



REGULAR MEETING AGENDA

Date: 7/29/2019
Time: 7:00 p.m.
City Council Chambers
701 Laurel St., Menlo Park, CA 94025

A. Call To Order

B. Roll Call

C. Reports and Announcements

Under “Reports and Announcements,” staff and Commission members may communicate general information of interest regarding matters within the jurisdiction of the Commission. No Commission discussion or action can occur on any of the presented items.

D. Public Comment

Under “Public Comment,” the public may address the Commission on any subject not listed on the agenda, and items listed under Consent Calendar. Each speaker may address the Commission once under Public Comment for a limit of three minutes. Please clearly state your name and address or political jurisdiction in which you live. The Commission cannot act on items not listed on the agenda and, therefore, the Commission cannot respond to non-agenda issues brought up under Public Comment other than to provide general information.

E. Consent Calendar

None

F. Public Hearing

F1. Use Permit Revision/Lucas Correa/828 Hamilton Avenue:

Request for a use permit revision to modify the previously approved design of a new two-story residence in the R-1-U (Single Family Urban Residential) zoning district. The proposed modification includes changing the exterior materials from redwood siding to stucco on a portion of the structure. ([Staff Report #19-051-PC](#))

F2. Use Permit/Samir Mehta/327 Hedge Road:

Request for a use permit to demolish most of the existing single-story, single-family residence (with the exception of a portion of the garage) and construct first- and second-story additions on a substandard lot with regard to minimum lot width and area in the in the R-1-U (Single Family Urban Residential) zoning district. The project would exceed 50 percent of the existing floor area and is considered equivalent to a new structure. The proposal includes a request to remove a heritage-

size multi-trunk olive tree (tree #4) in poor health and condition. ([Staff Report #19-052-PC](#))

- F3. Use Permit/Mingshuai Gu/1036 Oakland Avenue:
Request for a use permit to partially demolish, remodel, and add first- and second-story additions to a single-family residence that would exceed 50 percent of the replacement value of the existing nonconforming structure in a 12-month period. The proposal would also exceed 50 percent of the existing floor area and is considered equivalent to a new structure. The subject parcel a substandard lot in the R-1-U (Single-Family Urban) zoning district. ([Staff Report #19-053-PC](#))
- F4. Use Permit/Frances Wong/323 Haight Street:
Request for a use permit to construct a new detached secondary dwelling unit with aesthetic characteristics different from the main residence in the R-1-U (Single Family Urban Residential) zoning district. ([Staff Report #19-054-PC](#))
- F5. Architectural Control and Major Subdivision/Ranjeet Pancholy/115 El Camino Real:
Request for architectural control and a major subdivision to demolish an existing two-story hotel and construct a new mixed-use development consisting of two commercial condominiums on the first floor and four residential condominiums on the second and third floors in the SP-ECR/D (El Camino Real/Downtown Specific Plan) zoning district. The Planning Commission will serve as a recommending body, and the City Council will be the final decision making body and take action on the proposed project at a future meeting date. ([Staff Report #19-055-PC](#))
- F6. Development Agreement Annual Review/Bob Burke, Greenheart/1300 El Camino Real and 550 Oak Grove Avenue:
Annual review of the property owner's good faith compliance with the terms of the Development Agreement for the Station 1300 project. ([Staff Report #19-056-PC](#))

G. Informational Items

- G1. Future Planning Commission Meeting Schedule – The upcoming Planning Commission meetings are listed here, for reference. No action will be taken on the meeting schedule, although individual Commissioners may notify staff of planned absences.
- Regular Meeting: August 12, 2019
 - Regular Meeting: August 26, 2019
 - Regular Meeting: September 9, 2019

H. Adjournment

At every Regular Meeting of the Commission, in addition to the Public Comment period where the public shall have the right to address the Commission on any matters of public interest not listed on the agenda, members of the public have the right to directly address the Commission on any item listed on the agenda at a time designated by the Chair, either before or during the Commission's consideration of the item.

At every Special Meeting of the Commission, members of the public have the right to directly address the Commission on any item listed on the agenda at a time designated by the Chair, either before or during consideration of the item.

For appeal hearings, appellant and applicant shall each have 10 minutes for presentations.

If you challenge any of the items listed on this agenda in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the City of

Menlo Park at, or prior to, the public hearing.

Any writing that is distributed to a majority of the Commission by any person in connection with an agenda item is a public record (subject to any exemption under the Public Records Act) and is available for inspection at the City Clerk's Office, 701 Laurel St., Menlo Park, CA 94025 during regular business hours.

Persons with disabilities, who require auxiliary aids or services in attending or participating in Commission meetings, may call the City Clerk's Office at 650-330-6620.

Agendas are posted in accordance with Government Code §54954.2(a) or §54956. Members of the public can view electronic agendas and staff reports by accessing the City website at menlopark.org/agenda and can receive email notification of agenda and staff report postings by subscribing to the "Notify Me" service at menlopark.org/notifyme. Agendas and staff reports may also be obtained by contacting City Clerk at 650-330-6620. (Posted: 07/24/2019)



STAFF REPORT

Planning Commission

Meeting Date: 7/29/2019
Staff Report Number: 19-051-PC

Public Hearing: Use Permit Revision/Lucas Correa/828 Hamilton Avenue

Recommendation

Staff recommends that the Planning Commission approve a request for a use permit revision to modify the previously approved design of a new two-story residence in the R-1-U (Single Family Urban Residential) zoning district. The proposed modification includes changing the exterior materials from redwood siding to stucco on a portion of the structure at 828 Hamilton Avenue. The previous use permit was approved by the Planning Commission in September 12, 2016. The recommended actions are included as Attachment A.

Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposed revision to the approved use permit.

Background

Site location

The subject site is located at 828 Hamilton Avenue, at the southwest corner of Hamilton Avenue and Carlton Avenue. A location map is included as Attachment B. The parcels to the south and west of the subject parcel are also in the R-1-U zone and developed with single-family homes. The parcels to the east (across Carlton Avenue) are developed with a service station zoned C-2-S (Neighborhood Commercial District, Special) and a single-family home zoned R-1-U. The parcel to the north (across Hamilton Avenue) is zoned R-4-S (High-Density Residential, Special) and is developed with the Greenheart-Hamilton Avenue project, a multi-family residential development, which features three-story buildings designed in a contemporary style.

Previous Planning Commission review

On September 16, 2016, the Planning Commission granted a use permit to allow construction of a two-story residence on a substandard lot with regard to lot width and area. The proposal, which included retention of a small portion of the existing first floor, exceeded 50 percent of the existing floor area and was considered equivalent to a new structure. Links to the staff report and minutes for the September 12, 2016 Planning Commission meeting are included via hyperlink as Attachment C and D, respectively.

On September 7, 2018, staff sent a substantial conformance memo to the Planning Commission for

proposed changes to the approved plan set. Although the proposed modifications warranted notification of the Planning Commission, staff believed the modifications were in substantial conformance with the original approval. The conformance memo is included as a link in Attachment E. The modifications covered by the conformance memo included the following revisions:

- Removal of six small fixed windows and replacement with two larger operable windows for the two bathrooms on the west (right-side) elevation to allow for more natural light and better ventilation
- Removal of a fixed window in the kitchen on the west (right-side) elevation for more pantry space
- Removal of a fixed window in the stairway landing area on the south (rear) elevation to save cost
- Addition of three skylights to add more natural light to the bathrooms

No Planning Commissioners requested to discuss the changes at the next Planning Commission meeting, and the modifications were subsequently incorporated into the building permit for the approved project.

Building and construction

On March 22, 2017, the City issued a building permit with some minor roof line changes along the west (right-side) elevation approved at the staff level, with revised plans approved in 2018 after the substantial conformance memo process described above was completed. Construction is currently underway, with the majority of the residence completed.

Analysis

Project description

At this time, the applicant is requesting a use permit revision to change the exterior materials on a portion of the structure from redwood siding to stucco. This modification would mean stucco is the only siding utilized for the residence; however, the stucco used in the areas where redwood siding was previously proposed would be painted a darker grey color than the remaining stucco that would be painted a lighter grey, resulting in two colors that would help break up the massing and add visual interest. The applicant is also proposing the following additional modifications:

- Increase the width of the curb cut on Carlton Avenue from 10 feet to 18.5 feet and increase the amount of pervious paving behind the residence;
- Substitute single-hung windows for the previously fixed two small master bedroom windows to allow ventilation;
- Substitute center-opening swinging doors for the roll-up garage door to reflect the owner's preferred style and function, and to reduce construction costs; and
- Substitute a sliding glass door for the previously-approved French doors at the master bedroom balcony to increase usability.

Staff evaluated the proposed modifications and determined that the comprehensive changes would not be in substantial conformance with the previous approved project (including the subsequent revisions cleared through the City's substantial conformance memo process) and consequently require a use permit revision be reviewed by the Planning Commission.

With the proposed modifications, the project would continue to adhere to all relevant Zoning Ordinance regulations. The proposal to increase the curb cut at Carlton Avenue (the less-active of the two frontages) would continue to be narrower than most curb cuts for two-car garages. The increased paving in the rear of residence would also continue to use pervious pavers, mitigating potential drainage issues. The project plans and the applicant's project description letter, describing the proposed revisions, are included as Attachments F and G, respectively.

Design and materials

The architect describes the style as contemporary, with clerestories and skylights employed strategically to mitigate the low second floor ceiling height necessitated by the daylight plane and Federal Emergency Management Agency (FEMA) regulations. The approved design complies with the daylight plane, with one intrusion which may be permitted on lots less than 10,000 square feet in size.

The approved design included stucco and redwood siding. The applicant is now proposing to use two different colors of stucco for the entire structure to minimize long term maintenance costs as well as construction costs. As previously discussed, the applicant is requesting additional minor changes including the use of additional operable windows in the master bedroom, the use of French doors at the balcony, and the use of a center-swinging garage door.

Staff believes that the architectural style of the proposed revisions to the approved residence would remain generally intact, continue to be attractive, and consistent with the surrounding neighborhood, which includes other stucco-clad buildings. In addition to the proposed color differentiation, the residence would continue to feature variation in roof and building forms, all of which would reduce the potential for perceived massing impacts.

Correspondence

Staff has not received any correspondence on the proposed use permit revision.

Conclusion

Staff believes the proposed changes would continue to be compatible with the neighborhood and consistent with the design and materials of the approved residence. The architectural style would continue to be consistent with the surrounding neighborhood and the use of two different stucco colors would help break up the massing and add visual interest. Staff recommends that the Planning Commission approve the proposed revisions to the project.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Appeal Period

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

Attachments

- A. Recommended Actions
- B. Location Map
- C. Hyperlink: Planning Commission staff report, September 12, 2016–
<http://menlopark.org/DocumentCenter/View/11479/F2---828-Hamilton-Avenue?bidId=>
- D. Hyperlink: Planning Commission minutes, September 12, 2016–
http://www.menlopark.org/AgendaCenter/ViewFile/Minutes/_09122016-2805
- E. Hyperlink: Substantial Conformance Memo, September 7, 2018-
<https://www.menlopark.org/Archive.aspx?ADID=8543>
- F. Project Plans
- G. Project Description Letter

Disclaimer

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

Exhibits to Be Provided at Meeting

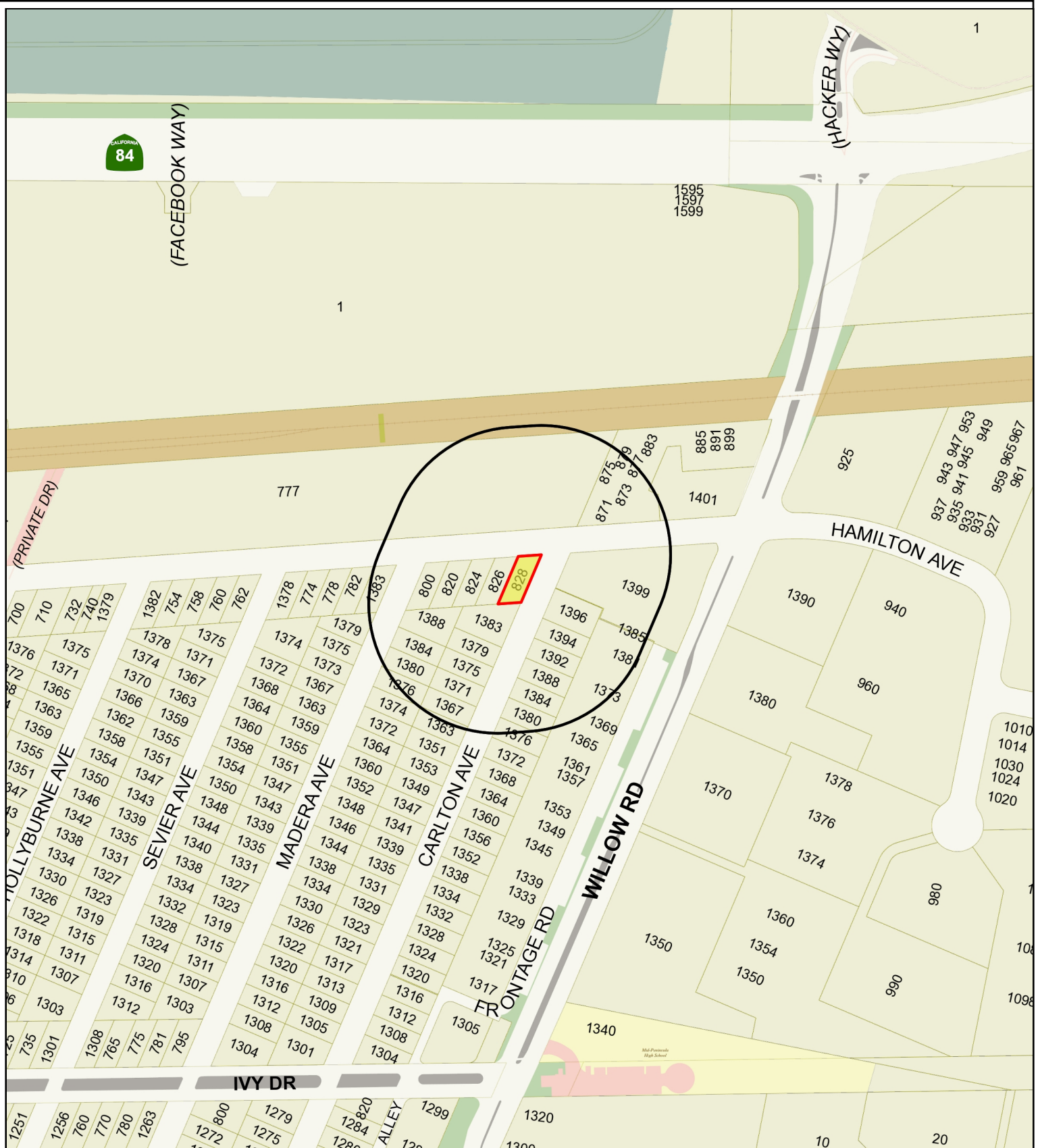
None

Report prepared by:
Corinna Sandmeier, Senior Planner

Report reviewed by:
Thomas Rogers, Principal Planner

828 Hamilton – Attachment A: Recommended Actions

LOCATION: 828 Hamilton Avenue	PROJECT NUMBER: PLN2019-00018	APPLICANT: Lucas Correa	OWNER: Janaina Almen
REQUEST: Request for a use permit revision to modify the previously approved design of a new two-story residence in the R-1-U (Single Family Urban Residential) zoning district. The proposed modification includes changing the exterior materials on a portion of the structure from redwood siding to stucco.			
DECISION ENTITY: Planning Commission	DATE: July 29, 2019	ACTION: TBD	
VOTE: TBD (Barnes, DeCardy, Doran, Kennedy, Riggs, Strehl, and Tate)			
ACTION:			
<ol style="list-style-type: none"> 1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, “Existing Facilities”) of the current California Environmental Quality Act (CEQA) Guidelines. 2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City. 3. Approve the use permit revision subject to the following standard conditions: <ol style="list-style-type: none"> a. Development of the project shall be substantially in conformance with the plans prepared by Yeung Architecture and Design, consisting of 17 plan sheets, stamped received on July 17, 2019, and approved by the Planning Commission on July 29, 2019, except as modified by the conditions contained herein, subject to review and approval by the Planning Division. b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies’ regulations that are directly applicable to the project. c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project. d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes. e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division. f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits. g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance. 			



CITY OF MENLO PARK

City of Menlo Park
Location Map



Scale: 1:3,600

Drawn By: CDS

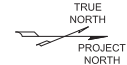
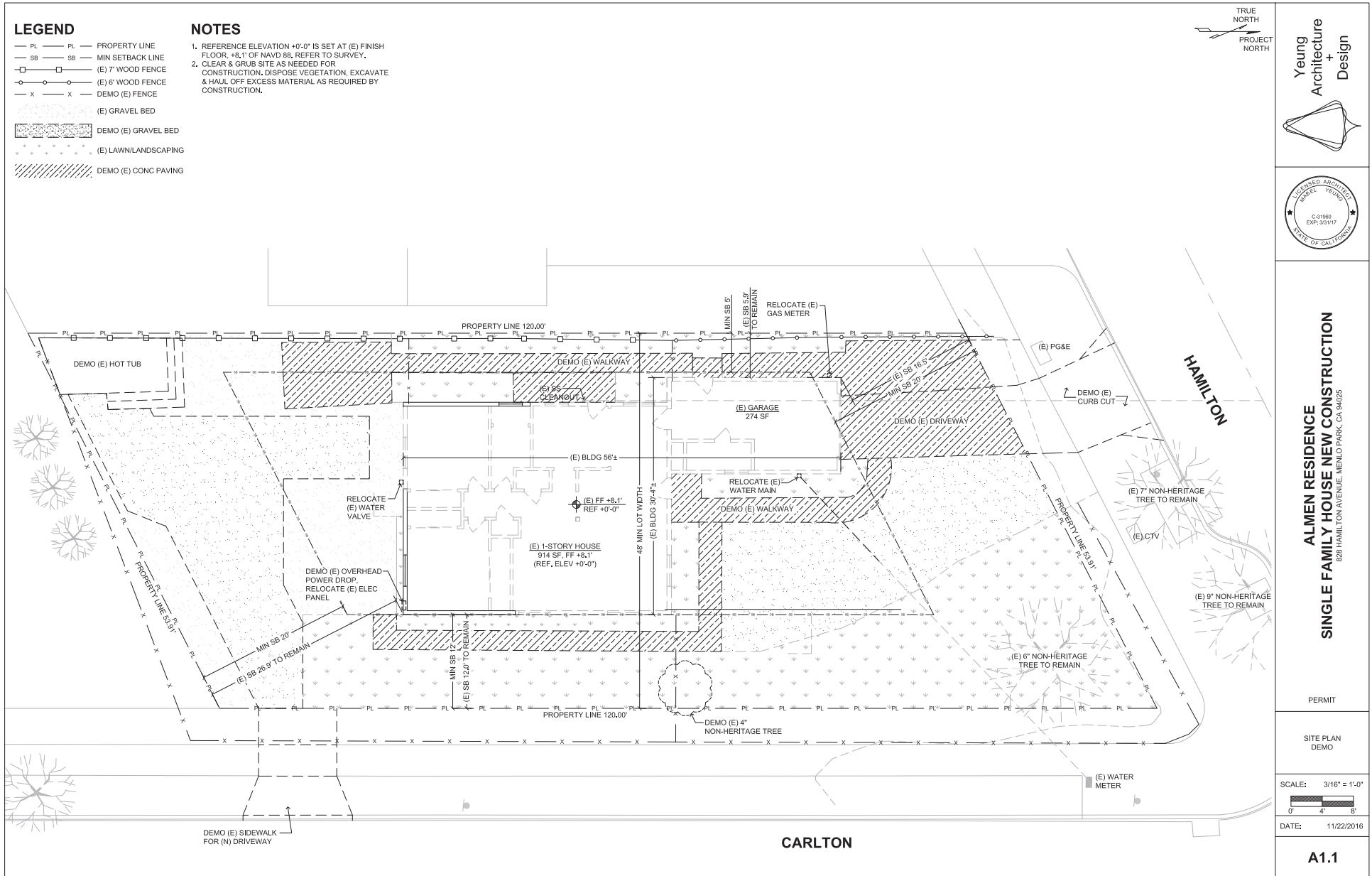
Checked By: CDS

Date: 7/29/2019

Sheet: 1

<p>VICINITY MAP</p>	<p>APPLICABLE CODES</p> <p>2013 CALIFORNIA RESIDENTIAL BUILDING CODE (CRC) 2013 CALIFORNIA ELECTRICAL CODE (CEC) 2013 CALIFORNIA MECHANICAL CODE (CMC) 2013 CALIFORNIA PLUMBING CODE (CPC) 2013 BUILDING ENERGY EFFICIENCY STANDARDS (BEEES) 2013 CALIFORNIA GREEN BUILDING STANDARDS CODE</p>	<p>DRAWING LIST</p>	<p>GENERAL NOTES</p>	<p>Yeung Architecture + Design</p>																																																																																																																		
<p>GENERAL INFO</p> <p>OWNER: JANAINA MAGALHAES ALMEIDA 650-296-6215 828 HAMILTON AVE, MENLO PARK, CA 94025</p> <p>ARCHITECT: YEUNG ARCHITECTURE & DESIGN 564 SANTANDER DR, SAN RAMON, CA 94583 925-302-9097</p> <p>STRUCTURAL ENGINEER: INTEGRAND, INC. 250 CLARA TERRACE, FREMONT, CA 94539 510-299-7520</p>	<p>PROJECT SUMMARY</p> <ol style="list-style-type: none"> DEMOLISH ±800 SF OF THE (E) SINGLE-STORY HOUSE. CONVERT THE REMAINING ±400 SF OF THE (E) SINGLE-STORY HOUSE TO A (N) SINGLE CAR GARAGE & WORKSHOP. CONSTRUCT A (N) 2-STORY HOUSE OVER AN EXPANDED FOOTPRINT OF THE (E) CONCRETE SLAB. CONSTRUCT A (N) DRIVEWAY FROM CARLTON STREET TO ACCESS THE (N) GARAGE FROM THE REAR YARD. <p>PROJECT DATA</p> <p>APN: 055394050</p> <p>LOT SIZE: 5761 SF</p> <p>GROSS CONDITIONED SPACE: FIRST FLOOR 1224 SF SECOND FLOOR 1125 SF TOTAL 2349 SF</p> <p>GROSS UNCONDITIONED SPACE: GARAGE 451 SF TOTAL 451 SF</p> <p>NO. OF STORIES: 2 BUILDING HEIGHT: 27.0'</p> <p>OCCUPANCY GROUP: R-3 TYPE OF CONSTRUCTION: V-B</p> <p>FIRE SPRINKLERS: YES</p> <p>FLOOD ZONE: AE BASE FLOOD ELEVATION: +10.3' NAVD 88</p> <p>CLIMATE ZONE: 3</p>	<p>ARCHITECTURAL</p> <p>A0.0 TITLE SHEET A0.1 BEST MANAGEMENT PRACTICES A0.2 CALGREEN A0.3 CALGREEN A0.4 TITLE 24 A0.5 TITLE 24 A0.6 TITLE 24</p> <p>A1.1 SITE PLAN - DEMO A1.2 SITE PLAN A1.3 STREETScape, DIAGRAMS & CALCULATIONS</p> <p>A2.1 DEMOLITION PLAN A2.2 FIRST FLOOR PLAN A2.3 SECOND FLOOR PLAN A2.4 LIGHTING, POWER & DATA PLANS, GAS PIPING DIAGRAM</p> <p>A3.1 ROOF DEMOLITION PLAN A3.2 ROOF PLAN</p> <p>A4.1 EXTERIOR ELEVATIONS - EXISTING A4.2 EXTERIOR ELEVATIONS A4.3 EXTERIOR ELEVATIONS</p> <p>A5.1 BUILDING SECTIONS</p> <p>A6.1 DETAILS A6.2 DETAILS A6.3 DETAILS A6.4 DETAILS A6.5 DETAILS</p> <p>STRUCTURAL</p> <p>S1.1 GENERAL NOTES S1.2 TYPICAL FRAMING DETAILS S2.1 FOUNDATION & FIRST FLOOR FRAMING PLANS S2.2 SECOND FLOOR & LOW ROOF FRAMING PLANS S2.3 ROOF FRAMING PLAN S3.1 FOUNDATION DETAILS S4.1 FLOOR FRAMING DETAILS S5.1 ROOF FRAMING DETAILS</p> <p>SURVEY</p> <p>BOUNDARY & TOPOGRAPHIC SURVEY</p>	<ol style="list-style-type: none"> ALL WORK SHALL CONFORM TO THE 2013 CALIFORNIA RESIDENTIAL CODE, AND ALL OTHER APPLICABLE LOCAL & STATE ORDINANCES AND REGULATIONS. THE CONTRACTOR SHALL OBTAIN FOR ALL REQUIRED PERMITS PRIOR TO EXECUTION OF THE WORK, THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR ALL REQUIRED INSPECTIONS AT THE APPROPRIATE TIME AS REQUIRED BY THE CITY OF MENLO PARK BUILDING DEPARTMENT. NEITHER PRESENCE NOR ABSENCE OF OWNER, ARCHITECT, OR ANY BUILDING INSPECTOR SHALL RELIEF THE CONTRACTOR FROM THE REQUIREMENTS OF THESE DRAWINGS AND ANY APPLICABLE CODE REQUIREMENTS, NOTHING IN THESE DRAWINGS IS TO BE CONSTRUED AS REQUIRING OR PERMITTING WORK THAT IS CONTRARY TO THESE RULES, REGULATIONS, & CODES. IF THE CONTRACTOR OBSERVES THAT ANY OF THESE DRAWINGS ARE AT VARIANCE WITH THESE RULES, REGULATIONS & CODES, HE SHALL PROMPTLY NOTIFY THE OWNER PRIOR TO COMMENCEMENT OF WORK. IF THE CONTRACTOR PERFORMS ANY WORK CONTRARY TO ANY APPLICABLE LAWS, ORDINANCES, RULES & REGULATIONS, HE SHALL AT HIS EXPENSE CORRECT THE WORK, PERFORM TESTS & INSPECTIONS, AS REQUIRED BY THE GOVERNING AGENCIES. FOR ELEMENTS THAT ARE NOT FULLY DETAILED OR DESCRIBED IN THE DRAWINGS, THEIR CONSTRUCTION SHALL BE OF THE SAME SIZE & CHARACTER AS FOR SIMILAR CONDITIONS WHICH ARE SHOWN, NOTED, OR EXISTING, SUBJECT TO THE ARCHITECT'S APPROVAL. PRIOR TO ANY DEMOLITION, CUTTING & EXCAVATION, THE CONTRACTOR SHALL PROVIDE PROPER SHORING, BRACING, SUPPORT, & UNDERGROUND UTILITY SURVEY AS NEEDED TO MAINTAIN STRUCTURAL & UTILITY INTEGRITY AND SAFE CONDITIONS, ALL UNDERGROUND CONDITIONS SHOWN IN DRAWINGS ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS, DIMENSIONS & ELEVATIONS, AND COMPARE THE (E) CONDITIONS WITH THE DRAWINGS PRIOR TO COMMENCEMENT OF WORK, CONTRACTOR SHOULD NOTIFY THE OWNER FOR ANY DISCREPANCIES REQUIRING CLARIFICATIONS & REVISIONS. NO STRUCTURAL COLUMNS, BEAMS, WALLS, FOUNDATIONS, JOISTS, OR ANY OTHER STRUCTURAL MEMBERS SHALL BE REMOVED OR ALTERED EXCEPT THOSE EXPLICITLY NOTED IN THE DRAWINGS. ANY ASBESTOS OR ANY OTHER HAZARDOUS SUBSTANCE, WHICH MUST BE REMOVED TO EXECUTE THE WORK, SHALL BE DISPOSED OF BY THE CONTRACTOR IN A LEGAL MANNER AS REQUIRED BY ALL APPLICABLE CODES. THE CONTRACTOR SHALL COMPLY WITH THE CONSTRUCTION & DEMOLITION DEBRIS MANAGEMENT PLAN AS REQUIRED BY THE CITY OF MENLO PARK. ALL FRAMING MEMBERS SHALL BE MM #2 DF, S4S, MC-15 OR KD-15, UON. PATCH AND REPAIR ALL MATERIALS & SURFACES AFFECTED BY DEMOLITION TO MATCH (E) ADJACENT FINISHES & CONSTRUCTIONS, UON. ALL WORKS THAT ARE NOT NOTED AS (E) ARE NEW WORK TO BE INCLUDED IN THE SCOPE OF WORK. STORM RUNOFF RESULTING FROM THE PROJECT'S GRADING & DRAINAGE ACTIVITIES SHALL NOT ENCRoACH ONTO ANY NEIGHBORING LOT, RUNOFF MUST BE CONTAINED ON-SITE. 																																																																																																																			
<p>ABBREVIATIONS</p> <table border="0"> <tr> <td>ADJ</td><td>ADJACENT</td><td>GYP BD</td><td>GYP SYM BOARD</td></tr> <tr> <td>AFCI</td><td>ARC FAULT CIRCUIT INTERRUPTOR</td><td>KIT</td><td>KITCHEN</td></tr> <tr> <td>AFF</td><td>ABOVE FINISHED FLOOR</td><td>LAU</td><td>LAUNDRY</td></tr> <tr> <td>BEDRM</td><td>BEDROOM</td><td>(N)</td><td>NEW</td></tr> <tr> <td>BLDG</td><td>BUILDING</td><td>MAX</td><td>MAXIMUM</td></tr> <tr> <td>B.O.</td><td>BOTTOM OF</td><td>MIN</td><td>MINIMUM</td></tr> <tr> <td>CLNG</td><td>CEILING</td><td>O/</td><td>OVER</td></tr> <tr> <td>CLO</td><td>CLOSET</td><td>O.C.</td><td>ON CENTER</td></tr> <tr> <td>CLR</td><td>CLEAR</td><td>(R)</td><td>RELOCATED</td></tr> <tr> <td>COMBO</td><td>COMBINATION</td><td>REF</td><td>REFERENCE</td></tr> <tr> <td>CONC</td><td>CONCRETE</td><td>RM</td><td>ROOM</td></tr> <tr> <td>DEMO</td><td>DEMOLISH</td><td>SB</td><td>SETBACK</td></tr> <tr> <td>DF</td><td>DOUGLAS FIR</td><td>SIM</td><td>SIMILAR</td></tr> <tr> <td>DN</td><td>DOWN</td><td>SSD</td><td>SEE STRUCTURAL DRAWINGS</td></tr> <tr> <td>DS</td><td>DOWNSPOUT</td><td>STD DTL</td><td>STANDARD DETAIL(S)</td></tr> <tr> <td>(E)</td><td>EXISTING</td><td>THRU</td><td>THROUGH</td></tr> <tr> <td>ELEC</td><td>ELECTRIC(AL)</td><td>T.O.</td><td>TOP OF</td></tr> <tr> <td>ELEV</td><td>ELEVATION</td><td>TYP</td><td>TYPICAL</td></tr> <tr> <td>FF</td><td>FINISH FLOOR</td><td>UON</td><td>UNLESS OTHERWISE NOTED</td></tr> <tr> <td>FL</td><td>FLOOR</td><td>VF</td><td>VERIFY IN FIELD</td></tr> <tr> <td>FIN</td><td>FINISH</td><td>W/</td><td>WITH</td></tr> <tr> <td>FNDN</td><td>FOUNDATION</td><td>WH</td><td>WATER HEATER</td></tr> <tr> <td>FUR</td><td>FURNACE</td><td>W.O.</td><td>WHERE OCCURS</td></tr> <tr> <td>GFCI</td><td>GROUND FAULT CIRCUIT INTERRUPTOR</td><td>W/O</td><td>WITHOUT</td></tr> </table>	ADJ	ADJACENT	GYP BD	GYP SYM BOARD	AFCI	ARC FAULT CIRCUIT INTERRUPTOR	KIT	KITCHEN	AFF	ABOVE FINISHED FLOOR	LAU	LAUNDRY	BEDRM	BEDROOM	(N)	NEW	BLDG	BUILDING	MAX	MAXIMUM	B.O.	BOTTOM OF	MIN	MINIMUM	CLNG	CEILING	O/	OVER	CLO	CLOSET	O.C.	ON CENTER	CLR	CLEAR	(R)	RELOCATED	COMBO	COMBINATION	REF	REFERENCE	CONC	CONCRETE	RM	ROOM	DEMO	DEMOLISH	SB	SETBACK	DF	DOUGLAS FIR	SIM	SIMILAR	DN	DOWN	SSD	SEE STRUCTURAL DRAWINGS	DS	DOWNSPOUT	STD DTL	STANDARD DETAIL(S)	(E)	EXISTING	THRU	THROUGH	ELEC	ELECTRIC(AL)	T.O.	TOP OF	ELEV	ELEVATION	TYP	TYPICAL	FF	FINISH FLOOR	UON	UNLESS OTHERWISE NOTED	FL	FLOOR	VF	VERIFY IN FIELD	FIN	FINISH	W/	WITH	FNDN	FOUNDATION	WH	WATER HEATER	FUR	FURNACE	W.O.	WHERE OCCURS	GFCI	GROUND FAULT CIRCUIT INTERRUPTOR	W/O	WITHOUT	<p>REVISIONS</p> <table border="1"> <thead> <tr> <th>REV</th><th>DATE</th><th>DESCRIPTION</th></tr> </thead> <tbody> <tr> <td></td><td>11/22/16</td><td>PERMIT SET</td></tr> <tr> <td>1</td><td>1/31/17</td><td>PLAN CHECK</td></tr> <tr> <td>2</td><td>11/10/17</td><td>FIELD CHANGE #01</td></tr> <tr> <td>3</td><td>8/21/18</td><td>FIELD CHANGE #02</td></tr> <tr> <td>4</td><td>2/13/19</td><td>FIELD CHANGE #03</td></tr> </tbody> </table>	REV	DATE	DESCRIPTION		11/22/16	PERMIT SET	1	1/31/17	PLAN CHECK	2	11/10/17	FIELD CHANGE #01	3	8/21/18	FIELD CHANGE #02	4	2/13/19	FIELD CHANGE #03	<p>DEFERRED SUBMITTALS</p> <p>CONTRACTOR SHALL SUBMIT, OBTAIN, AND PAY FOR ALL REQUIRED PERMITS TO THE CITY OF MENLO PARK, AND ALL RELATED JURISDICTIONS AND AGENCIES FOR THE DESIGN & CONSTRUCTION OF THE FOLLOWING SYSTEMS SEPARATELY:</p> <ol style="list-style-type: none"> FIRE SPRINKLERS <ol style="list-style-type: none"> PROVIDE A SIGN OR VALVE TAG @ MAIN WATER SHUTOFF STATING: "WARNINGS, THE WATER SYSTEM FOR THIS HOME SUPPLIES FIRE SPRINKLERS THAT REQUIRE CERTAIN FLOWS & PRESSURES TO FIGHT A FIRE. DEVICES THAT RESTRICT THE FLOW OR DECREASE THE PRESSURE OR AUTOMATICALLY SHUT OFF THE WATER TO THE FIRE SPRINKLER SYSTEM, SUCH AS WATER SOFTENERS, FILTRATIONS SYSTEMS AND AUTOMATIC SHUTOFF VALVES, SHALL NOT BE ADDED TO THIS SYSTEM WITHOUT A REVIEW OF THE FIRE SPRINKLER SYSTEM BY A FIRE PROTECTION SPECIALIST. DO NOT REMOVE THIS SIGN." WATER SERVICE UPGRADE WEST BAY SANITARY DISTRICT <ol style="list-style-type: none"> (E) LATERAL(S) SHALL BE TELEVIEWED, RECORDED, & SUBMITTED TO DISTRICT FOR APPROVAL OF ADDITIONAL USE. IF ADDING TO (E) LATERAL, PROVIDE TEMPORARY DISCONNECT WITHIN 5' OF PROPERTY LINE, IF ABANDONING (E) LATERAL, PROVIDE PERMANENT DISCONNECT WITHIN 1' FROM SEWER MAIN. IF ADDING (N) LATERAL, PROVIDE 4" SEWER LATERAL W/ MIN 2% SLOPE & TAP-TITE CONNECTION OUT TO SEWER MAIN. PROVIDE 4" WYE CLEANOUT WITHIN 5' OF PROPERTY LINE. 	<p>FLOOD ZONE REQUIREMENTS</p> <ol style="list-style-type: none"> ALL MATERIALS BELOW BFE SHALL BE RESISTANT TO FLOOD DAMAGE, SUCH AS CONCRETE, STUCCO, REDWOOD, OR PRESSURE TREATED DOUGLAS FIR. ALL METAL FASTENERS BELOW BFE SHALL BE HOT DIPPED GALVANIZED OR STAINLESS STEEL. THE BOTTOM ELEVATION OF ALL APPLIANCES & UTILITIES SHALL BE AT OR ABOVE BFE, INCLUDING ALL DUCTWORK, GAS & WATER METERS, AIR CONDITIONING UNIT, ELECTRICAL CONDUIT, WASHER, DRYER, FURNACE, WATER HEATER, WATER & SEWER PIPES BELOW BFE SHALL BE SEALED TO PREVENT FLOOD WATER INTRUSION. FOR APPROVAL OF UNDER FLOOR FRAMING INSPECTION, A LICENSED SURVEYOR SHALL VERIFY FOUNDATION ELEVATION BY SUBMITTING A SIGNED, STAMPED STATEMENT, (TEMPLATE IS AVAILABLE ON CITY WEBSITE). A "FINISHED CONSTRUCTION" ELEVATION CERTIFICATE WILL BE REQUIRED AT PROJECT COMPLETION. NO BASEMENT, OR ANY HABITABLE ENCLOSURE BELOW THE BFE, ARE ALLOWED FOR PROJECTS IN THE FLOOD ZONE. UNDER NO CIRCUMSTANCE SHALL THE SHOP BE USED AS A HABITABLE SPACE, NO PLUMBING FIXTURES (SINKS, BATHROOMS, ETC) SHALL BE INSTALLED IN THE PROPOSED SHOP AREA. 	<p>ALMEN RESIDENCE SINGLE FAMILY HOUSE NEW CONSTRUCTION 828 HAMILTON AVENUE, MENLO PARK, CA 94025</p> <p>1/31/17 PLAN CHECK PERMIT</p> <p>TITLE SHEET</p> <p>SCALE: NO SCALE</p> <p>DATE: 11/22/2016</p> <p>A0.0</p>
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<p>I CERTIFY THAT: I. I AM THE ARCHITECT OF RECORD, II. I HAVE READ THE ENTIRE CITY OF MENLO PARK FLOOD DAMAGE PREVENTION CODE (CHAPTER 12, SECTION 42) AND SPECIFICALLY 12.42.51 STANDARDS OF CONSTRUCTION, III. THE PLANS SUBMITTED WITH THE BUILDING PERMIT APPLICATION COMPLY WITH THE CITY'S FLOOD DAMAGE PREVENTION CODE.</p>																																																																																																																						

PREVIOUSLY APPROVED

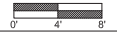


ALMEN RESIDENCE
SINGLE FAMILY HOUSE NEW CONSTRUCTION
 8288 HAMILTON AVENUE, MENLO PARK, CA 94025

PERMIT

SITE PLAN
 DEMO

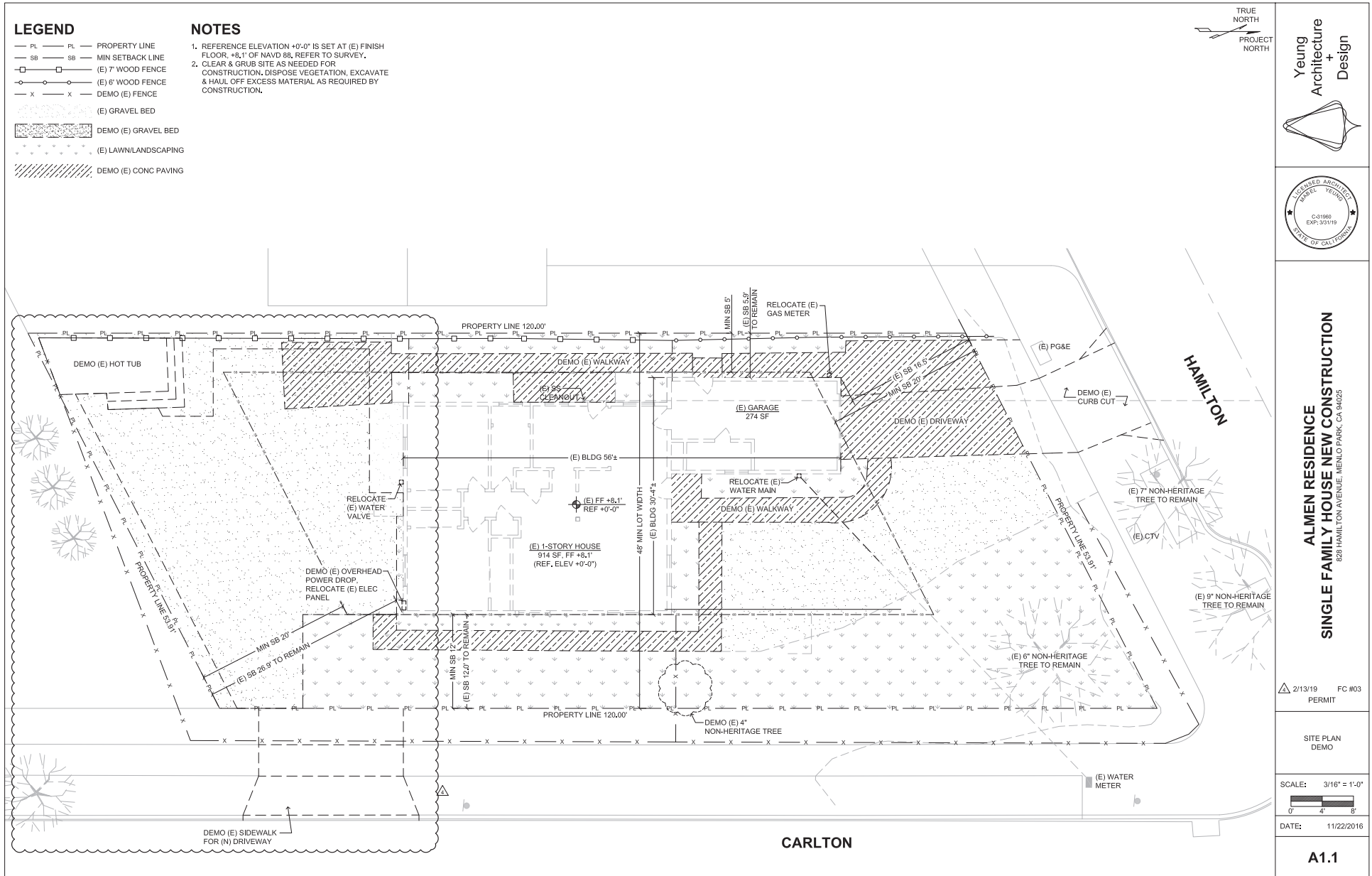
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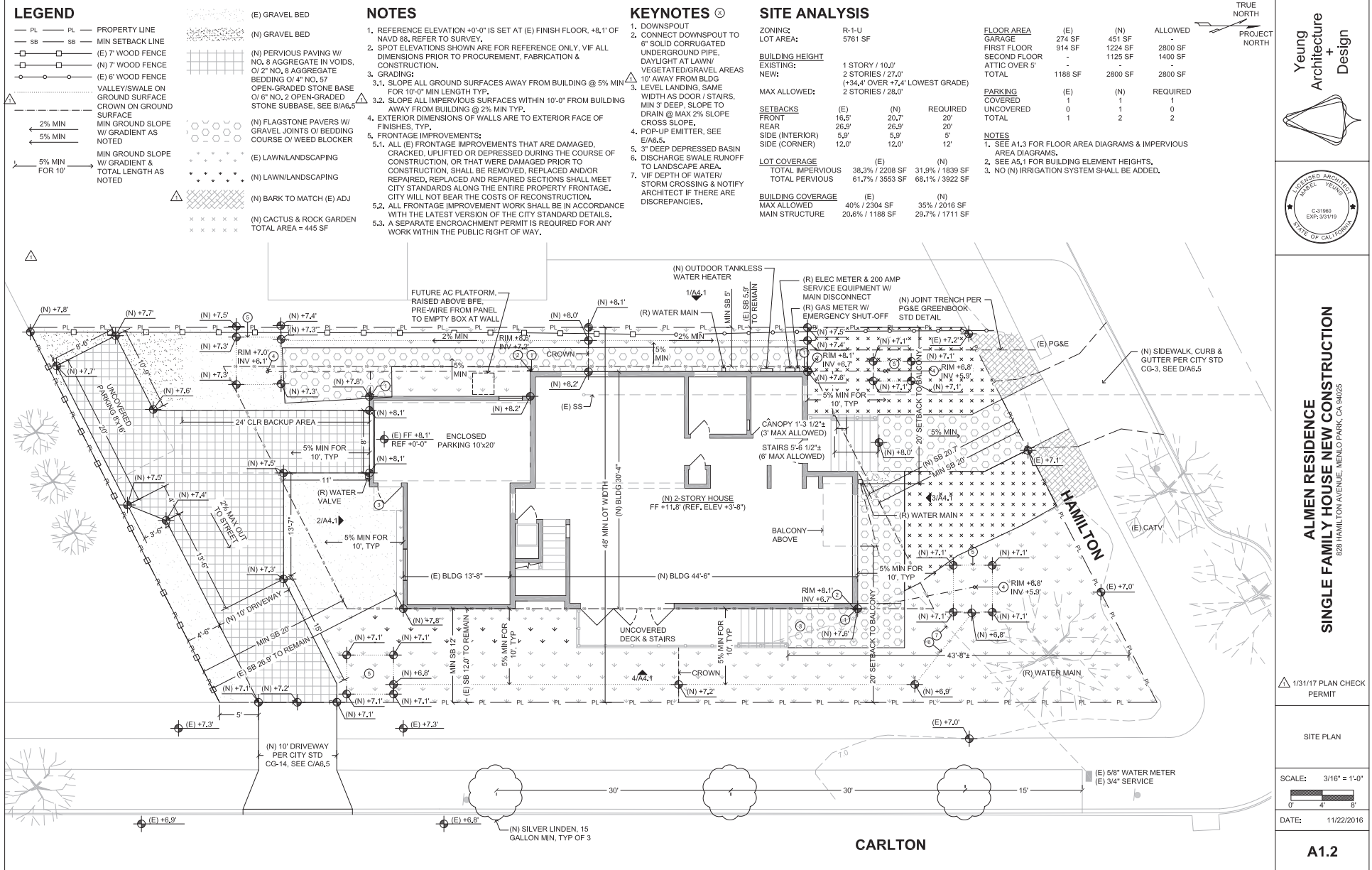
DATE: 11/22/2016

A1.1

CURRENTLY PROPOSED



PREVIOUSLY APPROVED



Yeung
Architecture
+
Design



ALMEN RESIDENCE
SINGLE FAMILY HOUSE NEW CONSTRUCTION
8288 HAMILTON AVENUE, MENLO PARK, CA 94025

1/31/17 PLAN CHECK PERMIT

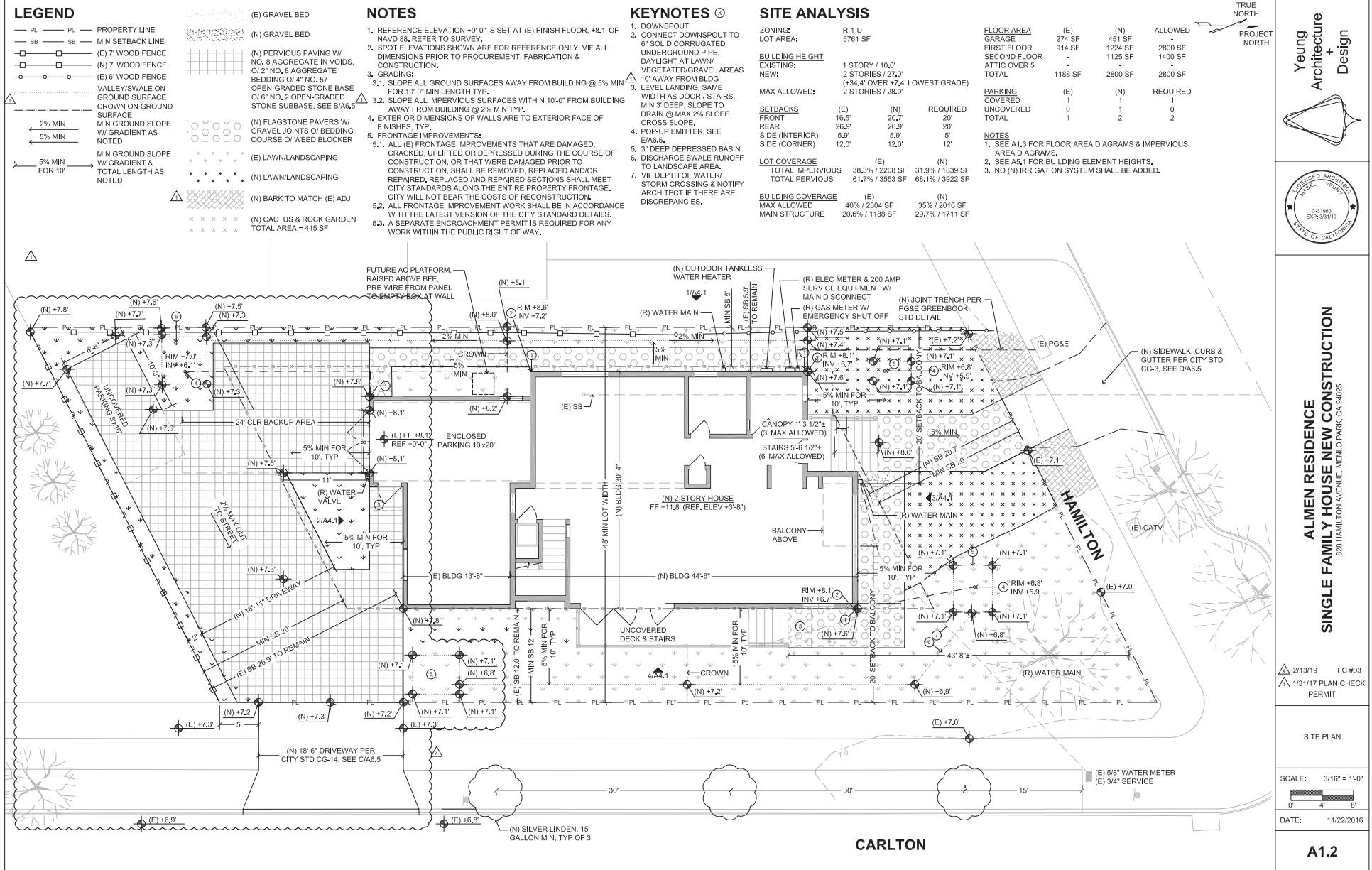
SITE PLAN

SCALE: 3/16" = 1'-0"

DATE: 11/22/2016

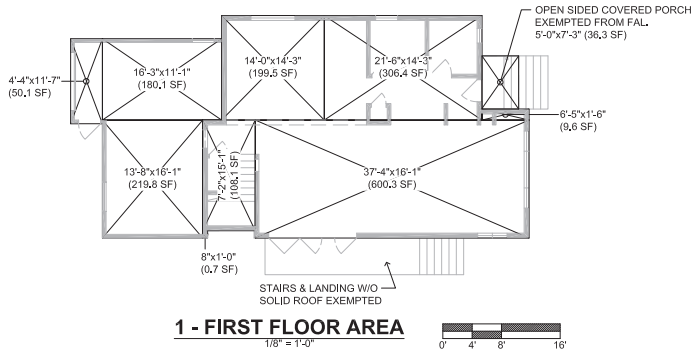
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CURRENTLY PROPOSED

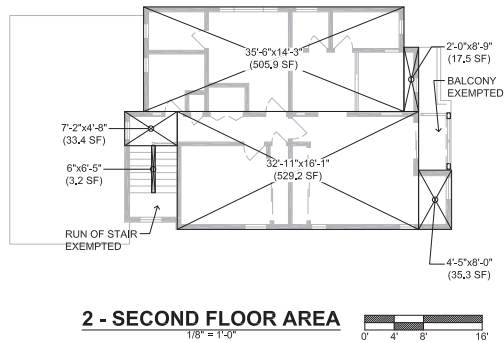


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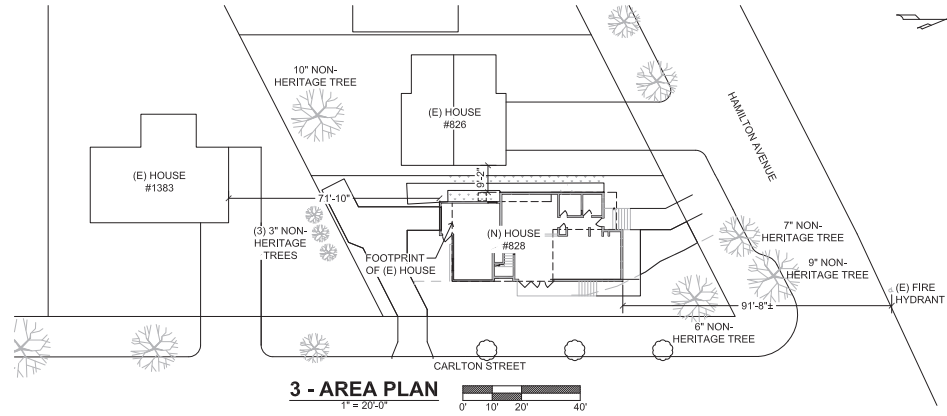
AREA CALCULATIONS				
	OTHER BLDG COVERAGE	GARAGE	FIRST FLOOR	SECOND FLOOR
	36.3	50.1	199.5	505.9
POLYGONS		180.1	306.4	17.5
		219.8	9.6	33.4
		0.7	108.1	3.2
			600.3	529.2
				35.3
TOTAL BY AREA	36	451	1224	1125
TOTAL BY FLOOR	-	-	1675	1125
TOTAL FLOOR AREA	-	-	2800	-
TOTAL BLDG COVERAGE	1711	-	-	-



1 - FIRST FLOOR AREA



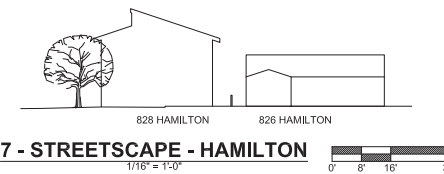
2 - SECOND FLOOR AREA



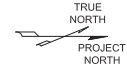
3 - AREA PLAN



6 - STREETSCAPE - CARLTON



7 - STREETSCAPE - HAMILTON



ALMEN RESIDENCE
SINGLE FAMILY HOUSE NEW CONSTRUCTION
 828 HAMILTON AVENUE, MENLO PARK, CA 94025

1/31/17 PLAN CHECK PERMIT

STREETSCAPE DIAGRAMS & CALCULATIONS

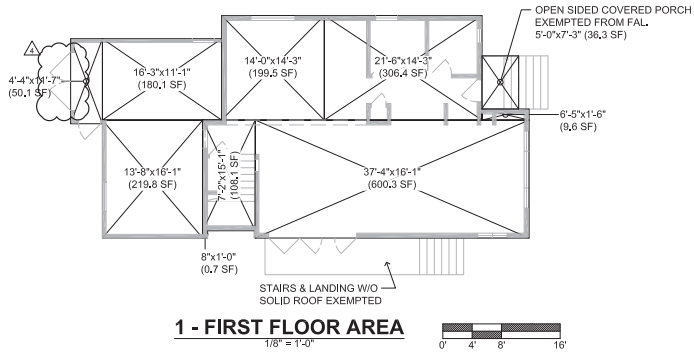
SCALE: AS NOTED

DATE: 11/22/2016

A1.3

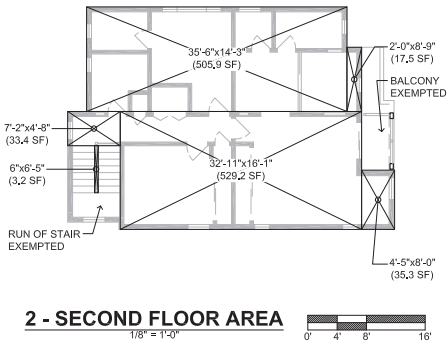
CURRENTLY PROPOSED

AREA CALCULATIONS				
	OTHER BLDG COVERAGE	GARAGE	FIRST FLOOR	SECOND FLOOR
	36.3	50.1	199.5	505.9
POLYGONS		180.1	306.4	17.5
		219.8	9.6	33.4
		0.7	108.1	3.2
			600.3	529.2
				35.3
TOTAL BY AREA	36	451	1224	1125
TOTAL BY FLOOR	-	-	1675	1125
TOTAL FLOOR AREA	-	-	2800	-
TOTAL BLDG COVERAGE	1711	-	-	-



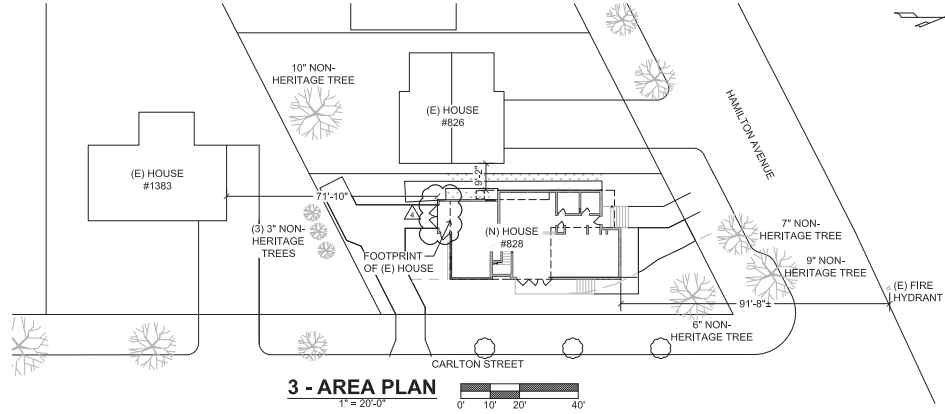
1 - FIRST FLOOR AREA

1/8" = 1'-0"



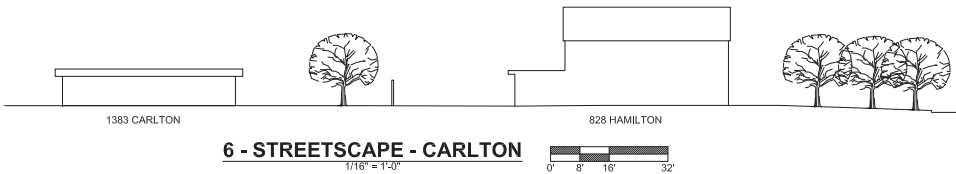
2 - SECOND FLOOR AREA

1/8" = 1'-0"



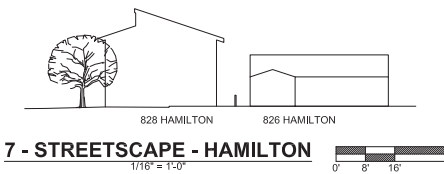
3 - AREA PLAN

1" = 20'-0"



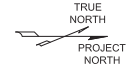
6 - STREETSCAPE - CARLTON

1/16" = 1'-0"



7 - STREETSCAPE - HAMILTON

1/16" = 1'-0"



ALMEN RESIDENCE
828 HAMILTON AVENUE, MENLO PARK, CA 94025
SINGLE FAMILY HOUSE NEW CONSTRUCTION

△ 2/13/19 FC #03
△ 1/31/17 PLAN CHECK PERMIT

STREETSCAPE DIAGRAMS & CALCULATIONS

SCALE: AS NOTED
DATE: 11/22/2016

A1.3

PREVIOUSLY APPROVED

LEGEND

- (E) WALL TO REMAIN
- (N) WALL
 TYP EXTERIOR - EXTERIOR FINISH SYSTEM O/WALL SHEATHING O/2x6 STUD FRAMING, FRICTION FIT R21 FACED BATT INSULATION IN STUD SPACE, PROVIDE 5/8" GYP BD INTERIOR.
- EXTERIOR FINISH SYSTEMS:
 STUCCO - 7/8" TRADITIONAL 3-COAT STUCCO O/ METAL LATH O/ DUPONT TYVEK HOMEWRAP O/ STUCCOWRAP. SPECIALTY STUCCO FINISH VARIANTE TIERRA TO RESEMBLE SMOOTH CONCRETE, COLOR ALLOY.
 SIDING - 1x6 HORIZONTAL T&G REDWOOD SIDING O/ STUCCOWRAP.
- TYP INTERIOR - 2x4 STUD FRAMING W/ 5/8" GYP BD EACH SIDE, SUBSTITUTE GYP BD W/ GLASS MAT TILE BACKER BOARD UNDER CERAMIC TILES.
- TYP GARAGE WALL - 1x6 HORIZONTAL T&G REDWOOD SIDING O/ STUCCOWRAP O/ WALL SHEATHING O/ 2x4 STUD FRAMING, PROVIDE 5/8" GYP BD INTERIOR.

- (N) DOOR & FRAME, DOOR TYPE PER SCHEDULE
- (E) WINDOW
- (N) WINDOW
- (N) THERMOSTAT @ 48" AFF
- (N) FLOOR REGISTER
- (N) CLNG REGISTER
- (N) MECHANICAL EXHAUST FAN (FAN ONLY, NO LIGHT) W/ ADJUSTABLE HUMIDITY CONTROL BETWEEN 50%-80% FOR INTERMITTENT OPERATION, 3/3 SONE MAX, TERMINATE VENT AT ROOF 3'-0" MIN FROM PROPERTY LINE & BUILDING OPENING, SIZE DUCT PER TABLE BELOW.

WINDOW SCHEDULE				
NO	TYPE	SIZE (W x H)	SILL HEIGHT	ORIENT ACTION
1	(N) SINGLE HUNG	2'-0"x4'-10"	2'-0"	N
2	(N) SLIDING X-O-X	10'-6"x4'-10"	2'-0"	N
3	(N) SLIDING X-O	4'-0"x4'-10"	2'-0"	E
4	(N) SLIDING X-O	4'-0"x4'-4"	2'-6"	S
5	(N) FIXED	2'-6"x1'-2"	6'-4"	S
6	(N) SLIDING X-O	3'-0"x2'-4"	4'-8"	W
7	(N) SLIDING X-O	6'-0"x3'-6"	3'-4"	W
8	NOT USED			
9	(N) SINGLE HUNG (OBSCURE)	3'-0"x3'-6"	3'-4"	W

NOTE:
 1. ALL (N) WINDOWS SHALL BE ANDERSON 100 SERIES, COMPOSITE, BLACK EXTERIOR, WHITE INTERIOR, W/ INSULATING GLASS UNIT U-VALUE 0.32 MAX, SHGC 0.25 MAX.

DUCT SIZING FOR SINGLE FAN EXHAUST						
FAN CFM @ 0.25" W.C.	FLEX DUCT			SMOOTH DUCT		
	50	80	100	50	80	100
	MAX DUCT LENGTH (FT)					
4"Ø	70	3	X	X	105	35
5"Ø	NL	70	35	20	NL	135
6"Ø	NL	NL	125	95	NL	NL
7"Ø	NL	NL	NL	NL	NL	NL

NOTE:
 NL = NO LIMIT X = NOT ALLOWED
 DEDUCT 15' DUCT LENGTH FOR EACH ELBOW.
 PRESCRIPTIVE REQUIREMENTS PER ASHRAE 62.2, TABLE 7-1.

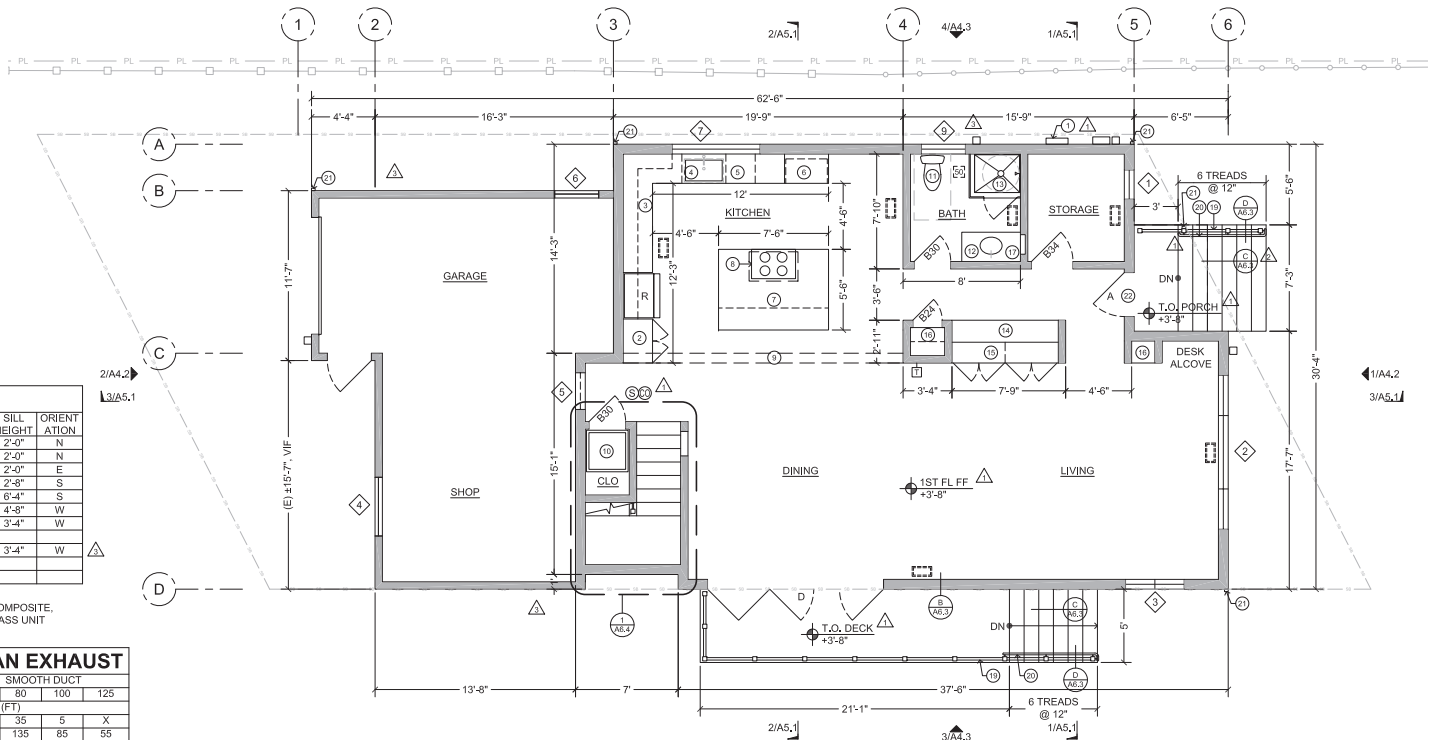
GENERAL NOTES

- ALL WALLS ARE DIMENSIONED TO FACE OF FINISH, UNLN.
- SEE STRUCTURAL DRAWINGS FOR FURTHER FLOOR, WALL & ROOF FRAMING DETAILS & SPECIFICATIONS.
- FRICTION FIT R19 BATT INSULATION IN CRAWLSPACE BETWEEN JOISTS, UNDERFLOOR TYPE WITH VAPOR RETARDER & STAPLING FLANGES, (JM COMFORTHERM, OR EQUAL)
- TYP CEILING - 5/8" GYP BD O/ CEILING JOISTS, FINISHED CEILING HEIGHT AS NOTED ON PLAN.
- PROVIDE WOOD BASEBOARDS AT ALL WALLS.
- ALL SINKS SHALL HAVE HOT & COLD WATER MIXING VALVES.
- COORDINATE APPLIANCES, CASEWORK DETAILS, INTERIOR FINISHES, COLORS, & MATERIALS WITH OWNER.
- PROVIDE SHOWERS & TUB-SHOWER COMBINATIONS W/ INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVE TYPE, CONFORMING TO ASSE 1016, INSTALLER SHALL ADJUST VALVES PER MANUFACTURER INSTRUCTIONS TO DELIVER A MAX MIXED WATER SETTING OF 120°F, CPC 408.3.

KEYNOTES

- OUTDOOR HIGH EFFICIENCY TANKLESS GAS WATER HEATER, 7.5 GPM @ 50°F TEMP RISE MIN, 195000 BTU/H GAS LINE, PROVIDE MIN 200000 BTU/H GAS LINE, PROVIDE SEWER DRAIN FOR DISCHARGE, PROVIDE SOLID 2X BLOCKING BETWEEN STUDS FOR ANCHORAGE.
- FULL HEIGHT PANTRY CABINET
- UPPER & BASE CABINETS W/ COUNTERTOP & BACKSPLASH
- SINK W/ GARBAGE DISPOSAL
- DISHWASHER BELOW COUNTER, PROVIDE APPROVED AIR GAP FITTING ON DISCHARGE SIDE OF DISHWASHER W/ FLOOD-LEVEL MARKING AT OR ABOVE FLOOD LEVEL OF SINK/DRAINBOARD.
- BUILT-IN DOUBLE OVEN
- ISLAND CABINET W/ BAR OVERHANG
- GAS COOKTOP & 800 CFM RANGE TOP EXHAUST HOOD W/ BACK DRAFT DAMPER ABOVE, 3 SONES MAX, MIN 8"Ø SMOOTH DUCT, VENT TO ROOF OR EXTERIOR WALL MIN 3'-0" AWAY FROM PROPERTY LINE & BUILDING OPENINGS.
- BEAM ABOVE
- 30x30 CRAWLSPACE ACCESS PANEL
- TOILET 1.28 GPM MAX, CENTERED @ 18" FROM FACE OF WALL
- 24x48 VANITY CABINET W/ SINK, MIRROR, VANITY LIGHT, FAUCET 1.5 GPM @ 80 PSI MAX
- 42x36 SHOWER STALL W/ TEMPERED GLASS ENCLOSURE & DOOR, SHOWERHEAD 2 GPM @ 80 PSI MAX, PROVIDE 30"Ø MIN FLOOR CLEARANCE INSIDE STALL & 22" MIN CLR DOOR WIDTH, AT FLOOR, PROVIDE CERAMIC TILE O/ MIN 1" REINFORCED MORTAR BED O/ SHOWER PAN MEMBRANE, SLOPE MEMBRANE TO DRAIN 1/4" PER FT MIN, TURN MEMBRANE UP WALLS MIN 4" ABOVE SHOWER CURB, PROVIDE MIN 6" SHOWER CURB, AT WALLS, PROVIDE MIN 6"Ø HIGH THIN-SET TILE O/ GLASS MAT TILE BACKER BOARD, FUR AS REQUIRED TO FLUSH W/ SHOWER PAN MEMBRANE, CAULK BETWEEN TILE BACKER BOARD & MORTAR BED.
- 16" BUILT-IN BENCH
- BUILT-IN CABINETS
- BUILT-IN SHELVING
- 16x20 RECESSED MEDICINE CABINET W/ MIRROR FACE
- NOT USED
- 42" HIGH GUARD W/ REDWOOD POSTS & STAINLESS STEEL CABLE BALUSTRADE
- 36" HIGH 1-1/2"Ø REDWOOD HANDRAIL
- DOWNSPOUT, SEE A1.2 FOR CONTINUATION.
- PROVIDE ALUMINUM THRESHOLD PEMKO 75518A W/ DOOR SWEEP PEMKO 368CN.

DOOR SCHEDULE			
TYPE	USE	SIZE	DESCRIPTION
A	EXTERIOR	36x80	CALDWELL FULL LITE WOOD DOOR, CLEAR VERTICAL GRAIN HEM FIR, MATTE CLEAR COAT FINISH, FLAT SQUARE BEADING, INSULATING GLASS UNIT W/ TEMPERED FROST EXTERIOR / TEMPERED CLEAR INTERIOR, GLAZING U-VALUE 0.32 MAX, SHGC 0.25 MAX.
AA		60x80 PR	
B34	INTERIOR	34x80	HOLLOW CORE PAINT GRADE, DESIGN & HARDWARE TBD BY OWNER
B30		30x80	
B24		24x80	
B20		20x80	
CC	LAUNDRY	54x80 PR	LOUVERED BI-FOLD, PROVIDE MIN VENTILATION OPENINGS IN LOUVERS PER DRYER MANUFACTURER INSTRUCTIONS
D	SPECIALTY FOLDING	142-3/4x 80-1/2 (4 PANELS)	LA CANTINA FOLDING DOOR SYSTEM, FULL LITE WOOD DOOR, CONTEMPORARY CLAD W/ VG DOUGLAS FIR, 3L1R 145-3/16x82-3/4, GLAZING U-VALUE 0.32 MAX, SHGC 0.25 MAX, TEMPERED.



ALMEN RESIDENCE
SINGLE FAMILY HOUSE NEW CONSTRUCTION
 8288 HAMILTON AVENUE, MENLO PARK, CA 94025

- △ 8/21/18 FC #02
- △ 11/10/17 FC #01
- △ 1/31/17 PLAN CHECK PERMIT

FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

DATE: 11/22/2016

A2.2

CURRENTLY PROPOSED

LEGEND

- (E) WALL TO REMAIN
- (N) WALL
TYP EXTERIOR - EXTERIOR FINISH SYSTEM O/WALL SHEATHING O/ 2x4 STUD FRAMING, FRICTION FIT R21 FACED BATT INSULATION IN STUD SPACE, PROVIDE 5/8" GYP BD INTERIOR.
EXTERIOR FINISH SYSTEMS:
STUCCO - 7/8" TRADITIONAL 3-COAT STUCCO O/ METAL LATH O/ DUPONT COLOR #1: NEUTRAL COMPLEMENTARY COLOR TBD
COLOR #2: SPECIALTY STUCCO FINISH VARIANCE TIERRA TO RESEMBLE SMOOTH CONCRETE. COLOR ALLOW SEE ELEVATIONS FOR LOCATION & EXTENT OF FINISH SYSTEMS.
TYP INTERIOR - 2x4 STUD FRAMING W/ 5/8" GYP BD EACH SIDE, SUBSTITUTE GYP BD W/ GLASS MAT TILE BACKER BOARD UNDER CERAMIC TILES.
TYP GARAGE WALL - 1x6 HORIZONTAL T&G REDWOOD SIDING O/ STUCCOWRAP O/ WALL SHEATHING O/ 2x4 STUD FRAMING, PROVIDE 5/8" GYP BD INTERIOR.

- (N) DOOR & FRAME, DOOR TYPE PER SCHEDULE
- (E) WINDOW
- (N) WINDOW
- (N) THERMOSTAT @ 48" AFF
- (N) FLOOR REGISTER
- (N) CLNG REGISTER
- (N) MECHANICAL EXHAUST FAN (FAN ONLY, NO LIGHT) W/ ADJUSTABLE HUMIDITY CONTROL BETWEEN 50%-80% FOR INTERMITTENT OPERATION, 3/3 SONE MAX. TERMINATE VENT AT ROOF 3'-0" MIN FROM PROPERTY LINE & BUILDING OPENING, SIZE DUCT PER TABLE BELOW.

WINDOW SCHEDULE				
NO	TYPE	SIZE (W x H)	SILL HEIGHT	ORIENT ATION
1	(N) SINGLE HUNG	2'-0"x4'-10"	2'-0"	N
2	(N) SLIDING X-O-X	10'-6"x4'-10"	2'-0"	N
3	(N) SLIDING X-O	4'-0"x4'-10"	2'-0"	E
4	(N) SLIDING X-O	4'-0"x4'-4"	2'-6"	S
5	(N) FIXED	2'-6"x1'-2"	6'-4"	S
6	(N) SLIDING X-O	3'-0"x2'-4"	4'-8"	W
7	(N) SLIDING X-O	6'-0"x3'-6"	3'-4"	W
8	NOT USED			
9	(N) SINGLE HUNG (OBSCURE)	3'-0"x3'-6"	3'-4"	W

NOTE:
1. ALL (N) WINDOWS SHALL BE ANDERSON 100 SERIES, COMPOSITE, BLACK EXTERIOR, WHITE INTERIOR, W/ INSULATING GLASS UNIT U-VALUE 0.32 MAX, SHGC 0.25 MAX.

DUCT SIZING FOR SINGLE FAN EXHAUST						
FAN CFM @ 0.25" W.C.	FLEX DUCT			SMOOTH DUCT		
	50	80	100	50	80	100
	MAX DUCT LENGTH (FT)					
4"Ø	70	3	X	X	105	35
5"Ø	NL	70	35	20	NL	135
6"Ø	NL	NL	125	95	NL	NL
7"Ø	NL	NL	NL	NL	NL	NL

NOTE:
NL = NO LIMIT X = NOT ALLOWED
DEDUCT 15' DUCT LENGTH FOR EACH ELBOW.
PRESCRIPTIVE REQUIREMENTS PER ASHRAE 62.2, TABLE 7-1.

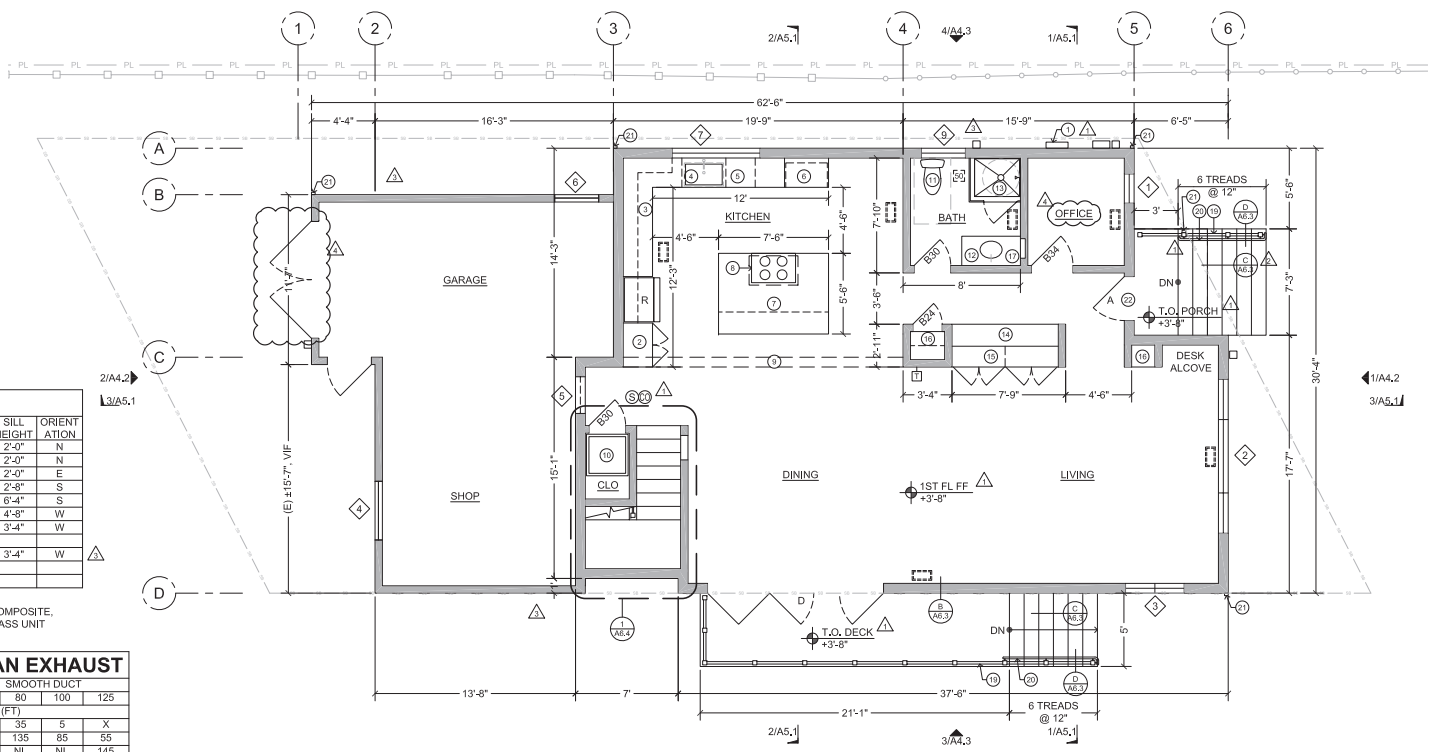
GENERAL NOTES

- ALL WALLS ARE DIMENSIONED TO FACE OF FINISH, UNLN.
- SEE STRUCTURAL DRAWINGS FOR FURTHER FLOOR, WALL & ROOF FRAMING DETAILS & SPECIFICATIONS.
- FRICTION FIT R19 BATT INSULATION IN CRAWLSPACE BETWEEN JOISTS, UNDERFLOOR TYPE WITH VAPOR RETARDER & STAPLING FLANGES, (JM COMFORTHERM, OR EQUAL)
- TYP CEILING - 5/8" GYP BD O/ CEILING JOISTS, FINISHED CEILING HEIGHT AS NOTED ON PLAN.
- PROVIDE WOOD BASEBOARDS AT ALL WALLS.
- ALL SINKS SHALL HAVE HOT & COLD WATER MIXING VALVES.
- COORDINATE APPLIANCES, CASEWORK DETAILS, INTERIOR FINISHES, COLORS, & MATERIALS WITH OWNER.
- PROVIDE SHOWERS & TUB-SHOWER COMBINATIONS W/ INDIVIDUAL CONTROL VALVES ABOVE, OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVE TYPE, CONFORMING TO ASSE 1016, INSTALLER SHALL ADJUST VALVES PER MANUFACTURER INSTRUCTIONS TO DELIVER A MAX MIXED WATER SETTING OF 120°F, CPC 400.3.

KEYNOTES

- OUTDOOR HIGH EFFICIENCY TANKLESS GAS WATER HEATER, 7.5 GPM @ 50°F TEMP RISE MIN, 195000 BTU/H MAX.
- 30x30 CRAWLSPACE ACCESS PANEL
- TOILET 1.28 GPM MAX, CENTERED @ 18" FROM FACE OF WALL
- 24x48 VANITY CABINET W/ SINK, MIRROR, VANITY LIGHT, FAUCET 1.5 GPM @ 80 PSI MAX
- 42x36 SHOWER STALL W/ TEMPERED GLASS ENCLOSURE & DOOR, SHOWERHEAD 2 GPM @ 80 PSI MAX, PROVIDE 30"Ø MIN FLOOR CLEARANCE INSIDE STALL & 22" MIN CLR DOOR WIDTH, AT FLOOR, PROVIDE CERAMIC TILE O/ MIN 1" REINFORCED MORTAR BED O/ SHOWER PAN MEMBRANE. SLOPE MEMBRANE TO DRAIN 1/4" PER FT MIN, TURN MEMBRANE UP WALLS MIN 4" ABOVE SHOWER CURB, PROVIDE MIN 6" SHOWER CURB, AT WALLS, PROVIDE MIN 6"Ø HIGH THIN-SET TILE O/ GLASS MAT TILE BACKER BOARD, FUR AS REQUIRED TO FLUSH W/ SHOWER PAN MEMBRANE, CAULK BETWEEN TILE BACKER BOARD & MORTAR BED.
- 16" BUILT-IN BENCH
- BUILT-IN CABINETS
- BUILT-IN SHELVING
- 16x20 RECESSED MEDICINE CABINET W/ MIRROR FACE
- NOT USED
- 42" HIGH GUARD W/ REDWOOD POSTS & STAINLESS STEEL CABLE BALUSTRADE
- 36" HIGH 1-1/2"Ø REDWOOD HANDRAIL
- DOWNSPOUT, SEE A1.2 FOR CONTINUATION.
- PROVIDE ALUMINUM THRESHOLD PEMKO 75518A W/ DOOR SWEEP PEMKO 368CN.

DOOR SCHEDULE			
TYPE	USE	SIZE	DESCRIPTION
A	EXTERIOR	36x80	CALDWELL FULL LITE WOOD DOOR, CLEAR VERTICAL GRAIN HEM FIR, MATTE CLEAR COAT FINISH, FLAT SQUARE BEADING, INSULATING GLASS UNIT W/ TEMPERED FROST EXTERIOR / TEMPERED CLEAR INTERIOR, GLAZING U-VALUE 0.32 MAX, SHGC 0.25 MAX
AA	PATIO SLIDING	60x80 PR	ANDERSON PATIO SLIDING GLASS DOOR, GLAZING U-VALUE 0.32 MAX, SHGC 0.25 MAX
B34	INTERIOR	34x80	HOLLOW CORE PAINT GRADE, DESIGN & HARDWARE TBD BY OWNER
B30		30x80	
B24		24x80	
B20		20x80	
CC	LAUNDRY	54x80 PR	LOUVERED BH-FOLD, PROVIDE MIN VENTILATION OPENINGS IN LOUVERS PER DRYER MANUFACTURER INSTRUCTIONS
D	SPECIALTY FOLDING	142-314x 80-1/2 (4 PANELS)	LA CANTINA FOLDING DOOR SYSTEM, FULL LITE WOOD DOOR, CONTEMPORARY CLAD W/ VG DOUGLAS FIR, 3LIR 145-3/16x82-3/4, GLAZING U-VALUE 0.32 MAX, SHGC 0.25 MAX, TEMPERED.



ALMEN RESIDENCE
8288 HAMILTON AVENUE, MENLO PARK, CA 94025

SINGLE FAMILY HOUSE NEW CONSTRUCTION

- △ 2/13/19 FC #03
- △ 8/21/18 FC #02
- △ 11/10/17 FC #01
- △ 1/31/17 PLAN CHECK PERMIT

FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

DATE: 11/22/2016

A2.2

PREVIOUSLY APPROVED

LEGEND

- (E) WALL TO REMAIN
- (N) WALL
TYP EXTERIOR - EXTERIOR FINISH SYSTEM
O/WALL SHEATHING O/ 2X6 STUD
FRAMING, FRICTION FIT R21 FACED BATT
INSULATION IN STUD SPACE, PROVIDE 5/8"
GYP BD INTERIOR.
- EXTERIOR FINISH SYSTEMS:
STUCCO - 7/8" TRADITIONAL 3-COAT
STUCCO O/ METAL LATH O/ DUPONT
TYVEK HOMEWRAP O/ STUCCOWRAP.
SPECIALTY STUCCO FINISH VARIANCE
TIERRA TO RESEMBLE SMOOTH
CONCRETE, COLOR ALLOY.
SIDING - 1/6" HORIZONTAL T&G
REDWOOD SIDING O/ STUCCOWRAP.
SEE ELEVATIONS FOR LOCATION &
EXTENT OF FINISH SYSTEMS.
- TYP INTERIOR - 2X4 STUD FRAMING W/ 5/8"
GYP BD EACH SIDE, SUBSTITUTE GYP BD
W/ GLASS MAT TILE BACKER BOARD
UNDER CERAMIC TILES.
- (E) DOOR TO REMAIN
- (N) DOOR & FRAME
- (E) WINDOW
- (N) WINDOW
- (N) THERMOSTAT @ 48" AFF
- (N) FLOOR REGISTER
- (N) CLNG REGISTER
- (N) MECHANICAL EXHAUST FAN (FAN
ONLY, NO LIGHT) W/ ADJUSTABLE
HUMIDITY CONTROL BETWEEN 50%-80%
FOR INTERMITTENT OPERATION, 3.0
SOME MAX, TERMINATE VENT AT ROOF
3'-0" MIN FROM PROPERTY LINE &
BUILDING OPENING, SIZE DUCT PER
TABLE ON A2.2
- (N) CEILING SURFACE MOUNTED
PHOTOELECTRIC HARD-WIRED
INTERCONNECTED SMOKE ALARM WITH
9V BATTERY POWER BACKUP, MIN 5-YR
WARRANTY.
- COMBO SMOKE & CARBON MONOXIDE
UNIT, W.O.

WINDOW SCHEDULE				
NO	TYPE	SIZE (W x H)	SILL HEIGHT	ORIENT ACTION
10	(N) FIXED TRAPEZOID (NOTE 2)	2'-0"x1'-8" MIN	3'-0"	N
11	(N) SINGLE HUNG	2'-0"x3'-10"	3'-0"	N
12	(N) FIXED TRAPEZOID (NOTE 2)	3'-0"x2'-4" MIN	3'-0"	N
13	(N) FIXED	2'-0"x3'-0"	1'-0"	E
14	(N) FIXED	2'-0"x3'-0"	1'-0"	E
15	(N) CASEMENT (NOTE 3, 4)	2'-11"x3'-0"	1'-0"	E
16	(N) FIXED, TEMPERED (NOTE 5)	3'-0"x6'-3"	2'-0"	E
17	NOT USED			
18	(N) FIXED, TEMPERED	2'-6"x5'-10"	1'-0"	S
19	(N) CASEMENT	2'-0"x3'-0"	3'-4"	S
20	(N) FIXED TRAPEZOID (NOTE 2)	2'-0"x1'-6" MIN	3'-4"	S
21	(N) SLIDING X-O-X (NOTE 3)	8'-0"x3'-4"	3'-4"	W
22	(N) SINGLE HUNG (OBSCURE)	3'-0"x3'-6"	3'-4"	W

- NOTE:
- ALL (N) WINDOWS SHALL BE ANDERSON 100 SERIES, COMPOSITE, BLACK EXTERIOR, WHITE INTERIOR, W/ INSULATING GLASS UNIT (U-VALUE 0.32 MAX, SHGC 0.25 MAX).
 - TRAPEZOID WINDOW - MIN HEIGHT NOTED, FOLLOW ROOF SLOPE TO OBTAIN MAX HEIGHT.
 - EGRESS WINDOW - PROVIDE MIN 5.7 SF CLEAR OPENABLE AREA, MIN 20" CLEAR WIDTH, MIN 24" CLEAR HEIGHT, MAX 44" TO BOTTOM OF CLEAR OPENING.
 - PROVIDE WINDOW OPENING CONTROL DEVICE PER ASTM F2090.
 - SILL HEIGHT ABOVE LANDING.
 - ALL TEMPERED GLASS SHALL HAVE NON-REMOVABLE INFO ETCHED IN CORNER OF GLASS.

GENERAL NOTES

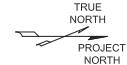
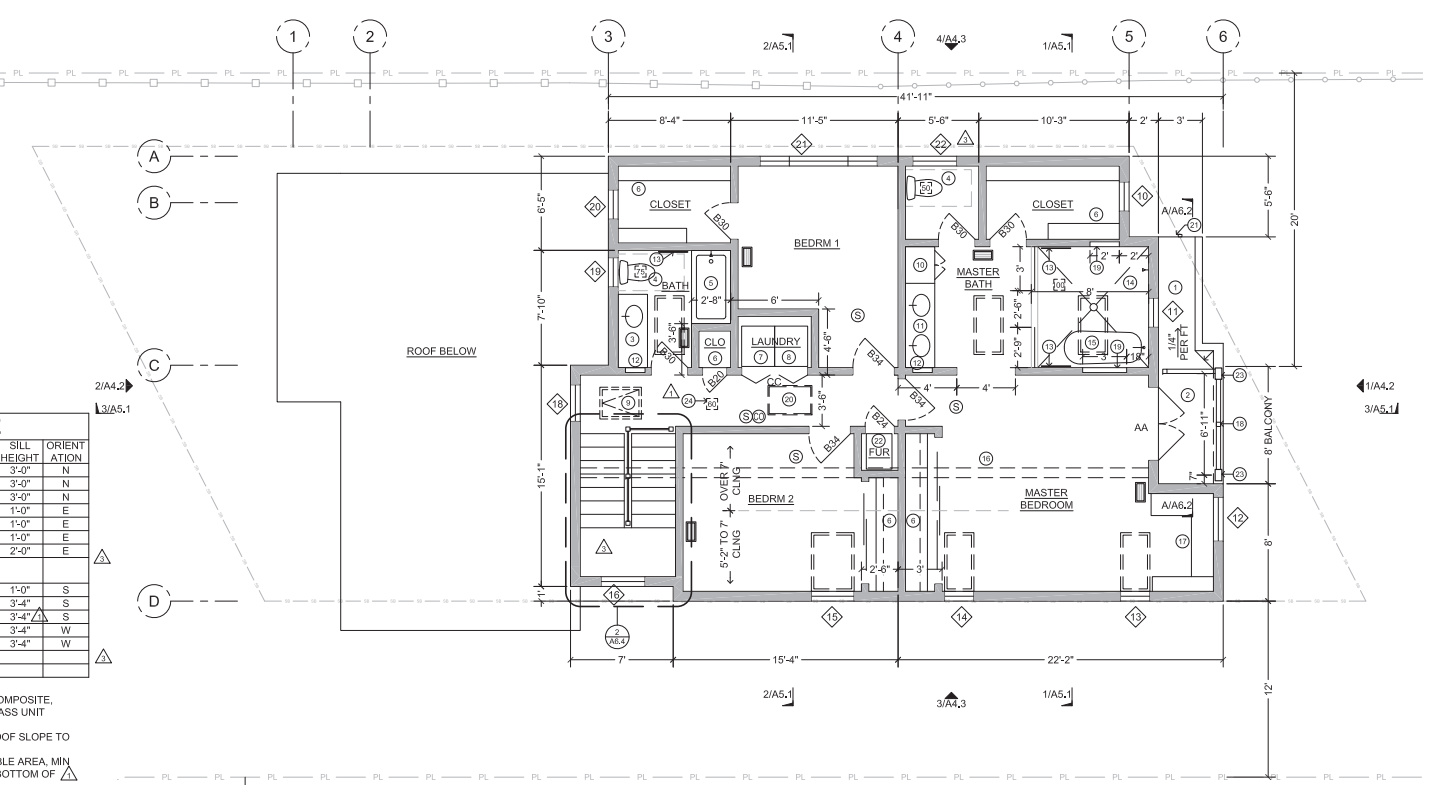
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- SEE STRUCTURAL DRAWINGS FOR FURTHER FLOOR, WALL & ROOF FRAMING DETAILS & SPECIFICATIONS.
- FRICTION FIT R19 BATT INSULATION IN CRAWLSPACE BETWEEN JOISTS, UNDERFLOOR TYPE WITH VAPOR RETARDER & STAPLING FLANGES, (JM COMFORTHERM, OR EQUAL)
- TYP CEILING - 5/8" GYP BD O/ CEILING JOISTS, FINISHED CEILING HEIGHT AS NOTED ON PLAN.
- PROVIDE WOOD BASEBOARDS AT ALL WALLS.
- ALL SINKS SHALL HAVE HOT & COLD WATER MIXING VALVES.
- COORDINATE APPLIANCES, CASEWORK DETAILS, INTERIOR FINISHES, COLORS, & MATERIALS WITH OWNER.
- FOR DOORS, SEE DOOR SCHEDULE ON A2.2.
- PROVIDE SHOWERS & TUB-SHOWER COMBINATIONS W/ INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE THERMOSTATIC MIXING VALVE TYPE, CONFORMING TO ASSE 1016. INSTALLER SHALL ADJUST VALVES PER MANUFACTURER INSTRUCTIONS TO DELIVER A MAX MIXED WATER SETTING OF 120°F, CPC 408.3.

