



## REGULAR MEETING AGENDA

**Date:** 12/2/2024  
**Time:** 7:00 p.m.  
**Location:** Zoom.us/join – ID# 858 7073 1001 and  
City Council Chambers  
751 Laurel St., Menlo Park, CA 94025

Members of the public can listen to the meeting and participate using the following methods.

### How to participate in the meeting

- Access the live meeting, in-person, at the City Council Chambers
- Access the meeting real-time online at:  
[zoom.us/join](https://zoom.us/join) – Meeting ID# 858 7073 1001
- Access the meeting real-time via telephone (listen only mode) at:  
(669) 900-6833  
Regular Meeting ID # 858 7073 1001  
Press \*9 to raise hand to speak
- Submit a written comment online up to 1-hour before the meeting start time:  
[planning.commission@menlopark.gov](mailto:planning.commission@menlopark.gov)\*  
Please include the agenda item number related to your comment.

\*Written comments are accepted up to 1 hour before the meeting start time. Written messages are provided to the Planning Commission at the appropriate time in their meeting.

Subject to change: The format of this meeting may be altered or the meeting may be canceled. You may check on the status of the meeting by visiting the city website [menlopark.gov](https://menlopark.gov). The instructions for logging on to the webinar and/or the access code is subject to change. If you have difficulty accessing the webinar, please check the latest online edition of the posted agenda for updated information ([menlopark.gov/agendas](https://menlopark.gov/agendas)).

## Regular Meeting

### A. Call To Order

### B. Roll Call

### C. Reports and Announcements

### D. Public Comment

Under “Public Comment,” the public may address the Commission on any subject not listed on the agenda. Each speaker may address the Commission once under public comment for a limit of three minutes. You are not required to provide your name or City of residence, but it is helpful. The Commission cannot act on items not listed on the agenda and, therefore, the Commission cannot respond to non-agenda issues brought up under Public Comment other than to provide general information.

### E. Consent Calendar

- E1. Architectural Control/Debra Ferrand/816 Santa Cruz Ave.:  
Consider and adopt a resolution to approve an architectural control permit for an attached pergola, a new wood fence, and other site improvements associated with an existing outdoor seating area at the rear of an existing commercial building in the SP-ECR-D (El Camino/Downtown Specific Plan-Downtown Main Street Overlay) district; determine this action is categorically exempt under CEQA Guidelines Section 15301’s Class 1 exemption for existing facilities. ([Staff Report #24-051-PC](#))

### F. Public Hearing

- F1. Use Permit/Mark Burbridge/351 Barton Pl.:  
Consider and adopt a resolution to approve a use permit to partially demolish an existing single-story, single-family residence and construct first- and second-story additions and conduct interior modifications to an existing nonconforming structure on a substandard lot with regard to minimum lot width in the R-1-U (Single Family Urban Residential) zoning district at 351 Barton Place. The proposed project would remove the nonconforming portions of the existing structure and the additions would exceed 50 percent of the existing floor area, and is considered equivalent to new structure; determine this action is categorically exempt under CEQA Guidelines Section 15301’s Class 1 exemption for existing facilities. ([Staff Report #24-052-PC](#))
- F2. Use Permit/Spiffy Pottery Studio/1919 Menalto Ave.:  
Consider and adopt a resolution to approve a use permit for a change of use from a dance studio to a pottery studio for a tenant suite within an existing commercial building that is substandard with regard to the minimum parking requirement in the C-MU (Neighborhood Mixed Use) zoning district at 1919 Menalto Avenue. The proposed pottery studio is considered a special use and is conditionally permitted subject to a use permit; determine this action is categorically exempt under CEQA Guidelines Section 15301’s Class 1 exemption for existing facilities. ([Staff Report #24-053-PC](#))

## **G. Regular Business**

- G1. Review of draft 2025 Planning Commission meeting dates. ([Staff Report #24-054-PC](#)).

## **H. Informational Items**

- H1. Future Planning Commission Meeting Schedule – The upcoming Planning Commission meetings are listed here, for reference. No action will be taken on the meeting schedule, although individual Commissioners may notify staff of planned absences.

- Regular Meeting: December 16, 2024

## **I. Adjournment**

At every regular meeting of the Planning Commission, in addition to the public comment period where the public shall have the right to address the Planning Commission on any matters of public interest not listed on the agenda, members of the public have the right to directly address the Planning Commission on any item listed on the agenda at a time designated by the chair, either before or during the Planning Commission's consideration of the item.

At every special meeting of the Planning Commission, members of the public have the right to directly address the Planning Commission on any item listed on the agenda at a time designated by the chair, either before or during consideration of the item. For appeal hearings, appellant and applicant shall each have 10 minutes for presentations.

If you challenge any of the items listed on this agenda in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the City of Menlo Park at, or before, the public hearing.

Any writing that is distributed to a majority of the Planning Commission by any person in connection with an agenda item is a public record (subject to any exemption under the Public Records Act) and is available by request by emailing the city clerk at [jaherren@menlopark.gov](mailto:jaherren@menlopark.gov). Persons with disabilities, who require auxiliary aids or services in attending or participating in Planning Commission meetings, may call the City Clerk's Office at 650-330-6620.

Agendas are posted in accordance with Cal. Gov. Code §54954.2(a) or §54956. Members of the public can view electronic agendas and staff reports by accessing the city website at [menlopark.gov/agendas](http://menlopark.gov/agendas) and can receive email notifications of agenda postings by subscribing at [menlopark.gov/subscribe](http://menlopark.gov/subscribe). Agendas and staff reports may also be obtained by contacting City Clerk at 650-330-6620. (Posted: 11/26/2024)



## STAFF REPORT

**Planning Commission**

**Meeting Date:**

**12/2/2024**

**Staff Report Number:**

**24-051-PC**

**Consent Calendar:**

**Consider and adopt a resolution to approve an architectural control permit for an attached pergola, a new wood fence, and other site improvements associated with an existing outdoor seating area at the rear of an existing commercial building in the SP-ECR-D (El Camino/Downtown Specific Plan-Downtown) zoning district at 816 Santa Cruz Avenue; determine this action is categorically exempt under CEQA Guidelines Section 15301's Class 1 exemption for existing facilities.**

### Recommendation

Staff recommends that the Planning Commission adopt a resolution approving architectural control for an attached pergola, a new wood fence, and other site improvements associated with an existing outdoor seating area at the rear of an existing commercial building in the SP-ECR-D (El Camino/Downtown Specific Plan) zoning district. The proposed improvements are associated with an existing cafe and bakery at 816 Santa Cruz Ave. (Mademoiselle Colette). The draft resolution, including the recommended actions and conditions of approval, is included as Attachment A.

### Policy Issues

The proposed project is located in the El Camino Real-Downtown Specific Plan (SP-ECR/D) zoning district and the Downtown/Station Area Main Street Overlay land use designation. The guiding principles of the Specific Plan and the goals, policies, and programs of the City's General Plan provide a framework for evaluating the architectural control request. The Specific Plan includes two applicable guiding principles: Generate Vibrancy and Sustain Menlo Park's Village Character.

Additionally, the City's General Plan includes a number of goals, and associated policies used to implement those goals that provide guidance for decision-makers. These goals include: LU-3: Retain and enhance existing and encourage new neighborhood-serving commercial uses; LU-4: Promote and encourage existing and new business to be successful; and LU-5: Strengthen Downtown and the El Camino Real Corridor as a vital, competitive shopping area. Each architectural control review request is considered individually and the Planning Commission will need to consider whether the required architectural control findings identified in Menlo Park Municipal Code Section (MPMC) 16.69.020 can be made for the proposal.

## **Background**

### ***Site location***

Using Santa Cruz Avenue in the east-west orientation, the property is located on the north side of Santa Cruz Avenue near the corner of Crane Street. The property is zoned SP-ECR/D (El Camino Real/Downtown Specific Plan). Within the Specific Plan, the property is in the Downtown (D) sub-district and the Downtown Station Area Main Street Overlay (DSAMSO) land use designation. The existing single-story building was constructed prior to adoption of the Specific Plan, around 1951. Three tenant suites (812, 814 and 816 Santa Cruz Avenue) comprise the existing commercial building. Both the 812 and the 814 tenant suites are occupied by personal services (hair salons) and the subject tenant suite at 816 Santa Cruz Avenue is currently occupied by Madmoiselle Colette. A location map has been included as Attachment B.

The surrounding lots are all part of the SP-ECR/D zoning district and within the D sub-district. Properties along Santa Cruz Avenue are located within the Downtown/Station Area "Main Street" Overlay (DSAMSO) land use designation (including the project site), while properties to the rear of the project site (fronting Oak Grove Avenue) are located within the Downtown/Station Area Retail/Mixed Use (DSARMU) land use designation. Surrounding properties near the subject property include a mix of commercial uses (primarily retail and restaurant uses).

### ***Project history***

In July 2015, an administrative permit request for outdoor seating for the rear patio area, and sale of beer and wine was approved for the restaurant use. The approval also included minor updates to the front and rear facades which were in substantial conformance with the existing building.

## **Analysis**

### ***Project description***

The applicant is proposing comprehensive exterior modifications to the existing rear enclosed patio, used for outdoor seating by the existing café/bakery. The exterior modifications would add a new attached wooden pergola, replace the existing wrought iron fence with a new six-foot tall wooden fence with a gate, and incorporate a wooden planter and bench within the outdoor seating area. The new pergola, fence, and planter and bench would be painted white. There would be no change to the existing footprint of the enclosed outdoor patio or modifications to the existing building. The project plans and project description letter are included as Attachment A, Exhibits A and B, respectively.

The applicant's proposal aligns with a number of goals as set forth in the General Plan, such as:

- Goal LU-3 of the General Plan is meant to encourage neighborhood-serving commercial uses that would create a vibrant commercial corridor. The proposed renovations to the rear enclosed patio would update the existing outdoor seating area. The proposed project would align with Policy L-3.3 which seeks to preserve small businesses and enhance the character of the neighborhood.
- Goal LU-4 of the General Plan is designed to encourage existing businesses to be successful. The applicant's proposed outdoor modifications align with Policy LU-4.5 which allows modifications to businesses and structures that promote revenue generating uses. The applicant's willingness to take on the cost of improvements would bring a fresh, updated appearance to the rear patio and outdoor seating area and create a welcoming secondary entrance to the restaurant.
- Goal LU-5 of the General Plan is to strengthen the downtown and the El Camino Real corridor as a vital,

competitive shopping area while enhancing downtown's atmosphere. The applicant's exterior modifications combined with the existing restaurant use aligns with Policy LU-5.1 of ensuring a complimentary mix of uses with appropriate design. The applicant's proposal would continue to contribute to a complementary mix of retail and restaurant uses along Santa Cruz Avenue, and a variety of uses within the downtown area.

These goals work together to help fulfill a number of the Specific Plan's guiding principles.

### ***Design and materials***

Currently, the single-story commercial building is developed with three suites, each distinguishable from one another along the front façade based on individual paint color, awnings and signage. The rear, in comparison, is plainer, with 812 and 814 painted beige, and 816 painted grey. The rear façade of the subject tenant suite (816) is distinguishable from the other two tenant suites with the existing grey paint color, and the black wrought iron fence with a gate and landscaping. Proposed exterior modifications would include replacing the existing wrought iron fence with a new six-foot tall white board and batten fence with a gate and a new attached red cedar pergola (painted white).

The white pergola would pop out in contrast to the grey background and landscaping, creating visual interest. The pergola would also create sense of enclosure and provide some shading. Additionally, the applicant is proposing a 37-inch tall wooden planter and 18-inch tall bench in front of the planters, intended to elevate the outdoor seating experience, while adding additional seating. The fence would have a gate for accessing the rear patio from the public parking plaza. The brick/concrete patio flooring is proposed to remain. The proposed materials, finishes, and colors are shown on Sheet A-110 and A-111 of the plan set (Attachment A, Exhibit A). The project would not alter the existing enclosed outdoor patio footprint, existing gross floor area, or sidewalk between the project site and the parking plaza.

### **Specific Plan Design Standards and Guidelines**

The Specific Plan includes a detailed set of design standards and guidelines. Compliance with the standards and guidelines is evaluated in the Standards and Guidelines Project Compliance Worksheet (Attachment A, Exhibit C). Guidelines related to ground floor treatment for commercial frontages, which are intended to provide for a pleasant pedestrian experience with visual interest, continuity for storefronts, and retail transparency, would be met. Select relevant guidelines are discussed below:

E.3.5.19 (Guideline): Storefront elements such as windows, entrances and signage should provide clarity and lend interest to the façade.

Complies: The existing building provides a well-defined rear façade with the proposed pergola and fencing which distinguishes the existing restaurant from the other tenant spaces. The proposed white pergola would stand out in the contrast of the grey background adding to the façade visual interest.

E.3.6.03 (Guideline) Private and/or common open spaces are encouraged in all developments as part of building modulation and articulation to enhance building façade.

Complies: There is existing private open space in the form of outdoor seating which would be modernized with a new pergola, fence, bench seating and fresh landscaping.

E.3.6.07 (Guideline) Landscaping of private open spaces should be attractive, durable and drought-resistant.

Complies: The private open space would be landscaped to meet the guideline.

Staff believes that the proposed changes would enhance the vitality of Downtown and provide an enhanced outdoor seating area for the existing business. Staff believes the proposed modifications to the existing commercial building would be consistent with the existing aesthetics of downtown. The proposed modifications would be compatible with the surrounding buildings. The proposed changes would comply with relevant El Camino Real/Downtown Specific Plan design standards and guidelines (many of which are not applicable because this is an existing building that is not being heavily modified), as documented in Attachment A, Exhibit C, and would provide a comprehensive modern update to the existing space.

### **Parking**

The existing building complies with the Specific Plan parking requirements as the subject site is located in the downtown shared and unbundled parking area, where parking for the first 1.0 floor area ratio (FAR) of the building is covered by the public parking plazas. The FAR of the existing building is approximately 0.75 and the subject property currently does not include parking on site, and no on-site parking is proposed. The subject property is located within one-half mile of a major transit stop (Caltrain Station). Per Assembly Bill 2097, a development project located within a half mile of a major transit stop is not required to provide any parking.

### **Correspondence**

Staff received one letter of support for the proposed project included in Attachment C.

### **Conclusion**

Staff believes that the proposed design and materials would be generally compatible with the surrounding buildings in the downtown. The proposed design elements, such as the proposed wooden six-foot tall fence white fence with gate and new landscaping would provide an update to the building's existing features while maintaining the building's earlier appearance. Additionally, the new wooden pergola would enhance the building's rear appearance, creating a welcoming atmosphere from the public parking plaza. The new exterior elements and modifications proposed as part of the project would comply with all relevant Specific Plan design standards and guidelines. The proposed project would be consistent with a number of goals and policies from the General Plan and the guiding principles of the Specific Plan. Staff recommends that the Planning Commission approve the proposed project.

### **Impact on City Resources**

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

### **Environmental Review**

The Specific Plan process included detailed review of projected environmental impacts through a program Environmental Impact Report (EIR), as required by the California Environmental Quality Act (CEQA), certified in April 2012.

The proposed project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines, and as such, no additional environmental

analysis is required above and beyond the Specific Plan EIR. Relevant mitigation measures from the EIR's Mitigation Monitoring and Reporting Program (MMRP) apply to projects within the Specific Plan; however, given the project's limited scope of work, none of the mitigation measures apply to this project. The structure is over 50 years old, but in this case, mitigation measure (CUL 1) requiring a report from an architectural historian, would not apply, as the building has undergone significant changes over the years.

### **Public Notice**

Public notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

### **Appeal period**

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

### **Attachments**

- A. Draft Planning Commission Resolution
  - Exhibits to Attachment A
  - A. Project Plans
  - B. Project Description Letter
  - C. Specific Plan Standards and Guidelines Compliance Worksheet
  - D. Conditions of Approval
- B. Location Map
- C. Correspondence

### **Disclaimer**

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

Report prepared by:  
Fahteen Khan, Associate Planner

Report reviewed by:  
Corinna Sandmeier, Principal Planner



**PLANNING COMMISSION RESOLUTION NO. 2024-XXX**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MENLO PARK APPROVING AN ARCHITECTURAL CONTROL PERMIT FOR AN ATTACHED PERGOLA, NEW WOOD FENCE AND OTHER SITE IMPROVEMENTS ASSOCIATED WITH AN EXISTING OUTDOOR SEATING AREA FOR 816 SANTA CRUZ AVENUE IN THE SP-ECR/D (EL CAMINO REAL-DOWNTOWN SPECIFIC PLAN) ZONING DISTRICT.**

WHEREAS, the City of Menlo Park (“City”) received an application requesting an architectural control permit for exterior modifications which include an attached pergola, new wood fence and other site improvements to an existing commercial building located in the SP-ECR/D (El Camino Real/Downtown Specific Plan) zoning district, (collectively, the “Project”), from Debora Ferrand (“Applicant”) and Anne Wilbur (“Owner”), located at 816 Santa Cruz Avenue (APN 071-281-170) (“Property”). The Project architectural control permit request is depicted in and subject to the development plans and project description letter, which are attached hereto as Exhibit A and Exhibit B, respectively, and incorporated herein by this reference; and

WHEREAS, the Property is located in the SP-ECR/D (El Camino Real/Downtown Specific Plan) zoning district, and the Downtown “D” sub-district, which supports a variety of uses including restaurant, retail, and service uses, and office and residential uses; and

WHEREAS, the Property is designated as Downtown Station Area Main Street Overlay (DSAMSO) land use designation; and

WHEREAS, the proposed Project would comply with applicable standards and guidelines of the SP-ECR/D zoning district, attached herein as Exhibit C; and

WHEREAS, the proposed Project would involve physical modifications to the existing commercial building, which would provide an update to the rear of the site while maintaining a balanced and consistent appearance; and

WHEREAS, the findings and conditions for the architectural control would ensure that all City requirements are applied consistently and correctly as part of the project’s implementation; and

WHEREAS, the Project requires discretionary actions by the City as summarized above, and therefore the California Environmental Quality Act (“CEQA,” Public Resources Code Section §21000 et seq.) and CEQA Guidelines (Cal. Code of Regulations, Title 14, §15000 et seq.) require a determination regarding the Project’s compliance with CEQA; and

WHEREAS, the City is the lead agency, as defined by CEQA and the CEQA Guidelines, and is therefore responsible for the preparation, consideration, certification, and approval of environmental documents for the Project; and

WHEREAS, the Project is exempt from environmental review pursuant to CEQA Guidelines §15301 (Existing Facilities); and

WHEREAS, all required public notices and public hearings were duly given and held according to law; and

WHEREAS, at a duly and properly noticed public hearing held on December 2, 2024, the Planning Commission fully reviewed, considered, and evaluated the whole of the record, including all public and written comments, pertinent information, documents and plans, prior to taking action regarding the proposed Project.

NOW, THEREFORE, THE MENLO PARK PLANNING COMMISSION HEREBY RESOLVES AS FOLLOWS:

Section 1. Recitals. The Planning Commission has considered the full record before it, which may include but is not limited to such things as the staff report, public testimony, and other materials and evidence submitted or provided, and the Planning Commission finds the foregoing recitals are true and correct, and they are hereby incorporated by reference into this Resolution.

Section 2. Architectural Control Permit. The Planning Commission of the City of Menlo Park does hereby make the following Findings:

The approval of the architectural control permit for a new attached pergola, new wood fence and other site improvements to the rear of the existing commercial building at 816 Santa Cruz Avenue suite is granted based on the following findings, which are made pursuant to Menlo Park Municipal Code Section 16.82.020:

1. That the general appearance of the structure is in keeping with character of the neighborhood, in that, the change of materials and exterior modifications will comply with the SP-ECR/D zoning district objective standards, and will provide visual interest along the streetscape.
2. That the development will not be detrimental to the harmonious and orderly growth of the city, in that, the Project contains design modifications to an existing commercial building. The Project's design is generally consistent with all applicable requirements of the City of Menlo Park Municipal Code. The General Plan land use for the Property, Commercial Retail, is consistent with the existing and proposed uses on the site. Therefore, the Project will not be detrimental to the harmonious and orderly growth of the city.
3. That the development will not impair the desirability of investment or occupation in the neighborhood, in that, the Project contains design modifications to an existing commercial building, which involves a use that is consistent with the applicable standards of the Zoning Ordinance for the project site. The proposed Project is designed in a manner consistent with all applicable codes and

ordinances. Therefore, the proposed Project would not impair the desirability of investment or occupation in the neighborhood.

4. That the development provides adequate parking as required in all applicable city ordinances through the bundled parking program in the SP-ECR/D specific plan area. Additionally, the subject property is located within one-half mile of a major transit stop. Per Assembly Bill 2097, a development project located within a half mile of a major transit stop is not required to provide any parking spaces; however, the subject site is served by multiple public parking lots within the downtown area.
5. That the development is consistent with any applicable specific plan; in that, the Project is located in the El Camino Real/Downtown Specific Plan area and complies with applicable standards and guidelines of the Specific Plan.

Section 3. Architectural Control. The Planning Commission approves Architectural Control No. PLN2023-00015, which is depicted in and subject to the development plans and project description letter, which are attached hereto and incorporated herein by this reference as Exhibit A and Exhibit B, respectively. The Architectural Control is conditioned in conformance with the conditions attached hereto and incorporated herein by this reference as Exhibit D.

Section 4. ENVIRONMENTAL REVIEW. The Planning Commission makes the following findings, based on its independent judgment after considering the Project, and having reviewed and taken into consideration all written and oral information submitted in this matter:

- A. The Project is categorically except from environmental review pursuant to Cal. Code of Regulations, Title 14, §15301 et seq. (Existing Facilities).

Section 5. SEVERIBILITY.

If any term, provision, or portion of these findings or the application of these findings to a particular situation is held by a court to be invalid, void or unenforceable, the remaining provisions of these findings, or their application to other actions related to the proposed Project, shall continue in full force and effect unless amended or modified by the City.

I, Kyle Perata, Assistant Community Development Director of the City of Menlo Park, do hereby certify that the above and foregoing Planning Commission Resolution was duly and regularly passed and adopted at a meeting by said Planning Commission on December 2, 2024, by the following votes:

AYES:

NOES:

ABSENT:

ABSTAIN:

IN WITNESS THEREOF, I have hereunto set my hand and affixed the Official Seal of said City on this \_\_\_\_ day of December 2024.

PC Liaison Signature

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Kyle Perata  
Assistant Community Development Director  
City of Menlo Park

Exhibits

- A. Project plans
- B. Project description letter
- C. Specific plan standards and guidelines compliance worksheet
- D. Conditions of approval



SCOPE OF WORK -TENANT IMPROVEMENT

INDEX OF DRAWINGS

PROJECT DATA

THE PROJECT IS A TENANT IMPROVEMENTS TO AN EXISTING LEASE SPACE - BAKERY. THE AREA OF WORK IS THE REAR PATIO ONLY.

THIS WILL INVOLVE:

1. REMOVE EXISTING WROUGHT IRON FENCE AND STEEL GATE
2. INSTALL (N) BOARD AND BATTEN WOOD FENCE
3. INSTALL (N) WOOD GATE
4. INSTALL (N) WOOD PERGOLA
5. INSTALL (N) WOOD PLANTERS
6. INSTALL (N) WOOD BENCH
7. NO CHANGE TO THE EXISTING FLOOR COVERING
8. NO CHANGE TO EXISTING ELECTRICAL, MECHANICAL AND PLUMBING INSTALLATION
- 9. NO CHANGE TO PATIO AREA AND FOOTPRINT**

A-01	AREA PLAN & (E) SITE PLAN
A-02	(N) SITE PLAN & ENLARGED PATIO PLAN
A-03	ELEVATIONS & RENDERINGS
A-110	PATIO INTERIOR ELEVATIONS
A-111	PERGOLA PLAN

TENANT	MADEMOISELLE COLETTE
MAILING ADDRESS	192 FAIR OAKS LN, ATHERTON CA 94027
PROJECT ADDRESS	816 SANTA CRUZ AVE, MENLO PARK CA
APN	071-092-170
ZONE	SP-ECD
TYPE OF OCCUPANCY	M - FOOD SALE UNDER 50 OCC.
NUMBER OF STORIES	1 STORY
TYPE OF CONSTRUCTION	V-B - NON-SPRINKLERED
EXISTING USE	RETAIL - BAKERY (NO CHANGE)
EXISTING TENANT FLOOR AREA	1,249 SF (NO CHANGE)
OCCUPANT LOAD	22

Efi Hubschman  
Interior Design

6316 Bush dr  
Malibu, CA 90265  
ph: 310-402-6363  
efi@MEdesigncollaborative.com



**NEW TENANT IMPROVEMENT**

MADEMOISELLE  
*Colette*



816 Santa Cruz Ave  
Menlo Park, CA 94025

SYMBOL LEGEND

APPLICABLE CODES & AGENCIES

CONTACTS INFORMATION

VICINITY MAP

	WINDOW REFERENCE
	DOOR REFERENCE
	BUILDING SECTION CALL OUT AND SHEET REFERENCE
	INTERIOR ELEVATION CALL OUT
	ELEVATION CALL OUT AND SHEET REFERENCE

THE INTENT OF THE DRAWINGS AND SPECIFICATIONS IS TO CONSTRUCT REFERENCED PROJECT IN ACCORDANCE WITH CALIFORNIA CODE OF REGULATIONS TITLE 24. SHOULD ANY CONDITION DEVELOP NOT COVERED BY THE CONTRACT DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH SAID CALIFORNIA CODE OF REGULATIONS TITLE 24, A CHANGE ORDER DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED BY THE AGENCY HAVING JURISDICTION BEFORE PROCEEDING WITH THE WORK.

CALIFORNIA CODE OF REGULATIONS (CCR)

2019 CALIFORNIA BUILDING CODE - PART 2, TITLE 24, CCR (BASED UPON 2018 INTERNATIONAL BUILDING CODE)

2019 CALIFORNIA ELECTRICAL CODE - PART 3, TITLE 24, CCR (BASED UPON 2017 NATIONAL ELECTRICAL CODE)

2019 CALIFORNIA MECHANICAL CODE - PART 4, TITLE 24, CCR (BASED UPON 2018 UNIFORM MECHANICAL CODE)

2019 CALIFORNIA PLUMBING CODE - PART 5, TITLE 24, CCR (BASED UPON 2018 UNIFORM PLUMBING CODE)

2019 CALIFORNIA ENERGY CODE - PART 6, TITLE 24, CCR

2019 CALIFORNIA FIRE CODE - PART 9, TITLE 24, CCR (BASED UPON 2018 INTERNATIONAL FIRE CODE)

2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN) -PART 11, TITLE 24, CCR

OWNER:  
Debora Ferrand  
80 Fair Oaks Ln, Atherton CA 94027  
E-mail: debora.ferrand@gmail.com  
Cell: 512-373-5497

LANDLORD:  
Wilbur Properties  
Anne Wilbur  
790 High St  
Palo Alto, CA 94301  
E-mail: a@wilburproperties.com  
Phone: 415-559-4347

DESIGNER:  
Efi Hubschman  
1317 7th St, Santa Monica CA 90401  
E-mail: Efi@MEdesigncollaborative.com  
Cell: 310-402-6363



ABBREVIATION LEGEND

V.I.F.	VERIFY IN FIELD
REQ'D	REQUIRED
N.I.C.	NOT IN CONTRACT
(E)	EXISTING
(N)	NEW
w/	WITH
U.N.O.	UNLESS NOTED OTHERWISE
SPEC.	SPECIFICATION
STRUCT.	STRUCTURAL
TYP.	TYPICAL

Debora Ferrand  
192 Fair Oaks Lane  
Atherton, CA 94027

REVISION

	_____
	_____
	_____
	_____
	_____

PROJECT NO: Project No.  
MODEL FILE: Menlo Park.dwg  
DRAWN BY: Efi Hubschman  
DATE: 08/30/2023

SHEET TITLE

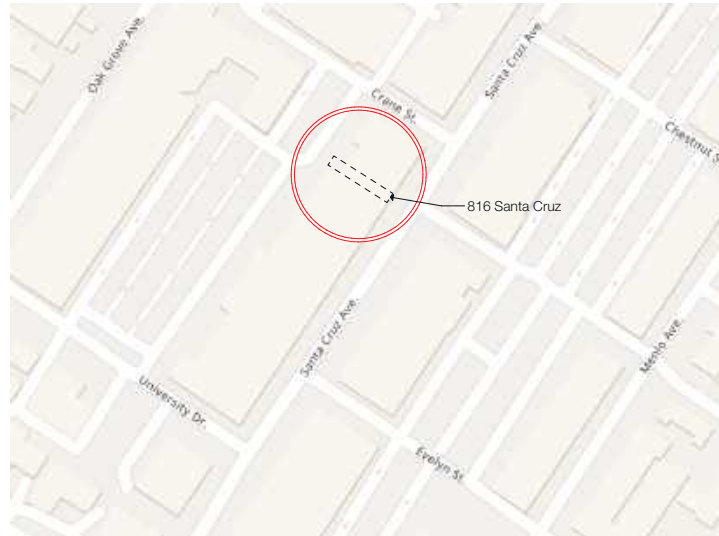
COVER PAGE

N-0

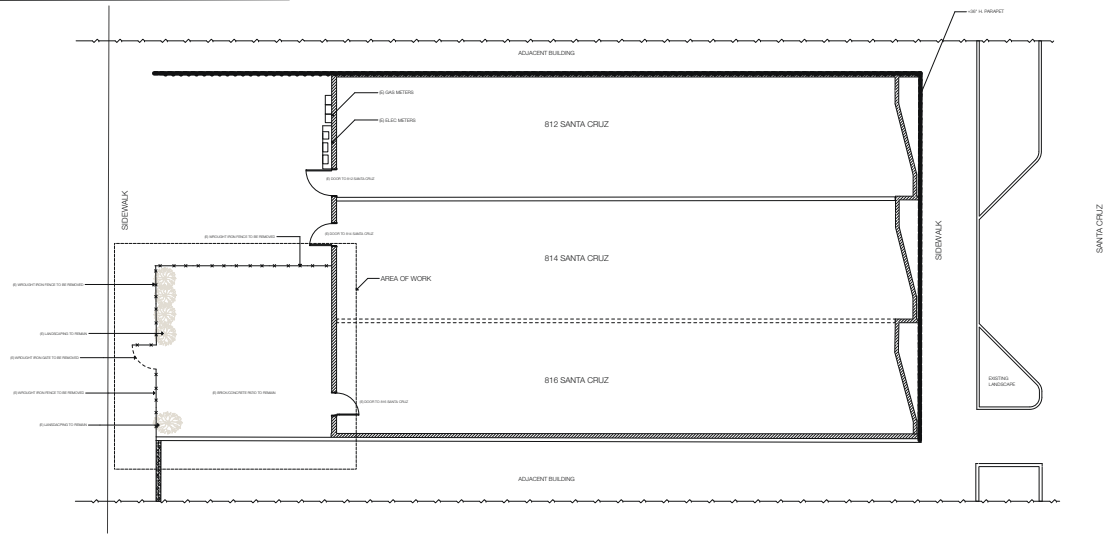
EDGE OF THE PATIO EXTENDING TO 814 SANTA CRUZ



AERIAL VIEW



AREA MAP



2 EXISTING SITE PLAN  
SCALE: 1/8" = 1'-0"



Efi Hubschman  
Interior Design

6316 Bush dr  
Malibu, CA 90265  
ph: 310-402-6363  
efi@MEdesigncollaborative.com



NEW TENANT  
IMPROVEMENT

MADEMOISELLE  
*Colette*

816 Santa Cruz Ave  
Menlo Park, CA 94025

Debora Ferrand  
192 Fair Oaks Lane  
Atherton, CA 94027

REVISION

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PROJECT NO: Project No.  
MODEL FILE:  
Menlo Park.dgn  
DRAWN BY: Efi Hubschman  
DATE: 08/30/2023

SHEET TITLE

AREA MAP & EXISTING  
SITE PLAN

A-01

Efi Hubschman  
Interior Design

6316 Bush dr  
Malibu, CA 90265  
ph: 310-402-6363  
efi@MEdesigncollaborative.com



**NEW TENANT  
IMPROVEMENT**

MADEMOISELLE  
*Colette*

816 Santa Cruz Ave  
Menlo Park, CA 94025

Debora Ferrand  
192 Fair Oaks Lane  
Atherton, CA 94027

REVISION

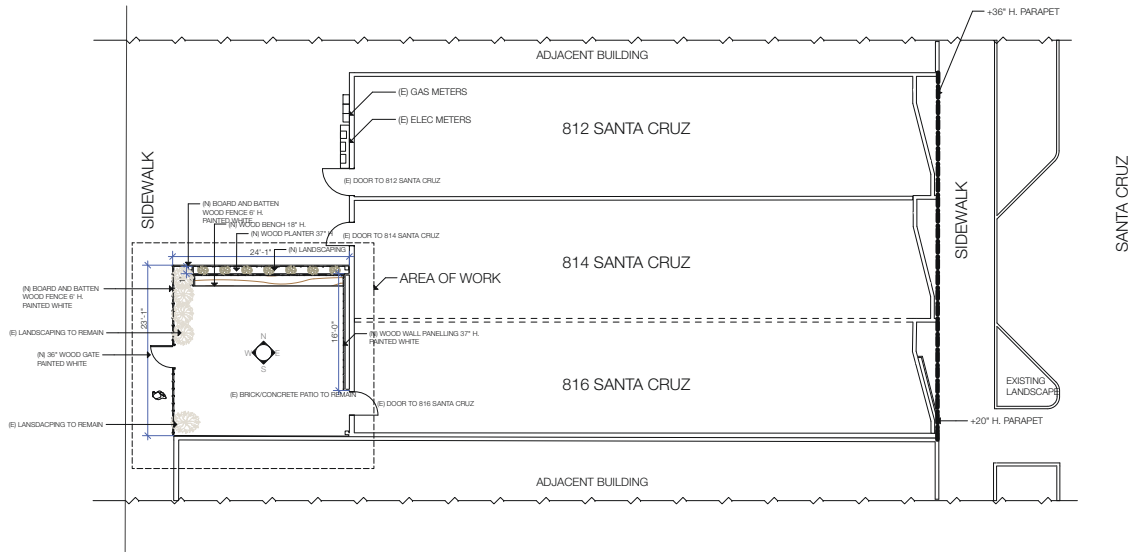
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PROJECT NO: Project No.  
MODEL FILE:  
Menlo Park.ph  
DRAWN BY: Efi Hubschman  
DATE: 08/30/2023

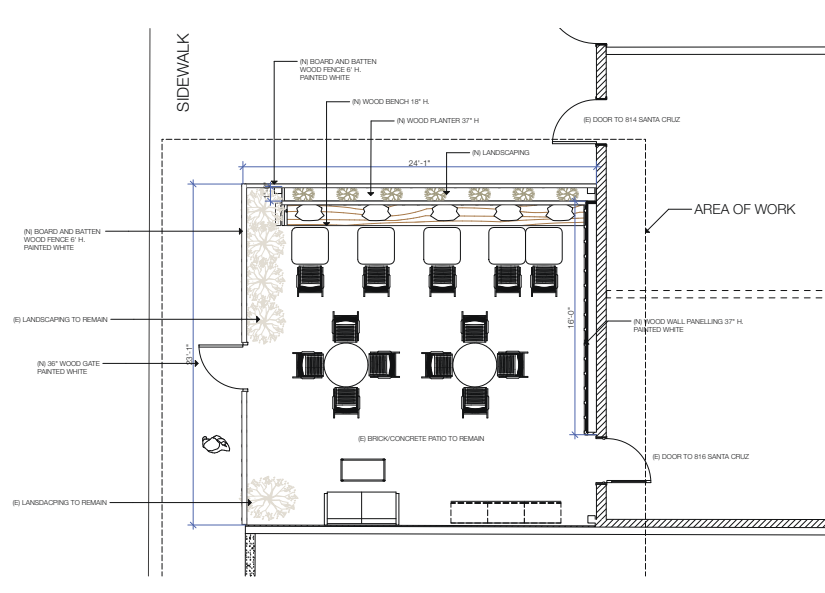
SHEET TITLE

(N) SITE PLAN &  
ENLARGED PATIO  
FLOOR PLAN

**A-02**



1 (N) SITE PLAN  
SCALE: 1/8" = 1'-0"



2 (N) PATIO FLOOR PLAN  
SCALE: 1/4" = 1'-0"





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PROJECT NO: Project No.

