



## REGULAR MEETING AGENDA

**Date:** 9/9/2024  
**Time:** 7:00 p.m.  
**Location:** Zoom.us/join – ID# 858 7073 1001 and  
City Council Chambers  
751 Laurel St., Menlo Park, CA 94025

Members of the public can listen to the meeting and participate using the following methods.

### How to participate in the meeting

- Access the live meeting, in-person, at the City Council Chambers
- Access the meeting real-time online at:  
[zoom.us/join](https://zoom.us/join) – Meeting ID# 858 7073 1001
- Access the meeting real-time via telephone (listen only mode) at:  
(669) 900-6833  
Regular Meeting ID # 858 7073 1001  
Press \*9 to raise hand to speak
- Submit a written comment online up to 1-hour before the meeting start time:  
[planning.commission@menlopark.gov](mailto:planning.commission@menlopark.gov)\*  
Please include the agenda item number related to your comment.

\*Written comments are accepted up to 1 hour before the meeting start time. Written messages are provided to the Planning Commission at the appropriate time in their meeting.

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## Regular Meeting

### A. Call To Order

### B. Roll Call

### C. Reports and Announcements

### D. Public Comment

Under “Public Comment,” the public may address the Commission on any subject not listed on the agenda. Each speaker may address the Commission once under public comment for a limit of three minutes. You are not required to provide your name or City of residence, but it is helpful. The Commission cannot act on items not listed on the agenda and, therefore, the Commission cannot respond to non-agenda issues brought up under Public Comment other than to provide general information.

### E. Consent Calendar

- E.1 Approval of minutes from the August 12, 2024 Planning Commission meeting ([Attachment](#))

### F. Public Hearing

- F1. Use Permit/Ali Zadeh/734-736 Partridge Ave.:  
Consider and adopt a resolution to approve a use permit to demolish an existing one-story duplex and construct two new two-story, single-family residences and one detached garage on a substandard lot with regard to minimum lot width in the R-2 (Low Density Apartment) district. Each proposed residence includes an attached accessory dwelling unit (ADU), which is a permitted use and not subject to discretionary review. The project also includes one development-related heritage tree removal which was reviewed and conditionally approved by the City Arborist; determine this action is categorically exempt under CEQA Guidelines Section 15303’s Class 3 exemption for new construction or conversion of small structures. ([Staff Report #24-038-PC](#))

### G. Informational Items

- G1. Future Planning Commission Meeting Schedule – The upcoming Planning Commission meetings are listed here, for reference. No action will be taken on the meeting schedule, although individual Commissioners may notify staff of planned absences.
- Regular Meeting: September 23, 2024
  - Regular Meeting: October 7, 2024

### H. Adjournment

At every regular meeting of the Planning Commission, in addition to the public comment period where the public shall have the right to address the Planning Commission on any matters of public interest not listed on the agenda, members of the public have the right to directly address the

Planning Commission on any item listed on the agenda at a time designated by the chair, either before or during the Planning Commission's consideration of the item.

At every special meeting of the Planning Commission, members of the public have the right to directly address the Planning Commission on any item listed on the agenda at a time designated by the chair, either before or during consideration of the item. For appeal hearings, appellant and applicant shall each have 10 minutes for presentations.

If you challenge any of the items listed on this agenda in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the City of Menlo Park at, or before, the public hearing.

Any writing that is distributed to a majority of the Planning Commission by any person in connection with an agenda item is a public record (subject to any exemption under the Public Records Act) and is available by request by emailing the city clerk at [jaherren@menlopark.gov](mailto:jaherren@menlopark.gov). Persons with disabilities, who require auxiliary aids or services in attending or participating in Planning Commission meetings, may call the City Clerk's Office at 650-330-6620.

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**REGULAR MEETING DRAFT MINUTES**

**Date:** 8/12/2024  
**Time:** 7:00 p.m.  
**Location:** Zoom.us/join – ID# 858 7073 1001 and  
City Council Chambers  
751 Laurel St., Menlo Park, CA 94025

**A. Call To Order**

Chair Jennifer Schindler called the meeting to order at 7:02 p.m.

**B. Roll Call**

Present: Jennifer Schindler (Chair), Andrew Ehrich (Vice Chair), Katie Behroozi, Katie Ferrick, Misha Silin

Absent: Ross Silverstein

Staff: Kyle Perata, Assistant Community Development Director; Matt Pruter, Associate Planner; Corinna Sandmeier, Principal Planner

**C. Reports and Announcements**

Assistant Community Development Director Kyle Perata announced that the Environmental Justice and Safety Elements review and recommendation by the Planning Commission was scheduled for the August 26, 2024 meeting agenda. He said the meeting would be held at the Belle Haven Community Campus.

**D. Public Comment**

None

**E. Consent Calendar**

Chair Schindler pulled items E.1 and E.2 from the consent calendar.

The Planning Commission voted first on the consent calendar consisting of Item E.3.

E1. Approval of minutes and court reporter transcript from the July 22, 2024 Planning Commission meeting. ([Attachment](#))

Chair Schindler noted a modification she recommended to staff for clarification which staff presented visually to modify page 9 of the minutes for July 22, 2024 within Mr. Murray’s response about public use of amenities to read: “He said the much smaller area originally proposed as a freestanding building was now proposed to be in the podium of the affordable housing Residential 3 building.”

Chair Schindler opened public comment and closed public comment as no persons requested to



speak.

**ACTION:** Motion and second (Ehrich/Do) to approve the minutes and court reporter transcript from the July 22, 2024 Planning Commission meeting with the modification specified; passes 5-0 with Commissioner Behroozi abstaining and Commissioner Silverstein absent.

- E2. **Artwork Lighting Review/Christopher Baxter/2 Meta Way:**  
Consider and adopt a resolution to approve the lighting design of the façade-mounted artwork associated with the existing citizenM hotel located on the Meta West Campus in the O (Office) zoning district. The artwork is located on the northwest elevation of the building, facing Chilco Street, adjacent to an exterior red staircase, and the lighting would consist of two fixtures, directly above and beneath the artwork, to avoid light spillover; determine this action is categorically exempt under CEQA Guidelines Section 15301's Class 1 exemption for existing facilities. Per condition 15.2.1 of the conditional development permit for the site, Planning Commission review is required for the lighting specifications for the artwork. ([Staff Report #24-032-PC](#))

Planner Pruter said a comment letter was received over the weekend that was shared with the applicant and Planning Commission; and that the project description letter was updated as a result of the comment letter.

Naomi Maki, representing CitizenM Hotels, spoke on behalf of the item, and said Christopher Baxter, project architect, was available online for questions.

Chair Schindler opened public comment.

Public Comment:

- Eileen McLaughlin, Citizens' Committee to Complete the Refuge, expressed appreciation to the City, its Planning Commission and the CitizenM applicant team for working to address the concerns of lighting impacts to wildlife in the area. She requested the Commission approve the most recent lighting changes to the artwork for the project.

**ACTION:** Motion and second (Silin/Ferrick) to adopt a resolution approving the artwork lighting for 2 Meta Way as presented; passes 6-0 with Commissioner Silverstein absent.

- E3. **Architectural Control/Daniel Cunningham/2882-2884 Sand Hill Rd.:**  
Consider and adopt a resolution to approve architectural control for modifications to an existing office campus including hardscaping and landscaping modifications and the addition of two outdoor shade structures and exterior office building modifications in the C-1-C (Administrative, Professional and Research District, Restrictive) zoning district. The project includes five development-related heritage tree removals which were reviewed and conditionally approved by the City Arborist; determine this action is categorically exempt under CEQA Guidelines Section 15301's Class 1 exemption for existing facilities and Section 15303's Class 3 exemption for new construction or : conversion of small structures ([Staff Report #24-033-PC](#))

Chair Schindler opened public comment and closed public comment as no persons requested to speak.

**ACTION:** Motion and second (Do/Ehrich) to approve the consent calendar consisting of adopting a

resolution approving architectural control for 2882-2884 Sand Hill Road as submitted; passes 6-0 with Commissioner Silverstein absent.

## **F. Public Hearing**

### **F1. Use Permit/Hong Wei/595 Hobart St.:**

Consider and adopt a resolution to approve a use permit to demolish an existing single-story, single-family residence and construct a new two-story, single-family residence with a basement on a substandard lot with regard to minimum lot width in the R-1-S (Single Family Suburban Residential) zoning district, determine this action is categorically exempt under CEQA Guidelines Section 15303's Class 3 exemption for new construction or conversion of small structures. The proposal also includes a detached accessory dwelling unit (ADU) and associated heritage tree removals which are permitted and not subject to discretionary review. ([Staff Report #24-034-PC](#))

Planner Sandmeier said staff had no updates to the project.

Chair Schindler opened the public hearing and closed the public hearing as no persons requested to speak.

Mark Godby, project architect, spoke on behalf of the project.

Commission discussion included favorable comments on the integration of the proposed home with the neighborhood, the generous number of replacement trees proposed and the retention of numerous existing mature heritage trees.

**ACTION:** Motion and second (Do/Behroozi) to adopt a resolution approving the use permit for 595 Hobart Street as submitted; passes 6-0 with Commissioner Silverstein absent.

### **F2. Use Permit/Robert Harrison/805 Evergreen St.:**

Consider and adopt a resolution to approve a use permit to demolish an existing two-story, single-family residence and detached accessory structure and construct a new two-story, single-family residence with a basement on a substandard lot with regard to minimum lot width in the R-1-S (Single Family Suburban Residential) zoning district at 805 Evergreen Street; determine this action is categorically exempt under CEQA Guidelines Section 15303's Class 3 exemption for new construction or conversion of small structures. ([Staff Report #24-035-PC](#))

Planner Sandmeier said two emails that the applicant forwarded in support of the project were sent earlier in the day to the Planning Commission and were available for the public this evening.

Kendra Rosenberg, project architect, spoke on behalf of the project.

Chair Schindler opened the public hearing and closed the public hearing as no persons requested to speak.

Commission discussion confirmed that the project would have a landscape plan and landscape screening for neighbors and expressed appreciation for the redesign in response to neighbors' concerns.

**ACTION:** Motion and second (Do/Silin) to adopt a resolution approving a use permit for 805

Evergreen Street; passes 6-0 with Commissioner Silverstein absent.

- F3. Use Permit/Lea Redmond and Samantha Hamlin/1925 Menalto Ave.: Consider and adopt a resolution to approve a use permit to change the use of a tenant suite from a salon to a restaurant within an existing commercial building in the C-MU (Neighborhood Mixed Use) zoning district. The subject property is substandard with regard to the minimum parking requirement in the C-MU zoning district and requires a use permit for a change of use. The proposed project also includes a use permit request for a Type 41 license from the State Department of Alcoholic Beverage Control (ABC) for onsite alcohol service (beer and wine only) associated with a full-service restaurant, and a use permit for outdoor seating in the rear of the property and to allow the outdoor consumption of beer and wine within the outdoor seating. As part of the review, the Planning Commission will need to determine whether the on-sale of alcohol at this location serves a public convenience or necessity, in accordance with the requirements of the Menlo Park Municipal Code; determine this action is categorically exempt under CEQA Guidelines Section 15301's Class 1 exemption for existing facilities. ([Staff Report #24-036-PC](#))

Planner Pruter said staff had no updates to the written report.

Lea Redmond and Samantha Hamlin, applicant team, spoke on behalf of the project.

Chair Schindler opened the public hearing and closed the public hearing as no persons requested to speak.

Commission discussion addressed with the applicants a safety concern raised, which subsequently was clarified did not occur in the applicants' business parking area and expressed support for local neighborhood serving commercial space while suggesting potential consideration of safety barriers for the outdoor dining space.

Commissioner Ferrick moved to approve the item as submitted.

Commissioner Ehrich said for the record (minutes) that he wanted to highlight the high level of support for the project that the staff report section on correspondence outlined and express his support for not requiring more parking. He then seconded Commissioner Ferrick's motion.

ACTION: Motion and second (Ferrick/Ehrich) to adopt a resolution approving the item for 1925 Menalto Avenue as submitted; passes 6-0 with Commissioner Silverstein absent.

## **G. Informational Items**

### **G1. Future Planning Commission Meeting Schedule**

- Regular Meeting: August 26, 2024

Mr. Perata restated that the Environmental Justice and Safety Elements review and recommendation by the Planning Commission would be on the August 26, 2024 meeting agenda and the meeting would be held at the Belle Haven Community Campus.

- Regular Meeting: September 9, 2024

No items confirmed yet for the September 9, 2024 meeting.

## **H. Adjournment**

Chair Schindler adjourned the meeting at 8:16 p.m.

Staff Liaison: Kyle Perata, Assistant Community Development Director

Recording Secretary: Brenda Bennett





## STAFF REPORT

### Planning Commission

Meeting Date:

9/9/2024

Staff Report Number:

24-038-PC

### Public Hearing:

**Consider and adopt a resolution to approve a use permit to demolish an existing one-story duplex and construct two new two-story residences and one detached garage on a substandard lot with regard to minimum lot width in the R-2 (Low Density Apartment) zoning district and determine this action is categorically exempt under CEQA Guidelines Section 15303's Class 3 exemption for new construction or conversion of small structures. The proposal also includes one attached accessory dwelling unit (ADU) for each residence, which are permitted and not subject to discretionary review. As part of the proposal, one heritage oak tree is proposed to be removed.**

### Recommendation

Staff recommends that the Planning Commission adopt a resolution to approve a use permit to demolish an existing one-story duplex and construct two new two-story, single-family residences and a detached side-loading, one-car garage on a substandard lot with respect to lot width in the R-2 (Low Density Apartment) zoning district, at 734-736 Partridge Avenue (Attachment A).

### Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposed project.

### Background

#### *Site location*

The subject property is located at 734-736 Partridge Avenue, in the Allied Arts neighborhood. Using Partridge Avenue in the east-west orientation, the subject property is located on the northern side of Partridge Avenue, between El Camino Real and University Drive. A location map is included as Attachment B.

The property is located in the R-2 district and is developed with a one-story duplex. The properties along the majority of Partridge Avenue adjacent to the subject property are also in the R-2 zoning district and are developed with a mixture of one-story duplexes and two-story, two-unit developments. Residences along Partridge Avenue vary in architectural style, from older, ranch styles to newer craftsman and Spanish revival residences. Properties to the rear of the subject property, along College Avenue, are in the R-1-U (Single Family Urban Residential) zoning district and are developed with a mix of one- and two-story, single-family

homes.

## Analysis

### ***Project description***

The subject site is currently developed with a one-story duplex and a detached two-car garage. The property is substandard with regard to lot width. The applicant is proposing to demolish all existing structures and construct two new two-story, single-family homes and a detached, side-loading, one-car garage on the site. The property is located within one-half mile of a major transit corridor and is therefore subject to the provisions of Assembly Bill 2097 which precludes the City from requiring a minimum parking requirement in this location for both the main units and the ADUs. However, each residence would have one dedicated covered parking space for a total of two off-street parking spaces. Parking for the front house would be provided in the detached garage. One parking space for the rear house would be provided in an attached, front-loading garage. A new driveway would be constructed to access the parking spaces, however, the driveway would be located generally in the same location as the existing driveway and would use a new curb cut similar in width as the existing curb cut. Since the project requires joint trenching for utility connections which would damage the street, the applicant would be required to slurry seal the frontage upon completion of the project (included as condition 2.b). A data table summarizing parcel and project attributes is included as Attachment C. The project plans and the applicant's project description letter are included as Attachment A Exhibits A and B, respectively.

The two residences would vary slightly in design and layout. The front house (Unit #1) would be a four-bedroom, 3.5-bathroom residence and the rear house (Unit #2) would be a three-bedroom, 2.5-bathroom residence with an attached garage. Each residence would have an attached accessory dwelling unit (ADU) located on the first floor. Both residences would also feature covered front porches and rear patios.

Of note with regard to Zoning Ordinance development standards:

- The project would adhere to the R-2 requirements for minimum landscaping with 40.6 percent proposed where 40 percent is required.
- Both houses would be well below the maximum height in the R-2 district with 24.9 feet and 26.5 feet proposed for Units #1 and #2, respectively, where 28 feet is the maximum permitted height.
- The main residences and detached garage would comply with the maximum floor area ratio with 3,499.6 square feet where 3,756 square feet is the maximum permitted. Each residence would have an attached ADU which are each allowed up to an additional 800 square feet of floor area and building coverage under state law. The total square footage of the residences and ADUs would be 5,069.9 square feet.
- The total square footage of second stories would be at the maximum permitted with 1,407.5 square feet proposed where 1,408 square feet is the maximum
- Each unit would have one covered parking space where the project is exempt from providing any parking under AB 2097.

Under state law, a single-family dwelling unit is entitled to an ADU up to 800 square feet, which may exceed the maximum floor area limit. In multi-family districts where two or more single-family dwellings (i.e. detached single-family residences) are proposed, each residence is entitled to an ADU, each of which may exceed the maximum floor area limit or floor area ratio by up to 800 square feet. Since the proposed project is comprised of two detached single-family residences, each is entitled to an ADU of up to 800 square feet, for a total of 1,570.3 square feet of ADU space. The ADUs exceed the maximum floor area limit by 1,313.9 square feet, which is permitted.

### Site layout

The site would be accessed off of Partridge Avenue by a new driveway along the right edge of the property. The new driveway would be in generally the same location as the existing driveway. Unit #1 would be built to the required 20-foot front setback. The attached ADU for Unit #1 would be on the left side of the residence and would have a left side setback of four feet, six inches. There would be a separate exterior entrance on the left side of the ADU which would be accessed by a pathway along the left side property line. The driveway would wrap around Unit #1 and would lead to a detached garage near the center of the property. The driveway is designed as a “Hollywood driveway” and contains a landscape strip in the center of the driveway to reduce the amount of paving on the property. The side-loading garage has been reviewed by the Transportation and Planning Divisions and the configuration demonstrates an adequate turning radius for a car turning into the detached garage. Unit #2 would be constructed behind the detached garage and would be constructed 22 feet, 11 inches from the rear property line. The attached ADU for Unit #2 would be located on the left side of the residence, would extend four feet past the rear of the main residence, and would be accessed from a pathway extending from the driveway and along the left side of the property. The ADU would have a rear setback of 18 feet, 11 inches and a left side setback of four feet, six inches.

### Tentative parcel map

The applicant is also requesting approval of a tentative map for a minor subdivision to create two residential condominium units. The minor subdivision can be reviewed and approved administratively by the Public Works Department, if the Planning Commission approves the use permit request. The tentative parcel map would be subject to separate conditions of approval when the Public Works department acts on the project.

### ***Design and materials***

The new residences would each be designed with a transitional architectural style. Both houses and the detached garage would feature smooth stucco siding, asphalt shingle roofing, and painted fiber cement corbel and fascia. Unit #1 would have a decorative stone veneer on a portion of the front elevation to add visual interest. The windows would have aluminum trim and simulated true divided lites with interior and exterior muntins with spacer bars between the panes. Two windows on the front of Unit #1 and one window on the front of Unit #2 would have arched decorative aluminum paneling above the windows. Both garage doors would have wood finishes, and the front door of each residence would be wood stained a dark brown color to match the garage doors.

All upper floor windows would have minimum sill heights of three feet. The proposed stairwell window for Unit #1 would have a sill height of four feet, seven inches from the stair landing and would face toward the right property line. This window would be set back from the right side property line by 13 feet, six inches where the minimum side setback is five feet. Staff believes that although the stairwell window would have a sill height of less than five feet, the window is adequately set back from the property line to alleviate potential privacy concerns. The stairwell window in Unit #2 would have a sill height of approximately nine feet, two inches, which staff believes is sufficient to alleviate potential privacy concerns.

Massing would be similar to other two-unit, two-story developments on Partridge Avenue. The second-story, step-backs and modulation on the front façade help to break up an otherwise boxy massing design. The front unit also features a decorative wall to provide some variation of the design as seen from the street.

### ***Trees and landscaping***

The applicant has submitted an arborist report (Attachment A Exhibit C) detailing the species, size, and

conditions of the trees on or near the site. The report discusses the impacts of the proposed improvements and provides recommendations for tree maintenance and protection. As part of the project review process, the City Arborist reviewed the report and determined the measures in the report would adequately protect existing trees.

There are five trees located on or adjacent to the property, three of which are heritage trees. Only two of these trees (trees #4H and #5) are located on the subject property. Tree #1 is located in the public right-of-way in front of the property, tree #2H is located on the neighboring property to the right, and tree #3H is a shared tree which straddles the right side property line. Table 1 below details the trees and their proposed disposition.

Table 1: Tree summary and disposition				
Tree number	Species	Size (DBH, in inches)	Disposition	Notes
1*	Southern magnolia	3	Retain	Non-heritage
2H**	Orange	16	Retain	Heritage
3H**	Coast live oak	41	Retain	Heritage
4H	Coast live oak	26.5	Remove	Heritage
5	Crabapple	10	Remove	Non-heritage

\*Denotes street tree

\*\*Denotes neighboring and shared trees

The project site would be landscaped with a mixture of trees and low ground cover. The City arborist approved a heritage tree removal permit to remove one heritage coast live oak tree (Tree #4H). One non-heritage crabapple tree (Tree #5) would also be removed. The applicant would be required to replace the value of the removed heritage tree. The heritage tree replacement plan includes three 36-inch box Saratoga laurel trees, two 36-inch box Catalina ironwood trees, and one 36-inch box Chinese pistache tree. Two of the laurel trees and one of the ironwood trees would be planted along the rear property line. The Chinese pistache and third laurel tree would be planted near the middle of the left and right property lines, respectively, and the second ironwood tree would be planted on the left side near the front of the property. The proposed replacement trees do not fully cover the value of the heritage tree proposed for removal, so the applicant is required to pay an additional \$5,900 in in-lieu fees. Additionally, the Public Works department requires one new 24-inch box Persian ironwood tree to be planted in the City right-of-way in front of the property which would be maintained by the City as a street tree. Planting of the street tree is included as project-specific condition 2.a. To protect the heritage trees to remain all recommended tree protection measures identified in the arborist report would be implemented and ensured as part of standard condition of approval 1.h.

**Correspondence**

Staff has not received any correspondence on the project as of the publication of the staff report.

**Conclusion**

Staff believes that the scale, materials, and style of the proposed residences are compatible with those of the overall neighborhood. The height of the buildings would be limited relative to the R-2 maximums. Step-backs and material variation would vary the perception of massing and add visual interest to the project. Onsite circulation would meet all Transportation Division requirements for covered and uncovered parking. Staff recommends that the Planning Commission approve the use permit for proposed project. Approval of the use permit would allow the Public Works department to administratively act on the tentative parcel map.

### **Impact on City Resources**

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

### **Environmental Review**

The project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.

### **Public Notice**

Public notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

### **Appeal Period**

The Planning Commission action on the use permit will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

### **Attachments**

- A. Draft Planning Commission Resolution approving the use permit
  - Exhibits to Attachment A
  - A. Project Plans
  - B. Project Description letter
  - C. Arborist Report
  - D. Conditions of Approval
- B. Location Map
- C. Data Table

Report prepared by:  
Chris Turner, Senior Planner

Report reviewed by:  
Corinna Sandmeier, Principal Planner

**PLANNING COMMISSION RESOLUTION NO. 2024-XX**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MENLO PARK APPROVING A USE PERMIT TO DEMOLISH AN EXISTING ONE-STORY DUPLEX AND DETACHED GARAGE, AND CONSTRUCT TWO NEW TWO-STORY, SINGLE-FAMILY RESIDENCES ON A SUBSTANDARD LOT WITH REGARD TO MINIMUM LOT WIDTH IN THE R-2 (LOW DENSITY APARTMENT) ZONING DISTRICT**

WHEREAS, the City of Menlo Park (“City”) received an application requesting a use permit to demolish an existing one-story duplex and detached garage, and construct two new two-story, single-family residences with attached accessory dwelling units (“ADU”) and a detached garage on a substandard lot with regard to minimum lot width in the R-2 (Low Density Apartment) zoning district (“Project”) from Ali Zadeh (“Applicant” and “Owner”) located at 734-736 Partridge Avenue (APN 071-412-370) (“Property”). The Project use permit is depicted in and subject to the development plans and project description letter, which are attached hereto as Exhibit A and Exhibit B, respectively, and incorporated herein by this reference; and

WHEREAS, the Property is located in the Low Density Apartment (R-2) district. The R-2 district supports single-family and multi-family residential uses; and

WHEREAS, the existing parcel is substandard with regard to the minimum lot width; and

WHEREAS, the proposed Project would construct two new two-story residences on a substandard lot which requires the granting of a use permit; and

WHEREAS, the proposed Project would include two ADUs, which are a permitted use; and

WHEREAS, the proposed project would comply with all objective standards of the R-2 district; and

WHEREAS, the proposed Project was reviewed by the Engineering Division and found to be in compliance with City standards; and

WHEREAS, the Applicant submitted an arborist report prepared by Bo Firestone Trees & Gardens, incorporated herein as Exhibit C, which was reviewed by the City Arborist and found to be in compliance with the Heritage Tree Ordinance, and proposes mitigation measures to adequately protect heritage trees in the vicinity of the project; and

WHEREAS, the City Arborist approved a heritage tree removal permit to remove one heritage coast live oak tree, which was not appealed; and

WHEREAS, the Applicant would be required to replace the value of the heritage tree to be removed with replacement trees on site; and

WHEREAS, the City Arborist reviewed and approved a heritage tree replacement plan to comply with the replacement requirement of the Heritage Tree Ordinance; and

WHEREAS, the Project, requires discretionary actions by the City as summarized above, and therefore the California Environmental Quality Act (“CEQA,” Public Resources Code Section §21000 et seq.) and CEQA Guidelines (Cal. Code of Regulations, Title 14, §15000 et seq.) require analysis and a determination regarding the Project’s environmental impacts; and

WHEREAS, the City is the lead agency, as defined by CEQA and the CEQA Guidelines, and is therefore responsible for the preparation, consideration, certification, and approval of environmental documents for the Project; and

WHEREAS, the Project is categorically except from environmental review pursuant to Cal. Code of Regulations, Title 14, §15303 et seq. (new construction or conversion of small structures); and

WHEREAS, all required public notices and public hearings were duly given and held according to law; and

WHEREAS, at a duly and properly noticed public hearing held on September 9, 2024, the Planning Commission fully reviewed, considered, and evaluated the whole of the record including all public and written comments, pertinent information, documents and plans, prior to taking action regarding the Project.

NOW, THEREFORE, THE MENLO PARK PLANNING COMMISSION HEREBY RESOLVES AS FOLLOWS:

Section 1. Recitals. The Planning Commission has considered the full record before it, which may include but is not limited to such things as the staff report, public testimony, and other materials and evidence submitted or provided, and the Planning Commission finds the foregoing recitals are true and correct, and they are hereby incorporated by reference into this Resolution.

Section 2. Conditional Use Permit Findings. The Planning Commission of the City of Menlo Park does hereby make the following Findings:

The approval of the use permit for the construction of two two-story residences on a substandard lot with regard to minimum lot width is granted based on the following findings, which are made pursuant to Menlo Park Municipal Code Section 16.82.030:

1. That the establishment, maintenance, or operation of the use applied for will, under the circumstance of the particular case, not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing in the neighborhood of

such proposed use, or injurious or detrimental to property and improvements in the neighborhood or the general welfare of the city because:

- a. Consideration and due regard were given to the nature and condition of all adjacent uses and structures, and to general plans for the area in question and surrounding areas, and impact of the application hereon; in that, the proposed use permit is consistent with the R-2 zoning district and the General Plan because two-story residences are permitted to be constructed upon substandard lots subject to the granting of a use permit, the project would comply with required setbacks, and the project conforms to applicable zoning standards, including, but not limited to, maximum floor area limit and maximum building coverage.
- b. The proposed project would replace the existing number of housing units and add two additional housing units through the inclusion of two ADUs, increasing the City's housing stock, and helping to achieve the City's goals set forth in the Housing Element.
- c. The proposed residences and ADUs would not be required to provide parking spaces pursuant to Assembly Bill 2097, but would include one covered parking space per primary dwelling unit for a total of two off-street parking spaces.
- d. The proposed Project is designed to meet all the applicable codes and ordinances of the City of Menlo Park Municipal Code and the Commission concludes that the Project would not be detrimental to the health, safety, and welfare of the surrounding community as the proposed residences would be located in a multi-family neighborhood and have been designed in a way to complement the existing scale and design of the surrounding homes as the proposed residences would be designed in a transitional architectural style which is generally compatible with other developments in the vicinity.

Section 3. Conditional Use Permit. The Planning Commission approves Use Permit No. PLN2023-00046, which use permit is depicted in and subject to the development plans and project description letter, which are attached hereto and incorporated herein by this reference as Exhibit A and Exhibit B, respectively. The Use Permit is conditioned in conformance with the conditions attached hereto and incorporated herein by this reference as Exhibit D.

Section 4. ENVIRONMENTAL REVIEW. The Planning Commission makes the following findings, based on its independent judgment after considering the Project, and having reviewed and taken into consideration all written and oral information submitted in this matter:

1. The Project is categorically exempt from environmental review pursuant to Cal. Code of Regulations, Title 14, §15303 et seq. (new construction or conversion of small structures)

Section 7. SEVERABILITY



If any term, provision, or portion of these findings or the application of these findings to a particular situation is held by a court to be invalid, void or unenforceable, the remaining provisions of these findings, or their application to other actions related to the Project, shall continue in full force and effect unless amended or modified by the City.

I, Kyle Perata, Assistant Community Development Director of the City of Menlo Park, do hereby certify that the above and foregoing Planning Commission Resolution was duly and regularly passed and adopted at a meeting by said Planning Commission on September 9, 2024, by the following votes:

AYES:

NOES:

ABSENT:

ABSTAIN:

IN WITNESS THEREOF, I have hereunto set my hand and affixed the Official Seal of said City on this \_\_\_\_ day of September, 2024

PC Liaison Signature

---

Kyle Perata  
Assistant Community Development Director  
City of Menlo Park

Exhibits

- A. Project plans
- B. Project description letter
- C. Arborist Report
- D. Conditions of approval

# Zadeh and Sangelaji Residences

Two Single Family Residence+Attached ADU



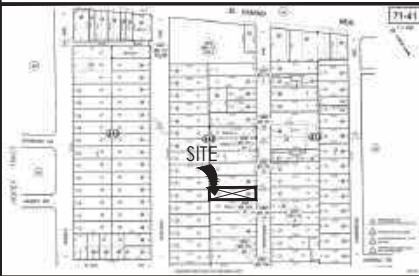
734/736 Partridge Ave,  
Menlo Park, CA 94025



LOCATION MAP



ASSESSOR'S PARCEL MAP



## SCOPE OF WORK

DEMOLITION OF EXISTING 2112 SQUARE FOOT ONE STORY DUPLEX AND CONSTRUCTION OF TWO SINGLE-FAMILY RESIDENCES ON A 3992 SQUARE FOOT LOT:

THE FRONT RESIDENCE WILL FEATURE A LIVING AREA OF 1,636.0 SQUARE FEET, COMPRISING 4 BEDROOMS AND 3.5 BATHROOMS. ADDITIONALLY, THERE WILL BE A DETACHED GARAGE WITH AN AREA OF 217.8 SQUARE FEET. THE TOTAL SQUARE FOOTAGE OF THE FRONT RESIDENCE WILL BE 1853.8 SQUARE FEET, WITH AN ADDITIONAL ATTACHED ADU OF 774.9 SQUARE FEET.

THE REAR RESIDENCE WILL HAVE A LIVING AREA OF 1,419.5 SQUARE FEET, CONSISTING OF 3 BEDROOMS AND 2.5 BATHROOMS. IT WILL ALSO INCLUDE AN ATTACHED GARAGE WITH AN AREA OF 226.3 SQUARE FEET. THE TOTAL SQUARE FOOTAGE OF THE REAR RESIDENCE WILL BE 1645.8 SQUARE FEET WITH AN ADDITIONAL ATTACHED ADU OF 795.4 SQUARE FEET.

## PROJECT SUMMARY

Assessor's Parcel No.	071-412-376
zoning	R-2
neighborhood	Menlo Park
Type of Construction	TYPE V-B, SPB/MLB/EC
Building Occ. Group(s)	B-3/U (SINGLE FAMILY RESIDENTIAL)
Required Property setbacks (1st / 2nd):	
Front	20'-0"
Rear	20'-0"
Right Side	5'-0"
Left Side	5'-0"
Proposed Property setbacks (1st / 2nd):	
Front House	
Front	20'-0"
Rear	20'-0"
Right Side	13'-6"
Left Side	5'-0"
Proposed Property setbacks (1st / 2nd):	
Rear House	
Front	20'-0"
Rear	20'-0"
Right Side	5'-0"
Left Side	5'-0"
Max. Allowed Building Height:	35'-0"
Proposed Building Height Front House:	25'-3"
Proposed Building Height Rear House:	25'-4"
Lot Area:	9,992.6
Total New Living Area+ADUs:	4,625.8
Total New Garage:	444.1
Total New Residence:	5,049.9
FAR Percentage 40% Allowed:	3,766.8
Proposed FAR:	54%
Allowable lot Coverage 35%:	3,287.3
Proposed lot Coverage+ADUs:	40%
Proposed Total ADU for Unit 1 and 2:	1,670.3
FAR Percentage 35% Allowed 2nd floor:	1,400.8
Proposed 2nd Floor FAR:	1,407.8
Total Front House:	1,853.8
Total Rear House:	1,645.8

## DEFERRED SUBMITTALS

- FIRE SPRINKLERS IN ACCORDANCE WITH NFPA 13D AND STATE AND LOCAL REQUIREMENTS—NOTE THAT PER CRC 313.3.7, A SIGN OR VALVE TAG SHALL BE INSTALLED AT THE MAIN SHUTOFF VALVE TO THE WATER DISTRIBUTION SYSTEM STATING THE FOLLOWING: "WARNING: THE WATER SYSTEM FOR THIS HOME SUPPLIES FIRE SPRINKLERS THAT REQUIRE CERTAIN FLOWS AND PRESSURES TO FIGHT A FIRE. DEVICES THAT RESTRICT THE FLOW OR DECREASE THE PRESSURE OR AUTOMATICALLY SHUT OFF THE WATER TO THE FIRE SPRINKLER SYSTEM, SUCH AS WATER SOFTENERS, FILTRATION SYSTEMS AND AUTOMATIC SHUTOFF VALVES, SHALL NOT BE ADDED TO THIS SYSTEM WITHOUT A REVIEW OF THE FIRE SPRINKLER SYSTEM BY A FIRE PROTECTION SPECIALIST. DO NOT REMOVE THIS SIGN"
- STAIR GUARDRAIL SHOP DRAWINGS SIGNED AND STAMPED BY ENGINEER TO BE SUBMITTED TO BUILDING DEPARTMENT FOR REVIEW AND APPROVAL—NOTE THAT SHOP DRAWINGS TO DEMONSTRATE GUARDRAIL DESIGN IS ADEQUATE TO SUPPORT A SINGLE CONCENTRATED 200 POUND LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP OF THE RAIL PER CRC TABLE 301.5 AND 301.5 FOOTNOTE D
- SOLAR PHOTOVOLTAIC SYSTEM TO BE UNDER A SEPARATE PERMIT
- ROOF TRUSSES—TRUSS DESIGN PACKAGE AND ENGINEER OF RECORD REVIEW LETTER TO BE SUBMITTED TO BUILDING DEPARTMENT FOR REVIEW AND APPROVAL

## REQ'D CONTRACTOR SUBMITTALS TO ARCHITECT

THE FOLLOWING ARE REQUIRED TO BE SUBMITTED TO THE ARCHITECT FOR APPROVAL/REVIEW:

- WINDOW/DOOR PACKAGE
- CABINET SHOP DRAWINGS AND FINISH SAMPLES
- MECHANICAL DUCTING PLAN
- STAIR AND RAIL SHOP DRAWINGS
- MISC. STEEL SHOP DRAWINGS

NOTE: SEE STRUCTURAL PLANS FOR ADDITIONAL REQUIRED SUBMITTALS FOR SHOP DRAWINGS, ETC.

