



## REGULAR MEETING AGENDA

**Date:** 8/29/2022  
**Time:** 7:00 p.m.  
**Location:** Zoom.us/join – ID# 871 4022 8110

### NOVEL CORONAVIRUS, COVID-19, EMERGENCY ADVISORY NOTICE

Consistent with Government Code section 54953(e), and in light of the declared state of emergency, and maximize public safety while still maintaining transparency and public access, members of the public can listen to the meeting and participate using the following methods.

#### How to participate in the meeting

- Submit a written comment online up to 1-hour before the meeting start time:  
[PlanningDept@menlopark.org](mailto:PlanningDept@menlopark.org) \*  
Please include the agenda item number you are commenting on.
- Access the meeting real-time online at:  
[zoom.us/join](https://zoom.us/join) – Meeting ID# 871 4022 8110
- Access the meeting real-time via telephone (listen only mode) at:  
(669) 900-6833  
Regular Meeting ID # 871 4022 8110  
Press \*9 to raise hand to speak

\*Written comments are accepted up to 1 hour before the meeting start time. Written messages are provided to the Planning Commission at the appropriate time in their meeting.

Subject to Change: Given the current public health emergency and the rapidly evolving federal, state, county and local orders, the format of this meeting may be altered or the meeting may be canceled. You may check on the status of the meeting by visiting the City's website [www.menlopark.org](http://www.menlopark.org). The instructions for logging on to the webinar and/or the access code is subject to change. If you have difficulty accessing the webinar, please check the latest online edition of the posted agenda for updated information ([menlopark.org/agenda](http://menlopark.org/agenda)).

## Regular Meeting

### A. Call To Order

### B. Roll Call

### C. Reports and Announcements

### D. Public Comment

Under “Public Comment,” the public may address the Commission on any subject not listed on the agenda, and items listed under Consent Calendar. Each speaker may address the Commission once under Public Comment for a limit of three minutes. Please clearly state your name and address or political jurisdiction in which you live. The Commission cannot act on items not listed on the agenda and, therefore, the Commission cannot respond to non-agenda issues brought up under Public Comment other than to provide general information.

### E. Consent Calendar

- E1. Approval of minutes from the March 28, 2022, Planning Commission meeting. ([Attachment](#))
- E2. Approval of court reporter transcript and minutes from the May 2, 2022, Planning Commission meeting. ([Attachment](#))
- E3. Approval of minutes from the May 16, 2022, Planning Commission meeting. ([Attachment](#))

### F. Public Hearing

- F1. Use Permit/Anna Felver/816 Laurel Avenue:  
Request for a use permit to demolish an existing one-story, single-family residence, and construct a new two-story residence on a substandard lot with regard to minimum lot width and area in the R-1-U (Single Family Urban Residential) zoning district. ([Staff Report #22-047-PC](#))
- F2. Use Permit/Steve Schwanke/1152 Berkeley Avenue:  
Request for a use permit to add a first-floor addition and conduct interior modifications to an existing nonconforming, single-family residence in the R-1-U (Single Family Urban Residential) zoning district. The proposed new work value would exceed 75 percent of the replacement value of the existing structure in a 12-month period and requires approval of a use permit by the Planning Commission. ([Staff Report #22-048-PC](#))

### G. Informational Items

- G1. Future Planning Commission Meeting Schedule – The upcoming Planning Commission meetings are listed here, for reference. No action will be taken on the meeting schedule, although individual Commissioners may notify staff of planned absences.
  - Regular Meeting: September 12, 2022
  - Regular Meeting: September 19, 2022

## H. Adjournment

At every regular meeting of the Planning Commission, in addition to the public comment period where the public shall have the right to address the Planning Commission on any matters of public interest not listed on the agenda, members of the public have the right to directly address the Planning Commission on any item listed on the agenda at a time designated by the chair, either before or during the Planning Commission's consideration of the item.

At every special meeting of the Planning Commission, members of the public have the right to directly address the Planning Commission on any item listed on the agenda at a time designated by the chair, either before or during consideration of the item. For appeal hearings, appellant and applicant shall each have 10 minutes for presentations.

If you challenge any of the items listed on this agenda in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the City of Menlo Park at, or prior to, the public hearing.

Any writing that is distributed to a majority of the Planning Commission by any person in connection with an agenda item is a public record (subject to any exemption under the Public Records Act) and is available by request by emailing the city clerk at [jaherren@menlopark.org](mailto:jaherren@menlopark.org). Persons with disabilities, who require auxiliary aids or services in attending or participating in Planning Commission meetings, may call the City Clerk's Office at 650-330-6620.

Agendas are posted in accordance with Government Code Section 54954.2(a) or Section 54956. Members of the public can view electronic agendas and staff reports by accessing the City website at [menlopark.org/agenda](http://menlopark.org/agenda) and can receive email notification of agenda and staff report postings by subscribing to the "Notify Me" service at [menlopark.org/notifyme](http://menlopark.org/notifyme). Agendas and staff reports may also be obtained by contacting City Clerk at 650-330-6620. (Posted: 08/24/2022)



## REGULAR MEETING DRAFT MINUTES

**Date:** 3/28/2022  
**Time:** 7:00 p.m.  
**Location:** Zoom

### Regular Meeting

#### A. Call To Order

Chair Michael Doran called the meeting to order at 7:01 p.m. At Chair Doran's request, Associate Planner Matt Pruter explained how applicants and the public would be able to participate in the virtual meeting.

#### B. Roll Call

Present: Andrew Barnes, Chris DeCardy (Vice Chair), Michael Doran (Chair), Camille Gonzalez Kennedy, Cynthia Harris, Henry Riggs, Michele Tate

Staff: Payal Bhagat; Contract Planner; Nira Doherty, City Attorney; Fahteen Khan, Assistant Planner; Eric Phillips, Special Counsel; Matt Pruter; Associate Planner; Corinna Sandmeier, Acting Principal Planner

#### C. Reports and Announcements

Acting Principal Planner Corinna Sandmeier said she had no updates to report.

#### D. Public Comment

- Kim Novello, Menlo Park, said she wanted to emphasize how important it was that if bigger buildings were developed and more people were living in the area that consideration should be made of the places those people would need, noting comments made about amenities being provided such as grocery stores. She said in addition consideration should be made for outdoor space and she did not see that the dense residential developments were providing safe outdoor private space for the smaller children who would live there, which as a mother was important to her. She said also commercial grade cabinetry had sharp edges dangerous for children. She said apartments should be bigger as more people were working from home.
- Robert Owen Bruce said he was not a Menlo Park resident but attended church in Menlo Park. He asked about the status of the Parkline project and whether there were other location options for some of the facilities proposed.

Chair Doran said the Commission was holding its first study session on the Parkline project this evening and there was no project application yet.

- Sue Connelly, Burgess Classics resident, said she was very active in emergency preparedness in Menlo Park and other towns. She said her concern was water. She noted the long drought and



asked if underground reservoirs might be provided through development for high density places such as apartment buildings.

Chair Doran closed public comment.

## **E. Consent Calendar**

- E1. Approval of minutes and court reporter transcript from January 24, 2022, Planning Commission meeting. (Attachment)

ACTION: M/S (Chris DeCardy/Henry Riggs) to approve the consent calendar as submitted; passes 7-0.

## **F. Public Hearing**

- F1. Use Permit and Variance/Heather Young/811 Bay Road:  
Request for a use permit to demolish an existing church and construct two new, two-story, single-family residences on a substandard lot with regard to minimum lot width in the R-3 (Apartment) zoning district. The proposal includes a request for a variance for the new residences to encroach into the required 20-foot separation between main buildings located on adjacent lots. The project also includes administrative review of a condominium map. (Staff Report #22-016-PC)

Staff Comment: Assistant Planner Fahteen Khan said staff had no updates to the written report.

Applicant Presentation: Heather Young, Heather Young Architects, introduced the property owner Zach Trailer, who wished to make a few remarks.

Zach Trailer, property owner, said the property had access from two sides. He said there was housing on both sides of the site, and he thought the proposal was an appropriate use of the site.

Ms. Young said the proposal was for two new single family, two-story homes with one at 811 Bay Road and the other at 810 Van Buren Street, noting it was in the triangular zone between the Bayshore Freeway and Bay Road and Madera Avenue. She said the existing neighborhood was predominantly multi-family residences. She said the requested variance was to address the southern edge of the site plan where an existing residence was less than 10 feet from the property line. She said their project was proposed at 10-feet from the property line but would not achieve the required 20-foot separation due to the other property's structure's proximity to the property line. She said new screening trees were proposed on the south side to the property closer as mentioned earlier and new trees on Van Buren Street. She said a very mature redwood tree in the public right of way would be preserved and protected. She said the proposed house heights were 27-foot, 7 ½ inches and well below the maximum allowable height of 35 feet. She said the mass of the houses was broken down to respect the tapering of the lot. She said materials and finishes included vertical cedar siding on the second floor, light colored cement plaster on the first floor, accents with cantilevered awnings and porches all around the windows and doors with high quality exterior metal clad interior wood. She said they would use precast pavers for a permeable driveway. She said the roof was a standing seam metal roof.

Chair Doran opened the public hearing and closed it as there were no speakers.

Commission Comment: Commissioner Riggs asked if the windows were true or simulated true divided lights. Ms. Young said the windows would be simulated true divided light with the spacer between the glass layers.

Commissioner Camille Gonzalez Kennedy said the project site was one of the more challenging and encumbered sites in that neighborhood given its adjacency to Highway 101 and Van Buren, which at that point was almost an access service road. She said part of the property abutted at the rear of the VA site. She said these seemed to be spec homes and questioned the demand for those in what was a very challenging physical environment.

Mr. Trailer said there was a need for all kinds of housing in all kinds of places. He said he thought it would be a great place to live noting it was in a great school district and there were nice neighbors in the area that they had met doing their outreach process. He said it could probably have been a great apartment site but parking space requirements could not be met for that.

Commissioner Cynthea Harris referred to the two one-car garages and asked whether Menlo Park requirements led to that solution. Ms. Young said they had looked at an uncovered parking space in the side yard setback on the north side but had misunderstood the zoning requirement that both parking spaces be outside of the 10-foot setback. She said if they had not had that requirement that it would have been quite a different project.

Commissioner Michele Tate said currently houses of worship were being encouraged to do multi-family housing on their properties. She said this was a perfect site for an apartment building but that was not possible because of the parking requirements. She said she wished a four-plex would have been possible instead of this proposal as it would have worked better within the surrounding environment.

Chair Doran said the standard for granting variances was high. He said this project met that standard as the nonconforming setback was based on the neighboring property and basically it would be wrong to penalize the applicant for that.

Commissioner Riggs said the project was attractive and suitable for the site. He moved to approve and make the findings as recommended in the staff report. Chair Doran seconded the motion.

**ACTION:** M/S (Riggs/Doran) to approve the item as recommended; passes 6-1 with Commissioner Kennedy opposed.

1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.
2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.
3. Make the following findings as per Section 16.82.340 of the Zoning Ordinance pertaining to the granting of variances:

- a. The hardship at 811 Bay Road is caused by the combination of the property being a narrow lot and a neighboring, nonconforming, multifamily residence, which creates a small area for the permitted building footprint. The hardship is unique to the property, and has not been created by an act of the owner.
  - b. The variance will allow the proposed units to be located at the required 10-foot side setback line, providing adequate space for two units. The variance would not constitute a special privilege, as the variance request is merely allowing the applicant to have similar development capabilities as any other R-3 zoned properties.
  - c. The proposed project would be below the maximum allowed floor area and building coverage; and all other development standards would also be met. If the adjacent parcel (815 Bay Road) is redeveloped in the future, it would be required to adhere to the 10-foot side setback requirement and the variance would no longer be needed. As such, granting of the variance would not be materially detrimental to the public health, safety, or welfare, and will not impair adequate supply of light and air to adjacent property.
  - d. The variance request is based on the nonconformance of the adjacent structure. Since other properties are generally located next to structures in compliance with their respective zoning district development regulations, or have lot width to accommodate the allowable buildable area, this variance would not apply to other properties in the same zoning district. As such, the conditions on which the variance is based would not be generally applicable to other property in the same zoning classification.
  - e. The property is not within any Specific Plan area, and as such, no finding regarding an unusual factor is required to be made.
4. Approve the use permit and variance subject to the following **standard** conditions:
- a. Development of the project shall be substantially in conformance with the plans prepared by Heather Young Architects, consisting of 30 plan sheets, received March 4, 2022, and approved by the Planning Commission on March 28, 2022, except as modified by the conditions contained herein, subject to review and approval by the Planning Division.
  - b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.
  - c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
  - d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.

- e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.
  - f. All applicable public right-of-way improvements, including frontage improvements and the dedication of easements and public right-of-way, shall be completed to the satisfaction of the Engineering Division prior to building permit final inspection.
  - g. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.
  - h. Post-construction runoff into the storm drain shall not exceed pre-construction runoff levels. The applicant's design professional shall evaluate the Project's impact to the City's storm drainage system and shall substantiate their conclusions with drainage calculations to the satisfaction of the City Engineer prior to building permit issuance.
  - i. Simultaneous with the submittal of a complete building permit application, the applicant shall provide documentation indicating the amount of irrigated landscaping. If the project proposes more than 500 square feet of irrigated landscaping, it is subject to the City's Water Efficient Landscaping Ordinance (Municipal Code Chapter 12.44). Submittal of a detailed landscape plan would be required concurrently with the submittal of a complete building permit application.
  - j. If construction is not complete by the start of the wet season (October 1 through April 30), the Applicant shall implement a winterization program to minimize the potential for erosion and sedimentation.
  - k. Prior to building permit issuance, the Applicant shall pay all applicable City fees. Refer to City of Menlo Park Master Fee Schedule.
  - l. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the arborist report prepared by Urban Tree Management Inc., dated March 2, 2022.
- F2. Use Permit, Architectural Control, Below Market Rate Housing Agreement, Heritage Tree Removals, and associated Environmental Review/Andrew Morcos for Greystar/165 Jefferson Drive (Menlo Flats Project):  
Request for a use permit, architectural control, environmental review, below market rate (BMR) housing agreement, heritage tree removals, and BMR housing density bonus to redevelop the project site with approximately 158 multi-family dwelling units and approximately 15,000 square feet of commercial space on a 1.38-acre parcel. The proposed mixed-use building would be eight stories in height, including three levels of above grade podium parking. The commercial space would be located on the first and second floors. The project site is located in the R-MU-B (Residential Mixed Use, Bonus) zoning district. The project site currently contains a one-story, approximately 24,300-square foot office building that would be demolished. The proposed building would contain approximately 153,964 square feet of gross floor area of residential uses with a floor area ratio of

approximately 256 percent. The proposed building would contain a commercial component of approximately 15,000 square feet of gross floor area with a floor area ratio of approximately 25 percent. The proposal includes a request for an increase in height, density, and floor area ratio (FAR) under the bonus level development allowance in exchange for community amenities. The applicant is proposing to pay the community amenities in-lieu fee for the proposed project. The proposed project would include a below market rate housing agreement that requires a minimum of 15 percent of the units (or 21 units of the 138 maximum units allowed by the Zoning Ordinance before accounting for the 20 bonus units) be affordable. The applicant is proposing to incorporate 20 additional market-rate units (which are included in the total 158 units), per the density bonus provisions in the BMR Housing Program (Chapter 16.96.040), which allows density and FAR bonuses, and exceptions to the City's Zoning Ordinance requirements when BMR units are incorporated into the project. The proposed project includes the removal of two heritage trees. ([Staff Report #22-017-PC](#))

Staff Comment: Contract Planner Payal Bhagat made a short presentation on the Menlo Flats project noting that the Commission was asked to consider and take action on the Final Environmental Impact Report (FEIR) and project entitlements. She said the building had 158 multifamily apartment units, 13,000 square feet of office space, and 1,600 square feet of commercial use. She said 21 BMR units at various income levels were proposed. She said the Housing Commission reviewed the proposal on February 2, 2022, and forwarded a recommendation of approval of the inclusionary housing units at mixed income levels to the Planning Commission. She said the project proposed to make a community amenity in-lieu fee of approximately \$4.84 million. She said the project was requesting reduction of 20 residential parking spaces and a small increase to the average height. She said consistent with the ConnectMenlo Land Use element, the project would provide a public paseo that would connect Jefferson and Constitution Drives on its eastern property line.

Planner Bhagat said staff recommendation was to adopt a resolution certifying the FEIR, adopt the Mitigation Monitoring and Reporting Program (MMRP), and adopt the CEQA findings; adopt a resolution approving the use permit, architectural control permit, BMR Housing Agreement, Open Space Agreement, and approve the Community Amenities proposal. She said the actions taken would be subject to the conditions of approval attached to the staff report.

Planner Bhagat said the staff report stated the finished floor elevation for occupiable spaces should be 24-inches above the base flood elevation but rather it should state 12-inches as the project site was less than 2 acres.

EIR Consultant Presentation: Matthew Wiswell, LSA, said he would review the FEIR elements that were under consideration for certification, and provide some background on the overall environmental review process including the process and timeline. He said the project was within the ConnectMenlo study area, for which a programmatic EIR was certified November 2016. He said this project tiered from that EIR. He said the East Palo Alto Settlement Agreement for bonus level development required a focused EIR with regard to housing and transportation. He said the environmental review of this project complied with the terms of that settlement agreement. He said no significant unavoidable impacts were identified and that all impacts were reduced to a less than significant level with the implementation of mitigation measures.

Mr. Wiswell said the Draft EIR evaluated a range of alternatives to the project with the objective of avoiding or reducing potential impacts. He said the EIR included full analysis of three alternatives in

addition to the CEQA required no project alternative. He said in terms of impacts the all-residential alternative would be the superior environmental alternative as it would reduce impacts compared to the proposed project and that mitigation measures TRA1 would not be required. He said three letters were received during the 45-day comment period. He said the letter from the Sequoia Union High School District made a number of comments related to impacts on schools. He said the two letters from individuals outlined concerns related to tribal cultural resources and overall concerns or support related to the merits of the project. He said all comments were responded to in writing in the Response to Comments document. He said comments received at public hearings were further responded to in the Response to Comments document. He said the Response to Comments document also included some minor corrections and clarifications to the draft EIR that were made in response to comments or were initiated by staff or LSA. He said with completion of the Response to Comments document that LSA and city staff determined that none of the comments on the draft EIR disclosed any new significant information, no new significant or substantially more severe environmental impacts than what had been identified, and no new feasible mitigation measures or alternatives had been identified which were considerably different from other previously identified, and that the draft EIR did not require any recirculation.

Mr. Wiswell said the FEIR included the draft EIR and Initial Study, the Response to Comments document, and the Mitigation, Monitoring, and Reporting Program. He said the Planning Commission was asked to decide whether or not the FEIR was adequate. He said the standard for adequacy were found in CEQA Guidelines Section 15151 as shown on the slide. He said the Planning Commissioner was asked to determine if the basic purpose of CEQA had been fulfilled, and if based on its own independent judgment the FEIR was adequate.

Applicant Presentation: Andrew Morcos, representing Greystar, said he would present on the project as well as Clark Manus, project architect, and Karen Krolewski, Landscape Architect. He said the 21 BMR units at a mix of affordability levels were onsite and distributed equitably. He said they were providing over 5,200 square feet of publicly accessible open space. He said connectivity was being provided through a publicly accessible paseo that promoted walking and biking through the site, noting 365 bicycle parking spaces onsite. He said the project was meeting LEED gold design standards including all electric design and 100% renewable energy, and pre-wiring for 100% EV charging.

Mr. Morcos provided an overview of the community outreach done since 2020 when the project was first introduced to the public. He said community outreach influenced the development. He said it helped them locate the publicly accessible open space adjacent to the paseo. He said they heard from the community and the City Council's Community Amenity subcommittee that the community amenity list needed to be updated. He regarding BMR they were requested to look at equivalent alternative BMR units rather than all at the low-income level. He said the BMR alternative approved by the Housing Commission included four very low-income units, 12 low-income units, and five moderate-income units all of which were capped at 75% of a comparable market rate per city code.

Mr. Morcos said the community amenity determination was a long and involved process. He said they were proposing \$4.84 million for a community amenity in lieu fee. He said originally Menlo Flats had proposed a café onsite as the community amenity. He said the entitlements for a project at 111 Independence Drive were approved and included a café as its community amenity and thus a café was not available to future developments. He said the City's Community Amenity subcommittee provided a revised list and started the process of adopting an in-lieu fee, which passed June 22, 2021. He said the revised list now included six options that were either unavailable or infeasible for



Menlo Flats. He said one was an urgent center and that was provided by their Menlo Uptown project. He said second was a grocery store that was in the proposed Meta development but infeasible for Menlo Flats just because of size limitations. He said a pharmacy was also in Meta's development and again infeasible for this project due to size and costs. He said regarding undergrounding power lines and Highway 101 soundwalls that the cost and scope for those projects far exceeded the \$4.4 million available through the project and also would be inefficient as those would stop and start dependent upon other developments doing. He said they were thus proposing the \$4.84 million community amenity in lieu fee.

Mr. Manus, project architect, said while the corner amenity space had changed relative to its potential use that its entry continued to offer the opportunity to create a dynamic and public space with a glimpse into the active resident open space on the podium. He said their exterior materials were a combination of fibrous cement, dark and light smooth trowel stucco, dark finished storefront, and green screens. He said at the building entry that served both pedestrians and vehicles the corner's verticality served as a beacon to help merge the residential and commercial uses. He said along the length of the paseo greening had been introduced to soften portions of the building particularly at the ends of the residential wing. He said the wall also accommodated backdoor access to the building for residents, a bike room access and a pet spa.

Ms. Krolewski, PJ Design Landscape Architect, provided slides of the podium and roof deck spaces showing their relationships to the publicly accessible space below them, including the front eastern plaza and the paseo spaces. She said they progressed the plaza design to activate the space to the surrounding neighborhood. She said the wooden patio steps were tiered with seating creating an inviting and activated corner. She said the paseo was a full public space providing all the city required paseo elements and would stand on its own until the adjacent 175 Jefferson Drive project would complete the rest of the paseo.

Chair Doran opened the public hearing and closed it as there were no speakers.

Commission Comment: Commissioner Riggs asked regarding the FEIR finding of no significant impacts from the project whether they should assume that was due to the ConnectMenlo EIR status. Mr. Wiswell said they were saying that this project on its own had no significant impacts beyond what was previously analyzed with ConnectMenlo. Commissioner Riggs said there were unavoidable impacts to traffic noting that Bayfront Expressway would be affected by another 158 living units. Mr. Wiswell said ConnectMenlo identified some significant unavoidable transportation impacts. He said with the shift from level of service (LOS) to vehicle miles traveled (VMT) that was not an impact considered significant for Menlo Flats anymore. Commissioner Riggs said it would be a real-life impact just not an EIR impact. Mr. Wiswell said it was not an environmental impact.

Commissioner Riggs referred to the applicant's finding that a pharmacy was not viable due to lack of space and asked if that was because the commercial space was limited to 1,600 square feet. Mr. Morcos said while they had that amount of commercial space their community amenity value was \$4.4 million and a 15,000 square foot pharmacy would greatly exceed that dollar amount.

Commissioner Riggs said when the Planning Commission last saw the project, they discussed activating the ground floor, basically the commercial space. He asked how the project was addressing that. Mr. Morcos said they focused on the front corner where the publicly accessible open space was and as some of the renderings showed there were tables and chairs for seating. He said he thought it could still be a café or a yoga studio or some other active use. He said the publicly

accessible open space would provide seating for people to activate that space and whatever use went there. Commissioner Riggs noted a bookstore/café in Palo Alto and asked if Greystar would seek such tenants. Mr. Morcos said such a tenant would be a great amenity for the residential tenants.

Commissioner DeCardy noted that as he had said previously the last time that the reduced parking alternative for this project was critical. He asked how they decided what level of reduced parking to use. Mr. Wiswell said the reduced parking alternative as proposed was to try to minimize the VMT impacts related to office users. He said he believed the VMT reduction needed was around 20% but the reduction percentage provided by the California Air Pollution Control Officers Association capped the reduction related to reduced parking at a 12% VMT reduction so they used the maximum reduction possible to determine how many parking spaces to reduce to achieve the 12% VMT reduction. He said that was about nine spaces. Commissioner DeCardy asked why they did not do more VMT reduction. Mr. Wiswell said he believed the thinking was that if parking was reduced too much there would still be a finite number of people that drove to a site and looked for parking creating traffic circling neighborhoods. Commissioner DeCardy asked about the date of this analysis Mr. Wiswell was referring to. Mr. Wiswell said it was a statewide report and was produced within the last 10 years and recently updated. Commissioner DeCardy said he was dubious about the utilization of that percentage cap.

Replying further to Commissioner DeCardy, Mr. Wiswell said there was not a relaxation of Traffic Demand Management (TDM) requirements for the project as the City's Transportation Guidelines required a TDM plan to achieve a minimum 20% trip reduction. He said the project had to reduce the VMT on top of what was already accounted for by the TDM program. He said what the mitigation measure did was account for the 20% trip reduction but the TDM itself was not relaxed. Commissioner DeCardy said he appreciated that the parking reduction was in the proposal as he thought that was relevant for future projects. He said LOS was not mandated by the state but they had decided to do that analysis as a city and asked if that had been done. Mr. Wiswell said yes and it was at the end of the transportation section of the EIR.

Commissioner DeCardy said he would find the EIR adequate. He said regarding the use permit and architectural control approvals that it was a very nice project that the Commission had seen four times. He said the applicants had been responsive to feedback, and he would support. He said he supported the BMR Housing Agreement for the mix it provided. He noted the approval from the Housing Commission. He said regarding community amenities that he understood the frustration between what the community wanted and the need to update the list, but he supported the \$4.8 million in lieu fee. He said he urged the City Council to utilize the money soon and to directly benefit the most impacted community.

Commissioner Riggs said going forward it seemed him it would have been an admirable goal to go beyond the VMT reduction goal of 12%. He said other than that he would echo Commissioner DeCardy's five points made and he also found the project supportable.

Commissioner Harris said this was her first time to see the project noting she had read the transcript of the November 15, 2021 meeting. She said many of the things the Planning Commission had requested were responded to by the applicant. She said she was fine with the BMR plan and appreciated that those were indistinguishable from market rate units and that there would be four-bedroom units. She said she agreed with others concerns that the city would not meet its housing targets with the 15% BMR requirement.



Replying to Commissioner Harris, Planner Sandmeier said in June 2021 that the City Council updated the community amenities that were available to projects, one of which was payment of an in-lieu fee. She said that was a dedicated fee that would go to the communities affected by new development. Commissioner Harris asked how the freeway walls that would cost more than \$4.8 million would ever happen. She said she thought that Council was going to look at that and figure it out, go back to the community and put together some process of how funds would be spent.

Nira Doherty, City Attorney, said the City Council had not yet made the updates to the list that Commissioner Harris was referencing, and which it was contemplating last summer. She said they anticipated that coming back to Council in the next couple of months. She said the Council had the discretion to update the community amenities list at any time to add or remove amenities from the list. She said they had not done that and had added the option to pay an in-lieu fee, which this project was opting to do. She said the fee was not specified as a "by right" fee in the community amenities ordinances and the municipal code but staff's recommendation was to approve the in-lieu fee as proposed as this was a housing development.

Commissioner Harris said at the last meeting they went over a number of these development projects in the Bayfront area and were told a 3-D model would be created of those. She said it would be helpful as the Commission was approving these projects for them and community members to see it. Planner Sandmeier said they were looking into what kind of information they could add to the website with graphics and those sorts of things. She said she did not think it would be an actual 3-D model. Commissioner Harris said her understanding was it would be a 3-D model

Commissioner Harris asked at what point they could go to just VMT analysis as it seemed a great deal of time and money was spent analyzing LOS. Mr. Wiswell said the LOS analysis was still required to comply with the City's General Plan as there were some policies within it relating to LOS. Special Counsel Eric Phillips said it was a ConnectMenlo requirement that the city and new projects being added to the city meet certain LOS standards. He said projects that were developing were required to show General Plan conformity. He said also there were conditions of approval proposed for the Commission on this project that improved LOS performance to comply with the General Plan and meet those standards established in ConnectMenlo. He said as long as those standards and the General Plan remained in effect projects would be obligated to meet those standards and comply with them.

Commissioner Harris asked that a future Planning Commission agenda include an item to draft a recommendation to the City Council to amend the General Plan and ConnectMenlo to remove the requirement for LOS analysis. Chair Doran noted the request.

Chair Doran said regarding the five items for the Commission's consideration that Commissioner DeCardy had expressed those well. He said he was in favor of making the findings and approving as per the recommendations. He said regarding the community amenity he had a strong preference for brick-and-mortar type community amenities as those were the most cost effective. He said something built as part of a project could have a greater value than the appraised value of the amenity. He said he had no intention of derailing the project because of the proposed in lieu fee.

**ACTION:** M/S (Riggs/DeCardy) to approve the item as recommended in the staff report; passes 7-0.

- Adopt a resolution certifying the Final Environmental Impact Report, adopting findings required by the California Environmental Quality Act, and adopting a Mitigation, Monitoring, and Reporting Program.
- Adopt a resolution adopting findings for project Use Permit, Architectural Control, Below Market Rate Agreement and Community Amenities Operating Covenant included in project Conditions of Approval.

G1. Study Session/Nick Menchel/333 Ravenswood Avenue (Parkline):

Request for a study session on a master plan development to comprehensively redevelop the SRI campus with a residential, office, research and development, and retail mixed-use project. The proposed project includes requests for a general plan amendment, zoning ordinance amendment, rezoning, conditional development permit (CDP), development agreement (DA), architectural control, vesting tentative map, and below market rate (BMR) housing agreement. The project would necessitate the preparation of an environmental impact report (EIR) in compliance with the California Environmental Quality Act (CEQA). (Staff Report #22-018-PC)

Staff Comment: Acting Principal Planner Sandmeier said 23 new emails had been received on the proposed project, and that many were in favor of additional housing and additional BMR housing; and some expressed concerns about the impacts to neighbors and to the church located at 201 Ravenswood Avenue. She said the existing SRI campus was an approximately 63-acre site with 38 buildings and 1.38 million square feet of gross floor area. She said the proposed project had no net increase of nonresidential square footage and that approximately 284,000 square feet would be retained for SRI's use in Buildings P, S and T. She said approximately 1.1 million new square feet of office and research and development uses were proposed in five main structures from three to five stories, a new office amenity building, and three parking structures for nonresidential use. She said the proposal included 400 residential rental units. She said that included 15% Below Market Rate (BMR) units, 19 two-story townhomes with attached two-car garages, 391 apartments in three buildings, three to five stories tall, and approximately one parking space per unit and one-story parking garages with podiums at the second level for private open space for the apartments. She said the proposal also included a sports field and a one-story community building adjacent to the Ravenswood Avenue and Middlefield Road intersection, 25 acres of landscaped publicly accessible open space, and new pedestrian and bicycle paths and connections through the site.

Ms. Sandmeier highlighted that the proposed circulation was private internal streets, an internal road to the three main residential buildings and parking garages, and an internal loop road to provide access to all nonresidential buildings, parking garages, surface parking areas, loading areas and for emergency vehicle access. She described the entry points for each of the building types. She said the requested entitlements included a General Plan Amendment, Zoning Ordinance Amendment, Rezoning, Development Agreement, Conditional Development Permit, architectural control for the new buildings, and a vesting tentative map to merge existing walks and create new parcels.

Ms. Sandmeier said topics for the Commission's consideration were the proposed land uses including site density and intensity, the site layout including building orientation and site access, conceptual architectural styles, design and layout of open space, parking locations and ratios, and proposed sustainability measures.

Questions of Staff: Commissioner DeCardy asked if this project would be reviewed standardly or whether it would have unique review.

Ms. Sandmeier said it would require a number of public hearings both at the City Council and Planning Commission as the environmental review progressed but it would be similar to what they saw with other projects.

Applicant Presentation: John McIntire, SRI, said that they were collaborating with a local firm Lane Partners to reimagine the site to serve both SRI's and the community's needs.

Mark Murray, Lane Partners, said their firm was Menlo Park based with an office about a half mile from the SRI campus. He said they had met with City staff and the Fire District, with community groups and had one on ones with dozens of residents. He said they held a series of open houses last summer before making their initial submittal in the fall. He said three of those were open to the general public and then they held a fourth specifically for the Burgess Classics neighborhood. He said those 32 homes shared a property line with the SRI site. He said that meeting was focused on the design particularly regarding the buffer zone between those properties and SRI. He said they received constructive feedback and were able to implement changes that responded to that.

Mr. Murray said one of their goals was to open up what currently was kind of a void in the center of town. He said the existing campus was large and for the most part had had security fencing around it. He said they envisioned as the Parkline name implied a new district characterized by open space, noting they planned to have 25 acres of publicly accessible green space. He said the site contained numerous mature heritage trees with some species over 100 years old that many community members had never seen. He said the goal was to preserve many of those heritage trees. He said another goal was to improve pedestrian and bicycle transportation through the area. He said regarding the commercial development component they were doing a one-to-one replacement for the existing 38 buildings. He said SRI would consolidate into three of the existing buildings and the other older 35 ones would be demolished and that same square footage would be consolidated into five new state of the art R&D buildings that were much more efficient and sustainable. He said another goal shared with the community was housing and that was proposed on 10 acres closest to the downtown and amenities. He said they were proposing 400 units at variable affordability and were open to community feedback on what the appropriate amount and types of housing were.

Thomas Yee, principal architect, Studios Architecture, referred to the site analysis and noted in addition to Mr. Murray's comments that there was an electrical substation near the corner of Ravenswood and Laurel. He said the three buildings, P, S and T that SRI was planning to retain were intended to be included in the master plan effort. He said the existing parking made up about 50% of the entire site area with the building footprint another 23% so 70% of the existing site was hard surface. He said their goal was to convert that into a more amenable resource for the community. He said onsite there were about 1,370 existing trees, a great percentage of which were heritage trees, and that it had been important to incorporate the trees into the plan. He described how in removing the fence the site would be opened up and how it might connect with other parts of the city. He described the pedestrian circulation plan and how the City's bicycle path plan might be extended through the redeveloped campus. He said regarding vehicular circulation they were purposely trying to separate residential from the office R&D and to not have any office R&D traffic go onto Laurel. He described elements of the residential portion of the development that would provide separation and enhanced open space for neighboring residential areas. He said for the residential design they took cues from the Allied Arts neighborhood and the Davis Polk building and were proposing sort of the Mission style. He provided visual imagery of the proposed design starting with Laurel Street and then from the corner of Ravenswood and Laurel toward the east with an

alternative pathway that was pedestrian oriented and an alternative bicycle pathway. He showed a view if walking down Ravenswood toward one of the entrances to the office R&D side with entrances clearly defined. He said they would create signals for the public to clearly show that this was a public trail and people were welcome into the site. He showed the proposed commons area of the office R&D site and existing heritage trees and the introduction of both passive and active uses that might be utilized both by tenants and the public. He showed lastly a view to the upper right of the playing field at Ravenswood and Middlefield.

Chair Doran opened for public comment.

Public Comment:

- Sue Connelly said she saw three potential problem areas noting she was a resident of the Burgess Classics community. She said her community's chief concern was the size of the proposed project. She said the elevations shown were only of the lower story and the apartment buildings would be five, five-story buildings and three five-story buildings plus the 20 townhomes. She referred to the office noting those were also five story buildings. She said the project meant the introduction of a great number of people who had not been there before and that would put pressure on the infrastructure and on water. She said safety was another chief concern as having the area fenced for many years had protected her community on one side. She noted they were having problems with the shared gate area with unhoused people. She said they had been trying for three years to resolve this humanely to obtain services and help and had been steadily rejected. She said she and her neighbors proposed that the number and the height of the office buildings be reduced. She said having fewer office buildings meant less of an impact on housing.
- Kalisha Webster, Housing Advocate for Housing Choices, said they were a nonprofit service provider helping people with developmental and other disabilities find and retain affordable housing throughout San Mateo County. She said she was calling in support of the proposed project but noted the City's draft Housing Element and the development need of around 1700 affordable units, nearly half of which were for very low-income level. She urged the applicants to do more with the project to serve people of all income levels and abilities. She said the site was ideally situated near transit and the downtown that supported a walkable and more sustainable community. She encouraged the city and developer to take advantage of the opportunities at the site to increase heights and densities and to include more affordable homes at all income levels and abilities. She said they supported the request for a one-acre parcel to be donated to an affordable housing developer that could develop more affordable housing at deeper levels of affordability than that under the inclusionary housing ordinance. She said a nonprofit developer was better able to serve the needs of lower income residents for the provision of more onsite support services. She said as of December 2021, 77% of Menlo Park adults with developmental disabilities still lived in the family homes, not by choice, but due to the lack of deeply affordable housing available.
- Kelly Vavor said she was a former public high school teacher and now a community volunteer engaged. She said she felt optimistic about this proposed development and grateful for the thought that had gone into it. She said she was the mother of four children and the public open space and better bicycle and pedestrian routes really resonated with her. She said the project would generate significant new tax revenue that would benefit their elementary and high school districts. She said she supported the project.

- Michal Bortnik, Allied Arts, expressed appreciation for SRI and Lane Partners for bringing a great opportunity and being open to the community's feedback. He said he liked all the open and green space, the trees, the bicycle and walking paths, and the thoughtful layout to work with the surroundings. He said it was great that hundreds of housing units were within easy walking distance of so many things. He said his only request was that more housing be provided. He noted the unfortunate reality of homelessness in the community. He said he made more specific comments in his written letter to the Planning Commission. He said at the last Commission meeting a presentation was made on development in the Bayshore area and how much new development was happening there and how quickly. He said he hoped that a double standard would not be applied here as to what was acceptable versus what was acceptable in other parts of town.
- Anna Zara, Linfield Oaks, said she supported the Parkline project as it was an ideal location due to its proximity to transportation, shopping, entertainment and recreation. She said she also supported higher density apartment buildings as part of the project so that one of those buildings might be made available to people with intellectual, developmental and physical challenges. She said many in this vulnerable population in Menlo Park were forced to relocate away from family, friends and familiar surroundings due to the lack of affordable housing.
- Verle Aebi, Linfield Oaks, said for those who lived on Laurel Street the traffic impact of the proposed project in conjunction with the projects that would be occupied in the near future on El Camino Real, the Stanford project and the other project further north on El Camino Real could put quite a few additional cars on Laurel Street as it was commonly used to cut through. He said when they got to the environmental impact analysis the traffic needed to be analyzed in conjunction with the future grade separation project, which he was sure would happen someday. He said one of those options involved cutting off Alma Street, which would put quite an increase in traffic pressure on Laurel Street. He said he thought it was discussed last summer that there should be no car access from the project even from the residential portion onto Laurel Street and the access should all be onto Ravenswood Avenue and Middlefield Road as those were much larger streets. He said years ago SRI maintained a "black house" with very toxic gases and chemicals that were used for some of the semiconductor work on campus and if that was the case today that was inconsistent with the density housing proposed.
- Bob MacDonald, Chair, ad hoc Church Committee for the Parkline project for the Menlo Park Christian Science Church on Ravenswood, and a Menlo Park resident said on behalf of his fellow church members attending this evening, that their church had been a neighbor and partner with SRI for over 60 years. He said in the late 1950s their church did a land swap with SRI that led to their current location surrounded by SRI on three sides. He said at that time a perpetual parking agreement was made that provided parking on SRI property for services, meetings and events at their church as well as some mutual traffic flow easements that ensured traffic flow and emergency vehicle access around the perimeter of their property and the ability to exit onto Middlefield Road. He said they had identified a significant issue for their church with the proposed plan, and were requesting that the playing field be moved so it was not adjacent to them to ensure the sanctity and serenity of their religious services, meetings and events. He said they were comfortable with continuing to have parking lots, parking structures, and office buildings adjacent to their property as that would create a buffer similar to what they had enjoyed for over 60 years. He said two of the three existing mutual traffic flow easements, Ravenswood 1 and Ravenswood 2, needed to remain in place to ensure that emergency vehicles were able to



get to any location around the periphery of their property. He said they would also like to reach a mutually acceptable agreement regarding the Middlefield Road connection.

- Alex Ho, said he lived near the site. He said it was great that SRI was planning to redevelop the property and help solve the City's housing shortfall. He said Lane Partners had incorporated much input from the neighbors. He said there were two issues he hoped might be addressed. He noted the egress from Burgess Drive and that it was specified during the presentation as a locked gate but he wondered about assurances that it would remain so in the future. He said the entry would drive additional commute traffic through the Linfield Oaks residential neighborhood and more importantly along Laurel Street, which was the Peninsula Bicycle Corridor and used by numerous children going back and forth to Encinal School. He said it was really important to look at traffic flows along Laurel Street. He asked what could be done to ensure that unhoused people did not start camping along the bicycle path and behind the Burgess Classics adjoining homes. He said currently people were sleeping on the sidewalks back there. He said also there was a history of shopping cars and garbage being left in the neighborhood, and the SRI back fence served as a homeless laundry every weekend. He asked that this be addressed through the project development.
- Emily Simonson, Laurel Street resident, said she supported the proposed project. She noted the thoughtful planning, additional housing, and the addition of better and safer ways to commute by bike and walking. She said as a mother of three young children that was lacking in this area. She said she appreciated the addition of green space as it was a rare opportunity to create more green space while creating more housing.
- Ken Chan said he was an organizer with the nonprofit Housing Leadership Council of San Mateo County. He said they worked with communities and their leaders to produce and preserve quality affordable homes. He expressed appreciation for SRI and their partners for the proposal. He said while the 400 proposed housing units would address the housing and jobs imbalance there was much more that could be done. He said they would like the project proponents to partner with an affordable housing developer to provide the highest number of affordable homes at the deepest affordability levels that would include services and support for residents such as after school care, computer lab, playgrounds and other amenities.
- Adina Levin, resident, said she served on the Complete Streets Commission but was speaking for herself. She said the proposed development was near amenities and offered paths and green space for people to enjoy and go to and from without really having to use cars for numerous short local needs and potentially near jobs. She said a letter recently sent to the City Council observed that southern California cities were ahead of Menlo Park in developing draft Housing Elements and had had their Housing Elements rejected due to unviable sites and lack of affirmatively furthering fair housing. She said it was pointed out that Menlo Park was at risk of a similar situation. She said she agreed with others to have additional homes particularly deeply affordable homes to accommodate housing needs.
- Karen Grove, Housing Commission, said she was speaking for herself. She said she supported the project noting the bike and walking paths, preservation of the beautiful trees, and the housing. She agreed that the site could be used for more housing and highlighted the comments made by Housing Choices noting the relationship of homelessness to low income. She said she supported the property owner donating land to an affordable housing provider to partner with to provide homes and support services. She said the Housing Element was dependent upon

affordable housing. She said she canvassed nearby residents of the project over the weekend and found that many were supportive of more housing, more affordable housing, more extremely low-income homes through the dedication of land and partnership with a nonprofit provider for this proposed project.

- Brittani Baxter, District 3 resident, said she lived within walking distance of the proposed project and loved the idea of opening up the site. She said her neighborhood was walkable and fantastic and she would love for more people to have that opportunity. She said she shared the enthusiasm for the future of this project and what this once in a generation opportunity meant for the city. She said concerns were expressed about traffic and parking and the site was perfectly located wherein a person would not actually need a car to get around. She suggested the site be set up with things in place to encourage people to choose more sustainable, ecofriendly, and congestion-reducing transit. She said using space for homes and people was preferable to using it for car storage. She said given the scale of the site there was a great opportunity to think about everybody in the community and help create that much needed difficult to create affordable housing especially for populations with specific needs. She noted the density of Bayshore projects with 100 units per acre and 40 units here per acre and suggested more could be done.
- Lynne Bramlett, District 3 resident on Mills Court, said she was speaking for herself noting she also led the disaster preparedness organization MPC Ready, which focused on Menlo Park and the unincorporated county islands within or adjacent to Menlo Park. She said their focus was disaster prepared neighborhoods as research showed in a disaster the most immediate source of help was the neighbors living closest. She said there were serious gaps in the local government's disaster preparedness. She said development projects represented opportunities to significantly improve disaster preparedness through the community amenity process. She said she agreed with another speaker's suggestion about the idea of putting underground water cisterns in new development. She said the city had less than one day's worth of stored water for emergency medical drinking and water was also essential for firefighting. She said fires were secondary consequences of earthquakes and pointed to the Hetch Hetchy water delivery's vulnerability to disruption from an earthquake. She said the local fire district had very little water stored and she thought water storage was much more important than a juice bar or a playing field.
- Rob Willington, Menlo Park resident, said he and his family supported the project. He said the SRI campus land was currently underutilized and it was a great idea to redevelop it into a new neighborhood with open space and new housing.
- Steve Pang, Burgess Classics, said he was opposed to the open space concept of the proposal as it would lead to unhoused people using for encampments. He said over the past three years they had tried to work with SRI to handle the unhoused problem with their back gate and nothing had been done. He said their children used to be able to bike and walk around the neighborhood but it did not feel safe anymore. He said he opposed the bicycle path from Middlefield to Laurel for substantially the same reason. He said he opposed the number and location of housing units proposed as there was potential for a lot of traffic on Laurel Street. He said he had submitted additional comments in a written comment letter.
- Frank Contreras, Menlo Park resident, said he and his family had lived in the area for 40 years and he supported the project proposal. He said he would like his family to be able to stay in the

area and affordable housing was needed. He said he agreed about the homelessness and encampments that those needed to be addressed. He said he agreed with housing being provided to special needs population as he thought everybody should have the opportunity to live in Menlo Park as it was such a great area.

- Will Connors, Willows resident, said he strongly supported the project particularly the bicycle and pedestrian access to schools and the downtown. He said his only critique was about the townhomes on Laurel Street as he would like to see more density in that area similar to the other residential units proposed at three to five stories as that was a better use of space near transit.
- Susan Stimson, Linfield Oaks, said she had attended some of the community input sessions and was pleased to see that some of what was recommended by residents had been incorporated. She said she would appreciate consideration of a closed wall for the parking structure to preserve privacy and block headlights at night as well as noise. She said she would like information on how security would be maintained throughout the green space so that the space might be utilized at night. She said that other large mixed-use projects in this area and their impacts on traffic and resources should be determined before adding another large development.
- Kenneth Mah, Burgess Classics, said they generally supported the proposal particularly the bicycle and pedestrian paths. He said they asked that the impact of the development and specifically the housing density be thoroughly considered. He said he and his wife used to bike to Stanford for five years and there was a safety issue at Laurel Street and Ravenswood Avenue as there was no dedicated bike lane. He said this project would worsen that safety issue. He said traffic in general would be increased on Laurel by the project. He said the current proposed designs might decrease the safety of both residents in his neighborhood and the Parkline residents trying to cross Laurel Street to get to Burgess Park. He asked the Commission to mitigate impact to Laurel Street by considering ingress and egress exclusively onto Ravenswood Avenue and Middlefield Road. He said they supported other issues needing attention including gate access on Burgess Drive, ensuring the intended use of the green space and insuring provision of safety and security of that space.
- Katie Behroozi, Menlo Park, said she served on the Complete Streets Commission, but was speaking for herself. She said this project addressed three big needs. She said one was a direct response to increased density as they needed better connectivity for bikes and pedestrians between Middlefield Road and Laurel Street. She said the project also offered open space noting recent conversations in the city on how to save parks. She said with the housing crisis there were homeless people. She said for several years there had been discussion to have a shelter in the area which was not supported. She said in general this was a great area for denser housing. She supported keeping the proposed openness and ensuring safe crossings at Middlefield Road noting the Vintage Oaks intersection. She said she was a member of the Trinity Church and they had a shared parking agreement with SRI but were also joyfully anticipating the idea of new potential parishioners and members of the community.
- Peter (no last name given) said he met with Mark Murray and Lane Partners and they had listened to the community's opinions. He said he lived in the Classics and loved the quiet nature and the streets. He said his one concern was traffic as although the plan was to replace existing square footage one to one those were primarily currently unoccupied buildings with lower employee density. He said he understood the vision for open space but that had consequences.



He said the connectivity to the ingress and egress made sense but did not really address safety issues of the ingress and egress along Burgess. He said there were dedicated bicycle lanes already along Linfield Drive and Ravenswood Avenue so they disagreed with having ingress and egress along Burgess. He said he wanted to make sure that they did not provide programming activities directly behind his and his neighbors' back yards between his community and the parking structure as that would encourage homeless encampments. He referred to comments on safety and unhoused people in the vicinity.

- Gail Gorton, Burgess Classics, said in general she supported the proposed project. She asked that the Commission be sensitive to a huge residential development dropped into a mixed residential area ranging from single family homes to apartment buildings, the tallest of which were only two-story. She said traffic impacts would be huge. She said Laurel Street, Ravenswood Avenue and Middlefield Road were two-lane roads already heavily congested. She said traffic was heavy on Laurel Street with Burgess Park there and she had seen near misses with bicycles from cars exiting the parking lots. She said they had to consider how the schools would absorb additional population and the impacts to natural resources. She said she appreciated the inclusion of a playing field as the fields at Burgess were at maximum usage. She asked how the Parkline playing field would be operated. She said she would prefer to see affordable homes for purchase on the site. She said it was important to provide affordable rental housing too. She said she would like the number of affordable units to remain the same as proposed but for the overall number housing units to be reduced.

Chair Doran closed public comment

Commission Comment: Chair Doran noted the time was 10:24 p.m. and that they would need to stop at 11 p.m. unless they voted to extend beyond that time.

Chair Doran said the first topic staff requested input on was land use. He said overall he thought the project was great and very thoughtful, and the land use was appropriate. He said he liked the residential uses closest to the train station, the playing field close to Menlo Atherton (MA) because there was not a lot of parkland around MA. He said the application included a request for a zoning ordinance amendment and rezoning so everything was on the table. He said it was a very large site and a great opportunity close to transit. He said he would encourage more housing and was amenable to higher density for housing. He said the proposed site layout seemed respectful to neighbors and he liked the townhouses as a bridge to existing residential neighbors. He said he liked the three stories nearer the front edge of the property and the five stories further behind. He said he would support higher densities especially if they were behind the five stories so height was gradual. He said also he would support more land being used for residential than for office. He said he appreciated the preservation of the heritage trees. He said access seemed well thought out. He said he heard the objections to residential access on Laurel Street but they needed residential development and the applicants had done a good job of keeping at least the commercial access off Laurel Street. He said regarding conceptual architectural styles that he believed it was very appropriate noting it was in early stages but he thought Mission style seemed appropriate. He said the design layout of the open space looked good. He said regarding parking locations and ratios that it was better than what was there now. He said regarding proposed sustainability measures it was still early in the design but he appreciated the LEED gold goal. He said he was generally supportive and would like to see more housing.

Commissioner Kennedy said generally she was supportive of the proposed project. She said she agreed with Chair Doran's comments on increased density and that significantly increasing density would be appropriate for this project. She said they had seen a number of letters contemplating what it would look like to take an acre and partner with an affordable housing developer to provide meaningful affordable housing. She said that might help them to embrace what was starting to happen across both Santa Clara and San Mateo Counties to move toward the attempted zero of homelessness. She said this site was their hope for putting the right amount of housing at the right densities downtown where it belonged.

Commissioner Andrew Barnes asked if the project site was outside of the Downtown / El Camino Real Specific Plan area (Specific Plan) and if so, what community amenities program applied to it. Planner Sandmeier said the site was outside of the Specific Plan and there was no specific community amenities program. She said the applicant was requesting a new general plan designation and new zoning ordinance amendment that the property would be rezoned to. She said as part of those there could be an exchange for some type of community amenity that was negotiated.

Commissioner Barnes said he liked the idea of a sports field but that was not a community amenity in the formal sense. He asked if they were considering have Parks and Recreation program the use of the field. Mr. Murray said they were open to how the field would be programmed. He said in a sense it was a community amenity as that sports field with an adjacent park area and a community building was really a community use rather than an amenity base for their office occupants or residents. He said it was meant for AYSO or other recreational leagues. He said hopefully it could allow for office occupants use as well but they intended it to be truly a community sports field. He said that it was early on and they were open to ideas on management of it.

Commissioner Riggs asked what the approximate occupied density of SRI was currently. Planner Sandmeier said she did not have that information. Mr. Murray said they did not either as occupancy had been significantly disrupted by the pandemic. He said SRI's intent was to consolidate into those three existing buildings totaling about 280,000 square feet but he thought currently employees were spread out in much more space. Commissioner Riggs said they would have to look at something historic then like a 2019 Google map or something like that. He said his question related to traffic and noted the Meta campus with three office clusters of roughly 500,000 square feet each and the amount of traffic going in and out of those clusters. He said over the 20 years he had regularly traveled down Ringwood and Ravenswood he had never seen even a fraction of that traffic in the SRI parking lots. He asked if that was accurate. Mr. Murray said the last Conditional Use Permit, approved around 2004, showed a headcount cap of about 3,200 people but that had declined significantly due to Covid.

Commissioner Riggs said the public they heard from were supportive of the project because of housing, BMR units and opportunities to create more affordable housing and for special needs populations. He said however the project would have approximately 1.4 million square feet of office space and 400 residential units. He said by comparison Willow Village had over 1700 proposed housing units for roughly the same amount of office use, and that project was providing significantly less housing than the additional workers generated by it. He said the proposed Parkline project was not a housing development project. He said that did not mean he was opposed to it unless it was a housing project – he just thought it should be clear what the project was. He said one letter from the public asked how many workers were expected and how that related to housing / jobs imbalance and traffic. He said five story office buildings here would indicate a higher density. He said there

were three parking structures proposed so he expected there was some concept of what kind of density was expected. He said information on that would be expected at the next session.

Commissioner Riggs said regarding the proposed land use, intensity and density, that the most notable thing was this was not a jobs and housing imbalance correcting project. He said the question would be how much it would contribute to the imbalance. He said that this might not be the project that needed to address the imbalance, just that it was something to be noted. He said since the project was predominantly an office space project, he thought it made sense to put the office space as close to the train station as possible. He suggested that office space users might take advantage of transportation much better and more immediately than residents. He said that he did not really have any comments on the site access, design, layout of open space, parking locations or ratios as theoretically those would be rethought to place office closer to transit. He said regarding conceptual architectural styles that they were taking the correct approach, and when that style was done well, it was really exciting.

Commissioner Harris said this was a unique opportunity for the City to transform an aging property with limited use to an open and mixed-use neighborhood. She said with so much community interest there were of course different ideas about what was wanted. She complimented the applicants on the 25 acres of publicly available green space, the retention of heritage trees and locating buildings around them, only the residential entrance on Laurel Street, listening to the community, and the pedestrian / bicycle paths and connectivity. She agreed they could not go wrong with the attractive Mission style architecture and was supportive that the five stories were set back from the three stories, and the 50-foot setback between the site buildings and Burgess Classics. She said her areas of concern included traffic impacts and mitigation. She said regarding a Transportation Demand Management plan (TDM) they had indicated a shuttle to Caltrain and suggested that might be extended to go downtown, maybe circle around to Safeway and then back again. She said she would like the TDM to go even further than that. She said they had had success on other projects with trip caps so she would like to see that. She said she would like Menlo Park to eliminate minimum parking requirements entirely toward significantly reducing the number of people driving and parking on this site as it was close to Caltrain and El Camino Real buses, and close to downtown amenities. She said the proposed three large parking structures took up too much land that could be used for housing. She asked if they had considered putting the parking underground, which would allow room for additional residences and reduce parking.

Mr. Murray said they considered it and a big drawback was the digging as that increased construction timing by nearly two times, and involved environmental impact and construction noise impact with trucks hauling dirt away. He said while the end result made the parking sort of disappear, it obviously was very costly. He said with this site and being able to provide 25 acres of open space they did not think it was necessary to do underground parking.

Commissioner Harris said the difference between the number of office workers for R&D versus regular office use was a pretty big delta, which might mean a greater parking need. She said when the project came back, she would like information on employee count, to see the parking reduced or ideas of how they might do that. She said to let the Commission know if the city would need to help them with parking reduction. She said they might consider charging for parking both the residents with unbundled parking and also the office workers or give rebates to those who did not drive to work. She said her second suggestion was to increase the number of housing units noting if parking was reduced that they would have more space. She referred to the idea of dedicating an acre to a nonprofit housing group to get more density and housing for people of all abilities and deeply affordable housing, and noted that deeply affordable housing residents were less likely to need cars

and that would help the parking. She said as they got closer to a project submittal that she would like to review the recreation site to understand what made the most sense, whether it was really for the community, whether it was truly a recreational field and if so what type.

Chair Doran noted it was 10:59 p.m. and two Commissioners were requesting to speak. He proposed taking a vote on extending the meeting time in a finite amount, and suggested 20 minutes acknowledging that some Commissioners had severe time constraints.

**ACTION:** M/S (Harris/Doran) to extend the meeting to 11:20 p.m.; passes 7-0.

Commissioner Tate said her biggest concern was the project would not provide enough housing. She said she liked the idea of donating not just one but a couple of acres to a nonprofit or low-income housing developer for affordable housing development. She said additionally she was concerned about the field near the existing church, as she thought the church needed quiet for their activities. She suggested the project team as a good neighbor might consider moving the field or to come to a compromise with the church. She said her assumption was there would be some sort of security to ensure the grounds were safe, but she had not heard that addressed in response to community comments.

Mr. Murray said the 25 acres would be privately owned. He said it was something they were trying to create as an amenity and not to burden the neighbors or the city. He said he envisioned that they would privately develop and maintain the space and there would be some kind of public access license or easement to use it as a park during certain hours. He said they were open to ideas. He said in terms of safety late at night and early morning, as this was private property, they would be responsible for securing it. He said they would have every incentive to secure it as the property owner for the benefit of the residents who lived there. He said that was something they were very confident they could manage.

Commissioner Tate asked if they had given consideration to donating some of the land. Mr. Murray said they were speaking with different groups and others about how to generate more affordable housing. He said the idea had been discussed and they were open to it.

Commissioner Barnes said a couple of areas could use more thought. He said as he conceptualized the 25 acres of green space, he saw that was good for the site and for instance the office users and residents. He said the common area in the middle was underutilizing the site. He noted the dearth of playing fields in the area and suggested two fields on the site that were neither a park or a tenant feature amenity. He said he had no use for in lieu fees but a use for an accretive, material and tangible community benefit. He said he supported parceling out some of the property, an acre or so, for a deeply affordable housing project. He referred to traffic impacts from the project notably to the Willow Road, Middlefield Road and Woodland intersection. He said moving forward he would want discussion on what impacts the project would have transportation and transit infrastructure.

Commissioner Tate said for the record that her request was for one or two acres donated to a low-income housing group but that it was not in lieu of the BMR units the project was providing. She said that integrated housing was better than when it was just in one building but she understood the need for the latter, and they had the property size to make it happen.

Commissioner DeCardy said he appreciated community interest in the project. He said what the applicants were trying to do and the direction they were going could work very well and there were

challenging things to sort out. He said two things were not working and those needed to work in a fundamentally different way. He said one was affordable housing. He said with 400 units that 15% BMR would be about 60 units of affordable housing. He said that was one unit of affordable housing per acre on this property. He said the simplest thing would be to set a goal for affordable housing and then they could sort out what that required but the goal needed to be significantly higher than 60 units. He said the second was the congestion that would come with attracting so many people to this area and what to do about that. He said a parking garage would not get them out of the congestion problem. He said the project team proposed shuttles. He said he had the opportunity to have a walkthrough with Mr. Murray and that was helpful. He said an electric shuttle that went from the site down to Caltrain was a beginning point. He said working with City Council they could open this up and as Commissioner Harris had commented, take the opportunity to look across the community and finally get connectivity from Bayfront to the downtown that would get people out of cars, work for this development and act as a catalyst to make that work for the rest of the community. He said the city had major developments from the Bayfront, along Willow Road and downtown not to mention what might come out of the Life Sciences District and the USGS site. He said now was the time as a community to address connecting all that with something other than single occupancy vehicles. He said it was not this project's responsibility to own this but it was their responsibility to catalyze it to help make their project work.

Commissioner Riggs said he supported Commissioner DeCardy's call for action for transit from Bayfront, past SRI and to the Caltrain station and that would require the City Council to do something more locally. He said he was surprised the challenging Ravenswood and Ringwood intersection had not been mentioned as here was an opportunity to bring Ravenwood around the church property and align with Ringwood. He said the current intersection was dangerous for the many pedestrians coming from the high school, particularly dangerous for bicyclists going southbound on Middlefield Road and crossing that loop connector. He said it was an annoyance to everyone who had to navigate those double traffic lights and it was time to fix it.

## **H. Informational Items**

### **H1. Future Planning Commission Meeting Schedule**

- Regular Meeting: April 11, 2022

Planner Sandmeier said the Citizen M project that had been continued would be on the April 11 agenda as well as two single-family home projects.

Commissioner DeCardy said for a future agenda that Commissioner Harris had raised an item about looking at level of service and he was looking forward to that opportunity at a future meeting.

Commissioner Tate said she would like an agenda item to talk further about parking and how to get around that requirement. She said the project they saw earlier on Bay Road was a lost opportunity for more housing units because of parking requirements. She said she thought Commissioner Riggs had wanted to review current ordinances a while back and hopefully they could put that on their agenda soon to be up to date.

- Regular Meeting: April 25, 2022

**I. Adjournment**

Chair Doran adjourned the meeting at 11:20 p.m.

Staff Liaison: Corinna Sandmeier, Acting Principal Planner

Recording Secretary: Brenda Bennett



## REGULAR MEETING AGENDA DRAFT MINUTES

**Date:** 5/02/2022  
**Time:** 7:00 p.m.  
**Location:** Zoom

### Regular Meeting

#### A. Call To Order

Vice Chair Chris DeCardy called the meeting to order at 7:00 p.m. and provided an overview of the duties and functions of the Planning Commission.

#### B. Roll Call

Present: Andrew Barnes (arrived during item D), Chris DeCardy (Vice Chair), Linh Dan Do, Cynthia Harris, David Thomas, Henry Riggs

Absent: Michele Tate

Staff: Corinna Sandmeier, Acting Principal Planner; Tom Smith, Acting Principal Planner; Chris Turner, Assistant Planner

At Vice Chair DeCardy's request, Assistant Planner Chris Turner explained how applicants and the public would be able to participate in the virtual meeting.

#### C. Reports and Announcements

Acting Principal Planner Corinna Sandmeier said the City Council would hold a study session on the Parkline Project on May 10, 2022.

#### D. Public Comment

Commissioner Andrew Barnes arrived at this point in the meeting.

There was no public comment.

#### E. Consent Calendar

None

#### F. Regular Business

- F1. Selection of Planning Commission Chair and Vice Chair for May 2022 through April 2023 (Staff Report #22-023-PC)

Vice Chair DeCardy opened for public comment and closed as there was none.



ACTION: M/S (Cynthia Harris/Henry Riggs) to nominate Chris DeCardy for Planning Commission Chair; passes 6-0 with Commissioner Michele Tate absent.

ACTION: M/S (Andrew Barnes/David Thomas) to nominate Cynthia Harris for Planning Commission Vice Chair; passes 6-0 with Commissioner Tate absent.

## **G. Public Hearing**

G1 and H1 are associated items with a single staff report

### **G1. Draft Environmental Impact Report (Draft EIR) Public Hearing/Tarlton Properties, LLC/1350 Adams Court:**

Public hearing to receive comments on the Draft EIR to develop a five-story research and development (R&D) building with up to 260,400 square feet of gross floor area (GFA), as part of the 1350 Adams Court Project in the LS-B (Life Sciences, Bonus) zoning district. The project site consists of an existing two-story approximately 188,100-square-foot life sciences building, addressed 1305 O'Brien Drive, and an undeveloped northern portion of the site. The proposed R&D building would be located on the vacant site area and the existing building would remain. Parking for the proposed new R&D building would be located in a partially-below-grade podium level with three additional levels of parking provided above grade and integrated into the building. The total gross floor area at the project site with the proposed and existing buildings would be approximately 448,500 square feet, with a total proposed floor area ratio (FAR) of approximately 92 percent for the site. The proposal includes a request for an increase in height and FAR under the bonus level development allowance in exchange for community amenities. The applicant is proposing payment of a community amenities in-lieu fee. The project also includes upgrades of water lines beneath Adams Court, along the interior of the project site, and beneath O'Brien Drive from the southwest corner of the project site frontage to the intersection with Willow Road. The project also includes a hazardous materials use permit request to allow a diesel generator to operate the facilities in the event of a power outage or emergency. In accordance with CEQA, the certified program-level ConnectMenlo EIR served as the first-tier environmental analysis. Further, the Draft EIR was prepared in compliance with the terms of the Settlement Agreement between the City of East Palo Alto and the City of Menlo Park. The Draft EIR was prepared to address potential physical environmental effects of the proposed project in the following areas: population and housing, transportation, air quality, greenhouse gas emissions, noise (operation – traffic noise, construction noise and vibration), and utilities and energy. The draft environmental impact report does not identify any significant and unavoidable environmental impacts from the proposed project. The project site does not contain a toxic release site, per Section 6596.2 of the California Government Code. Written comments on the Draft EIR may be also submitted to Community Development (701 Laurel St., Menlo Park) no later than 5 p.m. on May 23, 2022. (Staff Report #22-024-PC)

This item was transcribed by a court reporter.

## **H. Study Session**

### **H1. Study Session/Tarlton Properties, LLC/1350 Adams Court:** Request for a study session for a use permit, architectural control, below market rate (BMR) housing agreement, heritage tree removal permits, and environmental review to develop a five-story



research and development (R&D) building with up to 260,400 square feet of gross floor area (GFA), as part of the 1350 Adams Court Project in the LS-B (Life Sciences, Bonus) zoning district. The project site consists of an existing two-story approximately 188,100-square-foot life sciences building, addressed 1305 O'Brien Drive, and an undeveloped northern portion of the site. The proposed R&D building would be located on the vacant site area and the existing building would remain. Parking for the proposed new R&D building would be located in a partially-below-grade podium level with three additional levels of parking provided above grade and integrated into the building. The total gross floor area at the project site with the proposed and existing buildings would be approximately 448,500 square feet, with a total proposed floor area ratio (FAR) of approximately 92 percent for the site. The proposal includes a request for an increase in height and FAR under the bonus level development allowance in exchange for community amenities. The applicant is proposing payment of a community amenities in-lieu fee. The project also includes upgrades of water lines beneath Adams Court, along the interior of the project site, and beneath O'Brien Drive from the southwest corner of the project site frontage to the intersection with Willow Road. The project also includes a hazardous materials use permit request to allow a diesel generator to operate the facilities in the event of a power outage or emergency. (Staff Report #22-024-PC)

Staff Comment: Planner Smith said this was the opportunity for the Commission to comment on the design, community amenities proposal, below market rate (BMR) agreement and other project aspects outside of environmental impacts, and to receive public comment on the same.

Chair DeCardy opened public comment.

Public Comment:

- Pamela Jones, Menlo Park, said since 2009 the housing impact analyses done had indicated no impact yet significant displacement had occurred that was shown in the 2020 census. She said the BMR requirement should be 20% for this project as the units would not be built on site. She said another quality-of-life concern was that air quality data was inadequate for her community as its climate was completely different from Redwood Station upon which the data was based upon. She requested mitigation for these quality-of-life concerns for her community and East Palo Alto residents that were adjacent to this area.

Chair DeCardy closed public comment.

Commission Comment: Commissioner Riggs confirmed with staff what the average project height referred to and indicated he had no issue with it given the location and the zoning district.

Commissioner Riggs asked if the city looked at expected water consumption for new projects but noted the proposed project's particular effort to conserve water. Planner Smith said this applicant had to reduce non-potable water usage by at least 30% on the site and were doing more than that. He said also an evaluation was done of water use for the building, and a water assessment report was prepared for the project. He said the City Council approved that report prior to the release of the draft EIR, as was required.

Replying further to Commissioner Riggs regarding water supply, Planner Smith said a water supply evaluation was done as part of ConnectMenlo that looked at all the potential development in the LS-O-RMU districts and found adequate water supply to serve all of that potential development

combined with the water supply need of the rest of the city. He said individual projects under zoning requirements had water budgets and were required to report annually. He said the city would track this project and ensure it was using the water share allocated for it. He said building proposals of 100,000 square feet or more had to prepare a water budget and methodology as part of the review and approval of a project, and then annually provide water usage data. He said the city would be looking at each project's water budgets in combination to ensure compliance. Commissioner Riggs said he was thinking actually that the city should establish a citywide water budget over the next five years as they determined if the current extended drought was actually the new normal. Planner Smith said there was not a full analysis of how much water was allocated and used citywide for all existing structures and new development. He said that Council could pursue that analysis if interested.

Commissioner Riggs said regarding traffic when Bayfront Expressway was filled with cars not moving and Willow Road the same and barely moving that VMT was low. He said that was why city planning looked at level of service (LOS). He said potentially there would be 650 occupants for the new building with a diversion rate potentially up to 40%, but that was still around 400 new cars. He said he wanted to press the opportunity to potentially reduce the required parking for the building if there was a condition under which Mr. Tarlton could see his business model still be successful with less parking.

Replying to Commissioner Riggs, Mr. Tarlton said DES had been working with their property management company for over 40 years on life science projects and were continually evaluating what the ideal facility was for tenants regarding building design and layout, the uses and had provided parking for now and in the future. He said they had been deliberate and hopefully thoughtful in terms of the parking proposed. He said they continued to push as to how much parking would be provided for a project. He said the original Menlo Business Park was designed with 3.3 per thousand parking and that was a reduction from the city's parking requirement. He said they would continue to assess parking need and push the ratio down over time. He said they saw this building and associated parking as part of an evolving ecosystem and would very likely over time dedicate some of this facility's parking to shared parking across other facilities. He said at this point the data did not support lowering the parking ratio for this facility.

Commissioner Riggs told his fellow commissioners that he had met with Mr. Tarlton to discuss aspects of his business park. He asked Mr. Tarlton to describe the shuttle service that Tarlton Properties provided to its buildings and might similarly provide for this project. Mr. Tarlton said they began their shuttle program some time ago with a shuttle that ran between the business park and the University Avenue Caltrain station in downtown Palo Alto. He said they then added another shuttle that ran from the park to the Union City Bart Station, and then one that ran from the park to the Millbrae Bart Station, and then another that went to two stops in San Francisco. He said they did an annual survey of all the employees of their tenants in the park by zip code to get feedback from the shuttle users and prospective shuttle users about changes they would like made. He said they modified the system regularly with the goal of getting as many people as possible to the park in an alternate mode of transportation. He said he also promoted as much as possible to their tenants to bicycle to the park. He said they had an electric bike share program on campus. He said each destination had dedicated shuttles that ran continuously during commute hours.

Commissioner Riggs said if the facility had 650 new employees that they would live somewhere else based on the finding that the project's impact to Menlo Park housing was low as under 20% of employees of existing Tarlton Properties facilities lived in Menlo Park.

Commissioner Riggs asked for further description of the roof screen as he noticed it was corrugated metal unlike the smooth finish of the building. Ms. Eschweiler said it was metal and would be painted a gray color complementary to the rest of the building. She said it was approximately 16 feet above the roof and was to screen large mechanical units specific to life sciences use from street view. Commissioner Riggs asked if they would consider a different material. Ms. Eschweiler said it was a lightweight system and also robust. She said flat panels would have less strength requiring more structure behind it and that added to the weight of the building. Commissioner Riggs asked if they had considered materials that were not solid like perforated assemble grid or trellis-like. Ms. Eschweiler said the equipment would be visible behind that type of screen. Commissioner Riggs suggested for a life science facility that was not necessarily bad.

Commissioner Barnes talked about the rationale for use of VMT and that LOS was tied to induced demand. He said VMT was the best way understand what an infill development would contribute to a specific community. He said he was appreciative of the tax base and employment this project would bring to the community. He said the proposed project was well done noting the design, layout and materials were appropriate for the area. He said he liked the integration of the garage. He said with the number of Tarlton projects and its TDM and potential shared parking it made sense to do parking structures. He said the art part of the proposal was wonderful. He said regarding in lieu fees the grand bargain for ConnectMenlo had been that the city would up zone portions of the city, which would create profit for developers and the city through those would gain enough benefits and community amenities to offset impacts. He said he was disappointed with the in-lieu fee proposal. He said for the record that he believed the community amenities program was set up to accomplish improvements that the city could not do and that would serve impact communities.

Replying to Commissioner Barnes, Mr. Tarlton said they shared his disappointment. He said they applied four years before and were in discussion with the community about building a library with community amenity dollars from this project in conjunction with the Sobrato Organization also using some of the project benefit funds from their project. He said that library project then became part of the Meta project. He said they then proposed to the City Council to build the pool and aquatic facilities portion of the new community center in Belle Haven. He said there was opposition to them doing that and a clear message from Council that they wanted to revisit the community amenities list and that they, the developer, had to allow Council the time to coalesce around what that list would be. He said there was a penalty premium on paying the in-lieu fee and they would have preferred to have been halfway done with a library or aquatic center for the community.

Commissioner Barnes said in general that the in-lieu fee was not delivering material meaningful benefits to the community, the process was fundamentally broken and rife with capricious individual decisions that might or might not reflect what the community wanted. Mr. Tarlton said they were committed to using any influence they might have to ensure that the community amenities fund they paid into resulted into positive benefit for the community. He said they had sat on district committees in the past around public benefit and channeling redevelopment money and such, and they would be happy to participate in such a group or committee if it was created. He said they would be there for decades and it was important to them that the grand bargain noted by Commissioner Barnes be carried out for the benefit of Belle Haven.

Commissioner Do said she was appreciative that the community amenity issue was raised and for Mr. Tarlton's thoughtful response. She said she also appreciated the comments on how to reduce parking and what Tarlton Properties had implemented with shuttles and that they had requested reduced parking in the past below the city's requirements. She said when she visited the site that she saw about 10 people singly and in pairs walking. She said looking at the landscape design there would be two walk paths rather than one which she found a very thoughtful and generous design of public open space. She noted in reviewing the proposal she questioned the landscape area on the west side where the future paseo would be to amplify the public zone between Willow Village and this project, but found the diagram Ms. Eschweiler showed where it connected to 1440 helpful. She asked about a diagram showing the network of paseos planned, in progress or completed to provide more context on where the paseo on the western edge was connecting beyond the project site.

Ms. Eschweiler said last week the presentation on Willow Village project showed the 20-foot modal path going parallel to the property line but all on its side of the property line. She said they had had some discussions about whether or not that should split on the property line. She said in the drawing packet they had a contingency that if the full width paseo pair that ran the full length of their property and beyond was not approved and not built that they could continue their multi-modal publicly accessible open space path along that property line to build their half of the paseo if that should be needed.

Replying to Commissioner Do, Planner Smith said that a zoning map approved with ConnectMenlo showed all the proposed paseo locations throughout the Bayfront area. He said this one was envisioned to connect to the Dumbarton Rail Corridor and potential future transit connect there, and then to run south and further west into the life sciences district connecting to the street network that would lead out towards Willow Road. He said he would send the link for that to Commissioner Do.

Replying to Commissioner Do, Mr. Tarlton said they had high school outreach programs and those students visit tenants' spaces to see what life sciences look like in action as well as some internship programs.

Commissioner Harris said although not a fan of parking she liked how the project parking structure was tucked in in the proposal. She said she liked the stairwell that encouraged taking stairs versus using the elevator. She said she liked the darker accent medium gray color with the light colors on the corners highlighting the setback and the dual plumbing preparing for the future. She said she really liked the scientist sculptures proposed. She noted the high school outreach and a nearby middle school and suggested docent tours for them. She said she appreciated the extra half acre of public space in their partnership with Meta to expand that sidewalk. She said she hoped this applicant with this project and others could continue to partner with Meta on anything that would be helpful for the area as Meta came online with Willow Village. She said she appreciated the shuttle services and suggested perhaps in the future there might be shared shuttles between several developers or several employers especially as Willow Village came online. She mentioned an idea raised to partner with Meta to install a road to on the other side of Willow Village to get to the Bayfront and suggested it would be welcome if Tarlton Properties were to work on that with Meta. She said she appreciated the applicant challenging the parking requirements and said she would welcome them to come to the Planning Commission and push to reduce parking for any of their projects. She said Stanford University charged for parking but provided a rebate for bicycling. She suggested the applicant might consider besides other TDM measures a monetary reward for

bicycling to the site. She mentioned Commissioner Barnes' comments on community amenities. She said she understood that a new list was forthcoming and thought general opinion was in lieu fees were not the best solution to providing community amenities. She said getting that list done could lead to the applicant finding a desirable amenity to build for the community.

Chair DeCardy said in general the project was fine looking and fit in well with the life sciences area. He said he liked how the building was nested and the consideration of materials to fit into the area. He said that the height question was not particularly important to him. He said he supported art being part of the project. He noted the connectivity with students in the community and that Mr. Tarlton had indicated he wanted this to be a destination point not just for those working in life sciences but for the broader community. He suggested this might be an opportunity to talk about the background of innovation and science, and the multiple ways that had happened in the world's history, and a way to bring that together into a deeper connectivity to the community. He said it would be great for the life sciences and Belle Haven residents to be as connected as possible and this project looked like one such avenue to do that.

Chair DeCardy noted previous conversations about diesel generators, the types of work done in these buildings and the need for specific types of energy. He encouraged the applicant continue to look at innovation in that area and as the project came for approval, he would welcome an innovation for something other than a diesel generator.

Chair DeCardy referred to the access to Bayfront via paseos. He referred to the western part of the project, the Facebook side, and that no public member could get access to it from the Facebook project. He asked that they consider activation of it as it was a nice long stretch of space. He asked about the map for paseos through the rest of the life sciences onto O'Brien Drive and how connectivity to Belle Haven and East Palo Alto residential areas was being ensured.

Planner Smith said the coordination between projects in the area was certainly an ongoing issue. He shared his screen and showed the project site and the portion of paseo intended on the Willow Village site. Chair DeCardy noted where Planner Smith's cursor was showed the unconnected part and that was where residents were. Planner Smith noted a number of proposed projects throughout the life sciences district and believed there was a plan for all of O'Brien Drive to provide the meandering pathways and connections throughout the entire length there and eventually make other connections. He noted different frontage improvement agreements and the city was partnering with applicants in this area on the eventual development of all of that open space along those project frontages so the link Chair DeCardy was asking about would potentially occur.

Mr. Tarlton said they were in the process of a public-private partnership with the city's Public Works Department to create the first continuous sidewalk from University Avenue to Willow Road along the south side of O'Brien Drive. He said they hoped to get that project underway soon. He said in terms of connectivity they were taking a holistic approach but would only be able to deliver pieces as they went through their development. He said on the south side of O'Brien Drive they would have a sidewalk adjacent to vehicular traffic on the north side and a meandering sidewalk physically separate from traffic and was part of a larger scope. He said they were in discussions with the city about making their own contribution to the connection to the neighborhood that was south of the wall there and as staff pointed out there were a number of other projects, one in the beginning stages of application to the city that might also provide a connection point.



Chair DeCardy said through all of the projects that if the access north and south was not redressed to look and feel as beautiful as what would be the east – west connection that the city would have failed the community. He said unless there was access to the grocery store in Willow Village for the communities it was supposed to serve that it would only be a community amenity for wealthier residents living in the immediate vicinity.

Chair DeCardy referred back to Ms. Jones' comment about BMR that people were leaving the area that they had lived in for years because they could not afford to live here now. He said this and other projects needed to look at what they could do to boost BMR. He said he agreed with other commissioners' comments on community amenities and wanted an updated list with those things that were deeply connected to the community that continued to be the most impacted. He observed also with current rising inflation that in lieu fees paid lost value.

Chair DeCardy acknowledged Mr. Tarlton's statements on parking and 40 years of data and experience, and what worked for their projects. He said as a city though they needed to have what worked for the full community and the impacts with large developments continued to be great. He said he continued to support reducing parking and that could be accomplished with incentives and disincentives and cross parking. He noted Mr. Tarlton's comments about community amenities and ability to get something built and suggested that utilizing the shuttles and buses for his tenants in a partnership with other companies using private buses and shuttles to create a private-public bus service might be an even greater amenity. He said his wish was that Tarlton Properties and other development leaders would work together and find creative ways toward a type of system that worked for people to do something alternatively than drive cars. He said he did not support another access road going to the Bayfront Expressway and suspected it was unbuildable due to wetland protection. He said he would really like the parking on this project to be reduced a great deal more.

## **I. Informational Items**

### **I1. Future Planning Commission Meeting Schedule**

- Regular Meeting: May 9, 2022

Planner Sandmeier said the meeting agenda for May 9 was not finalized and staff would update the Commission as it evolved.

Chair DeCardy said he recalled in March the Commission had requested to look at LOS again and asked what follow up had occurred. Planner Sandmeier said LOS was more of a policy issue for the City Council as there were relevant policies in the General Plan and the Transportation Impact Analysis guidelines that were adopted by the Council. She said she was unsure what follow up was wanted. Chair DeCardy said he had a note of a request to have a follow up session looking at LOS for information on how it was used and not used as the Commission considered EIRs. He confirmed such follow up was not planned.

- Regular Meeting: May 23, 2022

## **J. Adjournment**

Chair DeCardy adjourned the meeting at 10:49 p.m.

Menlo Park Planning Commission Draft Minutes

May 2, 2022

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Staff Liaison: Corinna Sandmeier, Acting Principal Planner

Recording Secretary: Brenda Bennett

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CITY OF MENLO PARK  
PLANNING COMMISSION

In re:  
1350 Adams Court

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ENVIRONMENTAL IMPACT REPORT  
PUBLIC HEARING  
REPORTER'S TRANSCRIPT OF PROCEEDINGS

Monday, May 2, 2022



Page 2

1 ATTENDEES

2

3 THE PLANNING COMMISSION:

4 Chris DeCardy - Chairperson

5 Cynthia Harris - Vice Chairperson

6 Henry Riggs

7 Andrew Barnes

8 Linh Dan Do

9 David Thomas

10

11 SUPPORT STAFF:

12 Chris Turner

13 Tom Smith

14

15 PROJECT PRESENTERS:

16 John Tarlton

17 Susan Eschweiler

18 Gordon Huether

19 Heidi Mekkelson, ICF

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22 BE IT REMEMBERED that, pursuant to Notice of the

23 Meeting, and on May 2, 2022, via ZOOM Videoconference,

24 before me, AMBER ABREU-PEIXOTO, CSR 13546, State of

25 California, there commenced a Planning Commission meeting

under the provisions of the City of Menlo Park.

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Page 3

1 MEETING AGENDA

2 PAGE

3 Presentation by Mr. Smith 7

4

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6 Project Presenters:

7 John Tarlton 11

8 Susan Eschweiler 15

9 Gordon Huether 32

10 Heidi Mekkelson 38

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13 Public Comment 50

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15 Commission Questions and Comments 52

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Page 4

1 PROCEEDINGS

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3 CHAIR DECARDY: We now turn to our public

4 hearing, which is Item G on our Agenda. And as I do that,

5 I promised Ms. Sandmeier that I would pause to check with

6 you to make sure that I hadn't messed anything up.

7 MS. SANDMEIER: Um, no. All I have to add is,

8 yeah, congratulations to you, Chair DeCardy, and Vice

9 Chair Harris.

10 CHAIR DECARDY: Thank you very much.

11 All right. With that, we're going to turn to the

12 main item tonight. On our Agenda, it is items G1 and H1,

13 which are linked and associated with a single staff

14 report.

15 We'll begin with item G1, which is the Draft

16 Environmental Impact Report or Draft EIR public hearing

17 for Tarlton Properties, LLC, regarding 1350 Adams Court in

18 Menlo Park.

19 Public hearing is to receive comments on the

20 Draft EIR to develop a five-story research and development

21 (R&D) building with up to 26,400 square feet of gross

22 floor area as part of the 1350 Adams Court project in the

23 LSB, Life Sciences Bonus District.

24 The project site consists of an existing

25 two-story, approximately 188,100 square-foot Life Sciences

Page 5

1 Building, addressed 1305 O'Brien Drive, and an undeveloped

2 northern portion of that site.

3 The proposed R&D building would be located on the

4 vacant site area, and the existing building would remain.

5 Parking for the proposed new R&D building would

6 be located in a partially below-grade podium level, with

7 three additional levels of parking provided above grade

8 and integrated into the building.

9 The total gross floor area at the project site,

10 with the proposed and existing buildings, would be

11 approximately 448,500 square feet, with a total proposed

12 floor area ratio of approximately 92 percent for the site.

13 The proposal includes in exchange for community

14 amenities -- excuse me. Yes. Proposal includes a request

15 for an increase in height and FAR under the bonus level

16 development allowance in exchange for community amenities.

17 Apologies.

18 The Applicant is proposing payment of a community

19 amenities in-lieu fee. The project also includes upgrades

20 of water lines beneath Adams Court, along the interior of

21 the project site and beneath O'Brien Drive, from the

22 southwest corner of the project site frontage to the

23 intersection with Willow Road.

24 The project also includes a hazardous materials

25 use permit request to allow a diesel generator to operate

Page 6

1 the facilities in the event of a power outage or  
 2 emergency.  
 3 In accordance with CEQA, the certified  
 4 program-level ConnectMenlo EIR served as the first tier  
 5 environmental analysis. Further, the Draft EIR was  
 6 prepared in compliance with the terms of the Settlement  
 7 Agreement between the City of East Palo Alto and the City  
 8 of Menlo Park.  
 9 The Draft EIR was prepared to address potential  
 10 physical environmental effects of the proposed project in  
 11 the following areas: Population and housing,  
 12 transportation, air quality, greenhouse gas emissions,  
 13 noise (operation - traffic noise, construction noise and  
 14 vibration), and utilities and energy.  
 15 The Draft Environmental Impact Report does not  
 16 identify any significant and unavoidable environmental  
 17 impacts from the proposed project. The project site does  
 18 not contain a toxic release site, per Section 6596.2 of  
 19 the California Government Code.  
 20 Written comments on the Draft EIR may also be  
 21 submitted to Community Development Department, 701 Laurel  
 22 Street, Menlo Park, no later than 5:00 p.m., on May 23rd,  
 23 2022.  
 24 And with that, let me turn this over to Ms.  
 25 Sandmeier -- is that where I'm going next?

Page 8

1 evening, but this is an opportunity to gather public  
 2 comments on the design at this point, and then any  
 3 Commissioner questions that there may be on the project  
 4 design and entitlements.  
 5 So this map -- this aerial map shows, at a high  
 6 level, the project location. You can see it is actually  
 7 on one parcel. There's a building addressed 1305 O'Brien  
 8 Drive. That is south of the reddish-orange rectangle that  
 9 you see there. And then the project site is currently  
 10 vacant. There is some surface parking on either side,  
 11 sort of at the shorter ends of that rectangle, but the  
 12 center portion of it is vacant and undeveloped.  
 13 There's a few roads here that are highlighted.  
 14 You can see Willow Road, O'Brien Drive, and University  
 15 Avenue are sort of the major -- major roads in the  
 16 vicinity. This project site is on the corner of Adams  
 17 Drive, which runs sort of perpendicular to O'Brien Drive,  
 18 where the label is. And then Adams Court is a cul-de-sac  
 19 off of Adams Drive.  
 20 The project zoning is LSB, which stands for Life  
 21 Sciences Bonus level. You can see here that the  
 22 surrounding properties are a mix of office, additional  
 23 Life Science Bonus level, and then Life Science  
 24 properties, without the Bonus level distinction.  
 25 The four properties that have that "B"

Page 7

1 Oh, I'm sorry. It's Mr. Smith. Apologies.  
 2 MR. SMITH: No problem.  
 3 Good evening, Planning Commissioners.  
 4 Congratulations to the new Chair and Vice Chair, and  
 5 welcome to the new Commission members.  
 6 So I will begin with a brief presentation. And  
 7 if our staff could load that up, please.  
 8 All right. So as Chair DeCardy mentioned, this  
 9 is the 1350 Adams Court project. This is a Draft  
 10 Environmental Impact Report Public Hearing. The  
 11 recommended meeting format for this evening is, first, the  
 12 Draft EIR public hearing. There will be, after --  
 13 following my presentation, it will be recommended that  
 14 there be a presentation by the Applicant, followed by a  
 15 presentation by the EIR consultant, and then public  
 16 comments received after that, followed by Commissioner  
 17 questions and comments, and then closing out the Draft EIR  
 18 public hearing.  
 19 And, again, this portion of the meeting format is  
 20 really focused on the environmental impacts of the project  
 21 and the discussion of the analyses that were performed as  
 22 part of the Draft EIR.  
 23 The second portion of the meeting would be a  
 24 study session on the design and requested entitlements for  
 25 the project. There are no actions being taken this

Page 9

1 designation, standing for "Bonus," they are able to  
 2 develop at up to 125 percent floor area ratio, or FAR,  
 3 plus an additional 10 percent FAR for commercial uses.  
 4 They are allowed a height of -- a maximum height of up to  
 5 120 feet for this particular site. And it does require  
 6 the provision of a community amenity.  
 7 At the base level, development in this district  
 8 would be 55 percent FAR, plus 10 percent additional  
 9 commercial FAR. And the max height would be 45 feet. And  
 10 that would not require provision of a community amenity in  
 11 exchange for the Bonus level of development.  
 12 So the meeting purpose, we described just a  
 13 little bit already. But there are essentially two public  
 14 meetings as part of this evening's item -- or items. The  
 15 first is the Environmental Impact Report, which we call an  
 16 EIR public hearing. And that's an opportunity to accept  
 17 comments on the Draft EIR. And then the study session,  
 18 which is to ask clarifying questions on the plans and  
 19 design, the below-market rate housing proposal, and the  
 20 community amenities proposal.  
 21 As I mentioned, no actions will be taken this  
 22 evening. This is really an opportunity to gather public  
 23 comment on the Draft EIR. And there is a public comment  
 24 period that we are currently, sort of, near the middle of,  
 25 which ends May 23rd of this year, at 5:00 p.m. And we

Page 10

1 will be accepting written comments through that date.  
 2 Once we have any comments from this meeting and  
 3 then any written comments that are submitted, staff and  
 4 our environmental consultant will review and respond to  
 5 all substantive comments in a Final EIR, which would be  
 6 released. And then there would be a 10-day review period  
 7 for that prior to hearings on the entitlements.  
 8 The Planning Commission will be the acting body  
 9 on certification of the Final EIR for the project and the  
 10 land use entitlements. So at a later date, once the Final  
 11 EIR has been written and published, then we will return  
 12 for those land use entitlements and certification.  
 13 And that concludes my staff presentation. As  
 14 recommended, we would advise that you give the Applicant  
 15 the opportunity to present at this time so you can get a  
 16 full project overview, prior to diving into the details on  
 17 the project EIR.  
 18 CHAIR DECARDY: Thank you, Mr. Smith, for the  
 19 presentation and for the guidance.  
 20 I will plan to turn to the Applicant. If there  
 21 are any pressing questions after that from the  
 22 commissioners that are clarifying questions before public  
 23 comment, we can do that. But we prefer to then move to  
 24 public comment. And then we can come back, ask clarifying  
 25 questions, and go from there.