MODEL FILE:  
Menlo Park.dgn

DRAWN BY: Efi Hubschman

DATE: 11/21/2024

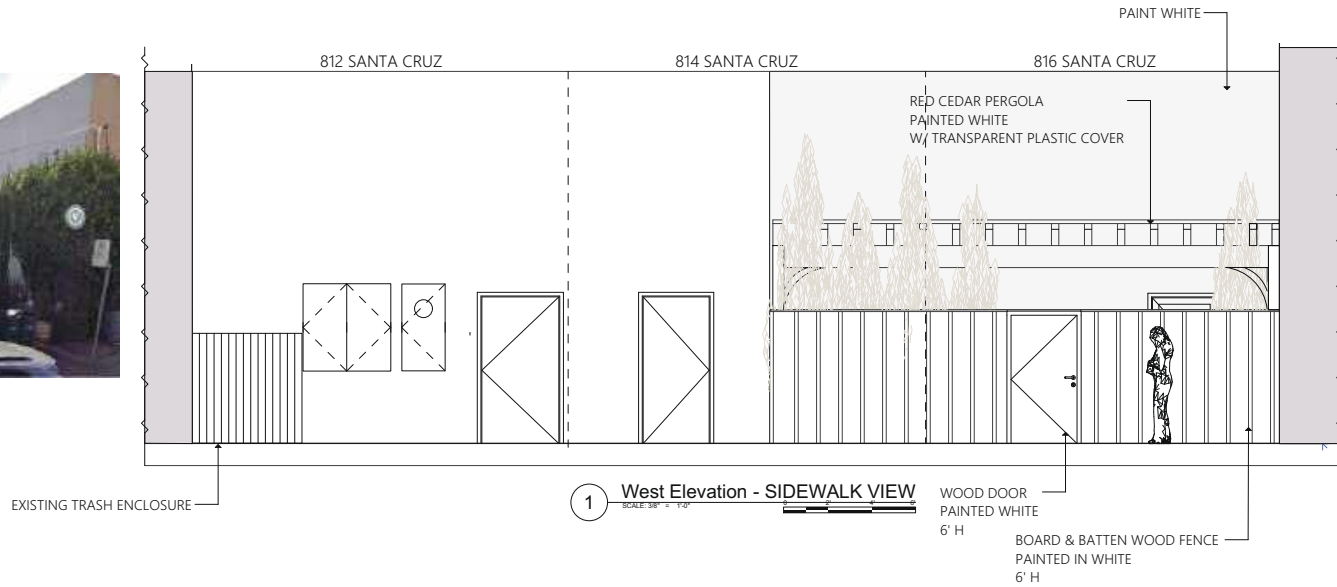
SHEET TITLE

**ELEVATIONS &  
RENDERINGS**

**A-03**



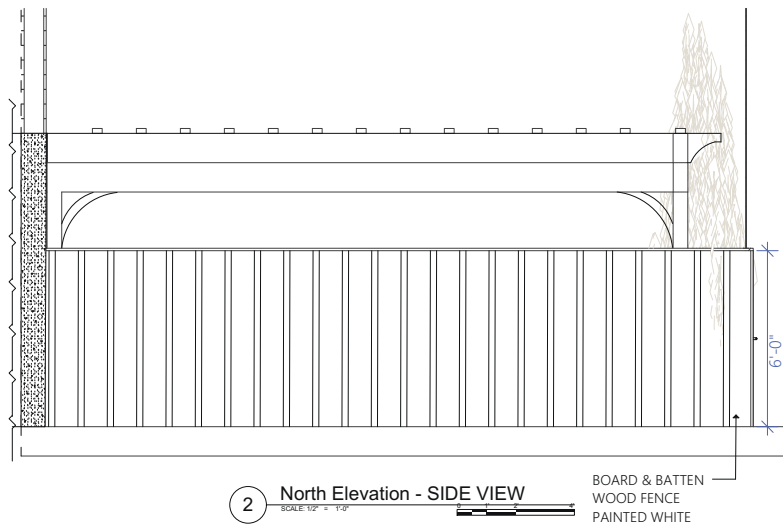
**EXISTING ELEVATION**



**1 West Elevation - SIDEWALK VIEW**  
SCALE 3/8" = 1'-0"



**RENDERING**



**2 North Elevation - SIDE VIEW**  
SCALE 1/2" = 1'-0"



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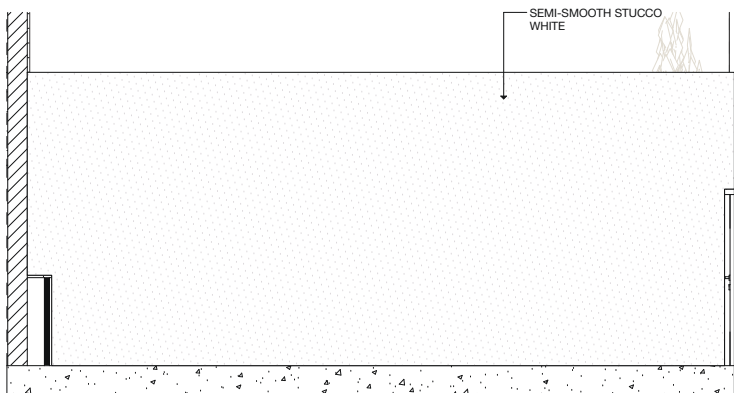
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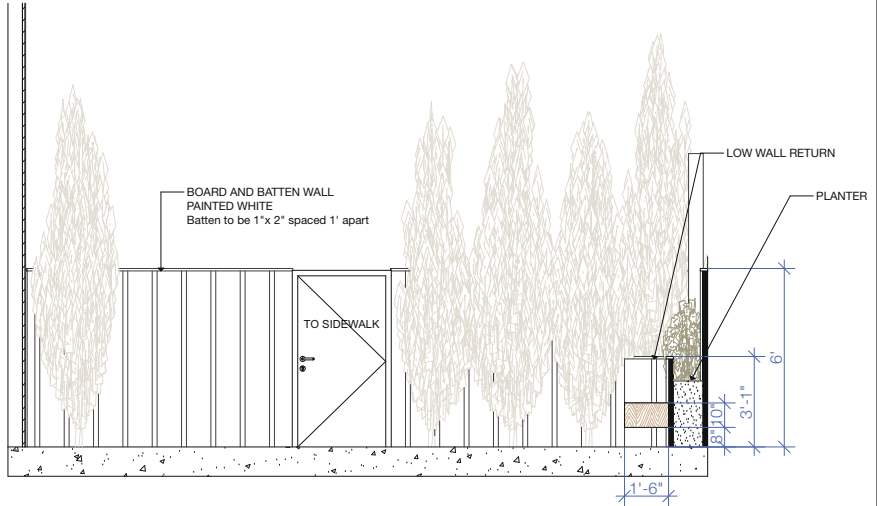
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DRAWN BY: Efi Hubschman  
DATE: 08/30/2023

SHEET TITLE  
**PATIO INTERIOR  
ELEVATIONS**

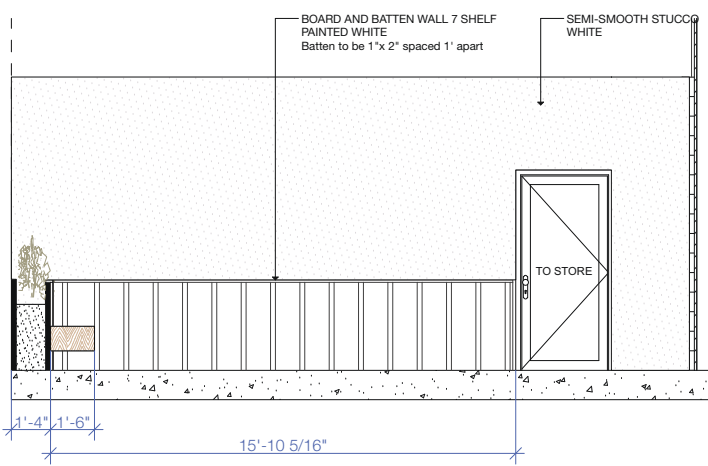
**A-110**



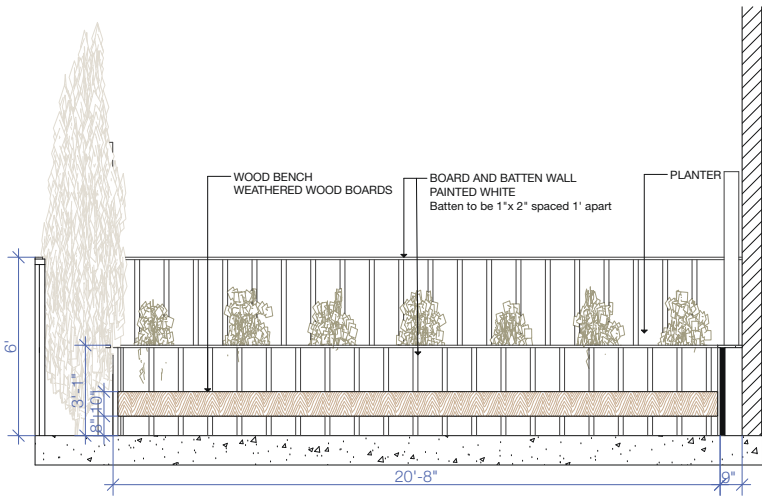
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SCALE: 1/2" = 1'-0"



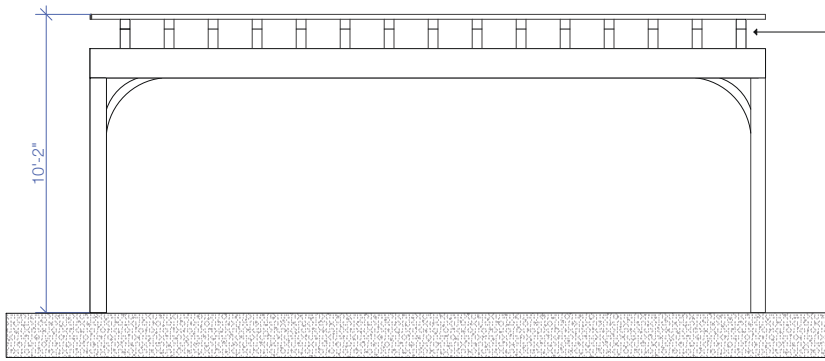
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SCALE: 1/2" = 1'-0"



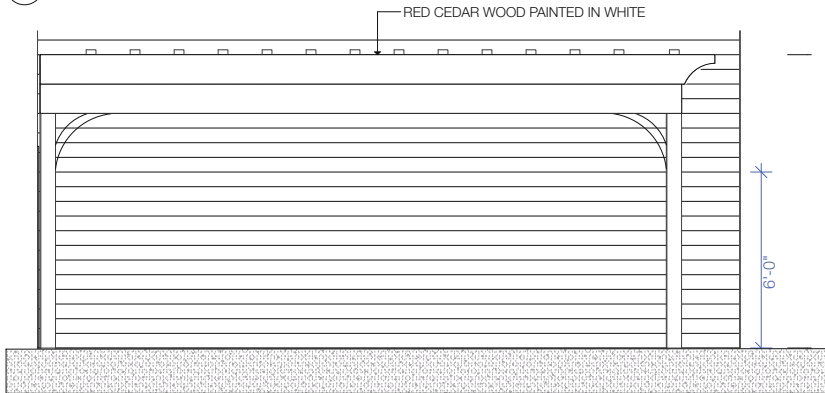
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SCALE: 1/2" = 1'-0"



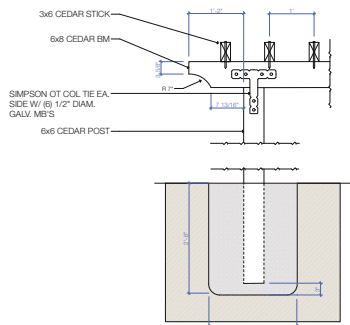
2 North  
SCALE: 1/2" = 1'-0"



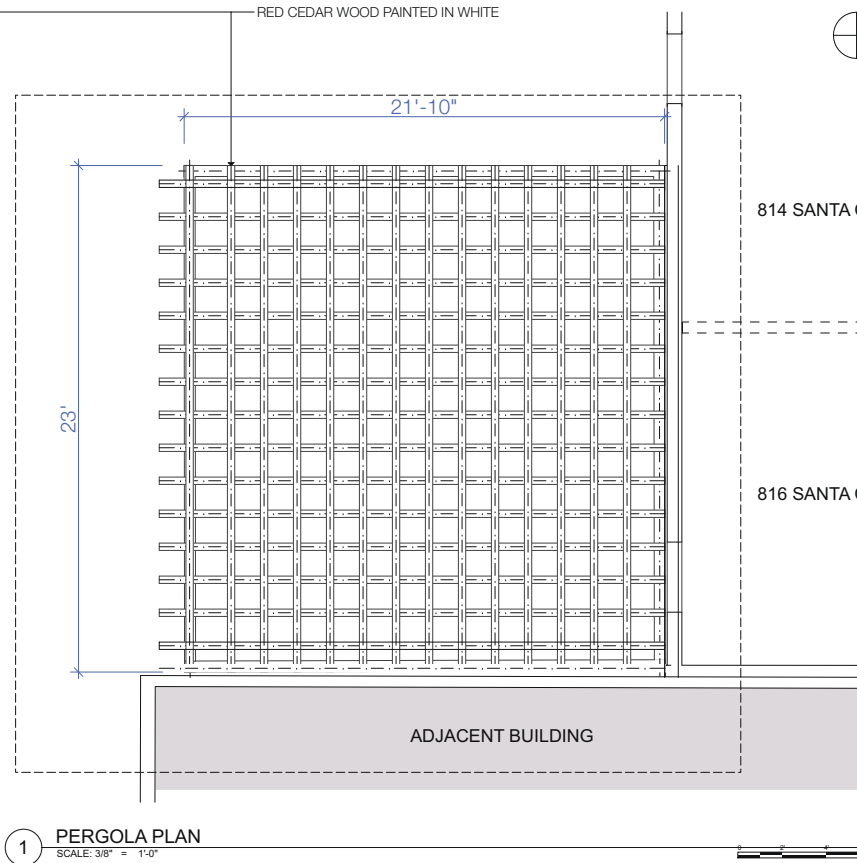
2 FRONT VIEW  
SCALE: 1/2" = 1'-0"



3 SIDE VIEW  
SCALE: 1/2" = 1'-0"



IMAGES FOR REFERENCE ONLY  
ACTUAL PERGOLA TO BE PAINTED IN WHITE



1 PERGOLA PLAN  
SCALE: 3/8" = 1'-0"



**NEW TENANT  
IMPROVEMENT**

MADEMOISELLE  
*Colette*

816 Santa Cruz Ave  
Menlo Park, CA 94025

Debora Ferrand  
192 Fair Oaks Lane  
Atherton, CA 94027

REVISION

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PROJECT NO: Project No.  
MODEL FILE:  
Menlo Park.ph  
DRAWN BY: Efi Hubschman  
DATE: 08/30/2023

SHEET TITLE  
**PERGOLA PLAN**

**A-111**





9/5/23

City of Menlo Park  
Community Development Department, Planning Division

Project Description Letter

This project is a Tenant Improvement and proposes to remodel the rear patio of the retail store named Mademoiselle Colette, located 816 Santa Cruz Ave.

Mademoiselle Colette is a pastry shop inspired by traditional Parisian cafes with unique French flavors and an emphasis on stylish décor.

The rear patio is currently used to sit customers for breakfast, lunch and aperitifs. The current condition of the patio is pretty worn out and doesn't reflect the elegant atmosphere we aspire to bring in our locations.

We would like to remodel it and hence offer a better customer experience.

The project proposes to replace the wrought iron fence with a board and batten wood fence to create a more intimate space and visually separate the patio from the sidewalk where the trash bins are located.

We would like to add a wood planter to bring in more greenery and a wood bench to vary the seating options.

Lastly, we would like to add a beautiful cedar pergola to protect the customers from the sun. We hope that these changes will create a more pleasant experience for our customers and generate an increase of income for our business.

The project will include:

1. Existing wrought iron fence and steel gate to be removed
2. Installation of a new wood board and batten fence and wood gate, white color.
3. Installation of a new cedar wood pergola, white color.
4. Creation of wood planters and wood bench in natural wood.

There is no change to the existing floor covering (brick and concrete patio floor to remain)

There is no change to the existing electrical, mechanical and plumbing installation.

There is no change to the area of the Patio.

**There is no change to the area and the footprint of the patio**



Pictures of the existing Patio





## Proposed project renderings

Exterior



Interior view



Menlo Park El Camino Real/Downtown Specific Plan Standards  
and Guidelines: 961 El Camino Real Compliance Worksheet

Section	Standard or Guideline	Requirement	Evaluation
<b>E.3.1 Development Intensity</b>			
<b>E.3.1.01</b>	Standard	Business and Professional office (inclusive of medical and dental office) shall not exceed one half of the base FAR or public benefit bonus FAR, whichever is applicable.	<b>Complies:</b> Project is an existing full/limited service restaurant, and has no Professional or Business Office use.
<b>E.3.1.02</b>	Standard	Medical and Dental office shall not exceed one third of the base FAR or public benefit bonus FAR, whichever is applicable.	<b>Not applicable:</b> No medical or dental office proposed at this time.
<b>E.3.2 Height</b>			
<b>E.3.2.01</b>	Standard	Roof-mounted mechanical equipment, solar panels, and similar equipment may exceed the maximum building height, but shall be screened from view from publicly-accessible spaces.	<b>Complies:</b> Project has no new rooftop equipment proposed.
<b>E.3.2.02</b>	Standard	Vertical building projections such as parapets and balcony railings may extend up to 4 feet beyond the maximum façade height or the maximum building height, and shall be integrated into the design of the building.	<b>Not Applicable:</b> It is an existing building, no change in height, and no existing or proposed parapet.
	Standard	Rooftop elements that may need to exceed the maximum building height due to their function, such as stair and elevator towers, shall not exceed 14 feet beyond the maximum building height. Such rooftop elements shall be integrated into the design of the building.	<b>Complies:</b> Project is well below height limit and has no access to the roof.
<b>E.3.3 Setbacks and Projections within Setbacks</b>			
<b>E.3.3.01</b>	Standard	Front setback areas shall be developed with sidewalks, plazas, and/or landscaping as appropriate.	<b>Not Applicable:</b> The front building wall abuts the Santa Cruz Avenue with minimal setback.
<b>E.3.3.02</b>	Standard	Parking shall not be permitted in front setback areas.	<b>Not Applicable:</b> No on-site parking.
<b>E.3.3.03</b>	Standard	In areas where no or a minimal setback is required, limited setback for store or lobby entry recesses shall not exceed a maximum of 4-foot depth and a maximum of 6-foot width.	<b>Not Applicable:</b> The building is in a no or limited setback area. No changes are proposed to the front entry.
<b>E.3.3.04</b>	Standard	In areas where no or a minimal setback is required, building projections, such as balconies, bay windows and dormer windows, shall not project beyond a maximum of 3 feet from the building face into the sidewalk clear walking zone, public right-of-way or public spaces, provided they have a minimum 8-foot vertical clearance above the sidewalk clear walking zone, public right-of-way or public space.	<b>Complies:</b> It is an existing building, there are no building projections extending into the sidewalk. Building projections such as balconies, bay windows and dormer windows are not proposed.

Menlo Park El Camino Real/Downtown Specific Plan Standards  
and Guidelines: 961 El Camino Real Compliance Worksheet

<b>E.3.3.05</b>	Standard	In areas where setbacks are required, building projections, such as balconies, bay windows and dormer windows, at or above the second habitable floor shall not project beyond a maximum of 5 feet from the building face into the setback area.	<b>Complies:</b> It is an existing building, there are no building projections extending into the sidewalk. Building projections such as balconies, bay windows and dormer windows are not proposed.
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<u>Section</u>	<u>Standard or Guideline</u>	<u>Requirement</u>	<u>Evaluation</u>
<b>E.3.3.06</b>	Standard	The total area of all building projections shall not exceed 35% of the primary building façade area. Primary building façade is the façade built at the property or setback line.	<b>Complies:</b> It is an existing building. No existing or proposed building projections.
<b>E.3.3.07</b>	Standard	Architectural projections like canopies, awnings and signage shall not project beyond a maximum of 6 feet horizontally from the building face at the property line or at the minimum setback line. There shall be a minimum of 8-foot vertical clearance above the sidewalk, public right-of-way or public space.	<b>Complies:</b> It is an existing building. No existing or proposed building projections.
<b>E.3.3.08</b>	Standard	No development activities may take place within the San Francisquito Creek bed, below the creek bank, or in the riparian corridor.	<b>Complies:</b> No development activities proposed within the San Francisquito Creek bed, below the creek bank, or in the riparian corridor.

**E.3.4 Massing and Modulation**

**E.3.4.1 Building Breaks**

<b>E.3.4.1.01</b>	Standard	The total of all building breaks shall not exceed 25 percent of the primary façade plane in a development.	<b>Not Applicable:</b> Required only for buildings south of Live Oak Avenue.
<b>E.3.4.1.02</b>	Standard	Building breaks shall be located at ground level and extend the entire building height.	<b>Not Applicable:</b> Required only for buildings south of Live Oak Avenue.
<b>E.3.4.1.03</b>	Standard	In all districts except the ECR-SE zoning district, recesses that function as building breaks shall have minimum dimensions of 20 feet in width and depth and a maximum dimension of 50 feet in width. For the ECR-SE zoning district, recesses that function as building breaks shall have a minimum dimension of 60 feet in width and 40 feet in depth.	<b>Not Applicable:</b> The subject property is in the zoning district: ECR-D and it is an existing building and is not proposing a façade modification.
<b>E.3.4.1.04</b>	Standard	Building breaks shall be accompanied with a major change in fenestration pattern, material and color to have a distinct treatment for each volume.	<b>Not Applicable:</b> Required only for buildings south of Live Oak Avenue.
<b>E.3.4.1.05</b>	Standard	In all districts except the ECR-SE zoning district, building breaks shall be required as shown in Table E3.	<b>Not Applicable:</b> Required only for buildings south of Live Oak Avenue.



Menlo Park El Camino Real/Downtown Specific Plan Standards  
and Guidelines: 961 El Camino Real Compliance Worksheet

<u>Section</u>	<u>Standard or Guideline</u>	<u>Requirement</u>	<u>Evaluation</u>
E.3.4.1.06	Standard	<p>In the ECR-SE zoning district, and consistent with Table E4 the building breaks shall:</p> <ul style="list-style-type: none"> <li>• Comply with Figure E9;</li> <li>• Be a minimum of 60 feet in width, except where noted on Figure E9;</li> <li>• Be a minimum of 120 feet in width at Middle Avenue;</li> <li>• Align with intersecting streets, except for the area between Roble Avenue and Middle Avenue;</li> <li>• Be provided at least every 350 feet in the area between Roble Avenue and Middle Avenue; where properties under different ownership coincide with this measurement, the standard side setbacks (10 to 25 feet) shall be applied, resulting in an effective break of between 20 to 50 feet.</li> <li>• Extend through the entire building height and depth at Live Oak Avenue, Roble Avenue, Middle Avenue, Partridge Avenue and Harvard Avenue; and</li> <li>• Include two publicly-accessible building breaks at Middle Avenue and Roble Avenue.</li> </ul>	<p><b>Not Applicable:</b></p> <p>The subject property is in the Downtown "D" sub-district and the building is existing.</p>
E.3.4.1.07	Standard	<p>In the ECR-SE zoning district, the Middle Avenue break shall include vehicular access; publicly-accessible open space with seating, landscaping and shade; retail and restaurant uses activating the open space; and a pedestrian/bicycle connection to Alma Street and Burgess Park. The Roble Avenue break shall include publicly-accessible open space with seating, landscaping and shade.</p>	<p><b>Not Applicable:</b></p> <p>The subject property is in the Downtown "D" sub-district and the building is existing.</p>
E.3.4.1.08	Guideline	<p>In the ECR-SE zoning district, the breaks at Live Oak, Roble, Middle, Partridge and Harvard Avenues may provide vehicular access.</p>	<p><b>Not Applicable:</b></p> <p>The subject property is in the Downtown "D" sub-district and the building is existing.</p>
<b>E.3.4.2 Façade Modulation and Treatment</b>			
E.3.4.2.01	Standard	<p>Building façades facing public rights-of-way or public open spaces shall not exceed 50 feet in length without a minor building façade modulation. At a minimum of every 50' façade length, the <b>minor vertical façade modulation</b> shall be a minimum 2 feet deep by 5 feet wide recess or a minimum 2 foot setback of the building plane from the primary building façade.</p>	<p><b>Not Applicable:</b></p> <p>The existing building is 16'-11" tall, and is a single story. The width of the tenant space is approximately 15'.</p>

Menlo Park El Camino Real/Downtown Specific Plan Standards  
and Guidelines: 961 El Camino Real Compliance Worksheet

<u>Section</u>	<u>Standard or Guideline</u>	<u>Requirement</u>	<u>Evaluation</u>
<b>E.3.4.2.02</b>	Standard	Building façades facing public rights-of-way or public open spaces shall not exceed 100 feet in length without a major building modulation. At a minimum of every 100 feet of façade length, a <b>major vertical façade modulation</b> shall be a minimum of 6 feet deep by 20 feet wide recess or a minimum of 6 feet setback of building plane from primary building façade for the full height of the building. This standard applies to all districts except ECR NE-L and ECR SW since those two districts are required to provide a building break at every 100 feet.	<b>Not Applicable:</b> The existing width of the tenant space is approximately 15'.
<b>E.3.4.2.03</b>	Standard	In addition, the major building façade modulation shall be accompanied with a 4-foot minimum height modulation and a major change in fenestration pattern, material and/or color.	<b>Not Applicable:</b> There is no change to the existing building other than the proposed addition of the attached pergola.
<b>E.3.4.2.04</b>	Guideline	Minor façade modulation may be accompanied with a change in fenestration pattern, and/or material, and/or color, and/or height.	<b>Not Applicable:</b> There is no change to the existing building other than the proposed addition of the attached pergola.
<b>E.3.4.2.05</b>	Guideline	Buildings should consider sun shading mechanisms, like overhangs, <i>bris soleils</i> and clerestory lighting, as façade articulation strategies.	<b>Not Applicable:</b> There are no shading strategies proposed. Existing building to remain.
<b>E.3.4.3 Building Profile</b>			
<b>E.3.4.3.01</b>	Standard	The 45-degree building profile shall be set at the minimum setback line to allow for flexibility and variation in building façade height within a district.	<b>Not Applicable:</b> Building height doesn't change and is well below height limit and 45 degree requirement.
<b>E.3.4.3.02</b>	Standard	Horizontal building and architectural projections, like balconies, bay windows, dormer windows, canopies, awnings, and signage, beyond the 45-degree building profile shall comply with the standards for Building Setbacks & Projection within Setbacks (E.3.3.04 to E.3.3.07) and shall be integrated into the design of the building.	<b>Complies:</b> No items listed are provided.
<b>E.3.4.3.03</b>	Standard	Vertical building projections like parapets and balcony railings shall not extend 4 feet beyond the 45-degree building profile and shall be integrated into the design of the building.	<b>Not applicable:</b> There are no projections proposed.
<b>E.3.4.3.04</b>	Standard	Rooftop elements that may need to extend beyond the 45-degree building profile due to their function, such as stair and elevator towers, shall be integrated into the design of the building.	<b>Not applicable:</b> There are no new rooftop elements proposed.
<b>E.3.4.4 Upper Story Façade Length</b>			

Menlo Park El Camino Real/Downtown Specific Plan Standards  
and Guidelines: 961 El Camino Real Compliance Worksheet

<b>E.3.4.4.01</b>	Standard	Building stories above the 38-foot façade height shall have a maximum allowable façade length of 175 feet along a public right-of-way or public open space.	<b>Not applicable:</b> The existing building is below 39 feet.
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**E.3.5 Ground Floor Treatment, Entry and Commercial Frontage**

**Ground Floor Treatment**

<u>Section</u>	<u>Standard or Guideline</u>	<u>Requirement</u>	<u>Evaluation</u>
<b>E.3.5.01</b>	Standard	The retail or commercial ground floor shall be a minimum 15-foot floor-to-floor height to allow natural light into the space.	<b>Not Applicable:</b> No changes are proposed to the first floor height. Existing building to remain.
<b>E.3.5.02</b>	Standard	Ground floor commercial buildings shall have a minimum of 50% transparency (i.e., clear-glass windows) for retail uses, office uses and lobbies to enhance the visual experience from the sidewalk and street. Heavily tinted or mirrored glass shall not be permitted.	<b>Complies:</b> The existing front façade complies. No changes are proposed to the front facade.
	Guideline	Buildings should orient ground-floor retail uses, entries and direct-access residential units to the street.	<b>Complies:</b> The restaurant's main entry faces Santa Cruz Avenue, and has a secondary access from the public parking lot.
<b>E.3.5.04</b>	Guideline	Buildings should activate the street by providing visually interesting and active uses, such as retail and personal service uses, in ground floors that face the street. If office and residential uses are provided, they should be enhanced with landscaping and interesting building design and materials.	<b>Complies:</b> The existing single-story building's tenant suite at 816 Santa Cruz Avenue, is used as an existing full/limited service restaurant, which help in activating the street. The main entry will be facing Santa Cruz Avenue, has a secondary access from the public parking lot.
<b>E.3.5.05</b>	Guideline	For buildings where ground floor retail, commercial or residential uses are not desired or viable, other project-related uses, such as a community room, fitness center, daycare facility or sales center, should be located at the ground floor to activate the street.	<b>Not applicable:</b> It is an existing full/limited service restaurant.
<b>E.3.5.06</b>	Guideline	Blank walls at ground floor are discouraged and should be minimized. When unavoidable, continuous lengths of blank wall at the street should use other appropriate measures such as landscaping or artistic intervention, such as murals.	<b>Complies:</b> Blank walls are minimized on the ground floor with the addition of the pergola to the rear facade.
<b>E.3.5.07</b>	Guideline	Residential units located at ground level should have their floors elevated a minimum of 2 feet to a maximum of 4 feet above the finished grade sidewalk for better transition and privacy, provided that accessibility codes are met.	<b>Not applicable:</b> No residential units are proposed.
<b>E.3.5.08</b>	Guideline	Architectural projections like canopies and awnings should be integrated with the ground floor and overall building design to break up building mass, to add visual interest to the building and provide shelter and shade.	<b>Not applicable:</b> There are no projections proposed.

