation.			
Trees	Heritage trees: 11	Non-Heritage trees: 37	New Trees: 2
	Heritage trees proposed for removal: 1	Non-Heritage trees proposed for removal: 2	Total Number of Trees: 49

** Requesting a parking reduction

250 MIDDLEFIELD ROAD

MENLO PARK, CA 94025

△ PLANNING RESPONSE
03.28.19



HAYES GROUP ARCHITECTS, INC.
2657 SPRING STREET
REDWOOD CITY, CA 94063
P: 650.365.0600
F: 650.365.0670
www.thehayesgroup.com

PROJECT ADDRESS:
250 MIDDLEFIELD ROAD
MENLO PARK
CA 94025

ISSUANCE:
PLANNING SUBMISSION
05.15.18

SHEET REVISIONS
△ PLANNING RESPONSE
12.20.18
△ PLANNING RESPONSE
01.07.19
△ PLANNING RESPONSE
03.28.19

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A0.1

PROJECT CONSULTANTS

CLIENT
250 MIDDLEFIELD ASSOCIATES
KINGASSET MANAGEMENT
265 LYTTON AVENUE #304
PALO ALTO, CA 94301
CONTACT: CHARLE KING
CKING@CKAM.COM

ARCHITECT
HAYES GROUP ARCHITECTS
2657 SPRING STREET
REDWOOD CITY, CA 94063
650.365.0600PH
650.365.0670 FAX
CONTACT: KEN HAYES x15
KHAYES@THEHAYESGROUP.COM

CIVIL
BKF ENGINEERS
1850 TECHNOLOGY DR #550
SAN JOSE, CA 95110
408.467.9188PH
414.667.9199FAX
CONTACT: ISAAC KONTOROVSKY, PE, CS&DQSP
KONTOROVSKY@BKF.COM
CONTACT: MONICA CARDENAS PARDO, PE
MCPARDO@BKF.COM

LANDSCAPE
THE GUZZARDO PARTNERSHIP INC.
181 GREENWICH STREET
SAN FRANCISCO, CA 94111
415.433.4672PH
415.433.5003FAX
CONTACT: GARY LAVMON x16
GLAVMON@TOP-INC.COM

MEP
ALFATECH
1 POST STREET, SUITE 2200
SAN FRANCISCO, CA 94104
415.403.3045PH
CONTACT: TO DAVALLOU
TODAVALLOU@ALFATECH.COM
CONTACT: JAMES PESTANO
JAMESPESTANO@ALFATECH.COM

SURVEYOR
BOT LAND SURVEYING
1205 S. AMPHLETT BLVD., SUITE 3
SAN MATEO, CA 94402
650.212.1030PH
888.732.8294FAX
CONTACT: BRIAN G TAYLOR
BTAYLOR@BOTSLANDSURVEYING.COM

TDM
TDM SPECIALISTS, INC.
3609 BRADSHAW RD.
SACRAMENTO, CA 95827
408.420.2411 PH
CONTACT: ELIZABETH HUGHES
ELIZABETH.HUGHES@TDMSPECIALISTS.COM

PROJECT INFORMATION

PROJECT DESCRIPTION: ADDITION TO (E) TWO STORY OFFICE BUILDING.

APN: 062-271-010

ZONING: C1

CONSTRUCTION TYPE: V-B

OCCUPANCY: B

BUILDING CODES:
2016 CALIFORNIA BUILDING CODE
2016 CALIFORNIA MECHANICAL CODE
2016 CALIFORNIA PLUMBING CODE
2016 CALIFORNIA ELECTRICAL CODE
2016 CALIFORNIA GREEN BUILDING CODE (CAL GREEN)
2016 CALIFORNIA FIRE CODE (WITH LOCAL AMENDMENTS)
2016 STATE OF CALIFORNIA TITLE 24 ENERGY REGULATIONS
2013 SFPM 13

FIRE SPRINKLERS: ALL APPLICABLE LOCAL, COUNTY, STATE AND FEDERAL CODES, LAWS & REGULATIONS

TRASH/RECYCLE: (N) SPRINKLERS THROUGHOUT
ON-SITE

FIRE DEPARTMENT NOTES

1. FIRE ALARM SYSTEM TO COMPLY WITH **CS&DQ 16 907.2.2.**

VICINITY MAP



DRAWING INDEX

ARCHITECTURAL

A0.1 DRAWING INDEX, VICINITY MAP, PROJECT INFORMATION, PROJECT CONSULTANTS

A0.2 STREETS CAPES, SITE PHOTOS

A0.3 AREA PLAN

A1.0 (E) SITE PLAN

A1.1 (E) FIRST FLOOR PLAN

REF-1 (E) FIRST FLOOR INTERIOR (FOR REFERENCE ONLY)

A1.2 (E) SECOND FLOOR PLAN AND FIRST FLOOR ROOF PLAN

REF-2 (E) SECOND FLOOR INTERIOR (FOR REFERENCE ONLY)

A1.3 (E) UPPER ROOF PLAN

A2.0 PROPOSED SITE PLAN

A2.0a BUILDING / LOT COVERAGE CALCULATIONS

A2.0b FIRST FLOOR AREA CALCULATIONS

A2.0c SECOND FLOOR AREA CALCULATIONS

A2.0d EXIT DIAGRAMS

A2.1 PROPOSED FIRST FLOOR PLAN

A2.2 PROPOSED SECOND FLOOR / ROOF PLAN

A2.3 PROPOSED UPPER ROOF PLAN

A3.1 EXISTING ELEVATIONS

A3.2 EXISTING ELEVATIONS

A3.3 EXISTING ELEVATIONS

A3.4 PROPOSED ELEVATIONS

A3.4a PROPOSED COLORED ELEVATIONS

A3.5 PROPOSED ELEVATIONS

A3.6 PROPOSED SECTIONS

A3.7 PROPOSED SECTIONS

A4.1 PERSPECTIVES

LANDSCAPE

L1.1 GENERAL NOTES AND LEGEND

L1.2 PLANTING NOTES AND LEGEND

L1.3 LANDSCAPE IMAGERY

L2.1 CONCEPTUAL LANDSCAPE LAYOUT PLAN

L3.1 TREE DISPOSITION PLAN

L4.1 CONCEPTUAL PLANTING PLAN

L5.1 IRRIGATION ZONE DIAGRAM

L6.1 SCHEMATIC DESIGN DETAILS

CIVIL

SU-1 TOPOGRAPHIC SURVEY

C1.0 EXISTING CONDITION PLAN

C2.0 CIVIL SITE PLAN

C3.0 PRELIMINARY GRADING & DRAINAGE PLAN

C4.0 PRELIMINARY UTILITY PLAN

C5.0 PRELIMINARY STORMWATER CONTROL PLAN

C6.0 BEST MANAGEMENT PRACTICES



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ISSUANCE:
 PLANNING SUBMISSION
 05.15.18

SHEET REVISIONS
 ▲ PLANNING RESPONSE
 10.30.18

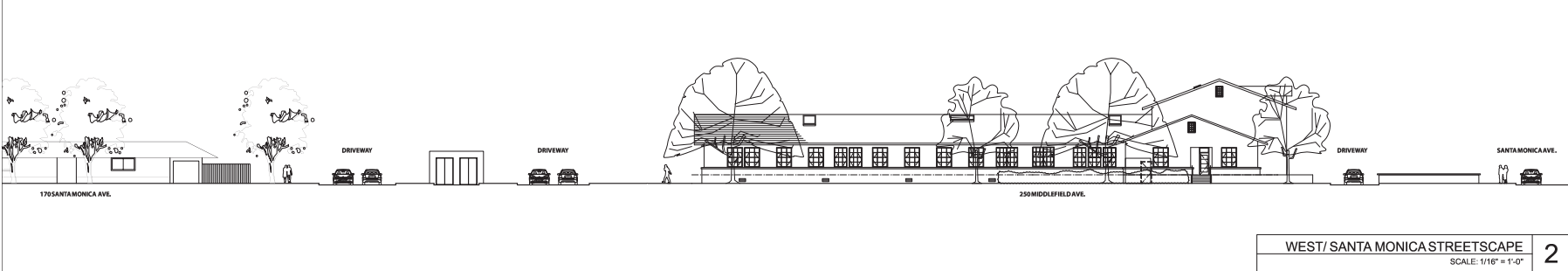
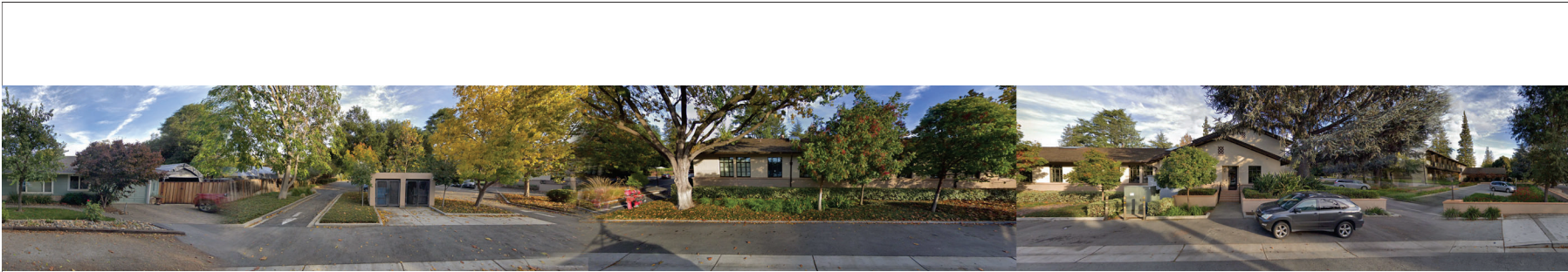
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DRAWING CONTENT
 STREETSCAPES,
 SITE PHOTOS

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A0.2



WEST/ SANTA MONICA STREETSCAPE
 SCALE: 1/16" = 1'-0" **2**



SOUTH/ MIDDLEFIELD STREETSCAPE
 SCALE: 1/16" = 1'-0" **1**

Date: 3/27/18
 Filename: 1722.00 Baseplan.vwx

SHEET REVISIONS

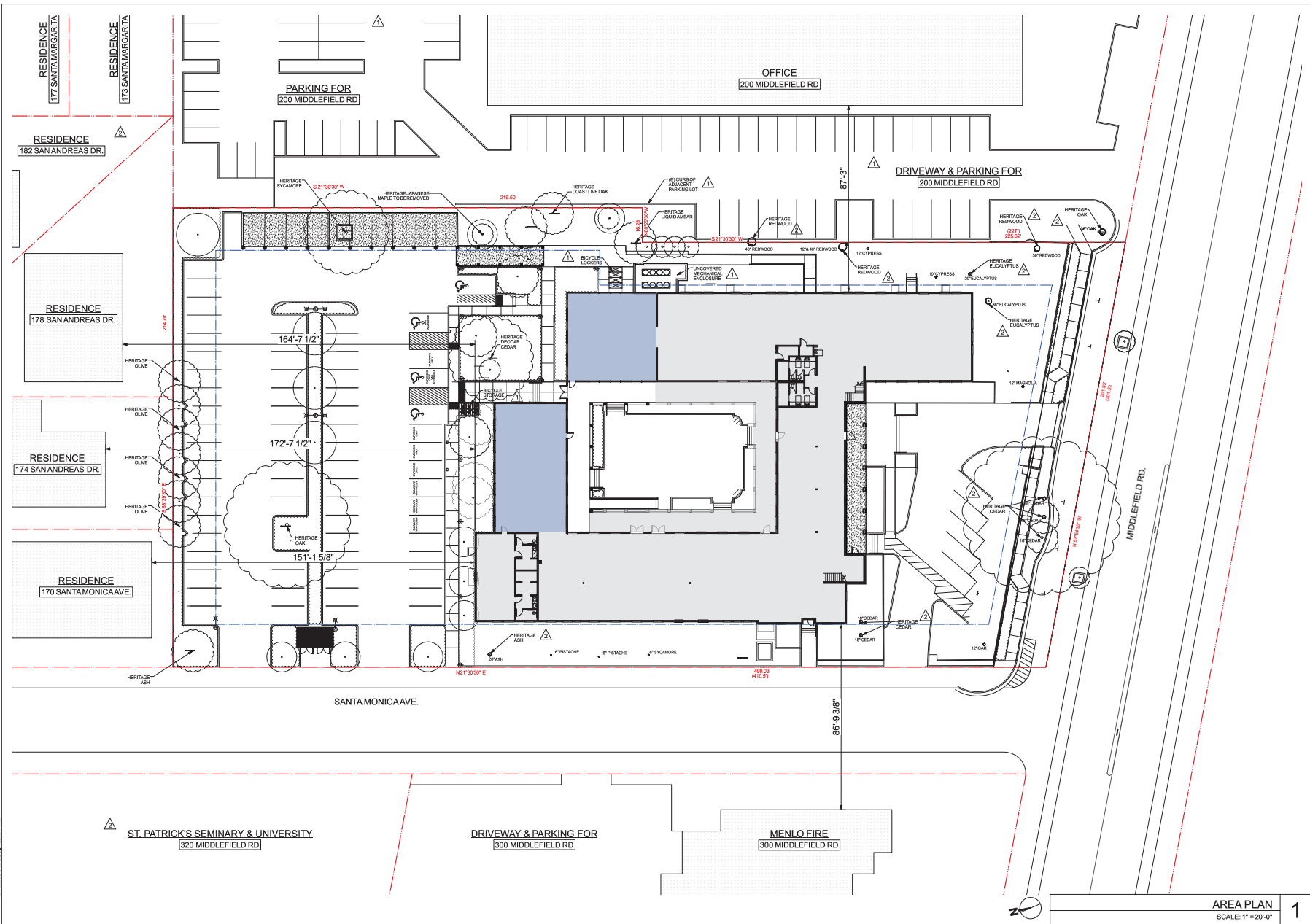
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▲	12.20.18
▲	PLANNING RESPONSE
▲	01.07.19
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AREA PLAN

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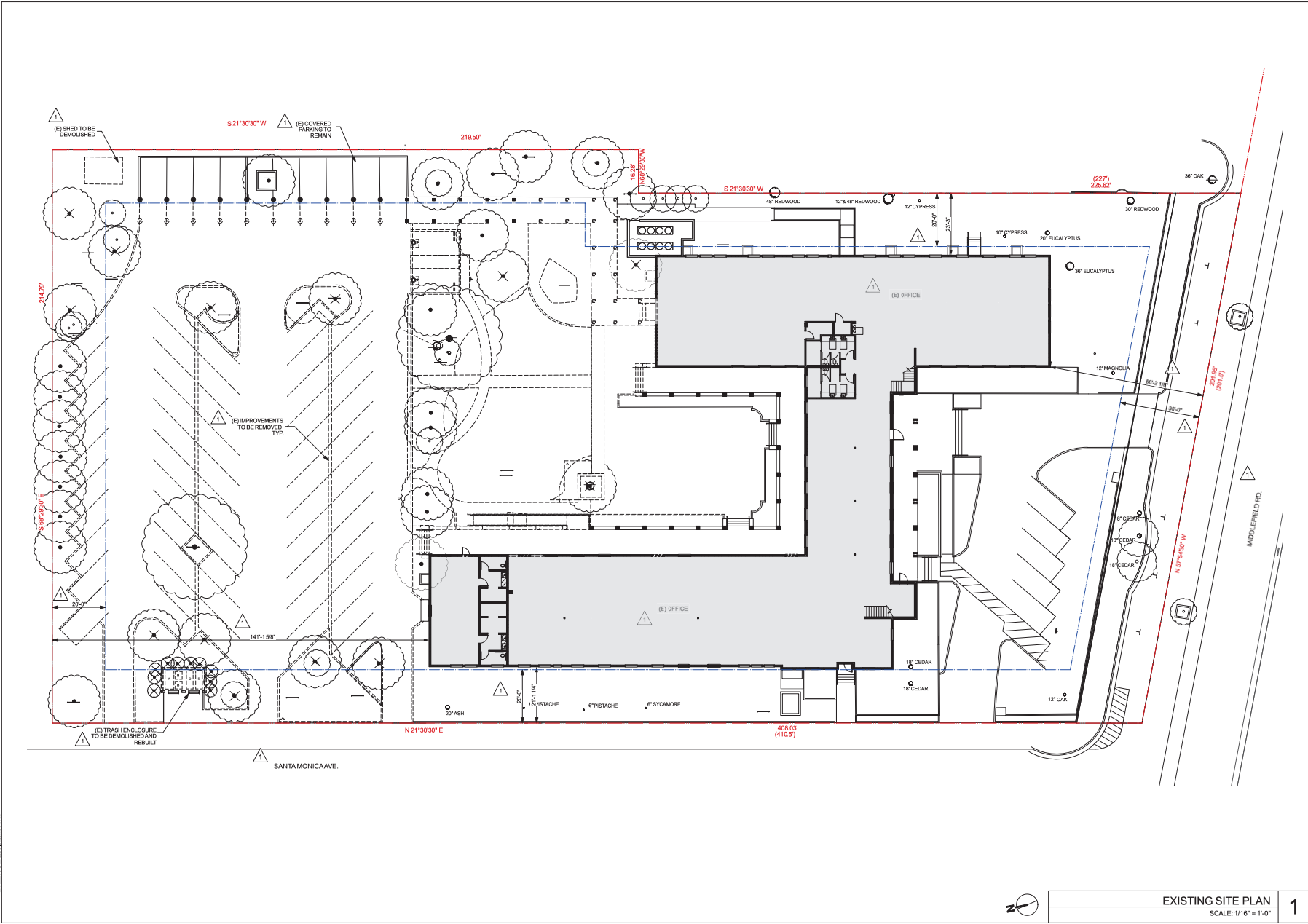
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Date: 3/27/19
Filename: 1722-00 Baseplan.rvt

AREA PLAN
SCALE: 1" = 20'-0"

1



EXISTING SITE PLAN
SCALE: 1/16" = 1'-0"

1



HAYES GROUP ARCHITECTS, INC.
 2657 SPRING STREET
 REDWOOD CITY, CA 94063
 P: 650.365.0600
 F: 650.365.0670
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ISSUANCE:
 PLANNING SUBMISSION
 05.15.18

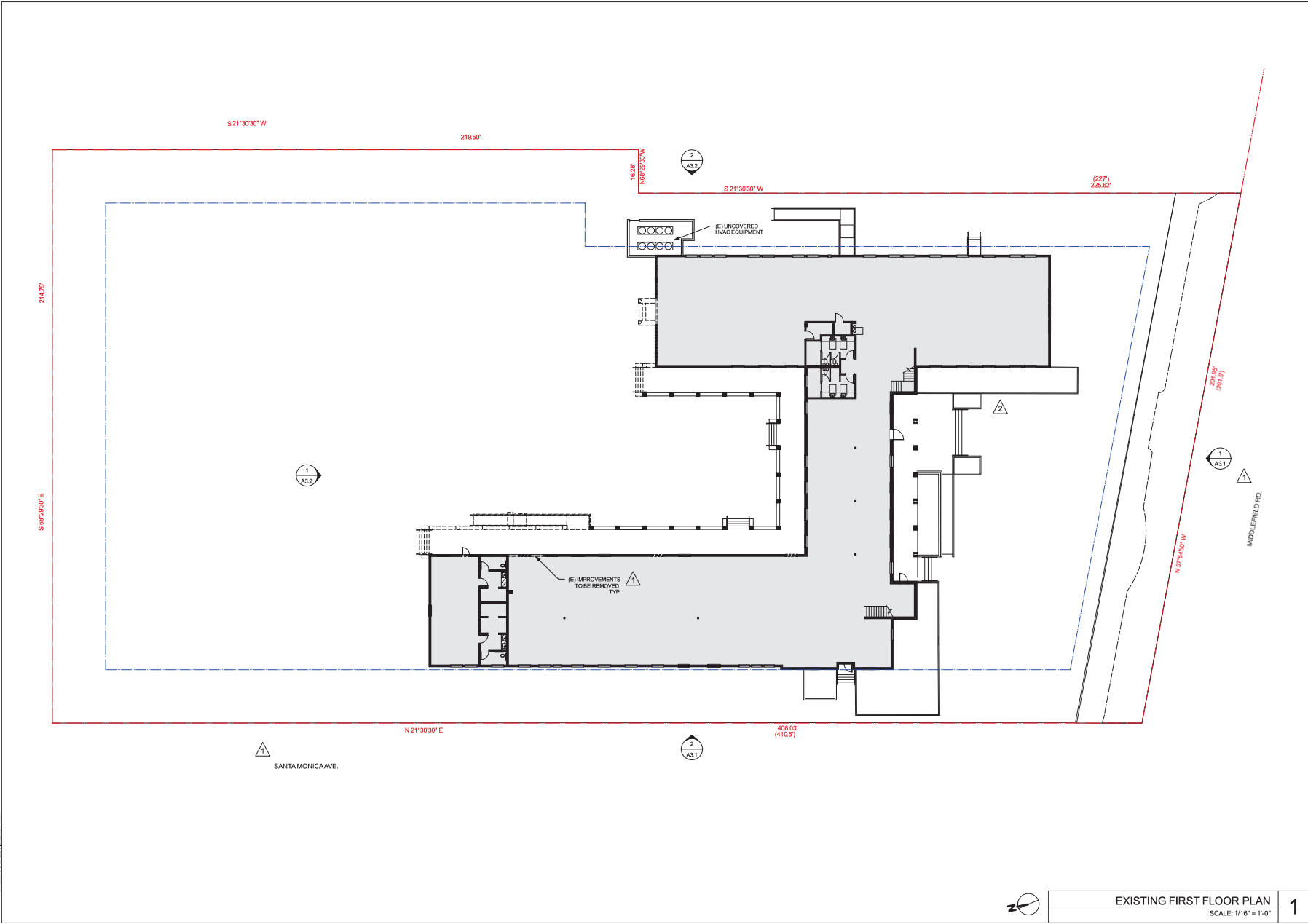
- SHEET REVISIONS
- △ PLANNING RESPONSE 10.30.18
 - △ PLANNING RESPONSE 01.07.19
 - △
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 EXISTING
 FIRST FLOOR PLAN
 SELECTIVE BUILDING
 DEMOLITION

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Date: 02/7/19
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- SHEET REVISIONS
- △ PLANNING RESPONSE
12.20.18
 - △ PLANNING RESPONSE
01.07.19
 - △
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DRAWING CONTENT
**FIRST FLOOR INTERIOR
(FOR REFERENCE ONLY)**

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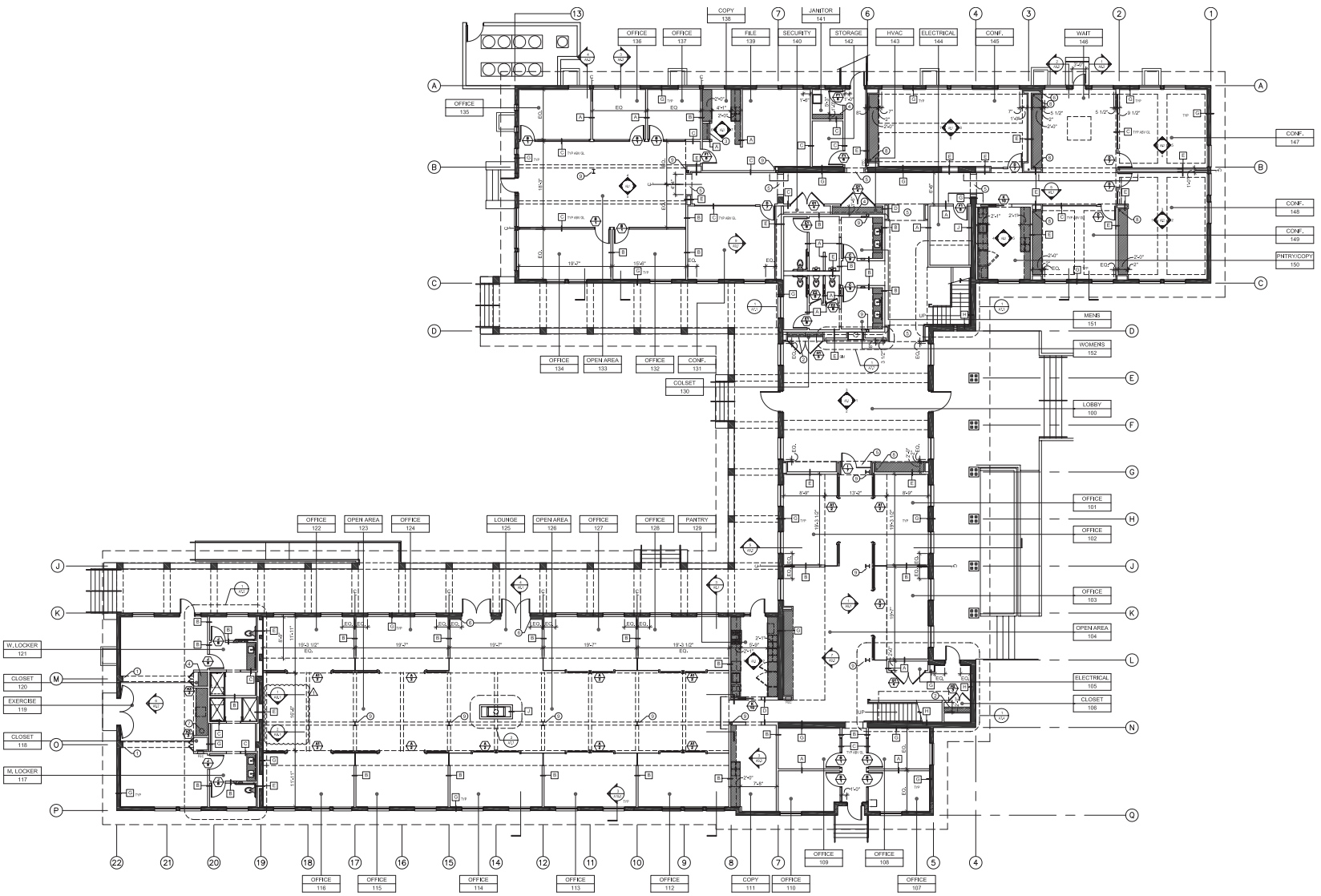
REF-1



EXISTING FIRST FLOOR PLAN

N.T.S.

1



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DRAWING CONTENT
EXISTING
SECOND FLOOR PLAN
& FIRST FLOOR
ROOF PLAN

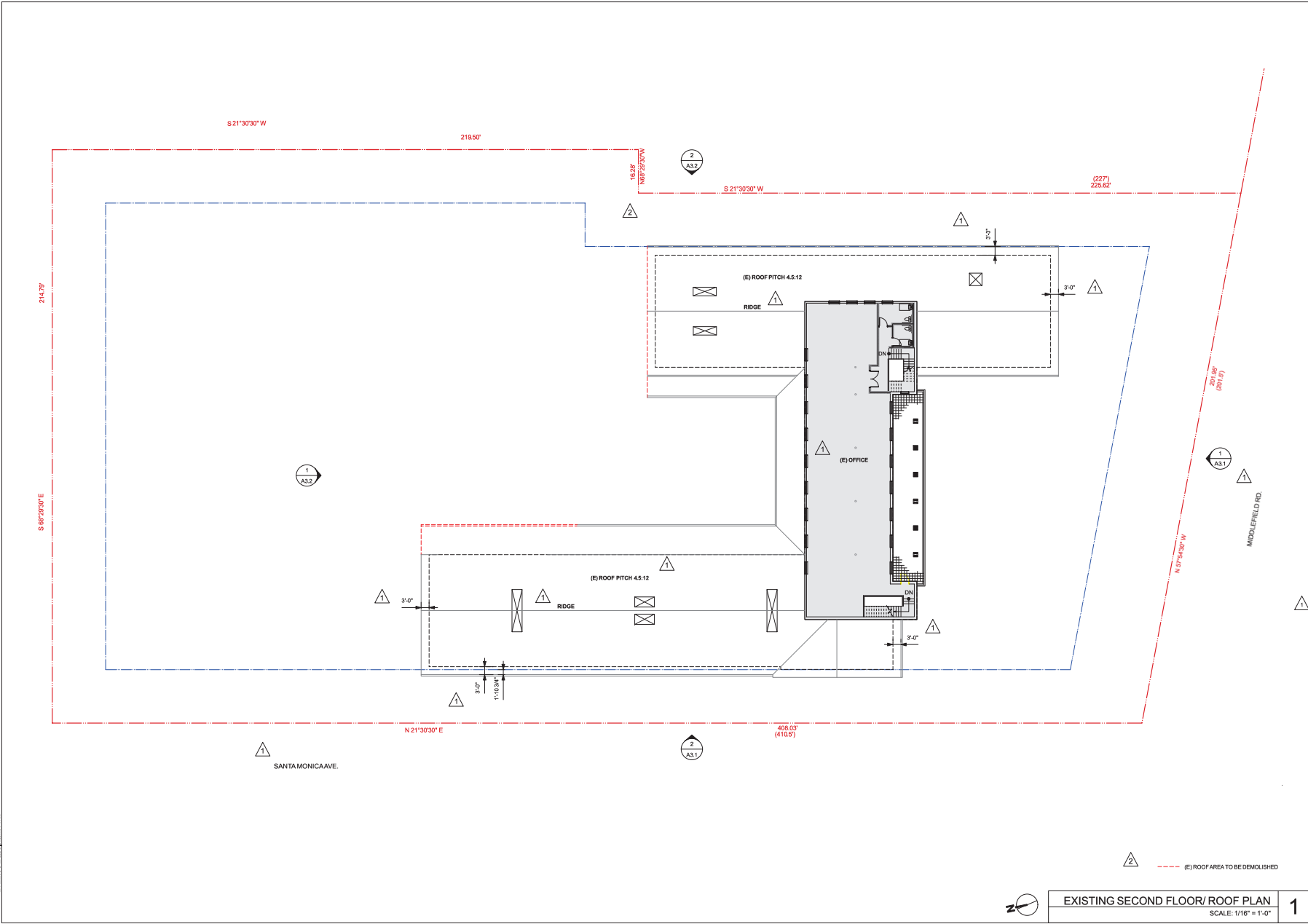
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EXISTING SECOND FLOOR/ ROOF PLAN
SCALE: 1/16" = 1'-0"

1

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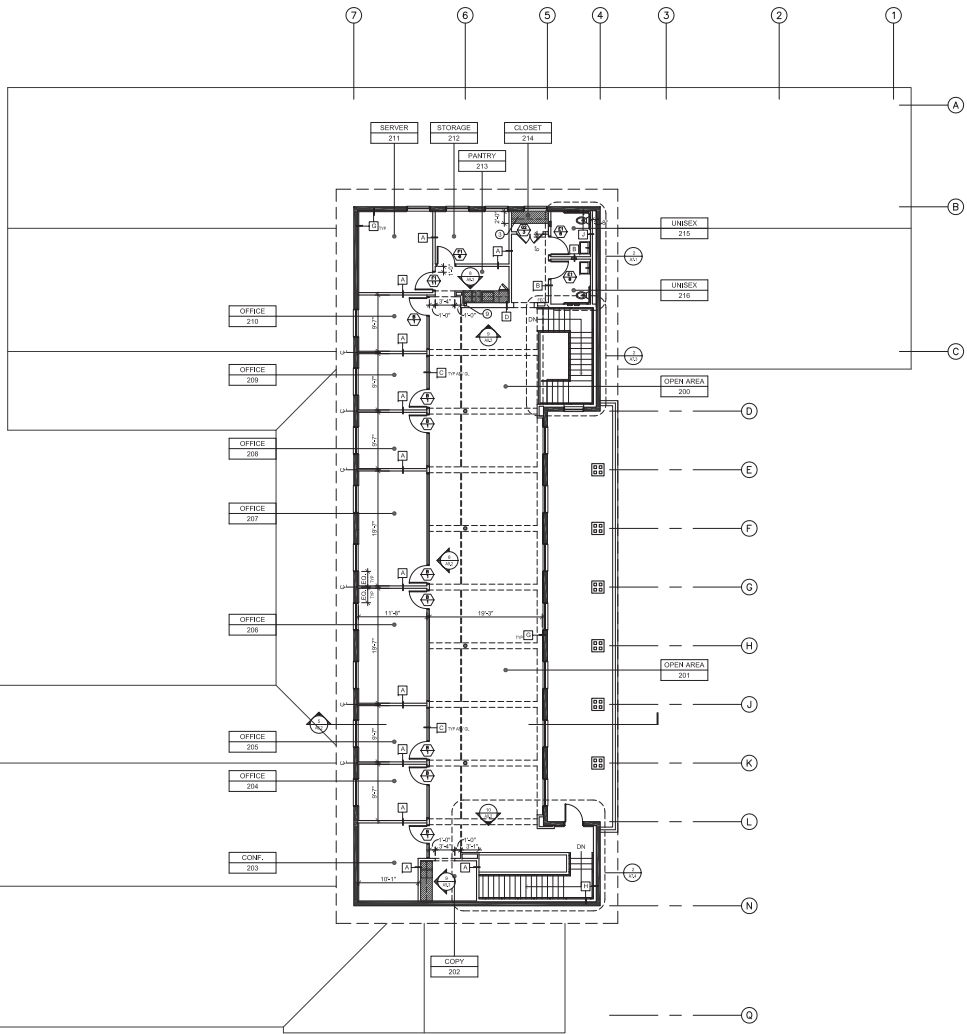
△	PLANNING RESPONSE
△	12.20.18
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DRAWING CONTENT
SECOND FLOOR
INTERIOR
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EXISTING SECOND FLOOR PLAN
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 REDWOOD CITY, CA 94063
 P: 650.365.0600
 F: 650.365.0670
 www.thehayesgroup.com

PROJECT ADDRESS:
 250 MIDDLEFIELD ROAD
 MENLO PARK
 CA 94025

ISSUANCE:
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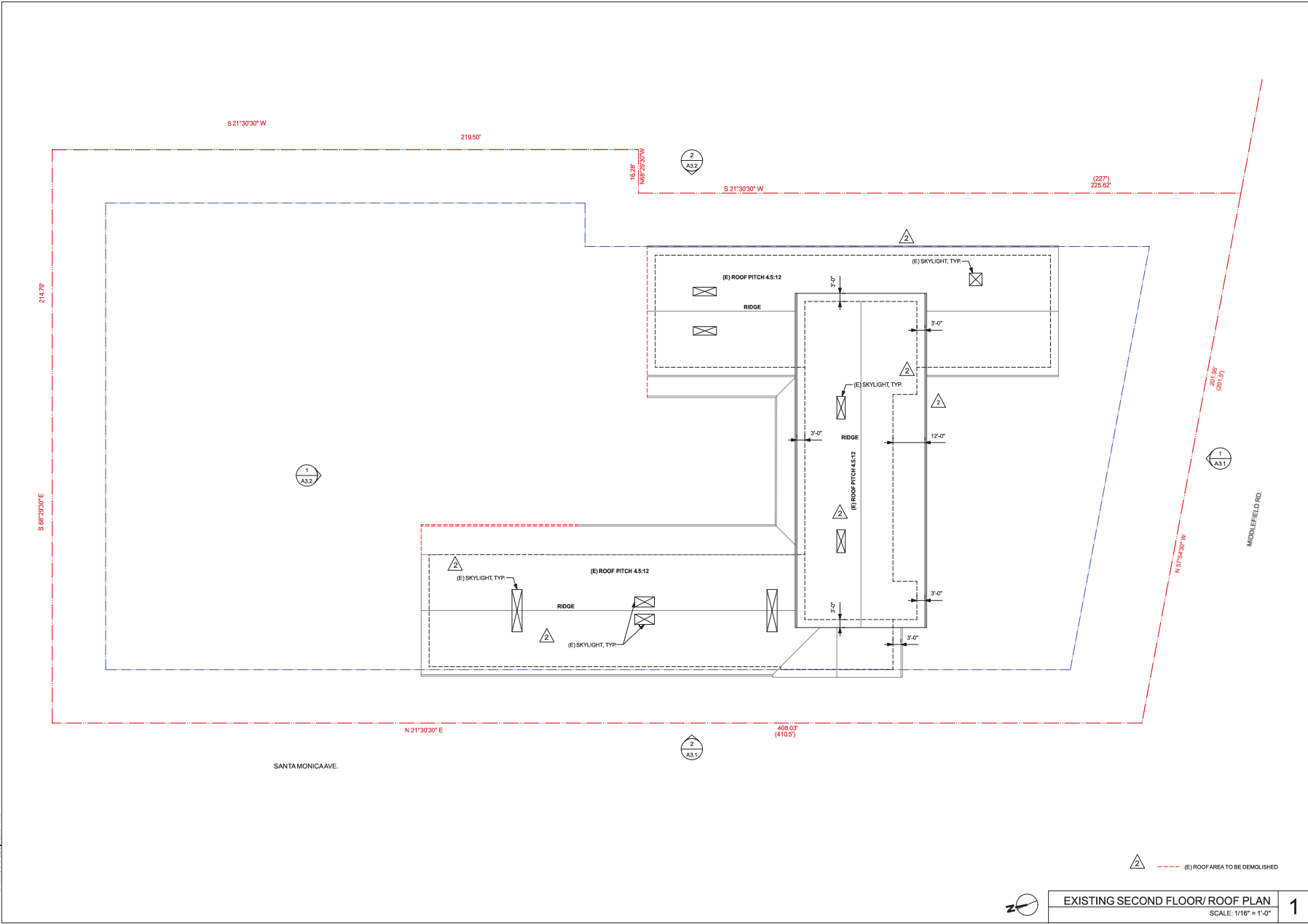
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DRAWING CONTENT
 EXISTING UPPER
 ROOF PLAN

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EXISTING SECOND FLOOR/ ROOF PLAN
 SCALE: 1/16" = 1'-0"

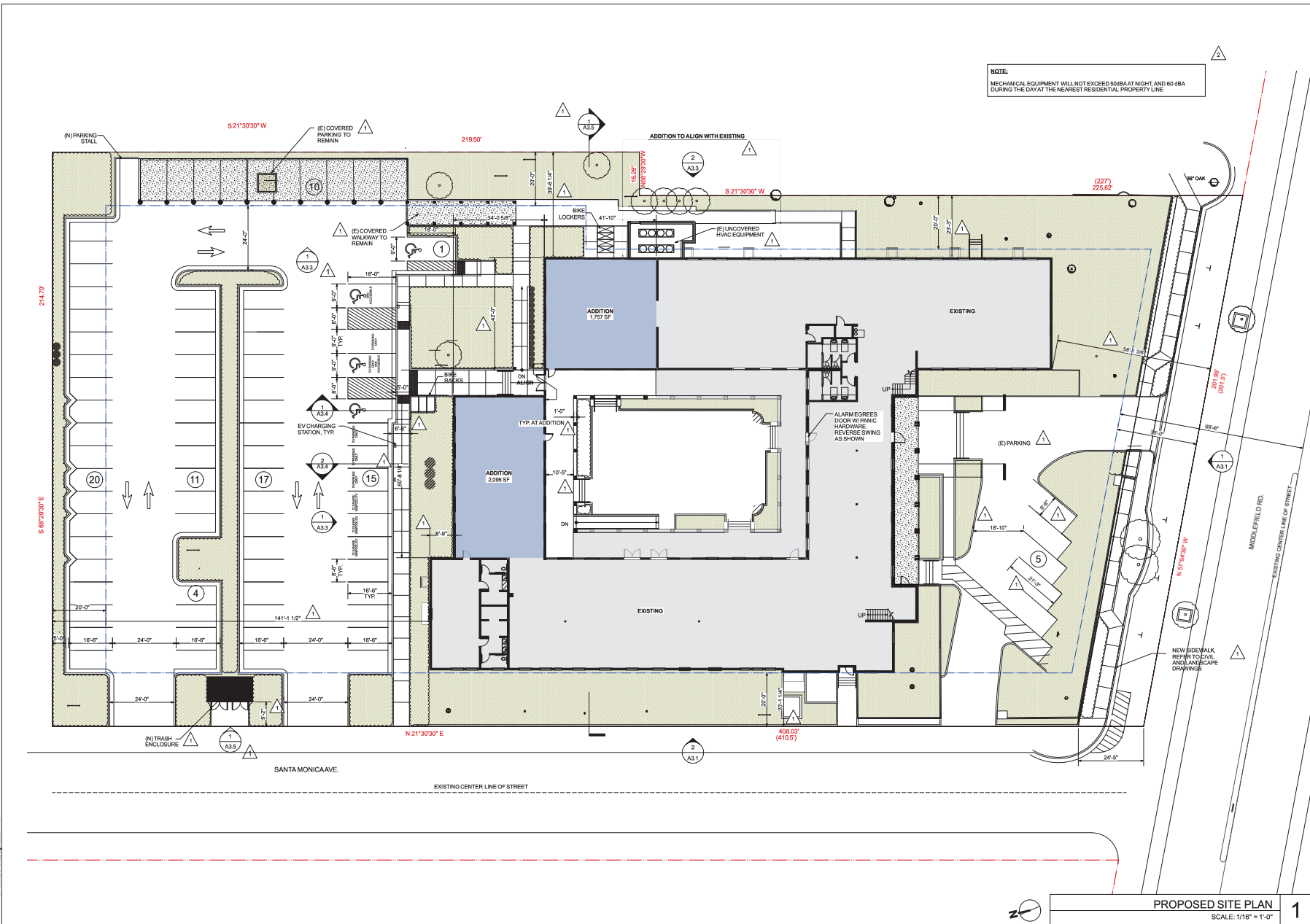
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Date: 02/27/18
 Filename: 1722-00 Baseplan.rvt

SHEET REVISIONS

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▲	PLANNING RESPONSE
▲	PLANNING RESPONSE
▲	PLANNING RESPONSE
▲	PLANNING RESPONSE
▲	PLANNING RESPONSE

NOTE:
MECHANICAL EQUIPMENT WILL NOT EXCEED 50DBA AT NIGHT AND 60 DBA DURING THE DAY AT THE NEAREST RESIDENTIAL PROPERTY LINE.