Page 12

1 and EIR consultants for all your hard work. In an effort  
 2 to be efficient, my comments this evening will be for both  
 3 agenda items.  
 4 The proposed building, which received unanimously  
 5 positive feedback from this body some three years ago,  
 6 represents the first new public benefit or Bonus level  
 7 building in the Life Science district. With our help,  
 8 this corner of Menlo Park has been quietly churning out  
 9 world-changing life science companies for 40 years. From  
 10 our first life science company, PharMetrics, the inventor  
 11 of the nicotine patch, to BillionToOne, which has  
 12 supplanted amniocentesis, to GRAIL, with a  
 13 commercially-available pan-cancer liquid biopsy, Menlo  
 14 Park Labs has helped nurture dozens and dozens of  
 15 innovations which have lowered the cost of health care and  
 16 improved patient outcomes.  
 17 In addition to these life science -- life-saving  
 18 innovations, excuse me, and in addition to the more  
 19 typical commercial property tax generation, Menlo Park  
 20 Labs has contributed 10s of millions of dollars directly  
 21 to the City's general fund through business to business  
 22 sales tax, having housed the number one and/or number two  
 23 sales tax generator in the City for many of the last 35  
 24 years, and three of the top 25 sales tax generators for  
 25 nearly all of the last 30 years.

Page 11

1 So with that, let me turn to the Applicant for  
 2 this project. Thank you for being here. And looking  
 3 forward to your presentation and the discussion.  
 4 Is that what I was supposed to do? I was  
 5 supposed to do the consultant? I apologize. I just  
 6 screwed that up. And is that why I have now just messed  
 7 people up?  
 8 Was I supposed to do the EIR first, Mr. Smith,  
 9 and then -- Applicant first, and then EIR, or EIR and then  
 10 Applicant? I apologize.  
 11 MR. SMITH: We would advise letting the Applicant  
 12 present first, to get the project overview, and then --  
 13 CHAIR DECARDY: And then the EIR?  
 14 MR. SMITH: Yes.  
 15 CHAIR DECARDY: Thank you very much. Okay. Then  
 16 I apologize.  
 17 So to the Applicant and the EIR.  
 18 MR. TARLTON: So this is John Tarlton. And I'm  
 19 kicking off our presentation. And I'm happy to turn on my  
 20 video, if the host will allow me to do so. There we go.  
 21 Good evening, Chair DeCardy and Planning  
 22 Commissioners. I'm John Tarlton. And I'm grateful for  
 23 the opportunity to speak tonight.  
 24 We are pleased to be moving this application  
 25 forward with public comments to the EIR. Thank you staff

Page 13

1 These benefits have been generated by uses that  
 2 are substantially lower traffic impact to similarly-sized  
 3 office projects, due to a substantially lower employee  
 4 density (approximately two employees per thousand square  
 5 feet), and off-peak commute patterns for our scientists.  
 6 Finally, Menlo Park Labs has been a leader in  
 7 sustainable practices, like switching to low water use  
 8 landscape, executing deep energy retrofits on our  
 9 buildings, and implementing effective shuttle programs  
 10 long before they were required. All of this has been  
 11 accomplished despite lacking the kind of building we  
 12 propose to build in this project, which will allow a  
 13 maturing life science company to accommodate a  
 14 sufficiently large number of functions under one roof,  
 15 with significantly more daylight, views, and other  
 16 amenities.  
 17 In short, this new building will allow Menlo Park  
 18 to more effectively compete with other life science hubs  
 19 in the Bay Area, which have been taking high-octane  
 20 tenants away from Menlo Park for years. As I have said in  
 21 the past, we should stop allowing other Bay Area cities to  
 22 take Menlo Park's lunch money.  
 23 This application is the result of over 20 years  
 24 of planning and coordination with the City. As we  
 25 indicated during the comprehensive plan outreach, which

Page 14

1 took place over three years, between 2013 and 2016, we  
 2 intend to update our portion of the Life Science District  
 3 in a measured manner.  
 4 Towards that end, this was the first of three  
 5 applications now into the City over the last four years;  
 6 approximately one application every 16 months.  
 7 We hope that you will find that the new buildings  
 8 each are individual, while maintaining a consistently high  
 9 level of design and execution. This progressive update  
 10 will enable us to continue delivering a unique collection  
 11 of simultaneous positive benefits to the City, public  
 12 benefit dollars directed to the Belle Haven neighborhood,  
 13 a large and growing sales tax revenue, higher property tax  
 14 revenue, low employee density in a sustainable  
 15 environment, high quality jobs, with a broad socioeconomic  
 16 base, a growing collection of public art that will inspire  
 17 generations of residents to greater scientific heights, a  
 18 continuously growing stream of life science -- life-saving  
 19 innovations.  
 20 With that, I will turn over the presentation to  
 21 Susan Eschweiler, an exceptionally talented architect who  
 22 is uniquely qualified to help Menlo Park and Tarlton  
 23 advance its Life Science District, having been an integral  
 24 part of the design team for the original buildings and  
 25 what was Menlo Business Park, and having since become one

Page 16

1 The Menlo Park Labs has in it the Pacific  
 2 BioSciences headquarters, which is part of the front part  
 3 of this project, but it also has many amenities that we've  
 4 developed that are -- for instance, over at 1440, we  
 5 recently redeveloped this into a cafe and a conference  
 6 center and a lovely fitness center, with a swimming pool,  
 7 for all of the tenants to use. And so we're really  
 8 working on creating that -- the place-making for science  
 9 to occur, but not just for the buildings themselves, but  
 10 really thinking of it as a campus.  
 11 Sorry. There's quite a bit of lag.  
 12 The project itself is on an 11-acre property that  
 13 it shares with 1305 O'Brien, which is an AIA award-winning  
 14 retrofit building that became the headquarters for Pacific  
 15 BioSciences. They have about 188,000 square feet in that  
 16 building. It's two stories, and it faces O'Brien Drive.  
 17 The rear portion of the site is vacant, and it  
 18 faces Adams Court. The building itself -- the property  
 19 itself is surrounded by heritage trees. And it is Tarlton  
 20 and DES's goal to retain absolutely as many of those  
 21 heritage trees as possible. We are only removing a few  
 22 trees where new driveways would occur, coming off of Adams  
 23 Court, and one spare nectarine tree that must have come  
 24 from a seed that someone cast away. The top part of that  
 25 is four acres.

Page 15

1 of the Bay Area's preeminent life science architects, not  
 2 to mention, a close friend of mine.  
 3 MS. ESCHWEILER: Thank you, John. That was a  
 4 lovely introduction.  
 5 I am honored to be able to present to you the  
 6 next generation of buildings. And this is the first of  
 7 them at the former Menlo Business Park, but now the Menlo  
 8 Park Labs. And it is really a district -- I'm sorry.  
 9 There we go. Sorry. I double clicked. So it may be a  
 10 problem.  
 11 But anyway, there we go. This is the Menlo Park  
 12 Labs Life Sciences District. And John mentioned that  
 13 there have been several applications made. Tonight we are  
 14 talking about 1350 Adams. The other projects are shown in  
 15 orange; 1125 O'Brien, and 1005 and 1320 Willow.  
 16 Tonight we're talking about the 1350 Adams, but  
 17 you can see that we're really creating a district. All of  
 18 the Tarlton Holdings' properties are in light yellow. And  
 19 we have really created a place.  
 20 Our project -- the Life Sciences District is all  
 21 about place-making for innovative science. And this is  
 22 the first building to rise out of the ground, above the  
 23 two-story tilt-ups that were done -- that we did back in  
 24 the 1980s. The site is -- hang on. I'm having a little  
 25 technical problem here. There we go.

Page 17

1 And so when we first started the project, we  
 2 looked at where the -- where does the sun move? How does  
 3 the sun move around the site? Where does the wind  
 4 direction come from? And, of course, how did people  
 5 approach the site? And we looked at very much, how do we  
 6 want to develop -- retain the heritage trees along the  
 7 perimeter and give an array of experiences as people are  
 8 arriving at the site?  
 9 We wanted to bring in public art so that people  
 10 could experience that and experience many open spaces and  
 11 have a -- create a pedestrian scale as people approach the  
 12 project.  
 13 The main entry comes off of Adams Court, as you  
 14 can see with the black arrow. And we let the site -- the  
 15 building itself be sculpted by creating three modules of  
 16 our 60,000-square-foot floor play so that it really will  
 17 step back from the corner, that is our primary, publicly  
 18 -- public open space and greenbelt, with a big stand of  
 19 trees.  
 20 We had tucked our service zones in the rear of  
 21 the project in the gray zone, and those are shared with  
 22 Pacific BioSciences. And we create a circulation through  
 23 the site so that people can get from Adams Court to Adams  
 24 Drive through -- from the service zone.  
 25 The -- looking more closely at the site as it

Page 18

1 started to develop, the public open space occurred at the  
 2 corner of Adams and Adams and became really the connector,  
 3 the connective tissue to get to the campus amenities'  
 4 building that I explained before about -- at 1440 O'Brien  
 5 Drive. That's where the blue circle at the bottom of the  
 6 picture is, where the fitness center and the cafe and the  
 7 swimming pool all are.

8 So our gray line is the connection -- the  
 9 pedestrian and bicycle connection that would take us to  
 10 the front door of the Adams Court project. And the public  
 11 space -- the publically-accessible open space wraps around  
 12 the project all along O'Brien Drive, Adams, Adams Court,  
 13 and then also winds down on the west side of the property,  
 14 along the west property line.

15 And that will be in parallel to a future paseo  
 16 that is shown in the ConnectMenlo zoning. And that paseo  
 17 will be by our neighboring property.

18 As the site develops, you can see that now the  
 19 floor plan, the three modules are stepping back from the  
 20 street and really giving a wide birth to the corner of  
 21 Adams and Adams, where there's an existing stand of trees  
 22 and a berm all the way along there. And those will all be  
 23 preserved.

24 The tan path is our path for public access, and  
 25 it has artistic sculptures that we will talk about later,

Page 20

1 "Upper Parking Entrance." And that leads you to the upper  
 2 parking levels.

3 And note, please, the heritage trees on all  
 4 perimeters are being preserved. Only where we are taking  
 5 out the new driveways at Adams Court will we lose some  
 6 trees.

7 The loading and service area is notched into the  
 8 rear of the property and tucked in again so that you do  
 9 not see it from the street. There it will be a service  
 10 yard for the emergency generator and trash enclosure, all  
 11 tucked into the service area. And this is where the  
 12 emergency generators and transformers will be.

13 Fire department access and public access can come  
 14 through this loading area so that it's well served, and it  
 15 all connects up to the 1305 O'Brien parking areas below.

16 On the left-hand portion of the site, you can see  
 17 that there's a path that winds down. And that is a  
 18 publicly-accessible pathway with some seating areas. And  
 19 there will be a sculpture at the end of it.

20 There's also bio-detention areas that are -- the  
 21 green triangles that are occurring along the -- Adams  
 22 Court, and in the development of the landscape.

23 Okay. So this is our view from Adams Drive  
 24 intersection. And you can see, in this artist's  
 25 rendition, the modularity that we've developed and the

Page 19

1 with innovation sciences that are on display along those  
 2 -- the path.

3 The primary entry is at the front off of Adams  
 4 Court. And there's a grand stairway that comes right  
 5 where you see the word "court" -- comes down from Adams.  
 6 And there's a crescent-shaped driveway for dropoff and  
 7 arrival at the lobby space, which is in the center of the  
 8 building, and a couple of visitor parking spaces and ADA  
 9 parking.

10 The primary parking is all tucked away. It --  
 11 there is an underground parking -- what we're calling a  
 12 parking podium that goes under the entire building and a  
 13 little bit under the plazas. And then there -- in  
 14 addition to that, there are three levels of parking garage  
 15 tucked in where it's a little bit darker tan here. You  
 16 can see, on the lower left, that those -- there's parking.  
 17 But it's all tucked in, and you won't be able to see it  
 18 from the street.

19 To access the underground parking, you can come  
 20 in from Adams Drive on the right side, where it says,  
 21 "Ramp Down to Podium Parking" on the right. And that  
 22 leads you to the underground parking level. Or you can  
 23 come on Adams Court and come in off the cul-de-sac and go  
 24 down in the ramp, down to podium parking, or you can  
 25 continue on further down the driveway to where it says,

Page 21

1 architecture were the three large modules stepping back  
 2 from the corner of the two streets. And as well, there's  
 3 also modulation in the vertical height, with regards to  
 4 the roof screens at the roof, as well as the second floor  
 5 deck that occurs towards the -- towards the corner.

6 There's one little pop-out. There's also --  
 7 where you see the red umbrellas, there is a patio that is  
 8 screened with aluminum panels to create -- that the  
 9 tenants could use as -- if they have a break area inside  
 10 the building.

11 All of our stairways are exposed. We want to be  
 12 able to express those stairs and encourage people to take  
 13 the stairs, instead of the elevators. And the main  
 14 entrance is highlighted in the center of the rendering.

15 Looking from the other direction, coming -- if  
 16 you were standing just at the property line, looking back  
 17 at the cul-de-sac, this is how the building would step  
 18 away from you, as it goes forward towards Adams Drive.  
 19 And you can see a little bit of the ramp that goes down to  
 20 the underground parking.

21 The expression of the western stair with its  
 22 glass. In this case, you can see the three stories of  
 23 parking garage towards the right of the screen, with the  
 24 entrance -- driveway entrance into that portion, with a  
 25 little canopy at the side.

Page 22

1 The front elevation is glass, and there are --  
 2 some of the garage has the perforated panels along the  
 3 front. And all the garage is -- the underground is  
 4 mechanically ventilated. But the garage, above ground, is  
 5 all open air expression.  
 6 So the front entrance is very grand because we're  
 7 coming up the stairs and welcoming everyone through a  
 8 portal and into a two-story lobby. The building, as John  
 9 mentioned, is designed for a company that is maturing out  
 10 of some of the other smaller buildings, perhaps, and  
 11 really has growth plans. And so it's five stories of  
 12 occupied R&D space, is what is planned.  
 13 The building itself is made out of GFRC. So the  
 14 white and gray panels are all a concrete look, very  
 15 refined concrete look. But the portal itself is a metal  
 16 panel, kind of a charcoal gray metal panel that creates a  
 17 set of portals as we're going -- creating the entry into  
 18 the building.  
 19 The glass is a tinted blue glass, except at the  
 20 main entry. So here we have material samples. A little  
 21 bit hard to see on screen. Wish we were there in real  
 22 life. I could show them to you in real life. But this is  
 23 tinted blue glazing. And that is the same kind of blue  
 24 glazing glass similar to what was used in the Pacific  
 25 BioSciences building at the rear of the property, so that

Page 24

1 panels to define that space as being part of the private  
 2 space, rather than the publicly open space. And that has  
 3 a wavy, very natural lens pattern to complement the  
 4 landscape.  
 5 The roof screen itself is a corrugated metal and  
 6 will be complimentary gray.  
 7 So let's talk a bit about the sustainable design  
 8 features. We have -- in this case, we're going for gold.  
 9 We're going for LEED 4.1 Gold equivalent target. We are  
 10 -- we've planned to use dual plumbing in preparation for  
 11 municipal recycled water. It's not yet available at the  
 12 site, but we're planning that some day, it will be.  
 13 For our -- for Tarlton's project, they are  
 14 committed to buying 100 percent renewable electricity from  
 15 our Peninsula Clean Energy Group, plus purchasing carbon  
 16 offsets. And we will be doing on-site solar power  
 17 generation at the roof top, to be consistent with the  
 18 City's Reach Code.  
 19 Our landscape is all designed to be water  
 20 efficient, WELO compliant, and low water use. And in  
 21 fact, we've reduced our water budget by 35 percent,  
 22 through the design of our landscape irrigation systems, as  
 23 well as, the mechanical systems on the roof will have some  
 24 cooling towers. And we worked very hard to make sure that  
 25 they were -- we were able to reduce the use of water in

Page 23

1 everything works in concert.  
 2 We'll have a clear glass -- it looks kind of  
 3 gray-green, when you put it against the white board, but  
 4 it's clear glass at the entry. And our glass all has --  
 5 except at the primary entrance spots where it is clear,  
 6 most of the glass is bird-safe glass throughout.  
 7 At the garage, we have -- along Adams Drive and  
 8 the side, we're using a perforated metal panel that has a  
 9 gridded look. And then, at the rear of the property, we  
 10 have a wire mesh, just for security.  
 11 Here are the sample colors of the GFRC that would  
 12 be the primary panels of the building: An eggshell color,  
 13 a light gray color that is the underside -- that runs  
 14 along the underside of the glazing itself. And then at  
 15 the corners, where we're really accentuating the  
 16 modulation and the stepping back and have full-height  
 17 glass at the corners, we're using a darker accent, medium  
 18 gray band around those corners.  
 19 The metal itself, the portal we mentioned, is  
 20 kind of a charcoal gray. We're using a lighter metal at  
 21 the stairways that is similar in color to the aluminum  
 22 mullions.  
 23 And I should also mention that we have sun shades  
 24 along the rear portion, in the south side of the building.  
 25 At the patio space, we're using a Bach laser-cut

Page 25

1 those cooling towers so that we achieve that water budget  
 2 reduction.  
 3 And one of the really great things is that we  
 4 have -- we will have planned 72 charging EV stations, with  
 5 36 future, for a total of 108 EV parking spaces, which is  
 6 a total of 15 percent of all of the parking on the site.  
 7 Now, talking about the public open space, we  
 8 created this diagram to show our compliance with the  
 9 requirements. And in fact, we exceed the requirements.  
 10 So the private open space is the light green area. And  
 11 that's 10 percent of the site.  
 12 And those are the site -- that's the portion of  
 13 the building that's really closest to the front of the  
 14 building itself. The public open space is the darker  
 15 green. And that, as we've described, is really shown  
 16 along the public way of O'Brien Drive, Adams Drive, and  
 17 primarily at the corner of Adams and Adams. That's where  
 18 you get the really large piece of it, but also  
 19 complementing the 20-foot paseo that would be prepared by  
 20 our neighbor to the west, that we would have a publicly  
 21 open space path and a sculpture on that.  
 22 In this case, the red dots are indicative of  
 23 scientist sculptures that will be done by our renowned  
 24 artist, Gordon Huether. And he will speak a little bit  
 25 later in detail about those.



Page 26

1 The public open space requirement is 10 percent  
 2 of the site. And we exceed that. But in addition, one of  
 3 the things that's unique about this site is that beyond  
 4 the property line, there is additional open space. And we  
 5 are committing to doing a public sidewalk that is within  
 6 the Adams Drive right of way. So the light blue is  
 7 additional public open space. And so that gives us  
 8 another 23,000 square feet. That's another half acre of  
 9 public open space. So we exceed this by -- we probably  
 10 have about 23 or 24 percent of the total site area in open  
 11 space.

12 And how does this look when it gets developed in  
 13 green space? What does this mean? That we have a really  
 14 nice gathering space at the corner of Adams Court and  
 15 Adams Drive at the top there, with meandering paths and  
 16 public seating areas integrated into that pedestrian  
 17 walkway.

18 We have our innovation science walk, which really  
 19 creates a lovely path for people to explore, as they  
 20 wander from either O'Brien Drive, up Adams Drive, around  
 21 to the Adams Court corner, or in reverse. And it's our  
 22 hope that we would have people exploring and looking at  
 23 the individual sculptures and learning all about the past  
 24 innovators of science.

25 So along in this green space, we would have two

Page 28

1 And then, coming down the berm, you can see,  
 2 then, there's a -- in this picture, a woman with a small  
 3 child, walking on the innovation science walk. And that's  
 4 the meandering path on-site. And there will be public  
 5 seating along the way. We'll have our newer trees -- our  
 6 younger trees are going to be planted after we do that  
 7 installation of the sidewalk. And those trees have Silva  
 8 cells to help with the storm water management.

9 Then you can see the underground parking podium.  
 10 And there will be landscape brought up on top of that,  
 11 until you get over to the building itself. The building  
 12 is set -- the finished floor of the buildings is set at  
 13 114, which is three feet above the base flood elevation.  
 14 So we are in good shape there. And the parking podium  
 15 down below will be protected with flip-up gates at the two  
 16 -- at the two ramps that I showed you earlier in the  
 17 cycle.

18 Sorry. There's such a lag here.

19 Okay. On the eastern side, if we take that same  
 20 cross section on the western side that -- we see the  
 21 building on the right. And then adjacent to the building  
 22 is a flow-through planter for part of the storm water  
 23 management plan.

24 Then we have the driveway, small retaining wall.  
 25 And then, in this case, we're working with an existing

Page 27

1 pathways. One is the public sidewalk that I just  
 2 mentioned in Adams Drive, and the other is the meandering  
 3 innovator art walk. And on the western property, we are  
 4 continuing that path for the publicly-accessible open  
 5 pedestrian way, and a scientist sculpture at the terminus  
 6 of that.

7 Oh, sorry. The -- so what is this section, cross  
 8 section of that? You can see, in the upper right, there's  
 9 a little key plan, with an arrow pointing where we've  
 10 taken a section through the eastern property line, where  
 11 -- through the building, and what is that relationship to  
 12 the street at Adams Drive. So -- and Adams Drive,  
 13 starting on the right-hand side, you can see that we would  
 14 have a five-foot-wide bike lane.

15 There's also a two-foot buffer between the  
 16 11-foot-wide drive lane, and the new bike lane. And then  
 17 we would have a five-foot-six sidewalk within that right  
 18 of way. And that's a pretty standard flat sidewalk, with  
 19 curb.

20 Then, up beyond that, rises a berm. And that's  
 21 an existing berm with the heritage trees. And that's all  
 22 to be preserved. There's a low wall there that will be  
 23 removed, just so that it will be natural landscape. You  
 24 won't have any segregation from the street to the  
 25 property. So it will be nice and open.

Page 29

1 property line and an existing fence. The fence may be  
 2 removed over time, but the key thing that we have to be  
 3 working with is that there's an existing 48-inch storm  
 4 drain and a 10-inch water main. That water main is due to  
 5 be replaced, as you heard earlier from Tom's report that  
 6 that would be replaced with a 12-inch water main. But  
 7 this is -- we're using -- there's a public utility  
 8 easement for these -- for these pipes that are underneath  
 9 there. And this will become our publicly-accessible open  
 10 space on the western side. And there again, we would have  
 11 the pathway and the seating and new landscape along the  
 12 way, but preserving any trees that are along that property  
 13 line.

14 The landscape itself, what -- we are using very  
 15 nice furnishings, very durable furnishings so that people  
 16 can feel very comfortable. Seating -- and there's lots of  
 17 opportunities for seating and seeing the various  
 18 sculptures.

19 We'll be putting in different kinds of concrete  
 20 paving and lighting along the railings at the entryway  
 21 into the lobby and bicycle racks, of course. We have  
 22 multiple bicycle racks at the lobby. There are also,  
 23 within the parking garage -- there are two lockable bike  
 24 rooms for bicycle parking. Very dear to John's heart.

25 So this is a more-detailed plan. I think you

Page 30

1 have it in your planning packet. Well, actually, you have  
 2 it as a link to your planning packet. But it shows some  
 3 of the details of the -- of the landscaping. And you can  
 4 see more closely here the meandering paths on the right  
 5 side at the public open space, the existing trees shown in  
 6 the darker color along the property line, and some newer  
 7 trees in the lighter color on the left side of the  
 8 meandering path. We have the decorative fence around the  
 9 patio, and that links up to the second floor deck up  
 10 above.

11 We have mounds. We have just a really nice  
 12 variety and array of different kinds of spaces and  
 13 experiences where you can walk on the public street  
 14 sidewalk. You can walk through the meandering sidewalk.  
 15 We have landscaping that is, as I mentioned, low water  
 16 use. We have -- our new trees would be Chinese Pistache,  
 17 Western Redbud, and assemblage of shrubs and grasses. We  
 18 have flow-through planters through the bio-detention  
 19 areas. We have public sidewalk and, of course, the  
 20 sculptures.

21 That's going the wrong way.

22 So talking about transportation demand management  
 23 now. I mentioned that we have on-site bicycle storage.  
 24 We have two rooms for that, and the 12 short-term spaces  
 25 near the lobby entrance, for a total of 60 bicycles. We

Page 32

1 really was where we were showing the conceptual places of  
 2 the publically-accessible open space. And you start to  
 3 see now the red dots we've added where the sculptures will  
 4 be of the innovative scientists. And we're creating  
 5 history here.

6 So I'd like to introduce now Gordon Huether, who  
 7 is our world-renowned artist, who will now speak about the  
 8 innovative science art walk and the sculptures that will  
 9 be added to make this just a really fun place to visit.

10 Gordon.

11 MR. HUETHER: Right on, Susan. Thank you.

12 Good evening, Mr. Chair and Commissioners. My  
 13 name is Gordon Huether. And I'm not sure how renowned I  
 14 are -- I am, but I've been around a long time. I'm up  
 15 here in Napa, where, incidentally, I'm the chair of the  
 16 Planning Commission here in the city. So I feel 'ya. I  
 17 know -- I know these evenings that you get up to look at  
 18 these things, but it's really important work that you do,  
 19 and I like to think that we do up here.

20 My mission in life is to inspire the spirit of  
 21 humanity by bringing beauty and meaning into the world  
 22 through art. And we have big plans -- "we," being a part  
 23 of team Tarlton; have been for several years.

24 Now we're -- I'm very excited about this project  
 25 and other projects that will be coming before you in the

Page 31

1 have planned for, in the core -- restroom cores of the  
 2 floors, we would plan for showers and changing rooms. And  
 3 those would be built at the time of future tenant  
 4 improvements.

5 As you know, we have an on-campus restaurant and  
 6 fitness center down at 1440 O'Brien. And Tarltons have  
 7 done a wonderful job of creating what we call Menlo Park  
 8 Rides, where we have free campus-wide bike share for all  
 9 the tenants so they can zip around the campus,  
 10 particularly if there at different buildings. They can go  
 11 from one building to another or to the amenities center.

12 We have -- they have an Enterprise car share for  
 13 qualified tenants. And you heard me mention that we will  
 14 have 72 EV stations and 36 prewired in this building. So  
 15 that's 108 EV stations. But they already have over 150  
 16 charging stations located throughout the campus. So there  
 17 again, leading the charge in electrical vehicle charging  
 18 ability.

19 And one of the unique things that Tarlton started  
 20 many years ago was the shuttle service to and from public  
 21 transportation hubs, such as Union City and Fremont BART,  
 22 the Palo Alto Caltrain, the Millbrae Caltrain, and a  
 23 couple of locations in San Francisco, depending upon what  
 24 works for the tenants.

25 So back to this diagram, we have -- this one

Page 33

1 near future, I hope. I don't know.

2 Do I control the -- I don't.

3 MS. ESCHWEILER: I do. Yeah. I'm pushing.

4 MR. HUETHER: Pushing. Okay. Push it. Let's  
 5 go.

6 So what I -- basically, the short version, if you  
 7 caught me in an elevator or in the stairwell at this  
 8 parking garage at Morgan Hill, and you asked me what I did  
 9 for a living, I would share with you that I specialize in  
 10 large scale, site-specific, permanent art installations in  
 11 universities, libraries, airports. All kinds of crazy  
 12 places all across the country. We probably have 25, 30  
 13 projects in eight states right now.

14 And, you know, the objectives of this art -- and,  
 15 actually, for most projects, except for the science part  
 16 here, but we really want to inspire people that are in  
 17 Menlo Labs. We want to create this destination where we  
 18 cannot just inspire, but educate. We want to celebrate  
 19 science. We want to create a destination and a sense of  
 20 place, and we're going to create conversation. And I'll  
 21 get into that in another moment. So if we go to the next  
 22 slide, please.

23 So the inspiration is life sciences. You're  
 24 probably wondering what that dog has to do with it. But  
 25 that is at an animal shelter that we recently installed.

Page 34

1 But in any event, innovation, discovery, human  
 2 achievement. It's just so awesome to be inspired from the  
 3 past to help us see the future.  
 4 And we want to bring landscape, architecture, and  
 5 art together in a beautiful, wholistic, awe-inspiring way.  
 6 We really believe that public art is important because it  
 7 brings a layer of education, inspiration, and an important  
 8 layer of humanity. And it also becomes a really important  
 9 public amenity.  
 10 Let's go onto the next one, please.  
 11 So we're -- really thought hard and long and, you  
 12 know, we're open for collaboration. But these are the  
 13 innovators from the past that we've selected that we're  
 14 going to make into -- I'm going to say, life-sizes.  
 15 They're actually going to be about 25 percent larger than  
 16 life. And so we're going to -- you know, and some of  
 17 these innovators from the past are not very well  
 18 documented. So we're going to be using digital technology  
 19 to create them in three dimension and have them cut with a  
 20 special machine that's on a router kind of thing. It's  
 21 pretty amazing technology that we've used recently in the  
 22 recent past.  
 23 Let's go to the next one, please.  
 24 So we're going to take these figures. And these  
 25 are just placeholders, but you can get a sense of the

Page 36

1 might have some questions about the art, which I'm very  
 2 happy to answer, but we're very excited to be a part of  
 3 the team. And we just think that the art coming together  
 4 with the landscape, with the architecture, we're really  
 5 creating a destination.  
 6 Our hope is that we can recruit the students, vis  
 7 a vis, through the teachers at Belle Haven, to bring these  
 8 kids over with -- I don't know that they have to be yellow  
 9 school buses, but that's what I wrote in -- these school  
 10 buses, and bring these kids there. And it's an  
 11 opportunity to educate these high school students, junior  
 12 high school students; see that there are heros in the past  
 13 that were innovators. And maybe one of them or two of  
 14 them amongst them will be a future innovator or maybe an  
 15 artist even.  
 16 So that's what I have to share. And there's an  
 17 animation, as I mentioned. And once we look at that, I'm  
 18 happy to take any questions.  
 19 Thank you, Mr. Chair.  
 20 MS. ESCHWEILER: So to the -- whoever -- to the  
 21 clerk, or whoever is controlling this, can you please load  
 22 up our animation. It's just a brief minute or so.  
 23 So this is starting at 1440 O'Brien, where the  
 24 central cafe is. And then the first sculpture is there.  
 25 Then we walk across O'Brien Drive. And this is at the

Page 35

1 size; right? So they're larger than life. Each one will  
 2 have a kiosk that you can see in front of the gentleman,  
 3 the young man with the red T-shirt. So there'll be a  
 4 narrative about that innovator. There will be a QR code  
 5 that will take you to a website that you can learn more  
 6 about that particular innovator.  
 7 All of that still is to be designed. But we've  
 8 worked for several years on this project, in terms of  
 9 identifying perfect spots. We were out there with the  
 10 whole team, practicing different poses. And, you know,  
 11 since these innovators can't talk to you, they're going to  
 12 be at least having nonverbal communication. So the  
 13 gesture, the pose is going to be super important.  
 14 Then we go to the next frame, please.  
 15 There on the bottom left, you can see what Susan  
 16 was talking about, the kind of the public seating areas.  
 17 So there's an innovator there. So basically we're going  
 18 -- you'll see we have an -- an animation to share with you  
 19 to better understand how these innovators get you from  
 20 Adams Court, all the way down Adams Drive, all the way to  
 21 O'Brien.  
 22 Can we go to the next frame, please?  
 23 MS. ESCHWEILER: I think that's it for our  
 24 frames.  
 25 MR. HUETHER: Okay. Sorry. So at some point you

Page 37

1 corner of O'Brien and Adams. And you can see now the  
 2 public sidewalk along the street, and the meandering  
 3 innovation art walk that we will tour you along.  
 4 It's a little -- then we have some public seating  
 5 areas, and we'll have the sculptures that you'll discover.  
 6 So there's really a story line, as you proceed along the  
 7 pathway.  
 8 As you get to the corner of Adams and Adams,  
 9 there are seating areas and some additional sculptures.  
 10 And then, as you wind around to the front of the building,  
 11 another sculpture, another path up to the main entrance of  
 12 the building.  
 13 Thank you.  
 14 Thank you very much, Commissioners, for listening  
 15 to our story about the building that we love so much and  
 16 can't wait to get building.  
 17 MR. TARLTON: Thank you, Susan. We're looking  
 18 forward to moving ahead with this first project in the LS  
 19 district, as Susan said. We know the focus of this  
 20 meeting is primarily on the EIR project, and that  
 21 questions may be better directed to EIR consultants.  
 22 However, I'm available for any questions you may have, as  
 23 is our design team.  
 24 CHAIR DECARDY: Fabulous. Thank you,  
 25 Mr. Tarlton, Ms. Eschweiler, Mr. Huether, for your

Page 38

1 presentation.

2 We will have an opportunity -- and thank you for

3 that transition, Mr. Tarlton. We will have an opportunity

4 in the next portion to look at and ask more questions

5 about all of the aspects of the project. But this is the

6 first part, which is the environmental impact review. So

7 with that is the overview.

8 Just to bread crumb this, we are now turning to

9 our consultant. And I believe, from ICF. We'll do that

10 and then come for any quick, clarifying questions. We'll

11 go to public comment and then commissioner discussion.

12 And I apologize. Is it Ms. Mekkelson? Is that

13 how I pronounce your name?

14 MS. MEKKELSON: Yes, that's it.

15 CHAIR DECARDY: Thank you for being here. And

16 the floor is yours.

17 MS. MEKKELSON: Great. I think we have a

18 presentation. So if the clerk could load that, I will

19 kick us off.

20 And while we're loading the CEQA presentation, I

21 will say, unfortunately, CEQA is nowhere near as exciting

22 as design and architecture. That's a tough act to follow.

23 It's really impressive stuff, but it is, nonetheless, the

24 reason that we're here tonight. So I will give everyone

25 just a quick walkthrough of the basics of CEQA, and the

Page 40

1 project director of the EIR.

2 Also with us tonight is Devan Atteberry, from

3 ICF, who is the project manager for the EIR. We also --

4 sure -- I didn't want to get too far ahead there.

5 This is fine. Okay. Sorry. The slide advanced.

6 I don't think I touched anything. But we have Devan

7 Atteberry, who is the project manager of the EIR with ICF.

8 We also have the traffic consultant, Ling Jin and

9 Gary Black, from Hexagon, who prepared the transportation

10 part of the analysis, as well as our consultant, who

11 prepared the housing needs assessment, which is the basis

12 of the EIR's cost solution and housing analysis.

13 So just to give you a quick walkthrough of what I

14 will be discussing tonight. I will give you an overview

15 of the general purpose of the hearing, parts of CEQA, a

16 really brief project overview because I think that's been

17 quite thoroughly covered already.

18 I'll also walk you through the environmental

19 review process; give you an overview of the Draft EIR, and

20 the impact conclusions in the EIR.

21 We'll talk about the next steps in the CEQA

22 process, and finally how to comment on the EIR.

23 The purpose of the hearing tonight is to

24 summarize the proposed project and the conclusions on the

25 Draft EIR, provide an overview of the CEQA process and the

Page 39

1 findings of our EIR analysis.

2 MR. SMITH: And Chair Doran -- Chair DeCardy, if

3 I may, we're loading that presentation. It's taking us

4 just a couple seconds longer. So we appreciate

5 everybody's patience.

6 CHAIR DECARDY: No worries. Just another

7 reminder and thank you to staff and to the folks

8 presenting. This is not an ideal environment, and we

9 appreciate all you have done to try to navigate through

10 that on our behalf. So thank you.

11 MS. MEKKELSON: Okay. I see the slides.

12 Do I have control of the presentation?

13 MS. ESCHWEILER: Yes. If you push the arrows on

14 your computer. Don't use your mouse.

15 MR. SMITH: Yes. If you use the navigation

16 arrows on your keyboard, it's generally easier. But you

17 should have control of use of the mouse as well, if you

18 want to enter into the full screen presentation mode.

19 MS. MEKKELSON: And you go to "View" to do that?

20 There we go. No. Oh. Here. Okay. I think I

21 did it. Great.

22 All right. Well, I'm Heidi Mekkelson. Good

23 evening, Chair, Vice Chair, Commissioners, and members of

24 the public. I'm Heidi Mekkelson. We are the City's CEQA

25 consultant. We did the preparation of the EIR. I am the

Page 41

1 next steps; receive public input on the analysis that is

2 presented in the EIR. As folks previously mentioned,

3 there will be a public comment period, as well as an

4 opportunity for the commissioners to provide their

5 questions and comments, and to discuss the next steps in

6 the CEQA process.

7 So a really quick overview of the project.

8 Again, I think this has been quite thoroughly covered

9 already. The project proposes the construction of an

10 approximately 255,000-square-foot life sciences building,

11 with a max height of 92 feet, and approximately 706

12 parking spaces, as well as a series of connected private

13 and public open spaces. I think the only feature here

14 that really wasn't heard previously tonight is that the

15 project is estimated to generate approximately 650

16 employees. And this is one of the assumptions that we

17 used in the EIR analysis.

18 The EIR was prepared in accordance with CEQA, or

19 the California Environmental Quality Act. The primary

20 purpose -- purposes of CEQA are twofold. First, it

21 provides agency decision makers and the public with

22 information about significant environmental effects of a

23 project. And it also identifies potential feasible

24 mitigation measures and alternatives that would reduce

25 those significant effects.

Page 42

1 Under CEQA, the focus of an EIR analysis is on  
 2 the physical impacts on the environment. So while there  
 3 are certainly other issues that are relevant to a project,  
 4 including social impact and economic impacts, for example,  
 5 those are not under the purview of CEQA, and they're not  
 6 covered under an EIR. But those are still considerations  
 7 that agency decision makers will look at when ultimately  
 8 deciding whether or not to recommend approval of a  
 9 project, in the case of the Planning Commission, and  
 10 approve a project.

11 So where we are in the CEQA process. I'll kind  
 12 of start with where we started, and where we are now. The  
 13 EIR process kicked off with the issuance of the NOP or the  
 14 Notice of Preparation. This was in December of 2018. And  
 15 the Notice of Preparation essentially informed -- alerts  
 16 the members of the public, stakeholders, and other public  
 17 agencies, jurisdiction over resources that could be  
 18 affected by the project that a project is being proposed,  
 19 and an EIR is prepared.

20 With the initial study -- or with the NOP was an  
 21 initial study, which is essentially a checklist and final  
 22 analysis that goes through all of the environmental impact  
 23 categories in Appendix G of the CEQA checklist and does an  
 24 analysis and essentially determines what topics should be  
 25 evaluated in the EIR.

Page 44

1 area, and it's consistent with the type and density of  
 2 development envisioned in ConnectMenlo. So this EIR tiers  
 3 from that EIR, and it's what we call a focused-tiered EIR.  
 4 The concept of tiering refers to the coverage of general  
 5 environmental matters in a broad program level EIR, with a  
 6 focused environmental document prepared for a subsequent  
 7 individual project under that broader program.

8 The CEQA guidelines encourage this type of  
 9 analysis that is using tiered environmental documents to  
 10 reduce delays and excessive paperwork. That's language  
 11 from CEQA, back when we used to write things on paper.  
 12 But the general concept holds true that this process of  
 13 tiering generally eliminates repetitive analysis of issues  
 14 that have already been adequately addressed in a prior  
 15 EIR. And it allows you to simply reference those analyses  
 16 and focus your analysis on any new significant impacts or  
 17 issues that are unique to the individual project that is  
 18 under consideration. CEQA refers to these as issues that  
 19 are right for discussion. So that's what we've done here.

20 The focused EIR, of course, identifies the  
 21 potential physical environmental impacts of the project,  
 22 focusing on significant effects that have not been already  
 23 covered, essentially, under the ConnectMenlo EIR. And it  
 24 recommends ways to reduce those significant impacts in the  
 25 form of both mitigation measures and alternatives.

Page 43

1 So that was included with the NOP. The public  
 2 had a 30-day opportunity to -- and the public agencies had  
 3 a 30-day opportunity to review that NOP and essentially  
 4 provide their comments on what they wanted to see  
 5 evaluated in the EIR, and this process of releasing the  
 6 NOP and also holding a scoping meeting, this is what CEQA  
 7 refers to as scoping. It is essentially a gathering of  
 8 information from stakeholders, public agencies, and the  
 9 public on what the focus of the EIR should be. And a  
 10 scoping meeting was held during the NOP review period in  
 11 January of 2019.

12 Following the scoping process, the lead agency  
 13 reviewed the scoping comments and prepared the Draft EIR  
 14 analysis. The Draft EIR was released for a 45-day public  
 15 review period on April 4th. That public review period  
 16 closes on May 23rd. So that will be the final day to  
 17 provide comments. And I will talk at the end of my  
 18 presentation on how exactly that's done.

19 Now, tonight we're at the public hearing where we  
 20 receive comments on the Draft EIR analysis. And we'll  
 21 talk about these final two next steps later on in the  
 22 process.

23 Now, this EIR is what we call a focused EIR. It  
 24 evaluates a subset of topics under the Appendix G  
 25 checklist. The project is within the ConnectMenlo study

Page 45

1 The issues that are studied in this EIR include  
 2 air quality, greenhouse gas emissions, noise,  
 3 transportation, utilities and energy, and also population  
 4 and housing, which is -- I apologize -- is not on this  
 5 slide, but it is a section in the EIR. And then, of  
 6 course, alternatives.

7 The EIR analysis found that the following impacts  
 8 would be less than significant with the implementation of  
 9 mitigation measures, which are outlined in the EIR and  
 10 will be incorporated into what is called a mitigation  
 11 monitoring and reporting program, which the City will then  
 12 use, if the project is approved, to enforce and monitor  
 13 the mitigation measures that are prescribed in the EIR.  
 14 And this includes impacts related to transportation,  
 15 specifically vehicle miles traveled, air quality,  
 16 greenhouse gas emissions, and noise.

17 And I will say that all of the significant  
 18 impacts that were identified in the EIR, that would be  
 19 less than significant with mitigation, were related to  
 20 construction impacts, with the exception of the VMT  
 21 impact. The air quality, GHG, and noise impacts were all  
 22 related to project construction.

23 Impacts on population and housing and utilities  
 24 and energy were found to be less than significant. And  
 25 for this EIR, no significant and unavoidable impacts were

Page 46

1 identified. So everything was mitigated to a  
 2 less-than-significant level, either through the  
 3 implementation of applicable mitigation measures in the  
 4 ConnectMenlo EIR, or new project-specific measures.  
 5 So the EIR -- even though there were no  
 6 significant and unavoidable impacts that resulted from the  
 7 analysis, you're still required, under CEQA, to look at  
 8 project alternatives to see if there are other ways to  
 9 reduce or avoid the significant impacts even further.  
 10 So this EIR included an alternatives' analysis  
 11 that evaluated three different alternatives. The first is  
 12 the No Project Alternative, which is essentially  
 13 maintaining status quo. Nothing happens with the project  
 14 site. That's required under CEQA.  
 15 The second was the Base Level Alternative, which  
 16 assumes an FAR reduction from approximately 90.7 percent  
 17 of the project to 55 percent.  
 18 And the third was a Mixed-Use Alternative that  
 19 contemplated some ground floor commercial space.  
 20 The Environmentally-Superior Alternative, which  
 21 is the designation that you are required to make under  
 22 CEQA, was determined to be the Base Level Alternative. So  
 23 of all the alternatives, that alternative had the lowest  
 24 level of impact.  
 25 So going back to our chart of the steps in the

Page 48

1 You can also send a letter to Tom at the address shown  
 2 here. And you can also comment tonight by raising your  
 3 hand on Zoom, and you'll be asked to -- and you'll be  
 4 notified, when it's your turn to speak.  
 5 And just a friendly reminder here that all  
 6 comments must be received by May 23rd, at 5:00 p.m.  
 7 And that concludes my presentation. Thank you.  
 8 CHAIR DECARDY: Thank you, Ms. Mekkelson. Thank  
 9 you for your clear presentation, and really appreciate  
 10 that.  
 11 So we are at the portion of the program where  
 12 we're going to turn to public comment. So for those of  
 13 you who are interested, you can start considering your  
 14 comments and raising your hand.  
 15 Before we do that, I do -- if there is any  
 16 commissioner that has a pressing clarifying question, then  
 17 we can get to it. I think we could do public comment and  
 18 still get to the same pressing clarifying questions as  
 19 well, however, if that's okay with our commissioners.  
 20 All right. Thank you to my fellow commissioners  
 21 on that.  
 22 And so with that, we will turn over to public  
 23 comment. Again, for folks who wish to comment tonight,  
 24 there will be two portions of public comment. This is the  
 25 one that will be most directly related to Ms. Mekkelson's

Page 47

1 CEQA process, after tonight's public hearing and the close  
 2 of the Draft EIR public review period, we'll prepare the  
 3 Final EIR. And the Final EIR will include responses to  
 4 the comments that we receive tonight from the public, as  
 5 well as any additional written comments that we receive  
 6 throughout the Draft EIR review period.  
 7 If those comments result in changes to the Draft  
 8 EIR, those changes will also be made and incorporated into  
 9 the Final EIR. And as long as those changes are minor in  
 10 nature and are essentially clarifying the analysis or  
 11 expanding on the analysis, then those changes are  
 12 permitted under CEQA.  
 13 If any comments result in changes that constitute  
 14 substantial new information, then recirculation of the  
 15 Draft EIR is required.  
 16 And then, after preparation of the Final EIR, the  
 17 City will take action on the project and the EIR and will  
 18 be asked to approve the project and certify the EIR.  
 19 So I believe this is my final slide of the  
 20 evening. And this is the most important slide.  
 21 How do we comment on the Draft EIR? The reason  
 22 that we are here tonight is to receive comments from the  
 23 public and the commissioners on the Draft EIR.  
 24 If you would like to submit comments, you can  
 25 e-mail them to Tom Smith. His e-mail address is here.

Page 49

1 presentation and aspects around the Environmental Impact  
 2 Report.  
 3 Once we close the feedback on the Environmental  
 4 Impact Report, we'll be able to talk more generally about  
 5 the project. That might go back to the previous  
 6 presentation from the three parties from the Applicant  
 7 team.  
 8 So with that, let's open it up for public  
 9 comment, Mr. Turner.  
 10 MR. TURNER: Yes. Hello. Just as a reminder, if  
 11 you would like to give public comment on this portion of  
 12 the hearing tonight, please press the hand -- "Raise Hand"  
 13 button at the bottom of your screen. And if you are  
 14 calling in, \*9 will raise your hand on Zoom and let us  
 15 know you have a comment.  
 16 I do see a hand at this time. So I will  
 17 introduce Pam Jones. As a reminder, you will have three  
 18 minutes to share your comment or question. Please clearly  
 19 state your name, address, political jurisdiction in which  
 20 you live or your organizational affiliation.  
 21 If you have multiple speakers on your account,  
 22 please let us know at the beginning of your comment, and  
 23 we will make sure each speaker has an opportunity to speak  
 24 for three minutes.  
 25 And, Pam, you should be able to un-mute yourself



Page 50

1 now.

2 PAM JONES: Thank you. Pam Jones, resident of

3 Menlo Park, in District I. And I'd like to thank the

4 commissioners for your work and congratulations to our new

5 chair, as well as the vice chair.

6 I basically have one -- well, two comments. One,

7 how accurate is the air quality data, since we have had

8 pandemic traffic for the last year and a couple of months?

9 That's number one.

10 And then, number two, has there been any concern

11 about liquefaction, which is something that is not in the

12 General Plan, the 2016 EIR, but it has since been -- it

13 has become an issue. And it's one in which East Palo Alto

14 is addressing now, with some of their projects that are

15 moving closer and closer to the bay. Although you aren't

16 that close to the bay, certainly the continuation of these

17 large, massive buildings can pose a problem, especially if

18 we haven't even studied that.

19 Thank you.

20 CHAIR DECARDY: Thank you, Ms. Jones.

21 Any other hands, Mr. Turner?

22 MR. TURNER: Not seeing any other hands at this

23 time.

24 Just as a reminder. If you would like to give

25 public comment, please click the hand -- raise hand button

Page 52

1 for commissioners for any questions of the EIR consultant,

2 the Applicant, or of staff. All certainly in that purview

3 for you. Any comments you would like to make; to our new

4 commissioners, you are more than welcome to speak more

5 than once during this session, in that mix, so you can ask

6 or reflect until you've exhausted the comments or

7 questions you have.

8 And with that, any commissioners would like to

9 start? I will recognize Commissioner Barnes.

10 COMMISSIONER BARNES: Thank you, Chair DeCardy.

11 Sorry if I missed this.

12 Is this specific to the EIR, and we're going to

13 have our general project comments after?

14 CHAIR DECARDY: Yes, that's correct. This is for

15 the EIR specifically. Then we'll come back, and we'll

16 open up for any further comment from the Applicant.

17 Although, I believe we were told the Applicant was going

18 to make that presentation be the total presentation.

19 We'll give the Applicant the opportunity, though,

20 for any further presentation, open up public comment, and

21 then -- for the full project.

22 COMMISSIONER BARNES: Got it. Thank you. I do

23 not at this time have anything on the EIR. Thank you.

24 CHAIR DECARDY: Okay. I'll recognize

25 Commissioner Riggs.

Page 51

1 at the bottom of your screen.

2 CHAIR DECARDY: All right.

3 Yes, Mr. Shaffer?

4 MR. SHAFFER: Yes. I'd just like to point out to

5 the public, who may be viewing this, if you haven't had a

6 chance to review the EIR yet, if staff might want to

7 explain where they can find it on the City website and

8 direct people to where in the website they can find the

9 EIR to look at it, and that the City will be receiving

10 written comments through the comment period.

11 CHAIR DECARDY: Thank you, Mr. Shaffer.

12 Mr. Turner, if you want to -- or Mr. Smith, if

13 you want to respond to that.

14 MR. SMITH: Yes. The EIR can be found on the

15 City's website at MenloPark.org/1350AdamsCourt. All one

16 word. And it is under the "Environmental Documents"

17 section on that web page, pretty prominently posted, so

18 that the public can review and comment.

19 CHAIR DECARDY: Great. Thank you, Mr. Smith.

20 With that, Mr. Turner, any hands or --

21 MR. TURNER: Still no hands at this time.

22 CHAIR DECARDY: Okay. Then I think we'll go

23 ahead and close public comment on the EIR portion of the

24 program.

25 And with that, I will bring it back to the dais

Page 53

1 COMMISSIONER RIGGS: Thank you, Chair DeCardy.

2 So I have just a couple of questions that are truly

3 focused on the EIR. But I would also like to just prompt

4 a response to Ms. Jones' question regarding air quality

5 data.

6 Through the Chair, could the consultant just

7 frame how air quality data would or would not be related

8 to any information gathering over the last two to three

9 years?

10 MS. MEKKELSON: Yeah. I can tackle that. This

11 is Heidi Mekkelson, from ICF. And I'll also call on our

12 colleagues at Hexagon to help me out here.

13 But we absolutely recognize that traffic patterns

14 were not what they normally are during the time this

15 analysis was conducted.

16 And there are industry-recognized techniques that

17 we've been applying to CEQA analyses that are done during

18 this period to essentially adjust for those baseline

19 traffic counts. And those can vary by project. They can

20 include anything from applying adjustment factors to using

21 counts that were pre-COVID to evaluate traffic baseline

22 levels, which, of course, feed into the air quality

23 analysis.

24 So if either Ling or Gary could comment on the

25 specific methodology that we would use for this

Page 54

1 transportation analysis, that would be helpful.

2 MR. BLACK: Thanks, Heidi. Gary Black here, with

3 Hexagon Transportation Consultants. And you're exactly

4 correct that all the data -- the transportation data for

5 this project is all based on pre-COVID conditions.

6 COMMISSIONER RIGGS: Thank you.

7 And then, just to clarify, Ms. Jones' comment was

8 specifically on air quality, which frequently, in an EIR,

9 has to do with construction activities or, alternatively,

10 it has to do with the particular mechanical systems.

11 Do we want to clarify which we are addressing

12 here?

13 MS. MEKKELSON: We looked at all of the above

14 there.

15 So with respect to construction emissions, those

16 were evaluated based on construction equipment and vehicle

17 estimates provided by the Applicant. So those are -- of

18 course, are not affected by COVID conditions. Those are

19 just the estimates that they provide us in terms of how

20 many workers will be on-site, what types of equipment

21 they'll be using, what the phasing looks like. And we

22 evaluate those impacts against the daily emission

23 thresholds that are promulgated by the Bay Area Air

24 Quality Management District to determine whether there's

25 an impact there.

Page 56

1 overbuilding, if there is such a thing. At least that's

2 an architect's perspective.

3 And then, my own question has to do with how we

4 -- whether it's the commission or the public, ultimately

5 decision makers, including the commission and possibly

6 counsel, how do we frame the relationship between this

7 focused EIR and the underlying ConnectMenlo EIR, when it

8 comes to a determination of no significant impacts?

9 And I ask, for example, when the public views our

10 discussion on buildings in this zone, not just the LS

11 zone, but the OB and the MU as well, they see projects

12 that are 100,000 square feet, 200,000, 500,000, up --

13 maybe 1.3 million square feet. The idea that there are no

14 significant environmental impacts would not fly with

15 anyone observing our meeting or reading this document.

16 So am I correct that the reason that the focused

17 EIR can say that there are no significant impacts is that

18 there are no impacts that have not already been evaluated

19 under the ConnectMenlo process?

20 MS. MEKKELSON: Yeah. I think that's a fair

21 assumption.

22 Essentially, what we're saying is there are no

23 new significant and unavoidable impacts that are unique to

24 this project or are more severe than those that were

25 already evaluated in ConnectMenlo, and which the City

Page 55

1 For the mechanical equipment, that is factored

2 into the operational impacts -- the air quality impact

3 analysis in the EIR. So we look at potential health

4 hazards from things like generators, as well as

5 construction diesel particulate matter as well.

6 So really, the only air quality analysis I think

7 that is affected by COVID is the transportation analysis,

8 to the extent that baseline traffic levels might be

9 different. And as Gary described, those were essentially

10 corrected for in the transportation analysis, which is

11 what provides the data that feeds into the air quality

12 analysis.

13 COMMISSIONER RIGGS: Thank you for the clarity of

14 your responses. We don't always get that. So I do mean

15 thank you.

16 And then, Ms. Jones also asked about

17 liquefaction. And if I may be so bold, as the token

18 architect on the commission, just to reassure the public

19 that liquefaction has been -- I dare say -- for decades, a

20 factor that is very determinedly examined during the

21 building application process, which is the right place,

22 because foundation designs do respond to soil conditions.

23 And certainly in the Bay Area, liquefaction is

24 taken very seriously. It was, even before 1989, but

25 certainly since -- if anything, at the risk of

Page 57

1 already overrode, from a CEQA perspective, in the

2 statement of overriding considerations for that EIR.

3 So, essentially, you know, you've already done

4 your homework, your CEQA homework, for the development

5 that is contemplated under ConnectMenlo. And you have

6 adopted a statement of overriding considerations for that

7 analysis.

8 So when you are doing subsequent CEQA documents

9 under that EIR, you're really focusing on whether or not

10 there is new information.

11 COMMISSIONER RIGGS: And that makes sense to me.

12 But I could see how that could easily be obscure to the

13 public.

14 And I'll pause a moment because I see Mr. Shaffer

15 might want to add a comment through the Chair.

16 MR. SHAFFER: I'd just like to add that the EIR

17 identifies -- both EIRs, the ConnectMenlo and the project

18 EIR -- they do identify potential significant impacts, but

19 then recommend a slate of mitigation measures which the

20 EIR consultant and the City conclude are sufficient to

21 reduce the mitigation -- the impact. And very robust

22 packages of mitigation measures.

23 And opinions can differ as to how low an impact

24 can be -- should be reduced before it's deemed less than

25 significant. That's always a debate in CEQA, but this

Page 58

1 conclusion is supported by the mitigations that are  
 2 identified, leaving no significant, unavoidable impacts  
 3 that still would be considered significant, despite all  
 4 the mitigation thrown at it.  
 5 COMMISSIONER RIGGS: Mr. Shaffer, I think you're  
 6 quite correct because where even a relatively tame project  
 7 is going to add a population of another 650 workers,  
 8 something, like, 80 percent of which live outside the  
 9 area, there will be impacts, as anyone who has been on  
 10 Bayshore Expressway knows.  
 11 So, Mr. Chair, I do have maybe four other points,  
 12 but they are not directly addressed to this focused EIR,  
 13 but rather how the project does or does not actually  
 14 affect the -- shall we say -- quality of life of the  
 15 residents. So I'm suspecting that I should hold those  
 16 until we get to architectural review.  
 17 CHAIR DECARDY: I appreciate your point,  
 18 Commissioner Riggs. I think you can use your judgment,  
 19 but certainly, you know, raise them during architectural  
 20 review as well. I'm sure quality of life questions will  
 21 come up then, as well as focused on the EIR. But I  
 22 encourage you to use your judgment.  
 23 If you'd like to continue, please do. Otherwise,  
 24 please hold.  
 25 COMMISSIONER RIGGS: Well, in that case -- well,

Page 60

1 less-than-significant with mitigations.  
 2 There are a couple of these on here. So I was  
 3 wondering if there is one in particular -- I guess my  
 4 question would be directed towards Heidi Mekkelson.  
 5 Is there one of these LTS/M -- you know, less  
 6 than significant with mitigation -- impacts that is  
 7 particularly risky or that you think, if you had to rank  
 8 these, would potentially be of the most concern?  
 9 MS. MEKKELSON: I've never had that question  
 10 before. You know, I don't think I could rank them. Under  
 11 CEQA, we are required to look at everything with a fresh  
 12 lens, and we look at each impact against a threshold of  
 13 significance, which is another requirement of CEQA, and  
 14 those thresholds can be different, depending on what the  
 15 impact is. For air quality impacts, for example, we often  
 16 have bright line, you know, thresholds -- like a project  
 17 can emit 55 pounds-per-day of nox, and anything over that  
 18 is significant impacts. For other impacts, it's a bit  
 19 more of a qualitative threshold. And it's a judgment call  
 20 on the part of the EIR professional and the City Planning  
 21 Department in determining whether or not that impact is  
 22 tripped.  
 23 So from my personal perspective, all impacts on  
 24 the environment are of equal importance and concern. I  
 25 definitely know that when it comes to issues that are

Page 59

1 I think I would like to hold, just to help the public, if  
 2 not even myself, separate the discussion with the EIR  
 3 consultant from that with the project sponsor.  
 4 CHAIR DECARDY: Okay. Very well.  
 5 COMMISSIONER RIGGS: Thank you.  
 6 CHAIR DECARDY: And after other commissioners  
 7 have spoken, of course, you can always speak again if so  
 8 moved.  
 9 So other commissioners who would like to speak?  
 10 I'm going to recognize Commissioner Thomas.  
 11 And I realize that, Commissioner Riggs, you  
 12 mentioned that you're the token architect, which I believe  
 13 you have been for a while. I'm not completely familiar  
 14 with the full bios of Commissioners Do and Thomas, so you  
 15 should correct us. But I believe Commission Do is an  
 16 architect. So you may, at least, have another architect  
 17 on the commission at this point, Commissioner Riggs.  
 18 With that, I will pass it over to Commissioner  
 19 Thomas. And please correct me as well, if you have that  
 20 in your background.  
 21 COMMISSIONER THOMAS: Thank you, Chair DeCardy.  
 22 My background isn't in architecture.  
 23 And my question is on the impacts. So it seems  
 24 like, you know, there were some potentially significant  
 25 impacts, but they've been all reduced to

Page 61

1 important to the public or quality of life issues, as  
 2 Commissioner Riggs, you know, touched upon, different  
 3 impacts, I think, can be different, given different  
 4 weights, essentially.  
 5 But from a CEQA perspective, a significant impact  
 6 is a significant impact. And if it is significant, the  
 7 City is required to override that impact -- make a  
 8 determination and override that impact.  
 9 Does that answer your question?  
 10 COMMISSIONER THOMAS: Thank you.  
 11 MS. MEKKELSON: I hope that kind of answers your  
 12 question.  
 13 CHAIR DECARDY: Other commissioners, questions or  
 14 comments at this time?  
 15 Commissioner Harris? Excuse me. Vice Chair  
 16 Harris.  
 17 VICE CHAIR HARRIS: Thank you. I have to get  
 18 used to that. Yeah. I had a couple of EIR comment and  
 19 questions.  
 20 Like Commissioner Riggs, it is, I think,  
 21 difficult to tease out which is a comment or question on  
 22 the project, versus on the EIR. And so I had some  
 23 questions around transportation. And so some of those  
 24 have to do with -- I just want to understand the total  
 25 number of employees, and the total number of parking

Page 62

1 spots. I got a little bit confused because I understand  
 2 that we're adding 650 employees. But I don't know what  
 3 the total is with those 650.  
 4 And I also was a little bit unsure about the  
 5 total number of parking spots because in -- in the -- in  
 6 reviewing the staff report, I saw that it was 961. But in  
 7 the EIR, it says 707. And I'm wondering if the difference  
 8 is that the 961 includes both 1305, as well as 1350.  
 9 I also read that 118, that were -- for 1305 will  
 10 be taken away because they were, I guess, surface parking  
 11 that is now on 1350.  
 12 Anyway, that all -- the EIR and the staff report  
 13 seem a little bit different. And I'm wondering if  
 14 somebody from either staff or from the -- I'm not sure  
 15 which group could help me understand those answers, both  
 16 employees and parking.  
 17 MR. SMITH: I think I can at least get things  
 18 rolling there and explain the parking situation.  
 19 So it's important to think of this as -- although  
 20 there is one new building being built, it is a project  
 21 site that contains an existing building.  
 22 And I think you have it right, Vice Chair Harris,  
 23 that there are 118 spaces that are currently provided on  
 24 what would become the 1350 Adams Court site, that are  
 25 currently used for 1305 O'Brien, the existing building.

Page 64

1 MR. SMITH: Yes. That would be accurate.  
 2 VICE CHAIR HARRIS: Okay. And then I guess I  
 3 realize that we're putting together a transportation  
 4 demand -- plan to try to reduce the level of single  
 5 occupancy vehicles, but I guess I have a question to the  
 6 Applicant.  
 7 Of your 650 new employees, or maybe of your old  
 8 employees, what do you -- how many do you expect of those  
 9 employees will get to this location in something other  
 10 than a single occupancy vehicle? Maybe kind of tell me  
 11 about your current building, as well as what your  
 12 expectations might be for the new building, from the  
 13 Applicant, if you have that answer or an idea.  
 14 MR. TARLTON: I would be addressing sort of a  
 15 general sense, rather than this specific building because,  
 16 of course --  
 17 VICE CHAIR HARRIS: You don't have them yet.  
 18 MR. TARLTON: -- we don't have the tenant yet.  
 19 And it does vary, somewhat significantly, from tenant to  
 20 tenant.  
 21 As we have discussed on a prior meeting -- in a  
 22 prior meeting on a different project, we can have tenants  
 23 who are involved in manufacturing that have multiple  
 24 shifts. And sometimes there's an overlap there.  
 25 In terms of general uptake of our shuttle program

Page 63

1 Those would obviously need to be removed to add the new  
 2 building, the landscaping, all of that. And so those 118  
 3 spaces, because there was an approval for 1305 O'Brien  
 4 Drive that required -- I believe it's 373 spaces were  
 5 required, as part of 1305 O'Brien Drive. So the 118  
 6 spaces that are being removed to develop the new building  
 7 would need to be reintegrated into the parking structure  
 8 for the proposed building. So what we would end up with  
 9 is 961 spaces total for both buildings on the site.  
 10 Of the 706 spaces that would be part of the 1350  
 11 Adams Court project, you can think of 118 of those as  
 12 belonging to 1305 O'Brien Drive. So what you end up with  
 13 is essentially -- of the new parking spaces that are being  
 14 developed in the garage -- or there's a few surface spaces  
 15 as well, as part of the 1350 Adams Court project, you're  
 16 looking at 588 new spaces for the proposed building  
 17 itself, which is a parking ratio of about 2.14 per  
 18 thousand square feet. So 588 spaces would be -- it's kind  
 19 of about halfway in the ratio of 1.5 to 2.5 spaces per  
 20 thousand square feet of gross floor area that's required  
 21 in this district.  
 22 VICE CHAIR HARRIS: Okay. That's really helpful.  
 23 So -- but I should think about it as 588 new  
 24 spaces for the new 650 employees.  
 25 Can I think about it that way?

Page 65

1 and other alternate transit modes, we've been quite  
 2 successful.  
 3 And I would say that somewhere in the range of 25  
 4 percent of our employees across the campus are getting to  
 5 campus in a way other than a single occupant vehicle, if  
 6 that answer your question.  
 7 VICE CHAIR HARRIS: Okay. That does answer my  
 8 question.  
 9 So if we're looking to reduce -- and I understand  
 10 we're looking at it from the other direction, which is  
 11 allowing for bikes and parking and shuttle and carpool. I  
 12 just am wondering if we're thinking, okay. Well, maybe 25  
 13 percent will get there a certain -- a different way, then  
 14 it seems like we probably wouldn't need to plan for 90  
 15 percent of them to come in a single occupancy vehicle for  
 16 the number of parking that we're going to supply.  
 17 So I understand that Menlo Park has a minimum  
 18 number of parking spots, but I guess my thought would be,  
 19 can we reduce this number of parking spots more, given  
 20 that we're -- right now, we're at 90 percent?  
 21 I realize there's also a couple spots for  
 22 visitors or -- you know, a couple other spots. But it  
 23 just feels -- that feels very high to me. And I'm  
 24 wondering if there's -- if we can think about reducing  
 25 that, to some extent, given all the other ways that you're

Page 66

1 looking for people to get there.  
 2 MR. TARLTON: Yeah. I appreciate the question,  
 3 and I certainly appreciate the sentiment.  
 4 For those of you who don't know, I go virtually  
 5 everywhere on a bicycle. That being said, we have to --  
 6 and it's not lost on you. Certainly those of you who have  
 7 experience with other development or architecture, that  
 8 the cost of building that parking is significant to us.  
 9 And we are heavily-incented financially not to build more  
 10 parking than we need.  
 11 The parking that we propose to build is based on  
 12 literally decades of data around what the tenants need for  
 13 parking, trying to anticipate the various types of uses  
 14 that we might have at the site, and accounting for, as you  
 15 said, visitor, et cetera.  
 16 I would love to build less parking. We will  
 17 hopefully build less parking as we partner with the City  
 18 and other agencies to create more alternative transit.  
 19 This is the reality that we face today.  
 20 VICE CHAIR HARRIS: Okay. So I'm still going to  
 21 issue that challenge to try to reduce your cost for  
 22 parking and see where you might be able to trim that.  
 23 And then, as Commissioner Riggs was discussing,  
 24 that, you know, the analysis is based, I think, on 2019 or  
 25 pre-pandemic. I know that since the pandemic, our --

Page 68

1 what is TIF, versus not in TIF; and then also, what's near  
 2 term, versus cumulative, and to indicate if there would --  
 3 if any of these would involve any road widening.  
 4 I think, when this comes back and when it's  
 5 published, it would be really terrific to understand,  
 6 maybe in a chart, where -- what each of those  
 7 intersections is; whether it's TIF, non-TIF, near term,  
 8 cumulative, and whether it -- indicate whether there would  
 9 be any road widening.  
 10 And I think that would really help us, as  
 11 commissioners, to -- if it's summarized that way, to help  
 12 our decisionmaking process and perhaps even do it for  
 13 Draft EIRs in the future.  
 14 Is that something you think would be possible?  
 15 MR. SMITH: Chair DeCardy, if I may?  
 16 CHAIR DECARDY: Yes, of course. Mr. Smith.  
 17 MR. SMITH: Yes. I definitely appreciate that  
 18 feedback.  
 19 I think we've tried to slim down the staff  
 20 reports to reduce down the amount of reading material that  
 21 we're giving you. But if that is desired -- well, if you  
 22 would like to see that information in a chart, I  
 23 definitely am more than happy to provide that, and we'll  
 24 take that into effect -- into account for the Final EIR  
 25 and then future EIR projects as well.

Page 67

1 we're not so peaky. We're not -- we don't have the same  
 2 exact peaks.  
 3 And also, because you're life sciences, as you  
 4 mentioned -- I think it was Mr. Tarlton mentioned that the  
 5 life sciences tends to be less peaky than a typical office  
 6 building.  
 7 So I guess, in the way that we do the analysis,  
 8 I'm not really sure where that -- where that puts us. But  
 9 I just wonder if maybe there might be some thoughts on  
 10 that.  
 11 I think -- I do have a couple of comments on LOS,  
 12 but I guess I should -- I guess I should maybe come back  
 13 to those, when we are -- since it's not part of CEQA,  
 14 through the Chair.  
 15 CHAIR DECARDY: Again, at your discretion.  
 16 Right? It's not part of CEQA. It's an add-on from Menlo  
 17 Park. But --  
 18 VICE CHAIR HARRIS: Okay. I guess it is part of  
 19 the EIR.  
 20 CHAIR DECARDY: Yes.  
 21 VICE CHAIR HARRIS: So I would just say, when  
 22 this comes back for final approval -- and this is really  
 23 to staff -- I would like to see the LOS improvements  
 24 broken down in maybe like a chart. Right now, it's really  
 25 hard for me to kind of get a sense for each intersection

Page 69

1 VICE CHAIR HARRIS: So I guess what I would like  
 2 to say is that -- what I would maybe say is that I think  
 3 that information is probably in there, but it's multiple  
 4 paragraphs to find it.  
 5 So I would almost say, well, maybe this would be  
 6 less work for you if you could put it more into a chart  
 7 format, and less into pros. So just a thought for that  
 8 because I certainly don't want to make extra work for you  
 9 guys. I know you're all -- you've got a lot already.  
 10 MR. SMITH: Absolutely. I appreciate the  
 11 feedback.  
 12 VICE CHAIR HARRIS: And I don't want to make  
 13 longer reading for all of us either. So I think we're in  
 14 agreement on that.  
 15 MR. SMITH: Yes. Understood. Yes. We are in  
 16 agreement.  
 17 VICE CHAIR HARRIS: All right. Well, I'll stop  
 18 there and let somebody else chime in.  
 19 Thank you.  
 20 CHAIR DECARDY: Thank you, Vice Chair Harris.  
 21 Other questions or other comments related to the  
 22 EIR from commissioners?  
 23 While people are thinking, perhaps I have a  
 24 couple that can follow on a thread that has already been  
 25 picked up on. And I want to recognize and thank --

Page 70

1 actually, all of the commissioners that touched on some of  
 2 my questions.  
 3 I do want to come back to the EIR and to the  
 4 transportation question. So, Ms. Mekkelson, on the  
 5 transportation impact, it would have been significant but  
 6 for the expectation of utilizing the transportation demand  
 7 management mitigation.  
 8 Do I have that right?  
 9 MS. MEKKELSON: That's correct.  
 10 CHAIR DECARDY: Okay. So how successful does the  
 11 TDM have to be to move it from significant to not  
 12 significant? In the context of some of the conversation  
 13 we've had in ways that we or the public could understand,  
 14 what does a successful TDM plan actually have to reduce in  
 15 order to make it less than significant?  
 16 MS. MEKKELSON: I can look this up for you, to  
 17 get you some more precise numbers, but the threshold for  
 18 the City CEQA purposes is 15 percent below the citywide  
 19 average.  
 20 MR. SMITH: Heidi, I have some of that  
 21 information, I think, right in front of me.  
 22 MS. MEKKELSON: Oh, great. Or Gary --  
 23 MR. SMITH: And then Gary can correct me, if I'm  
 24 off.  
 25 But I believe it's a 21.1 percent reduction in

Page 72

1 effectiveness of about 32 to 40 percent. So they were  
 2 doing quite well.  
 3 CHAIR DECARDY: That's super helpful, and it's  
 4 fabulous. And I mean, I just -- I should have said this  
 5 at the beginning, and I said this the last time we had a  
 6 project. You know, I just -- the work and the leadership,  
 7 Mr. Tarlton, you and your team, on this, over the decades,  
 8 has been exemplary. And it's fabulous. And I think you  
 9 have so much to offer us as a City, to learn from your  
 10 experience. And, obviously, having this input is  
 11 terrific.  
 12 One of the questions I had about the TDM plan is  
 13 that it mentioned the inclusion of the EV parking spaces.  
 14 And it's not immediately clear to me how -- so the TDM,  
 15 with the EV parking spaces, does not necessarily reduce  
 16 VMT, but it reduces VMT from emitting cars? Is that how  
 17 we're supposed to look at that as being a successful part  
 18 of the TDM program?  
 19 And if so -- if I have that right, then how do  
 20 you figure out where the electric fuel is coming from for  
 21 the cars that are in those spaces?  
 22 And I guess that might be a question for  
 23 Mr. Black, perhaps, or Mr. Smith. I'm not sure.  
 24 MR. BLACK: The -- yeah. The EV parking or  
 25 encouraging EV use is not counted towards the TDM

Page 71

1 VMT needed to get below the City's threshold.  
 2 And then the Applicant put together a pretty  
 3 robust TDM program that would be effective, in the range  
 4 of 27 to 30 percent. So it's beyond the amount that would  
 5 be needed to get below the City's threshold.  
 6 Gary, let me know if that was incorrect.  
 7 MR. BLACK: That's correct. Absolutely.  
 8 CHAIR DECARDY: Okay. I appreciate that. I  
 9 think that's helpful.  
 10 So -- and then -- so the Applicant's TDM plan is  
 11 specific enough that you can anticipate, based on past  
 12 monitoring, that it will be in that 25 to 30 percent  
 13 range?  
 14 Is that the one that was included in the exhibit  
 15 with the specific measures? Is that the plan we're  
 16 talking about that touches on the bike share, the car  
 17 share, the significant shuttles that were referenced in  
 18 the presentation?  
 19 MR. SMITH: Yes. That's correct.  
 20 And then, for additional reference, the existing  
 21 building at 1305 O'Brien Drive, the other building on the  
 22 site, it is -- it has a TDM plan. And it has been subject  
 23 to monitoring.  
 24 And just to give you an idea of what that's  
 25 demonstrating, in 2018 and 2019, it was showing TDM

Page 73

1 reduction because, as you point out, those cars are still  
 2 on the road.  
 3 CHAIR DECARDY: Got it. Okay.  
 4 So it was listed in the TDM plan in our packet,  
 5 but it was not included in the analysis of that 25 to 30  
 6 percent reduction?  
 7 MR. BLACK: That's correct.  
 8 CHAIR DECARDY: Okay. That's super helpful.  
 9 Then I have a question about parking spaces and  
 10 VMT.  
 11 So -- and, Mr. Black, as long as you're there, I  
 12 think this is for you. Is there a relation between the  
 13 cost of parking spaces and a reduction in VMT? Is there  
 14 analysis that says if there's a higher cost to park your  
 15 car or not?  
 16 Is that not part of how you think about potential  
 17 mitigation or looking at what will be the traffic to a  
 18 potential site?  
 19 MR. BLACK: Absolutely, there's a relationship  
 20 between the cost of parking and the trip making, if you  
 21 will, or the VMT.  
 22 There's not -- there's not a culture of charging  
 23 employees for parking in Menlo Park. Or at least not in  
 24 this part of Menlo Park. And so it's not part of the TDM  
 25 plan to charge for parking.



Page 74

1 CHAIR DECARDY: Okay.  
 2 MR. BLACK: And so Mr. Tarlton, I think, was  
 3 talking about the cost of building the parking, but not  
 4 the cost of operating the parking.  
 5 CHAIR DECARDY: Yeah. I understand. It was a  
 6 different question.  
 7 So the reason it's not there is because we don't  
 8 have a culture in Menlo Park of charging for parking?  
 9 And, therefore -- or is it to say, there are other  
 10 measures that could get that 25 to 30 percent reduction,  
 11 which would then get below the significance threshold?  
 12 MR. BLACK: Yes. I can talk about, I guess, the  
 13 corporate culture, if you will, of a lot of these  
 14 employers is that they look at charging for parking as  
 15 sort of a punitive measure towards employees. It could be  
 16 interpreted that way. And they -- rather than punitive  
 17 measures, they want to use measures that are encouraging.  
 18 So offering alternatives -- free shuttles -- you know,  
 19 free bikes, car share, things like that, are incentives.  
 20 So it's like a carrot, instead of a stick approach, is  
 21 sort of the corporate culture we're seeing.  
 22 CHAIR DECARDY: I understand.  
 23 So for the purposes of the EIR, then, we have a  
 24 TDM plan that can rely on carrots, and the experience that  
 25 we can have enough carrots so we can move the

Page 76

1 minutes, but they both have to park kind of issue.  
 2 Have you been allowed or could you allow flex  
 3 parking across your different buildings and different  
 4 tenants in that region? Because I think you said they  
 5 have different uses.  
 6 Have you been allowed to do that? Have you been  
 7 -- has that been proposed in the past? And if not, if it  
 8 were, would that be helpful at all in this or not?  
 9 MR. TARLTON: Good question. And as we vision  
 10 out our campus there going forward, we do anticipate  
 11 making use of shared parking facilities across tenants.  
 12 That has not been the practice in the past, but we have  
 13 made changes to our messaging to our tenants, through both  
 14 our leases and our campus-wide TDM program, that that is  
 15 coming.  
 16 And we do already anticipate, to the extent  
 17 possible, making use of some of these expensive parking  
 18 spaces that are going to be part of the 1350 Adams Court  
 19 project for future sharing.  
 20 CHAIR DECARDY: So it sounds like you're headed  
 21 that way, but it has not been in the past.  
 22 Do you have a census across all of your  
 23 properties about what the usage of parking is? You know,  
 24 just sort of, you know, is there, in fact, some excess  
 25 capacity?

Page 75

1 environmental impact to less than significant.  
 2 It's a different conversation, if we want to have  
 3 this as a City, about how much further we might go with  
 4 what kinds of measures, but that would be from an EIR  
 5 standpoint, would not be relevant to moving from  
 6 significant to less than significant in an EIR.  
 7 Do I have that summarized?  
 8 MR. BLACK: That's correct.  
 9 CHAIR DECARDY: Okay.  
 10 MR. BLACK: The TDM plan that the project is  
 11 proposing is sufficient to mitigate the VMT impact.  
 12 CHAIR DECARDY: Yeah. Well, that's fabulous.  
 13 And it's fabulous that you've got the history --  
 14 this is to Mr. Tarlton and team -- that can get to this 25  
 15 to 30 percent reduction.  
 16 I will withhold the rest of my comments because  
 17 they are not EIR related on this and on transportation  
 18 parking. They're going to be related to the building, and  
 19 I'll do that later on.  
 20 I do have a question about the -- this is for the  
 21 -- for Mr. Tarlton, and on the biking.  
 22 You noted, I think, in the parking, that you've  
 23 got the overlap, potentially, of some potential tenants.  
 24 And so you've got that problem with -- you're going to  
 25 have, essentially -- two employees are there for ten

Page 77

1 MR. TARLTON: There is, in fact, some excess  
 2 capacity. And as we vision out the campus going forward,  
 3 we are trying to create opportunities for shared parking,  
 4 from tenant to tenant.  
 5 CHAIR DECARDY: Okay. Fabulous. I think that  
 6 sounds fabulous and creative and helpful. Appreciate it.  
 7 Hang on, Mr. Barnes. Let me just see if I have  
 8 any -- as long as I have the floor on EIR questions.  
 9 I don't think so. If I do, I'll come back.  
 10 Mr. Barnes -- Commissioner Barnes, let me  
 11 recognize you.  
 12 COMMISSIONER BARNES: Thank you. Question  
 13 through the Chair to staff. And I think this is probably  
 14 best directed to Mr. Smith. It relates to the EIR and in  
 15 specific, to the level of service data.  
 16 And I wanted to understand a little bit more  
 17 about the LOS. And more specifically, is an LOS reading  
 18 for a specific intersection able to tease out in specific  
 19 what this specific project will do to that, you know,  
 20 intersection A?  
 21 And is that impact specific to the incremental  
 22 impact of this -- of this project?  
 23 MR. SMITH: Right. So I would start by saying,  
 24 even though LOS was studied by the transportation  
 25 consultant as part of this process, I just want to be

Page 78

1 clear. It is not a CEQA impact. This is a completely  
 2 separate topic from the EIR.  
 3 But LOS is looking at seconds of delay at various  
 4 intersections around the project site. And sometimes it  
 5 -- it can spill back through additional intersections  
 6 further out from the project site. But it is looking at  
 7 the amount of delay that the project contributes to  
 8 individual study intersections.  
 9 COMMISSIONER BARNES: Okay.  
 10 MR. SMITH: Does that help?  
 11 COMMISSIONER BARNES: It does.  
 12 In my recollection, when LOS has been looked at  
 13 before, there was an inability to -- so say, for instance,  
 14 Station 1300 and some of the intersections around there,  
 15 there was a statistical -- the way it reported out, it  
 16 didn't specifically say, okay. Great. For this  
 17 particular project, we can quantify for this intersection  
 18 what this project is going to do because you've got a body  
 19 of data. You have -- it includes, when you do LOS, some  
 20 of the extra maladies for the environment, which feed into  
 21 that particular intersection.  
 22 And I wasn't under the impression that it can get  
 23 that fine and say, great. For this intersection, for this  
 24 time period, we're able to remove the extra maladies.  
 25 We're able to move any flows and whatever else goes into

Page 80

1 Any other questions from commissioners or  
 2 comments related to the EIR this evening?  
 3 I have one -- oh. I'm sorry.  
 4 Commissioner Do?  
 5 COMMISSIONER DO: Thank you, Chair DeCardy. And  
 6 I have a question about bus stops. And I hope it's not  
 7 totally irrelevant. But I think it is relevant to the  
 8 whole topic of alternative ways of commuting.  
 9 I did a -- you know, a little Google street view,  
 10 looking at, for instance, a bus stop along Willow and  
 11 O'Brien. And just curious. Was it a shelter or offer any  
 12 protection? And it's a -- simply a sign. No bench; no  
 13 shelter.  
 14 And when you see something like that, and you're  
 15 driving, you kind of think, man. Who wants to -- who  
 16 wants to commute by bus, when, you know, the bus  
 17 infrastructure looks like that?  
 18 And, again, this is not maybe something that the  
 19 Applicant is responsible for, but I -- there's -- I know  
 20 there's a pot of community amenity money. And I'm just  
 21 curious. And please forgive my ignorance. Other  
 22 commissioners or anyone chime in to say, that's not an  
 23 appropriate use of money.  
 24 But I'd just be curious if that aspect of the  
 25 public transit could be improved because I know there's

Page 79

1 either feeding or not feeding that intersection.  
 2 And say, for this particular project, this is the  
 3 addition. I didn't think that we were able to go to that  
 4 level of specificity. And that was the -- kind of the  
 5 core of my question.  
 6 MR. SMITH: So I would -- just to make sure I'm  
 7 not getting too far out of my depth, Christy Ann Choi,  
 8 who is a senior transportation engineer -- or I see Gary  
 9 Black has joined.  
 10 Gary, would you be able to expand on that -- that  
 11 question a little bit?  
 12 MR. BLACK: Yes. The transportation study does  
 13 show, for each intersection that we studied, the amount of  
 14 traffic that would be added by this project, just by this  
 15 project, and that it also calculates an associated delay  
 16 that would be caused by the traffic from this project  
 17 individually, for each one of the intersections that we  
 18 studied. It's in a giant table. It's pretty -- it takes  
 19 a while to get through, but the data is there.  
 20 COMMISSIONER BARNES: Great. Thank you.  
 21 And that satisfies my question about the  
 22 specificity aspect of it. All right. That is my question  
 23 as it relates to -- somewhat related, apparently, to the  
 24 EIR. Thank you.  
 25 CHAIR DECARDY: Thank you, Commissioner Barnes.

Page 81

1 this growing fund of money. So, again, apologize if  
 2 that's not an appropriate use of those funds.  
 3 MR. SMITH: So I --  
 4 CHAIR DECARDY: Mr. Smith?  
 5 MR. SMITH: Through the Chair? Okay.  
 6 There is a list of approved community amenities.  
 7 And I believe that I don't have the list right in front of  
 8 me, so I'm going from memory here. But I believe that one  
 9 of them is transportation-related improvements. And so it  
 10 could be -- so there's -- there's a growing fund of  
 11 in-lieu fees for community amenities, which, if the  
 12 council determined that that was a project that they would  
 13 like to support, can certainly make the case that improved  
 14 transit facilities related to improved bus stops, more  
 15 shelter, that kind of thing, could be part of that funding  
 16 that's used.  
 17 Or in the case of a specific project applicant,  
 18 they could make that part of their proposal. And then it  
 19 would have to be evaluated by the -- whatever  
 20 decisionmaking body.  
 21 So in this case, the project is for -- up for  
 22 review and entitlements from this commission. And so they  
 23 would have to make the case for those improvements. And  
 24 you, as a body, would have to accept that as a  
 25 transportation-related improvement. But just to give you

Page 82

1 an idea of how that might work.  
 2 COMMISSIONER DO: Great. Thank you.  
 3 CHAIR DECARDY: I was searching for the community  
 4 amenities list.  
 5 I think it's -- in the staff report, there are  
 6 links to specific aspects of community amenities in this  
 7 project. But I don't think there was a link to the list.  
 8 And so that might be, Mr. Smith, helpful, the  
 9 next time around, for any interested parties to see that.  
 10 So thank you for that question, Commissioner Do.  
 11 Commissioner Harris? You are somehow on mute,  
 12 even though it looks like --  
 13 VICE CHAR HARRIS: Sorry about that. Can you  
 14 hear me now?  
 15 CHAIR DECARDY: Yes, we can.  
 16 VICE CHAIR HARRIS: Yes. AirPods running out of  
 17 juice. Yeah.  
 18 So I'm just wondering, to Commissioner Do's  
 19 question, improving bus stops, is that something that can  
 20 come out of TIF money?  
 21 Or, no, because that only can be used for  
 22 intersections?  
 23 CHAIR DECARDY: Mr. Smith, yes.  
 24 MR. SMITH: So that's a good question. I might  
 25 need some assistance.

Page 84

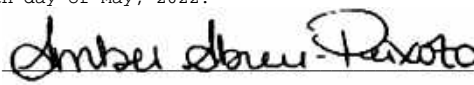
1 CHAIR DECARDY: Great. Thank you.  
 2 And, to commissioners, some of these things blend  
 3 together. There's EIR-related questions. But we can look  
 4 at community amenities and are asked to look at community  
 5 amenities in the next portion of our conversation tonight  
 6 as well.  
 7 So any final comments on the EIR from  
 8 commissioners? And as you're contemplating, I am going to  
 9 turn to Mr. Smith.  
 10 Have you gotten the feedback you need, or are  
 11 there any outstanding questions you have of the  
 12 commission, regarding the EIR this evening?  
 13 MR. SMITH: In terms of the EIR, we really  
 14 appreciate all of the feedback, the questions, the great  
 15 dialogue. No further needs from staff in that area.  
 16 CHAIR DECARDY: All right. Any last questions  
 17 from commissioners? All right.  
 18 With that, I will close this item of the agenda,  
 19 Item G1, which was looking at the EIR.  
 20 (WHEREUPON, Agenda Item G1 concluded.)  
 21 --o0o--  
 22  
 23  
 24  
 25

Page 83

1 I believe that projects that are identified for  
 2 -- projects have to be specifically identified for TIF  
 3 funding. And so if that's not a project that has been  
 4 identified, then it wouldn't go towards that.  
 5 I was able to pull up the community amenities --  
 6 approved community amenities list. And one of the -- one  
 7 of these is transit and transportation improvements. And  
 8 it says, "Bus Service and Amenities." Increase the number  
 9 of stops, bus frequency, shuttles, and bus shelters"  
 10 specifically are called out. So I think that would be a  
 11 prime use of the money that was intended that way.  
 12 In terms of TIF funding, I don't know if Christy  
 13 Ann Choi, from our Transportation division, is able to  
 14 assist with how TIF projects are identified.  
 15 MS. CHOI: Hi. Good evening. Christy Ann Choi,  
 16 Senior Transportation Engineer.  
 17 So, yeah. The City has the Transportation Impact  
 18 Fee Program. And when it was adopted, we had identified a  
 19 number of projects that would be funded by the TIF. And  
 20 as Mr. Smith mentioned, they do have to already be  
 21 identified. So the TIF money can only be used for those  
 22 types of projects.  
 23 I don't think we had any particular bus shelters  
 24 listed. So that would not be a potential funding source.  
 25 VICE CHAIR HARRIS: Thanks. Helpful.