Menlo Park El Camino Real/Downtown Specific Plan Standards  
and Guidelines: 961 El Camino Real Compliance Worksheet

<b>Building Entries</b>			
<b>E.3.5.09</b>	Standard	Building entries shall be oriented to a public street or other public space. For larger residential buildings with shared entries, the main entry shall be through prominent entry lobbies or central courtyards facing the street. From the street, these entries and courtyards provide additional visual interest, orientation and a sense of invitation.	<b>Complies:</b> Building entry is oriented to the public street along Sana Cruz Avenue and a secondary access is available from the parking lot to the rear.

<u>Section</u>	<u>Standard or Guideline</u>	<u>Requirement</u>	<u>Evaluation</u>
<b>E.3.5.10</b>	Guideline	Entries should be prominent and visually distinctive from the rest of the façade with creative use of scale, materials, glazing, projecting or recessed forms, architectural details, color, and/or awnings.	<b>Not Applicable:</b> It is an existing building proposed to remain.
<b>E.3.5.11</b>	Guideline	Multiple entries at street level are encouraged where appropriate.	<b>Complies:</b> There are two entries, one in the front along Santa Cruz Avenue and the other from the rear public parking lot.
<b>E.3.5.12</b>	Guideline	Ground floor residential units are encouraged to have their entrance from the street.	<b>Not applicable:</b> No residential unit/s are proposed.
<b>E.3.5.13</b>	Guideline	Stoops and entry steps from the street are encouraged for individual unit entries when compliant with applicable accessibility codes. Stoops associated with landscaping create inviting, usable and visually attractive transitions from private spaces to the street.	<b>Not applicable:</b> No residential unit/s are proposed.
<b>E.3.5.14</b>	Guideline	Building entries are allowed to be recessed from the primary building façade.	<b>Complies:</b> The building entrance facing Santa Cruz Avenue is considered as the primary façade and is recessed.

<b>Commercial Frontage</b>			
<b>E.3.5.15</b>	Standard	Commercial windows/storefronts shall be recessed from the primary building façade a minimum of 6 inches	<b>Not applicable:</b> The building is existing and built prior to the introduction of the Specific Plan.
<b>E.3.5.16</b>	Standard	Retail frontage, whether ground floor or upper floor, shall have a minimum 50% of the façade area transparent with clear vision glass, not heavily tinted or highly mirrored glass.	<b>Not applicable:</b> The building is existing and built prior to the introduction of the Specific Plan.
<b>E.3.5.17</b>	Guideline	Storefront design should be consistent with the building's overall design and contribute to establishing a well-defined ground floor for the façade along streets.	<b>Not applicable:</b> The building is existing and built prior to the introduction of the Specific Plan.
<b>E.3.5.18</b>	Guideline	The distinction between individual storefronts, entire building façades and adjacent properties should be maintained.	<b>Not applicable:</b> The building is existing.
<b>E.3.5.19</b>	Guideline	Storefront elements such as windows, entrances and signage should provide clarity and lend interest to the façade.	<b>Complies:</b> Project meets this guideline.

**Menlo Park El Camino Real/Downtown Specific Plan Standards  
and Guidelines: 961 El Camino Real Compliance Worksheet**

<b>E.3.5.20</b>	Guideline	Individual storefronts should have clearly defined bays. These bays should be no greater than 20 feet in length. Architectural elements, such as piers, recesses and projections help articulate bays.	<b>Partly Complies:</b> What is lacking, clearly defined bays and/or repetition of bays/storefronts as well as piers, projections or other visual cues that provide the scale and identity of retail frontage indicated by this guideline and the drawings and photographic images on page E33 of the Specific Plan. For this reason, it cannot be determined that the proposal would be consistent with this guideline.
<b>E.3.5.21</b>	Guideline	All individual retail uses should have direct access from the public sidewalk. For larger retail tenants, entries should occur at lengths at a maximum at every 50 feet, consistent with the typical lot size in downtown.	<b>Not Applicable:</b> Retail use is not being proposed. However, the full/limited service restaurant will have direct access to the public sidewalk.
<b>E.3.5.22</b>	Guideline	Recessed doorways for retail uses should be a minimum of two feet in depth. Recessed doorways provide cover or shade, help identify the location of store entrances, provide a clear area for out-swinging doors and offer the opportunity for interesting paving patterns, signage and displays.	<b>Complies:</b> The existing recessed doorway provides cover, shade, and help in identifying the location of the front entrance.

<u>Section</u>	<u>Standard or Guideline</u>	<u>Requirement</u>	<u>Evaluation</u>
<b>E.3.5.23</b>	Guideline	Storefronts should remain un-shuttered at night and provide clear views of interior spaces lit from within. If storefronts must be shuttered for security reasons, the shutters should be located on the inside of the store windows and allow for maximum visibility of the interior.	<b>Complies:</b> Per the applicant: No shutters are proposed as part of the proposed design.
<b>E.3.5.24</b>	Guideline	Storefronts should not be completely obscured with display cases that prevent customers and pedestrians from seeing inside.	<b>Complies:</b> Per the applicant: No shutters are proposed as part of the proposed design.
<b>E.3.5.25</b>	Guideline	Signage should not be attached to storefront windows.	<b>Complies:</b> Per the applicant signage is not included in submittal.
<b>E.3.6 Open Space</b>			

**Menlo Park El Camino Real/Downtown Specific Plan Standards  
and Guidelines: 961 El Camino Real Compliance Worksheet**

<b>E.3.6.01</b>	Standard	Residential developments or Mixed Use developments with residential use shall have a minimum of 100 square feet of open space per unit created as common open space or a minimum of 80 square feet of open space per unit created as private open space, where private open space shall have a minimum dimension of 6 feet by 6 feet. In case of a mix of private and common open space, such common open space shall be provided at a ratio equal to 1.25 square feet for each one square foot of private open space that is not provided.	<b>Not applicable:</b> No residential use proposed.
<b>E.3.6.02</b>	Standard	Residential open space (whether in common or private areas) and accessible open space above parking podiums up to 16 feet high shall count towards the minimum open space requirement for the development.	<b>Not applicable:</b> No residential use proposed.
<b>E.3.6.03</b>	Guideline	Private and/or common open spaces are encouraged in all developments as part of building modulation and articulation to enhance building façade.	<b>Complies:</b> Private open space in the form of outdoor seating is existing to the rear of the property and proposed for modification.
<b>E.3.6.04</b>	Guideline	Private development should provide accessible and usable common open space for building occupants and/or the general public.	<b>Complies:</b> Open space is provided in the rear.
<b>E.3.6.05</b>	Guideline	For residential developments, private open space should be designed as an extension of the indoor living area, providing an area that is usable and has some degree of privacy.	<b>Not applicable:</b> No residential use proposed.
<b>E.3.6.06</b>	Guideline	Landscaping in setback areas should define and enhance pedestrian and open space areas. It should provide visual interest to streets and sidewalks, particularly where building façades are long.	<b>Complies:</b> New landscape proposed to the rear of the property with addition of planters.
<b>E.3.6.07</b>	Guideline	Landscaping of private open spaces should be attractive, durable and drought-resistant.	<b>Complies.</b> The private open space will be landscaped to meet this guideline.

**E.3.7 Parking, Service and Utilities**

**General Parking and Service Access**

<u>Section</u>	<u>Standard or Guideline</u>	<u>Requirement</u>	<u>Evaluation</u>
<b>E.3.7.01</b>	Guideline	The location, number and width of parking and service entrances should be limited to minimize breaks in building design, sidewalk curb cuts and potential conflicts with streetscape elements.	<b>Not applicable:</b> Service entrances and parking is not proposed.

**Menlo Park El Camino Real/Downtown Specific Plan Standards  
and Guidelines: 961 El Camino Real Compliance Worksheet**

<b>E.3.7.02</b>	Guideline	In order to minimize curb cuts, shared entrances for both retail and residential use are encouraged. In shared entrance conditions, secure access for residential parking should be provided.	<b>Not applicable:</b> Curb cuts are not being proposed.
<b>E.3.7.03</b>	Guideline	When feasible, service access and loading docks should be located on secondary streets or alleys and to the rear of the building.	<b>Not applicable:</b> Loading docks are not proposed or needed.
<b>E.3.7.04</b>	Guideline	The size and pattern of loading dock entrances and doors should be integrated with the overall building design.	<b>Not applicable:</b> Loading docks are not proposed or needed.
<b>E.3.7.05</b>	Guideline	Loading docks should be screened from public ways and adjacent properties to the greatest extent possible. In particular, buildings that directly adjoin residential properties should limit the potential for loading-related impacts, such as noise. Where possible, loading docks should be internal to the building envelope and equipped with closable doors. For all locations, loading areas should be kept clean.	<b>Not applicable:</b> Loading docks are not proposed or needed.
<b>E.3.7.06</b>	Guideline	Surface parking should be visually attractive, address security and safety concerns, retain existing mature trees and incorporate canopy trees for shade. See Section D.5 for more complete guidelines regarding landscaping in parking areas.	<b>Not applicable:</b> No onsite parking.
<b>Utilities</b>			
<b>E.3.7.07</b>	Guideline	All utilities in conjunction with new residential and commercial development should be placed underground.	<b>Not applicable:</b> It is an existing building.
<b>E.3.7.08</b>	Guideline	Above ground meters, boxes and other utility equipment should be screened from public view through use of landscaping or by integrating into the overall building design.	<b>Complies:</b> The applicant has indicated that only the existing gas meter is to remain. No additional meter or utility equipment is proposed.
<b>Parking Garages</b>			
<b>E.3.7.09</b>	Standard	To promote the use of bicycles, secure bicycle parking shall be provided at the street level of public parking garages. Bicycle parking is also discussed in more detail in Section F.5 "Bicycle Storage Standards and Guidelines."	<b>Not applicable:</b> A parking garage is not proposed.
<b>E.3.7.10</b>	Guideline	Parking garages on downtown parking plazas should avoid monolithic massing by employing change in façade rhythm, materials and/or color.	<b>Not applicable:</b> A parking garage is not proposed.

Menlo Park El Camino Real/Downtown Specific Plan Standards  
and Guidelines: 961 El Camino Real Compliance Worksheet

<u>Section</u>	<u>Standard or Guideline</u>	<u>Requirement</u>	<u>Evaluation</u>
E.3.7.11	Guideline	To minimize or eliminate their visibility and impact from the street and other significant public spaces, parking garages should be underground, wrapped by other uses (i.e. parking podium within a development) and/or screened from view through architectural and/or landscape treatment.	<b>Not applicable:</b> A parking garage is not proposed.
E.3.7.12	Guideline	Whether free-standing or incorporated into overall building design, garage façades should be designed with a modulated system of vertical openings and pilasters, with design attention to an overall building façade that fits comfortably and compatibly into the pattern, articulation, scale and massing of surrounding building character.	<b>Not applicable:</b> A parking garage is not proposed.
E.3.7.13	Guideline	Shared parking is encouraged where feasible to minimize space needs, and it is effectively codified through the plan's off-street parking standards and allowance for shared parking studies.	<b>Not applicable:</b> A parking garage is not proposed.
E.3.7.14	Guideline	A parking garage roof should be approached as a usable surface and an opportunity for sustainable strategies, such as installment of a green roof, solar panels or other measures that minimize the heat island effect.	<b>Not applicable:</b> A parking garage is not proposed.
<b>E.3.8 Sustainable Practices</b>			
<b>Overall Standards</b>			
E.3.8.01	Standard	Unless the Specific Plan area is explicitly exempted, all citywide sustainability codes or requirements shall apply.	<b>Tentatively Complies:</b> Staff will confirm compliance at the building permit stage.
<b>Overall Guidelines</b>			
E.3.8.02	Guideline	Because green building standards are constantly evolving, the requirements in this section should be reviewed and updated on a regular basis of at least every two years.	<b>Tentatively Complies:</b> Staff will confirm compliance at the building permit stage.
<b>Leadership in Energy and Environmental Design (LEED) Standards</b>			



Menlo Park El Camino Real/Downtown Specific Plan Standards  
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<u>Section</u>	<u>Standard or Guideline</u>	<u>Requirement</u>	<u>Evaluation</u>
E.3.8.03	Standard	<p>Development shall achieve LEED certification, at Silver level or higher, or a LEED Silver equivalent standard for the project types listed below. For LEED certification, the applicable standards include LEED New Construction; LEED Core and Shell; LEED New Homes; LEED Schools; and LEED Commercial Interiors. Attainment shall be achieved through LEED certification or through a City-approved outside auditor for those projects pursuing a LEED equivalent standard. The requirements, process and applicable fees for an outside auditor program shall be established by the City and shall be reviewed and updated on a regular basis. LEED certification or equivalent standard, at a Silver level or higher, shall be required for:</p> <ul style="list-style-type: none"> <li>• Newly constructed residential buildings of Group R (single-family, duplex and multi-family);</li> <li>• Newly constructed commercial buildings of Group B (occupancies including among others office, professional and service type transactions) and Group M (occupancies including among others display or sale of merchandise such as department stores, retail stores, wholesale stores, markets and sales rooms) that are 5,000 gross square feet or more;</li> <li>• New first-time build-outs of commercial interiors that are 20,000 gross square feet or more in buildings of Group B and M occupancies; and</li> <li>• Major alterations that are 20,000 gross square feet or more in existing buildings of Group B, M and R occupancies, where interior finishes are removed and significant upgrades to structural and mechanical, electrical and/or plumbing systems are proposed.</li> </ul> <p>All residential and/or mixed use developments of sufficient size to require LEED certification or equivalent standard under the Specific Plan shall install one dedicated electric vehicle/plug-in hybrid electric vehicle recharging station for every 20 residential parking spaces provided. Per the Climate Action Plan the complying applicant could receive incentives, such as streamlined permit processing, fee discounts, or design templates.</p>	<p><b>Not applicable:</b> Proposed project is not among the project types requiring LEED.</p>
<b>Leadership in Energy and Environmental Design (LEED) Guidelines</b>			

Menlo Park El Camino Real/Downtown Specific Plan Standards  
and Guidelines: 961 El Camino Real Compliance Worksheet

<u>Section</u>	<u>Standard or Guideline</u>	<u>Requirement</u>	<u>Evaluation</u>
<b>E.3.8.04</b>	Guideline	<p>The development of larger projects allows for more comprehensive sustainability planning and design, such as efficiency in water use, stormwater management, renewable energy sources and carbon reduction features. A larger development project is defined as one with two or more buildings on a lot one acre or larger in size. Such development projects should have sustainability requirements and GHG reduction targets that address neighborhood planning, in addition to the sustainability requirements for individual buildings (See Standard E.3.8.03 above). These should include being certified or equivalently verified at a LEED-ND (neighborhood development), Silver level or higher, and mandating a phased reduction of GHG emissions over a period of time as prescribed in the 2030 Challenge.</p> <p>The sustainable guidelines listed below are also relevant to the project area. They relate to but do not replace LEED certification or equivalent standard rating requirements.</p>	<p><b>Not applicable:</b> The proposed project does not meet the definition of a larger development project.</p>
<b>Building Design Guidelines</b>			
<b>E.3.8.05</b>	Guideline	Buildings should incorporate narrow floor plates to allow natural light deeper into the interior.	<p><b>Not applicable:</b> Existing floor plate to remain.</p>
<b>E.3.8.06</b>	Guideline	Buildings should reduce use of daytime artificial lighting through design elements, such as bigger wall openings, light shelves, clerestory lighting, skylights, and translucent wall materials.	<p><b>Partially Complies</b> The existing building features large windows in the storefront natural sunlight into the space.</p>
<b>E.3.8.07</b>	Guideline	Buildings should allow for flexibility to regulate the amount of direct sunlight into the interiors. Louvered wall openings or shading devices like <i>bris soleils</i> help control solar gain and check overheating. <i>Bris soleils</i> , which are permanent sun-shading elements, extend from the sun-facing façade of a building, in the form of horizontal or vertical projections depending on sun orientation, to cut out the sun's direct rays, help protect windows from excessive solar light and heat and reduce glare within.	<p><b>Partially Complies:</b> Windows face northeast which is a favorable solar orientation.</p>
<b>E.3.8.08</b>	Guideline	Where appropriate, buildings should incorporate arcades, trellis and appropriate tree planting to screen and mitigate south and west sun exposure during summer. This guideline would not apply to downtown, the station area and the west side of El Camino Real where buildings have a narrower setback and street trees provide shade.	<p><b>Not applicable:</b> This project is on the west side of El Camino Real. Pergola will be provided to the rear.</p>
<b>E.3.8.09</b>	Guideline	Operable windows are encouraged in new buildings for natural ventilation.	<p><b>Not applicable:</b> No operable windows provided; however,</p>

Menlo Park El Camino Real/Downtown Specific Plan Standards  
and Guidelines: 961 El Camino Real Compliance Worksheet

			this is not a new building. Also, it is not clear that operable windows would be suited for restaurants.
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<u>Section</u>	<u>Standard or Guideline</u>	<u>Requirement</u>	<u>Evaluation</u>
<b>E.3.8.10</b>	Guideline	To maximize use of solar energy, buildings should consider integrating photovoltaic panels on roofs.	<b>Not applicable:</b> There appears to be limited space on the roof. Staff will confirm compliance with all City codes at building permit stage.
<b>E.3.8.11</b>	Guideline	Inclusion of recycling centers in kitchen facilities of commercial and residential buildings shall be encouraged. The minimum size of recycling centers in commercial buildings should be 20 cubic feet (48 inches wide x 30 inches deep x 24 inches high) to provide for garbage and recyclable materials.	<b>Complies:</b> Recycling containers will be included in the trash enclosure.
<b>Stormwater and Wastewater Management Guidelines</b>			
<b>E.3.8.12</b>	Guideline	Buildings should incorporate intensive or extensive green roofs in their design. Green roofs harvest rain water that can be recycled for plant irrigation or for some domestic uses. Green roofs are also effective in cutting-back on the cooling load of the air-conditioning system of the building and reducing the heat island effect from the roof surface.	<b>Not applicable:</b> Existing building/roof to remain.
<b>E.3.8.13</b>	Guideline	Projects should use porous material on driveways and parking lots to minimize stormwater run-off from paved surfaces.	<b>Not applicable:</b> No paved areas.
<b>Landscaping Guidelines</b>			
<b>E.3.8.14</b>	Guideline	Planting plans should support passive heating and cooling of buildings and outdoor spaces.	<b>Complies:</b> Project will meet this guideline.
<b>E.3.8.15</b>	Guideline	Regional native and drought resistant plant species are encouraged as planting material.	<b>Complies:</b> Project will meet this guideline.
<b>E.3.8.16</b>	Guideline	Provision of efficient irrigation system is recommended, consistent with the City's Municipal Code Chapter 12.44 "Water-Efficient Landscaping".	<b>Complies:</b> Project will meet this guideline.
<b>Lighting Standards</b>			
<b>E.3.8.17</b>	Standard	Exterior lighting fixtures shall use fixtures with low cut-off angles, appropriately positioned, to minimize glare into dwelling units and light pollution into the night sky.	<b>Complies:</b> Project meets this guideline.
<b>E.3.8.18</b>	Standard	Lighting in parking garages shall be screened and controlled so as not to disturb surrounding properties, but shall ensure adequate public security.	<b>Not applicable.</b>
<b>Lighting Guidelines</b>			
<b>E.3.8.19</b>	Guideline	Energy-efficient and color-balanced outdoor lighting, at the lowest lighting levels possible, are encouraged to provide for safe pedestrian and auto circulation.	<b>TBD:</b> Per applicant project will meet this guideline. Compliance with City codes to be verified at building permit stage.
<b>E.3.8.20</b>	Guideline	Improvements should use ENERGY STAR-qualified fixtures to reduce a building's energy consumption.	<b>TBD:</b>

**Menlo Park El Camino Real/Downtown Specific Plan Standards  
and Guidelines: 961 El Camino Real Compliance Worksheet**

			Per applicant project will meet this guideline. Compliance with City codes to be verified at building permit stage.
<b>E.3.8.21</b>	Guideline	Installation of high-efficiency lighting systems with advanced lighting control, including motion sensors tied to dimmable lighting controls or lighting controlled by timers set to turn off at the earliest practicable hour, are recommended.	<b>TBD:</b> Per applicant project will meet this guideline. Compliance with City codes to be verified at building permit stage.
<b>Green Building Material Guidelines</b>			

<b>Section</b>	<b>Standard or Guideline</b>	<b>Requirement</b>	<b>Evaluation</b>
<b>E.3.8.22</b>	Guideline	The reuse and recycle of construction and demolition materials is recommended. The use of demolition materials as a base course for a parking lot keeps materials out of landfills and reduces costs.	<b>TBD:</b> Per applicant project will meet this guideline. Compliance with City codes to be verified at building permit stage.
<b>E.3.8.23</b>	Guideline	The use of products with identifiable recycled content, including post-industrial content with a preference for post-consumer content, are encouraged.	<b>TBD:</b> Per applicant project will meet this guideline. Compliance with City codes to be verified at building permit stage.
<b>E.3.8.24</b>	Guideline	Building materials, components, and systems found locally or regionally should be used, thereby saving energy and resources in transportation.	<b>TBD:</b> Per applicant project will meet this guideline. Compliance with City codes to be verified at building permit stage.
<b>E.3.8.25</b>	Guideline	A design with adequate space to facilitate recycling collection and to incorporate a solid waste management program, preventing waste generation, is recommended.	<b>TBD:</b> Per applicant project will meet this guideline. Compliance with City codes to be verified at building permit stage.
<b>E.3.8.26</b>	Guideline	The use of material from renewable sources is encouraged.	<b>TBD:</b> Per applicant project will meet this guideline. Compliance with City codes to be verified at building permit stage.

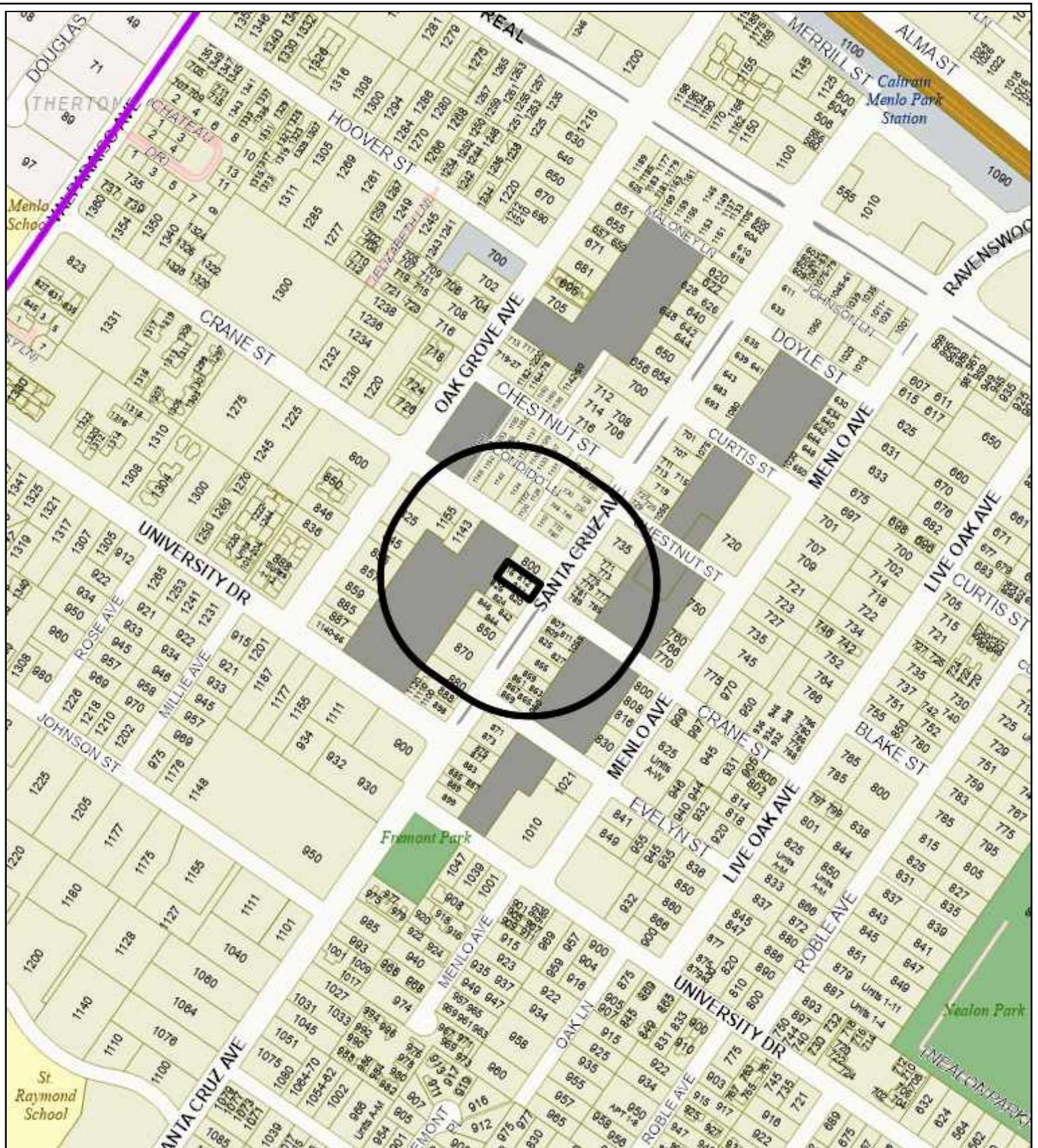
<b>LOCATION:</b> 816 Santa Cruz Avenue	<b>PROJECT NUMBER:</b> PLN2023-00015	<b>APPLICANT:</b> Debora Ferrand	<b>OWNER:</b> Anne Wilbur
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**PROJECT CONDITIONS:**

1. The architectural control permit shall be subject to the following standard conditions:
  - a. Development of the project shall be substantially in conformance with the plans prepared by M+E Design Collaborative, consisting of six plan sheets, dated received November 22, 2024 and approved by the Planning Commission on December 4, 2024, except as modified by the conditions contained herein, subject to review and approval of the Planning Division.
  - b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.
  - c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
  - d. Prior to building permit issuance, if applicable, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.
  - e. Prior to building permit issuance, the applicant shall pay all fees incurred through staff time spent reviewing the application.
  - f. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance.
  - g. The applicant or permittee shall defend, indemnify, and hold harmless the City of Menlo Park or its agents, officers, and employees from any claim, action, or proceeding against the City of Menlo Park or its agents, officers, or employees to attack, set aside, void, or annul an approval of the Planning Commission, City Council, Community Development Director, or any other department, committee, or agency of the City concerning a development, variance, permit, or land use approval which action is brought within the time period provided for in any applicable statute; provided, however, that the applicant's or permittee's duty to so defend, indemnify, and hold harmless shall be subject to the City's promptly notifying the applicant or permittee of any said claim, action, or proceeding and the City's full cooperation in the applicant's or permittee's defense of said claims, actions, or proceedings.
  - h. Notice of Fees Protest – The applicant may protest any fees, dedications, reservations, or other exactions imposed by the City as part of the approval or as a condition of approval of this development. Per California Government Code 66020, this 90-day protest period has begun as of the date of the approval of this application
  
2. Approve the architectural control permit subject to the following **project-specific** conditions:
  - a. The applicant shall adhere to and/or implement all mitigation measures which apply to this Project and were adopted as a part of the Mitigation Monitoring and Reporting Programs (MMRPs) for the ConnectMenlo General Plan and the Downtown Specific

816 Santa Cruz Avenue – Attachment A, Exhibit D

<b>LOCATION:</b> 816 Santa Cruz Avenue	<b>PROJECT NUMBER:</b> PLN2023-00015	<b>APPLICANT:</b> Debora Ferrand	<b>OWNER:</b> Anne Wilbur
<b>PROJECT CONDITIONS:</b>  Plan. Failure to meet these requirements may result in delays to the building permit issuance, stop work orders during construction, and/or fines.			



City of Menlo Park  
 Location Map  
 816 Santa Cruz Avenue



**From:** secretary <secretary@hihp.com>  
**Sent:** Tuesday, October 17, 2023 2:17 PM  
**To:** Khan, Fahteen N  
**Subject:** Application Submittal Notice - Architectural Control/Deborah Ferrand/816 Santa Cruz Ave MP

**CAUTION: This email originated from outside of the organization. Unless you recognize the sender's email address and know the content is safe, DO NOT click links, open attachments or reply.**

Attn: Planning Division – City of Menlo Park

We are writing with regard to the application made by Mademoiselle Collette to install an attached pergola at the rear of the premises, located at 816 Santa Cruz Ave. Our building, 1143 Crane Street, overlooks the rear of Mademoiselle Collette's. This business is an asset to downtown MP adding vibrancy and draw, unfortunately lost in the aftermath of the pandemic. We fully support Mademoiselle Collet's application to install a pergola.

Thank you  
Karen

*Karen J. Uribe*  
Knob Hill Mines, Inc.  
[KarenUribe@hihp.com](mailto:KarenUribe@hihp.com)

[1143 Crane Street, Suite 200 \(650\) 328-0820](#)  
[Menlo Park, CA 94025](#) [\(650\) 323-5390](#) fax.

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## STAFF REPORT

### Planning Commission

Meeting Date:

12/2/2024

Staff Report Number:

24-052-PC

### Public Hearing:

**Consider and adopt a resolution to approve a use permit to partially demolish an existing single-story, single-family residence and construct first- and second-story additions and conduct interior modifications to an existing nonconforming structure on a substandard lot with regard to minimum lot width in the R-1-U (Single Family Urban Residential) zoning district at 351 Barton Place. The proposed project would remove the nonconforming portions of the existing structure and the additions would exceed 50 percent of the existing floor area, and is considered equivalent to new structure; determine this action is categorically exempt under CEQA Guidelines Section 15301's Class 1 exemption for existing facilities.**

### Recommendation

Staff recommends that the Planning Commission adopt a resolution approving a use permit to partially demolish an existing one-story, single-family residence and construct first- and second-story additions and conduct interior modifications to an existing nonconforming structure on a substandard lot with regard to minimum lot width in the R-1-U (Single Family Urban Residential) zoning district at 351 Barton Place. The proposed project would remove the nonconforming portions of the existing structure. The proposed additions would exceed 50 percent of the existing floor area, and therefore, the proposal is considered equivalent to new structure. The draft resolution, including the recommended actions and conditions of approval, is included as Attachment A.

### Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposed project.

### Background

#### *Site location*

The subject property is located on Barton Place, a cul-de-sac located on the west side of Barton Way between Gilbert Avenue and Concord Drive in The Willows neighborhood.

The neighborhood features a variety of architectural styles, including Mediterranean, craftsman, ranch, and, traditional. Many of the older homes in the vicinity of the project are single-story ranch style with front-loading one- or two-car garages. A number of the surrounding residences have recently been remodeled or

replaced with newer two-story residences. A location map is included as Attachment B.

## **Analysis**

### ***Project description***

The subject property is a substandard lot with regard to the minimum lot width, being 54 feet, six inches wide where a minimum of 65 feet is required. The property is currently occupied by an approximately 1,413-square-foot, one-story, single-family residence with an attached front loading one-car garage built in approximately 1947. The right side of the garage is nonconforming with a setback of 4.5 feet from the property line where 5.5 feet is required.

The applicant is proposing to demolish the attached garage and front porch and construct first- and second-story additions which would conform to all required setbacks, eliminating the nonconforming element. The garage would be brought forward so that the front façade of the garage would be approximately 20.5 feet from the front property line. A new full-width covered front porch would be added to the front façade. The remodeled and expanded residence would contain four bedrooms and two and one-half bathrooms. The expanded and relocated garage would contain a single covered parking space. While the proposed garage would be forward of the main house, the effect on the streetscape would remain similar to the existing configuration of a front-loading single-car garage and to nearby homes with similar configurations. As the residence was originally constructed with one covered parking space, the applicant is permitted to retain the nonconforming parking configuration. The driveway would continue to provide a second unofficial parking space within the front setback, which would not meet the off-street parking requirement but would provide some flexibility.