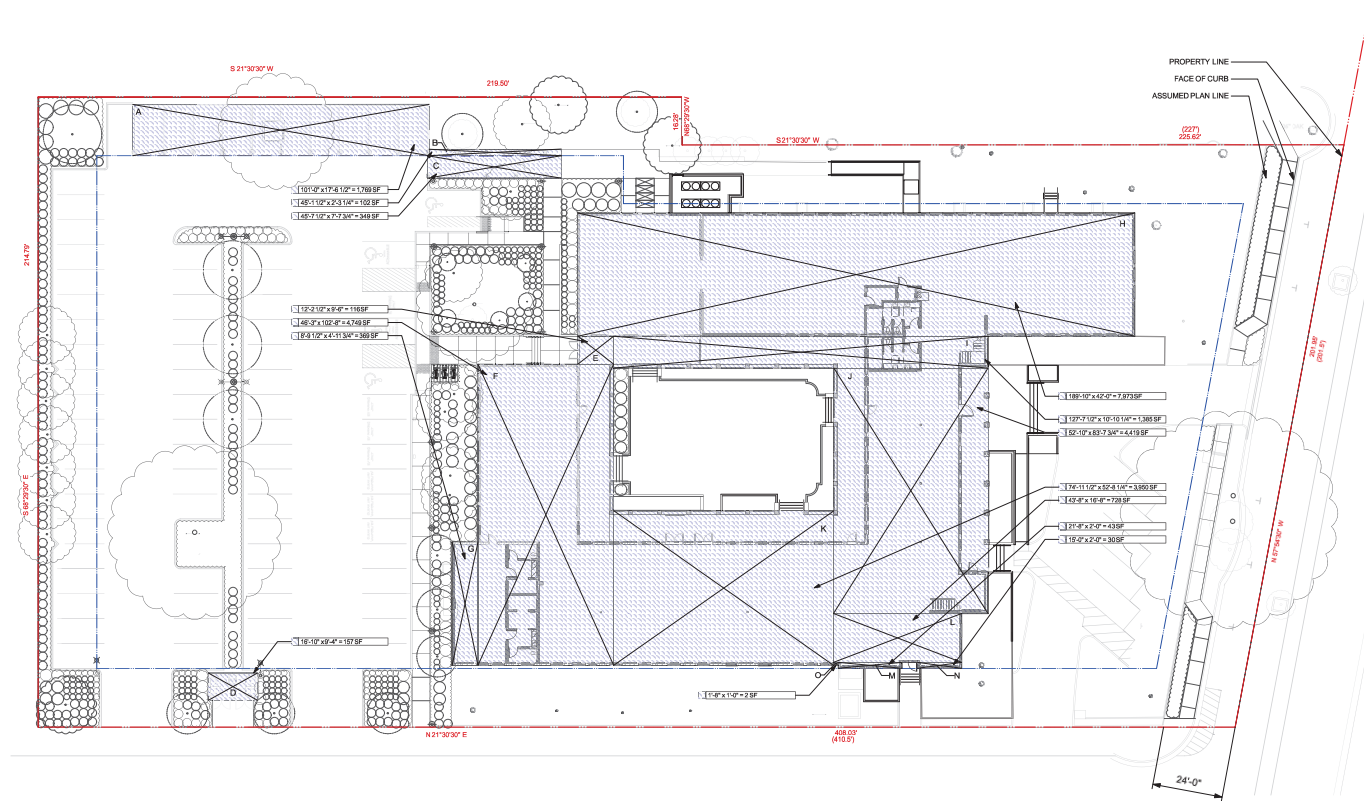


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Filename: 1722.00 Baseplan.rvt



PROPOSED SITE PLAN
SCALE: 1/16" = 1'-0"

1



FAR & SITE COVERAGE ANALYSIS

CLONE		
LOT AREA	88,254 SF	
30% ALLOWABLE FAR	26,476 SF	
EXISTING FLOOR AREA (INC. ATTIC)	20,881 SF	
COURTESY PORCH	2,040 SF	
(NOT INCLUDED IN PARKING CALC.)		
FAR AVAILABLE	3,883 SF	
PARKING AVAILABLE	83 BY RECONFIGURING	
ALLOWABLE AREA BASED ON 1/200 PURSUANT TO 15.72.010	24,900 SF	
MAX AREA BASED ON PARKING	24,900 SF	
EXISTING AREA FROM ABOVE	20,881 SF	
ALLOWABLE ADDITION	4,218 SF	
PROPOSED ADDITION	3,883 SF & 4,319 SF, OK	
40% ALLOWABLE SITE COVERAGE	35,302 SF	
PROPOSED SITE COVERAGE	28,141 SF	

PARKING SUMMARY*

(B) PARKING SPACES:	(B) TOTAL	(B) TO REMAIN
	70	14
PARKING SPACES REQUIRED:	REQUIRED	PROPOSED
OFFICE @ 5/1000 (GFA)	121.0	83
REQUIRED:	123	
PARKING SPACES REQUIRED PER PROPOSED PARKING REDUCTION:		
OFFICE, GENERAL @ 1/200 (GFA)	80.7	83
TOTAL REQUIRED:	82	83

BICYCLE PARKING SUMMARY*

ADDITIONAL BICYCLE PARKING SPACES REQUIRED:	LONG TERM	SHORT TERM
ADDITIONAL VEHICLE REQUIRED:	1	2
TOTAL PROVIDED:	1	2
EXISTING PROVIDED:	6	4
ADDITIONAL PROVIDED:	1	2
TOTAL PROVIDED:	7	6

SITE COVERAGE

AREA	DIMENSIONS	SF
A	101'-0" x 17'-6 1/2"	1,769 SF
B	48'-1 1/2" x 2'-3 1/4"	102 SF
C	48'-1 1/2" x 7'-2 3/4"	340 SF
D	16'-10" x 9'-4"	157 SF
E	12'-2 1/2" x 9'-8"	116 SF
F	66'-3" x 102'-8"	4,166 SF
G	8'-9 1/2" x 4'-11 3/4"	369 SF
H	188'-10" x 42'-0"	7,973 SF
I	127'-2 1/2" x 10'-10 1/4"	1,386 SF
J	82'-10" x 83'-7 3/4"	4,419 SF
K	74'-11 1/2" x 52'-8 1/4"	3,850 SF
L	43'-8" x 18'-0"	788 SF
M	21'-8" x 2'-0"	43 SF
N	10'-0" x 2'-0"	20 SF
O	1'-8" x 1'-0"	8 SF
TOTAL SITE COVERAGE		28,141 SF

SITE COVERAGE CALCULATION

AREA	DIMENSIONS	SF
A	101'-0" x 17'-6 1/2"	1,769 SF
B	48'-1 1/2" x 2'-3 1/4"	102 SF
C	48'-1 1/2" x 7'-2 3/4"	340 SF
D	16'-10" x 9'-4"	157 SF
E	12'-2 1/2" x 9'-8"	116 SF
F	66'-3" x 102'-8"	4,166 SF
G	8'-9 1/2" x 4'-11 3/4"	369 SF
H	188'-10" x 42'-0"	7,973 SF
I	127'-2 1/2" x 10'-10 1/4"	1,386 SF
J	82'-10" x 83'-7 3/4"	4,419 SF
K	74'-11 1/2" x 52'-8 1/4"	3,850 SF
L	43'-8" x 18'-0"	788 SF
M	21'-8" x 2'-0"	43 SF
N	10'-0" x 2'-0"	20 SF
O	1'-8" x 1'-0"	8 SF
TOTAL SITE COVERAGE		28,141 SF



HAYES GROUP ARCHITECTS, INC.
 2657 SPRING STREET
 REDWOOD CITY, CA 94063
 P: 650.365.0600
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DRAWING CONTENT
 BUILDING / LOT
 COVERAGE
 CALCULATIONS

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DRAWING CONTENT
FIRST FLOOR AREA
CALCULATIONS

STAMP

JOB NUMBER:
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SCALE:
As Noted

DRAWN BY:
SF

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AREA SUMMARY		OFFICE	
(E) OFFICE	6,278 SF	(E) OFFICE	4,278 SF
(B) OFFICE	(16,340 SF)	(E) OFFICE	16,077 SF
(E) COVERED WALKWAY		(E) COVERED WALKWAY	2,043 SF
(E) ATTIC (TOTAL)		(E) ATTIC (TOTAL)	226 SF
PROPOSED OFFICE		PROPOSED OFFICE	3,853 SF
EXCLUDED		EXCLUDED	
TRASH*	107 SF	TRASH*	107 SF
TOTAL		TOTAL	36,478 SF

EXCLUSION CALCULATION
MAX. S.F.A. 39.4 26,478 SF = 794 SF
PROPOSED EXCLUSION 167 SF = 5794 SF OK
*M.P.M.C. SECTION 16.04.325(C) EXCLUSION FOR TRASH AND RECYCLING

FAR & SITE COVERAGE ANALYSIS

FAR & SITE COVERAGE ANALYSIS	
LOT AREA	88,284 SF
30M ALLOWABLE FAR	26,478 SF
EXISTING FLOOR AREA (INC. ATTIC)	20,581 SF
COVERED PORCH (EXCLUDED FROM FAR CALC)	2,043 SF
FAR AVAILABLE	3,853 SF
PARKING AVAILABLE	83 BY RECONFIGURING
ALLOWABLE AREA BASED ON 1/200 PURSUANT TO 16.72.010	24,900 SF
MAX AREA BASED ON PARKING	24,800 SF
EXISTING AREA FROM ABOVE	20,581 SF
ALLOWABLE EXCEEDED	4,219 SF
PROPOSED ADDITION	3,853 SF = 4,319 SF, OK
40M ALLOWABLE SITE COVERAGE	33,302 SF
PROPOSED SITE COVERAGE	26,141 SF

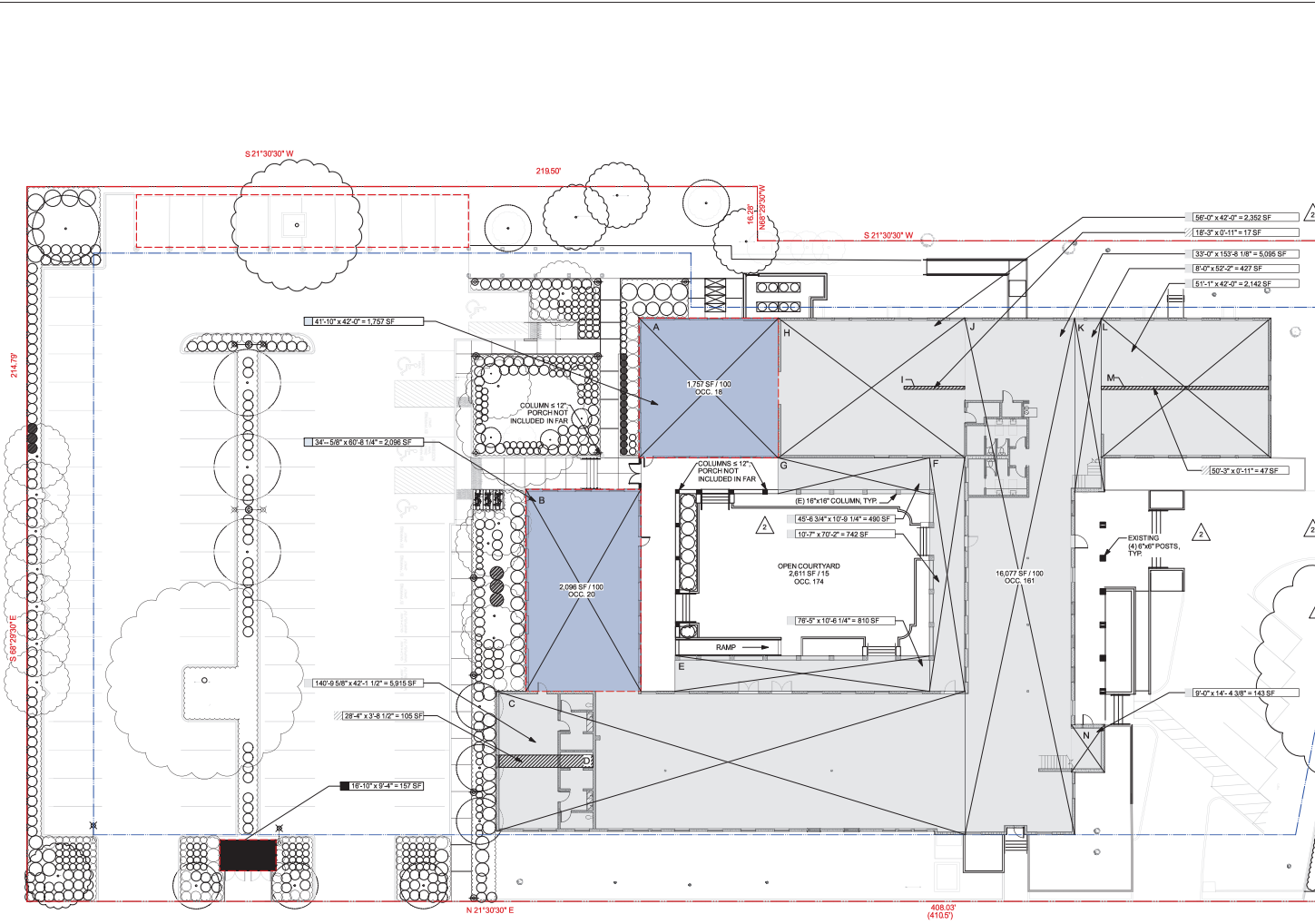
ALLOWABLE NUMBER OF STORIES FOR TYPE VII* (SPRINKLERED)			
OCCUPANCY	ALLOWABLE	EXISTING	COMPLEX
B	3**	2	OK

ALLOWABLE BUILDING HEIGHT FOR TYPE VII* (SPRINKLERED)			
OCCUPANCY	ALLOWABLE	EXISTING	COMPLEX
B	60'*	29' 10"	OK

ALLOWABLE BUILDING AREA FOR TYPE VII* (SPRINKLERED)			
OCCUPANCY	ALLOWABLE	PROPOSED	COMPLEX
B	27,000 SF	23,753 SF**	OK

*PER CODE TABLE 604.4
**WITHOUT AREA INCREASE
*PER CODE TABLE 604.3
**LARGEST STORY

FAR COVERAGE CALCULATION		
AREA	DIMENSIONS	SF
A	41'-10" x 42'-0"	1,757 SF
B	34'-5/8" x 60'-4 1/4"	2,096 SF
C	140'-6 5/8" x 42'-1 1/2"	5,915 SF
D	28'-4" x 8 1/2"	105 SF
E	76'-0" x 10'-8 1/4"	810 SF
F	19'-0" x 9'-0"	171 SF
G	48'-3 3/4" x 10'-9 1/4"	490 SF
H	56'-0" x 42'-0"	2,352 SF
I	18'-3" x 11'	177 SF
J	33'-0" x 15'-8 1/8"	509 SF
K	8'-0" x 25'-0"	427 SF
L	51'-1" x 42'-0"	2,142 SF
M	20'-3" x 11'	47 SF
N	9'-0" x 16'-4 3/4"	144 SF
O	42'-0" x 34'-10 3/4"	1,450 SF
P	30'-5/8" x 59'-11 1/4"	2,309 SF
Q	10'-0" x 3'-0"	30 SF
R	42'-0" x 14'-4"	549 SF
TOTAL FAR		26,478 SF



SCALE: 1/16" = 1'-0" 1

Drawn: 3/27/19
Filename: 1722.00 Baseplan.vsw



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P: 650.365.0600
F: 650.365.0670
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CA 94025

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DRAWING CONTENT
SECOND FLOOR AREA
CALCULATIONS

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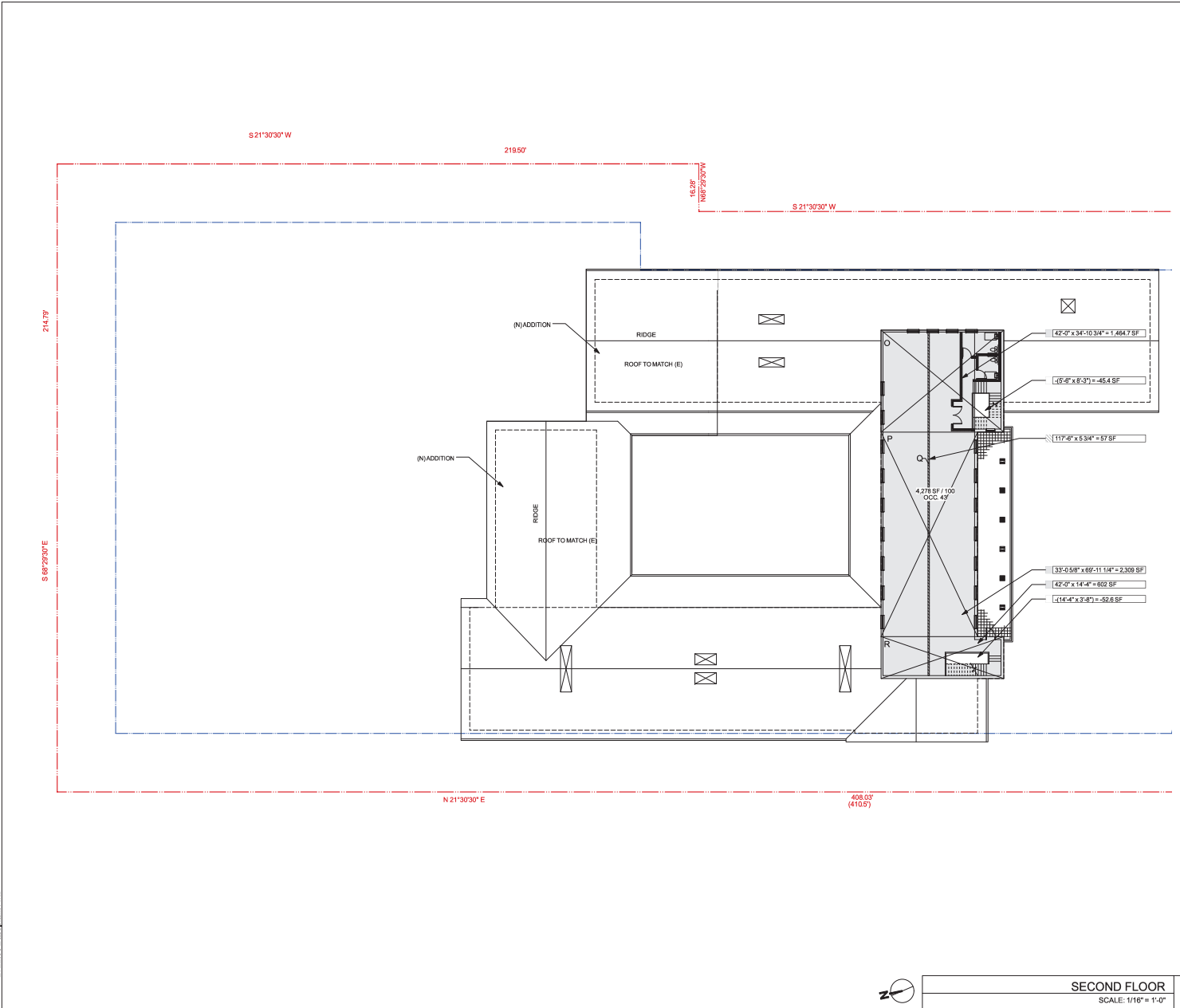
△ A2.0c

AREA SUMMARY		OFFICE
2ND FLOOR	6,278 SF	
(E) OFFICE		4,278 SF
1ST FLOOR	16,340 SF	
(E) OFFICE		16,077 SF
(E) COVERED WALKWAY		2,043 SF
(E) ATTIC (TOTAL)		226 SF
PROPOSED OFFICE		3,853 SF
EXCLUDED		
TRASH	167 SF	
TOTAL		26,476 SF

EXCLUSION CALCULATION
MAX. SFA: 314 x 26,476 SF = 7,934 SF
PROPOSED EXCLUSION: 167 SF x 7,934 SF, OK
*MP/MC SECTION 16.04.325(C) EXCLUSION FOR TRASH AND RECYCLING

FAR & SITE COVERAGE ANALYSIS	
CLZONE	
LOT AREA	88,284 SF
30% ALLOWABLE FAR	26,476 SF
EXISTING FLOOR AREA (INC. ATTIC)	20,581 SF
COVERED PORCH	2,043 SF
EXCLUDED PARKING (CALD)	
FAR AVAILABLE	3,853 SF
PARKING AVAILABLE	83 BY RECONFIGURING
ALLOWABLE AREA BASED ON 1/200 PURSUANT TO 16.72.010	24,900 SF
MAX AREA BASED ON PARKING	24,900 SF
EXISTING AREA FROM ABOVE	20,581 SF
ALLOWABLE ADDITION	4,319 SF
PROPOSED ADDITION	3,853 SF x 4,319 SF, OK
40% ALLOWABLE SITE COVERAGE	35,302 SF
PROPOSED SITE COVERAGE	26,141 SF

FAR COVERAGE CALCULATION		
AREA	DIMENSIONS	SF
A	41'-0" x 42'-0"	1,737 SF
B	54'-0" x 42'-0" x 14'	2,096 SF
C	140'-0" x 8'-0" x 42'-1.12"	5,916 SF
D	28'-0" x 8'-0" x 12'	100 SF
E	72'-0" x 10'-0" x 14'	810 SF
F	10'-7" x 7'-0"	742 SF
G	42'-0" x 11'-0" x 14'	480 SF
H	56'-0" x 42'-0"	2,352 SF
I	18'-3" x 11'	17 SF
J	32'-0" x 10'-0" x 18'	5,904 SF
K	8'-0" x 5'-0" x 2'	42 SF
L	51'-1" x 42'-0"	2,142 SF
M	52'-0" x 11'	47 SF
N	9'-0" x 14'-0" x 34'	144 SF
O	42'-0" x 34'-0" x 103'	1,420 SF
P	32'-0" x 52'-0" x 11.14'	2,320 SF
Q	117'-8" x 5.34'	57 SF
R	42'-0" x 14'-4"	549 SF
TOTAL FAR		26,476 SF



SECOND FLOOR
SCALE: 1/16" = 1'-0" 1

Drawn: 3/27/19
Reviewed: 1/12/2019 Baseplan.rvt



HAYES GROUP ARCHITECTS, INC.
 2657 SPRING STREET
 REDWOOD CITY, CA 94063
 P: 650.365.0600
 F: 650.365.0670
 www.thehayesgroup.com

PROJECT ADDRESS:
 250 MIDDLEFIELD ROAD
 MENLO PARK
 CA 94025

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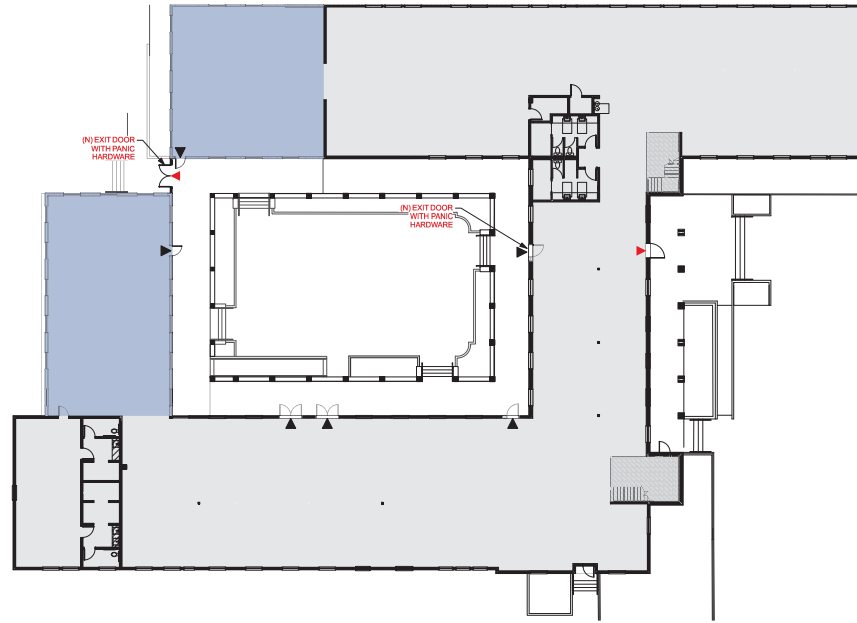
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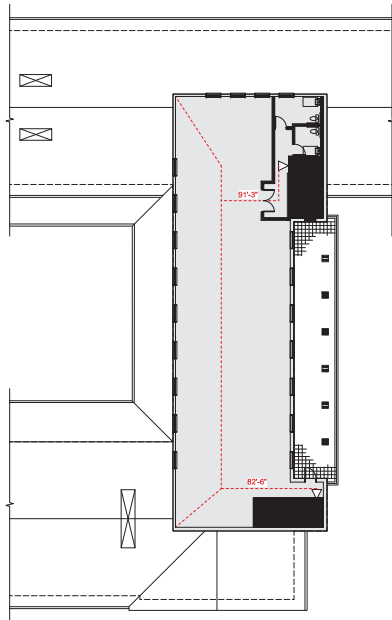
△ A2.0d

LEGEND	
▲	EXIT
△	EXIT ACCESS DOORWAY
▲	EXIT DISCHARGE
----	EXIT ACCESS
■	EXIT (INTERIOR EXIT STAIRWAY)
□	EXIT ACCESS STAIRWAY

CONCLUSION	
MAXIMUM EXIT TRAVEL DISTANCE WITH SPRINKLED SYSTEM :	125' ALLOWED
PROPOSED PROJECT:	91'-3" (S 125' MAX. OK)



FIRST FLOOR EXIT PLAN
 SCALE: 1/16" = 1'-0" 1



SECOND FLOOR EXIT PLAN
 SCALE: 1/16" = 1'-0" 2

SHEET REVISIONS

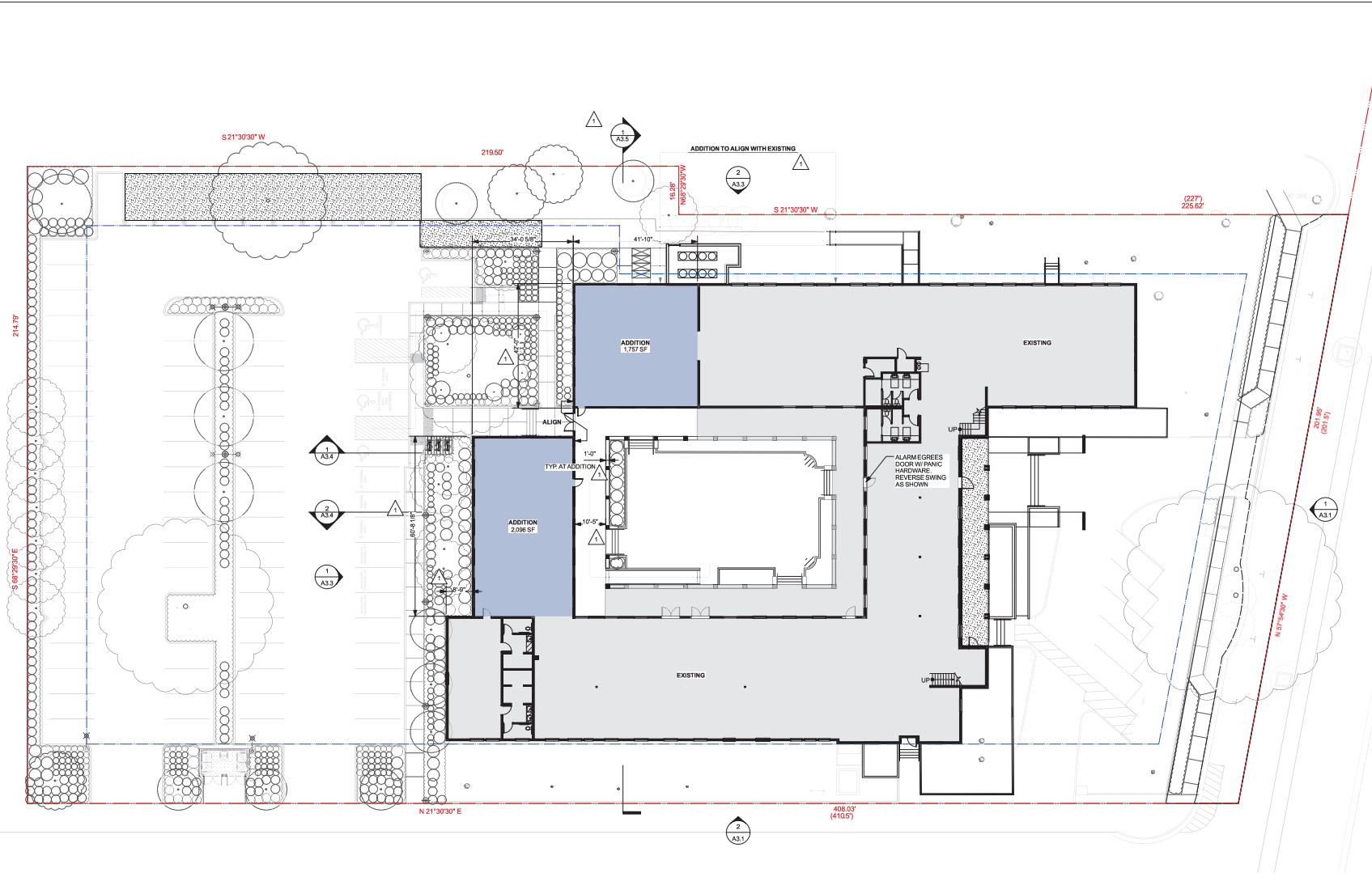
REVISION	RESPONSE	DATE
△	PLANNING RESPONSE	10.30.18
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DRAWING CONTENT
PROPOSED
FIRST FLOOR PLAN

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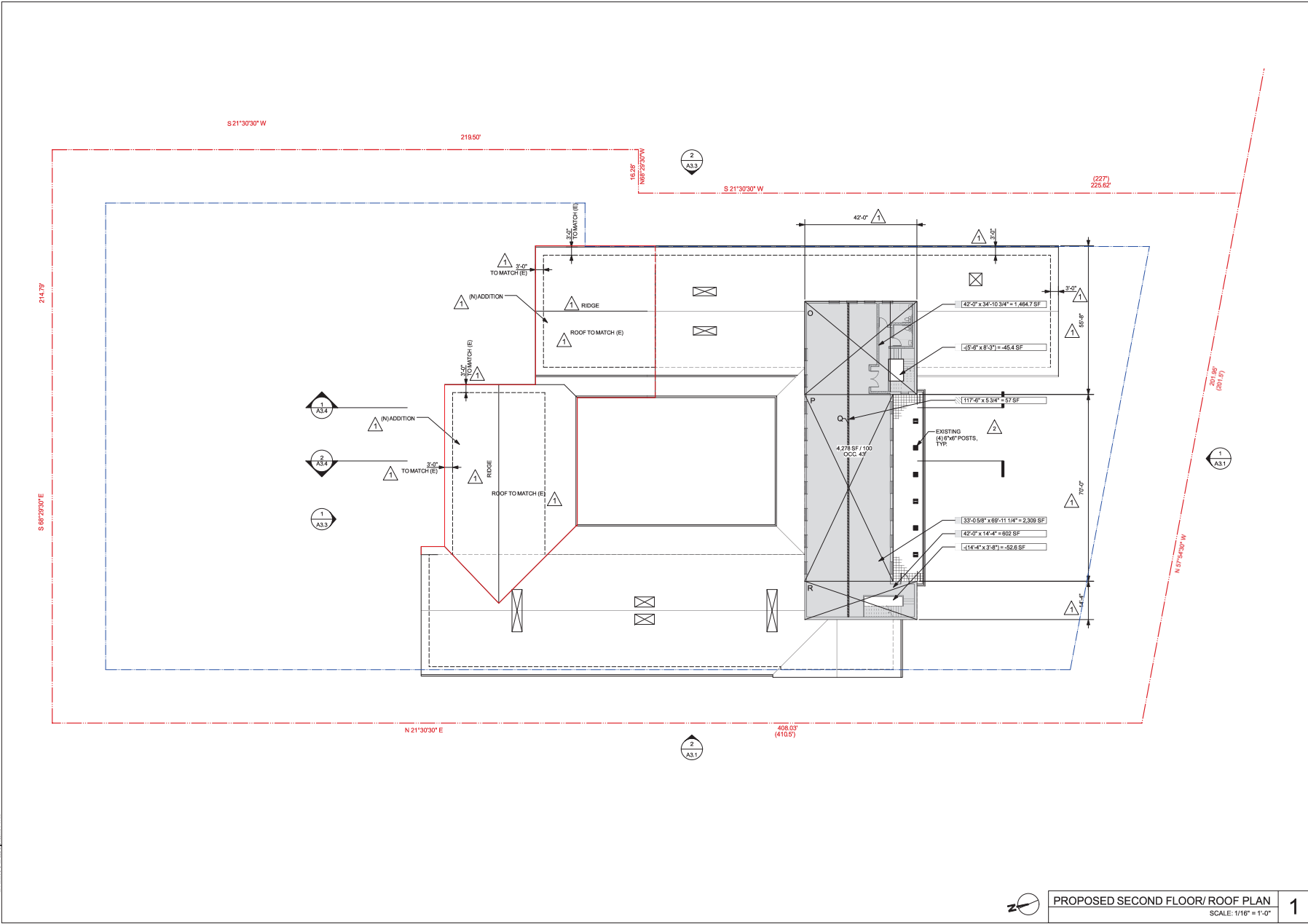
A2.1



PROPOSED FIRST FLOOR PLAN
SCALE: 1/16" = 1'-0"

1

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PROPOSED SECOND FLOOR/ ROOF PLAN
SCALE: 1/16" = 1'-0"

1

SHEET REVISIONS

△	PLANNING RESPONSE
△	12.20.18
△	PLANNING RESPONSE
△	01.07.19
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DRAWING CONTENT

