



## REGULAR MEETING AGENDA

**Date:** 8/26/2019  
**Time:** 7:00 p.m.  
**City Council Chambers**  
**701 Laurel St., Menlo Park, CA 94025**

**A. Call To Order**

**B. Roll Call**

**C. Reports and Announcements**

Under “Reports and Announcements,” staff and Commission members may communicate general information of interest regarding matters within the jurisdiction of the Commission. No Commission discussion or action can occur on any of the presented items.

**D. Public Comment**

Under “Public Comment,” the public may address the Commission on any subject not listed on the agenda, and items listed under Consent Calendar. Each speaker may address the Commission once under Public Comment for a limit of three minutes. Please clearly state your name and address or political jurisdiction in which you live. The Commission cannot act on items not listed on the agenda and, therefore, the Commission cannot respond to non-agenda issues brought up under Public Comment other than to provide general information.

**E. Consent Calendar**

- E1. Approval of minutes from the August 12, 2019, Planning Commission meeting. ([Attachment](#))

**F. Public Hearing**

- F1. Use Permit Revision/Harbrinder Kang/202 Gilbert Avenue:  
Request for a use permit revision for an extension to a use permit granted by the Planning Commission in 2017 and extended administratively in 2018 to construct a new two-story, single-family residence on a substandard lot with regard to lot width and area in the R-1-U (Single Family Urban Residential) zoning district. ([Staff Report #19-062-PC](#))
- F2. Use Permit Revision/Brian Nguyen/445 Oak Court:  
Request for a revision to a previously-approved use permit to demolish a single-story residence and detached garage and construct a new two-story residence including a basement, detached garage, and secondary dwelling unit on a substandard lot with regard to lot width, located in the R-1-U (Single-Family Urban Residential) zoning district. The proposed revision includes modifications to the windows and doors to change the proposed material to fiberglass from aluminum and wood-

clad. ([Staff Report #19-063-PC](#))

- F3. Use Permit/Ying-Min Li/1333 Laurel Street:  
Request for a use permit to demolish an existing single-family residence with a detached garage and construct two two-story, single-family residences and a detached one-car garage on a substandard lot with respect to lot width in the R-3 (Apartment) zoning district. The proposal includes administrative review of a tentative parcel map to subdivide the project into two condominium units. ([Staff Report #19-064-PC](#))

## **G. Study Session**

- G1. Study Session/Jason Chang/1075 O'Brien Drive:  
Request for a study session to review a proposal to demolish an existing single-story warehouse and office building at 1075 O'Brien Drive and portions of an existing R&D building at 20 Kelly Court, and construct a new seven-story mixed-use building, approximately 100,000 square feet in size, with a restaurant and outdoor seating on the ground floor, six levels of office and R&D uses, and rooftop garden in the LS-B (Life Sciences, Bonus) zoning district. A six-level parking structure with a helipad would also be constructed adjacent to the portion of the building to remain at 20 Kelly Court. A pedestrian bridge, approximately 45 feet above grade, would connect the parking structure and proposed mixed-use building. The proposal also includes a request for a new chemical storage bunker on the east side of the existing building at 20 Kelly Court. The parcels at 20 Kelly Court and 1075 O'Brien Drive would be merged. The proposal also includes a request for bonus level height and floor area ratio in exchange for community amenities. ([Staff Report #19-065-PC](#))
- G2. Study Session/Richard Mielbye/3723 Haven Avenue:  
Request for a study session review for a future application for a use permit, architectural control, and possible environmental review of a new 167-room hotel in the O-B (Office - Bonus) zoning district. ([Staff Report #19-066-PC](#))

## **H. Informational Items**

- H1. Future Planning Commission Meeting Schedule – The upcoming Planning Commission meetings are listed here, for reference. No action will be taken on the meeting schedule, although individual Commissioners may notify staff of planned absences.
- Regular Meeting: September 9, 2019
  - Regular Meeting: September 23, 2019
  - Regular Meeting: October 7, 2019

## **I. Adjournment**

At every Regular Meeting of the Commission, in addition to the Public Comment period where the public shall have the right to address the Commission on any matters of public interest not listed on the agenda, members of the public have the right to directly address the Commission on any item listed on the agenda at a time designated by the Chair, either before or during the Commission's consideration of the item.

At every Special Meeting of the Commission, members of the public have the right to directly address the Commission on any item listed on the agenda at a time designated by the Chair, either before or during consideration of the item.

For appeal hearings, appellant and applicant shall each have 10 minutes for presentations.



If you challenge any of the items listed on this agenda in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the City of Menlo Park at, or prior to, the public hearing.

Any writing that is distributed to a majority of the Commission by any person in connection with an agenda item is a public record (subject to any exemption under the Public Records Act) and is available for inspection at the City Clerk's Office, 701 Laurel St., Menlo Park, CA 94025 during regular business hours.

Persons with disabilities, who require auxiliary aids or services in attending or participating in Commission meetings, may call the City Clerk's Office at 650-330-6620.

Agendas are posted in accordance with Government Code §54954.2(a) or §54956. Members of the public can view electronic agendas and staff reports by accessing the City website at [menlopark.org/agenda](http://menlopark.org/agenda) and can receive email notification of agenda and staff report postings by subscribing to the "Notify Me" service at [menlopark.org/notifyme](http://menlopark.org/notifyme). Agendas and staff reports may also be obtained by contacting City Clerk at 650-330-6620. (Posted: 08/21/2019)



## REGULAR MEETING MINUTES – DRAFT

**Date:** 8/12/2019  
**Time:** 7:00 p.m.  
**City Council Chambers**  
**701 Laurel St., Menlo Park, CA 94025**

### A. Call To Order

Chair Andrew Barnes called the meeting to order at 7:00 p.m.

### B. Roll Call

Present: Andrew Barnes (Chair), Chris DeCardy, Michael Doran, Henry Riggs (Vice Chair)

Absent: Camille Kennedy, Michele Tate

Replying to Chair Barnes' inquiry, Interim Community Development Director Deanna Chow said that regrettably Katherine Strehl had resigned her position on the Planning Commission.

Staff: Deanna Chow, Interim Community Development Director; Fahteen Khan, Contract Assistant Planner; Ori Paz, Associate Planner

### C. Reports and Announcements

Interim Director Chow said the City Council at its August 20, 2019 meeting would have the first reading of a Cannabis Ordinance that basically formalized the moratorium on retail cannabis, would consider approval of the mixed use project at 115 El Camino Real that the Commission had recently reviewed and recommended approval, and would review for approval the proposed contract for preparation of an Environmental Impact Report for Willows Village.

Ms. Chow said Ms. Strehl had served on the Planning Commission for six years and prior to that on the Housing and Transportation Commissions as well as on numerous subcommittees of those bodies. She thanked Ms. Strehl for the valuable insight she brought to those roles.

Chair Barnes expressed appreciation to former Commissioner Strehl for her vision and service for the City.

### D. Public Comment

None

### E. Consent Calendar

Commissioner Michael Doran requested to pull the minutes from the July 22, 2019 meeting as he would like to review the video for Item I1 and the CitizenM Hotel's representative Ben McGee's

responses to questions posed by Commissioner Doran. He said specifically that was regarding where the modules would be constructed and who would inspect them.

Commissioner Henry Riggs noted some desired changes on pages 7 and 9 of the minutes.

E1. Approval of minutes from the July 22, 2019, Planning Commission meeting. ([Attachment](#))

**ACTION:** By consensus, the Commission approved the minutes from the July 22, 2019 Planning Commission meeting with the following modifications:

- Item I1, page 7, last paragraph, next to last line, insert “surface” before “parking” to read: “He said the design would have one vehicular access point and no onsite **surface** parking.”
- Item I1, page 10, under *Summary of Commission Feedback*, next to last bullet, replace “articulation” with “differentiation” to read: “Recommendation to enhance the ~~articulation~~ **differentiation** between the second and third floors of the mixed use building, particularly vis-à-vis the rooflines, to offer a more significant transition between the two floors.”
- Item I2, page 11, under *Application Presentation*, 2<sup>nd</sup> paragraph, Commissioner Doran will work with staff to expand minutes to reflect in more detail his questions and Mr. McGee’s responses specifically regarding where the modules would be constructed and who would inspect them.

E2. Approval of minutes from the July 29, 2019, Planning Commission meeting. ([Attachment](#))

Commissioner Riggs noted a misspelled word on page 9.

**ACTION:** By consensus, the Commission approved the minutes from the July 29, 2019 Planning Commission meeting with the following modification:

- Item F4, page 9, 5<sup>th</sup> paragraph, 2<sup>nd</sup> to last line, replace “east” with “ease” to read: “She said from the convenience standpoint and ~~east~~ **ease** of installation everything was right there.”

## F. Public Hearing

F1. Use Permit/Mauro & Adela Gildo-Mazzon/313 O'Connor Street:  
Request for a use permit for a project including first-, second-, and basement-level additions and interior modifications to an existing non-conforming single-family residence in the R-1-U (Single Family Urban Residential) district. The work would exceed 50 percent of the replacement value of the existing structure in a 12-month period. The proposal includes a request for excavation within the required right side yard for basement light wells. The new second story would include a secondary dwelling unit, accessed from the right side, which would be slightly larger than 640 square feet, as may be permitted with a use permit. ([Staff Report #19-057-PC](#))

Staff Comment: Contract Assistant Planner Fahteen Khan said staff had no additions to the written report.

Applicant Presentation: Ryan Morris, Morris Architecture, introduced the property owners Mauro and Adela Gildo-Mazzoni. He said the intent of the project was to expand the living space of the main residence without impacting the backyard too much and to add a secondary dwelling unit (SDU). He said the additional square footage being requested for the SDU was for the needed staircase to access the unit.

Chair Barnes opened the public hearing and closed it as there were no speakers.

Commission Comment: Commissioner Chris DeCardy said the project looked good and would fit within the neighborhood. He said he could support it.

Chair Barnes said he thought the architecture would be well suited for the neighborhood, that the excavation into the side yard was permissible due to the distance between the subject and neighboring properties, and the additional square footage requested for the SDU was fine as it was within the overall square footage allowed by the development standards for the entire site. He moved to approve as recommended in the staff report. Commissioner Doran seconded the motion.

Commissioner Riggs said the project was easy to support as it was well formed, and he had no issue with the extra area requested for the SDU.

**ACTION:** Motion and second (Barnes/Doran) to approve the item as recommended in the staff report; passes 4-0-2 with Commissioners Kennedy and Tate absent.

- F2. Use Permit/Ed and Shionda Nickerson/704 Laurel Avenue:  
Request for a use permit to demolish an existing single-family residence and construct a new two-story residence with an attached two-car garage on a substandard lot with respect to lot width. The property is located in the R-1-U (Single Family Urban Residential) zoning district. A secondary dwelling unit that is under construction at the rear of the lot would remain. ([Staff Report #19-058-PC](#))

Staff Comment: Contract Planner Khan reported that the project description letter had been updated since publication of the staff report to provide information on the neighborhood outreach conducted by the property owners. She said copies of the updated project description letter were at the dais for the Commissioners' review and at the rear table for the public.

Questions of Staff: Replying to Chair Barnes, Interim Director Chow said the City sent notification twice to nearby residents and affected property owners about projects. She said the first was sent at the time of the project application and the second was when a project was ready to come before the Planning Commission for a public hearing. She said staff encouraged applicants to conduct neighborhood outreach and oftentimes even when they come in for an initial review. She said there was no standard requiring outreach by applicants, but applicants were asked to provide documentation of outreach that they conducted.

Chair Barnes said that having the outreach information presented in a standardized way was very helpful for the Commission to review.

Applicant Presentation: Andrew Young, project architect, introduced the property owners Ed and Shionda Nickerson. He said the project site was a substandard, corner lot that was long and skinny and located in the flood plain. He said originally the property owners wanted to just do an addition and remodel of the existing home. He said they found however that was not a feasible approach as the existing home was slab on grade and well below the existing flood plain. He said a good portion of the home was masonry without any insulation. He said an attached unit on the rear of the home encroached greatly into the backyard and the side yard was the only outdoor usable space they currently had. He said the project began with the creation of the new SDU in the rear of

the lot, which was nearly complete. He said the new home would be located closer to Laurel Street and create a nice yard between the two units. He said the floor of the house had to be raised about three-feet higher from where it was now. He said the side setback on the O'Keefe Street was much greater because it was a corner lot than it would have been as an internal lot. He said the eaves and the mass of the roof were tucked in and met the requirement for daylight plane on both sides.

Replying to Chair Barnes, Mr. Young said they could not put the new SDU where it was without demolishing a portion of the existing house to meet the required distances between the structures. He said the applicants would be able to live in the SDU while the new home was constructed. He said they met with the neighbors at 708 Laurel Street who would be most impacted by construction and addressed their concerns.

Commissioner DeCardy referenced the 708 Laurel Street neighbors and asked what view the second story of the proposed home would have of that property, how windows aligned, and what the planting plan for screening was. Mr. Young said that side of the neighbor's house was their bedroom wing, which was one-story. He said moving the new home closer to Laurel Street helped so the home did not view the neighbor's rear yard. He said the view from the second story windows would be the roof of the neighbor's one-story residence. He said the neighbor had quite a few existing fruit trees on her side that she wanted to keep. He said they discussed with her the option of having additional plantings planted on the subject property, but the neighbor was hesitant about that as she did not want her fruit trees shaded. He said the landscape plan proposed a hedge around the patio to be kept to eight to ten feet in height so as not to overshadow the neighbor's property.

Chair Barnes opened the public hearing and closed it as there were no speakers.

Commission Comment: Chair Barnes said he was appreciative of the proposed materials and thought overall it was a very nice design. He noted the standing seam metal roof, exterior stucco finish, aluminum clad windows, and bay windows as aesthetic choices worked well for this project. He said he supported the project.

Commissioner Riggs said the proposal was a handsome project and he expressed appreciation for the standing seam metal roof. He noted projects that come back for use permit revisions that were disappointing when an attractive feature that was significant to the Commission's approval were removed. He said the SDU was not entirely matching the new proposed home. He said that was understandable as to get approval for it the SDU would need to match the existing house. He said it was done in such a way however so as to be effective with the new home. He said he was okay with the low sills of the bay windows as their locations had been selected carefully. He moved to approve as recommended in the staff report. Commissioner DeCardy seconded the motion.

**ACTION:** Motion and second (Riggs/DeCardy) to approve the item as recommended in the staff report; passes 4-0-2 with Commissioners Kennedy and Tate absent.

1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.

2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.
3. Approve the use permit subject to the following **standard** conditions:
  - a. Development of the project shall be substantially in conformance with the plans prepared by Young and Borlik Architects, Incorporated, consisting of 19 plan sheets, dated received August 5, 2019 and approved by the Planning Commission on August 12, 2019, subject to review and approval by the Planning Division.
  - b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.
  - c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
  - d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.
  - e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.
  - f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.
  - g. Heritage and street trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance.
4. Approve the use permit subject to the following **project specific** condition:
  - a. Prior to building permit issuance, the City Arborist shall approve the species of the proposed three street trees on O'Keefe Street. The trees shall be planted prior to building permit final.

F3. Use Permit/Michelle Miner/611 Woodland Avenue:

Request for a use permit to construct a new two-story residence on a substandard lot with regard to minimum lot width and area in the R-1-U (Single Family Urban Residential) zoning district. The lot is currently vacant with the exception of a tennis court. Two multi-trunk heritage size trees in fair condition, one English walnut and one orange, are proposed for removal. ([Staff Report #19-059-PC](#))

Staff Comment: Associate Planner Ori Paz said an updated neighbor outreach report for 611 and 615 Woodland Avenue were at the dais for the Commissioners' review and at the rear table for the public.

Applicant Presentation: Michelle Miner, project designer, introduced the property owner Paul Goswamy. She said the home for this project would be tucked within canopy space provided by three very large heritage trees. She said her design intent was to give the proposed home a storybook feel nestled among the trees. She said the windows on the right side second story with lower sills were replaced with two-foot tall windows. She said since they were designing this house and the one on 615 Woodland Avenue that they were able to strategize window placement for privacy.

Commissioner Riggs asked about the siding. Ms. Miner showed a visual presentation of the siding noting the horizontal Hardy plank siding looked like standard wood lap siding. She said it was less expensive and more durable than wood and was flame resistant. She said it would have a five-inch reveal with board and bat up in the gables. She confirmed it was Hardy lap siding and provided a visual of it.

Commissioner Riggs referred to the front elevation and noted applied stone on the second floor and asked how attached she was to it. Ms. Miner said the tree in the front would screen it and she would be okay removing it from the second floor but not the first floor.

Commissioner Riggs confirmed with Ms. Miner that the first floor with a vestibule and covered patio on the west side was the main entry and the covered porch on the side next to the uncovered parking space was for the resident to use for convenience.

Chair Barnes opened the public hearing and closed it as there were no speakers.

Commission Comment: Replying to Chair Barnes, Ms. Miner said the exterior color for the siding would be a warm gray, which had a tan undertone. She said the board and bat in the gable ends was a design detail.

Commissioner Riggs noted the tall stair window that faced the adjacent home and asked what the view would be. Ms. Miner said the stair window would look into an obscure bathroom window and two, two-foot windows in the house at 615 Woodland Avenue and would not cause privacy impacts. She said the privacy screening proposed was not at that exact location, but she could shift it down further. Commissioner Riggs suggested screening to the right and left of the obscure windows on the adjacent residence and to work with staff on that.

Commissioner Riggs said the roof forms and siding material were compatible with the Willows neighborhood. He recommended not putting the stone on the second story. Ms. Miner said that was fine.



Commissioner Riggs moved to approve as recommended with a condition to remove the stone from the dormer on the second floor and to work with staff to ensure privacy from the stairwell window for the neighbor at 615 Woodland Avenue. Chair Barnes seconded the motion and requested amending the motion. He noted simulated true divided lights and typical Commission discussions about that. He said the vinyl windows proposed seemed to have the muttons within the glass. Ms. Miner said the grids were outside and inside the windows and gave the look of true divided lights. Chair Barnes said typically the Commission asked for clad or fiberglass windows instead of vinyl windows. He asked if she had a sample to show. Ms. Miner said, after conferring with Mr. Goswamy, that he would like to do wood clad windows. Chair Barnes confirmed that was aluminum on the exterior and wood on the interior. He said his second would include a change for the windows from vinyl to aluminum clad. Commissioner Riggs accepted Chair Barnes' amendment.

**ACTION:** Motion and second (Riggs/Barnes) to approve the item with the following modifications; passes 4-0-2 with Commissioners Kennedy and Tate absent.

1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.
2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.
3. Approve the use permit subject to the following **standard** conditions:
  - a. Development of the project shall be substantially in conformance with the plans prepared by Michelle Miner Design, consisting of 13 plan sheets, dated received July 31, 2019 and approved by the Planning Commission on August 12, 2019, subject to review and approval by the Planning Division.
  - b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.
  - c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
  - d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.

- e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.
- f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.
- g. Heritage and street trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the arborist report by Mayne Tree Expert Company, Inc. dated November 9, 2018.

4. Approve the use permit subject to the following **project-specific** conditions:

- a. Prior to occupancy being granted, the applicant shall submit documentation that the proposed heritage replacement trees have been planted on the neighboring site, 615 Woodland Avenue, subject to review and approval by the City Arborist and the Planning Division.
- b. Simultaneous with the submittal of a complete building permit application the applicant shall submit revised elevation drawings that remove the stone veneer from the façade at the second floor, subject to review and approval of the Planning Division.
- c. Simultaneous with the submittal of a complete building permit application the applicant shall provide an updated site plan and/or elevation drawings that would modify the placement of the landscape screening to increase privacy for the neighboring lot at 615 Woodland Avenue from the stairwell window on the right side, subject to review and approval by Planning Division staff.
- d. Simultaneous with the submittal of a complete building permit application the applicant shall provide plans that note the windows to be aluminum wood clad windows with simulated true divided light grids, subject to review and approval by the Planning Division.

- F4. Use Permit/Michelle Miner/615 Woodland Avenue: Request for a use permit to demolish an existing one-story residence and construct a new two-story residence on a substandard lot with regard to minimum lot width in the R-1-U (Single Family Urban Residential) zoning district. ([Staff Report #19-060-PC](#))

Staff Comment: Planner Paz said an updated report on neighborhood outreach by the property owners was on the dais for the Commissioners' review and at the rear table for the public.

Applicant Presentation: Michelle Miner, project designer, said this proposed house was similar to the style of the one at 611 Woodland Avenue but simpler in terms of the finishes. She said it was the same siding and board and bat as the house next door. She said the finish color would be a bit different to set the two homes apart. She said they worked hard to protect privacy. She said on the side they had an obscure window and two-foot bedroom windows.

Chair Barnes referenced page 3 of 19 from the plan set that the streetscape showed an elevation for 611 Woodland Avenue that was not correct. Ms. Miner said the windows changed and she had not caught that. Chair Barnes said that was a clarifying note for the plan sets for 611 Woodland

Avenue and 615 Woodland Avenue. Ms. Miner said she would update that. Chair Barnes asked about the color scheme. Ms. Miner said this one would have a warmer shade that would go more into the tan color than the other home at 611 Woodland Avenue.

Commissioner Riggs said the one-car garage for 611 Woodland Avenue had a two-car garage door. Ms. Miner said that they would have a custom door for that garage that was squeezed. Commissioner Riggs asked if there was an oak tree at the right corner of the garage for 615 Woodland Avenue. Ms. Miner said it was on the neighbor's lot. Commissioner Riggs confirmed the large redwood tree was in the backyard of 611 Woodland Avenue.

Commissioner DeCardy asked about the replacement trees for 611 Woodland Avenue and where they would be planted. Ms. Miner said the replacement trees for 611 Woodland Avenue would be planted on the 615 Woodland Avenue lot. She said three 15-gallon ginkgo trees would be planted in the backyard and a 15-gallon Maple October glory in the middle of the front. Planner Paz said the replacement trees exceeded the one-to-one heritage tree replacement requirement. He said the City Arborist had reviewed and approved the ginkgo biloba trees as the two heritage replacement trees and the other two trees were landscaping the applicant was proposing. Commissioner DeCardy said he would like the two-to-one replacement to be required.

Chair Barnes opened the public hearing and closed it as there were no speakers.

Commission Comment: Chair Barnes said he would like to see the same clad windows for this project as for the other project and to require the two-to-one heritage tree replacement as suggested by Commissioner DeCardy. Planner Paz said that approval of the project would include the site plan.

Commissioner Riggs referred to the front bedroom on the second story and noted that it had only two windows in the front. He asked if they had considered windows on the side. Ms. Miner said they had looked at two windows on that side but that made the interior awkward. He suggested one window. Ms. Miner said that would be great. Commissioner Riggs referred to the center window in the den and noted it had moved fairly close to the bedroom door. Ms. Miner said that had been missed. Commissioner Riggs said staff had commented that simpler roof forms would be desirable. He wanted to acknowledge that but did not want to have the project continued for redesign. He suggested the Maple tree might be moved closer to the front of the parcel. Ms. Miner said that an abandonment was occurring, so the right-of-way was not definite yet. She requested flexibility regarding the placement of the tree.

Commissioner Riggs moved to approve with added conditions to allow the applicant to add a window for ventilation in the second floor bedroom on the north wall for review and approval by staff and for the applicant to have flexibility to move the Maple tree forward on the yard once abandonment was resolved. Chair Barnes said he would second the motion if it included changing the windows from vinyl to aluminum clad windows. Commissioner Riggs as the motion maker accepted that modification.

Commissioner DeCardy asked for confirmation that the four 15-gallon trees would be planted as part of the project if the project was approved with the three additional conditions. Planner Paz said that was correct.

**ACTION:** Motion and second (Riggs/Barnes) to approve the item with the following modifications;

passes 4-0-2 with Commissioners Kennedy and Tate absent.

1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, “New Construction or Conversion of Small Structures”) of the current California Environmental Quality Act (CEQA) Guidelines.
2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.
3. Approve the use permit subject to the following **standard** conditions:
  - a. Development of the project shall be substantially in conformance with the plans prepared by Michelle Miner Design, consisting of 13 plan sheets, dated received July 31, 2019 and approved by the Planning Commission on August 12, 2019, subject to review and approval by the Planning Division.
  - b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies’ regulations that are directly applicable to the project.
  - c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
  - d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.
  - e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.
  - f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.
  - g. Heritage and street trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the arborist report by Mayne Tree Expert Company, Inc. dated November 8, 2018.
4. Approve the use permit subject to the following **project-specific** condition:

- a. Prior to occupancy being granted, the applicant shall submit documentation that the proposed heritage tree replacement trees have been planted on the subject site, subject to review and approval by the City Arborist and the Planning Division.
- b. Simultaneous with the submittal of a complete building permit application the applicant shall provide plans that note the windows to be aluminum wood clad windows with simulated true divided light grids, subject to review and approval by the Planning Division.
- c. Prior to issuance of the building permit, the applicant shall have the flexibility to add a window to the right side of the front bedroom on the second story. Updated plans reflecting the additional window shall be provided to Planning Division staff for review and approval.
- d. Prior to the final inspection of the proposed work the applicant shall have the flexibility to relocate the proposed 15-gallon Maple at the front of the lot to be nearer to the front property line, subject to review and approval by the Planning Division.

## **G. Regular Business**

- G1. Heritage Tree Ordinance Update/City of Menlo Park:  
Review the background of the Heritage Tree Ordinance Update, consider proposed modifications to the Ordinance, and provide recommendations to the City Council. ([Staff Report #19-061-PC](#))

Staff Comment: Sustainability Manager Rebecca Lucky presented the staff report and provided background on the existing Heritage Tree Ordinance (Ordinance). She said an update was desired due to concerns raised for years regarding development related appeals, unpermitted removals and inadequate code enforcement of unpermitted removals. She said the Environmental Quality Commission (EQC) provided recommendations to the City Council in 2012 regarding issues with the Ordinance including that it was time to revisit the Ordinance to improve it. She said the Task Force was appointed by the City Council in August 2018 and held multiple community meetings between then and June 2019. She said the Task Force presented 16 recommendations for the Ordinance to the City Council in July. She said at the start of the project the City Council had identified objectives for updating the Ordinance with a desired outcome to ensure a significant and thriving population of large, healthy trees in Menlo Park for public enjoyment and environmental sustainability while respecting property values and rights and implementation of efficiencies related to staff's time to enforce the ordinance. She said Council also directed that any options that would be explored were evidence based best practices in other communities. She said this required a full policy analysis of almost all areas of the Ordinance. She described what the Task Force did in Phase 1 and Phase 2 of the project.

Ms. Lucky said in interviewing past applicants and appellants they found that those people did not necessarily disagree with the process rather that they found the decision-making criteria was unclear. She said the Task Force selected three weighted criteria for the update. She said one was clarity of the ordinance so that people understood what the process for the decision making was and was weighted at 20%. She said the next criteria was to increase or maintain tree canopy of the forest in Menlo Park and that was weighted at 60%. She said the last criteria was to improve the effectiveness of the Ordinance and that was weighted at 20%. She said 26 options were explored and sixteen of those emerged as a preferred option.

Ms. Lucky said the Task Force provided language around the intent and purpose of updating the Ordinance. She said they next looked at the definition of a heritage tree. She said that remained mainly unchanged except as to how multi-trunk trees were evaluated and the new language

proposed a clear way of measuring those trees that was easy to understand. She said the decision-making process of the Ordinance was overhauled the most. She said they looked at the existing eight decision making criteria, took the good parts of what was there and enhanced to include industry standards and what to expect when submitting a permit request for removal. She said for example if an application to remove a heritage tree was development related that the City could now require submitting alternative designs that would preserve the tree. She said other bigger changes were in the appeal area to clean up process to make it easier to understand. She said there were specific standards for filing an appeal with a given timeline and communications between City staff and an appellant. She said often applicants and appellants now did not speak to one another about the issue until the appeal hearing before the EQC. She said the City wanted to offer conflict resolution as a way to resolve issues among neighbors and the community regarding a tree that was being removed. She said another area addressed was when an appeal was filed after a Planning Commission decision as that was the most contentious as it usually involved removing a healthy tree for development. She said the change was now if a tree was tentatively approved by the City Arborist for removal for a project that required Planning Commission approval that the appeal process would occur before the Planning Commission made a decision. She said if the appeal body the EQC decided the tree should remain and not be removed that decision would then be immediately appealable to the City Council. She said if the EQC found the tree should be removed then the project would go to the Planning Commission for decision and both decisions would be appealable to the City Council.

Ms. Lucky said other changes were made related to requirements for mitigation and replacement. She said if a tree that was healthy and not high risk was approved for removal and it was development related the value of the tree being removed would be replace onsite using an industry standard plant appraisal guide. She said if there was not enough space to plant the full value of the tree being replaced that the balance of the unreplaced value would be paid into a tree fund the City could use to plant more trees or implement the Ordinance. She said for nondevelopment removals there would be replacement requirement onsite and if not enough room the value would go to the City's tree fund. She said there was a recommendation to expand the use of that fund. She said currently violations paid go into the General Fund. She said the Task Force would like that money to go back into implementing the Ordinance.

Ms. Lucky said there was much concern raised about enforcement of unpermitted heritage tree removals. She said one of the recommendations was to increase the fine from \$5,000 to \$10,000. She said the Task Force was still concerned that was not enough to deter people from removing trees, so they wanted to assess punitive or administrative penalties in addition to the \$10,000 fine. She said depending on how egregious the violation was and that it was clearly a violation the City Council could set additional penalties to address. She said there was also a recommendation to remove the building moratorium penalty. She said that said if a tree was removed without permit that building could not occur on the property for six months to a year. She said the City had never used that provision and the City Attorney was recommending removing that and not co-mingle those two different activities.

Ms. Lucky said that the notification process for heritage tree removal was changed so when a permit was applied for there would be notification similar to how Planning permit notifications were done except to a greater area than 300-foot radius. She said also the recommendation was to have open access to all heritage tree removal permits and appeals.

Ms. Lucky said the consultant in doing the policy analysis found the City did not have enough



budgeted to even enforce the current status quo Ordinance. She said the updated policy would require inspection of replacement trees at the initial planting and to inspect again in two years to verify the tree was still there and thriving. She said this was in response to concern that replacement trees were removed or not taken care of well and never grew to heritage tree size. She said the cost of \$185,000 to \$200,000 annually was to pay for inspection work that had never been done previously. She said that could be recovered by increasing the permit fees and also looking at how the mitigation fund was used as well as reviewing if there was general fund money that could supplement. She said when staff presented this information to the City Council last month it requested staff to look at ways to reduce the cost by at least half when the updated Ordinance was brought back to Council. She said staff was researching things that could be done to reduce the cost.

Ms. Lucky said next steps were to have a draft ordinance for public review by September 12. She said Council directed staff to bring that to the Planning Commission and EQC. She said the Task Force would meet two more times in September and October providing the opportunity for more public input. She said it was anticipated they would return to City Council in October for an updated Ordinance adoption. She said the effective date of the updated Ordinance likely would not occur until July 1, 2020 to allow time to put processes and logistics in place.

Ms. Lucky said this evening the Commission had the option to approve of the proposed recommendations and advise City Council on them. She said the Commission could also provide additional feedback for consideration as the final changes were made moving forward to October.

Chair Barnes opened public comment.

Public Comment:

- Peter Edmonds, Menlo Park, District 3, said he had submitted a written critique of the staff report. He said he wanted to emphasize certain points and made a slide presentation. He said the proposal recommended that the building moratorium for an unpermitted heritage tree removal be removed. He said he thought it was a strong deterrent to keep in the Ordinance. He said regarding the valuation of trees that the e proposed recommended Ordinance was desirable.

Chair Barnes closed public comment.

Commission Comment: Commissioner DeCardy noted for the record that Chair Barnes had also served on the EQC and had direct experience with these hearings as well. He said he applauded the effort to get clarity between when a heritage tree issue would come before the Planning Commission and the EQC. He said the recommendation seemed a plan that would address that well to get the sequencing right. He said he wholeheartedly supported the EQC as the main body for the appeal process. He referred to the section on appeal filing standards and the section on mitigation and tree replacement requirement. He said a familiar moment at the EQC was the desire to remove a mature and healthy tree relatively soon after a property sold and there was a new owner who wanted to use the property for other purposes. He asked if the Task Force looked explicitly at disclosure requirements around heritage trees at the time of deed transfer to make it much more explicit than it was now. Ms. Lucky said that was discussed a few times throughout the meetings. She said there were a lot of areas where implementation could be improved but that was not necessarily policy language that went into the Ordinance itself. She said the Task Force



discussed education and people at the point of sale might be better engaged to understand what the requirements were. Commissioner DeCardy said he supported that going forward and supported a disclosure document that new owners actually had to sign acknowledging the heritage trees and their conditions at that point of sale.

Commissioner DeCardy said the frequent reason for the removal of a tree was the differing opinions about the risk of failure of the tree. He said in the section of mitigation and tree replacement requirements it was noted the City would identify an approved list of tree appraisers to reduce appraisal conflicts between the City Arborist and the applicant's arborist. He said that was a good idea. He asked if the Task Force for the appeal filing standards had considered similarly the same for a qualified tree risk assessor. He said without similar language there his concern was to continue to have much different assessments by different certified arborists. Ms. Lucky said their intent was to expand it to a list of approved arborists that could perform work in the City. She said there was a lot of interaction now where assessments were not matching up or skill levels were different among arborists. She said having the approved list was to reduce conflicts or misunderstanding among staff, permit applicant and arborist. She said that would go into the implementation items and not necessarily in the Ordinance. She said the City would make a staff ruling that only a certain list of arborists could be used that could perform arborists' report and she confirmed for Commissioner DeCardy that would include the upfront tree assessments he referenced.

Commissioner DeCardy noted the community benefit from heritage trees but the disparity related to the costs of maintaining heritage trees on a property versus not having any to maintain. He said a mature oak tree in the City was actually irreplaceable in their lifetimes and had an infinite value on one level to the overall benefit of the City. He said he appreciated having the punitive costs in addition to the \$10,000 fine for illegally removing a heritage tree, but he thought it would still be difficult to work through. He said he would like to see more money going into the tree fund and an increase in the replacement ratio requirement. He said there were opportunities for tree plantings just along the streets if the City had the capacity to plant those. He said a way to reduce the costs of implementation was to have a heritage tree cost assessed to every parcel in the City and make it a property owner's responsibility to certify that their property had a heritage tree they maintained to have that cost removed. He said it would be more equitable than how it was structured now. He asked if they had seen this used as a best practice in cities they had interviewed. Ms. Lucky said they did not find it as a practice in other communities. She said they found other communities struggled and were challenged with verifying replacement trees. She said they could explore and bring forward Commissioner DeCardy's idea.

Commissioner DeCardy said he had concerns not only with the costs of enforcement but also with the value of enforcement given the ease with which that could be worked around. He said overall, he was supportive of the proposed update and an improvement especially about the process between the Planning Commission and EQC.

Commissioner Doran said the staff report listed two reasons to support removing the building moratorium as a punitive measure. He said the first was that it was not used in practice and the second that the City Attorney advised against the practice due to the legal challenges. He asked under the current Ordinance what was the method to implement that building moratorium in instances where a person had blatantly violated the Ordinance. Ms. Lucky said she had no direct experience with moratoriums. She said when the City Attorney reviewed this section that there were two different activities involved. She said one was removal of a tree that might or might not be

connected to the development so there was not a clear nexus that would be difficult to defend in court. Commissioner Doran said he thought a building moratorium was a valuable tool even if it had never been used. He said the value of property in development was enormous. He said they were making progress on what the economic sanctions, the fines, would be. He said the ultimate sanction was not allowing people to develop the property and he would like that retained.

Commissioner Riggs said he agreed with Commissioner Doran. He said if there was enough certainty to impose a \$10,000 or \$20,000 fine that a level of certainty could be reached to delay a project. He said ultimately it would be how well enforcement was implemented. He said regarding enforcement he would like to see a method where the City would not have to wait for a neighbor to report a tree removal violation as that was uncomfortable for people. He said there was technology to report a gunshot within 50 feet and suggested something that would identify chain saws operating on Saturday (he had noted previously that Code Enforcement hours were Monday through Friday, 8 a.m. to 5 p.m.). He said as mentioned a mature oak was irreplaceable. He described a project wherein unintentionally a backhoe operator dug a trench across the front of two sixty-year-old oak trees on a hillside impacting roots that then had to be removed. He said mature oak trees about 40 years of age were purchased near Watsonville, transported and lowered into the ground by cranes to replace those trees. He said the total cost for that was around \$100,000. He said the City should consider that.

Commissioner Riggs said he was very pleased that the Ordinance update was happening. He said on page 5 were enumerated decision making criteria for tree removal. He suggested either to include an item 7 or allow an administrative process that acknowledged a similar condition. He said depending on the heritage tree species some were approved for removal more readily than others. He said it might be useful to have a combination factor where if the tree was considered low value that that by itself would not justify tree removal. Ms. Lucky confirmed that if it was a low value tree that other criteria was required for removal and not just based on the low value. Commissioner Riggs said justification for removal because of utilities was not enough justification alone to warrant removal either. He referred to page 7 under violations that read: "The Task Force strongly advises (advises) that the City Council set these penalties high enough to deter violations that they have witnessed regularly or to avoid the permitting process that would create developing their property challenging." He said that sentence's meaning was unclear and suggested it be reworded for clarity. He referred to page 8 and the need for additional funding to support the processes of the Ordinance but he was concerned with doing that through increasing permit application costs.

Chair Barnes asked where street trees were within the context of the Ordinance. Ms. Lucky said if the street tree was heritage it fell under the Ordinance. Chair Barnes said he lived in the Willows and the problem he saw there were street trees aging out and not being replaced. He said improvement to the urban tree canopy would be a program to ensure replacement when street trees aged out. He thought that loss of street trees was a much greater issue than trees impacted by development. He asked if that was discussed and if so, what was discussed. Ms. Lucky said the EQC for a long time worried that trees were the same age in the community and that trees needed to be planted at different ages to maintain the canopy. She said in an ideal world they would have done the Urban Forest Master Plan first and then completed the Heritage Tree Ordinance Update. She said so many problems had emerged with the Ordinance that it became the priority to update before the Urban Forest Master Plan. She said the latter would look at street trees and trees on private property and develop strategies and ways to increase canopy to address issues of aging and how to strategically replant those. Chair Barnes said attention had to be put to replacing street trees as that was not happening now. He said other neighborhoods the same vintage as his must

be experiencing the loss of street trees too. He reasserted that trees lost to development paled in comparison to what was being lost with street trees aging out and not being replaced. He asked if there was data related to that. Ms. Lucky said there was, and she could have the City Arborist provide that information. Chair Barnes noted the update was wonderful. He asked if there was a path to address his concern in the update and what that might look like. Ms. Lucky said street trees were required to comply with the Ordinance so they would be required to have the same replacement ratio if removed. She said she would need to talk with the City Arborist as to why replacement street trees had not been planted. She said there were a lot of vacant spots as mentioned by Commissioner DeCardy. She said they would need to investigate.

Chair Barnes said he liked Commissioner DeCardy's idea about assessing each parcel for heritage tree maintenance and a mechanism for property owners to be exempt by certifying heritage trees on their properties. He said if \$185,000 to \$200,000 annually was needed to implement the Ordinance that should be supported. He noted decision making criteria for tree removal and the third paragraph that said a tree removal permit could be granted if the decision maker was able to make one of the following findings. He asked who approved tree removal permits. Ms. Lucky said the City Arborist. Chair Barnes said 2a called out providing schematic diagrams that demonstrated the feasibility / livability of all alternative designs including utilizing zoning ordinance variances. He questioned the City Arborist making decisions about feasibility and livability of project plans. Ms. Lucky said that was in consultation with planners. She said the current practice was a consulting arborist firm reviewed many of the development-related heritage tree removal permits and they communicated with planners to assess whether the development alternative was livable and feasible. She said that there would be administrative rules and requirements that would be a companion to the ordinance around feasibility, documentation, and making those decision. Chair Barnes said he had some concern with what that meant in terms of workload, skill sets and judgment calls associated with that. He said it referred to utilizing zoning ordinance variances to preserve a tree. Interim Director Chow said if a heritage tree removal permit was denied and the tree had to remain then an option could be to seek a variance from the Planning Commission with the hardship being the physical hardship with the location of the tree.

Chair Barnes noted the update indicated the appeal body was the EQC, but the City Council could appoint another body. He said that filling vacancies on existing commissions was tough and he did not think the City Council needed that additional power to create another body. He requested that be removed. He referred to violations and instances in which property owners deliberately harmed heritage trees for one motivation or another so there was no choice except to remove the tree. He asked if that was discussed. Ms. Lucky said after last month's meeting with the City Council they discussed the responsibility of property owners to maintain trees and what were the penalties if they did not do so or they did something intentionally that led to needing to remove a tree. She said the current ordinance had a section on maintenance and preservation of heritage trees on a property. She said the connection needed to be clearer between how the property owner was responsible for maintaining the tree and not killing it and how that was linked to violations if the property owner did do that. She said the City Attorney was working on language for that. Chair Barnes referred to mitigations and tree replacement requirements. He said under the second paragraph it said that appraised tree value would be required for all tree removals and protected trees for a development project. Ms. Lucky said this was for heritage trees and it was to have the value information upfront. Chair Barnes noted the establishment of a tree fund and the need for street tree plantings. He said to overlook that was a disservice to the community as people did not know about street trees and how to replace those.

Commissioner DeCardy said if they were moving to recommendations that he would concur with leaving in the building moratorium penalty. He noted Commissioner Riggs' comments on replacing mature oak trees. He said that on the EQC the Arborist recommended the 15-gallon box replacement trees as those had better likelihood of thriving than 24-inch box trees. He said regarding the street tree replacement that was a combination of not having the budget to do that and agreement with the property owner to water and take care of the tree. He said he wanted to pursue the idea when development removed a heritage tree of requiring a mature tree replacement elsewhere on the property. He said it was frustrating that heritage trees were replaced with 15-gallon trees and he wished there was some way to get more money into a fund to get a greater ratio of replacement trees in the City or to get larger trees planted in replacement. He said he agreed with Chair Barnes' observations about the loss of street trees. He said with development there were significant financial advantages to ensure tree canopies were taken care of.

Commissioner Riggs said a 15-gallon tree would catch up to a 24-inch box tree in three to four years but would take decades to catch up with the mature tree that had been removed. He suggested they request mature trees for replacement.

Chair Barnes asked who was responsible for maintenance of street trees when they were replanted. Ms. Lucky said she would need to confirm with the City Arborist. Interim Director Chow said it would be best to clarify with the City Arborist, but she understood that property owners were responsible for maintaining street trees. Chair Barnes asked if the City could compel a homeowner to take responsibility for a replacement tree. Ms. Lucky said that was accurate. Chair Barnes asked how street trees were funded. Ms. Lucky said those were funded from the fees collected under the Landscape Assessment District. She said the last time she looked the fund had \$300,000 and \$700,000 was needed to cover street trees. Interim Director Chow said during development projects they worked with the City Arborist and the consulting arborist to look at trees that might be removed as part of the project either as a result of development or because of bad health and looked at opportunities to replace street trees. Chair Barnes confirmed that staff could request what a fully funded street replacement program would look like and what net new trees would look like over the course of a year. He said he would like that information and to even take it up separately, but he did not know how to get that into the ordinance update. Ms. Lucky said they could bring that comment back to the Task Force to discuss noting they would meet September 12 and in October.

Replying to Commission DeCardy, Ms. Lucky said she would need to ask the City Attorney how the fee for the Landscape Assessment District might be increased. Commissioner DeCardy said that would work with his idea of an assessment. He suggested increasing the fee for the District per parcel and then property owners maintaining heritage trees on their properties could get certification to have their parcel fee reduced. He said that fee now disadvantaged property owners who had the costs of maintaining their heritage trees.

Chair Barnes said that funding education to make information on planting street streets accessible was important.

Commissioner Doran restated that he wanted the building moratorium kept in the Ordinance.

Chair Barnes confirmed with staff and Commissioners that they were comfortable with the recommendations the Commission was making. Ms. Lucky said she had outlined all the Commissioner comments. She said it would be helpful for her if the Commission could take action

to approve the updated Ordinance with the recommendations it had made tonight to include keeping the building moratorium, street trees, planting larger replacement trees, education, and fee assessment.

Commissioner DeCardy moved to recommend through to the City Council and the Task Force to continue to finalize the Ordinance Update based on the overall recommendations except under violations to maintain the building moratorium and request exploration of the general discussion items brought forward by the Planning Commission. Chair Barnes suggested the building moratorium might not be legally possible. Commissioner Doran said he wanted the building moratorium kept now and later unless there was more justification for its removal. Chair Barnes said he could not support that. Commissioner Riggs said they were being asked for their opinions and not their legal advice as they were not attorneys. He said it was not unreasonable to offer an opinion knowing that it would be overruled by the City Attorney if legality was the basis for its removal. He said the building moratorium however served a purpose by just being in the Ordinance and he supported that. Chair Barnes said the motion was that the Commission approved the Ordinance Update and for the Task Force to further the recommendations except the Commission had a preference to keep the building moratorium and in addition look at street tree replacement, planting larger replacement trees, education and budget strategies discussed. He said the Council had directed to reduce the anticipated implementation budget by about half and suggested the Commission recommend not reducing the cost. Commissioner DeCardy said he could support that. He said the sentiment was to actually have a program that would allow them to have the canopy they wanted to have in Menlo Park. He said the cost of implementation would be enough to deliver that program and be ideally and equitably distributed across residents of Menlo Park. Chair Barnes said the recommendation was to fully fund the development of an urban canopy throughout Menlo Park as a spending and revenue collection priority for the City. Commissioner Riggs said that replacement of larger sizes meant replacement of a mature tree by a mature tree. Chair Barnes seconded Commissioner DeCardy's motion.

**ACTION:** Motion and second (DeCardy/Barnes) that the Planning Commission supported the Heritage Tree Ordinance Update recommendations except preferred retaining building moratorium under the section on violations and with additional recommendations of items to consider as listed; passes 4-0-2 with Commissioners Kennedy and Tate absent.

- Retain building moratorium
- Street tree replacement
- Replacing mature trees with mature trees
- Education
- Funding implementation and budget strategies such as the Landscape Assessment District fee utilization and potential modification as discussed.

## H. Informational Items

### H1. Future Planning Commission Meeting Schedule

- Regular Meeting: August 26, 2019
- Regular Meeting: September 9, 2019
- Regular Meeting: September 23, 2019

**I. Adjournment**

Chair Barnes adjourned the meeting at 10:28 p.m.





## STAFF REPORT

### Planning Commission

**Meeting Date:** 8/26/2019

**Staff Report Number:** 19-062-PC

**Public Hearing:** Use Permit Revision/Harbrinder Kang/202 Gilbert Avenue

### Recommendation

Staff recommends that the Planning Commission approve a use permit revision for an extension to a use permit granted by the Planning Commission in 2017, and extended administratively in 2018, to construct a new two-story, single-family residence on a substandard lot with regard to lot width and area in the R-1-U (Single Family Urban Residential) zoning district. The recommended actions are included as Attachment A.

### Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal.

### Background

#### *Site location*

The subject site is located at the northwest corner of Gilbert Avenue and Central Avenue in the Willows neighborhood. The immediate neighborhood contains a mixture of single-story and two-story single and multi-family residences, as well as commercial uses, as surrounding parcels have R-1-U (Single-Family Urban Residential), R-2 (Low Density Apartment), and C-2 (Neighborhood Shopping) zoning designations. A location map is included as Attachment B

#### *Project History*

On July 17, 2017, the Planning Commission approved a use permit to demolish an existing two-story multi-family residence and construct a new two-story single-family residence on a substandard lot in the R-1-U zoning district. The project was well received by the Planning Commission and there was no public comment given at the public hearing. The project was unanimously approved as recommended by staff. Links to the staff report and minutes from the July 17, 2017 Planning Commission meeting are included as Attachments C and D, respectively.

As prescribed in the Zoning Ordinance, a use permit expires if not implemented within one year of the approval date. For new construction, the use permit is considered to be implemented with submittal of a complete building permit application. The Community Development Director has the authority to extend the effective date of the use permit upon the written request of the applicant for up to one year if the



Community Development Director finds that there is good cause for the extension based upon unusual circumstances and/or conditions not of the making of the applicant or its agents or employees. On July 17, 2018, the applicant was granted a one year extension of the use permit with a new expiration date of July 17, 2019. A copy of the letter approving the extension is included as Attachment E.

## **Analysis**

### ***Project description***

The applicant is proposing to extend the expiration date of the use permit one year from the previous, administratively extended expiration date, from July 17, 2019 to July 17, 2020. Project specific condition of approval 4a identifying the specific expiration date of July 17, 2020 has been incorporated into Staff's recommended actions (Attachment A). Since the Community Development Director already approved an administrative extension to the use permit, subsequent time extensions may only be granted by the Planning Commission. The applicant states that additional time is necessary to complete the building permit application package due to an unforeseen change to his employment status, the challenges that has created over the past year, and the need to focus on his career. Although the applicant is requesting the permit be extended for an additional year, he expects that a building permit application can be submitted to the Building Division by the end of October, only three months after the previously extended expiration date. No changes to the original approved plans have been proposed. A copy of the data table, project plans, and project description letter describing the reasons for the use permit extension are included as Attachments F, G, and H respectively

### ***Correspondence***

Staff has not received any correspondence on the project at this time.

### ***Conclusion***

Staff believes that that there is good cause for the extension based upon unusual circumstances and/or conditions not created by the applicant. Further, given the limited amount of additional time expected to complete the building permit application and the general support of the original project application by the Planning Commission, Staff believes an extension of the use permit is appropriate. Staff recommends the Planning Commission approve the proposed project.

### **Impact on City Resources**

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

### **Environmental Review**

The project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.

### **Public Notice**

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

### **Appeal Period**

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

### **Attachments**

- A. Recommended Actions
- B. Location Map
- C. Planning Commission Staff Report July 17, 2017:  
<https://www.menlopark.org/DocumentCenter/View/15021/F3---202-Gilbert-Avenue--Staff-Report?bidId=>
- D. Planning Commission Minutes July 17, 2017:  
<https://www.menlopark.org/AgendaCenter/ViewFile/Minutes/07172017-2945>
- E. Administrative Extension Approval Letter
- F. Data Table
- G. Project Plans
- H. Project Description Letter and Extension Request

### **Disclaimer**

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

### **Exhibits to Be Provided at Meeting**

None

Report prepared by:  
Chris Turner, Assistant Planner

Report reviewed by:  
Kyle Perata, Principal Planner

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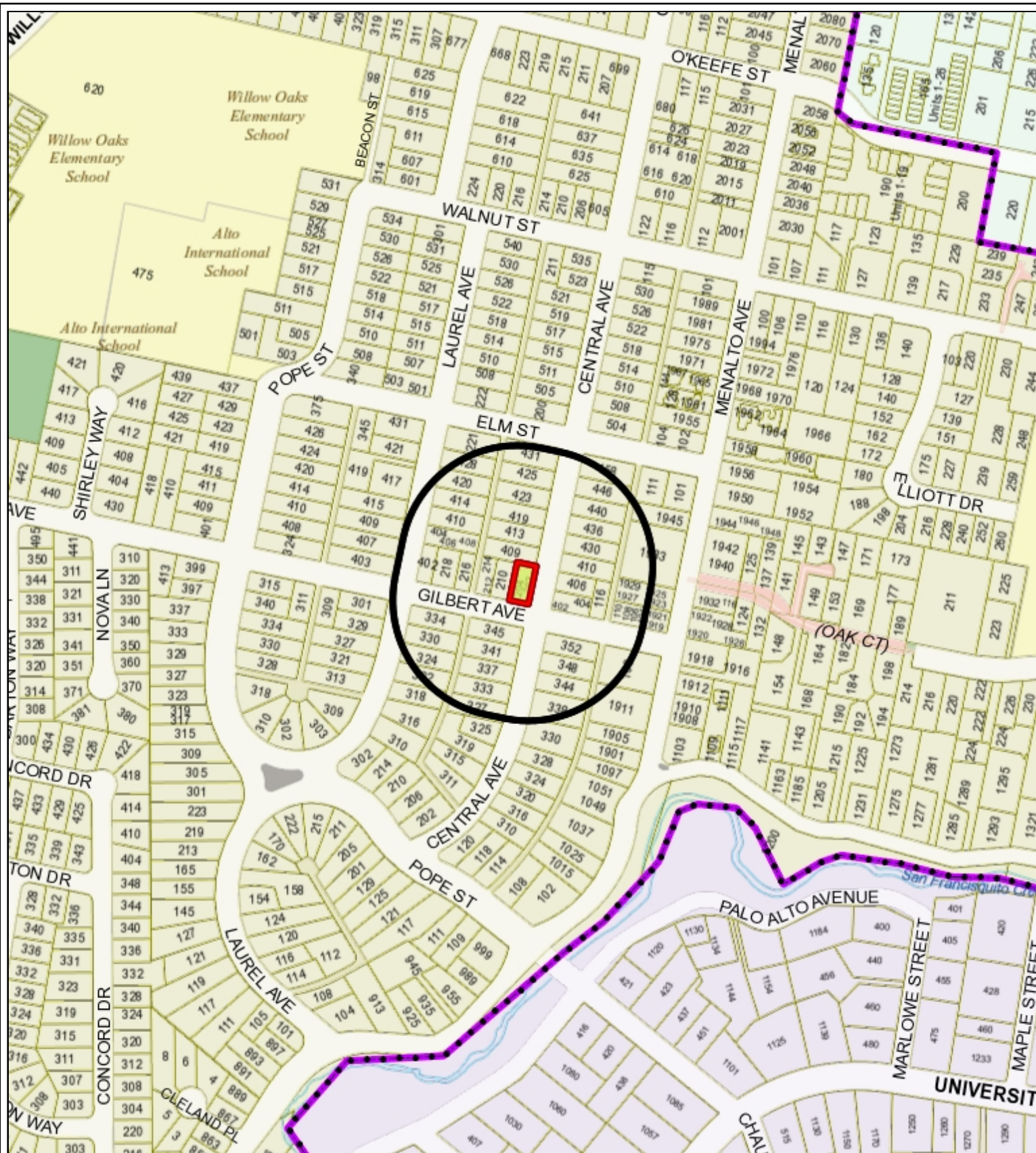
202 Gilbert Avenue – Attachment A: Recommended Actions

<b>LOCATION:</b> 202 Gilbert Avenue	<b>PROJECT NUMBER:</b> PLN2019-00065	<b>APPLICANT:</b> Harbrinder Kang	<b>OWNER:</b> Harbrinder Kang
<b>PROPOSAL:</b> Request for a use permit revision for an extension to a use permit granted by the Planning Commission in 2017 and extended administratively in 2018 to construct a new two-story, single-family residence on a substandard lot with regard to lot width and area in the R-1-U (Single Family Urban Residential) zoning district.			
<b>DECISION ENTITY:</b> Planning Commission	<b>DATE:</b> August 26, 2019	<b>ACTION:</b> TBD	
<b>VOTE:</b> TBD (Barnes, DeCardy, Doran, Kennedy, Riggs, Tate)			
<p><b>ACTION:</b></p> <ol style="list-style-type: none"> <li>1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, “New Construction or Conversion of Small Structures”) of the current California Environmental Quality Act (CEQA) Guidelines.</li> <li>2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.</li> <li>3. Approve the use permit subject to the following <b>standard</b> conditions:             <ol style="list-style-type: none"> <li>a. Development of the project shall be substantially in conformance with the plans prepared by Ana Williamson Architect, consisting of 18 plan sheets, dated received June 30, 2017, and approved by the Planning Commission on July 17, 2017, except as modified by the conditions contained herein, subject to review and approval of the Planning Division.</li> <li>b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies’ regulations that are directly applicable to the project.</li> <li>c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.</li> <li>d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.</li> <li>e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.</li> <li>f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.</li> <li>g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance.</li> </ol> </li> <li>4. Approve the use permit subject to the following <b>project specific</b> conditions:</li> </ol>			

202 Gilbert Avenue – Attachment A: Recommended Actions

<b>LOCATION:</b> 202 Gilbert Avenue	<b>PROJECT NUMBER:</b> PLN2019-00065	<b>APPLICANT:</b> Harbrinder Kang	<b>OWNER:</b> Harbrinder Kang
<b>PROPOSAL:</b> Request for a use permit revision for an extension to a use permit granted by the Planning Commission in 2017 and extended administratively in 2018 to construct a new two-story, single-family residence on a substandard lot with regard to lot width and area in the R-1-U (Single Family Urban Residential) zoning district.			
<b>DECISION ENTITY:</b> Planning Commission	<b>DATE:</b> August 26, 2019	<b>ACTION:</b> TBD	
<b>VOTE:</b> TBD (Barnes, DeCardy, Doran, Kennedy, Riggs, Tate)			
<b>ACTION:</b>			
<ul style="list-style-type: none"> <li>a. The use permit shall expire on July 17, 2020 unless a complete building permit application is submitted prior to the expiration date.</li> </ul>			





CITY OF  
MENLO PARK

City of Menlo Park  
Location Map  
202 Gilbert Avenue



Scale: 1:4,000

Drawn By: CRT

Checked By: KTP

Date: 8/26/2019

Sheet: 1



July 17, 2018

Surinder Dosanjh Kang  
740 Menlo Oaks Dr  
Menlo Park CA 94025

**RE: 202 Gilbert Avenue (PLN2017-00010) – Use Permit Extension Request**

Dear Mr. Kang,

I have reviewed your request dated July 4, 2018 (received July 5, 2018) requesting a one-year extension as permitted within City Ordinances for a use permit granted by the Planning Commission on July 17, 2017 as part of a proposed new two-story, single-family residence on a substandard lot with regard to lot width in the R-1-U (Single Family Urban Residential) zoning district.

Per Section 16.82.170 of the Zoning Ordinance, the Community Development Director may extend the effective date of a use permit approval for up to one year, if there is good cause for the extension based upon unusual circumstances and/or conditions not of the making of the applicant or its agents or employees.

I have determined that there is good cause for the extension based on conditions not of your making, including budget limitations due to a large-scale reorganization at your husband's place of employment. The use permit approved by the Planning Commission on July 17, 2017 is hereby extended through **July 18, 2019**. Please submit a complete application for a building permit in compliance with the conditions of approval on or prior to that date in order for the use permit to remain in effect.

Please feel free to contact me at [throgers@menlopark.org](mailto:throgers@menlopark.org) if you have any questions.

Sincerely,  
Thomas Rogers, Principal Planner



202 Gilbert Avenue – Attachment F: Data Table

	<b>PROPOSED PROJECT</b>	<b>EXISTING PROJECT</b>	<b>ZONING ORDINANCE</b>
Lot area	5,000 sf	5,000 sf	7,000 sf min.
Lot width	50.0 ft.	50.0 ft.	65 ft. min.
Lot depth	100 ft.	100 ft.	100 ft. min.
Setbacks			
Front	20 ft.	20.5 ft.	20 ft. min.
Rear	20 ft.	47.5 ft.	20 ft. min.
Side (left)	5 ft.	2 ft.	5 ft. min.
Side (right)	12 ft.	17.8 ft.	5 ft. min.
Building coverage	1,747.3 sf 35 %	1,405 sf 28 %	1,750 sf max. 35 % max.
FAL (Floor Area Limit)	2,799.8 sf	2,294 sf	2,800 sf max.
Square footage by floor	1,280.8 sf/1st 1,074.5 sf/2nd 444.5 sf/garage 22.0 sf/fireplace	889 sf/1st 889 sf/2nd 516 sf/garage	
Square footage of buildings	2,821.8 sf	2,294 sf	
Building height	24.2 ft.	21.7 ft.	28 ft. max.
Parking	2 covered	3 covered	1 covered/1 uncovered
Note: Areas shown highlighted indicate a nonconforming or substandard situation.			

Trees	Heritage trees	6	Non-Heritage trees	6	New Trees	3
	Heritage trees proposed for removal	0	Non-Heritage trees proposed for removal	2	Total Number of Trees	13



## ABBREVIATIONS

ARCH.	ARCHITECTURAL	INT.	INTERIOR
BTWN.	BETWEEN	MAX.	MAXIMUM
BLDG.	BUILDING	MIN.	MINIMUM
BLK.	BLOCK	MECH.	MECHANICAL
BSM.	BEAM	MFGOR.	MANUFACTURER
CSMT.	CASEMENT	MICRO.	MICROWAVE
CLR.	CLEAR	MTL.	METAL
CL'G.	CILING	NAT.	NATURAL
C.J.	CILING JOIST	[N]	NEW
COL.	COLUMN	NO.	NUMBER
CONC.	CONCRETE	O.C.	ON CENTER
CONT.	CONTINUOUS	PLYWD.	PLYWOOD
DRY.	DRYER	RSB.	RISERS
DIA.	DIAMETER	R.O.	ROUGH OPENING
DIM.	DIMENSION(S)	R.R.	ROOF RABERS
D.W.	DEWASHER	REV.	REVISION
DWGS.	DRAWINGS	REFR.	REFRIGERATOR
ELEV.	ELEVATION	REQD.	REQUIRED
EQ.	EQUAL	SHT.	SHEET
EXT.	EXTERIOR	SL.	SUBBER
F.A.U.	FORCED AIR UNIT	SMA.	SIMILAR
FIN.	FINISH FINISHED	STL.	STEEL
FIR.	FLOOR	STRUCT.	STRUCTURAL
F.J.	FLOOR JOIST	TEMP.	TEMPERED
FTG.	FOOTING	TR.	TREADS
FRZ.	FREEZER	T.&G.	TOUNG & GROOVE
GA.	GAUGE	T.O.	TOP OF
GALV.	GALVANIZED	TYF.	TYPICAL
G.D.	GARAGE DISPOSAL	UNO.	UNLESS NOTED OTHERWISE
GRD.	GRADE	V.E.T.	VERIFY IN FIELD
GYP.BD.	GYPSSUM BOARD	WASH.	WASHER
HDR.	HEADER	W.H.	WATER HEATER
HGT.	HEIGHT	WD.	WOOD

## LEGEND

	DOOR
	WINDOW
	Detail # Sheet # DETAIL
	INTERIOR ELEVATIONS
	Section # Sheet # SECTION
	Section # Sheet # EXTERIOR ELEVATION
	DIMENSION TO FACE OF FRAMING/MASONRY (UNLESS NOTED OTHERWISE)
	SLOPE
	ELEVATION HEIGHTS

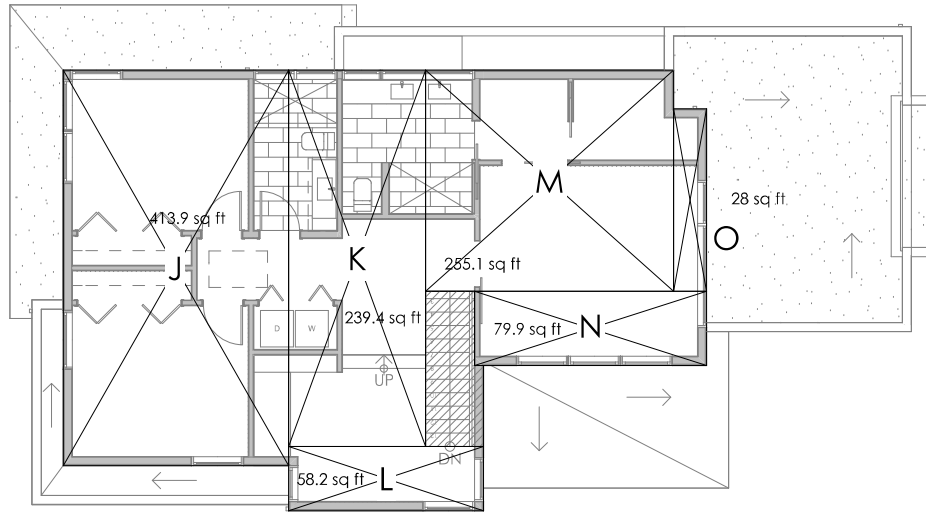
## APPLICABLE CODES

2016 CALIFORNIA BUILDING CODE VOLUMES 1 & 2  
 2016 CALIFORNIA RESIDENTIAL CODE  
 2016 CALIFORNIA MECHANICAL CODE  
 2016 CALIFORNIA ELECTRIC CODE  
 2016 CALIFORNIA PLUMBING CODE  
 2016 CALIFORNIA ENERGY CODE  
 2016 CALIFORNIA GREEN BUILDING CODE  
 2016 CALIFORNIA FIRE CODE AND OTHER APPLICABLE STATE AND LOCAL REGULATIONS

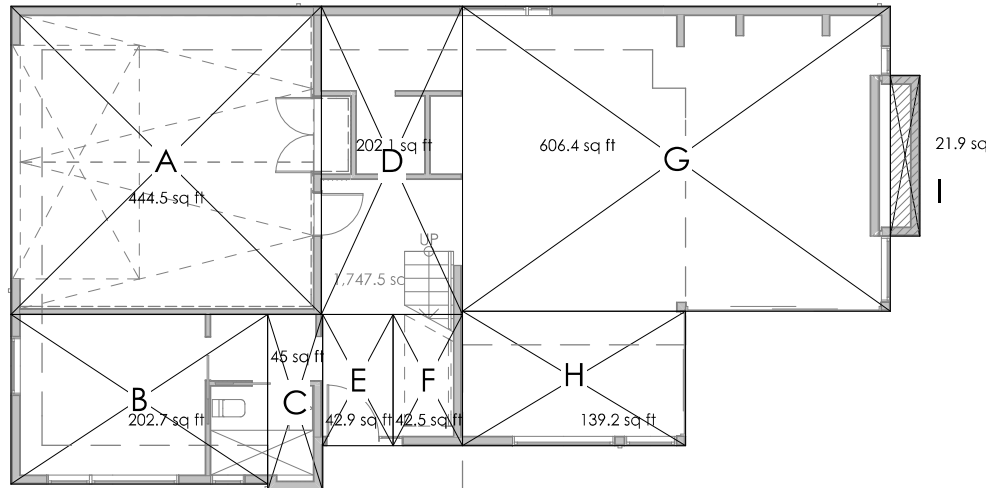
## DEFERRED SUBMITTALS

FIRE SPRINKLERS

## FLOOR AREA CALCULATIONS



② SECOND FLOOR FAR DIAGRAMS  
1/4" = 1'-0"



① FIRST FLOOR FAR DIAGRAMS  
1/4" = 1'-0"

## FLOOR AREA CALCULATIONS

ALLOWABLE FLOOR AREA  
 MAX FLOOR AREA = 2,800 SF

	KEY
	AREA NOT COUNTED IN FAR CALCULATIONS

BUILDING COVERAGE CALCULATION		
A	21'-0" x 21'-0"	444.5 SF
B	17'-6" x 11'-7"	202.7 SF
C	12'-0" x 3'-6"	43 SF
D	21'-0" x 9'-6 1/2"	202.1 SF
E	4'-9 1/2" x 9'-0"	42.9 SF
F	4'-9" x 9'-0"	42.5 SF
G	20'-9 1/2" x 29'-2"	606.4 SF
H	15'-0" x 9'-2"	139.2 SF
I	10'-1 1/2" x 2'-0"	21.9 SF
<b>TOTAL BUILDING COVERAGE:</b>		<b>1,747.2 SF</b>
<b>MAX ALLOWED:</b>		<b>1,750 SF</b>

FLOOR AREA CALCULATIONS		
A	21'-0" x 21'-0"	444.5 SF
B	17'-6" x 11'-7"	202.7 SF
C	12'-0" x 3'-6"	43 SF
D	21'-0" x 9'-6 1/2"	202.1 SF
E	4'-9 1/2" x 9'-0"	42.9 SF
F	4'-9" x 9'-0"	42.5 SF
G	20'-9 1/2" x 29'-2"	606.4 SF
H	15'-0" x 9'-2"	139.2 SF
I	10'-1 1/2" x 2'-0"	21.9 SF
<b>FIRST FLOOR:</b>		<b>1,725.3 SF</b>
J	15'-4 1/4" x 26'-1 1/2"	413.9 SF
K	9'-6" x 23'-6"	229.4 SF
L	4'-4 1/2" x 13'-3 1/2"	58.2 SF
M	15'-1" x 16'-11"	251.5 SF
N	15'-10" x 5'-0"	79.9 SF
O	10'-5 1/2" x 9'-2"	98 SF
<b>SECOND FLOOR:</b>		<b>1,074.5 SF</b>
<b>TOTAL FAR:</b>		<b>2,799.8 SF</b>
<b>MAX ALLOWED:</b>		<b>2,800 SF</b>



**KANG RESIDENCE**  
 202 GILBERT AVE  
 MENLO PARK, CA 94025  
 ANA WILLIAMSON ARCHITECT

DATE:	DATE:
USE PERMIT:	02/14/2017
USE PERMIT REV1:	04/18/2017
USE PERMIT REV2:	06/12/2017

DATE: **JO**  
 DATE: **7/5/2017**  
 JOB NO: **1601**  
 DRAWING TITLE: **PROJECT NOTES & FAR DIAGRAMS**

SHEET: **A0.1**

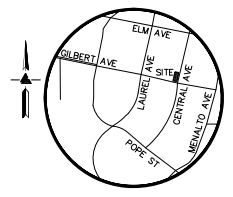
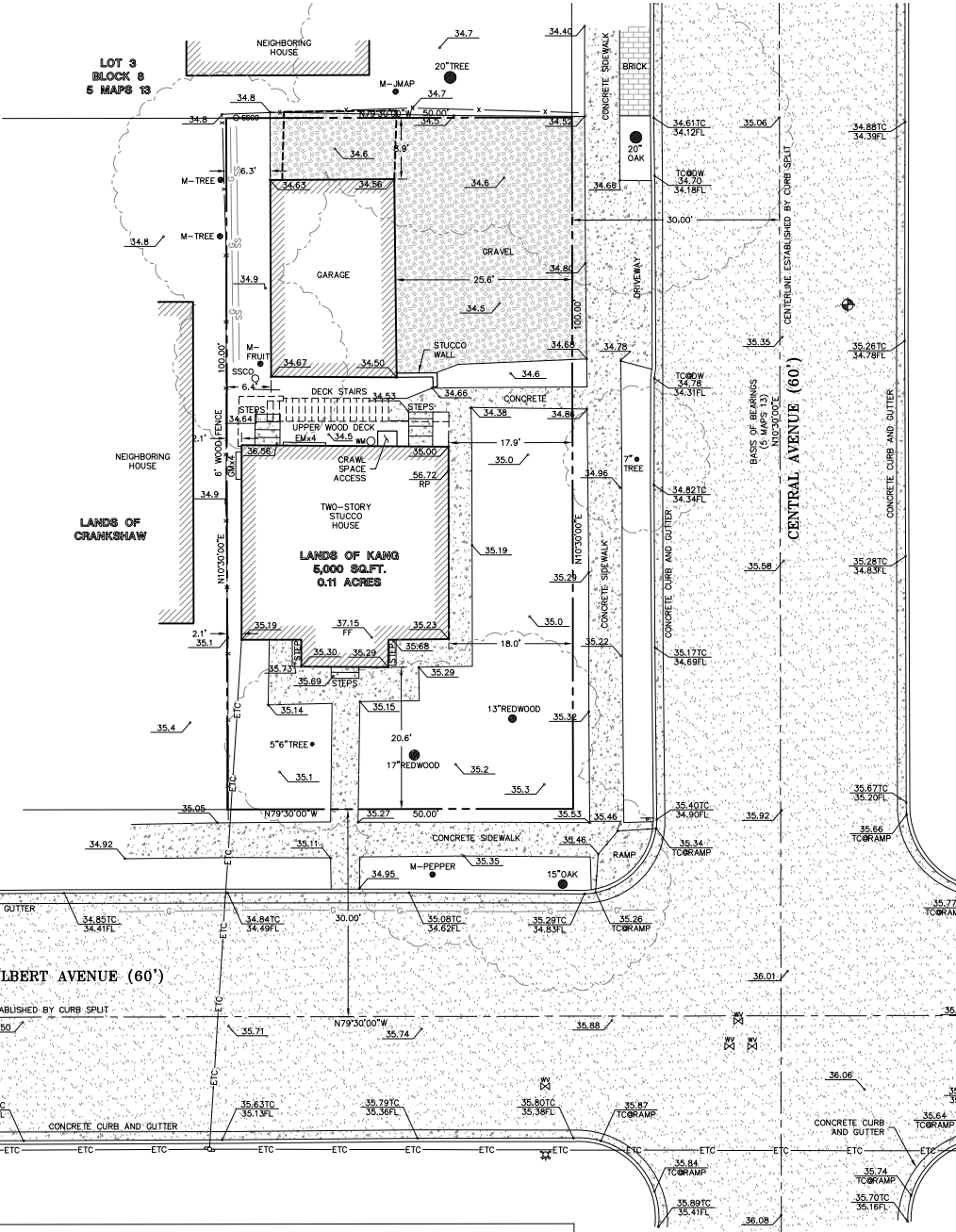
**LEGEND AND NOTES**

- BOUNDARY LINE
- ETC ELECTRICAL TELEPHONE / CABLE TV OVERHEAD LINE
- FENCE LINE
- G GAS LINE (PER PAINT MARKINGS)
- SS SANITARY SEWER LINE
- DW DRIVEWAY
- FF FINISH FLOOR
- FL FLOW LINE
- INV INVERT
- JMAP JAPANESE MAPLE
- M MULTIPLE TRUNKS
- PVC POLYVINYL CHLORIDE PIPE
- RP ROOF PEAK
- TC TOP OF CURB
- TOS TOP OF SLAB
- EM ELECTRICAL METER
- FI FIRE HYDRANT
- GM GAS METER
- JP JOINT POLE
- SSCO SANITARY SEWER CLEAN-OUT
- SSMH SANITARY SEWER MANHOLE
- WM WATER METER
- WV WATER VALVE
- XX BENCHMARK
- XXX SPOTGRADE
- ASPHALT
- BRICK
- CONCRETE
- GRAVEL
- DRIFLINE
- TREE: TYPE AND SIZE AS NOTED

**SURVEYOR'S STATEMENT**

I CERTIFY THAT THIS PARCEL'S BOUNDARY WAS ESTABLISHED BY ME OR UNDER MY SUPERVISION AND IS BASED ON A FIELD SURVEY IN CONFORMANCE WITH THE LAND SURVEYOR'S ACT. ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

GREGORY F. BRAZE DATE  
L.S. NO. 7623



VICINITY MAP  
NO SCALE

**NOTES**

- ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS OF A FOOT.
- UNDERGROUND UTILITY LOCATION IS BASED ON SURFACE EVIDENCE.
- BUILDING FOOTPRINTS ARE SHOWN AT GROUND LEVEL.
- FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLD (EXTERIOR)

**BENCHMARK**

CITY OF MENLO PARK BENCHMARK BM\*150" AT MENLO PARK AT THE JUNCTION OF WILLOW ROAD AND DURHAM STREET, AT THE VETERANS ADMINISTRATION HOSPITAL, IN THE TOP OF THE NORTH SIDE OF THE CONCRETE BASE OF A FLAGPOLE, ABOUT 120 YARDS WEST OF THE CENTER LINE OF WILLOW ROAD, 87.7 FEET SOUTHEAST OF THE NORTHEAST CORNER OF THE ADMINISTRATION BUILDING (BUILDING 110), AND ABOUT 1 FOOT HIGHER THAN THE SIDEWALK ELEVATION = 32.5' (NAVD 88)

**EASEMENT NOTE**

A CURRENT TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY LEA & BRAZE ENGINEERING, INC. EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.

**SITE BENCHMARK**

SURVEY CONTROL POINT M&G AND SHIRER SET IN ASPHALT ELEVATION = 35.15' (NAVD 88)



87'00" 85'00" 83'00" 81'00" 79'00" 77'00" 75'00" 73'00" 71'00" 69'00" 67'00" 65'00" 63'00" 61'00" 59'00" 57'00" 55'00" 53'00" 51'00" 49'00" 47'00" 45'00" 43'00" 41'00" 39'00" 37'00" 35'00" 33'00" 31'00" 29'00" 27'00" 25'00" 23'00" 21'00" 19'00" 17'00" 15'00" 13'00" 11'00" 9'00" 7'00" 5'00" 3'00" 1'00" 0'00" SSMH RIM=35.27 INV=28.77

**LEA & BRAZE ENGINEERING, INC.**  
CIVIL ENGINEERS LAND SURVEYORS  
SACRAMENTO REGION  
BAY AREA REGION  
WEST REGION  
HAYWARD, CALIFORNIA 94540  
(P) (916) 866-1133  
(F) (916) 897-4986  
(T) (916) 897-5776  
WWW.LEA-BRAZE.COM

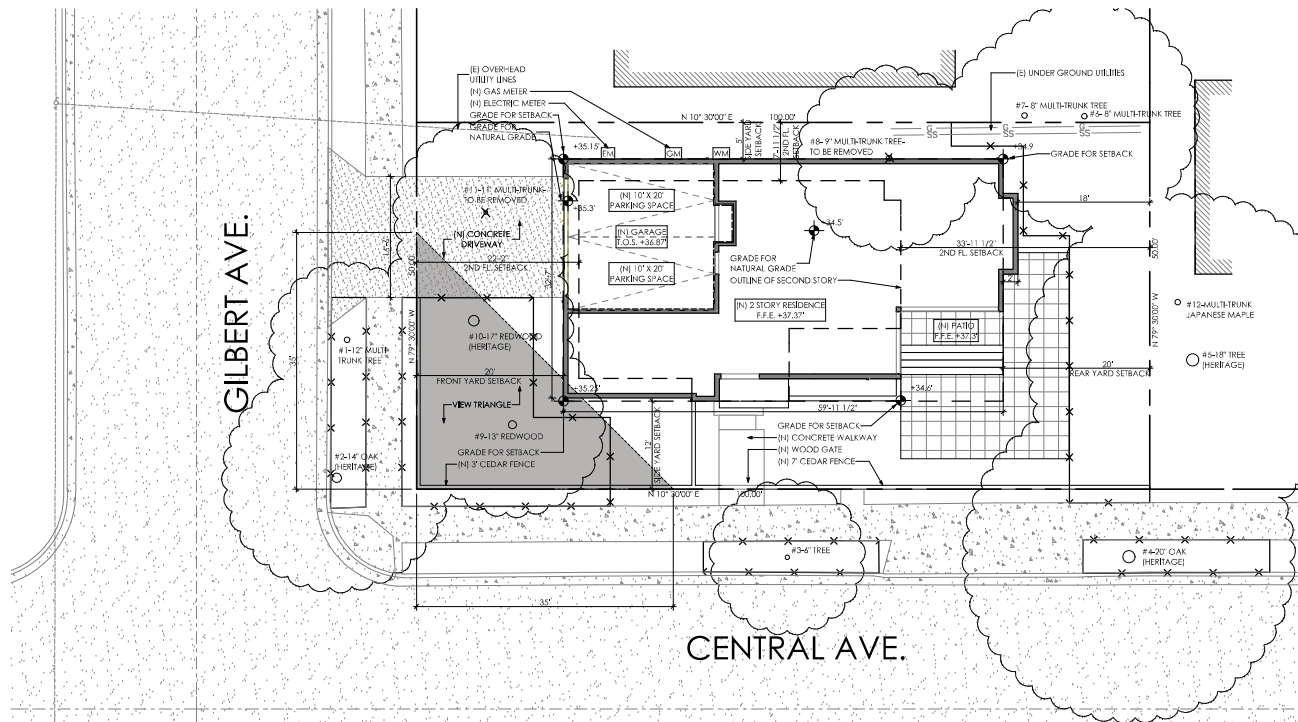
202 GILBERT AVENUE  
MENLO PARK, CALIFORNIA  
SAN MATEO COUNTY  
APR. 02-2015

TOPOGRAPHIC AND  
BOUNDARY SURVEY

REVISIONS	BY

JOB NO: 2160453  
DATE: 05-23-16  
SCALE: 1" = 8'  
FIELD BY: ES  
DRAWN BY: JN  
SHEET NO:

**SU1**  
01 OF 01 SHEETS



① PROPOSED SITE PLAN  
1/8" = 1'-0"

**SITE NOTES**

1. GENERAL GRADING REQUIREMENTS PER LOCAL GOVERNING JURISDICTIONS SHALL BE COMPLIED WITH STRICTLY.
2. NO TRENCHES OR EXCAVATIONS 9" OR MORE IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND, OTHERWISE, OBTAIN NECESSARY PERMIT FROM LOCAL OR STATE AUTHORITIES.
3. CONTRACTOR TO INFORM ARCHITECT OF ANY DISCREPANCIES BETWEEN ARCHITECTURAL DRAWINGS.
4. ALL GRADES SHALL SLOPE 2% MINIMUM AWAY FROM THE BUILDING FOR A HORIZONTAL DISTANCE OF 10 FEET (2013 CEC 403.2) AND BE A MINIMUM OF 8" BELOW WOOD SILL PLATE AT THE PERIMETER OF THE BUILDING.
5. SEE CML DRAWINGS FOR UTILITY ROUTING.
- 6.\* AUTOMATIC IRRIGATION SYSTEM CONTROLLERS FOR LANDSCAPING SHALL COMPLY WITH THE FOLLOWING:
  - A) WEATHER OR SOIL MOISTURE-BASED CONTROLLERS THAT AUTOMATICALLY ADJUST IRRIGATION IN RESPONSE TO CHANGES IN WEATHER OR SOIL CONDITIONS, OR WEATHER-BASED CONTROLLERS.
  - B) WEATHER-BASED CONTROLLERS WITHOUT INTEGRAL RAIN SENSORS OR COMMUNICATION SYSTEMS THAT ACCOUNT FOR RAINFALL SHALL HAVE A SEPARATE RAIN SENSOR WHICH CONNECTS OR COMMUNICATES WITH CONTROLLERS.

**TREE PROTECTION NOTES**

1. PROTECTIVE FENCING TO BE INSTALLED PRIOR TO ARRIVAL OF MATERIALS, EQUIPMENT, OR VEHICLES.
2. MATERIALS MUST NOT BE STORED, STOCKPILED, DUMPED, OR BURIED INSIDE THE DRIPLINES OF PROTECTED TREES.
3. NO MECHANICAL GRADING, TRENCHING, OR SURFACE SCRAPPING INSIDE THE DRIPLINES OF PROTECTED TREES.
4. DURING AND UPON COMPLETION OF ANY TRENCHING & GRADING OPERATION WITHIN A TREE'S DRIP LINE SHOULD ANY ROOTS GREATER THAN 1" IN DIAMETER BE DAMAGED, BROKEN, OR SEVERED, ROOT PRUNING TO INCLUDE FLUSH CUTTING AND SEALING OF EXPOSED ROOTS SHOULD BE ACCOMPLISHED UNDER THE SUPERVISION OF A QUALIFIED ARBORIST.

**TREE SCHEDULE**

NUMBER	TYPE	DBH	STATUS
#01	AFRICAN SUMAC	11.6"	REMAIN
#02	COAST LIVE OAK	14.2"	REMAIN
#03	CAMPNOR	5.6"	REMAIN
#04	COAST LIVE OAK	20.1"	REMAIN
#05	EUROPEAN BEACH	18"	REMAIN
#06	FLOWERING PEAR	8"	REMAIN
#07	FLOWERING PEAR	8"	REMAIN
#08	FRUITING PLUM	8.9"	TO BE REMOVED
#09	REDWOOD	12.8"	REMAIN
#10	REDWOOD	16.7"	REMAIN
#11	BLACK WALNUT	10.6"	TO BE REMOVED
#12	JAPANESE MAPLE	8"	REMAIN

**CONSTRUCTION LEGEND**

- TREE PROTECTION FENCING - PER ARBORIST REPORT
- (N) EXTERIOR WALLS
- - - SECOND STORY OUTLINE

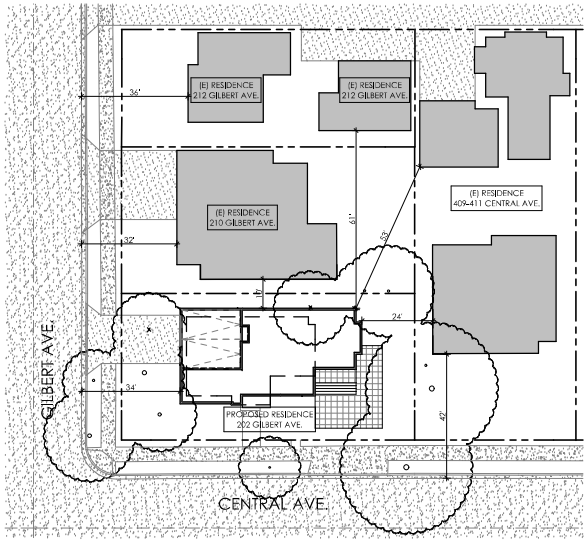


**KANG RESIDENCE**  
202 GILBERT AVE  
MENLO PARK, CA 94025  
ANA.WILLIAMSON.COM

DATE: 02/14/2017  
 USE PERMIT: 02/14/2017  
 USE PERMIT REV1: 04/18/2017  
 USE PERMIT REV2: 06/12/2017

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DATE: 7/5/2017  
 DRAWNO: 1601  
 DRAWING TITLE: PROPOSED SITE PLAN



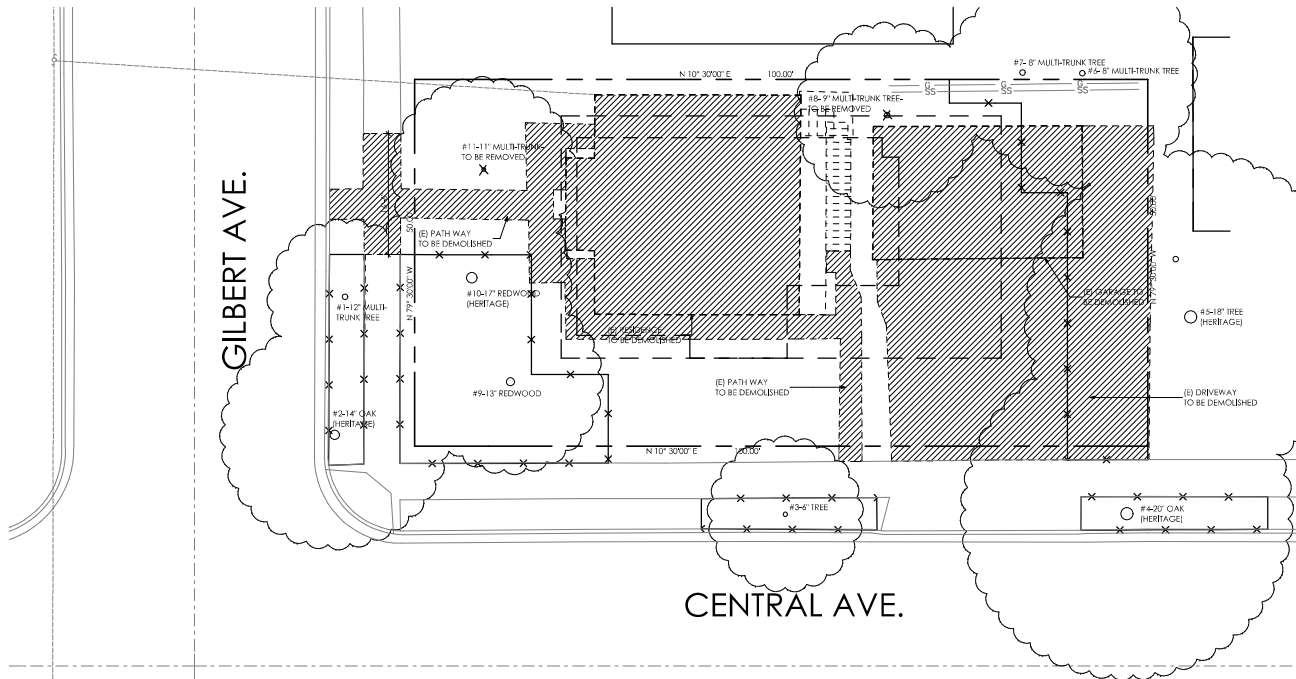
4 PROPOSED AREA PLAN  
1" = 20'



3 GILBERT AVE. STREETScape  
1/16" = 1'-0"



2 CENTRAL AVE. STREETScape  
1/16" = 1'-0"



1 DEMOLITION SITE PLAN  
1/8" = 1'-0"

### SITE NOTES

1. GENERAL GRADING REQUIREMENTS PER LOCAL GOVERNING JURISDICTIONS SHALL BE COMPLIED WITH STRICTLY.
2. NO TRENCHES OR EXCAVATIONS 9" OR MORE IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND, OTHERWISE, OBTAIN NECESSARY PERMIT FROM LOCAL OR STATE AUTHORITIES.
3. CONTRACTOR TO INFORM ARCHITECT OF ANY DISCREPANCIES BETWEEN ARCHITECTURAL DRAWINGS.
4. ALL GRADES SHALL SLOPE 2% MINIMUM AWAY FROM THE BUILDING FOR A HORIZONTAL DISTANCE OF 10' PER 2010 CEC 403.2 AND BE A MINIMUM OF 8" BELOW WOOD SILL PLATE AT THE PERIMETER OF THE BUILDING.
5. SEE CIVIL DRAWINGS FOR UTILITY ROUTING.
6. AUTOMATIC IRRIGATION SYSTEM CONTROLLERS FOR LANDSCAPING SHALL COMPLY WITH THE FOLLOWING:
  - A) WEATHER OR SOIL MOISTURE-BASED CONTROLLERS THAT AUTOMATICALLY ADJUST IRRIGATION IN RESPONSE TO CHANGES IN WEATHER OR SOIL CONDITIONS, OR WEATHER-BASED CONTROLLERS.
  - B) WEATHER-BASED CONTROLLERS WITHOUT INTEGRAL RAIN SENSORS, OR COMMUNICATION SYSTEMS THAT ACCOUNT FOR RAINFALL SHALL HAVE A SEPARATE RAIN SENSOR WHICH CONNECTS OR COMMUNICATES WITH CONTROLLERS.

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### TREE SCHEDULE

NUMBER	TYPE	DBH	STATUS
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#09	REDWOOD	12.8"	REMAIN
#10	REDWOOD	16.7"	REMAIN
#11	BLACK WALNUT	10.6"	TO BE REMOVED
#12	JAPANESE MAPLE	8"	REMAIN



ANA WILLIAMSON ARCHITECT  
885 SANTA CLAY AVE. A. MENLO PARK, CA 94025 • P: (650) 329-0377 • F: (650) 325-4781



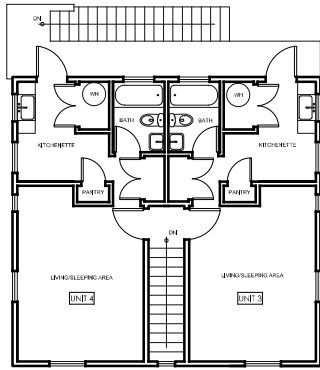
**KANG RESIDENCE**  
202 GILBERT AVE  
MENLO PARK, CA 94025  
DATE: 06/05/2016

DATE	DATE
USE PERMIT	02/14/2017
USE PERMIT REV1	04/18/2017
USE PERMIT REV2	06/12/2017

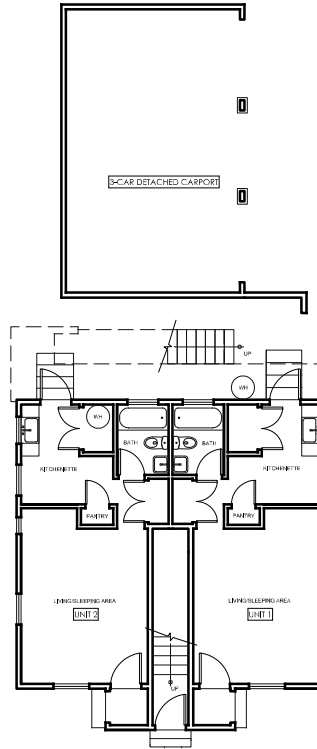
DESIGNER: JO  
DATE: 7/5/2017  
JOB NO: 1601  
DRAWING TITLE: DEMO SITE PLAN & AREA PLAN

SCALE: A1.1





1 EXISTING SECOND FLOOR PLAN  
1:30.50



1 EXISTING GROUND FLOOR PLAN  
1:30.30



ANA WILLIAMSON ARCHITECT  
885 SANTA CLAY AVE. A, MENLO PARK, CA 94025  
P: (650) 329-0377 F: (650) 322-4781



**KANG RESIDENCE**  
202 GILBERT AVE  
MENLO PARK, CA 94025  
DATE: 06/05/17

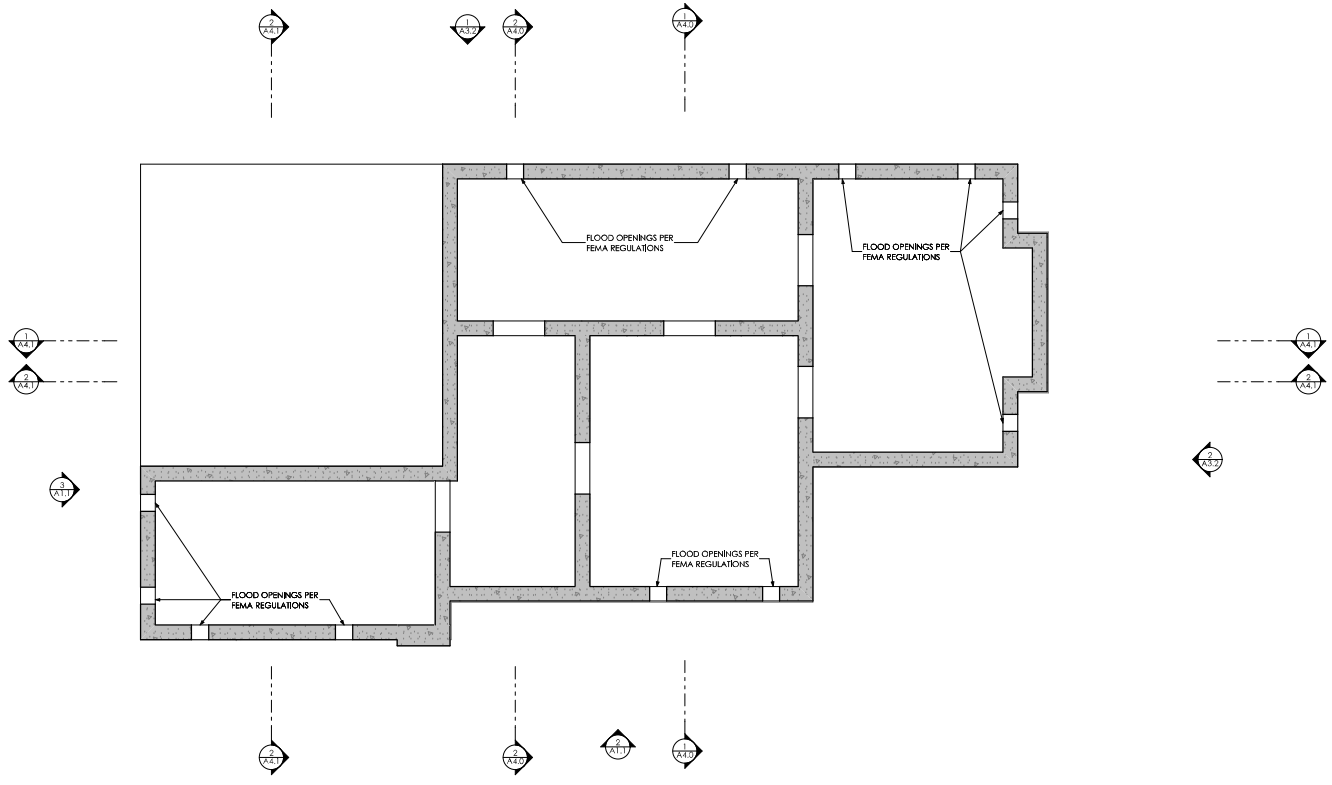
DATE	BY
02/14/2017	USE PERMIT
04/18/2017	USE PERMIT REV1
06/12/2017	USE PERMIT REV2

DESIGNER: JO  
DATE: 7/5/2017  
JOB NO: 1601  
DRAWING TITLE: EXISTING FLOOR PLANS

SHEET: A2.0

**NOTES**

1. DOMESTIC HOT WATER TO BE (2) TANKLESS UNITS 95% EFFICIENT.
2. FURNACE TO BE 95% AFUE PER TITLE 24 REPORT.
3. VENTILATION OPENINGS FOR ENCLOSED EAVE SOFFIT SPACES, ENCLOSED RAFTER SPACES FORMED WHERE SOFFITS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, AND UNDERLOOR VENTILATION OPENINGS SHALL BE FULLY COVERED WITH METAL WIRE MESH, VENTS, OTHER MATERIALS, OR OTHER DEVICES THAT MEET THE FOLLOWING REQUIREMENTS:
  - A) THE DIMENSIONS OF THE OPENINGS THEREIN SHALL BE A MINIMUM OF 1/16" AND SHALL NOT EXCEED 1/8".
  - B) MATERIALS USED SHALL BE NON-COMBUSTIBLE.
  - C) MATERIALS USED SHALL BE CORROSION RESISTANT.