Page 85

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| <hr/>   | <b>2</b>   | <b>45-day</b> 43:14                        | <hr/>   |
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| <hr/>   | <b>2.14</b> 63:17  | <b>4th</b> 43:15                           | <b>absolutely</b> 16:20 53:13<br>69:10 71:7 73:19   |
| <b>1</b>  | <b>2.5</b> 63:19   | <hr/>                                      | <b>accent</b> 23:17   |
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| <b>1.3</b> 56:13  | <b>20-foot</b> 25:19   | <hr/>                                      | <b>accept</b> 9:16 81:24  |
| <b>1.5</b> 63:19  | <b>200,000</b> 56:12   | <b>500,000</b> 56:12                       | <b>accepting</b> 10:1   |
| <b>10</b> 9:3,8 25:11 26:1                                    | <b>2013</b> 14:1   | <b>55</b> 9:8 46:17 60:17                  | <b>access</b> 18:24 19:19 20:13   |
| <b>10-day</b> 10:6  | <b>2016</b> 14:1 50:12   | <b>588</b> 63:16,18,23                     | <b>accommodate</b> 13:13  |
| <b>10-inch</b> 29:4   | <b>2018</b> 42:14 71:25  | <b>5:00</b> 6:22 9:25 48:6                 | <b>accomplished</b> 13:11   |
| <b>100</b> 24:14  | <b>2019</b> 43:11 66:24 71:25                                  | <hr/>                                      | <b>accordance</b> 6:3 41:18   |
| <b>100,000</b> 56:12  | <b>2022</b> 6:23   | <b>6</b>                                   | <b>account</b> 49:21 68:24  |
| <b>1005</b> 15:15   | <b>21.1</b> 70:25  | <hr/>                                      | <b>accounting</b> 66:14   |
| <b>108</b> 25:5 31:15   | <b>23</b> 26:10  | <b>60</b> 30:25                            | <b>accurate</b> 50:7 64:1   |
| <b>10s</b> 12:20  | <b>23,000</b> 26:8   | <b>60,000-square-foot</b><br>17:16         | <b>achieve</b> 25:1   |
| <b>11-acre</b> 16:12  | <b>23rd</b> 6:22 9:25 43:16 48:6                               | <b>650</b> 41:15 58:7 62:2,3<br>63:24 64:7 | <b>achievement</b> 34:2   |
| <b>11-foot-wide</b> 27:16                                     | <b>24</b> 26:10  | <b>6596.2</b> 6:18                         | <b>acre</b> 26:8  |
| <b>1125</b> 15:15   | <b>25</b> 12:24 33:12 34:15 65:3,<br>12 71:12 73:5 74:10 75:14 | <hr/>                                      | <b>acres</b> 16:25  |
| <b>114</b> 28:13  | <b>255,000-square-foot</b><br>41:10                            | <b>7</b>                                   | <b>act</b> 38:22 41:19  |
| <b>118</b> 62:9,23 63:2,5,11                                  | <b>26,400</b> 4:21   | <hr/>                                      | <b>acting</b> 10:8  |
| <b>12</b> 30:24   | <b>27</b> 71:4   | <b>701</b> 6:21                            | <b>action</b> 47:17   |
| <b>12-inch</b> 29:6   | <hr/>  | <b>706</b> 41:11 63:10                     | <b>actions</b> 7:25 9:21  |
| <b>120</b> 9:5  | <b>3</b>   | <b>707</b> 62:7                            | <b>activities</b> 54:9  |
| <b>125</b> 9:2  | <hr/>  | <b>72</b> 25:4 31:14                       | <b>ADA</b> 19:8   |
| <b>1300</b> 78:14   | <b>30</b> 12:25 33:12 71:4,12<br>73:5 74:10 75:15              | <hr/>                                      | <b>Adams</b> 4:17,22 5:20 7:9<br>8:16,18,19 15:14,16 16:18,<br>22 17:13,23 18:2,10,12,21<br>19:3,5,20,23 20:5,21,23<br>21:18 23:7 25:16,17 26:6,<br>14,15,20,21 27:2,12 35:20<br>37:1,8 62:24 63:11,15<br>76:18 |
| <b>1305</b> 5:1 8:7 16:13 20:15<br>62:8,9,25 63:3,5,12 71:21  | <b>30-day</b> 43:2,3   | <b>80</b> 58:8                             | <b>add</b> 4:7 57:15,16 58:7 63:1   |
| <b>1320</b> 15:15   | <b>32</b> 72:1   | <hr/>                                      | <b>add-on</b> 67:16   |
| <b>1350</b> 4:17,22 7:9 15:14,16<br>62:8,11,24 63:10,15 76:18 | <b>35</b> 12:23 24:21  | <b>9</b>                                   | <b>added</b> 32:3,9 79:14   |
| <b>1440</b> 16:4 18:4 31:6 36:23                              | <b>36</b> 25:5 31:14   | <b>90</b> 49:14                            | <b>adding</b> 62:2  |
| <b>15</b> 25:6 70:18  | <b>373</b> 63:4  | <b>90.7</b> 46:16                          | <b>addition</b> 12:17,18 19:14  |
| <b>150</b> 31:15  | <hr/>  | <b>92</b> 5:12 41:11                       |   |
| <b>16</b> 14:6  | <b>4</b>   | <b>961</b> 62:6,8 63:9                     |   |
| <b>188,000</b> 16:15  | <hr/>  |  |   |
| <b>188,100</b> 4:25   | <b>4.1</b> 24:9  |  |   |
| <b>1980s</b> 15:24  | <b>40</b> 12:9 72:1  |  |   |

|  |   |   |   |
|--|---|---|---|
| 26:2 79:3  | <b>alternate</b> 65:1   | <b>Applicant's</b> 71:10  | <b>assemblage</b> 30:17   |
| <b>additional</b> 5:7 8:22 9:3,8<br>26:4,7 37:9 47:5 71:20<br>78:5           | <b>alternative</b> 46:12,15,18,<br>20,22,23 66:18 80:8  | <b>application</b> 11:24 13:23<br>14:6 55:21  | <b>assessment</b> 40:11   |
| <b>address</b> 6:9 47:25 48:1<br>49:19                                       | <b>alternatively</b> 54:9   | <b>applications</b> 14:5 15:13  | <b>assist</b> 83:14   |
| <b>addressed</b> 5:1 8:7 44:14<br>58:12                                      | <b>alternatives</b> 41:24 44:25<br>45:6 46:8,11,23 74:18  | <b>applying</b> 53:17,20  | <b>assistance</b> 82:25   |
| <b>addressing</b> 50:14 54:11<br>64:14                                       | <b>alternatives'</b> 46:10  | <b>approach</b> 17:5,11 74:20   | <b>assumes</b> 46:16  |
| <b>adequately</b> 44:14  | <b>Alto</b> 6:7 31:22 50:13   | <b>approval</b> 42:8 63:3 67:22   | <b>assumption</b> 56:21   |
| <b>adjacent</b> 28:21  | <b>aluminum</b> 21:8 23:21  | <b>approve</b> 42:10 47:18  | <b>assumptions</b> 41:16  |
| <b>adjust</b> 53:18  | <b>amazing</b> 34:21  | <b>approved</b> 45:12 81:6 83:6   | <b>Atteberry</b> 40:2,7   |
| <b>adjustment</b> 53:20  | <b>amenities</b> 5:14,16,19 9:20<br>13:16 16:3 31:11 81:6,11<br>82:4,6 83:5,6,8 84:4,5  | <b>approximately</b> 4:25 5:11,<br>12 13:4 14:6 41:10,11,15<br>46:16  | <b>Avenue</b> 8:15  |
| <b>adopted</b> 57:6 83:18  | <b>amenities'</b> 18:3  | <b>April</b> 43:15  | <b>average</b> 70:19  |
| <b>advance</b> 14:23   | <b>amenity</b> 9:6,10 34:9 80:20  | <b>architect</b> 14:21 55:18<br>59:12,16  | <b>avoid</b> 46:9   |
| <b>advanced</b> 40:5   | <b>amniocentesis</b> 12:12  | <b>architect's</b> 56:2   | <b>award-winning</b> 16:13  |
| <b>advise</b> 10:14 11:11  | <b>amount</b> 68:20 71:4 78:7<br>79:13  | <b>architects</b> 15:1  | <b>awe-inspiring</b> 34:5   |
| <b>aerial</b> 8:5  | <b>analyses</b> 7:21 44:15 53:17  | <b>architectural</b> 58:16,19   | <b>awesome</b> 34:2   |
| <b>affect</b> 58:14  | <b>analysis</b> 6:5 39:1 40:10,12<br>41:1,17 42:1,22,24 43:14,<br>20 44:9,13,16 45:7 46:7,10<br>47:10,11 53:15,23 54:1<br>55:3,6,7,10,12 57:7 66:24<br>67:7 73:5,14 | <b>architecture</b> 21:1 34:4<br>36:4 38:22 59:22 66:7  | <hr/> <b>B</b> <hr/>  |
| <b>affected</b> 42:18 54:18 55:7   | <b>and/or</b> 12:22   | <b>area</b> 4:22 5:4,9,12 9:2<br>13:19,21 20:7,11,14 21:9<br>25:10 26:10 44:1 54:23<br>55:23 58:9 63:20 84:15 | <b>Bach</b> 23:25   |
| <b>affiliation</b> 49:20   | <b>animal</b> 33:25   | <b>Area's</b> 15:1  | <b>back</b> 10:24 15:23 17:17<br>18:19 21:1,16 23:16 31:25<br>44:11 46:25 49:5 51:25<br>52:15 67:12,22 68:4 70:3<br>77:9 78:5 |
| <b>agencies</b> 42:17 43:2,8<br>66:18  | <b>animation</b> 35:18 36:17,22   | <b>areas</b> 6:11 20:15,18,20<br>26:16 30:19 35:16 37:5,9   | <b>background</b> 59:20,22  |
| <b>agency</b> 41:21 42:7 43:12   | <b>Ann</b> 79:7 83:13,15  | <b>array</b> 17:7 30:12   | <b>band</b> 23:18   |
| <b>agenda</b> 4:4,12 12:3 84:18,<br>20                                       | <b>answers</b> 61:11 62:15  | <b>arrival</b> 19:7   | <b>Barnes</b> 52:9,10,22 77:7,<br>10,12 78:9,11 79:20,25  |
| <b>agreement</b> 6:7 69:14,16  | <b>anticipate</b> 66:13 71:11<br>76:10,16   | <b>arriving</b> 17:8  | <b>BART</b> 31:21   |
| <b>ahead</b> 37:18 40:4 51:23  | <b>Apologies</b> 5:17 7:1   | <b>arrow</b> 17:14 27:9   | <b>base</b> 9:7 14:16 28:13<br>46:15,22   |
| <b>AIA</b> 16:13   | <b>apologize</b> 11:5,10,16<br>38:12 45:4 81:1  | <b>arrows</b> 39:13,16  | <b>based</b> 54:5,16 66:11,24<br>71:11  |
| <b>air</b> 6:12 22:5 45:2,15,21<br>50:7 53:4,7,22 54:8,23<br>55:2,6,11 60:15 | <b>apparently</b> 79:23   | <b>art</b> 14:16 17:9 27:3 32:8,22<br>33:10,14 34:5,6 36:1,3<br>37:3  | <b>baseline</b> 53:18,21 55:8   |
| <b>Airpods</b> 82:16   | <b>Appendix</b> 42:23 43:24   | <b>artist</b> 25:24 32:7 36:15  | <b>basically</b> 33:6 35:17 50:6  |
| <b>airports</b> 33:11  | <b>applicable</b> 46:3  | <b>artist's</b> 20:24   | <b>basics</b> 38:25   |
| <b>alerts</b> 42:15  | <b>applicant</b> 5:18 7:14 10:14,<br>20 11:1,9,10,11,17 49:6<br>52:2,16,17,19 54:17 64:6,<br>13 71:2 80:19 81:17  | <b>artistic</b> 18:25   | <b>basis</b> 40:11  |
| <b>allowance</b> 5:16  |   | <b>aspect</b> 79:22 80:24   | <b>bay</b> 13:19,21 15:1 50:15,16<br>54:23 55:23  |
| <b>allowed</b> 9:4 76:2,6  |   | <b>aspects</b> 38:5 49:1 82:6   | <b>Bayshore</b> 58:10   |
| <b>allowing</b> 13:21 65:11  |   |   | <b>beautiful</b> 34:5   |

|  |   |   |  |
|--|---|---|--|
| <b>beauty</b> 32:21  | <b>board</b> 23:3   | <b>button</b> 49:13 50:25   | <b>CEQA</b> 6:3 38:20,21,25<br>39:24 40:15,21,25 41:6,18,<br>20 42:1,5,11,23 43:6 44:8,<br>11,18 46:7,14,22 47:1,12<br>53:17 57:1,4,8,25 60:11,13<br>61:5 67:13,16 70:18 78:1  |
| <b>begin</b> 4:15 7:6  | <b>body</b> 10:8 12:5 78:18<br>81:20,24   | <b>buying</b> 24:14   |  |
| <b>beginning</b> 49:22 72:5  | <b>bold</b> 55:17   |   |  |
| <b>behalf</b> 39:10  | <b>bonus</b> 4:23 5:15 8:21,23,<br>24 9:1,11 12:6   | <hr/> <b>C</b> <hr/>  |  |
| <b>Belle</b> 14:12 36:7  | <b>bottom</b> 18:5 35:15 49:13<br>51:1  | <b>cafe</b> 16:5 18:6 36:24   | <b>certification</b> 10:9,12   |
| <b>belonging</b> 63:12   | <b>bread</b> 38:8   | <b>calculates</b> 79:15   | <b>certified</b> 6:3   |
| <b>below-grade</b> 5:6   | <b>break</b> 21:9   | <b>California</b> 6:19 41:19  | <b>certify</b> 47:18   |
| <b>below-market</b> 9:19   | <b>bright</b> 60:16   | <b>call</b> 9:15 31:7 43:23 44:3<br>53:11 60:19                     | <b>cetera</b> 66:15  |
| <b>bench</b> 80:12   | <b>bring</b> 17:9 34:4 36:7,10<br>51:25   | <b>called</b> 45:10 83:10   | <b>chair</b> 4:3,8,9,10 7:4,8<br>10:18 11:13,15,21 32:12,<br>15 36:19 37:24 38:15 39:2,<br>6,23 48:8 50:5,20 51:2,11,<br>19,22 52:10,14,24 53:1,6<br>57:15 58:11,17 59:4,6,21<br>61:13,15,17 62:22 63:22<br>64:2,17 65:7 66:20 67:14,<br>15,18,20,21 68:15,16 69:1,<br>12,17,20 70:10 71:8 72:3<br>73:3,8 74:1,5,22 75:9,12<br>76:20 77:5,13 79:25 80:5<br>81:4,5 82:3,15,16,23 83:25<br>84:1,16 |
| <b>beneath</b> 5:20,21   | <b>bringing</b> 32:21   | <b>calling</b> 19:11 49:14  | <b>challenge</b> 66:21   |
| <b>benefit</b> 12:6 14:12  | <b>brings</b> 34:7  | <b>Caltrain</b> 31:22   | <b>chance</b> 51:6   |
| <b>benefits</b> 13:1 14:11   | <b>broad</b> 14:15 44:5   | <b>campus</b> 16:10 18:3 31:9,<br>16 65:4,5 76:10 77:2              | <b>changing</b> 31:2   |
| <b>berm</b> 18:22 27:20,21 28:1  | <b>broader</b> 44:7   | <b>campus-wide</b> 31:8 76:14                                       | <b>CHAR</b> 82:13  |
| <b>bicycle</b> 18:9 29:21,22,24<br>30:23 66:5  | <b>broken</b> 67:24   | <b>canopy</b> 21:25   | <b>charcoal</b> 22:16 23:20  |
| <b>bicycles</b> 30:25  | <b>brought</b> 28:10  | <b>capacity</b> 76:25 77:2  | <b>charge</b> 31:17 73:25  |
| <b>big</b> 17:18 32:22   | <b>budget</b> 24:21 25:1  | <b>car</b> 31:12 71:16 73:15<br>74:19                               | <b>charging</b> 25:4 31:16,17<br>73:22 74:8,14   |
| <b>bike</b> 27:14,16 29:23 31:8<br>71:16   | <b>buffer</b> 27:15   | <b>carbon</b> 24:15   | <b>chart</b> 46:25 67:24 68:6,22<br>69:6   |
| <b>bikes</b> 65:11 74:19   | <b>build</b> 13:12 66:9,11,16,17  | <b>care</b> 12:15   | <b>check</b> 4:5   |
| <b>biking</b> 75:21  | <b>building</b> 4:21 5:1,3,4,5,8<br>8:7 12:4,7 13:11,17 15:22<br>16:14,16,18 17:15 18:4<br>19:8,12 21:10,17 22:8,13,<br>18,25 23:12,24 25:13,14<br>27:11 28:11,21 31:11,14<br>37:10,12,15,16 41:10<br>55:21 62:20,21,25 63:2,6,<br>8,16 64:11,12,15 66:8 67:6<br>71:21 74:3 75:18 | <b>carpool</b> 65:11  | <b>checklist</b> 42:21,23 43:25  |
| <b>Billiontoone</b> 12:11  | <b>buildings</b> 5:10 13:9 14:7,<br>24 15:6 16:9 22:10 28:12<br>31:10 50:17 56:10 63:9<br>76:3  | <b>carrot</b> 74:20   | <b>child</b> 28:3  |
| <b>bio-detention</b> 20:20<br>30:18  | <b>built</b> 31:3 62:20   | <b>carrots</b> 74:24,25   | <b>chime</b> 69:18 80:22   |
| <b>biopsy</b> 12:13  | <b>bus</b> 80:6,10,16 81:14 82:19<br>83:8,9,23  | <b>cars</b> 72:16,21 73:1   | <b>Chinese</b> 30:16   |
| <b>bios</b> 59:14  | <b>buses</b> 36:9,10  | <b>case</b> 21:22 24:8 25:22<br>28:25 42:9 58:25 81:13,17,<br>21,23 | <b>Choi</b> 79:7 83:13,15  |
| <b>Biosciences</b> 16:2,15<br>17:22 22:25  | <b>business</b> 12:21 14:25<br>15:7   | <b>cast</b> 16:24   | <b>Christy</b> 79:7 83:12,15   |
| <b>bird-safe</b> 23:6  |   | <b>categories</b> 42:23   | <b>churning</b> 12:8   |
| <b>birth</b> 18:20   |   | <b>caught</b> 33:7  | <b>circle</b> 18:5   |
| <b>bit</b> 9:13 16:11 19:13,15<br>21:19 22:21 24:7 25:24<br>60:18 62:1,4,13 77:16<br>79:11 |   | <b>caused</b> 79:16   |  |
| <b>black</b> 17:14 40:9 54:2 71:7<br>72:23,24 73:7,11,19 74:2,<br>12 75:8,10 79:9,12       |   | <b>celebrate</b> 33:18  |  |
| <b>blend</b> 84:2  |   | <b>cells</b> 28:8   |  |
| <b>blue</b> 18:5 22:19,23 26:6   |   | <b>census</b> 76:22   |  |
|  |   | <b>center</b> 8:12 16:6 18:6 19:7<br>21:14 31:6,11                  |  |
|  |   | <b>central</b> 36:24  |  |



|                                   |                               |                                  |                                 |
|-----------------------------------|-------------------------------|----------------------------------|---------------------------------|
| <b>circulation</b> 17:22          | 17 8:2 9:17 10:1,2,3,5        | <b>comprehensive</b> 13:25       | <b>consultants</b> 12:1 37:21   |
| <b>cities</b> 13:21               | 11:25 12:2 41:5 43:4,13,      | <b>computer</b> 39:14            | 54:3                            |
| <b>city</b> 6:7 12:23 13:24 14:5, | 17,20 47:4,5,7,13,22,24       | <b>concept</b> 44:4,12           | <b>contemplated</b> 46:19 57:5  |
| 11 31:21 32:16 45:11              | 48:6,14 50:6 51:10 52:3,6,    | <b>conceptual</b> 32:1           | <b>contemplating</b> 84:8       |
| 47:17 51:7,9 56:25 57:20          | 13 61:14 67:11 69:21          | <b>concern</b> 50:10 60:8,24     | <b>context</b> 70:12            |
| 60:20 61:7 66:17 70:18            | 75:16 80:2 84:7               | <b>concert</b> 23:1              | <b>continuation</b> 50:16       |
| 72:9 75:3 83:17                   | <b>commercial</b> 9:3,9 12:19 | <b>conclude</b> 57:20            | <b>continue</b> 14:10 19:25     |
| <b>City's</b> 12:21 24:18 39:24   | 46:19                         | <b>concluded</b> 84:20           | 58:23                           |
| 51:15 71:1,5                      | <b>commercially-available</b> | <b>concludes</b> 10:13 48:7      | <b>continuing</b> 27:4          |
| <b>citywide</b> 70:18             | 12:13                         | <b>conclusion</b> 58:1           | <b>continuously</b> 14:18       |
| <b>clarify</b> 54:7,11            | <b>commission</b> 7:5 10:8    | <b>conclusions</b> 40:20,24      | <b>contributed</b> 12:20        |
| <b>clarifying</b> 9:18 10:22,24   | 32:16 42:9 55:18 56:4,5       | <b>concrete</b> 22:14,15 29:19   | <b>contributes</b> 78:7         |
| 38:10 47:10 48:16,18              | 59:15,17 81:22 84:12          | <b>conditions</b> 54:5,18 55:22  | <b>control</b> 33:2 39:12,17    |
| <b>clarity</b> 55:13              | <b>commissioner</b> 7:16 8:3  | <b>conducted</b> 53:15           | <b>controlling</b> 36:21        |
| <b>Clean</b> 24:15                | 38:11 48:16 52:9,10,22,25     | <b>conference</b> 16:5           | <b>conversation</b> 33:20 70:12 |
| <b>clear</b> 23:2,4,5 48:9 72:14  | 53:1 54:6 55:13 57:11         | <b>confused</b> 62:1             | 75:2 84:5                       |
| 78:1                              | 58:5,18,25 59:5,10,11,17,     | <b>congratulations</b> 4:8 7:4   | <b>cooling</b> 24:24 25:1       |
| <b>clerk</b> 36:21 38:18          | 18,21 61:2,10,15,20 66:23     | 50:4                             | <b>coordination</b> 13:24       |
| <b>click</b> 50:25                | 77:10,12 78:9,11 79:20,25     | <b>connected</b> 41:12           | <b>core</b> 31:1 79:5           |
| <b>clicked</b> 15:9               | 80:4,5 82:2,10,11,18          | <b>connection</b> 18:8,9         | <b>cores</b> 31:1               |
| <b>close</b> 15:2 47:1 49:3 50:16 | <b>commissioners</b> 7:3      | <b>connective</b> 18:3           | <b>corner</b> 5:22 8:16 12:8    |
| 51:23 84:18                       | 10:22 11:22 32:12 37:14       | <b>Connectmenlo</b> 6:4 18:16    | 17:17 18:2,20 21:2,5 25:17      |
| <b>closely</b> 17:25 30:4         | 39:23 41:4 47:23 48:19,20     | 43:25 44:2,23 46:4 56:7,         | 26:14,21 37:1,8                 |
| <b>closer</b> 50:15               | 50:4 52:1,4,8 59:6,9,14       | 19,25 57:5,17                    | <b>corners</b> 23:15,17,18      |
| <b>closes</b> 43:16               | 61:13 68:11 69:22 70:1        | <b>connector</b> 18:2            | <b>corporate</b> 74:13,21       |
| <b>closest</b> 25:13              | 80:1,22 84:2,8,17             | <b>connects</b> 20:15            | <b>correct</b> 52:14 54:4 56:16 |
| <b>closing</b> 7:17               | <b>committed</b> 24:14        | <b>consideration</b> 44:18       | 58:6 59:15,19 70:9,23           |
| <b>code</b> 6:19 24:18 35:4       | <b>committing</b> 26:5        | <b>considerations</b> 42:6       | 71:7,19 73:7 75:8               |
| <b>collaboration</b> 34:12        | <b>communication</b> 35:12    | 57:2,6                           | <b>corrected</b> 55:10          |
| <b>colleagues</b> 53:12           | <b>community</b> 5:13,16,18   | <b>consistent</b> 24:17 44:1     | <b>corrugated</b> 24:5          |
| <b>collection</b> 14:10,16        | 6:21 9:6,10,20 80:20 81:6,    | <b>consistently</b> 14:8         | <b>cost</b> 12:15 40:12 66:8,21 |
| <b>color</b> 23:12,13,21 30:6,7   | 11 82:3,6 83:5,6 84:4         | <b>consists</b> 4:24             | 73:13,14,20 74:3,4              |
| <b>colors</b> 23:11               | <b>commute</b> 13:5 80:16     | <b>constitute</b> 47:13          | <b>council</b> 81:12            |
| <b>comfortable</b> 29:16          | <b>commuting</b> 80:8         | <b>construction</b> 6:13 41:9    | <b>counsel</b> 56:6             |
| <b>comment</b> 9:23 10:23,24      | <b>companies</b> 12:9         | 45:20,22 54:9,15,16 55:5         | <b>counted</b> 72:25            |
| 38:11 40:22 41:3 47:21            | <b>company</b> 12:10 13:13    | <b>consultant</b> 7:15 10:4 11:5 | <b>country</b> 33:12            |
| 48:2,12,17,23,24 49:9,11,         | 22:9                          | 38:9 39:25 40:8,10 52:1          | <b>counts</b> 53:19,21          |
| 15,18,22 50:25 51:10,18,          | <b>compete</b> 13:18          | 53:6 57:20 59:3 77:25            | <b>couple</b> 19:8 31:23 39:4   |
| 23 52:16,20 53:24 54:7            | <b>complement</b> 24:3        |                                  | 50:8 53:2 60:2 61:18            |
| 57:15 61:18,21                    | <b>complementing</b> 25:19    |                                  | 65:21,22 67:11 69:24            |
| <b>comments</b> 4:19 6:20 7:16,   | <b>completely</b> 59:13 78:1  |                                  |                                 |
|                                   | <b>compliance</b> 6:6 25:8    |                                  |                                 |
|                                   | <b>compliant</b> 24:20        |                                  |                                 |
|                                   | <b>complimentary</b> 24:6     |                                  |                                 |

**court** 4:17,22 5:20 7:9 8:18  
 16:18,23 17:13,23 18:10,  
 12 19:4,5,23 20:5,22  
 26:14,21 35:20 62:24  
 63:11,15 76:18  
**coverage** 44:4  
**covered** 40:17 41:8 42:6  
 44:23  
**COVID** 54:18 55:7  
**crazy** 33:11  
**create** 17:11,22 21:8  
 33:17,19,20 34:19 66:18  
 77:3  
**created** 15:19 25:8  
**creates** 22:16 26:19  
**creating** 15:17 16:8 17:15  
 22:17 31:7 32:4 36:5  
**creative** 77:6  
**crescent-shaped** 19:6  
**cross** 27:7 28:20  
**crumb** 38:8  
**cul-de-sac** 8:18 19:23  
 21:17  
**culture** 73:22 74:8,13,21  
**cumulative** 68:2,8  
**curb** 27:19  
**curious** 80:11,21,24  
**current** 64:11  
**cut** 34:19  
**cycle** 28:17

---

**D**

---

**daily** 54:22  
**dais** 51:25  
**dare** 55:19  
**darker** 19:15 23:17 25:14  
 30:6  
**data** 50:7 53:5,7 54:4 55:11  
 66:12 77:15 78:19 79:19  
**date** 10:1,10  
**day** 24:12 43:16  
**daylight** 13:15  
**dear** 29:24  
**debate** 57:25  
**decades** 55:19 66:12 72:7  
**Decardy** 4:3,8,10 7:8  
 10:18 11:13,15,21 37:24  
 38:15 39:2,6 48:8 50:20  
 51:2,11,19,22 52:10,14,24  
 53:1 58:17 59:4,6,21 61:13  
 67:15,20 68:15,16 69:20  
 70:10 71:8 72:3 73:3,8  
 74:1,5,22 75:9,12 76:20  
 77:5 79:25 80:5 81:4 82:3,  
 15,23 84:1,16  
**December** 42:14  
**deciding** 42:8  
**decision** 41:21 42:7 56:5  
**decisionmaking** 68:12  
 81:20  
**deck** 21:5 30:9  
**decorative** 30:8  
**deemed** 57:24  
**deep** 13:8  
**define** 24:1  
**delay** 78:3,7 79:15  
**delays** 44:10  
**delivering** 14:10  
**demand** 30:22 64:4 70:6  
**demonstrating** 71:25  
**density** 13:4 14:14 44:1  
**department** 6:21 20:13  
 60:21  
**depending** 31:23 60:14  
**depth** 79:7  
**DES's** 16:20  
**design** 7:24 8:2,4 9:19  
 14:9,24 24:7,22 37:23  
 38:22  
**designation** 9:1 46:21  
**designed** 22:9 24:19 35:7  
**designs** 55:22  
**desired** 68:21  
**destination** 33:17,19 36:5  
**detail** 25:25  
**details** 10:16 30:3  
**determination** 56:8 61:8  
**determine** 54:24  
**determined** 46:22 81:12  
**determinedly** 55:20  
**determines** 42:24  
**determining** 60:21  
**Devan** 40:2,6  
**develop** 4:20 9:2 17:6 18:1  
 63:6  
**developed** 16:4 20:25  
 26:12 63:14  
**development** 4:20 5:16  
 6:21 9:7,11 20:22 44:2  
 57:4 66:7  
**develops** 18:18  
**diagram** 25:8 31:25  
**dialogue** 84:15  
**diesel** 5:25 55:5  
**differ** 57:23  
**difference** 62:7  
**difficult** 61:21  
**digital** 34:18  
**dimension** 34:19  
**direct** 51:8  
**directed** 14:12 37:21 60:4  
 77:14  
**direction** 17:4 21:15 65:10  
**directly** 12:20 48:25 58:12  
**director** 40:1  
**discover** 37:5  
**discovery** 34:1  
**discretion** 67:15  
**discuss** 41:5  
**discussed** 64:21  
**discussing** 40:14 66:23  
**discussion** 7:21 11:3  
 38:11 44:19 56:10 59:2  
**display** 19:1  
**distinction** 8:24  
**district** 4:23 9:7 12:7 14:2,  
 23 15:8,12,17,20 37:19  
 50:3 54:24 63:21  
**diving** 10:16  
**division** 83:13  
**Do's** 82:18  
**document** 44:6 56:15  
**documented** 34:18  
**documents** 44:9 51:16  
 57:8  
**dog** 33:24  
**dollars** 12:20 14:12  
**door** 18:10  
**Doran** 39:2  
**dots** 25:22 32:3  
**double** 15:9  
**dozens** 12:14  
**Draft** 4:15,16,20 6:5,9,15,  
 20 7:9,12,17,22 9:17,23  
 40:19,25 43:13,14,20 47:2,  
 6,7,15,21,23 68:13  
**drain** 29:4  
**drive** 5:1,21 8:8,14,17,19  
 16:16 17:24 18:5,12 19:20  
 20:23 21:18 23:7 25:16  
 26:6,15,20 27:2,12,16  
 35:20 36:25 63:4,5,12  
 71:21  
**driveway** 19:6,25 21:24  
 28:24  
**driveways** 16:22 20:5  
**driving** 80:15  
**dropoff** 19:6  
**dual** 24:10  
**due** 13:3 29:4

**durable** 29:15

---

**E**

---

**e-mail** 47:25**earlier** 28:16 29:5**easement** 29:8**easier** 39:16**easily** 57:12**East** 6:7 50:13**eastern** 27:10 28:19**economic** 42:4**educate** 33:18 36:11**education** 34:7**effect** 68:24**effective** 13:9 71:3**effectively** 13:18**effectiveness** 72:1**effects** 6:10 41:22,25  
44:22**efficient** 12:2 24:20**effort** 12:1**eggshell** 23:12**EIR** 4:16,20 6:4,5,9,20  
7:12,15,17,22 9:16,17,23  
10:5,9,11,17 11:8,9,13,17,  
25 12:1 37:20,21 39:1,25  
40:1,3,7,19,20,22,25 41:2,  
17,18 42:1,6,13,19,25  
43:5,9,13,14,20,23 44:2,3,  
5,15,20,23 45:1,5,7,9,13,  
18,25 46:4,5,10 47:2,3,6,8,  
9,15,16,17,18,21,23 50:12  
51:6,9,14,23 52:1,12,15,23  
53:3 54:8 55:3 56:7,17  
57:2,9,16,18,20 58:12,21  
59:2 60:20 61:18,22 62:7,  
12 67:19 68:24,25 69:22  
70:3 74:23 75:4,6,17 77:8,  
14 78:2 79:24 80:2 84:7,  
12,13,19**EIR's** 40:12**EIR-RELATED** 84:3**EIRS** 57:17 68:13**electric** 72:20**electrical** 31:17**electricity** 24:14**elevation** 22:1 28:13**elevator** 33:7**elevators** 21:13**eliminates** 44:13**emergency** 6:2 20:10,12**emission** 54:22**emissions** 6:12 45:2,16  
54:15**emit** 60:17**emitting** 72:16**employee** 13:3 14:14**employees** 13:4 41:16  
61:25 62:2,16 63:24 64:7,  
8,9 65:4 73:23 74:15 75:25**employers** 74:14**enable** 14:10**enclosure** 20:10**encourage** 21:12 44:8  
58:22**encouraging** 72:25 74:17**end** 14:4 20:19 43:17 63:8,  
12**ends** 8:11 9:25**energy** 6:14 13:8 24:15  
45:3,24**enforce** 45:12**engineer** 79:8 83:16**enter** 39:18**Enterprise** 31:12**entire** 19:12**entitlements** 7:24 8:4  
10:7,10,12 81:22**entrance** 20:1 21:14,24  
22:6 23:5 30:25 37:11**entry** 17:13 19:3 22:17,20  
23:4**entryway** 29:20**environment** 14:15 39:8  
42:2 60:24 78:20**environmental** 4:16 6:5,  
10,15,16 7:10,20 9:15 10:4  
38:6 40:18 41:19,22 42:22  
44:5,6,9,21 49:1,3 51:16  
56:14 75:1**Environmentally-  
superior** 46:20**envisioned** 44:2**equal** 60:24**equipment** 54:16,20 55:1**equivalent** 24:9**Eschweiler** 14:21 15:3  
33:3 35:23 36:20 37:25  
39:13**essentially** 9:13 42:15,21,  
24 43:3,7 44:23 46:12  
47:10 53:18 55:9 56:22  
57:3 61:4 63:13 75:25**estimated** 41:15**estimates** 54:17,19**EV** 25:4,5 31:14,15 72:13,  
15,24,25**evaluate** 53:21 54:22**evaluated** 42:25 43:5  
46:11 54:16 56:18,25  
81:19**evaluates** 43:24**evening** 7:3,11 8:1 9:22  
11:21 12:2 32:12 39:23  
47:20 80:2 83:15 84:12**evening's** 9:14**evenings** 32:17**event** 6:1 34:1**everybody's** 39:5**exact** 67:2**examined** 55:20**exceed** 25:9 26:2,9**exception** 45:20**exceptionally** 14:21**excess** 76:24 77:1**excessive** 44:10**exchange** 5:13,16 9:11**excited** 32:24 36:2**exciting** 38:21**excuse** 5:14 12:18 61:15**executing** 13:8**execution** 14:9**exemplary** 72:8**exhausted** 52:6**exhibit** 71:14**existing** 4:24 5:4,10 18:21  
27:21 28:25 29:1,3 30:5  
62:21,25 71:20**expand** 79:10**expanding** 47:11**expect** 64:8**expectation** 70:6**expectations** 64:12**expensive** 76:17**experience** 17:10 66:7  
72:10 74:24**experiences** 17:7 30:13**explain** 51:7 62:18**explained** 18:4**explore** 26:19**exploring** 26:22**exposed** 21:11**express** 21:12**expression** 21:21 22:5**Expressway** 58:10**extent** 55:8 65:25 76:16**extra** 69:8 78:20,24

---

**F**

---

**fabulous** 37:24 72:4,8  
75:12,13 77:5,6

|   |   |  |  |
|---|---|--|--|
| <b>face</b> 66:19   | <b>fitness</b> 16:6 18:6 31:6   | <b>friend</b> 15:2   | <b>generator</b> 5:25 12:23<br>20:10   |
| <b>faces</b> 16:16,18   | <b>five-foot-six</b> 27:17  | <b>friendly</b> 48:5   | <b>generators</b> 12:24 20:12<br>55:4  |
| <b>facilities</b> 6:1 76:11 81:14   | <b>five-foot-wide</b> 27:14   | <b>front</b> 16:2 18:10 19:3 22:1,<br>3,6 25:13 35:2 37:10 70:21<br>81:7 | <b>gentleman</b> 35:2  |
| <b>fact</b> 24:21 25:9 76:24 77:1   | <b>five-story</b> 4:20  | <b>frontage</b> 5:22   | <b>gesture</b> 35:13   |
| <b>factor</b> 55:20   | <b>flat</b> 27:18   | <b>fuel</b> 72:20  | <b>GFRC</b> 22:13 23:11  |
| <b>factored</b> 55:1  | <b>flex</b> 76:2  | <b>full</b> 10:16 39:18 52:21<br>59:14                                   | <b>GHG</b> 45:21   |
| <b>factors</b> 53:20  | <b>flip-up</b> 28:15  | <b>full-height</b> 23:16   | <b>giant</b> 79:18   |
| <b>fair</b> 56:20   | <b>flood</b> 28:13  | <b>fun</b> 32:9  | <b>give</b> 10:14 17:7 38:24<br>40:13,14,19 49:11 50:24<br>52:19 71:24 81:25 |
| <b>familiar</b> 59:13   | <b>floor</b> 4:22 5:9,12 9:2 17:16<br>18:19 21:4 28:12 30:9<br>38:16 46:19 63:20 77:8 | <b>functions</b> 13:14   | <b>giving</b> 18:20 68:21  |
| <b>feasible</b> 41:23   | <b>floors</b> 31:2  | <b>fund</b> 12:21 81:1,10  | <b>glass</b> 21:22 22:1,19,24<br>23:2,4,6,17                                 |
| <b>feature</b> 41:13  | <b>flow-through</b> 28:22 30:18   | <b>funded</b> 83:19  | <b>glazing</b> 22:23,24 23:14  |
| <b>features</b> 24:8  | <b>flows</b> 78:25  | <b>funding</b> 81:15 83:3,12,24  | <b>goal</b> 16:20  |
| <b>fee</b> 5:19 83:18   | <b>fly</b> 56:14  | <b>funds</b> 81:2  | <b>gold</b> 24:8,9   |
| <b>feed</b> 53:22 78:20   | <b>focus</b> 37:19 42:1 43:9<br>44:16   | <b>furnishings</b> 29:15   | <b>good</b> 7:3 11:21 28:14<br>32:12 39:22 76:9 82:24<br>83:15               |
| <b>feedback</b> 12:5 49:3 68:18<br>69:11 84:10,14                               | <b>focused</b> 7:20 43:23 44:6,<br>20 53:3 56:7,16 58:12,21                           | <b>future</b> 18:15 25:5 31:3<br>33:1 34:3 36:14 68:13,25<br>76:19       | <b>Google</b> 80:9   |
| <b>feeding</b> 79:1   | <b>focused-tiered</b> 44:3  |  | <b>Gordon</b> 25:24 32:6,10,13   |
| <b>feeds</b> 55:11  | <b>focusing</b> 44:22 57:9  | <b>G</b>   | <b>Government</b> 6:19   |
| <b>feel</b> 29:16 32:16   | <b>folks</b> 39:7 41:2 48:23  | <b>G1</b> 4:12,15 84:19,20   | <b>grade</b> 5:7   |
| <b>feels</b> 65:23  | <b>follow</b> 38:22 69:24   | <b>garage</b> 19:14 21:23 22:2,3,<br>4 23:7 29:23 33:8 63:14             | <b>GRAIL</b> 12:12   |
| <b>fees</b> 81:11   | <b>forgive</b> 80:21  | <b>Gary</b> 40:9 53:24 54:2 55:9<br>70:22,23 71:6 79:8,10                | <b>grand</b> 19:4 22:6   |
| <b>feet</b> 4:21 5:11 9:5,9 13:5<br>16:15 26:8 28:13 41:11<br>56:12,13 63:18,20 | <b>form</b> 44:25   | <b>gas</b> 6:12 45:2,16  | <b>grasses</b> 30:17   |
| <b>fellow</b> 48:20   | <b>format</b> 7:11,19 69:7  | <b>gates</b> 28:15   | <b>grateful</b> 11:22  |
| <b>fence</b> 29:1 30:8  | <b>forward</b> 11:3,25 21:18<br>37:18 76:10 77:2                                      | <b>gather</b> 8:1 9:22   | <b>gray</b> 17:21 18:8 22:14,16<br>23:13,18,20 24:6                          |
| <b>figure</b> 72:20   | <b>found</b> 45:7,24 51:14  | <b>gathering</b> 26:14 43:7 53:8   | <b>gray-green</b> 23:3   |
| <b>figures</b> 34:24  | <b>foundation</b> 55:22   | <b>general</b> 12:21 40:15 44:4,<br>12 50:12 52:13 64:15,25              | <b>great</b> 25:3 38:17 39:21<br>51:19 70:22 78:16,23<br>79:20 82:2 84:1,14  |
| <b>final</b> 10:5,9,10 42:21 43:16,<br>21 47:3,9,16,19 67:22<br>68:24 84:7      | <b>frame</b> 35:14,22 53:7 56:6   | <b>generally</b> 39:16 44:13<br>49:4                                     | <b>greater</b> 14:17   |
| <b>finally</b> 13:6 40:22   | <b>frames</b> 35:24   | <b>generate</b> 41:15  | <b>green</b> 20:21 25:10,15<br>26:13,25                                      |
| <b>financially</b> 66:9   | <b>Francisco</b> 31:23  | <b>generated</b> 13:1  | <b>greenbelt</b> 17:18   |
| <b>find</b> 14:7 51:7,8 69:4  | <b>free</b> 31:8 74:18,19   | <b>generation</b> 12:19 15:6<br>24:17                                    | <b>greenhouse</b> 6:12 45:2,16   |
| <b>findings</b> 39:1  | <b>Fremont</b> 31:21  | <b>generations</b> 14:17   |  |
| <b>fine</b> 40:5 78:23  | <b>frequency</b> 83:9   |  |  |
| <b>finished</b> 28:12   | <b>frequently</b> 54:8  |  |  |
| <b>Fire</b> 20:13   | <b>fresh</b> 60:11  |  |  |

**gridded** 23:9  
**gross** 4:21 5:9 63:20  
**ground** 15:22 22:4 46:19  
**group** 24:15 62:15  
**growing** 14:13,16,18 81:1,10  
**growth** 22:11  
**guess** 60:3 62:10 64:2,5 65:18 67:7,12,18 69:1 72:22 74:12  
**guidance** 10:19  
**guidelines** 44:8  
**guys** 69:9

---

## H

---

**H1** 4:12  
**half** 26:8  
**halfway** 63:19  
**hand** 48:3,14 49:12,14,16 50:25  
**hands** 50:21,22 51:20,21  
**hang** 15:24 77:7  
**happy** 11:19 36:2,18 68:23  
**hard** 12:1 22:21 24:24 34:11 67:25  
**Harris** 4:9 61:15,16,17 62:22 63:22 64:2,17 65:7 66:20 67:18,21 69:1,12,17,20 82:11,13,16 83:25  
**Haven** 14:12 36:7  
**hazardous** 5:24  
**hazards** 55:4  
**headed** 76:20  
**headquarters** 16:2,14  
**health** 12:15 55:3  
**hear** 82:14  
**heard** 29:5 31:13 41:14  
**hearing** 4:4,16,19 7:10,12,18 9:16 40:15,23 43:19 47:1 49:12

**hearings** 10:7  
**heart** 29:24  
**heavily-incented** 66:9  
**Heidi** 39:22,24 53:11 54:2 60:4 70:20  
**height** 5:15 9:4,9 21:3 41:11  
**heights** 14:17  
**held** 43:10  
**helped** 12:14  
**helpful** 54:1 63:22 71:9 72:3 73:8 76:8 77:6 82:8 83:25  
**heritage** 16:19,21 17:6 20:3 27:21  
**heros** 36:12  
**Hexagon** 40:9 53:12 54:3  
**high** 8:5 14:8,15 36:11,12 65:23  
**high-octane** 13:19  
**higher** 14:13 73:14  
**highlighted** 8:13 21:14  
**Hill** 33:8  
**history** 32:5 75:13  
**hold** 58:15,24 59:1  
**holding** 43:6  
**Holdings'** 15:18  
**holds** 44:12  
**homework** 57:4  
**honored** 15:5  
**hope** 14:7 26:22 33:1 36:6 61:11 80:6  
**host** 11:20  
**housed** 12:22  
**housing** 6:11 9:19 40:11,12 45:4,23  
**hubs** 13:18 31:21  
**Huether** 25:24 32:6,11,13 33:4 35:25 37:25

**human** 34:1  
**humanity** 32:21 34:8

---

## I

---

**ICF** 38:9 40:3,7 53:11  
**idea** 56:13 64:13 71:24 82:1  
**ideal** 39:8  
**identified** 45:18 46:1 58:2 83:1,2,4,14,18,21  
**identifies** 41:23 44:20 57:17  
**identify** 6:16 57:18  
**identifying** 35:9  
**ignorance** 80:21  
**immediately** 72:14  
**impact** 4:16 6:15 7:10 9:15 13:2 38:6 40:20 42:4,22 45:21 46:24 49:1,4 54:25 55:2 57:21,23 60:12,15,21 61:5,6,7,8 70:5 75:1,11 77:21,22 78:1 83:17  
**impacts** 6:17 7:20 42:2,4 44:16,21,24 45:7,14,18,20,21,23,25 46:6,9 54:22 55:2 56:8,14,17,18,23 57:18 58:2,9 59:23,25 60:6,15,18,23 61:3  
**implementation** 45:8 46:3  
**implementing** 13:9  
**importance** 60:24  
**important** 32:18 34:6,7,8 35:13 47:20 61:1 62:19  
**impression** 78:22  
**impressive** 38:23  
**improved** 12:16 80:25 81:13,14  
**improvement** 81:25  
**improvements** 31:4 67:23 81:9,23 83:7  
**improving** 82:19

**in-lieu** 5:19 81:11  
**inability** 78:13  
**incentives** 74:19  
**incidentally** 32:15  
**include** 45:1 47:3 53:20  
**included** 43:1 46:10 71:14 73:5  
**includes** 5:13,14,19,24 45:14 62:8 78:19  
**including** 42:4 56:5  
**inclusion** 72:13  
**incorporated** 45:10 47:8  
**incorrect** 71:6  
**increase** 5:15 83:8  
**incremental** 77:21  
**indicative** 25:22  
**individual** 14:8 26:23 44:7,17 78:8  
**individually** 79:17  
**industry-recognized** 53:16  
**information** 41:22 43:8 47:14 53:8 57:10 68:22 69:3 70:21  
**informed** 42:15  
**infrastructure** 80:17  
**initial** 42:20,21  
**innovation** 19:1 26:18 28:3 34:1 37:3  
**innovations** 12:15,18 14:19  
**innovative** 15:21 32:4,8  
**innovator** 27:3 35:4,6,17 36:14  
**innovators** 26:24 34:13,17 35:11,19 36:13  
**input** 41:1 72:10  
**inside** 21:9  
**inspiration** 33:23 34:7  
**inspire** 14:16 32:20 33:16,

|  |  |  |  |
|--|--|--|--|
| 18   | <b>John</b> 11:18,22 15:3,12<br>22:8   | <b>large</b> 13:14 14:13 21:1<br>25:18 33:10 50:17   | <b>lighting</b> 29:20                            |
| <b>inspired</b> 34:2   | <b>John's</b> 29:24  | <b>larger</b> 34:15 35:1   | <b>lines</b> 5:20                                |
| <b>installation</b> 28:7   | <b>joined</b> 79:9   | <b>laser-cut</b> 23:25   | <b>Ling</b> 40:8 53:24                           |
| <b>installations</b> 33:10   | <b>Jones</b> 49:17 50:2,20 55:16   | <b>Laurel</b> 6:21   | <b>link</b> 30:2 82:7                            |
| <b>installed</b> 33:25   | <b>Jones'</b> 53:4 54:7  | <b>layer</b> 34:7,8  | <b>linked</b> 4:13                               |
| <b>instance</b> 16:4 78:13 80:10   | <b>judgment</b> 58:18,22 60:19   | <b>lead</b> 43:12  | <b>links</b> 30:9 82:6                           |
| <b>integral</b> 14:23  | <b>juice</b> 82:17   | <b>leader</b> 13:6   | <b>liquefaction</b> 50:11 55:17,<br>19,23        |
| <b>integrated</b> 5:8 26:16  | <b>junior</b> 36:11  | <b>leadership</b> 72:6   | <b>liquid</b> 12:13                              |
| <b>intend</b> 14:2   | <b>jurisdiction</b> 42:17 49:19  | <b>leading</b> 31:17   | <b>list</b> 81:6,7 82:4,7 83:6                   |
| <b>intended</b> 83:11  |  | <b>leads</b> 19:22 20:1  | <b>listed</b> 73:4 83:24                         |
| <b>interested</b> 48:13 82:9   | <hr/> <b>K</b> <hr/>   | <b>learn</b> 35:5 72:9   | <b>listening</b> 37:14                           |
| <b>interior</b> 5:20   | <b>key</b> 27:9 29:2   | <b>learning</b> 26:23  | <b>literally</b> 66:12                           |
| <b>interpreted</b> 74:16   | <b>keyboard</b> 39:16  | <b>leases</b> 76:14  | <b>live</b> 49:20 58:8                           |
| <b>intersection</b> 5:23 20:24<br>67:25 77:18,20 78:17,21,<br>23 79:1,13 | <b>kick</b> 38:19  | <b>leaving</b> 58:2  | <b>living</b> 33:9                               |
| <b>intersections</b> 68:7 78:4,5,<br>8,14 79:17 82:22                    | <b>kicked</b> 42:13  | <b>LEED</b> 24:9   | <b>LLC</b> 4:17                                  |
| <b>introduce</b> 32:6 49:17  | <b>kicking</b> 11:19   | <b>left</b> 19:16 30:7 35:15   | <b>load</b> 7:7 36:21 38:18                      |
| <b>introduction</b> 15:4   | <b>kids</b> 36:8,10  | <b>left-hand</b> 20:16   | <b>loading</b> 20:7,14 38:20 39:3                |
| <b>inventor</b> 12:10  | <b>kind</b> 13:11 22:16,23 23:2,<br>20 34:20 35:16 42:11<br>61:11 63:18 64:10 67:25<br>76:1 79:4 80:15 81:15 | <b>lens</b> 24:3 60:12   | <b>lobby</b> 19:7 22:8 29:21,22<br>30:25         |
| <b>involve</b> 68:3  | <b>kinds</b> 29:19 30:12 33:11<br>75:4   | <b>less-than-significant</b><br>46:2 60:1  | <b>located</b> 5:3,6 31:16                       |
| <b>involved</b> 64:23  | <b>kiosk</b> 35:2  | <b>letter</b> 48:1   | <b>location</b> 8:6 64:9                         |
| <b>irrelevant</b> 80:7   |  | <b>letting</b> 11:11   | <b>locations</b> 31:23                           |
| <b>irrigation</b> 24:22  | <hr/> <b>L</b> <hr/>   | <b>level</b> 5:6,15 8:6,21,23,24<br>9:7,11 12:6 14:9 19:22<br>44:5 46:2,15,22,24 64:4<br>77:15 79:4  | <b>lockable</b> 29:23                            |
| <b>issuance</b> 42:13  | <b>label</b> 8:18  | <b>levels</b> 5:7 19:14 20:2 53:22<br>55:8   | <b>long</b> 13:10 32:14 34:11<br>47:9 73:11 77:8 |
| <b>issue</b> 50:13 66:21 76:1  | <b>Labs</b> 12:14,20 13:6 15:8,<br>12 16:1 33:17   | <b>libraries</b> 33:11   | <b>longer</b> 39:4 69:13                         |
| <b>issues</b> 42:3 44:13,17,18<br>45:1 60:25 61:1                        | <b>lacking</b> 13:11   | <b>life</b> 4:23,25 8:20,23 12:7,9,<br>10,17 13:13,18 14:2,18,23<br>15:1,12,20 22:22 32:20<br>33:23 34:16 35:1 41:10<br>58:14,20 61:1 67:3,5 | <b>looked</b> 17:2,5 54:13 78:12                 |
| <b>item</b> 4:4,12,15 9:14 84:18,<br>19,20                               | <b>lag</b> 16:11 28:18   | <b>life-saving</b> 12:17 14:18   | <b>LOS</b> 67:11,23 77:17,24<br>78:3,12,19       |
| <b>items</b> 4:12 9:14 12:3  | <b>land</b> 10:10,12   | <b>life-sizes</b> 34:14  | <b>lose</b> 20:5                                 |
| <hr/> <b>J</b> <hr/>   | <b>landscape</b> 13:8 20:22<br>24:4,19,22 27:23 28:10<br>29:11,14 34:4 36:4                                  | <b>light</b> 15:18 23:13 25:10<br>26:6   | <b>lost</b> 66:6                                 |
| <b>January</b> 43:11   | <b>landscaping</b> 30:3,15 63:2  | <b>lighter</b> 23:20 30:7  | <b>lot</b> 69:9 74:13                            |
| <b>Jan</b> 40:8  | <b>lane</b> 27:14,16   |  | <b>lots</b> 29:16                                |
| <b>job</b> 31:7  | <b>language</b> 44:10  |  | <b>love</b> 37:15 66:16                          |
| <b>jobs</b> 14:15  |  |  | <b>lovely</b> 15:4 16:6 26:19                    |
|  |  |  | <b>low</b> 13:7 14:14 24:20 27:22<br>30:15 57:23 |

**lower** 13:2,3 19:16**lowered** 12:15**lowest** 46:23**LS** 37:18 56:10**LSB** 4:23 8:20**LTS/M** 60:5**lunch** 13:22

---

**M**

---

**machine** 34:20**made** 15:13 22:13 47:8  
76:13**main** 4:12 17:13 21:13  
22:20 29:4,6 37:11**maintaining** 14:8 46:13**major** 8:15**make** 4:6 24:24 32:9 34:14  
46:21 49:23 52:3,18 61:7  
69:8,12 70:15 79:6 81:13,  
18,23**makers** 41:21 42:7 56:5**makes** 57:11**making** 73:20 76:11,17**maladies** 78:20,24**man** 35:3 80:15**management** 28:8,23  
30:22 54:24 70:7**manager** 40:3,7**manner** 14:3**manufacturing** 64:23**map** 8:5**massive** 50:17**material** 22:20 68:20**materials** 5:24**matter** 55:5**matters** 44:5**maturing** 13:13 22:9**max** 9:9 41:11**maximum** 9:4**meandering** 26:15 27:2  
28:4 30:4,8,14 37:2**meaning** 32:21**measure** 74:15**measured** 14:3**measures** 41:24 44:25  
45:9,13 46:3,4 57:19,22  
71:15 74:10,17 75:4**mechanical** 24:23 54:10  
55:1**mechanically** 22:4**medium** 23:17**meeting** 7:11,19,23 9:12  
10:2 37:20 43:6,10 56:15  
64:21,22**meetings** 9:14**Mekkelson** 38:12,14,17  
39:11,19,22,24 48:8 53:10,  
11 54:13 56:20 60:4,9  
61:11 70:4,9,16,22**Mekkelson's** 48:25**members** 7:5 39:23 42:16**memory** 81:8**Menlo** 4:18 6:8,22 12:8,13,  
19 13:6,17,20,22 14:22,25  
15:7,11 16:1 31:7 33:17  
50:3 65:17 67:16 73:23,24  
74:8**MenloPark.org/****1350adamscourt.** 51:15**mention** 15:2 23:23 31:13**mentioned** 7:8 9:21 15:12  
22:9 23:19 27:2 30:15,23  
36:17 41:2 59:12 67:4  
72:13 83:20**mesh** 23:10**messaging** 76:13**messed** 4:6 11:6**metal** 22:15,16 23:8,19,20  
24:5**methodology** 53:25**middle** 9:24**miles** 45:15**Millbrae** 31:22**million** 56:13**millions** 12:20**mine** 15:2**minimum** 65:17**minor** 47:9**minute** 36:22**minutes** 49:18,24 76:1**missed** 52:11**mission** 32:20**mitigate** 75:11**mitigated** 46:1**mitigation** 41:24 44:25  
45:9,10,13,19 46:3 57:19,  
21,22 58:4 60:6 70:7 73:17**mitigations** 58:1 60:1**mix** 8:22 52:5**Mixed-use** 46:18**mode** 39:18**modes** 65:1**modularity** 20:25**modulation** 21:3 23:16**modules** 17:15 18:19 21:1**moment** 33:21 57:14**money** 13:22 80:20,23  
81:1 82:20 83:11,21**monitor** 45:12**monitoring** 45:11 71:12,  
23**months** 14:6 50:8**more-detailed** 29:25**Morgan** 33:8**mounds** 30:11**mouse** 39:14,17**move** 10:23 17:2,3 70:11  
74:25 78:25**moved** 59:8**moving** 11:24 37:18 50:15  
75:5**MU** 56:11**mullions** 23:22**multiple** 29:22 49:21  
64:23 69:3**municipal** 24:11**mute** 82:11

---

**N**

---

**Napa** 32:15**narrative** 35:4**natural** 24:3 27:23**nature** 47:10**navigate** 39:9**navigation** 39:15**necessarily** 72:15**nectarine** 16:23**needed** 71:1,5**neighbor** 25:20**neighborhood** 14:12**neighboring** 18:17**newer** 28:5 30:6**nice** 26:14 27:25 29:15  
30:11**nicotine** 12:11**noise** 6:13 45:2,16,21**non-tif** 68:7**nonetheless** 38:23**nonverbal** 35:12**NOP** 42:13,20 43:1,3,6,10**northern** 5:2**notched** 20:7**note** 20:3**noted** 75:22**Notice** 42:14,15



|   |   |  |  |
|---|---|--|--|
| <b>notified</b> 48:4  | <b>operation</b> 6:13   | <b>paperwork</b> 44:10   | <b>patient</b> 12:16   |
| <b>nox</b> 60:17  | <b>operational</b> 55:2   | <b>paragraphs</b> 69:4   | <b>patio</b> 21:7 23:25 30:9   |
| <b>number</b> 12:22 13:14 50:9,<br>10 61:25 62:5 65:16,18,19<br>83:8,19   | <b>opinions</b> 57:23   | <b>parallel</b> 18:15  | <b>pattern</b> 24:3  |
| <b>numbers</b> 70:17  | <b>opportunities</b> 29:17 77:3   | <b>parcel</b> 8:7  | <b>patterns</b> 13:5 53:13   |
| <b>nurture</b> 12:14  | <b>opportunity</b> 8:1 9:16,22<br>10:15 11:23 36:11 38:2,3<br>41:4 43:2,3 49:23 52:19 | <b>park</b> 4:18 6:8,22 12:8,14,<br>19 13:6,17,20 14:22,25<br>15:7,8,11 16:1 31:7 50:3<br>65:17 67:17 73:14,23,24<br>74:8 76:1   | <b>pause</b> 4:5 57:14   |
| <hr/> <b>O</b> <hr/>  | <b>orange</b> 15:15   | <b>Park's</b> 13:22  | <b>paving</b> 29:20  |
| <b>O'BRIEN</b> 5:1,21 8:7,14,17<br>15:15 16:13,16 18:4,12<br>20:15 25:16 26:20 31:6<br>35:21 36:23,25 37:1 62:25<br>63:3,5,12 71:21 80:11 | <b>order</b> 70:15  | <b>parking</b> 5:5,7 8:10 19:8,9,<br>10,11,12,14,16,19,21,22,<br>24 20:1,2,15 21:20,23<br>25:5,6 28:9,14 29:23,24<br>33:8 41:12 61:25 62:5,10,<br>16,18 63:7,13,17 65:11,16,<br>18,19 66:8,10,11,13,16,17,<br>22 72:13,15,24 73:9,13,20,<br>23,25 74:3,4,8,14 75:18,22<br>76:3,11,17,23 77:3 | <b>payment</b> 5:18  |
| <b>OB</b> 56:11   | <b>organizational</b> 49:20   | <b>part</b> 4:22 7:22 9:14 14:24<br>16:2,24 24:1 28:22 32:22<br>33:15 36:2 38:6 40:10<br>60:20 63:5,10,15 67:13,16,<br>18 72:17 73:16,24 76:18<br>77:25 81:15,18   | <b>peaks</b> 67:2  |
| <b>objectives</b> 33:14   | <b>original</b> 14:24   | <b>partially</b> 5:6   | <b>peaky</b> 67:1,5  |
| <b>obscure</b> 57:12  | <b>outage</b> 6:1   | <b>particulate</b> 55:5  | <b>pedestrian</b> 17:11 18:9<br>26:16 27:5   |
| <b>observing</b> 56:15  | <b>outcomes</b> 12:16   | <b>parties</b> 49:6 82:9   | <b>Peninsula</b> 24:15   |
| <b>occupancy</b> 64:5,10 65:15  | <b>outlined</b> 45:9  | <b>partner</b> 66:17   | <b>people</b> 11:7 17:4,7,9,11,23<br>21:12 26:19,22 29:15<br>33:16 51:8 66:1 69:23   |
| <b>occupant</b> 65:5  | <b>outreach</b> 13:25   | <b>parts</b> 40:15   | <b>percent</b> 5:12 9:2,3,8<br>24:14,21 25:6,11 26:1,10<br>34:15 46:16,17 58:8 65:4,<br>13,15,20 70:18,25 71:4,12<br>72:1 73:6 74:10 75:15 |
| <b>occupied</b> 22:12   | <b>outstanding</b> 84:11  | <b>pass</b> 59:18  | <b>perfect</b> 35:9  |
| <b>occur</b> 16:9,22  | <b>overbuilding</b> 56:1  | <b>past</b> 13:21 26:23 34:3,13,<br>17,22 36:12 71:11 76:7,12,<br>21   | <b>perforated</b> 22:2 23:8  |
| <b>occurred</b> 18:1  | <b>overlap</b> 64:24 75:23  | <b>patch</b> 12:11   | <b>performed</b> 7:21  |
| <b>occurring</b> 20:21  | <b>override</b> 61:7,8  | <b>path</b> 18:24 19:2 20:17<br>25:21 26:19 27:4 28:4 30:8<br>37:11  | <b>perimeter</b> 17:7  |
| <b>occurs</b> 21:5  | <b>overriding</b> 57:2,6  | <b>paths</b> 26:15 30:4  | <b>perimeters</b> 20:4   |
| <b>off-peak</b> 13:5  | <b>overrode</b> 57:1  | <b>pathway</b> 20:18 29:11 37:7  | <b>period</b> 9:24 10:6 41:3<br>43:10,15 47:2,6 51:10<br>53:18 78:24   |
| <b>offer</b> 72:9 80:11   | <b>overview</b> 10:16 11:12 38:7<br>40:14,16,19,25 41:7                               | <b>patience</b> 39:5   | <b>permanent</b> 33:10   |
| <b>offering</b> 74:18   | <hr/> <b>P</b> <hr/>  |  | <b>permit</b> 5:25   |
| <b>office</b> 8:22 13:3 67:5  | <b>p.m.</b> 6:22 9:25 48:6  |  | <b>permitted</b> 47:12   |
| <b>offsets</b> 24:16  | <b>Pacific</b> 16:1,14 17:22<br>22:24   |  | <b>perpendicular</b> 8:17  |
| <b>on-campus</b> 31:5   | <b>packages</b> 57:22   |  | <b>personal</b> 60:23  |
| <b>on-site</b> 24:16 28:4 30:23<br>54:20  | <b>packet</b> 30:1,2 73:4   |  | <b>perspective</b> 56:2 57:1<br>60:23 61:5   |
| <b>open</b> 17:10,18 18:1,11<br>22:5 24:2 25:7,10,14,21<br>26:1,4,7,9,10 27:4,25 29:9<br>30:5 32:2 34:12 41:13 49:8<br>52:16,20           | <b>Palo</b> 6:7 31:22 50:13   |  | <b>Pharmetrics</b> 12:10   |
| <b>operate</b> 5:25   | <b>Pam</b> 49:17,25 50:2  |  | <b>phasing</b> 54:21   |
| <b>operating</b> 74:4   | <b>pan-cancer</b> 12:13   |  | <b>physical</b> 6:10 42:2 44:21  |
|   | <b>pandemic</b> 50:8 66:25  |  | <b>picked</b> 69:25  |
|   | <b>panel</b> 22:16 23:8   |  | <b>picture</b> 18:6 28:2   |
|   | <b>panels</b> 21:8 22:2,14 23:12<br>24:1  |  |  |
|   | <b>paper</b> 44:11  |  |  |

**piece** 25:18  
**pipes** 29:8  
**Pistache** 30:16  
**place** 14:1 15:19 32:9  
 33:20 55:21  
**place-making** 15:21 16:8  
**placeholders** 34:25  
**places** 32:1 33:12  
**plan** 10:20 13:25 18:19  
 27:9 28:23 29:25 31:2  
 50:12 64:4 65:14 70:14  
 71:10,15,22 72:12 73:4,25  
 74:24 75:10  
**planned** 22:12 24:10 25:4  
 31:1  
**planning** 7:3 10:8 11:21  
 13:24 24:12 30:1,2 32:16  
 42:9 60:20  
**plans** 9:18 22:11 32:22  
**planted** 28:6  
**planter** 28:22  
**planters** 30:18  
**play** 17:16  
**plazas** 19:13  
**pleased** 11:24  
**plumbing** 24:10  
**podium** 5:6 19:12,21,24  
 28:9,14  
**point** 8:2 35:25 51:4 58:17  
 59:17 73:1  
**pointing** 27:9  
**points** 58:11  
**political** 49:19  
**pool** 16:6 18:7  
**pop-out** 21:6  
**population** 6:11 45:3,23  
 58:7  
**portal** 22:8,15 23:19  
**portals** 22:17  
**portion** 5:2 7:19,23 8:12  
 14:2 16:17 20:16 21:24  
 23:24 25:12 38:4 48:11  
 49:11 51:23 84:5  
**portions** 48:24  
**pose** 35:13 50:17  
**poses** 35:10  
**positive** 12:5 14:11  
**possibly** 56:5  
**posted** 51:17  
**pot** 80:20  
**potential** 6:9 41:23 44:21  
 55:3 57:18 73:16,18 75:23  
 83:24  
**potentially** 59:24 60:8  
 75:23  
**pounds-per-day** 60:17  
**power** 6:1 24:16  
**practice** 76:12  
**practices** 13:7  
**practicing** 35:10  
**pre-covid** 53:21 54:5  
**pre-pandemic** 66:25  
**precise** 70:17  
**preeminent** 15:1  
**prefer** 10:23  
**preparation** 24:10 39:25  
 42:14,15 47:16  
**prepare** 47:2  
**prepared** 6:6,9 25:19 40:9,  
 11 41:18 42:19 43:13 44:6  
**prescribed** 45:13  
**present** 10:15 11:12 15:5  
**presentation** 7:6,13,14,15  
 10:13,19 11:3,19 14:20  
 38:1,18,20 39:3,12,18  
 43:18 48:7,9 49:1,6 52:18,  
 20 71:18  
**presented** 41:2  
**presenting** 39:8  
**preserved** 18:23 20:4  
 27:22  
**preserving** 29:12  
**press** 49:12  
**pressing** 10:21 48:16,18  
**pretty** 27:18 34:21 51:17  
 71:2 79:18  
**previous** 49:5  
**previously** 41:2,14  
**prewired** 31:14  
**primarily** 25:17 37:20  
**primary** 17:17 19:3,10  
 23:5,12 41:19  
**prime** 83:11  
**prior** 10:7,16 44:14 64:21,  
 22  
**private** 24:1 25:10 41:12  
**problem** 7:2 15:10,25  
 50:17 75:24  
**proceed** 37:6  
**process** 40:19,22,25 41:6  
 42:11,13 43:5,12,22 44:12  
 47:1 55:21 56:19 68:12  
 77:25  
**professional** 60:20  
**program** 44:5,7 45:11  
 48:11 51:24 64:25 71:3  
 72:18 76:14 83:18  
**program-level** 6:4  
**programs** 13:9  
**progressive** 14:9  
**project** 4:22,24 5:9,19,21,  
 22,24 6:10,17 7:9,20,25  
 8:3,6,9,16,20 10:9,16,17  
 11:2,12 13:12 15:20 16:3,  
 12 17:1,12,21 18:10,12  
 24:13 32:24 35:8 37:18,20  
 38:5 40:1,3,7,16,24 41:7,9,  
 15,23 42:3,9,10,18 43:25  
 44:7,17,21 45:12,22 46:8,  
 12,13,17 47:17,18 49:5  
 52:13,21 53:19 54:5 56:24  
 57:17 58:6,13 59:3 60:16  
 61:22 62:20 63:11,15  
 64:22 72:6 75:10 76:19  
 77:19,22 78:4,6,7,17,18  
 79:2,14,15,16 81:12,17,21  
 82:7 83:3  
**project-specific** 46:4  
**projects** 13:3 15:14 32:25  
 33:13,15 50:14 56:11  
 68:25 83:1,2,14,19,22  
**prominently** 51:17  
**promised** 4:5  
**prompt** 53:3  
**promulgated** 54:23  
**pronounce** 38:13  
**properties** 4:17 8:22,24,  
 25 15:18 76:23  
**property** 12:19 14:13  
 16:12,18 18:13,14,17 20:8  
 21:16 22:25 23:9 26:4  
 27:3,10,25 29:1,12 30:6  
**proposal** 5:13,14 9:19,20  
 81:18  
**propose** 13:12 66:11  
**proposed** 5:3,5,10,11  
 6:10,17 12:4 40:24 42:18  
 63:8,16 76:7  
**proposes** 41:9  
**proposing** 5:18 75:11  
**pros** 69:7  
**protected** 28:15  
**protection** 80:12  
**provide** 40:25 41:4 43:4,  
 17 54:19 68:23  
**provided** 5:7 54:17 62:23  
**provision** 9:6,10  
**public** 4:3,16,19 7:10,12,  
 15,18 8:1 9:13,16,22,23  
 10:22,24 11:25 12:6 14:11,  
 16 17:9,18 18:1,10,24  
 20:13 25:7,14,16 26:1,5,7,  
 9,16 27:1 28:4 29:7 30:5,  
 13,19 31:20 34:6,9 35:16  
 37:2,4 38:11 39:24 41:1,3,  
 13,21 42:16 43:1,2,8,9,14,  
 15,19 47:1,2,4,23 48:12,  
 17,22,24 49:8,11 50:25  
 51:5,18,23 52:20 55:18  
 56:4,9 57:13 59:1 61:1

70:13 80:25  
**publically-accessible** 18:11 32:2  
**publicly** 17:17 24:2 25:20  
**publicly-accessible** 20:18 27:4 29:9  
**published** 10:11 68:5  
**pull** 83:5  
**punitive** 74:15,16  
**purchasing** 24:15  
**purpose** 9:12 40:15,23 41:20  
**purposes** 41:20 70:18 74:23  
**purview** 42:5 52:2  
**push** 33:4 39:13  
**pushing** 33:3,4  
**put** 23:3 69:6 71:2  
**puts** 67:8  
**putting** 29:19 64:3

---

**Q**

---

**QR** 35:4  
**qualified** 14:22 31:13  
**qualitative** 60:19  
**quality** 6:12 14:15 41:19 45:2,15,21 50:7 53:4,7,22 54:8,24 55:2,6,11 58:14,20 60:15 61:1  
**quantify** 78:17  
**question** 48:16 49:18 53:4 56:3 59:23 60:4,9 61:9,12, 21 64:5 65:6,8 66:2 70:4 72:22 73:9 74:6 75:20 76:9 77:12 79:5,11,21,22 80:6 82:10,19,24  
**questions** 7:17 8:3 9:18 10:21,22,25 36:1,18 37:21, 22 38:4,10 41:5 48:18 52:1,7 53:2 58:20 61:13, 19,23 69:21 70:2 72:12 77:8 80:1 84:3,11,14,16

**quick** 38:10,25 40:13 41:7  
**quately** 12:8  
**quo** 46:13

---

**R**

---

**R&d** 4:21 5:3,5 22:12  
**racks** 29:21,22  
**railings** 29:20  
**raise** 49:12,14 50:25 58:19  
**raising** 48:2,14  
**ramp** 19:21,24 21:19  
**ramps** 28:16  
**range** 65:3 71:3,13  
**rank** 60:7,10  
**rate** 9:19  
**ratio** 5:12 9:2 63:17,19  
**Reach** 24:18  
**read** 62:9  
**reading** 56:15 68:20 69:13 77:17  
**real** 22:21,22  
**reality** 66:19  
**realize** 59:11 64:3 65:21  
**rear** 16:17 17:20 20:8 22:25 23:9,24  
**reason** 38:24 47:21 56:16 74:7  
**reassure** 55:18  
**receive** 4:19 41:1 43:20 47:4,5,22  
**received** 7:16 12:4 48:6  
**receiving** 51:9  
**recent** 34:22  
**recently** 16:5 33:25 34:21  
**recirculation** 47:14  
**recognize** 52:9,24 53:13 59:10 69:25 77:11  
**recollection** 78:12

**recommend** 42:8 57:19  
**recommended** 7:11,13 10:14  
**recommends** 44:24  
**recruit** 36:6  
**rectangle** 8:8,11  
**recycled** 24:11  
**red** 21:7 25:22 32:3 35:3  
**Redbud** 30:17  
**reddish-orange** 8:8  
**redeveloped** 16:5  
**reduce** 24:25 41:24 44:10, 24 46:9 57:21 64:4 65:9,19 66:21 68:20 70:14 72:15  
**reduced** 24:21 57:24 59:25  
**reduces** 72:16  
**reducing** 65:24  
**reduction** 25:2 46:16 70:25 73:1,6,13 74:10 75:15  
**reference** 44:15 71:20  
**referenced** 71:17  
**refers** 43:7 44:4,18  
**refined** 22:15  
**reflect** 52:6  
**region** 76:4  
**reintegrated** 63:7  
**related** 45:14,19,22 48:25 53:7 69:21 75:17,18 79:23 80:2 81:14  
**relates** 77:14 79:23  
**relation** 73:12  
**relationship** 27:11 56:6 73:19  
**release** 6:18  
**released** 10:6 43:14  
**releasing** 43:5  
**relevant** 42:3 75:5 80:7

**rely** 74:24  
**remain** 5:4  
**reminder** 39:7 48:5 49:10, 17 50:24  
**remove** 78:24  
**removed** 27:23 29:2 63:1, 6  
**removing** 16:21  
**rendering** 21:14  
**rendition** 20:25  
**renewable** 24:14  
**renowned** 25:23 32:13  
**repetitive** 44:13  
**replaced** 29:5,6  
**report** 4:14,16 6:15 7:10 9:15 29:5 49:2,4 62:6,12 82:5  
**reported** 78:15  
**reporting** 45:11  
**reports** 68:20  
**represents** 12:6  
**request** 5:14,25  
**requested** 7:24  
**require** 9:5,10  
**required** 13:10 46:7,14,21 47:15 60:11 61:7 63:4,5,20  
**requirement** 26:1 60:13  
**requirements** 25:9  
**research** 4:20  
**resident** 50:2  
**residents** 14:17 58:15  
**resources** 42:17  
**respect** 54:15  
**respond** 10:4 51:13 55:22  
**response** 53:4  
**responses** 47:3 55:14  
**responsible** 80:19  
**rest** 75:16

|  |   |  |  |
|--|---|--|--|
| <b>restaurant</b> 31:5   | <b>sample</b> 23:11   | <b>senior</b> 79:8 83:16   | 65:11  |
| <b>restroom</b> 31:1   | <b>samples</b> 22:20  | <b>sense</b> 33:19 34:25 57:11<br>64:15 67:25                    | <b>shuttles</b> 71:17 74:18 83:9   |
| <b>result</b> 13:23 47:7,13  | <b>San</b> 31:23  | <b>sentiment</b> 66:3  | <b>side</b> 8:10 18:13 19:20<br>21:25 23:8,24 27:13 28:19,<br>20 29:10 30:5,7  |
| <b>resulted</b> 46:6   | <b>Sandmeier</b> 4:5,7 6:25   | <b>separate</b> 59:2 78:2  | <b>sidewalk</b> 26:5 27:1,17,18<br>28:7 30:14,19 37:2  |
| <b>retain</b> 16:20 17:6   | <b>satisfies</b> 79:21  | <b>series</b> 41:12  | <b>sign</b> 80:12  |
| <b>retaining</b> 28:24   | <b>scale</b> 17:11 33:10  | <b>served</b> 6:4 20:14  | <b>significance</b> 60:13 74:11  |
| <b>retrofit</b> 16:14  | <b>school</b> 36:9,11,12  | <b>service</b> 17:20,24 20:7,9,11<br>31:20 77:15 83:8            | <b>significant</b> 6:16 41:22,25<br>44:16,22,24 45:8,17,19,24,<br>25 46:6,9 56:8,14,17,23<br>57:18,25 58:2,3 59:24<br>60:6,18 61:5,6 66:8 70:5,<br>11,12,15 71:17 75:1,6                   |
| <b>retrofits</b> 13:8  | <b>science</b> 8:23 12:7,9,10,17<br>13:13,18 14:2,18,23 15:1,<br>21 16:8 26:18,24 28:3 32:8<br>33:15,19 | <b>session</b> 7:24 9:17 52:5                                    | <b>significantly</b> 13:15 64:19   |
| <b>return</b> 10:11  | <b>sciences</b> 4:23,25 8:21<br>15:12,20 19:1 33:23 41:10<br>67:3,5                                     | <b>set</b> 22:17 28:12   | <b>Silva</b> 28:7  |
| <b>revenue</b> 14:13,14  | <b>scientific</b> 14:17   | <b>Settlement</b> 6:6  | <b>similar</b> 22:24 23:21   |
| <b>reverse</b> 26:21   | <b>scientist</b> 25:23 27:5   | <b>severe</b> 56:24  | <b>similarly-sized</b> 13:2  |
| <b>review</b> 10:4,6 38:6 40:19<br>43:3,10,15 47:2,6 51:6,18<br>58:16,20 81:22     | <b>scientists</b> 13:5 32:4   | <b>shades</b> 23:23  | <b>simply</b> 44:15 80:12  |
| <b>reviewed</b> 43:13  | <b>scoping</b> 43:6,7,10,12,13  | <b>Shaffer</b> 51:3,4,11 57:14,16<br>58:5                        | <b>simultaneous</b> 14:11  |
| <b>reviewing</b> 62:6  | <b>screen</b> 21:23 22:21 24:5<br>39:18 49:13 51:1  | <b>shape</b> 28:14   | <b>single</b> 4:13 64:4,10 65:5,<br>15   |
| <b>Rides</b> 31:8  | <b>screened</b> 21:8  | <b>share</b> 31:8,12 33:9 35:18<br>36:16 49:18 71:16,17<br>74:19 | <b>site</b> 4:24 5:2,4,9,12,21,22<br>6:17,18 8:9,16 9:5 15:24<br>16:17 17:3,5,8,14,23,25<br>18:18 20:16 24:12 25:6,11,<br>12 26:2,3,10 46:14 62:21,<br>24 63:9 66:14 71:22 73:18<br>78:4,6 |
| <b>Riggs</b> 52:25 53:1 54:6<br>55:13 57:11 58:5,18,25<br>59:5,11,17 61:2,20 66:23 | <b>screens</b> 21:4   | <b>shared</b> 17:21 76:11 77:3                                   | <b>site-specific</b> 33:10   |
| <b>right-hand</b> 27:13  | <b>screwed</b> 11:6   | <b>shares</b> 16:13  | <b>situation</b> 62:18   |
| <b>rise</b> 15:22  | <b>sculpted</b> 17:15   | <b>sharing</b> 76:19   | <b>size</b> 35:1   |
| <b>rises</b> 27:20   | <b>sculpture</b> 20:19 25:21<br>27:5 36:24 37:11  | <b>shelter</b> 33:25 80:11,13<br>81:15                           | <b>slate</b> 57:19   |
| <b>risk</b> 55:25  | <b>sculptures</b> 18:25 25:23<br>26:23 29:18 30:20 32:3,8<br>37:5,9                                     | <b>shelters</b> 83:9,23  | <b>slide</b> 33:22 40:5 45:5<br>47:19,20   |
| <b>risky</b> 60:7  | <b>searching</b> 82:3   | <b>shifts</b> 64:24  | <b>slides</b> 39:11  |
| <b>road</b> 5:23 8:14 68:3,9 73:2  | <b>seating</b> 20:18 26:16 28:5<br>29:11,16,17 35:16 37:4,9   | <b>short</b> 13:17 33:6  | <b>slim</b> 68:19  |
| <b>roads</b> 8:13,15   | <b>seconds</b> 39:4 78:3  | <b>short-term</b> 30:24  | <b>small</b> 28:2,24   |
| <b>robust</b> 57:21 71:3   | <b>section</b> 6:18 27:7,8,10<br>28:20 45:5 51:17   | <b>shorter</b> 8:11  | <b>smaller</b> 22:10   |
| <b>rolling</b> 62:18   | <b>security</b> 23:10   | <b>show</b> 22:22 25:8 79:13                                     | <b>Smith</b> 7:1,2 10:18 11:8,11,<br>14 39:2,15 47:25 51:12,14,<br>19 62:17 64:1 68:15,16,17   |
| <b>roof</b> 13:14 21:4 24:5,17,23  | <b>seed</b> 16:24   | <b>showed</b> 28:16  |  |
| <b>rooms</b> 29:24 30:24 31:2  | <b>segregation</b> 27:24  | <b>showers</b> 31:2  |  |
| <b>router</b> 34:20  | <b>selected</b> 34:13   | <b>showing</b> 32:1 71:25  |  |
| <b>running</b> 82:16   | <b>send</b> 48:1  | <b>shown</b> 15:14 18:16 25:15<br>30:5 48:1                      |  |
| <b>runs</b> 8:17 23:13   |   | <b>shows</b> 8:5 30:2  |  |
| <hr/>  |   | <b>shrubs</b> 30:17  |  |
| <b>S</b>   |   | <b>shuttle</b> 13:9 31:20 64:25                                  |  |
| <hr/>  |   |  |  |
| <b>sales</b> 12:22,23,24 14:13   |   |  |  |

|  |  |  |   |
|--|--|--|---|
| 69:10,15 70:20,23 71:19<br>72:23 77:14,23 78:10 79:6<br>81:3,4,5 82:8,23,24 83:20<br>84:9,13                                 | <b>spots</b> 23:5 35:9 62:1,5<br>65:18,19,21,22  | <b>stops</b> 80:6 81:14 82:19<br>83:9                              | <b>supposed</b> 11:4,5,8 72:17  |
| <b>social</b> 42:4   | <b>square</b> 4:21 5:11 13:4<br>16:15 26:8 56:12,13 63:18,<br>20                                     | <b>storage</b> 30:23   | <b>surface</b> 8:10 62:10 63:14   |
| <b>socioeconomic</b> 14:15   | <b>square-foot</b> 4:25  | <b>stories</b> 16:16 21:22 22:11                                   | <b>surrounded</b> 16:19   |
| <b>soil</b> 55:22  | <b>staff</b> 4:13 7:7 10:3,13<br>11:25 39:7 51:6 52:2 62:6,<br>12,14 67:23 68:19 77:13<br>82:5 84:15 | <b>storm</b> 28:8,22 29:3  | <b>surrounding</b> 8:22   |
| <b>solar</b> 24:16   | <b>stair</b> 21:21   | <b>story</b> 37:6,15   | <b>Susan</b> 14:21 32:11 35:15<br>37:17,19  |
| <b>solution</b> 40:12  | <b>stairs</b> 21:12,13 22:7  | <b>stream</b> 14:18  | <b>suspecting</b> 58:15   |
| <b>sort</b> 8:11,15,17 9:24 64:14<br>74:15,21 76:24  | <b>stairway</b> 19:4   | <b>street</b> 6:22 18:20 19:18<br>20:9 27:12,24 30:13 37:2<br>80:9 | <b>sustainable</b> 13:7 14:14<br>24:7   |
| <b>sounds</b> 76:20 77:6   | <b>stairways</b> 21:11 23:21   | <b>streets</b> 21:2  | <b>swimming</b> 16:6 18:7   |
| <b>source</b> 83:24  | <b>stairwell</b> 33:7  | <b>structure</b> 63:7  | <b>switching</b> 13:7   |
| <b>south</b> 8:8 23:24   | <b>stakeholders</b> 42:16 43:8   | <b>students</b> 36:6,11,12   | <b>systems</b> 24:22,23 54:10   |
| <b>southwest</b> 5:22  | <b>stand</b> 17:18 18:21   | <b>studied</b> 45:1 50:18 77:24<br>79:13,18                        | <hr/> <b>T</b> <hr/>  |
| <b>space</b> 17:18 18:1,11 19:7<br>22:12 23:25 24:1,2 25:7,<br>10,14,21 26:1,4,7,9,11,13,<br>14,25 29:10 30:5 32:2<br>46:19  | <b>standard</b> 27:18  | <b>study</b> 7:24 9:17 42:20,21<br>43:25 78:8 79:12                | <b>T-SHIRT</b> 35:3   |
| <b>spaces</b> 17:10 19:8 25:5<br>30:12,24 41:12,13 62:23<br>63:3,4,6,9,10,13,14,16,18,<br>19,24 72:13,15,21 73:9,13<br>76:18 | <b>standing</b> 9:1 21:16  | <b>stuff</b> 38:23   | <b>table</b> 79:18  |
| <b>spare</b> 16:23   | <b>standpoint</b> 75:5   | <b>subject</b> 71:22   | <b>tackle</b> 53:10   |
| <b>speak</b> 11:23 25:24 32:7<br>48:4 49:23 52:4 59:7,9  | <b>stands</b> 8:20   | <b>submit</b> 47:24  | <b>takes</b> 79:18  |
| <b>speaker</b> 49:23   | <b>start</b> 32:2 42:12 48:13 52:9<br>77:23  | <b>submitted</b> 6:21 10:3   | <b>taking</b> 13:19 20:4 39:3   |
| <b>speakers</b> 49:21  | <b>started</b> 17:1 18:1 31:19<br>42:12  | <b>subsequent</b> 44:6 57:8  | <b>talented</b> 14:21   |
| <b>special</b> 34:20   | <b>starting</b> 27:13 36:23  | <b>subset</b> 43:24  | <b>talk</b> 18:25 24:7 35:11 40:21<br>43:17,21 49:4 74:12   |
| <b>specialize</b> 33:9   | <b>state</b> 49:19   | <b>substantial</b> 47:14   | <b>talking</b> 15:14,16 25:7<br>30:22 35:16 71:16 74:3  |
| <b>specific</b> 52:12 53:25 64:15<br>71:11,15 77:15,18,19,21<br>81:17 82:6   | <b>statement</b> 57:2,6  | <b>substantially</b> 13:2,3  | <b>tame</b> 58:6  |
| <b>specifically</b> 45:15 52:15<br>54:8 77:17 78:16 83:2,10  | <b>states</b> 33:13  | <b>substantive</b> 10:5  | <b>tan</b> 18:24 19:15  |
| <b>specificity</b> 79:4,22   | <b>Station</b> 78:14   | <b>successful</b> 65:2 70:10,14<br>72:17                           | <b>target</b> 24:9  |
| <b>spill</b> 78:5  | <b>stations</b> 25:4 31:14,15,16   | <b>sufficient</b> 57:20 75:11                                      | <b>Tarlton</b> 4:17 11:18,22<br>14:22 15:18 16:19 31:19<br>32:23 37:17,25 38:3 64:14,<br>18 66:2 67:4 72:7 74:2<br>75:14,21 76:9 77:1 |
| <b>spirit</b> 32:20  | <b>statistical</b> 78:15   | <b>sufficiently</b> 13:14  | <b>Tarlton's</b> 24:13  |
| <b>spoken</b> 59:7   | <b>status</b> 46:13  | <b>summarize</b> 40:24   | <b>Tarltons</b> 31:6  |
| <b>sponsor</b> 59:3  | <b>step</b> 17:17 21:17  | <b>summarized</b> 68:11 75:7                                       | <b>tax</b> 12:19,22,23,24 14:13   |
|  | <b>stepping</b> 18:19 21:1 23:16   | <b>sun</b> 17:2,3 23:23  | <b>TDM</b> 70:11,14 71:3,10,22,<br>25 72:12,14,18,25 73:4,24<br>74:24 75:10 76:14   |
|  | <b>steps</b> 40:21 41:1,5 43:21<br>46:25   | <b>super</b> 35:13 72:3 73:8                                       | <b>teachers</b> 36:7  |
|  | <b>stick</b> 74:20   | <b>supplanted</b> 12:12  | <b>team</b> 14:24 32:23 35:10   |
|  | <b>stop</b> 13:21 69:17 80:10  | <b>supply</b> 65:16  |   |
|  |  | <b>support</b> 81:13   |   |
|  |  | <b>supported</b> 58:1  |   |

|   |  |   |   |  |
|---|--|---|---|--|
| 36:3 37:23 49:7 72:7 75:14  | <b>tease</b> 61:21 77:18   | <b>tilt-ups</b> 15:23   | 83:7,13,16,17   | <b>underneath</b> 29:8   |
| <b>technical</b> 15:25  | <b>techniques</b> 53:16  | <b>time</b> 10:15 29:2 31:3 32:14<br>49:16 50:23 51:21 52:23<br>53:14 61:14 72:5 78:24<br>82:9                          | <b>transportation-related</b><br>81:9,25  | <b>underside</b> 23:13,14  |
| <b>technology</b> 34:18,21  | <b>ten</b> 75:25   | <b>tinted</b> 22:19,23  | <b>trash</b> 20:10  | <b>understand</b> 35:19 61:24<br>62:1,15 65:9,17 68:5 70:13<br>74:5,22 77:16                                     |
| <b>tenant</b> 31:3 64:18,19,20<br>77:4                                | <b>tenants</b> 13:20 16:7 21:9<br>31:9,13,24 64:22 66:12<br>75:23 76:4,11,13 | <b>tissue</b> 18:3  | <b>traveled</b> 45:15   | <b>Understood</b> 69:15  |
| <b>term</b> 68:2,7  | <b>terminus</b> 27:5   | <b>today</b> 66:19  | <b>tree</b> 16:23   | <b>undeveloped</b> 5:1 8:12  |
| <b>terms</b> 6:6 35:8 54:19 64:25<br>83:12 84:13                      | <b>terrific</b> 68:5 72:11   | <b>token</b> 55:17 59:12  | <b>trees</b> 16:19,21,22 17:6,19<br>18:21 20:3,6 27:21 28:5,6,<br>7 29:12 30:5,7,16 | <b>Union</b> 31:21   |
| <b>there'll</b> 35:3  | <b>thing</b> 29:2 34:20 56:1<br>81:15  | <b>told</b> 52:17   | <b>triangles</b> 20:21  | <b>unique</b> 14:10 26:3 31:19<br>44:17 56:23  |
| <b>things</b> 25:3 26:3 31:19<br>32:18 44:11 55:4 62:17<br>74:19 84:2 | <b>thinking</b> 16:10 65:12<br>69:23   | <b>Tom</b> 47:25 48:1   | <b>trim</b> 66:22   | <b>uniquely</b> 14:22  |
| <b>Thomas</b> 59:10,14,19,21<br>61:10                                 | <b>thought</b> 34:11 65:18 69:7  | <b>Tom's</b> 29:5   | <b>trip</b> 73:20   | <b>universities</b> 33:11  |
| <b>thoughts</b> 67:9  | <b>thought</b> 34:11 65:18 69:7  | <b>tonight</b> 4:12 11:23 15:13,<br>16 38:24 40:2,14,23 41:14<br>43:19 47:4,22 48:2,23<br>49:12 84:5                    | <b>tripped</b> 60:22  | <b>University</b> 8:14   |
| <b>thousand</b> 13:4 63:18,20   | <b>thread</b> 69:24  | <b>tonight's</b> 47:1   | <b>true</b> 44:12   | <b>unsure</b> 62:4   |
| <b>threshold</b> 60:12,19 70:17<br>71:1,5 74:11                       | <b>thresholds</b> 54:23 60:14,<br>16   | <b>top</b> 12:24 16:24 24:17<br>26:15 28:10   | <b>tucked</b> 17:20 19:10,15,17<br>20:8,11  | <b>update</b> 14:2,9   |
| <b>thrown</b> 58:4  | <b>throw</b> 58:4  | <b>topic</b> 78:2 80:8  | <b>turn</b> 4:3,11 6:24 10:20<br>11:1,19 14:20 48:4,12,22<br>84:9                   | <b>upgrades</b> 5:19   |
| <b>tier</b> 6:4   | <b>tiered</b> 44:9   | <b>topics</b> 42:24 43:24   | <b>Turner</b> 49:9,10 50:21,22<br>51:12,20,21                                       | <b>upper</b> 20:1 27:8   |
| <b>tiering</b> 44:4,13  | <b>tiers</b> 44:2  | <b>total</b> 5:9,11 25:5,6 26:10<br>30:25 52:18 61:24,25 62:3,<br>5 63:9  | <b>turning</b> 38:8   | <b>uptake</b> 64:25  |
| <b>TIF</b> 68:1,7 82:20 83:2,12,<br>14,19,21                          | <b>thought</b> 34:11 65:18 69:7  | <b>totally</b> 80:7   | <b>two-foot</b> 27:15   | <b>usage</b> 76:23   |
|   | <b>thoughts</b> 67:9   | <b>touched</b> 40:6 61:2 70:1   | <b>two-story</b> 4:25 15:23 22:8  | <b>utilities</b> 6:14 45:3,23  |
|   | <b>thousand</b> 13:4 63:18,20  | <b>touches</b> 71:16  | <b>twofold</b> 41:20  | <b>utility</b> 29:7  |
|   | <b>thread</b> 69:24  | <b>tough</b> 38:22  | <b>type</b> 44:1,8  | <b>utilizing</b> 70:6  |
|   | <b>threshold</b> 60:12,19 70:17<br>71:1,5 74:11                              | <b>tour</b> 37:3  | <b>typical</b> 12:19 67:5   |  |
|   | <b>thresholds</b> 54:23 60:14,<br>16   | <b>towers</b> 24:24 25:1  |   | <hr/> <b>V</b> <hr/>   |
|   | <b>thrown</b> 58:4   | <b>toxic</b> 6:18   |   | <b>vacant</b> 5:4 8:10,12 16:17  |
|   | <b>tier</b> 6:4  | <b>traffic</b> 6:13 13:2 40:8 50:8<br>53:13,19,21 55:8 73:17<br>79:14,16  | <hr/> <b>U</b> <hr/>  | <b>variety</b> 30:12   |
|   | <b>tiered</b> 44:9   | <b>transformers</b> 20:12   | <b>ultimately</b> 42:7 56:4   | <b>vary</b> 53:19 64:19  |
|   | <b>tiering</b> 44:4,13   | <b>transit</b> 65:1 66:18 80:25<br>81:14 83:7   | <b>umbrellas</b> 21:7   | <b>vehicle</b> 31:17 45:15 54:16<br>64:10 65:5,15  |
|   | <b>tiers</b> 44:2  | <b>transition</b> 38:3  | <b>un-mute</b> 49:25  | <b>vehicles</b> 64:5   |
|   | <b>TIF</b> 68:1,7 82:20 83:2,12,<br>14,19,21                                 | <b>transportation</b> 6:12 30:22<br>31:21 40:9 45:3,14 54:1,3,<br>4 55:7,10 61:23 64:3 70:4,<br>5,6 75:17 77:24 79:8,12 | <b>unanimously</b> 12:4   | <b>ventilated</b> 22:4   |
|   |  |   | <b>unavoidable</b> 6:16 45:25<br>46:6 56:23 58:2                                    | <b>version</b> 33:6  |
|   |  |   | <b>underground</b> 19:11,19,22<br>21:20 22:3 28:9                                   | <b>versus</b> 61:22 68:1,2   |
|   |  |   | <b>underlying</b> 56:7  | <b>vertical</b> 21:3   |
|   |  |   |   | <b>vibration</b> 6:14  |
|   |  |   |   | <b>vice</b> 4:8 7:4 39:23 50:5<br>61:15,17 62:22 63:22 64:2,<br>17 65:7 66:20 67:18,21<br>69:1,12,17,20 82:13,16 |

83:25  
**vicinity** 8:16  
**video** 11:20  
**view** 20:23 39:19 80:9  
**viewing** 51:5  
**views** 13:15 56:9  
**virtually** 66:4  
**vis** 36:6,7  
**vision** 76:9 77:2  
**visit** 32:9  
**visitor** 19:8 66:15  
**visitors** 65:22  
**VMT** 45:20 71:1 72:16  
 73:10,13,21 75:11

---

**W**


---

**wait** 37:16  
**walk** 26:18 27:3 28:3  
 30:13,14 32:8 36:25 37:3  
 40:18  
**walking** 28:3  
**walkthrough** 38:25 40:13  
**walkway** 26:17  
**wall** 27:22 28:24  
**wander** 26:20  
**wanted** 17:9 43:4 77:16  
**water** 5:20 13:7 24:11,19,  
 20,21,25 25:1 28:8,22  
 29:4,6 30:15  
**wavy** 24:3  
**ways** 44:24 46:8 65:25  
 70:13 80:8  
**web** 51:17  
**website** 35:5 51:7,8,15  
**weights** 61:4  
**welcoming** 22:7  
**WELO** 24:20  
**west** 18:13,14 25:20

**western** 21:21 27:3 28:20  
 29:10 30:17  
**white** 22:14 23:3  
**wholistic** 34:5  
**wide** 18:20  
**widening** 68:3,9  
**Willow** 5:23 8:14 15:15  
 80:10  
**wind** 17:3 37:10  
**winds** 18:13 20:17  
**wire** 23:10  
**withhold** 75:16  
**woman** 28:2  
**wonderful** 31:7  
**wondering** 33:24 60:3  
 62:7,13 65:12,24 82:18

**word** 19:5 51:16  
**work** 12:1 32:18 50:4 69:6,  
 8 72:6 82:1  
**worked** 24:24 35:8  
**workers** 54:20 58:7  
**working** 16:8 28:25 29:3  
**works** 23:1 31:24  
**world** 32:21  
**world-changing** 12:9  
**world-renowned** 32:7  
**worries** 39:6  
**wraps** 18:11  
**write** 44:11  
**written** 6:20 10:1,3,11 47:5  
 51:10  
**wrong** 30:21  
**wrote** 36:9

---

**Y**


---

**ya** 32:16  
**yard** 20:10  
**year** 9:25 50:8

**years** 12:5,9,24,25 13:20,  
 23 14:1,5 31:20 32:23 35:8  
 53:9  
**yellow** 15:18 36:8  
**young** 35:3  
**younger** 28:6

---

**Z**


---

**zip** 31:9  
**zone** 17:21,24 56:10,11  
**zones** 17:20  
**zoning** 8:20 18:16  
**Zoom** 48:3 49:14



# Housing and Planning Commissions



## SPECIAL JOINT MEETING DRAFT MINUTES

**Date:** 5/16/2022  
**Time:** 7:00 p.m.  
**Location:** Zoom

### A. Call To Order

Housing Commission Chair Lauren Bigelow called the joint meeting to order at 7:05 p.m.