KEYNOTES

- TYP SINGLE-PLY MEMBRANE SYSTEM: CLASS A IB 50 MIL SINGLE-PLY THERMOPLASTIC ROOFING O/ (2) LAYERS ATLAS FR10 O/ SHEATHING O/ FLOOR JOISTS.
- WOOD DECK O/ ALL WELDED METAL DRAIN PAN
- 24x60 VANITY CABINET W/ SINK, MIRROR, VANITY LIGHT, FAUCET 1.5 GPM @ 60 PSI MAX
- TOLLET 1.28 GPM MAX, CENTERED @ 18" FROM FACE OF WALL
- 32x60 PREFAB TUB W/ MIN 6'-0" THIN-SET TILE O/ GLASS MAT TILE BACKER BOARD @ WALL SURROUND
- BUILT-IN SHELVING
- WASHER ON WATERTIGHT DRAIN PAN W/ 1" DRAIN PIPE
- GAS DRYER, VENT TO ROOF W/ 4" O MIN RIGID METAL DUCT, TERMINATE VENT AT ROOF 3'-0" MIN FROM PROPERTY LINE, BUILDING OPENINGS & AIR VENTS
- 22x30 HINGED ACCESS DOOR, FINISH TO MATCH CLNG
- FULL HEIGHT LINEN CABINET
- 24x69 VANITY CABINET W/ DOUBLE SINKS,
- MIRROR, VANITY LIGHT, FAUCET 1.5 GPM @ 60 PSI MAX
- 16x20 RECESSED MEDICINE CABINET
- TOWEL BAR, BLOCK AS REQUIRED
- SHOWER ROOM W/ TEMPERED GLASS PARTITIONS, SHOWERHEAD 2 GPM @ 80 PSI MAX, AT FLOOR, PROVIDE CERAMIC TILE O/ MIN 1" REINFORCED MORTAR BED O/ SHOWER PAN MEMBRANE, SLOPE MEMBRANE TO DRAIN 1/4" PER FT MIN, TURN MEMBRANE UP WALLS MIN 4" ABOVE SHOWER CURB, PROVIDE MIN 6" SHOWER CURB, AT WALLS, PROVIDE 7'-0" HIGH THIN-SET TILE O/ GLASS MAT TILE BACKER BOARD, FUR AS REQUIRED TO FLUSH W/ SHOWER PAN MEMBRANE, CAULK BETWEEN TILE BACKER BOARD & MORTAR BED.
- FREESTANDING TUB SET ON LEVEL BASE, SLOPE TILED FLOOR AREAS BETWEEN TUB & WALLS OUT TO DRAIN AS REQUIRED
- CLERESTORY WALL ABOVE
- BUILT-IN BENCH & SHELVING
- GUARD W/ WOOD POSTS & STAINLESS STEEL CABLES, SSD
- FULLY TILED RECESSED NICHE
- FURNACE CLNG RETURN

- 2x3 DOWNSPOUT, SEE A1.2 FOR CONTINUATION
- DIRECT VENT DOWNDRAFT FURNACE, 150000 BTU, 95% AFUE MINIMUM, PRE-PLUMB FOR FUTURE A/C UNIT, CROSS OVER TO WEST SIDE OF HOUSE ABOVE MIDDLE CLOSET ON 1ST FLOOR, MINIMIZE PENETRATIONS IN MAJOR BEAMS, PROVIDE INLINE DAMPER IN SUPPLY PLENUM AS REQUIRED.
- ARCHITECTURAL GRADE REDWOOD POST, SSD
- CEILING MOUNTED WHOLE HOUSE FAN, EXHAUST ONLY, VENT TO ROOF, TERMINATE MIN 3'-0" FROM BUILDING OPENINGS & AIR VENTS, 1 SONE MAX, MIN CFM AS NOTED ON PLAN, PROVIDE LABEL AT CONTROL SWITCH, MIN ARIAL 12 PT BOLD TYPE ON WHITE BACKGROUND, TO MAINTAIN MINIMUM LEVELS OF OUTSIDE AIR VENTILATION REQUIRED FOR GOOD HEALTH, THE FAN CONTROL SHOULD BE ON AT ALL TIMES WHEN THE BUILDING IS OCCUPIED, UNLESS THERE IS SEVERE OUTDOOR AIR CONTAMINATION,* PER ASHRAE 62.2, MIN Qfan = 0.01 x 2350 + 7.5 x (3+1) = 54 CFM

HABITABLE ROOM AREA				
ROOM	FLOOR AREA >= 5' CLNG	FLOOR AREA >= 7' CLNG	REQUIRED	PROVIDED
BEDRM 1	70 SF	131 SF	35 SF	71 SF
BEDRM 2	70 SF	129 SF	35 SF	62 SF
MASTER BEDRM	70 SF	246 SF	35 SF	144 SF



ALMEN RESIDENCE
SINGLE FAMILY HOUSE NEW CONSTRUCTION
 8288 HAMILTON AVENUE, MENLO PARK, CA 94025

8/21/18 FC 802
 1/31/17 PLAN CHECK PERMIT

SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

DATE: 11/22/2016

A2.3

CURRENTLY PROPOSED

LEGEND

- (E) WALL TO REMAIN
- (N) WALL
TYP EXTERIOR - EXTERIOR FINISH SYSTEM
O/WALL SHEATHING O/2X6 STUD
FRAMING, FRICTION FIT R21 FACED BATT
INSULATION IN STUD SPACE, PROVIDE 5/8"
GYP BD INTERIOR.
- EXTERIOR FINISH SYSTEMS:
STUCCO - 7/8" TRADITIONAL 3-COAT
STUCCO O/ METAL LATH O/ DUPONT
TYVEA MEMBRANE O/ STUCCO O/ P
COLOR #1: NEUTRAL COMPLEMENTARY
COLOR TBD
COLOR #2: SPECIALTY STUCCO FINISH
VARIANCE TIERRA TO RESEMBLE
SMOOTH CONCRETE. COLOR ALLOW
SEE ELEVATIONS FOR LOCATION &
EXTENT OF FINISH SYSTEMS.
- TYP INTERIOR - 2X4 STUD FRAMING W/ 5/8"
GYP BD EACH SIDE, SUBSTITUTE GYP BD
W/ GLASS MAT TILE BACKER BOARD
UNDER CERAMIC TILES.
- (E) DOOR TO REMAIN
- (N) DOOR & FRAME
- (E) WINDOW
- (N) WINDOW
- (N) THERMOSTAT @ 48" AFF
- (N) FLOOR REGISTER
- (N) CLNG REGISTER
- (N) MECHANICAL EXHAUST FAN (FAN
ONLY, NO LIGHT) W/ ADJUSTABLE
HUMIDITY CONTROL BETWEEN 50%-80%
FOR INTERMITTENT OPERATION, 3.0
SOME MAX, TERMINATE VENT AT ROOF
3'-0" MIN FROM PROPERTY LINE &
BUILDING OPENING, SIZE DUCT PER
TABLE ON A2.2
- (N) CEILING SURFACE MOUNTED
PHOTOELECTRIC HARD-WIRED
INTERCONNECTED SMOKE ALARM WITH
9V BATTERY POWER BACKUP, MIN 5-YR
WARRANTY.
- COMBO SMOKE & CARBON MONOXIDE
UNIT, W.O.

WINDOW SCHEDULE				
NO	TYPE	SIZE (W x H)	SILL HEIGHT	ORIENT ACTION
10	(N) FIXED TRAPEZOID (NOTE 2)	2'-0"x1'-8" MIN	3'-0"	N
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15	(N) CASEMENT (NOTE 3, 4)	2'-11"x3'-0"	1'-0"	E
16	(N) FIXED, TEMPERED (NOTE 5)	3'-0"x6'-3"	2'-0"	E
17	NOT USED			
18	(N) FIXED, TEMPERED	2'-6"x5'-10"	1'-0"	S
19	(N) CASEMENT	2'-0"x3'-0"	3'-4"	S
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21	(N) SLIDING X-O-X (NOTE 3)	8'-0"x3'-4"	3'-4"	W
22	(N) SINGLE HUNG (OBSCURE)	3'-0"x3'-6"	3'-4"	W

- NOTE:
- ALL (N) WINDOWS SHALL BE ANDERSON 100 SERIES, COMPOSITE, BLACK EXTERIOR, WHITE INTERIOR, W/ INSULATING GLASS UNIT (U-VALUE 0.32 MAX, SHGC 0.25 MAX).
 - TRAPEZOID WINDOW - MIN HEIGHT NOTED, FOLLOW ROOF SLOPE TO OBTAIN MAX HEIGHT.
 - EGRESS WINDOW - PROVIDE MIN 5.7 SF CLEAR OPENABLE AREA, MIN 20" CLEAR WIDTH, MIN 24" CLEAR HEIGHT, MAX 44" TO BOTTOM OF CLEAR OPENING.
 - PROVIDE WINDOW OPENING CONTROL DEVICE PER ASTM F2090.
 - SILL HEIGHT ABOVE LANDING.
 - ALL TEMPERED GLASS SHALL HAVE NON-REMOVABLE INFO ETCHED IN CORNER OF GLASS.

GENERAL NOTES

- ALL WALLS ARE DIMENSIONED TO FACE OF FINISH, UNLN.
- SEE STRUCTURAL DRAWINGS FOR FURTHER FLOOR, WALL & ROOF FRAMING DETAILS & SPECIFICATIONS.
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- COORDINATE APPLIANCES, CASEWORK DETAILS, INTERIOR FINISHES, COLORS, & MATERIALS WITH OWNER.
- FOR DOORS, SEE DOOR SCHEDULE ON A2.2.
- PROVIDE SHOWERS & TUB-SHOWER COMBINATIONS W/ INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE THERMOSTATIC MIXING VALVE TYPE, CONFORMING TO ASSE 1016. INSTALLER SHALL ADJUST VALVES PER MANUFACTURER INSTRUCTIONS TO DELIVER A MAX MIXED WATER SETTING OF 120°F, CPC 408.3.

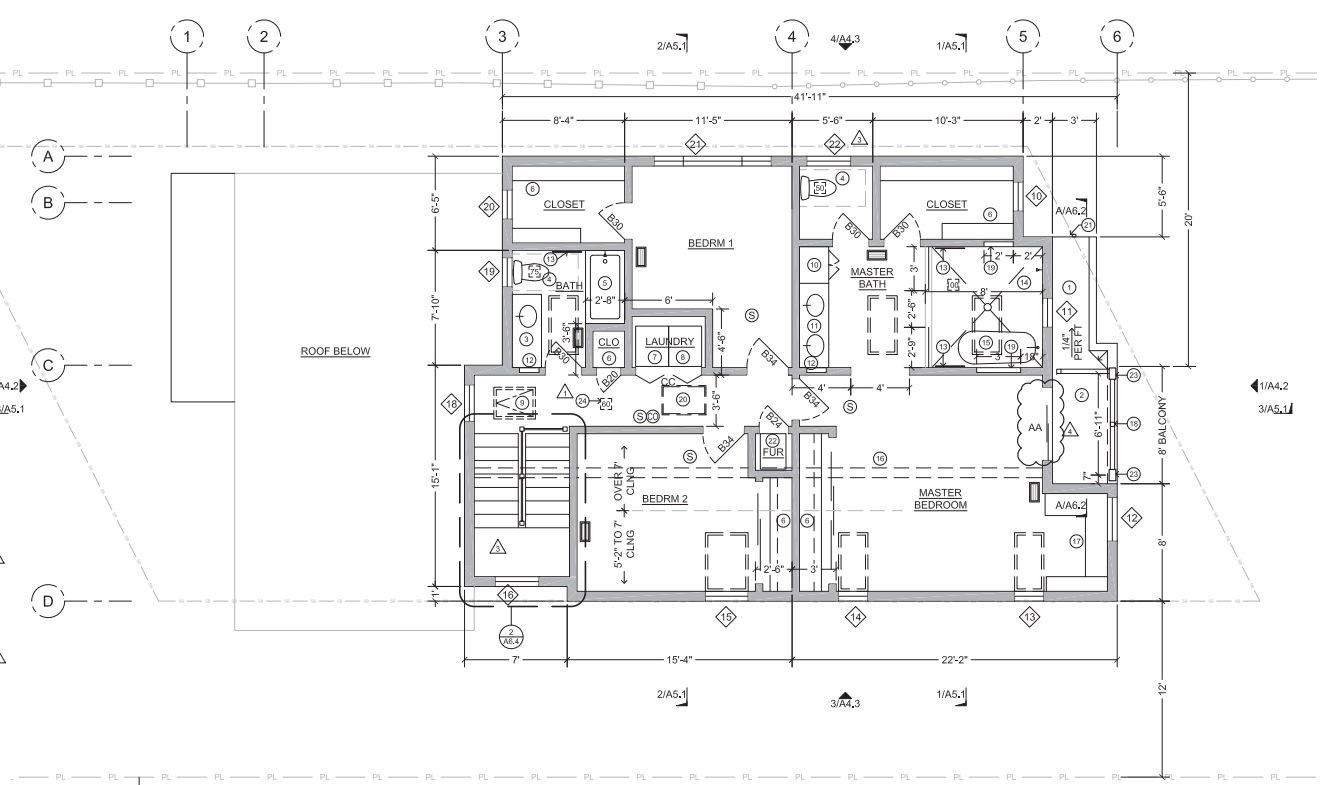
KEYNOTES

- TYP SINGLE-PLY MEMBRANE SYSTEM: CLASS A IB 50 MIL SINGLE-PLY THERMOPLASTIC ROOFING O/ (2) LAYERS ATLAS FR10 O/ SHEATHING O/ FLOOR JOISTS.
- WOOD DECK O/ ALL WELDED METAL DRAIN PAN
- 24x60 VANITY CABINET W/ SINK, MIRROR, VANITY LIGHT, FAUCET 1.5 GPM @ 60 PSI MAX
- TOLLET 1.28 GPM MAX, CENTERED @ 18" FROM FACE OF WALL
- 32x60 PREFAB TUB W/ MIN 6'-0" THIN-SET TILE O/ GLASS MAT TILE BACKER BOARD @ WALL SURROUND
- BUILT-IN SHELVING
- WASHER ON WATERTIGHT DRAIN PAN W/ 1" DRAIN PIPE
- 22x30 HINGED ACCESS DOOR, FINISH TO MATCH CLNG
- FULL HEIGHT LINEN CABINET
- 24x69 VANITY CABINET W/ DOUBLE SINKS,

- MIRROR, VANITY LIGHT, FAUCET 1.5 GPM @ 60 PSI MAX
- 16x20 RECESSED MEDICINE CABINET
- TOWEL BAR, BLOCK AS REQUIRED
- SHOWER ROOM W/ TEMPERED GLASS PARTITIONS, SHOWERHEAD 2 GPM @ 80 PSI MAX, AT FLOOR, PROVIDE CERAMIC TILE O/ MIN 1" REINFORCED MORTAR BED O/ SHOWER PAN MEMBRANE, SLOPE MEMBRANE TO DRAIN 1/4" PER FT MIN. TURN MEMBRANE UP WALLS MIN 4" ABOVE SHOWER CURB, PROVIDE MIN 6" SHOWER CURB, AT WALLS, PROVIDE 7'-0" HIGH THIN-SET TILE O/ GLASS MAT TILE BACKER BOARD. FUR AS REQUIRED TO FLUSH W/ SHOWER PAN MEMBRANE, CAULK BETWEEN TILE BACKER BOARD & MORTAR BED.
- FREESTANDING TUB SET ON LEVEL BASE, SLOPE TILED FLOOR AREAS BETWEEN TUB & WALLS OUT TO DRAIN AS REQUIRED
- CLERESTORY WALL ABOVE
- BUILT-IN BENCH & SHELVING
- GUARD W/ WOOD POSTS & STAINLESS STEEL CABLES, SSD
- FULLY TILED RECESSED NICHE
- FURNACE CLNG RETURN

- 2x3 DOWNSPOUT, SEE A1.2 FOR CONTINUATION
- DIRECT VENT DOWNDRAFT FURNACE, 150000 BTU, 95% AFUE MINIMUM, PRE-PLUMB FOR FUTURE A/C UNIT, CROSS OVER TO WEST SIDE OF HOUSE ABOVE MIDDLE CLOSET ON 1ST FLOOR, MINIMIZE PENETRATIONS IN MAJOR BEAMS, PROVIDE INLINE DAMPER IN SUPPLY PLENUM AS REQUIRED.
- ARCHITECTURAL GRADE REDWOOD POST, SSD
- CEILING MOUNTED WHOLE HOUSE FAN, EXHAUST ONLY, VENT TO ROOF, TERMINATE MIN 3'-0" FROM BUILDING OPENINGS & AIR VENTS, 1 SOME MAX, MIN CFM AS NOTED ON PLAN, PROVIDE LABEL AT CONTROL SWITCH, MIN ARIAL 12 PT BOLD TYPE ON WHITE BACKGROUND, TO MAINTAIN MINIMUM LEVELS OF OUTSIDE AIR VENTILATION REQUIRED FOR GOOD HEALTH, THE FAN CONTROL SHOULD BE ON AT ALL TIMES WHEN THE BUILDING IS OCCUPIED, UNLESS THERE IS SEVERE OUTDOOR AIR CONTAMINATION,* PER ASHRAE 62.2, MIN Qfan = 0.01 x 2350 + 7.5 x (3+1) = 54 CFM

HABITABLE ROOM AREA				
ROOM	FLOOR AREA >= 5' CLNG	FLOOR AREA >= 7' CLNG	REQUIRED	PROVIDED
BEDRM 1	70 SF	131 SF	35 SF	71 SF
BEDRM 2	70 SF	129 SF	35 SF	62 SF
MASTER BEDRM	70 SF	246 SF	35 SF	144 SF



ALMEN RESIDENCE
8288 HAMILTON AVENUE, MENLO PARK, CA 94025

SINGLE FAMILY HOUSE NEW CONSTRUCTION

- △ 2/13/19 FC #03
- △ 8/21/18 FC #02
- △ 1/31/17 PLAN CHECK PERMIT

SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

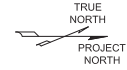
DATE: 11/22/2016

A2.3

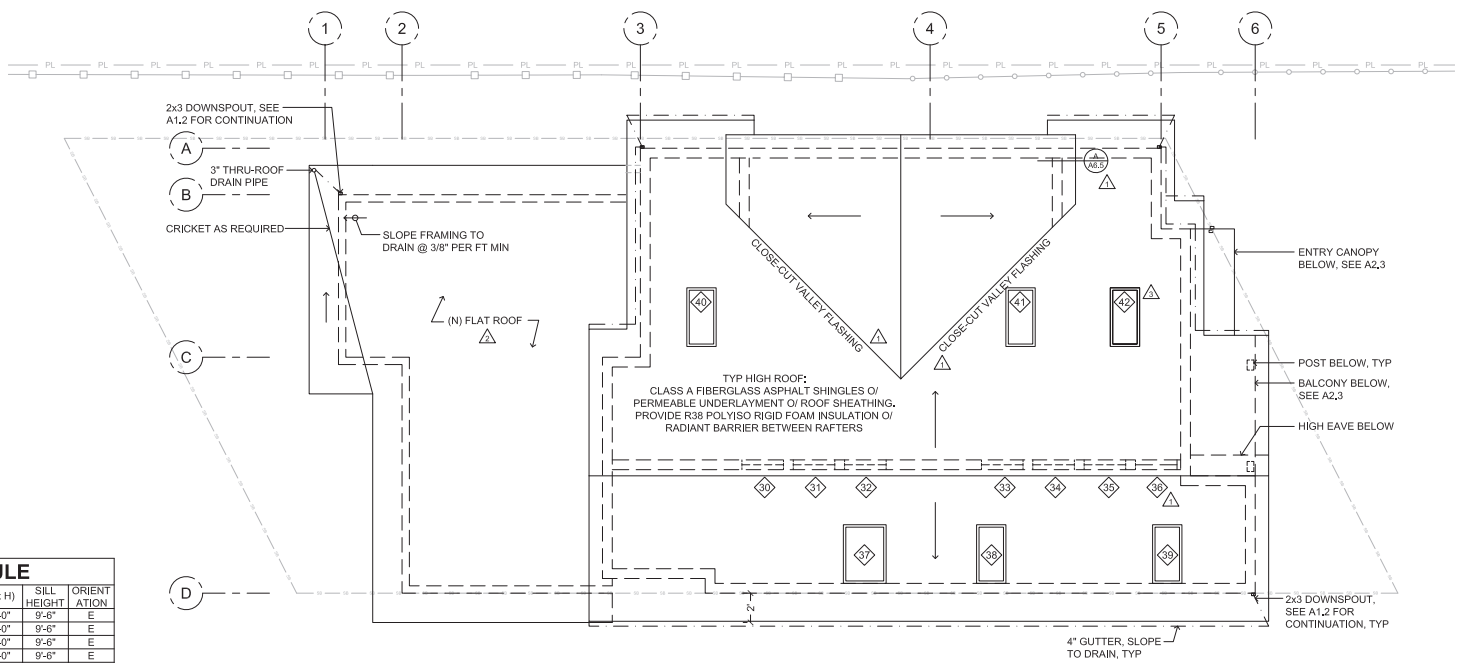
PREVIOUSLY APPROVED, FOR REFERENCE ONLY

GENERAL NOTES

- SEE A6.1 FOR MATERIAL SPECIFICATIONS.
-



ALMEN RESIDENCE
SINGLE FAMILY HOUSE NEW CONSTRUCTION
 8288 HAMILTON AVENUE, MENLO PARK, CA 94025



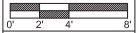
WINDOW SCHEDULE				
NO.	TYPE	SIZE (W x H)	SILL HEIGHT	ORIENTATION
30	(N) FIXED CLERESTORY	2'-10"x2'-0"	9'-6"	E
31	(N) FIXED CLERESTORY	2'-10"x2'-0"	9'-6"	E
32	(N) FIXED CLERESTORY	2'-10"x2'-0"	9'-6"	E
33	(N) FIXED CLERESTORY	2'-10"x2'-0"	9'-6"	E
34	(N) FIXED CLERESTORY	2'-10"x2'-0"	9'-6"	E
35	(N) FIXED CLERESTORY	2'-10"x2'-0"	9'-6"	E
36	(N) FIXED CLERESTORY	2'-10"x2'-0"	9'-6"	E
37	(N) FIXED SKYLIGHT	2'-11"x4'-0"	-	E
38	(N) FIXED SKYLIGHT	2'-0"x4'-0"	-	E
39	(N) FIXED SKYLIGHT	2'-0"x4'-0"	-	E
40	(N) FIXED SKYLIGHT	2'-0"x4'-0"	-	W
41	(N) FIXED SKYLIGHT	2'-0"x4'-0"	-	W
42	(N) FIXED SKYLIGHT	2'-0"x4'-0"	-	W

NOTE:
 1. ALL (N) WINDOWS SHALL BE ANDERSON 100 SERIES, COMPOSITE, BLACK EXTERIOR, WHITE INTERIOR, W/ INSULATING GLASS UNIT U-VALUE 0.32 MAX, SHGC 0.25 MAX.

- △ 8/21/18 FC #02
- △ 11/10/17 FC #01
- △ 1/31/17 PLAN CHECK PERMIT

ROOF PLAN

SCALE: 1/4" = 1'-0"






DATE: 11/22/2016

A3.2

PREVIOUSLY APPROVED

LEGEND

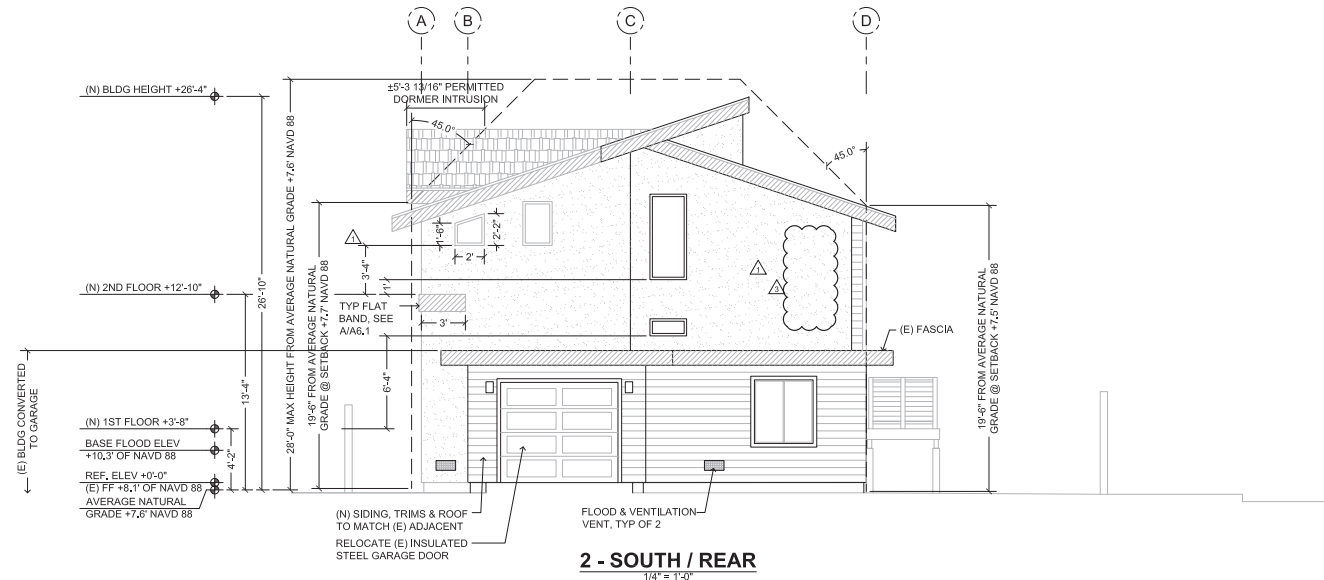
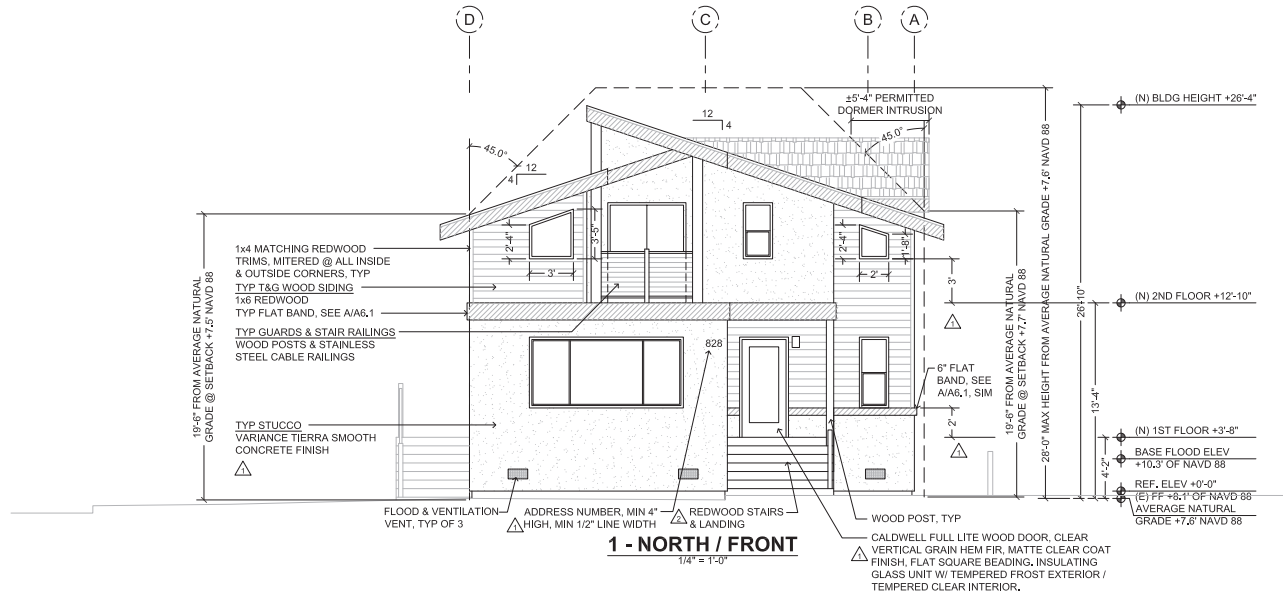
-  TYP SIDING, UON, SEE A2.2 FOR SPECIFICATIONS
-  TYP STUCCO, SEE A2.2 FOR SPECIFICATIONS
-  PAINT - BENJAMIN MOORE BLACK 2132-10

NOTE:

1. SEE A5.1 FOR HEIGHTS OF ELEMENTS NOT NOTED.

FLOOD & VENTILATION VENTS

AREA	CRAWLSPACE	GARAGE
1:150 NET VENTILATION OPENING REQUIRED	1224 SQ.IN.	451 SF
1:144 NET FLOOD VENT OPENING REQUIRED	1224 SQ.IN.	451 SQ.IN.
COVER/DEVICE SPECIFICATION	16x8 BLOCK-OUT IN CONC FOUNDATION WALL W/ 80% NFA INSECT SCREEN @ 102.4 SQ.IN.	
QUANTITY	12	5
NET OPENINGS PROVIDED	1229 SQ.IN.	512 SQ.IN.



Yeung
Architecture
+
Design

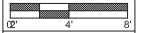


ALMEN RESIDENCE
SINGLE FAMILY HOUSE NEW CONSTRUCTION
8288 HAMILTON AVENUE, MENLO PARK, CA 94025

-  8/21/18 FC #02
-  11/10/17 FC #01
-  1/31/17 PLAN CHECK PERMIT

EXTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"






DATE: 11/22/2016

A4.2

CURRENTLY PROPOSED

LEGEND

-  STUCCO, COLOR #1, SANDBLAST. SEE A2.2 FOR SPEC.
-  STUCCO COLOR #2, SEE A2.2 FOR SPEC.
-  PAINT - BENJAMIN MOORE BLACK 2132-10

NOTE:

1. SEE A5.1 FOR HEIGHTS OF ELEMENTS NOT NOTED.

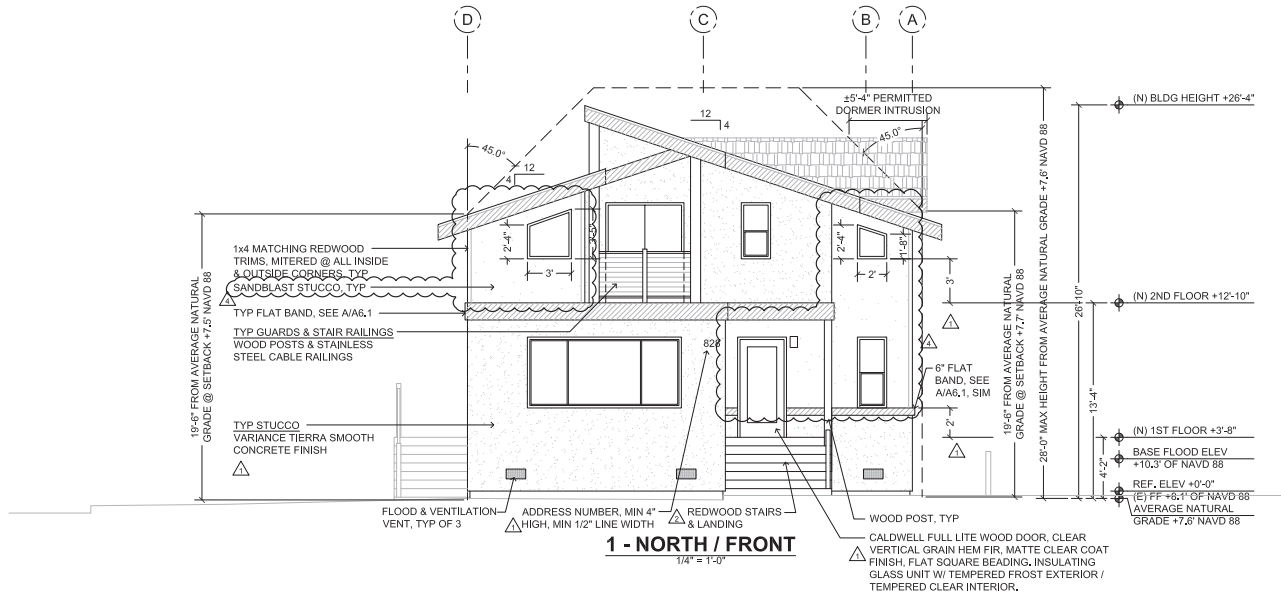
FLOOD & VENTILATION VENTS

AREA	CRAWLSPACE	GARAGE
1:150 NET VENTILATION OPENING REQUIRED	1224 SQ.F.	451 SF
1:144 NET FLOOD VENT OPENING REQUIRED	1224 SQ.F.	451 SQ.F.
COVER/DEVICE SPECIFICATION	16x8 BLOCK-OUT IN CONC FOUNDATION WALL W/ 80% NFA INSECT SCREEN @ 102.4 SQ.F.	
QUANTITY	12	5
NET OPENINGS PROVIDED	1229 SQ.F.	512 SQ.F.

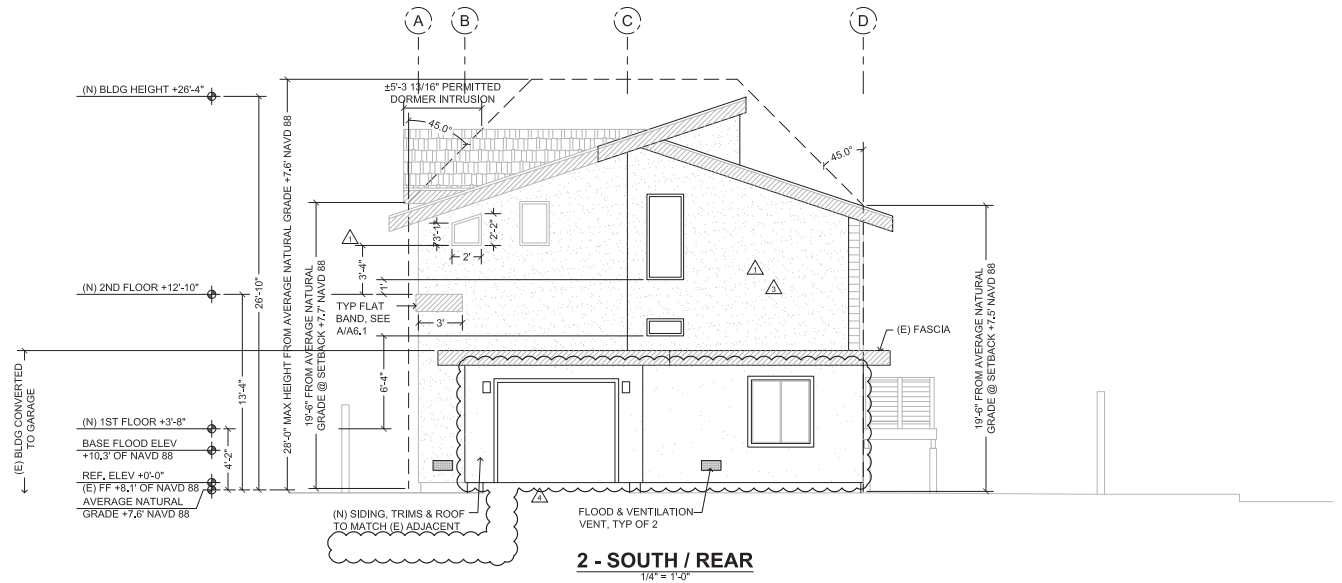
STUCCO COLOR #1
DRYVIT 617A WINTER EVE



STUCCO COLOR #2
DRYVIT 132 MOUNTAIN FOG



1 - NORTH / FRONT
1/4" = 1'-0"



2 - SOUTH / REAR
1/4" = 1'-0"

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+
Design



ALMEN RESIDENCE
SINGLE FAMILY HOUSE NEW CONSTRUCTION
8288 HAMILTON AVENUE, MENLO PARK, CA 94025

- △ 2/13/19 FC #03
- △ 8/21/18 FC #02
- △ 11/10/17 FC #01
- △ 1/31/17 PLAN CHECK PERMIT

EXTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"






DATE: 11/22/2016

A4.2

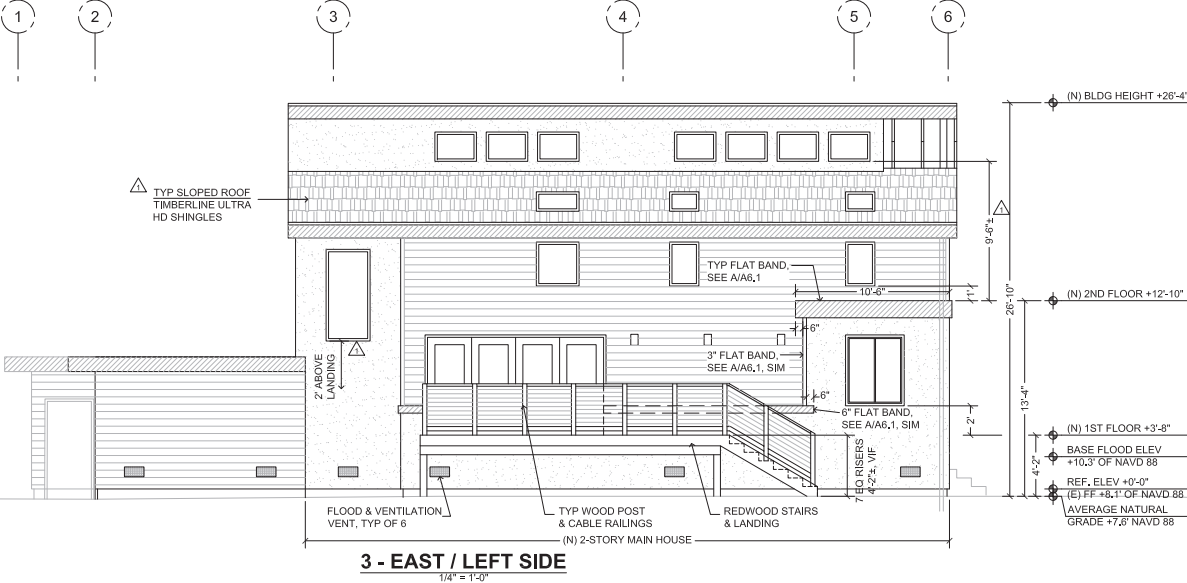
PREVIOUSLY APPROVED

LEGEND

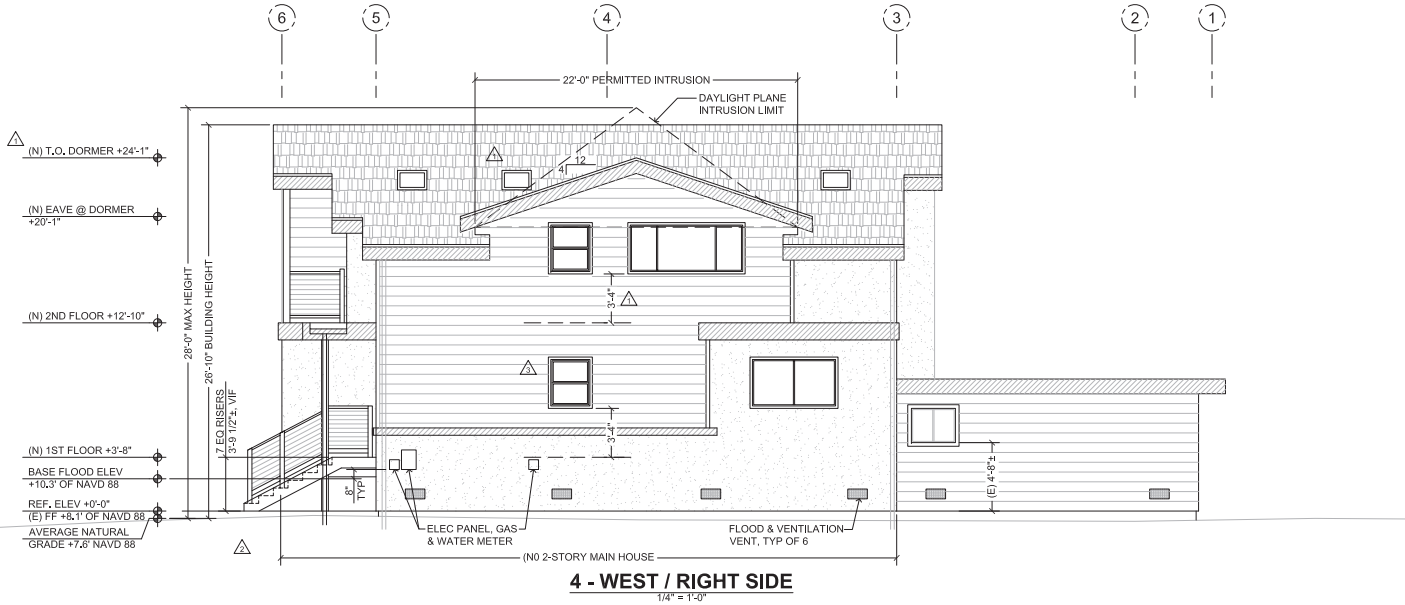
-  TYP SIDING, UON, SEE A2.2 FOR SPECIFICATIONS
-  TYP STUCCO, SEE A2.2 FOR SPECIFICATIONS
-  PAINT - BENJAMIN MOORE BLACK 2132-10

NOTE:

1. SEE A5.1 FOR HEIGHTS OF ELEMENTS NOT NOTED.



3 - EAST / LEFT SIDE
1/4" = 1'-0"



4 - WEST / RIGHT SIDE
1/4" = 1'-0"



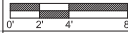
ALMEN RESIDENCE
828 HAMILTON AVENUE, MENLO PARK, CA 94025

SINGLE FAMILY HOUSE NEW CONSTRUCTION

-  8/21/18 FC #02
-  11/10/17 FC #01
-  1/31/17 PLAN CHECK PERMIT

EXTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"






DATE: 11/22/2016

A4.3

CURRENTLY PROPOSED

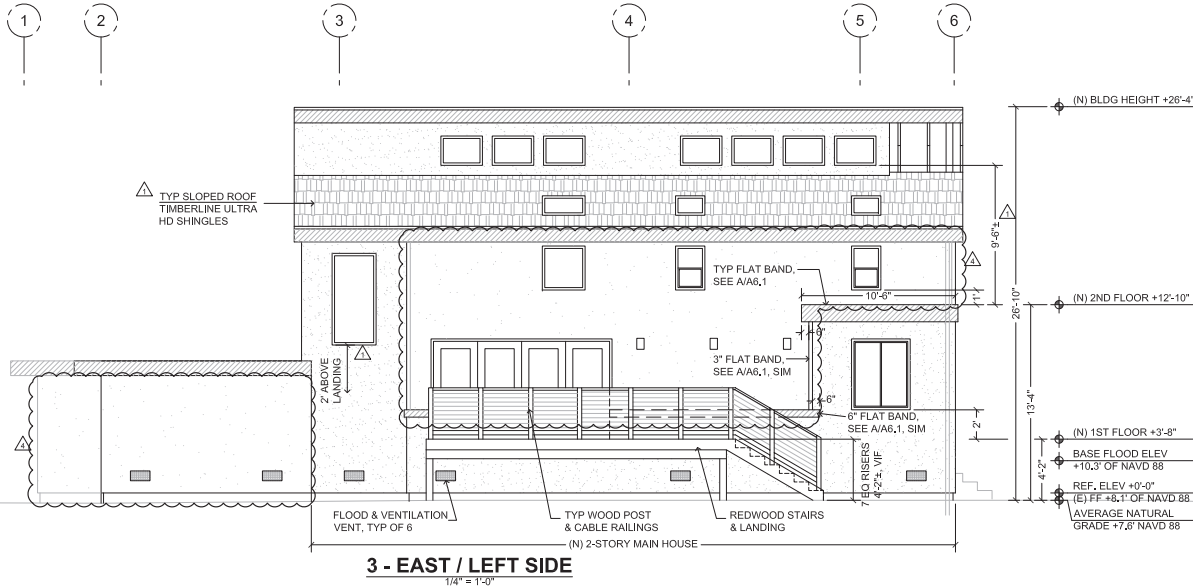
LEGEND

-  STUCCO COLOR #1, SANDBLAST. SEE A2.2 FOR SPEC.
-  STUCCO COLOR #2, SEE A2.2 FOR SPEC.
-  PAINT - BENJAMIN MOORE BLACK 2132-10

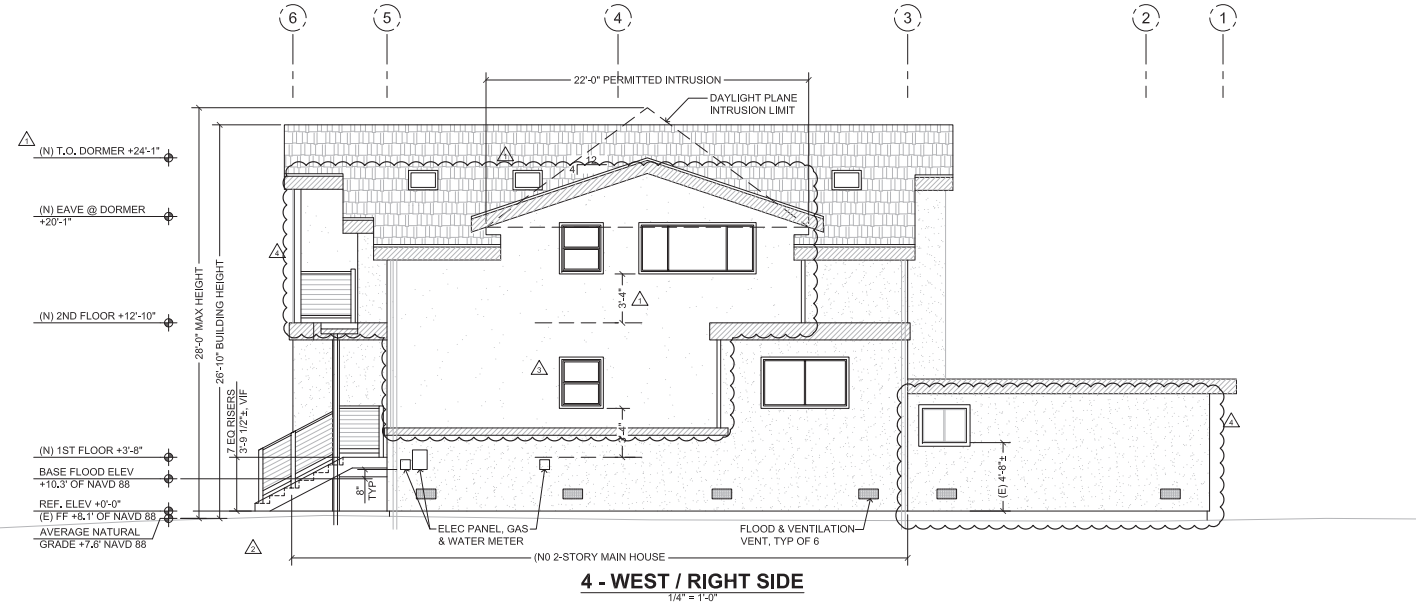
- STUCCO COLOR #1
DRYVIT 617A WINTER EVE
- STUCCO COLOR #2
DRYVIT 132 MOUNTAIN FOG

NOTE:

1. SEE A5.1 FOR HEIGHTS OF ELEMENTS NOT NOTED.



3 - EAST / LEFT SIDE
1/4" = 1'-0"



4 - WEST / RIGHT SIDE
1/4" = 1'-0"

Yeung
Architecture
+
Design

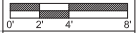


ALMEN RESIDENCE
SINGLE FAMILY HOUSE NEW CONSTRUCTION
828 HAMILTON AVENUE, MENLO PARK, CA 94025

- △ 2/13/19 FC #03
- △ 8/21/18 FC #02
- △ 11/10/17 FC #01
- △ 1/31/17 PLAN CHECK PERMIT

EXTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"



DATE: 11/22/2016

A4.3

PREVIOUSLY APPROVED, FOR REFERENCE ONLY

Yeung
Architecture
+
Design



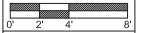

ALMEN RESIDENCE
8288 HAMILTON AVENUE, MENLO PARK, CA 94025

SINGLE FAMILY HOUSE NEW CONSTRUCTION

△ 1/31/17 PLAN CHECK PERMIT

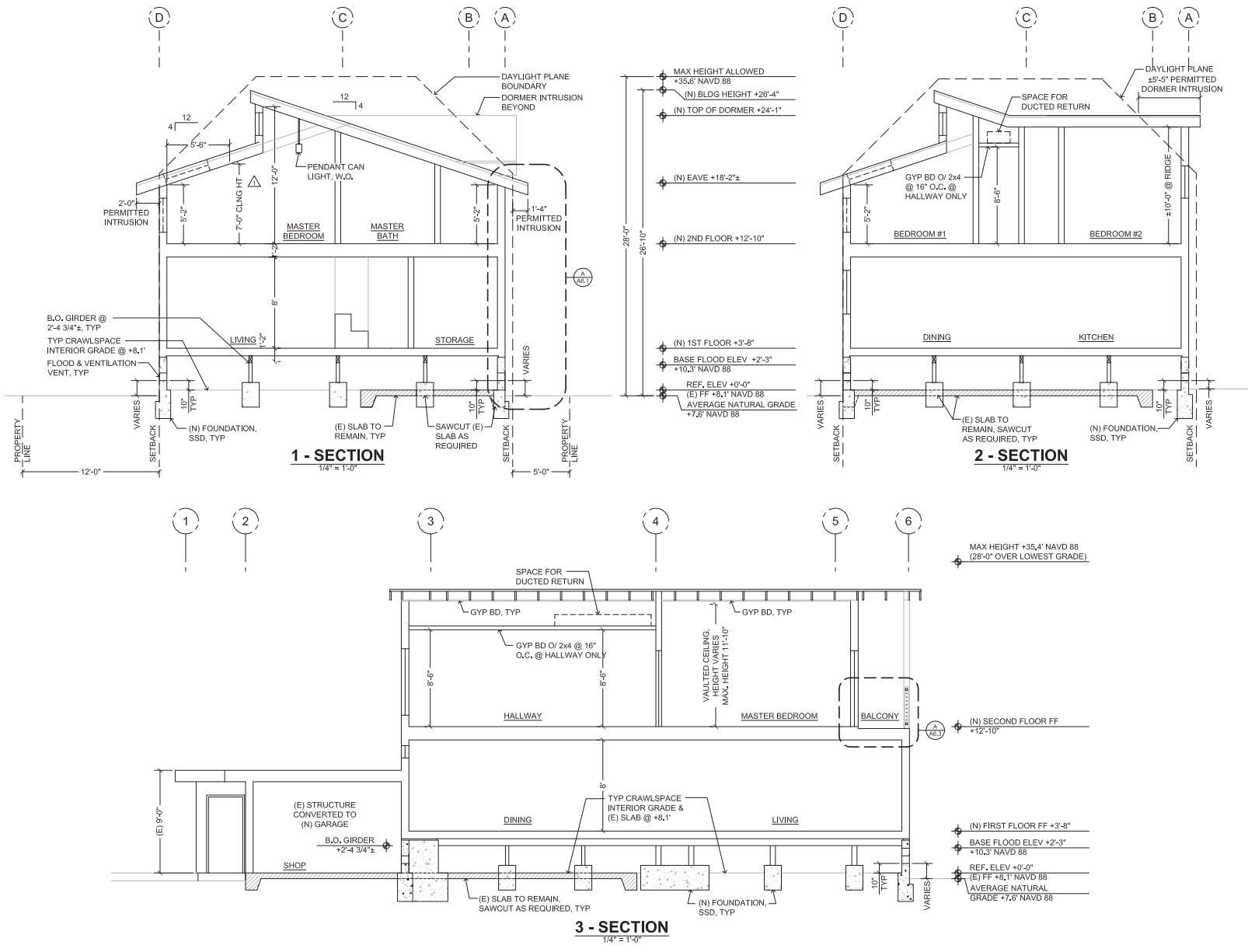
BUILDING SECTIONS

SCALE: 1/4" = 1'-0"



DATE: 11/22/2016

A5.1





Yeung Architecture & Design

Project Description

Project Location: 828 Hamilton Avenue, Menlo Park, CA 94025
Project Name: Almen Residence – Single Family House New Construction
Date: May 8, 2019
Re: Field Change #3

Proposed Change

1. Change the two small master bedroom windows from fixed to single hung to provide natural ventilation when desired.
2. Change the roll-up garage door to center-opening swinging doors to reflect owner's style and function preference, and to reduce construction cost.
3. Change the french doors for master bedroom balcony to a sliding glass door to provide more usable space out on the balcony.
4. Change the redwood siding to sandblast stucco of a different color to reflect owner's style preference, to reduce long term maintenance requirements, and to reduce construction cost.
5. Change the Storage to Office on the first floor to reflect an alternative use.
6. Widen curb cut on Carlton from 10' to 18'-6" to allow for better maneuvering.
7. Change the gravel in the back yard to permeable pavers and 2 small patches of landscapes, for better aesthetics and usability, while maintaining the required drainage basins.



STAFF REPORT

Planning Commission

Meeting Date: 7/29/2019

Staff Report Number: 19-052-PC

Public Hearing: Use Permit/Frances Wong/327 Hedge Road

Recommendation

Staff recommends that the Planning Commission approve a request for a use permit to demolish most of the existing single-story, single-family residence (with the exception of a portion of the garage) and construct first- and second-story additions on a substandard lot with regard to minimum lot width and area in the in the R-1-U (Single Family Urban Residential) zoning district at 327 Hedge Road. The project would exceed 50 percent of the existing floor area and is considered equivalent to a new structure. The proposal includes a request to remove a heritage-size multi-trunk olive tree (tree #4) in poor health and condition. The recommended actions are included as Attachment A.

Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal.

Background

Site location

The subject property is located on Hedge Road in the Suburban Park neighborhood. The surrounding homes also share the same R-1-U (Single Family Urban Residential) zoning designation. Flood Park is located to the rear (east) of the property. A location map is included as Attachment B.

The surrounding area contains a mixture of older and newer single-family residences. The older residences are generally single-story, while the newer residences are generally two-story in height, with attached front-loading garages. A variety of architectural styles are present in the neighborhood, including craftsman, ranch, and modern.

Analysis

Project description

The applicant is proposing to extensively remodel and demolish an existing single-story, single-family residence with an attached garage and to construct first- and second-floor additions. A data table summarizing parcel and project attributes is included as Attachment C. The project plans and the applicant's project description letter are included as Attachments D and E, respectively.

The proposed residence would be a four-bedroom, four-bathroom home. The existing residence is nonconforming with regard to the number of parking spaces and the left side setback. The existing building coverage is conforming with regard to the one-story maximum (40 percent), but would be nonconforming with regard to the two-story requirement (35 percent). Given the extent of the demolition, the proposed home would be considered a new residence, and therefore the nonconforming wall and parking configuration will be brought into conformance. To this end, the applicant has proposed to construct a new wall along the left side of the structure that would meet the required side setback of five feet. The total proposed building coverage would be reduced to comply with the maximum allowed for a two-story development. To address the parking nonconformity, the front-loading garage (considered a one-car garage, with approximately 17 feet in width) would be reduced to meet the minimum ten-foot width, and an uncovered parking space would be provided on the interior of the lot between the garage and the entry. A pedestrian path around the uncovered space would allow access from the driveway to the front door.

The proposed project would adhere to all Zoning Ordinance regulations for lot coverage, floor area limit (FAL), height, daylight plane, and parking. Of particular note with regard to Zoning Ordinance requirements:

- The parcel is substandard with regard to lot width, at 50 feet where 65 feet is required;
- The parcel is substandard with regard to lot area, at 5,500 square feet where 7,000 square feet is required;
- The second floor would be relatively limited in size (36 percent of the maximum FAL, where 50 percent could be permitted, and would be inset from the side property lines; and
- The nonconforming left side setback and parking situation would be brought into compliance, and all additions would be built to meet the required setbacks.

Design and materials

The applicant states that the proposed residence would be considered a modern farmhouse. The exterior materials would include a mix of vertical board and batten siding on the ground floor and painted horizontal wood siding for the upper level, a composite shingle roof, and metal gutters. The proposed windows would be aluminum clad wood windows with simulated true divided light grids.

In the project description letter, the applicant states that they plan to paint the house in thoughtfully subtle light tones potentially with white frames for the windows. Darker composite shingles are proposed for the roof to provide contrast.

The second-story windows on the sides would have sill heights no lower than three feet on the left side and four feet on the right side, helping to maintain privacy for both the owners and the neighbors. The number of windows on the second story side elevations would also be limited to reduce potential privacy impacts.

Staff believes that the architectural style of the proposed residence would be generally attractive and well-proportioned. The second level would be inset from the ground floor, helping to reduce the perception of mass and providing additional distance as a privacy buffer for neighbors. The roof would feature varying

massing with gable projections on the front façade, which would also help reduce the bulk and mass of the proposed residence. The modern farmhouse style design would be consistent with the styles in the surrounding neighborhood.

Trees and landscaping

The applicant has submitted an arborist report (Attachment F) detailing the species, size, and conditions of the heritage and non-heritage trees on site and nearby. The report discusses the impacts of the proposed improvements and provides recommendations for tree maintenance, based on their health. As part of the project review process, the arborist report was reviewed by the City Arborist to confirm the accuracy of the conclusions of the report. All recommendations identified in the arborist report shall be implemented and will be ensured as part of condition 3g. Of note, the project arborist has recommended a new sewer line connection at the front of the property be hand-dug under their supervision, for the protection of the heritage sweet gum street tree (#1).

A multi-trunk heritage olive tree (#4) near the left side of the front setback is proposed for removal due to poor health. The City Arborist has reviewed and tentatively approved this permit, subject to Planning Commission approval of the use permit, with a ginkgo biloba tree proposed to be planted in the rear yard as the required replacement tree.

Correspondence

The applicant states that they reached out their adjacent neighbors. Staff has not received any correspondence regarding this proposal.

Conclusion

Staff believes that the design, scale and materials of the proposed residence are compatible with the surrounding neighborhood. The proposed modifications would bring the nonconforming wall and parking situation into conformance, and the building coverage would comply with the limit for two-story structures. The modern farmhouse architectural style of the proposed residence would be generally attractive and well-proportioned. The second level would be inset from the ground floor, helping minimize the perception of mass. Staff recommends that the Planning Commission approve the proposed project.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Appeal Period

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

Attachments

- A. Recommended Actions
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter
- F. Arborist Report

Disclaimer

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

Exhibits to Be Provided at Meeting

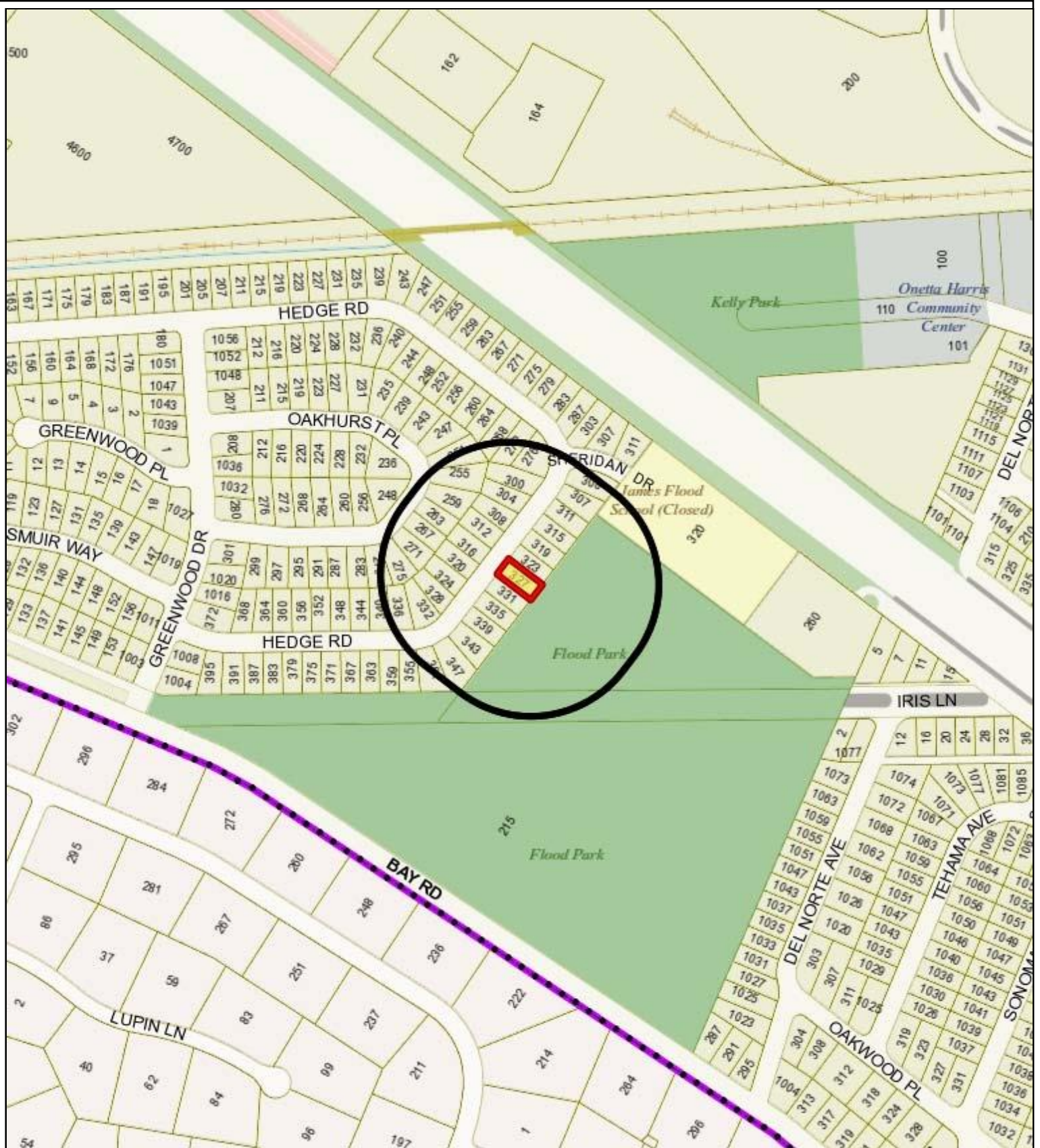
None

Report prepared by:
Ori Paz, Associate Planner

Report reviewed by:
Thomas Rogers, Principal Planner

327 Hedge Road – Attachment A: Recommended Actions

LOCATION: 327 Hedge Road	PROJECT NUMBER: PLN2019-00036	APPLICANT: Samir Mehta	OWNER: Samir Mehta & KJ Yoo
PROPOSAL: Request for a use permit to demolish most of the existing single-story, single-family residence (with the exception of a portion of the garage) and construct first- and second-story additions on a substandard lot with regard to minimum lot width and area in the in the R-1-U (Single Family Urban Residential) zoning district. The project would exceed 50 percent of the existing floor area and is considered equivalent to a new structure. The proposal includes a request to remove a heritage-size multi-trunk olive tree (tree #4) in poor health and condition.			
DECISION ENTITY: Planning Commission	DATE: July 29, 2019	ACTION: TBD	
VOTE: TBD (Barnes, DeCardy, Doran, Kennedy, Riggs, Strehl, Tate)			
ACTION:			
<ol style="list-style-type: none"> 1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, “Existing Facilities”) of the current California Environmental Quality Act (CEQA) Guidelines. 2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City. 3. Approve the use permit subject to the following standard conditions: <ol style="list-style-type: none"> a. Development of the project shall be substantially in conformance with the plans prepared by Fatima Saqib Residential Design, consisting of 13 plan sheets, dated received July 24, 2019 and approved by the Planning Commission on July 29, 2019, subject to review and approval by the Planning Division. b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies’ regulations that are directly applicable to the project. c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project. d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes. e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division. f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits. g. Heritage and street trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the arborist report by Advanced Tree Care dated July 17, 2019. 			



City of Menlo Park

Location Map
327 Hedge Road



Scale: 1:4,000

Drawn By: OP

Checked By: THR

Date: 7/29/2019

Sheet: 1

327 Hedge Road – Attachment C: Data Table

	PROPOSED PROJECT	EXISTING DEVELOPMENT	ZONING ORDINANCE
Lot area	5,500.0 sf	5,500.0 sf	7,000.0 sf min.
Lot width	50.0 ft.	50.0 ft.	65.0 ft. min.
Lot depth	110.0 ft.	110.0 ft.	100.0 ft. min.
Setbacks			
Front	24.7 ft.	24.5 ft.	20.0 ft. min.
Rear	32.2 ft.	21.5 ft.	20.0 ft. min.
Side (left)	5.0 ft.	4.7 ft.	5.0 ft. min.
Side (right)	5.0 ft.	5.0 ft.	5.0 ft. min.
Building coverage	1,879.3 sf 34.2 %	2,142.2 sf 38.9 %	1,925.0 sf max. 35.0 % max.
FAL (Floor Area Limit)	2,797.9 sf	1,864.1 sf	2,800.0 sf max.
Square footage by floor	1,567.3 sf/1 st floor 995.9 sf/2 nd floor 234.7 sf/garage 63.8 sf/porch 13.5 sf/entry	1,474.1 sf/1 st floor 390.0 sf/garage 109.2 sf/patio 168.9 sf/patio	
Square footage of buildings	2,875.2 sf	2,142.2 sf	
Building height	25.0 ft.	13.3 ft.	28 ft. max.
Parking	1 covered/1 uncovered	1 covered	1 covered/1 uncovered
Note: Areas shown highlighted indicate a nonconforming or substandard situation.			
Trees	Heritage trees: 5*	Non-Heritage trees: 1	New Trees: 1
	Heritage trees proposed for removal: 1	Non-Heritage trees proposed for removal: 0	Total Number of Trees: 6
*Of these five heritage trees, two are street trees located in the front of the residence, another is on the neighboring lot to the rear.			

Yoo Mehta Remodel

327 Hedge Road, Menlo Park, CA 94025

FATIMA SAQIB
residential design
(p) 217.369.6652
fatima@fatimasaqib.com

YOO MEHTA REMODEL
327 HEDGE ROAD
MENLO PARK, CA

SYMBOLS		ASSESSOR'S MAP		VICINITY MAP	
<p>1 Drawing Title</p> <p>2 Detail Drawing</p> <p>3 Call-out</p> <p>4 Centerline</p> <p>5 Interior Elevation Tag</p> <p>6 Section Tag</p> <p>7 Elevation Drawing Call-out</p> <p>8 Door Number Tag</p> <p>9 Window Number Tag</p> <p>10 Floor Elevation</p> <p>11 Garage</p> <p>12 Elevation Callout</p>	<p>13 Drawing Title Tag</p> <p>14 Detail Drawing Call-out</p> <p>15 Centerline</p> <p>16 Interior Elevation Tag</p> <p>17 Section Tag</p> <p>18 Elevation Drawing Call-out</p> <p>19 Door Number Tag</p> <p>20 Window Number Tag</p> <p>21 Floor Elevation</p> <p>22 Garage</p> <p>23 Elevation Callout</p>			<p>ABBREVIATIONS</p> <p>AT CENTER LINE</p> <p>AC AIR CONDITIONING</p> <p>AD ADJUSTABLE</p> <p>AFF ABOVE FINISH FLOOR</p> <p>BD BOARDS</p> <p>BUDS BUILDING</p> <p>BO BOTTOM OF</p> <p>CLG CLEAR</p> <p>CLR CONTINUOUS</p> <p>DBL DOUBLE</p> <p>DEMO DEMOLISH</p> <p>DIT DIMENSION</p> <p>DWG DRAWING</p> <p>SF SQUARE FOOT</p> <p>EXIST'G EXISTING</p> <p>ELEV ELEVATION</p> <p>EQ EQUAL</p> <p>EXT EXTERIOR</p> <p>FS FATIMA SAQIB DESIGN</p> <p>FIN FINISH</p> <p>FF FINISH FLOOR ELEVATION</p> <p>FSE FINISH SLAB ELEVATION</p> <p>POS FACE OF STUCCO</p> <p>FOF FACE OF FINISH</p> <p>GALV GALVANIZED</p> <p>GL GLASS</p> <p>GPM GALLONS PER MINUTE</p> <p>GSM GALVANIZED SHEET METAL</p> <p>HORIZ HORIZONTAL</p> <p>HVAC HEATING/VENTILATING/COND</p> <p>INT INTERIOR</p> <p>MAX MAXIMUM</p> <p>MIN MINIMUM</p> <p>(N) NOT IN CONTRACT</p> <p>NTS NOT TO SCALE</p> <p>OC ON CENTER</p> <p>REFLECTED REFLECTED</p> <p>RECD REQUIRED</p> <p>RD ROOF DRAIN</p> <p>RM ROOM</p> <p>RO ROUGH OPENING</p> <p>SS SEE STRUCTURAL DWGS</p> <p>SEE CIVIL DWGS</p> <p>T&G TONGUE AND GROOVE</p> <p>TBD TO BE DETERMINED</p> <p>TOP OF TOP OF</p> <p>TS TOP OF SLAB</p> <p>TTYP TYPICAL</p> <p>UNIFORM UNIFORM BUILDING CODE</p> <p>UNLESS OTHERWISE NOTED</p> <p>VERT VERTICAL</p> <p>VIF VERTICAL IN FIELD</p> <p>W/ WITH</p> <p>W/O WITHOUT</p> <p>WC WATER CLOSET</p> <p>WH WATER HEATER</p>	
<p>SITE ANALYSIS</p> <p>PROJECT ADDRESS: 327 HEDGE ROAD, MENLO PARK, CA 94025</p> <p>ZONE: RTU</p> <p>APN: 055-303-180</p> <p>CONSTRUCTION TYPE: V-B</p> <p>CONSTRUCTION TYPE: R-3</p> <p>LOT AREA: 5,500 SF</p> <p>MAX LOT COVERAGE (36% LOT SIZE): 1,992 SF</p> <p>PROPOSED COVERED PATIOS: 77.3 SF</p> <p>TOTAL PROPOSED LOT COVERAGE: 1,875.3 SF (34.2%)</p> <p>MAX FLOOR AREA: 2,800 SF</p> <p>PROPOSED FIRST FLOOR: 1,800.5 SF</p> <p>PROPOSED SECOND FLOOR: 995.5 SF</p> <p>TOTAL PROPOSED FLOOR AREA: 2,797.9 SF</p> <p>PARKING: 1 COVERED / 1 UNCOVERED</p>		<p>PROJECT DIRECTORY</p> <p>CLIENT OWNER: KUYOO & SAMIR MEHTA 650-996-1019 theyyoo@gmail.com</p> <p>DESIGNER: FATIMA SAQIB DESIGN 121 EAST CREEK DRIVE MENLO PARK, CA, 94025 fatima@fatimasaqib.com</p> <p>CIVIL: SMP ENGINEERS 1524 CAROL LANE LOS ALTOS, CA 94024 650-941-5805 smp@smpeengineers.com</p> <p>ARBORIST: ADVANCED TREE CARE 10000 SHERIDAN DRIVE SUNNYVALE, CA 94086 800 SAN CARLOS AVE SAN CARLOS, CA, 94070 650-359-8539 twestram@atcusa.net</p>		<p>DRAWING INDEX</p> <p>ARCHITECTURAL</p> <p>A00 COVER SHEET</p> <p>T1 TOPOGRAPHIC AND BOUNDARY SURVEY</p> <p>A1.1 AREA PLAN AND STREETScape</p> <p>A1.2 EXISTING AND PROPOSED SITE PLANS</p> <p>A1.3 EXISTING AND PROPOSED SITE PLANS</p> <p>A2.1 EXISTING DEMO PLANS</p> <p>A2.2 PROPOSED ROOF PLAN</p> <p>A2.3 PROPOSED SECOND FLOOR PLAN</p> <p>A2.4 PROPOSED ROOF PLAN</p> <p>A3.1 EXISTING EXTERIOR ELEVATIONS</p> <p>A3.2 PROPOSED EXTERIOR ELEVATIONS</p> <p>A3.3 PROPOSED EXTERIOR ELEVATIONS</p> <p>A4.1 BUILDING SECTIONS</p>	
<p>PROJECT DESCRIPTION</p> <p>REMODEL OF AN EXISTING SINGLE STORY, SINGLE FAMILY RESIDENCE, PROPOSED TWO STORY HOUSE ON A SUBSTANDARD LOT. EXTENT OF DEMOLITION CONSIDERED NEW CONSTRUCTION</p>		<p>APPLICABLE CODES</p> <p>2016 CALIFORNIA BUILDING CODE</p> <p>2016 CALIFORNIA ELECTRICAL CODE</p> <p>2016 CALIFORNIA MECHANICAL CODE</p> <p>2016 CALIFORNIA PLUMBING CODE</p> <p>2016 CALIFORNIA ENERGY CODE</p> <p>2016 CALIFORNIA GREEN BUILDING STANDARDS CODE</p>			

Print Date: 07/23/2019
Job No: 18064

TITLE SHEET / PROJECT INFO

A0.0

- PROPERTY LINE
- EXISTING LOTS
- CENTERLINE
- EASEMENT LINE
- SAINTARY SEWER LINE
- STORM DRAIN LINE
- OVERHEAD POWER LINE
- WOOD FENCE
- POWER POLE
- THE HYDRANT
- JUMP POLE
- SURVEY MONUMENT FOUND
- NOV. (ELEVATION)
- WATER VALVE
- CONCRETE
- SHULK
- AC

DISCLAIMER: SMP ENGINEERS OR ITS OFFICERS OR AGENTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ELECTRONIC COPIES OF THIS PLAN.

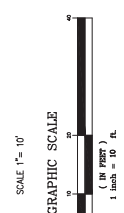
NOTE: REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY UNLESS SPECIFIED ON THIS MAP. LOCATIONS OF UNDERGROUND UTILITIES ARE NEITHER IMPLIED NOR INDICATED. LOCATIONS OF UNDERGROUND UTILITIES ARE LOCATED BY MEANS OF A STATION AND OFFSET FROM THE CONTROL LINE.

FOUND SURVEY MONUMENTS IN THE RIGHT OF WAY OF HERSE ROAD. RECORD FILED IN THE COUNTY OF SAN MATEO RECORDER'S OFFICE.

PROJECT BENCHMARK:
N.P.S. BENCHMARK
ELEVATION=66.8'
(NAD 88 DATUM)

SITE BENCHMARK:
(NAD 88 DATUM)
ELEVATION=68.8'
SET MAG NAIL
(NAD 88 DATUM)

- NOTES:
1. ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMALS THEREOF.
 2. THE GROSS AREA OF LAND OF RECORD IS 5,500 SQ. FT. ±.
 3. THE MAP WAS BASED ON A GRANT DEED DOC# 2016-117247 DATED 11/09/16, RECORDED IN SAN MATEO COUNTY.
 4. ALL EXISTING BUILDINGS ARE WOOD.
 5. FOR PRECISE SPECIES OF TREES A CERTIFIED ARBORIST SHALL BE CONSULTED.



SECTION	DATE	BY	DATE	BY	DATE

REVISIONS

327 Hedge Road
Menlo Park
APN: 055-303-180

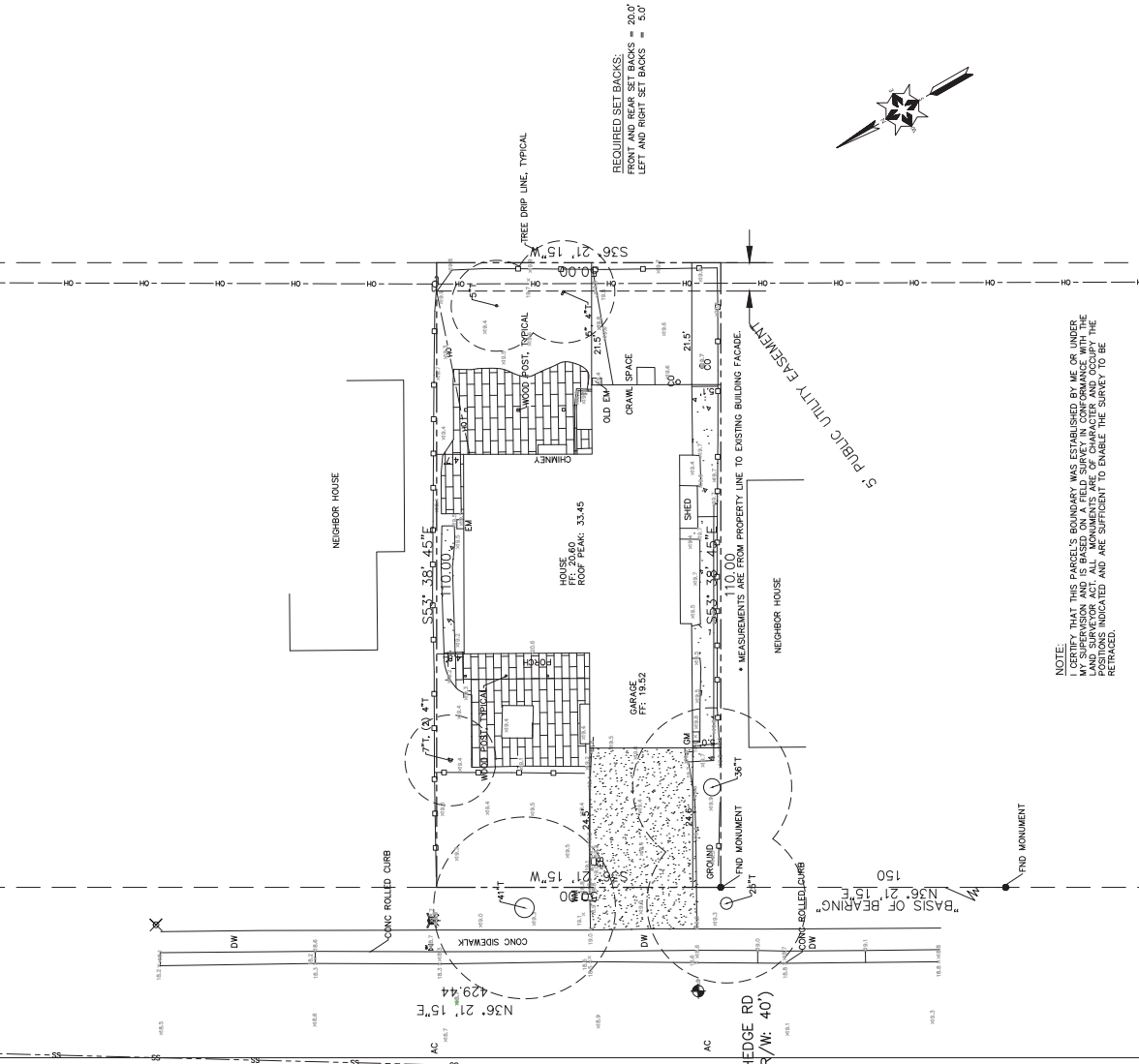


CITY OF MENLO PARK

BOUNDARY & TOPOGRAPHIC SURVEY MAP

T-1

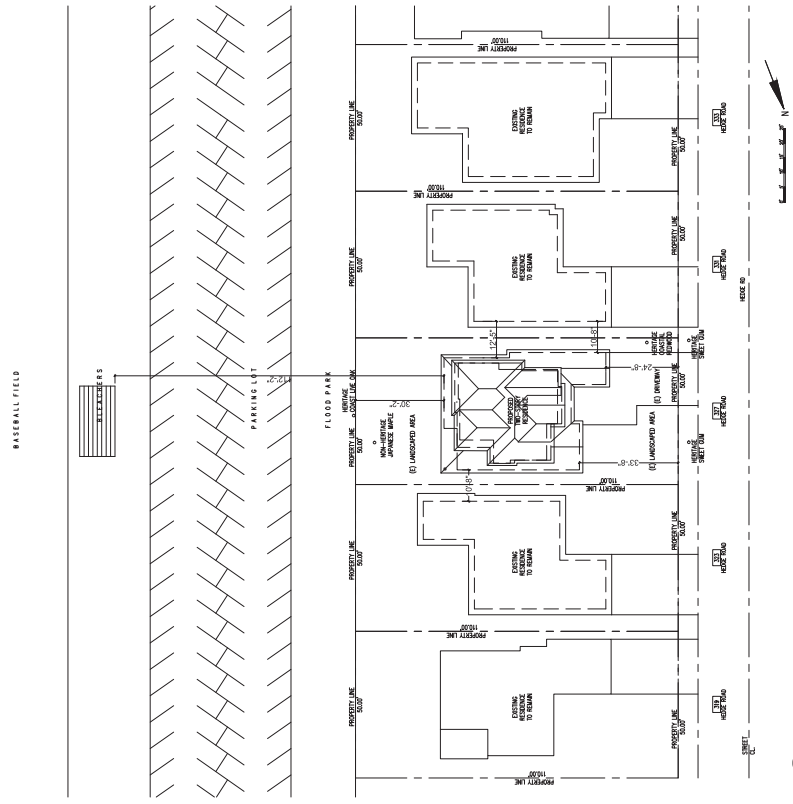
Sheet No.



DATE	DESCRIPTION
5-15-19	ISSUE USE PERMIT
7-16-19	USE PERMIT REVISION
Revised Date	07/23/2019
UoD No.	18004

AREA PLAN
 AND
 STREETSCAPE

A1.1



1 AREA PLAN - 327 HEDGE ROAD
 SCALE: 1/8"=1'-0"



2 STREETSCAPE - 327 HEDGE ROAD
 SCALE: 1/8"=1'-0"

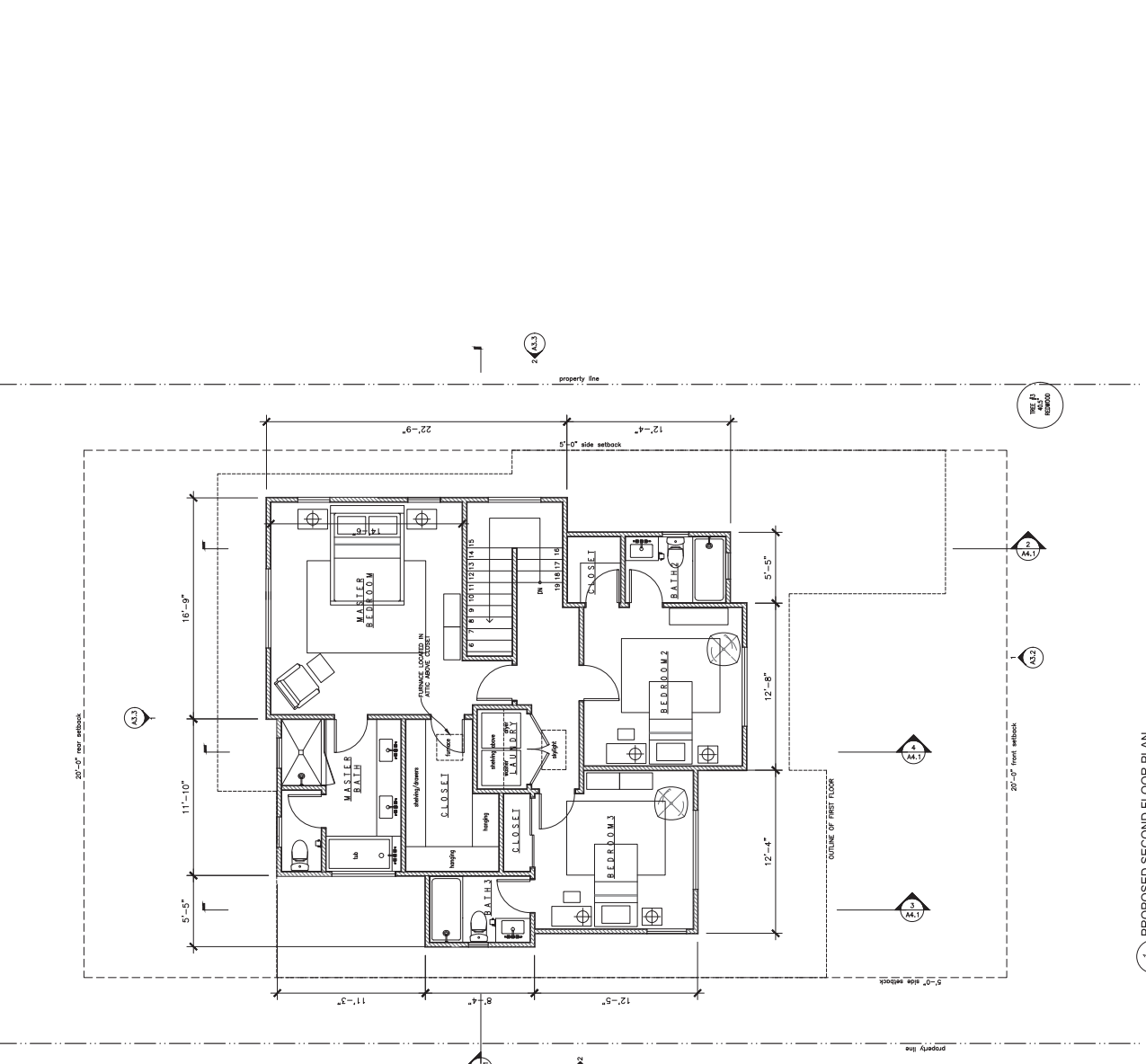
DATE	DESCRIPTION
8-14-19	ISSUE USE PERMIT
7-16-19	USE PERMIT REVISION

Print Date 07/23/2019
280 No. 18004

PROPOSED
SECOND FLOOR
PLAN

A2.3

- LOOK PLAN NOTE:**
- ALL INTERIOR PARTITIONS ARE SHOWN IN CORNER LINE.
 - ALL INTERIOR WALLS TO HAVE 1/2" GYPSUM OVER BOTH LAYERS OF 5/8" DRYWALL.
 - PROVIDE A 2x4 OR 2x6 FRIE BLOCKING AT ALL STUD WALLS TO BE INSTALLED TO SUPPORT THE INTERIOR WALL.
 - AT FINISH WITH LOCATIONS PROVIDE CURB WITH 1" FINISH ON ALL WALKWAYS AND 1/2" FINISH ON ALL OTHER AREAS.
 - AT FLEET BATH LOCATIONS, THE IS TO BE INSTALLED WITH A FINISH OVER THE SUBFLOOR FOR THE BATH AREA.
 - NEED TO PROVIDE CURB AT ALL TRANSITION AREAS FOR CURB AT ALL FINISH LOCATIONS FOR TRANSITION AREAS.
 - CONTRACTOR TO PROVIDE CURB AT ALL FINISH LOCATIONS AND TO PROVIDE CURB AT ALL TRANSITION AREAS FOR CURB AT ALL FINISH LOCATIONS.
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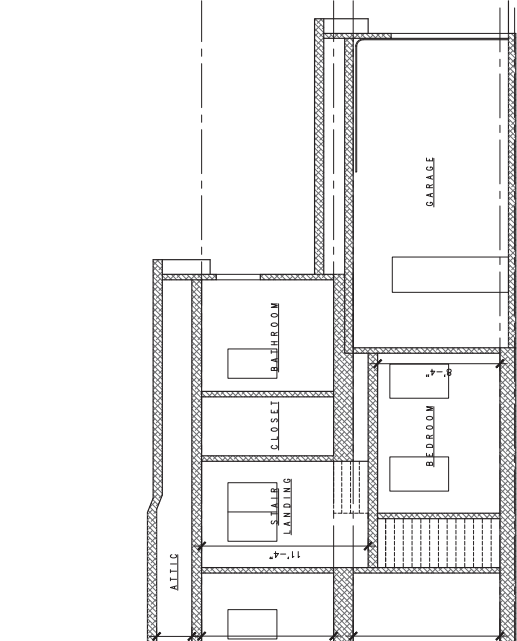
1. PROPOSED SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

DATE	DESCRIPTION
8-12-19	ISSUE USE PERMIT
7-16-19	USE PERMIT REVISION

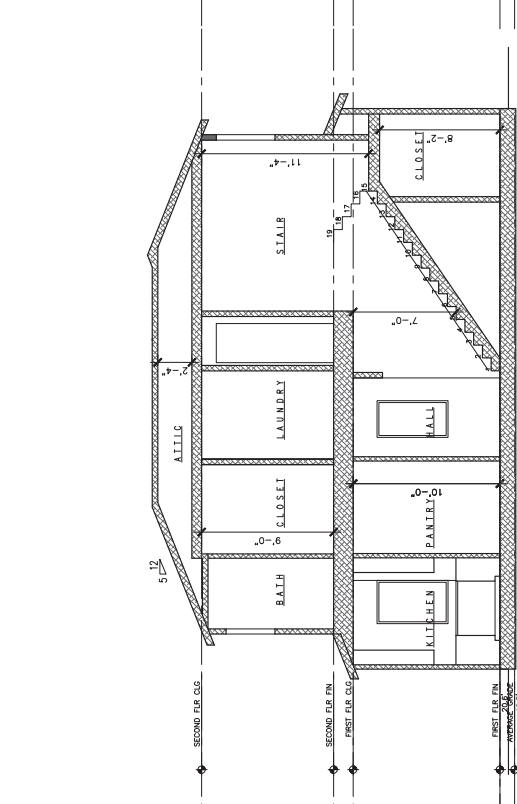
Print Date: 07/21/2019
Job No: 18004

**PROPOSED
BUILDING
SECTIONS**

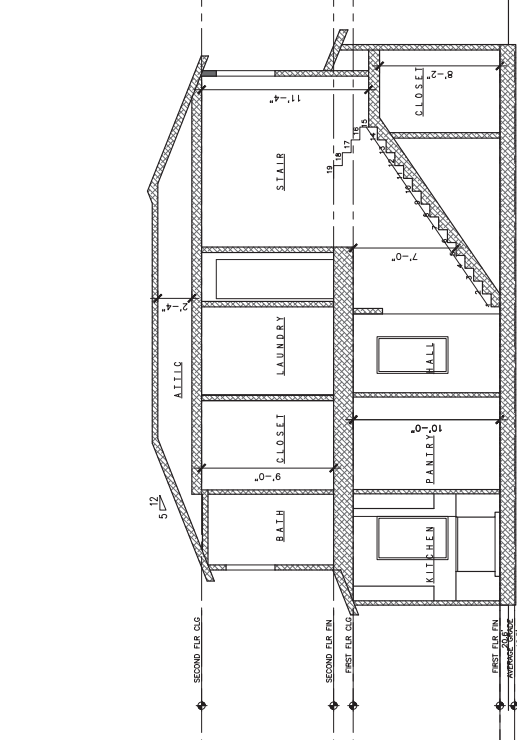
A4.1



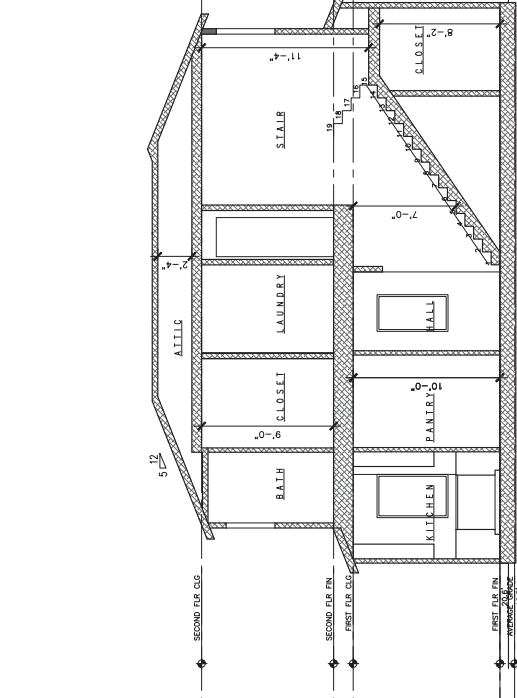
2. PROPOSED SECTION
SCALE: 1/4" = 1'-0"



3. PROPOSED SECTION
SCALE: 1/4" = 1'-0"



4. PROPOSED SECTION
SCALE: 1/4" = 1'-0"



PROJECT DESCRIPTION

ADDRESS: 327 HEDGE ROAD, MENLO PARK

CASE NO:

The purpose of this proposal is to apply for a Use Permit for a second story addition to an existing single story, single family house (zoning R1-U.) A Use Permit is required because the existing lot is substandard in regard to lot area and lot width. The minimum lot area requirement for R1-U is 7,000 SF and existing lot is 5,500 SF. The minimum lot width requirement for R1-U is 65' and the existing lot width is 50'.

In addition to the narrow width of the lot, another defining and limiting feature to the property is the two large heritage trees located on the front portion of the parcel. Along the right property line is Tree #3 (per arborist report) which is a Coastal Redwood in excellent health. At the front property line is Tree #1 which is a Sweet Gum that is a well maintained and in good health. Because of the close proximity of these trees to the existing garage and driveway, and on an already narrow lot, two different arborists were asked to give a tree protection plan that will consider the needs of the heritage trees and guide the remodel.

Upon first glance of the property, the impact of the tree roots is palpable. Tree #3 has raised the edge of the garage concrete slab and sent waves through asphalt driveway. Tree #1 has also contributed to the unevenness of the asphalt driveway. The tree protection plan considered the needs of the heritage trees alongside our initial suggestion of expanding and relocating the garage. The tree roots of Tree #3 are sturdy and robust and both arborists had a strong recommendation to leave the garage foundation and slab as is. There was also a strong recommendation for the asphalt driveway to remain as is and not be expanded due the roots of Tree #1, Tree #2 (another Sweet gum) and Tree #3. These professional and knowledgeable judgements have provided the basis for the proposed design.

The property has been mostly architecturally untouched for the majority of its existence. Through one project, the goal is to address the many repairs needed on an aging property and also make improvements to it to support a growing family. There are also several nonconformities to the existing property: the left side of the existing house is within the setback by a few inches, there is one covered parking spot and no uncovered parking spaces outside of the front and side setbacks, and the building coverage is 2,142.2 SF, well over the 1,925 SF limit.

The proposed plan is to deconstruct most of the existing structure and replace it with a two story home. The existing square footage of the home is 1,864 SF which includes a 390 SF attached garage. The proposed design is a four bedroom, four bathroom single family residence consisting of a first floor of 1,441 SF in addition to the existing 390 SF garage. The proposed design leaves the garage as is due to the guidelines of the arborists. The proposed second floor addition is 967 SF. The left side of the house conforms to the 5'-0" side setback and the building coverage has been reduced to 1,831 SF.