1 PROPOSED FOUNDATION PLAN  
1/4" = 1'-0"



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**KANG RESIDENCE**  
202 GILBERT AVE  
MENLO PARK, CA 94025  
ANA WILLIAMSON ARCHITECT

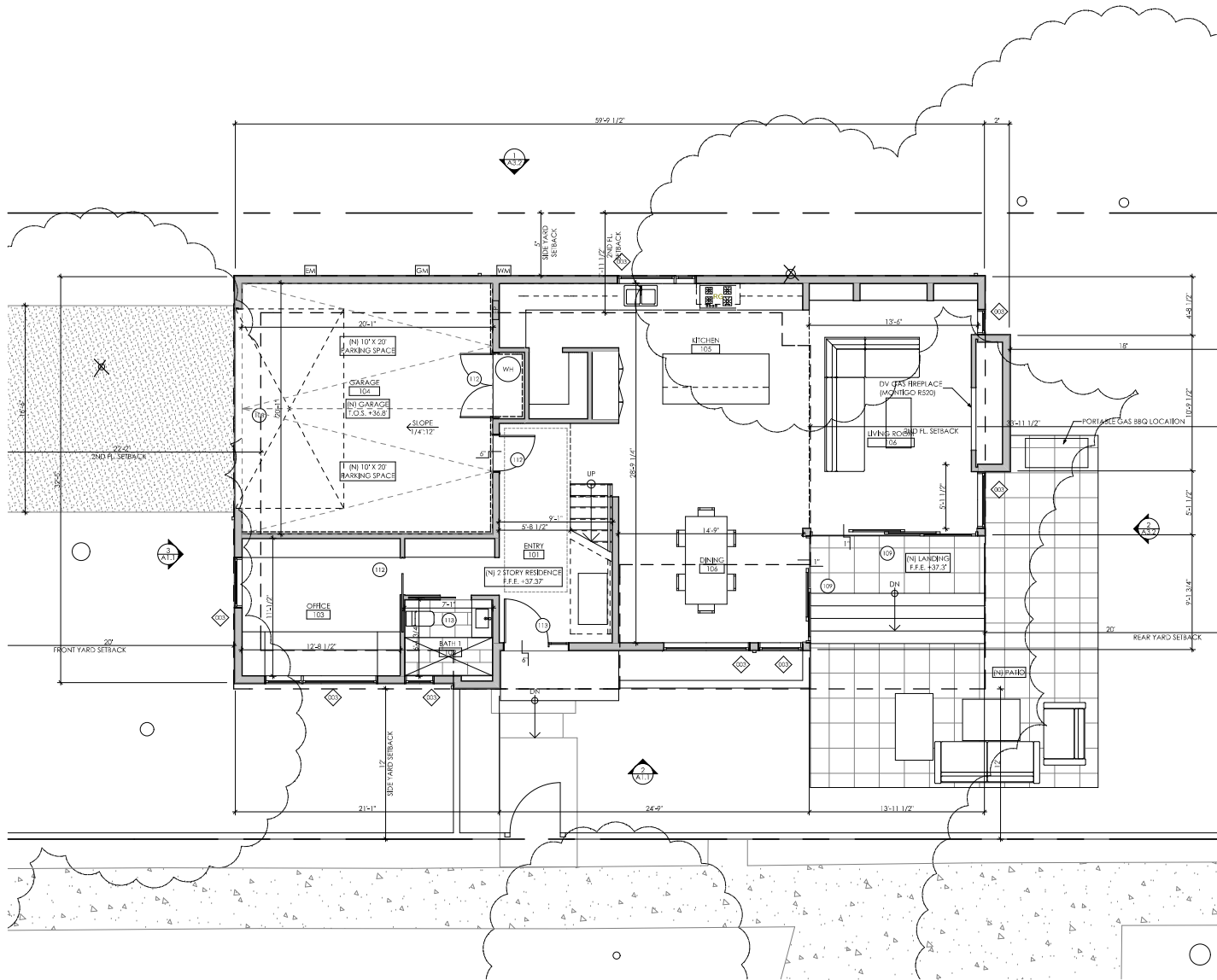
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USE PERMIT	02/14/2017
USE PERMIT REV1	04/18/2017
USE PERMIT REV2	06/12/2017

DESIGNER: JW  
DATE: 7/5/2017  
JOB NO.: 1601  
DRAWN BY: PROPOSED FOUNDATION PLAN

SHEET: A2.1

**NOTES**

1. DIRECT-VENT GAS FIREPLACE - MONTICO H420F NATURAL GAS, 34,000 BTU ICSA FILE #112915L3\_000



1 PROPOSED FIRST FLOOR PLAN  
1/4" = 1'-0"



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ANA.WILLIAMSON.COM

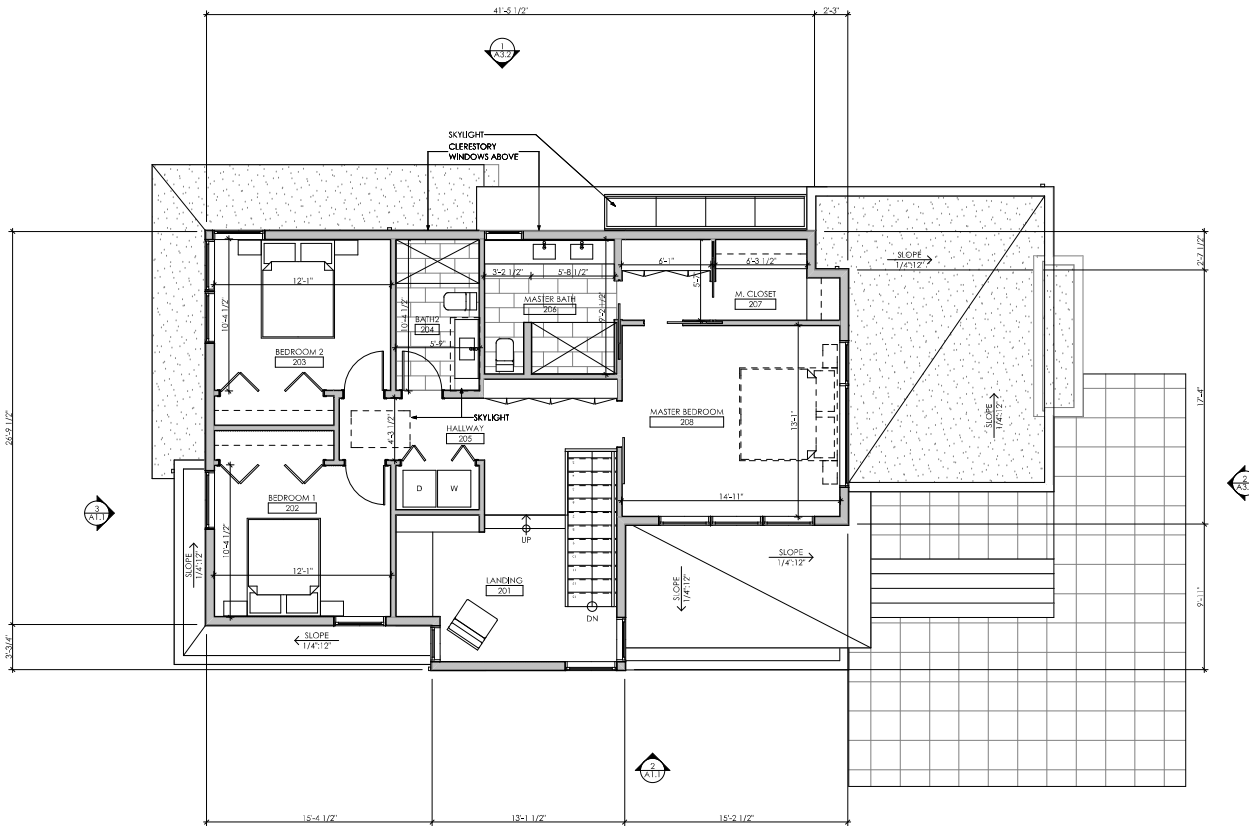
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USE PERMIT REV1	04/18/2017
USE PERMIT REV2	06/12/2017

DESIGNER: JG  
DATE: 7/5/2017  
JOB NO: 1601  
DRAWING TITLE: PROPOSED FIRST FLOOR PLAN



SHEET: **A2.2**

NOTES



1 PROPOSED SECOND FLOOR PLAN  
1/4" = 1'-0"



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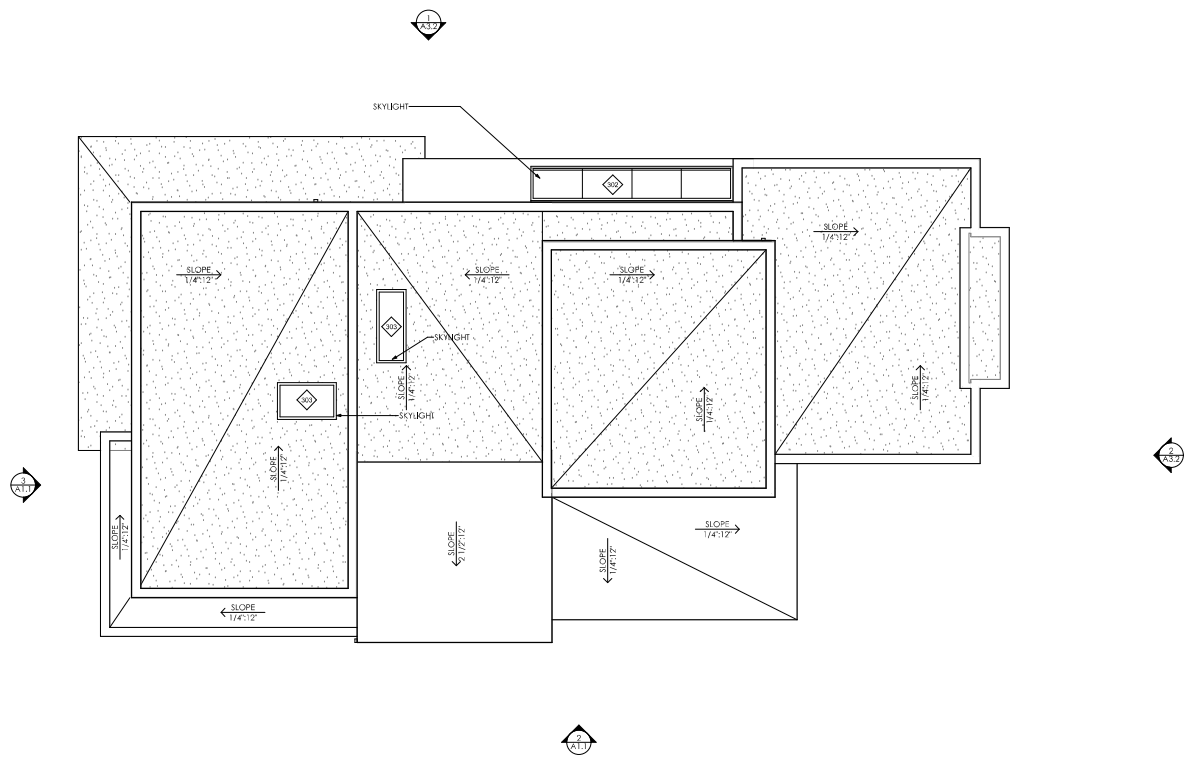
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USE PERMIT REV2	06/12/2017	

DESIGNER: JG  
DATE: 7/5/2017  
JOB NO.: 1601  
DRAWN BY: PROPOSED SECOND FLOOR PLAN



**NOTES**

1. ROOFS SHALL COMPLY WITH THE REQUIREMENTS OF CRC R327 AND R902. ROOFS SHALL HAVE A ROOFING ASSEMBLY INSTALLED IN ACCORDANCE WITH ITS LISTING AND MANUFACTURER'S INSTALLATION INSTRUCTIONS.
2. ROOF COVERING MATERIAL SHALL BE SINGLE-PLY MEMBRANE WITH CLASS "A" FIRE RESISTANCE RATING.
3. WHERE THE ROOF PROFILE ALLOWS A SPACE BETWEEN THE ROOF COVERING AND ROOF DECKING, THE SPACES SHALL BE CONSTRUCTED TO PREVENT THE INTRUSION OF FLAMES AND EMBERS, BE FIRESTOPPED WITH APPROVED MATERIALS OR HAVE ONE LAYER OF 72 POUND MINERAL SURFACED NONPERFORATED CAP SHEET COMPLYING WITH ASTM D3099 RUNNING THE FULL LENGTH OF THE VALLEY.
4. ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS BY THE GUTTER.
5. WHERE PROVIDED, VENTILATION OPENING FOR ENCLOSED ATTICS, ENCLOSED BAYE SOFFIT SPACES, ENCLOSED RAFTER SPACES FORMED WHERE CEILING ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, AND UNDERFLOOR VENTILATION SHALL BE IN ACCORDANCE WITH SECTION 1203 OF THE CBC AND SECTIONS R327.6.1-3 OF THE CRC TO RESIST BUILDING IGNITION FROM THE INTRUSION OF BURNING EMBERS AND FLAME THROUGH THE VENTILATION OPENINGS.
6. VENTILATION OPENINGS FOR ENCLOSED EAVE SOFFIT SPACES, ENCLOSED RAFTER SPACES FORMED WHERE CEILING ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, AND UNDERFLOOR VENTILATION OPENINGS SHALL BE FULLY COVERED WITH METAL WIRE MESH, VENTS, OTHER MATERIALS, OR OTHER DEVICES THAT MEET THE FOLLOWING REQUIREMENTS:
  - A) THE DIMENSIONS OF THE OPENINGS THEREIN SHALL BE A MINIMUM OF 1/16" AND SHALL NOT EXCEED 1/8".
  - B) MATERIALS USED SHALL BE NON-COMBUSTIBLE.
  - C) MATERIALS USED SHALL BE CORROSION RESISTANT.
7. VENTS SHALL NOT BE INSTALLED ON THE UNDERSIDE OF BAYS AND CORNICES EXCEPT WHEN VENTS COMPLY WITH THE REQUIREMENTS OF SECTION R327.6.2 AND THE EXTERIOR WALL COVERING AND EXPOSED UNDERSIDE OF THE EAVE ARE OF NON-COMBUSTIBLE MATERIAL OR IGNITION RESISTANT MATERIALS AND THE VENTS LOCATED MORE THAN 12 FEET FROM THE GROUND OR WALKING SURFACE OF A DECK, PORCH PATIO, OR SIMILAR SURFACE.



1 PROPOSED ROOF PLAN  
1/4" = 1'-0"

G10



**KANG RESIDENCE**  
203 GILBERT AVE  
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ANA.WILLIAMSON@GMAIL.COM

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USE PERMIT	02/14/2017
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DRAWN: JG  
DATE: 7/5/2017  
JOB NO: 1601  
DRAWING TITLE: ROOF PLAN



SHEET: A2.4



④ EXISTING GILBERT ELEVATION  
1/8" = 1'-0"



② EXISTING GARAGE AND REAR ELEVATION  
3/32" = 1'-0"



③ EXISTING CENTRAL AVE ELEVATION  
1/8" = 1'-0"



① EXISTING INTERIOR ELEVATION / CENTRAL AVE.  
1/32" = 1'-0"



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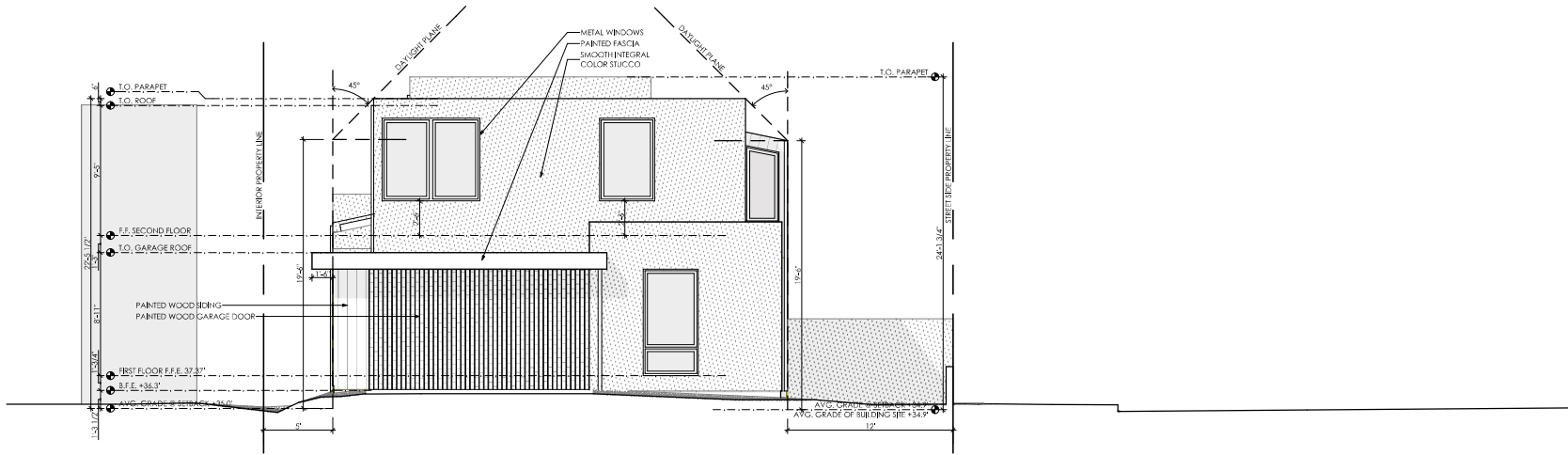
**KANG RESIDENCE**  
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ANA WILLIAMSON ARCHITECT

DATE	BY
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USE PERMIT REV2	06/12/2017

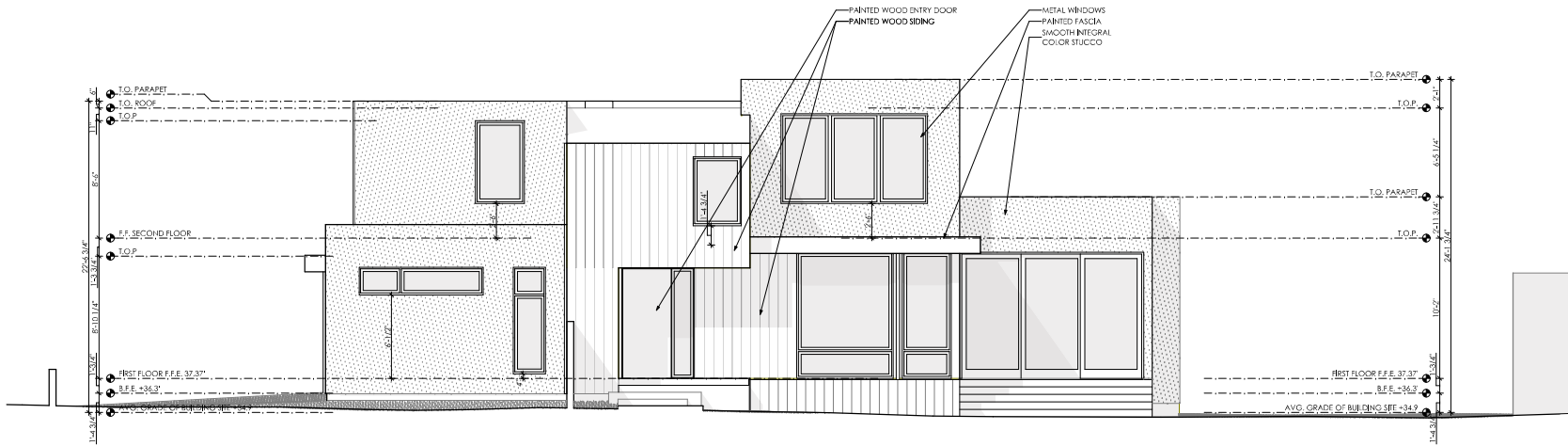
DATE: 7/5/2017  
JOB NO: 1601  
DRAWN BY: EXISTING ELEVATIONS

SHEET: A3.0





② SOUTH ELEVATION  
1/4" = 1'-0"



① EAST ELEVATION  
1/4" = 1'-0"



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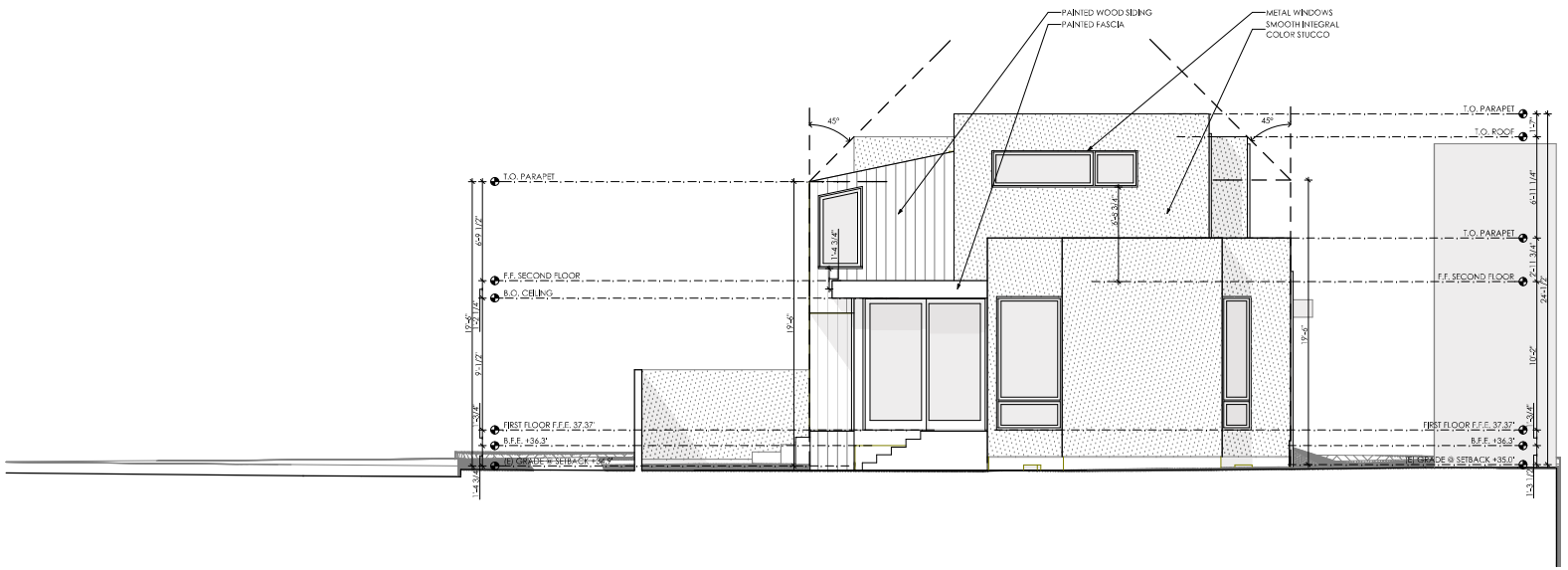
**KANG RESIDENCE**  
202 GILBERT AVE  
MENLO PARK, CA 94025  
AWA 00000510.DWG

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04/18/2017	USE PERMIT REV1
06/12/2017	USE PERMIT REV2

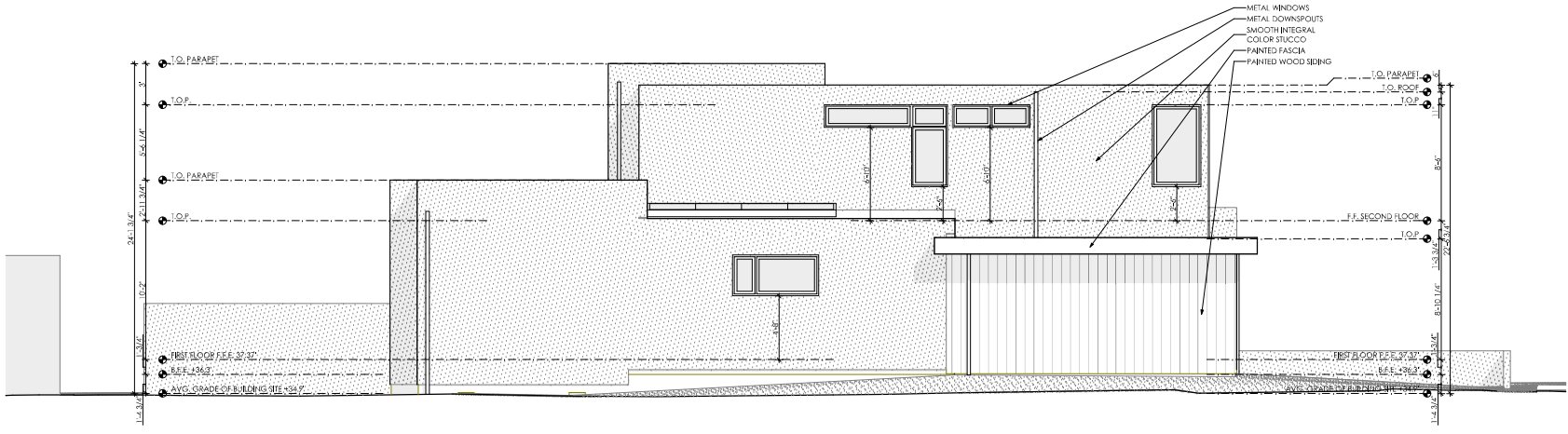
DESIGNER: JW  
DATE: 7/5/2017  
JOB NO.: 1601  
DRAWN BY: JG  
PROPOSED ELEVATIONS

SHEET:

A3.1



2 NORTH ELEVATION  
1/4" = 1'-0"



1 WEST ELEVATION  
1/4" = 1'-0"



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KANG RESIDENCE  
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MENLO PARK, CA 94025  
AWA ARCHITECTS LLP

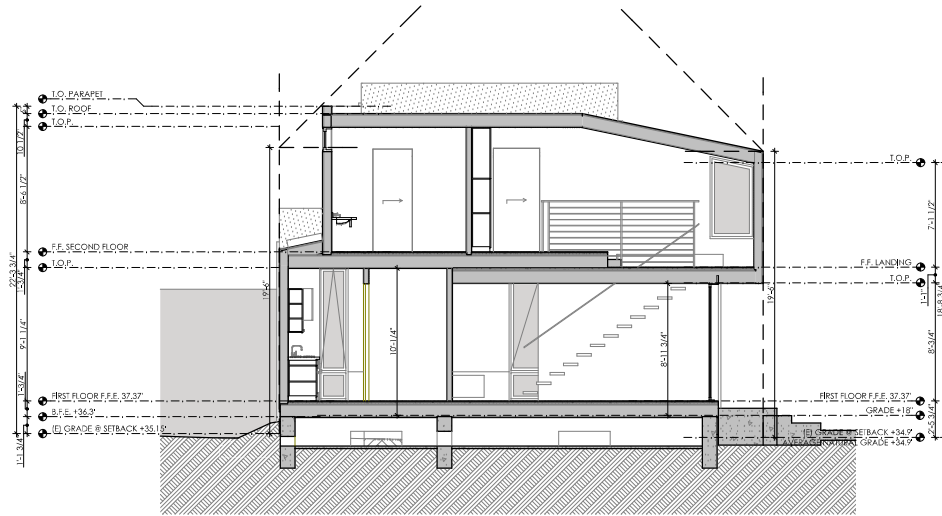
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USE PERMIT REV2	06/12/2017	

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DATE: 7/5/2017  
JOB NO.: 1601  
DRAWING TITLE: PROPOSED ELEVATIONS

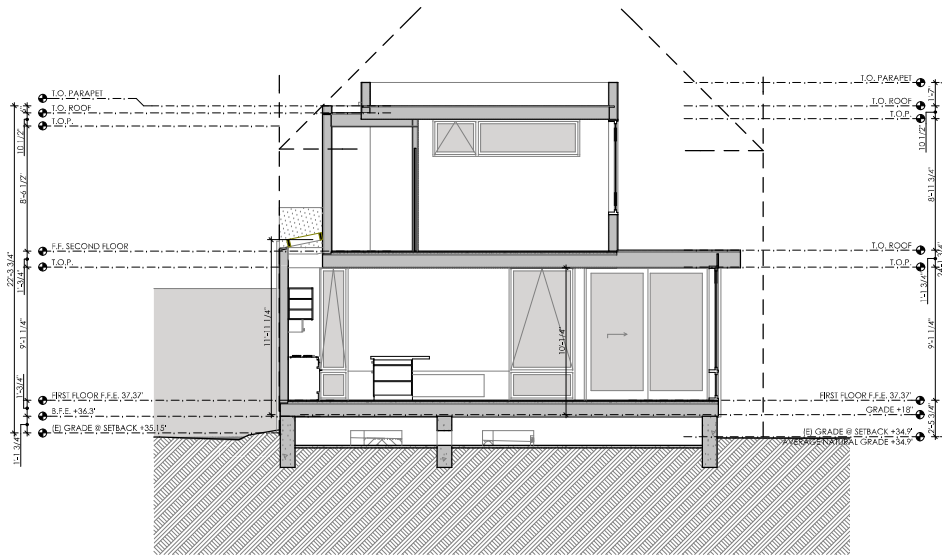
SHEET: A3.2

**NOTES**

- 1. AVERAGE NATURAL GRADE +34.9' ([34.5'+35.3']/2=34.9')



② ENTRY SECTION  
1/4" = 1'-0"



① MASTER BEDROOM SECTION  
1/4" = 1'-0"



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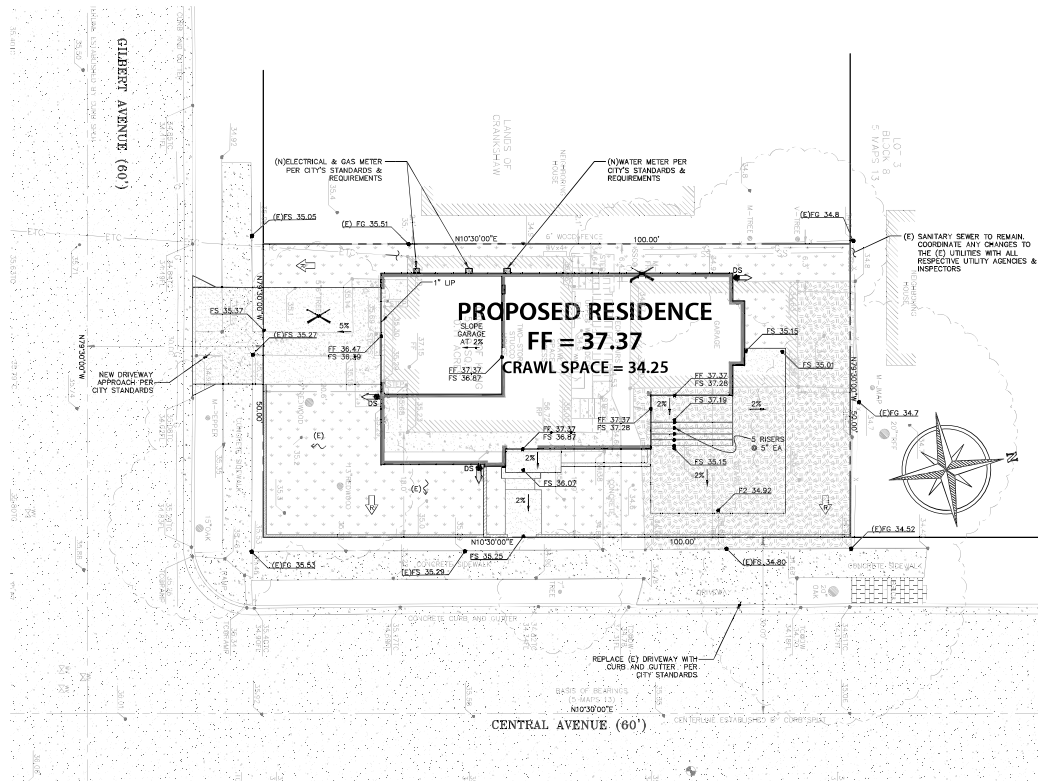
**KANG RESIDENCE**  
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MENLO PARK, CA 94025  
ANA WILLIAMSON ARCHITECT

DATE	BY
USE PERMIT	02/14/2017
USE PERMIT REV1	04/18/2017
USE PERMIT REV2	06/12/2017

OWNER: JG  
DATE: 7/5/2017  
JOB NO: 1601  
DRAWING TITLE: PROPOSED SECTIONS

SHEET:

**A4.0**



**HATCH LEGEND:**

PRELIMINARY EARTHWORK QUANTITIES (GROSS NUMBERS)	
15 C.Y. CUT	
15 C.Y. FILL	
BALANCE: 0 C.Y. EXPORT	
TOTAL TO BE MOVED: 30 C.Y. DISTURBANCE	
CONTRACTOR SHALL PERFORM THEIR OWN EARTHWORK QUANTITY CALCULATION, AND USE THEIR CALCULATION FOR BIDDING AND COST ESTIMATING PURPOSES. EARTHWORK QUANTITIES SHOWN ARE PRELIMINARY AND FOR PLANNING PURPOSES ONLY.	

	ASPHALTIC CONCRETE PAVEMENT	PER GEOTECHNICAL REPORT RECOMMENDATIONS.
	SITE CONCRETE	PER GEOTECHNICAL REPORT RECOMMENDATIONS.
	GRAVEL PATH	PER LANDSCAPE PLANS
	NEW LANDSCAPE	PER LANDSCAPE PLANS

**NOTES:**

- CONTRACTOR SHALL VERTICALLY LOCATE THE EXISTING SEWER LATERAL WITHIN THE SCOPE OF WORK. BRING DISCREPANCIES TO THE CIVIL ENGINEER VIA FORMAL WRITING PRIOR TO COMMENCING ACTIVITIES (PARTICULARLY GRADING OPERATIONS) WITHIN THE AREAS WHERE THE SYSTEM COULD BE IMPACTED.
- AREAS LACKING TOPOGRAPHIC INFORMATION (ELEVATIONS) HAVE BEEN INTERPOLATED USING STANDARD ENGINEERING METHODS. CONTRACTOR SHALL FIELD VERIFY ALL ELEVATIONS AT CONFORMS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND REPORT BACK ANY DISCREPANCIES TO THE CIVIL ENGINEER.
- ALL TREE REMOVAL SHALL BE PERFORMED AS SHOWN ON ARCHITECTURAL SHEETS AND FOLLOWING THE ARBORIST REPORT FOR THE PROJECT. THIS INCLUDES BUT IS NOT LIMITED TO GRADING OPERATIONS ADJACENT TO EXISTING TREES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PRESERVE THE INTEGRITY OF TREES TO REMAIN WHICH SHALL NOT BE AFFECTED BY CONSTRUCTION ACTIVITIES.
- CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF ALL IMPROVEMENTS DAMAGED DURING CONSTRUCTION.



**GRADING REQUIREMENTS:**

- PROVIDE POSITIVE SURFACE DRAINAGE AWAY FROM ALL STRUCTURES BY SLOPING THE FINISHED GROUND SURFACE AT LEAST 3%, UNLESS OTHERWISE NOTED ON THE PLANS. SLOPE PORCHES, LANDINGS AND TERRACES ON 1/4" PER FOOT AWAY FROM STRUCTURES UNLESS OTHERWISE NOTED ON PLANS.
- CONTRACTOR TO VERIFY ALL CONTROLLING DIMENSIONS WITH ARCHITECTURAL PLANS.
- CONTRACTOR SHALL DETERMINE EARTHWORK QUANTITIES BASED ON THE TOPOGRAPHIC SURVEY, THE GEOTECHNICAL INVESTIGATION AND THE PROPOSED SURFACE THICKNESS AND BASE THE BID ACCORDINGLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM IF A SEPARATE DEMOLITION CONTRACT HAS BEEN ISSUED TO TAKE THE SITE FROM THE WAY IN AT THE TIME OF THE BID TO THE CONDITIONS DESCRIBED IN THESE DOCUMENTS. ANY DIFFERENCES BETWEEN THE STATE IN WHICH THE BID IS OBLIGATED TO THE CONTRACTOR AND THESE DOCUMENTS SHOULD BE NOTED TO THE ENGINEER/ARCHITECT.
- ALL FILL SHALL BE COMPACTED PER THE GEOTECHNICAL REPORT AND THE CONTRACTOR SHALL COORDINATE AND COMPLY WITH THE CLIENT'S TESTING AGENCY TO TAKE THE APPROPRIATE TESTS TO VERIFY COMPACTION VALUES.
- IMPORT SOILS SHOULD MEET THE REQUIREMENTS OF THE SOILS REPORT AND SPECIFICATIONS.
- COORDINATE THE PLACEMENT OF ALL SLEEVES FOR LANDSCAPE IRRIGATION (WATER AND CONTROL WIRING) AND SITE LIGHTING PRIOR TO THE PLACEMENT OF ANY ASPHALT, BASECOURSE OR CONCRETE SURFACING. SEE LANDSCAPING AND SITE ELECTRICAL DRAWINGS.
- DO NOT ADJUST GRADES ON THIS PLAN WITHOUT PRIOR WRITTEN APPROVAL OF THE ENGINEER/ARCHITECT.
- SITE STRIPPINGS THAT CONTAIN ONLY ORGANIC MATERIAL (NO DEBRIS TRASH, BROKEN CONC. OR ROCKS GREATER THAN 1" IN DIAMETER) MAY BE USED IN LANDSCAPE AREAS, EXCEPT FOR AREAS BOULDERED AS MENTIONED TOP SOIL BY THE LANDSCAPE DRAWINGS. EXCESS STRIPPINGS SHALL BE REMOVED FROM SITE.
- ROUGH GRADING TO BE WITHIN 0.1" AND FINISH GRADES ARE TO BE WITHIN 0.05"; HOWEVER CONTRACTOR SHALL NOT CONSTRUCT ANY IMPROVEMENTS THAT WILL CAUSE WATER TO POND OR NOT MEET REQUIREMENTS IN GRADING NOTE #1.
- THE CONTRACTOR SHALL EXERCISE EXTREME CARE TO CONFORM TO THE LINES, GRADES, SECTIONS, AND DIMENSIONS AS SET FORTH ON THESE PLANS. ALL GRADED AREAS SHALL CONFORM TO THE VERTICAL ELEVATIONS SHOWN WITH A TOLERANCE OF ONE-TENTH OF A FOOT, WHERE GRADED AREAS DO NOT CONFORM TO THESE TOLERANCES, THE CONTRACTORS SHALL BE REQUIRED TO DO CORRECTIVE GRADING AT NO EXTRA COST TO THE CLIENT.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM THE GROUND ELEVATIONS AND OVERALL TOPOGRAPHY OF THE SITE PRIOR TO THE START OF CONSTRUCTION AS TO THE ACCORDANCE BETWEEN THE WORK SET FORTH ON THESE PLANS AND THE WORKING CONDITIONS. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE CONSTRUCTION MANAGER AND CIVIL ENGINEER IN WRITING PRIOR TO THE START OF CONSTRUCTION WHICH MAY REQUIRE CHANGES IN DESIGN AND/OR AFFECT THE EARTHWORK QUANTITIES.
- TRENCHES SHALL NOT BE LEFT OPEN OVERNIGHT IN EXISTING PUBLIC STREET AREAS. CONTRACTOR SHALL BACKFILL TRENCHES, OR PLACE STEEL PLATING WITH ADEQUATE CUTOBACK TO PREVENT SHIFTING OF STEEL PLATE AND/OR HOTAR ASPHALT REQUIRED TO PROTECT OPEN TRENCHES AT THE END OF THE WORKING DAY.
- STRUCTURE WALLS: PER CBC 2304.11.2.2 WOOD SUPPORTED BY FOUNDATIONS PROVIDE 4" MINIMUM CLEAR TO EXTERIOR GRADE.

**ABBREVIATIONS:**

AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
AD	AREA DRAIN
ATD	ATRIUM DRAIN
BFFD	BACK FLOW PREVENTION DEVICE
BSTD	BRICKSLOT TRENCH DRAIN
BW	BOTTOM OF WALL ELEVATION
CB	CATCH BASIN
CL	CENTER LINE
CS	CRAWL SPACE ELEVATION
CP	CAST IRON PIPE
CONC	CONCRETE
DD	DECK DRAIN
DDV	DOUBLE DETECTOR CHECK VALVE
DDP	DUCTILE IRON PIPE
DS	ROOF DOWN SPOUT
DWL	DOMESTIC WATER LINE
DWV	DRYWELL CATCH BASIN
DWV	DRIVEWAY
E	EXISTING
EG	EXISTING GRADE
ELEC	ELECTRICAL
EM	ELECTRICAL METER
EP	EDGE OF PAVEMENT
FC	FACE OF CURB ELEVATION
FDC	FIRE DEPARTMENT CONNECTION
FF	FINISHED FLOOR ELEVATION
FG	FINISHED GROUND ELEVATION
FL	FLOW LINE ELEVATION
FM	FORCE MAIN LINE
FS	FINISHED SURFACE ELEVATION
FP	FINISHED PAVEMENT ELEVATION
FW	FIRE WATER LINE
GB	GRADE BREAK
GM	GAS METER
GR	GRATE ELEVATION
GV	GATE VALVE
HP	HIGH POINT
IWV	INVERT ELEVATION
JP	JOINT TRENCH
LD	LANDSCAPE DRAIN
LF	LINEAR FEET
LI	LOW POINT
NI	NEW
PIV	PISTON INDICATOR VALVE
PKG	PARKING
POC	POINT OF CONNECTION
RET	RETAINING WALL
RM	RISE
S	SLOPE
SA	SEE ARCHITECTURAL PLANS
SD	STORM SUB DRAIN CLEANOUT
SDCO	STORM SUB DRAIN
SDCO	STORM DRAIN CLEANOUT
SGB	SEE GEOTECHNICAL REPORT
SIB	SEE BILET CATCH BASIN
SLP	SEE LANDSCAPE PLANS
SP	SEE PLUMBING PLANS
SP	SANITARY SEWER
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEANOUT
SSP	SEE STRUCTURAL PLANS
TW	TOP OF WALL ELEVATION
TYP	TYPICAL
USD	UNDERSLAB DRAIN
VD	PIPE VERTICAL DROP
W	DOMESTIC WATER LINE
WM	WATER METER



FOR PLAN REVIEW ONLY

NOT FOR CONSTRUCTION

Project Contact: MBaris Kostovicky | mk@kprox.com

DATE: 01/25/2017

DESCRIPTION: USE PERMIT SUBMITTAL

**KANG RESIDENCE**  
202 GILBERT AVE  
MENLO PARK, CA 94025

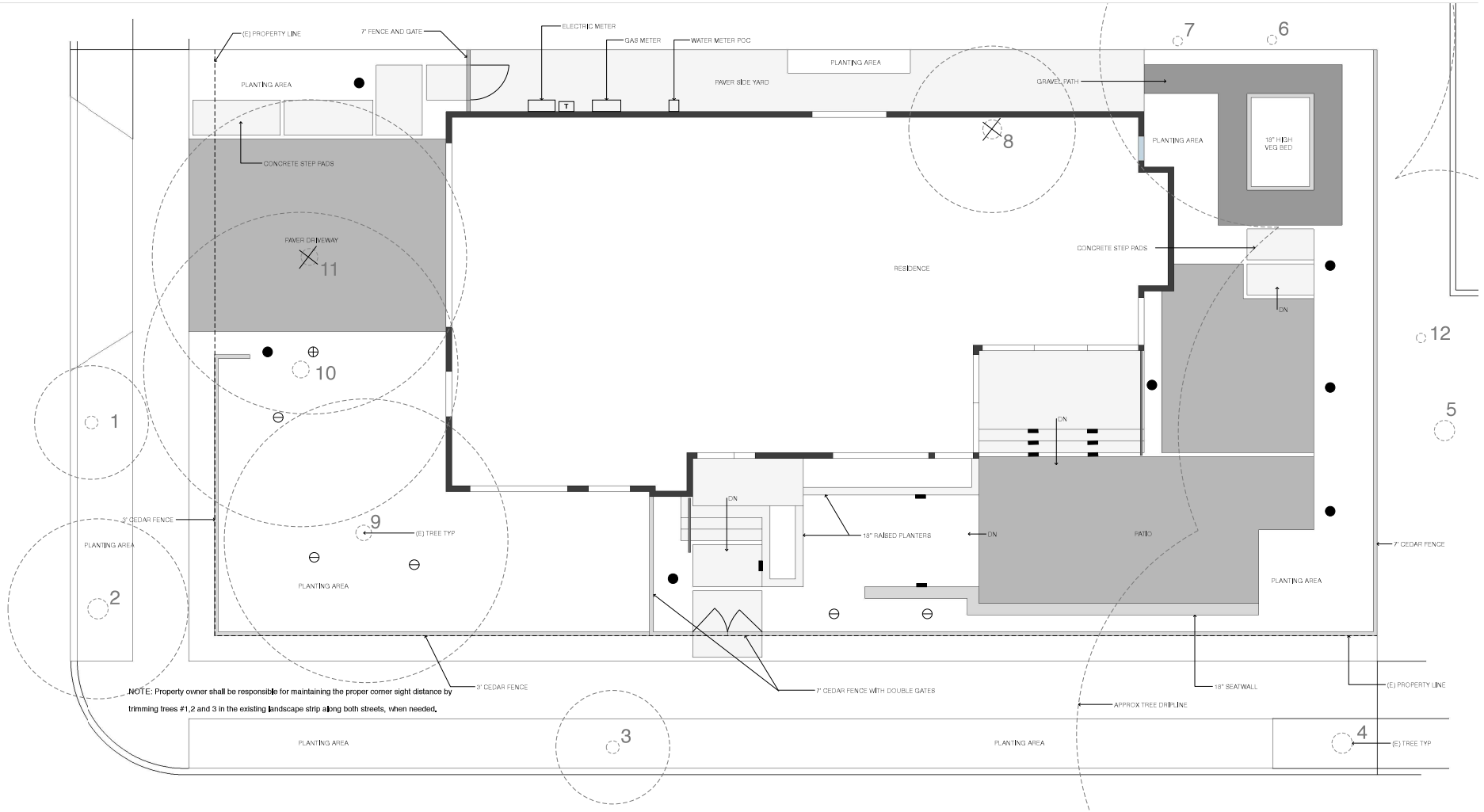
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PROJECT No:	16-2293
DATE:	01/25/2017
SCALE:	1" = 10'
DESIGN/DRAWN:	MK
CHECKED:	JK

SHEET TITLE  
**PRELIMINARY GRADING & UTILITY PLAN**

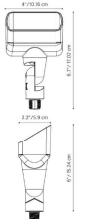
**C1.0**



NOTE: Property owner shall be responsible for maintaining the proper corner sight distance by trimming trees #1, 2 and 3 in the existing landscape strip along both streets, when needed.

**PB: Up Light**

NUMBER OF LEDS	1	3	20C
NALOGEN LUMEN EQUIVALENT	10 Watt	30 Watt	10 Watt
USEFUL LED LIFE (hrs)	50,000 hrs avg	50,000 hrs avg	50,000 hrs avg
INPUT VOLTAGE	10 to 27V	10 to 27V	9 to 27V
BEAM ANGLE	2.4	4.5	7.2
WATTS USED	2.0	4.2	6.0
LUMENS PER WATT EFFICACY	14	39	37
TOTAL LUMENS	67	160	122
DR (lm)	83	82	83
CEMP (CENTER BEAM CANDLE POWER) (cd)	37	91	122
SHOWN FILTER	2700K	2700K	N/A
FROSTED FILTER	3600K	3600K	N/A
GREEN FILTER	4500K	4500K	N/A
BLUE FILTER	5200K	5200K	N/A



**TREE UPLIGHT DETAIL**

5

Tree Species	DBH	CON	HT/SP Comments
1P <i>Azoreum sinuac (Rhus lancea)</i>	13.6	45	12/12 Fair vigor, poor form, codominant at base, heavily pruned in past, abundance of unmanaged growth, street tree.
2P <i>Coast live oak (Quercus agrifolia)</i>	14.2	65	25/15 Good vigor, fair form, multi leader at 6 feet with fair crotches, street tree.
3P <i>Ceanothus (Ceanothus americanus)</i>	5.6	60	20/12 Fair vigor, fair form, young tree, poor species for street tree.
4P <i>Coast live oak (Quercus agrifolia)</i>	20.1	70	30/25 Good vigor, fair form, multi leader at 6 feet with fair crotches, street tree.
5**P <i>European beech (Fagus sylvatica)</i>	18	75	40/30 Good vigor, fair form, multi leader at 10 feet, 2 feet from property line, foliage runs property by 12 feet.
6**P <i>Floowering pear (Pyrus calleryana)</i>	8	65	25/15 Good vigor, fair form, multi leader at 6 feet, 1 foot from property line.
7**P <i>Floowering pear (Pyrus calleryana)</i>	8	65	25/15 Good vigor, fair form, multi leader at 6 feet, 1 foot from property line.
8R <i>Fruiting plum (Prunus spp.)</i>	8.9	45	20/15 Poor vigor, fair form, poor location, in decline.
9 <i>Redwood (Sequoia sempervirens)</i>	12.8	85	40/15 Good vigor, good form.
10P <i>Redwood (Sequoia sempervirens)</i>	16.7	85	40/15 Good vigor, good form.
11R <i>Black walnut (Juglans nigra)</i>	10.6	45	20/15 Fair vigor, poor form, suppressed, codominant at base.
12**P <i>Japanese maple @base east</i>	45	45	15/10 Poor vigor, poor form, multi leader at base, large dead sections in canopy, suppressed by beech tree #5, leans heavily into property.

**EXISTING TREE LIST PER ARBORISTS REPORT**

4

**LANDSCAPE CONCEPT PLAN 1/8" = 1'**

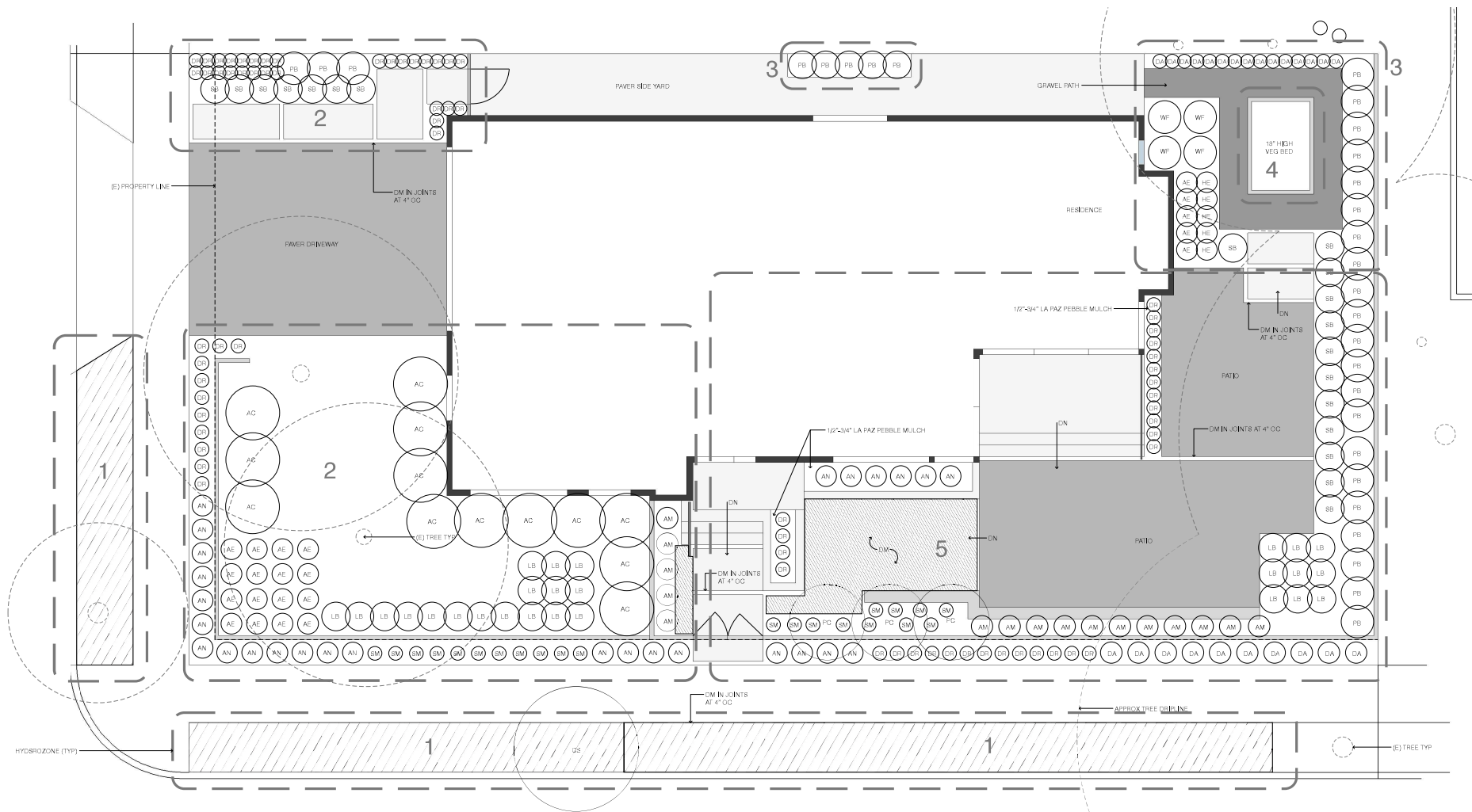
<p><b>DRIVEWAY AND SIDE YARD PAVERS:</b> PAVE: INTERLOCK 8x24 PLANK PAVERS IN COLOR OF OWNERS CHOICE</p> <p><b>REAR FIRE PIT PATIO:</b> STEPSTONE 18X18 CALARIC SANDBLASTED PAVEN IN COLOR OF OWNERS CHOICE</p> <p><b>FRONT ENTRY WALKWAY, REAR LANDING AND STEP PADS:</b> POURED IN PLACE COLORED CONCRETE WITH SANDBLAST FINISH, COLOR TBD WITH OWNER</p> <p><b>VEGETABLE GARDEN PATHWAY:</b> 3/8" GREY BASALT GRAVEL WITH STEEL HEADERBOARD</p> <p><b>PREFAB FIRE PIT:</b> PROPANE FIRE PIT BY OWNER</p> <p><b>18" SEATWALL AND PLANTERS:</b> POURED IN PLACE COLORED CONCRETE WITH SANDBLAST FINISH, COLOR TBD WITH OWNER</p>	<p><b>FRONT ACCENT FENCE:</b> 36" HIGH HORIZONTAL CEDAR ACCENT FENCE WITH 4X4 POSTS, STAINING/ PAINTING BY OTHERS</p> <p><b>SIDE YARD AND PROPERTY LINE FENCE:</b> 36" HIGH HORIZONTAL CEDAR ACCENT FENCE WITH 4X4 POSTS, STAINING/ PAINTING BY OTHERS</p>	<ul style="list-style-type: none"> <li>● PATHLIGHTS (7): HINKLEY ATLANTS 1518 BZ-LED</li> <li>⊖ TREE UPLIGHTS (9): FX LUMINAIRE PS SLED IN BZ (SEE SPECIFICATIONS THIS SHEET)</li> <li>⊕ TREE DOWN LIGHTS (9): FX LUMINAIRE PS SLED IN BZ</li> <li>■ WALL AND STEP LIGHTS (9): FX LUMINAIRE UN 1LED IN BZ</li> <li>T 300W TRANSFORMER WITH PHOTOCELL ANDS TMR</li> </ul>
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**SUGGESTED MATERIALS LIST**

**LV LIGHTING LEGEND**

3

2



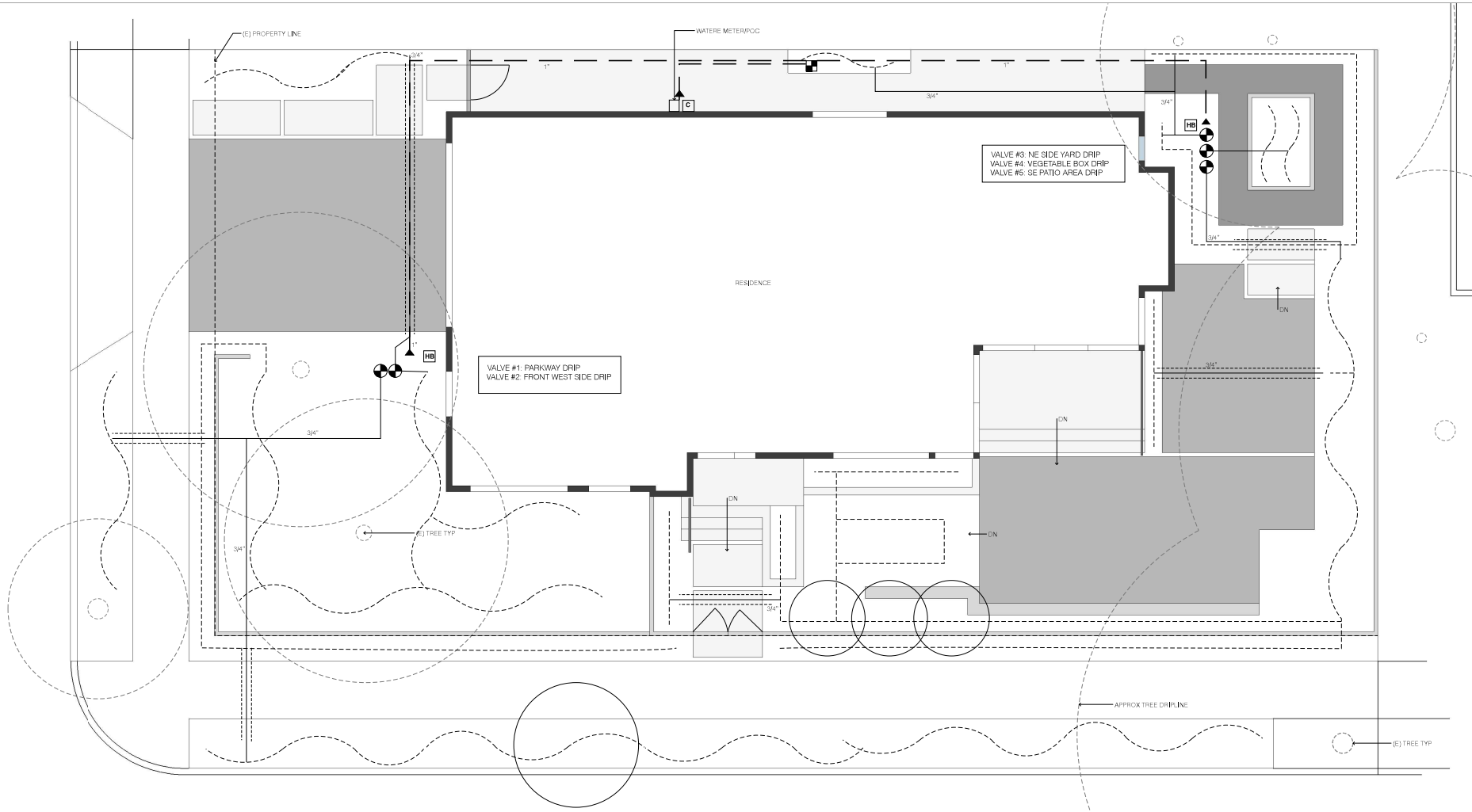
Kang Residence  
202 Gilbert  
Menlo Park, CA

**Planting Plan**

Drawn 11/30/16  
Rev 4/2/17  
By: JGR  
Scale: NOTED

PLANTING PLAN										1/8" = 1'	1			
SYM	QTY	SIZE	BOTANICAL NAME	COMMON NAME	WATER USE CATEGORY	HYDROZONE	TYPE OF IRRIGATION	LOCATION	WATER USE CATEGORY	SQUARE FOOTAGE	NOTE: "I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape and irrigation design plan", signed by the licensed landscape professional:  4/2/17	1. This project is applied for under the Menlo Park Prescriptive Compliance Option 2. This is a rehabilitated private residential landscape project 3. The water supply type is potable and is provided by Cal Water Service 4. Incorporate compost at the rate of 4 cubic yards per 1000 sf to a depth of 6" into all landscape areas 5. See plant list for low and med water use plants. These plants are average WUCOLS plant factor of 0.3 6. Apply a minimum three inch layer of bark mulch in all planting areas 7. No mow meadow grass does not exceed 25% of landscape areas. The turf on the parkway is adjacent to a parking strip and is less than 10 feet wide and watered by subsurface drip irrigation		
PC	3	24" BOX	PRUNUS CAROLINIANA STD	LAUREL CHERRY	LOW									
CS	1	24" BOX	CELTIS SINENSIS STD	CHINESE HACKBERRY	LOW									
PB	X	15G	POCOONATUS 'BEE BLUE'	POCOONATUS	MED	1	DRIP	PARKWAY NO MOW (OFF SITE)	MED	430				
AC	X	5G	ACANTHUS MOLLIS	BEARS BREECH	MED	2	DRIP	FRONT WEST SIDE	MED	460				
AN	X	5G	ANGOCANTHOS ORANGE DWARF	KANGAROO PAW	LOW	3	DRIP	NORTH EASTSIDE YARD	MED	293				
AE	36	1G	ASPHODISTRA ELIATOR	CASH TROPIC PLANT	LOW	4	DRIP	VEGETABLE BED	MED	38				
AM	X	5G	ASPARAGUS MEYERII	ASPARAGUS FERN	MED	5	DRIP	SOUTH-EAST PATIO AREA	MED	618				
DA	X	1G	DIANELLA TASMANICA VARI	FLAX LILY	MED									
DR	X	1G	DIANELLA REVOLUTA	FLAX LILY LITTLE REV	MED									
GS	7	1G	GELSEMIUM SEMPERVIRENS	CAROLINA JESSAMINE STK	LOW									
HE	39	1G	HELLEBORES SPP	HELLEBORE	MED									
LB	7	1G	LOWLANDRA 'BREEZE'	LOWLANDRA	LOW									
SM	X	1G	SENECIO MANDRALISCAE	KLEINIA	LOW									
SS	11	1G	STACHYS SILVER CARPET	LAMBS EAR	LOW									
WF	X	5G	WICKWARREN FIBRATA	CHAM FERN	MED									
DM	X	FLAT	DYMONDIA MARGARETAE	DYMONDIA 4" OC	LOW									
TOTAL LANDSCAPE AREA: 1,780 SF														
NOTE: "I agree to comply with the requirements of the Water Efficient Landscape Ordinance and submit a complete Landscape Documentation Package", signed by the applicant and/or owner.  4/2/17														
PLANTING LEGEND/WATER USE CATEGORY LIST					4	HYDROZONE LAYOUT LIST					3	PLANTING NOTES		2





Kang Residence  
202 Gilbert  
Menlo Park, CA

**Irrigation Plan**

<b>IRRIGATION LAYOUT PLAN</b>		<b>1/8" = 1'</b>	<b>1</b>
	<p><b>C</b> IRRIGATOR RAINCAL RD-900 9 STATION WEATHER BASED CONTROLLER WITH RAIN SENSOR (VERIFY PLACEMENT) FEBCO 825Y 1" REDUCED PRESSURE BACKFLOW PREVENTER (VERIFY PLACEMENT) 1" GATE VALVE BEFORE EACH VALVE SET PVC SCH 40 MAINLINE (SIDE NOTED: MINIMUM 18" DEPTH) PVC SCH 40 LATERAL LINE (SIDE NOTED: MINIMUM 12" DEPTH) RAINBIRD PEB SERIES CONTROL VALVES (OR EQUAL) SIZED PER MAINLINE. DRIP LINES TO INCLUDE IN LINE PRESSURE REGULATOR AND Y FILTER AGRI-MAINLINE DRIP LINES WITH 9 GPH CHECK VALVE EMITTERS AT 12" SPACING WITH FLUSH VALVES AT END OF RUNS (STAKED TO GRADE WITH 9" LANDSCAPE STAPLES), MEETS ANSI STANDARD. 3/4" BRASS HOSE BIB (VERIFY LOCATIONS WITH OWNER) 3" STYRENE SLEEVE UNDER HANDSCAPE WHERE NECESSARY</p>	<p>1) VERIFY POINT OF CONNECTION (POC) AND PLACEMENT OF BACKFLOW PREVENTER 2) INCLUDE MASTER SHUT OFF VALVE AT POINT OF CONNECTION 3) VERIFY SITE WATER PRESSURE AT 55 PSI MIN 4) VERIFY ELECTRICAL SOURCE AND PLACEMENT OF CONTROLLER WITH OWNER 5) VERIFY OPERATION OF SYSTEMS AND PRESSURE BEFORE BACKFILLING TRENCHES, DRIP LINES TO BE SECURED TO GRADE WITH 9" LANDSCAPE STAPLES AND COVERED WITH MULCH 6) SYSTEM LAYOUT IS DIAGRAMMATIC. ACTUAL FIELD CONDITIONS WILL DICTATE FINAL LAYOUT, ADDITION OF DRIP LINES, ETC 7) VERIFY CONTROL WIRE PLACEMENT AND VALVE OPERATION 8) VERIFY RAIN SENSOR IN FIELD 9) CONTRACTOR SHALL BE RESPONSIBLE FOR SETTING AND MONITORING IRRIGATION SYSTEM TO APPLY ADEQUATE WATER FOR ESTABLISHMENT BUT TO ELIMINATE RUNOFF AND SOIL SATURATION 10) CONTRACTOR TO SUBMIT IRRIGATION SCHEDULE TO OWNER AT COMPLETION OF INSTALLATION AND WARRANTY PERIOD 11) CONTRACTOR SHALL VERIFY LOCATION OF ALL NEW UNDERGROUND UTILITIES PRIOR TO ANY TRENCHING OR IRRIGATION 12) HAND TRENCHING TO BE DONE NEAR EXISTING TREES. NO ROOTS 1" DIAMETER AND LARGER SHALL BE CUT WITHOUT APPROVAL OF OWNER. 13) VERIFY AND COORDINATE INSTALLATION OF MAINLINE AND LATERAL LINES UNDER ALL PAVEMENT 14) CONTROL WIRES SHALL BE SET ADJACENT OF MAINLINE</p>	
<b>SUGGESTED MATERIALS LIST</b>	<b>3</b>	<b>IRRIGATION NOTES</b>	<b>2</b>

Drawn 11/30/16  
Rev 4/2/17  
By: JGR  
Scale: NOTED

Kang Residence  
202 Gilbert Ave, Menlo Park

APN: 062-365-150  
Plan Check #: PLN2017-00002

## Project Description

To Whom It May Concern:

The original project description as submitted by Ana Williamson Architects is attached and nothing has changed in terms of project scope, and the proposal to demolish an existing multi-unit residential property and the construction of a new two-story single family residence. Please see the attached project description for details.

This use permit revision request is to ask the Planning Commission for their kind consideration to modify the effective date of this project from July 17<sup>th</sup> 2019 to July 17<sup>th</sup> 2020. The reason for this request is that the owner has been through major upheaval this year in terms of job and career status and was extremely stressed amidst a company reorganization and loss of job. Consequently the owner lost track of the deadlines, was actually confused that it was possible to have a 2 year extension to the use permit. Therefore the building plans are not ready and cannot be submitted by the July 17<sup>th</sup> date. However the team is working extremely hard to complete plans and feels they will be ready by the end of October. Hence this request to modify the effective date.

Sincerely

Harbrinder S Kang

Harbrinder & Surinder Kang  
740 Menlo Oaks Drive  
Menlo Park, CA 94025  
650 704 8974



## STAFF REPORT

### Planning Commission

**Meeting Date:** 8/26/2019

**Staff Report Number:** 19-063-PC

**Public Hearing:** Use Permit Revision/Brian Nguyen/  
445 Oak Court

### Recommendation

Staff recommends that the Planning Commission approve a request for a use permit revision to modify the approved windows and doors to change the proposed material to fiberglass from aluminum and wood-clad, on a new two-story residence including a basement, detached garage, and secondary dwelling unit on a substandard lot with regard to lot width, located in the R-1-U (Single-Family Urban Residential) zoning district. The Planning Commission's approval of the previous use permit was appealed to the City Council. The City Council approved the use permit on July 18, 2017. The Planning Commission approved a use permit revision on May 20, 2019. The recommended actions are included in Attachment A.

### Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposed use permit revision.

### Background

#### *Site location*

The subject site is located at 445 Oak Court, between Menalto Avenue and Woodland Avenue in the Willows neighborhood. A location map is included as Attachment B. The subject parcel is substandard with regards to the lot width. The substandard width occurs at the rear portion of the property, while the front and center of the lot meet the minimum 65 foot lot width. The subject parcel is surrounded by single-family homes which are also in the R-1-U zoning district. This neighborhood has a mix of housing stock, which includes one and two-story single-family residences of various architectural styles including ranch, farmhouse, mission and craftsman style homes. Oak Court does not allow through access for vehicles between the 100- and 200-addressed properties, although pedestrians and bicyclists can travel the whole block.

#### *Previous Planning Commission review*

On January 9, 2017, the Planning Commission reviewed a use permit application at 445 Oak Court for a new two-story residence including a basement, detached garage, and secondary dwelling unit on a substandard lot with regard to lot width located in the R-1-U (Single-Family Urban Residential) zoning district. The Planning Commission indicated general support for the proposal, but continued the use permit application with direction to modify the plans to reduce the building height, consider different screening

trees, screen the second story balcony, and reconsider the amount of paving. The Planning Commission staff report and meeting minutes are included as links in Attachments C and D.

On May 22, 2017, the Planning Commission reviewed a revised proposal for the subject property and conditionally approved the project with a requirement to reduce the building height an additional one foot, six inches (six inches from the first floor height and one foot from the second floor height). The Planning Commission staff report and meeting minutes are included as links in Attachments E and F.

On June 2, 2017 the Planning Commission's approval was appealed to the City Council and on July 18, 2017 the City Council reviewed the use permit application. The City Council voted to deny the appeal in part and uphold the Planning Commission's use permit approval, with an additional condition requiring a third party arborist, hired by the applicant, to periodically inspect and provide reports to the City Arborist to ensure that tree protection measures are followed throughout the project. The City Council staff report and meeting minutes are included as links in Attachments G and H.

On January 17, 2019, staff sent a substantial conformance memo to the Planning Commission for proposed changes to the approved plan set to modify the approved elevations by adding two new skylights on the roof and two new second story windows on the right-side elevation. Although the proposed modifications warranted notification of the Planning Commission, staff believed the modifications were in substantial conformance with the original approval. No Planning Commissioners requested to discuss the changes at the next Planning Commission meeting and the modifications were subsequently incorporated into the building permit for the approved project. A link to the first conformance memo is included as Attachment I.

On May 20, 2019, the Planning Commission reviewed and approved a use permit revision for the subject property to modify the approved front entryway to include a new awning and front door. The Planning Commission staff report and meeting minutes are included as links in Attachments J and K.

On July 11, 2019 staff sent a substantial conformance memo to the Planning Commission for proposed changes to the approved plan set to modify the approved windows and doors. A Planning Commissioner requested to discuss the changes at the July 22, 2019 Planning Commission meeting and the modifications were determined by a vote of the Planning Commission (5-1 with Commissioner DeCardy opposed and Commissioner Kennedy absent) to not be in substantial conformance with the approved plans and the applicant was directed to apply for a use permit revision for the required changes. A link to the second conformance memo is included as Attachment L.

### ***Building and construction***

On July 23, 2018, the City issued a building permit for the new two-story residence. Construction is currently underway on the approved project, including the revisions approved in the first substantial conformance memo and previous use permit revision.

## **Analysis**

### ***Project description***

At this time, the applicant is requesting a use permit revision to make changes to the approved windows and doors. The window and doors for the structures (main home, secondary dwelling unit, and garage) were not installed per the approved plans during the construction process. The Planning Commission evaluated the proposed modifications through the substantial conformance memo process and determined that this change would not be in substantial conformance with the previously approved project and consequently requires a use permit revision be reviewed by the Planning Commission.

The previously approved project included demolishing the existing single-story, single-family residence and constructing a new two-story residence with a basement. The project included a detached two-car garage and a 699-square foot secondary dwelling unit in the rear of the property. The proposed project also included the removal of two heritage trees: one incense cedar and one English walnut, which were in poor health. Eight non-heritage size trees throughout the site were also proposed for removal.

The proposed revisions would not change the approved Floor Area Limit (FAL) or building coverage. A data table summarizing parcel and project attributes is included for reference (Attachment J). The project plans and the applicant's project description letter, describing the proposed revisions, are included as Attachments K and L, respectively. The project would continue to adhere to all Zoning Ordinance regulations for height, daylight plane, and parking.

### ***Design and materials***

The 2017 use permit approval included a new two-story residence with a modern, Spanish style and a low pitched, mission tile roof. The front entry featured a custom wood stained door. The approved siding was white washed stucco plaster with a smooth hand troweled finish. Additional architectural interest was created by the wood stained rafter tails and wrought iron railing and awning details. The windows and doors were consistent throughout the residence and featured casement clad wood with simulated divided lites in a bronze color. The design of the detached garage and secondary dwelling unit were consistent with the main residence featuring the same stucco siding, architectural details, wood doors and windows.

### **Proposed project revisions**

The applicant is now requesting to revise the approved elevations to include the installed windows and doors which have the following attributes;

- The approved window and doors consisted of aluminum and wood clad windows and the installed window and doors are fiberglass.
- The approved doors had grids and the proposed doors would not have grids. The front entry door would remain a custom wood door.
- The majority of the approved windows had mullions dividing the windows into thirds and the proposed single hung windows would have a divider similar to a grid in the middle of the window, dividing the upper and lower portion equally in half.
- On the first floor rear elevation, the bi-fold six panel door and would be revised to a sliding four panel door and the bi-fold four panel window would be revised to three single hung windows.
- The installed window and doors would have the same sizes and locations on the elevations and would feature a dark bronze color similar to the approved windows.

Overall staff believes that the revised windows and doors would be different than the approved plans, but would have a similar style and color and would have minimal visual impacts to the structures. Additionally the most substantial changes would be located on the first floor rear elevation which would be less visible. In their project description letter, the applicant indicates that the window and doors were changed to fiberglass due to their increased strength and energy efficiency. The applicant's project data table, proposed plans, and description letter are included as Attachments M, N, and O, respectively.

### ***Trees and landscaping***

No additional impacts to the trees or landscaping are anticipated with the proposed revisions.

### ***Correspondence***

Staff has not received any correspondence on the proposed use permit revision. The applicant indicated that they did some outreach for the proposed changes which included in person conversations with some of their neighbors.

### ***Conclusion***

Staff does not believe the proposed changes materially change the neighborhood compatibility of the approved residence. Staff believes that with the proposed revisions, the architectural style of the approved residence would remain generally intact, continue to be attractive, and would continue to be consistent with the surrounding neighborhood. Staff recommends that the Planning Commission approve the proposed revisions to the project.

### ***Impact on City Resources***

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

### ***Environmental Review***

The project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.

### ***Public Notice***

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

### ***Appeal Period***

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.



## Attachments

- A. Recommended Actions
- B. Location Map
- C. Planning Commission staff report, January 9, 2017 -  
<https://www.menlopark.org/DocumentCenter/View/12638/F2---445-Oak-Court?bidId>
- D. Planning Commission minutes, January 9, 2017 -  
[https://www.menlopark.org/AgendaCenter/ViewFile/Minutes/\\_01092017-2857](https://www.menlopark.org/AgendaCenter/ViewFile/Minutes/_01092017-2857)
- E. Planning Commission staff report, May 22, 2017 -  
<https://www.menlopark.org/DocumentCenter/View/14493/F1---445-Oak-Court?bidId=>
- F. Planning Commission minutes, May 22, 2017 -  
[https://www.menlopark.org/AgendaCenter/ViewFile/Minutes/\\_05222017-2927](https://www.menlopark.org/AgendaCenter/ViewFile/Minutes/_05222017-2927)
- G. City Council staff report, July 18, 2017 -  
<https://www.menlopark.org/DocumentCenter/View/15042/I1---445-Oak-Court-appeal?bidId>
- H. City Council minutes, July 18, 2017 -  
[https://www.menlopark.org/AgendaCenter/ViewFile/Minutes/\\_07182017-2947](https://www.menlopark.org/AgendaCenter/ViewFile/Minutes/_07182017-2947)
- I. Substantial Conformance Memo, January 17, 2019 -  
<https://www.menlopark.org/ArchiveCenter/ViewFile/Item/8382>
- J. Planning Commission staff report, May 20, 2019 -  
[https://www.menlopark.org/DocumentCenter/View/21603/F1\\_445-Oak-Court?bidId](https://www.menlopark.org/DocumentCenter/View/21603/F1_445-Oak-Court?bidId)
- K. Planning Commission minutes, May 20, 2019 -  
[https://www.menlopark.org/AgendaCenter/ViewFile/Minutes/\\_05202019-3282](https://www.menlopark.org/AgendaCenter/ViewFile/Minutes/_05202019-3282)
- L. Substantial Conformance Memo, July 11, 2019 -  
<https://www.menlopark.org/ArchiveCenter/ViewFile/Item/9548>
- M. Data Table
- N. Project Plans
- O. Project Description Letter

## Disclaimer

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

**Exhibits to Be Provided at Meeting**

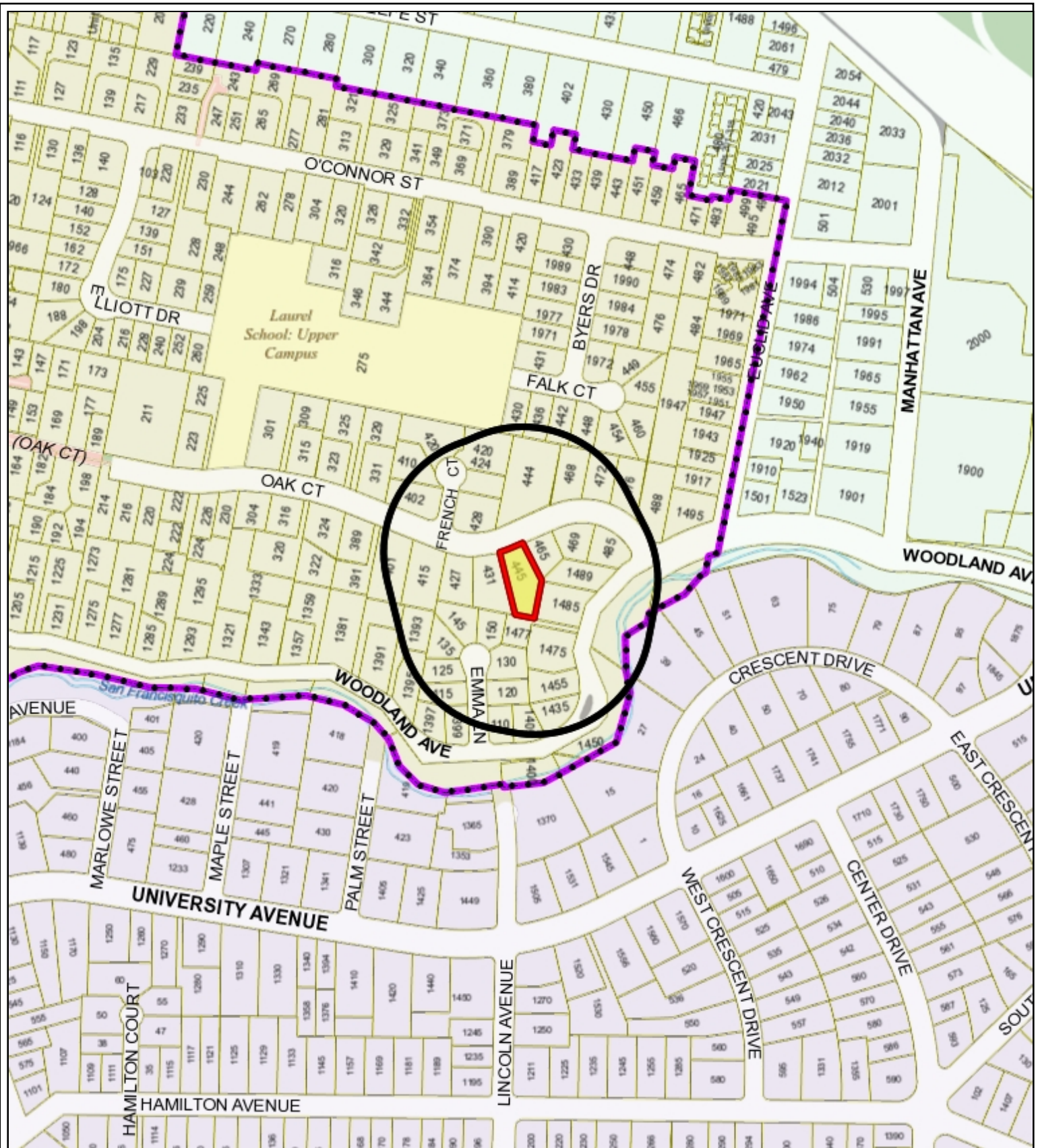
None

Report prepared by:  
Kaitie Meador, Senior Planner

Report reviewed by:  
Kyle Perata, Principal Planner

## 445 Oak Court – Attachment A: Recommended Actions

<b>LOCATION:</b> 445 Oak Court	<b>PROJECT NUMBER:</b> PLN2019-00022	<b>APPLICANT:</b> Brian Nguyen	<b>OWNERS:</b> Brian Nguyen
<b>REQUEST:</b> Use permit revision to modify the approved windows and doors to change the proposed material to fiberglass from aluminum and wood-clad, on a new two-story residence including a basement, detached garage, and secondary dwelling unit on a substandard lot with regard to lot width, located in the R-1-U (Single-Family Urban Residential) zoning district. The previous use permit was approved by the City Council in July 18, 2017.			
<b>DECISION ENTITY:</b> Planning Commission	<b>DATE:</b> August 26, 2019	<b>ACTION:</b> TBD	
<b>VOTE:</b> TBD (Barnes, Kennedy, Doran, Riggs, Tate, and DeCardy)			
<b>ACTION:</b>			
<ol style="list-style-type: none"> <li>1. The project is categorically exempt under Class 3 (Section 15303, “New Construction or Conversion of Small Structures”) of the current California Environmental Quality Act (CEQA) Guidelines.</li> <li>2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.</li> <li>3. Approve the use permit subject to the following <b>standard</b> conditions: <ol style="list-style-type: none"> <li>a. Development of the project shall be substantially in conformance with the plans prepared by Metro Design Group, consisting of 23 plan sheets, stamped received on July 24, 2019, and approved by the Planning Commission on August 26, 2019, except as modified by the conditions contained herein, subject to review and approval by the Planning Division.</li> <li>b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies’ regulations that are directly applicable to the project.</li> <li>c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.</li> <li>d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.</li> <li>e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.</li> <li>f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.</li> <li>g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and project arborist reports.</li> </ol> </li> </ol>			



CITY OF  
MENLO PARK

### City of Menlo Park

Location Map  
445 Oak Court



Scale: 1:4,000

Drawn By: KMM

Checked By: KTP

Date: 5/20/2019

Sheet: 1

445 Oak Court – Attachment N: Data Table

	<b>PROPOSED PROJECT</b>	<b>EXISTING PROJECT</b>	<b>ZONING ORDINANCE</b>
Lot area	13,236 sf	13,236 sf	7,000 sf min.
Lot width	59.6 ft.	59.6 ft.	65 ft. min.
Lot depth	187.4 ft.	187.4 ft.	100 ft. min.
Setbacks			
Front	26.4 ft.	25.2 ft.	20 ft. min.
Rear	88.8 ft.	106 ft.	20 ft. min.
Side (left)	10.6 ft.	10.2 ft.	6 ft. min.
Side (right)	15.6 ft.	17.4 ft.	6 ft. min.
Building coverage	3,371.2 sf 25.5 %	2,210.8 sf 16.7 %	4,632.6 sf max. 35 % max.
FAL (Floor Area Limit)	4,358 sf	1,838.4 sf	4,359 sf max.
Square footage by floor	1,843.1 sf/1 <sup>st</sup> 1,366.1 sf/2 <sup>nd</sup> 445.6 sf/garage 373.5 sf/porches 10 sf/fireplace 699 sf/secondary dwelling unit 4.2 sf/area over 12' 1,692.9 sf/basement	1,125.4 sf/1st 713 sf/garage	
Square footage of building	6,434.4 sf	1,838.4 sf	
Building height	24.6 ft.	14 ft.	28 ft. max.
Parking	2 covered	2 covered	1 covered/1 uncovered
Trees	Heritage trees	12*	Non-Heritage trees 11
	Heritage trees proposed for removal	3**	New Trees 3
		Non-Heritage trees proposed for removal 8	Total Number of Trees 15

\*Includes five heritage trees located on adjacent properties.

\*\*Includes one camphor tree which was previously approved by the City Arborist.





APPROVED USE PERMIT



REVISED USE PERMIT APPLICATION

# 445 OAK COURT RESIDENCE

GENERAL NOTES		AREA TABULATIONS		PROJECT INFORMATION		VICINITY MAP		SHEET INDEX																
1. CODES AND REGULATIONS	ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE FOLLOWING CODES, AS WELL AS ALL APPLICABLE STATE CODES & LOCAL CITY ORDINANCES, 2016 CALIFORNIA BUILDING CODE (C.B.C.), 2016 CALIFORNIA RESIDENTIAL CODE (C.C.R.C.), 2016 CALIFORNIA ELECTRICAL CODE (C.E.C.), 2016 CALIFORNIA PLUMBING CODE (C.P.C.), 2016 CALIFORNIA MECHANICAL CODE (C.M.C.), 2016 CALIFORNIA FIRE CODE (C.F.C.), 2016 CALIFORNIA ENERGY CODE (C.E.C.), 2016 CALIFORNIA GREEN CODE (C.G.C.) NOTHING ON THE DRAWINGS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES & REGULATIONS.	5. DISCREPANCIES	MINOR DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL CONDITIONS ARE TO BE EXPECTED. CONDITIONS REQUIRING CLARIFICATION SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.	PROPERTY OWNER:	BRIAN NGUYEN	<p>PROJECT SITE</p>		<p><b>SHEET INDEX</b></p> <p>A-0.0 SHEET INDEX, PROJECT INFORMATION, VICINITY MAP, PROJECT CONTACTS, GENERAL NOTES</p> <p>A-1.0 APPROVED SITE PLAN</p> <p>A-1.1 AREA PLAN</p> <p>A-2.0 APPROVED BASEMENT FLOOR PLAN DIMENSIONED</p> <p>A-2.1 APPROVED FIRST FLOOR PLAN DIMENSIONED</p> <p>A-2.2 APPROVED SECOND FLOOR PLAN DIMENSIONED</p> <p>A-2.3 APPROVED SECONDARY DWELLING AND GARAGE FLOOR PLAN</p> <p>A-2.4 PROPOSED ROOF PLAN</p> <p>A-3.0 EXTERIOR ELEVATIONS NW</p> <p>A-3.1 EXTERIOR ELEVATIONS SW</p> <p>A-3.2 EXTERIOR ELEVATIONS SE</p> <p>A-3.3 EXTERIOR ELEVATIONS NE</p> <p>A-3.4 SEC DWELL ELEVATIONS</p> <p>A-3.5 SEC DWELL ELEVATIONS</p> <p>A-3.6 GARAGE ELEVATION NE</p> <p>A-4.0 ARCHITECTURAL SCHEDULES</p> <p>A-4.1 SEC DWELL ARCHITECTURAL SCHEDULES</p> <p>A-4.2 GARAGE FLOOR PLAN, ROOF PLAN, AND NOTES</p> <p>A-5.0 APPROVED MAIN RESIDENCE SECTIONS</p> <p>A-5.1 APPROVED SECONDARY DWELLING &amp; GARAGE SECTIONS</p> <p>C-1.0 APPROVED GRADING AND DRAINAGE PLAN</p> <p>L-1.0 APPROVED LANDSCAPE PLAN</p> <p>L-1.1 LAND SURVEY</p>																
2. SITE VERIFICATION	GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL EXAMINE THOROUGHLY THE SITE AND SATISFY THEMSELVES AS TO THE CONDITIONS TO WHICH THE WORK IS TO BE PERFORMED. THE CONTRACTOR SHALL VERIFY AT THE SITE ALL MEASUREMENTS AFFECTING HIS WORK, AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF THE SAME. NO EXTRA COST TO THE OWNER WILL BE ALLOWED RESULTING FROM HIS NEGLIGENCE TO EXAMINE OR FAILURE TO DISCOVER CONDITIONS AFFECTING HIS WORK.	6. MANUFACTURERS SPECIFICATIONS	CONTRACTOR AND ALL SUBCONTRACTORS SHALL INSTALL OR APPLY, AND PROTECT ALL PRODUCTS, MATERIALS, PROCESSES, METHODS, COATINGS, EQUIPMENT, APPLIANCES, HARDWARE, SOFTWARE, ETC., IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS, DETAILS & INSTRUCTIONS, TYPICAL ALL MANUALS OR INSTRUCTIONS PROVIDED BY THESE MANUFACTURERS FOR PROPER OPERATION AND MAINTENANCE OF THE ABOVE ARE TO BE DELIVERED TO THE OWNER AT THE COMPLETION AND FINAL INSPECTION OF THE PROJECT.	PHONE / email:	(650) 269-9300 brian.nguyen@gmail.com					<p><b>PROJECT CONTACTS</b></p> <p>ARCHITECT: <b>METRO DESIGN GROUP</b> CONTACT: TOM SLOAN A/LA 1475 S. BASCOM AVE. # 208 CAMPBELL, CALIFORNIA 95008 (408) 871-1071 PHONE (408) 871-1072 FAX</p> <p>TORO SURVES &amp; SOUNDINGS: <b>CHRISTENSEN &amp; PLOUFF</b> LAND SURVEYING CONTACT: KACIE A. PLOUFF P.O. BOX 9013 1250 GARDNER PARKWAY #210 SUNNYVALE, CA 95085 (408) 755-0766 PHONE</p> <p>ARBKRIST: <b>WALTER LEVISON</b> CONSULTING ARCHITECT (W/LA/C) (415) 203-0900 dlr@walegoblog.net</p>														
3. MEASUREMENTS	CONTRACTOR SHALL VERIFY ALL DIMENSIONS SHOWN ON THE DRAWINGS BY TAKING FIELD MEASUREMENTS FOR PROPER FIT AND ATTACHMENT OF ALL PARTS IS REQUIRED, SHOULD THERE BE ANY DISCREPANCIES, IMMEDIATELY REPORT TO THE ARCHITECT IN WRITING PRIOR TO COMMENCEMENT OF ANY RELATED WORK. IN THE EVENT OF THE CONTRACTORS FAILURE TO DO SO, THE CONTRACTOR SHALL BE FULLY AND SOLELY RESPONSIBLE FOR THE CORRECTION OR ADJUSTMENT OF ANY SUCH RELATED WORK OR ERRORS.	7. WINDOWS AND DOORS	CONTRACTOR SHALL VERIFY THE QUANTITY, ROUGH OPENINGS AND TYPES OF COOKERS AND WINDOW AND DOOR SCHEDULES IN RELATION TO FRAMING PER FIELD PRIOR TO ORDERING. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.	MAILING ADDRESS	PO BOX 52100 PALO ALTO, CA 94303	<p><b>PROJECT CONTACTS</b></p> <p>ARCHITECT: <b>METRO DESIGN GROUP</b> CONTACT: TOM SLOAN A/LA 1475 S. BASCOM AVE. # 208 CAMPBELL, CALIFORNIA 95008 (408) 871-1071 PHONE (408) 871-1072 FAX</p> <p>TORO SURVES &amp; SOUNDINGS: <b>CHRISTENSEN &amp; PLOUFF</b> LAND SURVEYING CONTACT: KACIE A. PLOUFF P.O. BOX 9013 1250 GARDNER PARKWAY #210 SUNNYVALE, CA 95085 (408) 755-0766 PHONE</p> <p>ARBKRIST: <b>WALTER LEVISON</b> CONSULTING ARCHITECT (W/LA/C) (415) 203-0900 dlr@walegoblog.net</p>																		
4. DIMENSIONS	DO NOT SCALE THESE DRAWINGS, WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DRAWINGS.	8. CALGREEN STANDARDS	ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AND AEROSOL PAINT CONTAINERS MUST REMAIN ON THE SITE FOR FIELD VERIFICATION BY THE BUILDING INSPECTOR, PER CGSBC SEC. 4.504.2.4	PROJECT ADDRESS	445 OAK CT, MENLO PARK, CA 94025			<p><b>PROJECT CONTACTS</b></p> <p>ARCHITECT: <b>METRO DESIGN GROUP</b> CONTACT: TOM SLOAN A/LA 1475 S. BASCOM AVE. # 208 CAMPBELL, CALIFORNIA 95008 (408) 871-1071 PHONE (408) 871-1072 FAX</p> <p>TORO SURVES &amp; SOUNDINGS: <b>CHRISTENSEN &amp; PLOUFF</b> LAND SURVEYING CONTACT: KACIE A. PLOUFF P.O. BOX 9013 1250 GARDNER PARKWAY #210 SUNNYVALE, CA 95085 (408) 755-0766 PHONE</p> <p>ARBKRIST: <b>WALTER LEVISON</b> CONSULTING ARCHITECT (W/LA/C) (415) 203-0900 dlr@walegoblog.net</p>																
			<p><b>1. SITE AREA</b> GROSS AREA = 13,236 SQ. FT. (0.30 AC) NET AREA = 13,236 SQ. FT. (0.30 AC)</p> <p><b>2. SIDE SETBACK CALCULATION:</b> MINIMUM LOT WIDTH: 59'-7" 59'-7" * 71.5% = 715.5' * 107% = 715.5' REQUIRED WIDTH = 65', 79% * 65' = 46.75' 59'-7" &gt; 46.75'</p> <p><b>SIDE SETBACK = 6'-0"</b></p> <p><b>3. FLOOR AREA LIMIT (FAL):</b> <b>3.1 FAL CALCULATION:</b> 2,800 SQ. FT. + 25% (13,236 SQ. FT. * 7,000 SQ. FT.) = 43,899 SQ. FT. + 1,559 SQ. FT. = 43,359 SQ. FT. FAL = 4,359 SQ. FT.</p> <p><b>3.2 PROPOSED FAL:</b> PROPOSED RESIDENCE = 3,213.33 SQ. FT. PROPOSED SEC. DWELLING = 698.88 SQ. FT. PROPOSED GARAGE = 445.66 SQ. FT. TOTAL = 4,357.87 SQ. FT.</p> <p><b>4. MAXIMUM SECOND FLOOR AREA CALCULATION:</b> 8043 * 0.39 SQ. FT. = 2962.967 SQ. FT. 176.2' * 176.67' = 31017.7' (S.F.A.) MAXIMUM SECOND FLOOR AREA = 1,591.67 SQ. FT.</p> <p><b>5. MAIN RESIDENCE FLOOR AREA:</b> FIRST FLOOR AREA = 1,847.27 SQ. FT. SECOND FLOOR AREA = 1,366.08 SQ. FT. TOTAL = 3,213.33 SQ. FT. BASEMENT AREA = 1,692.90 SQ. FT.</p> <p><b>6. BUILDING COVERAGE:</b> <b>6.1 MAXIMUM BUILDING COVERAGE:</b> 15% = 410.55 SQ. FT.</p> <p><b>6.2 PROPOSED BUILDING COVERAGE:</b> 25.47% PROPOSED RESIDENCE = 2,181.42 SQ. FT. PROPOSED SEC. DWELLING = 744.7 SQ. FT. PROPOSED GARAGE = 445.66 SQ. FT. TOTAL = 3,371.78 SQ. FT.</p> <p><b>7. PARKING:</b> <b>7.1 REQUIRED:</b> DWELLINGS: 2 SPACES/JUNIT MIN. ONE IN A GARAGE OR CARPORT SECONDARY DWELLING: 1 OFF-STREET SPACE</p> <p><b>7.2 PROPOSED:</b> DWELLINGS: 2 SPACES AT GARAGE 1 SPACE NEAR GARAGE</p>	<p>PROJECT GROSS AREA</p> <p>13,236 SQ. FT. (0.30 AC)</p> <p>SITE NET AREA</p> <p>13,236 SQ. FT. (0.30 AC)</p> <p>A.P.N.</p> <p>065-152-080</p> <p>ZONING</p> <p>R1-U</p> <p>SETBACK REQUIREMENTS</p> <table border="1"> <tr> <td>REQUIRED FRONT:</td> <td>20'-0"</td> <td>PROPOSED FRONT:</td> <td>25'-5"</td> </tr> <tr> <td>REQUIRED SIDE (LEFT):</td> <td>6'-0"</td> <td>PROPOSED SIDE (LEFT):</td> <td>10'-7"</td> </tr> <tr> <td>REQUIRED SIDE (RIGHT):</td> <td>6'-0"</td> <td>PROPOSED SIDE (RIGHT):</td> <td>15'-7"</td> </tr> <tr> <td>REQUIRED REAR:</td> <td>20'-0"</td> <td>PROPOSED REAR:</td> <td>68'-0"</td> </tr> </table> <p>LOCATED WITHIN DESIGNATED WILDLAND URBAN INTERFACE FIRE AREA</p> <p>NO</p> <p>MAX HEIGHT</p> <table border="1"> <tr> <td>ALLOWED</td> <td>28'-0"</td> </tr> <tr> <td>PROPOSED</td> <td>24'-7"</td> </tr> </table> <p>CONSTRUCTION TYPE</p> <p>R-2U</p> <p>OCCUPANCY</p> <p>1-4</p> <p>STORIES</p> <p>2</p> <p>FIRE SPRINKLERS</p> <p>REQUIRED (NFPA-13D)</p> <p>EXISTING USE</p> <p>RESIDENTIAL</p>	REQUIRED FRONT:	20'-0"	PROPOSED FRONT:			25'-5"	REQUIRED SIDE (LEFT):	6'-0"	PROPOSED SIDE (LEFT):	10'-7"	REQUIRED SIDE (RIGHT):	6'-0"	PROPOSED SIDE (RIGHT):	15'-7"	REQUIRED REAR:	20'-0"	PROPOSED REAR:	68'-0"	ALLOWED	28'-0"
REQUIRED FRONT:	20'-0"	PROPOSED FRONT:	25'-5"																					
REQUIRED SIDE (LEFT):	6'-0"	PROPOSED SIDE (LEFT):	10'-7"																					
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REQUIRED REAR:	20'-0"	PROPOSED REAR:	68'-0"																					
ALLOWED	28'-0"																							
PROPOSED	24'-7"																							

**DESIGN COMPANY**

**CONTACT :**  
BRIAN NGUYEN  
PO Box 52100  
PALO ALTO, CA 94303

These concepts, plans, and drawings are instruments of service, and the property of Aera Design & Development. All designs and other information on these drawings are for use on the specified project and shall not be used without written permission of Aera Design & Development.