The applicant is proposing to expand the existing driveway from a width of 10 feet to a width of 16 feet; however, Menlo Park Municipal Code (MPMC) Section 13.04.050 (6) prohibits driveways or curb cuts from being located within two feet of the extension of the prolonged property line. Recommended condition of approval 2.a would require a two-foot separation between the right-side property line and the driveway to bring the project into compliance with the Municipal Code and to soften the impact of the proposed driveway and garage.

The proposed residence would meet all Zoning Ordinance requirements for setbacks, lot coverage, floor area limit (FAL), daylight plane, and height. Of particular note with regard to Zoning Ordinance requirements:

- The total proposed FAL would be 2,255 square feet where a maximum of 2,800 square feet is permitted.
- The total proposed building coverage would be 1,866 square feet (34.9 percent), where a maximum of 1,872 square feet (35 percent) is permitted.
- Three new skylights are proposed that exceed 12 feet in height from floor to ceiling, which is counted as 200% toward the FAL for 15 additional square feet of floor area.

The project plans and the applicant's project description letter are included as Attachment A, Exhibits A and B respectively. A data table summarizing parcel and project attributes is included as Attachment C.

### ***Design and materials***

The proposed alteration and expansion would update the exterior of the residence to a modern farmhouse style with the addition of a full-width shed roof front porch. The entire existing façade would be replaced with vertical board and batten siding. The front door would be stained wood and garage door would be painted metal, both with painted wood trim to match the siding. Windows on the front facade are proposed to be

vinyl with sculptured grid inserts between the glass panes; windows on the remaining three sides would be a combination of sculpted insert grids and clear glass. The existing open gable roof style would be expanded to the addition where majority of the roof material would be composition shingle with standing seam metal as an accent material on the front porch.

The proposed project would feature a number of first and second story windows along the right side façade, including a group of windows that would follow the proposed new staircase to the second floor. The sill heights for two of the second story windows would be approximately 1.9 feet from the finished floor. The sill height of the window at the upper landing within the staircase would be 3.6 feet in height. As mentioned in the correspondence section, the neighboring property owner at 355 Barton Place expressed concern about loss of privacy in their side yard (which abuts the subject property’s right side property line) from the new window placement. While the sill heights for the windows are relatively low, one window is at the upper landing within the stairwell and the two lower windows are in the corners of the two upstairs bedrooms. The location of the windows could alleviate some potential privacy concerns raised by the neighbor. Additionally, the proposed windows would be approximately 25 to 34 feet away from the neighboring residence and a number of mature London plane trees (heritage trees #184 and 185) located on the 355 Barton property would provide screening between the residences. The applicant also indicates they plan to install window blinds on the staircase windows and plant shrubs along the shared fence to increase privacy.

**Trees and landscaping**

The applicant has submitted an arborist report (Attachment A, Exhibit C), detailing the species, size, and conditions of on-site and nearby trees. A total of 10 trees were assessed, both on and adjacent to the property, of which two are heritage trees. Three non-protected trees are proposed to be removed due to conflicts with the proposed design.

**Table 1: Tree summary and disposition**

Tree number	Species	Size (DBH, in inches)	Disposition	Notes
181	Mock orange	6	Remove - Construction	Non-heritage
182	Mock orange	6.5	Remove – Construction	Non-heritage
183	Mock orange	10	Remove – Construction	Non-heritage
184*	London plane	22	Preserve	Heritage
185*	London plane	15	Preserve	Heritage
186*	Camellia	6	Preserve	Non-heritage
187*	White birch	14	Preserve	Non-heritage
188	African fern pine	12.5	Preserve	Non-heritage
189	African fern pine	12	Preserve	Non-heritage
190**	Chinese elm	2.5	Preserve	Non-heritage

\*Indicates off-site tree

\*\*Indicates street tree

All standard Menlo Park heritage tree protection measures would be implemented and ensured as part of condition 1h.

### **Correspondence**

The applicant indicates that they conducted neighborhood outreach, the results of which are included in the project description letter (Attachment A, Exhibit B). Neighbors generally expressed approval for the proposed project. One adjoining neighbor at 355 Barton Place expressed concern about loss of privacy from the proposed staircase windows along the right façade. The applicant states in their letter that they will install window blinds in those windows and plant landscape screening to help mitigate their privacy concerns. Staff has received no additional correspondence from the public.

### **Conclusion**

Staff believes that the design, scale, and materials of the proposal are generally compatible with the surrounding neighborhood's varied architectural styles, and would result in a consistent aesthetic approach as many homes in the area have been expanded with second story additions. The proposed new front porch would connect the house to the street and the board and batten siding on the façade would be an architecturally interesting addition to the streetscape. The second story windows on the right side façade would have relatively low sill heights, but the locations of the windows in the corners of the bedrooms and within the stairwell would likely reduce privacy impacts. While not a requirement of the use permit, the applicant has indicated they intend to install window blinds on the staircase windows as well as plant landscape screening along the property line between the two properties. The applicant's proposal would not be out of scale for the neighborhood and would comply with all applicable Zoning Ordinance requirements, including building coverage and setbacks.

### **Impact on City Resources**

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

### **Environmental Review**

The project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.

### **Public Notice**

Public notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

### **Appeal Period**

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

## **Attachments**

- A. Draft Planning Commission Resolution approving the use permit
  - Exhibits to Attachment A
  - A. Project Plans
  - B. Project Description Letter
  - C. Arborist Report
  - D. Conditions of Approval
- B. Location Map
- C. Data Table

Report prepared by:  
Connor Hochleutner, Assistant Planner

Report reviewed by:  
Corinna Sandmeier, Principle Planner

**PLANNING COMMISSION RESOLUTION NO. 2024- XXX**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MENLO PARK APPROVING A USE PERMIT TO PARTIALLY DEMOLISH AN EXISTING SINGLE-STORY, SINGLE-FAMILY RESIDENCE AND CONSTRUCT FIRST- AND SECOND-STORY ADDITIONS GREATER THAN 50-PERCENT OF THE EXISTING FLOOR AREA AND CONDUCT INTERIOR MODIFICATIONS TO AN EXISTING NONCONFORMING STRUCTURE ON A SUBSTANDARD LOT WITH REGARD TO MINIMUM LOT WIDTH IN THE R-1-U (SINGLE FAMILY URBAN RESIDENTIAL) ZONING DISTRICT AT 351 BARTON PLACE.**

WHEREAS, the City of Menlo Park (“City”) received an application requesting a use permit to partially demolish an existing single-story, single-family residence and construct first- and second-story additions greater than 50-percent of the existing floor area and conduct interior modifications to an existing nonconforming structure on a substandard lot with regard to minimum lot width in the R-1-U (Single Family Urban Residential) zoning district (collectively, the “Project”) from Krista and Mark Burbridge (“Applicant and “Owners”) located at 351 Barton Place (APN 062-342-140) (“Property”). The Project use permit is depicted in and subject to the development plans and project description letter, which are attached hereto as Exhibit A and Exhibit B, respectively, and incorporated herein by this reference; and

WHEREAS, the Property is located in the Single Family Urban Residential (R-1-U) district. The R-1-U district supports single-family residential uses; and

WHEREAS, the proposed project would comply with all objective standards of the R-1-U district; and

WHEREAS, the proposed project would remove the nonconforming elements of the existing structure and bring the residence into compliance with all Zoning Ordinance requirements; and

WHEREAS, the proposed project would remain nonconforming with regard to the parking configuration where one covered space would be provided and at least one covered and one uncovered parking space are required; and

WHEREAS, the proposed Project was reviewed by the Engineering, Building and Transportation Divisions and found to be in compliance with City standards; and

WHEREAS, the proposed Project was reviewed by the City Arborist and found to be in compliance with the Heritage Tree Ordinance, and proposes standard tree protection mitigation measures and project-specific tree protection mitigation measures as

described in the arborist report (incorporated herein as Exhibit C) to adequately protect heritage trees in the vicinity of the project; and

WHEREAS, the Project, requires discretionary actions by the City as summarized above, and therefore the California Environmental Quality Act (“CEQA,” Public Resources Code Section §21000 et seq.) and CEQA Guidelines (Cal. Code of Regulations, Title 14, §15000 et seq.) require analysis and a determination regarding the Project’s environmental impacts; and

WHEREAS, the City is the lead agency, as defined by CEQA and the CEQA Guidelines, and is therefore responsible for the preparation, consideration, certification, and approval of environmental documents for the Project; and

WHEREAS, the Project is exempt from environmental review pursuant to CEQA Guidelines §15301 (Existing Facilities); and

WHEREAS, all required public notices and public hearings were duly given and held according to law; and

WHEREAS, at a duly and properly noticed public hearing held on December 2, 2024, the Planning Commission fully reviewed, considered, and evaluated the whole of the record including all public and written comments, pertinent information, documents and plans, prior to taking action regarding the Project.

NOW, THEREFORE, THE MENLO PARK PLANNING COMMISSION HEREBY RESOLVES AS FOLLOWS:

Section 1. Recitals. The Planning Commission has considered the full record before it, which may include but is not limited to such things as the staff report, public testimony, and other materials and evidence submitted or provided, and the Planning Commission finds the foregoing recitals are true and correct, and they are hereby incorporated by reference into this Resolution.

Section 2. Conditional Use Permit Findings. The Planning Commission of the City of Menlo Park does hereby make the following Findings:

The approval of the use permit for first and second-story additions where the additions would exceed 50-percent of the existing floor area on a substandard lot with regard to minimum lot width is granted based on the following findings, which are made pursuant to Menlo Park Municipal Code Section 16.82.030:

1. That the establishment, maintenance, or operation of the use applied for will, under the circumstance of the particular case, not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing in the

neighborhood of such proposed use, or injurious or detrimental to property and improvements in the neighborhood or the general welfare of the city because:

- a. Consideration and due regard were given to the nature and condition of all adjacent uses and structures, and to general plans for the area in question and surrounding areas, and impact of the application hereon; in that, the proposed use permit is consistent with the R-1-U zoning district and the General Plan because two-story residences that are adding more than 50-percent new floor area are allowed to be constructed on substandard lots subject to granting of a use permit and provided that the proposed residence conforms to applicable zoning standards, including, but not limited to, minimum setbacks, maximum floor area limit, and maximum building coverage. The addition of a second floor would be appropriate for the neighborhood as a number of other residences have been expanded to include a second story and the second story addition would comply with applicable setbacks, daylight plane, and height requirements.

Section 3. Conditional Use Permit. The Planning Commission approves Use Permit No. PLN2024-00035, which use permit is depicted in and subject to the development plans and project description letter, which are attached hereto and incorporated herein by this reference as Exhibit A and Exhibit B, respectively. The Use Permit is conditioned in conformance with the conditions attached hereto and incorporated herein by this reference as Exhibit D.

Section 4. ENVIRONMENTAL REVIEW. The Planning Commission makes the following findings, based on its independent judgment after considering the Project, and having reviewed and taken into consideration all written and oral information submitted in this matter:

1. The Project is categorically exempt from environmental review pursuant to Cal. Code of Regulations, Title 14, §15301 et seq. (Existing facilities)

#### Section 5. SEVERABILITY

If any term, provision, or portion of these findings or the application of these findings to a particular situation is held by a court to be invalid, void or unenforceable, the remaining provisions of these findings, or their application to other actions related to the Project, shall continue in full force and effect unless amended or modified by the City.

I, Kyle Perata, Assistant Community Development Director of the City of Menlo Park, do hereby certify that the above and foregoing Planning Commission Resolution was duly and regularly passed and adopted at a meeting by said Planning Commission on December 2, 2024, by the following votes:

AYES:



NOES:

ABSENT:

ABSTAIN:

IN WITNESS THEREOF, I have hereunto set my hand and affixed the Official Seal of said City on this \_\_\_\_\_ day of December, 2024.

PC Liaison Signature

---

Kyle Perata  
Assistant Community Development Director  
City of Menlo Park

Exhibits

- A. Project plans
- B. Project description letter
- C. Arborist report
- D. Conditions of approval

**Project Data**

APN: 062342140  
 Zoned: R-1-U  
 Type of Construction: V-B  
 Existing # of Stories for all structures: 1  
 Occupancies (house and garage): R-3U  
 Total Site Area: 5,350 sf  
 (E) Floor Area: 1,092 sf  
 (E) Attached Garage # Laundry Area: 313 sf  
 (E) Floor Area Total: 1,405 sf  
 (E) Floor Area: 1,092 sf  
 (E) Skylights >1 2ft ceiling height: 15 sf  
 Proposed First Floor Addition: 361 sf  
 Proposed Garage: 250 sf  
 Proposed Second Floor Addition: 524 sf  
 (N) Floor Area Total: 2,252 sf  
 FAL Allowed: 2,800 sf  
 Max. 2nd story 50% FAL: 1,400 sf  
 Two Story Max. Coverage Allowed 35%: 1,872 sf  
 (E) Covered Entry Porch # Covered Deck: 233 sf  
 (E) Building Coverage: 1,411 sf  
 (E) Total Coverage: 1,644 sf  
 Proposed Entry Porch: 150 sf  
 Proposed Building Coverage: 1,722 sf  
 Proposed Total Coverage: 1,872 sf  
 Max allowable building height = 29'-0"  
 One # Two Story Daylight Plane - M.P. zoning 1 G.67.020  
 Front Setback = 20'-0"  
 Rear Setback = 20'-0"  
 Side Setback = 5'-6" (Calculated 10% of Minimum Width)  
 M.P. Zoning 1 G.04.430  
 Per GIS map: Not in Flood Zone Area  
 Required Two Parking Stalls (9'x8') not in Tandem  
 Min. one covered parking # one uncovered parking stall complying with the front or side setbacks.

**Index**

1. Cover Sheet
  2. Area Plan # Streetscape
  3. Existing Site Plan
  4. Proposed Site Plan
  5. Existing Floor Plan and Existing Elevations
  - 5.1 Demolition Plan and Section on Skylights
  6. Proposed Floor Plans
  7. Proposed Elevations and Sections
  8. Existing and Proposed Roof Plans
  9. Proposed Floor Area Diagram and Area Calculations
  - 9.1 Existing Floor Area Diagram - Area Calculations
  10. Color and Materials Board
  11. Impervious Calculations and Worksheet
  12. Survey
  13. Tree Protection Plan
- Project Description Letter
  - Application Form
  - Arbonst Report
  - Photos of the property- refer to sheet A1
  - Photos of Adjacent Properties- refer to sheet A2
  - Impervious Area Worksheet and Stormwater Checklist
  - Photo rendering
  - Neighborhood Outreach Packet and Feedback summary
  - Historical Evaluation w/ Photos
  - Architectural Drawings authorization

**Scope of Work**

- This project consists of a one story and two story additions.  
 Scope includes:
1. Demolition of the existing nonconforming Garage structure, (encroaching on side setback)
  2. Demolition of the existing Porch.
  3. Demolition of the roof structure above the side yard deck.
  4. Removing the side yard deck and relocating it in the rear yard.
  5. Building a new Porch at the Entrance of the house in the front yard and extending the existing roof.
  6. Building a new one car Garage connecting the side setback. Extending the first-floor in the rear yard to add a Family room, Half-bath, laundry area, closets and staircase.
  7. Building a second-floor addition above part of the new first-floor, to accommodate two bedrooms and one bathroom.
  8. Modification of the window in Bedroom 2, impacted by the remodel.
  9. Replacing four existing windows: one in Living Room, one in Dining Room, and two in Bedroom 1.
  10. New composition shingle roof on the entire house.
- The goal of the project is to concentrate the new construction in one location side and rear yard, keeping the entire existing living space "as is". No remodel involved in the existing house aside from changing five windows.

**Condition of Approval**

- A tree Protection Verification Letter from Project Arbonst is required before issuing the associated demolition and Building Permits.
- a. Tree protection should be installed in compliance with City Tree Protection requirements and project-specific recommendations in the Arbonst Report.
  - b. The Project Arbonst should visit the property, verify that the protection measures comply, take photos, and prepare a brief verification letter for City Arbonst review.
  - c. For Tree protection verification:
    - i. tree protection fencing needs signage;
    - ii. there should be a plan for providing consistent irrigation to the trees before, during and after construction (this helps trees tolerate root loss better);
    - iii. tree protection zones need mulch and/or plywood soil compaction protection.
- The Project Arbonst must also provide monthly tree protection monitoring inspections during active demolition and construction.  
 During these inspections, the Project Arbonst should monitor the condition of the trees, verify the compliance of the tree protection measures, provide recommendations for any necessary maintenance and impact mitigation and prepare monthly reports for City Arbonst Review.

# Addition For: The Burbridge Family 351 Barton Place Menlo Park, CA94025



**INDEX**

Date	Submittal
△	1/01/2024
△	1/11/2024

Carole M. Micaelian  
 Architectural Designer  
 cmca@icad.com - 650.746.0059

Project For:  
 Burbridge Residence  
 351 Barton Place  
 Menlo Park  
 CA 94025

Use  
 Permit

**Photos of the property**



**Location Map**



**Project Site**



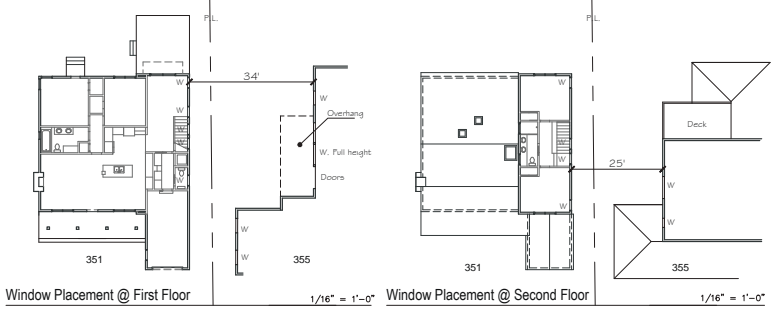
**COMMUNITY DEVELOPMENT DEPARTMENT  
 PLANNING DIVISION**  
 70 Laurel Street  
 Menlo Park, CA 94025  
 phone: (650) 333-8700 fax: (650) 333-9959  
 planning@planning.org  
 www.ci.menlo-park.ca.us

**DATA SHEET**

Please provide the appropriate information applicable to your application. It is required to complete the building and occupancy development forms prior to a zoning review to be held (indicated as #) prior to an applicant's proposed project.

<b>LOCATION:</b> 351 Barton Place - Menlo Park - CA 94025			
<b>EXISTING USE:</b> Residential	<b>APPLICANT:</b> Carole Micaelian		
<b>PROPOSED USE:</b> Residential	<b>PROPERTY OWNERS:</b> Krsta and Mark Burbank		
<b>ZONING:</b> R1U	<b>APPLICATION#:</b>		
<b>DEVELOPMENT BREAKDOWN</b>	<b>PROPOSED PROJECT</b>	<b>EXISTING DEVELOPMENT</b>	<b>ZONING BREAKDOWN</b>
Lot Area	5,350 sf	5,350 sf	7,000/7 exemption # (none)
Lot Area	66.77 sq	66.77 sq	65 sq
Lot Depth	83.82 ft	83.82 ft	100 ft
<b>Setbacks</b>			
Front	20	22	20
Rear	20	20	20
Side (left)	6.5	6.5	6.5
Side (right)	6.5	6.5	6.5
Building Coverage	1,672	1,644	1,872
FAR (Floor Area Ratio)	35	30	35
FAL (Floor Area Limit)	2,252	1,405	2,800
Approx. Garage by Area	0	0	0
Garage by Volume	1,466	1,092	0
Garage by Floor Area	524	0	0
Garage by Volume (including 2nd floor)	260	0	313
Garage by Floor Area (including 2nd floor)	2,252	1,405	2,800
Building Height	21'-11"	15'-11"	28'
Lot Coverage	one	one	two - exempt (none)
Other Data for Planning	(if applicable, include: 1. driveway; 2. driveway; 3. driveway; 4. driveway; 5. driveway; 6. driveway; 7. driveway; 8. driveway; 9. driveway; 10. driveway; 11. driveway; 12. driveway; 13. driveway; 14. driveway; 15. driveway; 16. driveway; 17. driveway; 18. driveway; 19. driveway; 20. driveway; 21. driveway; 22. driveway; 23. driveway; 24. driveway; 25. driveway; 26. driveway; 27. driveway; 28. driveway; 29. driveway; 30. driveway; 31. driveway; 32. driveway; 33. driveway; 34. driveway; 35. driveway; 36. driveway; 37. driveway; 38. driveway; 39. driveway; 40. driveway; 41. driveway; 42. driveway; 43. driveway; 44. driveway; 45. driveway; 46. driveway; 47. driveway; 48. driveway; 49. driveway; 50. driveway; 51. driveway; 52. driveway; 53. driveway; 54. driveway; 55. driveway; 56. driveway; 57. driveway; 58. driveway; 59. driveway; 60. driveway; 61. driveway; 62. driveway; 63. driveway; 64. driveway; 65. driveway; 66. driveway; 67. driveway; 68. driveway; 69. driveway; 70. driveway; 71. driveway; 72. driveway; 73. driveway; 74. driveway; 75. driveway; 76. driveway; 77. driveway; 78. driveway; 79. driveway; 80. driveway; 81. driveway; 82. driveway; 83. driveway; 84. driveway; 85. driveway; 86. driveway; 87. driveway; 88. driveway; 89. driveway; 90. driveway; 91. driveway; 92. driveway; 93. driveway; 94. driveway; 95. driveway; 96. driveway; 97. driveway; 98. driveway; 99. driveway; 100. driveway)		
<b>Trees</b>	# of existing: two off-site	# of existing: none	# of existing: 4 on site
# of existing: none	# of existing: none	# of existing: 4 on site	# of existing: 0 on site

Project No. 2401  
 Date 07/26/2024  
 Sheet No. 1



Window Placement @ First Floor 1/16" = 1'-0"  
 Window Placement @ Second Floor 1/16" = 1'-0"



347 Barton Place

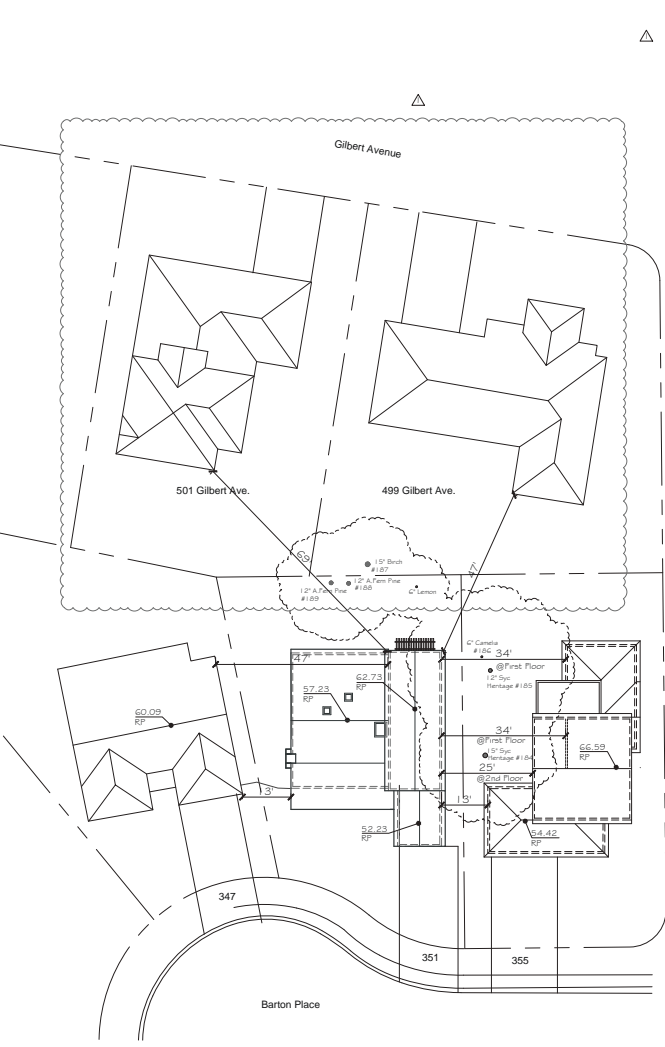


355 Barton Place



- 501 Gilbert Avenue two story
- 347 Barton Place one story
- 343 Barton Place one story
- 339 Barton Place two story
- 335 Barton Place two story
- 331 Barton Place two story
- 329 Barton Place one story
- 499 Gilbert Avenue one story
- 355 Barton Place two story

Aerial View of Barton Place & Neighborhood Photos



Area Plan & Street Scene 1/16" = 1'-0"

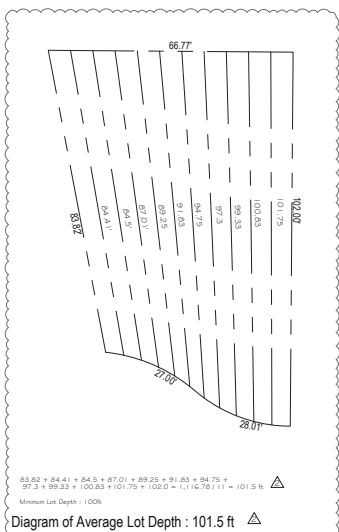


Diagram of Average Lot Depth : 101.5 ft

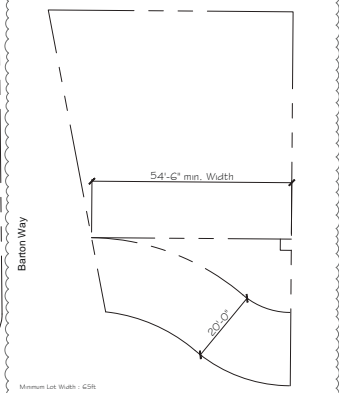


Diagram of Lot Width: 54'-6"

INDEX	
Date	Submittal
△	1/01/2024
△	1/11/2024

Carole Micaelian  
 Architectural Designer  
 cmicae@gmail.com - 650.746.0059

Project For:  
 Burbidge Residence  
 351 Barton Place  
 Menlo Park  
 CA 94025

Use Permit

Area Plan & Streetscape  
 Photos of Neighborhood Houses

Project No. 2401  
 Date 07/26/2024  
 Sheet No.

(Refer to Arbonet Report Page 8)  
**TREE PROTECTION RECOMMENDATIONS:**  
**PLEASE NOTE:** Once the project is approved with the tree protection recommendations outlined, from Arbonet Report any changes to the protection measures must be approved by the City Arborist.

**Pre-Demolition Phase**

- Irrigation: As soon as possible, start irrigating along the east property line fence. Irrigation increases the resilience of the off-site trees (#184-186) and will mitigate water stress that may result from root pruning. A temporary system with soaker hoses may be used - the hoses should be left at a slow drip rate for 8 hours once a month.
- Inform all contractors and subcontractors of the significance of protecting the Heritage and City trees, as the financial consequences for tree damage may be significant (City trees are assessed based on the appraised value of the trees, not including claims from off-site tree owners). A pre-construction meeting may be needed to review the tree protection measures and work plan before demolition begins.
- Inform the Project Arborist of the start date of the project. The City requires regular inspections (e.g. 4 week intervals) to ensure that the project is adhering to the tree protection recommendations, and that fencing remains in place throughout construction.
- Ensure that temporary protection measures are installed before equipment arrives or demolition begins. The side yard, rear yard, and landscape area next to the driveway should be protected where they are highlighted in the tree protection plan. If possible, keep the concrete walkway next to the garage, otherwise it shall be replaced with one of the options below. Fencing, mulch, straw wattles, and plywood shall be used as follows:
- Fencing: Install temporary tree protection fencing to enclose the highlighted areas. The City of Menlo Park requires 6" tall chain link fencing mounted on 6" tall, 2" diameter galvanized posts, driven 24" into the ground and spaced no more than 10' apart. Attach signs to the fencing that state "TREE PROTECTION FENCE - DO NOT MOVE OR REMOVE WITHOUT APPROVAL FROM CITY ARBORIST."
- Straw wattles & wood chips: Wrap the trunks of the on-site trees with straw wattle, up to 2' above grade or to the lowest branch. Secure the wattle to the trunk without directly screwing or nailing it in. Cover the soil/landscape area with a 4" thick layer of wood chips, optionally adding plywood on top. (Landscape fabric may be placed down on the soil first to make it easier to remove the wood chips later, or the wood chips can be simply left in place afterwards.)
- Plywood: 1/2" sheet sheets of plywood along the side yard between the proposed addition and the property line.
- Once the tree protection measures are completed, the Project Arborist must inspect and provide a verification letter to the City before the demolition or building permit is issued.
- The tree protection measures are to remain in location throughout the project. To modify the protection measures, contact the Project Arborist to submit a request in writing to the City. Only the City Arborist can authorize removal of the protection measures at the end of the project.

- Construction Phase**
- Note: In general, if root or branch pruning is needed, the pruning must be supervised by the Project Arborist.
  - The addition foundation shall be dug by hand or with water- or air-assisted tools, leaving the roots in place for the Project Arborist to review. Once they have been reviewed, they can be clearly cut with sharp tools (handsaw, Sawzall, or circular saw). Make the smallest possible cut - perpendicular to the length of the root rather than at a diagonal. Roots must then be covered and kept moist until the soil is backfilled. Additional recommendations may be provided based on the details of root pruning.
  - At any time, if damage occurs to any tree, immediately consult the Project Arborist for recommendations on how to mitigate the damage.
  - When construction is completed but before fencing is removed, contact the City Arborist for a final inspection.

**Post-Construction Phase**

- If the project arborist deems it necessary, supplemental irrigation should be provided for one growing season after construction is completed (~9 months). For details, see the "Irrigation" recommendation under the Pre-Demolition Phase section.
- To avoid further impact to the off-site trees (#184-186), avoid activities that disturb the area between the addition and the property line fence for several years after the addition project is completed. Activities include but are not limited to trenching for irrigation, installing landscape, and drainage installation.

(Refer to Arbonet Report Page 4)  
**Special Tree Protection Actions for Trees #184-186:**

**Actions:** For several years after the project is complete avoid landscaping or other disturbing activities between the proposed addition and the property line. Begin irrigating along the property line to increase tree resilience. Leave existing concrete walkway by Garage if possible (root protection), otherwise cover nearby exposed soil with plywood or wood chips. Protect the area between the addition and property line with mulch or plywood, to remain throughout construction. Once the deck is removed, hand dig along proposed foundation; leave roots for arborist review and recommendations. Roots shall be cut with hand tools and kept moist - till backfilled.