## REQ'D CONTRACTOR SUBMITTALS TO BUILDING DEPT. PRIOR TO PERMIT ISSUANCE

- LICENSE NUMBER
- INSURANCE AND WORKER'S COMP POLICIES
- CONSTRUCTION STAGING PLAN
- CONSTRUCTION WASTE MANAGEMENT PLAN IN ACCORDANCE WITH CALGREEN 4.408.2

## APPLICABLE CODES

APPLICABLE CODES (with Menlo Park Amendments)

- 2022 CALIFORNIA ADMINISTRATIVE CODE, CAC
- 2022 CALIFORNIA BUILDING CODE, CBC
- 2022 CALIFORNIA RESIDENTIAL BUILDING CODE, CRC
- 2022 CALIFORNIA ELECTRICAL CODE, CEC
- 2022 CALIFORNIA MECHANICAL CODE, CMC
- 2022 CALIFORNIA PLUMBING CODE, CPC
- 2022 CALIFORNIA ENERGY CODE, CEC
- 2022 CALIFORNIA HISTORICAL CODE, CHC
- 2022 CALIFORNIA FIRE CODE, CFC
- 2022 CALIFORNIA EXISTING BUILDING CODE
- 2022 CALIFORNIA GREEN BUILDING STANDARDS
- 2022 CALIFORNIA REFERENCED STANDARDS
- SAN MATEO COUNTY STANDARD DETAIL

## ARBORIST NOTES

- PRIOR TO ISSUANCE OF THE ASSOCIATED DEMOLITION AND BUILDING PERMITS, A TREE PROTECTION VERIFICATION LETTER FROM THE PROJECT ARBORIST IS REQUIRED. A. THE TREE PROTECTION MEASURES SHOULD BE INSTALLED IN COMPLIANCE WITH THE RECOMMENDATIONS IN THE ARBORIST REPORT. B. THEN THE PROJECT ARBORIST SHOULD VISIT THE PROPERTY, VERIFY THAT THE PROTECTION MEASURES ARE IN COMPLIANCE TAKE PHOTOS, AND THEN PREPARE A BRIEF VERIFICATION LETTER FOR CITY ARBORIST REVIEW.
- THE PROJECT ARBORIST MUST ALSO PROVIDE MONTHLY TREE PROTECTION MONITORING INSPECTIONS. A. DURING THESE INSPECTIONS THE PROJECT ARBORIST SHOULD MONITOR THE CONDITION OF THE TREES, VERIFY THE TREE PROTECTION MEASURES ARE IN COMPLIANCE. PROVIDE RECOMMENDATIONS FOR ANY NECESSARY MAINTENANCE AND IMPACT MITIGATION, AND PREPARE MONTHLY REPORTS FOR CITY ARBORIST REVIEW.
- FOLLOW THE INSTRUCTIONS NOTED ON PAGE 9-15 OF THE ARBORIST REPORT FOR TREE PROTECTION AND IMPACT REDUCTION

## SHEET INDEX

ARCHITECTURAL	
A0.0	COVER SHEET
A0.1	FLOOR AREA CALCULATION
A0.2a	LANDSCAPE AREA CALCULATION
A0.3	STREET CONTEXT
A0.4	PHOTOS OF THE EXISTING HOUSE
A1.0	AREA PLAN
A1.0a	SITE PLAN & DEMO SITE PLAN
A2.1a	FRONT HOUSE FIRST FLOOR PLAN
A2.1b	FRONT HOUSE LOWER ROOF PLAN
A2.1c	FRONT HOUSE SECOND FLOOR PLAN
A2.1d	REAR HOUSE LOWER ROOF PLAN
A2.2a	REAR HOUSE SECOND FLOOR PLAN
A2.2b	FRONT HOUSE UPPER ROOF PLAN
A2.2c	REAR HOUSE LOWER ROOF PLAN
A2.2d	REAR HOUSE UPPER ROOF PLAN
A2.2e	DETACHED GARAGE ROOF PLAN
A3.0	LOT RECAP
A3.1	UNIT 1 EXTERIOR ELEVATIONS
A3.2	UNIT 1 EXTERIOR ELEVATIONS
A3.3	DETACHED GARAGE ELEVATIONS AND SECTIONS
A3.4	UNIT 2 EXTERIOR ELEVATIONS
A3.5	UNIT 2 EXTERIOR ELEVATIONS
A3.6	EXTERIOR PERSPECTIVES
A3.7	EXTERIOR PERSPECTIVES
A3.8	EXTERIOR PERSPECTIVES
A3.9	MATERIAL BOARD
A4.0	WINDOW/DOOR SCHEDULE
A5.0	UNIT 1 SECTIONS
A5.1	UNIT 2 SECTIONS
F1-1	FIRE DEPARTMENT COA
CIVIL	
T-1	BOUNDARY AND TOPO SURVEY
TM-1	TENTATIVE MAP
TM-2	GRADING AND DRAINAGE PLAN
TM-3	UTILITY PLAN
TM-4	STORM WATER MANAGEMENT PLAN
TM-5	STORM WATER MANAGEMENT PLAN
TM-6	CONSTRUCTION BMP'S
LANDSCAPE	
L-1	TREE REPLACEMENT PLAN
ARBORIST REPORT	
AR-1	ARBORIST REPORT
AR-2	ARBORIST REPORT
AR-3	ARBORIST REPORT
AR-4	ARBORIST REPORT
AR-5	ARBORIST REPORT

## PROJECT TEAM

**O W N E R**  
Ali Zadeh and Maryam Sangelaji  
47 Live Oak Ave, Menlo Park, CA 94025  
ph 805-252-3807  
email DrAliZadeh@gmail.com  
maryam@gmail.com

**D E S I G N E R / A R C H I T E C T**  
Ardalan Djalali  
1355 El Camino Real, Unit 527  
Redwood City, CA 94025  
attn Ardalan Djalali  
ph 650-387-9272  
email ardalan@adarchitectes.com

**C I V I L E N G I N E E R**  
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email srazav@smpengineers.com

**A R B O R I S T**  
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attn Kathryn Meyer  
email info@bofreestone.com

**L A N D S C A P E A R C H I T E C T**  
Mara Young  
attn Mara Young  
email marayoung@gmail.com



1355 El Camin Real, Unit 527  
Redwood City, CA, 94063  
650-387-9272

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**Zadeh & Sangelaji Residence**  
NEW SINGLE FAMILY RESIDENCE+ATTACHED ADU

### ADDRESS

736 Partridge Ave  
Menlo Park  
APN: XXX

### Owner

Maryam Sangelaji & Ali Zadeh

### DRAWN BY

Ardalan Djalali

### SIGNED BY

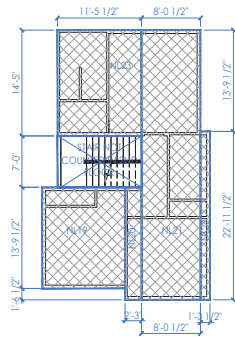
Ardalan Djalali

REVISION	DATE	DESCRIPTION
	2024.03.14	PLANNING RESUBMITTAL
	2024.06.05	PLANNING RESUBMITTAL

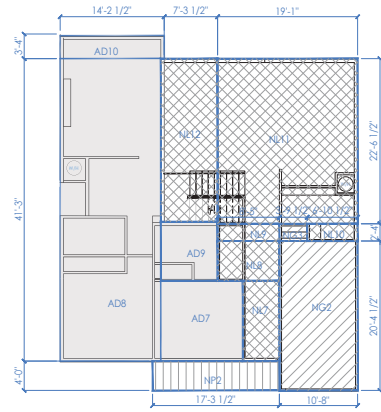
SHEET TITLE

COVER SHEET

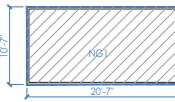




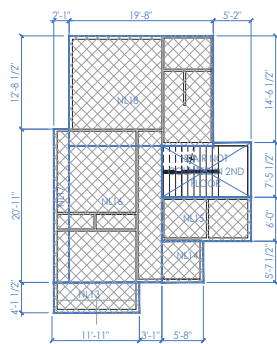
REAR HOUSE-SECOND FLOOR



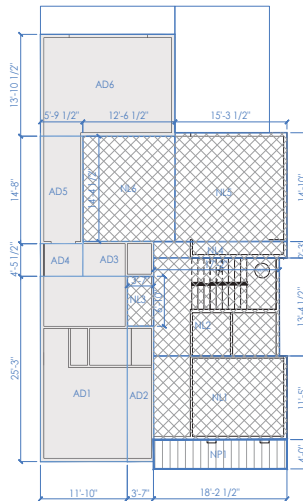
REAR HOUSE-FIRST FLOOR







FRONT HOUSE-GARAGE



FRONT UNIT-SECOND FLOOR



FRONT HOUSE-FIRST FLOOR

-  NL# = NEW LIVING AREA
-  NG# = NEW GARAGE AREA
-  NP# = NEW PORCH AREA (COUNTED TOWARD LOT COVERAGE)
-  NA# = NEW ADU (NOT COUNTED TOWARD FAR AND LOT COVERAGE)

Legend

Legend	Description	Area
AD10	ADU	14.0
AD9	ADU	14.0
AD8	ADU	14.0
AD7	ADU	14.0
AD6	ADU	14.0
AD5	ADU	14.0
AD4	ADU	14.0
AD3	ADU	14.0
AD2	ADU	14.0
AD1	ADU	14.0
NG1	Garage	20.7
NG2	Garage	20.7
NG3	Garage	20.7
NG4	Garage	20.7
NG5	Garage	20.7
NG6	Garage	20.7
NG7	Garage	20.7
NG8	Garage	20.7
NG9	Garage	20.7
NG10	Garage	20.7
NG11	Garage	20.7
NG12	Garage	20.7
NG13	Garage	20.7
NG14	Garage	20.7
NG15	Garage	20.7
NG16	Garage	20.7
NG17	Garage	20.7
NG18	Garage	20.7
NG19	Garage	20.7
NG20	Garage	20.7
NG21	Garage	20.7
NG22	Garage	20.7
NG23	Garage	20.7
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NG26	Garage	20.7
NG27	Garage	20.7
NG28	Garage	20.7
NG29	Garage	20.7
NG30	Garage	20.7
NG31	Garage	20.7
NG32	Garage	20.7
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NG37	Garage	20.7
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NG42	Garage	20.7
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NG45	Garage	20.7
NG46	Garage	20.7
NG47	Garage	20.7
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NG49	Garage	20.7
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NG92	Garage	20.7
NG93	Garage	20.7
NG94	Garage	20.7
NG95	Garage	20.7
NG96	Garage	20.7
NG97	Garage	20.7
NG98	Garage	20.7
NG99	Garage	20.7
NG100	Garage	20.7



2ND FLOOR AREA CALCS

1/8" 2



FIRST FLOOR AREA CALCS

1/8" 1

FLOOR AREA LEGEND



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Redwood City, CA, 94063  
650-387-9272

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**Zadeh & Sangelaji**  
Residence  
NEW SINGLE FAMILY  
RESIDENCE+ATTACHED ADU  
**ADDRESS**  
736 Partridge Ave  
Menlo Park  
APN: XXX  
**Owner**  
Maryam Sangelaji & Ali Zadeh

**DRAWN BY**  
Ardalan Djalali

**SIGNED BY**  
Ardalan Djalali

REGION	DATE	DESCRIPTION
	2024.03.14	PLANNING RE SUBMITTAL
	2024.06.05	PLANNING RE SUBMITTAL

SHEET TITLE  
**FLOOR AREA CALCULATION**





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**Owner**

Maryam Sangelaji &  
 Ali Zadeh

**DRAWN BY**

Ardalan Djalali

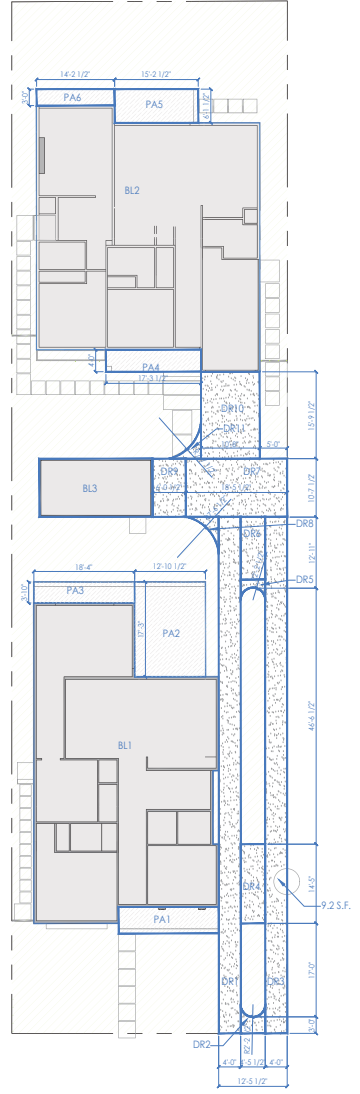
**SIGNED BY**

*Ardalan Djalali*

REGION	DATE	DESCRIPTION
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	2024.06.05	PLANNING RE SUBMITTAL

SHEET TITLE

**LANDSCAPE  
 AREA  
 CALCULATION**



Building Coverage	
BL1	1,884.1
BL2	1,790.3
BL3	2,171.3
<b>Total Building Coverage</b>	<b>5,845.7</b>

Total Building Coverage	
PA1	89.3
PA2	222.2
PA3	70.2
PA4	89.3
PA5	73.2
PA6	81.2
<b>Total Porch and Patio Coverage</b>	<b>585.5</b>

Driveway Area	
DR1	30.1
DR2	71.2
DR3-P.P.S.P	369.2
DR4	84.1
DR5	8.2
DR6	30.2
DR7	93.2
DR8	11.2
DR9	43.2
DR10	118.2
DR11	10.2
<b>Total Driveway Area</b>	<b>1,201.5</b>

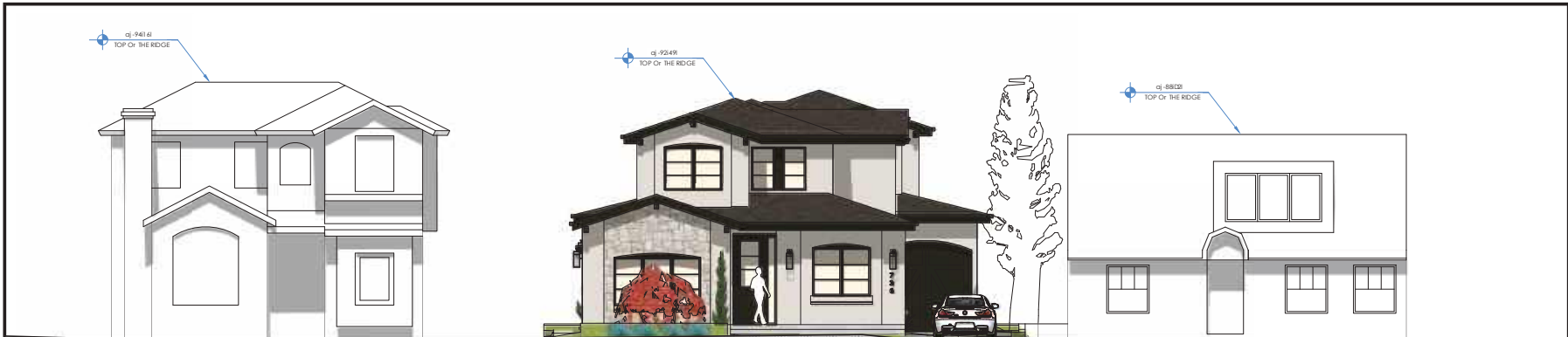
LS	Lot Size	8,392.0	
10x10+PA+TD	Total Landscape Area+ Building Coverage	5,279.2	62.8%
13-13-11	Proposed Landscape Area	3,811.2	45.4%
13-13	Min Required Landscape Area	3,734.2	44.5%

- LS# = LANDSCAPE AREA
- DR# = DRIVEWAY AREA
- PA# = PORCH AND PATIO AREA
- BL# = BUILDING AREA



LANDSCAPE AREA CALCS 3/32' 1

LANDSCAPE AREA LEGEND AND CALCS -



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Zadeh and Sangelaj  
Residential

TI ONE SINGLE FAMILY RESIDENCE ATTACHED ADU

ADDRESS

D46 Partridge Ave  
Denville Park, CA 94025  
APN: xxx

Owner

Daryam Sangelaj & Al Zadeh

DRAI N Ba

Ardalan Djalali

SIGNED Ba

*Ardalan*

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REVISION	DATE	DESCRIPTION
	2024.03.14	PLANNING SUBMITTAL
	2024.06.05	PLANNING SUBMITTAL

SHEET TITLE  
STREET CONTEXT



&,\$'\*)%+,-.' +,& 2



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Zadeh and Sangelaj  
Residential

TI O N E SINGLE F A M I L Y  
RESIDENCE ATTACHED ADU

ADDRESS

D46 Partridge Ave  
Denville Park, CA 94025  
APN:xxx

Owner

Daryam Sangelaj &  
Al Zadeh

DRAWING

Ardalan Djalali

SIGNED

Ardalan Djalali

REVISION	DATE	DESCRIPTION
	2024.03.14	PLANNING SUBMITTAL
	2024.06.05	PLANNING SUBMITTAL

SHEET TITLE

PHOTOS OF  
THE  
EXISTING  
HOUSE



STREET VIEW



BACK YARD



REAR ENTRANCE



DRIVEWAY



DETACHED GARAGE



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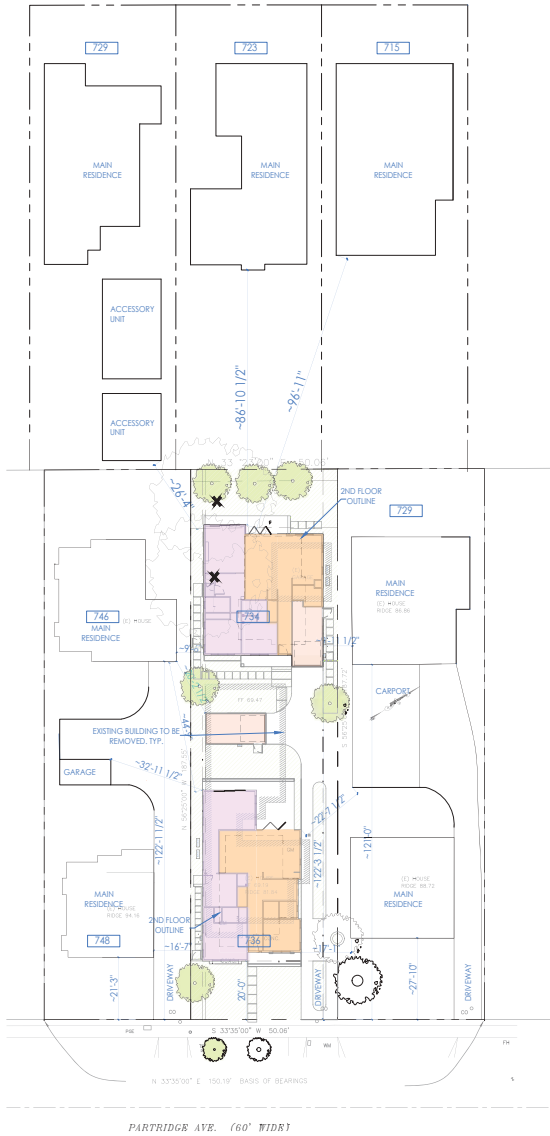
**Zadeh & Sangelaji**  
 Residence  
 NEW SINGLE FAMILY  
 RESIDENCE+ATTACHED ADU  
 ADDRESS  
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REGION	DATE	DESCRIPTION
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	2024.06.05	PLANNING RESUBMITTAL

SHEET TITLE  
**AREA PLAN**



- NEW TREE
- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- NEW LANDSCAPE AREA
- NEW MAIN RESIDENCE
- NEW ATTACHED ADU
- NEW DETACHED GARAGE

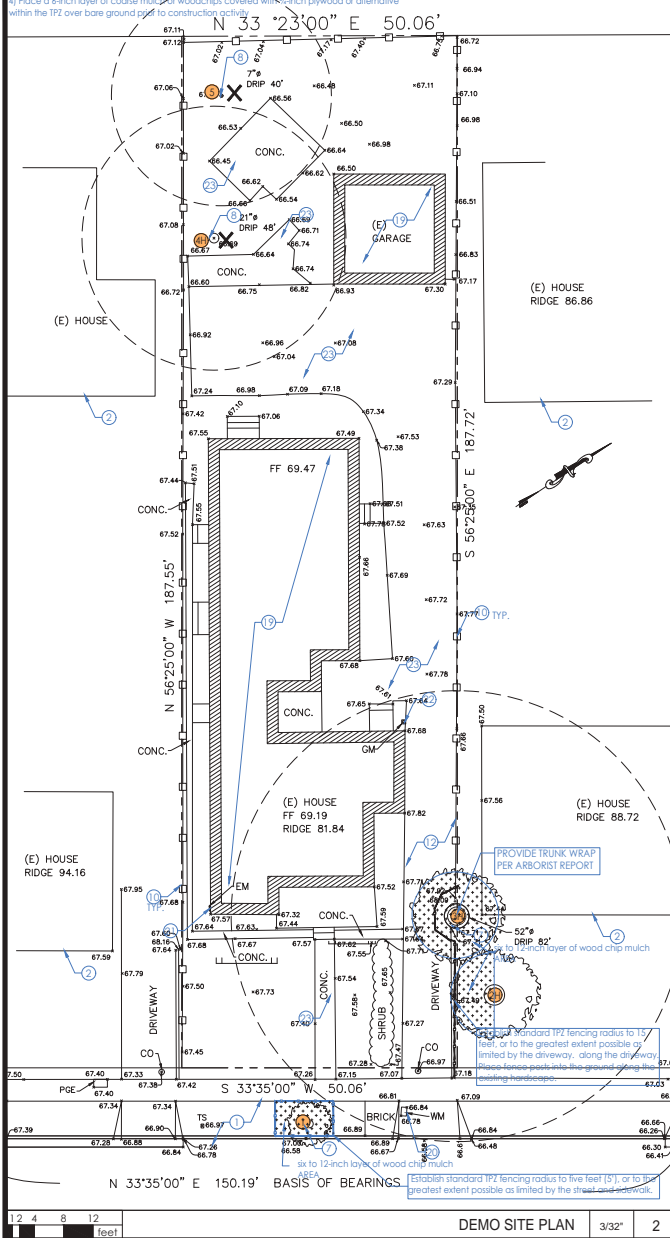
1 2 4 8 12 feet

AREA PLAN 1"=20' 1

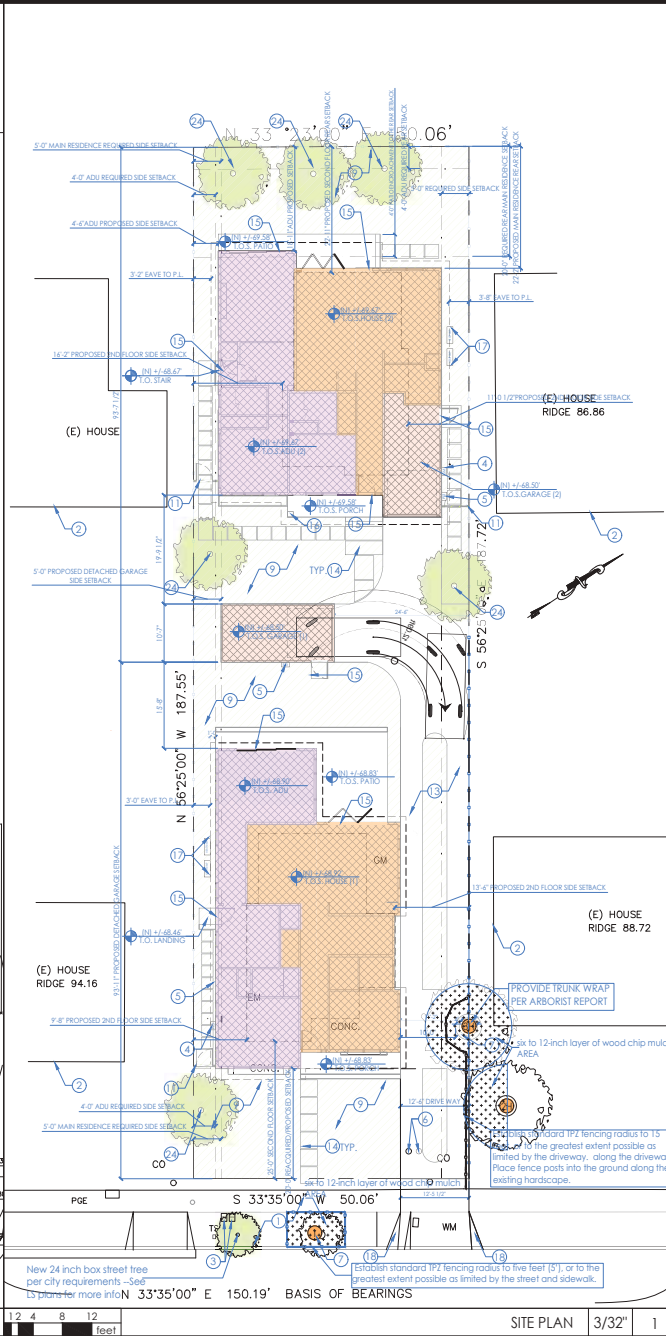
AREA PLAN LEGEND - -

Free protection fencing requirements as required by the City of Menlo Park:

- 1) Establish tree protection fencing radius by installing six (6)-foot tall chain link fencing mounted on eight (8)-foot tall, 1.5-inch diameter galvanized posts, driven 24 inches into the ground and spaced no more than 10 feet apart.
- 2) Post signs on the fencing (in English and Spanish) printed on 11"x17" yellow-colored paper (signage attached) with Project Arbolist's contact information. Signage should be on each protection fence in a prominent location.
- 3) Movable barriers of chain link fencing secured to cement blocks may be substituted for fixed fencing if the Project Arbolist and City Arbolist agree that the fencing will have to be moved to accommodate certain phases of construction. The builder may not move the fence without authorization from the Project Arbolist or City Arbolist.
- 4) Place a 6-inch layer of coarse mulch or woodchips covered with 1/2-inch plywood or alternative within the TPZ over bare ground prior to construction activity.



DEMO SITE PLAN 3/32" 2



SITE PLAN 3/32" 1

① = NUMBER TO KEY NOTE BELOW

1. EXISTING PUBLIC RIGHT OF WAY-ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY MUST HAVE AN APPROVED "PERMIT FOR CONSTRUCTION IN THE PUBLIC STREET" PRIOR TO THE COMMENCEMENT OF THIS WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY
2. APPROXIMATE LOCATION OF NEIGHBORING STRUCTURE
3. (N) WATER METER-CONTRACTOR TO COORDINATE (N) METER WITH LOCAL WATER COMPANY IF REQUIRED BY INCREASED FUTURE LOAD
4. (N) GAS METER LOCATION-INSTALL TWO 2" DIAMETER x 30" TALL STEEL PIPE BOLLARDS EMBEDDED IN 2' DEEP CONCRETE FOOTINGS IF GAS METER IS WITHIN 3 FEET OF DRIVEWAY
5. (N) ELECTRICAL METER-CONTRACTOR TO COORDINATE WITH LOCAL ELECTRICAL COMPANY FOR UPGRADE (400 AMPS) TO (E) ELECTRICAL SERVICE-INSTALL UFER GROUND CONNECTION PER CEC 250-52
6. (N) 4" SEWER LATERAL-CONTRACTOR TO VERIFY LOCATION IN FIELD-PROVIDE CLEANOUT AT THE POINT OF CONNECTION BETWEEN THE BUILDING SEWER AND THE MUNICIPAL LATERAL. USE AN APPROVED FITTING TO BRING THE CLEANOUT RISER TO GRADE. WHERE SEWER CLEANOUTS ARE TO BE CONNECTED TO EXISTING MUNICIPAL LATERALS, SUCH CONNECTIONS SHALL BE ACCOMPLISHED BY USE OF AN APPROVED FITTING
7. (E) TREES TO REMAIN-PROTECT AS REQUIRED DURING CONSTRUCTION- DO NOT LEAVE MATERIALS OR EQUIPMENT IN ROOT AREAS FOR EXTENDED PERIODS OF TIME. SEE ARBORIST REPORT (IF PROVIDED) FOR ADDITIONAL INFORMATION
8. (E) TREE TO BE REMOVED-SEE ARBORIST REPORT
9. (N) SOFTSCAPE-PROVIDE DRIP IRRIGATION
10. (E) FENCE AND GATES TO BE REMOVED
11. (N) FENCE AND GATE-VERIFY FINAL DESIGN AND FINISH WITH-NEW FENCES TO CONFORM TO JURISDICTION'S FENCE REGULATIONS
12. (E) DRIVEWAY TO BE REMOVED
13. (N) DRIVEWAY, PAVERS OVER 8" BASE ROCK AND 2" SAND PER GEOTECH REPORT]- VERIFY PAVEMENT DESIGN WITH
14. (N) HARDSCAPE-SLOPE AWAY FROM HOUSE @ 2% MIN.
15. (N) 36" MIN. DEEP LEVEL LANDING PER CAC-311.3 W STEPS (MAX. 7.75" RISER)- PROVIDE EQUAL RISERS IF MORE THAN 1 STEP
16. (N) PORCH OR TRELIS COLUMNS
17. (N) HEATPUMP UNIT (PADI)-PROVIDE ELECTRICAL TO THIS LOCATION AS REQUIRED. VERIFY SIZE AND QUANTITY WITH HVAC CONTRACTOR. HEATPUMP UNITS TO COMPLY WITH JURISDICTION'S NOISE ORDINANCE-SEE HVAC PLANS
18. (N) CURB CUT PER LOCAL JURISDICTION'S STANDARD DETAIL-SEE CIVIL PLANS. EXISTING BUILDING TO BE REMOVED
20. (E) WATER METER TO BE REMOVED/UPGRADED
21. (E) ELECTRIC METER TO BE REMOVED
22. (E) GAS METER TO BE REMOVED
23. (E) HARDSCAPE TO BE REMOVED
24. (N) TREE-SEE LANDSCAPE PLAN FOR MORE INFO

Bare ground within the TPZ should have material applied over the ground to reduce soil compaction and retain soil moisture. This may be done by applying a six to 12-inch layer of wood chip mulch to the area. With this method, mulch in excess of four inches would have to be removed after work is completed. As an alternative method that would not require mulch removal, the contractor could place plywood (3/4-inch-thick) or road mats over a four-inch layer of mulch. Mulch should be spread manually so as not to cause compaction or damage.

**SITE PLAN KEYNOTES**

- PROPERTY LINE-SEE TOPO SURVEY FOR MORE INFO
- REQUIRED YARD SETBACK/EASEMENT
- TREE PROTECTION FENCING-TREE PROTECTION TO BE INSTALLED PRIOR TO START OF CONSTRUCTION AND REMAIN IN PLACE TILL COMPLETION-SEE ARBORIST REPORT FOR ADDITIONAL INFO
- NEW FENCE AT PROPERTY LINE
- EXISTING BUILDING AREA
- NEW BUILDING AREA
- NEW DRIVEWAY
- NEW MAIN RESIDENCE
- NEW ADU
- NEW GARAGE
- NEW LANDSCAPE AREA-SEE LS AREA CALCS FOR MORE INFO
- SPOT ELEVATION, SEE CIVIL DRAWINGS FOR MORE INFO
- TREE NUMBER-REFER TO ARBORIST REPORT FOR SPECIES AND OTHER INFO
- TREE TO BE REMOVED

NOTES:

1. (E) WATER SUPPLY TO BE REPLACED FROM METER IN.
2. (E) SEWER LATERAL TO BE REPLACED FROM PROPERTY LINE IN.
3. SEE LS PLANS FOR ALL SITE CONCRETE AND HARDSCAPE DETAILS-CO-ORDINATE WITH CIVIL & GEOTECH. REQUIREMENTS

**SITE PLAN LEGEND**

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650-387-9272

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**Zadeh & Sangelaji**  
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NEW SINGLE FAMILY  
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ADDRESS  
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Menlo Park  
APN: XXX  
Owner  
Maryam Sangelaji &  
Ali Zadeh

**DRAWN BY**  
Arदान Djalali

**SIGNED BY**  
Arदान Djalali

REVISION	DATE	DESCRIPTION
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	2024.06.05	PLANNING RESUBMITTAL

SHEET TITLE  
**SITE PLAN & DEMO SITE PLAN**







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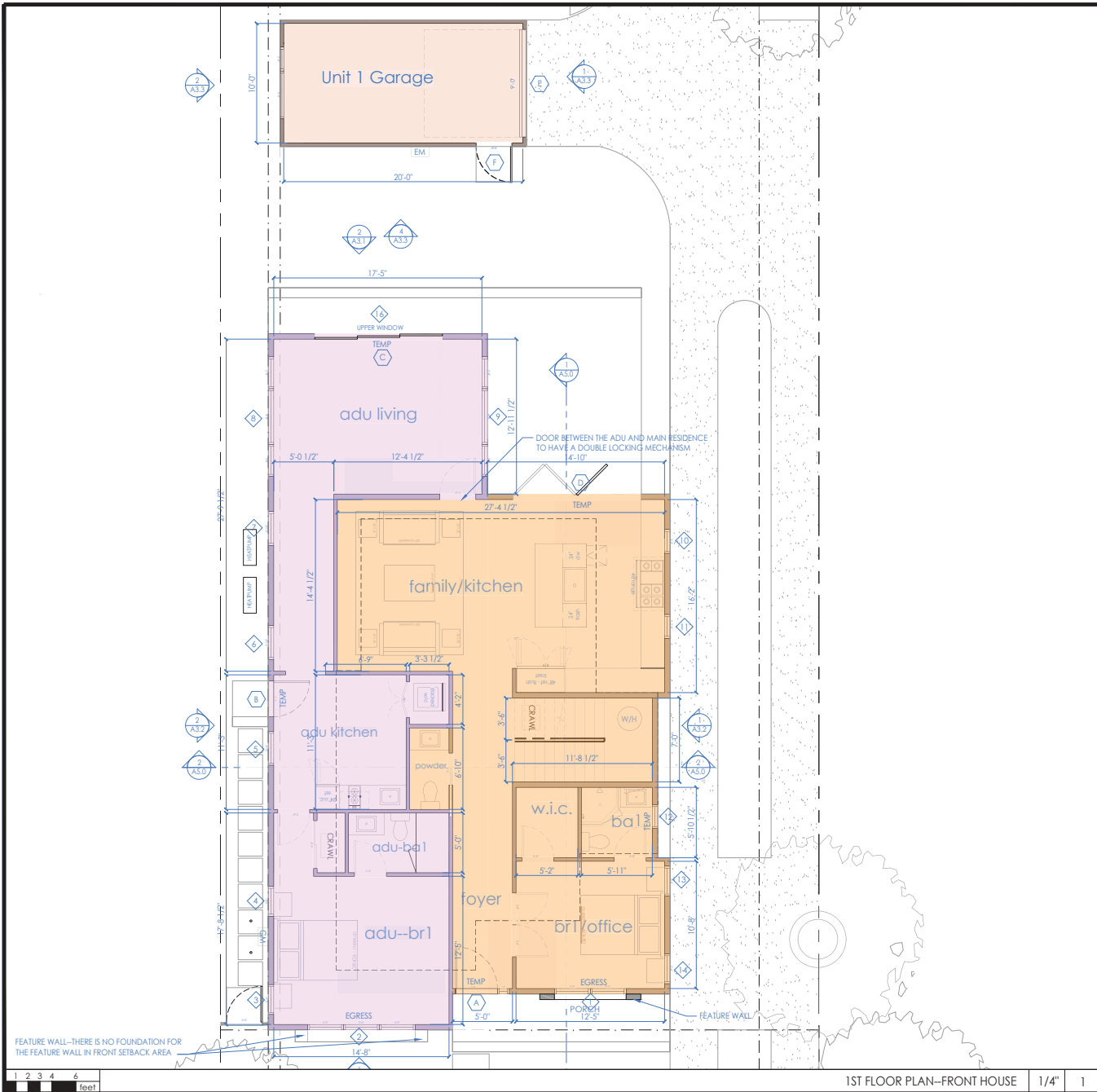
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SHEET TITLE  
**FRONT HOUSE  
 FIRST FLOOR  
 PLAN**



①

- NOTE:
- SEE 2/A0.1g FOR PLUMBING GENERAL NOTES
  - SEE 3/A0.1g FOR MECHANICAL GENERAL NOTES
  - SEE 4/A0.1g FOR ELECTRICAL GENERAL NOTES
  - SEE 5/A0.1g FOR PLAN AND INTERIOR GENERAL NOTES

**FLOOR PLAN KEYNOTES**

(N) WALL: EXTERIOR: 2x6 STUDS @ 16" O.C.; INTERIOR 2x4 STUDS @ 16" O.C.—SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR EXTERIOR WALL MATERIAL ASSEMBLIES. INSTALL 2 LAYERS OF BUILDING PAPER (FOR STUCCO ONLY)/1 LAYER (MIN.) OF WEATHER RESISTIVE BARRIER (TYVEK HOUSE WRAP OR EQ.) OVER EXTERIOR WALLS SHEATHING PER CRC 703.2—INSTALL PER MANUF. INSTRUCTIONS. PROVIDE 5/8" TYPE 'X' GYPSUM BOARD EACH SIDE @ INTERIOR PARTITIONS. PROVIDE CEMENT BOARD OR TILE BACKER BOARD AT SHOWER/TUB LOCATIONS. ALL WALLS TO RECEIVE (N) PAINT FINISH. ALL CEILINGS AT TUB/SHOWERS TO BE M.R. BOARD

FEATURE WALL—THERE IS NO FOUNDATION FOR THE FEATURE WALL IN FRONT SETBACK AREA



1ST FLOOR PLAN—FRONT HOUSE 1/4" 1

FLOOR PLAN LEGEND



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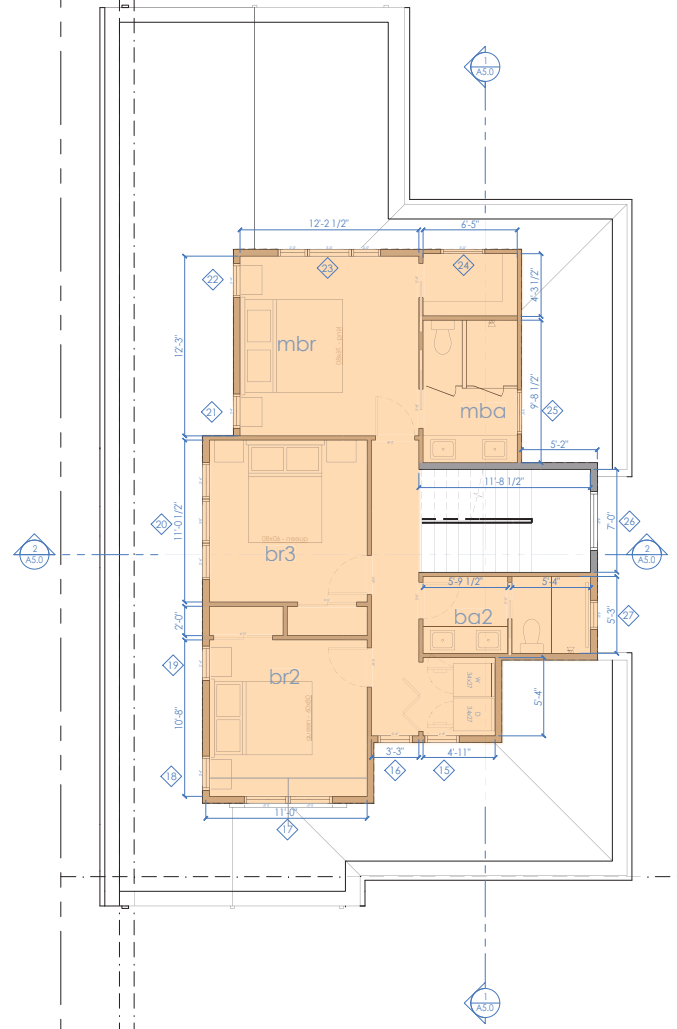
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SHEET TITLE  
**FRONT HOUSE  
SECOND FLOOR  
PLAN**