**PROJECT**  
**445 OAK COURT RESIDENCE**

**ADDRESS :**  
445 OAK COURT  
MENLO PARK, CA 95025

**OWNER :**  
BRIAN NGUYEN

**PROJECT NO.:**  
Project Number

Note

**STATUS**

Basic Design   
Construction   
Approved   
As-built

**REVISIONS**

No	REVISIONS

**SHEET NAME :**  
**COVER SHEET**

**SHEET NUMBER :**  
**A-0.0**

**DATE :**

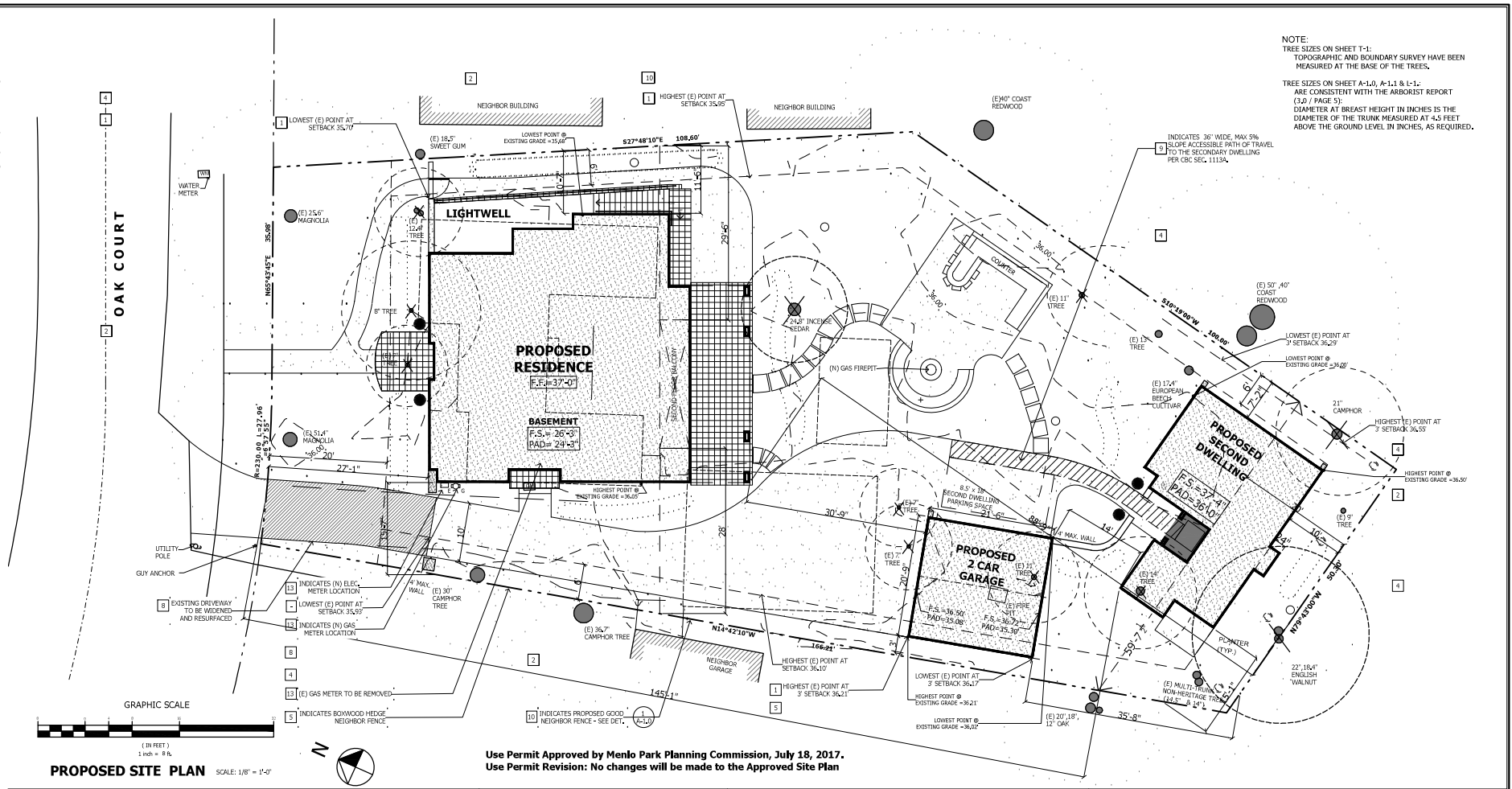
**SCALE :**

**DRAWN BY :**

**CHECKED BY :**

**ARCHITECT :**





**NOTE:**  
 TREE SIZES ON SHEET T-1:  
 TOPOGRAPHIC AND BOUNDARY SURVEY HAVE BEEN MEASURED AT THE BASE OF THE TREES.  
 TREE SIZES ON SHEET A-1.0, A-1.1 & T-1.1:  
 ARE CONSISTENT WITH THE ARBORIST REPORT (3.0 / PAGE 5).  
 DIAMETER AT BREAST HEIGHT IN INCHES IS THE DIAMETER OF THE TRUNK MEASURED AT 4.5 FEET ABOVE THE GROUND LEVEL IN INCHES, AS REQUIRED.

**DESIGN COMPANY**



**CONTACT :**  
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**445 OAK COURT RESIDENCE**

**ADDRESS :**  
 445 OAK COURT  
 MENLO PARK, CA  
 95025

**OWNER :**  
 BRIAN NGUYEN

**PROJECT NO. :**  
 Project Number

**Note**

**STATUS**

Basic Design	<input type="checkbox"/>
Construction	<input type="checkbox"/>
Approved	<input checked="" type="checkbox"/>
As-built	<input type="checkbox"/>

**REVISIONS**

No.	REVISIONS

**SHEET NAME :**  
**APPROVED SITE PLAN**

**SHEET NUMBER :**  
**A-1.0**

**DATE :**  
**SCALE :**  
**DRAWN BY :**  
**CHECKED BY :**  
**ARCHITECT :**

**PROPOSED SITE PLAN** SCALE: 1/8" = 1'-0"

Use Permit Approved by Menlo Park Planning Commission, July 18, 2017.  
 Use Permit Revision: No changes will be made to the Approved Site Plan

**SITE PLAN LEGEND**

PROPERTY LINE	---	EXISTING DRIVEWAY WIDENED AND RESURFACED	
SETBACK LINE	- - -	PROPOSED PAVERS AREAS	
(E) GRADE CONTOUR LINE	---	PROPOSED HARDSCAPE	
EXISTING FENCE TO REMAIN	---	EXISTING TREE TO REMAIN	(E)12" OAK
PROPOSED FENCE	---	EXISTING TREE TO BE REMOVED	(E)18" OAK
EXISTING HOUSE TO BE REMOVED	---	EXISTING HERITAGE TREE TO BE REMOVED	(E)18" OAK
EXISTING HARDSCAPE TO BE REMOVED	---	PROPOSED TREE	
JOINT TRENCH	---	PROPOSED BAYWOOD HEDGE	
TREE PROTECTION FENCING	---		
PROPOSED RESIDENCE			

**SITE ANALYSIS**

LOT GROSS AREA : = 13,236 SQ. FT. (0.30 AC)  
 LOT NET AREA : = 13,236 SQ. FT. (0.30 AC)

ALLOWABLE FLOOR AREA:  
 2,800 SQ. FT. + 25% (13,236 SQ. FT. - 7,000 SQ. FT.) =  
 = 2,800 SQ. FT. + 1,559 SQ. FT. = 4,359 SQ. FT.

MAIN RESIDENCE FLOOR AREA:  
 FIRST FLOOR AREA : = 1,847.27 SQ. FT.  
 SECOND FLOOR AREA : = 1,366.06 SQ. FT.  
 TOTAL : = 3,213.33 SQ. FT.

PROPOSED RESIDENCE : = 3,213.73 SQ. FT.  
 PROPOSED SEC. DWELLING : = 698.98 SQ. FT.  
 PROPOSED GARAGE : = 445.64 SQ. FT.  
 TOTAL : = 4,357.95 SQ. FT.

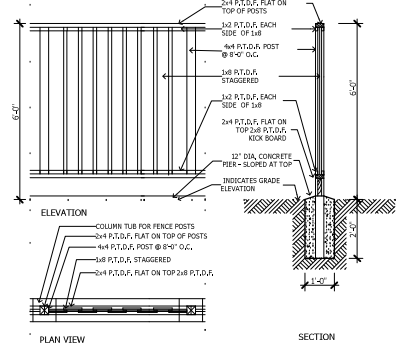
NO ATTIC SPACE OVER 5'-0"

LAND COVERED BY STRUCTURES : 3,371.23 SQ. FT. 25.47 %  
 LANDSCAPING : 5,613.47 SQ. FT. 42.41 %  
 PAVED SURFACES : 4,251.30 SQ. FT. 32.12 %

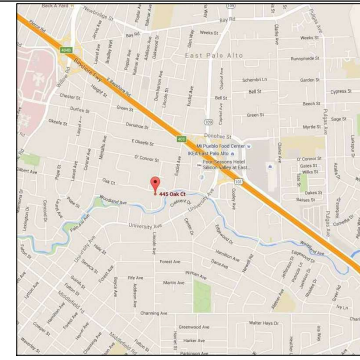
PARKING SPACES : 2 COV / 1 UNCOV

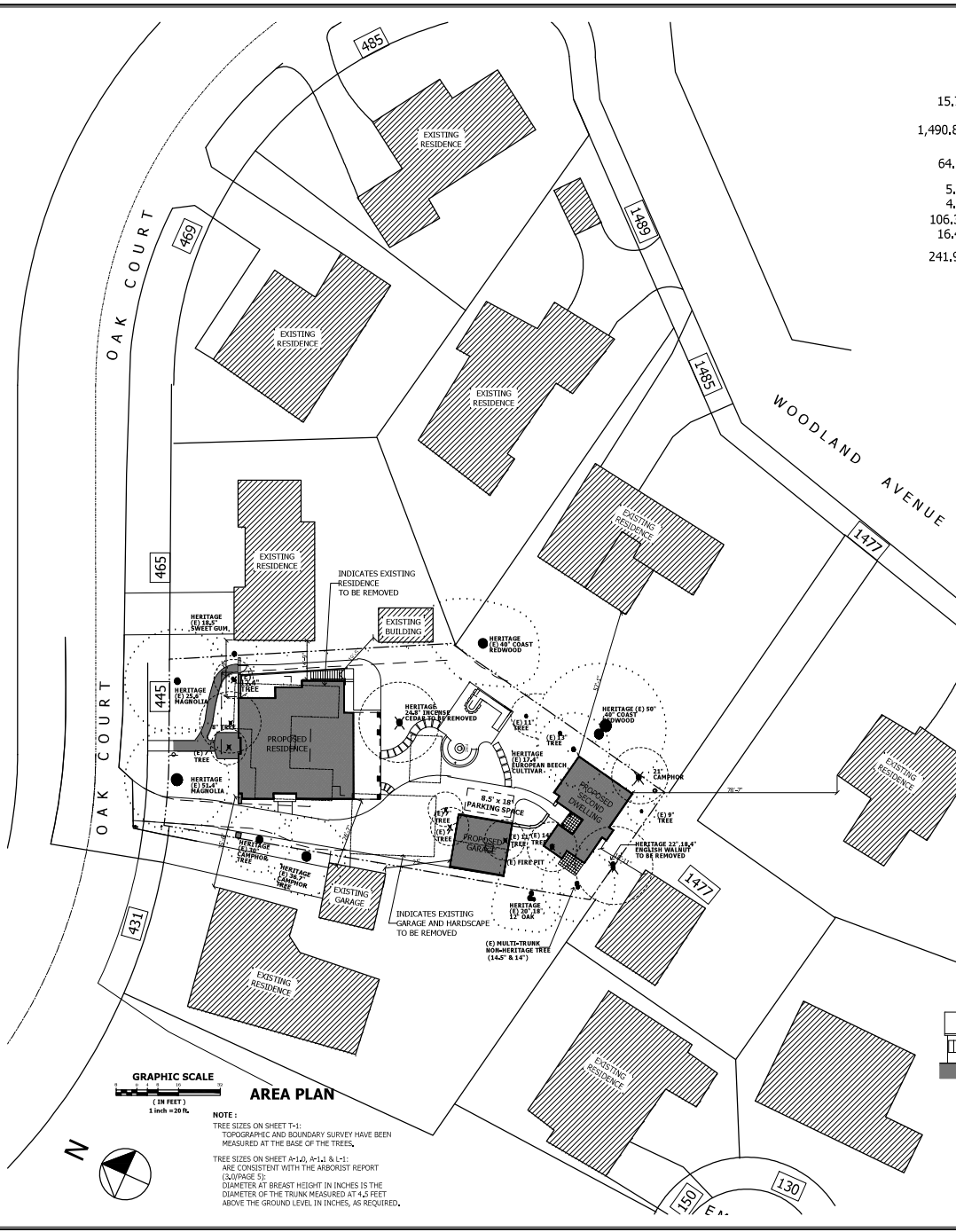
ALL GRADES TO REMAIN NATURAL

**1 GOOD NEIGHBOR FENCE DETAIL**



**VICINITY MAP**





TOTAL AREA OF PARCEL	=	A	13,236.0 SQ. FT.	
EXISTING PAVEMENT AREA	=	B	9,917.8 SQ. FT.	
EXISTING IMPERVIOUS AREA	=	C	3,318.2 SQ. FT.	
EXISTING % IMPERVIOUS	=	D	25.06 %	
(E) IMPERVIOUS AREA TO BE REPLACED	=	E	1,737.5 SQ. FT.	
W/ NEW IMPERVIOUS AREA	=	F	2,941.6 SQ. FT.	
(E) PAVEMENT AREA TO BE REPLACED	=	G	4,679.1 SQ. FT.	
W/ NEW IMPERVIOUS AREA	=	H	1,580.8 SQ. FT.	
NEW IMPERVIOUS AREA	=	E + F =	I	3,660.8 SQ. FT.
NET CHANGE IN IMPERVIOUS AREA	=	B - I =	J	8,557.0 SQ. FT.
PROPOSED PAVEMENT AREA	=	C + I =	K	4,679.0 SQ. FT.
PROPOSED IMPERVIOUS AREA	=	C + I =	K	4,679.0 SQ. FT.
VERIFY THAT J + K = A	=		L	13,236.0 SQ. FT.
PROPOSED % IMPERVIOUS	=	L	35.43 %	

**IMPERVIOUS AREA CALCULATION**



APPROVED USE PERMIT STREETSCAPE SCALE: 1/16" = 1'-0"



REVISED USE PERMIT STREETSCAPE SCALE: 1/16" = 1'-0"

**AREA PLAN**

NOTE:  
 TREE SIZES ON SHEET T-1:  
 TOPOGRAPHIC AND BOUNDARY SURVEY HAVE BEEN  
 MEASURED AT THE BASE OF THE TREES.  
 TREE SIZES ON SHEET A-1,2, A-1,1 & L-1,1  
 ARE CONSISTENT WITH THE ARBORIST REPORT  
 (3/11/PAGE 5).  
 DIAMETER AT GREATEST HEIGHT IN INCHES IS THE  
 DIAMETER OF THE TRUNK MEASURED AT 4.5 FEET  
 ABOVE THE GROUND LEVEL, IN INCHES, AS REQUIRED.

**DESIGN COMPANY**



**CONTACT :**  
 BRIAN NGUYEN  
 PO Box 52100  
 Palo Alto, CA 94303

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**PROJECT**  
**445 OAK COURT RESIDENCE**

**ADDRESS :**  
 445 OAK COURT  
 MENLO PARK, CA  
 95025

**OWNER :**  
 BRIAN NGUYEN

**PROJECT NO.:**

Note

**STATUS**

Basic Design	<input type="checkbox"/>
Construction	<input type="checkbox"/>
Approved	<input checked="" type="checkbox"/>
As-built	<input type="checkbox"/>

**REVISIONS**

No.	

**AREA PLAN**

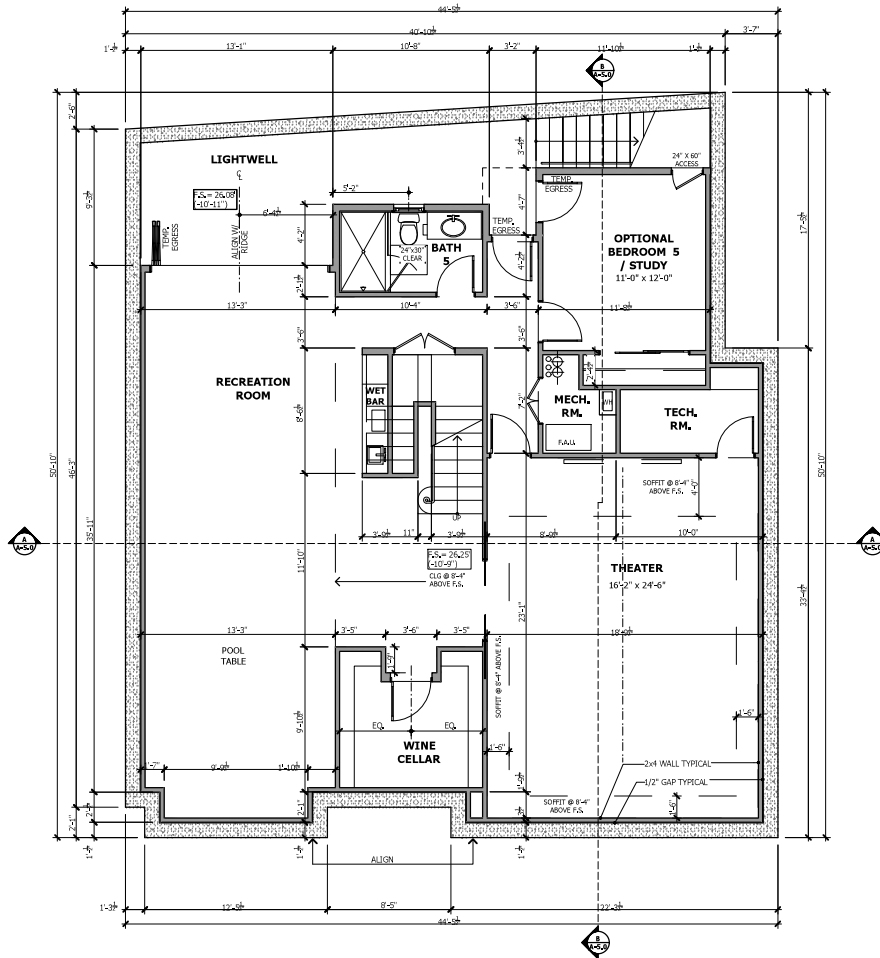
**A-1.1**

**DATE :**  
**SCALE : 1/4" = 1'-0".**  
**DRAWN BY :**  
**CHECKED BY :**  
**ARCHITECT :**

NOTE: NO HEATING DEVICE (HOT PLATE, OVEN, STOVE/TOP) MAY BE ADDED TO THE BAR AREA IN THE FUTURE.

**FLOOR PLAN LEGEND**

- (N) INDICATES NEW FEATURES
- INDICATES NEW 2x4 WALLS
- INDICATES NEW 2x6 WALLS
- INDICATES NEW CONCRETE WALLS
- INDICATES WALL W/ SOUND INSULATION
- - - INDICATES CEILING TRANSITION
- ◊ INDICATES INTERIOR ELEVATION MARKERS SEE A-9 SHEETS
- ◊ INDICATES CROSS SECTION MARKER SEE A-6(J) - A-6(L) SHEETS
- # INDICATES NOTE REFERENCE, SEE SHEET A-3(J)
- ◊ INDICATES NEW WINDOW SEE SHEET A-8
- ◊ INDICATES NEW DOOR SEE SHEET A-8
- INDICATES NEW CABINERY
- INDICATES NEW PLUMBING FIXTURE




**METRO DESIGN GROUP**  
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 (408) 871-0072 fax  
 www.metrodesigngroup.com

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PROJECT NAME  
**445 OAK COURT RESIDENCE**  
 445 OAK COURT  
 MENLO PARK, CA 95025

REVISIONS

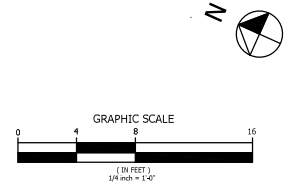
NO.	DESCRIPTION

**APPROVED BASEMENT FLOOR PLAN DIMENSIONED**

DATE : 1-2-18  
 SCALE : 1/4" = 1'-0"  
 DRAWN BY : D.Z.  
 CHECKED BY : TS  
 ARCHITECT : TOM SLOAN  
 PROJECT NO : 16624

SHEET NUMBER  
**A-2.0**

**Use Permit Approved by Menlo Park Planning Commission, July 18, 2017.  
 Use Permit Revision: No changes will be made to the Approved Basement Floor Plan**



1/18/18  
 445 Oak Court CD 16624-2.0.dwg

REVISIONS

NO.	DESCRIPTION

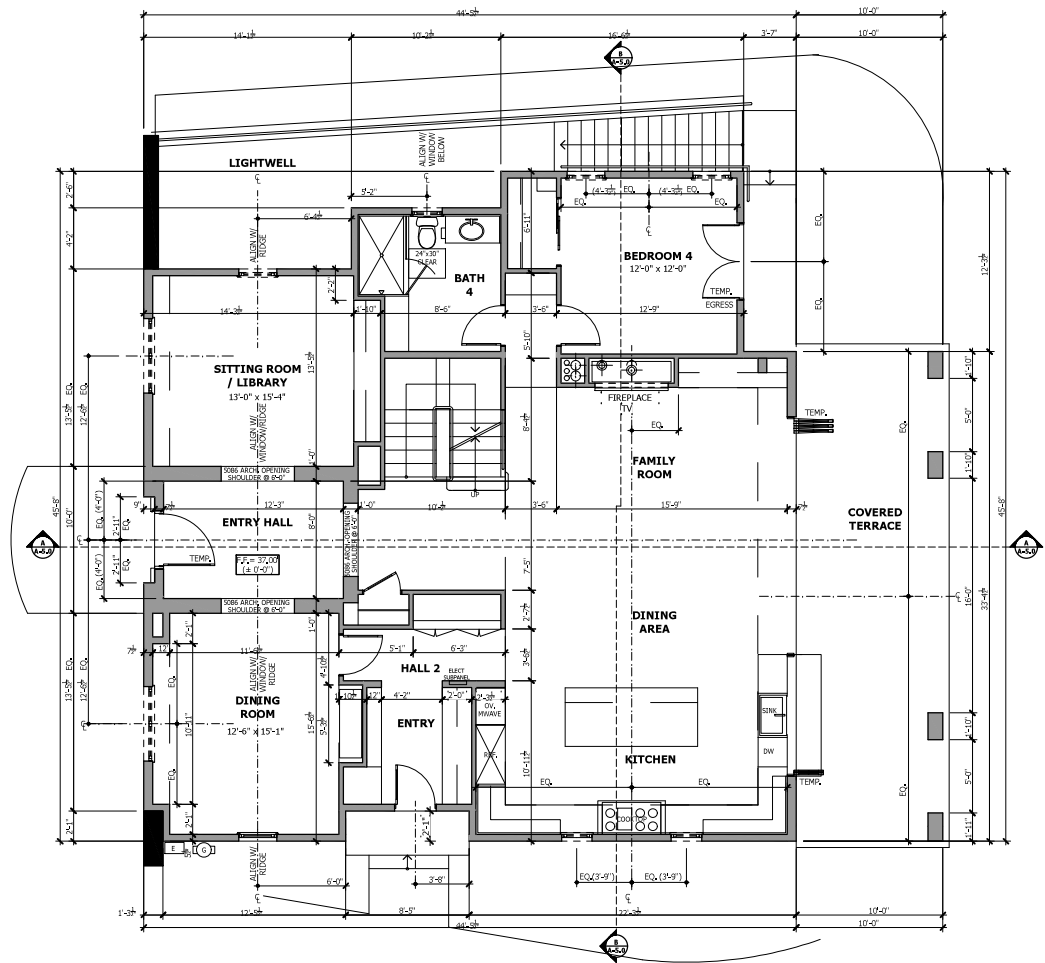
**APPROVED FIRST FLOOR PLAN DIMENSIONED**

DATE : 1-2-18  
 SCALE : 1/4" = 1'-0"  
 DRAWN BY : D.Z.  
 CHECKED BY : TS  
 ARCHITECT : TOM SLOAN  
 PROJECT NO : 16624

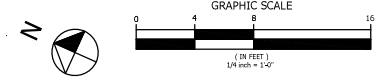
SHEET NUMBER  
**A-2.1**

**FLOOR PLAN LEGEND**

- (N) INDICATES NEW FEATURES
- INDICATES NEW 2x4 WALLS
- INDICATES NEW 2x6 WALLS
- INDICATES NEW CONCRETE WALLS
- INDICATES WALL W/ SOUND INSULATION
- - - INDICATES CEILING TRANSITION
- ◇ INDICATES INTERIOR ELEVATION MARKERS SEE A-9 SHEETS
- ◇ INDICATES CROSS SECTION MARKER SEE A-6/1 - A-6/2 SHEETS
- ◇ INDICATES NOTE REFERENCE, SEE SHEET A-3/0
- ◇ INDICATES NEW WINDOW SEE SHEET A-8
- ◇ INDICATES NEW DOOR SEE SHEET A-8
- ◇ INDICATES NEW CABINETRY
- ◇ INDICATES NEW PLUMBING FIXTURE



**Use Permit Approved by Menlo Park Planning Commission, July 18, 2017.  
 Use Permit Revision: No changes will be made to the Approved First Floor Plan.**



REVISIONS

NO.	DESCRIPTION

**APPROVED SECOND FLOOR PLAN DIMENSIONED**

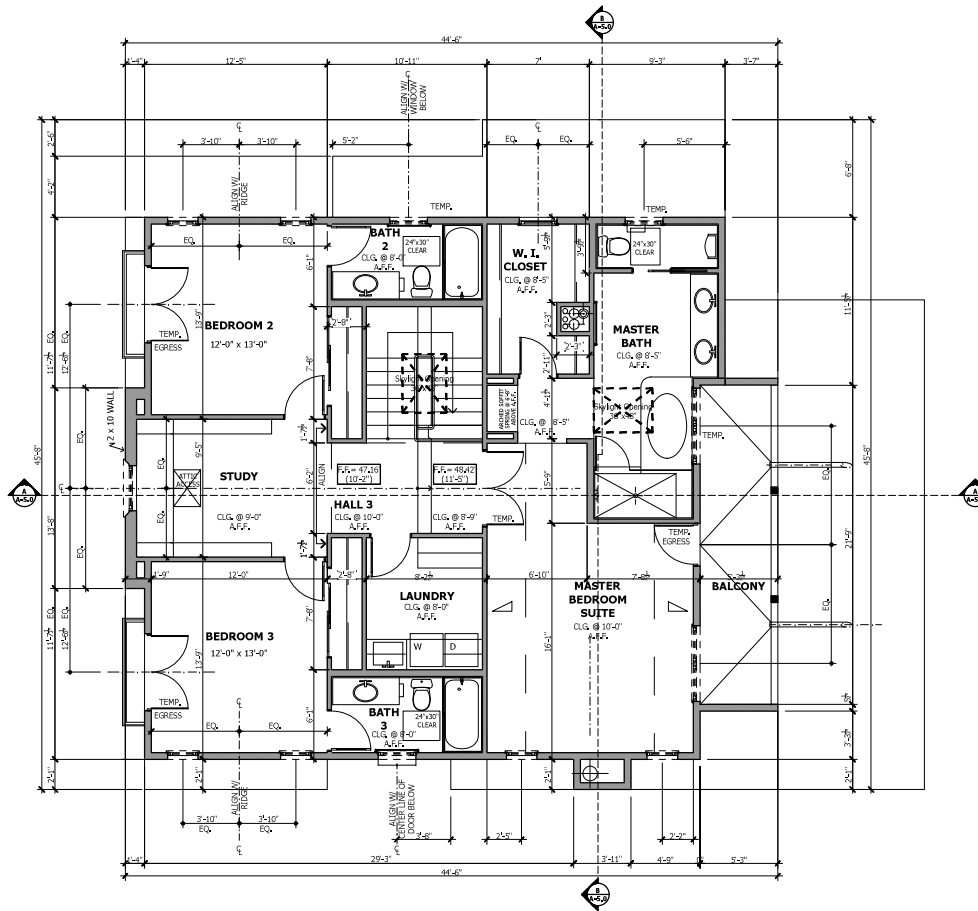
DATE : 1-2-18  
SCALE : 1/4" = 1'-0"  
DRAWN BY : D.Z.  
CHECKED BY : TS  
ARCHITECT : TOM SLOAN  
PROJECT NO : 16624

SHEET NUMBER

**A-2.2**

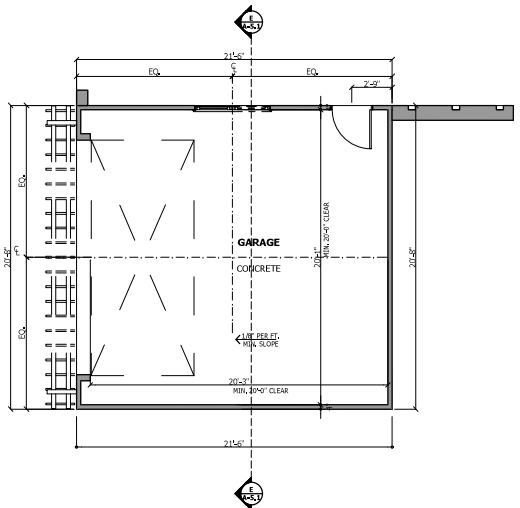
**FLOOR PLAN LEGEND**

- (N) INDICATES NEW FEATURES
- INDICATES NEW 2x4 WALLS
- INDICATES NEW 2x6 WALLS
- INDICATES NEW CONCRETE WALLS
- INDICATES WALL W/ SOUND INSULATION
- INDICATES CEILING TRANSITION
- INDICATES INTERIOR ELEVATION MARKERS SEE A-9 SHEETS
- INDICATES CROSS SECTION MARKER SEE A-6.0 - A-6.2 SHEETS
- INDICATES NOTE REFERENCE, SEE SHEET A-3.0
- INDICATES NEW WINDOW SEE SHEET A-8
- INDICATES NEW DOOR SEE SHEET A-8
- INDICATES NEW CABINETS
- INDICATES NEW PLUMBING FEATURE

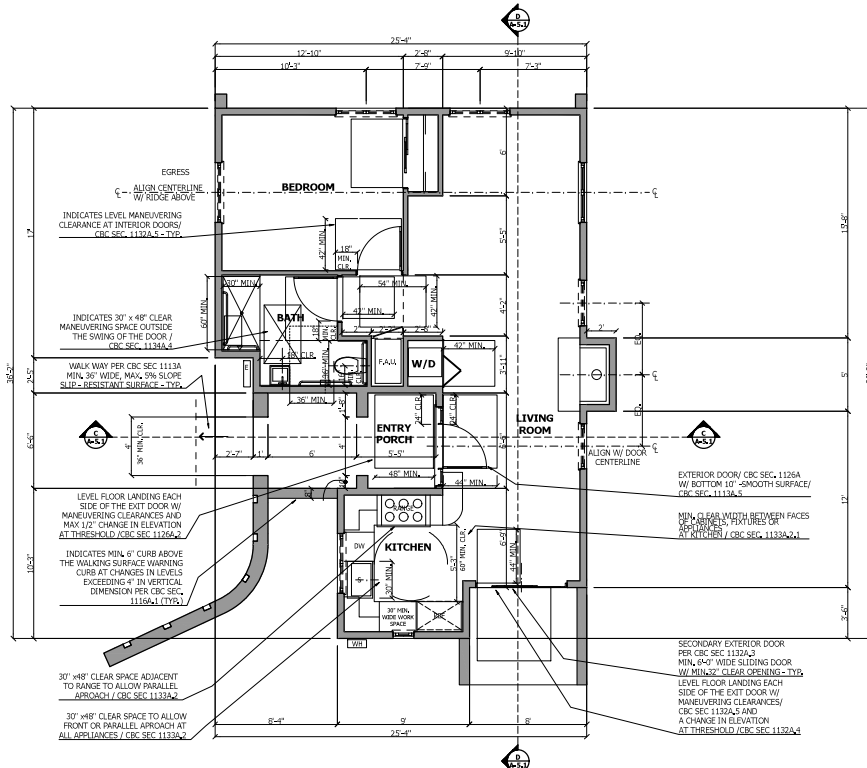


Use Permit Approved by Menlo Park Planning Commission, July 18, 2017.  
Use Permit Revision: No changes will be made to the Approved Second Floor Plan

NO.	DESCRIPTION

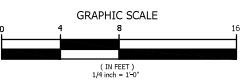
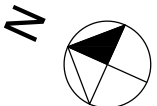


**APPROVED GARAGE FLOOR PLAN**

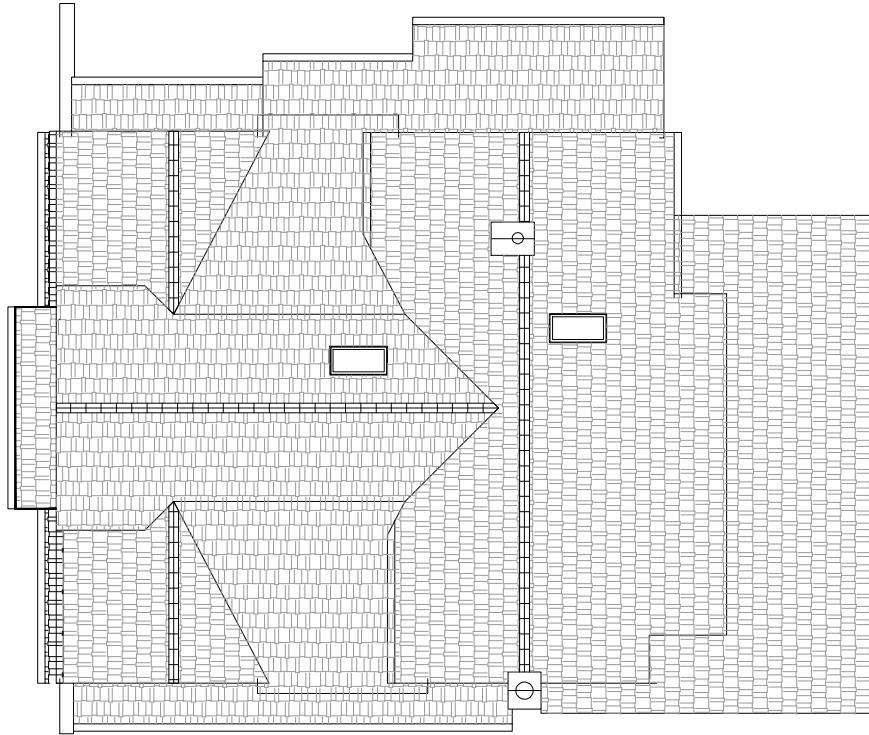


**APPROVED SECONDARY DWELLING FLOOR PLAN**

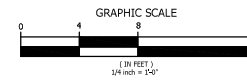
Use Permit Approved by Menlo Park Planning Commission, July 18, 2017.  
 Use Permit Revision: No changes will be made to the Approved Garage Floor Plan or Secondary Dwelling Floor Plan.







**ROOF PLAN APPROVED USE PERMIT**



**DESIGN COMPANY**



**CONTACT :**

BRIAN NGUYEN  
 PO Box 52100  
 Palo Alto, CA 94303

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**PROJECT**

**445 OAK COURT  
 RESIDENCE**

**ADDRESS :**

445 OAK COURT  
 MENLO PARK, CA  
 95025

**OWNER :**

**BRIAN NGUYEN**

**PROJECT NO. :**

**Note**

**STATUS**

- Basic Design
- Construction
- Approved
- As-built

**REVISIONS**

No	

**SHEET NAME :**

**APPROVED  
 ROOF PLAN**

**SHEET NUMBER :**

**A-2.4**

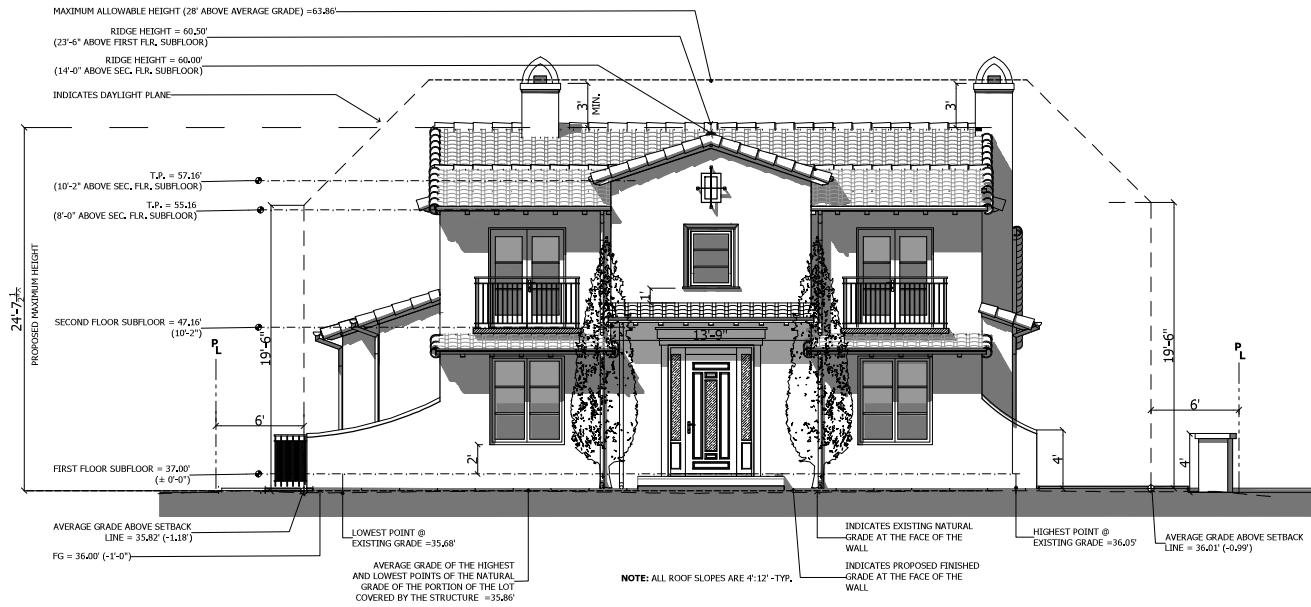
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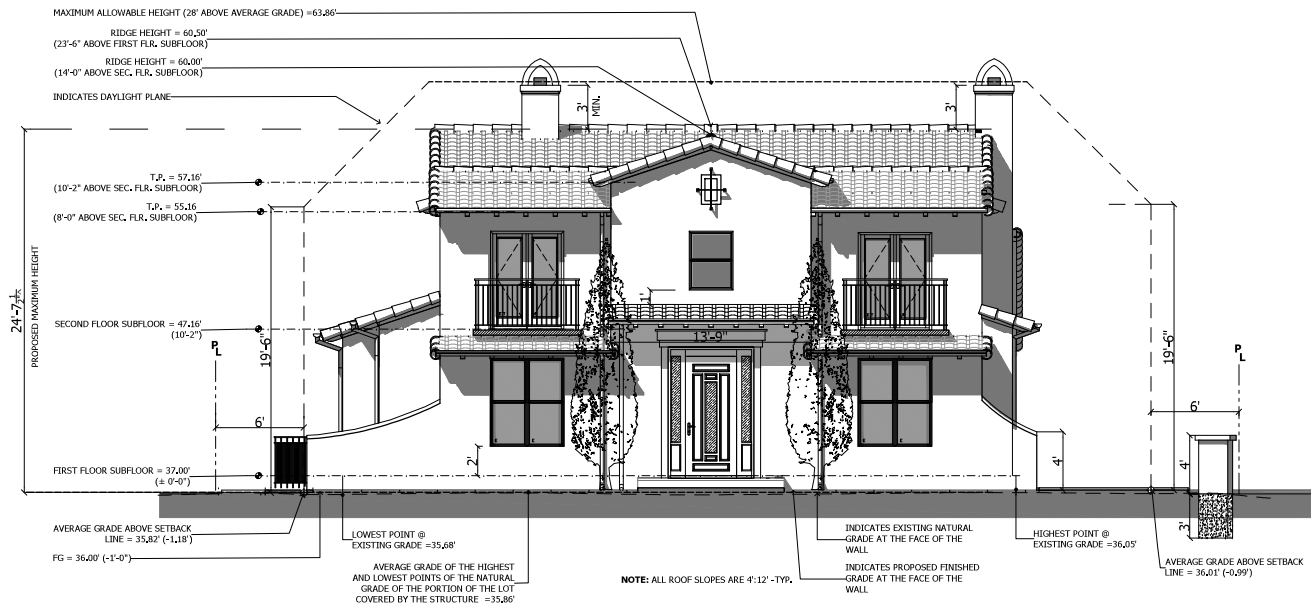
**DRAWN BY :**

**CHECKED BY :**

**ARCHITECT :**



**NORTHWEST (FRONT) ELEVATION - APPROVED USE PERMIT**



**NORTHWEST (FRONT) ELEVATION - REVISED USE PERMIT**

**NOTE :** ALL ELEVATIONS ARE UPDATED PER REVISED SURVEYOR'S TOPOGRAPHICAL INFORMATION.

**DESIGN COMPANY**



**CONTACT :**  
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 Palo Alto, CA 94303

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**PROJECT**  
**445 OAK COURT RESIDENCE**

**ADDRESS :**  
 445 OAK COURT  
 MENLO PARK, CA  
 95025

**OWNER :**  
 BRIAN NGUYEN

**PROJECT NO. :**

Note

**STATUS**

- Basic Design
- Construction
- Approved
- As-built

**REVISIONS**

No.	

**SHEET NAME :**

**EXTERIOR ELEVATIONS NW**

**SHEET NUMBER :**

**A-3.0**

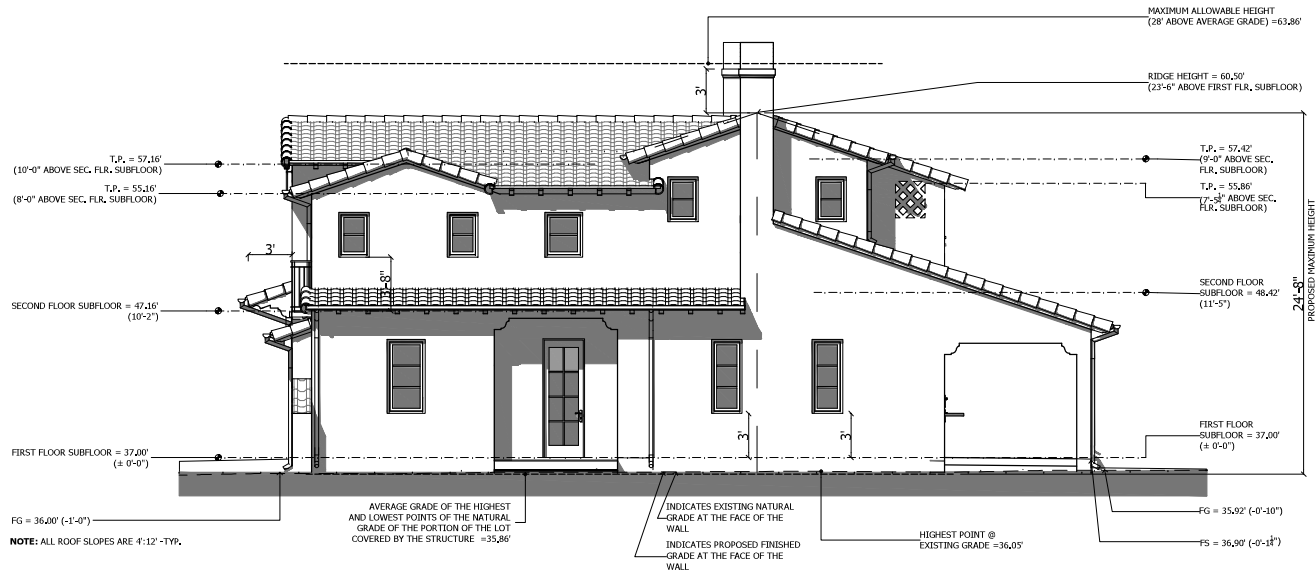
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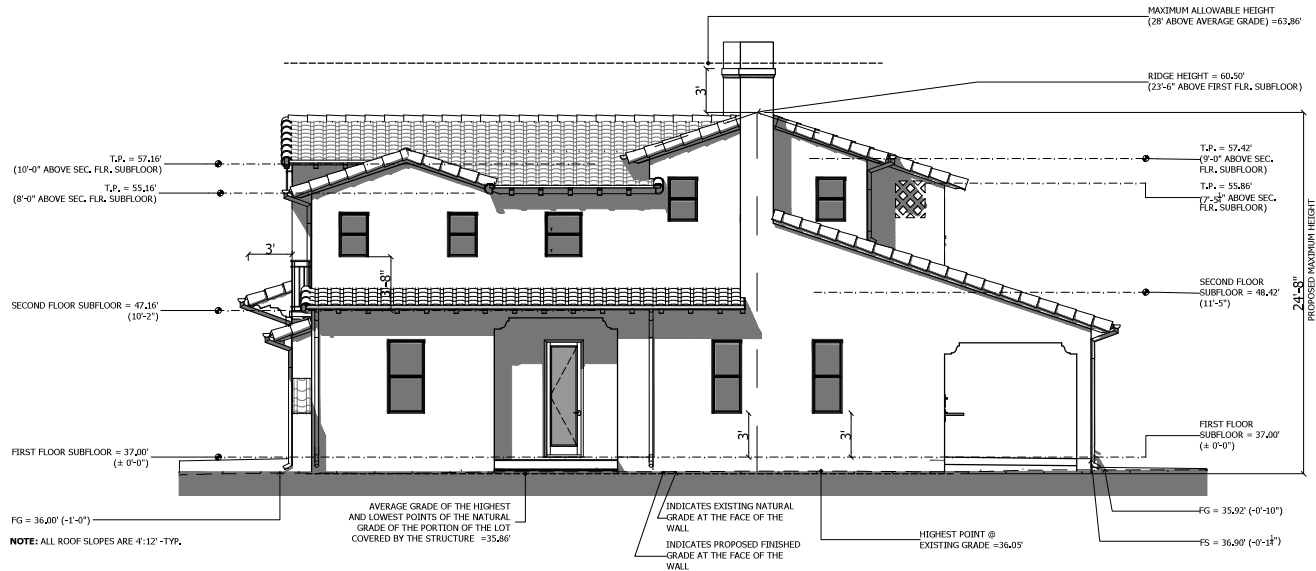
**DRAWN BY :**

**CHECKED BY :**

**ARCHITECT :**



**SOUTHWEST ( RIGHT SIDE) ELEVATION - APPROVED USE PERMIT**



**SOUTHEAST (REAR) ELEVATION - REVISED USE PERMIT**

NOTE : ALL ELEVATIONS ARE UPDATED PER REVISED SURVEYOR'S TOPOGRAPHICAL INFORMATION.

DESIGN COMPANY



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PROJECT  
**445 OAK COURT RESIDENCE**

ADDRESS :  
 445 OAK COURT  
 MENLO PARK, CA  
 95025

OWNER :  
**BRIAN NGUYEN**

PROJECT NO.:

Note

STATUS

- Basic Design
- Construction
- Approved
- As-built

REVISIONS

No	

SHEET NAME :

**EXTERIOR ELEVATION SW**

SHEET NUMBER :

**A-3.1**

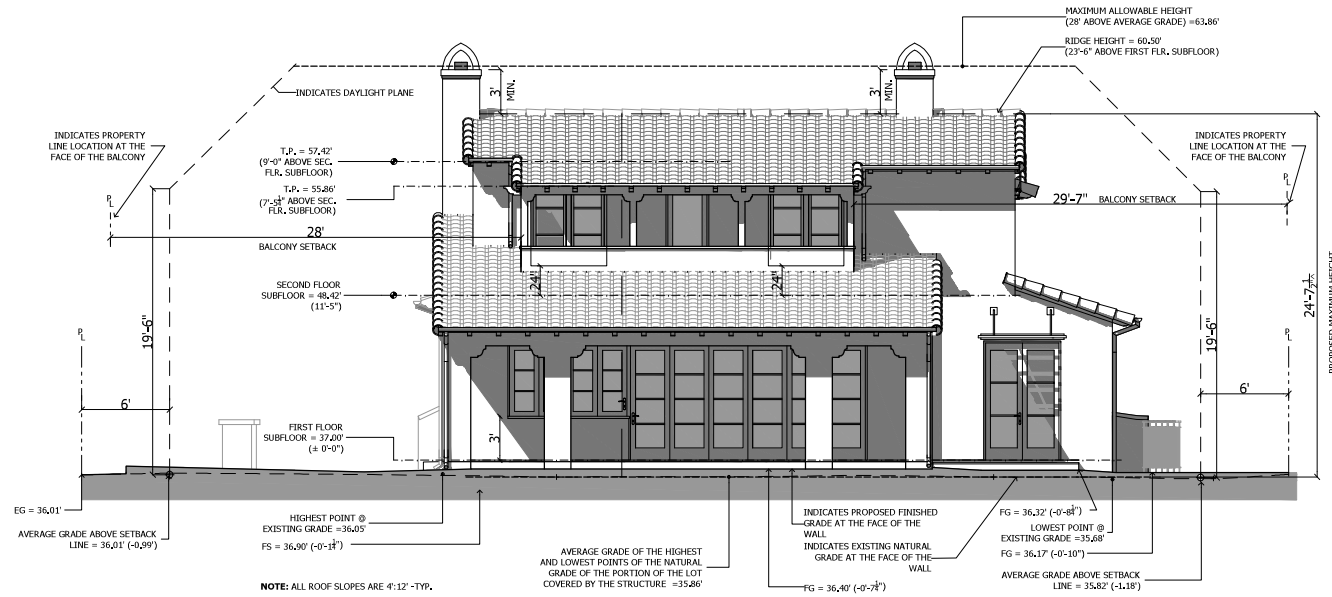
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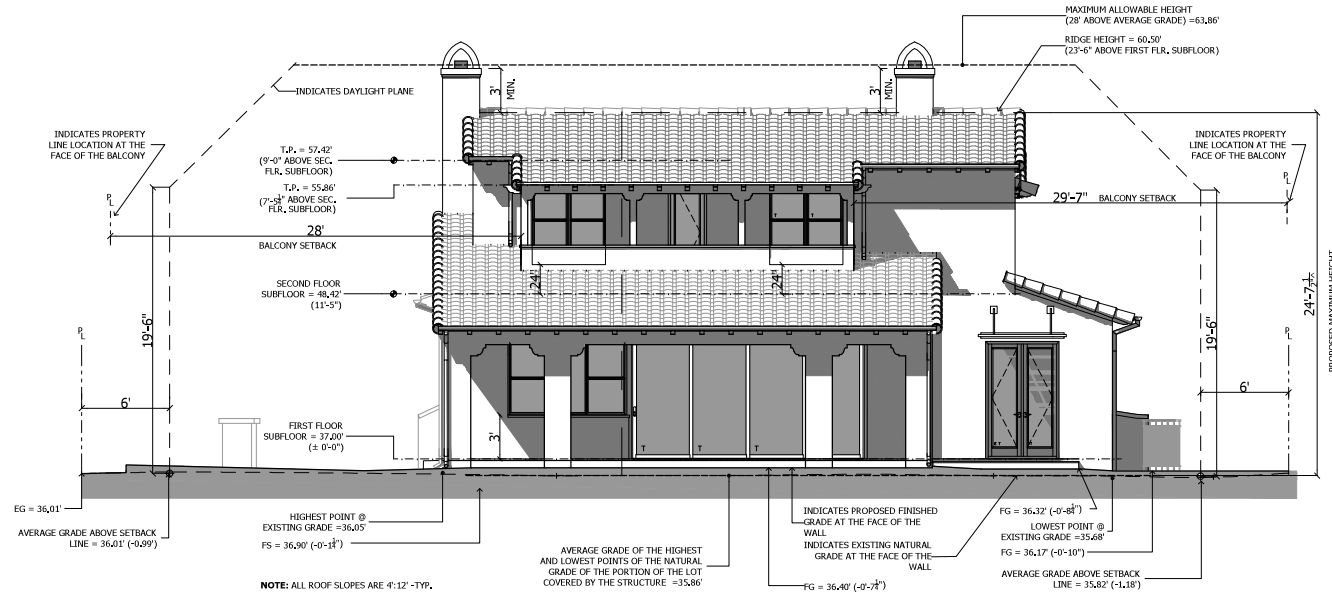
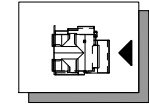
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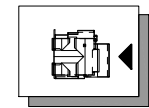
ARCHITECT :



**SOUTHEAST (REAR) ELEVATION - APPROVED USE PERMIT**



**SOUTHEAST (REAR) ELEVATION - REVISED USE PERMIT**



**NOTE :** ALL ELEVATIONS ARE UPDATED PER REVISED SURVEYOR'S TOPOGRAPHICAL INFORMATION.

**DESIGN COMPANY**



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**PROJECT**  
**445 OAK COURT RESIDENCE**

**ADDRESS :**  
 445 OAK COURT  
 MENLO PARK, CA  
 95025

**OWNER :**  
 BRIAN NGUYEN

**PROJECT NO.:**

**Note**

**STATUS**

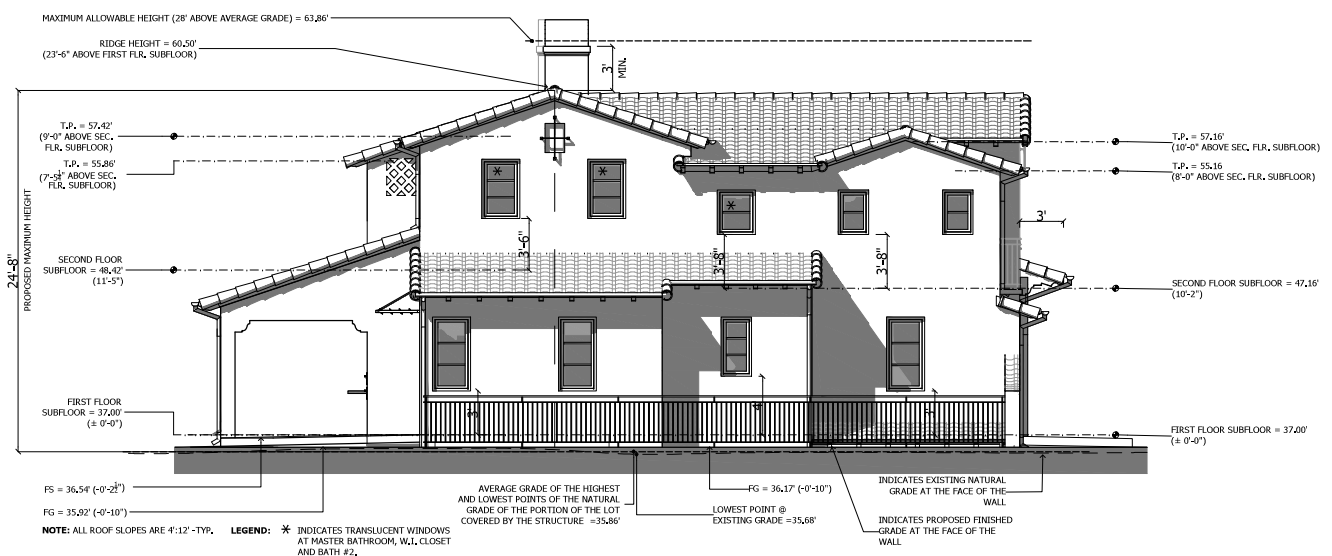
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Construction	<input type="checkbox"/>
Approved	<input checked="" type="checkbox"/>
As-built	<input type="checkbox"/>

**REVISIONS**

No.	

**SHEET NAME :**  
**EXTERIOR ELEVATIONS SE**  
**SHEET NUMBER :**  
**A-3.2**

**DATE :**  
**SCALE :** 1/4" = 1'-0"  
**DRAWN BY :**  
**CHECKED BY :**  
**ARCHITECT :**



**NORTHEAST ( RIGHT SIDE) ELEVATION - APPROVED USE PERMIT**

**NOTE:** ALL ELEVATIONS ARE UPDATED PER REVISED SURVEYOR'S TOPOGRAPHICAL INFORMATION.

**DESIGN COMPANY**



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 BRIAN NGUYEN  
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**445 OAK COURT RESIDENCE**

**ADDRESS:**  
 445 OAK COURT  
 MENLO PARK, CA  
 95025

**OWNER:**  
 BRIAN NGUYEN

**PROJECT NO.:**

Note

STATUS	
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Construction	<input type="checkbox"/>
Approved	<input checked="" type="checkbox"/>
As-built	<input type="checkbox"/>

REVISIONS	
No.	

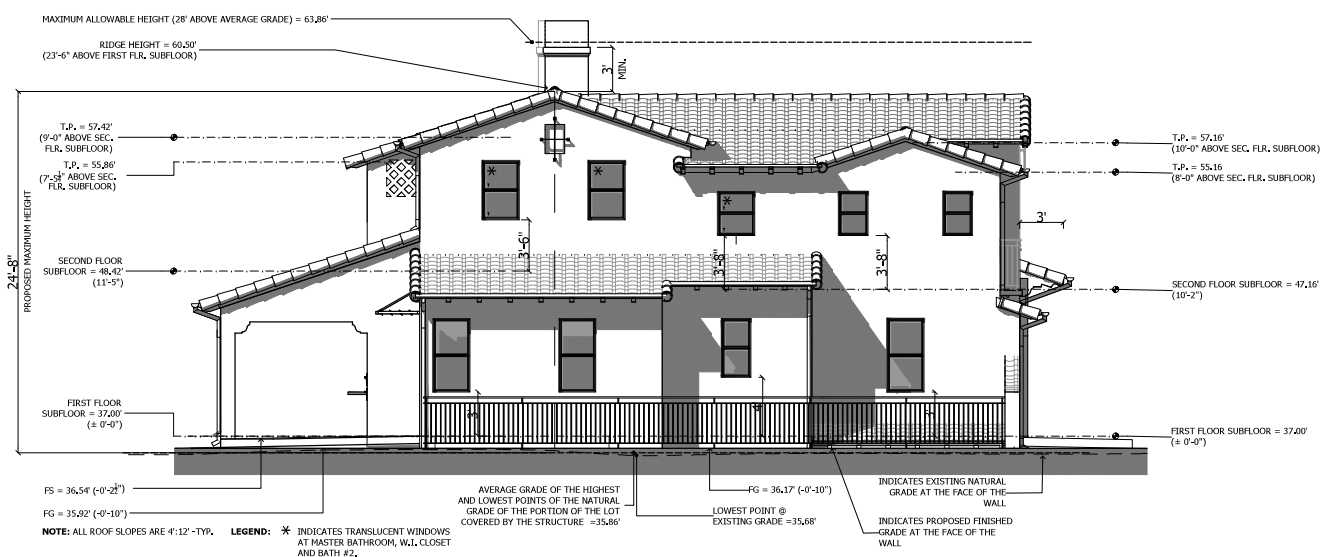
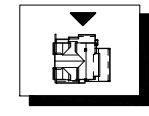
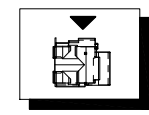
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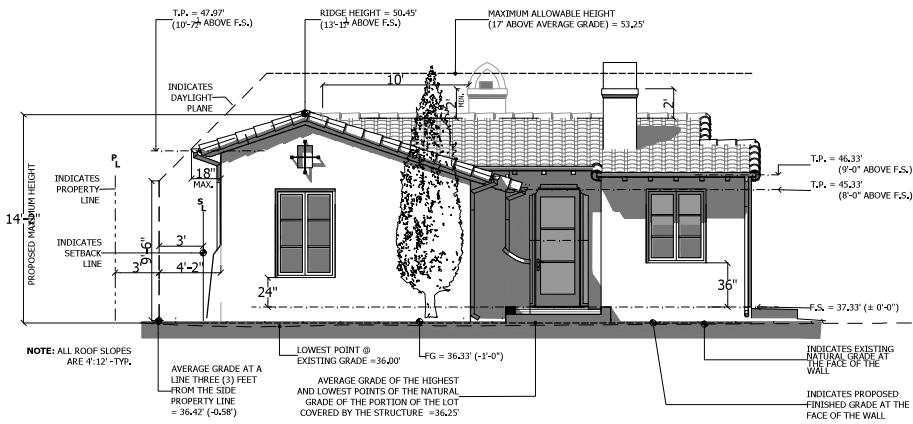
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**A-3.3**

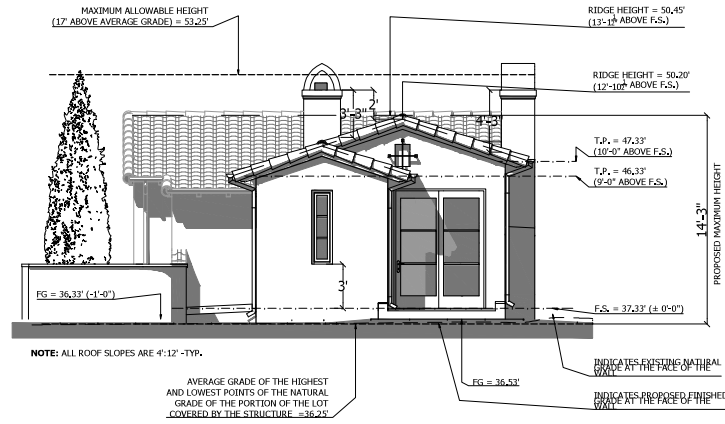
**DATE:**  
**SCALE:** 1/4" = 1'-0"  
**DRAWN BY:**  
**CHECKED BY:**  
**ARCHITECT:**



**NORTHEAST ( RIGHT SIDE) ELEVATION - REVISED USE PERMIT**

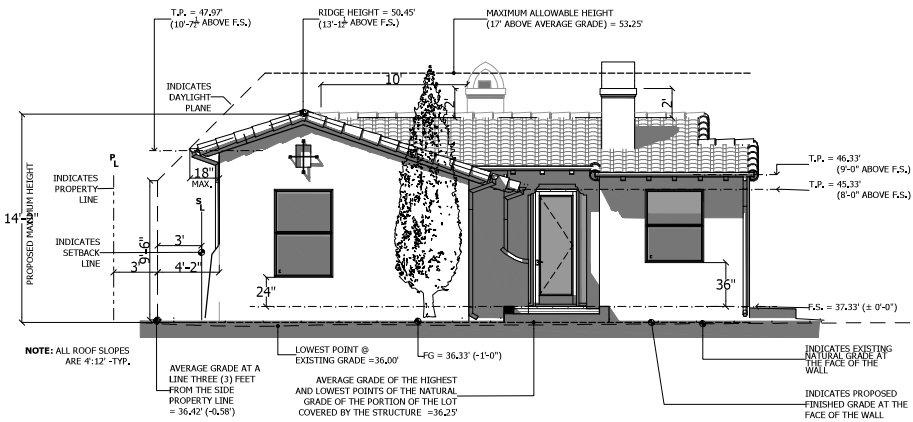


**NORTHWEST ( FRONT ) ELEVATION  
APPROVED USE PERMIT**

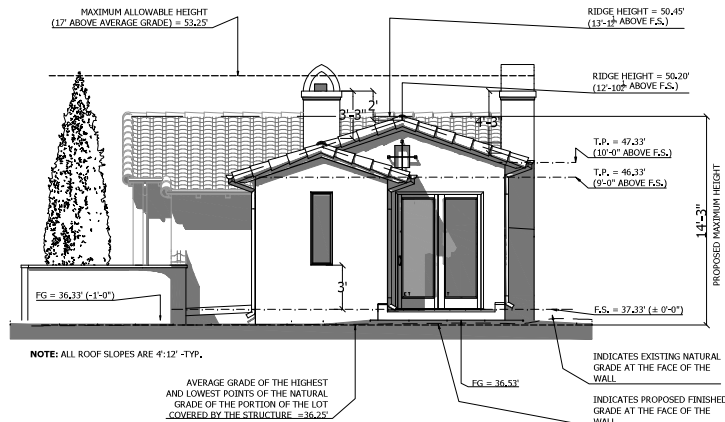


**SOUTHWEST ( RIGHT SIDE ) ELEVATION  
APPROVED USE PERMIT**

**NOTE :** ALL ELEVATIONS ARE UPDATED PER REVISED SURVEYOR'S TOPOGRAPHICAL INFORMATION.



**NORTHWEST ( FRONT ) ELEVATION  
REVISED USE PERMIT**



**SOUTHWEST ( RIGHT SIDE ) ELEVATION  
REVISED USE PERMIT**

**DESIGN COMPANY**



**CONTACT :**  
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Palo Alto, CA 94303

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**PROJECT**  
**445 OAK COURT  
RESIDENCE**

**ADDRESS :**  
445 OAK COURT  
MENLO PARK, CA  
95025

**OWNER :**  
BRIAN NGUYEN

**PROJECT NO.:**

Note

**STATUS**

Basic Design   
Construction   
Approved   
As-built

**REVISIONS**

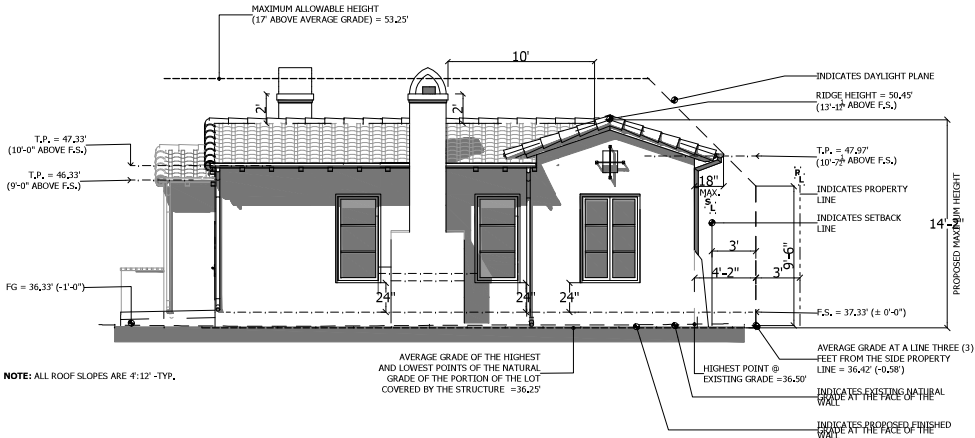
No.	

**SHEET NAME :**  
**SEC DWELL  
ELEVATIONS**

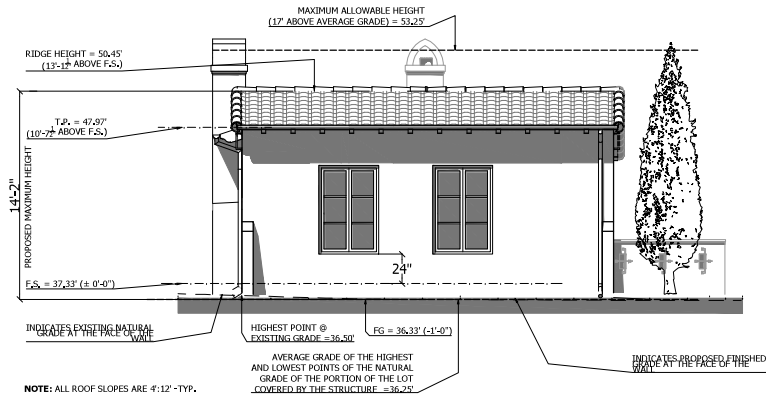
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**A-3.4**

**DATE :**  
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**DRAWN BY :**  
**CHECKED BY :**  
**ARCHITECT :**



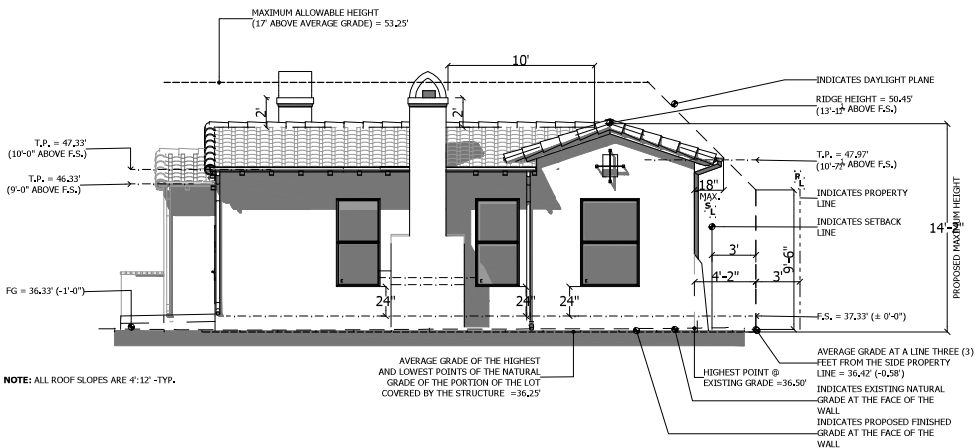


**SOUTHEAST ( REAR) ELEVATION  
APPROVED USE PERMIT**

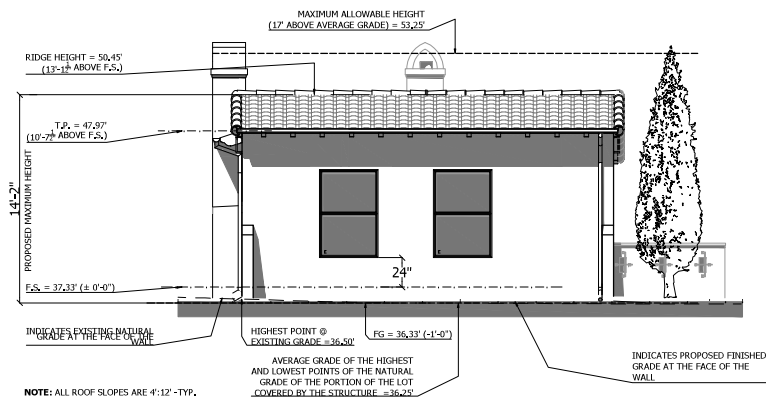


**NORTHEAST ( LEFT SIDE) ELEVATION  
APPROVED USE PERMIT**

**NOTE :** ALL ELEVATIONS ARE UPDATED PER REVISED SURVEYOR'S TOPOGRAPHICAL INFORMATION.



**SOUTHEAST ( REAR) ELEVATION  
REVISED USE PERMIT**



**NORTHEAST ( LEFT SIDE) ELEVATION  
REVISED USE PERMIT**

DESIGN COMPANY



CONTACT :  
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**PROJECT**  
**445 OAK COURT  
RESIDENCE**

ADDRESS :  
445 OAK COURT  
MENLO PARK, CA  
95025

OWNER :  
**BRIAN NGUYEN**

PROJECT NO :

Note

STATUS

- Basic Design
- Construction
- Approved
- As-built

REVISIONS

No	

SHEET NAME :

**SEC DWELL  
ELEVATIONS**

SHEET NUMBER :

**A-3.5**

DATE :

SCALE : 1/4" = 1'-0".

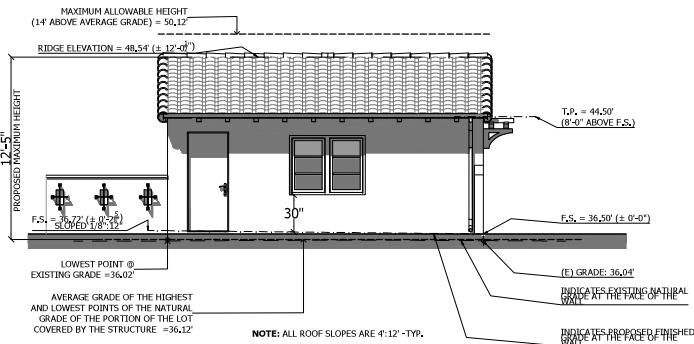
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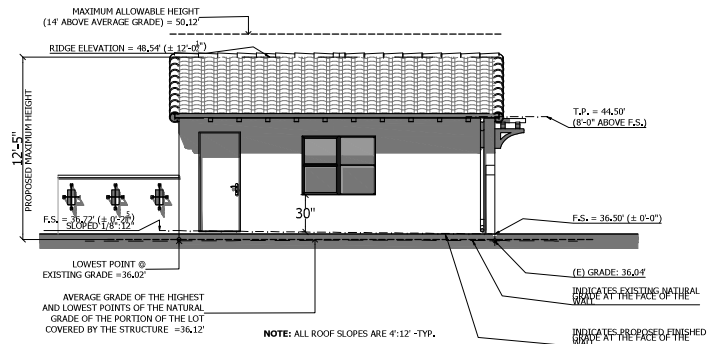
ARCHITECT :



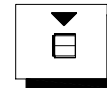
**NOTE :** ALL ELEVATIONS ARE UPDATED PER REVISED SURVEYOR'S TOPOGRAPHICAL INFORMATION.



**NORTHEAST ( LEFT SIDE) ELEVATION  
APPROVED USE PERMIT**



**NORTHEAST ( LEFT SIDE) ELEVATION  
REVISED USE PERMIT**



**DESIGN COMPANY**



**CONTACT :**  
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Palo Alto, CA 94303

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**PROJECT**  
**445 OAK COURT  
RESIDENCE**

**ADDRESS :**  
445 OAK COURT  
MENLO PARK, CA  
95025

**OWNER :**  
BRIAN NGUYEN

**PROJECT NO. :**

Note

**STATUS**

- Basic Design
- Construction
- Approved
- As-built

**REVISIONS**

No	

**SHEET NAME :**

**GARAGE  
ELEVATION NE**

**SHEET NUMBER :**

**A-3.6**

**DATE :**

**SCALE :** 1/4" = 1'-0".

**DRAWN BY :**

**CHECKED BY :**

**ARCHITECT :**

MAIN RESIDENCE WINDOW SCHEDULE												
ID	TY	QTY	WIDTH	HEIGHT	LOC. RT.	OPERATIONAL TYPE	MATERIALS	EXT. FINISH	INT. FINISH	GLAZING	LOCATION	REMARKS
1	---	1	3'-0"	6'-0"	RT.	FR. CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E	ENTRY	SHS
2	---	1	3'-0"	3'-0"	RT.	UN-CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E	ENTRY	SHS
3	---	1	3'-0"	6'-0"	RT.	FR. CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E	BRNDRM #1	SHS
4	---	1	3'-0"	3'-0"	RT.	UN-CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E	BRNDRM #1	SHS
5	---	1	3'-0"	6'-0"	RT.	FR. CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E	BRNDRM #2	SHS
6	---	1	3'-0"	3'-0"	RT.	UN-CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E	BRNDRM #2	SHS
7	---	1	3'-0"	6'-0"	RT.	FR. CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E	BRNDRM #3	SHS
8	---	1	3'-0"	3'-0"	RT.	UN-CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E	BRNDRM #3	SHS
9	---	1	3'-0"	6'-0"	RT.	FR. CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E	BRNDRM #4	SHS
10	---	1	3'-0"	3'-0"	RT.	UN-CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E	BRNDRM #4	SHS
11	---	1	3'-0"	6'-0"	RT.	FR. CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E	BRNDRM #5	SHS
12	---	1	3'-0"	3'-0"	RT.	UN-CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E	BRNDRM #5	SHS
13	---	1	3'-0"	6'-0"	RT.	FR. CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E	BRNDRM #6	SHS
14	---	1	3'-0"	3'-0"	RT.	UN-CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E	BRNDRM #6	SHS
15	---	1	3'-0"	6'-0"	RT.	FR. CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E	BRNDRM #7	SHS
16	---	1	3'-0"	3'-0"	RT.	UN-CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E	BRNDRM #7	SHS
17	---	1	3'-0"	6'-0"	RT.	FR. CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E	BRNDRM #8	SHS
18	---	1	3'-0"	3'-0"	RT.	UN-CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E	BRNDRM #8	SHS
19	---	1	3'-0"	6'-0"	RT.	FR. CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E	BRNDRM #9	SHS
20	---	1	3'-0"	3'-0"	RT.	UN-CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E	BRNDRM #9	SHS
21	---	1	3'-0"	6'-0"	RT.	FR. CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E	BRNDRM #10	SHS
22	---	1	3'-0"	3'-0"	RT.	UN-CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E	BRNDRM #10	SHS

**CUPCA:** GLAZ ULTIMATE FIBER OPTIC CASSETT  
**OPFCA:** GLAZ ULTIMATE TOP-OUT FIBER OPTIC CASSETT  
**SHS:** SHIMAZO DRYED LITES WINDOW SHS

**WINDOW NOTES:**  
 1) REFER TO WINDOW ELEVATIONS FOR HULLION DESIGN & ADDITIONAL INFO.  
 2) GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE SUPPLIER COMPLIANCE OF NEW WINDOWS WITH ANY STATE OR LOCAL BUILDING CODES.  
 3) ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF PROJECT DESIGN GROUP IMMEDIATELY.  
 4) HEADERS AT MAIN AND SECOND FLOOR ARE ABOVE WOOD SUBFLOOR. VERIFY JOAMB DEPTH TO REQUIREMENTS OF STRUCTURAL PLANS AS REQUIRED PRIOR TO PLACING ORDER.  
 5) WINDOWS WITH A SILL HEIGHT LESS THAN 72 INCHES ABOVE THE DRAM PANEL IN ROOMS REQUIRING SHALL BE A TYPE THAT IS NOT ADVERSELY AFFECTED BY MOISTURE (WOOD OR WOOD GLAZ IS NOT ACCEPTABLE).

## MAIN RESIDENCE WINDOW SCHEDULE APPROVED USE PERMIT

MAIN RESIDENCE WINDOW SCHEDULE												
ID	TY	QTY	WIDTH	HEIGHT	LOC. RT.	OPERATIONAL TYPE	MATERIALS	EXT. FINISH	INT. FINISH	GLAZING	LOCATION	REMARKS
1	---	1	3'-0"	6'-0"	RT.	FR. CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E WITH ARGON	ENTRY	SHS
2	---	1	3'-0"	3'-0"	RT.	UN-CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E WITH ARGON	ENTRY	SHS
3	---	1	3'-0"	6'-0"	RT.	FR. CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E WITH ARGON	BATH #4	SHS
4	---	1	3'-0"	3'-0"	RT.	UN-CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E WITH ARGON	BATH #4	SHS
5	---	1	3'-0"	6'-0"	RT.	FR. CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E WITH ARGON	BRNDRM #4	SHS
6	---	1	3'-0"	3'-0"	RT.	UN-CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E WITH ARGON	BRNDRM #4	SHS
7	---	1	3'-0"	6'-0"	RT.	FR. CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E WITH ARGON	KITCHEN	SHS
8	---	1	3'-0"	3'-0"	RT.	UN-CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E WITH ARGON	KITCHEN	SHS
9	---	1	3'-0"	6'-0"	RT.	FR. CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E WITH ARGON	DINING ROOM	SHS
10	---	1	3'-0"	3'-0"	RT.	UN-CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E WITH ARGON	DINING ROOM	SHS
11	---	1	3'-0"	6'-0"	RT.	FR. CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E WITH ARGON	STUDY	SHS
12	---	1	3'-0"	3'-0"	RT.	UN-CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E WITH ARGON	STUDY	SHS
13	---	1	3'-0"	6'-0"	RT.	FR. CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E WITH ARGON	BRNDRM #6	SHS
14	---	1	3'-0"	3'-0"	RT.	UN-CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E WITH ARGON	BRNDRM #6	SHS
15	---	1	3'-0"	6'-0"	RT.	FR. CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E WITH ARGON	BRNDRM #7	SHS
16	---	1	3'-0"	3'-0"	RT.	UN-CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E WITH ARGON	BRNDRM #7	SHS
17	---	1	3'-0"	6'-0"	RT.	FR. CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E WITH ARGON	MASTER BATH	SHS
18	---	1	3'-0"	3'-0"	RT.	UN-CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E WITH ARGON	MASTER BATH	SHS
19	---	1	3'-0"	6'-0"	RT.	FR. CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E WITH ARGON	BATH #3	SHS
20	---	1	3'-0"	3'-0"	RT.	UN-CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E WITH ARGON	BATH #3	SHS
21	---	1	3'-0"	6'-0"	RT.	FR. CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E WITH ARGON	BRNDRM #8	SHS
22	---	1	3'-0"	3'-0"	RT.	UN-CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E WITH ARGON	BRNDRM #8	SHS

**SHS:** SHIMAZO DRYED LITES WINDOW SHS  
**OPFCA:** GLAZ ULTIMATE FIBER OPTIC CASSETT  
**OPFCA:** GLAZ ULTIMATE TOP-OUT FIBER OPTIC CASSETT  
**SHS:** SHIMAZO DRYED LITES WINDOW SHS

**WINDOW NOTES:**  
 1) GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE SUPPLIER COMPLIANCE OF NEW WINDOWS WITH ANY STATE OR LOCAL BUILDING CODES.  
 2) HEADERS AT MAIN AND SECOND FLOOR ARE ABOVE WOOD SUBFLOOR.  
 3) VERIFY JOAMB DEPTH TO REQUIREMENTS OF STRUCTURAL PLANS AS REQUIRED PRIOR TO PLACING ORDER.  
 4) WINDOWS WITH A SILL HEIGHT LESS THAN 72 INCHES ABOVE THE DRAM PANEL IN ROOMS REQUIRING SHALL BE A TYPE THAT IS NOT ADVERSELY AFFECTED BY MOISTURE (WOOD OR WOOD GLAZ IS NOT ACCEPTABLE).

## MAIN RESIDENCE WINDOW SCHEDULE REVISED USE PERMIT

MAIN RESIDENCE DOOR SCHEDULE												
ID	TY	QTY	WIDTH	HEIGHT	OPERATIONAL TYPE	MATERIALS	EXT. FINISH	INT. FINISH	GLAZING	LOCATION	HEADER/STRIP	NOTES/REMARKS
1	---	1	3'-0"	6'-0"	RT.	FR. CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E	ENTRY	YES
2	---	1	3'-0"	3'-0"	RT.	UN-CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E	ENTRY	YES
3	---	1	3'-0"	6'-0"	RT.	FR. CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E	BRNDRM #1	YES
4	---	1	3'-0"	3'-0"	RT.	UN-CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E	BRNDRM #1	YES
5	---	1	3'-0"	6'-0"	RT.	FR. CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E	BRNDRM #2	YES
6	---	1	3'-0"	3'-0"	RT.	UN-CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E	BRNDRM #2	YES
7	---	1	3'-0"	6'-0"	RT.	FR. CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E	BRNDRM #3	YES
8	---	1	3'-0"	3'-0"	RT.	UN-CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E	BRNDRM #3	YES
9	---	1	3'-0"	6'-0"	RT.	FR. CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E	BRNDRM #4	YES
10	---	1	3'-0"	3'-0"	RT.	UN-CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E	BRNDRM #4	YES
11	---	1	3'-0"	6'-0"	RT.	FR. CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E	BRNDRM #5	YES
12	---	1	3'-0"	3'-0"	RT.	UN-CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E	BRNDRM #5	YES
13	---	1	3'-0"	6'-0"	RT.	FR. CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E	BRNDRM #6	YES
14	---	1	3'-0"	3'-0"	RT.	UN-CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E	BRNDRM #6	YES
15	---	1	3'-0"	6'-0"	RT.	FR. CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E	BRNDRM #7	YES
16	---	1	3'-0"	3'-0"	RT.	UN-CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E	BRNDRM #7	YES
17	---	1	3'-0"	6'-0"	RT.	FR. CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E	BRNDRM #8	YES
18	---	1	3'-0"	3'-0"	RT.	UN-CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E	BRNDRM #8	YES
19	---	1	3'-0"	6'-0"	RT.	FR. CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E	BRNDRM #9	YES
20	---	1	3'-0"	3'-0"	RT.	UN-CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E	BRNDRM #9	YES
21	---	1	3'-0"	6'-0"	RT.	FR. CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E	BRNDRM #10	YES
22	---	1	3'-0"	3'-0"	RT.	UN-CASSETT	ALUM. WOOD GLAZ.	ALUM.	WOOD	INSULATED & LOW-E	BRNDRM #10	YES

**SHS:** SHIMAZO DRYED LITES WINDOW SHS  
**OPFCA:** GLAZ ULTIMATE FIBER OPTIC CASSETT  
**OPFCA:** GLAZ ULTIMATE TOP-OUT FIBER OPTIC CASSETT  
**SHS:** SHIMAZO DRYED LITES WINDOW SHS

**DOOR NOTES:**  
 1) TYPICAL DOORS AND HARDWARE, TYPE, I/J, IN MANUFACTURER AS APPROVED BY OWNER/ARCHITECT.  
 2) DOORS HEADS AT GARAGE ARE ABOVE CONCRETE SLAB.  
 3) HEADERS AT MAIN AND SECOND FLOOR ARE ABOVE WOOD SUBFLOOR.  
 4) HEADERS AT MAIN AND SECOND FLOOR ARE ABOVE WOOD SUBFLOOR.  
 5) VERIFY JOAMB DEPTH TO REQUIREMENTS OF STRUCTURAL PLANS AS REQUIRED PRIOR TO PLACING ORDER.  
 6) EGRESS DOOR ENTRY DOOR SHALL BE OPERABLE FROM THE INSIDE OF THE DWELLING WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT (DRC SEC. K311.2).

## MAIN RESIDENCE DOOR SCHEDULE APPROVED USE PERMIT

## MAIN RESIDENCE DOOR SCHEDULE REVISED USE PERMIT



**CONTACT :**  
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### PROJECT 445 OAK COURT RESIDENCE

**ADDRESS :**  
 445 OAK COURT  
 MENLO PARK, CA  
 95025

**OWNER :**  
 BRIAN NGUYEN

**PROJECT NO. :**

**Note**

**STATUS**

- Basic Design
- Construction
- Approved
- As-built

**REVISIONS**

No	REVISIONS

**SHEET NAME :**

### ARCHITECTURAL SCHEDULES

**SHEET NUMBER :**

**A-4.0**

**DATE :**

**SCALE :** NO SCALE

**DRAWN BY :**

**CHECKED BY :**

**ARCHITECT :**

SECONDARY DWELLING WINDOW SCHEDULE															
ID	TYPE	QTY	WIDTH	HEIGHT	HDR HT	OPERATIONAL TYPE	MATERIALS	EXT. FINISH	INT. FINISH	GLAZING	LOCATION	REMARKS	TEMPERED	SECRET	MANUFACTURER
1	---	1	4'-0"	6'-0"	6'-1"	R/C CASSETT	ALUM. WOOD CLAD	ALUM.	WOOD	INSULATED & LOW-E	BEDROOM	SOFS, EGRESS	---	---	GEFFCA
2	---	1	4'-0"	6'-0"	6'-1"	R/C CASSETT	ALUM. WOOD CLAD	ALUM.	WOOD	INSULATED & LOW-E	BEDROOM	SOFS	---	---	GEFFCA
3	---	1	4'-0"	6'-0"	6'-1"	R/C CASSETT	ALUM. WOOD CLAD	ALUM.	WOOD	INSULATED & LOW-E	LIVING ROOM	SOFS	---	---	GEFFCA
4	---	1	4'-0"	6'-0"	6'-1"	R/C CASSETT	ALUM. WOOD CLAD	ALUM.	WOOD	INSULATED & LOW-E	LIVING ROOM	SOFS	---	---	GEFFCA
5	---	1	3'-0"	6'-0"	6'-1"	LH CASSETT	ALUM. WOOD CLAD	ALUM.	WOOD	INSULATED & LOW-E	LIVING ROOM	SOFS	---	---	GEFFCA
6	---	1	4'-0"	6'-0"	6'-1"	R/C CASSETT	ALUM. WOOD CLAD	ALUM.	WOOD	INSULATED & LOW-E	LIVING ROOM	SOFS	---	---	GEFFCA
7	---	1	1'-4"	5'-0"	6'-1"	R/C CASSETT	ALUM. WOOD CLAD	ALUM.	WOOD	INSULATED & LOW-E	KITCHEN	SOFS	---	---	GEFFCA
8	---	1	4'-0"	6'-0"	6'-1"	R/C CASSETT	ALUM. WOOD CLAD	ALUM.	WOOD	INSULATED & LOW-E	KITCHEN	SOFS	---	---	GEFFCA

**GENERAL NOTES:**  
 1) REFER TO WINDOW ELEVATIONS FOR MILLION DESIGN & ADDITIONAL INFO.  
 2) GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING WITH THE SUPPLIER COMPLIANCE OF NEW WINDOWS WITH ANY STATE OR LOCAL BUILDING CODES.  
 3) ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF METRO DESIGN GROUP IMMEDIATELY.  
 4) ARCHITECT SHALL REVIEW WINDOW ORDER PRIOR TO PLACING FINAL WINDOW ORDER. SEE EXTERIOR ELEVATIONS FOR ADD'L WINDOW INFO.  
 5) HEADERS AT BASEMENT ARE ABOVE CONCRETE SLAB.  
 6) HEADERS AT MAIN AND SECOND FLOOR ARE ABOVE WOOD SUBFLOOR.  
 7) VERIFY JAMB DEPTH REQUIREMENTS W/ SHEARWALL REQUIREMENTS ON STRUCTURAL PLANS AS REQUIRED PRIOR TO PLACING ORDER.  
 8) WINDOWS WITH A SILL HEIGHT LESS THAN 72 INCHES ABOVE THE DRAIN INLET IN SHOWER ENCLOSURES SHALL BE A TYPE THAT IS NOT ADVERSELY AFFECTED BY MOISTURE (WOOD OR WOOD CLAD IS NOT ACCEPTABLE).

## SEC DWELL WINDOW SCHEDULE APPROVED USE PERMIT

SECONDARY DWELLING DOOR SCHEDULE													
ID	TYPE	QTY	WIDTH	HEIGHT	OPERATIONAL TYPE	MATERIALS	EXT. FINISH	INT. FINISH	GLAZING	LOCATION	WEATHER STRIP	NOTES/REMARKS	MANUFACTURER
<b>EXTERIOR DOORS:</b>													
1	A	1	3'-0"	8'-0"	RH	ALUM. WOOD CLAD	ALUM.	WOOD	INSULATED, TEMP. LOW-E	ENTRY	YES	1'-2" X 8'-0" SIDELIGHTS (EA. SIDE, SOLS)	HAVEN
2	B	1	6'-0"	8'-0"	SLIDING	ALUM. WOOD CLAD	ALUM.	WOOD	INSULATED, TEMP. LOW-E	LIVING ROOM	YES		HAVEN
<b>INTERIOR DOORS/OPENINGS:</b>													
3	---	1	3'-0"	8'-0"	BIFOLD, LH	NDF	PART	PART	---	LAUNDRY	NO	SEE NOTE #6	TRUSTLE
4	---	1	3'-0"	8'-0"	RH	NDF	PART	PART	---	BATHROOM	NO	ACCESSIBLE	TRUSTLE
5	---	1	3'-0"	8'-0"	RH	NDF	PART	PART	---	BEDROOM	NO	ACCESSIBLE	TRUSTLE
6	---	1	4'-8"	8'-0"	BY-PASSING	NDF	PART	PART	---	CLOSET	NO		TRUSTLE
7	---	1	2'-0"	8'-0"	RH	NDF	PART	PART	---	F.A.U.I.	NO	SEE NOTE #7	TRUSTLE

**GENERAL NOTES:**  
 1) REFER TO DOOR ELEVATIONS FOR MILLION DESIGN & ADDITIONAL INFO.  
 2) TYPICAL DOORS AND HARDWARE, TYP. U.L.D. MANUFACTURER AS APPROVED BY OWNER/ARCHITECT.  
 3) VERIFY JAMB DEPTH REQUIREMENTS W/ SHEARWALL REQUIREMENTS ON STRUCTURAL PLANS AS REQUIRED PRIOR TO PLACING ORDER.  
 4) BIFOLD DOOR (ENTRY DOOR NO) SHALL BE OPERABLE FROM THE INSIDE OF THE DWELLING WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT (CIRC SEC. R311.2)  
 5) PROVIDE AN OPENING OF NOT LESS THAN 20 SQ. IN. FOR MAKEUP AIR PER CIRC SEC. 304.4.1.  
 6) PROVIDE TWO OPENINGS ON NOT LESS THAN 3 (3) IN. L.O.S. FROM TOP OF THE TOTAL SWIFT BATTING OF APPLIANCES IN THE SPACE, BUT NOT LESS THAN 200 SQ. IN. FOR COMBUSTION AIR. ONE OPENING SHALL COMBINE WITHIN 12" OF THE TOP OF THE ENCLOSURE AND ONE OPENING SHALL COMBINE WITHIN 12" OF THE BOTTOM OF THE ENCLOSURE, PER CIRC SEC. 701.3.