### B. Roll Call

#### Housing Commission

Present: Lauren Bigelow (Chair), Jackelyn Campos, Heather Leitch, Nevada Merriman, John Pimentel, Adriana Walker

Absent: Chelsea Nguyen

#### Planning Commission

Present: Andrew Barnes, Chris DeCardy (Chair), Linh Dan Do, Cynthia Harris (Vice Chair), David Thomas, Henry Riggs, Michele Tate

Staff: Calvin Chan, Senior Planner; Deanna Chow, Assistant Community Development Director; Nira Doherty, City Attorney; Mike Noce, Acting Housing Manager; Tom Smith, Acting Principal Planner

Senior Planner Calvin Chan provided instructions on participating in the virtual meeting.

### C. Reports and Announcements

Assistant Community Development Director Deanna Chow thanked the two commissions for meeting jointly.

### D. Regular Business

#### D1. Public Review Draft City of Menlo Park General Plan Sixth Cycle 2023-2031 Housing Element Study Session:

The Planning Commission and Housing Commission will conduct a study session to review and provide comments for the Public Review Draft City of Menlo Park General Plan Sixth Cycle 2023-2031 Housing Element, in preparation for transmittal to the California Department of Housing and Community Development (HCD) for required initial review of the Draft Housing Element. No formal action to approve the updated Housing Element or any zoning amendments is proposed at the May 16, 2022 meeting. (Staff Report #22-025-PC)

Consultant Presentation: Asher Kohn, M-Group, presented on the outreach, housing element structure and content, site inventory and analysis, goals, policies and programs and timeline. He

said the community outreach included four city council meeting, five housing commission and planning commission meetings, a citywide survey, community meetings, popup events, mailers, focus groups, and social meetings. He said community feedback included concerns about displacement, that affordable housing would be actually be built, that housing included supportive services for special needs population, that there was wide range of housing options from ADUs to high density near transit. He said the Housing Element document had 11 chapters and appendices and he reviewed each chapter title.

Mr. Kohn said in the chapter on the 5th Cycle Housing Element Review, they evaluated the accomplishments of the 2015-2023 Housing Element and identified policy and program changes from the 5<sup>th</sup> cycle for the 6<sup>th</sup> cycle, 2023 to 2031. He said the chapter "Housing Conditions and Trends" looked at the housing data and forecasts. He referred to "Site Inventory and Analysis" and reviewed 6<sup>th</sup> Cycle Regional Housing Needs Allocation (RHNA). He said the count included pipeline projects for housing developments that were underway and ADU projections to see what was needed. He said that there were with those enough units to meet above moderate needs allocation. He said the majority of pipeline projects were located in Council District 1 so their first focus was shifting sites throughout Council Districts 2 through 5. He said the city published its criteria for sites that could be developed with housing for lower income households and included parcels were .5 to 10 acres in size and located near resources and available infrastructure. He said they did a fair housing screening to look at proximity to resources and presented a slide that indicated proximity for food access as a 15 minute walk distance to a grocery store. He showed next proximity to transit including SamTrans buses and Caltrain. He showed access to parks and open space within 15-minute walking distance. He said using 2020 data in commercial areas that they mapped proximity to major employers. He showed health care access proximity and finally schools

Brittany Bendix, principal planner, M-Group, reported on the Housing Goals and Policies. She said the overarching intent of the Housing Element was to create a balanced community with a focus on affordability that would forward social justice. She indicated the 5<sup>th</sup> cycle had four goals and the upcoming 6<sup>th</sup> cycle had seven proposed goals. She said the policies that underlaid the 6<sup>th</sup> cycle goals had come from a variety of sources, including community outreach findings, issues identified through the fair housing analysis, site specific programs, policies to reduce constraints and the Association of Bay Area Governments' (ABAG) resilient housing policies.

Ms. Bendix shared slides on the seven proposed goals: H1) implementation responsibilities with focus on building local government institutional capacity and monitoring accomplishments; H2) existing housing and neighborhoods with focus on maintaining, protecting and enhancing existing housing in neighborhoods while supporting schools, services and infrastructure; H3) specialized housing needs with focus on providing housing for special needs populations and coordinating with support services; H4) affordable housing that supported the development of a diversity of housing units for people at all income levels, particularly for extremely low-, very low-, and low-income households; H5) equity that ensured equitable access to housing; H6) sustainable housing with focus on policies that implemented sustainable and resilient housing development practices; and H7) design of housing that ensured new housing was well-designed and addressed the housing needs of the City.

Ms. Bendix then reviewed how policies supported the intention behind the seven goals. She said Goal H11 *Implementation Responsibilities* was largely carried over from the current Housing Element. She said the policies reflected ongoing efforts but were in some places improved by current best practices. She said they included direction to coordinate with regional and

interjurisdictional efforts, to utilize and advertise below market housing funds, adjust local funding, increase organizational effectiveness including evaluating staff capacity, coordinate with nonprofits on housing and monitor the housing element.

Ms. Bendix said Goal H2 *Existing Housing and Neighborhoods* also was largely carried over from the current housing element. She said these policies were meant to adopt an ordinance for at-risk units, provide housing rehabilitation outreach and funding, adopt an ADU amnesty ordinance, and develop anti-displacement strategy with the community.

She said Goal H3 *Specialized Housing Needs* had both policies carried over from the 5<sup>th</sup> cycle Housing Element and new policies intended to encourage linking supportive services to housing, incentivize accessible and special needs housing, publicize rental assistance programs, allow low barrier navigation centers in residential mixed used areas, and participate in regional collaborations to address homelessness.

Ms. Bendix said Goal H4 *Affordable Housing* had both carry over and new policies that were intended to rezone for higher housing densities near downtown, allow ministerial review of 100% affordable housing, enable modifications to the affordable housing overlay, enable conversion of commercial properties to mixed-use properties, modify the below market rate inclusionary requirement and in lieu fee, modify parking requirements and facilitate ADUs/

Ms. Bendix said Goal H5 *Equity* included carryover and new policies with the intent to ensure equal housing opportunity, require community participation in planning, identify opportunities for home ownership, provide multilingual information on housing programs, and provide tenant support and protection programs including a fair chance ordinance.

Ms. Bendix said Goal H6 *Sustainable Housing* included carryover and new policies to encourage renewable energy and conservation, implement walking/biking improvements, promote resilient design and air conditioning alternatives.

Ms. Bendix said Goal H7 *Design of Housing* included carryover and new policies focused on development and residential design standards and establishing objective design standards for SB 9 projects.

Ms. Bendix said a full draft of the Housing Element was available for a 30-day public review period starting May 11, 2022. She said in June they would send the draft Housing Element onto the State Department of Housing (HCD) for an initial and preliminary review. She said at the same time the draft supplemental environmental impact report (SEIR) would be circulated. She said between July and September the final SEIR would be published and comments would be received from HCD on the draft Housing Element and the Safety and Environmental Justice elements would be ready for review. She noted that those latter two elements did not require a review period by the HCD. She said October through November the FEIR was on track to be certified and the Housing Element the submitted to HCD for final approval. She said in December the zoning ordinance changes would go to the City Council and the HCD expected to approve the Housing Element.

#### Housing Commission Clarifying Questions:

Housing Commission Chair Bigelow asked for clarifying questions from the Housing Commission.

Housing Commissioner Heather Leitch noted possible use of downtown parking lots for housing and asked about augmenting parking. She noted also the mention of modifying parking requirements for the downtown as that was something people would be wondering about. She asked if there was a plan to build a parking structure or another plan to address the parking that would be eliminated.

Assistant Community Development Director Deanna Chow said a number of city-owned parking lots were identified as potential sites for additional housing and particularly hopefully for affordable housing. She said one of the programs in the Housing Element was a request for proposals (RFP) to identify what some of those best uses might be. She said that would look at the best mix of land use and would include parking and where that would be located.

Housing Commissioner Nevada Merriman referred to the goal related to interjurisdictional regional efforts and asked what that might be or whether there were existing efforts the city was participating in and what targets there might be for participation.

Mr. Kohn, M-Group, said that goal was a policy included in the current Housing Element and involved policies for seeking funding for affordable housing working with the County to find solutions for special needs housing. He said much was ongoing already.

Housing Commissioner Merriman asked as a follow up whether a list might be provided of county and regional policy leadership occurring right now. She said it would be great to have staff track and have a real strategy on the City Council level for the City's participation in that effort. She then referred to H4 on extremely low-income housing that was mentioned as one of the housing levels to be provided across the spectrum and asked if that was being tracked. She said that the annual report did not include those numbers, but she thought staff had information on them. She said it might strengthen the report to include those. She said the goal was written such they should be looking at the whole spectrum of income housing needs. Acting Housing Manager Michael Noce said staff tracked those and thanked the Commissioner for the clarification.

Housing Commissioner John Pimentel referred to the question about downtown parking lots and housing. He asked for confirmation of the mention of an RFP process and if they could discuss timing, or whether in the next iteration of the Housing Element a discussion of that process and timing might be included. Ms. Chow said it was in program H4.G Consider City-owned Parking Lots to Promote Affordable Housing. She said it was to develop an RFP to explore development, including affordable housing and consideration for extremely low-income housing. She said the timeframe was for that to be completed by the end of 2025.

Replying to Housing Commission Chair Bigelow, Geoff Bradley, M-Group, said there was a defined acutely low income for households making 0 to 15 % of the area's median income for different household sizes. He said jurisdictions were required to plan for acutely low-income households and extremely low-income households but those categories in and of themselves had not been directly included in the RHNA allocations. He said in everything from ABAG and HCD it was shown as low income but included from 0 to 50% of the area's median income.

#### Planning Commission Clarifying Questions:

Planning Commissioner Michele Tate said she wanted to comment on Housing Commissioner Merriman's question about other jurisdictions and regional efforts. She asked if other jurisdictions had been polled or consulted, or conversed with on collaborative efforts. She said the City of San

Bruno was proposing to join other cities in San Mateo County to share housing staff to support housing trust, inclusionary zoning and 100% affordable housing and other projects. She asked if there had been conversations or anything between Menlo Park and even San Bruno or any other jurisdictions at this point. She said part of her question was she understood they all were working on housing elements and there was a regional problem that no one city could absorb all that was needed.

Ms. Chow said there had been conversations among jurisdictions with the 21 Elements group that was all 20 city jurisdictions and the County, and particularly for small cities as to whether there was a planning staff person who might be shared among different jurisdictions to help support and supplement work being done. She said one thing Menlo Park was planning as part of the upcoming budget cycle was addition of one management analyst full time to help support the housing team.

Commissioner Tate said years back the Housing Commission actually petitioned for additional staff in their department and were successful. She asked whether having one additional person was really enough to help monitor all of the process and support everything that was happening to make a difference. She said she hoped the city gave serious thought about either additional staff or some collaborations if there was a way to share staff and resources. She asked if taking another look at the City Center was an option. She noted changes in the region since that were evaluated and top concerns from the 21 Elements group were affordable housing, equity, housing cost, and diversity. She asked with those universal concerns whether they could take another look at developing housing at the Civic Center as there was a different Council and the climate in the community was definitely different from when that was last evaluated.

Mr. Bradley said during the process beginning last May there was a lot of focus on site selection and that drew a lot of interest. He said the idea came up at some of the community meetings and questions were asked about including the Civic Center site. He said in checking in with the City Council during that process they shared that input but did not get any interest from the Council to pursue it.

Housing Commission Chair Bigelow opened public comment.

Public Comment:

- Naomi Goodman said in addition to updating the Housing Element to promote more construction, Menlo Park was also embarking on an update to the safety plan. She said those two efforts could be used to promote construction of additional housing in a way less disruptive to the city residents than filling in parking lots and displacing small businesses. She said throughout Menlo Park there were many apartment complexes with soft story construction such as residential units over carports. She said in a major earthquake such buildings could collapse with a potential loss of lives and a significant decrease in housing units. She said she did a survey and found approximately 240 parcels containing one or more potentially soft story buildings. She said she did not count units but based on the typical building size those likely represented more than 1,000 housing units. She said the greatest number of those buildings were located on Coleman Avenue, Linfield Drive, in the downtown both north and south of Santa Cruz Avenue. She noted structural retrofits, such as those done in Palo Alto and Berkeley through financial incentives to property owners to replace them with taller apartment buildings with more units that would increase public safety and housing stock.

- Karen Grove said the programs and policies in a lot of cases needed more clarity and robustness, and that metrics were needed to be successful. She said she loved the conversation about monitoring low-income, extremely low-income and acutely-low income separately. She said in addition to monitoring progress, they needed to be clear about which programs achieved which types of housing. She said she loved the idea of housing at the Civic Center as there were buildings there upon which housing could be added. She said also she would like the number of accessible units available to people living with disabilities monitored. She said when a milestone was for five years after housing element adoption that she wanted the city to adopt some internal milestones to ensure the long-term five-year milestones were reached. She said it was very important to consider city-owned land for deeply affordable housing as they controlled that land. She said she supported the idea of ministerial review of 100% affordable housing but as written now it seemed contingent on adopting universal design standards for residential homes in every zoning district, which were many. She said she would like sort of a sunset on that contingency so that if universal design standards were not adopted within three years, the city could still adopt ministerial review of 100% affordable housing with perhaps some default design standards. She said tenant protections needed to be made more robust and achieved in a shorter timeframe as the best time to have done tenant protection was 10 years prior so the next best time was now. She said additional community outreach was indicated but impacted communities had already said what they needed and the City Council had said no. She said they needed rent control or rent caps, and just case for eviction. She said she was glad they had done funding for emergency rent and mortgage assistance and hoped they would continue that.
- Ken Kershner, Menlo Park resident, asked when ABAG and HCD would first see the draft Housing Element Plan and how would the impact on the Transportation Master Plan be incorporated. He said it was generally understood that land use, housing and transportation needed to be planned together to create a safer, more walkable community. He said he was advocating for the Complete Streets Commission to formally be included in this timeline.
- Adina Levin, Menlo Park resident, said the Civic Center location was very well site for transit and services and thought that should be looked at. She said there was a housing element site tour and some of the sites based on comparable land value did not seem likely for affordable housing development. She said having a city-owned land that was centrally located would be a strong addition to this housing element. She said she was glad to see the multimodal item in the transportation section but it was quite general whereas other cities in the region had much more specific and robust transportation policies so she thought it should be more specific. She said it was great to see specific goals north of Highway 101 but the more general item was slated for several years in the future which was puzzling as the city had a Transportation Master Plan. She suggested setting goals to build out the transportation master pan was good. She wanted to echo Ms. Grove's comments about tenant protection and funding for BMR housing with the commercial linkage fee and any other funding.
- Susan Arrington, Menlo Park resident, said she believed in affordable housing and in a sense of community. She referred to site 38 and said make it a home for people and not make it 270 units as that was a jail for people and a disservice. She said they needed sites and projects that had a sense of community. She suggested 47 or 50 units with a front yard, a backyard, and a sense of something bigger than just having a place to live. She said one of her student's family had 13 people in a two-bedroom apartment and lived with no sense of community and no outdoor area. She said transportation was a huge concern, a way in and out of the community was a huge concern. She said children in Ravenswood had to go over the walking bridge and that was not



fair they had to be in their car going all the way over and did not make sense to her. She said this was not the right makeup for what was going on and they were making a grave mistake because they were not thinking this through for the soul of a person.

- Pam Jones, Menlo Park, said she fully supported housing on the City's main campus and that would be a good opportunity to rebuild the library. She said base requirement for affordable housing should be 20% as how it was now, they would not get to their targets. She said currently there was no real intention of building low-income housing unless it was put in Belle Haven, which seemed to be what was being said. She said housing on all parking lots with the parking below and apartments above using the highest density they could manage would revitalize the downtown and serve two purposes in that resources were walkable. She said there was a proposal already from two of the commissioners; one a housing commissioner and the other a planning commissioner so part of the work had been done already. She said her greatest concern was that the housing would not be buildable anywhere else in Menlo Park as there was resistance and fear that low-income housing would bring. She said she could see all of those units being built on the remaining lots up zoned in the M2 and as she said before if that happened all the low income required to be built would be put there in the same place in the same buildings. She said they needed to be careful how they moved forward, careful about the messaging and a constant need to help people understand there was a process before anything was built anywhere.
- Michal Bord (SP?), Allied Arts, said the housing element document was overwhelming at 700 pages. He said the question was how the city would get the target 1,500 affordable units built in the next eight years. He said 100% affordable developments tended to be one-acre and 8,200 units would require 12 developments or sites for developers over next eight years. He said over the last seven years he thought there had only been one such site. He said they needed property owners to want to do this, developers who would be willing to do it, and the financing to make it possible. He said he wondered how many of the sites they had met those three conditions or even had a chance of meeting those. He said if they did not have the 12 sites identified he questioned how those would materialize and asked commissioners and consultants to test the assumptions being made and what would actually happen, and see how many of the sites had landowner and developer interest and a source of financing to bring the affordable units needed.
- Kirk Connor, Menlo Park, said the California Department of Finance recently reported that both the Bay Area and the state had lost population over the last two years with the Bay area decreasing by .7% and that was twice the decline of the state's population at .3%, and that 42.9% of the state's population decline happened in the Bay area. He said the presumption of the plan and the element was on how the Bay area would keep growing in population and perhaps that was not a correct presumption. He said the Wall Street Journal, May 14, reported that large tech companies were "hitting pause on hiring," and that the Facebook Meta platform announced the previous week that they would "sharply slow its hiring." He said he was a landlord for apartments in Menlo Park and the vacancy rate was quite high for the last few years since the beginning of the pandemic and remained so. He said the shortage of housing might not be as dire as it might appear given the exodus of people from the state and Bay area in particular.

Housing Commission Chair Bigelow closed the public comment period.



Commission(s) Comments: Housing Commission Chair Bigelow said as staff suggested they would organize their comments and discussion around the chapters of the draft housing element. She said they would receive comments first from Housing Commissioners and then Planning Commissioners

### Chapters 1 through 6-Introduction through Energy Chapter

Housing Commissioner Leitch referred to Chapter 2 and partnerships for the unhoused and a comment regarding removal of a large encampment near Ravenswood Avenue. She said she was glad to see something to address the matter, noting that while the city did not have a tremendous population of unhoused individuals it had gotten worse.

Housing Commissioner Merriman said regarding the 5th cycle evaluation that she wanted to comment more on the characterization of the very low-income home. She said more information was needed as it was not just a technical term noting that in the Bay area, they had had several years where median income had jumped 10% in a single year and that had happened over and over again. She said in looking when they started the 5<sup>th</sup> Cycle in 2015 a very low income for a family of four would have been an income of \$58,600 and now in 2021, they were talking about for low income for the family of four it was \$91,350. She said it was important to recognize in today's dollars that they did not really account for in their annual reporting or policies families that were earning less than \$90,000 a year. She said the definition of very low income was misleading because of that trend of exponential growth in that area. She said she wanted to see more context there. She said in addition with the definition of very low income there was pending legislation that probably would pass in 2023 to try to track very low-income units. She said that was important to talk about even though it was not a goal in the coming RHNA as the report could be changed. She suggested staff look at that and anticipate it and understand why here in Menlo Park more than anywhere else in California that was so important as they were leaving out families that made less than \$91,000 which was approximately three times the minimum wage and it was exaggerated because of how high the incomes were here. She referred to the evaluation of the last cycle and said it was great they had hit the number of homes required but it was clear to her for awhile at how much they overproduced the moderate level. She said they hit the numbers but not in the right levels of affordability. She said it was worth mentioning that while that happened up and down the peninsula the 700% for that category was not a proportion that she saw anywhere else. She said she would like to see that addressed in the report or staff report that gave that more context and urgency.

Housing Commission Chair Bigelow said she appreciated how thoroughly the housing constraints were looked at and the fee structures. She said regarding the site inventory and analysis that she liked how they qualified everything and broke it out so the number of units being produced were clear and that it was over 50% for affordable units so the city had accountability in that regard.

Planning Commissioner David Thomas referred to a comparison between table 2.1 to table 7.1 and summarized those for listeners. He said the first for 2015 through 2023 contained the allocation by income level and how that was met in this cycle. He said he noticed they did well in the very low-income production and were way over production in the above moderate-income category. He said they had not been doing so well in the low to moderate income categories, hitting 70% of the target for the low-income category and only 15% of the target for the moderate-income category. He said more housing across the board was great and tonight there seemed to be a focus on the lower end of the income spectrum but he was curious why there was a gap in the other part of the spectrum. He referred to table 7.1 and allocation for the upcoming cycle. He said low income and moderate

income were about 20% of the total allocation. He asked if there was a good sense of why this was happening and was something being done so the gap did not occur in the next cycle too.

Mr. Bradley, M-Group, said regarding the relative scarcity of the moderate-income homes produced during the current cycle under the existing housing element that it was a pattern seen throughout the Bay area and best described that moderate or market rate housing was well served by the private real estate development industry exceeding the target by almost 90% as called out by another commissioner. He said the majority of private developers were seeking to serve those households with enough income to pay fair market value either for rent or for sale. He said in reaction to that almost a whole separate industry and discipline and group of professionals had banded together around the idea of providing affordable housing, normally through a nonprofit organization taking in multiple forms of financing to achieve project fiscal viability. He said some for-profit developers also did affordable housing such as mixing in some percentage of affordable housing with market rate developments but this sort of split sector had resulted in a lack of moderate-income housing also known as the missing middle and that could refer also to the price point as it was higher than that of the lower income category affordability levels but lower than what pure market rate prices would be. He said it was also the missing middle from a density perspective that urban architects and designers had noticed and started to address. He said as a practical matter a lot of cities would actually try to over produce in the very low-, and low-income categories, knowing that those lower units of housing could also carry forward into the higher income categories in terms of just complying with the state regulations. He said that did not address the practical reality that there were people at those moderate-income categories that need housing suitable for their means. He said he would refer the second part of Commissioner Thomas' question regarding actions being taken to address to Mr. Kohn.

Mr. Kohn remarked while trying to pull up a relevant document on screen that they were getting a substantial amount of ADU units. He said there was also a first-time homebuyers program that could help people with moderate incomes looking to buy their first home. He said in providing very low income and low-income housing with supportive services and having onsite living units for staff and family who tended to be moderate income level was another way those were provided.

Mr. Bradley said they also saw moderate income units coming as a result of the inclusionary housing ordinance that required a percentage of market rate units to set aside affordable units typically in the low- and moderate-income categories.

Planning Commissioner Thomas said housing stock at the higher end of the income spectrum would make its way down the spectrum so housing across the spectrum today would solve problems in the future. He said he would like to see this piece of the distribution addressed in line with the other pieces of distribution, both at the low end that received a lot of attention as it should and at the higher end that had more private market incentive. He referred to page 140 and a sentence that regionally half of the people make more than 100% AMI. He said if he understood correctly AMI was a median and suggested the sentence might be reworked. Mr. Kohn said the AMI was based on San Mateo County, which was thought to be more affluent than the region or the Bay area. He agreed the sentence could be written better to make that clear but it was pointing out that the AMI of Menlo Park was in a sense dealing from a higher floor than the Bay area. Planning Commissioner Thomas said also the phrase "roughly half" was not a particularly informative statement and suggested using a percentage to be precise. Planning Commissioner Thomas said on page 503, Fair Housing, was parks coverage. He said in his network of people starting families he heard from them that parks were an incredible resource and as density increased more pressure would be placed on the parks

so they should really be the last resort for more housing sites. He said almost the entire city was within 15 minutes' walk from parks. He said elsewhere in the report was a statement around smaller units were more effective for some of the goals, but what caught his attention was that 15% of Hispanic households in their district experienced overcrowding so they might be disproportionately impacted by a lot of the housing stock for the lower income levels having fewer bedrooms. He said the document indicated 13% of Menlo Park residents also worked in the city and 4% lived in the city. He asked how that was taken into account with housing and whether that was treated as acceptable and assumed as the status quo or were they trying to raise housing so less people needed to commute outside the city.

Housing Commission Chair Bigelow asked Planning Commissioner Thomas if he was talking about Housing Conditions and Trends, the data points in Chapter 3. Planning Commissioner Thomas confirmed it was Chapter 3.

Mr. Bradley said he believed one of the main goals of the housing element process was to ensure that people who worked in the community could afford to live in the community.

Planning Commissioner Harris said looking at 3-6 Jobs it indicated there were 52,830 and that 96% of people commuted into Menlo Park. She asked if that meant over 50,000 workers commuted to Menlo Park.

Mr. Kohn said workers were defined in confusing ways that made it difficult to make what should be very simple transitive declarations such as the one Ms. Harris just made. He said that was a frustrating thing with labor data. Housing Commission Chair Bigelow said the reference was to 3.3 in courtesy to the public listening. Planning Commissioner Harris asked if it was jobs in the jurisdiction and that did not mean people were coming into Menlo Park then what did it mean and how they could at the least have an estimate of how many people were commuting. Mr. Kohn said he believed the county had a VMT analysis done in the past few years that had a good sense of commuter level data. He showed a page onscreen noting that it combined full time jobs like a 9 to 5 commute to a desk or shop and also part time work, more casual work such as selling things online, or working at a daycare that would not necessarily be a commute but would be a job. He said they had precise numbers and it made perfect sense to draw a conclusion such as Commissioner Harris had asked about but more to the point, they were saying a lot of people were commuting and that was something all would like to see decrease, and they were looking at ways to do that. He said it would be much trickier to say that they were going from 96% to 75% for example. Planning Commissioner Harris said it was easy to commute from Atherton to Menlo Park or even from Mountain View to Menlo Park but they did not have a sense for the VMT and suggested to the extent that could be added it would be helpful to get a handle on it especially as they found ways to reduce it and get workers here. She said she wanted to highlight page 3-24 speaking on seniors and figure 3-21. She said in adding up those numbers it appeared there were currently 1,000 low-income seniors cost burdened and that seemed to her a high number. She said there were a number of places in Chapter 3 where she calculated the number based on the percentage and if the numbers were wrong that way it would be helpful to see what the numbers were.

Housing Commissioner Merriman asked if Ms. Chow could help her understand what some of the triggers were in Menlo Park that necessitated a development application to have to do a full blown EIR. She said she thought the number of trips that triggered the EIR relative to neighboring cities was low and in places where she had worked in development. She said this document showed applicants had certain procedures that added time for review. She said the EIR was kind of the

biggest one with 52 weeks of additional time. She said there were a few places where the city's triggers were so low that more time was required for the application process and staff review time. She asked if those could be looked at to lessen governmental constraint.

Ms. Chow referred to the chart that indicated an EIR was needed that triggered a minimum of a year process. She said for development review the California Environmental Quality Act (CEQA) required that each project go through some level of environmental review and that ranged from a categorical exemption or to an EIR. She suggested Housing Commissioner Merriman might be referring to the level of service (LOS) trigger and potentially the .8 seconds of delay, which was kind of a low threshold to potentially trigger an impact. She said with the move to VMT they did a different sort of analysis but they still as part of the General Plan analysis consistency finding did LOS analysis, which was not a CEQA finding. She said they would see in projects that both VMT potential impacts were identified as well as LOS from a general plan conformance perspective but the latter were not mitigation measures that might trigger an EIR. Housing Commissioner Merriman asked if they were finding fewer or more projects with VMT. Ms. Chow said the goal with VMT was putting housing near job employment so as they were starting to develop housing near employment centers, they were starting to see fewer impacts from a transportation perspective. She said a number of Bayfront projects had an EIR because of a settlement agreement. She said for housing opportunity sites coming out of the Housing Element process they were doing a supplemental EIR as noted in the presentation. She said projects were evaluated on a case-by-case basis for CEQA. She noted changes to CEQA such as categorical exemptions for infill type projects so they would need to explore how a project might fit within some of those different buckets.

Housing Commission Chair Bigelow said that was regarding table 5-8 on page 5-33 she believed.

### Chapter 7 – Site and Analysis

Housing Commissioner Leitch noted mention of the SRI project on page 7-5 as one of the pipeline projects. She said she understood it would be mixed-use and asked for some clarification on what the proposal was and where it was in the process. Ms. Chow said the pipeline projects in 7-4 table were projects that had been approved and those were projects A, B, C and D and projects at various stages of the building permit process were E, F, G and H still under review. She said the state allowed jurisdictions to count projects not yet occupied or as pending as part of the pipeline projects that could be attributed to their RHNA cycle. She said the SRI project was in the beginning stages of the development review and the Planning Commission conducted a study session on it a month or so ago and the City Council conducted a study session on it last Tuesday. She said comments made at both study sessions suggested adding more housing at the site and in particular using one acre for affordable housing. She said SRI was also conducting its own master plan process including complex entitlements including a zoning district specific to the site.

Housing Commissioner John Pimental said there had been discussion about developing Flood School as a potential teacher housing site and asked if that was appropriate to include in the Housing Element as discussion with whatever constraints or study requirements the City might want to place on that, specifically how the transportation might affect the Suburban Park community and specific mitigation to alleviate that traffic concern, and/or the number of housing units that might be placed there. He said there seemed to be confusion in public discourse as to what the Ravenswood School District might be proposing versus what an R2 designation might enable.

Mr. Bradley referred to site numbered 38 that was called the former Flood School site to avoid confusion about Flood Park itself. He said it was about a 2.5-acre site and was one of two vacant sites in the housing opportunity site inventory. He said they identified it as eligible for base zoning or recommending a base zoning of 30 units per acre. He said it currently was zoned R1 and for the housing mentioned up zoning would be required. He said as a policy the Housing Element recommended that every housing opportunity site was eligible for 100% affordable housing projects to go up to 100 dwelling units per acre. He said that was what neighbors were understanding correctly and were concerned about. He said there was a dedicated community meeting with over 100 attendees that voiced that concern to the project team in early May. He said that was totally separate from the Housing Element at least procedurally. He said the school district through its own governance was pursuing reuse of the site and talking about 100% affordable housing focused on teachers and staff of that school district of about 90 units but there had been no formal application. He said it could not be treated as a pipeline project at this point, which was perhaps creating the disconnect in the community. Housing Commissioner Pimental suggested that might be called out in the discussion for this document so both sides continued communication and planning could be done to address neighborhood needs and new housing for teachers.

Housing Chair Bigelow said for those following along this referenced page 7-17 or in the appendix 7-5 and the site sheets for site number 38.

Housing Commissioner Merriman referenced the fair housing maps and said she found the one regarding transportation access illuminating. She asked if it was possible to do something similar looking at the universe of sites and properties in Menlo Park that could potentially access AB 763. She said it was about the transparency of some of the key information here as in subsequent chapters AB763 came up as an alternative to the affordable housing overlay. She said it was a pretty powerful tool for increasing density adding three stories and unlimited density within a half mile of transit and taking parking down to .5. spaces per unit. She said it was a tool that the City of San Mateo embraced to use on a publicly owned site. She said while the designation of 30 units per acre was accurate there were state changes and other tools that might mean not reaching that and suggested some analysis on other tools that might create a different outcome.

Housing Commission Chair Bigelow said the affirmatively furthering fair housing or FFH maps were in appendix 7-2 and illustrated what Commissioner Merriman was saying.

Housing Chair Bigelow said she appreciated how the pipeline projects were laid out and the realistic capacity discussion. She said it was useful to know that under that approach they could increase the capacity of affordable and market rate units. She said she was particularly interested in those being in resource rich environments and noted how those had been called out.

Planning Commissioner Thomas said one thing about the inventory that surprised him were the number of proposed repurposed parking lots. He asked if there was risk doing that and noting "Several jurisdictions in San Mateo and western Santa Clara County have redeveloped downtown parking lots into affordable housing notably Redwood City and the City of San Mateo." He asked if there was a history of successful conversions of this type in Menlo Park and asked about specific examples in Redwood City and the City of San Mateo. He said this was to consider and ensure that too much emphasis was not being put on parking lot repurposing should that not come to fruition.

Chair Bigelow said for those following that was page 7-20.



Mr. Bradley said he tended to think of parking lots in a suburban community like Menlo Park where most properties had already been developed to some extent as mostly nonvacant properties. He said a pattern they had seen over time was using parking lots for buildings. He said they did not have a lot of good choices for housing and they had nearly ruled out taking down existing residential units because of the equity and displacement issues that created and they needed to deal with available land resources. He said they saw in Redwood City, San Mateo and Burlingame the use of city-owned land and mostly taking parking lots and replacing with infill housing development and also sometimes replacing the parking through structured parking. He said they occasionally saw private properties taking a portion of the site that was overparked, close to transit, where a portion of the parking lot could be used more productively such as for housing.

Chair Bigelow said anecdotally at some Housing Commission meetings both advocates and developers had publicly commented over the years on what was being done with the parking lots.

Planning Commissioner Harris said her concern for the record was that many of the sites were unlikely to develop into housing and especially affordable housing. She said she understood they were required to provide substantial evidence that the sites might develop and her concern was the housing element might fail its HCD review if they did not have adequate substantial evidence and especially on some of the sites like the two Safeway sites, the Robin Hood headquarters, Sand Hill offices, which were a sizable portion of the total housing listed. She said they would meet the target for market rate housing but affordable was the biggest issue. She asked what substantial evidence they had now or expected to have before the document was submitted to the state, and if submitted and did not pass, then what happened.

Chair Bigelow asked if there was a definition for proof of substantial evidence.

Mr. Bradley provided examples of what HCD approved. He said if you could point to a pattern within the community or even nearby region and surrounding communities of similar things happening and you were able to describe and be accurate about what was happening in the marketplace between developers and property owners and the patterns seen of buildings taken offline from historic traditional use and replaced with a new use such as 100% housing, 100% affordable housing, mixed use development with a mix of commercial and residential that was the type of evidence HCD was looking for and not necessarily a signed affidavit from a property owner and developer. He said it was painting a persuasive picture of trends happening, types of elements housing, and the conditions under which they happen such as density, parking requirements, processing times, EIR or no EIR. He said if you could show the city was proactively and methodically dealing with each of those possible impediments and moving possible impediments was the kind of evidence sought by HCD. He said also negative things could be shown such as long-term leases that took a property out of the frame of being developed within the next eight years. He said property owner support or not supporting in and of itself was not a deciding factor. He said HCD and city planners knew that occasionally properties changed ownership, although not a lot under Prop 13, but nonresidential properties occasionally changed ownership or the city changed something about the underlying density, the development framework controlling that property, and people got fresh ideas and saw things differently about their properties. He said it was a mosaic of facts, circumstances and specific things they could point to that justified the inclusion of certain properties

Planning Commission Chair Chris DeCardy said public speaker Pam Jones' comment on this section was about 95% of what he would like to say. He said also he wanted to pick up on the theme Commissioner Harris spoke on and the question of credibility and whether housing would actually

get built. He said the document would be put into place and for the next eight years be the de facto thing the city was doing for affordable housing and they would come back to it again and again. He said in some ways that was a shame as they were doing this for a mandate but it was not actually all they should be doing as a community around affordable housing. He said as they did not know what would happen in the next eight years and that incredibly something like Quadrus at Sand Hill Road might turn over and become affordable housing was the same reason he thought they should go back and include the stuff that was actually more likely which was where you could reduce costs. He said those were the land costs and that was what they already owned as a city. He said that got back to the Civic Center question from Commissioner Tate tonight. He said the same logic should include looking at the Civic Center or looking at the potential for density at a former school that was already scraped clean. He said they needed to look at all the options that made sense and should not take them off the table right now as that would hamper the community over the next eight years.

Housing Commission Chair Bigelow said she echoed much of what Planning Commission Chair DeCardy said. She hoped some of the details would become clear as they went through this process and they would be able to turn to this document over and over again over the next eight years.

Planning Commissioner Henry Riggs said this document existed because the city was required to provide it. He said the city was not eager to increase traffic, water and energy use. He said his two main concerns were how they could provide a missing level of housing effectively and productively as well as maintain and hopefully improve the quality of life for city residents. He said as volunteers they were serving the existing 36,000 city residents. He said in talking about organizing for social betterment it was easy to forget these residents. He said one thing they succeeded in doing and should perhaps examine was that they enabled construction of upper market housing and in some cases packaged that as an enablement of office space to the benefit of development and investors in that development. He said if they were missing predominantly affordable units. He commented that people became excited with projects building housing but very little of it was affordable housing. He said this housing element was likely to produce more high profit market rate housing ultimately. He said as others had said that they needed to use city owned property as the land value was adjustable. He said the city's parking lots were available land and in at least three instances other cities on the peninsula had developed parking lots using a third-party maintaining parking that supported their retail and required parking for housing. He said he disagreed with reconsidering the Civic Center as that was open and public space. He said parking lots were different. He said looking at these sites they looked at quality of life which for the city and for some neighborhoods more than others involved traffic. He said housing developed on sites with no transportation infrastructure added traffic and use of water and other natural resources. He said as an architect he had done multiple ADUs and that most ADUs were used to supplement paying high mortgages for property in Menlo Park. He said he expected over seven years that more than 85 ADUs would be built even if a proportionate number were not built in 2021 as there was a lot of interest in ADUs. He said he would echo a comment made a couple of times at Planning Commission meetings that while they backed the concept of 100% affordable projects, they seemed to collect people in specific or lower economic groups in one project. He said the ability to purchase an entry level unit was very important socially and economically. He said that was one of the strongest recommendations he could make when it came to housing. He said that might not directly relate to the choice of housing site but it did to policy.

Housing Commission Chair Bigelow asked if parking lots were included in the other land use quantification and site strategy. Mr. Bradley said it was. Housing Commission Chair Bigelow said they talked about table 7-15 the projected housing summary. She said with all of these including the



parking lots and modifying El Camino Real Downtown Specific Plan would result in only 621 units. Mr. Bradley said that did not sound correct and asked which table again. Housing Commission Chair Bigelow said table 7-15 on page 7-38, and that the 5<sup>th</sup> column there were other land use strategies. She said it showed they only got 621 units of all above moderate income units from those strategies. Mr. Bradley said table 7-15 showed four major categories and the first one was the 6<sup>th</sup> cycle opportunity sites and that was the main producer of units at all income categories and was almost 3,400 units. He said they got about 25 ADUs per income category except for above moderate. He said ADUs had a really good distribution based on very detailed survey work that was already accepted by HCD that was done on a regional basis with the 21 Elements group. He said the pipeline projects was the biggest category at over 3,600 units and then the other land use strategies were 621 units. Mr. Kohn replying to Mr. Bradley referred to page 7-37. He said as part of the zoning update happening concurrently with this housing element the city was looking to modify the El Camino Real Downtown Specific Plan to rezone commercial only sites and modify R3 zoning around the downtown but the reason why those 621 units were additional and above moderate income was because they were not sure which parcels would necessarily apply to as the changes were zoning district wide. He said they had to have specific sites and site inventory in the downtown specific plan or in R3 in commercial areas to do detailed specific analysis. He said you could see in the site sheets they discussed that if they made those changes, it would have effects and they could not predict how they would affect parcels citywide so they put it into the above moderate category as they knew they could not demonstrate to HCD like they could with the site inventory the lower income housing. Mr. Bradley said those were citywide zoning changes that would encourage some increased housing development but it was totally separate from the housing opportunity sites themselves.

Planning Commissioner Andrew Barnes said he would intertwine comments on sites and policies as there was an opportunity for policy on sites. He referred to the SRI site and said they needed both deeply affordable housing and homeownership housing. He said in this housing element they needed to get to both of those. He said he thought homeownership often got lost in the discussion and in talking about equity which was policy 4.5 he thought that they would not want to create societies where people rented in perpetuity as that was not a healthy model for wealth creation and ownership of a community. He said they needed to pay attention to every opportunity to zone purposely for homeownership and provide densities for townhome opportunities. He said that was a policy issue they talked about with the Downtown Specific plan. He said they needed to look at opportunities to create denser homeownership opportunities in the housing element and he would take a specific look at that as they worked through it. He said trying to get to meaningful levels of deeply affordable housing through market rate BMR was not working and they could not get there numerically that way. He said the issue of equity came up there also, Willow Village aside, when more than 15% BMR was levied in effect they were taxing the person paying full rent. He said inversely how could they create deeply affordable housing that allowed for deeper subsidies through tax credits. He said there were also operating subsidies for the 50 years or length a unit was rented below market rate. He asked how was the cost of lesser rent could be distributed throughout the community so all were responsible and suggested that was through deeply affordable developments that received subsidies as opposed to getting there through BMR as it never got there. He suggested they needed to create policies or financing mechanisms with the city to fund, to match and get such financing sources that would allow for capital stacks and funding opportunities. He said he viewed the parking lots as a wonderful opportunity to develop upon and should be structured as a no cost opportunity for a developer to replace the parking and building on top of it. He said he did not support the same at City Center as he thought it was the town square and fundamentally different from a parking lot. He said he could see a lifelong learning center that had been discussed

being there and housing either next to it or on top of it but he did not see a wholesale conversion of the site for housing. He said policy 4.2 referenced schools. He said when they added housing, they needed to account for impacts on the community noting the relationship between housing and schools and the educational responsibility they had to make sure when enrollment grew there were offsets for facilities and operating budgets. He said there was a structural deficit from Prop 13 and for everyone added to a school district it was a structural deficit.

### Chapter 8 – Goals, Policies and Programs

Housing Commissioner Leitch referred to the Fair Chance ordinance. She said the idea was to not hold someone's past transgressions against them and asked to hear more. Housing Commission Chair Bigelow confirmed she was talking about the Renter Protection Fair Chance Ordinance. Mr. Kohn said it was on page 334, 8-26. Housing Commissioner Leitch read: "Adopt a fair chance access to housing ordinance which would prohibit housing providers from inquiring about or using criminal history or criminal background as a factor." She said that sounded fair and asked about limits or qualifying factors. Mr. Kohn referred to the website fairchanceforall.org. He said the general idea was that many rental applications nationwide required checking a box saying you had been convicted of a crime, and if checked, what was the crime. He said this ordinance would not allow that box to be used in rental applications in Menlo Park. Housing Commission Chair Bigelow said she had studied the ordinance and while it did not allow a housing provider to ask initially on the physical application, they could have a conversation with a person and talk about what their experiences were. She said basically it removed the blanket ban on anyone who had a history of incarceration which they now knew disproportionately impacted people inequitably.

Housing Commission Chair Bigelow said she appreciated the emphasis on implementation and trying to have metrics as that made accountability easier. She said policy H1.1 said City Council supported affordable housing as a priority and that was great as was policy H1.4. She said she loved the program H1.H on page 8-6 and it was important again to hold themselves accountable and see how far they had come in meeting RHNA goals and not necessarily having to wait until the annual reviews. She said given the import that HCD was placing on affirmatively furthering fair housing she appreciated policy H2.7 on page 8-7 "Developing and Enforcing an Anti-displacement Strategy." She said it was talked about in Program H2.E where there was overlap from the policy to the program. She said it was nice to see who would be responsible for it and how it would be paid for, and that it would be done within three years of the housing element. She said with the work she had done for both affordable housing developers and direct service nonprofits that the pandemic exacerbated much of the already deep divides within the community but they also found when people knew about rental housing assistance programs, they would actually use them and that kept them housed which helped homelessness issues and public health issues so she appreciated seeing that referenced. She said she liked the modification of the Specific Plan and the design standards for parking lots. She said she had slight concern about the identification of an SB10 site as it looked like that would be one of their last priorities as it was proposed to be done within five years of housing element adoption. She encouraged looking at that again.

Planning Commissioner Do referred to policy H6.6 on program 6E Multimodal Improvements. She said community members commenting on the proposed Parkline project expressed numerous concerns about traffic on Laurel Drive and children biking. She said similar to the Flood School site many of the comments were on the safety of what were now quiet neighborhood streets for people to scooter, bike and walk so she was excited to see how far they could change, reduce and eliminate parking requirements. She said the opposition was not to people but to cars. She said she

was excited to see relevant policies and programs and how far as a community they could push themselves to change expectations around parking.

Housing Commission Chair Bigelow said people tended to not realize that people with restricted income often did not have cars because of the associated expenses so there were not necessarily increases in car traffic from those projects.

Planning Commissioner Harris said in general there were some great goals, policies and programs in the chapter. She said reading them she was struck by the responsibilities required to both develop and implement those programs and those mostly fell to the planning and housing divisions. She said those both were stretched given the number of acting and open positions in them, and the number of active projects in Menlo Park. She said she was concerned about increasing staff capacity and along those lines understanding what would happen first. She said some of them were squishy and she would like tighter parameters around some of the programs. She said she would like a master timeline showing all of the programs laid out in a chart so they could understand whether they could do the things in the order as laid out and understand what was needed and/or how many people needed to hire or consultants to help. She said a policy she would like to pull forward and think through was the design standards as she understood they had been taking about those for a while. She said if they had those and ministerial review, more projects could move a lot faster with fewer staff involved. She said an issue they were having was how long it took to build in Menlo Park. She asked if those items could happen sooner in the process and that they were sequenced correctly. She said as far as the other programs and policies H1-4 that they needed to evaluate staff capacity and additional resources to monitor and implement affordable housing policies and projects. She asked who would be looking into that. She referred to H2-A, At Risk Units, and asked if the language might be tighter. She said the program stated the city would inform tenants of any assistance available. She suggested revision to say they had available assistance and how could they ensure that assistance was available, that they could get it to the tenants at risk proactively or quickly. She suggested what was needed was a rental registry to be able to contact tenants and landlords as necessary. She said she thought Samaritan House had been helping and outsourcing with that and if they were the ones helping perhaps that should be more concretely noted in the document. She said that was in H2. She said Palo Alto had a no loss policy for housing and asked if the city had anything in its rules besides what the state required.

City Attorney Nira Doherty said she did not believe that the city had any net loss provisions in the municipal code. She said any of those provisions now with the adoption of the Housing Crisis Act would be preempted to a large extent. She said it was something the city could look at as a policy but that portion of the Housing Crisis Act was fairly prescriptive and she thought they would run into some preemption issues.

Planning Commissioner Harris referred to H3.H that said part of the development review process encouraged increasing the number of accessible units. She questioned what encourage meant and if it could be defined more concisely and that could either be a question or a comment of something they could work on. Mr. Bradley said they could work on that. Planning Commissioner Harris referred to H6 and that she agreed with Planning Commissioner Do to see how far they could push to reduce personal automobile usage. She said in increasing housing stock significantly they would need to work hard on identifying multimodal improvements. She said she hoped they might be more prescriptive on how that could be accomplished. She suggested some budget for consultants to work on that and bring different new ideas as she thought it would help greatly. She said to that end

she was very in favor of eliminating parking minimums especially talking about 100% affordable, and some other accessible or senior housing.

Commissioner Tate referred to H2.D and the ADU amnesty program. She asked if that meant an ADU did not comply with current building and planning codes but was not a threat for health and safety that it would be grandfathered in. Ms. Chow said current state law allowed for a deferral of building code enforcement and planning department standards for the ADU if it was not necessarily current for health and safety. She said regarding the ADU amnesty program H2.D they needed to further define what the specific would be for that and whether it was a continuation of what was under state law today or something more or indifferent. She said they did not necessarily have the standards defined today but it was recognizing that there were AUDS built without the benefit of a permit, and how they would seek to provide amnesty for them as they provided needed housing. She said there was a state provision that allowed that for five years. Commissioner Tate said illegal ADUs were in District 1, her community, and asked if there was a way to move the timeframe up to one year rather than three years to provide some home security for people who might be living in such units. She noted a problem historically with code enforcement going onto people's property and discovering they had illegal units and that could displace a whole family such as the public comment about a one-bedroom apartment housing 13 people. She said moving the timeframe sooner would provide some sense of security for people.

Replying to Housing Commission Chair Bigelow, Ms. Doherty said the law allowed for a deferral of standards in the building code that were currently not up to compliance in existing ADUs and allowed the building official to provide for such deferral for the applicant to maintain the ADU and permit it with a building permit at a future time.

Planning Commissioner Tate said the concern was the timeframe was within three years of Housing Element adoption and it would be great if that could be moved up to within one year. Ms. Doherty said that would not be inconsistent with state law so there would not be any issues with the proposed revision.

Commissioner Tate said ADUs could supply different levels of income housing. She said they did not really know how many ADUs in the city were used for housing. She said in a Planning Commission discussion they recognized such spaces being used as offices, play areas or an extension of the house rather than being rented out. She said those were being counted as ADUs when they had no real way of knowing if they were actually part of the housing stock. She asked if there was some way to have more accurate numbers related to ADUs.

Housing Commission Chair Bigelow said when she was doing BMR administration for another city they tried to administer programs to use the ADUs as lower income housing and ran into how did you administer that day to day, what it looked like and how to keep compliant with it.

Planning Commissioner Harris referred to H2.B, subpoint "e" that read: consider rezoning of properties for consistency to match and protect their existing residential uses. She asked what the intent of that was. Housing Commission Chair Bigelow said that was page 8-8 for those following along. Mr. Bradley pointed out that the text before A, B, C, and D talked about addressing residential displacement impacts. He said the intention was to protect existing residential uses from being displaced. Planning Commissioner Harris said her concern with how it was written as she would not want any down zoning based on it. Ms. Chow said they could look at that. She said it was intended

to ensure if a residential property was on a commercially zoned lot that it would be resolved to maintain its residential use and not convert to a nonresidential use.

Planning Commissioner Harris said she agreed the ADU amnesty program needed to occur sooner than in three years. She referred to H2.E, page 8-9 and displacement strategy, and going into neighborhoods and talking to people but she felt like that had been done already and she did not support asking the same people the same questions again. She said she would prefer they just worked on preventing evictions and increasing housing quality. Housing Commission Chair Bigelow said she agreed that working with neighborhood and community groups did seem like things they had said and done. She asked for the difference between the policy and the program. Mr. Bradley said the policy was shorter and said what needed to happen and the program went into more detail as to how that would happen. Replying further to Housing Commission Chair Bigelow that he read the program as keeping the dialogue open and that tied into the environmental justice portion of the project as well and to the capacity to engage effectively with all segments of the community. He said he did not think it enough to say they had done this already and take what we know and implement it with all the details that involved. He said the program held the city to task to keep dialogue open and share the decision-making process with community members. Planning Commissioner Harris said she agreed with keeping dialogue open but they had heard numerous times what was needed and she thought they needed to do it. Housing Commission Chair Bigelow suggested bringing to the community some of the solutions they had heard in the past and asking if those still met needs or not.

Mr. Noce said he wanted to highlight the housing assistance program the city currently coordinated with Samaritan House as well as an upcoming program that would be a homeownership preservation program with Habitat for Humanity in the Belle Haven neighborhood. He said hopefully the program would launch this summer.

Housing Commission Chair Bigelow referred to program H1.I and BMR housing funds and asked if it was offered every two years. Mr. Noce said in the last Notice of Funding Available (NOFA) they made a note in the application that they would take over the counter applications potentially that would come into the city and dependent upon the amount of funding in the fund during the two-year period. He said they were expecting funding increases as development moved forward. He said \$5.5 million was awarded to HIP Housing for accusations of 6 and 8 Coleman Place in the 2020 NOFA release. Housing Commission Chair Bigelow said she knew how important local funding was for the development of housing so she hesitated that it was every other year but was hearing a rolling opening for NOFA within a marketing push every two years.

Commissioner Riggs said on the ADU discussion that besides helping people do ADUs he had assisted at least two different property owners whose ADUs were reported as nonconforming and were shut down, and the tenants left. He said it took a year and a half to resolve the issues in one case as when noncompliant to code it was necessary to try to conform to 700 pages of building code and a separate fire code. He said his client he believed was the first to try to take advantage of the amnesty and in the end the deferment of code enforcement. He said the property owner concluded that under no conditions would he ever apply for either deferment or amnesty again, and that it was better business decision to be under the radar and stay there unless you had to sell the property. He said the idea of the ADU amnesty was good but the city was not able to put it into practice. He said one reason why the city might actually be limited to 85 ADUs over the next seven years was whatever the intentions of Menlo Park to occupy an ADU you had other agencies you had to clear. He said the most expensive was the Fire District noting that fire divisions did not have any oversight



in the state. He said the longest part of the schedule was PG&E. He said one thing the city and other peninsula cities might do was lobby state senators and assembly members to modify the oversight of those two agencies so they were in sync with efforts to provide housing at a lower cost in a mutually beneficial way on existing property.

Commissioner Tate referred to program H2.E, the anti-displacement strategies and asked why the timeframe for that whole section was three years to implementation from adoption of the housing element as three years from now there might not be anybody left. She said she respected staff's time and current staff shortages but that was a long time. She asked if it could be moved to one year implementation.

Ms. Chow said she thought there was a recommendation to have a timeline that looked holistically at how all the programs and implementations fit with one another and what would happen at one, two, three years through the eight year cycle. She said that would give a better sense of prioritization and the amount of staff time needed. She said there were things programmed in the first year that might be more of a mandate so those items were prioritized. She said they certainly could reevaluate on what some of the priorities of our commissions were and see if they could advance some things. She said they were currently facing staff shortages and were in the process of hiring but that took time as well as staff capacity to implement effectively and efficiently. Planning Commissioner Tate said she hoped there was a way to move that up as three years was a long time. She said in the last year and three months they had definitely seen the displacement so it would be great if there was a way to prevent it from going too much further. She said that was a plug for the shared person in San Mateo County being paid among the 21 Elements cities to look at programs like this and implement.

Housing Commission Chair Bigelow said she agreed a master timeline would be wonderful to see what the actual priorities were. She said HCD called out renter protections as an anti-displacement strategy that affirmatively furthered fair housing so that seemed where they could start working as it was important to the housing element.

Housing Commission Chair Bigelow adjourned the joint meeting at 10:48 p.m.

Staff Liaison: Deanna Chow, Assistant Community Development Director

Recording Secretary: Brenda Bennett



## STAFF REPORT

### Planning Commission

**Meeting Date:**

**8/29/2022**

**Staff Report Number:**

**22-047-PC**

**Public Hearing:**

**Use Permit/Anna Felver/816 Laurel Avenue**

### Recommendation

Staff recommends that the Planning Commission approve a use permit to demolish an existing one-story, single-family residence and construct a new two-story, single-family residence on a substandard lot with regard to minimum lot width and area in the R-1-U (Single Family Urban Residential) zoning district. The draft resolution, including the recommended actions and conditions of approval, is included as Attachment A.

### Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal.

### Background

#### *Site location*

Using Laurel Avenue in the north-south orientation, the subject property is located on the eastern side of Laurel Avenue, between Chester Street to the north and Durham Street to the south, in the Willows neighborhood. Laurel Avenue is a residential street that runs on each side of US 101, in the Willows neighborhood and part of East Palo Alto. A location map is included as Attachment B.

Houses along Laurel Avenue include both one- and two-story residences, developed in a variety of architectural styles, including ranch, craftsman, and contemporary. The neighborhood features predominantly single-family residences that are also in the R-1-U zoning district, apart from several commercial uses in the C-4 (General Commercial) district and multifamily residences in the R-3 (Apartment) district along the eastern side of Willow Road. The United States Department of Veterans Affairs also has a campus along the western side of Willow Road, and it is designated as P-F (Public Facilities).

### Analysis

#### *Project description*

The subject property is currently occupied by a one-story residence with an attached one-car garage. The property has a substandard lot width of 43.3 feet, where 65 feet is required, and a substandard lot area of 5,264 square feet, where 7,000 square feet is required. The relatively narrow lot configuration results in the existing residence being nonconforming with regard to the left side setback.

The applicant is proposing to demolish the existing residence and construct a new two-story, single-family residence, along with an attached two-car garage in front of the property.

The proposed residence would include a total of four bedrooms and three bathrooms. The first floor of the proposed residence would include the attached garage, a bedroom, a bathroom, a dining room, and an open kitchen and great room. The second floor would include three bedrooms, two bathrooms, a room labeled "loft" and a laundry room. The required parking for the residence would be provided by an attached two-car garage, located in the front right corner of the residence.

On the second floor, a portion of the attic would be over five feet in height, meaning that this attic area counts towards the floor area limit (FAL). As currently shown on the plans, the FAL is not calculated correctly and the attic space would cause the proposal to exceed the permitted FAL. Staff has worked with the applicant to resolve this issue. Recommended Condition 2a would require the applicant to submit revised plans at the building permit stage showing adjustments to the ceiling height over the "loft" so the attic space equal to or greater than five feet in height does not exceed six square feet in area. With the recommended conditions of approval, the proposed residence would meet all Zoning Ordinance requirements for setbacks, lot coverage, FAL, daylight plane, parking, and height. Of particular note with regard to Zoning Ordinance requirements:

- With implementation of the aforementioned Condition 2a, the proposed floor area would be 2,800 square feet, where 2,800 square feet is the FAL for the site.
- The second floor would be limited in size relative to the development, with a floor area of 1,187.0 square feet, where 1,400 square feet is the maximum permitted.
- The proposed building coverage would be 1,598 square feet, approximately 30.4 percent of the lot area, where 35 percent is the maximum allowed.
- The proposed residence would be 27.7 feet in height, where 28 feet is the maximum allowed.
- On the first floor, a portion of the stair landing area, near the front entry, would extend beyond a height of 12 feet. This area, which constitutes 17 square feet, has been counted at 200 percent within the floor area calculations.

The proposed residence would be set back 20.3 feet from the front property line and 36.1 feet from the rear property line, where a 20-foot setback is required for both. The left side would have a 7.7-foot setback, and the right side would have a 5.7-foot setback. In the R-1-U zoning district, the minimum side setbacks are 10 percent of the lot width, but no less than five feet and no greater than 10 feet. As such, the required setback for each side of the property is five feet. The proposed second story would be stepped back from the first story on portions of the right and left sides, and would feature varied wall depths to minimize massing and increase separation from neighboring properties.

A data table summarizing parcel and project attributes is included as Attachment C. The project plans and the applicant's project description letter are included as Attachments D and E, respectively.

### ***Design and materials***

The applicant states in their project description letter that the proposed new residence is designed in a transitional style that blends modern elements. The exterior of the proposed residence would predominantly feature cementitious siding and trim and composition shingle roofing.



The windows and doors would be comprised of fiberglass. The left-side elevation would feature three second-floor windows with sill heights of approximately three feet above the finished floor, located along the stairwell, and all other second-floor windows along the side elevations would have sill heights of approximately 4.5 feet above the finished floor. Along the second floor of the rear elevation, the three centralized primary bedroom windows would feature a sill height of approximately 2.6 feet above the finished floor. Two windows facing the rear of the property would feature sill heights of approximately three feet but these would be stepped back from the rear façade. Proposed new trees would provide additional screening to address potential privacy concerns.

Staff believes that the scale, materials, and style of the proposed residence would result in a consistent aesthetic approach and are generally consistent with the broader neighborhood, given the similar architectural styles and sizes of structures in the area.

### ***Flood zone***

The subject property is located within the “AE” zone established by the Federal Emergency Management Agency (FEMA). Within this zone, flood-proofing techniques are required for new construction and substantial improvements of existing structures. Stated in general terms, the finished floor must be at least one foot above the base flood elevation (BFE). The Public Works Department has reviewed and tentatively approved the proposal for compliance with FEMA regulations. The sections (Plan Sheet A3.3 in Attachment D) show the BFE (27.5 feet) in relation to the existing average natural grade (approximately 26.0 feet) and the finished floor elevation (28.5 feet).

### ***Trees and landscaping***

The applicant has submitted an arborist report (Attachment F), detailing the species, size, and conditions of the nearby heritage and non-heritage trees. The report discusses the impacts of the proposed improvements and provides recommendations for tree maintenance and protection. As part of the project review process, the arborist report was reviewed by the City Arborist.

Based on the arborist report, there are 10 existing trees located on or near the property. Of these trees, two trees are heritage size. The heritage trees consist of a coast live oak tree (tree #1) located in the front of the neighboring property at 820 Laurel Avenue and a Japanese maple tree (tree #3) located in the center of the subject property.

The City Arborist reviewed the application and conditionally approved the removal permit for the one onsite heritage tree (tree #3) based on Criteria 5 (development) pursuant to the Heritage Tree Ordinance. Only development-based removals may be appealed, and the conditional approval to remove tree #3 was not appealed. The applicant is required to replace the full value of the trees and would achieve this by replanting trees on site at an equal value to the appraised value of the trees to be removed. In particular, two 36-inch box size coast live oak trees are proposed in the rear yard, one Chinese pistache tree near the rear property line, and one fern pine along the left side of the property, near the front of the proposed residence. Based on their appraisal value, these four replacement trees satisfy the replacement required for the removal of the one heritage tree. The planting of the replacement trees would also offer privacy and additional shading.

A total of eight trees assessed are non-heritage size, and all are located on the subject property and proposed for removal. Along with the four aforementioned heritage tree replacement plantings, the applicant is also proposing to plant seven additional trees on site, which include six common manzanita trees and one golden spirit smoke tree.

To protect the heritage and non-heritage trees on site, the arborist report has identified such measures as tree protection fencing, irrigation and mulching over impacted root protection zones, exposing roots through hand digging, potholing, or using an air spade, applying a geotextile fabric, trenching with hydro-vac equipment or air spade, placing piping beneath roots, or boring deeper trenches underneath roots, a certified arborist monitoring during and after construction. All recommended tree protection measures identified in the arborist report would be implemented and ensured as part of condition 1h.

### ***Correspondence***

The applicant states in their project description letter that the property owner has completed some outreach efforts, which involved sharing plans and details with neighbors. The applicant attached some correspondence with neighbors to the project description letter, and describes feedback received from neighbors and steps taken to address the feedback.

As of the writing of this report, staff received one letter of correspondence about the proposed project (Attachment G). The letter contained concerns with privacy and line of sight impacts, light and shadow changes from the new building massing, design style and materials choice, foundation construction impacts, the heritage tree removal request, size of house and garage, and construction traffic and activities affecting public safety and children walking to school. The applicant is aware of each of these concerns and provided specific feedback via email to the neighbor in response noting several changes and clarifications to address these concerns. To address privacy concerns, the applicant has reconfigured the primary bedroom location and raised sill heights along the second-floor side elevations. Regarding light and shadow, the applicant provided shadow study drawings within the plan set (Sheets A6.0 and A6.1) to illustrate summer and winter solstice conditions for the range of shadow impacts affected by the house, and the applicant has also proposed side setbacks, on each side, that are greater than what the Zoning Ordinance requires. With respect to design style and materials choice, the applicant has revised the style from earlier iterations to the transitional style proposed. The City has inspection and permitting processes in place to address construction impacts. Concerning the heritage tree removal request, the applicant has provided the necessary replacement value with the four trees proposed and completed the appeal period for their heritage tree removal permit, with no appeals filed. Lastly, the applicant is aware of the construction vehicle movement and access concerns, and the safety implications that these activities can cause for the neighborhood.

### ***Conclusion***

Staff believes that the design, scale, and materials of the proposed residence are generally compatible with the surrounding neighborhood, and would result in a consistent aesthetic approach. The architectural style would be generally attractive and well-proportioned, and the additional side setback distances and positioning of the second floor would help increase privacy while reducing the perception of mass. With

implementation of Condition 2a, the attic space included as floor area would be limited to maintain a total floor area that would not exceed the FAL. Staff recommends that the Planning Commission approve the proposed project.

### **Impact on City Resources**

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

### **Environmental Review**

The project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.

### **Public Notice**

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

### **Appeal Period**

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

### **Attachments**

- A. Draft Planning Commission Resolution of Approval Adopting Findings for project Use Permit, including project Conditions of Approval
  - Exhibits to Attachment A
    - A. Project Plans (See Attachment D to this (August 29, 2022) Planning Commission Staff Report)
    - B. Project Description Letter (See Attachment E to this (August 29, 2022) Planning Commission Staff Report)
    - C. Conditions of Approval
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter
- F. Arborist Report
- G. Correspondence

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings, and exhibits are available for public viewing at the Community Development Department.

**Exhibits to Be Provided at Meeting**

None

Report prepared by:  
Matt Pruter, Associate Planner

Report reviewed by:  
Corinna Sandmeier, Acting Principal Planner

**PLANNING COMMISSION RESOLUTION NO. 2022-XX****A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MENLO PARK APPROVING A USE PERMIT FOR THE DEMOLITION OF AN EXISTING ONE-STORY, SINGLE-FAMILY RESIDENCE AND CONSTRUCTION OF A NEW TWO-STORY, SINGLE-FAMILY RESIDENCE WITH AN ATTACHED ONE-CAR GARAGE ON A SUBSTANDARD LOT WITH REGARD TO MINIMUM LOT WIDTH AND AREA IN THE R-1-U (SINGLE FAMILY URBAN RESIDENTIAL) ZONING DISTRICT**

**WHEREAS**, the City of Menlo Park (“City”) received an application requesting to demolish an existing one-story, single-family residence, and construct a new two-story residence on a substandard lot with regard to minimum lot width and area in the Single Family Urban Residential (R-1-U) zoning district (collectively, the “Project”) from Anna Felver (“Applicant”), on behalf of the property owner SF21G, LLC (“Owner”), located at 816 Laurel Avenue (APN 062-235-030) (“Property”). The Project use permit is depicted in and subject to the development plans and project description letter, which are attached hereto as Exhibit A and Exhibit B, respectively, and incorporated herein by this reference; and

**WHEREAS**, the Property is located in the Single Family Urban Residential (R-1-U) district. The R-1-U district supports single-family residential uses; and

**WHEREAS**, the proposed Project complies with all objective standards of the R-1-U district, with implementation of Condition 2a, which requires plan revisions to show that no more than six square feet of attic space shall be equal to or greater than five feet in height; and

**WHEREAS**, the proposed Project was reviewed by the Engineering Division and found to be in compliance with City standards; and

**WHEREAS**, the Applicant submitted an arborist report prepared by California Tree and Landscape Consulting, Inc., which was reviewed by the City Arborist and found to be in compliance with the Heritage Tree Ordinance and proposes mitigation measures to adequately protect heritage trees in the vicinity of the project; and

**WHEREAS**, the Project, requires discretionary actions by the City as summarized above, and therefore the California Environmental Quality Act (“CEQA,” Public Resources Code Section §21000 et seq.) and CEQA Guidelines (Cal. Code of Regulations, Title 14, §15000 et seq.) require analysis and a determination regarding the Project’s environmental impacts; and

**WHEREAS**, the City is the lead agency, as defined by CEQA and the CEQA Guidelines, and is therefore responsible for the preparation, consideration, certification, and approval of environmental documents for the Project; and

**WHEREAS**, the Project is categorically except from environmental review pursuant to Cal. Code of Regulations, Title 14, §15303 et seq. (New Construction or Conversion of Small Structures); and

**WHEREAS**, all required public notices and public hearings were duly given and held according to law; and

**WHEREAS**, at a duly and properly noticed public hearing held on August 29, 2022, the Planning Commission fully reviewed, considered, and evaluated the whole of the record including all public and written comments, pertinent information, documents and plans, prior to taking action regarding the Project Revisions.

**NOW, THEREFORE, THE MENLO PARK PLANNING COMMISSION HEREBY RESOLVES AS FOLLOWS:**

**Section 1. Recitals.** The Planning Commission has considered the full record before it, which may include but is not limited to such things as the staff report, public testimony, and other materials and evidence submitted or provided, and the Planning Commission finds the foregoing recitals are true and correct, and they are hereby incorporated by reference into this Resolution.

**Section 2. Conditional Use Permit Findings.** The Planning Commission of the City of Menlo Park does hereby make the following Findings:

The approval of the use permit for the construction of new two-story residence on a substandard lot is granted based on the following findings which are made pursuant to Menlo Park Municipal Code Section 16.82.030:

1. That the establishment, maintenance, or operation of the use applied for will, under the circumstance of the particular case, not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing in the neighborhood of such proposed use, or injurious or detrimental to property and improvements in the neighborhood or the general welfare of the city because:
  - a. Consideration and due regard were given to the nature and condition of all adjacent uses and structures, and to general plans for the area in question and surrounding areas, and impact of the application hereon; in that, the proposed use permit is consistent with the R-1-U zoning district and the General Plan because two-story residences are allowed to be constructed on substandard lots subject to granting of a use permit and provided that the proposed residence conforms to applicable zoning standards, including, but not limited to, minimum setbacks, maximum floor area limit, and maximum building coverage.

- b. The proposed residence would include the required number of off-street parking spaces because one covered and one uncovered parking space would be required at a minimum, and two covered parking spaces are provided.
- c. The proposed Project is designed to meet all the applicable codes and ordinances of the City of Menlo Park Municipal Code and the Commission concludes that the Project would not be detrimental to the health, safety, and welfare of the surrounding community as the new residence would be located in a single-family neighborhood and designed such that privacy concerns would be addressed through second story setbacks greater than the minimum required setbacks in the R-1-U district.

**Section 3. Conditional Use Permit.** The Planning Commission approves Use Permit No. PLN2022-00003, which use permit is depicted in and subject to the development plans and project description letter, which are attached hereto and incorporated herein by this reference as Exhibit A and Exhibit B, respectively. The Use Permit is conditioned in conformance with the conditions attached hereto and incorporated herein by this reference as Exhibit C.

**Section 4. ENVIRONMENTAL REVIEW.** The Planning Commission makes the following findings, based on its independent judgment after considering the Project, and having reviewed and taken into consideration all written and oral information submitted in this matter:

- A. The Project is categorically except from environmental review pursuant to Cal. Code of Regulations, Title 14, §15303 et seq. (New Construction or Conversion of Small Structures)

**Section 5. SEVERABILITY**

If any term, provision, or portion of these findings or the application of these findings to a particular situation is held by a court to be invalid, void or unenforceable, the remaining provisions of these findings, or their application to other actions related to the Project, shall continue in full force and effect unless amended or modified by the City.

I, Corinna Sandmeier, Acting Principal Planner and Planning Commission Liaison of the City of Menlo Park, do hereby certify that the above and foregoing Planning Commission Resolution was duly and regularly passed and adopted at a meeting by said Planning Commission on August 29, 2022, by the following votes:

AYES:

NOES:

ABSENT:

ABSTAIN:

IN WITNESS THEREOF, I have hereunto set my hand and affixed the Official Seal of said City on this 29<sup>th</sup> day of August, 2022

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Corinna Sandmeier  
Acting Principal Planner and Planning Commission Liaison  
City of Menlo Park

Exhibits

- A. Project Plans
- B. Project Description Letter
- C. Conditions of Approval



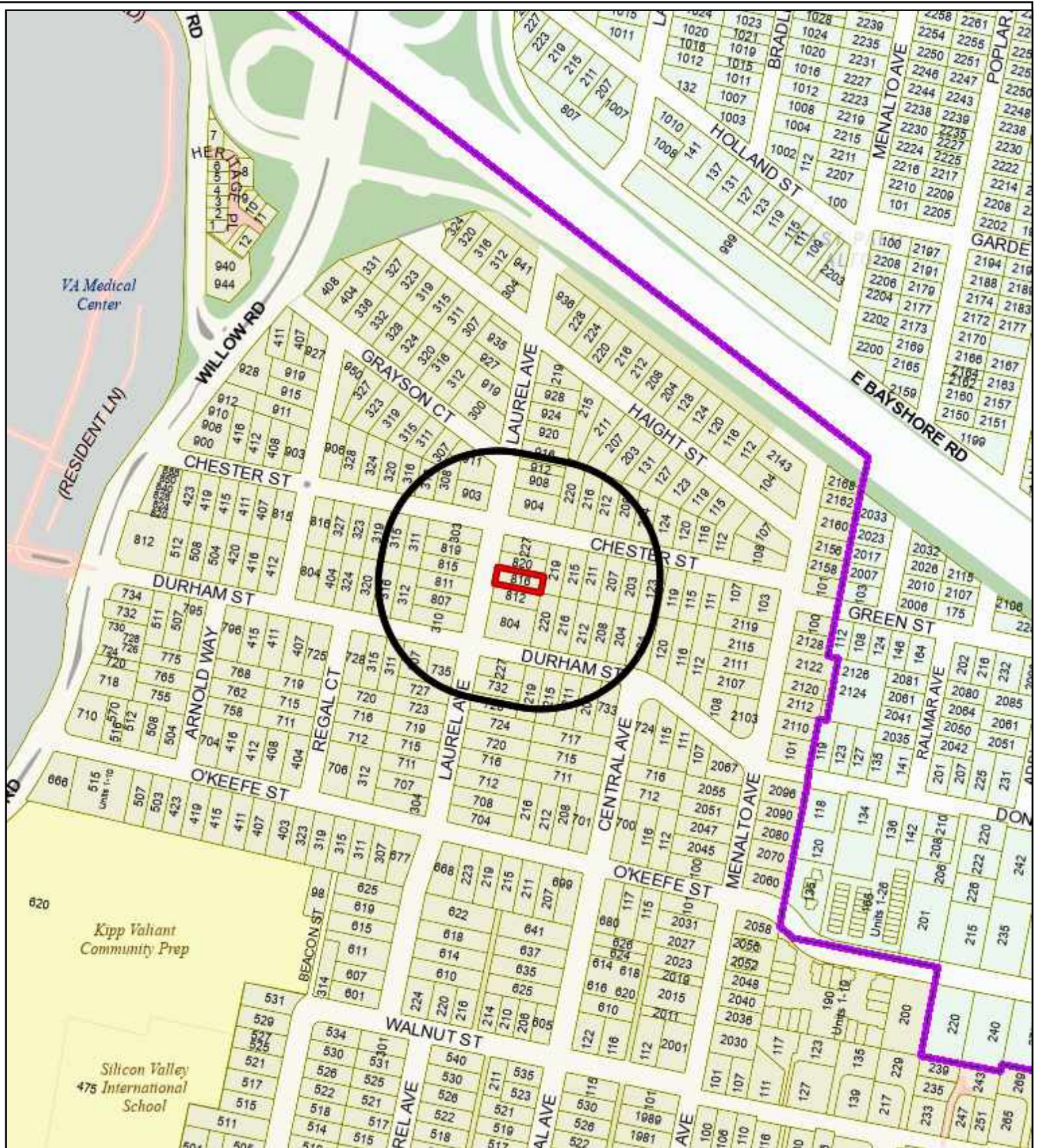
|                                    |                                      |                               |                          |
|------------------------------------|--------------------------------------|-------------------------------|--------------------------|
| <b>LOCATION:</b> 816 Laurel Avenue | <b>PROJECT NUMBER:</b> PLN2022-00003 | <b>APPLICANT:</b> Anna Felver | <b>OWNER:</b> SF21G, LLC |
|------------------------------------|--------------------------------------|-------------------------------|--------------------------|

**PROJECT CONDITIONS:**

1. The use permit shall be subject to the following standard conditions:
  - a. The applicant shall be required to apply for a building permit within one year from the date of approval (by August 29, 2023) for the use permit to remain in effect.
  - b. Development of the project shall be substantially in conformance with the plans prepared by Bassenian Lagoni Architects, consisting of 22 plan sheets, dated received August 15, 2022 and approved by the Planning Commission on August 29, 2022, except as modified by the conditions contained herein, subject to review and approval of the Planning Division.
  - c. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.
  - d. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
  - e. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.
  - f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.
  - g. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.
  - h. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the arborist report prepared by California Tree and Landscape Consulting, Inc., dated received April 14, 2022.
  - i. Prior to building permit issuance, the applicant shall pay all fees incurred through staff time spent reviewing the application.
  - j. The applicant or permittee shall defend, indemnify, and hold harmless the City of Menlo Park or its agents, officers, and employees from any claim, action, or proceeding against the City of Menlo Park or its agents, officers, or employees to attack, set aside, void, or annul an approval of the Planning Commission, City Council, Community Development Director, or any other department, committee, or agency of the City concerning a development, variance, permit, or land use approval which action is brought within the time period provided for in any applicable statute; provided, however, that the applicant's or permittee's duty to so defend, indemnify, and hold harmless shall be subject to the City's promptly notifying the applicant or permittee of any said claim, action, or proceeding and the City's full cooperation in the applicant's or permittee's defense of said claims, actions, or proceedings.

|   |                                      |                               |                          |
|---|--------------------------------------|-------------------------------|--------------------------|
| <b>LOCATION:</b> 816 Laurel Avenue  | <b>PROJECT NUMBER:</b> PLN2022-00003 | <b>APPLICANT:</b> Anna Felver | <b>OWNER:</b> SF21G, LLC |
| <b>PROJECT CONDITIONS:</b><br><p>2. The use permit shall be subject to the following <i>project-specific</i> condition:</p> <p>a. Simultaneous with the submittal of a complete building permit application, the applicant shall submit revised plans showing adjustments to the ceiling height over the “loft” space so the attic space equal to or greater than five feet in height, as measured from the top of the ceiling joist to the bottom of the roof sheathing, does not exceed six square feet in area, subject to review and approval of the Planning Division.</p> |                                      |                               |                          |





City of Menlo Park  
 Location Map  
 816 Laurel Avenue



816 Laurel Avenue – Attachment C: Data Table

|  | <b>PROPOSED PROJECT</b>  | <b>EXISTING PROJECT</b>   | <b>ZONING ORDINANCE</b> |
|--|--|---|-------------------------|
| Lot area   | 5,264 sf   | 5,264 sf  | 7,000 sf min.           |
| Lot width  | 43.3 ft.   | 43.3 ft.  | 65 ft. min.             |
| Lot depth  | 121.5 ft.  | 121.5 ft.   | 100 ft. min.            |
| Setbacks   |  |   |                         |
| Front  | 20.3 ft.   | 25.1 ft.  | 20 ft. min.             |
| Rear   | 36.1 ft.   | 44.5 ft.  | 20 ft. min.             |
| Side (left)  | 7.7 ft.  | 7.3 ft.   | 5 ft. min.              |
| Side (right)   | 5.7 ft.  | 2.9 ft.   | 5 ft. min.              |
| Building coverage  | 1,598 sf   | 1,270 sf  | 1,842.4 sf max.         |
|  | 30.0 %   | 24.1 %  | 35 % max.               |
| FAL (Floor Area Limit)   | 2,800* sf  | 1,171 sf  | 2,800 sf max.           |
| Square footage by floor  | 1,144 sf/1st<br>1,187 sf/2nd<br>446 sf/garage<br>6 sf/attic<br>17 sf/greater than 12 feet<br>8 sf/fireplaces | 896 sf/1st<br>275 sf/garage<br>92 sf/porches<br>7 sf/fireplaces |                         |
| Square footage of buildings  | 2,807 sf   | 1,270 sf  |                         |
| Building height  | 27.7 ft.   | 12.9 ft.  | 28 ft. max.             |
| Parking  | 2 covered  | 1 covered   | 1 covered/1 uncovered   |
| Note: Areas shown highlighted indicate a nonconforming or substandard situation. |  |   |                         |

| Trees                               |   |   |   |                       |    |
|-------------------------------------|---|---|---|-----------------------|----|
| Heritage trees**                    | 2 | Non-Heritage trees***                   | 8 | New Trees             | 11 |
| Heritage trees proposed for removal | 1 | Non-Heritage trees proposed for removal | 8 | Total Number of Trees | 12 |

\*This total floor area of 2,800 square feet is based on Condition 2a, which requires revisions to the plans to change the attic in order to ensure that no more than six square feet of attic space is equal to or greater than five feet in height.

\*\* Of the 8 heritage trees, one heritage tree is located in a neighboring property and one is located on the subject property.

\*\*\* Of the non-heritage trees, all 8 are located on site.