PROPOSED UPPER
UPPER/LOWER
ROOF PLAN

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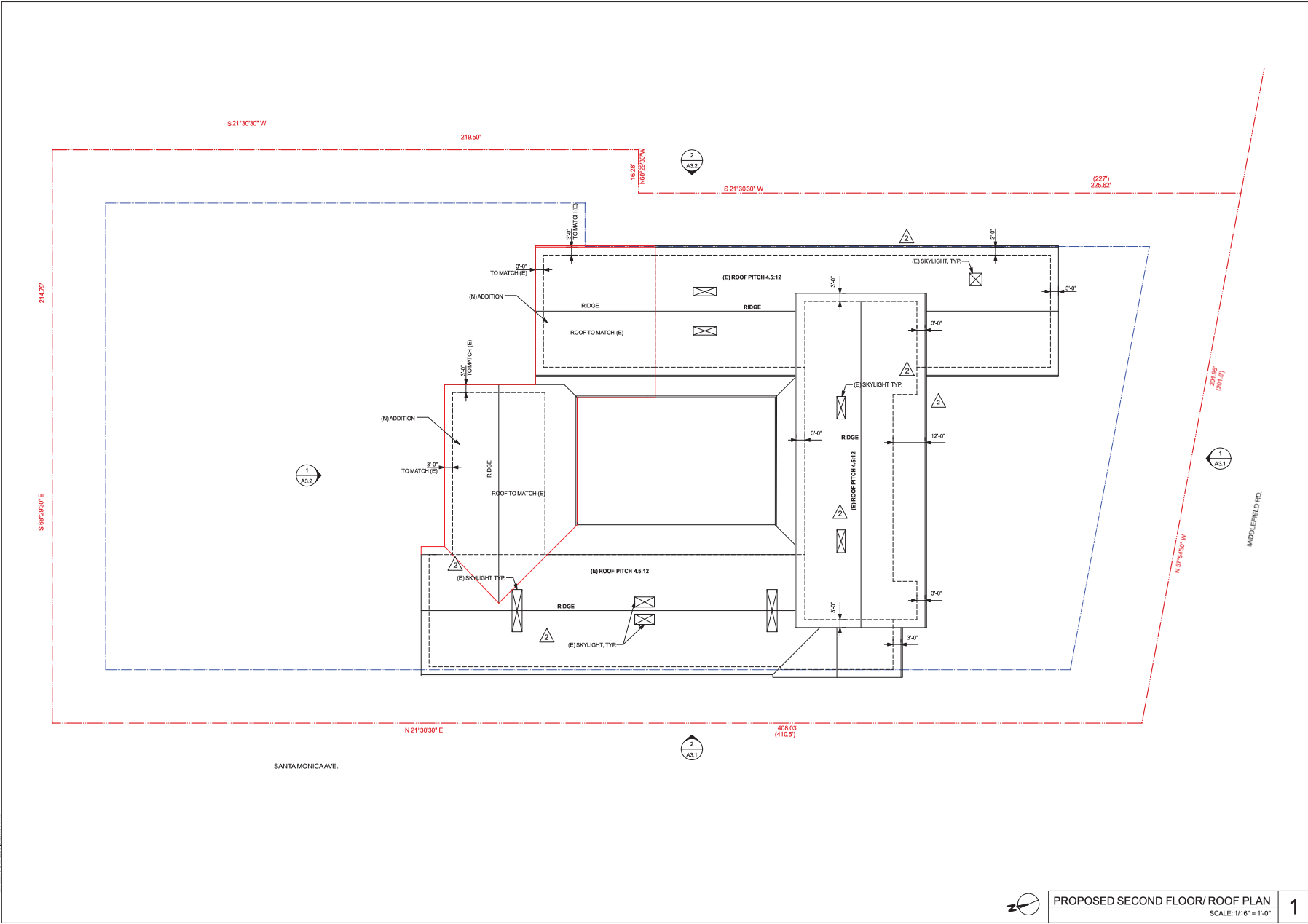
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PROPOSED SECOND FLOOR/ ROOF PLAN
SCALE: 1/16" = 1'-0"

1

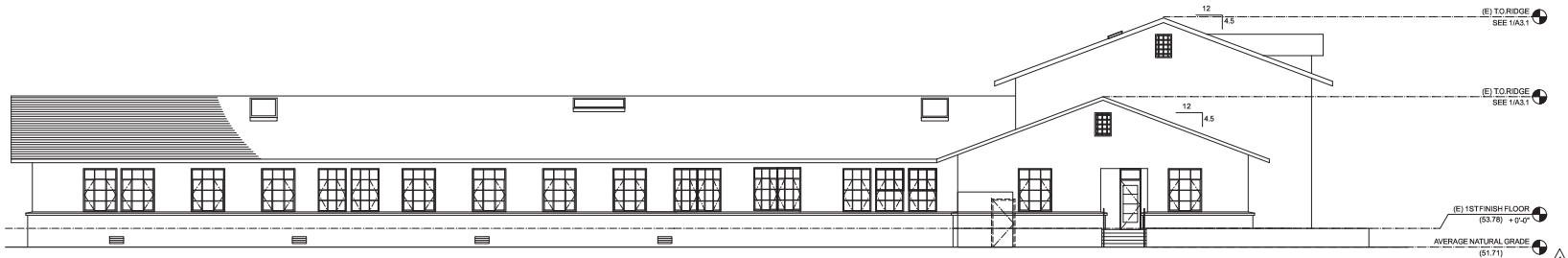


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 2657 SPRING STREET
 REDWOOD CITY, CA 94063
 P: 650.365.0600
 F: 650.365.0670
 www.thehayesgroup.com

PROJECT ADDRESS:
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 MENLO PARK
 CA 94025

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 - △
 - △
 - △
 - △
 - △



EXISTING WEST ELEVATION (SIDE) 2
 SCALE: 1/16" = 1'-0"



EXISTING SOUTH ELEVATION (FRONT) 1
 SCALE: 1/16" = 1'-0"

DRAWING CONTENT
 EXISTING ELEVATIONS

NO CHANGES

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F: 650.365.0670
www.thehayesgroup.com

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MENLO PARK
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10.30.18

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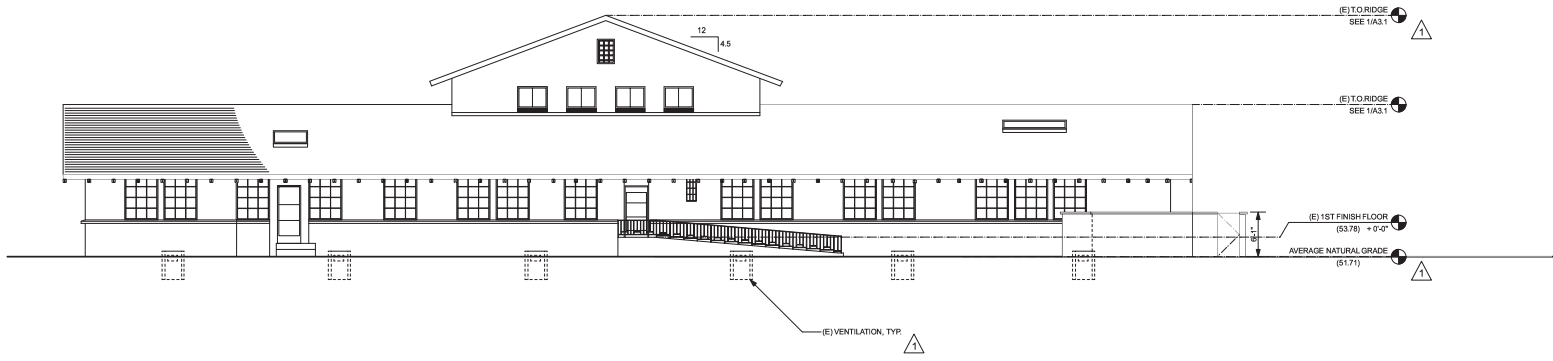
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EXISTING ELEVATIONS

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A3.2



EXISTING EAST ELEVATION (SIDE) 2
SCALE: 1/16" = 1'-0"



EXISTING NORTH ELEVATION (REAR) 1
SCALE: 1/16" = 1'-0"

Draw: 3/27/15
Filename: 1722.00 Baseplans.rvt

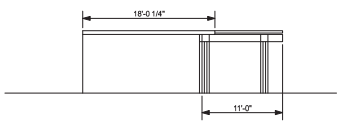


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 F: 650.365.0670
 www.thehayesgroup.com

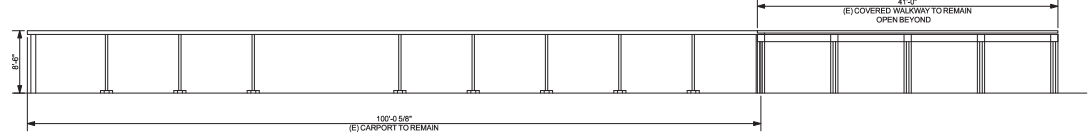
PROJECT ADDRESS:
 250 MIDDLEFIELD ROAD
 MENLO PARK
 CA 94025

ISSUANCE:
 PLANNING SUBMISSION
 05.15.18

- SHEET REVISIONS
- △ PLANNING RESPONSE 10.30.18
 - △ PLANNING RESPONSE 01.07.19
 - △
 - △
 - △
 - △



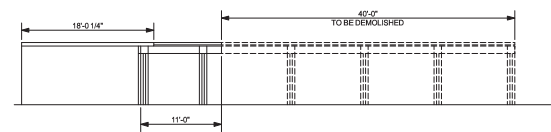
B SIDE ELEVATION



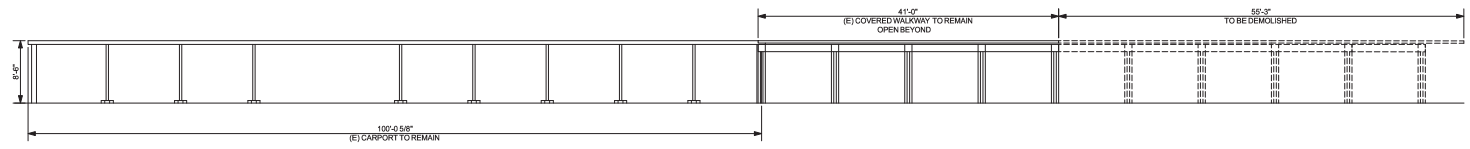
A FRONT ELEVATION

PROPOSED CARPORT AND COVERED WALKWAY
 SCALE: 1/8" = 1'-0"

2



B SIDE ELEVATION



A FRONT ELEVATION

EXISTING CARPORT AND COVERED WALKWAY
 SCALE: 1/8" = 1'-0"

1

DRAWING CONTENT
 EXISTING ELEVATIONS

STAMP

JOB NUMBER:
 1722.00

SCALE:
 As Noted

DRAWN BY:
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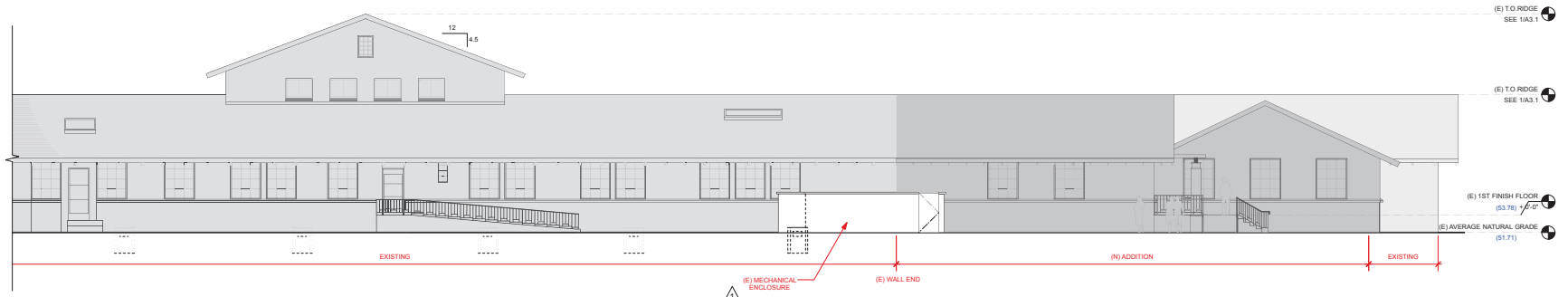
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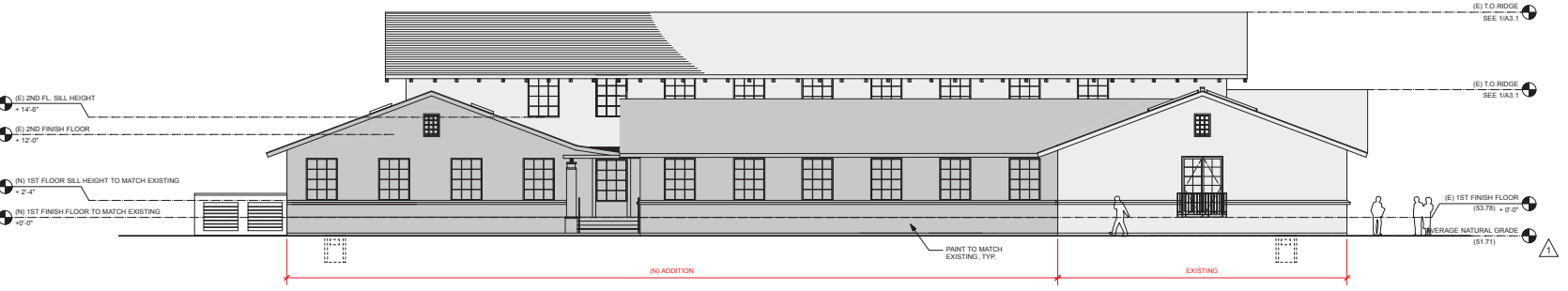
Date: 02/7/18
 Filename: 1722.00 BasePlan.rvt

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△	10.20.18
△	PLANNING RESPONSE
△	01.07.19
△	
△	
△	
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PROPOSED EAST ELEVATION (SIDE) 2
SCALE: 1/16" = 1'-0"



PROPOSED NORTH ELEVATION (REAR) 1
SCALE: 1/16" = 1'-0"



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DRAWING CONTENT
 PROPOSED
 COLORED
 ELEVATION

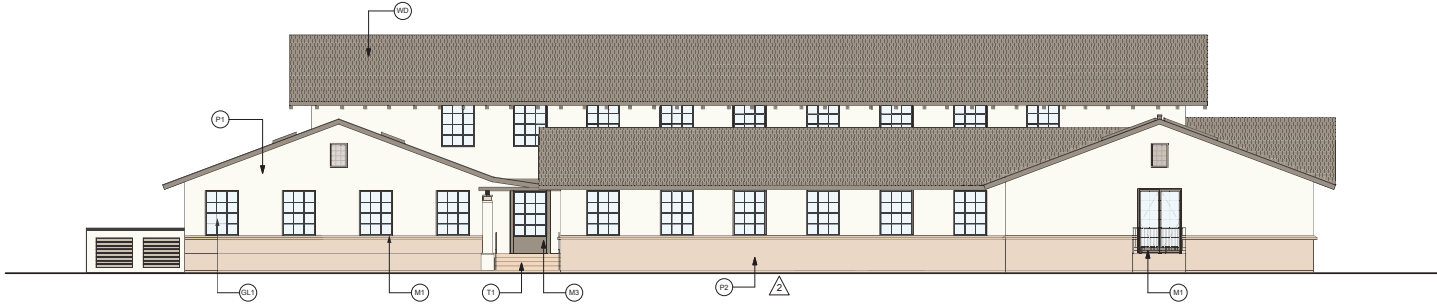
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A3.4a

FINISH LEGEND

GL	GLAZING GLAZING AND FRAME TO MATCH EXISTING
M1	WROUGHT IRON RAILING MATCH EXISTING
M2	METAL TRASH ENCLOSURE DOOR EXISTING TO BE REUSED
M3	PAINTED HOLLOW METAL DOOR MATCH EXISTING
WD	WOOD SHAKE ROOF MATCH EXISTING
T1	TILE MATCH EXISTING
F1	CEMENT PLASTER TO MATCH EXISTING
F2	CEMENT PLASTER TO MATCH EXISTING



PROPOSED NORTH ELEVATION (REAR)
 SCALE: 1/16" = 1'-0"

1

Date: 02-14-15
 Filename: 1722.00_RearEleva.rvt



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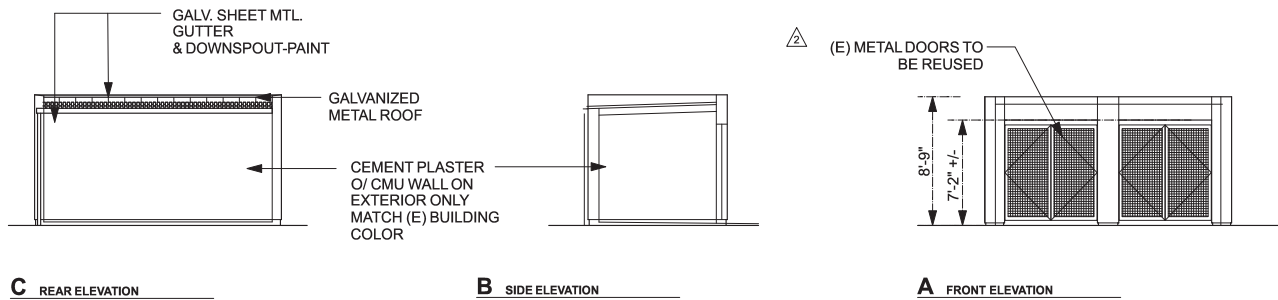
- SHEET REVISIONS
- △ PLANNING RESPONSE 10.20.18
 - △ PLANNING RESPONSE 01.07.19
 - △
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DRAWING CONTENT
PROPOSED ELEVATIONS

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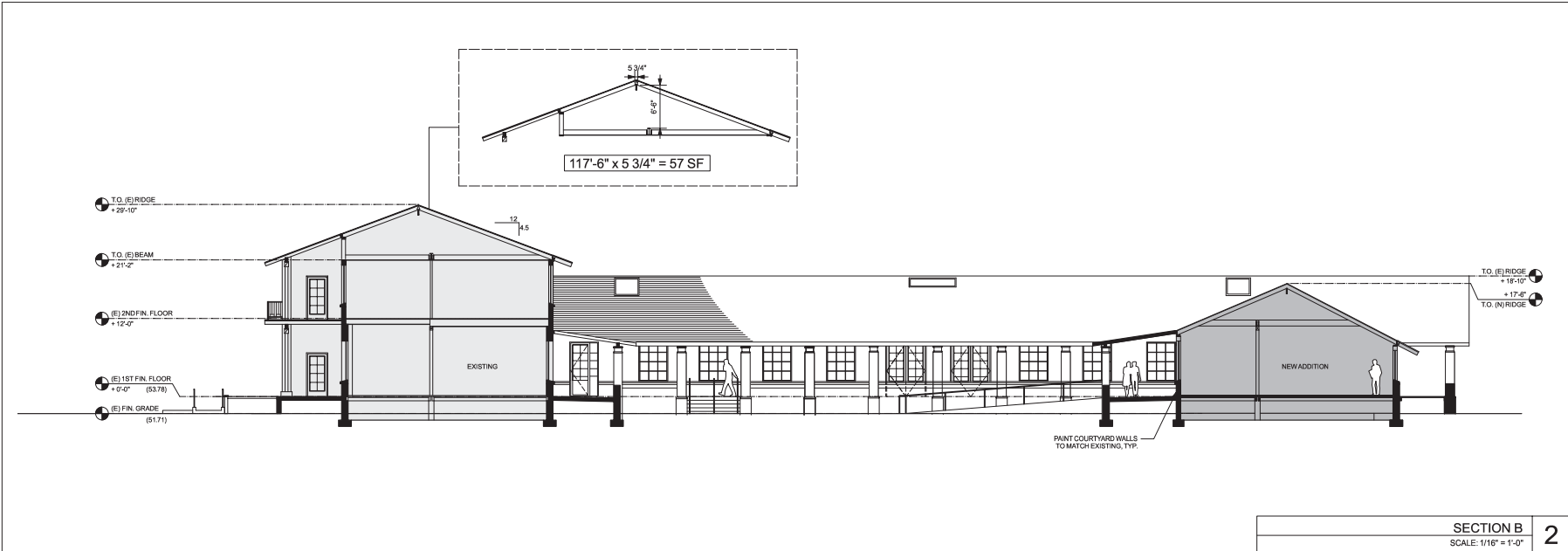


PROPOSED TRASH ENCLOSURE ELEVATIONS
SCALE: 1/4" = 1'-0"

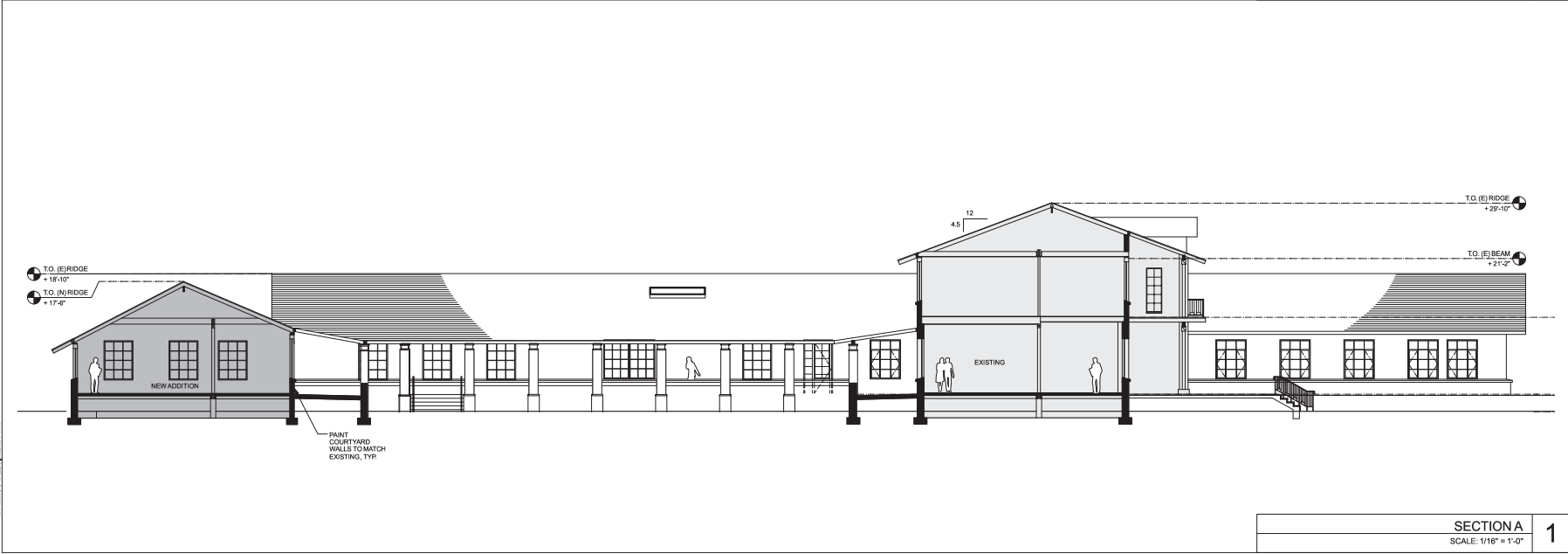
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△	PLANNING RESPONSE
△	10.20.18
△	PLANNING RESPONSE
△	01.07.19
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SECTION B
SCALE: 1/16" = 1'-0" **2**



SECTION A
SCALE: 1/16" = 1'-0" **1**



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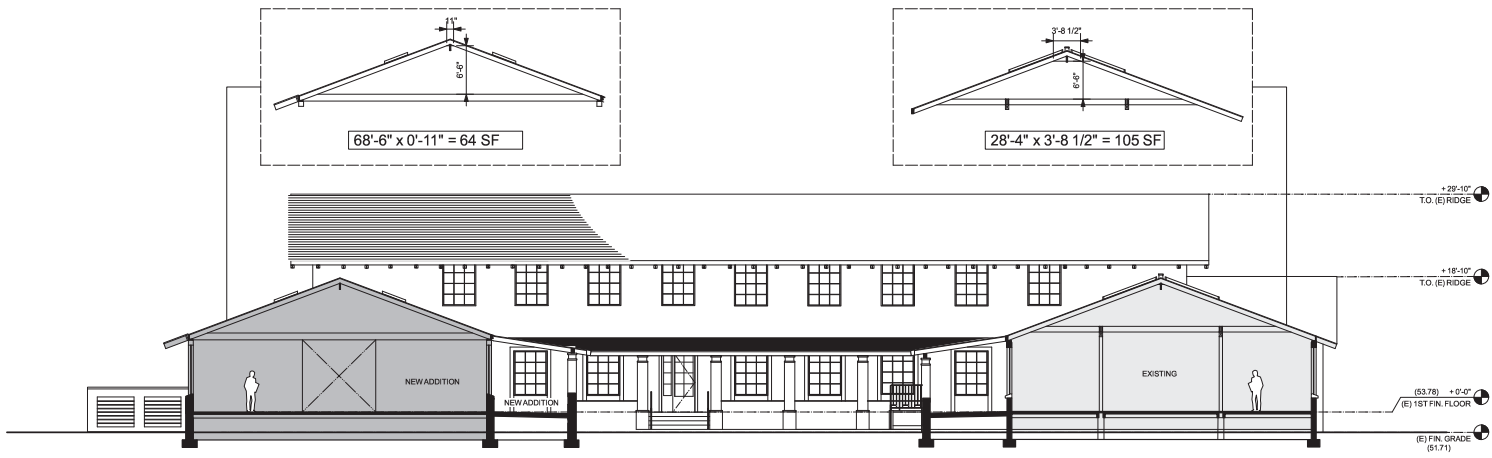
- SHEET REVISIONS
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 - △ PLANNING RESPONSE 01.07.19
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DRAWING CONTENT
 PROPOSED SECTIONS

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SECTION C 1
 SCALE: 1/16" = 1'-0"

Date: 3/27/18
 Filename: 1722.00 Baseplan.rvt

Date: 3/27/15
Filename: 1722.00 Baseplans.rvt



AERIAL VIEW	2
-------------	---



VIEW FROM PARKING LOT	1
-----------------------	---



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A4.1

BASIS OF BEARINGS

THE BEARINGS, NORTH 57°54'30" WEST, OF THE ORIGINAL CENTERLINE OF MIDDLEFIELD ROAD, AS SHOWN ON THAT CERTAIN SUBDIVISION MAP ENTITLED, "LINFELD OAKS" WHICH WAS FILED FOR RECORD IN BOOK 31 OF MAPS PAGES 21-28, SAN MATEO COUNTY RECORDS, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

BENCHMARK

THE USC&GS DISK AT THE NORTHEASTERLY INTERSECTION OF MIDDLEFIELD ROAD AND PALO ALTO AVENUE, ATOP THE SOUTHEAST END OF THE NORTHEAST HEADWALL OVER SAN FRANCISCO CREEK, WAS USED AS THE BENCHMARK FOR THIS SURVEY. ELEVATION: 55.735 FEET, "BM Y150"

I CERTIFY THAT THE PARCEL BOUNDARY WAS ESTABLISHED BY ME OR UNDER MY DIRECT SUPERVISION AND IS BASED UPON A FIELD SURVEY AND I CERTIFY THAT MONUMENTS SHOWN ARE OF THE CHARACTER STATED AS OF THE DATE OF THE FIELD SURVEY SHOWN BELOW.

LEGEND

- AC ASPHALT CONCRETE
- BW BACK OF WALK
- CB CATCH BASIN
- C/L CENTERLINE
- CMP CORRUGATED METAL PIPE
- CI CAST IRON PIPE
- CO CLEAN OUT BOX
- CP SURVEY CONTROL POINT
- CTV CABLE TELEVISION LINE
- DI DROP INLET
- EM ELECTRIC METER
- EV ELECTRIC VALVE
- FF FINISHED FLOOR
- FM FLOWLINE
- FL FIRE HYDRANT
- GM GAS METER
- GRD GROUND
- GV GAS VALVE
- HCR HANDICAP RAMP
- HVE HIGH-VOLT ELECTRIC
- INV INVERT
- IP IRON PIPE
- JP JOINT POLE
- KV KILOVOLT
- LAT LATERAL

- LG LIP OF GUTTER
- LW LIGHT WELL/VENT OPENING
- MM MON-MON
- PRV PARCELL/S&C VAULT
- PCE POKE VAULT
- PP POWER POLE
- SDMH STORM DRAIN MANHOLE
- SL STREET LIGHT
- STR STREET LIGHT BOX
- SSM SANITARY SEWER MANHOLE
- TL TOP BACK OF CURB
- TEMP TEMPORARY BENCHMARK
- TS TRAFFIC SIGNAL
- TSC TRAFFIC SIGNAL BOX
- VFC VITRIFIED CLAY PIPE
- WMB WATER METER BOX
- WV WATER VALVE
- WV-CABLE TELEVISION LINE
- WV-ELECTRICAL LINE
- WV-GAS LINE
- WV-SEWER LINE
- WV-SANITARY SEWER LINE
- WV-TELEPHONE LINE
- WV-WATER LINE

**THE ALCORN TRACT
BOOK 2 MAPS 96**

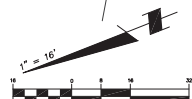
NOTES

BGT RELIED UPON AN OLD REPUBLIC TITLE COMPANY PRELIMINARY TITLE REPORT AS TITLE REFERENCE FOR THIS SURVEY. NO EASEMENTS OF RECORD WERE REFERENCED WITHIN THE REPORT.

UTILITIES SHOWN HEREON TAKEN FROM VISUAL SURFACE EVIDENCE AND SHOULD BE CONSIDERED AS APPROXIMATE ONLY. ACTUAL LOCATIONS OF UTILITIES MAY VARY. TRUE LOCATION OF UTILITIES CAN ONLY BE OBTAINED BY EXPOSING THE UTILITY.

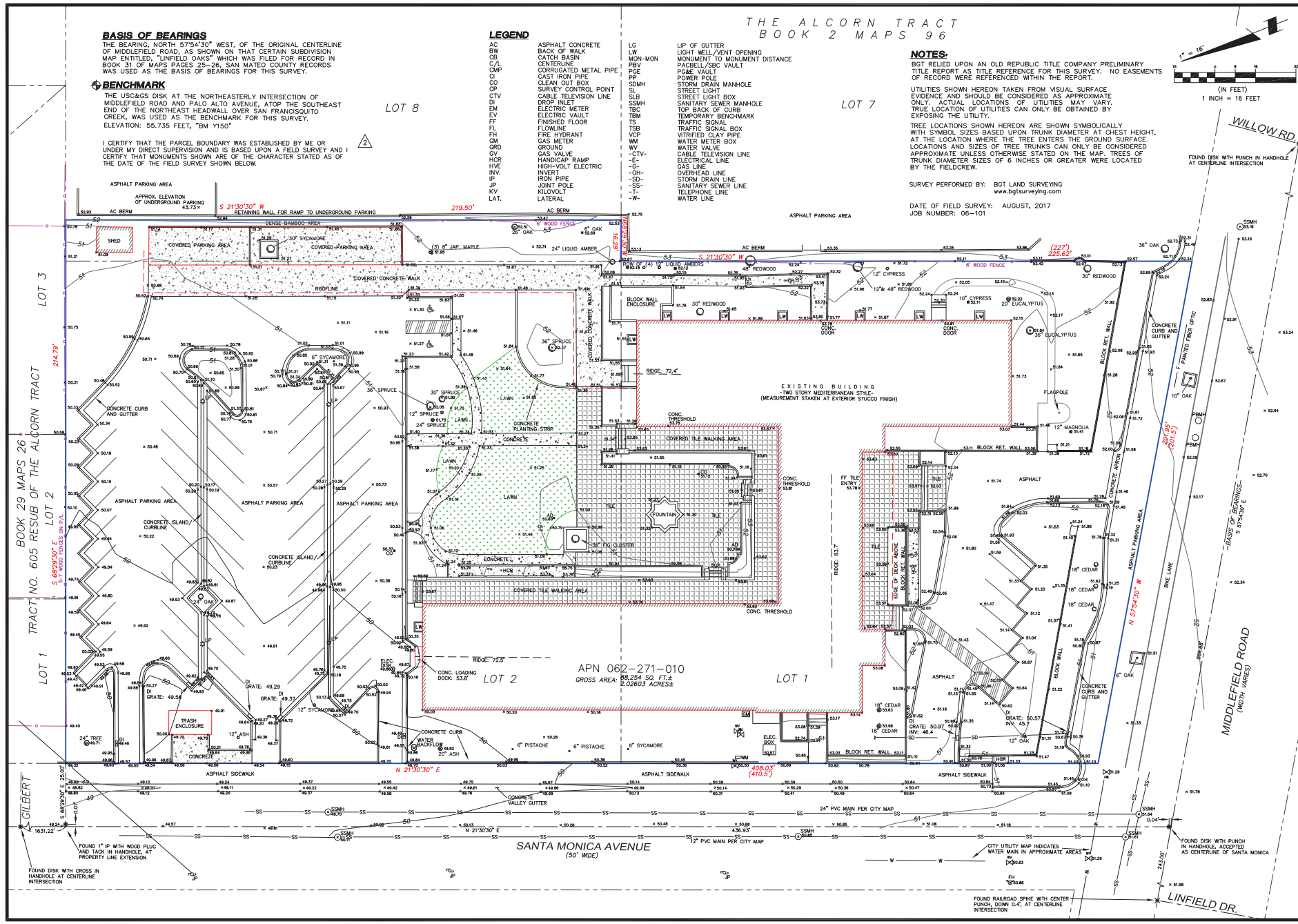
TREE LOCATIONS SHOWN HEREON ARE SHOWN SYMBOLICALLY WITH SYMBOL SIZES BASED UPON TRUNK DIAMETER AT CHEST HEIGHT, AT THE LOCATION WHERE THE TREE ENTERS THE GROUND SURFACE. LOCATIONS AND SIZES OF TREE TRUNKS CAN ONLY BE CONSIDERED APPROXIMATE UNLESS OTHERWISE STATED ON THE MAP. TREES OF TRUNK DIAMETER SIZES OF 6 INCHES OR GREATER WERE LOCATED BY THE FIELDCREW.

SURVEY PERFORMED BY: BGT LAND SURVEYING
www.bgtlandsurveying.com
DATE OF FIELD SURVEY: AUGUST, 2017
JOB NUMBER: 06-101

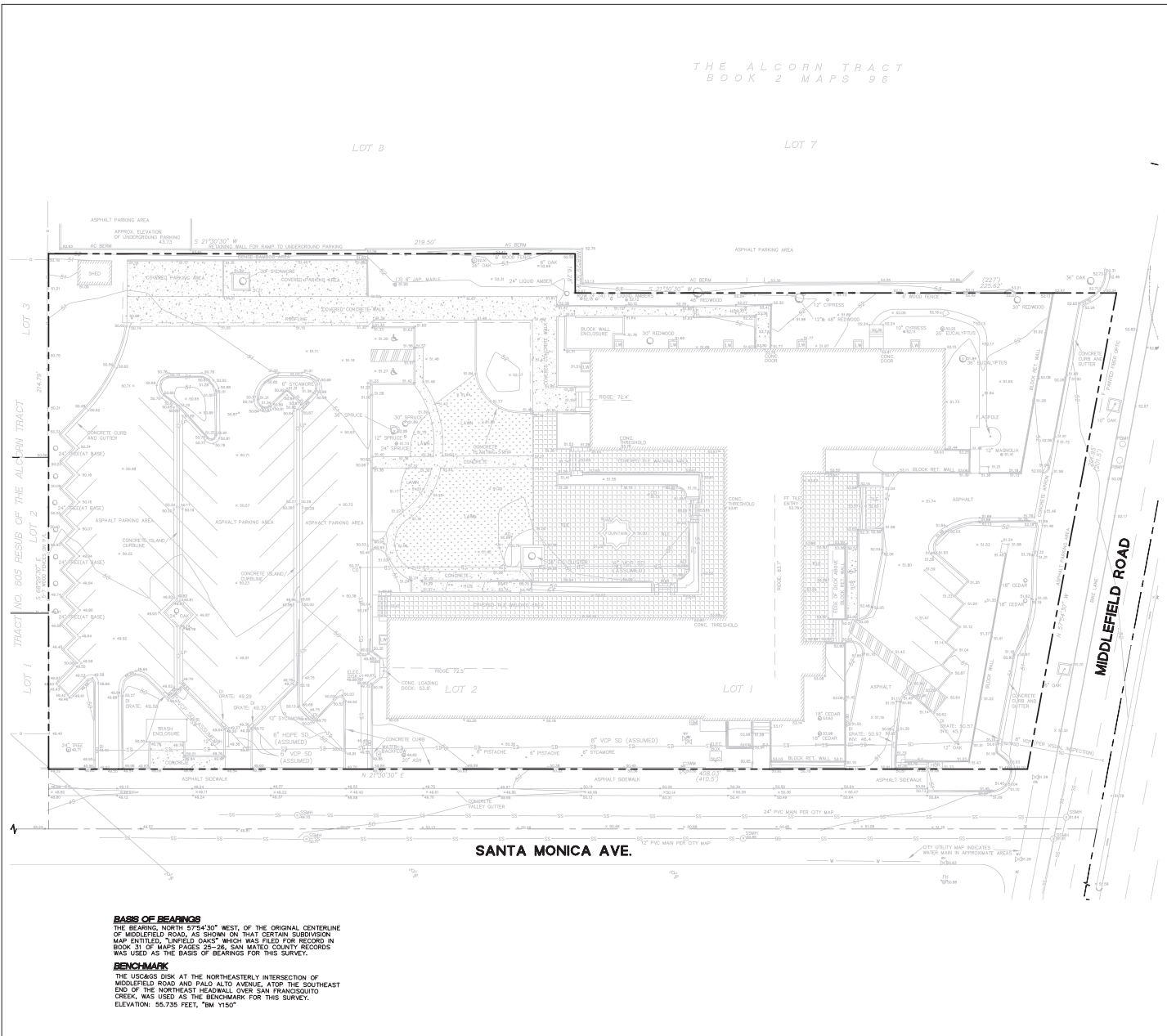


BOUNDARY AND TOPOGRAPHIC SURVEY
LOTS 1-2, AND PORTION OF LOT 8, "THE ALCORN TRACT" (BOOK 2 MAPS 96)
250 MIDDLEFIELD ROAD
MENLO PARK, COUNTY OF SAN MATEO, CALIFORNIA

Assessor Parcel Number: 062-271-010
Prepared For: KING ASSET MANAGEMENT
260 LYTON AVENUE #304
PALO ALTO, CA 94301
Date: AUGUST 2017
Scale: 1" = 16'
Contour Interval: 1'
Drawn by: LHL
Revisions:
SU-1
Job No. 06-101



THE ALCORN TRACT
BOOK 2 MAPS 98



BASIS OF BEARINGS
THE BEARING NORTH 87°54'30" WEST, OF THE ORIGINAL CENTERLINE OF MIDDLEFIELD ROAD, AS SHOWN ON THAT CERTAIN SUBDIVISION MAP ENTITLED, "ALCORN TRACT" WHICH WAS FILED FOR RECORD IN BOOK 31 OF MAPS PAGES 25-28, SAN MATEO COUNTY RECORDS WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

BENCHMARK
THE USGS&S DISK AT THE NORTHEASTERLY INTERSECTION OF MIDDLEFIELD ROAD AND PALO ALTO AVENUE, ATOP THE SOUTHEAST END OF THE NORTHEAST HEADWALL OVER SAN FRANCISCO CREEK, WAS USED AS THE BENCHMARK FOR THIS SURVEY.
ELEVATION: 55.735 FEET, "BM 1150"

DRAWING NAME: K:\2018\180606_250_M\180606_250_M.dwg (REV) PLANNING SHEETS 250 MF - C1.0 EC.dwg
PLOT DATE: 03-19-19 (PLOTTER: B7)

LEGEND

---	EXISTING PROPERTY LINE
---	ADJACENT PROPERTY LINE
---	EASEMENT LINE
---	STREET CENTER LINE
---	WOOD FENCE
---	MONUMENT LINE
⊕	FIRE HYDRANT
⊕	SON
⊕	JUNT POLE/POWER POLE
⊕	WATER VALVE
⊕	WATER LINE
⊕	STORM DRAIN LINE
⊕	SANITARY SEWER LINE
⊕	GAS LINE
⊕	WATER METER
⊕	MONUMENT
⊕	EXISTING TREE

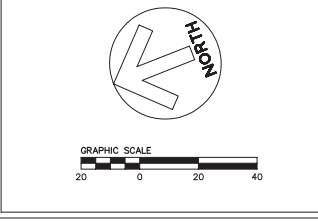
ABBREVIATIONS

CD	CURB DRAIN
CONC	CONCRETE
CTV	CABLE TELEVISION
DI	DRAIN INLET
EY	ELECTRICAL W/ALT
FF	FINISH FLOOR
PH	FIRE HYDRANT
FL	FLOWLINE
JF	JUNT FLOOR
LG	LIGHT WELL
LP	LIGHT POLE
LW	LIGHT WELL
SD	STORM DRAIN
SDOH	STORM DRAIN OPENING
SS	SANITARY SEWER CLEANOUT
SSD	SANITARY SEWER MANHOLE
SSMH	SANITARY SEWER MANHOLE
TC	TOP OF CURB
TR	TREE
VCP	VITREOUS CLAY PIPE
WM	WATER METER
WV	WATER VALVE

NOTES

- BOUNDARY AND TOPOGRAPHIC SURVEY WAS NOT PERFORMED BY BKF AND THEREFORE ASSUMES NO RESPONSIBILITY FOR ANY AND ALL ERRORS AND OMISSIONS.
- BOUNDARY AND TOPOGRAPHIC SURVEY WAS PERFORMED BY BOT LAND SURVEYING IN AUGUST 2017, PLS. BRIAN TAYLOR, NO. 7500, JOB NUMBER: 16-101
- BOT RELED UPON AN OLD REPUBLIC TITLE COMPANY PRELIMINARY TITLE REPORT AS TITLE REFERENCE FOR THIS SURVEY. NO EASEMENTS OF RECORD WERE REFERENCED WITHIN THE REPORT.
- UTILITIES SHOWN HEREON WERE FROM VISUAL SURFACE EVIDENCE AND SHOULD BE CONSIDERED AS APPROXIMATE ONLY. ACTUAL LOCATIONS OF UTILITIES MAY VARY. TREE LOCATION OF UTILITIES CAN ONLY BE OBTAINED BY EXPOSING THE UTILITY.
- TREE LOCATIONS SHOWN HEREON ARE SHOWN SYMBOLICALLY WITH SHRINK SIZES BASED UPON TRUNK DIAMETER AT CHEST HEIGHT, AT THE LOCATION WHERE THE TREE ENTERS THE GROUND SURFACE. LOCATIONS AND SIZES OF TREE TRUNKS CAN ONLY BE CONSIDERED APPROXIMATE UNLESS OTHERWISE STATED ON THE MAP. TREES OF TRUNK DIAMETER SIZES OF 6 INCHES OR GREATER WERE LOCATED BY THE FIELDWORK.
- ANY FRONTAGE IMPROVEMENTS WHICH ARE DAMAGED AS A RESULT OF EXISTING CONDITIONS OR CONSTRUCTION WILL BE REQUIRED TO BE REPLACED. ALL FRONTAGE IMPROVEMENT WORK SHALL BE IN ACCORDANCE WITH THE LATEST VERSION OF THE CITY STANDARD DETAILS.
- AN ENCROACHMENT PERMIT FROM THE ENGINEERING DIVISION IS REQUIRED PRIOR TO ANY CONSTRUCTION ACTIVITIES, INCLUDING UTILITY LATERALS, IN THE PUBLIC RIGHT OF WAY.