## SEC DWELL DOOR SCHEDULE APPROVED USE PERMIT

SECONDARY DWELLING APPLIANCE SCHEDULE				
ROOM NAME	FIXTURE	QTY	FINISH	NOTES
FAMILY ROOM	FIREPLACE	1		
	RANGE	1		
	HOOD	1		
	DISHWASHER	1		
	REF / FRIG	1		
KITCHEN	MICROWAVE	1		
	GARBAGE DISPOSAL	1		
LAUNDRY	WASHER	1		
	DRYER	1		
TECH ROOM	F.A.U.I.	1		
	FAN	1		

**GENERAL NOTES:**  
 1) NOTE: IF MANUFACTURER, MODEL NUMBER, AND COLOR INFORMATION IS INCOMPLETE, CONSULT OWNER FOR MISSING INFORMATION. IF

SECONDARY DWELLING PLUMBING FIXTURE SCHED.					
ROOM NAME	FIXTURE	QTY	MANUFACTURER	MODEL NUMBER	COMMENTS
KITCHEN	CLEAN-UP SINK	1			
	FAUCET	1			
	TOWEL RACK	1			
BATHROOM	LAV SINK	1			
	LAV FAUCET	1			
	SHOWER SET	1			
	WATER CLOSET	1			
	TOWEL RACK	1			
LAUNDRY	GRAB BARS	4			
	WASHER VALVE SET	1			

**GENERAL NOTES:**  
 1) NOTE: IF MANUFACTURER, MODEL NUMBER, AND COLOR INFORMATION IS INCOMPLETE, CONSULT OWNER FOR MISSING INFORMATION. IF

SECONDARY DWELLING WINDOW SCHEDULE															
ID	TYPE	QTY	WIDTH	HEIGHT	HDR HT.	OPERATIONAL TYPE	MATERIALS	EXT. FINISH	INT. FINISH	GLAZING	LOCATION	REMARKS	TEMPERED	SECRET	MANUFACTURER
1	---	1	4'-0"	6'-0"	6'-1"	SINGLE HUNG	FIBERGLASS	FIBERGLASS	FIBERGLASS	INSULATED & LOW-E	BEDROOM	EGRESS	---	---	MUFS
2	---	1	4'-0"	6'-0"	6'-1"	SINGLE HUNG	FIBERGLASS	FIBERGLASS	FIBERGLASS	INSULATED & LOW-E	BEDROOM	EGRESS	---	---	MUFS
3	---	1	4'-0"	6'-0"	6'-1"	SINGLE HUNG	FIBERGLASS	FIBERGLASS	FIBERGLASS	INSULATED & LOW-E	LIVING ROOM	-	---	---	MUFS
4	---	1	4'-0"	6'-0"	6'-1"	SINGLE HUNG	FIBERGLASS	FIBERGLASS	FIBERGLASS	INSULATED & LOW-E	LIVING ROOM	-	---	---	MUFS
5	---	1	3'-0"	6'-0"	6'-1"	SINGLE HUNG	FIBERGLASS	FIBERGLASS	FIBERGLASS	INSULATED & LOW-E	LIVING ROOM	-	---	---	MUFS
6	---	1	3'-0"	6'-0"	6'-1"	SINGLE HUNG	FIBERGLASS	FIBERGLASS	FIBERGLASS	INSULATED & LOW-E	LIVING ROOM	-	---	---	MUFS
7	---	1	1'-4"	5'-0"	6'-1"	SINGLE HUNG	FIBERGLASS	FIBERGLASS	FIBERGLASS	INSULATED & LOW-E	KITCHEN	PW	---	---	MUFS
8	---	1	4'-0"	6'-0"	6'-1"	SINGLE HUNG	FIBERGLASS	FIBERGLASS	FIBERGLASS	INSULATED & LOW-E	KITCHEN	-	---	---	MUFS

**GENERAL NOTES:**  
 1) GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING WITH THE SUPPLIER COMPLIANCE OF NEW WINDOWS WITH ANY STATE OR LOCAL BUILDING CODES.  
 2) ARCHITECT SHALL REVIEW WINDOW ORDER PRIOR TO PLACING FINAL WINDOW ORDER. SEE EXTERIOR ELEVATIONS FOR ADD'L WINDOW INFO.  
 3) HEADERS AT BASEMENT ARE ABOVE CONCRETE SLAB.  
 4) HEADERS AT MAIN AND SECOND FLOOR ARE ABOVE WOOD SUBFLOOR.  
 5) VERIFY JAMB DEPTH REQUIREMENTS W/ SHEARWALL REQUIREMENTS ON STRUCTURAL PLANS AS REQUIRED PRIOR TO PLACING ORDER.  
 6) WINDOWS WITH A SILL HEIGHT LESS THAN 72 INCHES ABOVE THE DRAIN INLET IN SHOWER ENCLOSURES SHALL BE A TYPE THAT IS NOT ADVERSELY AFFECTED BY MOISTURE (WOOD OR WOOD CLAD IS NOT ACCEPTABLE).

## SEC DWELL WINDOW SCHEDULE REVISED USE PERMIT

SECONDARY DWELLING DOOR SCHEDULE													
ID	TYPE	QTY	WIDTH	HEIGHT	OPERATIONAL TYPE	MATERIALS	EXT. FINISH	INT. FINISH	GLAZING	LOCATION	WEATHER STRIP	NOTES/REMARKS	MANUFACTURER
<b>EXTERIOR DOORS:</b>													
1	A	1	3'-0"	8'-0"	LH	WOOD	WOOD	WOOD	INSULATED, TEMP. LOW-E	ENTRY	YES	1'-2" X 8'-0" SIDELIGHTS, EA. SIDE	JELD-WEN
2	B	1	6'-0"	8'-0"	SLIDING	FIBERGLASS	FIBERGLASS	FIBERGLASS	INSULATED, TEMP. LOW-E	ENTRY HALL 2	YES	802, EGRESS	MLGAR
<b>INTERIOR DOORS/OPENINGS:</b>													
3	---	1	3'-0"	8'-0"	BIFOLD, LH	NDF	PART	PART	---	LAUNDRY	NO	SEE NOTE #6	TRUSTLE
4	---	1	3'-0"	8'-0"	RH	NDF	PART	PART	---	BATHROOM	NO	ACCESSIBLE	TRUSTLE
5	---	1	3'-0"	8'-0"	RH	NDF	PART	PART	---	BEDROOM	NO	ACCESSIBLE	TRUSTLE
6	---	1	4'-8"	8'-0"	BY-PASSING	NDF	PART	PART	---	CLOSET	NO		TRUSTLE
7	---	1	2'-0"	8'-0"	RH	NDF	PART	PART	---	F.A.U.I.	NO	SEE NOTE #7	TRUSTLE


**GENERAL NOTES:**  
 1) TYPICAL DOORS AND HARDWARE, TYP. U.L.D. MANUFACTURER AS APPROVED BY OWNER/ARCHITECT.  
 2) DOOR HEAD AT GARAGE ARE ABOVE CONCRETE SLAB.  
 3) HEADERS AT BASEMENT ARE ABOVE CONCRETE SLAB.  
 4) HEADERS AT MAIN AND SECOND FLOOR ARE ABOVE WOOD SUBFLOOR.  
 5) VERIFY JAMB DEPTH REQUIREMENTS W/ SHEARWALL REQUIREMENTS ON STRUCTURAL PLANS AS REQUIRED PRIOR TO PLACING ORDER.  
 6) EGRESS DOOR (ENTRY DOOR NO) SHALL BE OPERABLE FROM THE INSIDE OF THE DWELLING WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT (CIRC SEC. R311.2).

## SEC DWELL DOOR SCHEDULE REVISED USE PERMIT

SECONDARY DWELLING FINISH SCHEDULE									
ROOM NAME	FLOOR	BASE	WALL	CEILING	CROWN	CASING	CAB/ENTR		
MAIN FLOOR	LIVING ROOM	R/O/P, MDF 217A	SM/FL	SM/FL	MDF 46A				
	ENTRY CLOSETS	R/O/P, MDF 217A	SM/FL	SM/FL					
	KITCHEN	R/O/P, MDF 217A	SM/SG	SM/SG	MDF 46A				
	BEDROOM	R/O/P, MDF 217A	SM/FL	SM/FL	MDF 46A				
	BATHROOM	R/O/P, MDF 217A	SM/SG	SM/SG					
LAUNDRY ROOM, MECH.	T/B:	T/B @ Walls	R/O/P, MDF 217A	SM/SG	SM/SG				

FINISH ABBREVIATIONS			
BOR	BORDER	HWD	HARDWOOD FLOOR
BRK	BRICK	LS	LIMESTONE TILE - FULLSET
CAB	CABINET PND	LS	LIMESTONE SLAB
CD	CELANO	MR	MARBLE TILE - FULLSET
CC	CONCRETE	MS	MARBLE SLAB
CR	CORIAN	P	PARTIED
CR	CROWN MOULDING	PN	PAINTED
CTF	CERAMIC TILE - FULLSET	PL	PLASTIC LAMINATE
CT	CERAMIC TILE - THIBET	POP	POPULAR
FL	FLAT LATEX	SG	SEMI-GLOSS LATEX
EG	EGGHELL LATEX	SL	SLATE TILE
FS	FLAT LATEX	SP	SMOOTH FINISH
GS	GRANITE TILE - FULLSET	ST	STAIN (STARKABAR)
GT	GRANITE TILE - FULLSET	SV	SHEET VINYL
OPW	GYPSUM BO.	TX	TEXTURED FINISH
OPW	GYPSUM BO. - FIRE RATED	TF	TILE - FULLSET

**DESIGN COMPANY**



**AERA DESIGN & DEVELOPMENT**

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**PROJECT**  
 445 OAK COURT  
 RESIDENCE

ADDRESS :  
 445 OAK COURT  
 MENLO PARK, CA  
 95025

OWNER :  
 BRIAN NGUYEN

PROJECT NO :  
 None

STATUS

Basic Design   
 Construction   
 Approved   
 As-built

REVISIONS

No	
----	--

SHEET NAME :  
**SEC DWELL ARCHITECTURAL SCHEDULES**

SHEET NUMBER :  
**A-4.1**

DATE :  
 SCALE : NO SCALE

DRAWN BY :  
 CHECKED BY :  
 ARCHITECT :





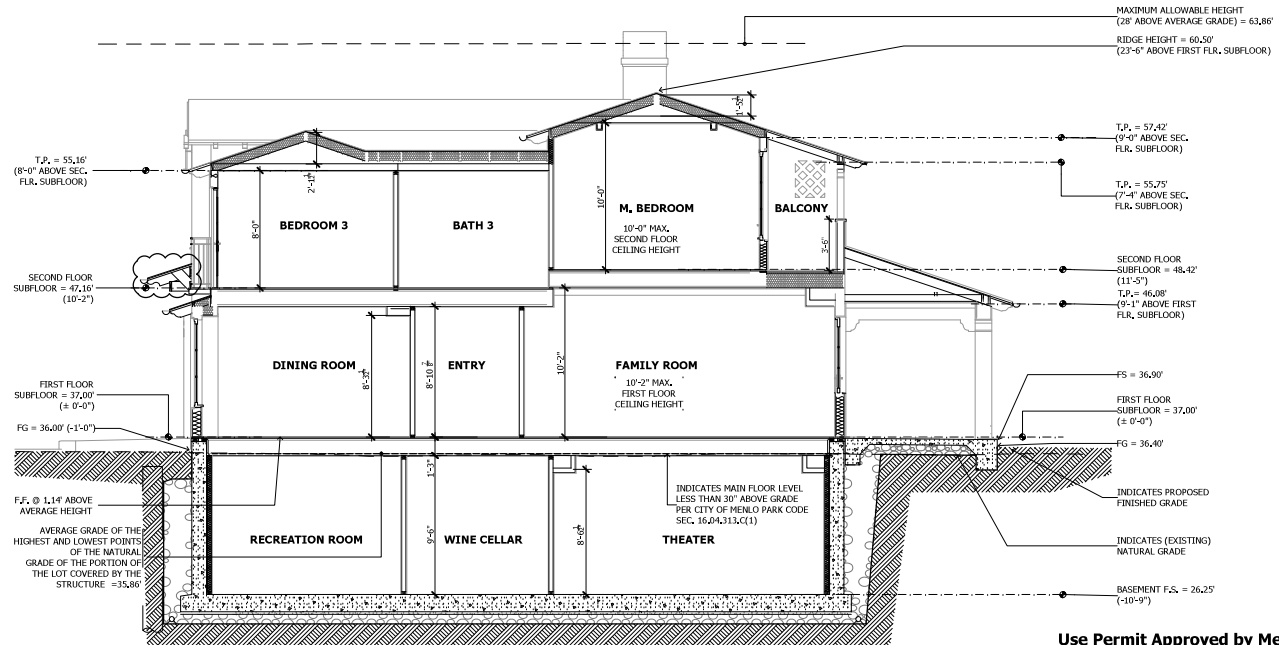
REVISIONS

APPROVED MAIN RESIDENCE SECTIONS

SECTION NOTES  
 SECTION LEGEND  
 SECTION 'A'  
 SECTION 'B'

DATE : 1-2-18  
 SCALE : 1/4" = 1'-0"  
 DRAWN BY : DZ  
 CHECKED BY : TS  
 ARCHITECT : TOM SLOAN  
 PROJECT NO : 16624

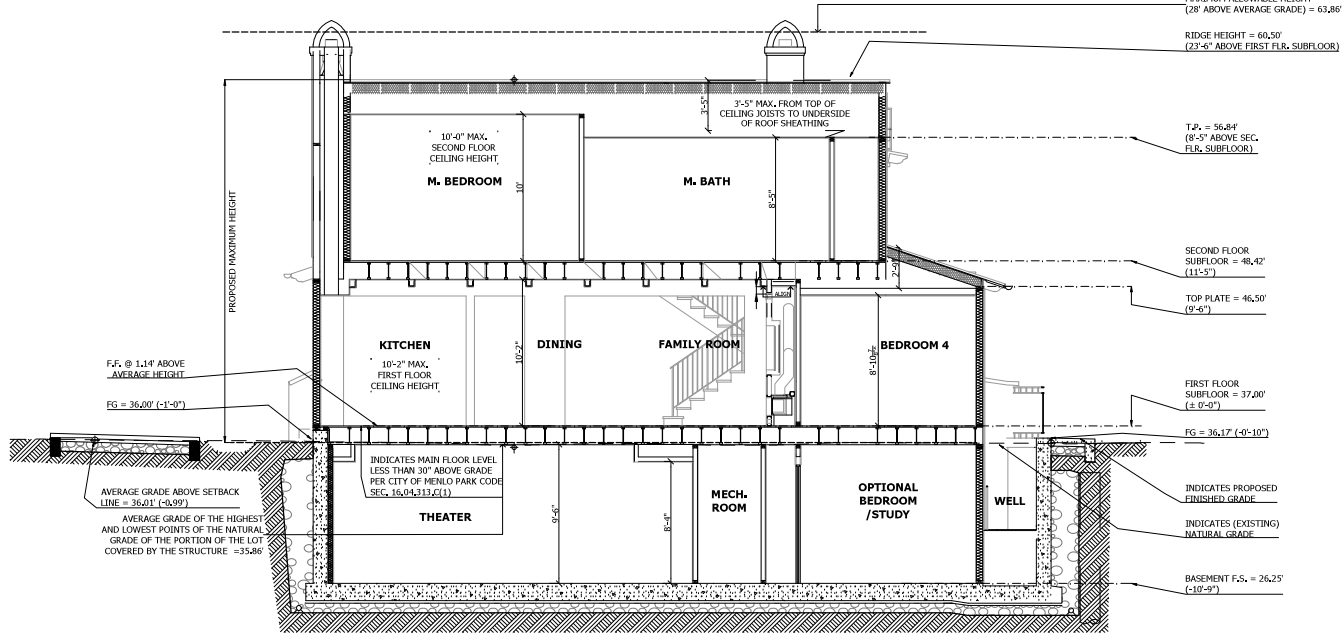
SHEET NUMBER  
**A-5.0**



**SECTION A-A**

Use Permit Approved by Menlo Park Planning Commission, July 18, 2017.  
 Use Permit Revision: No changes will be made to the Approved Main Residence Sections.

NOTE : ALL ELEVATIONS ARE UPDATED PER REVISED SURVEYOR'S TOPOGRAPHICAL INFORMATION.



**SECTION B-B**

REVISIONS

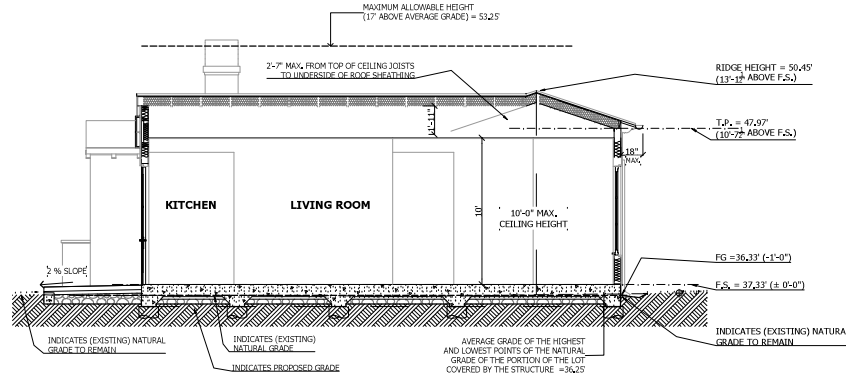
APPROVED  
 SECONDARY DWELLING & GARAGE SECTIONS

SECTION NOTES  
 SECTION LEGEND  
 SECTION 'A'  
 SECTION 'B'  
 DATE : 1-2-18  
 SCALE : 1/4" = 1'-0"  
 DRAWN BY : DZ  
 CHECKED BY : TS  
 ARCHITECT : TOM SLOAN  
 PROJECT NO : 16624

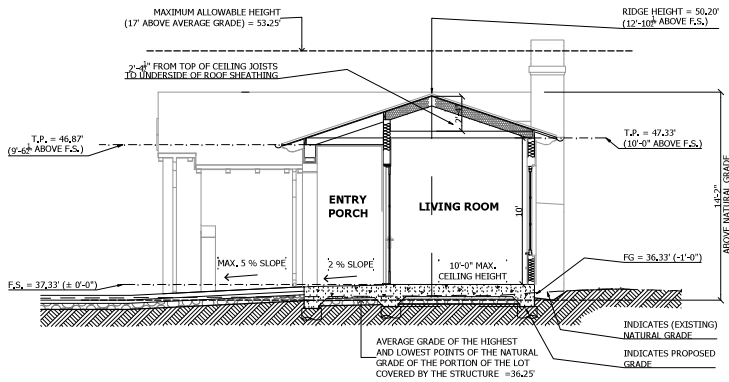
SHEET NUMBER

**A-5.1**

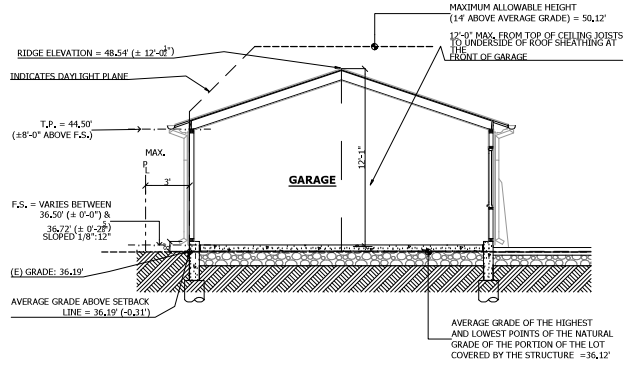
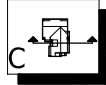
**NOTE :** ALL ELEVATIONS ARE UPDATED PER REVISED SURVEYOR'S TOPOGRAPHICAL INFORMATION.



**SECONDARY DWELLING SECTION D**



**SECONDARY DWELLING SECTION C**



**GARAGE SECTION D**

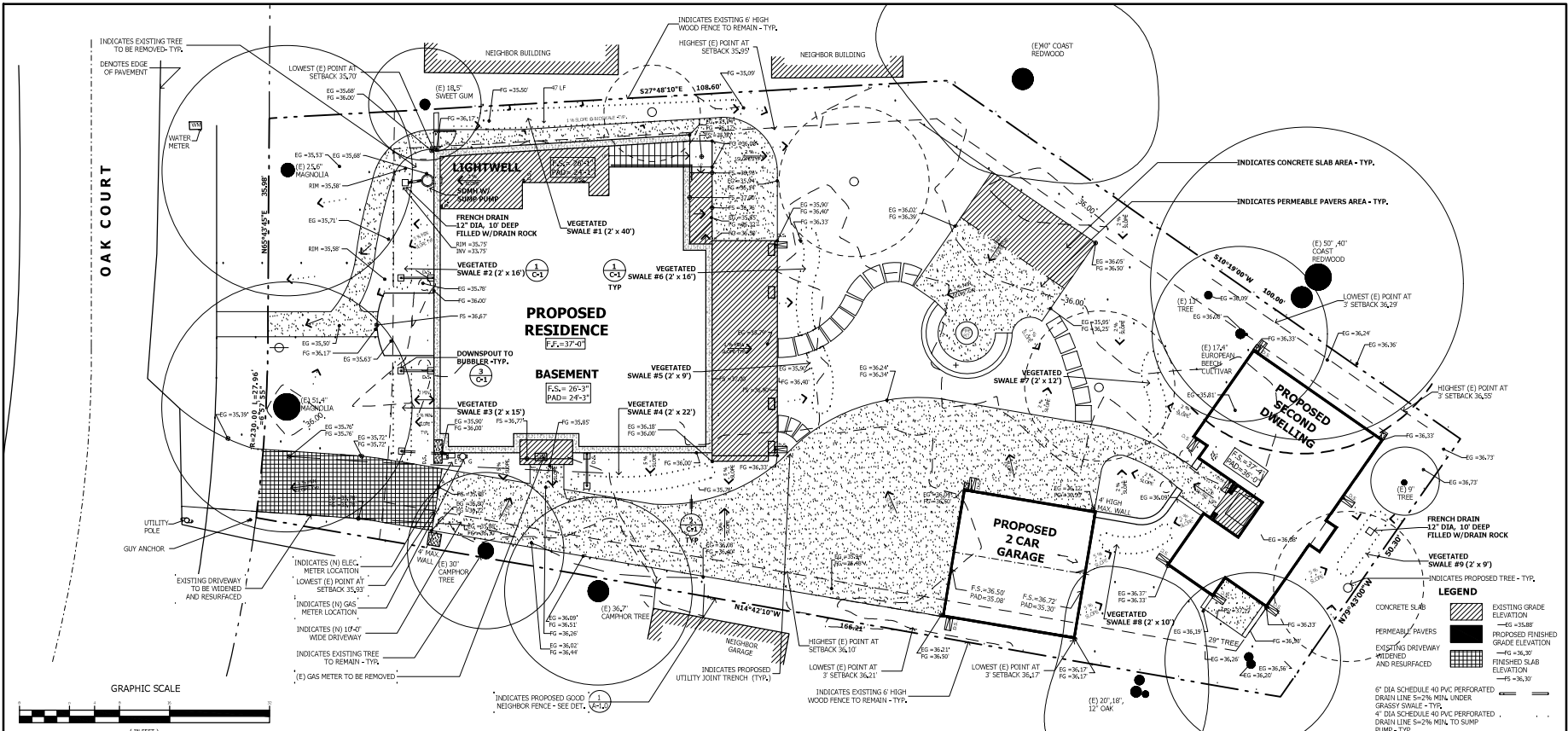


**Use Permit Approved by Menlo Park Planning Commission, July 18, 2017.  
 Use Permit Revision: No changes will be made to the Approved SDU or Garage Sections.**



REVISIONS

NO.	DATE	DESCRIPTION



Use Permit Approved by Menlo Park Planning Commission, July 18, 2017.  
 Use Permit Revision: No changes will be made to the Grading & Drainage Plan

**STANDARD GRADING PLAN NOTES**

- PRIOR TO THE COMMENCEMENT OF ANY EARTHWORK GRADING ACTIVITIES, THE PERMITEE SHALL ARRANGE A PRE-CONSTRUCTION MEETING. THE MEETING SHALL INCLUDE THE CITY OF MENLO PARK GRADING INSPECTOR, THE GRADING CONTRACTOR AND THE PROJECT SOILS ENGINEER. THE PERMITEE OR REPRESENTATIVE SHALL ARRANGE THE PRE-CONSTRUCTION MEETING AT LEAST 48 HOURS PRIOR TO THE START OF ANY EARTHWORK GRADING ACTIVITIES.
- APPROVAL OF THIS PLAN APPLIES ONLY TO THE INDICATION, PLACEMENT AND CONNECTION OF NATURAL BERTH. THIS APPROVAL DOES NOT COVER ANY SIGHT OF ENTRY TO EITHER PUBLIC PROPERTY OR THE PRIVATE PROPERTY OF OTHERS. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE APPROVAL OF ANY IMPROVEMENTS. ANY PROPOSED IMPROVEMENTS ARE SUBJECT TO REVIEW AND APPROVAL BY THE RESPONSIBLE AUTHORITIES. ALL OTHER PERMITS/APPROVALS SHALL BE OBTAINED.
- IT SHALL BE THE RESPONSIBILITY OF THE PERMITEE TO IDENTIFY, LOCATE AND PROTECT ALL UNDERGROUND UTILITIES.
- THE PERMITEE SHALL MAINTAIN ALL STREETS, SIDEWALKS AND OTHER PUBLIC RIGHT OF WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE REMOVED FROM PUBLIC PROPERTY. ALL ADJACENT PROPERTY, BOTH PUBLIC AND PRIVATE, SHALL BE MAINTAINED IN A CLEAN SAFE AND USABLE CONDITION.

**NOTES**

**NOTE: GEOTECHNICAL FIELD INSPECTION -**  
 THE GEOTECHNICAL CONSULTANT SHALL INSPECT, TEST (AS NEEDED), AND APPROVE ALL GEOTECHNICAL ASPECTS OF THE PROJECT CONSTRUCTION. THE INSPECTIONS SHOULD INCLUDE, BUT NOT NECESSARILY BE LIMITED TO: SITE PREPARATION AND GRADING, SITE SURFACE AND SUBSURFACE DRAINAGE IMPROVEMENTS AND EXCAVATIONS FOR FOUNDATIONS AND RETAINING WALLS PRIOR TO THE PLACEMENT OF STEEL AND CONCRETE. THE CONSULTANT SHALL VERIFY THAT FILL MATERIALS PLACED ON SLOPING GROUND ARE PROPERLY KEYED AND BENCHED INTO SUPPORTIVE MATERIALS, AS NECESSARY.

**NOTES:**  
 1. ALL ROOF RAINWATER LEAKERS ARE TO BE DISCHARGED INTO STORM BLOCKS WHICH ARE DESIGNED TO SPREAD OUT THE RAIN WATER SO THAT IT ENTERS THE LANDSCAPE AREAS AS SHEET FLOW.

TOPO SURVEY & BOUNDARIES  
 CHRISTENSEN & PLOUFF LAND SURVEYING  
 CONTACT: NICKIE A. PLOUFF FAX 9013  
 1250 OAKMEAD PARKWAY #210  
 SUNNYVALE, CA 94085  
 (408) 755-9784 PHONE

**NOTES**

**GRADING AND DRAINAGE NOTES**

- GRADES WITHIN THE FIRST 10 FEET ADJACENT TO A STRUCTURE MUST HAVE A 3% SLOPE ON PERVIOUS SURFACES AND A 2% SLOPE ON IMPERVIOUS SURFACES PER CDE 306.31.1004(A).
- UNDER NO CIRCUMSTANCES SHALL RUNOFF DIRECTLY SHEETFLOW ACROSS A NEIGHBORING PROPERTY LINE AS A RESULT OF THE PROJECT'S GRADING AND DRAINAGE ACTIVITIES.

**FRONTAGE IMPROVEMENTS NOTES**

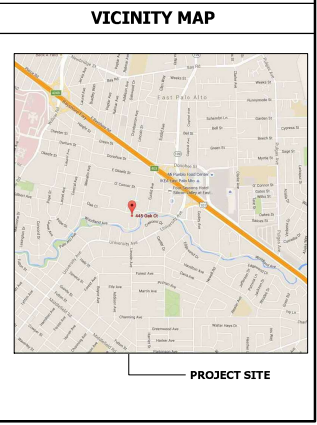
- ANY FRONTAGE IMPROVEMENTS WHICH ARE DAMAGED AS A RESULT OF CONSTRUCTION WILL BE REQUIRED TO BE REPLACED.
- AN ENCROACHMENT PERMIT FROM THE ENGINEERING DIVISION IS REQUIRED PRIOR TO ANY CONSTRUCTION ACTIVITIES IN THE PUBLIC RIGHT OF WAY.

**BEST MANAGEMENT PRACTICE NOTES**

- CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING WASTES, PAINT, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASH WATER OR SEDIMENTS, RAIN WATER FROM ARCHITECTURAL COPPER, AND NON-STORMWATER DISCHARGE TO STORM DRAINS AND WATERCOURSES.
- STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS/WASTES PROPERLY TO PREVENT CONTACT WITH STORMWATER.
- DO NOT CLEAN, FUEL, OR MAINTAIN VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASH WATER IS CONTAINED AND TREATED.
- TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES/SUBCONTRACTORS RE: CONSTRUCTION BMPs.

**LEGEND**

DESCRIPTION	EXISTING	PROPOSED
PROPERTY LINE	---	---
CENTER LINE	---	---
SECTION LINE	---	---
EDGE OF PAVEMENT	---	---
CURB AND GUTTER	---	---
DRAINAGE FLOW DIRECTION FENCE (TYPE)	---	---
SPRASH BLOCK/ ENERGY DISSIPATOR	---	---
STORM DRAIN LINE	---	---
SANITARY MANHOLE	---	---
STORM MANHOLE	---	---
STANDARD HOODED INLET	---	---
LARGE HOODED INLET	---	---
FLAT GRADE SHEET	---	---
GAS LINE	---	---
WATER LINE	---	---
GRADE ELEVATION	---	---
TREE	---	---
TREE PROTECTION FENCING	---	---
EXISTING GAS LINE TO BE REMOVED	---	---
NEW GAS LINE	---	---
NEW WATER LINE	---	---
NEW ELECTRICAL LINE	---	---
JOINT TRENCH	---	---
NEW SANITARY SEWER LINE	---	---



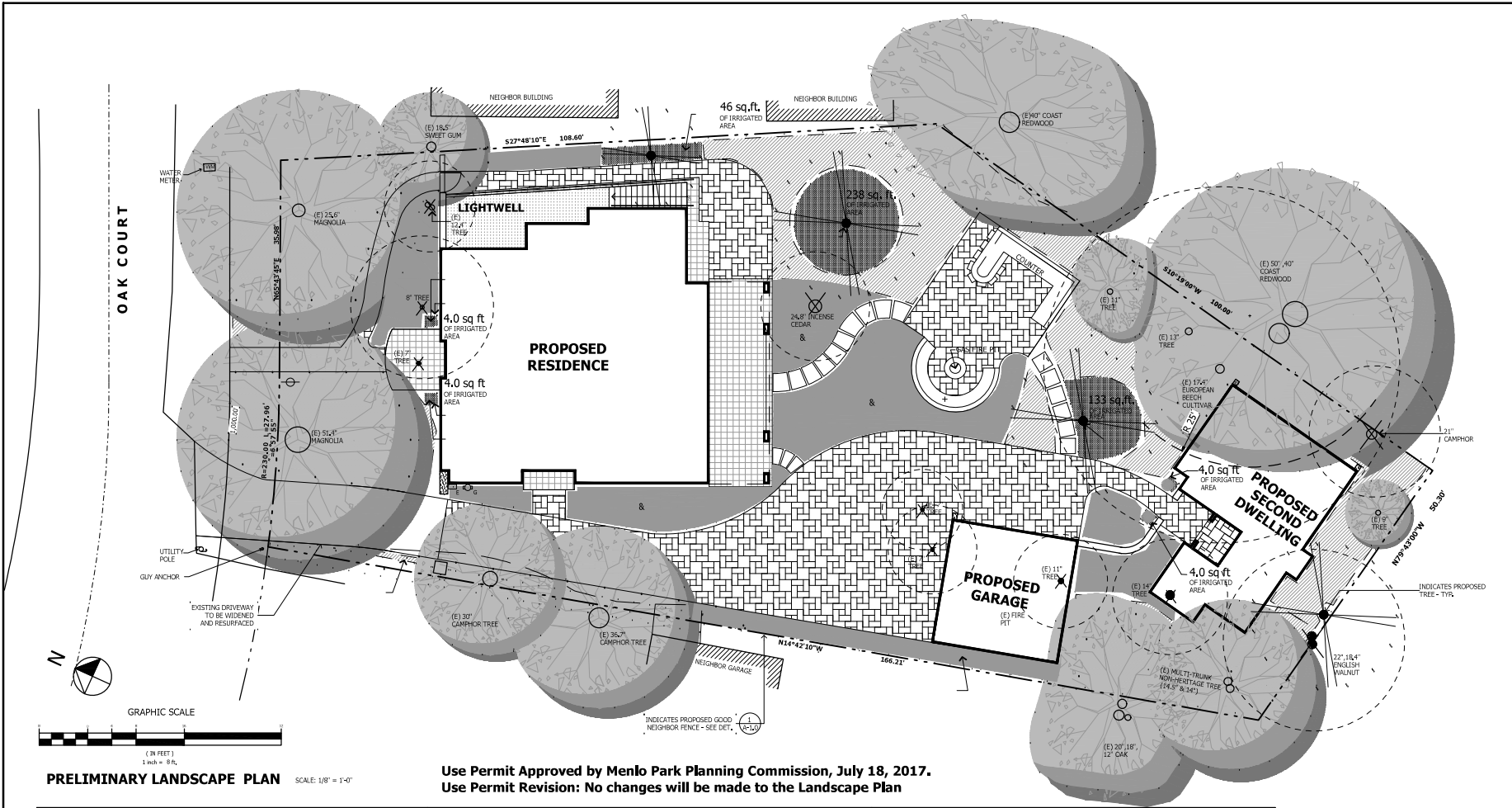
**APPROVED GRADING AND DRAINAGE PLAN**

DATE: 1-2-18  
 SCALE: 1/8" = 1'-0"  
 DRAWN BY: D.Z.  
 CHECKED BY: TS  
 ARCHITECT: TOM SLOAN  
 PROJECT NO: 16624

SHEET NUMBER  
**C-1**

REVISIONS

NO.	DESCRIPTION



**PRELIMINARY LANDSCAPE PLAN** SCALE: 1/8" = 1'-0"

Use Permit Approved by Menlo Park Planning Commission, July 18, 2017.  
 Use Permit Revision: No changes will be made to the Landscape Plan

SITE PLAN LEGEND	
PROPERTY LINE	EXISTING TREE TO REMAIN
(E) GRADE CONTOUR LINE	(E) 11" OAK
(E) FENCE TO REMAIN	MULCH - GROUND COVER AT IRRIGATED AREAS
(E) FENCE TO REMAIN	DECORATIVE MULCH - GROUND COVER AT NON-IRRIGATED AREAS
TREE PROTECTION FENCE	DROUGHT RESISTANT NATIVE GRASSES AND GROUND COVERS NON-IRRIGATED AREAS
PROPOSED BUILDING	PROPOSED TREE
PROPOSED CONCRETE TO LIGHTWELL	EXISTING TREE TO BE REMOVED
PROPOSED PRECAST CONCRETE PAVING SYSTEM @ PATIO/ WALKWAY/ DRIVEWAY	PROPOSED BOXWOOD HEDGE
PROPOSED TILED AREAS	

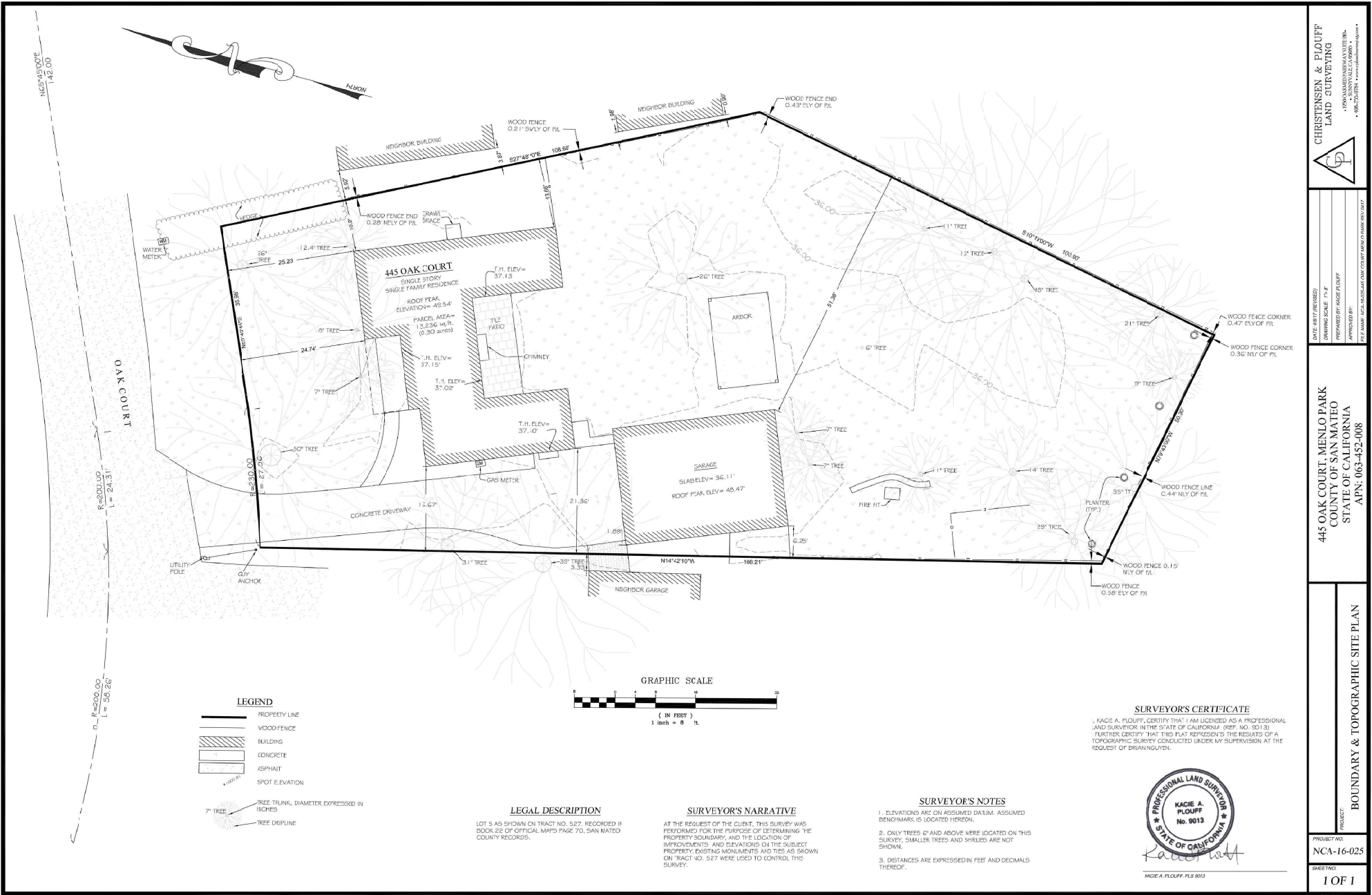
EXISTING TREE LEGEND					
PER ARBORIST REPORT DATED 6/8/2016 PREPARED BY WALTER LEVISON					
TREE TAG NO.	GENUS & SPECIES	COMMON NAME	TREE SIZE	ON SITE/ OFF SITE	HERITAGE TREE STATUS
	LIQUIDAMBAR STYRACIFLUA	SWEET GUM	18.5"	OFF SITE	YES TO REMAIN
	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	25.6"	ON SITE	YES TO REMAIN
	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	51.4"	ON SITE	YES TO REMAIN
	CINNAMOMUM CAMPHORA	CAMPHOR TREE	30"	ON SITE	YES TO REMAIN
	CINNAMOMUM CAMPHORA	CAMPHOR TREE	36.7"	OFF SITE	YES TO REMAIN
	CALOCEDRUS DECURRENS	INCENSE CEDAR	24.8"	ON SITE	YES TO BE REMOVED
	QUERCUS AGRIFOLIA	COAST LIVE OAK	20", 18", 12"	OFF SITE	YES TO REMAIN
	JUGLANS REGIA	ENGLISH WALNUT	22", 18.4"	ON SITE	YES TO BE REMOVED
	FAGUS SYLVATICA	EUROPEAN BEECH CULTIVAR	17.4"	ON SITE	YES TO REMAIN
	SEQUOIA SEMPERVIRENS	COAST REDWOOD	50", 40"	OFF SITE	YES TO REMAIN
	SEQUOIA SEMPERVIRENS	COAST REDWOOD	40"	OFF SITE	YES TO REMAIN

PLEASE SEE THE ARBORIST REPORT FOR MORE INFORMATION

PLANT LEGEND					
KEY	BOTANICAL NAME	COMMON NAME	SIZE	QTY	IRRIGATION
<b>NATIVE DROUGHT TOLERANT GRASSES AND GROUND COVERS</b>					
	ACHILLEA MILLEFOLIUM	COMMON YARROW	1 GAL	IN FIELD	NON-IRRIGATED AREAS
	ARTEMISA CALIFORNICA - "MONTANA"	CALIFORNIA SAGEBRUSH	1 GAL	IN FIELD	NON-IRRIGATED AREAS
	CEANOTHUS - "YANKEE POINT"	WILD LILAC	1 GAL	IN FIELD	NON-IRRIGATED AREAS
<b>GROUND COVER</b>					
	MULCH				NON-IRRIGATED AREAS
<b>SHRUBS</b>					
	BUXUS	BOXWOOD, BOX	1 GAL	IN FIELD	NON-IRRIGATED AREAS
<b>TREES - DESERT CONDITIONS, DROUGHT RESISTANT</b>					
	CUPRESSUS SEMPERVIRENS DWARF COMPACTA	DWARF ITALIAN CYPRESS	24" BOX	4	NON-IRRIGATED AREAS
	ULMUS "MORTON"	ACCOLADE ELM	24" BOX	2	NON-IRRIGATED AREAS
	GENKO BILBOBA	MAIDENHAIR	24" BOX	1	NON-IRRIGATED AREAS
	PICTINIA FRASERI	FRASIER PICTINIA	24" BOX	1	NON-IRRIGATED AREAS

NOTE:  
 TREE SIZES ON SHEET T-1:  
 TOPOGRAPHIC AND BOUNDARY SURVEY HAVE BEEN MEASURED AT THE BASE OF THE TREES.  
 TREE SIZES ON SHEET A-1.0, A-1.1 & L-1.1:  
 ARE CONSISTENT WITH THE ARBORIST REPORT (3.0 / PAGE 5);  
 DIAMETER AT BREAST HEIGHT IN INCHES IS THE DIAMETER OF THE TRUNK MEASURED AT 4.5 FEET ABOVE THE GROUND LEVEL IN INCHES, AS REQUIRED.  
 PLEASE SEE CITY OF MENLO PARK TREE PROTECTION SPECIFICATION NOTES ON SHEET A-1.1

03/18/18  
 2:00 PM  
 2018/03/18 10:28:32 AM



**LEGEND**

	PROPERTY LINE
	WOOD FENCE
	BUILDING
	CONCRETE
	ASPHALT
	SPOT ELEVATION
	TREE TRUNK, DIAMETER EXPRESSED IN INCHES
	TREE DRIFLINE



**LEGAL DESCRIPTION**  
 LOT 5 AS SHOWN ON TRACT NO. 527, RECORDED IN BOOK 22 OF OFFICIAL MAPS PAGE 70, SAN MATEO COUNTY RECORDS.

**SURVEYOR'S NARRATIVE**  
 AT THE REQUEST OF THE CLIENT, THIS SURVEY WAS PERFORMED FOR THE PURPOSE OF DETERMINING THE PROPERTY BOUNDARY, AND THE LOCATION OF IMPROVEMENTS, AND ELEVATIONS ON THE SUBJECT PROPERTY. EXISTING MONUMENTS AND TIES AS SHOWN ON TRACT NO. 527 WERE USED TO CONTROL THIS SURVEY.

**SURVEYOR'S NOTES**

- ELEVATIONS ARE ON ASSUMED DATUM. ASSUMED BENCHMARK IS LOCATED HEREON.
- ONLY TREES 6" AND ABOVE WERE LOCATED ON THIS SURVEY. SMALLER TREES AND SHRUBS ARE NOT SHOWN.
- DISTANCES ARE EXPRESSED IN FEET AND DECIMALS THEREOF.

**SURVEYOR'S CERTIFICATE**  
 I, KACIE A. PLOUFF, CERTIFY THAT I AM LICENSED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF CALIFORNIA (REF. NO. 9013). I FURTHER CERTIFY THAT THIS PLAN REPRESENTS THE RESULTS OF A TOPOGRAPHIC SURVEY CONDUCTED UNDER MY SUPERVISION AT THE REQUEST OF DRAWING/CLIENT.



**CHRISTENSEN & PLOUFF**  
 LAND SURVEYING

DATE: 06/17/2025  
 DRAWING SCALE: 1"=8'  
 PREPARED BY: KACIE PLOUFF  
 APPROVED BY: [Signature]

445 OAK COURT, MENLO PARK  
 COUNTY OF SAN MATEO  
 STATE OF CALIFORNIA  
 APN: 063-452-008

**BOUNDARY & TOPOGRAPHIC SITE PLAN**

PROJECT NO:  
 NCA-16-025

SHEET NO:  
 1 OF 1

July 24, 2019

**City of Menlo Park**  
Planning Division  
701 Laurel Street  
Menlo Park, CA 94025

Brian Nguyen  
445 Oak Court  
Menlo Park, CA 94025

**Re: Application for Revision to Use Permit (PLN2016-00075) - Window & Door Schedule**

Dear City of Menlo Park Planning Division --

This letter has been prepared for the City of Menlo Park’s Planning Division regarding the window schedule for 445 Oak Court, Menlo Park, CA 94025. This project also belongs to Building Permit # BLD2018-00184, BLD2018-00185, BLD2018-00186.

The revised schedule is recommended over the original design for the following reasons.

Material Superiority [Fiberglass performance & durability over Aluminum/Wood Clad]:

- Strength (shatter resistant)
- Painted to meet any color requirements
- Mold Resistant
- High Density Pressure (DP rating 50)
- Value (superior performance per dollar spent)
- Energy Efficiency (performances & fabrication align to the Title24)
- Thermal Performance (no expansion or contraction caused by temperature and climate)
- Built locally (Simi Valley, CA)

Mechanical Superiority [Hung over Casement]:

- Fewer mechanical parts; less maintenance & repair
- Less exposure to elements
- Less risk of becoming weatherbeaten
- Modularity: if broken, replace pane not full assembly

Unwavering Commitment to Safety & Performance:

- **SAFETY:** full opening of Casement is an **extreme hazard** for young children; Hung is limited
- Tempered glass (safety)
- Low-E (energy efficient)
- Argon Filled (enhanced thermal performance)

Brand Advantages [Milgard Brand over Marvin Brand]:

- Product Warranty (Milgard’s lifetime warranty is unmatched compared to Marvin’s)
- Both use the same glass manufacturer: Cardinal Glass

Price Efficiency: Approximate cost savings of -60% per comparable product unit.

Nominal Aesthetic Adjustment: Omission of mullions enhances cleanliness, maintenance, and repair with nominal variance to aesthetic.

The submittal of this letter with the attached plan set shall satisfy the requirements provided. Should you have any questions or concerns, please do not hesitate to contact the Applicant.

Sincerely,

Brian Nguyen  
Applicant - Owner  
445 Oak Court  
Menlo Park, CA 94025  
M: 650.269.6300 | E: brian.nguyen@gmail.com





## STAFF REPORT

**Planning Commission**

**Meeting Date:** 8/26/2019

**Staff Report Number:** 19-064-PC

**Public Hearing:** Use Permit/ Ying-Min Li/1333 Laurel Street

### Recommendation

Staff recommends that the Planning Commission approve a use permit to demolish an existing one-story single family residence with a detached garage and construct two new two-story, single family residences and a detached one-car garage on a substandard lot with regard to lot width in the R-3 (Apartment) zoning district, at 1333 Laurel Street. The proposal includes administrative review of a tentative parcel map to subdivide the project into two condominium units. The recommended actions are included as Attachment A.

### Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal.

### Background

#### *Site location*

The subject property is located at 1333 Laurel Street. Using Laurel Street in the north-south orientation, the subject property is located on the western side of Laurel Street, between Glenwood Avenue and Oak Grove Avenue. The eastern side of Laurel Street is located in the Town of Atherton. A location map is included as Attachment B.

Houses along Laurel Street include both one- and two-story residences, and the area contains a mixture of single-family and multifamily developments. While most residences in the neighborhood are generally two stories in height, some one-story residences exist as a result of older development.

Most parcels along the western side of Laurel Street (i.e., between Glenwood Avenue and Ravenswood Avenue) are also zoned R-3 (Apartment). Properties north of Glenwood Avenue along the western side of Laurel Street are located in the R-1-S (Single Family Suburban Residential) and R-1-U (Single Family Urban Residential) zoning districts. With the exception of Nativity School, parcels across the street along the eastern side of Laurel Street are located in the Town of Atherton.

### Analysis

#### *Project description*

The subject site is currently occupied by a one-story residence at the front and a detached garage at the rear-right corner. The property is substandard with regard to lot width. The applicant is proposing to demolish all existing structures and construct two new two-story, single-family homes on site. The required parking for each unit would be provided via a one-car garage (detached for the front unit and attached for the rear unit) and one uncovered parking space each. A data table summarizing parcel and project attributes is included as Attachment C. The project plans and the applicant's project description letter are included as Attachments D and E, respectively.

The front residence (Unit #1) and rear residence (Unit #2) would both contain four-bedrooms and three-bathrooms. Both homes would have a typical layout of shared spaces on the ground level and most/all of the bedrooms on the upper floor. The driveway would remain on the right side of the property and would be shared by both residences.

Of note with regard to Zoning Ordinance development standards:

- The project would adhere to the R-3 requirements for minimum landscaping and maximum driveways/open parking areas. As is permitted by the code, a permeable paver driveway system would count equally toward the landscaping and driveways/open parking areas.
- While a landscape strip is proposed along the right side property line, this strip would be reduced to one foot in width and would contain low landscaping in the areas adjacent to the detached garage back-up area, to ensure a total of 24 feet of back-up space (23 feet of permeable pavers and one foot of low landscaping).
- The buildings would be well below the maximum height limit (35 feet), at approximately 30.8 feet (Unit #1) and 29.0 feet (Unit #2). The Planning Commission should note that the ridge height as represented by the applicant includes an approximately six-inch buffer for Unit #1 and a one-foot buffer for Unit #2 to account for "structural drift". However, even with these buffers, the height is limited. Similarly, the detached garage is listed in the plans as being 13 feet, eight inches, but this listed height also includes a two-inch buffer to account for structural drift.
- Although the R-3 district does not have the daylight plane requirement that applies to the single-family and R-2 districts, the proposed designs feature hipped roofs to achieve a similar modulated effect on the side elevations.

#### Site Layout

The site layout uses an existing driveway connecting the site to Laurel Street along its eastern edge. The driveway, which currently wraps around the northern side of the existing residence, would generally be retained with the proposed project. Unit #1 would be in the front of the property, with the northerly driveway wrapping around it, connecting with a detached garage near the center of the property. An uncovered parking space would be provided on both sides of the detached garage, and Unit #2 would be located at the rear of the property.

#### Tentative parcel map

The applicant is also requesting approval of a tentative map for a minor subdivision into two residential condominium units. The minor subdivision can be reviewed and approved administratively by the Public Works Department, if the Planning Commission approves the use permit request.



### ***Design and materials***

The new residences would each be designed in a mixture of Colonial and Country Farmhouse styles, with hardie plank siding as the primary façade material (eight-inch laps for Unit #1 and 10-inch laps for Unit #2), along with composition shingle roofing. The windows for both units would be wood-trimmed, featuring true simulated divided lights, with interior/exterior grids and a spacer bar in between the glass panes. On the front elevations of both units, the front entry would feature a covered porch containing wooden posts with decorative trim. Windows and doors would feature lintel moldings as well. Although color and materials boards are not required for two-unit projects, the applicant has submitted color and materials sheets for each proposed unit in order to relay the aesthetics more fully, and these will be available for Planning Commission review at the August 26 meeting.

The front elevation of each residence would feature more material and massing variation than the sides and rear, which would give the buildings a boxy appearance. The variety of materials found on the front elevation of each unit, specifically horizontal lap siding and shingle siding, is a topic for which the Planning Commission has expressed concern. Both units would also feature a decorative “belly band” to provide some massing variation. Overall, the massing would be similar to other structures on this block, many of which also have unbroken two-story walls.

On the side elevations, the upper-floor windows are designed with sensitivity to neighbor privacy, with all upper-floor windows either featuring a minimum of four foot sill heights for Unit #1 and five-foot sill heights for Unit #2. Staff believes that the scale, materials, and style of the proposed residences are consistent with the neighborhood, given the variety of architectural styles and sizes of structures in the vicinity.

### ***Trees and landscaping***

The applicant has submitted an arborist report (Attachment F) detailing the species, size and conditions of the trees on or near the site. As part of the project review process, the City Arborist reviewed the report and requested enhancements, which have been incorporated. As described in the report, there are 18 existing trees located on or near the property, five of which are heritage trees. Of the heritage trees, none are located on the subject property.

To protect the heritage and non-heritage trees on site, the arborist report has identified tree protection fencing as a suitable protection measure for the trees located in the rear of the subject property. In addition, the arborist report has required monitoring and documentation for all roots that would be cut, trenching by hand, normal irrigation for the duration of the project, and mulching tree root zones.

All recommended tree protection measures identified in the arborist report shall be implemented and ensured as part of standard condition of approval 3w.

### ***Correspondence***

The applicant states in the project description letter that the applicant team held a neighborhood meeting, wherein the consensus given from attendees was generally in favor of the project.

Staff has also received one individual email regarding the project, expressing general approval of the

project design but also offering suggestions to revise the R-3 zoning regulations to allow for greater density and affordability, especially in the neighborhood. These Zoning Ordinance comments require broader policy direction and action by the City Council. The project would be compliant with the current Zoning Ordinance. All correspondence is included as Attachment G.

### **Conclusion**

Staff believes that the scale, materials, and style of the proposed residences are compatible with those of the overall neighborhood. The height of the buildings would be limited relative to the R-3 maximums. Varying materials and forms (in particular on the front elevations) would vary the perception of massing and add visual interest to the project despite the use of unbroken two-story elements. Onsite circulation would meet all Transportation Division requirements for covered and uncovered parking. Staff recommends that the Planning Commission approve the proposed use permit.

### **Impact on City Resources**

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

### **Environmental Review**

The project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.

### **Public Notice**

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

### **Appeal Period**

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

### **Attachments**

- A. Recommended Actions
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter
- F. Arborist Report
- G. Correspondence

**Disclaimer**

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings, and exhibits are available for public viewing at the Community Development Department.

**Exhibits to Be Provided at Meeting**

Color and Material Sheets for each unit

Report prepared by:  
Matt Pruter, Associate Planner

Report reviewed by:  
Kyle Perata, Principal Planner

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## 1333 Laurel Street – Attachment A: Recommended Actions

<b>LOCATION:</b> 1333 Laurel Street	<b>PROJECT NUMBER:</b> PLN2019-00036	<b>APPLICANT:</b> Hometec Architecture, Inc.	<b>OWNER:</b> Ying-Min Li
<b>PROPOSAL:</b> Request for a use permit to demolish an existing single-family residence with a detached garage and construct two new two-story, single-family residences on a substandard lot with respect to lot width in the R-3 (Apartment) zoning district. The proposal includes an administrative review of a tentative parcel map to subdivide the project into two condominium units.			
<b>DECISION ENTITY:</b> Planning Commission	<b>DATE:</b> August 26, 2019	<b>ACTION:</b> TBD	
<b>VOTE:</b> TBD (Barnes, DeCardy, Doran, Kennedy, Riggs, Tate)			
<b>ACTION:</b>			
<ol style="list-style-type: none"> <li>1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, “New Construction or Conversion of Small Structures”) of the current California Environmental Quality Act (CEQA) Guidelines.</li> <li>2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.</li> <li>3. Approve the use permit subject to the following <i>standard</i> conditions: <ol style="list-style-type: none"> <li>a. Development of the project shall be substantially in conformance with the plans prepared by Hometec Architecture, Inc., consisting of 19 plan sheets, received August 18, 2019, and approved by the Planning Commission on August 26, 2019, except as modified by the conditions contained herein, subject to review and approval by the Planning Division.</li> <li>b. Prior to building permit issuance; the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.</li> <li>c. Prior to building permit final inspection, all public right-of-way improvements, including frontage improvements and the dedication of easements and public right-of-way, shall be completed to the satisfaction of the Engineering Division.</li> <li>d. Prior to commencing any work within the right-of-way or public easements, the Applicant shall obtain an encroachment permit from the appropriate reviewing jurisdiction.</li> <li>e. Prior to building permit issuance, the applicant shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies’ regulations that are directly applicable to the project.</li> <li>f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.</li> <li>g. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans for: 1) construction safety fences around the periphery of the construction area, 2) dust control, 3) air pollution control, 4) erosion and sedimentation control, 5) tree protection fencing, and 6) construction vehicle parking. The plans shall be subject to review and approval by the Building, Engineering, and Planning Divisions. The fences and erosion and sedimentation control measures shall be installed according to the approved plan prior to commencing construction.</li> </ol> </li> </ol>			

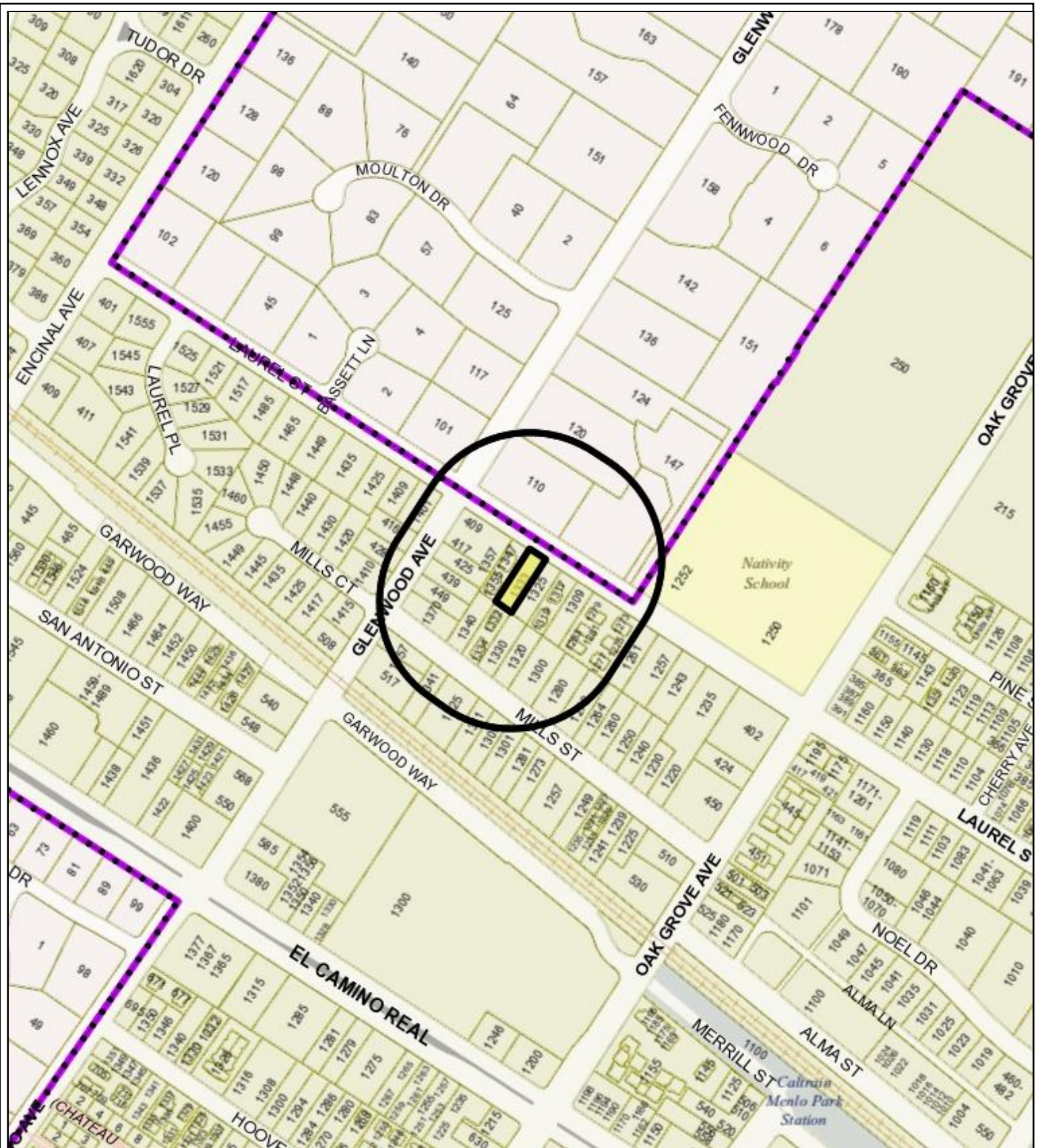
1333 Laurel Street – Attachment A: Recommended Actions

<b>LOCATION:</b> 1333 Laurel Street	<b>PROJECT NUMBER:</b> PLN2019-00036	<b>APPLICANT:</b> Hometec Architecture, Inc.	<b>OWNER:</b> Ying-Min Li
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<b>VOTE:</b> TBD (Barnes, DeCardy, Doran, Kennedy, Riggs, Tate)			
<p><b>ACTION:</b></p> <ul style="list-style-type: none"> <li>h. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. Post-construction runoff into the storm drain shall not exceed pre- construction runoff levels. A Hydrology Report will be required to the satisfaction of the Engineering Division. Slopes for the first 10 feet perpendicular to the structure must be 5% minimum for pervious surfaces and 2% minimum for impervious surfaces, including roadways and parking areas, as required by CBC §1804.3.</li> <li>i. Simultaneous with the submittal of a complete building permit application, the applicant shall provide documentation indicating the amount of irrigated landscaping. If the project proposes more than 500 square feet of irrigated landscaping, it is subject to the City's Water Efficient Landscaping Ordinance (Municipal Code Chapter 12.44).</li> <li>j. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.</li> <li>k. If construction is not complete by the start of the wet season (October 1st through April 30th), the Applicant shall implement a winterization program to minimize the potential for erosion and sedimentation, subject to review and approval of the Engineering Division. As appropriate to the site and status of construction, winterization requirements shall include inspecting/maintaining/ cleaning all soil erosion and sedimentation controls prior to, during, and immediately after each storm event; stabilizing disturbed soils through temporary or permanent seeding, mulching, matting, tarping or other physical means; rocking unpaved vehicle access to limit dispersion of mud onto public right-of-way; and covering/tarping stored construction materials, fuels, and other chemicals. Plans to include proposed measures to prevent erosion and polluted runoff from all site conditions shall be submitted for review and approval of the Engineering Division prior to beginning construction.</li> <li>l. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a heritage street tree preservation plan, detailing the location of and methods for all tree protection measures.</li> <li>m. Prior to building permit issuance, the applicant shall pay all Public Works fees. Please refer to City of Menlo Park Master Fee Schedule for fee information.</li> <li>n. Prior to final occupancy, the applicant shall retain a civil engineer to prepare "as-built" or "record" drawings of public improvements, and the drawings shall be submitted in AutoCAD and Adobe PDF formats to the Engineering Division.</li> </ul>			



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<b>VOTE:</b> TBD (Barnes, DeCardy, Doran, Kennedy, Riggs, Tate)			
<p><b>ACTION:</b></p> <ul style="list-style-type: none"> <li>o. During the design phase of the construction drawings, all potential utility conflicts shall be potholed with actual depths recorded on the improvement plans submitted for City review and approval.</li> <li>p. Simultaneous with the submittal of a complete building permit application, the applicant shall submit engineered off-site improvement plans (including specifications &amp; engineers cost estimates), for approval by the Engineering Division, showing the infrastructure necessary to serve the project. The improvement plans shall include, but are not limited to, all engineering calculations necessary to substantiate the design, proposed roadways, drainage improvements, utilities, traffic control devices, retaining walls, sanitary sewers, and storm drains, street lightings, common area landscaping and other project improvements. All public improvements shall be designed and constructed to the satisfaction of the Engineering Division.</li> <li>q. All lateral connections to overhead electric, fiber optic, and communication lines shall be placed in a joint trench.</li> <li>r. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans for construction parking management, construction staging, material storage, and traffic control handling plan, to be reviewed and approved by the City.</li> <li>s. Prior to issuance of each building permit, the applicant shall pay the applicable Building Construction Street Impact Fee in effect at the time of payment, to the satisfaction of the Public Works Director. The current fee is calculated by multiplying the valuation of the construction by 0.0058.</li> <li>t. Prior to building permit issuance, the applicant is required to pay the transportation impact fee (TIF) for the creation of one new single family residential unit. The TIF due is \$3,393.74. The original amount was calculated by multiplying the single-family unit fee of \$3,393.74 per unit by the one new dwelling unit that would be created.</li> <li>u. All agreements shall run with the land and shall be recorded with the San Mateo County Recorder's Office prior to building permit final inspection.</li> <li>v. Prior to final inspection, the Applicant shall submit a landscape audit report.</li> <li>w. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the arborist report prepared by Kielty Arborist Services LLC dated March 18, 2019.</li> </ul>			



City of Menlo Park  
 Location Map  
 1333 Laurel Street



1333 Laurel Street – Attachment C: Data Table

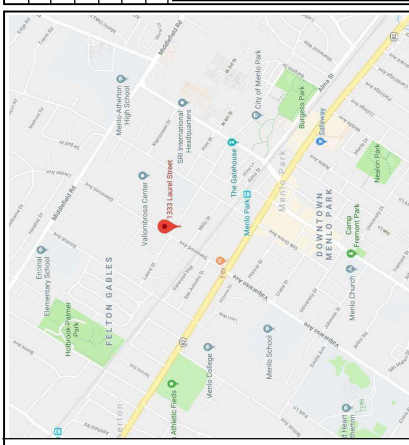
	PROPOSED PROJECT	EXISTING PROJECT	ZONING ORDINANCE
Lot area	8,126.0 sf	8,126.0 sf	7,000 sf min.
Lot width	51.7 ft.	51.7 ft.	70 ft. min.
Lot depth	162.8 ft.	162.8 ft.	100 ft. min.
Setbacks			
Front	20.2 ft.	26.0 ft.	20 ft. min.
Rear	15.0 ft.	87.0 ft.	15 ft. min.
Side (left)	10.1 ft.	6.8 ft.	10 ft. min.
Side (right)	10.1 ft.	14.0 ft.	10 ft. min.
Building coverage	2,279.0 sf 28.0 %	1,881.0 sf 21.3 %	2,437.8 sf max. 30.0 % max.
FAR (Floor Area Ratio)	3,545.8 sf 43.6 %	1,276.0 sf 15.7 %	3,656.7 sf max. 45.0 % max.
Landscaping	4,877.0 sf 60.0 %	5,509.5 sf 67.8 %	4,063.0 sf min. 50.0 % min.
Driveways and Open Parking Areas	970.0 sf 11.9 %	884.5 sf 10.9 %	1,625.2 sf max. 20.0 % max.
Square footage by floor	Front Unit (#1) 913.4 sf/1st 779.3 sf/2nd 227.3 sf/det. gar. 48.6 sf/porch Rear Unit (#2) 896.4 sf/1st 956.7 sf/2nd 236.5 sf/att. gar. 74.0 sf/porch	1,276.0 sf/1st 350.0 sf/garage	
Square footage of buildings	4,132.2 sf	1,626.0 sf	
Building height	30.8 ft.	16.0 ft.	35.0 ft. max.
Parking	2 covered, 2 uncovered	1 covered	1 covered/1 uncovered per unit
Note: Areas shown highlighted indicate a nonconforming or substandard situation.			

Trees	Heritage trees*	Non-Heritage trees*	New Trees
	5	13	6
Heritage trees proposed for removal	0	3	Total Number of Trees* 21

\*Includes trees on neighboring properties.



# ATTACHMENT D



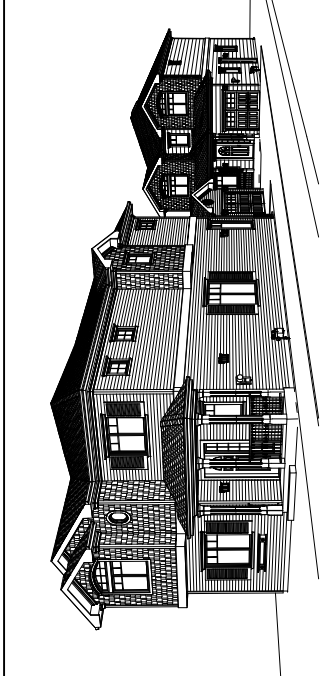
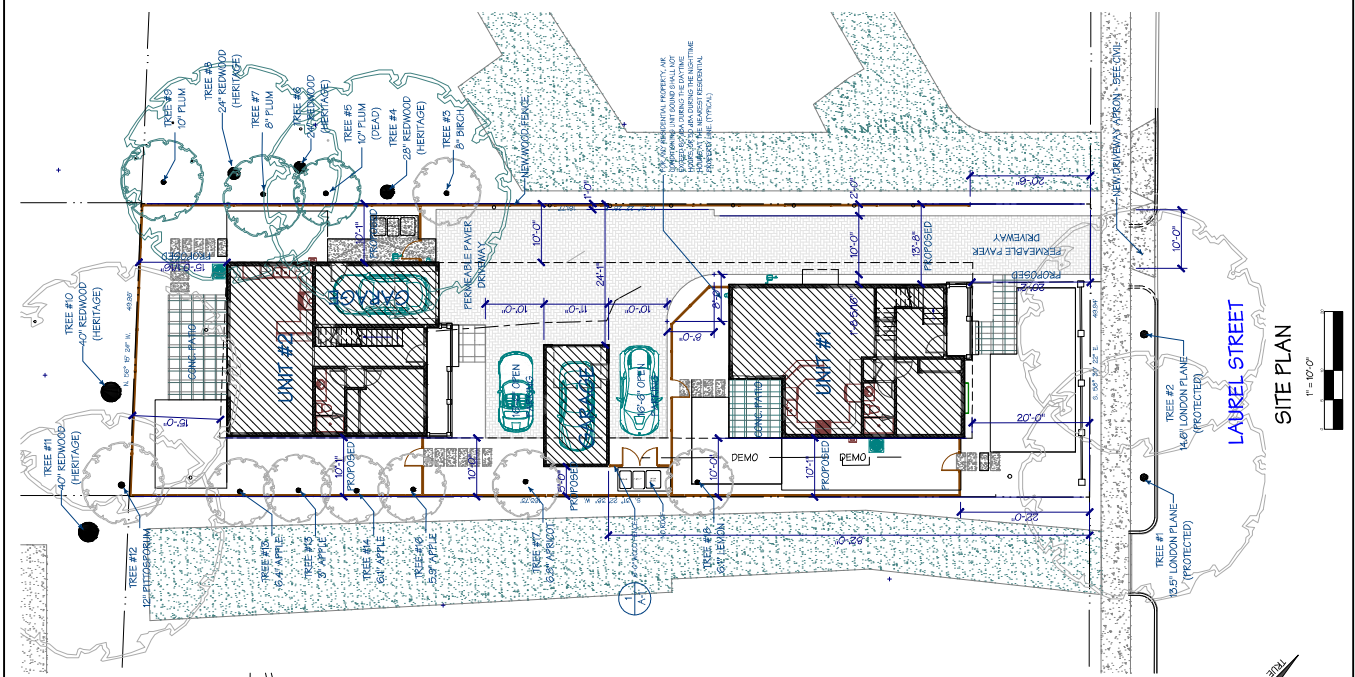
### VICINITY MAP

A.P.N.: 061-401-020  
 ZONING: R-3  
 LOT SIZE: 8,128 S.F.  
 EXISTING FLOOR: 1,288 S.F.  
 EXISTING GARAGE: 350 S.F.  
 TOTAL: 1,638 S.F.  
 UNIT #1: 692.35  
 UNIT #2: 779.25  
 TOTAL: 1,471.60 S.F.  
 DETACHED GARAGE: 227.26 S.F.  
 ATTACHED GARAGE: 236.5 S.F.  
 TOTAL GARAGES: 463.76 S.F.  
 DRIVEWAYS ALLOWED: 8,128 X 2.0 = 16,256 S.F.  
 PROPOSED: 13,993.86 / 8 = 1,749.23 S.F. (PARKERS)  
 LOT COV. ALLOWED: 8,128 X .30 = 2,438.4 S.F.  
 PROPOSED: 2,279.92 S.F.  
 F.A.R. ALLOWED: 8,128 X .48 = 3,901.44 S.F.  
 PROPOSED: 3,546.69 = 85.9%  
 OPEN SPACE REQ'D: 8,128 X .50 = 4,064 S.F.  
 PROPOSED: 4,577.22 = 563.3% (SEE SHEET A-9)  
 MAX. ALLOWED HEIGHT: 35' (R-3) (SEE SHEETS A-4, A-7)  
 PROPOSED HEIGHT: UNIT #1 = 25' UNIT #2 = 25'

### SITE DATA

#### SHEET INDEX

A-1	SITE PLAN
A-15	EXISTING FLOOR PLAN, ELEVATIONS
A-2	EXISTING FLOOR PLANS
A-3	UNIT 1, ELEVATIONS
A-4	UNIT 1, SECTIONS, DETACHED GARAGE
A-5	UNIT 2, FLOOR PLANS
A-6	UNIT 2, ELEVATIONS
A-7	UNIT 2, SECTIONS, ROOF PLAN
A-8	SITE AREA & BUILDING AREA CALCULATIONS
A-9	TITLE SHEET
TM-1	MAP SHEET
TM-2	PRELIM GRADING & DRAINAGE PLAN
TM-3	PRELIM UTILITY PLAN
TM-4	DETAIL SHEET
L-1	LANDSCAPE PLAN
L-2	IRRIGATION PLAN
L-3	HYDROZONE DIAGRAM



Species	DBH	CON	HT/SP	Comments
London plane ( <i>Platanus acerifolia</i> )	13.5	45	3525	Good vigor, poor form, pollarded in past. Dense at pollard locations.
London plane ( <i>Platanus acerifolia</i> )	14.6	55	3535	Good vigor, poor-fair form, pollarded in past.
Birch ( <i>Betula pendula</i> )	8	60	4025	Good vigor, fair form, 2 feet from property line.
Redwood ( <i>Sequoia sempervirens</i> )	28	70	7035	Good vigor, fair form, 2 feet from property line.
Plum ( <i>Prunus spp.</i> )	18	0	2015	Dead.
Redwood ( <i>Sequoia sempervirens</i> )	28	60	7030	Good vigor, fair form, suppressed, 8 feet from property line.
Plum ( <i>Prunus spp.</i> )	8	50	2515	Fair vigor, poor form, multi ladder.
Redwood ( <i>Sequoia sempervirens</i> )	28	65	7030	Fair vigor, fair form, 6 feet from property line.
Plum ( <i>Prunus spp.</i> )	18	55	3535	Fair vigor, fair form, suppressed.
Redwood ( <i>Sequoia sempervirens</i> )	48	75	8035	Good vigor, good form, 2 feet from property line.
Redwood ( <i>Sequoia sempervirens</i> )	40	75	8035	Good vigor, good form, 2 feet from property line.
Pinus ( <i>Pinus nigra</i> )	12	50	3030	Good vigor, poor form, leans east.
Apple ( <i>Malus domestica</i> )	6.4	60	1015	Good vigor, fair form, suppressed.
Apple ( <i>Malus domestica</i> )	3.0	55	1010	Fair vigor, fair form.

Species	DBH	CON	HT/SP	Comments
Apple ( <i>Malus domestica</i> )	6.1	60	1015	Good vigor, fair form, well maintained.
Apple ( <i>Malus domestica</i> )	5.9	55	1015	Fair vigor, poor-fair form, root crown buried.
Ariseo ( <i>Prunus armeniacae</i> )	6.8	55	1015	Fair vigor, fair form.
Leaves ( <i>Juniperus communis</i> )	6.1	25	1010	Poor vigor, poor form, in decline. *indicates neighbor's tree. H indicates heritage tree. P indicates protected tree.

**DETAIL 1: NEW WOOD FENCE**  
 12" LATTICE  
 REDWOOD FENCE BOARDS  
 4 X 4 P.T. POSTS

REVISIONS	BY
PLANNING	6-8-19
PLANNING	1-23-19

**HOMETEC**  
 ARCHITECTURE, INC.  
 RICHARD A. HARTMAN  
 AIA

619 NORTH FIRST STREET, SAN JOSE, CA 95112  
 408-991-4198  
 hometec@aol.com

AREA PLAN  
 STREET SCOPE

NEW HOMES FOR:  
**GoldSilverland, LLC**  
 1333 LAUREL STREET, MENLO PARK, CA. 94025

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Drawn	RAH
Job	19-004
Sheet	A-1.5
of	Sheets



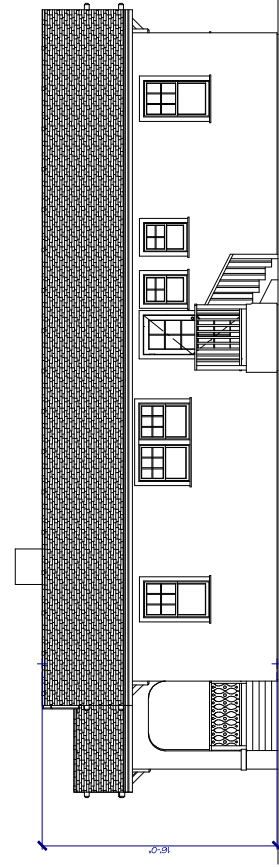
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PLANNING	6-18-19
PLANNING	7-22-19

**HOMETEC**  
 ARCHITECTURE, INC.  
 RICHARD A. HARTMAN  
 AIA  
 408-951-9090  
 hometecarchitect.com  
 619 NORTH FIRST STREET, SAN JOSE, CA 95112

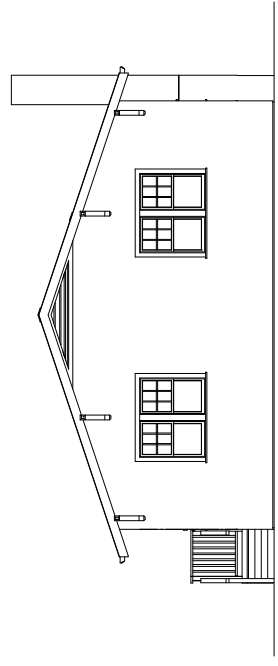
**EXISTING FLOOR PLAN,**  
**EXISTING ELEVATIONS**

NEW HOMES FOR:  
**GoldSilverland, LLC**  
 1333 LAUREL STREET, MENLO PARK, CA. 94025

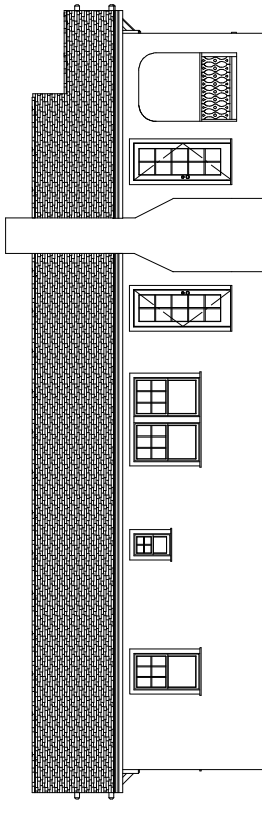
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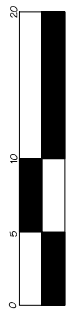
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(RIGHT)



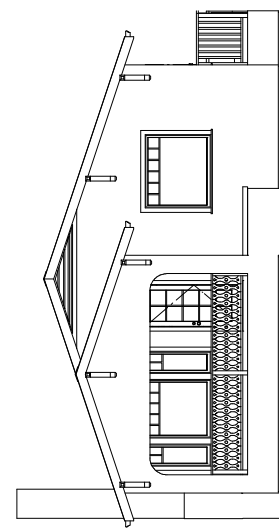
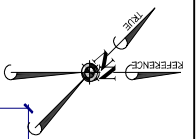
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(REAR)



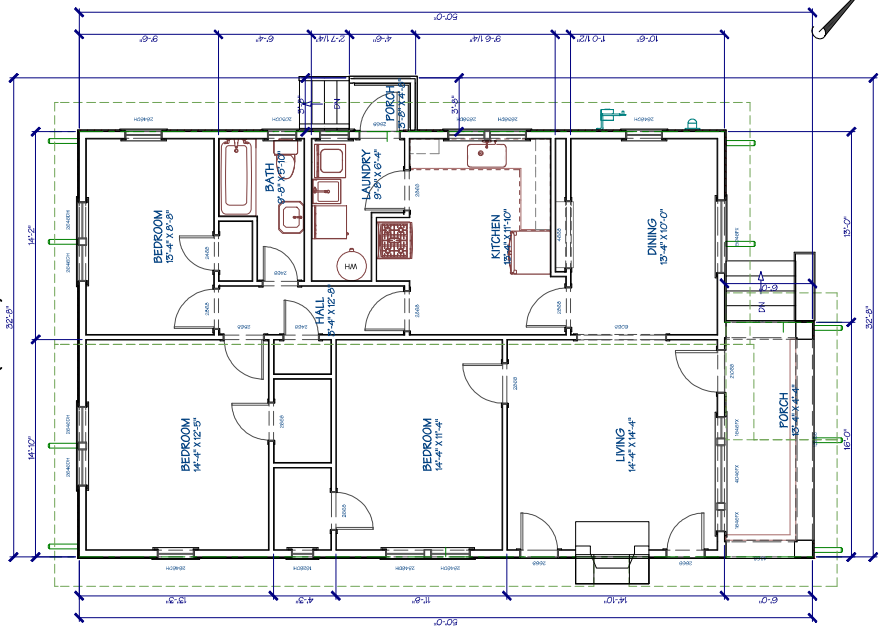
EXISTING SOUTH ELEVATION  
(LEFT)



SCALE: 1/4" = 1'-0"



EXISTING EAST ELEVATION  
(FRONT)



LIVING AREA  
1276 SQ FT

EXISTING FLOOR PLAN



REVISIONS	BY
PLANNING	
PLANNING	
PLANNING	

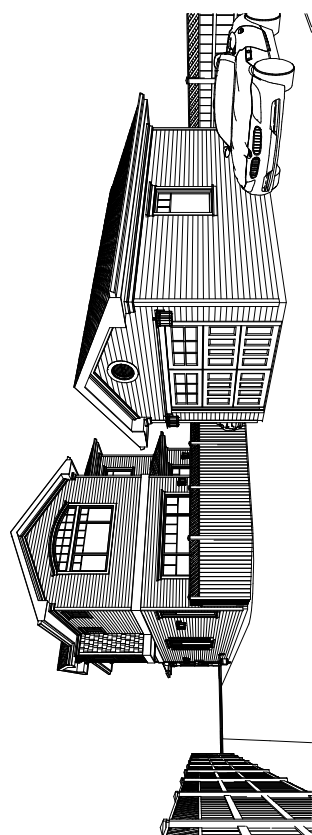
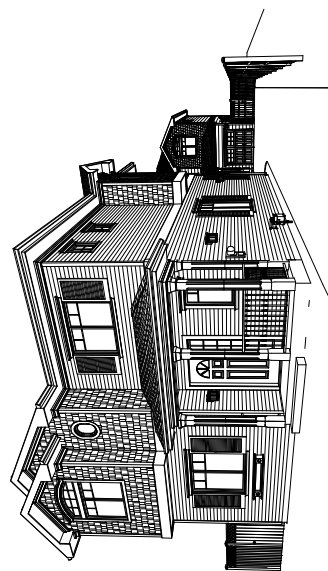
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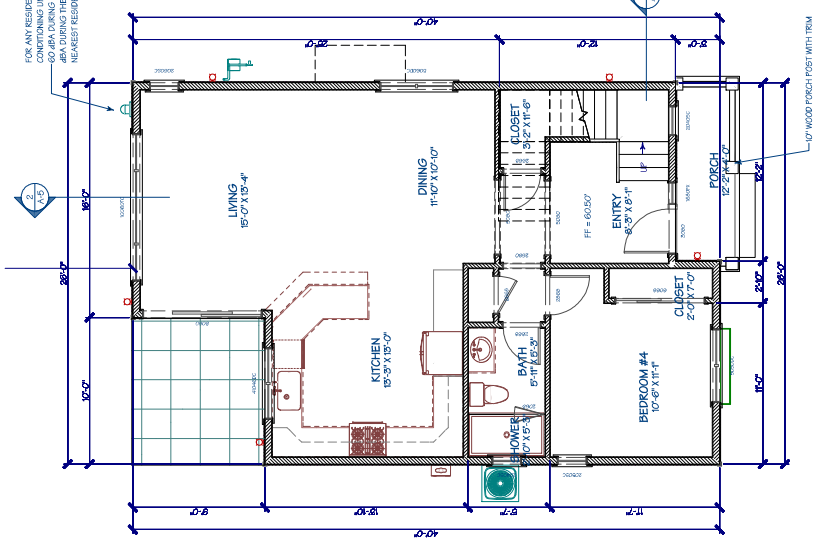
UNIT #1  
FLOOR PLANS

NEW HOMES FOR  
GoldSilverland, LLC  
1333 LAUREL STREET, MENLO PARK, CA 94025

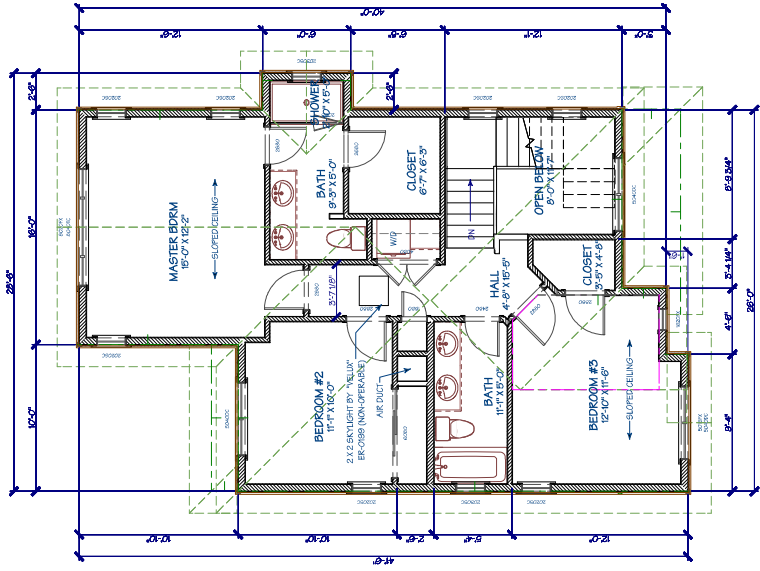
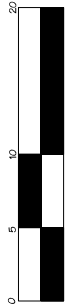
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of	3



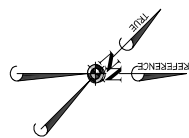
FOR ANY RESIDENTIAL PROPERTY, AIR  
CONDITIONING UNIT SOUNDS SHALL NOT EXCEED  
50 dBA DURING THE DAYTIME HOURS, OR 50  
dBA DURING THE EVENING HOURS, MEASURED AT THE  
NEAREST RESIDENTIAL PROPERTY LINE.