While this is not the first two story home in the Suburban Park, the design of the house is sensitive to the streetscape and does not appear looming and intrusive in a neighborhood of smaller lots. The second story is minimal and well setback from the street. The large heritage trees also provide green screening and minimize the scale of the house.

The architectural style of the house can be categorized as “modern farmhouse” and will maintain a classic look with some fresh updates. The 5/12 roof pitch, board and batten and horizontal siding fits in with the increasing blend of original and remodeled homes in Suburban. The wood siding will be painted a light color in the beige/gray range and windows will have white frames. This proposed design promises to give a thoughtfully subtle yet significant visual upgrade to the existing streetscape.

Currently the front yard has a covered porch and brick patio. The proposed house will occupy the covered porch and the brick patio will be replaced with layering hardscape and softscape, textures of stone, drought tolerant greenery and flora, against a neutral background.

A letter and documents have been prepared to share with the adjacent neighbors. This design is sensitive to the neighbors needs and privacy and open to revision based on neighbors’ feedback. We are also sensitive to the impact that construction can have on a neighborhood and will work closely with our contractors to minimize impact. Suburban Park is a loving and sought-after neighborhood and we hope that this home remodel will enhance the charm that already exists on Hedge Road.

Advanced Tree Care

965 East San Carlos Ave, San Carlos

327 Hedge Rd., Menlo Park

July 17, 2019

Fatima Saqib
327 Hedge Rd
Menlo Park, CA 94025

Site: 327 Hedge Rd, Menlo Park

Dear Fatima,

At your request I visited the above site for the purpose of inspecting and commenting on the regulated trees around the property. A second story and first floor addition are planned, prompting the need for this tree protection report.

Method:

Menlo Park protects:

1. Any tree having a trunk with a circumference of 47.1 inches (diameter of 15 inches) or more measured at 54 inches above natural grade.
2. Any oak tree native to California, with a circumference of 31.4 inches (diameter of 10 inches) or more measured at 54 inches above natural grade.
3. Any tree or group of trees specifically designated by the City Council for protection because of its historical significance, special character or community benefit.
4. Any tree with more than one trunk measured at the point where the trunks divide, with a circumference of 47.1 inches (diameter of 15 inches) or more, with the exception of trees that are under 12 feet in height, which are exempt from the ordinance.

Menlo Park requests that the tree protection plan contains all trees with a trunk diameter greater than 6 inches be included, this also includes trees on neighboring properties within 8 feet of the property line that may also be impacted by construction. The location of the regulated trees on this site can be found on the plan provided by you. Each tree is given an identification number. The trees are measured at 54 inches above ground level (DBH or Diameter at Breast Height). A condition rating of 1 to 100 is assigned to each tree representing form and vitality on the following scale:

1 to 29	Very Poor
30 to 49	Poor
50 to 69	Fair
70 to 89	Good
90 to 100	Excellent

The height and spread of each tree is estimated. A Comments section is provided for any significant observations affecting the condition rating of the tree.

Advanced Tree Care

965 East San Carlos Ave, San Carlos

327 Hedge Rd., Menlo Park

July 17, 2019

A Summary and Tree Protection Plan are at the end of survey providing recommendations for maintaining the health and condition of the trees during and after construction.

If you have any questions, please don't hesitate to call.

Sincerely



Robert Weatherill
Certified Arborist WE 1936A

Tree Survey

Tree#	Species	DBH	Ht/Sp	Con Rating	Comments
1	Sweet gum <i>Liquidambar styraciflua</i>	38.2"	60/50	65	Good health and condition, well maintained, street tree, Regulated
2	Sweet gum <i>Liquidambar styraciflua</i>	26.5"	60/40	65	Good health and condition, well maintained, street tree, Regulated
3	Coastal redwood <i>Sequoia sempervirens</i>	40.5"	70/25	80	Excellent health and condition Regulated
4	Olive <i>Olea europaea</i>	6.3"/9.2"/5.5"	20/10	40	Poor health and condition, declining Regulated
5	Japanese maple <i>Acer palmatum</i>	10.2"@grade	10/15	65	Fair health and condition Not Regulated
6	Coast live oak <i>Quercus agrifolia</i>	24"est	30/50	50	Fair health, poor condition. Topped by PG and E, between fences, ivy on trunk. Regulated

Summary:

The trees on the site are a variety of natives and non-natives.

There are 2 Street trees, #s 1 and 2 that should be protected during construction.

Tree # 3 is a redwood in excellent health and condition that should be protected during construction.

Tree # 4 is an olive in poor health and condition that should be removed.

Tree # 5 is not regulated and can be removed if desired

Tree # 6 is a coast live oak between the fences on the rear property line. The tree is in fair health but has been heavily pruned by PG and E. This tree should be protected during construction.

Tree Protection Plan

1. The Tree Protection Zone (TPZ) should be defined with protective fencing. This should be cyclone or chain link fencing on 1 1/2" or 2" posts driven at least 2 feet in to the ground standing at least 6 feet tall. Normally a TPZ is defined by the dripline of the tree. I recommend the TPZ's as follows:-

Tree # 1 should have a TPZ at radius 30 feet from the trunk of the tree. Since the property is quite narrow and the driveway and sidewalk will not be changed, I recommend the TPZ be at 20 feet radius from the trunk of the tree closing on the fence line, sidewalk and driveway in accordance with Type I Tree Protection as outlined and illustrated in image 2.15-1 and 2 ⁽⁶⁾.

Tree #s 2 and 3 are adjacent to the driveway which will not be replaced and therefore the driveway protects the root zone of these 2 trees. These trees should be wrapped with Type III Tree Protection as outlined and illustrated in image 2.15-4 to protect from any mechanical damage.

Tree # 6 should have a TPZ at radius 20 feet from the trunk of the tree closing on the fence line in accordance with Type I Tree Protection as outlined and illustrated in image 2.15-1 and 2 ⁽⁶⁾.



IMAGE 2.15-1
Tree Protection Fence at the Dripline

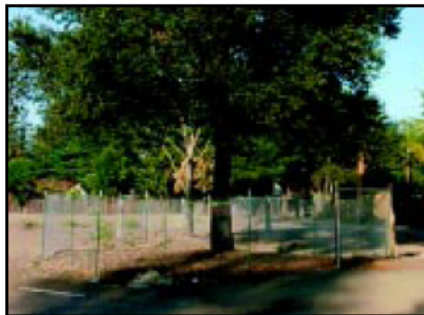


IMAGE 2.15-2
Tree Protection Fence at the Dripline

• **Type I Tree Protection**

The fences shall enclose the entire area under the **canopy dripline or TPZ** of the tree(s) to be saved throughout the life of the project, or until final improvement work within the area is required, typically near the end of the project (*see Images 2.15-1 and 2.15-2*). Parking Areas: If the fencing must be located on paving or sidewalk that will not be demolished, the posts may be supported by an appropriate grade level concrete base.



IMAGE 2.15-4
Trunk Wrap Protection

• **Type III Tree Protection**

Trees situated in a small tree well or **sidewalk planter pit**, shall be wrapped with 2-inches of orange plastic fencing as padding from the ground to the first branch with 2-inch thick wooden slats bound securely on the outside. During installation of the wood slats, caution shall be used to avoid damaging any bark or branches. Major scaffold limbs may also require plastic fencing as directed by the *City Arborist*. (see *Image 2.15-4*)

2. Any pruning and maintenance of the tree shall be carried out before construction begins. This should allow for any clearance requirements for both the new structure and any construction machinery. This will eliminate the possibility of damage during construction. **The pruning should be carried out by an arborist, not by construction personnel.** No limbs greater than 4" in diameter shall be removed.
3. The existing sewer will be replaced and moved further from Tree #s 2 and 3 but closer and into the TPZ of Tree #1. The excavation for the sewer should be hand dug. This is marked in blue on the drawing. All roots greater than 2 inches in diameter should be worked around and protected. Roots smaller than 2 inches in diameter can be cut and if necessary. A clean cut should be made with a saw or pruners.
4. The proposed uncovered parking to the left of the garage, shaded in purple, should be constructed with pavers or asphalt. All roots in the excavation for the pavers should be cut cleanly with handsaw or pruners. It may be ideal to install a root barrier around the perimeter of the pavers closest to the trees to prevent future uplifting of the pavers by the roots.
5. Any excavation in ground where there is a potential to damage roots of 1" or more in diameter should be carefully hand dug. Where possible, roots should be dug around rather than cut.⁽²⁾
6. If roots are broken, every effort should be made to remove the damaged area and cut it back to its closest lateral root. A clean cut should be made with a saw or pruners. This will prevent any infection from damaged roots spreading throughout the root system and into the tree.⁽²⁾

7. Do Not:⁽⁴⁾

- a. Allow run off or spillage of damaging materials into the area below any tree canopy.
- b. Store materials, stockpile soil, park or drive vehicles within the TPZ of the tree.
- c. Cut, break, skin or bruise roots, branches or trunk without first obtaining permission from the city arborist.
- d. Allow fires under any adjacent trees.
- e. Discharge exhaust into foliage.
- f. Secure cable, chain or rope to trees or shrubs.
- g. Apply soil sterilants under pavement near existing trees.

8. Where roots are exposed, they should be kept covered with the native soil or four layers of wetted, untreated burlap. Roots will dry out and die if left exposed to the air for too long.⁽⁴⁾

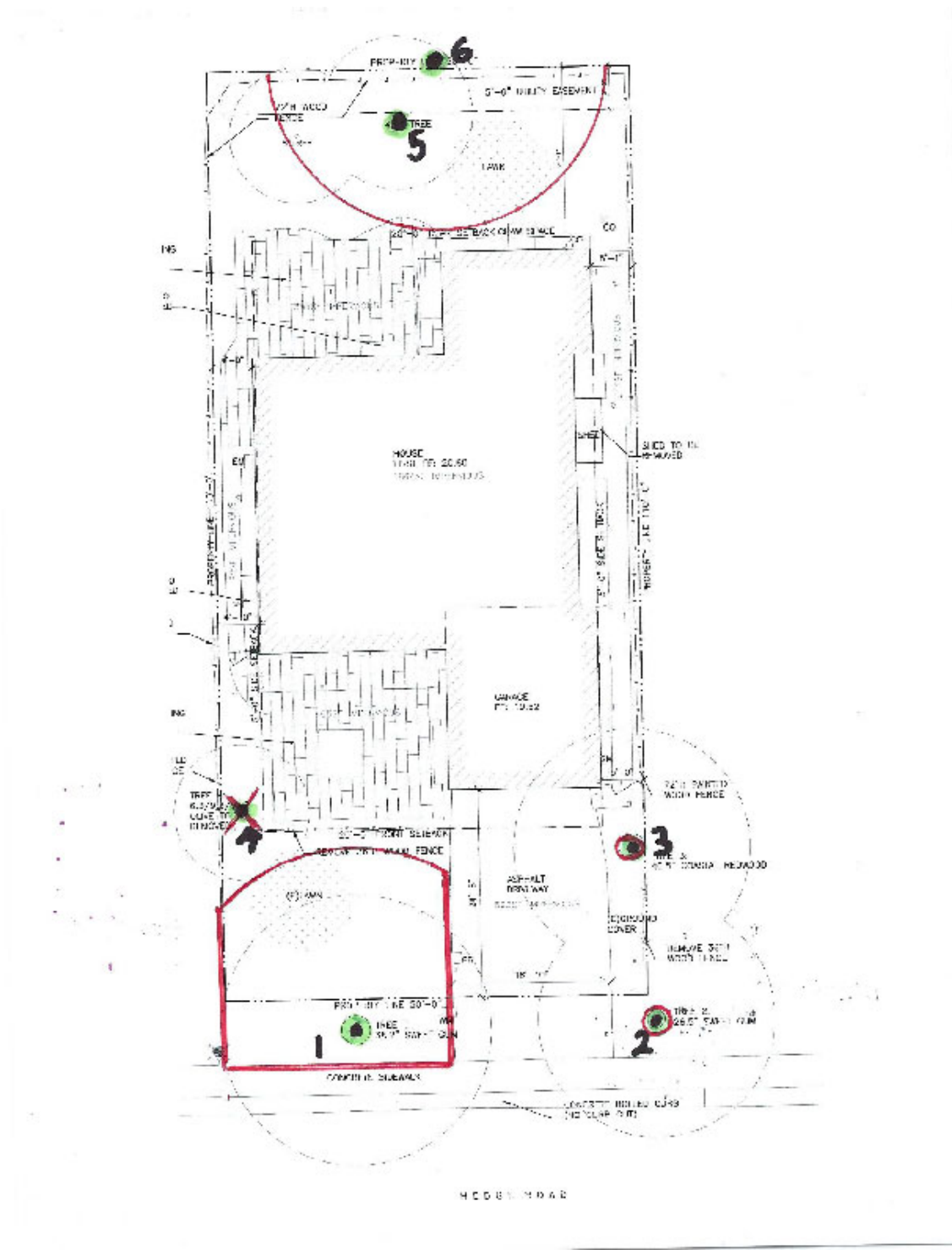
9. Route pipes into alternate locations to avoid conflict with roots.⁽⁴⁾

10. Where it is not possible to reroute pipes or trenches, the contractor is to bore beneath the dripline of the tree. The boring shall take place no less than 3 feet below the surface of the soil in order to avoid encountering “feeder” roots.⁽⁴⁾

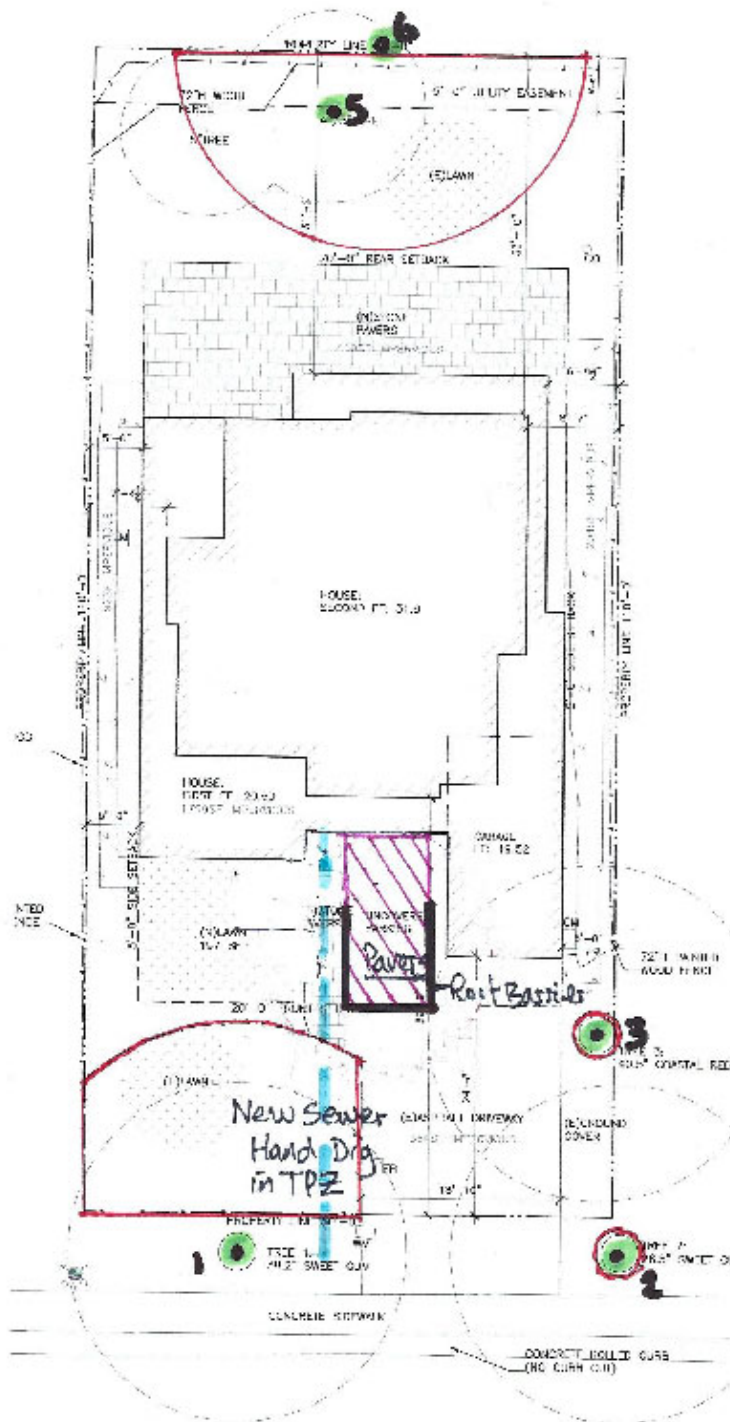
11. Compaction of the soil within the dripline shall be kept to a minimum.⁽²⁾ If access is required to go through the TPZ of a protected tree, the area within the TPZ should be protected from compaction either with steel plates or with 4” of wood chip overlaid with plywood.

12. Any damage due to construction activities shall be reported to the project arborist or city arborist within 6 hours so that remedial action can be taken.

13. Ensure upon completion of the project that the original ground level is restored



Location of existing trees and their Tree Protection Zones for demolition



Location of proposed construction, protected trees and their Tree Protection Zones

Glossary

Canopy	The part of the crown composed of leaves and small twigs. ⁽²⁾
Cavities	An open wound, characterized by the presence of extensive decay and resulting in a hollow. ⁽¹⁾
Decay	Process of degradation of woody tissues by fungi and bacteria through the decomposition of cellulose and lignin ⁽¹⁾
Dripline	The width of the crown as measured by the lateral extent of the foliage. ⁽¹⁾
Genus	A classification of plants showing similar characteristics.
Root crown	The point at which the trunk flares out at the base of the tree to become the root system.
Species	A Classification that identifies a particular plant.
Standard height	Height at which the girth of the tree is measured. Typically 4 1/2 feet above ground level

References

(1) Matheny, N.P., and Clark, J.P. Evaluation of Hazard Trees in Urban Areas. International Society of Arboriculture, 1994.

(2) Harris, R.W., Matheny, N.P. and Clark, J.R.. Arboriculture: Integrated Management of Landscape Trees, Shrubs and Vines. Prentice Hall, 1999.

(3) Carlson, Russell E. Paulownia on The Green: An Assessment of Tree Health and Structural Condition. Tree Tech Consulting, 1998.

(4) Extracted from a copy of Tree Protection guidelines. Anon

(5) T. D. Sydnor, Arboricultural Glossary. School of Natural Resources, 2000

(6) D Dockter, Tree Technical Manual. City of Palo Alto, June, 2001

Certification of Performance⁽³⁾

I, Robert Weatherill certify:

- * That I have personally inspected the tree(s) and/or the property referred to in this report, and have stated my findings accurately. The extent of the evaluation and appraisal is stated in the attached report and the Terms and Conditions;
- * That I have no current or prospective interest in the vegetation or the property that is the subject of this report, and I have no personal interest or bias with respect to the parties involved;
- * That the analysis, opinions and conclusions stated herein are my own, and are based on current scientific procedures and facts;
- * That my compensation is not contingent upon the reporting of a predetermined conclusion that favors the cause of the client or any other party, nor upon the results of the assessment, the attainment of stipulated results, or the occurrence of any subsequent events;
- * That my analysis, opinions, and conclusions were developed and this report has been prepared according to commonly accepted Arboricultural practices;
- * That no one provided significant professional assistance to the consultant, except as indicated within the report.

I further certify that I am a member of the International Society of Arboriculture and a Certified Arborist. I have been involved in the practice of arboriculture and the care and study of trees for over 15 years.

Signed



Robert Weatherill
Certified Arborist WE 1936a
Date: 7/17/19

Terms and Conditions(3)

The following terms and conditions apply to all oral and written reports and correspondence pertaining to consultations, inspections and activities of Advanced Tree Care :

1. All property lines and ownership of property, trees, and landscape plants and fixtures are assumed to be accurate and reliable as presented and described to the consultant, either verbally or in writing. The consultant assumes no responsibility for verification of ownership or locations of property lines, or for results of any actions or recommendations based on inaccurate information.
2. It is assumed that any property referred to in any report or in conjunction with any services performed by Advanced Tree Care, is not in violation of any applicable codes, ordinances, statutes, or other governmental regulations, and that any titles and ownership to any property are assumed to be good and marketable. Any existing liens and encumbrances have been disregarded.
3. All reports and other correspondence are confidential, and are the property of Advanced Tree Care and it's named clients and their assignees or agents. Possession of this report or a copy thereof does not imply any right of publication or use for any purpose, without the express permission of the consultant and the client to whom the report was issued. Loss, removal or alteration of any part of a report invalidates the entire appraisal/evaluation.
4. The scope of any report or other correspondence is limited to the trees and conditions specifically mentioned in those reports and correspondence. Advanced Tree Care and the consultant assume no liability for the failure of trees or parts of trees, either inspected or otherwise. The consultant assumes no responsibility to report on the condition of any tree or landscape feature not specifically requested by the named client.
5. All inspections are limited to visual examination of accessible parts, without dissection, excavation, probing, boring or other invasive procedures, unless otherwise noted in the report. No warrantee or guarantee is made, expressed or implied, that problems or deficiencies of the plants or the property will not occur in the future, from any cause. The consultant shall not be responsible for damages caused by any tree defects, and assumes no responsibility for the correction of defects or tree related problems.
6. The consultant shall not be required to provide further documentation, give testimony, be deposed, or attend court by reason of this appraisal/report unless subsequent contractual arrangements are made, including payment of additional fees for such services as described by the consultant or in the fee schedules or contract.
7. Advanced Tree Care has no warrantee, either expressed or implied, as to the suitability of the information contained in the reports for any purpose. It remains the responsibility of the client to determine applicability to his/her particular case.
8. Any report and the values, observations, and recommendations expressed therein represent the professional opinion of the consultants, and the fee for services is in no manner contingent upon the reporting of a specified value nor upon any particular finding to be reported.
9. Any photographs, diagrams, graphs, sketches, or other graphic material included in any report, being intended solely as visual aids, are not necessarily to scale and should not be construed as engineering reports or surveys, unless otherwise noted in the report. Any reproductions of graphs material or the work product of any other persons is intended solely for the purpose of clarification and ease of reference. Inclusion of said information does not constitute a representation by Advanced Tree Care or the consultant as to the sufficiency or accuracy of that information.



STAFF REPORT

Planning Commission

Meeting Date: 7/29/2019

Staff Report Number: 19-053-PC

Public Hearing: Use Permit/Mingshuai Gu/1036 Oakland Avenue

Recommendation

Staff recommends that the Planning Commission approve a use permit to partially demolish a single-story, single family residence and construct first- and second-floor additions on a nonconforming structure in the R-1-U (Single Family Urban Residential) district, at 1036 Oakland Avenue. The value of the work would exceed 50 percent of the existing value in a 12-month period. The proposed additions would also exceed 50 percent of the existing floor area and would be considered a new structure. The recommended actions are included as Attachment A.

Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal.

Background

Site location

The subject property is located on the east side of Oakland Avenue between Bay Road and Van Buren Road, in the Flood Park Triangle neighborhood. All properties in the immediate vicinity of the subject property are also zoned R-1-U and are generally occupied by single family residences. Many of the older homes along Oakland Avenue are constructed in the same ranch style of similar one-story design as the existing residence. However, there are several new and remodeled one- and two-story residences with a variety of architectural styles, including modern farmhouse and contemporary. The adjacent right-side residence (1034 Oakland Avenue) is a two-story structure that received use permit approval from the Planning Commission in 2016. A location map is included as Attachment B.

Analysis

Project description

The applicant is proposing to partially demolish an existing single-story, single-family residence and construct first and second floor additions and conduct additional interior remodeling. A data table summarizing parcel and project characteristics is included as attachment C. The project plans and project description letter are included as Attachments D and E, respectively.

The proposed addition would result in a four-bedroom home with three bedrooms on the second floor and

one bedroom on the first floor. The first floor would become primarily shared living space where there was previously three bedrooms. According to Building permit records, the rear of the existing structure is a noncompliant addition that received permits, was partially constructed, but was never finished. This portion of the structure is proposed to be demolished, and the rear of the residence would revert back to its original location. The front of the residence would be demolished and rebuilt closer to the front property line.

The left and right exterior walls of the existing residence are nonconforming, as they encroach into the required five-foot setback. The nonconforming walls are proposed to remain, with the plate heights slightly increased. This would be accomplished by constructing a pony wall on top of the existing framing members of the nonconforming walls (see detail drawing #10 on plan sheet A3.5). The City allows applicants to raise nonconforming walls because it does not increase the nonconformity by encroaching further into the setback, therefore not creating new floor area within the setback. However, if any nonconforming wall is demolished in the construction process, it would not be able to be rebuilt in its current location and the new wall would be required to conform to all setback regulations. The new walls at the front-left and rear-right portions of the residence would comply with the setback requirements.

The proposed residence would meet all Zoning Ordinance regulations for lot coverage, floor area limit (FAL), daylight plane, and height, but would retain the nonconforming walls on both sides of the structure and the nonconforming parking. Of particular note, the project would have the following characteristics with regard to the Zoning Ordinance:

- The proposed residence would be developed close to the maximum FAL of 2,800 square feet with 2,759 square feet proposed.
- The second floor would represent 33.6 percent of the proposed floor area, where 50 percent may be allowed.
- The proposed residence would be constructed well below the maximum height of 28 feet, with 24 feet proposed.
- The second story would be set back seven feet, three inches from the left property line and 15 feet, 11 inches from the right property line where five feet is the minimum required on either side.

Design and materials

The applicant states that the existing residence is a ranch style home with horizontal wood siding on the front façade and stucco on the remaining facades. The proposed modifications to the front of the structure and addition of the second story would transform the residence to a neo-eclectic architectural style. The house would feature hipped roofs with a simple gable roof covering the front entry porch. The entire structure would be refinished with smooth stucco and composite asphalt shingle roofing. The windows would be vinyl with wood casings. The proposed garage door would be an aluminum door, similar in design to the existing garage door.

The second story is proposed to be stepped in from the first floor, reducing the perception of second floor mass. Both floors would have nine-foot plate heights; however, the house is designed with relatively shallow roof pitches so the overall height of the structure is similar to each of the neighboring houses, and well below the maximum height of 28 feet. As noted earlier, the second-floor setbacks would be larger than required (in particular on the right), which would help reduce the potential for views to/from the upper

level. The applicant has proposed minimum sill heights of three feet for all second story windows. The stairwell window has a proposed sill height of two feet, two inches from the stairway landing which is on the right side of the structure and is therefore set back 15 feet, 11 inches from the property line. Staff believes that the location and size of the second story and stairwell windows minimizes the potential for privacy impacts due to the side setbacks on the second floor being proposed at greater distances than the minimum required setbacks.

Trees and landscaping

The property contains several small trees that are not considered heritage in size and are therefore not regulated by the City's Heritage Tree Ordinance. The applicant has not proposed to remove any of the existing trees on the property. Landscaping in the front of the property will remain largely unchanged from its current condition. The applicant has proposed a new wood deck and adjacent concrete slab in the rear of the property to serve as an uncovered patio.

Parking and circulation

The existing parking configuration on the property is nonconforming, as there is only one covered parking space located in the attached garage and no additional uncovered parking space that complies with the City's off-street parking requirements for residential properties. The applicant is proposing to keep the nonconforming parking situation. The existing garage wall is nonconforming with respect to the required side setback and would be required to comply with the setbacks if demolished, limiting the amount of space for the proposed addition to the front of the structure. The Planning Division has historically allowed properties to maintain nonconforming parking situations when the existing structure is being remodeled or added on to if the garage is not demolished and the ground floor footprint remains generally intact. For reference, expansion of the neighboring residence at 1034 Oakland Avenue was approved by the Planning Commission in 2016 with a similar continuance of a parking nonconformity.

Valuation

To calculate the replacement and new construction costs on which the use permit threshold is based, the City uses standards established by the Building Division. The City has determined that the replacement cost of the existing structure would be \$313,960, meaning that the applicants would be allowed to propose new construction and remodeling at this site totaling less than \$156,980 in any 12-month period without applying for a use permit. The City has determined that the value of the proposed work would be approximately \$417,850. Based on this estimate, the proposed scope of work would be 133 percent of the replacement cost of the existing structure, so the proposed remodel and addition requires use permit review by the Planning Commission.

Correspondence

Based on the applicant's project description letter, the applicant reached out to neighbors via mail and Nextdoor, but did not receive any comments on the proposal. Staff has not received any correspondence on the project at this time.

Conclusion

Staff believes that the design and materials of the proposed residence are compatible with the surrounding neighborhood. The proposed height and massing are consistent with other houses in the neighborhood, and the proposed second-story setbacks provide adequate privacy for neighboring properties. Staff recommends the Planning Commission approve the proposed project.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Appeal Period

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

Attachments

- A. Recommended Actions
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter

Disclaimer

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

Exhibits to Be Provided at Meeting

None

Report prepared by:

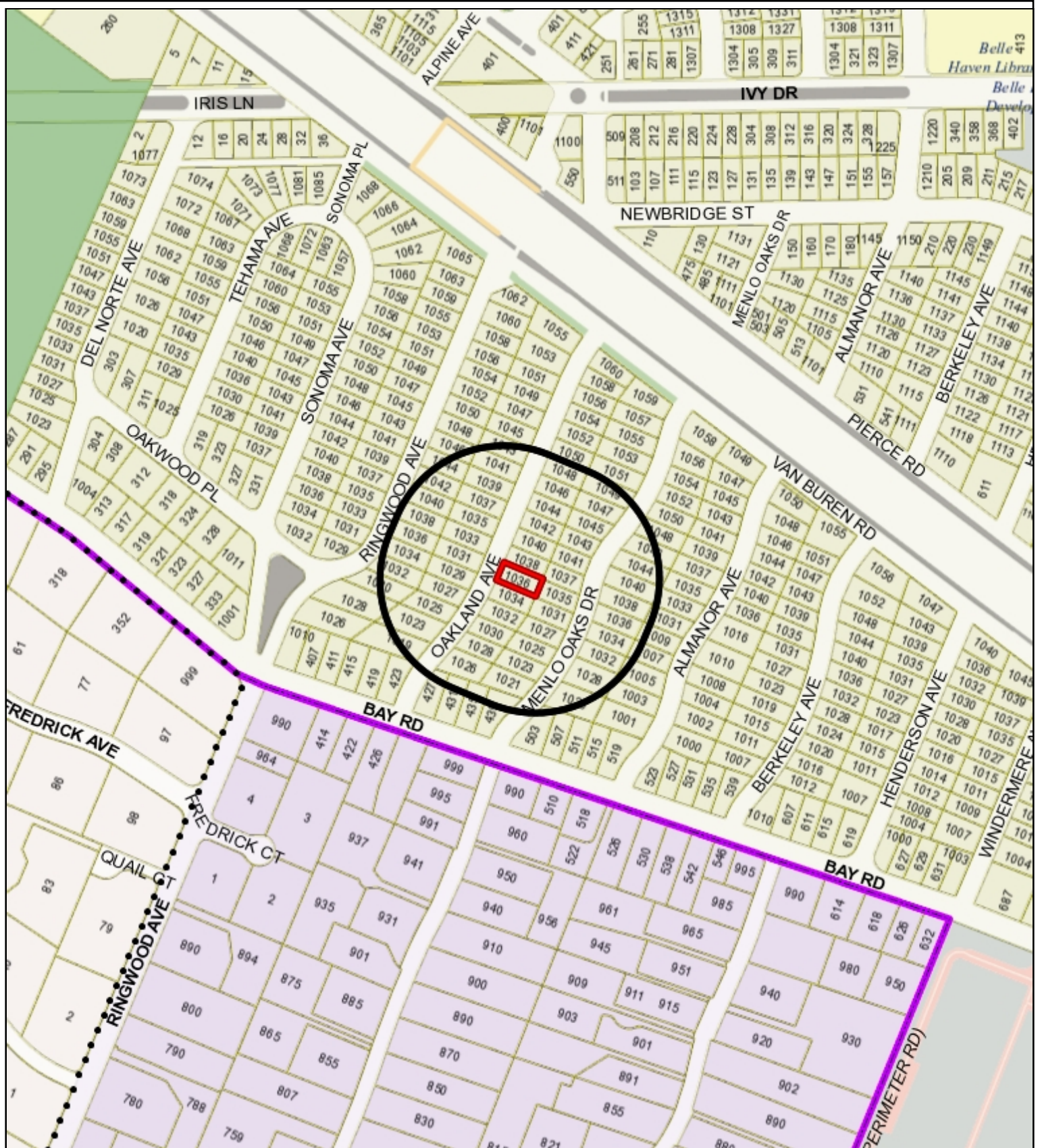
Chris Turner, Assistant Planner

Report reviewed by:
Thomas Rogers, Principal Planner

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1036 Oakland Avenue – Attachment A: Recommended Actions

LOCATION: 1036 Oakland Avenue	PROJECT NUMBER: PLN2019-00028	APPLICANT: Mingshuai Gu	OWNER: Mingshuai Gu
PROPOSAL: Request for a use permit to partially demolish, remodel, and add a second story addition to a single-family residence that would exceed 50 percent of the replacement value of the existing nonconforming structure in a 12-month period. The proposal would also exceed 50 percent of the existing floor area and is considered equivalent to a new structure. The subject parcel is located on a substandard lot in the R-1-U (Single-Family Urban) zoning district.			
DECISION ENTITY: Planning Commission	DATE: July 29, 2019	ACTION: TBD	
VOTE: TBD (Barnes, DeCardy, Doran, Kennedy, Riggs, Strehl, Tate)			
ACTION:			
<ol style="list-style-type: none"> 1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, “Existing Facilities”) of the current California Environmental Quality Act (CEQA) Guidelines. 2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City. 3. Approve the use permit subject to the following standard conditions: <ol style="list-style-type: none"> a. Development of the project shall be substantially in conformance with the plans prepared by T Square Consulting Group, Inc., consisting of 15 plan sheets, dated received July 3, 2019, and approved by the Planning Commission on July 29, 2019, except as modified by the conditions contained herein, subject to review and approval of the Planning Division. b. Prior to building permit issuance, the applicant shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies’ regulations that are directly applicable to the project. c. Prior to building permit issuance, the applicant shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project. d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes. e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division. f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits. g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance. 			



City of Menlo Park
 Location Map
 1036 Oakland Avenue



1036 Oakland Avenue – Attachment C: Data Table

	PROPOSED PROJECT	EXISTING PROJECT	ZONING ORDINANCE
Lot area	5,500 sf	5,500 sf	7,000 sf min.
Lot width	50.0 ft.	50.0 ft.	65 ft. min.
Lot depth	110 ft.	110 ft.	100 ft. min.
Setbacks			
Front	20.6 ft.	25.6 ft.	20 ft. min.
Rear	40.7 ft.	25.2 ft.	20 ft. min.
Side (left)	4.8 ft.	4.8 ft.	5 ft. min.
Side (right)	4.8 ft.	4.8 ft.	5 ft. min.
Building coverage	1,882 sf	2,067 sf	2,194 sf max.
	34.2 %	37.6 %	35 % max.
FAL (Floor Area Limit)	2,759 sf	1,476 sf	2,800 sf max.
Square footage by floor	1,564 sf/1st 927 sf/2nd 268 sf/garage 50 sf/porches	1,208 sf/1st 268 sf/garage 192 sf/porches	
Square footage of buildings	2,809 sf	1,668 sf	
Building height	24 ft.	17.2 ft.	28 ft. max.
Parking	1 covered	1 covered	1 covered/1 uncovered
Note: Areas shown highlighted indicate a nonconforming or substandard situation.			

Trees			
Heritage trees	0	Non-Heritage trees	2
New Trees	0		
Heritage trees proposed for removal	0	Non-Heritage trees proposed for removal	0
		Total Number of Trees	2
















GENERAL NOTES

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTORS TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS INDICATED ON THESE DRAWINGS AND MAKE KNOWN ANY DISCREPANCIES PRIOR TO COMMENCING THEIR WORK.
- THESE DRAWINGS ARE INTENDED FOR USE IN A NEGOTIATED CONSTRUCTION CONTRACT AND, THEREFORE, MAY NOT SPECIFICALLY DETAILS OR SPECIFY MATERIALS AND/OR MANUFACTURERS.
- THE CONTRACTOR SHALL PROVIDE ALL SAMPLES AND/OR CUT-SHEETS AS REQUIRED TO ASSIST OWNER OR HIS AGENT IN MAKING MATERIAL SELECTIONS.
- FOR THE PURPOSE OF ESTIMATING, THE CONTRACTORS SHALL USE THE MATERIALS SELECTED BY THE OWNER, OR IN ABSENCE OF SAME, HE SHALL PROVIDE AN ALLOWANCE AMOUNT AND SO CONDITION ANY COST ESTIMATE.
- ALL MATERIALS SPECIFIED IN THESE DRAWINGS SHALL BE INCLUDED IN SUCH ESTIMATE.
- NO GUARANTEE OF QUALITY OF CONSTRUCTION IS IMPLIED OR INTENDED BY THE CONSTRUCTION DOCUMENTS, AND THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY OR ALL CONSTRUCTION DEFICIENCIES.
- THE GENERAL CONTRACTOR SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE DESIGNER/ARCHITECT FROM ANY ACTION INITIATED BY THE INITIAL OWNER OR ANY SUBSEQUENT OWNERS FOR CONSTRUCTION DEFICIENCIES, MODIFICATIONS OR SUCH CONDITIONS WHICH MAY BE BEYOND THE CONTROL OF THE ARCHITECT.
- ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND TRADE STANDARDS WHICH COVER EACH PHASE OF WORK INCLUDING BUT NOT LIMITED TO CALIFORNIA BUILDING CODE (CBC), CALIFORNIA MECHANICAL CODE (CMC), NATIONAL ELECTRICAL CODE (NEC), CALIFORNIA PLUMBING CODE (CPC), AND ALL APPLICABLE LOCAL CODES AND LEGISLATION.
- THE CONTRACTOR SHALL REVIEW AND RECORD THE CONDITIONS OF ALL EXISTING SITE IMPROVEMENTS INCLUDING PAVED AREAS, HE SHALL MAKE KNOWN ALL EXISTING DAMAGED OR DISCREPANCY ITEMS AND CONDITIONS THAT MAY WORSEN DUE TO THE CONSTRUCTION.
- ALL ITEMS IN GOOD CONDITION SHALL BE MAINTAIN IN THEIR PRESENT CONDITION AND ANY REPAIR OR DAMAGE WHICH OCCURS DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL THOROUGHLY EXAMINE THE SITE AND SATISFY HIMSELF AS OF THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED.
- THE CONTRACTOR SHALL VERIFY AT THE SITE ALL MEASUREMENTS AFFECTING HIS WORK AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF SAME.
- NO EXTRA COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR THE EXPENSES DUE TO HIS NEGLIGENCE TO EXAMINE OR FAILURE TO DISCOVER CONDITIONS WHICH MAY AFFECT HIS WORK.
- ALL NEW INTERIOR PAINT COLOR, FLOOR, WALLS AND CEILING FINISHES SHALL BE SELECTED BY OWNER AT THE TIME WHEN IT IS NECESSARY FOR THE COMPLETION OF THE PROJECT.
- ALL PUBLIC IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE LATEST ADOPTED CITY STANDARDS.
- THE STORING OF GOODS AND MATERIALS ON SIDEWALK AND/OR STREET WILL NOT BE ALLOWED UNLESS THE CONTRACTOR HAS APPLIED AND SECURED A SPECIAL PERMIT WHICH ALLOWING SUCH STORAGE TO BE.
- GENERAL CONTRACTOR AND OWNER ARE REQUIRED TO SIGN THE STRUCTURAL/SPECIAL INSPECTION FORM OF THE EXPOXY HOLDOWN ANCHOR BOLTS BEFORE THE BUILDING PERMIT IS ISSUED BY CITY.
- THE LIST OF DEFERRED ITEMS WILL PROVIDED ON THE COVER SHEET, THE DEFERRED ITEMS SHALL NOT BE CONSTRUCTED OR INSTALLED UNTIL REVIEWED AND APPROVED BY CITY.
- UNDER SPECIAL INSPECTION TITLE ALL WORK REQUIRING SPECIAL INSPECTION PER 2016 CBC CHAPTER 17, ALL WORK REQUIRING INSPECTIONS MUST BE DONE BY CERTIFIED INSPECTION AGENCY.
- RETROFIT HOLDOWN ANCHORS MAY BE INSPECTED BY THE ENGINEER OF RECORD, THE EOR SHALL PROVIDE A LETTER TO THE CITY FIELD INSPECTOR AT THE TIME OF HOLDOWN INSPECTION DESCRIBING THE RESULTS OF THE INSPECTION(S).

SCOPE OF WORK

- 1ST FLOOR ADDITION INCLUDES: (N) FOYER, (N) LIVING ROOM, (N) FAMILY ROOM AND (N) BEDROOM #1.
1ST FLOOR REMODEL: (N) DINING ROOM, (N) BATH AND LAUNDRY ROOM.
- 2ND FLOOR ADDITION INCLUDES: (N) M. BEDROOM, (N) BEDROOM #2, (N) BEDROOM #3, (N) M. W.I.C. (N) CLO. (N) M. BATH AND (N) BATH #2
2. NEW EXTERIOR MATERIALS FOR ADDITION TO MATCH EXISTING MATERIAL AND COLOR.
3. RELATED MECH/PLUMBING/ELECTRICAL WORK.

SYMBOLS

	COLUMN GRID LINE NO.		EXISTING DOOR
	SECTION NO.		DOOR NO.
	SECTION SHEET NO.		DOOR SCHEDULE
	ELEVATION NO.		DOOR TYPE
	ELEVATION SHEET NO.		INTERIOR ELEVATIONS INDICATOR
	DETAIL NO.		ROOM NAME
	DETAIL SHEET NO.		FLOOR FINISH
	REVISION NO.		

BLDG DATA

SEE A2.0 FOR AREA CAL. DIAGRAM

LOT SIZE: 5,501 S.F.
CURRENT ZONING: RI-U SFH
CURRENT AND PROPOSED USE: SFH

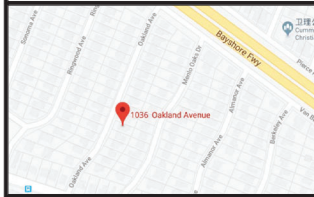
(E) BUILDING FLOOR AREA:
(E) 1st FLOOR: 1,208 S.F.
(E) GARAGE FLOOR: 268 S.F.
TOTAL EXISTING FLOOR: 1,462 S.F.

PROPOSED FLOOR AREA (ADDITION)
(N) 1st FLOOR AREA: 161+196 S.F.
(N) 2nd FLOOR AREA: 936 S.F.
(N) GARAGE FLOOR: 0 S.F.
TOTAL (E)+(N) LIVING FLOOR AREA 2,501 S.F.
TOTAL (E)+(N) FLOOR AREA 2,796 S.F. (GARAGE UNINCLUDED)

CONSTRUCTION TYPE: VB
STORY (IES): 1
AUTO. FIRE SPRINKLER: NO

DESIGN COMPLY WITH :
CITY OF MENLO PARK MUNICIPAL CODE
2016 CALIFORNIA BUILDING CODE
2016 CALIFORNIA RESIDENTIAL CODE
2016 CALIFORNIA ELECTRICAL CODE
2016 CALIFORNIA MECHANICAL CODE
2016 CALIFORNIA PLUMBING CODE
2016 CALIFORNIA FIRE CODE
2016 CALIFORNIA GREEN BUILDING STANDARDS CODE
2016 CALIFORNIA ENERGY CODE

VICINITY MAP



SHEET INDEX

ARCHITECTURAL	
A1.1	TITLE SHEET & SITE PLANS
A1.3	EXISTING SITE PLAN & AREA PLAN
A1.4	STREETSCAPE
A1.5	FLOOR AREA+NONCONFORMS NEW VALUE CALCULATIONS
A2.0	EXISTING 1ST FLOOR DEMO. PLAN
A2.1	PROPOSED 1ST FLOOR PLAN
A2.2	PROPOSED 2ND FLOOR PLAN
A3.1	EXISTING & PROPOSED FRONT ELEV.
A3.2	EXISTING & PROPOSED REAR ELEV.
A3.3	EXISTING & PROPOSED & DEMO. EXISTING LEFT ELEV.
A3.4	EXISTING & PROPOSED RIGHT ELEV.
A3.5	ROOF PLANS,SECTION & VENT CAL.
A3.6	IMPERVIOUS AREA CALC
CIVIL	
C1.0	GRADING & DRAINAGE PLAN
TOPO	
SU_1	TOPOGRAPHIC BOUNDARY SURVEY

**GU'S RESIDENCE
SHF ADDITION & RENOVATION
1036 OAKLAND AVENUE MENLO PARK, CA 94025
APN: 062-042-270**

DECK NOTES:

NEW DECK MAY ENCROACH NO MORE THAN 6FT INTO REQUIRED REAR YARD

NON CONFORMING WALL NOTE:







EXISTING NON CONFORMING WALL SHALL NOT BE REMOVED, THE NON CONFORMING PORTION OF THE WALL CANNOT BE REBUILT IF DEMOLISHED. THE PLATE HT. IS BEING RAISE ON THE NON CONFORMING WALL AND NO OTHER MODIFICATION ARE ALLOWED UNLESS APPROVED.

(N) FIRST FL. ADDITION:
196 SQ FT

(N) 2nd FL. ADDITION:
936 SQ FT

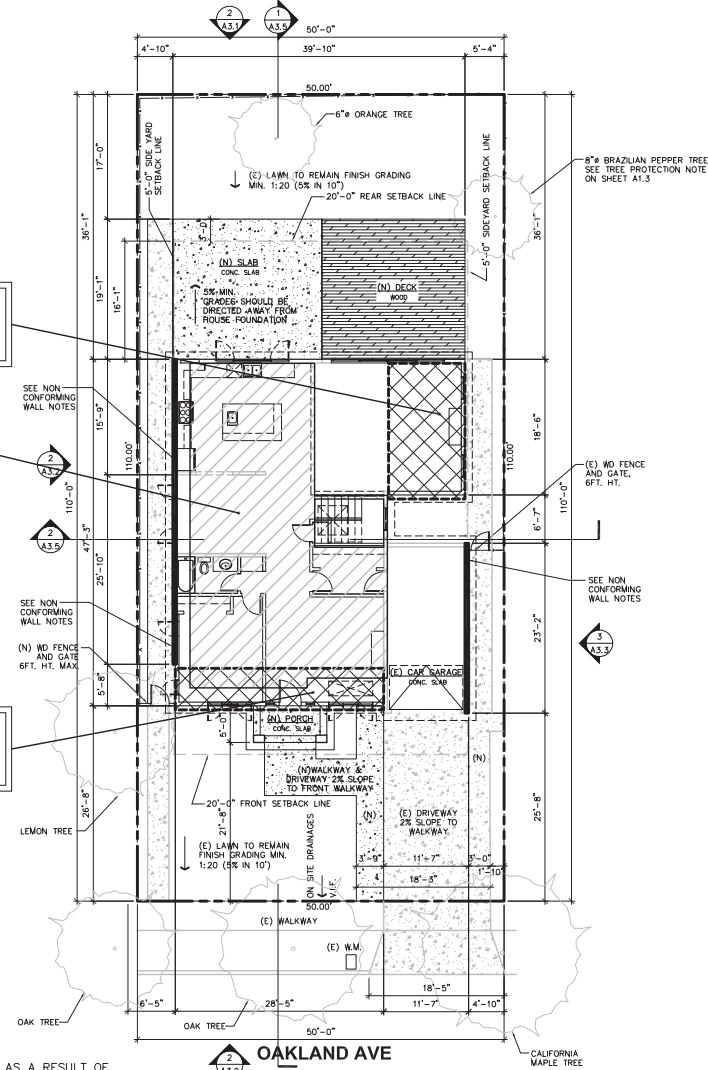
(N) FIRST FL. ADDITION:
161 SQ FT

LEGEND

	(E) NON CONFORMING WALL
	PROPERTY LINE
	SETBACK LINE
	ROOF LINE
	(N) ADDITION 1ST FLOOR
	(N) ADDITION 2nd FLOOR

FRONTAGE IMPROVEMENT NOTE:

- ANY FRONTAGE IMPROVEMENT WHICH ARE DAMAGED AS A RESULT OF CONSTRUCTION WILL BE REQUIRED TO BE REPLACED. ALL FRONTAGE IMPROVEMENT WORK SHALL BE IN ACCORDANCE WITH THE LATEST VERSION OF THE CITY STANDARD DETAILS.
- AN ENCROACHMENT PERMIT FROM THE ENGINEERING DIVISION IS REQUIRED PRIOR TO ANY CONSTRUCTION ACTIVITIES, INCLUDING UTILITY LATERALS, IN THE PUBLIC RIGHT OF WAY.



PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"



T SQUARE CONSULTING GROUP, Inc.
2050 CONDUITE DRIVE, #60 TEL: (408) 321-9888
SAN JOSE, CA 95131-9882 FAX: (408) 321-9887

SY-CHENG TSAI C-24234

**GU'S RESIDENCE
SHF ADDITION & RENOVATION
1036 OAKLAND AVENUE
MENLO PARK, CA 94025**

TITLE SHEET & SITE PLAN

DATE: 12/7/18
JOB NO. TS180416

ISSUE & REVISION

dd/mm/yy	QTY	SUBMITAL
06/17/19 <td>1/3 <td>CITY SUBMITAL</td> </td>	1/3 <td>CITY SUBMITAL</td>	CITY SUBMITAL
06/17/19 <td>1/3 <td>CITY SUBMITAL</td> </td>	1/3 <td>CITY SUBMITAL</td>	CITY SUBMITAL

SHEET NO.

A1.1

DRAWN BY:



COMMUNITY DEVELOPMENT DEPT.
701 Land Street
Menlo Park, CA 94025
650.330.0704
2/28/2011

TREE PROTECTION SPECIFICATIONS

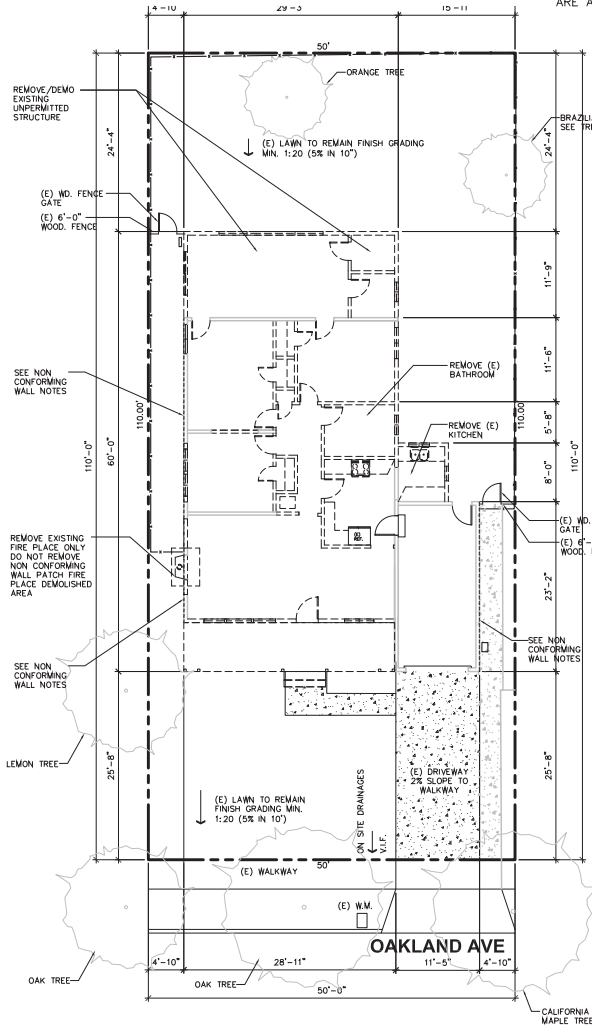
- A 6" layer of coarse mulch or woodchips is to be placed beneath the dripline of the protected trees. Mulch is to be kept 12" from the trunk.
- A protective barrier of 6' chain link fencing shall be installed around the dripline of protected trees. The fencing can be moved within the dripline if authorized by the Project Arborist or City Arborist but not closer than 2' from the trunk of any tree. Fence posts shall be 1.5" in diameter and are to be driven 2' into the ground. The distance between posts shall not be more than 10'. This enclosed area is the Tree Protection Zone (TPZ).
- Movable barriers of chain link fencing secured to cement blocks can be substituted for "fixed" fencing if the Project Arborist and City Arborist agree that the fencing will have to be moved to accommodate certain phases of construction. The builder may not move the fence without authorization from the Project Arborist or City Arborist.
- Where the City Arborist or Project Arborist has determined that tree protection fencing will interfere with the safety of work crews, Tree Wrap may be used as an alternative form of tree protection. Wooden slats at least one inch thick are to be banded securely, edge to edge, around the trunk. A single layer or more of orange plastic construction fencing is to be wrapped and secured around the outside of the wooden slats. Major scaffold limbs may require protection as determined by the City Arborist or Project Arborist. Saw saddle may also be used as a trunk wrap by coating the saddle around the trunk up to a minimum height of six feet from grade. A single layer or more of orange plastic construction fencing is to be wrapped and secured around the straw saddle.
- Avoid the following conditions.

DO NOT:

 - Allow run off of spillage of damaging materials into the area below any tree canopy.
 - Store materials, stockpile soil or park or drive vehicles within the TPZ.
 - Cut, break, skin, or bruise roots, branches, or trunks without first obtaining authorization from the City Arborist.
 - Allow fires under and adjacent to trees.
 - Discharge exhaust into foliage.
 - Secure cable, chain, or rope to trees or shrubs.
 - Trench, dig, or otherwise excavate within the dripline or TPZ of the trees) without first obtaining authorization from the City Arborist.
 - Apply soil sealants and/or pavement near existing trees.
- Only excavation by hand or compressed air shall be allowed within the dripline of trees. Machine trenching shall not be allowed.
- Avoid injury to tree roots. When a ditching machine, which is being used outside of the dripline of trees, encounters roots smaller than 2", the wall of the trench adjacent to the tree shall be hand trimmed, making clear, clean cuts through the roots. All damaged, torn and cut roots shall be given a clean cut to remove ragged edges, which promote decay. Trenches shall be filled within 24 hours, but where this is not possible, the side of the trench adjacent to the tree shall be kept shaded with four layers of dampened, untreated burlap, wetted as frequently as necessary to keep the burlap wet. Roots 2" or larger, when encountered, shall be reported immediately to the Project Arborist, who will decide whether the Contractor may cut the root as mentioned above or shall excavate by hand or with compressed air under the root. Root is to be protected with dampened burlap.
- Route pipes outside of the area that is 10 times the diameter of a protected tree to avoid conflict with roots.
- Where it is not possible to reroute pipes or trenches, the contractor shall bore beneath the dripline of the tree. The boring shall take place not less than 2' below the surface of the soil in order to avoid encountering "feeder" roots.
- Trees that have been identified in the arborist's report as being in poor health and/or posing a health or safety risk, may be removed or pruned by more than one-third, subject to approval of the required permit by the Planning Division. Pruning of existing limbs and roots shall only occur under the direction of a Certified Arborist.
- Any damage due to construction activities shall be reported to the Project Arborist or City Arborist within six hours so that remedial action can be taken.
- An ISA Certified Arborist or ASCA Registered Consulting Arborist shall be retained as the Project Arborist to monitor the tree protection specifications. The Project Arborist shall be responsible for the preservation of the designated trees. Should the builder fail to follow the tree protection specifications, it shall be the responsibility of the Project Arborist to report the matter to the City Arborist as an issue of non-compliance.
- Violation of any of the above provisions may result in sanctions or other disciplinary action.

MONTHLY INSPECTIONS

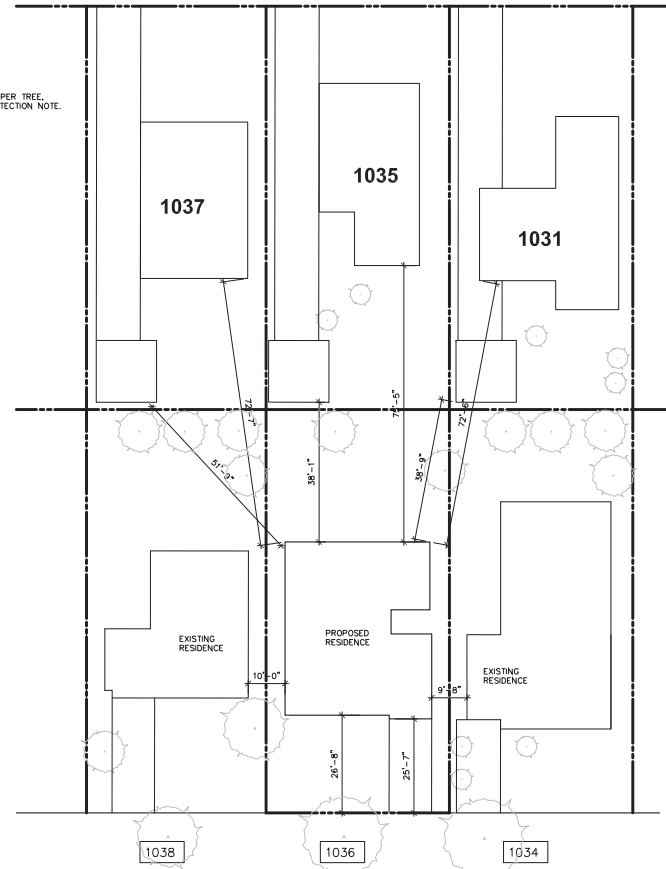
It is required that the site arborist provide periodic inspections during construction. Four-week intervals would be sufficient to access and monitor the effectiveness of the Tree Protection Plan and to provide recommendations for any additional care or treatment.



NON CONFORMING WALL NOTE:

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MENLO OAK DR.



EXISTING SITE PLAN
SCALE: 1/8" = 1'-0"

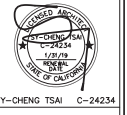


AREA PLAN: 1036 OAKLAND AVENUE MENLO PARK
SCALE: 1/16" = 1'-0"



T SQUARE CONSULTING GROUP, Inc.
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SY-CHENG TSAI C-24234



GU'S RESIDENCE
SHF ADDITION & RENOVATION
1036 OAKLAND AVENUE
MENLO PARK, CA 94025

EXISTING SITE PLAN & AREA PLAN

DATE:	12/7/18
JOB NO.:	TS180416
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06/17/19	QTY SUBMITAL

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DRAWN BY:



1038

1036

1034

OAKLAND AVENUE

STREETSCAPE ON WEST ELEVATION

SCALE : 1:60



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 TEL (408) 321-9888 FAX (408) 321-9887

I hereby certify that the design and construction documents were prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of California. I am duly Licensed Professional Engineer No. 61189, State of California. My license expires on 01/31/2024. My office is located at 2050 Conduce Drive, #20, San Jose, CA 95131-9882.



SY-CHENG TSAI C-24234

GU'S RESIDENCE
SHF ADDITION & RENOVATION
1036 OAKLAND AVENUE
MENLO PARK, CA 94025

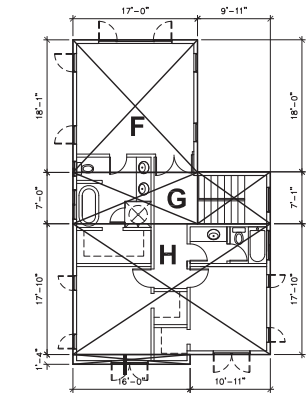
STREETSCAPE

DATE: 12/7/18
 JOB NO. TS180416

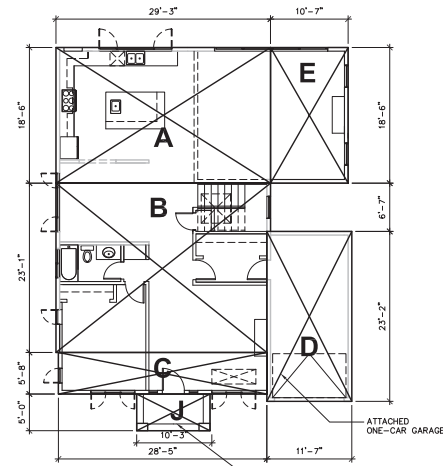
ISSUE & REVISION

NO.	DATE	DESCRIPTION

SHEET NO.
A1.4
 DRAWN BY: ST



(N) 2ND FL.



(N) 1ST FL.

PLEASE NOTES THAT THE COVERED PORCH IS MEASURED TO THE EXTERIOR OF THE POSTS.

FLOOR AREA LIMIT CALCULATION:

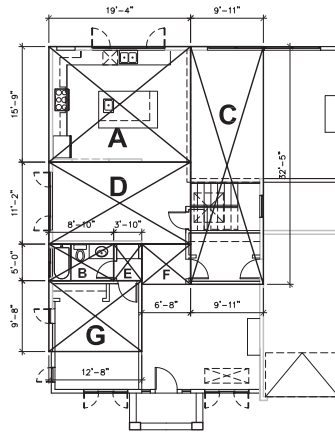
AREA	DIMENSIONS	SE
A	29'3"x18'6"	541
B	29'3"x23'1"	667
C	28'5"x9'8"	161
E	10'7"x18'6"	195
D GARAGE	11'7"x23'2"	268
F	17'0"x18'1"	307
G	17'0"x7'0"	119
H	28'11"x17'10"	480
I	16'0"x1'4"	21

(N) TOTAL FAL 2,759

BUILDING COVERAGE CALCULATION:

AREA	DIMENSIONS	SE
J	10'0"x5'0"	50
1ST FLOOR AND GARAGE		1,832

(N) TOTAL BUILDING COVERAGE 1,882

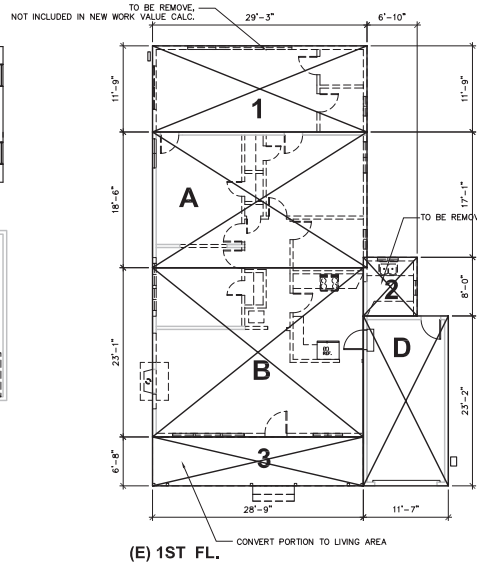


REMODEL CALCULATION:

AREA	DIMENSIONS	SE
A (KITCHEN)	19'4"x15'9"	304
B (BATHROOM)	8'10"x5'0"	44
C	9'11"x32'5"	321
D	19'4"x11'2"	216
E	3'10"x5'0"	19
F	6'8"x5'0"	37
G	9'8"x12'8"	122
TOTAL C-G ONLY		715

REMODEL OF EXISTING PLAN OVERLAID

SCALE : 1/8" = 1'-0"



(E) 1ST FL.

EXISTING FLOOR AREA CALCULATION DIAGRAM

SCALE : 1/8" = 1'-0"

FLOOR AREA LIMIT CALCULATION:

AREA	DIMENSIONS	SE
A	29'3"x18'6"	541
B	29'3"x23'1"	667
D GARAGE	11'7"x23'2"	268
1	29'3"x11'9"	344
2	6'10"x8'0"	55
TOTAL FAL OF (E)		1,875

BUILDING COVERAGE CALCULATION:

3	28'9"x6'8"	192
TOTAL BUILDING COVERAGE		2,067

Proposed Development

Proposed Development Type	Square Footage	Construction Cost	Development Value
Category 1: New square footage (reps of new foundation and/or wall framing)			
1st Floor Addition	307	X \$200/Sq Ft	\$60,300.00
2nd Floor Addition	927	X \$200/Sq Ft	\$185,400.00
Basement Floor Addition	0	X \$200/Sq Ft	\$0.00
Garage Addition	0	X \$70/Sq Ft	\$0.00
Category 2: Remodel of existing square footage (foundation and wall framing are both retained)			
<i>Note: Square footage measurements are taken to full extent of any room with any interior modifications. When the use of a room is changing, the proposed use should be used for this calculation.</i>			
Remodel of Kitchens	304	X \$150/Sq Ft	\$39,600.00
Remodel of Bathrooms	44	X \$130/Sq Ft	\$5,720.00
Remodel of Other Living Areas	715	X \$100/Sq Ft	\$71,500.00
Remodel of Garage	X	\$35/Sq Ft	\$0.00
Category 3: Exterior modifications to existing structure			
<i>Window and exterior door replacements are included in areas remodelled and accounted for in Category 2. New roofs and new siding or existing portions of the structure are not included in Category 2 or Category 1 and should be accounted for using the calculation below.</i>			
New Roof Structure Over Existing Sq. Ft.	X	\$50/Sq Ft	\$0.00
Replacement of Existing Windows/Exterior Doors	X	\$35/Sq Ft	\$0.00
Replacement of Existing Siding	X	\$35/Sq Ft	\$0.00
Total			\$362,540.00

NONCONFORMING STRUCTURE - NEW WORK VALUE CALCULATION

Address: 1036 Oakland, Menlo Park			
Case No.:			
50% of Existing Value	\$99,900.01		
75% of Existing Value	\$140,850.00		
Value of Proposed Project	\$362,340.00 134%		
Existing Development			
Non-Conforming Structure Type	Square Footage	Construction Cost	Existing Value
Existing 1st floor	1263	X \$200/Sq Ft	\$252,600.00
Existing 2nd floor	0	X \$200/Sq Ft	\$0.00
Existing Basement	0	X \$200/Sq Ft	\$0.00
Existing Garage	268	X \$70/Sq Ft	\$18,760.00
Total	1631		\$271,360.00

Note: This spreadsheet is only used on a nonconforming structure at a time. If there are detached structures on the same site, they are either subject to their own spreadsheet if they are also nonconforming and subject to new work or ignored if conforming, or nonconforming but not subject to new work.



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Professional Architect License No. 11812
Professional Geotechnical Engineer License No. 10150
Professional Structural Engineer License No. 10150
Professional Civil Engineer License No. 10150
Professional Mechanical Engineer License No. 10150
Professional Electrical Engineer License No. 10150
Professional Land Surveyor License No. 10150
Professional Planning License No. 10150
Professional Urban Planning License No. 10150
Professional Environmental Engineer License No. 10150
Professional Environmental Scientist License No. 10150
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Professional Environmental Analyst License No. 10150
Professional Environmental Scientist License No. 10150
Professional Environmental Planner License No. 10150
Professional Environmental Analyst License No. 10150



SHF-CHENG TSAI C-24234

GU'S RESIDENCE
SHF ADDITION & RENOVATION
1036 OAKLAND AVENUE
MENLO PARK, CA 94025

FLOOR AREA+NONCONFORMING NEW VALUE CALCULATIONS

DATE: 12/7/18

JOB NO. TS180416

ISSUE & REVISION

06/17/19 CITY SUBMITAL

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A1.5

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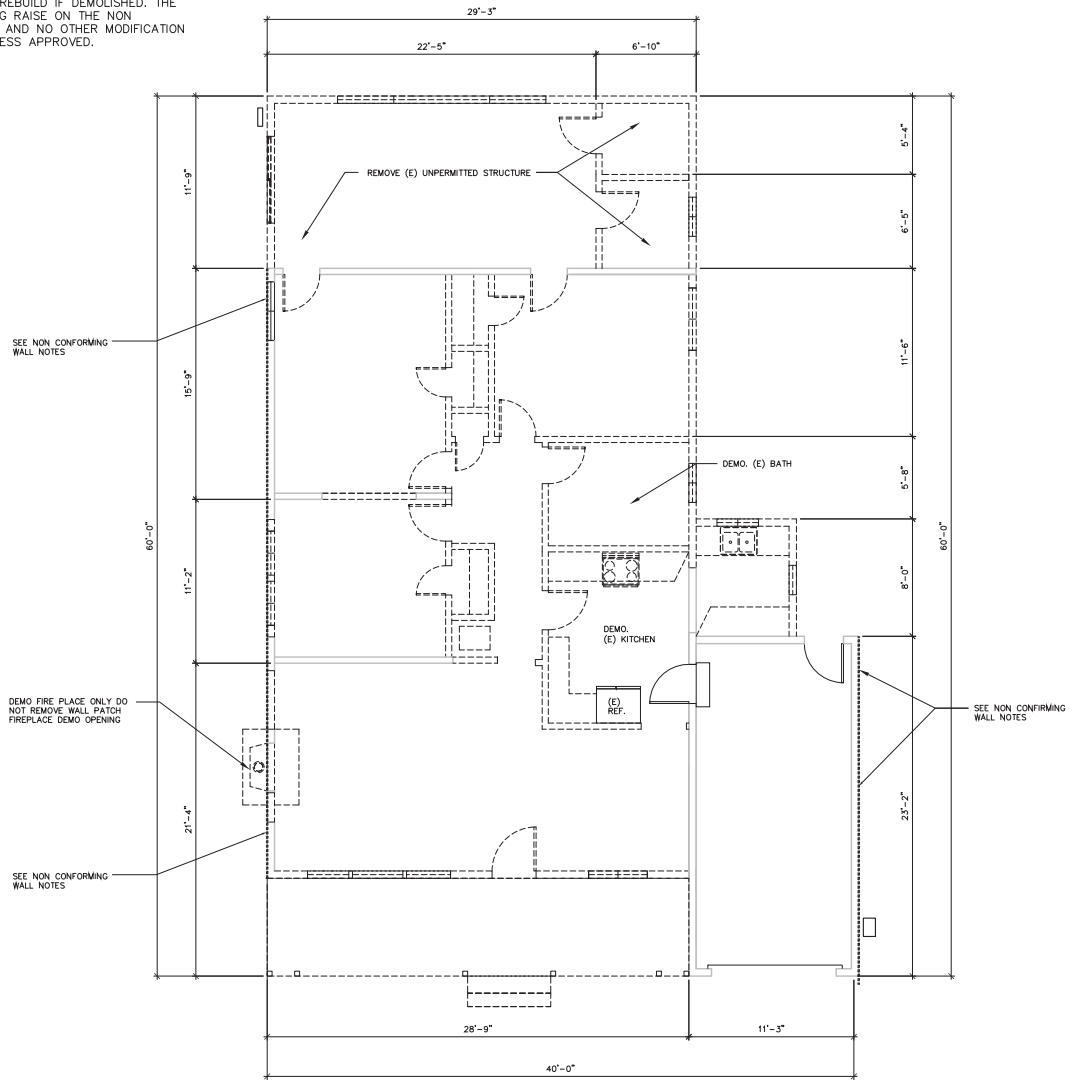
PROPOSED FLOOR PLAN OVERLAID

SCALE : 1/8" = 1'-0"



NON CONFORMING WALL NOTE:

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LEGEND

- EXISTING WALLS TO REMAIN REPAIR AS REQUIRED
- - - - - EXISTING WINDOWS WALLS AND DOORS TO BE REMOVED

1ST FLOOR DEMO. PLAN ELEV. REF. NORTH

SCALE : 1/8" = 1'-0"



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 2050 CONCORDS DRIVE, #20
 SAN JOSE, CA 95131-9882
 TEL (408) 321-9888
 FAX (408) 321-9887

I hereby certify that I am a duly Licensed Architect and/or Engineer in the State of California. My License No. is C-24234. I am the author of the design and/or engineering work shown on this drawing. I am not providing any services in violation of any applicable laws or regulations. I am not providing any services in violation of any applicable laws or regulations. I am not providing any services in violation of any applicable laws or regulations.



SY-CHENG TSAI C-24234

GU'S RESIDENCE
SHF ADDITION & RENOVATION
 1036 OAKLAND AVENUE
 MENLO PARK, CA 94025

EXISTING DEMO. PLAN

DATE:	12/7/18	
JOB NO.:	TS180416	
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dd/mm/yy	QTY	SUBMITAL
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A2.0
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WALL LEGEND

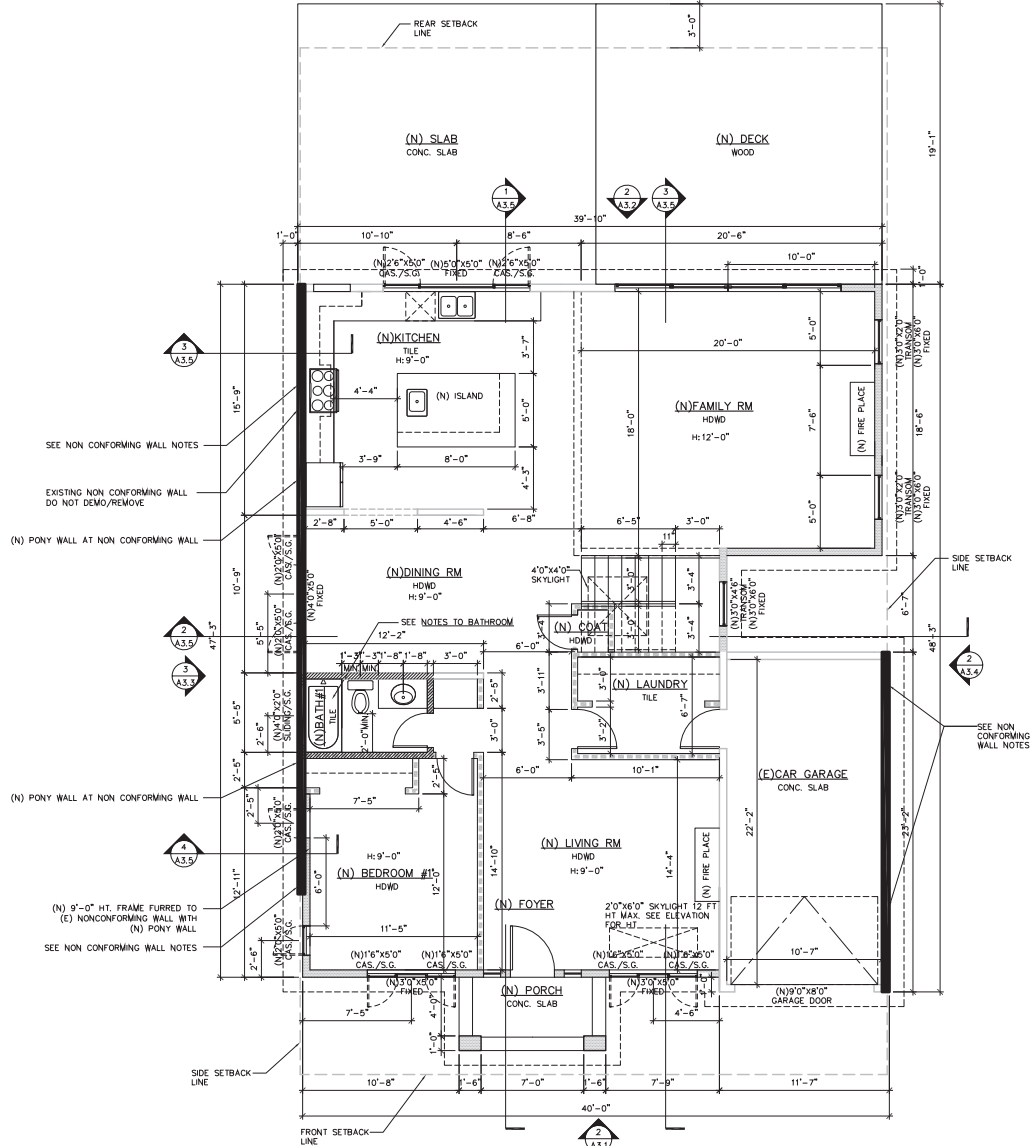
- EXISTING CONSTRUCTION TO REMAIN
-
-
-
-
-
-

LEGEND

- SETBACK LINE
- ROOF LINE

NON CONFORMING WALL NOTE:

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PROPOSED 1ST FLOOR PLAN
SCALE : 1/4" = 1'-0"



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GU'S RESIDENCE
SHF ADDITION & RENOVATION
1036 OAKLAND AVENUE
MENLO PARK, CA 94025

PROPOSED 1st FLOOR PLAN









DATE: 12/7/18
JOB NO. TS180416
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06/17/19	06/17/19	QTY SUBMITAL

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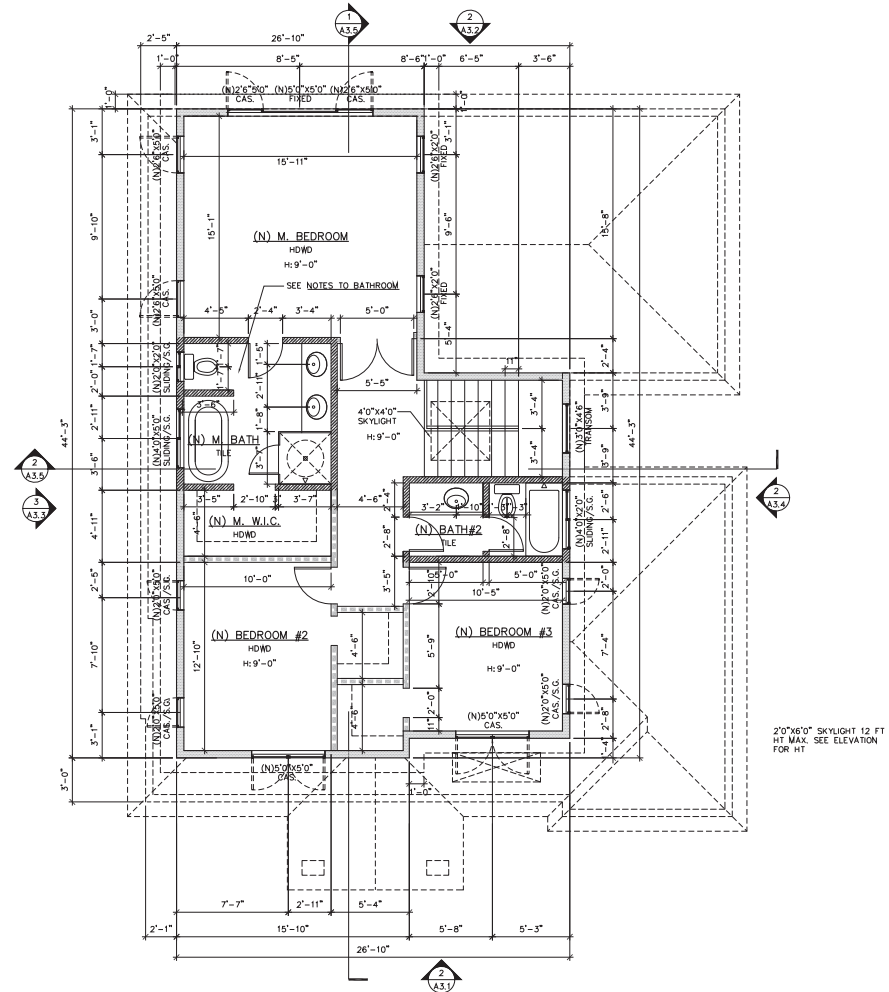
DRAWN BY:

WALL LEGEND

-  EXISTING CONSTRUCTION TO REMAIN
-  (N) FURRED WALL / COLUMN
-  NEW PONY WALL, WOOD FRAMING WALL OUT OF 2X4 WOOD STUDS @ 16" O.C. AND IN THE EXTERIOR STUCCO 7/8" MIN. STUCCO O/ METAL LATH O/ TWO LAYERS OF GRADE 'D' BLDG. PAPER O/ PLYWOOD TO MATCH EXISTING
-  NEW 2X4 WOOD STUDS @ 16" O.C. W/ 1/2" THK. GYP. BD. ON THE BOTH SIDES
-  NEW 2X4 WOOD STUDS @ 16" O.C. W/ 1/2" THK. GYP. BD. ON THE BOTH SIDES; USE WONDER BO. OR DUROCK AS BACKING MATERIAL AND WATER PROOFED MATERIAL.
-  CRAWL ACCESS 18"x24" MIN. (2016 IRC SEC. R408.4)
-  ATTIC ACCESS 22"x30" MIN. (2016 IRC SEC. R807.1)
-  ATTIC ACCESS 30"x30" MIN. WHEN FURNACE AT ATTIC. A HEAD ROOM CLEAR HEIGHT IN A ATTIC AT LEAST 30" AT THE ATTIC ACCESS

LEGEND

----- ROOF 1ST & 2ND FLOOR



PROPOSED 2ND FLOOR PLAN 

SCALE : 1/4" = 1'-0"



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GU'S RESIDENCE
SHF ADDITION & RENOVATION
 1036 OAKLAND AVENUE
 MENLO PARK, CA 94025

PROPOSED 2nd FLOOR PLAN

DATE:	12/7/18
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ISSUE & REVISION	
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06/17/19	QTY SUBMITAL

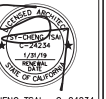
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GU'S RESIDENCE
SHF ADDITION & RENOVATION
1036 OAKLAND AVENUE
MENLO PARK, CA 94025

EXISTING & PROPOSED FRONT ELEVATIONS

DATE: 12/7/18

JOB NO. TS180416

ISSUE & REVISION

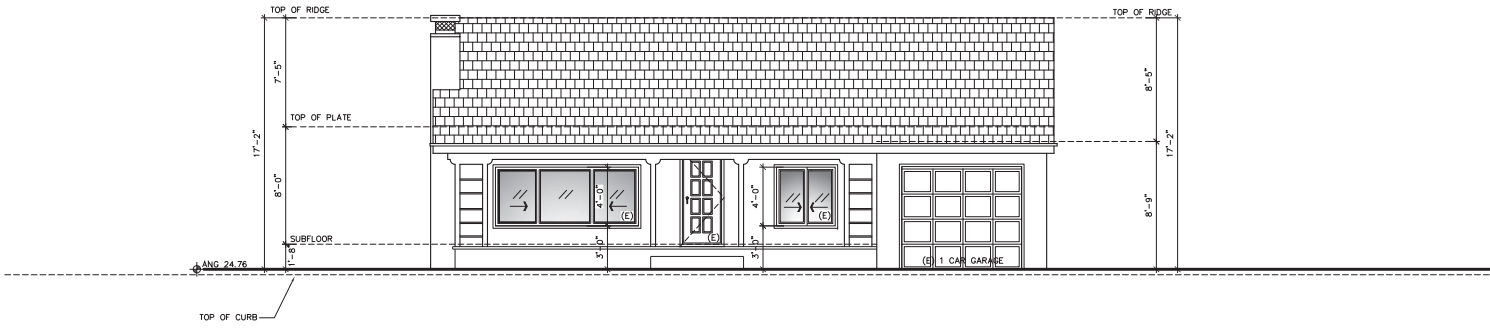
dd/mm/yy CITY SUBMITAL

06/17/19 CITY SUBMITAL

SHEET NO.

A3.1

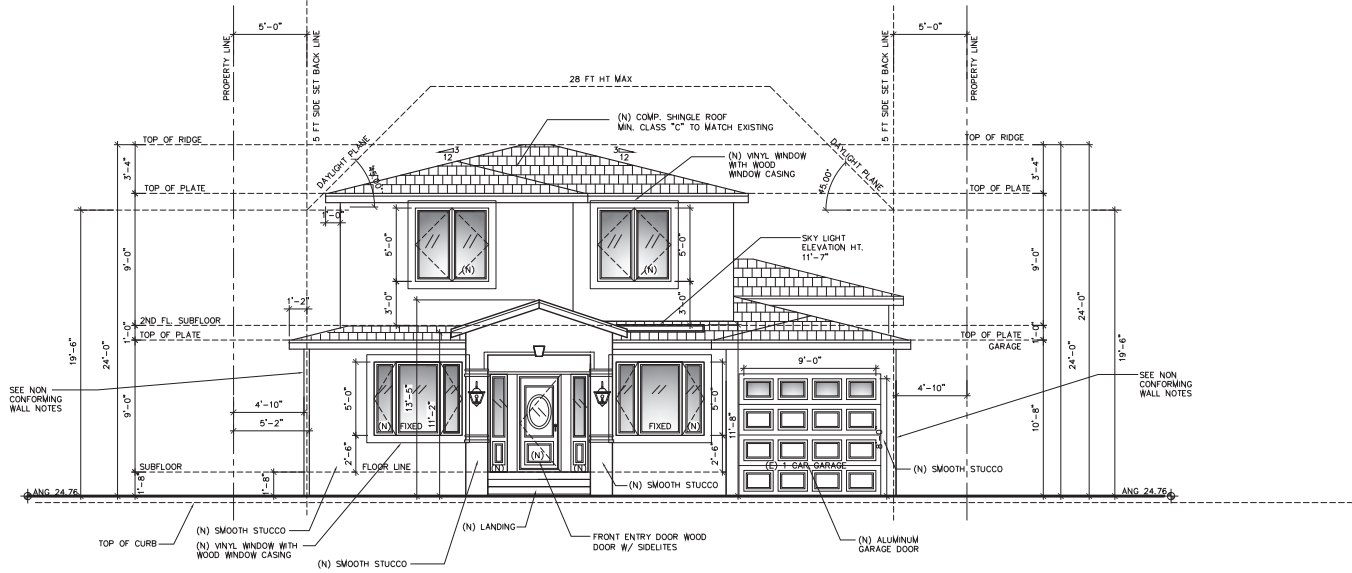
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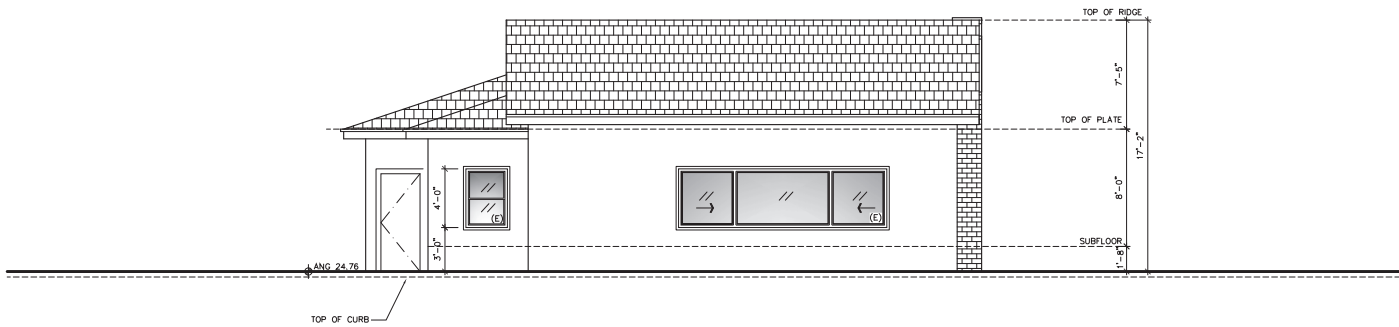
1 1/4"=1'-0" **EXISTING FRONT ELEVATION**

NON CONFORMING WALL NOTE:

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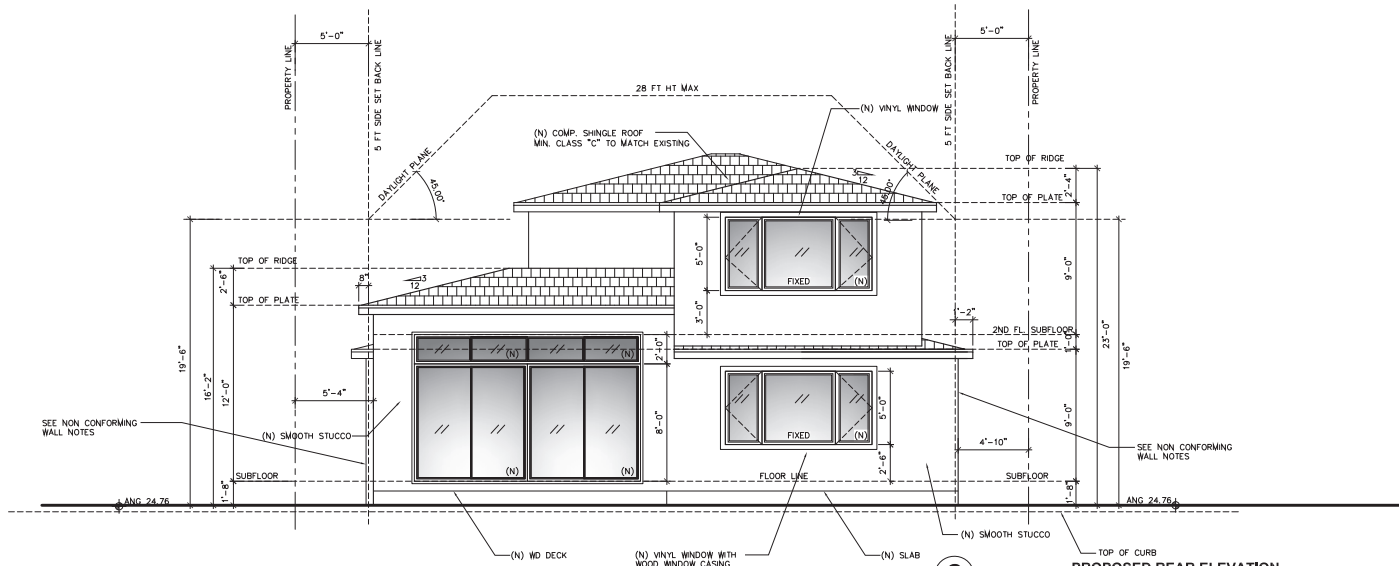
2 1/4"=1'-0" **PROPOSED FRONT ELEVATION**



1 1/4"=1'-0" EXISTING REAR ELEVATION

NON CONFORMING WALL NOTE:

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2 1/4"=1'-0" PROPOSED REAR ELEVATION

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EXISTING & PROPOSED REAR ELEVATIONS

DATE: 12/7/18
JOB NO. TS180416

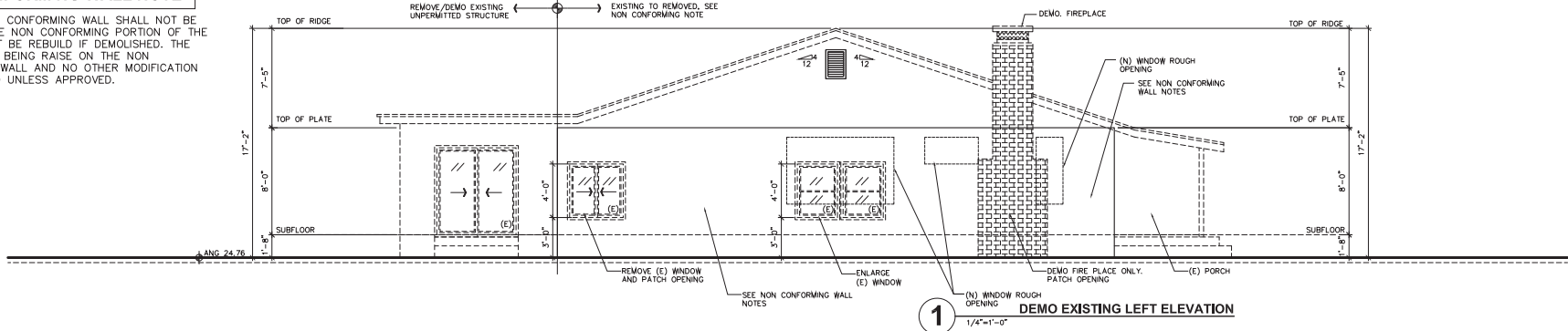
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SHEET NO. **A3.2**

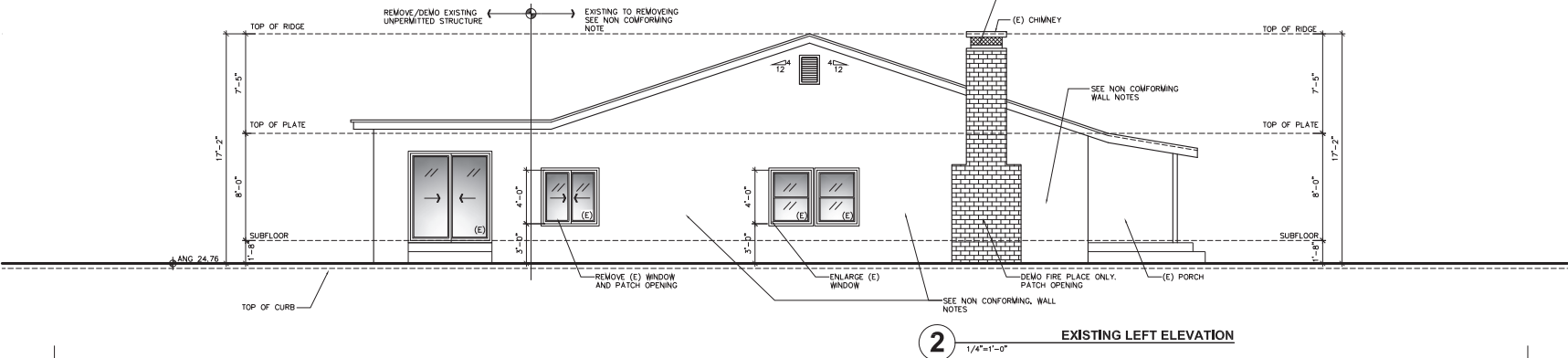
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NON CONFORMING WALL NOTE:

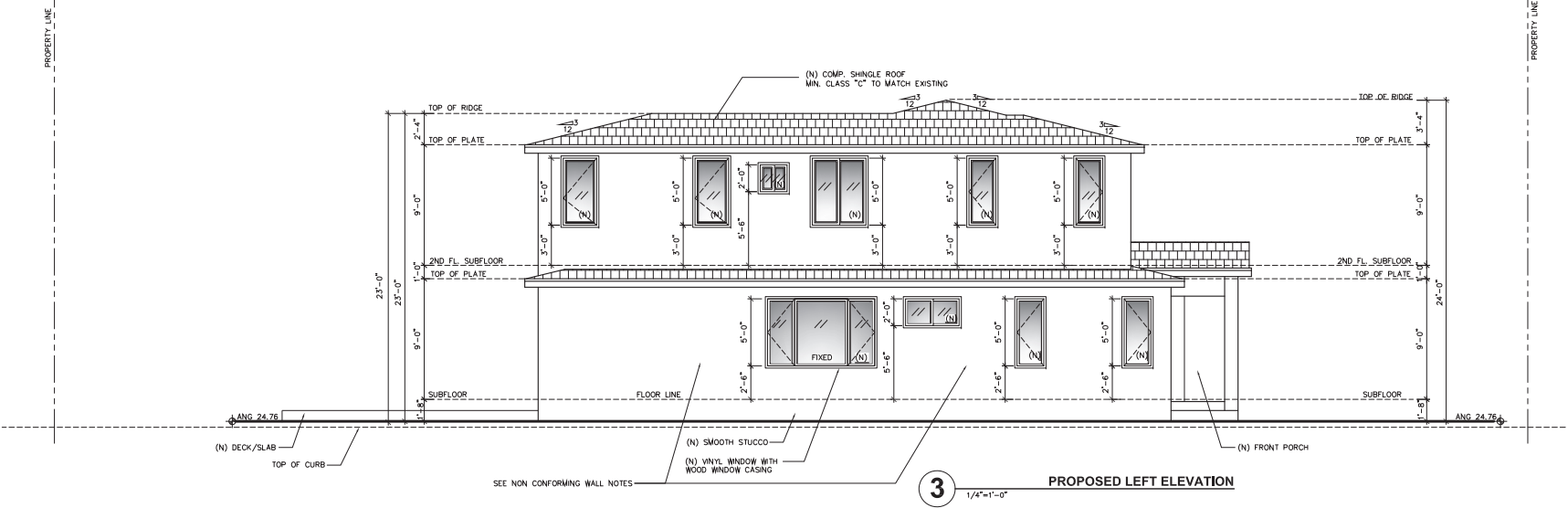
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1 DEMO EXISTING LEFT ELEVATION
1/4"=1'-0"




2 EXISTING LEFT ELEVATION
1/4"=1'-0"



3 PROPOSED LEFT ELEVATION
1/4"=1'-0"



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2050 CONDUCE DRIVE, #60
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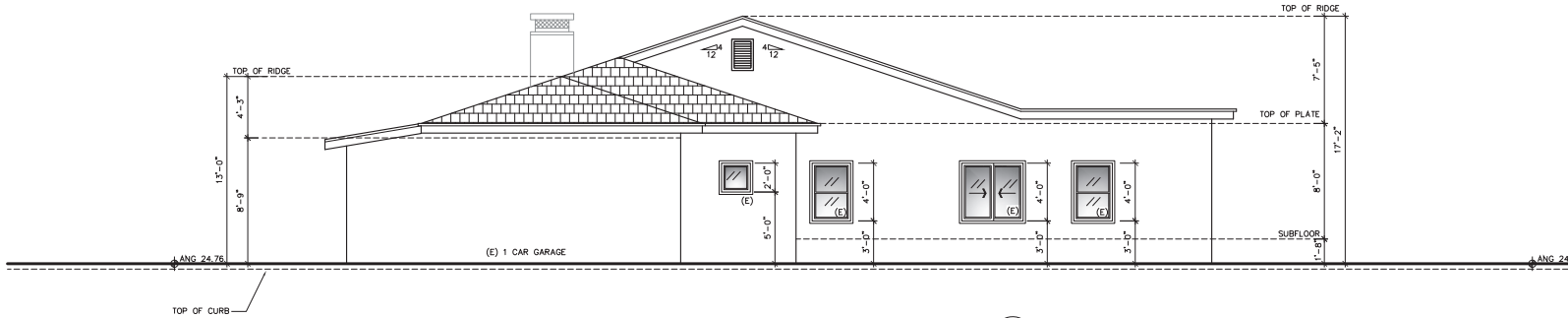
SY-CHENG TSAI C-24234

GU'S RESIDENCE
SHF ADDITION & RENOVATION
1036 OAKLAND AVENUE
MENLO PARK, CA 94025

EXISTING, DEMO, & PROPOSED LEFT ELEVATIONS

DATE: 12/7/18
JOB NO. TS180416
ISSUE & REVISION
06/17/19 CITY SUBMITAL
06/17/19 CITY SUBMITAL

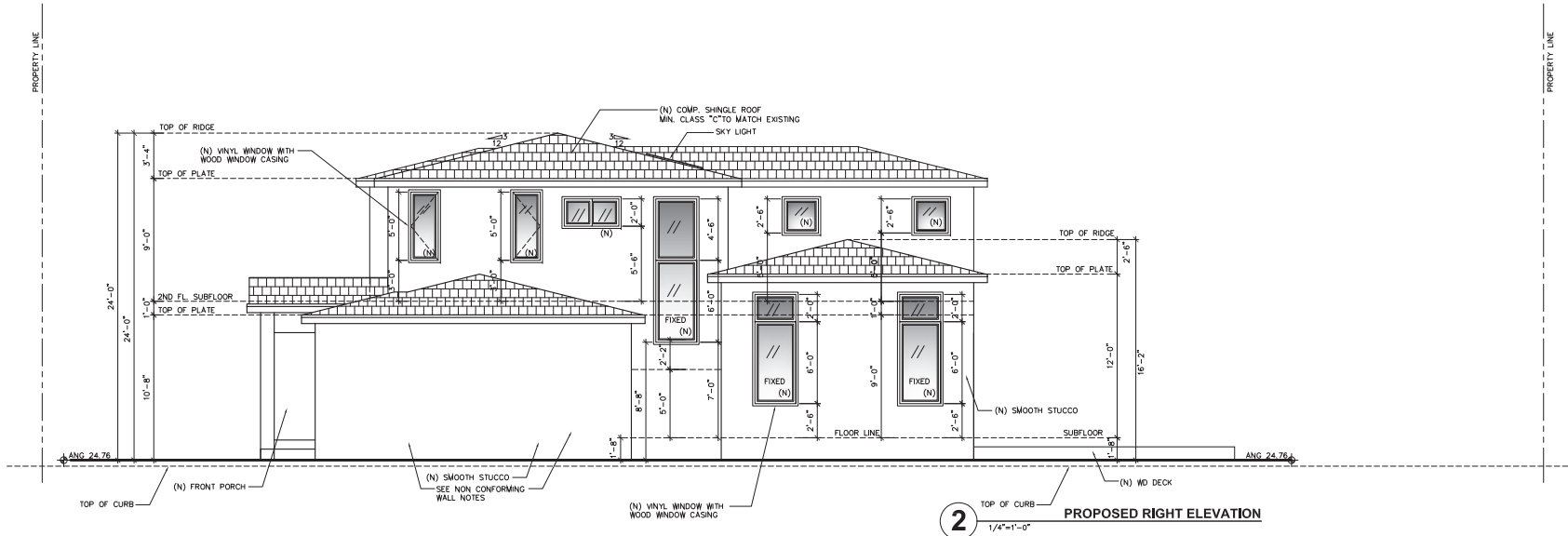
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A3.3
DRAWN BY:



1 1/4"=1'-0" EXISTING RIGHT ELEVATION

NON CONFORMING WALL NOTE:

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2 1/4"=1'-0" PROPOSED RIGHT ELEVATION



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EXISTING & PROPOSED RIGHT ELEVATIONS

DATE: 12/7/18

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A3.4

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SY-CHENG TSAI C-24234

GU'S RESIDENCE
SFH ADDITION & RENOVATION
 1036 OAKLAND AVENUE
 MENLO PARK, CA 94025

ROOF PLAN, & SECTIONS

DATE: 12/7/18
 JOB NO. TS180416

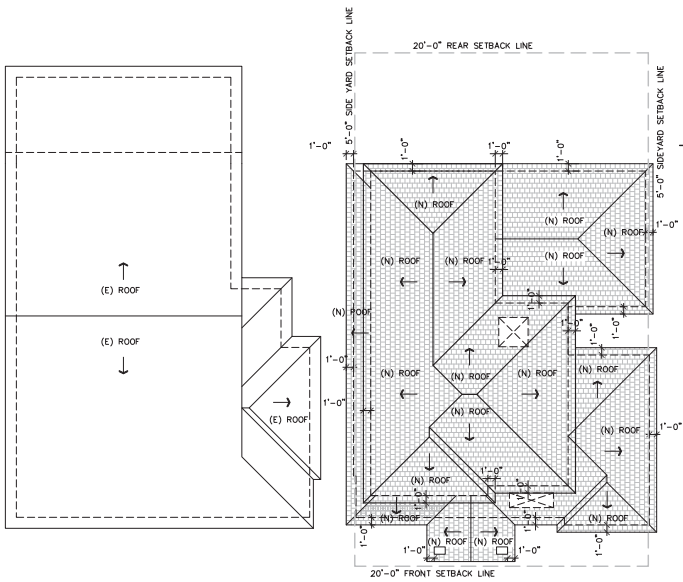
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06/17/19	CITY SUBMITAL

SHEET NO.