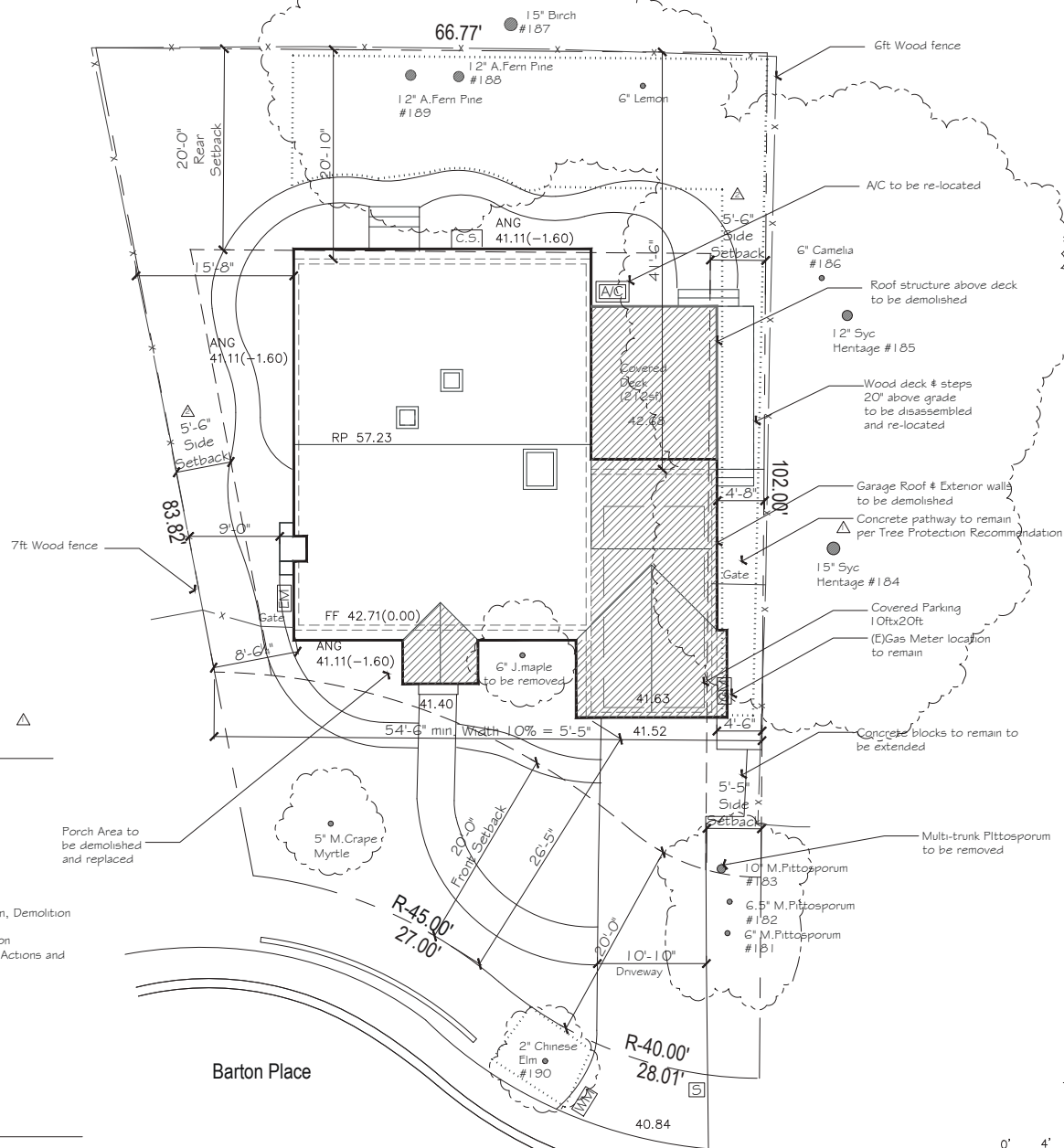
**Legend**

- [S] Main Sewer
- [GM] Gas Meter
- [EM] Electric Meter
- [WM] Water Meter
- [A/C] A/C Condenser & Pad
- [Hatched Box] Areas of Demolition
- [Dashed Box] Before Site Preparation, Demolition Construction: Refer to Tree Protection Recommendations and Actions and Tree Protection Plan
- [Double Line] Exterior wall below roof Edge of Eave
- [Single Line] Setback
- [X] Fence and Gate

(\*\*\*) Elevation - based on the survey

**Existing Site Plan**

3/16" = 1'-0"



**INDEX**

Date	Submital
1/11/2024	
1/11/2024	

Carolee M. McMillan  
 Architectural Designer  
 cmcmae@gmail.com - 650.746.0599

Project For:  
 Burdette Residence  
 351 Barton Place  
 Menlo Park  
 CA 94025

Use  
 Permit

Site Analysis  
 Existing Site Plan

Project No. 2401  
 Date 07/28/2024  
 Sheet No.

(Refer to Arkonet Report page 8)  
**TREE PROTECTION RECOMMENDATIONS:**  
 PLEASE NOTE: Once site project is approved with the tree protection recommendations outlined, from "Arkonet Report" any changes to the protection measures must be approved by the City Arkonet.

**Pre-Demolition Phase**

- **Imagitation:** As soon as possible, start imaging along the east property line fence. Imagitation increases the resilience of the off-site trees (#184, 194) and will mitigate water stress that may result from root pruning. A temporary system with spider hoses may be used - hoses should be left at a slow drip rate for 8 hours once a month.
- **Inform all contractors and subcontractors** of the significance of protecting the Heritage and City trees, as the financial consequences for tree damage may be significant (City trees are assessed based on the appraised values of the trees, not including claims from off-site tree owners). A pre-construction meeting may be needed to review the tree protection measures and work plan before demolition begins.
- **Inform the Project Arkonet** of the start date of the project. The City requires regular inspections (e.g. 4 week intervals) to ensure that the project is adhering to the tree protection recommendations, and that fencing remain in place throughout construction.
- **Ensure that temporary protection measures** are related before equipment arrives or demolition begins. The side yard, rear yard, and landscape area next to the driveway should be protected where they are highlighted in the tree protection plan. If possible, keep the concrete walkway next to the garage, otherwise it shall be replaced with one of the options below. Fencing, mulch, straw wattle, and plywood shall be used as follows:
  - **Fencing:** Install temporary tree protection fencing to enclose the highlighted areas. The City of Menlo Park requires 6" tall chain link fencing mounted on 8" tall, 2" diameter advanced posts, spaced 24" into the ground and spaced no more than 10' apart. Attach signs to the fencing that state "TREE PROTECTION FENCE - DO NOT MOVE OR REMOVE WITHOUT APPROVAL FROM CITY ARKONET"
  - **Straw wattle & wood chips:** Wrap the trunks of the on-site trees with straw wattle, up to 6" above grade or to the lowest branch. Secure the wattle to the trunk without directly disturbing or using it in. Cover the soil/landscape area with a 4" thick layer of wood chips, optionally adding plywood on top. (Landscape fabric may be placed down on the soil first to make it easier to remove the wood chips later, or the wood chips can be simply left in place afterwards.)
  - **Plywood:** Fit down sheets of plywood along the side yard between the proposed addition and the property line.
- **Once the tree protection measures are completed,** the Project Arkonet must inspect and provide a verification letter to the City before the demolition or building permit is issued.
- **The tree protection measures are to remain in location throughout the project.** To modify the protection measures, contact the Project Arkonet to submit a request in writing to the City. Only the City Arkonet can authorize removal of the protection measures at the end of the project.

**Construction Phase**

- **Notice in general,** if root or branch pruning is needed, the pruning must be supervised by the Project Arkonet.
- **The addition foundation shall be dug by hand or with water- or air-assisted tools,** leaving the roots in place for the Project Arkonet to review. Once they have been reviewed, they can be clearly cut with sharp tools (handaxe, Sawzall, or circular saw). Make the smallest possible cut - perpendicular to the length of the root rather than at a diagonal. Roots must then be covered and kept moist until the soil is backfilled. Additional recommendations may be provided based on the extent of root pruning.
- **At any time,** if damage occurs to any tree, immediately consult the Project Arkonet for recommendations on how to mitigate the damage.
- **When construction is completed but before fencing is removed,** contact the City Arkonet for a final inspection.

**Post-Construction Phase**

- **If the project arkonet deems it necessary,** supplemental imagination should be provided for one growing season after construction is completed (~9 months). For details, see the "Imagitation" recommendation under the Pre-Demolition Phase section.
- **To avoid further impact to the off-site trees (#184-186),** avoid activities that disturb the area between the addition and the property line fence for several years after the addition project is completed. Activities include but are not limited to tree removal, installing landscape, and drainage installation.

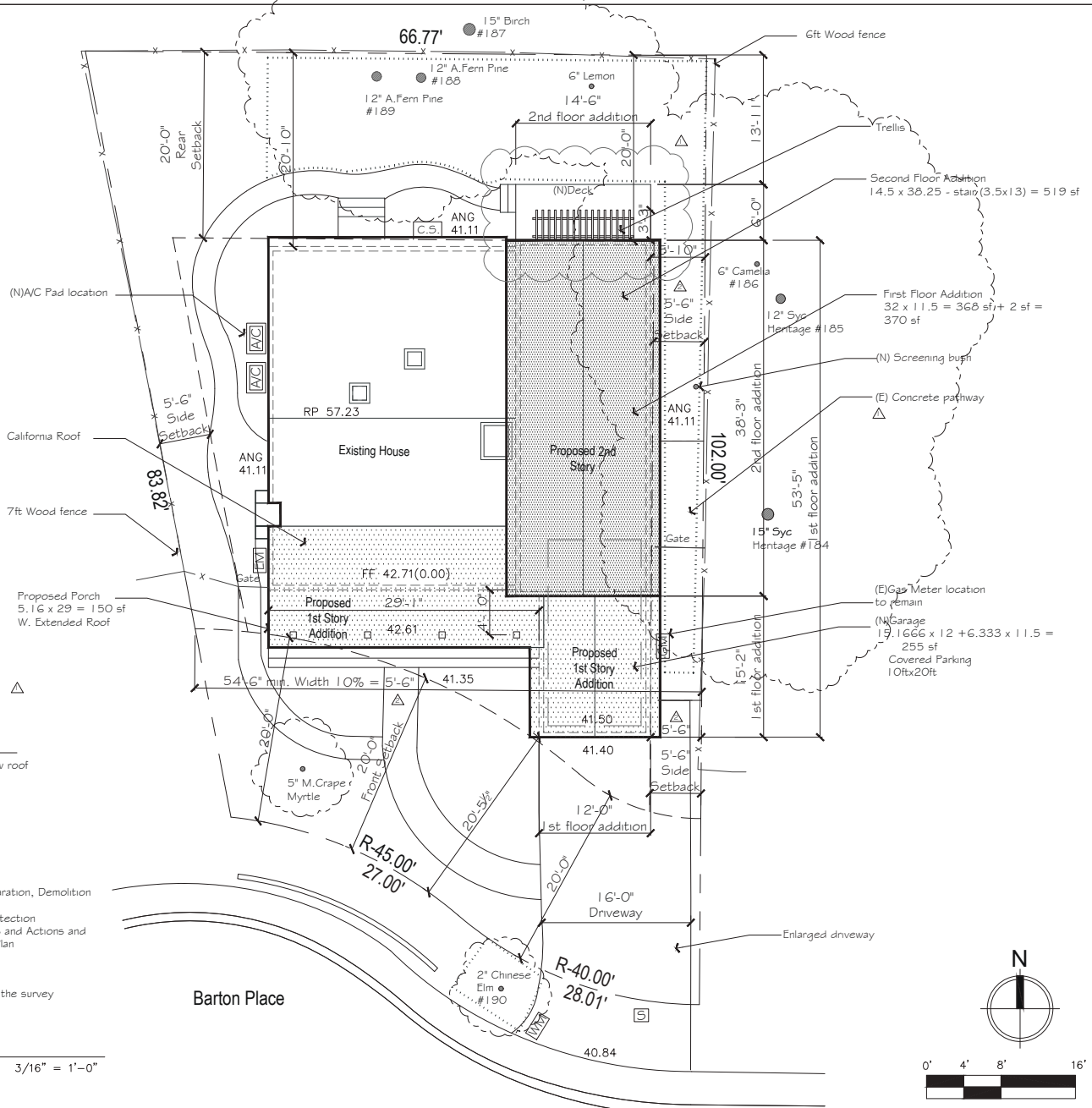
(Refer to Arkonet Report Page 4)  
 Special Tree Protection Agreements for Trees #184-185.

- **Actions:** For several years after the project is complete avoid landscaping or other disturbing activities between the proposed addition and the property line.
- **Begin imaginating along the property line** to increase tree resilience.
- **Leave existing concrete walkway by Garage** if possible (root protection); otherwise cover newly exposed soil with plywood or wood chips. Protect the area between the addition and property line with mulch or plywood, to remain throughout construction. Once the deck is removed, hand dig along proposed foundation; leave roots for arkonet review and recommendations. Roots shall be cut with hand tools and kept moist, till backfilling.

**Legend**

- MS Main Sewer
- GM Gas Meter
- EM Electric Meter
- WM Water Meter
- A/C A/C Condenser & Pad Proposed Location
- OS One Story Addition
- TS Two Story Addition
- C.S. Crawl Space Access
- Exterior wall below roof Edge of Eave
- Setback
- x Fence and Gate
- Before Site Preparation, Demolition Construction : Refer to Tree Protection Recommendations and Actions and Tree Protection Plan
- (\*) Elevation - based on the survey

**Proposed Site Plan**



3/16" = 1'-0"

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1/11/2024	

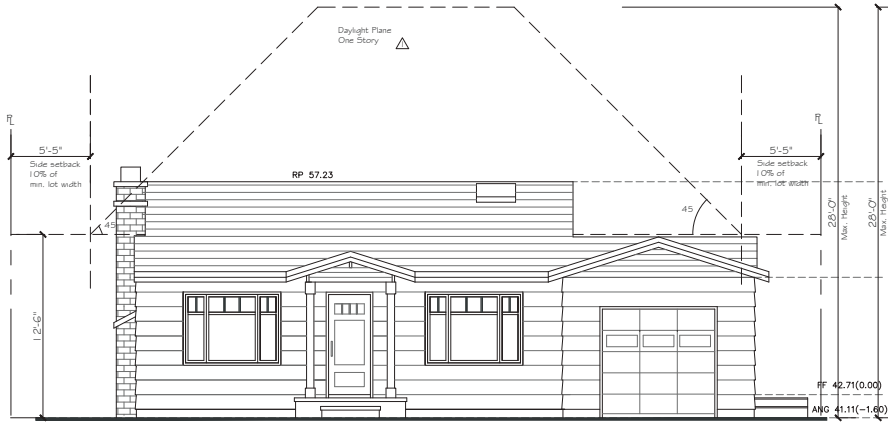
Carole Micaelian  
 Architectural Designer  
 cmcaian@gmail.com - 650.746.0599

Project For:  
 Burbridge Residence  
 351 Barton Place  
 Menlo Park  
 CA 94025

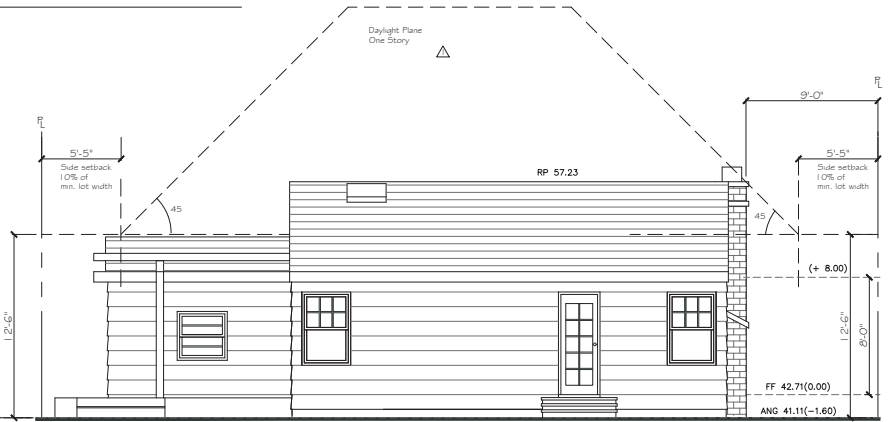
Use Permit

Site Analysis  
 Proposed Site Plan

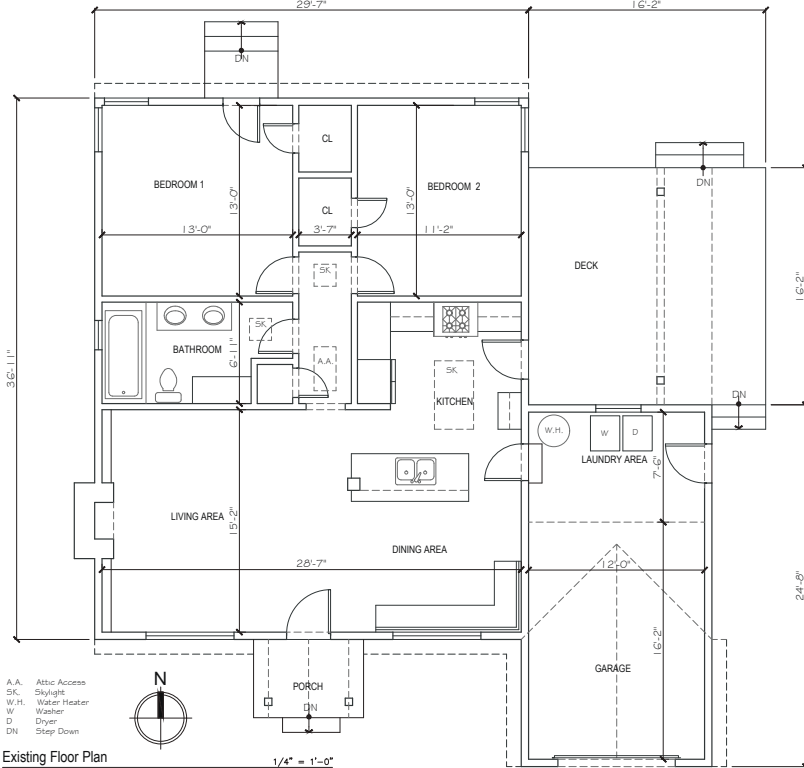
Project No. 2401  
 Date 07/28/2024  
 Sheet No.



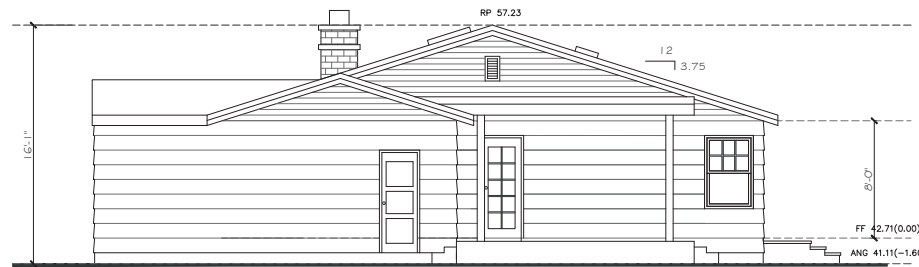
Existing South Elevation - Street Side 1/4" = 1'-0"



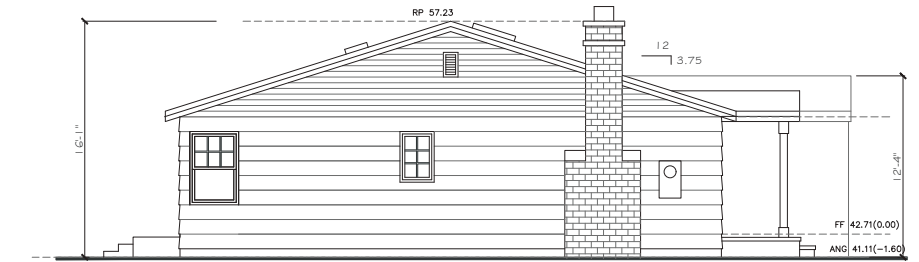
Existing North Elevation - Rear Yard 1/4" = 1'-0"



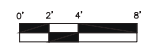
Existing Floor Plan 1/4" = 1'-0"



Existing East Elevation - Right Side 1/4" = 1'-0"



Existing West Elevation - Left Side 1/4" = 1'-0"



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Date	Submittal
10/14/2024	

Carolee M. Castellano  
Architectural Designer  
cmcalle@gmail.com - 650.740.0590



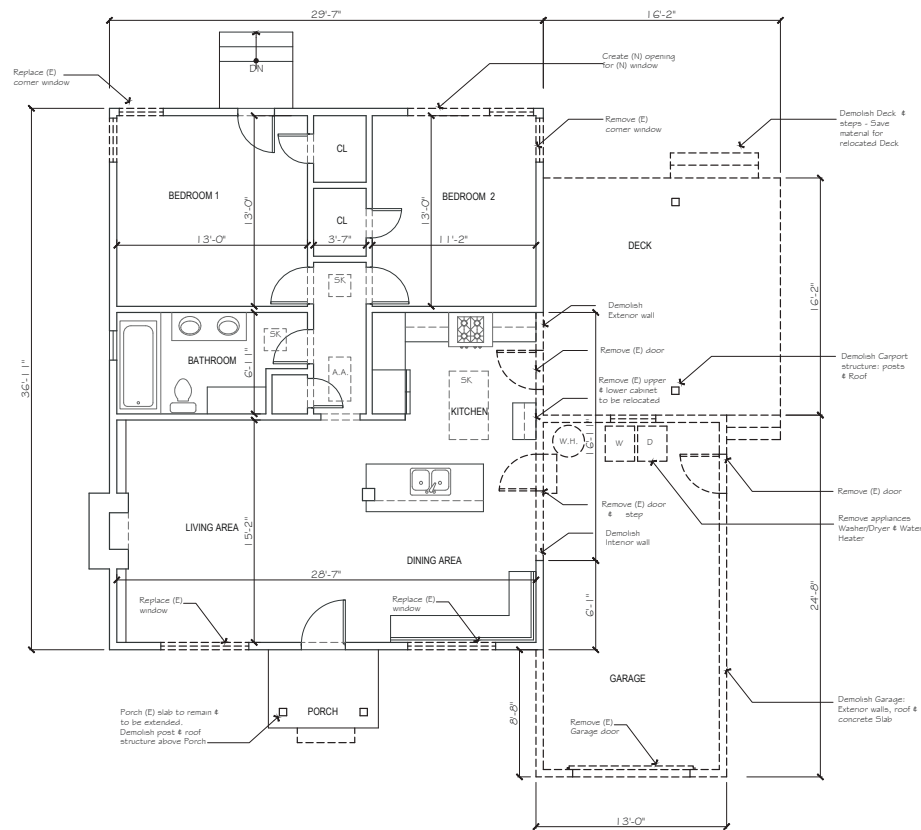
Project For:  
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Menlo Park  
CA 94025

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Existing Floor Plan  
Existing Elevations

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5



- A.A. Attic Access
- SK. Skylight
- W.H. Water Heater
- W. Washer
- D. Dryer
- DN Step Down
- Demolition involved as noted



Demolition Plan 1/4" = 1'-0"

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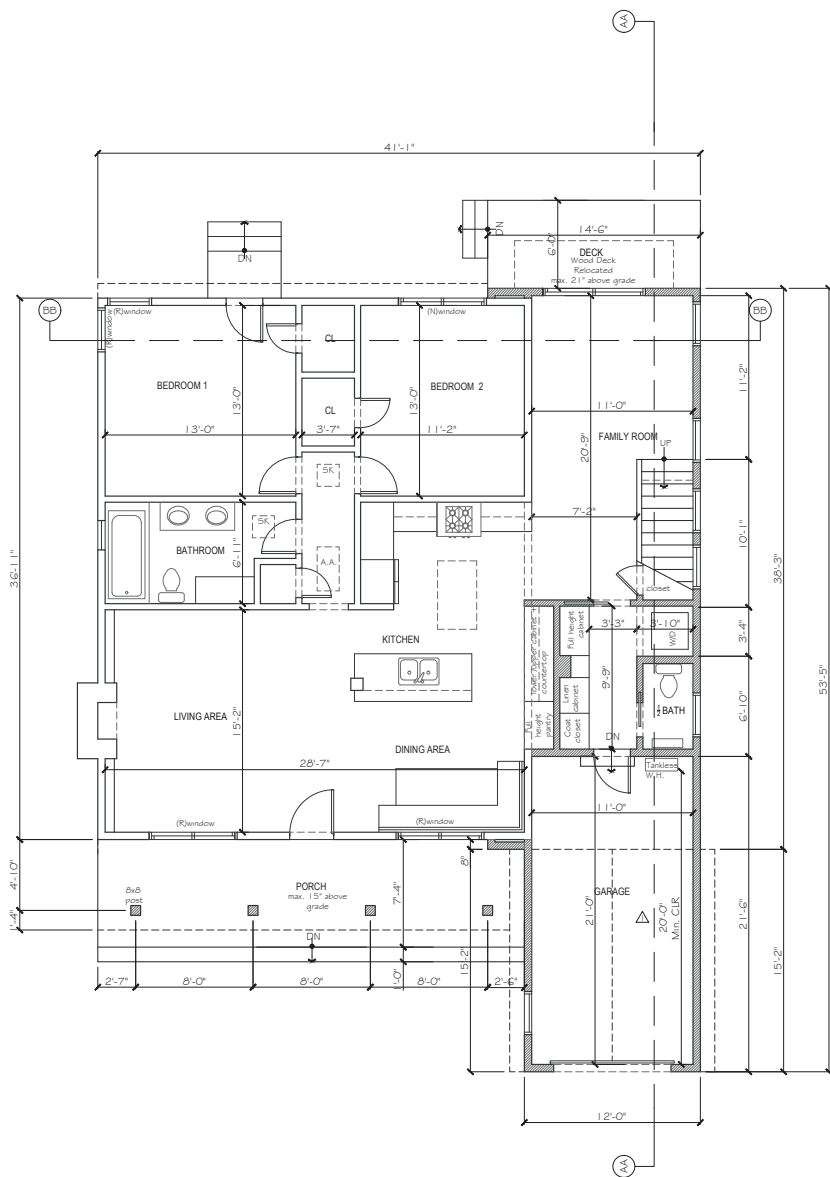
Use  
 Permit

Demolition Plan

Project No. 2401  
 Date 1/01/4/2024  
 Sheet No.

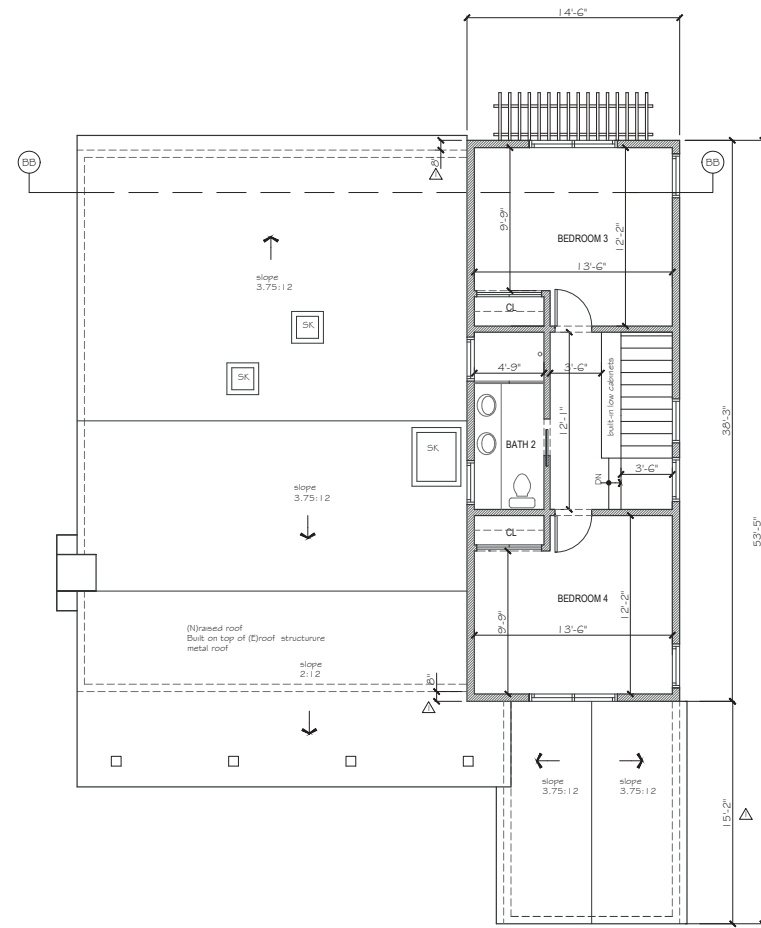


5.1

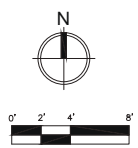


Proposed First Floor - Floor Plan 1/4" = 1/8"

- (R)window: Retrofit new window in an existing opening a window
- (N)window: New window in new opening in an existing wall
- : New wall



Proposed Second Floor - Floor Plan 1/4" = 1/8"



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Date	Submittal
△	10/14/2024

Carole Micaelian  
 Architectural Designer  
 cmcaie@gmail.com - 650.749.0050

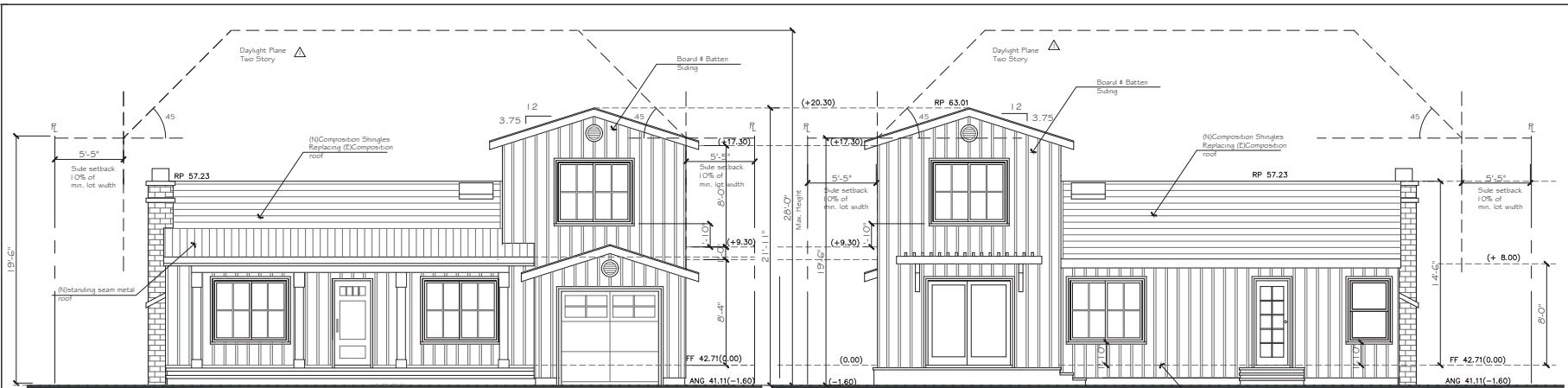
Project For:  
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 CA 94025

Use Permit

Proposed First & Second Floor - Floor Plans

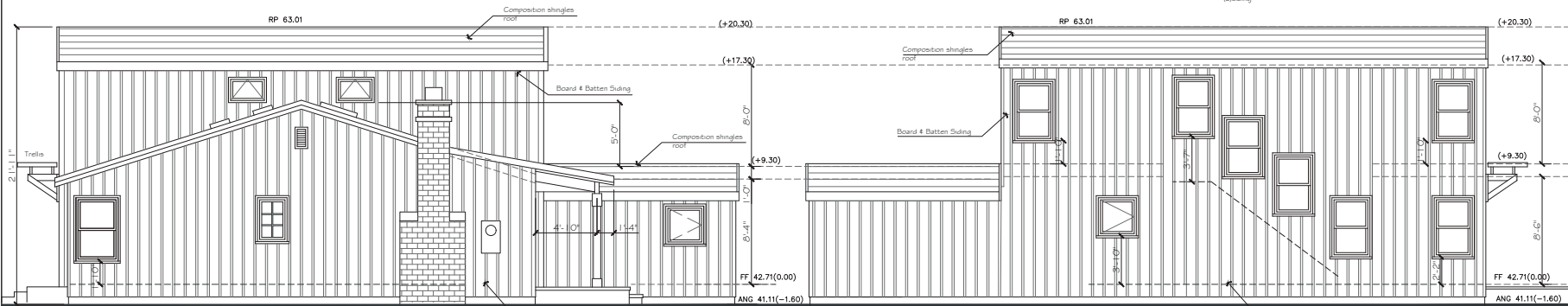
Project No. 2401  
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 Sheet No.