FIRST FLOOR PLAN



SECOND FLOOR PLAN



UNIT #1

REVISIONS	BY
PLANNING	6-25-19
PLANNING	6-25-19
PLANNING	6-25-19

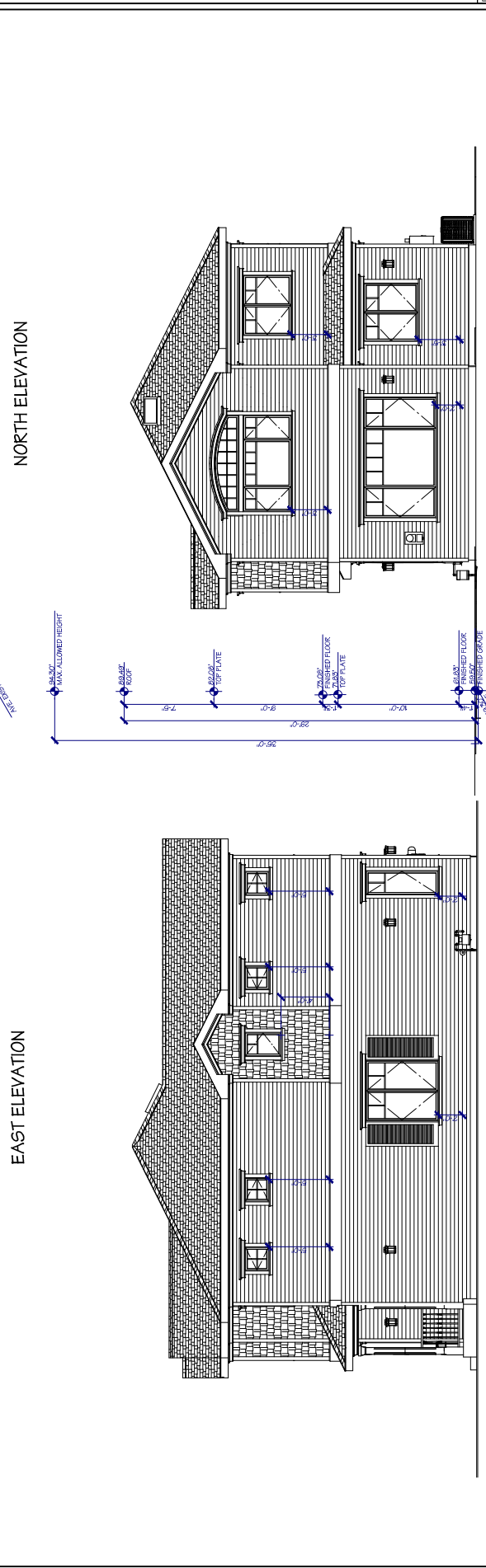
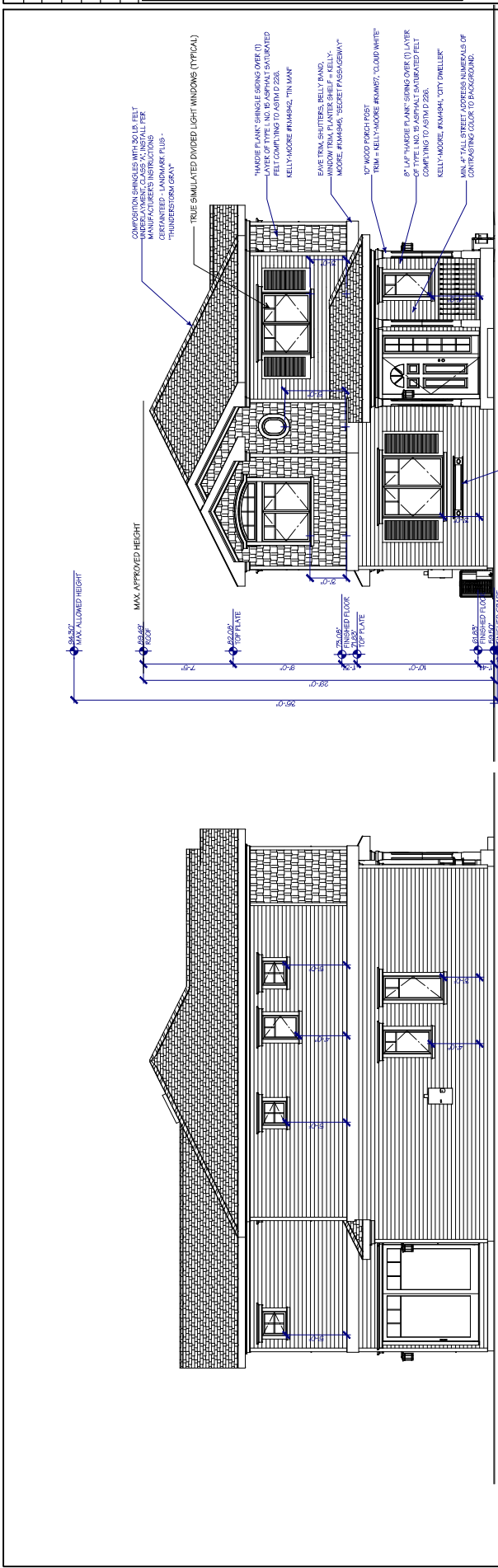
RICHARD A. HARTMAN  
 ARCHITECTURE, INC.  
 619 NORTH FIRST STREET, SAN JOSE, CA 95112  
 (408) 939-1000  
 rha@rchardah.com

# ELEVATIONS

## UNIT #1

NEW HOMES FOR  
**GoldSilverland, LLC**  
 1333 LAUREL STREET, MENLO PARK, CA. 94025

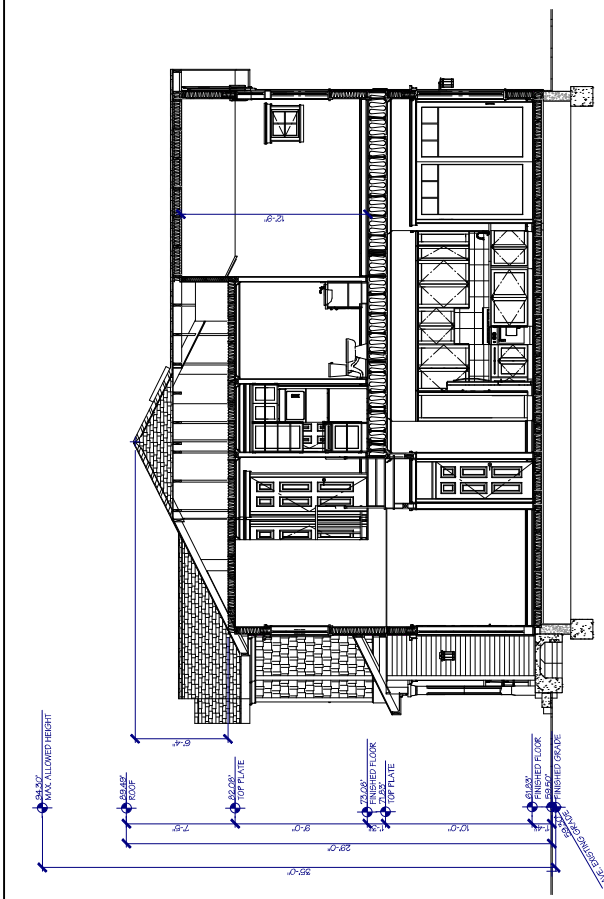
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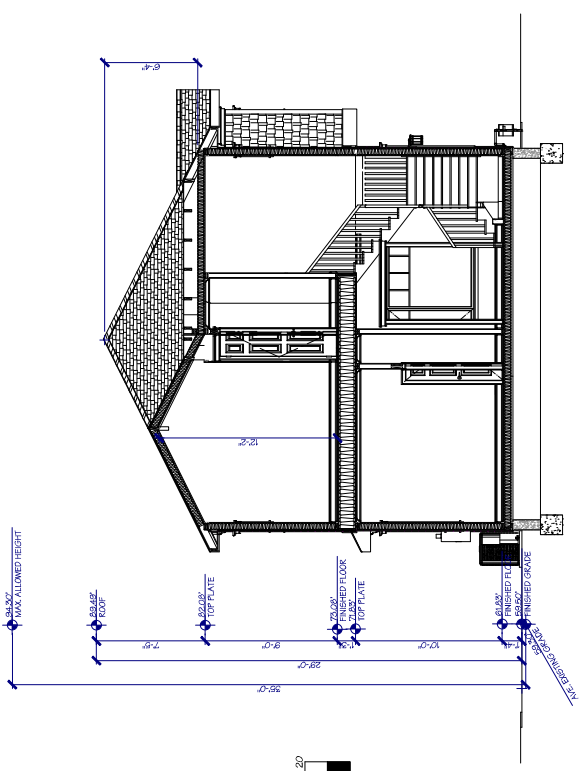
# UNIT #1

REVISIONS	BY
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PLANNING	6-20-19

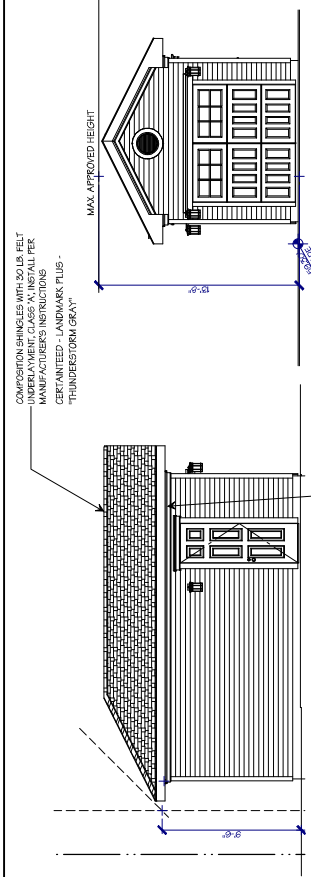
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 SECTIONS, GARAGE



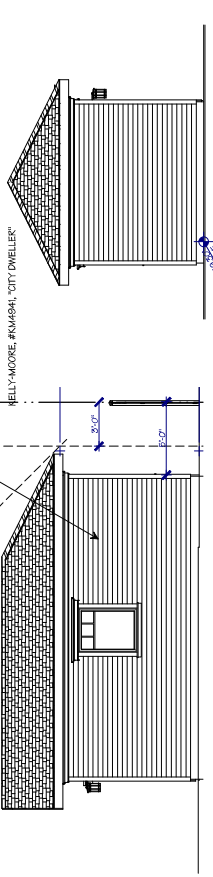
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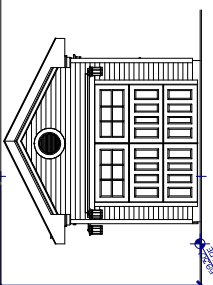
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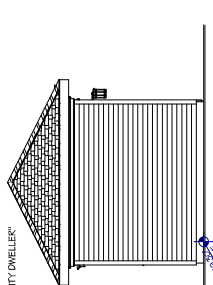
EAST ELEVATION



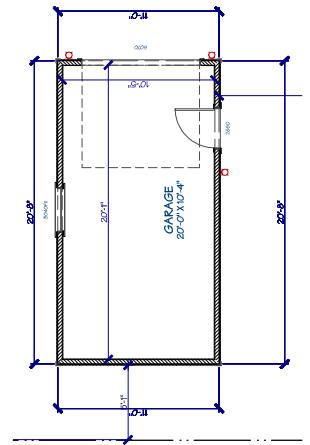
WEST ELEVATION



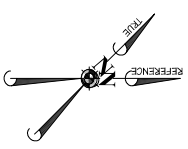
NORTH ELEVATION



SOUTH ELEVATION



GARAGE FLOOR PLAN



REVISIONS	BY
PLANNING	
PLANNING	
PLANNING	

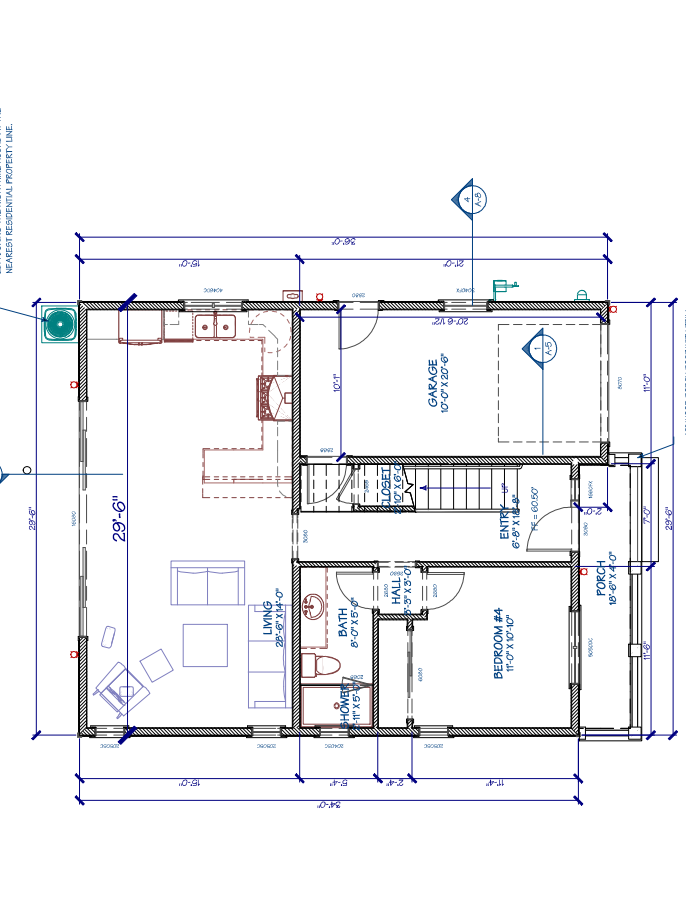
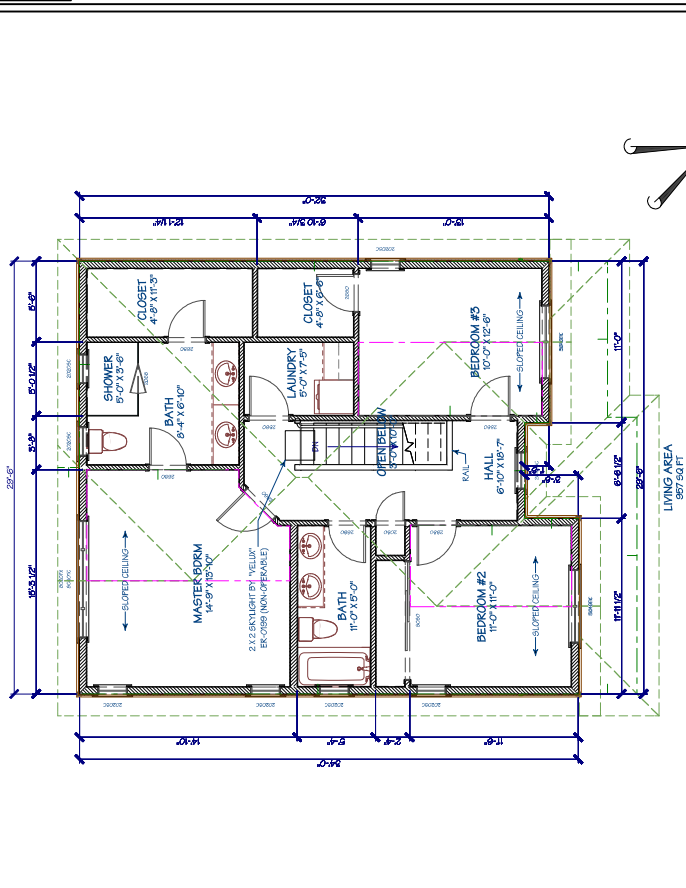
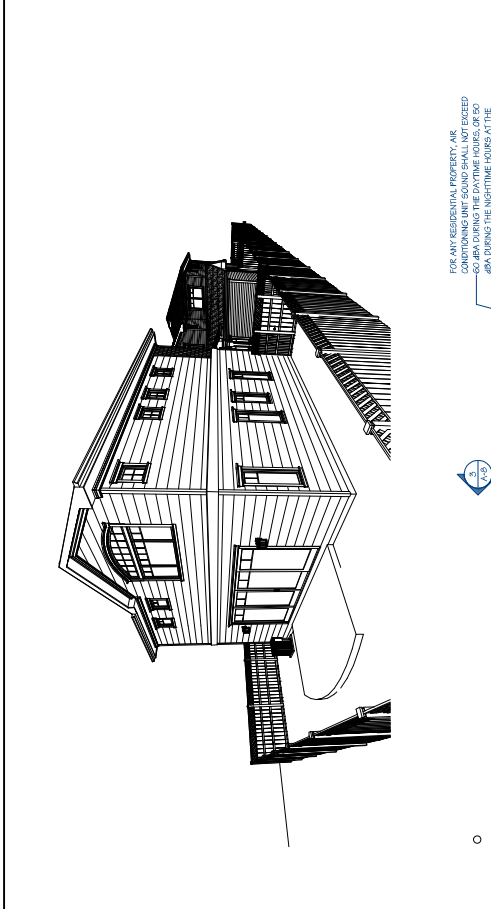
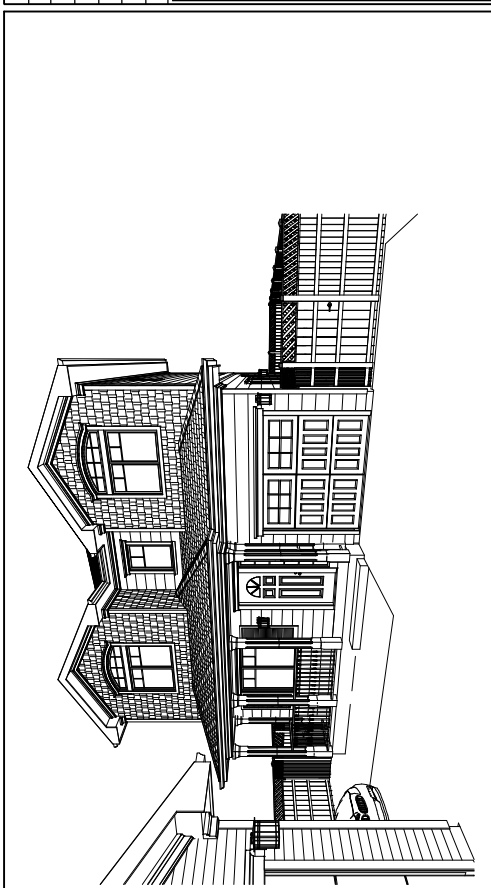
RICHARD A. HARTMAN  
 ARCHITECTURE, INC.  
 619 NORTH FIRST STREET, SAN JOSE, CA 95112  
 408.951.4996  
 rhartman@rchartman.com

**FLOOR PLANS**  
**UNIT #2**

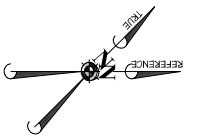
NEW HOMES FOR  
**GoldSilverland, LLC**  
 1333 LAUREL STREET, MENLO PARK, CA 94025

Date	4-25-19
Scale	1/4" = 1'-0"
Drawn	RAH
Job	19-0024
Sheet	
of	

**A-6**  
 SHEETS

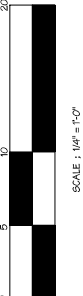


FOR ANY RESIDENTIAL PROPERTY, AIR  
 CONDITIONING UNIT SOUND SHALL NOT EXCEED  
 50 DBA DURING THE DAYTIME HOURS, OR 50  
 DBA AT NIGHT. THE NOISE SHALL BE MEASURED AT THE  
 NEAREST RESIDENTIAL PROPERTY LINE.



**UNIT #2**

**SECOND FLOOR PLAN**



**FIRST FLOOR PLAN**

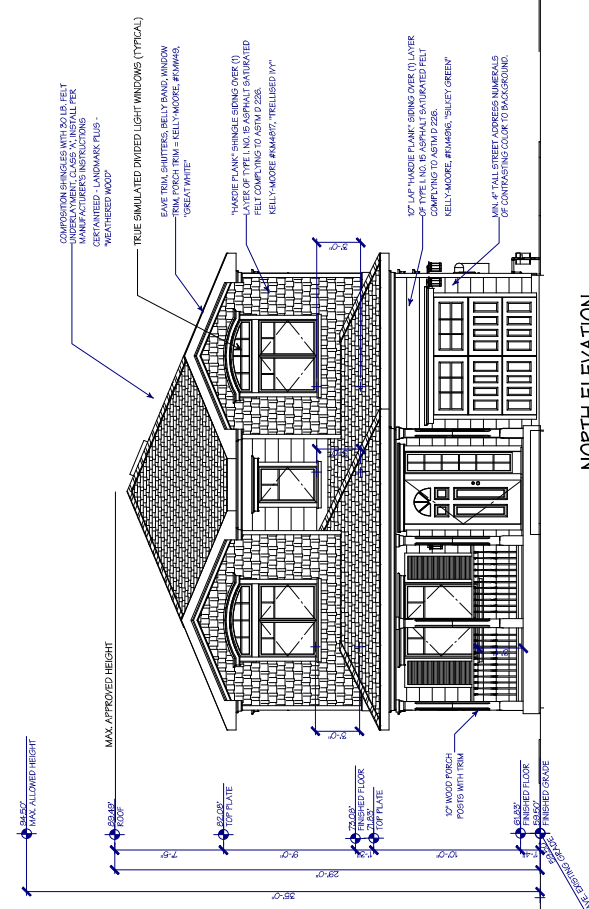
REVISIONS	BY
PLANNING	6-8-19
PLANNING	6-20-19

RICHARD A. HARTMAN  
 ARCHITECTURE, INC.  
 619 NORTH FIRST STREET, SAN JOSE, CA 95112  
 408.991.9898  
 richard@rah.com

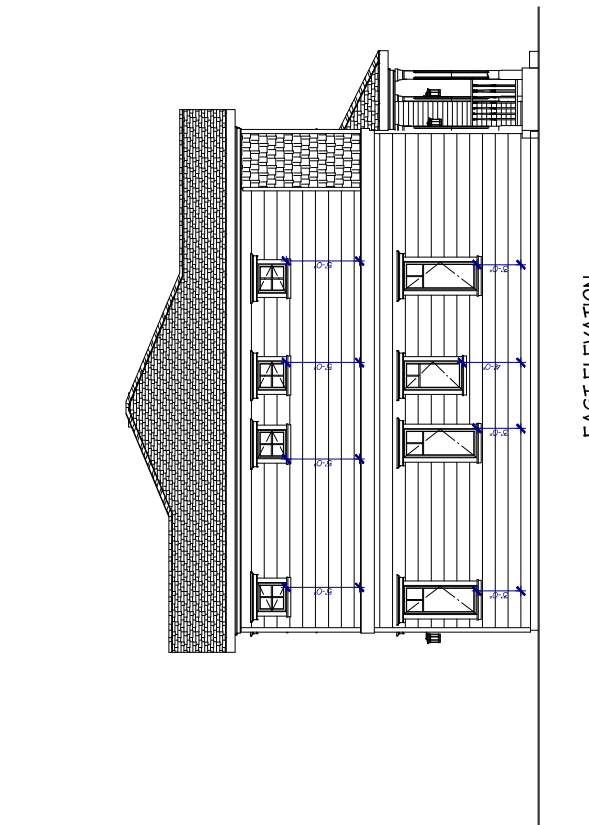
**UNIT #2**  
**ELEVATIONS**

NEW HOMES FOR  
**GoldSilverland, LLC**  
 1333 LAUREL STREET, MENLO PARK, CA 94025

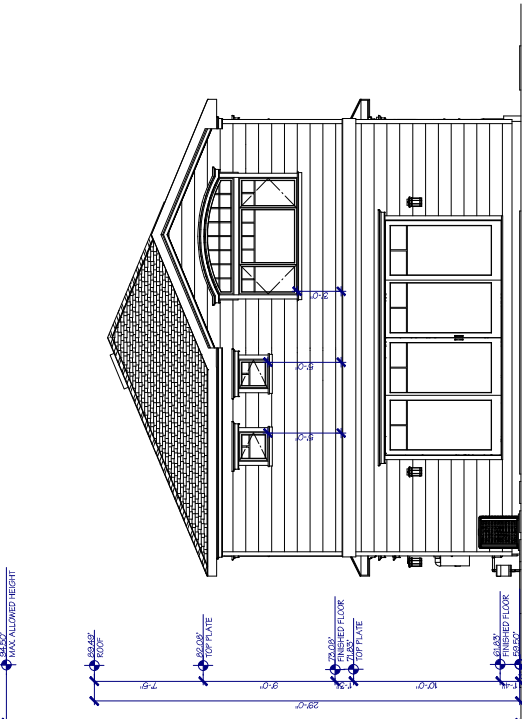
Date	4-25-19
Scale	1/4" = 1'-0"
Drawn	RAH
Job	19-004
Sheet	A-7
of	Sheets



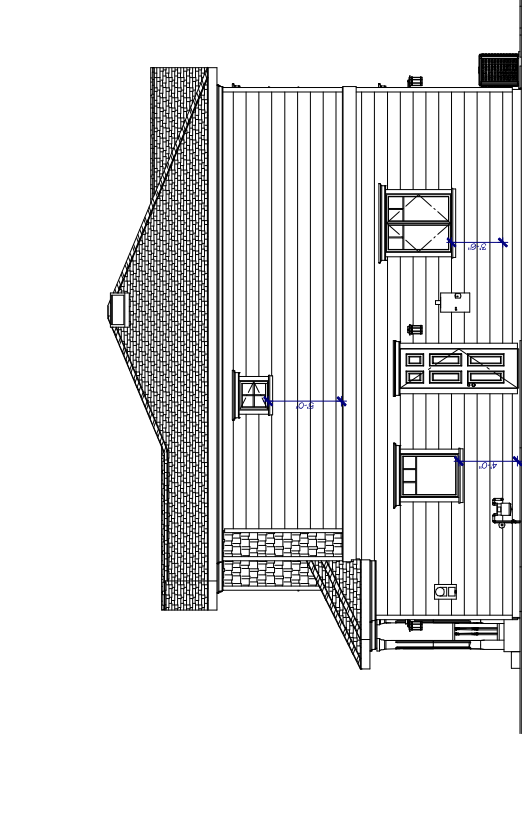
NORTH ELEVATION



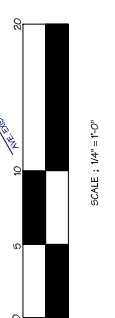
EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION



UNIT #2

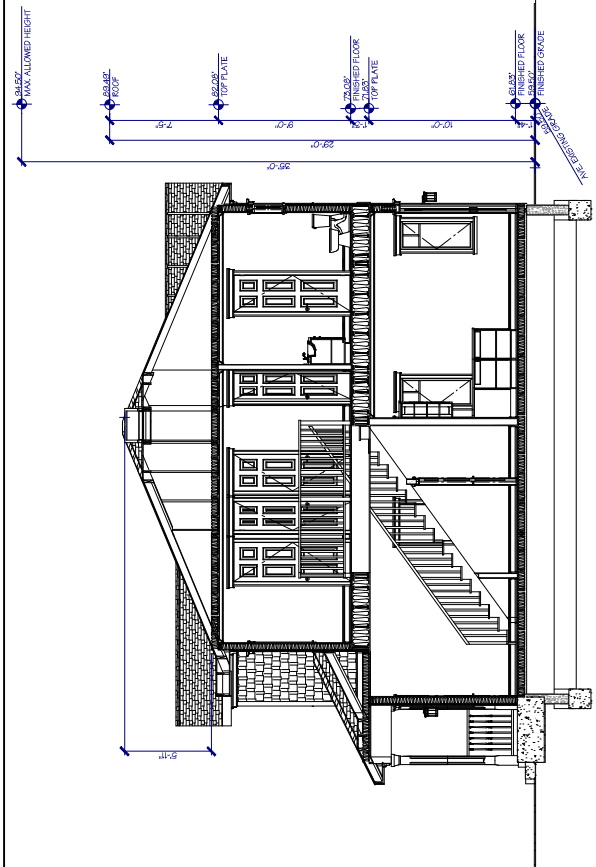
REVISIONS	BY
PLANNING	6-8-19
PLANNING	1-23-20

RICHARD A. HARTMAN  
 AIA  
 408-951-4190  
 rhartman@hometec.com  
**HOMETEC**  
 ARCHITECTURE, INC.  
 619 NORTH FIRST STREET, SAN JOSE, CA 95112

UNIT #2 SECTIONS  
 ROOF PLANS

NEW HOMES FOR  
**GoldSilverland, LLC**  
 1333 LAUREL STREET, MENLO PARK, CA, 94025

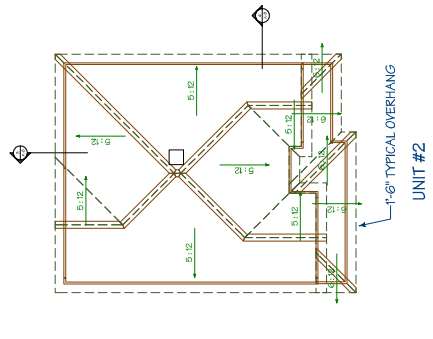
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Scale	1/4" = 1'-0"
Drawn	RAH
Job	19-004
Sheet	A-8
of	1



3 SECTION - UNIT #2



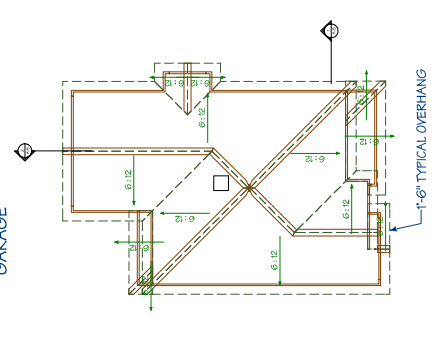
4 SECTION - UNIT #2



UNIT #2

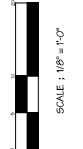


GARAGE



UNIT #1

ROOF PLAN



SCALE: 1/8" = 1'-0"



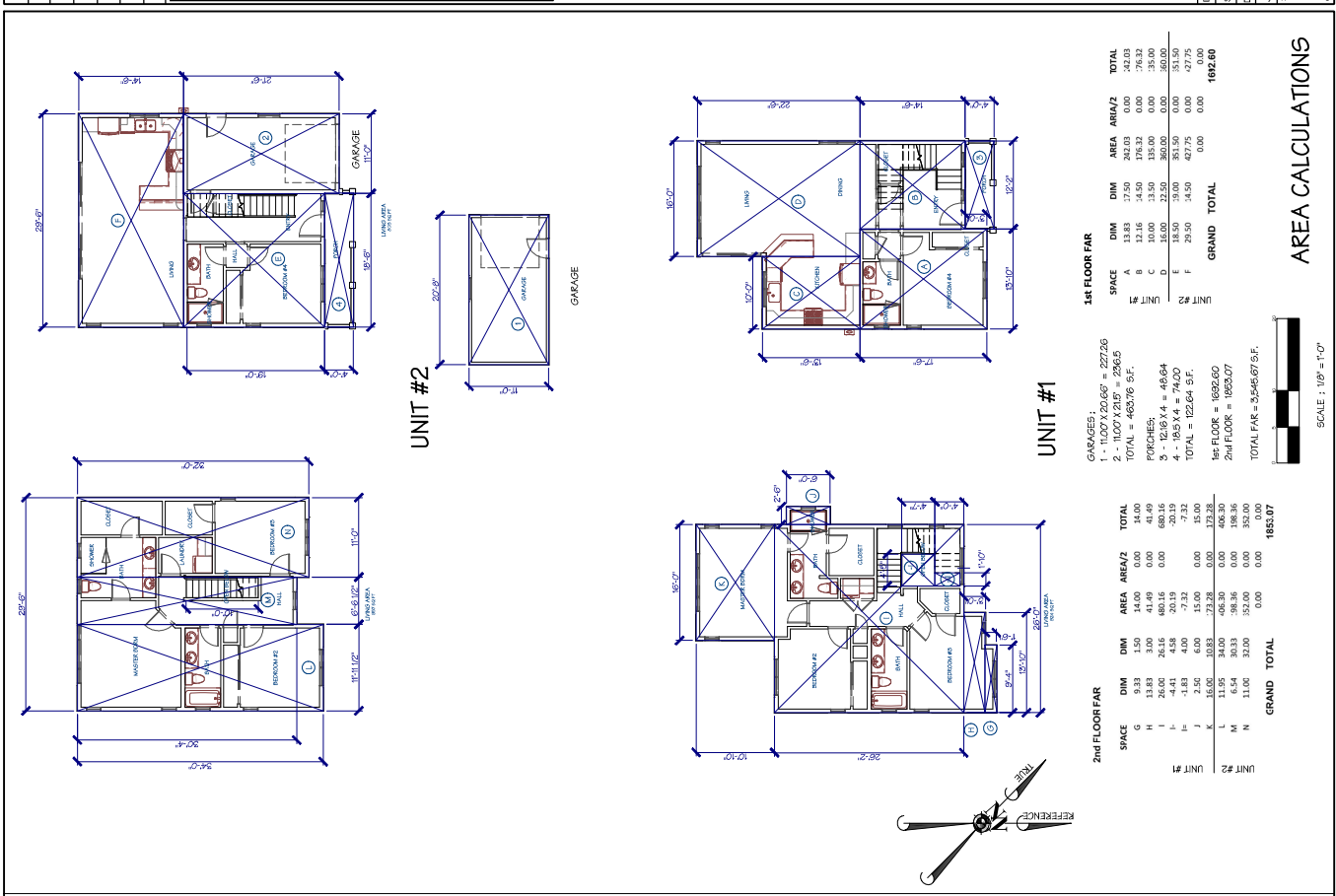
REVISIONS	BY
PLANNING	6-18-19
PLANNING	7-22-19
PLANNING	7-22-19

RICHARD A. HARTMAN  
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 AIA  
 408-951-4996  
 hartman@rhaa.com  
 619 NORTH FIRST STREET, SAN JOSE, CA 95112

# AREA CALCULATIONS

NEW HOMES FOR  
**GoldSilverland, LLC**  
 1333 LAUREL STREET, MENLO PARK, CA 94025

Date	4-25-19
Scale	1/4" = 1'-0"
Drawn	RAH
Job	19-024
Sheet	A-9
of	9



**1st FLOOR FAR**

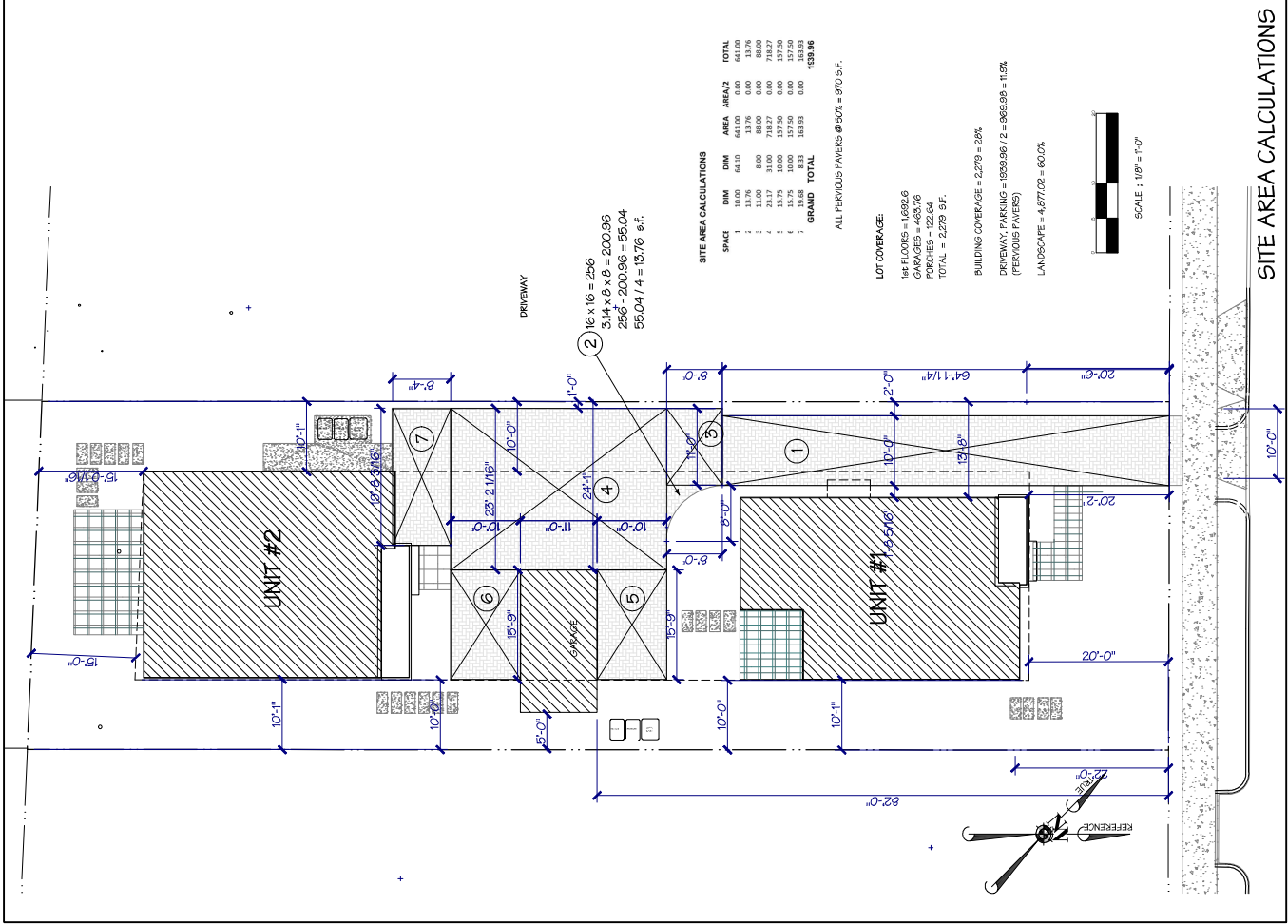
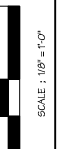
SPACE	DIM	AREA	AREA/2	TOTAL
A	12.16' x 14.50'	176.32	0.00	176.32
B	10.00' x 13.50'	135.00	0.00	135.00
C	15.00' x 22.50'	337.50	0.00	337.50
D	15.00' x 15.00'	225.00	0.00	225.00
E	15.00' x 15.00'	225.00	0.00	225.00
F	25.50' x 25.50'	650.25	0.00	650.25
<b>GRAND TOTAL</b>				<b>1682.80</b>

GARAGES:  
 1 - 11.00' x 20.00' = 220.00  
 2 - 11.00' x 21.5' = 236.50  
**TOTAL = 456.50 S.F.**  
 PORCHES:  
 3 - 12.0' x 4' = 48.00  
 4 - 10.5' x 4' = 42.00  
**TOTAL = 90.00 S.F.**  
**1st FLOOR = 1692.80**  
**2nd FLOOR = 1853.07**  
**TOTAL FAR = 3545.87 S.F.**

**2nd FLOOR FAR**

SPACE	DIM	AREA	AREA/2	TOTAL
G	9.33' x 1.50'	14.00	0.00	14.00
H	13.83' x 3.00'	41.49	0.00	41.49
I	26.00' x 16.16'	420.16	0.00	420.16
J	1.83' x 4.00'	7.32	0.00	7.32
K	2.50' x 6.00'	15.00	0.00	15.00
L	16.00' x 10.83'	173.28	0.00	173.28
M	6.54' x 30.33'	198.36	0.00	198.36
N	11.00' x 32.00'	352.00	0.00	352.00
<b>GRAND TOTAL</b>				<b>1853.07</b>

## AREA CALCULATIONS



**SITE AREA CALCULATIONS**

SPACE	DIM	AREA	AREA/2	TOTAL
1	16.00' x 16.00'	256.00	0.00	256.00
2	11.76' x 11.76'	138.29	0.00	138.29
3	11.00' x 8.00'	88.00	0.00	88.00
4	11.00' x 11.00'	121.00	0.00	121.00
5	12.75' x 10.00'	127.50	0.00	127.50
6	12.75' x 10.00'	127.50	0.00	127.50
7	16.00' x 8.33'	133.28	0.00	133.28
<b>GRAND TOTAL</b>				<b>1033.96</b>

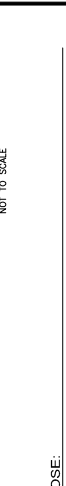
ALL PERVIOUS PAVED @ 50% = 516.98 S.F.  
**LOT COVERAGE:**  
 1st FLOOR = 1692.80  
 GARAGES = 456.50  
 PORCHES = 90.00  
**TOTAL = 2239.30 S.F.**  
**BUILDING COVERAGE = 2239.30 = 83%**  
**DRIVEWAY/PARKING = 1933.96 / 2 = 966.98 = 41.5%**  
**(PERVIOUS PAVED)**  
**LANDSCAPE = 4,877.02 = 60.0%**

## SITE AREA CALCULATIONS



# TENTATIVE MAP FOR CONDOMINIUM PURPOSES 1333 LAUREL STREET MENLO PARK, SAN MATEO COUNTY, CALIFORNIA FOR: GOLDSILVERISLAND HOMES, LLC

CITY OF MENLO PARK  
VICINITY MAP  
NOT TO SCALE



**PURPOSE:**  
LOT 20 OF BLOCK B, 1 RSM 94 IN THE CITY OF MENLO PARK, COUNTY OF SAN MATEO, CALIFORNIA, TO BE DIVIDED INTO 2 RESIDENTIAL UNITS BY A SEPARATE CONDOMINIUM PLAN.

**SITE BENCHMARK:**  
BENCHMARK FOR THIS SURVEY IS A SPIKE HAVING AN ASSUMED DATUM WITH ELEVATION OF 71.13'

**DATE OF SURVEY:**  
TOPOGRAPHIC INFORMATION SHOWN HERE IS BASED UPON A FIELD SURVEY PERFORMED ON FEBRUARY, 2019.

**SURVEY GENERAL NOTES:**  
1. TREE SIZES AND TYPES ARE APPROXIMATE AND SHOULD BE VERIFIED BY A CERTIFIED ARBORIST.  
2. FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLDS.  
3. BUILDING CORNERS WERE LOCATED AT FINISH LOCATIONS (STUCCO, BLOCK OR WOOD AS IT EXISTS IN THE FIELD).  
4. NO EVIDENCE OF A SEWER LATERAL WAS FOUND.

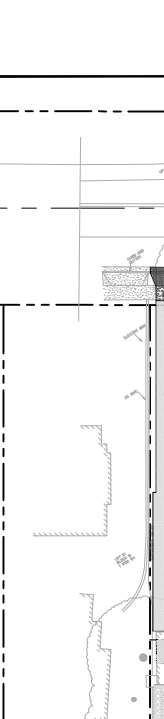
**UNDERGROUND UTILITY NOTE:**  
UNDERGROUND UTILITY LINES, IF SHOWN, DEPICT OUR ESTIMATION OF WHERE THE ACTUAL UTILITIES ARE LOCATED. JUST BECAUSE UTILITIES ARE SHOWN DOES NOT MEAN THAT THE UTILITIES ARE IN THE SHOWN LOCATIONS. THE ENGINEER HAS NO LIABILITY FOR ANY DISCREPANCIES, OMISSIONS OR ERRORS WITH REGARD TO SAID UNDERGROUND UTILITY DEPICTIONS ON THIS SURVEY.

**GENERAL NOTES:**  
1. OWNER / DEVELOPER: GOLDSILVERISLAND HOMES, LLC, 107 CAMPBELL, CA 94008  
2. ARCHITECT: HOMTEC ARCHITECTURE, INC., 919 NORTH FIRST STREET, SAN JOSE, CA 95112  
3. CIVIL ENGINEER: GREEN CIVIL ENGINEERING, SUITE #350, SAN MATEO, CA 94403  
4. SURVEYOR: WILSON LAND SURVEYS, 3007 WHEELER BOULEVARD, SUITE 11, CAMPBELL, CA 95008  
5. MAP PREPARED BY: CHIN HANG WONG, 2545 FAIRVIEW DRIVE, SUITE #200, SAN MATEO, CA 94401

**SCALE**  
VERTICAL: 1"=5' SHOWN  
HORIZONTAL: 1"=40' SHOWN

**SHEET**  
TM 1  
OF 5 SHEET

**JOB NO.**  
19221005



**LOCATION MAP**  
1"=20'

**SHEET INDEX**

TM 1	TITLE SHEET
TM 2	MAP SHEET
TM 3	PRELIMINARY GRADING AND DRAINAGE PLAN
TM 4	PRELIMINARY UTILITY PLAN
TM 5	DETAIL SHEET

**TITLE SHEET**  
TENTATIVE MAP  
1333 LAUREL STREET  
MENLO PARK, CA 94025

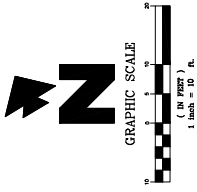
**OWNER:** GOLDSILVERISLAND HOMES, LLC








**GREEN CIVIL ENGINEERING, INC.**  
1900 S. NORFOLK ST., SUITE #350  
SAN MATEO, CA 94403

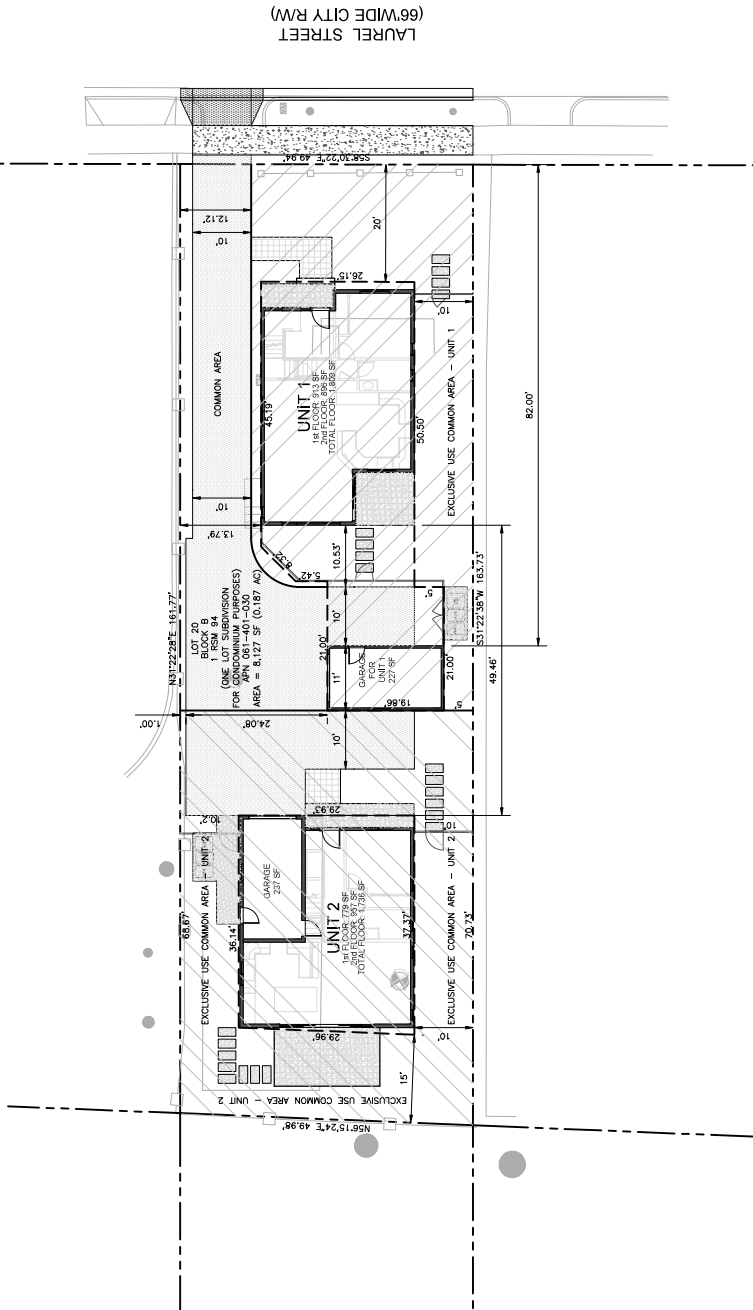
REV.	DATE	DESCRIPTION
1	6/17/19	REVISION PER CITY COMMENTS
2	6/19/19	REVISION PER CITY COMMENTS

LEGEND:	DESCRIPTION
●	FOUND MONUMENT AS NOTED
○	SET 5/8" REBAR LS 5571 UNLESS OTHERWISE NOTED
□	SET NAIL AND 3/4" BRASS TAG LS 5571 IN CONCRETE
○	SET WOODEN HUB ON PROPERTY LINE OR AT OFFSET AS NOTED
⊗	FIRE HYDRANT
⊕	WATER VALVE
⊖	WATER METER
⊙	JOINT POLE
⊚	UTILITY POLE
⊛	TELEPHONE POLE
⊜	GYWIRE
— W —	BLUE PAINT - EVIDENCE OF UG WATER LINE
— E —	ELECTRIC METER
— G —	GAS METER
— M —	MONITORING WELL
— Y —	YELLOW PAINT, EVIDENCE OF UG GAS LINE
— P —	PHONE PEDestal
— P —	PHONE BOX
— P —	PHONE MANHOLE
— P —	ORANGE PAINT, EVIDENCE OF UG PHONE LINE
— P —	TRAFFIC SIGNAL CONTROL BOX
⊛	TRAFFIC SIGNAL
⊛	TV BOX
— OH —	OVERHEAD LINE
— TV —	EVIDENCE OF UG TV LINE
— TV —	HANDICAP RAMP
⊛	STORM DRAIN MANHOLE
⊛	DROP INLET
⊛	PHONE MANHOLE
⊛	SEWER MANHOLE
⊛	SEWER CLEANOUT
⊛	PARKING METER
⊛	SIGN
⊛	CONTROL POINT
⊛	LAMP POST
⊛	ELECTRIC BOX
⊛	WALL
⊛	BOLLARD
⊛	WOOD FENCE
⊛	CONCRETE
⊛	LIVE OAK
⊛	WHITE OAK
⊛	REDWOOD
⊛	TYPICAL
⊛	PROPERTY LINE
⊛	CHAIN LINK FENCE
⊛	P.U.E.
⊛	PUBLIC UTILITY EASEMENT
⊛	S.P.E.
⊛	SLOPE PROTECTION EASEMENT



LEGEND

-  PROPOSED PATIO
-  PROPOSED HARDSCAPE
-  PROPOSED CONCRETE DRIVEWAY
-  UNIT 1 - DWELLING & EXCLUSIVE USE COMMON AREA
-  UNIT 2 - DWELLING & EXCLUSIVE USE COMMON AREA



<b>SCALE</b>	VERTICAL: 1" = AS SHOWN	HORIZONTAL: 1" = AS SHOWN	<b>SHEET</b>	<b>TM 2</b>	OF 5 SHEETS
<b>MAP SHEET</b>	<b>TENTATIVE MAP</b>				
<b>OWNER:</b>	<b>GOLDSILVERISLAND HOMES, LLC</b>				
					
<b>REVISIONS</b>	<b>DATE</b>	<b>DESCRIPTION</b>			
1	6/7/19	REVISION PER CITY COMMENTS			
2	6/9/19	REVISION PER CITY COMMENTS			
			<b>CIVIL ENGINEERING, INC.</b> INFO@GREN-CE.COM 1500 S. NORFOLK ST., SUITE #150 SAN MATEO, CA 94403		
			<b>MAP SHEET</b> <b>TENTATIVE MAP</b> <b>1333 LAUREL STREET</b> <b>MENLO PARK, CA 94025</b>		



GRAPHIC SCALE  
( IN FEET )  
1 inch = 10 ft.

- LEGEND**
- FLOW DIRECTION
  - - - - - VEGETATED SWALE
  - - - - - STORM DRAIN PIPE
  - - - - - GRADE BREAK
  - - - - - STORM DRAIN CLEANOUT
  - - - - - AREA DRAIN (CHRISTY VI)
  - BUBBLER BOX (SEE CITY STD.)
  - DETAIL DR-18 (S)

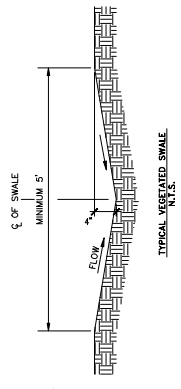
- ABBREVIATIONS:**
- BS = BOTTOM OF STEP ELEVATION
  - C = TOP OF CONCRETE ELEVATION
  - DWP = DRIVEWAY ELEVATION
  - FF = FINISH FLOOR ELEVATION
  - FL = FINISH FLOOR ELEVATION
  - FL = FINISH FLOOR ELEVATION
  - GB = GRADE BREAK
  - IE = INVERT ELEVATION
  - LF = LINEAL FOOT
  - P = PATIO ELEVATION
  - S = SLOPE
  - SD = STORM DRAIN
  - SDCO = STORM DRAIN CLEANOUT
  - SDCI = STORM DRAIN INLET
  - TC = TOP OF CURB ELEVATION
  - TF = TOP OF FINISH FLOOR ELEVATION
  - TP = TOP OF PAVEMENT ELEVATION
  - TS = TOP OF STEP ELEVATION

**ON-SITE IMPERVIOUS AREA**  
TOTAL SITE = 6127 SF  
EXISTING = 4,145 SF (68% IMPERVIOUS SURFACE)  
PROPOSED = 5,342 SF (86% IMPERVIOUS SURFACE)  
CHANGE = 1,197 SF

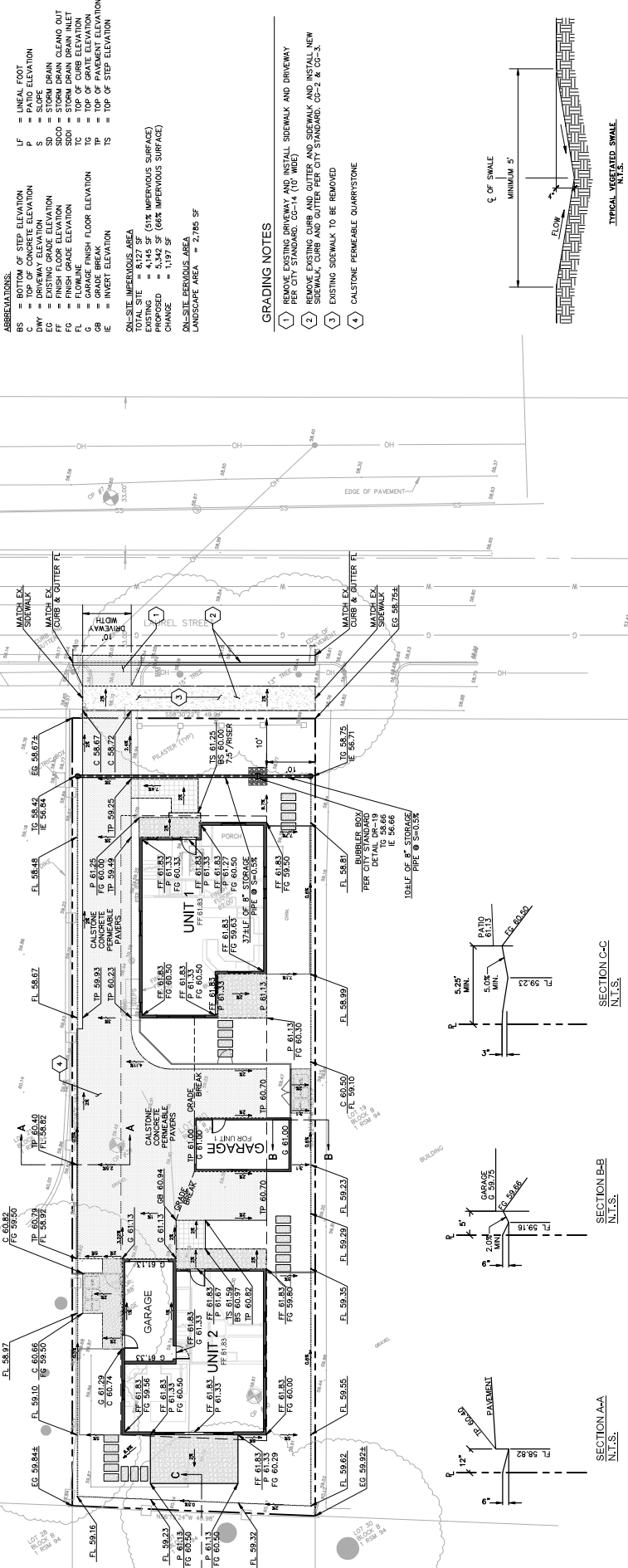
**ON-SITE IMPERVIOUS AREA**  
LANDSCAPE AREA = 2,795 SF

**GRADING NOTES**

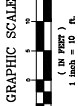
- 1 REMOVE EXISTING DRIVEWAY AND INSTALL SIDEWALK AND DRIVEWAY PER CITY STANDARD, CC-14 (10' WIDE)
- 2 REMOVE EXISTING CURB AND GUTTER AND SIDEWALK AND INSTALL NEW SIDEWALK, CURB AND GUTTER PER CITY STANDARD, CC-2 & CC-3.
- 3 EXISTING SIDEWALK TO BE REMOVED
- 4 CALSTONE PERMEABLE QUARRYSTONE



LAUREL STREET  
(66WIDE CITY R/W)



SCALE VERTICAL: 1" = 8'-0" SHOWN HORIZONTAL: 1" = 40'-0" SHOWN	SHEET TM 3 OF 5 SHEETS	JOB NO. 19211005
<b>PRELIMINARY GRADING &amp; DRAINAGE PLAN</b> <b>TENTATIVE MAP</b> <b>1333 LAUREL STREET</b> <b>MENLO PARK, CA 94025</b>		
<b>OWNER:</b> <b>GOLDSILVERISLAND HOMES, LLC</b>		
<p><b>GREN</b> CIVIL ENGINEERING, INC. INFO@GREN-CE.COM 1500 S. NORFOLK ST., SUITE #550 SAN MATEO, CA 94403</p>		
REV.	DATE	DESCRIPTION
1	6/17/19	REVISION PER CITY COMMENTS
2	6/5/19	REVISION PER CITY COMMENTS



**LEGEND**

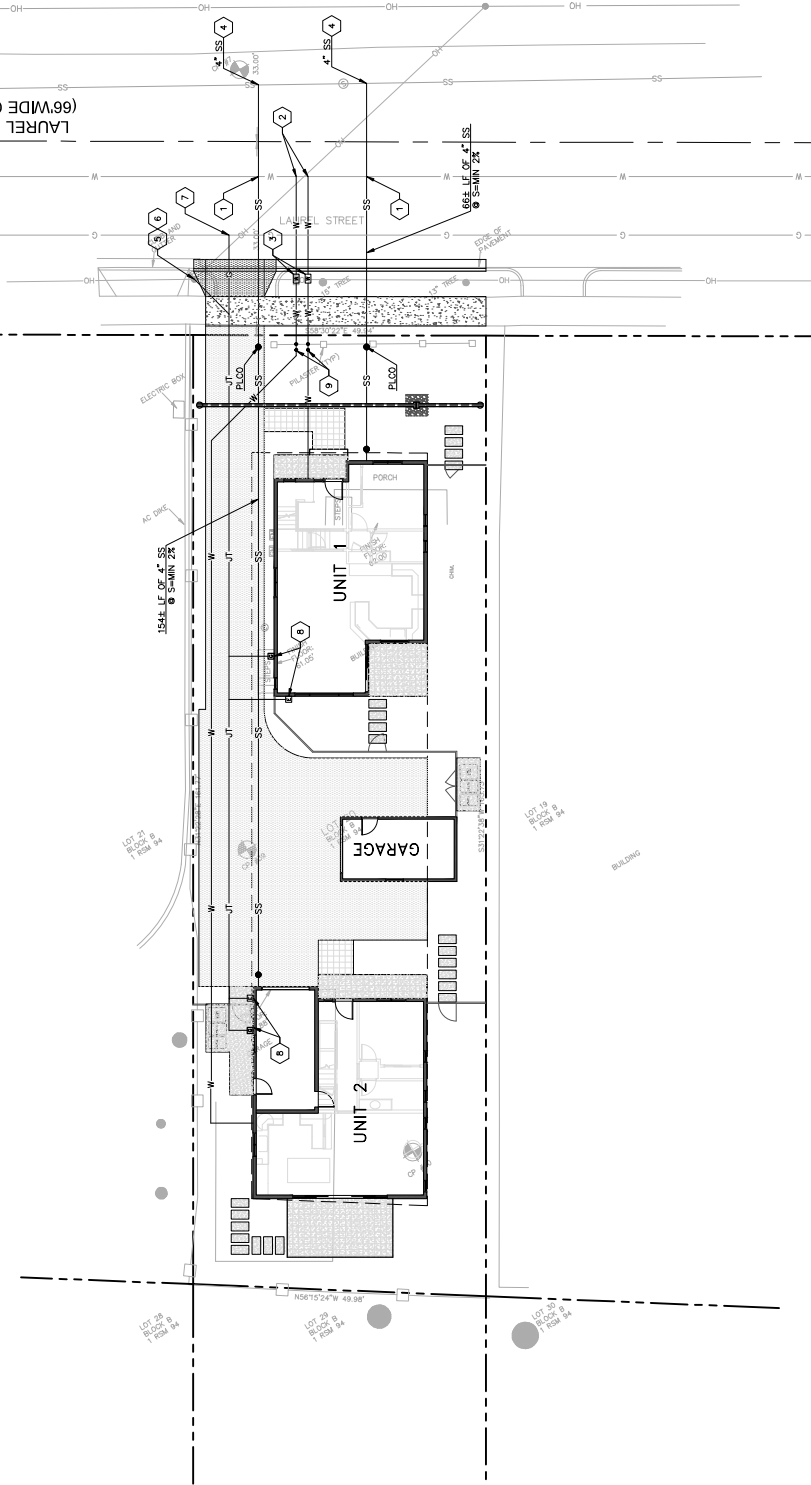
- PROPOSED ELECTRIC METER
- PROPOSED GAS METER
- PROPOSED WATER METER
- SANITARY SEWER CLEANOUT
- EXISTING OVERHEAD LINE
- EXISTING GAS LINE
- EXISTING SANITARY SEWER LINE
- EXISTING WATERLINE
- JT — PROPOSED JOINT TRENCH LINE
- SS — PROPOSED SANITARY SEWER LINE
- W — PROPOSED WATERLINE SEWER LINE

**GENERAL NOTE:**  
ALL UTILITY TRENCHING AND JOKE BY HAND AND NO ROOTS MAY BE CUT WITHOUT CITY ARBORIST APPROVAL.

**UTILITY NOTES**

- 1 MAINTAIN 1' MIN. VERTICAL CLEARANCE BETWEEN WATER LINE & SS LINE AT THE CROSSING POINT. WATER LINE SHALL BE ABOVE THE SS LINE.
- 2 INSTALL CONNECTION TO EXISTING WATER PER CALIFORNIA WATER CO.
- 3 INSTALL WATER METER PER CALIFORNIA WATER CO. (TYP)
- 4 SANITARY SEWER INVERT ELEVATIONS AT POINT OF CONNECTIONS TO BE IN CONSTRUCTION DOCUMENT SET
- 5 EXISTING OVERHEAD ELECTRIC/TELEPHONE/CABLE TO EXISTING SITE TO BE REMOVED AND IMPROVED WITH NEW JOINT TRENCH LINE
- 6 COORDINATE WITH LOCAL UTILITY COMPANIES FOR PROPOSED JOINT TRENCH
- 7 PROPOSED GAS POINT OF CONNECTION
- 8 PROPOSED GAS AND ELECTRIC METERS
- 9 INSTALL BACKFLOW PROTECTION PER CITY STANDARD
- 10 ALL TRENCHES IN CITY'S RIGHT OF WAY SHALL COMPLY WITH CITY STANDARD DETAILS SPC-A, SPC-B AND SPC-16 UNLESS OTHERWISE SPECIFIED.

LAUREL STREET (66WIDE CITY R/W)



REV.	DATE	DESCRIPTION
1	6/17/19	REVISION PER CITY COMMENTS
2	6/19/19	REVISION PER CITY COMMENTS

**GREEN**  
CIVIL ENGINEERING, INC.  
INFO@GREEN-CE.COM  
1500 S. NORFOLK ST., SUITE #150  
SAN MATEO, CA 94403



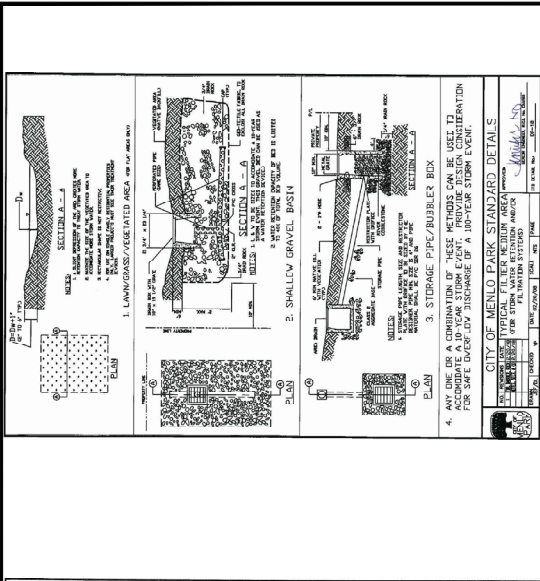
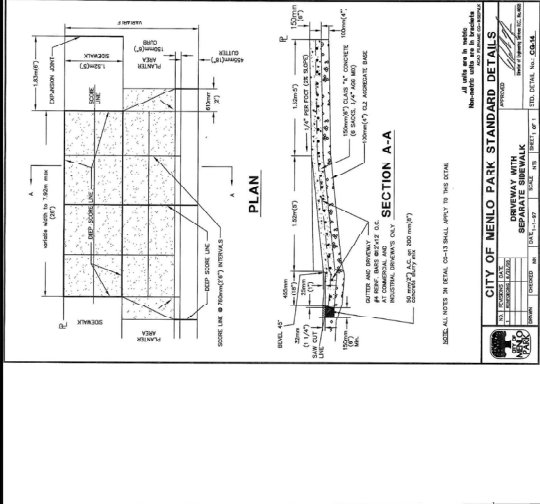
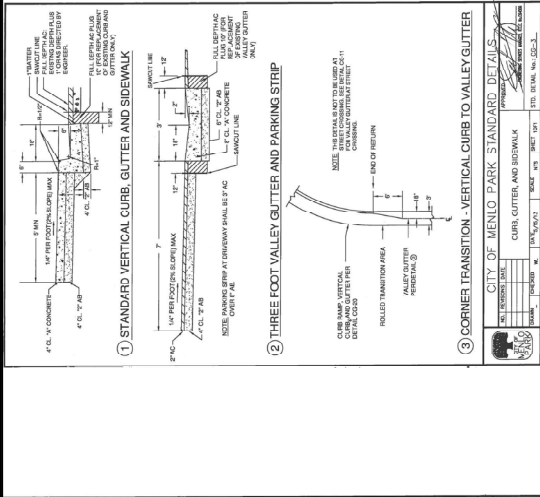
OWNER:  
**GOLDSILVERISLAND HOMES, LLC**

**PRELIMINARY UTILITY PLAN**  
**TENTATIVE MAP**  
**1333 LAUREL STREET**  
**MENLO PARK, CA 94025**

SCALE: VERTICAL: 1"=AS SHOWN HORIZONTAL: 1"=AS SHOWN
SHEET <b>TM 4</b>
OF 5 SHEET
JOB NO. 19211005

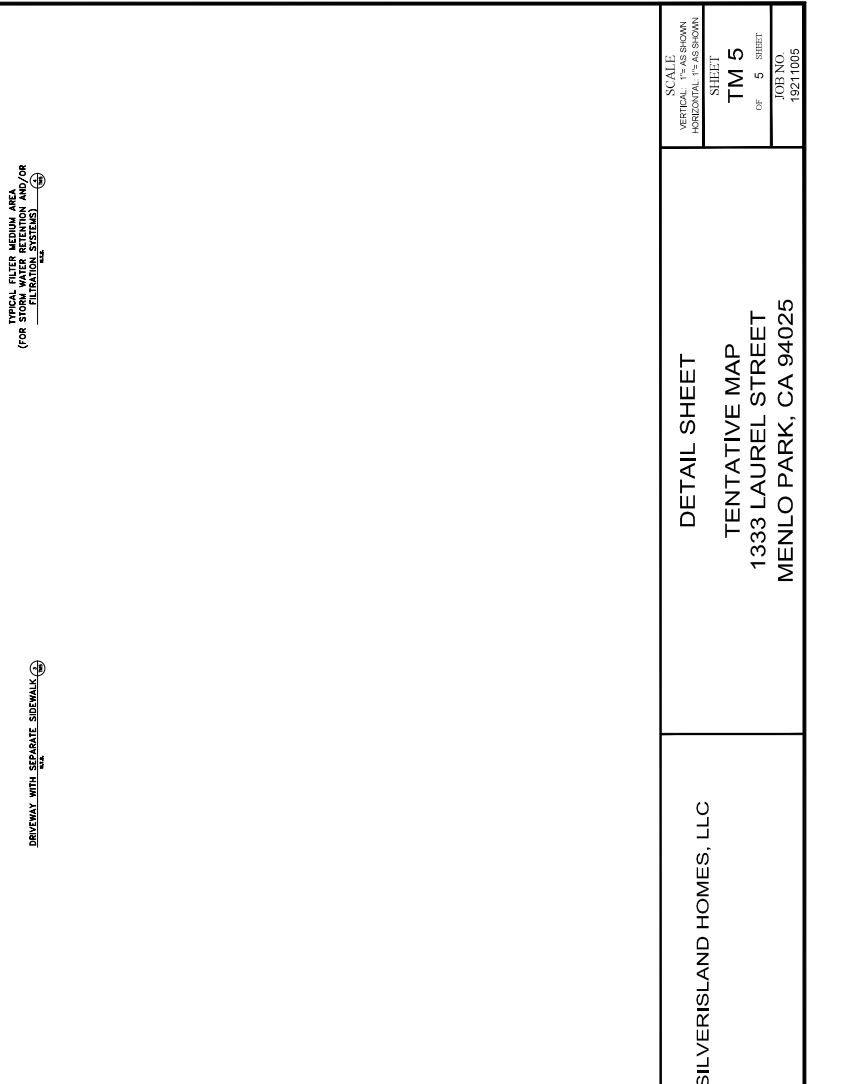
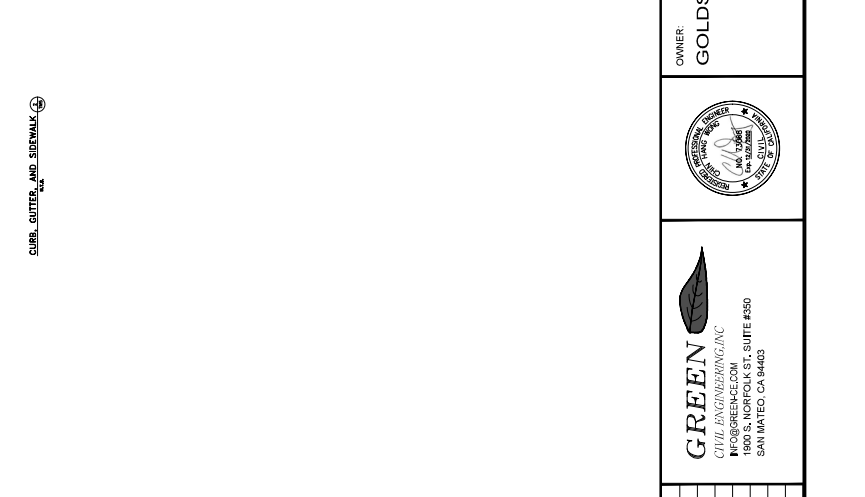
**GENERAL CONCRETE NOTES**

- ALL WORK SHALL COMPLY WITH CALIFORNIA STANDARD SPECIFICATIONS FOR CONCRETE.
- CONCRETE SHALL BE CLASS B (SUCH CONTAINING NOT LESS THAN 56 LBS OF PORTLAND CEMENT PER CUBIC YARD) AND SHALL BE CLASS C-A THROUGH STANDARD.
- CONCRETE FOR CURB, GUTTER, SIDEWALK, DRIVEWAY, AND OTHER SURFACE LEVEL SHALL BE CLASS C-A THROUGH STANDARD. COMPRESSIVE STRENGTH OF 3000 PSI. ADVISORATE SHALL BE CLASS C-A THROUGH STANDARD.
- CONCRETE SHALL BE PLACED IN CONTINUOUS LAYERS.
- WEIGHED SAND AND GRAVEL SHALL BE PLACED IN SEPARATE PILES. ALL MATERIALS SHALL BE TESTED FOR MOISTURE AND ADJUSTED TO THE MOISTURE CONTENT OF THE MATERIALS.
- EXPOSED SURFACES OF CONCRETE DRIVEWAY, CURB AND GUTTER SHALL BE SET TO TOWARD THE DRIVEWAY, CURB AND GUTTER. ALL SURFACES SHALL BE FINISHED WITH A FINISH AS SPECIFIED ON THE DRAWINGS.
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REV.	DATE	DESCRIPTION
1	6/17/19	REVISION PER CITY COMMENTS
2	8/5/19	REVISION PER CITY COMMENTS

**OWNER:** GOLDSILVERISLAND HOMES, LLC

**PROJECT:** TENTATIVE MAP 1333 LAUREL STREET MENLO PARK, CA 94025

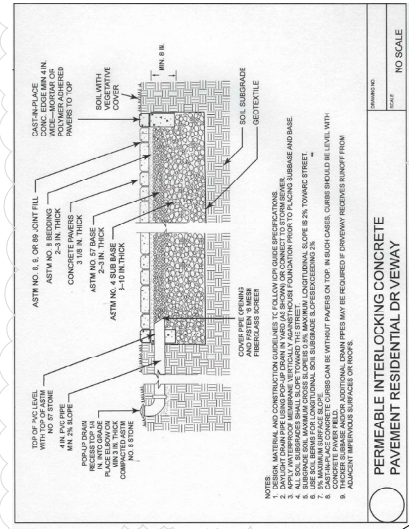
**SCALE:** VERTICAL: 1" = 4'-0" HORIZONTAL: 1" = 4'-0"

**SHEET:** TM 5 OF 5 SHEET JOB NO. 19211005





PLANT LIST			MOGGS FACTOR	
#	QTY	BOTANICAL NAME	COMMON NAME	
1	3	LAURUS 'SARATOGA'	SARATOGA LAUREL	L
2	2	FRUNUS CAROLINIANA	CAROLINA LAUREL CHERRY	L
3	1	AZER PALATUM	JAPANESE MAPLE	M
4	1	PODOCARPUS GRACILIOR	FERN PINE	M
5	4	PITTOSPORUM TOBIARA	MOCK ORANGE	M
6	4	PITTOSPORUM TOBIARA	MOCK ORANGE	M
7	12	ROSA FLOWER CARPET	WHITE CARPET ROSE	M
8	15	DIANELLA VAREGATA	FLAX LILY	M
9	7	COLEONOMA ALBA	WHITE BREATH OF HEAVEN	M
10	7	LOREPETAUM 'PURPLE DIAMOND'	FRINGE FLOWER	L
11	12	BLECHNUM GIBBUM	FRUNGE LADY FERN	M
12	6	DISTICTUS 'RIVERS'	TRUMPET VINE	M
13	17	BOXS GREEN BEAUTY	BOXWOOD	M
14	14	LOMONDRA 'PLATINUM BEAUTY'	VARIEGATED HART BUSH	L
15	4	ROSA BANGLA ALBA 'PLENA'	WHITE CLIMBING BANKS ROSE	L
16	12	ELONYMUS JAPONICA BUXIFOLIA	BOXLEAF ELONYMUS	L
17	24	ARGOSTAPHYLOS EBERHARD CARPET	MANZANITA GROUNDCOVER	L



PERMEABLE INTERLOCKING CONCRETE PAVEMENT RESIDENTIAL DRIVEWAY

NOTES:  
 1. ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE AND ALL APPLICABLE LOCAL ORDINANCES.  
 2. ALL MATERIALS SHALL BE TESTED AND APPROVED BY AN INDEPENDENT TESTING AGENCY.  
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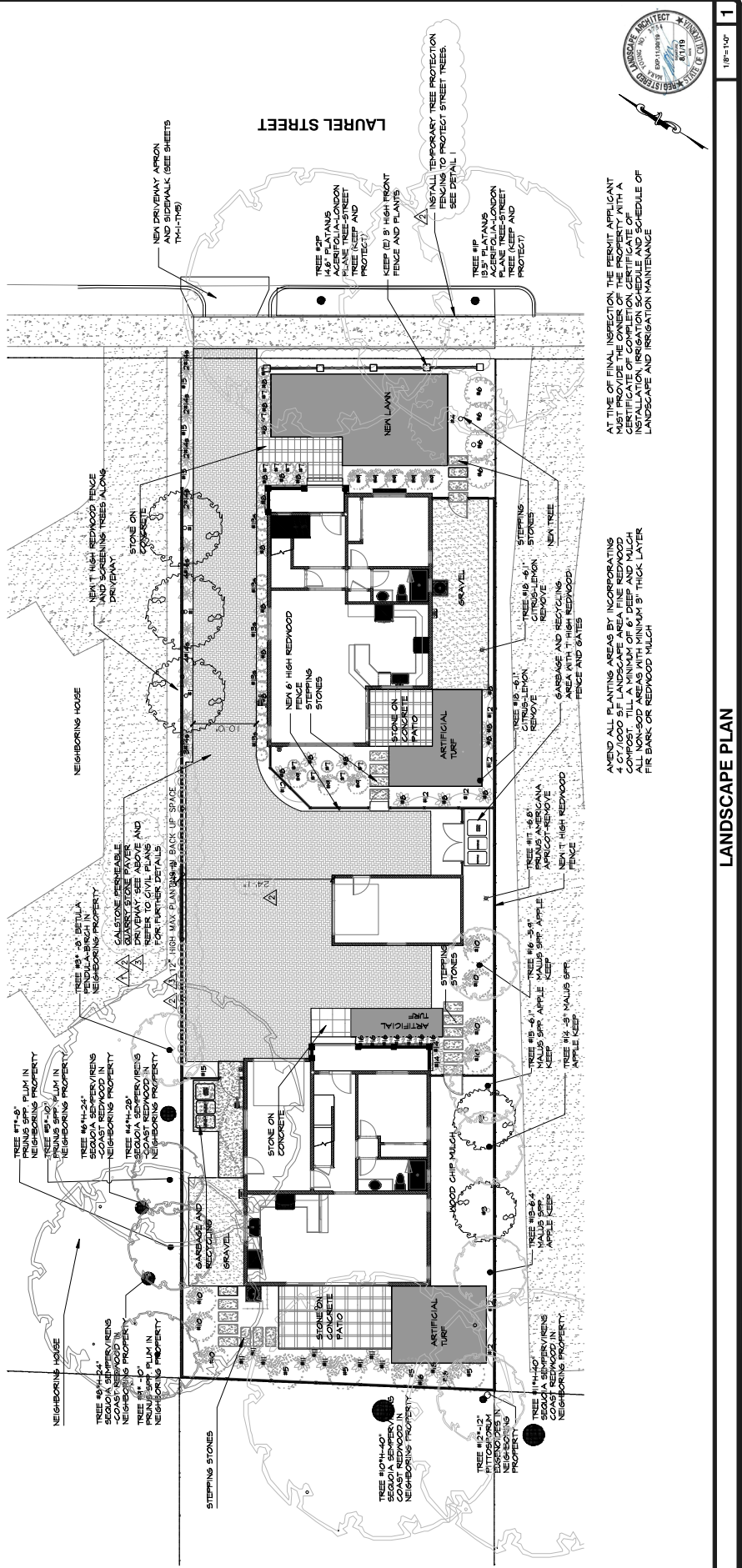
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REVISIONS	BY	DATE
1	MY	4/19/19
2	MY	6/15/19
3	MY	8/7/19



NEW HOME FOR:  
 GOLDSILVER ISLAND  
 1333 LAUREL STREET  
 MENLO PARK, CA  
 LANDSCAPE PLAN

DRAWN	MY
CHECKED	MY
DATE	4/8/19
SCALE	AS SHOWN
PROJECT	1333 LAUREL STREET
SHEET	1



AT TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A DETAILED IRRIGATION SCHEDULE AND SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.

AMEND ALL PLANTING AREAS BY INCORPORATING 4" CHIPS OF BARK LANDSCAPE AREA WITH REDWOOD MULCH. ALL NON-SOD AREAS WITH MINIMUM 3" THICK LAYER FIR BARK OR REDWOOD MULCH.



18" = 1'-0"

LANDSCAPE PLAN

REVISIONS	BY	DATE
1	MY	4/19/19
2	MY	6/15/19
3	MY	8/1/19



IRRIGATION PLAN

NEW HOME FOR:  
 GOLDSILVER ISLAND  
 1333 LAUREL STREET  
 MENLO PARK, CA

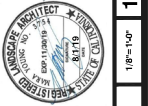
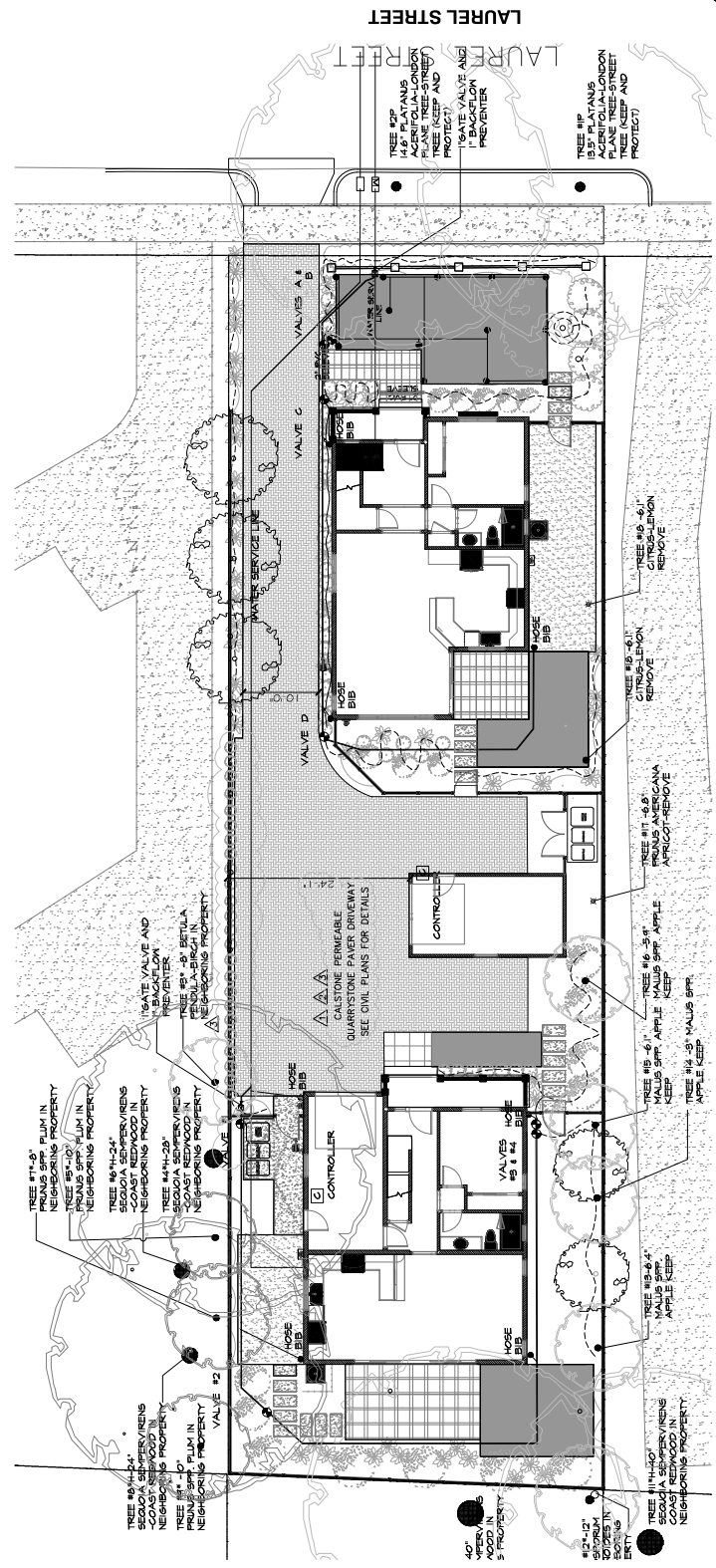
DRAWN	MY
CHECKED	MY
SCALE	AS SHOWN
DATE	8/1/19
PROJECT NO.	1333
JOB NO.	1333
SHEET	1

L-2  
 OF SHEETS

PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE WATER PROVIDER'S PRESSURE OF THE SPECIFIC IRRIGATION DEVICES.  
 I HAVE COMPLIED WITH THE CRITERIA OF THE WATER CONSERVATION IN LANDSCAPING EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN PLAN.  
 IRRIGATION SYSTEMS PROGRAMMED TO WATER BETWEEN THE HOURS OF 6:00 AM AND 6:00 PM.  
 IRRIGATION SYSTEMS AND COMPONENTS SHALL BE MAINTAINED TO PREVENT OVERWATERING AND PREVENT OVERSPRAY AND RUNOFF.  
 MANUAL SHUT OFF VALVES SHALL BE REQUIRED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION OF THE IRRIGATION SYSTEM IN CASE OF EMERGENCY OR ROUTINE REPAIR.  
 CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE THERE LON POINT DRAINAGE COULD OCCUR.

VALVE #	SYSTEM TYPE	FLOW RATE GPM OR GPH	APPLICATION RATE INCHES PER HOUR	OPERATING PRESSURE PSI
A	DRIP TO SIDE (LOW WATER USE)	1.02 MP 100 LF 1.02 GPH	64	90-40
B	DRIP TO NEAR (MOD WATER USE)	1.02 MP 100 LF 1.02 GPH	64	90-40
C	DRIP TO SIDE (LOW WATER USE)	1.02 MP 100 LF 1.02 GPH	64	90-40
D	DRIP TO FRONT (MOD WATER USE)	1.02 MP 100 LF 1.02 GPH	64	90-40
1	DRIP TO FRONT (MOD WATER USE)	1.02 MP 100 LF 1.02 GPH	64	90-40
2	SPRAY TO LAWN	5.8 GPM	9.12	90
3	DRIP TO NEAR (MOD WATER USE)	1.02 MP 100 LF 1.02 GPH	64	90-40
4	DRIP TO NEAR (MOD WATER USE)	1.02 MP 100 LF 1.02 GPH	64	90-40

SYMBOL	DESCRIPTION	NOTES
□	WATER PUMP, PUMPING STATION, WATER WITH ADDED NUTRIENTS FOR ULTIMATE WATER EFFICIENCY	
⊗	DEGG 1" ATMOSPHERIC BACKFLOW DEVICE	
⊕	NISSCO BRONZE 1" GATE VALVE	
⊙	CONTROL VALVE WATER OR MECHANICAL USE PRESSURE REDUCER FOR DRIPE IRRIGATION	INSTALL IN 10" CARBON VALVE BOX
●	SPRAY HEAD WATER NIPWOOD ADJ. AND FULL CIRCLE NOZZLES	4" POP 14" RADIUS
○	HOSE BIB/COUPLER	
—	MAIN LINE 1" SCHEDULE 40 PVC	18" MINIMUM DEPTH USE PRIMER AND SLEEVE
—	LATERAL LINE 5/8" 40 PVC	1" OR AS SHOWN 12" MINIMUM DEPTH
—	WEED BARRIER	INSTALL AS PER MANUFACTURERS RECOMMENDATIONS
—	DRIP IRRIGATION SYSTEM	INSTALL AS PER MANUFACTURERS RECOMMENDATIONS
—	SOLID DRIP LINE IN PVC SLEEVE UNDER PAVING	



IRRIGATION PLAN

1P=10'



REVISIONS	BY
4/19/19	MY
6/15/19	MY
8/1/19	MY



HYDROZONE DIAGRAM

NEW HOME FOR:  
 GOLDSILVER ISLAND  
 1333 LAUREL STREET  
 MENLO PARK, CA

DRAWN	MY
CHECKED	MY
SCALE	AS SHOWN
DATE	8/1/19
JOB NO.	2018-001
SHEET	L-3

18" = 1'-0" 1

**WATER EFFICIENT LANDSCAPE WORKSHEET**

This worksheet is filled out by the project architect and it is a required element of the Landscape Documentation Package.

Hydrozone #	Plant Species Description	Plant Height (ft)	Initial ETPAF (ET)	ETPAF (ET/FE)	ETPAF x Area	Estimated Total ETPAF (ETWUF)
Zone 1 lawn	SPRAY	7.5	83	358	332	8,851
Zone 2, 4, 8	drip	8.1	52	905	475	12,673
Zone 3, 5, 7	drip	8.1	24	424	104	2,773
Totals						(A) (B)

Special Landscape Areas	(C)	(D)	ETWUF Total
1	1		24,397
Totals	1		24,397

**Hydrozone #** Planning Description  
 1) lawn lawn  
 2) low water use plantings  
 3) medium water use plantings

**ETPAF (ET/FE)**  
 ETPAF (ET/FE) is a conversion factor that converts inches per year to gallons per square foot per year. It is based on the following assumptions:  
 • 1" ETPAF = 0.623 gallons per square foot per year  
 • 1" ETPAF = 0.623 gallons per square foot per year

**Maximum Allowed Water Allowance (MAWA)**  
 24,122

**ETPAF Calculations**

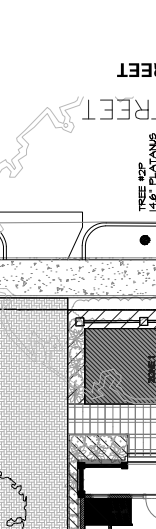
Total ETPAF Area	911
Total Area	1686
Average ETPAF	54

**Regular Landscape Areas**

Total ETPAF Area	911
Total Area	1686
Average ETPAF	54

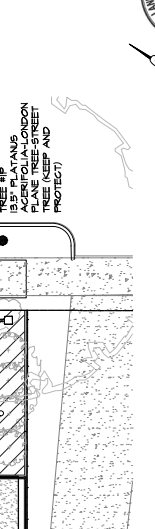
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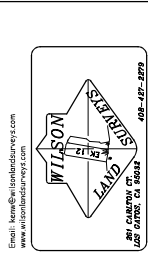


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- LEGEND**
- FOUND AS NOTED
  - SET 5/8" REBAR WITH PLASTIC CAP LS 840
  - SET 1/4" AND 3/4" BRASS TAG LS 840 IN CONCRETE
  - △ IRON NAIL
  - × WATER VALVE
  - ⊗ WATER METER
  - ⊙ JOINT POLE
  - GUY WIRE
  - BLUE PAINT - EVIDENCE OF UNDERGROUND WATER LINE
  - ELECTRIC PETER
  - GAS PETER
  - YELLOW PAINT, EVIDENCE OF UNDERGROUND GAS LINE
  - PHONE BOX
  - PHONE HANGAR
  - EVIDENCE OF UNDERGROUND PHONE LINE
  - TV BOX
  - OVERHEAD LINE
  - EVIDENCE OF UNDERGROUND TV LINE
  - STORM DRAIN HANGAR
  - DEEP MET
  - SOLAR MANHOLE
  - SOLAR CLEANOUT
  - GREEN PAINT - EVIDENCE OF UNDERGROUND SEWER LINE
  - SIGN
  - △ CONTROL POINT
  - LAMP POST
  - ELECTRIC BOX
  - WOOD FENCE
  - CONCRETE
  - WHITE OAK
  - WHITE PINE
  - REDWOOD
  - PROPERTY LINE
  - WOOD LINE FINISH
  - PALE, SAFE, SLOPE PROTECTION EMBANKMENT
  - BRICKS
  - RAMMS
  - BUILDING
  - CENTERLINE

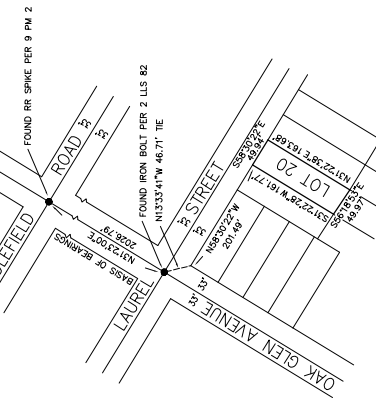
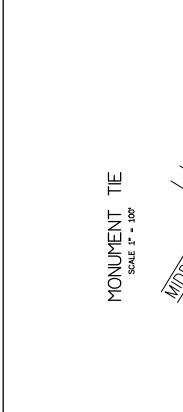
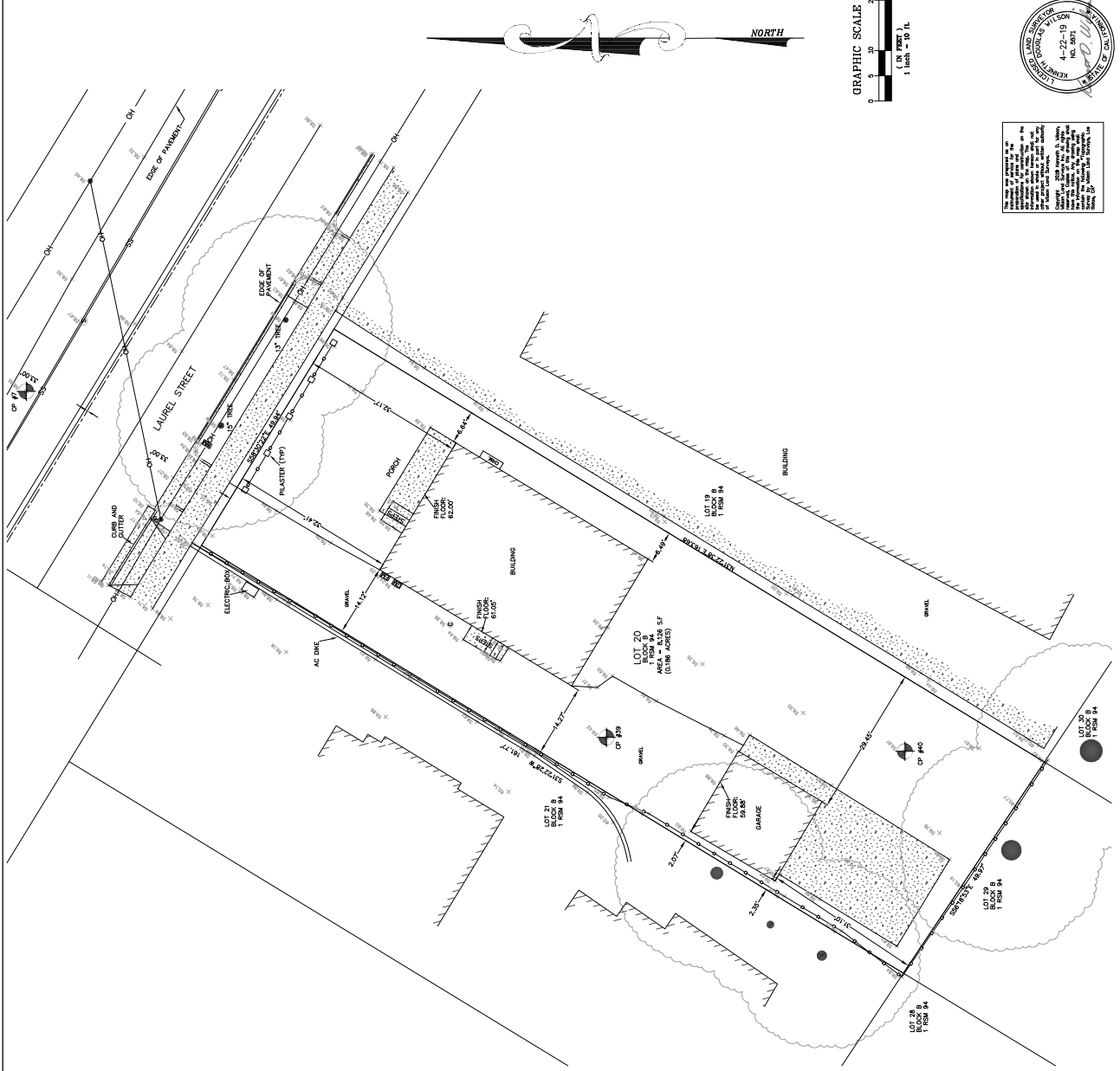
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- BRICKS
- RAMMS
- BUILDING
- CENTERLINE



**BOUNDARY AND TOPOGRAPHIC SURVEY**  
AS REQUESTED BY:  
**GOLDSILVERLAND, LLC**  
LEGAL DESCRIPTION: LOT 20, BLOCK 8, EDGAR MILLS TRACT  
1.750 94 CITY OF HELLO PARK, COUNTY OF SAN PATA,  
STATE OF CALIFORNIA.  
DATE: FEBRUARY 2019  
SITE ADDRESS: 1333 LAUREL TORO  
DRAWN BY: J. J. J. PROJECT: 19-021  
SHEET: 1 OF 1



**NOTICE TO CONTRACTORS**  
This is a preliminary survey. It is not to be used for construction purposes without the approval of the Surveyor. The Surveyor is not responsible for any errors or omissions in this report. The Surveyor is not responsible for any damage to property or persons resulting from the use of this report. The Surveyor is not responsible for any damage to property or persons resulting from the use of this report. The Surveyor is not responsible for any damage to property or persons resulting from the use of this report.



**SURVEYOR'S NOTE**  
THIS SURVEY WAS CONDUCTED BY THE SURVEYOR IN ACCORDANCE WITH THE PROFESSIONAL STANDARDS AND ETHICS OF THE SURVEYING PROFESSION. THE SURVEYOR IS NOT RESPONSIBLE FOR ANY DAMAGE TO PROPERTY OR PERSONS RESULTING FROM THE USE OF THIS REPORT. THE SURVEYOR IS NOT RESPONSIBLE FOR ANY DAMAGE TO PROPERTY OR PERSONS RESULTING FROM THE USE OF THIS REPORT. THE SURVEYOR IS NOT RESPONSIBLE FOR ANY DAMAGE TO PROPERTY OR PERSONS RESULTING FROM THE USE OF THIS REPORT.

**GENERAL NOTES**  
1. TREE SIZES AND TYPES ARE APPROXIMATE AND NOT TO SCALE.  
2. FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR LOCATIONS UNLESS OTHERWISE NOTED.  
3. BUILDING CORNERS WERE LOCATED AT FINISH LOCATIONS UNLESS OTHERWISE NOTED.  
4. UNDERGROUND UTILITY DEVIATIONS ON THIS SURVEY ARE SHOWN AS APPROXIMATE.  
5. THIS SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE PROFESSIONAL STANDARDS AND ETHICS OF THE SURVEYING PROFESSION.

**UNDERGROUND UTILITY LINES, IF SHOWN, REFLECT OUR BEST ESTIMATE OF LOCATION AND DEPTH. THEY ARE NOT TO BE USED FOR CONSTRUCTION PURPOSES WITHOUT THE APPROVAL OF THE SURVEYOR. UTILITIES MAY OR MAY NOT BE AS DEPICTED ON THIS SURVEY. EXTENSIONS OR ERRORS WITH REGARD TO UNDERGROUND UTILITY DEVIATIONS ON THIS SURVEY ARE SHOWN AS APPROXIMATE.**

A TITLE REPORT WAS NOT AVAILABLE FOR THIS PROPERTY AT THE TIME OF THIS SURVEY. THE SURVEYOR IS NOT RESPONSIBLE FOR ANY DAMAGE TO PROPERTY OR PERSONS RESULTING FROM THE USE OF THIS REPORT.

**KENNETH D. WILSON**  
LICENSED SURVEYOR  
4-22-19  
DATE

**SITE BENCHMARK**  
THE BENCHMARK FOR THIS SURVEY IS MGS BRASS DSK UG10 HAVING AN ELEVATION OF 711.9' NAVD83.

PROJECT DESCRIPTION  
1333 LAUREL STREET

Our proposed project is to remove an old one-story house with detached garage, to replace with new 2-story homes.

Although this is an R-3 apartment zoning, our proposal is for 2 detached homes. The front home will have a detached 1-car garage and the rear home will have a 1-car attached garage.

We have designed the homes to both have private rear yards.

The property to the right is a newer development with 2 detached two-story units having attached 1 car garages. Their driveway is alongside the shared property line.

The property to the left was an original house with the same floorplan as the subject house. It has a very large 2-story addition to the rear for what appears to be a total of 6 dwelling units.

The existing single family residence which is proposed to be removed is an eclectic mix of Craftsman (exposed eaves, knee braces) and Spanish (stucco exterior, radius corner arches at porch).

The new proposed homes will have siding similar to the newer homes on the right. We've selected a mixed style of Colonial (boxed eave with frieze molding, wood trimmed doors and windows with lintel moldings) and Country Farmhouse style (square porch posts, shingle wall elements).

Our front unit will have 8" lap siding with shingle sided elements on the 2<sup>nd</sup> story. Our back unit will have 10" lap siding with shingle sided 2<sup>nd</sup> story elements. The colors of front and rear units will be different but complimentary.

Our project has been designed to preserve the privacy of the adjoining neighbors with very small windows to the sides and our large egress windows will be front and rear only.

We will be planting numerous privacy trees along the side-yards, as shown on the landscape plan.

A neighborhood meeting was held on March 20, 2019. The general consensus of the attendees was that this project would be an improvement for the area. The attendee sign-in sheet is attached.



## Kiely Arborist Services LLC

Certified Arborist WE#0476A

P.O. Box 6187

San Mateo, CA 94403

650-515-9783

March 18, 2019

Goldsilverisland Homes, LLC

Attn: Mr. Ying-Min Li

43575 Mission Blvd, suite 359

Fremont, CA, 94539

Site: 661-687 Partridge, Menlo Park, CA

Dear Mr. Ying-Min Li,

As requested on Friday, March 15, I visited the above site to inspect and comment on the trees. A new home is planned for the site and your concern as to the future health and safety of the trees has prompted this visit.

### **Method:**

All inspections were made from the ground; the tree was not climbed for this inspection. The tree in question was located on a map provided by you. The tree was then measured for diameter at 54 inches above ground level (DBH or diameter at breast height). The tree was given a condition rating for form and vitality. The trees' condition rating is based on 50 percent vitality and 50 percent form, using the following scale.

1	-	29	Very Poor
30	-	49	Poor
50	-	69	Fair
70	-	89	Good
90	-	100	Excellent

The height of the tree was measured using a Nikon Forestry 550 Hypsometer. The spread was paced off. Comments and recommendations for future maintenance are provided.