# 816 LAUREL AVENUE MENLO PARK, CA 94025

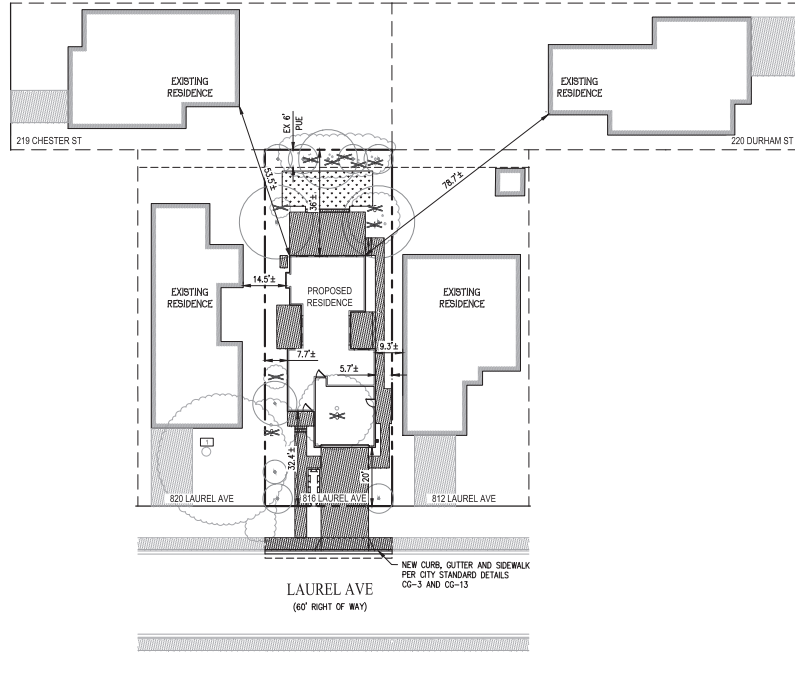
August 15th, 2022



| PROJECT DATA                 |   |
|------------------------------|---|
| LEGAL DESCRIPTION:           | LOT 1 IN BLOCK 20<br>MENLO TO PARK MAP NO. 3,<br>SAN MATEO COUNTY, CALIFORNIA   |
| APN:                         | 062-235-030   |
| PROJECT ADDRESS:             | 816 LAUREL AVE.<br>MENLO PARK, CA 94025   |
| ZONING:                      | R-1-U   |
| BUILDING CLASSIFICATION:     | SINGLE FAMILY DETACHED R3U<br>FIRE SPRINKLERS PER CBC R313.3  |
| TYPE OF CONSTRUCTION:        | TYPE V-B  |
| FIRE ZONE:                   | N/A   |
| SITE AREA:                   | 5,264 SQ. FT.   |
| COVERED PARKING:             | 2   |
| ALLOWABLE LOT COVERAGE:      | 30%   |
| PROPOSED LOT COVERAGE:       | 30% (1,805 SQ.FT.)  |
| ALLOWABLE FAL:               | 2,800 SQ. FT.   |
| PROPOSED FAL:                | 2,800 SQ. FT.   |
| ALLOWABLE 2nd FLOOR FAL:     | 1,400 SQ. FT.   |
| PROPOSED 2nd FLOOR FAL:      | 1,187 SQ. FT.   |
| BUILDING HEIGHT:             | = 27'-8"  |
| SETBACKS:                    |   |
|                              | <u>PROPOSED</u> <u>REQUIRED</u>   |
| FRONT:                       | 20'-0"                              20'-0" MIN.   |
| SIDE:                        | 7'-8" (LEFT) / 5'-8" (RIGHT)      5'-0" MIN.  |
| REAR:                        | 36'-3/4"                              20'-0" MIN.   |
| SQUARE FOOTAGE:              |   |
|                              | <u>PROPOSED</u>   |
| FIRST FLOOR:                 | 1,144 SQ. FT.   |
| SECOND FLOOR:                | 1,187 SQ. FT.   |
| TOTAL LIVABLE:               | 2,331 SQ. FT.   |
| GARAGE:                      | 453 SQ. FT.   |
| ATTIC SPACE >= 8' IN HEIGHT: | 16 SQ. FT.  |
| FAL:                         | 2,800 SQ. FT.   |
| CODES:                       | 2019 CALIFORNIA BUILDING CODE<br>2019 CALIFORNIA RESIDENTIAL CODE<br>2019 CALIFORNIA MECHANICAL CODE<br>2019 CALIFORNIA PLUMBING CODE<br>2019 CALIFORNIA FIRE CODE<br>2019 CALIFORNIA ELECTRICAL CODE<br>2019 CALIFORNIA ENERGY CODE<br>2019 CALIFORNIA GREEN BUILDING STANDARDS CODE |
| GOVERNING BODY:              | CITY OF MENLO PARK  |

| DIRECTORY   | FLOOD ZONE NOTES   |
|---|--|
| <p><b>OWNER:</b><br/>THOMAS JAMES HOMES<br/>255 SHORELINE DRIVE, SUITE 428<br/>REDWOOD CITY, CA 94065<br/>CONTACT: CYNTHIA THIEBAUT<br/>PHONE: (650) 382-0648<br/>EMAIL: CTHEBAUT@TJ.HSUSA.COM</p> <p><b>ARCHITECTS:</b><br/>BASSENIAN LAGONI ARCHITECTS<br/>2031 ORCHARD DRIVE<br/>NEWPORT BEACH, CA 92660<br/>CONTACT: TERESSA OGHREIN<br/>PHONE: (949) 553-9100<br/>EMAIL: TERESSAQ@BASSENIANLAGONI.COM</p>  | <p><b>CIVIL ENGINEER:</b><br/>CRG<br/>2633 CAMINO RAMON #350<br/>SAN RAMON, CA 94583<br/>PHONE: (925) 866-0322</p> <p><b>THIS PROJECT IS IN A DESIGNATED FLOOD ZONE</b><br/>ZONE: AE<br/>DFE (BASE FLOOD ELEV.): 27.5<br/>DFE (DESIGN FLOOD ELEV.): DFE + 1' = 28.5</p> <p><b>CITY OF MENLO PARK REQUIREMENTS:</b><br/>AN ELEVATION CERTIFICATE IS REQUIRED TO BE SUBMITTED FOR ALL EXISTING SUBSTANTIAL IMPROVEMENTS ON THE FLOOD ZONE. AN EXISTING ELEVATION CERTIFICATE IS NOT MANDATORY FOR NEW CONSTRUCTION BUT SITE ELEVATIONS SHOULD BE SHOWN CLEARLY ON THE TOPOGRAPHIC SURVEY. A POST-CONSTRUCTION ELEVATION CERTIFICATE WILL BE REQUIRED PRIOR TO FINAL INSPECTION FOR ALL APPLICABLE PROJECTS IN THE FLOOD ZONE.</p> <p>THE ELEVATION CERTIFICATE AND TOPOGRAPHIC SURVEY SHALL BE BASED ON THE NAVD83 (NORTH AMERICAN VERTICAL DATUM OF 1983). THIS IS THE DATUM USED IN THE CITY'S DIGITAL FLOOD INSURANCE RATE MAPS (FIRMS) AND REPRESENTS THE SEA LEVEL ELEVATION FROM WHICH ALL OTHER ELEVATIONS OR ALTITUDES ARE MEASURED. PRIOR TO OCT. 15, 2012, THE FIRMS WERE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29). PLANS AND ELEVATIONS CERTIFICATES BASED ON THIS OLD DATUM WILL NOT BE ACCEPTED.</p> <p>THE ON-SITE DRAINAGE PLAN SHALL SHOW HOW FLOOD WATERS WILL BE DIRECTED AROUND THE STRUCTURE. SHOW THAT THE 1% ANNUAL FLOOD WILL HAVE NO ADVERSE IMPACT ON NEIGHBORING PROPERTIES.</p> <p><b>FLOOD NOTES:</b></p> <ol style="list-style-type: none"> <li>THE PROJECT IS BUILT IN COMPLIANCE WITH THE CITY'S FLOOD DAMAGE PREVENTION ORDINANCE, CHAPTER 12, SECT. 42.</li> <li>ALL MATERIALS BELOW DFE SHALL BE RESISTANT TO FLOOD DAMAGE. (I.E. CONCRETE, REDWOOD OR PRESSURE TREATED DOUGLAS FIR)</li> <li>THE BOTTOM ELEVATION OF ALL APPLIANCES AND UTILITIES (METERS, AIR CONDITIONING UNITS, ETC.) SHALL BE AT OR ABOVE DFE.</li> <li>STORM RUNOFF RESULTING FROM THE PROJECT'S GRADING AND DRAINAGE ACTIVITIES SHALL NOT ENCRUSCH ONTO ANY NEIGHBORING LOT. RUN-OFF MUST BE CONTAINED ON-SITE.</li> <li>NO BASEMENTS OR ANY HABITABLE ENCLOSURE BELOW THE DFE ARE ALLOWED FOR PROJECTS IN THE FLOOD ZONE.</li> <li>FLOOD VENTS SHALL BE INSTALLED FOR ALL NON-HABITABLE ENCLOSURES BELOW THE DFE (I.E. CRAWLSPACE, GARAGE, ETC.) AT A RATE OF 1 S.F. OF NET OPENING TO 1 S.F. OF ENCLOSURE. REFER TO ENGINEERING PLANS HEREIN FOR VENT LOCATIONS AND CALCULATIONS.</li> </ol> <p><b>GENERAL NOTES:</b><br/>ANY FRONTAGE IMPROVEMENTS WHICH ARE DAMAGED AS A RESULT OF CONSTRUCTION WILL BE REQUIRED TO BE REPLACED. ALL FRONTAGE IMPROVEMENT WORK SHALL BE IN ACCORDANCE WITH THE LATEST VERSION OF THE CITY STANDARD DETAILS.</p> <p>AN ENCROACHMENT PERMIT FROM THE ENGINEERING DIVISION IS REQUIRED PRIOR TO ANY CONSTRUCTION ACTIVITIES, INCLUDING UTILITY LATERALS, IN THE PUBLIC RIGHT OF WAY.</p> |
| SHEET INDEX   |  |
| <p>A0.0 COVER SHEET</p> <p>AP-1 AREA PLAN</p> <p>A1.0 PROPOSED SITE PLAN</p> <p>A2.0 EXISTING FLOOR PLAN</p> <p>A2.1 EXISTING ROOF PLAN</p> <p>A2.2 EXISTING EXTERIOR ELEVATIONS</p> <p>A3.0 PROPOSED FLOOR PLAN</p> <p>A3.1 PROPOSED EXTERIOR ELEVATIONS: FRONT, REAR, AND ROOF PLAN</p> <p>A3.2 PROPOSED EXTERIOR ELEVATIONS: LEFT AND RIGHT</p> <p>A3.3 PROPOSED SECTIONS</p> <p>A4.0 COLOR AND MATERIAL BOARD</p> <p>A5.0 SQUARE FOOTAGE CALCULATIONS</p> <p>A6.0-6.1 SHADOW STUDY</p> <p>L1.1 CONSTRUCTION PLAN</p> <p>L2.1-2.2 CONSTRUCTION DETAILS</p> <p>L4.1 PLANTING PLAN</p> <p>L4.2 PLANTING LEGEND AND NOTES</p> <p>L4.3 PLANTING DETAILS</p> <p>L5.1 TREE PROTECTION PLAN AND DETAIL</p> <p>C-1 BOUNDARY AND TOPOGRAPHIC SURVEY</p> |  |
| VICINITY MAP  |  |
|   |  |





AREA PLAN  
SCALE: 1"=20'



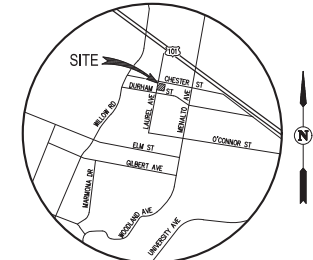
LAUREL AVE STREET SCAPE  
SCALE: 1/4" = 1'

| EXISTING TREES TO BE REMOVED |                |          |                    |               |          |             |
|------------------------------|----------------|----------|--------------------|---------------|----------|-------------|
| TREE NUMBER                  | COMMON NAME    | DBH (IN) | CANOPY RADIUS (FT) | HERITAGE TREE | OFF-SITE | STREET TREE |
| 2                            | PRIVET         | 10       | 5                  | NO            | NO       | NO          |
| 3                            | JAPANESE MAPLE | 15       | 19                 | YES           | NO       | NO          |
| 4                            | VBURNJUM       | 8        | 6                  | NO            | NO       | NO          |
| 5                            | VBURNJUM       | 7        | 7                  | NO            | NO       | NO          |
| 6                            | PRIVET         | 8        | 5                  | NO            | NO       | NO          |
| 7                            | PRIVET         | 7        | 6                  | NO            | NO       | NO          |
| 8                            | PRIVET         | 8        | 6                  | NO            | NO       | NO          |
| 9                            | PRIVET         | 7        | 6                  | NO            | NO       | NO          |
| 10                           | PRIVET         | 7        | 7                  | NO            | NO       | NO          |

| EXISTING TREES TO REMAIN |                |          |                    |               |          |             |
|--------------------------|----------------|----------|--------------------|---------------|----------|-------------|
| TREE NUMBER              | COMMON NAME    | DBH (IN) | CANOPY RADIUS (FT) | HERITAGE TREE | OFF-SITE | STREET TREE |
| 1                        | COAST LIVE OAK | 36       | 24                 | YES           | YES      | NO          |

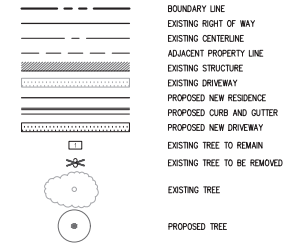
NOTES:

- THE TABLES ABOVE CONTAIN A SUMMARY OF INFORMATION PRESENT IN THE ARBORIST REPORT. PLEASE REFER TO THE ARBORIST REPORT DATED JANUARY 26, 2022 AND PREPARED BY CALIFORNIA TREE AND LANDSCAPE CONSULTING, INC FOR MORE INFORMATION.
- TREES SHOWN TO BE REMOVED ON PLAN WITHOUT A NUMBER ARE NON-PROTECTED TREES.

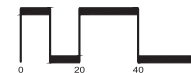


VICINITY MAP  
NOT TO SCALE

LEGEND



816 LAUREL AVE  
AREA PLAN  
THOMAS JAMES HOMES  
CITY OF MENLO PARK SAN MATEO COUNTY CALIFORNIA  
SCALE: 1" = 20' DATE: JULY 6, 2022

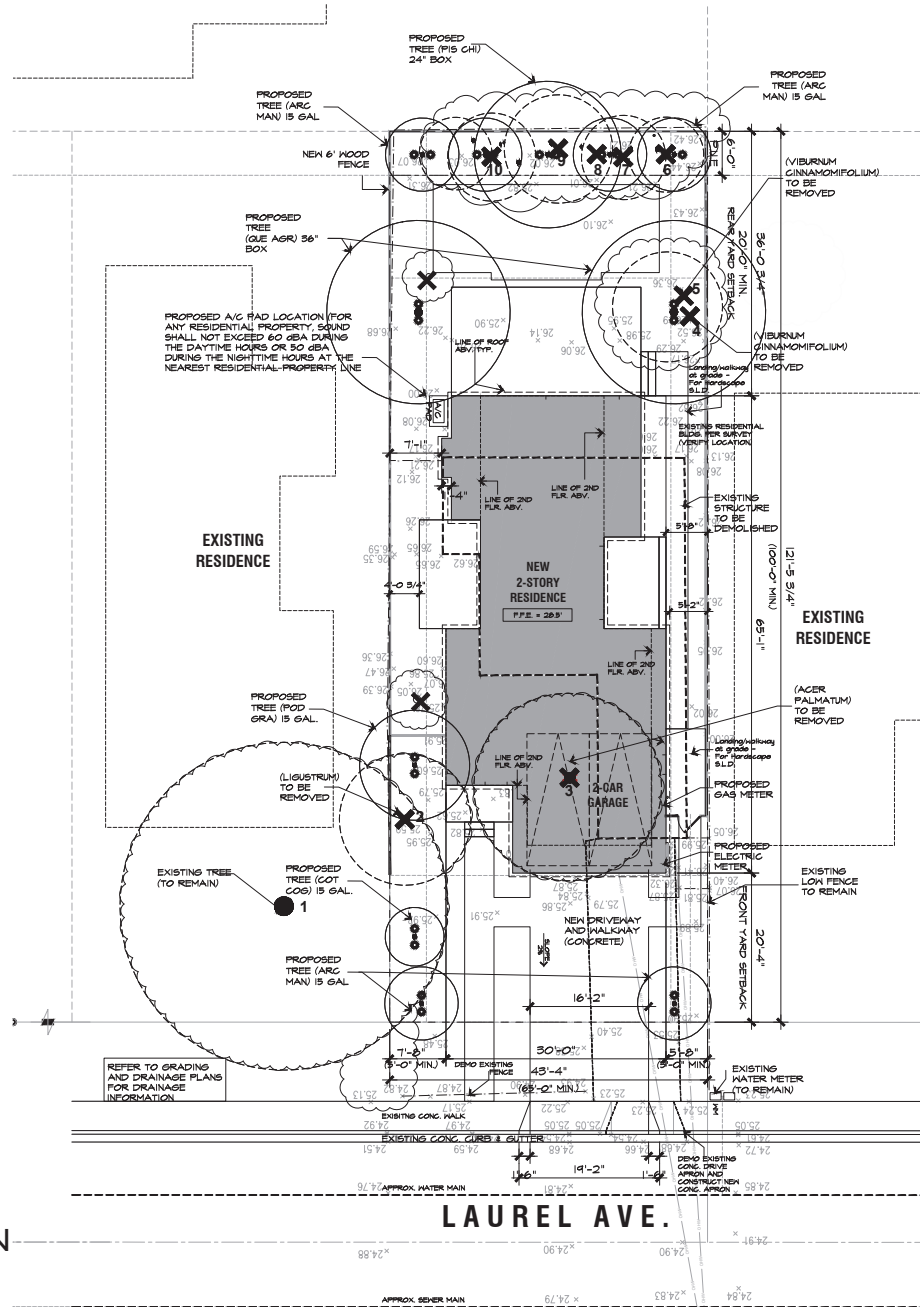


SAN RAMON : (925) 866-0322  
ROSEVILLE : (916) 375-1877  
WWW.CBANDCG.COM

SHEET NO.  
AP-1  
OF 1 SHEETS

- Existing Building
- Existing Fence
- Property Line
- Setbacks
- Proposed First Floor
- Proposed Second Floor
- Proposed Roof
- Proposed Hardscape

| TREE PROTECTION LEGEND   |                          |     |                  |                |                |
|--|--------------------------|-----|------------------|----------------|----------------|
| DESCRIPTION  | SYMBOL                   |     |                  |                |                |
| TREE TO BE REMOVED   |                          |     |                  |                |                |
| TREE TO REMAIN AND PROTECT   |                          |     |                  |                |                |
| PROPOSED TREE, SEE PLANTING PLAN   |                          |     |                  |                |                |
| TREE PROTECTION FENCING  |                          |     |                  |                |                |
| TEMPORARY TREE PROTECTION FENCING  |                          |     |                  |                |                |
| NOTES:   |                          |     |                  |                |                |
| 1. SEE SHEET L4.2 FOR PROPOSED TREE SPECIES.   |                          |     |                  |                |                |
| 2. SEE ARBORIST REPORT BY THOMAS M. STEIN, CERTIFIED ARBORIST #16-0084, DATED NOVEMBER 26, 2021. |                          |     |                  |                |                |
| TREE MITIGATION TABLE  |                          |     |                  |                |                |
| DESCRIPTION  | QUANTITY                 |     |                  |                |                |
| TREES ON SITE  | 8                        |     |                  |                |                |
| TREES OFF SITE   | 1                        |     |                  |                |                |
| TREES TO BE REMOVED  | 8                        |     |                  |                |                |
| HERITAGE TREES TO BE REMOVED   | 1                        |     |                  |                |                |
| PROPOSED TREES   | 11                       |     |                  |                |                |
| TOTAL PROPOSED TREES AND TREES TO REMAIN (11 ON SITE AND 1 OFF SITE)                             | 12                       |     |                  |                |                |
| HERITAGE TREE REPLACEMENT TREES  |                          |     |                  |                |                |
| DESCRIPTION  | VALUE                    |     |                  |                |                |
| TWO (2) QUERCUS AGROFOLIA, 30" BOX   | \$2,400                  |     |                  |                |                |
| ONE (1) PISTACHIA CHINENSIS, 24" BOX   | \$400                    |     |                  |                |                |
| ONE (1) PODOCARPUS GARCULER, 24" BOX   | \$400                    |     |                  |                |                |
| REPLACEMENT TREES TOTAL  | \$3,200                  |     |                  |                |                |
| ACER PALMATUM HERITAGE TREE TO BE REMOVED  | \$3,150                  |     |                  |                |                |
| EXISTING TREE TABLE  |                          |     |                  |                |                |
| #  | SPECIES                  | DIM | CONDITION        | RETAIN/ REMOVE | HERITAGE TREE? |
| 1  | Quercus agrifolia        | 36" | No problems      | Retain         | Yes            |
| 2  | Liquidum                 | 10" | Extreme problems | Remove         | No             |
| 3  | Acer palmatum            | 15" | Minor problems   | Retain         | Yes            |
| 4  | Viburnum cinnamomifolium | 8"  | Major problems   | Remove         | No             |
| 5  | Viburnum cinnamomifolium | 7"  | Major problems   | Remove         | No             |
| 6  | Liquidum                 | 8"  | Major problems   | Remove         | No             |
| 7  | Liquidum                 | 7"  | Major problems   | Remove         | No             |
| 8  | Liquidum                 | 8"  | Major problems   | Remove         | No             |
| 9  | Liquidum                 | 7"  | Major problems   | Remove         | No             |
| 10   | Liquidum                 | 7"  | Major problems   | Remove         | No             |



# PROPOSED SITE PLAN

## 816 LAUREL AVENUE

Menlo Park, California

LAUREL AVE.

AI.0

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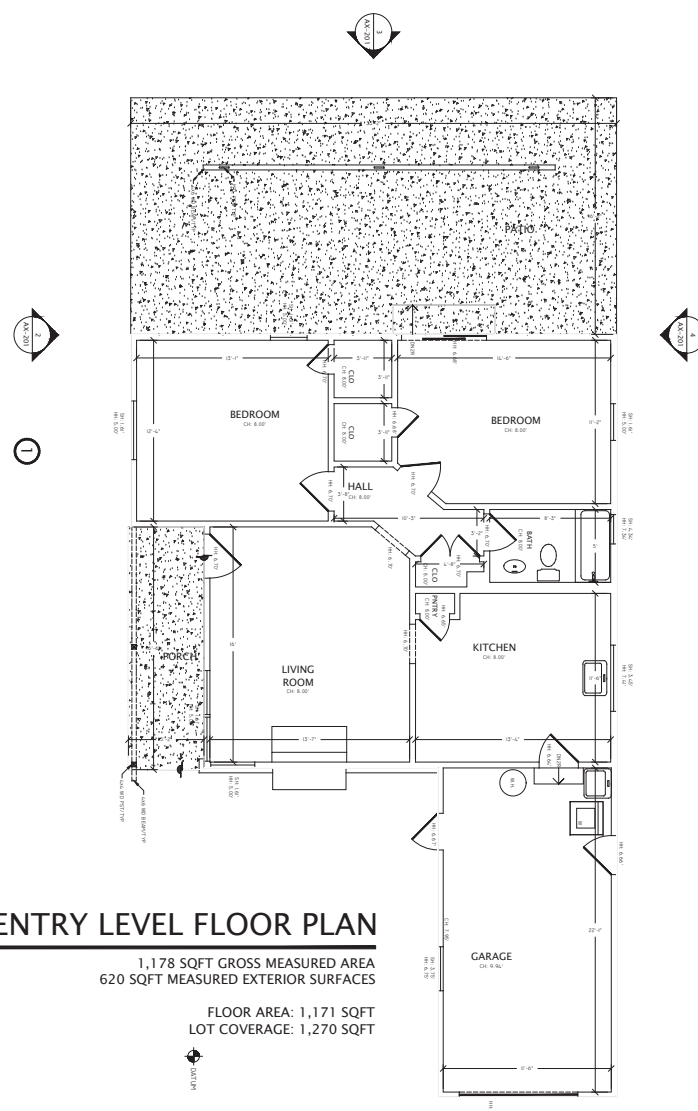
201 Crater Drive, Suite 100  
Menlo Park, CA USA 94025  
Tel: +1 949 553 9100  
Fax: +1 949 553 5548

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B23-CO

08.15.22





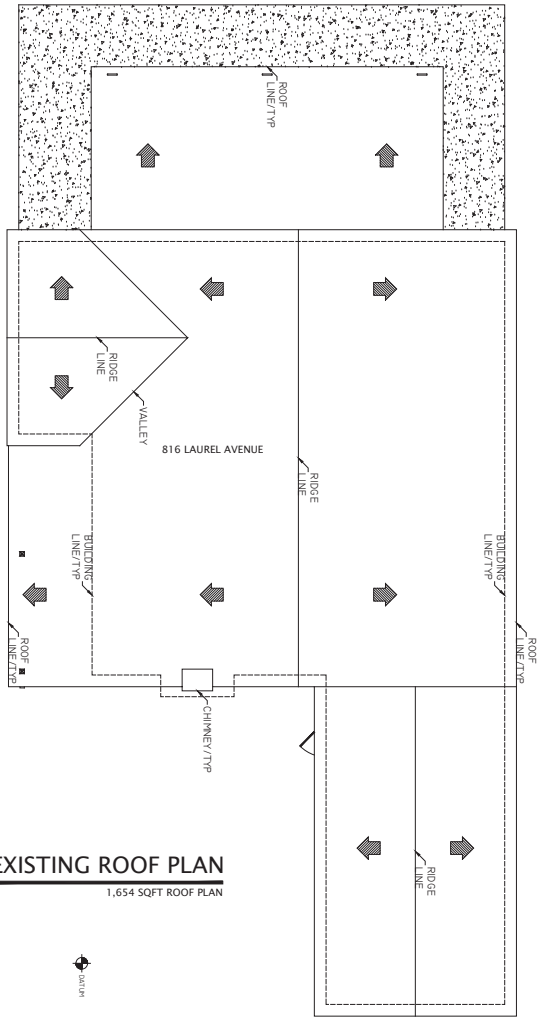
**EXISTING ENTRY LEVEL FLOOR PLAN**  
 1,178 SQFT GROSS MEASURED AREA  
 620 SQFT MEASURED EXTERIOR SURFACES  
 FLOOR AREA: 1,171 SQFT  
 LOT COVERAGE: 1,270 SQFT

THESE ARE BASIC FLOOR PLANS WITH SPECIFIC ELEMENTS SHOWN FOR CLIENT REQUEST. NOT ALL INTERIOR ELEMENTS SHOWN.

|  |   |
|--|---|
| 816 LAUREL AVENUE<br>MENLO PARK, CA 94025  |   |
| <small>THIS DRAWING IS A RECORD OF REAL PROPERTY THAT IS CONSIDERED ACCEPTED TO BE SUFFICIENT FOR USE IN PLANNING, DESIGN, LEASE AND CONSTRUCTION MANAGEMENT. IT SHOULD NOT BE USED TO DETERMINE THE DIMENSIONS OF SPACES OR ARTIFACTS FOUND HEREIN FOR ANY PURPOSE.</small> | <br><b>ASBUILT SERVICES</b><br><small>FOR THE RECORD SINCE 1990<br/>1-800-318-0099 ASBUILTSERVICES.COM</small> |
| <small>EXTERIOR ELEMENTS HAVE BEEN MEASURED AND DRAFTED FOR REFERENCE ONLY - THIS IS NOT A SURVEY.</small>   |   |
| <b>EXISTING FLOOR PLANS (TO BE DEMOLISHED)</b>   |   |
| <small>REF: 816s1-1_south_SFD<br/>REV: 0<br/>DRAWN BY: DL<br/>AUDITED BY: JK</small>   | <small>SHEET SIZE: 24x36<br/>SCALE: 1/4" = 1'-0"<br/>FIELD MEASURE:<br/>8/19/2021</small>   |
| <b>A2.0</b>  |   |



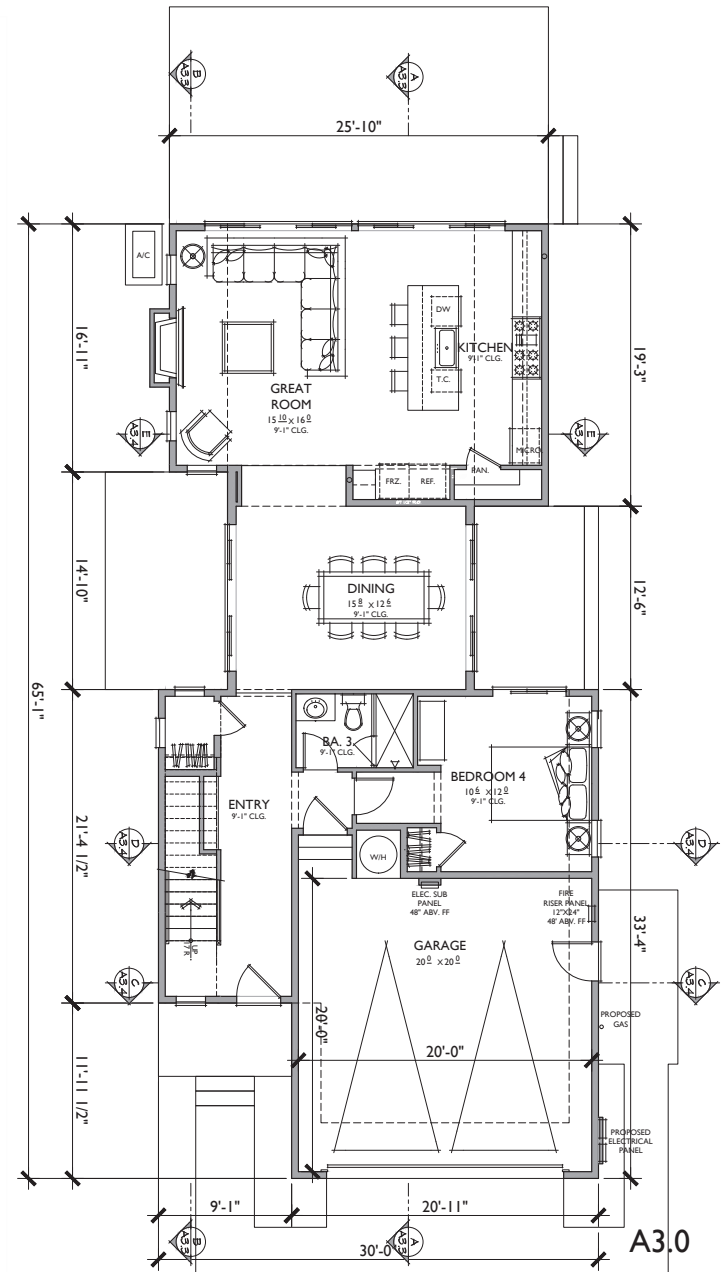
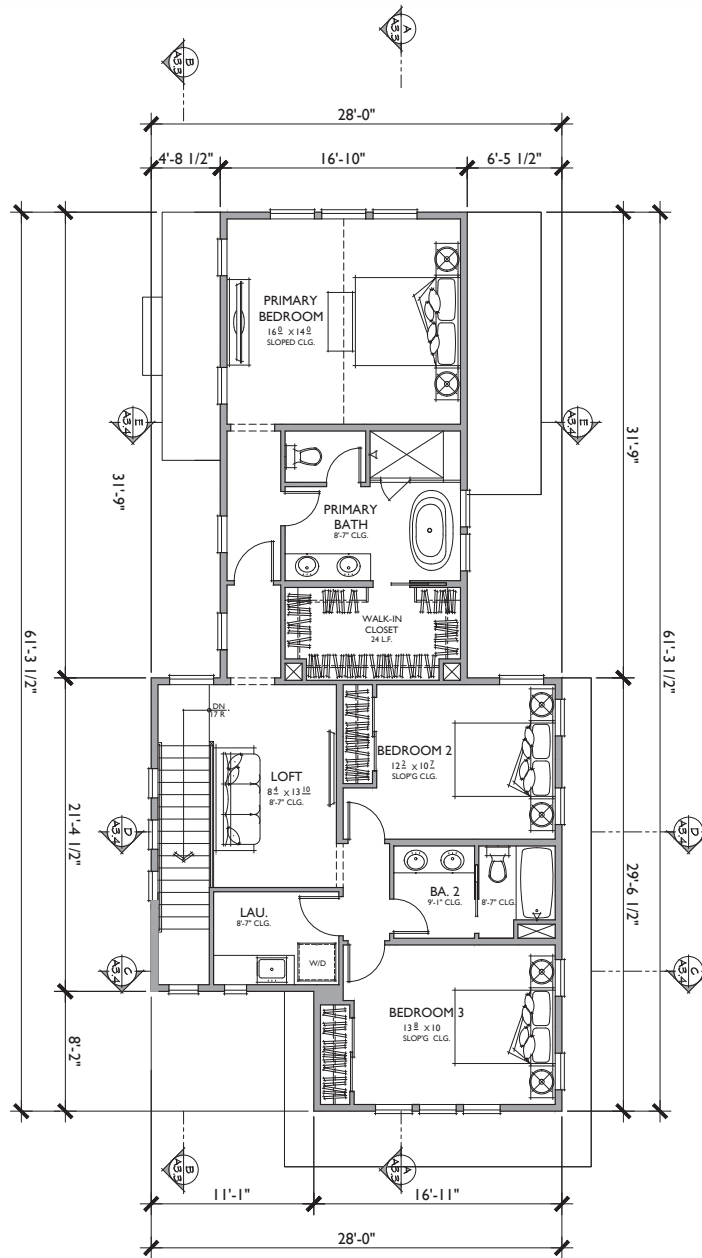




1 EXISTING ROOF PLAN  
1,654 SQFT ROOF PLAN



|   |   |
|---|---|
| 816 LAUREL AVENUE<br>MENLO PARK, CA 94025   |   |
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| EXISTING ROOF PLAN (TO BE DEMOLISHED)   |   |
| REF: 816d-1_SouR_SFD<br>REV: 0<br>DRAWN BY: DL<br>AUDITED BY: JK  | SHEET SIZE: 24x36<br>SCALE: 1/4" = 1'-0"<br>FIELD MEASURE:<br>8/19/2021   |
| A2.1  |   |



4 BEDROOMS / 3 BATHS + LOFT  
2 - CAR GARAGE

| FLOOR AREA TABLE    |                      |
|---------------------|----------------------|
| 1ST FLOOR           | 1,144 SQ. FT.        |
| 2ND FLOOR           | 1,187 SQ. FT.        |
| <b>TOTAL LIVING</b> | <b>2,331 SQ. FT.</b> |
| 2 - CAR GARAGE      | 446 SQ. FT.          |

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

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fax: +1 949 552 5548

## FLOOR PLAN

816 LAUREL AVENUE

Menlo Park, California

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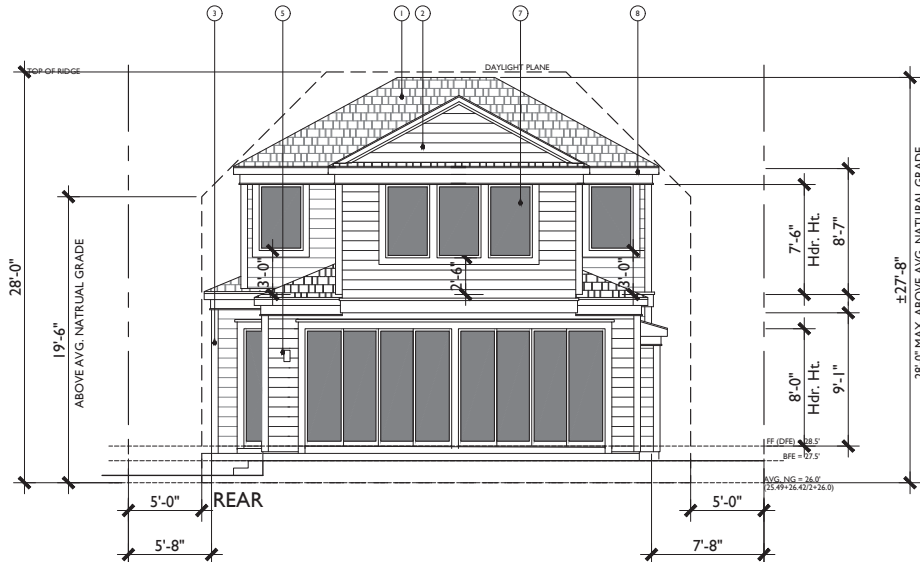
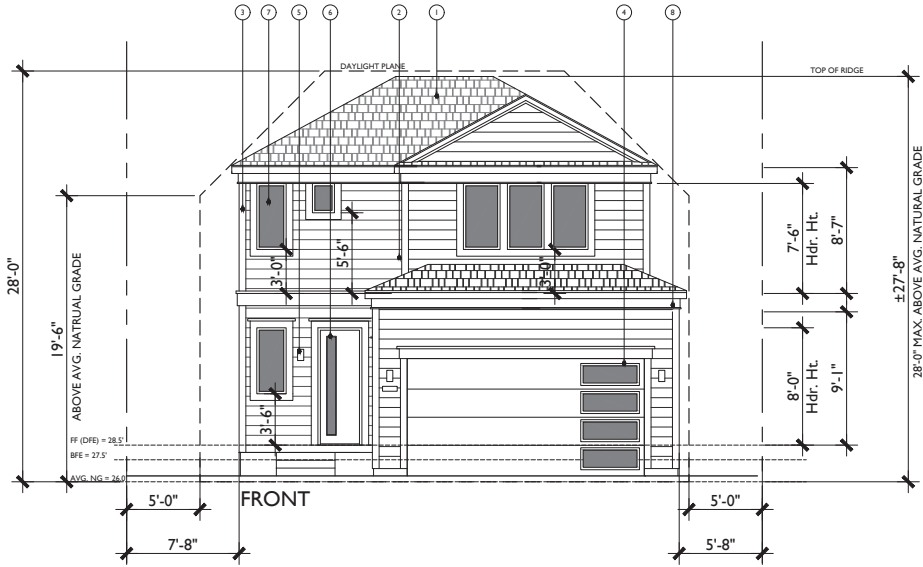
Second Floor

First Floor

A3.0

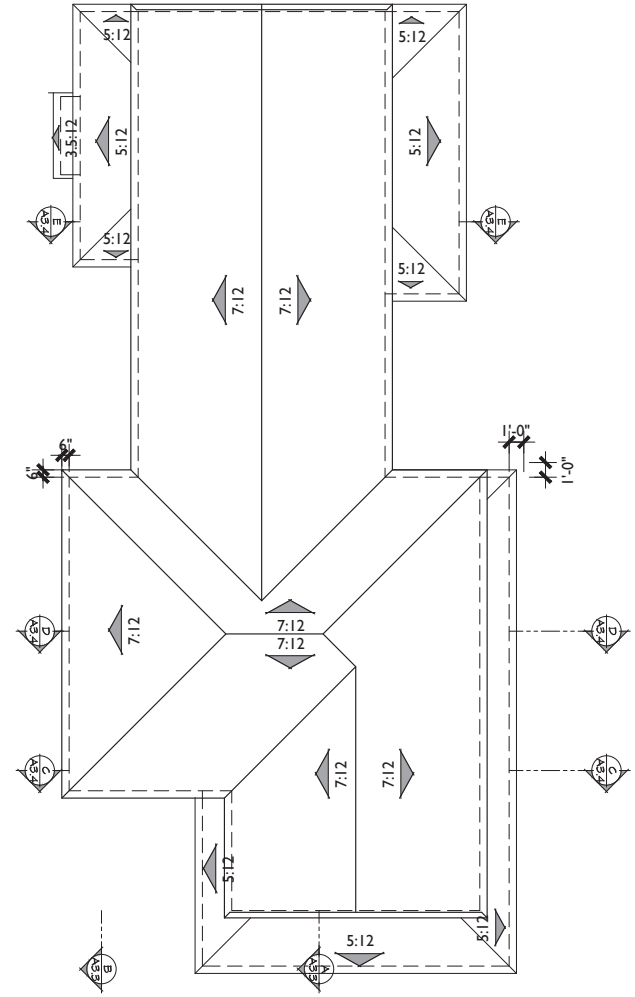
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**MATERIALS LEGEND:**

1. COMPOSITION SHINGLE ROOF
2. CEMENTITIOUS SIDING
3. CEMENTITIOUS TRIM
4. METAL SECTIONAL GARAGE DOOR W/ WINDOWS
5. COACH LIGHT
6. FIBERGLASS ENTRY DOOR
7. FIBERGLASS WINDOW
8. WOOD FASCIA / EAVE



**ROOF PLAN**

PITCH: 7:12 U.O.  
 RAKE: TIGHT  
 EAVE: 6"  
 ROOF MATERIAL: COMPOSITE SHINGLES

**PROPOSED ELEVATIONS**

Front, Rear & Roof Plan

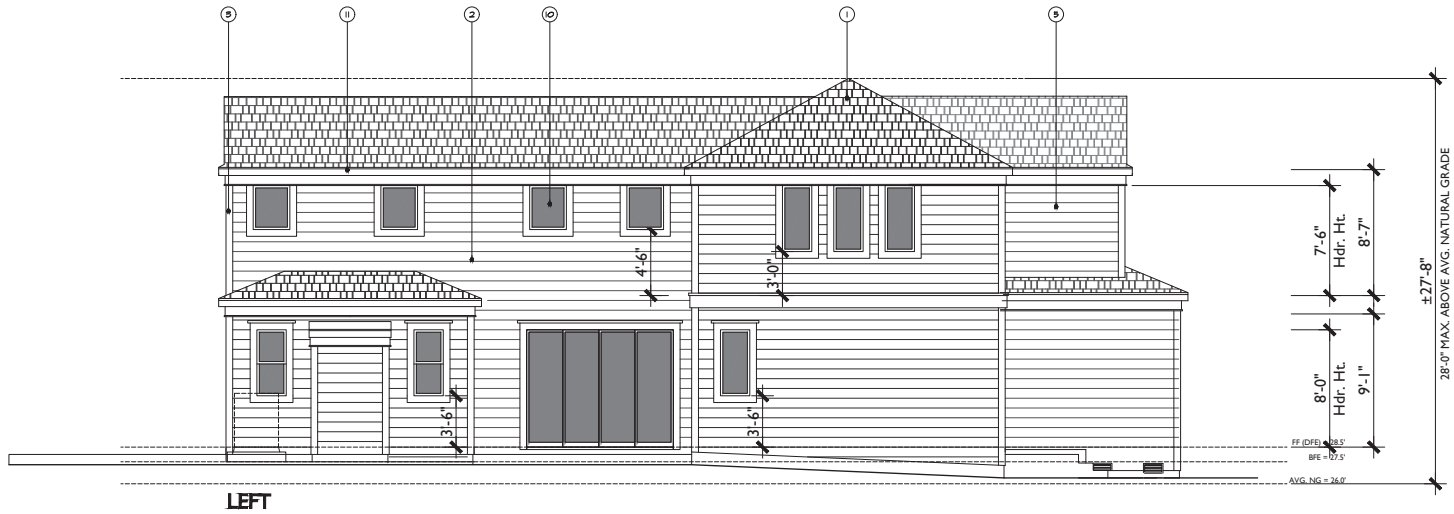
**816 LAUREL AVENUE**

Menlo Park, California

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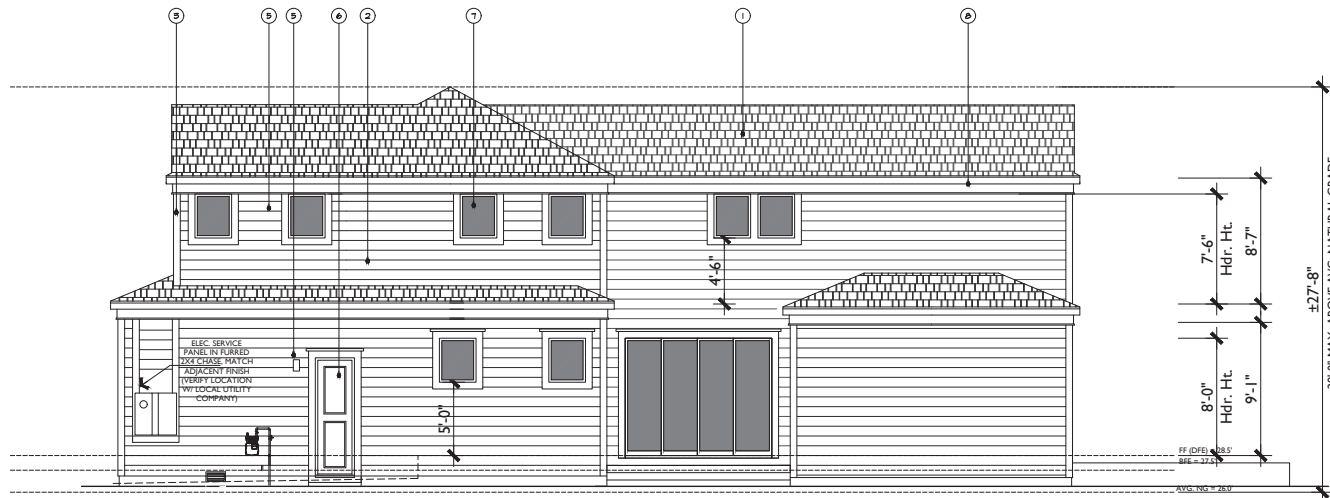




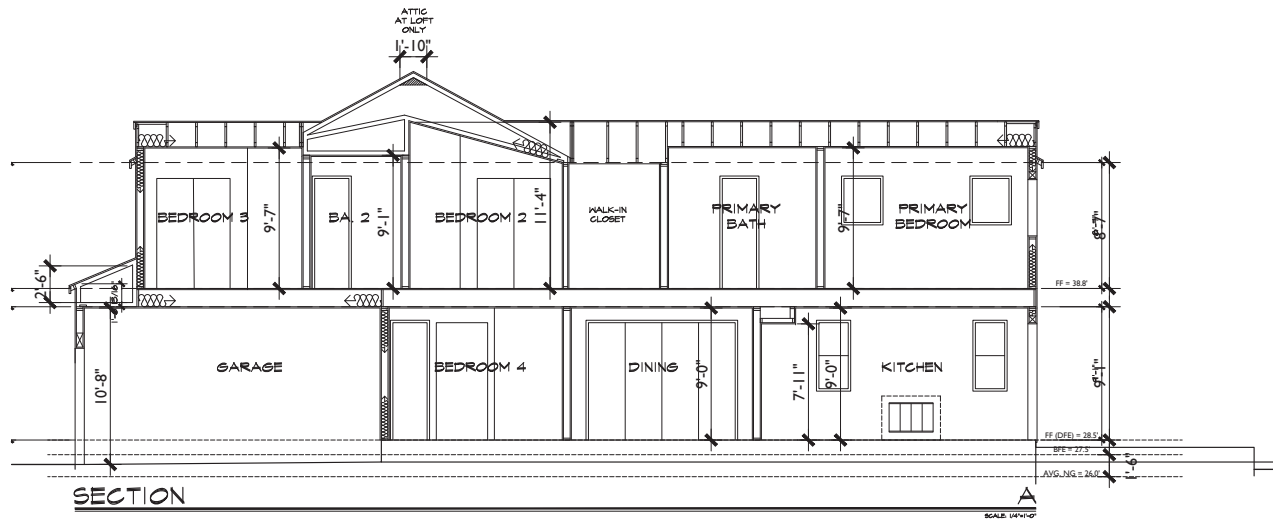
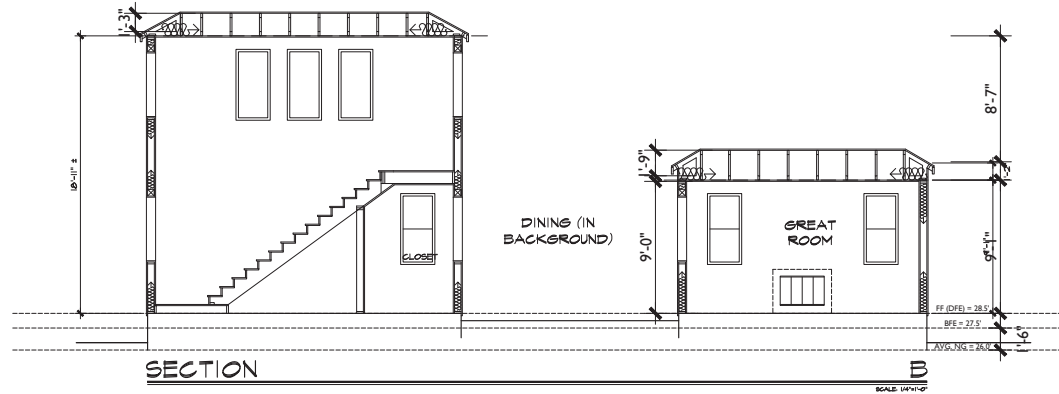
LEFT

MATERIALS LEGEND:

- 1. COMPOSITION SHINGLE ROOF
- 2. CEMENTITIOUS SIDING
- 3. CEMENTITIOUS TRIM
- 4. SECTIONAL GARAGE DOOR W/ WINDOWS
- 5. COACH LIGHT
- 6. FIBERGLASS ENTRY DOOR
- 7. FIBERGLASS WINDOW
- 8. WOOD FASCIA / EAVE



RIGHT



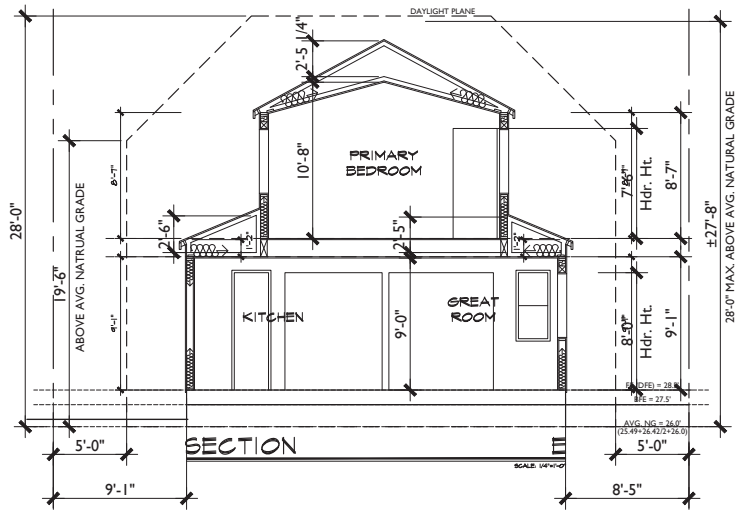
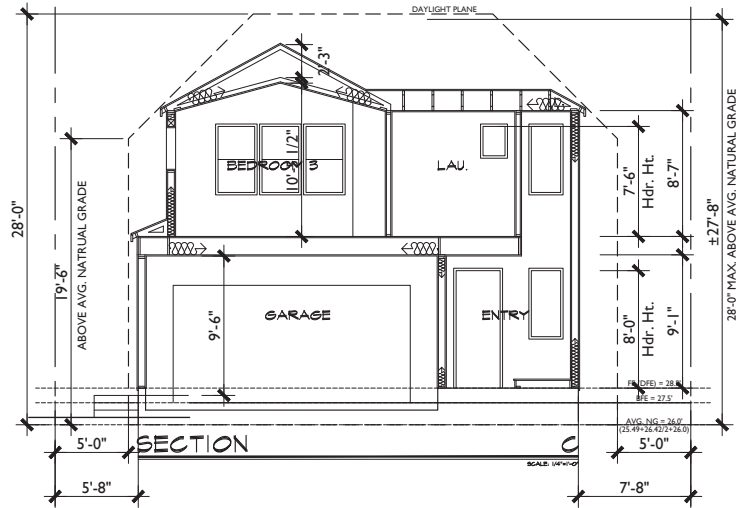
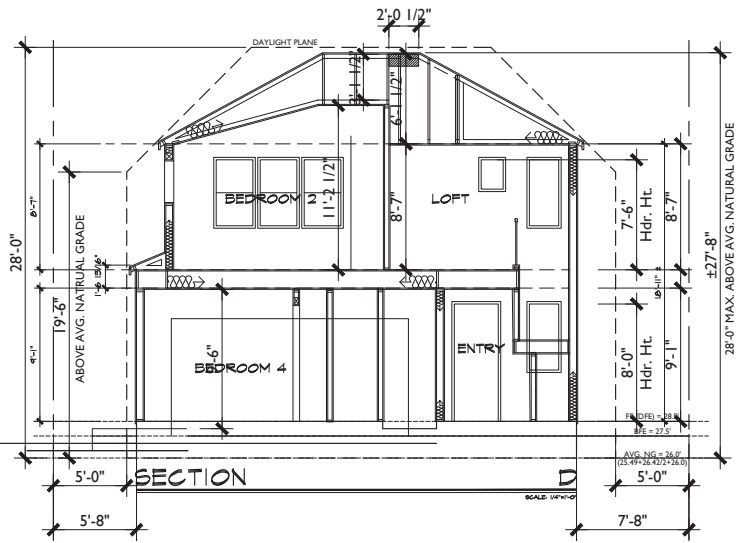
## PROPOSED SECTIONS

816 LAUREL AVENUE

Menlo Park, California

9 18.21257

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## PROPOSED SECTIONS

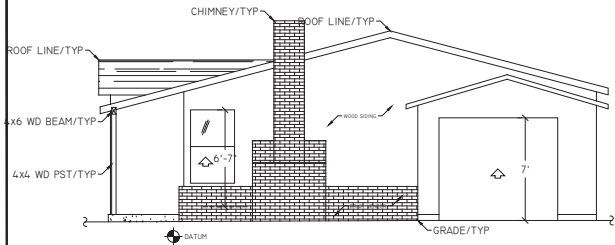
816 LAUREL AVENUE

Menlo Park, California

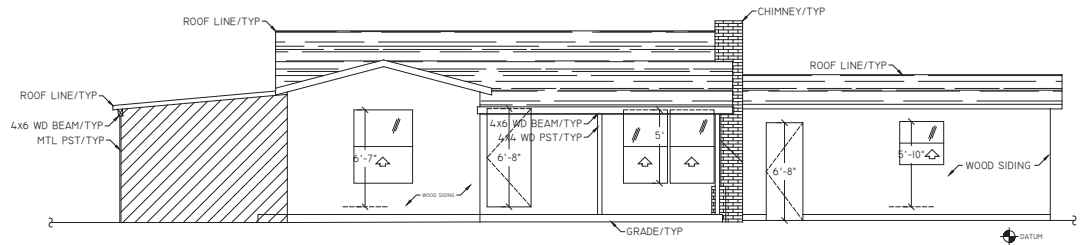
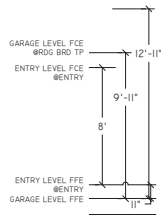
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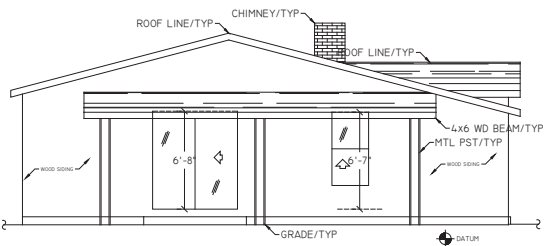




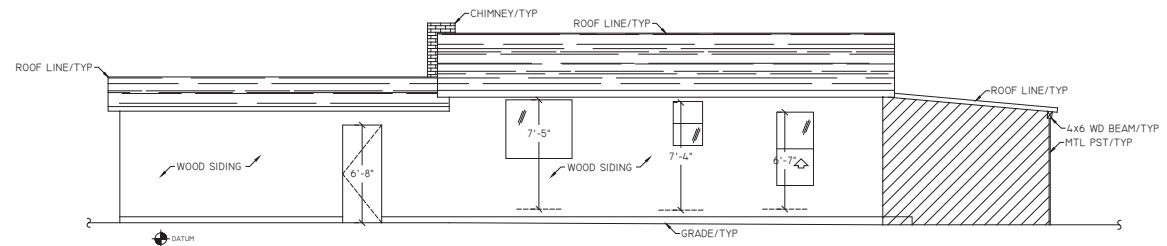
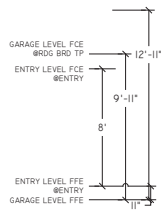
EXISTING WEST ELEVATION



EXISTING NORTH ELEVATION



EXISTING EAST ELEVATION



EXISTING SOUTH ELEVATION

THESE ARE BASIC ELEVATIONS.  
NO BUILDING ORNAMENTATION SHOWN.

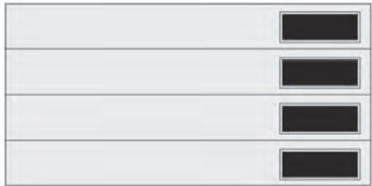
|  |   |
|--|---|
| <p>816 LAUREL AVENUE<br/>MENLO PARK, CA 94025</p>  <p><b>ASBUILT SERVICES</b><br/>FOR THE RECORD SINCE 1990<br/>1-800-318-0099 ASBUILTSERVICES.COM</p>  |   |
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| <p>EXISTING EXTERIOR ELEVATIONS (TO BE DEMOLISHED)</p>   |   |
| <p>REF: 816d-1_South_SFD<br/>REV: 0<br/>DRAWN BY: DL<br/>AUDITED BY: JK</p>  | <p>SHEET SIZE: 24x36<br/>SCALE: 1/4" = 1'-0"<br/>FIELD MEASURE:<br/>8/19/2021</p> |
| <p><b>A2.2</b></p>   |   |



WINDOW FRAMES: BLACK



**FRONT DOOR**  
MASONITE - MODERN  
FIBERGLASS  
LEFT GLASS



**GARAGE DOOR**  
CLOPAY MODERN STEEL  
SOL-SOL-SOL-GL  
SECTIONS 1, 2, 3, 4  
WINDOW: FROSTED



**FENCE STAIN**  
NAVAJO WHITE



EXTERIOR ELEVATIONS  
(NOT TO SCALE)

816

HOUSE NUMBERS



**EXTERIOR LIGHT FIXTURE**  
5.125"W X 14.25"H

**PURE WHITE**

SW 7005

- FASCIA, EAVES, TAILS, HEADERS
- BEAMS, TRIM
- HORIZONTAL SIDING

**WEB GRAY**

SW 7075

- FRONT DOOR
- GARAGE DOOR

**GAF ROOF SHINGLES**  
CHARCOAL

**STANDING SEAM**  
BLACK



816 LAUREL AVENUE  
MENLO PARK, CALIFORNIA 94025



This is an example of design specifications for this particular plan and elevation. Detailed specifications, finishes and fixtures are subject to change, on homes prior to sale. All items are subject to availability. Square footage and dimensions are approximate and may vary in construction and depending on the standard of measurement used. New fixtures, engineering and materials are subject to change without notice or obligation. Square footage and dimensions are approximate and may vary in construction and depending on the standard of measurement used. New fixtures, engineering and materials are subject to change without notice or obligation. © 2018 Thomas James Homes, LLC. All rights reserved. CA DRE License #0207297.

NOTES:  
DIMENSIONS PROVIDED IN THIS DOCUMENT ARE BASED OFF THE ARCHITECTURAL PLANS AND ARE TO BE VERIFIED IN FIELD. ACTUAL FIELD CONDITIONS MAY AFFECT THESE DIMENSIONS. PROJECT INVOICER TO NOTIFY DESIGNER OF DIMENSIONS AND FIELD CONDITIONS THAT DIFFER FROM THE DESIGN PACKAGE AND ARCHITECTURAL PLANS.

DATE: 04.11.22  
DESIGNER: SAMIA S RASHED  
ARCHITECT: BASSENIAN LAGONI

NOTE: RENDERINGS SHOWN ARE FOR ILLUSTRATION PURPOSES ONLY AND ARE NOT INTENDED TO BE AN ACTUAL DEPICTION OF THE HOME OR IT'S SURROUNDINGS

**A4.0** PLAN B23  
COASTAL

**AREA CALCULATION**

| LABEL              | DIMENSIONS         | AREA                 |
|--------------------|--------------------|----------------------|
| <b>FIRST FLOOR</b> |                    |                      |
| A                  | 31'-9" X 16'-10"   | 535 SQ. FT.          |
| B                  | 19'-3" X 9'-5"     | 97 SQ. FT.           |
| C                  | 16'-11" X 3'-11.5" | 66 SQ. FT.           |
| D                  | 21'-4.5" X 9'-6.5" | 204 SQ. FT.          |
| E                  | 12'-10.5" X 13'-6" | 174 SQ. FT.          |
| F                  | 9'-7" X 3'-3.5"    | 32 SQ. FT.           |
| G                  | 9'-11" X 3'-8"     | 36 SQ. FT.           |
|                    | <b>SUBTOTAL</b>    | <b>1,144 SQ. FT.</b> |

|               |                     |                    |
|---------------|---------------------|--------------------|
| <b>GARAGE</b> |                     |                    |
| H             | 8'-6" X 13'-6"      | 115 SQ. FT.        |
| I             | 11'-9.5" X 3'-3.5"  | 39 SQ. FT.         |
| J             | 11'-5.5" X 3'-8"    | 42 SQ. FT.         |
| K             | 11'-11.5" X 20'-11" | 250 SQ. FT.        |
|               | <b>SUBTOTAL</b>     | <b>446 SQ. FT.</b> |

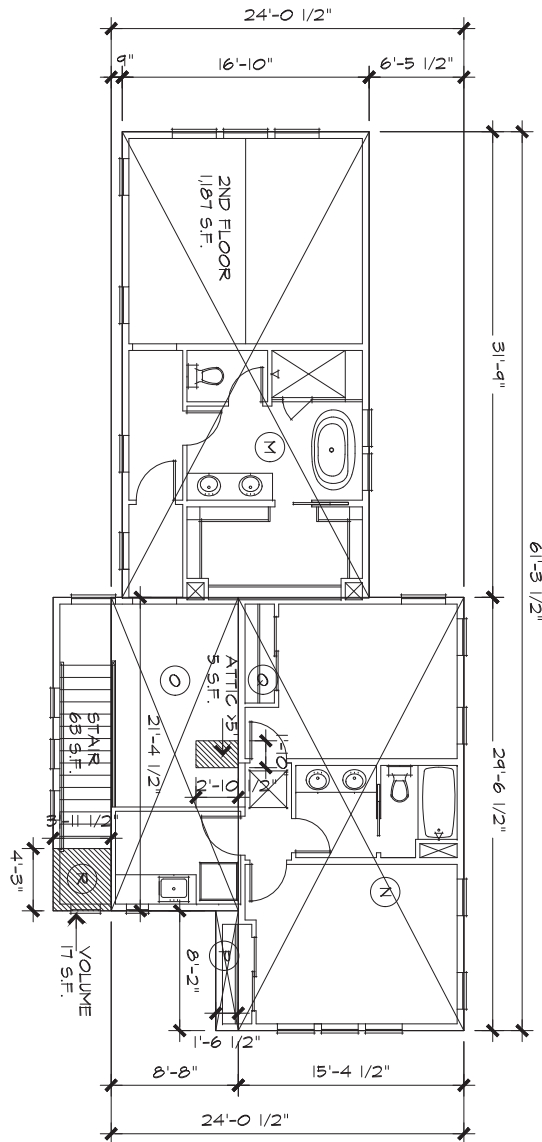
|  |                 |                  |
|--|-----------------|------------------|
| <b>FIREPLACES (FOR BUILDING COVERAGE ONLY)</b> |                 |                  |
| L  | 5'-4" X 1'-6.5" | 8 SQ. FT.        |
|  | <b>SUBTOTAL</b> | <b>8 SQ. FT.</b> |

|                     |                     |                      |
|---------------------|---------------------|----------------------|
| <b>SECOND FLOOR</b> |                     |                      |
| M                   | 31'-9" X 16'-10"    | 535 SQ. FT.          |
| N                   | 29'-6.5" X 15'-4.5" | 454 SQ. FT.          |
| O                   | 21'-4.5" X 8'-8"    | 185 SQ. FT.          |
| P                   | 8'-2" X 1'-6.5"     | 13 SQ. FT.           |
|                     | <b>SUBTOTAL</b>     | <b>1,187 SQ. FT.</b> |

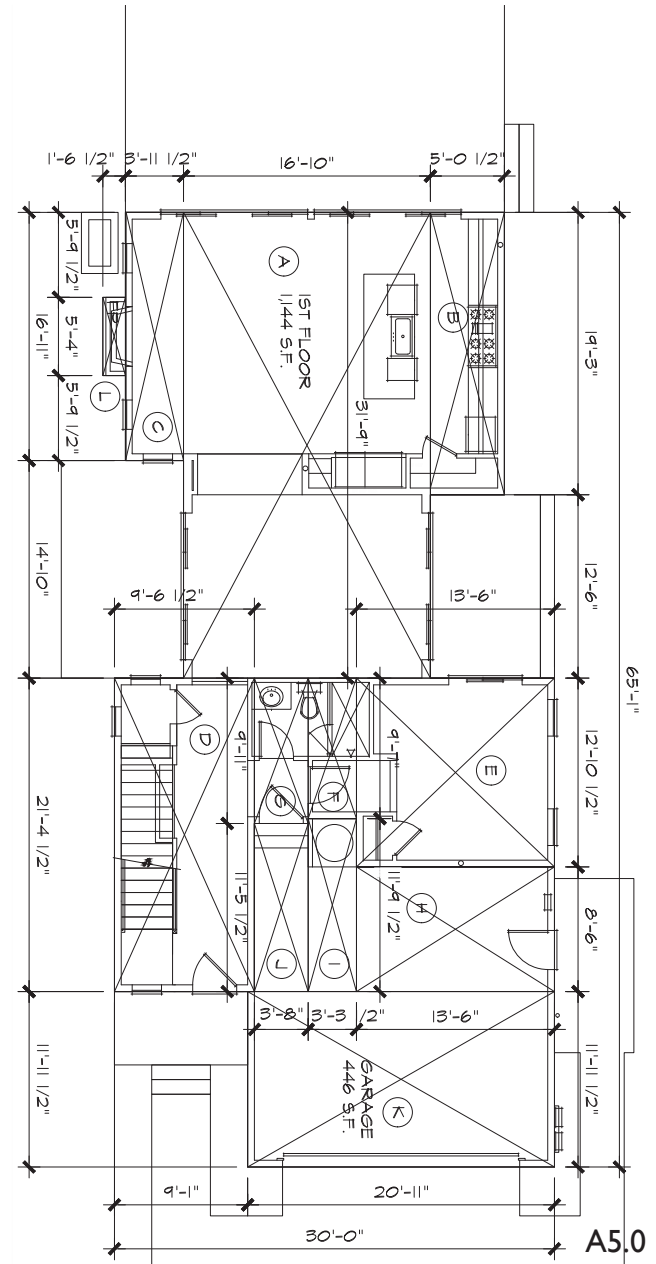
|                       |   |                   |
|-----------------------|---|-------------------|
| <b>ATTIC / VOLUME</b> |   |                   |
| Q                     | 1'-10" X 2'-10.5" (GREATER THAN 9' IN HEIGHT) | 5 SQ. FT.         |
| R                     | 4'-3" X 3'-11.5" (GREATER THAN 12' IN HEIGHT) | 17 SQ. FT.        |
|                       | <b>SUBTOTAL</b>                               | <b>22 SQ. FT.</b> |

|                          |                      |                      |
|--------------------------|----------------------|----------------------|
| <b>BUILDING COVERAGE</b> |                      |                      |
|                          | FIRST FLOOR (A-G, L) | 1,152 SQ. FT.        |
|                          | GARAGE (H-K)         | 446 SQ. FT.          |
|                          | <b>TOTAL</b>         | <b>1,598 SQ. FT.</b> |

|                         |                    |                      |
|-------------------------|--------------------|----------------------|
| <b>FLOOR AREA LIMIT</b> |                    |                      |
|                         | FIRST FLOOR (A-G)  | 1,144 SQ. FT.        |
|                         | SECOND FLOOR (M-P) | 1,187 SQ. FT.        |
|                         | ATTIC/VOLUME (Q-R) | 22 SQ. FT.           |
|                         | GARAGE (H-K)       | 446 SQ. FT.          |
|                         | <b>TOTAL</b>       | <b>2,799 SQ. FT.</b> |



Second Floor



First Floor

**SQUARE FOOTAGE CALCULATIONS**

816 LAUREL AVENUE

Menlo Park, California

918.21257

B23-CO

**Bassenian | Lagoni**  
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3031 Croatian Drive, Suite 100,  
Menlo Park, CA, USA 94025  
Tel: +1 949 553 9100  
Fax: +1 949 552 5548



**SOLAR COVERAGE**  
**DECEMBER 21ST, 9:00 AM**

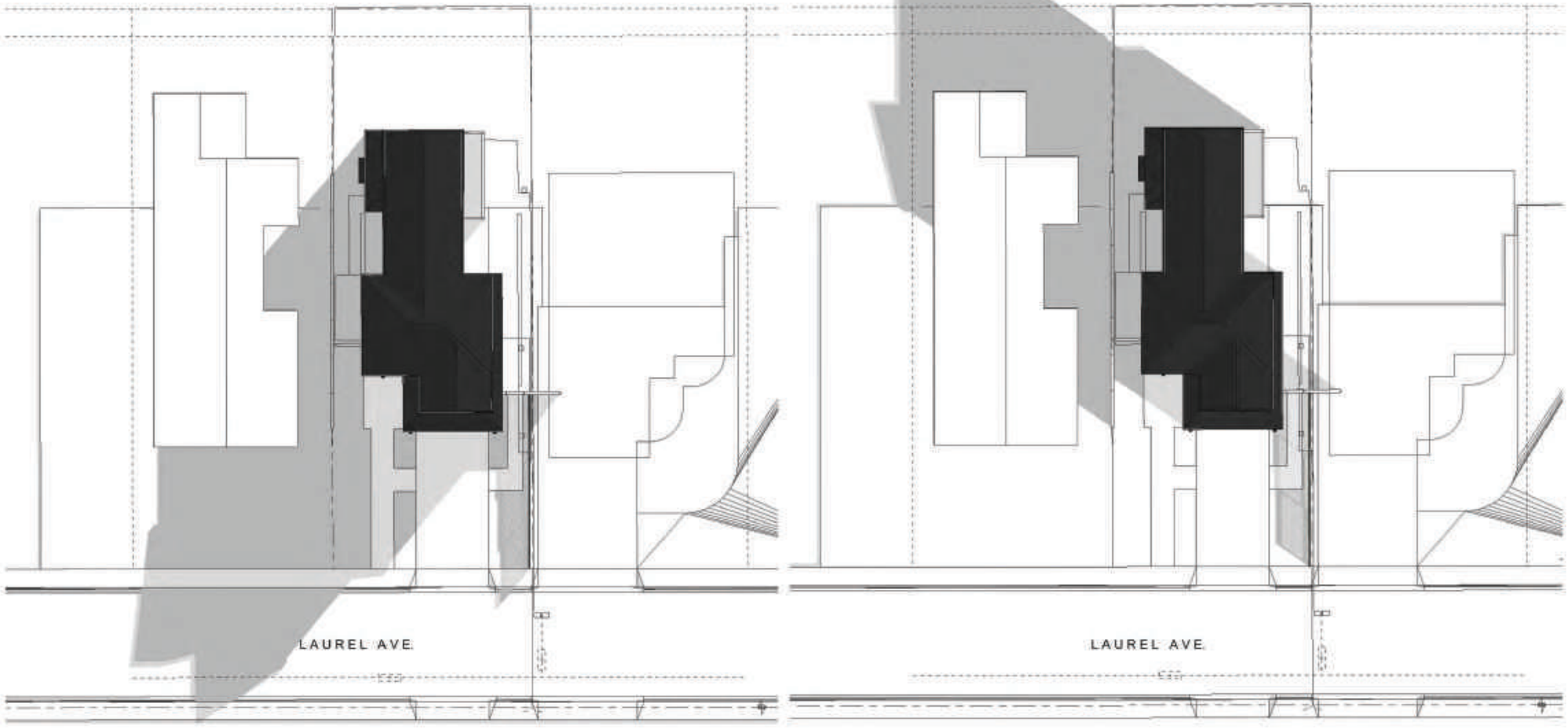
TOTAL ADJACENT HOME FOOTPRINT: ± 2,109 FT<sup>2</sup>  
 TOTAL HOME SHADED AREA: ± 438 FT<sup>2</sup>

30% SOLAR COVERAGE ON ADJACENT HOMES

**SOLAR COVERAGE**  
**DECEMBER 21ST, 3:00 PM**

TOTAL ADJACENT HOME FOOTPRINT: ± 2,173 FT<sup>2</sup>  
 TOTAL HOME SHADED AREA: ± 356 FT<sup>2</sup>

17% SOLAR COVERAGE ON ADJACENT HOMES



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 225 Sycamore Ave. #2  
 Menlo Park, CA 94025  
 650.321.0000

**SOLAR STUDY**  
**816 LAUREL AVENUE**  
 Menlo Park, California

SCALE: 1" = 10'  
 918.21257  
 B23-CO

A6.0

08.15.22



**SOLAR COVERAGE**  
**JUNE 21ST, 9:00 AM**

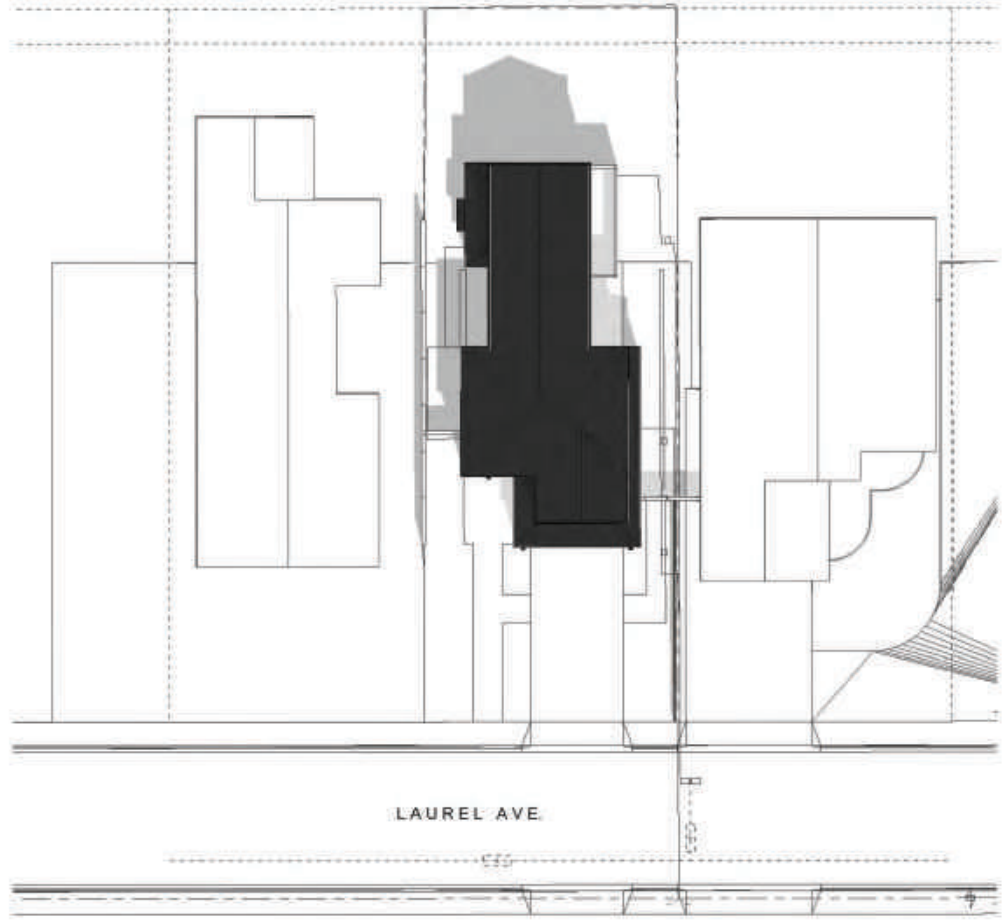
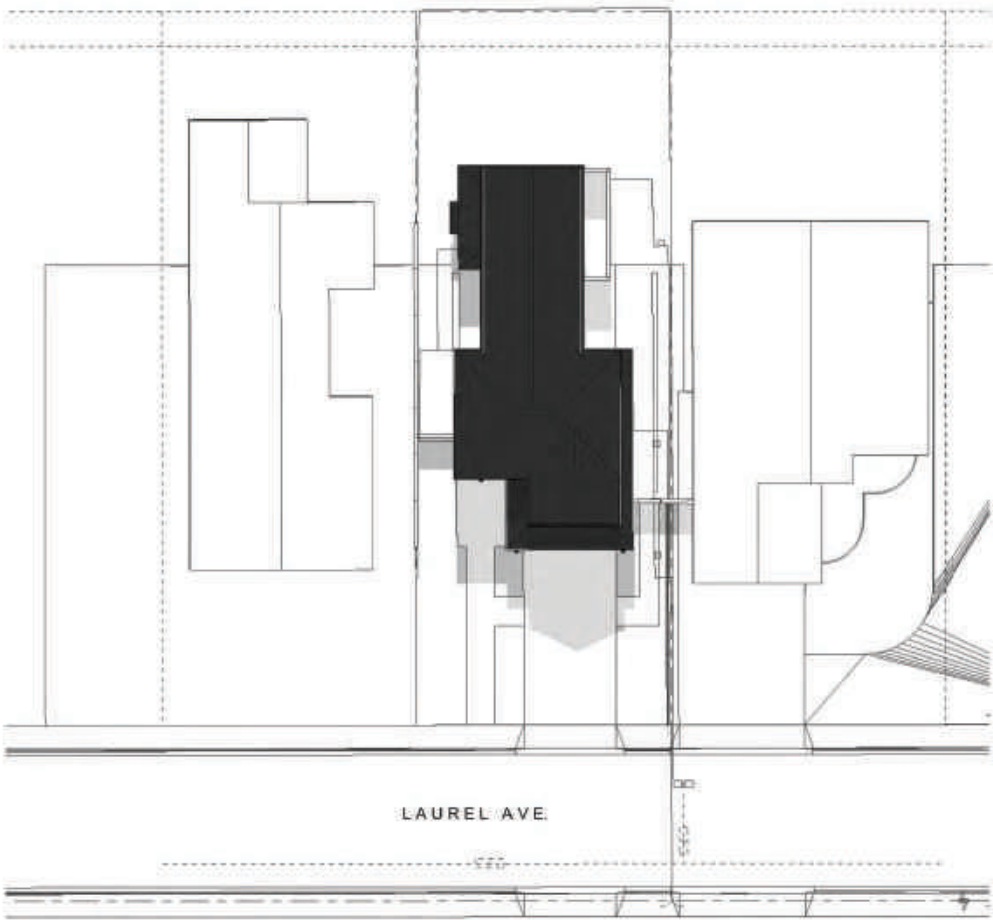
TOTAL ADJACENT HOME FOOTPRINT: ±2,109 FT<sup>2</sup>  
 TOTAL HOME SHADED AREA: ±0 FT<sup>2</sup>

0% SOLAR COVERAGE ON ADJACENT HOMES

**SOLAR COVERAGE**  
**JUNE 21ST, 3:00 PM**

TOTAL ADJACENT HOME FOOTPRINT: ±2,173 FT<sup>2</sup>  
 TOTAL HOME SHADED AREA: ±0 FT<sup>2</sup>

0% SOLAR COVERAGE ON ADJACENT HOMES



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**SOLAR STUDY**  
**816 LAUREL AVENUE**  
 Menlo Park, California

SCALE: 1" = 10'    918.21257  
 B23-CO

A6.1

08.15.22





**PLANS WERE DESIGNED BY REFERENCING**

1. GRADING NOTES PREPARED BY CBG CIVIL ENGINEERS DATED: OCTOBER 27, 2021.
2. GEOTECHNICAL REPORTS PREPARED BY ROMIG ENGINEERS DATED: OCTOBER 14, 2021.

**PROJECT NOTES**

SOIL MANAGEMENT REPORT SHALL BE PROVIDED BY LANDSCAPE CONTRACTOR AND SOIL AMENDMENTS SHALL BE FOLLOWED PER THE REPORT. PHYSICAL COPIES OF THE SOIL MANAGEMENT REPORT SHALL BE PROVIDED TO CLIENT, PROJECT LANDSCAPE ARCHITECT AND LOCAL AGENCY AS REQUIRED. SOIL MANAGEMENT REPORT SHALL CONFORM TO STATE AB1181 WATER EFFICIENT LANDSCAPE ORDINANCE OR AGENCY ADOPTED WEL0 AS FOLLOWS:

- (1) SUBMIT SOIL SAMPLES TO A LABORATORY FOR ANALYSIS AND RECOMMENDATIONS.
  - (A) SOIL SAMPLING SHALL BE CONDUCTED IN ACCORDANCE WITH LABORATORY PROTOCOL, INCLUDING PROTOCOLS REGARDING ADEQUATE SAMPLING DEPTH FOR THE INTENDED PLANTS.
  - (B) THE SOIL ANALYSIS MAY INCLUDE: SOIL TEXTURE, INFILTRATION RATE DETERMINED BY LABORATORY TEST OR SOIL TEXTURE INFILTRATION RATE TABLE, PH, TOTAL SOLUBLE SALTS, SODIUM, PERCENT ORGANIC MATTER, AND RECOMMENDATIONS.
- (2) THE PROJECT APPLICANT, OR HIS/HER DESIGNEE, SHALL COMPLY WITH ONE OF THE FOLLOWING:
  - (A) IF SIGNIFICANT MASS GRADING IS NOT PLANNED, THE SOIL ANALYSIS REPORT SHALL BE SUBMITTED TO THE LOCAL AGENCY AS PART OF THE LANDSCAPE DOCUMENTATION PACKAGE, OR
  - (B) IF SIGNIFICANT MASS GRADING IS PLANNED, THE SOIL ANALYSIS REPORT SHALL BE SUBMITTED TO THE LOCAL AGENCY AS PART OF THE CERTIFICATE OF COMPLETION.
- (3) THE SOIL ANALYSIS REPORT SHALL BE MADE AVAILABLE, IN A TIMELY MANNER, TO THE PROFESSIONALS PREPARING THE LANDSCAPE DESIGN PLANS AND IRRIGATION DESIGN PLANS TO MAKE ANY NECESSARY ADJUSTMENTS TO THE DESIGN PLANS.
- (4) THE PROJECT APPLICANT, OR HIS/HER DESIGNEE, SHALL SUBMIT DOCUMENTATION VERIFYING IMPLEMENTATION OF SOIL ANALYSIS REPORT RECOMMENDATIONS TO THE LOCAL AGENCY WITH CERTIFICATE OF COMPLETION.

CONTRACTOR MUST PROVIDE AN IRRIGATION AUDIT IN ACCORDANCE WITH TITLE 23 BY THE STATE DEPARTMENT OF WATER RESOURCES SECTION 492.12, OR LOCAL AGENCY APPROVED ORDINANCE, IRRIGATION AUDIT, IRRIGATION SURVEY, AND IRRIGATION WATER USE ANALYSIS PRIOR TO PROJECT ACCEPTANCE.

CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THE WORK IS COMPLETE AND IN COMPLIANCE WITH THE MOST CURRENT CODES, ORDINANCES AND REQUIREMENTS OF THE GOVERNING AGENCY. HMM IS NOT RESPONSIBLE FOR CHANGES WHICH OCCUR TO THE CODES, ORDINANCES OR REQUIREMENTS AFTER THE GOVERNING AGENCY'S APPROVAL OR DURING INSTALLATION.

CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. HMM IS NOT RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONSTRUCTION CONTRACT DOCUMENTS, NOR RESPONSIBLE FOR ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR THEIR AGENTS OR EMPLOYEES, OR OF ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.

AS REQUESTED BY THE OWNER, HMM WILL VISIT THE SITE AT INTERVALS APPROPRIATE TO THE STAGE OF CONSTRUCTION TO REVIEW THE PROGRESS AND QUALITY OF WORK AND TO DETERMINE IN GENERAL IF THE WORK IS BEING PERFORMED IN A MANNER INDICATING THAT THE WORK, WHEN COMPLETED, WILL BE IN SUBSTANTIAL CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS, HOWEVER, HMM WILL NOT MAKE EXHAUSTIVE OR CONTINUOUS ON-SITE OBSERVATIONS TO CHECK QUALITY OF THE WORK.

THERE IS NO WARRANTY OR GUARANTEE EITHER EXPRESSED OR IMPLIED BY HMM FOR THE COMPLETION OF THE WORK OR THE QUALITY OF PERFORMANCE OF THE CONSTRUCTION CONTRACTOR(S).

CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING THE CONTRACTOR'S BEST SKILL AND ATTENTION. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK.

CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR ACTS AND OMISSIONS OF THE CONTRACTOR'S EMPLOYEES, SUBCONTRACTORS AND THEIR AGENTS AND EMPLOYEES, AND OTHER PERSONS PERFORMING PORTIONS OF THE WORK UNDER A CONTRACT WITH CONTRACTOR.

IN THE EVENT OWNER CONSENTS TO, ALLOWS, AUTHORIZES OR APPROVES OF CHANGES TO ANY PLANS, SPECIFICATIONS, OR OTHER CONSTRUCTION DOCUMENTS, AND THESE ALTERATIONS ARE NOT APPROVED IN WRITING BY HMM, OWNER RECOGNIZES THAT SUCH ALTERATION AND THE RESULTS THEREOF ARE NOT THE RESPONSIBILITY OF HMM. IN ADDITION, OWNER AGREES, TO THE FULLEST EXTENT PERMITTED BY LAW, TO INDEMNIFY AND HOLD HMM HARMLESS FROM ANY DAMAGE, LIABILITY OR COST (INCLUDING REASONABLE ATTORNEY'S FEES AND COSTS OF DEFENSE) ARISING FROM SUCH ALTERATIONS.

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES SHOWN ON THE PLANS WERE OBTAINED FROM AVAILABLE RECORDS AT THE TIME THE PLANS WERE DRAFTED AND DO NOT CONSTITUTE A REPRESENTATION AS TO THE ACCURACY OR COMPLETENESS OF THE LOCATION OR THE EXISTENCE OR NONEXISTENCE OF SUCH UTILITIES. IN NORTHERN CALIFORNIA, CONTRACTOR SHALL CONTACT UNDERGROUND SERVICES ALERT AT 1-800-442-2444 PRIOR TO PERFORMING ANY CONSTRUCTION WORK. IN OTHER AREAS, CONTRACTOR SHALL CONTACT A SIMILAR AGENCY/ORGANIZATION.

CONTRACTOR SHALL PROVIDE PROPER PROJECT MAINTENANCE AFTER THE PROJECT IS COMPLETE. ANY LACK OF OR IMPROPER MAINTENANCE MAY RESULT IN DAMAGE TO PROPERTY OR PERSONS. CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULTS OF ANY LACK OF OR IMPROPER MAINTENANCE.

**CONSTRUCTION NOTES**

CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT FOR THE INSTALLATION OF ALL IMPROVEMENTS AS SHOWN ON THE DRAWINGS AND AS DESCRIBED IN THE SPECIFICATIONS.

CONTRACTOR SHALL REVIEW ALL EXISTING SITE CONDITIONS PRIOR TO SUBMITTING BID AND PRIOR TO COMMENCING INSTALLATION. IF ANY DISCREPANCIES EXIST, THEY SHOULD BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE.

CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND STAKING ALL SEWER, WATER AND UTILITY LINES ABOVE OR BELOW GRADE THAT MIGHT BE DAMAGED AS A RESULT OF CONSTRUCTION OPERATIONS. CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR ANY COST INCURRED FOR REPAIR, RESTORATION, OR REPLACEMENT OF AFOREMENTIONED UTILITIES DAMAGED AS A RESULT OF CONSTRUCTION OPERATIONS.

DEVIATIONS BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE.

HARDSCAPE AND STRUCTURAL ELEMENTS SHALL BE PLACED PER GEOTECHNICAL SOILS REPORT. IF SUCH REPORT IS UNAVAILABLE, CONTRACTOR SHALL DISCUSS PLACEMENT ON SUITABLE GRADE WITH THE OWNER'S AUTHORIZED REPRESENTATIVE.

UNLESS DESIGNATED ON THE DRAWINGS OTHERWISE, ALL MATERIALS DESIGNATED FOR REMOVAL SHALL BE DISPOSED OF OFF-SITE.

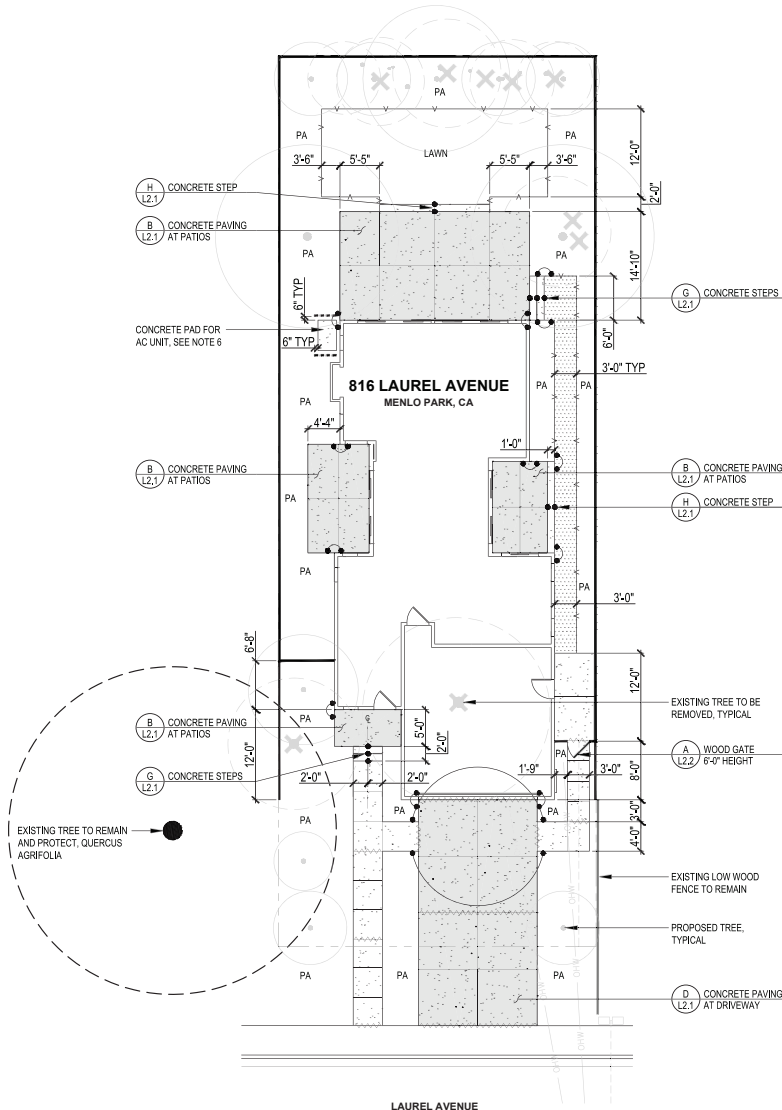
COSTS INCURRED DUE TO REPAIR, RESTORATION, OR REPLACEMENT OF EXISTING IMPROVEMENTS WHICH ARE DESIGNATED "TO BE PROTECTED" OR "TO REMAIN" WHICH ARE DAMAGED AS A RESULT OF CONSTRUCTION OPERATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

UNLESS DESIGNATED ON THE DRAWINGS OTHERWISE, MATERIALS TO BE PURCHASED AND FURNISHED BY THE CONTRACTOR SHALL BE NEW.

CONCRETE INDICATED FOR SAWCUTTING AND REMOVAL SHALL BE CUT TO A TRUE LINE WITH NEATLY SAWS EDGES. IF A SAWCUT IS WITHIN THREE FEET (3') OF AN EXISTING EXPANSION OR CONTROL JOINT, CONCRETE SHALL BE REMOVED TO THAT NEAREST JOINT.

CONTRACTOR SHALL SUBMIT SHOP DRAWINGS, MANUFACTURER'S CUT OR DATA SHEETS FOR APPROVAL PRIOR TO ORDERING MATERIALS. CONTRACTOR SHALL FURNISH TO THE OWNER'S AUTHORIZED REPRESENTATIVE A CERTIFICATE OF COMPLIANCE FOR SUCH FURNISHED MATERIALS.

ABANDONED PIPES SHALL BE CAPPED OR PLUGGED IN A MANNER APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.



| CONSTRUCTION LEGEND |                                  |        |
|---------------------|----------------------------------|--------|
| DETAIL              | DESCRIPTION                      | SYMBOL |
|                     | PLANTING AREA                    | PA     |
|                     | TYPICAL                          | TYP    |
|                     | ALIGN                            |        |
|                     | CENTER LINE                      |        |
| A                   | CONCRETE PAVING                  |        |
| C/E                 | CONTROL JOINT                    |        |
| C/E                 | EXPANSION JOINT                  |        |
| I                   | STABILIZED DECOMPOSED GRANITE    |        |
| M                   | METAL HEADER                     |        |
| A                   | WOOD FENCE, 6'-0" HEIGHT, 256 LF |        |
| B                   | AC UNIT SCREEN FENCE             |        |

- NOTES**
1. SEE SHEET L2.1-L2.2 FOR CONSTRUCTION DETAILS.
  2. SEE SHEET L5.1 FOR TREE PROTECTION PLAN AND DETAIL. TREE PROTECTION MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION.
  3. ALL CONCRETE PAVING ADJACENT TO WALLS SHALL HAVE AN EXPANSION JOINT WHETHER SHOWN ON PLANS OR NOT.
  4. FENCE LOCATIONS ARE DIAGRAMMATIC. FINAL LOCATIONS ARE TO BE COORDINATED IN THE FIELD BY CONTRACTOR.
  5. CONTRACTOR SHALL REFER TO SHEET GP-1 FOR SITE GRADING AND DRAINAGE INSTALLATION.
  6. SEE CIVIL DRAWINGS FOR ELEVATION OF CONCRETE PAD, SEE ARCHITECTURAL DRAWINGS FOR EXACT PAD LOCATION AND SIZE. SEE MEP DRAWINGS FOR AC UNIT CONDENSATE DISCHARGE METHOD, IF REQUIRED. INSTALL DRYWELL PER MEP PLANS. CONFIRM DRYWELL LOCATION WITH TJH PRIOR TO INSTALLATION.

| SITE COVERAGE CALCULATIONS     |       |          |
|--------------------------------|-------|----------|
| DESCRIPTION                    | SF    | % OF LOT |
| TOTAL LOT COVERAGE             | 5,284 | 100.0    |
| BUILDING FOOTPRINT             | 1,804 | 30.4     |
| TOTAL LANDSCAPE COVERAGE       | 3,660 | 69.6     |
| PERMEABLE LANDSCAPE COVERAGE   | 2,136 | 40.6     |
| LAWN                           | 385   | 7.6      |
| SHRUBS AND GROUND COVER        | 977   | 18.6     |
| BARK MULCH, NON-IRRIGATED      | 774   | 14.7     |
| IMPERMEABLE LANDSCAPE COVERAGE | 1,524 | 29.0     |
| STABILIZED DECOMPOSED GRANITE  | 163   | 3.1      |
| CONCRETE PAVING                | 1,361 | 25.9     |

I HAVE COMPLIED WITH THE CRITERIA OF THE WATER CONSERVATION IN LANDSCAPE ORDINANCE AND HAVE APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN PLAN.

DATE: 7/2/22

Land Use Entitlements  
Land Planning  
Landscape Architecture  
Civil Engineering  
Utility Design  
Land Surveying  
Stormwater Compliance

1570 Oakland Road  
San Jose, CA 95131 (408) 487-2200  
hmmca.com



**816 LAUREL AVENUE**  
**THOMAS JAMES HOMES**  
MENLO PARK, CA

| NO.          | DATE           | DESCRIPTION |
|--------------|----------------|-------------|
| PROJECT NO.  | 5985.27        |             |
| CAD DWG FILE | 598527.LCD.DWG |             |
| DESIGNED BY  | JH             |             |
| DRAWN BY     | JH             |             |
| CHECKED BY   | BS             |             |
| DATE         | 06/11/2022     |             |
| SCALE        | 1/8" = 1'-0"   |             |
| © HMM        |                |             |

**CONSTRUCTION PLAN**

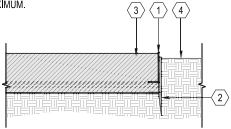
**L1.1**

S:\PROJECTS\816LAUREL\MENLO PARK\LANDSCAPE\CONSTRUCTION\DWG\L1.1.DWG

PLOT DATED: 7/2/22 8:58 AM

- NOTES:  
 1. EDGING SHALL BE PERMALOCK PERMASTRIP L-SHAPED ALUMINUM EDGING.  
 2. EDGING LENGTH: 16'-0" SEGMENTS.  
 3. EDGING HEIGHT: 6".  
 4. EDGING FINISH: MILL FINISH.  
 5. EDGING COLOR: MATTE BLACK.  
 6. INSTALL PER MANUFACTURERS RECOMMENDATIONS.  
 7. EACH 16'-0" EDGING SEGMENT SHALL HAVE (8) 12" ALUMINUM STAKES. LOCK STAKES INTO PREFORMED LOOPS ON THE EDGING.  
 8. AT CORNERS, NOTCH BASE ONLY AND FORM CONTINUOUS CORNER.  
 9. TOP OF EDGING TO BE 1/4" ABOVE ADJACENT FINISH SURFACE MAXIMUM.