SCALE AND NORTH ARROW



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DRAWING CONTENT
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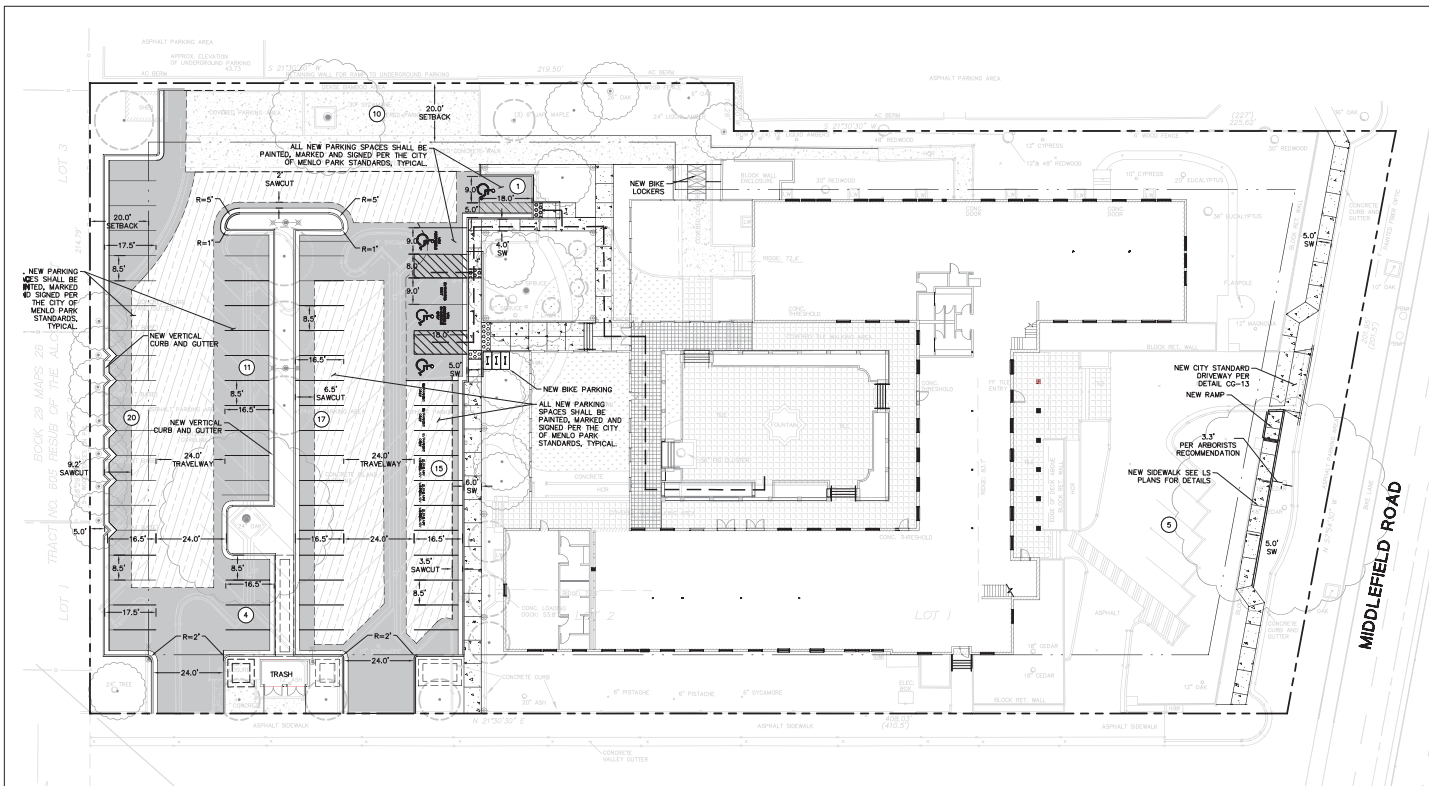
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2018006
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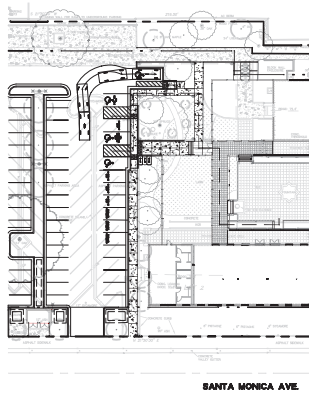
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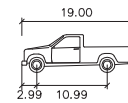


SANTA MONICA AVE.



TRUCK TURN EXHIBIT
SCALE 1"=40'

PARKING STALL COUNT		
EXISTING	PROPOSED	CHANGE
69	83	+14



PICKUP TRUCK
 WIDTH: 19.00'
 TRACK: 6.00'
 LOCK TO LOCK TIME: 6.5"
 STEERING ANGLE: 31.6°

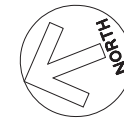
LEGEND

- PROPERTY LINE
- ADJACENT LOT LINE
- SAWCUT LINE
- STREET CENTER LINE
- SETBACK LINE
- ADA PATH OF TRAVEL
- VERTICAL CURB
- VERTICAL CURB & GUTTER
- AC PAVEMENT
- TRUNCATED DOMES
- AC GRIND AND OVERLAY
- BIORETENTION BASIN
- NEW CONCRETE
- PARKING BANK STALL COUNT

ABBREVIATIONS

- BC BACK OF CURB
- CL CENTER LINE
- DWY DRIVEWAY
- FC FACE OF CURB
- LS LANDSCAPE
- PL PROPERTY LINE
- PS PARKING SPACE
- R RADIUS
- STD STANDARD
- SW SIDEWALK
- TYP TYPICAL (OF SEVERAL)

SCALE AND NORTH ARROW



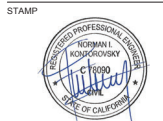
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DRAWING CONTENT
CIVIL SITE PLAN



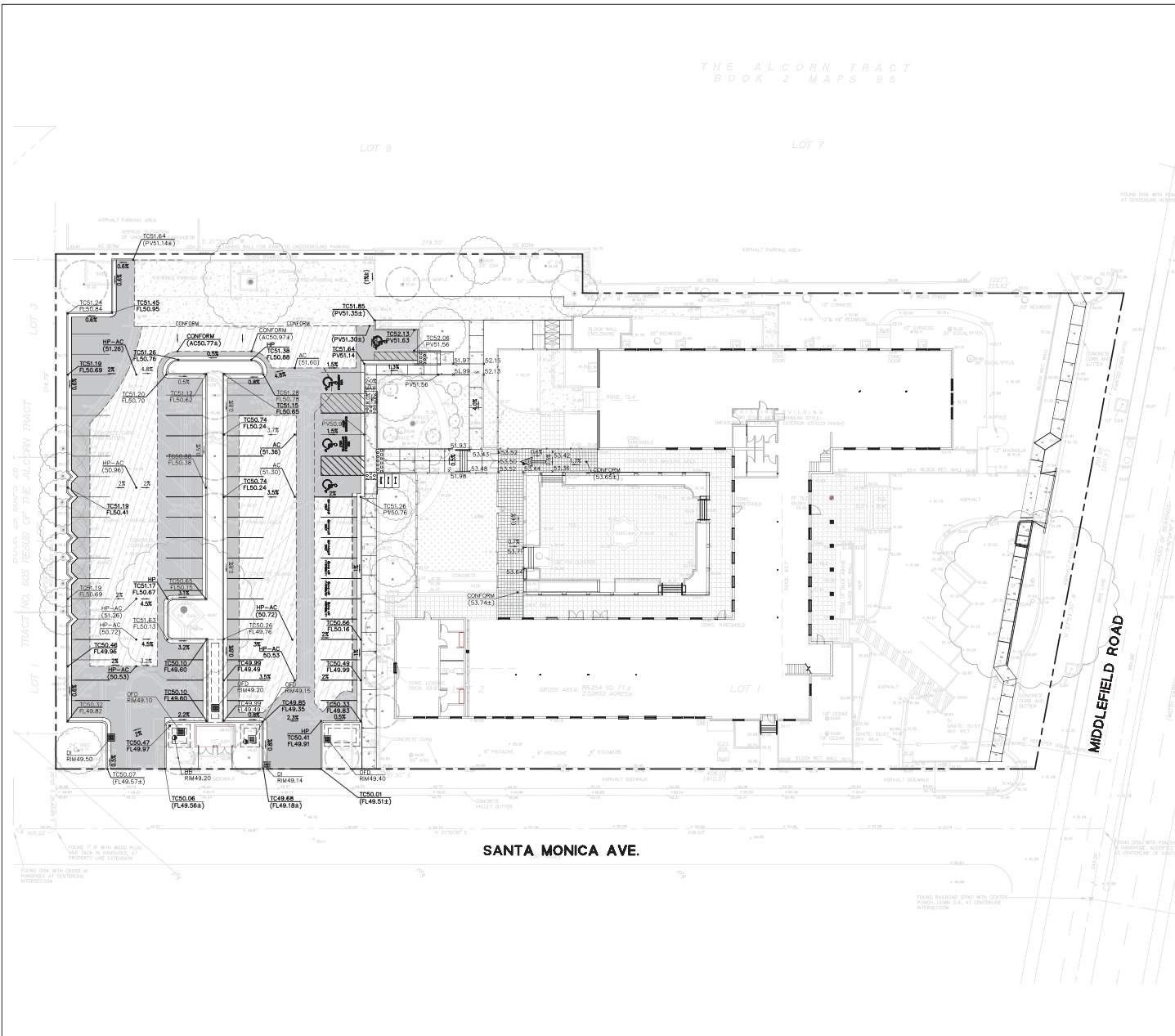
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 PLOT DATE: 03-19-19 PLOTTED BY: [User]

THE ALCORN TRACT
 BOOK 2 MAPS 98



LEGEND

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- VERTICAL CURB
- VERTICAL CURB & GUTTER
- VALLEY CUTTER
- GRADE BREAK
- SAWTOOTH LINE
- BORETENTION BASIN
- SLOPE TO DRAIN
- SLOPE TO DRAIN
- STORM DRAIN OVERFLOW DRAIN
- STORM DRAIN MANHOLE
- STORM DRAIN JUNCTION BOX
- PROPOSED ELEVATION
- OVERLAND RELEASE
- EXISTING GRADE TO REMAIN
- PROPOSED GRADE HIGHER THEN EXISTING GRADE
- AC PAVEMENT
- AC GRIND AND OVERLAY

ABBREVIATIONS

- BW BACK OF WALK
- CC CURB OPENING
- DW DRIVEWAY
- FG FINISH GRADE
- FL FLOWLINE
- GB GRADE BREAK
- HP HIGH POINT
- LC LIP OF CUTTER
- MC MANHOLE
- OFD OVERFLOW DRAIN
- PAV PAVEMENT
- SD STORM DRAIN
- SDJB STORM DRAIN JUNCTION BOX
- SS SANITARY SEWER
- TC TOP OF CURB
- TGB TOP OF BASIN
- SW SIDEWALK
- T TREE
- TYP TYPICAL (OF SEVERAL)
- TC TOP OF CURB

SCALE AND NORTH ARROW



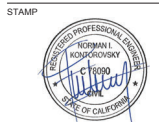
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 - PLANNING RESPONSE
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**PRELIMINARY
 GRADING &
 DRAINAGE PLAN**

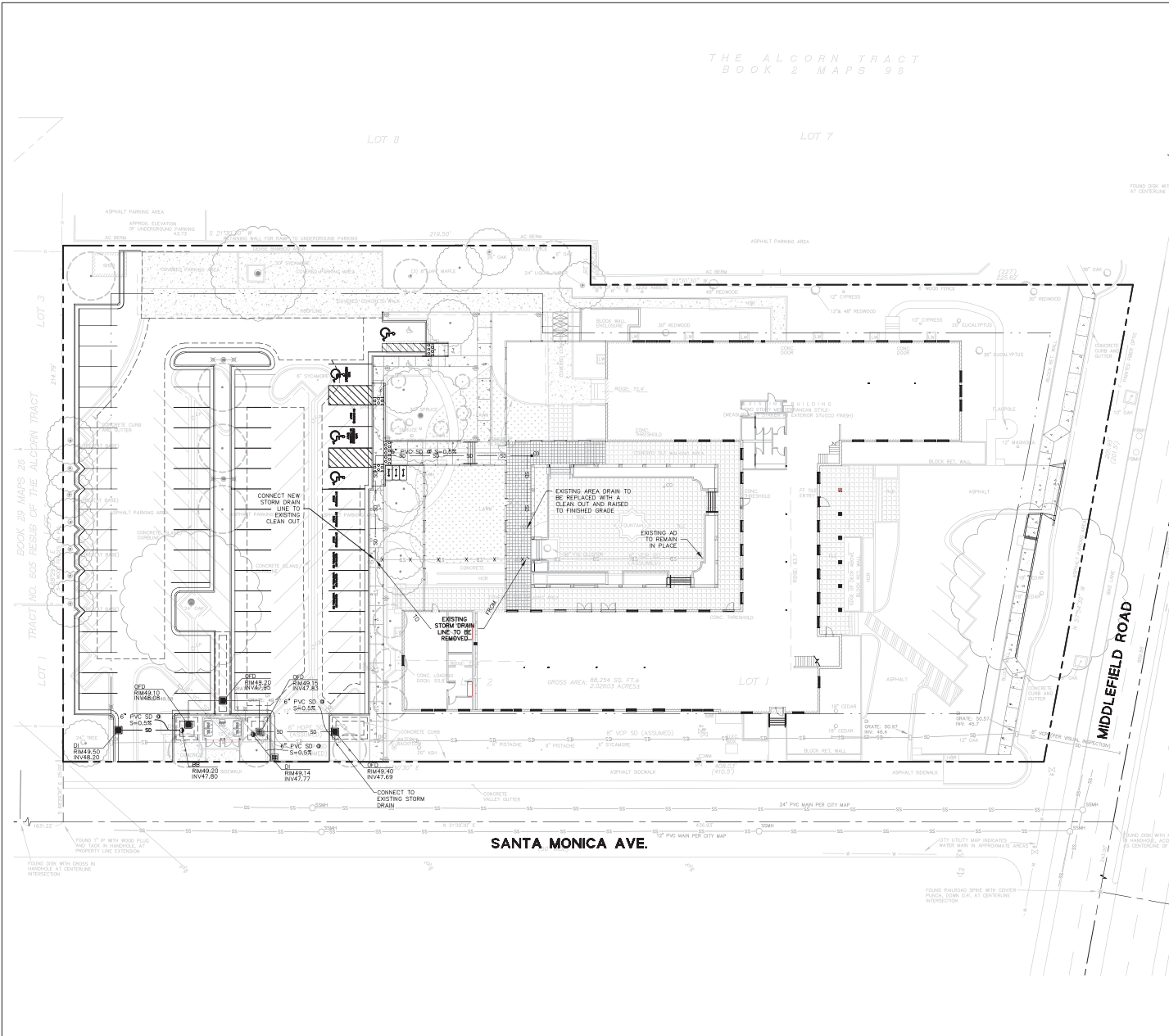


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 2018006
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THE ALCORN TRACT
BOOK 2 MAPS 98



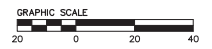
LEGEND

- PROPERTY LINE
- - - ADJACENT LOT LINE
- [Symbol] BIOTENTION BASIN
- [Symbol] VERTICAL CURB
- [Symbol] VERTICAL CURB & GUTTER
- [Symbol] ROLLED CURB & GUTTER
- [Symbol] TREATED STORM DRAIN LINE
- [Symbol] UNTREATED STORM DRAIN LINE
- [Symbol] STORM DRAIN OVERFLOW DRAIN
- [Symbol] AREA DRAIN
- [Symbol] BUBBLER BOX
- [Symbol] STORM DRAIN CLEANOUT
- [Symbol] EXISTING STORM DRAIN LINE

ABBREVIATIONS

- AD AREA DRAIN
- BB BUBBLER BOX
- BOV BLOW-OFF VALVE
- BW BACK OF WALK
- W/W BOTTOM OF WALL
- CB CATCH BASIN
- CO CURB OPENING
- FF FINISH FLOOR
- FG FINISH GRADE
- FL FLOWLINE
- GB GRADE BREAK
- HP HIGH POINT
- LG LIP OF GUTTER
- MB MANHOLE
- OD OVERFLOW DRAIN
- PV PAVEMENT
- SD STORM DRAIN
- SDOJ STORM DRAIN CLEAN OUT
- SDJBJ STORM DRAIN JUNCTION BOX
- SS SANITARY SEWER
- TC TOP OF CURB
- TW TOP OF WALL
- SW SIDEWALK
- T TREE
- TYP TYPICAL (OF SEVERAL)
- TC TOP OF CURB

SCALE AND NORTH ARROW



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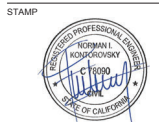
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DRAWING CONTENT

PRELIMINARY
UTILITY PLAN



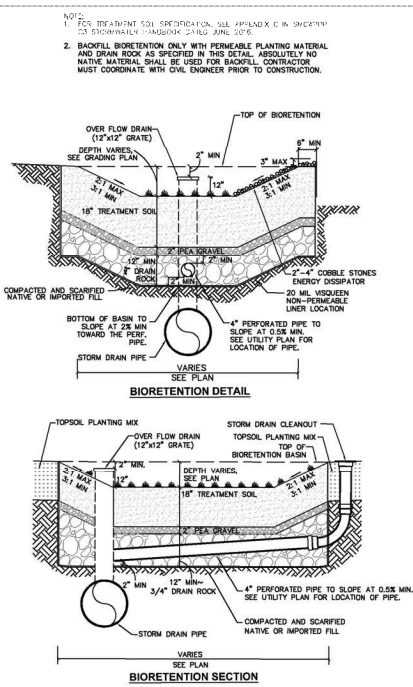
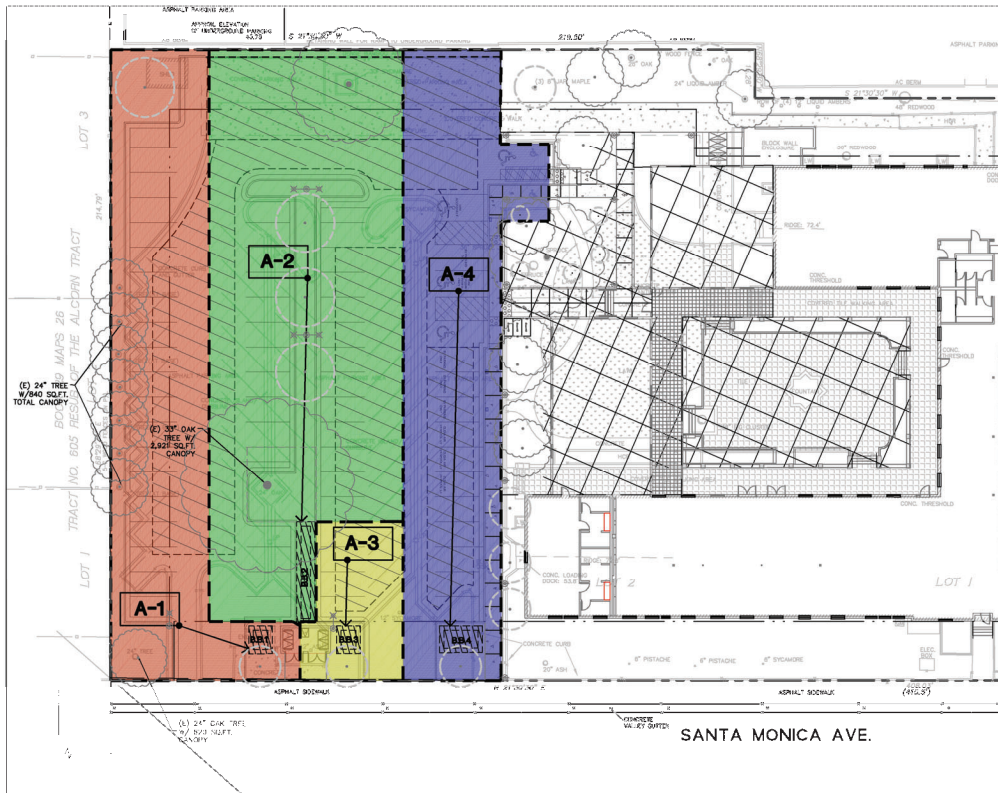
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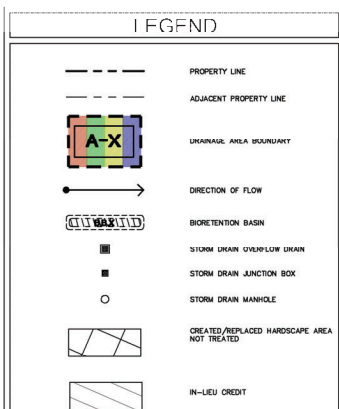
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PLOT DATE: 03-19-19 PLOTTED BY: bsr

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BIORETENTION AREA



ABBREVIATIONS



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F: 650.365.0870
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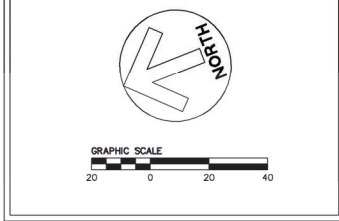
TABLE A

TREATMENT CONTROL MEASURE SUMMARY									
PROPOSED IMPROVEMENTS									
EXISTING IMPERVIOUS AREA	CREATED/REPLACED IMPERVIOUS AREA (SQ. FT.)	TREE CREDITS (TRF)	REQUIRED IMPERVIOUS AREA TO BE REPLACED (SQ. FT.)	SO OTHER TREATMENT AREA (% RULE)	THIS REPRESENTS THE AMOUNT OF IMPERVIOUS AREA REPLACED/CREATED WITH THE IMPROVEMENTS OF THIS PROJECT. THE REQUIRED TREATMENT AREA IS THE AREA OF BIORETENTION THAT IS REQUIRED FOR TREATING THE REPLACED/CREATED IMPERVIOUS AREA, INCLUDING TREE CREDITS. IN-LIEU OF TREATING AREAS THAT ARE FURTHER AWAY FROM THE BASINS, THIS PROJECT PROPOSES TO TREAT EXISTING AREAS OF IMPERVIOUS AREA.				
SIZE	14,667	4,367	10,300	412					
TREATMENT CALCULATION									
DRAINAGE AREAS	DRAINAGE AREA SIZE (SQ. FT.)	PERVIOUS SURFACE (SQ. FT.)	TYPE OF PERVIOUS SURFACE	IMPERVIOUS SURFACE (SQ. FT.)	TYPE OF IMPERVIOUS SURFACE	WATER QUANTITY (FLOW AND/OR VOLUME GENERATED)		PROPOSED TREATMENT CONTROLS	CONFORMS TO SIZE STANDARD?
						REQUIRED (SF)	PROVIDED (SF)		
A-1	5,780	2,236	LANDSCAPE	3,544	ASPHALTIC CONCRETE CONCRETE	83*	85***	B.B.1 BIORETENTION BASIN 1	YES
A-2	4,872	1,091	LANDSCAPE	3,781	ASPHALTIC CONCRETE CONCRETE	35**	214***	B.B.2 BIORETENTION BASIN 2	YES
A-3	1,621	190	LANDSCAPE	1,431	ASPHALTIC CONCRETE CONCRETE	57	76***	B.B.3 BIORETENTION BASIN 3	YES
A-4	4,357	350	LANDSCAPE	4,007	ASPHALTIC CONCRETE CONCRETE	160	164***	B.B.4 BIORETENTION BASIN 4	YES
-	-	-	TOTAL IMPERVIOUS AREA BEING TREATED	12,763		335	539	TOTAL BASIN AREA MEETS SIZING REQUIREMENTS	YES

*APPLY A TREE CREDIT OF 1,460 FOR EXISTING TREES WITHIN THE TRIBUTARY AREA
**APPLY A TREE CREDIT OF 2,921 FOR EXISTING TREE WITHIN THE TRIBUTARY AREA
*** EXISTING HARDSCAPE AREA TO BE TREATED IN B.B.-3

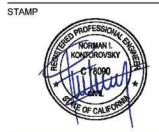
REFER TO SHMP REPORT BY BKF ENGINEERS DATED JANUARY 2019 TITLED PRELIMINARY STORMWATER MANAGEMENT PLAN FOR IN-LIEU AND TREE CREDIT INFO

SCALE AND NORTH ARROW



DRAWING CONTENT

PRELIMINARY STORMWATER CONTROL PLAN



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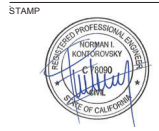
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F: 650.365.0670
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DRAWING CONTENT
BEST MANAGEMENT PRACTICES



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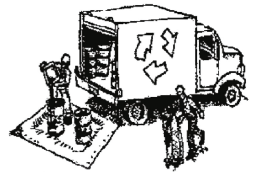


SAN MATEO COUNTYWIDE
Water Pollution Prevention Program
Clean Water. Healthy Community.

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



- Non-Hazardous Materials**
- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
 - Use (but don't overuse) reclaimed water for dust control.
- Hazardous Materials**
- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
 - Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
 - Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
 - Arrange for appropriate disposal of all hazardous wastes.
- Waste Management**
- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
 - Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
 - Clean or replace portable toilets, and inspect them frequently for leaks and spills.
 - Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
 - Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.
- Construction Entrances and Perimeter**
- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
 - Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



- Maintenance and Parking**
- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
 - Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
 - If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
 - If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
 - Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.
- Spill Prevention and Control**
- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
 - Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
 - Clean up spills or leaks immediately and dispose of cleanup materials properly.
 - Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
 - Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
 - Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
 - Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- Schedule grading and excavation work during dry weather.
 - Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
 - Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
 - Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
 - Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.
- Contaminated Soils**
- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells.
 - Buried barrels, debris, or trash.

Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
 - Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
 - Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
 - Do not use water to wash down fresh asphalt concrete pavement.
- Sawcutting & Asphalt/Concrete Removal**
- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
 - Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!)
 - If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



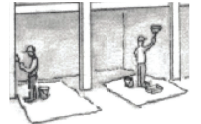
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of at garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



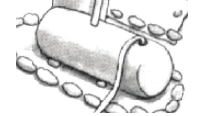
- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

Painting & Paint Removal



- Painting Cleanup and Removal**
- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
 - For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
 - For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
 - Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
 - Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering

















- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!

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DRAWING NAME: K:\2018\180606_250_MJ.dwg | PLOT DATE: 03/21/19 | PLOT BY: baw | SHEET NO: 05 OF 05 | PROJECT: 180606 | SCALE: AS NOTED | DATE: 03/21/19

LAYOUT LEGEND

	Pedestrian/Vehicular Concrete	E.J.	Expansion Joint
	Ground Cover/Planting Area	S.A.D.	See Architect's Drawings
	Pedestrian/Vehicular Accent Paving - See Layout Plan	S.C.D.	See Civil Engineer's Drawings
	Detail Number Sheet Number	S.E.D.	See Electrical Engineer's Drawings
	Property Line	S.M.D.	See Mechanical Engineer's Drawings
	Center Line	S.P.D.	See Plumbing Engineer's Drawings
	Align	S.C.F.S.	See Color and Finish Schedule
	Parking Lot Pole Light. S.E.D. See Color and Finish Schedule		Utility Boxes S.C.D.
			Below grade utilities as noted. S.C.D.
			Planter Pots. See Color and Finish Schedule
			Bicycle Rack. See Color and Finish Schedule
			Wall Light. S.E.D. See Color and Finish Schedule
			Fire Hydrant S.C.D.



LIGHTING NOTES

- Exterior Landscape and Streetscape lighting shall utilize fixtures with low cut-off angles, appropriately positioned to minimize glare into dwelling units and light pollution into the night sky.
- Light fixtures and lamps shall be energy-efficient and color balanced to provide high quality comfortable and secure lighting to provide safe pedestrian and auto circulation. LED fixtures will be used to provide low energy use, high performance, low glare and an attractive site lighting experience.

LAYOUT NOTES

- The Contractor shall verify all distances and dimensions in the field and bring any discrepancies to the attention of the Landscape Architect for a decision before proceeding with the work.
- Contractor to take all necessary precautions to protect buildings and waterproof membranes from damage. Any damage caused by the Contractor or the Contractor's representatives during their activities shall be repaired at no cost to the Owner.
- All written dimensions supersede all scaled distances and dimensions. Dimensions shown are from the face of building wall, face of curb, edge of walk, property line, or centerline of column unless otherwise noted on the drawings.
- Walk scoring, expansion joints and paving shall be located as indicated on the Layout Plans, Landscape Construction Details, or as field adjusted under the direction of the Landscape Architects.
- All building information is based on drawings prepared by:
Hayes Group Architects, Inc.
2657 Spring Street
Redwood City, CA 94063
650.365.0600
- All site civil information is based on drawings prepared by:
BKF Engineers
1730 N. First Street, Suite 600
San Jose, CA 95112
408.467.9100
- The Contractor is to verify location of all on-site utilities before commencing with the work. The Contractor shall be responsible for the repair of any damage to utilities caused by the activities of the Contractor or the Contractor's representatives. Any utilities shown on Landscape Drawings are for reference and coordination purposes only.
- Protect all existing construction from damage. The Contractor shall be responsible for the repair of any damage to existing construction caused by the activities of the Contractor or the Contractor's representatives.
- Expansion joints shall be located no less than 16' o.c. nor greater than 20' o.c. and/or as indicated on the Layout Plans, Landscape Construction Details, or as field adjusted under the direction of the Landscape Architect.

CONCEPTUAL COLOR AND FINISH SCHEDULE

	PEDESTRIAN CONCRETE PAVING Type 1 Concrete color to match existing concrete paving on site.
	ACCENT PAVING Type 1 Tile Paving by Arto Brick - to match existing accent tile paving in courtyard.

TILE BAND ON STAIR TREADS
Model and pattern to match existing stair tile band detail on site. See L1.3 Imagery Sheet.


RAMP AND STAIRS METAL HANDRAILS
Model and design to match existing metal handrail detail on site. See L1.3 Imagery Sheet.

BIKE RACK
Model: Ring Bike Rack, By Landscape Forms, 800.430.6209 www.landscapeforms.com
Finish: Stainless Steel Qty: 3 (6 bike parking spaces)

BIKE LOCKER
Relocate and re-use existing bike lockers on site . Qty: 3 + 1(new) - (8 total bike parking spaces)
New bike locker to match existing.

LIGHTING FIXTURES

 Parking Lot Pole Light Fixture - by Hess America
Model: Novara S. Single and Double head fixture configuration.
 Color: Standard Metallic Silver Grey.

 Bellard Light: See Electrical Drawings.
902 Curved Shade (CS) series fixture by Cooper Lighting. Fixture:
902-CS-CFL/1-227V-NBZ-NBZ-36. Post, Collar, and Shade Finish to be Natural Bronze.

IRRIGATION NOTES

- All planting areas are to be irrigated with an approved automatic underground irrigation system, utilizing a dedicated irrigation water meter, backflow devices, point source irrigation emitters, in accordance with the City of Menlo Park Landscape Outdoor Water Use Efficiency Checklist. Potable irrigation water will be delivered by drip irrigation devices. The system shall be designed to make efficient use of water through conservation techniques, and be in compliance with resolution 6281, as required by the State of California.
- An application and detailed landscape irrigation plan will be submitted with the building permit submittal package. All planting and irrigation will be in compliance with the city's Water Efficient Landscape Ordinance.
- Irrigation Controllers shall use weather sensing technology to automatically adjust the irrigation system operation in response to real-time landscape planting demands and daily changes in weather conditions.
- Irrigation Valves shall be aligned with planting types, sun exposure and soil conditions to allow for efficient use of irrigation water in accordance with plant material irrigation requirements, as reflected in the Hydrozone requirements.
- Landscape Trees, Shrubs, Groundcovers have been selected to include Native California Plants, and Mediterranean Climate drought tolerant plant species for the project.
- Landscape and Irrigation Plans, with a Project Compliance Checklist, will be submitted with the Building Permit Application, which will document the landscape and planting design specifications in compliance with the City Ordinances.
- The final construction documents will provide the contractor with an understanding of the design intent for the maintenance of the planting areas regarding care and pruning of the site. The maintenance contractor shall furnish all labor, equipments, materials and supervision required to properly maintain the landscaped areas in an attractive condition and as described in the project maintenance specifications.

LANDSCAPE ORDINANCE COMPLIANCE STATEMENT

I have complied with the criteria of the Water Conservation in Landscaping Ordinance and have applied them for the efficient use of water in the Landscape and Irrigation Design Plan.


Gary D. Laymon
Landscape Architect
License #2397

SHEET INDEX

L-1.1	General Notes and Legend
L-1.2	Planting Notes and Legend
L-1.3	Landscape Imagery
L-2.1	Conceptual Landscape Layout Plan
L-3.1	Tree Disposition Plan
L-4.1	Conceptual Planting Plan
L-5.1	Irrigation Zone Diagram
L-6.1	Schematic Design Details









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2657 SPRING STREET
REDWOOD CITY, CA 94063
P: 650.365.0600
F: 650.365.0670
www.thehayesgroup.com

THE GUZZARDO PARTNERSHIP INC.
Landscape Architects - Land Planners
181 Greenwold Street
San Francisco, CA 94111
T: 415 433 6272
F: 415 433 5003

PROJECT ADDRESS:
250 MIDDLEFIELD ROAD
MENLO PARK CA 94025

ISSUANCE:
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DRAWING CONTENT
General Notes and Legend



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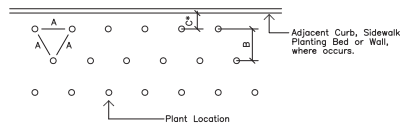
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PLANTING NOTES

THE FOLLOWING SIX (6) NOTES ARE FOR BIDDING PURPOSES ONLY

- The contractor is required to submit plant quantities and unit prices for all plant materials as a part of the bid.
- Assume 15 gallon plant for any unlabelled or un-sized tree; 5 gallon plant for any unlabelled or un-sized shrub; and 4" pots @ 12" o.c. (not flats) for any unlabelled ground cover. All planting beds, are to receive ground cover plant installation in addition to the shrubs and trees shown on the plans.
- The planting areas shall be ripped to a depth of 8" to reduce compaction. The native subgrade soil shall be treated with 100 lbs of gypsum/1000 sf and leached to improve drainage and reduce the soil surface barrier. Contractor shall coordinate this work with other trades. This is subject to the final recommendations of the soils test (see below) and review by the Landscape Architect and the Owner.
- All planting areas are to receive Super Humus Compost by BFI (408.945.2844; www.bfi.com) at the rate of 6 cubic yards/1000 square feet, evenly tilled 6" deep into the soil to finish grade. All planting areas shall have 6-20-20 Commercial Fertilizer at 25lbs/1000 square feet evenly distributed into the soil. This is subject to the final recommendations and review of the soils test (see below) by the Landscape Architect and the Owner.
- Planting pits are to be backfilled with a mixture of 50% native soil and 50% amended native soil.
- The General Contractor is to provide an agricultural/suitabilities analysis for on-site rough graded soil and any imported topsoil. Recommendations for amendments contained in this analysis are to be carried out before planting occurs. Such changes are to be accompanied by equitable adjustments in the contract price if/when necessary. See specifications for testing procedure.
- All work shall be performed by persons familiar with planting work and under supervision of a qualified planting foreman.
- Plant material locations shown are diagrammatic and may be subject to change in the field by the Landscape Architect before the maintenance period begins.
- All trees are to be staked as shown in the staking diagrams.
- All street trees to be installed in accordance with the standards and specifications of the City of Menlo Park. Contractor to verify tree species/cultivar specification(s) with City Arborist (or designated municipal authority) prior to acquisition and installation of all street trees. Contractor to obtain written, signed documentation from the City Arborist (or designated municipal authority) confirming the species/cultivar specification(s) to be installed including installation size and installation detailing.
- Plant locations are to be adjusted in the field as necessary to screen utilities but not to block windows nor impede access. The Landscape Architect reserves the right to make minor adjustments in tree locations after planting at no cost to the Owner. All planting located adjacent to signs shall be field adjusted so as not to interfere with visibility of the signs.
- The Landscape Architect reserves the right to make substitutions, additions, and deletions in the planting schedule as approved while work is in progress. Such changes are to be accompanied by equitable adjustments in the contract price if/when necessary and subject to the Owner's approval.
- All planting areas, shall be top-dressed with a 3" layer of recycled wood mulch, "Prochips" by BFI (408.888.7632; www.bfi.com) or equal. This shall include all pre-cast planter pots. Mulch shall be Brown in color. Submit sample to Landscape Architect for review prior to ordering. Hold all mulch six (6) inches from all plants where mulch is applied over the rootball.
- All street trees to be installed in accordance with the standards and specifications of the City of Menlo Park, California.
- Trees shall be planted to anticipate settlement.
- Plant material requiring iron supplements shall have chelated iron foliar feeding applications per manufacturer's specifications. See specifications for materials.
- All trees noted with 'deep root' and those planted within 5'-0" of concrete paving, curbs, and walls shall have deep root barriers installed per manufacturer's specifications. See specifications for materials.
- Ground cover shall be planted as shown on the plan, including under shrubs and in tree watering basins.
- The Landscape Contractor shall arrange with a nursery to secure plant material noted on the drawings and have those plants available for review by the Owner and Landscape Architect within thirty (30) days of award of contract. The Contractor shall purchase the material and have it segregated and grown for the job upon approval of the plant material. The deposit necessary for such contract growing is to be born by the Contractor.
- The project has been designed to make efficient use of water through the use of drought tolerant plant materials. Deep rooting shall be encouraged by deep watering plant material as a part of normal landscape maintenance. The irrigation for all planting shall be limited to the amount required to maintain adequate plant health and growth. Water usage should be decreased as plants mature and become established. The irrigation controllers shall be adjusted as necessary to reflect changes in weather and plant requirements.
- The Landscape Contractor shall verify the location of underground utilities and bring any conflicts with plant material locations to the attention of the Landscape Architect for a decision before proceeding with the work. Any utilities shown on the Landscape drawings are for reference and coordination purposes only. See Civil Drawings.
- The design intent of the planting plan is to establish an immediate and attractive mature landscape appearance. Future plant growth will necessitate trimming, shaping and, in some cases, removal of trees and shrubs as an on-going maintenance procedure.