1333 Laurel/3/18/19

(2)

**Survey:**

<b>Tree#</b>	<b>Species</b>	<b>DBH</b>	<b>CON</b>	<b>HT/SP</b>	<b>Comments</b>
1P	London plane ( <i>Platanus acerifolia</i> )	13.5	45	35/25	Good vigor, poor form, pollarded in past. Decay at pollarded locations.
2P	London plane ( <i>Platanus acerifolia</i> )	14.6	55	35/35	Good vigor, poor-fair form, pollarded in past.
3*	Birch ( <i>Betula pendula</i> )	8est	60	40/25	Good vigor, fair form, 2 feet from property line.
4*H	Redwood ( <i>Sequoia sempervirens</i> )	28est	70	70/35	Good vigor, fair form, 2 feet from property line.
5*	Plum ( <i>Prunus spp</i> )	10est	0	20/15	Dead.
6*H	Redwood ( <i>Sequoia sempervirens</i> )	24est	60	70/30	Good vigor, fair form, suppressed, 8 feet from property line.
7*	Plum ( <i>Prunus spp</i> )	8est	50	25/15	Fair vigor, poor form, multi leader.
8*H	Redwood ( <i>Sequoia sempervirens</i> )	24est	65	70/30	Fair vigor, fair form, 6 feet from property line.
9*	Plum ( <i>Prunus spp</i> )	10est	55	35/35	Fair vigor, fair form, suppressed.
10*H	Redwood ( <i>Sequoia sempervirens</i> )	40est	75	80/35	Good vigor, good form, 2 feet from property line.
11*H	Redwood ( <i>Sequoia sempervirens</i> )	40	75	80/35	Good vigor, good form, 2 feet from property line.
12*	Pittosporum ( <i>Pittosporum eugenoides</i> )	12est	50	30/30	Good vigor, poor form, leans east.
13	Apple ( <i>Malus domestica</i> )	6.4	60	10/15	Good vigor, fair form, suppressed.
14	Apple ( <i>Malus domestica</i> )	3.0	55	10/10	Fair vigor, fair form.

Tree#	Species	DBH	CON	HT/SP	Comments
15	Apple ( <i>Malus domestica</i> )	6.1	60	10/15	Good vigor, fair form, well maintained.
16	Apple ( <i>Malus domestica</i> )	5.9	55	10/15	Fair vigor, poor-fair form, root crown buried.
17	Apricot ( <i>Prunus armeniaca</i> )	6.8	55	10/15	Fair vigor, fair form.
18	Lemon ( <i>Citrus limon</i> )	6.1	25	10/10	Poor vigor, poor form, in decline.

\*indicates neighbor's tree, H indicates heritage tree, P indicates protected tree.

### Summary:

The trees on site are a mix on non-native trees (exotics) with no native oaks on the site or near the site. The trees consist of two street trees and a large number of fruit trees. Several of the fruit trees will be removed to facilitate the project. The neighboring redwoods will be protected as their root zones cross the property lines.

The project arborist will be on site if the roots of the neighbor's trees or the street trees are impacted. The following tree protection plan will help to reduce impacts to the retained trees.

### Tree Protection Plan:

#### Tree Protection Zones

Tree protection zones should be installed and maintained throughout the entire length of the project. Fencing for the protection zones should be 6 foot chain link fencing supported by metal poles or stakes pounded into the ground. The support poles should be spaced no more than 10 feet apart on center. The location for the protection fencing should be as close to the dripline as possible still allowing room for construction to safely continue. Signs should be placed on fencing signifying "Tree Protection Zone - Keep Out". No materials or equipment should be stored or cleaned inside the tree protection zones.

#### Root Cutting

Any roots to be cut should be monitored and documented. Large roots or large masses of roots to be cut should be inspected by the site arborist. The site arborist may recommend fertilizing or irrigation if root cutting is significant. Cut all roots clean with a saw or loppers. Roots to be left exposed for a period of time should be covered with layers of burlap and kept moist.

#### Trenching

Trenching for irrigation, electrical, drainage or any other reason should be hand dug when beneath the driplines of protected trees. Hand digging and carefully laying pipes below or beside protected roots will dramatically reduce root loss of desired trees thus reducing trauma to the entire tree. Trenches should be backfilled as soon as possible with native material and compacted to near its original level. Trenches that must be left exposed for a period of time should also be covered with layers of burlap or straw wattle and kept moist. Plywood over the top of the trench will also help protect exposed roots below.

#### Irrigation

Normal irrigation should be maintained throughout the entire length of the project. The imported trees on this site will require irrigation during the warm season months. Some irrigation may be required during the winter months depending on the seasonal rainfall. During the summer months the trees on this site should receive heavy flood type irrigation 2 times a month. During the fall and winter 1 time a month should suffice. Mulching the root zone of protected trees will help reduce compaction, the soil retain moisture, thus reducing water consumption.

The information included in this report is believed to be true and based on sound arboricultural principles and practices.

Sincerely,

Kevin R. Kielty  
Certified Arborist WE#0476A

**Pruter, Matthew A**

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**From:** Lynne Bramlett <lynne.e.bramlett@gmail.com>  
**Sent:** Thursday, May 30, 2019 8:23 AM  
**To:** Pruter, Matthew A  
**Subject:** Property at 1333 Laurel Street

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

Hi Matt,

I saw the Planning Commission notice for 1333 Laurel Street. I had already visited the property in response to the owner inviting nearby neighbors to an informal "open house." I live around the corner.

In short, the proposed two home design looked okay but I'm troubled by more high-end housing when we need more affordable housing and higher density housing. The area is zoned for apartments and I thought that mean 8+ units. However, the current zoning only seems to allow for a maximum of 3 units.

I think the R-3 zoning should change, especially so near the Cal Train station and El Camino Real. Why not allow tiny homes or bigger apartment complexes? (I'm thinking that R-3 means 3 residential units on the land.) Can you work to get the zoning changed to increase density in this area? At minimum, can the Planning Department make a stronger effort to encourage developers to submit proposals that maximize the allowable use?

I mentioned my concerns to the owner when I viewed the drawings. Again, their proposed idea looks nice but that's not what's needed nowadays. Seems to me that the City needs to get much more proactive here, or we will have standards forced on us via new version of SB50.

Please let me know if you have any questions. Thank you for your service to our town.

Lynne Bramlett  
Mills Court



## STAFF REPORT

### Planning Commission

Meeting Date:

8/26/2019

Staff Report Number:

19-065-PC

### Study Session:

**Consider and provide feedback on a revised proposal for a new mixed-use project with approximately 90,100 square feet of office and research and development (R&D) uses, and 9,900 square feet of restaurant space at 1075 O'Brien Drive**

## Recommendation

Staff recommends that the Planning Commission review and provide feedback on a proposed project to demolish an existing single-story warehouse and office building at 1075 O'Brien Drive and portions of an existing R&D building at 20 Kelly Court, and construct a new seven-story mixed-use building, approximately 100,000 square feet in size, with a restaurant and outdoor seating on the ground floor, six levels of office and R&D uses, and a rooftop garden in the LS-B (Life Sciences, Bonus) zoning district. Two of the six floors in the mixed-use building could be dedicated to office uses exceeding 20,000 square feet of gross floor area (GFA), which is a conditional use in the LS-B zoning district and would require approval by the City Council as part of the requested conditional development permit amendment. A six-level parking structure with a helipad would also be constructed adjacent to the portion of the building to remain at 20 Kelly Court. A pedestrian bridge, approximately 45 feet above grade, would connect the parking structure and the proposed mixed-use building. The proposal also includes a request for a new chemical storage bunker on the east side of the existing building at 20 Kelly Court. The project was previously reviewed at a Planning Commission study session on August 14, 2017. Since that review, the applicant has revised the project to reduce the height of the proposed office and R&D building by one story, moved the proposed restaurant space to the ground floor from the top floor, and relocated parking for the site to the proposed parking structure at the northern end of Kelly Court. The project will require the following actions:

1. **Environmental Review** to analyze potential environmental impacts of the project through an Environmental Impact Report (EIR), pursuant to the California Environmental Quality Act (CEQA);
2. **Conditional Development Permit (CDP) Amendment** to amend the existing CDP to incorporate the proposed project, including bonus-level development (which requires the provision of community amenities), a heliport, outdoor seating, chemical storage bunker, potentially allow over 20,000 square feet of office uses on the site, and possibly to modify bird-friendly design standards;
3. **Architectural Control** to review the design of the proposed buildings and associated site improvements;
4. **Lot Merger** to merge two lots to one; and
5. **Below Market Rate (BMR) Housing Agreement** to pay in-lieu fees in accordance with the City's BMR Ordinance.

Additional actions and entitlements may be required as the project plans are refined. No formal actions will be taken at this time. Staff is requesting the Planning Commission to review and provide individual Commissioner feedback on the project to the applicant and staff. The report identifies topic areas for the Planning Commission's consideration, which include the following:



- Restaurant Location and Community Amenity Status
- Publicly Accessible Open Space
- Architectural Design and Materials
- Heliport Special Use
- Pedestrian Bridge
- Garage Screening
- Bird-Friendly Design
- Overall Approach

More detail on the above list is included in the “Planning commission considerations” section of the report. The Planning Commission may also wish to discuss and comment on topics not included on the above list.

### **Policy Issues**

Study sessions provide an opportunity for Planning Commissioners and the public to provide preliminary feedback on a project, with comments used to inform future review and consideration of the proposal. Study sessions also allow City staff to pose specific questions to the Planning Commission regarding staff’s interpretation and implementation of aspects of the Zoning Ordinance, General Plan, and related requirements.

At its June 11, 2019 meeting, the City Council discussed the possibility of directing the City Attorney to prepare an ordinance putting a moratorium on commercial development city-wide and all residential developments over 100 units in size in the Bayfront Area. The Council decided to not direct the City Attorney to prepare an ordinance placing a moratorium on development in the City. Instead, the City Council determined there is a need to review the ConnectMenlo General Plan and Zoning Ordinance Update and the Downtown Specific Plan to assess whether the documents reflect current community values, conditions and needs. While the City Council and its subcommittees review the City’s land use planning documents to outline potential modifications, which may include but are not limited to, the allowed land uses, densities and intensities, and overall development caps, the City is obligated to continue to process development applications under the current adopted Zoning Ordinance, General Plan, and Specific Plan. If as a result of the subcommittee work the City Council adopts changes to the City’s land use planning documents while this project is still in the pipeline, the proposed project could be required to make modifications to comply with those changes.

### **Background**

#### ***Site location***

The project site consists of two contiguous LS-B (Life Sciences, Bonus) zoned parcels with a total area of approximately 2.27 acres, located at 1075 O’Brien Drive and 20 Kelly Court. The two sites are adjacent properties located at the northeast corner of O’Brien Drive and Kelly Court, and at the end of Kelly Court, which is a cul-de-sac accessed from O’Brien Drive. As a part of the proposed project, the two existing parcels would be merged.

For the purposes of this staff report, O’Brien Drive is considered to have an east-west orientation. Immediately west, north, and east of the project site are LS-B-zoned properties that are currently developed with office and industrial uses, such as warehousing and manufacturing facilities. An application is currently under review for the 1125 O’Brien Drive project, which is immediately west of the project site and would

result in the construction of a five-story, approximately 132,500 square-foot life sciences building and parking structure. The Hetch Hetchy right-of-way, which is owned by the San Francisco Public Utilities Commission (SFPUC), is located directly north of the project site. The Menlo Science and Technology Park, formerly owned by ProLogis, is located to the north of the Hetch Hetchy right-of-way and is a multi-building office park owned partially occupied by Facebook. The business park also contains other general office, R&D, manufacturing, and warehousing uses. However, an application is under review for the Willow Village project, a comprehensive redevelopment of the site into a mixed-use residential, commercial, and office campus. The Mid-Peninsula High School play field is approximately 60 feet from the existing building on the 20 Kelly Court parcel, but the high school building is located approximately 600 feet away. The project site is approximately 550 feet from JobTrain, located at 1200 O'Brien Drive, which is east of the project site. The subject site is located approximately 300 feet from the nearest residences. The closest residential properties are located to the south along Alborni Street, which is located within the City of East Palo Alto (see Attachment A).

### ***Previous approvals***

In November 2012, the City Council approved a request from CS Bio, Inc. for a conditional development permit (CDP) to exceed the permitted 35-foot height within the former M-2 (General Industrial) zoning district, and to establish signage, building setbacks, required parking, to permit the outside storage of nonhazardous materials, and to allow for the use and storage of hazardous materials at the site, including a diesel generator. In conjunction with the CDP, the project site was rezoned from M-2 to M-2(X) (General Industrial, Conditional Development), the former parcels at 1 and 20 Kelly Court were merged, and one heritage tree was removed. The entitlements were associated with the modernization and expansion of the company's headquarters at 1 and 20 Kelly Court, which included the demolition of the building at 1 Kelly Court and partial demolition of the building at 20 Kelly Court, as well as construction of a 25,701-square foot addition to the existing building to remain, and use of tandem parking in the Hetch Hetchy right-of-way.

In May 2015, the applicant requested modifications to the previously-approved project plans to defer façade modifications to a single-story concrete tilt-up portion of the building on the site, defer installation of a new roof screen on the same portion of the building, and defer installation of a new trash enclosure. The applicant stated that the requested deferrals were intended to allow the applicant to consider greater redevelopment of the site within the framework of the ConnectMenlo General Plan Update. The Planning Commission granted the modifications with the condition that the project return with a CDP amendment and related requests, or submit a building permit application to install the deferred façade improvements, screening, and new trash enclosure. As part of the proposed project, the applicant would demolish the single-story portion of the building to construct the proposed parking structure, which would cancel the outstanding deferred modifications.

In December 2016, the City Council adopted the ConnectMenlo General Plan Update and three new zoning districts for consistency with the new Bayfront (M-2 Area) land use designations in the Land Use Element. Each district includes development regulations, design standards, transportation demand management, and green and sustainable building requirements. As a result of the Council's action, LS-B became the new zoning designation for the project site. The "B" in LS-B indicates that an LS-zoned parcel is eligible for bonus level development, as described in the following sections.

### ***Previous Planning Commission review***

On August 14, 2017, the Planning Commission held a study session for an initial version of the proposed project. The original proposal included a new eight-story, mixed-use building with three levels of structured parking above grade, four floors of offices above the garage, a restaurant on the eighth floor, and a deck

and garden on the building roof, with approximately 91,000 square feet of GFA and a height of 110 feet.

Two members of the public spoke in favor of the project and the potential for community amenities that would benefit residents nearby. An excerpt of the Planning Commission’s August 14, 2019 minutes regarding the project are included as Attachment B. The Commission’s feedback on the proposal included the following points:

- Consider whether the initial concept of a 17,000 square-foot restaurant on the eighth floor would be successful in the area, and explore other restaurant formats for the site that would fit market demand;
- Consider other potential community amenities besides a top-floor restaurant space and a basketball court at the rear of the property, which were perceived by Commissioners to be of more benefit to CS Bio employees than the general public;
- Reduce the height of the proposed building;
- Provide more variation and modulation to the building façade; and
- Explore alternatives that would remove parking from the ground floor of the proposed building and better activate the proposed open space on the site.

## Analysis

### *Project description*

In response to the Planning Commission’s comments from the August 2017 study session, the applicant revised the proposed project and requested a subsequent study session for feedback on the updated proposal. With the revised project, the applicant still proposes to demolish the existing single-story office and warehouse building at 1075 O’Brien Drive, but would also demolish portions of the existing building at 20 Kelly Court to construct a new six-level parking structure with 321 spaces for the project site. A new seven-story mixed-use building with 100,000 square feet of GFA would be constructed along the O’Brien Drive project frontage. The proposal includes a request for an increase in height, density, and FAR under the bonus level development allowance subject to obtaining a use permit or conditional development permit and providing one or more community amenities. The draft project plans are included as Attachment C. Table 1 below provides a comparison between the existing and proposed development as it relates to the LS-B development regulations.

**Table 1: Project Data**

	Existing	Previously Proposed (August 2017)	Proposed	Zoning Ordinance standards (maximums)
Office and life sciences square footage	53,006 s.f.	112,026 s.f.	119,922 s.f.	123,370 s.f.
Office and life sciences floor area ratio	53.7%	113.5%	121.5%	125 %
Commercial square footage	0 s.f.	17,952 s.f.*	9,869 s.f.	9,869.6 s.f.
Commercial floor area ratio	0 %	17.2 %*	10 %	10 %

Total square footage	53,006 s.f.	129,978 s.f.	129,791 s.f.	133,239.6 s.f.
Total floor area ratio	53.7 %	131.7 %	131.5 %	135 %

\* The area of restaurant space in the original proposal exceeded the 10 percent commercial FAR allowance for LS-B-zoned properties. If the original proposed had progressed, the area of restaurant space would need to have been reduced to comply.

The LS-B zoning district allows for a mixture of land uses with the purpose of providing retail, recreation, and other services for workers and area residents, and to encourage mixed use development. In addition to the expansion of CS Bio life sciences operations and a ground-floor restaurant, the applicant intends to explore leasing the top two floors of the building, a total of 24,800 square feet, to other office or R&D tenants. Administrative and professional offices 20,000 square feet of GFA or less are a permitted use in the LS-B zoning district. If the applicant wishes to lease more than 20,000 square feet of GFA for an office use, the City Council would need to approve the expanded office use as part of the requested CDP amendment. However, if the applicant selects a life sciences R&D tenant for the space, then no additional approvals would be needed. No prospective tenants have been identified at this time. Staff will work with the applicant to gather more details about the desired amount of space for lease and the types of tenants that may occupy the leasable space as part of a future submittal.

Site layout

The proposed mixed-use building would be located on the existing 1075 O’Brien Drive parcel, and would have frontages on both O’Brien Drive and Kelly Court. The main entrance would be located at the center of the Kelly Court building frontage. A front plaza would be provided along O’Brien Drive, with outdoor seating and connections to the proposed ground-floor restaurant located within the building. The building would meet or exceed the required front and side setbacks for the site.

At the end of the Kelly Court cul-de-sac, a new parking structure would be located in the area where single-story portions of the existing 20 Kelly Court building stand currently. The structure would follow the required 10-foot side setbacks around the western edges of the structure, and would also be set back 10 feet from the project site frontage along Kelly Court. Vehicular access to the parking structure would be from a driveway on the eastern side of the building on the interior of the site. Pedestrian access would be provided at the front (southeast) corner of the structure.

The existing three-story building to remain at 20 Kelly Court would become a stand-alone structure with a driveway for circulation to the garage and surface parking wrapping around the building. A chemical storage bunker would be expanded at the northeast corner of the building, keeping hazardous materials and waste out of public view and away from the publicly accessible open space on the site.

Floor Area Ratio (FAR) and Gross Floor Area (GFA)

Bonus level developments in the LS-B zoning district may request an FAR of up to 125 percent, plus 10 percent commercial. The revised project, including the proposed building and existing portions of the building to remain at 20 Kelly Court, would be developed at a life sciences FAR of 121.5 percent and a commercial FAR of 10 percent, for a total site FAR of 131.5 percent. The proposed parking structure would not contain any commercial or amenity spaces that would count as GFA toward the project FAR. The total FAR of 131.5 percent for the revised proposal is comparable to the FAR of 131.7 percent for the original project.

Height

The applicant has submitted a preliminary analysis that documents compliance with the Zoning Ordinance height requirements. The proposed project heights are outlined in the table below. Staff is still reviewing the

analysis but the proposed heights appear to be in compliance with the requirements. The applicant’s height analysis averages the height of each specific portion of all the buildings using the portion of the footprint to weight that element of the building accordingly.

Table 2: Building Height		
	Proposed	Zoning Ordinance standards
Proposed mixed-use building height (maximum)**	112 feet	120 feet*
20 Kelly Court building height (maximum)***	44 feet	47 feet***
Garage height (maximum)**	74 feet	120 feet*
Height (average)**	67.5 feet	77.5 feet*

\* The height limits include the 10 foot height increase allowed for properties within the FEMA flood zone or subject to sea level rise.  
 \*\* Maximum height and average height do not include roof-mounted equipment, utilities and, parapets used to screen mechanical equipment.  
 \*\*\* The 2012 CDP for 20 Kelly Court established the maximum height for this building at 47 feet, which would remain in effect.

The average height of all buildings on the site (two office buildings and a parking structure) would be 67.5 feet, where 65.8 feet was previously proposed and 77.5 feet is the maximum average height of all buildings on one site (including a 10-foot increase for sea level rise) permitted for a bonus level development in the LS-B district.

**Lot merger**

The site currently consists of two parcels addressed 1075 O’Brien Drive (which is a corner lot with frontages on O’Brien Drive and Kelly Court) and 20 Kelly Court. The applicant is proposing a lot merger that would create one parcel containing all the buildings and parking for the project.

**Parking and circulation**

Vehicular

The proposed project would include a total of 334 vehicular parking stalls, with 321 structured spaces in the garage at the end of Kelly Court and 13 surface parking spaces at various points around the loop drive circling the portion of the existing building to remain at 20 Kelly Court. The following table provides a more detailed overview of the range of parking spaces permitted for the project, as currently anticipated to be divided between CS Bio R&D uses, leasable office space, and restaurant uses on the site:

Table 3: Parking Requirements			
	Gross floor area	Zoning Ordinance parking ratio	Number of parking stalls
R&D uses	91,622 s.f.	min. 1.5 and max. 2.5 spaces per 1,000 square feet	min. 138 and max. 229
Office uses	24,800 s.f.	min. 2 and max. 3 spaces per 1,000 square feet	min. 50 and max. 75
Restaurant uses	9,869 s.f.	min. 2.5 and max. 3.3 spaces per 1,000 square feet	min. 25 and max. 33
Total	126,291 s.f.	Blended per uses above	min. 213 and max. 337



The 334 parking spaces proposed for the project fall within the range of spaces permitted in the LS-B district, although at the high end of the blended parking ratio for the proposed uses on the site. The parking standards that were adopted for the LS-B district were intended to address what is needed given current mobility patterns, and the applicant is not requesting any exception to the approved range of spaces. However, the Planning Commission may wish to discuss whether the applicant should consider modifications that would reduce the overall amount of parking permitted for the site, which could influence the design and reduce the massing and height of the proposed parking structure.

#### Bicycle and pedestrian

The proposed project would include a total of 27 bicycle parking spaces. The LS-B zoning district requires 1 space per 5,000 square feet of GFA, of which 80 percent of the total number of spaces must be long-term and 20 percent short-term. At this time, the applicant has calculated the correct mix of bicycle parking spaces, but has not shown locations for bicycle parking in the plan sheets. Staff will work with the applicant to ensure that the required mix of bicycle parking is shown in future plan set iterations in appropriate locations for short- and long-term bicycle parking.

A pedestrian bridge connecting the fifth level of the parking structure to the fourth level of the mixed-use building is also proposed as part of the revised project, and would be for use only by employees. The bridge would be constructed approximately 45 feet above Kelly Court and the project site entrance drive below for adequate clearance. However, the bridge is anticipated to cross over the public right of way above Kelly Court, which would require approval of an encroachment permit from the City's Public Works Department. City staff will work with the applicant to gather additional details about the proposed bridge and whether it would be a permissible encroachment into the public right of way.

As part of the proposed project, it is anticipated that new sidewalks and other street improvements such as street trees and planting buffers would be provided along the project frontages on Kelly Court and O'Brien Drive, as required by the City's Public Works Department.

#### Heliport

The applicant is requesting a heliport on top of the parking structure as part of the revised project. Heliports are considered a special use within the Zoning Ordinance, which means they are considered to have such unique and special characteristics that a use permit is required in order to locate and operate them. At this time, no detail has been provided about the operations or frequency of use of the proposed heliport. In addition, a heliport may require additional reviews by external agencies such as the Federal Aviation Administration (FAA), and may require analysis as part of the environmental review for the project under the California Environmental Quality Act (CEQA) because of the potential for noise and other operational aspects that could have significant impacts on the surrounding environment. The Planning Commission may wish to provide initial thoughts on whether a heliport would be an acceptable use at the site, and what additional information would be helpful in considering the request.

#### ***Open space***

The proposed project would be required to provide open space equivalent to 20 percent of the project site area and would be further required to provide 50 percent of the required open space (or 10 percent of the site area) as publicly accessible open space. According to the Zoning Ordinance (Chapter 16.44.120(4)(A)):

Publicly accessible open space consists of areas unobstructed by fully enclosed structures with a mixture of landscaping and hardscape that provides seating and places to rest, places for gathering, passive and/or active recreation, pedestrian circulation, or other similar use as determined by the planning commission. Publicly accessible open space types include, but are not limited to, paseos,



plazas, forecourts and entryways, and outdoor dining areas. Publicly accessible open space must:

- (i) Contain site furnishings, art, or landscaping;
- (ii) Be on the ground floor or podium level;
- (iii) Be at least partially visible from a public right-of-way such as a street or paseo;
- (iv) Have a direct, accessible pedestrian connection to a public right-of-way or easement.

The minimum open space required for the project would be 19,739 square feet, of which a minimum of 9,870 square feet must be publicly accessible and meet the requirements stated above. The applicant has submitted a preliminary analysis that documents compliance with the open space requirements. The applicant is proposing 20,232 square feet of open space for the development, of which 9,908 square feet would be publicly accessible.

The applicant proposes to meet the minimum public open space requirement of 10 percent of the lot area by providing pedestrian plazas along the O'Brien Drive and Kelly Court frontages of the proposed mixed use building. In the original proposal, the plans counted the required 10-foot setbacks on either side of the proposed building toward the public open space requirement for the project. In response to Commissioners' concerns about the usability and practicality of publicly accessible open space within the side setbacks, the applicant deepened the pedestrian plaza fronting O'Brien Drive by providing a larger 53-foot setback between the building and the property line compared to the original proposal. The building would also be set an additional six feet farther back than required (16 feet total) along the Kelly Court frontage to provide more substantial publicly accessible open space for programming. Staff is still reviewing the open space analysis to determine compliance.

An open drainage ditch is located immediately east of the project site, and runs the full length of the eastern property line. Recently, the parcel containing the ditch was acquired by the adjacent property owner to be incorporated in the 1125 O'Brien Drive project, mentioned earlier in this report. That project is currently proposing to enclose a portion of the ditch near O'Brien Drive to use for vehicular circulation as part of the project, while leaving the remainder of the ditch open and unimproved. Staff believes that an opportunity exists for the 1075 O'Brien Drive and 1125 O'Brien Drive projects to coordinate on enclosing the entire length of the ditch and providing pedestrian and bicycle access to the future Willow Village project through the SFPUC right-of-way that runs behind the subject site. The Planning Commission may wish to discuss whether a proposed path through this area is desirable, and if the applicant should consider a potential path through this area in the design of the eastern façade of the building and the open space within the affected side setback.

### ***Community amenities***

As mentioned in the previous section, the LS-B zoning district permits bonus level development, subject to providing one or more community amenities. As part of the ConnectMenlo process, a list of community amenities was generated based on public input and adopted through a resolution of the City Council. Community amenities are intended to address identified community needs that result from the effect of the increased development intensity on the surrounding community. Project requirements (such as the publicly-accessible open space, and street improvements determined by the Public Works Director) do not count as community amenities.

An applicant requesting bonus level development must provide the City with a proposal indicating the specific amount of bonus development sought and the value of the amenity. The value of the amenity to be provided must equal 50 percent of the fair market value of the additional GFA of the bonus level development. The applicant must provide an appraisal performed by a licensed appraisal firm that sets a

fair market value of the GFA of the bonus level of development. Staff and the applicant will continue to work together through the appraisal process as the project plans are refined. The applicant's proposal for community amenities will be subject to review by the Planning Commission through a later study session, or in conjunction with the other project entitlements.

The applicant has currently identified community serving restaurant space as one potential community amenity, but this would require further staff review. The neighborhood serving restaurant may not be considered a community amenity because each item on the community amenities list can only be used once and other projects further along in the development process are also contemplating café and restaurant spaces as community amenities. However, even if the neighborhood serving restaurant does not qualify as a community amenity, it may still be an important land use component for the proposed mixed-use development. The Planning Commission may wish to provide input on whether the neighborhood serving restaurant would be acceptable as a community amenity and if it is an important component of the project regardless of whether the applicant receives credit for the space as a community amenity. The applicant is also exploring jobs and training programs, education improvements in Belle Haven, and underground power lines as potential community amenity options, depending on the value of community amenities determined through a future appraisal.

### ***Design standards***

In the LS-B zoning district, all new construction and building additions of 10,000 square feet of GFA or more must meet design standards subject to architectural control review. The design standards regulate the siting and placement of buildings, landscaping, parking, and other features in relation to the street; building mass, bulk, size, and vertical building planes; ground floor exterior facades of buildings; open space, including publicly accessible open space; development of paseos to enhance pedestrian and bicycle connections between parcels and public streets in the vicinity; building design, materials, screening, and rooflines; and site access and parking.

### **Architectural style and materials**

The design of the proposed mixed-use building would have a contemporary architectural style, with large expanses of clear and tinted glass, and cementitious cladding panels in horizontal bands between the upper floors and framing the stair tower at the southeast corner of the building. The building would have four distinct horizontal layers differentiated by the type of glass and style of frames and mullions used for each layer. The layers of the building above the first level would also be progressively stepped back from O'Brien Drive and Kelly Court to reduce the appearance of bulk and massing from the public right of way. Along the O'Brien Drive frontage, the building would step back at the fourth level and again at the seventh level, with large balconies at each setback.

The proposed parking structure would be a six-story pentagonal form covered in metal screen mesh on all sides, except for the stair tower at the front of the structure, which would be open and wrap around a columnar core clad in cementitious panels. At this time, few details have been provided about the proposed metal screen mesh proposed on all sides of the parking structure. However, the applicant indicates that an artist will be hired to enhance the design of the mesh screening around the garage. The Planning Commission may wish to comment on potential graphics for the proposed screen mesh, or suggest a mix of other materials that could improve the design and reduce the proposed massing of the structure.

### **Building modulations**

The design standards for the LS-B zoning district require modulations on street- and open space-facing facades. The design must include a minimum of one recess of 15 feet wide by 10 feet deep per every 200 feet of facade length from ground level to 45 feet in height, with a minimum of one modulation per facade.

The intent of the required modulations is to provide visual variety, reduce large building volumes, and provide spaces for entryways. The proposed mixed-use building and parking structure do not have street- or open space-facing facades greater than 200 feet; however, a minimum of one modulation would be required still and staff will be working with the applicant to incorporate the appropriate building modulations. The applicant may also request a modification from the design standard as part of their request for a CDP amendment.

The design of the mixed-use building includes a 15-foot-wide modulation between a second and third story projection and the building stair tower along the O'Brien Drive project frontage. In addition, a 24-foot-wide modulation is proposed at the front entrance in the center of the Kelly Court building frontage. Staff believes these modulations would help reduce the appearance of bulk and massing for the mixed-use building. The Planning Commission may wish to provide guidance on whether the proposed modulations meet the intent of the Zoning Ordinance design standard and if a modification to the standard could be supported for the project.

### Summary

With regard to the overall project design/style and the application of LS-B district standards, staff believes that the applicant would be in compliance, although additional detail is needed to confirm that the design standards would be met. Staff will continue to evaluate the proposed project to ensure compliance as more detailed plans are prepared and any modifications are made. The Planning Commission may wish to provide additional feedback on the proposed building design and site layout before the project advances to the full submittal stage.

### ***Green and sustainable building***

In the LS-B zoning district, projects are required to meet the following green and sustainable building regulations:

- Meet 100 percent of its energy demand through any combination of on-site energy generation, purchase of 100 percent renewable electricity, and/or purchase of certified renewable energy credits;
- Design to meet LEED (Leadership in Energy and Environmental Design) Gold BD+C;
- Comply with the electric vehicle (EV) charger requirements adopted by the City Council in November 2018;
- Incorporate bird-friendly design in the placement of the building and the use of exterior glazing;
- Water use efficiency;
- Placement of new buildings 24 inches above the Federal Emergency Management Agency (FEMA) base flood elevation (BFE) to account for sea level rise; and
- Waste management planning.

Details regarding how the proposed building would meet the green and sustainable building requirements will be provided as the project plans and materials are further developed. Given the large amounts of glass proposed to be used for the building facades and handrails on the balconies, the project may not comply with the bird-friendly design standards provided in Section 16.44.130(6) of the Zoning Ordinance. The applicant has indicated that bird-friendly glazing would be used for the building, but details about the type, amount, and locations of bird-friendly glazing have not been provided at this time. As a result, the mixed-use building may or may not meet the following design standards:

- No more than 10 percent of façade surfaces shall have non-bird-friendly glazing, and
- Glass skyways or walkways, freestanding (see-through) glass walls and handrails, and transparent building corners shall not be allowed.

As permitted in Section 16.44.130(6)(H) of the Zoning Ordinance, a project may receive a waiver from one or more of the bird-friendly design standards, subject to the submittal of a site-specific evaluation from a qualified biologist ensuring that the requested waivers would not lead to significant bird strikes, and review and approval by the Planning Commission. Commissioners may wish to comment on the proposed project as it relates to bird-friendly design and a potential request for a waiver from one or more of the standards listed above if more than 10 percent of the glazing on the building is not bird-friendly.

### ***Planning Commission considerations***

The following comments/questions are suggested by staff to guide the Commission's discussion, although Commissioners should feel free to explore other topics of interest.

- **Architectural Design and Materials.** Is the contemporary architectural design of the proposed mixed-use building appropriate? Does the Planning Commission believe the overall proposal meets the intent of the Zoning Ordinance, contains a cohesive design, provides visual interest, and breaks up the massing?
- **Parking Ratio.** Are the 334 parking spaces proposed for the project acceptable (where 337 spaces is the maximum amount of parking allowed), or should the applicant explore ways to reduce the amount of parking on the site?
- **Pedestrian Bridge.** Is the design and location of the proposed pedestrian bridge acceptable as currently shown in the plans? Should design modifications or additional visual treatments be made to improve its appearance?
- **Heliport.** Would a garage rooftop heliport be an acceptable use at the site? What additional information would be helpful in considering the applicant's request?
- **Publicly Accessible Open Space.** Is the deeper pedestrian plaza along the O'Brien Drive frontage of the project consistent with the Commission's initial feedback on the project? Is the 16-foot-deep proposed publicly accessible open space along the Kelly Court project frontage also acceptable?
- **Pedestrian and Bicycle Pathway to Willow Village.** Is a proposed pedestrian and bicycle path over the ditch adjacent to the project site desirable for connectivity to the future Willow Village site? Should the applicant consider a potential path through this area in the design of the eastern façade of the building and the open space within the affected side setback?
- **Restaurant Location and Community Amenity Status.** Is the relocation of the proposed restaurant from the top floor of the building to the ground floor consistent with the Commission's initial feedback on the project? Is the restaurant an important component of the project regardless of whether it can be used as a community amenity?
- **Garage Screening.** Is the type and extent of the proposed screening for the parking structure appropriate or does it require additional refinement to activate the facades and break up the massing of the structure?
- **Bird-Friendly Design.** Would the Commission consider granting a waiver of certain bird-friendly design standards for the project based on review of a site-specific evaluation prepared for the project by a qualified biologist?
- **Overall Approach.** Is the overall aesthetic approach for the project consistent with the Planning

Commission's expectations for bonus-level development in the LS-B zoning district?

### **Correspondence**

As of the writing of this report, staff has not received any correspondence regarding the project.

### **Impact on City Resources**

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

### **Environmental Review**

Study sessions do not require analysis under the California Environmental Quality Act (CEQA). With regard to the overall project review and action, the terms of the 2017 settlement agreement with the City of East Palo Alto require projects seeking bonus level development to complete an EIR. Subsequent to this study session, City staff will identify a consultant to complete the environmental review and prepare an initial study and EIR for the proposed project. Depending on the initial study, a focused EIR may be prepared only on the topics that warrant further analysis but would include a transportation and housing analysis at a minimum, per the terms of the settlement agreement. As currently proposed, the Planning Commission would take the final action on the project entitlements, including the EIR, after the completion of the environmental review and any revisions to the plans based on feedback from the Planning Commission and Planning staff.

### **Public Notice**

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 1,320-foot radius of the subject property.

### **Attachments**

- A. Location Map
- B. Excerpt of August 14, 2017 Planning Commission Minutes
- C. Project Plans

### **Disclaimer**

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

### **Exhibits to Be Provided at Meeting**

None

Report prepared by:  
Tom Smith, Senior Planner

Report reviewed by:  
Kyle Perata, Principal Planner



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**PROJECT  
LOCATION**



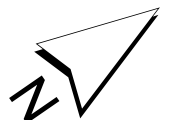
CITY OF  
MENLO PARK

# CITY OF MENLO PARK

## LOCATION MAP

### 1075 O'BRIEN DRIVE & 20 KELLY COURT

DRAWN: TAS CHECKED: KTP DATE: 08/26/19 SCALE: 1" = 300' SHEET: 1





REGULAR MEETING MINUTES - EXCERPTS

**Date:** 8/14/2017  
**Time:** 7:00 p.m.  
**City Council Chambers**  
**701 Laurel St., Menlo Park, CA 94025**

**A. Call To Order**

Chair Drew Combs called the meeting to order at 7:01 p.m.

**B. Roll Call**

Present: Andrew Barnes, Drew Combs (Chair), Susan Goodhue, Larry Kahle (Vice Chair), John Onken, Henry Riggs, Katherine Strehl

Staff: Sunny Chao, Assistant Planner; Tom Smith, Associate Planner, Thomas Rogers, Principal Planner

**G. Study Session**

- G1. Study Session/Jason Chang/1075 O'Brien Drive:  
Request for a study session for the demolition of an existing single-story warehouse and manufacturing building and construction of a new eight-story mixed-use building with three levels of structured parking above grade, four floors of offices, a restaurant, café with outdoor seating, and rooftop garden in the LS-B (Life Sciences, Bonus) zoning district. The proposal also includes a request for a new chemical storage bunker on the east side of the existing building at 20 Kelly Court. The parcels at 20 Kelly Court and 1075 O'Brien Drive would also be merged. *Continued from the meeting of July 17, 2017, with no changes to the staff report. (Staff Report #17-048-PC)*

Staff Comment: Associate Planner Tom Smith noted the distribution of a couple of emails received that in general expressed concerns about traffic, particularly left hand turns coming into the site from O'Brien Drive onto Kelly Court that might potentially back up traffic, as well as pedestrian accessibility to the lot to encourage connections from East Palo Alto to the new Facebook Willow Campus site. He said the emails generally expressed support for the public amenities proposed for the site.

Applicant Presentation: Jason Chang, Chief Operating Officer, CS Bio, said his firm had been in Menlo Park since 2003. He said their focus was contract manufacturing where they make solid phase peptides, small proteins that they make synthetically. He said different pharmaceutical companies were their clients. He said over the last five years they had grown from fifteen to 100 employees, from occupying one building to occupying six buildings. He noted that they own three of those buildings and lease the other three from Tarlton Properties. He said they had received their first U.S. FDA approval two months prior and hopefully by the end of 2017 they would be manufacturing a Type 2 Diabetes drug for market. He said the project for tonight's study session was for an eight-story building so they might expand from just a drug substance manufacturer to looking at new drug targets.

Susan Eschweiler, DES Architects and Engineers, introduced Margot Gardias, project architect, who would present a PowerPoint providing an overview of the project. Ms. Eschweiler said she thought this was the first project to come through the new zoning district, LS-B, which was why they were bringing it to the Commission for a study session. She commented that there was a delay on the PowerPoint.

Ms. Eschweiler referred to the General Plan goal of LU4 that Menlo Park should support new and existing businesses to be successful and to attract entrepreneurship and emerging technologies for providing good services, amenities, local job opportunities and tax revenue for the community while avoiding and minimizing potential environmental and traffic impacts. She said they believed this project was in compliance with the new LS-B zoning or bonus zoning. She said the proposed project would help Mr. Chang promote his innovation and bring more life sciences work to Menlo Park, strengthen the tax base, and increase the square footage of the economic engine of Menlo Park. She said they hoped the LS-B zoning would streamline the process so they could get their product to market as soon as possible. She said one of the public amenities being offered was to have a basketball court at the rear of the project.

Ms. Eschweiler referred to the PowerPoint overview of the proposed project, noting that this project was 90,000 square feet of usable space. She said with the growth of CS-Bio and an increased need for peptide production that additional chemical storage was needed. She said they proposed an addition to the existing building just to the right that would store chemicals in a one level compartment. She said the chemicals would be piped directly into the synthesis manufacturing area and would replace the existing chemical storage in the other building. She said they would replace the existing building at 1075 O'Brien Drive. She said having public open space was important in the new zoning district. She showed the areas around the public streets for people to have direct access to open space. She said to amplify and enliven the open space that they would locate a one-story café at the base of the building fronting on O'Brien Drive. She said the café would be supplied by the restaurant on the eighth floor. She said the elevator at the corner of Kelly Court and O'Brien Drive would take people to the restaurant and to the roof deck. She said in addition to public open space there would be a path to rear of the property where they would locate a basketball court in the Hetch-Hetchy area as well as additional tandem and valet parking. She said the maximum height allowed based on providing amenities was 110-feet. She said that for bonus level for a project fronting a local street there was a minimum of one recess of 15-foot wide by 10-foot deep per 200-feet of façade length. She said their proposed building was barely over 200-feet in length. She said they would have three recesses with one at the lower left corner which would be a aesthetic notch of balconies above grade, a modulation between the café and the elevator and a modulation at the corner facing the creek and O'Brien Drive. She showed different views of the proposed building.

Vice Chair Kahle opened the public comment period.

Public Comment:

- Luis Guzman, East Palo Alto resident, said having this mixed use project with its amenities was good for residents. He said he liked that the parking garage levels were open to the public and he felt a basketball court was very needed. He said other building owners in the area should be encouraged to work with the SFPUC for more recreational facilities. He said he would like this applicant to work with Facebook to create access from this site to Facebook's Willow campus.

He said he was excited about this new mixed use project.

- John Onken, Menlo Park, said he was speaking as said as a member of the public. He expressed support of CS Bio's expansion. He said this project was one of the first to take advantage of the bonus level in the LS zoning district. He said bonus should be based on amenities that provide great community benefit. He said he hoped the Commission could make suggestions regarding massing and appropriate amenities.

Vice Chair Kahle closed the public comment period.

Commission Comment: Commissioner Strehl asked how many employees were expected. Mr. Chang said the plan was to have 300 employees over the next three years. He said the employees work seven days a week and on different schedules. Commissioner Strehl asked about the tandem parking on the SFPUC property and whether the parking garage could accommodate the needed parking. Ms. Eschweiler said they were trying to do double load rows on three stories for the parking noting that the lot was narrow. She said they also needed details on the required EV charger and ADA parking spaces. Commissioner Strehl said that the SFPUC had indicated that parking and amenities for the project should be placed elsewhere than on SFPUC property. She asked if they had spoken with the SFPUC. Ms. Eschweiler said they had not yet made an application to SFPUC as they wanted to have this hearing first.

Commissioner Riggs said regarding average building height that they took three buildings and their heights and averaged them. He said he thought they could have weighted those heights with their floor plates. He said the tallest building was the largest and densest building, and would have disproportionate impact. He said staff had calculated a different average building height and found the proposal was 20 feet too high. Ms. Eschweiler said they literally used the building code and did a simple average. She said one could look at it from a flow plate standpoint. She said from a gross floor area (GFA) standpoint as indicated in staff report would doubly amplify any kind of massing. She said during the committee meetings on the General Plan update (GPAC) it was clear that a variety of building heights was desired in this zone. She said using the simplest average gave that variety rather than trying to get everything to a constant height that would occur with some of the other averaging methods. Commissioner Riggs asked if using staff's average would result in buildings all the same height. Ms. Eschweiler said potentially as the limiter tended to become the maximum average.

Commissioner Riggs said the restaurant was proposed at 17,000 square feet and located in an industrial area, and asked how it would succeed. Mr. Chang said the idea was to have a food court venue similar to the public market at Berkeley or Hillsdale Mall. He said they would like 20 different types of restaurants in that space with open seating throughout, and additional seating on the roof terrace and ground level. Commissioner Riggs asked if they had done a market study on the viability of restaurants in the area. Mr. Chang said that they were basing this off the findings of the GPAC that there were not enough restaurants east of Highway 101. He said his staff has to drive everyday to get meals unless they bring their meals to work. He said they have had discussions with other developers and other venues did not seem to be providing restaurants. He said this was something CS Bio could provide for the business park as well as for local residents. He said 80,000 people cross the Dumbarton Bridge every day and this venue would support people getting together for meals or drinks after work. He said they had not assessed whether or not this would be a financial success.



Commissioner Riggs suggested doing a market study to determine if the restaurant use would succeed.

Commissioner Barnes asked to see the slide with wording about the height and average. He asked staff to provide some background as to the intent and reasoning for calculating average height. Associate Planner Smith said the definition said average but there were various ways to calculate an average and it was not always the mean. He said staff has consistently said for the average height to use the proportional method. He said for this project the new building would be roughly 70% of the GFA of this lot at 110 feet and the building that was the shortest was about 10% of the GFA on the lot at 22 feet. He said using a straight mean average might allow for quite tall buildings throughout the area that would create a canyon effect, which staff did not believe was part of the concept that was imagined for this particular area.

Commissioner Barnes thanked the applicants for bringing the first project in this new zoning district forward noting the challenges of prescriptive regulations coupled with standards open to interpretation and subjective decisions related to amenities.

Vice Chair Kahle said the parking, the roof deck and basketball court would be open to the public and asked if they had thought about hours. Mr. Chang said they had not and noted that the idea of the basketball court was to pair it to an afterschool mathematics program through the Warriors Foundation. Vice Chair Kahle asked if they had thought about putting the parking underground. Ms. Eschweiler said they had looked at underground parking, which was prohibitively expensive due to the high water table in the area. Vice Chair Kahle said there had been discussion about underground parking for one of the new Facebook buildings in the flood plain and that was possible as long as there was no mechanical equipment in the area. Ms. Eschweiler said space was limited and having to do ramps both up and down and having access was not really feasible. Vice Chair Kahle said the parking requirement was 199 spaces and they were providing 249 spaces. Ms. Eschweiler said that number would be reduced once they determined the number of EV charger and ADA spaces required. Vice Chair Kahle noted that there were 50 parking spaces on one level. He said potentially they could reduce one entire level of the proposed building. He asked to see the 3-D images of the model. He noted the glass tower and asked the reasoning for the stucco handle from the third to the seventh floor. Ms. Eschweiler said they liked the play of different materials on that vertical element and thought just glass would be boring.

Vice Chair Kahle said there appeared to be an alley or space to the right of the property. He asked who controlled that area and what it was used for. Associate Planner Smith said it was a drainage ditch and was privately owned. He said it conveyed water from the surrounding area.

Vice Chair Kahle asked if there was a connection between O'Brien Drive or Kelly Court to the future Facebook Willow Campus and whether that could be accommodated through this area. Associate Planner Smith said that connection had not been contemplated at this time but with the development of the Willow Campus they would encourage opportunities for connection where available.

Vice Chair Kahle asked about staff's position on weighted average and simple average. Associate Planner Smith said the initial project proposal submitted used the mean average to calculate the heights. He said staff communicated in its comment letter to that applicants that the proportional average was the average they would use to determine the average height of the buildings on the site. He said at the last Commission meeting when the item was continued, a comment was made



about the average height and resolving that prior to this continuance. He said staff had communicated that to the applicant, suggesting that they might want to consider revising their proposal. He said the applicant indicated they wanted to continue with their proposal as is.

Vice Chair Kahle said the staff report indicated staff had about seven concerns with the proposal. He asked if some were more critical than others or what staff's approach was to those items. Associate Planner Smith said the height would have a substantial effect on the project in terms of importance. He said the requirement of ground floor transparency versus providing screening for structured parking at that lower level was a consideration. He said the public open space was important and while the area on the O'Brien Drive frontage was potentially a good use of that public open space there was a question as to whether the side setbacks of the building could be activated enough to make it a space that the public could enjoy and seek to use. He said the SFPUC had indicated to the City that they did not want the development to park on their right of way to meet its building requirements. He said without resolution and approval of the SFPUC that staff had concerns about the expanded parking and the basketball court as an amenity, and if approved, the potential in the future for SFPUC to revoke such an agreement for whatever reason thereby losing an amenity and potentially not meeting parking requirements. Vice Chair Kahle asked if that was all the tandem parking. Associate Planner Smith said two rows of tandem parking were approved with the 20 Kelly Court project previously and expansion beyond that caused concern. Vice Chair Kahle said the open space shown on the slide seemed to go only partially along the right side. Associate Planner Smith said the area of the basketball court shown in yellow in the packet would also count toward open space.

Commissioner Barnes asked if the applicant could address the ground floor screening and meeting the requirement for transparency in that area. Ms. Eschweiler said transparency worked well in the area of the café, which would be glass. She said having the garage on the lower level they would want to screen cars. She said that could be done with a low concrete wall and a large window opening for ventilation. She said there were code requirements for having naturally ventilated garages. She said if there was a certain amount of enclosure such as with underground parking it must be mechanically ventilated. She said they were looking at a blend of a green wall which was a wire wall with vines for screening.

Commissioner Barnes asked how transparency was defined by staff. Associate Planner Smith said in general it would be windows, glazing, and doors without any opaque or mirrored surfaces, providing the ability to see through the glass to other parts of the building.

Commissioner Riggs said his concern was with the height in particular in proportion to the adjacent CS Bio and other adjacent buildings. He said the concept of building height modulation was good but he thought it was taken to an extreme with this proposal. He said he could not understand the applicant's concern that staff's interpretation of average would lead to buildings of all the same height. He said with the overall height in mind it was particularly noticeable that the readily visible floors to pedestrians and people on the ground were the parking levels, which was not an attractive face. He said that ran counter to the Plan to activate the first floor. He suggested a couple of parking levels could go underground noting this had been done for years in San Francisco and Boston, both of which have high water tables. He said he thought the building was quite attractive but he expected to see a building that was 20 feet shorter, which would be a different building. He said as this was the first project under LS-B that they had to look carefully at the amenities the project would bring and to what degree they could offset a dramatic height and population on this site. He said the comments from the community were heavily weighted from neighbors to have

more immediate and personal benefit. He said in terms of the City planning effort that a café was great for the building and immediate population but was only so much of a benefit citywide. He said the open space was limited and the basketball court would probably only serve eight to 10 regulars for a City that was doubling in population growth. He said he hoped the next building they saw was as handsome as this one.

Commissioner Strehl said she concurred with comments made by fellow Commissioners. She said she did not think the amenities offered would be very useful to the public and for the most part they would be useful to the employees of CS Bio. She said she couldn't visualize people coming to an open food court on a Thursday or Friday night to have dinner in a life science/industrial type environment. She said the basketball court was a good idea but given its placement far from the street would not be particularly useful to the community. She said what was being offered did not warrant the bonus level development.

Commissioner Barnes said the basketball court, the food court and the café would enhance the project and employee satisfaction but were not really public amenities. He said he could not find that any of the desired amenities that came out of the two years of meetings with Belle Haven residents were met in this proposal. He said the reasonable approach was to take the weighted height and he felt that should be made more explicit for future application processes. He said he did not see side setbacks as legitimate public open space. He said provisioning additional tandem parking ran counter to what a Transportation Demand Management program was intended to do in that area in restricting car trips to a site. He said he could see the tandem parking for recreational use of the basketball court but not for use by employees. He said regarding ground floor transparency that the green wall screening was not transparent and was not what was intended for transparency. He said he did not have concerns with the proposed design. He thanked the applicants for bringing the first project in this zone forward for study.

Vice Chair Kahle said he agreed with the comments regarding height and that the amenities being offered did not seem to be adequate. He said the vocational training amenity was intriguing and could support the project. He said regarding the building that he thought a completely glass tower would be dynamic and exciting. He said he had a hard time with the stucco feature as it would not connect to the ground. He said regarding the façade that the tower was in the same plane as the eighth story portion of the building. He suggested there needed to be some offset unless it was tied in somehow, and that the building needed more attention and finesse. He said the major issue was height and the project would have a hard time getting Commission approval with the proposed height.

Ms. Eschweiler said they had two more slides that looked at the average height using the floor plate as a method. Commissioner Riggs said he thought there was consensus that the project should follow staff's method of determining height based on square footage. Recognized by the Vice Chair, Ms. Eschweiler provided information on calculating average height using floor plates. Vice Chair Kahle recommended that the applicants work with staff to come to consensus as to height calculation.

Commissioner Barnes asked if the applicant was precluded from bringing the parking levels up from the first floor. Ms Eschweiler said that parking could be elevated up one floor but that would need circulation and driving aisle. She said that having a blind ramp from O'Brien Drive had been eliminated from this proposal as that did not activate the street area.

Commissioner Riggs said tilted plates solved the ramp problem for parking garages and worked well on a long site such as this. Ms. Eschweiler said they were attempting to use the tilted plates and not have a separate ramp. She said the site was only 30,000 square feet.

Vice Chair Kahle confirmed that staff had enough input from the Commission for this study session.

**J. Adjournment**

Vice Chair Kahle adjourned the meeting at 9:24 p.m.

Staff Liaison: Thomas Rogers, Principal Planner

Recording Secretary: Brenda Bennett

Approved by the Planning Commission on September 11, 2017



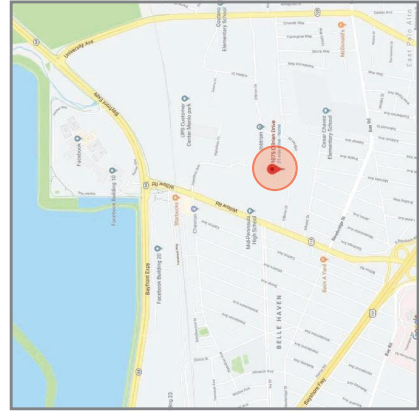
# CSBio Expansion



DGA planning | architecture | interiors

1075 O'BRIEN DRIVE, MENLO PARK, CA 94025  
PLANNING COMMISSION STUDY SESSION - AUGUST 26, 2019

## VICINITY MAP



## DRAWING INDEX

- 00 COVER, DRAWING INDEX
- 01 PROJECT DATA
- 02 SITE PLAN - EXISTING & PROPOSED
- 02A SITE PLAN - TREE DISPOSITION PLAN
- 03 SITE PLAN - PUBLIC OPEN SPACE
- 04 SITE PLAN - PARKING CALCULATION
- 05 SITE PLAN - BUILDING HEIGHTS
- 06 FLOOR PLANS
- 07 PARKING GARAGE ELEVATIONS
- 08 WEST ELEVATION
- 09 NORTH & SOUTH ELEVATIONS
- 10 EAST ELEVATION
- 11 SECTION THRU BUILDING
- 12 AREA PERSPECTIVE
- 13 MASSING VIEW - 1
- 14 MASSING VIEW - 2
- 15 MASSING VIEW - 3
- 16 MASSING VIEW - 4

CSBio owns two properties at 1075 O'Brien Drive and 20 Kelly Court in Menlo Park, CA. They are seeking Entitlements which would allow the construction of a new Class-A Building for Office, Research & Development and/or Technology and a Parking Structure. In order to do so, the existing Two-Story Building at 20 Kelly Court will be demolished to allow space for the proposed Parking Structure.

**Existing Buildings**

Address	Parcel	APN	Parcel Area (Sq. Ft.)	Building Area (Sq. Ft.)	Building Type
20 Kelly Court	1	055-433-340	35,911	12,192	Two-Story Lab/Office
20 Kelly Court	1	055-433-340	32,321	26,291	Three-Story Lab/Office
1075 O'Brien	2	055-433-250	30,464	14,523	Two-Story Warehouse/Office
TOTAL EXISTING AREAS			98,696	53,006	

**Proposed Project**

CSBio wishes to develop a Seven-Story Building with an approximate area of 100,000 Sq. Ft. The high-quality design of the Building and Site will contribute to the redevelopment occurring along O'Brien Drive. CSBio also proposes to provide a Parking Structure at the end of the cul-de-sac on Kelly Drive, and a Pedestrian Walkway (Bridge) to connect the Parking Structure to the new 1075 O'Brien Building.

**Project Data**

Building	Gross Area	Footprint
1075 O'Brien Dr. (Lab/Office Use)	90,131 Sq. Ft.	16,000 Sq. Ft.
20 Kelly Ct.	26,291 Sq. Ft.	11,564 Sq. Ft.
Utility Yard (Enclosed)	1,750 Sq. Ft.	1,750 Sq. Ft.
Hazardous Material Storage (Enclosed)	1,750 Sq. Ft.	1,750 Sq. Ft.
Parking Garage	0 Sq. Ft.	18,289 Sq. Ft.
	119,922 Sq. Ft.	49,353 Sq. Ft.
Base Floor Area Ratio	1.215	1.250 Max.
1075 O'Brien Dr. (Commercial Use)	9,869 Sq. Ft.	Included Above
Bonus Floor Area Ratio	0.100	0.100 Max.
Site Coverage		0.500 = 50%

**Approvals Requested**

Approvals Requested	Allowed	Proposed
Floor Area Ratio – Lab/Office Use	1.250	1.215
Floor Area Ratio – Commercial Use	0.100	0.100
Allowable Height	120 Feet	117 Feet

**Concurrent Approvals**

1. Lot Merger of existing two (2) Parcels

**16.44.050 – Development Regulations**

Minimum Lot Area	Bonus Level	Proposed
25,000 Sq. Ft.	25,000 Sq. Ft.	98,696 Sq. Ft.
Minimum Lot Dimensions	Width 100 Ft.	130 Ft.
	Depth 100 Ft.	185 Ft.
Minimum Setback @ Street	5 Feet	5 Feet
Minimum Interior-Side & Rear Setbacks	10 Feet	10 Feet
Maximum Floor Area Ratio (FAR)	125% + 10%	1.315
Height	Avg. 67.5 Ft.	67.48 Ft.
	110 Ft. + 10 Ft.	117 Ft.
Minimum Open Space Requirement	20%	20%
Minimum Public Open Space Requirement	10%	10%

**16.44.070 Community Amenities Required for Bonus Development**

Bonus level development allows a project to develop at a greater level of intensity with an increased floor area ratio and/or increased height. There is a reasonable relationship between the increased intensity of development and the increased effects on the surrounding community. The required community amenities are intended to address identified community needs that result from the effect of the increased development intensity on the surrounding community. To be eligible for bonus level development, an applicant shall provide one (1) or more community amenities. Construction of the amenity is preferable to the payment of a fee.

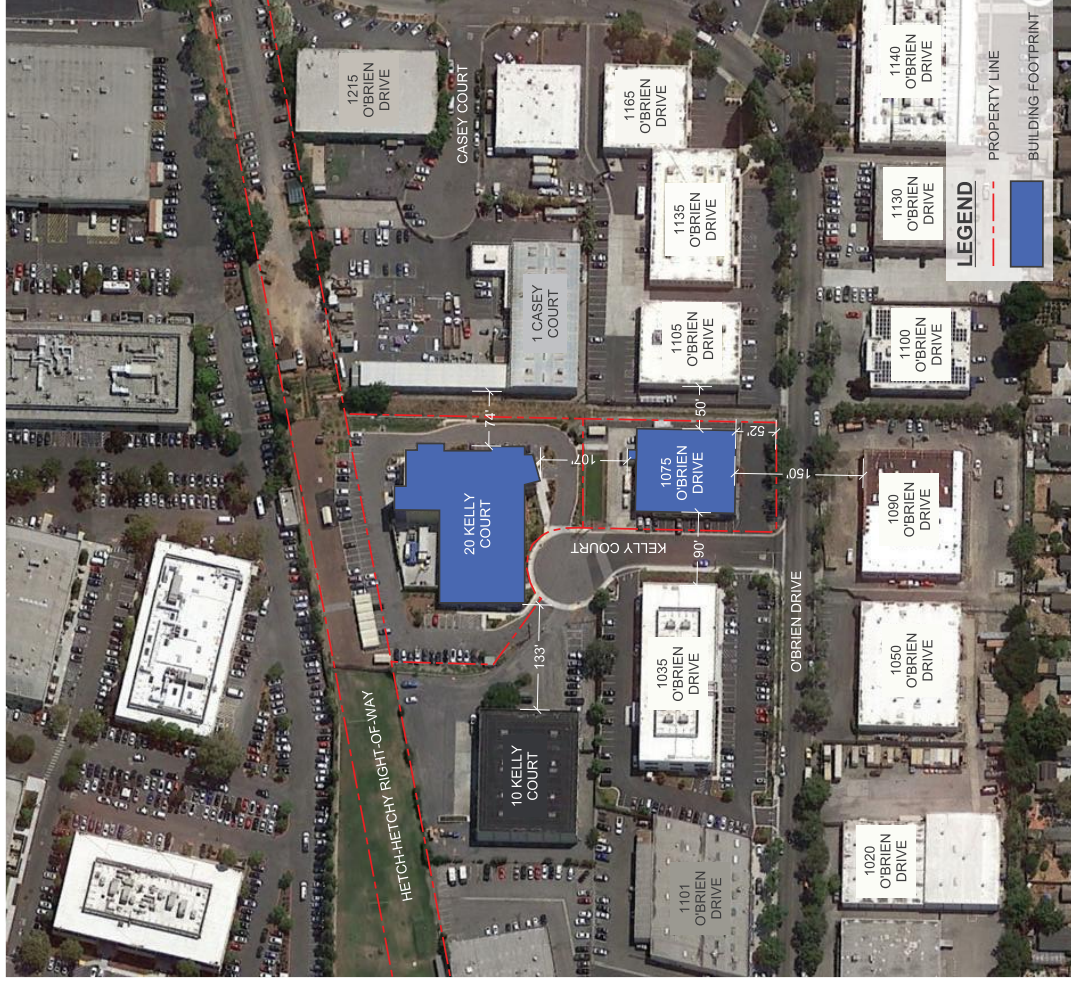
**Proposed Community Amenity:**

Project will consider one, or more, of the following Amenities, depending on the required value of the Amenities to be determined through a future Appraisal.

- Community Servicing Retail
  - Restaurant
  - Jobs and Training
- Job opportunities for residents
- Education and enrichment programs for young adults
- Job Training & Education Center
  - Paid internships and scholarships for young adults
  - Social Service Improvements
- Education improvements in Belle Haven
- Energy, Technology and Utilities Infrastructure
  - Underground power lines







EXISTING SITE



PROPOSED SITE







SITE PLAN - TREE DISPOSITION PLAN



**Open Space**

20 Kelly Court	68,232	Sq. Ft.
1075 O'Brien	30,464	Sq. Ft.
	98,696	Sq. Ft.

Open Space	20%	<b>Open Space Provided</b>	<b>OK</b>
Publicly Accessible	50%	<b>Public Open Space Provided</b>	<b>OK</b>
		19,739 Sq. Ft. <	20,232 Sq. Ft.
		9,870 Sq. Ft. <	9,908 Sq. Ft.



**SITE PLAN - PUBLIC OPEN SPACE**



**16.44.080 – Parking Standards**

Development in the Life Sciences District shall meet the following Parking Requirements:

Land Use	Minimum Spaces Per 1,000 SF	Maximum Spaces Per 1,000 SF	Building Area SF	Minimum	Provided	Maximum
20 Kelly Ct. R&D	1.5	2.5	26,291	40	63	66
1075 O'Brien Dr. Office	2.0	3.0	54,500	109	155	164
R&D	1.5	2.5	35,631	54	85	90
Restaurant	2.5	3.3	9,869	25	31	33
<b>TOTALS</b>			<b>126,291</b>	<b>228</b>	<b>334</b>	<b>353</b>

**Bicycle Parking**

Land Use	Spaces Required Per 5,000 SF	Building Area SF	Spaces Required	Spaces Provided
20 Kelly Ct. R&D	1	26,291	6	6
1075 O'Brien Dr. Office	1	54,500	11	11
R&D	1	35,631	8	8
Restaurant	1	9,869	2	2
<b>TOTALS</b>			<b>27</b>	<b>27*</b>

\* 27 Spaces = 21 Long-Term Spaces + 6 Short-Term Spaces

**PARKING PROVIDED**

SURFACE PARKING 13 SPACES  
 PARKING GARAGE 321 SPACES  
 TOTAL PARKING 334 SPACES



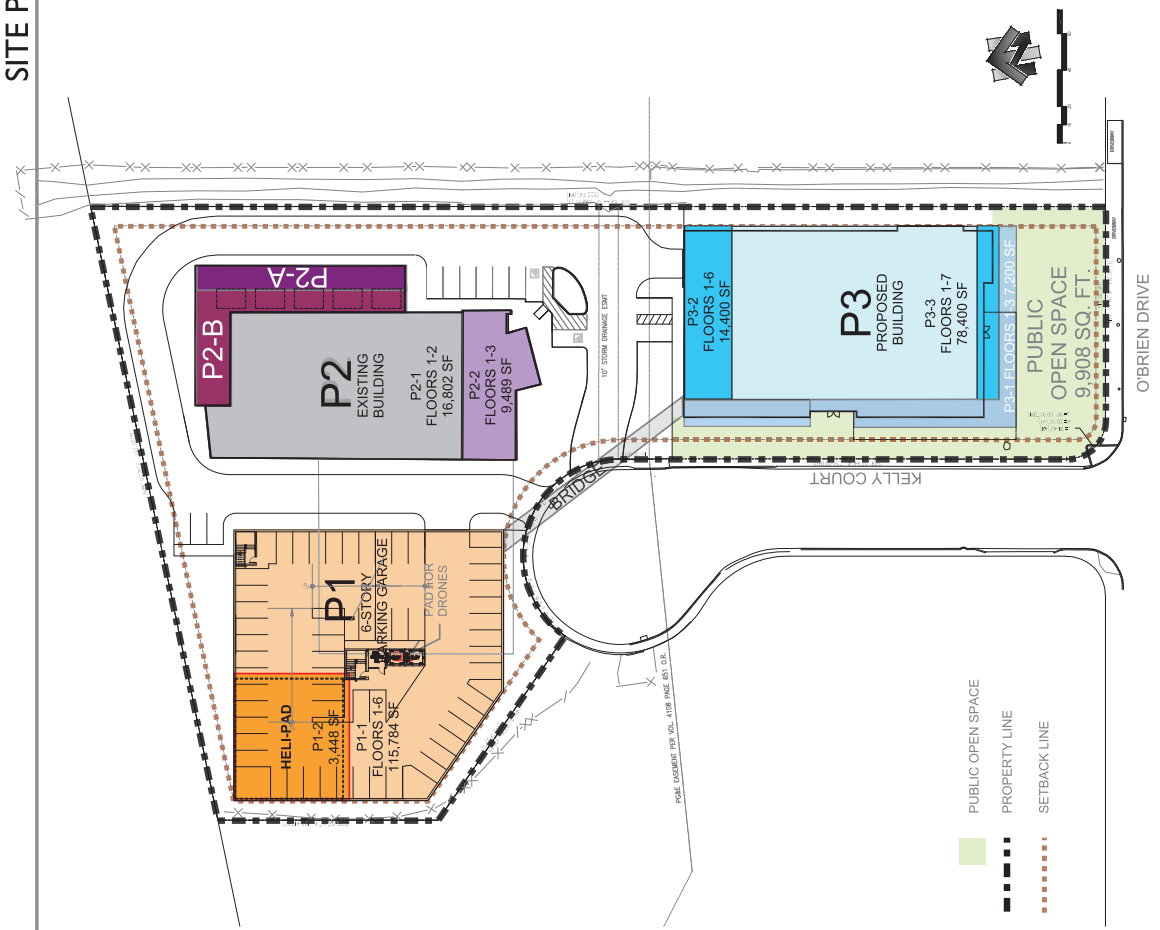
**SITE PLAN - PARKING CALCULATION**



Average Building Height - Volumetric Weighted - Calculation

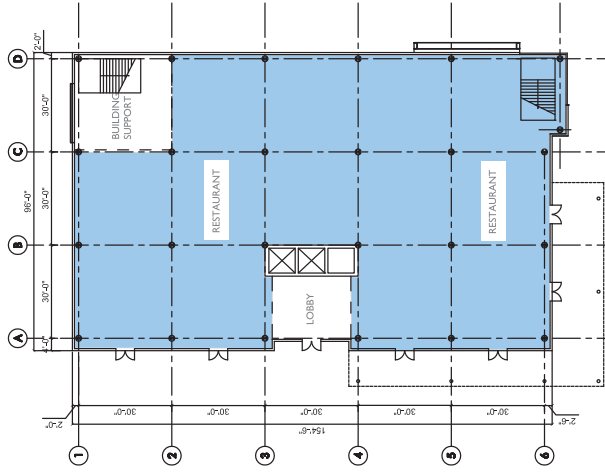
Garage	Height	Area	Floors	Height	Area	10'-6" @ 2nd - 6th Floor	11'-6" @ 1st Floor
	Feet	Sq. Ft.		Feet	Sq. Ft.	Per Floor	Per Floor
P1-1	67.50	115,782	6	10.50	19,297		
P1-2	74.00	3,448	1	11.00	3,448		
P1 Total Area		119,230					
<b>20 Kelly Court</b>							
P2-1	30.00	16,802	2	15.00	8,401	Floor-to-Floor	Avg. Per Floor
P2-2	44.00	9,489	3	14.67	3,163	Floor-to-Floor	Avg. Per Floor
P2 Total Area		26,291					
<b>P2-A Covered Storage &amp; P2-B HAZMAT</b>							
	10.00	10,000	1	10.00	10,000	Floor-to-Floor	Avg. Per Floor
<b>.1075 O'Brien</b>							
P3-1	45.00	7,200	3	15.00	2,400	Floor-to-Floor	Avg. Per Floor
P3-2	95.25	14,400	6	15.875	2,646	Floor-to-Floor	Avg. Per Floor
P3-3	110.00	11,000	6	18.33	3,050	Floor-to-Floor	Avg. Per Floor
Max + Bonus		120.00					
Proposed		117.00					
- Parapet		5.00					
<b>To Top of Parapet</b>							
Roof	112.00	112,000	7	16.00	11,200	Floor-to-Floor	Avg. Per Floor
Tower Area	78,400	100,000	7	11,200	11,200	Floor-to-Floor	Avg. Per Floor
P3 Total Area		100,000					
Towards FAR		249,021					
Remainder		133,239					
		1					
		133,240					

Building	Footprint (SF)	Building Height	Floors (Not in Calc)	Z = (XxY)
P1-1	15,849	67.50	6	1,069,808
P1-2	3,448	74.00	1	255,152
P2-1	8,401	30.00	2	252,030
P2-2	3,163	44.00	3	139,172
P2-A+B	3,500	10.00	1	35,000
P3-1	2,400	45.00	3	108,000
P3-2	2,400	95.25	6	228,600
P3-3	11,200	117.00	7	1,310,400
<b>TOTAL</b>	<b>50,361</b>			<b>3,398,162</b>
<b>AVERAGE HEIGHT (TOTAL Z / TOTAL X) - Average Height is Less than Allowed: 67.48</b>				
<b>Maximum Average Height Allowed: 67.50</b>				

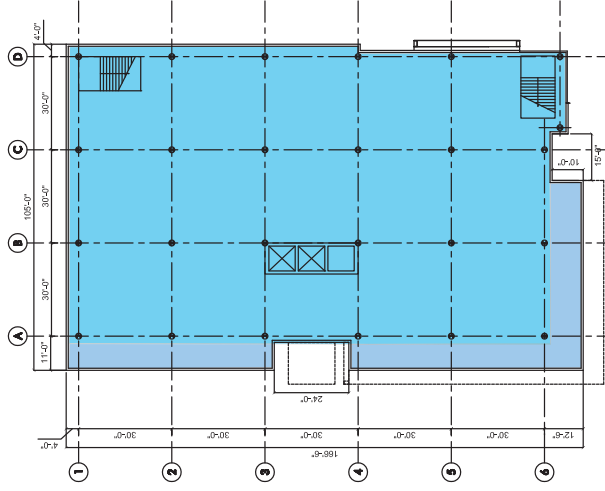


SITE PLAN - BUILDING HEIGHTS

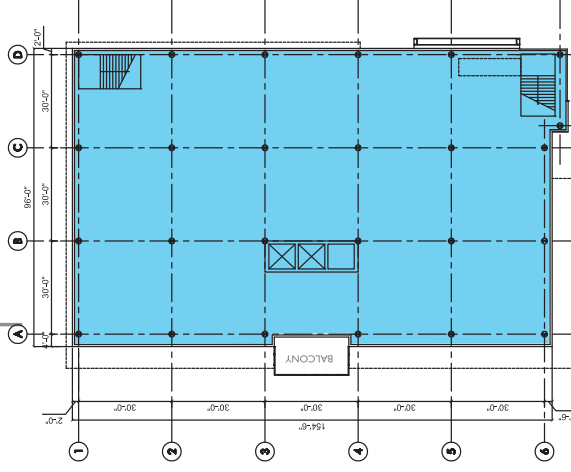




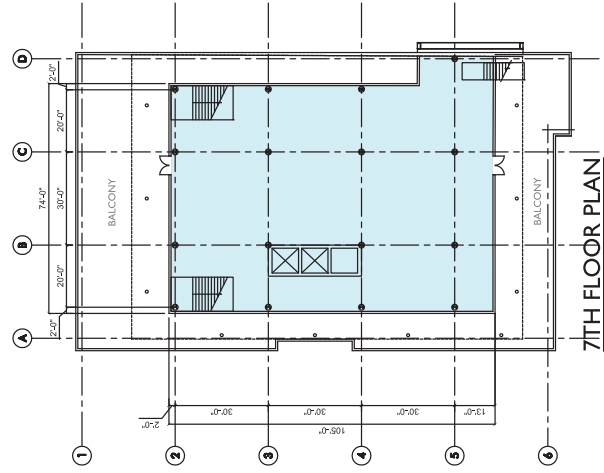
1ST FLOOR PLAN



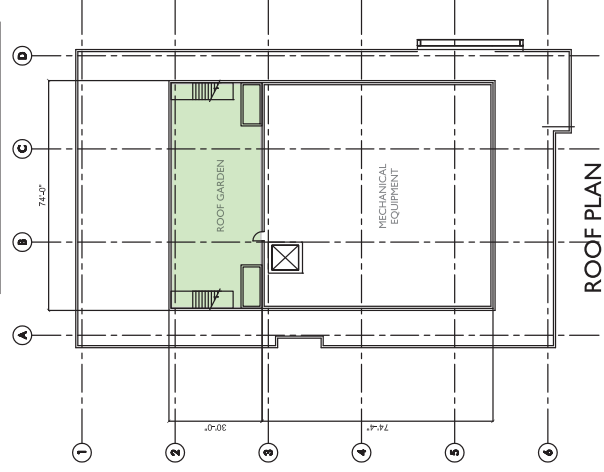
2ND & 3RD FLOOR PLAN



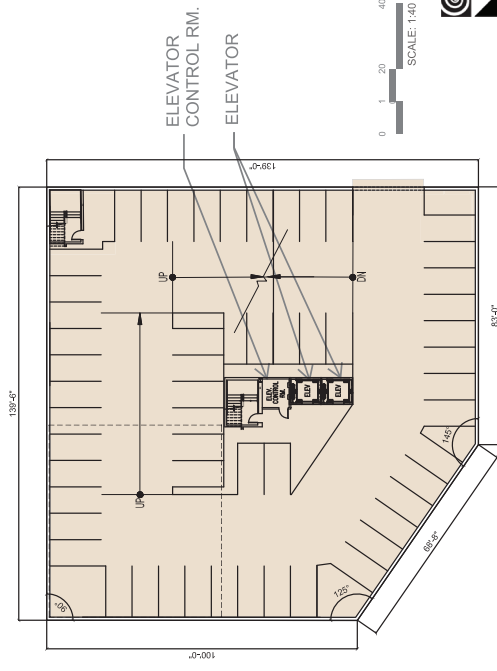
4TH TO 6TH FLOOR PLAN



7TH FLOOR PLAN

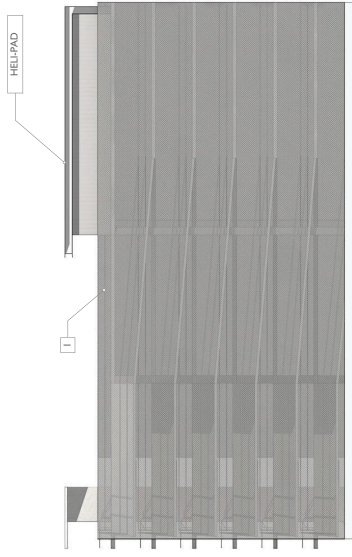


ROOF PLAN



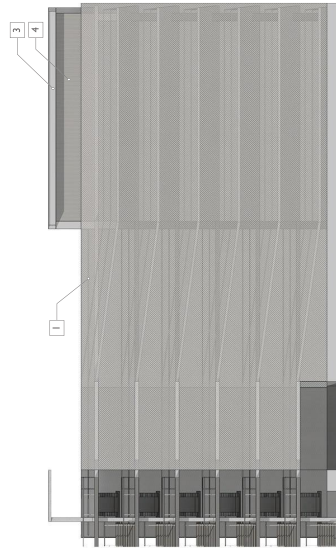
TYPICAL GARAGE FLOOR PLAN





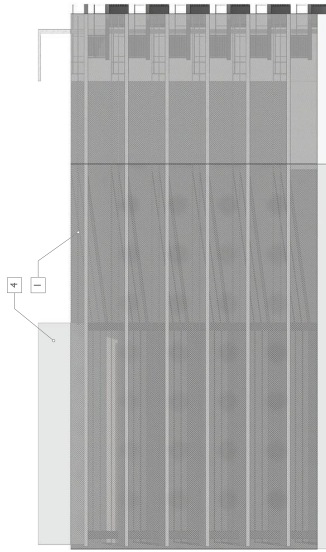
- T.O. HELIPAD 74'-0"
- T.O. PARAPET 64'-0"
- SEVENTH LEVEL 64'-0"
- SIXTH LEVEL 53'-6"
- FIFTH LEVEL 43'-0"
- FOURTH LEVEL 32'-6"
- THIRD LEVEL 22'-0"
- SECOND LEVEL 11'-6"
- FIRST LEVEL 0'-0"

NORTH ELEVATION  
FACING HETCHY-HETCHY R.O.W.

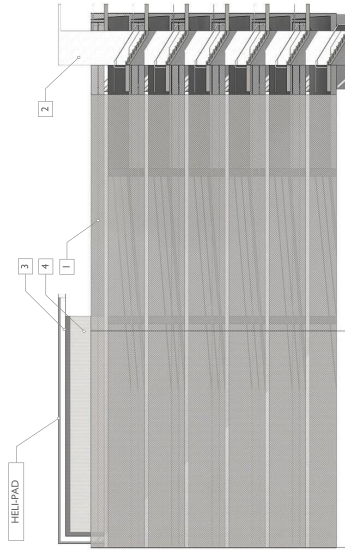


- T.O. HELIPAD 74'-0"
- T.O. PARAPET 64'-0"
- SEVENTH LEVEL 64'-0"
- SIXTH LEVEL 53'-6"
- FIFTH LEVEL 43'-0"
- FOURTH LEVEL 32'-6"
- THIRD LEVEL 22'-0"
- SECOND LEVEL 11'-6"
- FIRST LEVEL 0'-0"

EAST ELEVATION



WEST ELEVATION



SOUTH ELEVATION  
FACING KELLY COURT

**MATERIALS LEGEND:**

- 1 METAL SCREEN MESH
- 2 CERMENTITIOUS PRODUCT
- 3 C-SHAPED METAL TRIM
- 4 PROFILED METAL PANEL



DGA







- T.O. ROOF SCREEN 125'-0"
- T.O. PARAPET 117'-0"
- T.O. ROOF 112'-0"
- SEVENTH LEVEL 85'-3"
- SIXTH LEVEL 78'-6"
- FIFTH LEVEL 61'-9"
- FOURTH LEVEL 45'-0"
- THIRD LEVEL 30'-0"
- SECOND LEVEL 15'-0"
- FIRST LEVEL 0'-0"

WEST ELEVATION  
FACING KELLY COURT

**MATERIALS LEGEND:**

- 1 GLAZING - TYPE 1 CLEAR VISION GLASS
- 2 GLAZING - TYPE 2 TINTED VISION GLASS
- 3 GLAZING - TYPE 3 TINTED VISION GLASS
- 4 GLAZING - TYPE 4 SPANDREL GLASS
- 5 CERAMITTIUS PRODUCT
- 6 PROFILED METAL PANEL
- 7 C-SHAPED METAL TRIM
- 8 METAL PANEL, WOODLOOK  
ALTERNATE: TRESPA WOOD GRAIN PANEL
- 9 METAL RAILING
- 10 GLASS GUARDRAIL
- 11 12" DIAMETER ALUMINUM COLUMN COVER

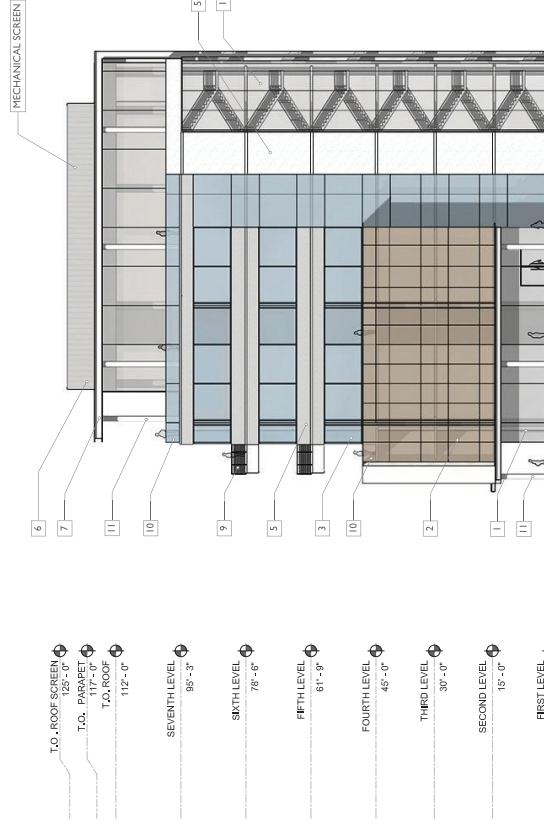




**NORTH ELEVATION**

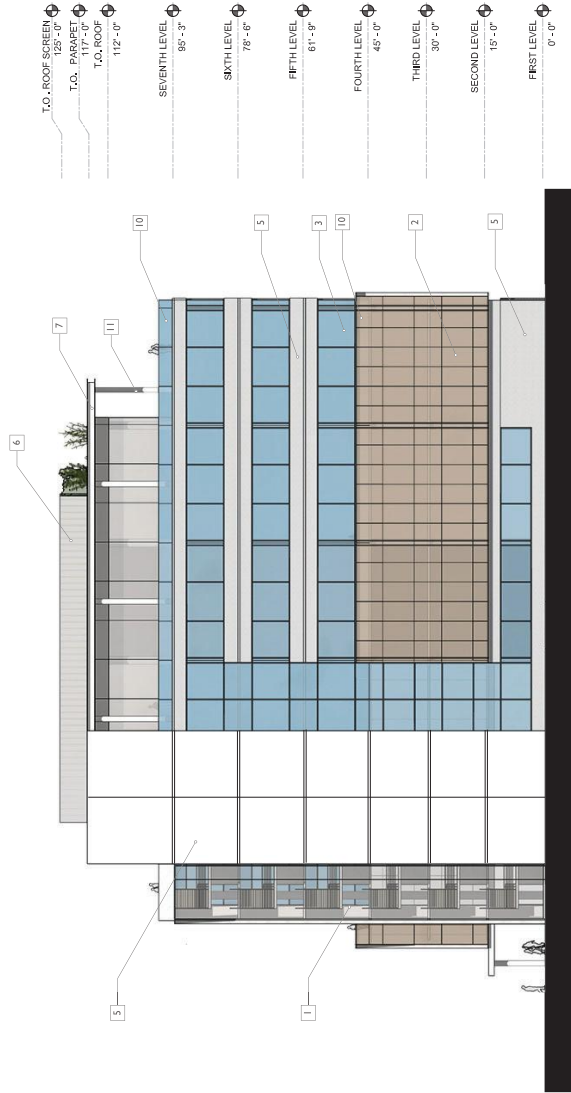
**MATERIALS LEGEND:**

- 1 GLAZING - TYPE 1 CLEAR VISION GLASS
- 2 GLAZING - TYPE 2 TINTED VISION GLASS
- 3 GLAZING - TYPE 3 TINTED VISION GLASS
- 4 GLAZING - TYPE 4 SPANDREL GLASS
- 5 CERAMITITIOUS PRODUCT
- 6 PROFILED METAL PANEL
- 7 C-SHAPED METAL TRIM
- 8 METAL PANEL, WOOD-LOOK  
ALTERNATE: TRESPA WOOD GRAIN PANEL
- 9 METAL RAILING
- 10 GLASS GUARDRAIL
- 11 12" DIAMETER ALUMINUM COLUMN COVER



**SOUTH ELEVATION**  
FACING O'BRIEN DRIVE

- T.O. ROOF SCREEN 122'-0"
- T.O. PARAPET 117'-0"
- T.O. ROOF 112'-0"
- SEVENTH LEVEL 95'-3"
- SIXTH LEVEL 78'-6"
- FIFTH LEVEL 61'-5"
- FOURTH LEVEL 45'-0"
- THIRD LEVEL 30'-0"
- SECOND LEVEL 15'-0"
- FIRST LEVEL 0'-0"



EAST ELEVATION

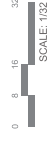
**MATERIALS LEGEND:**

- 1 GLAZING - TYPE 1 CLEAR VISION GLASS
- 2 GLAZING - TYPE 2 TINTED VISION GLASS
- 3 GLAZING - TYPE 3 TINTED VISION GLASS
- 4 GLAZING - TYPE 4 SPANDREL GLASS
- 5 CERAMITTIUS PRODUCT
- 6 PROFILED METAL PANEL
- 7 C-SHAPED METAL TRIM
- 8 METAL PANEL, WOODLOOK  
ALTERNATE: TRESPA WOOD GRAIN PANEL
- 9 METAL RAILING
- 10 GLASS GUARDRAIL
- 11 12" DIAMETER ALUMINUM COLUMN COVER





LONGITUDINAL SECTION











MASSING VIEW - ACROSS O'BRIEN DRIVE LOOKING NORTH





MASSING VIEW - ACROSS O'BRIEN DRIVE LOOKING NORTHWEST



MASSING VIEW - VIEW AT EAST





MASSING VIEW - ACROSS KELLY COURT LOOKING EAST



## STAFF REPORT

### Planning Commission

**Meeting Date:** 8/26/2019

**Staff Report Number:** 19-066-PC

**Public Hearing:** Study Session/Richard Mielbye/3723 Haven Avenue

### Recommendation

Staff recommends that the Planning Commission review and provide feedback on a proposal to demolish an existing one-story office building and construct a new eight-story, 167-room hotel containing three stories of podium parking, a coffee shop, a bar and lounge, and associated hotel amenities in the O-B (Office, Bonus) zoning district, at 3723 Haven Avenue. The proposed project would be developed at the base level permitted by the Zoning Ordinance. The project is anticipated to ultimately require the following actions:

1. **Environmental Review** to evaluate the project for consistency with the ConnectMenlo program level Environmental Impact Report (EIR) and to identify if any additional environmental analysis is required for the proposed project, pursuant to the California Environmental Quality Act (CEQA). As part of the environmental review, a transportation impact analysis (TIA) would be prepared, per the City's adopted TIA Guidelines;
2. **Use Permit** for the proposed hotel;
3. **Architectural Control** to review the design of the proposed building and associated site improvements; and
4. **Heritage Tree Removal Permit** to potentially remove one heritage size Monterey Pine tree.

Additional actions and entitlements may be required as the project plans are refined. No formal actions will be taken at this time. Staff is requesting the Planning Commission review and provide individual Planning Commissioner feedback on the project to the applicant and staff. The report identifies the following topic areas for the Planning Commission's consideration:

- Architectural design and materials
- Appropriateness of the hotel use
- Public open space considerations
- Overall approach

More detail on the above list is included in the "Planning Commission considerations" section of the report. The Planning Commission's discussion and comments are not limited to the above list.

## **Policy Issues**

Study sessions provide an opportunity for Planning Commissioners and the public to provide feedback on the overall project. Study sessions should be considered on a case-by-case basis, with comments used to inform future consideration of the project. The Planning Commission will ultimately consider whether the required architectural control and use permit findings can be made for the proposal. Study sessions also allow City staff to pose specific questions to the Planning Commission regarding staff's interpretation and implementation of aspects of the Zoning Ordinance, General Plan, and related requirements.

At its June 11, 2019 meeting, the City Council discussed the possibility of directing the City Attorney to prepare an ordinance putting a moratorium on commercial development city-wide and all residential developments over 100 units in size in the Bayfront Area. The Council decided to not direct the City Attorney to prepare an ordinance placing a moratorium on development in the City. Instead, the City Council determined there is a need to review the ConnectMenlo General Plan and Zoning Ordinance Update and the Downtown Specific Plan to assess whether the documents reflect current community values, conditions, and needs. While the City Council and its subcommittees review the City's land use planning documents to outline potential modifications, which may include but are not limited to the allowed land uses, densities and intensities, and overall development caps, the City is obligated to continue to process development applications under the current adopted Zoning Ordinance, General Plan, and Specific Plan. If, as a result of the subcommittee work, the City Council adopts changes to the City's land use planning documents while this project is still in the pipeline, the proposed project could be required to make modifications to comply with those changes.

The proposed 167 hotel rooms would be counted toward the ConnectMenlo hotel room development cap of 400 hotel rooms. The City has on file applications for a total of up to 457 hotel rooms, including the 200- to 250-room hotel on the Facebook Willow Village project site, the proposed 240-room hotel on the Facebook West Campus project site, and this project proposal. However, for the Facebook West Campus, a 200-room hotel was previously approved as part of the Conditional Development Permit for the project and only the proposed 40 additional hotel rooms are included in the development cap. A general plan amendment and associated environmental clearance would be required to approve all hotel rooms currently on file, as the current number of proposed hotel rooms exceeds the previously approved development cap by 57 hotel rooms.

## **Background**

### ***Site location***

The project site consists of one O-B zoned parcel with a total lot area of approximately 33,192 square feet (0.762 acres). The project site currently contains a one-story office building, approximately 13,700 square feet in size. The existing building would be demolished as part of the redevelopment of the site.

For purposes of this staff report, Haven Avenue (at the project site) is considered to have a north-south orientation, and all compass directions referenced will use this orientation. The project site is located to the west of the intersection of Marsh Road/Bayfront Expressway (State Route 84) and Haven Avenue, specifically near a bend in the road where Haven Avenue transitions from an east-west to a north-south orientation. East of the intersection, Haven Avenue intersects with Bayfront Expressway. Generally, Haven

Avenue is an east-west street, running parallel to US 101. The project site is bounded by Haven Avenue to the east, and other properties in the other directions. The parcels to the west of the project site are located in the R-4-S (AHO) (High Density Residential, Special – Affordable Housing Overlay) zoning district and contain 540 multi-family dwelling units, one parcel to the south (3715 Haven Avenue) is located in the O-B zoning district and contains professional offices, and parcels to the north are located in the M-2 (General Industrial) zoning district and include warehousing uses and an animal kennel. Slightly further north of the M-2 properties, wetlands connect to the San Francisco Bay. A location map is provided as Attachment A.

## **Analysis**

### ***Project description***

The applicant is proposing to demolish the existing onsite office building and construct a new eight-story, 167-room hotel with three levels of podium parking and five floors of hotel rooms. In the O-B zoning district, hotels are conditional uses and require use permit review and approval by the Planning Commission when not located on a parcel identified as O-H (Office, Hotel) on the adopted Zoning Map. There would also be a ground floor coffee shop that would be open to the public and a fourth floor bar and lounge area, which would include an outdoor rooftop garden and would be publically accessible (regardless of coffee shop and bar/lounge patronage) from 6:00 am to 10:00 pm.

The building would have a parallelogram-shaped footprint with a landscaped courtyard along the front of the building, facing onto Haven Avenue. The front and left sides of the building would be eight stories in height, with the exception of some building breaks along both of these sides, while the rear and right side (generally the southwest corner of the building) would step down to four stories to provide a podium open area and the aforementioned outdoor rooftop garden.

### **Site Layout**

The site layout uses an existing southern driveway connecting to Haven Avenue, though a driveway along the northern boundary would also connect Haven Avenue to the property's proposed emergency vehicle access (EVA). Along the southern driveway, vehicles would pass along a designated drop-off area near the front of the property before driving into the lot and circling around the southwest corner of the hotel to access the three-story podium parking structure. Much of this driveway is located within an existing 40-foot PG&E easement, upon which the project cannot develop.

In the project description letter (Attachment B) and Sheet 22.1 of the project plans (Attachment C), the applicant states that the hotel would offer affordable yet minimalist lodging aimed for the "upper, midscale priced tier in prime urban locations." The ground floor would contain the jump lobby, a trash area, and the coffee shop. The coffee shop would be adjacent to a loggia, a covered area just under 14 feet in height that would include seating and landscaping accessible to the members of the public, for both customers and non-customers. The podium parking structure would be three stories in height, but five surface parking spaces would be located outside of the parking structure. The fourth floor would contain several covered lobby spaces, a fitness center, a bar, and an outdoor rooftop garden.

The proposed hotel appears to comply with the minimum required setbacks. In particular, the proposed front setback would be 20 feet, three inches where between 5 and 25 feet is required. The rear setback



would be 10 feet, which is the requirement for the O-B zoning district. For the sides, a 10-foot setback is required, and the proposed project would have a 20-foot right side setback and a 33-foot, nine-inch left side setback.

#### Floor Area Ratio (FAR) and Gross Floor Area (GFA)

The maximum floor area ratio for hotels within the O (Office) zoning district is 175 percent, which is 58,086 square feet of GFA. The plans indicate a total GFA of 57,953 square feet. However, the applicant is not including the covered loggia as GFA. The covered loggia is bounded by columns that appear to be 12-inches or greater in width. All covered areas with columns that are 12 inches or greater in width would need to be counted as GFA and the project calculations may need to be updated accordingly. Depending on the increase in GFA from the updated calculations, revisions to reduce the project GFA may be required.

#### Height

The applicant has submitted a preliminary analysis that documents compliance with the Zoning Ordinance height requirements. The proposed hotel would have a maximum height of 94 feet, eight inches, where up to 120 feet is permitted for hotels on parcels located within the flood zone. Hotel developments are not subject to the average height requirements.

#### ***Parking and circulation***

The proposed development includes 126 parking spaces, and apart from five surface level spaces wrapped around the building, 121 of the parking spaces would be provided within the three-level podium parking structure within the hotel. The applicant is proposing that parking would utilize a valet system, and 40 of the spaces within the podium would be serviced by stacker spaces. Stackers have been proposed on a number of other projects, and staff believes these are acceptable for this application. As mentioned earlier, primary access would be from Haven Avenue, via a driveway near the southern portion of the site that would access the parking podium. Additionally, the required EVA would be located along the northern side of the building.

Bicycle access would come from Haven Avenue, and bicycle parking is proposed in a few locations of the building. The applicant is proposing five bicycle parking spaces within the outdoor area in the front of the property, three bicycle parking spaces on the first floor of the podium parking structure, six bicycle parking spaces on the first floor of the podium parking structure, three bicycle parking spaces on the second floor of the podium parking structure, and seven bicycle parking spaces on the first floor of the podium parking structure, for a total of 17 bicycle parking spaces. While the applicant has not yet articulated the breakdown of bicycle parking in their plans, they have stated that short-term bicycle parking would be located outside of the building and long-term spaces would be located within the building. However, the applicant ultimately needs to identify and differentiate between the locations of the short-term and long-term bicycle parking on site.

The project would need to make some modifications to comply with the O-B zoning requirements for parking. Some of the service parking spaces on the right side of the hotel and adjacent to the EVA are inconsistently drawn and appear to be located within the proposed EVA, which would be noncompliant and requires revision. In addition, it appears that some of these parking spaces would not meet the minimum width requirement of eight feet, six inches and some of the parking spaces located within the

podium parking structure do not appear to meet the minimum width when adjacent to a wall, which is nine feet, six inches. Staff will be further evaluating the parking and driveways for compliance with the City's adopted guidelines.