⊙

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2ND FLOOR PLAN—FRONT HOUSE 1/4" 1

FLOOR PLAN LEGEND -



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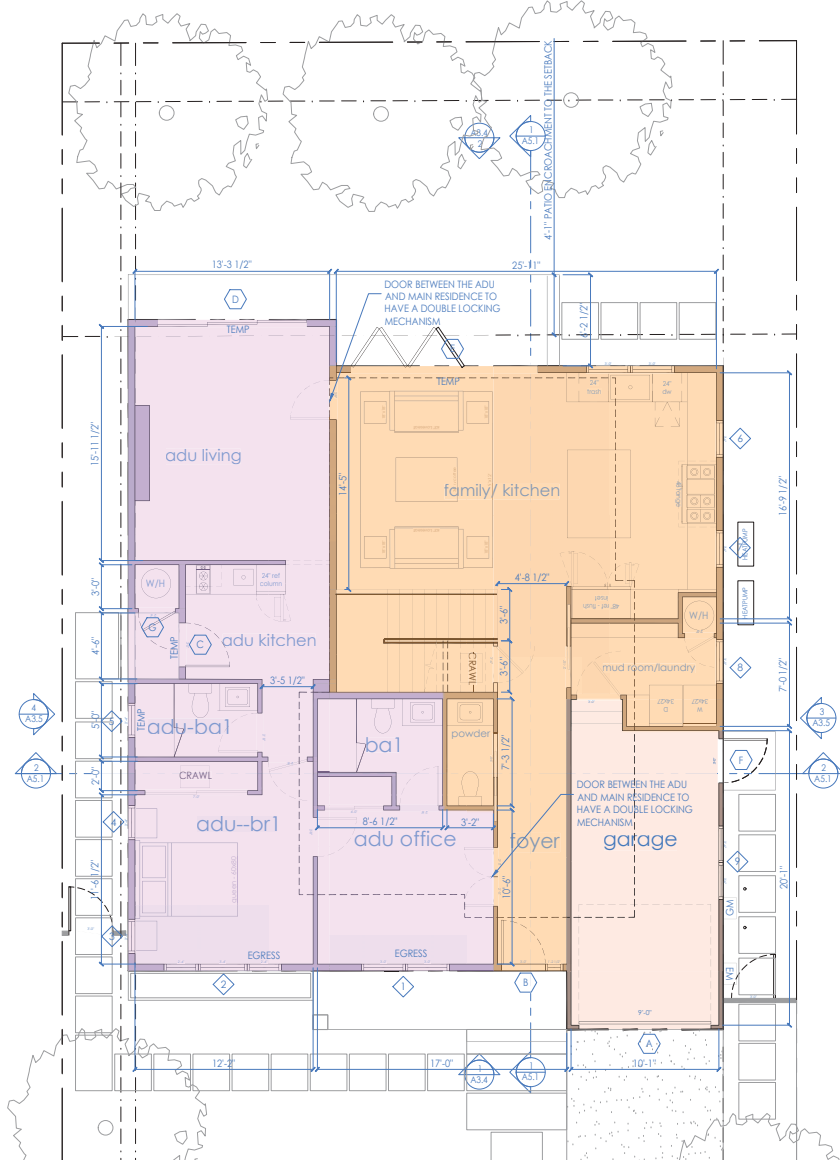
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2	2024.06.05	PLANNING RESUBMITTAL

SHEET TITLE

**REAR HOUSE  
FIRST FLOOR  
PLAN**



⊙

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1ST FLOOR PLAN--REAR HOUSE

1/4" 1

FLOOR PLAN LEGEND



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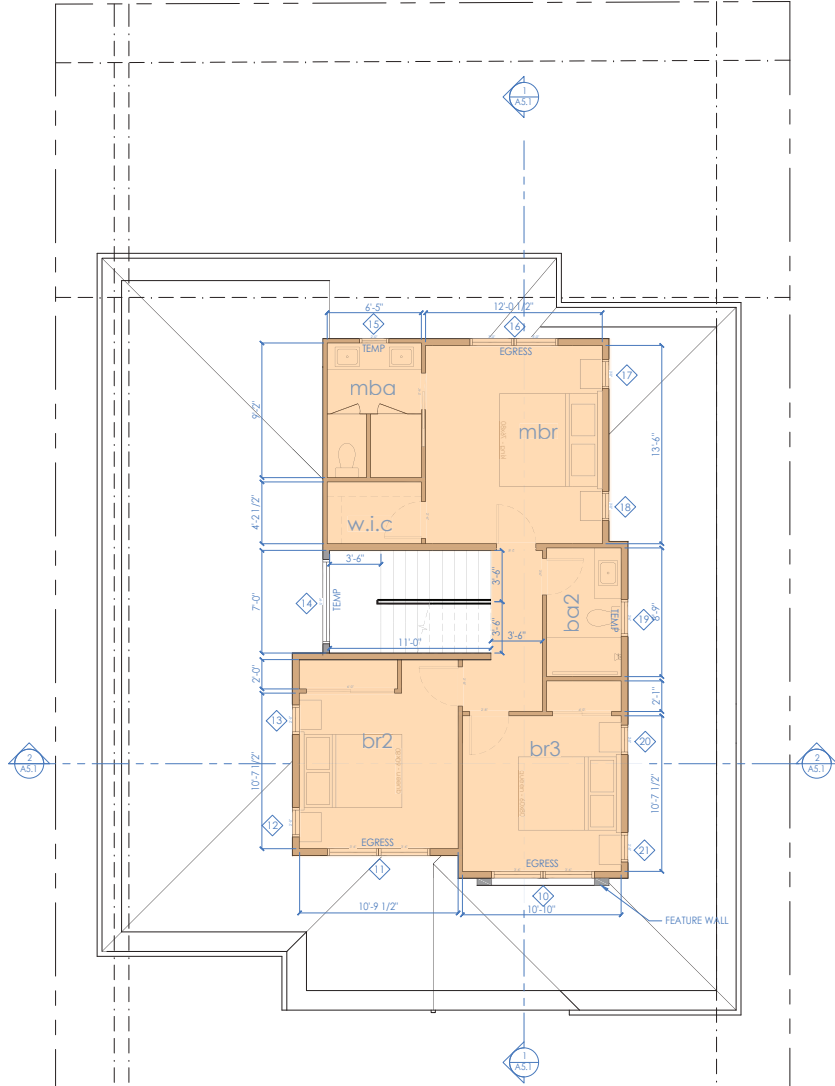
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SHEET TITLE

**REAR HOUSE  
 SECOND FLOOR PLAN**



©

- NOTE:
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2ND FLOOR PLAN--REAR HOUSE

1/4" 1

FLOOR PLAN LEGEND



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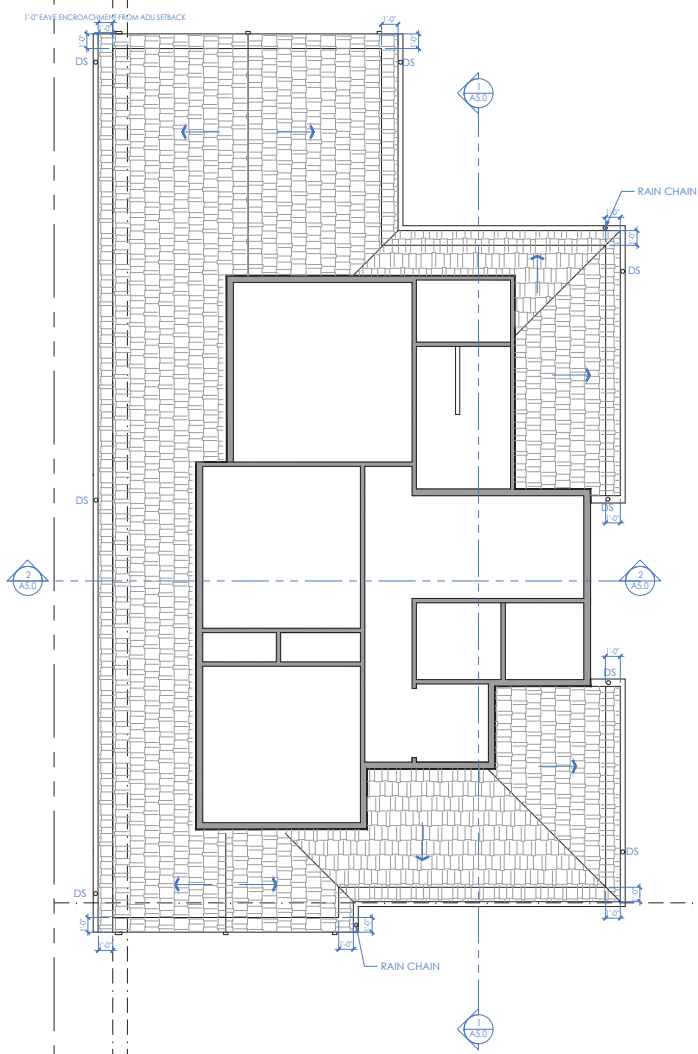
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SHEET TITLE  
**FRONT HOUSE  
LOWER  
ROOF PLAN**



ALL ROOF SLOPE TO BE 4:12 TYP.



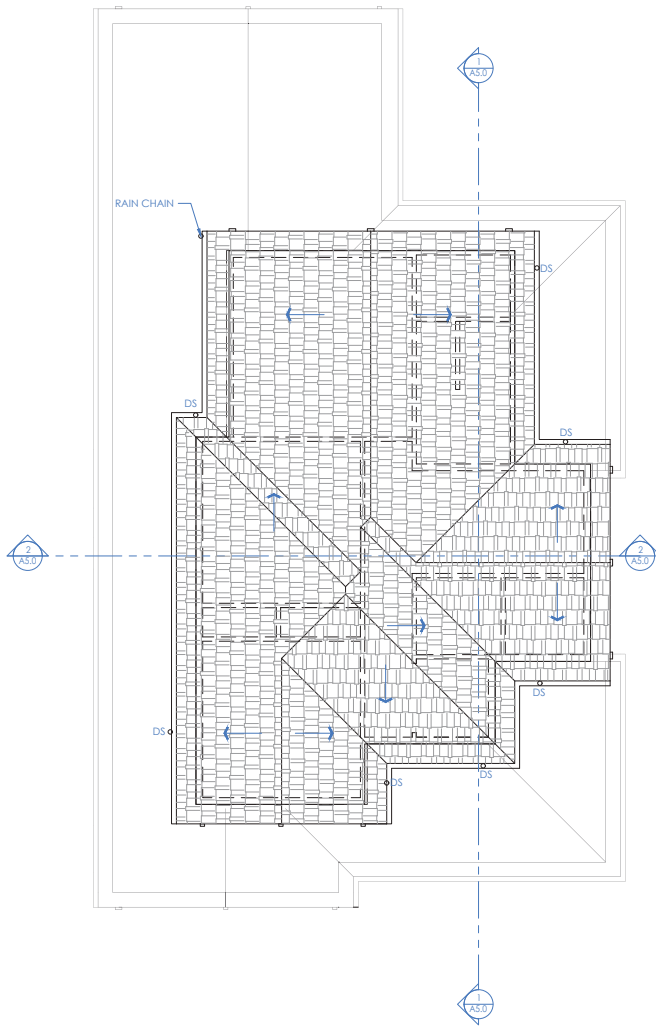
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- LINE OF BLDG. BELOW





LOWER ROOF PLAN | 1/4" | 1

ROOF PLAN LEGEND

ALL ROOF SLOPE TO BE 4:12 TYP.



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UPPER ROOF PLAN 1/4" 1

ROOF PLAN LEGEND



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SHEET TITLE  
**FRONT HOUSE  
UPPER  
ROOF PLAN**





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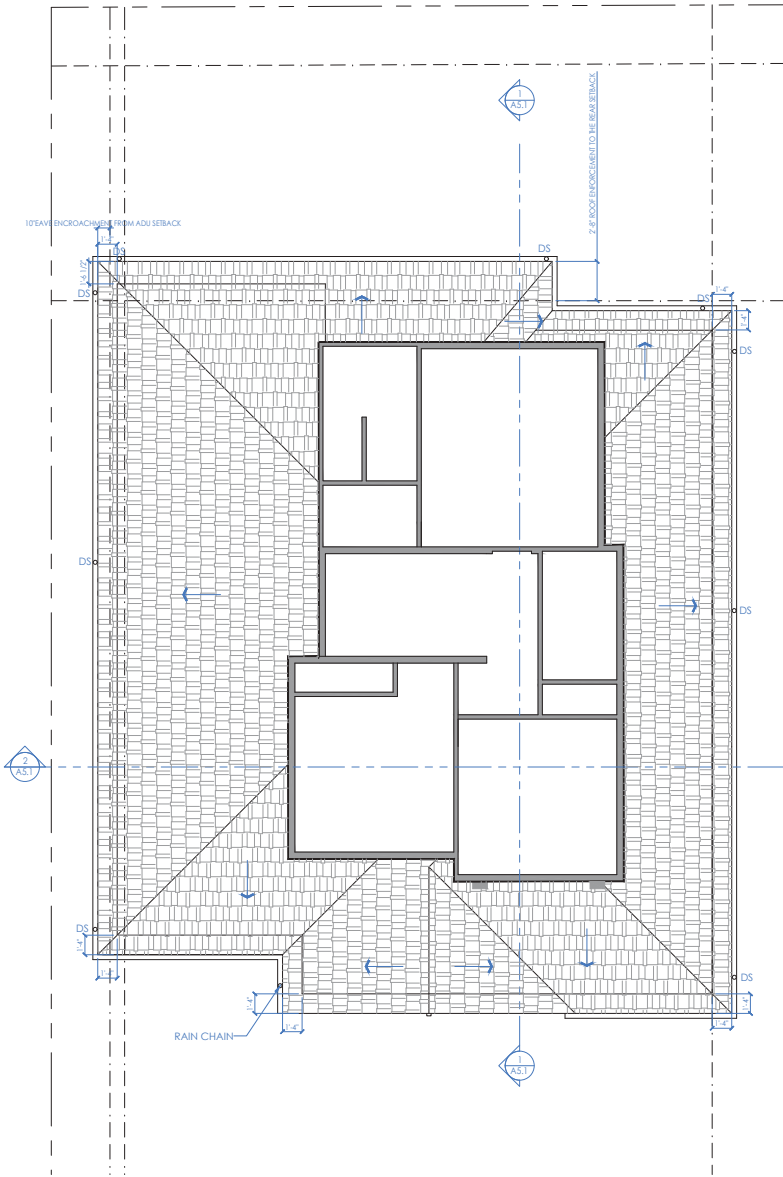
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SHEET TITLE  
**REAR HOUSE  
 LOWER  
 ROOF PLAN**



ALL ROOF SLOPE TO BE 3:12 TYP.

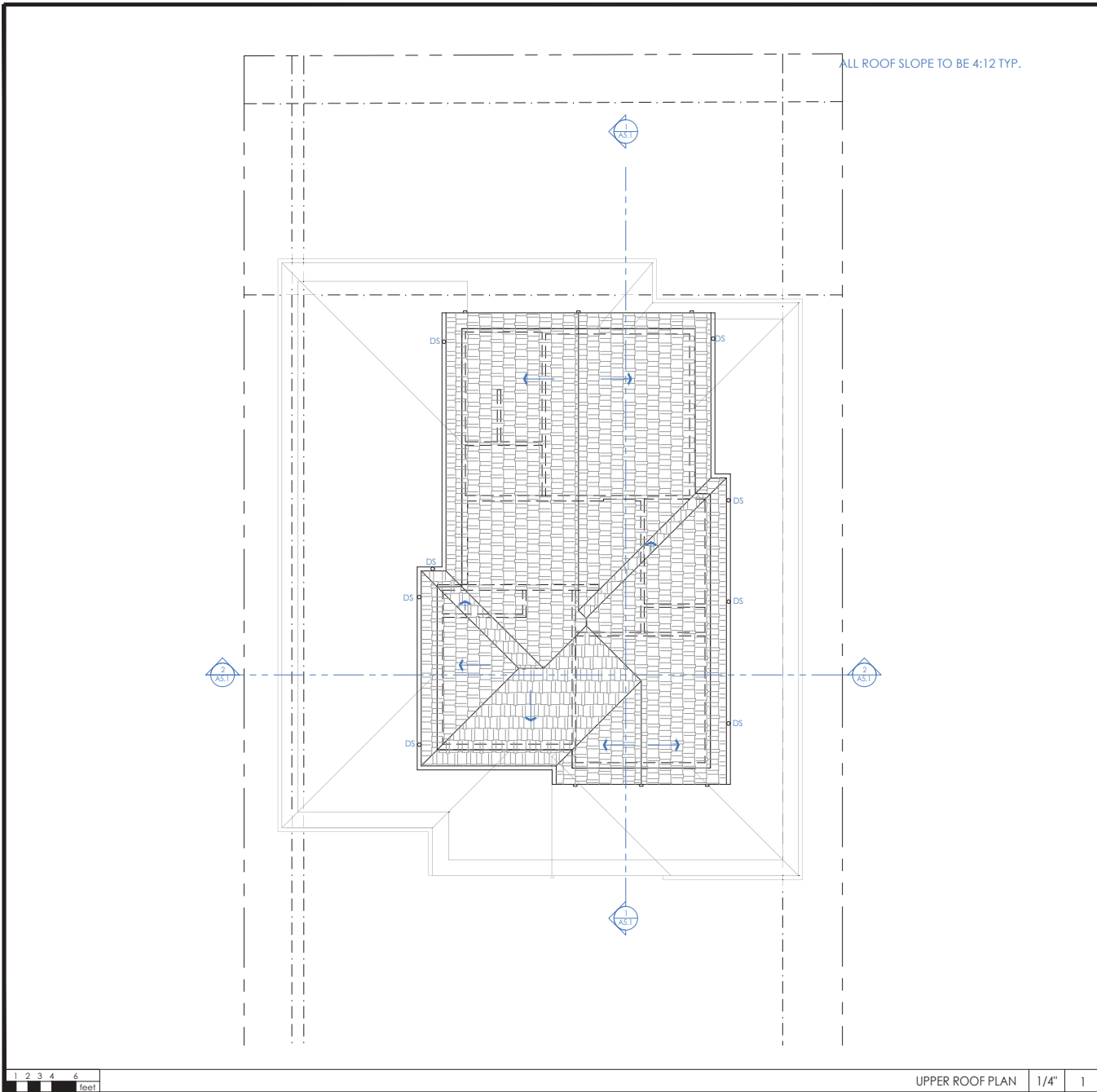


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-  --- LINE OF BLDG. BELOW



1 2 3 4 6  
 feet

LOWER ROOF PLAN 1/4" 1

ROOF PLAN LEGEND



ALL ROOF SLOPE TO BE 4:12 TYP.

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1 2 3 4 6  
feet

UPPER ROOF PLAN | 1/4" | 1

ROOF PLAN LEGEND



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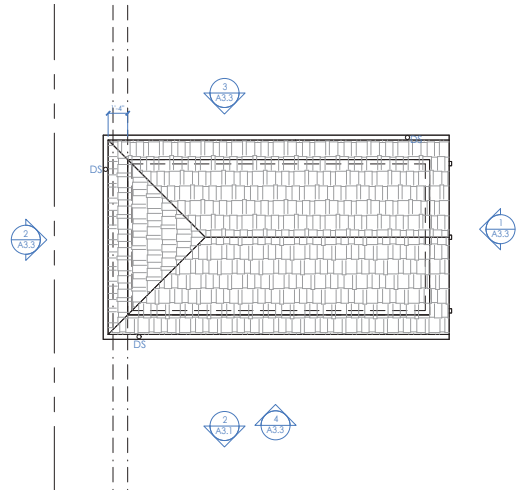
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UPPER  
ROOF PLAN**





ALL ROOF SLOPE TO BE 3:12 TYP.



ASPHALT COMPOSITION SHINGLES or 1 LAYER 15# ROOF FELT (EXCEPT FOR AT ROOF SLOPES BETWEEN 2-4:12. INSTALL 2 LAYERS) PER CRC 905.2.7--MIN. CLASS A --MANUF. CERTAINTED; STYLE: PRESIDENTIAL SHARE TL; COLOR: AUTUMN BLEND; LIFETIME EXPECTANCY--VERIFY FINAL SELECTION WITH OWNER PRIOR TO PLACING ORDER. INSTALL PER MANUF. WARRANTY INSTRUCTIONS AND ICC-ES EVALUATION REPORT #ESR-1389

DS DENOTES GUTTER DRAIN (3" DIA.) AND DOWNSPOUT (2" X 3") 26 GA ALUMINUM - PAINTED TO MATCH TRIM COLOR-- VERIFY SPEC. W/ OWNER. INSTALL PER MFR. INSTRUCTIONS

← DENOTES DIRECTION OF SLOPE FROM HIGH TO LOW--ROOF SLOPE APPROX.. REFER TO ELEVATIONS FOR MAX HT AND VERTICAL CONTROL

--- LINE OF BLDG. BELOW

FRONT HOUSE--DETACHED GARAGE ROOF PLAN

1/4" 1

ROOF PLAN LEGEND



1355 El Camin Real, Unit 527  
Redwood City, CA, 94063  
650-387-9272

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**Zadeh & Sangelaji**  
Residence  
NEW SINGLE FAMILY  
RESIDENCE+ATTACHED ADU  
ADDRESS  
736 Partridge Ave  
Menlo Park  
APN: XXX  
Owner  
Maryam Sangelaji & Ali Zadeh

DRAWN BY  
Ardalan Djalali

SIGNED BY  
*Ardalan Djalali*

REGION	DATE	DESCRIPTION
	2024.03.14	PLANNING RE SUBMITTAL
	2024.06.05	PLANNING RE SUBMITTAL

SHEET TITLE  
**DETACHED GARAGE ROOF PLAN**



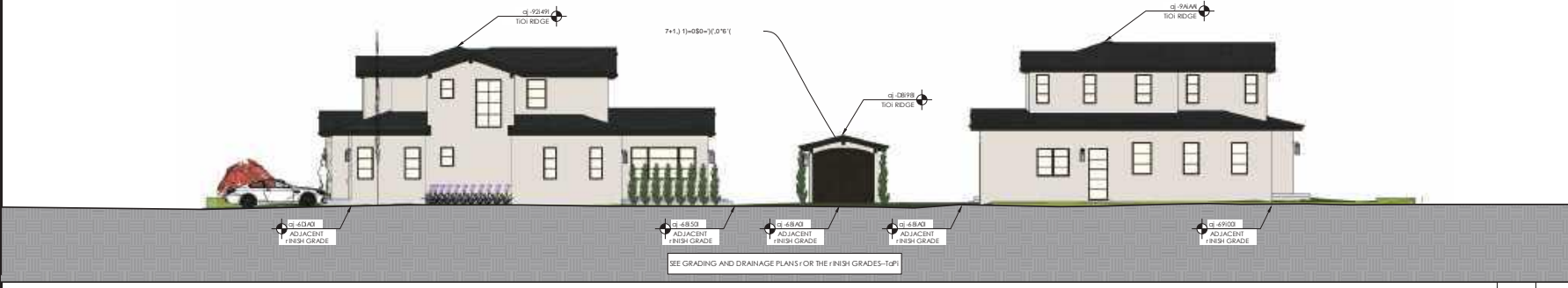
⑥ 1/8" & 1/8"1 + (1/8") > > > >	⑧ 43A
⑦ 1/8" & 1/8"1 + (1/8") > > > >	⑧ 44A
⑧ 1/8" & 1/8"1 + (1/8") > > > >	⑧ 45A
⑨ 1/8" & 1/8"1 + (1/8") > > > >	⑧ 46A



⑥ 1/8" & 1/8"1 + (1/8") > > > >	⑧ 44A
⑦ 1/8" & 1/8"1 + (1/8") > > > >	⑧ 45A
⑧ 1/8" & 1/8"1 + (1/8") > > > >	⑧ 46A
⑨ 1/8" & 1/8"1 + (1/8") > > > >	⑧ 47A



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5 '&.)' /0,1 %+& 1 3" 4



'0&.)' /0,1 %+& 1 3" !



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Zadeh and Sangelaj  
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D enl Park, CA 94025  
APN:xxx

**Owner**  
D aryam Sangelaj &  
Al Zadeh

**DRAI N Ba**  
Ardalan Djalali

**SIGNED Ba**  
Ardalan Djalali

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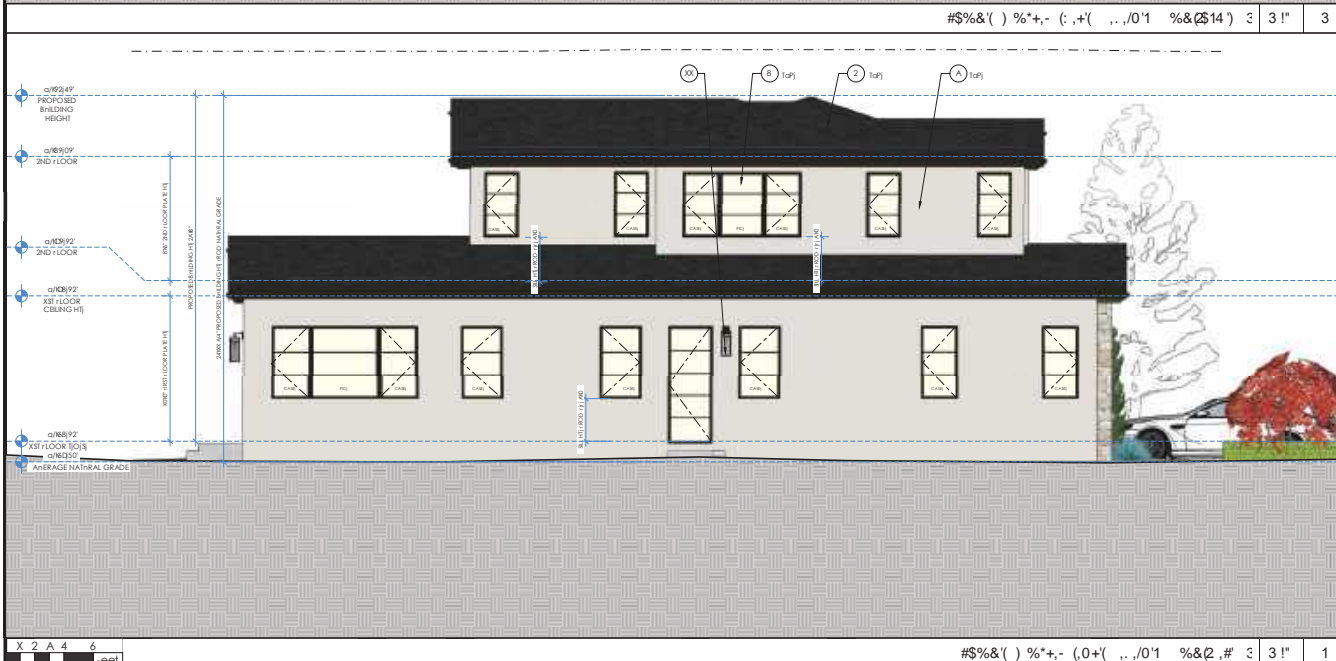
SHEET TITLE  
**LOT RECAP**







- 1 NUMBER OF EIGHTH BELT
- 2 DAYLIGHT PLANE ALSO INDICATED BY INDICATION
- 3 PAINTED STEEL TRIM ELEGANT RESISTANT CEDER PLASTER Gypsum FINISH WITH 1/8" GROUT
- 4 ADHERED LIGHT BRIGHT STONE VENEER 1-05 LB/SY AND ANHYDRIDE DORADO STONE STILE CASA BLANCA COLOR LIGHT CREAM DILLED INSTALLATION STILE DORADO STILE ANCHOR STEEL OVER STEEL 1" ANGLE SHIPPED EDGE STILE COLOR MATCH THE STONE VENEER USE POLYURETHANE ADHESIVE SETTING DORADO COLOR MATCH THE STONE VENEER PER DORADO FINISH INSTRUCTIONS ICIES EVALUATION REPORT E880225 AND DORADO INSTALLATION GUIDE FOR COORDINATE WITH STONE VENEER CONTACT TERESA HANSEN AT STONE GROUP 655.939.9949 Teresahansen@stonegroup.com OR LATH INSTALLATION PRIOR TO INSTALLING SCRATCH COAT SEAL VENEER WITH SLANE OR SLOI ANE BASED DORADO TREATMENT SUCH AS CRAYSHIELD PER DORADO INSTRUCTIONS
- 5 VENEER ANCHOR STEEL 1" ANGLE SIZE 30" STILE 1/2" ANCHOR COLOR LIGHT CREAM CLOSE TO THE EXTERIOR PLASTER FINISH COLOR MATCH PER DORADO INSTRUCTIONS AND DORADO INSTALLATION GUIDE FOR COORDINATE WITH STONE VENEER
- 6 PAINTED VENEER CEDER TRIM 2x4 1/2" 4" LEAD PAINTED SHEET METAL GUTTER VENEER GUTTER PROFILE WITH GUTTER PRIOR TO FABRICATION ROOF PLAN FOR DORADO
- 7 FINISH GRADE TO GARAGE DOOR WITH TYPICAL GLAZING PICTURE WINDOW SCHEDULE FOR DORADO
- 8 WINDOW DOOR OPENING WITH SHARED DIVIDED LITES GRIDS ON THE INTERIOR AND EXTERIOR OF THE GLASS AND A SPACER BAR BETWEEN THE PANE OF GLASS WITH WINDOW AND DOOR SCHEDULE FOR DORADO
- 9 ALUMINUM BRACKET SHAPEN INISH TO DITCH WINDOW FRAME SIZE IN FIELD
- XX ALUMINUM ARCH SHAPEN INISH TO DITCH WINDOW FRAME SIZE IN FIELD
- XX EXTERIOR LIGHT INSTALL PER DORADO INSTRUCTIONS AND ANHYDRIDE CATALINA LIGHT STILE TO ALL WINDOW DOOR ALL SCHEDULE 6" 3" 3" COLOR BRONZ
- X2 FINISHED LED ILLUMINATED ADDRESS SIGNAGE CLEARABLE ROD ADJACENT STREET HEIGHT 8" STILE WITH ANHYDRIDE BACKLIT LED ADDRESS NUMBER FINISH STAINLESS STEEL WITH GROUND PHOTO SENSOR CONNECTED TO EACH LIGHTING EACH WINDOW
- XA CRACK RESISTANT CRACK SPACE JEWEL CALCULATED FOR DORADO
- X4 HARD SCAPESITE PLAN AND FINISH FLOOR PLAN FOR DORADO
- X5 PAINTED DECORATIVE CORBEL COLOR TO BE MATCH THE STILE
- X6 DECORATIVE TRIMS AT PORCH



- 1/8" = 3/16"
- GRADE LINE  
PROPERTY LINE  
LAND FILL
- 1
- ..,0/1 %&(.4,&5(0&5(6,7&%,+ - -



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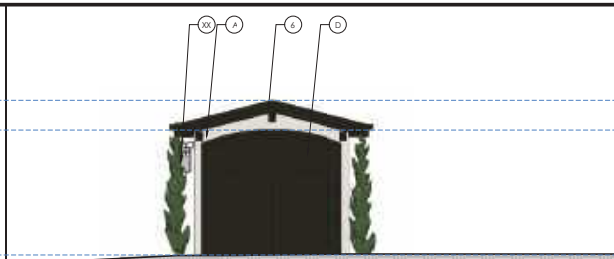
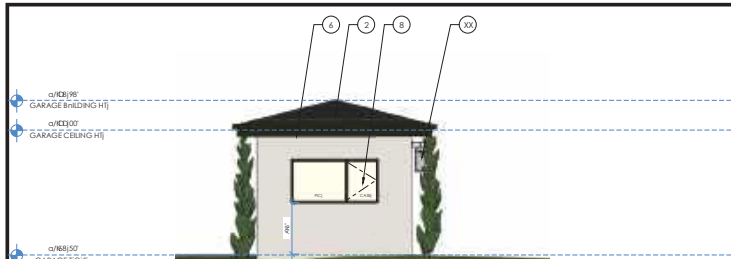
Zadeh and Sangelaj  
Rendene  
110 NE SINGLE ROAD  
RESIDENCE ATTACHED AD  
ADDRESS  
D46 Partridge Ave  
Denver Park, CA 94025  
APN:xxx  
Owner  
Daryam Sangelaj & Al Zadeh

DRAINAGE  
Ardalan Djalah  
SIGNED By

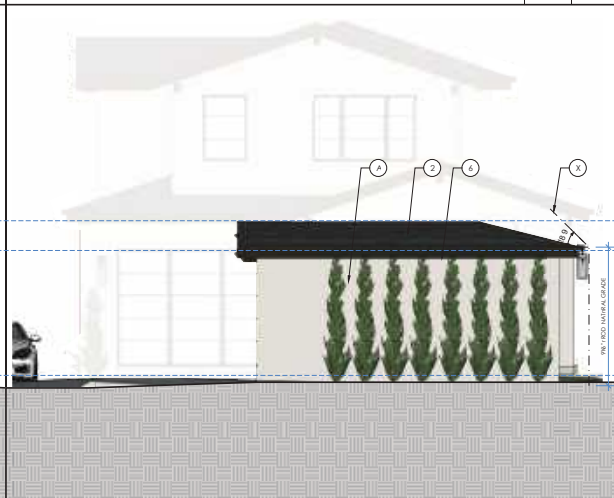
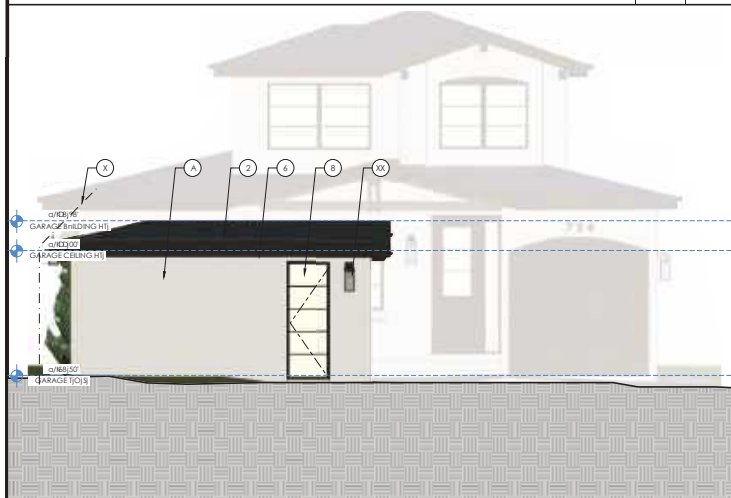
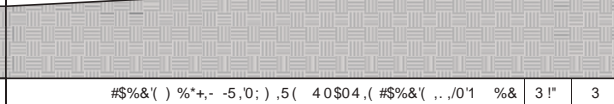
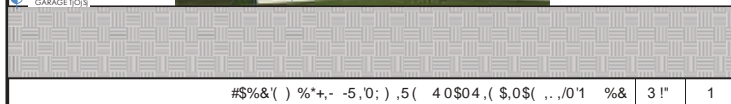
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SHEET TITLE  
nNIT X  
EXTERIOR  
ELEVATIONS

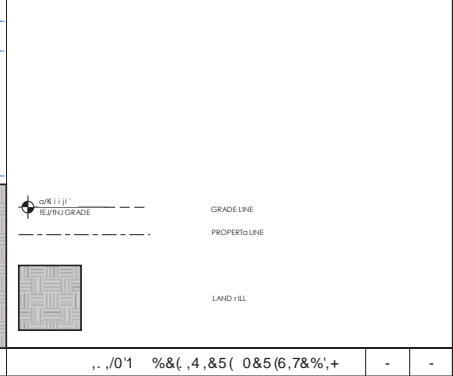
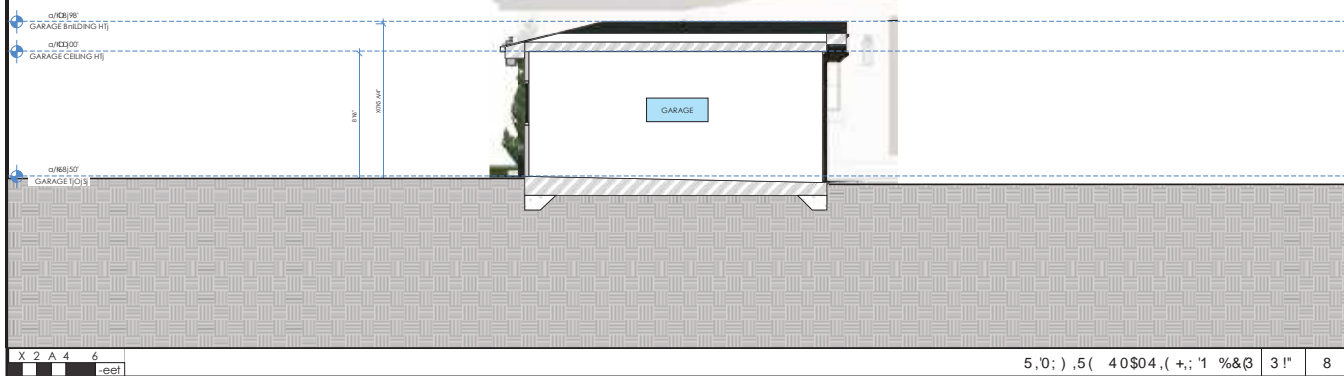
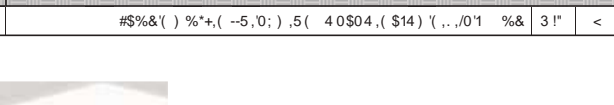
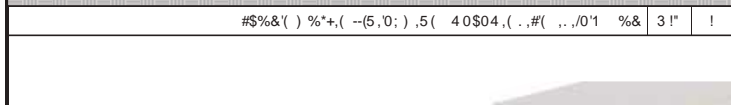