A3.5

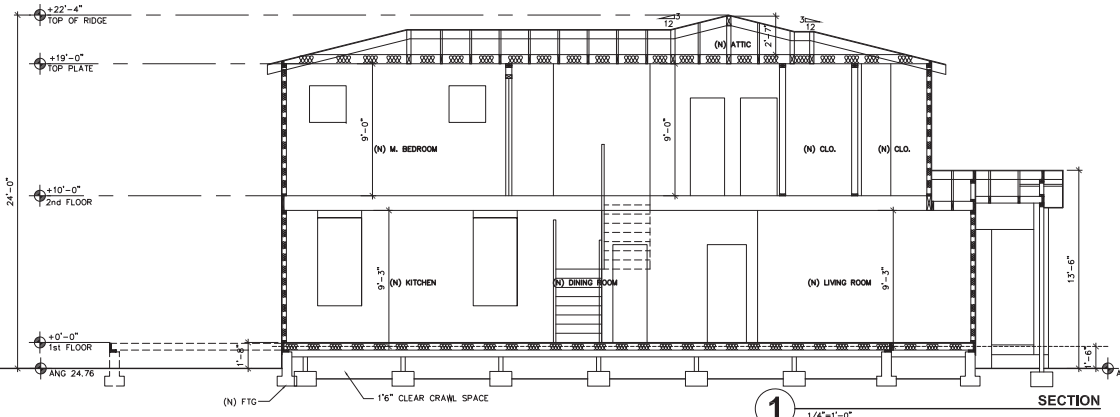
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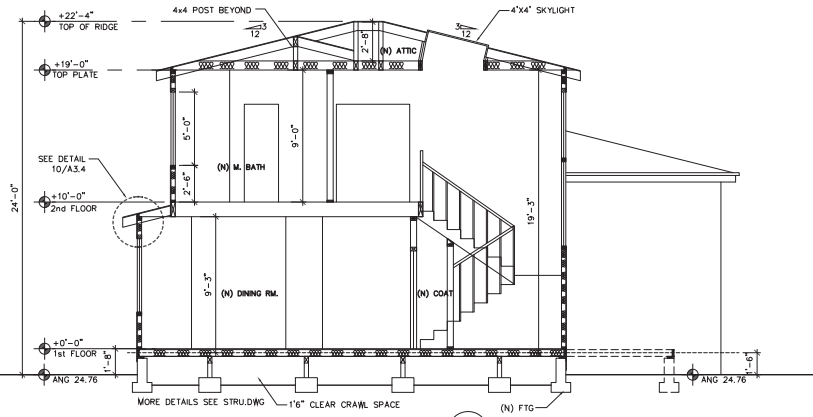
14 1/8"=1'-0" (E) ROOF PLAN

11 1/8"=1'-0" (N) ROOF PLAN

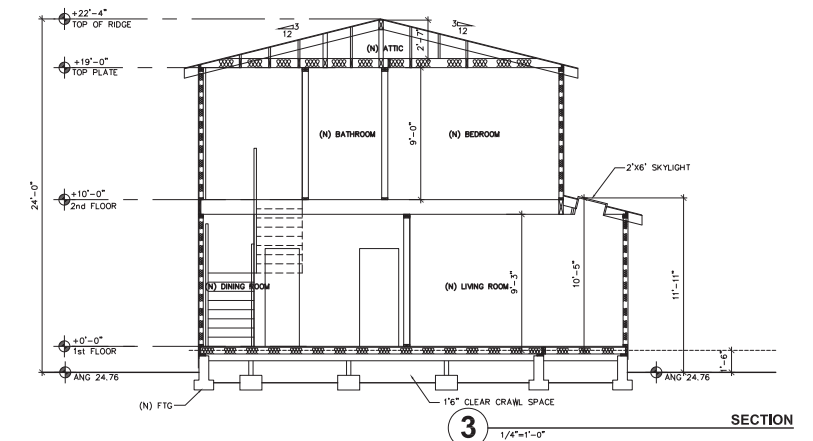
- NOTES**
- ALL ROOF'S PITCH ARE 4:12.
 - ALL ROOF MATERIAL ARE COMP. SHINGLE.
- AREA OF NEW ROOF



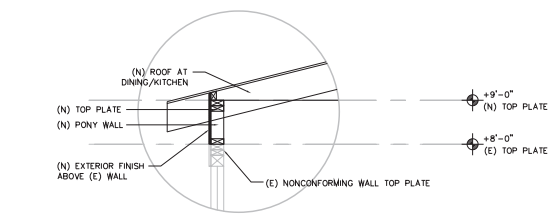
1 1/4"=1'-0" SECTION



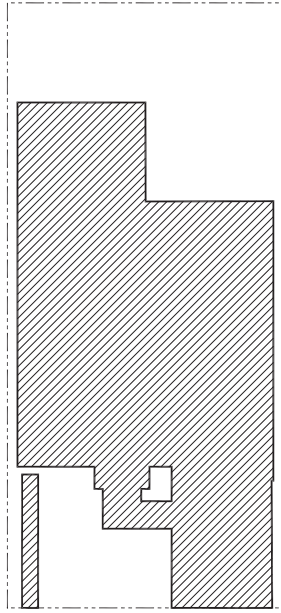
2 1/4"=1'-0" SECTION



3 1/4"=1'-0" SECTION

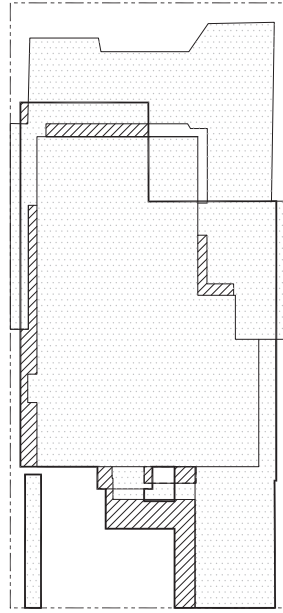


10 (N) PONY WALL AT NONCONFORMING WALL
 1/8"=1'-0"



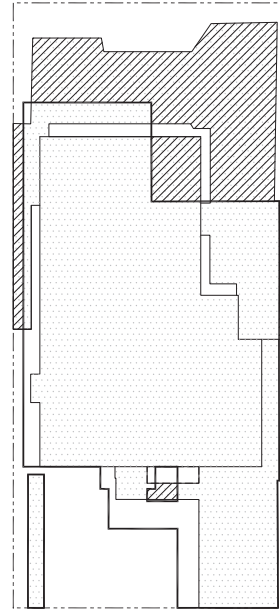
NEW IMPERVIOUS AREA

3,120 SQ.FT.



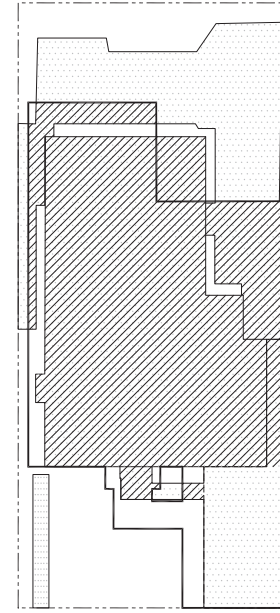
(E) PERVIOUS AREA TO BE REPLACED W/ (N) IMPERVIOUS AREA
350 SQ. FT.

350 SQ.FT.



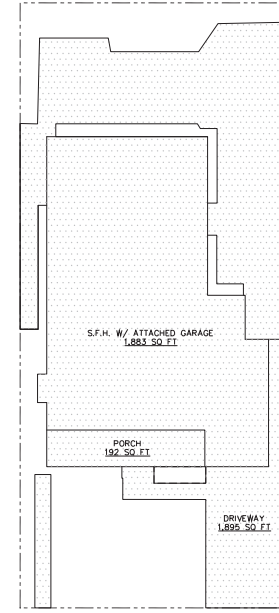
(E) IMPERVIOUS AREA TO BE REPLACED W/ (N) PERVIOUS AREA
1,002 SQ. FT.

1,002 SQ.FT.



(E) IMPERVIOUS AREA TO BE REPLACED W/ (N) IMPERVIOUS AREA
2,632 SQ. FT.

2,632 SQ.FT.



TOTAL EXISTING IMPERVIOUS AREA
3,970 SQ. FT.

3,970 SQ.FT.

PROPOSED SITE PLAN
SCALE : 1/8" = 1'-0"

EXISTING SITE PLAN
SCALE : 1/8" = 1'-0"

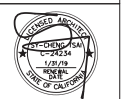
IMPERVIOUS AREA SUMMARY			
TOTAL AREA OF PARCEL	A	5,500	SQ.FT.
EXISTING PERVIOUS AREA	B	1,530	SQ.FT.
EXISTING IMPERVIOUS AREA	C	3,970	SQ.FT.
EXISTING % IMPERVIOUS	(C/A) X 100	72.1	%
EXISTING IMPERVIOUS AREA TO BE REPLACED W/ NEW IMPERVIOUS AREA	E	2,632	SQ.FT.
EXISTING PERVIOUS AREA TO BE REPLACED W/ NEW IMPERVIOUS AREA	F	350	SQ.FT.
NEW IMPERVIOUS AREA (CREATING &/OR REPLACING)	E + F	2,982	SQ.FT.
EXISTING IMPERVIOUS AREA TO BE REPLACED W/ NEW PERVIOUS AREA	H	1,002	SQ.FT.
NET CHANGE IN IMPERVIOUS AREA THIS AREA IS REQUIRED TO BE DETAINED/RETAINED ON-SITE	F - H	-652	SQ.FT.
PROPOSED PERVIOUS AREA	B - I	2,182	SQ.FT.
PROPOSED IMPERVIOUS AREA* *VERIFY THAT J+K=A	C + I	3,318	SQ.FT.
PROPOSED % IMPERVIOUS	(K/A) X 100	60.3	%

DATE:	12/7/18
JOB NO.:	TS180416
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	dd/mm/yy CITY SUBMITAL
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SHEET NO.	



T SQUARE CONSULTING GROUP, Inc.
 2050 CONDUCE DRIVE, #20
 SAN JOSE, CA 95131-9882
 TEL: (408) 321-9888
 FAX: (408) 321-9887

I hereby certify that the design and drawings were prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of California. I am duly Licensed Professional Engineer No. C-24234.



SY-CHENG TSAI C-24234

GU'S RESIDENCE
SHF ADDITION & RENOVATION
 1036 OAKLAND AVENUE
 MENLO PARK, CA 94025

GRADING & DRAINAGE PLAN

DATE: 12/7/18

JOB NO. TS180416

ISSUE & REVISION

04/mm/yy	DTY	SUBMITAL
06/17/19	DTY	SUBMITAL

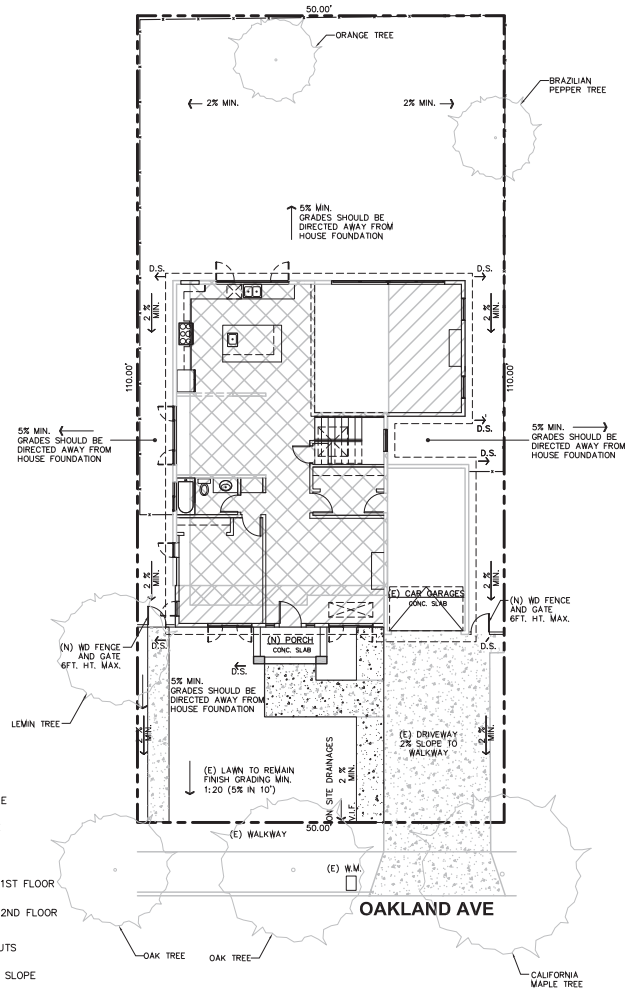
SHEET NO.

C1.0

DRAWN BY:

LEGEND

- PROPERTY LINE
- SETBACK LINE
- ROOF LINE
- (N) ADDITION 1ST FLOOR
- (N) ADDITION 2ND FLOOR
- (N) DOWNSPOUTS
- (N) DRAINAGE SLOPE



GRADING & DRAINAGE PLAN ELEV. REF. NORTH
 SCALE : 1/8" = 1'-0"

NOTES:

1. THIS ELECTRONIC FILE IS SOLELY FOR THE USE OF THE ARCHITECT FOR THE DEVELOPMENT OF HIS/HER ARCHITECTURAL DRAWINGS TO OBTAIN BUILDING PERMITS.
2. THE DELIVERY OF THIS MAP IN AN ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF MY PROFESSIONAL WORK PRODUCT. THE SIGNED PAPER PRINT IS PROVIDED TO THE CLIENT AS AN INSTRUMENT OF SERVICE. IN EVENT THE ELECTRONIC FILE IS ALTERED, THE SIGNED PAPER PRINT MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT SURVEY INFORMATION. RW ENGINEERING, INC. SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE, BY OTHERS, TO THE ELECTRONIC FILE, OR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE.
3. THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY AT THE TIME THE SURVEY WORK WAS COMPLETED.
4. UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND AND OVERHEAD UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2464).
5. ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.
6. BUILDING FOOTPRINTS ARE SHOWN AT GROUND LEVEL.
7. FINISH FLOOR ELEVATION TAKEN AT DOOR THRESHOLD (EXTERIOR).
8. A TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY RW ENGINEERING, INC. OTHER EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.

SITE BENCHMARK:

SET NAIL
ELEVATION=23.90' NAVD 88

BASIS OF BEARINGS:

THE BEARING S72°17'56"E OF THE CENTERLINE OF BAY ROAD BETWEEN FOUND MONUMENTS AS SHOWN ON THAT CERTAIN RECORD OF SURVEY FILED IN VOLUME 45 OF MAPS AT PAGE 66, SAN MATEO COUNTY RECORDS.

REFERENCES:

R1 BELLE HAVEN CITY (18 MAPS 45)

SITE DATA:

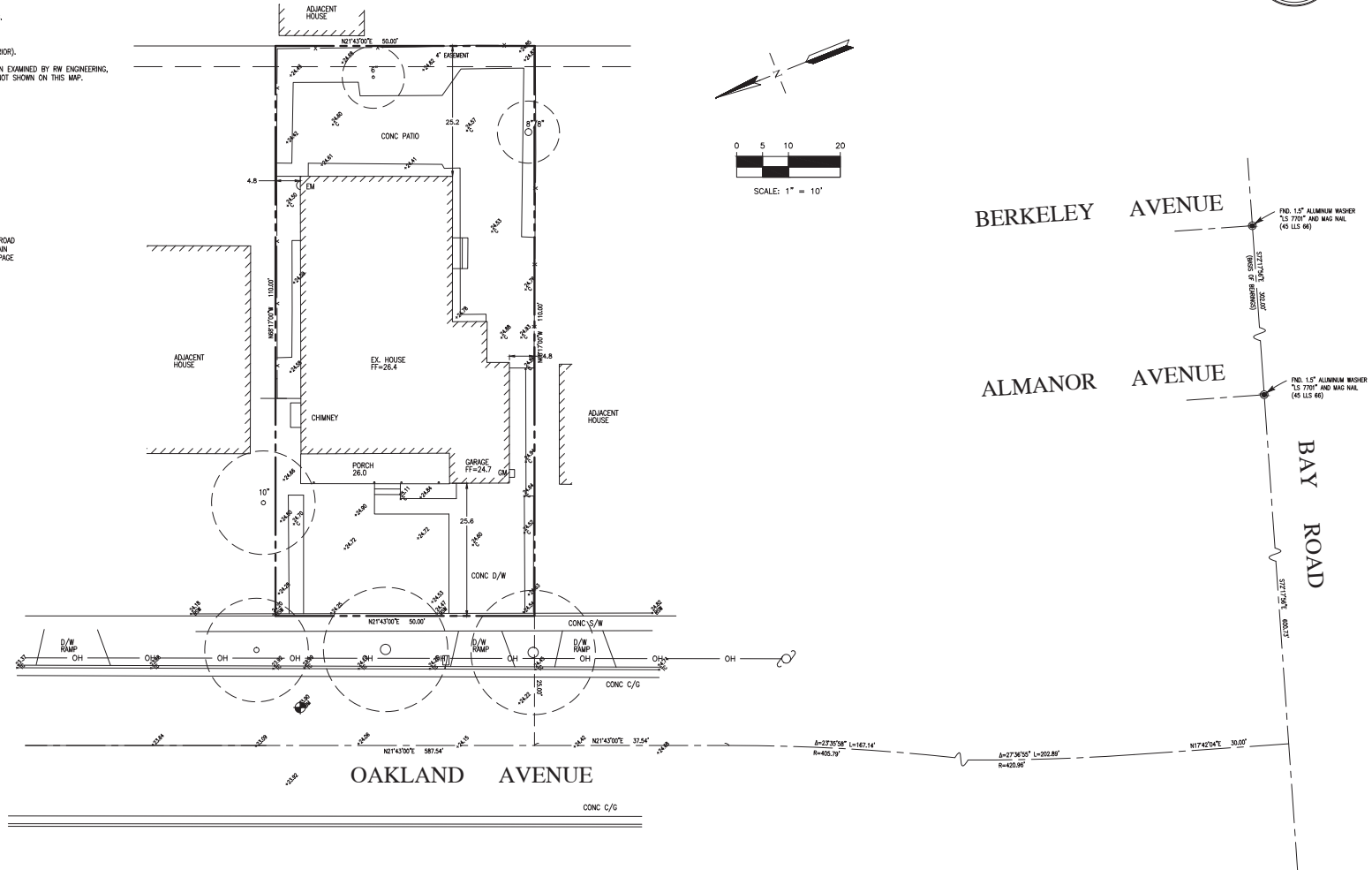
1036 OAKLAND AVENUE
MENLO PARK, CA
APN: 060-042-270
LOT 8 BELLE HAVEN CITY
AREA=5,500 S.F.±

ABBREVIATION

- AD AREA DRAIN
- A.E. ANCHOR EASEMENT
- AC ASPHALT CONCRETE
- BR BRICK
- C/G CURB & GUTTER
- C CONCRETE
- DI DRAIN INLET
- FF FINISH FLOOR GRADE
- FL FLOWLINE
- GM GAS METER
- LG LIP OF GUTTER
- MB MAIL BOX
- P.U.E. PUBLIC UTILITY EASEMENT
- P.S.E. PUBLIC SERVICE EASEMENT
- SMH1 STORM DRAIN MANHOLE
- SSCO SANITARY SEWER CLEANOUT
- SSMH SANITARY SEWER MANHOLE
- S/W SIDEWALK
- TC TOP OF CURB
- TWC TOP OF ROLLED CURB
- W.C.E. WIRE CLEARANCE EASEMENT
- WM WATER METER

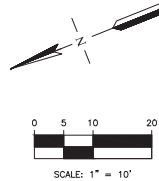
LEGEND

- PROPERTY LINE
- - - CENTERLINE
- SS UTILITY LINE-TYPE AS NOTED
- STREET LIGHT
- PG&E UTILITY BOX-TYPE AS NOTED
- WM/GM WATER/GAS METER
- WV WATER VALVE
- ▤ CURB CATCH BASIN
- FIRE HYDRANT
- MH MANHOLE-TYPE AS NOTED
- CO SANITARY SEWER CLEANOUT
- PP ○ OH POWER POLE W/ OVERHEAD WIRE
- ◆ BENCHMARK
- CONTOUR LINE
- MON FOUND MONUMENT
- 12" TREE-TRUNK DIAMETER IN INCHES SPECIES NOTED WHEN KNOWN
- GUY WIRE



I CERTIFY THAT THIS PARCEL'S BOUNDARY WAS ESTABLISHED BY ME OR UNDER MY SUPERVISION AND IS BASED ON A FIELD SURVEY IN CONFORMANCE WITH THE LAND SURVEYOR'S ACT. ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

ROBERT Y. WANG, LS 8931



NO.	REVISION	DATE	BY

RW ENGINEERING, INC.
CIVIL ENGINEERS • LAND SURVEYORS
505 ALAMANT DRIVE
MENLO PARK, CA 94025-1909
(415) 321-1000
(415) 321-1001
rwengineering@gmail.com

1036 OAKLAND AVENUE
MENLO PARK, CA
SAN MATEO COUNTY
APN: 060-042-270

TOPOGRAPHIC &
BOUNDARY
SURVEY

DATE: 5/16/19
SCALE: AS NOTED
DESIGNED BY: RW
DRAWN BY: RW
SHEET NO.

SU-1
OF 1 SHEETS



T SQUARE CONSULTING GROUP, INC.

2050 Concourse Dr #50
San Jose, CA 95131
Phone : (408) 321-9988
Fax : (408) 321-8887

ARCHITECTURAL PROJECT DEVELOPMENT • PLANNING • MANAGEMENT

July 10, 2019

Planning Department
City of Menlo Park
701 Laurel St,
Menlo Park, Ca 94025

Project: **Single Family Addition**
Project Address: **1036 Oakland Ave**
Subject: **Use Permit Review, Project Description**

Scope of Work:

An existing 1,597 S.F. one-story house with a 268 S.F. one-car attached-garage will undergo an addition of a new 995 S.F. second floor, addition of 334 S.F. and a remodel of the existing 1,194 S.F. first floor. The new proposed single-family-house will result in a 2,523 S.F. two-story house with an attached-garage.

The existing 1,597 S.F. first floor will have a reduction of 403 S.F. in the rear and an addition of 334 S.F. in the side yard resulting in a total of 1,528 S.F. habitable area on the ground floor level. The existing house has a total of 3 bedrooms, 2 bathrooms, a kitchen, dining room, and family room. The proposed house will have a total of 4 bedrooms, 3 bathrooms, a kitchen, dining room, family room, a new living room and new laundry room. The existing garage square footage will remain the same but the height of the garage and entire first floor ceiling will be raised to 9'-0". The top plate at both existing non-conforming walls will be raised by adding a pony wall.

Purpose of the proposal:

The house is located on a substandard lot and is proposing a 2nd story addition of over 50% of the existing floor area.

Architecture style:

The existing house is a ranch style house with low composition roof and a front porch along the entire front facade. The front facade finish consists of horizontal wood siding with the rear and side facades have a stucco finish. The front wood siding will be replaced with a new stucco finish. Wood frame construction method. The house is painted a warm grey color with white trim and a lime green door.

Basis for site layout:

The existing structure has two nonconforming walls that encroach onto the 5'-0" side yard setback lines. One is north facing along the new proposed kitchen and dining room, the other is south-facing along the side of the existing garage. Both nonconforming walls' top plate will be raised by installed a pony-wall so to raise the ceiling to 9'-0" from the existing 8'-0".



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Phone : (408) 321-9988
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ARCHITECTURAL PROJECT DEVELOPMENT • PLANNING • MANAGEMENT

The west-facing covered porch will be demolished and be replaced with a new addition of 161 S.F. An addition of 187 S.F. will be added behind the existing garage. There will be a reduction to the rear of the house of 344 S.F. by removing an unpermitted structure resulting in a larger backyard while compacting the massing of the structure.

Existing and proposed uses:

The existing use of the house is a single-family-house; the proposed use will remain the same.

Outreach to neighboring properties:

The owners have reached out to some neighbors on the street via letter or Nextdoor apps and explained the proposed additions and remodels to the house. They have asked the neighbors if they have any concerns or would like to get a copy of the floor plan and elevation plan but the owners have not heard of any concerns so far.

Please don't hesitate to call the office if you have any questions.

Respectfully,

Sy-Cheng Tsai, AIA, Architect
T Square Consulting Group



STAFF REPORT

Planning Commission

Meeting Date: 7/29/2019

Staff Report Number: 19-054-PC

Public Hearing: Use Permit/Frances Wong/323 Haight Street

Recommendation

Staff recommends that the Planning Commission approve a use permit to construct a new secondary dwelling unit with aesthetic characteristics dissimilar to the main residence on a parcel in the R-1-U (Single Family Urban Residential) district at 323 Haight Street. The recommended actions are included as Attachment A.

Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal.

Background

Site location

The subject property is located on the southwest side of the 300 block of Haight Street, a dead-end street between Laurel Avenue and a wall that adjoins the Interstate 101 Southbound on-ramp. The neighborhood is largely comprised of older, one-story residences constructed in the ranch architectural style, with the exception of one contemporary two-story residence across the street from the subject property. A location map is included as Attachment B.

Analysis

Project description

The applicant is proposing to construct a secondary dwelling unit (SDU) in the rear yard of the property. The unit would be a prefabricated, modular unit with aesthetic characteristics that are dissimilar to the main residence. A data table summarizing parcel and project characteristics is included as Attachment C. The project plans and project description letter are included as Attachments D and E, respectively.

The proposed project would result in an additional dwelling unit on the property. The module would meet the definition of a secondary dwelling unit which provides complete independent living facilities including permanent provisions for eating, sleeping, cooking and sanitation. An existing nonconforming accessory building would be demolished as part of the project. The proposed SDU would be 169 square feet where 640 square feet is allowed, and would only increase the floor area on the lot by nine square feet. The required rear setback for SDUs is typically 10 feet; however, the applicant has provided a notarized letter

of understanding from the neighboring property owner to reduce the rear setback to five feet. The required parking for the SDU would be an uncovered parking space in the existing driveway in tandem with the covered parking space for the main residence, which is a permitted parking configuration. The proposed SDU would be constructed in the rear yard of the main residence and would not be visible from the street.

The proposed SDU would meet all Zoning Ordinance regulations for lot coverage, floor area limit (FAL), daylight plane, height, and parking. Prior to the issuance of a building permit, the applicant would be required to demonstrate compliance with the Mitigation Monitoring and Reporting Program (MMRP) of the Housing Element aimed at reducing greenhouse gas emissions, protecting historical resources, and maintaining suitable air quality (condition 4a), which is a requirement of all SDU proposals.

Design and materials

The existing main residence is a ranch-style home with stucco siding and composite asphalt roofing. The proposed SDU would be contemporary in style with a prefabricated aluminum frame and cement board siding. Windows would be double glazed with aluminum framing. The roof would be a single shed pitch with corrugated galvanized metal roofing material. Although framing and siding materials of the SDU would be different from the main residence, the SDU would be painted to match the color of the main residence. The project plans include examples of designs specific to the manufacturer, KitHaus, to demonstrate the style in which the SDU would be constructed.

Trees and landscaping

The subject property contains one small tree on the left side, and the rear neighbor (332 Grayson Court) has three trees lining the shared property line. An existing six-foot wood fence along the side and rear property lines would be retained. All of these would help limit the potential for views of the SDU and the main residence, both of which are one-story. As such, the aesthetic dissimilarity between the two structures would not be particularly visible to anyone other than residents of the subject property.

Correspondence

Staff has not received any correspondence on the project at this time. However, as noted earlier, the applicant did submit a written acknowledgement from the rear neighbor to permit a five-foot rear setback instead of the standard 10-foot requirement. The applicant also submitted a similar acknowledgement from the left side neighbor regarding the five-foot side setback, although this was not strictly required since that is the standard SDU side setback requirement on this parcel. Although these letters do not address the aesthetic dissimilarity specifically, they do confirm these neighbors' knowledge of the proposal and imply a general comfort with it.

Conclusion

Although the proposed SDU does not have aesthetic characteristics similar to the main residence, staff believes that the placement of the unit in the rear of the property and presence of existing trees and fencing would screen the unit appropriately and minimize the visual impact of the dissimilar architectural styles. The modest size of the proposed SDU would likewise help limit the potential for aesthetic impacts.

The closest neighbors have approved of the proposed setbacks. Staff recommends the Planning Commission approve the proposed project.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Appeal Period

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

Attachments

- A. Recommended Actions
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter

Disclaimer

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

Exhibits to Be Provided at Meeting

None

Report prepared by:
Chris Turner, Assistant Planner

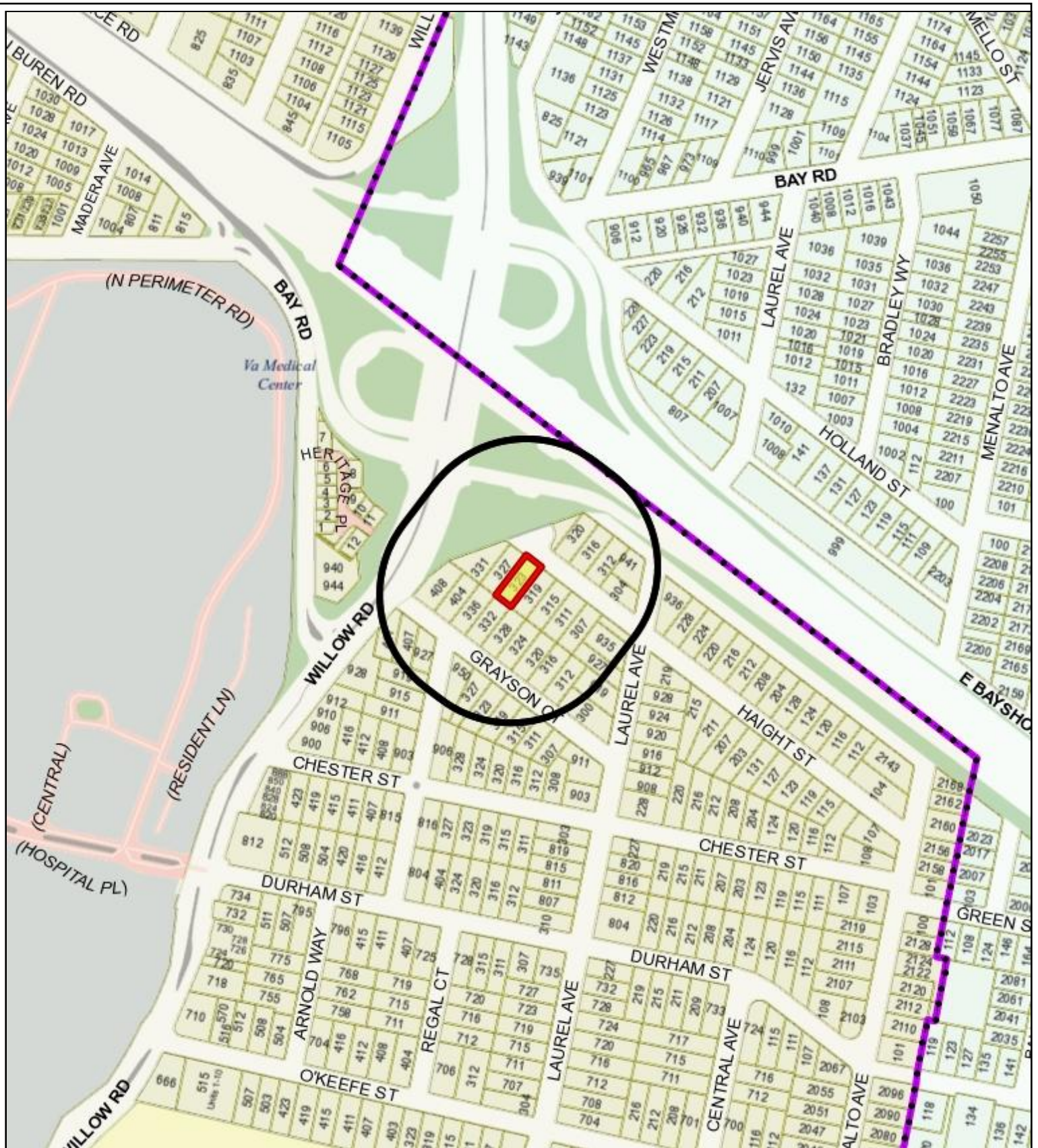
Report reviewed by:
Thomas Rogers, Principal Planner

323 Haight Street – Attachment A: Recommended Actions

LOCATION: 323 Haight Street	PROJECT NUMBER: PLN2019-00025	APPLICANT: Frances Wong	OWNER: Frances Wong
PROPOSAL: Request for a use permit to construct a new detached secondary dwelling unit with aesthetic characteristics different from the main residence in the R-1-U (Single Family Urban Residential) zoning district.			
DECISION ENTITY: Planning Commission	DATE: July 29, 2019	ACTION: TBD	
VOTE: TBD (Barnes, DeCardy, Doran, Kennedy, Riggs, Strehl, Tate)			
ACTION:			
<ol style="list-style-type: none"> 1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, “New Construction or Conversion of Small Structures”) of the current California Environmental Quality Act (CEQA) Guidelines. 2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City. 3. Approve the use permit subject to the following standard conditions: <ol style="list-style-type: none"> a. Development of the project shall be substantially in conformance with the plans prepared by kitHAUS, consisting of 8 plan sheets, dated received July 17, 2019, and approved by the Planning Commission on July 29, 2019, except as modified by the conditions contained herein, subject to review and approval of the Planning Division. b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies’ regulations that are directly applicable to the project. c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project. d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes. e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division. f. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance. 4. Approve the use permit subject to the following project specific condition: <ol style="list-style-type: none"> a. Prior to building permit issuance, the applicant shall submit documentation of compliance with the mitigation monitoring and reporting program (MMRP) established through Resolution No. 6149 associated with the Housing Element Update, General Plan Consistency Update, and Zoning Ordinance Amendments Environmental Assessment 			

323 Haight Street – Attachment A: Recommended Actions

LOCATION: 323 Haight Street	PROJECT NUMBER: PLN2019-00025	APPLICANT: Frances Wong	OWNER: Frances Wong
PROPOSAL: Request for a use permit to construct a new detached secondary dwelling unit with aesthetic characteristics different from the main residence in the R-1-U (Single Family Urban Residential) zoning district.			
DECISION ENTITY: Planning Commission	DATE: July 29, 2019	ACTION: TBD	
VOTE: TBD (Barnes, DeCardy, Doran, Kennedy, Riggs, Strehl, Tate)			
ACTION: prepared for the Housing Element adopted on May 21, 2013, subject to Planning Division review and approval.			



CITY OF MENLO PARK

City of Menlo Park
 Location Map
 323 Haight Street



Scale: 1:4,000

Drawn By: CRT

Checked By: KTP

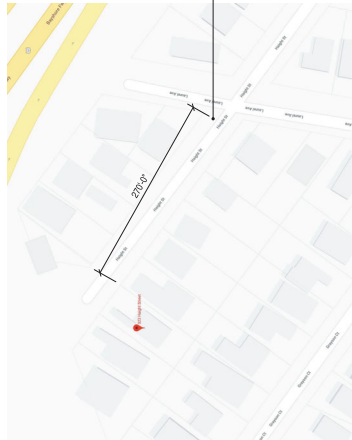
Date: 7/29/2019

Sheet: 1

	PROPOSED PROJECT	EXISTING PROJECT	ZONING ORDINANCE
Lot area	6,501 sf	6,501 sf	7,000 sf min.
Lot width	50.0 ft.	50.0 ft.	65 ft. min.
Lot depth	130 ft.	130 ft.	100 ft. min.
Setbacks (Main Res.)			
Front	28.9 ft.	28.9 ft.	20 ft. min.
Rear	34.9 ft.	34.9 ft.	20 ft. min.
Side (left)	4 ft.	4 ft.	5 ft. min.
Side (right)	10.2 ft.	10.2 ft.	5 ft. min.
Setbacks (SDU)			
Front	112 ft.	n/a ft.	20 ft. min.
Rear	5 ft.	n/a ft.	5 ft. min.
Side (left)	5 ft.	n/a ft.	5 ft. min.
Side (right)	32 ft.	n/a ft.	5 ft. min.
Building coverage	1,924 sf 29.6 %	1,915 sf 29.5 %	2,600 sf max. 40 % max.
FAL (Floor Area Limit)	1,826 sf	1,817 sf	2,800 sf max.
Square footage by floor	1,386 sf/1st 271 sf/garage 98 sf/porches 169 sf/secondary dwelling unit	1,386 sf/1st 271 sf/garage 98 sf/porches 160 sf/accessory building	
Square footage of buildings	1,924 sf	1,915 sf	
Building height (Main Res.)	14 ft.	14 ft.	28 ft. max.
Building height (SDU)	9.9 ft.	n/a ft.	17 ft. max.
Parking	1 covered + 1 uncovered tandem (SDU)	1 covered	1 covered/1 uncovered
Note: Areas shown highlighted indicate a nonconforming or substandard situation.			

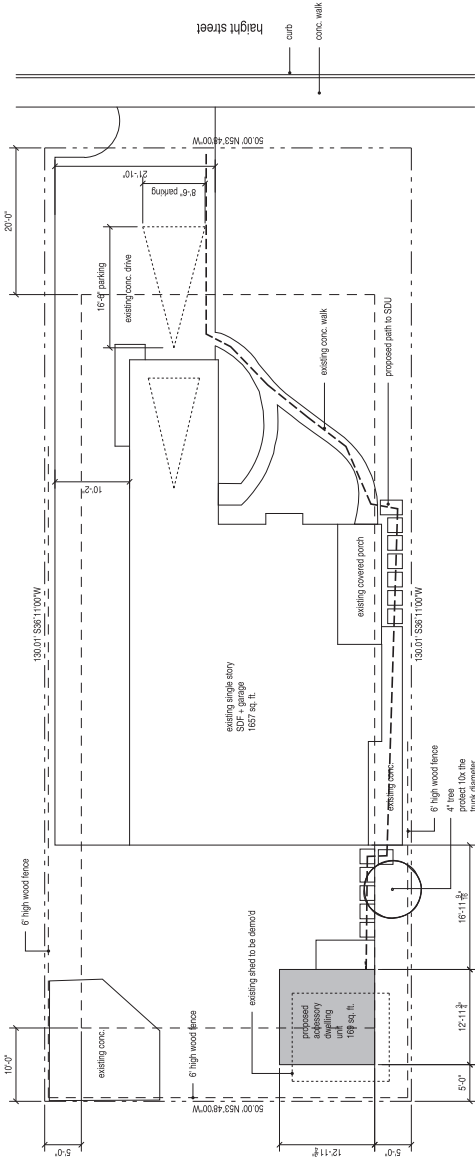
Trees	Heritage trees	0	Non-Heritage trees	1	New Trees	0
	Heritage trees proposed for removal	0	Non-Heritage trees proposed for removal	0	Total Number of Trees	1

ATTACHMENT D



1 HYDRANT LOCATION

scales: none



2 SITE PLAN

scales: 1" = 8'

10. QUALITY MITIGATION MEASURES

- i. Water all active construction areas at least twice daily, or as often as needed to control dust emissions. Watering should be sufficient to reduce dust emissions to acceptable levels.
- ii. Place a minimum 1/4" thick wetting agent on all active construction areas at least twice daily, or as often as needed to control dust emissions. Watering should be sufficient to reduce dust emissions to acceptable levels.
- iii. Cover all trucks hauling soil, sand, and other loose materials or require all trucks to maintain at least two feet of freeboard (i.e. the minimum required space between the top of the load and the top of the trailer).
- iv. Place a minimum 1/4" thick wetting agent on all active construction areas at least twice daily, or as often as needed, with water sweepers on all unpaved access roads, parking areas, and staging areas at construction sites.
- v. Sweep daily (with water sweepers using reclaimed water if possible), or as often as needed, with water sweepers on all unpaved access roads, parking areas, and staging areas at construction sites.
- vi. Store all construction materials in a way that prevents them from blowing away or creating dust.
- vii. Limit vehicle traffic speeds on unpaved roads to 15 mph.
- viii. Replant vegetation in disturbed areas as quickly as possible.
- ix. Install siltage or other erosion control measures to prevent soil runoff from public roadways.

11. ENCLOSURE IMPROVEMENTS

- i. All enclosure features along the property frontage must be repaired in kind. All fence improvement work shall be in accordance with the latest version of the City Standard Details.*
- ii. No fence improvements which was damaged as a result of construction will be required to be replaced. An enclosure permit from the Engineering Division is required prior to any construction activities in the public right of way.

12. FLOOD ZONE INFORMATION

- i. FEMA Flood Elevation: 25.6'
- ii. Design Flood Elevation: 26.6'
- iii. Flood Hazard Category: X1
- iv. Flood Hazard Category: X1
- v. Flood Hazard Category: X1

Effective January 8th, 2017, all new construction in the floodzone will be subject to a 12" freeboard above Base Flood Elevation per the latest building code requirements.

FEMA

- i. The project is built in compliance with the City's Flood Damage Prevention Ordinance, Chapter 12, Section 42.
- ii. All materials below DFE shall be resistant to flood damage. (i.e., concrete, Reinwood or pressure treated Douglas Fir).
- iii. The bottom elevation of all appliances and utilities (including meters, tanks, etc.) shall be at or above DFE.
- iv. Storm runoff resulting from the project's grading and drainage activities shall not encroach onto any neighboring lot. Runoff must be contained on-site.
- v. Flood vents shall be installed for all non-habitable enclosures below the DFE (i.e. crawlspaces, garage, etc.) at a rate of 1 square inch of net open area per square foot of enclosure. Refer to the engineering plates herein for vent locations and calculations.
- vi. Flood vents shall be installed for all non-habitable enclosures below the DFE (i.e. crawlspaces, garage, etc.) at a rate of 1 square inch of net open area per square foot of enclosure. Refer to the engineering plates herein for vent locations and calculations.
- vii. The site owner must include the following SIGNED AND STAMPED statement of compliance to the Engineering Department: "I, _____, submit this site plan and the plans attached hereto to the City of San Francisco in compliance with the City's Flood Damage Prevention Ordinance (Chapter 12, Section 42)."
- viii. The project is built in compliance with the City's Flood Damage Prevention Ordinance, Chapter 12, Section 42.
- ix. All materials below DFE shall be resistant to flood damage. (i.e., concrete, Reinwood or pressure treated Douglas Fir).
- x. Storm runoff resulting from the project's grading and drainage activities shall not encroach onto any neighboring lot. Runoff must be contained on-site.
- xi. Flood vents shall be installed for all non-habitable enclosures below the DFE (i.e. crawlspaces, garage, etc.) at a rate of 1 square inch of net open area per square foot of enclosure. Refer to the engineering plates herein for vent locations and calculations.
- xii. The site owner must include the following SIGNED AND STAMPED statement of compliance to the Engineering Department: "I, _____, submit this site plan and the plans attached hereto to the City of San Francisco in compliance with the City's Flood Damage Prevention Ordinance (Chapter 12, Section 42)."

Notes:

- i. Both holes shall be 1116" oversized. Structural observation is required per Sec 1709 for (clear walls in excess of 300 ppi/holdown anchors)(depth>48").
- ii. Specify continuous inspection for:
 - a. Concrete greater than 2500 psi.
 - b. Installation of concrete anchors.

Contract Info

OWNER:
Frances Wong
323 Haight Street
North Park, CA 94225

ADDRESS:
8826 Glenholme Blvd.
San Valley, CA 91332
kithaus.com
with.kithaus.com

STRUCTURAL ENGINEER:
Michael T. Wei, LLU
97 East Live Oak Ave.
Arcadia, CA 91006
626.272.4336 phone
626.272.4336 fax
mtd@mta.com

Project Data

Address: 323 Haight Street
APN: 082-215-030 Lot 30
RTU: RTU
Type VB
Square footage of entire parcel: 6,500 sq. ft.
Existing SFD coverage: 1,657 sq. ft.
Existing porch coverage: 98 sq. ft.
Existing total coverage: 1,755 sq. ft.
Proposed total building coverage: 1,824 sq. ft.
Existing impervious area: 2,865 sq. ft.
Proposed impervious area: 1,574 sq. ft.
Number of floors existing: 1
Number of floors proposed: 1
Square footage of all existing and proposed porches, patios and decks covered or uncovered: 3,033 sq. ft.
Flood Zone designation: Yes

Code Review Information

Applicable Codes:
All work done under the contract shall comply with the provisions of the specifications, drawings and construction criteria of the Ordinance, and shall conform to all applicable codes of the City of San Francisco, including but not limited to the following:
2016 California Building Code (CBC)
2016 California Electrical Code (CEC)
2016 California Mechanical Code (CMC)
2016 California Plumbing Code (CPC)
2016 California Fire Code (FC)
2016 California Energy Efficiency Standards

Code Review Information

All design and plans are based and shall comply with the following codes:
2016 California Building Code (CBC)
2016 California Electrical Code (CEC)
2016 California Mechanical Code (CMC)
2016 California Plumbing Code (CPC)
2016 California Fire Code (FC)
2016 California Energy Efficiency Standards

Sheet Index

A0.0	General Notes
A0.1	Survey
A0.2	Area Plan
A1.0	Plan
A1.1	Plan
A2.0	Diagrams
A3.0	Diagrams
A3.1	Notes
A3.2	Notes
A3.3	Diagrams
A3.4	Diagrams

Configuration

K3.12.8
revision

Revision

10.29.18
sheet

Project

WONG
323 HAIGHT
MINLO PARK
CA 94025

Client/Address

323 HAIGHT
MINLO PARK
CA 94025

Prepared by

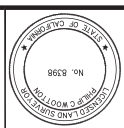
KITHAUS
9524 GLENHOLMS
SAN VALLEY
310.682.7137
kithaus.com

GENERAL NOTES

KITHAUS

MARK	DATE	REVISIONS	BY

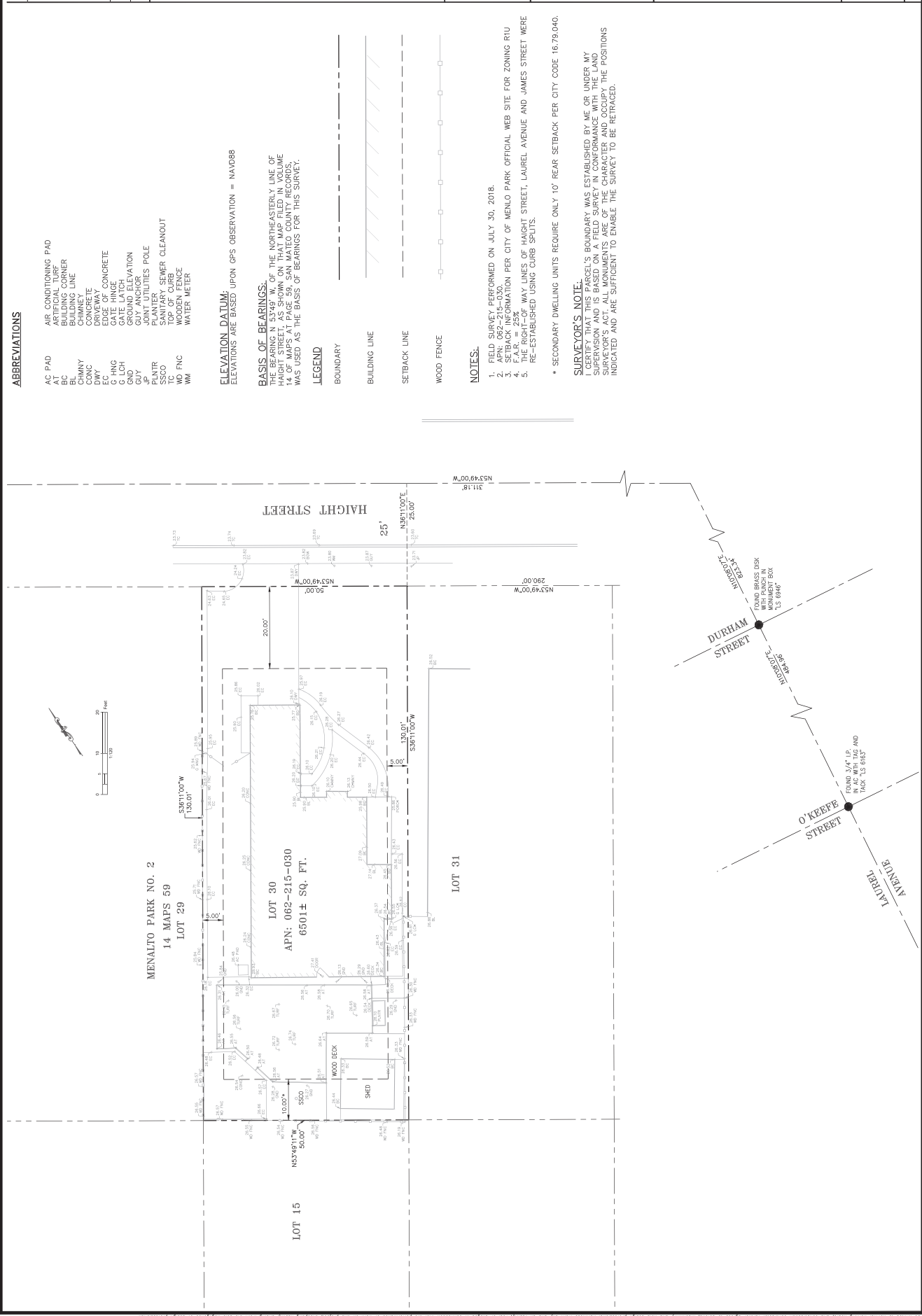
California
Menlo Park
323 Haight Street
TOPOGRAPHIC SURVEY



DATE: 06/19/2019
 SCALE: 1"=10'
 DRAWN BY: PCW
 DESIGNED BY: RYM
 CHECKED BY: RYM
 COPYRIGHT 2018, CARROLL ENGINEERING
 ALL RIGHTS RESERVED

ARBOL ENGINEERING
engineers and surveyors
 1101 S. WINCHESTER BLVD.
 SUITE 100
 SAN JOSE, CA 95128
 TEL: 408-251-0599
 FAX: 408-251-0598
 www.arbol-engineering.com

SHEET
A0.1
 JOB NO. 2532



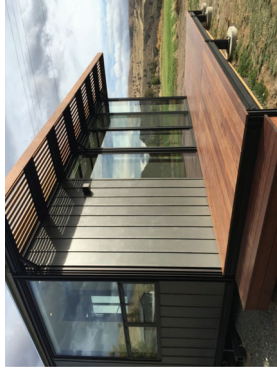
UNLICENSED CHANGES & USES: The engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or use of these plans. All changes to the plans must be in writing and must be approved by the engineer of these plans.



kiHAUS k7.12.8 at a modern house in Encinitas CA with matching corrugated steel finish



kiHAUS k4.10.8 at a Neutra house in Palos Verdes CA with smooth cement board finish to match existing smooth trowel stucco finish



kiHAUS k6.12.10 on the Dechutes River in Oregon with battens on board finish

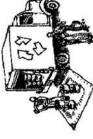


sheet

Water Pollution Prevention Program

San Mateo Countywide
Green Water Healthy Community

Materials & Waste Management



Non-hazardous Materials

- Use the following practices for concrete, asphalt, and other construction material:
- Store materials in a covered or enclosed area to prevent erosion.
- Use the following practices for soil, sand, and other construction material:
- Store materials in a covered or enclosed area to prevent erosion.

Hazardous Materials

- Store hazardous materials in a covered or enclosed area to prevent erosion.
- Use the following practices for hazardous materials:
- Store hazardous materials in a covered or enclosed area to prevent erosion.

Construction Materials and Products

- Store construction materials and products in a covered or enclosed area to prevent erosion.
- Use the following practices for construction materials and products:
- Store construction materials and products in a covered or enclosed area to prevent erosion.

Construction Materials and Products (continued)

- Store construction materials and products in a covered or enclosed area to prevent erosion.
- Use the following practices for construction materials and products:
- Store construction materials and products in a covered or enclosed area to prevent erosion.

Equipment Management & Spill Control



Equipment Management

- Use the following practices for equipment management:
- Inspect equipment regularly to ensure proper operation.

Spill Control

- Use the following practices for spill control:
- Contain spills immediately to prevent environmental damage.

Earthmoving



Earthmoving

- Use the following practices for earthmoving:
- Minimize soil erosion by using erosion control measures.

Paving/Asphalt Work



Paving/Asphalt Work

- Use the following practices for paving/asphalt work:
- Use the following practices for paving/asphalt work:

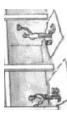
Concrete, Cement & Mortar Application



Concrete, Cement & Mortar Application

- Use the following practices for concrete, cement, and mortar application:
- Use the following practices for concrete, cement, and mortar application:

Painting & Paint Removal



Painting & Paint Removal

- Use the following practices for painting and paint removal:
- Use the following practices for painting and paint removal:

Deactivating



Deactivating

- Use the following practices for deactivating:
- Use the following practices for deactivating:

Landscaping



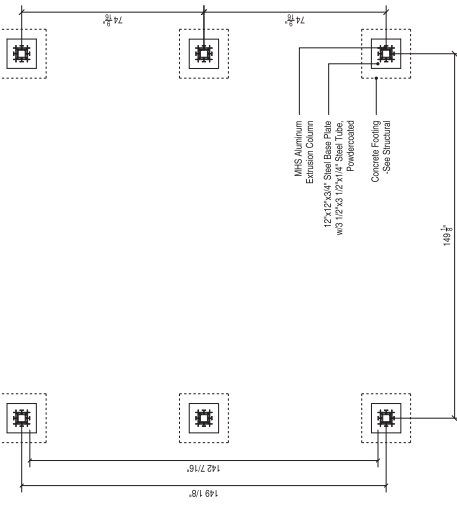
Landscaping

- Use the following practices for landscaping:
- Use the following practices for landscaping:

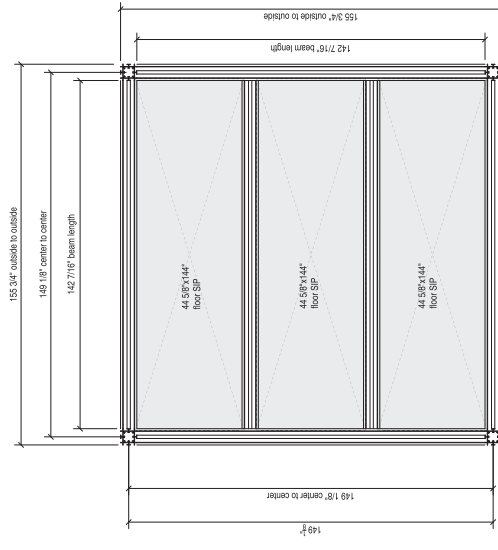
Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

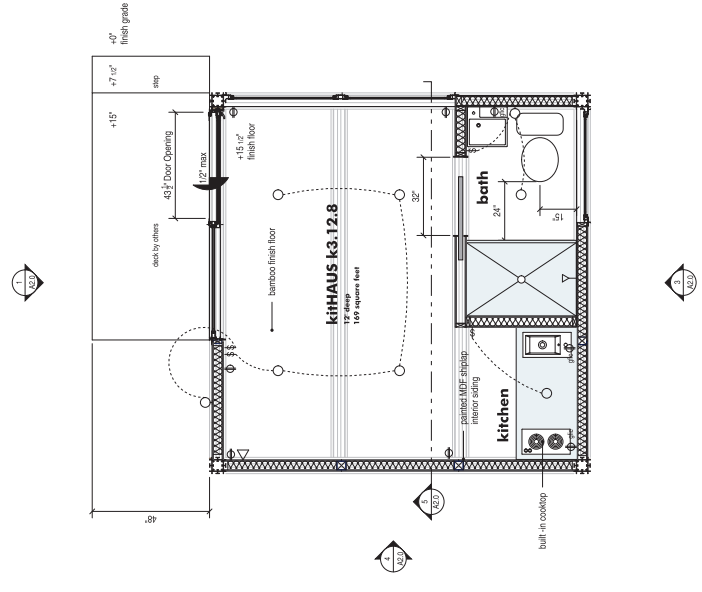
Storm drain polluters may be liable for fines of up to \$10,000 per day!



3 BASE PLAN
scale 1" = 2'



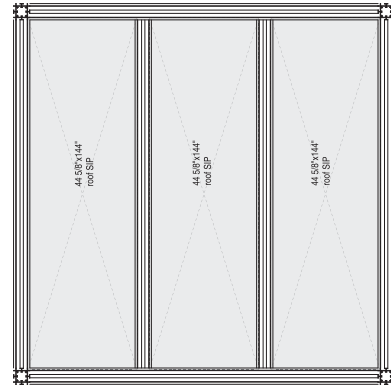
2 FLOOR FRAMING PLAN
scale 1" = 2'



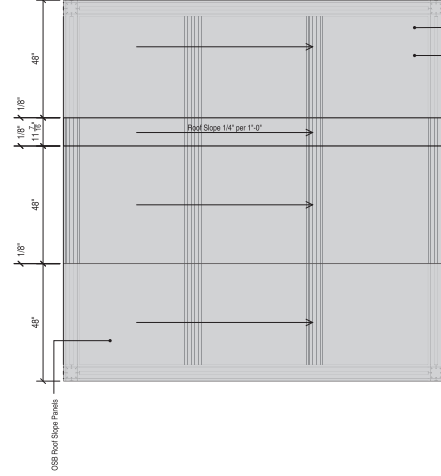
1 FINISH FLOOR PLAN
scale 1" = 2'

- Electrical Symbols
- ⊕ Outlet
 - ⊖ Switch w/hammer
 - ⊕ Telephone/Data Port
 - ⊕ Cig. mounted LED light fixture
 - ⊕ Wall Mounted LED Light Fixture
 - ⊕ Cig. mounted smoke detector



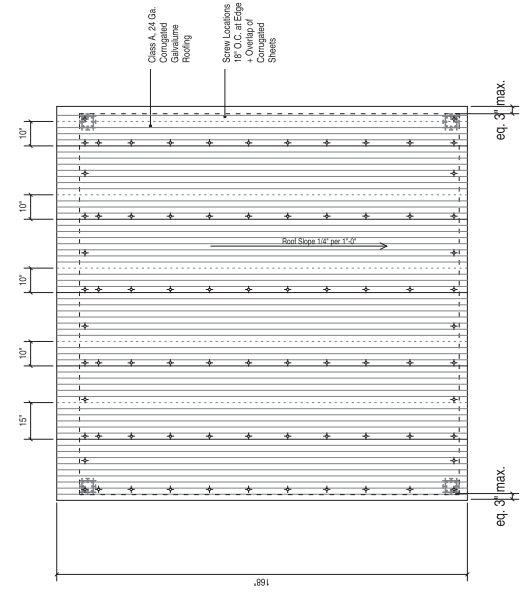


3 CEILING FRAMING PLAN scale 1" = 2'



Screw Location for Roof Slope Panels
 Note: Panels are attached to joists for
 Note: Different Screw Lengths for
 Screws into Panels and Screws
 into Wood Strips Attached to
 Panels
 Place Waterproofing Over
 Roof Panels According
 to Mfr. Instructions
 Flashing Around Stopped Sides
 Underneath Front and Back
 Flashing Screw on Top Surface
 Only at 24" O.C.

2 ROOF SLOPE PLAN scale 1" = 2'



1 ROOF FINISH PLAN scale 1" = 2'



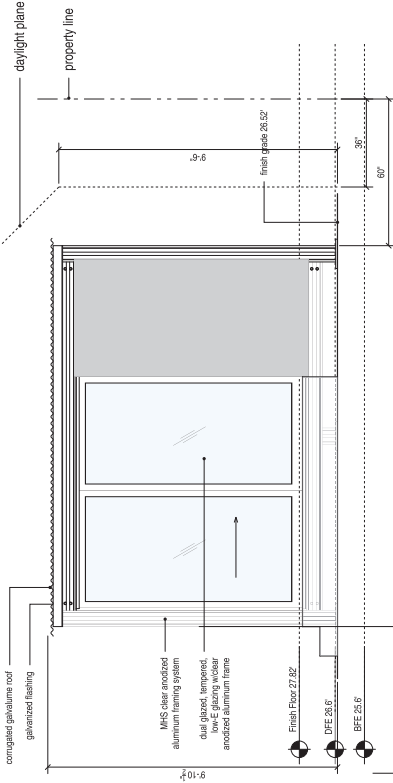
sheet

prepared by
KITHAUS
9224 GLENDALES
SUN VALLEY
310.882.7137
kithaus.com

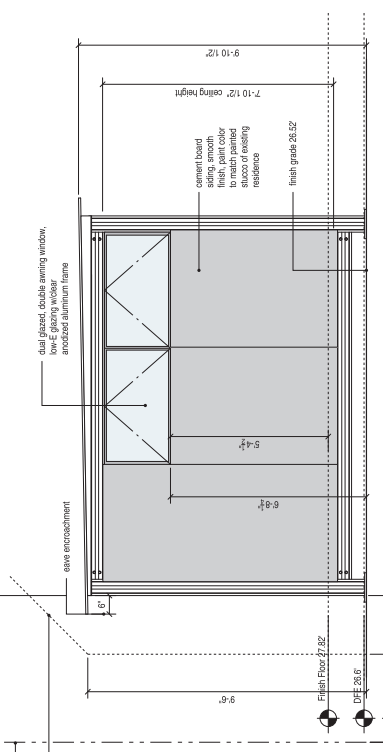
project
WONG
 project address
323 MINGHT
MINLO PARK
CA 94025

configuration
K3.12.8
 revision
10.29.18

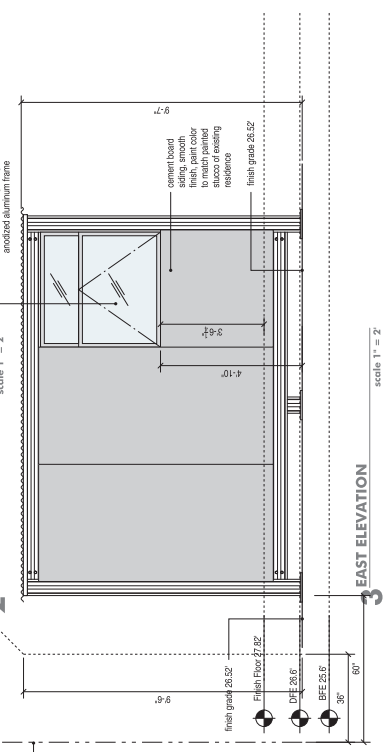
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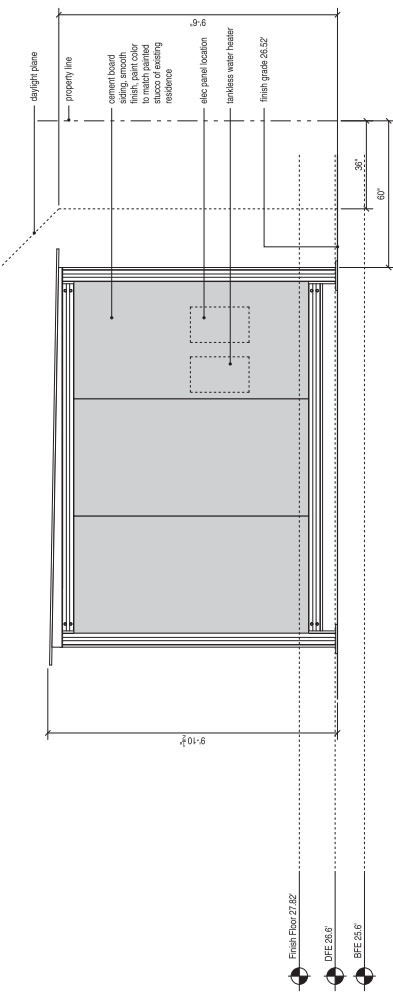
1 WEST ELEVATION
 scale 1" = 2'



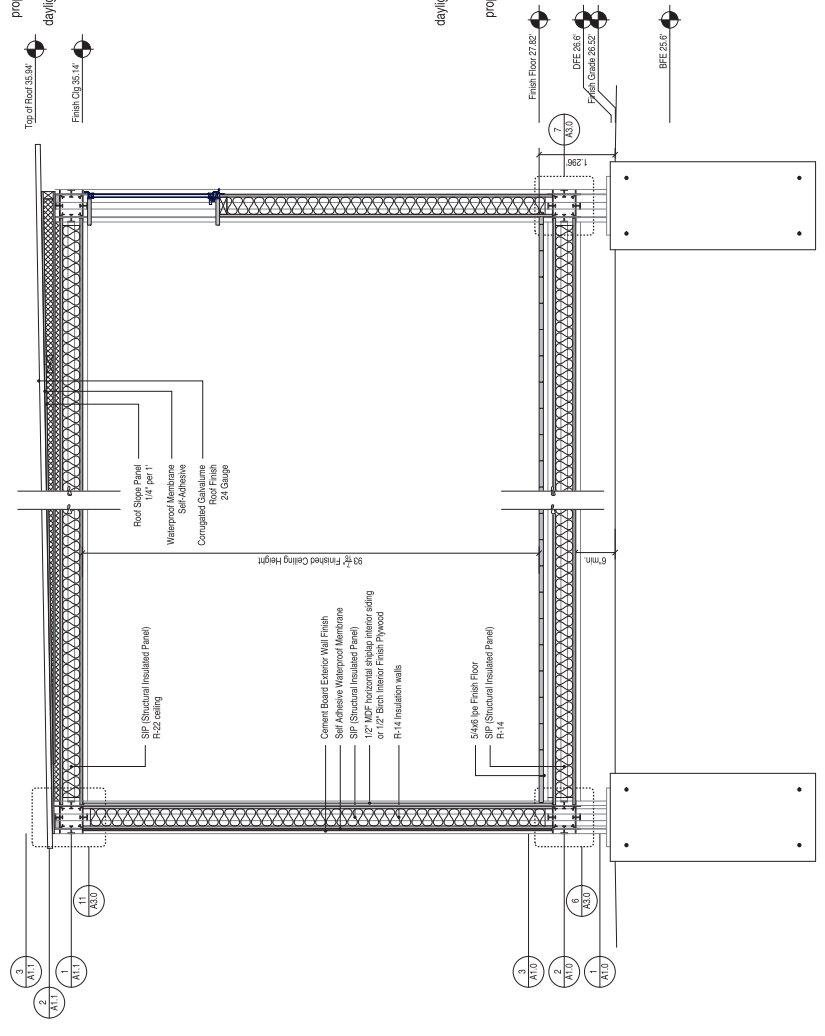
2 NORTH ELEVATION
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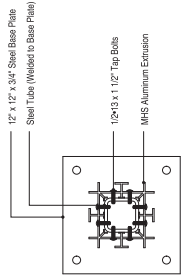
3 EAST ELEVATION
 scale 1" = 2'



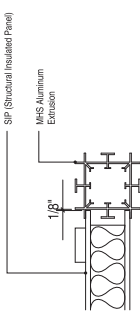
4 SOUTH ELEVATION
 scale 1" = 2'



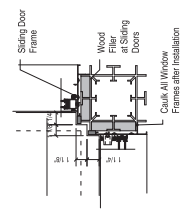
5 SECTION
 scale 1" = 1'



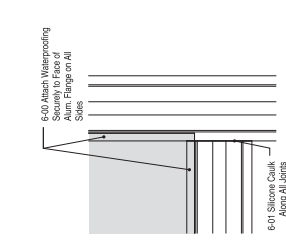
1 BASE BOLT DETAIL



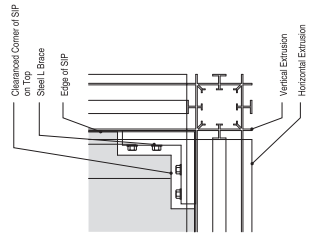
4 SIP TO EXTRUSION TOLERANCE



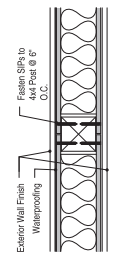
8 CORNER DETAIL PLAN
scale 1" = 6"



13 WATERPROOFING PLAN
scale 1" = 6"

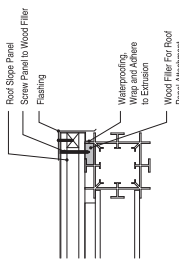


5 CORNER FLOOR DETAIL
scale 1" = 6"

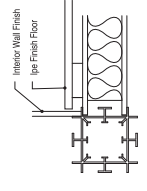


9 SIP TO SIP CONNECTION
scale 1" = 6"

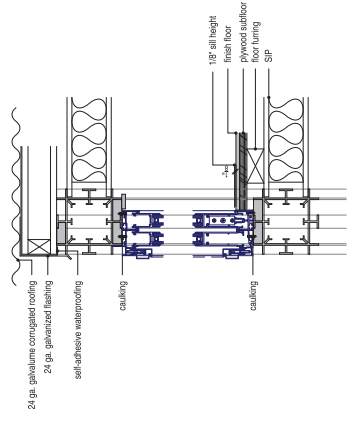
14 WATERPROOFING DETAIL
scale 1" = 6"



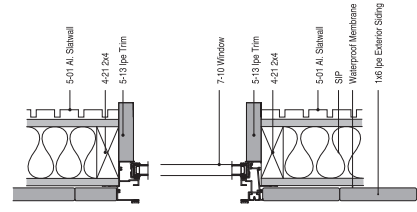
11 ROOF WATERPROOFING DETAIL
scale 1" = 6"



6 FLOOR SECTION @ WALL
scale 1" = 6"

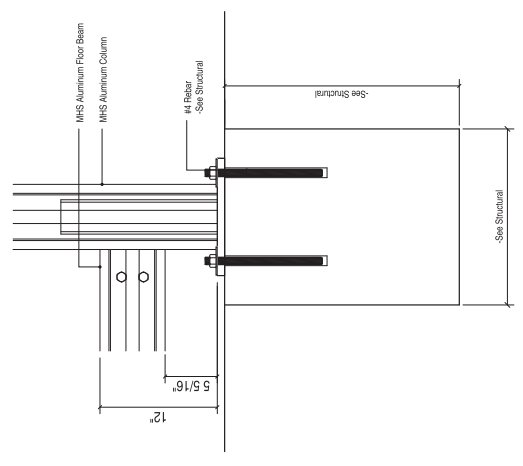


7 SLIDING DOOR @ HEAD + SILL
scale 1" = 6"



15 WINDOW DETAIL
scale 1" = 4"

2 INTERNAL CLAMP DETAIL



3 BASE PLATES @ FOUNDATION

sheet

DETAILS

prepared by
KIHHAUS
9526 GLENHOAKS
SUN VALLEY
CA 94134
310.489.7137
kihhaus.com

project
WONG

project address
**323 MIGHT
MINLO PARK
CA 94025**

configuration
k3.12.8

revision
10.29.18

sheet
A3.0

February 20, 2019

For: Menlo Park Planning
Menlo Park, CA

From: Frances & Jimmy Wong
323 Haight Street
Menlo Park, CA 94025
510.862.4845 Cell
Frances.wong@comcast.net

Re: SDU Use Permit Submission

To Whom It May Concern:

This is a written description of the proposed project at 323 Haight Street, Menlo Park, CA 94025.

I am submitting a request for a Use Permit to allow the building of a Secondary Dwelling Unit in the backyard of 323 Haight Street, Menlo Park, CA 94025 behind the main/primary dwelling unit. Unit will be 169sq ft and will be a prefab unit(K3 by KitHaus) in the place of a current temporary shed of the same footprint.

Use Permit is being requested at the recommendation of the Menlo Park Planning Division due to the prefab unit being aesthetically different from the main house. Current shed and future secondary dwelling unit is/will not be visible from the street and is set behind the main house.

In addition, adjoining neighbor owners have signed a notarized acknowledgement and acceptance of the new unit replacing the current shed and the 5 feet setback from the fences.

Thank You,

Frances & Jimmy Wong
323 Haight Street
Menlo Park, CA 94025



STAFF REPORT

Planning Commission

Meeting Date: 7/29/2019

Staff Report Number: 19-055-PC

Public Hearing: Architectural Control and Major
Subdivision/Ranjeet Pancholy/115 El Camino Real

Recommendation

Staff recommends that the Planning Commission review and provide a recommendation that the City Council make the necessary findings and approve the proposed project to demolish an existing two-story hotel and construct a new mixed-use development consisting of two commercial condominiums for retail, personal service, or non-medical office uses on the first floor and four residential condominiums on the second and third floors in the SP-ECR/D (El Camino Real/Downtown Specific Plan) zoning district, at 115 El Camino Real. The Planning Commission should provide recommendations to the City Council on the following resolution for the entitlements for the proposed project (Attachment A):

1. Architectural Control to demolish an existing two-story hotel and construct a new mixed-use development consisting of two commercial condominiums on the first floor and four residential condominiums on the second and third floors in the SP-ECR/D (El Camino Real/Downtown Specific Plan) zoning district; and
2. A major subdivision to create two commercial condominiums on the first floor and four residential condominiums on the second and third floors.

Policy Issues

The proposed project requires the Planning Commission and City Council to consider the merits of the project. The Commission and Council will need to consider architectural control and subdivision map findings. The Planning Commission is a recommending body on the policy issues, which are discussed in greater detail throughout the staff report. The project qualifies as a residential project under the provisions of the Housing Accountability Act, in that its square footage is over two-thirds residential in nature.

Background

Site location

The project site is located at 115 El Camino Real, at the corner of Harvard Avenue, on the edge of the Allied Arts neighborhood. At the rear, the site adjoins Alto Lane, a narrow public service road. The subject parcel is currently occupied by the Stanford Inn.

The other properties along the west side of El Camino Real and the parcels on the opposite side of Alto Lane are also part of the SP-ECR/D district and the ECR SW (El Camino Real South-West) sub-district. These properties are occupied by a variety of commercial uses, including offices, as well as multi-family residences. The Stanford Park Hotel and the Middle Plaza at 500 El Camino Real mixed-use project site

are located on the opposite side of El Camino Real. These parcels are part of the SP-ECR/D district and the ECR SE (El Camino Real South-East) sub-district.

Farther down Harvard Avenue, parcels are located in the R-2 (Low Density Apartment) zoning district and are occupied by one and two-story single-family residences and duplex/multi-unit developments. A location map is included as Attachment B.

Analysis

Previous Planning Commission review

The Planning Commission held a study session on a previous design of the project on May 8, 2017. The staff report and minutes are available via hyperlink at Attachments C and D. The previous design included the same programmatic layout with commercial uses and covered parking on the first floor and four residential units on the second and third floors. The design featured a modern aesthetic, with color terracotta panels along the El Camino Real and Harvard Avenue frontages and horizontal lap siding, stucco, and porcelain stone in a variety of neutral colors along the other building walls, which were less detailed than the walls along the El Camino Real and Harvard frontages. The Planning Commission provided the following feedback on the previous design:

- General support for the proposed uses and basic site layout (parking in the back, mass at front);
- Significant concern with quality and interaction of materials;
- Concern with the height and prominence of the Harvard Avenue stair/elevator tower; and,
- Encouragement to look at other designs in the area (Station 1300, Middle Plaza, 389 El Camino Real), for how they use more traditional styles in modern massings.

Since the study session, the property owners have hired a new architect, and although the basic layout is the same, the overall proportions and balance of the design have improved. The overall design and materials are discussed in further detail in a following section, although a few of the key changes relative to the previous design are noted here. For example, the prominence of the stair tower has been reduced and made more proportional to the rest of the structure, and the proposed El Camino Real commercial space entrances have been relocated to the recessed areas. The main materials would now be smooth texture stucco walls in off-white and metal windows, frames, wall panels and perforated metal screens in bronze. Natural color vertical wood siding and clear glazing would round out the material and color palette, providing a more cohesive design.

Project description

The applicant is proposing to demolish the existing two-story, 13-room Stanford Inn and construct a new three-story, mixed-use building. The applicant's project plans are included as Attachment E and the applicant's project description letter is included as Attachment F. A data table summarizing the parcel and project attributes is included as Attachment G. The proposal includes two small retail/personal service/non-medical office suites facing El Camino Real with parking behind the commercial suites. A trash room would also be located on the first floor, on the north side of the building along the Alto Lane frontage. Three residential units, each two or three bedrooms in size and each with a large terrace, would be located on the second floor. On the third floor, set back from the lower floors, would be a single, four-

bedroom, penthouse-style unit with terraces at all sides.

The proposal would meet the Specific Plan's Base level standards, which were established to achieve inherent public benefits, such as the redevelopment of underutilized properties, the creation of more vitality and activity, and the promotion of healthy living and sustainability. The applicant is proposing a FAR (floor area ratio) of 1.1, which is the maximum permitted base FAR for the ECR SW sub-district. The FAR has been calculated per the definition of Gross Floor Area, which includes all levels of a structure, with exemptions for covered parking and certain non-usable/non-occupiable areas. The calculation plans currently require a few minor clarifications regarding exclusion areas, which would be required to be addressed with the building permit submittal (condition 5g).

The applicant is proposing a subdivision to create four residential condominium units and two commercial condominium units. Since the proposal includes more than five condominium units, a major subdivision map is needed, and the City Council is the final hearing body for the proposal. The proposal does not meet the thresholds of five residential units or 10,000 square feet of commercial space that would trigger Below Market Rate (BMR) Housing requirements. As specified by the Specific Plan, the development would be required to achieve LEED Silver certification (condition 5b).

The building would have flat rooflines with parapets at two-story portions of the building volume and a mix of parapets and projecting eaves (up to four feet) at the third level of the building volume. The building would have a rectangular, stepped massing that would appear two-stories in height near the rear of the property facing Alto Lane and three-stories but with massing offsets facing El Camino Real. The maximum building height from existing grade to the top of the flat roof would be 38 feet, plus four-foot parapets at the stairs and elevators. The parapets would provide screening for the proposed mechanical equipment. If the project is approved by the City Council, the building permit plan sets would be carefully reviewed to ensure there are no gaps in the screening and no roof mounted mechanical equipment would be visible from a publicly accessible space. The project may also need to be slightly fine-tuned at the building permit stage to make sure the roof surface of the flat roof does not exceed 38 feet in height as the plans suggest the roof surface may be closer to 38.5 feet. The roof structure, however, is shown at two feet thick on the section drawings, so there may be adequate dimension to keep the roof surface at or below 38 feet, or if necessary, the second or third floor's ceiling heights could be slightly reduced. Recommended condition of approval 5g would confirm these minor height-related issues prior to building permit issuance.

Design and Materials

The building's architectural character would be modern with a stepped and cluster massing appearance. The heavier stucco forms with deep set windows and simple detailing would lend solidity to the forms at the lower level and contrast with the perforated metal screens and metal frames on the lower floors, as well as the wood materials and overhanging roof edges of the third floor. The proposed modern architecture is not a sleek modern or International Style based; rather, it presents heavy carved masses with deep shadow lines and contrasting these heavy masses with lighter zones of materials and added pergola like frames. The project architect references the architects Irving Gill and Mark Mack for influencing the building architecture and describes the design as emphasizing mass on the first two floors with a series of "floating" terraces and pavilions above.

The proposal would feature a white cubic stucco anchor at the Harvard Avenue/El Camino Real street

corner, carved out at street level to accentuate the mass of the object while allowing glazing and a perforated metal screen at street level. A similar white stucco mass would be presented at the Harvard Avenue/Alto Lane corner to create a similar solid anchor effect, and white stucco is also proposed for the interior side of building, most noticeably as seen from southbound El Camino Real at the secondary stair tower.

Secondary concepts include the two-story metal frame that would create a layer defining the commercial spaces on the first floor of the northeast building corner and the deck to the unit above. The proposed frame wraps the interior side wall of the building so that the side wall is not treated like a blank party wall. Similar metal frame details are used at the garage entry, second floor trellises, and similar locations. Perforated metal screen/sunshade floating outboard of windows and the elevator tower would relate to the metal frames. These concepts would be complemented by the thin horizontal projections at the entry and garage and at the roofline of the penthouse third floor.

The main materials would be smooth texture stucco walls in off-white and metal windows, frames, wall panels and perforated metal screens in bronze. Natural color vertical wood siding and clear glazing would round out the material and color palette.

Key detailing elements would include:

- The decorative pattern of the perforated metal screens. The example in the plans shows a vertical irregular grid pattern, more open than solid;
- The one-foot thick stucco walls with deep set windows, which would provide deep shadows and embellish the perception of wall thickness; and
- The parapet and guardrail detailing of the stucco walls, which shows no metal flashing so that the stucco form is visually pure.

Overall, the design's eclectic modern presentation would seem to fit well with adjacent structures that vary in style and scale from smaller, modern, stone-clad, flat roof offices to larger Spanish Revival buildings. The scale of the building would fit its context with the third floor differentiated well from the lower two floors, and the stucco volumes massing is strong. Additionally, materials are kept simple with textural and color contrast, while the detailing would work well with both the materials and the massing.

Window locations and proportions would also support the massing with square and narrow vertical slot windows used effectively at stucco walls and large zones of glazing at the commercial spaces. There also would be a few offsets and a single projecting bay to articulate the form. These elements would be sufficient for massing articulation and focal points, but not so many that the basic form is undermined.

Parking and Circulation

The project would provide 14 total parking spaces, of which 12 would be in the first-floor gated garage and two would be parallel spaces located along the rear wall of the structure along the Alto Lane frontage. The Specific Plan requires 1.85 parking spaces per residential unit in this area, meaning 7.4 parking spaces are required for the four residential units. The parking for the commercial component is provided at 4 spaces per 1,000 square feet of commercial space, resulting in a requirement of 6.17 parking spaces,

which is adequate for retail, personal service or non-medical office uses. The total parking requirement would therefore be 13.57 spaces, which is rounded up to 14. The partial sharing of parking between uses (because of the fractional requirements) is encouraged throughout the Specific Plan, and is permitted in cases where parking spaces are not gated or otherwise restricted by use. Staff will work with the applicant prior to the City Council meeting to ensure any spaces dedicated in the CC&Rs (Codes, Covenants and Restrictions) would allow for adequate shared parking for customers and employees of the commercial spaces. If the applicant chooses to assign two parking spaces per residential unit, the commercial space would need to be reduced slightly to 1,500 square feet total so not to require more than six parking spaces.

The garage would have a gated entry from Harvard Avenue, with the gate set 12 feet away from the back of the eight-foot wide sidewalk. Egress from the garage would be to Alto Lane, where there would also be a gate. Recommended condition of approval 5(d) would require the gates to be open 7:00 a.m. and 7:00 p.m., in order to limit the potential for vehicles blocking the sidewalk while waiting for the gate to open and to allow use by customers of the commercial spaces. This condition would allow the Transportation Manager to adjust these times if requested in the future, provided that the applicant demonstrates that pedestrian safety would not be compromised.

In this area, the Specific Plan specifies that sidewalks should have a 12-foot total width, made up of a four-foot furnishings zone and an eight-foot clear walking zone. As shown on the landscape plan, eight feet of unobstructed sidewalk would be provided along the El Camino Real and Harvard frontages on the interior side of the four-foot furnishings zones. For the portions of the sidewalk that extend onto the subject property, a Public Access Easement (PAE) would need to be recorded (condition 5e). Alto Lane, as a service road, does not require any new sidewalks.

Access to the residential units would be through a building entry facing Harvard Avenue. There would be a small lobby at the elevator with a door to the garage and a door to the street. Access to the commercial suites would be off El Camino Real. Secure bicycle parking is provided per the requirements in Table F1 of the ECR Specific Plan, with a bike storage room accessed along the interior side yard and three visitor bike racks along El Camino Real.

Open space, trees and landscaping

There are four non-heritage trees located within the courtyard of the existing hotel that would be removed. No other trees are located on the subject property. New landscaping with native plant selection would be provided along the building edges at the back of the sidewalk facing Harvard Avenue and El Camino Real. The three existing street trees along El Camino Real and one street tree along Harvard Avenue would be retained at the planting strip. The City Arborist has recommended that the second, approximately eight-inch street tree, located just to the left of the proposed driveway on Harvard Avenue, should be removed due to poor condition and its proximity to the driveway, and replaced with a 24-inch Chinese pistache tree, centered between the two proposed planters. Also, within the four-foot furnishing zone between the new 8-foot sidewalk and the street would be low plants as well as three visitor bicycle racks. The transformer would be placed underground at the back of the sidewalk near the building corner of Harvard Avenue and Alto Lane. The electric and gas meters are shown behind doors facing Harvard Avenue also near the Alto Lane building corner. The backflow prevention device is shown to the right of the residential building entry with landscape screening between it and the sidewalk.

The project would exceed the ECR SW open space requirement of 30 percent of the lot, with approximately 47.7 percent (4,902.3 square feet) proposed. Landscaped and sidewalk areas along the El Camino Real and Harvard Avenue frontages would provide approximately 1,560 square feet of open space. The large terraces at the residential units would provide approximately 3,342.3 square feet of total private open space, which counts towards the total open space requirement for the parcel and also greatly exceeds a related requirement of 80 square feet of private open space for each residential unit.

Subdivision

The Subdivision Ordinance requires the preparation of a tentative map, which is included in the applicant's project plans (Attachment E). The tentative map has been reviewed by the City's Engineering Division and has been found to comply with the provisions of the State Subdivision Map Act and the City's Subdivision Ordinance subject to conditions of approval (Attachment A). In order to deny the proposed subdivision, the City Council would need to make specific findings that would identify conditions or requirements of the State law or the City's ordinance that have not been satisfied.

Correspondence

Staff has received several emails in support of the project and redevelopment of the site in general, with one email stating a desire for higher density housing and one email stating a desire for a restaurant at this location. Staff also received letters from two long-term residents at the current hotel who expressed concerns about the redevelopment of the site. The property owner has indicated the long-term tenants no longer reside at the hotel. All correspondence is included as Attachment I.

Conclusion

Approval of the architectural control and tentative map would allow the development of additional, small scale commercial uses along El Camino Real as well as four residential condominium units. The proposed design's eclectic modern presentation would fit well with adjacent structures that vary in style and scale. The proposal would meet the Specific Plan's Base level standards, which were established to achieve inherent public benefits, such as the redevelopment of underutilized properties, the creation of more vitality and activity, and the promotion of healthy living and sustainability. Vehicular and bicycle parking requirements would be met, and the development would also provide a positive pedestrian experience with the widening of the sidewalks and the addition of new landscaping along El Camino Real and Harvard Avenue. Staff recommends that the Planning Commission recommend that the City Council approve the architectural control and tentative map.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project. In addition, the proposed development would be subject to payment of the Specific Plan Transportation Infrastructure Proportionate Cost-Sharing Fee and the El Camino Real/Downtown Specific Plan Preparation Fee. These required fees were established to account for projects' proportionate obligations.