### ***Design standards***

In the O-B zoning district, all new construction and building additions of 10,000 square feet of GFA or more must meet design standards subject to architectural control review. The design standards regulate the siting and placement of buildings, landscaping, parking, and other features in relation to the street; building mass, bulk, size, and vertical building planes; ground floor exterior facades of buildings; open space, including publicly accessible open space; development of paseos to enhance pedestrian and bicycle connections between parcels and public streets in the vicinity; building design, materials, screening, and rooflines; and site access and parking.

### **Architectural style and materials**

The applicant states that the design of the proposed hotel is intended to incorporate faceted and playful geometry, incorporating various elements of contemporary architectural styles into the building form. The incorporation of these design styles results in a mixture of geometric forms and façade details throughout the building; most prominently along the front façade.

The primary materials would include smooth texture stucco walls and horizontal and vertical centria metal panels for accents. For much of the open, window-like areas of the podium parking structure, an aluminum chainmail material would be used to screen the views into the structure. Metal louver sunscreens would be incorporated on the fourth floor rooftop garden to provide outdoor shading areas. A faux wood material would be applied on portions of the front elevation, near the loggia surrounding the coffee shop and along portions of the rear and right elevations, near the fourth floor rooftop garden.

### **Building modulations**

The design standards for the O-B zoning district require modulations on street- and publicly accessible open space-facing facades. The design must include a minimum of one recess of 15 feet wide by 10 feet deep per every 200 feet of facade length from ground level to the top of the building, or a minimum of one modulation per façade fronting on a street or public open space. The intent of the required modulations is to provide visual variety, reduce large building volumes, and provide spaces for entryways. The proposed hotel has not yet provided compliant modulations for the façades facing Haven Avenue and publically accessible open space areas. As such, the applicant will need to revise their plans to provide appropriate façade modulations or apply for a use permit to modify the design standard accordingly. The Planning Commission may wish to provide input on whether the proposed design would be supportable with a modification from the modulation requirement in Zoning Ordinance or if modulations should be incorporated into the proposed project.

### **Planning commission building design considerations**

The City contracts with a design review consultant to assist in reviewing projects for compliance with the O-B design standards and guidelines. The City's consultant, in concert with staff, has identified the following potential areas where the project design could be modified to improve the overall architectural expression and staff will be working with the applicant to incorporate these potential modifications after the

study session. The Planning Commission may wish to consider the following comments and provide direction and feedback to the applicant and staff.

- The styles and architectural forms are varied for the hotel, and the Planning Commission should provide input on whether the mixture of styles is supportable.
- While it appears that there may be some additional modulation details that need to be resolved for the proposed project, the Planning Commission should also consider the overall massing for the hotel with regard to the architecture. The majority of elements are focused along the EVA and the frontage along Haven Avenue, but not along the other sides of the building.

### ***Open space***

The proposed project would be required to provide open space equivalent to 30 percent of the project site area and would be further required to provide 50 percent of the required open space as publicly accessible open space. According to the Zoning Ordinance (Chapter 16.43.130(4)(A)):

Publicly accessible open space consists of areas unobstructed by fully enclosed structures with a mixture of landscaping and hardscape that provides seating and places to rest, places for gathering, passive and/or active recreation, pedestrian circulation, or other similar use as determined by the Planning Commission. Publicly accessible open space types include, but are not limited to, paseos, plazas, forecourts and entryways, and outdoor dining areas. Publicly accessible open space must:

- (i) Contain site furnishings, art, or landscaping;
- (ii) Be on the ground floor or podium level;
- (iii) Be at least partially visible from a public right-of-way such as a street or paseo;
- (iv) Have a direct, accessible pedestrian connection to a public right-of-way or easement.

The minimum open space required for the project would be 9,958 square feet, of which a minimum of 4,979 square feet must be publicly accessible and meet the requirements stated above. The applicant has submitted a preliminary analysis that identifies compliance with the open space requirements. The applicant is proposing 12,515 square feet of open space for the development, including 7,322 square feet of uncovered open space located on the ground level. As a whole, the applicant is proposing to include front plaza areas, the covered loggia area surrounding the front entry of the hotel, the rooftop garden, and a pathway extending along the southern property boundary.

The applicant is proposing the covered loggia (along Haven Avenue) as part of the publicly accessible open space for this site. Areas that are counted as building coverage or gross floor area (GFA) are typically not included as open space, but given the landscaping, street furniture, and generally open nature of the loggia space, the Planning Commission should provide guidance on the appropriateness of including this area as publicly accessible open space. As stated previously, if this area is considered publicly accessible open space, further refinements to the site programming may be necessary to ensure that this space is usable by the public.

A rooftop garden, located on the fourth floor of the hotel, is also proposed as another publicly accessible

open space component for the proposed project. While the applicant has stated that members of the public do not have to be customers or guests of the hotel to access the rooftop garden, the Planning Commission should provide guidance on whether the rooftop garden meets the requirements of publicly accessible open space, given the location of this component and its potentially more limited access.

Lastly, the applicant is proposing a pathway extending along the southern property boundary to offer a potential pedestrian connection between Haven Avenue and the neighboring multifamily residential development located at 3645-3665 Haven Avenue (Greystar). Staff believes that the proposed pathway connecting between the Greystar property and Haven Avenue does not appear to be an adequate provision of publicly accessible open space. In particular, the applicant needs to more clearly articulate how the pathway to the Greystar property (i.e., toward the rear right corner of the subject property) would be accessible for pedestrians, and the applicant needs to work with the neighboring property owner to confirm the appropriateness of this pathway for both sites. At this time, this open space arrangement is insufficient, and even if a connection to the neighboring Greystar property could be made, it may not be possible for the public to access the neighboring multi-family development site itself.

As such, it is likely that the project would need to incorporate additional open space into the project to comply with the O-B zoning requirements for the subject property. Staff will be working with the applicant to modify the project to comply with the Zoning Ordinance accordingly.

### **Trees and landscaping**

The applicant has submitted an arborist report (Attachment D), detailing the species, size, and conditions of the heritage and non-heritage trees on site. The report discusses the impacts of the proposed improvements and provides recommendations for tree maintenance and the protection of some trees, based on their health. As part of the project review process, the arborist report was reviewed by the City Arborist.

Based on the arborist report, there are two heritage trees located within the subject property and one heritage tree located in the property adjacent to the subject property to the south (3715 Haven Avenue), which are summarized in Table 1 below.

Tree Number	Species	Size (Diameter)	Proposed Removal	Justification
251*	Olive (multitrunk)*	36 inches	No	N/A
255	Ash	17 inches	No	N/A
257	Monterey Pine	25 inches	Yes	Fair/poor health, pitch canker disease, multiple dead limbs

\* This tree is located off site, immediately to the south of the subject property at the neighboring property located at 3715 Haven Avenue and facing the Haven Avenue right-of-way.

There are seven non-heritage trees located within the subject property, and the arborist report identifies five additional non-heritage street trees located in the right-of-way adjacent to the subject property. None of these non-heritage trees are proposed for removal.

To protect the heritage and non-heritage trees on site, the arborist report has initially identified tree protection fencing as a suitable protection measure for several trees on site, with varying tree protection zone (TPZ) sizes based on the roots and trunk diameters of the affected trees.

The landscape plan and arborist report are not currently consistent and staff will be working with the applicant team to revise the documents for consistency after the study session. At this time, the City Arborist is still reviewing the report, including the tree protection measures, and updates to the report may be required during the review process. As such, no heritage tree removal permits would be approved until the Planning Commission has taken final action on the proposed project.

### ***Green and sustainable building***

In the O-B zoning district, projects are required to meet the following green and sustainable building regulations:

- Meet 100 percent of its energy demand through any combination of on-site energy generation, purchase of 100 percent renewable electricity, and/or purchase of certified renewable energy credits;
- Design to meet LEED (Leadership in Energy and Environmental Design) Silver BD+C;
- Comply with the electric vehicle (EV) charger requirements adopted by the City Council in November 2018;
- Incorporate bird-friendly design in the placement of the building and the use of exterior glazing;
- Water use efficiency;
- Placement of new buildings 24 inches above the Federal Emergency Management Agency (FEMA) base flood elevation (BFE) to account for sea level rise; and
- Waste management planning.

Details regarding how the proposed building would meet the green and sustainable building requirements will be provided as the project plans and materials are further developed. At this time, the applicant has acknowledged these requirements but has not provided them within their plan set, instead seeking to address them following the study session.

### ***Planning Commission considerations***

The following comments/questions are suggested by staff to guide the Commission's discussion, although Commissioners should feel free to explore other topics of interest. Some of the topics listed below were previously identified throughout the staff report.

- **Architectural design and materials.** Is the choice to mix architectural styles an appropriate choice for this proposed hotel? Does the Planning Commission believe the overall proposal contains a cohesive design, provides visual interest, and breaks up the massing in its design?



- **Appropriateness of the hotel use.** Does the Planning Commission believe that the inclusion of the hotel use along Haven Avenue is appropriate for this immediate community, given the level of development in the area? Hotels are conditional uses and require use permit review and approval by the Planning Commission when not located on a parcel identified as O-H (Office, Hotel) on the adopted Zoning Map.
- **Public open space considerations.** Is the covered loggia, along with the rooftop garden, appropriate as public open space? Further, does the Planning Commission agree with the assessment that the proposed perimeter nature walk does not constitute adequate publicly accessible open space?
- **Overall approach.** Is the overall aesthetic approach for the project consistent with the Planning Commission's expectations for a hotel within the Bayfront area? Does the Planning Commission believe that the proposed project's architectural design and site layout are compatible with the community and neighboring developments?

### **Correspondence**

Staff has not received any correspondence on the project. The applicant indicates in their project description letter that the applicant team held a community meeting, wherein they spoke with three individuals not permanently residing in the community. In addition, the applicant states that they separately met with the property owner at 3757 Haven Avenue.

### **Impact on City Resources**

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project. The project sponsor is also required to bear the cost of the associated environmental review.

### **Environmental Review**

As a study session item, the Planning Commission will not be taking an action, and thus no environmental review is required at this time. The overall project will be evaluated in relation to the Environmental Impact Report (EIR) prepared for the ConnectMenlo General Plan Update, and will be required to apply the relevant mitigation measures and/or conduct additional environmental analysis based on the specifics of the proposed project. At a minimum, a transportation impact analysis (TIA) would be prepared for the project, consistent with the City's adopted TIA Guidelines.

### **Public Notice**

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

## **Attachments**

- A. Location Map
- B. Project Description Letter
- C. Project Plans
- D. Arborist Report

## **Disclaimer**

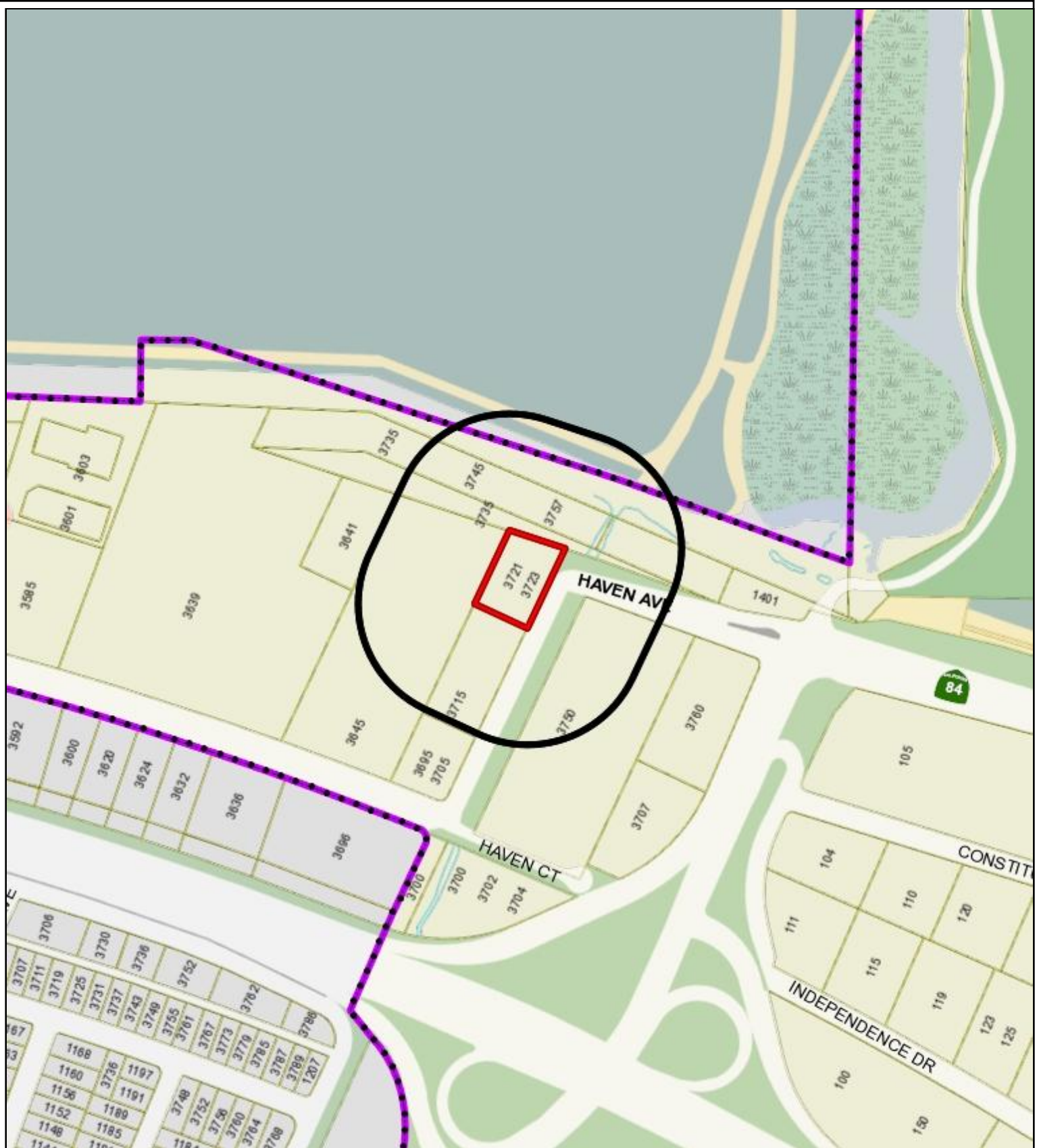
Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings, and exhibits are available for public viewing at the Community Development Department.

## **Exhibits to Be Provided at Meeting**

Color and Materials Board

Report prepared by:  
Matt Pruter, Associate Planner

Report reviewed by:  
Kyle Perata, Principal Planner



City of Menlo Park  
 Location Map  
 3723 Haven Avenue



Scale: 1:4,000

Drawn By: MAP

Checked By: KTP

Date: 8/26/2019

Sheet: 1



August 15, 2019

Matthew Pruter  
City of Menlo Park  
City Hall - 1st Floor  
701 Laurel St.  
Menlo Park, CA 94025

Re: Menlo Park Proposed Hotel Narrative

Dear Mr. Pruter,

Thank you for your consideration of the proposed hotel development. We look forward to the next meeting on August 28, 2019.

We have provided the project narrative below for your review.

**Address**

3723 Haven Avenue, Menlo Park, CA

**Existing**

Currently, there is a 1-story office building on the site with approximately 13,500 square feet along with a 4500 sq. ft. warehouse.

**Proposed**

Proposed 8-Story hotel building; consisting of 167 rooms and 126 parking spaces.

Level 1: Parking, Service areas, Elevators to Jump Lobby  
Levels 2-3: Above grade parking  
Level 4: Jump Lobby including a lounge, fitness center and library.  
Levels 5-8: Guestrooms

The guestroom levels will begin at 44' above the finished floor.

**222 Lakeview Avenue, Suite 200  
West Palm Beach, FL 33401**

## **Design Overview**

In general, the Hotel intends to be a neighborhood resource, and thus will provide reasonable access to the roof garden amenity, bar and lounge area for dining and entertaining.

The project has many areas open to the public, including the nature trail, the front plaza area along Haven Avenue, the coffee shop, and the hardscape area around the main entry.

As the ground level garden and hardscape shall be accessed by the public, especially the neighbors who live in the apartments behind our hotel, and the office workers on each side of the hotel, a ground floor coffee shop is being offered as a neighborhood amenity which can be directly accessed from the street and sidewalk, as opposed to entering through the hotel.

Access to the podium level garden is via the public lobby on ground level, by high speed elevator (traction) to the podium level. Members of the public, neighbors and office workers shall be able to take this route to the podium level garden without having to be a hotel guest, have a key or check in with the hotel staff.

## **Food & Beverage**

The hotel management will make the bar and rooftop garden open to the public during daytime business hours, and until bar closing hour. Any public activity past ten PM may be subject to control due to noise which can interfere with hotel guests trying to sleep.

While interior dining and lounge spaces may be reserved for hotel guests or paying customers, the public shall be allowed to access these spaces as a customer, during normal business operations between 6am and 10pm.

Hotel will have a 1 full bar open standard hours per city code. Lobby and public areas are open 24 hours. Residents from neighboring areas will have 24 access to the hotel however loitering and soliciting will not be allowed. "Doors will always be open."

Lobby area will be open 24 hours to all guests and the public and will offer free "super" wifi internet. Guests and the public can essentially use the hotel lobby work areas as no charge "wework" space with local coffee and beverage available for purchase – i.e. Emerald Hills Roastery, etc. Our goal is to make the F&B experience very "Menlo" and unique from neighboring cities.

Light continental breakfast and tapas style foods will be served for lunch and dinner. Menu will be determined by Marriott but will be local foods based with as much of a farm to table concept as possible and a local fare twist. Special food events (unique food trucks, celebrity chef, etc) will be advertised and open to the public; mostly on the weekends. The dining concepts will not be full fare meals, just very healthy small plates at price points to serve the general public.

**222 Lakeview Avenue, Suite 200  
West Palm Beach, FL 33401**



## **Parking**

Parking will be valet only 24/7. Depending on need public parking will be available during slower periods however guest parking will be priority. Parking Stackers will only be operated by the trained professional valet staff. Guest will not have access them.

The stacker being used is a hydraulic, prefabricated system, that is progressive in its design, as it can provide greater parking capacity to valet parking, with environmentally friendly benefits of utilizing less space, concrete and building structure, while conveniently storing away cars for easy retrieval

## **Neighborhood Meeting**

We had our neighborhood meeting as scheduled on 8/6/19. As you are aware, we had the meeting at the Hotel Nia which is very close to the proposed Moxy Hotel site.

We had only three people come to the meeting. One stated he lived nearby but not very close. One stated he was from LA and was a friend of an employee at Facebook. We didn't get the other individual who was with these folks.

Upon further research, we found out they were from the Hotel Nia. They are as follows:

These gentlemen from Ensemble showed up to our meeting.

<https://ensemble.net/company/team/>

1. Kambiz Babaoff – Chairman
2. Brian Ehrlich – Chief Investment Office
3. Third I did not see on their website.

They were basically inquiring information on our project since they were part of the group that financed the Nia.

## **No neighbors showed up.**

I also met personally with JoAnn and Paul Tyson on 8/5/19 at 1:30pm. They are the adjacent landowners of the dog kennel, daycare, boarding and grooming business as well as the storage facility located at 3757 Haven Avenue, Menlo Park, CA. This meeting went extremely well and I am having my attorney write up the agreement. I promised them that I would proffer several things during the approval process. They are as follows:

- 1) When we rework the driveway, we cannot do any work between the hours of 6:30 AM – 9:30 AM and 4:30 PM – 7:00 PM.
- 2) We will be required to provide the land owners the following:
  - a. Updated plans with details showing the revised driveway, curbing etc.

**222 Lakeview Avenue, Suite 200  
West Palm Beach, FL 33401**

- b. They want to have the contact information of the project supervisor so if they have any questions and concerns, they have direct access to that person.
  - c. We will need to keep them updated as to the schedule and invite them to the job meetings (monthly) so if they want to attend, they are more than welcome. The schedule is critical to them because one of the businesses is a dog grooming and training facility. Noise is a big factor with this type of business.
  - d. We need to have a pre-construction meeting with them to show the “anticipated” schedule and introduce the parties. This should take place a minimum of two weeks prior to the start of construction.
- 3) A critical provision needs to include that we are well aware this is a dog kennel, daycare and boarding facility which provides some grooming services. Also to include, we have no issue with this business and the related noise of barking dogs.

One remaining issue that we cannot determine is that if the neighbors want the pathway that could connect the apartments to the hotel. We will do whatever the City would like us to do. As of now, we are keeping the connection on the plans.

### **Brand**

Moxy Hotels serves as a playground that attracts Fun Hunter travelers and is designed to give guests everything they want and nothing they don't at an affordable price. Lively public spaces, minimalist style and cozy guest rooms offer up a new way of traveling. The brand is well suited for urban/metro areas with a favorable cost-to-build model, featuring efficient rooms and a lean staffing model.

For more information; please visit <http://moxy-hotels.marriott.com/en/our-story>.

### **FPG Development Group**

Based in Palm Beach, Florida, FPG Development Group is a fully integrated, privately held, real estate operating company with a knowledgeable and experienced management team. As a group, they have more than 150 years of experience in development and operations in the top 25 U.S. MSAs and major coastal markets and have been involved, together with their investors, in the development, acquisition and management of more than 170 hotels, valued at more than \$1.75 billion.

The company has well established, strong relationships with the hotel industry's leading premium brand families, including Hilton, Hyatt, Marriott.

Thank you for your consideration and again we look forward to the August 28, 2019 meeting.

**222 Lakeview Avenue, Suite 200  
West Palm Beach, FL 33401**

Sincerely,

Richard Mielbye  
President  
FPG Development Group LLC

**222 Lakeview Avenue, Suite 200  
West Palm Beach, FL 33401**



MOXY HOTEL

HAVEN AVENUE  
MENLO PARK  
CALIFORNIA

ISSUE: DESCRIPTION: DATE:

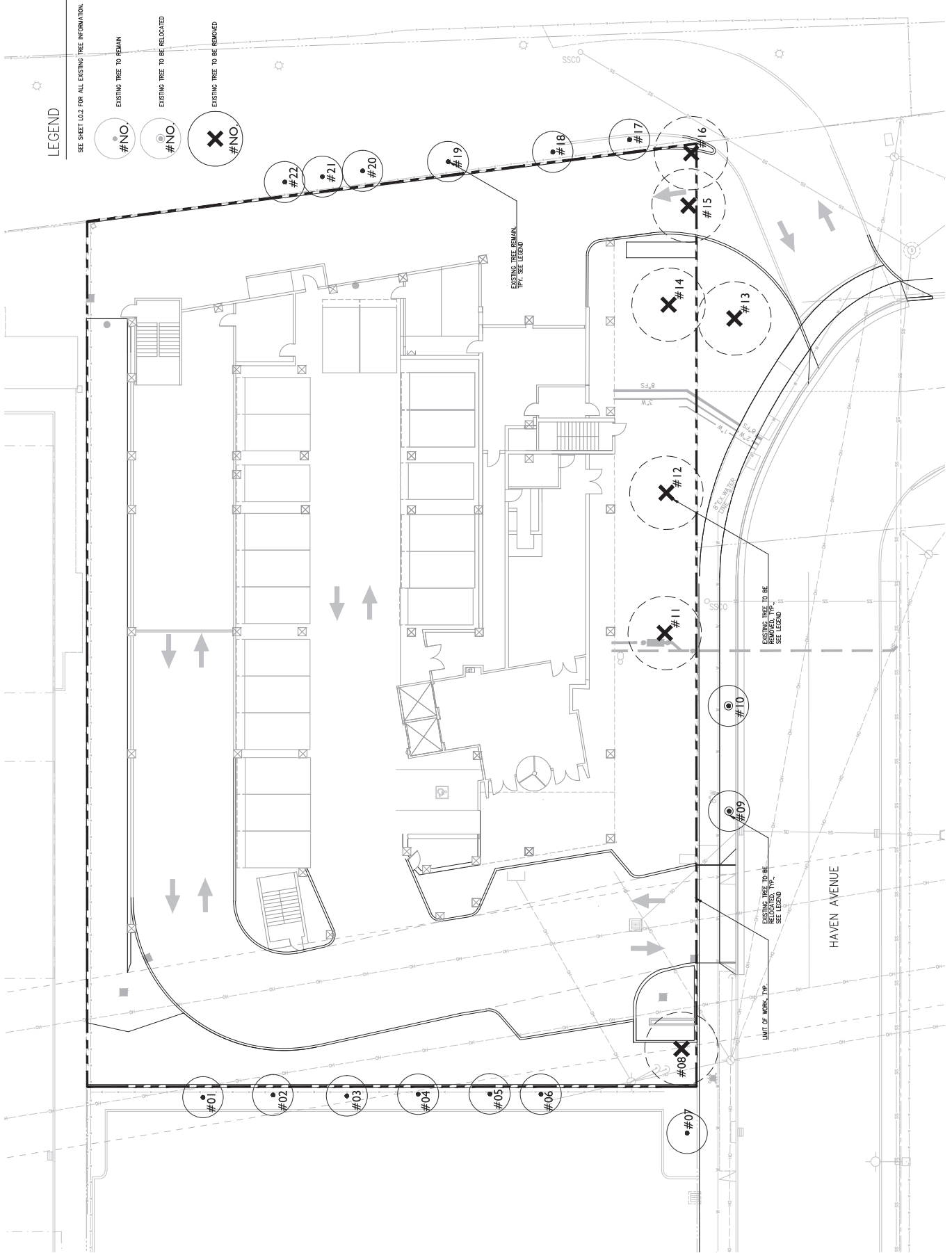
NOT FOR CONSTRUCTION

PROJECT NUMBER: P5973  
 DRAWN: MF  
 CHECKED: EG  
 DATE: 08/20/2016  
 SCALE: 1"=10'-0"



TREE REMOVAL PLAN

L0.1



# MENLO PARK, CA - HOTEL PROPOSAL

## JULY 15, 2019

# COVER SHEET

# 0.0



### DRAWING INDEX

- 0.1 Area Map
- 0.2 Color Site Plan
- 0.3 Site Plan
- 0.3B Alternate Site Plan
- 1.0 Ground Floor Plan
- 1.1 Exit Stair Blow-up Plans
- 2.0 Second Floor Plan
- 3.0 Third Floor Plan
- 4.0 Fourth Floor Plan
- 5.0 Fifth Floor Plan
- 6.0 Sixth Floor Plan
- 7.0 Building Coverage Diagram
- 8.0 Open Space Diagram
- 9.0 Building Outline
- 10.0 On & Off-site Diagram
- 11.0 Hardscape/Landscape Diagram
- 12.0 Front Elevation
- 13.0 South Elevation
- 14.0 West Elevation
- 15.0 North Elevation
- 15.1 Perspective Elevations
- 16.0 Building Section
- 17.0 Streetscape Section
- 17.1 Streetscape Sections
- 17.2 Streetscape Sections
- 17.3 Streetscape Elevation - Haven Ave
- 17.4 Blow-up Section at Loggia
- 18.0 Perspective Views - Aerial
- 18.1 Aerial Views of East & South
- 18.1B Alternate Views of Front Plaza
- 18.1B2 Alternate Views of Front Plaza
- 19.0 Perspective Views - 4 Sides
- 19.1 Ground Perspectives
- 19.2 Night Views
- 19.3 Night Views
- 19.4 Night Views
- 20.0 Perspective Views - Plaza
- 20.1 Perspective Views - Plaza
- 20.2 Various blowup views
- 20.3 Nature Trail Views
- 21.0 Amenity Deck Plan
- 21.1 Amenity Deck Views
- 21.2 Amenity Deck Views
- 21.3 Amenity Deck Views
- 22.0 Moxy Brand Images
- 22.1 Moxy Brand Room Design
- 22.2 Moxy Program
- 22.3 Moxy Program
- 23.0 Material Board Images
- 23.1 Material Board Samples \*\*
- 23.2 Material Board Samples \*\*
- 24.0 Code Analysis
- 24.1 Code Analysis
- 24.2 Code Analysis
- 25.0 Closing Sheet

### CIVIL DRAWING INDEX\*\*

- SHEET 1 (26.0) TOPOGRAPHIC BOUNDARY SURVEY
- SHEET C2.1 (27.0) HORIZONTAL CONTROL PLAN
- SHEET 3.1 (28.0) GRADING PLAN
- SHEET C4.1 (29.0) UTILITY PLAN
- SHEET C5.1 (30.0) STORMWATER CONTROL PLAN
- SHEET C6.1 (31.0) FIRE TRUCK EXHIBIT (\*\*follow 25.0 of Architectural Drawings)

**ZONING SUMMARY**  
 3723 HAVEN AVENUE  
 MENLO PARK, CA  
 LAND USE O-8 (OFFICE-BONUS)  
 HEIGHT LIMIT 110 FEET (for Hotels)  
 MAX FAR = 1.75 FOR HOTEL  
 ALLOWABLE AREA = 58,086 SF

**SETBACKS:**  
 5 FT AT STREET, 25 FT MAX  
 20 FEET FROM ROW PER  
 PRIVATE EASEMENT ON TITLE  
 FIRE LANE = 15 TO 30 FEET  
 (20 FEET REQUESTED)  
 POWERLINE EASEMENT ZONE  
 40 FEET WIDE ALONG SOUTH END  
 OF SITE

**SITE AREA = 33,192 SF**  
 EASEMENT AREA 5,730 SF  
 FIRE LANE AREA 2,266 SF  
 BUILDABLE AREA 25,271 SF

**PARKING REQUIREMENTS**  
 MIN 75 SPACES PER GUEST ROOM  
 MAX 1.1 SPACES PER GUEST ROOM  
 167 GUEST ROOMS PROVIDED  
 126 SPACES MINIMUM  
 126 PROVIDED

\*ALSO SEE WALKER PARKING CONSULTANTS  
 REPORT PROVIDED FOR TRAFFIC/PARKING  
 DEMAND

OPEN SPACE REQUIRED 30% = 9956 SF  
 PUBLIC OPEN SPACE = 1/2 OF 30% = 4979 SF

LANDSCAPE REQUIRED  
 40% ALONG HAVEN AVENUE FRONTAGE  
 FENESTRATION REQUIRED  
 50% FLOOR TO CEILING ALONG  
 HAVEN AVENUE FRONTAGE

ARBORIST SUMMARY: 2 HERITAGE TREES  
 IDENTIFIED AS MONTEREY PINE AND  
 ASH, MONTEREY PINE  
 RECOMMENDED FOR REMOVAL DUE TO  
 DISEASE. SEE 0.3 FOR LOCATION OF ASH  
 SEE ARBORIST MAP FOR OTHER TREES



**PROJECT CONTACTS:**  
 Chris Coonan, Sr. Project Designer, Leo A Daly Architects  
 C.Coonan@LeoADaly.com Phone: 949-520-0006

Ken Martin, Managing Principal, Leo A Daly Architects KJMartin@LeoADaly.com  
 Al Shaghghi, Principal, AMS Associates Civil Engineers Al@Amsassociates.us  
 Rick Mielbye, Owner, FPG Development, RMielbye@fpg-corp.com

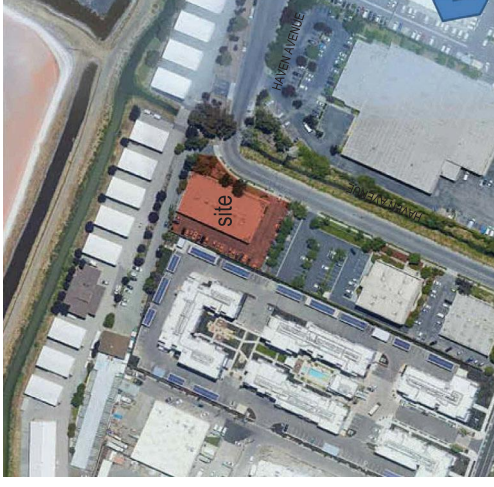
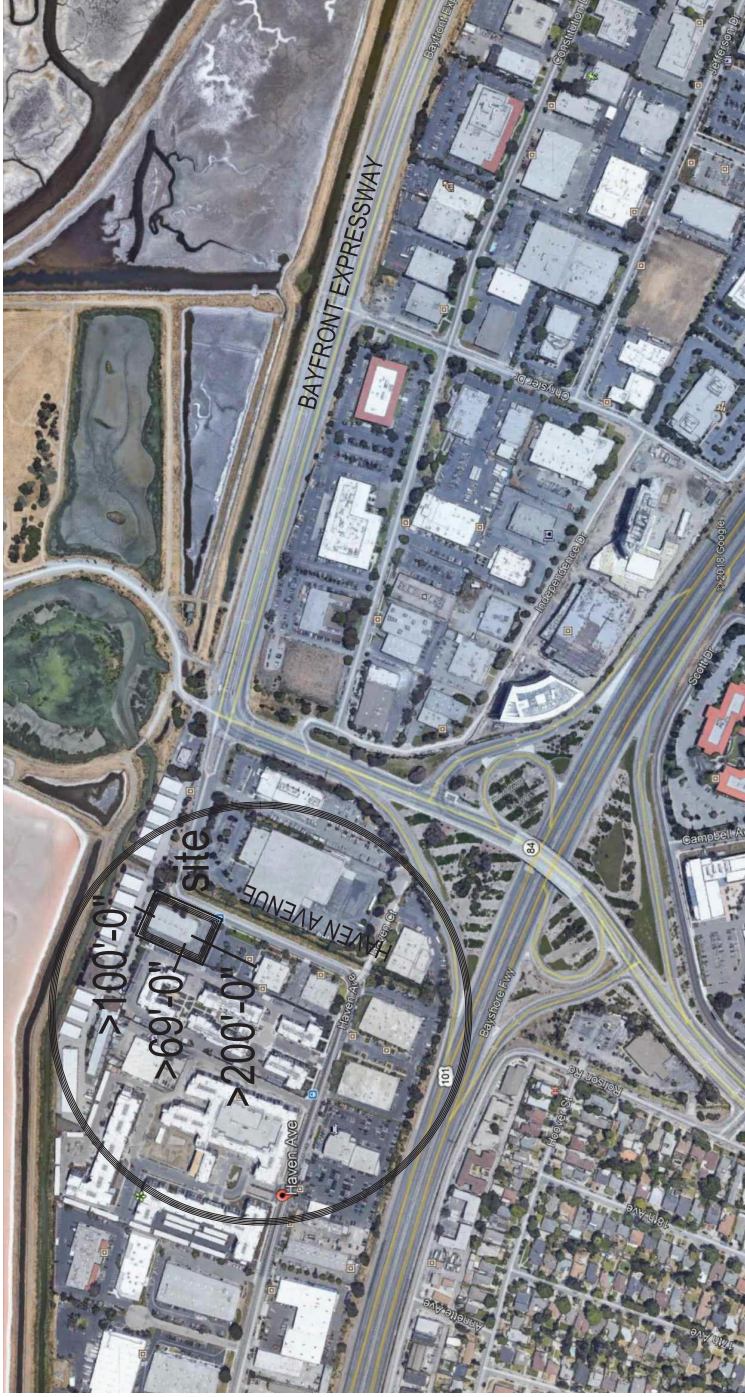


\*\*Material Board Samples 23.1 and 23.2, not bound into drawing set, but provided as exhibit boards\*\*





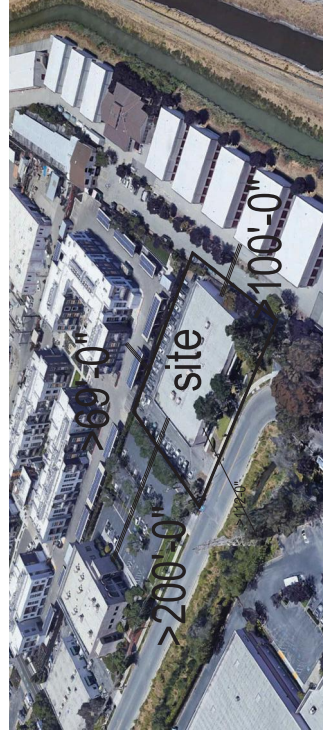
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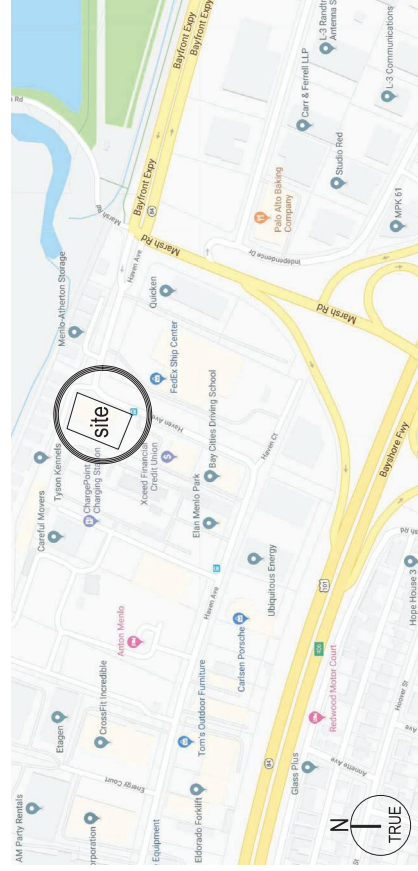
SITE MAP



AREA MAP



EXISTING AERIAL PHOTO LOOKING WEST  
SEE STREET SECTIONS ON SHEETS 17.0, 17.1, 17.2 FOR DISTANCES  
BETWEEN BUILDINGS AND PROPOSED HOTEL & Also 17.3 FOR STREET ELEVATION SHOWING ACTUAL GAPS BETWEEN BUILDINGS



ROAD MAP & BUSINESSES

TOPO & MASS







0.3



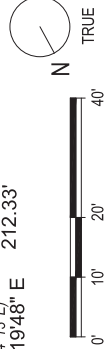
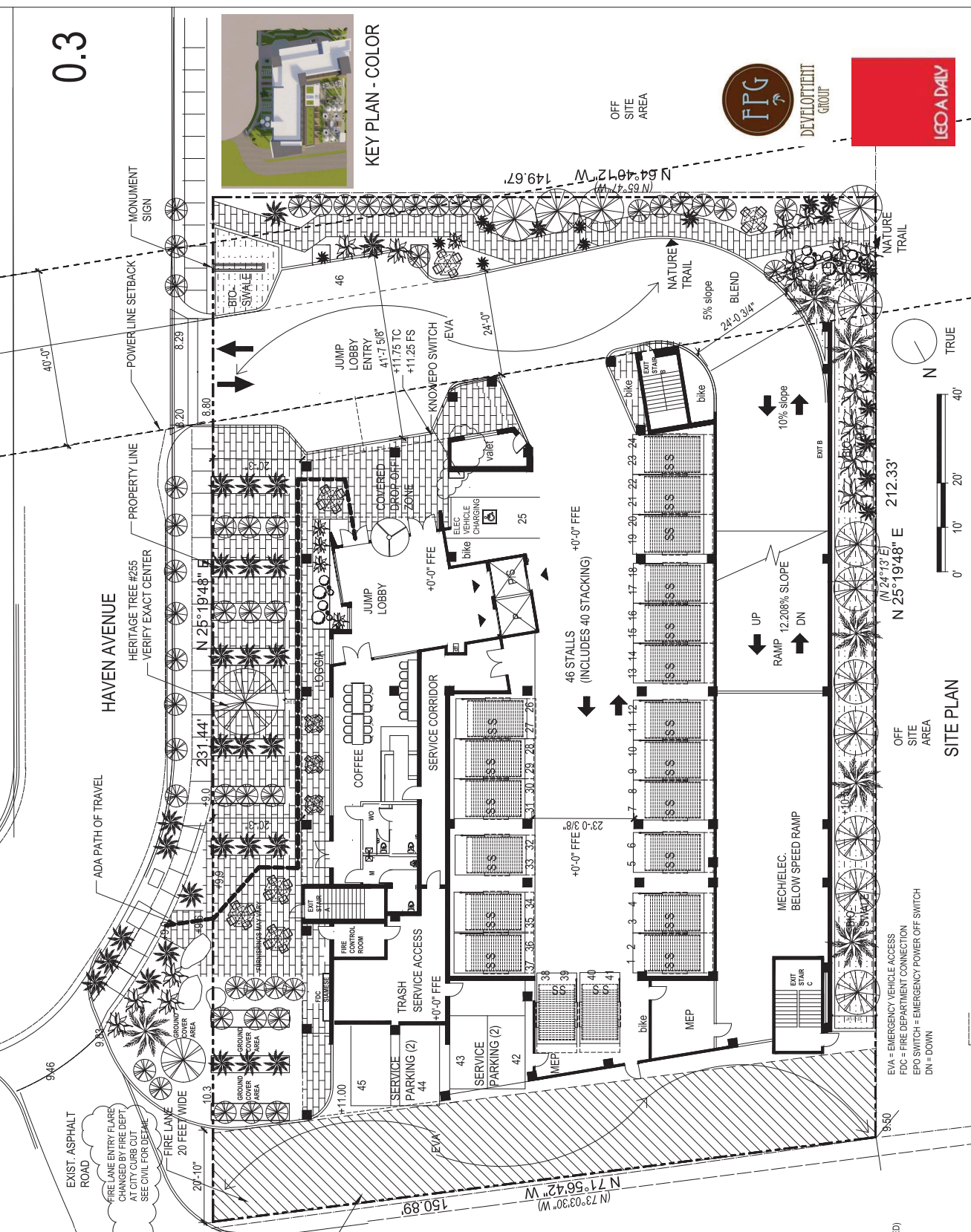
KEY PLAN - COLOR



DEVELOPMENT GROUP



OFF SITE AREA



SITE PLAN

OFF SITE AREA  
EVA = EMERGENCY VEHICLE ACCESS  
FDC = FIRE DEPARTMENT CONNECTION  
EPO SWITCH = EMERGENCY POWER OFF SWITCH  
DN = DOWN

SITE AREA = 33,192 SF  
EASEMENT AREA 5,730 SF  
FIRE LANE AREA 2,295 SF  
BUILDABLE AREA 25,271 SF

FIRE LANE AT 15 FT. WIDE CHANGED BY FIRE DEPT. TO 20 FEET WIDE

KEYS PER FLOOR  
4TH FLOOR 19 KEYS  
5TH FLOOR 37 KEYS  
6TH FLOOR 37 KEYS  
7TH FLOOR 37 KEYS  
8TH FLOOR 37 KEYS  
TOTAL 167 KEYS

PARKING SUMMARY  
1ST LEVEL 45 STALLS (INCL. 4 SERVICE STALLS)  
2ND LEVEL 39 STALLS + 3 TANDEN (VALET)  
3RD LEVEL 42 STALLS + 3 TANDEN (VALET)  
728 STALLS (75 PROVIDED, 75 REQUIRED)  
28 STALLS REQUIRED AT 100 KEYS  
131 STALLS INCLUDING TANDEN STALLS

1ST FL BUILDING AREA = 4300 SF  
1ST FL MECHANICAL AREA = 4006 SF  
TOTAL ENCLOSED AREA = 8306 SF

BUILDING AREA SUMMARY:  
FLOORS 5-8 = 38,816 GSF  
FLOOR 4 = 10,831 GSF  
FLOOR 1 = 8306 GSF

TOTAL GROSS = 57,953 GSF (58,066 GSF ALLOWED)



0.3B



KEY PLAN - COLOR



DEVELOPMENT GROUP



OFF SITE AREA



HERITAGE TREE #255  
VERIFY EXACT CENTER

HAVEN AVENUE

ADA PATH OF TRAVEL

EXIST. ASPHALT ROAD

FIRE LANE ENTRY FLARE CHANGED BY FIRE DEPT. AT CITY CURB CUT. SEE CIVIL FOR DETAILS.

SITE AREA = 33,192 SF  
EASEMENT AREA 5,730 SF  
FIRE LANE AREA 2,295 SF  
BUILDABLE AREA 25,271 SF

FIRE LANE AT 15 FT. WIDE CHANGED BY FIRE DEPT. TO 20 FEET WIDE

KEYS PER FLOOR  
4TH FLOOR 19 KEYS  
5TH FLOOR 37 KEYS  
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7TH FLOOR 37 KEYS  
8TH FLOOR 37 KEYS  
TOTAL 167 KEYS

OFF SITE AREA

PARKING SUMMARY  
1ST LEVEL 45 STALLS (INCL. 4 SERVICE STALLS)  
2ND LEVEL 39 STALLS + 3 TANDEN (VALET)  
3RD LEVEL 42 STALLS + 3 TANDEN (VALET)  
28 STALLS (75 PROVIDED, 75 REQUIRED)  
28 STALLS REQUIRED AT 100 AC/FH  
131 STALLS INCLUDING TANDEN STALLS

1ST FL BUILDING AREA = 4300 SF  
1ST FL MECHANICAL AREA = 4006 SF  
TOTAL ENCLOSED AREA = 8306 SF

BUILDING AREA SUMMARY:  
FLOORS 5-8 = 38,816 GSF  
FLOOR 4 = 10,831 GSF  
FLOOR 1 = 8306 GSF

TOTAL GROSS = 57,953 GSF (58,086 GSF ALLOWED)

EVA = EMERGENCY VEHICLE ACCESS  
FDC = FIRE DEPARTMENT CONNECTION  
EPO SWITCH = EMERGENCY POWER OFF SWITCH  
DN = DOWN

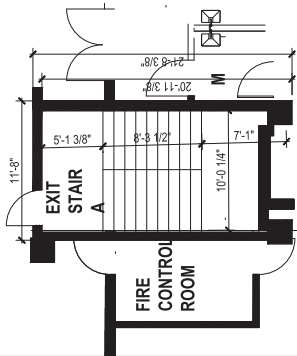
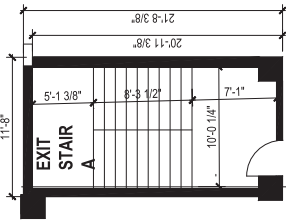
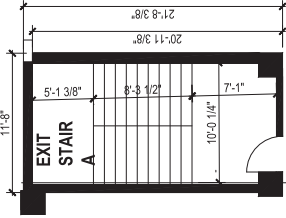
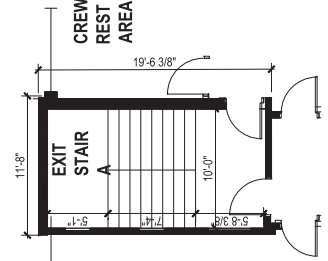
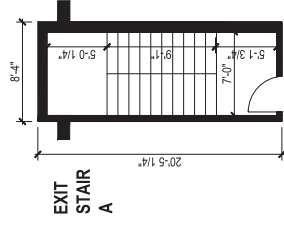
ALTERNATE SITE PLAN







# 1.1



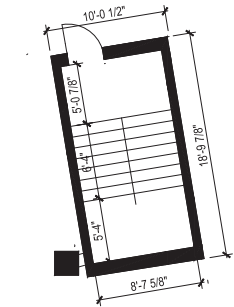
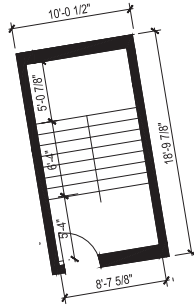
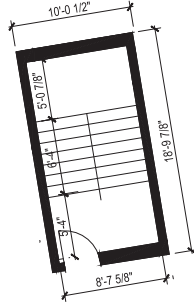
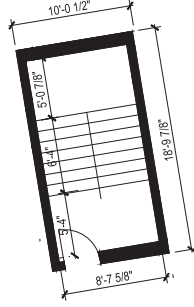
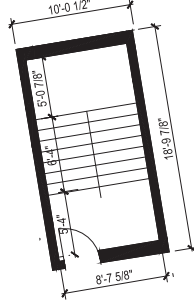
LEVEL 5-8

LEVEL 4

LEVEL 3

LEVEL 2

LEVEL 1 - GROUND LEVEL



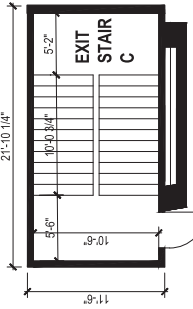
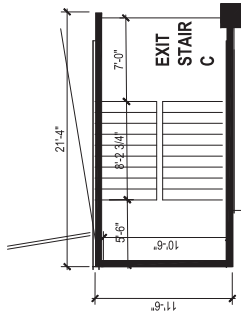
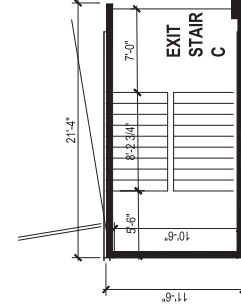
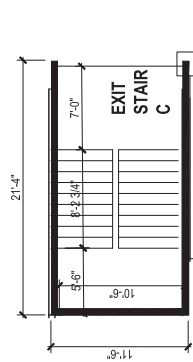
LEVEL 5-8

LEVEL 4

LEVEL 3

LEVEL 2

LEVEL 1 - GROUND LEVEL



LEVEL 4

LEVEL 3

LEVEL 2

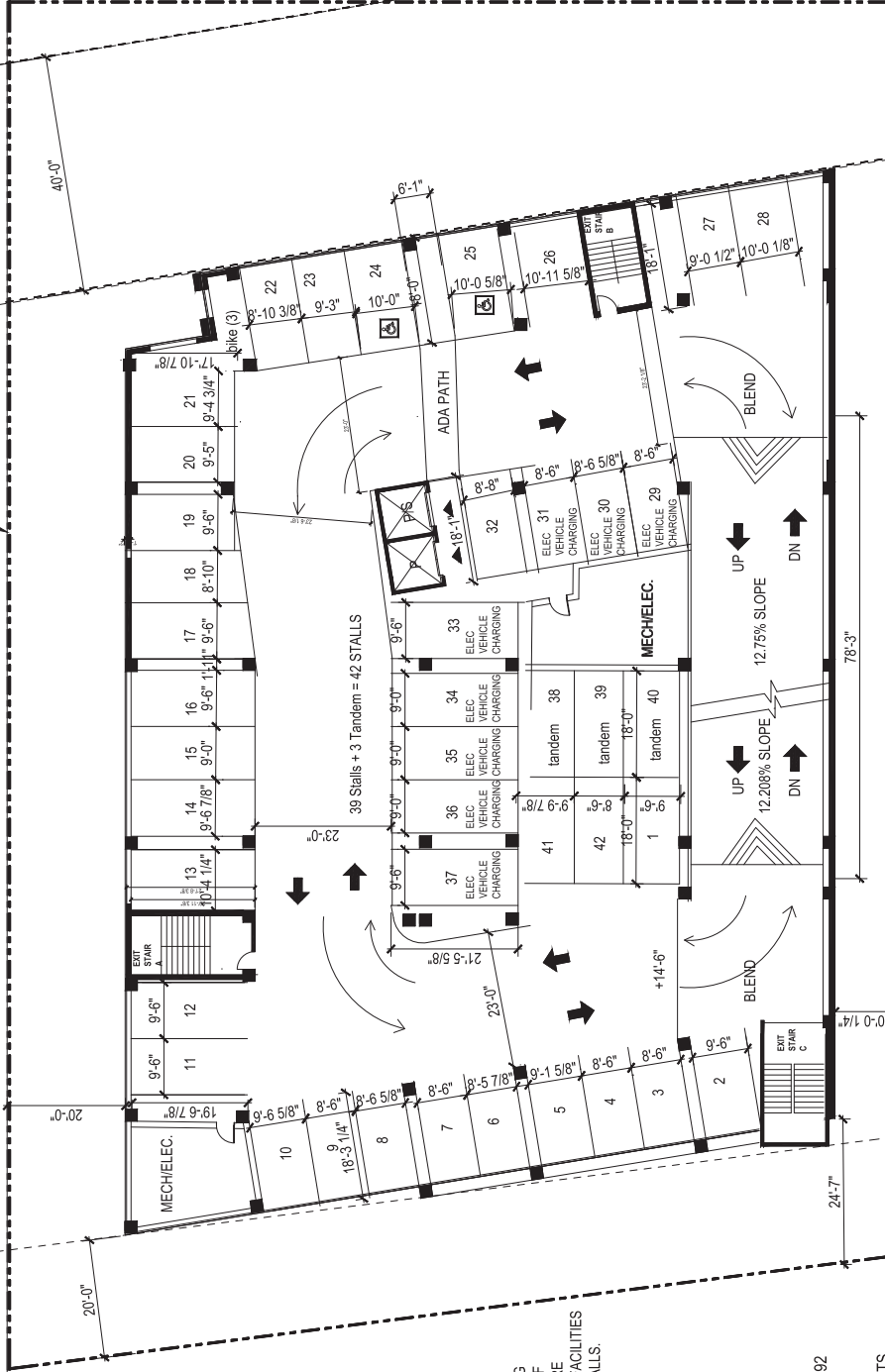
LEVEL 1 - GROUND LEVEL



EXIT STAIR BLOW-UP PLANS

PROPERTY LINE

POWER LINE SETBACK



PARKING AREA

2ND FLOOR = 19,316 GSF

MECHANICAL = 1061 SF/FL

PARKING = 18,255 SF

PER MENLO PARK PARKING ORDINANCE, A MINIMUM OF 5 ADA PARKING STALLS ARE REQUIRED FOR PARKING FACILITIES BETWEEN 101 AND 150 STALLS.

OCCUPANCY

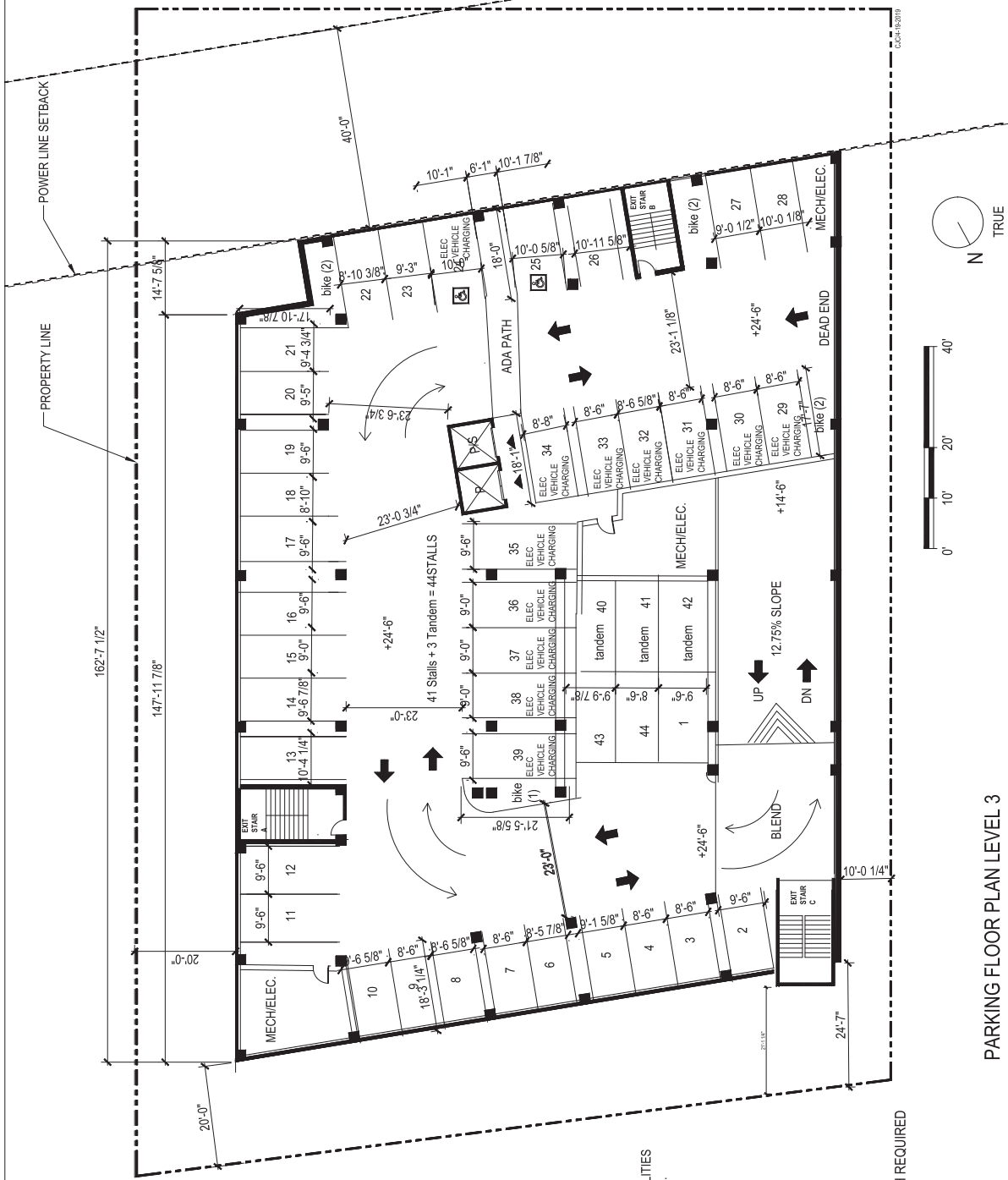
PARKING = 18,255 SF = 92

MECH = 1061 SF = 4

TOTAL = 96 OCCUPANTS

96 X 0.3 = 27.9' EXIT WIDTH REQUIRED

PARKING FLOOR PLAN LEVEL 2



PARKING FLOOR PLAN LEVEL 3

**PARKING AREA**

3RD FLOOR = 19,316 GSF  
 MECHANICAL = 1061 SF  
 PARKING = 18,255 SF

PER MENO PARKING ORDINANCE, A MINIMUM OF 5 ADA PARKING STALLS ARE REQUIRED FOR PARKING FACILITIES BETWEEN 101 AND 150 STALLS.

**OCCUPANCY**

PARKING 18,255 SF = 92  
 MECH = 1061 SF = 4

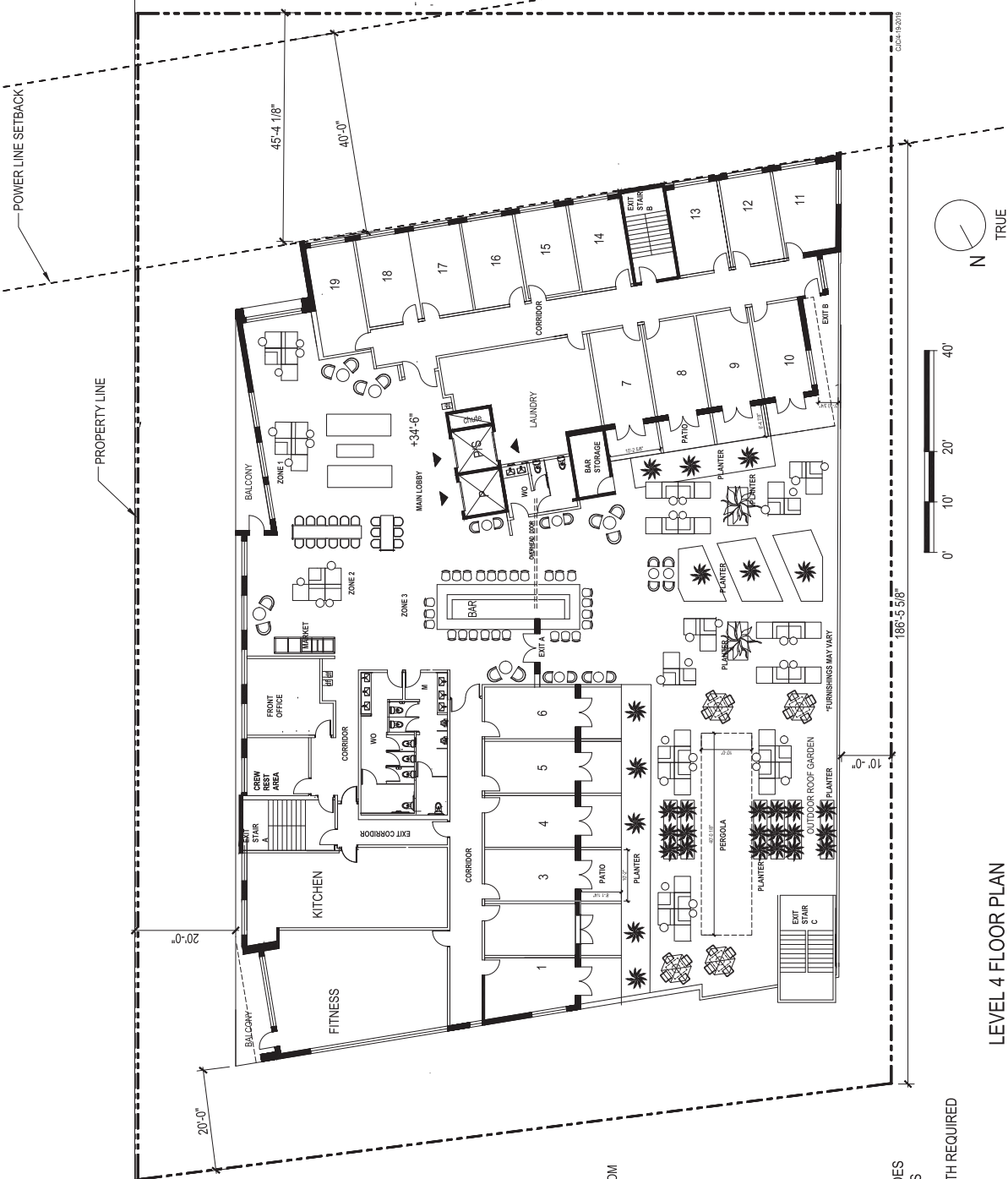
TOTAL = 96 OCCUPANTS

96 X 0.3 = 27.9' EXIT WIDTH REQUIRED

4.0



DEVELOPMENT GROUP



LEVEL 4 FLOOR PLAN

**BUILDING AREA**  
 4TH FLOOR = 12,731  
 SHAFTS+CIRC = 1,900 SF  
 GROSS AREA = 10,831 SF  
 ROOF TOP DECK = 4,874 SF  
 BALCONY = 1007 SF

SEE UNIT 2 FOR TYPICAL ROOM LAYOUT

**OCCUPANCY**  
 A2= 7158 SF = 478  
 B=689 SF = 7  
 EX.=960 SF = 19  
 KIT = 640 SF = 4  
 R = 6030 SF = 31  
 MECH = 1016 SF = 4  
 A2 (G/RR) = 798 SF = 54

**TOTAL = 597 OCCUPANTS**

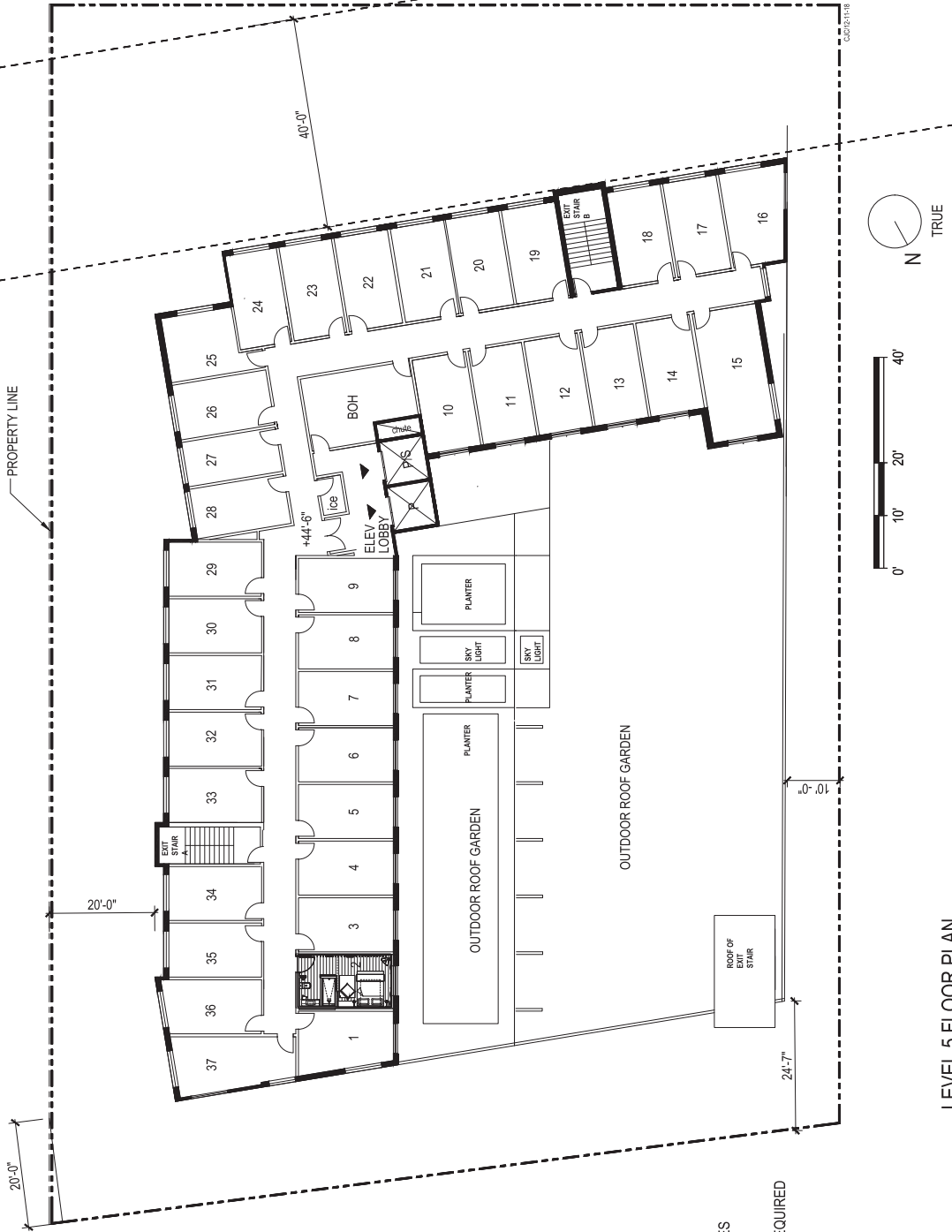
SQUARE FOOTAGE INCLUDES EXTERIOR AREAS & PATIOS

597 X 0.3 = 179.1" EXIT WIDTH REQUIRED

5.0



DEVELOPMENT GROUP



LEVEL 5 FLOOR PLAN

BUILDING AREA  
5TH FLOOR = 9704 GSF

EXT. BALCONY AREA = 849 SF  
SEE UNIT 2 FOR TYPICAL ROOM LAYOUT

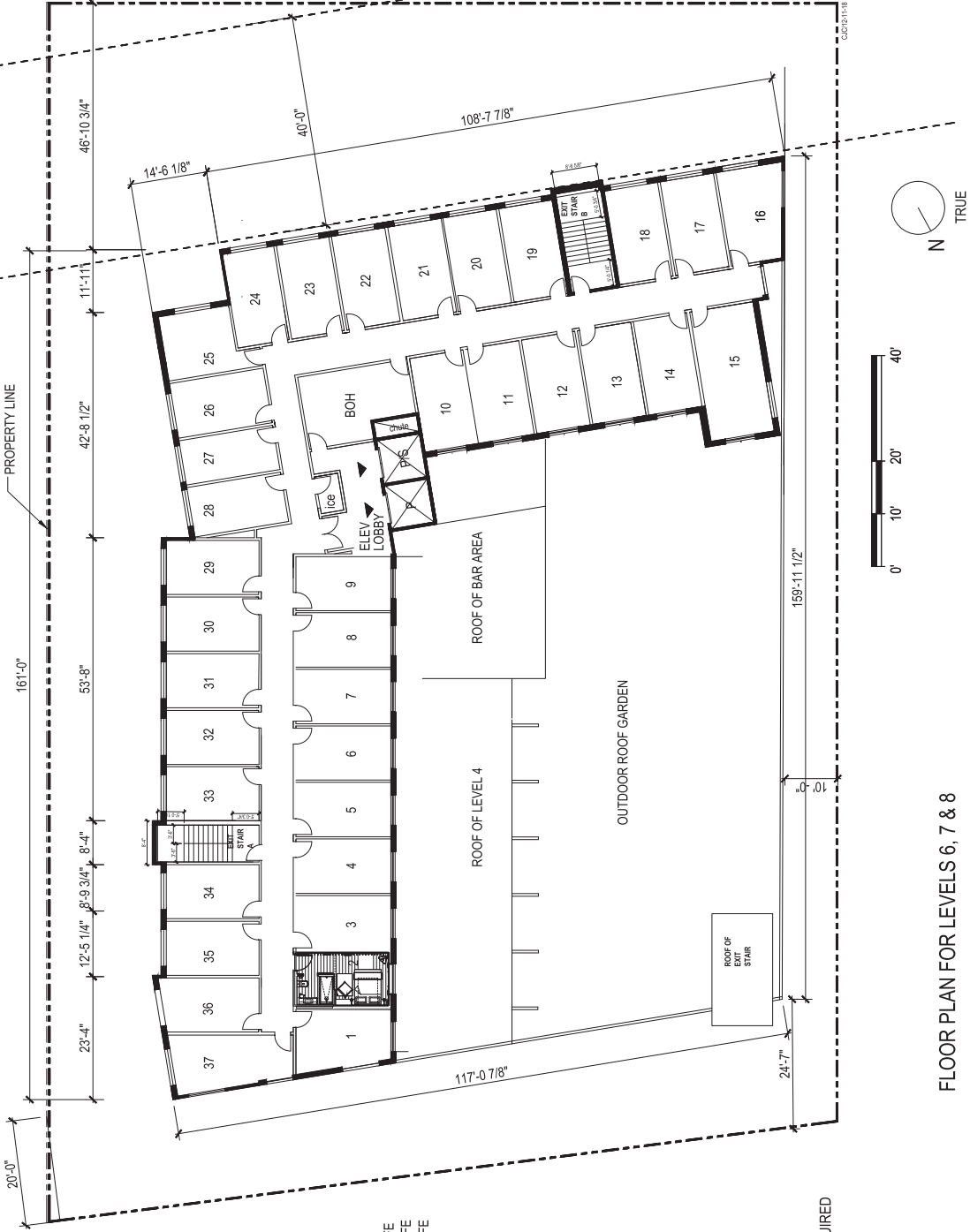
OCCUPANCY  
R = 11,165 SF = 56  
MECH = 289 SF = 1  
TOTAL = 57 OCCUPANTS  
SQUARE FOOTAGE INCLUDES EXTERIOR BALCONIES  
57 X 0.3 = 17" EXIT WIDTH REQUIRED



6.0



DEVELOPMENT GROUP



BUILDING AREA  
 6TH FLOOR = 9704 GSF +54'-6" FFE  
 7TH FLOOR = 9704 GSF +64'-6" FFE  
 8TH FLOOR = 9704 GSF +74'-6" FFE

EXT. BALCONY AREA = 849 SF  
 SEE UNIT 2 FOR TYPICAL ROOM LAYOUT

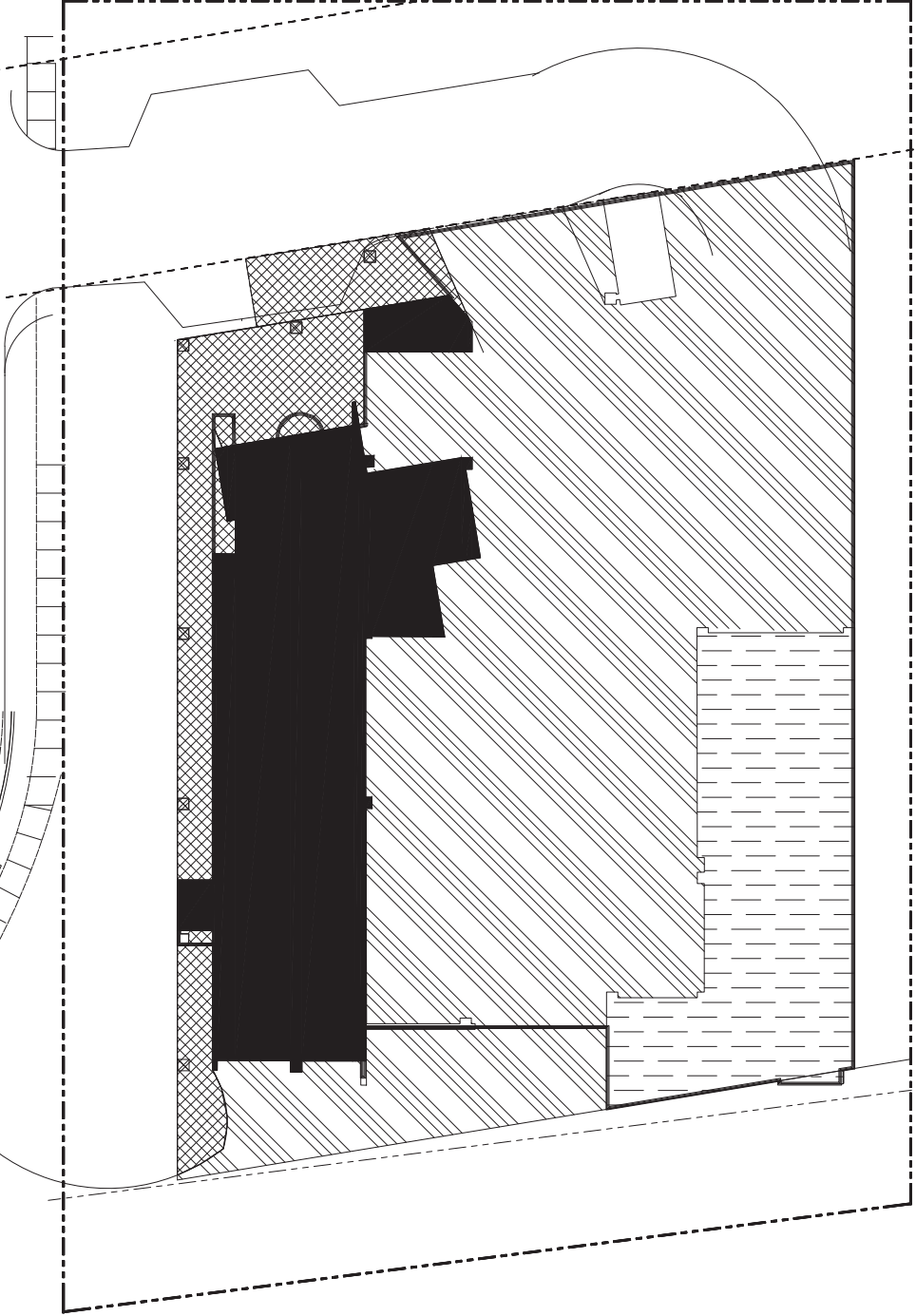
OCCUPANCY  
 R = 11,165 SF = 56  
 MECH = 289 SF = 1

TOTAL = 57 OCCUPANTS  
 SQUARE FOOTAGE INCLUDES EXTERIOR BALCONIES  
 57 X 0.3 = 17" EXIT WIDTH REQUIRED

FLOOR PLAN FOR LEVELS 6, 7 & 8

7.0

- 1ST FLOOR INTERIOR  
4300 SF
- 1ST FLOOR  
PARKING GARAGE  
13,060 SF SF
- MECHANICAL  
4006 SF
- 2ND FLOOR OVERHANG  
13,060 SF SF



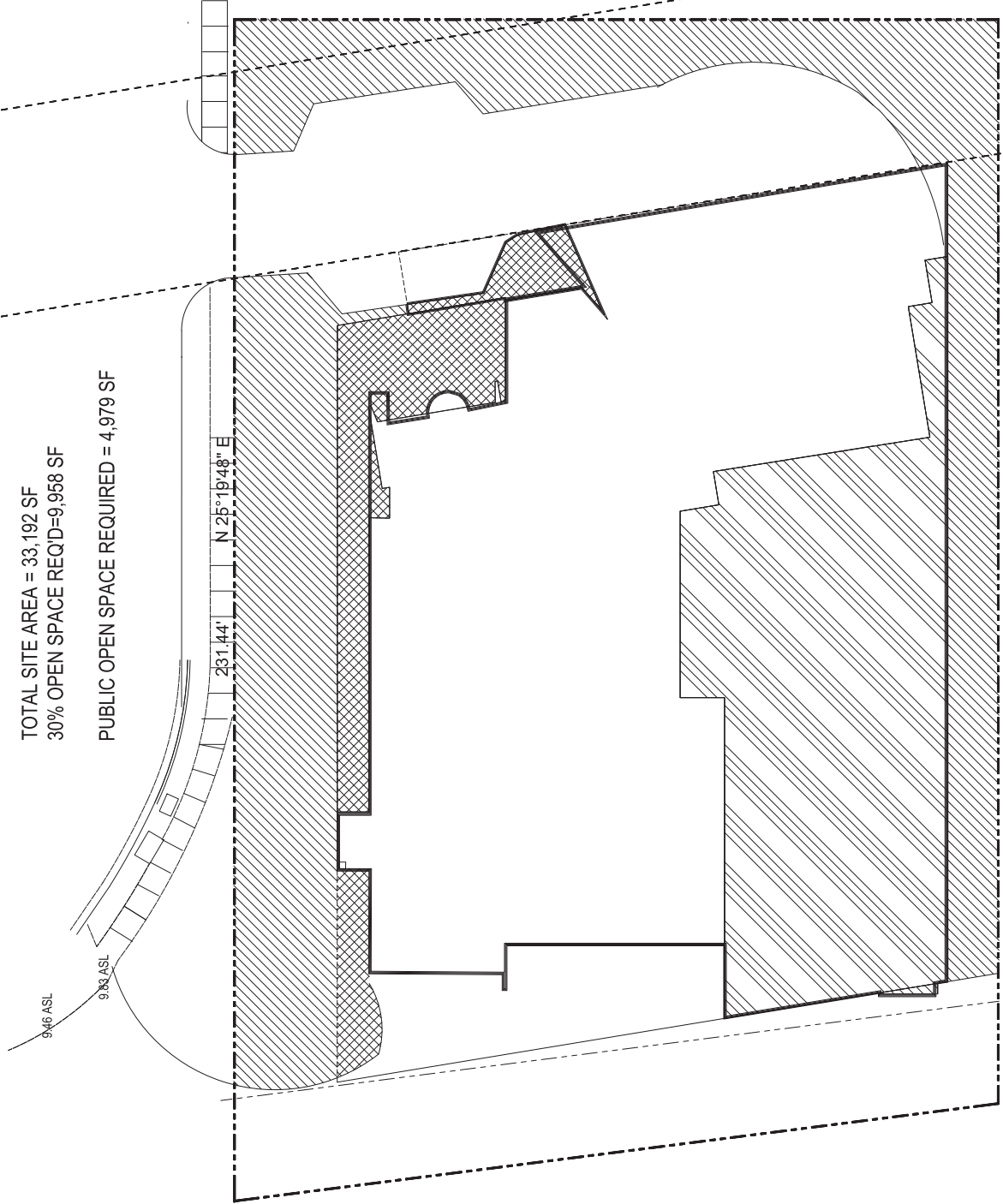
BUILDING COVERAGE DIAGRAM



# 8.0

TOTAL SITE AREA = 33,192 SF  
 30% OPEN SPACE REQ'D=9,958 SF

PUBLIC OPEN SPACE REQUIRED = 4,979 SF



EXTERIOR OPEN SPACE  
 (ON-SITE ANALYSIS)



UNCOVERED OPEN SPACE  
 GROUND LEVEL 7322 SF



PODIUM OPEN SPACE (4TH FLOOR)  
 5193 SF

TOTAL EXT. OPEN SPACE  
 12,515 SF



COVERED OPEN SPACE  
 1682 SF

TOTAL OPEN SPACE W/ COVERED  
 SPACE INCLUDED  
 14,197 SF



OPEN SPACE DIAGRAM

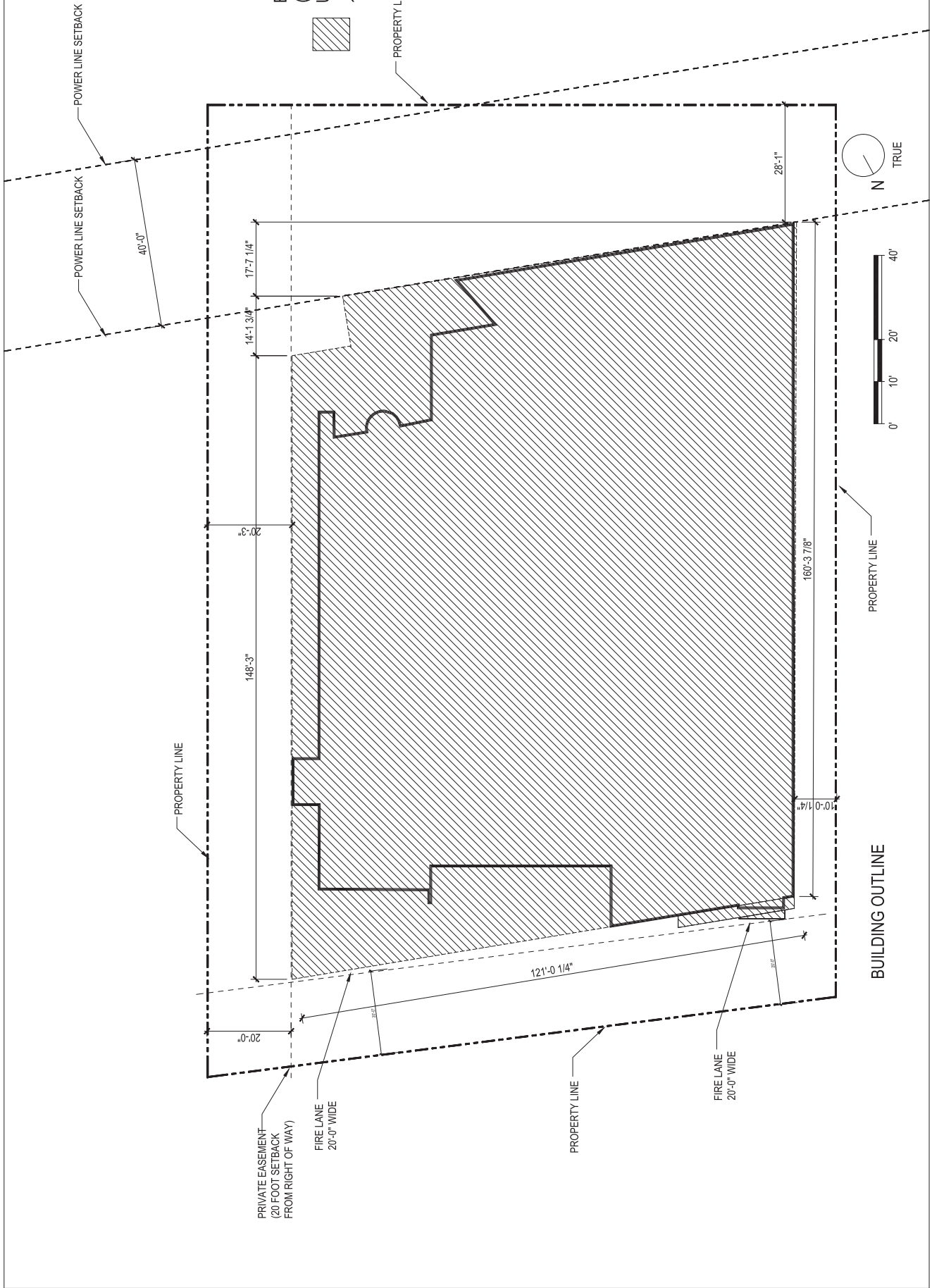


DEVELOPMENT  
 GROUP

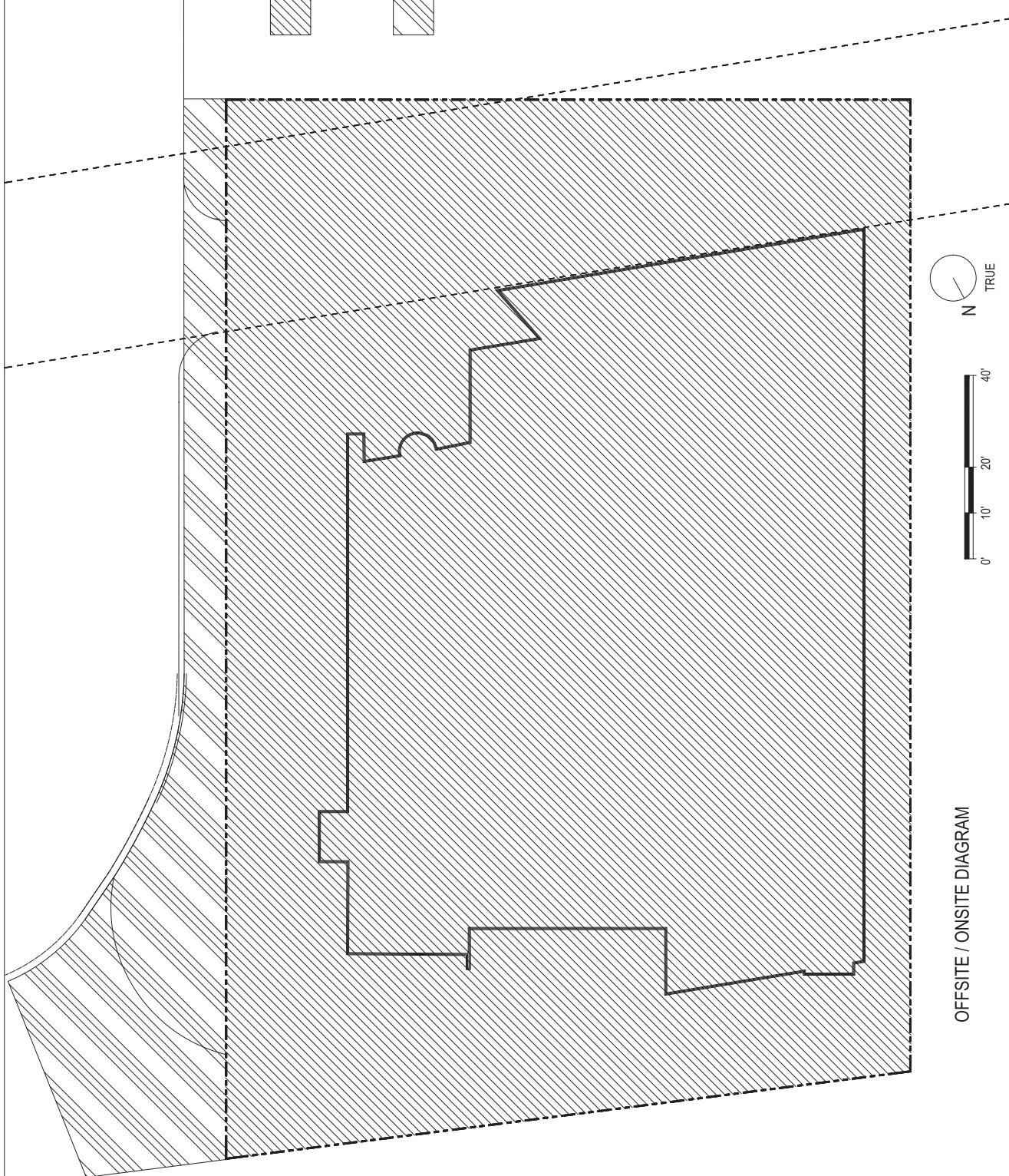


9.0

BUILDING OUTLINE  
(INCLUDING  
UPPER LEVELS)  
19,030 SF



10.0



ONSITE AREA  
33,192 SF

OFFSITE FRONTAGE AREA  
4,139 SF

TOTAL EXT. / INT.  
PUBLIC SPACE  
(INCLUDING FRONTAGE  
SIDEWALK AND LANDSCAPE  
IMPROVEMENTS).  
19,391 SF



DEVELOPMENT  
GROUP



OFFSITE / ONSITE DIAGRAM



# 11.0

## EXTERIOR HARDSCAPE & LANDSCAPE ANALYSIS

- DECORATIVE HARDSCAPE AREA  
4480 SF
- OFFSITE HARDSCAPE  
889 SF (INCLUDED)
- TOTAL LANDSCAPE AREA  
5193 SF
- OFFSITE LANDSCAPE  
1050 SF (INCLUDED)
- ASPHALT DRIVEWAY  
7322 SF
- PERMEABLE SURFACE  
3429 SF (FIRE LANE)
- DECORATIVE PAVERS  
1510 SF
- CONCRETE APRON  
1510 SF



DEVELOPMENT GROUP



HAVEN AVENUE

PLANTER LOCATION TO BE VERIFIED TO INSURE PRESERVATION OF HERITAGE TREE #255 (ASH)

PROPOSED ACCESS EASEMENT OVER CITY ASPHALT

EXISTING ASPHALT

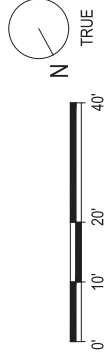
BUILDING INTERIOR

EVA

EVA

FIRE LANE AT 15 FT WIDE CHANGED BY FIRE DEPT. TO 20 FEET WIDE

000111-8



HARDSCAPE & LANDSCAPE DIAGRAM

# 11.0B

## EXTERIOR HARDSCAPE & LANDSCAPE ANALYSIS

- DECORATIVE HARDSCAPE AREA  
4480 SF
- OFFSITE HARDSCAPE  
889 SF (INCLUDED)
- TOTAL LANDSCAPE AREA  
5193 SF
- OFFSITE LANDSCAPE  
1050 SF (INCLUDED)
- ASPHALT DRIVEWAY  
7322 SF
- PERMEABLE SURFACE  
3429 SF (FIRE LANE)
- DECORATIVE PAVERS  
1510 SF
- CONCRETE APRON  
1510 SF



DEVELOPMENT GROUP



HAVEN AVENUE

PLANTER LOCATION TO BE VERIFIED TO INSURE PRESERVATION OF HERITAGE TREE #255 (ASH)

PROPOSED ACCESS EASEMENT OVER CITY ASPHALT

EXISTING ASPHALT

BUILDING INTERIOR

EVA

EVA

FIRE LANE AT 15 FT WIDE CHANGED BY FIRE DEPT. TO 20 FEET WIDE



ALTERNATE DESIGN - HARDSCAPE & LANDSCAPE DIAGRAM

12.0

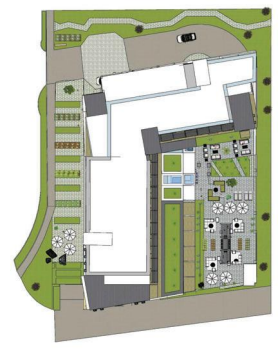
EXPRESSIVE GEOMETRY, LARGE WINDOWS, SHIMMERING TRANSLUCENT SCREENING OF PARKING GARAGE, A WARM WOOD-LOOK ENTRY AND MODERN STOREFRONT GIVE MANY PLAYFUL FACETS TO THE FRONT ELEVATION.

THE BUILDING MASS OVERHANGS THE ENTRY DROP OFF ZONE TO CREATE A PROTECTED CANOPY EXPERIENCE IN AN UNCONVENTIONAL WAY. A LOGGIA EXTENDS THE LENGTH OF THE FACADE CREATING A SHADED PATIO.



FRONT (EAST) ELEVATION

- MATERIAL KEYNOTES
- A = WHITE STUCCO
  - B = CREATIVE MINES FAUX WOOD
  - C = CENTRIA METAL PANEL (HORIZONTAL)
  - D = CENTRIA METAL PANEL (VERTICAL)
  - E = TYPICAL BLACK METAL WINDOW FRAME
  - F = GLASS WINDOW
  - G = GLASS RAILING
  - H = CHAINMAIL SCREEN MATERIAL



PERSPECTIVE VIEW OF FRONT ELEVATION



HORIZONTAL AND VERTICAL ELEMENTS COMPOSE THE SOUTH FACADE, WITH THE CORNER TOWER ANNOUNCING THE ENTRY. THE SHIMMERING METALIC BASE AS AN ARTFUL YET TECHNICAL ENCLOSURE OF THE PARKING.

TO THE VERTICAL EXPRESSION OF THE WINDOW OPENINGS WITH HORIZONTAL MULLIONS TO GIVE A NEIGHBORHOOD RESIDENTIAL SCALE TO THE HOTEL. OPERABLE WINDOWS PROVIDE FOR AN ENVIRONMENTAL ALTERNATIVE TO A/C.

THE SOUTH ELEVATION IS THE BACKGROUND FOR THE NATURE TRAIL LANDSCAPE.

**SOUTH ELEVATION**

A 13.0



PERSPECTIVE VIEW OF SOUTH ELEVATION

- MATERIAL KEYNOTES**
- A = WHITE STUCCO
  - B = CREATIVE MINES FAUX WOOD
  - C = CENTRIA METAL PANEL (HORIZONTAL)
  - D = CENTRIA METAL PANEL (VERTICAL)
  - E = TYPICAL BLACK METAL WINDOW FRAME
  - F = GLASS WINDOW
  - G = GLASS RAILING
  - H = CHAINMAIL SCREEN MATERIAL



DEVELOPMENT GROUP





# 14.0

THE REAR OR WEST ELEVATION IS THE MOST DIVERSIFIED INCORPORATING THE HOTEL FACADE, THE ROOF GARDEN FRAMED BY THE L-SHAPE BUILDING, A SHIMMERING BASE WITH LANDSCAPE BUFFER.

HORIZONTAL AND VERTICAL FORMS ARTFULLY DEPICT THE CHANGING FUNCTIONS WITHIN

WINDOW SIZES, BALCONY DOORS, GLASS RAILINGS AND FURNISHINGS GIVE THE FACADE VARIETY AND SCALE TO RELATE TO THE APARTMENTS SCALE

LOUVERED SUNSHADES PROVIDE A CORNICE TO THE BUILDING AND SHADOWS ACROSS THE FACADE, BALCONIES PROVIDE TEXTURE TOO.



## REAR (WEST) ELEVATION

A 14.0



PERSPECTIVE VIEW OF REAR ELEVATION



A 14.0

### MATERIAL KEYNOTES

- A = WHITE STUCCO
- B = CREATIVE MINES FAUX WOOD
- C = CENTRIA METAL PANEL (HORIZONTAL)
- D = CENTRIA METAL PANEL (VERTICAL)
- E = TYPICAL BLACK METAL WINDOW FRAME
- F = GLASS WINDOW
- G = GLASS RAILING
- H = CHAINMAIL SCREEN MATERIAL
- J = METAL LOUVER SCREEN
- K = PAIR OF DOORS FOR BALCONY ACCESS, TYP.