- 1 NUMBER OF EIGHTH NOTE BELOW
- X DASHED LIGHT PLANE ALSO INDICATED BY REDUCED LINE
- 2 ASPHALT COOP SINGLE ROOFING SHEET ROOF PLAN FOR DORE IN O
- A PAINTED STEEL TROILELED IGNITION RESISTANT CED ENT PLASTER SUGGESTED FINISH WITH 26 GSI 1/8" SPC SCREED HT 1" ALL BASE AT LEAST 4" ABOVE GRADE OR 2" ABOVE HARD SCAPENESS DETAILS 3" IF 1" INDICATED NOT USE DOUBLE ROLL INSTALLATION FOR BUILDING PAPER
- 4 ADHERED LIGHT BRIGHT STONE VENEER 1x5x15/16" AND ANHYDROUS ELDO RADO STONE: STYLE: CASA BLANCA; COLOR: LIGHT CREAD; DIL: INSTALLATION: STALE DROSTACI 1 ANISCOT SILL OVER STEEL 1" ANGLE SNAPPED EDGE SILL COLOR: DATCH THE STONER WITH 1/2" HIGHER FINISH POLYDERRID COVERED SETTING D ORFAL COLOR: LAICRETE DATCH THE STONER WITH 1/2" HIGHER FINISH POLYDERRID INSTRUCTIONS: ICC ESI EVALUATION REPORT ESR-2025, AND D H D A INSTALLATION GUIDE FOR COO FLUANCE 1" (IN ASD CODES) CONTACT TERESA HANSHIE AT BOBAL STONE GROUP (650) 999-9900 Teresahanshie@bbal.com OR LATH FIELD RENIE OR LATH INSTALLATION PRIOR TO INSTALLING SCRATCH COAT 1 SEAL VENEER 1" (IN SLANE OR SLOI ANE BASED D ASONING TREATMENT WHICH AS CRAW THIELD PER D ANHY INSTRUCTIONS)
- 5 VENEERSTONE 1 ANISCOT SILL OVER STEEL 1" ANGLE INSIDE X0; STYLE: HSD AM; COLOR: LIGHT CREAD CLOSE TO THE E TERROR PLASTER FINISH COLOR: INSTALL PER D ANHY INSTRUCTIONS AND D H D A INSTALLATION GUIDE FOR COO FLUANCE 1" (IN ASD CODES)
- 6 PAINTED VBER CED ENT TRID 2x40 / ASCLIA 1" (H 4" SEAD LESS PAINTED SHEET ETAL GITTER VBER GITTER PROFILE 1" (H CI NER PRIOR TO FABRICATION) SEE ROOF PLAN FOR DORE IN O
- 7 STAIN GRADE 1 COO GARAGE DOOR 1" (H TED PERED GLAZING PICTURE 1" (H CI SKEE DOOR SCHEDULE 1 FOR DORE IN O
- 8 1" (H CI DOOR OPENING 1" (H SD RELATED DIVIDED LITES; GRIDS ON THE INTERIOR AND E TERROR OF THE GLASS AND A SPACER BAR BETWEEN THE PANES OF GLASS SEE 1" (H CI AND DOOR SCHEDULES FOR DORE IN O (OPTICAL FINISH)
- 9 ALUMINUM BRACE SHAPEN FINISH TO DATCH 1" (H CI VBER VBER GITTER SIZE IN FIELD
- X0 ALUMINUM ARCH SHAPEN FINISH TO DATCH 1" (H CI VBER VBER GITTER SIZE IN FIELD
- XX E TERROR LIGHT INSTALL PER D ANHY INSTRUCTIONS AND ANHY; CATALAN LIGHT: STYLE: SD ALL CHINDOOR 1" ALL SCENCE 1" (H CI COLOR: BRONZ
- X2 FINISH DATED LED ILLUMINATED ADDRESS SIGNAGE, CLEARABLE ROD ADJACENT STREET; HEIGHT: 8" STYLE: LIND ARND BERS; BACKLIT LED ADDRESS NUMBER FINISH: STAINLESS STEEL www.aajaj.com PHOTO SENSOR CONNECTED LED BACK LIGHTING 8" EACH NUMBER
- XA CRAI LSPACE VENTISSEE CRAI LSPACE VENT CALCS ON ASX FOR DORE IN O
- X4 HARD SCAPENESS SITE PLAN AND FINISH FLOOR PLAN FOR DORE IN O
- X5 PAINTED DECORATIVE CORBEL COLOR TO BE DATCH THE ASCLIA
- X6 DECORATIVE TRUSS AT PORCH



- 1 NUMBER OF EIGHTH NOTE BELOW
- X DASHED LIGHT PLANE ALSO INDICATED BY REDUCED LINE
- 2 ASPHALT COOP SINGLE ROOFING SHEET ROOF PLAN FOR DORE IN O
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- 6 PAINTED VBER CED ENT TRID 2x40 / ASCLIA 1" (H 4" SEAD LESS PAINTED SHEET ETAL GITTER VBER GITTER PROFILE 1" (H CI NER PRIOR TO FABRICATION) SEE ROOF PLAN FOR DORE IN O
- 7 STAIN GRADE 1 COO GARAGE DOOR 1" (H TED PERED GLAZING PICTURE 1" (H CI SKEE DOOR SCHEDULE 1 FOR DORE IN O
- 8 1" (H CI DOOR OPENING 1" (H SD RELATED DIVIDED LITES; GRIDS ON THE INTERIOR AND E TERROR OF THE GLASS AND A SPACER BAR BETWEEN THE PANES OF GLASS SEE 1" (H CI AND DOOR SCHEDULES FOR DORE IN O (OPTICAL FINISH)
- 9 ALUMINUM BRACE SHAPEN FINISH TO DATCH 1" (H CI VBER VBER GITTER SIZE IN FIELD
- X0 ALUMINUM ARCH SHAPEN FINISH TO DATCH 1" (H CI VBER VBER GITTER SIZE IN FIELD
- XX E TERROR LIGHT INSTALL PER D ANHY INSTRUCTIONS AND ANHY; CATALAN LIGHT: STYLE: SD ALL CHINDOOR 1" ALL SCENCE 1" (H CI COLOR: BRONZ
- X2 FINISH DATED LED ILLUMINATED ADDRESS SIGNAGE, CLEARABLE ROD ADJACENT STREET; HEIGHT: 8" STYLE: LIND ARND BERS; BACKLIT LED ADDRESS NUMBER FINISH: STAINLESS STEEL www.aajaj.com PHOTO SENSOR CONNECTED LED BACK LIGHTING 8" EACH NUMBER
- XA CRAI LSPACE VENTISSEE CRAI LSPACE VENT CALCS ON ASX FOR DORE IN O
- X4 HARD SCAPENESS SITE PLAN AND FINISH FLOOR PLAN FOR DORE IN O
- X5 PAINTED DECORATIVE CORBEL COLOR TO BE DATCH THE ASCLIA
- X6 DECORATIVE TRUSS AT PORCH



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 APN:xxx

Owner  
 D aryam Sangelay &  
 Al Zadeh

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SIGNED Ba  
 Ardalan Djalali  
 Ardalan

REVISION	DATE	DESCRIPTION
	2024.03.14	PLANNING RESUBMITTAL
	2024.06.05	PLANNING RESUBMITTAL

SHEET TITLE  
 DETACHED GARAGE ELEVATIONS AND SECTIONS







- 1 NUMBER OF ELEVATION BELLO
- 2 DASHLIGHT PLANE AS DESIGNATED BY INDICATION
- 3 PAINTED COOL P SHINGLE ROOFING OVER ROOF PLAN FOR DORE IN O
- 4 ADHERED LIGHT: EIGHT STONE VENEER 1-05 18 1/2" X 14" ANHY; ELDO RADO STONE; STALE: CASA BLANCA; COLOR: LIGHT CREAM; D.I. ED; INSTALLATION STALE DRISTACI 1 ANSCOT SILL OVER STEEL 1" ANGLE; SNAPPED EDGE; SILL COLOR: DATCH THE STONERAWW; HIDE 1" HIG; FINISH POLAD ERK; D COVER; SETTING DOWN; COLOR: LANCERE DATCH THE STONERAWW; HIDE 1" HIG; FINISH POLAD ERK; INSTRUCTIONS, ICCES EVALUATION REPORT ESR-2025, AND D H A INSTALLATION GUIDE FOR COOL PLANCE; 1) IN ASD CODES; CONTACT TERESA HASHEE AT ROBAL STONE GROUP (650) 890-9500; Tera@arqae@b (a) m; J OR FIELD RENIE OF LATH INSTALLATION PRIOR TO INSTALLING SCRATCH COAT; SEAL VENEER 1) IN SILANE OR SLOI ANE BASED D ASONRA TREATD ENT SICH AS CRAV SHIELD PER D ANHY INSTRUCTIONS
- 5 VENEERSTONE 1 ANSCOT SILL OVER STEEL 1" ANGLE; INSZE: X0; STALE: H S0 AA; COLOR: LIGHT CREAM; CLOSE TO THE ETERIOR PLASTER FINISH COLOR; INSTALL PER D ANHY INSTRUCTIONS AND D H A INSTALLATION GUIDE FOR COOL PLANCE; 1) IN ASD CODES
- 6 PAINTED VBER CED ENT TRID 1/2" X 1/2" ASCIA 1 1TH 4" SEAD LESS PAINTED SHEET ETAL GINTERBEREY G GITTER PROFILE 1) TH CI NER PRIOR TO FABRICATION; SEE ROOF PLAN FOR DORE IN O
- 7 FINISH GRADE 1 COOL GARAGE DOOR 1) TH TED PERD GLAZING PICTURE 1) INDOT SWEEE DOOR SCHEDULE FOR DORE IN O
- 8 1) INDOT DOOR OPENING 1) TH SD ILATED DIVIDED LITES; GRIDS ON THE INTERIOR AND ETERIOR OF THE GLASS AND A SPACER BAR BEE EEN THE PANES OF GLASS; SEE 1) INDOT AND DOOR SCHEDULES FOR DORE IN O; (SICAL, FINO)
- 9 ALD HND BRAE SHAPER FINISH TO DATCH 1) INDOT FRAD ENBEREY G SIZE IN FIELD
- 10 ALD HND ARCH SHAPER FINISH TO DATCH 1) INDOT FRAD ENBEREY G SIZE IN FIELD
- 11 ETERIOR LIGHT: INSTALL PER D ANHY INSTRUCTIONS; SD ANHY; CATALINA LIGHT; STALE: SD ALL ONHDOOR 1) ALL SCENCE 1) 6" X 6" COLOR: BRONZ
- 12 FIN D ONHNTED LED ILLUMINATED ADDRESS SIGNAGE, CLEAR AND SIBLE; ROD AD SAGENT STREET; HEIGHT: 8" STALE: LND HND BRK; BACK LIT LED ADDRESS HND BRK; FINISH: STAINLESS STEEL; WARM GREY (RPI); PHOTOPHONE PHOTO SENSORS CONNECTED LED BACK LIGHTING; 8 EACH HND BRK
- 13 CRAI LSPACE VENTHSEE CRAI LSPACE VENT CALCS ON ASX FOR DORE IN O
- 14 HARD SCAPENSE SITE PLAN AND FINISH FLOOR PLAN FOR DORE IN O
- 15 PAINTED DECORATIVE CORBEL; COLOR TO BE DATCH THE ASCIA
- 16 DECORATIVE TRUSS AT PORCH



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Zadeh and Sangelaj  
Rer deni e

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APN: xxx

**Owner**  
Daryam Sangelaj &  
Al Zadeh

DRAI N Ba  
Ardalan Djajali

SIGNED Ba  
Ardalan Djajali  
*Ardalan*

REVISION	DATE	DESCRIPTION
	2024.03.14	PLANNING RESUBMITTAL
	2024.06.05	PLANNING RESUBMITTAL

SHEET TITLE  
**nNIT 2  
Ei TERIOR  
ELENTATIONS**





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Zadeh and Sangelaj  
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TI O NE SINGLE ADILO  
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Owner

D aryam Sangelaj &  
Al Zadeh

DRAI N Ba

Ardalan Djalali

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*Ardalan*

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SHEET TITLE

EXTERIOR  
PERSPECTIVES







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\$0\$)6%7&'88#'\$&#''\*,1 /)'-,\$1 %\$)\$0\$)\$1 =6 8 !



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EXTERIOR  
PERSPECTIVES





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1355 El Camin Real, Unit 527  
Redwood City, CA, 94063  
650-387-9272

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Zadeh and Sangelaj  
Rer deni e

TI O NE SINGLE ADILO  
RESIDENCE ATTACHED ADN

ADDRESS

D46 Partr dge Ave  
D enl Park, CA 94025  
APN:xxx

Owner

D aryam Sangelaj &  
Al Zadeh

DRAI N Ba

Ardalan Djalali

SIGNED Ba

*Ardalan*

REVISION	DATE	DESCRIPTION
	2024.03.14	PLANNING SUBMITTAL
	2024.06.05	PLANNING SUBMITTAL

SHEET TITLE

EXTERIOR  
PERSPECTIVES





1355 El Camin Real, Unit 527  
Redwood City, CA, 94063  
650-387-9272

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Zadeh and Sangelaj  
Residential

TI O NE SINGLE FAD ILO  
RESIDENCE ATTACHED ADN

ADDRESS

D66 Partridge Ave  
Dren Park, CA 94025  
APN:xxx

Owner

Daryam Sangelaj &  
Al Zadeh

DRAIN BOARD

Ardalan Djalali

SIGNED Ba

Ardalan

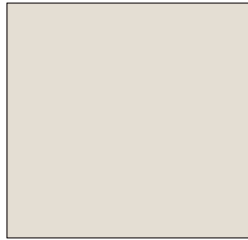
REVISION	DATE	DESCRIPTION
	2024.03.14	PLANNING RESUBMITTAL
	2024.06.05	PLANNING RESUBMITTAL

SHEET TITLE

DRAIN BOARD



ROOFING  
PRESIDENTIAL SHAKE  
SHINGLE ROOFING  
COLOR: ANTI-ICE BLEND  
www.ardalantools.com



PAINT  
SHERWIN WILLIAMS  
SW 7011  
COLOR: LIGHT CREAM  
FINISH: EXTERIOR PLASTER  
FINISH COLOR



STONE  
SHERWIN WILLIAMS  
SW 7011  
COLOR: LIGHT CREAM  
FINISH: EXTERIOR PLASTER  
FINISH COLOR



LIGHTING  
CATALINA LIGHTS  
OUTDOOR LIGHT SOURCE  
ADDRESS  
FINISH  
COLOR: BRONZE



ADDRESS SIGN  
FINISH  
COLOR: BRONZE



VERSION: 1.1  
SIZE: 10" x 30" x 1/2"  
COLOR: LIGHT CREAM  
TO THE EXTERIOR PLASTER  
FINISH COLOR



ENTRANCE DOOR  
COLOR: LIGHT CREAM  
FINISH: EXTERIOR PLASTER  
FINISH COLOR



GARAGE DOOR  
COLOR: DARK BRONZE  
FINISH: EXTERIOR PLASTER  
FINISH COLOR

#	NOMINAL SIZE WIDTH HEIGHT	DESCRIPTION	EXTERIOR DOOR SCHEDULE - FRONT HOUSE		REMARKS	
			EXTERIOR	INTERIOR		
A	3'-4"	6'-0"	SOLID WOOD, FINISH: (BENT) DOOR WITH GLAZING AND TALLER ON HANDLE ON SIDE	STAIN GRACE WOOD	STAIN GRACE WOOD	FULLY EMERGED-WEATHERSEAL
B	3'-0"	6'-0"	FULL LITE, FINISH: (BENT)	MATCH WINDOW FINISHES	MATCH WINDOW FINISHES	FULLY EMERGED-WEATHERSEAL
C	3'-0"	6'-0"	FULL LITE, FINISH: (BENT)	MATCH WINDOW FINISHES	MATCH WINDOW FINISHES	FULLY EMERGED-WEATHERSEAL
D	3'-0"	6'-0"	FULL LITE, FINISH: (BENT)	MATCH WINDOW FINISHES	MATCH WINDOW FINISHES	FULLY EMERGED-WEATHERSEAL
E	3'-0"	6'-0"	GARAGE DOOR ROLL UP	SEE MATERIAL BOARD		WEATHERSEAL
F	3'-0"	6'-0"	FULL LITE, FINISH: (BENT)	MATCH WINDOW FINISHES	MATCH WINDOW FINISHES	FULLY EMERGED-WEATHERSEAL

1. ALL INTERIOR DOORS TO BE 3/4" FINISH, FINISH DOOR FINISH GRADE.
2. ALL PAGES OF GLAZING IN DOORS TO BE FINISHED, SPACER BARS BETWEEN PAGES OF GLAZING TO BE DARK BRONZE, NOT STAINLESS STEEL.
3. DO NOT ORDER DIRECTLY OFF THE SCHEDULE, FIELD VERIFY ROUGH OPENINGS PRIOR TO PLACING ORDER, WHEN ALL ROUGH OPENINGS ARE FRAISED, NOTIFY ARCHITECT AND OWNER SO THAT A WALKTHROUGH CAN BE SCHEDULED TO REVIEW OPENING AND DOOR OPERATION PRIOR TO PLACING DOOR ORDER.

FRONT HOUSE-- DOOR SCHEDULE - 2

#	NOMINAL SIZE WIDTH HEIGHT	HEADER HEIGHT	DESCRIPTION	TYPE	WINDOW SCHEDULE - FRONT HOUSE		REMARKS
					EXTERIOR	INTERIOR	
1	3'-0"	6'-0"	6'-0" CASE	SEE EXT. ELEV.	SEE NOTE 1		
2	3'-0"	6'-0"	6'-0" CASE	SEE EXT. ELEV.	SEE NOTE 1		
3	3'-0"	6'-0"	6'-0" CASE	SEE EXT. ELEV.	SEE NOTE 1		
4	3'-0"	6'-0"	6'-0" CASE	SEE EXT. ELEV.	SEE NOTE 1		
5	3'-0"	6'-0"	6'-0" CASE	SEE EXT. ELEV.	SEE NOTE 1		
6	3'-0"	6'-0"	6'-0" CASE	SEE EXT. ELEV.	SEE NOTE 1		
7	3'-0"	6'-0"	6'-0" CASE	SEE EXT. ELEV.	SEE NOTE 1		
8	3'-0"	6'-0"	6'-0" CASE	SEE EXT. ELEV.	SEE NOTE 1		
9	3'-0"	6'-0"	6'-0" CASE	SEE EXT. ELEV.	SEE NOTE 1		
10	3'-0"	6'-0"	6'-0" CASE	SEE EXT. ELEV.	SEE NOTE 1		
11	3'-0"	6'-0"	6'-0" CASE	SEE EXT. ELEV.	SEE NOTE 1		
12	3'-0"	6'-0"	6'-0" CASE	SEE EXT. ELEV.	SEE NOTE 1	FULLY WEATHERED	
13	3'-0"	6'-0"	6'-0" CASE	SEE EXT. ELEV.	SEE NOTE 1		
14	3'-0"	6'-0"	6'-0" CASE	SEE EXT. ELEV.	SEE NOTE 1		
15	3'-0"	6'-0"	6'-0" CASE	SEE EXT. ELEV.	SEE NOTE 1		
16	3'-0"	6'-0"	6'-0" CASE	SEE EXT. ELEV.	SEE NOTE 1		
17	3'-0"	6'-0"	6'-0" CASE	SEE EXT. ELEV.	SEE NOTE 1		
18	3'-0"	6'-0"	6'-0" CASE	SEE EXT. ELEV.	SEE NOTE 1		
19	3'-0"	6'-0"	6'-0" CASE	SEE EXT. ELEV.	SEE NOTE 1		
20	3'-0"	6'-0"	6'-0" CASE	SEE EXT. ELEV.	SEE NOTE 1		
21	3'-0"	6'-0"	6'-0" CASE	SEE EXT. ELEV.	SEE NOTE 1		
22	3'-0"	6'-0"	6'-0" CASE	SEE EXT. ELEV.	SEE NOTE 1		
23	3'-0"	6'-0"	6'-0" CASE	SEE EXT. ELEV.	SEE NOTE 1		
24	3'-0"	6'-0"	6'-0" CASE	SEE EXT. ELEV.	SEE NOTE 1	FULLY WEATHERED	
25	3'-0"	6'-0"	6'-0" CASE	SEE EXT. ELEV.	SEE NOTE 1		
26	3'-0"	6'-0"	6'-0" CASE	SEE EXT. ELEV.	SEE NOTE 1		
27	3'-0"	6'-0"	6'-0" CASE	SEE EXT. ELEV.	SEE NOTE 1	FULLY WEATHERED	
28	3'-0"	6'-0"	6'-0" CASE	SEE EXT. ELEV.	SEE NOTE 1	FULLY WEATHERED	

1. WINDOW MANUFACTURER: ALL WINDOWS TO BE ALUMINUM ALL WEATHER SERIES AND OF EQUIVALENT WITH SCREEN AT OPERABLE WINDOW UNLESS CASEMENT WINDOWS TO BE PUSH-OUT OF BRANCH, GLAZING TO BE DARK BRONZE AND INTERIOR TO BE DARK BRONZE FROM-YEARLY WINDOW MANUFACTURER AND COLIDE WITH FINISH PRIOR TO PLACING ORDER.

FRONT HOUSE-- WINDOW SCHEDULE - 1

#	NOMINAL SIZE WIDTH HEIGHT	DESCRIPTION	EXTERIOR DOOR SCHEDULE - REAR HOUSE		REMARKS	
			EXTERIOR	INTERIOR		
A	3'-4"	6'-4"	GARAGE DOOR ROLL UP	SEE MATERIAL BOARD		
B	3'-4"	6'-4"	SOLID WOOD, FINISH: (BENT) DOOR WITH GLAZING AND TALLER ON HANDLE ON SIDE	STAIN GRACE WOOD	STAIN GRACE WOOD	FULLY EMERGED-WEATHERSEAL
C	3'-4"	6'-4"	FULL LITE, FINISH: (BENT)	MATCH WINDOW FINISHES	MATCH WINDOW FINISHES	FULLY EMERGED-WEATHERSEAL
D	3'-4"	6'-4"	FULL LITE, FINISH: (BENT)	MATCH WINDOW FINISHES	MATCH WINDOW FINISHES	FULLY EMERGED-WEATHERSEAL
E	3'-4"	6'-4"	FULL LITE, FINISH: (BENT)	MATCH WINDOW FINISHES	MATCH WINDOW FINISHES	FULLY EMERGED-WEATHERSEAL
F	3'-4"	6'-4"	FULL LITE, FINISH: (BENT)	MATCH WINDOW FINISHES	MATCH WINDOW FINISHES	FULLY EMERGED-WEATHERSEAL
G	3'-4"	6'-4"	FULL LITE, FINISH: (BENT)	MATCH WINDOW FINISHES	MATCH WINDOW FINISHES	FULLY EMERGED-WEATHERSEAL

1. ALL INTERIOR DOORS TO BE 3/4" FINISH, FINISH DOOR FINISH GRADE.
2. ALL PAGES OF GLAZING IN DOORS TO BE FINISHED, SPACER BARS BETWEEN PAGES OF GLAZING TO BE DARK BRONZE, NOT STAINLESS STEEL.
3. DO NOT ORDER DIRECTLY OFF THE SCHEDULE, FIELD VERIFY ROUGH OPENINGS PRIOR TO PLACING ORDER, WHEN ALL ROUGH OPENINGS ARE FRAISED, NOTIFY ARCHITECT AND OWNER SO THAT A WALKTHROUGH CAN BE SCHEDULED TO REVIEW OPENING AND DOOR OPERATION PRIOR TO PLACING DOOR ORDER.

REAR HOUSE -- DOOR SCHEDULE - 2

#	NOMINAL SIZE WIDTH HEIGHT	HEADER HEIGHT	DESCRIPTION	TYPE	WINDOW SCHEDULE - REAR HOUSE		REMARKS
					EXTERIOR	INTERIOR	
1	3'-0"	6'-0"	6'-0" CASE	SEE EXT. ELEV.	SEE NOTE 1		
2	3'-0"	6'-0"	6'-0" CASE	SEE EXT. ELEV.	SEE NOTE 1		
3	3'-0"	6'-0"	6'-0" CASE	SEE EXT. ELEV.	SEE NOTE 1		
4	3'-0"	6'-0"	6'-0" CASE	SEE EXT. ELEV.	SEE NOTE 1		
5	3'-0"	6'-0"	6'-0" CASE	SEE EXT. ELEV.	SEE NOTE 1		
6	3'-0"	6'-0"	6'-0" CASE	SEE EXT. ELEV.	SEE NOTE 1		
7	3'-0"	6'-0"	6'-0" CASE	SEE EXT. ELEV.	SEE NOTE 1		
8	3'-0"	6'-0"	6'-0" CASE	SEE EXT. ELEV.	SEE NOTE 1		
9	3'-0"	6'-0"	6'-0" CASE	SEE EXT. ELEV.	SEE NOTE 1		
10	3'-0"	6'-0"	6'-0" CASE	SEE EXT. ELEV.	SEE NOTE 1		
11	3'-0"	6'-0"	6'-0" CASE	SEE EXT. ELEV.	SEE NOTE 1		
12	3'-0"	6'-0"	6'-0" CASE	SEE EXT. ELEV.	SEE NOTE 1		
13	3'-0"	6'-0"	6'-0" CASE	SEE EXT. ELEV.	SEE NOTE 1		
14	3'-0"	6'-0"	6'-0" CASE	SEE EXT. ELEV.	SEE NOTE 1		
15	3'-0"	6'-0"	6'-0" CASE	SEE EXT. ELEV.	SEE NOTE 1		
16	3'-0"	6'-0"	6'-0" CASE	SEE EXT. ELEV.	SEE NOTE 1	FULLY WEATHERED	
17	3'-0"	6'-0"	6'-0" CASE	SEE EXT. ELEV.	SEE NOTE 1		
18	3'-0"	6'-0"	6'-0" CASE	SEE EXT. ELEV.	SEE NOTE 1		
19	3'-0"	6'-0"	6'-0" CASE	SEE EXT. ELEV.	SEE NOTE 1		
20	3'-0"	6'-0"	6'-0" CASE	SEE EXT. ELEV.	SEE NOTE 1	FULLY WEATHERED	
21	3'-0"	6'-0"	6'-0" CASE	SEE EXT. ELEV.	SEE NOTE 1		

1. WINDOW MANUFACTURER: ALL WINDOWS TO BE ALUMINUM ALL WEATHER SERIES AND OF EQUIVALENT WITH SCREEN AT OPERABLE WINDOW UNLESS CASEMENT WINDOWS TO BE PUSH-OUT OF BRANCH, GLAZING TO BE DARK BRONZE AND INTERIOR TO BE DARK BRONZE FROM-YEARLY WINDOW MANUFACTURER AND COLIDE WITH FINISH PRIOR TO PLACING ORDER.

REAR HOUSE -- WINDOW SCHEDULE - 1



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Redwood City, CA, 94063  
650-387-9272

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Zadeh & Sangelaji  
Residence  
NEW SINGLE FAMILY  
RESIDENCE-ATTACHED ADU  
ADDRESS  
736 Partridge Ave  
Menlo Park  
APN: XXX  
Owner  
Maryam Sangelaji & Ali Zadeh

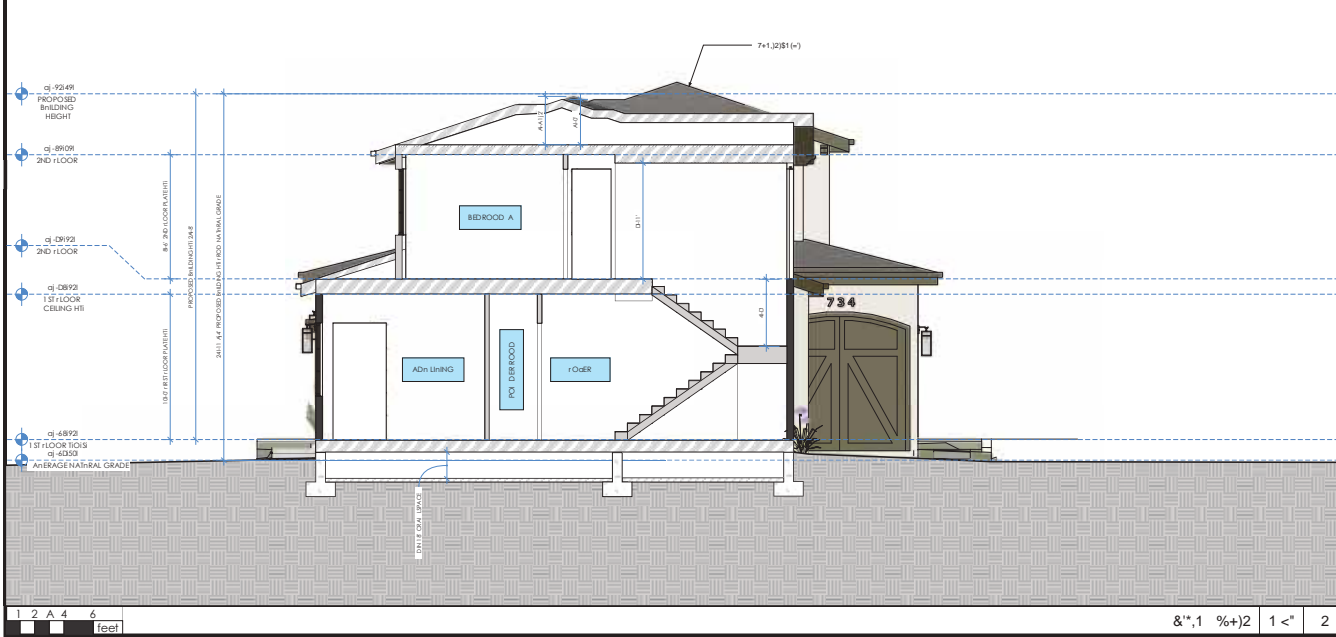
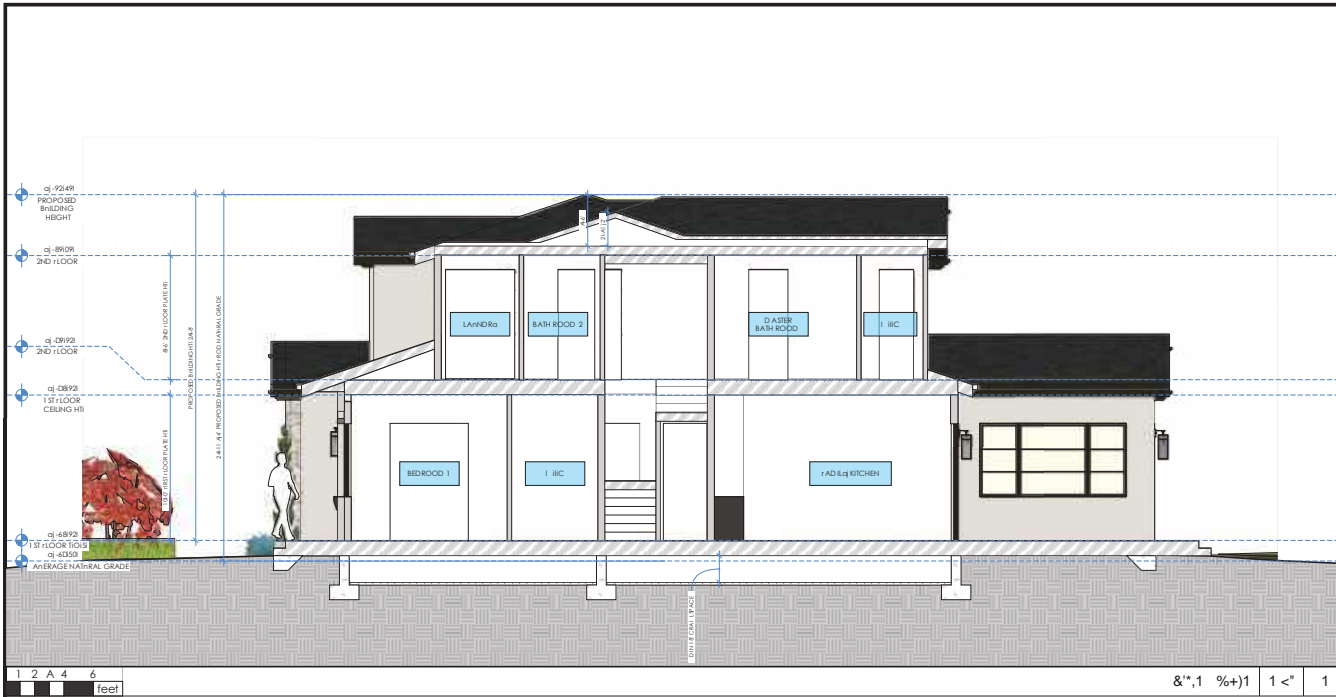
DRAWN BY  
Ardalan Djalali

SIGNED BY  
Ardalan Djalali

REVISION	DATE	DESCRIPTION
	2024.03.14	PLANNING SUBMITTAL
	2024.06.05	PLANNING SUBMITTAL

SHEET TITLE  
WINDOW & DOOR SCHEDULE





- NOTES:
- 1) SEE 03 A01 (a) FOR PLUMBING GENERAL NOTES
  - 2) SEE A4 A01 (a) FOR MECHANICAL GENERAL NOTES
  - 3) SEE A4 A01 (a) FOR ELECTRICAL GENERAL NOTES
  - 4) SEE A4 A01 (a) FOR PLAN AND INTERIOR GENERAL NOTES
  - 5) SEE TITLE 24 FOR INSULATION NOTES

&\*,1 %+)2 1 <' 2'      &\*,1 %+)2 1 <' 2'      8      8



1355 El Camin Real, Unit 527  
Redwood City, CA, 94063  
650-387-9272

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Zadeh and Sangelaj  
Residential  
TI ONE SINGLE ATTACHED ADJ  
RESIDENCE ATTACHED ADJ  
ADDRESS  
D46 Partridge Ave  
Denville Park, CA 94025  
APN: xxx

Owner  
Daryam Sangelaj & Al Zadeh

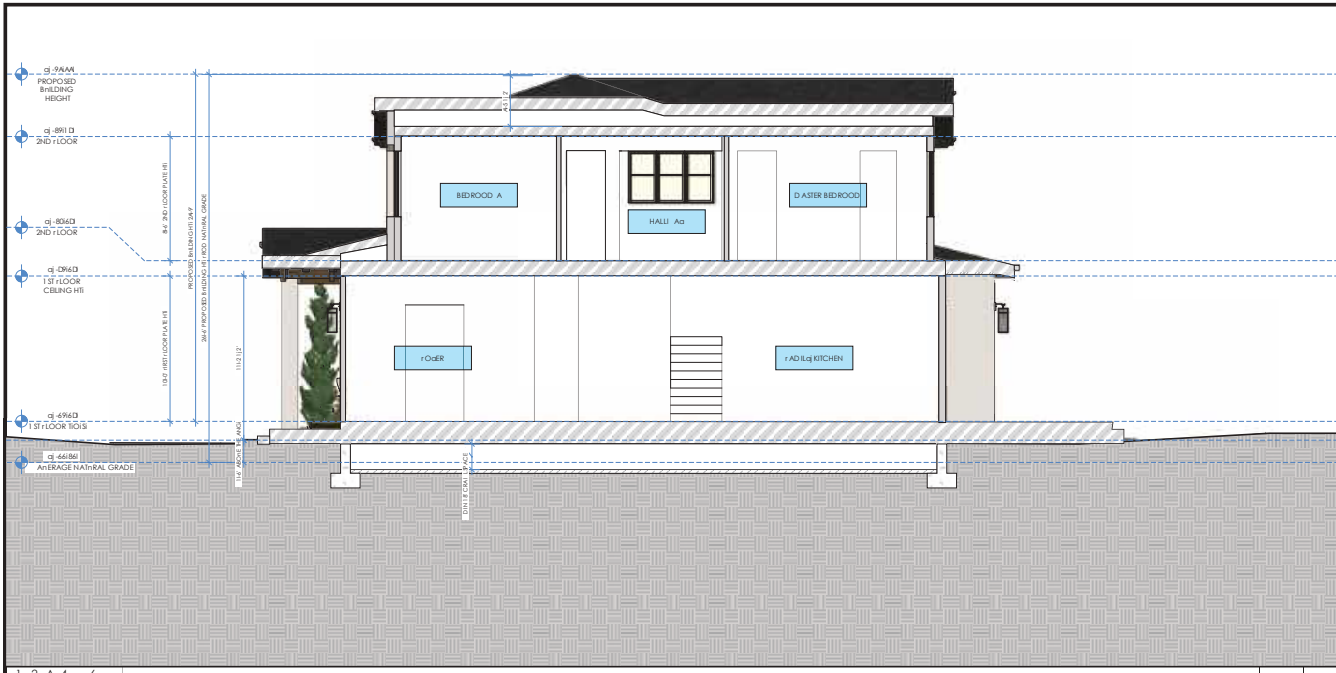
DRAWN BY  
Ardalan Djajali

SIGNED BY  
Ardalan Djajali

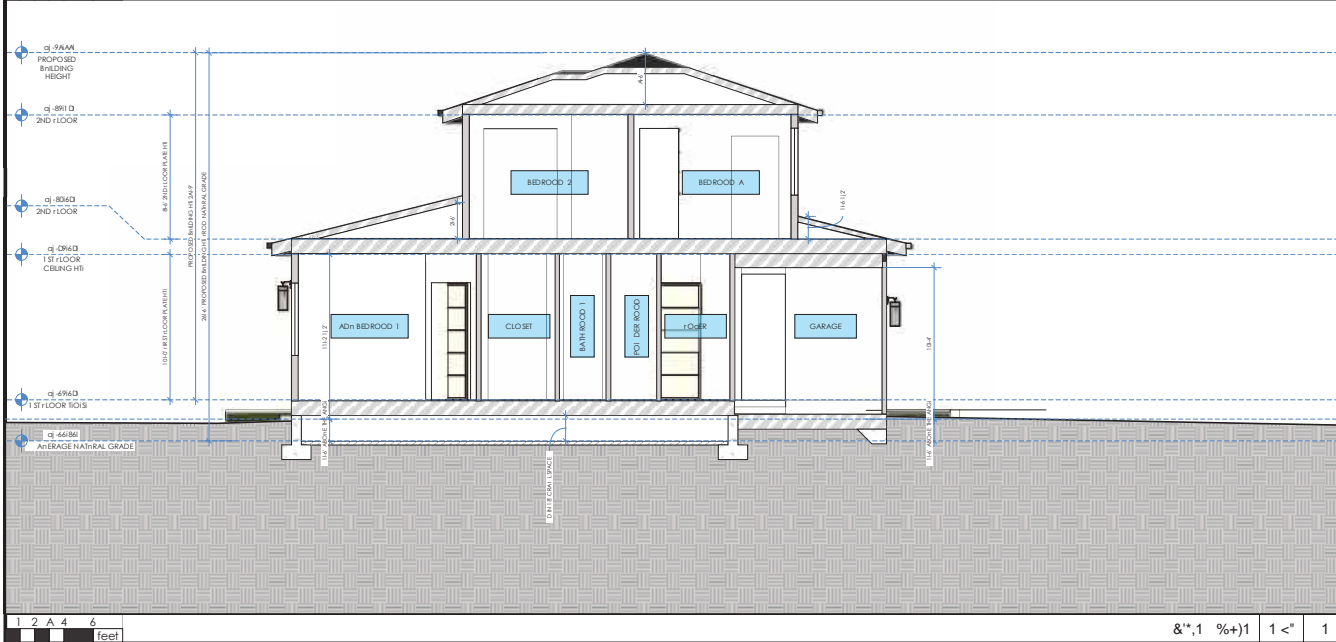
REVISION	DATE	DESCRIPTION
	2024.03.14	PLANNING RESUBMITTAL
	2024.06.05	PLANNING RESUBMITTAL