Environmental Review

The Specific Plan process included detailed review of projected environmental impacts through a program Environmental Impact Report (EIR), as required by the California Environmental Quality Act (CEQA). In compliance with CEQA requirements, the Draft EIR was released in April 2011, with a public comment period that closed in June 2011. The Final EIR, incorporating responses to Draft EIR comments, as well as text changes to parts of the Draft EIR itself, was released in April 2012, and certified along with the final Plan approvals in June 2012.

The Specific Plan EIR identifies no impacts or less-than-significant impacts in the following categories: Aesthetic Resources; Geology and Soils; Hydrology and Water Quality; Land Use Planning and Policies; Population and Housing; and Public Services and Utilities. The EIR identifies potentially significant environmental effects that, with mitigation, would be less than significant in the following categories: Biological Resources; Cultural Resources; Hazards and Hazardous Materials. The EIR identifies potentially significant environmental effects that will remain significant and unavoidable in the following categories: Air Quality; Greenhouse Gases and Climate Change; Noise; and Transportation, Circulation and Parking. The Final EIR actions included adoption of a Statement of Overriding Considerations, which is a specific finding that the project includes substantial benefits that outweighs its significant, adverse environmental impact.

As specified in the Specific Plan EIR and the CEQA Guidelines, program EIRs provide the initial framework for review of discrete projects. In particular, projects of the scale of 115 El Camino Real are required to be analyzed with regard to whether they would have impacts not examined in the Program EIR. This conformance checklist, which analyzes the project in relation to each environmental category in appropriate detail, is included as Attachment J. As detailed in the conformance checklist, the proposed project would not result in greater impacts than were identified for the Program EIR. Relevant mitigation measures have been applied and would be adopted as part of the Mitigation Monitoring and Reporting Program (MMRP), which is included as Attachment K. Full compliance with the MMRP would be ensured through condition 5(a). No new impacts have been identified and no new mitigation measures are required for the proposed project. Mitigations include construction-related best practices regarding air quality and noise, payment of transportation-impact-related fees (condition 5(i)(i)) and implementation of a Transportation Demand Management (TDM) program. The applicant has submitted an initial draft TDM plan, which would be revised concurrent with the submittal of the building permit. The MMRP also includes two completed mitigation measures related to cultural resources. Archeological resource evaluations and historical resources evaluations were performed by qualified professionals and determined that the proposed project would have no additional impacts. These studies are available for review upon request.

Specific Plan Maximum Allowable Development

Per Section G.3, the Specific Plan establishes the maximum allowable net new development as follows:

Residential uses: 680 units; and

Non-residential uses, including retail, office and hotel: 474,000 square feet.

These totals are intended to reflect likely development throughout the Specific Plan area. As noted in the Plan, development in excess of these thresholds will require amending the Specific Plan and conducting additional environmental review.

If the project is approved and implemented, the Specific Plan Maximum Allowable Development would be revised to account for the net changes as follows:

Table 4: Specific Plan Totals		
	Dwelling Units	Commercial Square Footage
Existing	0	8,962.7
Proposed	4	1,541.0
Net Change	4	-7,421.7
% of Maximum Allowable Development	0.6	-1.6
Available Units & Commercial SF in SP if Project is Approved	187	83,802.0
Available Units & Commercial SF in SP if all Pending Projects in SP are Approved	171	30,521

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Attachments

- A. Draft Resolution Approving the Findings and Conditions for the Tentative Subdivision Map and Architectural Control
- B. Location Map
- C. Hyperlink: Planning Commission staff report, May 8, 2017-
<https://www.menlopark.org/DocumentCenter/View/14349/G1---115-El-Camino-Real>
- D. Hyperlink: Planning Commission Minutes, May 8, 2017
https://www.menlopark.org/AgendaCenter/ViewFile/Minutes/_05082017-2918
- E. Project Plans
- F. Project Description Letter
- G. Data Table
- H. Specific Plan Standards and Guidelines Compliance Worksheet
- I. Correspondence
- J. EIR Conformance Checklist
- K. Mitigation Monitoring and Reporting Program (MMRP)

Disclaimer

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the

information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

Exhibits to Be Provided at Meeting

Colors and Materials Boards

Report prepared by:
Corinna Sandmeier, Senior Planner

Report reviewed by:
Thomas Rogers, Principal Planner

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DRAFT – July 29, 2019

RESOLUTION NO. _____

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF MENLO PARK APPROVING FINDINGS AND CONDITIONS FOR ARCHITECTURAL CONTROL AND A TENTATIVE SUBDIVISION MAP FOR THE PROJECT LOCATED AT 115 EL CAMINO REAL

WHEREAS, the City of Menlo Park (“City”) has received an application from Ranjeet Pancholy (“Applicant”), for architectural control and a tentative subdivision map to create two commercial condominium units and four residential condominium units by constructing on the property located at 115 El Camino Real (“Project Site”);

WHEREAS, the findings and conditions for Architectural Control and Tentative Subdivision Map would ensure that all City requirements are applied consistently and correctly as part of the project’s implementation;

WHEREAS, all required public notices and public hearings were duly given and held according to law; and

WHEREAS, after notice having been lawfully given, a public hearing was scheduled and held before the Planning Commission of the City of Menlo Park on July 29, 2019 whereat all persons interested therein might appear and be heard; and

WHEREAS, the Planning Commission of the City of Menlo Park having fully reviewed, considered and evaluated all the testimony and evidence submitted in this matter voted affirmatively to recommend to the City Council of the City of Menlo Park to approve the findings and conditions for Architectural Control and Tentative Subdivision Map; and

WHEREAS, after notice having been lawfully given, a public hearing was scheduled and held before the City Council of the City of Menlo Park on TBD whereat all persons interested therein might appear and be heard; and

WHEREAS, the City Council reviewed the project on TBD, and found the project to be within the scope of the project covered by the El Camino Real/Downtown Specific Plan Program Environmental Impact Report (EIR), which was certified on June 5, 2012; and

WHEREAS, the City Council of the City of Menlo Park having fully reviewed, considered and evaluated all the testimony and evidence submitted in this matter voted affirmatively to approve the findings and conditions for Architectural Control and Tentative Subdivision Map.

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Menlo Park hereby approves the findings and conditions for Architectural Control and Tentative Subdivision Map attached hereto as Exhibit A and incorporated herein by this reference.

I, Judi Herren, City Clerk of Menlo Park, do hereby certify that the above and foregoing Council Resolution was duly and regularly passed and adopted at a meeting by said Council on the TBD day of TBD, 2019, by the following votes:

AYES:

NOES:

ABSENT:

ABSTAIN:

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the Official Seal of said City on this _____ day of _____, 2019.

Judi Herren
City Clerk

115 El Camino Real – Attachment A: Exhibit A - Recommended Actions

LOCATION: 115 El Camino Real	PROJECT NUMBER: PLN2017-00008	APPLICANT/OWNER: Ranjeet Pancholy
REQUEST: Request for architectural control and a major subdivision to demolish an existing two-story hotel and construct a new mixed-use development consisting of two commercial condominiums for retail, personal service or non-medical office uses, totaling approximately 1,485 square feet, on the first floor and four residential condominiums on the second and third floors in the SP-ECR/D (El Camino Real/Downtown Specific Plan) zoning district. The Planning Commission will serve as a recommending body and the City Council will be the final decision making body and take action on the proposed project at a future meeting date.		
DECISION ENTITY: City Council	DATE: TBD	ACTION: TBD
VOTE: TBD (Carlton, Combs, Mueller, Nash, Taylor)		
<p>ACTION:</p> <ol style="list-style-type: none"> 1. Make findings with regard to the California Environmental Quality Act (CEQA) that the proposal is within the scope of the project covered by the El Camino Real/Downtown Specific Plan Program EIR, which was certified on June 5, 2012. Specifically, make findings that: <ol style="list-style-type: none"> a. A checklist has been prepared detailing that no new effects could occur and no new mitigation measures would be required (Attachment J). b. Relevant mitigation measures have been incorporated into the project through the Mitigation Monitoring and Reporting Program (Attachment K), which is approved as part of this finding. c. Upon completion of project improvements, the Specific Plan Maximum Allowable Development will be adjusted by 4 residential units and -7,421 square feet of non-residential uses, accounting for the project's net share of the Plan's overall projected development and associated impacts. 2. Adopt the following findings, as per Section 16.68.020 of the Zoning Ordinance, pertaining to architectural control approval: <ol style="list-style-type: none"> a. The general appearance of the structure is in keeping with the character of the neighborhood. The proposed exterior materials and finishes would be high quality in nature and would reinforce the neighborhood compatibility. b. The development will not be detrimental to the harmonious and orderly growth of the City. The construction and ongoing occupation of the site would proceed in accordance with all applicable City requirements and procedures, as verified in these conditions of approval. c. The development will not impair the desirability of investment or occupation in the neighborhood. d. The development provides adequate parking as required in all applicable City Ordinances and has made adequate provisions for access to such parking. e. The development is consistent with the El Camino Real/Downtown Specific Plan, as verified in detail in the Standards and Guidelines Compliance Worksheet (Attachment H). 3. Make findings that the proposed major subdivision is technically correct and in compliance with all applicable State regulations, City General Plan, Zoning and Subdivision Ordinances, and the State Subdivision Map Act. 4. Approve the architectural control and tentative subdivision map subject to the following standard conditions: <ol style="list-style-type: none"> a. Development of the project shall be substantially in conformance with the plans prepared by Levy Art and Architecture, consisting of 49 sheets, dated received July 24, 2019, reviewed 		

and recommended for approval by the Planning Commission on July 29, 2019 and approved by the City Council on TBD, except as modified by the conditions contained herein, subject to review and approval of the Planning Division.

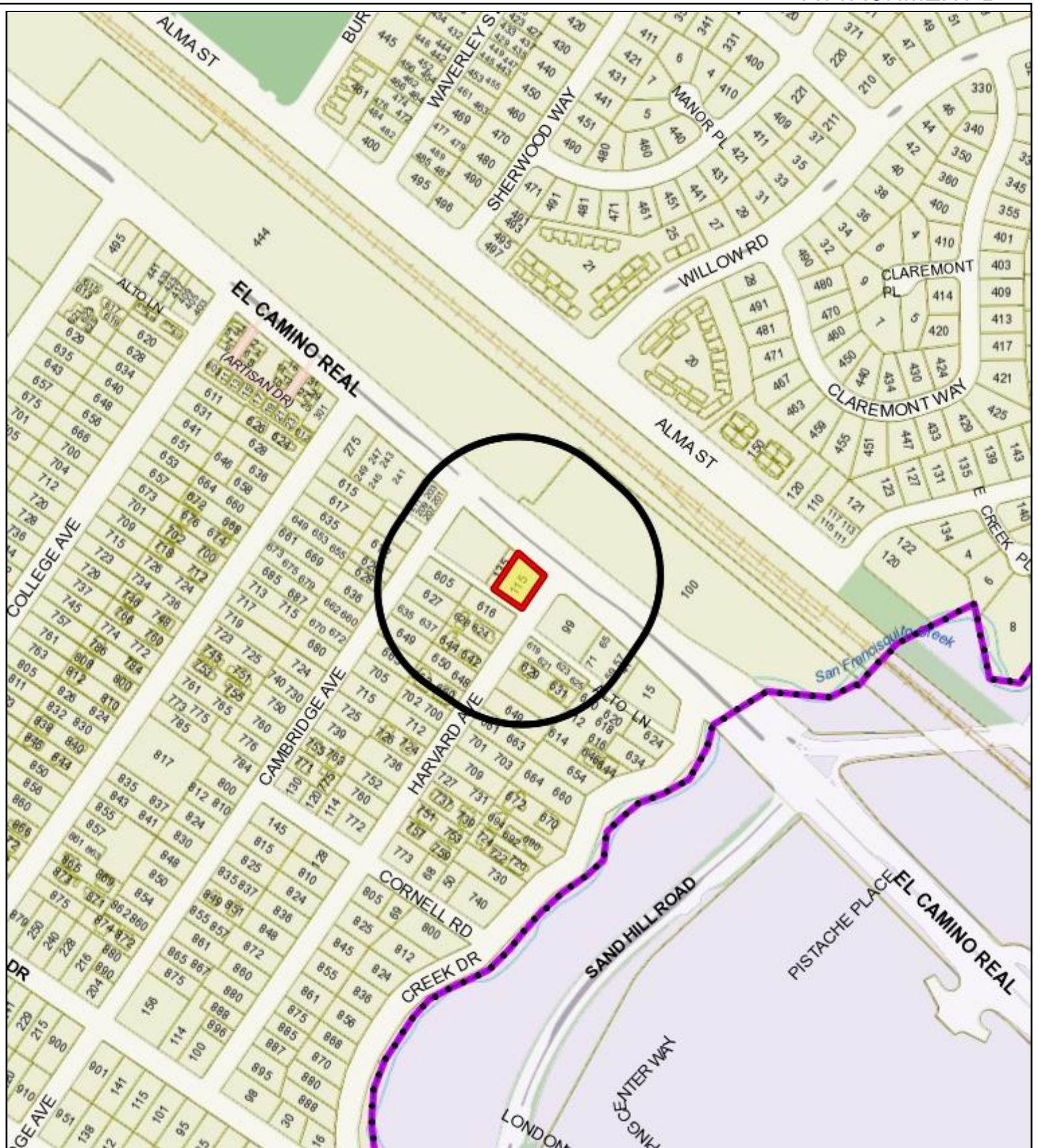
- b. Minor modifications to building exteriors and locations, fence styles and locations, signage, and significant landscape features may be approved by the Community Development Director or designee, based on the determination that the proposed modification is consistent with other building and design elements of the approved Architectural Control and will not have an adverse impact on the character and aesthetics of the site. The Director may refer any request for revisions to the plans to the Planning Commission for architectural control approval. A public meeting could be called regarding such changes if deemed necessary by the Planning Commission.
- c. Major modifications to building exteriors and locations, fence styles and locations, signage, and significant landscape features may be allowed subject to obtaining an architectural control permit from the Planning Commission, based on the determination that the proposed modification is compatible with the other building and design elements of the approved Architectural Control and will not have an adverse impact on the character and aesthetics of the site.
- d. Major revisions to the development plan which involve material changes, or expansion or intensification of development require public meetings by the Planning Commission and City Council.
- e. Prior to approval of the Final Map or building permit issuance, whichever comes first, the Applicant shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
- f. Prior to building permit issuance, the Applicant shall comply with all Sanitary District, California Water Company, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.
- g. Prior to Final Map approval or building permit issuance, whichever comes first, Applicant shall submit plans for: 1) construction safety fences around the periphery of the construction area, 2) dust control, 3) air pollution control, 4) erosion and sedimentation control, 5) tree protection fencing, and 6) construction vehicle parking. The plans shall be subject to review and approval by the Building, Engineering, and Planning Divisions. The fences and erosion and sedimentation control measures shall be installed according to the approved plan prior to commencing construction.
- h. Prior to Final Map approval or building permit issuance, whichever comes first, Applicant shall submit a plan for any new utility installations or upgrades for review and approval of the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.
- i. Prior to building permit issuance, the Applicant shall submit plans for construction parking management, construction staging, material storage and Traffic Control Handling Plan to be reviewed and approved by the City. The applicant shall secure adequate parking for any and all construction trades.
- j. Heritage and street trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance.

5. Approve the architectural control and tentative subdivision map subject to the following **project-specific** conditions:
- a. The applicant shall address all Mitigation Monitoring and Reporting Program (MMRP) requirements as specified in the MMRP (Attachment K). Failure to meet these requirements may result in delays to the building permit issuance, stop work orders during construction, and/or fines.
 - b. Simultaneous with the submittal of a complete building permit application, the applicant shall submit an updated LEED Checklist, subject to review and approval of the Planning Division. The Checklist shall be prepared by a LEED Accredited Professional (LEED AP). The LEED AP should submit a cover letter stating their qualifications, and confirm that they have prepared the Checklist and that the information presented is accurate. Confirmation that the project conceptually achieves LEED Silver certification shall be required before issuance of the building permit. Prior to final inspection of the building permit or as early as the project can be certified by the United States Green Building Council, the project shall submit verification that the development has achieved final LEED Silver certification.
 - c. Prior to Final Map approval, Applicant shall submit Covenants, Conditions and Restrictions (CC&Rs) to the City for review and approval. The CC&Rs shall provide for the maintenance of all infrastructure and utilities within the Project site or constructed to serve the Project. This shall include, but not be limited to, the private open spaces, shared parking spaces, common walkways, common landscaping, and the stormwater drainage and sewer collection systems. Prior to approval of the CC&Rs, shared parking issues shall be resolved to ensure sufficient parking for the commercial units pursuant to Specific Plan standards, subject to review and approval of the Transportation and Planning Divisions.
 - d. The parking garage gates shall remain open between the hours of 7:00 a.m. and 7:00 p.m., in order to limit the potential for vehicles blocking the sidewalk while waiting for the gate to open. The Transportation Manager may adjust these times if requested in the future, provided that the applicant demonstrates that pedestrian safety will not be compromised.
 - e. Dedication of Public Access Easements will be required prior to final occupancy as part of the Final Map or separate instrument to accommodate 12-foot wide sidewalk along the El Camino Real and Harvard Avenue frontages.
 - f. Prior to issuance of building permit, the applicant shall submit the El Camino Real/Downtown Specific Plan Preparation Fee, which is established at \$1.13/square foot for all net new development. For the subject proposal, the fee is estimated at \$1,467.87 (\$1.13 x 1,299 net new square feet).
 - g. Simultaneous with the submittal of complete building permit application, the applicant shall submit revised plans that include a calculation of the building areas excluded from GFA (gross floor area) and that adhere to the maximum building height and screening requirements of the Specific Plan.
 - h. Engineering-specific conditions, subject to review and approval of the Engineering Division except as otherwise noted:
 - i. Within two years from the date of approval of the tentative map, the Applicant shall submit a Final Map for City Council approval.
 - ii. Applicant shall adhere to the Subdivision Map Act and Chapter 15 of the City's Municipal Code.

- iii. Prior to Final Map approval or building permit issuance, whichever comes first, Applicant shall submit plans to remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for the review and approval of the Engineering Division.
- iv. The project is required for construction of public improvements along El Camino Real (ECR), to be designed and constructed to the satisfaction of the Engineering Division and Caltrans. The City will evaluate the condition of asphalt paving on ECR, following construction and prior to final occupancy of buildings. If necessary, the City and or Caltrans may require a grind and overlay of damaged pavement along the project frontage. All existing striping, markings, and legends shall be replaced in kind, or as approved by the City and Caltrans. Replacement of curb/gutter, sidewalk and 3-inch grind/overlay from curb to curb is required along Harvard Avenue and Alto Lane. The limit of grind and overlay will be determined at the time of improvement plans review and approval.
- v. Prior to Final Map approval or building permit issuance, whichever comes first, Applicant shall submit a Grading and Drainage Plan for review and approval. Post-construction runoff into the storm drain shall not exceed pre- construction runoff levels. A Hydrology Report will be required to the satisfaction of the Engineering Division. Slopes for the first 10 feet perpendicular to the structure must be 5% minimum for pervious surfaces and 2% minimum for impervious surfaces, including roadways and parking areas, as required by CBC §1804.3. Discharges from the garage ramp and underground parking areas are not allowed into the storm drain system. Discharge must be treated with an oil/water separator and must connect to the sanitary sewer system. This will require a permit from West Bay Sanitary District.
- vi. If construction is not complete by the start of the wet season (October 1 through April 30), the Applicant shall implement a winterization program to minimize the potential for erosion and sedimentation. As appropriate to the site and status of construction, winterization requirements shall include inspecting/maintaining/cleaning all soil erosion and sedimentation controls prior to, during, and immediately after each storm event; stabilizing disturbed soils through temporary or permanent seeding, mulching, matting, tarping or other physical means; rocking unpaved vehicle access to limit dispersion of much onto public right-of-way; and covering/tarping stored construction materials, fuels, and other chemicals. Plans to include proposed measures to prevent erosion and polluted runoff from all site conditions shall be submitted for review and approval of the Engineering Division prior to beginning construction.
- vii. Prior to building permit issuance, Applicant shall submit a street tree preservation plan, detailing the location of and methods for all tree protection measures.
- viii. Prior to Final Map approval or building permit issuance, whichever comes first, Applicant shall pay all Public Works fees including Building Construction Impact Fee and the Recreation In-lieu Fee. Refer to current City of Menlo Park Master Fee Schedule.
- ix. During the design phase of the construction drawings, all potential utility conflicts shall be potholed with actual depths recorded on the improvement plans submitted for City review and approval.
- x. Prior to Final Map approval or building permit issuance, whichever comes first, the Applicant shall submit engineered Off-Site Improvement Plans (including

specifications & engineers cost estimates), for approval by the Engineering Division, showing the infrastructure necessary to serve the Project. The Improvement Plans shall include, but are not limited to, all engineering calculations necessary to substantiate the design, proposed roadways, drainage improvements, utilities, traffic control devices, retaining walls, sanitary sewers, and storm drains, pump/lift stations, street lightings, common area landscaping and other project improvements. All public improvements shall be designed and constructed to the satisfaction of the Engineering Division.

- xi. Prior to Final Map approval or building permit issuance, whichever comes first, Applicant shall submit plans for street light design per City standards, at locations approved by the City. All street lights along the project frontages shall be painted Mesa Brown and upgraded with LED fixtures compliant with PG&E standards.
 - xii. Prior to Final Map approval, the Applicant shall enter into a Subdivision Improvement Agreement and provide a performance bond for the completion of the off-site improvements as shown on the approved project improvement plans. The Applicant shall obtain an encroachment permit, from the appropriate reviewing jurisdiction, prior to commencing any work within the right-of-way or public easements.
 - xiii. All agreements shall run with the land and shall be recorded with the San Mateo County Recorder's Office prior to building permit final inspection.
 - xiv. Street trees shall be from the City-approved street tree species or to the satisfaction of City Arborist. Irrigation within public right of way shall comply with City Standard Details LS-1 through LS-19.
 - xv. Prior to Final Map approval or building permit issuance, whichever comes first, Applicant shall provide documentation indicating the amount of irrigated landscaping. If the project proposes more than 500 square feet of irrigated landscaping, it is subject to the City's Water Efficient Landscaping Ordinance (Municipal Code Chapter 12.44).
 - xvi. All public right-of-way improvements, including frontage improvements and the dedication of easements and public right-of-way, shall be completed to the satisfaction of the Engineering Division prior to building permit as-built final inspection.
 - xvii. Prior to final inspection, the Applicant shall submit a landscape audit report.
 - xviii. The Applicant shall retain a civil engineer to prepare "as-built" or "record" drawings of public improvements, and the drawings shall be submitted in AutoCAD and Adobe PDF formats to the Engineering Division prior to Final Occupancy.
- i. Transportation-specific Conditions, subject to review and approval of the Transportation Division except as otherwise noted:
- i. The City has adopted a Supplemental Transportation Impact Fee for the infrastructure required as part of the El Camino Real / Downtown Specific Plan. The fee is calculated at \$398.95 per PM peak hour vehicle trip. The proposed project is estimated to generate seven net new PM peak hour trips, so the fee would be \$2,792.65. Payment is due before a building permit is issued and the supplemental TIF will be updated annually on July 1st.



CITY OF MENLO PARK

City of Menlo Park
 Location Map
 115 El Camino Real



Scale: 1:4,000

Drawn By: CDS

Checked By: CDS

Date: 7/29/2019

Sheet: 1

115 EL CAMINO REAL



PROJECT DIRECTORY

OWNER: JAVA FANCHOLY + RANJEET FANCHOLY
ARCHITECT: LEVI ART + ARCHITECTURE
 151 POTRERO AVE
 SAN FRANCISCO, CA 94103
 415-564-1730

CIVIL ENGINEER: LEA AND BRAZE ENGINEERING, INC
 2485 INDUSTRIAL PARKWAY WEST
 SAN FRANCISCO, CA 94134
 510-887-4086

PROJECT ADDRESS

115 EL CAMINO REAL
 MENLO PARK, CA 94025

ZONING

APN: 071-433-330 OCCUPANCY: M, R-2
 MUNICIPAL ZONING: SR-EGRND CONSTRUCTION TYPE: VB
 ECR: SW SPRINKLER SYSTEM: YES
 LAND USE: MIXED USE / RESIDENTIAL # RESIDENTIAL UNITS: 4

PROJECT DESCRIPTION

DEMOLITION OF EXISTING HOTEL FOLLOWED BY NEW CONSTRUCTION OF MIXED USE BUILDING.
 GROUND FLOOR WILL CONSIST OF PARKING AND TWO COMMERCIAL UNITS. SECOND AND THIRD FLOOR WILL CONSIST OF THREE RESIDENTIAL UNITS AND THE THIRD LEVEL WILL HAVE ONE RESIDENTIAL UNIT.

DRAWING SHEET INDEX

- G0.1 TITLE SHEET
- G0.2 ZONING AND OVERLAY ANALYSIS
- G0.3 ECR STANDARDS AND GUIDELINES DIAGRAMS
- G0.4 PARKING ANALYSIS
- G0.5 SIGNAGE PLAN
- G0.6 BUILDING DIVISION COMMENT RESPONSE
- G0.7 CONSTRUCTION PHASING DIAGRAM
- G0.8 EXISTING CONDITIONS PHOTOGRAPHS
- A0.1 EXISTING PLANS
- A0.2 AREA PLAN
- A0.3 SITE PLAN
- A0.4 SQUARE FOOTAGE CALCULATION PLANS
- L1.0 PRELIMINARY LANDSCAPE PLAN
- A1.1 OVERALL FLOOR PLAN - LEVEL 1
- A1.2 OVERALL FLOOR PLAN - LEVEL 2
- A1.3 OVERALL FLOOR PLAN - LEVEL 3
- A1.4 ROOF PLAN
- A1.5 LINE OF SIGHT DIAGRAM
- A2.1 ENLARGED COMMERCIAL UNITS FLOOR PLAN
- A2.2 ENLARGED UNIT 1 PLAN
- A2.3 ENLARGED UNIT 2 PLAN
- A2.4 ENLARGED UNIT 3 PLAN
- A2.5 ENLARGED UNIT 4 PLAN
- A3.1 EXTERIOR ELEVATION EAST FACING ECR
- A3.2 EXTERIOR ELEVATION SOUTH FACING HARVARD AVE
- A3.3 EXTERIOR ELEVATION WEST FACING ALTO LN
- A3.4 EXTERIOR ELEVATION NORTH INTERIOR LOT LINE
- A4.1 STREETSCAPE
- A5.1 BUILDING CROSS SECTION
- A5.2 BUILDING LONGITUDINAL SECTION
- A6.0 ECR AT HARVARD AVE RENDERING
- A6.1 ECR FACADE + HARVARD AT ALTO RENDERING
- D.1 ENLARGED VIEWS AND SCHEMATIC DETAILS
- D.2 MATERIALS BOARD
- C-1.0 CIVIL TITLE SHEET
- C-1.1 TENTATIVE MAP & 1ST FLOOR LAYOUT PLAN
- C-1.2 2ND FLOOR LAYOUT PLAN
- C-1.3 3RD FLOOR LAYOUT PLAN
- C-1.4 ROOF LAYOUT PLAN
- C-2.0 PRELIMINARY GRADING AND DRAINAGE PLAN
- C-2.1 SITE SECTIONS
- C-3.0 PRELIMINARY UTILITY PLAN
- C-4.0 IMPERVIOUS AREA EXHIBIT
- C-5.0 DETAILS
- C-5.1 DETAILS
- C-5.2 DETAILS
- C-6.0 GRADING SPECIFICATIONS
- C-6.1 GRADING SPECIFICATIONS
- SI.4 TOPOGRAPHIC SURVEY

PARCEL MAP



VICINITY MAP



COMMUNITY DEVELOPMENT DEPARTMENT PLANNING DIVISION
 115 El Camino Real
 Menlo Park, CA 94025
 PHONE: (650) 325-1070
 PROJECT/APP@menlopark.org
 01/11/2019 10:56:52 AM

DATA SHEET
 Please provide the appropriate information pertaining to each application. As it applies to the existing building and site plan, please indicate the appropriate information.

LOCATION:	115 El Camino Real
EXISTING USE:	APPGARNT
PROPOSED USE:	Mixed Use (Retail/Residential)
ZONING:	SR-EGRND
APPLICANT:	Java Fancholy + Ranjeet Fancholy
PROJECT NUMBER:	2019-010
PROJECT STATUS:	EXISTING DEVELOPMENT
PROJECT COMMENTS:	RENOVATION
Lot Area (sq. ft.)	10,000
Area of Building (sq. ft.)	5,000
Area of Parking (sq. ft.)	5,000
Number of Units	4
Number of Stories	3
Number of Floors	3
Number of Levels	3
Number of Entrances	3
Number of Exits	3
Number of Elevators	0
Number of Stairs	3
Number of Ramps	0
Number of Entrances	3
Number of Exits	3
Number of Elevators	0
Number of Stairs	3
Number of Ramps	0

GO.1

115 EL CAMINO REAL TITLE SHEET
 Date: 04/02/2019
 Scale:
 Drawn: MTT
 Job: 115 EL CAMINO
 Sheet:

115 EL CAMINO
 MENLO PARK, CA 94025



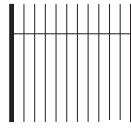
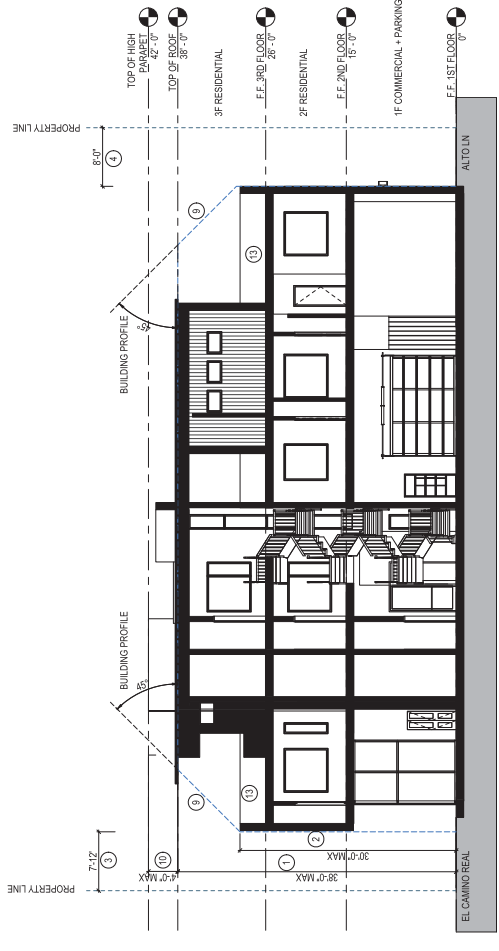
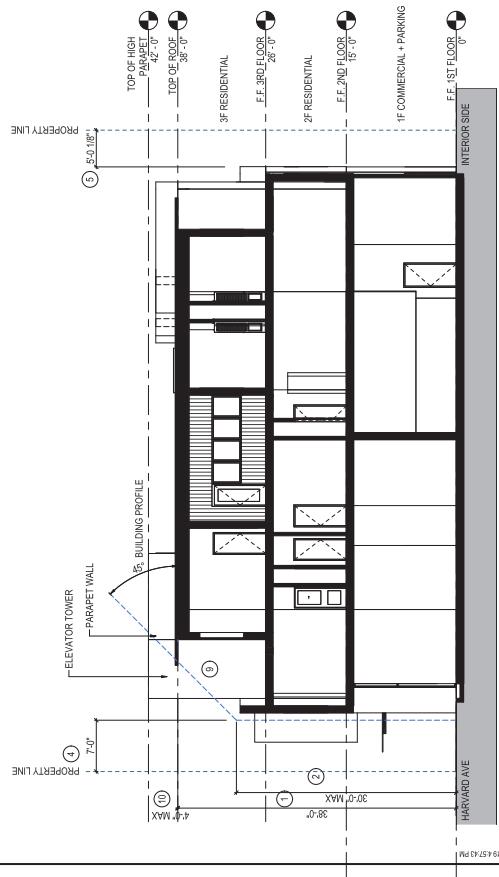
LEVI ART + ARCHITECTURE
 151 POTRERO AVE, STE. 200
 SAN FRANCISCO, CA 94102
 415.564.1730
 leviart.com



ECR SPECIFIC PLAN LAND USE + BUILDING CHARACTER ANALYSIS: ECR SW



- 1 BUILDING HEIGHT: 38' WITH 4' PARAPET PROJECTION
- 2 FACADE HEIGHT: 30' - 0"
- 3 FRONT SETBACK: 7' - 12"
- 4 SIDE SETBACK: 7' - 12"
- 5 INTERIOR SIDE SETBACK: 5'-0"
- 6 MINOR BUILDING FACADE MODULATION: AT 50' MIN.
- 7 MAJOR BUILDING FACADE MODULATION: N/A
- 8 BUILDING BREAK AT 100' MIN. N/A
- 9 BUILDING PROFILE
- 10 BUILDING PROJECTIONS
- 11 ARCHITECTURAL PROJECTIONS
- 12 UPPER STORY FACADE LENGTH: N/A
- 13 OPEN SPACE



LEVY
ART + ARCHITECTURE

165 POTrero AVE. STE. 400
SAN FRANCISCO, CA 94109
415.641.7200
levy.com



115 EL CAMINO
MENLO PARK, CA 94025

Disciplines: ARCHITECTURE
CONTRACT: 2019-0002709
Date: 04/20/2019
Drawn: A. HOSSEINI
Job: 115 EL CAMINO
Sheet

G0.2

REVISIONS	DATE	DESCRIPTION



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ARCHITECTURE

155 POTrero AVE, STE. 200
SAN FRANCISCO, CA 94109
415.641.7260
levy.com



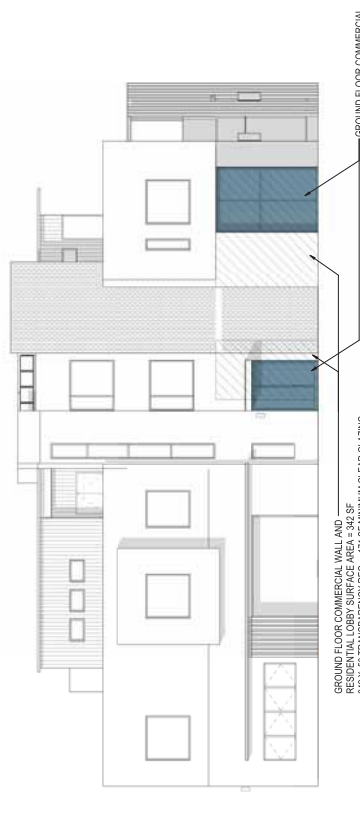
115 EL CAMINO
MENLO PARK, CA 94025

DESCRIPTION, DATE AND SCALE	DATE	SCALE
Sheet	04/20/2019	1/8" = 1' - 0"
Drawn		MJT
Job		115 EL CAMINO

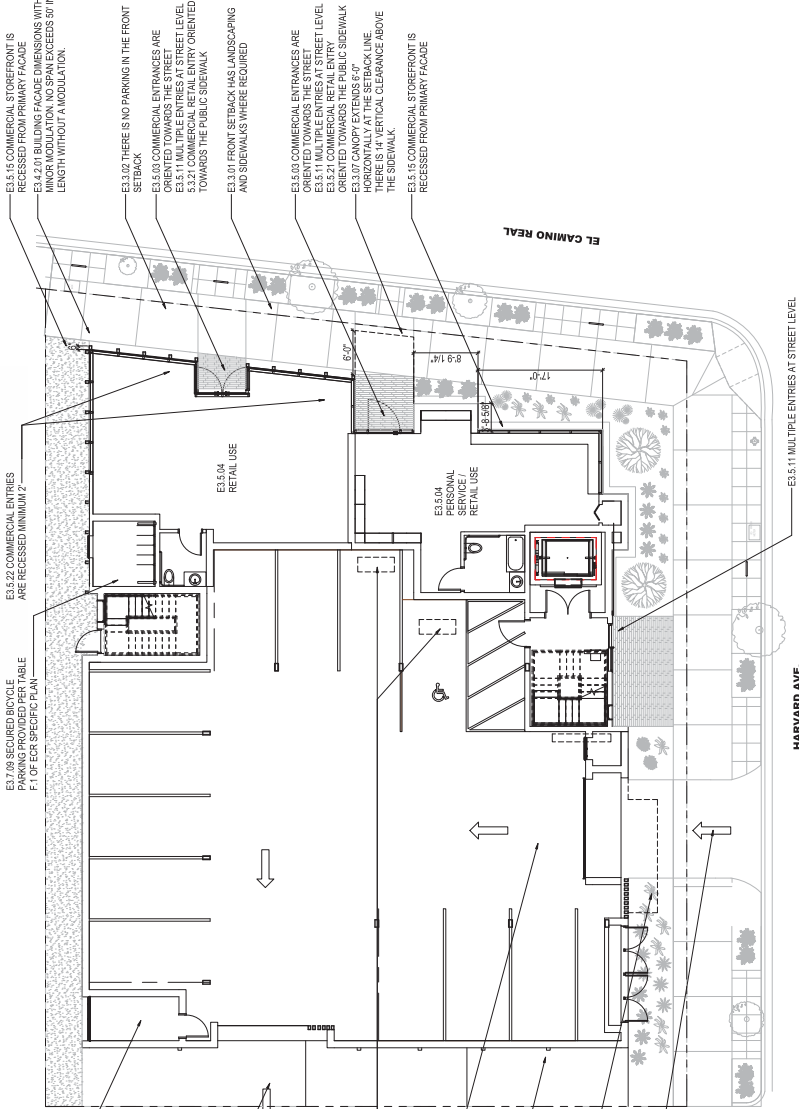
G0.3



3 ELEVATION EAST - FACING EL CAMINO REAL TRANSPARENCY DIAGRAM
SCALE: 1/8" = 1'-0"



2 ELEVATION SOUTH - FACING HARVARD AVE TRANSPARENCY DIAGRAM
SCALE: 1/8" = 1'-0"



1 PROPOSED PLAN NOTATED WITH STANDARDS AND GUIDELINES
SCALE: 1/8" = 1'-0"

REVISIONS	BY



LEVY
ART + ARCHITECTURE

155 POTrero AVE. STE. 500
SAN FRANCISCO, CA 94107
415.541.7200
levy.com



115 EL CAMINO
MENLO PARK, CA 94025

Description	Quantity
3 Units	3 UNITS
4 Units	4 UNITS
TOTAL	7 UNITS

G.O.4

CAPACITY

1 Hanger is 17" square tube with steel roller head with 1" diameter locking bolts.
1 Hanger is 2" square tube with steel roller head with 1" diameter locking bolts.
1 Hanger is 2" square tube with steel roller head with 1" diameter locking bolts.

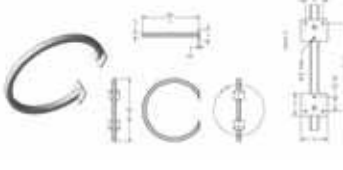
MATERIALS

Hanger is 17" square tube with steel roller head with 1" diameter locking bolts.
1 Hanger is 2" square tube with steel roller head with 1" diameter locking bolts.
1 Hanger is 2" square tube with steel roller head with 1" diameter locking bolts.

MOUNT OPTIONS

Floor Mount - Ultra Space Saver Squared hanger steel channel feet (15" for single sided and 34" for double sided units) which must be anchored to the floor.

Wall Mount - A wall mounted unit which contains special brackets is also available for CMU or solid concrete walls. Cannot be used on brickwork without additional support.



LONG TERM BIKE PARKING IN ENCLOSED ROOM ACCESSIBLE ONLY TO RESIDENTS AND EMPLOYEES

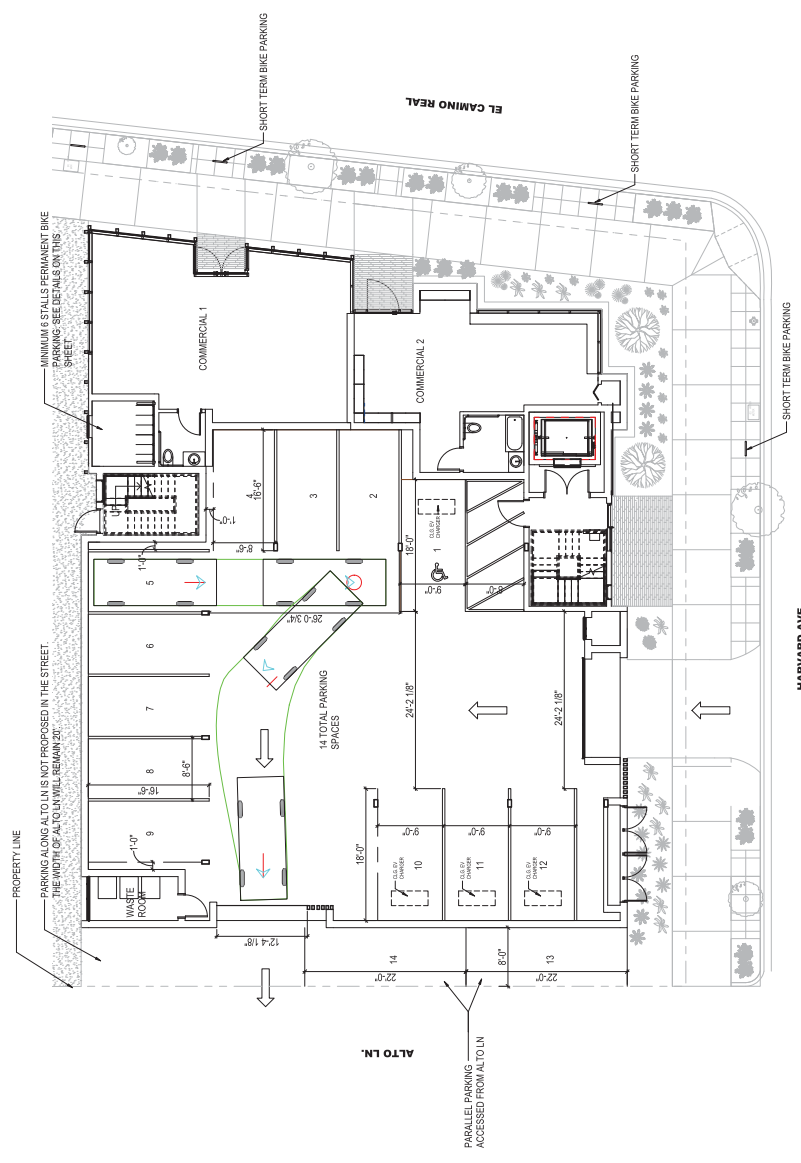
SHORT TERM BIKE PARKING - SEE PLAN FOR LOCATIONS

BIKE PARKING DETAILS

PARKING SPACE CALCULATIONS

COMMERCIAL	RESIDENTIAL
RETAIL SPACE 1 920 SF G/LA	3 UNITS
RETAIL SPACE 2 648 SF G/LA	4 UNITS
TOTAL 1568 SF G/LA	TOTAL 7 UNITS

1541 SF / 1000 = 1.5 X 4 = 6 REQ. SPACES 4 UNITS X 1.85 PER UNIT = 7.4 = 8 REQ. SPACES
6 COMMERCIAL SPACES + 8 RESIDENTIAL SPACES = 14 TOTAL SPACES



1 PROPOSED PARKING PLAN
SCALE: 1/8" = 1'-0"

REVISIONS	BY



LEVY
ART + ARCHITECTURE

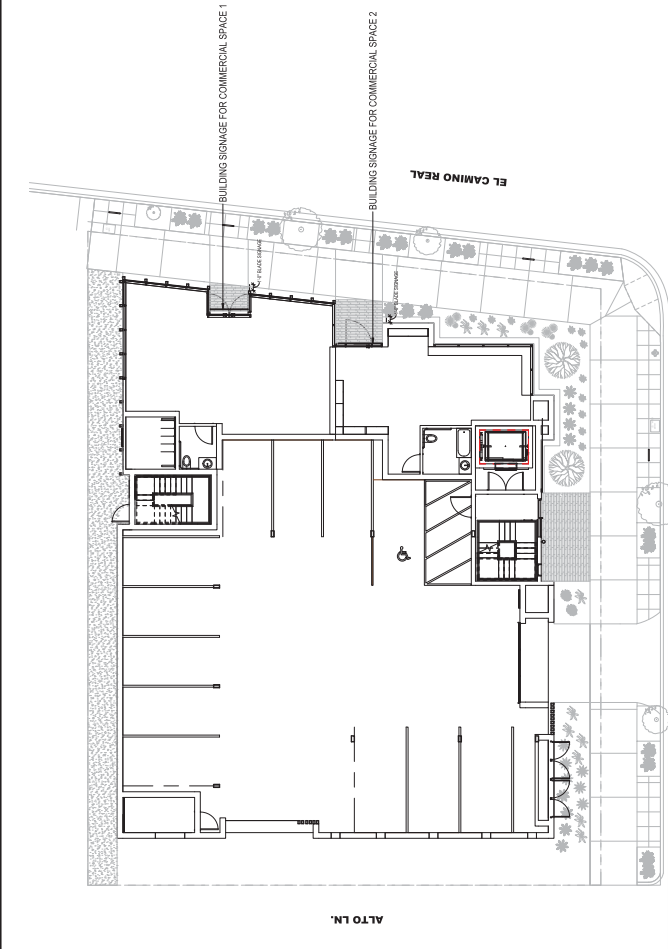
105 POTrero AVE. STE. 500
SAN FRANCISCO, CA 94109
415.641.7268
levy.com



115 EL CAMINO
MENLO PARK, CA 94025

Description	Date
SUBMIT	04/02/2019
Rev	As Issued
Drawn	MLT
Job	115 EL CAMINO
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G0.5



HARVARD AVE.

2 LEVEL ONE FLOOR PLAN FOR SIGNAGE

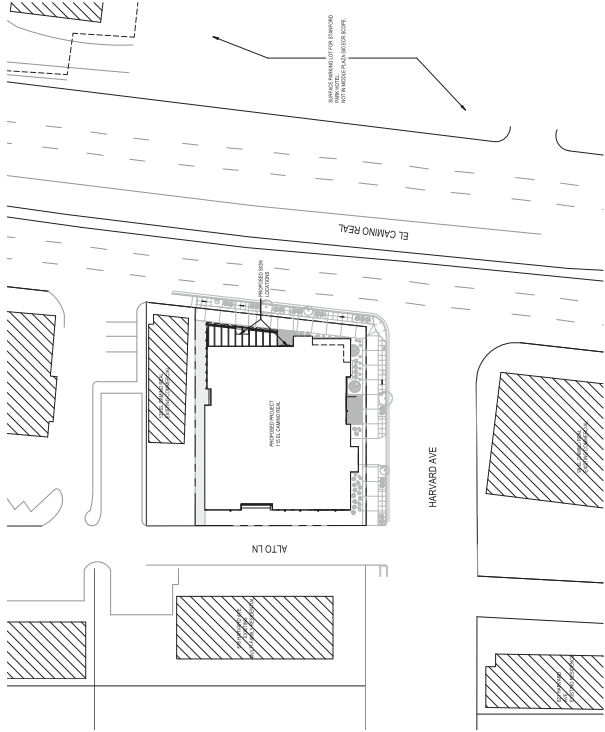
SCALE: 1/4" = 1'-0"



BLADE SIGNAGE PRECEDENT
LASER CUT METAL BACKLIT
3 SF MAXIMUM

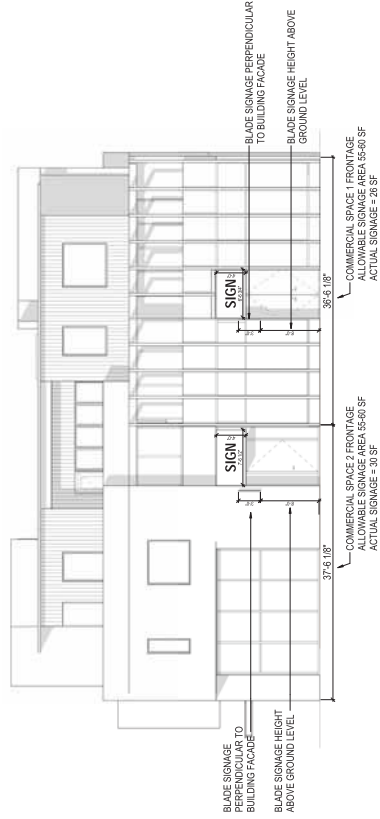


BUILDING SIGNAGE PRECEDENTS
FOR REFERENCE. INDIVIDUAL LETTERS AND NUMBERS
LIGHT PROVIDED BY EXTERNAL LIGHT SOURCE



3 SITE PLAN FOR SIGNAGE

SCALE: 1/4" = 1'-0"



1 ELEVATION FACING EL CAMINO REAL - SIGNAGE

SCALE: 1/8" = 1'-0"

BLADE SIGNAGE PERPENDICULAR TO BUILDING FACADE
BLADE SIGNAGE HEIGHT ABOVE GROUND LEVEL
COMMERCIAL SPACE 1 FRONTAGE
ALLOWABLE SIGNAGE AREA = 55-60 SF
ACTUAL SIGNAGE = 26 SF
COMMERCIAL SPACE 2 FRONTAGE
ALLOWABLE SIGNAGE AREA = 55-60 SF
ACTUAL SIGNAGE = 39 SF

REVISIONS	BY	DATE	DESCRIPTION



115 EL CAMINO
MENLO PARK, CA 94025

DESCRIPTION
DUCTLESS GARAGE VENTILATION COMMENTS

Rev: 04/22/2019

Drawn: JMT
18" x 11"

Job: 115 EL CAMINO
Sheet

G0.6

JETVENT FANS
PROJECT SUBMITTAL
JVEC-LP Low Profile
JET VENT FANS (EC-MEMBERS) GARAGE VENTILATION

JetVent Fans
The JetVent Fan is a ductless, low-profile, energy-efficient ventilation fan designed specifically for residential use. It is designed to be installed in a ceiling or wall, providing a clean, minimalist look. The fan is powered by a 120V AC power source and is designed to operate at a noise level of 35 dBA. The fan is made of high-quality materials and is built to last. It is a great choice for anyone looking for a quiet, efficient, and stylish ventilation solution.

Typical Specifications:

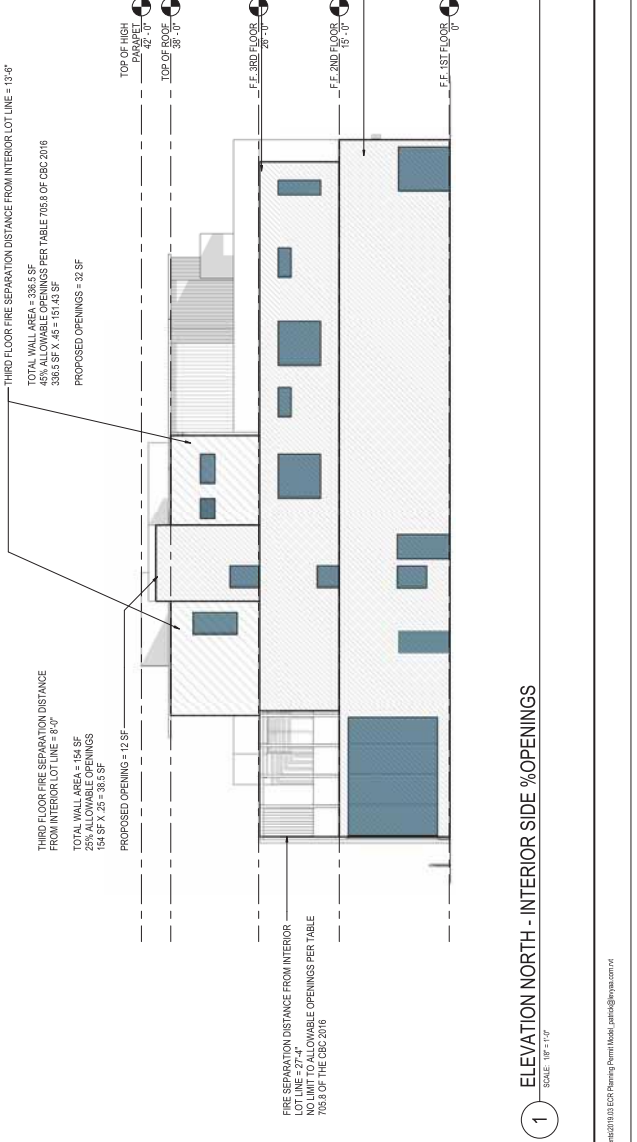
- Fan Type: JetVent Fan
- Voltage: 120V AC
- Noise Level: 35 dBA
- Power: 100W
- Dimensions: 12" x 12" x 4"

Model: JVEC-LP
Manufacturer: JetVent Fans, Inc.
Website: jetventfans.com
Phone: 1-877-552-7575
Address: 1155 El Camino, Menlo Park, CA 94025

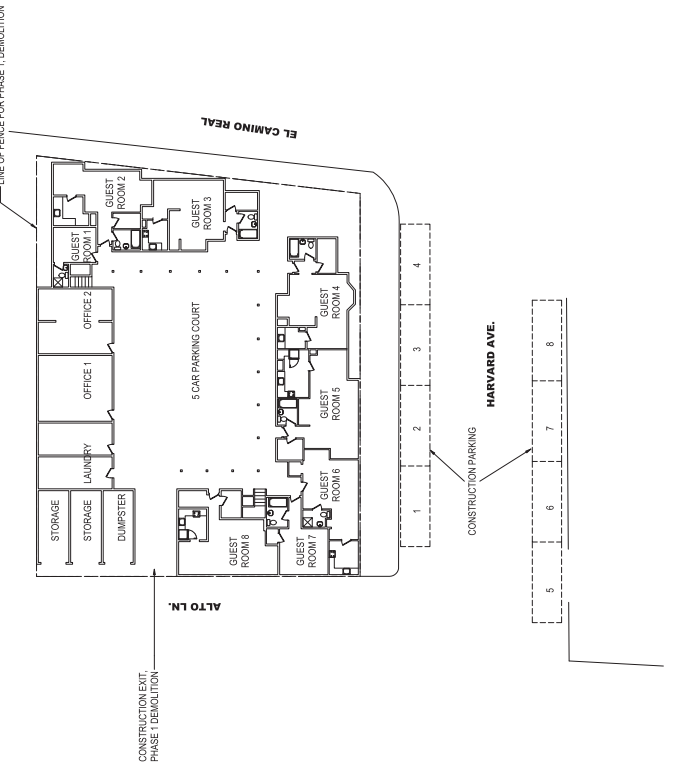
DUCTLESS GARAGE VENTILATION - MANUFACTURER INFORMATION SHEET

The JetVent Fan system has a desiccant-based (compressor) design with a ventilation rate of 0.75 cfm per ft². This meets the requirements of the 2016 CBC section 403.7.2 and table 403.7.

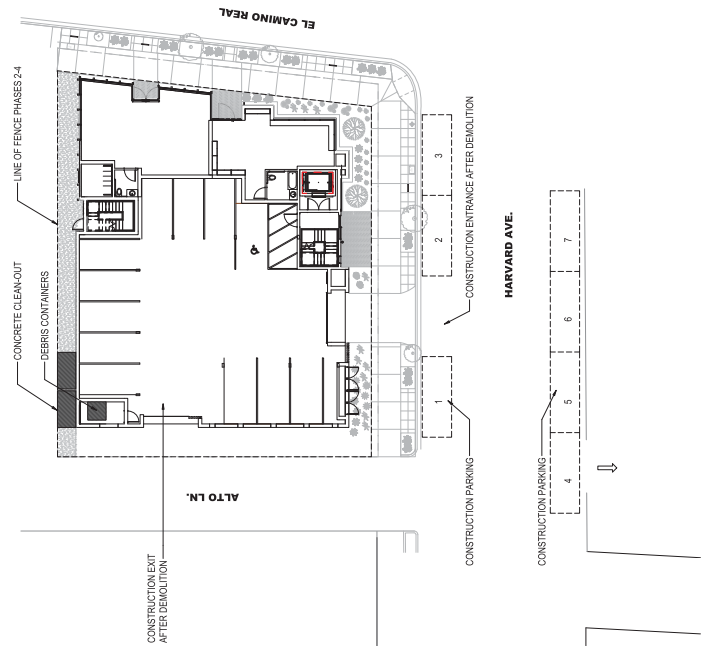
The equipment is suspended from the ceiling in the parking garage.



1 ELEVATION NORTH - INTERIOR SIDE %OPENINGS
SCALE: 1/8" = 1'-0"



1 CONSTRUCTION PHASING DIAGRAM - DEMOLITION
SCALE: 1/8" = 1'-0"



2 CONSTRUCTION PHASING DIAGRAM - NEW CONSTRUCTION
SCALE: 1/8" = 1'-0"

- NOTES:**
- PHASE 1: 2 MONTHS
CONSTRUCTION FENCING ALONG PROPERTY LINE. REMOVAL OF EXISTING BUILDING AND SITE IMPROVEMENTS. GRADING OF BUILDING PAD, EQUIPMENT, PARKING, AND SUPPLIES WITHIN CONSTRUCTION FENCING. CONSTRUCTION WORKER PARKING ALONG HARVARD AVE. 5 SPACES NEEDED.
 - PHASE 2: 3 MONTHS
OFFSITE UNDERGROUND UTILITIES INSTALLATION. DRAINAGE AND FOUNDATION INSTALLATION. PARKING AND DRIVEWAY SUBGRADE AND BASECOURSE. DEBRIS BOX AND SUPPLIES DELIVERED WITHIN FENCED SITE. CONSTRUCTION WORKER PARKING ALONG HARVARD AVE AND WITHIN FENCED SITE. 8 SPACES NEEDED.
 - PHASE 3: 12 MONTHS
BUILDING IMPROVEMENT INSTALLATION. MINIMAL SITE WORK. CONSTRUCTION WORKER PARKING NEEDED 6-12 SPACES AVAILABLE WITHIN SITE AND 7 SPACES ALONG HARVARD AVE. DELIVERIES WITHIN FENCED SITE.
 - PHASE 4: 6 WEEKS
SITE WORK IMPROVEMENTS. CITY PROPERTY IMPROVEMENTS. CONSTRUCTION WORKER PARKING NEEDED 8-12 SPACES ALONG HARVARD AVE. AND AL TO LN. ALL PHASES TO MAINTAIN EXISTING SIDEWALK AVAILABLE FOR PUBLIC USE UNTIL PHASE 4 WORK. REMOVAL OF ALL CONSTRUCTION ACTIVITY END OF PHASE 4.

REVISONS	BY



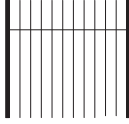
LEVY
ART + ARCHITECTURE
105 POTTERSGO AVE. STE 200
SAN FRANCISCO, CA 94102
415.641.7200
levya.com



115 EL CAMINO
MENLO PARK, CA 94025

DESCRIPTION	DATE
DRAWN FOR PHASING	04/20/21
DATE	04/20/21
DATE	1/17/17
DRAWN	JM
JOB	115 EL CAMINO
SHEET	

G0.7



LEVY
ART + ARCHITECTURE

115 POTrero AVE. STE. 500
SAN FRANCISCO, CA 94109
415.441.7200
levy.com



115 EL CAMINO
MENLO PARK, CA 94025

Description	EXISTING PHOTOS
Rev	04/02/2019
Date	
Drawn	MLT
Job	115 EL CAMINO
Sheet	

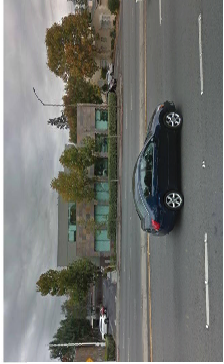
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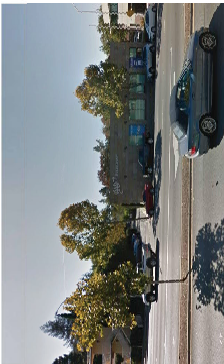
115 EL CAMINO REAL



144 EL CAMINO REAL



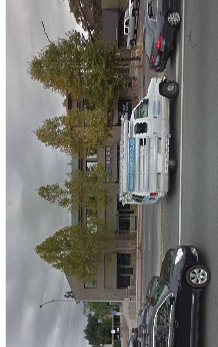
89 EL CAMINO REAL



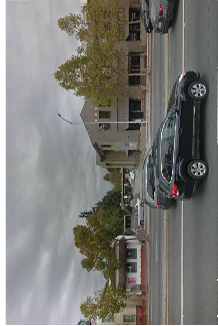
65 EL CAMINO REAL



201-211 EL CAMINO REAL



146 EL CAMINO REAL



156 EL CAMINO REAL



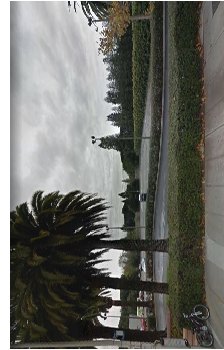
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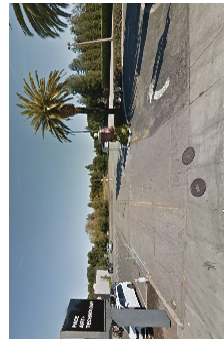
STANFORD PARK HOTEL PARKING



STANFORD PARK HOTEL PARKING



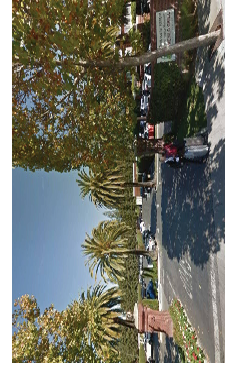
STANFORD PARK HOTEL PARKING



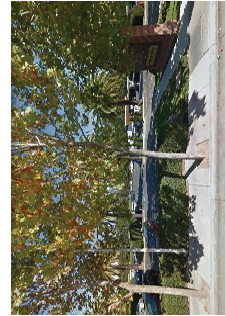
STANFORD PARK HOTEL PARKING



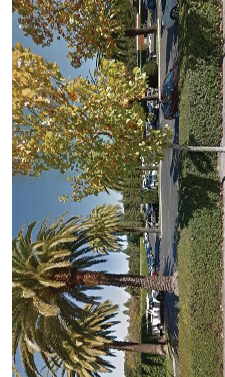
STANFORD PARK HOTEL PARKING



STANFORD PARK HOTEL PARKING

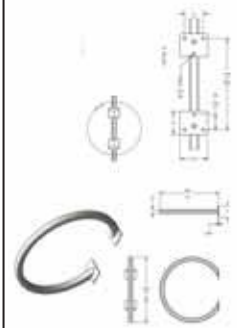


STANFORD PARK HOTEL PARKING

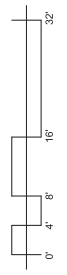
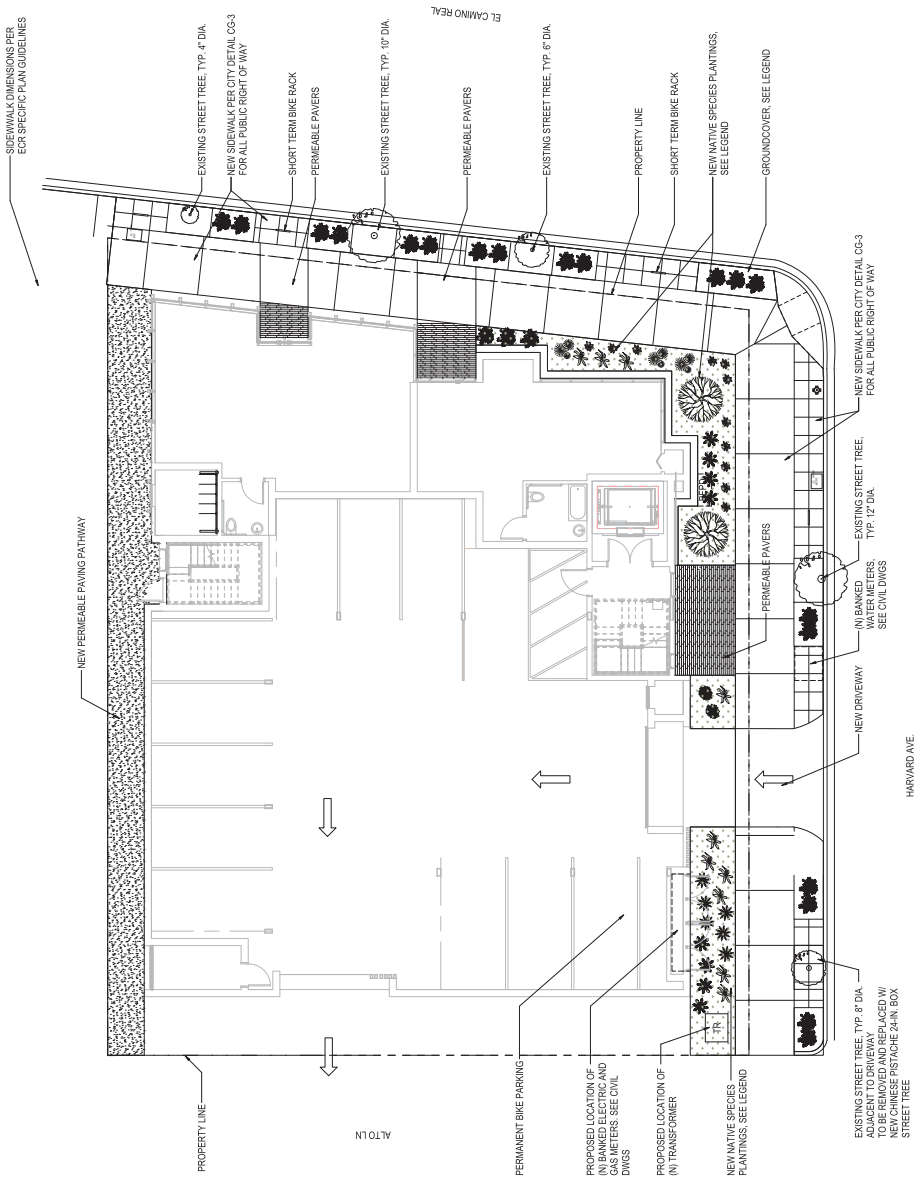


STANFORD PARK HOTEL PARKING

NOTE: 500 ECR PRODUCT WILL BE DEVELOPED ACROSS THE STREET FROM THIS PROPOSAL



SHORT TERM BIKE PARKING DETAILS



1 LANDSCAPE PLAN
SCALE: 1/8" = 1'-0"



EXISTING STREET TREE

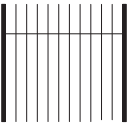
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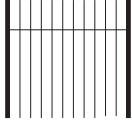
L1.0
Sheet

115 EL CAMINO
MENLO PARK, CA 94025



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ART + ARCHITECTURE
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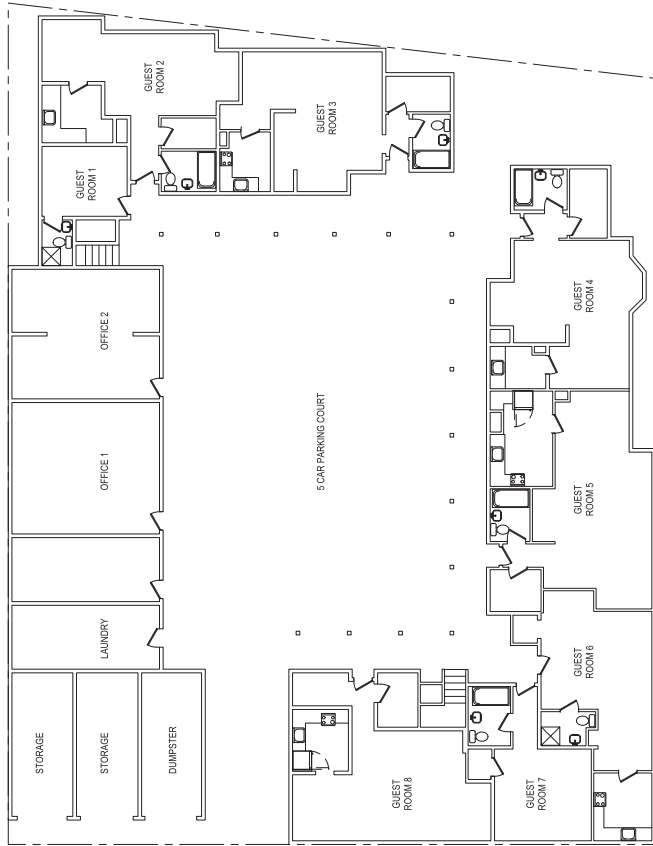
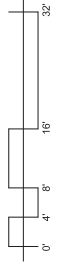
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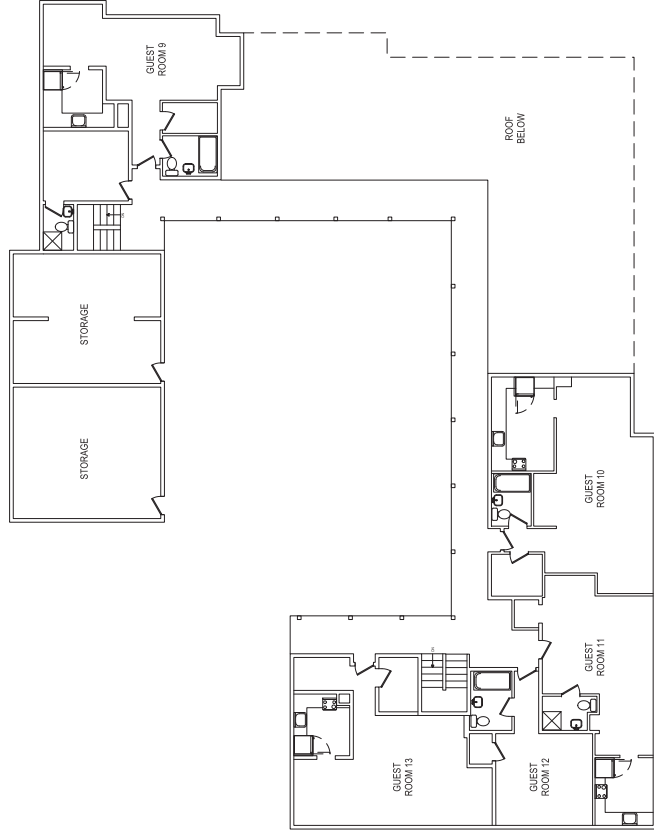
115 EL CAMINO
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Drawings	EXISTING PLANS
Rev	04/02/2019
Scale	1/8" = 1'-0"
Drawn	MJT
Job	115 EL CAMINO
Sheet	

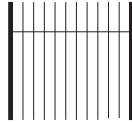
A0.1



1 EXISTING FIRST FLOOR PLAN - TO BE DEMOLISHED
SCALE: 1/8" = 1'-0"



2 EXISTING SECOND FLOOR PLAN - TO BE DEMOLISHED
SCALE: 1/8" = 1'-0"



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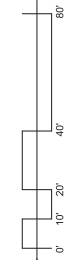
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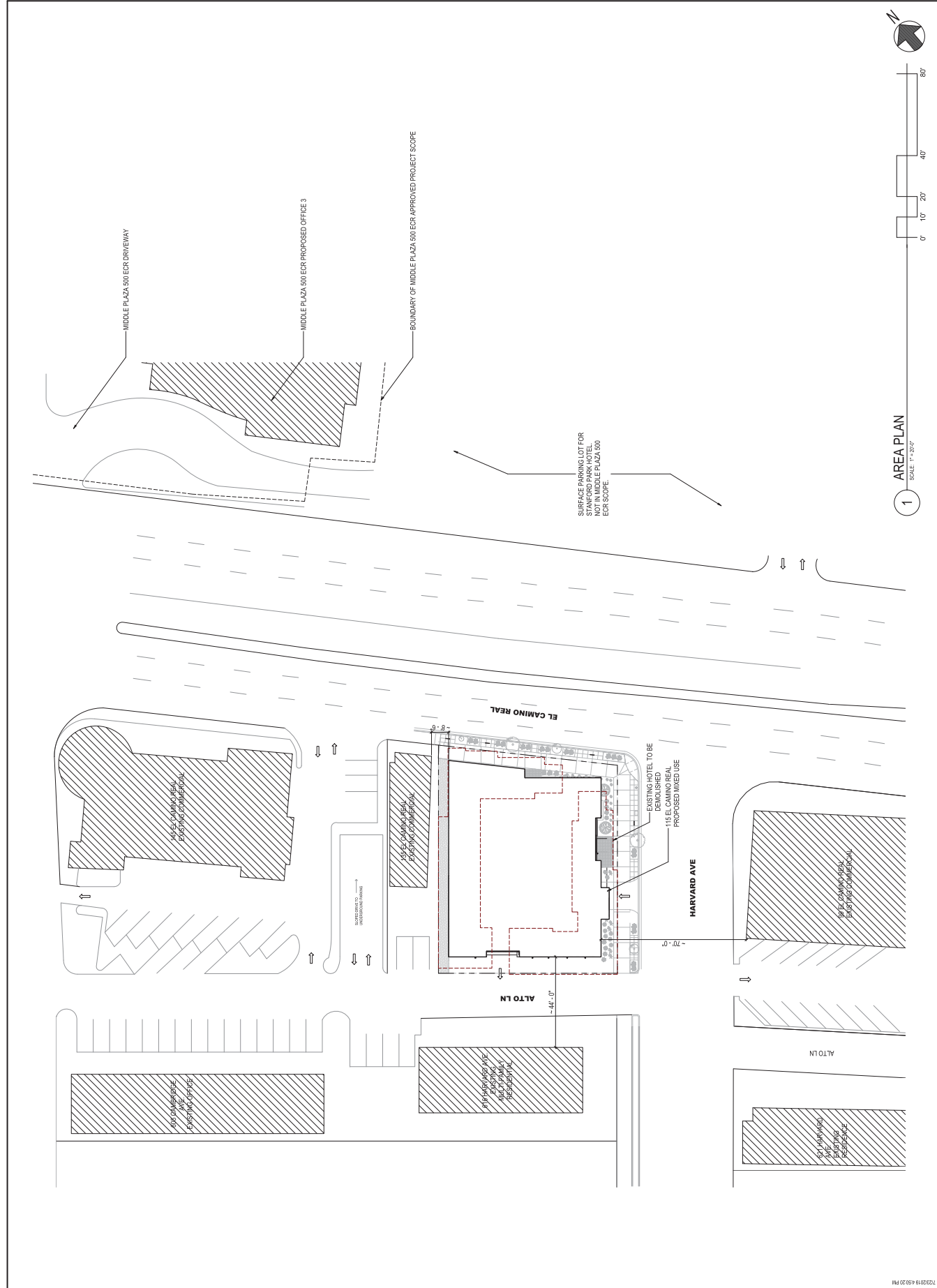
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Description	PROJECT PLAN
Drawn	04/02/2019
Scale	1" = 20'-0"
Drawn	MJT
Job	115 EL CAMINO
Sheet	

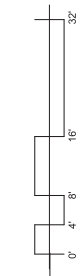
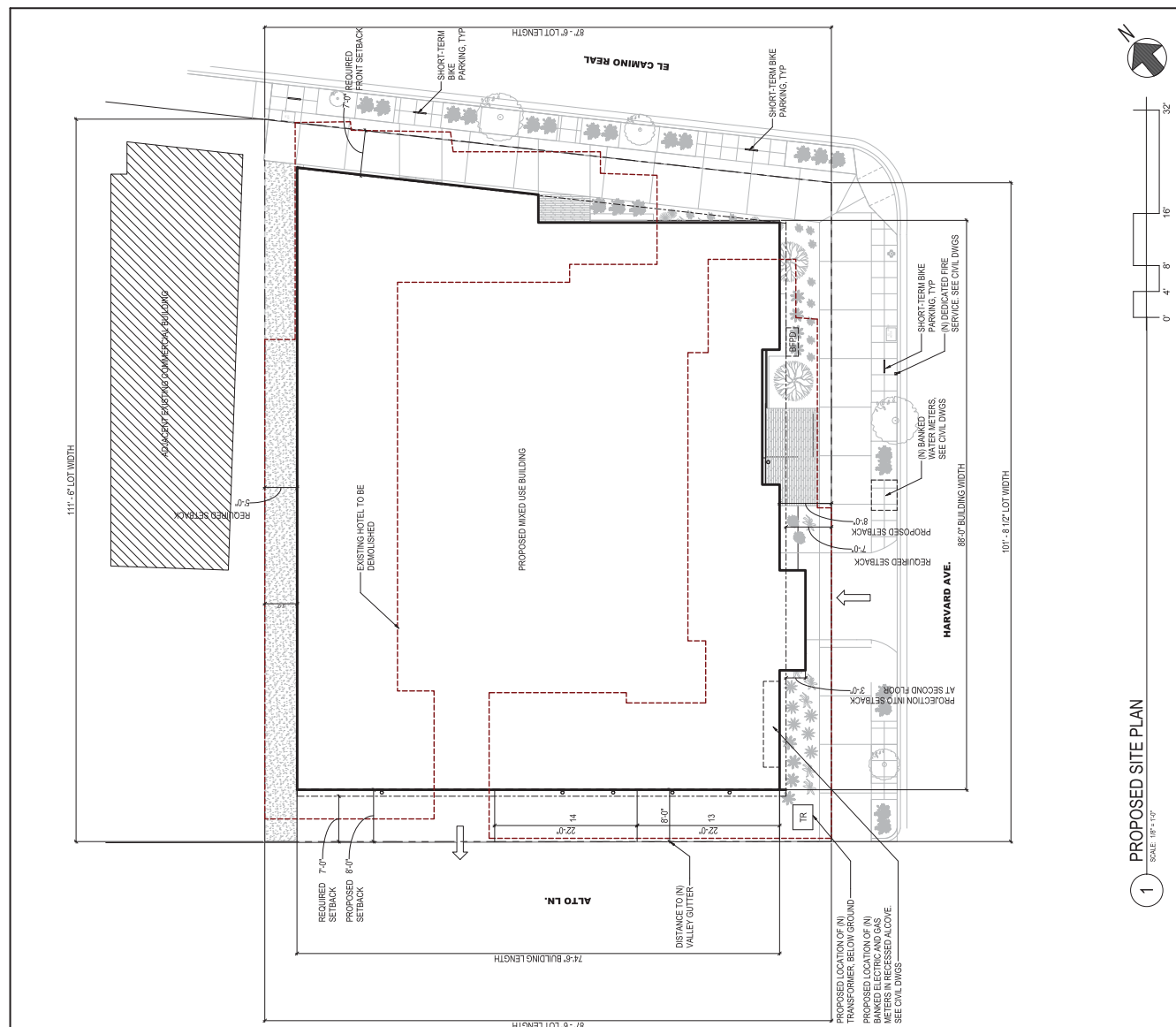
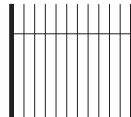
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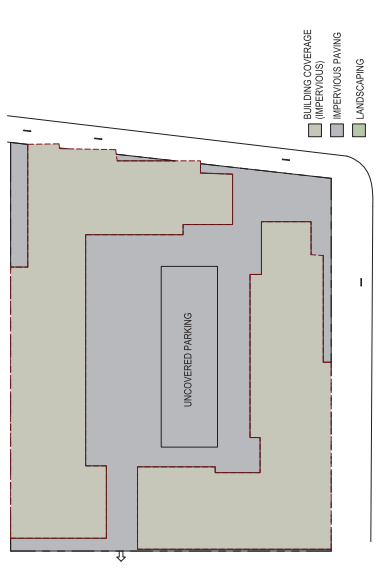
1 AREA PLAN
SCALE: 1" = 20'-0"



7/20/2019 4:50:20 PM



1 PROPOSED SITE PLAN
 SCALE: 1/8" = 1'-0"



EXISTING SITE PLAN COVERAGE AREAS
 1/8" = 1'-0"



PROPOSED SITE PLAN COVERAGE AREAS
 1/8" = 1'-0"

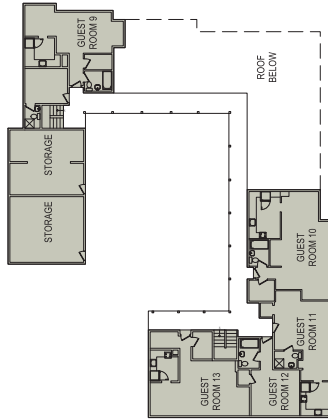
PROPOSED SITE PLAN AREAS	EXISTING SITE PLAN AREAS	PROPOSED OPEN SPACE
CLASSIFICATION	CLASSIFICATION	AREA
SF	SF	SF
6,589	5,284	1,580
BUILDING COVERAGE (IMPERVIOUS)	BUILDING COVERAGE (IMPERVIOUS)	OS LEVEL 1
1,286	3,468	1,068.75
IMPERVIOUS PAVING	IMPERVIOUS PAVING	OS LEVEL 2
314	0	0
FERVIOUS PAVING	FERVIOUS PAVING	OS LEVEL 3
557	0	2,273.5
LANDSCAPING	LANDSCAPING	TOTAL SF
		4,902.25
		47.7%

SITE PLAN COVERAGE AREA CALCS

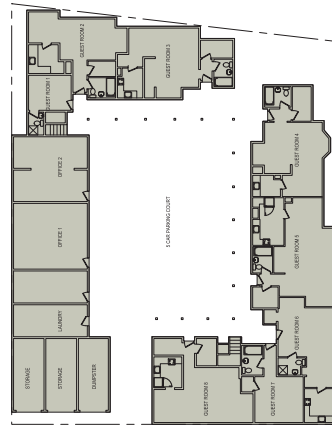
GFA TOTALS	FAR
EXISTING TOTAL GFA	8,882.75 SF
EXISTING FAR	.96
PROPOSED TOTAL GFA	10,261.75 SF
PROPOSED FAR	1.1

PROPOSED GFA	PROPOSED FAR
PROPOSED FIRST FLOOR	2001.75 SF
PROPOSED SECOND FLOOR	5240.75 SF
PROPOSED THIRD FLOOR	3019.25 SF
PROPOSED TOTAL GFA	10,261.75 SF
MAX ALLOWABLE GFA	10,261.9 SF

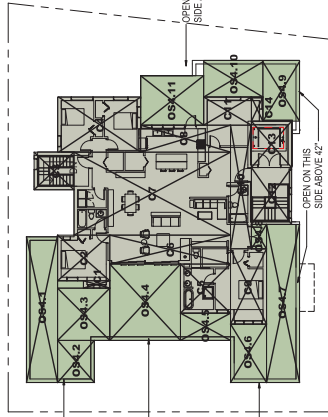
OPEN SPACE TOTALS	OPEN SPACE FAR
GROUND FLOOR	1580 SF
UNIT 1	272.25 SF
UNIT 2	322.75 SF
UNIT 3	473.75 SF
UNIT 4	2273.5 SF
TOTAL	4902.25 SF
	47.7%



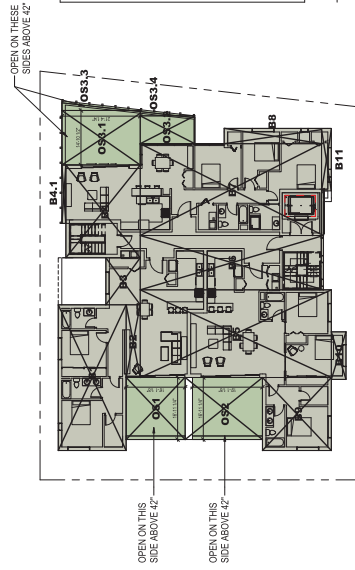
EXISTING SECOND FLOOR PLAN - AREA
1/8" = 1'-0"



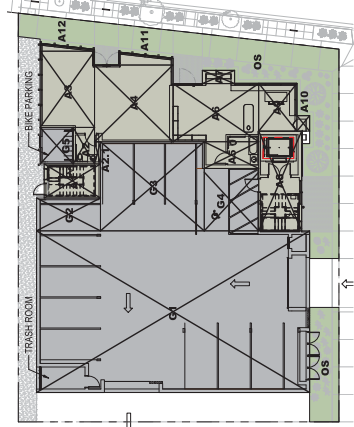
EXISTING FIRST FLOOR PLAN - AREA
1/8" = 1'-0"



THIRD FLOOR SF POLYGONS
1/8" = 1'-0"



SECOND FLOOR SF POLYGONS
1/8" = 1'-0"



FIRST FLOOR SF POLYGONS
1/8" = 1'-0"

THIRD FLOOR GFA		PRIVATE OPEN SPACE	
AREA	DIMENSIONS	AREA	DIMENSIONS
C1	2'-0" x 7'-0"	OS4.1	39'-9" x 6'-9"
C2	12'-5" x 14'-2"	OS4.2	11'-6" x 10'-0"
C3	15'-3" x 12'-0"	OS4.3	20'-0" x 14'-5"
C4	15'-0" x 12'-0"	OS4.4	30'-0" x 14'-5"
C5	13'-4" x 13'-6"	OS4.5	7'-9" x 13'-7"
C6	7'-10" x 13'-9"	OS4.6	15'-11" x 9'-10"
C7	7'-0" x 13'-9"	OS4.7	6'-9" x 14'-1"
C8	7'-6" x 14'-6"	OS4.8	16'-2" x 10'-0"
C9	20'-5" x 9'-9"	OS4.9	16'-2" x 10'-0"
C10	33'-8" x 5'-8"	OS4.10	13'-8" x 11'-7"
C11	15'-6" x 10'-7"	OS4.11	13'-8" x 11'-7"
C12	15'-6" x 10'-7"	OS4.12	13'-8" x 11'-7"
C13	12'-7" x 10'-7"	OS4.13	13'-8" x 11'-7"
C14	6'-8" x 3'-0"	OS4.14	13'-8" x 11'-7"
TOTAL GFA		OS4 TOTAL	2273.5 UNIT 4
TOTAL SF	3019.25	TOTAL SF	2273.5

THIRD FLOOR PLAN SQUARE FOOTAGE CALCCS

SECOND FLOOR GFA		PRIVATE OPEN SPACE	
AREA	DIMENSIONS	AREA	DIMENSIONS
B1	39'-9" x 18'-6"	OS1	16'-11" x 18'-1"
B2	17'-0" x 3'-9"	OS2	16'-11" x 18'-1"
B3	17'-0" x 3'-9"	OS3.1	14'-0" x 21'-4"
B4	25'-3" x 20'-3"	OS3.2	CAD AREA CALC' 30.25
B5	16'-0" x 1'-1"	OS3.3	CAD AREA CALC' 12.5
B6	14'-9" x 50'-0"	OS3.4	CAD AREA CALC' 12.5
B7	25'-0" x 49'-5"	OS3 TOTAL	473.5 UNIT 3
B8	4'-9" x 26'-8"	TOTAL SF	5940.75
B9	12'-0" x 42'-0"	TOTAL SF	1088.75
B10	12'-0" x 42'-0"		
B11	17'-0" x 2'-5"		
TOTAL GFA			
TOTAL SF	5940.75		

SECOND FLOOR PLAN SQUARE FOOTAGE CALCCS

GROUND FLOOR GFA		GARAGE SF CALC	
AREA	DIMENSIONS	AREA	DIMENSIONS
A1	9'-3" x 15'-4"	G1	44'-11" x 74'-6"
A2	6'-0" x 11'-7"	G2	24'-3" x 23'-3"
A3	20'-9" x 14'-0"	G3	24'-3" x 23'-3"
A4	7'-0" x 14'-0"	G4	18'-0" x 14'-10"
A5	15'-10" x 23'-4"	G5	10'-0" x 8'-10"
A6	15'-10" x 23'-4"	TOTAL SF	4450
A7	3'-6" x 8'-9"		
A8	11'-0" x 11'-0"		
A9	11'-0" x 11'-0"		
A10	11'-0" x 11'-0"		
A11	11'-0" x 11'-0"		
A12	11'-0" x 11'-0"		
TOTAL GFA	2001.75	OS	CAD AREA CALC' 1560
TOTAL SF	2001.75		

FIRST FLOOR PLAN SQUARE FOOTAGE CALCCS

*CAD AREA CALC TAKEN USING REVIT BIM SOFTWARE AREA COMMAND FOR NON ORTHOGONAL SHAPES



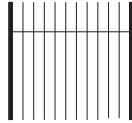
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SQUARE FOOTAGE CALC PANS	
Drawn	AS/MS/MSR
Check	AS/MS/MSR
Job	115 EL CAMINO
Sheet	A0.4

A0.4



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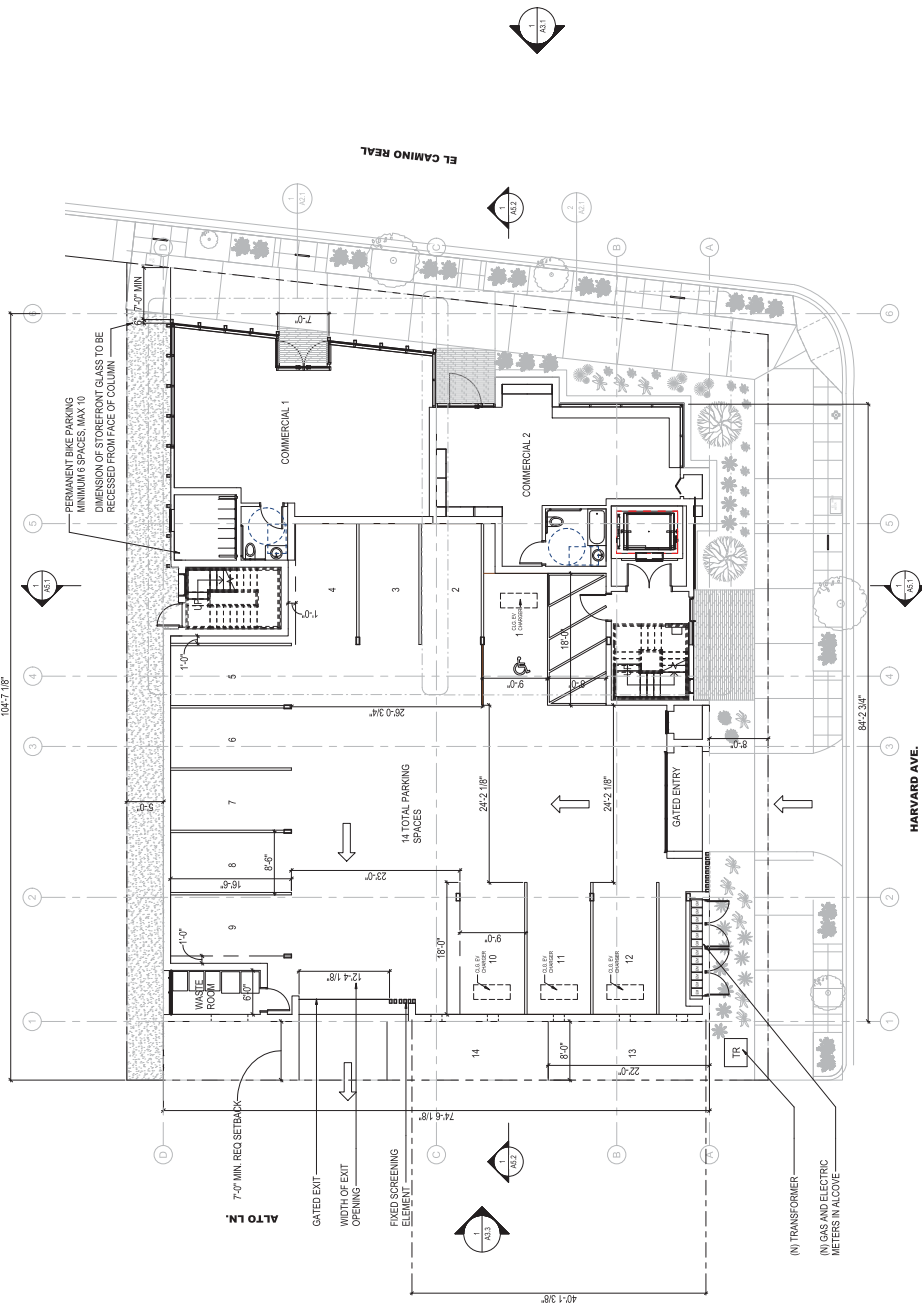
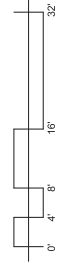
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Drawing: 03/24/2019 FLOOR PLAN, LEVEL 1	
Date:	04/02/2019
Scale:	1/8" = 1'-0"
Drawn:	MJT
Job:	115 EL CAMINO
Sheet:	A1.1

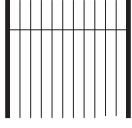
A1.1



EXISTING WALL TO REMAIN
EXISTING WALL TO BE REMOVED
PROPOSED WALL
FIRE RATED WALL (1-HOUR U.O.N.)