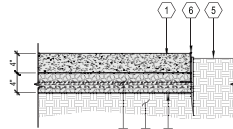
- ① EDGING
- ② 12" ALUMINUM STAKE
- ③ ADJACENT FINISH SURFACE, SEE CONSTRUCTION PLAN
- ④ FINISH GRADE, TO BE 1" BELOW EDGING FOR TURFS AREAS, 2" BELOW EDGING FOR PLANTING AREAS



**J** METAL HEADER  
 SCALE: 1" = 1'-0"

- NOTES:  
 1. DECOMPOSED GRANITE SHALL BE SUNSET GOLD PATH FINES 1/4" MINUS GOLD GRANITE FINES PRE-MIXED WITH STABILIZER BY LYNXSD.  
 2. STABILIZED DECOMPOSED GRANITE MUST BE INSTALLED PER MANUFACTURERS INSTRUCTIONS.

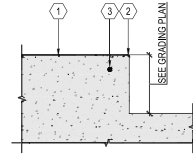
- ① DECOMPOSED GRANITE, COMPACTED IN 2" LIFTS
- ② CLASS 2 AGGREGATE BASE
- ③ NATIVE GRADE
- ④ WEED BARRIER FABRIC
- ⑤ FINISH GRADE, TO BE 1" BELOW DECOMPOSED GRANITE
- ⑥ METAL HEADER, SEE DETAIL



**I** STABILIZED DECOMPOSED GRANITE  
 SCALE: 1" = 1'-0"

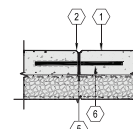
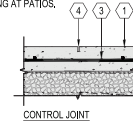
- NOTES:  
 1. SEE CONCRETE STEP DETAIL FOR COLOR, TYPE, AND FINISH.

- ① CONCRETE STEP, SEE CONCRETE STEP DETAIL
- ② 1/4" RADIUS EDGE
- ③ #3 REBAR, CONTINUOUS



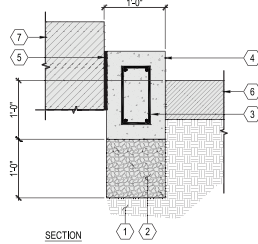
**F** CONCRETE STEP TREAD  
 SCALE: 2" = 1'-0"

- NOTES:  
 1. SEE CONCRETE PAVING DETAIL FOR COLOR, TYPE, AND FINISH.  
 2. THIS DETAIL APPLIES TO CONCRETE PAVING AND CONCRETE PAVING AT PATIOS.



**C** CONCRETE PAVING JOINTS  
 SCALE: 1" = 1'-0"

- NOTES:  
 1. COLOR SHALL BE NATURAL GRAY.  
 2. ACID ETCH FINISH WITH TOP CAST #01 SURFACE RETARDANT MANUFACTURED BY GRACE PRODUCTS.  
 3. SEE GRADING PLAN FOR RISER HEIGHTS.  
 4. SEE CONSTRUCTION PLAN FOR STEP WIDTH.

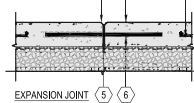
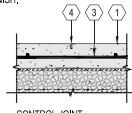


**H** CONCRETE STEP  
 SCALE: 1" = 1'-0"

- ① NATIVE GRADE
- ② CLASS 2 AGGREGATE BASE
- ③ #4 REBAR AT 18" O.C. EACH WAY, MAINTAIN 3" CLEAR TO EDGE OF CONCRETE
- ④ CONCRETE STEP, SEE CONCRETE STEP TREAD DETAIL
- ⑤ EXPANSION JOINT
- ⑥ ADJACENT FINISH SURFACE, SEE CONSTRUCTION PLAN
- ⑦ ADJACENT PATIO

- NOTES:  
 1. THIS DETAIL APPLIES TO CONCRETE PAVING AT DRIVEWAY ONLY.  
 2. SEE CONCRETE PAVING AT DRIVEWAY DETAIL FOR COLOR, TYPE, AND FINISH.

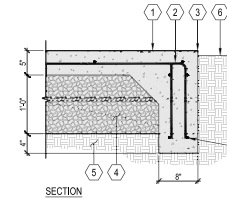
- ① CONCRETE PAVING, SEE CONCRETE PAVING AT DRIVEWAY DETAIL
- ② 1/2" RADIUS EDGE
- ③ REINFORCEMENT PER CONCRETE PAVING AT DRIVEWAY DETAIL
- ④ TOOLED OR SAW OUT CONTROL JOINT, 1/4" WIDE, 1" DEEP
- ⑤ 1/2" POLYFELT EXPANSION JOINT, TOP WITH TWO PART SELF-LEVELING SEALER
- ⑥ 24" SMOOTH DOWEL, SLEEVE OR GREASE ONE END, FOR PAVING UP TO 8'-0" WIDE USE TWO EQUALLY SPACED DOWELS PER EXPANSION JOINT, FOR PAVING GREATER THAN 8'-0" WIDE AND AT CURBS SPACE DOWELS AT 36" O.C. AT EXPANSION JOINT



**E** CONCRETE PAVING JOINTS AT DRIVEWAY  
 SCALE: 1" = 1'-0"

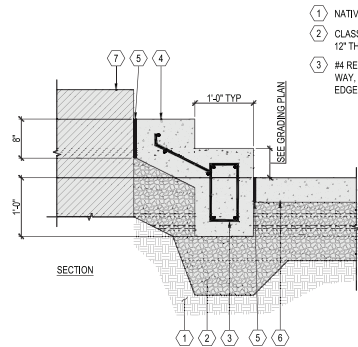
- NOTES:  
 1. COLOR SHALL BE NATURAL GRAY.  
 2. ACID ETCH FINISH WITH TOP CAST #01 SURFACE RETARDANT MANUFACTURED BY GRACE PRODUCTS.  
 3. SCORE PER PLAN.

- ① CONCRETE PAVING
- ② #4 REBAR AT 18" O.C. EACH WAY
- ③ 1/2" RADIUS EDGE
- ④ CLASS 2 AGGREGATE BASE, MOISTURE CONDITIONED TO ABOVE OPTIMUM, COMPACTED TO 90%
- ⑤ SOIL SUBGRADE, SCARIFIED TO A DEPTH OF 6", MOISTURE CONDITION TO 5% ABOVE OPTIMUM, COMPACTED TO 85 - 90%
- ⑥ FINISH GRADE, TO BE 1" BELOW CONCRETE FOR TURF AREAS, 2" BELOW CONCRETE FOR PLANTING AREAS
- ⑦ TWO (2) #4 REBAR, TOP AND BOTTOM



**B** CONCRETE PAVING AT PATIOS  
 SCALE: 1" = 1'-0"

- NOTES:  
 1. ALL CONCRETE SHALL BE NATURAL GRAY.  
 2. ACID ETCH FINISH WITH TOP CAST #01 SURFACE RETARDANT MANUFACTURED BY GRACE PRODUCTS.  
 3. SCORE CONCRETE PER PLAN.  
 4. REFER TO CONSTRUCTION PLAN FOR WIDTH OF STEPS.

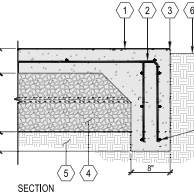


**G** CONCRETE STEPS  
 SCALE: 1" = 1'-0"

- ① NATIVE GRADE
- ② CLASS 2 AGGREGATE BASE, 12" THICK
- ③ #4 REBAR AT 18" O.C. EACH WAY, MAINTAIN 3" CLEAR TO EDGE OF CONCRETE
- ④ CONCRETE STEP, SEE CONCRETE STEP TREAD DETAIL
- ⑤ EXPANSION JOINT
- ⑥ ADJACENT CONCRETE PAVING OR DECOMPOSED GRANITE, SEE CONSTRUCTION PLAN
- ⑦ ADJACENT PATIO

- NOTES:  
 1. COLOR SHALL BE NATURAL GRAY.  
 2. ACID ETCH FINISH WITH TOP CAST #01 SURFACE RETARDANT MANUFACTURED BY GRACE PRODUCTS.  
 3. SCORE PER PLAN.

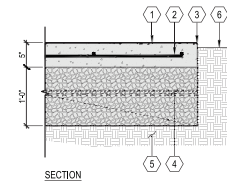
- ① CONCRETE PAVING
- ② #4 REBAR AT 18" O.C. EACH WAY
- ③ 1/2" RADIUS EDGE
- ④ CLASS 2 AGGREGATE BASE, MOISTURE CONDITIONED TO NEAR OPTIMUM, COMPACTED TO 95%
- ⑤ SOIL SUBGRADE, SCARIFIED TO A DEPTH OF 6", MOISTURE CONDITIONED TO AT LEAST 3% ABOVE OPTIMUM, COMPACTED TO 87 - 92%
- ⑥ FINISH GRADE, TO BE 1" BELOW CONCRETE FOR TURF AREAS, 2" BELOW CONCRETE FOR PLANTING AREAS
- ⑦ TWO (2) #4 REBAR, TOP AND BOTTOM



**D** CONCRETE PAVING AT DRIVEWAY  
 SCALE: 1" = 1'-0"

- NOTES:  
 1. COLOR SHALL BE NATURAL GRAY.  
 2. ACID ETCH FINISH WITH TOP CAST #01 SURFACE RETARDANT MANUFACTURED BY GRACE PRODUCTS.  
 3. SCORE PER PLAN.

- ① CONCRETE PAVING
- ② #4 REBAR AT 18" O.C. EACH WAY
- ③ 1/2" RADIUS EDGE
- ④ CLASS 2 AGGREGATE BASE, MOISTURE CONDITIONED TO ABOVE OPTIMUM, COMPACTED TO 90%
- ⑤ SOIL SUBGRADE, SCARIFIED TO A DEPTH OF 6", MOISTURE CONDITIONED TO AT LEAST 5% ABOVE OPTIMUM, COMPACTED TO 85 - 90%
- ⑥ FINISH GRADE, TO BE 1" BELOW CONCRETE FOR TURF AREAS, 2" BELOW CONCRETE FOR PLANTING AREAS



**A** CONCRETE PAVING  
 SCALE: 1" = 1'-0"



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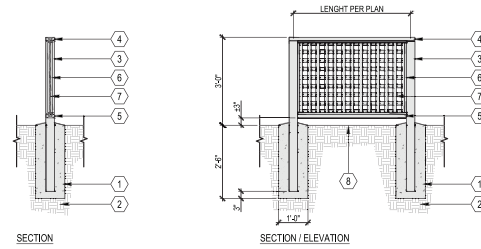
**816 LAUREL AVENUE**  
**THOMAS JAMES HOMES**  
 MENLO PARK, CA

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**CONSTRUCTION DETAILS**

**L2.1**

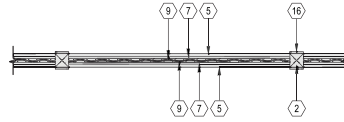
- NOTE:
1. ALL WOOD SHALL BE CONSTRUCTION GRADE REDWOOD.
  2. ALL FASTENERS SHALL BE GALVANIZED.
  3. LATTICE PANEL SHALL MAINTAIN HORIZONTAL CLEARANCES FROM AC UNIT PER MANUFACTURER RECOMMENDATIONS AND ALL GOVERNING CODES.
  4. TOP AND BOTTOM RAIL SHALL BE KEPT LEVEL.



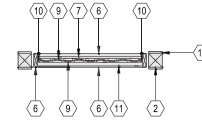
- 1 CONCRETE FOOTING, SLOPE TOP OF FOOTING TO DRAIN AWAY FROM POST
- 2 NATIVE GRADE
- 3 4x4 POST
- 4 2x4 TOP RAIL, MITER AT CORNERS
- 5 2x4 BOTTOM RAIL
- 6 1x1 FRAME
- 7 LATTICE
- 8 FINISH GRADE

**B** AC UNIT SCREEN FENCE  
SCALE: 1/2" = 1'-0"

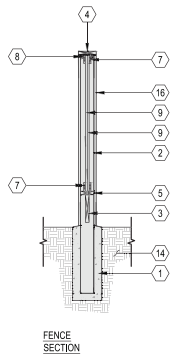
- NOTES:
1. ALL WOOD SHALL BE COMMON REDWOOD UNLESS OTHERWISE NOTED.
  2. ALL FASTENERS AND GATE HARDWARE SHALL BE GALVANIZED.
  3. SECURE LEDGER TO BUILDING FRAMING WITH 1/4" x 4" LAG SCREWS AND WASHERS, COUNTERSUNK, APPLY SILICONE CAULKING PRIOR TO INSERTING LAG SCREW.
  4. STEP FENCE AT POSTS, FOR GRADES 1/8 (17%) OR GREATER, SLOPE PANELS WITH GRADE.
  5. STAIN BOTH SIDES WITH SEMI-TRANSPARENT EXTERIOR STAIN, COLOR PER BUILDER, SEE REPRESENTATIVE STAIN COLORS.



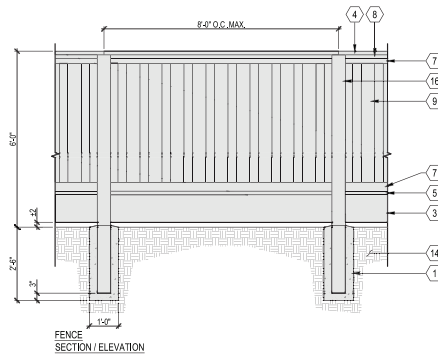
FENCE  
PLAN VIEW  
CAP OMITTED FOR CLARITY



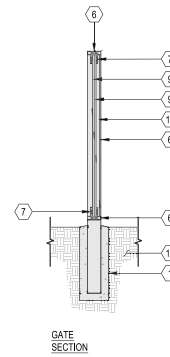
GATE  
PLAN VIEW  
TOP OF GATE FRAME OMITTED FOR CLARITY



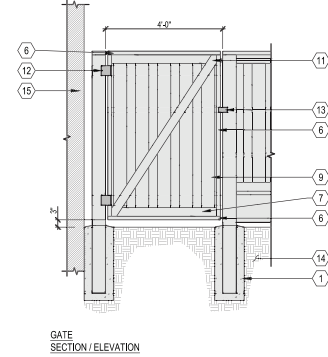
FENCE  
SECTION



FENCE  
SECTION / ELEVATION



GATE  
SECTION



GATE  
SECTION / ELEVATION

- 1 CONCRETE FOOTING, SLOPE TOP TO DRAIN AWAY FROM POST
- 2 6x8 POST, ACQ TREATED
- 3 2x12 KICKER, ACQ TREATED
- 4 2x8 CAP
- 5 2x6 BOTTOM RAIL
- 6 2x6 GATE FRAME
- 7 1x4 FRAME
- 8 1x2 FRAME
- 9 1x6 BOARD, OVERLAP 1" AS SHOWN
- 10 PROVIDE FULL BLOCKING AT EACH SIDE OF GATE
- 11 2x4 DIAGONAL BRACE, BACKYARD SIDE OF GATE
- 12 HEAVY DUTY GATE HINGE
- 13 SELF-CLOSING GATE LATCH, 5'-0" ABOVE GRADE
- 14 NATIVE GRADE
- 15 ADJACENT BUILDING WALL
- 16 1x6 FASCIA BOARD

**A** WOOD FENCE AND GATE, 6'-0" HEIGHT  
SCALE: 1/2" = 1'-0"



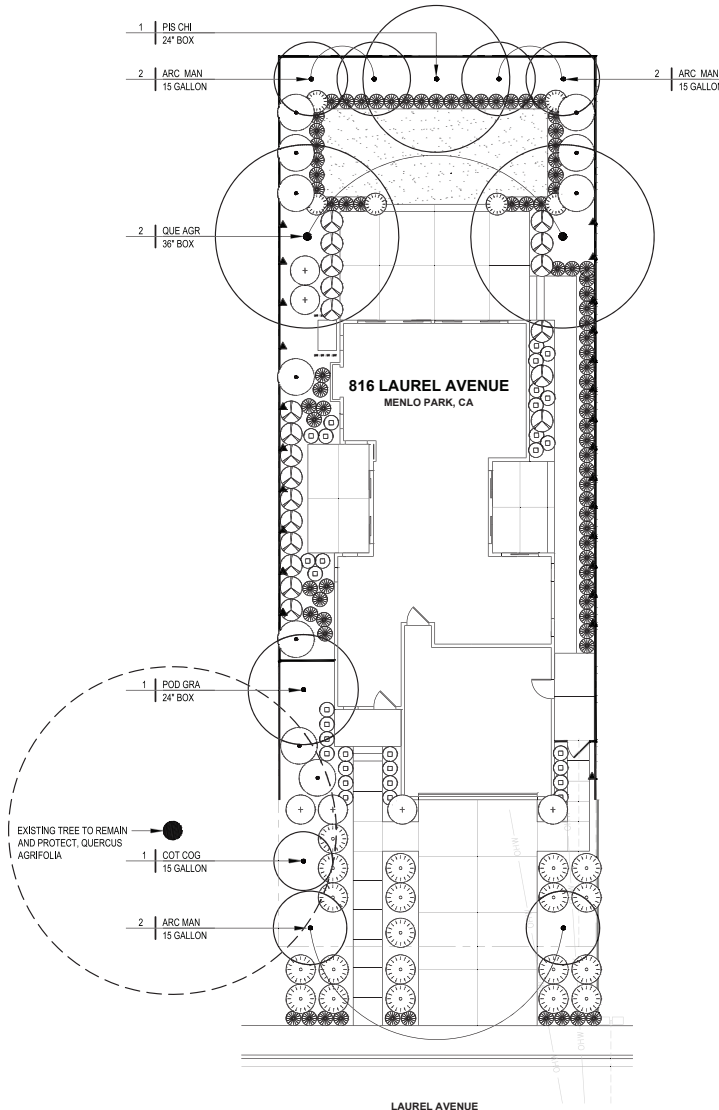
**816 LAUREL AVENUE**  
**THOMAS JAMES HOMES**  
MENLO PARK, CA

| NO. | DATE | DESCRIPTION |
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**CONSTRUCTION  
DETAILS**

**L2.2**





| TREE LEGEND        |                                     |
|--------------------|-------------------------------------|
| SYMBOL             | BOTANICAL NAME                      |
| ARC MAN            | ARCTOSTAPHYLOS MANZANITA            |
| COT COG            | COTINUS COGGYGRIA 'GOLDEN SPIRIT'   |
| PIS CHI            | PISTACIA CHINENSIS                  |
| POD GRA            | PODOCARPUS GRAELIOR                 |
| QUE AGR            | QUERCUS AGRIFOLIA                   |
| SHRUB LEGEND       |                                     |
| SYMBOL             | BOTANICAL NAME                      |
| ●                  | CAREX TUMULICOLA                    |
| ⊕                  | HEUCHERA 'SANTA ANA CARDINAL'       |
| ☼                  | MISCANTHUS SINENSIS 'MORNING LIGHT' |
| ⊗                  | MUHLENBERGIA LINDHEIMERI            |
| +                  | OLEA EUROPAEA 'LITTLE OLLIE'        |
| ●                  | PODOCARPUS MACROPHYLLUS VAR. MAKI   |
| ⊖                  | WESTRINGIA FRUTICOSA 'GREY BOX'     |
| VINE LEGEND        |                                     |
| SYMBOL             | BOTANICAL NAME                      |
| ▲                  | FICUS PUMILA                        |
| GROUNDCOVER LEGEND |                                     |
| SYMBOL             | BOTANICAL NAME                      |
| ■                  | BOLERO PLUS BY DELTA BLUEGRASS      |

NOTES:  
 1. TREES TO BE PLANTED MINIMUM 5' FROM UNDERGROUND UTILITIES.  
 2. SEE SHEET L4.2 FOR PLANTING LEGEND AND NOTES.  
 3. SEE SHEET L4.3 FOR PLANTING DETAILS.  
 4. A MINIMUM 3" LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRADICTED.  
 5. THE MAXIMUM HEIGHT OF FENCES, WALLS, HEDGES OR SIMILAR STRUCTURES SHALL NOT EXCEED FOUR FEET (4') IN THE REQUIRED FRONT SETBACK, AND SEVEN FEET (7') FOR THE REMAINDER OF THE PROPERTY.

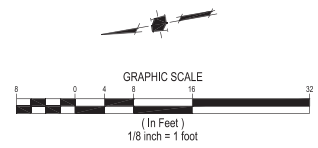
| HERITAGE TREE REPLACEMENT TREES           |         |
|---|---------|
| DESCRIPTION                               | VALUE   |
| TWO (2) QUERCUS AGRIFOLIA, 36" BOX        | \$2,400 |
| ONE (1) PISTACIA CHINENSIS, 24" BOX       | \$400   |
| ONE (1) PODOCARPUS GRAELIOR, 24" BOX      | \$400   |
| REPLACEMENT TREES TOTAL                   | \$3,200 |
| ACER PALMATUM HERITAGE TREE TO BE REMOVED | \$3,150 |



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| NO. | DATE | DESCRIPTION |
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|---------------|---------------|
| PROJECT NO.   | 5985.27       |
| CAD DWG FILE: | 598527.LD.DWG |
| DESIGNED BY:  | JH            |
| DRAWN BY:     | JH            |
| CHECKED BY:   | BS            |
| DATE:         | 03.31.2022    |
| SCALE:        | 1/8" = 1'-0"  |
| ©             | HMH           |



PLANTING PLAN

L4.1

**PLANTING NOTES**

CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO FURNISH AND INSTALL PLANT MATERIAL AS SHOWN ON THE DRAWINGS AND AS DESCRIBED IN THE SPECIFICATIONS.

UNLESS DESIGNATED ON THE DRAWINGS OTHERWISE, STRUCTURAL IMPROVEMENTS AND HARDSCAPE SHALL BE INSTALLED PRIOR TO PLANTING OPERATIONS.

PLANT LIST ON THE DRAWINGS SHALL BE USED AS A GUIDE ONLY. CONTRACTOR SHALL TAKEOFF AND VERIFY SIZES AND QUANTITIES BY PLAN CHECK.

A SOIL MANAGEMENT REPORT SHALL BE PROVIDED BY LANDSCAPE CONTRACTOR AND SOIL AMENDMENTS SHALL BE FOLLOWED PER THE REPORT. PHYSICAL COPIES OF THE SOIL MANAGEMENT REPORT SHALL BE PROVIDED TO THE CLIENT, PROJECT LANDSCAPE ARCHITECT AND LOCAL AGENCY AS REQUIRED. THE SOIL MANAGEMENT REPORT SHALL CONFORM TO STATE AB1881 WATER EFFICIENT LANDSCAPE ORDINANCE (WELO) OR LOCAL AGENCY ADOPTED WELO. CONTRACTOR SHALL OBTAIN A SOILS MANAGEMENT REPORT AFTER GRADING OPERATIONS AND PRIOR TO PLANT INSTALLATION.

SAMPLES OF FERTILIZERS, ORGANIC AMENDMENT, SOIL CONDITIONERS, AND SEED SHALL BE SUBMITTED PRIOR TO INCORPORATION. CONTRACTOR SHALL FURNISH TO THE OWNER'S AUTHORIZED REPRESENTATIVE A CERTIFICATE OF COMPLIANCE FOR SUCH FURNISHED MATERIALS.

ALL WORK ON THE IRRIGATION SYSTEM, INCLUDING HYDROSTATIC, COVERAGE, AND OPERATIONAL TESTS AND THE BACKFILLING AND COMPACTION OF TRENCHES SHALL BE PERFORMED PRIOR TO PLANTING OPERATIONS.

LOCATIONS OF PLANT MATERIAL SHALL BE REVIEWED ON SITE BY THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION.

TREES SHALL BE PLANTED NO CLOSER THAN TEN FEET (10') FROM UTILITIES.

TREES PLANTED WITHIN FIVE FEET (5') OF HARDSCAPE OR STRUCTURES SHALL BE INSTALLED WITH A ROOT BARRIER AS APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

CONTRACTOR MUST CONTACT THE CITY ARBORIST TO VERIFY ANY PROPOSED SPECIES (EVEN IF SHOWN ON THE PLANS), LOCATIONS, AND QUANTITIES OF ALL PROPOSED TREES PRIOR TO ORDERING MATERIAL.

A MINIMUM 3" LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED. CONTRACTOR SHALL PROVIDE SAMPLE OF PROPOSED BARK MULCH FOR APPROVAL. BARK MULCH SHALL BE LYNOSO SMALL FIR BARK (3/4" TO 1-1/2") OR APPROVED EQUAL.

FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6" OF SOIL, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF 6" INTO THE SOIL.

ALL PLANT MATERIAL SHALL BE SELECTED IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1)

FOR STANDARD FORM TREES, CALIPER SIZE SHALL BE MEASURED 6" ABOVE THE SOIL LINE FOR CALIPERS EQUAL TO OR LESS THAN 4" FOR CALIPERS GREATER THAN 4", CALIPER SHALL BE MEASURES 12" ABOVE THE SOIL LINE. FOR MULTI-TRUNK TREES THE CALIPER SHALL BE ESTABLISHED BY TAKING THE AVERAGE OF THE CALIPER OF THE TWO LARGEST TRUNKS.

CALIPER IS MEASURED 6" ABOVE ORIGINATION POINT OF THE SECOND LARGEST TRUNK OR 6" ABOVE GROUND IF ALL TRUNKS ORIGINATE FROM THE SOIL.

CALIPER SIZES STANDARDS:  
 15 GALLON: 0.75-1.25"  
 24" BOX: 1.25-2"  
 36" BOX: 2-3.5"  
 48" BOX: 3.5-5"  
 60" BOX: 4-6"

WATER NEEDS CATEGORY BASED ON WUCOLS IV (JANUARY 2014) LANDSCAPE COEFFICIENT METHOD:

|                |                               |
|----------------|-------------------------------|
| CATEGORY       | PERCENTAGE OF E <sub>to</sub> |
| (H) HIGH:      | 0.7-0.9                       |
| (M) MEDIUM:    | 0.4-0.6                       |
| (L) LOW:       | 0.1-0.3                       |
| (VL) VERY LOW: | <0.1                          |

SITE CLEANLINESS: THE CONTRACTOR IS RESPONSIBLE TO KEEP THE SITE CLEAN FOR SOIL EROSION CONTROL MEASURES AND FOR ANY OTHER GENERAL REQUIREMENTS. SHOULD EXISTING CONDITIONS REQUIRE MITIGATION, THE CONTRACTOR SHALL ALERT THE OWNER OR LANDSCAPE ARCHITECT PRIOR TO PERFORMING WORK.

CERTIFICATE OF COMPLETION: A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS, OR LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT.

**PLANTING LEGEND**

| TREE LEGEND        |                                     | QUANTITY | BOTANICAL NAME                      | COMMON NAME                    | MINIMUM CONTAINER SIZE | H x W     | WUCOLS | NOTES       |
|--------------------|-------------------------------------|----------|-------------------------------------|--------------------------------|------------------------|-----------|--------|-------------|
|                    | ARC MAN                             | 6        | ARCTOSTAPHYLOS MANZANITA            | COMMON MANZANITA               | 15 GALLON              | 10' x 10' | L      | MULTI-TRUNK |
|                    | COT COG                             | 1        | COTINUS COGGYGRIA 'GOLDEN SPIRIT'   | GOLDEN SPIRIT SMOKE TREE       | 15 GALLON              | 8 x 8'    | L      |             |
|                    | PIS CH                              | 1        | PISTACIA CHINENSIS                  | CHINESE PISTACHE               | 24" BOX                | 35' x 20' | L      |             |
|                    | POD GRA                             | 1        | PODOCARPUS GRACILIOR                | FERN PINE                      | 24" BOX                | 35' x 15' | M      |             |
|                    | QUE AGR                             | 2        | QUERCUS AGRIFOLIA                   | COAST LIVE OAK                 | 36" BOX                | 40' x 40' | L      |             |
| SHRUB LEGEND       |                                     | QUANTITY | BOTANICAL NAME                      | COMMON NAME                    | MINIMUM CONTAINER SIZE | H x W     | WUCOLS |             |
|                    | CAREX TUMULICOLA                    | 84       | CAREX TUMULICOLA                    | BERKELEY SEDGE                 | 1 GALLON               | 2' x 2'   | L      |             |
|                    | HEUCHERA 'SANTA ANA CARDINAL'       | 32       | HEUCHERA 'SANTA ANA CARDINAL'       | SANTA ANA CARDINAL CORAL BELLS | 1 GALLON               | 1' x 2'   | L      |             |
|                    | MISCANTHUS SINENSIS 'MORNING LIGHT' | 6        | MISCANTHUS SINENSIS 'MORNING LIGHT' | MORNING LIGHT MAIDENHAIR GRASS | 5 GALLON               | 3' x 3'   | L      |             |
|                    | MUHLBERGIA LINDHEIMERI              | 20       | MUHLBERGIA LINDHEIMERI              | LINDHEIMER'S MUHLY             | 5 GALLON               | 4' x 4'   | L      |             |
|                    | OLEA EUROPAEA 'LITTLE OLLIE'        | 6        | OLEA EUROPAEA 'LITTLE OLLIE'        | DWARF OLIVE                    | 15 GALLON              | 4' x 4'   | L      |             |
|                    | PODOCARPUS MACROPHYLLUS VAR. MAKI   | 10       | PODOCARPUS MACROPHYLLUS VAR. MAKI   | SHRUBBY YEW PINE               | 15 GALLON              | 6 x 5'    | L      |             |
|                    | WESTRINGIA FRUTICOSA 'GREY BOX'     | 21       | WESTRINGIA FRUTICOSA 'GREY BOX'     | DWARF COAST ROSEMARY           | 5 GALLON               | 3' x 3'   | L      |             |
| VINE LEGEND        |                                     | QUANTITY | BOTANICAL NAME                      | COMMON NAME                    | MINIMUM CONTAINER SIZE | H x W     | WUCOLS |             |
|                    | FICUS PUMILA                        | 25       | FICUS PUMILA                        | CREEPING FIG                   | 1 GALLON               | CLIMBING  | M      |             |
| GROUNDCOVER LEGEND |                                     | SPACING  | BOTANICAL NAME                      | COMMON NAME                    | MINIMUM CONTAINER SIZE | H x W     | WUCOLS |             |
|                    | BOLERO PLUS BY DELTA BLUEGRASS      | -        | BOLERO PLUS BY DELTA BLUEGRASS      | LAWN                           | SOD                    | SOD       | H      |             |



Land Use Entitlements  
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 Landscape Architecture  
 Civil Engineering  
 Utility Design  
 Land Surveying  
 Stormwater Compliance  
 1570 Oakland Road  
 San Jose, CA 95131 (408) 487-2200  
 hhm@hca.com



**816 LAUREL AVENUE**  
**THOMAS JAMES HOMES**  
 MENLO PARK, CA

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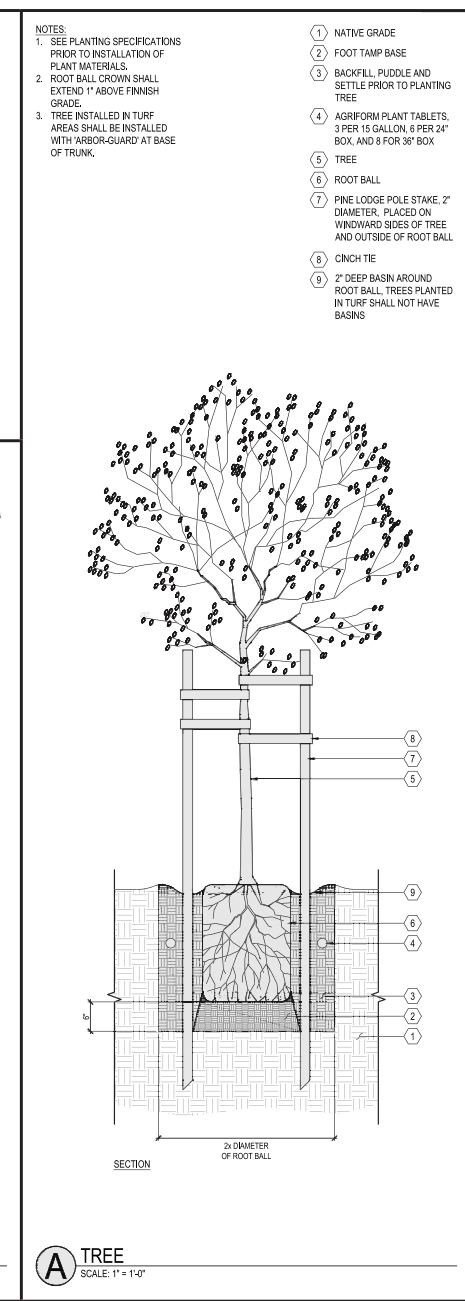
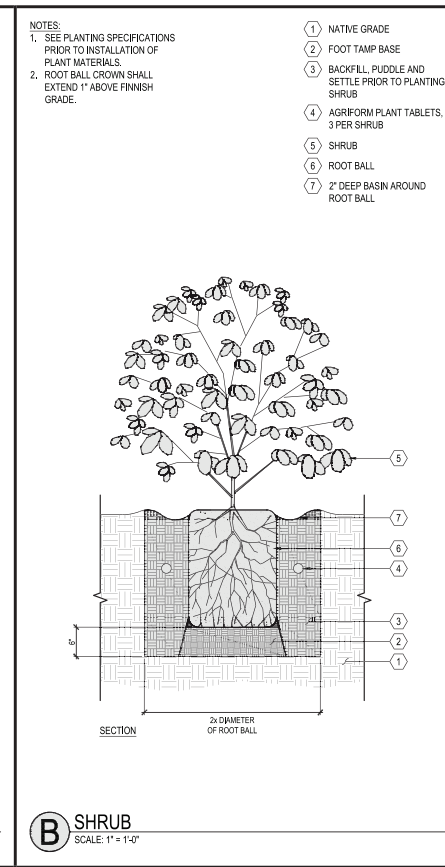
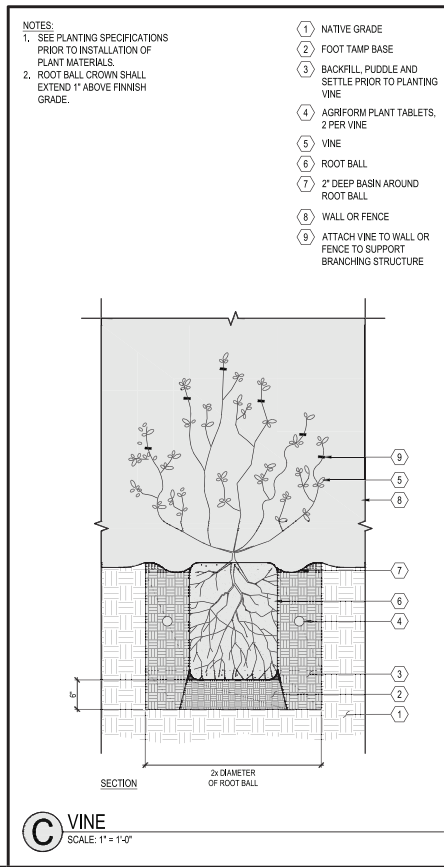
| NO.           | DATE | DESCRIPTION  |
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| PROJECT NO.   |      | 5985.27      |
| CAD DWG FILE: |      | 59857L02.DWG |
| DESIGNED BY:  |      | JH           |
| DRAWN BY:     |      | JH           |
| CHECKED BY:   |      | BS           |
| DATE:         |      | JUL 1, 2022  |
| SCALE:        |      | NONE         |
| © HMH         |      | NONE         |

**PLANTING LEGEND AND NOTES**

**L4.2**

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PLOTTED: 7/1/2022 10:00 AM





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1570 Oakland Road (408) 487-2200  
 San Jose, CA 95131 HMH@ca.com



STATE OF CALIFORNIA



THOMAS JAMES HOMES

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**THOMAS JAMES HOMES**  
 MENLO PARK, CA

| NO | DATE | DESCRIPTION |
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 CAD DWG FILE. 598527.L02.DWG  
 DESIGNED BY. JH  
 DRAWN BY. JH  
 CHECKED BY. BS  
 DATE. 03/31/2022  
 SCALE. AS NOTED  
 © HMH

**PLANTING DETAILS**

**L4.3**

**TREE PROTECTION NOTES**

**SECTION I**  
**SITE PREPARATION:** ALL EXISTING TREES SHALL BE FENCED OFF WITHIN OR AT THE DRIP LINE (FOLIAR SPREAD) OF THE TREE. THE FENCE SHOULD BE A MINIMUM OF SIX FEET HIGH, MADE OF WIRE WITH STEEL STAKES, SUCH AS CYCLONE FENCING. IF THE FENCE IS WITHIN THE DRIP LINE OF THE TREES, EVERY ATTEMPT SHOULD BE MADE TO RELOCATE THE FENCE AT THE DRIPLINE OF THE TREE, IF NOT POSSIBLE, THE TREE SHALL BE PRUNED TO REDUCE THE CHANCE OF LIMB BREAKAGE FROM CONSTRUCTION EQUIPMENT ENCRDACHING WITHIN THE DRIP LINE. ALL CONTRACTORS, SUBCONTRACTORS AND OTHER PERSONNEL SHALL BE WARNED THAT ENCRDACHMENT WITHIN THE FENCED AREA IS FORBIDDEN WITHOUT THE CONSENT OF THE CERTIFIED ARBORIST ON THE JOB. THIS INCLUDES, BUT IS NOT LIMITED TO, STORAGE OF LUMBER AND OTHER MATERIALS, DISPOSAL OF PAINTS, SOLVENTS OR OTHER NOXIOUS MATERIALS, PARKED CARS, GRADING EQUIPMENT OR OTHER HEAVY EQUIPMENT, PENALTIES, BASED ON THE COST OF REMEDIAL REPAIRS AND THE EVALUATION GUIDE PUBLISHED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE, SHALL BE ASSESSED FOR DAMAGES TO THE TREES.

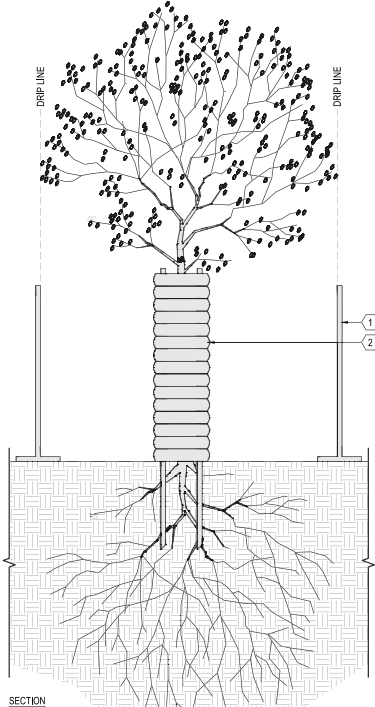
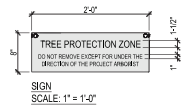
**SECTION II**  
**GRADING/EXCAVATING:** ALL GRADING PLANS THAT SPECIFY GRADING WITHIN THE DRIP LINE OF ANY TREE, OR WITHIN THE DISTANCE FROM THE TRUNK AS OUTLINED IN SECTION I WHEN SAID DISTANCE IS OUTSIDE THE DRIP LINE, SHALL FIRST BE REVIEWED BY THE CERTIFIED ARBORIST. PROVISIONS FOR AERATION, DRAINAGE, PRUNING, TUNNELING BENEATH ROOTS, ROOT PRUNING OR OTHER NECESSARY ACTIONS TO PROTECT THE TREES SHALL BE OUTLINED BY THE ARBORIST. IF TRENCHING IS NECESSARY WITHIN THE AREA AS DESCRIBED ABOVE, SAID TRENCHING SHALL BE UNDERTAKEN BY HAND LABOR. ALL ROOTS 2 INCHES OR LARGER SHALL BE TUNNELED UNDER AND OTHER ROOTS SHALL BE CUT SMOOTHLY TO THE TRUNK SIDE OF THE TRENCH. THE TRUNK SIDE SHOULD BE DRAPED IMMEDIATELY WITH TWO LAYERS OF UNTREATED BURLAP TO A DEPTH OF 3 FEET FROM THE SURFACE. THE BURLAP SHALL BE SOAKED THOROUGHLY AND LEFT IN PLACE UNTIL THE TRENCH IS BACK FILLED TO THE ORIGINAL LEVEL. THE ARBORIST SHALL EXAMINE THE TRENCH PRIOR TO BACK FILLING TO ASCERTAIN THE NUMBER AND SIZE OF ROOTS CUT, SO AS TO SUGGEST THE NECESSARY REMEDIAL REPAIRS.

**SECTION III**  
**REMEDIAL REPAIRS:** THE ARBORIST ON THE JOB SHALL HAVE THE RESPONSIBILITY OF OBSERVING ALL ONGOING ACTIVITIES THAT MAY AFFECT THE TREES, AND PRESCRIBING NECESSARY REMEDIAL WORK TO INSURE THE HEALTH AND STABILITY OF SAID TREES. THIS INCLUDES, BUT IS NOT LIMITED TO, ALL ARBORIST ACTIVITIES BROUGHT OUT IN SECTIONS I AND II. IN ADDITION, PRUNING AS OUTLINED IN THE "PRUNING STANDARDS" OF THE WESTERN CHAPTER OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE, SHALL BE PRESCRIBED AS NECESSARY. FERTILIZING, AERATION, IRRIGATION, PEST CONTROL AND OTHER ACTIVITIES SHALL BE PRESCRIBED ACCORDING TO THE TREE NEEDS, LOCAL SITE REQUIREMENTS, AND STATE AGRICULTURAL PEST CONTROL LAWS. ALL SPECIFICATIONS SHALL BE IN WRITING. FOR PEST CONTROL OPERATIONS, CONSULT THE LOCAL COUNTY AGRICULTURAL COMMISSIONERS OFFICE FOR INDIVIDUALS LICENSED AS PEST CONTROL ADVISORS OR PEST CONTROL OPERATORS.

**SECTION IV**  
**FINAL INSPECTION:** UPON COMPLETION OF THE PROJECT, THE ARBORIST SHALL REVIEW ALL WORK UNDERTAKEN THAT MAY IMPACT THE EXISTING TREES. SPECIAL ATTENTION SHALL BE GIVEN TO CUTS AND FILLS, COMPACTING, DRAINAGE, PRUNING AND FUTURE REMEDIAL WORK. THE ARBORIST SHOULD SUBMIT A FINAL REPORT IN WRITING OUTLINING THE ONGOING REMEDIAL CARE FOLLOWING THE FINAL INSPECTION.

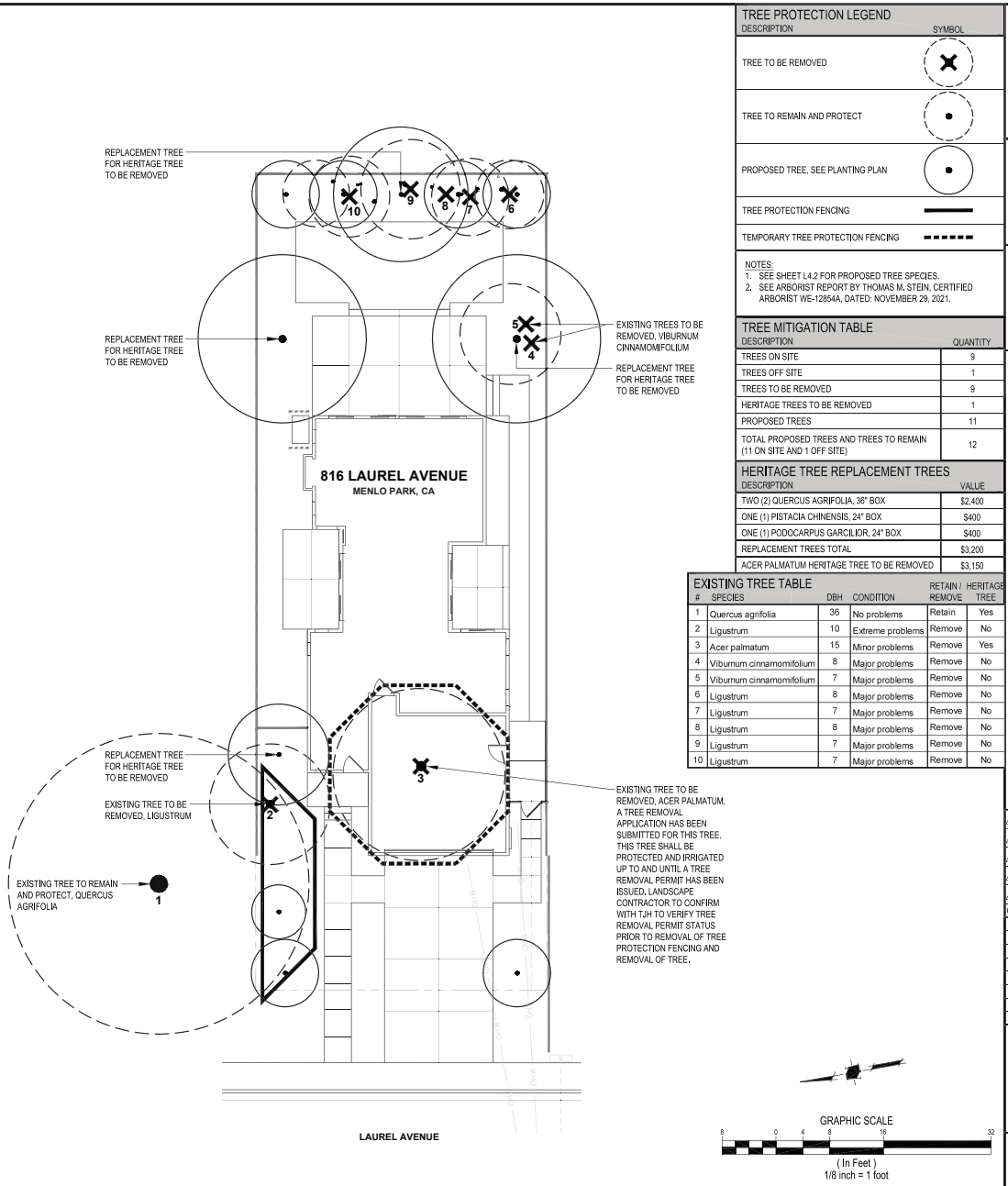
**NOTES:**

- TREE PROTECTION MEASURES SHALL BE INSTALLED BEFORE GRADING OR EQUIPMENT IS ALLOWED ON SITE.
- PRIOR TO CONSTRUCTION, CONSULT WITH THE PROJECT ARBORIST TO DETERMINE FERTILIZING AND WATERING SCHEDULES FOR EXISTING TREES.
- WHEN CONSTRUCTION IS TO TAKE PLACE WITHIN A TREE'S DRIP LINE, FENCING SHALL BE LOCATED BY THE PROJECT ARBORIST.
- NO CONSTRUCTION WASTE, EITHER LIQUID, SOLID, OR ANY OTHER SUBSTANCE WHICH COULD ENTER INTO THE ROOT SYSTEM (OIL, GASOLINE, CHEMICALS, OR OTHER HARMFUL MATERIALS) SHALL BE DEPOSITED, DISPOSED OF, OR STORED WITHIN OR NEAR A TREE'S DRIP LINE.
- WIRE, SIGNS, ROPES, PULLEYS, ETC., SHALL NOT BE ATTACHED TO ANY TREE.
- IF TRENCHING WITHIN A TREE'S DRIP LINE IS NECESSARY, CONSULT WITH PROJECT ARBORIST.
- IF TREE PRUNING IS NECESSARY, IT SHALL BE CARRIED OUT BY THE PROJECT ARBORIST.
- ONLY TREES WITHIN THE LIMITS OF OR ADJACENT TO GRADING AND CONSTRUCTION AREAS SHALL RECEIVE TREE PROTECTION.
- INSTALL ONE SIGN TO DRIP LINE FENCING PER AREA.



**A TREE PROTECTION**  
 SCALE: 1/2" = 1'-0"

- 6'-0" HIGH TEMPORARY CHAIN LINK FENCE, INSTALLED AT DRIP LINE
- INSTALL TRUNK WRAP IF DRIP LINE FENCE IS NOT PRACTICAL. INSTALL FOUR (4) LODGE POLES AROUND EACH TREE. WRAP TRUNK IN STRAW WADDLE. THEN WRAP IN ORANGE SNOW FENCING UP TO BRANCHING STRUCTURE



**TREE PROTECTION LEGEND**

| DESCRIPTION                       | SYMBOL |
|-----------------------------------|--------|
| TREE TO BE REMOVED                |        |
| TREE TO REMAIN AND PROTECT        |        |
| PROPOSED TREE, SEE PLANTING PLAN  |        |
| TREE PROTECTION FENCING           |        |
| TEMPORARY TREE PROTECTION FENCING |        |

**NOTES:**  
 1. SEE SHEET L4.2 FOR PROPOSED TREE SPECIES.  
 2. SEE ARBORIST REPORT BY THOMAS M. STEIN, CERTIFIED ARBORIST #IC-12554A, DATED: NOVEMBER 29, 2021.

**TREE MITIGATION TABLE**

| DESCRIPTION  | QUANTITY |
|--|----------|
| TREES ON SITE  | 9        |
| TREES OFF SITE   | 1        |
| TREES TO BE REMOVED  | 9        |
| HERITAGE TREES TO BE REMOVED   | 1        |
| PROPOSED TREES   | 11       |
| TOTAL PROPOSED TREES AND TREES TO REMAIN (11 ON SITE AND 1 OFF SITE) | 12       |

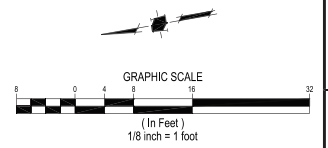
**HERITAGE TREE REPLACEMENT TREES**

| DESCRIPTION                               | VALUE   |
|---|---------|
| TWO (2) QUERCUS AGRIFOLIA, 36" BOX        | \$2,400 |
| ONE (1) PISTACIA CHINENSIS, 24" BOX       | \$400   |
| ONE (1) PODOCARPUS GARCILOR, 24" BOX      | \$400   |
| REPLACEMENT TREES TOTAL                   | \$3,200 |
| ACER PALMATUM HERITAGE TREE TO BE REMOVED | \$3,150 |

**EXISTING TREE TABLE**

| #  | SPECIES                  | DBH | CONDITION        | RETAIN / REMOVE | HERITAGE TREE |
|----|--------------------------|-----|------------------|-----------------|---------------|
| 1  | Quercus agrifolia        | 36  | No problems      | Retain          | Yes           |
| 2  | Ligustrum                | 10  | Extreme problems | Remove          | No            |
| 3  | Acer palmatum            | 15  | Minor problems   | Remove          | Yes           |
| 4  | Viburnum cinnamomifolium | 8   | Major problems   | Remove          | No            |
| 5  | Viburnum cinnamomifolium | 7   | Major problems   | Remove          | No            |
| 6  | Ligustrum                | 8   | Major problems   | Remove          | No            |
| 7  | Ligustrum                | 7   | Major problems   | Remove          | No            |
| 8  | Ligustrum                | 8   | Major problems   | Remove          | No            |
| 9  | Ligustrum                | 7   | Major problems   | Remove          | No            |
| 10 | Ligustrum                | 7   | Major problems   | Remove          | No            |

EXISTING TREE TO BE REMOVED, ACER PALMATUM. A TREE REMOVAL APPLICATION HAS BEEN SUBMITTED FOR THIS TREE. THIS TREE SHALL BE PROTECTED AND IRRIGATED UP TO AND UNTIL A TREE REMOVAL PERMIT HAS BEEN ISSUED. LANDSCAPE CONTRACTOR TO CONFIRM WITH T.J.H. TO VERIFY TREE REMOVAL PERMIT STATUS PRIOR TO REMOVAL OF TREE PROTECTION FENCING AND REMOVAL OF TREE.



**T.J.H.**  
 Land Use Entitlements  
 Land Planning  
 Landscape Architecture  
 Civil Engineering  
 Utility Design  
 Land Surveying  
 Stormwater Compliance  
 1570 Oakland Road  
 San Jose, CA 95131 (408) 487-2200  
 tjh@tjca.com



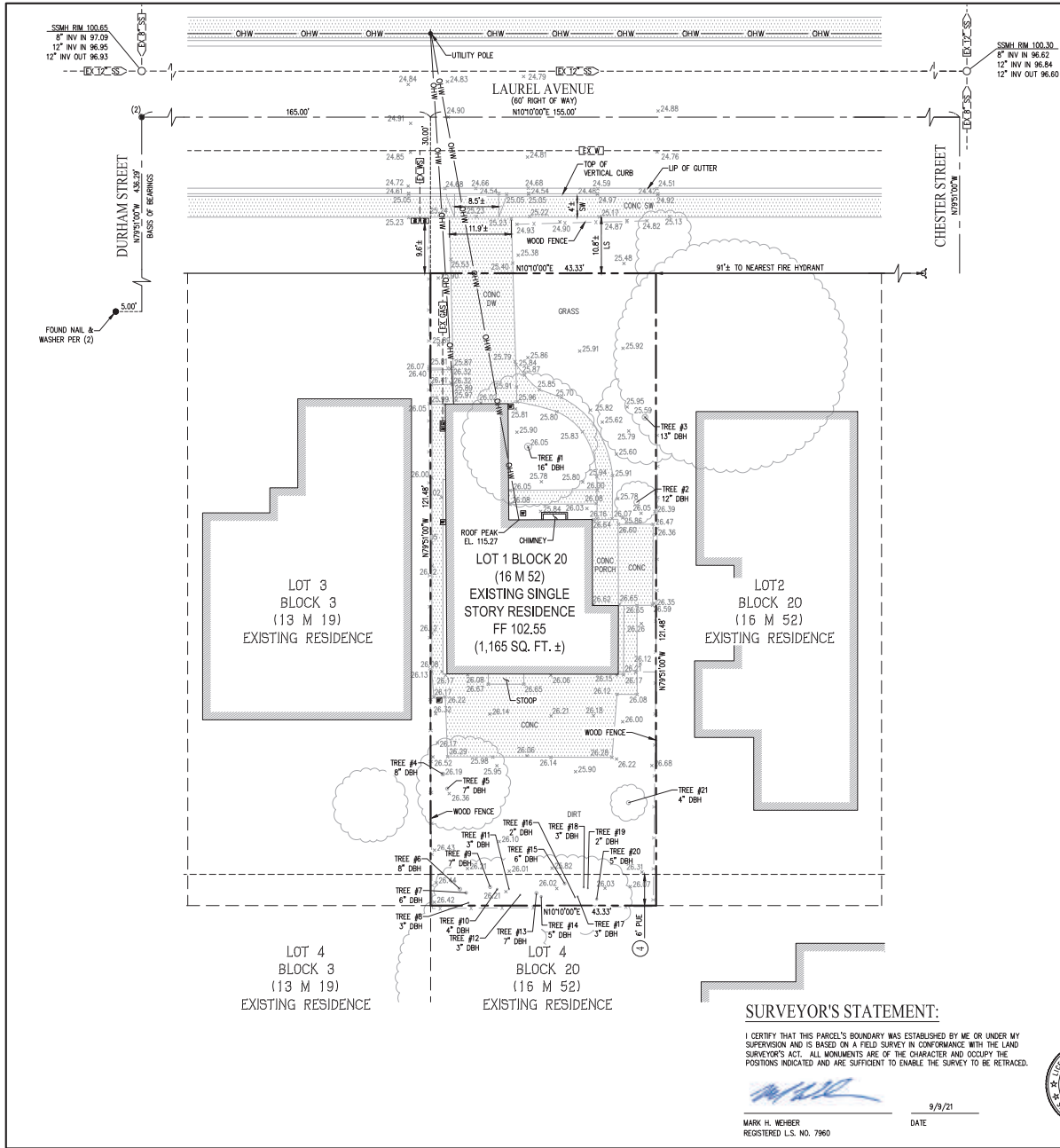
**THOMAS JAMES HOMES**  
 816 LAUREL AVENUE  
 THOMAS JAMES HOMES  
 MENLO PARK, CA

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
|     |      |             |
|     |      |             |
|     |      |             |
|     |      |             |

| NO.          | DATE          | DESCRIPTION |
|--------------|---------------|-------------|
| PROJECT NO.  | 5985.27       |             |
| CAD DWG FILE | 598527.LD.DWG |             |
| DESIGNED BY: | JH            |             |
| DRAWN BY:    | JH            |             |
| CHECKED BY:  | BS            |             |
| DATE:        | 04.01.2022    |             |
| SCALE:       | 1/8" = 1'-0"  |             |
| ©            | TJH           |             |

**TREE PROTECTION PLAN AND DETAIL**

**L5.1**



**TITLE REPORT**

FIDELITY NATIONAL TITLE COMPANY  
 TITLE NO. FSMO-1082101355-8D  
 DATED JUNE 21, 2021

**LEGAL DESCRIPTION:**

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF MENLO PARK, COUNTY OF SAN MATEO, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:  
 LOT 1 IN BLOCK 20, AS SHOWN ON THAT CERTAIN MAP ENTITLED "MENALTO PARK MAP NO. 3, SAN MATEO COUNTY, CALIFORNIA", FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN MATEO COUNTY, STATE OF CALIFORNIA, ON DECEMBER 1, 1927 IN BOOK 16 OF MAPS AT PAGE(S) 52.

**EXCEPTIONS AND EXCLUSIONS:**

- ① INDICATES TITLE REPORT ITEM NUMBER
- ITEMS ① THROUGH ③ RELATE TO TAXES AND LIENS, AND CANNOT BE PLOTTED.
- ④ EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS DELINEATED OR AS OFFERED FOR DEDICATION, ON THE MAP OF SAID TRACT/PLAT:
- PURPOSE: PUBLIC UTILITIES AFFECTS: EASTERLY 6 FEET
- ITEMS ⑤ THROUGH ⑦ RELATE TO DEEDS OF TRUST AND THE TITLE, AND CANNOT BE PLOTTED.

**BENCHMARK:**

BENCHMARK (C): BM 6 (CITY OF MENLO PARK)  
 DESCRIPTION: BRASS DISC SET IN TOP OF CURB, STAMPED "CITY BENCHMARK 6", AT THE INTERSECTION OF WILLOW ROAD AND DURHAM STREET, AT THE NORTHERLY END OF THE SOUTHWESTERLY CURB RETURN.  
 ELEVATION: 31.14' (NAVD 88)

**BASEIS OF BEARINGS:**

THE BASEIS OF BEARINGS FOR THIS SURVEY IS THE CENTERLINE OF DURHAM STREET, THE BEARING BEING N10°15'00"W AS ESTABLISHED FROM FOUND MONUMENTS SHOWN ON RECORD OF SURVEY NO. 2812 (42 LLS 26).

**ASSESSOR'S PARCEL NUMBER:**

062-235-030

**AREA:**

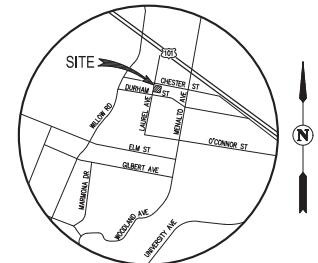
5,284 SQ. FT.

**REFERENCES:**

- ① INDICATES REFERENCE NUMBER
- ① MENALTO PARK MAP NO. 3 (16 M 52)
- ② RECORD OF SURVEY NO. 2812 (42 LLS 26)

**LEGEND & ABBREVIATIONS**

|     |                           |      |                         |
|-----|---------------------------|------|-------------------------|
| --- | BOUNDARY LINE             | CONC | CONCRETE                |
| --- | STREET CENTER LINE        | DW   | DRIVEWAY                |
| --- | EXISTING RIGHT OF WAY     | EL   | ELEVATION               |
| --- | ADJACENT PROPERTY LINE    | EX   | EXISTING                |
| --- | EXISTING STRUCTURE LINE   | FF   | FINISHED FLOOR          |
| --- | EXISTING UTILITY PIPE     | FH   | FIRE HYDRANT            |
| --- | OVERHEAD WIRES            | LAT  | LATERAL                 |
| --- | FENCE LINE                | LS   | LANDSCAPE               |
| --- | TIE LINE                  | OHW  | OVERHEAD WIRES          |
| ⊕   | EXISTING ELECTRIC METER   | PUE  | PUBLIC UTILITY EASEMENT |
| ⊕   | EXISTING GAS METER        | SS   | SANITARY SEWER          |
| ⊕   | EXISTING WATER FAUCET     | SSMH | SANITARY SEWER MANHOLE  |
| ⊕   | EXISTING WATER METER      | SW   | SIDEWALK                |
| ⊕   | EXISTING GROUND ELEVATION | W    | WATER                   |
| ⊕   | EXISTING FIRE HYDRANT     | WM   | WATER METER             |
| ⊕   | FOUND STREET MONUMENT     | WS   | WATER SERVICE           |
| ⊕   | FOUND MONUMENT AS NOTED   |      |                         |



**VICINITY MAP**  
 NOT TO SCALE

**NOTES:**

- 1) RECORD INFORMATION AND PROPERTY DESCRIPTION ARE PER TITLE REPORT LISTED HEREIN.
- 2) UTILITIES SHOWN ARE BASED ON OBSERVED EVIDENCE AT THE TIME OF THE FIELD SURVEY. ADDITIONAL RESEARCH AND INVESTIGATION WOULD BE REQUIRED TO DETERMINE THE EXACT LOCATIONS OF UNDERGROUND UTILITIES. DO NOT RELY ON THIS SURVEY FOR SUCH LOCATIONS. SOME UTILITIES COULD BE COVERED BY STRUCTURES OR OBJECTS SUCH AS AUTOMOBILES, TRUCKS, CONTAINERS, ETC.
- 3) ALL DISTANCES SHOWN ARE FEET AND DECIMALS THEREOF.
- 4) NO SANITARY SEWER CLEANOUT WAS LOCATED DURING FIELD SURVEY.
- 5) ALL TIES SHOWN HEREON ARE PERPENDICULAR UNLESS OTHERWISE NOTED.
- 6) STRUCTURES, IMPROVEMENTS, AND TREES ON ADJACENT PROPERTIES HAVE NOT BEEN SURVEYED. LOCATIONS DEPICTED HEREIN ARE APPROXIMATE.
- 7) SURVEY UPDATED ON 9/8/21 TO REFERENCE TREE INFORMATION CONTAINED IN TREE INVENTORY IN THE PROJECT ARBORIST REPORT DATED AUGUST 19M 2021 AND PREPARED BY HAW.

**FLOOD ZONE:**

ZONE AE: AREAS DETERMINED TO BE INSIDE A REGULATORY FLOODWAY AREA (SPECIAL FLOOD HAZARD AREA). BASE FLOOD ELEVATION 27'-28' FT. AS DETERMINED BY MAP LISTED HEREON.

SOURCE: FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), FLOOD INSURANCE RATE MAP, MAP NUMBER 060810309F

DATED: APRIL 5, 2019

**816 LAUREL AVENUE**  
**TOPOGRAPHIC & BOUNDARY SURVEY**

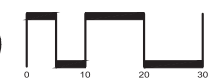
CITY OF MENLO PARK COUNTY OF SAN MATEO CALIFORNIA

SCALE: 1" = 10' DATE: SEPTEMBER 9, 2021

**SURVEYOR'S STATEMENT:**

I CERTIFY THAT THIS PARCEL(S) BOUNDARY WAS ESTABLISHED BY ME OR UNDER MY SUPERVISION AND IS BASED ON A FIELD SURVEY IN CONFORMANCE WITH THE LAND SURVEYOR'S ACT. ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE REPRODUCED.

*Mark H. Weber*  
 DATE: 9/9/21  
 MARK H. WEBER  
 REGISTERED L.S. NO. 7960



SAN RAMON (925) 866-0322  
 SACRAMENTO (916) 375-1877  
 WWW.CBAGROUP.COM

SHEET NO.  
**1**  
 OF 1 SHEETS

JOB NO.: 3085-000



**THOMAS JAMES HOMES**  
255 Shoreline Dr Suite 428,  
Redwood City, CA 94065

816 Laurel Ave (PLN2022-00003)

**PROJECT DESCRIPTION**

April 14, 2022

**PARCEL GENERAL INFORMATION**

The parcel located at 816 Laurel Avenue is substandard in width and area, which is the reason a Use Permit is required for the proposed two-story residence. The R-1-U zoning ordinance requires a minimum of 7000 sq ft in area and a minimum of 65 feet wide by 100 feet long, but the existing parcel is 5,264 sq ft in area and 43'-4" wide by 121'-6" long. This parcel is also in a flood zone, so the proposed design meets the City regulation for development in a flood zone.

There are 10 trees inventoried on and off site. Tree #1 is offsite, while tree numbers 2-10 are on site. Tree #3 requires an HTR to remove. Temporary tree protection fencing will remain in-place until permit approval is obtained. Off site tree #1 will be protected during construction with on-site fencing as well as other methods to save the tree from being impacted.

**EXISTING HOME TO BE DEMOLISHED**

The existing house is a Minimal Traditional style home with a raised concrete slab, built in 1948. It is 1,178 sf and has an attached garage. Since the property is in a flood zone, the existing design does not meet the current requirements for Base Flood Elevation and Design Flood Elevation.

**PROPOSED SINGLE FAMILY RESIDENCE**

The proposed two-story single-family residence has a transitional design that blends modern elements with more traditional ones. Classic features such as the horizontal siding, eave trim and horizontal rake board across the front gable, combined with the minimalist windows and modern door styles provides a unique design that blends well with the surrounding neighborhood where traditional and modern styles intermingle. Given the neighborhood style and the mix of 1- & 2-story homes, we believe that the home will compliment well with the neighborhood context. The new home will have 4 bedrooms with an open living-kitchen area with lots of attention paid to indoor-outdoor living, which contributes to community interaction.

**PRIVACY MEASURES TAKEN**

The latest plans have made extensive efforts to consider privacy. The primary bedroom was moved to the rear of the home. This allows required egress windows to face the rear yard which in turn allows all side facing 2<sup>nd</sup> story windows to have higher sills. Several unnecessary windows were removed entirely to help with privacy. These include the windows on the bed wall of the primary bedroom and the walk-in closet. The rear facing bedroom 2 window was raised to a 3'-6" sill per a planning comment. We tried to raise this higher, but a 3'-6" sill is the maximum it can be raised to comply with egress requirements.





**THOMAS JAMES HOMES**  
255 Shoreline Dr Suite 428,  
Redwood City, CA 94065

## NEIGHBOR RELATIONS

We have reached out to neighbors within 300-ft. of this property with a copy of the site plan, floor plan, elevations and a letter addressing our project on January 6, 2022. We held a virtual neighbor meeting on January 26, 2022 to collect neighbor feedback. After revisions were made to address both city and neighbor comments, we reached out to the neighbors with a revised copy of plans on April 14<sup>th</sup>, 2022. Please refer to the attached notice.

In addition to mailing notices, we have coordinated with a few neighbors who have reached out with concerns. Please see the neighbor addresses and related concerns below:

### Neighbors at 812 Laurel

**Concerns:** Privacy, Light/shadows at rear yard, tree removals, overall style

**Response:** Thomas James Homes provided a shadow study to demonstrate how the home will minimally affect the sunlight to the property. Additionally, the 2<sup>nd</sup> floor primary bedroom was redesigned so that higher sills could be provided at all side facing windows in the bedrooms. Several side facing windows have also been removed to help with privacy. The only rear facing window at bedroom 2 that occurs at the side of the home was also raised to 3'-6" for privacy while maintaining egress standards. Thomas James Homes ensured that the Heritage Tree Removal is going through the appropriate process with the city and that the appropriate number of replacement trees are being proposed. The current proposed style reflects the owners preferences.

### Neighbors at 820 Laurel

**Concerns:** Privacy, shadows at side courtyard, tree removals.

**Response:** Most of the above solutions apply to this neighbor as well. See attached for correspondence to this neighbor. Additionally, the Privets in the rear yard that are non-protected have been proposed for removal due to the neighbor's request since they cause maintenance issues.

We look forward to adding to the community in Menlo Park and welcome any questions the City may have as we continue through the Use Permit process.

Sincerely,

Anna Felver, Planning Manager at **Thomas James Homes**  
[afelver@tjhusa.com](mailto:afelver@tjhusa.com) | 650. 402.3024

**THE RIGHT HOME. RIGHT WHERE YOU WANT IT.**  
255 Shoreline Drive, Suite 428, Redwood City, CA 94065



**Dain Adamson**

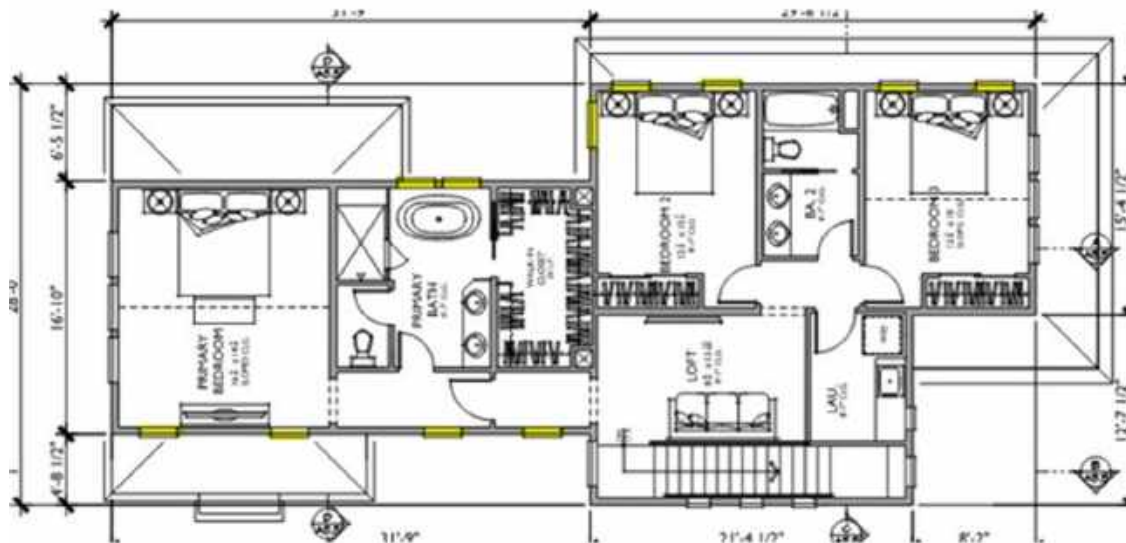
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**From:** Dain Adamson  
**Sent:** Thursday, April 14, 2022 4:41 PM  
**To:** AKerr@stanfordhealthcare.org  
**Cc:** Anna Felver  
**Subject:** RE: 816 Laurel Avenue - Neighbor Update  
**Attachments:** 816 Laurel - Neighbor Notice 2.pdf

Hello Alison,

My name is Dain Adamson and I am working on this project with Anna. I wanted to follow-up with you on your below concerns as we submit our 2<sup>nd</sup> round planning set to the city. All major changes that are being resubmitted to the city are outlined in the latest neighborhood notice packet. Please see our responses to your comments in blue below:

- Impact of the second story of this home to my privacy both within my home, and in my backyard. While the Menlo Park Planning dept will be aware of the rather large construction project that I underwent a number of years ago in my home with plans filed with MP Planning. The design of my plans including placement of windows and backyard lay out was maximized for privacy for the current house beside me (816 Laurel Ave). I am very concerned with this new plan will not provide me the current level of privacy that I had planned, and built my home for. I would like a 'match' of the current plans to my home specifically to ensure that there is not direct line of site out of my windows both in Kitchen and bedroom which would be incredibly invasive both on the first and second floor of this proposed home. Secondly the windows being planned in this home having line of site into my backyard – which when planned was done for privacy. I do not want someone in this proposed home to be able to look out of their windows into my backyard from a privacy perspective.
  - The revised plan of this home moves the primary bedroom to the back of the home. By doing this, we were able to raise all side facing bedroom windows to 4'-6" sill heights. Raising these sills to this height beyond the city's privacy sill requirements. The site lines from these windows is now significantly reduced to the rear yard and the home. Note that the rear facing window at bedroom 2 had its sill raised to 3'-6" (instead of 4'-6"). The city requested we raise the sill for this window to 3'-6" for more privacy and we were able to accommodate this while maintaining egress code compliance. All efforts have been made to accommodate appropriate privacy for your home and the neighbor on the opposite side. The below plan highlights all windows that have raised sills for privacy. Note, the bed-wall and closet windows at the primary bedroom have been removed for increased privacy to your property. There are no windows in the kitchen that look out to your lot. The dining area is setback which ensures site lines are prevented to your side yard from the interior at the first floor.



- Impact of this planned home on the light into my home and backyard. I will expect to have this reviewed and studied. The second story is likely to be incredibly impactful to what I currently experience.
  - A shadow study has been completed for this project. You can find this study in the latest neighbor notice packet attached. This shadow study is also included in the latest submittal to the city. Please note that the morning and afternoon times of the summer and winter solstice (the sun's highest and lowest points of the year) are shown to give you an idea of the full range in which shadows will be cast. In reviewing the study, you will find that this home does not impact the light to your rear yard. In the late afternoon of winter and early spring months there will be shadows cast toward the front of the home, however this is generally unavoidable given the path the sun travels. Please note that this home provides side setbacks that are greater than the city's minimum to be conscientious of the daylight plane and our impact to neighbors.
- Generic design, build and color palate of this house does not fit in the neighborhood. Like many in the neighborhood, we can see the impact of TJ construction projects changing the unique characteristics of the Willows neighborhood. The White box, with Black and grey trim is repeated over, and over again. These homes stand out like a sore thumb and do not reflect the uniqueness of the homes in the Willows.

- We understand this concern. This home has an owner that provided input on their desired colors and style. They have changed it from a cape-cod style home to a more transitional style home. The massing and all architecture remains, however, the style and color is suited to the owner's taste. These changes can be seen in the neighbor noticed attached. We understand that the character of the neighborhood is important and strive to keep all parties satisfied during this process.
- Impact to my foundation, dust/debris, damage to my property including fence, flag stone front and back yard, fence, irrigation system, windows. I have read many comments on line about damage being caused to homes beside construction projects done by TJ Homes. What is the mitigation plan to address all of these? I will want a complete walkthrough and photographic documentation of my current state prior to the initiation of any work.
  - Anna provided a response to this on 2/28/22 which can be found below. Please confirm that we will have the opportunity to document the condition of your home prior to the start of construction. Incidents in the past may have occurred on a case-by-case basis, but TJH takes every precaution necessary to ensure safety is maintained and collateral damage is avoided.
- Removal of the Maple tree in front of lot concerning
  - We agree the removal of the Japanese Maple tree is not ideal. Thomas James Homes explored relocating/transplanting the tree elsewhere offsite. After extensive research with our arborist and tree contractors, given the size of the roots and the age of the tree, the transplant process would be extremely demanding on the tree. In short, if everything was done properly, there is only a 50% chance the tree would survive. Therefore, given its location on the center of the lot, Thomas James Homes has decided to pursue the removal of the tree. Tree removal applications go through a very detailed process with the city and are reviewed as a separate application. One of the conditions to getting a tree of this size removed is that it must be replaced with trees of equal or greater value. Thomas James Homes is proposing 4 new trees as replacements. These are: two 36" box Quercus Agrifolia (coastal live oaks), one 24" box Pistacia Chinensis (Chinese Pistachia), and one 24" box Podocarpus Garcilior (African fern tree). The tree removal permit is under review and any further revisions that arise as a result of the review will be communicated to you. The landscape plan in the attached neighbor notice reflects the latest.
- Size of home for lot – overbuilt for lot including double garage. Should be single garage as currently in house.
  - Anna provided a response to this on 2/28/22 which can be found below. The size of the home is under the allowable SF for a lot of this size and the setbacks are all larger than the minimums required by the city. A two-car garage has been proposed to provide sufficient off-street parking. Note, the immediate neighborhood has a predominate number of two-car garages. Additionally, the two-car garage is something desired by the owners.
- Management of construction team, traffic on roads, streets while project ongoing including Safety of children walking to school. I have witnessed when the gate is open (surrounding the property) the gate is swung open and blocks the sidewalk, and the children need to go onto the street to pass by. This is unacceptable, and not safe for the kids walking to school. There needs to be traffic control to manage parking, congestion of cars/trucks and safety of children.
  - This is noted. In general, TJH strives to maintain construction site safety. We have stressed the importance of this on all projects and for this project specifically. Please note, Thomas James

Homes will reach out to all neighbors prior to starting demolition and construction. You will then have an opportunity to emphasize these concerns to the field staff directly.

Please note that a revised neighborhood notice is attached. You will have a hard copy mailed to you as well.

Do not hesitate to reach out with any further questions you may have.

Thank You,



**Dain Adamson**  
Senior Development Manager

**Thomas James Homes**  
1255 Treat Blvd, Suite 800, Walnut Creek, CA 94597  
(650) 562-8070 | [TJH.com](http://TJH.com)

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**From:** Kerr, Alison <[AKerr@stanfordhealthcare.org](mailto:AKerr@stanfordhealthcare.org)>  
**Sent:** Wednesday, March 2, 2022 9:48 AM  
**To:** Anna Felver <[afelver@tjhusa.com](mailto:afelver@tjhusa.com)>  
**Cc:** Cynthia Thiebaut <[cthiebaut@tjhusa.com](mailto:cthiebaut@tjhusa.com)>; Andy Cost <[acost@tjhusa.com](mailto:acost@tjhusa.com)>; Kerr, Alison <[AKerr@stanfordhealthcare.org](mailto:AKerr@stanfordhealthcare.org)>  
**Subject:** RE: 816 Laurel Avenue - Update

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Anna,

Thank you for the follow up.

I will be sending my comments to the City planner as well, but comments around this planned home and the impact for my home specifically:

- Impact of the second story of this home to my privacy both within my home, and in my backyard. While the Menlo Park Planning dept will be aware of the rather large construction project that I underwent a number of years ago in my home with plans filed with MP Planning. The design of my plans including placement of windows and backyard lay out was maximized for privacy for the current house beside me (816 Laurel Ave). I am very concerned with this new plan will not provide me the current level of privacy that I had planned, and built my home for. I would like a 'match' of the current plans to my home specifically to ensure that there is not direct line of site out of my windows both in Kitchen and bedroom which would be incredibly invasive both on the first and second floor of this proposed home. Secondly the windows being planned in this home having line of site into my backyard – which when planned was done for privacy. I do not want someone in this proposed home to be able to look out of their windows into my backyard from a privacy perspective.
- Impact of this planned home on the light into my home and backyard. I will expect to have this reviewed and studied. The second story is likely to be incredibly impactful to what I currently experience.
- Generic design, build and color palate of this house does not fit in the neighborhood. Like many in the neighborhood, we can see the impact of TJ construction projects changing the unique characteristics of the Willows neighborhood. The White box, with Black and grey trim is repeated over, and over again. These homes stand out like a sore thumb and do not reflect the uniqueness of the homes in the Willows.
- Impact to my foundation, dust/debris, damage to my property including fence, flag stone front and back yard, fence, irrigation system, windows. I have read many comments on line about damage being caused to homes beside construction projects done by TJ Homes. What is the mitigation plan to address all of these? I will want a complete walkthrough and photographic documentation of my current state prior to the initiation of any work.
- Removal of the Maple tree in front of lot concerning
- Size of home for lot – overbuilt for lot including double garage. Should be single garage as currently in house.
- Management of construction team, traffic on roads, streets while project ongoing including Safety of children walking to school. I have witnessed when the gate is open (surrounding the property) the gate is swung open and blocks the sidewalk, and the children need to go onto the street to pass by. This is

unacceptable, and not safe for the kids walking to school. There needs to be traffic control to manage parking, congestion of cars/trucks and safety of children.

This represents a summary of my concerns that need to be addressed that I will also be sharing with the planning team at the City of Menlo Park.

Thank you,

Alison

**Alison M. Kerr**

Vice President, Neuroscience and Orthopaedic Service Lines

Chief Administrative Officer, Clinical Operations

Emergency Department, Trauma, Stroke, Pharmacy, Lab, Stanford Blood Center, and Office of Emergency Management

**Stanford Health Care**

500 Pasteur Drive, 3<sup>rd</sup> Floor, Executive Suite, MC 5690 • Stanford, CA 94305

☎: 650.498.6180 M: 650.391.8270 F: 650.498.5258

✉ akerr@stanfordhealthcare.org

**Administrative Assistant:** Sherrie Montiague Tel: (650)736-9084



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**From:** Anna Felver <[afelver@tjhusa.com](mailto:afelver@tjhusa.com)>  
**Sent:** Monday, February 28, 2022 2:08 PM  
**To:** Kerr, Alison <[AKerr@stanfordhealthcare.org](mailto:AKerr@stanfordhealthcare.org)>  
**Cc:** Cynthia Thiebaut <[cthiebaut@tjhusa.com](mailto:cthiebaut@tjhusa.com)>; Andy Cost <[acost@tjhusa.com](mailto:acost@tjhusa.com)>  
**Subject:** 816 Laurel Avenue - Update

[EXT]

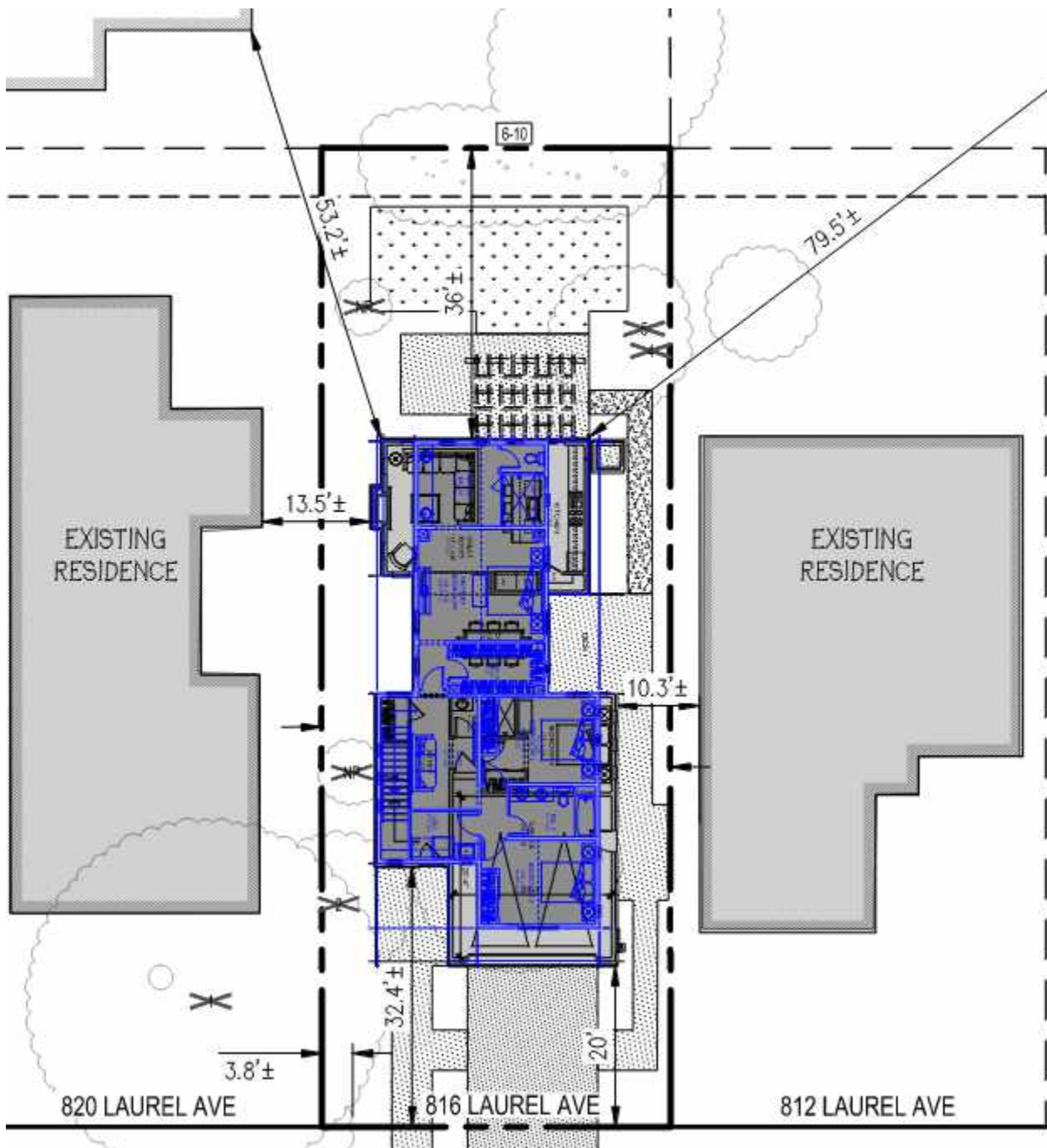
Good afternoon Alison,

I wanted to follow up regarding the project 816 Laurel Avenue. Neighborhood comments have been collected and city comments have recently been received. We are now in the process of addressing the concerns brought up at our virtual neighbor meeting along with those city comments. As soon as we have completed drawings and renderings, we will send another notification out to you and the neighborhood of those changes we are proposing. We will also get back to you with the proposed changes to address your concerns from your email below regarding privacy and light in the backyard and concerns that were brought up in the neighbor meeting regarding the HTR and tree removals.

As for the concerns that we can answer now, please see the responses below:

1. **Size of Home:** We strive to meet the needs of future families that are buying the homes in these neighborhoods as well as meeting city code and guidelines. For this particular project and for our homeowner, the proposed home is less than the allowable SF for the lot and is setback from the property lines a significant amount providing more relief privacy and light. The city required front and rear minimum setbacks are 20ft from the property line. We are proposing the home to be at the front setback line to provide relief at the rear yard offering a 36ft setback (16ft over the minimum). This will better align with your home on the right (even though the left neighbor's home is at the 20ft minimum). The right and left side required minimum setbacks are 5ft. We are proposing a plan that is much narrower than required especially towards the middle and back of the plan as it recesses to provide relief between the neighboring homes. See the blue outline in the plan below. Our first-floor setback ranges from a 5'-8" to 14'-0" setback on the right side and our second-floor setback ranges from 7'-8" to 14'-0". By not building all the way out to the minimum setback lines and rather pulling in from the setbacks creates articulation and relief that is desirable.
- 2.





1. **Foundation damage concern:** While there will be phases of work that cause dust, noise, and vibration that could theoretically damage your property, as a practical matter, our methods of construction for the proposed residence are typical for construction of new single-family home in this area and is unlikely to cause any damage to your residence. We would appreciate the opportunity to document the condition of your home prior to the start of our construction, which we would share with you.

2.

Let us know if you need more clarification. Otherwise, we will reach out in the next few weeks with more coordination.

Best,



**Anna Felver**  
Senior Planning Manager

**THOMAS JAMES HOMES**  
255 Shoreline Dr Suite 428, Redwood City, CA 94065  
(650) 402-3024 | TJH.com

THE RIGHT HOME, RIGHT WHERE YOU WANT IT.

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**From:** Kerr, Alison <[AKerr@stanfordhealthcare.org](mailto:AKerr@stanfordhealthcare.org)>

**Sent:** Wednesday, January 19, 2022 7:41 AM

**To:** Anna Felver <[afelver@tjhusa.com](mailto:afelver@tjhusa.com)>

**Subject:** Clarification of zoom link

You don't often get email from [akerr@stanfordhealthcare.org](mailto:akerr@stanfordhealthcare.org). [Learn why this is important](#)

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Dear Anna,

I received a notice to join the virtual session 1/26 regarding your construction project at 816 Laurel Ave in Menlo Park. I like immediately beside this proposed project an am very interested. Please clarify for me the zoom link – is it a j or i at the end of the zoom link?

I will be most interested in the size of the home, impact to my site lines, light and sun in my backyard, and invasion of privacy given it is a 2 story. I have also seen a lot on various media/social platforms about damage to surrounding homes foundation due to your construction projects.

Thank you,  
Alison

**Alison M. Kerr**

Vice President, Neuroscience and Orthopaedic Service Lines

Chief Administrative Officer, Clinical Operations

Emergency Department, Trauma, Stroke, Pharmacy, Lab, Stanford Blood Center, and Office of Emergency Management

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✉ [akerr@stanfordhealthcare.org](mailto:akerr@stanfordhealthcare.org)

**Administrative Assistant:** Sherrie Montague Tel: (650)736-9084



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**Dain Adamson**

---

**From:** Dain Adamson  
**Sent:** Thursday, April 14, 2022 4:40 PM  
**To:** javarch@gmail.com  
**Cc:** Anna Felver  
**Subject:** RE: 816 Laurel Avenue - Neighbor Update  
**Attachments:** 816 Laurel - Neighbor Notice 2.pdf

Hello Jon,

My name is Dain Adamson and I am working on this project with Anna. I wanted to follow-up with you on your below concerns as we submit our 2<sup>nd</sup> round planning set to the city. Please see our responses to your concerns below. Please note that a revised neighborhood notice is attached to show the changes we have made to the home and the site. You will have a hard copy mailed to you as well.