SHEET TITLE  
nNIT 1  
SECTIONS





1 2 A 4 6 feet &"+,1 %+"1 1 <" 1



1 2 A 4 6 feet &"+,1 %+"1 1 <" 1

7 NHD BER OF KEYNOTE BELOW

- NOTES:
- 1) SEE 3) A01 (a) FOR PLUMBING GENERAL NOTES
  - 2) SEE 4) A01 (a) FOR MECHANICAL GENERAL NOTES
  - 3) SEE 4) A01 (a) FOR ELECTRICAL GENERAL NOTES
  - 4) SEE 4) A01 (a) FOR PLAN AND INTERIOR GENERAL NOTES
  - 5) SEE TITLE 24 FOR INSULATION NOTES

&"+,1 %+"1 1 <" 1 &"+,1 %+"1 1 <" 1 8 8



1355 El Camin Real, Unit 527  
Redwood City, CA, 94063  
650-387-9272

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Zadeh and Sangelaj  
Redwood City

TI O N E SINGLE F A D I L O  
RESIDENCE ATTACHED ADN

ADDRESS  
D46 Partridge Ave  
Denville Park, CA 94025  
APN:xxx

Owner  
Daryam Sangelaj &  
Al Zadeh

DRAWN BY  
Ardalan Djalali

SIGNED BY  
Ardalan Djalali

REVISION	DATE	DESCRIPTION
	2024.03.14	PLANNING SUBMITTAL
	2024.06.05	PLANNING SUBMITTAL

SHEET TITLE  
nNIT 2  
SECTIONS





1355 El Camin Real, Unit 527  
 Redwood City, CA, 94063  
 650-387-9272

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**Zadeh & Sangelaji**  
 Residence  
 NEW SINGLE FAMILY  
 RESIDENCE+ATTACHED ADU  
 ADDRESS  
 736 Partridge Ave  
 Menlo Park  
 APN: XXX  
 Owner  
 Maryam Sangelaji &  
 Ali Zadeh

**DRAWN BY**  
 Ardalan Djalali

**SIGNED BY**  
 Ardalan Djalali

REVISION	DATE	DESCRIPTION
	2024.03.14	PLANNING SUBMITTAL
	2024.06.05	PLANNING SUBMITTAL

SHEET TITLE  
**FIRE DEPARTMENT**  
**COA**





**Menlo Park Fire Protection District**  
**Fire Prevention Bureau**  
 170 Middlefield Blvd  
 Menlo Park, CA 94025  
 Website: [www.menlofire.org](http://www.menlofire.org)

Date: June 11, 2024  
 Applicant: Ardalan Djalali  
 Phone: (650) 387-9272

Project: Two New SFD's with ADU attached to each SFD.  
 Address: 734-736 Partridge Ave  
 City: Menlo Park

Accepted:  W/Conditions (Version: MFR24.00.0) Scope: Planning File Review - New SFD's

Reviewed by: Smart Building, William Seane

The project is to comply with the 2022 CA Building - Fire Codes and local amendments. The following plan review comments are applicable to this submission:

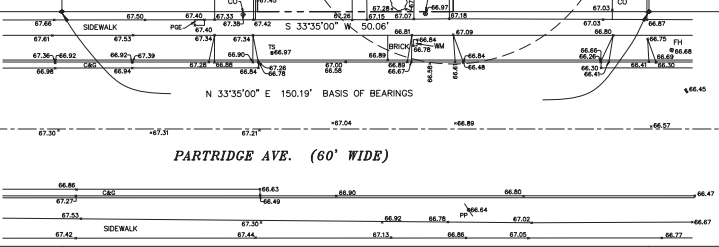
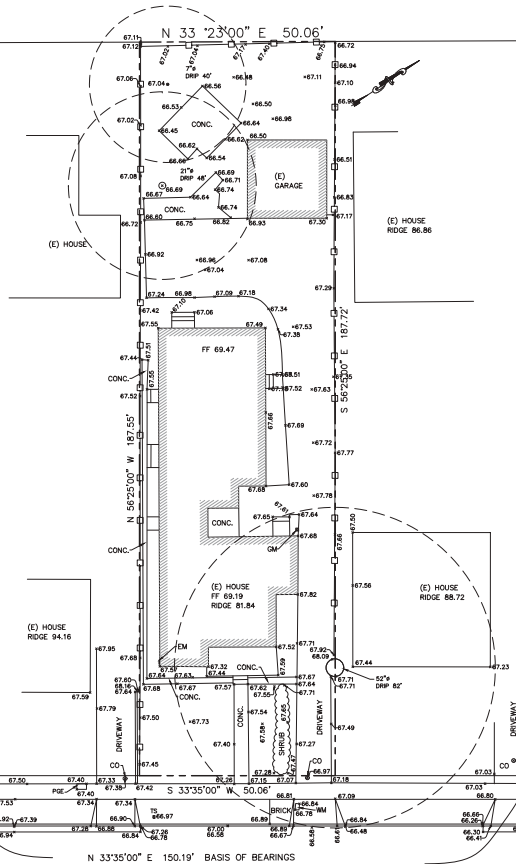
**Water Supply & Access:**

1. Water supply and access requirements have been addressed.
2. Two New SFD's with Attached ADU's:
  - a. Install a MFR 11-0 fire sprinkler system for each SFD (two separate sprinkler systems) under two separate fire points. Fire sprinkler systems comply with Menlo Park Fire Protection District Standards. A single fire suppression system shall protect the ADU and main home.
  - b. Recessed fire sprinkler shall have an in-race alarm actuated by the fire, which that is audible in all sleeping areas.
  - c. Fire flow data is represented at time of deficient substance for the fire suppression systems.
  - d. Recessed smoke detectors in each sleeping area and the one outside sleeping areas. In-race carbon monoxide detector in each sleeping area. Smoke and carbon monoxide detectors shall be hardwired and inter-connected for alarm.
  - e. The applicant shall provide at least 8 inch tall white 1 inch stroke directional address numbers for each SFD. The address shall be visible from the street and contrasting to its background. Address numbers shall be maintained.
  - f. Approval plans and approval letter must be on site at the time of inspection.
  - g. Final acceptance of this project is subject to field inspection.

Upon completion of work and prior to closing ceiling, contact Deputy Fire Marshal Bob Blanch of the Menlo Park Fire Protection District at 650-688-8400 to schedule a final inspection. 48 HOURS NOTICE IS REQUIRED FOR ALL INSPECTIONS.

Nothing in this notice is intended as a limitation or waiver, or assumption of the danger or limitation which do not strictly comply with all applicable codes and standards. Menlo Park Fire Protection District is not responsible for subsequent errors or omissions pertaining to this notice and no subsequent field inspection(s) i.e., additional comments may be added through subsequent drawing review or field inspection. Please call with any questions.

NOTE:  
THE SIZE OF THE TREE DRIP-LINES ARE APPROXIMATELY.



LEGEND

- STREET CENTERLINE
- - - - - PROPERTY LINE
- - □ - □ WOOD FENCE
- WM WATER METER
- GM GAS METER
- EM ELECTRIC METER
- PP POWER POLE
- SSMH SANITARY SEWER MANHOLE
- FH FIRE HYDRANT
- C&G CURB & GUTTER
- WATER VALVE
- FOUND IRON PIPE
- CO SEWER CLEANOUT

SURVEYOR'S STATEMENT:

I CERTIFY THAT THIS PARCEL'S BOUNDARY WAS ESTABLISHED BY ME OR UNDER MY SUPERVISION AND IS BASED ON A FIELD SURVEY IN CONFORMANCE WITH THE LAND SURVEYOR'S ACT. ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

*Sarkiss Parviri*  
SARKISS PARVIRI, PLS 8261



DISCLAIMER:

SMP ENGINEERS OR ITS OFFICERS OR AGENTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ELECTRONIC COPIES OF THIS PLAN.

NOTE:

THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY. UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2444). SURFACE FEATURES ARE LOCATED BY MEANS OF A STATION AND OFFSET FROM THE CONTROL LINE.

BASIS OF BEARINGS:

THE BEARING N 33°35'00" E OF THE NORTHWESTERLY LINE OF PARTRIDGE AVE., AS SHOWN UPON CERTAIN PARCEL MAP, RECORDED IN BOOK 72 OF PARCEL MAPS, AT PAGE 69, SAN MATEO COUNTY RECORDS, WAS USED AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

PROJECT BENCHMARK:

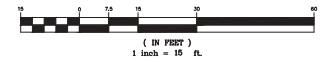
REFERENCED CITY OF MENLO PARK BM:  
BENCHMARK #7 EL: 65.71' (NAVD88)

NOTES:

1. ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMALS THEREOF.
2. THE GROSS AREA OF LAND OF RECORD IS 9,392.99 SQ. FT. ±.
3. THE MAP WAS BASED ON A GRANT DEED DOC.# 8831 BY CHICAGO TITLE CO. DATED 02/28/2003, RECORDED IN SAN MATEO COUNTY.
4. ALL EXISTING BUILDINGS ARE WOOD.
5. FOR PRECISE SPECIES OF TREES A CERTIFIED ARBORIST SHALL BE CONSULTED.
6. THIS DRAWING REPRESENTS A TOPOGRAPHIC SURVEY PREPARED IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYORS ACT. THE PROPERTY LINES SHOWN HEREON ARE COMPILED FROM RECORD DATA AND REPRESENT THE BEST GRAPHICAL FIT BETWEEN RECORD INFORMATION AND THE TOPOGRAPHICAL FEATURES SURVEYED AND SHOULD NOT BE RELIED UPON OR USED FOR ANY OTHER PURPOSES.

SCALE 1" = 15'

GRAPHIC SCALE



736 PARTRIDGE AVE.  
MENLO PARK, CA 94025  
APN: 071-412-370



**SMP ENGINEERS**  
CIVIL ENGINEERS - LAND SURVEYORS  
1534 Carob Lane Los Altos, CA 94024  
Tel. (650) 941-8055 Fax (650) 941-8755

Scale: 1" = 15'  
Prepared by: S.P.  
Checked by: S.P.  
Date: 08/25/2023  
Project No: 223063

PRELIMINARY BOUNDARY AND TOPOGRAPHIC SURVEY MAP

Sheet No:

T-1

NO.	REVISIONS	DESIGN BY	DESIGN DATE	CITY APPR.	APPR. DATE

CITY OF MENLO PARK



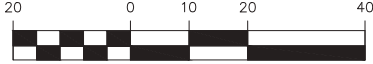
**LEGEND AND ABBREVIATIONS**

- DISTINCTIVE BORDER LINE
- BUILDING SETBACK LINE
- 1ST FLOOR FOOTPRINT
- OTHER LOTS PROPERTY LINE

ABBREVIATIONS	
DESCRIPTION	DESCRIPTION
AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
AD	AREA DRAIN
BC	BACK OF CURB
BDL	BACKFLOW PREVENTOR
BW	BOTTOM OF WALL
C&G	CURB AND GUTTER
C/L	CENTERLINE
CLSW	CENTERLINE SWALE
CP	CLEANOUT
CP	CONTROL POINT
D-S	DROP INLET
D/L	DOWN-SPOUT
DWT	DRIVEWAY
ELECT	ELECTRIC
EP	EDGE OF PAVEMENT ELEVATION
EUC	EUCALYPTUS TREE
EX	EXISTING
FF	FINISH FLOOR
FG	FINISH GRADE
FL	FIRE HYDRANT
FL	FLORLINE
FNC	FENCE
FB	FACE OF CURB
GB	GRADE BREAK
HP	HIGH POINT
HPE	HIGH-DENSITY POLYETHYLENE
HW	INVERT
JB	JOINT BOX (UTILITY)
LP	LIP OF GUTTER
LND	LANDING
LP	LOW POINT
N	NON
OC	ORIGINAL GROUND
P&A	PULL BOX
P&A	POSSIBLE WALL
P&A	PROPERTY LINE
PP	POWER POLE
PPP	PLASTIC PERFORATED PIPE
PVC	POLYVINYL CHLORIDE
R/W	RIGHT OF WAY
RCP	REINFORCED CONCRETE PIPE
SB	SETBACK
SD	STORM DRAIN
SDM	STORM DRAIN MANHOLE
STD	STANDARD
SS	SANITARY SEWER
SSM	SANITARY SEWER MANHOLE
SW	SEWER
TC	TOP OF CURB
TF	TOP OF FOUNDATION
TOG	TOP OF GRADE
TOS	TOP OF SLAB
TP	TOP OF PAVEMENT
TP	TYPICAL
TP	TOP OF WALL
TP	TYPICAL
W	WATER
WC	WATER CLOSET
W	WATER
WM	WATER METER
WV	WATER VALVE



**GRAPHIC SCALE**



**TENTATIVE PARCEL MAP**  
**TWO (2) CONDOMINIUM UNITS WITH ADU**  
**736 PARTRIDGE AVE., MENLO PARK, CA 94025**  
**APN: 071-412-370**

LOT 14 IN BLOCK 1, AS SHOWN ON THAT CERTAIN MAP ENTITLED "MAP OF THE PARTRIDGE SUBDIVISION NEAR MENLO PARK, SAN MATEO CO. CAL.", WHICH MAP WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY RECORDER OF SAN MATEO COUNTY, STATE OF CALIFORNIA ON APRIL 6, 1909 IN BOOK 6 OF MAPS AT PAGE(S) 57.

CITY OF MENLO PARK COUNTY OF SAN MATEO STATE OF CALIFORNIA  
 SCALE: 1" = 20' MAY 2024

**SMP ENGINEERS**  
 CIVIL ENGINEERS

1534 CAROB LANE  
 LOS ALTOS, CA 94024



**LOCATION MAP**  
 N.T.S. PROJECT SITE



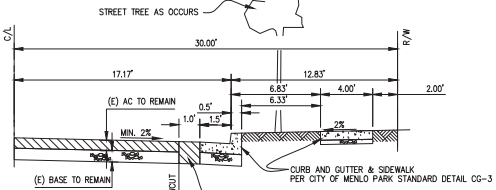
**SMP ENGINEERS**  
 CIVIL ENGINEERS

1534 CAROB LANE  
 LOS ALTOS, CA 94024  
 TEL: (650) 941-8055  
 FAX: (650) 941-8755  
 E-MAIL: SMPENGINEERS@YAHOO.COM

OWNER:  
 Maryam Sangelaji & Ali Zadeh  
 677 LIVE OAK AVE.,  
 MENLO PARK, CA 94025

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 SMP ENGINEERS  
 CIVIL ENGINEERS

TENTATIVE PARCEL MAP  
 TENTATIVE MAP  
**FOR TWO (2) CONDOMINIUM UNITS WITH ADU**  
**736 PARTRIDGE AVE., MENLO PARK, CA 94025**  
**APN: 071-412-370**

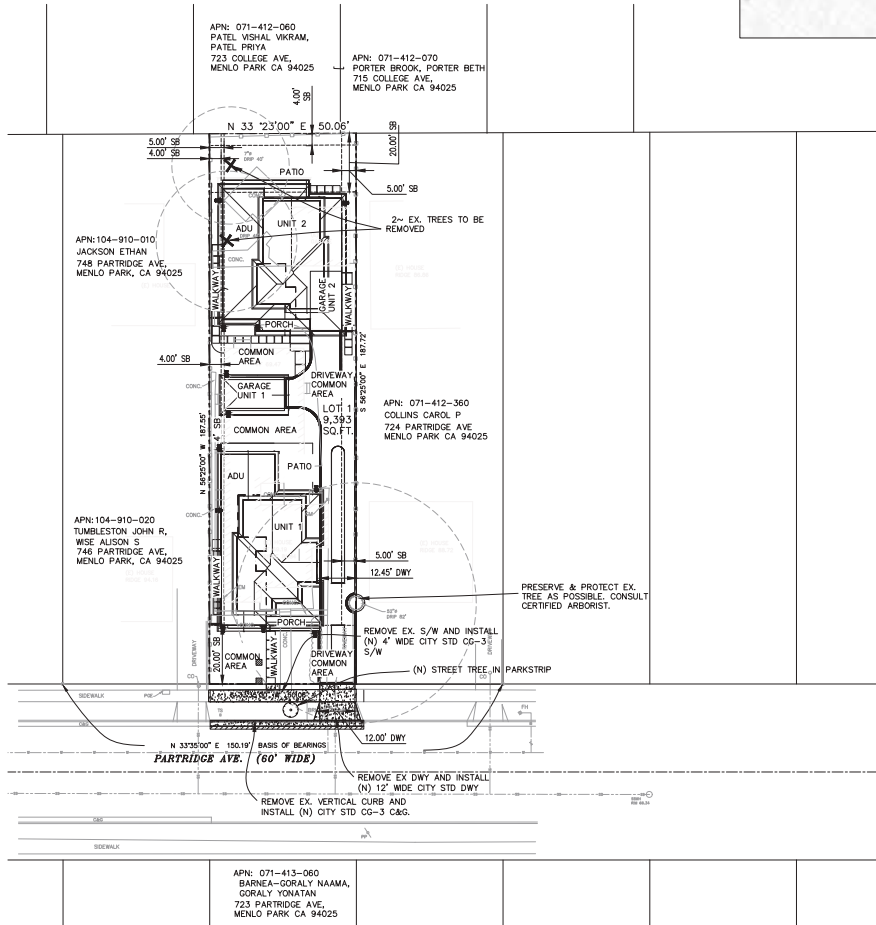


**TYPICAL PARTRIDGE AVE. (60' WIDE) HALF STREET SECTION**  
 NTS

**AREA TABLE**

	SQ. FT.	ACRES
<b>DISTINCTIVE BOUNDARY LINE</b>		
<b>LOT 1 (COMMON LOT, BOX OWNERSHIP)</b>	9,393	0.216
<b>UNIT 1</b>	909	0.021
<b>UNIT 1 ADU</b>	775	0.018
<b>UNIT 1 GARAGE</b>	218	0.005
<b>UNIT 2</b>	747	0.017
<b>UNIT 2 ADU</b>	798	0.018
<b>UNIT 2 GARAGE</b>	218	0.005
<b>COMMON AREA</b>	5,728	0.131

- \* COMMON AREA CONTAINS FOLLOWING EASEMENTS:
- PIE PRIVATE INGRESS AND EGRESS EASEMENT
- PUE PRIVATE UTILITY EASEMENT
- PSDE PRIVATE STORM DRAINAGE EASEMENT
- PSSE PRIVATE SANITARY SEWER EASEMENT
- \* COMMON AREAS AND SITE PRIVATE UTILITIES TO BE MAINTAINED BY HOME OWNERS PER CC&R.



**SHEET INDEX:**

- TM-1 TENTATIVE MAP
- TM-2 GRADING AND DRAINAGE PLAN
- TM-3 UTILITY PLAN
- TM-4 STORMWATER MANAGEMENT PLAN
- TM-5 STORMWATER MANAGEMENT PLAN
- TM-6 CONSTRUCTION BMP'S

**BASIS OF BEARINGS:**

THE BEARING N 33°30'00" E OF THE NORTHWESTERLY LINE OF PARTRIDGE AVE., AS SHOWN UPON CERTAIN PARCEL MAP, RECORDED IN BOOK 72 OF PARCEL MAPS, AT PAGE 69, SAN MATEO COUNTY RECORDS, WAS USED AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

**BASIS OF ELEVATIONS:**

REFERENCED CITY OF MENLO PARK BM; BENCHMARK #7 EL: 65.71 (NAVD85)

**OWNER AND APPLICANT:**

SANGLAJ ZADEH FAMILY TRUST, ZADEH G & AZIZI FAM TRUST  
 Maryam Sangelaji & Ali Zadeh  
 677 LIVE OAK AVE.,  
 MENLO PARK, CA 94025  
 CIVIL ENGINEER  
 SMP ENGINEERS  
 SAEID RAZAVI R.C.E. 52724  
 1534 CAROB LN  
 LOS ALTOS, CA 94024  
 TEL: (650) 941-8055  
 FAX: (650) 941-8755

**GENERAL INFORMATION**

1. EXISTING APN: 071-412-370
2. EXISTING ZONING: R-2
3. LAND USE: MULTI FAMILY DWELLING
4. PROPOSED USE: RESIDENTIAL, 2 UNITS (CONDOMINIUM), EACH W/ ADU
5. EXISTING BUILDINGS: ALL EX. BUILDINGS ARE TO BE REMOVED.
6. EXISTING USE OF ADJACENT PROPERTIES: RESIDENTIAL, MULTI FAMILY.
7. WATER: CAL WATER
8. FIRE PROTECTION: MENLO PARK FIRE PROTECTION DISTRICT
9. SANITARY SEWER: WEST BAY SANITARY
10. POWER AND GAS: PACIFIC GAS AND ELECTRIC
11. TELEPHONE: AT&T

- Unit 2 has been shifted by 2'-0" inward the street.
- The landing of the ADU has been updated.
- 2 steps have been added from the garage to the house.

REV 3

Revisions:  
 REV 1, 12/8/2023  
 NEW SITE PLAN  
 REV 2, 2/26/2024  
 PLAN CHK.  
 REV 3, 5/24/2024  
 NEW SITE PLAN



Date: 5/26/2024

Scale: 1"=10'

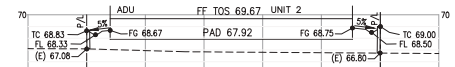
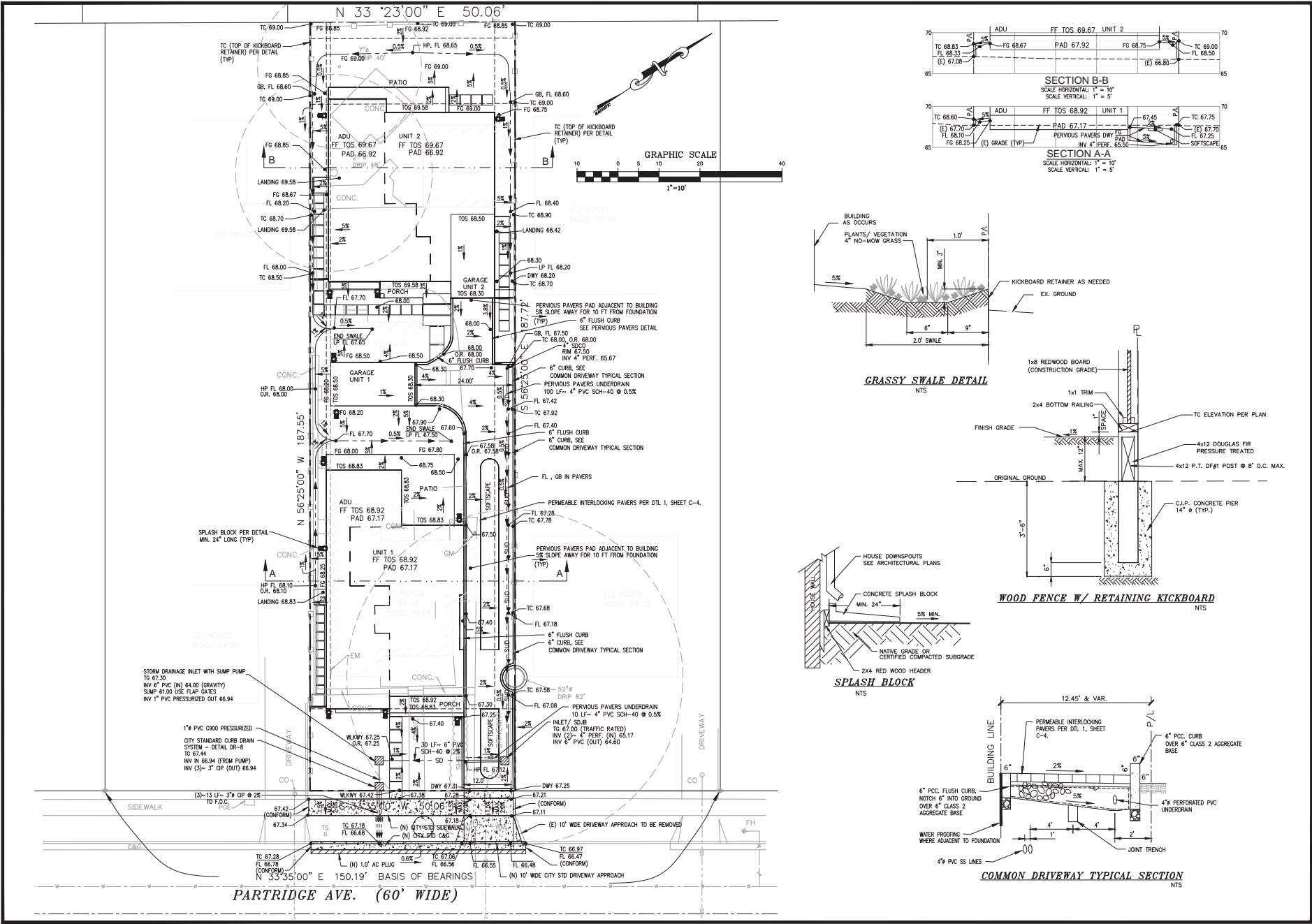
ISSUED BY: S.R.

SIGNED OFF: S.R.

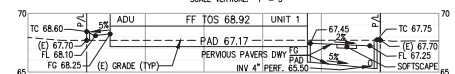
Job #: 223146

Sheet:

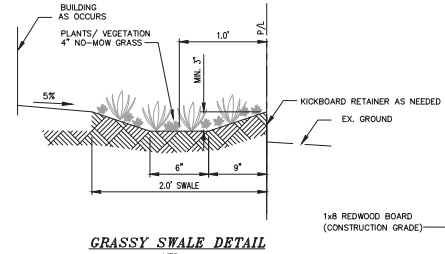
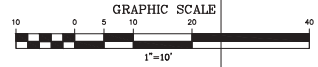
TM-1



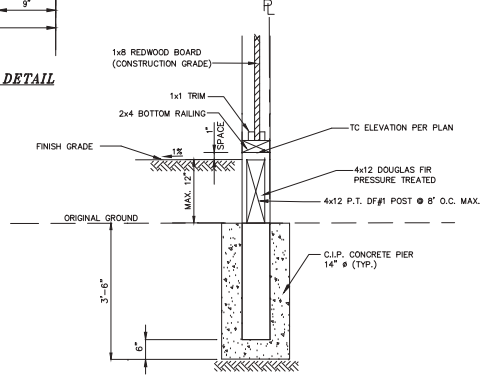
SECTION B-B  
SCALE HORIZONTAL: 1" = 10'  
SCALE VERTICAL: 1" = 5'



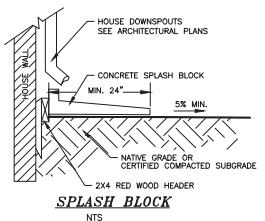
SECTION A-A  
SCALE HORIZONTAL: 1" = 10'  
SCALE VERTICAL: 1" = 5'



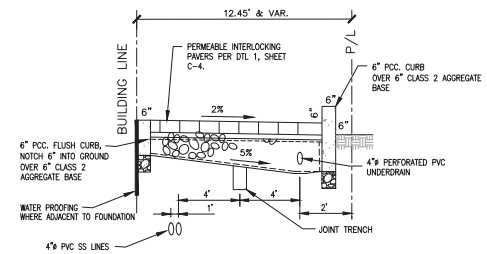
GRASSY SWALE DETAIL  
NTS



WOOD FENCE W/ RETAINING KICKBOARD  
NTS



SPLASH BLOCK  
NTS



COMMON DRIVEWAY TYPICAL SECTION  
NTS



OWNER:  
Maryam Sangelaji &  
Ali Zadeh  
677 LIVE OAK AVE.,  
MENLO PARK, CA 94025

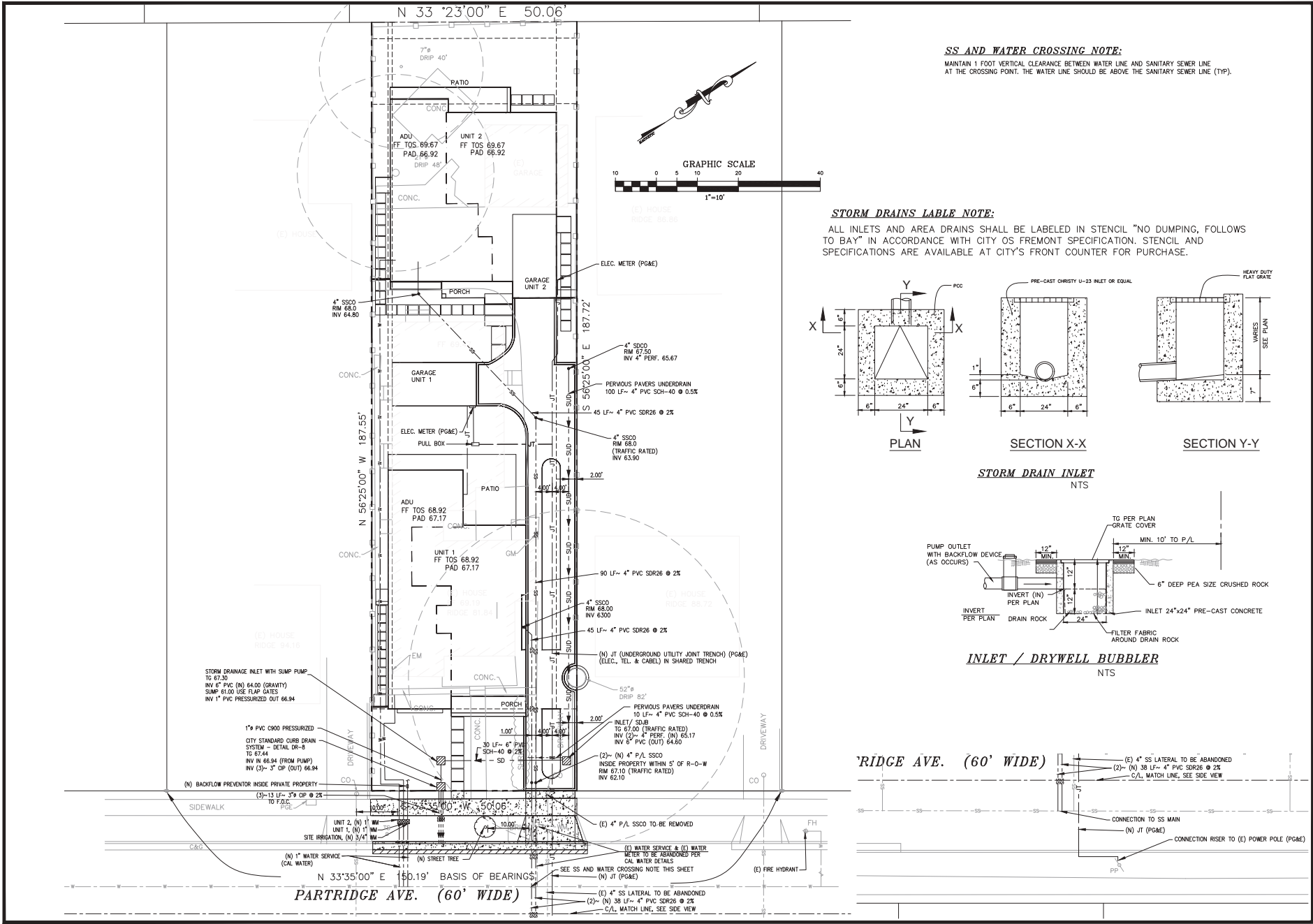
PROJECT:  
TENTATIVE PARCEL MAP  
GRADING AND DRAINAGE PLAN  
FOR TWO (2) CONDOMINIUM UNITS WITH ADU  
796 PARTRIDGE AVE., MENLO PARK, CA 94025  
APN: 071-412-370

DATE: 5/26/2024  
SCALE: 1" = 10'  
SIGNED OFF: S.R.  
JOB #: 223146  
SHEET: TM-2

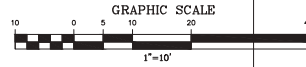
REVISED: 12/8/2023  
NEW SITE PLAN  
REV 2, 2/26/2024  
PLAN CHK.  
REV 3, 5/24/2024  
NEW SITE PLAN



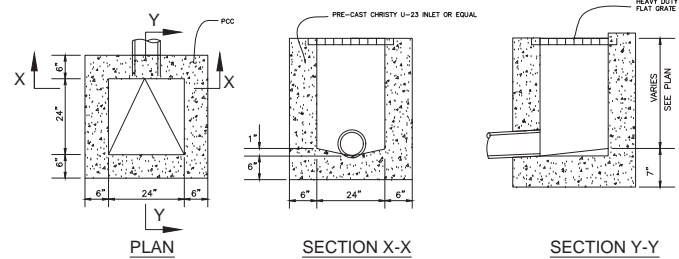
DATE: 5/26/2024  
SCALE: 1" = 10'  
SIGNED OFF: S.R.  
JOB #: 223146  
SHEET: TM-2



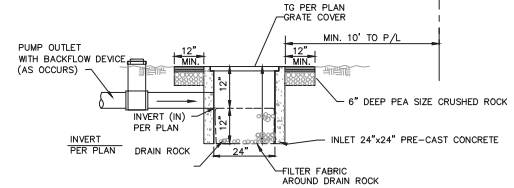
**SS AND WATER CROSSING NOTE:**  
 MAINTAIN 1 FOOT VERTICAL CLEARANCE BETWEEN WATER LINE AND SANITARY SEWER LINE AT THE CROSSING POINT. THE WATER LINE SHOULD BE ABOVE THE SANITARY SEWER LINE (TYP).



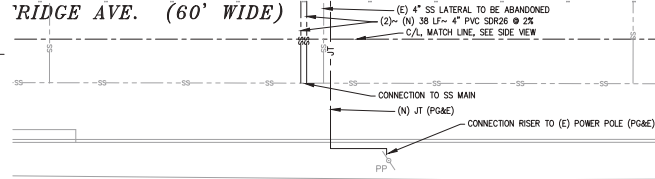
**STORM DRAINS LABEL NOTE:**  
 ALL INLETS AND AREA DRAINS SHALL BE LABELED IN STENCIL "NO DUMPING, FOLLOWS TO BAY" IN ACCORDANCE WITH CITY OF FREMONT SPECIFICATION. STENCIL AND SPECIFICATIONS ARE AVAILABLE AT CITY'S FRONT COUNTER FOR PURCHASE.