PLANT SPACING DIAGRAM



PLANT CALLOUT SYMBOL



PLANT QUANTITY DIAGRAM

SPACING 'A'	SPACING 'B'	SPACING 'C'	NO. OF PLANTS/SQUARE FOOT
6" O.C.	5.20"	3.60"	4.60
8" O.C.	6.93"	3.47"	2.80
9" O.C.	7.79"	3.90"	1.79
10" O.C.	8.66"	4.33"	1.66
12" O.C.	10.40"	5.20"	1.15
15" O.C.	13.00"	6.50"	0.74
18" O.C.	15.60"	7.80"	0.51
24" O.C.	20.80"	10.40"	0.29
30" O.C.	26.00"	13.00"	0.18
36" O.C.	30.00"	15.00"	0.12
48" O.C.	40.00"	20.00"	0.07
72" O.C.	62.35"	31.18"	0.04

See Plant Spacing Diagram for maximum triangular spacing 'A'. This chart is to be used to determine number of ground cover plants in a given area and spacing between shrub massings. Where shrub massings are shown, calculate shrub mass areas before utilizing spacing chart to determine plant quantities.

* Where curb, sidewalk, adjacent planting bed or wall condition occurs, utilize spacing 'C' to determine plant distance from wall, sidewalk, adjacent planting bed or stock of curb, where C=1/2 B.

LANDSCAPE ORDINANCE COMPLIANCE STATEMENT

I have complied with the criteria of the Water Conservation in Landscaping Ordinance and have applied them for the efficient use of water in the Landscape and Irrigation Design Plan.

Gary D. Laymon
Gary D. Laymon
Landscape Architect
License #2397

PLANT PALETTE

KEY	SIZE	BOTANICAL NAME	COMMON NAME	COMMENTS	WUCOLS
CER CAN	15 gal	Cercia canadensis	Eastern Redbud	multi-trunk	Medium
FRA RAY	24" box	Fraxinus oxycarpa 'Raywood'	Raywood Ash	standard	Medium
PLA ACE	36" box	Platanus acerifolia 'Columba'	London Plane Tree	standard	Medium
OLE SWA	24" box	Olea europaea 'Swan Hill'	Swan Hill Frutless Olive	multi-trunk	Very Low
MAG SOU	24" box	Magnolia x soulangeana	Chinese Magnolia	standard	Medium

SHRUBS

KEY	SIZE	BOTANICAL NAME	COMMON NAME	COMMENTS	WUCOLS
ARC	5 gal	Arctostaphylos 'Pacific Mist'	Pacific Mist Manzanita	60" o.c.	Low
CLI	5 gal	Clivia miniata	Orange Clivia	24" o.c.	Low
DIE	5 gal	Diets bicolor	Fortnight Lily	36" o.c.	Low
HEU	1 gal	Heuchera 'Santa Ana Cardinal'	Santa Ana Cardinal Coral Bell	24" o.c.	Medium
JUN	5 gal	Juncus patens 'Elk Blue'	California Grey Rush	24" o.c.	Low
LAV	5 gal	Lavendula angustifolia 'Hidcote'	English Lavender	24" o.c.	Low
LEY	5 gal	Leymus condensatus 'Canyon Prince'	Canyon Prince Wild Rye	36" o.c.	Very Low
LDM	5 gal	Lomandra longifolia 'Sea Breeze'	Dwarf Mat Rush	36" o.c.	Low
MUH	5 gal	Muhlenbergia capillaris 'Pink'	Pink Muhly Grass	48" o.c.	Low
MUR	5 gal	Muhlenbergia rigens	Deer Grass	48" o.c.	Low
PHO	5 gal	Phormium 'Rainbow Queen'	Rainbow Queen Flax	36" o.c.	Low
PIT	5 gal	Pittosporum tobira 'Variegata'	Variiegated Mock Orange	48" o.c.	Low
RHA	5 gal	Rhamnus californica 'Eve Case'	California Coffeeberry	60" o.c.	Low
SAM	5 gal	Salvia leucantha 'Mintgini'	Purple Mexican Sage	36" o.c.	Low
STR	15gal	Streitizia nicotai	Giant Birds of Paradise		Medium

Notes:
All planted areas are to be watered with an approved automatic underground irrigation system. The system shall be designed to make efficient use of water through conservation techniques, and to be in compliance with the State and Water District's water conservation ordinance.

WUCOLS value (Water Use Classification of Landscape Species) per WUCOLS N, 2014 edition

OUTDOOR WATER USE EFFICIENCY CHECKLIST		Compliance
1. Plant Material	Plant material shall be drought-tolerant and low-water-use plants. Compliance: Yes	Y
2. Deep Rooting	Deep root barriers shall be installed for all plant material planted within 5 feet of concrete paving, curbs, and walls. Compliance: No	N
3. Mulching	Plant material shall be mulched with a minimum of 3 inches of mulch. Compliance: Yes	Y
4. Soil Preparation	Soil shall be amended with gypsum and fertilizer. Compliance: Yes	Y
5. Irrigation System	Irrigation system shall be installed. Compliance: Yes	Y
6. Water Conservation	Water conservation measures shall be implemented. Compliance: Yes	Y

OUTDOOR WATER USE EFFICIENCY CHECKLIST		Compliance
7. Plant Material	Plant material shall be drought-tolerant and low-water-use plants. Compliance: Yes	Y
8. Deep Rooting	Deep root barriers shall be installed for all plant material planted within 5 feet of concrete paving, curbs, and walls. Compliance: No	N
9. Mulching	Plant material shall be mulched with a minimum of 3 inches of mulch. Compliance: Yes	Y
10. Soil Preparation	Soil shall be amended with gypsum and fertilizer. Compliance: Yes	Y
11. Irrigation System	Irrigation system shall be installed. Compliance: Yes	Y
12. Water Conservation	Water conservation measures shall be implemented. Compliance: Yes	Y

WATER BUDGET CALCULATION FORM

Item	Area (sq ft)	WUCOLS	Water Use (gallons)
Total Irrigation Area	6,337		21,276
Deep Rooted Area	0		0
Final Water Budget			21,276

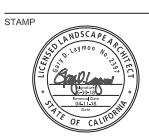
HAYES GROUP ARCHITECTS
THE GUZZARDO PARTNERSHIP INC.
181 Greenwold Street
San Francisco, CA 94111
F 415.433.6272
F 415.433.5003

PROJECT ADDRESS:
250 MIDDLEFIELD ROAD
MENLO PARK CA 94025

ISSUANCE:
PLANNING RESPONSE 03.21.19

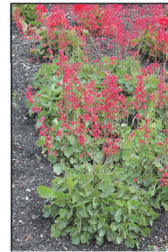
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- PLANNING RESPONSE

DRAWING CONTENT
Planting Notes and Legend



JOB NUMBER:
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DATE:

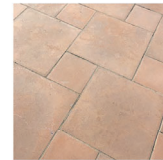
L1.2



New colored concrete paving to match existing concrete paving in courtyard



New steps tiles and handrail detail to match existing



New tile pavers in courtyard to match existing



Existing bike lockers to be relocated and reuse



Landscape bollard lights- by Hess America - Single and Double configuration Model: Novara S



Parking lot pole mounted lights by Hess America - Single and Double configuration Model: Novara S



Ring Bike Rack by Landscape Forms

HAYES GROUP ARCHITECTS

HAYES GROUP ARCHITECTS, INC. 2857 SPRING STREET REDWOOD CITY, CA 94063 P: 650.365.0800 F: 650.365.0870 www.thehayesgroup.com

THE GUZZARDO PARTNERSHIP INC. Landscape Architects - Land Planners 181 Greenwold Street San Francisco, CA 94111 T: 415.433.4652 F: 415.433.5903

PROJECT ADDRESS: 250 MIDDLEFIELD ROAD MENLO PARK CA 94025

ISSUANCE: PLANNING SUBMISSION 5.10.18 PLANNING RESUBMITTAL 10.30.18 PLANNING RESPONSE 01.07.19 PLANNING RESPONSE 03.21.19

- SHEET REVISIONS: PLANNING RESUBMITTAL, PLANNING RESPONSE, and three empty revision symbols.

DRAWING CONTENT Landscape Imagery



JOB NUMBER:

SCALE: As Noted DRAWN BY: ML

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L1.3

LANDSCAPE ORDINANCE COMPLIANCE STATEMENT

I have complied with the criteria of the Water Conservation in Landscaping Ordinance and have applied them for the efficient use of water in the Landscape and Irrigation Design Plan.

Gary D. Laymon
Landscape Architect
License #2397

HAYES GROUP ARCHITECTS, INC.
2637 SPRING STREET
REDWOOD CITY, CA 94063
P: 650.365.0800
F: 650.365.0870
www.thehayesgroup.com

THE GUZZARDO PARTNERSHIP INC.
Landscape Architects - Land Planners
181 Greenwold Street
San Francisco, CA 94111
T: 415.433.6272
F: 415.433.5003

PROJECT ADDRESS:
250 MIDDLEFIELD ROAD
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ISSUANCE:
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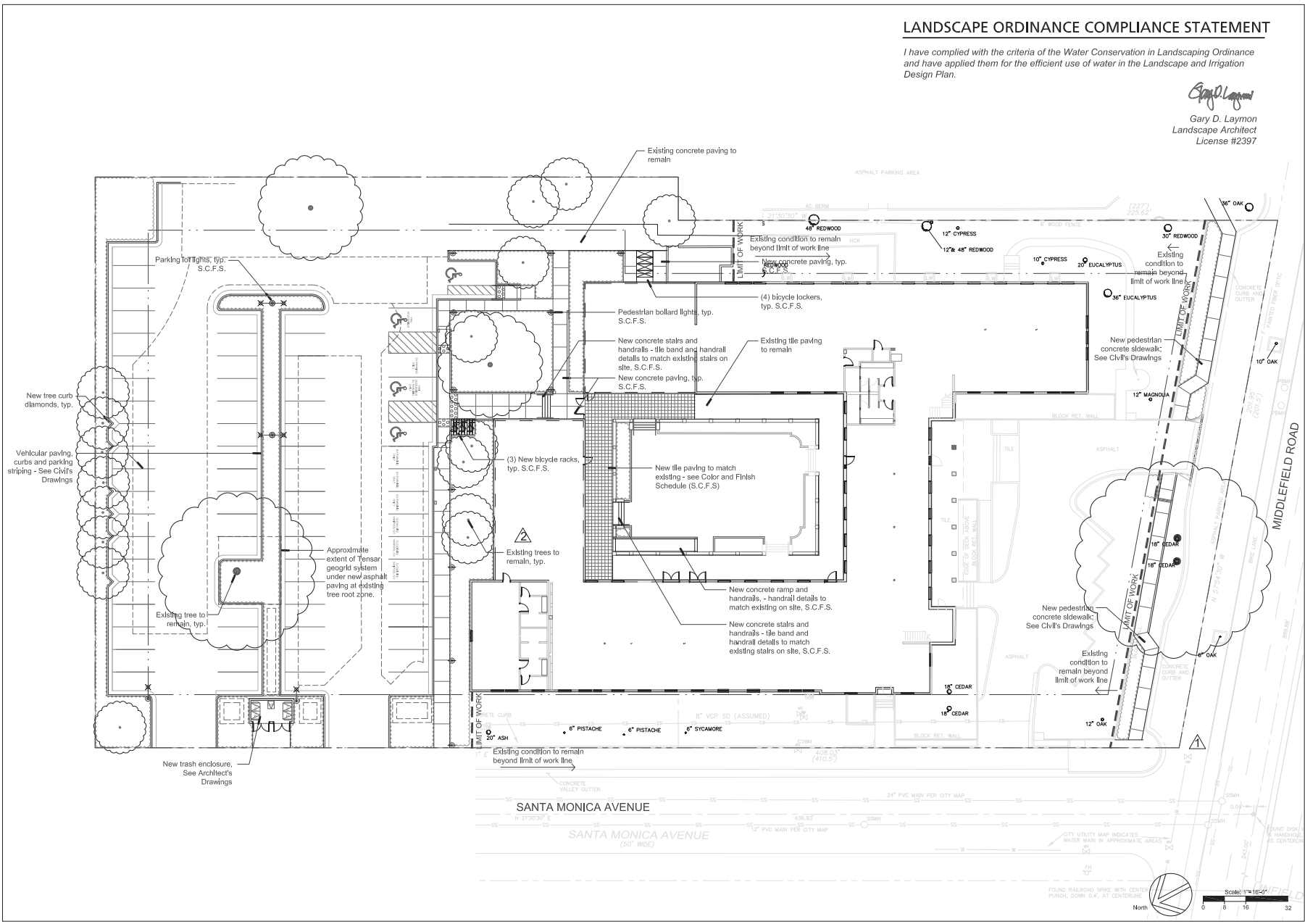
- SHEET REVISIONS
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DRAWING CONTENT
Conceptual Landscape Layout Plan



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L2.1



Tree Disposition Plan Notes:

1. See Arborist Report for full tree protection notes.
2. Tree Disposition Plan has been prepared based on topographic survey provided by the Civil Engineers. See Arborist Report prepared by Certified Arborist Alle Strand dated on May 14, 2018 for tree evaluation details.
3. Removal of Heritage Trees requires an application to the City Arborist.

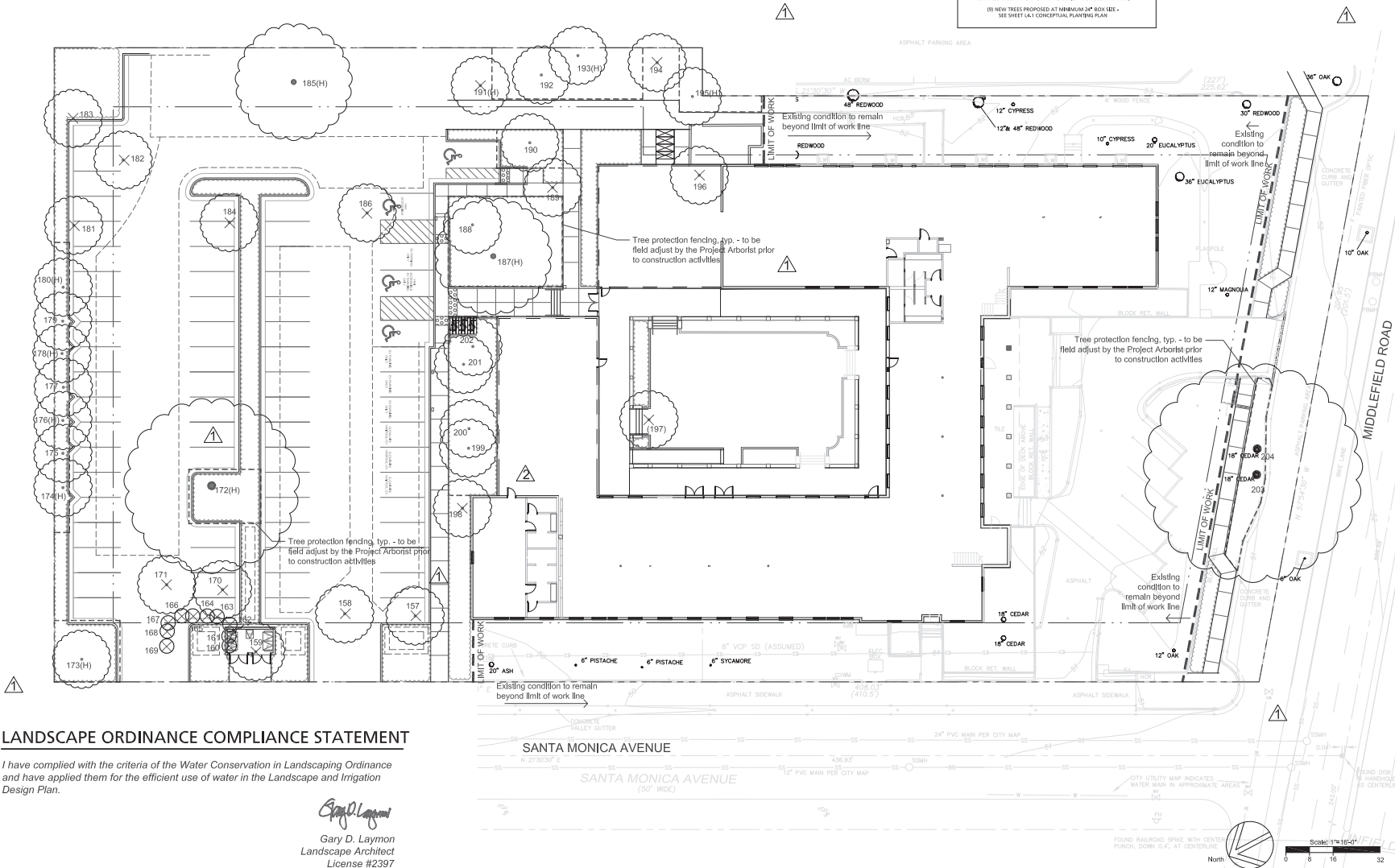
Arborist Tree Protection Notes:

1. Install tree protection fencing prior to any demolition and grading for the purpose of restricting access into unpaved sections of ground within a TPZ throughout construction.
2. Prior to the City Issuing a permit, a letter from Arborist is required confirming fencing has been installed per arborist report.
3. Refer to the Arborist for additional tree protection and general construction management recommendations.

TREE DISPOSITION LEGEND

KEY	DESCRIPTION	QUANTITY	KEY	DESCRIPTION	QUANTITY
	EXISTING TREE TO REMAIN (within project scope)	22		EXISTING TREES TO BE REMOVED (within project scope)	26
	EXISTING HERITAGE TREE TO REMAIN (within project scope)	10		HERITAGE TREES TO BE REMOVED (within project scope)	1

HERITAGE TREE MITIGATION RATES 24" DIA* 20K-120K \$PRING/AN
 10" NEW TREES PROPOSED AT MINIMUM 20" BOX SIDE -
 SEE SHEET L4.1 CONCEPTUAL PLANNING PLAN



LANDSCAPE ORDINANCE COMPLIANCE STATEMENT

I have complied with the criteria of the Water Conservation in Landscaping Ordinance and have applied them for the efficient use of water in the Landscape and Irrigation Design Plan.

Gary D. Laymon
 Gary D. Laymon
 Landscape Architect
 License #2397

HAYES GROUP ARCHITECTS
 HAYES GROUP ARCHITECTS, INC.
 2637 SPRING STREET
 REDWOOD CITY, CA 94063
 P: 650.365.0800
 F: 650.365.0870
 www.thehayesgroup.com

THE GUZZARDO PARTNERSHIP INC.
 Landscape Architects - Land Planners
 181 Greenwold Street
 San Francisco, CA 94111
 T: 415 433 4672
 F: 415 433 5003

PROJECT ADDRESS:
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DRAWING CONTENT
 Tree Disposition Plan



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L3.1

LANDSCAPE ORDINANCE COMPLIANCE STATEMENT

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Gary D. Laymon
Landscape Architect
License #2397



HAYES GROUP ARCHITECTS, INC.
2637 SPRING STREET
REDWOOD CITY, CA 94063
P: 650.365.0800
F: 650.365.0870
www.thehayesgroup.com

THE GUZZARDO PARTNERSHIP INC.
Landscape Architects - Land Planners
181 Greenleaf Street
San Francisco, CA 94111
T: 415.433.6272
F: 415.433.5003

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ISSUANCE:
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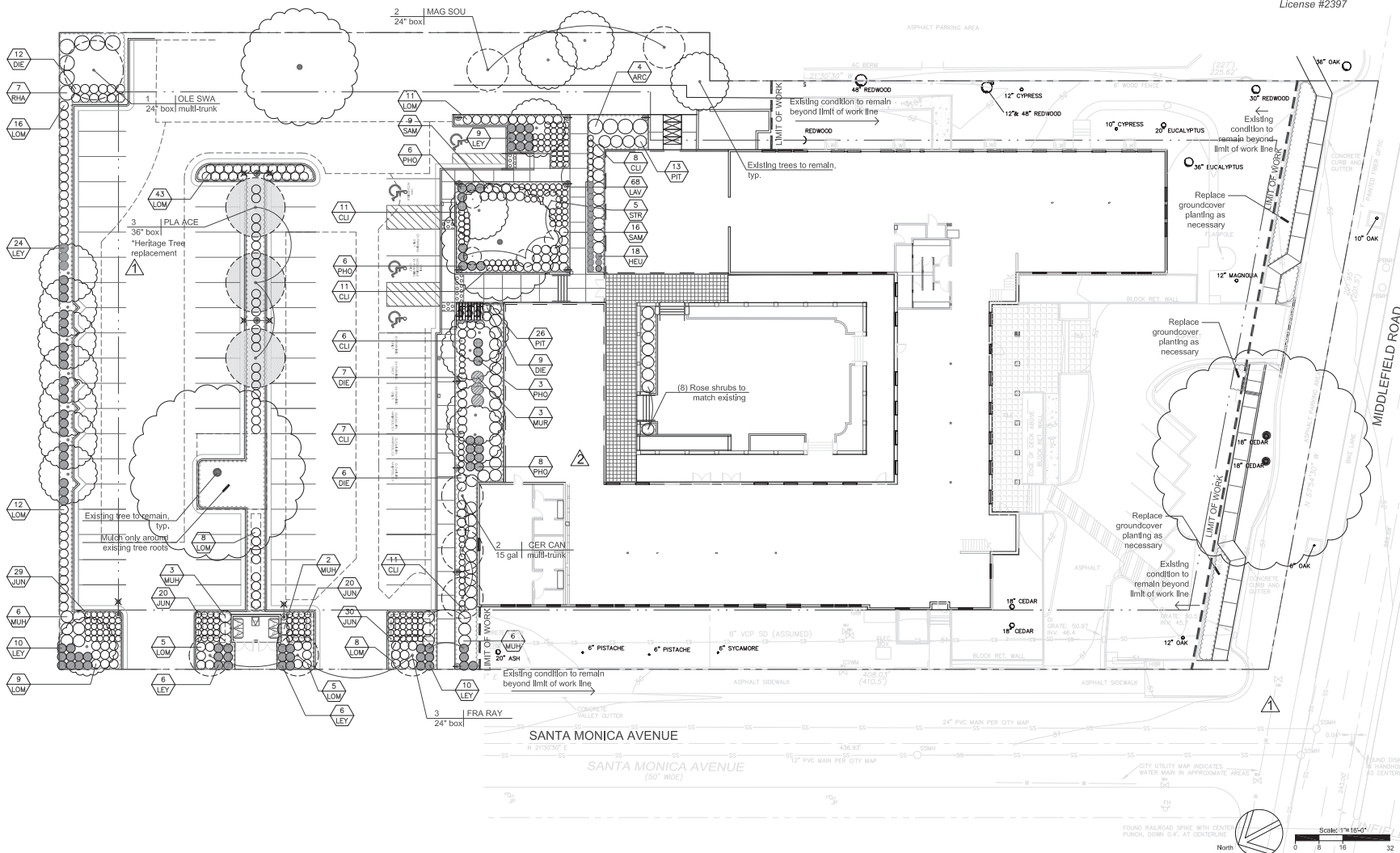
- SHEET REVISIONS
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DRAWING CONTENT
Conceptual Planting Plan



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L4.1





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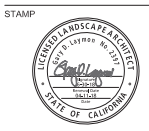
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Landscape Architects - Land Planners
181 Greenleaf Street
San Francisco, CA 94111
T: 415.433.6272
F: 415.433.5003

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DRAWING CONTENT
Irrigation Zone Diagram

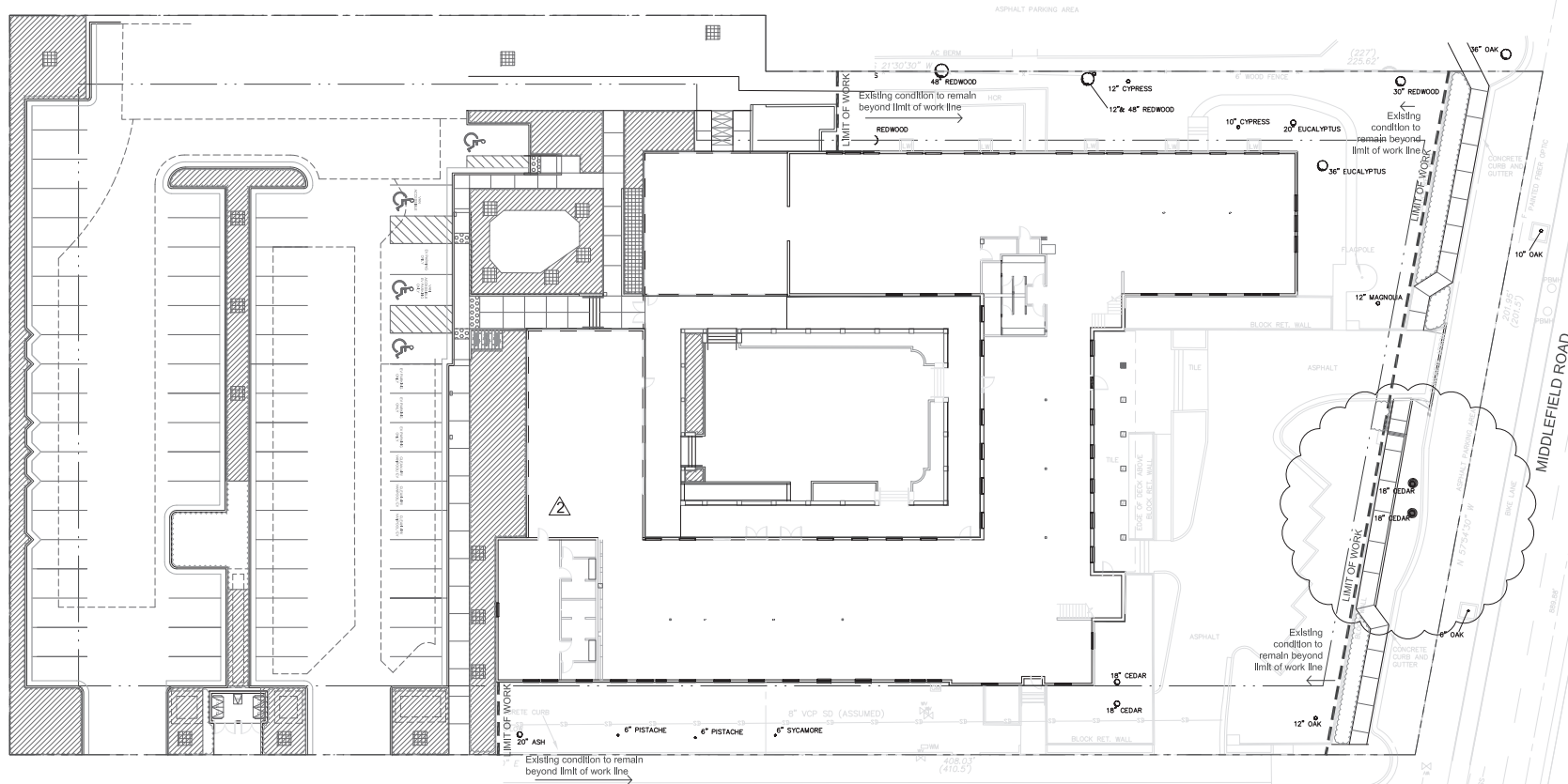


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L5.1

Water Use Legend:

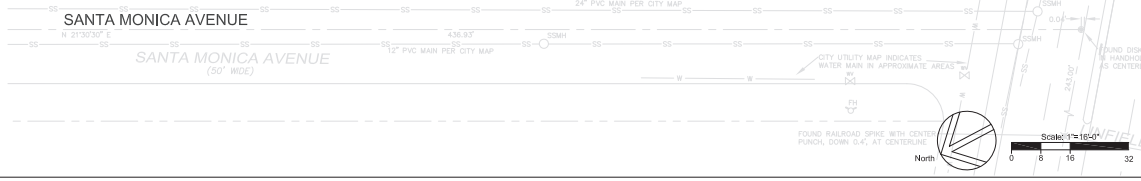
	Low Water Use: 6119 SF
	Medium Water Use: 438 SF
Total Irrigated Area: 6557SF	



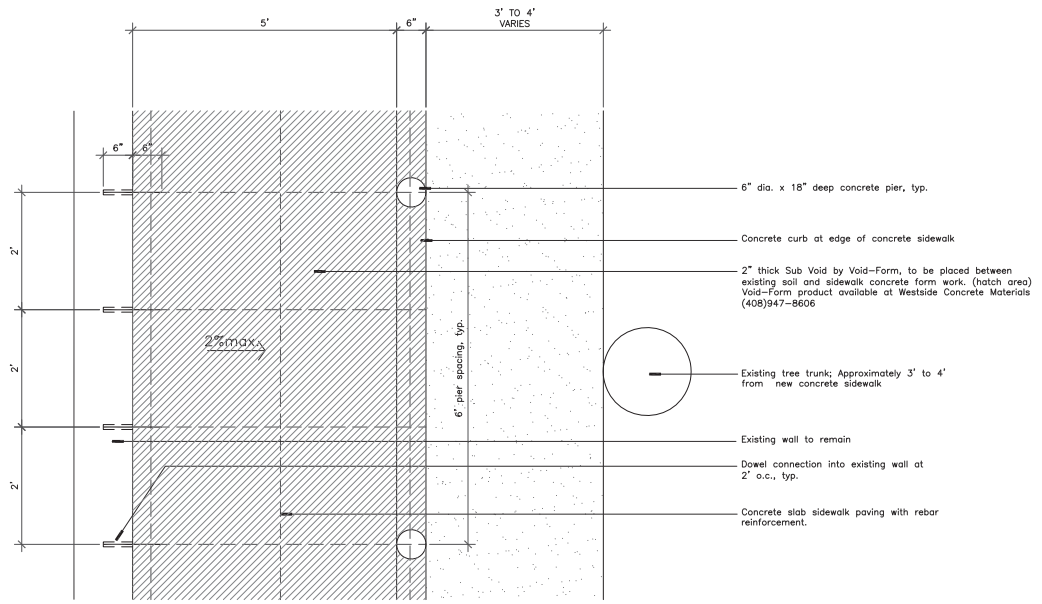
LANDSCAPE ORDINANCE COMPLIANCE STATEMENT

I have complied with the criteria of the Water Conservation in Landscaping Ordinance and have applied them for the efficient use of water in the Landscape and Irrigation Design Plan.

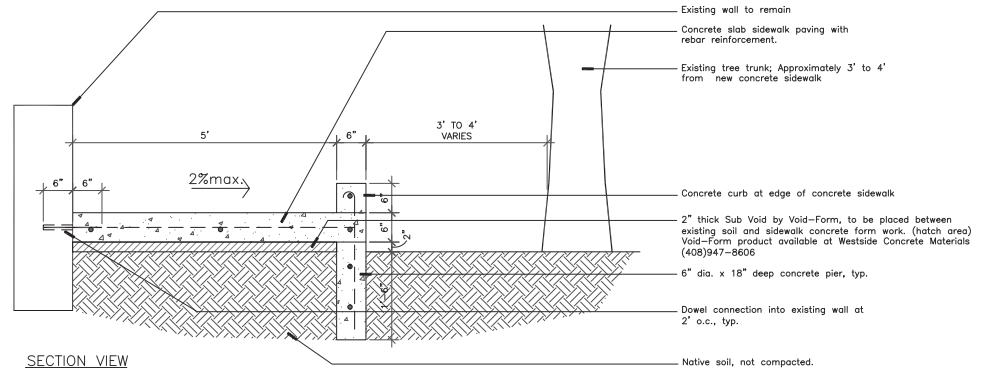
Gary D. Layman
Gary D. Layman
Landscape Architect
License #2397



Scale: 1"=165'
0 5 10 15 20 25 30 35 40 45 50
North



PLAN VIEW



SECTION VIEW

1 Pedestrian Concrete Sidewalk at Existing Trees
Scale: 1" = 1'-0"



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HAYES GROUP ARCHITECTS, INC.
2637 SPRING STREET
REDWOOD CITY, CA 94063
P: 650.365.0800
F: 650.365.0870
www.thehayesgroup.com

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Landscape Architects - Land Planners
181 Greenwold Street
San Francisco, CA 94111
T: 415.433.6272
F: 415.433.5003

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Schematic Design
Details



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L6.1



April 22, 2019

City of Menlo Park
Planning Division
701 Laurel Street
Menlo Park, CA 94025

RE: 250 Middlefield Rd. DRT – Project Description

To Planning and DRT Staff:

Attached is Hayes Group Architect's submission for 250 Middlefield Rd for planning review. The project applicant is Hayes Group Architects on behalf of King Asset Management. This package includes proposed site plan, floor plans, elevations, and perspectives.

1. EXISTING CONDITIONS

The site is located on the southern corner of Middlefield Rd. and Santa Monica Avenue. A two-story building comprising 20,439 SF of professional office space currently occupies the site. On grade parking is provided both in front of and behind the building. There is a total of 70 parking spaces serving the existing building at a ratio of 3.37/1000 SF.

A trash and recycling facility was added to the property in 2007 when the building was renovated.

2. PROPOSED PROJECT

The proposal is to add 3,853 SF onto the existing building within the FAR limits of 26,476 SF. The total area after the addition will be 26,476 SF. Parking for the project is provided by reconfiguring the existing parking in the rear lot. By reconfiguring, there will be a total of 83 parking spaces. The parking ratio will be 3.13/1000 for the entire area of the building, nearly the same as what exists. We are proposing to use the parking reduction for professional office pursuant to zoning code section 16.72.010.

The architectural language of the proposed addition will match the existing Monterey style with plaster walls, metal windows and heavy wood detailing. The one-story addition will complete the enclosure of the rear courtyard.

3. NEIGHBORHOOD OUTREACH

On November 26, 2018, we rented a venue close to the project, for convenience, at 68 Willow Road and invited the neighbors. We sent out notice to the neighboring properties within 300 feet radius from the project. The purpose of this meeting was to have Hayes Group speak more in depth about the project and answer any questions that the neighbors may have. None showed up.

We look forward to meeting the staff at the scheduled DRT meeting so that we can proceed with the development of this project.

Please call me at (650) 365-0699 x15 if you have any questions.

Sincerely,



Ken Hayes, AIA
Principal

CC: King Asset Management



May 15, 2018

Michele T. Morris

Assistant Planner
City of Menlo Park
Community Development Department, Planning Division
701 Laurel Street
Menlo Park, CA 94025

SUBJECT: PARKING REDUCTION REQUEST

Dear Ms. Morris,

This letter shall serve as our request for a parking reduction in accordance with the provisions of Menlo Park's Zoning Ordinance Section 16.72.010, which allows for requests to reduce the amount of required parking for a particular use through an administrative permit. In considering such requests, the guidelines contained in this policy should be used.

In accordance with the ordinance, the following factors should be considered in approving a request to provide less parking than required by the zoning district:

- Primary use of the building;
- Unique physical features of the building;
- Estimates of number of employees and customers;
- Transportation demand management measures;
- Hours of operation;
- Shared parking arrangements;
- Availability of on-street parking;
- Surrounding land uses; and
- Proximity to residential neighborhoods.

The primary use of the proposed building is professional office. We plan to expand the building by 4,404 SF by utilizing the 1/300 SF parking reduction and reconfiguring the parking lot layout.

It is difficult to estimate the number of employees; however, based on the current and future use as a private equity office use, the demand on parking will not be high. These businesses typically occupy at rates below 3 persons/ 1,000 SF. At 3/1,000 occupancy rate, the 24,900 SF building would yield 75 occupants, well below the 83 spaces provided. By observation, many of the office buildings along Middlefield Road to the north and Willow Road to the west are leased to similar companies and the parking facilities are underutilized at a ratio of 1 space per 300 SF of building area. Office hours of operation are expected to be normal business hours of 8 AM to 6 PM Monday through Friday.



Selected TDM project measures were assessed using the City/County Association of Governments (C/CAG) peak-hour trip credit accounting criteria. TDM measures included long and short-term bicycle parking facilities, on-site showers, guaranteed ride home program, a commuter kiosk and participation with Commute.org's TMA-like programs. The C/CAG peak-hour trip credit accounting determined that project TDM measures will meet the mitigation requirements for all 76 peak-hour trips. This is a fairly robust TDM plan.

Based on the above analysis, we seek a reduction in the required parking from 6/1,000 SF or 150 spaces to 83 spaces or 3.33/1,000 SF which results in a ratio within your guidelines of 1 space/300 SF.