1. Trees –

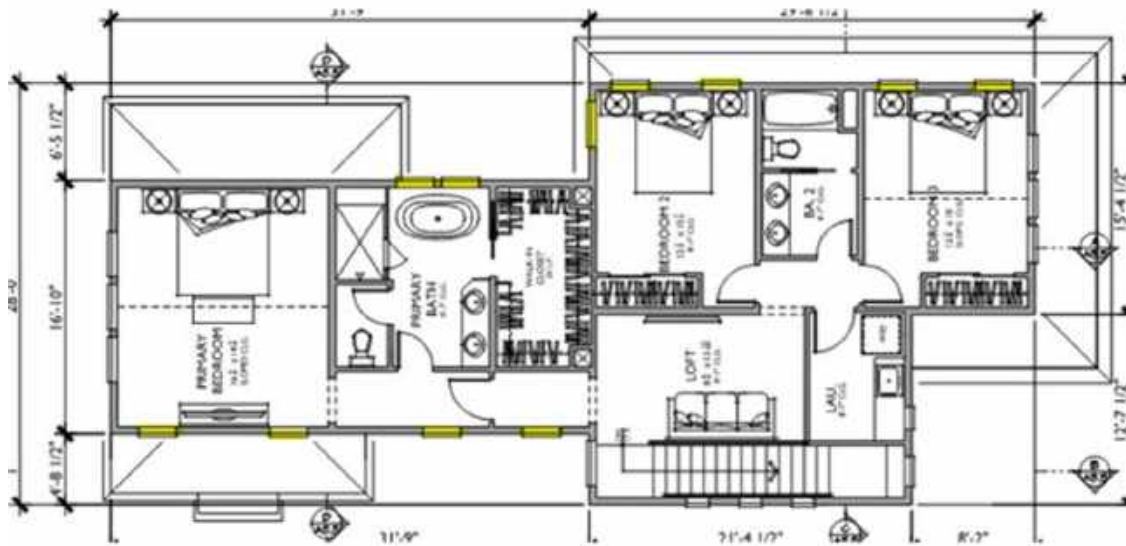
- a. Privets: The privets in the rear are now proposed to be removed per your request due to maintenance issues. New trees are proposed at the rear lot line that are less problematic. Please refer to the landscape plan in the attached neighbor packet.
- b. Japanese Maple: We agree the removal of the Japanese Maple tree is not ideal. Thomas James Homes explored relocating/transplanting the tree elsewhere offsite. After extensive research with our arborist and tree contractors, given the size of the roots and the age of the tree, the transplant process would be extremely demanding on the tree. In short, if everything was done properly, there is only a 50% chance the tree would survive. Therefore, given its location on the center of the lot, Thomas James Homes has decided to pursue the removal of the tree. Tree removal applications go through a very detailed process with the city and are reviewed as a separate application. One of the conditions to getting a tree of this size removed is that it must be replaced with trees of equal or greater value. Thomas James Homes is proposing 4 new trees as replacements. These are: two 36" box Quercus Agrifolia (coastal live oaks), one 24" box Pistacia Chinensis (Chinese Pistachia), and one 24" box Podocarpus Garcilior (African fern tree). The tree removal permit is under review and any further revisions that arise as a result of the review will be communicated to you. The landscape plan in the attached neighbor notice reflects the latest.

2. Shadows –

- a. A shadow study has been completed for this project. You can find this study in the latest neighbor notice packet attached. This shadow study is also included in the latest submittal to the city. On the study, the morning and afternoon times of the summer and winter solstice (the sun's highest and lowest points of the year) are shown to give you an idea of the full range in which shadows will be cast. Note, the proposed home provides side setbacks that are greater than the city's minimum to be conscientious of the daylight plane and our impact to neighbors. The setback on your side is 7'-8", the minimum is 5'. In looking at the study, you will find that the morning sun will always reach your window. The afternoon summer sun will also still provide sunlight to your courtyard. The only times the courtyard will be impacted is during the late afternoon in the colder months of the winter and early spring.

3. Privacy –

- a. The revised plan of this home moves the primary bedroom to the back of the home. By doing this, all side facing bedroom windows at the 2<sup>nd</sup> floor have be 4'-6" sill heights. A 4'-6" sill height is greater than the city's required privacy sill. As such, the site lines from these windows is now significantly reduced, avoiding direct views to your courtyard window from the primary bedroom and hallway. Highlighted windows below are at 4'-6" for privacy.



#### 4. New Fence –

- a. A new 6' tall fence is proposed around the property. Our field team be reaching out to all neighbors prior to demolition and construction. At this point you will have a chance to talk with the field to discuss fencing and other site concerns directly.

Please let me know if you have any further questions or concerns.

Thank You,



**Dain Adamson**  
Senior Development Manager

**Thomas James Homes**  
1255 Treat Blvd, Suite 800, Walnut Creek, CA 94597  
(650) 562-8070 | [TJH.com](http://TJH.com)

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**From:** Anna Felver <[afelver@tjhusa.com](mailto:afelver@tjhusa.com)>  
**Sent:** Monday, February 28, 2022 2:21 PM  
**To:** [javrach@gmail.com](mailto:javrach@gmail.com) <[javrach@gmail.com](mailto:javrach@gmail.com)>  
**Cc:** Cynthia Thiebaut <[cthiebaut@tjhusa.com](mailto:cthiebaut@tjhusa.com)>; Andy Cost <[acost@tjhusa.com](mailto:acost@tjhusa.com)>  
**Subject:** 816 Laurel Avenue - Update

Good afternoon, Jon,

I wanted to follow up regarding the project 816 Laurel Avenue. Neighborhood comments have been collected and city comments have recently been received. We are now in the process of addressing the concerns brought up at our virtual neighbor meeting along with those city comments. As soon as we have completed drawings and renderings, we will send another notification out to you and the neighborhood of those changes we are proposing. We will also at that time respond directly to the changes made to address your concerns regarding:

1. privacy
2. shadows in your courtyard
3. tree removals

Thank you for your patience as we go through the design process. We will reach out to coordinate in the next few weeks.

Best,



**Anna Felver**  
Senior Planning Manager

**THOMAS JAMES HOMES**  
255 Shoreline Dr Suite 428, Redwood City, CA 94065  
(650) 402-3024 | [TJH.com](http://TJH.com)

THE RIGHT HOME, RIGHT WHERE YOU WANT IT.



# California Tree and Landscape Consulting, Inc.

March 28, 2022

Cynthia Thiebaut, Director of Development  
 Thomas James Homes  
 255 Shoreline Drive, Suite 428  
 Redwood City, California 94065  
 Via Email: [cthiebaut@tjhusa.com](mailto:cthiebaut@tjhusa.com)

## ARBORIST REPORT, TREE INVENTORY, CONSTRUCTION IMPACT ASSESSMENT AND TREE PROTECTION PLAN

RE: 816 Laurel Avenue, Menlo Park, California [APN 06-223-5030]

### EXECUTIVE SUMMARY

Thomas James Homes contacted California Tree and Landscape Consulting, Inc. to document the trees on the property for a better understanding of the existing resource and any potential improvement obstacles that may arise. Thomas James Homes requested an Arborist Report, Tree Inventory, Construction Impact Assessment and Tree Protection Plan suitable for submittal to the City of Menlo Park. This is a Final Arborist Report, Tree Inventory, Construction Impact Assessment and Tree Protection Plan for the initial filing of plans to develop the property. Dain Adamson from Thomas James Homes then requested the inclusion of an analysis of the impact of encroachment into the critical root zone of Tree # 3, a 15" DBH Japanese Maple, which was updated in our last report dated January 26, 2022.

Thomas M. Stein, ISA Certified Arborist WE-12854A, visited the property on November 16, 2021, to provide species identification, measurements of DBH and canopy, field condition notes, recommended actions, ratings, and approximate locations for the trees. A total of 10 trees were evaluated on this property, 2 of which are protected trees according to the City of Menlo Park Municipal Code, Chapter 13.24.<sup>1</sup> One tree is located off the parcel but was included in the inventory because it may be impacted by development of the parcel.

TABLE 1

| Tree Species                              | Total Trees Inventoried | Trees on this Site <sup>2</sup> | Protected Heritage Oak Trees | Protected Heritage Other Trees | Street Tree | Trees Proposed for Removal | Total Proposed for Retention <sup>3</sup> |
|---|-------------------------|---------------------------------|------------------------------|--------------------------------|-------------|----------------------------|---|
| Coast Live Oak, <i>Quercus agrifolia</i>  | 1                       | 0                               | 1                            | 0                              | 0           | 0                          | 1   |
| Japanese Maple, <i>Acer palmatum</i>      | 1                       | 1                               | 0                            | 1                              | 0           | 1 (CR)                     | 0   |
| Privet, <i>Ligustrum</i>                  | 6                       | 6                               | 0                            | 0                              | 0           | 6 (AR & CR)                | 0   |
| Viburnum, <i>Viburnum cinnamomifolium</i> | 2                       | 2                               | 0                            | 0                              | 0           | 2 (AR & CR)                | 0   |
| <b>TOTAL</b>                              | <b>10</b>               | <b>9</b>                        | <b>1</b>                     | <b>1</b>                       | <b>0</b>    | <b>9</b>                   | <b>1</b>                                  |

CR=Construction Removal; AR=Arborist Recommended Removal

<sup>1</sup> Any tree protected by the City's Municipal Code will require replacement according to its appraised value if it is damaged beyond repair as a result of construction. In addition, any time development-related work is recommended to be supervised by a Project Arborist, it must be written in the report to describe the work plan and mitigation work. The Project Arborist shall provide a follow-up letter documenting the mitigation has been completed to specification.

<sup>2</sup> CalTLC, Inc. is not a licensed land surveyor. Tree locations are approximate and we do not determine tree ownership. Trees which appear to be on another parcel are listed as off-site and treated as the property of that parcel.

<sup>3</sup> Trees in close proximity to development may require special protection measures. See Appendix/Recommendations for specific details.



## ASSIGNMENT

Perform an examination of the site to document the presence and condition of trees protected by the City of Menlo Park. The study area for this effort includes the deeded parcel as delineated in the field by the property fences and any significant or protected trees overhanging from adjacent parcels.

Prepare a report of findings. All trees protected by the City of Menlo Park are included in the inventory.

## METHODS

Appendix 2 in this report is the detailed inventory and recommendations for the trees. The following terms and Table A – Ratings Descriptions will further explain our findings.

The protected trees evaluated as part of this report have a numbered tag that was placed on each one that is 1-1/8" x 1-3/8", green anodized aluminum, "acorn" shaped, and labeled: CalTLC, Auburn, CA with 1/4" pre-stamped tree number and Tree Tag. They are attached with a natural-colored aluminum 10d nail, installed at approximately 6 feet above ground level on the approximate north side of the tree. The tag should last ~10-20+ years depending on the species, before it is enveloped by the trees' normal growth cycle.

The appraisals included in this report (see Appendix 4) is based on the 10<sup>th</sup> Edition of the *Guide for Plant Appraisal*.<sup>4</sup> The trunk formula technique of appraisal provides a basic cost to replace a tree, determined by its species and size. The tree costs are extrapolated from that of the most commonly available and used tree for landscaping, which at this time in Northern California has been determined to be a 24" box specimen.<sup>5</sup> Based on the size and value of the tree as a 24" box, the species are valued at \$36.60 to \$77.04 per square inch of trunk area. Per the request of the city of Menlo Park, multi-stem trees are measured as a single trunk, just below the lowest point of branching.

The basic value is depreciated by the tree's condition, which is considered a function of its health, structure and form and expressed as a percentage of the basic value. The result is termed the deterioration of the tree.

The trees are further depreciated by the functional and external limitations that may impact their ability to grow to their normal size, shape and function. Functional limitations include limited soil volume, adequate growing space, poor soil quality, etc. External limitations include easements, government regulations and ownership issues beyond the control of the tree's owner.

The final value is rounded to the nearest \$100 to obtain the assignment result. If the tree is not a complete loss, the value of loss is determined as a percentage of the original value. **It should be noted that Tree # 1 (Tag # 9626) is off-site and was inspected only from one side, from ground level at a distance of approximately 30 feet from the trunk. The appraised value shown in the appraisal table and inventory summary should be considered only a rough estimate of the tree's value. If an accurate appraisal is required, it will need re-appraisal without the observation limitations, and may require more advanced inspection techniques to determine the extent of the tree's defects.**

## TERMS

**Species** of trees is listed by our local common name and botanical name by genus and species.

---

<sup>4</sup> 2018. Council of Tree and Landscape Appraisers. *Guide for Plant Appraisal*, 10th Edition, 2nd Printing. International Society of Arboriculture, Atlanta, GA

<sup>5</sup> 2004. *Western Chapter Species Classification and Group Assignment*. Western Chapter, International Society of Arboriculture. Porterville, CA

**DBH** (diameter breast high) is normally measured at 4’6” (54” above the average ground height, but if that varies then the location where it is measured is noted here. A steel diameter tape was used to measure the trees.

**Canopy radius** is measured in feet. It is the farthest extent of the crown composed of leaves and small twigs measured by a steel tape. This measurement often defines the Critical Root Zone (CRZ) or Protection Zone (PZ), which is a circular area around a tree with a radius equal to this measurement.

**Actions** listed are recommendations to improve health or structure of the tree. Trees in public spaces require maintenance. If a tree is to remain and be preserved, then the tree may need some form of work to reduce the likelihood of failure and increase the longevity of the tree. Preservation requirements and actions based on a proposed development plan are not included here.

**Arborist Rating** is subjective to condition and is based on both the health and structure of the tree. All of the trees were rated for condition, per the recognized national standard as set up by the Council of Tree and Landscape Appraisers and the International Society of Arboriculture (ISA) on a numeric scale of 5 (being the highest) to 0 (the worst condition, dead). The rating was done in the field at the time of the measuring and inspection.

**Table A – Ratings Descriptions**

|                         |          |                            |
|-------------------------|----------|----------------------------|
| No problem(s)           | 5        | excellent                  |
| No apparent problem(s)  | 4        | good                       |
| <u>Minor problem(s)</u> | <u>3</u> | <u>fair</u>                |
| Major problem(s)        | 2        | poor                       |
| Extreme problem(s)      | 1        | hazardous, non-correctable |
| Dead                    | 0        | dead                       |

Rating #0: This indicates a tree that has no significant sign of life.

Rating #1: The problems are extreme. This rating is assigned to a tree that has structural and/or health problems that no amount of work or effort can change. The issues may or may not be considered a dangerous situation.

Rating #2: The tree has major problems. If the option is taken to preserve the tree, its condition could be improved with correct arboricultural work including, but not limited to: pruning, cabling, bracing, bolting, guying, spraying, mistletoe removal, vertical mulching, fertilization, etc. If the recommended actions are completed correctly, hazard can be reduced and the rating can be elevated to a 3. If no action is taken the tree is considered a liability and should be removed.

Rating #3: The tree is in fair condition. There are some minor structural or health problems that pose no immediate danger. When the recommended actions in an arborist report are completed correctly the defect(s) can be minimized or eliminated.

Rating #4: The tree is in good condition and there are no apparent problems that a Certified Arborist can see from a visual ground inspection. If potential structural or health problems are tended to at this stage future hazard can be reduced and more serious health problems can be averted.

Rating #5: No problems found from a visual ground inspection. Structurally, these trees have properly spaced branches and near perfect characteristics for the species. Highly rated trees are not common in natural or developed landscapes. No tree is ever perfect especially with the unpredictability of nature, but with this highest rating, the condition should be considered excellent.

**Notes** indicate the health, structure and environment of the tree and explain why the tree should be removed or preserved. Additional notes may indicate if problems are minor, extreme or correctible.

**Remove** is the recommendation that the tree be removed. The recommendation will normally be based either on poor structure or poor health and is indicated as follows:

- Yes H – Tree is unhealthy
- Yes S – Tree is structurally unsound

**OBSERVATIONS AND CONCLUSIONS**

The site is located in an existing subdivision with single-family residences, and the vegetation is comprised of ornamental landscape plants. The existing home has a reported area of 890 sq. ft. and lot size of 5,183 sq. ft. The home is connected to electrical, communication, gas, water and sanity sewer infrastructure. The development plans include demolition of the existing house, hardscape and landscape and building a new two-story home, new hardscape and landscape. The new home will have a living area of approximately 2,329 sq. ft. Refer to Appendix 2 – Tree Data for details.

**RECOMMENDED REMOVALS OF HAZARDOUS, DEFECTIVE OR UNHEALTHY TREES**

At this time, 3 trees on the property have been recommended for removal from the proposed project area due to the nature and extent of defects, compromised health, and/or structural instability noted at the time of field inventory efforts. If these trees were retained within the proposed project area, it is our opinion that they may be hazardous depending upon their proximity to planned development activities. There is a row of privets (Tree #'s 6-10) growing along the East property line forming a hedge. In addition to the inventoried trees, there are additional undersized privets and dead privets. If these trees are retained, it is recommended that the dead trees be removed to allow for additional growing room and eliminate potential hazard trees. For reference, the trees which have been recommended for removal due to the severity of noted defects, compromised health, and/or structural instability are highlighted in green within the accompanying Tree Data (Appendix 2) and are briefly summarized as follows:

**TABLE 2**

| Tree # | Tag # | Old Tag # | Heritage Oak Tree 31.4"+ circ. | Heritage Other Tree 47.1"+ circ. | Street Tree | Off-site | Common Name | Botanical Name                   | DBH | Circ. | Diameter Measured At | Measured Canopy Radius | Arborist Rating                        |
|--------|-------|-----------|--------------------------------|----------------------------------|-------------|----------|-------------|----------------------------------|-----|-------|----------------------|------------------------|--|
| 2      | 9627  |           | No                             | No                               | No          | No       | Privet      | <i>Ligustrum</i>                 | 10  | 31    | 54                   | 5                      | 1 Extreme Structure or Health Problems |
| 4      | 9629  | 4         | No                             | No                               | No          | No       | Viburnum    | <i>Virburnum cinnimomifolium</i> | 8   | 25    | 54                   | 6                      | 2 Major Structure or Health Problems   |
| 5      | 9630  | 5         | No                             | No                               | No          | No       | Viburnum    | <i>Virburnum cinnimomifolium</i> | 7   | 22    | 54                   | 7                      | 2 Major Structure or Health Problems   |

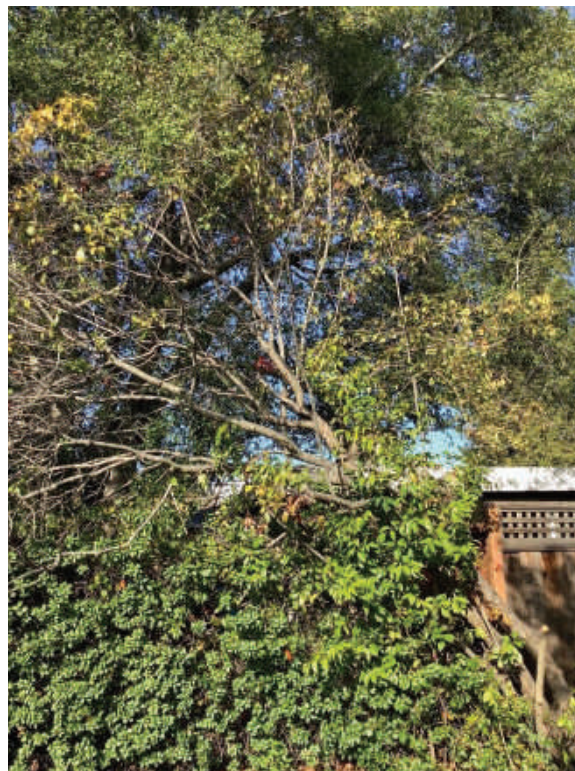
**CONSTRUCTION IMPACT ASSESSMENT**

This Arborist Report, Tree Inventory, Construction Impact Assessment and Tree Protection Plan is intended to provide to Thomas James Homes, the City of Menlo Park, and other members of the development team a detailed *pre-development review* of the species, size, and current structure and vigor of the trees within and/or overhanging the proposed project area. At this time, we have reviewed the Architectural Site Plan drafted by Bassenian/Lagoni dated March 24, 2022, and the Landscape plans prepared by HMM, dated December 29, 2021. The perceived impacts are summarized below. Refer to Appendix 2 for actions to be taken to protect trees that will remain.

Tree # 1 (Tag # 9626): No impact is expected from development to this offsite tree.



Tree # 2 (Tag # 9627): This non-protected tree will be removed for development.

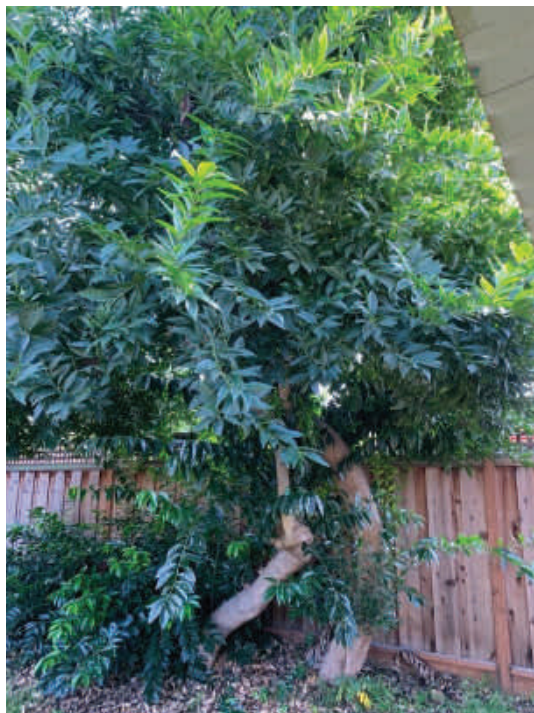




Tree # 3 (Tag # 9628): This tree is located within the building envelope and will be removed for development. According to Best Management Practices, cutting roots at a distance greater than 90" from this tree trunk minimizes the likelihood of affecting the health and stability of the tree. Therefore, it is not recommended roots be cut any closer than 90" from this tree trunk. [BMP Reference: "ANSI A300 Part 8: Tree, Shrub, and Other Woody Plant Management — Standard Practices (Root Management)" 2017].



Trees # 4 and 5 (Tags # 9629 and 9630): These non-protected trees have been recommended for removal. They are in poor condition and structure.



Trees # 6, 7, 8, 9 and 10 (Tags # 9631, 9632, 9633, 9634 and 9635): These non-protected trees are proposed for removal.



## DISCUSSION

Trees need to be protected from normal construction practices if they are to remain healthy and viable on the site. Our recommendations are based on experience, and City ordinance requirements, so as to enhance tree longevity. This requires their root zones remain intact and viable, despite heavy equipment being on site, and the need to install foundations, driveways, underground utilities, and landscape irrigation systems. Simply walking and driving on soil has serious consequences for tree health.

Following is a summary of Impacts to trees during construction and Tree Protection measures that should be incorporated into the site plans in order to protect the trees. Once the plans are approved, they become the document that all contractors will follow. ***The plans become the contract between the owner and the contractor, so that only items spelled out in the plans can be expected to be followed. Hence, all protection measures, such as fence locations, mulch requirements and root pruning specifications must be shown on the plans.***

## RECOMMENDATIONS: SUMMARY OF TREE PROTECTION MEASURES

Hire a Project Arborist to help ensure protection measures are incorporated into the site plans and followed. The Project Arborist should, in cooperation with the Engineers and/or Architects:

- Identify the Root Protection Zones on the final construction drawings, prior to bidding the project.
- Show the placement of tree protection fences, as well as areas to be irrigated, fertilized and mulched on the final construction drawings.
- Clearly show trees for removal on the plans and mark them clearly on site. A Contractor who is a Certified Arborist should perform tree and stump removal. All stumps within the root zone of trees to be preserved shall be ground out using a stump router or left in place. **No trunk within the root zone of other trees shall be removed using a backhoe or other piece of grading equipment.**

- Prior to any grading, or other work on the site that will come within 50' of any tree to be preserved:
  1. Irrigate (if needed) and place a 6" layer of chip mulch over the protected root zone of all trees that will be impacted.
  2. Erect Tree Protection Fences. Place boards against trees located within 3' of construction zones, even if fenced off.
  3. Remove lower foliage that may interfere with equipment PRIOR to having grading or other equipment on site. The Project Arborist should approve the extent of foliage elevation, and oversee the pruning, performed by a contractor who is an ISA Certified Arborist.
- For grade cuts, expose roots by hand digging, potholing or using an air spade and then cut roots cleanly prior to further grading outside the tree protection zones.
- For fills, if a cut is required first, follow as for cuts.
- Where possible, specify geotextile fabric and/or thickened paving, re-enforced paving, and structural soil in lieu of compacting, and avoid root cutting as much as possible, prior to placing fills on the soil surface. Any proposed retaining wall or fill soil shall be discussed with the engineer and arborist in order to reduce impacts to trees to be preserved.
- Clearly designate an area on the site outside the drip line of all trees where construction materials may be stored, and parking can take place. No materials or parking shall take place within the root zones of protected trees.
- Design utility and irrigation trenches to minimize disturbance to tree roots. Where possible, dig trenches with hydro-vac equipment or air spade, placing pipes underneath the roots, or bore the deeper trenches underneath the roots.
- Include on the plans an Arborist inspection schedule to monitor the site during (and after) construction to ensure protection measures are followed and make recommendations for care of the trees on site, as needed.

General Tree protection measures are included as Appendix 3. These measures need to be included on the Site, Grading, Utility and Landscape Plans. A final report of recommendations specific to the plan can be completed as part of, and in conjunction with, the actual plans. This will require the arborist working directly with the engineer and architect for the project. If the above recommendations are followed, the amount of time required by the arborist for the final report should be minimal.

Report Prepared by:



Edwin E. Stirtz, Consulting Arborist  
 International Society of Arboriculture  
 Certified Arborist WE-0510A  
 ISA Tree Risk Assessment Qualified  
 Member, American Society of Consulting Arborists

Report Reviewed by:

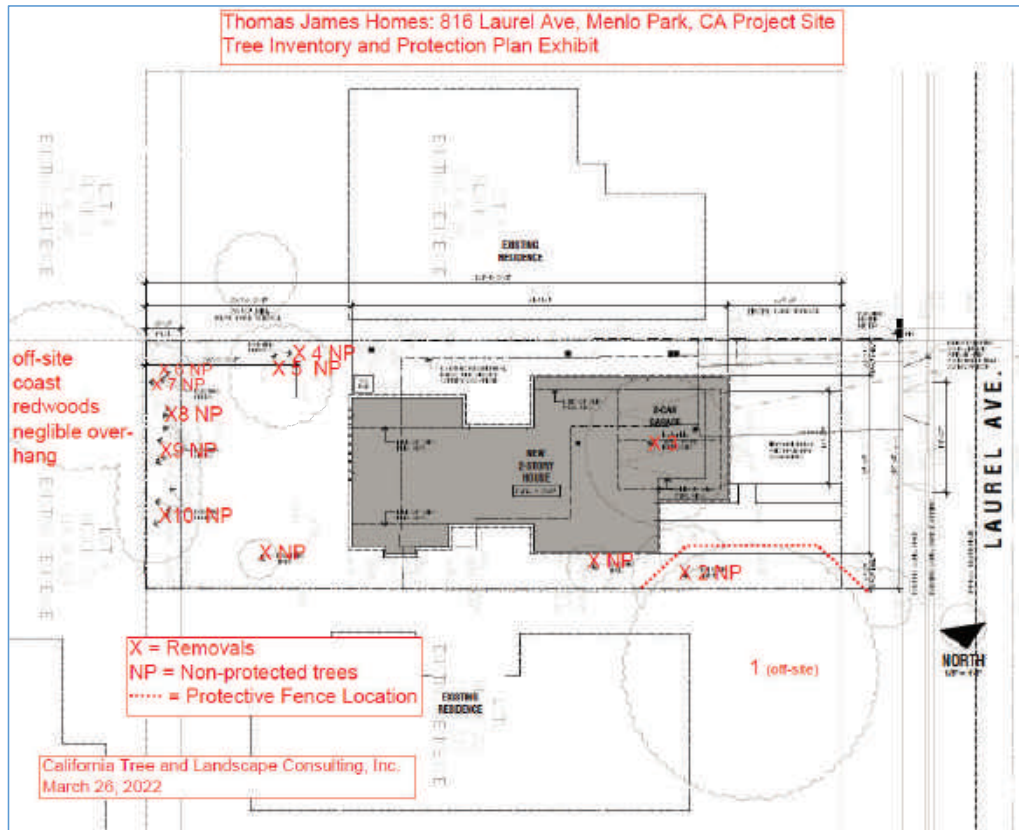


Gordon Mann  
 Consulting Arborist and Urban Forester  
 Registered Consulting Arborist #480  
 ISA Certified Arborist and Municipal Specialist #WE-0151AM  
 CaUFC Certified Urban Forester #127  
 ISA Qualified Tree Risk Assessor

- Enc.: Appendix 1 – Tree Inventory and Protection Plan Exhibit  
 Appendix 2 – Tree Data  
 Appendix 3 – General Practices for Tree Protection  
 Appendix 4 – Appraisal Value Table  
 Appendix 5 – Tree Protection Specifications



APPENDIX 1 – TREE INVENTORY AND PROTECTION PLAN EXHIBIT



APPENDIX 2 – TREE DATA

| Tree # | Tag # | Old Tag # | Heritage Oak Tree 31.4"+ circ. | Heritage Other Tree 47.1"+ circ. | Street Tree | Off-site | Common Name    | Botanical Name           | DBH | Circ. | Diameter Measured At | Measured Canopy Radius | Arborist Rating                        | Dvlpmt Status | Notes   | Recommendations                         | Construction Impact                     | Protective Measures to be Taken                       | Suitability for Preservation | Appraised Value, Rounded (\$) | Justification for Removal |
|--------|-------|-----------|--------------------------------|----------------------------------|-------------|----------|----------------|--------------------------|-----|-------|----------------------|------------------------|--|---------------|---|---|---|---|------------------------------|-------------------------------|---------------------------|
| 1      | 9626  |           | Yes                            | No                               | No          | Yes      | Coast Live Oak | <i>Quercus agrifolia</i> | 36  | 113   | 18                   | 24                     | 4 Good - No Apparent Problems          | Preserve      | Located ~20' N of N property line and ~8' from house at 820 Laurel. Overhanging site ~4'. Codominant branching 3' above grade. Branches into 3 stems w/ included bark. Tag on fence. DBH/DLR estimated. | None at this time.                      | No impact from development is expected. | Install protective tree fence as shown in Appendix 1. | G                            | \$25,350.00                   | N/A                       |
| 2      | 9627  |           | No                             | No                               | No          | No       | Privet         | <i>Ligustrum</i>         | 10  | 31    | 54                   | 5                      | 1 Extreme Structure or Health Problems | Remove        | Growing adjacent to N property line. Extreme lean W. Abutting fence. Tree shows signs of recent mechanical damage at root crown.  | Recommend removal due to noted defects. | To be removed for development.          | N/A   | G                            | N/A                           | N/A                       |

| Tree # | Tag # | Old Tag # | Heritage Oak Tree 31.4"+ circ. | Heritage Other Tree 47.1"+ circ. | Street Tree | Off-site | Common Name    | Botanical Name                  | DBH | Circ. | Diameter Measured At | Measured Canopy Radius | Arborist Rating                      | Dvlpmt Status | Notes  | Recommendations  | Construction Impact            | Protective Measures to be Taken | Suitability for Preservation | Appraised Value, Rounded (\$) | Justification for Removal         |
|--------|-------|-----------|--------------------------------|----------------------------------|-------------|----------|----------------|---------------------------------|-----|-------|----------------------|------------------------|--------------------------------------|---------------|--|--|--------------------------------|---------------------------------|------------------------------|-------------------------------|-----------------------------------|
| 3      | 9628  | 1         | No                             | Yes                              | No          | No       | Japanese Maple | <i>Acer palmatum</i>            | 15  | 47    | 18                   | 19                     | 3 Fair - Minor Problems              | Remove        | Root crown obscured by debris. Branches at 3' w/ included bark. Located 4' from house. Communication wires through canopy.   | According to Best Management Practices, cutting roots at a distance greater than 90" from this tree trunk minimizes the likelihood of affecting the health and stability of the tree. Therefore, it is not recommended roots be cut any closer than 90" from this tree trunk. [BMP Reference: "ANSI A300 Part 8: Tree, Shrub, and Other Woody Plant Management — Standard Practices (Root Management)" 2017] | To be removed for development. | N/A                             | M                            | \$3,150.00                    | Located inside building envelope. |
| 4      | 9629  | 4         | No                             | No                               | No          | No       | Viburnum       | <i>Viburnum cinnamomifolium</i> | 8   | 25    | 54                   | 6                      | 2 Major Structure or Health Problems | Remove        | Growing 2' from S property line, 17' from house. Leans N. Water sprouts. Bends E at 7' above grade. Suppressed by Tree 9630. | Recommend removal due to noted defects.  | To be removed for development. | N/A                             | P                            | N/A                           | N/A                               |



| Tree # | Tag # | Old Tag # | Heritage Oak Tree 31.4"+ circ. | Heritage Other Tree 47.1"+ circ. | Street Tree | Off-site | Common Name | Botanical Name                  | DBH | Circ. | Diameter Measured At | Measured Canopy Radius | Arborist Rating                      | Dvlpmt Status | Notes   | Recommendations                                    | Construction Impact                    | Protective Measures to be Taken | Suitability for Preservation | Appraised Value, Rounded (\$) | Justification for Removal |
|--------|-------|-----------|--------------------------------|----------------------------------|-------------|----------|-------------|---------------------------------|-----|-------|----------------------|------------------------|--------------------------------------|---------------|---|--|--|---------------------------------|------------------------------|-------------------------------|---------------------------|
| 5      | 9630  | 5         | No                             | No                               | No          | No       | Viburnum    | <i>Viburnum cinnamomifolium</i> | 7   | 22    | 54                   | 7                      | 2 Major Structure or Health Problems | Remove        | Growing 2' N of S property line and 29' from house. Suppressed by Tree 9629. Extreme lean in lower trunk NW. Water sprouts. Root crown obscured by debris. Previously topped at 5'. | Recommend removal due to noted defects.            | To be removed for development.         | N/A                             | P                            | N/A                           | N/A                       |
| 6      | 9631  | 6         | No                             | No                               | No          | No       | Privet      | <i>Ligustrum</i>                | 8   | 25    | 6                    | 5                      | 2 Major Structure or Health Problems | Unknown       | Growing 3' W of E property line. DBH estimated. Branches out 1' above grade. Previously topped 9' above grade. Growing as part of a hedge of Privet along back fence.               | Remove dead privets growing adjacent to this tree. | Proposed for removal due to condition. | N/A                             | M                            | N/A                           | N/A                       |
| 7      | 9632  | 7         | No                             | No                               | No          | No       | Privet      | <i>Ligustrum</i>                | 7   | 22    | 6                    | 6                      | 2 Major Structure or Health Problems | Unknown       | Growing 3' W of E property line. Branches out 1' above grade. Previously topped 9' above grade. Growing as part of hedge of Privet along back fence.                                | Remove dead privets growing adjacent to this tree. | Proposed for removal due to condition. | N/A                             | M                            | N/A                           | N/A                       |
| 8      | 9633  | 13        | No                             | No                               | No          | No       | Privet      | <i>Ligustrum</i>                | 8   | 25    | 6                    | 6                      | 2 Major Structure or Health Problems | Unknown       | Growing 3' W of E property line. DBH estimated. Branches out 1' above grade. Previously topped 9' above grade. Growing as part of hedge of Privet along back fence.                 | Remove dead privets growing adjacent to this tree. | Proposed for removal due to condition. | N/A                             | M                            | N/A                           | N/A                       |
| 9      | 9634  | 14        | No                             | No                               | No          | No       | Privet      | <i>Ligustrum</i>                | 7   | 22    | 54                   | 6                      | 2 Major Structure or Health Problems | Unknown       | Growing 1' W of E property line. Previously topped 9' above grade. Weak attachments. Growing as part of hedge of Privet along back fence.   | Remove dead privets growing adjacent to this tree. | Proposed for removal due to condition. | N/A                             | M                            | N/A                           | N/A                       |



| Tree # | Tag # | Old Tag # | Heritage Oak Tree 31.4"+ circ. | Heritage Other Tree 47.1"+ circ. | Street Tree | Off-site | Common Name | Botanical Name   | DBH | Circ. | Diameter Measured At | Measured Canopy Radius | Arborist Rating                      | Dvlpmt Status | Notes   | Recommendations                                    | Construction Impact                    | Protective Measures to be Taken | Suitability for Preservation | Appraised Value, Rounded (\$) | Justification for Removal |
|--------|-------|-----------|--------------------------------|----------------------------------|-------------|----------|-------------|------------------|-----|-------|----------------------|------------------------|--------------------------------------|---------------|---|--|--|---------------------------------|------------------------------|-------------------------------|---------------------------|
| 10     | 9635  |           | No                             | No                               | No          | No       | Privet      | <i>Ligustrum</i> | 7   | 22    | 54                   | 7                      | 2 Major Structure or Health Problems | Unknown       | Growing 1' W of E property line. Previously topped 9' above grade. Weak attachments. Growing as part of hedge of Privet along back fence. | Remove dead privets growing adjacent to this tree. | Proposed for removal due to condition. | N/A                             | M                            | N/A                           | N/A                       |

|  |
|--|
| TOTAL INVENTORIED TREES = 10 trees (355 aggregate circumference inches)                  |
| TOTAL RECOMMENDED REMOVALS = 3 trees (78 aggregate circumference inches)                 |
| TOTAL RECOMMENDED REMOVALS FOR DEVELOPMENT= 9 trees (242 aggregate circumference inches) |
| Rating (0-5, where 0 is dead) = 1=1 tree; 2=7 trees; 3=1 tree; 4=1 tree                  |
| Total Protected Street Trees = None  |
| Total Protected Oak Trees 31.4"+ = 1 tree (113 aggregate circumference inches)           |
| Total Protected Other Trees 47.1"+ = 1 tree (47 aggregate circumference inches)          |
| TOTAL PROTECTED TREES = 2 trees (160 aggregate circumference inches)                     |



## APPENDIX 3 – GENERAL PRACTICES FOR TREE PROTECTION

### **Definitions:**

**Root zone:** The roots of trees grow fairly close to the surface of the soil, and spread out in a radial direction from the trunk of tree. A general rule of thumb is that they spread 2 to 3 times the radius of the canopy, or 1 to 1½ times the height of the tree. It is generally accepted that disturbance to root zones should be kept as far as possible from the trunk of a tree.

**Inner Bark:** The bark on large valley oaks and coast live oaks is quite thick, usually 1” to 2”. If the bark is knocked off a tree, the inner bark, or cambial region, is exposed or removed. The cambial zone is the area of tissue responsible for adding new layers to the tree each year, so by removing it, the tree can only grow new tissue from the edges of the wound. In addition, the wood of the tree is exposed to decay fungi, so the trunk present at the time of the injury becomes susceptible to decay. Tree protection measures require that no activities occur which can knock the bark off the trees.

### **Methods Used in Tree Protection:**

No matter how detailed Tree Protection Measures are in the initial Arborist Report, they will not accomplish their stated purpose unless they are applied to individual trees and a Project Arborist is hired to oversee the construction. The Project Arborist should have the ability to enforce the Protection Measures. The Project Arborist should be hired as soon as possible to assist in design and to become familiar with the project. He must be able to read and understand the project drawings and interpret the specifications. He should also have the ability to cooperate with the contractor, incorporating the contractor’s ideas on how to accomplish the protection measures, wherever possible. It is advisable for the Project Arborist to be present at the Pre-Bid tour of the site, to answer questions the contractors may have about Tree Protection Measures. This also lets the contractors know how important tree preservation is to the developer.

**Root Protection Zone (RPZ):** Since in most construction projects it is not possible to protect the entire root zone of a tree, a Root Protection Zone is established for each tree to be preserved. The minimum Root Protection Zone is the area underneath the tree’s canopy (out to the dripline, or edge of the canopy), plus 1’. The Project Arborist must approve work within the RPZ.

**Irrigate, Fertilize, Mulch:** Prior to grading on the site near any tree, the area within the Tree Protection fence should be fertilized with 4 pounds of nitrogen per 1000 square feet, and the fertilizer irrigated in. The irrigation should percolate at least 24 inches into the soil. This should be done no less than 2 weeks prior to grading or other root disturbing activities. After irrigating, cover the RPZ with at least 12” of leaf and twig mulch. Such mulch can be obtained from chipping or grinding the limbs of any trees removed on the site. Acceptable mulches can be obtained from nurseries or other commercial sources. Fibrous or shredded redwood or cedar bark mulch shall not be used anywhere on site.

**Fence:** Fence around the Root Protection Zone and restrict activity therein to prevent soil compaction by vehicles, foot traffic or material storage. The fenced area shall be off limits to all construction equipment, unless there is express written notification provided by the Project Arborist, and impacts are discussed and mitigated prior to work commencing.

A protective barrier of 6’ chain link fence shall be installed around the dripline of protected tree(s). The fencing can be moved within the dripline if authorized by the project arborist or city arborist, but not

closer than 2' from the trunk of any tree. Fence posts shall be 1.5" in diameter and are to be driven 2' into the ground. The distance between posts shall not be more than 10'. Movable barriers of chain link fencing secured to cement blocks can be substituted for "fixed" fencing if the project arborist and city arborist agree that the fencing will have to be moved to accommodate certain phases of construction. The builder may not move the fence without authorization from the project or city arborist.

Where the city or project arborist has determined that tree protection fencing will interfere with the safety of work crews, tree wrap may be used as an alternative form of tree protection. Wooden slats at least 1" thick are to be bound securely, edge to edge, around the trunk. A single layer or more of orange plastic construction fencing is to be wrapped and secured around the outside of the wooden slats. Major scaffold limbs may require protection as determined by the city or project arborist. Straw waddle may also be used as a trunk wrap by coiling waddle around the trunk up to a minimum height of 6' from grade. A single layer or more of orange plastic construction fencing is to be wrapped and secured around the straw waddle.

Signage should be placed on the protective tree fence no further than 30' apart. The signage should present the following information:

- The tree protection fence shall not be moved without authorization of the Project or City Arborist.
- Storage of building materials or soil is prohibited within the Tree Protection Zone.
- Construction or operation of construction equipment is prohibited within the tree protection zone.

In areas with many trees, the RPZ can be fenced as one unit, rather than separately for each tree.

Do not allow run off or spillage of damaging materials into the area below any tree canopy.

Do not store materials, stockpile soil or park or drive vehicles within the TPZ.

Do not cut, break, skin or bruise roots, branches, or trunks without first obtaining authorization from the city arborist.

Do not allow fires under and adjacent to trees.

Do not discharge exhaust into foliage.

Do not secure cable, chain or rope to trees or shrubs.

Do not trench, dig, or otherwise excavate within the dripline or TPZ of the tree(s) without first obtaining authorization from the city arborist.

Do not apply soil sterilant under pavement near existing trees.

Only excavation by hand, compressed air or hydro-vac shall be allowed within the dripline of trees.

Elevate Foliage: Where indicated, remove lower foliage from a tree to prevent limb breakage by equipment. Low foliage can usually be removed without harming the tree, unless more than 25% of the foliage is removed. Branches need to be removed at the anatomically correct location in order to prevent decay



organisms from entering the trunk. For this reason, a contractor who is an ISA Certified Arborist should perform all pruning on protected trees.<sup>6</sup>

Expose and Cut Roots: Breaking roots with a backhoe, or crushing them with a grader, causes significant injury, which may subject the roots to decay. Ripping roots may cause them to splinter toward the base of the tree, creating much more injury than a clean cut would make. At any location where the root zone of a tree will be impacted by a trench or a cut (including a cut required for a fill and compaction), the roots shall be exposed with either a backhoe digging radially to the trunk, by hand digging, or by a hydraulic air spade, and then cut cleanly with a sharp instrument, such as chainsaw with a carbide chain. Once the roots are severed, the area behind the cut should be moistened and mulched. A root protection fence should also be erected to protect the remaining roots, if it is not already in place. Further grading or backhoe work required outside the established RPZ can then continue without further protection measures.

Protect Roots in Deeper Trenches: The location of utilities on the site can be very detrimental to trees. Design the project to use as few trenches as possible, and to keep them away from the major trees to be protected. Wherever possible, in areas where trenches will be very deep, consider boring under the roots of the trees, rather than digging the trench through the roots. This technique can be quite useful for utility trenches and pipelines.

Route pipes outside of the area that is 10 times the diameter of the protected tree to avoid conflicts with roots. Where it is not possible to reroute pipes or trenches, the contractor shall bore beneath the dripline of the tree. The boring shall take place not less than 3' below the surface of the soil in order to avoid encountering feeder roots. Alternatively, the trench can be excavated using hand, pneumatic or hydro-vac techniques within the RPZ. The goal is to avoid damaging the roots while excavating. The pipes should be fed under the exposed roots. Trenches should be filled within 24 hours, but where this is not possible the side of the trench adjacent to the trees shall be kept shaded with 4 layers of dampened, untreated burlap, wetted as frequently as necessary to keep the burlap wet.

Protect Roots in Small Trenches: After all construction is complete on a site, it is not unusual for the landscape contractor to come in and sever a large number of "preserved" roots during the installation of irrigation systems. The Project Arborist must therefore approve the landscape and irrigation plans. The irrigation system needs to be designed so the main lines are located outside the root zone of major trees, and the secondary lines are either laid on the surface (drip systems), or carefully dug with a hydraulic or air spade, and the flexible pipe fed underneath the major roots.

Design the irrigation system so it can slowly apply water (no more than ¼" to ½" of water per hour) over a longer period of time. This allows deep soaking of root zones. The system also needs to accommodate infrequent irrigation settings of once or twice a month, rather than several times a week.

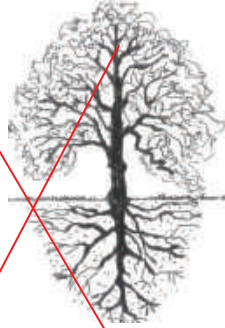
Monitoring Tree Health During and After Construction: The Project Arborist should visit the site at least once a month during construction to be certain the tree protection measures are being followed, to monitor the health of impacted trees, and make recommendations as to irrigation or other needs.

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<sup>6</sup> International Society of Arboriculture (ISA), maintains a program of Certifying individuals. Each Certified Arborist has a number and must maintain continuing education credits to remain Certified.

## Root Structure

The majority of a tree's roots are contained in a radius from the main trunk outward approximately two to three times the canopy of the tree. These roots are located in the top 6" to 3' of soil. It is a common misconception that a tree underground resembles the canopy (see Drawing A below). The correct root structure of a tree is in Drawing B. All plants' roots need both water and air for survival. Surface roots are a common phenomenon with trees grown in compacted soil. Poor canopy development or canopy decline in mature trees is often the result of inadequate root space and/or soil compaction.



Drawing A

Common misconception of where tree roots are assumed to be located



Drawing B

The reality of where roots are generally located

### Structural Issues

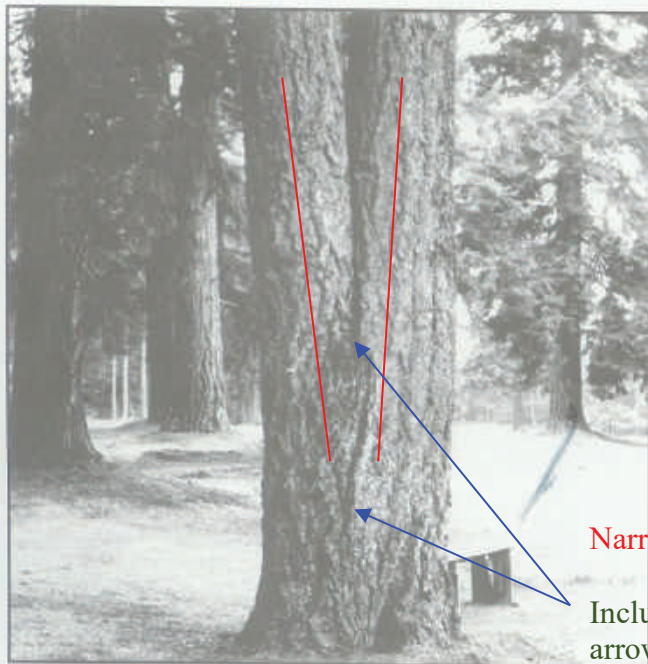
Limited space for canopy development produces poor structure in trees. The largest tree in a given area, which is 'shading' the other trees is considered Dominant. The 'shaded' trees are considered Suppressed. The following picture illustrates this point. Suppressed trees are more likely to become a potential hazard due to their poor structure.

Dominant Tree  
Growth is upright  
Canopy is balanced by limbs and foliage equally



Suppressed Tree  
Canopy weight all to one side  
Limbs and foliage grow away from dominant tree

Co-dominant leaders are another common structural problem in trees.



The tree in this picture has a co-dominant leader at about 3' and included bark up to 7 or 8'. Included bark occurs when two or more limbs have a narrow angle of attachment resulting in bark between the stems – instead of cell to cell structure. This is considered a critical defect in trees and is the cause of many failures.

Narrow Angle  
Included Bark between the arrows

Figure 6. Codominant stems are inherently weak because the stems are of similar diameter.

Photo from Evaluation of Hazard Trees in Urban Areas by Nelda P. Matheny and James R. Clark, 1994 International Society of Arboriculture

### Pruning Mature Trees for Risk Reduction

There are few good reasons to prune mature trees. Removal of deadwood, directional pruning, removal of decayed or damaged wood, and end-weight reduction as a method of mitigation for structural faults are the only reasons a mature tree should be pruned. Live wood over 3” should not be pruned unless absolutely necessary. Pruning cuts should be clean and correctly placed. Pruning should be done in accordance with the American National Standards Institute (ANSI) A300 standards. It is far better to use more small cuts than a few large cuts as small pruning wounds reduce risk while large wounds increase risk.

Pruning causes an open wound in the tree. Trees do not “heal” they compartmentalize. Any wound made today will always remain, but a healthy tree, in the absence of decay in the wound, will ‘cover it’ with callus tissue. Large, old pruning wounds with advanced decay are a likely failure point. Mature trees with large wounds are a high failure risk.

Overweight limbs are a common structural fault in suppressed trees. There are two remedial actions for overweight limbs (1) prune the limb to reduce the extension of the canopy, or (2) cable the limb to reduce movement. Cables do not hold weight they only stabilize the limb and require annual inspection.



Photo of another tree – not at this site.

Normal limb structure

Over weight, reaching limb with main stem diameter small compared with amount of foliage present

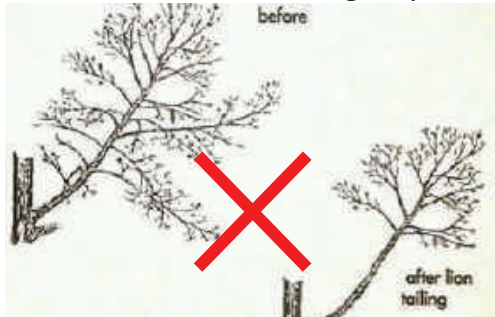


Photo of another tree – not at this site



Lion's – Tailing is the pruning practice of removal of “an excessive number of inner and/or lower lateral branches from parent branches. Lion's tailing is not an acceptable pruning practice” ANSI A300 (part 1) 4.23. It increases the risk of failure.

Pruning – Cutting back trees changes their natural structure, while leaving trees in their natural form enhances longevity.



## Arborist Classifications

There are different types of Arborists:

Tree Removal and/or Pruning Companies. These companies may be licensed by the State of California to do business, but they do not necessarily know anything about trees;

Arborists. Arborist is a broad term. It is intended to mean someone with specialized knowledge of trees but is often used to imply knowledge that is not there.

ISA Certified Arborist: An International Society of Arboriculture Certified Arborist is someone who has been trained and tested to have specialized knowledge of trees. You can look up certified arborists at the International Society of Arboriculture website: [isa-arbor.org](http://isa-arbor.org).

Consulting Arborist: An American Society of Consulting Arborists Registered Consulting Arborist is someone who has been trained and tested to have specialized knowledge of trees and trained and tested to provide high quality reports and documentation. You can look up registered consulting arborists at the American Society of Consulting Arborists website: <https://www.asca-consultants.org/>

## Decay in Trees

**Decay (in General):** Fungi cause all decay of living trees. Decay is considered a disease because cell walls are altered, wood strength is affected, and living sapwood cells may be killed. Fungi decay wood by secreting enzymes. Different types of fungi cause different types of decay through the secretion of different chemical enzymes. Some decays, such as white rot, cause less wood strength loss than others because they first attack the lignin (causes cell walls to thicken and reduces susceptibility to decay and pest damage) secondarily the cellulose (another structural component in a cell walls). Others, such as soft rot, attack the cellulose chain and cause substantial losses in wood strength even in the initial stages of decay. Brown rot causes wood to become brittle and fractures easily with tension. Identification of internal decay in a tree is difficult because visible evidence may not be present.



According to Evaluation of Hazard Trees in Urban Areas (Matheny, 1994) decay is a critical factor in the stability of the tree. As decay progresses in the trunk, the stem becomes a hollow tube or cylinder rather than a solid rod. This change is not readily apparent to the casual observer. Trees require only a small amount of bark and wood to transport water, minerals and sugars. Interior heartwood can be eliminated (or degraded) to a great degree without compromising the transport process. Therefore, trees can contain significant amounts of decay without showing decline symptoms in the crown.



additional cells. The weakest of the vertical wall. Accordingly, decay progression inward at large are more than one pruning cut trunk of the tree, the likelihood of decay progression and the associated structural loss of integrity of the internal wood is high.

Compartmentalization of decay in trees is a biological process in which the cellular tissue around wounds is changed to inhibit fungal growth and provide a barrier against the spread of decay agents into the barrier zones is the formation of while a tree may be able to limit pruning cuts, in the event that there located vertically along the main

## Oak Tree Impacts

Our native oak trees are easily damaged or killed by having the soil within the Critical Root Zone (CRZ) disturbed or compacted. All of the work initially performed around protected trees that will be saved should be done by people rather than by wheeled or track type tractors. Oaks are fragile giants that can take little change in soil grade, compaction, or warm season watering. Don't be fooled into believing that warm season watering has no adverse effects on native oaks. Decline and eventual death can take as long as 5-20 years with poor care and inappropriate watering. Oaks can live hundreds of years if treated properly during construction, as well as later with proper pruning, and the appropriate landscape/irrigation design.

**APPENDIX 4 – APPRAISAL VALUE TABLE**

Client: Thomas James Homes: Tree Appraisal at 816 Laurel Avenue, Menlo Park, CA

| Tree # | DBH | Species        | Tree Sq In | Unit Cost Per Sq Inch | Basic Price | Physical Deterioration | Functional Limitations | External Limitations | Total Depreciation | Depreciated Cost | Rounded Cost                        | % Loss | Assignment Result (inc. \$250 install cost) |
|--------|-----|----------------|------------|-----------------------|-------------|------------------------|------------------------|----------------------|--------------------|------------------|-------------------------------------|--------|---|
| 1      | 36  | Coast Live Oak | 1017.36    | 51.49                 | \$52,383.33 | 0.67                   | 0.8                    | 0.9                  | 0.48               | \$25,144.00      | \$25,100                            | 0      | \$25,350                                    |
| 2      | 15  | Japanese Maple | 176.625    | 51.49                 | \$9094.33   | 0.67                   | 0.6                    | 0.8                  | 0.32               | \$2,910.19       | \$2,900                             | 0      | \$3,150                                     |
|        |     |                |            |                       |             |                        |                        |                      |                    |                  | Additional Costs                    | 0      | \$0   |
|        |     |                |            |                       |             |                        |                        |                      |                    |                  | <b>Assignment Result (Rounded):</b> |        | <b>\$28,500</b>                             |

\*The value of the trees was determined using the Trunk Formula Method, described in the *Guide for Plant Appraisal*<sup>7</sup>, and on the *Species Classification and Group Assignment* published by the Western Chapter, International Society of Arboriculture (ISA).

<sup>7</sup> Council of Tree and Landscape Appraisers, 2018. *Guide for Plant Appraisal*, 10th Edition. International Society of Arboriculture, Champaign, IL.







**COMMUNITY DEVELOPMENT DEPT.**

701 Laurel Street  
Menlo Park, CA 94025  
650.330.6704  
2/28/2011

**TREE PROTECTION SPECIFICATIONS**

1. A 6” layer of coarse mulch or woodchips is to be placed beneath the dripline of the protected trees. Mulch is to be kept 12” from the trunk.
2. A protective barrier of 6’ chain link fencing shall be installed around the dripline of protected tree(s). The fencing can be moved within the dripline if authorized by the Project Arborist or City Arborist but not closer than 2’ from the trunk of any tree. Fence posts shall be 1.5” in diameter and are to be driven 2’ into the ground. The distance between posts shall not be more than 10’. This enclosed area is the Tree Protection Zone (TPZ).
3. Movable barriers of chain link fencing secured to cement blocks can be substituted for “fixed” fencing if the Project Arborist and City Arborist agree that the fencing will have to be moved to accommodate certain phases of construction. The builder may not move the fence without authorization from the Project Arborist or City Arborist.
4. Where the City Arborist or Project Arborist has determined that tree protection fencing will interfere with the safety of work crews, Tree Wrap may be used as an alternative form of tree protection. Wooden slats at least one inch thick are to be bound securely, edge to edge, around the trunk. A single layer or more of orange plastic construction fencing is to be wrapped and secured around the outside of the wooden slats. Major scaffold limbs may require protection as determined by the City Arborist or Project Arborist. Straw waddle may also be used as a trunk wrap by coiling the waddle around the trunk up to a minimum height of six feet from grade. A single layer or more of orange plastic construction fencing is to be wrapped and secured around the straw waddle.
5. **Avoid the following conditions.**  
**DO NOT:**
  - a. Allow run off of spillage of damaging materials into the area below any tree canopy.
  - b. Store materials, stockpile soil, or park or drive vehicles within the TPZ.
  - c. Cut, break, skin, or bruise roots, branches, or trunks without first obtaining authorization from the City Arborist.
  - d. Allow fires under and adjacent to trees.
  - e. Discharge exhaust into foliage.
  - f. Secure cable, chain, or rope to trees or shrubs.
  - g. Trench, dig, or otherwise excavate within the dripline or TPZ of the tree(s) without first obtaining authorization from the City Arborist.
  - h. Apply soil sterilants under pavement near existing trees.
6. Only excavation by hand or compressed air shall be allowed within the dripline of trees. Machine trenching shall not be allowed.

7. Avoid injury to tree roots. When a ditching machine, which is being used outside of the dripline of trees, encounters roots smaller than 2", the wall of the trench adjacent to the trees shall be hand trimmed, making clear, clean cuts through the roots. All damaged, torn and cut roots shall be given a clean cut to remove ragged edges, which promote decay. Trenches shall be filled within 24 hours, but where this is not possible, the side of the trench adjacent to the trees shall be kept shaded with four layers of dampened, untreated burlap, wetted as frequently as necessary to keep the burlap wet. Roots 2" or larger, when encountered, shall be reported immediately to the Project Arborist, who will decide whether the Contractor may cut the root as mentioned above or shall excavate by hand or with compressed air under the root. Root is to be protected with dampened burlap.
8. Route pipes outside of the area that is 10 times the diameter of a protected tree to avoid conflict with roots.
9. Where it is not possible to reroute pipes or trenches, the contractor shall bore beneath the dripline of the tree. The boring shall take place not less than 3' below the surface of the soil in order to avoid encountering "feeder" roots.
10. Trees that have been identified in the arborist's report as being in poor health and/or posing a health or safety risk, may be removed or pruned by more than one-third, subject to approval of the required permit by the Planning Division. Pruning of existing limbs and roots shall only occur under the direction of a Certified Arborist.
11. Any damage due to construction activities shall be reported to the Project Arborist or City Arborist within six hours so that remedial action can be taken.
12. An ISA Certified Arborist or ASCA Registered Consulting Arborist shall be retained as the Project Arborist to monitor the tree protection specifications. The Project Arborist shall be responsible for the preservation of the designated trees. Should the builder fail to follow the tree protection specifications, it shall be the responsibility of the Project Arborist to report the matter to the City Arborist as an issue of non-compliance.
13. Violation of any of the above provisions may result in sanctions or other disciplinary action.

### **MONTHLY INSPECTIONS**

It is required that the site arborist provide periodic inspections during construction. Four-week intervals would be sufficient to access and monitor the effectiveness of the Tree Protection Plan and to provide recommendations for any additional care or treatment.

**Pruter, Matthew A**

---

**From:** Kerr, Alison <AKerr@stanfordhealthcare.org>  
**Sent:** Wednesday, March 2, 2022 1:21 PM  
**To:** Pruter, Matthew A  
**Cc:** Zelle  
**Subject:** Feedback on Planning Proposal 816 Laurel Avenue, Menlo Park; Planning Commission

**CAUTION: This email originated from outside of the organization. Unless you recognize the sender's email address and know the content is safe, DO NOT click links, open attachments or reply.**

Dear Matt,

I am submitting the following concerns related to the application submittal notice regarding the demolition and rebuilding of a home on site 816 Laurel Avenue.

My home is immediately next door to the right of that lot at 812 Laurel Avenue.

The following are my current list of concerns as it relates to this proposed construction project and new 2 story home replacing the 1 story home:

- Impact of the second story of this home to my privacy both within my home, and in my backyard.
- The Menlo Park Planning dept will be aware of the rather large construction project that I underwent a number of years ago in my home with plans filed with MP Planning. The design of my plans including placement of windows and backyard lay out was maximized for privacy for the current house beside me (816 Laurel Ave). I am very concerned with this new plan will not provide me the current level of privacy that I had planned, and built my home for. I would like a 'match' of the current plans to my home specifically to ensure that there is not direct line of site out of my windows both in Kitchen and bedroom which would be incredibly invasive both on the first and second floor of this proposed home.
- Secondly the windows being planned in this home having line of site into my backyard – which when planned was done for privacy. I do not want someone in this proposed home to be able to look out of their windows into my backyard from a privacy perspective.
- Impact of this planned home on the light into my home and backyard. I will expect to have this reviewed and studied. The second story is likely to be incredibly impactful to what I currently experience.
- I currently have a 1 floor home, albeit with new construction. I will be flanked now by two large homes on either side. Aesthetically, it will be incredibly unattractive, and once again not meet the Willows
- Generic design, build and color palate of this house does not fit in the neighborhood. Like many in the neighborhood, we can see the impact of TJ construction projects changing the unique characteristics of the Willows neighborhood. The White box, with Black and grey trim is repeated over, and over again. These homes stand out like a sore thumb and do not reflect the uniqueness of the homes in the Willows.
- Impact to my foundation, dust/debris, damage to my property including fence, flag stone front and back yard, fence, irrigation system, windows. I have read many comments on line about damage being caused to homes beside construction projects done by TJ Homes. What is the mitigation plan to address all of these? I will want a complete walkthrough and photographic documentation of my current state prior to the initiation of any work.
- Removal of the Maple tree in front of lot concerning
- Size of home for lot – overbuilt for lot including double garage. Should be single garage as currently in house.
- Management of construction team, traffic on roads, streets while project ongoing including Safety of children walking to school. I have witnessed when the gate is open (surrounding the property) the gate

is swung open and blocks the sidewalk, and the children need to go onto the street to pass by. This is unacceptable, and not safe for the kids walking to school. There needs to be traffic control to manage parking, congestion of cars/trucks and safety of children.

This represents a current summary of my concerns that need to be addressed. I have also shared these concerns directly with Ms Anna Felver of TJ Homes by way of email 3/2/22 of which she acknowledged receipt.

Matt – please let me know if I can provide any clarification on my feedback, or if there is additional information that you need from me. Please also acknowledge receipt of this feedback.

Thank you,  
Alison  
Homeowner:  
812 Laurel Avenue,  
Menlo Park, CA  
94025

**Alison M. Kerr**

Vice President, Neuroscience and Orthopaedic Service Lines  
Chief Administrative Officer, Clinical Operations  
Emergency Department, Trauma, Stroke, Pharmacy, Lab, Stanford Blood Center, and Office of Emergency Management

**Stanford Health Care**

500 Pasteur Drive, 3<sup>rd</sup> Floor, Executive Suite, MC 5690 • Stanford, CA 94305

☎: 650.498.6180 M: 650.391.8270 F: 650.498.5258

✉ akerr@stanfordhealthcare.org

**Administrative Assistant:** Sherrie Montague Tel: (650)736-9084



**Confidential Information:** This communication and any attachments may contain confidential or privileged information for the use by the designated recipient(s) named above. If you are not the intended recipient, you are hereby notified that you have received this communication in error and that any review, disclosure, dissemination, distribution or copying of it or the attachments is strictly prohibited. If you have received this communication in error, please contact me and destroy all copies of the communication and attachments. Thank you.



## STAFF REPORT

### Planning Commission

**Meeting Date:**

**8/29/2022**

**Staff Report Number:**

**22-048-PC**

**Public Hearing:**

**Use Permit/Steve Schwanke/1152 Berkeley Avenue**

### Recommendation

Staff recommends that the Planning Commission approve a use permit to add a first-floor addition and conduct interior modifications to an existing nonconforming, single-family residence in the R-1-U (Single Family Urban Residential) zoning district. The proposed new work value would exceed 75 percent of the replacement value of the existing structure in a 12-month period. The draft resolution, including the recommended actions and conditions of approval, is included as Attachment A.

### Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal.

### Background

#### *Site location*

Using Berkeley Avenue in the north-south orientation, the subject property is located on the eastern side of Berkeley Avenue, between Newbridge Street to the north and Pierce Road to the south, in the Belle Haven neighborhood. A location map is included as Attachment B.

Houses along Berkeley Avenue include both one-story residences and a two-story apartment building, at 1111 Berkeley Avenue. The single-family homes are developed primarily in the ranch architectural style. The neighborhood features predominantly single-family residences that are also in the R-1-U zoning district, with some properties zoned R-3 (Apartment) to the south, along Pierce Road. The Belle Haven Child Development Center, Belle Haven Library, and Belle Haven School, all zoned P-F (Public Facilities), are located a short distance from the subject property, along Ivy Drive.

### Analysis

#### *Project description*

The subject property is developed with a one-story residence with an attached one-car garage. The residence is considered to be a legal non-conforming structure, with a right-side setback of approximately 4.2 feet, where a minimum of five feet is required. The residence was originally built with only one required off-street parking space in the existing one-car garage. As a result, the building is considered legal non-conforming in terms of parking and the right side setback. The applicant is proposing to add a first-floor addition to the rear of the residence and conduct interior modifications.

With the proposed addition and interior modifications, the residence would include a total of three bedrooms and two bathrooms. The value of the proposed work would equal 179 percent of the replacement value of the existing non-conforming residence in a 12-month period, exceeding the 75 percent use permit threshold.

Apart from the existing nonconforming portion of the house and the nonconforming parking space count, the residence would meet all Zoning Ordinance requirements for setbacks, lot coverage, floor area limit (FAL), daylight plane, and height. Of particular note with regard to Zoning Ordinance requirements:

- The proposed floor area for the residence is 2,159 square feet where the maximum allowable is 2,800 square feet.
- The proposed project would be constructed just below the maximum building coverage, with a total of 39.3 percent where 40 percent is the maximum allowable building coverage for a single-story residence.
- The proposed residence would be 16.9 feet in height, where 28 feet is the maximum allowed.

The existing residence would remain set back 24.7 feet from the front property line, and with the proposed addition, the residence would be set back 28.7 feet from the rear property line, where a 20-foot setback is required for both. The residence would maintain the nonconforming encroachment at the right side setback for the existing portion of the residence, but the proposed addition would be set back a minimum of 5.4 feet on both sides. In the R-1-U zoning district, side setbacks are 10 percent of the lot width, but no less than five feet and no greater than 10 feet. As such, the required setback for each side of the property is five feet.

A data table summarizing parcel and project attributes is included as Attachment C. The project plans and the applicant's project description letter are included as Attachments D and E, respectively.

### ***Design and materials***

The applicant states in their project description letter that the existing residence is designed in a traditional post-war bungalow style and the addition is proposed in the same style. Along the front elevation, a concrete front porch extends from the front entry with wood posts supporting the roofing above, which would remain. The new windows would have simulated true divided lites, with interior and exterior grids and a spacer bar between the glass panes. A sliding glass door is proposed along the rear elevation that would provide access to a new uncovered deck.

Staff believes that the scale, materials, and style of the proposed residence would result in a consistent aesthetic approach and are generally consistent with the broader neighborhood, given the similar architectural styles and sizes of structures in the area.

### ***Trees and landscaping***

There are no trees located on the subject property. Three heritage-sized trees are located on neighboring properties, but these trees are not located close enough to the proposed scope of work to require an arborist report. Two heritage-size palm trees are located on the neighboring property to left of the subject property, at 250 Newbridge Street, and one heritage-size magnolia tree is located on the neighboring

property to the right of the subject property, at 1148 Berkeley Avenue.

### **Correspondence**

The applicant states in their project description letter that the property owner has completed some outreach efforts, which involved sharing an outreach letter with neighboring properties outlining the proposed scope of work. The applicant stated that they received verbal feedback indicating support for the project, and the applicant provided form letters for the neighbors to complete and send to the City. As of the writing of this report, staff received five letters about the proposed project (Attachment F). Each of the letters expressed support for the project, although the neighbor at 250 Newbridge expressed concerns about the tree protection measures, specifically asking about whether any measures would be necessary for their property. Staff reached out to this neighbor, clarifying that no actions or measures would be required as a result of the proposed project.

### **Conclusion**

Staff believes that the design, scale, and materials of the proposed residence are generally compatible with the surrounding neighborhood, and would result in a consistent aesthetic approach. The addition and remodeling work to the traditional bungalow style would generally maintain the current appearance, and would be generally attractive and well-proportioned. Staff recommends that the Planning Commission approve the proposed project.

### **Impact on City Resources**

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

### **Environmental Review**

The project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.

### **Public Notice**

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

### **Appeal Period**

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

### **Attachments**

A. Draft Planning Commission Resolution of Approval Adopting Findings for project Use Permit, including



project Conditions of Approval  
Exhibits to Attachment A

- A. Project Plans (See Attachment D to this (August 15, 2022) Planning Commission Staff Report)
- B. Project Description Letter (See Attachment E to this (August 29, 2022) Planning Commission Staff Report)
- C. Conditions of Approval
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter
- F. Correspondence

**Disclaimer**

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings, and exhibits are available for public viewing at the Community Development Department.

**Exhibits to Be Provided at Meeting**

None

Report prepared by:  
Matt Pruter, Associate Planner

Report reviewed by:  
Corinna Sandmeier, Acting Principal Planner

**PLANNING COMMISSION RESOLUTION NO. 2022-XX****A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MENLO PARK APPROVING A USE PERMIT TO ADD A FIRST-FLOOR ADDITION AND CONDUCT INTERIOR MODIFICATIONS TO AN EXISTING NONCONFORMING SINGLE-FAMILY RESIDENCE IN THE R-1-U (SINGLE FAMILY URBAN RESIDENTIAL) ZONING DISTRICT**

**WHEREAS**, the City of Menlo Park (“City”) received an application requesting to add a first-floor addition and conduct interior modifications to an existing nonconforming single-family residence that would exceed 75 percent of the replacement value of the existing nonconforming structure in a 12-month period, in the Single Family Urban Residential (R-1-U) zoning district, (collectively, the “Project”) from Steve Schwanke (“Applicant”), on behalf of the property owner Tiere Hodges (“Owner”), located at 1152 Berkeley Avenue (APN 062-024-240) (“Property”). The Project use permit is depicted in and subject to the development plans and project description letter, which are attached hereto as Exhibit A and Exhibit B, respectively, and incorporated herein by this reference; and

**WHEREAS**, the Property is located in the Single Family Urban Residential (R-1-U) district. The R-1-U district supports single-family residential uses; and

**WHEREAS**, the proposed Project complies with all objective standards of the R-1-U district; and

**WHEREAS**, the proposed Project was reviewed by the Engineering Division and found to be in compliance with City standards; and

**WHEREAS**, the Project, requires discretionary actions by the City as summarized above, and therefore the California Environmental Quality Act (“CEQA,” Public Resources Code Section §21000 et seq.) and CEQA Guidelines (Cal. Code of Regulations, Title 14, §15000 et seq.) require analysis and a determination regarding the Project’s environmental impacts; and

**WHEREAS**, the City is the lead agency, as defined by CEQA and the CEQA Guidelines, and is therefore responsible for the preparation, consideration, certification, and approval of environmental documents for the Project; and

**WHEREAS**, the Project is categorically except from environmental review pursuant to Cal. Code of Regulations, Title 14, §15301 et seq. (Existing Facilities); and

**WHEREAS**, all required public notices and public hearings were duly given and held according to law; and

**WHEREAS**, at a duly and properly noticed public hearing held on August 29, 2022, the Planning Commission fully reviewed, considered, and evaluated the whole of the record

including all public and written comments, pertinent information, documents and plans, prior to taking action regarding the Project Revisions.

**NOW, THEREFORE, THE MENLO PARK PLANNING COMMISSION HEREBY RESOLVES AS FOLLOWS:**

**Section 1. Recitals.** The Planning Commission has considered the full record before it, which may include but is not limited to such things as the staff report, public testimony, and other materials and evidence submitted or provided, and the Planning Commission finds the foregoing recitals are true and correct, and they are hereby incorporated by reference into this Resolution.

**Section 2. Conditional Use Permit Findings.** The Planning Commission of the City of Menlo Park does hereby make the following Findings:

The approval of the use permit for the proposed first-floor addition and interior modifications is granted based on the following findings which are made pursuant to Menlo Park Municipal Code Section 16.82.030:

1. That the establishment, maintenance, or operation of the use applied for will, under the circumstance of the particular case, not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing in the neighborhood of such proposed use, or injurious or detrimental to property and improvements in the neighborhood or the general welfare of the city because:
  - a. Consideration and due regard were given to the nature and condition of all adjacent uses and structures, and to general plans for the area in question and surrounding areas, and impact of the application hereon; in that, the proposed use permit is consistent with the R-1-U zoning district and the General Plan because the proposed first-floor addition and interior modifications to an existing nonconforming one-story, single-family residence are allowed subject to granting of a use permit and provided that the proposed residence conforms to applicable zoning standards, including, but not limited to, minimum setbacks (note: only the new portions of the residence would comply with setbacks), maximum floor area limit, and maximum building coverage.
  - b. The residence includes one off-street parking space, which is nonconforming because two covered parking spaces are required; however, this nonconformity may remain.
  - c. The proposed Project is designed to meet all the applicable codes and ordinances of the City of Menlo Park Municipal Code and the Commission concludes that the Project would not be detrimental to the health, safety, and welfare of the surrounding community as the new residence would be located in a single-family neighborhood and designed such that privacy concerns would be addressed as the residence would remain as one story.

**Section 3. Conditional Use Permit.** The Planning Commission approves Use Permit No. PLN2021-00013, which use permit is depicted in and subject to the development plans and project description letter, which are attached hereto and incorporated herein by this reference as Exhibit A and Exhibit B, respectively. The Use Permit is conditioned in conformance with the conditions attached hereto and incorporated herein by this reference as Exhibit C.

**Section 4. ENVIRONMENTAL REVIEW.** The Planning Commission makes the following findings, based on its independent judgment after considering the Project, and having reviewed and taken into consideration all written and oral information submitted in this matter:

- A. The Project is categorically except from environmental review pursuant to Cal. Code of Regulations, Title 14, §15301 et seq. (Existing Facilities)

**Section 5. SEVERABILITY**

If any term, provision, or portion of these findings or the application of these findings to a particular situation is held by a court to be invalid, void or unenforceable, the remaining provisions of these findings, or their application to other actions related to the Project, shall continue in full force and effect unless amended or modified by the City.

I, Corinna Sandmeier, Acting Principal Planner and Planning Commission Liaison of the City of Menlo Park, do hereby certify that the above and foregoing Planning Commission Resolution was duly and regularly passed and adopted at a meeting by said Planning Commission on August 29, 2022, by the following votes:

AYES:

NOES:

ABSENT:

ABSTAIN:

IN WITNESS THEREOF, I have hereunto set my hand and affixed the Official Seal of said City on this 29<sup>th</sup> day of August, 2022

---

Corinna Sandmeier  
Acting Principal Planner and Planning Commission Liaison  
City of Menlo Park

Exhibits

- A. Project Plans
- B. Project Description Letter
- C. Conditions of Approval

|                                       |                                      |                                  |                            |
|---------------------------------------|--------------------------------------|----------------------------------|----------------------------|
| <b>LOCATION:</b> 1152 Berkeley Avenue | <b>PROJECT NUMBER:</b> PLN2021-00013 | <b>APPLICANT:</b> Steve Schwanke | <b>OWNER:</b> Tiere Hodges |
|---------------------------------------|--------------------------------------|----------------------------------|----------------------------|

**PROJECT CONDITIONS:**

1. The use permit shall be subject to the following standard conditions:
  - a. The applicant shall be required to apply for a building permit within one year from the date of approval (by August 29, 2023) for the use permit to remain in effect.
  - b. Development of the project shall be substantially in conformance with the plans prepared by Innovative Concepts, consisting of 13 plan sheets, dated received July 15, 2022 and approved by the Planning Commission on August 29, 2022, except as modified by the conditions contained herein, subject to review and approval of the Planning Division.
  - c. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.
  - d. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
  - e. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.
  - f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.
  - g. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.
  - h. Prior to building permit issuance, the applicant shall pay all fees incurred through staff time spent reviewing the application.
  - i. The applicant or permittee shall defend, indemnify, and hold harmless the City of Menlo Park or its agents, officers, and employees from any claim, action, or proceeding against the City of Menlo Park or its agents, officers, or employees to attack, set aside, void, or annul an approval of the Planning Commission, City Council, Community Development Director, or any other department, committee, or agency of the City concerning a development, variance, permit, or land use approval which action is brought within the time period provided for in any applicable statute; provided, however, that the applicant's or permittee's duty to so defend, indemnify, and hold harmless shall be subject to the City's promptly notifying the applicant or permittee of any said claim, action, or proceeding and the City's full cooperation in the applicant's or permittee's defense of said claims, actions, or proceedings.





City of Menlo Park  
 Location Map  
 1152 Berkeley Avenue



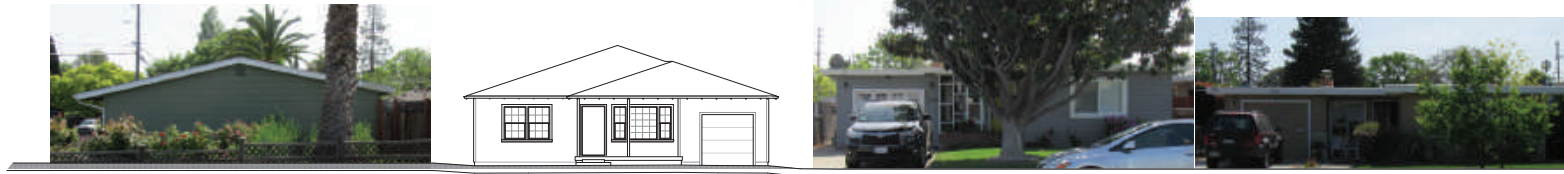


1152 Berkeley Avenue – Attachment C: Data Table

|  | <b>PROPOSED PROJECT</b> | <b>EXISTING PROJECT</b> | <b>ZONING ORDINANCE</b> |
|--|-------------------------|-------------------------|-------------------------|
| Lot area   | 5,750 sf                | 5,750 sf                | 7,000 sf min.           |
| Lot width  | 50.0 ft.                | 50.0 ft.                | 65 ft. min.             |
| Lot depth  | 115.0 ft.               | 115.0 ft.               | 100 ft. min.            |
| Setbacks   |                         |                         |                         |
| Front  | 24.7 ft.                | 24.7 ft.                | 20 ft. min.             |
| Rear   | 28.7 ft.                | 57.6 ft.                | 20 ft. min.             |
| Side (left)  | 5.4 ft.                 | 5.4 ft.                 | 5 ft. min.              |
| Side (right)   | 4.2 ft.                 | 4.2 ft.                 | 5 ft. min.              |
| Building coverage  | 2,259.2 sf              | 1,210.0 sf              | 2,300 sf max.           |
|  | 39.3 %                  | 21.0 %                  | 40 % max.               |
| FAL (Floor Area Limit)   | 2,159.0 sf              | 1,210.0 sf              | 2,800 sf max.           |
| Square footage by floor  | 1,901.0 sf/1st          | 860.0 sf/1st            |                         |
|  | 258.0 sf/garage         | 258.0 sf/garage         |                         |
|  | 91.0 sf/porches         | 92.0 sf/acc. buildings  |                         |
|  | 9.2 sf/fireplaces       |                         |                         |
| Square footage of buildings  | 2,259.2 sf              | 1,210.0 sf              |                         |
| Building height  | 16.9 ft.                | 14.7 ft.                | 28 ft. max.             |
| Parking  | 1 covered               | 1 covered               | 1 covered/1 uncovered   |
| Note: Areas shown highlighted indicate a nonconforming or substandard situation. |                         |                         |                         |

| Trees                               |   |   |   |
|-------------------------------------|---|---|---|
| Heritage trees*                     | 3 | Non-Heritage trees                      | 0 |
| Heritage trees proposed for removal |   | Non-Heritage trees proposed for removal | 0 |
|                                     |   | New Trees                               | 0 |
|                                     |   | Total Number of Trees                   | 3 |

\* All three heritage trees are located in neighboring properties.



250

1152

1148

1144

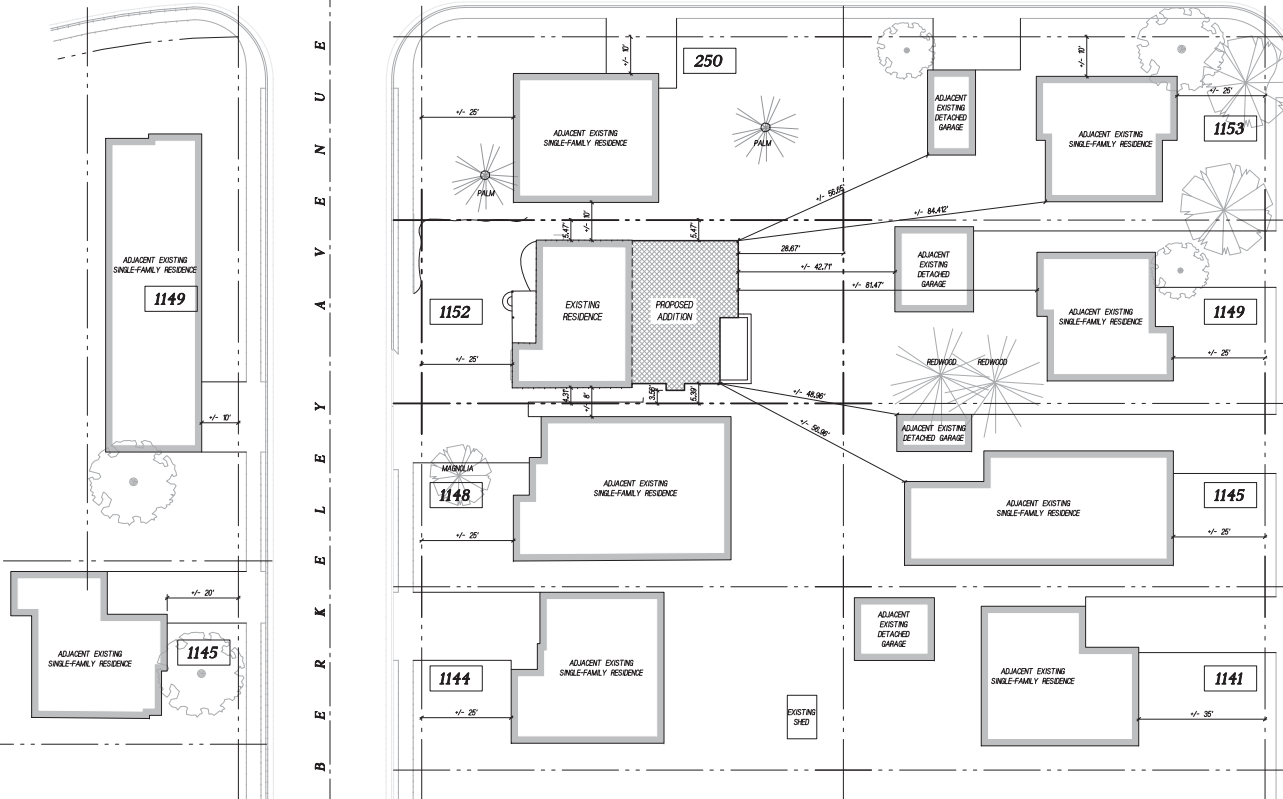
BERKELEY AVENUE STREETSCAPE CONTEXT



N E W B R I D G E S T R E E T

B E R K E L Y A V E N U E

H E N D E R S O N A V E N U E



SHEET INDEX

- AS.00 - AREA PLAN AND STREETSCAPE
- ES.01 - EXISTING SITE/DEMOLITION PLAN
- AS.01 - PROPOSED SITE PLAN
- EP.01 - EXISTING FLOOR/ROOF PLAN
- EE.01 - EXISTING ELEVATIONS
- AP.00 - AREA BLOCK DIAGRAMS
- AP.01 - DEMOLITION FLOOR PLAN
- AP.02 - PROPOSED FLOOR PLAN
- AR.01 - ROOF PLAN
- AE.01 - FRONT/RIGHT EXTERIOR ELEVATIONS
- AE.02 - REAR/LEFT EXTERIOR ELEVATIONS
- AX.01 - BUILDING SECTIONS

BOUNDARY/TOPOGRAPHIC SURVEY



AREA PLAN - 1152 BERKELEY AVENUE

1100 BAY LAUREL  
MENLO PARK,  
CALIFORNIA  
94025-5339  
(650) 321-4348  
stev@schwanke.com

**SCHWANKE**  
ARCHITECTURE



1152 BERKELEY AVENUE  
MENLO PARK  
CALIFORNIA 94025  
A.P.N.: 062-024-240  
PERMIT No.: PL180222

**Hodges Residence**  
REMODEL and ADDITION

| RE   | DATE       |
|------|------------|
| DPR  | 05/18/2022 |
| PLNG | 06/24/2022 |
| PLNG | 07/18/2022 |

SCALE: As Noted  
FILE: hodges-01.dwg  
PLAN:

Area Plan/  
Streetscape  
AS.00

**TREE SCHEDULE**

| No. | SPECIES  | DIA. | H | P | R |
|-----|----------|------|---|---|---|
| 1   | Palm     | 30"  | X | X | X |
| 2   | Palm     | 30"  | X | X | X |
| 3   | Magnolia | 20"  | X | X | X |

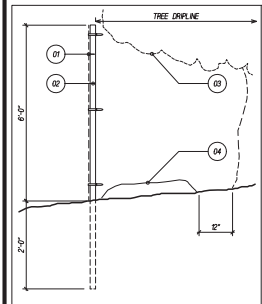
\* - ESTIMATED TREE DIAMETER  
 N - TREE ON ADJACENT PROPERTY  
 H - HERITAGE TREE PROTECTED BY ORDINANCE  
 P - TREE PROTECTION REQUIRED  
 R - TREE TO BE REMOVED (See note "C" below)

**NOTES:**  
 A. THERE ARE NO 'HERITAGE TREES' LOCATED ON SITE OR WITHIN 5' OF ANY PROPERTY LINE.  
 B. THE SCHEDULE BASED ON FIELD OBSERVATION.  
 C. NON-HERITAGE TREES MARKED AS 'RETAIN' AND 'PROTECT' MAY NOT BE REMOVED WITHOUT A TREE REMOVAL PERMIT FROM THE COMMUNITY DEVELOPMENT DIRECTOR.  
 D. CITY APPROVED TREE PROTECTION WARNING SIGNS ARE REQUIRED TO BE INSTALLED AND MAINTAINED AT ALL TIMES UNTIL ALL CONSTRUCTION ACTIVITIES ARE COMPLETE.  
 E. REQUIRED TREE PROTECTION SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION ACTIVITIES ARE COMPLETE. NO CHANGES TO TREE PROTECTION CAN BE MADE UNTIL A REVISED TREE PROTECTION PLAN IS SUBMITTED AND APPROVED BY THE COUNTY ARBORIST.  
 F. FAILURE TO INSTALL AND MAINTAIN REQUIRED TREE PROTECTION WILL RESULT IN ISSUANCE OF A STOP WORK ORDER AND IMPLEMENTATION OF A CORRECTIVE ACTION PLAN.  
 G. ANY DIGGING WITHIN THE TREE PROTECTION ZONE (TPZ) SHALL BE DONE BY HAND (AIR-SPADE OR VACUUM SYSTEM UNDER THE DIRECT SUPERVISION OF A CERTIFIED ARBORIST).

**NOISE RESTRICTIONS**

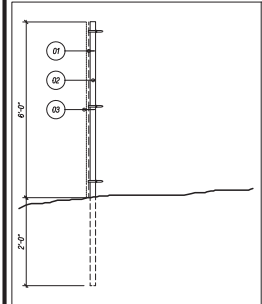
THE WORK HOURS ARE REGULATED BY NOISE LEVELS CREATED DURING CONSTRUCTION.  
 THE MAXIMUM NOISE LEVELS ALLOWED ARE ESTABLISHED IN THE CITY OF MENLO PARK MUNICIPAL CODE, CHAPTER 9.6.6 NOISE.

A. ANY AND ALL EXCESSIVELY ANNOYING, LOCAL OR UNUSUAL NOISE OR VIBRATION AS SUCH TO OFFEND THE FEELING AND QUIET OF PERSONS OF ORDINARY SENSIBILITIES AND INTERFERE WITH THE COMFORTABLE ENJOYMENT OF LIFE OR PROPERTY AND AFFECT AT THE SAME TIME AN ENTIRE NEIGHBORHOOD OR ANY CONSIDERABLE NUMBER OF PERSONS SHALL BE CONSIDERED A NOISE DISTURBANCE.  
 B. CONSTRUCTION ACTIVITIES:  
 a) CONSTRUCTION ACTIVITIES ARE LIMITED TO THE HOURS OF 8:00 AM TO 5:00 PM AND 5:00 PM TO 8:00 PM MONDAY THROUGH FRIDAY.  
 b) CONSTRUCTION ACTIVITIES BY RESIDENTS AND PROPERTY OWNERS PERSONALLY UNDERTAKING CONSTRUCTION ACTIVITIES TO MAINTAIN OR IMPROVE THEIR PROPERTY ARE ALLOWED ON SATURDAYS, SUNDAYS, AND HOLIDAYS BETWEEN THE HOURS OF 9:00 AM AND 5:00 PM.  
 c) A SIGN CONTAINING THE PERMITTED HOURS OF CONSTRUCTION ACTIVITIES EXCEEDING THE NOISE LIMITS SET FORTH IN SECTION 9.6.6.03 SHALL BE POSTED AT ALL ENTRANCES TO A CONSTRUCTION SITE UPON THE COMMENCEMENT OF CONSTRUCTION FOR THE PURPOSE OF INFORMING OTHERS, SUB-CONTRACTORS, AND ALL OTHER PERSONS AT THE CONSTRUCTION SITE OF THE BASIC REQUIREMENTS OF THIS CHAPTER. THE SIGN SHALL BE AT LEAST FIVE (5) FEET ABOVE GROUND LEVEL AND SHALL CONSIST OF A WHITE BACKGROUND WITH BLACK LETTERS.  
 d) NOTWITHSTANDING ANY OTHER PROVISION SET FORTH ABOVE, ALL POWERED EQUIPMENT SHALL COMPLY WITH THE LIMITS SET FORTH IN SECTION 9.6.6.03(B).