**STORM DRAIN INLET**  
 NTS



**INLET / DRYWELL BUBBLER**  
 NTS



OWNER:  
 Maryam Sangelaji &  
 Ali Zadeh  
 677 LIVE OAK AVE.,  
 MENLO PARK, CA 94025

TENTATIVE PARCEL MAP  
 UTILITY PLAN  
 FOR TWO (2) CONDOMINIUM UNITS WITH ADU  
 796 PARTRIDGE AVE., MENLO PARK, CA 94025  
 APN: 071-412-070

Revisions:  
 REV 1, 12/8/2023  
 NEW SITE PLAN  
 REV 2, 2/26/2024  
 PLAN CHK.  
 REV 3, 5/24/2024  
 NEW SITE PLAN



Date: 5/26/2024  
 Scale: 1"=10'  
 ISSUED BY: S.R.  
 SIGNED OFF: S.R.  
 Job #: 223146  
 Sheet:

**SAN MATEO COUNTY**  
Water Pollution Prevention Program  
San Mateo County, California

**Worksheet for Calculating the Water Quality Design Volume (80 percent capture method)**

3.0 Project Information

3.1 Project Name:	2 Condos in San Mateo
3.2 City/County:	SAN MATEO COUNTY
3.3 Site Address:	736 PARTRIDGE AVE.
3.4 Tract or Parcel Map No.:	APN: 071-412-370
3.5 Street Name:	
3.6 Region: Metropolitan San Francisco (MPSF)	14.60
3.7 Stormwater Runoff Coefficient (Cp)	1.0

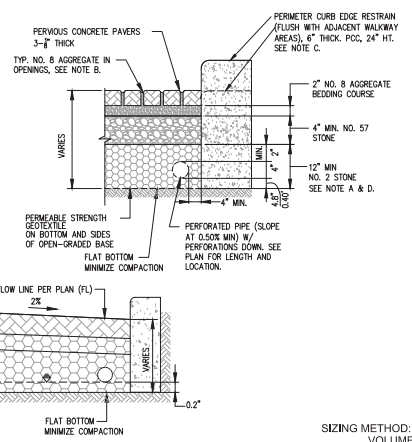
3.8 **Calculate Percentage of Impervious Surface for Drainage Management Area (DMA)**

3.9 Impervious Surface Area (Sq. Ft.)	5,177	1.0	5,177
3.10 Permeable Surface Area (Sq. Ft.)	4,218	0.1	422
3.11 Total (Effective Impervious Area) (EIA) (Sq. Feet)	5,599		

3.12 **Calculate Unit Basin Storage Volume in Inches**

3.13 Unit Basin Storage Volume (Inches)	0.64
3.14 Required Depth of Foundation (Feet)	0.75
3.15 Required Depth of Foundation (Feet) (if applicable)	3.68
3.16 Required Depth of Foundation (Feet) (if applicable)	1.265
3.17 Required Depth of Foundation (Feet) (if applicable)	0.79

- NOTES
- ASTM NO. 3 OR 4 STONE MIGHT BE SUBSTITUTED FOR STONE NO. 2.
  - ASTM NO. 89 OR 9 STONE MIGHT BE USED IN PAVERS OPENINGS.
  - INSTALL PERIMETER CURB EDGE RESTRAIN AROUND TREE WELLS & LANDSCAPE AREAS. INSTALL RETAINER BOARD/ CURB RESTRAINT WITH WATER PROOFING AROUND UTILITY BOVES LOCATED IN PERVIOUS PAVERS AND EXTEND THE WATERPROOFING AT BOTTOM & SIDES OF BOVES TO PREVENT WATER SEEPAGE INTO BOX.
  - NO. 2 STONE THICKNESS INCREASE WITH CROSS SLOPE.



1 PERVIOUS PAVEMENT SIZING METHOD: VOLUME N.T.S.

**PERVIOUS PAVER REQUIREMENTS**  
CONTRACTOR OR PERMITEE SHALL:

- PROVIDE CERTIFICATION FROM THE PAVER MANUFACTURER THAT THE PAVERS MEET THE REQUIREMENTS OF THE CS STORMWATER HANDBOOK FOR PERVIOUS PAVERS. THIS INCLUDES, BUT IS NOT LIMITED TO, HAVING A MINIMUM SURFACE INFILTRATION RATE OF 100% WHEN TESTED IN ACCORDANCE WITH ASTM C1701.
- ONLY CONTRACTORS HOLDING CERTIFICATION OF COMPLETION IN THE INTERLOCKING CONCRETE PAVEMENT INSTITUTES (ICPI) INSTALLER TECHNICIAN COURSE SHALL BE USED TO INSTALL THE PAVERS AND AT LEAST ONE FOREMAN WITH THIS CERTIFICATION MUST BE ON THE JOBSITE AT ALL TIMES DURING CONCRETE PAVEMENT INSTALLATION.
- PROTECT THE EXCAVATED AREA FOR PERVIOUS PAVERS FROM EXCESSIVE COMPACTION DUE TO CONSTRUCTION TRAFFIC AND PROTECT THE FINISHED PAVEMENT FROM CONSTRUCTION TRAFFIC.

**OPERATION AND MAINTENANCE INFORMATION:**

I. PROPERTY INFORMATION:  
 I.A. PROPERTY ADDRESS:  
 736 PARTRIDGE AVE.,  
 MENLO PARK, CA 94025  
 APN: 071-412-370

I.B. PROPERTY OWNER:  
 Maryam Sangelaji & Ali Zadeh  
 SANGLAJI ZADEH FAMILY TRUST,  
 ZADEH G & AZIZI FAM TRUST

II. RESPONSIBLE PARTY FOR MAINTENANCE:  
 II.A. CONTACT:  
 HOA

II.B. PHONE NUMBER OF CONTACT:  
 \_\_\_\_\_

II.C. EMAIL:  
 \_\_\_\_\_

II.D. ADDRESS:  
 Maryam Sangelaji & Ali Zadeh  
 677 LIVE OAK AVE.,  
 MENLO PARK, CA 94025

**PROJECT SITE INFORMATION:**

1. SOIL TYPE: C

2. GROUND WATER DEPTH: 10 FT +

3. NAME OF RECEIVING BODY: SAN FRANCISCO BAY

4. FLOOD ZONE: D

5. FLOOD ELEVATION (IF APPLICABLE): \_\_\_\_\_

- STANDARD STORMWATER CONTROL NOTES:**
- STANDING WATER SHALL NOT REMAIN IN THE TREATMENT MEASURES FOR MORE THAN FIVE DAYS. TO PREVENT MOSQUITO GENERATION, SHOULD ANY MOSQUITO ISSUES ARISE, CONTACT THE SANTA CLARA VALLEY VECTOR CONTROL DISTRICT (DISTRICT). MOSQUITO LARVICIDES SHALL BE APPLIED ONLY WHEN ABSOLUTELY NECESSARY, AS INDICATED BY THE DISTRICT, AND THEN ONLY BY A LICENSED PROFESSIONAL, OR CONTRACTOR. CONTACT INFORMATION FOR THE DISTRICT IS PROVIDED BELOW.
  - DO NOT USE PESTICIDES OR OTHER CHEMICAL APPLICATIONS TO TREAT DISEASED PLANTS. CONTROL WEEDS OR REMOVE UNWANTED GROWTH. EMPLOY NON-CHEMICAL CONTROLS (BIOLOGICAL, PHYSICAL AND CULTURAL CONTROLS) TO TREAT A PEST PROBLEM. PRUNE PLANTS PROPERLY AND AT THE APPROPRIATE TIME OF YEAR. PROVIDE ADEQUATE IRRIGATION FOR LANDSCAPE PLANTS. DO NOT OVER WATER.

**C.3 STORMWATER CONTROL NOTES**

**POST-CONSTRUCTION STORMWATER CONTROLS**

This project proposes the use of post-construction stormwater controls, also called Low Impact Development (LID) techniques, or post-construction Best Management Practices (BMPs). They reduce the long-term impacts of development on stormwater quality and creek channels by preserving and re-creating natural landscape features, minimizing imperviousness, and then infiltrating, storing, detaining, evapotranspiring, and/or biotreating stormwater runoff close to its source, or onsite.

1. SITE DESIGN MEASURES:  
 Site planning techniques that help reduce stormwater pollutants and increases in peak runoff flow and duration:
- Minimize land disturbance and preserve open space
  - Minimize impervious surfaces by constructing driveways and parking areas with pervious interlocking pavers
  - Minimize impervious surfaces that are directly connected to the storm drain system by routing runoff to landscaped areas
  - Cluster structures and paved surfaces
  - Use landscaping as a drainage feature
2. SOURCE CONTROL MEASURES:  
 Structural project features or operational "good housekeeping" practices that prevent pollutant discharge and runoff at the source and keep pollutants from coming into contact with stormwater.
- Structural source controls:
- Roof down spouts release to landscape or pervious areas to convey and filter storm water before reaching the downstream
  - Beneficial landscaping and use efficient irrigation.
- Operational source controls:
- Marking storm drain inlets with "No Dumping" message
  - Regular inspection and cleaning of storm drain inlets, swales, splash pads, parking areas, etc.
  - Driveaway MAINTENANCE (TABLE 1) sweeping, good housekeeping.
3. STORM WATER TREATMENT MEASURES:  
 NOT APPLICABLE.

RESPONSIBLE PARTY FOR MAINTENANCE ACTIVITIES FOR PERVIOUS PAVEMENT:  
 HOA (HOME OWNER'S ASSOCIATION) PER TABLE 1 BELOW

TABLE 1 ROUTINE MAINTENANCE ACTIVITIES FOR PERVIOUS PAVEMENT		
NO.	MAINTENANCE TASK	FREQUENCY OF TASK
1	CHECK FOR SEDIMENT AND DEBRIS ACCUMULATION. PREVENT SOIL FROM WASHING OR BLOWING ONTO THE PAVEMENT. DO NOT STORE SAND, SOIL, MULCH OR OTHER LANDSCAPING MATERIALS ON PERVIOUS PAVEMENT SURFACES.	TWO TO FOUR TIMES ANNUALLY
2	CONDUCT PREVENTATIVE SURFACE CLEANING, USING COMMERCIALY AVAILABLE REGENERATIVE AIR OR VACUUM SWEEPERS, TO REMOVE SEDIMENT AND DEBRIS.	TWO TO FOUR TIMES ANNUALLY
3	INSPECT FOR ANY SIGNS OF PAVEMENT FAILURE. REPAIR ANY SURFACE DEFORMATIONS OR BROKEN PAVERS. REPLACE MISSING JOINT FILLER IN PICP.	TWO TO FOUR TIMES ANNUALLY
4	CHECK FOR STANDING WATER ON THE PAVEMENT SURFACE WITHIN 30 MINUTES AFTER A STORM EVENT.	TWO TO FOUR TIMES ANNUALLY
5	INSPECT UNDERDRAIN OUTLETS AND CLEANOUTS, PREFERABLY BEFORE THE WET SEASON. REMOVE TRASH/DEBRIS.	TWO TO FOUR TIMES ANNUALLY
6	REMOVE SEDIMENT AND DEBRIS ACCUMULATION ON PERVIOUS PAVEMENT.	TWO TO FOUR TIMES ANNUALLY
7	REMOVE WEEDS. MOW VEGETATION IN GRID PAVEMENTS (SUCH AS TURF BLOCK) AS NEEDED.	AS NEEDED
8	PERFORM RESTORATIVE SURFACE CLEANING WITH A VACUUM SWEEPER, AND/OR RECONSTRUCTION OF PART OF THE PERVIOUS SURFACE TO RESTORE SURFACE PERMEABILITY AS NEEDED. REPLENISH AGGREGATE IN PICP JOINTS OR GRIDS AS NEEDED AFTER RESTORATIVE SURFACE CLEANING.	AS NEEDED
9	POWER WASHING WITH SIMULTANEOUS VACUUMING ALSO CAN BE USED TO RESTORE SURFACE INFILTRATION TO HIGHLY CLOGGED AREAS OF PERVIOUS CONCRETE, POROUS ASPHALT OR PICP, BUT IS NOT RECOMMENDED FOR GRID PAVEMENTS.	AS NEEDED
10	INSPECT PERVIOUS PAVING AREA USING THE ATTACHED INSPECTION CHECKLIST.	QUARTERLY OR AS NEEDED



1534 CAROL LANE  
 LOS ALTOS, CA 94024  
 TEL: (650) 941-8055  
 FAX: (650) 941-8785  
 E-MAIL: SMPENGINEERS@YAHOO.COM

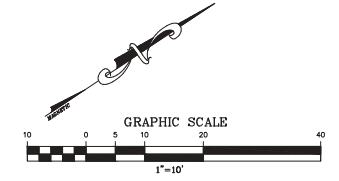
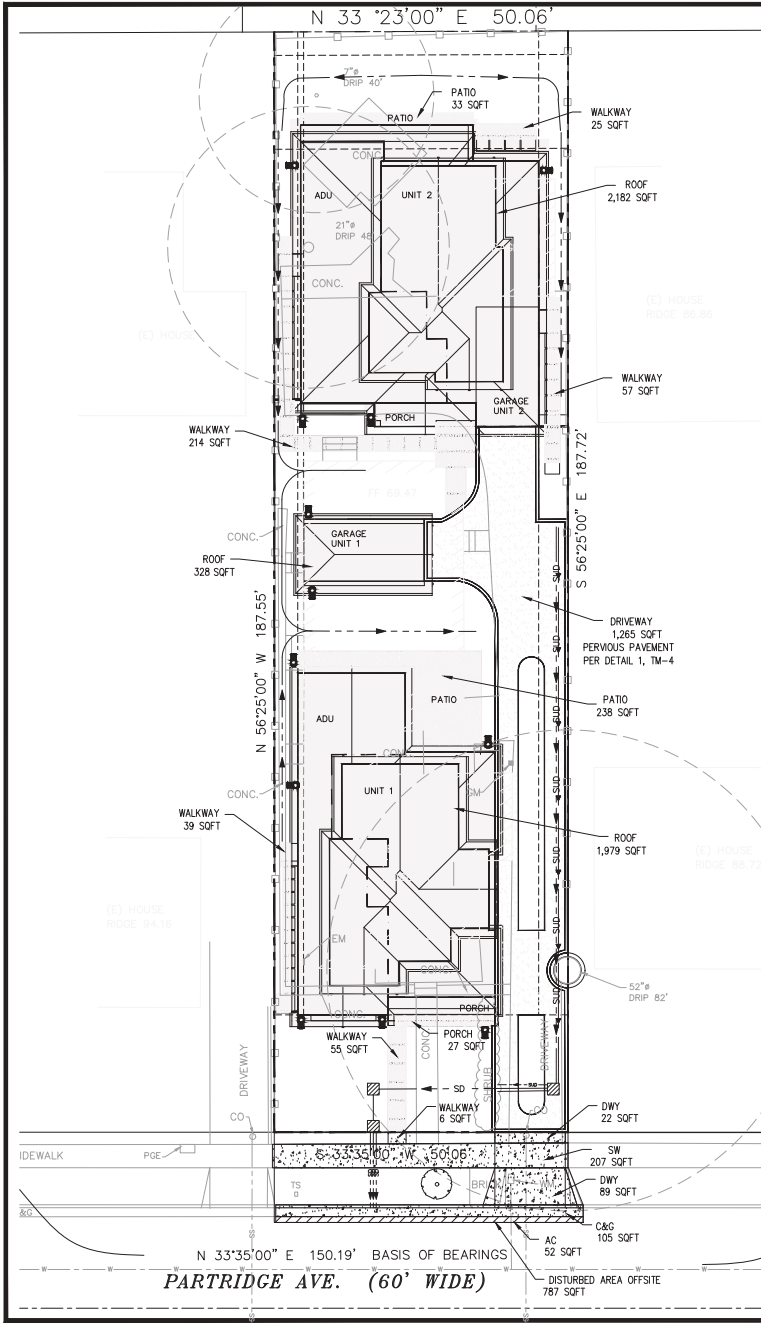
OWNER:  
 Maryam Sangelaji & Ali Zadeh  
 677 LIVE OAK AVE.,  
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TENTATIVE PARCEL MAP  
 STORMWATER MANAGEMENT PLAN  
 FOR TWO (2) CONDOMINIUM UNITS WITH ADU  
 736 PARTRIDGE AVE., MENLO PARK, CA 94025  
 APN: 071-412-370

Revisions:  
 REV 1, 12/8/2023  
 NEW SITE PLAN  
 REV 2, 2/26/2024  
 PLAN CHK.  
 REV 3, 5/24/2024  
 NEW SITE PLAN



Date: 5/26/2024  
 Scale: 1"=10'  
 ISSUED BY: S.R.  
 SIGNED OFF: S.R.  
 Job #: 223146  
 Sheet:



**ON-SITE IMPERVIOUS/ PERVIOUS AREA TABLE**

PROPOSED	SQ. FT.	ACRES	MATERIAL
PROJECT AREA	9,393	0.22	
BUILDING @	4,489		ROOF
WALKWAYS, PORCH, PATIOS	458		CONC.
• Total Impervious AREA	5,177	0.12	IMPERVIOUS
Pervious Pavement AREA	1,265		PAVER
Pervious Landscape AREA	2,951		GROUND
Total Pervious AREA	4,216	0.10	PERVIOUS

**OFF-SITE IMPERVIOUS/ PERVIOUS AREA TABLE**

PROPOSED	SQ. FT.	ACRES	MATERIAL
DISTURBED AREA	787	0.02	
AC	52		AC
WALKWAYS, SIDEWALK, DWY., C AND G	429		CONC.
• Total Impervious AREA	481	0.01	IMPERVIOUS
Pervious Pavement AREA	0		PAVER
Pervious Landscape AREA	306		GROUND
Total Pervious AREA	306	0.01	PERVIOUS

**TOTAL IMPERVIOUS/ PERVIOUS AREA TABLE**

PROPOSED	SQ. FT.	ACRES	MATERIAL
DISTURBED AREA	10,180	0.23	
ON-SITE	5,177		AC
OFF-SITE	481		CONC.
• Total Impervious AREA	5,658	0.13	IMPERVIOUS
ON-SITE Pervious Pavement AREA	1,265		PAVER
ON-SITE Landscape AREA	2,951		GROUND
OFF-SITE Landscape AREA	306		GROUND
Total Pervious AREA	4,522	0.10	PERVIOUS

**ON-SITE IMPERVIOUS/ PERVIOUS AREA TABLE**

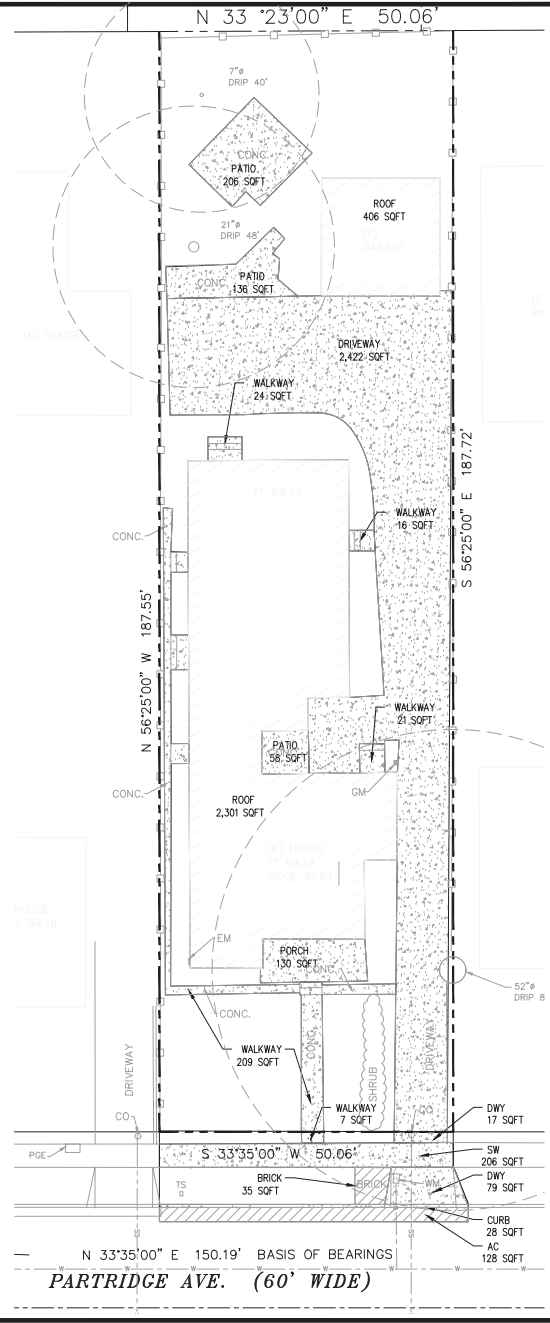
EXISTING	SQ. FT.	ACRES	MATERIAL
PROJECT AREA	9,393	0.22	
BUILDING @	2,707		ROOF
WALKWAYS, PORCH, PATIOS	3,222		CONC.
• Total Impervious AREA	5,929	0.14	IMPERVIOUS
Pervious Pavement AREA	0		PAVER
Pervious Landscape AREA	3,464		GROUND
Total Pervious AREA	3,464	0.08	PERVIOUS

**OFF-SITE IMPERVIOUS/ PERVIOUS AREA TABLE**

EXISTING	SQ. FT.	ACRES	MATERIAL
DISTURBED AREA	787	0.02	
AC	128		AC
WALKWAYS, SIDEWALK, DWY., C AND G	372		CONC.
• Total Impervious AREA	500	0.01	IMPERVIOUS
Pervious Pavement AREA	0		PAVER
Pervious Landscape AREA	287		GROUND
Total Pervious AREA	287	0.01	PERVIOUS

**TOTAL IMPERVIOUS/ PERVIOUS AREA TABLE**

EXISTING	SQ. FT.	ACRES	MATERIAL
DISTURBED AREA	10,180	0.23	
ON-SITE	5,929		AC
OFF-SITE	500		CONC.
• Total Impervious AREA	6,429	0.13	IMPERVIOUS
ON-SITE Pervious Pavement AREA	0		PAVER
ON-SITE Landscape AREA	3,464		GROUND
OFF-SITE Landscape AREA	287		GROUND
Total Pervious AREA	3,751	0.09	PERVIOUS



EXISTING  
1"=10'



OWNER:  
Maryam Sangelaji &  
Ali Zadeh  
677 LIVE OAK AVE.,  
MENLO PARK, CA 94025

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TENTATIVE PARCEL MAP  
STORMWATER MANAGEMENT PLAN  
FOR TWO (2) CONDOMINIUM UNITS WITH ADU  
796 PARTRIDGE AVE., MENLO PARK, CA 94025  
APN: 071-412-370

Revisions:  
REV 1, 12/8/2023  
NEW SITE PLAN  
REV 2, 2/26/2024  
PLAN CHK.  
REV 3, 5/24/2024  
NEW SITE PLAN



Date: 5/26/2024  
Scale: 1"=10'  
ISSUED BY: S.R.  
SIGNED OFF: S.R.  
Job #: 223146  
Sheet:

TM-5

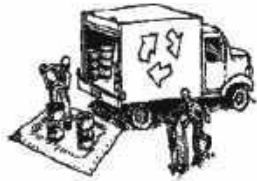


SAN MATEO COUNTYWIDE  
**Water Pollution  
 Prevention Program**  
 Clean Water. Healthy Community.

# Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

## Materials & Waste Management



### Non-Hazardous Materials

- Store and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

### Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

### Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gypsum board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

### Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## Equipment Management & Spill Control



### Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, steam cleaning equipment, etc.

### Spill Prevention and Control

- Keep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7350 (24 hours).

## Earthwork & Contaminated Soils



### Erosion Control

- Schedule grading and excavation work for dry weather only.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.

### Sediment Control

- Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, fiber rolls, berms, etc.
- Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as fiber rolls, silt fences, or sediment basins.
- Keep excavated soil on the site where it will not collect into the street.
- Transfer excavated materials to dump trucks on the site, not in the street.
- Contaminated Soils
  - If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
    - Unusual soil conditions, discoloration, or odor
    - Abandoned underground tanks
    - Abandoned wells
    - Buried barrels, debris, or trash

## Paving/Asphalt Work



- Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

### Sawcutting & Asphalt/Concrete Removal

- Completely cover in buricade storm drain inlets when saw cutting. Use fiber fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner).
- If sawcut slurry enters a catch basin, clean it up immediately.

## Concrete, Grout & Mortar Application



- Store concrete, grout and mortar under cover, on pallets and away from drainage areas. These materials must never reach a storm drain.
- Wash out concrete equipment/trucks offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal offsite.

### Dewatering



- Effectively manage all run-off, all runoff within the site, and all runoff that discharges from the site. Divert run-off water from offsite away from all disturbed areas or otherwise ensure compliance.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer to determine whether testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.

## Painting & Paint Removal



### Painting cleanup

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or surface waters.
- For water-based paints, paint out brushes to the extent possible. Rinse to the sanitary sewer once you have gained permission from the local wastewater treatment authority. Never pour paint down a drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of residue and unusable thinner/solvents as hazardous waste.

### Paint removal

- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead or tributyltin must be disposed of as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.

## Landscape Materials



- Contain stockpiled landscaping materials by storing them under tarps when they are not actively being used.
- Stock credible landscape material on pallets. Cover or store these materials when they are not actively being used or applied.
- Discontinue application of any credible landscape material within 2 days before a forecast rain event or during wet weather.

**Storm drain polluters may be liable for fines of up to \$10,000 per day!**



**ENGINEERS  
 CIVIL ENGINEERS**

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 LOS ALTOS, CA 94024  
 TEL: (650) 941-8055  
 FAX: (650) 941-8755  
 E-MAIL: SMPENGINEERS@YAHOO.COM

OWNER:  
 Maryam Sangelaji &  
 Ali Zadeh  
 677 LIVE OAK AVE.,  
 MENLO PARK, CA 94025

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 CIVIL ENGINEERS

TENTATIVE PARCEL MAP

CONSTRUCTION BMPs

FOR TWO (2) CONDOMINIUM UNITS WITH ADU  
 786 PARTRIDGE AVE., MENLO PARK, CA 94025  
 APN: 071-412-370

Revisions:

REV 1, 12/8/2023  
 NEW SITE PLAN  
 REV 2, 2/26/2024  
 PLAN CHK.  
 REV 3, 5/24/2024  
 NEW SITE PLAN

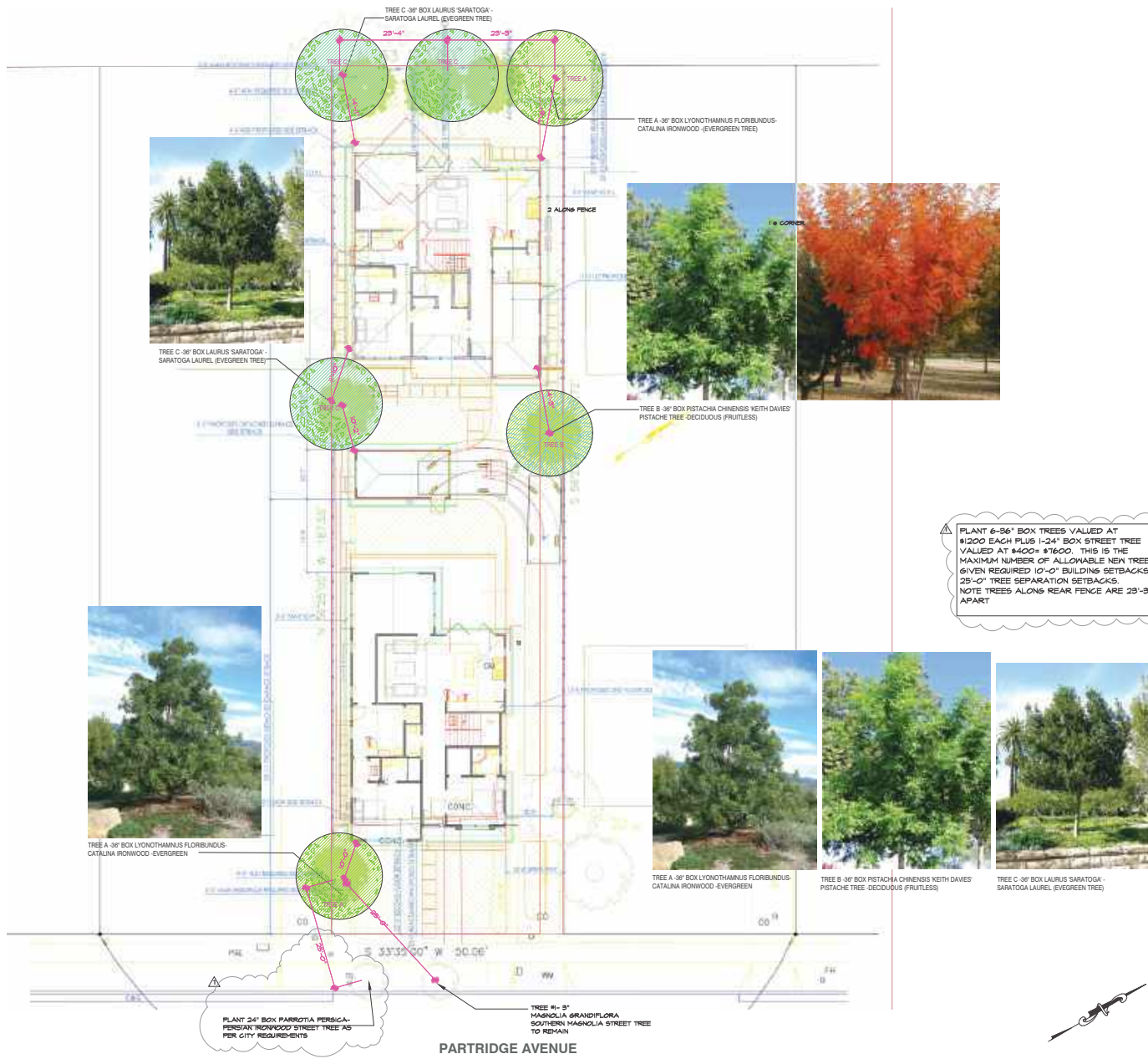


*Sam Boyan*

Date: 5/26/2024  
 Scale: NTS  
 ISSUED BY: S.R.  
 SIGNED OFF: S.R.  
 Job #: 223146

Sheet:

TM-6



▲ PLANT 6-36" BOX TREES VALUED AT \$1200 EACH PLUS 1-24" BOX STREET TREE VALUED AT \$400 = \$1600. THIS IS THE MAXIMUM NUMBER OF ALLOWABLE NEW TREES GIVEN REQUIRED 10'-0" BUILDING SETBACKS & 25'-0" TREE SEPARATION SETBACKS. NOTE TREES ALONG REAR FENCE ARE 25'-0" APART

▲ PLANT 24" BOX PARRISIA PERSICIFOLIA 'IRONWOOD' STREET TREE AS PER CITY REQUIREMENTS

TREE #1- 3" MAGNOLIA GRANDIFLORA SOUTHERN MAGNOLIA STREET TREE TO REMAIN



TREE REPLACEMENT PLAN



SCALE 3/32" = 1'-0"

REVISIONS	BY
1	MY



ZADEH & SANGELAJI RESIDENCE  
736 PARTRIDGE AVENUE  
MENLO PARK, CA 94025  
TREE REPLACEMENT PLAN

DRAWN	MY
CHECKED	MY
DATE	2/8/24
SCALE	3/32" = 1'-0"
JOB NO.	XXX
SHEET	

L-1

OF SHEETS



1355 El Camin Real, Unit 527  
Redwood City, CA, 94063  
650-387-9272

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**Zadeh & Sangelaji**  
Residence  
NEW SINGLE FAMILY  
RESIDENCE-ATTACHED ADU  
**ADDRESS**  
736 Partridge Ave  
Menlo Park  
APN: XXX  
**Owner**  
Maryam Sangelaji &  
Ali Zadeh

**DRAWN BY**  
Ardalan Djalali

**SIGNED BY**  
Ardalan Djalali

REGION	DATE	DESCRIPTION

SHEET TITLE  
**ARBORIST**  
**REPORT**



**City Tree Protection Requirements**

**Heritage Tree Definition**

A "Heritage Tree" is a tree that has protected status in the City of Menlo Park. The City also classifies trees with heritage status for their remarkable size, age, or unique value. However, in general, native oaks of 30 inches or more, and any tree having a trunk with a diameter of 20 inches or more has heritage status (measured at 54 inches above natural grade, or at the branching point for multi-trunk trees).

**Construction-Related Tree Removals**

According to the City of Menlo Park, applicants are required to submit a site plan with the Heritage Tree Removal Application Permit even if they have submitted a site plan to the City for a planning or building permit. The site plan reflects the review by the City Administrator.

For removal of major trees, applicants shall be required to submit a planting plan indicating the species, size, and location of the proposed replacement trees on a site plan. Heritage Tree Permits required by Construction will also be checked for City-related advisory impacts.

**Violation Penalties**

Any person who violates the tree protection ordinances, including planting orders, occupancy, tree containers and plantings, could be held liable for violation of the ordinance. The ordinance prohibits removal or pruning of any tree without the proper permitting, including domestic and unlicensed off-site tree removal services.

If a violation concerning construction, the City may issue a stop-work order suspending and prohibiting further activity on the property until construction has been approved, assuming

protection measures for existing trees on the property. **Damage to Heritage trees must be reported to the Project Architect or City Arboretist within 48 (48) hours of damage.**

After receiving notice or observing damage during a requested inspection, the Project Architect will issue a report to the client. This applies to all trees identified for preservation including neighboring trees. Documentations will include descriptions of the issue (nature of damage, crown loss or root loss), measurement of impacts to the tree, and recommended remediation.

City Arboretist may be contacted against any person who commits, allows or maintains a violation of any provision of the ordinance. The fine will be an amount not to exceed \$5,000 per violation as an amount equivalent to the replacement value of the tree, whichever is higher.

**Impacts on Protected Trees**

**SITE DESCRIPTION**

The property at 736 Partridge Ave. was a narrow rectangular lot. The topography was not suitable. There was a house with detached garage on site with a driveway on the right-hand side. The lot stock was a mix of native oak, ornamentals, hui trees, and small weedy shrubs.

**TREE INVENTORY**

This tree preservation plan includes an attached inventory of all trees on the property, regardless of species, that were at least 12 feet tall and 6-inch DBH.

This inventory also includes, as necessary, any neighboring heritage trees with work prepared within 10 feet of their diameter DBH. Any trees within the public right-of-way were also included, regardless of size, as required by the City.

The inventory includes each tree's number (as shown on the TPC map), measurements, condition, level of impact (due to proximity to work), tolerance to construction, and overall suitability for retention. The inventory also includes the appraised value of each tree using the Trunk Formula Technique (20<sup>th</sup> Edition).

**PROJECT DESCRIPTION**

After review of proposed project, it was the understanding that the existing structures and pavement were to be removed. A new two-story house with detached ADU would be built. The site would undergo landscaping improvements, including a new driveway, new lawns, and new patios. The new driveway would require excavation of five inches (5") into existing grade. A 10-foot wide driveway from the front of the site would be constructed with the driveway materials a 12 inches. This assumes six inches (6") are above grade to replace the original surface. Total required cut depth from existing grade would be five inches (5"). In response to comments, the driveway will also be adjusted to create a 7.5 inch bump out for the footpath of front ADU. Please see attached Tree Protection Plan Map.

**HOW CONSTRUCTION CAN DAMAGE TREES**

**Damage to Roots**

Where are the roots?

The most common types of injury to trees that occur during projects improvements are related to root cutting or damage. Tree roots extend further out than people realize, and the majority are located within the top 24 inches of soil. The highest roots are found closer to the trunk, and taper and branch into canopy roots. These canopy roots are found 100 to an unknown species of tree fibrous roots, which are connected to an even finer system of fibrous roots. The soil below ground network is coded with absorbing water and nutrients, as well as anchoring the tree in the ground, storage, and communication.

**Damage from Excavation**

Any type of excavation will impact adjacent trees by severing roots and that cutting off the attached network. Severe large roots, or reaching across the root plate, destroy large networks. Even work that appears to be far from a tree can impact the fibrous root system. Flaying topsoil or surfaces over the ground, or installing below grade structures, such as a pad, or basement wall, will remove rooting area permanently from a site.

**Damage from Fill**

Adding fill can smother roots, making it difficult for them to access air and water. The root and other soil will need time to colonize the new upper layers of soil.

**Changes to Drainage and Available Water**

Changes to the hydrology of the site, caused for instance by new water fields, changes to earth and drainage systems, can cause big changes in available water for trees. Trees can die from lack of water or dieback if their water supply dies in a dry, much wetter than they are used to.

**Soil Compaction and Contamination**

In addition, compaction of soil, or contamination of soil with water, salts, fuel, or other chemicals used in the building process, can cause damage to the rooting environment that can last many years. Tree protective fencing creates a barrier to protect as many roots as possible from this damage, which can be caused by traveling vehicles, equipment storage, and other construction activities that may occur even outside the construction envelope.

**Mechanical Injury**

Injury from the impact of vehicles or equipment can occur to the root system, trunk, and lower branches of a tree. The bark protects a tree - creating a like barrier from disease, insect damage, and other hazards. The stem tissues support the weight of the plant. They also conduct the flow of water, sap, and other important compounds throughout the tree. When the bark and wood is injured, the structure and health of the tree is compromised.

**IMPACTS TO HERITAGE TREES**

**SUMMARY**

Three (3) heritage trees would be impacted by the project: two (2) coast live oak and one (1) orange. One (1) magnolia (big tree) and one (1) bay tree would also be impacted. Two (2) trees on the property were recommended for removal.

My evaluation of the impacts of the proposed construction work for all affected trees was summarized in the Tree Inventory. These included impacts of grading, excavation for utility installation, retaining walls, shoring or any other aspect of the project that could impact the service life of the tree. Anticipated impacts to trees were summarized using a rating system of "minor," "major," "moderate," "low," or "very low."

General tree tolerance to construction, and condition of the trees (health and structural integrity), was also noted on the inventory. These major factors, as well as tree age, soil characteristics, and species suitability, all factored into an individual tree's suitability rating, as summarized on the inventory. Suitability of trees to be retained was rated as "high," "moderate," "low," or "very low." Trees with low suitability would be appropriate candidates for removal. Please see Inventory for definitions of ratings.

**TREE REMOVALS**

Removal and/or retention of trees is as follows:

- **Tree #5 was not a Heritage Tree:**
  - o I recommended Tree #5 (cotoneaster, No.16 specimen) for removal because it was within the footprint of the proposed patio. It would not survive the project.
- **Tree #4# (26.5" coast live oak):** This tree was within the footprint of the proposed detached ADU. We recommended a minimum setback of 15 feet from the ADU to preserve this tree. It is our understanding that this is not feasible considering that the tree is well within the footprint of the planned ADU. Therefore, removal of this tree

would be justified as per Menlo Park Administrative Guidelines section 13.24.05B Class 4 a "lowly preserved."