Please review the attached application and let me know if you need additional information or have any questions.

Sincerely,

A handwritten signature in black ink, appearing to read "Ken Hayes".

Ken Hayes, AIA
President



250 Middlefield Road, Menlo Park, CA 94025

T +1 650 614 8200

TCV.com

ATTACHMENT G

Kaitie M. Meador

Associate Planner
City Hall - 1st Floor
701 Laurel St.
Tel. 650-330-6731

To The City of Menlo Park,

For more than 20 years, TCV has helped build industry-leading companies by creating long-term relationships with CEOs and founders of businesses that have achieved product-market fit and are ready to scale. We seek out and provide exceptional leaders of private and public technology companies with growth capital, industry expertise, and support in scaling their businesses and executing on their visions. We are experienced investors and board members, who have helped hundreds of entrepreneurs optimize their go-to-market strategies, build out their teams, facilitate international expansions, manage acquisitions, or prepare for an IPO. We recognize that every company is unique, so we match our financing to each company's specific situation and strategy. We typically invest at inflection points, often expanding our position as other investors exit.

We align with the strategy and goals of the entrepreneurs we partner with and deliver the right balance of industry experience, market expertise, and level-headed judgment, along with trust in their abilities and long-term support of their visions. Our equity investments include minority, buyout and public deal constructs. We have offices in Silicon Valley, New York, and London and pride ourselves in connecting our portfolio companies with leaders whose hard-won knowledge is priceless. Integrity and trust are core to partnerships we create and decisions we make. We look to invest in companies and teams at pivotal moments. And we hold our stake over the long term, often expanding our position as other investors exit. At TCV, our goal is to transform companies into the industry leaders that will shape the future.

We currently have 56 people in our Menlo Park Office and have approximately 10+ guests per day. We provide free annual Caltrain passes for all permanent employees and a shuttle to and from the train station daily. Employees may also use Uber. We bring in catered lunches Monday through Thursday and catered breakfast on Mondays, as well as for internal meetings. We also have an onsite gym, occasional employee personal trainers and will be commencing yoga sessions for employees soon.

Thanks for your consideration,

Allison "Ali" Walker
Principal, Head of Human Capital

TCV
awalker@tcv.com
+1 650 614 8208 (o)
+1 347 281 2215 (m)

250 Middlefield Road
Menlo Park, CA 94025

The following programmatic measures are designed to enhance the success of the TDM program and, upon implementation; they create the “250 Middlefield Commute Program.” These measures are TDM components that will require tenants, as part of their occupancy agreements, to offer various commuter benefits, promotions, and outreach activities to their employees. Also, an annual survey and monitoring report will verify the performance of trip reduction efforts and goals of the TDM plan.

TENANT PERFORMANCE - TRIP REDUCTION LEASE LANGUAGE

For all commercial tenants, the applicant will draft lease language or side agreements that require the identification of a designated employer contact responsible for compliance and implementation of the TDM program (including offering programs such as offering guaranteed ride home program to employees, annual survey and reporting, and preferential carpool parking).

The applicant will require a tenant to provide one point of contact for implementation of this plan. The tenant/employer designated contact will coordinate closely with the property manager; maintain on-site TDM programs, employee education, and marketing; administer the annual surveys, and provide information continuity for the building owner/landlord and the City of Menlo Park. Features identified in the lease will also include the following TDM components:

- Tenant-driven TDM measures – **required per lease**
 - Participate in the annual employee commute survey
 - Promote the Guaranteed Ride Home program for employees

The lease agreement language may also identify the commercial tenant’s requirement to achieve the required alternative mode-use rate, participate in the annual employee commute survey, and submit the annual report. The building management will be responsible for project-wide tenant performance.

Sample tenant lease language may be worded as follows:

Tenant hereby agrees to designate one of its employees to act as a liaison with the Landlord to facilitate and coordinate such programs as may be required by governmental agencies to reduce the traffic generated by the 250 Middlefield Road project, as required by the City of Menlo Park, as part of conditions of approval and to encourage the use of public transportation and ridesharing, implementing an emergency ride home program, and participating in the annual employee survey.

ANNUAL MONITORING AND REPORTING

Driveway Hose Counts

The project will conduct driveway vehicle trip counts. The driveway counts and resulting data will be submitted to the City’s Chief Transportation Official one year after building occupancy and every year for the following four years. The driveway count survey will determine the effectiveness of proposed

TDM measures as compared to initial targets and, if necessary, modifications to the plan to meet the required performance target.

At a minimum, the monitoring activities shall include driveway tube counts to determine project daily and peak hour vehicle trip generation by methods described in the current edition of the *Trip Generation Manual* published by the Institute of Transportation Engineers (ITE). The report should be compared to the baseline ITE estimated trips to determine if the reduction of peak-hour vehicle trips was achieved. The required peak-hour vehicle trip reduction is seventy-six trips.

Employee Online Commute Survey

A five-day online commute survey will be conducted each year for the first five years to evaluate and ensure the success of the TDM measures from the users' perspective. Feedback from the employee survey can be used to focus TDM marketing and the efforts of the office Commute Coordinator to maintain the project's commitment to reduce vehicle trips at the site. Below is a sample of the survey that questions employees about their typical daily commute activities.

6. How did you GET TO WORK LAST WEEK, (select the primary transportation method you used.) *If you were out of the office, please describe your "typical" weekly commute activity.*

Commute Modes	
Monday	<input type="text"/>
Tuesday	<input type="text"/>
Wednesday	<input type="text"/>
Thursday	<input type="text"/>
Friday	<input type="text"/>

The annual survey will document the alternative transportation modes used by employees.

The employee commute survey (and subsequent surveys) should be conducted in the second or fourth quarter of each year. Below is a sample summary of survey data that would indicate successful trip reduction performance. Using the example below, a 35 percent alternative mode-use rate in a 20-person office would reduce six vehicle trips at the project site. The employee survey would reflect all trips reduced regardless of their peak-hour activities.

Sample Commute Survey Summary of Results

Employee Commute Modes	Percent	Estimated Total Employees	Estimated trips reduced
Drove alone rate	65.00%	13	0
Transit and Shuttle Users	10.00%	2	2
Carpooler (driver or passenger)	10.00%	2	1
Vanpooler	0.00%	0	0
Bicycle	10.00%	2	2
Walker/Pedestrian	0.00%	0	0
Telecommuter	5.00%	1	1
Out of Office/vacation/Sick	0.00%	0	0
Motorcycle/scooter	0.00%	0	0
Alternative transportation mode-use rate	35.0%	20	6

**Tree Inventory of
250 Middlefield Road
Menlo Park, CA 94025**



**Prepared by
Urban Tree Management, Inc.**

April 4, 2019

250 Middlefield Road
Menlo Park, CA 94025

Assignment

It was my assignment to physically inspect trees in the survey area based on a topographic map provided by the client. I was to map, tag and compile data for each tree and write an inventory/survey report documenting my observations and any needed mitigation based on the plans for the site.

Summary

This survey provides a numbered map and complete and detailed information for each tree surveyed. There are 48 trees included in this report. Eleven of the trees are considered to be Heritage trees under Menlo Park’s tree protection regulations. Two of the trees are street trees. One heritage and 2 non-heritage trees are recommended for removal due to health and structural issues.

Contents

All the trees surveyed were examined and then rated based on their individual health and structure according to the table following. For example, a tree may be rated “good” under the health column for excellent/vigorous appearance and growth, while the same tree may be rated “fair/poor” in the structure column if structural mitigation is needed. More complete descriptions of how health and structure are rated can be found under the “Methods” section of this report. The complete list of trees and all relevant information, including their health and structure ratings, their “protected/significant” status, a map and recommendations for their care can be found in the data sheet that accompanies this report.

Rating	Health	Structure
Good	excellent/vigorous	flawless
Fair/good	no significant health concerns	very stable
Fair	showing initial or temporary disease, pests or lack of vitality. measures should be taken to improve health and appearance.	routine maintenance needed such as pruning or end weight reduction as tree grows
Fair/poor	in decline, significant health issues	significant structural weakness(es), mitigation needed, mitigation may or may not preserve the tree
Poor	dead or near dead	hazard

Methods

The trunks of the trees are measured using an arborist's diameter tape at 54" above soil grade. In cases where the main trunk divides below 54", the tree is measured (per Menlo Park specifications) at the point where the trunks divide. In these cases, the height of that measurement is given in the notes column on the attached data sheet. The canopy height and spread are estimated using visual references only.

The condition of each tree is assessed by visual observation only from a standing position without climbing or using aerial equipment. No invasive equipment is used. Consequently, it is possible that individual tree(s) may have internal (or underground) health problems or structural defects, which are not detectable by visual inspection. In cases where it is thought further investigation is warranted, a "full tree risk assessment" is recommended. This assessment may include of drilling or using sonar equipment to detect internal decay and include climbing or the use of aerial equipment to assess higher portions of the tree.

The health of an individual tree is rated based on leaf color and size, canopy density, new shoot growth and the absence or presence of pests or disease. Individual tree structure is rated based on the growth pattern of the tree (including whether it is leaning), the presence or absence of poor limb attachments (such as co-dominant leaders, included bark, etc.), the length and weight of limbs and the extent and location of apparent decay.

Survey Area Observations

The property is located in an area of commercial development. The lot is roughly rectangular and is flat. The existing complex is located in the front ½ of the property closest to Middlefield Road. The complex includes a central courtyard and the survey area includes part of this courtyard in addition to the rear parking area, and street trees along Middlefield Road.

Tree Health

Generally, the trees in the survey area appear to be in Good or Fair/Good health. Three trees were found to be in fair/poor health and are recommended for removal. Individual issues and recommendations for each tree are listed under the "Notes" column on the accompanying data sheet.

Monterey Pine #194: This non-heritage tree is what remains of a larger pine that had its main leader removed some time ago. The remaining leader is thin and is leaning strongly over the property line and fence. It provides little screening or aesthetic value.

Japanese maple #191: This is the only "heritage" tree recommended for removal. It is a leggy, over-mature tree with little screening or aesthetic value. It has 3 splayed leaders from 3" and the diameter was measured at that height. One of the leaders has a large crack. The tree has

multiple decay cavities and several large pruning cuts that are likely to become cavities over time.

Photinia #192: This is an overgrown shrub with splayed leaders and 2 large pruning cuts at the base. It is unattractive and provides little aesthetic or screening value.

Tree Structure on This Property

Ideally, trees are pruned for structure when young and are properly maintained to reduce end-weight as they grow. This technique prevents excessively long, lateral branches that are prone to breaking off due to weight or wind.

In the case of the small to medium-sized trees here, this has occurred to some degree. The large Deodar cedar has also undergone end weight reduction (EWR) and appears safe and well-maintained. Continued EWR is recommended for this tree.

In the case of larger multi-leadered trees, if they are not structurally pruned as small/medium – sized trees, one or more significant structural weaknesses, such as co-dominant leaders, develop. These can often be addressed and the tree made safer using specific pruning techniques, such as more aggressive EWR or hardware (cables or props).

Coast live oak #172 and sycamore #185: These are both large specimens in the parking area with structural problems including multiple long, heavy leaders or limbs. These issues put the trees at risk for leader or limb failures. If this occurs, the torn area of the trunk (where the limb came off) tends to rot down into the trunk, resulting in trunk-based decay cavities and possible trunk failure where the decay is located. Oak #172 is the parking lot centerpiece and the sycamore protrudes out of the parking shelter roof. Both have very long laterals and end weight reduction is recommended to decrease structural forces at leader and limb junctions. One cable is also recommended for oak #172 because aggressive end weight reduction would be unattractive. The cable reduces forces at junctions during wind events and to some degree reduces forces under weight. Both techniques reduce the chance of large limb failure.

Both trees have sycamore bark moth larvae infestations and a spray program targeting this insect is recommended. In addition, although the area received normal rains the past winter, the ongoing drought is forecasted to continue. These two trees have little exposed soil to absorb precipitation. Mulching their base and deep watering them each a few times during the dry season is recommended. The mulch will both enhance the small amount of soil at their bases and deter water evaporation.

Local Regulations Governing Trees

Menlo Park City Code requires a permit to remove or substantially prune a heritage tree, which is defined below.

1. Any tree or group of trees of historical significance, special character or community benefit, specifically designated by resolution of the city council;
2. Any oak tree native to California, with a circumference of 31.4 inches (diameter of 10 inches) or more measured at 54 inches above natural grade. Trees with more than one trunk shall be measured at the point where the trunks divide, with the exception of trees that are under twelve (12) feet in height, which are exempt from this ordinance.
3. All trees other than oaks which have a trunk circumference of 47.1 inches (diameter of 15 inches) or more measured at 54 inches above natural grade. Trees with more than one trunk shall be measured at the point where the trunks divide, with the exception of trees that are under twelve (12) feet in height, which are exempt from this ordinance.

Menlo Park also protects trees that were required as a condition of past development for commercial sites. This specialized protection status of non-heritage trees is not part of the scope of this inventory. As part of initial permit review, the City will assess past permitting documentation and determine which trees are thus protected.

Eleven of the trees surveyed at this site are considered “Heritage” trees under this ordinance. The two trees along Middlefield Road are street trees and are protected as such. Heritage tree #191 is recommended for removal. Two other non-heritage trees are also recommended for removal.

Risks to Trees by Construction

Besides the above-mentioned health and structure-related issues, the trees at this site could be at risk of damage by construction or construction procedures that are common to most construction sites. These procedures may include the dumping or the stockpiling of materials over root systems; the trenching across the root zones for utilities or for landscape irrigation; or the routing of construction traffic across the root system resulting in soil compaction and root dieback. It is therefore essential that Tree Protection Fencing be used as per the Architect’s drawings. In constructing underground utilities, it is essential that the location of trenches be done outside the drip lines of trees except where approved by the Arborist.

General Tree Protection Plan

Protective fencing is required to be provided during the construction period to protect trees to be preserved. This fencing must protect a sufficient portion of the root zone to be effective. Fencing is recommended to be located 8 to 10 X the diameter at breast height (DBH) in all directions from the tree. DBH for each tree is shown in the attached data table. The minimum recommendation for tree protection fencing location is 6 X the DBH, where a larger distance is not possible. There are areas where we will amend this distance based upon tree condition and proposed construction. In my experience, the protective fencing must:

- a. Consist of chain link fencing and having a minimum height of 6 feet.
- b. Be mounted on steel posts driven approximately 2 feet into the soil.

- c. Fencing posts must be located a maximum of 10 feet on center.
- d. Protective fencing must be installed prior to the arrival of materials, vehicles, or equipment.
- e. Protective fencing must not be moved, even temporarily, and must remain in place until all construction is completed, unless approved by a certified arborist.
- f. Tree Protection Signage shall be mounted to all individual tree protection fences.

Based on the existing development and the condition and location of trees present on site, the following is recommended:

1. The Project Arborists are Allie Strand (650) 906-5540 or Michael Young (650) 321-0202. A Project Arborist should supervise any excavation activities within the tree protection zone of these trees.
2. Any roots exposed during construction activities that are larger than 2 inches in diameter should not be cut or damaged until the project Arborist has an opportunity to assess the impact that removing these roots could have on the trees.
3. The area under the drip line of trees should be thoroughly irrigated to a soil depth of 18" every 3-4 weeks during the dry months.
4. Mulch should cover all bare soils within the tree protection fencing. This material must be 6-8 inches in depth after spreading, which must be done by hand. Course wood chips are preferred because they are organic and degrade naturally over time.
5. Loose soil and mulch must not be allowed to slide down slope to cover the root zones or the root collars of protected trees.
6. There must be no grading, trenching, or surface scraping inside the driplines of protected trees, unless specifically approved by a Certified Arborist. For trenching, this means:
 - a. Trenches for any underground utilities (gas, electricity, water, phone, TV cable, etc.) must be located outside the driplines of protected trees, unless approved by a Certified Arborist. Alternative methods of installation may be suggested.
 - b. Landscape irrigation trenches must be located a minimum distance of 10 times the trunk diameter from the trunks of protected trees unless otherwise noted and approved by the Arborist.
7. Materials must not be stored, stockpiled, dumped, or buried inside the driplines of protected trees.
8. Excavated soil must not be piled or dumped, even temporarily, inside the driplines of protected trees.

9. Landscape materials (cobblestones, decorative bark, stones, fencing, etc.) must not be installed directly in contact with the bark of trees because of the risk of serious disease infection.
10. Landscape irrigation systems must be designed to avoid water striking the trunks of trees, especially oak trees.
11. Any pruning must be done by a Company with an Arborist Certified by the ISA (International Society of Arboriculture) and according to ISA, Western Chapter Standards, 1998.
12. Any plants that are planted inside the driplines of oak trees must be of species that are compatible with the environmental and cultural requirements of oak trees. A publication detailing plants compatible with California native oaks can be obtained from The California Oak Foundation's 1991 publication "Compatible Plants Under & Around Oaks" details plants compatible with California native oaks and is currently available online at: <http://californiaoaks.org/wp-content/uploads/2016/04/CompatiblePlantsUnderAroundOaks.pdf>

Specific Tree Protection/Mitigation

Coast live oak #172: To increase the vitality and longevity of heritage oak #172, the project will remove pavement equivalent to one parking stall around the tree. Specific mitigation for this is as follows and applies to all areas under the canopy of the tree:

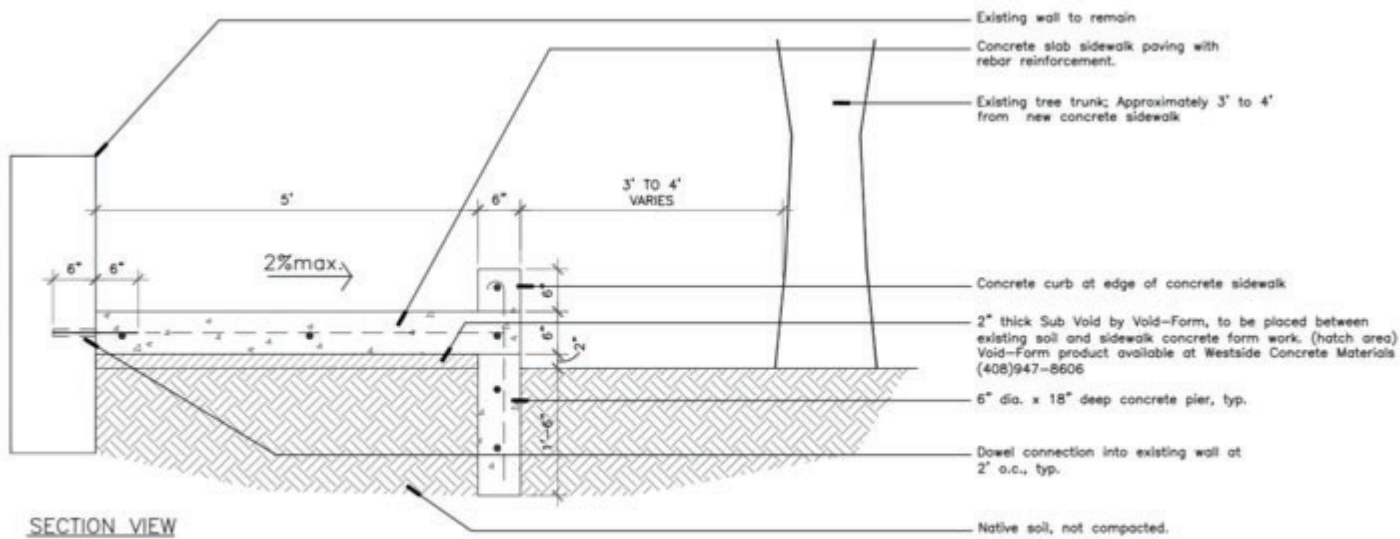
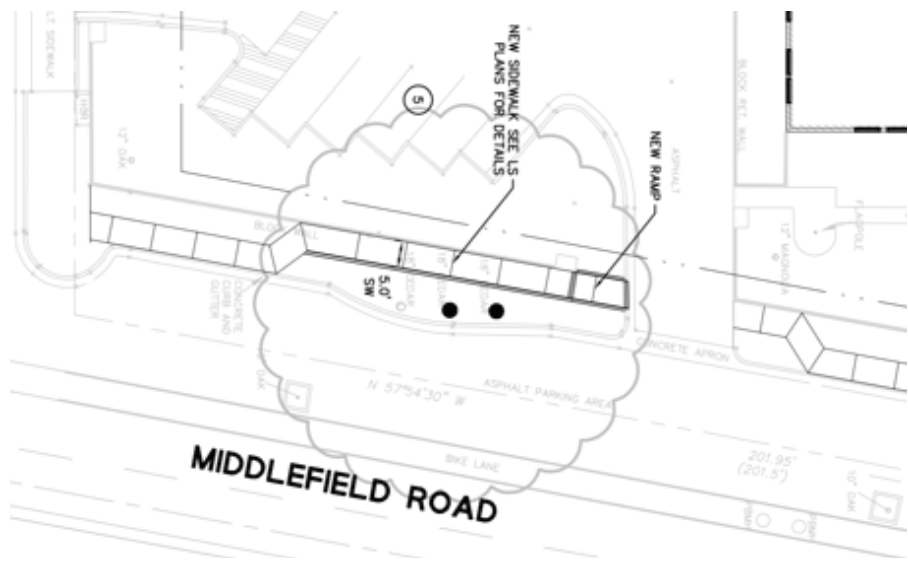
1. Protective tree fencing shall be installed out to and encompassing the dripline of this tree to protect limbs and branches from being damaged by construction machinery.
2. Leave existing pavement in the area as long as possible to protect tree roots.
3. The Project Arborist shall be called for a site meeting to supervise the moving of the tree protection fencing and to explain the demolition/construction process near this tree.
4. Previously installed tree protection fencing may be removed immediately preceding active demo near this tree. The tree trunk shall instead be immediately wrapped in erosion buffer and orange fencing to prepare for demolition occurring near it. All further construction in the area previously fenced to dripline and involving machinery larger than a Bobcat, may only occur carefully, using a spotter to ensure limbs and branches are not damaged by machinery.
5. Existing wheel stops/curb shall be removed carefully without bumping the tree with machinery or damaging underlying pavement. If curbs need to be broken up, that shall occur by hand or light jackhammer.
6. Asphalt equivalent to approximately one parking space will be removed from the surface near this tree. The exact area of this material's removal shall be painted on the asphalt as determined by the Civil plans and the technique used for the replacement of the curb near the tree. All asphalt within the area formerly fenced by tree protection fencing shall be broken up by HAND or LIGHT JACVHAMMER and removed by hand via wheel barrow.

7. NO MACHINE TRAFFIC SHALL OCCUR ON EXISTING OR NEWLY BARED SOIL, INCLUDING BOBCAT AND SIMILAR LIGHT MACHINERY.
8. NO MACHINE SCRAPING OR GRADING SHALL OCCUR ON EXISTING OR NEWLY BARED SOIL. Hand raking and shoveling to even soil area can occur, being careful not to cut or scrape roots over 2" in diameter.
9. Any needed filler soil (to bring area to grade) shall be of good quality and shall be applied immediately to prevent roots from drying out.
10. The bare soil area shall be immediately mulched, irrigated to a depth of 24", and fenced with tree protection fencing to protect the area from materials storage and vehicle traffic.
11. New curbing shall be installed either on existing, paved surfaces, outside of tree protection fencing or using a technique that does not damage a significant number of roots over 2" in diameter. This can be determined on site under the supervision of the Project Arborist, via exploratory trenching at the time of demolition of the existing asphalt. Suggested techniques include geogrid, bridging of significant roots using foam board or other similar root-friendly methods.
12. Re-surfacing of the existing asphalt shall occur carefully around the tree, using a spotter to ensure limbs and branches are not damaged by machinery.
13. General construction-period irrigation recommendations in this report shall be followed prior to and after demo/construction around this tree.

Trees #203 and #204 are blue atlas cedars are located adjacent to the path/sidewalk in front of the building along Middlefield Road. Both trees are constrained in terms of root zone. To their east, the existing retaining wall is 9' from #203 and 8' from #204. The foundation of this wall is estimated to be 2' deep. This means that approximately 70% or more of the roots stop at the retaining wall on that side. To the west of the trees, a curb and pavement begins about 15" from the trees. Because water does not penetrate the pavement, there are likely to be few roots beyond 2' past the curb.

The plans call for the construction of a 5' 6" wide sidewalk with a raised curb. This sidewalk will run lengthwise between the trees and the existing retaining wall. The 6" raised curb is along the western (street-most) edge of the sidewalk. This western edge will be 3.5' from the flared base of tree #203 and 2.5' from the flared base of #204. The following mitigation is recommended:

Construct a portion of the sidewalk above grade, with the sidewalk beginning to rise (w/ zero or very shallow excavation just after the curb cut on the south end, and beginning to come down (w/ zero or very shallow excavation) about 16' from tree #203 (edge of dripline) at the north end. This will save roots while allowing a gradual rise in the sidewalk grade. The sidewalk will be constructed on grade beam and a combination of piers (western side) and weight-bearing dowels inserted into the retaining wall (eastern side). The piers will be placed to avoid major tree roots and void forms will be used as the base platform on which to pour the sidewalk. The void forms will dissolve via soil moisture, leaving a space under the sidewalk to prevent soil compaction and allow room for root growth without sidewalk upheaval. A site plan of the area and a schematic of the elevated sidewalk structure are shown on the next page.



1 Pedestrian Concrete Sidewalk at Existing Trees

Scale: 1" = 1'-0"

Procedure:

1. Tree protection fencing will be installed at 2.5 and 1.5 feet respectively, from trees #203 and #204 and out to dripline and edge of curb. This will provide a limited work area while protecting the tree's trunks and their immediate root zone.

2. Soil will be carefully hand-dug in the area to be covered by the walkway. The idea is not to harm roots over 1.5" in diameter. An air-spade device can be used instead of hand-digging if desired. Once roots are exposed, the Project Arborist will inspect the roots with the architect or contractor in order to locate piers. If few roots are located at the north and south edges of the root zone, the design may be modified to reduce the length of the elevated stretch.
3. Pier locations will be marked by stakes and the majority of roots recovered by soil and watered in. If necessary for access and depending on the machinery to be used, the fences may be moved and root buffer materials consisting of 6" of mulch topped by 1" plywood connected by clips applied over selected root areas. Boring and placement of piers will then commence. No heavy machinery may traverse or be placed in the area where roots are located without approval of the Project Arborist. Boring machinery will be placed on the building side of the existing retaining wall or on the street. Depending on the size and location of roots, and the size and depth of piers, some or all pier holes may be hand-excavated. If tree trimming is needed for boring equipment access, it must be completed based on the recommendations in this report.

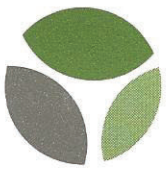
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I certify that the information contained in this report is correct to the best of my knowledge and that this report was prepared in good faith. Please call me if you have questions or if I can be of further assistance.

Respectfully,

Allie Strand

Allie Strand
ISA Certified Arborist #WC-10737
ISA Tree Risk Assessment Qualified
American Society of Consulting Arborists



ASSUMPTIONS AND LIMITING CONDITIONS

1. Any legal description provided to this arborist is assumed to be correct. No responsibility is assumed for matters legal in character nor is any opinion rendered as to the quality of any title.
2. This arborist can neither guarantee nor be responsible for accuracy of information provided by others.
3. This arborist shall not be required to give testimony or to attend court by reason of the information provided by this arborist unless subsequent written arrangements are made, including payment of an additional fee for services.
4. Loss or removal of any part of this report invalidates the entire report.
5. Possession of this report or a copy thereof does not imply right of publication or use for any purpose by any other than the person(s) to whom it is addressed without written consent of this arborist.
6. This report and the values expressed herein represent the opinion of this arborist, and this arborist's fee is in no way contingent upon the reporting of a specified value nor upon any finding to be reported.
7. Sketches, diagrams, graphs, photos, etc., in this report, being intended as visual aids, are not necessarily to scale and should not be construed as engineering reports or surveys.
8. This report has been made in conformity with acceptable appraisal/evaluation/diagnostic reporting techniques and procedures, as recommended by the International Society of Arboriculture.
9. When applying any pesticide, fungicide, or herbicide, always follow label instructions.
10. No tree described in this report was climbed, unless otherwise stated. This arborist cannot take responsibility for any defects which could only have been discovered by climbing. A full root collar inspection, consisting of excavating the soil around the tree to uncover the root collar and major buttress roots, was not performed, unless otherwise stated. This arborist cannot take responsibility for any root defects which could only have been discovered by such an inspection.

ARBORIST DISCLOSURE STATEMENT

Arborists are tree specialists who use their education, knowledge, training and experience to examine trees, recommend measures to enhance the beauty and health of trees, and attempt to reduce the risk of living near trees. Clients may choose to accept or disregard the recommendations of the arborist, or to seek additional advice.

Arborists cannot detect every condition that could possibly lead to the structural failure of a tree. Trees are living organisms that fail in ways we do not fully understand. Conditions are often hidden within trees and below ground. Arborists cannot guarantee that a tree will be healthy or safe under all circumstances, or for a specified period of time. Likewise, remedial treatments, like any medicine, cannot be guaranteed.

Treatment, pruning and removal of trees may involve considerations beyond the scope of the arborist's services such as property boundaries, property ownership, site lines, disputes between neighbors, and other issues. Arborists cannot take such considerations into account unless complete and accurate information is disclosed to the arborist. An arborist should then be expected to reasonably rely upon the completeness and accuracy of the information provided.

Trees can be managed, but they cannot be controlled. To live near trees is to accept some degree of risk. The only way to eliminate all risk associated with trees is to eliminate all trees.

TREE SURVEY urban tree management, inc.

Client: Hayes Group
 Address: 250 Middlefield Road, Menlo Park, CA 94025
 Date: 4/18/18

Ratings for health and structure are given separately for each tree according to the table to right. ie, a tree may be rated "Good" under the health column for excellent/vigorous appearance and growth, while the same tree may be rated "Fair/Poor" in the structure column if structural mitigation is needed. Health is rated based on leaf color and size, canopy density, new shoot growth and presence of pests or disease.

KEY	Health	Structure
Good	excellent/vigorous	flawless
Fair/Good	no significant health concerns	very stable
Fair	declining; measures should be taken to improve health and appearance	routine maintenance needed
Fair/Poor	in decline; significant health issues	mitigation needed, it may or may not preserve this tree
Poor	dead or near dead	hazard

TAG #	COMMON NAME	DBH	W/H	HEALTH	STRUCTURE	HERITAGE (X)	REMOVAL (X)	HERITAGE REMOVAL (XX)	NOTES/RECOMMENDATIONS
157	Camphor	1	3/7	G	F				
158	Sycamore	12	28/42	FG	FP				Multiple leaders at 12', Rec SP
159	Walnut	12	16/34	FP	F				Multiple leaders, EWR has occurred, late to leaf out.
160	Laurel	3	6/8	G	F				
161	Laurel	3	6/8	G	F				
162	Laurel	2	6/8	G	F				
163	Laurel	1	4/7	G	F				
164	Laurel	1	4/7	G	F				
165	Laurel	1	4/7	G	F				
166	Laurel	2	4/7	G	F				
167	Laurel	2	4/8	G	F				
168	Laurel	1	4/7	G	F				
169	Laurel	2	4/7	G	F				
170	London plane tree	5	15/25	F	FP				Multiple leaders at 12', Rec SP
171	Ash	4	12/15	FG	FP				Multiple leaders, Rec SP
172	Coast live oak	33	36/40	G	FP	X			Multiple leaders, sycamore bark moth, Rec EWR, 1 cable, mulch, water 1/month in dry season, spray program for bark moth
173	Ash	23	20/40	FG	FP	X			Double leaders with included bark, surface roots, small cavity at base is barked over and seems strong
174	Olive	18	10/12	F	F	X			Diameter measured at 1', Rec canopy cleaning, DWR
175	London plane tree	8	20/36	FG	FP				Multiple leaders, leaning, Rec EWR, SP
176	Olive	22	12/12	F	F	X			Diameter measured at 3', Rec canopy cleaning, DWR
177	London plane tree	6	10/35	FG	F				Multiple leaders, Rec SP
178	Olive	22	12/12	F	F	X			1 dead leader, diameter measured at 1', canopy full of deadwood and dead leaves from surrounding trees, Rec DWR
179	London plane tree	7	15/20	FG	F				
180	Olive	18	18/15	G	F	X			Diameter measured at 6", Rec canopy cleaning, DWR
181	Olive	3	5/7	G	F				Diameter measured at 6"
182	Olive	3	5/7	G	F				Diameter measured at 6"
183	Olive	3	5/7	G	F				Diameter measured at 6"
184	London plane tree	2	4/12	G	F				
185	Sycamore	33	49/70	G	FP	X			Sycamore bark moth, multiple leaders, small cavity over roof, Rec EWR, mulch
186	London plane tree	7	20/26	FG	FP				Multiple leaders, Rec SP
187	Deodar cedar	40, 35, 18, 18	40/90	FG	FP	X			Multiple leaders from ground, EWR has occurred, Rec EWR every 4 years or so.
188	Redbud	1	3/6	FG	F				
189	Redbud	1	5/8	FG	F				
190	Redbud	1	4/9	FG	F				
191	Japanese maple	24	30/40	FG	FP	X	X	XX	3 leaders from ground, diam at 3", cavity on one leader, large crack in second leader, small cavity at base, large pruning cuts, sm deadwood, Rec REMOVAL
192	Photinia	3,3,3,3	16/12	F	FP		X		Overgrown shrub, splayed leaders, 2 cut leaders at base, Rec REMOVAL
193	Coast live oak	34	35/50	FG	FP	X			Co-dominant leaders at 4.5', multiple leaders above, Rec EWR, 1 cable, RCE
194	Monterey pine	6	12/13	FP	FP		X		Multiple leaders, EWR has occurred
195	Liquidambar	24	18/75	FG	FP	X			
196	Japanese maple	6	10/21	F	F				Multiple leaders from 2', Rec RCE
197	Chinese magnolia	4,4,3,3,3,3,3,2	10/6	FG	FP				In planter, multiple leaders, pruned as shrub
198	Laurel	2	3/6	FG	F				
199	Redbud	3	10/12	FG	F				
200	Redbud	3	10/11	FG	F				
201	Redbud	2	6/9	FG	F				Diameter measured at 1', Rec SP
202	Redbud	1	2/6	FP	F				Wvery thin, small dead wood, mapped but not tagged due to size, Rec stake, mulch
203	Blue atlas cedar	26.5	35/95	G	F/P	X			Street tree
204	Blue atlas cedar	25.0	45/90	G	F/P	X			Street tree, co-dominant leadewrts at 75', Rec SP
TREE TOTAL						48			
HERITAGE TOTAL							13		
REMOVAL TOTAL								3	
HERITAGE REMOVALS TOTAL									1

ACRONYMS

- DWR: Dead Wood Removal: Removal of dead branches
- EWR - End Weight Reduction: pruning to remove weight from limb ends, thus reducing the potential for limb failure
- RCE - Root Collar Excavation: excavating a small area around a tree that is currently buried by soil or refuse above buttress roots, usually done with a hand shovel.
- SP - Structural Pruning - removal of selected non-dominant leaders in order to balance the tree

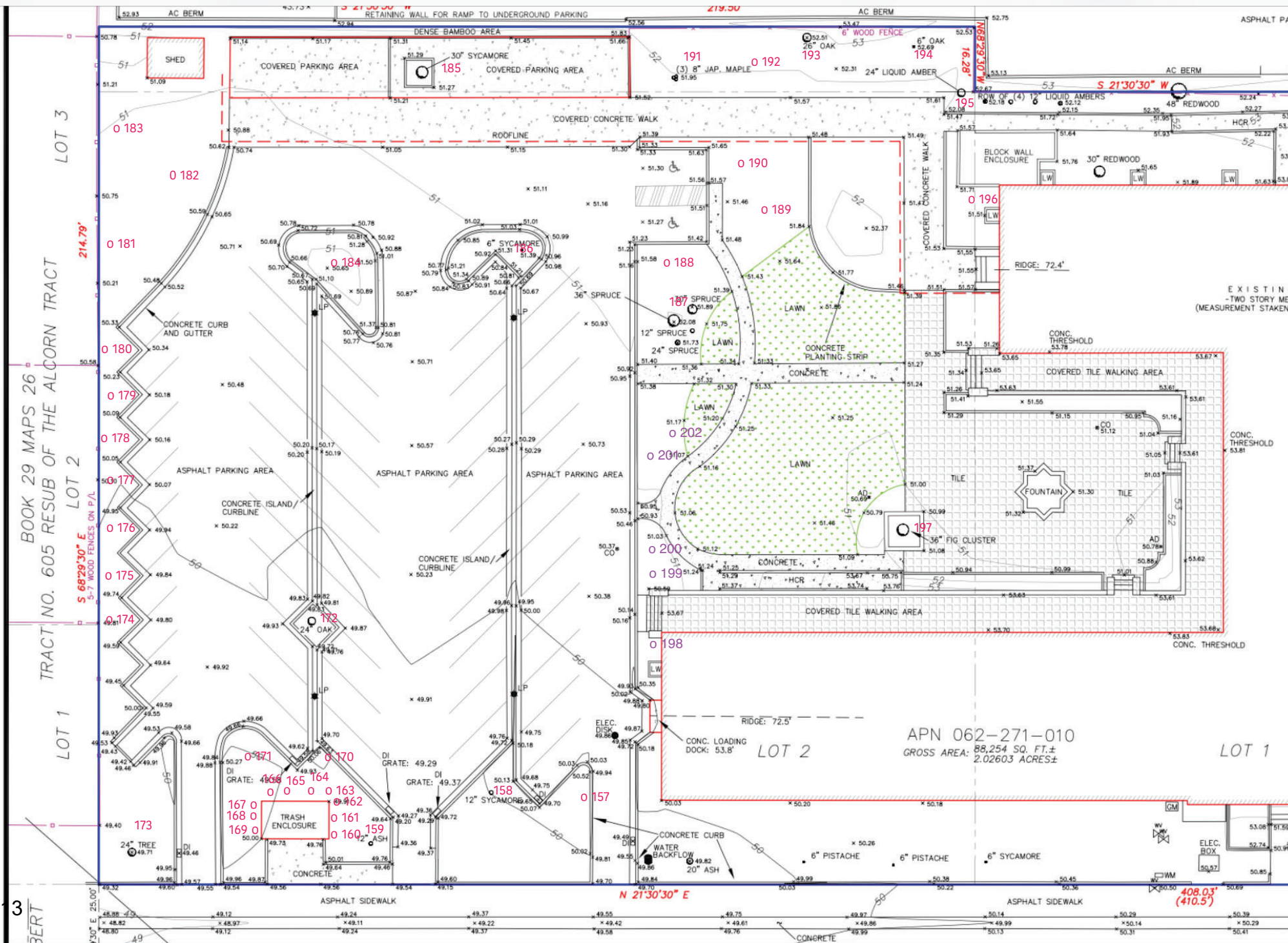
Menlo Park City Code 13.20.020 defines a Heritage Tree as:

- Any tree having a trunk with a circumference of 47.1 inches (diameter of 15 inches) or more measured at 54 inches above natural grade.
- Any oak tree native to California, with a circumference of 31.4 inches (diameter of 10 inches) or more measured at 54 inches above natural grade.
- Any tree or group of trees specifically designated by the City Council for protection because of its historical significance, special character or community benefit.
- Any tree with more than one trunk measured at the point where the trunks divide, with a circumference of 47.1 inches (diameter of 15 inches) or more, with the exception of trees that are under twelve (12) feet in height, which are exempt from the ordinance.