**TREE PROTECTION** SCALE: 3/4" = 1'-0" (IF-DETAILS) (treeprot-memo10.ub)

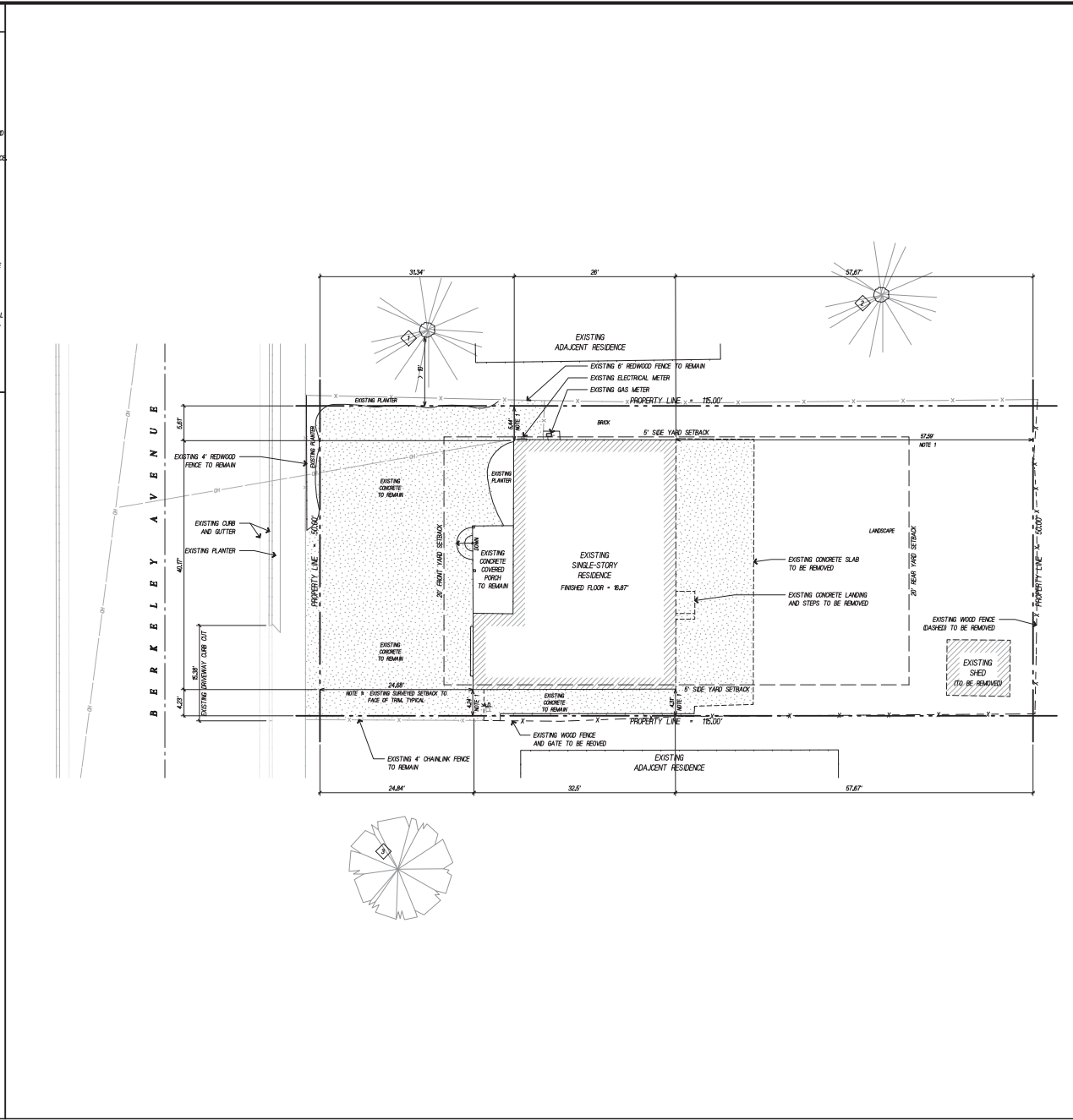
**1**



**SECURITY FENCE** SCALE: 3/4" = 1'-0" security-memo10.ub

**2**

**ADDITIONAL TREE PROTECTION NOTES:**  
 - APPROVED TREE PROTECTION WARNING SIGNS ARE REQUIRED TO BE INSTALLED AND MAINTAINED AT ALL TIMES UNTIL ALL CONSTRUCTION ACTIVITIES ARE COMPLETE.  
 - REQUIRED TREE PROTECTION SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION ACTIVITIES ARE COMPLETE. NO CHANGES TO TREE PROTECTION CAN BE MADE UNTIL A REVISED TREE PROTECTION PLAN IS SUBMITTED AND APPROVED BY THE COUNTY ARBORIST.  
 - FAILURE TO INSTALL AND MAINTAIN REQUIRED TREE PROTECTION WILL RESULT IN ISSUANCE OF STOP WORK ORDER AND IMPLEMENTATION OF A CORRECTIVE ACTION PLAN.



**KEYNOTES**

**NOTE:**  
 THE NON-CONFORMING WALLS OF THE EXISTING RESIDENCE CANNOT BE REBUILT IF DEMOLISHED PAST THEIR FRAMING MEMBERS.

**CONSTRUCTION WASTE MANAGEMENT**

- RECYCLE AND/OR SALVAGE FOR REUSE OF NON-HAZARDOUS CONSTRUCTION AND DEMOLITION DEBRIS SHALL COMPLY WITH CITY OF MENLO PARK "Reusing and Salvaging of Construction and Demolition Debris" ORDINANCE - MENLO PARK MUNICIPAL CODE TITLE 12, CHAPTER 12.48 AND/OR LEED RESIDENTIAL REQUIREMENTS FOR SEVER LEVEL.
- DOCUMENTATION SHALL BE PREPARED BY THE CONTRACTOR TO DEMONSTRATE COMPLIANCE WITH THE ORDINANCE AND BE MADE AVAILABLE TO THE BUILDING DEPARTMENT INSPECTOR AS REQUIRED.
- WASTE CONSTRUCTION AND DEMOLITION DEBRIS PROCESSORS CAN BE LOCATED AT THE CALIFORNIA DEPARTMENT OF RESOURCES RECYCLING AND RECOVERY EMPLOYMENT.

**EXISTING AREAS**

|                             |            |
|-----------------------------|------------|
| EXISTING BUILDING/PORCH     | 1,218 S.F. |
| IMPERVIOUS AREA             | 2,127 S.F. |
| PERVIOUS AREA               | 2,313 S.F. |
| APPROXIMATE BUILDING AREAS: |            |
| EXISTING RESIDENCE          | 1,118 S.F. |
| EXISTING SHED               | 92 S.F.    |

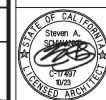
**SITE NOTES**

- REMOVE AND REPLACE ALL EXISTING FRONTAGE IMPROVEMENTS ALONG THE ENTIRE PROJECT FRONTAGE.
- ALL EXISTING ADJACENT FRONTAGE IMPROVEMENTS (DAMAGED AS A RESULT OF CONSTRUCTION SHALL BE REPAIRED OR REPLACED.
- AN ENCROACHMENT PERMIT FROM THE ENGINEERING DIVISION IS REQUIRED PRIOR TO ANY CONSTRUCTION ACTIVITIES IN THE PUBLIC RIGHT-OF-WAY.

**SITE LEGEND**

- (E)— EXISTING OVERHEAD ELECTRICAL (AS OCCURS)
- (W)— EXISTING UNDERGROUND WATER (AS OCCURS)
- (G)— EXISTING UNDERGROUND GAS (AS OCCURS)
- (SS)— EXISTING SANITARY SEWER (AS OCCURS)
- (O)— OVERHEAD ELECTRICAL (AS OCCURS)
- (W)— UNDERGROUND WATER (AS OCCURS)
- (G)— UNDERGROUND GAS (AS OCCURS)
- (SS)— SANITARY SEWER (AS OCCURS)
- (SD)— STORM DRAIN - TIGHT LINE FROM DOWNSPOUT TO 20" P/B REBER
- SSSD SANITARY SEWER CLEANOUT
- WM WATER METER - VERIFY EXISTING SIZE WITH WATER DEPARTMENT
- (P)— TEMPORARY 4" CHAIN LINK CONSTRUCTION SECURITY FENCING - VERIFY EXTENT REQUIRED
- (TP)— TREE PROTECTION FENCING PER MENLO PARK CITY STANDARDS - TO REMAIN FOR DURATION OF CONSTRUCTION
- ◇ TREE NUMBER - REFER TO TREE SCHEDULE

1100 BAY LAUREL  
 MENLO PARK,  
 CALIFORNIA  
 94025-2339  
 (650) 321-4348  
 steve@schwanke.com



1152 BERKELEY AVENUE  
 MENLO PARK  
 CALIFORNIA 94025  
 A.P.N.: 062-024-240  
 PERMIT No. PA19022-

**Hodges Residence**  
 REMODEL and ADDITION

|      |            |
|------|------------|
| RE   | DATE       |
| DFR  | 05/19/2022 |
| PLNG | 06/24/2022 |
| PLNG | 07/18/2022 |

SCALE: 1/8" = 1'-0"  
 FILE: hodges-01.ub  
 PLAN

Existing/  
 Demolition  
 Site Plan

ES.01

**EXISTING and DEMOLITION SITE PLAN - 1152 BERKELEY AVENUE**

**TREE SCHEDULE**

| No. | SPECIES  | DIA. | H | P | R |
|-----|----------|------|---|---|---|
| 1   | Palm     | 30"  | X | X | X |
| 2   | Palm     | 30"  | X | X | X |
| 3   | Magnolia | 20"  | X | X | X |

\* - ESTIMATED TREE DIAMETER  
H - TREE ON ADJACENT PROPERTY  
H - HERITAGE TREE PROTECTED BY ORDINANCE  
P - TREE PROTECTION REQUIRED  
R - TREE TO BE REMOVED (See Note "C" below)

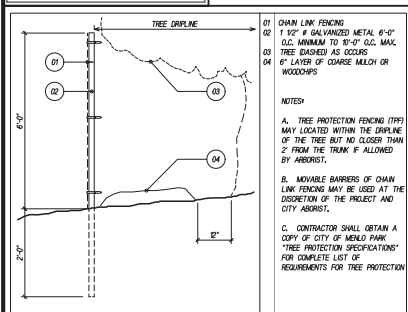
**NOTES**

- A. THERE ARE NO "HERITAGE TREES" LOCATED ON SITE OR WITHIN 50' OF ANY PROPERTY LINE.
- B. TREE SCHEDULE BASED ON FIELD OBSERVATION.
- C. NON-HERITAGE TREES MARKED AS "RETAIN" and "PROTECT" MAY NOT BE REMOVED WITHOUT A TREE REMOVAL PERMIT FROM THE COMMUNITY DEVELOPMENT DIRECTOR.
- D. CITY APPROVED TREE PROTECTION WARNING SIGNS ARE REQUIRED TO BE INSTALLED AND MAINTAINED AT ALL TIMES UNTIL ALL CONSTRUCTION ACTIVITIES ARE COMPLETE.
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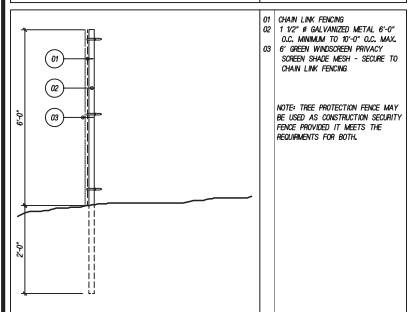
**NOISE RESTRICTIONS**

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- A. ANY AND ALL EXCESSIVELY ANNOYING, LOUD, OR UNUSUAL NOISE OR VIBRATION AS SUCH TO DISTURB THE PEACE AND QUIET OF PERSONS OF ORDINARY SENSIBILITIES AND WHOSE INTEREST WITH THE COMFORTABLE ENJOYMENT OF LIFE OR PROPERTY AND AFFECT AT THE SAME TIME AN ENTIRE NEIGHBORHOOD OR ANY CONSIDERABLE NUMBER OF PERSONS SHALL BE CONSIDERED A NOISE DISTURBANCE.
- B. CONSTRUCTION ACTIVITIES
  - a) CONSTRUCTION ACTIVITIES ARE LIMITED TO THE HOURS OF 8:00 AM TO 5:00 PM MONDAY THROUGH FRIDAY.
  - b) CONSTRUCTION ACTIVITIES BY RESIDENTS AND PROPERTY OWNERS PERSONALLY UNDERTAKING CONSTRUCTION ACTIVITIES TO MAINTAIN OR IMPROVE THEIR PROPERTY ARE ALLOWED ON SATURDAYS, SUNDAYS, AND HOLIDAYS BETWEEN THE HOURS OF 9:00 AM AND 5:00 PM.
  - c) A SIGN CONTAINING THE PERMITTED HOURS OF CONSTRUCTION ACTIVITIES EXCEEDING THE NOISE LIMITS SET FORTH IN SECTION 6.6.6.03.01, SHALL BE POSTED AT ALL ENTRANCES TO A CONSTRUCTION SITE UPON THE COMMENCEMENT OF CONSTRUCTION, FOR THE PURPOSE OF INFORMING CONTRACTORS, SUB-CONTRACTORS, AND ALL OTHER PERSONS AT THE CONSTRUCTION SITE OF THE BASIC REQUIREMENTS OF THIS CHAPTER. THE SIGN SHALL BE AT LEAST FIVE (5) FEET ABOVE GROUND LEVEL AND SHALL CONSIST OF A WHITE BACKGROUND WITH BLACK LETTERS.
  - d) NOTWITHSTANDING ANY OTHER PROVISION SET FORTH ABOVE, ALL POWERED EQUIPMENT SHALL COMPLY WITH THE LIMITS SET FORTH IN SECTION 6.6.6.03.01.



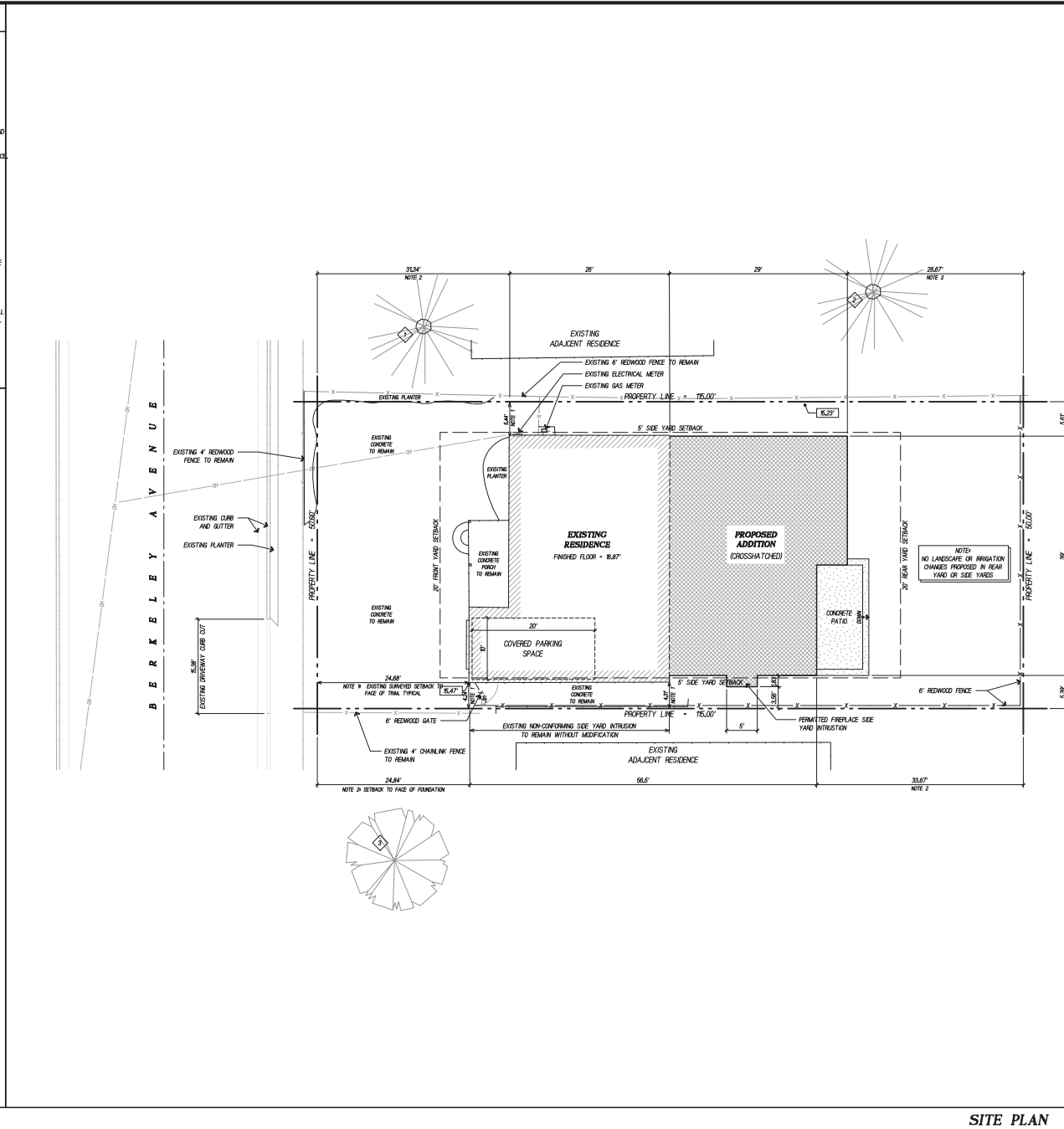
**TREE PROTECTION** SCALE: 3/4" = 1'-0" (IF DETAILS) (except-minor) 1



**SECURITY FENCE** SCALE: 3/4" = 1'-0" security fence 2

**ADDITIONAL TREE PROTECTION NOTES:**

- APPROVED TREE PROTECTION WARNING SIGNS ARE REQUIRED TO BE INSTALLED AND MAINTAINED AT ALL TIMES UNTIL ALL CONSTRUCTION ACTIVITIES ARE COMPLETE.
- REQUIRED TREE PROTECTION SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION ACTIVITIES ARE COMPLETE. NO CHANGES TO TREE PROTECTION CAN BE MADE UNTIL A REVISED TREE PROTECTION PLAN IS SUBMITTED AND APPROVED BY THE COUNTY ARBORIST.
- FAILURE TO INSTALL AND MAINTAIN REQUIRED TREE PROTECTION WILL RESULT IN ISSUANCE OF STOP WORK ORDER AND IMPLEMENTATION OF A CORRECTIVE ACTION PLAN.



**KEYNOTES**

NOTE:  
THE NON-CONFORMING WALLS OF THE EXISTING RESIDENCE CANNOT BE RESULT IF DEMOLISHED PAST THEIR FRAMING MEMBERS.

**SITE NOTES**

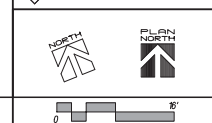
- A. REMOVE AND REPAIR ALL EXISTING DAMAGED FRONTAGE IMPROVEMENTS ALONG THE ENTIRE PROJECT FRONTAGE. ALL FRONTAGE IMPROVEMENT WORK SHALL BE IN ACCORDANCE WITH THE CITY STANDARDS.
- B. ALL FRONTAGE IMPROVEMENTS DAMAGED AS A RESULT OF CONSTRUCTION SHALL BE REPAIRED.
- C. AN ENCROACHMENT PERMIT FROM THE ENGINEERING DIVISION IS REQUIRED PRIOR TO ANY CONSTRUCTION ACTIVITIES, INCLUDING LATERALS, IN THE PUBLIC RIGHT-OF-WAY.

**SITE ANALYSIS**

ADDRESS: 162 BERKELEY AVENUE  
ACCESSOR'S PARCEL NUMBER: 062-024-240  
ZONE: R-1U  
SITE AREA: 5,750 S.F.  
AVERAGE NATURAL GRADE: 14.85'  
(16.47' - 14.43') / 2 = 14.85'  
MAXIMUM COVERAGE (40%): 2,300 S.F.  
FLOOR AREA LIMIT (F.A.L.): 2,800 S.F.  
MAXIMUM BUILDING HEIGHT: 28'-0"  
DAYLIGHT PLANE: REQUIRED  
PARKING REQUIRED: (1) COVERED (1) UNCOVERED  
BY COVERED SPACE EXISTING: TO REMAIN NATURAL GRADES:  
AREAS- REFER TO SHEET AP.00 FOR PROPOSED FLOOR AREA LIMIT (F.A.L.) AND COVERAGE AREA BLOCK DIAGRAMS.

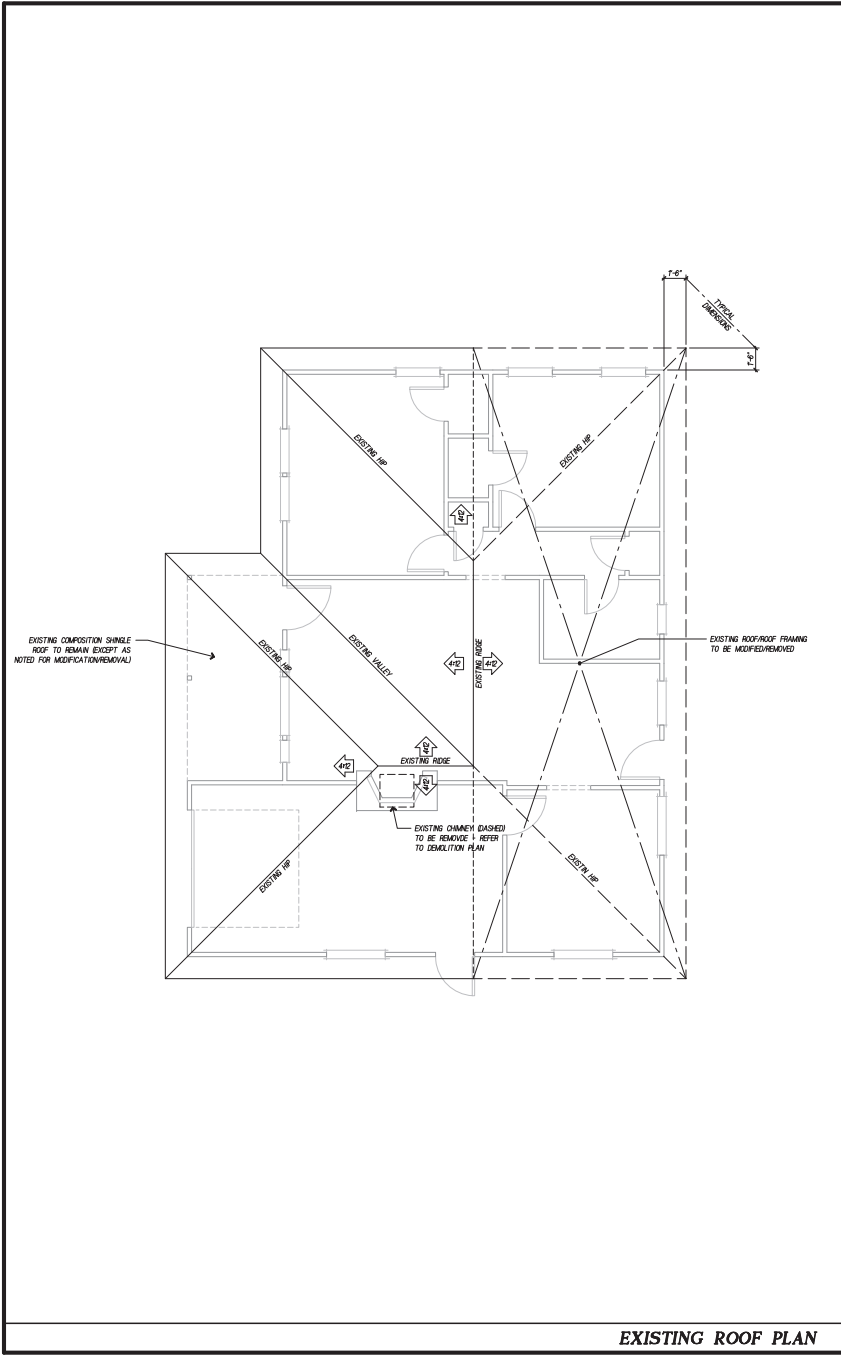
**SITE LEGEND**

- E- EXISTING OVERHEAD ELECTRICAL (AS OCCURS)
- W- EXISTING UNDERGROUND WATER (AS OCCURS)
- G- EXISTING UNDERGROUND GAS (AS OCCURS)
- S- EXISTING SANITARY SEWER (AS OCCURS)
- OE- OVERHEAD ELECTRICAL (AS OCCURS)
- UW- UNDERGROUND WATER (AS OCCURS)
- UG- UNDERGROUND GAS (AS OCCURS)
- SS- SANITARY SEWER (AS OCCURS)
- SD- STORM DRAIN - TIGHT LINE FROM DOWNSLOPE TO PUMP/BURST
- SSD SANITARY SEWER CLEANOUT
- MM WATER METER - VERIFY EXISTING SIZE WITH WATER DEPARTMENT
- O- TOWNSHIP 6'-0" CHAIN LINK CONSTRUCTION SECURITY FENCING - VERIFY EXTENT REQUIRED
- TP- TREE PROTECTION FENCING PER MENLO PARK CITY STANDARDS - TO REMAIN PER DURATION OF CONSTRUCTION
- M- TREE MANDER - REFER TO TREE SCHEDULE

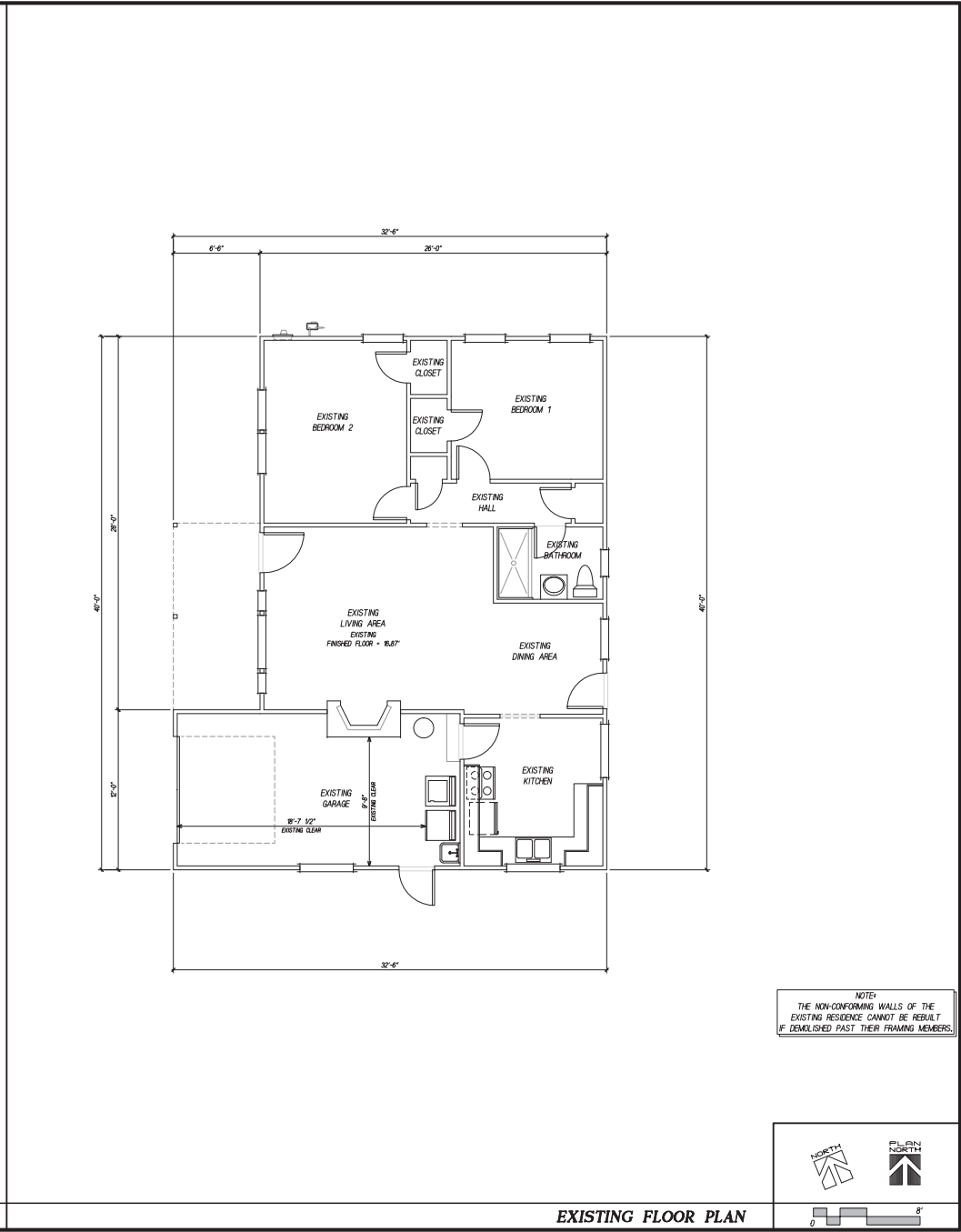


**SCHWANKE ARCHITECTURE**  
1100 BAY LAUREL  
MENLO PARK, CALIFORNIA 94025-5339  
(650) 321-4348  
steve@schwanke.com  
162 BERKELEY AVENUE  
Hodges Residence  
REMODEL and ADDITION  
CALIFORNIA 94025  
A.P.N.: 062-024-240  
PERMIT No.: RL02022-

**Site Plan**  
**AS.01**

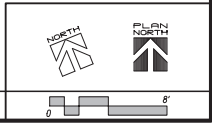


EXISTING ROOF PLAN



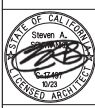
EXISTING FLOOR PLAN

NOTES  
 THE NON-COMFORMING WALLS OF THE EXISTING RESIDENCE CANNOT BE REBUILT IF DEMOLISHED PAST THEIR FRAMING MEMBERS.



100 BAY LAUREL  
 MENLO PARK  
 CALIFORNIA  
 94025-5339  
 (650) 321-4348  
 steve@schwanke.com

**SCHWANKE**  
 ARCHITECTURE



1162 BERKELEY AVENUE  
 MENLO PARK  
 CALIFORNIA 94025  
 A.P.N.: 062-024-240  
 PERMIT No.: PLN2022-

**Hodges Residence**  
 REMODEL and ADDITION

|      |            |
|------|------------|
| RE:  | DATE:      |
| DFR  | 05/18/2022 |
| PLNG | 06/24/2022 |
|      |            |
|      |            |
|      |            |

SCALE: 1/4" = 1'-0"  
 FILE: hodges-ep.dwg

PLAN:

Existing Floor/  
 Roof Plan  
 EP.01

● MAXIMUM ALLOWABLE BUILDING HEIGHT - 42.25'  
Net To Scaff

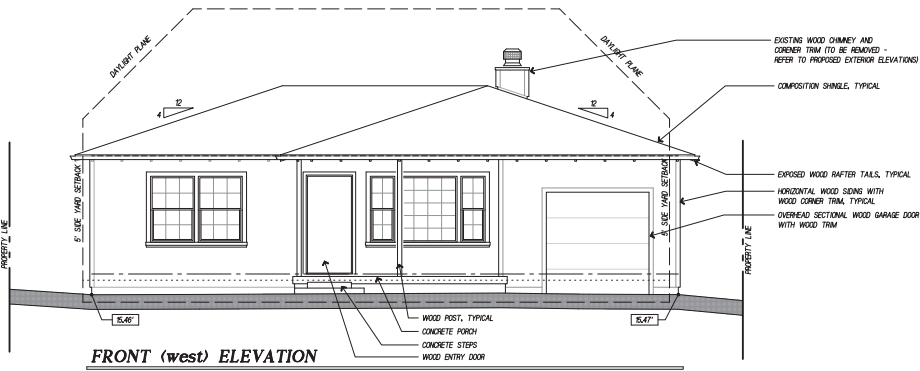
● DAYLIGHT PLANE - 37.68'

● EXISTING TOP PLATE - 24.63'

● EXISTING FINISHED FLOOR - 16.67'

● 3" ELEVATION LINE - 16.45'

● AVERAGE NATURAL GRADE - 14.85'



**FRONT (west) ELEVATION**

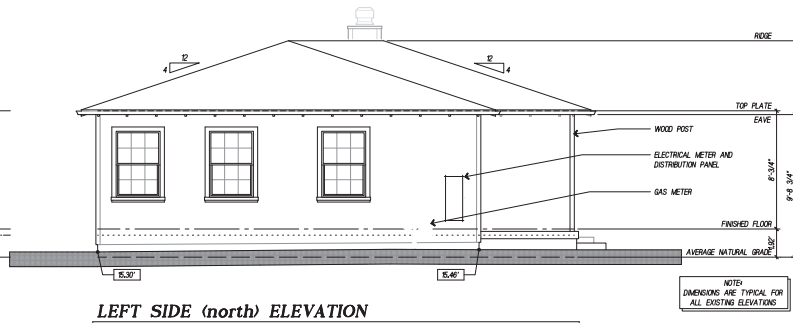
● MAXIMUM ALLOWABLE BUILDING HEIGHT - 42.25'  
Net To Scaff

● EXISTING TOP PLATE - 24.63'

● EXISTING FINISHED FLOOR - 16.67'

● 3" ELEVATION LINE - 16.45'

● AVERAGE NATURAL GRADE - 14.85'



**LEFT SIDE (north) ELEVATION**

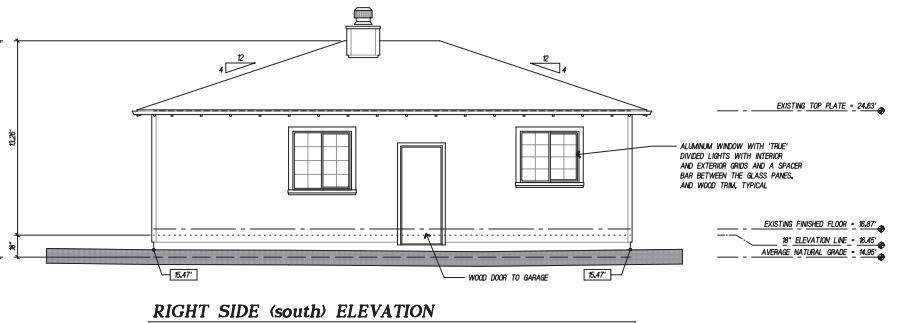
● MAXIMUM ALLOWABLE BUILDING HEIGHT - 42.25'  
Net To Scaff

● EXISTING TOP PLATE - 24.63'

● EXISTING FINISHED FLOOR - 16.67'

● 3" ELEVATION LINE - 16.45'

● AVERAGE NATURAL GRADE - 14.85'



**RIGHT SIDE (south) ELEVATION**

● MAXIMUM ALLOWABLE BUILDING HEIGHT - 42.25'  
Net To Scaff

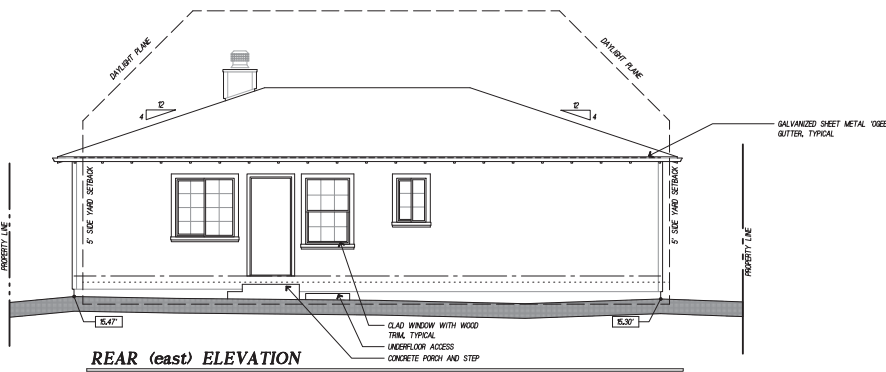
● DAYLIGHT PLANE - 37.68'

● EXISTING TOP PLATE - 24.63'

● EXISTING FINISHED FLOOR - 16.67'

● 3" ELEVATION LINE - 16.45'

● AVERAGE NATURAL GRADE - 14.85'



**REAR (east) ELEVATION**

NOTE:  
THE NON-CONFORMING WALLS OF THE EXISTING RESIDENCE CANNOT BE REBUILT IF DEMOLISHED PAST THEIR FRAMING MEMBERS.

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**SCHWANKE**  
ARCHITECTURE



1162 BERKELEY AVENUE  
MENLO PARK  
CALIFORNIA 94025  
A.P.N.: 062-024-240  
PERMIT No.: PLN2022-

**Hodges Residence**  
REMODEL and ADDITION

|      |            |
|------|------------|
| REV  | DATE       |
| DFR  | 05/18/2022 |
| PLNG | 06/24/2022 |
| PLNG | 07/18/2022 |

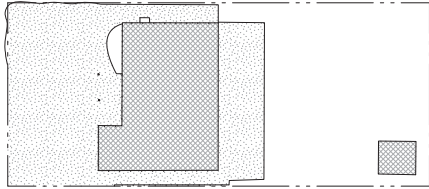
SCALE: 1/4" = 1'-0"  
FILE: hodges-ep.dwg  
PLAN:

Existing Exterior Elevations  
EE.01

EXISTING EXTERIOR ELEVATIONS

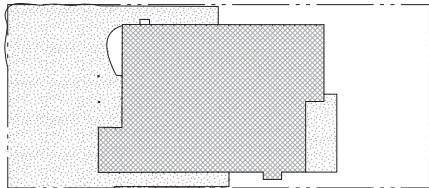


- IMPERVIOUS AREA (BUILDING)  
2,210 S.F. (41.02)
- IMPERVIOUS AREA (PAVING)  
2,135 S.F. (37.02)
- PERVIOUS AREA (LANDSCAPING)  
2,405 S.F. (41.82)



EXISTING IMPERVIOUS AREAS SCALE: 1/16" = 1'-0"

- IMPERVIOUS AREA (BUILDING)  
2,169 S.F. (37.72)
- IMPERVIOUS AREA (PAVING)  
1,795 S.F. (31.22)
- PERVIOUS AREA (LANDSCAPING -or- GRAVEL)  
1,786 S.F. (31.82)



PROPOSED IMPERVIOUS AREAS SCALE: 1/16" = 1'-0"

EXISTING FLOOR AREA:

| FLOOR | EXISTING DEVELOPMENT          | PROPOSED DEVELOPMENT          |
|-------|-------------------------------|-------------------------------|
|       | PERMITTED                     | PROPOSED                      |
| E1    | 26.00' x 28.00' = 728.00 S.F. | 26.00' x 28.00' = 728.00 S.F. |
| E2    | 11.00' x 12.00' = 132.00 S.F. | 11.00' x 12.00' = 132.00 S.F. |
| G1    | 21.50' x 12.00' = 258.00 S.F. | 21.50' x 12.00' = 258.00 S.F. |
| TOTAL | 1,118.00                      | 1,118.00                      |

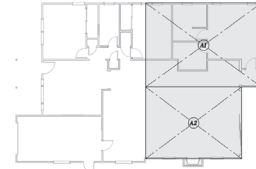


PROPOSED DEVELOPMENT SUMMARY

| PROPOSED DEVELOPMENT | PERMITTED | PROPOSED |
|----------------------|-----------|----------|
| EXISTING DEVELOPMENT | 1,118.00  | 1,118.00 |
| ADDITION FLOOR AREA  | 0.00      | 0.00     |
| REMOVAL FLOOR AREA   | 0.00      | 0.00     |
| TOTAL                | 1,118.00  | 1,118.00 |

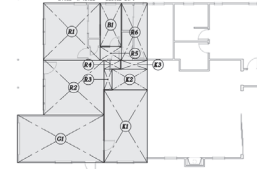
ADDITION FLOOR AREA:

| FLOOR | ADDITION DEVELOPMENT          | PROPOSED DEVELOPMENT          |
|-------|-------------------------------|-------------------------------|
|       | PERMITTED                     | PROPOSED                      |
| A1    | 29.00' x 21.00' = 609.00 S.F. | 29.00' x 21.00' = 609.00 S.F. |
| A2    | 24.00' x 16.00' = 384.00 S.F. | 24.00' x 16.00' = 384.00 S.F. |
| TOTAL | 993.00                        | 993.00                        |



REMOVAL FLOOR AREA:

| FLOOR | REMOVAL DEVELOPMENT           | PROPOSED DEVELOPMENT          |
|-------|-------------------------------|-------------------------------|
|       | PERMITTED                     | PROPOSED                      |
| B1    | 18.00' x 18.00' = 324.00 S.F. | 18.00' x 18.00' = 324.00 S.F. |
| B2    | 8.00' x 2.00' = 16.00 S.F.    | 8.00' x 2.00' = 16.00 S.F.    |
| TOTAL | 340.00                        | 340.00                        |



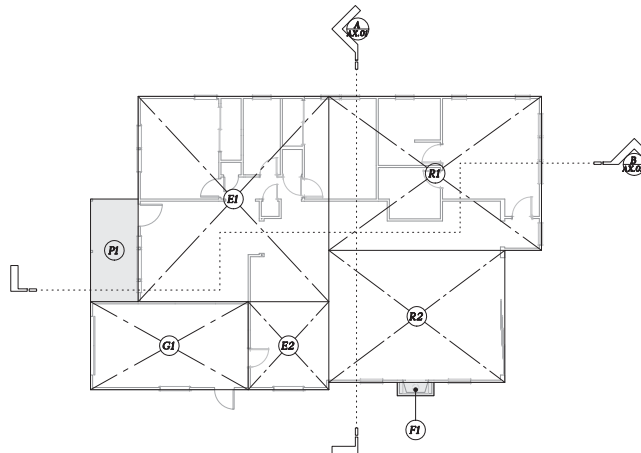
NEW ROOF OVER EXISTING:

| FLOOR | EXISTING DEVELOPMENT          | PROPOSED DEVELOPMENT          |
|-------|-------------------------------|-------------------------------|
|       | PERMITTED                     | PROPOSED                      |
| R1    | 12.00' x 16.00' = 192.00 S.F. | 12.00' x 16.00' = 192.00 S.F. |
| R2    | 2.00' x 2.00' = 4.00 S.F.     | 2.00' x 2.00' = 4.00 S.F.     |
| TOTAL | 196.00                        | 196.00                        |



NON-CONFORMING STRUCTURE - NEW WORK VALUATION ATTACHMENTS

Not To Scale



EXISTING FLOOR AREA

|                     |                               |
|---------------------|-------------------------------|
| E1                  | 26.00' x 28.00' = 728.00 S.F. |
| E2                  | 11.00' x 12.00' = 132.00 S.F. |
| GARAGE              |                               |
| G1                  | 21.50' x 12.00' = 258.00 S.F. |
| ADDITION FLOOR AREA |                               |
| R1                  | 29.00' x 21.00' = 609.00 S.F. |
| R2                  | 24.00' x 16.00' = 384.00 S.F. |

|                           |              |
|---------------------------|--------------|
| TOTAL FLOOR AREA F.A.L.†  | 2159.00 S.F. |
| MAXIMUM ALLOWABLE F.A.L.† | 2880.00 S.F. |

ADDITIONAL COVERAGE AREAS:

|                              |                             |
|------------------------------|-----------------------------|
| COVERED PORCH (SHADED)       |                             |
| P1                           | 6.50' x 14.00' = 91.00 S.F. |
| OTHER COVERED AREAS (SHADED) |                             |
| F1 (Patio)                   | 5.00' x 1.83' = 9.15 S.F.   |

|                                 |              |
|---------------------------------|--------------|
| ADDITIONAL COVERAGE AREA TOTAL: | 100.15 S.F.  |
| LOWER FLOOR COVERAGE:           | 2159.00 S.F. |

|                                      |              |
|--------------------------------------|--------------|
| TOTAL BUILDING COVERAGE:             | 2259.15 S.F. |
| MAXIMUM ALLOWABLE BUILDING COVERAGE: | 2380.00 S.F. |

FLOOR PLAN

AREA BLOCK DIAGRAMS



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A.P.N.: 062-024-240  
PERMIT No.: PLN0022-

**Hodges Residence**  
REMODEL and ADDITION

| REV  | DATE       |
|------|------------|
| DPR  | 05/18/2022 |
| PLNG | 06/24/2022 |
| PLNG | 07/18/2022 |

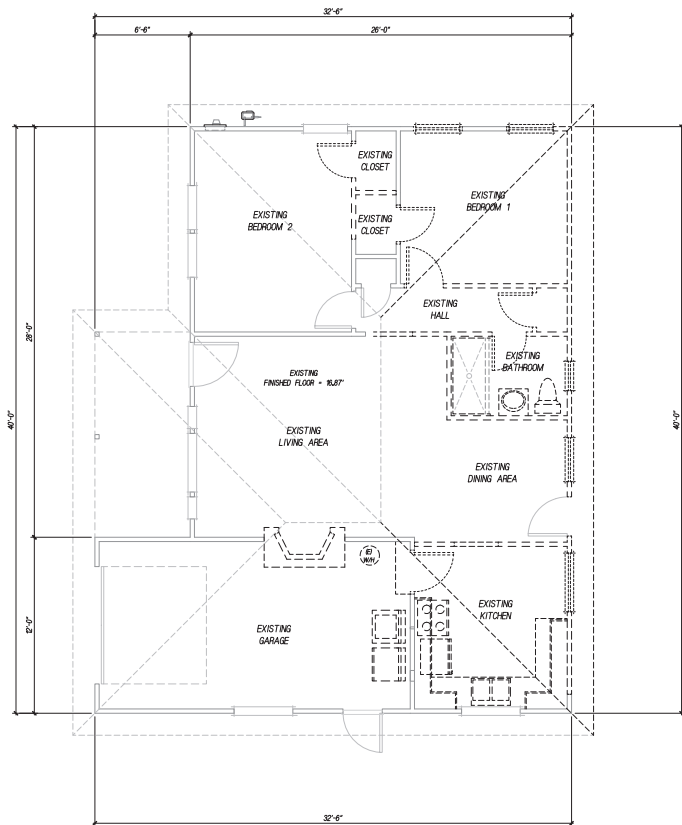
SCALE: 1/8" = 1'-0"

FILE: hodges-01.dwg

PLAN:

Area Block Diagrams  
AP.00





**KEYNOTES**

NOTE:  
THE NON-CONFORMING WALLS OF THE EXISTING RESIDENCE CANNOT BE REBUILT IF DEMOLISHED PAST THEIR FRAMING MEMBERS.

**DEMOLITION NOTES**

1. Furnish all labor, materials, and equipment as required to complete the demolition and removal of all items in the areas of construction.
2. The General Contractor shall verify the condition of any materials being salvaged for reuse. Salvaged items shall be wrapped, boxed, crated, or otherwise protected from damage and stored until needed. Storage on-site shall be at the discretion of the Owner. Clean and repair salvaged material as necessary prior to installation.
3. All areas of demolition shall be left from clean at the end of each day and upon completion.
4. During the removal of any environmentally hazardous materials, environmental protection guidelines shall be strictly followed as required by codes or local governing authority.
5. All existing construction items that interfere with the construction per the Construction Documents shall be removed, relocated, or capped flush in the ceiling, wall, or floor as required.
6. Electrical demolition shall include the removal of all receptacles, switches, and data outlets/devices in walls scheduled for demolition. Maintain circuit continuity to remaining devices. Re-use all abandoned circuits where possible.
7. All damaged areas shall be patched as required and finished to match existing adjacent areas or as specified.
8. Refer to Roof Framing Plan for extent of roof framing to be removed.
9. Dimensions shown are for reference only. Contractor shall verify and coordinate all areas of demolition with Floor Plan prior to demolition.
10. Verify rough openings required with door/window manufacturer prior to demolition or existing window removal.
11. Areas of demolition shall be separated from existing areas to remain as required to prevent the migration of dust and debris to other areas of the residence and yard.
12. Exterior walls removed or opened during demolition shall be sealed or otherwise secured each day.
13. Utilities exposed during demolition shall be removed and capped off as close to their origin as possible.

**DEMOLITION LEGEND**

- EXISTING WALL TO REMAIN
- EXISTING DOOR TO REMAIN
- EXISTING WINDOW TO REMAIN
- - - - EXISTING WALL TO BE REMOVED
- - - - EXISTING DOOR TO BE REMOVED
- - - - EXISTING WINDOW TO BE REMOVED



**DEMOLITION FLOOR PLAN**

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A.P.N.: 062-024-240  
PERMIT No.: PLN2022-

**Hodges Residence  
REMODEL and ADDITION**

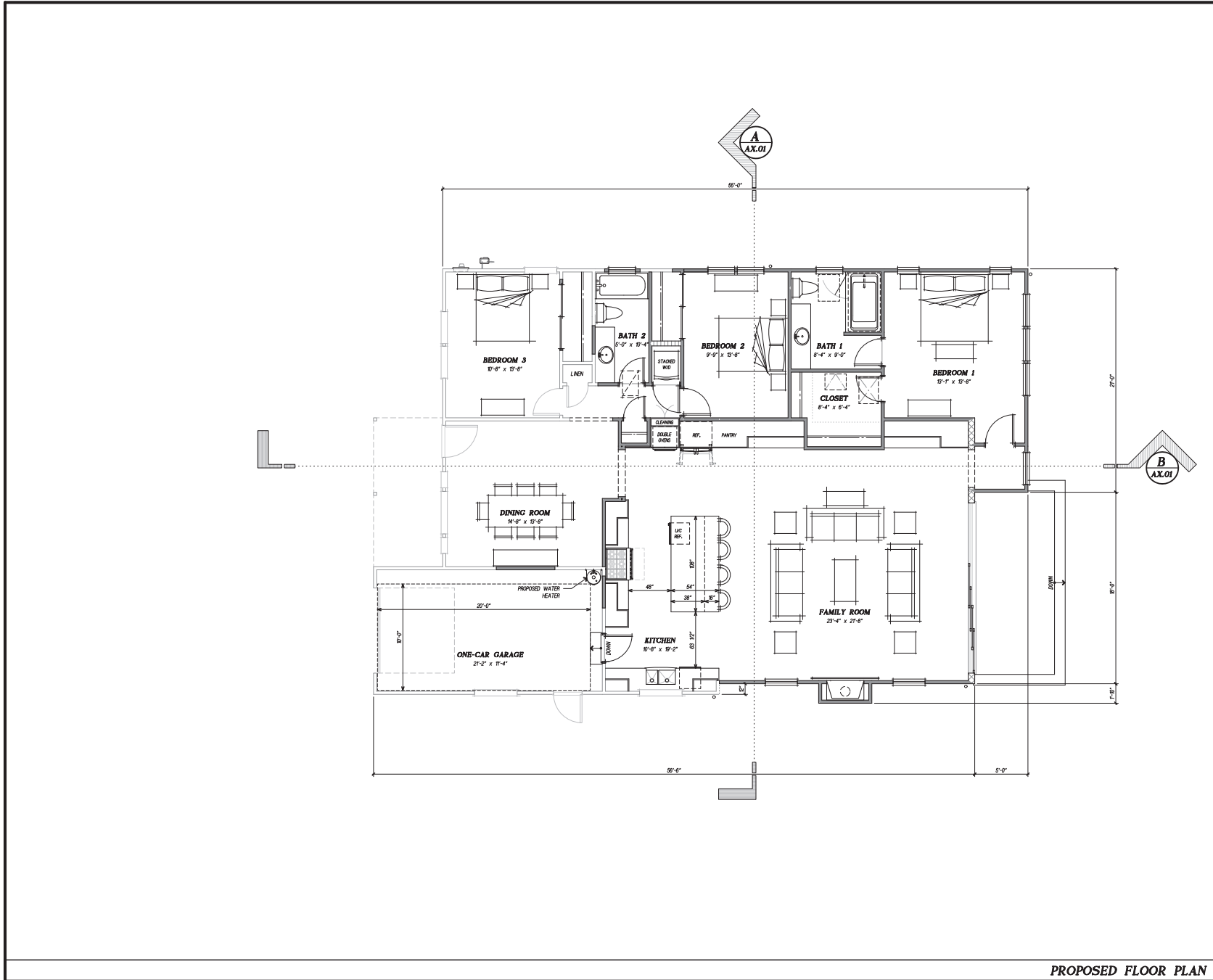
RE: DATE:  
DFR 05/18/2022

SCALE: 1/4" = 1'-0"

FILE: hodges-b.dwg

PLAN:

**Demolition  
Floor  
Plan**  
AP.01



PROPOSED FLOOR PLAN

**KEYNOTES**

NOTE:  
THE NON-CONFORMING WALLS OF THE EXISTING RESIDENCE CANNOT BE REBUILT IF DEVELOPED PAST THEIR FRAMING MEMBERS.

**PLAN LEGEND**

- REFRIGERATOR - PROVIDE WATER VALVE IN RECESSED VALVE BOX
- UNDERCOUNTER DISHWASHER
- DOUBLE BOWL KITCHEN SINK WITH 1/2 HP GARBAGE DISPOSER
- RANGE HOOD WITH VENT HOOD EXHAUST FAN AND LIGHT FIXTURE
- HVAC UNIT IN ATTIC (UPPER LEVEL)
- AIR CONDITIONING OR HEAT PUMP CONDENSER ON CONCRETE PAD
- 50 GALLON GAS WATER HEATER WITH SEISMIC ANCHORING AND PIP INSULATION TEMPERATURE/PRESSURE RELIEF DAYLIGHT DRAIN TO EXTERIOR NEAR GRADE
- LAUVATORY WITH WATER SAVING FAUCET (2.2 GPM MAXIMUM)
- TOILET WITH 1.28 GALLON FLUSH MAXIMUM LABEL TO REMAIN FOR INSPECTION
- WASHING MACHINE (OPTIONAL) - PROVIDE WATER AND WASTE IN RECESSED BOX
- DRYER (OPTIONAL) - PROVIDE 4" VENT (SALVANCED TO EXTERIOR - 1" MAX.)
- HOSE BIB WITH NON-REMOVABLE BACK FLOW PREVENTION DEVICE
- DIRECT VENT GAS APPLIANCE - PROVIDE K30 NUMBER FOR APPROVAL
- TOILET PAPER HOLDER WITH BLOCKING TOWEL BAR WITH BLOCKING IN WALL
- SHELF AND POLE

**SYMBOL LEGEND**

- 2x4 STUDS AT 16" ON CENTER WITH 3 1/2" THERMAL BATT INSULATION WITH VAPOR BARRIER AT EXTERIOR WALLS
- 2x6 STUDS AT 16" ON CENTER WITH 5 1/2" THERMAL BATT INSULATION WITH VAPOR BARRIER AT EXTERIOR WALLS
- 2x8 STUDS AT 16" ON CENTER WITH 5 1/2" BARRIERS THERMAL BATT INSULATION WITH VAPOR BARRIER AT EXTERIOR WALLS
- 3/2" x 2x2 FLURRING - 2x4 FLAT FRAME STUDS AT 16" ON CENTER
- INTERIOR SOFFIT (CROSSHATCHED) REFER TO KEYNOTE FOR HEIGHT
- EXTERIOR SOFFIT (CROSSHATCHED) REFER TO EXTERIOR ELEVATIONS FOR HEIGHT
- LINE OF FLOOR ABOVE (DASHED) Lower Floor
- LINE OF FLOOR BELOW (DASHED) Upper Floor
- DOOR MARK - REFER TO DOOR SCHEDULE
- WINDOW MARK - REFER TO WINDOW SCHEDULE



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**SCHWANKE**  
ARCHITECTURE



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MENDOTA, CALIFORNIA 94025  
A.P.N.: 062-024-240  
PERMIT No.: PLN0022-

**Hodges Residence**  
REMODEL and ADDITION

| RE:  | DATE:      |
|------|------------|
| DFR  | 05/18/2022 |
| PLNG | 06/24/2022 |
| PLNG | 07/18/2022 |

SCALE: 1/4" = 1'-0"

FILE: h00208-1.dwg

PLAN:

**Proposed Floor Plan**  
AP.02

**ATTIC VENTILATION CALCULATIONS**

ATTIC VENTILATION CALCULATIONS PER CALIF. SECTION 90502

**ATTIC VENTILATION REQUIRED:**

| LOCATION | (A)  | (B)  |
|----------|------|------|
| ROOF     | 2251 | 2161 |

**WHERE:**

- (A) AREA OF ATTIC (SQUARE FEET)
- (B)  $\frac{1}{300000} \times$  AREA OF VENTILATION REQUIRED (SQUARE FEET)

**ATTIC VENTILATION PROVIDED:**

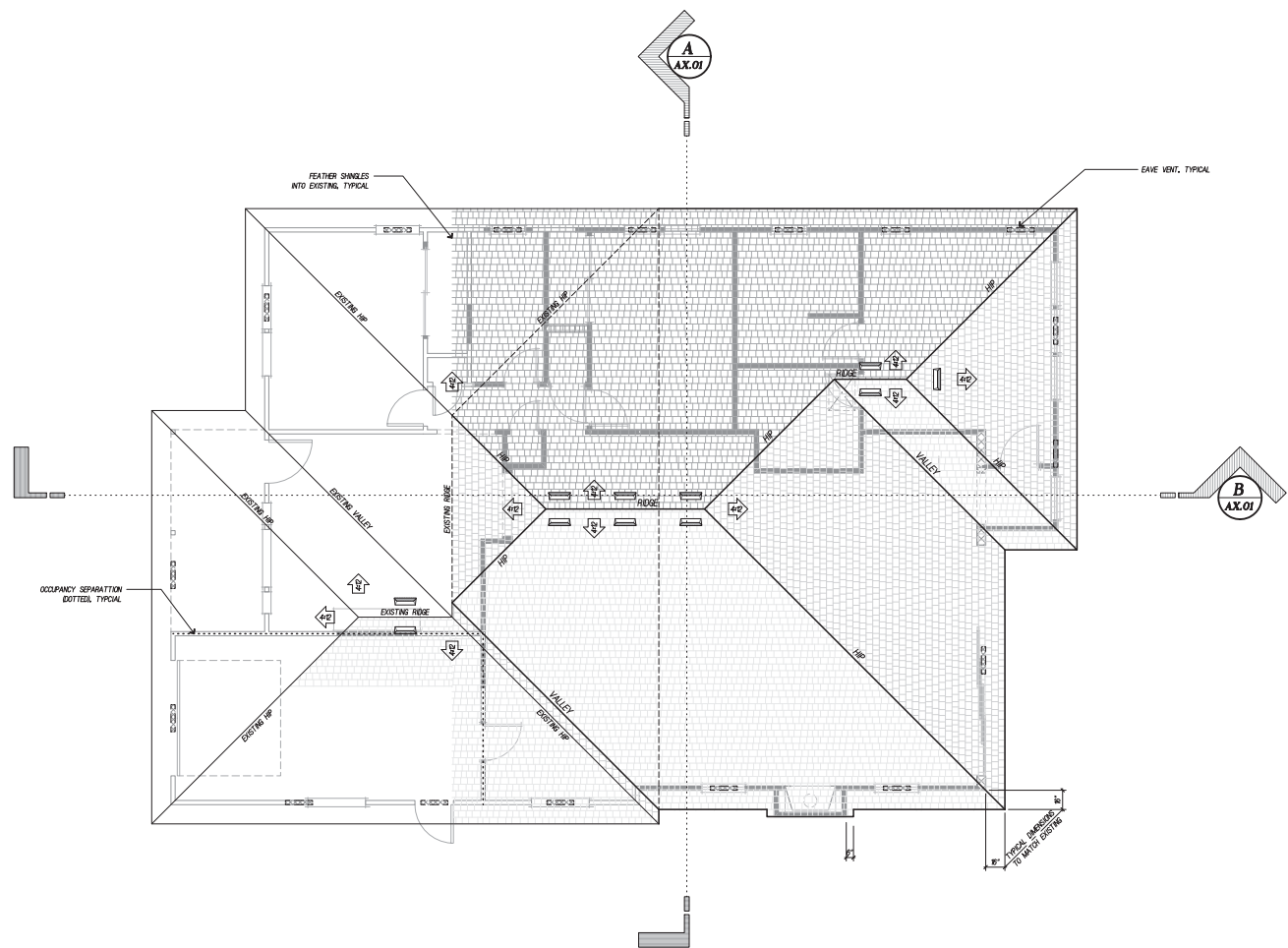
| (A)  | (B)         | (C) | (D)       |
|------|-------------|-----|-----------|
| ROOF |             |     | 2205 S.F. |
| T1   | low-profile | 100 | 1000      |
| T7   | gave        | 65  | 1050      |

**WHERE:**

- (A) NUMBER OF VENTS
- (B) TYPE OF VENT - REFER TO NOTES BELOW
- (C) NET FREE AREA OF EACH VENT
- (D) TOTAL NET FREE AREA (A $\times$ C)  $\div$  SQUARE FEET

**NOTES:**

- A. ALL VENT OPENINGS SHALL BE COVERED WITH CORROSION-RESISTANT GALVANNEED METAL MESH WITH MESH OPENINGS OF NOT MORE THAN 1/4" DIA. IN CIRCULAR.
- B. COORDINATE VENT LOCATIONS AND OPENINGS WITH FRAMING/ROOF INSTALLATION.
- C. PROVIDE VAPOR BARRIER AT WARM SIDE OF ATTIC INSULATION VAPOR BARRIER SHALL NOT EXCEED 1 perm.
- D. LOW-PROFILE VENT SHALL BE "4"x3" SHIM MESH MESH" MESH 1/32"x1/32" (100 S.F. NET A.F.) or "1/2"x4" (60 S.F. NET A.F.)
- E. GAVE VENT SHALL BE "4"x3" SHIM MESH MESH" MESH 1/32"x1/32" (65 S.F. NET FREE AREA EACH)



**KEYNOTES**

NOTE:  
THE NON-CONFORMING WALLS OF THE EXISTING RESIDENCE CANNOT BE REBUILT IF DEVELOPED PAST THEIR FRAMING MEMBERS.

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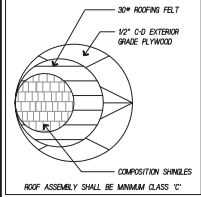
**SCHWANKE**  
ARCHITECTURE



1152 BERKELEY AVENUE  
MENLO PARK  
CALIFORNIA 94025  
A.P.N.: 062-024-240  
PERMIT No.: PLN2022-

**Hodges Residence**  
REMODEL and ADDITION

**ROOF ASSEMBLY**

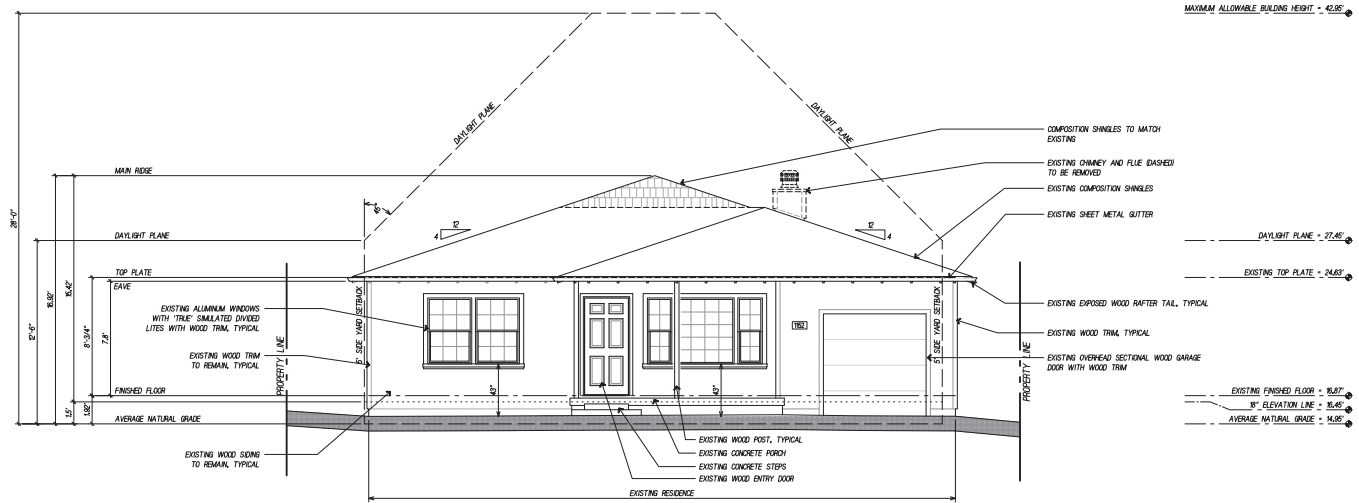


**ROOF PLAN**

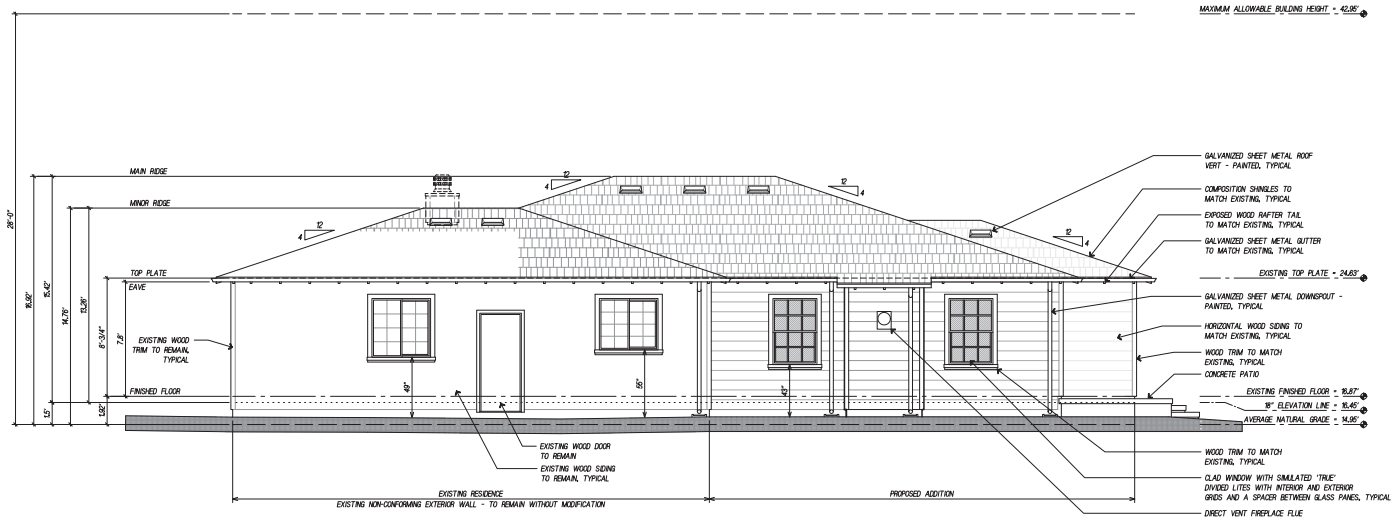
|     |            |
|-----|------------|
| RE: | DATE:      |
| DFR | 05/18/2022 |

SCALE: 1/4" = 1'-0"  
FILE: r00208-r.dwg  
PLAN:

**Roof Plan**  
AR.01



FRONT (west) EXTERIOR ELEVATION



RIGHT SIDE (south) EXTERIOR ELEVATION

NOTE:  
ALL WINDOWS SHALL BE SIMULATED "TRUE" DIVIDED LITES WITH INTERIOR AND EXTERIOR GRIDS AND A SPACER BAR BETWEEN THE GLASS PANE.

NOTE:  
THE NON-CONFORMING WALLS OF THE EXISTING RESIDENCE CANNOT BE REBUILT IF DEMOLISHED PAST THEIR FRAMING MEMBERS.

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A.P.N.: 062-024-240  
PERMIT No.: PL20022-

**Hodges Residence**  
REMODEL and ADDITION

| REV  | DATE       |
|------|------------|
| DFR  | 05/18/2022 |
| PLNG | 06/24/2022 |
| PLNG | 07/18/2022 |

SCALE: 1/4" = 1'-0"  
FILE: hodges-01.d  
PLAN:

Exterior Elevations  
AE.01

MAXIMUM ALLOWABLE BUILDING HEIGHT = 42'-0"

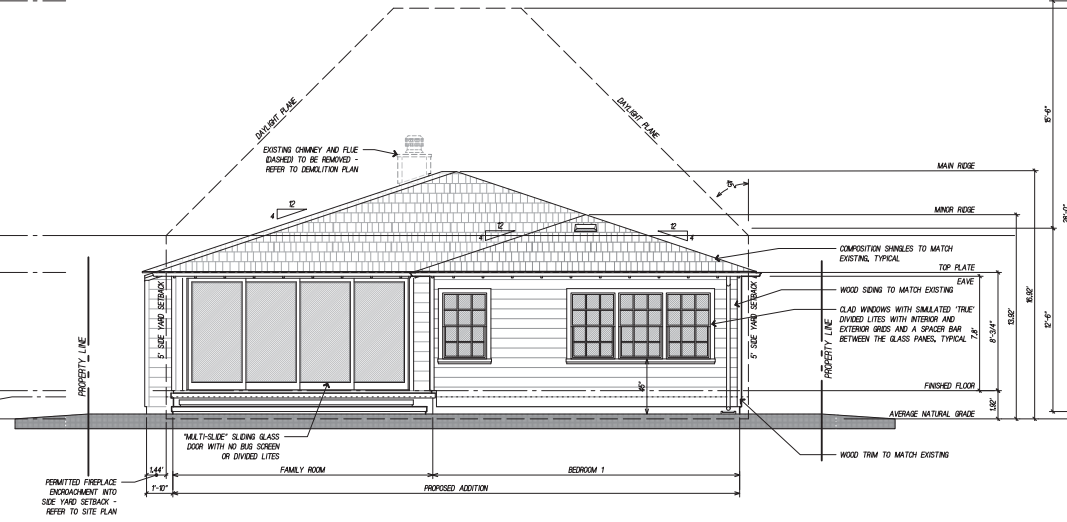
DAYLIGHT PLANE = 27'-6"

EXISTING TOP PLATE = 24'-8"

EXISTING FINISHED FLOOR = 15'-8"

1" ELEVATION LINE = 16'-4"

AVERAGE NATURAL GRADE = 14'-8"



NOTE:  
ALL WINDOWS SHALL BE SIMULATED 'TRUE' DIVIDED LITES WITH INTERIOR AND EXTERIOR GRIDS AND A SPACER BAR BETWEEN THE GLASS PANE.

REAR (east) EXTERIOR ELEVATION

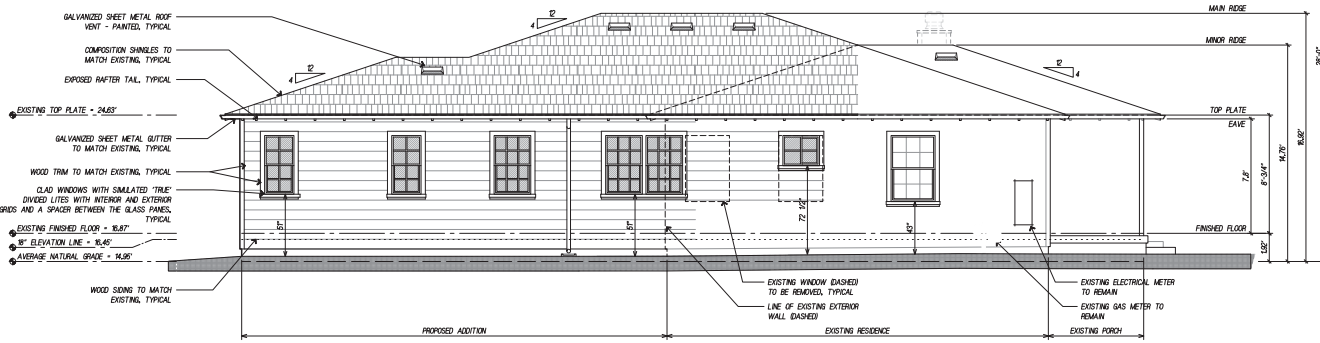
MAXIMUM ALLOWABLE BUILDING HEIGHT = 42'-0"

EXISTING TOP PLATE = 24'-8"

EXISTING FINISHED FLOOR = 15'-8"

1" ELEVATION LINE = 16'-4"

AVERAGE NATURAL GRADE = 14'-8"



NOTE:  
THE NON-CONFORMING WALLS OF THE EXISTING RESIDENCE CANNOT BE REBUILT IF DEMOLISHED PAST THEIR FRAMING MEMBERS.

LEFT SIDE (north) EXTERIOR ELEVATION



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**SCHWANKE**  
ARCHITECTURE



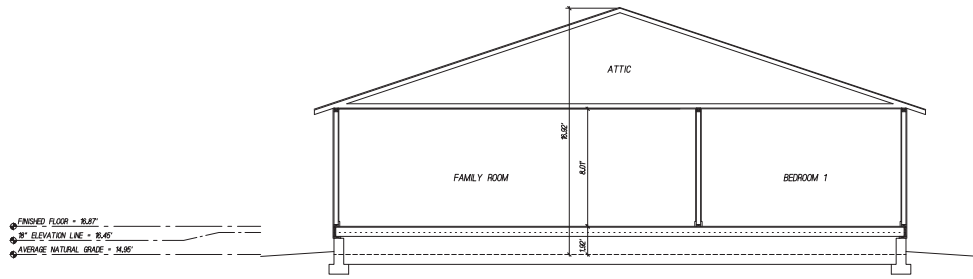
1162 BERKELEY AVENUE  
MENLO PARK, CALIFORNIA 94025  
A.P.N.: 062-024-240  
PERMIT No.: PLN0022-

**Hodges Residence**  
REMODEL and ADDITION

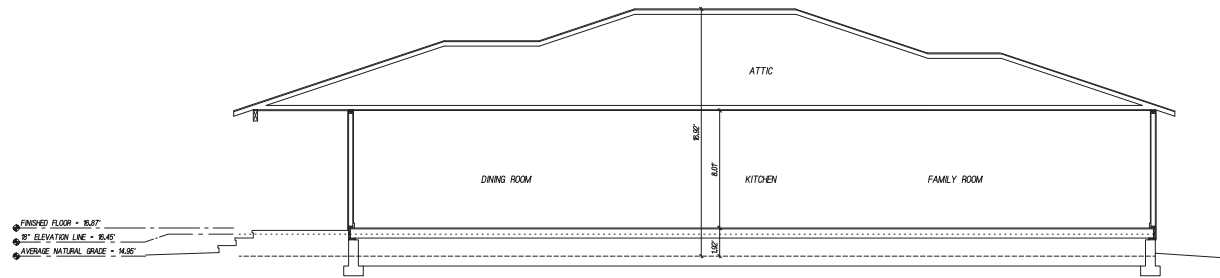
| REV  | DATE       |
|------|------------|
| DFR  | 05/18/2022 |
| PLNG | 06/24/2022 |
| PLNG | 07/18/2022 |

SCALE: 1/4" = 1'-0"  
FILE: /hdges-01.dwg  
PLAN:

AE.02



BUILDING SECTION 'A'



BUILDING SECTION 'B'



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**SCHWANKE**  
 ARCHITECTURE



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 MENLO PARK CALIFORNIA 94025  
 A.P.N.: 062-024-240  
 PERMIT No.: PLN2022-

**Hodges Residence**  
 REMODEL and ADDITION

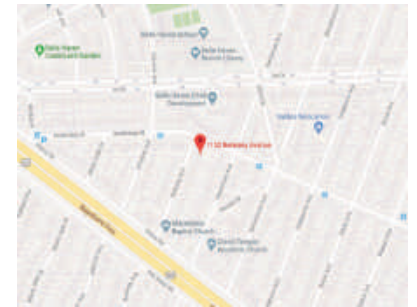
| REV | DATE       |
|-----|------------|
| 01  | 05/18/2022 |
| 02  | 06/24/2022 |

SCALE: 1/4" = 1'-0"  
 FILE: hodges-06.dwg

PLAN:  
**Building Section 'A'**

AX.01

VICINITY MAP



SURVEYOR'S STATEMENT

I CERTIFY THIS PARCEL'S BOUNDARY WAS ESTABLISHED BY ME OR UNDER MY SUPERVISION AND IS BASED ON A FIELD SURVEY IN CONFORMANCE WITH THE LAND SURVEYOR'S ACT. ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED AND ARE SUFFICIENT TO ENABLE THE LAND TO BE RETRAINED.

*Ryan A. Mix*  
RYAN A. MIX



June 27, 2019  
DATE

NOTES:

1. ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMALS THEREOF.
2. THE GROSS AREA OF LAND OF RECORD IS 5,750 SQ. FT. ±.
3. THE SURVEY WAS BASED ON A GRANT DEED DOC # 2003-232430 BY FIRST AMERICAN TITLE CO. DATED 08/18/2003, RECORDED IN SANTA CLARA COUNTY.
4. ALL EXISTING BUILDINGS ARE WOOD.
5. FOR PRECISE SPECIES OF TREES A CERTIFIED ARBORIST SHALL BE CONSULTED.

DISCLAIMER:

SMP ENGINEERS OR ITS OFFICERS OR AGENTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ELECTRONIC COPIES OF THIS PLAN.

NOTE:

THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY. UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL TUSA (1-800-642-2444). SURFACE FEATURES ARE LOCATED BY MEANS OF A STATION AND OFFSET FROM THE CONTROL LINE.

BASIS OF BEARINGS:

THE BEARING N 67°50'00" E OF CENTERLINE OF NEWBRIDGE ST., AS SHOWN ON THAT CERTAIN RECORD MAP, RECORDED IN BOOK 17 OF MAPS, AT PAGE 30, COUNTY OF SAN MATEO RECORDS, WAS USED AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

PROJECT BENCHMARK:

CITY OF MENLO PARK BENCHMARK BM #6 ELEVATION=31.14' (NAVD 88 DATUM)

SITE BENCHMARK:

SURVEY CONTROL SET MAG NAL ELEVATION=15.65' (NAVD 88 DATUM)

LEGEND:

- PROPERTY LINE
- - - EXISTING LOTS
- CENTERLINE
- EASEMENT LINE
- - - SANITARY SEWER LINE
- - - STORM DRAIN LINE
- - - OVERHEAD POWER LINE
- WOOD FENCE
- WATER VALVE
- POWER POLE
- FIRE HYDRANT
- SURVEY MONUMENT

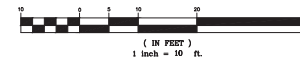
ABBREVIATIONS:

- AC ASPHALT
- AD AREA DRAIN
- ANC ANCHOR
- C&G CURB AND GUTTER
- DW DRIVEWAY
- EB ELECTRIC BOX
- EP EDGE OF PAVEMENT
- FH FIRE HYDRANT
- GM GAS METER
- GV GAS VALVE
- P.U.E. PUBLIC UTILITY EASEMENT
- PP POWER POLE
- S.D.E. STORM DRAINAGE EASEMENT
- SDM STORM DRAINAGE MANHOLE
- SSMH SANITARY SEWER MANHOLE
- CO CLEAN OUT
- VG VALLEY GUTTER
- WM WATER METER



SCALE 1" = 10'

GRAPHIC SCALE



"BASIS OF BEARING"  
S67° 55' 00"E  
280.00

NEWBRIDGE ST.  
(R/W 60')

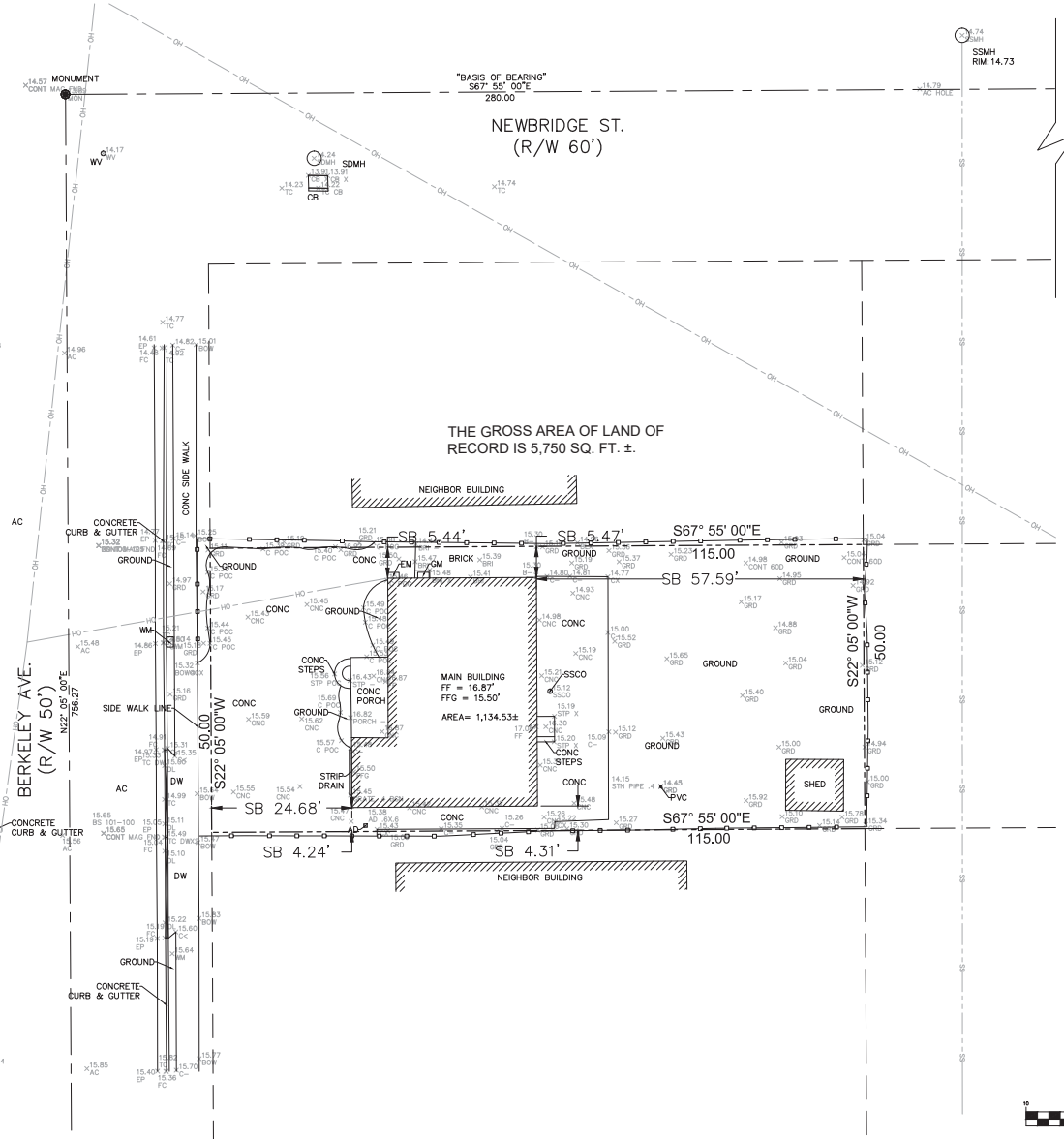
THE GROSS AREA OF LAND OF RECORD IS 5,750 SQ. FT. ±.

NEIGHBOR BUILDING

MAIN BUILDING  
FF = 16.87'  
FFG = 15.50'  
AREA = 1,134.53±

SHED

NEIGHBOR BUILDING



1152 BERKELEY AVE.  
MENLO PARK, CA  
APN: 062-024-240



**SMP ENGINEERS**  
CIVIL ENGINEERS—LAND SURVEYORS  
1534 Carob Lane Los Altos, CA 94024  
Tel. (650) 941-8055 Fax (650) 941-8755

Scale: 1" = 10'  
Prepared by:  
Checked by:  
Date: 5/6/2019  
Project No: 219057



BOUNDARY & TOPOGRAPHIC SURVEY MAP

Sheet No:

T-1

| REVISIONS | DESIGN BY | DESIGN DATE | CITY APPR. | APPR. DATE |
|-----------|-----------|-------------|------------|------------|
|           |           |             |            |            |
|           |           |             |            |            |

CITY OF MENLO PARK



75 ARBOR ROAD  
 MENLO PARK,  
 CALIFORNIA 94025  
 650 321-4348  
 FAX 650 321-0589

July 14, 2022

## Hodges Residence 1152 Berkeley Avenue

### Project Description

This is an existing single-story single-family residence in the Belle Haven neighborhood of Menlo Park on an existing non-conforming lot. The width of the lot and area of the lot do not meet the current minimum for the R-1-U zone. Additionally, the existing right (south) exterior wall encroaches on the required side yard.

#### *Purpose of the Proposal:*

This property has a previously attempted use permit submittal that was deemed incomplete and insufficient – this submittal corrects the previous deficiencies. This submittal involves a major single-story addition to the rear of the existing residence. It has a very minor physical or visual impact on the front of the residence.



#### *Scope of Work:*

The scope of the work involves the removal of the existing rear wall of the Kitchen/Bedroom, creating a new foundation for the addition and adding a Family Room and enlarged Bedroom and Bath 1. The addition will be in a style similar to the existing residence.

#### *Architectural Style:*

The existing residence is a post-war bungalow with National Folk House principles and Craftsman style influences common in the Belle Haven neighborhood. This style is identified by the use of “traditional” materials including: painted horizontal wood siding, painted wood windows with divided lights, and a shallow hip roof. It is the intent of this proposal to use the same elements and materials as the original. There will be no change to the existing style of the house or impact on the existing character of the surrounding neighborhood.

#### *Existing and Proposed Uses:*

The use of this dwelling will remain unchanged as a single-family residence.

## Project Description – cont.

### *Existing Front Yard Context (provided in response to inquiry by Planner):*

The paved area in the front yard is existing, is not proposed to be modified in any way, and is not within the scope of the Work proposed in this application. Whether or not vehicles may, or may not, be parked on the existing paving is not an issue for this application. The existing single-car garage is the only parking provided on-site and is noted as such. Furthermore, information provided (via email correspondence) from the Planning Department has verified that the existing single-car garage is the only parking space required for this application.

### *Neighborhood Outreach:*

The attached neighbor outreach letter was hand-delivered to the occupants of the following addresses on Berkely Avenue: 1144, 1145, 1148, and 1149; also to 250 Newbridge Street; and to 1149 Henderson Street on June 22, 2022. The letter was also mailed on the same day to the owner of 1148 Berkeley Avenue, as the residence is non-owner occupied.

With the letter explaining the project, drawings of the proposed addition were included for them to review and, if they so desired, to comment on. The recipients were given a prepared, but blank, response letter addressed to the City Planner as well as self-addressed envelopes. Since responses, if any, were directed to the City, they are not include herein. However, verbal feed-back from the neighbors has been supportive with no negative comments or requests to modify the design in any way.

Contacted properties identified by star:



End

Attachment

Dear Neighbor,

We have recently decided to remodel and add on to our home.

As a part of the planning approval process, we are asked by the City to reach out to our immediate neighbors and allow them the opportunity to review the drawings and provide them with any comments they may have about the design. The drawings attached to this letter are to help you understand the extent of the proposed changes we are planning to make to our home in the near future. Ultimately, we'd like to ask for your support of the project and to relate that support to the Planning Department.

To this end, we have attached to this letter several drawings prepared by our architect that we'd like you to take a look at. If there are no concerns, also attached is a form letter addressed to the planner for you to show your support. However, if you do have comments, there is space on the letter to provide those as well.

Please know that we are doing what we can to address everyone's concerns and to design the most appropriate home for our family and neighborhood. If you have any questions, please don't hesitate to contact us.

Best regards,

Anna and Tiere Hodges  
1152 Berkeley Avenue  
[tierespace@yahoo.com](mailto:tierespace@yahoo.com)  
[hmnberd@gmail.com](mailto:hmnberd@gmail.com)

P.s.: We've included an outline response letter and stamped, self-addressed envelope for your use in providing comments to the assigned City planner.

Duplicate - original delivered to neighbors on June 22.

RECEIVED

AUG 16 2022

CITY OF MENLO PARK  
PLANNING DIVISION

Mr. Matthew Pruter Associate  
Planner  
City of Menlo Park  
Community Development  
701 Laurel Street  
Menlo Park, California 94025

Re: Hodges Residence, 1152 Berkeley Avenue (PLN2021-00013) – Use Permit

Mr. Pruter:

We live at 250 Newbridge Street and have reviewed the plans for the Hodges Residence submitted to the Planning Department for the Use Permit Application.

We are generally in support of this project, with the following comments:

I don't understand the tree protection stuff. Are they required to wrap up my trees on my property?

The Hodges are good neighbors and they are responsible neighbors.

Signed Sarah Magnuski Date 8/8/22  
SARAH MAGNUSKI

Mr. Matthew Pruter Associate  
Planner  
**City of Menlo Park**  
*Community Development*  
701 Laurel Street  
Menlo Park, California 94025

RECEIVED  
JUN 30 2022  
CITY OF MENLO PARK  
BUILDING DIVISION

Re: **Hodges Residence, 1152 Berkeley Avenue (PLN2021-00013) – Use Permit**

Mr. Pruter:

We live at 1149 Henderson Ave Menlo Park CA and have reviewed the plans for the Hodges Residence submitted to the Planning Department for the Use Permit Application.

We are generally in support of this project, with the following comments:

No concerns. Thank you for keeping your neighbors in mind.

Signed Herminio Rodriguez Date 6/23/22



RECEIVED

JUN 28 2022

CITY OF MENLO PARK  
BUILDING DIVISION

Mr. Matthew Pruter Associate  
Planner  
City of Menlo Park  
Community Development  
701 Laurel Street  
Menlo Park, California 94025

Re: Hodges Residence, 1152 Berkeley Avenue (PLN2021-00013) – Use Permit

Mr. Pruter:


We live at 1144 Berkeley Ave. MP and have reviewed the plans for the Hodges Residence submitted to the Planning Department for the Use Permit Application.

We are generally in support of this project, with the following comments:

I think that this is a lovely improvement to our neighborhood! I look forward to seeing the permits approve quickly.

I have no concerns regarding the plans and use for residential improvement and add-on/remodel.

Most Sincerely,  
The Gertz Family

Signed Impryane Gertz, MSE, PhD Date 6/23/2022  


RECEIVED

JUL 12 2022

CITY OF MENLO PARK  
PLANNING DIVISION

Mr. Matthew Pruter Associate  
Planner  
**City of Menlo Park**  
*Community Development*  
701 Laurel Street  
Menlo Park, California 94025

Re: **Hodges Residence, 1152 Berkeley Avenue (PLN2021-00013) – Use Permit**

Mr. Pruter:

We live at 1148 Berkeley Avenue, Menlo Park, CA and have reviewed the plans for the Hodges Residence submitted to the Planning Department for the Use Permit Application.

We are generally in support of this project, with the following comments:

Signed Deborah Smith Date July 7, 2022



RECEIVED

JUL 12 2022

CITY OF MENLO PARK  
PLANNING DIVISION

Mr. Matthew Pruter Associate  
Planner  
**City of Menlo Park**  
*Community Development*  
701 Laurel Street  
Menlo Park, California 94025

Re: **Hodges Residence, 1152 Berkeley Avenue (PLN2021-00013) – Use Permit**

Mr. Pruter:

We live at 1145 BERKELEY AVE MP and have reviewed the plans for the Hodges Residence submitted to the Planning Department for the Use Permit Application.

We are generally in support of this project, with the following comments:

Signed Jeffrey Branzell Date 7/6/22