**Menlo Park Administrative Guidelines for Criterion 5:**

The following documentation may be required to support tree removal for economic development:

- o A letter(s) explaining that removal from the feasibility/ability of alternative design(s) that preserve the tree, including stating any other alternative design(s) that would preserve the tree.
- o Documentation on the additional economic construction cost attributable to an alternative that preserves the tree (i.e. construction cost of alternative design minus cost of original design) in relation to the appraised value of trees) and based on the most recent addition to the Guide for Plant Appraisal.

The following guidelines will be used to determine feasibility:

- o If the incremental cost of the tree preservation alternative is more than 140% of the appraised value of the tree, the cost will be considered to be financially infeasible.
- o If the incremental cost of the tree preservation alternative is less than 110% of the appraised value of the tree, the cost will be considered to be financially feasible.
- o If the incremental cost of the tree preservation alternative is between 110% and 140% of the appraised value of the tree, public works director or their designee will consider a range of factors, including the nature of the improvements, the value of the tree, the location of the tree, the vicinity of replacement mitigation and other site conditions.
- o In calculating the incremental cost of the tree preservation alternative, only construction costs will be considered. No design fees or other soft costs will be considered.

**IMPACTS TO NEIGHBORING AND HERITAGE TREES**

- **Tree #3 (3" magnolia, Street tree):** This street tree was approximately eight feet (8') from any work and would not be expected to be impacted by the project (DN - SR ADU)





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Redwood City, CA 94063  
650-387-9272

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Zadeh & Sangelaji  
Residence  
NEW SINGLE FAMILY  
RESIDENCE-ATTACHED ADU

ADDRESS  
736 Partridge Ave  
Menlo Park  
APN: XXX

Owner  
Maryam Sangelaji &  
Ali Zadeh

DRAWN BY  
Ardalan Djafari

SIGNED BY  
Ardalan Djafari

REVISION	DATE	DESCRIPTION

SHEET TITLE  
ARBORIST  
REPORT



- **Tree SH (18" neighboring street tree only):** This tree, located on the property line, was in contact with the existing driveway to be removed, and above-roof-top (RT) of the proposed driveway. **Assuming special protections are followed, maintain root hole to 12" depth (max 12").** Please see "Special Tree Protection Measures" section of this report for guidelines on working within the OPH of this tree.
- **Tree SH (24" neighboring garage):** This neighboring tree was approximately 9 feet (FT) from the existing and proposed driveway. It was likely anticipated to sustain "moderate" impacts from the proposed work (SH - 25% root loss).

Tree Protection Recommendations

PRE-CONSTRUCTION

Establish Tree Protection Zones (TPZ)

The Tree Protection Zone (TPZ) shall be a fenced-off area where work and material storage is not allowed. They are established and inspected prior to the start of work. This barrier protects the soil and root zone and shields from excavations, mechanical damage, and chemical spills. The City requires that tree protection fencing be installed before any equipment comes on-site and inspected by the Project Arborist, who shall submit a verification letter to the City before issuance of permits.

Tree protection fencing is required to remain in place throughout construction and may only be moved or removed with written authorization from the City Arborist. The Project Arborist may authorize modifications to the fencing when a copy of the written authorization is submitted to the City.

The following activities are prohibited inside the Tree Protection Zone. DO NOT:

- Place heavy machinery for excavation
- Allow a spill or leakage of damaging materials
- Store or dispose materials, tools, or soil
- Park or drive vehicles
- Yank, pull, or cut live or dormant material without first obtaining authorization from the City Arborist or Project Arborist
- Change soil grade
- Work with machines
- Allow trees under and adjacent to trees
- Discharge excess soil fillage
- Direct runoff toward trees
- Cut, break, lift, or remove roots, branches, or trunks without authorization from the City Arborist
- Secure utility, chain, or rope to trees
- Apply soil or other water treatments near existing trees

Specify recommended protection for trees in as follows:

- **Tree #1 (3" magnolia, Street tree):** Establish standard TPZ fencing (radius to five feet (5')), or to the greatest extent possible as limited by the street and sidewalk.
- **Tree #2 (18" neighboring garage):** Establish standard TPZ fencing (radius to 15 feet, or to the greatest extent possible as limited by the driveway, along the driveway. Place fence posts into the ground using the existing landscape.
- **Tree #3 (18" neighboring 42" oak):** Install standard TPZ (four-foot wrap as an alternative to protect this tree adjacent to the driveway where standard fencing would not be feasible. Please see "Trunk Wrap Specifications" on the following page as well as attached diagram.

THE FENCING SPECIFICATIONS:

- 1) Establish tree protection fencing radii for installing on 30-foot tall (from tree fencing - measured on upper 90-foot tall, 1.5-inch diameter galvanized pipe), three (3) inches into the ground and spaced no more than 10 feet apart
- 2) Post signs on the fencing (in English and Spanish) placed on 11"x17" yellow-colored paper (usage attached as end of report) with Project Arborist's contact information. Signage should be on each protection fence in a prominent location.
- 3) Absolute barriers of chain-link fencing erected to protect trees may be substituted for fence lining if the Project Arborist and City Arborist agree that the fencing will likely be removed in coordination with plans of record later. The barrier may not have the fence without authorization from the Project Arborist or City Arborist.

TRUNK WRAP SPECIFICATIONS:

- Securely and uniformly wrap at least 1-foot (1-ft) around the trunk (including any closed call from past) with at least one layer of orange plastic construction fencing around the outside of the wooden slats for visibility
- DO NOT show openings into the tree
- Install trunk protection immediately prior to work within the TPZ and remove protection from the trunk as soon as work moves outside the TPZ
- Assess major scaffold limbs as determined by the City Arborist or Project Arborist and, if necessary, install scaffold barriers at single contact tree trunk. Use one additional wrap around protection.

Preventing Root Damage

Soil ground within the TPZ should have material applied over the ground to reduce soil compaction and retain soil moisture. This may be done by applying an 18-inch layer of wood chip mulch to the area. With this method, make a maximum of four inches of soil to be removed after work is completed. An alternative method that would not require such

removed, the contractor could place plywood (1/4"-1/2"-thick) or mats over areas that will have foot traffic. Mulch should be spread manually so as not cause compaction or damage

Pruning Branches

I recommend that trees be pruned (only if necessary to provide minimum clearance for proposed structure) and the passage of vehicles, vehicles, and machines, while maintaining natural appearance. Any large dead branches should be removed for the safety of people working on the site.

Pruning should be specified in writing adhering to ANSI A300 Pruning Standards and performed according to Best Management Practices endorsed by the International Society of Arboriculture. Any pruning (removal of branches) shall be supervised by an ISA-certified arborist.

Any property owner wanting to prune heritage tree more than one-fourth of the canopy and/or roots, must have permission from the City.

Arborist Inspection

The City requires that tree protection fencing be installed before any equipment comes on-site and inspected by the Project Arborist, who shall submit a verification letter to the City before issuance of permits. Tree protection fencing to be inspected by City Arborist before doing any or before permit issuance.

DURING CONSTRUCTION

Special Tree Protection Measures – Tree SH (24")

- 1) **Removal of existing landscape** should be performed in a manner that avoids any soil roots. Using the smallest effective machinery, break up pieces of the concrete/curb

pick up and away from trees. Cut roots embedded in paving rather than leaving them (see instructions on next slide).

7) **Substrates/Trees in Construction of the Driveway (in SH OPH)**

1. Incorporated an exploratory trench to the log by hand, before excavation begins, to locate roots along the tree-side of the driveway. Due to the proximity of the driveway to the tree, it is possible that large structural roots at the surface would make construction in this area unfeasible. Therefore, concerned an exploratory trench inspection be done before building. During the planning phase it is recommended to avoid tree removal plan changes
2. Excavation depth for installation of new pavement should be no more than five inches (5") to existing soil grade within 24 feet of this tree. Compaction of subgrade should be minimal.
3. In addition, reduce root-roads after digging or trenching. If the features, or if roots must be cut for any reason, please see section titled "Root Pruning"

Root Pruning

As required by the City of Menlo Park:

- To avoid harm to tree roots, only excavate details for final construction or, or high-pressure water within the depth of roots.
- When the Contractor excavates roots smaller than 3 inches, backfill the soil if the trench extends to the tree to make sure clean cuts through the roots. Clearly mark damaged and new roots to reduce the likelihood of injury.
- All trenches within 24 hours. When it is impossible to fill trenches within 24 hours, shade the soil of the trench adjacent to the roots with four layers of dampened, untreated burlap. Wet burlap is frequently an necessary to maintain moisture.
- When the Contractor excavates roots 2 inches or larger, report immediately to the Project Arborist. The Project Arborist will advise whether the Contractor may cut roots.

richer or loyer. If a root is retained, enclose by hand or with compressed or uncut the root. Prune preserved roots with dampened burlap.

Irrigation

Water moderately and lightly impacted trees during the construction phase. As a rule of thumb, provide one to two inches per month. Water slowly so that it penetrates 18 inches into the soil, to the depth of tree roots. Do not water under trees during the warm dry season (June - September) as the excessive soil root damage. Instead, make sure that the soil is sufficiently insulated with mulch where possible. Remember that unexcavated tree roots typically extend three to five times the diameter of the canopy.

Project Arborist Supervision

- 1. I recommend the Project Arborist meet with the builder on-site:
  - Soon after excavation
  - During any OPH activity
  - As requested by the project's owner or builder to document tree condition and if ongoing compliance with tree protection plan (required every 4 weeks by the City)

Any final development-related work is recommended to be supervised by a Project Arborist, a follow-up letter shall be provided, documenting the mitigation has been completed to specification.

POST-CONSTRUCTION

Ensure tree mitigation measures to require long-term review including but not limited to:

Continued Tree Care

Provide irrigation and appropriate fertilization. As a rule of thumb, provide 1.1 inches of water per month. Water slowly so that it penetrates 18 inches into the soil, to the depth of the



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**Zadeh & Sangelaji  
Residence**  
NEW SINGLE FAMILY  
RESIDENCE-ATTACHED ADU  
**ADDRESS**  
736 Partridge Ave  
Menlo Park  
APN: XXX  
**Owner**  
Maryam Sangelaji &  
Ali Zadeh

**DRAWN BY**  
Ardalan Djafari

**SIGNED BY**  
Ardalan Djafari

REVISION	DATE	DESCRIPTION

**SHEET TITLE**  
ARBORIST  
REPORT



### Supporting Information

#### GLOSSARY

Terms appear in the order they appear from left to right on the majority column headings.

**DBH / DGC:** Diameter at 4.5' above grade. Trees which split into multiple stems at 4.5' are measured at the narrowest point below 4.5'.

**Mathematic DBH / DGC:** Diameter of a trunk measured, mathematically derived from the combined area of a trunk(s).

**SPREAD:** Diameter of canopy between furthest branches.

**TREE STATUS:** A "Healthy Tree" is a tree that has provided status to the City of Menlo Park. The City tree clerks assess the tree status to their satisfaction, age, or sapling status. However, in general, a tree less than 10 inches in girth, and only tree having a trunk with a diameter of 35 inches or more has a tree status (measured at 54 inches above a trunk grade, or at the branching point for multi-trunk trees).

**CONDITION:** Ground-based visual assessment of structural and physiological well-being:

- "Excellent" - 0% - 25% Good health and structure with negligible decay, insect or quality issues.
- "Good" - 26-50% Good health; full canopy; no obvious signs of structural defects, early signs of insect or quality issues.
- "Fair" - 51-75% Reduced canopy, significant structural defects, and/or other significant signs of stress.
- "Poor" - 76-90% A potentially imminent decline; structure and aesthetics severely compromised.
- "Very Poor" - 91-95% Heavily decayed, or high risk of failure; negative contribution to the landscape.
- "Dead/Unstable" - 96-99% No live canopy/branch or future potential.

**IDEAL TREE RADIUS:** No recommended tree protection radius to ensure healthy, sound trees. Based on species, size, age, and site-based conditions, a tree can be protected with a radius as small as 10 feet.

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REGISTERED ARBORIST AND ARD  
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### Conclusion

The above building project at 736 Partridge Ave. appeared to be a volume upgrade to the property. If any of the property owners, project team, or City reviewers have questions on this report, or require Project Arbolist supervisor or individual support, please do not hesitate to contact me at (650) 487-7135 or [ardalan@ardalandyad.com](mailto:ardalan@ardalandyad.com).

Signoff:

**Buana (Daf) Pratiwi** | BA Certified Arborist (No. 481224) | ISA Registered Consulting Arborist  
ISA #758 | SA Qualified Tree Risk Assessor | ISA Tree and Herb Appraisal Qualification | Member -  
American Society of Consulting Arborists | Wildlife Trained Arborist

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tree roots. Irrigation usually should not be provided supplemental water during the warm, dry season (June – September) as the arboresis absorb fungus. Therefore, irrigation should only be resumed October – May when rain has been scarce.

Mulch trees later the soil, rocks, weeds, reduce competition, and promote mulch benefits to soil life and tree health. Apply four inches of wood chips (or other mulch) to the surface of the soil around trees, extending at least to the drip-line when possible. Do not pile mulch against the trunk.

Do not fertilize unless a specific nutrient deficiency has been identified and a specific tree prescribed by the project arborist or a consulting arborist.

#### Post-Construction Monitoring

Monitor trees for changes in condition. Check trees at least once per month for the first year post-construction. Repeat monitoring should be done at least every 6 months or if there are signs of stress. Signs of stress include unseasonably sparse canopy, leaf drop, early fall color, browning of needles, and shoot die-back. Stressful trees are also more vulnerable to certain diseases and pest infestations. Call the Project Arbolist or a consulting arborist if stress or other concerning changes occur in tree health.

#### City Arborist Inspection

A final inspection by the City Arborist is required at the end of the project. This is to be done before Tree Protection Fencing is taken down. Replacement trees should be planted by this time or on.

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Concerning the radius, it is specific area may be acceptable as per arborist approval. Measurements in our region should be taken at ground level by using the distance to the trunk, DBH, DBH, or DBH as acceptable methods from construction.

**ACE:** Initial to note lifespan "Young" (0-10), "Mature" (11-20), "Overmature" (21-30).

**IMPACT:** Anticipated impact to an individual tree including:

**SEVERE:** In severe conflict, removal necessary if plans proceed (distance to root centerline within 18 DBH or root loss of > 20% and quality).

**HIGH:** Work planned within 60 DBH radius or anticipated root loss of 20% - 35%. Mitigation to reduce impact should be implemented and may be accepted by municipal reviewer. Mitigation may be possible with irrigation or alternative building methods. Health and structure may worsen over 5 years unless mitigation is implemented.

**MODERATE:** Work 60-75 feet or less from trunk centerline. The work or any potential work within 60-75 feet. Anticipated root loss of 10% - 20%. Special building guidelines may be possible for Project Approval. Although some symptoms of stress are possible, tree is not likely to decline due to construction related activities.

**LOW:** Anticipated root loss of less than 10%. Minor or no impact to trunk centerline. Tree integrity and condition will be maintained.

**VERY LOW:** Minimal tree work expected. Minimal impact to tree health/quality. Anticipated root loss of 0% - 5%. Long-term and insignificant.

**NONE:** No anticipated impact to roots, soil, microclimate, or above-ground parts.

**TOLERANCE:** General species tolerance to construction (HIGH, MODERATE, or LOW) as given in "Long-Term Tree-Taking Construction, Second Edition," by International Society of Arboriculture.

**SUSTAINABILITY ASSESSMENT:** An individual tree's suitability for preservation considering species, condition, maturity, canopy structure, site characteristics, and species durability (HIGH, MODERATE, or LOW).

**APPRAISAL RISK:** The expectation cost of tree replacement as calculated by the Tree Firm-A-Technique.

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### CERTIFICATE OF APPRAISAL

(A National Tree Inventory, (NTI) is the best of my knowledge and belief.)

- I met the standards of that registered in the state approved in this unit correct.
- I met the appraisal analysis, opinions, and conclusions are based only by the report analysis and finding guidelines, and that they are by personal, unbiased professional analysis, opinions, and conclusions.
- I met that no present or prospective interest in the plants that are the subject of this appraisal, and that I have no personal interest in the plants subject to this appraisal.
- I met my compensation is not contingent upon a particular result, value or structure of value that favors the client of the client, the amount of the value estimate, the action taken or anticipated result, or the occurrence of a subsequent event.
- I met my analysis, opinions, and conclusions are unbiased, and that this appraisal has been prepared in conformity with the Certified Tree Appraiser (CTA) within 2020 authorized by the Council of Tree and Landscape Appraisers.
- I met the methods used in this appraisal are based on a request to determine the value of the plants considering reasonable factors of plant appraisal.
- I met my appraisal is based on the information known to me at the time. If more information is obtained, I may have further opinions.

Signoff:

**Buana (Daf) Pratiwi**  
ISA Board-Certified Master Arborist #46-6528  
ARD/USA



ISA National Tree Inventory  
2019-2021, NTA, NTA, NTA  
A. International Society of Arboriculture  
www.isa-arbor.com

ISA Board-Certified Master Arborist #46-6528  
Supervised Consulting Arborist



pg 22

**WARNING TREE PROTECTION AREA**

**ONLY AUTHORIZED PERSONNEL MAY ENTER THIS AREA**

**No excavation, trenching, material storage, cleaning, equipment access, or dumping is allowed behind this fence.**

**Do not remove or relocate this fence without approval from the project arborist. This fencing must remain in its approved location throughout demolition and construction.**

**Project Arborist contact information:**  
 Name: Bo Firestone  
 Business: Bo Firestone Trees & Gardens  
 Phone number: 408-497-7158

pg 23

**ADVERTENCIA: ÁREA DE PROTECCIÓN DE ÁRBOLES**

**SÓLO EL PERSONAL AUTORIZADO PUEDE INGRESAR A ESTA ÁREA**

**No se permite la excavación, zanjas, almacenamiento de materiales, limpieza, acceso de equipos, o vertido de residuos detrás de esta cerca.**

**No retire ni reubique esta cerca sin la aprobación del arborista del proyecto. Esta cerca debe permanecer en su ubicación aprobada durante todo el proceso de demolición y construcción.**

**Información de contacto del arborista de este proyecto:**  
 Nombre: Bo Firestone  
 Empresa: Bo Firestone Trees & Gardens  
 Número de teléfono: 408-497-7158



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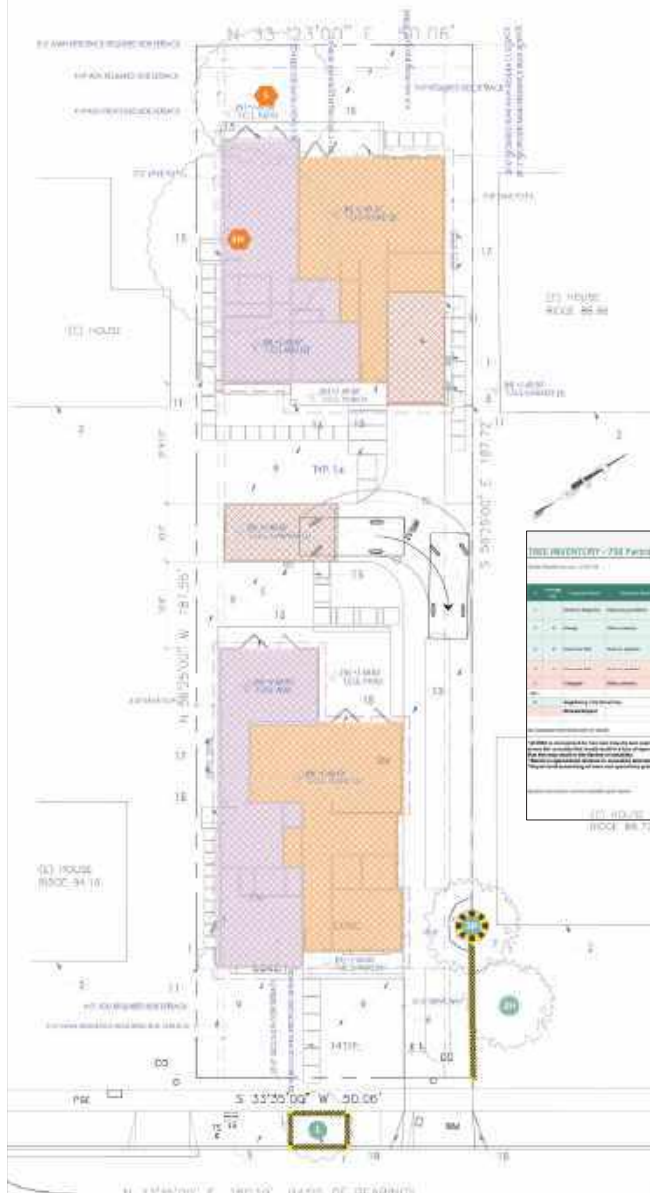
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**SIGNED BY**  
 Ardalan Djalali

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**REPORT**





**TRE MAP LEGEND**

- TREE TO REMOVE
- TREE ON NEIGHBOR'S PROPERTY; CITY STREET TREE
- TREE PROTECTION FENCING (SEE SPEC)
- TRUNK WRAP (SEE SPEC)

NOTE: ALL TREES WERE PLACED BY PROJECT ARBORIST AND LOCATIONS ARE APPROXIMATE.

Tree protection fencing requirements as required by the City of Menlo Park:

- Establish tree protection fencing in accordance with (B) Earth Retention Systems Manual or (C) Tree Retention Systems Manual, whichever is more restrictive, and install a minimum 10-foot high fence around the tree.
- Place signs on the fencing (or digital and laser) printed on 11x17" information paper (single sided) with Project Arborist's contact information. Signs shall be placed at each protection fence in all directions.
- Provide barriers of chain link fencing around to prevent plants from being damaged or lost during the Project. Owner and City Arborist agree that the fencing will have to be moved by subcontractors at various phases of construction. The contractor may not remove the fence without authorization from the Project Arborist or City Arborist.
- Place a device (bar) of orange plastic or reflective material with 10-inch plastic or aluminum tubes at the TPZ over bare ground prior to construction activity.

**INVENTORY - 736 Partridge Ave, Menlo Park, CA, 94025**

Tree ID	Species	DBH (in)	Height (ft)	Health	Notes
1	Redwood	12	15	Good	Tree to be removed
2	Redwood	10	12	Good	Tree to be removed
3	Redwood	8	10	Good	Tree to be removed
4	Redwood	6	8	Good	Tree to be removed
5	Redwood	4	6	Good	Tree to be removed
6	Redwood	3	5	Good	Tree to be removed
7	Redwood	2	4	Good	Tree to be removed
8	Redwood	1	3	Good	Tree to be removed
9	Redwood	1	3	Good	Tree to be removed
10	Redwood	1	3	Good	Tree to be removed
11	Redwood	1	3	Good	Tree to be removed
12	Redwood	1	3	Good	Tree to be removed
13	Redwood	1	3	Good	Tree to be removed
14	Redwood	1	3	Good	Tree to be removed
15	Redwood	1	3	Good	Tree to be removed
16	Redwood	1	3	Good	Tree to be removed
17	Redwood	1	3	Good	Tree to be removed
18	Redwood	1	3	Good	Tree to be removed
19	Redwood	1	3	Good	Tree to be removed
20	Redwood	1	3	Good	Tree to be removed

**SITE PLAN KEYNOTES**

- PROPERTY LINE—SEE TICAD SURVEY FOR MORE INFO
- REQUIRED YARD SETBACK/EASEMENT
- TREE PROTECTION FENCING—TREE PROTECTION TO BE INSTALLED PRIOR TO START OF CONSTRUCTION AND REMAIN IN PLACE TILL COMPLETION—SEE ARBORIST REPORT FOR ADDITIONAL INFO
- EXISTING BUILDING AREA
- NEW BUILDING AREA
- NEW DRIVEWAY
- NEW LANDSCAPE AREA—SEE LS AREA CALC FOR MORE INFO
- SPOT ELEVATION, SEE CIVIL DRAWINGS FOR MORE INFO
- TREE NUMBER—REFER TO ARBORIST REPORT FOR SPECIES AND OTHER INFO
- TREE TO BE REMOVED

NOTE:

- (E) WATER SUPPLY TO BE REPLACED FROM METER IN.
- (S) SEWER LATERAL TO BE REPLACED FROM PROPERTY LINE IN.
- SEE LS PLANS FOR ALL SITE CONCRETE AND HARDSCAPE DETAILS—COORDINATE WITH CIVIL & GEOTECH REQUIREMENTS

**TREE PROTECTION ZONE MAP**  
736 PARTRIDGE AVE, MENLO PARK, CA



DATE:  
rev. 01/31/2024

TPZ ELEMENTS DRAWN BY:  
E. FIRESTONE  
ISA-CERTIFIED ARBORIST  
#W5-8525A

BASE MAP: SITE PLAN A100  
by ARDALAN DJALALI  
(01/26/2024)

ARBORIST REPORT  
Pg. 25

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Ardalan Djalali  
SIGNED BY  
Ardalan Djalali

REVISION	DATE	DESCRIPTION

SHEET TITLE  
**ARBORIST REPORT**





## Ardalan Djalali

1355 El Camino Real, Unit 527  
 Redwood City, CA 94063  
 Ph: (650) 387-9272  
 Email: ardan@adarchitectes.com

**To:** City of Menlo Park, Planning Department

**Subject:** Proposal for Demolition of Existing Duplex and Construction of two single family residence at 736/734 Partridge Ave

Dear Members of the City of Menlo Park Planning Department,

I hope this letter finds you well.

I am writing to present a project proposal for the demolition of an existing 2,112 square foot one-story duplex and the subsequent construction of two thoughtfully designed single-family residences on a spacious 9,392 square foot lot located at 736/734 partridge Ave. The intent of this endeavor is to enhance the architectural landscape of our beloved neighborhood.

The front residence, a charming two-story dwelling, will boast a generous living area of 1,636.0 square feet, comprising 4 bedrooms and 3.5 bathrooms. In addition, a detached garage with an area of 217.8 square feet will grace the property. The total square footage of the front residence, including an attached ADU of 774.9 square feet and the detached garage, will amount to 2,628.7 square feet.

Adjacent to its counterpart, the rear residence will stand as a two-story structure with a living area of 1,419.5 square feet, housing 3 bedrooms and 2.5 bathrooms. An attached garage of 226.3 square feet will accompany this residence, along with an attached ADU spanning 795.4 square feet. The total square footage for the rear including an attached ADU and the attached garage will amount to 2,441.2 square feet.

Presidential shingle roofing in an autumn blend hue will crown both structures, embodying a timeless aesthetic that not only complements the classic charm of our neighborhood but also satisfies our commitment to a cohesive design. The exterior, adorned in painted stucco, exudes an understated elegance, while strategically placed feature walls covered in a blend of blond russet and cool gray stone add a touch of sophistication to the overall design. This cohesive approach extends to our choice of dark bronze windows, seamlessly blending into the aesthetic, ensuring a harmonious and visually pleasing integration of all design elements.

Our team has meticulously considered every detail to ensure that this project seamlessly integrates into the fabric of the neighborhood. The selected colors and materials aim to blend seamlessly with the charming two-story single-family houses that define our neighborhood's character.

We believe that this thoughtful approach will contribute to the enhancement of the local architectural aesthetic while providing residents with modern, comfortable homes that respect and celebrate the rich history of Allied Arts.

We understand the importance of preserving the unique character of our neighborhood, and we are committed to working closely with the City of Menlo Park and its residents throughout every phase of this project. As a part of our commitment, we will provide comprehensive neighbor outreach about our project with our resubmittal to the planning department. This outreach will include informational sessions and an open line of communication to address any concerns or questions from the community.

Thank you for considering our proposal. We look forward to the opportunity to contribute to the continued beauty and vitality of the Allied Arts neighborhood. If you have any questions or require additional information, please do not hesitate to contact us.

### **Ardalan Djalali**

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(650) 387 9272  
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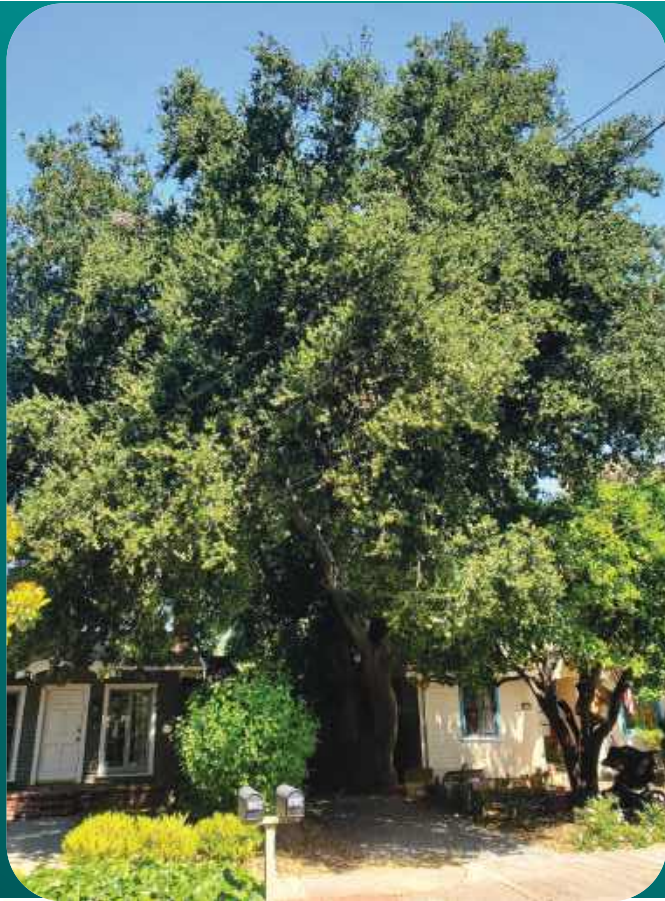
# ARBORIST REPORT

## TREE PROTECTION PLAN

REVISED JANUARY 31, 2024

PREPARED FOR: ALI ZADEH

SITE ADDRESS:  
736 PARTRIDGE AVE. • MENLO PARK, CA 94025



BO FIRESTONE TREES & GARDENS  
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*asca* RCA #758  
Registered Consulting Arborist®





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# Introduction

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## ARBORIST ASSIGNMENT

On June 21<sup>st</sup>, 2023, at the request of the architect, my team visited 736 Partridge Dr. in the role of Project Arborist. The purpose was to perform the assessments and data collections as necessary to create an industry-standard Tree Protection Report for their project permit. It was my understanding that the existing structures and pavement were to be removed. A new two-story home with detached ADU would be built. The site would undergo landscaping improvements, including a new driveway, new walkways, and new patios. The assessments in this report were based on review of the following:

- Boundary and Topographic Survey T-1 by SMP Engineers (dated 06/04/2023)
- Site Plan A1.0a by Ardalan Djalali (dated 01/26/2024)

My inventory included a total of five (5) trees over six inches (6" DBH). There were three (3) trees of Heritage size: two (2) coast live oak (*Quercus agrifolia*) and one (1) orange (*Citrus x sinensis*) on the neighbor's property. Two (2) trees on the property were requested for removal. All other neighboring trees were sufficiently distant from the work (>10x DBH).

## USES OF THIS REPORT

According to City Ordinance, *any person who conducts grading, excavation, demolition, or construction activity on a property is to do so in a manner that does not threaten the health or viability or cause the removal of any Heritage Tree. Any heritage tree to be retained protected by the City's Municipal Code will require replacement according to its appraised value if it is damaged beyond repair as a result of construction. Any work performed within an area 10 times the diameter of the tree (i.e., the tree protection zone) requires the submittal of a tree protection plan for approval by the City before issuance of any permit for grading or construction.*

This report was written by Busara Firestone, Project Arborist, to serve as a resource for the property owner, designer, and builder. As needed, I have provided instructions for retaining, protecting, and working around trees during construction, as well as information on City requirements. *The owner, contractor and architect are responsible for knowing the information included in this arborist report and adhering to the conditions provided.*

## Limitations

Trees assessed were limited to the scope of work identified in the assignment. I have estimated the trunk diameters of trees with barriers to access or visibility (such as those on neighboring parcels or behind debris). Although general structure and health were assessed, formal Tree Risk Assessments were not conducted unless specified. Disease diagnostic work was not conducted unless specified. All assessments were the result of ground-based, visual inspections. No excavation or aerial inspections were performed. Recommendations beyond those related to the proposed construction were not within the scope of work.

My tree impact and preservation assessments were based on information provided in the plans I have reviewed to date, and conversations with the involved parties. I assumed that the guidelines and setbacks recommended in this report would be followed. Assessments, conclusions, and opinions shared in this report are not a guarantee of any specific outcome. If additional information (such as engineering or landscape plans) is provided for my review, these assessments would be subject to change.

# City Tree Protection Requirements

---

## Heritage Tree Definition

A “Heritage Tree” is a tree that has protected status by the City of Menlo Park. The City can classify trees with Heritage status for their remarkable size, age, or unique value. However, in general, native oaks of 10 inches or more, and any tree having a trunk with a diameter of 15 inches or more has Heritage status (measured at 54 inches above natural grade, or at the branching point for multi-trunk trees).

## Construction-Related Tree Removals

According to the City of Menlo Park, *applicants are required to submit a site plan with the Heritage Tree Removal Application Permit even if they have submitted a site plan to the City for a planning or building permit. The site plan facilitates the review by the City Arborist.*

*For removals of two or more trees, applicants shall be required to submit a planting plan indicating the species, size, and location of the proposed replacement trees on a site plan. Heritage Tree Permits related to Construction will also be charged for City-retained arborist expenses.*

## Violation Penalties

*Any person who violates the tree protection ordinance, including property owners, occupants, tree companies and gardeners, could be held liable for violation of the ordinance. The ordinance prohibits removal or pruning of over one-fourth of the tree, vandalizing, mutilating, destruction and unbalancing of a heritage tree without a permit.*

*If a violation occurs during construction, the City may issue a stop-work order suspending and prohibiting further activity on the property until a mitigation plan has been approved, including*

*protection measures for remaining trees on the property. **Damage to Heritage trees must be reported to the Project Arborist or City Arborist within six (6) hours of damage.***

**After receiving notice or observing damage during a requested inspection, the Project Arborist will issue a report to the client. This applies to all trees identified for preservation including neighboring trees. Documentation will include a description of the issue (extent of wounding, canopy loss or root loss), reassessment of impacts to the tree, and recommended remediation.**

*Civil penalties may be assessed against any person who commits, allows or maintains a violation of any provision of the ordinance. The fine will be an amount not to exceed \$5,000 per violation, or an amount equivalent to the replacement value of the tree, whichever is higher.*

## Impacts on Protected Trees

---

### SITE DESCRIPTION

The property at 736 Partridge Ave. was a narrow rectangular lot. The topography was not notable. There was a house with detached garage on-site with a driveway on the right-hand side. The tree stock was a mix of natives (oaks), ornamentals, fruit trees, and small weedy shrubs.

### TREE INVENTORY

This tree preservation plan includes an attached inventory of all trees on the property regardless of species, that were at least 12 feet tall and 6-inch DBH.

This inventory also includes as necessary, any neighboring Heritage Trees with work proposed within 10 times their diameter (DBH). Any street trees within the public right-of-way were also included, regardless of size, as required by the City.

The Inventory includes each tree's number (as shown on the TPZ map), measurements, condition, level of impact (due to proximity to work), tolerance to construction, and overall suitability for retention. The inventory also includes the appraised value of each tree using the Trunk Formula Technique (10<sup>th</sup> Edition).

## PROJECT DESCRIPTION

After review of proposed plan set, it was my understanding that the existing structures and pavement were to be removed. A new two-story home with detached ADU would be built. The site would undergo landscaping improvements, including a new driveway, new walkways, and new patios. The new driveway would require excavation of five inches (5") into existing grade. It is our understanding from conversations with the design team that the total depth of driveway materials is 11 inches. This assumes six inches (6") are above grade to replace the original asphalt. Total excavation depth into existing grade would be five inches (5"). In response to comments, the driveway was also adjusted to create a 7.5-inch bump-out for the root flare of Tree #3H. Please see attached Tree Protection Plan Map.

## HOW CONSTRUCTION CAN DAMAGE TREES

### Damage to Roots

#### *Where are the Roots?*

The most common types of injury to trees that occur during property improvements are related to root cutting or damage. **Tree roots extend farther out than people realize, and the majority are located within the upper 24 inches of soil.** The thickest roots are found close to the trunk, and taper and branch into ropey roots. These ropey roots taper and branch into an intricate system of fine fibrous roots, which are connected to an even finer system of fungal filaments. This vast below-ground network is tasked with absorbing water and nutrients, as well as anchoring the tree in the ground, storage, and communication.

### *Damage from Excavation*

**Any type of excavation will impact adjacent trees by severing roots** and thus cutting off the attached network. Severing large roots, or trenching across the root plate, destroys large networks. Even work that appears to be far from a tree can impact the fibrous root system. Placing impervious surfaces over the ground, or installing below ground structures, such as a pool, or basement wall, will remove rooting area permanently from a site.

### *Damage from Fill*

**Adding fill can smother roots**, making it difficult for them to access air and water. The roots and other soil life need time to colonize the new upper layers of soil.

### *Changes to Drainage and Available Water*

Changes to the hydrology of the site, caused for instance by new septic fields, changes to grade, and drainage systems, can also cause big changes in available water for trees. Trees can die from lack of water or disease if their water supply dries up or gets much wetter than they are used to.

### *Soil Compaction and Contamination*

In addition, compaction of soil, or contamination of soil with wash-water, paint, fuel, or other chemicals used in the building process, can cause damage to the rooting environment that can last many years. Tree protection fencing creates a barrier to protect as many roots as possible from this damage, which can be caused by travelling vehicles, equipment storage, and other construction activities that may occur even outside the construction envelope.