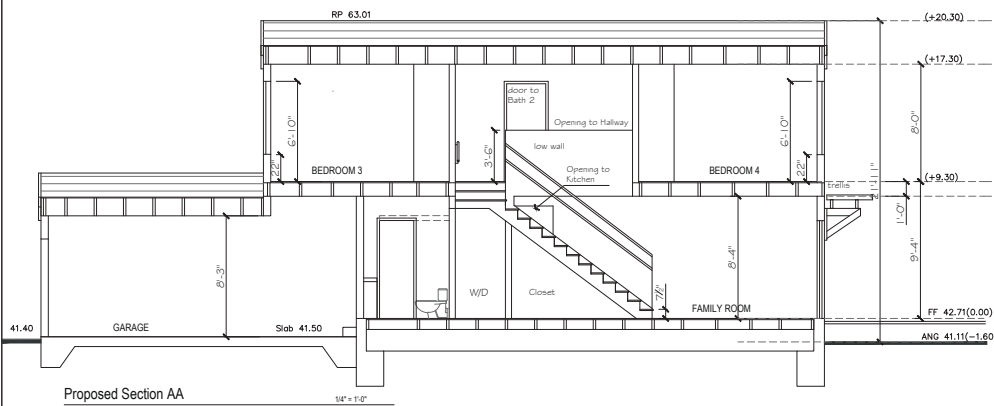
Proposed South Elevation - Street Side

Proposed North Elevation - Rear Yard

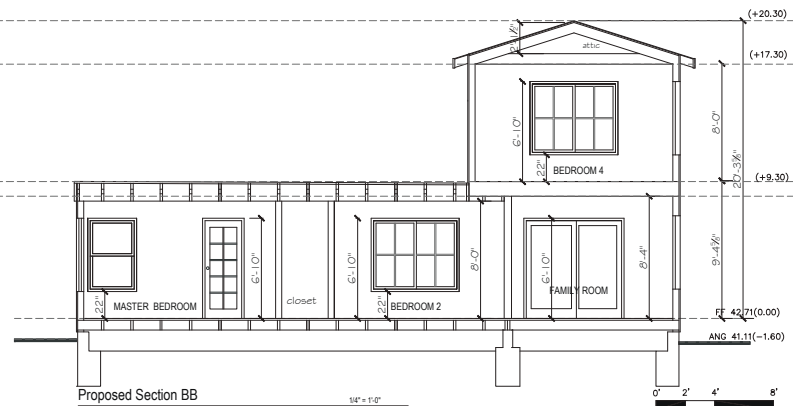


Proposed West Elevation - Left Side

Proposed East Elevation - Right Side



Proposed Section AA



Proposed Section BB

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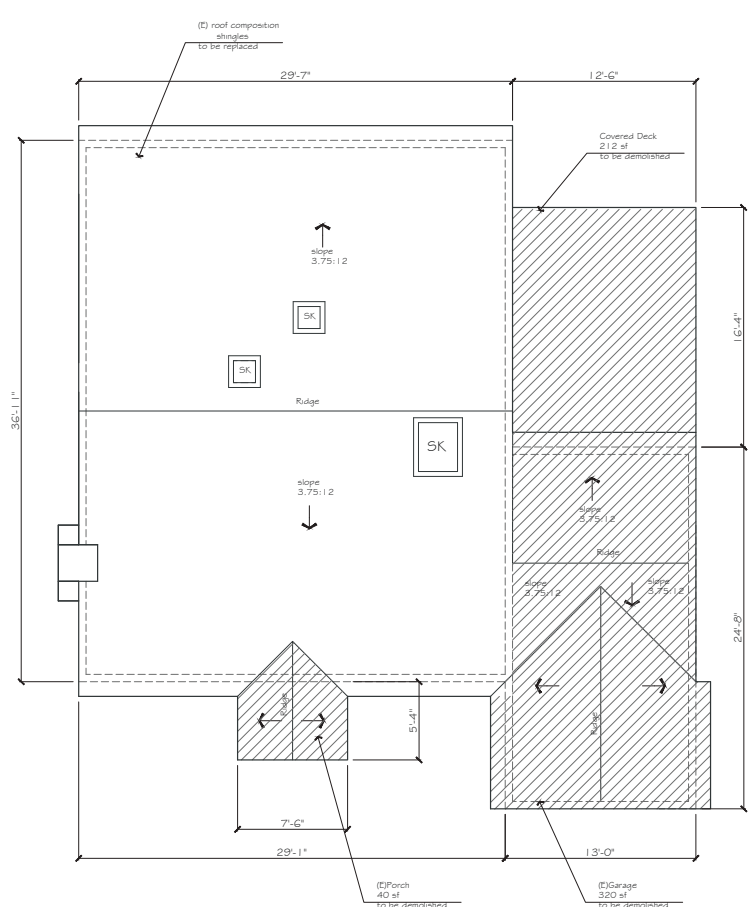
Carole Micaelian  
Architectural Designer  
cmcaes@gmail.com - 650.746.0059

Project For:  
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351 Barton Place  
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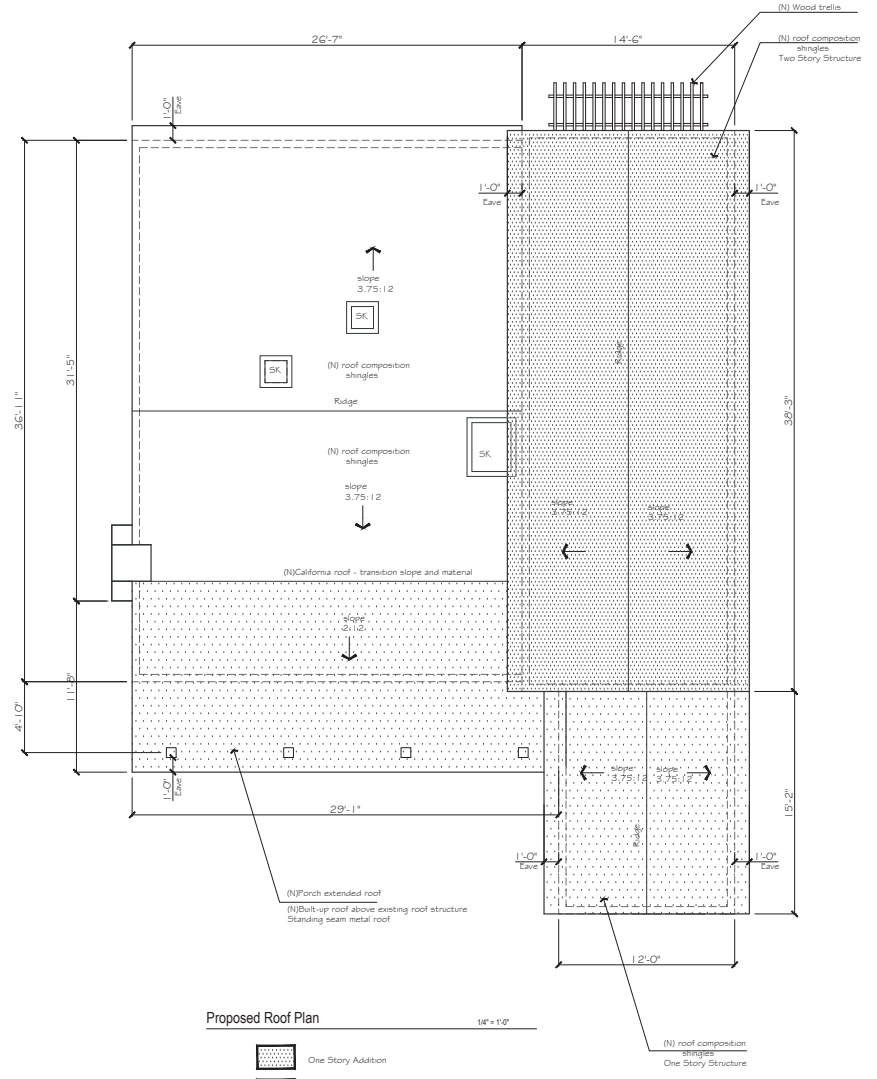
Proposed First & Second Floor - Floor Plan  
Proposed Elevations

Project No. 2401  
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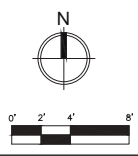
Existing Roof Plan  
1/4" = 1'-0"

Areas of Demolition



Proposed Roof Plan  
1/4" = 1'-0"

One Story Addition  
Two Story Addition



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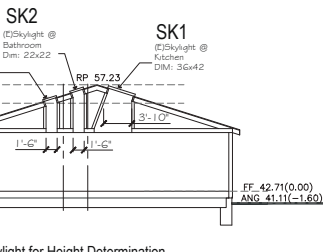
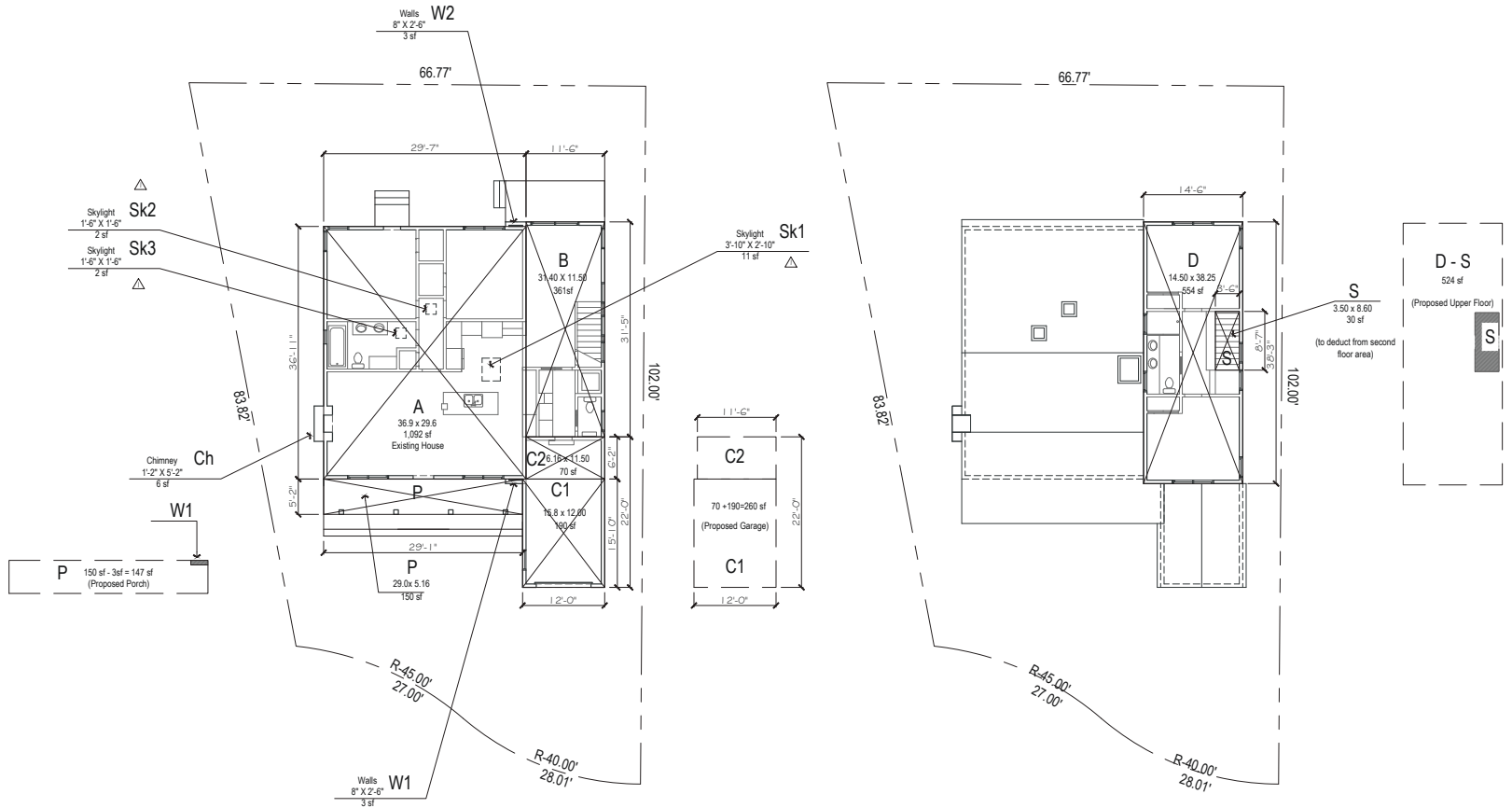
Carole M. Micallian  
Architectural Designer  
cmicallian@gmail.com - 650.746.0590

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Menlo Park  
CA 94025

Use Permit

Existing Roof & Proposed Roof

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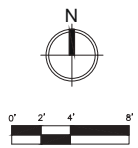
**First Floor - Floor Area Diagram**  $1/8" = 1'-0"$

AREA	DIMENSIONS	SQUARE FOOTAGE
Area W1	0'-8" X 2'-6"	3
Area W2	0'-8" X 2'-6"	3
Area Ch	1'-2" X 5'-2"	6
TOTAL COVERED AREAS SQUARE FOOTAGE: 12		
TOTAL FIRST FLOOR SQUARE FOOTAGE: (Areas A + B + C1 + C2 + P - W1) 1,860		
<b>TOTAL PROPOSED COVERAGE</b>		<b>1,872</b> $\Delta$
Max. Allowed COVERAGE:		1,872

**Second Floor - Floor Area Diagram**  $1/8" = 1'-0"$

No attic space with height > 5'-0"

AREA	DIMENSIONS	SQUARE FOOTAGE
Area A	36'-11" X 29'-7"	1,092
Area B	31'-5" X 11'-6"	361
Area C1	15'-10" X 12'-0"	190
Area C2	6'-2" X 11'-6"	70
Area D	14'-6" X 38'-3"	554
Area S	3'-50" X 8'-60"	30
Area SK1	2'-10" X 3'-10"	1
Area SK2	1'-6" X 1'-6"	2
Area SK3	1'-6" X 1'-6"	2
<b>TOTAL PROPOSED SQUARE FOOTAGE:</b>		<b>2,252</b> $\Delta$
Max. Allowed SQUARE FOOTAGE:		2,850



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Date	Submittal
$\Delta$	1/01/4/2024

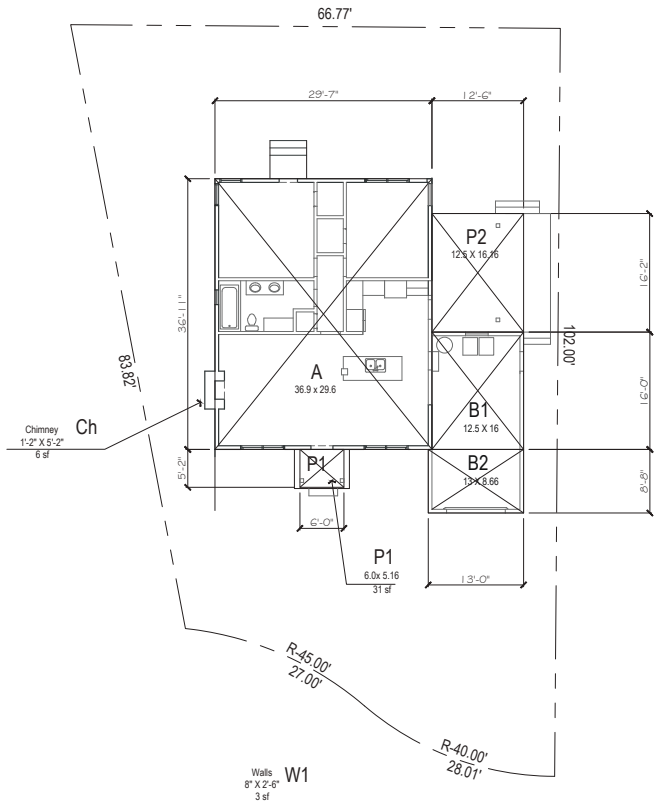
Project For:  
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Use Permit

Floor Area Diagrams First & Second Floors  
 Area Calculations

Project No. 2401  
 Date 07/28/2024  
 Sheet No.

Carole Miccaelian  
 Architectural Designer  
 cmicca@micca.com - 650.746.0050



Existing - Floor Area Diagram 1/8" = 1'-0"

No attic space with height >5'-0"

AREA	DIMENSIONS	SQUARE FOOTAGE
Area A	36'-1 1/4" X 29'-7"	1,092
Area B1	12'-6" X 16'-0"	200
Area B2	13'-0" X 8'-8"	113
<b>TOTAL EXISTING SQUARE FOOTAGE:</b>		<b>1,405</b>
Max. Allowed SQUARE FOOTAGE:		2,850

AREA	DIMENSIONS	SQUARE FOOTAGE
Area P1	6'-0" X 5'-2"	31
Area P2	16'-2" X 12'-6"	202
Area Ch	1'-2" X 5'-2"	6
<b>TOTAL COVERED AREAS SQUARE FOOTAGE:</b>		<b>239</b>
<b>TOTAL FIRST FLOOR SQUARE FOOTAGE:</b>		<b>1,405</b>

**TOTAL EXISTING COVERAGE** 1,644

Max. Allowed COVERAGE: 1,872



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Date	Submitted
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Project For:  
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Existing Floor Area Diagrams  
Floor Area Calculations

Project No. 2401  
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9.1



(2) \* (0) Roof Finish - Composition Shingles - similar to Certainteed Landmark - Charcoal Black



(0) Porch Roof - Standing Seam Metal Roof - Grey



(2) \* (0) - Wall Siding - Board & Batten - White



(0) - Sliding Windows or Hung Windows - Similar to Milgard Tescany



Grnde on Sliding Windows White interior and Black Exterior



(0) - Sliding patio doors - Similar to Milgard Tescany



Windows and Doors Frame color White interior and Black exterior



Black Garage Door with Windows



Color Palette



Color Palette



(0) Porch Floor Finish Natural stone Grey

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In  
Progress

Color & Materials Board

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Date	Submital

Carolle M. Cacciatore  
 Architectural Designer  
 cmc@cmcd.com - 650.749.0059

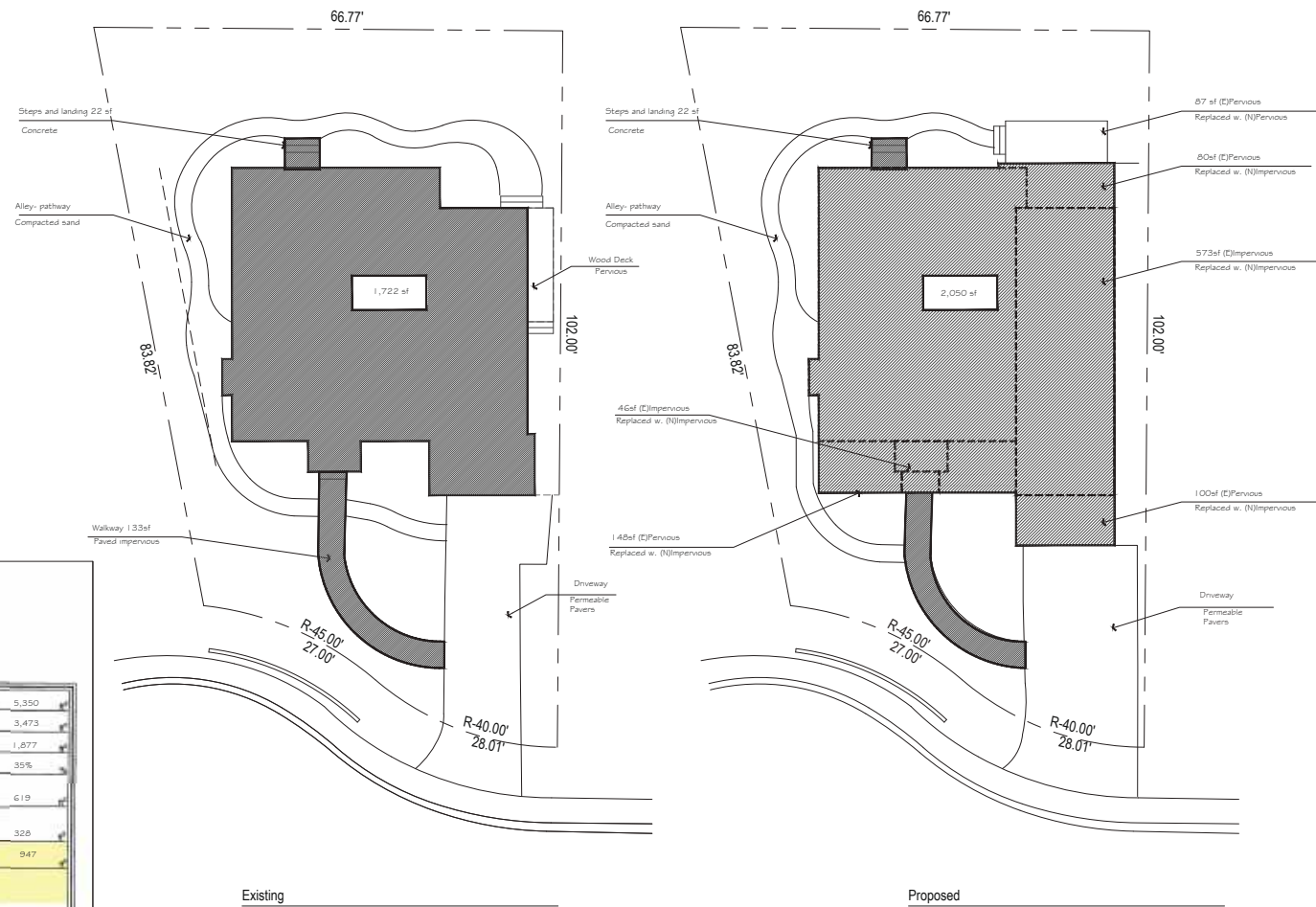
Project For:  
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 351 Barton Place  
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Use Permit

Impervious Calculations & Worksheet

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# 11

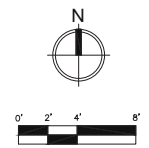


### IMPERVIOUS AREA WORKSHEET

Page 2 of 2

IMPERVIOUS AREA CALCULATION			
Total Area of Parcel	=	A	5,350 sf
Existing Pervious Area	=	H	3,473 sf
Existing Impervious Area	=	G	1,877 sf
Existing % Impervious	=	$C = A \times 100 = D$	35%
Existing Impervious Area To Be Replaced W/ New Impervious Area	=	K	19
Existing Pervious Area To Be Replaced W/ New Impervious Area	=	F	328
New Impervious Area (Crewing and/or Replacing)	=	E + F = I	947
If I is greater than 10,000 square feet, a hydrology report shall be submitted to Engineering.			
Existing Impervious Area To Be Replaced W/ New Pervious Area	=	M	0
Net Change In Impervious Area	=	$F - M = J$	328
Input negative (-) number if the F (net change) is negative			
Proposed Pervious Area	=	B - J = L	3,145
Proposed Impervious Area	=	C + I = K	2,205
Verify that J + K = A			
Proposed % Impervious	=	$K \div A \times 100 = N$	41%

Y:\Eg\919\Aerial\2024\07\26\2024\351 Barton Place\351 Barton Place\351 Barton Place\Impervious Area Worksheet.dwg  
 Page 12



**Tree Protection Recommendations**

**PLEASE NOTE:** Once the project is approved with the tree protection recommendations outlined in this report, any changes to the protection measures must be approved by the City Arboret.

**Pre-Construction Phase**

- As soon as possible, start irrigating along the east property line fence. Irrigation increases the resilience of the off-site trees (#184-190) and will mitigate water stress that may result from root pruning. A temporary system with soaker hoses may be used – the hoses be left at a slow drip rate for 8 hours twice a month.
- Inform all contractors and subcontractors of the significance of protecting the Heritage and City trees, as the financial consequences for tree damage may be significant. City trees are assessed based on the appraised value of the trees, not including claims from off-site tree owners. A pre-construction meeting may be needed to review the tree protection measures and work plan before construction begins.
- Inform the Project Arboret of the start date of the project. The City requires regular inspections (e.g. 4 week intervals) to ensure that the project is adhering to the tree protection recommendations, and that fencing remains in place throughout construction.
- Ensure that temporary protection measures are installed before excavation begins or demolition begins. The side yard, rear yard and landscape area next to the driveway should be protected where they are highlighted in the tree protection plan. If possible keep the concrete walkway next to the garage, otherwise it shall be replaced with one of the options below. Fencing, mulch, straw wattle, and plywood shall be used as follows:
  - Excavate, install temporary tree protection fencing to enclose the highlighted areas. The City of Menlo Park requires 6' tall chain link fencing mounted on 4" x 4" 2" diameter galvanized posts, driven 24" into the ground and spaced no more than 12' apart. Attach signs to the fencing that state "TREE PROTECT CITY FENCE - DO NOT MOVE OR REMOVE WITHOUT APPROVAL FROM CITY ARBORIST."
  - Straw wattle & wood chips: Wrap the trunks of the on-site trees with straw wattle, up to 10' above grade or to the lowest branch. Secure the wattle to the trunk without directly screwing or nailing it in. Cover the soil landscape area with a 4" thick layer of wood chips, optionally adding plywood or tarp. Subdrainage fabric may be placed down on the soil next to make it easier to remove the wood chip pile, as the wood chips can be simply left in place afterwards.
  - Mulch: Put down sheets of plywood along the side yard between the proposed addition and the property line.
- Once the tree protection measures are completed, the Project Arboret must inspect and provide a verification letter to the City before the demolition or building permit is issued.
- The tree protection measures do not to remain in location throughout the project. To modify the protection measures, contact the Project Arboret to submit a request in writing to the City. Only the City Arboret can authorize removal of the protection measures at the end of the project.

**Construction Phase**

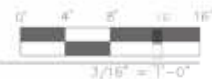
- Note: In general, if root or branch pruning is needed, the pruning must be supervised by the Project Arboret.
- The addition foundation shall be dug by hand or with water- or air-assisted tools, leaving the roots in place for the Project Arboret to review. Once they have been reviewed, they can be cleanly cut with sharp tools (handaxe, chainsaw, or circular saw). Make the smallest possible cut – perpendicular to the length of the root rather than at a diagonal. Roots must first be covered and kept moist until the soil is backfilled. Additional recommendations may be provided based on the extent of root pruning.
- At any time, if damage occurs to any tree, immediately contact the Project Arboret for recommendations on how to mitigate the damage.
- When construction is completed but before fencing is removed, contact the City Arboret for a final inspection.

**Post-Construction Phase**

- If the project arboret deems it necessary, supplemental irrigation should be provided to the growing season after construction is completed (~3 months). For details, see the "Irrigation" recommendation in the Pre-Construction Phase section.
- To avoid further impact to the off-site trees (#184-190), avoid activities that disturb the area between the addition and the property line fence for several years after the addition project is completed. Activities include but are not limited to fencing for irrigation, installing landscaping, and drainage installation.

**TREE PROTECTION PLAN**  
**for 351 Barton Place, Menlo Park**  
 August 8, 2024  
 By Jennifer Tso, BCMA #WE-10270B  
 Michella Arboriculture, LLC  
 925-515-1362 | jennifer@michellarborist.com

Drawn on proposed site plan and existing site plan by Carole Micaelian (dated July 28, 2024)



**TREE PROTECTION LEGEND**

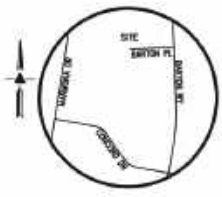
- #181-190 Tree tag numbers (off-site trees are not tagged)
- X Proposed tree removals
- Tree driplines, drawn by arborist
- Tree protection area (fencing, plywood, straw wattle, mulch etc)



The addition foundation shall be dug by hand or with water- or air-assisted tools, leaving the roots in place for the Project Arboret to review. Once they have been reviewed, they can be cleanly cut with sharp tools (handaxe, chainsaw, or circular saw). Make the smallest possible cut – perpendicular to the length of the root rather than at a diagonal. Roots must first be covered and kept moist until the soil is backfilled. Additional recommendations may be provided based on the extent of root pruning.

As soon as possible, start irrigating along the east property line fence. Irrigation increases the resilience of the off-site trees (#184-190) and will mitigate water stress that may result from root pruning. A temporary system with soaker hoses may be used – the hoses should be left at a slow drip rate for 8 hours twice a month.

If possible, keep the existing concrete walkway next to the garage to protect the roots of tree #184, otherwise it shall be replaced with plywood or mulch.



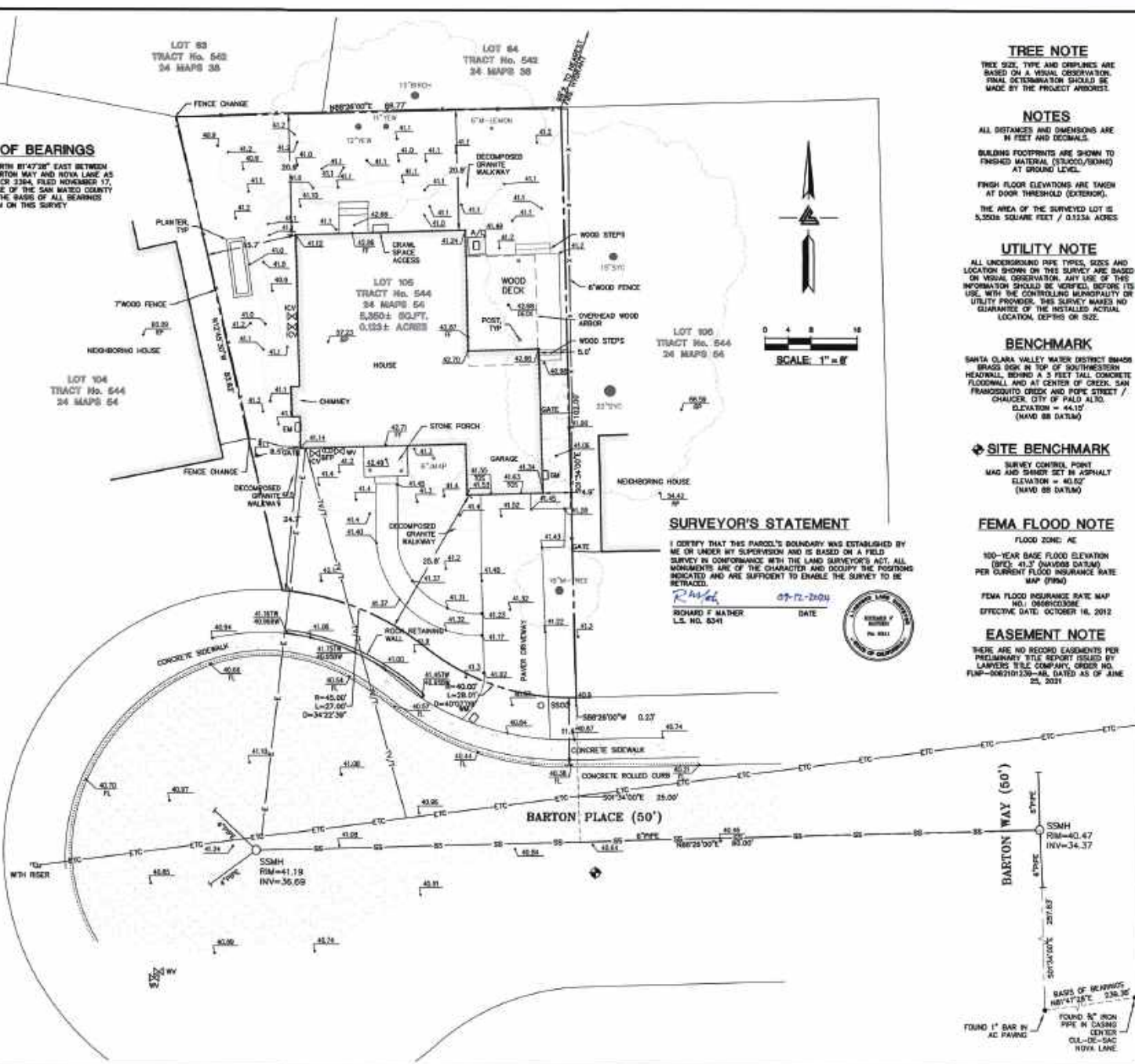
VICINITY MAP  
NO SCALE

**BASIS OF BEARINGS**

THE BEARING NORTH BY 47°30' EAST BETWEEN MONUMENTS IN BARTON WAY AND NOVIA LANE AS CALCULATED PER CP 3384, FILED NOVEMBER 17, 2015 IN THE OFFICE OF THE SAN MATEO COUNTY SURVEYOR, IS THE BASIS OF ALL BEARINGS SHOWN ON THIS SURVEY.

**LEGEND AND NOTES**

- BOUNDARY LINE
- - - BUILDING OVERHANG LINE
- E - ELECTRICAL OVERHEAD LINE
- C/T - ELECTRICAL/TELEPHONE/CABLE TV OVERHEAD LINE
- T/V - TELEPHONE/CABLE TV OVERHEAD LINE
- F - FENCE LINE
- --- FLOW LINE
- SS - SANITARY SEWER LINE
- SD - STORM DRAIN LINE
- A/C - AIR CONDITIONING UNIT
- B/P - BACK FLOW PREVENTER
- B - BENCHMARK
- B/W - BOTTOM RETAINING WALL
- E/B - ELECTRICAL BOX
- F/F - FINISH FLOOR
- H - FIRE HYDRANT
- FL - FLOW LINE
- G/M - GAS METER
- I/V - INVERT
- I/CV - IRRIGATION CONTROL VALVE
- J/M/P - JAPANESE MAPLE
- J - JOINT POLE
- M - MULTI-TRUNK TREE
- P - ROOF PEAK
- S/S/C/O - SANITARY SEWER CLEAN-OUT
- S/S/M/H - SANITARY SEWER MAINTENANCE HOLE
- S/C - SYCAMORE
- T/W - TOP OF RETAINING WALL
- W/M - WATER METER
- W/V - WATER VALVE
- S/T/G - SPOTGRADE
  
- ASPHALT
- CONCRETE
- DECOMPOSED GRANITE
- PAVERS
- RIVER ROCK
- STONE
- WOOD



**TREE NOTE**

TREE SIZE, TYPE AND COMPLICES ARE BASED ON A VISUAL OBSERVATION. FINAL DETERMINATION SHOULD BE MADE BY THE PROJECT ARCHITECT.

**NOTES**

- ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.
- BUILDING FOOTPRINTS ARE SHOWN TO FINISHED MATERIAL (FINISHED/SOAK) AT GROUND LEVEL.
- FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLD (EXTERIOR).
- THE AREA OF THE SURVEYED LOT IS 5,320.00 SQUARE FEET / 0.1233 ACRES

**UTILITY NOTE**

ALL UNDERGROUND PIPE TYPES, SIZES AND LOCATION SHOWN ON THIS SURVEY ARE BASED ON VISUAL OBSERVATION. ANY USE OF THIS INFORMATION SHOULD BE VERIFIED BEFORE ITS USE. WITH THE CONTROLLING MUNICIPALITY OR UTILITY PROVIDER. THIS SURVEY MAKES NO GUARANTEE OF THE INSTALLED ACTUAL LOCATION, DEPTH OR SIZE.