1 PROPOSED LEVEL ONE FLOOR PLAN
SCALE: 1/8" = 1'-0"



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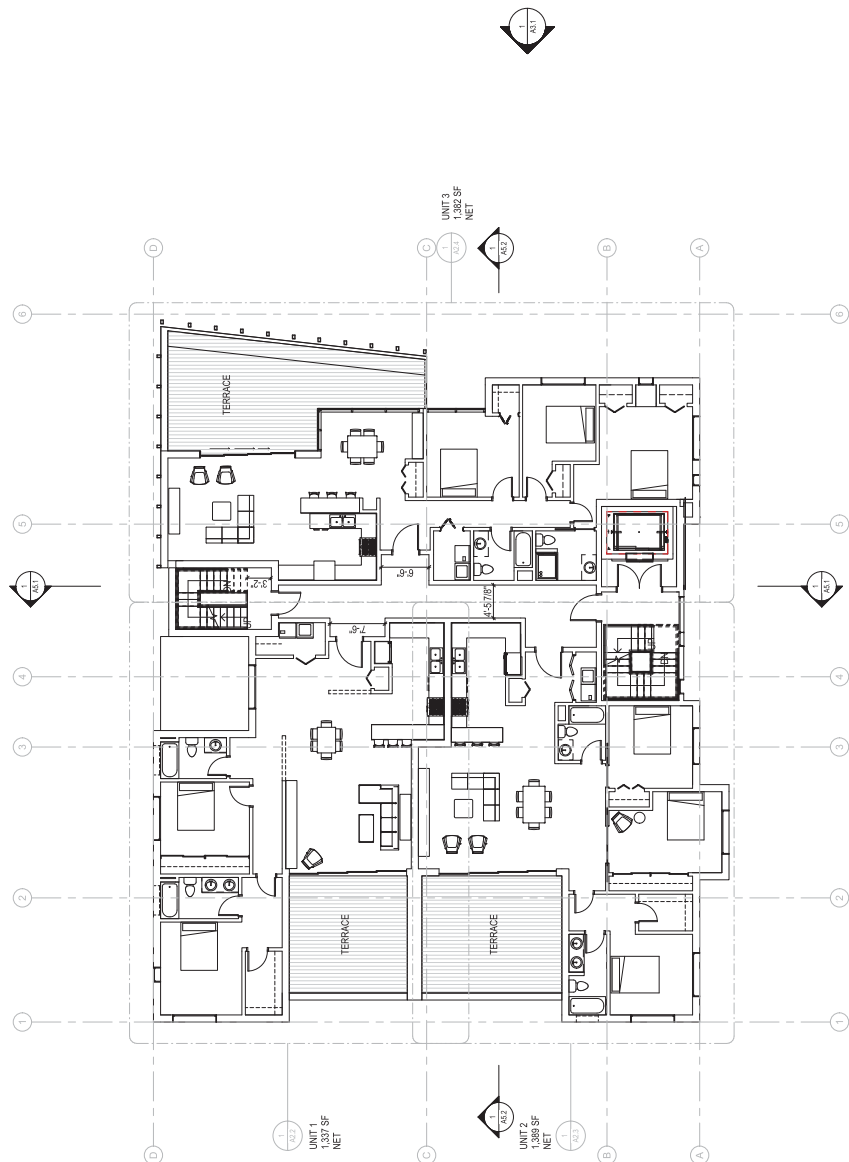
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Discipline: CONSTRUCTION PLAN, LEVEL 2
Date: 04/02/2019
Scale: 1/8" = 1'-0"
Drawn: M.T.
Job: 115 EL CAMINO
Sheet

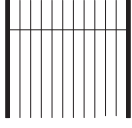
A1.2



1 PROPOSED LEVEL TWO FLOOR PLAN
SCALE: 1/8" = 1'-0"

EXISTING WALL TO REMAIN
EXISTING WALL TO BE REMOVED
PROPOSED WALL
FIRE RATED WALL (1-HOUR U.O.N.)





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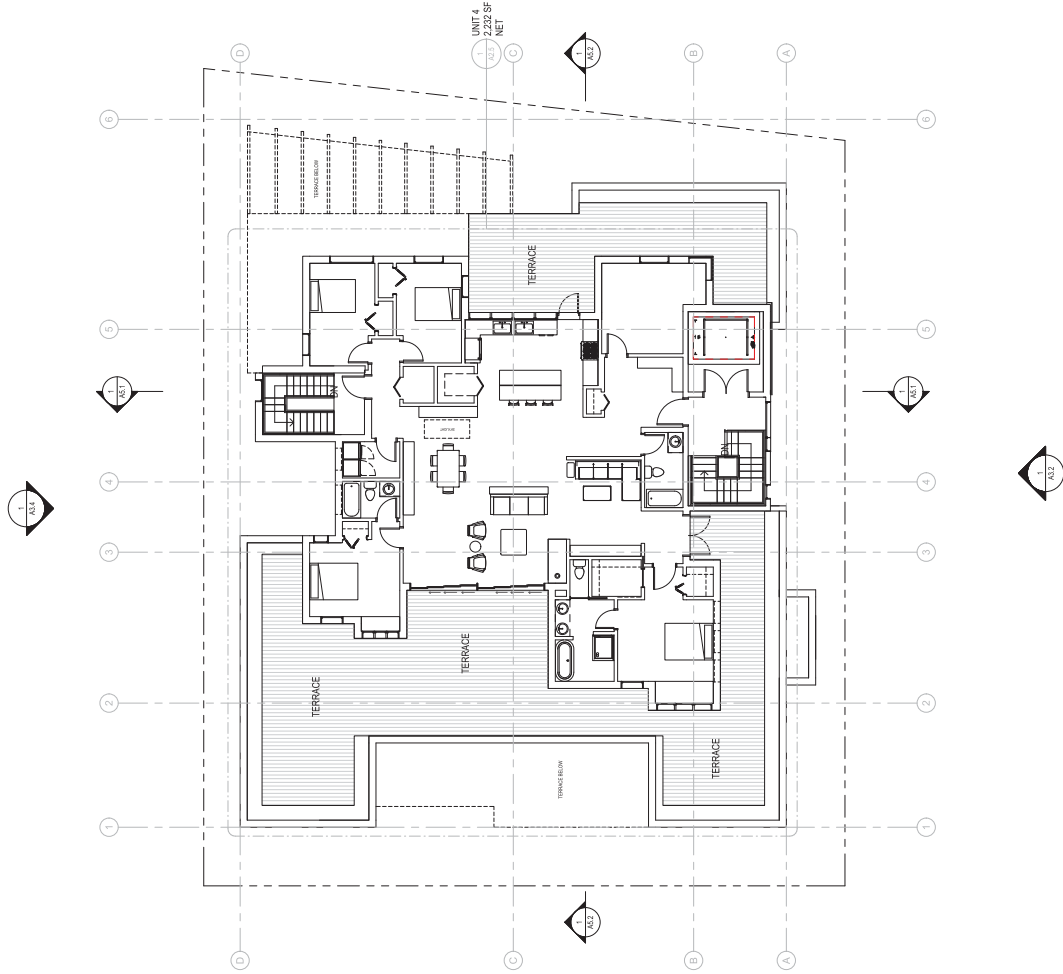
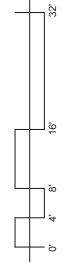
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Discipline	CONCRETE FLOOR PLAN, LEVEL 3
Rev	04/02/2019
Date	04/02/2019
Scale	1/8" = 1'-0"
Drawn	AJL/xyz
Job	115 EL CAMINO
Sheet	

A1.3

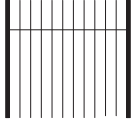


EXISTING WALL TO REMAIN
 EXISTING WALL TO BE REMOVED
 PROPOSED WALL
 FIRE RATED WALL (1-HOUR U.O.N.)



1 PROPOSED LEVEL THREE FLOOR PLAN

SCALE: 1/8" = 1'-0"



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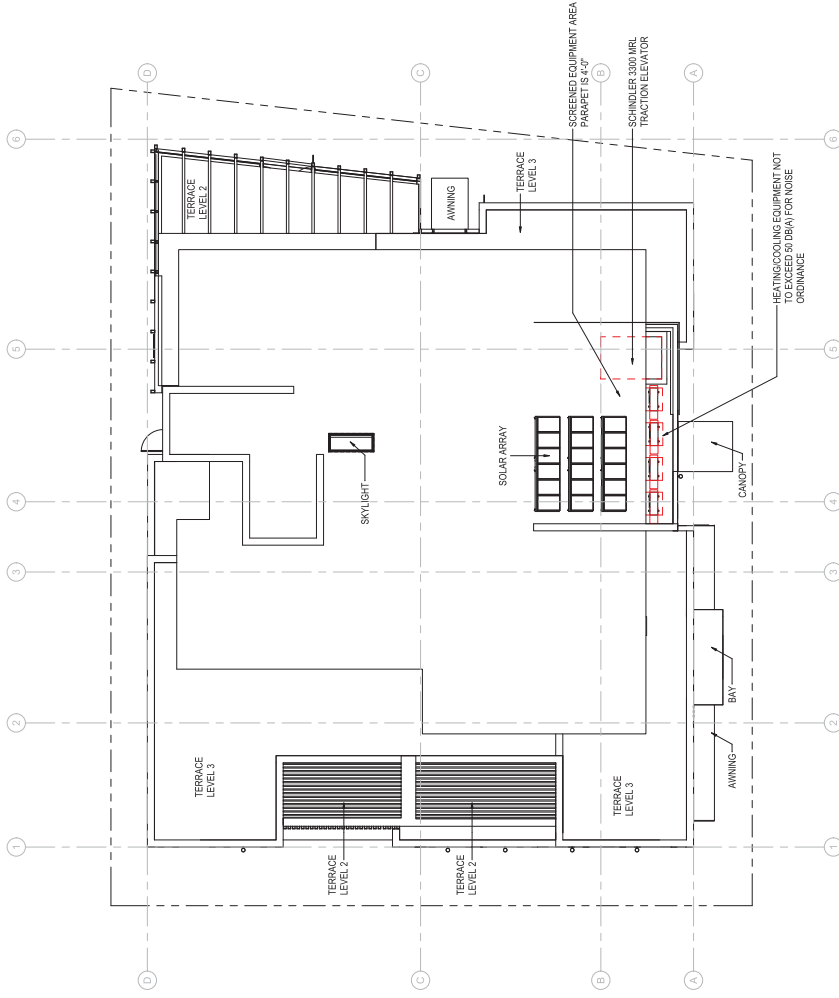
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Description	ROOF PLAN
Rev	04/02/2019
Date	10" x 11"
Drawn	MJT
Job	115 EL CAMINO
Sheet	A1.4

A1.4



EXISTING WALL TO REMAIN
 EXISTING WALL TO BE REMOVED
 PROPOSED WALL
 FIRE RATED WALL (1-HOUR U.O.I.)



1 ROOF PLAN
SCALE: 1/8" = 1'-0"

REVISIONS	BY



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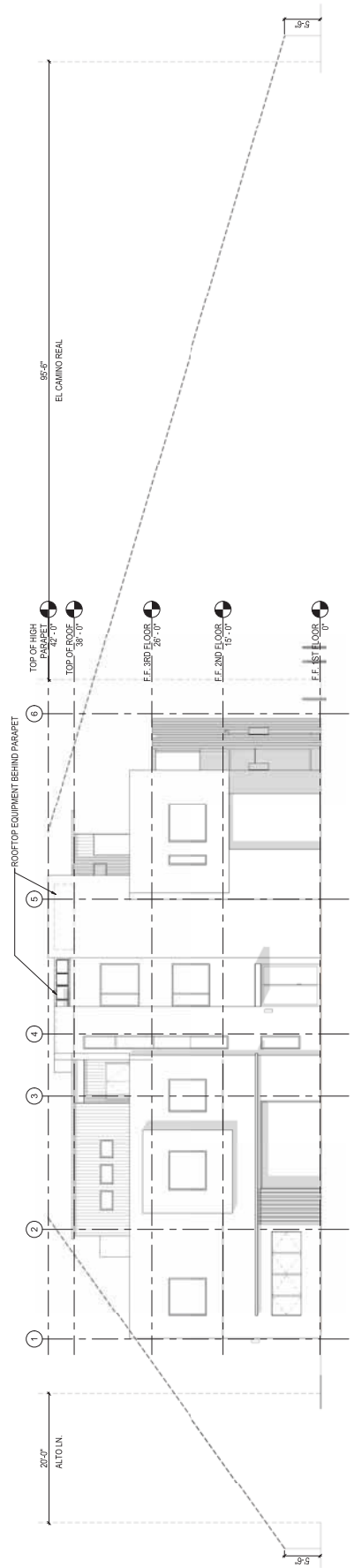
115 POTTERIO AVE. STE 500
SAN FRANCISCO, CA 94102
415.641.7200
levy@a.com



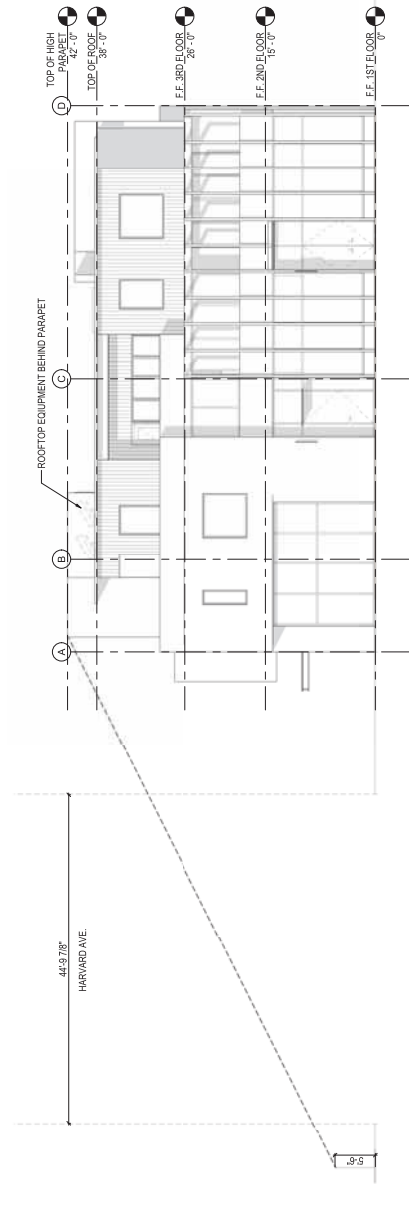
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Description	LINE OF SIGHT - PARAPETS
Rev	04/03/2019
Scale	1/8" = 1'-0"
Drawn	MJT
Job	115 EL CAMINO
Sheet	

A1.5

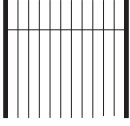


2 LINE OF SIGHT FACING HARVARD AVE.
SCALE: 1/8" = 1'-0"



1 LINE OF SIGHT FACING EL CAMINO REAL
SCALE: 1/8" = 1'-0"

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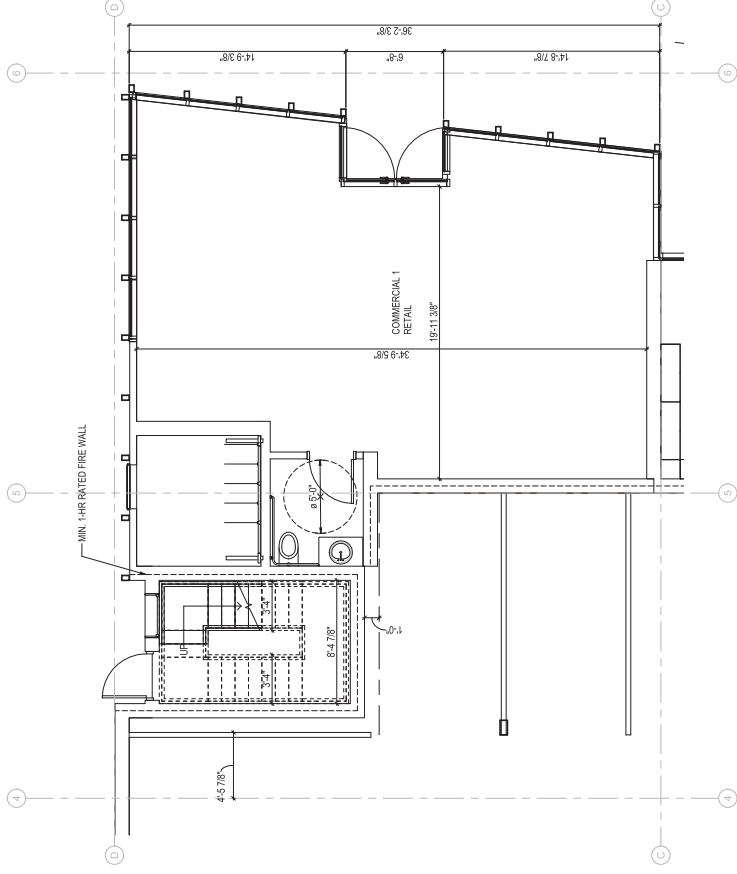
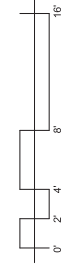
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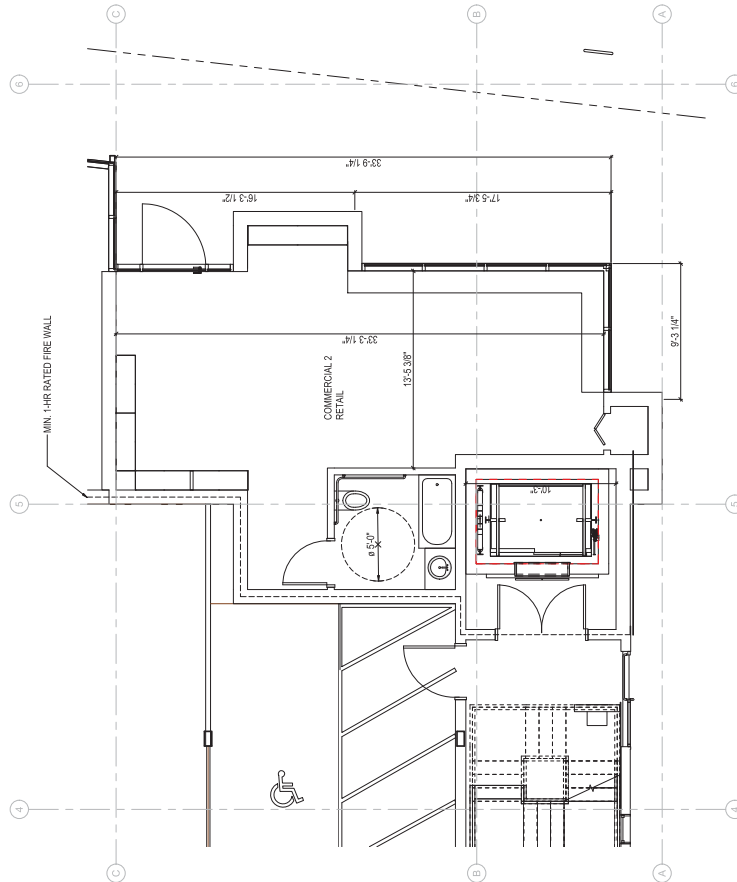
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Project	115 EL CAMINO
Client	115 EL CAMINO
Architect	LEVY ARCHITECTURE
Date	04/02/2019
Scale	1/4" = 1'-0"
Drawn	MJT
Job	115 EL CAMINO
Sheet	A2.1

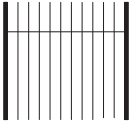
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1 LEVEL ONE COMMERCIAL 1 FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 LEVEL ONE COMMERCIAL 2 FLOOR PLAN
SCALE: 1/4" = 1'-0"



LEVY
ART + ARCHITECTURE

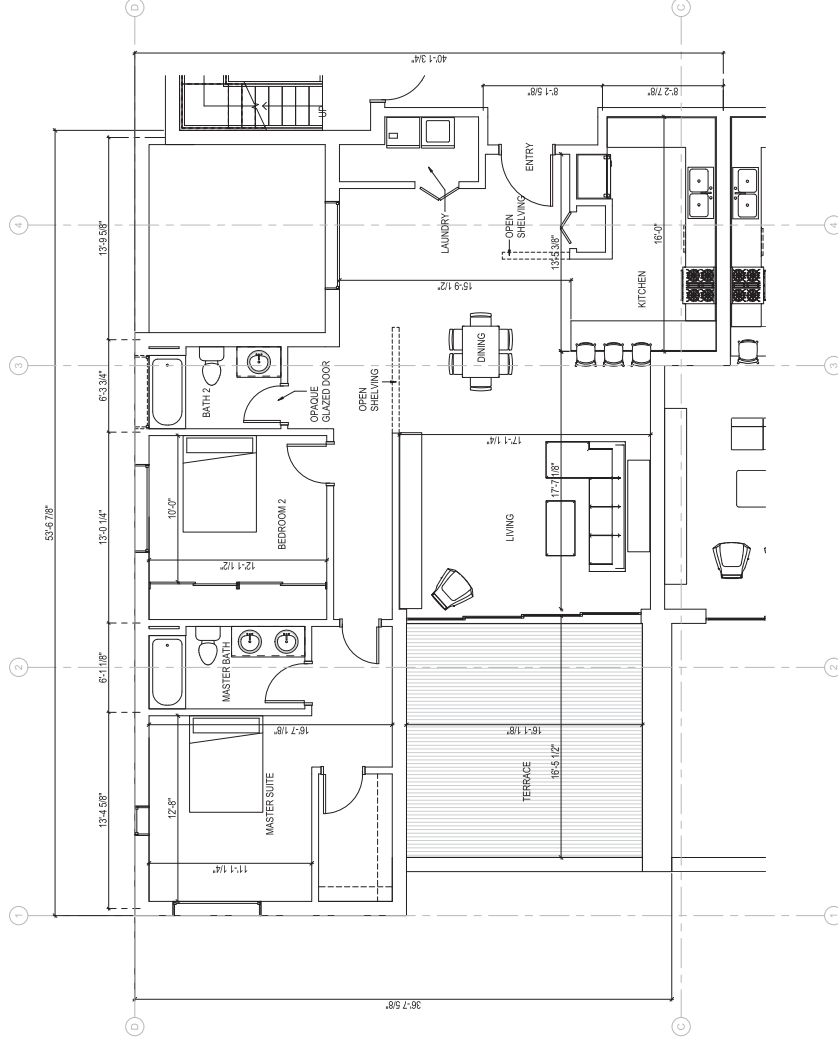
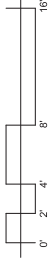
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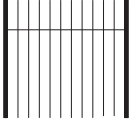
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Discipline	RESIDENT UNIT PLAN
Date	04/02/2019
Scale	1/4" = 1'-0"
Drawn	MJT
Job	115 EL CAMINO
Sheet	

A2.2



1 LEVEL TWO UNIT 1 FLOOR PLAN
SCALE: 1/4" = 1'-0"



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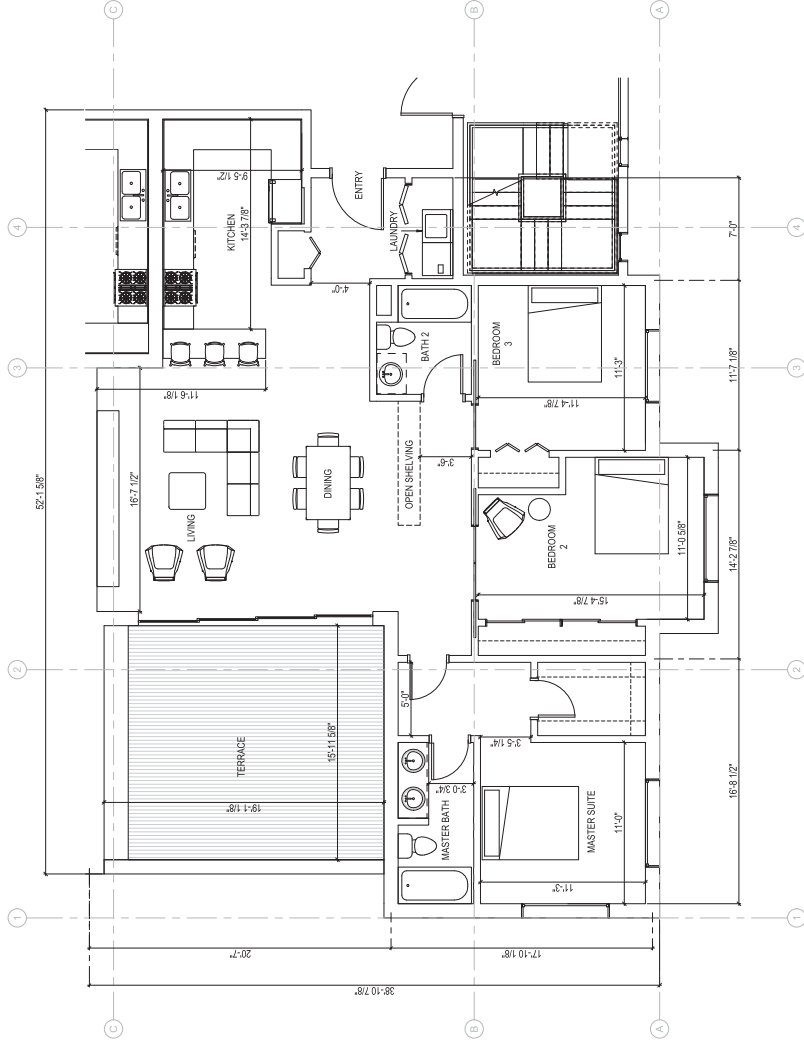
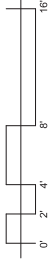
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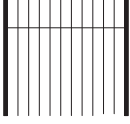
Revised	04/20/19
Drawn	1/11/19
Job	115 EL CAMINO
Sheet	

A2.3



1 LEVEL TWO UNIT 2 FLOOR PLAN

SCALE: 1/8" = 1'-0"



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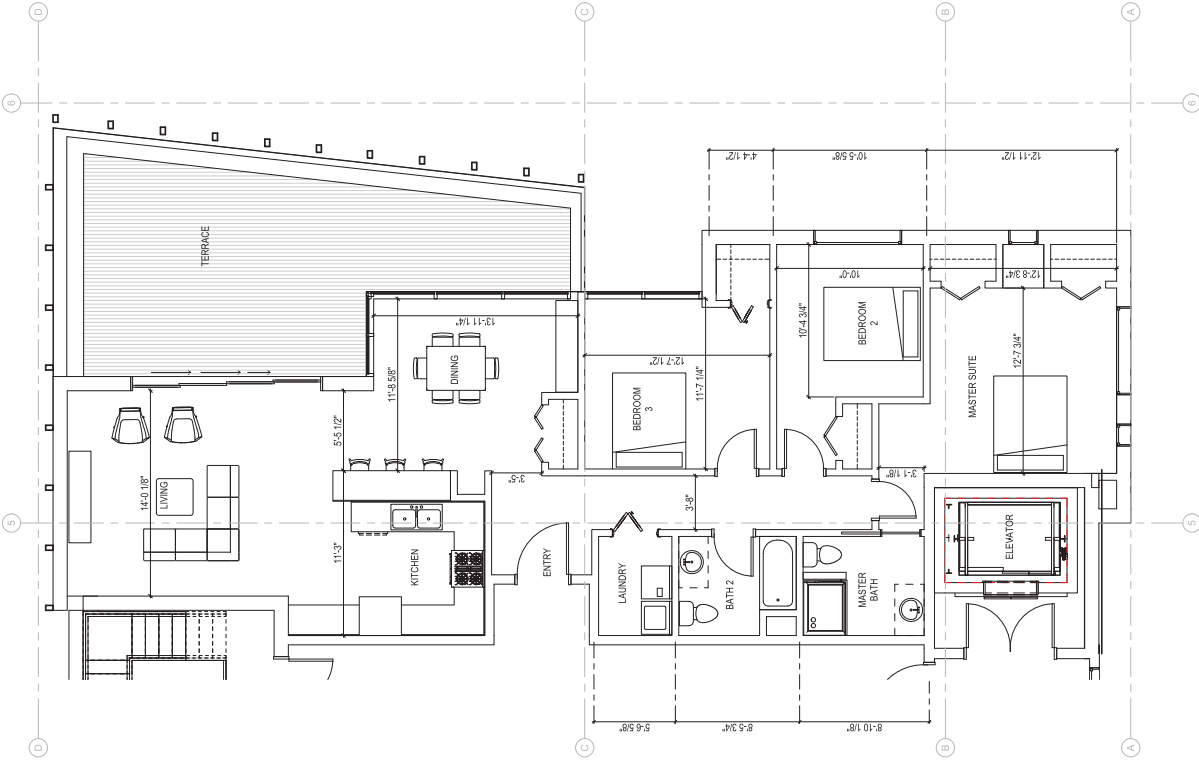
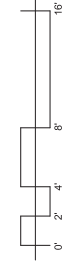
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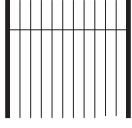
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Developing UNIT 3 PLAN
Date 04/02/2019
Scale 1/4" = 1'-0"
Drawn M.T.
Job 115 EL CAMINO
Sheet

A2.4



1 LEVEL TWO UNIT 3 FLOOR PLAN
SCALE: 1/4" = 1'-0"



LEVY
ART + ARCHITECTURE

165 POTrero AVE. STE. 500
SAN FRANCISCO, CA 94102
415.641.7200
levy.com



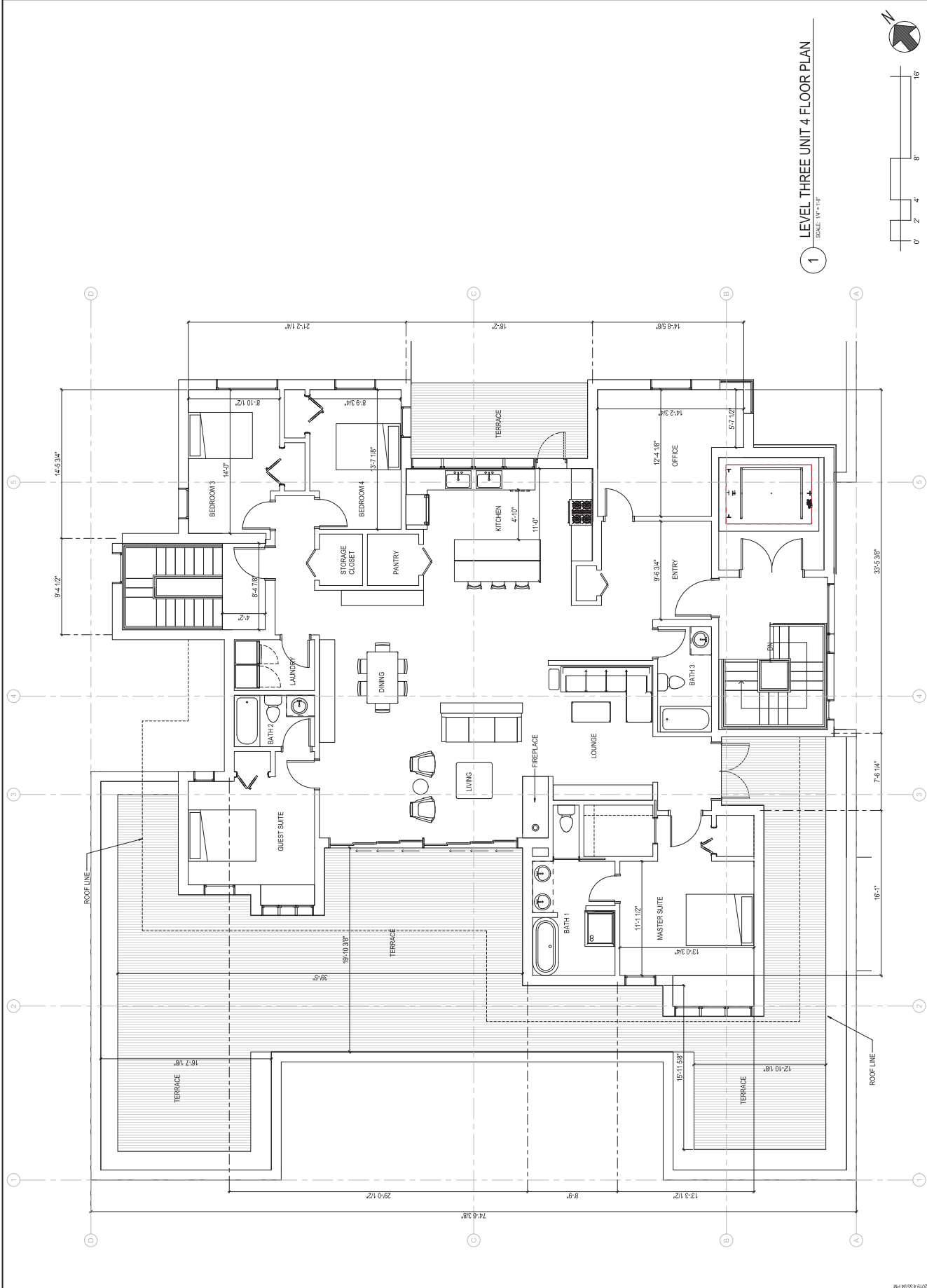
115 EL CAMINO
MENLO PARK, CA 94025

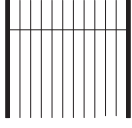
Developing UNIT F PLAN
Date 04/02/2019
Scale 1/4" = 1'-0"
Drawn M.T.
Job 115 EL CAMINO
Sheet

A2.5

1 LEVEL THREE UNIT 4 FLOOR PLAN

SCALE 1/4" = 1'-0"





LEVY
ARCHITECTURE

105 POTrero AVE. STE. 500
SAN FRANCISCO, CA 94102
415.641.7200
levy.com



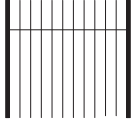
115 EL CAMINO
MENLO PARK, CA 94025

Recording	OSTERER
Drawn	ELIZABETH
Scale	1/4" = 1'-0"
Date	04/02/2019
Sheet	115 EL CAMINO
Job	MJT
Sheet	115 EL CAMINO

A3.1



1 ELEVATION EAST - FACING EL CAMINO REAL
SCALE: 1/4" = 1'-0"



LEVY
ARCHITECTURE

155 POTrero AVE. STE. 500
SAN FRANCISCO, CA 94109
415.641.7200
levy.com



115 EL CAMINO
MENLO PARK, CA 94025

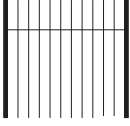
Discipline	EXTERIOR
Rev	04/02/2019
Date	11" x 17"
Drawn	MLT
Job	115 EL CAMINO
Sheet	

A3.2



1 ELEVATION SOUTH - FACING HARVARD AVE

SCALE: 1/4" = 1'-0"



LEVY
ARCHITECTURE

115 POTrero AVE. STE. 500
SAN FRANCISCO, CA 94102
415.841.7200
levy.com



115 EL CAMINO
MENLO PARK, CA 94025

DESCRIPTION	INTERIOR ELEVATION
DATE	04/02/2019
SCALE	1/4" = 1'-0"
DRAWN	AJ/ML
JOB	115 EL CAMINO
SHEET	

A3.3



1 ELEVATION WEST - FACING ALTO LN

SCALE 1/4" = 1'-0"

REVISIONS	BY



LEVY
ARCHITECTURE

165 POTrero AVE. STE. 500
SAN FRANCISCO, CA 94109
415.641.7200
levy.com



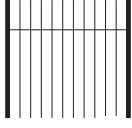
115 EL CAMINO
MENLO PARK, CA 94025

DESCRIPTION: INTERIOR
ELEVATION
DATE: 04/02/2019
SCALE: 1/4" = 1'-0"
DRAWN: MUT
JOB: 115 EL CAMINO
SHEET

A3.4



1 ELEVATION NORTH - INTERIOR SIDE
SCALE: 1/4" = 1'-0"



LEVY
ART + ARCHITECTURE

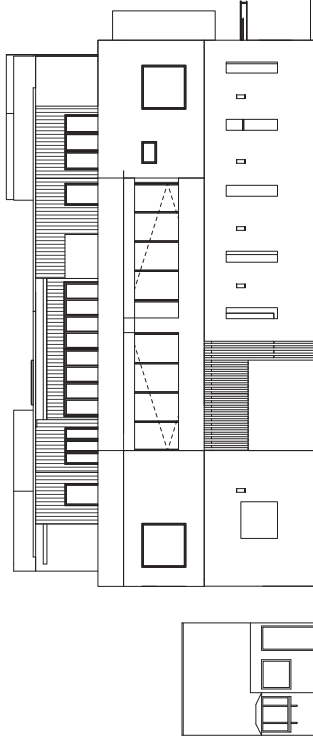
165 POTrero AVE. STE. 500
SAN FRANCISCO, CA 94109
415.641.7200
levy.com



115 EL CAMINO
MENLO PARK, CA 94025

DESCRIPTION
STREET SCAPES
Date 04/02/2019
Scale 1/8" = 1'-0"
Drawn M.T.
Job 115 EL CAMINO
Sheet

A4.1



135 EL CAMINO REAL

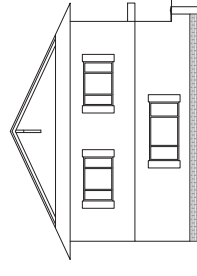
STREETSCAPE WEST ALONG ALTO LN.

SCALE: 1/8" = 1'-0"

3

HARVARD AVE.

99 EL CAMINO REAL



616 HARVARD AVE

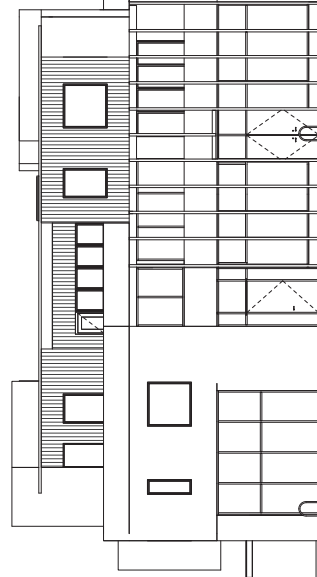
STREETSCAPE SOUTH ALONG HARVARD AVE.

SCALE: 1/8" = 1'-0"

2

115 EL CAMINO REAL

ALTO LN



99 EL CAMINO REAL

STREETSCAPE EAST ALONG EL CAMINO REAL

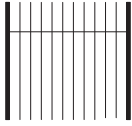
SCALE: 1/8" = 1'-0"

1

HARVARD AVE

115 EL CAMINO REAL

135 EL CAMINO REAL



LEVY
ARCHITECTURE

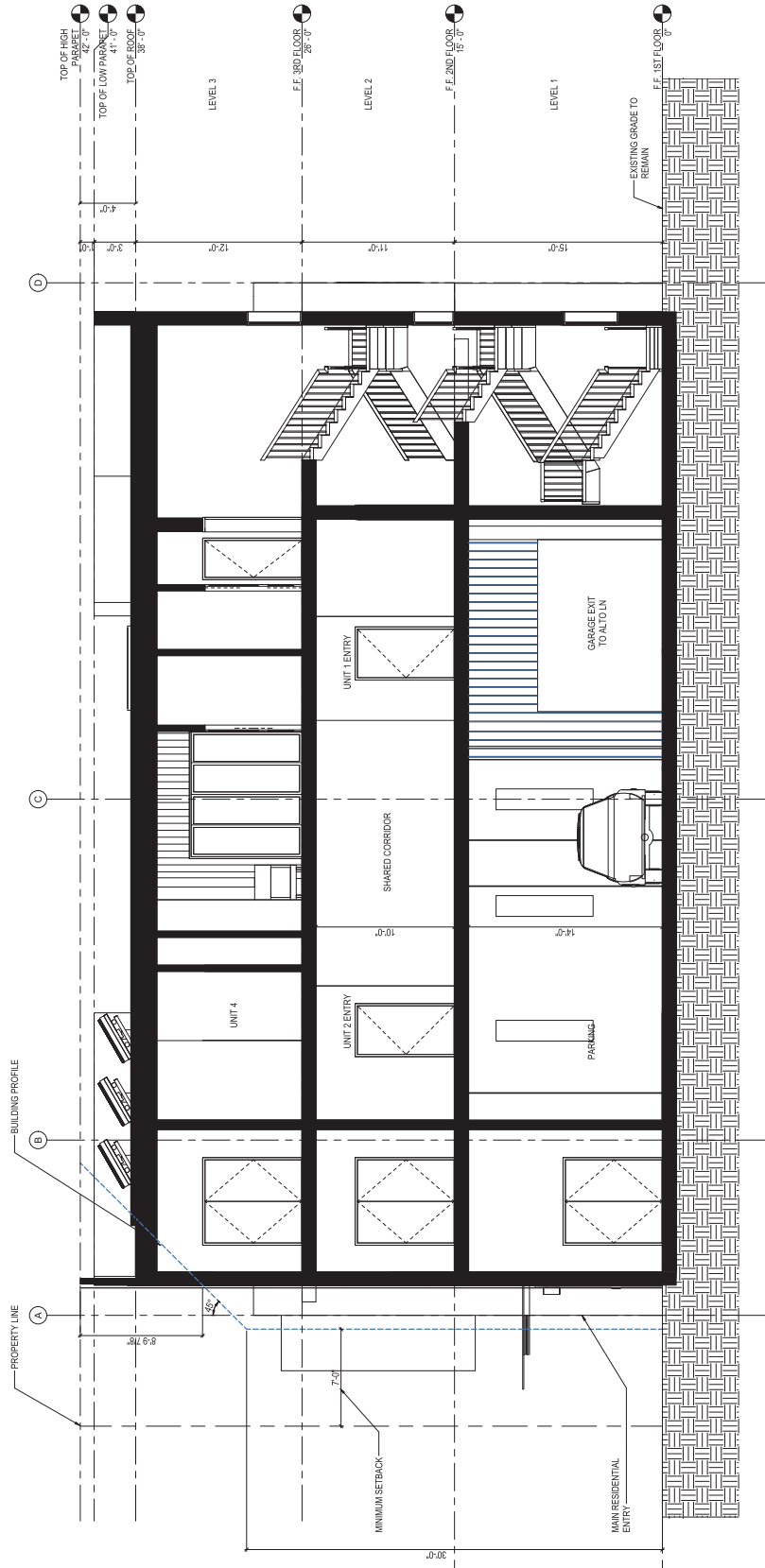
155 POTrero AVE. STE. 500
SAN FRANCISCO, CA 94109
415.641.7260
levy.com



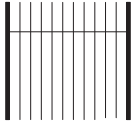
115 EL CAMINO
MENLO PARK, CA 94025

Discipline	DISCIPLINE
Rev	04/02/2019
Scale	1/4" = 1'-0"
Drawn	MLT
Job	115 EL CAMINO
Sheet	

A5.1



1 CROSS SECTION FACING WEST
SCALE: 1/4" = 1'-0"



LEVY
ART + ARCHITECTURE

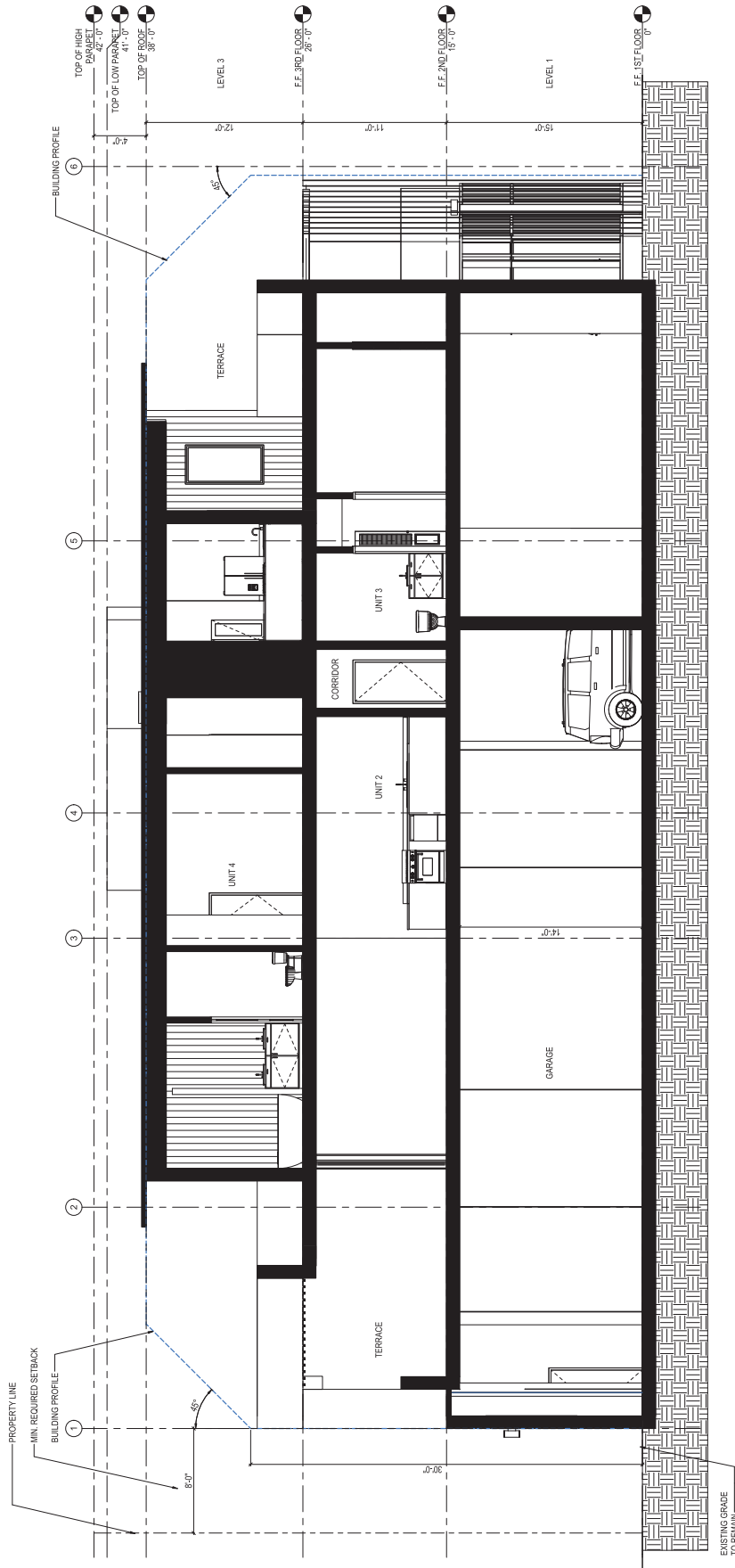
165 POTrero AVE. STE. 500
SAN FRANCISCO, CA 94109
415.641.7200
levy.com



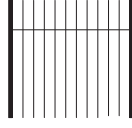
115 EL CAMINO
MENLO PARK, CA 94025

Discipline	RESIDENTIAL
Drawn	04/02/2019
Scale	1/4" = 1'-0"
Drawn	MJT
Job	115 EL CAMINO
Sheet	

A5.2



1 LONG SECTION FACING NORTH
SCALE: 1/4" = 1'-0"



LEVY
ARCHITECTURE

115 POTRERO AVE. STE. 500
SAN FRANCISCO, CA 94102
415.641.7200
levy.com



115 EL CAMINO
MENLO PARK, CA 94025

Description	CONTRACT RECEIVING
Rev	04/02/2019
Date	
Drawn	MT
Job	115 EL CAMINO
Sheet	

A6.0



REVISIONS	BY



LEVY
ARCHITECTURE

115 POTrero AVE, STE 500
SAN FRANCISCO, CA 94102
415.641.7288
levy.com



115 EL CAMINO
MENLO PARK, CA 94025

Prepared by	CONCEPTS
Date	04/02/2019
Scale	
Drawn	JLT
Job	115 EL CAMINO
Sheet	

A6.1



PERSPECTIVE RENDERING ALONG EL CAMINO REAL



PERSPECTIVE RENDERING AT HARVARD AVE AND ALTO LN

REVISIONS	BY



LEVY
 ARCHITECTURE

115 POTrero AVE, STE. 500
 SAN FRANCISCO, CA 94102
 415.641.7200
 levy.com



115 EL CAMINO
 MENLO PARK, CA 94025

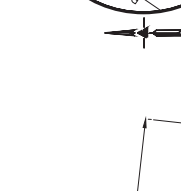
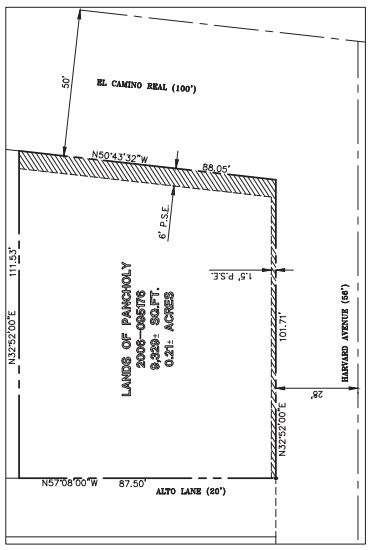
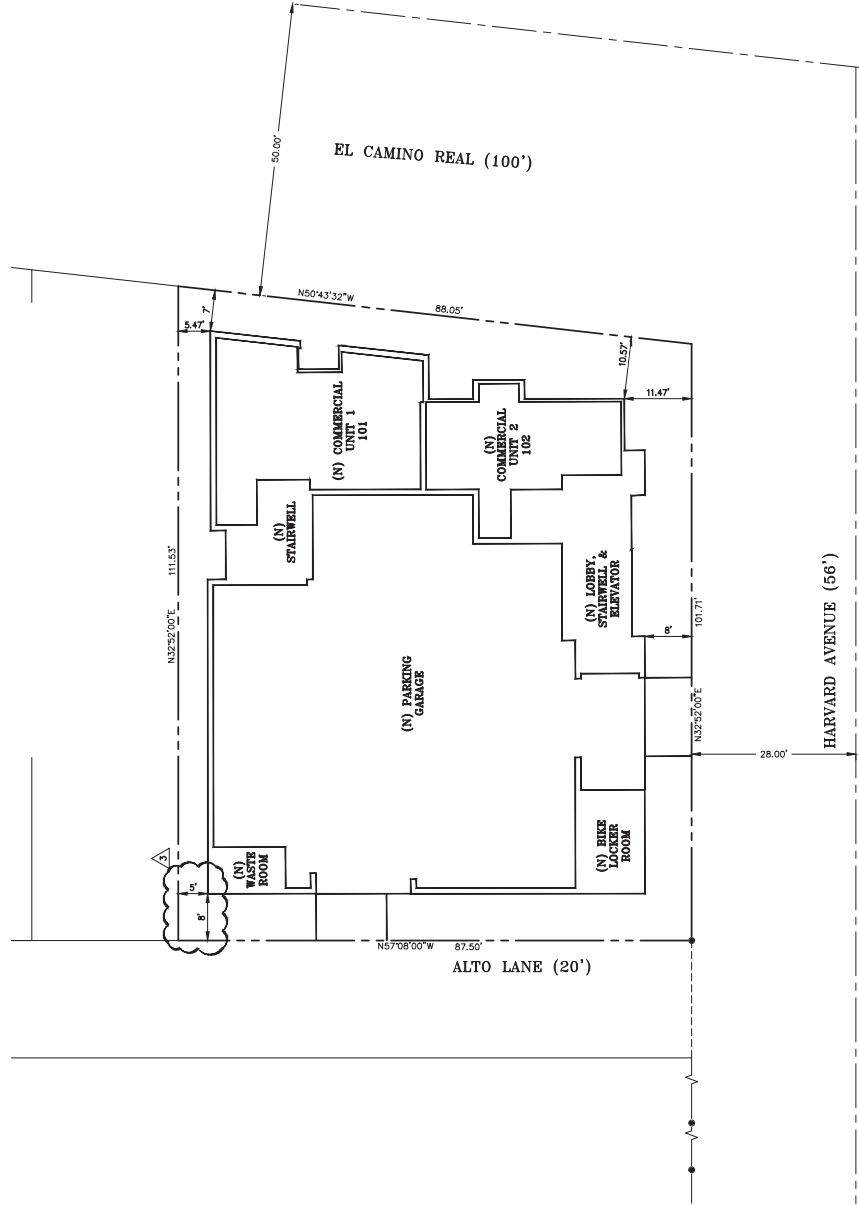
DESCRIPTION	DATE
REVISED	04/02/2019
DATE	
DESIGN	
DRAWN	
CHECKED	
DATE	
JOB	115 EL CAMINO
SHEET	

D.2



- 1 SMOOTH FINISH CEMENT PLASTER
EL DORADO COLOR
- 2 PIERVIOUS PAVERS, COLOR SIMILAR
- 3 DARK ALUMINUM OR SIMILAR
- 4 BRONZE ANODIZED ALUMINUM STOREFRONT
- 5 WOOD OR ENGINEERED WOOD, NATURAL FINISH
- 6 ALUMINUM WINDOW
- 7 TRANSPARENT GLAZING
- 8 PERFORATED METAL SCREEN/SUN SHADING
- 9 LAYERED PLANTING

TENTATIVE MAP FOR CONDOMINIUM PURPOSES 115 EL CAMINO REAL MENLO PARK, CALIFORNIA



GENERAL NOTES

1. CONTRACTOR SHALL OBTAIN THE PROPER PERMITS PRIOR TO ANY CONSTRUCTION.

2. CONTRACTOR SHALL PROVIDE AND MAINTAIN APPROVED EROSION AND SEDIMENTATION CONTROL MEASURES DURING RAINY SEASON PER CITY AND A.B.C. STANDARDS.

3. REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION, DIMENSIONS, FINISHES, MATERIALS, AND TREE PROTECTION MEASURES, AND LANDSCAPING.

PROJECT DESCRIPTION

THIS MAP SHOWS THE PROPOSED CONDOMINIUM MAP FOR ONE EXISTING PARCEL WITH 4 PROPOSED CONDOMINIUM UNITS, AND 2 COMMERCIAL UNITS. THE COMMERCIAL UNITS WILL BE SUBDIVIDED AS TENANT SPACES.

PROJECT DATA

OWNER/SUBDIVIDER: JAYA & RANJEET PANCHOLY
6289 DUAL RIM COURT
SAN DIEGO, CA 92121

ENGINEER/SURVEYOR: LEA & BRAZE ENGINEERING, INC.
2465 INDUSTRIAL PARKWAY WEST
HAYWARD, CA 94545

ARCHITECT: LEVY, ART + ARCHITECTURE
151 POTRERO AVE., STE. 200
SAN FRANCISCO, CA 94103
TEL: (415) 641-7200
CONTACT: MELISSA TODD

LOT AREA: 9,329 S.F.

ASSESSOR'S PARCEL NO. 071-433-330

EXISTING AND PROPOSED ZONING: F(19)

EXISTING USE: 2 MULTI STORY RESIDENTIAL BUILDINGS

PROPOSED USE: MIX. USE: COMMERCIAL/RESIDENTIAL

NUMBER OF STORIES: 3

NUMBER OF UNITS: (2 COMMERCIAL + 4 RESIDENTIAL) 6 TOTAL

FEMA NOTE:

SUBJECT IS LOCATED WITHIN FEMA FLOOD ZONE UNSHADDED "X" ZONE UNSHADDED "X" IS DESIGNATED AS "AREAS UNDEVELOPED" TO USE FLOOD ELEVATION FOR SUBJECT SITE. NO FLOOD ZONE AS SHOWN ON FLOOD INSURANCE RATE MAP NO. 060810080E, OCTOBER 16, 2012.

UTILITIES

WATER SERVICE: CALIFORNIA WATER SERVICE COMPANY

SEWER: WEST BAY SANITARY DISTRICT

STORM DRAINAGE: CITY OF MENLO PARK

GAS AND ELECTRIC: PACIFIC GAS & ELECTRIC COMPANY

CABLE: COMCAST

PHONE: AT&T

BENCHMARK

SURVEY CONTROL POINT
MAG AND SHINER SET IN ASPHALT
ELEVATION = 72.9' (NAVD 88 DATUM)

SITE BENCHMARK

SURVEY CONTROL POINT
MAG AND SHINER SET IN ASPHALT
ELEVATION = 72.9' (NAVD 88 DATUM)

NOTES

ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.

UNGROUNDING STUDY LOCATION IS SHOWN IN RED ON THIS MAP.

BUILDING FOOTPRINTS ARE SHOWN IN FINISHED MATERIAL (STUCCO/SHINGO) AT GROUND LEVEL.

FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLD (EXTERIOR).

EASEMENT NOTE

THERE ARE NO EASEMENTS OF RECORD PER CONDITION OF TITLE GUARANTEE ISSUED BY NATIONAL TITLE GUARANTEE COMPANY, DATED GUARANTEE NO. 1551800488, DATED MAY 11, 2018.



LEA & BRAZE ENGINEERING, INC.
CIVIL ENGINEERS • LAND SURVEYORS

2565 INDUSTRIAL PARK WEST
207C DOWNS BLVD. # 300
SAN FRANCISCO, CA 94116
(415) 996-6616
(415) 297-1233

WWW.LEABRAZE.COM

(415) 996-6616 (F)
(415) 297-1233 (F)

115 EL CAMINO REAL
MENLO PARK, CA 94025

SAN MATEO COUNTY

APN: 071-433-330

TENTATIVE MAP
FOR CONDOMINIUM PURPOSES
TENTATIVE MAP &
1ST FLOOR LAYOUT PLAN

PLAN CHECK	PC
DESIGNED BY	RF/PC
DRAWN BY	RF/WVA
DATE	10-10-18
JOB NO.	2183006
SCALE	AS NOTED
SHEET NO.	C-1.1
02 OF 14 SHEETS	

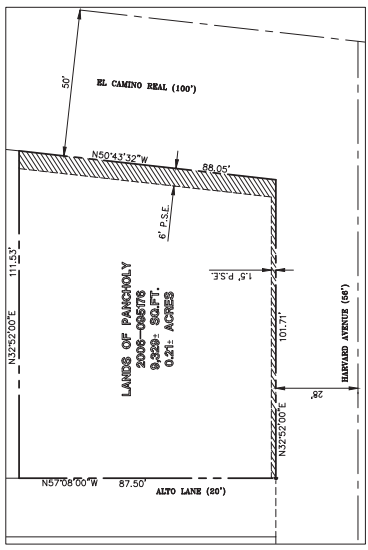


LEA & BRAZE ENGINEERING, INC.
 CIVIL ENGINEERS • LAND SURVEYORS
 2465 INDUSTRIAL PARK WEST
 SAN FRANCISCO, CA 94133
 (415) 771-1100
 WWW.LEABRAZE.COM

**115 EL CAMINO REAL
 TENTATIVE MAP
 FOR CONDOMINIUM PURPOSES
 LAYOUT PLAN**

APR: 071-433-330
 SAN MATEO COUNTY

PLAN CHECK	PC
DESIGN	PC
REVISIONS	BY
DATE	10-10-18
JOB NO.	2183006
SCALE	AS NOTED
DESIGN BY	RB/PC
DRAWN BY	RF/WJA
SHEET NO.	C-1.2



PROJECT DATA
 OWNER/SUBDIVIDER: JAYA & RANJEET PANCHOLY
 6289 COUL RAIN COURT
 SAN DIEGO, CA 92120
 ENGINEER/SURVEYOR: LEA & BRAZE ENGINEERING, INC.
 2465 INDUSTRIAL PARKWAY WEST
 HAYWARD, CA 94545
 ARCHITECT: LEVY, ART + ARCHITECTURE
 151 POTRERO AVE., STE. 200
 SAN FRANCISCO, CA 94103
 LOT AREA: 9,329 S.F.
 ASSESSOR'S PARCEL NO. 071-433-330
 EXISTING AND PROPOSED ZONING: F(19)
 EXISTING USE: 2 MULTI STORY RESIDENTIAL BUILDINGS
 PROPOSED USE: MIX USE, COMMERCIAL/RESIDENTIAL
 NUMBER OF STORIES: 3
 NUMBER OF UNITS: 2 COMMERCIAL + 4 RESIDENTIAL = 6 TOTAL

FEMA NOTE:
 SUBJECT IS LOCATED WITHIN FEMA FLOOD ZONE UNSHADED "X" ZONE UNSHADED "X" IS DESIGNATED AS "AREAS SUBJECT TO FLOODING AND IS NOT TO BE USED AS A BASIS FOR FLOOD ELEVATION FOR SUBJECT SITE. NO FLOOD ZONE AS SHOWN ON FLOOD INSURANCE RATE MAP NO. 0608100306E, OCTOBER 16, 2012.

GENERAL NOTES
 CONTRACTOR SHALL OBTAIN THE PROPER PERMITS PRIOR TO ANY CONSTRUCTION.
 CONTRACTOR SHALL PROVIDE AND MAINTAIN APPROVED EROSION AND SEDIMENTATION CONTROL MEASURES DURING RAINY SEASON PER CITY AND A.B.C. STANDARDS.
 REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION, DIMENSIONS, MATERIALS, FINISHES, AND FINISHES.
 MEASURES, AND LANDSCAPING.

PROJECT DESCRIPTION
 THIS TENTATIVE MAP SHOWS THE PROPOSED CONDOMINIUM UNITS AND 2 EXISTING PARCELS WITH 4 PROPOSED CONDOMINIUM UNITS AND 2 COMMERCIAL UNITS. THE COMMERCIAL UNITS WILL BE SUBDIVIDED AS TENANT SPACES.

UTILITIES
 WATER SERVICE: CALIFORNIA WATER SERVICE COMPANY
 SEWER: WEST BAY SANITARY DISTRICT
 STORM DRAINAGE: CITY OF MENLO PARK
 GAS AND ELECTRIC: PACIFIC GAS & ELECTRIC COMPANY
 CABLE: COMCAST
 PHONE: AT&T

NEW AND EXISTING USE DESIGNATION:
 REFER TO ARCHITECTURAL PLANS FOR THE DETAILS OF INTERIOR UNITS AND ROOMS.



GENERAL NOTES
 CONTRACTOR SHALL OBTAIN THE PROPER PERMITS PRIOR TO ANY CONSTRUCTION.
 CONTRACTOR SHALL PROVIDE AND MAINTAIN APPROVED EROSION AND SEDIMENTATION CONTROL MEASURES DURING RAINY SEASON PER CITY AND A.B.C. STANDARDS.
 REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION, DIMENSIONS, MATERIALS, FINISHES, AND FINISHES.
 MEASURES, AND LANDSCAPING.

PROJECT DESCRIPTION
 THIS TENTATIVE MAP SHOWS THE PROPOSED CONDOMINIUM UNITS AND 2 EXISTING PARCELS WITH 4 PROPOSED CONDOMINIUM UNITS AND 2 COMMERCIAL UNITS. THE COMMERCIAL UNITS WILL BE SUBDIVIDED AS TENANT SPACES.

UTILITIES
 WATER SERVICE: CALIFORNIA WATER SERVICE COMPANY
 SEWER: WEST BAY SANITARY DISTRICT
 STORM DRAINAGE: CITY OF MENLO PARK
 GAS AND ELECTRIC: PACIFIC GAS & ELECTRIC COMPANY
 CABLE: COMCAST
 PHONE: AT&T

NEW AND EXISTING USE DESIGNATION:
 REFER TO ARCHITECTURAL PLANS FOR THE DETAILS OF INTERIOR UNITS AND ROOMS.



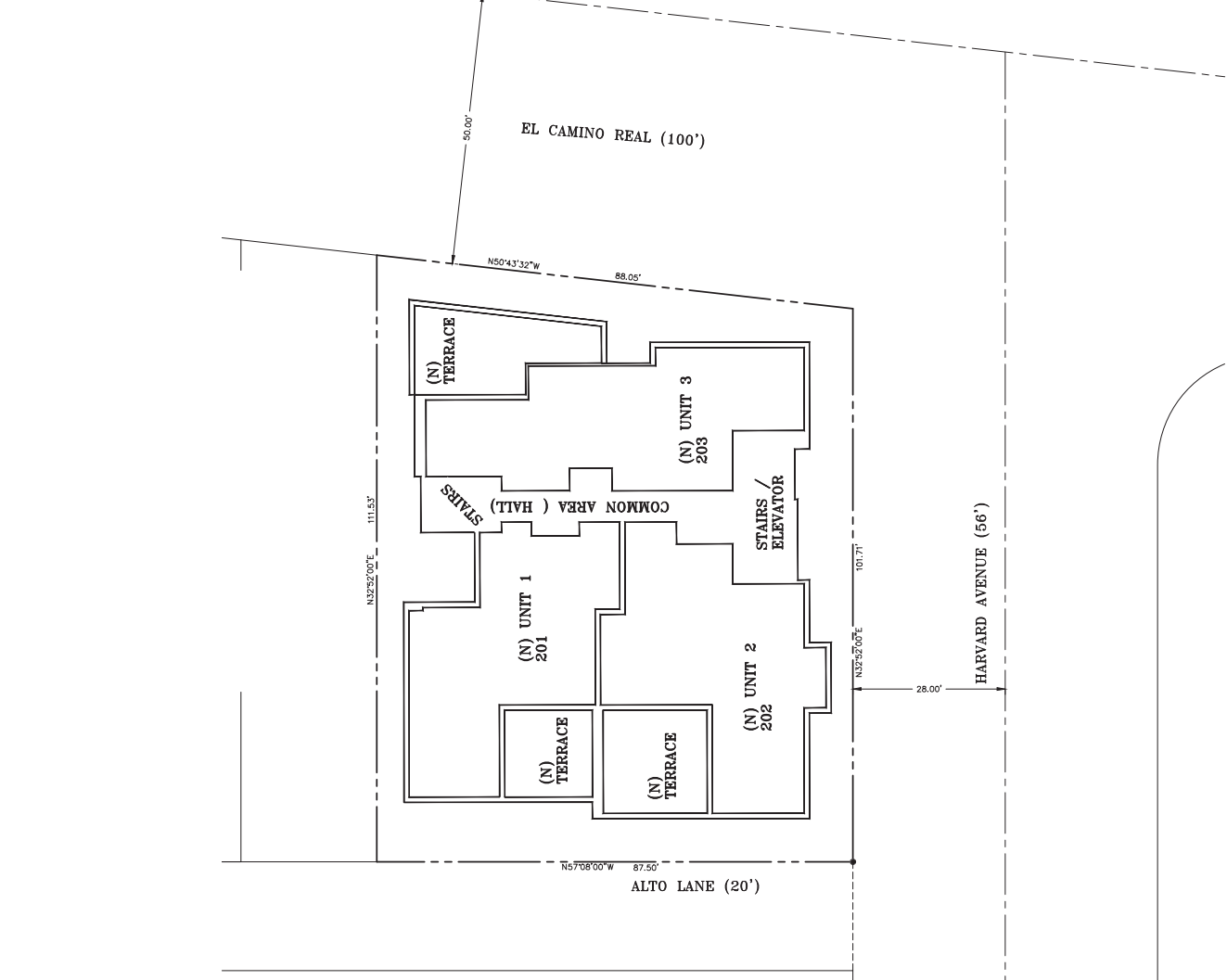
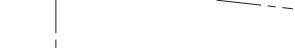
NOTE
 ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.
 UNDERGROUND UTILITY LOCATION IS NOT SHOWN. BUILDING FOOTPRINTS ARE SHOWN TO FINISHED MATERIAL (STUCCO/SIENGO) AT GROUND LEVEL.
 FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLD (EXTERIOR).

NOTE
 SURVEY CONTROL POINT MAG AND SHINER SET IN ASPHALT (NAVD 88 DATUM)

NOTE
 CITY OF MENLO PARK BENCHMARK "JULI0" 0.1 MILE SOUTHWEST OF THE SOUTHERN PACIFIC INTERSECTION OF SANTA CRUZ AVENUE AND EL CAMINO REAL. IN THE TOP PRODUCTION OF THE GRANITE BLOCK FOUNDATION BETWEEN TWO FEET NORTHWEST CURB OF THE AVENUE, 12.5 FEET NORTHWEST OF THE SOUTHWEST CORNER OF THE BRICK WALL, AND 2.0 FEET ABOVE THE ELEVATION = 73.9' (NAVD 88)

NOTE
 THE BEARING N32°32'00"E ALONG THE RIGHT OF WAY OF HARVARD AVENUE WAS OBTAINED FROM THE RECORD DRAWING OF VOLUME 76 OF 724-726 HARVARD AVENUE, FILED IN VOLUME 76 OF THE COUNTY OF SAN MATEO RECORDS. ALL BEARINGS SHOWN UPON THIS MAP.

NOTE
 THERE ARE NO ELEMENTS OF RECORD PER CONDITION OF TITLE GUARANTEE ISSUED BY NATIONAL TITLE INSURANCE COMPANY, DATED GUARANTEE NUMBER 1551600488, DATED MAY 11, 2018.



06/14/2019
 (7) (S10) 887-2019
 (7) (S15) 015
 (7) (S19) 993-6-133
 HAYWARD, CALIFORNIA 94545
 ROSEVILLE, CA 95661
 2017 DOUGLAS BLVD. # 300
 SAN FRANCISCO, CA 94103
 CIVIL ENGINEERS • LAND SURVEYORS

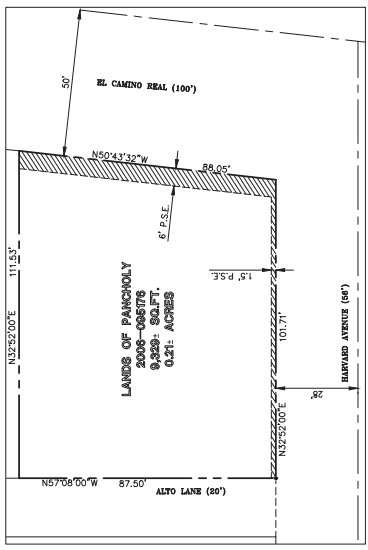


LEA & BRAZE ENGINEERING, INC.
 CIVIL ENGINEERS • LAND SURVEYORS
 2465 INDUSTRIAL PARK WEST, SUITE 207
 SAN ANTONIO, CALIFORNIA 94545
 (916) 993-6133
 (916) 297-7263
 WWW.LEABRAZE.COM

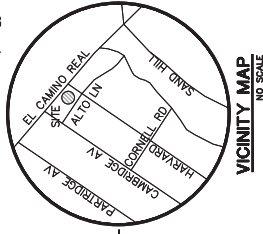
115 EL CAMINO REAL
 TENTATIVE MAP
 FOR CONDOMINIUM PURPOSES
 LAYOUT PLAN

APR: 071-433-330
 SAN MATEO COUNTY

PLAN CHECK	PC
DESIGNED BY	RF/PC
DRAWN BY	RF/WA
DATE	10-10-18
JOB NO.	2180306
SCALE	AS NOTED
SHEET NO.	C-13



PROJECT DATA
 OWNER/SUBDIVIDER: JAYA & RANJEET PANCHOLY
 6289 COJAL RUN COURT
 SAN DIEGO, CA 92120
 ENGINEER/SURVEYOR: LEA & BRAZE ENGINEERING, INC.
 2465 INDUSTRIAL PARKWAY WEST
 HAYWARD, CA 94545
 ARCHITECT: LEVY, ART + ARCHITECTURE
 151 POTRERO AVE., STE. 200
 SAN FRANCISCO, CA 94103
 LOT AREA: 9,329 S.F.
 ASSESSOR'S PARCEL NO. 071-433-330
 EXISTING AND PROPOSED ZONING: F(19)
 EXISTING USE: 2 MULTI STORY RESIDENTIAL BUILDINGS
 PROPOSED USE: MIX. USE, COMMERCIAL/RESIDENTIAL
 NUMBER OF STORIES: 3
 NUMBER OF UNITS: 2 COMMERCIAL + 4 RESIDENTIAL = 6 TOTAL



GENERAL NOTES
 CONTRACTOR SHALL OBTAIN THE PROPER PERMITS PRIOR TO ANY CONSTRUCTION.
 CONTRACTOR SHALL PROVIDE AND MAINTAIN APPROVED EROSION AND SEDIMENTATION CONTROL MEASURES DURING RAINY SEASON PER CITY AND A.B.C. STANDARDS.
 REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
 DIMENSION CONTROL, DETAILING, TREE PROTECTION MEASURES, AND LANDSCAPING.

PROJECT DESCRIPTION
 THIS TENTATIVE MAP FOR ONE EXISTING PARCEL WITH 4 PROPOSED CONDOMINIUM UNITS, AND 2 COMMERCIAL UNITS. THE COMMERCIAL UNITS WILL BE SUBDIVIDED AS TENANT SPACES.

UTILITIES
 WATER SERVICE: CALIFORNIA WATER SERVICE COMPANY
 SEWER: WEST BAY SANITARY DISTRICT
 STORM DRAINAGE: CITY OF MENLO PARK
 GAS AND ELECTRIC: PACIFIC GAS & ELECTRIC COMPANY
 CABLE: COMCAST
 PHONE: AT&T

NEW AND EXISTING USE DESIGNATION:
 REFER TO ARCHITECTURAL PLANS FOR THE DETAILS OF INTERIOR UNITS AND ROOMS.

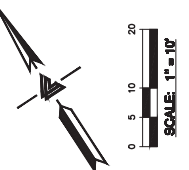
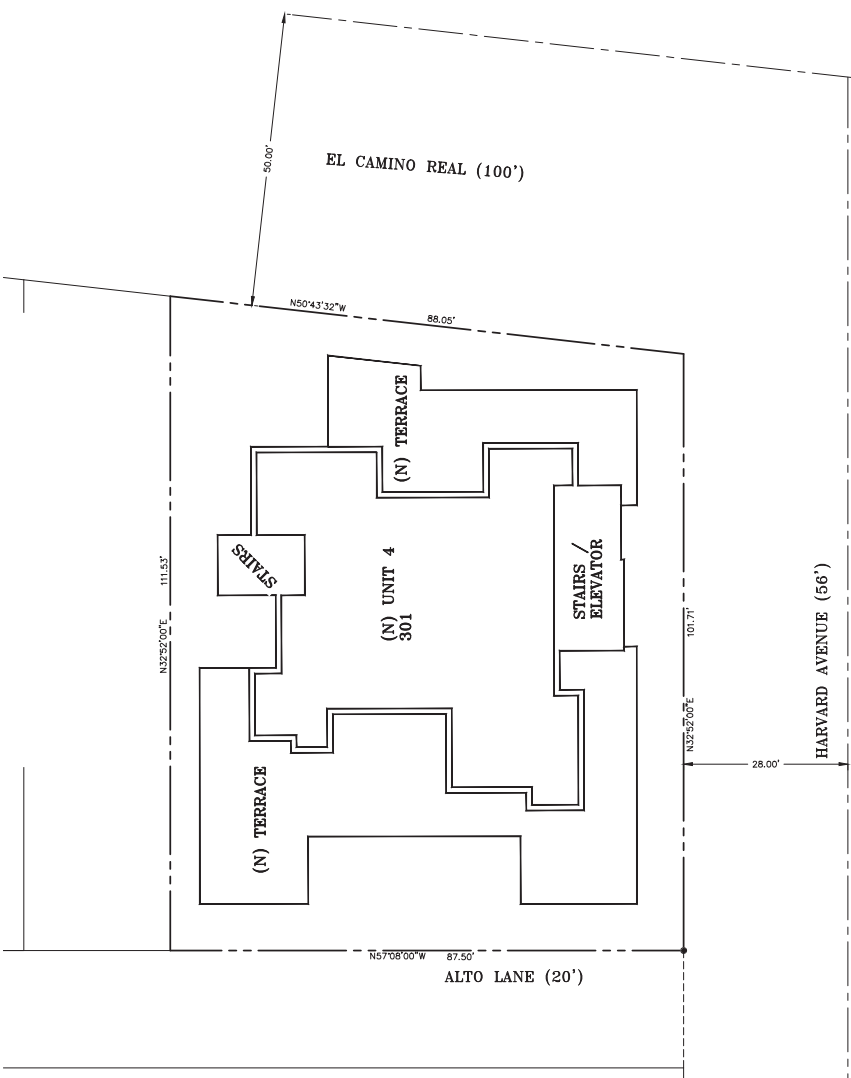
NOTE
 SUBJECT IS LOCATED WITHIN FEMA FLOOD ZONE UNSHADDED "X" ZONE UNSHADDED "X" IS DESIGNATED AS "AREAS UNDEVELOPED OR TO BE DEVELOPED AND THE FLOODING IS BASED ON FLOOD ELEVATION FOR SUBJECT SITE. NO FLOOD ZONE AS SHOWN ON FLOOD INSURANCE RATE MAP NO. 0608100306E, OCTOBER 16, 2012.

NOTE
 ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.
 UNDERGROUND UTILITY LOCATION IS UNKNOWN.
 BUILDING FOOTPRINTS ARE SHOWN TO FINISHED MATERIAL (STUCCO/SIENGO) AT GROUND LEVEL.
 FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLD (EXTERIOR).

NOTE
 SURVEY CONTROL POINT MAG AND SHINER SET IN ASPHALT (NAVD 88 DATUM)

NOTE
 CITY OF MENLO PARK BENCHMARK "JULI0" 0.1 MILE SOUTHWEST OF THE SOUTHERN PACIFIC INTERSECTION OF SANTA CRUZ AVENUE AND EL CAMINO REAL. IN THE TOP PRODUCTION OF THE GRANITE BLOCK FOUNDATION BETWEEN TWO BLOCKS OF THE SOUTHEAST CURB OF THE AVENUE, 12.5 FEET NORTHWEST OF THE SOUTHWEST CORNER OF THE BRICK WALL, AND 2.0 FEET ABOVE THE ELEVATION = 73.9' (NAVD 88)

NOTE
 THE BEARING N32°32'00"E ALONG THE RIGHT OF WAY OF HARVARD AVENUE AS SHOWN ON THE MAPS ENTERED "HARVARD AVENUE" AS CONTROL POINT NO. 724-726 HARVARD AVENUE, FILED IN VOLUME 76 OF THE RECORDS OF THE COUNTY OF SAN MATEO AT THE BASIS OF ALL BEARINGS SHOWN UPON THIS MAP.



SCALE: 1" = 10'



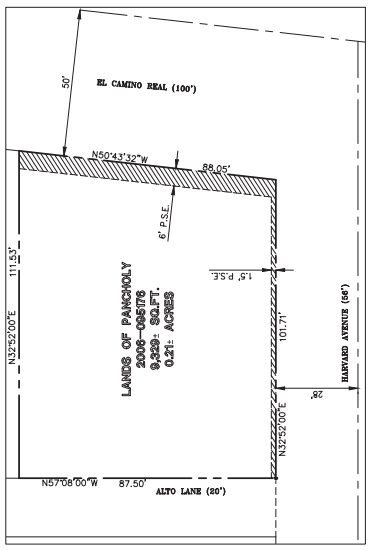
LEA & BRAZE ENGINEERING, INC.
 CIVIL ENGINEERS • LAND SURVEYORS
 2465 INDUSTRIAL PARK WEST
 2017 DOWNS BLVD. # 300
 HAYWARD, CALIFORNIA 94545
 (916) 966-1133
 (916) 297-7263
 WWW.LEABRAZE.COM

115 EL CAMINO REAL
 TENTATIVE MAP FOR CONDOMINIUM PURPOSES
 LAYOUT PLAN

APR: 071-433-330
 SAN MATEO COUNTY

PLAN CHECK	PC
REVISIONS	BY
DATE	10-10-18
JOB NO.	2183006
SCALE	AS NOTED
DESIGN BY	RB/PC
DRAWN BY	RF/WA
SHEET NO.	C-1.4

06 OF 14 SHEETS



TENTATIVE MAP
 1" = 20'

PROJECT DATA
 OWNER/SUBDIVIDER: JAYA & RANJEET PANCHOLY
 6289 OJUAL RUN COURT
 SAN DIEGO, CA 92120
 ENGINEER/SURVEYOR: LEA & BRAZE ENGINEERING, INC.
 2465 INDUSTRIAL PARKWAY WEST
 HAYWARD, CA 94545
 ARCHITECT: LEVY, ART + ARCHITECTURE
 151 POTRERO AVE., STE. 200
 SAN FRANCISCO, CA 94103
 LOT AREA: 9,329 S.F.
 ASSESSOR'S PARCEL NO. 071-433-330
 ZONING: F(19)
 EXISTING AND PROPOSED USE: 2 MULTI STORY RESIDENTIAL BUILDINGS
 PROPOSED USE: MIX USE, COMMERCIAL/RESIDENTIAL
 NUMBER OF STORIES: 3
 NUMBER OF UNITS: 2 COMMERCIAL + 4 RESIDENTIAL
 6 TOTAL

FEMA NOTE:
 SUBJECT IS LOCATED WITHIN FEMA FLOOD ZONE UNSHADDED "X" ZONE "UNSHADDED X" IS DESIGNATED AS "AREAS UNDEVELOPED, BUT WITH FLOOD ELEVATION FOR SUBJECT SITE IS NO FLOOD ZONE AS SHOWN ON FLOOD INSURANCE RATE MAP NO. 060810308E, OCTOBER 16, 2012.

GENERAL NOTES
 CONTRACTOR SHALL OBTAIN THE PROPER PERMITS PRIOR TO ANY CONSTRUCTION.
 CONTRACTOR SHALL PROVIDE AND MAINTAIN APPROVED EROSION AND SEDIMENTATION CONTROL MEASURES DURING RAINY SEASON PER CITY AND A.B.C. STANDARDS.
 REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION, DIMENSION CONTROL, DETAIL, TREE PROTECTION MEASURES, AND LANDSCAPING.

PROJECT DESCRIPTION
 THIS TENTATIVE MAP SHOWS ONE EXISTING PARCEL WITH 4 PROPOSED CONDOMINIUM UNITS, AND 2 COMMERCIAL UNITS. THE COMMERCIAL UNITS WILL BE SUBDIVIDED AS TENANT SPACES.

UTILITIES
 WATER SERVICE: CALIFORNIA WATER SERVICE COMPANY
 SEWER: WEST BAY SANITARY DISTRICT
 STORM DRAINAGE: CITY OF MENLO PARK
 GAS AND ELECTRIC: PACIFIC GAS & ELECTRIC COMPANY
 CABLE: COMCAST
 PHONE: AT&T

NEW AND EXISTING USE DESIGNATION:
 REFER TO ARCHITECTURAL PLANS FOR THE DETAILS OF INTERIOR UNITS AND ROOMS.



BENCHMARK
 SURVEY CONTROL POINT
 MAG AND SHINER SET IN ASPHALT
 ELEVATION = 73.9' (NAVD 88 DATUM)

NOTES
 ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.
 UNDERGROUND UTILITY LOCATION IS UNKNOWN. ALL UTILITIES ARE SHOWN TO BUILDING FOOTPRINTS ARE SHOWN TO FINISHED MATERIAL (STUCCO/SIENKO) AT GROUND LEVEL.
 FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLD (EXTERIOR).

EASEMENT NOTE
 THERE ARE NO EASEMENTS OF RECORD PER CONDITION OF TITLE GUARANTEE ISSUED BY THE NATIONAL TITLE INSURANCE COMPANY, DATED GUARANTEE NUMBER: 1551560488, DATED MAY 11, 2018.





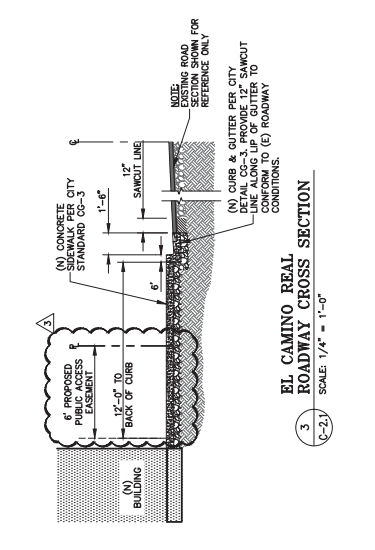
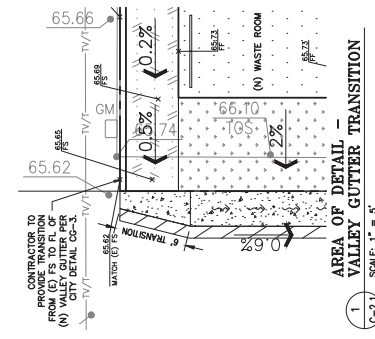
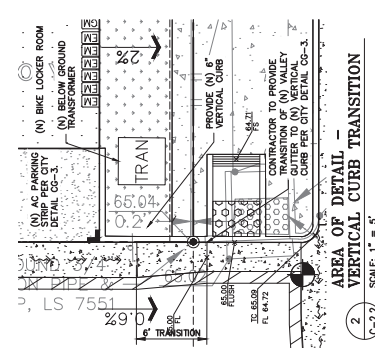
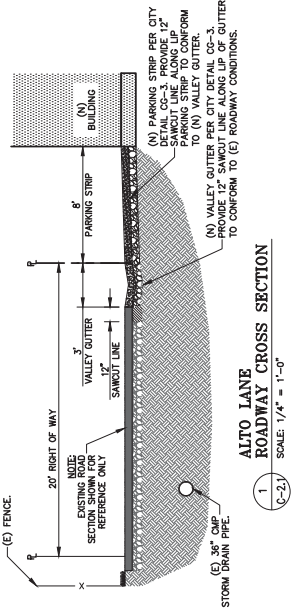
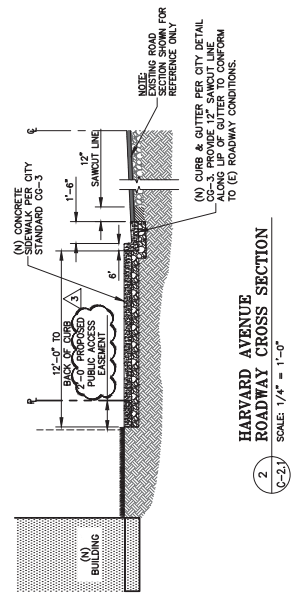
LEA & BRAZE ENGINEERING, INC.
 CIVIL ENGINEERS • LAND SURVEYORS
 2565 INDUSTRIAL AVENUE WEST
 SUITE 200
 ROSELAND, CA 95068
 (916) 996-1233
 (916) 996-1233
 (916) 996-1233
 WWW.LEABRAZE.COM

115 EL CAMINO REAL
 MENLO PARK, CA 94025
 SAN MATEO COUNTY
 APN: 071-423-130

TENTATIVE MAP
 FOR CONDOMINIUM PURPOSES
 PRELIMINARY
 SITE SECTIONS

PLAN CHECK	PC
DATE	2-20-19
REVISIONS	BY
JOB NO.	2163006
DATE	10-10-18
SCALE	AS NOTED
DESIGN BY	RB/PC
DRAWN BY	RF/AVA
SHEET NO.	C-2.1

07 OF 14 SHEETS



**TENTATIVE MAP
PRELIMINARY
UTILITY PLAN**

FOR CONDOMINIUM PURPOSES
115 EL CAMINO REAL
MENLO PARK, CA 94025

SAN MATEO COUNTY
APN: 071-423-130
WWW.LEA-BRAZE.COM
LEA & BRAZE ENGINEERING, INC.
CIVIL ENGINEERS • LAND SURVEYORS
2007 DOUGLAS BLVD. # 200
ROSELINE, CA 95068
HAYWARD, CALIFORNIA 94545
9509 • (916) 257-2262
9509 • (510) 687-2018



*BUILDING PAID NOTE
SCHEDULING OR QUOTATIONS
PLEASE CONTACT ALEX ARAYA
FOR SLAB SECTION OR
STRUCTURAL PLANS
G10808 (08/08) EXT 116.
WWW.LEA-BRAZE.COM
TO ESTABLISH PAID
LEVEL.

NOTE: CONSTRUCTION STAKING
SCHEDULING OR QUOTATIONS
PLEASE CONTACT ALEX ARAYA
FOR SLAB SECTION OR
STRUCTURAL PLANS
G10808 (08/08) EXT 116.
WWW.LEA-BRAZE.COM
TO ESTABLISH PAID
LEVEL.

NOTE: THESE SHALL BE PLACES UNDERGROUND
IF REQUIRED BY THE UTILITY COMPANY.

NOTE: METERS SHALL NOT BE PLACES
DRAINAGE FROM ADJACENT PROPERTIES AND
SHALL NOT GENERATE SURFACE RUN-OFF FLOW
ONTO ADJACENT PROPERTIES.

NOTES

- THE APPLICANT SHALL REMOVE AND REPLACE ALL CRACKED, DAMAGED, OR DEFICIENT EXISTING UTILITIES ALONG THE ENTIRE PROPERTY FRONTAGE, PER CITY STANDARDS ALONG THE ENTIRE PROPERTY FRONTAGE.
- DIVISION ENGINEER SHALL COORDINATE WITH PROJECT ARCHITECT TO REMOVE AND REPLACE ALL CRACKED, DAMAGED, DEFICIENT, OR DEFLECTIVE EXISTING UTILITIES ALONG THE ENTIRE PROPERTY FRONTAGE. IF FRONTAGE IMPROVEMENTS DO NOT CURRENTLY MEET CITY STANDARDS ALONG THE ENTIRE PROPERTY FRONTAGE, ALL IMPROVEMENTS ARE TO BE COMPLETED AND APPROVED BY THE CITY OF MENLO PARK PRIOR TO THE FINAL INSPECTION BY THE BUILDING INSPECTOR.
- CONTACT PUBLIC WORKS AT (650) 330-6740 TO SCHEDULE AN ON-SITE INSPECTION. THE CONSTRUCTION SUPERVISOR SHALL NOT SHOW ON THE PLANS. FRONTAGE IMPROVEMENTS WHICH ARE ENFORCEMENT PERMIT FROM THE CITY'S ENGINEERING DIVISION FOR EXISTING PRIVATE STRUCTURES, IMPROVEMENTS AND LANDSCAPING (IF APPLICABLE) ARE TO BE COMPLETED PRIOR TO THE CITY'S RIGHT-OF-WAY ALONG THE PROPERTY FRONTAGE.
- PRIOR TO FINAL INSPECTION, THE APPLICANT SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE CITY'S ENGINEERING DIVISION FOR ALL EXISTING PRIVATE STRUCTURES, IMPROVEMENTS AND LANDSCAPING (IF APPLICABLE) ARE TO BE COMPLETED PRIOR TO THE CITY'S RIGHT-OF-WAY ALONG THE PROPERTY FRONTAGE.
- THE APPLICANT SHALL REMOVE AND REPLACE ALL CRACKED, DAMAGED, DEFLECTIVE, OR DEFICIENT EXISTING UTILITIES ALONG THE ENTIRE PROPERTY FRONTAGE. IF FRONTAGE IMPROVEMENTS DO NOT CURRENTLY MEET CITY STANDARDS ALONG THE ENTIRE PROPERTY FRONTAGE, ALL IMPROVEMENTS ARE TO BE COMPLETED AND APPROVED BY THE CITY OF MENLO PARK PRIOR TO THE FINAL INSPECTION BY THE BUILDING INSPECTOR.

INSPECTION NOTE:

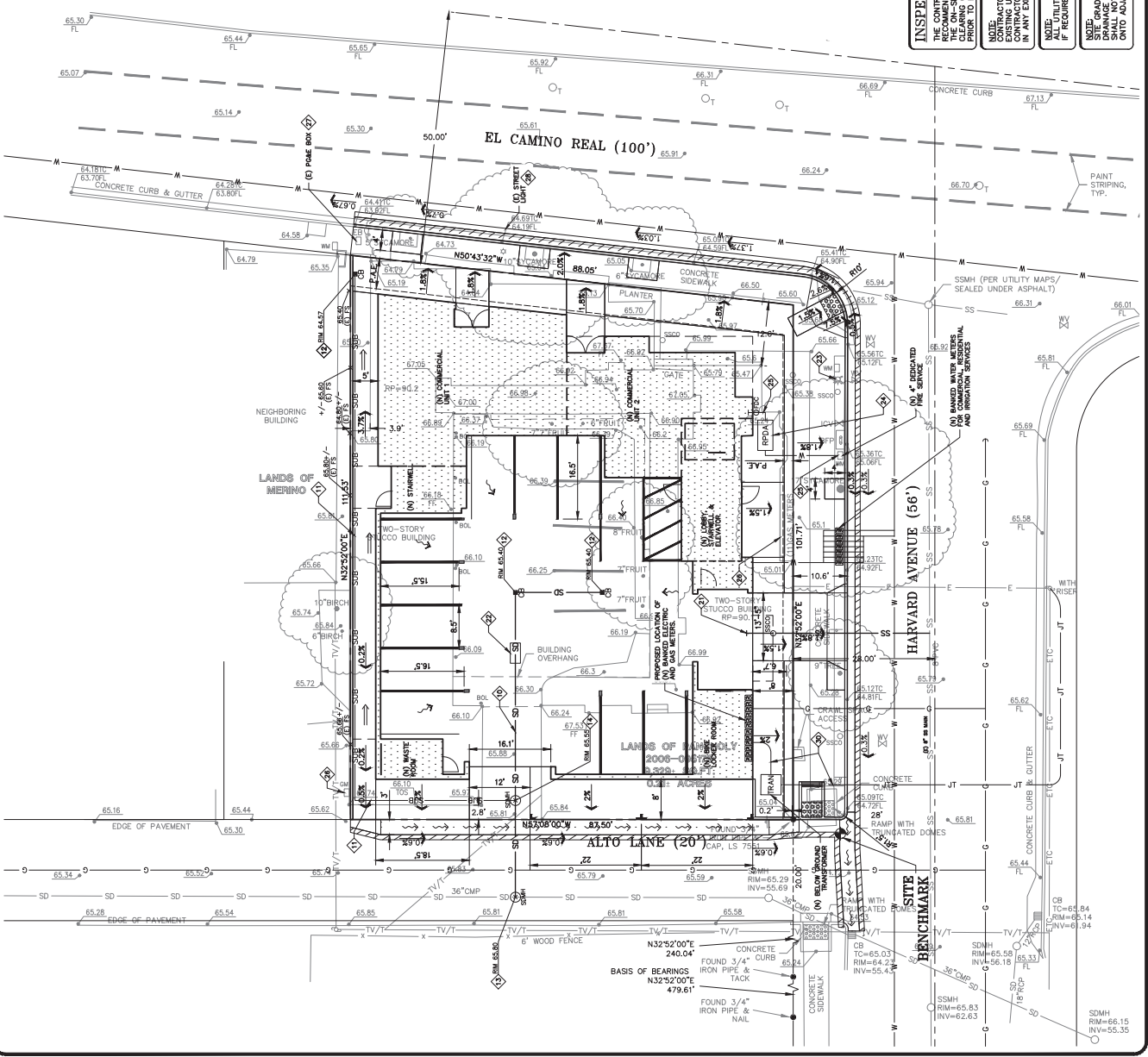
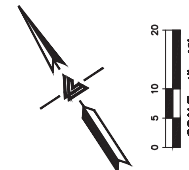
THE CONTRACTOR SHALL INFORM THE OWNER (IN WRITING) OF ANY DEFICIENCIES OR DAMAGES TO EXISTING UTILITIES OR OTHER UTILITIES. THE CONTRACTOR SHALL CLEAR UP ALL UTILITIES AND OTHER UTILITIES PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY CONFLICTS IN AN EARLY MANNER.

NOTE: METERS SHALL NOT BE PLACES UNDERGROUND
IF REQUIRED BY THE UTILITY COMPANY.

NOTE: THESE SHALL BE PLACES UNDERGROUND
IF REQUIRED BY THE UTILITY COMPANY.

NOTE: METERS SHALL NOT BE PLACES
DRAINAGE FROM ADJACENT PROPERTIES AND
SHALL NOT GENERATE SURFACE RUN-OFF FLOW
ONTO ADJACENT PROPERTIES.