FTG  
DEVELOPMENT  
GROUP

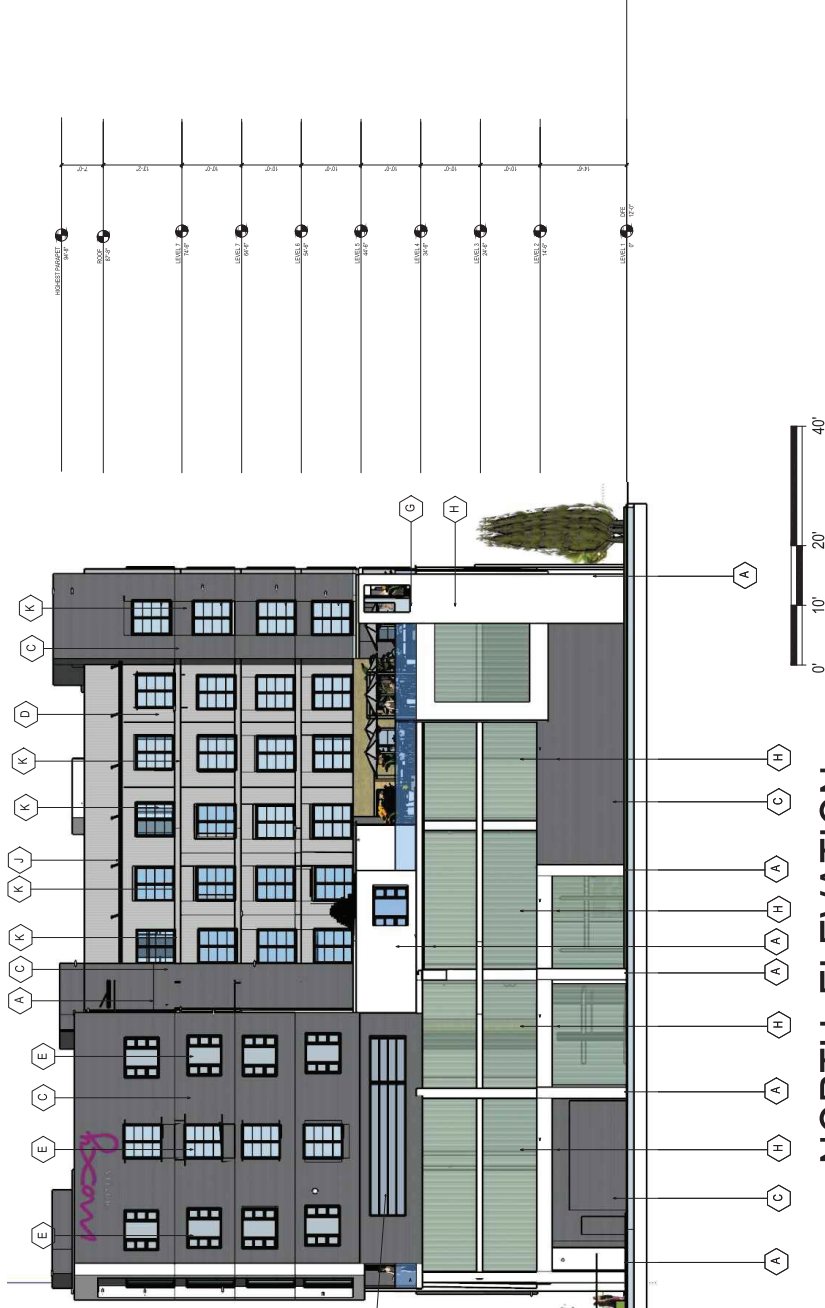




# 15.0

THE NORTH SIDE OF THE HOTEL EXPRESSES THE FITNESS CENTER AS A LONG WINDOW OPENING, AND REVEALS THE BALCONY AND AMENITY ROOF GARDEN.

BELOW THE SHIMMERING GARAGE LEVELS, CONCEALED IN SHADOW ARE THE GARAGE SERVICE DOORS FOR DELIVERY AND TRASH PICK-UP, TUCKED OFF OF AN EXISTING ALLEY.



## NORTH ELEVATION

### MATERIAL KEYNOTES

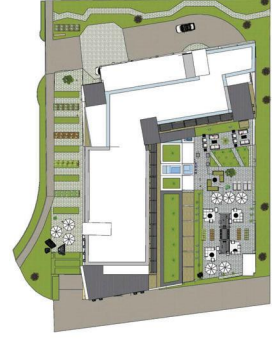
- A = WHITE STUCCO
- B = CREATIVE MINES FAUX WOOD
- C = CENTRIA METAL PANEL (HORIZONTAL)
- D = CENTRIA METAL PANEL (VERTICAL)
- E = TYPICAL BLACK METAL WINDOW FRAME
- F = GLASS WINDOW
- G = GLASS RAILING
- H = CHAINMAIL SCREEN MATERIAL
- J = METAL LOUVER SUNSCREEN
- K = PAIR OF DOORS FOR BALCONY ACCESS, TYP.



PERSPECTIVE VIEW OF NORTH ELEVATION



PERSPECTIVE FROM GROUND



# PERSPECTIVE ELEVATIONS 15.1



WEST ELEVATION VIEW



EAST ELEVATION VIEW



NORTH ELEVATION VIEW



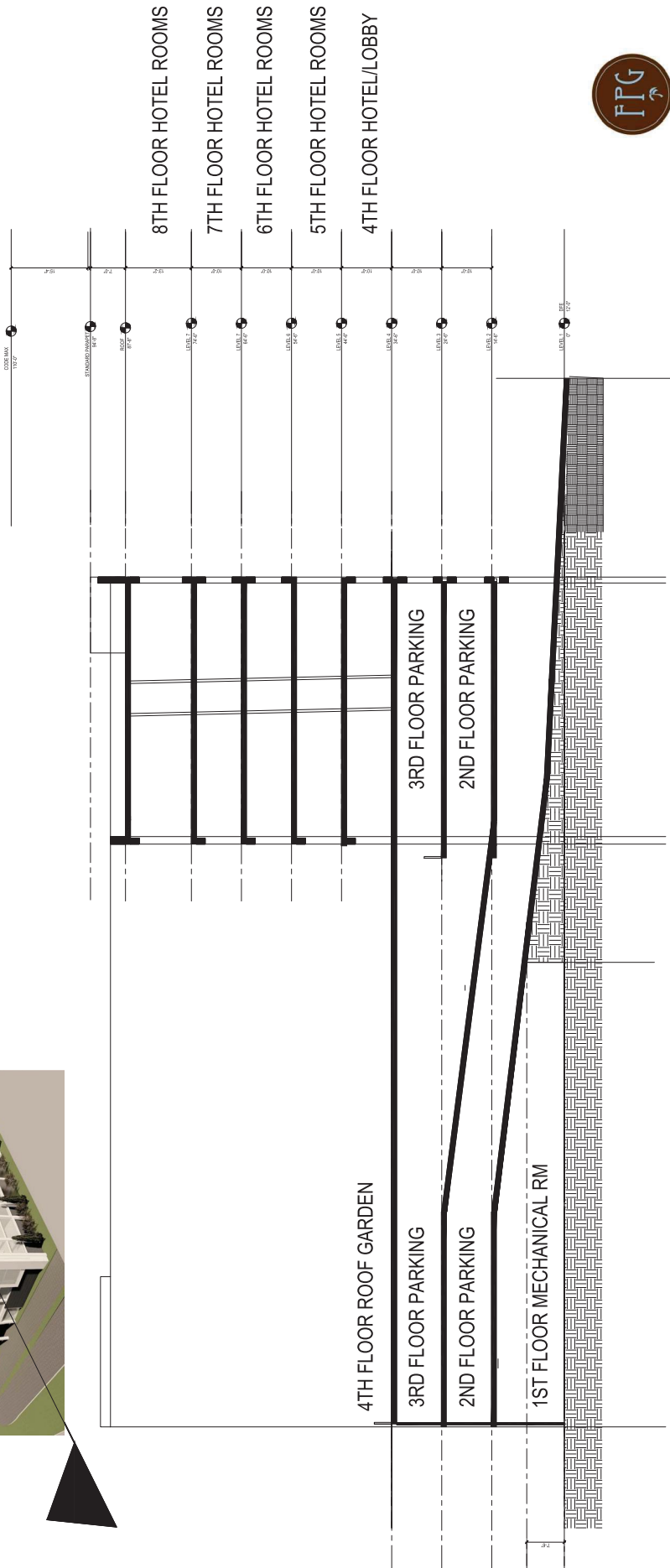
SOUTH ELEVATION VIEW



DEVELOPMENT  
GROUP



16.0



# TRANSVERSE BUILDING SECTION

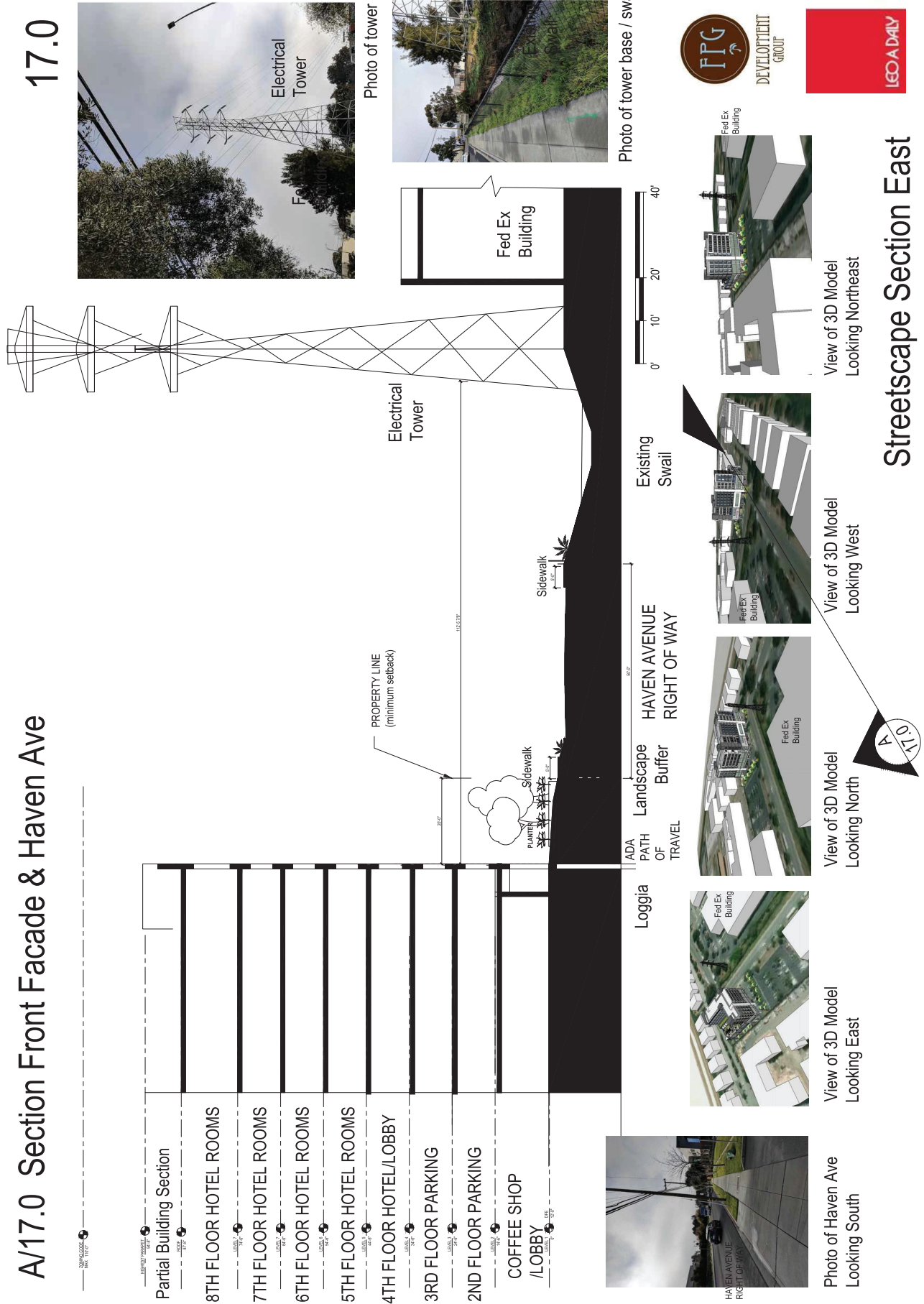


DEVELOPMENT GROUP



# A/17.0 Section Front Facade & Haven Ave

17.0



## Streetscape Section East



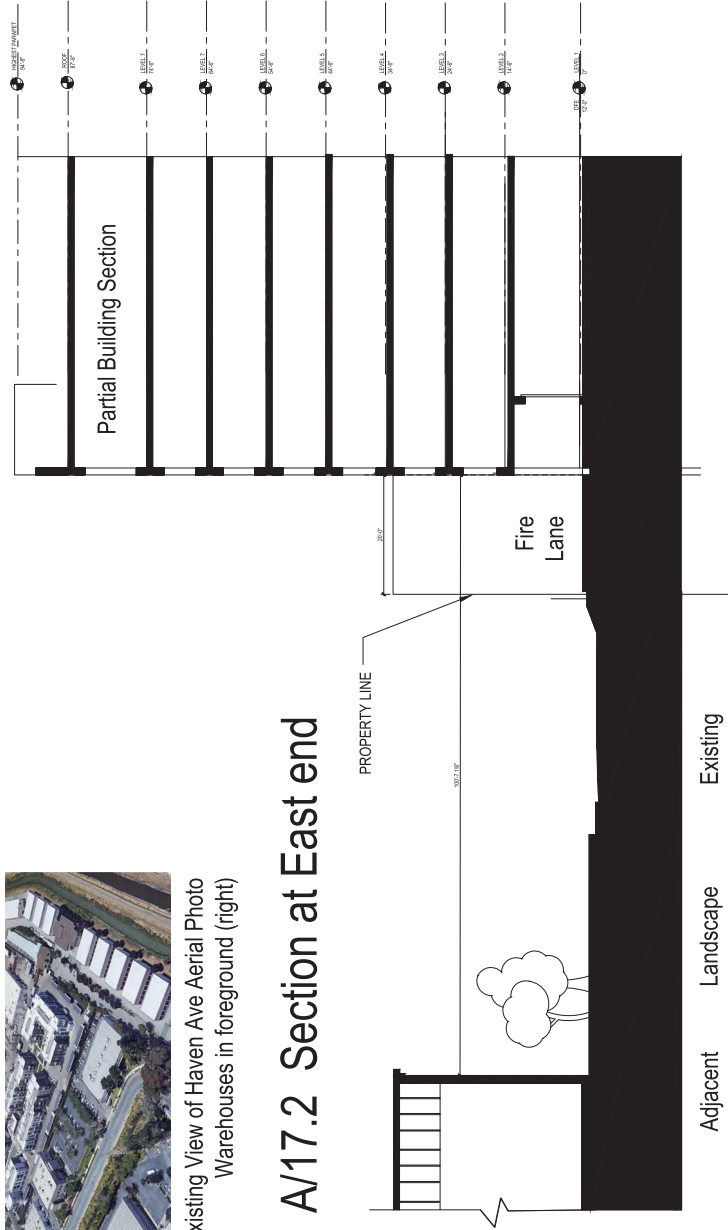






Existing View of Haven Ave Aerial Photo  
Warehouses in foreground (right)

### A/17.2 Section at East end

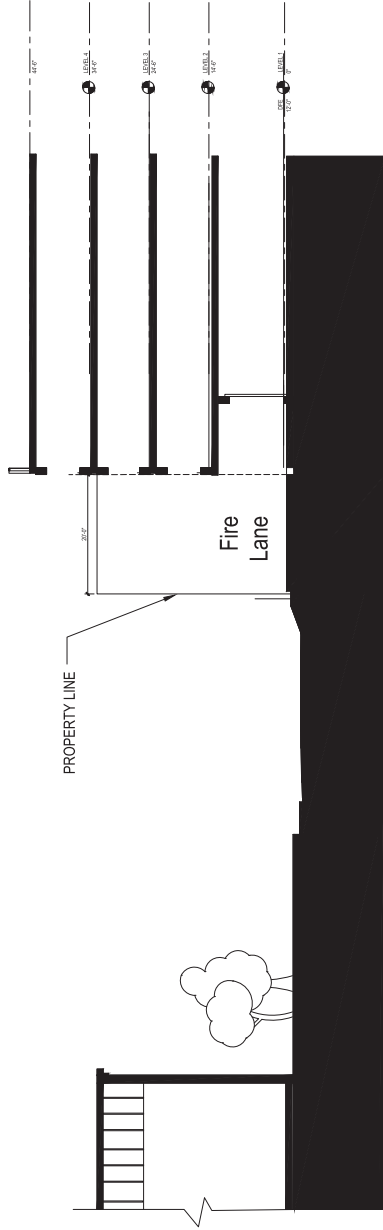


View of 3D model looking West  
Warehouses on right side



Photo of Warehouses Looking North  
from rear of existing building on-site

### Partial Building Section



### Streetscape Section North



View of 3D model of Adjacent  
Warehouse/Kennel





MODEL VIEW FROM CORNER TO HOTEL



MODEL VIEW FROM WAREHOUSE TO HOTEL



OFFICE BUILDING ON CORNER OF BLOCK



ADJACENT OFFICE BUILDING ON SOUTH



ADJACENT OFFICE BUILDING ON SOUTH



FULL LENGTH OF HAVEN AVE FRONTAGE



WAREHOUSE AT NORTH EDGE OF SITE

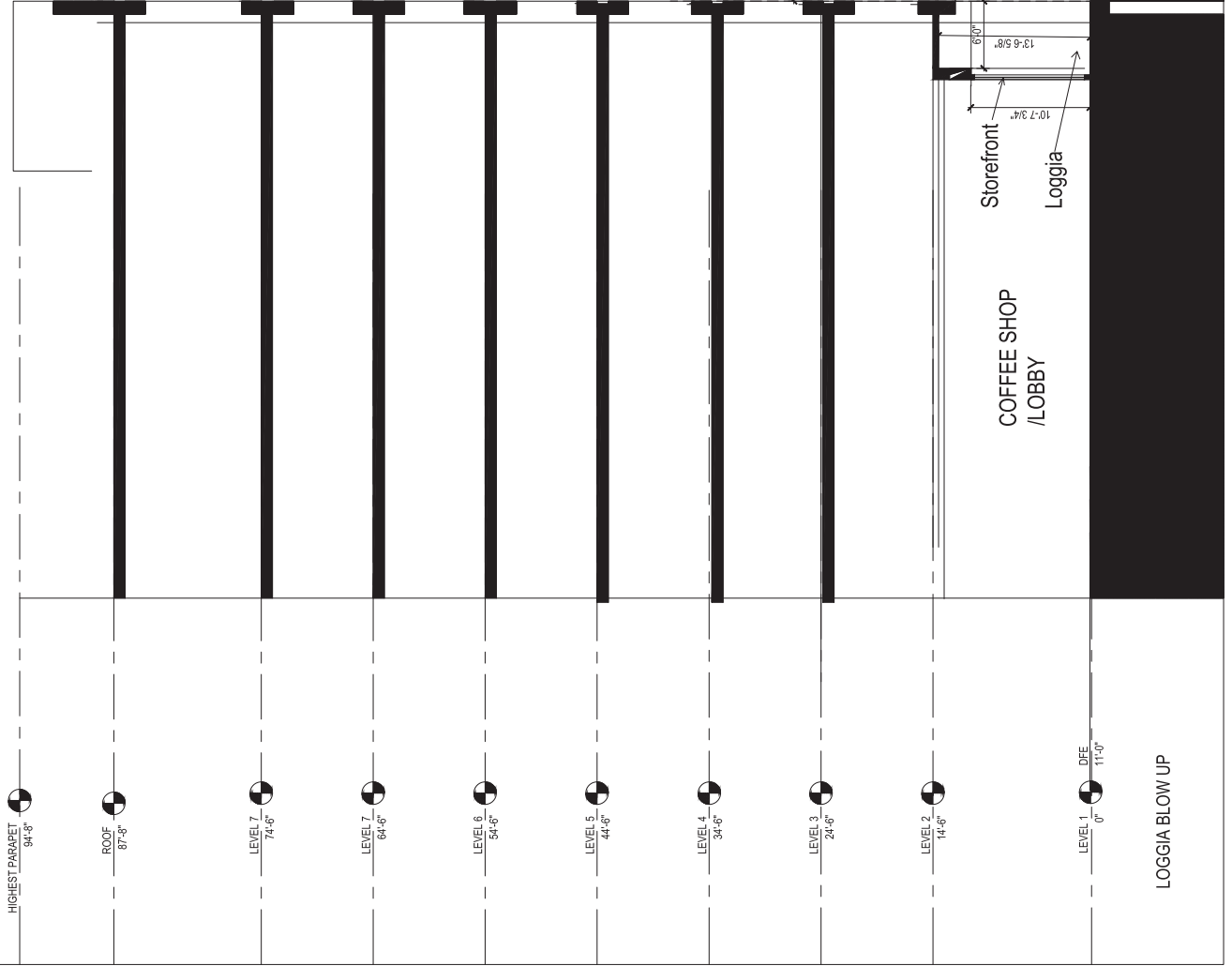


Streetscape Elevation Along Haven Avenue (no breaklines)



DEVELOPMENT GROUP



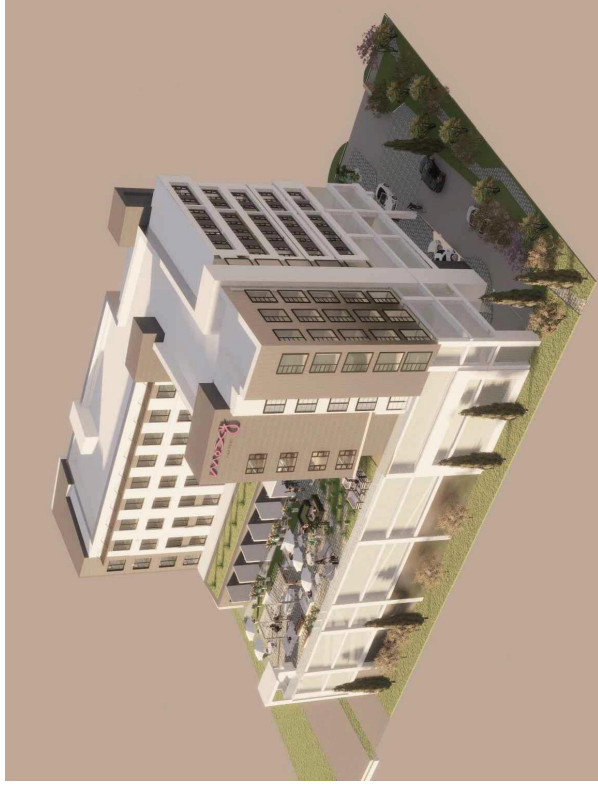




AERIAL VIEWS OF WEST AND NORTH SIDE 18.0



AXONOMETRIC VIEW LOOKING EAST



AXONOMETRIC VIEW LOOKING SOUTH



VIEW OF ROOF GARDEN LOOKING SOUTHWEST



VIEW OF ROOF GARDEN LOOKING EAST



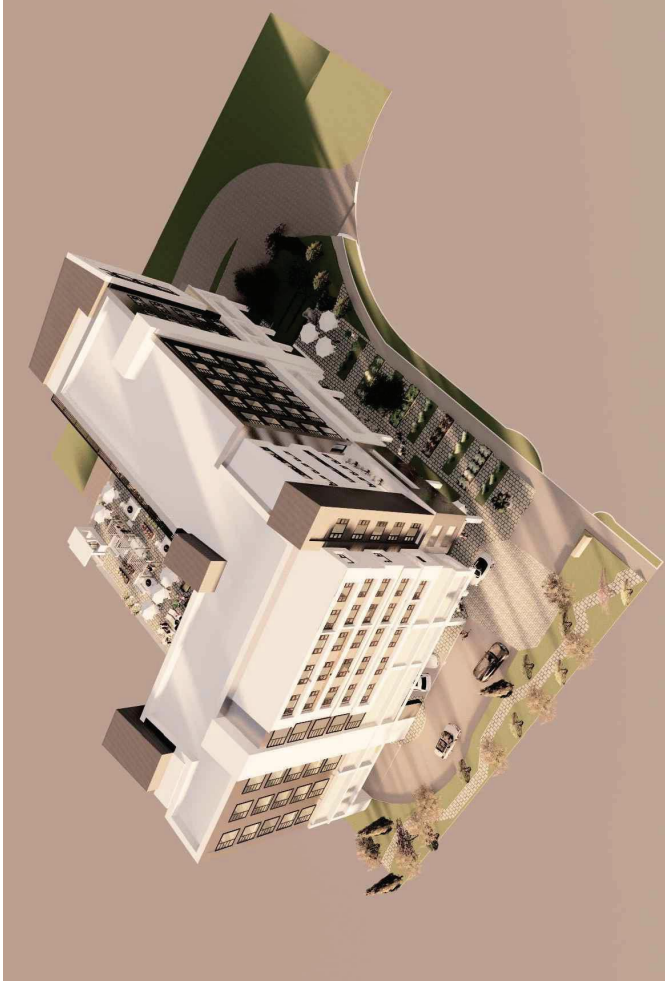
DEVELOPMENT  
GROUP



# AERIAL VIEWS OF EAST & SOUTH SIDE 18.1



AXONOMETRIC VIEW LOOKING NORTHWEST



AERIAL PERSPECTIVE LOOKING NORTHWEST



AERIAL PERSPECTIVE LOOKING NORTH



AERIAL PERSPECTIVE LOOKING SOUTHWEST





# 18.1B2

## AERIAL VIEWS OF EAST & SOUTH SIDE ALTERNATE FRONT PLAZA DESIGN



ALTERNATE HAVEN AVENUE EVA - NORTH FACADE VIEW OF OFF-SITE LANDSCAPE AREA



ALTERNATE VIEW OF LOGGIA



DROP - OFF AREA



SIDEWALK VIEW TO PLAZA



HAVEN FRONTAGE FROM ABOVE



ALTERNATE HAVEN AVENUE PLANTER SPACINGS



DEVELOPMENT  
GROUP





AERIAL VIEWS OF EAST & SOUTH SIDE  
ALTERNATE FRONT PLAZA DESIGN

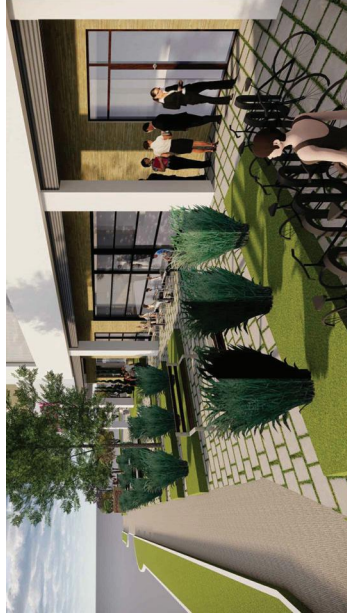


ALTERNATE HAVEN AVENUE LOOKING NORTH

18.1B



ALTERNATE HAVEN AVENUE ENTRY VIEW



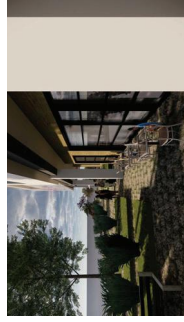
ALTERNATE HAVEN AVENUE LOOKING SOUTH



ALTERNATE VIEW OF PLAZA



ALTERNATE VIEW OF LOGGIA



ALTERNATE VIEW OF LOGGIA



ALTERNATE HAVEN AVENUE PLANTER SPACINGS



ALTERNATE VIEW OF LOGGIA FROM DROP-OFF



DEVELOPMENT  
GROUP





19.0  
VIEWS OF ALL SIDES OF HOTEL



NORTH FACADE , VIEW LOOKING SOUTH



FRONT FACADE , VIEW LOOKING SOUTHWEST



FRONT FACADE, VIEW LOOKING WEST



LOOKING NORTHEAST FROM NATURE TRAIL



DEVELOPMENT  
GROUP



19.1 VIEWS OF ALL SIDES OF HOTEL

19.1



GROUND PERSPECTIVE LOOKING SOUTHEAST



GROUND PERSPECTIVE LOOKING EAST



GROUND PERSPECTIVE LOOKING SOUTHWEST



GROUND PERSPECTIVE LOOKING SOUTH



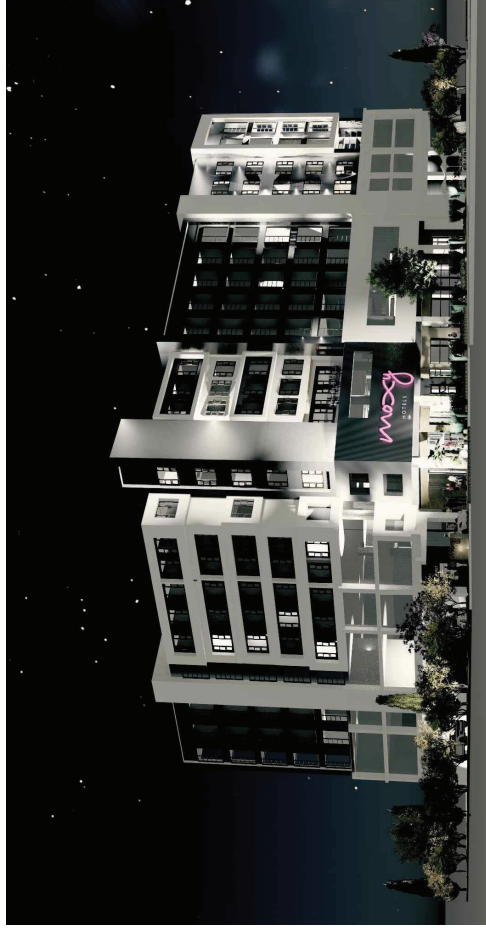
DEVELOPMENT GROUP





HOTEL NIGHT STUDIES

19.2



VIEW OF SOUTH FACADE, ENTRY CORNER AND HAVEN AVE FACADE AT NIGHT



VIEW OF NORTH FACADE AT NIGHT



VIEW OF SOUTH AND WEST FACADES



VIEW OF HAVEN AVENUE FACADE AND NORTH FACADE AT NIGHT



DEVELOPMENT  
GROUP





HOTEL NIGHT STUDIES

19.3



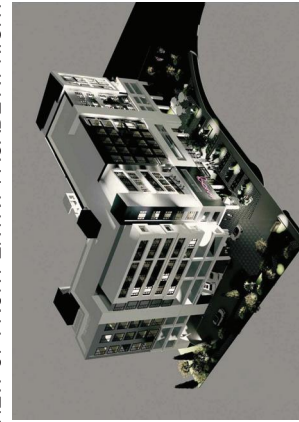
VIEW OF SOUTH FACADE AT NIGHT



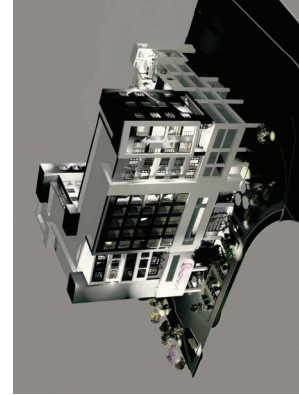
VIEW OF FRONT ENTRY AT NIGHT



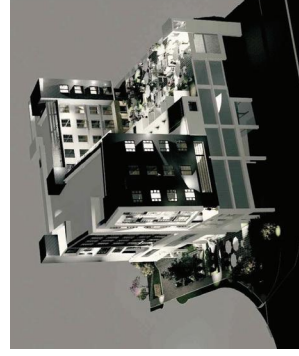
VIEW OF FRONT ENTRY FACADE AT NIGHT



SOUTHEAST CORNER



NORTHEAST CORNER



NORTH FACADE



NORTHWEST CORNER



DEVELOPMENT GROUP





HOTEL ENTRY & FRONT PLAZA 20.0



PERSPECTIVE VIEW LOOKING AT MAIN ENTRY & LOGGIA



PERSPECTIVE VIEW LOOKING AT MAIN ENTRY DRIVEWAY



CLOSE UP VIEW LOOKING AT ENTRY DROP - OFF AREA



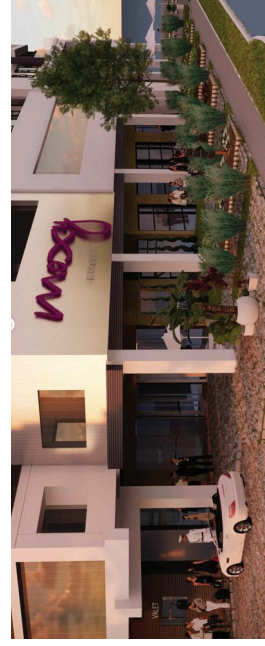
CLOSE UP VIEW LOOKING LANDSCAPE ALONG HAVEN AVE



PERSPECTIVE VIEW LOOKING PUBLIC SPACE / COMMUNITY PLANTING BEDS ON HAVEN AVE FRONTAGE



DEVELOPMENT GROUP



CLOSE UP VIEW LOOKING AT ENTRY DROP-OFF



# HOTEL ENTRY & FRONT PLAZA

# 20.1



STREETSIDE VIEW LOOKING NORTH



ENTRY AREA WINDOWS & LOGGIA



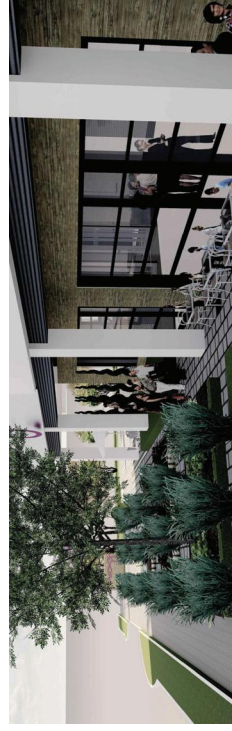
ENTRY DRIVE AND DROP - OFF ZONE /VALET



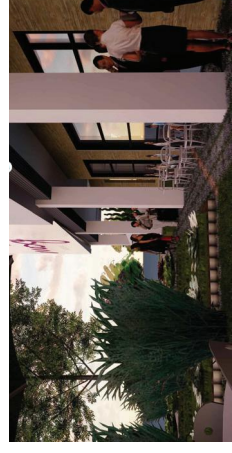
LOOKING AT LOGGIA AND PERPENDICULAR PLANTINGS



MONUMENT SIGNAGE AT ENTRY DRIVE



SHADED SEATING AT COFFEE SHOP



LOOKING AT TOWARD ENTRY BENEATH LOGGIA



COVERED ENTRY ON LEFT WITH VALET BOOTH - PLANTERS ON RIGHT



FRONT ENTRY PUBLIC GARDEN, WINDOWS TO COFFEE SHOP & APPROX. LOCATION OF EXISTING HERITAGE TREE (ASH)

PLAZA DESIGN THEORY  
 PLANTINGS ARE PERPENDICULAR TO THE SIDEWALK TO ALLOW FOR PUBLIC ACCESS TO LOGGIA AND TO EXPERIENCE EACH PLANTING BED AS A UNIQUE COMMUNITY OUTREACH GESTURE  
 PLANTING BEDS ARE THIS UNIQUE AND NOT REPETITIVE LANDSCAPE ELEMENTS, SOME POTTED PLANTS ARE POSITIONED TO RELATE TO THE ROOF PLANTINGS  
 OFF-SITE PLANTINGS SCREEN THE FIRE LANE / SERVICE DRIVE AND CREATE A NICE EDGE TO THE PROJECT, INCORPORATING SOME EXISTING BOULDERS

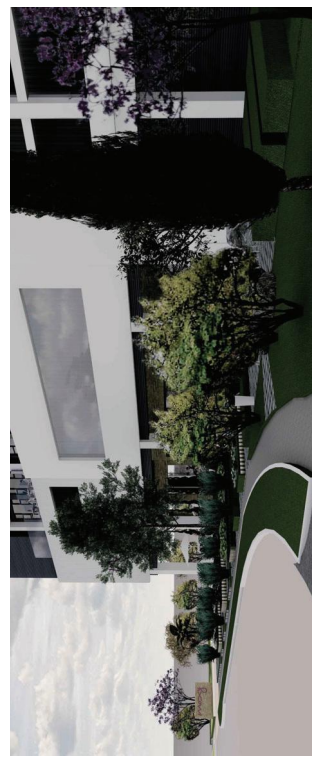




HOTEL ENTRY & FRONT PLAZA 20.2



LOOKING DOWN AT OFF - SITE PLANTINGS



SIDEWALK VIEW TOWARD ENTRY



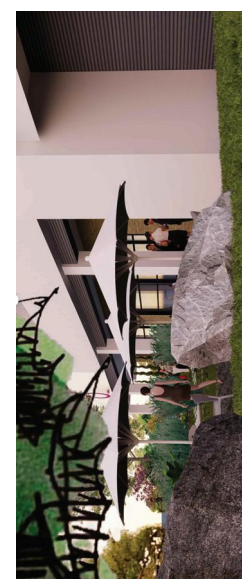
AERIAL VIEW OF BOULDER AREA SEATING



VIEW OF FRONT GARDEN SEATING



VIEW OF VESTIBULE ENTRY



EXISTING BOULDERS PROVIDE EDGE AT NEW SEATING AREA



DEVELOPMENT GROUP

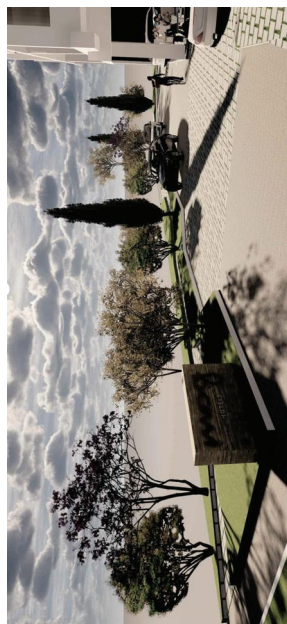


THE LARGE OFF-SITE PLANTING AREA PROVIDES A SIGNIFICANT BUFFER TO THE SERVICE ZONE BEYOND, AND A BACKDROP OF DENSE PLANTINGS AT THE END OF THE PUBLIC GARDENS.

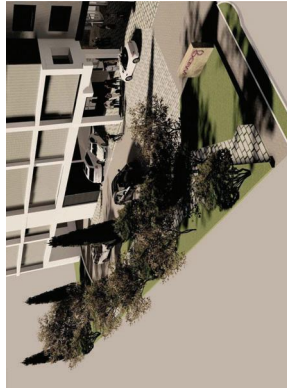


# NATURE TRAIL CONNECTION 20.3

A NATURE TRAIL IS PROVIDED AS A PHYSICAL CONNECTION BETWEEN THE ADJACENT APARTMENTS AND THE HOTEL ENTRANCE & GARDENS. THE ANGULAR GEOMETRY IS REFLECTIVE OF THE BUILDING AS WELL AS THE OVERALL "INDUSTRIAL CHIQUÉ" STYLE- PART OF THE NATURE AREA IS A BIO-SWALE FOR STORM WATER FILTRATION,



VIEW FROM MONUMENT TO REAR



VIEW ALONG SIDE OF TRAIL FROM FRONT



VIEW FROM MIDPOINT TO FRONT



VIEW FROM PATH TO HOTEL ENTRY

VIEW FROM PATH TO HOTEL ENTRY



AERIAL VIEW FROM APARTMENTS



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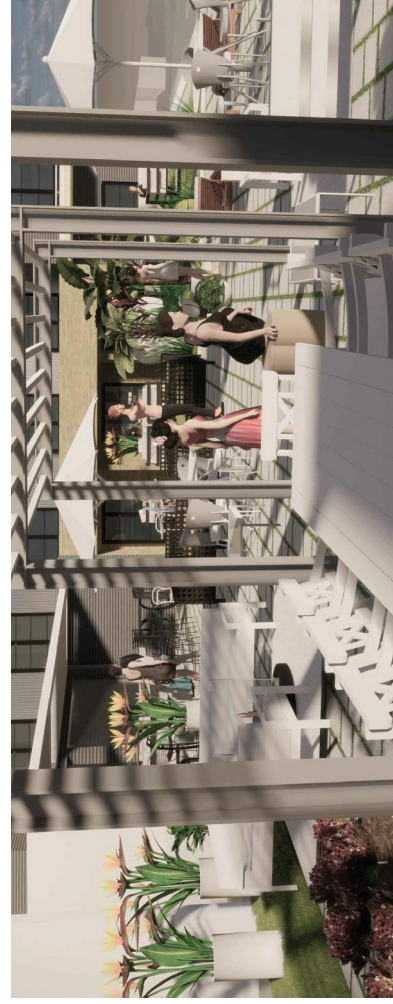
# 21.0

## HOTEL ROOF GARDEN



4TH FLOOR ROOF GARDEN  
 A CURATED COLLECTION OF FURNITURE GROUPS, FIRE PITS POTTED PLANTS, PLANTING BEDS ORGANIZED AROUND A CENTRAL PERGOLA SHADE STRUCTURE, A CENTRAL LANDSCAPE FEATURE AND PERIMETER PLANTINGS.  
 THIS OPEN TO THE PUBLIC AMENITY, IS SERVICED BY BAR AND FOOD SERVICE AS AN OPTION, BUT PROVIDES PRIVATE SEATING AREAS FOR CONVERSATION OR CONTEMPLATION IN A RICH GARDEN ATMOSPHERE, ADORNED WITH ART, POTTED TOPIARY AND WITH VIEWS SO THE BAY  
 THIS WOULD BE A GREAT PLACE TO RELAX, MEET WITH FRIENDS OR UNWIND AFTER A DAY'S WORK. CERTAINLY A CENTER POINT FOR THE HOTEL, BUT ALSO A BEAUTIFUL AMENITY FOR THE NEIGHBORHOOD, WHICH IS CURRENTLY LACKING IN GARDEN AREAS.

PERSPECTIVE VIEW LOOKING AT ROOFTOP GARDEN



PERSPECTIVE VIEW LOOKING THROUGH PERGOLA



PERSPECTIVE VIEW LOOKING TOWARD BAR



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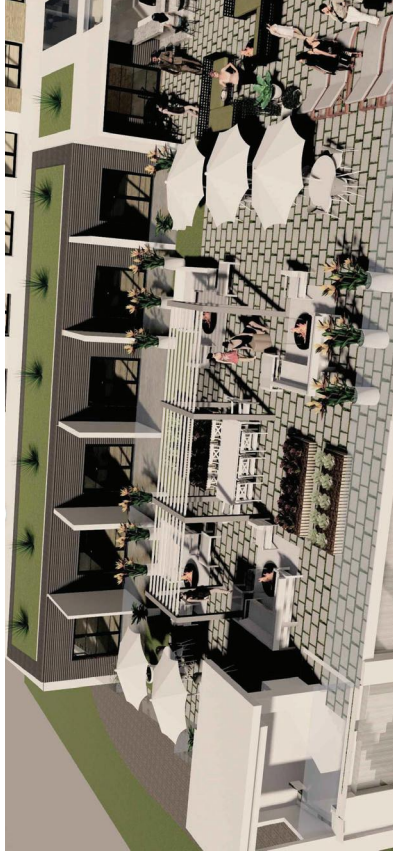
# HOTEL ROOF GARDEN 21.1



PERSPECTIVE VIEW LOOKING THROUGH PERGOLA



PERSPECTIVE VIEW LOOKING AT ROOF EDGE



PERSPECTIVE VIEW LOOKING AT FIRE PIT AREAS AROUND PERGOLA



PERSPECTIVE VIEW LOOKING AT BAR AND GARDEN AREA



PERSPECTIVE VIEW LOOKING THROUGH UMBRELLA AREA TO BAR



EYE LEVEL AT ROOF DECK GARDEN AREA



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# HOTEL ROOF GARDEN 21.2



PERSPECTIVE VIEW LOOKING NORTH TOWARD PERGOLA



POTS AND PLANTERS



PERGOLA



PERSPECTIVE VIEW LOOKING SOUTH OVER PERGOLA TO BAR CORNER

A CENTRAL PERGOLA ORGANIZES 5 DISTINCT SEATING GROUPS AND PROVIDES SHADE TO THE ROOFTOP GARDEN

UMBRELLA TABLES CONTRIBUTE SHADE TO THE OTHER AREAS.



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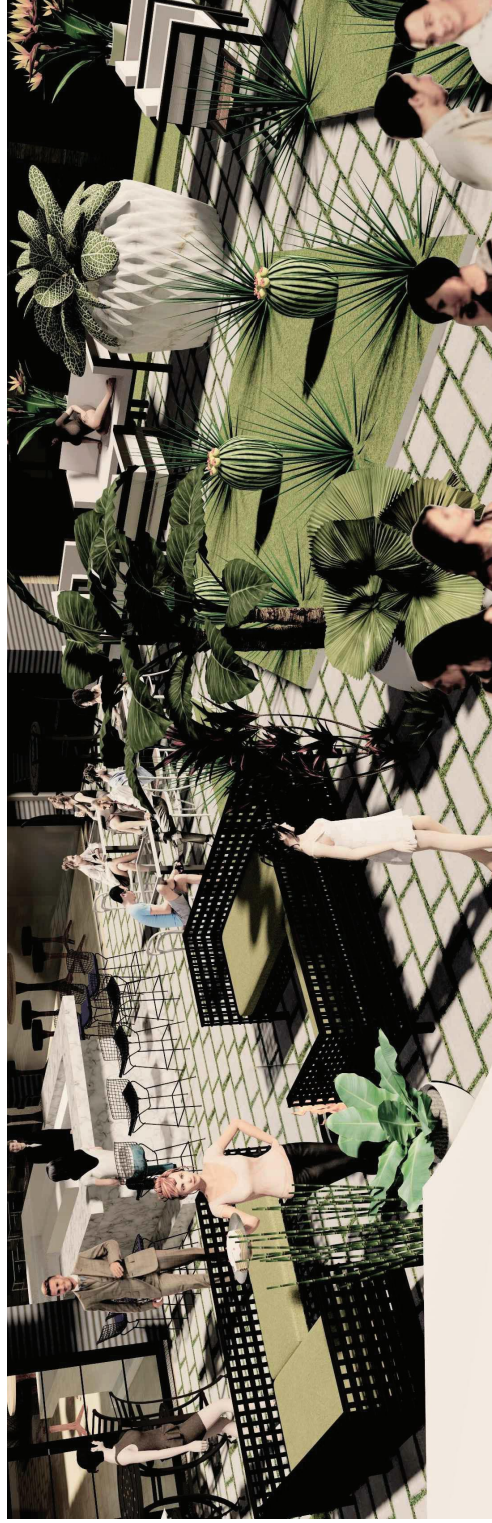
# HOTEL ROOF GARDEN 21.3



PLAN PERSPECTIVE OF ROOF DECK



PERSPECTIVE OF BUILDING AND ROOF DECK GARDEN



ROOF DECK SEATING GROUPS

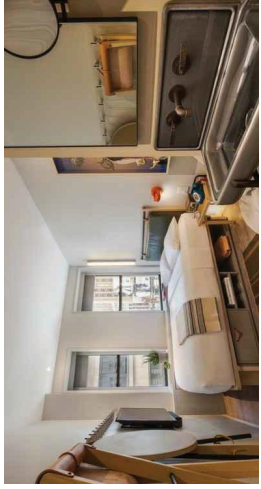




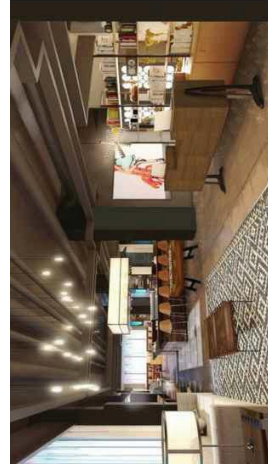
# Existing Moxy Brand Images 22.0



MODERN, CLEAN  
HARD SURFACE  
FLOORING



ACCENT LIGHTING  
EXPOSED CEILINGS  
COMMUNAL SPACES



FULL SERVICE WALK AROUND BAR AS THE HEART OF ACTIVITY  
CONVENIENCE AMENITIES SUCH AS THE FOOD STORE



- The public space offers an industrial chic look and aesthetic with polished concrete floors, exposed concrete columns, open ceilings and collaborative spaces to hang out.
- Forget about front desks! Check in at the bar and while there, grab a drink. Then head on over to the buzzing living room which is ignited with adult games to amp up the fun.
- You can't miss the video wall featuring The Guestbook. Check out what's going on, who's stopping by or post your own Instagram pics.
- The tech-enabled space offers furiously fast and free WiFi and provides USB ports and convenient electrical outlets throughout.
- There are four zones whose intensity subtly shifts from calm to energetic.
- **Zone 1** – Library / Plug In: AKA the peace and quiet zone for undisturbed solo or mellow small group pursuits.

- **Zone 2** – The Welcome: Part entry, part living room. Balances what happens now with what might happen next. Check in, check out, hang out.
- **Zone 3** – Beverage + Food: Coffeehouse by day, lively bar by night. The 24/7 self-service approach offers grab-and-go favorites or a hot entree; a convenient nosh for every taste.
- **Zone 4** – Lounge: See and be seen. The ultimate conversation pit pulses with energy. Music and media reinforce the Lounge as a daytime hangout and nighttime party.
- A full circuit fitness center + fun zone offers a boxing bag, gymnastics equipment, stretch area and more.
- Scalable meeting space options are available to meet market demands.





# Existing Moxy Brand Images 22.1



## MOXY HOTELS

Moxy Hotels, Marriott International's newest and edgiest, affordable brand, serves as a playground that attracts Fun Hunter travelers. With a highly competitive market for hotels in much of the United States and Canada, Moxy gives owners and franchisees a new pick of the litter to compete in the upper, mid-scale, priced tier in prime urban locations. The Moxy brand offers turnkey solution to deliver a vibrant and lifestyle experience driven product in a franchise model that is easy to implement and scalable.

For guests, Moxy is of exceptional value through offering lively public spaces and minimalist style. Moxy offers everything you want, nothing you don't.

For owners and franchisees, the brand allows for easy development in urban/metro areas with a favorable cost-to-build model featuring efficient rooms of 183 square feet and a lean staffing model.

Marriott's formula for establishing new and interesting brands is tried and tested and our success in the select service sector is well recognized. Like all of our brands, Moxy is supported by the Power of Marriott – the robust demand of younger generation travelers to maximize their savings drives top-line revenue for the brand. With over 80 hotels approved or under construction, Moxy is ready to play with you.

### THE BEDROOM

- Rooms are accented with highest entry 7000 lumen panels that can use their emergency.
- A small bedside table with big calling this functional room.
- The room features a large open storage cabinet and the signature 200 will offer the ultimate flexibility when enhancing.
- 55-inch LED TV and technology features in the room include a nearby bar and the WiFi, connecting and.
- Through LED lights to help you feel cool devices at 100%.
- Corridor partitions both secondary bar above the floor with motion sensor "underbed" lighting.
- The bathroom features a one-compartment layout with recessed glass door and wall, glass enclosed shower and.
- Bed table lighting.



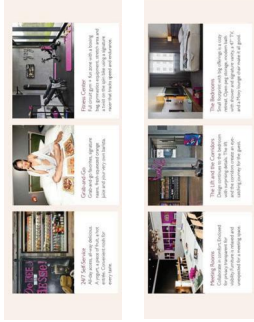
BASIS FOR TYPICAL ROOM DESIGN (NON-BALCONY SHOWN)



# Existing Moxy Brand Program 22.2

## THE NOW

- Industrial chic look and aesthetic
- Painted concrete floors, exposed brick walls
- Concrete columns, open ceiling
- Large scale artwork
- Multi-use spaces with games - from table top to pinne tables to amp up the fun
- Four zones whose primary utility shifts from calm to energetic
- Zone 1 - The Welcome
- Zone 2 - The Welcome
- Zone 3 - Beverage + Food
- Zone 4 - Lounge
- 100% enabled environment (Moxy is LEED Gold certified and USGBC)



## MOXY RULES & NOT SO STRICT REGULATIONS

- #1 Book a business hour that requires every budgeted the piece in a piece.
- #2 Do a business meeting with no parking for all the budgetary on. It has around in the morning.
- #3 Get your personal items and your luggage for the.
- #4 There are employees.
- #5 Free and clean beds, beds, beds and comfy our own.

## AREA PROGRAM

GUEST SPACES	QUANTITY	PERCENTAGE	UNIT AREA	TOTAL NET (SF)
Lobby Area				
The Welcome				
High Lounge				
Clubroom				
<b>Total Lobby Area</b>				<b>3,888</b>
Food & Beverage Areas of House				
Bar				
Restaurant (Cafe/Bar)				
Breakfast Center				
Room				
Meeting Space				
Home Office (2)				
Guest Room				
Business Center				
Accessible Queue*	16	0.05%	694	20,706
Guestroom Pool	10		261	2,610
Guestroom & Support	146		3,134	31,344
Common/Business Lobby				
Bar				
Home Office				
<b>Guestroom Counters &amp; Support Total</b>				<b>6,939</b>
<b>TOTAL GUEST SPACES</b>				<b>47,841</b>

SUMMARY	QUANTITY	TOTAL (SF)
Total Number of Guestroom Room Rooms	5	
Total Number of Floor	6	47,841
Sq. Ft. of Floor		3,888
Total Net Building Area		51,665
Total Gross Building Area		61,764
Total Square Feet per Room		372

\*Comply with all governing regulations for size percentage and quantity of accessible guestrooms. March 2018

## BRAND STANDARDS

(WE'RE SERIOUS ABOUT THESE. SERIOUSLY...)

Moxy design and style is particularly considered, and fully embraced from the central MOXY public space to private, flexible bedrooms. Moxy is a bold, surprising design for the socially empowered, energetic consumer.

**ZONE 1**  
Library / Plug in  
Add to the space and guest  
or mobile area group  
panels.

**ZONE 2**  
The Welcome  
Happens more with what  
room balances what  
Check in, check out,  
hang out.

**ZONE 3**  
Beverage + Food  
Collaborate to fully  
Dive approach approach  
to how guests relate  
of physical identity.

**ZONE 4**  
Lounge  
See and be seen. The  
Casual and conversational  
pat places with energy  
Music and mood.  
as a dynamic target,  
and nighttime party.



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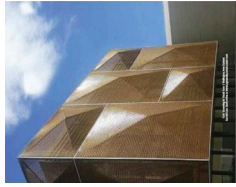
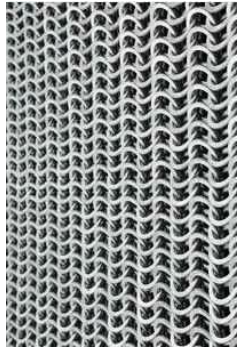
**All you need to know about Keynemaile mesh.**

Keynemaile perforated metal is produced with high precision, with tight tolerances, and is available in a wide range of finishes and colors. It is a durable, long-lasting material that is ideal for architectural applications. Keynemaile mesh is available in a variety of sizes and thicknesses, and is suitable for use in a wide range of environments.

**Keynemaile mesh is available in a variety of finishes and colors:**

- **Aluminum:** Available in a variety of finishes, including mill finish, anodized, and painted.
- **Steel:** Available in a variety of finishes, including mill finish, galvanized, and painted.
- **Stainless Steel:** Available in a variety of finishes, including mill finish, brushed, and polished.
- **Brass:** Available in a variety of finishes, including mill finish, polished, and patinated.
- **Copper:** Available in a variety of finishes, including mill finish, polished, and patinated.
- **Black:** Available in a variety of finishes, including mill finish, painted, and powder coated.
- **White:** Available in a variety of finishes, including mill finish, painted, and powder coated.
- **Other:** Available in a variety of finishes, including mill finish, painted, and powder coated.

For more information, please contact us at [www.keynemaile.com](http://www.keynemaile.com).



[WWW.KEYNEMAILE.COM](http://WWW.KEYNEMAILE.COM)

**H = KAYNEMAILE "CHAINMAIL" PARKING GARAGE SCREENING MATERIAL  
SILVER COLOR - ARCHITECTURAL MESH**

**A = SMOOTH FINISH TEXTURE  
COLOR TO MATCH  
SHERWIN WILLIAMS  
SNOWBOUND**



**SW 7004  
Snowbound**  
Interior / Exterior  
Luster Number: 256CZ

[WWW.SHERWIN-WILLIAMS.COM](http://WWW.SHERWIN-WILLIAMS.COM)

**J= METAL LOUVER SUNSHADE  
CENTRIA OR SIMILAR**



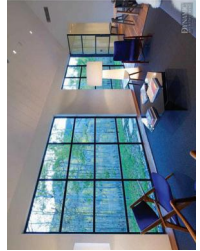
[WWW.CENTRIA.COM](http://WWW.CENTRIA.COM)

**G = GLASS RAILINGS**



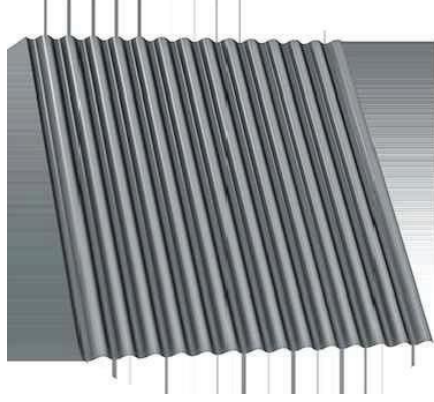
## Material Board Images

**K = METAL PAIR OF BALCONY DOORS  
E/F = GLASS WINDOW, BLACK  
FRAMES, HORIZ. MULLIONS**



[WWW.CREATIVEMINES.US](http://WWW.CREATIVEMINES.US)

**B = CREATIVE MINES FAUX WOOD**



[WWW.CENTRIA.COM](http://WWW.CENTRIA.COM)

### MATERIAL KEYNOTES

- A = WHITE STUCCO
- B = CREATIVE MINES FAUX WOOD
- C = CENTRIA METAL PANEL (HORIZONTAL)
- D = CENTRIA METAL PANEL (VERTICAL)
- E = TYPICAL BLACK METAL WINDOW FRAME
- F = GLASS WINDOW
- G = GLASS RAILING
- H = CHAINMAIL SCREEN MATERIAL
- J = METAL LOUVER SUNSCREEN
- K = PAIR OF DOORS FOR BALCONY ACCESS, TYP.

23.0

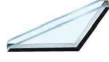


**D = CENTRIA PANEL  
VERTICAL - GRAY VELVET**

**9947**  
Gray Velvet

**9946**  
Silversmith

**C = CENTRIA PANEL  
HORIZONTAL-  
SILVERSMITH**



32-CrystalBlue™

**F = VIRACON INSULATING  
GLASS - CRYSTAL BLUE**

[WWW.VIRACON.COM](http://WWW.VIRACON.COM)



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# CODE ANALYSIS



Code Year	California Building Code 2016	Reference	Remarks & Analysis
2016	<p><b>Minimum Travel Distance</b> Between any Room Door required as an exit access and an Exit</p> <p>A1 A S1</p> <p>Exterior Balcony Increase</p> <p>Special Provisions</p>	<p>1002.1 1002.2</p> <p>TBL 1017.2 TBL 1017.2 TBL 1017.2 TBL 1017.2 1017.2.1</p>	<p>Required in A, B, R1 Occupancies Not req. in exit discharge in lobbies Not req. in exit discharge in corridors Handrails and handrail extensions</p> <p>250 250 250 250</p> <p>Level 1 Summary A2 1000' of Mech 2304' R1 2893' Shoping 1031' of total</p>
2016	<p><b>Fire Protection Systems</b> A. Domestic Sprinklers</p> <p>Standby Power</p> <p>Emergency Power</p>	<p>1002.2.2 1002.2.3 1002.2.4</p> <p>TBL 7115.3 TBL 7115.3.1 *103.2</p>	<p>Level 20 Summary 11165' of Mech 2893' R1 11165' of Mech 2893' Total for each level</p> <p>Level 29 Summary 18205' of Mech 18205' of Total for each level</p>
2016	<p><b>Fire Protection Systems</b> A. Domestic Sprinklers</p> <p>Standby Power</p> <p>Emergency Power</p>	<p>1002.2.2 1002.2.3 1002.2.4</p> <p>TBL 7115.3 TBL 7115.3.1 *103.2</p>	<p>Level 20 Summary 11165' of Mech 2893' R1 11165' of Mech 2893' Total for each level</p> <p>Level 29 Summary 18205' of Mech 18205' of Total for each level</p>
2016	<p><b>Fire Protection Systems</b> A. Domestic Sprinklers</p> <p>Standby Power</p> <p>Emergency Power</p>	<p>1002.2.2 1002.2.3 1002.2.4</p> <p>TBL 7115.3 TBL 7115.3.1 *103.2</p>	<p>Level 20 Summary 11165' of Mech 2893' R1 11165' of Mech 2893' Total for each level</p> <p>Level 29 Summary 18205' of Mech 18205' of Total for each level</p>

Code Year	California Building Code 2016	Reference	Remarks & Analysis																				
2016	<p><b>Stairs - egress only</b> Minimum Height Minimum Width Minimum Depth (in direction of travel)</p> <p>Handrails</p> <p>Clearance</p> <p>Minimum Cross Slope</p> <p>Maximum Rise (between landings)</p> <p>Landings</p> <p>When Required</p> <p>Minimum Width</p> <p>Change in direction between runs</p> <p>Downways</p> <p>Handrails</p> <p>When Required</p> <p>Guards</p> <p>When Required</p> <p>Minimum Height</p> <p>Spacing</p>	<p>1011.2 1011.2 1011.2 1011.2 1011.5.4 1011.8 1011.3 1011.6 1014.3.1 1014.3.2 1014.3.3 1014.3.4 1014.3.5 1014.6 1014.6 1014.6 1011.12 1011.12 1006.2 1012.1 1012.2 1012.3 1012.4 1012.6 1012.6.2 1012.6.3 1012.6.4 1012.8 1012.8 1012.8 1015.4 (Eject 2) 1015.4 (Eject 3) 1015.4 (Eject 3) 1003.2 1003.3 TBL 1004.1 TBL 1004.1 TBL 1004.1 TBL 1004.1 1004.4 (eject 2) 1004.4 (eject 3) 1004.4 (eject 3) TBL 1004.1.2</p>	<p>Occupant Load Factors per 1004.1.2 Parking 200 gross Mechanical 50 gross Merchandise 100 gross Retail 200 gross Kitchen 200 gross Bathroom 200 gross Storage Room 300 gross Shipping/stock 200 gross Decks 15 gross</p> <p>0.3 inches of wet with rail for stairwells 0.2 inches of wet with rail on ground floor</p> <p><b>Menio Park Occupancy Analysis</b></p> <p>Hotel Occupancy by Floor</p> <table border="1"> <tr><th>Floor</th><th>Exit Width Req</th></tr> <tr><td>Level 8</td><td>17"</td></tr> <tr><td>Level 7</td><td>17"</td></tr> <tr><td>Level 6</td><td>17"</td></tr> <tr><td>Level 5</td><td>17"</td></tr> <tr><td>Level 4</td><td>17"</td></tr> <tr><td>Level 3</td><td>27' 0"</td></tr> <tr><td>Level 2</td><td>27' 0"</td></tr> <tr><td>Level 1</td><td>54' 0"</td></tr> <tr><td>Total</td><td>124' occupants</td></tr> </table> <p>Exit Width per 1005.3.1 Level 8 17" Level 7 17" Level 6 17" Level 5 17" Level 4 17" Level 3 27' 0" Level 2 27' 0" Level 1 54' 0" Total 124' occupants</p> <p>Level 4 Summary A2 478 A3 788 B 859</p>	Floor	Exit Width Req	Level 8	17"	Level 7	17"	Level 6	17"	Level 5	17"	Level 4	17"	Level 3	27' 0"	Level 2	27' 0"	Level 1	54' 0"	Total	124' occupants
Floor	Exit Width Req																						
Level 8	17"																						
Level 7	17"																						
Level 6	17"																						
Level 5	17"																						
Level 4	17"																						
Level 3	27' 0"																						
Level 2	27' 0"																						
Level 1	54' 0"																						
Total	124' occupants																						



THANK YOU FOR YOUR CONSIDERATION

25.0



## PLAY ON

Moxy offers a new way of traveling in which smaller is concentration, not reduction. Our minimalist design elements, combined with communal play spaces and a central bar promote interaction, vibrancy and fun. Whoever stayed at Moxy. When we say 'less is more', we accentuate more. Not less. So come on, Play On.



DEVELOPMENT  
GROUP



[WWW.LEOADALY.COM](http://WWW.LEOADALY.COM)

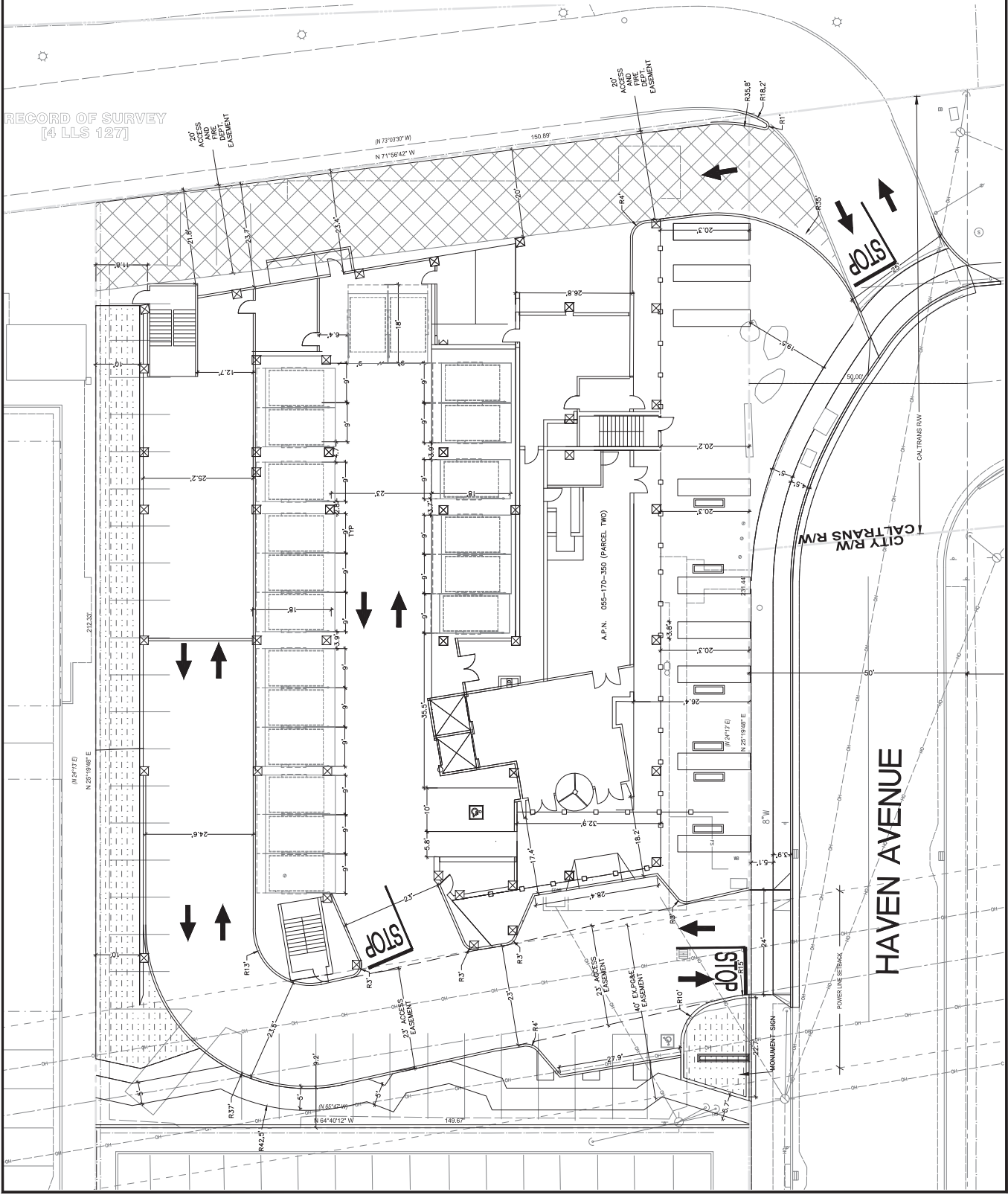


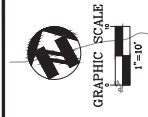






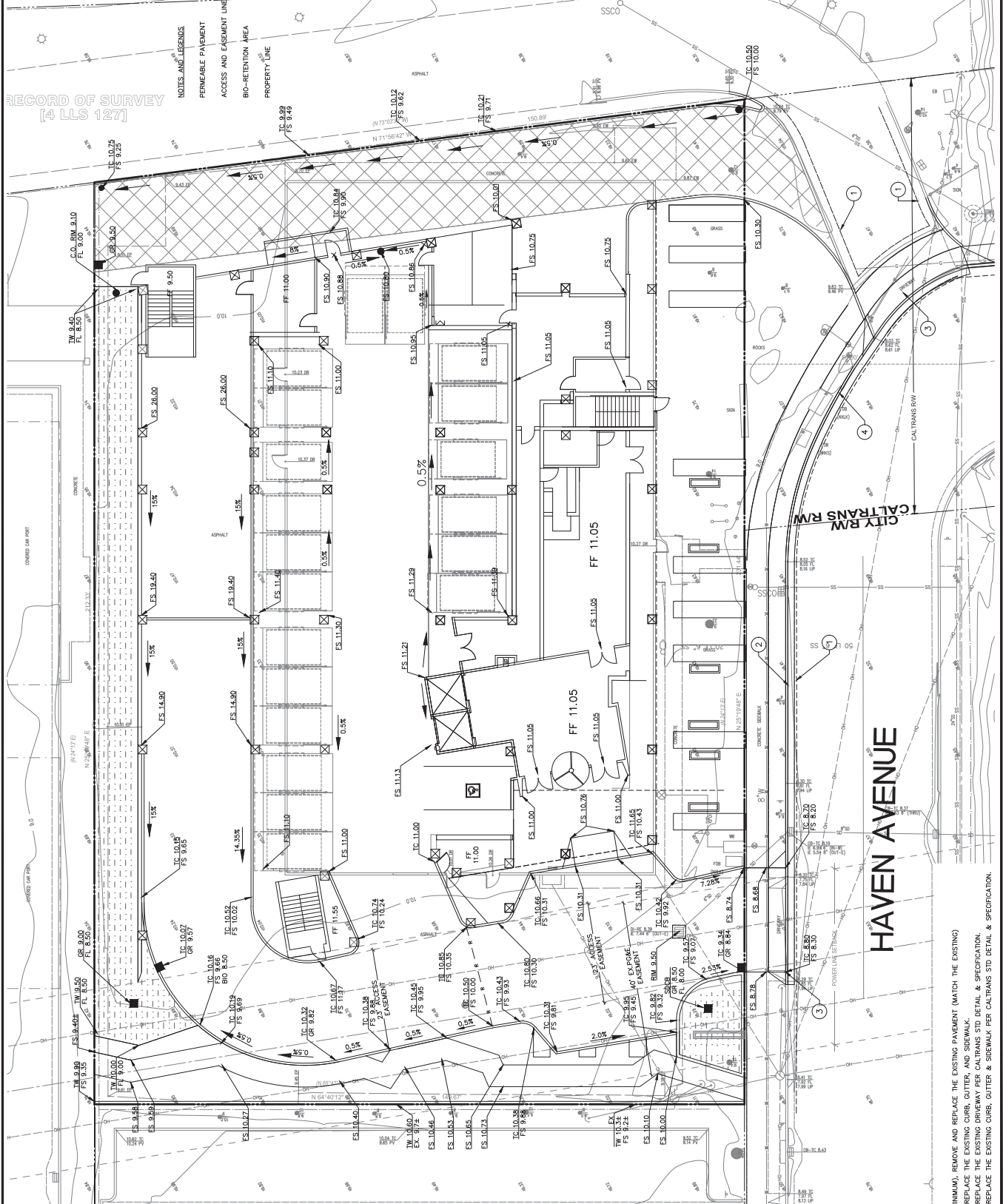
**NOTES AND LEGENDS**  
 PERMEABLE PAVEMENT  
 ACCESS AND EASEMENT LINE  
 BIO-RETENTION AREA  
 PROPERTY LINE  
 GRAPHIC SCALE 1"=10'  
 RECORD OF SURVEY [4 LLS 127]





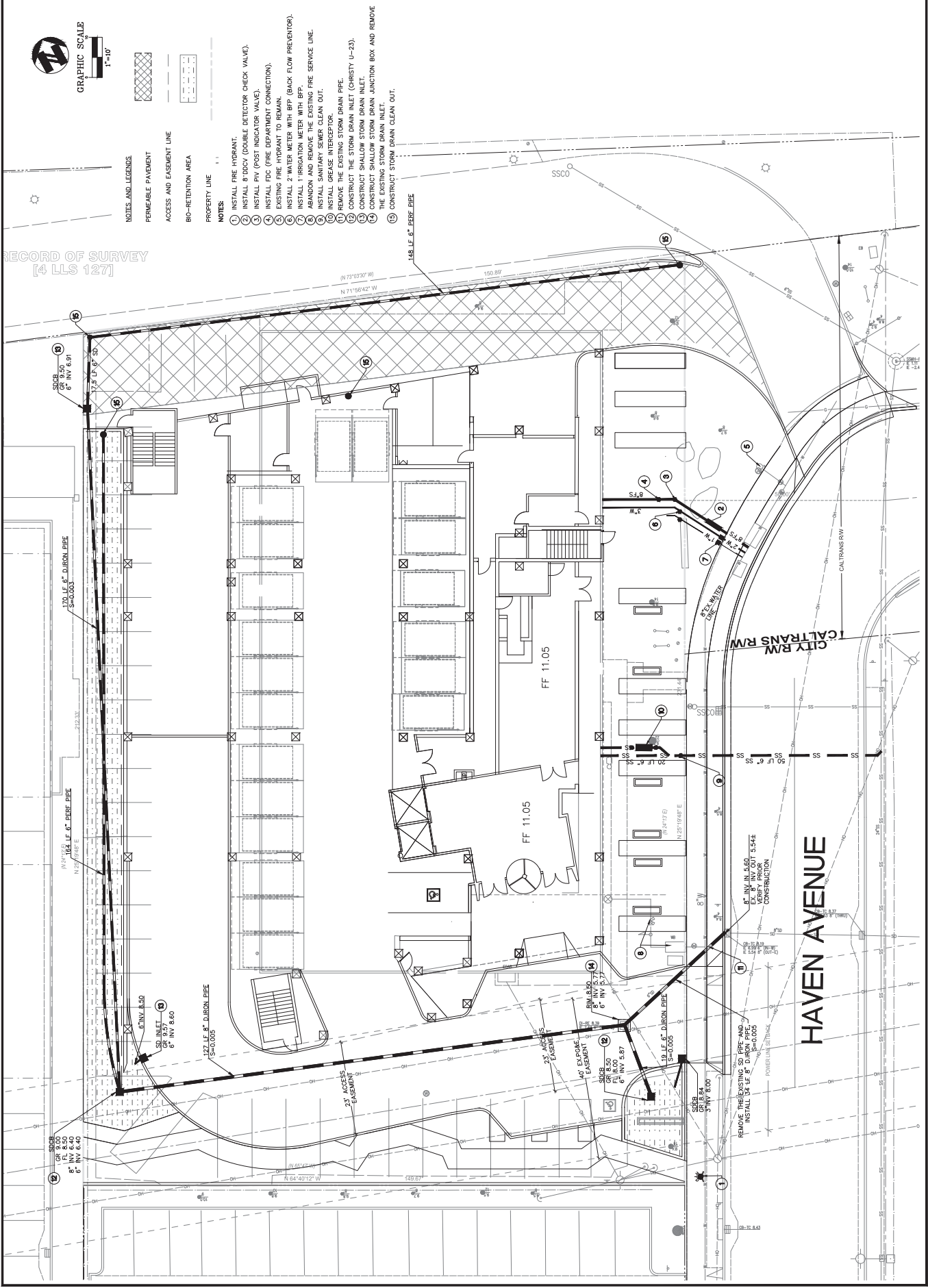
RECORD OF SURVEY  
[4 LLS 127]

NOTES AND LEGENDS:  
PERMEABLE PAVEMENT  
ACCESS AND EASEMENT LINE  
BIO-RETENTION AREA  
PROPERTY LINE



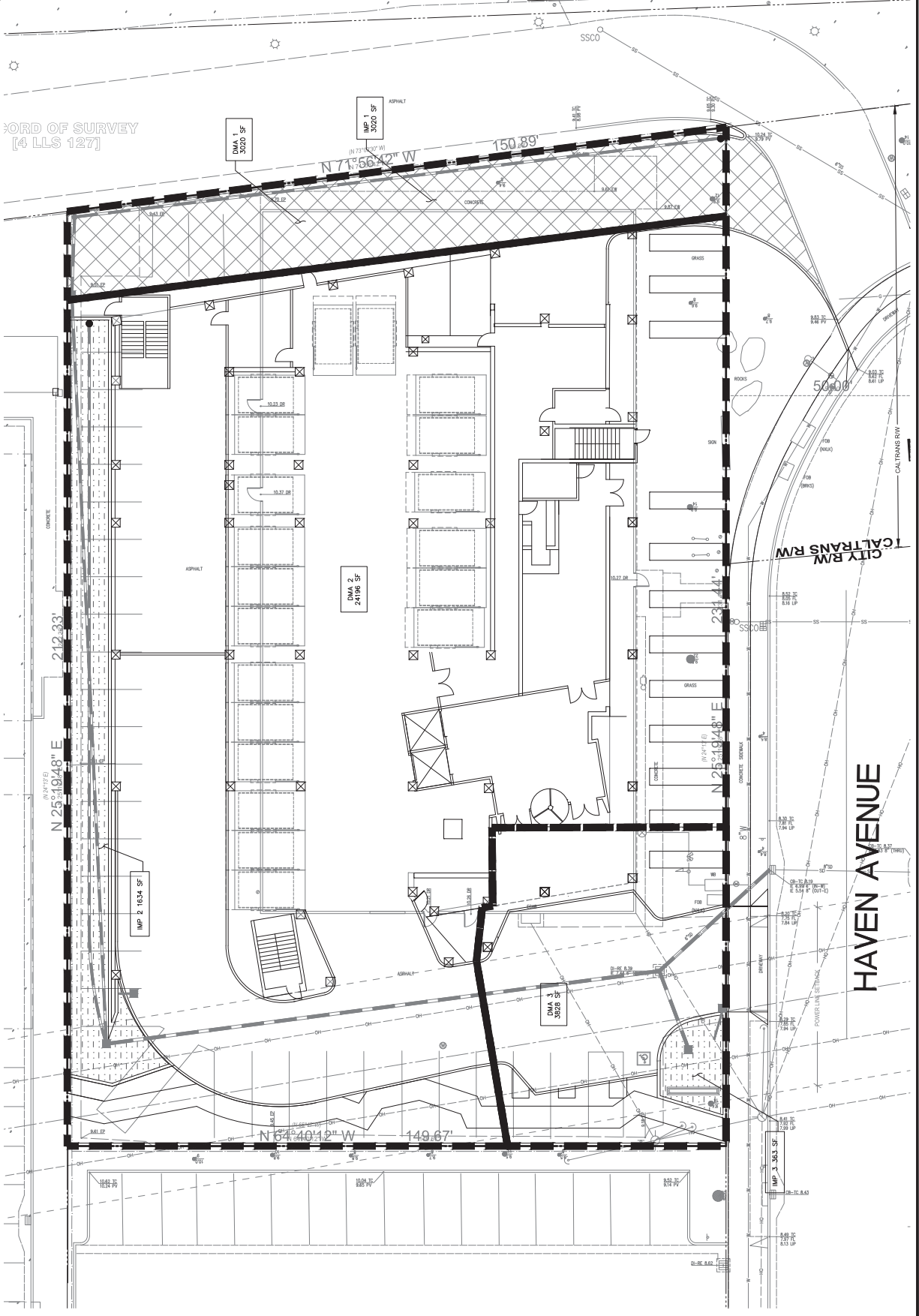
- NOTES**
1. SAWCUT (2" MINIMUM), REMOVE AND REPLACE THE EXISTING PAVEMENT (MATCH THE EXISTING)
  2. REMOVE AND REPLACE THE EXISTING CURB, GUTTER, AND SIDEWALK.
  3. REMOVE AND REPLACE THE EXISTING DRIVEWAY PER CALTRANS STD DETAIL & SPECIFICATION.
  4. REMOVE AND REPLACE THE EXISTING CURB, GUTTER & SIDEWALK PER CALTRANS STD DETAIL & SPECIFICATION.

DATE:	05-21-19
SCALE:	1"=10'
DESIGNED:	
DRAWN:	
CHECKED:	
FILE PATH:	





DRAINAGE AREA	IMPERVIOUS AREA (SF)	PERVIOUS AREA (SF)	PERVIOUS AREA X 0.1 (SF)	EFFECTIVE IMPERVIOUS AREA (EIA) (SF)	REQUIRED BIORETENTION AREA (SF) (EIA*0.04)	BIORETENTION PROVIDED (SF)
2	21428.89	2767.00	276.70	21705.59	868.22	1654.00
3	2289.51	1538.50	153.85	2443.36	97.73	363.00















**MOXY HOTEL**

HAVEN AVENUE  
 MENLO PARK  
 CALIFORNIA

ISSUE: DESCRIPTION: DATE:

**NOT FOR CONSTRUCTION**

PROJECT NUMBER: P5973  
 DRAWN: MF  
 CHECK: EG  
 DATE: 08/20/16  
 SCALE: 0 5X 1X 2X

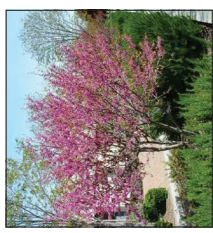
PLANT PALETTE

**L1.3**

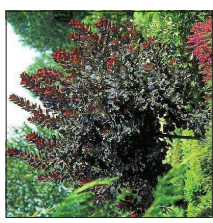
**TREES**



*Fragaria virginiana*  
 Strawberry Tree



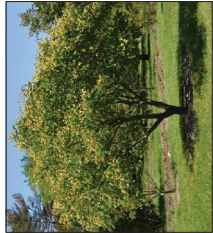
*Cercis occidentalis*  
 Western Redbud



*Cotinus coggygria*  
 Smoke Tree



*Dodonaea viscosa Purpurea*  
 Hopsed Bush



*Koeleria paniculata*  
 Golden Rain Tree



*Lopatinia indica*  
 Cape Myrtle

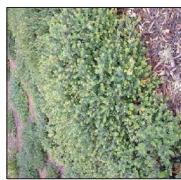
**SHRUBS**



*Phlox colanina*  
 Terracotta Bellflower



*Yucca alopecuroides*  
 Blue Flame



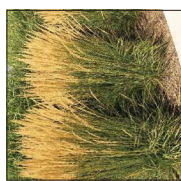
*Aster pacificus*  
 Pacific Aster



*Agapanthus sprengeri*  
 Sprenger Agapanthus



*Madia pacifica*  
 Pacific Madia



*Foeniculum vulgare*  
 Karri Foxtail



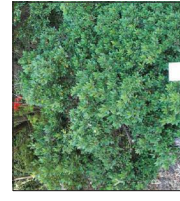
*Columbinella nuttallii*  
 Pink Columbine



*Anemone columbina*  
 Bush Anemone



*Eriogonum fasciculatum*  
 Red Buckwheat



*Coffeberry*  
 Mound Sun Broomrape



*Limonium peruvii*  
 Statice



*Luzula ssp.*  
 Dwarf Mat Rush



*Muhlenbergia dubia*  
 Fine Muley



*Perovskia atriplicata*  
 Rouston Sage



*Rosa 'Apricot'*  
 Diff Apricot Rose



*Salvia leucantha*  
 Mexican Sage Bush

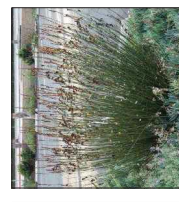


*Neodum fulvipes*  
 Bush Germander

**SHRUBS FOR STORMWATER TREATMENT AREA**



*Junco peders*  
 Coyote's Dry



*Cymopteron*  
 Canyon Phlox



*Luzula ssp.*  
 Dwarf Mat Rush

## Tree Inventory of

3723 Haven Avenue  
Menlo Park, CA 94025



Prepared by  
Urban Tree Management, Inc.

April 16, 2019

3723 Haven Avenue  
Menlo Park, CA 94025

## Assignment

It was my assignment to physically inspect trees in the survey area based on a topographic map provided by the client. I was to map, tag and compile data for each tree and write an inventory/survey report documenting my observations. I was also to provide general tree protection measures for use during construction on the site.

## Summary

This survey provides a numbered map and complete and detailed information for each tree surveyed. There are 15 trees included in this report. One of the trees is considered to be a Heritage tree under Menlo Park's tree protection regulations. Two of the trees are street trees. Seven trees are located on a neighboring property but overhang the subject property. One heritage tree is recommended for removal due to health and structural issues.

## Contents

All the trees surveyed were examined and then rated based on their individual health and structure according to the table following. For example, a tree may be rated "good" under the health column for excellent/vigorous appearance and growth, while the same tree may be rated "fair/poor" in the structure column if structural mitigation is needed. More complete descriptions of how health and structure are rated can be found under the "Methods" section of this report. The complete list of trees and all relevant information, including their health and structure ratings, their "protected/significant" status, a map and recommendations for their care can be found in the data sheet that accompanies this report.

<b><u>Rating</u></b>	<b><u>Health</u></b>	<b><u>Structure</u></b>
<b>Good</b>	excellent/vigorous	flawless
<b>Fair/good</b>	no significant health concerns	very stable
<b>Fair</b>	showing initial or temporary disease, pests or lack of vitality. measures should be taken to improve health and appearance.	routine maintenance needed such as pruning or end weight reduction as tree grows
<b>Fair/poor</b>	in decline, significant health issues	significant structural weakness(es), mitigation needed, mitigation may or may not preserve the tree
<b>Poor</b>	dead or near dead	hazard

## Methods

The trunks of the trees are measured using an arborist's diameter tape at 54" above soil grade. In cases where the main trunk divides below 54", the tree is measured (per Menlo Park specifications) at the point where the trunks divide. In these cases, the height of that measurement is given in the notes column on the attached data sheet. The canopy height and spread are estimated using visual references only.

The condition of each tree is assessed by visual observation only from a standing position without climbing or using aerial equipment. No invasive equipment is used. Consequently, it is possible that individual tree(s) may have internal (or underground) health problems or structural defects, which are not detectable by visual inspection. In cases where it is thought further investigation is warranted, a "full tree risk assessment" is recommended. This assessment may include of drilling or using sonar equipment to detect internal decay and include climbing or the use of aerial equipment to assess higher portions of the tree.

The health of an individual tree is rated based on leaf color and size, canopy density, new shoot growth and the absence or presence of pests or disease. Individual tree structure is rated based on the growth pattern of the tree (including whether it is leaning), the presence or absence of poor limb attachments (such as co-dominant leaders, included bark, etc.), the length and weight of limbs and the extent and location of apparent decay.

## Survey Area Observations

The property is located in an area of commercial development. The lot is roughly rectangular and is flat. The existing building is located approximately in the center of the property on Haven Avenue.

## Tree Health

Generally, the trees in the survey area range from good to fair poor. One heritage tree was found to be in fair/poor health and are recommended for removal. Individual issues and recommendations for each tree are listed under the "Notes" column on the accompanying data sheet.

**Monterey Pine #257:** This heritage tree is has pitch canker disease and multiple dead limbs. The tree is thin and is leaning strongly over the property line and fence. It provides little screening or aesthetic value and has a limited life span due to pitch canker disease.

## Tree Structure on This Property

Ideally, trees are pruned for structure when young and are properly maintained to reduce end-weight as they grow. This practice prevents excessively long, lateral branches that are prone to breaking off due to weight or wind.



In the case of the small to medium-sized trees here, this has occurred to some degree. Continued end weight reduction (EWR) is recommended for these trees.

In the case of larger multi-leadered trees, such as ash #255, when one or more significant structural weaknesses, such as co-dominant leaders, develop, these can often be addressed and the tree made safer using specific pruning techniques, such as more aggressive EWR or hardware (cables or props). End weight reduction was recommended for this tree.

### **Local Regulations Governing Trees**

Menlo Park City Code requires a permit to remove or substantially prune a heritage tree, which is defined below.

1. Any tree or group of trees of historical significance, special character or community benefit, specifically designated by resolution of the city council;
2. Any oak tree native to California, with a circumference of 31.4 inches (diameter of 10 inches) or more measured at 54 inches above natural grade. Trees with more than one trunk shall be measured at the point where the trunks divide, with the exception of trees that are under twelve (12) feet in height, which are exempt from this ordinance.
3. All trees other than oaks which have a trunk circumference of 47.1 inches (diameter of 15 inches) or more measured at 54 inches above natural grade. Trees with more than one trunk shall be measured at the point where the trunks divide, with the exception of trees that are under twelve (12) feet in height, which are exempt from this ordinance.

Menlo Park also protects trees that were required as a condition of past development for commercial sites. This site was permitted many years ago and it is not known what trees were required to be planted or retained as a condition of development. As part of initial permit review, the City will assess past permitting documentation and determine which trees are thus protected.

Two of the trees surveyed at this site are considered “Heritage” trees under this ordinance. The two trees along Middlefield Road are street trees and are protected as such. Heritage tree #191 is recommended for removal.

### **Risks to Trees by Construction**

Besides the above-mentioned health and structure-related issues, the trees at this site could be at risk of damage by construction or construction procedures that are common to most construction sites. These procedures may include the dumping or the stockpiling of materials over root systems; the trenching across the root zones for utilities or for landscape irrigation; or the routing of construction traffic across the root system resulting in soil compaction and root dieback. It is therefore essential that Tree Protection Fencing be used as per the Architect’s drawings. In constructing underground utilities, it is essential that the location of trenches be done outside the drip lines of trees except where approved by the Arborist.

## General Tree Protection Plan

Protective fencing is required to be provided during the construction period to protect trees to be preserved. This fencing must protect a sufficient portion of the root zone to be effective. Fencing is recommended to be located 8 to 10 X the diameter at breast height (DBH) in all directions from the tree. DBH for each tree is shown in the attached data table. The minimum recommendation for tree protection fencing location is 6 X the DBH, where a larger distance is not possible. There are areas where we will amend this distance based upon tree condition and proposed construction. In my experience, the protective fencing must:

- a. Consist of chain link fencing and having a minimum height of 6 feet.
- b. Be mounted on steel posts driven approximately 2 feet into the soil.
- c. Fencing posts must be located a maximum of 10 feet on center.
- d. Protective fencing must be installed prior to the arrival of materials, vehicles, or equipment.
- e. Protective fencing must not be moved, even temporarily, and must remain in place until all construction is completed, unless approved by a certified arborist.
- f. Tree Protection Signage shall be mounted to all individual tree protection fences.

Based on the existing development and the condition and location of trees present on site, the following is recommended:

1. The Project Arborists are Allie Strand (650) 906-5540 or Michael Young (650) 321-0202. A Project Arborist should supervise any excavation activities within the tree protection zone of these trees.
2. Any roots exposed during construction activities that are larger than 2 inches in diameter should not be cut or damaged until the project Arborist has an opportunity to assess the impact that removing these roots could have on the trees.
3. The area under the drip line of trees should be thoroughly irrigated to a soil depth of 18" every 3-4 weeks during the dry months.
4. Mulch should cover all bare soils within the tree protection fencing. This material must be 6-8 inches in depth after spreading, which must be done by hand. Course wood chips are preferred because they are organic and degrade naturally over time.
5. Loose soil and mulch must not be allowed to slide down slope to cover the root zones or the root collars of protected trees.
6. There must be no grading, trenching, or surface scraping inside the driplines of protected trees, unless specifically approved by a Certified Arborist. For trenching, this means:
  - a. Trenches for any underground utilities (gas, electricity, water, phone, TV cable, etc.) must be located outside the driplines of protected trees, unless approved by a Certified Arborist. Alternative methods of installation may be suggested.
  - b. Landscape irrigation trenches must be located a minimum distance of 10 times the trunk diameter from the trunks of protected trees unless otherwise noted and approved by the Arborist.

7. Materials must not be stored, stockpiled, dumped, or buried inside the driplines of protected trees.
8. Excavated soil must not be piled or dumped, even temporarily, inside the driplines of protected trees.
9. Landscape materials (cobbles, decorative bark, stones, fencing, etc.) must not be installed directly in contact with the bark of trees because of the risk of serious disease infection.
10. Landscape irrigation systems must be designed to avoid water striking the trunks of trees, especially oak trees.
11. Any pruning must be done by a Company with an Arborist Certified by the ISA (International Society of Arboriculture) and according to ISA, Western Chapter Standards, 1998.
12. Any plants that are planted inside the driplines of oak trees must be of species that are compatible with the environmental and cultural requirements of oaks trees. A publication detailing plants compatible with California native oaks can be obtained from The California Oak Foundation's 1991 publication "Compatible Plants Under & Around Oaks" details plants compatible with California native oaks and is currently available online at: <http://californiaoaks.org/wp-content/uploads/2016/04/CompatiblePlantsUnderAroundOaks.pdf>

+ + + + +

I certify that the information contained in this report is correct to the best of my knowledge and that this report was prepared in good faith. Please call me if you have questions or if I can be of further assistance.

Respectfully,

*Allie Strand*

Allie Strand  
ISA Certified Arborist #WC-10737  
ISA Tree Risk Assessment Qualified  
American Society of Consulting Arborists

TREE SURVEY

Urban Tree Management, inc.

Client: FPG Development Group  
 Address: 3723 Haven Ave  
 Date: 4/9/2019

Ratings for health and structure are given separately for each tree according to the table to right. IE, a tree may be rated "Good" under the health column for excellent/vigorous appearance and growth, while the same tree may be rated "Fair/Poor" in the structure column if structural mitigation is needed. Health is rated based on leaf color and size, canopy density, new shoot growth and presence of pests or disease.

KEY	Health	Structure
Good	excellent/vigorous	flawless
Fair/Good	no significant health concerns	very stable
Fair	declining; measures should be taken to improve health and appearance	routine maintenance needed
Fair/Poor	in decline: significant health issues	mitigation needed, it may or may not preserve this tree
Poor	dead or near dead	hazard

TAG #	COMMON NAME	DBH	W/H	HEALTH	STRUCTURE	HERITAGE (X)	REMOVAL (X)	HERITAGE REMOVAL (XX)	NOTES/RECOMMENDATIONS
245	Locust	8	14/14	FG	F				NEIGHBOR'S TREE, 9' oh, sycamore bark larvae, Rec spray program
246	Locust	8	14/15	FG	F				NEIGHBOR'S TREE, 9' oh, sycamore bark larvae, Rec spray program
247	Locust	8	14/15	FG	F				NEIGHBOR'S TREE, 9' oh, sycamore bark larvae, Rec spray program
248	Locust	8	14/18	FG	F				NEIGHBOR'S TREE, 9' oh, sycamore bark larvae, Rec spray program
249	Locust	10	14/18	FG	F				NEIGHBOR'S TREE, 9' oh, sycamore bark larvae, Rec spray program
250	Locust	9	14/20	FG	F				NEIGHBOR'S TREE, 9' oh, sycamore bark larvae, Rec spray program
251	Olive	36	25/35	FG	F				NEIGHBOR'S TREE, multiple leaders, diam at 6", 9' oh
252	Olive	14	'10/13	F	F				Multiple leaders, diam at 2'
253	Little leaf linden	2	'3/12	G	F				STREET TREE
254	Little leaf linden	3	'3/12	G	F				STREET TREE
255	Ash	17	25/45	FG	FP	X			Long limbs, Rec EWR
256	Ash	14	22/40	FG	F				
257	Monterey Pine	25	30/85	FP	FP	X	X	XX	Pitch canker, multiple dead limbs, Rec REMOVAL
258	Red plum	4	'10/15	G	F				oh is 2'
259	Red plum	9	14/18	G	F				oh is 6
TREE TOTAL						15			
HERITAGE TOTAL							2		
REMOVAL TOTAL								1	
HERITAGE REMOVALS TOTAL									1

ACRONYMS

DWR: Dead Wood Removal: Removal of dead branches

EWR - End Weight Reduction: pruning to remove weight from limb ends, thus reducing the potential for limb failure

RCE - Root Collar Excavation: excavating a small area around a tree that is currently buried by soil or refuse above buttress roots, usually done with a hand shovel.

SP - Structural Pruning - removal of selected non-dominant leaders in order to balance the tree

Menlo Park City Code 13.20.020 defines a Heritage Tree as:

- 1) Any tree having a trunk with a circumference of 47.1 inches (diameter of 15 inches) or more measured at 54 inches above natural grade.
- 2) Any oak tree native to California, with a circumference of 31.4 inches (diameter of 10 inches) or more measured at 54 inches above natural grade.
- 3) Any tree or group of trees specifically designated by the City Council for protection because of its historical significance, special character or community benefit.
- 4) Any tree with more than one trunk measured at the point where the trunks divide, with a circumference of 47.1 inches (diameter of 15 inches) or more, with the exception of trees that are under twelve (12) feet in height, which are exempt from the ordinance.

Menlo Park also protects trees installed as part of the permitting commercial development projects (landscaping and parking lot trees, etc). These are not called out in this tree inventory and will be determined after initial review of the project.

Common name	Latin name
Ash	<i>Fraxinus sp.</i>
Locust	<i>Gleditsia triacanthos</i>
Olive	<i>Olea europaea</i>
Little leaf linden	<i>Tilia cordata</i>
Red plum	<i>Prunus cerasifera</i>
Monterey pine	<i>Pinus radiata</i>