**BENCHMARK**

SANTA CLARA VALLEY WATER DISTRICT BRASS BRASS BENCHMARK AT TOP OF SOUTHWESTERSON HEADWALL BEHIND A 5 FEET TALL CONCRETE FLOODWALL AND AT CENTER OF CREEK SAN FRANCISCO CREEK AND PIPE STREET / CHALKER, CITY OF PALLO ALSO. ELEVATION = 44.10' (NAD 83 DATUM)

**SITE BENCHMARK**

SURVEY CONTROL POINT. MAG AND SMOOT SET IN ASPHALT. ELEVATION = 40.82' (NAD 83 DATUM)

**FEMA FLOOD NOTE**

FLOOD ZONE: AE  
100-YEAR BASE FLOOD ELEVATION (FEET): 41.3 (UNIVERS DATUM)  
PER CURRENT FLOOD INSURANCE RATE MAP (FIRM)

FEMA FLOOD INSURANCE RATE MAP NO. 08660C0306  
EFFECTIVE DATE: OCTOBER 16, 2012

**EASEMENT NOTE**

THERE ARE NO RECORDED EASEMENTS PER PRELIMINARY TITLE REPORT ISSUED BY LAWRENCE TITLE COMPANY, ORDER NO. FLAP-0062101239-AB, DATED AS OF JUNE 28, 2021.

**SURVEYOR'S STATEMENT**

I CERTIFY THAT THIS PARCEL'S BOUNDARY WAS ESTABLISHED BY ME OR UNDER MY SUPERVISION AND IS BASED ON A FIELD SURVEY IN CONFORMANCE WITH THE LAND SURVEYOR'S ACT. ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

*Richard F. Mather* 07-11-2024 DATE  
RICHARD F. MATHER L.S. NO. 5241



**LEA & BRACE ENGINEERING, INC.**  
1075 UNIVERSITY LAND SURVEYORS  
1100 UNIVERSITY BLVD., SUITE 100  
SANTA CLARA, CALIFORNIA 95050  
(408) 352-1100  
WWW.LEA-AND-BRACE.COM

351 BARTON PLACE  
MENLO PARK  
CALIFORNIA

BOUNDARY AND TOPOGRAPHIC SURVEY

REVISIONS	BT
JOB NO.	2252046
DATE:	12-4-23
SCALE:	1"=4'
BNBY: BT	
DRAWN BY:	BT
SHEET NO.	23

**SU1**

1 OF 3 SHEETS



Carole Micaelian - Architectural Designer - Menlo Park

cmicaeli@gmail.com - 650 7406050

City of Menlo Park  
Planning Department  
701 Laurel Street  
Menlo Park, CA 94025

August, 1st 2024

Re: Krista and Mark Burbridge  
351 Barton Place  
Menlo Park, CA 94025

Zoning: R1-U  
APN: 062342140

**Project Scope of Work:**

The proposed project is to demolish the existing Garage, (encroaching on the side setback), demolish the Side Covered deck and Front Porch, and preserve the entire single-story living space of the existing house (2br. 1 bath).

Build a new one car Garage, with an addition on the first and second floors. The proposed house will have 4 bedrooms, 2.5 baths, a Family Room, a laundry area, more storage, and an extended welcoming front Porch.

The Architectural Style:	Modern Farmhouse
Roof Material:	Composition roof with Standing Seam Metal on Porch
Exterior Siding:	Board and Batten Siding (Hardiplank or Vinyl)
Construction Methods:	Concrete slab for Garage and Porch, Raised floor foundation for living spaces. Conventional wood framing.
Exterior Paint Color:	White
Exterior Roof Color:	Black and Grey
Doors and Windows:	Exterior Black/Interior White

Due to the unusual lot shape and the location of the existing house, the site allows for only one covered parking and is exempt from the second parking space requirement.

The basis for the site layout and location of the proposed addition is to correct the side setback of the Garage and build a two-story addition with a minimal impact on the neighbors' privacy while preserving the character of the existing house and improving the use of the space.

The home requires a Use Permit because of the substandard depth of the lot and because it is a two-story addition.

**Thank you for your consideration and for reviewing this project.**

**Regards,  
Carole Micaelian**



### **Summary of the Neighborhood Outreach**

Single Family Design Review for 351 Barton Place.

On June 30th, 2024, we delivered Packets to the neighbors (9) with addresses located on the court: 329, 331, 335, 339, 343, 347 & 355 Barton Place, and the two neighbors 499 and 501 Gilbert Avenue sharing the rear fence. The name and address list are on the Feedback Spreadsheet.

The Packet contained a letter with a description of the project, and an invitation to attend an open house, on-site to review the full-scale plans and have a chance to comment on the project, and reduced-size plans of the existing and proposed.

The open house was held on July 28th, 2024 in front of the house, from 1 to 2 pm:

All the neighbors listed above visited us during the Open House to review the blueprints and discuss the project with our architect, except:

- 329 Gilbert, who did not attend but gave positive feedback ahead of time, via email.
- 501 Gilbert, left Packet in the hands of the renters living at this location and emailed the owner a copy of the Packet, but did not receive a response.

Overall, we received positive feedback from our neighbors for the proposed project, (Refer to the Feedback Spreadsheet with comments collected at the meeting) except for Rob and Wendy Trice @ 355 Barton Place. They had concerns about the windows on the staircase facing their hallway at the first floor and reducing their privacy as they use the side yard as their backyard.

Rob Trice: (355 Barton Place) followed up with an email explaining his viewpoints and concerns on the project.

Date: 08/01/2024

Carole Micaelian responded to the email with actions that will be taken to accommodate Rob Trice's concerns. Date: 08/06/2024

Attached documents:

A copy of the Packet with letter to the neighbors

The spreadsheet with the neighbor's communication

A copy of the email exchange with Rob Trice

08/01/2024

Krista and Mark Burbridge

July 15, 2024

To the Neighbors of

Krista and Mark Burbridge  
351 Barton Place  
Menlo Park, CA94025

RE: Home remodel and addition at 350 Barton Place, Menlo Park

Dear Neighbor:

We are writing to let you know that we are planning to remodel and build an addition to our house located at 351 Barton Place.

The project will include extending the existing front porch and building a new Garage to correct setbacks, with an addition on the first and second floors.

We are in the process of preparing the Planning Application Submittal to the City of Menlo Park, but we would also like our neighbors to be aware of our plans for our dream home. You can see the proposed Design Development Drawings dated 07/14/2024 included in this letter. If you would like more details and additional information, then please join us at an onsite meeting (351 Barton Place) on Sunday, July 28th between 1 and 2 pm

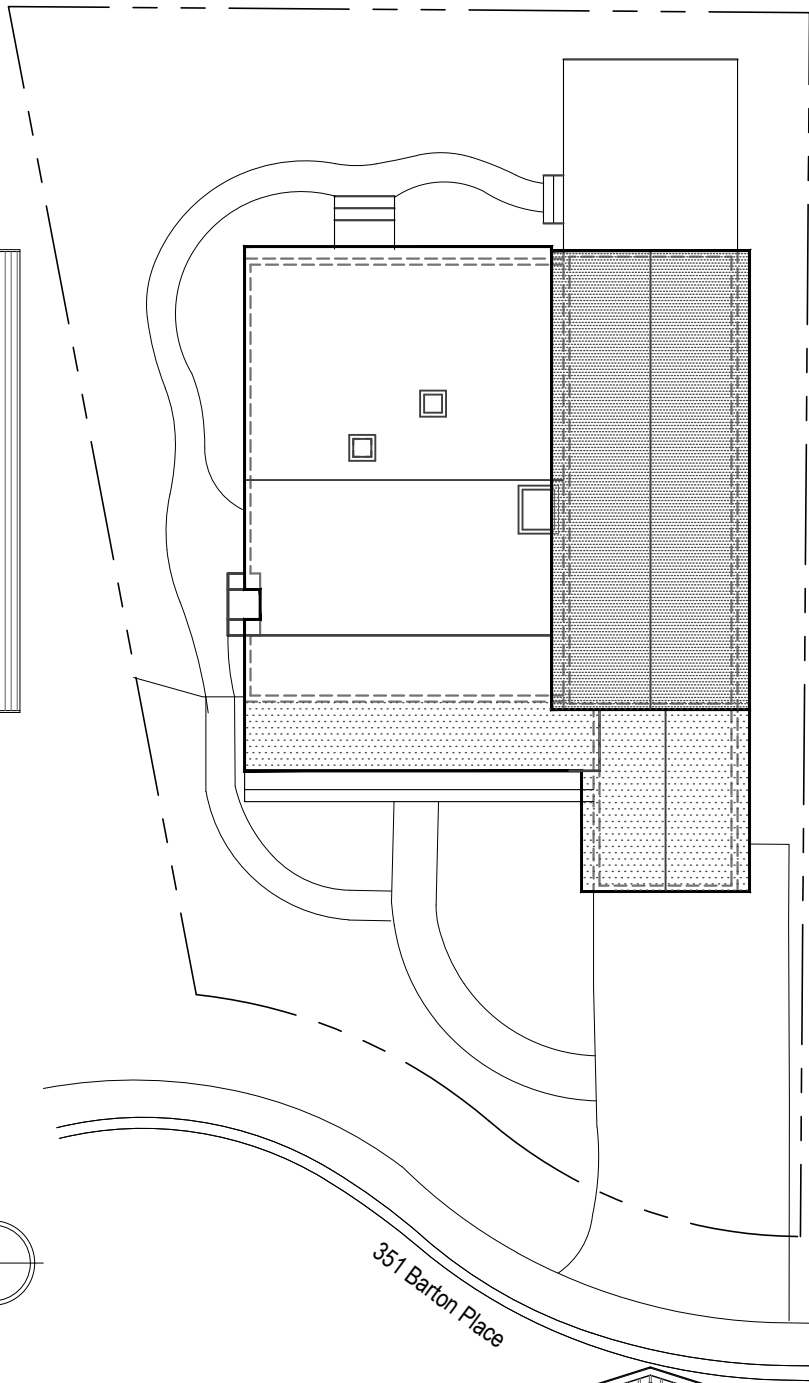
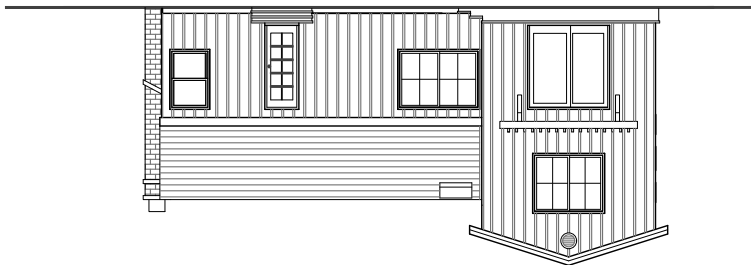
During the in-person meeting, you will be able to view our blueprint drawings and have a chance to submit your input on our project. You are welcome to contact us remotely by sending an email to [markburbridge@gmail.com](mailto:markburbridge@gmail.com)

We are happy to answer any questions you may have.

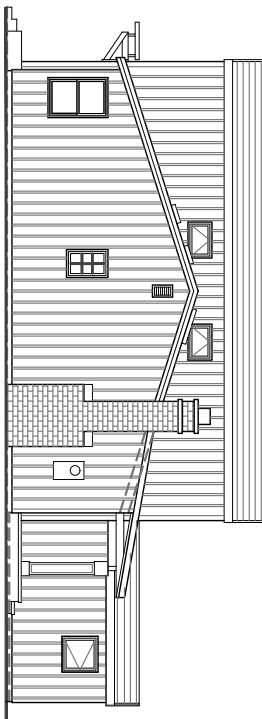
Sincerely,

Krista & Mark Burbridge

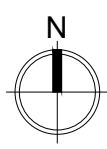
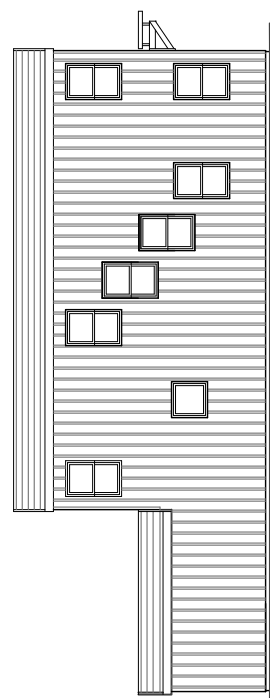
Proposed Rear - North Elevation



Proposed Side - East Elevation



Proposed Side - West Elevation



351 Barton Place

Proposed Street - South Elevation



**Project Data**

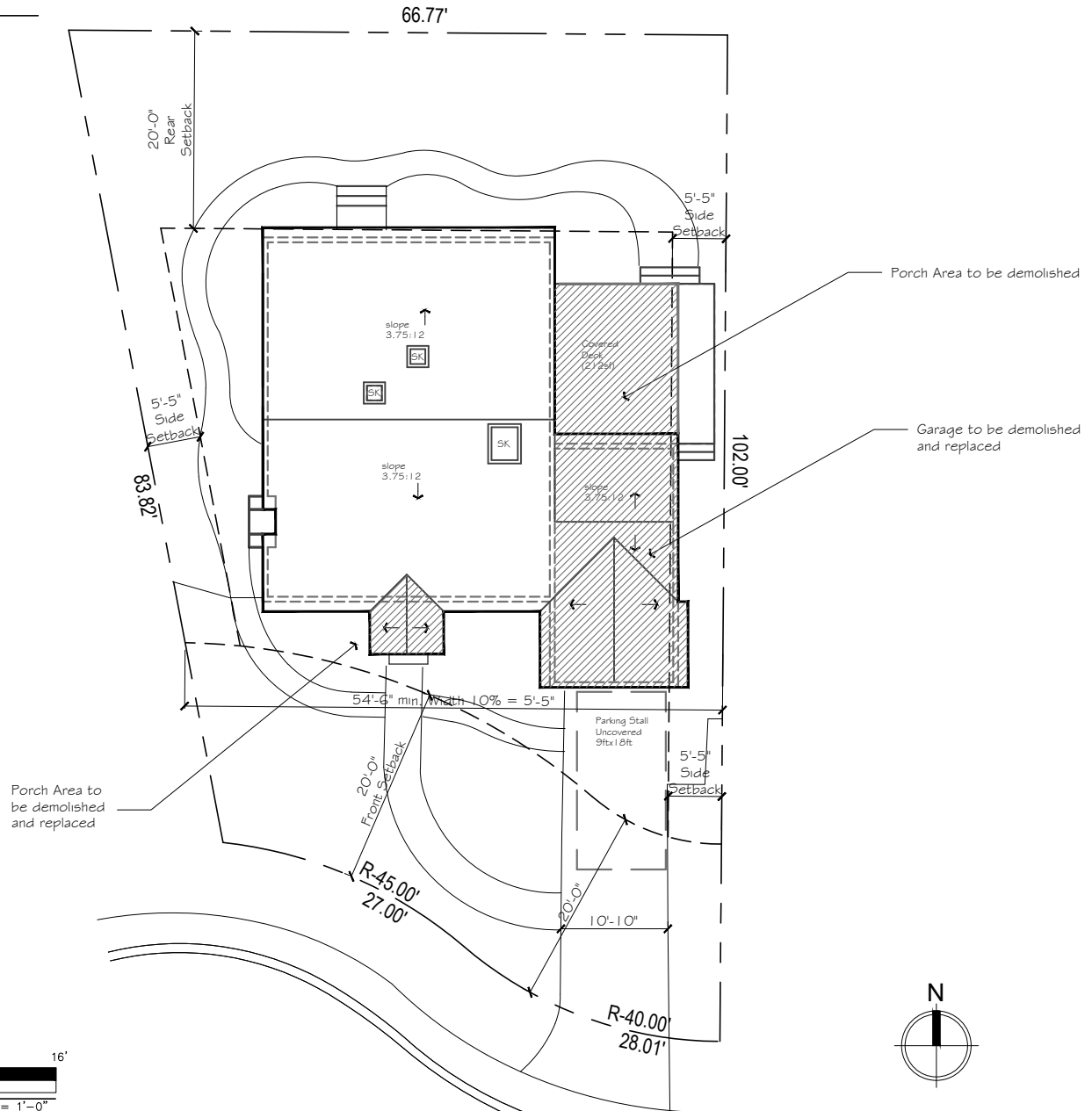
APN:	062342140
Zoned:	R-1-U
Type of Construction:	V-B
Existing # of Stories for all structures:	1
Occupancies (house and garage)	R-3/U
Total Site Area:	5,350 sf
(E) Floor Area	1,092 sf
(E) Attached Garage & Laundry Area	320 sf
(E) Floor Area Total	1,412sf
FAL	2,800 sf
Max. 2nd story 50% FAL	1,400 sf
Max. Building Coverage Allowed 40%	2,140sf
Two Story Max. Coverage Allowed 35%	1,875sf
(E) Covered Entry Porch =40 sf	
(E) Covered Deck =212 sf	
(E) Total Coverage	1,664sf

Max allowable building height = 28'-0"  
 One & Two Story Daylight Plane - M.P. zoning 16.67.020

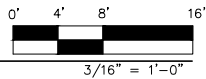
Front Setback = 20'-0"  
 Rear Setback = 20'-0"  
 Side Setback = 5'-5" (Calculated 10% of Minimum Width)  
 M.P.Zoning 16.04.430

Per GIS map- Not in Flood Zone Area

Required Two Parking Stalls (9x18') not in Tandem:  
 Min. one covered parking & one uncovered parking stall complying with the front or side setbacks.



Areas of Demolition



Existing Site Plan

A25

**INDEX**

Date	Submittal

Carole Michaelian  
 Architectural Designer  
 cmisa@cmisa.com • 650-740-6650



Project For:  
 Burbridge Residence  
 351 Barton Place  
 Menlo Park  
 CA94025

Design  
 Development  
 Drawings

Project Data  
 Existing Site Plan/ Roof Plan

Project No. 2401  
 Date 07/14/2024  
 Sheet No.

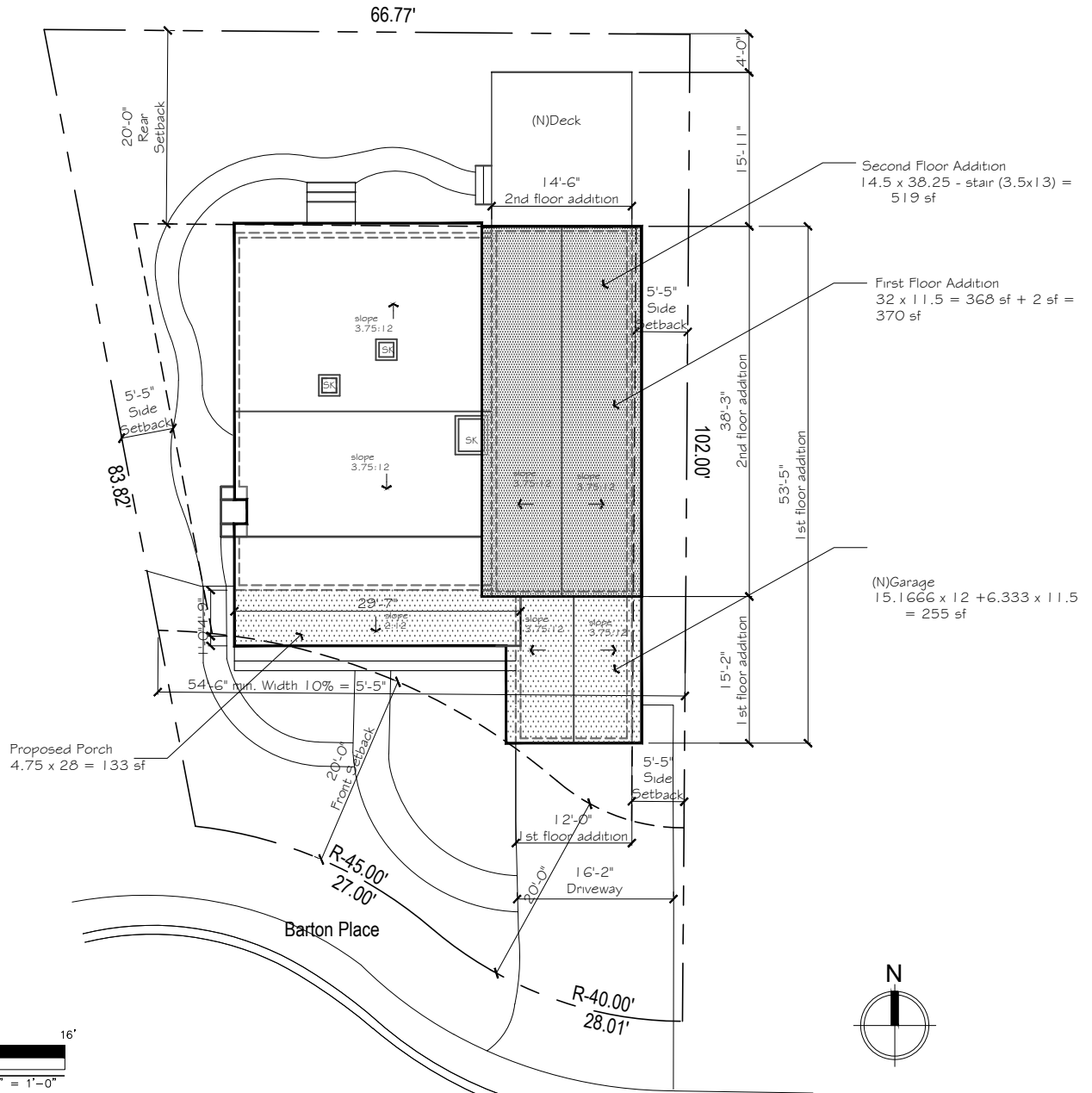
## Project Data

APN:	0G2342140
Zoned:	R-1-U
Type of Construction:	V-B
Existing # of Stories for all structures:	1
Occupancies (house and garage):	R-3/U
Total Site Area:	5,350 sf
(E) Floor Area	1,092 sf
(E) Attached Garage & Laundry Area	320 sf
(E) Floor Area Total	1,412 sf
(E) Floor Area	1,092 sf
Proposed First Floor Addition	370 sf
Proposed Garage	255 sf
Proposed Second Floor Addition	519 sf
(N) Floor Area Total	2,236 sf
FAL	2,800 sf
Max. 2nd story 50% FAL	1,400 sf
Max. Building Coverage Allowed 40%	2,140sf
Two Story Max. Coverage Allowed 35%	1,875sf
(E) Covered Entry Porch	40sf
(E) Covered Deck	212sf
(E) Total Coverage	1,664sf
Proposed Entry Porch	133sf
Proposed Total Coverage	1,850 sf
Max allowable building height = 28'-0"	
One & Two Story Daylight Plane - M.P. zoning 1G.67.020	

Front Setback = 20'-0"  
 Rear Setback = 20'-0"  
 Side Setback = 5'-5" (Calculated 10% of Minimum Width)  
 M.P.Zoning 1G.04.430

Per GIS map- Not in Flood Zone Area

Required Two Parking Stalls (9x18) not in Tandem:  
 Min. one covered parking & one uncovered parking stall complying with the front or side setbacks.



## INDEX

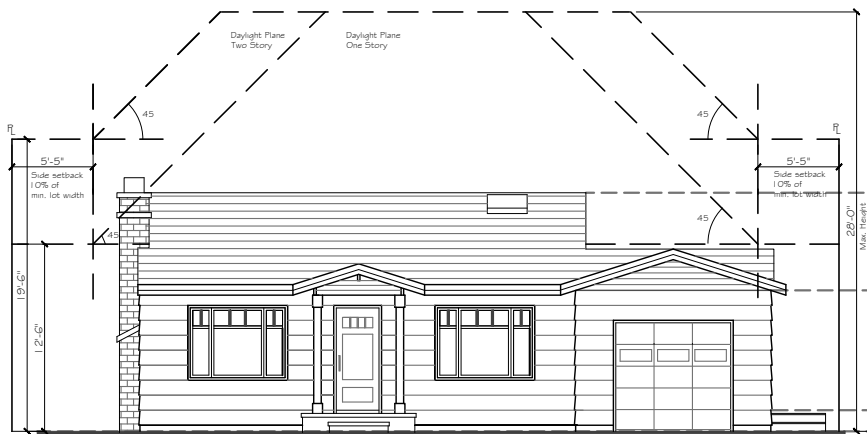
Date	Submittal

Carole Micaelian  
 Architectural Designer  
 cmic@micaelian.com - 650-740-6650

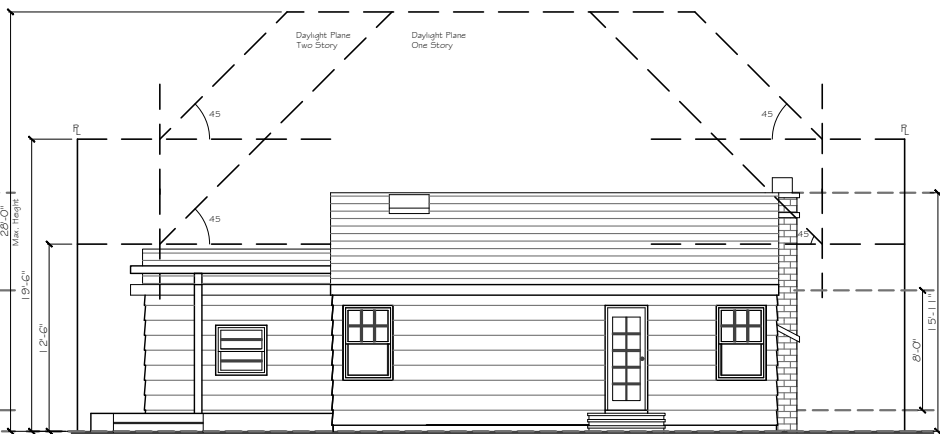
Project For:  
 Burbridge Residence  
 351 Barton Place  
 Menlo Park  
 CA94025

Design  
 Development  
 Drawings

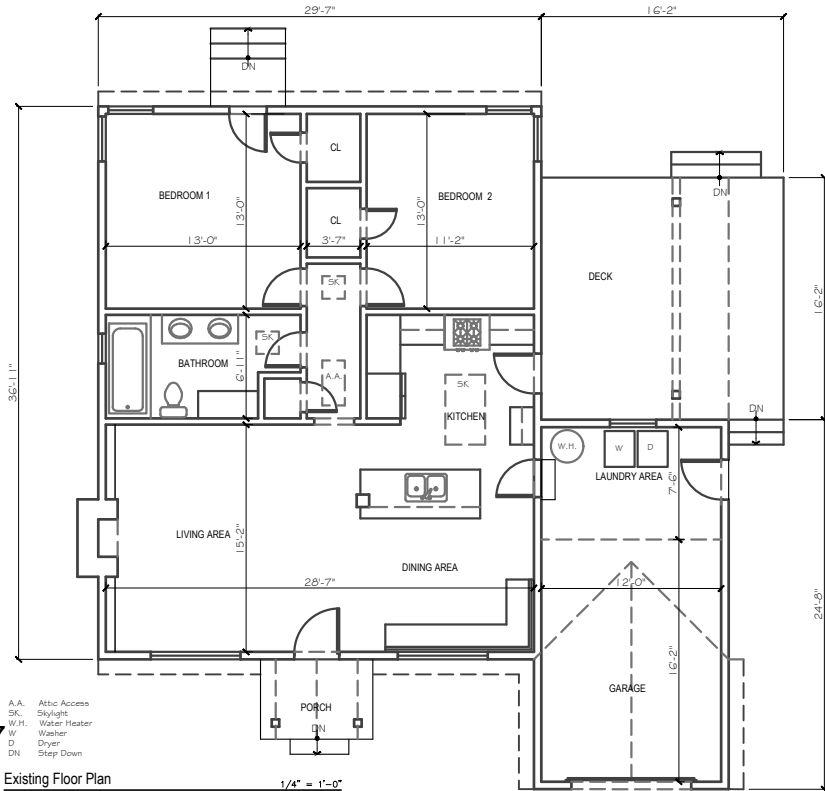
Project Data  
 Proposed Site Plan / Roof Plan



Existing South Elevation 1/4" = 1'-0"



Existing North Elevation 1/4" = 1'-0"

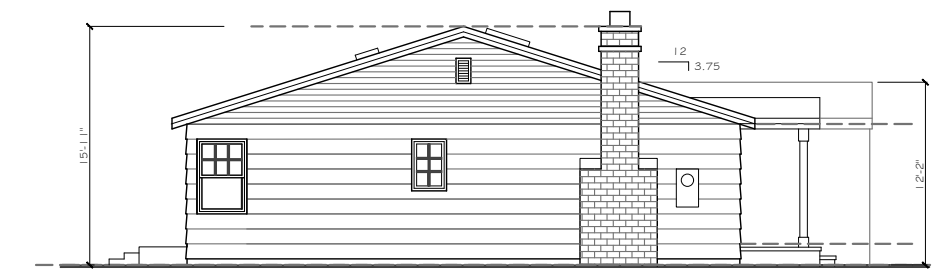


A27

Existing Floor Plan 1/4" = 1'-0"



Existing East Elevation 1/4" = 1'-0"



Existing West Elevation 1/4" = 1'-0"



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Date	Submittal

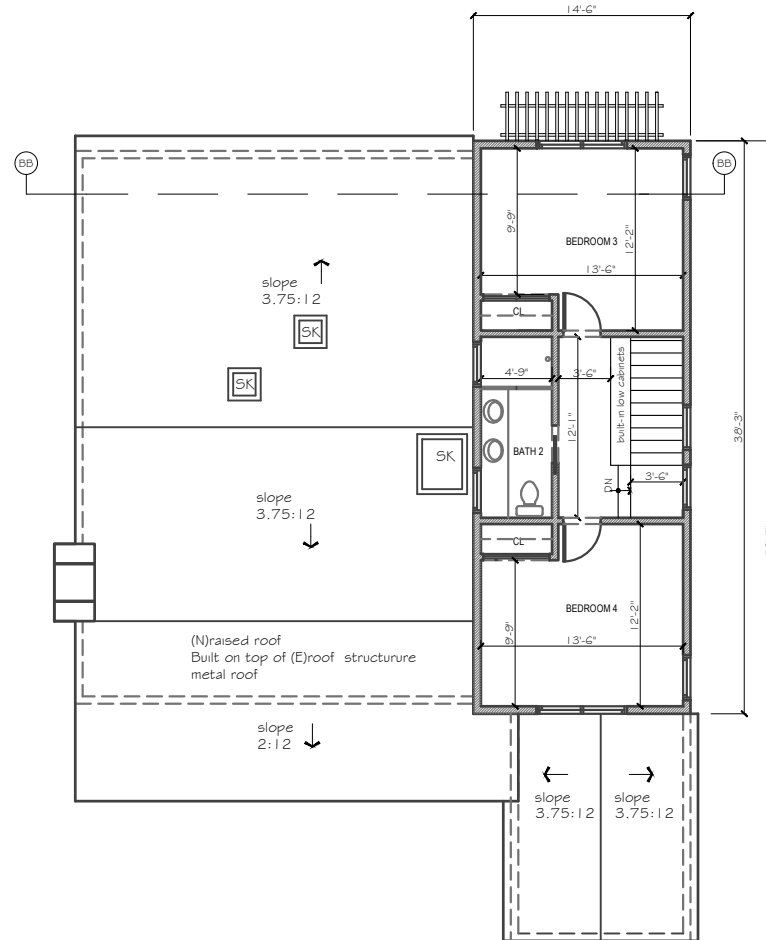
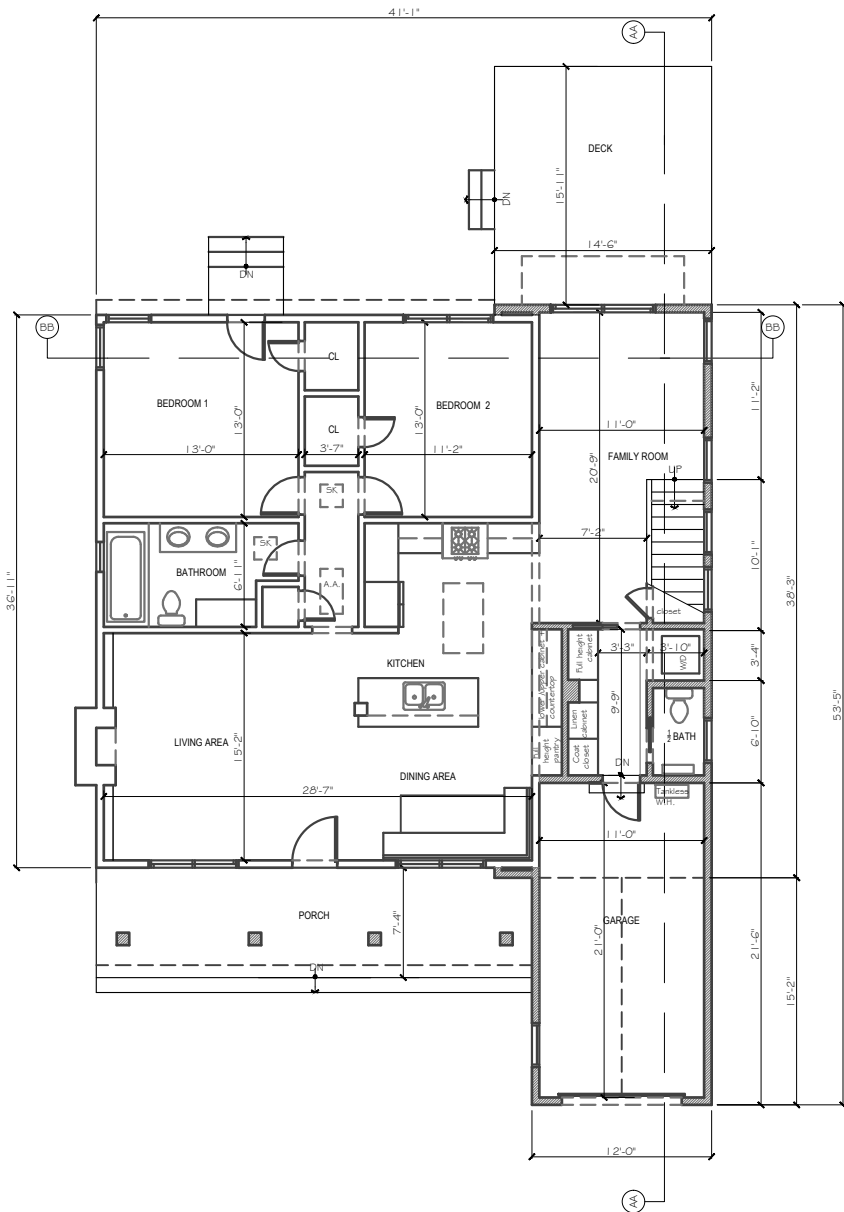
Carole Micaelian  
Architectural Designer  
cmicae@me.com • 650-740-8650

Project For:  
Burbridge Residence  
351 Barton Place  
Menlo Park  
CA94025

Design  
Development  
Drawings

Existing Floor Plan  
Existing Elevations  
Project No. 2401  
Date 09/14/2024  
Sheet No.