Menlo Park also protects trees installed as part of the permitting commercial development projects (landscaping and parking lot trees, etc). These are not called out in this tree inventory and will be determined after initial review of the project.

Common name	Latin name
Ash	<i>Fraxinus sp.</i>
Blue atlas cedar	<i>Cedrus atlantica</i>
Camphor	<i>Cinnamomum camphora</i>
Chinese arborvitae	<i>Platycladus orientalis</i>
Chinese magnolia	<i>Magnolia X soulangeana</i>
Coast live oak	<i>Quercus agrifolia</i>
Deodar cedar	<i>Cedrus deodarus</i>
Eucalyptus sp.	<i>Eucalyptus sp.</i>
European olive	<i>Olea europaea</i>
Incense cedar	<i>Calocedrus decurrens</i>
Italian cypress	<i>Cupressus sempervirens</i>
Japanese maple	<i>Acer palmatum</i>
Laurel	<i>Prunus laurocerasus</i>
Liquidambar	<i>Liquidambar sp.</i>
London plane tree	<i>Platanus x acerifolia</i>
Monterey pine	<i>Pinus radiata</i>
Redbud	<i>Cercis canadensis</i>
Southern magnolia	<i>Magnolia grandiflora</i>
Sycamore	<i>Platanus sp.</i>
Walnut	<i>Juglans nigra</i>

MIDDLEFIELD_TOPO_2017_update_signed.pdf



13

BELOW MARKET RATE HOUSING IN LIEU FEE AGREEMENT

This Below Market Rate Housing In Lieu Fee Agreement (“Agreement”) is made as of this ___ day of _____, 2019 by and between the City of Menlo Park, a California municipality (“City”) and Charlie King (“Applicant”), with respect to the following:

RECITALS

- A. Applicant owns a building, located at that certain real property in the City of Menlo Park, County of San Mateo, State of California, consisting of approximately 2 acres, more particularly described as Assessor’s Parcel Number: 062-271-010 (“Property”), and commonly known as 250 Middlefield Road, Menlo Park.
- B. The Property currently contains one building. The gross floor area of the existing building is approximately 22,623 square feet.
- C. Applicant proposes to add approximately 3,853 square feet of gross floor area for office use by adding to the first floor of the existing building. Applicant has applied to the City for use permit and architectural control to increase the square footage within the building (“Project”).
- D. Applicant is required to comply with Chapter 16.96 of City’s Municipal Code (“BMR Ordinance”) and with the Below Market Rate Housing Program Guidelines (“Guidelines”) adopted by the City Council to implement the BMR Ordinance. In order to process its application, the BMR Ordinance requires Applicant to submit a Below Market Rate Housing Agreement. This Agreement is intended to satisfy that requirement. Approval of a Below Market Rate Housing Agreement is a condition precedent to the approval of the applications and the issuance of a building permit for the Project.
- E. Residential use of the Property is not allowed by the applicable zoning regulations. Applicant does not own any sites in the City that are available and feasible for construction of sufficient below market rate residential housing units to satisfy the requirements of the BMR Ordinance. Based on these facts, the City has found that development of such units off-site in accordance with the requirements of the BMR Ordinance and Guidelines is not feasible.
- F. Applicant, therefore, is required to pay an in lieu fee as provided for in this Agreement. Applicant is willing to pay the in lieu fee on the terms set forth in this Agreement, which the City has found are consistent with the BMR Ordinance and Guidelines.

NOW, THEREFORE, the parties agree as follows:

1. If Applicant elects to proceed with the Project, Applicant shall pay the in lieu fee as provided for in the BMR Ordinance and Guidelines. Notwithstanding the proceeding, nothing in this Agreement shall obligate Applicant to proceed with the Project. The applicable in lieu fee is that which is in effect on the date the payment is made. The in lieu fee will be calculated as set forth in the table below; however, the applicable fee for the Project will be based upon the amount of square footage within Group A (offices) and Group B (other commercial) at the time of payment. The estimated in lieu fee is provided below.

Table 1: BMR Requirements and Applicant Proposal			
	Fee per square foot	Square feet	Component fees
Existing Building - Office	\$17.79	22,623	(\$402,463.17)
Existing Building - Non-Office	\$9.66	0	\$0.00
Proposed Building - Office	\$17.79	26,476	\$471,008.04
Proposed Building - Non-Office	\$9.66	0	\$0.00
Net New		3,853	
BMR In-Lieu Fee Option			\$68,544.87

2. If the Applicant elects to proceed with the Project, the Applicant shall pay the in lieu fee before the City issues a building permit for the Project. The in lieu fee may be paid at any time after approval of this Agreement by the Planning Commission. If for any reason, a building permit is not issued within a reasonable time after Applicant's payment of the in lieu fee, upon request by Applicant, City shall promptly refund the in lieu fee, without interest, in which case the building permit shall not be issued until payment of the in lieu fee is again made at the rate applicable at the time of payment.
3. This Agreement shall be binding on and inure to the benefit of the parties hereto and their successors and assigns. Each party may assign this Agreement, subject to the reasonable consent of the other party, and the assignment must be in writing.
4. If any legal action is commenced to interpret or enforce this Agreement or to collect damages as a result of any breach of this Agreement, the prevailing party shall be entitled to recover all reasonable attorney's fees and costs incurred in such action from the other party.

5. This Agreement shall be governed by and construed in accordance with the laws of the State of California and the venue for any action shall be the County of San Mateo.
6. The terms of this Agreement may not be modified or amended except by an instrument in writing executed by all of the parties hereto.
7. This Agreement supersedes any prior agreements, negotiations, and communications, oral or written, and contains the entire agreement between the parties as to the subject matter hereof.
8. Any and all obligations or responsibilities of Applicant under this Agreement shall terminate upon the payment of the required fee.
9. To the extent there is any conflict between the terms and provisions of the Guidelines and the terms and provisions of this Agreement, the terms and provisions of this Agreement shall prevail.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement as of the day and year first written above.

CITY OF MENLO PARK

Charlie King

By: _____
City Manager

By: _____
Its:

Approved as to form:

By: _____
William L. McClure
City Attorney

Khan, Fahteen N

From: e benton <ecbenton@yahoo.com>
Sent: Tuesday, June 19, 2018 4:23 PM
To: Khan, Fahteen N
Subject: Re: 250 Middlefield Road
Attachments: pic - Santa Monica at Middlefield - no ADA sidewalk.png; pic - Santa Monica at Middlefield.png

Dear Ms. Kahn,

As a follow up to my previous email, here is a screen capture from Google showing the overflow of parking onto Santa Monica from both 250 Middlefield and the fire station. If parking is reduced with the proposed changes at 250 Middlefield, then the situation will get worse.

Also note in this photo the lack of sidewalks on both sides of the street on Santa Monica, and no ADA sidewalk on Middlefield.

Thank you again for considering my concerns.

Sincerely,

Elena Benton
owner of 192 San Andreas Drive

On Tuesday, June 19, 2018, 3:55:48 PM MDT, e benton <ecbenton@yahoo.com> wrote:

Dear Ms. Kahn,

I am writing in regards to the proposed project at 250 Middlefield Road. I firmly believe this project negatively impacts the lives of the neighboring homes.

The proposed changes are doubling the amount of parking spaces nearest to the neighboring residences from 10 to 20 spaces.

- (a) This is too big of an increase that will impact the noise level of the houses located just 20 feet from the property line.
- (b) The doubling of parking spaces also eliminates the one buffer between this building and the neighbors.
- (c) The proposed configuration of the parking spaces, from angled to straight, would allow light from car headlights to shine directly into the adjacent homes.
- (d) Decreasing the number of parking spaces while at the same time increasing the number of workers would increase the number of workers parking outside the property's boundaries, and mostly likely further onto both Santa Monica and San Andreas.

There is room for the building to expand towards Middlefield. Doing so would allow the current parking lot to hold the required number of parking spaces, and would not have to remove a heritage tree. Since the neighboring businesses, including the fire station, are built close to Middlefield, 205 Middlefield expanding towards Middlefield would fit in with the neighboring buildings.

205 Middlefield is the only property along Middlefield without a pedestrian sidewalk. I would like to have as a requirement for this project that the property owner construct an ADA-compliant sidewalk. Also, there is no sidewalk along this property on Santa Monica as cars frequently park in the area between the property's landscaping and the street. Because of the fire station located across from this property on Santa Monica and Middlefield, pedestrians are forced to walk in the street on both sides of this section of Santa Monica. I think this is unsafe and setting up for a situation for pedestrians to be struck by passing cars.

Thank you for reviewing my comments and requests.

Sincerely,

Elena Benton
owner of 192 San Andreas Drive



(890 unread) - ecbenton@yahoo.com | Middlefield Rd - Google Maps | +

https://www.google.com/maps/@37.4559194,-122.1666286,3a,75y,66.64h,74.02t/data=!3m6!1e11 | Search

Middlefield Rd
Menlo Park, California

Google, Inc.

Street View - Dec 2017





K4



STAFF REPORT

Planning Commission

Meeting Date: 4/29/2019
Staff Report Number: 19-031-PC

Public Hearing: Facebook East Campus Development Agreement
(1 Hacker Way) – Sixth Year Annual Review

Recommendation

Staff recommends that the Planning Commission review the information provided and make a determination that Facebook, over the course of the past year, has demonstrated good faith compliance with the provisions of the Development Agreement (DA) for the East Campus for the period of October 2017 through September 2018. The Planning Commission voted to continue its review of the DA for the East Campus at its February 25th meeting. This staff report provides additional documentation of the Trip Cap log, including exceedances, event exclusions, assessed penalties, and steps taken to bring the East Campus into compliance (for the 2018 calendar year). The recommended actions are included in Attachment A.

Policy Issues

The City Council adopted Resolution No. 4159 in January 1990, establishing the procedures and requirements for the consideration of DAs. Resolution No. 4159 calls for the Planning Commission to conduct a public hearing at which the property owner (or representative for the property owner) must demonstrate good faith compliance with the terms of the agreement. The Planning Commission is to determine, upon the basis of substantial evidence, whether or not the property owner has, for the period under review, complied in good faith with the terms and conditions of the agreement. The decision of the Planning Commission is final, unless it is appealed to the City Council. These provisions implement Government Code Section 65865.1 which requires the periodic review, at least once every 12 months, to determine compliance with the terms of the agreement.

The implementation of each DA is considered individually. The Planning Commission should make a determination on whether or not Facebook has demonstrated its good faith compliance with the provisions of the East Campus DA at this time. One of the key components of the East Campus DA is compliance with the trip cap for the site. While the trip cap has been exceeded multiple times in 2018, the frequency of exceedances has reduced over the calendar year as a result of steps taken by Facebook to bring the site into compliance.

Background

A DA is a legally binding contract between the City of Menlo Park and an applicant that delineates the terms and conditions of a proposed development project. A DA allows an applicant to secure vested rights to develop and allows the City to secure benefits that are generally not otherwise obtainable. DAs are commonly used for land use developments which are implemented in phases over a period of time. DAs

provide assurances to both the applicant and the City that the terms of the agreement will be in force until the completion of the project, and in some cases, elements of the DA could be in effect for the life of the project. DAs are enabled by California Government Code Sections 65864-65869.5.

The Facebook Campus includes three areas: the East Campus, the West Campus, and the Facebook West Campus Expansion (Campus Expansion Project). There are three DAs and two Conditional Development Permits (CDPs) for the Facebook Campus. The land use entitlements and DAs were also processed in phases, with the East Campus entitlement process being completed first.

Planning Commission review of 2018 compliance

At its meeting on February 25, 2019 the Planning Commission voted affirmatively to determine that Facebook had demonstrated good faith compliance with the provisions of the DAs for the West Campus and Campus Expansion Projects. At that same meeting, consistent with the staff recommendation, the Planning Commission voted to continue the East Campus DA to a future meeting to allow staff to obtain more information on the trip cap exceedances to provide an informed recommendation on Facebook's good faith compliance with the terms of the East Campus DA, including the trip cap. This report provides staff's assessment of Facebook's good faith compliance with the terms of the East Campus DA from October 2017 to September 2018.

Analysis

In evaluating Facebook's compliance with the terms and conditions of the DAs, staff has developed a classification system to describe how the specific requirements are being implemented using four categories. Three of these categories are consistent with the principle of good faith compliance with the terms of the agreements and are as follows:

- **Completed:** A One-time Action was completed or an Ongoing Activity occurred during the DA review year.
- **In Progress:** A One-time Action is underway (acceptable progress).
- **Conditional, No Action Required:** The triggering event, condition, or requirement to undertake an item has not occurred and no action is necessary at this time.

The fourth category, described as Unacceptable Progress implies that, at least potentially, good faith compliance for that item may not have occurred. However, substantial and persistent non-implementation of a DA provision would have to occur before a lack of good faith compliance could be determined. After review of the additional trip cap related information, staff has determined that none of the DA requirements for the East Campus have been identified as Unacceptable Progress during the 2017-2018 DA review year.

To ensure that the City is aware of the status of their compliance and any challenges they may be having achieving compliance, Facebook provides periodic updates on the status of all applicable requirements. These updates, as well as supporting correspondence and written documentation have been used to develop the DA implementation tables attached to this staff report.

East Campus DA

The East Campus DA includes 37 requirements that are associated with the annual DA tracking. These

requirements fall into two categories, One-Time Actions and Ongoing Activities. A detailed description of the requirements of the DA for the East Campus are contained in Attachments B and C, respectively. The summary of the implementation status of the 37 DA requirements is provided in the following table.

Table 1: East Campus DA		
Implementation Status	One-Time Actions (Attachment B)	Ongoing Activities (Attachment C)
Completed	17	15
In Progress/Ongoing* (Acceptable Progress)	0	0
Conditional / No Action Required	1	4
Unacceptable Progress/No Information Provided	0	0

*Trip cap compliance was changed from In Progress (as shown on February 25th) to Completed since additional documentation of compliance has been provided.

Trip Cap Compliance

Facebook and the City continue to monitor compliance with the trip cap requirements. According to the Trip Cap Policy, Facebook is allowed to exceed its trip cap on twelve special event days in a 12-month period and on three non-special event days in a 180-day period (at which time Facebook must be in compliance with the trip cap for 180 days before utilizing any additional non-special event exclusions). According to the Trip Cap Policy, special events are defined as those that are not typical of the operating conditions at the campus and would be likely to involve more than Facebook employees.

As mentioned in the staff report for the February 25th Planning Commission meeting, there were a number of trip cap exceedances during the 2018 calendar year. While the sixth DA annual review is from October 2017 through September 2018, staff has reviewed the trip counts for the 2017 and 2018 calendar years to determine the number of exceedances that resulted in penalties. For reference since the trip cap allows for event exclusions on a rolling 12-month basis (not calendar year), the trip log includes exceedances from 2017 as well to document the total number of exceedances without valid event exclusions. The 2017 exceedances were provided to the Planning Commission as part of the 2017 calendar year DA annual review. City staff reviewed the log to determine what exceedances were attributed to eligible event exclusions (based on the list provided by Facebook), determined the total number of exceedances, and reviewed measures taken by Facebook to bring the East Campus into compliance. The Trip Cap Event Exclusion and Exceedances Log for the East Campus is included in Attachment D.

The trip cap considers a vehicle whose occupant(s)' final destination is the East Campus or a vehicle whose origin is the East Campus a trip. To ensure the trip cap counts are accurate, the Trip Cap Policy allows for the application of a reliability (sensitivity) factor that is to be agreed upon by the City and Facebook to account for the margin of error inherent in the vehicle counting equipment and address the exclusion of trips whose final destination is not the East Campus. In accordance with the trip cap, staff reviewed additional data for the 2018 calendar year to determine the reliability (sensitivity) factor for trips

to/from the site, with regard to the accuracy of the trip count equipment sensors and to identify the appropriate adjustment for trips whose final destination is not the East Campus (such as cut-through traffic and U-turns). City staff determined the appropriate reliability factor for the count equipment and excludable trips based on data provided by Facebook and its consultants that were reviewed by the City's Transportation Division. The reliability factor is reflected in the trip cap log for 2018. The trip cap allows for the reliability (sensitivity) factor to be adjusted annually.

As part of the City's review of the East Campus DA and trip cap, the City was also made aware that rideshare (e.g. Uber/Lyft) pick-up and drop-off trips were restricted from using the East Campus through the use of a geo fence in the apps (similar to airports). Since a trip is considered a vehicle whose occupant(s)' final destination is the East Campus, staff determined that some of these rideshare trips needed to be applied to the East Campus trip cap. City staff worked with Facebook to determine the number of additional trips that should be credited against the East Campus trip cap. Facebook surveyed the users of rideshares at the locations proximate to the East Campus to determine the number of riders whose final destination was the East Campus which was then used to determine the appropriate adjustment for the AM and PM peak hours and the daily trips. A memo describing the results of that survey is included in Attachment E and has been reviewed by the City's Transportation Division. Accordingly, the trip log in Attachment D incorporates the additional rideshare trips, which have been factored into the number of exceedances. Incorporating the rideshare trips retroactively toward the trip cap for the East Campus resulted in one additional exceedance since implementation of the geo fence. That additional exceedance has been included in the trip log in Attachment D and incorporated into the assessed penalties.

There were 12 exceedances from June 2017 through December 31, 2018 that occurred on dates with events that did not meet the parameters for excludable events, which resulted in penalties of \$51,205.04, as set by the Trip Cap Policy. According to the Trip Cap Policy, the City is required to use the penalties collected for programs or projects designed to reduce trips or traffic congestion within Menlo Park and the City shall share 25 percent of the penalties collected with the City of East Palo Alto for use on transportation systems and solutions that help reduce traffic in the City of East Palo Alto around the East Campus. The City will be identifying potential traffic reduction projects to fund with the assessed penalty in the near future.

The data show that the majority of exceedances occurred in the first part of the year and reduced in frequency toward the end of 2018. In addition to restricting the rideshare pick-up and drop-off at the East Campus, Building 21 was granted occupancy in August 2018, which reduced the number of employees at the East Campus and relieved pressure on the trip cap. The number of exceedances were reduced in frequency after the implementation of the rideshare restrictions and the opening of Building 21, which occurred around the same time. Based on the rideshare information provided by Facebook before and after the restriction of pick-up/drop-off at the East Campus and the creation of specific pick-up and drop-off centers at other Facebook sites throughout the Bayfront Area, there has been an overall reduction in employees and visitors using rideshare to travel to the Facebook buildings in the Bayfront Area. A number of the rideshare vehicles at the East Campus were also believed to be waiting for potential future rides and may not have been directly linked to employees or visitors traveling to and from the East Campus. Further, restricting the pick-up/drop-off to specific locations may have deterred employees from using rideshares and encouraged them to find alternate means to the sites in the area. Staff believes that Facebook's

current operations, occupancy of Building 21, and modifications to ensure compliance of the trip cap for the East Campus should result in compliance going forward. Further, Building 22 is anticipated to be occupied in the first quarter of 2020 to help accommodate employment growth in the Bayfront Area within the West Campus. Therefore, staff recommends that the Planning Commission find that Facebook has made a good faith compliance effort for the East Campus DA, including the trip cap component.

Requirements of the Conditional Development Permits

As part of this annual review, staff has also reviewed the implementation status of the major infrastructure improvements identified in the East Campus CDP. Facebook has made progress at meeting its obligations under their CDP, and only one item, the University Avenue and Bayfront Expressway trail improvement, is incomplete. That item is considered a “95%” complete project, and City staff has met with Facebook regarding the remaining corrective actions needed to complete the improvements. These final corrective items are anticipated to be completed over the summer and expected to be identified as 100 percent complete with the 2019 DA annual review.

Impact on City Resources

Facebook is required to pay all costs associated with this review to fully cover the cost of staff time spent on the review of these projects.

Environmental Review

The California Environmental Quality Act (CEQA) requires that activities which meet the definition of a Project be evaluated for their potential impacts on the environment. The Annual Review of the DAs has no potential to result in an impact to the environment and does not meet the definition of a Project under CEQA; as a result, no environmental review or determination is needed. The environmental impacts of the original East and West Campus projects and their associated DAs were evaluated and considered at the time projects were initially approved by the City in 2012, 2013, 2016, and 2017 respectively.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting.

Attachments

- A. Recommended Actions
- B. East Campus Development Agreement One-Time Action Status
- C. East Campus Development Agreement Ongoing Activities Status
- D. East Campus Trip Cap Event Exclusions and Exceedances Log
- E. East Campus Rideshare Survey and Calibration Memo

Report prepared by:

Kyle Perata, Acting Principal Planner

Report reviewed by:

Deanna Chow, Assistant Community Development Director

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Facebook East Campus Development Agreement – Attachment A: Recommended Actions

LOCATION: 1 Hacker Way	PROJECT NUMBER: N/A	APPLICANT: Facebook, Inc.	OWNER: Facebook, Inc.
REQUEST: Make a determination that Facebook has made good faith effort to implement the provisions of the East Campus development agreement during the 2018 DA Review Year.			
DECISION ENTITY: Planning Commission	DATE: April 29, 2019	ACTION: TBD	
VOTE: TBD (Barnes, Doran, Goodhue, Kennedy, Onken, Riggs, Strehl)			
ACTION: <ol style="list-style-type: none">1. Make a finding that the Annual Review of the Development Agreement has no potential to result in an impact to the environment and does not meet the definition of a Project under the California Environmental Quality Act (CEQA).2. Make a finding that Facebook has implemented the provisions of its East Campus Development Agreement and associated amendments during the 2017- 2018 Development Agreement Review Year.			

ATTACHMENT B EAST CAMPUS DEVELOPMENT AGREEMENT ONE TIME ACTIONS OR IMPROVEMENTS				
DA Term	Task/Requirement/Action*	Timeline	Status	Notes
7.1	<u>Capital Improvement.</u> Facebook shall make a one-time payment of One Million One Hundred Thousand Dollars (\$1,100,000) to the City for the City's unrestricted use toward capital improvement projects.	Within 45 days of the satisfaction of the Conditions Precedent* (11/2/12).	Completed	
7.2.1	<u>Bicycle/Pedestrian.</u> Facebook shall perform one-time improvements to the Undercrossing above and beyond those described in the Project; including to the extent appropriate, preserving existing art and/or providing wall surfaces for invited artists to create mural art with the intent to create an "art gallery" experience for the pedestrians/bicyclists using the undercrossing. (See also East Campus CDP, Section 9)	Within 240 days of the satisfaction of the Conditions Precedent* (5/31/13).	Completed	
7.2.2	<u>Bicycle/Pedestrian.</u> Facebook shall perform restriping improvements for bicycle lanes to the following streets on a one-time basis: (a) Willow Road and Middlefield Road intersection.	Within 240 days of the satisfaction of the Conditions Precedent* (5/31/13).	Completed	
	(b) Willow Road and U.S. 101 bridge – Green Lane Bicycle Striping.		Completed	Caltrans has not approved this improvement support these improvements. No further actions are possible, obligation satisfied.
	(c) Willow Road between Hamilton Avenue and Bayfront Expressway.		Completed	
	(d) Willow Road between Newbridge Street and Ivy Drive.		Completed	

* The DA requirements listed here may be summarized; the complete terms are found in the recorded Development Agreement.

**ATTACHMENT B
EAST CAMPUS DEVELOPMENT AGREEMENT
ONE TIME ACTIONS OR IMPROVEMENTS**

DA Term	Task/Requirement/Action*	Timeline	Status	Notes
	(e) Willow Road between O'Keefe Street and U.S. 101 (shared lane markings).		Completed	Caltrans did not approve the proposed improvements. No further action is possible, as a result, this obligation is satisfied.
7.2.3	<u>Bicycle/Pedestrian</u> . Facebook shall have a one-time obligation to investigate the possibility of making crosswalk improvements to the pedestrian crossings at the US 101 and Willow Road interchange.	Within 240 days of the satisfaction of the Conditions Precedent* (5/31/13).	Completed	Caltrans will not allow the proposed improvements. No additional action by Facebook is required.
7.2.4	<u>Bicycle/Pedestrian</u> . Facebook shall perform one-time improvements to publicly accessible walking paths, trails and levees in the immediate vicinity of the Property, subject to approval by the San Francisco Bay Conservation and Development Commission ("BCDC").	Within 240 days of the satisfaction of the Conditions Precedent* (5/31/13).	Completed	
7.3	<u>Business District</u> . Facebook will have a one-time obligation to investigate the possibility of creating a business improvement district in the Willow Road corridor between US 101 and Bayfront Expressway that includes the Property. If the business improvement district is feasible and the adjacent property owners are likewise interested in creating the business improvement district, Facebook shall initiate the process for creating the business improvement district.	Within three years of the satisfaction of the Conditions Precedent* (10/3/15).	Completed	Facebook conducted contacts with potentially effected business owner, there was no interest in establishing a business improvement district. Facebook has completed their obligation.

* The DA requirements listed here may be summarized; the complete terms are found in the recorded Development Agreement.

**ATTACHMENT B
EAST CAMPUS DEVELOPMENT AGREEMENT
ONE TIME ACTIONS OR IMPROVEMENTS**

DA Term	Task/Requirement/Action*	Timeline	Status	Notes
9.1	<u>Housing</u> . Facebook will explore opportunities to invest in low income tax credits for affordable housing projects in the City and the City of East Palo Alto, including partnering with a local non-profit housing developer(s) or contributing funds toward the creation of low, very-low or extremely-low income housing. Facebook shall report the results of its explorations to the City's Community Development Director upon the City's Community Development Director's written request. The decision of whether to make any investments will be in Facebook's sole and absolute discretion.	Prior to February 6, 2026.	Completed	
9.2	<u>Housing</u> . Facebook will contact a local real estate developer or local real estate developers interested in building housing projects in the City. Facebook in concert with the real estate developer(s) will explore ways to support housing projects, including, but not limited to investing capital, committing to leasing units or offering marketing opportunities to Facebook employees. Facebook shall report the conclusions from this collaborative effort to the City's Community Development Director upon the City's Community Development Director's written request. The decision of whether to provide any support will be in Facebook's sole and absolute discretion.	Prior to February 6, 2026.	Completed	Facebook has collaborated with the St Anton's Housing Project and provided funding for Below Market Rate housing units.
11.	<u>Bay Trail Gap</u> . Facebook will work with Bay Trail stakeholders, including, but not limited to Mid-peninsula Regional Open Space District, Association of Bay Area Governments (ABAG), the City of East Palo Alto and the City and County of San Francisco and appropriate members of the business community to close the Bay Trail Gap, commonly known as Gap No. 2092, which terminates at the railroad right-of-way on University Avenue.	Prior to February 6, 2026.	Completed	Facebook has written a letter to support the project and Measure A funds. Funds were received by ABAG. Facebook has indicated that they are committed to providing additional funding, as needed.

* The DA requirements listed here may be summarized; the complete terms are found in the recorded Development Agreement.

**ATTACHMENT B
EAST CAMPUS DEVELOPMENT AGREEMENT
ONE TIME ACTIONS OR IMPROVEMENTS**

DA Term	Task/Requirement/Action*	Timeline	Status	Notes
12.	<u>Utility Undergrounding</u> . Facebook agrees to cooperate with the City in the City's efforts to underground existing electric transmission lines located in the vicinity of the property. However, neither the City nor Facebook will be obligated to provide funding for utility undergrounding.	Prior to February 6, 2026.	Conditional	No undergrounding project was initiated during this annual review period.
15.	<u>Adopt-a-Highway</u> . Facebook will adopt a roadway segment in the vicinity of the Property pursuant to Caltrans' Adopt-A-Highway Program. This commitment will be for a period of five years. If there are no segments available for adoption in the vicinity of the Property, Facebook's obligation shall be deferred until a segment becomes available.	Within 180 days of the satisfaction of the Conditions Precedent* (4/1/13).	Completed	Facebook has adopted the Bike trail along 84 from Dumbarton Bridge to Marsh Road and the Northbound and Southbound Willow/101 ramps. (Additional information is located in Attachment C.)
18.1	<u>Local Purchasing</u> . Facebook shall adopt a program to incentivize Facebook employees to frequent local businesses and continue such program for three years from the Effective Date.	July 5, 2015: Three year duration required from effective date.	Completed	The program operated for the required three year period. (This activity was previously listed as an ongoing action.)
22.1	<u>Sanitary Sewer System Upgrades</u> . Facebook shall purchase a third wastewater pump to be placed into reserve in case of pump failure at the Hamilton Henderson Pump Station. Within 120 days of the Effective Date of this Agreement, Facebook shall purchase a 3-Phase pump as approved by West Bay Sanitary District (WBSD).	Facebook shall post a bond equal to 120 percent of the cost of the wastewater pump within 30 days of the satisfaction of the Conditions Precedent* (11/2/12).	Completed	
22.2	<u>Sanitary Sewer System Upgrades</u> . Facebook shall upsize 114 feet of the existing 12-inch diameter pipeline that runs north along Hamilton Avenue, beginning at the Hamilton/Willow Road intersection, to a 15-inch diameter pipe and apply for a Class 3 permit from WBSD. Facebook shall post a bond equal to 200 percent of the estimated cost of the work within 30 days of the satisfaction of the Conditions Precedent	Within 90 days of the Effective Date of this Agreement (10/3/12)	Completed	

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Conditions Precedent. Facebook's and Owner's obligations are expressly conditioned on the resolution of all legal challenges, if any, to the EIR, the Project Approvals and the Project. If no litigation or referendum is commenced challenging the EIR, the Project Approvals and/or the Project, Facebook's and Owner's obligations will vest 90 days after the Effective Date, with the **effective date being July 5, 2012 and 90 days post that being October 3, 2012**. If litigation or a referendum is commenced challenging the EIR, the Project Approvals and/or the Project, then Facebook's and Owner's obligations will vest on the date of final, non-appealable resolution of all litigation in a manner that is reasonably acceptable to Facebook and Owner or resolution of the referendum in a manner that is reasonably acceptable to Facebook and Owner. The conditions described in this Section 6 shall, collectively, be referred to as the "Conditions Precedent".

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ATTACHMENT C EAST CAMPUS DEVELOPMENT AGREEMENT ONGOING ACTIVITIES				
DA Term	Task/Requirement/Action*	Timeline	Status	Notes
5.	<u>Trip Cap.</u> Facebook shall adhere to the Trip Cap, details included in the Project Approved, and incorporated herein by this reference (CDP Requirement 7).	Within 180 days of CDP Approval.	Completed	The City is receiving regular automated daily reports. City staff reviewed the East Campus trip log to determine the number of exceedances and calculated the associated penalty. The City also reviewed Facebook's proposed modifications to ensure compliance going forward.
8.	<u>Annual Payment.</u> During the term of this Agreement, Facebook and/or Owner shall make an annual payment ("Annual Payment") to the City in lieu of sales tax or other revenue that might otherwise accrue to the City if the Property was occupied by a sales tax producer. Task 8.1.2 is now in effect which requires that in each of the first five years beginning with the first payment on January 1, 2018, the amount of the Annual Payment shall be Nine Hundred Thousand (\$900,000).	Due on July 1 of each year from 2017 to 2021.	Completed	Payment was made on June 11, 2018.
10.	<u>Local Community Fund.</u> Facebook shall create a Local Community Fund ("LCF") in partnership with a non-profit partner to manage and administer the LCF and Facebook shall contribute Five Hundred Thousand Dollars (\$500,000) to the LCF. The purpose of the LCF will be to provide support for local community needs.	Within one year of the satisfaction of the Conditions Precedent* (10/3/13)	Completed	See continuing local community Fund payment under West Campus DA Term 8 on Attachment D.

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**ATTACHMENT C
EAST CAMPUS DEVELOPMENT AGREEMENT
ONGOING ACTIVITIES**

DA Term	Task/Requirement/Action*	Timeline	Status	Notes
13.1	<p><u>Internship Program</u>. Facebook will create a summer intern program for residents of the Ravenswood Elementary School District. The summer intern program will commence with an initial, pilot program, and then later, if successful, may be expanded, in Facebook's sole and absolute discretion, to include more participants and/or subject areas.</p>	No later than summer 2013	Completed	<p>The Seventh Facebook Academy was completed on August 3, 2018. Nineteen students graduated from the six-week program.</p> <p>The students represented the following schools:</p> <ul style="list-style-type: none"> • East Palo Alto Academy • Menlo-Atherton High School • Eastside Prep • Everest Public High School • Summit Prep • Menlo School • Sacred Heart Prep • Middle College @ Cañada College

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13.2	<p><u>Encourage Local Jobs.</u> Facebook will work with a local training program to expand training services for residents of the City and the City of East Palo Alto. Facebook will also create an ongoing quarterly series of career development workshops to commence within one year of the satisfaction of the Conditions Precedent. The workshops will focus on topics such as resume writing, interviewing skills and how to find a job via social media, including Facebook. These workshops will take place in local community centers and/or other neighborhood sites. In addition, within one year of the satisfaction of the Conditions Precedent, Facebook will host a session, promoted in the Belle Haven neighborhood and East Palo Alto, on how to become a Facebook employee and to encourage contractors to hire City residents and residents of the City of East Palo Alto, Facebook will require future vendors to use reasonable efforts to notify residents of the City and the City of East Palo Alto when they are hiring new people to work at the Property in the facilities, culinary and construction trades. Vendors with existing contracts will be encouraged to use reasonable efforts to promote local hiring as openings become available. Facebook will also encourage campus vendors to host sessions on how to become an employee of their organization.</p>	<p>Within one year of the satisfaction of the Conditions Precedent* (10/3/13)</p>	<p>Completed</p>	<p>A Job Fair conducted a series of job workshops and fairs.</p> <p><u>Job Workshops:</u> Jan. (Resumes) –30 Attendees April (Communication) – 50 Attendees May (Resumes) – 20 Attendees June (Interviews) – #1: 20 Attendees, #2: 90 Attendees July (Resumes) – 20 Attendees Aug. (Interviews) – 15 Attendees Sept (Interviews) – 15 Attendees Nov. (Interviews) – 20 Attendees</p> <p><u>Job Fairs:</u> April – Community Fair - 54 Attendees Nov. – Fall Job Fair with EDD – 200+ Attendees</p> <p><u>Results:</u> 18 new FB hires 36 Contractor/Vendor hires 38 received job training and were placed in other jobs</p>
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**ATTACHMENT C
EAST CAMPUS DEVELOPMENT AGREEMENT
ONGOING ACTIVITIES**

DA Term	Task/Requirement/Action*	Timeline	Status	Notes
15.	<u>Adopt-a-Highway</u> . Facebook will adopt a roadway segment in the vicinity of the Property pursuant to Caltrans' Adopt-A-Highway Program. This commitment will be for a period of five years. If there are no segments available for adoption in the vicinity of the Property, Facebook's obligation shall be deferred until a segment becomes available. (Previously identified as a One Time Activity, it has been moved to Ongoing)	Within 180 days of the satisfaction of the Conditions Precedent* (4/1/13).	Completed	<p>1. Bike trail along Highway 84. Litter removal and vegetation control done every three months</p> <p>2. Northbound and Southbound Willow/101 ramps. Litter removal and vegetation control are on hold due to the overpass construction.</p>
16.1	<u>Environmental Education</u> . When performing work that might impact the San Francisco Bay, Facebook will hire an environmental consultant knowledgeable about the San Francisco Bay and associated marsh habitats to ensure that endangered species, particularly the Salt Marsh Harvest Mouse and Clapper Rail, are not harmed.	Prior to February 6, 2026.	Completed	<p>Facebook has retained HT Harvey & Associates to ensure compliance with this requirement.</p> <p>WRA Environmental Consultants hired for bike/ped bridge project.</p>
16.2	<u>Environmental Education</u> . Facebook will cooperate with the Don Edwards San Francisco Bay National Wildlife Refuge ("Refuge") team and related nonprofit groups on habitat protection and restoration adjacent to the Property. Facebook will establish an ongoing, in-house point of contact for the Refuge, nonprofit groups and related agencies to ensure collaborative success.	Prior to February 6, 2026.	Completed	<p>Lauren Swezey continues to be the point of contact, and meets periodically with the various stakeholders (Audubon, Citizens Committee to Complete the Refuge, US Fish & Wildlife/ SFBNW Refuge, South Bay Salt Pond Restoration project, etc.) to discuss FB activities/projects.</p>

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**ATTACHMENT C
EAST CAMPUS DEVELOPMENT AGREEMENT
ONGOING ACTIVITIES**

DA Term	Task/Requirement/Action*	Timeline	Status	Notes
16.3	<p><u>Environmental Education.</u> Facebook will educate employees and visitors about the unique species next to the Property and their habitat requirements. Such education may include installing interpretive signage and/or hosting educational programs.</p>	<p>Prior to February 6, 2026.</p> <ul style="list-style-type: none"> • Earth Week 2018 	Completed	<p>Facebook conducted the following activities:</p> <ol style="list-style-type: none"> 1. Conducted periodic educational tours for our employees with the Audubon Society – First Friday of the month (ongoing throughout 2018). 2. Brought in OneTreePlanted (a nonprofit that supports reforestation) to the MPK 20 Green Roof to teach employees about the importance of reforestation after the fires in Northern California. 3. San Francisco Bay Bird Observatory gave noontime walk in the marshland to talk to employees about endangered species and marsh birds.
16.4	<p><u>Environmental Education.</u> Facebook will engage in "wildlife-friendly" behavior, such as: (a) adopting policies requiring the trapping and removal of feral cats and the leashing of dogs when using trails located on the Property, (b) employing wildlife-safe rodent control measures, and (c) encouraging beneficial species.</p>	Prior to February 6, 2026.	Completed	<ol style="list-style-type: none"> 1. Feral Cat Trapping on the Levee Trail occurred in March, June, September and December. No feral cats were caught. 2. FB is using the least toxic approaches to rodent control, and do not trap for rodents near the bay trail.