## **Mechanical Injury**

Injury from the impact of vehicles or equipment can occur to the root crown, trunk, and lower branches of a tree. The bark protects a tree – creating a skin-like barrier from disease-causing organisms. The stem tissues support the weight of the plant. They also conduct the flow of water, sugars, and other important compounds throughout the tree. When the bark and wood is injured, the structure and health of the tree is compromised.



## IMPACTS TO HERITAGE TREES

### SUMMARY

Three (3) Heritage Trees would be impacted by the project: two (2) coast live oak and one (1) orange. One (1) magnolia (*Magnolia grandiflora*) Street tree would also be impacted. Two (2) trees on the property were recommended for removal.

My evaluation of the impacts of the proposed construction work for all affected trees was summarized in the Tree Inventory. These included impacts of grading, excavation for utility installation, retaining walls, drainage or any other aspect of the project that could impact the service life of the tree. Anticipated impacts to trees were summarized using a rating system of “severe,” “high,” “moderate,” “low,” or “very low.”

General species tolerance to construction, and condition of the trees (health and structural integrity), was also noted on the Inventory. These major factors, as well as tree age, soil characteristics, and species desirability, all factored into an individual tree’s suitability rating, as summarized on the Inventory. Suitability of trees to be retained was rated as “high,” “moderate,” “low.” Trees with low suitability would be appropriate candidates for removal. **Please see Glossary for definitions of ratings.**

### TREE REMOVALS

*Removal Justification for trees is as follows:*

- **Tree #5 was not a Heritage Tree:**
  - I recommended Tree #5 (crabapple, *Malus sylvestris*) for removal because it was within the footprint of the proposed patio. It would not survive the project.
- **Tree #4H (26.5” coast live oak):** This tree was within the footprint of the proposed detached ADU. **We recommend a minimum setback of 15 feet from the ADU to preserve this tree. It is our understanding that this is not feasible considering that the tree is well within the footprint of the planned ADU. Therefore, removal of this tree**

would be justified as per Menlo Park Administrative Guidelines section 13.24.050 Clause a.5 “development.”

### *Menlo Park Administrative Guidelines for Criterion 5:*

*The following documentation may be required to support tree removal for economic development:*

- *Schematic diagrams that demonstrate the feasibility/livability of alternative design(s) that preserve the tree, including utilizing zoning ordinance variances that would preserve the tree.*
- *Documentation on the additional incremental construction cost attributable to an alternative that preserves the tree (i.e. construction cost of alternative design minus cost of original design) in relation to the appraised value of tree(s) and based on the most recent addition to the Guide for Plant Appraisal.*

*The following guidance will be used to determine feasibility:*

- *If the incremental cost of the tree preservation alternative is more than 140% of the appraised value of the tree, the cost will be presumed to be financially infeasible.*
- *If the incremental cost of the tree preservation alternative is less than 110% of the appraised value of the tree, the cost will be presumed to be financially feasible.*
- *If the incremental cost of the tree preservation alternative is between 110% and 140% of the appraised value of the tree, public works director or their designee will consider a range of factors, including the value of the improvements, the value of the tree, the location of the tree, the viability of replacement mitigation and other site conditions.*
- *In calculating the incremental cost of the tree preservation alternative, only construction costs will be evaluated. No design fees or other soft costs will be considered.*

## **IMPACTS TO NEIGHBORING AND HERITAGE TREES**

- **Tree #1 (3” magnolia, Street tree):** This street tree was approximately eight feet (8’) from any work and would not be expected to be impacted by the project (0% - 5% root

loss). It would only need to be protected from material storage and movement throughout the site.

- **Tree #3H (41" neighboring coast live oak):** This tree, located on the property line, was in contact with the existing driveway to be removed, and within one foot (1') of the proposed driveway. **Assuming special instructions are followed, estimated root loss is no more than 10%. Please see "Special Tree Protection Measures" section of this report for guidelines on working within 6x DBH of this tree.**
- **Tree #2H (16" neighboring orange):** This neighboring tree was approximately 9 feet (9') from the existing and proposed driveway. It would be anticipated to sustain "moderate" impacts from the proposed work (10% - 25% root loss).

## Tree Protection Recommendations

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### PRE-CONSTRUCTION

#### Establish Tree Protection Zones (TPZ)

The Tree Protection Zone (TPZ) shall be a fenced-off area where work and material storage is not allowed. They are established and inspected prior to the start of work. This barrier protects the critical root zone and trunk from compaction, mechanical damage, and chemical spills. **The City requires that tree protection fencing be installed before any equipment comes on-site and inspected by the Project Arborist, who shall submit a verification letter to the City before issuance of permits.**

**Tree protection fencing is required to remain in place throughout construction and may only be moved or removed with written authorization from the City Arborist. The Project Arborist may authorize modification to the fencing when a copy of the written authorization is submitted to the City.**

**The following activities are prohibited inside the Tree Protection Zone. DO NOT:**

- Place heavy machinery for excavation
- Allow runoff or spillage of damaging materials
- Store or stockpile materials, tools, or soil
- Park or drive vehicles
- Trench, dig, or otherwise excavate without first obtaining authorization from the City Arborist or Project Arborist
- Change soil grade
- Trench with a machine
- Allow fires under and adjacent to trees
- Discharge exhaust into foliage
- Direct runoff towards trees
- Cut, break, skin, or bruise roots, branches, or trunks without authorization from the City Arborist
- Secure cable, chain, or rope to trees
- Apply soil sterilant under pavement near existing trees

**Specific recommended protection for trees is as follows:**

- **Tree #1 (3" magnolia, Street tree):** Establish standard TPZ fencing radius to five feet (5'), or to the greatest extent possible as limited by the street and sidewalk.
- **Tree #2H (16" neighboring orange):** Establish standard TPZ fencing radius to 15 feet, or to the greatest extent possible as limited by the driveway. along the driveway. Place fence posts into the ground along the existing hardscape.
- **Tree #3H (neighboring 41" oak):** I recommended TPZ Trunk Wrap as an alternative to protect this tree adjacent to the driveway where standard fencing would not be feasible. Please see "Trunk Wrap Specifications" on the following page as well as **attached diagram.**

### **TPZ FENCING SPECIFICATIONS:**

- 1) Establish tree protection fencing radius by installing six (6)-foot tall chain link fencing mounted on eight (8)-foot tall, 1.5-inch diameter galvanized posts, driven 24 inches into the ground and spaced no more than 10 feet apart.
- 2) Post signs on the fencing (in English and Spanish) printed on 11"x17" yellow-colored paper (signage attached at end of report) with Project Arborist's contact information. Signage should be on each protection fence in a prominent location.
- 3) Movable barriers of chain link fencing secured to cement blocks may be substituted for fixed fencing if the Project Arborist and City Arborist agree that the fencing will have to be moved to accommodate certain phases of construction. The builder may not move the fence without authorization from the Project Arborist or City Arborist.

### **TRUNK WRAP SPECIFICATIONS:**

- *Securely bind wooden slats at least 1-inch-thick around the trunk (preferably on a closed-cell foam pad). Secure and wrap at least one layer of orange plastic construction fencing around the outside of the wooden slats for visibility;*
- *DO NOT drive fasteners into the tree;*
- *Install trunk protection immediately prior to work within the TPZ and remove protection from the tree(s) as soon as work moves outside the TPZ;*
- *Protect major scaffold limbs as determined by the City Arborist or Project Arborist; and*
- *If necessary, install wooden barriers at an angle so that the trunk flare and buttress roots are also protected.*

## **Preventing Root Damage**

***Bare ground within the TPZ should have material applied over the ground to reduce soil compaction and retain soil moisture.*** This may be done by applying a six to 12-inch layer of wood chip mulch to the area. With this method, mulch in excess of four inches would have to be removed after work is completed. As an alternative method that would not require mulch

removal, the contractor could place plywood (>3/4-inch-thick) or road mats over a four-inch layer of mulch. Mulch should be spread manually so as not cause compaction or damage.

## Pruning Branches

I recommend that trees be pruned only as necessary to provide minimum clearance for proposed structures and the passage of workers, vehicles, and machines, while maintaining a natural appearance. Any large dead branches should be pruned out for the safety of people working on the site.

Pruning should be specified in writing adhering to ANSI A300 Pruning Standards and performed according to Best Management Practices endorsed by the International Society of Arboriculture. Any pruning (trimming) of branches should be supervised by an ISA-certified arborist.

**Any property owner wanting to prune heritage tree more than one-fourth of the canopy and/or roots, must have permission from the City.**

## Arborist Inspection

**The City requires that tree protection fencing be installed before any equipment comes on-site and inspected by the Project Arborist, who shall submit a verification letter to the City before issuance of permits. Tree protection fencing to be inspected by City Arborist before demo and/or building permit issuance.**

## DURING CONSTRUCTION

### Special Tree Protection Measures – Tree #3H (oak)

- 1) **Demolition of existing hardscape** should be performed in a manner that avoids tearing roots: Using the smallest effective machinery, break up pieces of the concrete and lift

pieces up and away from trees. Cut roots embedded in paving rather than tearing them (see instructions on root cuts).

## 2) **Exploratory Trench – Construction of the Driveway (< 3X DBH)**

- a. **I recommend an exploratory trench to be dug by hand, before excavation begins, to expose roots along the tree-side of the driveway.** Due to the proximity of the driveway to the tree, it is possible that large structural roots at the surface would make construction in this area unfeasible. Therefore, I recommend an exploratory trench inspection be done before building. During the planning phase is recommended to avoid last-minute plan changes.
- b. **Excavation depth for installation of new pavement should be no more than five inches (5") into existing soil grade within 20 feet of this tree. Compaction of subgrade should be minimal.**
- c. Builders may notice torn roots after digging or trenching. If this happens, or if roots must be cut for any reason, please see section titled "Root Pruning."

## Root Pruning

*As required by the City of Menlo Park:*

- *To avoid injury to tree roots, only excavate carefully by hand, compressed air, or high-pressure water within the dripline of trees.*
- *When the Contractor encounters roots smaller than 2-inches, hand-trim the wall of the trench adjacent to the trees to make even, clean cuts through the roots. Cleanly cut all damaged and torn roots to reduce the incidence of decay.*
- *Fill trenches within 24 hours. When it is infeasible to fill trenches within 24 hours, shade the side of the trench adjacent to the trees with four layers of dampened, untreated burlap. Wet burlap as frequently as necessary to maintain moisture.*
- ***When the Contractor encounters roots 2 inches or larger, report immediately to the Project Arborist. The Project Arborist will decide whether the Contractor may cut roots 2***

*inches or larger. If a root is retained, excavate by hand or with compressed air under the root. Protect preserved roots with dampened burlap.*

## Irrigation

Water moderately and highly impacted trees during the construction phase. As a rule of thumb, provide one to two inches per month. Water slowly so that it penetrates 18 inches into the soil, to the depth of tree roots. Do not water native oaks during the warm dry season (June – September) as this activates oak root fungus. Instead, make sure that the soil is sufficiently insulated with mulch (where possible). Remember that unsevered tree roots typically extend three to five times the distance of the canopy.

## Project Arborist Supervision

I recommend the Project Arborist meet with the builder on-site:

- Soon after excavation
- During any root pruning
- As requested by the property owner or builder to document tree condition and on-going compliance with tree protection plan (*required every 4 weeks by the City*).

**Any time development-related work is recommended to be supervised by a Project Arborist, a follow-up letter shall be provided, documenting the mitigation has been completed to specification.**

## POST-CONSTRUCTION

Ensure any mitigation measures to ensure long-term survival including but not limited to:

### Continued Tree Care

*Provide adequate and appropriate irrigation.* As a rule of thumb, provide 1- 2 inches of water per month. Water slowly so that it penetrates 18 inches into the soil, to the depth of the



tree roots. Native oaks usually should not be provided supplemental water during the warm, dry season (June – September) as this activates oak root fungus. Therefore, native oaks should only be watered October – May when rain has been scarce.

*Mulch* insulates the soil, reduces weeds, reduces compaction, and promotes myriad benefits to soil life and tree health. Apply four inches of wood chips (or other mulch) to the surface of the soil around trees, extending at least to the dripline when possible. Do not pile mulch against the trunk.

*Do not fertilize* unless a specific nutrient deficiency has been identified and a specific plan prescribed by the project arborist (or a consulting arborist).

## Post-Construction Monitoring

Monitor trees for changes in condition. Check trees at least once per month for the first year post-construction. Expert monitoring should be done at least every 6 months or if trees show signs of stress. Signs of stress include unseasonably sparse canopy, leaf drop, early fall color, browning of needles, and shoot die-back. Stressed trees are also more vulnerable to certain disease and pest infestations. Call the Project Arborist, or a consulting arborist if these, or other concerning changes occur in tree health.

## City Arborist Inspection

**A final inspection by the City Arborist is required at the end of the project. This is to be done before Tree Protection Fencing is taken down. Replacement trees should be planted by this time as well.**

## Conclusion

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The home building project planned at 736 Partridge Ave. appeared to be a valuable upgrade to the property. If any of the property owners, project team, or City reviewers have questions on this report, or require Project Arborist supervision or technical support, please do not hesitate to contact me at (408) 497-7158 or [busara@bofirestone.com](mailto:busara@bofirestone.com).

Signed,



**Busara (Bo) Firestone** | ISA Certified Arborist WE-#8525A | ASCA Registered Consulting Arborist  
RCA #758 | ISA Qualified Tree Risk Assessor | ASCA Tree and Plant Appraisal Qualification | Member –  
American Society of Consulting Arborists | Wildlife-Trained Arborist

# Supporting Information

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## GLOSSARY

*Terms appear in the order they appear from left to right on the inventory column headings.*

**DBH / DSH:** Diameter at 4.5' above grade. Trees which split into multiple stems at 4.5' are measured at the narrowest point below 4.5'.

**Mathematic DBH / DSH:** diameter of multitrunked tree, mathematically derived from the combined area of all trunks.

**SPREAD:** Diameter of canopy between farthest branch tips

**TREE STATUS:** A "Heritage Tree" is a tree that has protected status by the City of Menlo Park. The City can classify trees with Heritage status for their remarkable size, age, or unique value. However, in general, native oaks of 10 inches or more, and any tree having a trunk with a diameter of 15 inches or more has Heritage status (measured at 54 inches above natural grade, or at the branching point for multi-trunk trees).

**CONDITION-**Ground based visual assessment of structural and physiological well-being:

"**Excellent**" = 81 - 100%; Good health and structure with significant size, location or quality.

"**Good**" = 61-80%; Normal vigor, full canopy, no observable significant structural defects, many years of service life remaining.

"**Fair**" = 41-60%; Reduced vigor, significant structural defect(s), and/or other significant signs of stress

"**Poor**" = 21- 40%; In potentially irreversible decline, structure and aesthetics severely compromised

"**Very Poor**" = 6-20%; Nearly dead, or high risk of failure, negative contribution to the landscape

"**Dead/Unstable**" = 0 - 5%; No live canopy/buds or failure imminent

**IDEAL TPZ RADIUS:** Recommended tree protection radius to ensure healthy, sound trees. Based on species tolerance, age, and size (total combined stem area) as per industry best practice standards.

Compromising the radius in a specific area may be acceptable as per arborist approval. Municipalities in our region simplify this nuanced process by using the distance to the dripline, 10X DBH, or 6X DBH as acceptable setbacks from construction.

**AGE:** Relative to tree lifespan; "Young" <1/3; "Mature" 1/3 - 2/3; "Overmature" >2/3

**IMPACT:** Anticipated impact to an individual tree including.....

**SEVERE** - In direct conflict, removal necessary if plans proceed (distance to root cuts/fill within 3X DBH or root loss of > 30% anticipated).

**HIGH** – Work planned within 6X DBH and/or anticipated root loss of 20% – 30%. Redesign to reduce impact should be explored and may be required by municipal reviewer. Retainment may be possible with monitoring or alternative building methods. Health and structure may worsen **even if** conditions for retainment are met.

**MODERATE** - Ideal TPZ encroached upon in limited areas. No work or very limited work within 6X TPZ. Anticipated root loss of 10% - 25%. Special building guidelines may be provided by Project Arborist. Although some symptoms of stress are possible, tree is not likely to decline due to construction related activities.

**LOW** - Anticipated root loss of less than 10%. Minor or no encroachment on ideal TPZ. Longevity uncompromised with standard protection.

**VERY LOW** - Ideal TPZ well exceeded. Potential impact only by ingress/egress. Anticipated root loss of 0% - 5%. Longevity uncompromised.

**NONE** - No anticipated impact to roots, soil environment, or above-ground parts.

**TOLERANCE:** General species tolerance to construction (HIGH, MODERATE, or LOW) as given in Managing Trees During Construction, Second Edition, by International Society of Arboriculture

**SUITABILITY ASSESSMENT:** An individual tree's suitability for preservation considering impacts, condition, maturity, species tolerance, site characteristics, and species desirability. (HIGH, MODERATE, or LOW)

**APPRAISAL RESULT:** The reproduction cost of tree replacement as calculated by the Trunk Formula Technique.

## BIBLIOGRAPHY

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Champaign, IL: International Society of Arboriculture, 2016. Print.

ISA. *Guide for Plant Appraisal*, 10<sup>th</sup> edition, second printing. Atlanta, GA: International Society of Arboriculture, 2019. Print.

ISA. Species Classification and Group Assignment, 2004 Western Chapter Regional Supplement.

Western Chapter ISA.

Smiley, E. Thomas, Nelda Matheny, and Sharon Lilly. *Best Management Practices: Tree Risk*

*Assessment*: International Society of Arboriculture, 2011. Print.

## CERTIFICATE OF APPRAISAL

I, Busara Rea Firestone, CERTIFY to the best of my knowledge and belief:

1. That the statements of fact contained in this plant appraisal are true and correct.
2. That the appraisal analysis, opinions, and conclusion are limited only by the reported assumption and limiting conditions, and that they are my personal, unbiased professional analysis, opinions, and conclusions.
3. That I have no present or prospective interest in the plants that are the subject of this appraisal, and that I have no personal interest or bias with respect to the parties involved.
4. That my compensation is not contingent upon a predetermined value or direction in value that favors the cause of the client, the amount of the value estimate, the attainment of a stipulated result, or the occurrence of a subsequent event.
5. That my analysis, opinions, and conclusions are developed, and this appraisal has been prepared, in conformity with the *Guide for Plant Appraisal (10<sup>th</sup> edition, 2000)* authored by the Council of Tree and Landscape Appraisers.
6. That the methods found in this appraisal are based on a request to determine the value of the plants considering reasonable factors of plant appraisal.
7. That my appraisal is based on the information known to me at this time. If more information is disclosed, I may have further opinions.

Signed,



Busara (Bo) Firestone

ISA Board-Certified Master Arborist #WE-8525B

01/31/2024



BUSARA FIRESTONE  
#WE-8525B



KAITLYN MEYER  
#WE-14992A



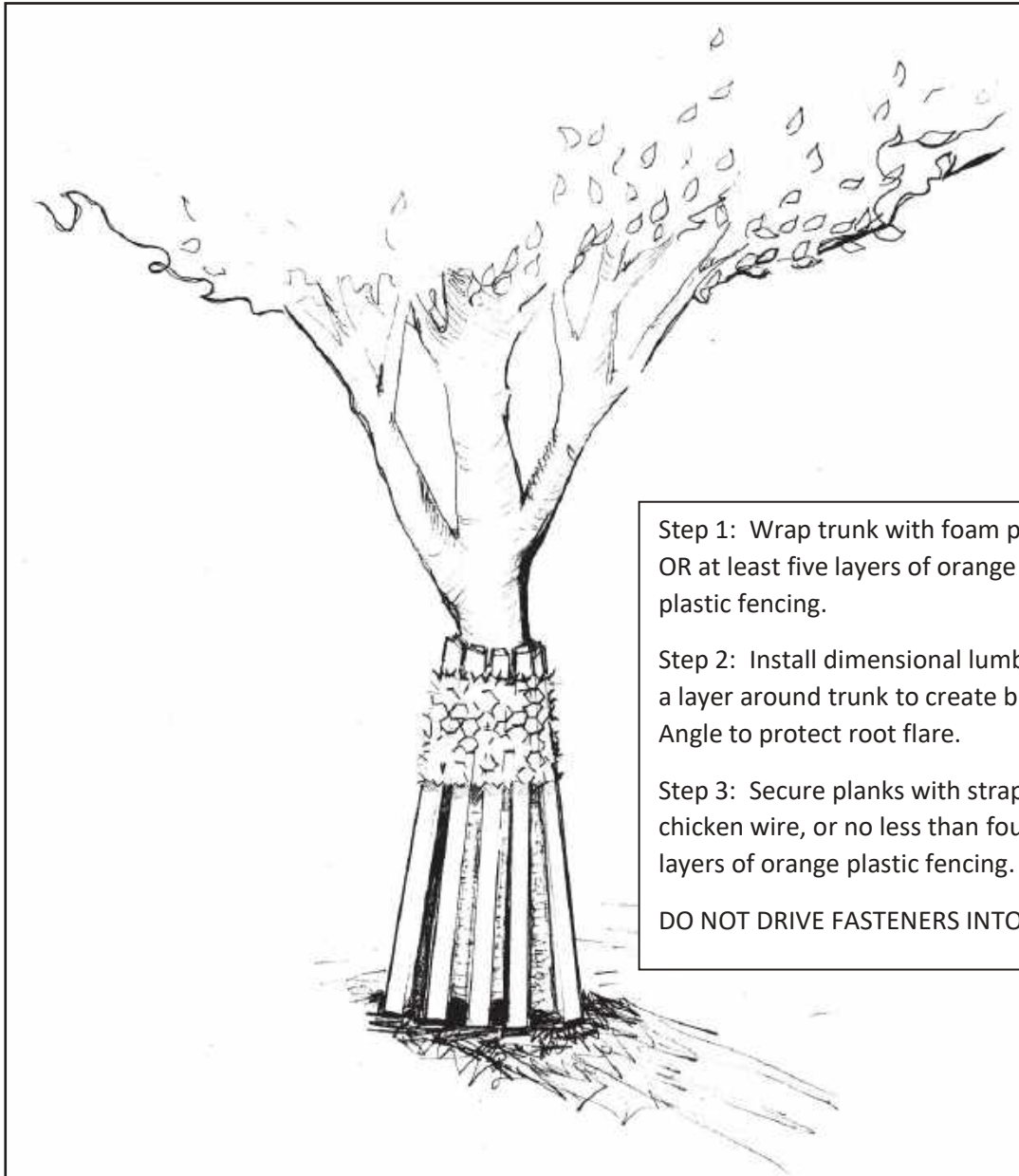
ON STAFF

BO FIRESTONE TREES & GARDENS  
2150 LACEY DR., MILPITAS, CA 95035  
E: BUSARA@BOFIRESTONE.COM C: (408) 497-7158  
WWW.BOFIRESTONE.COM



## TPZ III – Alternative Method of Tree Protection

May be used to protect trunk from damage during construction activities when standard TPZ fencing is not practical. Install prior to construction activities. Adjust to allow for diameter growth as needed.





## **WARNING TREE PROTECTION AREA**

**ONLY AUTHORIZED PERSONNEL MAY ENTER THIS AREA**

**No excavation, trenching, material storage, cleaning, equipment access, or dumping is allowed behind this fence.**

**Do not remove or relocate this fence without approval from the project arborist. This fencing must remain in its approved location throughout demolition and construction.**

### **Project Arborist contact information:**

Name: Bo Firestone

Business: Bo Firestone Trees & Gardens

Phone number: 408-497-7158



## **ADVERTENCIA: ÁREA DE PROTECCIÓN DE ÁRBOLES**

**SÓLO EL PERSONAL AUTORIZADO PUEDE INGRESAR A ESTA ÁREA**

**No se permite la excavación, zanjas, almacenamiento de materiales, limpieza, acceso de equipos, o vertido de residuos detrás de esta cerca.**

**No retire ni reubique esta cerca sin la aprobación del arborista del proyecto. Esta cerca debe permanecer en su ubicación aprobada durante todo el proceso de demolición y construcción.**

### **Información de contacto del arborista de este proyecto:**

Nombre: Bo Firestone

Empresa: Bo Firestone Trees & Gardens

Número de teléfono: 408-497-7158

Zadeh Residence rev. 1/31/24

TREE IMPACT ASSESSMENT																				
#	Heritage (H)	Common Name	Botanical Name	Protected Status	DBH (inches)	math. DBH (inches)	Height (feet)	Spread (feet)	Condition	Health, Structure, Form notes	Age	Species Tolerance	6X DSH* (feet)	Est. Root Loss**	TPZ mult. Factor	Ideal TPZ Radius (ft)	Impact Level ***	Suitability Rating	Removal Status	Appraisal Result
1		Southern Magnolia	<i>Magnolia grandiflora</i>	STREET	3	3	15	10	GOOD (75%)	full green canopy, pleasing form, good vigor, ivy	YOUNG	MODERATE	2	0% - 5%	8	2	VERY LOW	HIGH	PRESERVE	\$470
2	H	Orange	<i>Citrus x sinensis</i>	HERITAGE	est. 10, (2) 9	16	25	25	GOOD (75%)	full green canopy, pleasing form, good vigor, ivy	MATURE	MODERATE	8	10% - 25%	12	16	MODERATE	HIGH	PRESERVE	\$10,600
3	H	Coast Live Oak	<i>Quercus agrifolia</i>	HERITAGE	41	41	60	60	GOOD (75%)	full green canopy, pleasing form, good vigor, growing into pavement	OVERMATURE	HIGH	21	<10%	12	41	LOW	HIGH	PRESERVE	\$26,100
4	H	Coast Live Oak	<i>Quercus agrifolia</i>	HERITAGE	26.5	26.5	45	35	FAIR (50%)	30° lean, signs of insect damage on trunk, good vigor	MATURE	HIGH	13	> 30%	8	18	SEVERE	LOW	REMOVE (X)	\$13,100
5		Crabapple	<i>Malus sylvestris</i>	(not heritage)	10	10	25	25	GOOD (75%)	good vigor, full green canopy, pleasing form	MATURE	MODERATE	5	> 30%	12	10	SEVERE	LOW	REMOVE (X)	\$4,930
KEY:																				
#	Neighboring / City Street Tree																			
	Removal Request																			

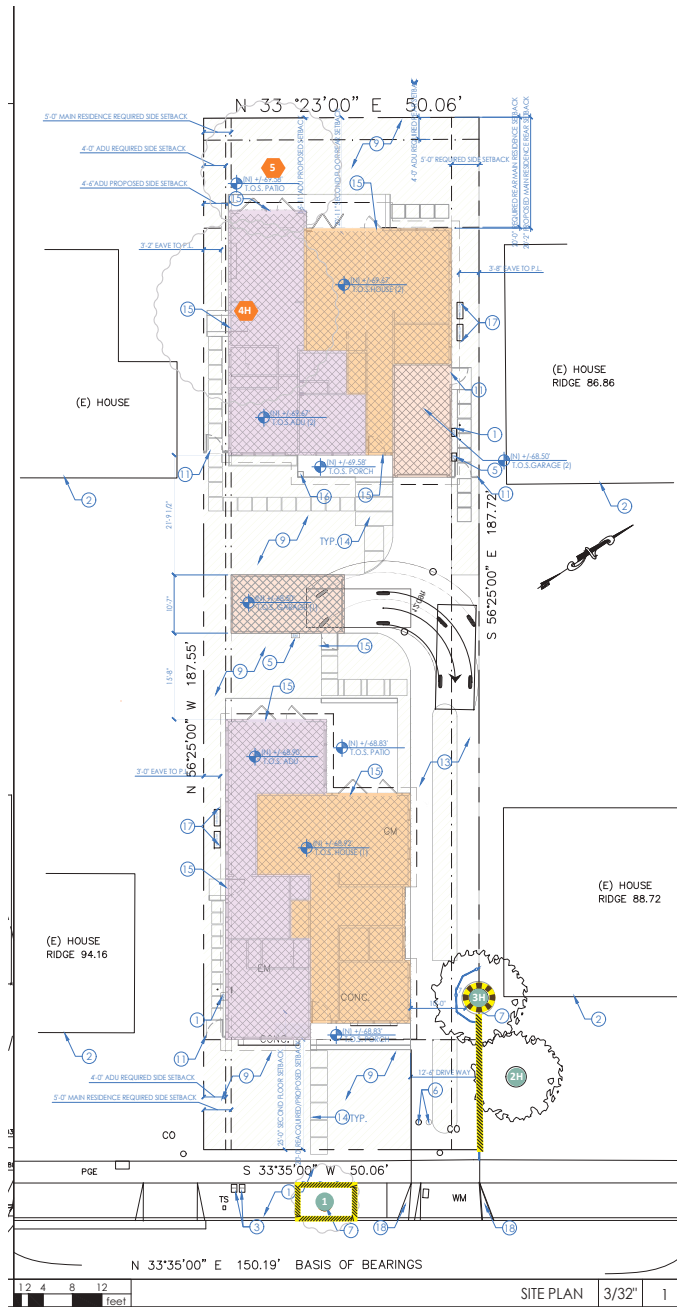
SEE GLOSSARY FOR DEFINITION OF TERMS

\* 6X DBH is recognized by tree care industry best practices as the distance from trunkface to a cut across the root plate that would result in a loss of approximately 25% of the root mass. Cuts closer than this may result in tree decline or instability.

\*\*Based on approximate distance to excavation and extent of excavation (as shown on plans).

\*\*\*Impact level assuming all basic and special tree protection measures are followed.

Appraisal calculations summary available upon request.



TPZ MAP LEGEND:

	TREE TO REMOVE
	TREE ON NEIGHBORS' PROPERTY / CITY STREET TREE
	TREE PROTECTION FENCING (SEE SPEC)
	TRUNK WRAP (SEE SPEC)

NOTE: ALL TREES WERE PLACED BY PROJECT ARBORIST AND LOCATIONS ARE APPROXIMATE.

- Tree protection fencing requirements as required by the City of Menlo Park:
- 1) Establish tree protection fencing radius by installing six (6)-foot tall chain link fencing mounted on eight (8)-foot tall, 1.5-inch diameter galvanized posts, driven 24 inches into the ground and spaced no more than 10 feet apart.
  - 2) Place signs on the fencing (in English and Spanish) printed on 11x17 yellow-colored paper (signage attached) with Project Arborist's contact information. Signage should be on each protection fence in a prominent location.
  - 3) Movable barriers of chain link fencing secured to cement blocks may be substituted for fixed fencing if the Project Arborist and City Arborist agree that the fencing will have to be moved to accommodate certain phases of construction. The builder may not move the fence without authorization from the Project Arborist or City Arborist.
  - 4) Place a 6-inch layer of coarse mulch or woodchips covered with 1/2-inch plywood or alternative within the TPZ over bare ground prior to construction activity.

SITE PLAN KEYNOTES	
	PROPERTY LINE--SEE TOPO SURVEY FOR MORE INFO
	REQUIRED YARD SETBACK/EASEMENT
	TREE PROTECTION FENCING--TREE PROTECTION TO BE INSTALLED PRIOR TO START OF CONSTRUCTION AND REMAIN IN PLACE TILL COMPLETION--SEE ARBORIST REPORT FOR ADDITIONAL INFO
	EXISTING BUILDING AREA
	NEW BUILDING AREA
	NEW DRIVEWAY
	NEW LANDSCAPE AREA--SEE LS AREA CALCS FOR MORE INFO
	NEW MAIN RESIDENCE
	NEW ADU
	NEW GARAGE
	SPOT ELEVATION, SEE CIVIL DRAWINGS FOR MORE INFO
	TREE NUMBER--REFER TO ARBORIST REPORT FOR SPECIES AND OTHER INFO
	TREE TO BE REMOVED

NOTES:

1. (E) WATER SUPPLY TO BE REPLACED FROM METER IN.
2. (E) SEWER LATERAL TO BE REPLACED FROM PROPERTY LINE.
3. SEE LS PLANS FOR ALL SITE CONCRETE AND HARDSCAPE DETAILS--CO-ORDINATE WITH CIVIL & GEOTECH. REQUIREMENTS

# TREE PROTECTION ZONE MAP

736 PARTRIDGE AVE, MENLO PARK, CA

DATE:  
rev. 01/31/2024

TPZ ELEMENTS DRAWN:  
B. FIRESTONE  
ISA-CERTIFIED ARBORIST  
#WE-8525A

BASE MAP: SITE PLAN A1.0a  
by ARDALAN DJALALI  
(01/26/2024)

ARBORIST REPORT  
pg. 25

<p><b>LOCATION:</b> 734-736 Partridge Avenue</p>	<p><b>PROJECT NUMBER:</b> PLN2023-00046</p>	<p><b>APPLICANT:</b> Ali Zadeh</p>	<p><b>OWNER:</b> Ali Zadeh</p>
<p><b>PROJECT CONDITIONS:</b></p> <ol style="list-style-type: none"> <li>1. The use permit shall be subject to the following <b>standard</b> conditions:             <ol style="list-style-type: none"> <li>a. The applicant shall be required to apply for a building permit within one year from the date of approval (by September 9, 2025) for the use permit to remain in effect.</li> <li>b. Development of the project shall be substantially in conformance with the plans prepared by Ardalan Djalali consisting of 43 plan sheets, dated received August 29, 2024 and approved by the Planning Commission on September 9, 2024, except as modified by the conditions contained herein, subject to review and approval of the Planning Division.</li> <li>c. Prior to building permit issuance, the applicant shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.</li> <li>d. Prior to building permit issuance, the applicant shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.</li> <li>e. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.</li> <li>f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.</li> <li>g. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.</li> <li>h. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the arborist report prepared by Bo Firestone Trees &amp; Gardens, dated January 31, 2024.</li> <li>i. Prior to building permit issuance, the applicant shall pay all fees incurred through staff time spent reviewing the application.</li> <li>j. The applicant or permittee shall defend, indemnify, and hold harmless the City of Menlo Park or its agents, officers, and employees from any claim, action, or proceeding against the City of Menlo Park or its agents, officers, or employees to attack, set aside, void, or annul an approval of the Planning Commission, City Council, Community Development Director, or any other department, committee, or agency of the City concerning a development, variance, permit, or land use approval which action is brought within the time period provided for in any applicable statute; provided, however, that the applicant's or permittee's duty to so defend, indemnify, and hold harmless shall be subject to the City's promptly notifying the applicant or permittee of any said claim, action, or proceeding and the City's full cooperation in the applicant's or permittee's defense of said claims, actions, or proceedings.</li> </ol> </li> </ol>			

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<p><b>PROJECT CONDITIONS:</b></p> <ul style="list-style-type: none"> <li>k. Notice of Fees Protest – The applicant may protest any fees, dedications, reservations, or other exactions imposed by the City as part of the approval or as a condition of approval of this development. Per California Government Code 66020, this 90-day protest period has begun as of the date of the approval of this application.</li> </ul> <p>2. The use permit shall be subject to the following <b>project-specific</b> conditions:</p> <ul style="list-style-type: none"> <li>a. Prior to the granting of the first occupancy for the project, the applicant shall plant one 24” box Persian ironwood street tree in the public right-of-way fronting the property, subject to review and approval by the Planning Division, Engineering Division, and City Arborist.</li> <li>b. Prior to the granting of the first occupancy for the project, the Applicant shall slurry seal the entire project frontage (curb to curb) to be reviewed and approved by the Engineering Division.</li> </ul>			



City of Menlo Park  
 Location Map  
 734-736 PARTRIDGE AVENUE



734-736 Partridge Avenue – Attachment C: Data Table

	PROPOSED PROJECT		EXISTING PROJECT		ZONING ORDINANCE	
Lot area	9,392	sf	9,392	sf	7,000	sf min
Lot width	50.1	ft	50.1	ft	65	ft min
Lot depth	187.6	ft	187.6	ft	100	ft min
Setbacks						
Front	20	ft	27.9	ft	20	ft min
Rear	22.9	ft	73.1	ft	20	ft min
Side (left)	9.7	ft	4.6	ft	10% of lot width, minimum 5 feet	
Side (right)	5	ft	9.6	ft		
Building coverage <sup>1</sup>	3,802.1	sf	2,715	sf	3,287	sf max
	40.5	%	28.9	%	35	% max
FAL (Floor Area Limit) <sup>1</sup>	5,069.9	sf	2,715	sf	3,756	sf max
Square footage by floor	909.2	sf/1 <sup>st</sup> Unit 1	2,310	sf/1 <sup>st</sup>		
	726.8	sf/2 <sup>nd</sup> Unit 1	405	sf/garage		
	738.8	sf/1 <sup>st</sup> Unit 2				
	680.7	sf/2 <sup>nd</sup> Unit 2				
	217.8	sf/ detached garage				
	226.3	sf/attached garage				
	139.7	sf/covered porches				
	774.9	sf/ADU Unit 1				
	795.4	sf/ADU Unit 2				
Square footage of buildings	5,209.6	sf	2,715	sf		
Building height	24.9	ft/Unit 1	12.5	ft	28	ft max
	26.5	ft/Unit 2				
Parking <sup>2</sup>	2 covered spaces		2 covered spaces		1 covered and 1 uncovered space per unit	
Note: Areas shown highlighted indicate a nonconforming or substandard situation						
Trees	Heritage trees <sup>3</sup>	3	Non-Heritage trees <sup>4</sup>	2	New trees <sup>5</sup>	7
	Heritage trees proposed for removal	1	Non-Heritage trees proposed for removal	1	Total Number of trees	10

- Each single family home is entitled to an ADU, each of which may exceed the maximum floor area limit and building coverage by up to 800 square feet.
- The project is subject to AB 2097 and, and therefore no onsite parking is required.
- Of these trees, one is on the subject property, one is a shared tree, and one is on a neighboring property.
- Of these trees, one is on the subject property and one is in the city right-of-way.
- Of these trees, six are on the subject property and one is in the city right-of-way.