- STORM DRAIN KEYNOTES TO \diamond (1) ON-SITE STORM DRAIN SYSTEM USE MINIMUM 4" PVC (SOR 35) OR HDPE (A2S N-12 W/ SMOOTH INTERIOR WALLS). MAINTAIN 2% MINIMUM SLOPE AND SLOPED AT 1% MINIMUM AT ALL BENDS UNLESS OTHERWISE NOTED. (2) 45° BENDS AND 90° BENDS IN DIRECTION. AVOID USING 90° BENDS AND INSTEAD USE (2) 45° BENDS AND WYE CONNECTIONS. SEE DETAIL 4 ON SHEET C-5.2.
- INSTALL (N) SUBURBAN UNDERLATH PAVING. USE PERFORATED POLYPROPYLENE (PP) DRAIN ROCK (4" DIA) UNDER LATH (2" DIA) SURROUND WITH 1/4" DRAIN ROCK (UNGRADED) IN DETERMINED AREAS. (3) 45° BENDS AND WYE CONNECTIONS PROVIDE CLEANOUT TO GRADE AT MAJOR CHANGES IN DIRECTION AND AT 100' MAXIMUM INTERVALS. (4) 90° BENDS PROVIDE CLEANOUT TO GRADE AT 50' MAXIMUM INTERVALS. (5) 45° BENDS PROVIDE CLEANOUT TO GRADE AT 50' MAXIMUM INTERVALS. (6) 90° BENDS PROVIDE CLEANOUT TO GRADE AT 50' MAXIMUM INTERVALS. (7) 45° BENDS PROVIDE CLEANOUT TO GRADE AT 50' MAXIMUM INTERVALS. (8) 90° BENDS PROVIDE CLEANOUT TO GRADE AT 50' MAXIMUM INTERVALS.
- INSTALL (N) CHRISTY V-12 SILT BASIN WITH GRAVEL BOTTOM. SEE DETAIL 3 ON SHEET C-5.2.
- STORM DRAIN MANHOLE. SEE DETAIL DR-1 ON SHEET C-5.1.
- UTILITIES KEYNOTES TO \diamond VIDEO INSPECTION OF (E) SANITARY SEWER LATERAL TO THE SEWER MAIN IS REQUIRED. CONTRACTOR TO CONTACT THE PUBLIC SERVICES MAINTENANCE PERSON TO BE PRESENT AT THE TIME OF THE VIDEO INSPECTION. UPON DETERMINATION FROM THE CITY: (1) (E) SEWER LATERAL (SL) SHALL BE REPLACED AND RECONNECTED TO GRADE AT (E) SANITARY SEWER MAIN. (2) (E) SEWER LATERAL (SL) SHALL BE REPLACED AND RECONNECTED TO GRADE AT (E) SANITARY SEWER MAIN. (3) (E) SEWER LATERAL (SL) SHALL BE REPLACED AND RECONNECTED TO GRADE AT (E) SANITARY SEWER MAIN. (4) (E) SEWER LATERAL (SL) SHALL BE REPLACED AND RECONNECTED TO GRADE AT (E) SANITARY SEWER MAIN. (5) (E) SEWER LATERAL (SL) SHALL BE REPLACED AND RECONNECTED TO GRADE AT (E) SANITARY SEWER MAIN. (6) (E) SEWER LATERAL (SL) SHALL BE REPLACED AND RECONNECTED TO GRADE AT (E) SANITARY SEWER MAIN. (7) (E) SEWER LATERAL (SL) SHALL BE REPLACED AND RECONNECTED TO GRADE AT (E) SANITARY SEWER MAIN. (8) (E) SEWER LATERAL (SL) SHALL BE REPLACED AND RECONNECTED TO GRADE AT (E) SANITARY SEWER MAIN. (9) (E) SEWER LATERAL (SL) SHALL BE REPLACED AND RECONNECTED TO GRADE AT (E) SANITARY SEWER MAIN. (10) (E) SEWER LATERAL (SL) SHALL BE REPLACED AND RECONNECTED TO GRADE AT (E) SANITARY SEWER MAIN. (11) (E) SEWER LATERAL (SL) SHALL BE REPLACED AND RECONNECTED TO GRADE AT (E) SANITARY SEWER MAIN. (12) (E) SEWER LATERAL (SL) SHALL BE REPLACED AND RECONNECTED TO GRADE AT (E) SANITARY SEWER MAIN. (13) (E) SEWER LATERAL (SL) SHALL BE REPLACED AND RECONNECTED TO GRADE AT (E) SANITARY SEWER MAIN. (14) (E) SEWER LATERAL (SL) SHALL BE REPLACED AND RECONNECTED TO GRADE AT (E) SANITARY SEWER MAIN. (15) (E) SEWER LATERAL (SL) SHALL BE REPLACED AND RECONNECTED TO GRADE AT (E) SANITARY SEWER MAIN. (16) (E) SEWER LATERAL (SL) SHALL BE REPLACED AND RECONNECTED TO GRADE AT (E) SANITARY SEWER MAIN. (17) (E) SEWER LATERAL (SL) SHALL BE REPLACED AND RECONNECTED TO GRADE AT (E) SANITARY SEWER MAIN. (18) (E) SEWER LATERAL (SL) SHALL BE REPLACED AND RECONNECTED TO GRADE AT (E) SANITARY SEWER MAIN. (19) (E) SEWER LATERAL (SL) SHALL BE REPLACED AND RECONNECTED TO GRADE AT (E) SANITARY SEWER MAIN. (20) (E) SEWER LATERAL (SL) SHALL BE REPLACED AND RECONNECTED TO GRADE AT (E) SANITARY SEWER MAIN. (21) (E) SEWER LATERAL (SL) SHALL BE REPLACED AND RECONNECTED TO GRADE AT (E) SANITARY SEWER MAIN. (22) (E) SEWER LATERAL (SL) SHALL BE REPLACED AND RECONNECTED TO GRADE AT (E) SANITARY SEWER MAIN. (23) (E) SEWER LATERAL (SL) SHALL BE REPLACED AND RECONNECTED TO GRADE AT (E) SANITARY SEWER MAIN. (24) (E) SEWER LATERAL (SL) SHALL BE REPLACED AND RECONNECTED TO GRADE AT (E) SANITARY SEWER MAIN. (25) (E) SEWER LATERAL (SL) SHALL BE REPLACED AND RECONNECTED TO GRADE AT (E) SANITARY SEWER MAIN. (26) (E) SEWER LATERAL (SL) SHALL BE REPLACED AND RECONNECTED TO GRADE AT (E) SANITARY SEWER MAIN. (27) (E) SEWER LATERAL (SL) SHALL BE REPLACED AND RECONNECTED TO GRADE AT (E) SANITARY SEWER MAIN. (28) (E) SEWER LATERAL (SL) SHALL BE REPLACED AND RECONNECTED TO GRADE AT (E) SANITARY SEWER MAIN. (29) (E) SEWER LATERAL (SL) SHALL BE REPLACED AND RECONNECTED TO GRADE AT (E) SANITARY SEWER MAIN. (30) (E) SEWER LATERAL (SL) SHALL BE REPLACED AND RECONNECTED TO GRADE AT (E) SANITARY SEWER MAIN.





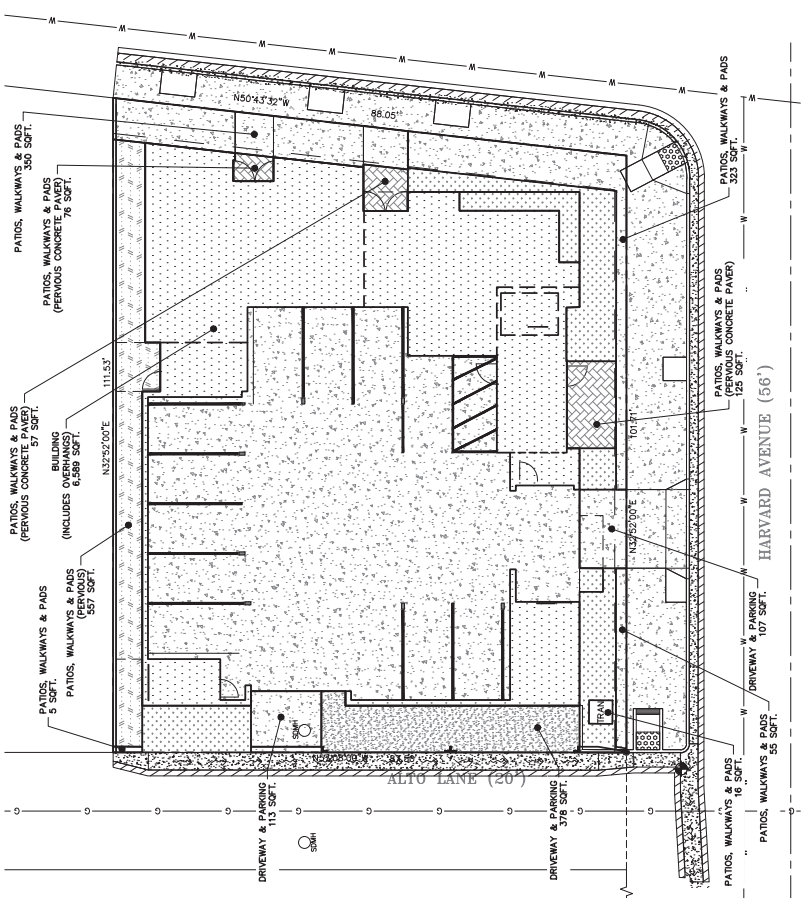
LEA & BRAZE ENGINEERING, INC.
 CIVIL ENGINEERS • LAND SURVEYORS
 2565 INDUSTRIAL PARK WEST, SUITE 200
 2070 DOWNS WAY, # 100
 14500 CALIFORNIA AVENUE
 HAYWARD, CALIFORNIA 94545
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 (916) 279-1233
 (916) 279-1233
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115 EL CAMINO REAL
 MENLO PARK, CA 94025
 SAN MATEO COUNTY
 APR. 07-43-230

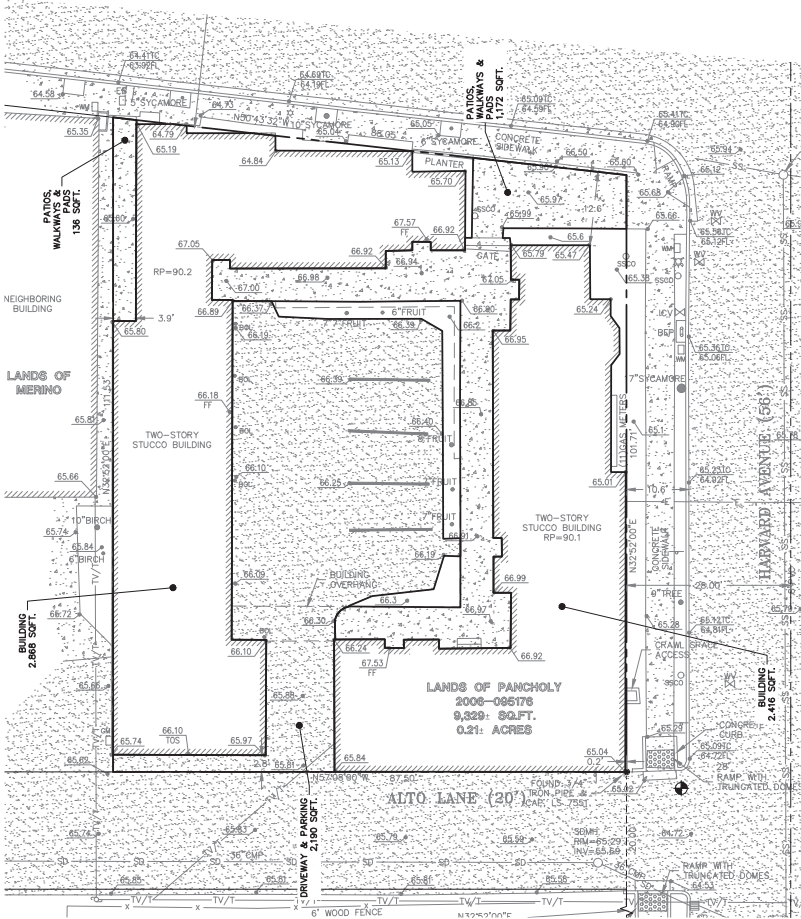
TENTATIVE MAP
 FOR CONDOMINIUM PURPOSES
 IMPERVIOUS AREA
 EXHIBIT

PLAN CHECK	PC
APPROVED	PC
DATE	2-20-19
REVISIONS	BY
JOB NO.	216306
DATE	10-10-18
SCALE	AS NOTED
DESIGN BY	RB/PC
DRAWN BY	RF/WA
SHEET NO.	

C-4.0
 08 OF 14 SHEETS



PROPOSED SITE



EXISTING SITE

DEVELOPMENT INFORMATION

Final Area of Parcel	A	9,329 SF
Existing Impervious Area	B	5,417 SF
Existing Permeable Area	C	3,912 SF
Existing % Impervious	C/A	58.1%
Existing % Permeable	D	41.9%
Proposed Impervious Area	E	6,589 SF
Proposed Permeable Area	F	2,740 SF
Proposed % Impervious	E+F	70.8%
Proposed % Permeable	G	29.2%
Net Change in Impervious Area	H	1,042 SF
Net Change in Permeable Area	I	-311 SF
Proposed Impervious Area	J	7,531 SF
Proposed Permeable Area	K	2,431 SF
Proposed % Impervious	K/A	80.6%

NOTE: PERVIOUS CONCRETE PAVED PATIOS, WALKWAYS & PADS ARE INCLUDED IN THE UNIT BUILDING AREA.

DEVELOPMENT AREA SUMMARY

PRE-DEVELOPMENT	(SQFT)	
BUILDINGS	5,284	
DRIVEWAY & PARKING	2,190	
PATIOS, WALKWAYS & PADS	1,308	
TOTAL	8,782	
POST-DEVELOPMENT	(SQFT)	
BUILDINGS	6,589	
DRIVEWAY & PARKING	598	
PATIOS, WALKWAYS & PADS	749	
PERVIOUS CONCRETE PAVED PATIOS, WALKWAYS & PADS	298	
PERVIOUS PATIOS, WALKWAYS & PADS	557	
TOTAL	8,751	
DIFFERENCE (NET DECREASE)	-31	



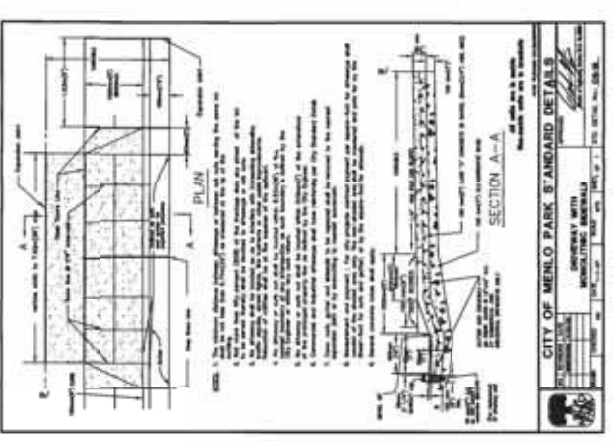
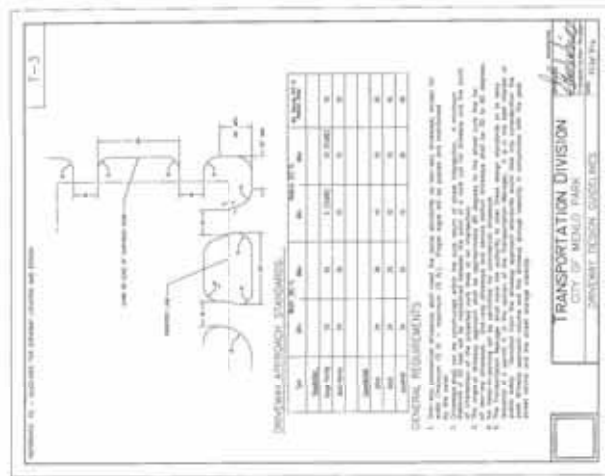
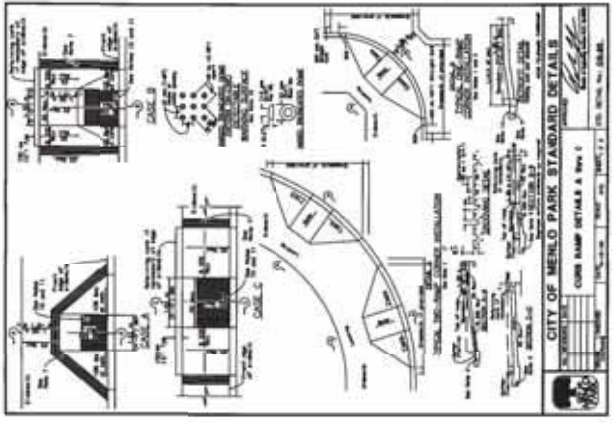
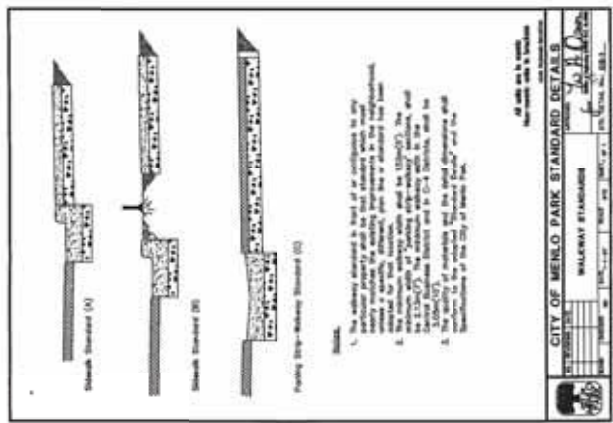
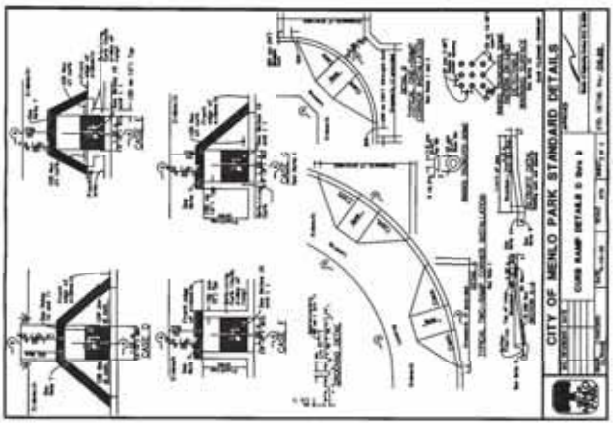
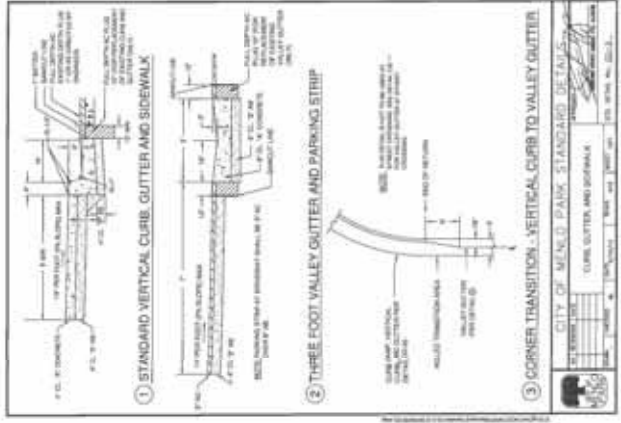
LEA & BRAZE ENGINEERING, INC.
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115 EL CAMINO REAL
 MENLO PARK, CA 94025
 SAN MATEO COUNTY
 APR: 07-43-230

TENTATIVE MAP
 FOR CONDOMINIUM PURPOSES
 DETAILS

JOB NO: 216306
 DATE: 10-10-18
 SCALE: NTS
 DESIGN BY: RB/PC
 DRAWN BY: RP/VA
 SHEET NO:

10 of 14 SHEETS





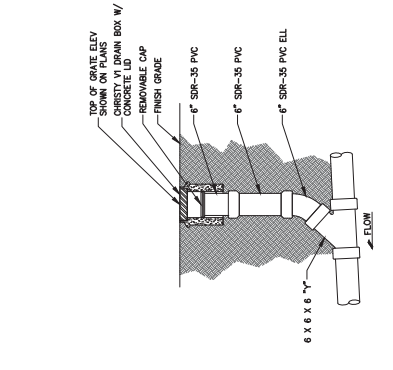
LEA & BRAZE ENGINEERING, INC.
 CIVIL ENGINEERS • LAND SURVEYORS
 2955 INDUSTRIAL PARK WEST
 SAN ANTONIO REGION
 ROSVILLE, CA 95661
 (916) 996-1338
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 APN: 071-433-330

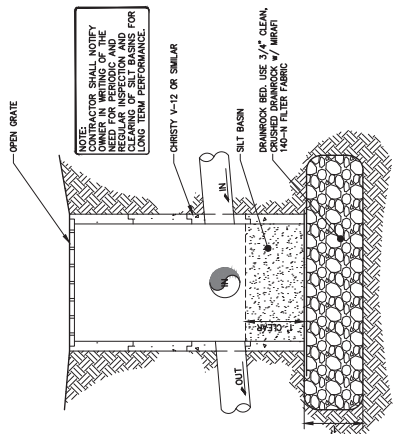
TENTATIVE MAP
 FOR CONDOMINIUM PURPOSES
 DETAILS

PLAN CHECK	PC
DATE	10-10-18
SCALE	NTS
DESIGN BY	RB/PC
DRAWN BY	RF/MA
SHEET NO.	
JOB NO.	216306
DATE	10-10-18
SCALE	NTS
DESIGN BY	RB/PC
DRAWN BY	RF/MA
SHEET NO.	

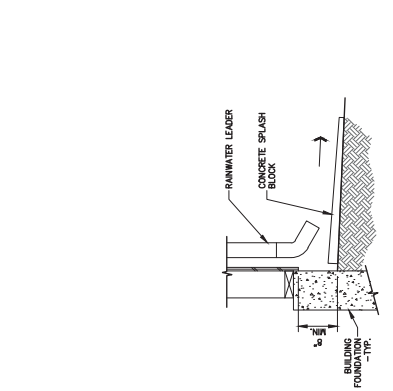
C-5.2
 12 OF 14 SHEETS



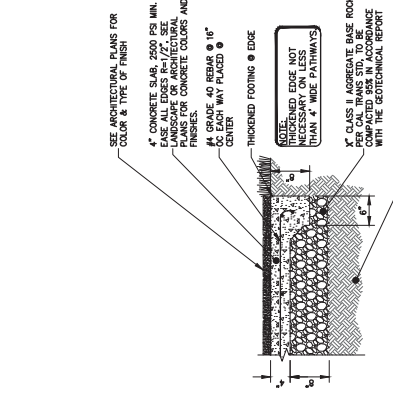
1 PATIO SLABS
 NTS
 C-5.2



2 SPLASHBLOCK AT RAIN WATER LEADER
 NTS
 C-5.2



3 DRAIN INLET/SILT BASIN - V-12
 NTS
 C-5.2



4 ON-SITE CLEANOUT
 NTS
 C-5.2



LD. DIMENSIONS

	L	W	T	WT.
CHRISTY D-10	14 1/2"	8 11/16"	11/16"	7 LB
BROOKS #3	14 1/2"	8 3/4"	1"	13 LB

BOX DIMENSIONS

	A	B	C	D	E	F	G	H	I	APPROX. WT. LBS.
CHRISTY #3	19"	14 13/16"	16 1/4"	13 1/4"	9"	9 7/8"	1"	12"	10 15/16"	89
BROOKS #3	18 1/8"	13 1/2"	16"	13 1/4"	12 9/8"	13 1/2"	1"	11"	N.A.	88

TYPICAL SEWER CLEANOUT BOX
 NTS
 C-5.2



LEA & BRAZE ENGINEERING, INC.
 CIVIL ENGINEERS - LAND SURVEYORS
 2495 INDUSTRIAL PARK WEST
 SUITE 200
 DUBLIN, CALIFORNIA 94568
 (916) 887-2729
 (916) 887-2733
 WWW.LEABRAZE.COM

115 EL CAMINO REAL
MENLO PARK, CALIFORNIA
 APN: 071-423-230
 SAN MATEO COUNTY

TOPOGRAPHIC SURVEY

JOB NO.	2168262
DATE	9-10-18
FIELD BY	ES
DRAWN BY	DB
SHEET NO.	SU1
1 OF 1 SHEETS	

NOTES

ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.
 UNDERGROUND UTILITY LOCATION IS BASED ON SURFACE EVIDENCE.
 BUILDING FOOTPRINTS ARE SHOWN TO FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLD (EXTERIOR).
 FINISH FLOOR ELEVATIONS ARE TAKEN AT GROUND LEVEL.

SURVEYOR'S STATEMENT

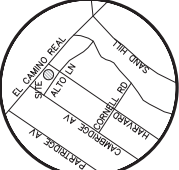
I CERTIFY THAT THIS PARCEL'S BOUNDARY WAS ESTABLISHED BY SURVEY IN CONFORMANCE WITH THE LAND SURVEYOR'S ACT. ALL MEASUREMENTS, CALCULATIONS, AND CORRECTIONS TO BE MADE, AND THE CHARACTER AND LOCATION OF ALL ADJACENT PARCELS, ARE SHOWN TO THE BEST OF MY ABILITY AND KNOWLEDGE.
 GREGORY F. BRAZE
 L.S. NO. 7623

EASEMENT NOTE

THERE ARE NO EASEMENTS OF RECORD PER CONDITION OF TITLE GUARANTEED BY THE GUARANTEE NO. F580-855800465, DATED MAY 11, 2018

BASIS OF BEARINGS

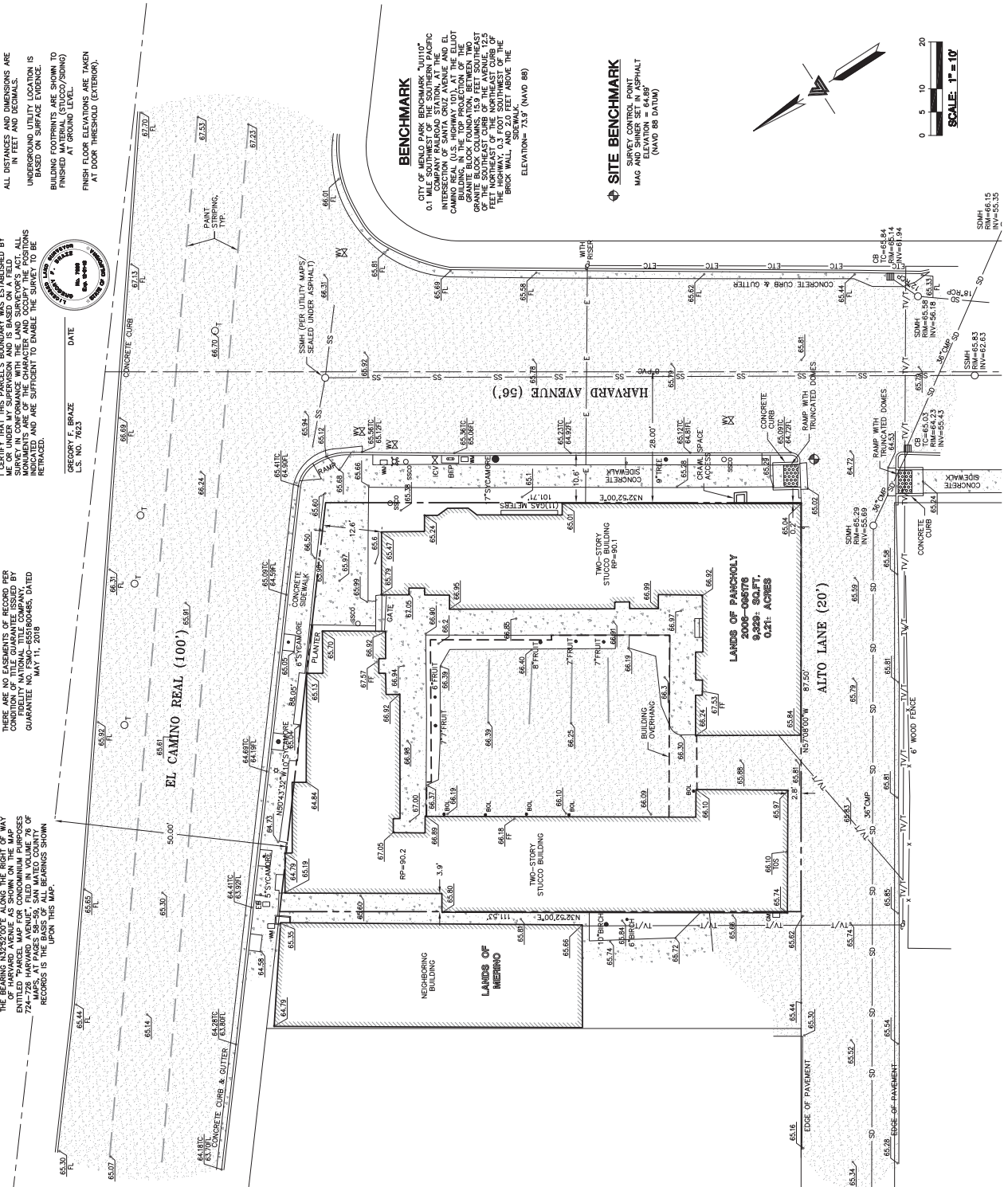
THE BEARING INSTRUMENTS ALONG THE RIGHT OF WAY ENTITLED "PARCEL MAP FOR CONDOMINIUM PURPOSES 724-728 HARVARD AVENUE", FILED IN VOLUME 76 OF RECORD 2 IS THE BASIS OF ALL BEARINGS SHOWN UPON THIS MAP.



VICINITY MAP
NO SCALE

LEGEND AND NOTES

- BOUNDARY LINE
- BUILDING OVERHANG LINE
- ETC
- CABLE TV OVERHEAD LINE
- ELECTRICAL OVERHEAD LINE
- TV/T
- FENCE LINE
- SANITARY SEWER LINE
- STORM DRAIN LINE
- NO
- BACK FLOW PREVENTER
- BENCHMARK
- CATCH BASIN
- ELECTRICAL BOX
- ELECTRICAL METER
- FINISH FLOOR
- FIRE HYDRANT
- FLOW LINE
- GAS METER
- GAS VALVE
- INVERT
- IRRIGATION CONTROL VALVE
- JOINT POLE
- REINFORCED CONCRETE PIPE
- ROOF PEAK
- SANITARY SEWER CLEAN-OUT
- SANITARY SEWER MANHOLE
- STORM DRAIN MANHOLE
- STREET SIGN
- TELEPHONE MANHOLE
- TOP OF CURB
- TOP OF SLAB
- VITRIFIED CLAY PIPE
- WATER METER
- WATER VALVE
- SPOTS/RAE
- ASPHALT
- CONCRETE

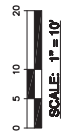


BENCHMARK

CITY OF MENLO PARK BENCHMARK 711107
 0.1 CITY OF MENLO PARK BENCHMARK 711107
 COMPANY RAILROAD STATION, AT THE
 EL CAMINO REAL (U.S. HIGHWAY 101), AT THE ELLIPTICAL
 BUILDING, IN THE TOP PROJECTION OF THE
 GRANITE BLOCK COLUMNS, 13.9 FEET SOUTHEAST
 OF THE SOUTHWEST CORNER OF THE EAST PAVEMENT
 OF THE HIGHWAY, 0.3 FOOT SOUTHWEST OF THE
 BRICK WALL, SIDEWALK ABOVE THE
 ELEVATION= 73.9' (NAD 88)

SITE BENCHMARK

SURVEY CONTROL POINT
 MAG AND SHINER SET IN ASPHALT
 (NAD 88 DATUM)



SCALE: 1" = 10'



115 EL CAMINO PROJECT DESCRIPTION

PURPOSE OF THE PROPOSAL

The submitted proposal for 115 El Camino Real is for the redevelopment of the site as a mixed use/residential building.

SCOPE OF WORK

The existing site currently houses a two-story, residential hotel that is to be demolished prior to new construction. Our proposal is for a three-story building, consisting of ground floor commercial with residential units on the two floors above.

There are two commercial spaces, both fronting El Camino Real, totaling 1,420 leasable square footage. Parking is located behind the commercial units, a total of 12 covered and 2 uncovered spaces, with dedicated bike parking as required. Level two consists of two 3-bedroom and one 2-bedroom condominium units and level four has a larger "owner's" unit.

ARCHITECTURAL STYLE, MATERIALS, COLORS, CONSTRUCTION METHODS

The proposed project looks to the work of southern California architects Irving Gill and Mark Mack as precedent, taking from them a clarity of form and material while keeping with the spirit of buildings found throughout San Mateo County and on the El Camino Real.

The building is designed as a carved mass on the first and second floors supporting a series of floating pavilions and terraces above. The mass is defined by deep recesses and inset windows and entries that are carved from a smooth finish cement plaster. The recesses also serve as shading devices and dark contrast to the light-colored cement plaster. Along El Camino Real is a two-story layered façade that harmonizes the commercial space on the ground floor to the residential space on the second floor. The ground floor has transparent glazing between the columns which becomes open space on the second floor; this helps to screen the residential occupants from the traffic of El Camino Real while still providing ample outdoor space as an extension of their indoor living. On the third floor, the walls are set back from the rest of the building to reduce the apparent mass and in accord with setbacks and height limits as outlined in the Menlo Park Planning Code and ECR Overlay. Architecturally, the structure on this level is envisioned as a series of "floating" pavilions set atop the massive structure below, made to recede with the darker materiality. They are unified by the large roof plane, which is alternately expressed or repressed in relation to the sun and to the immediate context, larger arterials and local, neighborhood streets. The setback spaces become elevated ground, terraces that surround the upper floor unit, making it a "garden home."

The palette includes off white smooth finish cement plaster, engineered wood in a medium brown finish, bronze anodized aluminum, and transparent glazing. These are regionally appropriate materials and are used to create elegant compositions for each façade, as the proposed project is on a corner and has three street frontages.

Generally, this is a contemporary structure that pays homage to The Mission Style, and the history of The El Camino in its mass and material palette.

BASIS FOR SITE LAYOUT

The proposed building has two primary façades, one fronting El Camino Real with emphasis on the ground floor commercial to create a pedestrian friendly environment along the lines of the General Plan for this area. The other, fronting Harvard Avenue emphasizes the residential entry and vertical circulation to the units above. The commercial units have individual recessed entries marked by signage and canopies. There is adequate space for site furnishing to further address the pedestrian scale and presence here, and drought tolerant native species have been specified for landscaping. The primary residential entrance faces Harvard Avenue taking cues from the surrounding context by providing access on the smaller, lower speed side of the parcel. Vehicles enter the parking garage from Harvard Avenue and exit on Alto Ln – there is no direct vehicle access from El Camino Real.

115 El Camino Real – Attachment G: Data Table

	PROPOSED PROJECT	EXISTING DEVELOPMENT	ZONING ORDINANCE
Lot area	9,329.0 sf	9,329.0 sf	n/a sf min.
Setbacks			
Front (ECR)	8.0 ft.	0 ft.	7.0-12.0 ft. min.-max. (with space for 12-foot sidewalk)
Side (Harvard)	7.0 ft.	0 ft.	7.0-12.0 ft. min.-max. (with space for 12-foot sidewalk)
Side (Alto)	8.0 ft.	0 ft.	7.0-12.0 ft. min.-max.
Side (interior)	5.0 ft.	0 ft.	5.0-25.0 ft. min.-max.
Density	4.0 du 18.7 du/acre	0 du n/a du/acre	5.4 du max. 25.0 du/acre max.
FAR (Floor Area Ratio)	10,261.8 sf 110.0 %	8,962.8 sf 96.1 %	10,261.9 sf max. 110.0 % max.
Square footage by use			
Residential	8,719.0 sf	0 sf	
Commercial	1,542.8 sf	8,962.8 sf	
Open Space	4,902.3 sf 47.7 %	n/a sf n/a %	2,798.7 sf min. 30.0 % min.
Building height	38.0 ft.	24 ft.	38.0 ft. max.
Parking			
Residential	14 total	n/a	1.85 space per du min. = 7.4 spaces
Commercial		5 spaces	4 spaces per 1,000 sf (retail, personal service or non-medical office) = 6.17 spaces
Trees			
Heritage trees	0	Non-Heritage trees	9*
Heritage trees proposed for removal	0	Non-Heritage trees proposed for removal	5***
		New Trees	1**
		Total Number of Trees	5
* Five of these are street trees. ** This is a street tree. *** One of these is a street tree.			

Menlo Park El Camino Real/Downtown Specific Plan
Standards and Guidelines: 115 El Camino Real Compliance Worksheet

<u>Section</u>	<u>Standard or Guideline</u>	<u>Requirement</u>	<u>Evaluation</u>
E.3.1 Development Intensity			
E.3.1.01	Standard	Business and Professional office (inclusive of medical and dental office) shall not exceed one half of the base FAR or public benefit bonus FAR, whichever is applicable.	Complies. The commercial space would be parked to allow a mixture of non-medical office, retail, or personal services, and the FAR would be well below one-half of the base FAR.
E.3.1.02	Standard	Medical and Dental office shall not exceed one third of the base FAR or public benefit bonus FAR, whichever is applicable.	N/A – There is no medical or dental office proposed in this project
E.3.2 Height			
E.3.2.01	Standard	Roof-mounted mechanical equipment, solar panels, and similar equipment may exceed the maximum building height, but shall be screened from view from publicly-accessible spaces.	Tentatively Complies. Roof mounted mechanical equipment does exceed the allowable height of 38' but is mostly screened from view by parapets which do not exceed 4' in height. Clarification is needed on the roof plan and elevation on A1.5 to show the offset parapet wall between the stair and elevator parapets completely screens the mechanical equipment as suggested by the A3.2. elevation. Recommended condition of approval 6(b) would ensure no gaps in screening.
E.3.2.02	Standard	Vertical building projections such as parapets and balcony railings may extend up to 4 feet beyond the maximum façade height or the maximum building height, and shall be integrated into the design of the building.	Complies. No parapets exceed 4'-0" beyond the maximum façade height of the maximum building height. They are integrated into the building design depending on where they occur. See sheets A1.5, A3.1, A3.2
E.3.2.03	Standard	Rooftop elements that may need to exceed the maximum building height due to their function, such as stair and elevator towers, shall not exceed 14 feet beyond the maximum building height. Such rooftop elements shall be integrated into the design of the building.	Complies. The stair and elevator towers extend beyond the maximum building height, but not past the 4'-0" parapet height. See sheets A3.1 to A3.4 for height and appearance of stair and elevator projections.
E.3.3 Setbacks and Projections within Setbacks			
E.3.3.01	Standard	Front setback areas shall be developed with sidewalks, plazas, and/or landscaping as appropriate.	Complies. The front setback has landscaping adjacent to the building where the sidewalk does not meet the building facade. In other areas the sidewalk requirements fulfill the entire setback dimension. Landscaping includes a mix of low and medium size shrubs and two small trees using native planting, such as manzanitas. Entries have decorative permeable paving. See sheet L1.0
E.3.3.02	Standard	Parking shall not be permitted in front setback areas.	Complies. There is no parking in the front setback. See Sheet A0.3 Site Plan
E.3.3.03	Standard	In areas where no or a minimal setback is required, limited setback for store or lobby entry recesses shall not exceed a maximum of 4-foot depth and a maximum of 6-foot width.	N/A - Setbacks are required in ECR-SW.

Menlo Park El Camino Real/Downtown Specific Plan
Standards and Guidelines: 115 El Camino Real Compliance Worksheet

<u>Section</u>	<u>Standard or Guideline</u>	<u>Requirement</u>	<u>Evaluation</u>
E.3.3.04	Standard	In areas where no or a minimal setback is required, building projections, such as balconies, bay windows and dormer windows, shall not project beyond a maximum of 3 feet from the building face into the sidewalk clear walking zone, public right-of-way or public spaces, provided they have a minimum 8-foot vertical clearance above the sidewalk clear walking zone, public right-of-way or public space.	N/A - Setbacks are required in ECR-SW.
E.3.3.05	Standard	In areas where setbacks are required, building projections, such as balconies, bay windows and dormer windows, at or above the second habitable floor shall not project beyond a maximum of 5 feet from the building face into the setback area.	Complies. This project does not have any building projections that exceed beyond 5' from the building face into the setback area. One projection on the Harvard Avenue side is 3' into 7-foot minimum setback. See sheet G0.3.
E.3.3.06	Standard	The total area of all building projections shall not exceed 35% of the primary building façade area. Primary building façade is the façade built at the property or setback line.	Complies. There are no building projections on primary façade facing ECR. There is one projection on façade facing Harvard Ave. and this does not exceed 35% of façade area.
E.3.3.07	Standard	Architectural projections like canopies, awnings and signage shall not project beyond a maximum of 6 feet horizontally from the building face at the property line or at the minimum setback line. There shall be a minimum of 8-foot vertical clearance above the sidewalk, public right-of-way or public space.	Complies. No architectural projection extends beyond 6' from the building face at the property line or at the minimum setback line. Where canopies or other projections do occur, there is a minimum 8' vertical clearance. See sheet A0.3 and G0.2
E.3.3.08	Standard	No development activities may take place within the San Francisquito Creek bed, below the creek bank, or in the riparian corridor.	Complies. No development activities are proposed within the San Francisquito Creek bed, below the creek bank, or in the riparian corridor.
E.3.4 Massing and Modulation			
E.3.4.1 Building Breaks			
E.3.4.1.01	Standard	The total of all building breaks shall not exceed 25 percent of the primary façade plane in a development.	N/A - The maximum distance between building breaks is 100' according to Table E3. This is more than the total length of the proposed project, and therefore building breaks are not required for this project.
E.3.4.1.02	Standard	Building breaks shall be located at ground level and extend the entire building height.	N/A – see above, building breaks are not required.
E.3.4.1.03	Standard	In all districts except the ECR-SE zoning district, recesses that function as building breaks shall have minimum dimensions of 20 feet in width and depth and a maximum dimension of 50 feet in width. For the ECR-SE zoning district, recesses that function as building breaks shall have a minimum dimension of 60 feet in width and 40 feet in depth.	N/A – see above, building breaks are not required.
E.3.4.1.04	Standard	Building breaks shall be accompanied with a major change in fenestration pattern, material and color to have a distinct treatment for each volume.	N/A – see above, building breaks are not required.
E.3.4.1.05	Standard	In all districts except the ECR-SE zoning district, building breaks shall be required as shown in Table E3.	N/A – see above, building breaks are not required.

Menlo Park El Camino Real/Downtown Specific Plan
Standards and Guidelines: 115 El Camino Real Compliance Worksheet

<u>Section</u>	<u>Standard or Guideline</u>	<u>Requirement</u>	<u>Evaluation</u>
E.3.4.1.06	Standard	<p>In the ECR-SE zoning district, and consistent with Table E4 the building breaks shall:</p> <ul style="list-style-type: none"> • Comply with Figure E9; • Be a minimum of 60 feet in width, except where noted on Figure E9; • Be a minimum of 120 feet in width at Middle Avenue; • Align with intersecting streets, except for the area between Roble Avenue and Middle Avenue; • Be provided at least every 350 feet in the area between Roble Avenue and Middle Avenue; where properties under different ownership coincide with this measurement, the standard side setbacks (10 to 25 feet) shall be applied, resulting in an effective break of between 20 to 50 feet. • Extend through the entire building height and depth at Live Oak Avenue, Roble Avenue, Middle Avenue, Partridge Avenue and Harvard Avenue; and • Include two publicly-accessible building breaks at Middle Avenue and Roble Avenue. 	N/A – this project is in ECR-SW zoning district.
E.3.4.1.07	Standard	<p>In the ECR-SE zoning district, the Middle Avenue break shall include vehicular access; publicly-accessible open space with seating, landscaping and shade; retail and restaurant uses activating the open space; and a pedestrian/bicycle connection to Alma Street and Burgess Park. The Roble Avenue break shall include publicly-accessible open space with seating, landscaping and shade.</p>	N/A – this project is in ECR-SW zoning district.
E.3.4.1.08	Guideline	<p>In the ECR-SE zoning district, the breaks at Live Oak, Roble, Middle, Partridge and Harvard Avenues may provide vehicular access.</p>	N/A – this project is in ECR-SW zoning district.
E.3.4.2 Façade Modulation and Treatment			
E.3.4.2.01	Standard	<p>Building façades facing public rights-of-way or public open spaces shall not exceed 50 feet in length without a minor building façade modulation. At a minimum of every 50' façade length, the minor vertical façade modulation shall be a minimum 2 feet deep by 5 feet wide recess or a minimum 2-foot setback of the building plane from the primary building façade.</p>	<p>Complies. Building modulations that meet the stated requirements are located on the facades facing El Camino Real, Harvard Ave., and Alto Ln. The offsets of wider than five feet and two feet depth are shown on sheet G0.2 and can be measured on sheet G0.3.</p>

Menlo Park El Camino Real/Downtown Specific Plan
Standards and Guidelines: 115 El Camino Real Compliance Worksheet

<u>Section</u>	<u>Standard or Guideline</u>	<u>Requirement</u>	<u>Evaluation</u>
E.3.4.2.02	Standard	Building façades facing public rights-of-way or public open spaces shall not exceed 100 feet in length without a major building modulation. At a minimum of every 100 feet of façade length, a major vertical façade modulation shall be a minimum of 6 feet deep by 20 feet wide recess or a minimum of 6 feet setback of building plane from primary building façade for the full height of the building. This standard applies to all districts except ECR NE-L and ECR SW since those two districts are required to provide a building break at every 100 feet.	N/A – this standard does not apply to ECR-SW zoning district.
E.3.4.2.03	Standard	In addition, the major building façade modulation shall be accompanied with a 4-foot minimum height modulation and a major change in fenestration pattern, material and/or color.	N/A – this standard does not apply to ECR-SW zoning district.
E.3.4.2.04	Guideline	Minor façade modulation may be accompanied with a change in fenestration pattern, and/or material, and/or color, and/or height.	Complies. Façade modulations along El Camino Real occur at entries and have a change in fenestration. The modulation along Harvard has a change in material and texture. The modulation along Alto Lane has a change in material and solid/void relationship. See sheet G0.2 and Elevations sheets A3.1-A3.4
E.3.4.2.05	Guideline	Buildings should consider sun shading mechanisms, like overhangs, <i>bris soleils</i> and clerestory lighting, as façade articulation strategies.	Complies. The south and east facades (facing Harvard Ave. and El Camino Real) both utilize perforated metal sun shading screens that sit outboard of windows and horizontal awnings. Residential units have overhangs and trellis elements to shade windows. See sheets G0.2 and A3.1 and A3.2 for overhangs, trellises and screen locations, and D.1 and D.2 for materials.
E.3.4.3 Building Profile			
E.3.4.3.01	Standard	The 45-degree building profile shall be set at the minimum setback line to allow for flexibility and variation in building façade height within a district.	Complies. The 45-degree building profile is set at the minimum setback line along both El Camino Real and Harvard Ave. See sheet G0.2
E.3.4.3.02	Standard	Horizontal building and architectural projections, like balconies, bay windows, dormer windows, canopies, awnings, and signage, beyond the 45-degree building profile shall comply with the standards for Building Setbacks & Projection within Setbacks (E.3.3.04 to E.3.3.07) and shall be integrated into the design of the building.	Complies. Horizontal projections that extend beyond the 45-degree building profile are limited to the roof eave at the upper floor on the El Camino Real and Harvard Avenue sides and are integrated into the design. See sheet G0.2.
E.3.4.3.03	Standard	Vertical building projections like parapets and balcony railings shall not extend 4 feet beyond the 45-degree building profile and shall be integrated into the design of the building.	Complies. Parapets do not extend more than 4' into the 45-degree building profile and are integrated into the overall design. See sheet G0.2 for projection and A6.0 for design integration.

Menlo Park El Camino Real/Downtown Specific Plan
Standards and Guidelines: 115 El Camino Real Compliance Worksheet

<u>Section</u>	<u>Standard or Guideline</u>	<u>Requirement</u>	<u>Evaluation</u>
E.3.4.3.04	Standard	Rooftop elements that may need to extend beyond the 45-degree building profile due to their function, such as stair and elevator towers, shall be integrated into the design of the building.	Complies. The elevator and stair tower extend into the 45-degree building profile and are integrated into the overall building design. See sheets A3.2 and A6.0.
E.3.4.4 Upper Story Façade Length			
E.3.4.4.01	Standard	Building stories above the 38-foot façade height shall have a maximum allowable façade length of 175 feet along a public right-of-way or public open space.	N/A - The ECR SW district does not permit building heights above 38'.
E.3.5 Ground Floor Treatment, Entry and Commercial Frontage			
Ground Floor Treatment			
E.3.5.01	Standard	The retail or commercial ground floor shall be a minimum 15-foot floor-to-floor height to allow natural light into the space.	Complies. The commercial ground floor is 15' floor to floor in height. See sheet G0.2.
E.3.5.02	Standard	Ground floor commercial buildings shall have a minimum of 50% transparency (i.e., clear-glass windows) for retail uses, office uses and lobbies to enhance the visual experience from the sidewalk and street. Heavily tinted or mirrored glass shall not be permitted.	Complies. The ground floor commercial spaces have at least 50% transparency from the sidewalk and street. See diagram on sheet G0.3 for calc.
E.3.5.03	Guideline	Buildings should orient ground-floor retail uses, entries and direct-access residential units to the street.	Complies. Ground floor commercial spaces are oriented towards El Camino Real with entrances to the street. See sheet G0.3.
E.3.5.04	Guideline	Buildings should activate the street by providing visually interesting and active uses, such as retail and personal service uses, in ground floors that face the street. If office and residential uses are provided, they should be enhanced with landscaping and interesting building design and materials.	Complies. This project activates the street (El Camino Real) with two ground floor commercial spaces intended for personal service use and retail (or non-medical office). See sheet G0.3. The Harvard Avenue side has windows at the building corner to the commercial uses and the residential entry as well as landscape.
E.3.5.05	Guideline	For buildings where ground floor retail, commercial or residential uses are not desired or viable, other project-related uses, such as a community room, fitness center, daycare facility or sales center, should be located at the ground floor to activate the street.	N/A - ground floor retail is proposed.
E.3.5.06	Guideline	Blank walls at ground floor are discouraged and should be minimized. When unavoidable, continuous lengths of blank wall at the street should use other appropriate measures such as landscaping or artistic intervention, such as murals.	Complies. There are no blank walls along any street facing side of the building. Walls have windows/openings or other design elements. See A3.1 to A3.3, A6.0, and A6.1. The interior side of the parcel, where it is visible from the sidewalk or street has a two-story metal frame that wraps the building corner at the retail space and residential deck and unit above. See A3.4 and A6.1.
E.3.5.07	Guideline	Residential units located at ground level should have their floors elevated a minimum of 2 feet to a maximum of 4 feet above the finished grade sidewalk for better transition and privacy, provided that accessibility codes are met.	N/A - there are no residential units located at the ground level.

Menlo Park El Camino Real/Downtown Specific Plan
Standards and Guidelines: 115 El Camino Real Compliance Worksheet

<u>Section</u>	<u>Standard or Guideline</u>	<u>Requirement</u>	<u>Evaluation</u>
E.3.5.08	Guideline	Architectural projections like canopies and awnings should be integrated with the ground floor and overall building design to break up building mass, to add visual interest to the building and provide shelter and shade.	Complies. Canopies and awnings are utilized over entrances and add visual interest to the building. See renderings on sheet A6.0, elevations A3.1 to A3.4 and sheet G0.2.
Building Entries			
E.3.5.09	Standard	Building entries shall be oriented to a public street or other public space. For larger residential buildings with shared entries, the main entry shall be through prominent entry lobbies or central courtyards facing the street. From the street, these entries and courtyards provide additional visual interest, orientation and a sense of invitation.	Complies. The commercial building entries are located along El Camino Real, while the main residential entry is located along Harvard Ave. See G0.3.
E.3.5.10	Guideline	Entries should be prominent and visually distinctive from the rest of the façade with creative use of scale, materials, glazing, projecting or recessed forms, architectural details, color, and/or awnings.	Complies. All entries are visually distinctive. The commercial entries have signage, recessed forms, and canopies. The residential entry is recessed, has a change in material, and awning. See sheets A6.0 – A6.2.
E.3.5.11	Guideline	Multiple entries at street level are encouraged where appropriate.	Complies. There are multiple entries at street level. See sheet G0.3.
E.3.5.12	Guideline	Ground floor residential units are encouraged to have their entrance from the street.	N/A - there are no ground floor residential units.
E.3.5.13	Guideline	Stoops and entry steps from the street are encouraged for individual unit entries when compliant with applicable accessibility codes. Stoops associated with landscaping create inviting, usable and visually attractive transitions from private spaces to the street.	N/A - there are no ground floor residential units.
E.3.5.14	Guideline	Building entries are allowed to be recessed from the primary building façade.	Complies. Building entries are recessed from the primary building façade. See sheet G0.3.
Commercial Frontage			
E.3.5.15	Standard	Commercial windows/storefronts shall be recessed from the primary building façade a minimum of 6 inches	Complies. Commercial storefronts are recessed from the primary façade at the personal service space and from the layered metal frame at the retail space. See sheet G0.3 for dimensions and details 8 and 10 on D.1 for visual reference.
E.3.5.16	Standard	Retail frontage, whether ground floor or upper floor, shall have a minimum 50% of the façade area transparent with clear vision glass, not heavily tinted or highly mirrored glass.	Complies. Retail frontage has a minimum 50% transparency façade area, see diagram and calculation on sheet G0.3.
E.3.5.17	Guideline	Storefront design should be consistent with the building's overall design and contribute to establishing a well-defined ground floor for the façade along streets.	Complies. Storefront design is consistent with the building's overall design. More glazing is used, but similar materials are used in ways to integrate with the residential uses above. See sheets A6.0 and A6.1.
E.3.5.18	Guideline	The distinction between individual storefronts, entire building façades and adjacent properties should be maintained.	Complies. There is a distinction between individual storefronts with material application and form. See sheet G0.2.

Menlo Park El Camino Real/Downtown Specific Plan
Standards and Guidelines: 115 El Camino Real Compliance Worksheet

<u>Section</u>	<u>Standard or Guideline</u>	<u>Requirement</u>	<u>Evaluation</u>
E.3.5.19	Guideline	Storefront elements such as windows, entrances and signage should provide clarity and lend interest to the façade.	Complies. Windows, entrances, and signage provide clarity and interest to the façade. See sheets A6.0 and A6.1 and elevation A3.1.
E.3.5.20	Guideline	Individual storefronts should have clearly defined bays. These bays should be no greater than 20 feet in length. Architectural elements, such as piers, recesses and projections help articulate bays.	Complies. Individual storefronts have clearly defined bays, not exceeding 20' in length. See sheet G0.3 for dimensions and sheet G0.2 for form and design.
E.3.5.21	Guideline	All individual retail uses should have direct access from the public sidewalk. For larger retail tenants, entries should occur at lengths at a maximum at every 50 feet, consistent with the typical lot size in downtown.	Complies. Both commercial spaces have their own dedicated entry, with direct access from the public sidewalk. See sheet G0.3
E.3.5.22	Guideline	Recessed doorways for retail uses should be a minimum of two feet in depth. Recessed doorways provide cover or shade, help identify the location of store entrances, provide a clear area for out-swinging doors and offer the opportunity for interesting paving patterns, signage and displays.	Complies. Both commercial doorways are recessed a minimum of 2', have signage, and overhead cover. See sheet G0.3
E.3.5.23	Guideline	Storefronts should remain un-shuttered at night and provide clear views of interior spaces lit from within. If storefronts must be shuttered for security reasons, the shutters should be located on the inside of the store windows and allow for maximum visibility of the interior.	Complies. The commercial storefronts are un-shuttered.
E.3.5.24	Guideline	Storefronts should not be completely obscured with display cases that prevent customers and pedestrians from seeing inside.	Complies. There are no built-in display cases to prevent sightlines to the interior of the retail spaces. See sheet A2.1
E.3.5.25	Guideline	Signage should not be attached to storefront windows.	Complies. Signage is not attached to storefront windows. See signage plan sheet A8.0
E.3.6 Open Space			
E.3.6.01	Standard	Residential developments or Mixed Use developments with residential use shall have a minimum of 100 square feet of open space per unit created as common open space or a minimum of 80 square feet of open space per unit created as private open space, where private open space shall have a minimum dimension of 6 feet by 6 feet. In case of a mix of private and common open space, such common open space shall be provided at a ratio equal to 1.25 square feet for each one square foot of private open space that is not provided.	Complies. Private open space is provided for each unit and exceeds the minimum requirement. See sheet A0.4 for open space calculations.
E.3.6.02	Standard	Residential open space (whether in common or private areas) and accessible open space above parking podiums up to 16 feet high shall count towards the minimum open space requirement for the development.	Complies. The residential private open space is counted towards the overall open space requirement.

Menlo Park El Camino Real/Downtown Specific Plan
Standards and Guidelines: 115 El Camino Real Compliance Worksheet

<u>Section</u>	<u>Standard or Guideline</u>	<u>Requirement</u>	<u>Evaluation</u>
E.3.6.03	Guideline	Private and/or common open spaces are encouraged in all developments as part of building modulation and articulation to enhance building façade.	Complies. There is modulation on the second and third levels where private open space occurs. See renderings on sheet A6.0.
E.3.6.04	Guideline	Private development should provide accessible and usable common open space for building occupants and/or the general public.	Complies. There is landscaping where appropriate, and these areas are open to the general public from the sidewalk. See sheet L1.0.
E.3.6.05	Guideline	For residential developments, private open space should be designed as an extension of the indoor living area, providing an area that is usable and has some degree of privacy.	Complies. Private open space is designed as an extension of the indoor living area for all 4 units. See upper level floor plans sheets A1.2 and A1.3
E.3.6.06	Guideline	Landscaping in setback areas should define and enhance pedestrian and open space areas. It should provide visual interest to streets and sidewalks, particularly where building façades are long.	Complies. Landscaping is used to enhance the pedestrian experience from the sidewalk and views from the interior. See sheet L1.0.
E.3.6.07	Guideline	Landscaping of private open spaces should be attractive, durable and drought-resistant.	Complies. All plants called out in the preliminary landscape plan are native drought-resistant species. See sheet L1.0.
E.3.7 Parking, Service and Utilities			
General Parking and Service Access			
E.3.7.01	Guideline	The location, number and width of parking and service entrances should be limited to minimize breaks in building design, sidewalk curb cuts and potential conflicts with streetscape elements.	Complies. Parking entrances have been minimized and located on less trafficked streets. See sheet G0.4
E.3.7.02	Guideline	In order to minimize curb cuts, shared entrances for both retail and residential use are encouraged. In shared entrance conditions, secure access for residential parking should be provided.	Complies. There are 14 spaces total of which 12 are in the gated garage and 2 are along Alto Lane. There would be one entrance and one exit for parking at the proposed project. The gates would be locked outside of business hours to provide secure access. See sheet G0.4 for the parking layout.
E.3.7.03	Guideline	When feasible, service access and loading docks should be located on secondary streets or alleys and to the rear of the building.	Complies. The trash room is located on a secondary street to the rear of the building. There are no loading docks. See G0.3.
E.3.7.04	Guideline	The size and pattern of loading dock entrances and doors should be integrated with the overall building design.	N/A - There are no loading docks proposed for this project.
E.3.7.05	Guideline	Loading docks should be screened from public ways and adjacent properties to the greatest extent possible. In particular, buildings that directly adjoin residential properties should limit the potential for loading-related impacts, such as noise. Where possible, loading docks should be internal to the building envelope and equipped with closable doors. For all locations, loading areas should be kept clean.	N/A - There are no loading docks proposed for this project.

Menlo Park El Camino Real/Downtown Specific Plan
Standards and Guidelines: 115 El Camino Real Compliance Worksheet

<u>Section</u>	<u>Standard or Guideline</u>	<u>Requirement</u>	<u>Evaluation</u>
E.3.7.06	Guideline	Surface parking should be visually attractive, address security and safety concerns, retain existing mature trees and incorporate canopy trees for shade. See Section D.5 for more complete guidelines regarding landscaping in parking areas.	Complies. There are 2 surface parking spaces on the proposed site plan along Alto Lane. They are placed in an area that is visually attractive, while addressing security and safety with adequate lighting and proximity. No mature trees are removed for this parking. See sheet G0.4.
Utilities			
E.3.7.07	Guideline	All utilities in conjunction with new residential and commercial development should be placed underground.	Complies. All utilities are proposed to be underground. See Civil sheets.
E.3.7.08	Guideline	Above ground meters, boxes and other utility equipment should be screened from public view through use of landscaping or by integrating into the overall building design.	Complies. Gas meters are proposed inside the garage opening, screened from view. Water meters will remain and are screened with landscaping. The transformer is shown underground near the building corner at Alto Lane and Harvard Avenue. The backflow prevention device is shown on the Harvard side and screened by landscape. See sheet G0.3.
Parking Garages			
E.3.7.09	Standard	To promote the use of bicycles, secure bicycle parking shall be provided at the street level of public parking garages. Bicycle parking is also discussed in more detail in Section F.5 "Bicycle Storage Standards and Guidelines."	Complies. Secure bicycle parking is provided per the requirements in Table F1 of the ECR Specific Plan. There is a bike storage room accessed along the interior side yard and 3 visitor bike racks on the street. See sheet G0.3.
E.3.7.10	Guideline	Parking garages on downtown parking plazas should avoid monolithic massing by employing change in façade rhythm, materials and/or color.	N/A - this project is not a parking garage on a downtown parking plaza.
E.3.7.11	Guideline	To minimize or eliminate their visibility and impact from the street and other significant public spaces, parking garages should be underground, wrapped by other uses (i.e. parking podium within a development) and/or screened from view through architectural and/or landscape treatment.	Complies. The parking garage is visible from Harvard Ave. and Alto Ln, and the interior is screened through architectural treatment and landscape. The garage has access to daylight, and these punctures provide a rhythm to the façade. See sheet G0.2 and L1.0.
E.3.7.12	Guideline	Whether free-standing or incorporated into overall building design, garage façades should be designed with a modulated system of vertical openings and pilasters, with design attention to an overall building façade that fits comfortably and compatibly into the pattern, articulation, scale and massing of surrounding building character.	Complies. The garage facades facing Harvard Ave and Alto Ln are designed with a system of vertical openings which are compatible with the scale, massing, and articulation of the surrounding building character. See sheet G0.2 and renderings sheet A6.0.
E.3.7.13	Guideline	Shared parking is encouraged where feasible to minimize space needs, and it is effectively codified through the plan's off-street parking standards and allowance for shared parking studies.	Complies. The parking requirement for the residential units is 7.4 spaces and the requirement for the commercial is 6.14 spaces, meaning the 14 spaces would be shared to some degree. Staff will work with the applicant to ensure any assigned spaces would leave adequate spaces for customers and employees of the commercial units.

Menlo Park El Camino Real/Downtown Specific Plan
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<u>Section</u>	<u>Standard or Guideline</u>	<u>Requirement</u>	<u>Evaluation</u>
E.3.7.14	Guideline	A parking garage roof should be approached as a usable surface and an opportunity for sustainable strategies, such as installment of a green roof, solar panels or other measures that minimize the heat island effect.	N/A - The proposed garage parking is on the ground level with building above.
E.3.8 Sustainable Practices			
Overall Standards			
E.3.8.01	Standard	Unless the Specific Plan area is explicitly exempted, all citywide sustainability codes or requirements shall apply.	Complies. Project complies with citywide sustainability codes, see LEED checklist.
Overall Guidelines			
E.3.8.02	Guideline	Because green building standards are constantly evolving, the requirements in this section should be reviewed and updated on a regular basis of at least every two years.	N/A - City requirement.

Menlo Park El Camino Real/Downtown Specific Plan
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Leadership in Energy and Environmental Design (LEED) Standards			
E.3.8.03	Standard	<p>Development shall achieve LEED certification, at Silver level or higher, or a LEED Silver equivalent standard for the project types listed below. For LEED certification, the applicable standards include LEED New Construction; LEED Core and Shell; LEED New Homes; LEED Schools; and LEED Commercial Interiors. Attainment shall be achieved through LEED certification or through a City-approved outside auditor for those projects pursuing a LEED equivalent standard. The requirements, process and applicable fees for an outside auditor program shall be established by the City and shall be reviewed and updated on a regular basis. LEED certification or equivalent standard, at a Silver level or higher, shall be required for:</p> <ul style="list-style-type: none"> • Newly constructed residential buildings of Group R (single-family, duplex and multi-family); • Newly constructed commercial buildings of Group B (occupancies including among others office, professional and service type transactions) and Group M (occupancies including among others display or sale of merchandise such as department stores, retail stores, wholesale stores, markets and sales rooms) that are 5,000 gross square feet or more; • New first-time build-outs of commercial interiors that are 20,000 gross square feet or more in buildings of Group B and M occupancies; and • Major alterations that are 20,000 gross square feet or more in existing buildings of Group B, M and R occupancies, where interior finishes are removed and significant upgrades to structural and mechanical, electrical and/or plumbing systems are proposed. <p>All residential and/or mixed use developments of sufficient size to require LEED certification or equivalent standard under the Specific Plan shall install one dedicated electric vehicle/plug-in hybrid electric vehicle recharging station for every 20 residential parking spaces provided. Per the Climate Action Plan the complying applicant could receive incentives, such as streamlined permit processing, fee discounts, or design templates.</p>	Complies. See LEED checklist.

Menlo Park El Camino Real/Downtown Specific Plan
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Leadership in Energy and Environmental Design (LEED) Guidelines			
E.3.8.04	Guideline	<p>The development of larger projects allows for more comprehensive sustainability planning and design, such as efficiency in water use, stormwater management, renewable energy sources and carbon reduction features. A larger development project is defined as one with two or more buildings on a lot one acre or larger in size. Such development projects should have sustainability requirements and GHG reduction targets that address neighborhood planning, in addition to the sustainability requirements for individual buildings (See Standard E.3.8.03 above). These should include being certified or equivalently verified at a LEED-ND (neighborhood development), Silver level or higher, and mandating a phased reduction of GHG emissions over a period of time as prescribed in the 2030 Challenge.</p> <p>The sustainable guidelines listed below are also relevant to the project area. They relate to but do not replace LEED certification or equivalent standard rating requirements.</p>	N/A - This project does not meet the definition of a larger development project.
Building Design Guidelines			
E.3.8.05	Guideline	Buildings should incorporate narrow floor plates to allow natural light deeper into the interior.	Complies. The building design allows for ample natural light into the interior on all three levels. See section sheets A5.1 and A5.2, plan sheets A1.1 to A1.3.
E.3.8.06	Guideline	Buildings should reduce use of daytime artificial lighting through design elements, such as bigger wall openings, light shelves, clerestory lighting, skylights, and translucent wall materials.	Complies. Wall openings and fenestration have been designed to amplify daylighting. See rendering sheets A6.0 – A6.2.
E.3.8.07	Guideline	Buildings should allow for flexibility to regulate the amount of direct sunlight into the interiors. Louvered wall openings or shading devices like <i>bris soleils</i> help control solar gain and check overheating. <i>Bris soleils</i> , which are permanent sun-shading elements, extend from the sun-facing façade of a building, in the form of horizontal or vertical projections depending on sun orientation, to cut out the sun's direct rays, help protect windows from excessive solar light and heat and reduce glare within.	Complies. Sun shading screens in the form of perforated metal panels are provided on the south and east facing facades. See G0.2, A3.1 and A3.2
E.3.8.08	Guideline	Where appropriate, buildings should incorporate arcades, trellis and appropriate tree planting to screen and mitigate south and west sun exposure during summer. This guideline would not apply to downtown, the station area and the west side of El Camino Real where buildings have a narrower setback and street trees provide shade.	N/A -This project is on the west side of El Camino Real
E.3.8.09	Guideline	Operable windows are encouraged in new buildings for natural ventilation.	Complies. Operable windows are specified for all the residential units.

Menlo Park El Camino Real/Downtown Specific Plan
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E.3.8.10	Guideline	To maximize use of solar energy, buildings should consider integrating photovoltaic panels on roofs.	Complies. Solar Panels are proposed for the roof. See sheet A1.4.
E.3.8.11	Guideline	Inclusion of recycling centers in kitchen facilities of commercial and residential buildings shall be encouraged. The minimum size of recycling centers in commercial buildings should be 20 cubic feet (48 inches wide x 30 inches deep x 24 inches high) to provide for garbage and recyclable materials.	Complies. Recycling is provided in the waste room for residential and commercial units.
Stormwater and Wastewater Management Guidelines			
E.3.8.12	Guideline	Buildings should incorporate intensive or extensive green roofs in their design. Green roofs harvest rain water that can be recycled for plant irrigation or for some domestic uses. Green roofs are also effective in cutting-back on the cooling load of the air-conditioning system of the building and reducing the heat island effect from the roof surface.	Does Not Comply: Green roofs are not proposed for this project. However, the second and third floors have extensive residential decks that could have planters and light reflective materials. There are also trellis roof structures at the second floor decks that reduce solar gain on the interior spaces.
E.3.8.13	Guideline	Projects should use porous material on driveways and parking lots to minimize stormwater run-off from paved surfaces.	Complies. All proposed paving is impervious. See sheet L1.0.
Landscaping Guidelines			
E.3.8.14	Guideline	Planting plans should support passive heating and cooling of buildings and outdoor spaces.	Complies. Taller plants are on the south façade for shading. See L1.0.
E.3.8.15	Guideline	Regional native and drought resistant plant species are encouraged as planting material.	Complies. All proposed plantings are regional native and drought resistant. See sheet L1.0.
E.3.8.16	Guideline	Provision of efficient irrigation system is recommended, consistent with the City's Municipal Code Chapter 12.44 "Water-Efficient Landscaping".	Tentatively Complies. Efficient irrigation system will be specified if irrigation is planned.
Lighting Standards			
E.3.8.17	Standard	Exterior lighting fixtures shall use fixtures with low cut-off angles, appropriately positioned, to minimize glare into dwelling units and light pollution into the night sky.	Tentatively Complies. All exterior lighting fixtures will use low cut-off angles. Lighting fixtures shown on detail 5 sheet D.1 appear to comply; specific fixture information will be reviewed at the building permit stage.
E.3.8.18	Standard	Lighting in parking garages shall be screened and controlled so as not to disturb surrounding properties, but shall ensure adequate public security.	Tentatively Complies. Lighting in the parking garage will be located away from openings but will be adequate for security in the garage.
Lighting Guidelines			
E.3.8.19	Guideline	Energy-efficient and color-balanced outdoor lighting, at the lowest lighting levels possible, are encouraged to provide for safe pedestrian and auto circulation.	Tentatively Complies. Energy-efficient and color-balanced outdoor lighting will be specified.
E.3.8.20	Guideline	Improvements should use ENERGY STAR-qualified fixtures to reduce a building's energy consumption.	Tentatively Complies. ENERGY-STAR qualified fixtures will be specified where feasible.
E.3.8.21	Guideline	Installation of high-efficiency lighting systems with advanced lighting control, including motion sensors tied to dimmable lighting controls or lighting controlled by timers set to turn off at the earliest practicable hour, are recommended.	Tentatively Complies. High-efficiency lighting systems with advanced lighting control will be specified where applicable.

Menlo Park El Camino Real/Downtown Specific Plan
Standards and Guidelines: 115 El Camino Real Compliance Worksheet

Green Building Material Guidelines			
E.3.8.22	Guideline	The reuse and recycle of construction and demolition materials is recommended. The use of demolition materials as a base course for a parking lot keeps materials out of landfills and reduces costs.	Tentatively Complies. The reuse and recycle of construction and demolition materials will be maintained as applicable.
E.3.8.23	Guideline	The use of products with identifiable recycled content, including post-industrial content with a preference for post-consumer content, are encouraged.	Tentatively Complies. The use of products with identifiable recycled content will be specified where feasible.
E.3.8.24	Guideline	Building materials, components, and systems found locally or regionally should be used, thereby saving energy and resources in transportation.	Tentatively Complies. Building materials, components, and systems found locally or regionally will be used where feasible.
E.3.8.25	Guideline	A design with adequate space to facilitate recycling collection and to incorporate a solid waste management program, preventing waste generation, is recommended.	Tentatively Complies. Recycling and compost bins will be provided, in addition to waste.
E.3.8.26	Guideline	The use of material from renewable sources is encouraged.	Tentatively Complies. Material from renewable sources will be used where feasible.

From: [Chris Freise](#)
To: ranjeetpancholy@gmail.com
Cc: [Sandmeier, Corinna D](#)
Subject: 115 ECR - Stanford Inn Hotel
Date: Tuesday, October 9, 2018 7:41:57 AM

Hi -

Thanks for sending your letter regarding proposed project for Stanford Inn Hotel. We live at 130 Cornell Road around the corner.

Seeing something productive happen for the site is definitely a good thing. Little disappointed in 3 stories and total of 4 residential units. Similar to townhouses built on ECR not too long ago it's a complete waste of precious resource (limited land supply). These projects should be minimum of 5 stories or 5 over 1 if possible and achieve much greater housing density than proposed. New housing needs to be for everyone and not just super wealthy. 4 condo units doesn't move the needle. Just sharing my opinion as a resident that would like to see more density. With Alto lane separating it from adjacent older multi family should be a concern to anyone.

Best,
Chris Freise
415-450-1466.

Sent from my iPhone

From: [Stefan Petry](#)
To: [Sandmeier, Corinna D](#)
Subject: 115 El Camino Project - Neighbor Comment
Date: Monday, October 8, 2018 7:29:09 PM

TO WHOM IT MAY CONCERN

We live at 750 Cambridge Ave. in Allied Arts.

We support new construction at 115 ECR.

As for preferred uses: With the loss of the Oasis and -- soon -- Koma Sushi we would strongly prefer a new restaurant option at this location. Because of the high trip generation rates, we do not want any medical offices, please.

Can you please add this email to receive project updates. Thank you!

Best regards,
Stefan Petry
Elizabeth Tse

From: [Mary Ellen Koran](#)
To: [Sandmeier, Corinna D](#)
Subject: Supporting 115 El Camino
Date: Tuesday, October 9, 2018 5:26:15 PM

This new project looks great. We live at 661 Harvard avenue.

Thanks,
Mary Ellen

--

Mary Ellen Koran, MD, PhD
Stanford University Medical Center
Cell: 919.943.5114

From: [Carla Pugh](#)
To: [Sandmeier, Corinna D](#)
Subject: 115 El Camino Real project
Date: Monday, October 15, 2018 7:59:15 PM

Dear Ms Sandmeier,
I am writing in support of the 115 El Camino Real project.

The current building is old and unsightly. My family and I would appreciate having a nice new building on our walking path.

Good luck with your permits!
Best,
Carla

From: [Alex MacBride](#)
To: [Sandmeier, Corinna D](#)
Cc: ranjeetpancholy@gmail.com
Subject: 115 El Camino MP Stanford Inn Hotel
Date: Sunday, October 21, 2018 3:33:27 PM

Dear Ms. Sandmeier,

I am a long time homeowner at 739 Harvard Ave in Menlo Park. I urge you to approve the plan put forth by the Pancholys with all due haste. That old building is an eyesore and likely a fire trap. The city would benefit from increased property tax, possibly increased sales tax, as well as greatly enhanced curb appeal.

Let's get this going soon, so that construction can coincide with other construction and reach the end of all this construction someday.

Alex MacBride

Sent from my iPad

From: [Trevor Yan](#)
To: [Sandmeier, Corinna D](#)
Cc: [Perata, Kyle T](#); [Susan Goodhue](#); [Andrew Barnes](#); [Drew Combs](#); [Kennedy, Camille G.](#); [John Onken](#); [Riggs, Henry](#); [Katherine Strehl](#)
Subject: Tenant Letters on Proposed Plans for 115 El Camino Real
Date: Wednesday, November 21, 2018 1:11:59 PM
Attachments: [Sanchez, Toby - Letter to MP Planning Commission.pdf](#)
[Winter, Irena - Letter to MP Planning Commission.pdf](#)

Dear Ms. Sandmeier,

Please find two letters from tenants Toby Sanchez and Irena Winter, who live at the Stanford Inn Hotel located at 115 El Camino Real, attached. They request that the Menlo Park Planning Commission consider the impact of their landlord's proposal on them and other tenants there.

Sincerely,

Trevor J. Yan
Staff Attorney
pronouns: He/His
[Legal Aid Society of San Mateo County](#)
The Natalie Lanam Justice Center
Sobrato Center for Nonprofits – Redwood Shores
330 Twin Dolphin Drive, Suite 123
Redwood City, CA 94065
650.517.8901
www.legalaidsmc.org



Help make *Justice for All* a reality by donating **securely** at www.legalaidsmc.org/donate.

Why include pronouns? I include pronouns in an effort to share my personal and professional commitment to transgender inclusivity and visibility. Through sharing my pronouns, I hope to support a safer and braver space for transgender professionals to share their pronouns.

This email message is for the sole use of the intended recipient and may contain confidential and privileged information. Any unauthorized review, use, disclosure or distribution is prohibited. If you are not the intended recipient, please contact the sender by reply email and destroy all copies of the original message.

November 21, 2018

Via U.S. first class mail and email to cdsandmeier@menlopark.org

Menlo Park Planning Commission
Attn: Corinna Sandmeier, Senior Planner
City Council Chambers
701 Laurel St.
Menlo Park, CA 94025

Dear Ms. Sandmeier,

I write to you as a tenant at the Stanford Inn Hotel, located at 115 El Camino Real in Menlo Park, which has been my home for over a year. I currently pay \$1,750 per month. My landlord, Ranjeet Pancholy, recently gave me a sixty-day notice to vacate by November 21st, 2018, because he says that he plans to close the Stanford Inn for remodeling. I recently learned, after seeking assistance at the Legal Aid Society of San Mateo County, that Mr. Pancholy resubmitted a proposal on October 30 to the Planning Commission to demolish the Stanford Inn and build a mixed-use commercial and residential structure in its place. This demolition would result in the loss of a source of affordable housing to the community without a plan to replenish that source.

Therefore, I would like to request that the Planning Commission consider placing conditions on approving the proposed plans for the Stanford Inn upon giving the tenants living here appropriate time to move and relocation assistance to prevent our becoming homeless. I understand that Menlo Park provides similar protections for tenants displaced by condominium conversions. *See* Menlo Park Code of Ordinances 15.30.020. Among other things, those protections require an applicant for a conversion to provide a specific statement on relocation assistance to tenants, as well as one hundred twenty days notice to tenants to vacate their units. *See id.*, 15.30.020(b)(3).

Thank you for considering my request. If you have any questions, or need further information, please contact me at 408-887-4110 or toby_sanchez@yahoo.com.

Sincerely,



Toby Sanchez
Tenant of the Stanford Inn Hotel

cc: Senior Planner Kyle Perata, Chair Susan Goodhue, Vice Chair Andrew Barnes, Member Drew Combs, Member Camille Kennedy, Member John Onken, Member Henry Riggs, Member Katherine Strehl

November 21, 2018

Via U.S. first class mail and email to cdsandmeier@menlopark.org

Menlo Park Planning Commission
Attn: Corinna Sandmeier, Senior Planner
City Council Chambers
701 Laurel St.
Menlo Park, CA 94025

Dear Ms. Sandmeier,

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Thank you for considering my request. If you have any questions, or need further information, please contact me at (650) 485-0470 or irewint@aol.com.

Sincerely,



Irina Winter
Tenant of the Stanford Inn Hotel

cc: Senior Planner Kyle Perata, Chair Susan Goodhue, Vice Chair Andrew Barnes, Member Drew Combs, Member Camille Kennedy, Member John Onken, Member Henry Riggs, Member Katherine Strehl

115 El Camino Real
El Camino Real/Downtown Specific Plan Program EIR – Conformance Checklist

Introduction

The City of Menlo Park (City) has developed the El Camino Real/Downtown Specific Plan (Specific Plan) to establish a framework for private and public improvements in the Specific Plan area over the coming decades. The Specific Plan addresses approximately 130 acres and focuses on the character and density of private infill development, the character and extent of enhanced public spaces, and circulation and connectivity improvements. The primary goal of the Specific Plan is to “enhance the community life, character and vitality through mixed use infill Projects sensitive to the small-town character of Menlo Park, an expanded public realm, and improved connections across El Camino Real.” The Specific Plan includes objectives, policies, development standards, and design guidelines intended to guide new private development and public space and transportation improvements in the Specific Plan area. The Plan builds upon the El Camino Real/Downtown Vision Plan that was unanimously accepted by the Menlo Park City Council on July 15, 2008.

On June 5, 2012, the City Council certified the Menlo Park El Camino Real and Downtown Specific Plan Program EIR (Program EIR). According to the Program EIR, the Specific Plan does not propose specific private developments, but establishes a maximum development capacity of 474,000 square feet of non-residential development (inclusive of retail, hotel, and commercial development), and 680 new residential units.

This Conformance Checklist provides an analysis of 115 El Camino Real (the Project). Levy Art and Architecture on behalf of Ranjeet and Jaya Pancholy has submitted an application for a new three-story building, consisting of two commercial spaces on the ground floor, with four residential units on the two floors above. The project site consists of one parcel (Assessor’s Parcel Number 071-433-330) at 115 El Camino Real, which is currently occupied by an existing two-story hotel and surface parking.

The property is part of the Specific Plan area, and as such may be covered by the Program EIR analysis. The intent of this Environmental Conformity Analysis is to determine: 1) whether the Project does or does not exceed the environmental impacts analyzed in the Program EIR, 2) whether new impacts have or have not been identified, and 3) whether new mitigation measures are or are not required.

Existing Conditions

The subject parcel is located on the west side of El Camino Real between Harvard Avenue and Cambridge Avenue which is part of the SP-ECR/D (El Camino Real/Downtown Specific Plan) zoning district. The site is bounded on the north and south (across Harvard Avenue) by commercial, on the east across El Camino Real the Stanford Park Hotel and residential to the west across Alto Lane.

115 El Camino Real is an approximately 9,329-square feet project site, located on the north west corner of El Camino Real and Harvard Avenue. The site is relatively flat and rectangular.

Project

The Project includes full demolition of the existing hotel and site improvements to construct a three-story building with covered parking. The Project proposes to provide on-site parking in the amount of 14 spaces. Access to the podium style parking for the Project is via a 12'-4" one-way in-bound driveway from Harvard Avenue and a 12'-4" one-way out-bound from Alto Avenue.

The three-story mixed-use building consists of covered parking behind the commercial area fronting on El Camino. The first floor consists of two commercial spaces, stairs and elevator entrance, and the parking garage. Three residential units with large private terraces with access from the ground floor lobby are on the second level. The third level consists of one residential unit with several large terraces off the front and rear of the unit. Pedestrian access to the commercial uses is from El Camino Real.

The building is designed as a carved mass on the first and second floors supporting a series of floating pavilions and terraces above. The building mass is defined by deep recesses and inset windows and entries that are carved from a smooth finish plaster. The recesses also provide shadows and shading and dark contrast to the light-colored cement plaster. Along El Camino Real is a two-story layered façade with commercial on the ground floor and residential above. The ground floor has transparent glazing between the columns which becomes open space on the second floor; this provides screening from El Camino Real while still providing ample open space. On the third floor, the walls are setback from the rest of the building to reduce the apparent mass. The maximum building height is 42-feet to the top of the parapet.

The material palette includes off-white smooth finish cement plaster, engineered wood in a medium brown finish, bronze anodized aluminum, and transparent glazing.

Because the request includes a major subdivision, the Project requires architectural control and major subdivision approval from the City Council.

Environmental Analysis

As discussed in the introduction, this comparative analysis has been undertaken to analyze whether the Project would have any significant environmental impacts that are not addressed in the Program EIR. The comparative analysis discusses whether impacts are increased, decreased, or unchanged from the conclusions discussed in the Program EIR. The comparative analysis also addresses whether any changes to mitigation measures are required.

As noted previously, the Project includes full demolition of the existing building, and site improvements to construct one three-story mixed-use building with covered parking.

Assuming full occupancy, the Project is estimated to generate 77 net new daily vehicle trips, with 2 new trips occurring during the AM peak hour and 7 net trips during the PM peak hour. A draft TDM program has been prepared by the applicant, and a final TDM plan would be required prior to building permit issuance. The goal of the TDM plan is to identify trip reduction methods to be implemented in order to reduce the number of AM and PM peak trips that are generated by the project site. The Project is consistent with the Specific Plan land uses. The Project will be subject to the fair share contribution towards infrastructure required to mitigate transportation impacts as identified in the El Camino Real/Downtown Specific Plan Final Environmental Impact Report.

Aesthetic Resources

Impacts would be the same as the Specific Plan. The Program EIR concluded that the Project would not have a substantial adverse effect on a scenic view, vista, or designated state scenic highway, nor would the Project have significant impacts to the degradation of character/quality, light and glare, or shadows.

Implementation of the Project would result in the construction of a mixed-use development. Similar development concepts were evaluated under the Specific Plan EIR, and determined that changes to the visual character would not be substantially adverse, and the impact would be considered less than significant. The Project is subject to the Planning Commission architectural control review and approval, which includes public notice and ensures aesthetic compatibility. The Project meets the design standards and guidelines as noted in the El Camino Real/Downtown Specific Plan by breaking up the elevations, incorporating recessed store fronts and activating the street with floor to ceiling glazing and canopies. All entries are visually distinctive. The maximum height of the Project would be 42 feet to the parapet and 38 feet to the building deck, which is allowable under the Specific Plan. No Heritage trees are proposed to be removed, and additional landscaping is proposed along the El Camino Real and Harvard Avenue frontages. Therefore, the Project would not result in any impacts to the existing visual character of the site and its surroundings.

Similar development concepts were evaluated under the Specific Plan EIR, and determined that changes to light and glare would not be substantially adverse, and the impact would be less than significant. The Specific Plan includes regulatory standards for nighttime lighting and nighttime and daytime glare. Therefore, the Project would not result in any impacts associated with substantial light or glare.

As was the case with the Specific Plan, the Project would not have a substantial adverse effect on a scenic view or vista, a state scenic highway, character/quality, or light and glare impacts. Therefore, no new impacts have been identified and no new mitigation measures are required for the Project.

Agriculture Resources

Impacts would be the same as the Specific Plan. The Program EIR concluded that no impacts would result with regard to Prime Farmland, Unique Farmland, or Farmland of Statewide Importance, or any area zoned for agricultural use or forestland.

As was the case with the Program EIR, the Project would not result in any impacts to farmland, agricultural uses, or forest land. Therefore, no new impacts have been identified and no new mitigation measures are required for the Project.

Air Quality

Impacts would be the same as the Specific Plan.

AIR-1: The Program EIR determined that emissions of criteria pollutants associated with construction would be significant, and established Mitigation Measures AIR-1a and AIR-1b to address such impacts. Mitigation Measure AIR-1a would be applied to this proposal. However, the Program EIR concluded that impacts could still be significant and unavoidable even with implementation of such mitigations. The Project would be well below the 249 dwelling units and 277,000 square feet of commercial development construction screening threshold adopted by the Bay Area Air Quality Management District. As a result, implementation of Mitigation Measure AIR-1b is not required for this Project.

AIR-2: The Program EIR determined that the Specific Plan would have long-term emissions of criteria pollutants from increased vehicle traffic and on-site area sources that would contribute to an air quality violation (due to being inconsistent with an element of the *2010 Clean Air Plan*), and established Mitigation Measure AIR-2 requiring implementation of Mitigation Measure TR-2 regarding Transportation Demand Management (TDM) strategies to address this impact. However, the Program EIR noted that TDM effectiveness cannot be guaranteed and concluded that the impact would be significant and unavoidable. A draft TDM program has been prepared by the applicant and a final TDM plan would be required prior to building permit issuance. The Project would be consistent with the Program EIR analysis, and as such would be required to implement Mitigation Measure AIR-2.

AIR-3: The Program EIR determined that the Specific Plan would increase levels of Toxic Air Contaminants (TACs) due to increased heavy-duty truck traffic, but that the impacts would be less than significant. The Project would not generate an unusual amount of heavy truck traffic relative to other mixed-use developments due to the limited nature of the construction, and the Project's limited share of overall Specific Plan development would be accounted for through deduction of its totals from the Specific Plan Maximum Allowable Development.

AIR-4: The Program EIR concluded that the Specific Plan would not have a substantial adverse effect pertaining to Particulate Matter (PM_{2.5}). The Project is consistent with the assumptions of this analysis.

AIR-5, AIR-6, AIR-7, AIR-8, AIR-10, and AIR-11: The Specific Plan determined that the introduction of sensitive receptors, specifically new residences, to an environment (near El Camino Real, Santa Cruz Avenue and the Caltrain tracks, as well as to a zone in proximity to the SRI International campus) with elevated concentrations of TACs and PM_{2.5} could result in significant or potentially significant impacts (including in the cumulative scenario), and established Mitigation Measures AIR-5, AIR-7, and AIR-10 to bring impacts to less than significant levels. Although the project site is located on El Camino Real, implementing Mitigation Measure AIR-5 and AIR-7 would reduce cancer risk to a less than significant level. Mitigation Measure AIR-10 would not apply, because the project site is a sufficient distance from the SRI International campus.

AIR-9: The Program EIR determined that the Specific Plan is fundamentally consistent with the growth projections of the Bay Area 2010 Clean Air Plan, particularly with regard to residential development. The Project proposes 4 residential units and a small amount of commercial space which is consistent with the growth projections of the Bay Area 2010 Clean Air Plan.

No new Air Quality impacts have been identified and no new mitigation measures are required for the Project.

Biological Resources

Impacts would be the same as the Specific Plan. The Program EIR determined that less than significant impacts would result with regard to special status plant and wildlife species, sensitive natural communities, migratory birds, and jurisdictional waters and wetlands upon implementation of the recommended Mitigation Measures BIO-1a, BIO-1b, BIO-2, BIO-3a, BIO-3b, BIO-5a through BIO-5c, and BIO-6a. Mitigation Measures BIO-1a, BIO-1b, BIO-3a, BIO-3b, and BIO-5a through BIO-5c would apply to the Project, but BIO-6a would not (it is limited to Projects proposing development near San Francisquito Creek). BIO-7 would also not apply since no protected trees are to be removed. The analysis also found that the Specific Plan would not conflict with local policies, ordinances, or plans. The Project site is fully developed and within a highly urbanized/landscaped area.

The Project site includes little wildlife habitat and essentially no habitat for plants other than the opportunity ruderal species adapted to the built environment or horticultural plants used in landscaping. The Project would not result in the take of candidate, sensitive, or special-status species. No heritage trees are proposed to be removed. The impact would be less than significant.

With implementation of the Project, construction activities would occur on an existing developed site. Therefore, as with the Program EIR, the Project would result in less

than significant impacts to biological resources and no new Mitigation Measures would be required. The Project would also not conflict with local policies, ordinances, or plans, similar to the Program EIR. No new impacts have been identified and no new mitigation measures are required for the Project.

Cultural Resources

Impacts would be the same as the Specific Plan. The Program EIR determined that no significant impacts to a historic resource would result with implementation of Mitigation Measure CUL-1. The analysis also concluded that the Specific Plan would result in less than significant impacts to archeological resources, paleontological resources, and burial sites with implementation of Mitigation Measures CUL-2a, CUL-2b, CUL-3, and CUL-4. With regard to the Project site, the physical conditions, as they relate to archeological resource, have not changed in the Specific Plan area since the preparation of the Specific Plan EIR.

In compliance with CUL-1, a Historic Resource Evaluation was prepared by Architectural Resources Group, dated April 12, 2014. Because the building at 115 El Camino Real is more than fifty years old, the proposed project required a Site-Specific Evaluation as part of the local review process. It was determined that the building displays characteristics of the Minimal Traditional style of architecture and was constructed at a time of increasing development in Menlo Park, but that these associations do not rise to a level that would warrant listing on the National Register of Historic Places (NRHP) or California Registrar of Historical Resources (CRHR).

Therefore, the Project site does not have historical or historic potential for inclusion on the National Register of Historic Places or the California Registrar of Historical Resources.

In compliance with Mitigation Measure CUL-2a, Pacific Legacy prepared an Archeological Resource Evaluation for the Project, dated May 18, 2018. The report concluded that archival research revealed that there are no recorded cultural resources located within the study area. No traces of significant cultural materials, prehistoric or historic, were noted during the surface reconnaissance. In the event, however, that prehistoric traces are encountered, the Specific Plan EIR requires protection activities if archaeological artifacts are found during construction.

Mitigation Measures CUL-2b, CUL-3, and CUL-4, requiring training and certain procedures regarding the potential to encounter archaeological artifacts or human remains during construction, would apply to the project.

No new impacts have been identified and no new mitigation measures are required.

Geology and Soils

Impacts would be the same as the Specific Plan. The Program EIR found that no significant impacts pertaining to earthquake faults, seismic ground shaking, seismically induced hazards (e.g., liquefaction, lateral spreading, land sliding, settlement, and ground lurching), unstable geologic units, expansive soils, corrosive soils, landslides, and soil erosion would result. No Mitigation Measures are required.

The Project site is not located within an Alquist-Priolo Earthquake Fault Zone as designated by the California Geological Society, and no known active faults exist on the site. The nearest active fault to the project area is the San Andreas fault which is located approximately 4.7 miles southwest of the property. Although this is the case, the Project is in a seismically active area and, while unlikely, there is a possibility of future faulting and consequent secondary ground failure from unknown faults is considered low. Furthermore, the Project would comply with requirements set in the California Building Code (CBC) to withstand settlement and forces associated with the maximum credible earthquake. The CBC provides standards intended to permit structures to withstand seismic hazards. Therefore, the code sets standards for excavation, grading, construction earthwork, fill embankments, expansive soils, foundation investigations, liquefaction potential, and soil strength loss.

The Project is relatively flat which reduces the potential for erosion and loss of topsoil during construction activities. Once covered by an impermeable surface such as asphalt or a new structure and new landscaping, the potential for erosion would be reduced substantially. No new impacts have been identified and no new mitigation measures are required.

Greenhouse Gas Emissions

Impacts would be the same as the Specific Plan.

GHG-1: The Program EIR determined that the Specific Plan would generate Greenhouse Gas (GHG) emissions, both directly and indirectly, that would have a significant impact on the environment. Specifically, the operational GHG using the Bay Area Air Quality Management District (BAAQMD) GHG Model, measured on a “GHG: service population” ratio, were determined to exceed the BAAQMD threshold. The Project’s share of this development and associated GHG emissions and service population, would be accounted for through deduction of this total from the Specific Plan Maximum Allowable Development, and as such is consistent with the Program EIR analysis. The Program EIR established Mitigation Measure GHG-1, although it was determined that the impact would remain significant and unavoidable even with this mitigation. For the Project, implementation of Mitigation Measure GHG-1 is not necessary as the BAAQMD-identified GHG Mitigation Measures are primarily relevant to City-wide plans and policies and because the City’s CAL Green Amendments have since been adopted and are applied to all projects, including this Project.