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**ATTACHMENT C
EAST CAMPUS DEVELOPMENT AGREEMENT
ONGOING ACTIVITIES**

DA Term	Task/Requirement/Action*	Timeline	Status	Notes
				3. FB is planting beneficial plant species growth on the bay trail through hand weeding and by avoiding removal of native plants.
17.1	<u>On-going Environmental Commitments.</u> When performing landscape improvements, Facebook and/or Owner will minimize (or require the minimization of) potential stormwater runoff through the use of appropriate techniques, such as grassy swales, rain gardens and other Low Impact Development (LID) measures.	Prior to February 6, 2026.	Conditional	Facebook has not initiated any landscape improvements which would trigger this requirement.
17.2	<u>On-going Environmental Commitments.</u> If Facebook and/or Owner installs at the Property new windows or new window treatments on windows facing the parking lot or the San Francisco Bay, Facebook and/or Owner will select (or require the selection of) windows and window treatments that minimize impacts of light pollution and risk of collision to birds. If Facebook and/or Owner installs new lighting in the parking lot at the Property, Facebook and/or Owner will use (or require the use of) then available best practices to design and shield that new lighting so as to confine direct rays to the Property and not out into the adjacent areas of the San Francisco Bay.	Prior to February 6, 2026.	Conditional	Facebook has not initiated the replacement of any new windows which would trigger this requirement.

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**ATTACHMENT C
EAST CAMPUS DEVELOPMENT AGREEMENT
ONGOING ACTIVITIES**

DA Term	Task/Requirement/Action*	Timeline	Status	Notes
17.3	<u>On-going Environmental Commitments.</u> Except for the existing basketball court, Facebook and/or Owner will not create (or permit the creation of) any lighted playing field on the perimeter of the site that abuts the San Francisco Bay. Facebook and/or Owner will require the lights on the existing basketball court to be controlled so that the court is dark except when in use.	Prior to February 6, 2026.	Conditional	Facebook has not initiated any lighting improvements which would trigger this requirement.
17.4	<u>On-going Environmental Commitments.</u> If Facebook and/or Owner installs new building roofs, window ledges, parking lot light poles or landscaping changes, Facebook and/or Owner will use (or require use of) then available best practices to ensure that the new building roofs, window ledges, parking lot light poles or landscaping changes do not create sites for predatory bird species to roost or nest.	Prior to February 6, 2026.	Conditional	Facebook has not initiated any improvements which would trigger this requirement.
17.5	<u>On-going Environmental Commitments.</u> When performing landscape improvements to those portions of the Property that abut the San Francisco Bay, Facebook and/or the Owner will consult with (or require consultation with) a qualified environmental consultant familiar with California native plant communities and select (or require the selection of) suitable native plants for landscaping.	Prior to February 6, 2026.	Completed	Facebook continues to utilize landscape architects and wildlife biologists from HT Harvey & Associates on all exterior landscape renovations.

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**ATTACHMENT C
EAST CAMPUS DEVELOPMENT AGREEMENT
ONGOING ACTIVITIES**

DA Term	Task/Requirement/Action*	Timeline	Status	Notes
18.2	<u>Local Purchasing</u> . When purchasing goods that can be sourced locally, Facebook shall endeavor to purchase goods from vendors located in the City if the quality, price, terms and conditions are competitive.	Prior to February 6, 2026.	Completed	<p>According to Facebook, the following are some of the local businesses were patronized.</p> <p>In Menlo Park: American Printing, Back-A-Yard, BrightView Landscape Services, Inc., Cafe Borrones, Cafe Zoe, Dashi, Donut Delite, Eric's Gourmet Food & Catering, Five Star Pizza, Jonathan's Fish & Chips, Lulu's Mexican Food, Mi Taqueria, SAJJ Mediterranean, Starbucks, Togos, and Willows Market.</p> <p>In East Palo Alto: Cardenas Market, Mi Cazuela, and Three Brothers Tacos.</p>
18.3	<u>Local Purchasing</u> . When engaging vendors to provide on-site services to employees (e.g., chiropractic services), Facebook shall endeavor to engage vendors that are located in the City if their services satisfy Facebook's needs and the quality, price, terms and conditions are competitive.	Prior to February 6, 2026.	Completed	Facebook indicates that they continue to evaluate all local vendors and hire locally when feasible. Many are smaller vendors that have difficulty managing large scale projects.
18.4	<u>Local Purchasing</u> . If the Menlo Gateway project is developed, Facebook will consider adding the hotel built as part of that project to its list of preferred hotels for visitors.	Prior to February 6, 2026.	Completed	The hotel in the Menlo Gateway Project is open and employees are using the restaurant and hotel facility. This hotel is FB's preferred hotel.

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**ATTACHMENT C
EAST CAMPUS DEVELOPMENT AGREEMENT
ONGOING ACTIVITIES**

DA Term	Task/Requirement/Action*	Timeline	Status	Notes
19.	<p><u>Transportation Demand Management Information Sharing.</u> To help mitigate regional traffic, Facebook agrees to share its Transportation Demand Management best practices with other interested Silicon Valley companies that request such information from Facebook.</p>	Ongoing through to February 6, 2026.	Completed	The Transportation Team regularly shares information through the Bay Area Council or Silicon Valley Leadership Group. At other times, they share directly with their TDM peers at other companies.
20.	<p><u>Volunteerism.</u> Facebook will actively promote local volunteer opportunities in the City and the City of East Palo Alto to all its employees. Such promotion shall include the creation of an internal Facebook page for the posting of volunteer opportunities. Facebook will host a "Local Community (Non-Profit) Organization Fair" on the Property.</p>	Annually through February 6, 2026.	Completed	Facebook held a Local Community Organization (Volunteer) Fair held on campus for employees on Nov 27, 2018. Sixteen local nonprofits visited campus and had interactions with about 115 employees. Rainy weather limited the turn out since the Fair had to be held indoors.

Conditions Precedent. Facebook's and Owner's obligations are expressly conditioned on the resolution of all legal challenges, if any, to the EIR, the Project Approvals and the Project. If no litigation or referendum is commenced challenging the EIR, the Project Approvals and/or the Project, Facebook's and Owner's obligations will vest 90 days after the Effective Date, with the **effective date being July 5, 2012 and 90 days post that being October 3, 2012**. If litigation or a referendum is commenced challenging the EIR, the Project Approvals and/or the Project, then Facebook's and Owner's obligations will vest on the date of final, non-appealable resolution of all litigation in a manner that is reasonably acceptable to Facebook and Owner or resolution of the referendum in a manner that is reasonably acceptable to Facebook and Owner. The conditions described in this Section 6 shall, collectively, be referred to as the "Conditions Precedent".

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ATTACHMENT D

Revised 4/9/2019

Exclusion/Penalty	Date	Time	Trip Cap Limit	# of Trips - Reliability Factor Adjustment + Rideshare Trips	Overage (Including Rideshare Trips)	Estimated Penalty	Event Exclusion Information
Event Exclusion 1	6/22/2017	Daily	15,673				Included in 2017 Report.
Event Exclusion 2	7/13/2017	Daily	15,673				Included in 2017 Report.
Event Exclusion 3	7/18/2017	Daily	15,673				Included in 2017 Report.
Non-Event Exclusion A1	7/20/2017	Daily	15,673				
Event Exclusion 4	8/10/2017	Daily	15,673				Included in 2017 Report.
Event Exclusion 5	8/17/2017	Daily	15,673				Included in 2017 Report.
Event Exclusion 6	10/17/2017	Daily	15,673				Included in 2017 Report.
Event Exclusion 7	12/8/2017	Daily	15,673				Included in 2017 Report.
1/16/2018							
3 Non-Event Exclusions Replenish (180 days with 3 or less violations)							
Non-Event Exclusion B1	3/30/2018	PM Peak	2,634	2,638	4		
Non-event Exclusion B2	6/1/2018	AM Peak (8-9)	1,316	1,349	33		
Event Exclusion 8	6/6/2018	AM Peak (8-9)	1,316	1,322	6		1. 6th Annual Half-Marathon 8:00 AM - 12:00 PM - 850 participants Description: An annual Facebook run half-marathon, 10K, and 5K to support local charity, The Fit Kids Foundation.
Event Exclusion 9	6/8/2018	PM Peak (5-6)	1,310	1,349	39		1. Disney@FB presents "The Incredibles (2004)" Movie Screening 5:00 PM - 7:00 PM - 55 attendees. Description: Screening of "The Incredibles (2004)" in anticipation of the upcoming "Incredibles 2 (2018)" premiere for families and friends.
Event Exclusion 10	6/21/2018	AM Peak (8-9)	1,316	1,330	14		1. ACM SIGCAS Compass Conference 7:30 AM - 6:30 PM - 250 attendees Description: Conference on Computing and Sustainable Societies for academic graduates and undergraduates students. Day 1 of a 2 day event.
6/22/2018							
1 Event Exclusion regained - Event Exclusion 10 regained.							
Event Exclusion 10 ¹	6/22/2018	AM Peak (8-9)	1,316	1,330	14		1. ACM SIGCAS Compass Conference 7:30 AM - 6:30 PM - 250 attendees Description: Conference on Computing and Sustainable Societies for academic graduates and undergraduates students. Day 2 of a 2 day event.
	6/22/2018	PM Peak (5-6)	1,310	1,329	19		
Non-Event Exclusion B3	6/29/2018	PM Peak (5-6)	1,310	1,411	101		
PENALTY	7/6/2018	PM Peak (5-6)	1,310	1,344	34	\$2,024.93	
PENALTY	7/10/2018	PM Peak (5-6)	1,310	1,328	18	\$1,034.82	
7/13/2018							
7/18/2018							
2 Event Exclusions regained - Event Exclusion 10 and 11 regained.							
Event Exclusion 10 ²	7/20/2018	PM Peak (5-6)	1,310	1,346	36		1. Camp Hakathona - 7/18, 11:00 AM - 7/20, 5:00 PM - 50 attendees Description: A 3 day overnight hackathon including classes on using a risograph, 3D printing, and food.
Event Exclusion 11	7/26/2018	AM Peak (8-9)	1,316	1,464	148		1. ASIS YP Event 4:00 PM - 7:00 PM - 100 attendees Description: A chance for ASIS YP members to mix and mingle (security professionals).
	7/26/2018	Daily	15,673	16,203	530		

	7/26/2018	PM Peak (5-6)	1,310	1,327	17		2. All Hands Meeting 10:00 AM - 11:30 AM - 2,500 attendees Description: Company-wide All Hands in the courtyard. 3. National Intern Day Celebration 4:00 PM - 6:00 PM - 100 attendees Description: Party and cocktail hour for National Intern Day. 4. TalentCamp #3 8:00 AM - 5:00 PM - 80 attendees Description: TalentCamp is a global program for recruiters from North and South America that takes place
PENALTY	7/27/2018	Daily	15,673	16,014	341	\$20,069.85	
	7/27/2018	PM Peak (5-6)	1,310	1,446	136		
PENALTY	7/31/2018	AM Peak (8-9)	1,316	1,346	30	\$1,747.84	
PENALTY	8/2/2018	AM Peak (8-9)	1,316	1,311	23	\$1,370.74	
PENALTY	8/3/2018	PM Peak (5-6)	1,310	1,502	192	\$11,285.36	
8/10/2018							
1 Event Exclusion regained - Event Exclusion 11 regained.							
PENALTY	8/10/2018	AM Peak (8-9)	1,316	1,313	25	\$1,480.16	
	8/10/2018	PM Peak (5-6)	1,310	1,402	92	\$5,402.95	
PENALTY	8/13/2018	AM Peak (8-9)	1,316	1,335	47	\$2,738.54	
8/17/2018							
1 Event Exclusions regained - Event Exclusion 10 regained.							
PENALTY	8/17/2018	AM Peak (8-9)	1,316	1,319	31	\$2,144.35	
	8/17/2018	PM Peak (5-6)	1,310	1,316	6		
PENALTY	10/11/2018	AM Peak (8-9)	1,316	1,294	6	\$331.21	
PENALTY	10/12/2018	PM Peak (5-6)	1,310	1,325	15	\$860.09	
PENALTY	10/25/2018	AM Peak (8-9)	1,316	1,300	12	\$714.20	
10/17/2018							
1 Event Exclusions regained - Event Exclusion 9 regained.							
Event Exclusion 9 ¹	11/12/2018	AM Peak (8-9)	1,316	1,332	44		1. Bay Area Council TMA Panel 9 AM - 11 AM - 90 attendees Description: Panel discussion re: establishment of a regional transportation management association. Expect 75 - 100 visitors, including local government leadership - Peninsula and some East Bay cities.
12/8/2018							
1 Event Exclusions regained - Event Exclusion 9 regained.							

Tier 1 Penalty	\$58.83	\$51,205.04
Tier 2 Penalty	\$117.68	
Tier 3 Penalty	\$235.35	

Managed Ride Hailing

Problem Statement

Ride hailing vehicles picked up and dropped off passengers at any point on the Facebook Menlo Park site creating unsafe circulation conflicts, congestion on our campus as well as unnecessary street traffic. It is difficult for the transportation program services with centralized pick up and drop off locations to compete with level of convenience offered by free form ride hailing. As a result of the demand for ride hailing, large numbers of vehicles would stage throughout our sites, in particular the East Campus, to wait for nearby ride requests.

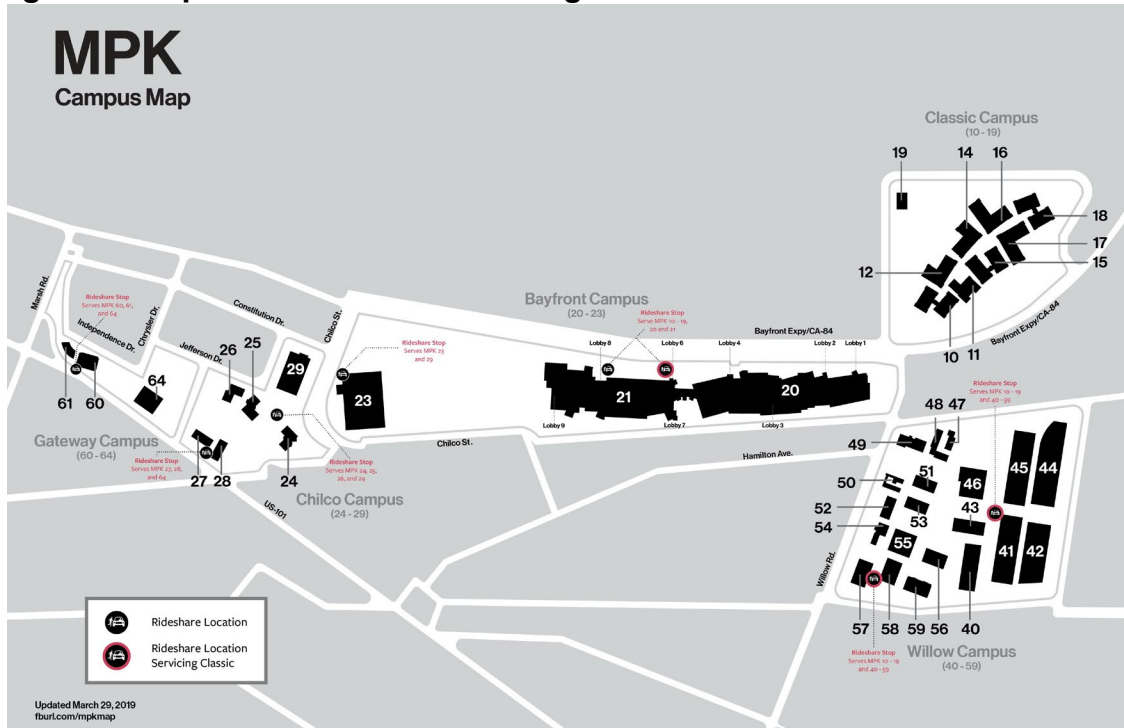
Objectives:

1. Address the rising safety issues for our people on our campuses that resulted from the conflict between ride hailing vehicles, bicyclists, pedestrians and other vehicles.
2. Reduce traffic congestion on campus and in the neighborhood that was a direct result of staging for non-Facebook related business and free flow ride hailing.
3. Discourage use of ride hailing services for commuting to encourage participation in Facebook Transportation programs and services.

Scope

Transportation worked with the ride hailing companies to introduce strict geofencing, similar to airports, to prohibit pick up and drop off anywhere other than approved centralized locations. Implemented August 1, 2018, all ride hailing services were managed through 8 ride lounges throughout Facebook in Menlo Park. As shown in the map below, ride hailing services are prohibited from the East Campus (Classic Campus) and building 20.

Figure 1: Map of Facebook Ride Lounges



Evidence

Before Centralization:

Methodology: Facebook Transportation personnel were posted at 3 entrance locations (See Figure 4 below) throughout the day on the East Campus from March 15-29th to count all vehicles with an Uber or Lyft identifier.

Results: From March 15-29, 2018, an average of over 730 ride hailing vehicles were observed serving Classic Campus alone.

After Centralization:

Methodology: With eight (8) staffed ride lounges receiving all ride hailing services on campus, we track every vehicle arriving.

Results: From February 27-March 11, 2019, an average of only 460 ride hailing vehicles were observed throughout the *entire Facebook Menlo Park site* as compared to 730 vehicles on East Campus alone prior to the centralization.

Figure 2: Total Average Daily Uber/Lyft Trips Observed

Location	# of Uber/Lyft Vehicles/Day	Estimated Trips Generated
MPK 21	138	276
MPK 27	87	174
MPK 41	54	108
MPK 58	101	202
MPK 61	80	160

Trips to East Campus:

Methodology: With eight (8) staffed ride lounges receiving all ride hailing services on campus, we track every vehicle arriving. Our attendants asked every passenger their destination and recorded all vehicles with people destined for the East Campus.

Results: As shown in Figure 1 above, we found that the ride lounges at building 21.6 on the “West Campus”, and buildings 41 and 58 on the “Willow Campus” received vehicles with a final destination of the East Campus. As seen in Figure 3 below, from February 27-March 11, 2019, a daily average of seventy-five (75) vehicles were destined for East Campus as compared to 730 vehicles prior to the centralization.

Figure 3: Average Daily Uber/Lyft Trips to East Campus

Time Period	Avg # of Vehicles	Estimated Trips
Daily	75	150
7 AM - 8 AM	3.1	6.2
8 AM - 9 AM	14.2	28.4
4 PM - 5 PM	1.1	2.2
5 PM - 6 PM	0	0

Figure 4: Uber & Lyft Observation Locations in March 2018



Impact to Trip Compliance

Historic

Facebook Transportation will apply the estimated trips identified in Figure 3 above to the daily and peak observed trips to recognize all of the vehicle trips generated by activities on the East Campus.

Future

Facebook will include in its annual trip count adjustment studies an effort to measure and document a method for recognizing the ride hailing trips destined for the East Campus within the trip adjustment methodology. This will result in an increase or reduction for the equipment errors (as identified by the annual study), a reduction for the trip credits (u-turns, Bay Trail, Thumbs Up sign visits, etc.), and an increase for the diverted ride hailing trips.



MEMORANDUM

Date: 3/18/2019
To: Commission Members
From: Nick Pegueros, Assistant City Manager
Re: City Council Work Plan Transmittal and Capital Improvement Program (CIP) process update

The City Council established its 2019 work plan earlier this month. The work plan is the guiding document for the initiatives and projects staff will be working on throughout the next 12-18 months.

CIP budget project prioritization

The CIP contains nearly 80 distinct capital improvement projects; many carried over from prior years that are underway. New for 2019, staff categorized the approved projects in relative priority based on several factors as outlined in Attachment A. Tier 1 indicates that a project will receive the highest relative priority for staff and consultant resources. Tiers 2 and 3, respectively, indicates that a project will receive significant resources only after the higher tier projects have received the necessary resources. Tier N/A indicates that a project is not currently competing for resources. Staff is committed to completing the projects outlined in the CIP budget, regardless of tiers.

2019 top priorities

As part of the annual goal setting process, the City Council identified its top priorities for the year. As a “top priority” project, staff will strategically realign all available resources necessary to achieve the milestones outlined in the project description. If there is a challenge meeting major milestones for a top priority project, staff may choose to strategically defer work on other projects to keep the top priority project on schedule, to the greatest extent possible. While the focus will be on the top priority projects, staff will continue to work diligently on all the projects included in the work plan. Also, staff will continue to work on the CIP and deliver daily services to the community. The City Council’s top priority projects are as follows:

- Transportation master plan (lead department: public works)
- Chilco Street improvement project (lead department: public works)
- Middle Avenue pedestrian and bicycle rail crossing (lead department: public works)
- Heritage tree ordinance update (lead department: city manager’s office)
- Belle Haven Branch library (lead department: library)

2019 work plan

In addition to the top priorities, the annual goal setting process identifies a number of other projects of importance to the City Council for work in 2019. The 2019 work plan contains of the following projects:

- Formation of a transportation management association
- El Camino Real/ Downtown specific plan update

- Market affordable housing preservation
- Short-term rental ordinance
- Single-Family residential design review
- Develop and implement near-term downtown parking and access strategies
- Zero waste implementation
- Implement the information technology master plan (year 2; land management)

CIP process update

As part of the annual budget development process, the City updates its Five-Year Capital Improvement Plan (CIP), even though only the first year of CIP is funded by Council. The CIP typically represents recommendations for short- and long-range public investment in infrastructure development, maintenance, improvement and acquisition. The CIP provides a link between the City's various master planning documents, and various budgets and funding sources, and provides a means for planning, scheduling, funding and implementing capital projects over the next five years. Typically, a capital project is defined as a project costing more than \$75,000.

At this time, we do not intend to add additional items to the CIP for funding beyond those identified during the 2019 work plan development. The focus for the year is the Council approved work plan. It is important to note that some of the items in the work plan are not currently funded and they will be proposed as part of the upcoming budget for Fiscal Year 2019-20. There may be a few CIP items added for funding in FY 2019-20, but they will mainly be based on legal requirements. Other items that were previously listed in the CIP for FY 2019-20 and not included in the Council work plan may be shifted to the next fiscal year.

Commission considerations

The CIP process should be a continuous discussion. It is important for the commissions to continually think about projects throughout the year and to discuss the merits of those projects including how they fit into the overall master plans within the City. The Council will be provided regular updates on the work plan items throughout the year. These updates can serve as an opportunity and check in for the commissions to discuss any future projects that might be important to the City in the context of master plans and issues that arise.

Thank you, as always, for your valuable support of the Council's efforts to meet their goals of responsible fiscal management of the City's resources and infrastructure.

Attachments

- A. City Council adopted Capital Improvement Project Prioritization for 2019
- B. City Council adopted fiscal year 2019-20 budget principles and 2019 priorities and work plan Web link:
<https://www.menlopark.org/DocumentCenter/View/20838/G3---20180312-Work-plan-SR-CC>
- C. City Budget Web Link:
<https://www.menlopark.org/ArchiveCenter/ViewFile/Item/8539>



MEMORANDUM

Date: 2/21/2019
To: Starla Jerome-Robinson, City Manager
From: Justin Murphy, Public Works Director
Re: CIP Prioritization

This memo is a follow up item outlined in the January 29, 2019 staff report regarding the 2019 Council policy priorities and work plan (Staff Report #19-018-CC). This memo transmits a comprehensive listing of how staff is prioritizing almost 80 City Council adopted Capital Improvement Program (CIP) projects. The attachment includes annotated tables excerpted from the City Council adopted fiscal year 2018-19 budget for the 5-Year CIP.

Funding for particular CIP projects can be traced back as far as Fiscal Year 2003-2004. Many CIP projects are annual or biannual programs (e.g., Street Resurfacing), and the CIP Budget serves as the tool for funding those programs. Other CIP projects involved multiple phases with funding allocated over multiple years (e.g., Emergency Water Storage/Supply). Assuming that every project that is currently funded is considered a priority, it is then a matter of relative priority. In order to communicate the relativity to help inform the Council's goal setting, staff established a system with three tiers – 1, 2, and 3 – with 1 being the highest relative priority and 3 being the lowest relative priority. Priority considerations are generally based on the following along with available staffing:

- Regulatory compliance
- Public safety
- Preservation of city assets
- Improved efficiencies
- Grant funding timelines
- First in, first out

Staff applied these prioritization tiers to each currently funded projects within the seven established subject matter categories in the CIP Budget. Each category serves as a good proxy for the availability of eligible funding sources and staff skill sets that are required to execute on applicable projects. Projects that are complete as of February 2019 or have not yet been funded are labeled as not applicable (N/A) for terms of the prioritization. The following table summarizes how many projects are in the various tiers for each category and the applicable pages in the CIP Budget for project descriptions and funding sources.

At the February 2, 2019 goal setting session, staff sought the City Council's confirmation that the prioritization outlined in this memo reflects the City Council's priorities. As a result of that meeting and follow up considerations, tiers for three projects were modified: Chrysler Pump Station Improvements (moved from Tier 2 to Tier 1), Welcome to Menlo Park Monument Signs (moved from Tier 3 to Tier 2), and Downtown Parking Structure Study (moved from Tier 2 to Tier 3 to accommodate development of near-term parking strategies and advancing the monument signs).

Table 1: Project summary							
Category	CIP budget	Priority			Subtotal	N/A	Total
		Tier 1	Tier 2	Tier 3			
City buildings and systems	113-121	4	3	4	11	5	16
		36%	27%	36%	100%		
Environment	123-126	2	2	1	5	0	5
		40%	40%	20%	100%		
Parks and recreation	127-134	3	3	3	9	5	14
		33%	33%	33%	100%		
Stormwater	135-139	1	4	1	6	1	7
		17%	67%	17%	100%		
Streets and sidewalks	141-148	3	4	3	10	3	13
		30%	40%	30%	100%		
Traffic and transportation	149-158	4	6	6	16	1	17
		25%	38%	38%	100%		
Water	159-163	2	2	1	5	2	7
		40%	40%	20%	100%		
Total		19	24	19	62	17	79

City Buildings & Systems



CITY BUILDINGS & SYSTEMS

The City's aging facilities require both regular maintenance and more substantive system replacements. Projects included under the City Buildings and Systems CIP category focus on improvements to existing City-owned facilities and the construction of new buildings. These improvements allow the City to continue to maintain and enhance services to the community.

This category also includes funding for upgrades to the City's systems such as information technology. This category of the CIP is least likely to be eligible for outside funding, with the exception of donations, and therefore is fully funded by transfers from the General Fund.

	Priority	Projected Carryover	2018-19 NEW FUNDS	Future Funding Needs (unfunded)			
				2019-20	2020-21	2021-22	2022-23
CITY BUILDINGS & SYSTEMS							
Belle Haven Youth Center Improvements	Tier 1	-	\$200,000	-	-	-	-
Burgess Pool Lobby Renovation	N/A	-	-	-	125,000	-	-
City Buildings (Minor)	Tier 2	642,930	500,000	500,000	500,000	500,000	500,000
City Buildings HVAC Modifications	Tier 3	125,000	420,000	-	-	-	-
Corporation Yard Master Plan	N/A	-	-	-	-	100,000	-
Cost of Service/Fee Study	N/A	48,187	-	-	-	100,000	-
Facilities Maintenance Master Plan	Tier 3	150,000	-	-	-	-	-
Fire Plans and Equipment Replacement for City Builc	Tier 1	60,442	115,000	-	-	-	-
Furniture Replacement	Tier 3	-	400,000	-	-	-	-
Gate House Fence Replacement	Tier 3	120,000	-	-	-	-	-
Information Technology Master Plan and Implementation	Tier 1	2,940,809	-	1,250,000	1,250,000	1,250,000	1,250,000
Library System Improvement: Belle Haven Branch Li	Tier 1	36,807	450,000	-	-	-	-
Library System Improvement: Main Library	Tier 2	140,220	-	-	-	-	-
Onetta Harris Community Center Gymnasium Floor Replacement	N/A	-	-	300,000	-	-	-
Onetta Harris Community Center Multipurpos Room Renovation	N/A	-	-	150,000	-	-	-
Police Parking Lot Security	Tier 2	31,027	-	-	-	-	-
Subtotal		\$4,295,422	\$2,085,000	\$2,200,000	\$1,875,000	\$1,950,000	\$1,750,000

Environment



ENVIRONMENT

The Environment CIP provides for a variety of projects and programs to further the City’s environmental sustainability initiatives, including those in the City Council adopted Climate Action Plan. This category of the CIP is primarily supported by the General Fund. However, initiatives pertaining to solid waste are funded through refuse rates.

	Priority	Projected Carryover	2018-19 NEW FUNDS	Future Funding Needs (unfunded)			
				2019-20	2020-21	2021-22	2022-23
ENVIRONMENT							
Climate Action Plan	Tier 2	\$203,057	\$100,000	\$100,000	\$100,000	\$100,000	\$100,000
Electric Vehicle Chargers at City Facilities	Tier 2	-	200,000	400,000	-	-	-
Heritage Tree Ordinance Program Evaluation	Tier 1	63,338	-	-	-	-	-
Sea Level Rise Resiliency Plan	Tier 3	-	150,000	-	-	-	-
Trash and Recycling Strategic Plan	Tier 1	59,764	-	-	-	-	-
Subtotal		\$326,159	\$450,000	\$500,000	\$100,000	\$100,000	\$100,000

Parks & Recreation



PARKS & RECREATION

The Parks & Recreation CIP provides for a variety of projects and programs to meet the recreational needs of the community. In fiscal year 2018–19, the City anticipates conclusion of a comprehensive Parks & Recreation Master Plan. Based on public input, the Plan will recommend improvements and initiatives to the City’s parks and recreation facilities to continue to meet the needs of the community and program users.

This category of the CIP is primarily supported by the General Fund. However, voter approved Measure T General Obligation authority permits the City to issue a third tranche of debt to help finance the Parks & Recreation Master Plan initiatives. In addition, certain capital projects may qualify to use Recreation In-Lieu impact fees imposed on new development. Finally, due to the relationship of the Bedwell Bayfront Park and the former landfill, certain projects may have access to funds collected through refuse rates to maintain the landfill.

	Priority	Projected Carryover	2018-19 NEW FUNDS	Future Funding Needs (unfunded)			
				2019-20	2020-21	2021-22	2022-23
PARKS & RECREATION							
Aquatic Center Maintenance (annual)	Tier 2	\$99,068	\$400,000	\$400,000	\$400,000	\$400,000	\$400,000
Bedwell Bayfront Park Collection and Leachate Systems Repair	Tier 1	4,174,123	-	-	-	-	-
Bedwell Bayfront Park Master Plan Implementation	N/A	-	-	4,000,000	-	-	-
Belle Haven Pool Master Plan Implementation	N/A	-	-	370,000	-	-	-
Civic Center Campus Improvements	Tier 3	100,000	-	500,000	500,000	500,000	-
Jack Lyle Park Restroom	N/A	588,146	-	-	-	-	-
Library Landscaping	N/A	436,743	-	-	-	-	-
Park Improvements (Minor)	Tier 2	129,294	200,000	200,000	200,000	200,000	200,000
Park Pathways Repairs	Tier 3	-	200,000	500,000	500,000	500,000	500,000
Park Playground Equipment	Tier 1	1,000,000	-	500,000	550,000	-	-
Parks and Recreation Master Plan Update	Tier 1	187,263	-	-	-	-	-
Sport Field Renovations	N/A	-	-	300,000	300,000	300,000	300,000
Tennis Court Maintenance	Tier 2	120,000	120,000	120,000	120,000	120,000	120,000
Willow Oaks Park Improvements	Tier 3	536,481	375,000	-	-	-	-
Subtotal		\$7,371,118	\$1,295,000	\$6,890,000	\$2,570,000	\$2,020,000	\$1,520,000

Stormwater



STORMWATER

The Stormwater CIP consists of projects and programs required to address the impacts of flooding in the watershed and stormwater water quality. These projects involve improvements that address localized drainage issues and larger interagency efforts to address flooding concerns associated with San Francisquito Creek, the Bayfront Canal and the Atherton Channel. In addition, projects in this category may be required to meet National Pollution Elimination Discharge

System (NPDES), an unfunded mandate to minimize debris and pollutants discharged to San Francisco Bay. This category of the CIP is solely supported by the General Fund and future demand for funds is unknown. Other possible funding strategies for these projects include grants, as well as the development of benefit assessment districts that can pay for improvements in specific sections of the City where more investment needs have been identified.

	Priority	Projected Carryover	2018-19 NEW FUNDS	Future Funding Needs (unfunded)			
				2019-20	2020-21	2021-22	2022-23
STORMWATER							
Bayfront Canal and Atherton Channel Flood Protection	Tier 2	\$442,309	-	-	-	-	-
Chrysler Pump Station Improvements	Tier 1	6,027,976	-	-	-	-	-
Green Infrastructure Plan	Tier 1	142,598	100,000	-	-	-	-
San Francisquito Creek Flood Reduction and Restoration	Tier 2	250,000	-	-	-	-	-
San Francisquito Creek Upstream of 101 Flood Protection	Tier 2	120,007	-	-	-	-	-
Stormwater Master Plan	Tier 3	-	350,000	-	-	-	-
Willow Place Bridge Abutment Repairs	N/A	-	-	250,000	-	-	-
Subtotal		\$6,982,890	\$450,000	\$250,000	-	-	-

Streets & Sidewalks



STREETS & SIDEWALKS

The Streets and Sidewalks CIP projects maintain and improve the City’s roadways, City-owned parking plazas, and sidewalks. This category of the CIP is supported by a variety of sources including

funds from the State of California, impact fees, parking permit sales, special gas tax levies, and countywide sales tax levies.

STREETS AND SIDEWALKS	Priority	Projected Carryover	2018-19 NEW FUNDS	Future Funding Needs (unfunded)			
				2019-20	2020-21	2021-22	2022-23
Chilco Street and Sidewalk Installation	Tier 1	\$43,120	-	-	-	-	-
Downtown Parking Structure Study	Tier 3	720,718	-	-	-	-	-
Downtown Parking Utility Underground	Tier 3	-	200,000	500,000	-	5,000,000	-
Downtown Streetscape Improvement	Tier 3	303,288	-	100,000	-	-	-
Oak Grove Safe Routes to School and Green Infrastructure	Tier 1	615,000	-	-	-	-	-
Parking Plaza 7 Renovations	N/A	-	-	200,000	2,000,000	-	-
Parking Plaza 8 Renovations	N/A	-	-	200,000	-	2,000,000	-
Santa Cruz and Middle Avenues Resurfacing	Tier 2	212,533	-	2,300,000	-	-	-
Sharon Road Sidewalk Installation	Tier 2	-	935,000	-	-	-	-
Sidewalk Repair Program	Tier 2	7,371	500,000	500,000	500,000	500,000	500,000
Street Resurfacing Project	Tier 1	2,899,424	4,200,000	1,100,000	6,500,000	1,100,000	6,500,000
Welcome to Menlo Park Monument Signs	Tier 2	-	180,000	400,000	-	-	-
Willow Oaks Park Bicycle Connector	N/A	-	-	500,000	-	-	-
Subtotal		\$4,801,454	\$6,015,000	\$5,800,000	\$9,000,000	\$8,600,000	\$7,000,000

Traffic & Transportation



TRAFFIC & TRANSPORTATION

The Traffic and Transportation CIP provides for projects that improve multi-modal access and safety and manage the flow of traffic on City streets. Regional projects for which the City is an active partner, such as the Willow Road and US Highway 101 interchange, are also included. This category of the Capital Improvement Plan is supported by a variety of sources including funds from the State of California, impact fees, special gas tax levies, and countywide sales tax levies.

Many of these projects are also supported by funds in the annual operating budget for routine maintenance of traffic signals, signs, and street markings, and for transportation planning efforts, such as the Safe Routes to Schools program. This category is also heavily supported by local, regional and state grant funding opportunities, such as competitive programs for bicycle and pedestrian improvements, railroad safety improvements, and traffic management strategies.

	Priority	Projected Carryover	2018-19 NEW FUNDS	Future Funding Needs (unfunded)			
				2019-20	2020-21	2021-22	2022-23
TRAFFIC & TRANSPORTATION							
Bayfront Expressway, Willow Road & Marsh Road Adaptive Signal	Tier 2	\$266,046	-	-	-	-	-
Carlton Ave, Monte Rosa Dr, & N. Lemon Ave Traffic Calm	Tier 3	125,000	-	-	-	-	-
Dumbarton Rail Corridor Planning Support	Tier 3	20,219	-	-	-	-	-
El Camino Real Crossings Improvements	Tier 3	324,650	-	-	-	-	-
Haven Avenue Streetscape Improvement	Tier 2	706,138	-	-	-	-	-
Middle Avenue Caltrain Crossing Study Design & Construction	Tier 1	463,725	1,100,000	-	9,900,000	-	-
Middlefield Road and Linfield Drive Santa Monica Avenue Crosswalk Improvements	N/A	-	-	80,000	880,000	-	-
Oak Grove, University, Crane Bicycle Improvement Project	Tier 2	66,691	-	-	-	-	-
Pierce Road Sidewalk and San Mateo Drive Bike Route Installation	Tier 2	-	1,007,000	-	-	-	-
Ravenswood Avenue/Caltrain Grade Separation	Tier 1	33,605	-	-	25,000,000	-	-
Traffic Signal Modifications	Tier 3	290,000	350,000	350,000	350,000	350,000	350,000
Transit Improvements	Tier 2	84,577	-	-	-	-	-
Transportation Master Plan	Tier 1	54,157	-	-	-	-	-
Transportation Projects-Minor	Tier 2	75,000	150,000	150,000	150,000	150,000	150,000
Willow Road Transportation Study	Tier 3	159,692	-	-	-	-	-
Willow/101 Interchange	Tier 1	101,721	-	-	-	-	-
Willows Neighborhood Complete streets	Tier 3	300,000	-	-	-	-	-
Subtotal		\$3,071,221	\$2,607,000	\$580,000	\$36,280,000	\$500,000	\$500,000

Water



WATER

Water CIP projects improve the delivery of safe drinking water to those residents served by the City’s municipal water service. This category of the CIP is supported by water ratepayers and capacity charges paid by new connections to the water system. Other possible funding strategies for these projects include grants,

the issuance of water revenue bonds, State low interest loans, as well as the development of benefit assessment districts that can pay for improvements in specific sections of the City where more investment needs have been identified.

WATER	Priority	Projected Carryover	2018-19 NEW FUNDS	Future Funding Needs (unfunded)			
				2019-20	2020-21	2021-22	2022-23
Automated Water Meter Reading	Tier 3	\$500,000	\$600,000	\$1,800,000	\$1,200,000	\$400,000	-
Emergency Water Storage / Supply	Tier 1	4,195,359	2,000,000	2,800,000	2,800,000	-	-
Fire Flow Capacity Improvements	N/A	-	-	1,000,000	1,000,000	1,000,000	1,500,000
Reservoir No. 2 Roof Replacement	Tier 2	1,490,686	2,650,000	-	-	-	-
Reservoirs #1 & #2 Mixers	Tier 2	114,949	-	-	-	-	-
Urban Water Management Plan	N/A	-	-	140,000	-	-	-
Water Main Replacement Project	Tier 1	1,240,053	600,000	2,050,000	3,600,000	1,800,000	1,800,000
Subtotal		\$7,541,047	\$5,850,000	\$7,790,000	\$8,600,000	\$3,200,000	\$3,300,000