GHG-2: The Program EIR determined that the Specific Plan could conflict with AB 32 and its Climate Change Scoping Plan by exceeding the per-capita threshold cited in GHG-1. Again, the Project's share of this development and associated GHG emissions and service population, would be accounted for through deduction of this total from the Specific Plan Maximum Allowable Development, and as such is consistent with the Program EIR analysis. The Program EIR established Mitigation Measure GHG-2a and GHG-2b, although it was determined that the impact would remain significant and unavoidable even with this mitigation. The Specific Plan includes sustainable strategies that promote reduced automobile dependence and certified green buildings. The Project would be required to achieve LEED Silver certification. In addition, the project would be required to install electric vehicle charging stations pursuant to Mitigation Measure GHG-2a and the City's electric vehicle charging ordinance.

No new impacts have been identified and no new mitigation measures are required for the Project.

Hazards and Hazardous Materials

Impacts would be the same as the Specific Plan. The Program EIR determined that a less than significant impact would result in regard to the handling, transport, use, or disposal of hazardous materials during construction operations. The analysis also concluded that the Project site is not included on a list of hazardous materials sites, it is not within the vicinity of an airport or private airstrip, would not conflict with an emergency response plan, and would not be located in an area at risk for wildfires. The Specific Plan analysis determined that with implementation of Mitigation Measures HAZ-1 and HAZ-3, impacts related to short-term construction activities, and the potential handling of and accidental release of hazardous materials would be reduced to less than significant levels.

The Project would involve ground-disturbance and demolition of an existing commercial building and improvements and as such implementation of Mitigation Measures HAZ-1 and HAZ-3 would be required. Project operations would result in a mixed-use development. The Project would not handle, store, or transport hazardous materials in quantities that would be required to be regulated.

Regarding topic area HAZ-2, due to the age of the building, building materials may contain asbestos or lead based paint. Prior to demolition of the building an asbestos and lead based paint survey would be conducted by a qualified licensed professional and disposed of appropriately. The demolition of buildings containing asbestos would require retaining contractors who are licensed to conduct asbestos abatement work and notify the Bay Area Air Quality Management District (BAAQMD). Mitigation Measure HAZ-3, requiring application of Best Management Practices (BMPs) regarding hazardous materials, would apply during the building permit process.

Thus, Project operations would result in similar impacts as that analyzed for the Specific Plan. No new impacts have been identified and no new mitigation measures are required for the Project.

Hydrology and Water Quality

Impacts would be the same as the Specific Plan. The Program EIR found that no significant impacts pertaining to construction-related impacts (i.e., water quality and drainage patterns due to erosion and sedimentation), or operational-related impacts to water quality, groundwater recharge, the alteration of drainage patterns, or flooding would result. The City of Menlo Park Engineering Division requires a Grading and Drainage Permit and preparation of a construction plan for any construction Project disturbing 500 square feet or more of dirt.

The Grading and Drainage (G&D) Permit requirements specify that the construction must demonstrate that the sediment laden-water shall not leave the site. Incorporation of these requirements would be expected to reduce the impact of erosion and sedimentation to a less-than-significant level. No Mitigation Measures are required.

Land Use and Planning

Impacts would be the same as the Specific Plan.

LU-1: The Program EIR determined that the Specific Plan would not divide an established community. While the Specific Plan would allow for taller buildings, any new development would occur along the existing grid pattern and proposed heights and massing controls would result in buildings comparable with existing and proposed buildings found in the Plan area. The Project redevelopment includes full demolition of the existing building, and site improvements to construct one, new three-story building with covered parking and is subject to architectural review by the Planning Commission. The Project would not create a physical or visual barrier, therefore would not physically divide a community. The El Camino Real and Harvard frontages would include wide sidewalks and landscaping. The Project activates the street with floor to ceiling glazing and recessed commercial entries oriented toward the street. There are no new impacts.

LU-2: The Program EIR determined that the Specific Plan would not alter the type and intensity of land uses in a manner that would cause them to be substantially incompatible with surrounding land uses or neighborhood character. The Project is an infill mixed-use development that meets the intent of the Specific Plan and would be consistent with the General Plan. No mitigation is required for this impact, which is less than significant.

LU-3: The Program EIR determined that the Specific Plan would not conflict with the City's General Plan, Zoning Ordinance, or other land use plans or policies adopted for the purpose of mitigating an environmental effect. The General Plan and Zoning Ordinance were amended concurrent with the Specific Plan adoption, and the Project

would comply with all relevant regulations. No mitigation is required for this impact, which is less than significant.

LU-4: The Program EIR determined that the Specific Plan, in combination with other plans and projects, would not result in cumulatively considerable impacts to land use. The Project, being a part of the Specific Plan area and accounted for as part of the Maximum Allowable Development, is consistent with this determination. No mitigation is required for this impact, which is less than significant.

No new impacts have been identified and no new mitigation measures are required for the Project.

Mineral Resources

Impacts would be the same as the Specific Plan. The Program EIR noted that the Project site is not located within an area of known mineral resources, either of regional or local value.

As was the case with the Specific Plan, the Project would not result in the loss of availability of a known mineral resource or mineral resources recovery site. No new impacts have been identified and no new mitigation measures are required for the Project.

Noise

Impacts would be the same as the Specific Plan.

NOI-1: The Program EIR determined that construction noise, in particular exterior sources such as jackhammering and pile driving, could result in a potentially significant impact, and established Mitigation Measures NOI-1a through NOI-1c to address such impacts. The physical conditions as they relate to noise levels have not changed substantially in the Specific Plan area since the preparation of the Specific Plan EIR. Therefore, construction noise impacts of the Project would be less than significant, and these mitigation measures would apply (with the exception of Mitigation Measure NOI-1b, which applies to pile driving activities, which wouldn't take place as part of the Project).

NOI-2: The Program EIR determined that impacts to ambient noise and traffic-related noise levels as a result of the Specific Plan would be less than significant. The Project's share of this development would be accounted through deduction of this total from the Specific Plan Maximum Allowable Development. As discussed in the Specific Plan EIR, noise increases of less than 1 dBA are not perceptible; a 3 dBA change is barely perceptible to humans and does not cause adverse response. Therefore, the changes in noise level due to increased roadway traffic would not increase in substantial noise level increases that may impact sensitive receptors in the area.

NOI-3: The Program EIR determined that the Specific Plan could include the introduction of sensitive receptors (i.e., new residences) to a noise environment with noise levels in excess of standards considered acceptable under the City of Menlo Park Municipal Code (i.e., near the Caltrain tracks). Mitigation Measure NOI-3 would require detailed acoustical assessments for residential units constructed within the Specific Plan area to ensure that Title 24 interior noise level standards are achieved.

NOI-4: The Program EIR determined that the Specific Plan could include the introduction of sensitive receptors, specifically new residences, to substantial levels of ground borne vibration from the Caltrain tracks. The Project is located approximately 370 feet from the Caltrain tracks, which means that a vibration study pursuant to Mitigation Measure NOI-4 would not be required as the project site is over 200 feet from the Caltrain tracks. No new vibration impacts have been identified and no new mitigation measures are required for the Project.

NOI-5: The Program EIR determined that the Specific Plan could include the operation of heavy construction equipment that can generate localized groundborne vibration at buildings adjacent to the construction site, especially during the operation of high impact equipment such as pile drivers. The Project would not include pile drivers or the use of groundborne vibration equipment that would generate vibration and noise. Therefore, no new impacts have been identified and no new mitigations are required for the Project.

NOI-6- The Program EIR determined that the Specific Plan could have the potential noise and vibration impacts from implementation of the High-Speed Rail Project in conjunction with existing noise and vibration levels from Caltrain operations. However, implementation of Mitigation Measures NOI-3 and NOI-4 would ensure that noise and vibration impacts to new receptors constructed under the Specific Plan would be less than significant and no new mitigations would be required for the Project.

Population and Housing

Impacts would be similar from that analyzed in the Program EIR.

POP-1: The Program EIR determined that the implementation of the Specific Plan would not cause the displacement of existing residents to the extent that the construction of replacement facilities outside of the Plan area would be required. The Project includes full demolition of the existing building, and site improvements to construct one, three-story building, with covered parking. No mitigation is required for this impact, which is less than significant.

POP-2: The Program EIR determined that the implementation of the Specific Plan would not be expected to induce growth in excess of current projections, either directly or indirectly. The Program EIR found that full build-out under the Specific Plan would result in 1,537 new residents, well within the Association of Bay Area Governments (ABAG) Projection of 5,400 new residents between 2010 and 2030 in Menlo Park and its sphere of influence. Additionally, the Program EIR projected the new job growth

associated with the new retail, commercial and hotel development to be 1,357 new jobs. The ABAG projection for job growth within Menlo Park and its sphere of influence is an increase of 7,240 jobs between 2010 and 2030. The Program EIR further determines that based on the ratio of new residents to new jobs, the Specific Plan would result in a jobs-housing ratio of 1.56, below the projected overall ratio for Menlo Park and its sphere of influence of 1.70 in 2030 and below the existing ratio of 1.78.

The Project includes full demolition of the existing building, and site improvements to construct one, three-story building, with covered parking. Construction of the Project, including site preparation, would temporarily increase construction employment. Given the relatively common nature and scale of the construction associated with the Project, the demand for construction employment would likely be met within the existing and future labor market in the City and the County. The size of the construction workforce would vary during the different stages of construction, but a substantial quantity of workers from outside the City or County would not be expected to relocate permanently. The Plan area is located within the City's existing retail and service areas and as such is currently served by urban infrastructure, services and transit options.

POP-3: The Program EIR determined that implementation of the Specific Plan, in combination with other plans and projects would not result in cumulatively considerable impacts to population and housing. The EIR identified an additional 959 new residents and 4,126 new jobs as a result of other pending Projects. These combined with the projection for residents and jobs from the Specific Plan equate to 2,496 new residents and 5,483 new jobs, both within ABAG Projections for Menlo Park and its sphere of influence in 2030. The additional jobs associated with the Project would not be considered a substantial increase, would continue to be within all projections and impacts in this regard would be considered less than significant. Thus, no new impacts have been identified and no new mitigation measures are required for the Project.

No new Population and Housing impacts have been identified and no new mitigation measures are required for the Project.

Public Services and Utilities

Impacts would be the same as the Specific Plan. The Program EIR concluded that less than significant impacts to public services, including fire protection, police protection, schools, parks, and other public facilities would result. In addition, the Program EIR concluded that the Project would result in less than significant impacts to utilities and service systems, including water services, wastewater services, and solid waste. No mitigation measures were required under the Program EIR for Public Services and Utilities impacts.

The Menlo Park Fire Protection District (MPFPD) currently serves the project area. MPFPD review and approval of individual development plans is a standard part of the Project review process, ensuring that new buildings meet all relevant service

requirements. MPFPD has completed initial Project review, and has tentatively approved the Project for compliance with applicable Fire Code regulations. The Project would not intensify development over what has previously been analyzed, nor modify building standards (height, setbacks, etc.) in a way that could affect the provision of emergency services by MPFPD. Therefore, the Project would not result in any impacts resulting in the need for new or physically altered fire facilities.

Public parks near the project area include Burgess Park, Fremont Park, and Nealon Park. Additional public facilities, such as the library and recreational facilities at the Civic Center complex are located next to Burgess Park. The project would not intensify development over what has previously been analyzed, and existing public facilities would continue to be sufficient to serve the population of the project area. Therefore, the proposed project would not result in the demand for new public parks or other public facilities.

The existing water, wastewater, electric, gas, and solid waste infrastructure is adequate to support the Project, as the mixed-use development would not exceed what was previously analyzed, which the current site was developed to support.

No new Public Services and Utilities impacts have been identified and no new mitigation measures are required for the Project.

Transportation, Circulation and Parking

Assuming full occupancy, the Project is estimated to generate 77 net new daily vehicle trips, with 2 new trips occurring during the AM peak hour and 7 net trips during the PM peak hour. The Project is consistent with the Specific Plan land uses. The Project would be subject to the fair-share contribution towards infrastructure required to mitigate transportation impacts.

The Project is consistent with the Specific Plan land uses. The Project would be subject to the fair share contribution towards infrastructure required to mitigate transportation impacts as identified in the Downtown Specific Plan Final Environmental Impact Report.

TR-1 and TR-7: The Program EIR concluded that the Specific Plan would result in significant and unavoidable traffic impacts related to operation of area intersections and local roadway segments, in both the short-term and cumulative scenarios, even after implementation of Mitigation Measures TR-1 and TR-7. The Project would pay required fair-share contributions as part of these mitigations.

TR-2 and TR-8: The Program EIR determined that the Specific Plan would adversely affect operation of certain local roadway segments, in both the near-term and cumulative scenarios. The Project's share of the overall Specific Plan development would be accounted for through deduction of this total from the Specific Plan Maximum Allowable Development, and as such is consistent with the Program EIR analysis.

In addition, the Project would be required through the Mitigation Monitoring and Reporting Program (MMRP) to implement Mitigation Measure TR-2, requiring submittal and City approval of a TDM program prior to building permit issuance. The goal of the TDM plan is to identify trip reduction methods to be implemented in order to reduce the number of AM and PM peak trips that are generated by the project site. However, this mitigation (which is also implemented through Mitigation Measure AIR-2) cannot have its effectiveness guaranteed, as noted by the Program EIR, so the impact remains significant and unavoidable.

TR-3, TR-4, TR-5, and TR-6: The Program EIR determined that the Specific Plan would not result in impacts to freeway segment operations, transit ridership, pedestrian and bicycle safety, or parking in the downtown.

No new impacts have been identified and no new mitigation measures are required for the Project.

Conclusion

As discussed, the Conformance Checklist is to confirm that 1) the Project does not exceed the environmental impacts analyzed in the Program EIR, 2) that no new impacts have been identified, and 3) no new mitigation measures are required. As detailed in the analysis presented above, the Project would not result in greater impacts than were identified for the Program EIR. No new impacts have been identified and no new mitigation measures are required for the Project.

References

1. Cultural Resource Evaluation prepared by Architecture Resource Group dated August 12, 2014.
2. Historic Resource Evaluation prepared by Pacific Legacy, dated May 18, 2018.
3. Plans prepared by Levy Art and Architecture date received April 2, 2019.
4. Traffic Analysis prepared by Hexagon Transportation Consultants, dated March 20, 2019.
5. Staff site visit July 30, 2018

ATTACHMENT K

115 El Camino Real - El Camino Real/Downtown Mitigation Monitoring and Reporting Program			
	Action	Timing	Monitoring Party
AIR QUALITY			
<p>IMPACT BEING ADDRESSED: Impact AIR-1: Implementation of the Specific Plan would result in increased long-term emissions of criteria pollutants associated with construction activities that could contribute substantially to an air quality violation. (Significant)</p>			
<p><i>Mitigation Measure AIR-1a</i> : During construction of individual projects under the Specific Plan, project applicants shall require the construction contractor(s) to implement the following measures required as part of Bay Area Air Quality Management District's (BAAQMD) basic dust control procedures required for construction sites. For projects for which construction emissions exceed one or more of the applicable BAAQMD thresholds, additional measures shall be required as indicated in the list following the Basic Controls.</p> <p><u>Basic Controls that Apply to All Construction Sites</u></p> <ol style="list-style-type: none"> 1. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day. 2. All haul trucks transporting soil, sand, or other loose material off site shall be covered. 3. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited. 4. All vehicle speeds on unpaved roads shall be limited to 15 mph. 5. All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used. 6. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points. 7. All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation. 	<p>Measures shown on plans, construction documents and on-going during demolition, excavation and construction.</p>	<p>Project sponsor(s) and contractor(s)</p>	<p>PW/CDD</p>
<p>Exposed surfaces shall be watered twice daily.</p> <p>Trucks carrying demolition debris shall be covered.</p> <p>Dirt carried from construction areas shall be cleaned daily.</p> <p>Speed limit on unpaved roads shall be 15 mph.</p> <p>Roadways, driveways, sidewalks and building pads shall be laid as soon as possible after grading.</p> <p>Idling times shall be minimized to 5 minutes or less; Signage posted at all access points.</p> <p>Construction equipment shall be properly tuned and maintained.</p>			

115 El Camino Real - El Camino Real/Downtown Mitigation Monitoring and Reporting Program			
Action	Timing	Implementing Party	Monitoring Party
<p>8. Post a publicly visible sign with the telephone number and person to contact at the Lead Agency regarding dust complaints. This person shall respond and take corrective action within 48 hours. The BAAQMD's phone number shall also be visible to ensure compliance with applicable regulations.</p>			
<p>Impact AIR-2: Implementation of the Specific Plan would result in increased long-term emissions of criteria pollutants from increased vehicle traffic and on-site area sources that would contribute substantially to an air quality violation. (Significant)</p>			
<p>Mitigation Measure AIR-2: Mitigation Measure TR-2 of Section 4.13, Transportation, Circulation and Parking, identifies Transportation Demand Management (TDM) strategies to be implemented by individual project applicants, although the precise effectiveness of a TDM program cannot be guaranteed. As the transportation demand management strategies included in Mitigation Measure TR-2 represent the majority of available measures with which to reduce VMT, no further mitigation measures are available and this impact is considered to be significant and unavoidable.</p>			
<p>See Mitigation Measure TR-2.</p>			

115 El Camino Real - El Camino Real/Downtown Mitigation Monitoring and Reporting Program			
Action	Timing	Implementing Party	Monitoring Party
<p>Impact AIR-5: Implementation of the Specific Plan would locate sensitive receptors in an area of elevated concentrations of toxic air contaminants associated with roadway traffic which may lead to considerable adverse health effects. (Potentially Significant)</p>			
<p>Mitigation Measure AIR-5: The Mitigation Monitoring and Reporting Program shall require that all developments that include sensitive receptors such as residential units that would be located within 200 feet of the edge of El Camino Real or within 100 feet of the edge of Ravenswood Avenue, Oak Grove Avenue east of El Camino Real, or Santa Cruz Avenue west of University Avenue shall undergo, prior to project approval, a screening-level health risk analysis to determine if cancer risk, hazard index, and/or PM_{2.5} concentration would exceed BAAQMD thresholds. If one or more thresholds would be exceeded at the site of the subsequent project, the project (or portion of the project containing sensitive receptors, in the case of a mixed-use project) shall be equipped with filtration systems with a Minimum Efficiency Reporting Value (MERV) rating of 14 or higher. The ventilation system shall be designed by an engineer certified by the American Society of Heating, Refrigeration and Air-Conditioning Engineers, who shall provide a written report documenting that the system reduces interior health risks to less than 10 in one million, or less than any other threshold of significance adopted by BAAQMD or the City for health risks. The project sponsor shall present a plan to ensure ongoing maintenance of ventilation and filtration systems and shall ensure the disclosure to buyers and/or renters regarding the findings of the analysis and inform occupants as to proper use of any installed air filtration. Alternatively, if the project applicant can prove at the time of development that health risks at new residences due to DPM (and other TACs, if applicable) would be less than 10 in one million, or less than any other threshold of significance adopted by BAAQMD for health risks, or that alternative mitigation measures reduce health risks below any other City-adopted threshold of significance, such filtration shall not be required.</p>	<p>Simultaneous with a building permit submittal</p>	<p>Project sponsor(s)</p>	<p>CDD</p>

115 El Camino Real - El Camino Real/Downtown Mitigation Monitoring and Reporting Program			
Action	Timing	Implementing Party	Monitoring Party
<p>Impact AIR-7: Implementation of the Specific Plan would expose sensitive receptors to elevated concentrations of Toxic Air Contaminants (TACs) associated with Caltrain operations which may lead to considerable adverse health effects. (Potentially Significant)</p>			
<p>Mitigation Measure AIR-7: The Mitigation Monitoring and Reporting Program shall require that all developments that include sensitive receptors such as residential units that would be located within approximately 1,095 feet of the edge of the Caltrain right-of-way shall undergo, prior to project approval, a screening-level health risk analysis to determine if cancer risk, hazard index, and/or PM_{2.5} concentration would exceed BAAQMD thresholds. If one or more thresholds would be exceeded at the site of the subsequent project, the project (or portion of the project containing sensitive receptors, in the case of a mixed-use project) shall be equipped with filtration systems with a Minimum Efficiency Reporting Value (MERV) rating of 14 or higher. The ventilation system shall be designed by an engineer certified by the American Society of Heating, Refrigeration and Air-Conditioning Engineers, who shall provide a written report documenting that the system reduces interior health risks to less than 10 in one million, or less than any other threshold of significance adopted by BAAQMD or the City for health risks. The project sponsor shall present a plan to ensure ongoing maintenance of ventilation and filtration systems and shall ensure the disclosure to buyers and/or renters regarding the findings of the analysis and inform occupants as to proper use of any installed air filtration. Alternatively, if the project applicant can prove at the time of development that health risks at new residences due to DPM (and other TACs, if applicable) would be less than 10 in one million, or less than any other threshold of significance adopted by BAAQMD for health risks, or that alternative mitigation measures reduce health risks below any other City-adopted threshold of significance, such filtration shall not be required.</p>	<p>A health risk analysis shall be prepared. If one or more thresholds are exceeded, a filtration system shall be installed; Certified engineer to provide report documenting that system reduces health risks Plan developed for ongoing maintenance and disclosure to buyers and/renters.</p>	<p>Simultaneous with a building permit submittal</p>	<p>Project sponsor(s)</p>
			<p>CDD</p>

115 El Camino Real - El Camino Real/Downtown Mitigation Monitoring and Reporting Program			
Action	Timing	Implementing Party	Monitoring Party
BIOLOGICAL RESOURCES			
Impact BIO-1: The Specific Plan could result in the take of special-status birds or their nests. (Potentially Significant)			
<p>Mitigation Measure BIO-1a: Pre-Construction Special-Status Avian Surveys. No more than two weeks in advance of any tree or shrub pruning, removal, or ground-disturbing activity that will commence during the breeding season (February 1 through August 31), a qualified wildlife biologist will conduct pre-construction surveys of all potential special-status bird nesting habitat in the vicinity of the planned activity. Pre-construction surveys are not required for construction activities scheduled to occur during the non-breeding season (August 31 through January 31). Construction activities commencing during the non-breeding season and continuing into the breeding season do not require surveys (as it is assumed that any breeding birds taking up nests would be acclimated to project-related activities already under way). Nests initiated during construction activities would be presumed to be unaffected by the activity, and a buffer zone around such nests would not be necessary. However, a nest initiated during construction cannot be moved or altered.</p> <p>If pre-construction surveys indicate that no nests of special-status birds are present or that nests are inactive or potential habitat is unoccupied: no further mitigation is required.</p> <p>If active nests of special-status birds are found during the surveys: implement Mitigation Measure BIO-1b.</p>	<p>A nesting bird survey shall be prepared if tree or shrub pruning, removal or ground-disturbing activity will commence between February 1 through August 31.</p>	<p>Prior to tree or shrub pruning or removal, any ground disturbing activity and/or issuance of demolition, grading or building permits.</p>	<p>Qualified wildlife biologist retained by project sponsor(s)</p> <p>CDD</p>

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Mitigation Measure	Action	Timing	Implementing Party
<p>Mitigation Measure BIO-1b: Avoidance of active nests. If active nests of special-status birds or other birds are found during surveys, the results of the surveys would be discussed with the California Department of Fish and Game and avoidance procedures will be adopted, if necessary, on a case-by-case basis. In the event that a special-status bird or protected nest is found, construction would be stopped until either the bird leaves the area or avoidance measures are adopted. Avoidance measures can include construction buffer areas (up to several hundred feet in the case of raptors), relocation of birds, or seasonal avoidance. If buffers are created, a no disturbance zone will be created around active nests during the breeding season or until a qualified biologist determines that all young have fledged. The size of the buffer zones and types of construction activities restricted will take into account factors such as the following:</p> <ol style="list-style-type: none"> Noise and human disturbance levels at the Plan area and the nesting site at the time of the survey and the noise and disturbance expected during the construction activity; Distance and amount of vegetation or other screening between the Plan area and the nest; and Sensitivity of individual nesting species and behaviors of the nesting birds. 	<p>If active nests are found during survey, the results will be discussed with the California Department of Fish and Game and avoidance procedures adopted.</p> <p>Halt construction if a special-status bird or protected nest is found until the bird leaves the area or avoidance measures are adopted.</p>	<p>Prior to tree or shrub pruning or removal, any ground-disturbing activities and/or issuance of demolition, grading or building permits.</p>	<p>Project sponsor(s) and contractor(s)</p> <p>CDD</p>
<p>Impact BIO-3: Impacts to migratory or breeding special-status birds and other special-status species due to lighting conditions. (Potentially Significant)</p> <p>Mitigation Measure BIO-3a: Reduce building lighting from exterior sources.</p> <ol style="list-style-type: none"> Minimize amount and visual impact of perimeter lighting and façade up-lighting and avoid uplighting of rooftop antennae and other tall equipment, as well as of any decorative features; Installing motion-sensor lighting, or lighting controlled by timers set to turn off at the earliest practicable hour; Utilize minimum wattage fixtures to achieve required lighting levels; Comply with federal aviation safety regulations for large buildings by installing minimum intensity white strobe lighting with a three-second flash interval instead of continuous flood lighting, rotating lights, or red lighting Use cutoff shields on streetlight and external lights to prevent upwards lighting. 	<p>Reduce building lighting from exterior sources.</p>	<p>Prior to building permit issuance and ongoing.</p>	<p>Project sponsor(s) and contractor(s)</p> <p>CDD</p>

115 El Camino Real - El Camino Real/Downtown Mitigation Monitoring and Reporting Program			
Mitigation Measure	Action	Timing	Implementing Party
<p>Mitigation Measure BIO-3b: Reduce building lighting from interior sources.</p> <ul style="list-style-type: none"> a. Dim lights in lobbies, perimeter circulation areas, and atria; b. Turn off all unnecessary lighting by 11pm thorough sunrise, especially during peak migration periods (mid-March to early June and late August through late October); c. Use gradual or staggered switching to progressively turn on building lights at sunrise. d. Utilize automatic controls (motion sensors, photosensors, etc.) to shut off lights in the evening when no one is present; e. Encourage the use of localized task lighting to reduce the need for more extensive overhead lighting; f. Schedule nightly maintenance to conclude by 11 p.m.; g. Educate building users about the dangers of night lighting to birds. 	<p>Reduce building lighting from interior sources.</p>	<p>Prior to building permit issuance and ongoing.</p>	<p>Project sponsor(s) and contractor(s)</p> <p>CDD</p>
<p>Impact BIO-5: The Specific Plan could result in the take of special-status bat species. (Potentially Significant)</p>			
<p>Mitigation Measure BIO-5a: Preconstruction surveys. Potential direct and indirect disturbances to special-status bats will be identified by locating colonies and instituting protective measures prior to construction of any subsequent development project. No more than two weeks in advance of tree removal or structural alterations to buildings with closed areas such as attics, a qualified bat biologist (e.g., a biologist holding a California Department of Fish and Game collection permit and a Memorandum of Understanding with the California Department of Fish and Game allowing the biologist to handle and collect bats) shall conduct pre-construction surveys for potential bats in the vicinity of the planned activity. A qualified biologist will survey buildings and trees (over 12 inches in diameter at 4.5-foot height) scheduled for demolition to assess whether these structures are occupied by bats. No activities that would result in disturbance to active roosts will proceed prior to the completed surveys. If bats are discovered during construction, any and all construction activities that threaten individuals, roosts, or hibernacula will be stopped until surveys can be completed by a qualified bat biologist and proper mitigation measures implemented.</p> <p>If no active roosts present: no further action is warranted. If roosts or hibernacula are present: implement Mitigation Measures BIO-5b and 5c.</p>	<p>Retain a qualified bat biologist to conduct pre-construction survey for bats and potential roosting sites in vicinity of planned activity.</p> <p>Halt construction if bats are discovered during construction until surveys can be completed and proper mitigation measures implemented.</p>	<p>Prior to tree pruning or removal or issuance of demolition, grading or building permits.</p>	<p>Qualified bat biologist retained by project sponsor(s)</p> <p>CDD</p>

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	Action	Timing	Implementing Party
<p>Mitigation Measure BIO-5b: Avoidance. If any active nursery or maternity roosts or hibernacula of special-status bats are located, the subsequent development project may be redesigned to avoid impacts. Demolition of that tree or structure will commence after young are flying (i.e., after July 31, confirmed by a qualified bat biologist) or before maternity colonies forms the following year (i.e., prior to March 1). For hibernacula, any subsequent development project shall only commence after bats have left the hibernacula. No-disturbance buffer zones acceptable to the California Department of Fish and Game will be observed during the maternity roost season (March 1 through July 31) and during the winter for hibernacula (October 15 through February 15). Also, a no-disturbance buffer acceptable in size to the California Department of Fish and Game will be created around any roosts in the Project vicinity (roosts that will not be destroyed by the Project but are within the Plan area) during the breeding season (April 15 through August 15), and around hibernacula during winter (October 15 through February 15). Bat roosts initiated during construction are presumed to be unaffected, and no buffer is necessary. However, the "take" of individuals is prohibited.</p>	<p>If any active nursery or maternity roosts or hibernacula are located, no disturbance buffer zones shall be established during the maternity roost and breeding seasons and hibernacula.</p>	<p>Prior to tree removal or pruning or issuance of demolition, grading or building permits</p>	<p>Qualified bat biologist retained by project sponsor(s)</p>
<p>Mitigation Measure BIO-5c: Safely evict non-breeding roosts. Non-breeding roosts of special-status bats shall be evicted under the direction of a qualified bat biologist. This will be done by opening the roosting area to allow airflow through the cavity. Demolition will then follow no sooner or later than the following day. There should not be less than one night between initial disturbance with airflow and demolition. This action should allow bats to leave during dark hours, thus increasing their chance of finding new roosts with a minimum of potential predation during daylight. Trees with roosts that need to be removed should first be disturbed at dusk, just prior to removal that same evening, to allow bats to escape during the darker hours. However, the "take" of individuals is prohibited.</p>	<p>A qualified bat biologist shall direct the eviction of non-breeding roosts.</p>	<p>Prior to tree removal or pruning or issuance of demolition, grading or building permits.</p>	<p>Qualified bat biologist retained by project sponsor(s)</p>

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Action	Timing	Implementing Party	Monitoring Party
CULTURAL RESOURCES			
Impact CUL-1: The proposed Specific Plan could have a significant impact on historic architectural resources. (Potentially Significant)			
<p>Mitigation Measure CUL-1: Site Specific Evaluations and Treatment in Accordance with the Secretary of the Interior's Standards:</p> <p>Site-Specific Evaluations: In order to adequately address the level of potential impacts for an individual project and thereby design appropriate mitigation measures, the City shall require project sponsors to complete site-specific evaluations at the time that individual projects are proposed at or adjacent to buildings that are at least 50 years old.</p> <p>The project sponsor shall be required to complete a site-specific historic resources study performed by a qualified architectural historian meeting the Secretary of the Interior's Standards for Architecture or Architectural History. At a minimum, the evaluation shall consist of a records search, an intensive-level pedestrian field survey, an evaluation of significance using standard National Register Historic Preservation and California Register Historic Preservation evaluation criteria, and recordation of all identified historic buildings and structures on California Department of Parks and Recreation 523 Site Record forms. The evaluation shall describe the historic context and setting, methods used in the investigation, results of the evaluation, and recommendations for management of identified resources. If federal or state funds are involved, certain agencies, such as the Federal Highway Administration and California Department of Transportation (Caltrans), have specific requirements for inventory areas and documentation format.</p> <p>Treatment in Accordance with the Secretary of the Interior's Standards. Any future proposed project in the Plan Area that would affect previously recorded historic resources, or those identified as a result of site-specific surveys and evaluations, shall conform to the Secretary of the Interior's Standards for the Treatment of Historic Properties and Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings (1995). The Standards require the preservation of character defining features which convey a building's historical significance, and offers guidance about appropriate and compatible alterations to such structures.</p>	<p>A qualified architectural historian shall complete a site-specific historic resources study. For structures found to be historic, specify treating conforming to Secretary of the Interior's standards, as applicable.</p> <p>Simultaneously with a project application submittal.</p>	<p>Qualified architectural historian retained by the Project sponsor(s).</p>	<p>CDD - Completed (Historic Resource Evaluation completed by Architectural Resources Group, dated August 12, 2014. The evaluation found that the building displays characteristics of the Minimal Traditional style of architecture and was constructed at a time of increasing development in Menlo Park, but that these associations do not rise to a level that would warrant listing on the National Register of Historic Places (NRHP) or California Registrar of Historical Resources (CRHR)).</p>

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	Action	Timing	Implementing Party
Impact CUL-2: The proposed Specific Plan could impact current unknown archaeological resources. (Potentially Significant)			
<p>Mitigation Measure CUL-2a: When specific projects are proposed that involve ground disturbing activity, a site-specific cultural resources study shall be performed by a qualified archaeologist or equivalent cultural resources professional that will include an updated records search, pedestrian survey of the project area, development of a historic context, sensitivity assessment for buried prehistoric and historic-period deposits, and preparation of a technical report that meets federal and state requirements. If historic or unique resources are identified and cannot be avoided, treatment plans will be developed in consultation with the City and Native American representatives to mitigate potential impacts to less than significant based on either the Secretary of the Interior's Standards described in Mitigation Measure CUL-1 (if the site is historic) or the provisions of Public Resources Code Section 21083.2 (if a unique archaeological site).</p>	<p>A qualified archeologist shall complete a site-specific cultural resources study.</p> <p>If resources are identified and cannot be avoided, treatment plans will be developed to mitigate impacts to less than significant, as specified.</p>	<p>Simultaneously with a project application submittal.</p>	<p>Qualified archaeologist retained by the project sponsor(s).</p>
<p>Mitigation Measure CUL-2b: Should any archaeological artifacts be found during construction, all construction activities within 50 feet shall immediately halt and the City must be notified. A qualified archaeologist shall inspect the findings within 24 hours of the discovery. If the resource is determined to be a historical resource or unique resource, the archaeologist shall prepare a plan to identify, record, report, evaluate, and recover the resources as necessary, which shall be implemented by the developer. Construction within the area of the find shall not recommence until impacts on the historical or unique archaeological resource are mitigated as described in Mitigation Measure CUL-2a above. Additionally, Public Resources Code Section 5097.993 stipulates that a project sponsor must inform project personnel that collection of any Native American artifact is prohibited by law.</p>	<p>If any archaeological artifacts are discovered during demolition/construction, all ground disturbing activity within 50 feet shall be halted immediately, and the City of Menlo Park Community Development Department shall be notified within 24 hours.</p> <p>A qualified archaeologist shall inspect any archaeological artifacts found during construction and if determined to be a resource shall prepare a plan meeting the specified standards which shall be implemented by the project sponsor(s).</p>	<p>Ongoing during construction.</p>	<p>Qualified archaeologist retained by the project sponsor(s).</p>
			<p>CDD - Completed (Cultural Resources Assessment completed by Pacific Legacy, dated May 18, 2018. The assessment concluded that archival research revealed that there are no recorded cultural resources located within the study area, and no traces of significant cultural materials, prehistoric or historic, were noted during the surface reconnaissance.)</p>
			<p>CDD</p>

115 El Camino Real - El Camino Real/Downtown Mitigation Monitoring and Reporting Program			
Action	Timing	Implementing Party	Monitoring Party
Impact CUL-3: The proposed Specific Plan may adversely affect unidentifiable paleontological resources. (Potentially Significant)			
<p>Mitigation Measure CUL-3: Prior to the start of any subsurface excavations that would extend beyond previously disturbed soils, all construction forepersons and field supervisors shall receive training by a qualified professional paleontologist, as defined by the Society of Vertebrate Paleontology (SVP), who is experienced in teaching non-specialists, to ensure they can recognize fossil materials and will follow proper notification procedures in the event any are uncovered during construction. Procedures to be conveyed to workers include halting construction within 50 feet of any potential fossil find and notifying a qualified paleontologist, who will evaluate its significance. Training on paleontological resources will also be provided to all other construction workers, but may involve using a videotape of the initial training and/or written materials rather than in-person training by a paleontologist. If a fossil is determined to be significant and avoidance is not feasible, the paleontologist will develop and implement an excavation and salvage plan in accordance with SVP standards. (SVP, 1996)</p>	<p>Prior to issuance of grading or building permits that include subsurface excavations and ongoing through subsurface excavation.</p>	<p>Qualified archaeologist retained by the project sponsor(s).</p>	<p>CDD</p>
Impact CUL-4: Implementation of the Plan may cause disturbance of human remains including those interred outside of formal cemeteries. (Potentially Significant)			
<p>Mitigation Measure CUL-4: If human remains are discovered during construction, CEQA Guidelines 15064.5(e)(1) shall be followed, which is as follows: * In the event of the accidental discovery or recognition of any human remains in any location other than a dedicated cemetery, the following steps should be taken: 1) There shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent human remains until: a) The San Mateo County coroner must be contacted to determine that no investigation of the cause of death is required; and b) If the coroner determines the remains to be Native American:</p>	<p>If human remains are discovered during any construction activities, all ground-disturbing activity within the site or any nearby area shall be halted immediately, and the County coroner must be contacted immediately and other specified procedures must be followed as applicable.</p>	<p>Qualified archeologist retained by the project sponsor(s)</p>	<p>CDD</p>

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Action	Timing	Implementing Party	Monitoring Party
<p>1. The coroner shall contact the Native American Heritage Commission within 24 hours;</p> <p>2. The Native American Heritage Commission shall identify the person or persons it believes to be the most likely descended from the deceased Native American;</p> <p>3. The most likely descendant may make recommendations to the landowner or the person responsible for the excavation work, for means of treating or disposing of, with appropriate dignity, the human remains and any associated grave goods as provided in Public Resources Code Section 5097.98; or</p> <p>2) Where the following conditions occur, the landowner or his authorized representative shall rebury the Native American human remains and associated grave goods with appropriate dignity on the property in a location not subject to further subsurface disturbance.</p> <p>a) The Native American Heritage Commission is unable to identify a most likely descendant or the most likely descendant failed to make a recommendation within 48 hours after being notified by the Commission.</p> <p>b) The descendant identified fails to make a recommendation; or</p> <p>c) The landowner or his authorized representative rejects the recommendation of the descendant, and the mediation by the Native American Heritage Commission fails to provide measures acceptable to the landowner.</p>			
GREENHOUSE GASES AND CLIMATE CHANGE			
Impact GHG-2: The Specific Plan could conflict with applicable plans, policies or regulations of an agency with jurisdiction over the Specific Plan adopted for the purpose of reducing the emissions of GHGs. (Significant)			
<p>Mitigation Measure GHG-2a: All residential and/or mixed use developments of sufficient size to require LEED certification under the Specific Plan shall install one dedicated electric vehicle/plug-in hybrid electric vehicle recharging station for every 20 residential parking spaces provided. Per the Climate Action Plan the complying applicant could receive incentives, such as streamlined permit processing, fee discounts, or design templates.</p>	<p>Install one dedicated electric vehicle/plug-in hybrid electric vehicle recharging station for every 20 residential parking spaces</p>	<p>Simultaneous with project application submittal</p>	<p>Project sponsor(s) CDD</p>

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Action	Timing	Implementing Party	Monitoring Party
HAZARDOUS MATERIALS			
Impact HAZ-1: Disturbance and release of contaminated soil during demolition and construction phases of the project, or transportation of excavated material, or contaminated groundwater could expose construction workers, the public, or the environment to adverse conditions related to hazardous materials handling. (Potentially Significant)			
<p>Mitigation Measure HAZ-1: Prior to issuance of any building permit for sites where ground breaking activities would occur, all proposed development sites shall have a Phase I site assessment performed by a qualified environmental consulting firm in accordance with the industry required standard known as ASTM E 1527-05. The City may waive the requirement for a Phase I site assessment for sites under current and recent regulatory oversight with respect to hazardous materials contamination. If the Phase I assessment shows the potential for hazardous releases, then Phase II site assessments or other appropriate analyses shall be conducted to determine the extent of the contamination and the process for remediation. All proposed development in the Plan area where previous hazardous materials releases have occurred shall require remediation and cleanup to levels established by the overseeing regulatory agency (San Mateo County Environmental Health (SMCEH), Regional Water Quality Control Board (RWQCB) or Department of Toxic Substances Control (DTSC) appropriate for the proposed new use of the site. All proposed groundbreaking activities within areas of identified or suspected contamination shall be conducted according to a site specific health and safety plan, prepared by a licensed professional in accordance with Cal/OHSA regulations (contained in Title 8 of the California Code of Regulations) and approved by SMCEH prior to the commencement of groundbreaking.</p>	<p>Prepare a Phase I site assessment.</p> <p>If assessment shows potential for hazardous releases, then a Phase II site assessment shall be conducted.</p> <p>Remediation shall be conducted according to standards of overseeing regulatory agency where previous hazardous releases have occurred.</p> <p>Groundbreaking activities where there is identified or suspected contamination shall be conducted according to a site-specific health and safety plan.</p>	<p>Prior to issuance of any grading or building permit for sites with groundbreaking activity.</p>	<p>Qualified environmental consulting firm and licensed professionals hired by project sponsor(s)</p> <p>CDD</p>
Impact HAZ-3: Hazardous materials used on any individual site during construction activities (i.e., fuels, lubricants, solvents) could be released to the environment through improper handling or storage. (Potentially Significant)			
<p>Mitigation Measure HAZ-3: All development and redevelopment shall require the use of construction Best Management Practices (BMPs) to control handling of hazardous materials during construction to minimize the potential negative effects from accidental release to groundwater and soils. For projects that disturb less than one acre, a list of BMPs to be implemented shall be part of building specifications and approved of by the City Building Department prior to issuance of a building permit.</p>	<p>Implement best management practices to reduce the release of hazardous materials during construction.</p>	<p>Prior to building permit issuance for sites disturbing less than one acre and on-going during construction for all project sites</p>	<p>Project sponsor(s) and contractor(s)</p> <p>CDD</p>

115 El Camino Real - El Camino Real/Downtown Mitigation Monitoring and Reporting Program			
Action	Timing	Implementing Party	Monitoring Party
NOISE			
<p>Impact NOI-1: Construction activities associated with implementation of the Specific Plan would result in substantial temporary or periodic increases in ambient noise levels in the Specific Plan area above levels existing without the Specific Plan and in excess of standards established in the local general plan or noise ordinance, or applicable Mitigation Measure NOI-1a: Construction contractors for subsequent development projects within the Specific Plan area shall utilize the best available noise control techniques (e.g., improved mufflers, equipment redesign, use of intake silencers, ducts, engine enclosures, and acousticallyattenuating shields or shrouds, etc.) when within 400 feet of sensitive receptor locations. Prior to demolition, grading or building permit issuance, a construction noise control plan that identifies the best available noise control techniques to be implemented, shall be prepared by the construction contractor and submitted to the City for review and approval. The plan shall include, but not be limited to, the following noise control elements:</p>			
<p>A construction noise control plan shall be prepared and submitted to the City for review. Implement noise control techniques to reduce ambient noise levels.</p>	<p>Prior to demolition, grading or building permit issuance Measures shown on plans, construction documents and ongoing through construction</p>	<p>Project sponsor(s) and contractor(s)</p>	<p>CDD</p>
<p>* Impact tools (e.g., jack hammers, pavement breakers, and rock drills) used for construction shall be hydraulically or electrically powered wherever possible to avoid noise associated with compressed air exhaust from pneumatically powered tools. However, where use of pneumatic tools is unavoidable, an exhaust muffler on the compressed air exhaust shall be used; this muffler shall achieve lower noise levels from the exhaust by approximately 10 dBA. External jackets on the tools themselves shall be used where feasible in order to achieve a reduction of 5 dBA. Quieter procedures shall be used, such as drills rather than impact equipment, whenever feasible;</p>			
<p>* Stationary noise sources shall be located as far from adjacent receptors as possible and they shall be muffled and enclosed within temporary sheds, incorporate insulation barriers, or other measures to the extent feasible; and</p>			

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	Action	Timing	Implementing Party
			Monitoring Party
* When construction occurs near residents, affected parties within 400 feet of the construction area shall be notified of the construction schedule prior to demolition, grading or building permit issuance. Notices sent to residents shall include a project hotline where residents would be able to call and issue complaints. A Project Construction Complaint and Enforcement Manager shall be designated to receive complaints and notify the appropriate City staff of such complaints. Signs shall be posted at the construction site that include permitted construction days and hours, a day and evening contact number for the job site, and day and evening contact numbers, both for the construction contractor and City representative(s), in the event of problems.			
<i>Mitigation Measure NOI-1c:</i> The City shall condition approval of projects near receptors sensitive to construction noise, such as residences and schools, such that, in the event of a justified complaint regarding construction noise, the City would have the ability to require changes in the construction control noise plan to address complaints.	Condition projects such that if justified complaints from adjacent sensitive receptors are received, City may require changes in construction noise control plan.	Condition shown on plans, construction documents and specifications. When justified complaint received by City.	Project sponsor(s) and contractor(s) for revisions to construction noise control plan. CDD
Impact NOI-3: The Specific Plan would introduce sensitive receptors to a noise environment with noise levels in excess of standards considered acceptable under the City of Menlo Park Municipal Code. (Potentially Significant)			
<i>Mitigation Measure NOI-3:</i> Interior noise exposure within homes proposed for the Specific Plan area shall be assessed by a qualified acoustical engineer to determine if sound rated walls and windows would be required to meet the Title 24 interior noise level standard of 45 dBA, Ldn. The results of each study shall be submitted to the City showing conceptual window and wall assemblies with Sound Transmission Class (STC) ratings necessary to achieve the noise reductions for the project to satisfy the interior noise criteria within the noise environment of the Plan area.	Interior noise exposure assessed by qualified acoustical engineer and results submitted to City showing conceptual window and wall assemblies necessary to meet City standards.	Simultaneous with submittal for a building permit.	Project sponsors(s) and contractor(s) CDD

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Action	Timing	Implementing Party	Monitoring Party
TRANSPORTATION, CIRCULATION AND PARKING			
Impact TR-1: Traffic from future development in the Plan area would adversely affect operation of area intersections. (Significant)			
Mitigation Measures TR-1a through TR-1d: (see EIR for details)	Prior to building permit issuance.	Project sponsor(s)	PW/CDD
Impact TR-2: Traffic from future development in the Plan area would adversely affect operation of local roadway segments. (Significant)			
Mitigation Measure TR-2: New developments within the Specific Plan area, regardless of the amount of new traffic they would generate, are required to have in-place a City-approved Transportation Demand Management (TDM) program prior to project occupancy to mitigate impacts on roadway segments and intersections. TDM programs could include the following measures for site users (taken from the C/CAG CMP), as applicable: <ul style="list-style-type: none"> * Commute alternative information; * Bicycle storage facilities; * Showers and changing rooms; * Pedestrian and bicycle subsidies; * Operating dedicated shuttle service (or buying into a shuttle consortium); * Subsidizing transit tickets; * Preferential parking for carpoolers; * Provide child care services and convenience shopping within new developments; * Van pool programs; * Guaranteed ride home program for those who use alternative modes; * Parking cashout programs and discounts for persons who carpool, vanpool, bicycle or use public transit; * Imposing charges for parking rather than providing free parking; * Providing shuttles for customers and visitors; and/or * Car share programs. 	Submit draft TDM program with building permit. City approval required before permit issuance. Implementation prior to project occupancy.	Project sponsor(s)	PW/CDD
Impact TR-7: Cumulative development, along with development in the Plan area, would adversely affect operation of local intersections. (Significant)			
Mitigation Measures TR-7a through TR-7i: (see EIR for details)	Prior to building permit issuance.	Project sponsor(s)	PW/CDD
Impact TR-8: Cumulative development, along with development in the Plan area would adversely affect operation of local roadway segments. (Significant)			
Mitigation Measure TR-8: Implement TR-2 (TDM Program).	See Mitigation Measure TR-2.		



STAFF REPORT

Planning Commission

Meeting Date: 7/29/2019
Staff Report Number: 19-056-PC

Public Hearing: Station 1300 Development Agreement – Annual Review

Recommendation

Staff recommends that the Planning Commission review the information provided and make a determination that Greenheart Land Company has demonstrated good faith compliance with the provisions of the Station 1300 Development Agreement for the period of February 2017 through July 2019 (Attachment A).

Policy Issues

The Planning Commission should consider whether or not Greenheart Land Company (Greenheart) has demonstrated its good faith compliance with the provisions of its development agreement. If the Commission finds that Greenheart has demonstrated good faith compliance, it may vote affirmatively to make that determination.

Background

The City Council approved the Station 1300 project on January 24 and February 7, 2017. The project is a mixed-use development consisting of non-medical office, residential, and community-serving uses on a 6.4-acre site, with a total of approximately 220,000 square feet of non-residential uses and 183 dwelling units. Applicable entitlements and agreements for this project included Architectural Control, Development Agreement, Tentative Map, Use Permit, Heritage Tree Removal Permits, and Below Market Rate (BMR) Housing Agreement.

Because the project is somewhat complicated with three large buildings being constructed on a multi-level underground parking garage, construction is still underway. Staff has combined the first two-plus years of development agreement review into a single report because there would have been little to report during the construction of the below grade parking garage. Completion of the first building is expected to occur in 2020.

Analysis

A Development Agreement (DA) is a legally binding contract between the City of Menlo Park and an applicant that delineates the terms and conditions of a proposed development project. A Development Agreement allows an applicant to secure vested rights and allows the City to secure benefits that are generally not obtainable otherwise. Development Agreements are commonly used for land use developments which are implemented in phases over a period of time. Development Agreements provide assurances to both the applicant and the City that the terms of the agreement will be in force until the completion of the project, and in some cases, elements of the Development Agreement could be in effect for the life of the project. Development Agreements are enabled by California Government Code Sections

65864-65869.5.

The City Council adopted Resolution No. 4159 in January 1990, establishing the procedures and requirements for the consideration of Development Agreements. Resolution No. 4159 calls for the Planning Commission to conduct a public hearing at which the property owner (or representative for the property owner) must demonstrate good faith compliance with the terms of the agreement. The Planning Commission is to determine, upon the basis of substantial evidence, whether or not the property owner has, for the period under review, complied in good faith with the terms and conditions of the Agreement. The decision of the Planning Commission is final, unless it is appealed to the City Council. These provisions implement Government Code Section 65865.1 which requires the periodic review, at least once every 12 months, to determine compliance with the terms of the agreement. As noted earlier, this initial review is for a two-plus year period since the above-ground construction has only recently started.

The applicant has submitted a summary of the overall project status and the relevant Development Agreement requirements (Attachment B). In evaluating Greenheart’s progress at implementing the Development Agreement, staff has developed a classification system to describe how the specific requirements are being implemented using four categories. Three of these categories are consistent with the principle of good faith compliance with the terms of the agreements and are as follows:

- **Completed:** A One-time Action was completed or an Ongoing Activity occurred during the DA review year.
- **In Progress/Ongoing:** A One-time Action is underway (acceptable progress).
- **Conditional:** The triggering event, condition, or requirement to undertake an item has not occurred and no action is necessary at this time.

The fourth category, described as Unacceptable Progress implies that, at least potentially, good faith compliance for that item may not have occurred. However, a determination that substantial and persistent non-implementation of a development agreement would have to occur before a lack of good faith compliance could truly be determined. None of the Development Agreement requirements have been identified as Unacceptable Progress.

The Development Agreement includes five action items that are associated with the annual Development Agreement tracking. Based upon the status of project construction, Greenheart Land Company is in compliance with the terms of their Development Agreement. The summary of the implementation status of the five development agreement requirements is provided in the following table.

Implementation Status	One-Time Actions	Ongoing Activities
Completed	1	0
In Progress/Ongoing	0	2
Conditional	1	1
Unacceptable Progress	0	0

The following is a more detailed description of the terms of the Development Agreement for the Station 1300 Project. The Development Agreement with Greenheart contains two one-time actions and three

ongoing or long-term actions that are further described below.

One-time actions

1. **Contribution to the Public Amenity Fund.** Prior to the building permit for the underground parking garage being issued, Applicant shall pay \$1.05 Million to the Downtown Public Amenity Fund. Applicant shall make a second \$1.05 Million payment to the same fund prior to any occupancy.

Status: In Progress/Ongoing - The first payment has been made, and the second payment will be made prior to project occupancy.

2. **Execution and Recordation of the BMR Housing Agreement.**

Status: Completed - The agreement has been executed and recorded. The housing units are still under construction. Once the housing is occupied, the City's Housing Division will confirm that the BMR units are being rented in accordance with applicable requirements.

Ongoing actions

3. **Operation of a Dog Park:** As part of the on-site improvements, the Applicant will construct and operate an "open to the public" dog park.

Status: In Progress/Ongoing - Project is under construction and the dog park is included in the approved construction drawings. The adopted DA includes a Public Use Agreement that covers operational aspects of the dog park.

4. **Sales Tax Guarantee:** Applicant will guarantee to the City an agreed upon amount of sales tax revenue from the Station 1300 retail and office space. This obligation will start two years after the first retail or office occupancy.

Status: Conditional - This provision will not apply until after the project is constructed and occupied.

5. **Marketing to Incubator/Co-Working Tenants:** Applicant shall make a good faith effort to market the office space to incubator/co-working tenants as per the plan outlined in the Development Agreement's Exhibit D.

Status: In Progress/Ongoing - Applicant has complied with the Marketing Plan requirement and has submitted an updated marketing status report for the Station 1300 Incubator/Co-working marketing efforts to staff. To date there are no executed office or retail leases. A copy of the marketing plan is contained in Attachment C.

Impact on City Resources

Greenheart has submitted an application and the required processing fee to cover the costs associated with the review of this agreement.

Environmental Review

The California Environmental Quality Act (CEQA) requires that activities which meet the definition of a Project be evaluated for their potential impacts on the environment. The Annual Review of the Development Agreements has no potential to result in an impact to the environment and does not meet the definition of a Project under CEQA; as a result, no environmental review or determination is needed. The environmental impacts of the project and associated development agreement was evaluated and considered at the time the project was initially approved by the City in 2017.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting.

Attachments

- A. Recommended Actions
- B. DA Implementation Letter
- C. Incubator/Co-Working Tenants Marketing Plan

Report prepared by:
David Hogan, Contract Planner

Report reviewed by:
Thomas Rogers, Principal Planner

Greenheart Development Agreement – Attachment A: Recommended Actions

LOCATION: 1300 El Camino Real	PROJECT NUMBER: PLN2019-00729	APPLICANT: Greenheart Land Company	OWNER: Greenheart Land Company
REQUEST: Annual review of the property owner’s good faith compliance with the terms of the Development Agreement for the Station 1300 project.			
DECISION ENTITY: Planning Commission	DATE: July 29, 2019	ACTION: TBD	
VOTE: TBD (Barnes, DeCardy, Doran, Kennedy, Riggs, Strehl, Tate)			
ACTION: 1. Make a finding that Greenheart Land Company is in compliance with the provisions of the approved Development Agreement for the period of February 2017 through July 2019.			



July 1, 2019

Thomas Rodgers
City of Menlo Park
701 Laurel Street
Menlo Park, CA 94025

Re: Station 1300 Development Agreement Review

Dear Thomas:

The City has requested a review of the Station 1300 Development Agreement (DA) terms to assure Greenheart's good faith compliance with such terms.

Per your request, I have provided a compliance matrix (Attachment A) entitled Station 1300 Development Agreement Obligations Status Summary listing the DA section number, requirement, status and explanation. As shown, Greenheart is in complete compliance with the Station 1300 DA obligations. I will forward a letter from our office leasing brokers at CBRE outlining the marketing efforts undertaken to market the office space at Station 1300 to incubator, co-working and accelerator companies in compliance with our DA obligation outlined as DA Exhibit D.

In the two and half years since Station 1300's entitlement approvals, the development has made significant progress including:

1. Receipt of building permits for the construction of the underground garage; off-site improvements; two office buildings; an apartment building as well as all of the on-site improvements.
2. Completion of the approximately 1,000 space underground garage.
3. Commencement of the vertical construction is underway on both office buildings with ground floor retail space as well as the 183-unit apartment building that will include 20 BMR units.
4. Payment of \$1.05M to the public amenity fund plus payment of all applicable permits and fees to obtain the building permits.

Steve Pierce will represent Greenheart at the Planning Commission hearing and answer any questions from Commission members. If you have any questions or in need of additional information, please do not hesitate to contact me.

Best regards

Greenheart Land Company

Robert Burke

Robert Burke
Principal

cc: Steve Pierce

Attachment A: Station 1300 Development Agreement Obligations Status Summary

DA Term	Summarized Task/Requirement/Action	Status	Explanation
§6	Public Amenity Fund: Prior to the Garage Building Permit being issued, Applicant shall pay \$1.05 Million to the Downtown Public Amenity Fund. Applicant shall make a second \$1.05 Million payment to the same fund prior to any occupancy.	In Progress	Applicant made first \$1.05 Million Payment and second will be paid prior to occupancy.
§7.1	Dog Park: As part of the on-site improvements, Applicant will include an "open to the public" dog park as shown on DA Exhibit A per the public use agreement shown as DA Exhibit C.	In Progress	The dog park was included in the City approved on-site improvement construction drawings and will be constructed concurrently with the on-site improvements.
§7.2	Sales Tax Guarantee: Applicant will guarantee to the City an agreed upon amount of sales tax revenue from the Station 1300 retail and office space. This obligation will start two years after the first retail or office occupancy.	Conditional, No Action Required at this time	Applicant will report to City at time of first occupancy and thereafter as required.
§7.3	Marketing to Incubator/Co-Working Tenants: Applicant shall make a good faith effort to market the office space to incubator/co-working tenants as per the plan outlined in Exhibit D.	In Progress	Applicant has complied with the DA Exhibit D Marketing Plan and submitted an updated marketing status report for the Station 1300 Incubator/Co-working marketing efforts to City Staff. To date there are no executed office or retail leases.
§7.4	Affordable Housing: Applicant and the City to execute and record the BMR Housing Agreement.	Complete	Affordable Housing Agreement attached to DA as an exhibit has been executed and recorded. When complete the Station 1300 apartments will include the 20 below market rate units outlined in the Affordable Housing Agreement and S1300 will report the status as outlined in the Agreement to the City.

COMMERCIAL REAL ESTATE SERVICES



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www.cbre.com

July 1, 2019

Mr. Mark Muenzer
Community Development Department
701 Laurel Street
Menlo Park, CA 94025

RE: Station 1300 - Incubator/Co-working Office Strategic Marketing Plan

Dear Mark,

This letter documents CBRE's marketing efforts on behalf of Greenheart Land Company ("Greenheart") to attract early stage companies to Station 1300 in order to help these companies grow within Menlo Park.

Pursuant to an agreement with the City of Menlo Park, Greenheart engaged a commercial real estate company to market all office space in the Station 1300 development. Greenheart hired CBRE and directed CBRE to create a focused *Marketing & Awareness Strategy* to identify early stage companies, as well as incubator and co-working type entities.

As Action Items, Greenheart is to provide the following to the City of Menlo Park for review and reasonable approval:

1. Target Companies List
2. Social Media Outreach Program
3. Highly Focused Marketing Materials

Below is an overview with documentation to demonstrate efforts made by CBRE and Greenheart pursuant to the Action Items listed above.

1. Using strategies outlined in the city approved marketing plan, **Exhibit A** is a list of small, growing companies located in Menlo Park and the greater Menlo Park area being tracked and contacted by CBRE. The list is comprised of companies that have recently received venture capital funding, along with small companies known in the area through CBRE's extensive network of broker and venture contacts, as well as contacts with Stanford University.
2. **Exhibit B** includes a series of screenshots and images displaying some of the social media marketing efforts Station 1300's listing brokers at CBRE have made to appeal to early stage companies, as well as incubator and co-working companies. Immediately below are direct links to Station 1300 social media pages:

- a. Twitter: <https://twitter.com/station1300mp/>

- b. Facebook: <https://www.facebook.com/station1300mp/>
 - c. Instagram: <https://www.instagram.com/station1300mp/>
3. CBRE has marketed Station 1300 to commercial real estate agents throughout the region to ensure brokers understand the features and advantages of locating their early stage high growth companies at Station 1300. As part of general marketing efforts, CBRE regularly sends out marketing emails to brokers throughout the San Francisco Peninsula and South Bay Area, in addition to sending out marketing emails to brokers throughout the entire San Francisco Bay Area. At present, 824 commercial real estate brokers on the San Francisco Peninsula and South Bay Area (CBRE and non-CBRE) receive Station 1300 marketing emails from CBRE. Moreover, 1,496 commercial real estate brokers throughout the entire San Francisco Bay Area (CBRE and non-CBRE) receive Station 1300 marketing emails from CBRE. In addition, Station 1300's listing brokers at CBRE, based in Palo Alto, have personally presented the Station 1300 development to commercial brokers at the following commercial real estate firms and locations:
- a. CBRE, San Francisco
 - b. CBRE, San Jose
 - c. Newmark Knight Frank, Palo Alto
 - d. Newmark Knight Frank, Santa Clara
 - e. Colliers, Redwood City
 - f. Cushman & Wakefield, Palo Alto
 - g. Jones Lang LaSalle, Menlo Park

Additional Information:

- Station 1300 Official Website: <http://station1300.com/>
- CBRE Station 1300 Website: <http://properties.cbre.us/station1300/>

Station 1300's listing brokers at CBRE have had extensive discussions with brokers throughout the area representing early stage companies.

Station 1300's listing brokers have been in contact directly with many coworking companies who are all aware of the Station 1300 development. These coworking companies include WeWork, Industrious, Spaces, Canopy, BootUp, InterState, and StartX, among others.

Thank you for your time and please feel free to reach out with any specific questions.

Sincerely,

CBRE, Inc.



Todd Husak
Managing Director
Lic. 01785130



Jonathan Moeller
Executive Vice President
Lic. 01227897



David Wright
First Vice President
Lic. 01839331

EXHIBIT A – GROWTH & VENTURE BACKED COMPANIES – GREATER MENLO PARK AREA

Funding Date	Funding Amount	Company	Number of Employees	LinkedIn	City
4/18/2019	\$13.5M	Phantom Auto	11-50	LinkedIn	Mountain View
4/18/2019	\$9.0M	Jivox	101-250	LinkedIn	San Mateo
4/18/2019	\$8.5M	Zippia, Inc.	11-50	LinkedIn	San Mateo
4/17/2019	\$30.0M	Moveworks	51-100	LinkedIn	Mountain View
4/16/2019	\$100.0M	Insitro	1-10		South San Francisco
4/16/2019	\$1.1M	SolarGaps	1-10		Redwood City
4/15/2019	\$2.0M	Game of Whales	11-50	LinkedIn	Palo Alto
4/15/2019	\$.0M	ZaiNar	0	LinkedIn	Menlo Park
4/14/2019	\$85.0M	Ajax Health	0	LinkedIn	Menlo Park
4/11/2019	\$65.0M	Armis Security	101-250	LinkedIn	Palo Alto
4/11/2019	\$2.4M	Tandem PV	0		Stanford
		Cardinal Analytx			
4/10/2019	\$20.6M	Solutions	11-50	LinkedIn	Palo Alto
4/8/2019	\$50.0M	Upstart	101-250	LinkedIn	San Carlos
4/4/2019	\$11.0M	Mighty Networks	11-50	LinkedIn	Palo Alto
4/3/2019	\$12.0M	Squelch	11-50	LinkedIn	Redwood City
4/3/2019	\$.0M	Landing AI	11-50	LinkedIn	Palo Alto
4/2/2019	\$88.0M	Bill.com	251-500	LinkedIn	Palo Alto
		SambaNova			
4/1/2019	\$150.0M	Systems	51-100	LinkedIn	Palo Alto
4/1/2019	\$10.0M	OnScale	11-50	LinkedIn	Redwood City
4/1/2019	\$8.0M	Productiv	0	LinkedIn	Palo Alto
3/30/2019	\$2.0M	Audacy	11-50	LinkedIn	Mountain View
3/28/2019	\$15.0M	BillionToOne	1-10	LinkedIn	Palo Alto
3/27/2019	\$.0M	Kespry	101-250	LinkedIn	Menlo Park
		Revvo			
3/26/2019	\$4.0M	Technologies	1-10	LinkedIn	San Mateo
3/25/2019	\$1.0M	Bricleir	1-10	LinkedIn	Palo Alto
3/22/2019	\$.0M	Alcatraz AI	11-50	LinkedIn	Palo Alto
		Imago			
3/21/2019	\$40.0M	BioSciences	1-10		San Carlos
3/20/2019	\$23.0M	Workboard	11-50	LinkedIn	Redwood City
3/20/2019	\$16.5M	Blameless	11-50	LinkedIn	San Mateo
3/20/2019	\$22.0M	Point	1-10	LinkedIn	Palo Alto
3/20/2019	\$2.2M	DeepMotion	0	LinkedIn	Redwood City
3/20/2019	\$1.5M	SV Insight	11-50	LinkedIn	San Mateo
3/19/2019	\$2.0M	Frontdesk AI	1-10	LinkedIn	Palo Alto
3/18/2019	\$.0M	Alpaca	11-50	LinkedIn	San Mateo
3/18/2019	\$.2M	Superb AI	11-50	LinkedIn	Foster City
3/18/2019	\$.2M	Geosite	0	LinkedIn	Palo Alto
3/18/2019	\$.2M	Brain Key	1-10	LinkedIn	Palo Alto
3/18/2019	\$.2M	AI Insurance	1-10	LinkedIn	Mountain View
3/18/2019	\$.2M	COUTURME	1-10	LinkedIn	San Mateo
3/18/2019	\$.2M	Gordian Software	1-10	LinkedIn	Burlingame
3/18/2019	\$.2M	Searchlight	1-10	LinkedIn	San Mateo
3/18/2019	\$.2M	VertoFX	1-10	LinkedIn	Palo Alto
3/18/2019	\$.2M	Nettrons	1-10	LinkedIn	Menlo Park
3/18/2019	\$.0M	Pnoe	0	LinkedIn	Palo Alto
3/17/2019	\$2.0M	Docucharm	1-10	LinkedIn	Mountain View

Funding Date	Funding Amount	Company	Number of Employees	LinkedIn	City
3/13/2019	\$8.0M	Physera	0	LinkedIn	Palo Alto
3/7/2019	\$51.0M	Betterworks, Inc.	51-100	LinkedIn	Redwood City
3/5/2019	\$22.0M	Zinier	51-100	LinkedIn	Burlingame
3/5/2019	\$52.0M	Eargo	101-250	LinkedIn	Mountain View
3/4/2019	\$23.0M	Jupiter Intelligence	11-50	LinkedIn	San Mateo
3/1/2019	\$.1M	BehaviorMe	1-10	LinkedIn	San Mateo
2/28/2019	\$40.0M	Zum	51-100	LinkedIn	Redwood City
2/28/2019	\$70.0M	Medallia	1001-5000	LinkedIn	San Mateo
2/28/2019	\$7.0M	Mintigo	51-100	LinkedIn	San Mateo
2/28/2019	\$191.0M	Maze Therapeutics	0		Redwood City
2/28/2019	\$2.0M	Beam	1-10	LinkedIn	Mountain View
2/27/2019	\$30.0M	Presto	51-100	LinkedIn	Redwood City
2/25/2019	\$.0M	Boardwalktech	51-100	LinkedIn	Palo Alto
2/19/2019	\$60.0M	Redis Labs	101-250	LinkedIn	Mountain View
2/19/2019	\$5.0M	SilverPush	51-100	LinkedIn	Mountain View
2/19/2019	\$15.0M	CipherTrace	11-50	LinkedIn	Menlo Park
2/19/2019	\$52.0M	SendBird	11-50	LinkedIn	San Mateo
2/18/2019	\$2.5M	HiHello	0	LinkedIn	Palo Alto
2/18/2019	\$30.0M	The Because Market	11-50	LinkedIn	Redwood City
2/14/2019	\$10.0M	Loop Media	0	LinkedIn	Palo Alto
2/13/2019	\$18.0M	3-V Biosciences	11-50	LinkedIn	Menlo Park
2/12/2019	\$.0M	AppDome	11-50	LinkedIn	Redwood City
2/12/2019	\$2.5M	Zone7	1-10	LinkedIn	Palo Alto
2/11/2019	\$940.0M	Nuro	251-500	LinkedIn	Mountain View
2/11/2019	\$200.0M	Jobvite	101-250	LinkedIn	San Mateo
2/11/2019	\$20.0M	Second Measure	51-100	LinkedIn	San Mateo
2/11/2019	\$43.0M	PerimeterX	101-250	LinkedIn	San Mateo
2/11/2019	\$10.0M	HumanAPI	11-50	LinkedIn	Redwood City
2/8/2019	\$2.5M	Athenascope	0	LinkedIn	Mountain View
2/7/2019	\$530.0M	Aurora	101-250	LinkedIn	Palo Alto
2/7/2019	\$6.0M	Agile Stacks	11-50	LinkedIn	San Mateo
2/7/2019	\$8.5M	Recida Therapeutics	0		Menlo Park
2/6/2019	\$310.0M	Lime	501-1000	LinkedIn	San Mateo
2/6/2019	\$44.0M	vArmour	101-250	LinkedIn	Mountain View
2/6/2019	\$68.0M	DNAexus	11-50	LinkedIn	Mountain View
2/6/2019	\$.0M	Apex.AI	11-50	LinkedIn	Palo Alto
2/5/2019	\$50.0M	Personal Capital	251-500	LinkedIn	San Carlos
2/5/2019	\$20.0M	Mattermost	51-100	LinkedIn	Palo Alto
2/4/2019	\$20.0M	Aurora Solar	11-50	LinkedIn	Palo Alto
2/4/2019	\$.0M	eIQ Mobility	1-10	LinkedIn	Menlo Park
1/31/2019	\$3.8M	Step	11-50	LinkedIn	San Mateo
1/30/2019	\$23.0M	Fortanix	11-50	LinkedIn	Mountain View
1/30/2019	\$.0M	Empowerly	11-50	LinkedIn	Palo Alto
1/29/2019	\$30.0M	Epic!	51-100	LinkedIn	Redwood City
1/29/2019	\$20.0M	AliveCor	11-50	LinkedIn	Mountain View
1/29/2019	\$10.0M	Salt Security	11-50	LinkedIn	Palo Alto
1/29/2019	\$7.0M	Bipsync	11-50	LinkedIn	Palo Alto
1/25/2019	\$2.5M	Cargo Chief	1-10	LinkedIn	Millbrae

Funding Date	Funding Amount	Company	Number of Employees	LinkedIn	City
1/25/2019	\$1.1M	Mycroft	11-50	LinkedIn	Palo Alto
1/25/2019	\$25.0M	Swarm Technologies	1-10	LinkedIn	Palo Alto
1/25/2019	\$8.2M	Obo	11-50	LinkedIn	San Mateo
1/23/2019	\$123.0M	Uplift	51-100	LinkedIn	Menlo Park
1/23/2019	\$299.2M	BridgeBio	0	LinkedIn	Palo Alto
1/23/2019	\$2.0M	AnChain.ai	1-10		Mountain View
1/23/2019	\$125.0M	Confluent	101-250	LinkedIn	Palo Alto
1/22/2019	\$51.0M	The Pill Club	101-250	LinkedIn	Redwood City
1/22/2019	\$100.0M	Globality	51-100	LinkedIn	Menlo Park
1/18/2019	\$.0M	Autogrid	51-100	LinkedIn	Redwood City
1/18/2019	\$8.5M	Alluxio	11-50	LinkedIn	San Mateo
1/17/2019	\$50.0M	Alation	51-100	LinkedIn	Redwood City
1/17/2019	\$5.0M	RECVUE	11-50	LinkedIn	Palo Alto
1/16/2019	\$200.0M	Fractal Analytics	1001-5000	LinkedIn	San Mateo
1/16/2019	\$17.0M	Citizen	11-50	LinkedIn	Redwood City
1/16/2019	\$5.0M	Theta Lake	11-50	LinkedIn	San Mateo
1/15/2019	\$261.0M	Rubrik	1001-5000	LinkedIn	Palo Alto
1/15/2019	\$.0M	BitMovio	1-10	LinkedIn	Palo Alto
1/9/2019	\$10.0M	NeoSensory	11-50	LinkedIn	Palo Alto
1/9/2019	\$12.4M	NapaJen	1-10		Burlingame
1/9/2019	\$6.0M	EPRI	0		Palo Alto
1/8/2019	\$50.0M	Dorae	11-50	LinkedIn	Palo Alto
1/8/2019	\$75.0M	Coherus Biosciences	101-250	LinkedIn	Redwood City
1/4/2019	\$3.0M	Super Heroic	1-10	LinkedIn	Palo Alto
1/3/2019	\$6.0M	Synapse Technology Corporation	0	LinkedIn	Palo Alto
12/31/2018	\$2.4M	Camino	1-10	LinkedIn	San Mateo
12/29/2018	\$.0M	Neofect	11-50	LinkedIn	Burlingame
12/28/2018	\$4.0M	Xage Security	11-50	LinkedIn	Palo Alto
12/27/2018	\$80.0M	Carta	251-500	LinkedIn	Palo Alto
12/21/2018	\$31.0M	Mindstrong Health	11-50	LinkedIn	Palo Alto
12/20/2018	\$125.0M	Earnin	51-100	LinkedIn	Palo Alto
12/20/2018	\$60.0M	Boosted	51-100	LinkedIn	Mountain View
12/19/2018	\$75.0M	Annexon Biosciences	1-10		South San Francisco
12/19/2018	\$16.5M	Solenio Therapeutics	0		Redwood City
12/19/2018	\$3.0M	PlanetScale	1-10	LinkedIn	Mountain View
12/18/2018	\$.0M	Aromyx	11-50	LinkedIn	Palo Alto
12/17/2018	\$36.0M	Seer	0	LinkedIn	South San Francisco
12/17/2018	\$1.5M	Angee	11-50	LinkedIn	Palo Alto
12/12/2018	\$50.0M	AtScale	11-50	LinkedIn	San Mateo
12/12/2018	\$9.4M	InterVenn	11-50	LinkedIn	Redwood City
12/12/2018	\$.0M	Spiio, Inc.	1-10	LinkedIn	Palo Alto
12/12/2018	\$35.0M	Guideline, Inc.	101-250	LinkedIn	San Mateo
12/11/2018	\$18.0M	Spring Discovery	1-10	LinkedIn	Palo Alto
12/11/2018	\$25.0M	LogDNA	11-50	LinkedIn	Mountain View
12/10/2018	\$.2M	Smart Mimic	11-50	LinkedIn	Palo Alto

Funding Date	Funding Amount	Company	Number of Employees	LinkedIn	City
12/8/2018	\$0M	Carmen.co	11-50	LinkedIn	San Mateo
12/7/2018	\$2M	Orion Span, Inc.	1-10	LinkedIn	San Mateo
12/6/2018	\$33.6M	EdCast	101-250	LinkedIn	Mountain View
12/6/2018	\$2.2M	Farmstead	0		San Mateo
12/5/2018	\$2.5M	EdSurge	11-50	LinkedIn	Burlingame
12/4/2018	\$0M	Greenrush	51-100	LinkedIn	San Mateo
12/3/2018	\$0M	Carta	251-500	LinkedIn	Palo Alto
11/30/2018	\$25.0M	Karius	51-100	LinkedIn	Redwood City
		Integral Development Corp.			
11/28/2018	\$15.0M		251-500		Palo Alto
11/28/2018	\$10.0M	Prescient Surgical	1-10		Mountain View
11/28/2018	\$220.0M	Auris Health, Inc.	51-100	LinkedIn	San Carlos
11/26/2018	\$30.0M	GOQii	1-10	LinkedIn	Menlo Park
11/20/2018	\$70.0M	PellePharm	11-50		Menlo Park
11/15/2018	\$0M	Autogrid	51-100	LinkedIn	Redwood City
11/15/2018	\$0M	Sitetracker	101-250	LinkedIn	Palo Alto
11/15/2018	\$15.5M	Apex.AI	11-50	LinkedIn	Palo Alto
11/15/2018	\$6M	Streamloots	1-10	LinkedIn	San Mateo
11/14/2018	\$70.0M	Hippo Insurance	11-50	LinkedIn	Mountain View
11/13/2018	\$100.0M	Poynt	51-100	LinkedIn	Palo Alto
11/13/2018	\$13.0M	Trace Genomics	11-50		Burlingame
11/12/2018	\$17.0M	AEGEA Medical	11-50	LinkedIn	Redwood City
		Harpoon Therapeutics			
11/12/2018	\$70.0M		11-50		South San Francisco
11/8/2018	\$154.0M	TripActions	501-1000	LinkedIn	Palo Alto
		InCarda Therapeutics			
11/8/2018	\$42.0M		1-10		Palo Alto
11/7/2018	\$8.0M	YotaScale	11-50	LinkedIn	Menlo Park
11/7/2018	\$7.6M	Prescient Surgical	1-10		Mountain View
11/7/2018	\$11.5M	Avinger	51-100	LinkedIn	Redwood City
		Commerce Signals			
11/6/2018	\$4.0M		11-50	LinkedIn	Palo Alto
11/6/2018	\$6.0M	Photomath, Inc.	11-50	LinkedIn	San Mateo
		Esperanto Technologies			
11/4/2018	\$58.0M		51-100	LinkedIn	Mountain View
11/2/2018	\$0M	Honeycomb Hives	0	LinkedIn	Mountain View
11/2/2018	\$40.0M	Jaunt	11-50	LinkedIn	San Mateo
11/1/2018	\$0M	olsme	1-10	LinkedIn	Belmont
11/1/2018	\$375.0M	Zume Pizza	11-50	LinkedIn	Mountain View
11/1/2018	\$26.0M	Shape Security	101-250	LinkedIn	Mountain View
11/1/2018	\$60.0M	DeepMap	11-50	LinkedIn	Palo Alto
11/1/2018	\$7.0M	Currant	1-10	LinkedIn	Palo Alto
11/1/2018	\$80.0M	Neo4j	101-250	LinkedIn	San Mateo
11/1/2018	\$18.5M	Rockset	11-50	LinkedIn	San Mateo
10/31/2018	\$3.3M	ACTON	11-50	LinkedIn	Mountain View
		Terns Pharmaceuticals			
10/30/2018	\$80.0M		1-10	LinkedIn	San Mateo
10/30/2018	\$40.0M	Deliv	11-50	LinkedIn	Menlo Park
10/30/2018	\$21.0M	Clear Labs	11-50	LinkedIn	Menlo Park
10/30/2018	\$20.0M	HeadSpin	11-50	LinkedIn	Palo Alto
10/30/2018	\$7M	kimkim	11-50	LinkedIn	Palo Alto
10/29/2018	\$0M	OLS (iee.aeo)	1-10	LinkedIn	Foster City

Funding Date	Funding Amount	Company	Number of Employees	LinkedIn	City
10/29/2018	\$0.0M	Orion Span, Inc.	1-10	LinkedIn	San Mateo
10/29/2018	\$14.5M	Waterline Data	51-100	LinkedIn	Mountain View
10/29/2018	\$25.0M	Carrot	11-50	LinkedIn	Redwood City
10/29/2018	\$31.0M	Conversica	101-250	LinkedIn	Foster City
10/25/2018	\$25.0M	Infoworks.io	51-100	LinkedIn	Palo Alto
10/24/2018	\$3.0M	Alpaca	11-50	LinkedIn	San Mateo
10/23/2018	\$15.0M	FILLD	11-50	LinkedIn	Mountain View
10/23/2018	\$48.0M	Yellowbrick Data	11-50	LinkedIn	Palo Alto
10/23/2018	\$3.5M	STELLARES	1-10		Palo Alto
10/23/2018	\$110.0M	Synthego	11-50	LinkedIn	Redwood City
10/23/2018	\$32.0M	Area 1 Security	51-100	LinkedIn	Redwood City
10/23/2018	\$8.0M	Ople	11-50	LinkedIn	San Mateo
10/22/2018	\$87.0M	EarLens	101-250	LinkedIn	Menlo Park
10/22/2018	\$2.5M	Promethium, Inc.	1-10		Menlo Park
10/22/2018	\$8.0M	Wallarm	11-50	LinkedIn	South San Francisco
10/20/2018	\$4.0M	hiver	11-50	LinkedIn	Palo Alto
10/18/2018	\$0.0M	Inflammatix	11-50	LinkedIn	Burlingame
10/18/2018	\$15.0M	Incorta	51-100	LinkedIn	San Mateo
10/17/2018	\$54.5M	CuraSen Therapeutics	0		San Mateo
10/17/2018	\$20.0M	Oh My Green	101-250	LinkedIn	Burlingame
10/16/2018	\$7.0M	NowRx	1-10	LinkedIn	Mountain View
10/16/2018	\$7.2M	Jolt.us	11-50	LinkedIn	Palo Alto
10/16/2018	\$4.0M	DC Systems	11-50	LinkedIn	Redwood City
10/12/2018	\$1.0M	strongDM	1-10	LinkedIn	Burlingame
10/11/2018	\$450.0M	Snowflake Computing	251-500	LinkedIn	San Mateo
10/10/2018	\$75.0M	Egnyte	251-500	LinkedIn	Mountain View
10/9/2018	\$2.5M	Findo	11-50	LinkedIn	Menlo Park
10/9/2018	\$10.2M	YourMechanic	51-100	LinkedIn	Mountain View
10/8/2018	\$10.0M	Machinify	1-10		Palo Alto
10/8/2018	\$9M	ePluribus	1-10	LinkedIn	Stanford
10/2/2018	\$16.0M	STRIVR	51-100	LinkedIn	Menlo Park
10/2/2018	\$4.0M	Tiny	11-50	LinkedIn	Palo Alto
10/2/2018	\$15.0M	Arcadia Data	51-100	LinkedIn	San Mateo
10/1/2018	\$45.0M	Aeva	11-50	LinkedIn	Palo Alto
10/1/2018	\$0.0M	Qurasense	0	LinkedIn	Palo Alto
10/1/2018	\$7.5M	RevUp Software	11-50	LinkedIn	Redwood City
9/28/2018	\$10.0M	Blok Party	1-10	LinkedIn	South San Francisco
9/26/2018	\$19.0M	Capella Space	11-50	LinkedIn	San Francisco
9/25/2018	\$3.0M	MODE	1-10	LinkedIn	San Mateo
9/25/2018	\$35.0M	Ceribell	0	LinkedIn	Mountain View
9/24/2018	\$18.0M	Cloud Lending	101-250	LinkedIn	San Mateo
9/24/2018	\$3.5M	CoinAlpha, Inc.	1-10	LinkedIn	Mountain View
9/24/2018	\$6.0M	ElectriQ Power	11-50	LinkedIn	Palo Alto
9/21/2018	\$0.0M	Neumentum	0	LinkedIn	Palo Alto
9/20/2018	\$4.0M	DataGrail	1-10	LinkedIn	San Mateo
9/20/2018	\$133.9M	Katera	1001-5000	LinkedIn	Menlo Park
9/19/2018	\$8.8M	Cobase	11-50		Mountain View
9/19/2018	\$1M	Capture	11-50	LinkedIn	Palo Alto

Funding Date	Funding Amount	Company	Number of Employees	LinkedIn	City
9/19/2018	\$155.0M	Proterra	251-500	LinkedIn	Burlingame
9/18/2018	\$33.0M	Immune-Onc Therapeutics	0		Palo Alto
9/18/2018	\$8.6M	Illumix	11-50	LinkedIn	Redwood City
9/17/2018	\$1000.0M	Lucid Motors	251-500	LinkedIn	Menlo Park
9/17/2018	\$45.0M	WHILL	11-50	LinkedIn	San Carlos
9/13/2018	\$.6M	BitMovio	1-10	LinkedIn	Palo Alto
9/12/2018	\$19.0M	CODA Biotherapeutics	0		South San Francisco
9/12/2018	\$5.0M	Hiretual	11-50	LinkedIn	Mountain View
9/12/2018	\$.0M	Interana	51-100	LinkedIn	Redwood City
9/12/2018	\$3.2M	Accrualify, Inc.	11-50	LinkedIn	San Mateo
9/12/2018	\$125.0M	Atreca	11-50		San Carlos
9/11/2018	\$15.0M	AirXpanders	11-50	LinkedIn	Mountain View
9/10/2018	\$32.0M	Autogrid	51-100	LinkedIn	Redwood City
9/10/2018	\$20.0M	Biodesy	11-50		Burlingame
9/7/2018	\$120.0M	Allogene Therapeutics	0	LinkedIn	South San Francisco
9/7/2018	\$129.0M	Branch	51-100	LinkedIn	Redwood City
9/6/2018	\$.0M	Locix	0		San Bruno
9/6/2018	\$8.0M	Sinovia Technologies	1-10	LinkedIn	San Carlos
9/6/2018	\$13.5M	Notable	1-10	LinkedIn	San Mateo
9/6/2018	\$.0M	Simtek, Inc.	0		Mountain View
9/5/2018	\$.0M	Aperia Technologies	11-50	LinkedIn	Burlingame
9/5/2018	\$.2M	GoLorry	11-50	LinkedIn	San Mateo
9/5/2018	\$295.0M	AnchorFree	51-100	LinkedIn	Menlo Park
9/5/2018	\$52.3M	Groq	0		Palo Alto
9/5/2018	\$100.0M	Caffeine	0	LinkedIn	Redwood City
9/4/2018	\$9.2M	Antheia	0		Menlo Park
9/4/2018	\$2.0M	Haystack TV	1-10	LinkedIn	Redwood City
9/1/2018	\$.0M	Eirium Technologies	1-10		Palo Alto
8/31/2018	\$3.7M	kimkim	11-50	LinkedIn	Palo Alto
8/31/2018	\$.0M	SubPac	11-50	LinkedIn	Palo Alto
8/29/2018	\$6.6M	Inbenta	101-250	LinkedIn	Foster City
8/29/2018	\$94.0M	Cloudian	101-250	LinkedIn	San Mateo
8/29/2018	\$10.2M	VoloAgri Group	51-100		South San Francisco
8/28/2018	\$12.0M	Avegant	11-50	LinkedIn	Belmont
8/28/2018	\$10.3M	Alydia Health	1-10	LinkedIn	Menlo Park
8/28/2018	\$24.0M	Lacework	11-50	LinkedIn	Mountain View
8/27/2018	\$7.0M	Owler, Inc.	101-250	LinkedIn	San Mateo
8/27/2018	\$6.9M	Tesorio	11-50	LinkedIn	Burlingame
8/27/2018	\$17.0M	Deserve	11-50	LinkedIn	Menlo Park
8/27/2018	\$.0M	Made In Space	11-50	LinkedIn	Mountain View
8/26/2018	\$.0M	Universal Tennis	11-50	LinkedIn	Palo Alto
8/24/2018	\$1.6M	Iterate Studio	11-50	LinkedIn	Mountain View
8/24/2018	\$3.7M	TrueVault	1-10	LinkedIn	Palo Alto
8/23/2018	\$10.0M	Armory	11-50	LinkedIn	San Mateo
8/23/2018	\$1.0M	Verse	11-50	LinkedIn	San Mateo
8/23/2018	\$24.0M	Sitetracker	101-250	LinkedIn	Palo Alto

Funding Date	Funding Amount	Company	Number of Employees	LinkedIn	City
8/23/2018	\$1.1M	Femtosense	0		Palo Alto
8/21/2018	\$.0M	RealtyBits	1-10	LinkedIn	Palo Alto
8/21/2018	\$.0M	Dorae	11-50	LinkedIn	Palo Alto
8/20/2018	\$15.0M	Drawbridge	101-250	LinkedIn	San Mateo
8/20/2018	\$.1M	64-x	1-10	LinkedIn	Mountain View
8/20/2018	\$.1M	Hepatx	1-10	LinkedIn	Palo Alto
8/20/2018	\$.0M	TangoTrade	0		Palo Alto
8/17/2018	\$4.7M	Route 92 Medical	1-10	LinkedIn	San Mateo
8/16/2018	\$50.0M	Principia BioPharma	11-50	LinkedIn	South San Francisco
8/16/2018	\$670.0M	Symantec	10001+	LinkedIn	Mountain View
8/16/2018	\$.0M	Inokyo	0		Mountain View
8/16/2018	\$15.0M	Instaclustr	51-100	LinkedIn	Palo Alto
8/15/2018	\$15.0M	Ghost Locomotion	0	LinkedIn	Mountain View
8/15/2018	\$11.3M	Firework	11-50	LinkedIn	Redwood City
8/15/2018	\$21.0M	RevJet	51-100	LinkedIn	San Carlos
8/14/2018	\$50.0M	Exabeam	101-250	LinkedIn	San Mateo
8/14/2018	\$.0M	DeepMap	11-50	LinkedIn	Palo Alto
8/14/2018	\$10.0M	Owl Cameras	11-50	LinkedIn	Palo Alto
8/12/2018	\$.0M	Landing.AI	11-50	LinkedIn	Palo Alto
8/11/2018	\$4.0M	SSL	1001-5000	LinkedIn	Palo Alto
8/10/2018	\$13.0M	MINES	11-50	LinkedIn	San Mateo
8/10/2018	\$12.0M	Farapulse	1-10	LinkedIn	Menlo Park
8/10/2018	\$40.0M	BioElectron Technology Corporation	0		Mountain View
8/10/2018	\$9.5M	Wurl	11-50		Palo Alto
8/10/2018	\$.1M	Algebra, Inc.	1-10	LinkedIn	Woodside
8/8/2018	\$58.0M	Apexigen	11-50		Burlingame
8/8/2018	\$80.0M	Ambys Medicines	0		Redwood City
8/7/2018	\$1.8M	Loto Labs	0	LinkedIn	Belmont
8/7/2018	\$10.5M	General Automation Lab Technologies	0		San Carlos
8/7/2018	\$12.8M	Credence MedSystems	0		Menlo Park
8/7/2018	\$40.0M	Kodiak Robotics	11-50	LinkedIn	Mountain View
8/7/2018	\$2000.0M	Tesla	10001+	LinkedIn	Palo Alto
8/7/2018	\$.9M	Bot M.D.	1-10	LinkedIn	Palo Alto
8/6/2018	\$40.0M	Zenith Energy Ltd	11-50	LinkedIn	Belmont
8/6/2018	\$5.0M	Kedalion Therapeutics	0		Menlo Park
8/6/2018	\$.2M	Open Health Network	11-50	LinkedIn	Mountain View
8/6/2018	\$.0M	Guardant Health	51-100	LinkedIn	Redwood City
8/2/2018	\$6.7M	Stampli	11-50	LinkedIn	Mountain View
8/2/2018	\$1.0M	TalentSky	11-50	LinkedIn	Redwood City
8/1/2018	\$1.0M	Custom Print Box	11-50	LinkedIn	South San Francisco
8/1/2018	\$44.0M	Yellowbrick Data	11-50	LinkedIn	Palo Alto
8/1/2018	\$.0M	Centrillion Biosciences	11-50	LinkedIn	Palo Alto
8/1/2018	\$14.0M	Naked Labs	11-50	LinkedIn	Redwood City

Funding Date	Funding Amount	Company	Number of Employees	LinkedIn	City
8/1/2018	\$30.0M	Evidation Health	51-100	LinkedIn	San Mateo

EXHIBIT B - TWITTER

The image shows a Twitter profile for Station 1300 (@station1300mp). The profile header includes a circular profile picture of a modern building, the name "Station 1300", and the handle "@station1300mp". Below this, it shows "properties.cbre.us/station1300", "Joined January 2018", and "10 Photos and videos". The main content area displays two tweets. The top tweet, dated May 4, says "Station 1300 Is In The News!" and includes a link to a CBRE article. It features a large image of the Station 1300 building and a "TO READ THE ARTICLE" callout. The bottom tweet, dated Mar 13, is a "Construction Update!" and includes an aerial view of the construction site and a "STATION 1300 - MENLO PARK, CA" graphic. A sidebar on the right titled "New to Twitter?" offers a "Sign up" button and lists "Worldwide trends" such as Liverpool, Barca, and #YNTA. The bottom of the page shows social media sharing icons for Twitter, Instagram, and Facebook.

Station 1300
@station1300mp
properties.cbre.us/station1300
Joined January 2018
10 Photos and videos

Tweets | **Tweets & replies** | **Media**

Station 1300 @station1300mp · May 4
Station 1300 Is In The News!
bizjournals.com/sanfrancisco/c...
properties.cbre.us/station1300/
#station1300mp #station1300 #newdevelopment #newdevelopments #realestate #forlease #office #officespace #downtownmenlopark #commercialrealestate #commercialspace #newbuilding #leasing #cbre #menlopark

New to Twitter?
Sign up now to get your own personalized timeline!
Sign up

Worldwide trends
Liverpool
Liverpool beat Barcelona against the odds to qualify for the Champions League final
Barca
753K Tweets
Barcelona
945K Tweets
#YNTA
246K Tweets
Valverde
199K Tweets
#LIVBAR
Liverpool beat Barcelona against the odds to qualify for the Champions League final
#STEMshooting
Two suspects in custody after one dead, multiple people injured in Denver school shooting, officials say
Anfield
484K Tweets
Falwell
Michael Cohen claims he helped destroy 'racy' photos for evangelical leader Jerry Falwell Jr., Reuters reports
#ChampionsLeague


Station 1300 @station1300mp · Mar 13
Station 1300 Construction Update! @Station1300mp
properties.cbre.us/station1300/
#station1300mp #newdevelopment #realestate #forlease #office #retail #officespace #downtownoffice #downtownmenlopark #commercialrealestate #commercialspace #newbuilding #leasing #cbre #menlopark #lease

STATION 1300 - MENLO PARK, CA

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EXHIBIT B - FACEBOOK



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Station 1300
May 4 at 12:45 PM · 🌐

Station 1300 is In The News!
<https://www.bizjournals.com/.../transformative-transit-orient...>
<http://properties.cbre.us/station1300/>
#station1300mp #station1300 #newdevelopment #newdevelopments #realestate #forlease #office #retail #officespace #downtownoffice #downtownmenlopark #commercialrealestate #commercialspace #shopping #newbuilding #leasing #cbre #menlopark

Station 1300 Named in the Bay Area's
"Transformative, Transit-Oriented Projects"

by **SAN FRANCISCO BUSINESS TIMES**


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@station1300mp

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Station 1300
March 23, 2018 · 🌐

Please take a virtual tour of Station 1300!
<https://vimeo.com/160092978>

Experience Station 1300

Click to play

VIMEO.COM
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This is "STATION 1300" by Greenheart Land Company on Vimeo, the hom...

3

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EXHIBIT B - INSTAGRAM

station1300mp
Station 1300

8 posts 141 followers 1,049 following

Message

Station 1300 Menlo Park
properties.cbre.us/station1300

Station 1300 Named in the Bay Area's
"Transformative, Transit-Oriented Projects"
by SAN FRANCISCO BUSINESS TIMES

CLICK HERE TO READ THE ARTICLE

STATION 1300 MENLO PARK, CA

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10 likes

Happy Holidays

CBRE
+1 650 494 5100
tion1300@cbre.co

OFFICE LEASING CONTACTS

Station 1300 HAS GONE SOCIAL!