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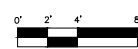
Date	Submittal

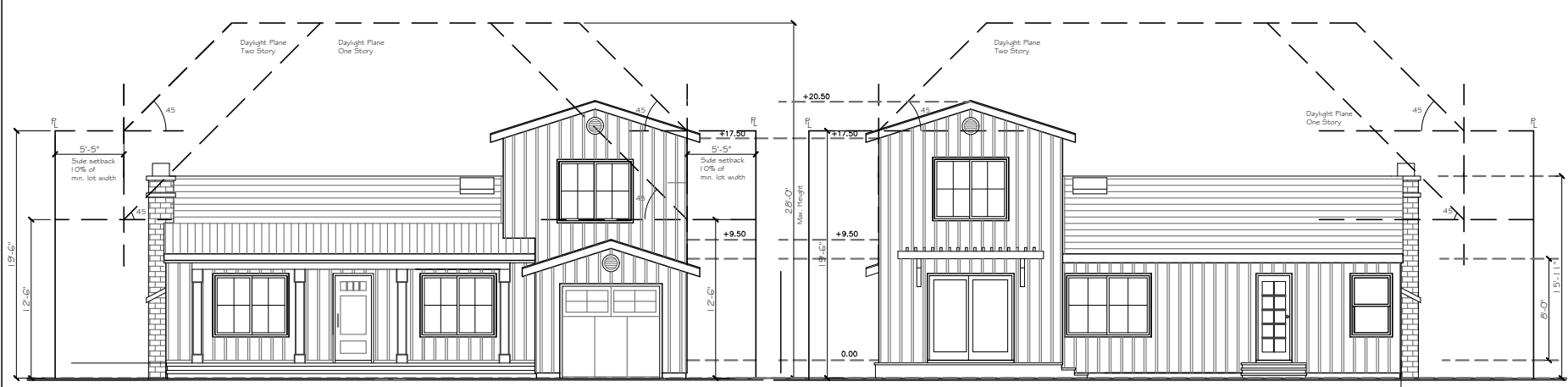
Carole Michaelian  
Architectural Designer  
cmichael@mac.com • 888-740-8888

Project For:  
Burbridge Residence  
351 Barton Place  
Menlo Park  
CA94025

Design  
Development  
Drawings

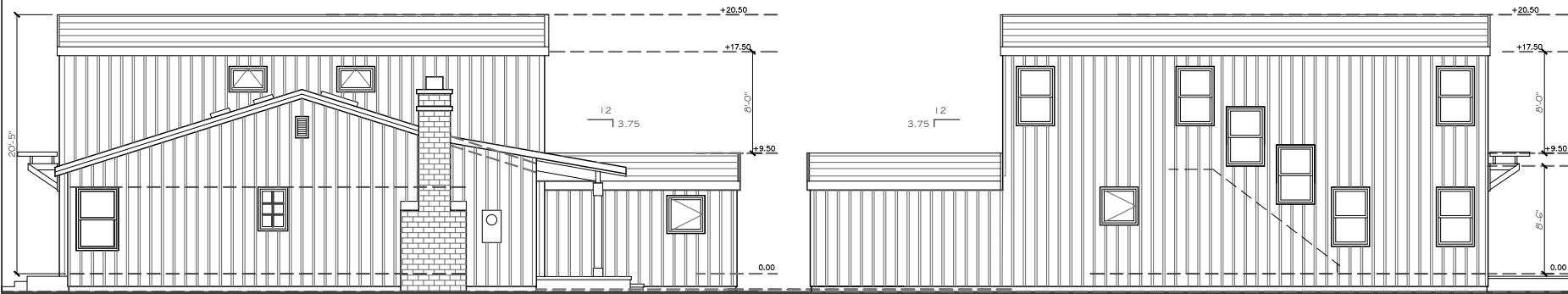
Proposed First & Second Floor - Floor Plan  
Proposed Elevations





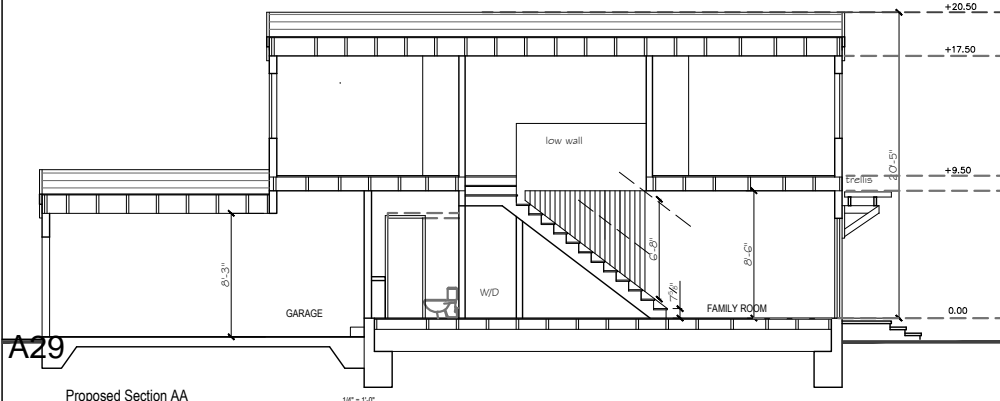
Proposed South Elevation 1/4" = 1'-0"

Proposed North Elevation 1/4" = 1'-0"



Proposed West Elevation 1/4" = 1'-0"

Proposed East Elevation 1/4" = 1'-0"



Proposed Section AA 1/4" = 1'-0"



Proposed Section BB 1/4" = 1'-0"

**INDEX**

Date	Submittal

Carole Michaelian  
Architectural Designer  
cmads@gmail.com - 888-740-0680

Project For:  
Burbridge Residence  
351 Barton Place  
Menlo Park  
CA94025

Design  
Development  
Drawings

Proposed First & Second Floor - Floor Plan  
Proposed Elevations

Project No. 2401  
Date 07/14/2024  
Sheet No.

351 Barton Place - Menlo Park CA 94025 - Neighborhood Outreach - July 2024 - Feedback

Name	Address	Date: packet drop off	Date: Notes Feedback	July 28th 1-2pm onsite meeting - Feedback
Jay and Janet Cross	347 Barton Place	July 16, 2024	Jay Cross	Looks good!
Rob and Wendy Trice	355 Barton Place	July 18, 2024 July 21 via PDF text	email exchange 8/1 x 8/c copy included in summary	ATTENDED MEETING
Brian Willis and Andrea Gombasi	343 Barton Place	July 16, 2024	✓	x Ship it!
Jeff and Jan Coffey	335 Barton Place	July 18, 2024	Jan Coffey	Looks good!
Meredith Pressfield and Daryl Bulloch	339 Barton Place	July 16, 2024	✓	looks good!
Sueann Stone	331 Barton Place	July 18, 2024	[Signature]	x Breed additions
Paul Heymann and Caitlin Hogan	329 Barton Place	July 18 (hard copy) July 28 texted PDF	POSITIVE FEED BACK BY EMAIL	MEETING NOT ATTENDED
Silvia S. Colombetti	499 Gilbert Avenue	July 18, 2024	McGloth	x Looks good!
Matt Moran	501 Gilbert Avenue	July 17, 2024	NO RESPONSE	MEETING NOT ATTENDED

(email PDF)  
Hard copy on July 18, 2024 to house

**From:** Carole Micaelian cmicaeli@gmail.com  
**Subject:** Re: Feedback on house plans  
**Date:** August 6, 2024 at 1:05 PM  
**To:** Rob Trice robtrice3@gmail.com  
**Cc:** kristaburbridge@gmail.com, markburbridge@gmail.com, wendy millet wendymt@gmail.com



Hi Rob and Wendy,

Thank you for attending the open house meeting last Sunday and for sharing your feedback on the project.

We are committed to considering neighborhood input carefully. I have addressed a few points from your email below, with my comments highlighted in blue for clarity.

I hope the proposed actions will address your concerns. If you have any further questions, please feel free to reach out.

Best regards,

Carole  
650 7406050

Carole, Krista & Mark:

Thank you for organizing the get together on Sunday and the opportunity to discuss your plans to expand the house. Wendy and I recognize those are tight quarters for you and can certainly see why you would want to expand the house so we want to help you make this happen. Obviously, the plans that you have drawn up impact us more than other neighbors and so we hope that you will take our concerns into consideration.

Carole, we appreciate you for explaining the plans and how they overlay against our house and thank you so that the upper story windows won't look directly into the bathrooms. I will also say that seeing that the second story will start from the original house foundation (as opposed from the front of the extended garage) gives us relief that the amount of afternoon/evening sunlight loss will be minimal to us.

As we mentioned our primary remaining concerns are about the loss of privacy and light pollution. And to be clear our concerns have nothing to do with you as neighbors as we have no issues with you or any habits you have. (As opposed to the kid who used to live behind you or Jay and Janet who played the drums ;-)). It is more about minimizing the amount of privacy loss and light pollution compared with what we have enjoyed for the last twenty years plus in the house. While we don't spend as much time in the house as we used to, the back patio has been a very special element of the house that we both have enjoyed— along with friends and guests— quite a bit over the years. You mentioned your "back patio," but it is actually situated in your side yard. Typically, side yards with side setbacks are considered less private compared to backyards with rear setbacks, which generally have a minimum of 20 feet on each side. Fortunately, the mature trees and shrubs you have provide effective screening and privacy, helping to accommodate the layout of your house.

From a privacy perspective, the second story windows and the middle two of the four staircase windows you have in your current design may look down on our first floor hallway, bedroom/office and the back bathroom.

The proposed windows are situated 34 to 40 feet away from your first-floor windows. This distance significantly reduces the visual impact, making it quite difficult to see through the glass.

As we explained, even the addition of the raised back patio has caused us to have to be more careful about conversations we have in our backyard the last few years. We usually check to see if someone is on the porch or if the door is open so we can assess whether we can speak freely or not. If you have open windows five and a half feet from our fence, we won't have any way to check whether someone is able to listen or not.

I understand that the current "raised patio" is an open space adjacent to the shared fence, which likely reduces your privacy in the side yard. In the proposed plan, we will enclose that space, which in my view, should improve your privacy.

With the addition of the side setback, and the walls, you and your neighbor will no longer hear conversations from both directions even through open windows.

Additionally, the overhang above your patio helps prevent sound from traveling vertically to the second floor across your property.

From a light pollution perspective, I believe you are adding seven new windows that will cast light from five and a half feet away into our backyard, onto our exposed first story and the second story master bathroom. The long first story hallway window is from the house when it was built 73 years ago and we have kept it intact as you can look the window out from the bedroom and office/bedroom onto the backyard to get nice light and greenery. The roof over our patio should block out the ability to see our hallway (and into the office/bedroom) from your second story but the second and/or third stairway windows probably will look directly in.

All this is to say we would hope you would consider just two things:

1. Minimizing the four staircase windows— particularly the second and third windows We recognize you want air circulation but could you achieve that with just a top and bottom window for instance?

Krista and Mark feel strongly about the design and window locations, as I mentioned at the meeting, this design is already a shranked version of what they invisioned originally along their staircase. They also plan to install blinds on their windows to mitigate the issue of "light pollution."

2. Planting privacy plants to supplement the trees we have on our side of the fence, perhaps something like vertical like [Italian cypress trees](#) that won't take much of your walkway space?

Krista and Mark are willing to plant screening shrubs to help with your privacy. The arborist working on this project will recommend suitable evergreen shrubs that can thrive in this area of the yard and provide effective screening along the staircase windows.

Also, as a reminder, please let us know what you would like to do about the leaning fence. If your contractor would like to take it down to have a bit more room to work, we're fine with that. If not, let's work together to get it fixed before the storms come.

Thanks again for your consideration. If you would like to discuss further please feel free to give me a call or we can arrange a time to meet. I am, however, headed out of town on Saturday for about ten days.

On Thu, Aug 1, 2024 at 11:44 AM Rob Trice <[robtrice3@gmail.com](mailto:robtrice3@gmail.com)> wrote:  
Carole, Krista & Mark:

Thank you for organizing the get together on Sunday and the opportunity to discuss your plans to expand the house. Wendy and I recognize those are tight quarters for you and can certainly see why you would want to expand the house so we want to help you make

this happen. Obviously, the plans that you have drawn up impact us more than other neighbors and so we hope that you will take our concerns into consideration.

Carole, we appreciate you for explaining the plans and how they overlay against our house and thank you so that the upper story windows won't look directly into the bathrooms. I will also say that seeing that the second story will start from the original house foundation (as opposed from the front of the extended garage) gives us relief that the amount of afternoon/evening sunlight loss will be minimal to us.

As we mentioned our primary remaining concerns are about the loss of privacy and light pollution. And to be clear our concerns have nothing to do with you as neighbors as we have no issues with you or any habits you have. (As opposed to the kid who used to live behind you or Jay and Janet who played the drums ;-)). It is more about minimizing the amount of privacy loss and light pollution compared with what we have enjoyed for the last twenty years plus in the house. While we don't spend as much time in the house as we used to, the back patio has been a very special element of the house that we both have enjoyed— along with friends and guests— quite a bit over the years.

From a privacy perspective, the second story windows and the middle two of the four staircase windows you have in your current design may look down on our first floor hallway, bedroom/office and the back bathroom. As we explained, even the addition of the raised back patio has caused us to have to be more careful about conversations we have in our backyard the last few years. We usually check to see if someone is on the porch or if the door is open so we can assess whether we can speak freely or not. If you have open windows five and a half feet from our fence, we won't have any way to check whether someone is able to listen or not.

From a light pollution perspective, I believe you are adding seven new windows that will cast light from five and a half feet away into our backyard, onto our exposed first story and the second story master bathroom. The long first story hallway window is from the house when it was built 73 years ago and we have kept it intact as you can look the window out from the bedroom and office/bedroom onto the backyard to get nice light and greenery. The roof over our patio should block out the ability to see our hallway (and into the office/bedroom) from your second story but the second and/or third stairway windows probably will look directly in.

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2. Planting privacy plants to supplement the trees we have on our side of the fence, perhaps something like vertical like [Italian cypress trees](#) that won't take much of your walkway space?

Also, as a reminder, please let us know what you would like to do about the leaning fence. If your contractor would like to take it down to have a bit more room to work, we're fine with that. If not, let's work together to get it fixed before the storms come.

Thanks again for your consideration. If you would like to discuss further please feel free to give me a call or we can arrange a time to meet. I am, however, headed out of town on Saturday for about ten days.

Regards,

Rob (and Wendy!)

Rob Trice  
m: +1 (650) 580 3869  
[robtrice3@gmail.com](mailto:robtrice3@gmail.com)

August 8, 2024

Mark Burbridge  
351 Barton Place  
Menlo Park, CA  
(650) 353-8484 | [markburbridge@gmail.com](mailto:markburbridge@gmail.com)

Dear Mark,

This arborist report addresses your proposed addition project at 351 Barton Place, Menlo Park. I referenced the following for this project:

- Topographic survey by Lea & Craze Engineering, Inc. (dated December 3, 2023)
- Site plan set by Carole Micaelian (dated July 28, 2024)
- Documents or codes from the City of Menlo Park
  - Heritage Trees Ordinance (Chapter 13.24)
  - Street Trees Ordinance (Chapter 13.20)
  - Heritage Tree Ordinance Administrative Guidelines (companion document to the Ordinance)
  - Heritage Tree Removal Permit Application
  - 2022 Arborist Report Requirements Large Projects (email clarification on January 30, 2024)
- Site visit on July 8, 2024

### Site & Project Summary

Your property is on the east side of Menlo Park in a small residential cul-de-sac. The lot totals 5,350 sq. ft., with a one-story single-family home. The house covers 1,092 sq. ft. while its one-car garage covers an additional 320 sq. ft. The garage was built such that it extends into the current side setback, and the area east of the garage has been paved with concrete. Behind the garage, a covered deck extends almost to the back of the house. Decomposed granite pathways circle the back yard, connecting to flagstone paths in the front yard.

The proposed project will demolish the garage, deck, and front porch. The new garage will be constructed in a similar footprint while respecting the side setback. The porch will extend further into the front yard. In place of the deck, a two-story addition will be constructed to expand the living areas. The materials of the existing deck will be reused to construct a smaller deck extending off the back of the addition. Lastly, the existing driveway will be widened so that cars can park side by side.

I reviewed ten trees for this report, consisting of:

- Two **Heritage** off-site London planetrees to the east,
- One recently planted Chinese elm **street tree** at the front, and
- Seven non-Heritage trees (including two African fern pines, three pittosporums, and an off-site camellia and birch)

The three pittosporums are in the landscape area east of the driveway, which will be paved as part of the driveway extension (Figure 1). They are the only trees that will be removed for the project. The two Heritage London planetrees (*Platanus x hispanica*) are the largest trees near the proposed work area. Besides the camellia, they are also the closest trees to the proposed addition. Although the species has a high tolerance to root pruning, the health of these two trees has been affected by fungal leaf diseases. Construction must proceed with caution, using a mix

of trunk & root protection measures, supplemental irrigation, and excavation by hand. Construction impact to the other trees is limited in comparison.

Assuming that the tree protection recommendations are followed, the project will have a low to moderate impact on the heritage trees, and a low impact on the remaining trees that will be preserved.

### Limitations

This report is based on the plans that were provided and assumes that the tree locations are accurately surveyed. Trees #186 & 190 were not surveyed at the time of my site visit; I approximately located them on my tree protection plan. Their precise locations do not affect the recommendations in this report. I did not review other plans such as grading, utility, or drainage plans. If the City requires additional details that further impact trees, this report may need to be revised.

The tree assessment provided by this report represents a snapshot in time of the trees' conditions. It is not possible for arborists to predict long-term tree condition. Changes in weather/climate or environmental alterations can present unexpected impacts on the health and stability of trees (e.g. storm events, severe drought or heat, landscaping, repairs, irrigation reduction, other changes especially on adjacent properties). Because of these reasons, it is also not possible for arborists to guarantee that trees will not fail. To live with trees means to accept a certain level of risk, which can only be fully eliminated by removing the trees.



Figure 1. The hedge at the lower right is made up of three non-heritage trees (#181-183) and will be removed to expand the driveway. The neighbor's London planetrees (#184, 185) at the center are the only Heritage trees nearby.

## Tree Inventory Table

The tree inventory table includes individual tree data as required by the City of Menlo Park. The data is explained as follows:

<b>ID #</b>	# assigned to each tree, correlating with a metal tag affixed to their trunks. Off-site trees were not physically tagged if their trunks were not accessible from the property.
<b>Species</b>	Common & botanical name
<b>DBH</b>	Diameter at Breast Height (4.5' above ground) in inches; measured with a diameter tape visually estimated where trunk was inaccessible
<b>Status</b>	Denotes whether the tree is a Street/City tree, Heritage Tree, or off-site tree
<b>Height</b>	Height, visually estimated or measured with a TruPulse 200L Rangefinder
<b>Health</b>	Health and vigor of the tree. Ratings are broken down into: <ul style="list-style-type: none"><li>• Good: The tree is growing well with vigor appropriate for its age – canopy is full with good color. Pest or disease issues may be present but have low impact on the tree.</li><li>• Fair: The tree is showing signs of stress, exhibited as sparseness of canopy, change in foliage color, and minor-moderate signs of pest or disease issues. It can recover as long as conditions naturally improve.</li><li>• Poor: The tree is stressed with tip dieback; it is unable to overcome pest &amp; disease issues. Immediate long-term intervention and care is needed to avoid decline to the point of non-recovery.</li><li>• Very Poor: The tree has significant issues and has declined so far that it is unlikely to recover.</li><li>• Dead: No life remains in the tree.</li></ul>
<b>Structure</b>	Architecture & defects of the tree. Ratings are broken down into: <ul style="list-style-type: none"><li>• Good: The tree has ideal trunk &amp; branch architecture.</li><li>• Fair: Branch defects, poor attachments and decay may be present, but they can be mitigated with 1-2 pruning cycles (over 3-5 years).</li><li>• Poor: Defects cannot be mitigated without long term management (10+ years); support systems like cabling and bolting may be needed in conjunction with pruning to reduce risk to the property.</li><li>• Very Poor: The tree has significant issues that cannot be corrected and may be a hazard to the property.</li></ul>
<b>Dripline</b>	The canopy (“dripline”) radius is visually estimated in feet in each cardinal direction (north, east, south, west).
<b>Appraised Value</b>	An estimate of the value of each Heritage tree is obtained using the Trunk Formula Technique outlined in the 10 <sup>th</sup> Edition of the <u>Guide for Plant Appraisal</u> by the Council of Tree & Landscape Appraisers (CTLA). The cost to replace a perfect specimen of like-size is calculated, then depreciated by the subject tree’s current health, structure, form, factors that are inherent to the species and property, and external factors that are out of the property manager’s control. For young trees, like #190, the cost of a replacement tree is used. Removal of non-Heritage, privately owned trees do not require a permit or mitigation plantings, so appraised values are not calculated. They are noted with “N/A”.
<b>Notes (&amp; Impact)</b>	Proximity to the project’s improvements, and the anticipated impact based on tree condition, species tolerance to disturbance, future longevity, etc.
<b>Actions</b>	Includes recommended actions based on impacts, including tree protection measures. <b>Includes reason for removal, if applicable.</b>



ID #	Species	DBH (in)	Status	Height (ft)	Health	Structure	Dripline (NESW, ft)	Appraised Value	Notes & Impact	Actions
181	Mock orange ( <i>Pittosporum tobira</i> )	6		9	Good	Poor	7, 5, 6, 3 (entire hedge)	N/A	Slightly thin at meeting point with laurel; technically one plant (split into 3 per City requirement). Dry soil. Neighbor's driveway is about 1' W, client's driveway is ~2' E. <b>In proposed driveway expansion.</b>	Remove for driveway expansion.
182	Mock orange ( <i>Pittosporum tobira</i> )	6.5		9	Good	Poor		N/A		Remove for driveway expansion.
183	Mock orange ( <i>Pittosporum tobira</i> )	10		9	Good	Poor		N/A		Remove for driveway expansion.
184	London planetree ( <i>Platanus x hispanica</i> )	~22	Heritage, off-site	70	Good	Fair/Fair-Poor	15, 20, 30, 20	\$6,700.00	No tag, neighbor's tree. Anthracnose / powdery mildew (browning/whitening of leaves especially at tips). Pruned back from over house. Crowded by #185. Brick walkway and old lawn on neighbor's side. Concrete walkway along side of house has crack; failing fence. Previously topped around 14' above grade on average, with 2-5 remaining large shoots per knuckle. Shoots are very long and vertical with minor branching until the top. <b>11' from proposed addition.</b>	For several years after the project is completed, avoid hardscaping or other disturbing activities between the proposed addition.  Begin irrigating along the property line to increase tree resilience.  Leave existing concrete walkway by garage if possible (root protection); otherwise cover newly exposed soil with plywood or wood chips. Protect the area between the addition and property line with mulch or plywood, to remain throughout construction.
185	London planetree ( <i>Platanus x hispanica</i> )	~15	Heritage, off-site	59	Poor	Fair-Poor	23, ~23, 14, 20	\$3,350.00	No tag, neighbor's tree. Very sparse canopy, from recurring anthracnose/ powdery mildew. Previously topped around 14' with an additional set of topping cuts 2' higher - very tall resulting shoots, dead and live stems. Minor pruning back on this one. Mostly grass on neighbor's side. <b>12' from proposed addition, in ¼ of root system. Low-moderate impact.</b>	Once the deck is removed, hand dig along proposed foundation; leave roots for arborist review and recommendations. Roots shall be cut with sharp tools and kept moist till backfilled.
186	Camellia ( <i>Camellia japonica</i> )	~6	Off-site	15	Fair	Fair	10, 10, 10, 6	N/A	No tag, neighbor's tree. Slightly sparse canopy with mosaic/stippling on lower leaves. About 30-40% sparse as seen from subject property, appears sparser on neighbor's side with dieback and dead branches. Planted as screen. Dominated by tree above. <b>6' from proposed addition. Low/low-moderate impact.</b>	

ID #	Species	DBH (in)	Status	Height (ft)	Health	Structure	Dripline (NESW, ft)	Appraised Value	Notes & Impact	Actions
187	White birch ( <i>Betula pendula</i> )	~14	Off-site	66	Good-Fair	Good	15, 12, 8, 15	N/A	Tag on fence, neighbor's tree. Slightly sparse canopy despite strong growth at top. Narrow canopy (independent of competition from fern pines). <b>22' from proposed addition, 7.5' from proposed deck. Low impact.</b>	Protect with temporary fencing or mulch/straw wattle.
188	African fern pine ( <i>Afrocarpus falcatus</i> )	12.5		45	Good	Fair	10, 10, 10, 6	N/A	Crowded by birch and fern pine. Decomposed granite 2' S of trunk. Codominant, narrow stems with bark inclusion at 9' above grade, with another narrow split at 14' above grade. <b>19' from proposed addition, 10' from proposed deck. Low impact.</b>	Protect with temporary fencing or mulch/straw wattle.
189	African fern pine ( <i>Afrocarpus falcatus</i> )	12		32	Good	Good-Fair	12, 8, 15, 18	N/A	Crowded by birch and fern pine. Decomposed granite 4' S of trunk. Large low & poorly tapered scaffold on S side with bad attachment (has been pruned back from house). <b>22' from proposed addition, 14' from proposed deck. Low impact.</b>	Protect with temporary fencing or mulch/straw wattle.
190	Chinese elm ( <i>Ulmus parvifolia</i> )	2.5	Street / city	12	Good	Good	6, 6, 6, 6	\$205	City tree (per client). Recently planted, still has stakes. Appraised value based on cost of 24" box tree from Devil Mountain Nursery. <b>4' from existing driveway, new driveway 0.5' closer to tree (outside root ball). Low impact.</b>	Protect with temporary fencing or mulch/straw wattle.

## Tree Impact Discussion

The mature trees on and around the site are found at the front, right, and rear of the property, including four off-site trees and one City-owned tree. The trees in the front yard include three non-Heritage pittosporums (#181-183, *Pittosporum tobira*) next to the driveway and a recently planted Chinese elm (#190, *Ulmus parvifolia*) in the city easement. The pittosporums have been hedged with other plants – despite minor interior dieback, they have dense growth and work well as a hedge. Since the driveway expands directly into their planting area, they will need to be removed (Figure 1).

The trees in the backyard are relatively healthy. Two African fern pines (#188, 189, *Afrocarpus falcatus*) are clustered close together on your property, right next the neighbor's birch (#187, *Betula pendula*, Figure 3). The birch has an unusually narrow canopy for its size, which may be caused by insufficient water. Although the canopy is slightly sparse, the birch does not have signs of dieback yet. These three trees are far enough from the proposed addition that construction will have more of an indirect impact (e.g. foot traffic, soil contamination).

Lastly and most importantly, there are three off-site trees growing on the neighbor's property to the east alongside the proposed addition. A small 6" diameter camellia (#186, *Camellia japonica*, Figure 2) is located next to the fence; it was likely planted as a shrub and became more of a tree with age. Further away are two mature London planetrees (#184 & 185, *Platanus x hispanica*). Both are considered "Heritage" trees per City ordinance. The larger tree (#184) is about 22" diameter and is the healthier of the two. The smaller ~15" tree (#185) appears to be in poor health with a sparse canopy, though part of the defoliation may be related to powdery mildew and anthracnose leaf diseases that affect both trees (Figure 2).

The proposed addition is 11'-12' from the two London planetrees. At this distance, there is a lower likelihood of encountering the largest roots that anchor the trees and provide them with stability. Smaller roots may still need to be pruned, which can impact the health of the trees. Normally, the London planetree is a species that has high tolerance to construction impacts. However, trees in poor health, like the smaller planetree, are less resilient since they are already stressed. Fortunately, the addition will affect less than 20% of its entire root system. The impacts of construction may be partially mitigated with supplemental watering, starting as soon as possible. The irrigation should continue throughout construction and extend for an additional season after the project is done.



Figure 2. London planetree #185 is the smaller, less healthy Heritage tree on the neighbor's property. The camellia (#186) is visible as a dark shrub directly below it.

Because the site has already been disturbed by various past improvements, it is not possible to predict what roots will be encountered during foundation excavation. To ensure that roots are not damaged excessively, the excavation should be done either by hand or with tools that use air or water to remove soil around roots. Once the roots are exposed, they can be reviewed by an arborist so that more precise recommendations can be provided. To improve root regrowth from the cut roots, sharp tools should be used during root pruning and the roots must be kept moist until the soil can be backfilled in the trench.

For all the trees that will remain, construction can also have an indirect impact on their health via soil compaction & contamination. Even repeated foot traffic over the soil reduces the amount of space that is available for root growth, oxygen, and water. Over time, tree health can decline as the roots struggle to access the resources they need. It can take many years for the negative impacts to show, at which time it is usually too late (and very expensive) to reverse the impacts. The simplest way of protecting the soil and roots is to install a temporary chain-link fence to create a no-impact zone around the trees. However, since the property is relatively small, the contractors may need to use the entire front and back yards to stage materials and tools. The fencing would block their work zones if installed appropriately. As another option, a combination of wood chips, straw wattle, and plywood can be used as a substitute to create a buffer for the roots and the trunks. A thick layer of wood chips and/or plywood acts as a buffer over the soil and spreads pressure over a larger surface area. Rolls of straw wattle can be used to wrap tree trunks so the bark is not accidentally damaged. Other alternatives can be considered but should be discussed with an arborist.



Figure 3. The trees in or overhanging the backyard (#187-189 from right to left) won't be directly affected by construction, but their roots and trunks still need to be protected from indirect impacts. A combination of temporary fencing, wood chips, plywood and/or straw wattle may be used.

## Privacy screening

Though not explicitly required by the City, you are planning to plant several shrubs or trees as screening along the property line by the stair windows. Because of the limited side yard space, appropriate species are also limited. Here is a selection of trees that fit the criteria of being evergreen, relatively narrow, and at least 12' tall at maturity.

- Camellia, *Camellia japonica* – shrub, matches the neighbor's screening plants; can be trained narrow
- Italian cypress, *Cupressus sempervirens* – skinny tall tree, keep tree at desired height with trimming every couple of years or allow it to grow to its full height
- Foster holly, *Ilex x attenuata 'Fosteri'* – beware prickly leaves, this cultivar has a more upright form but may need to be pruned back for clearance.
- Saratoga laurel, *Laurus 'Saratoga'*

## Tree Protection Recommendations

PLEASE NOTE: Once the project is approved with the tree protection recommendations outlined in this report, any changes to the protection measures must be approved by the City Arborist.

### Pre-Demolition Phase

- Irrigation: As soon as possible, start irrigating along the east property line fence. Irrigation increases the resilience of the off-site trees (#184-186) and will mitigate water stress that may result from root pruning. A temporary option with soaker hoses may be used - the hoses should be left at a slow drip rate for 8 hours once a month.
- Inform all contractors and subcontractors of the significance of protecting the Heritage and City trees, as the financial consequences for tree damage may be significant (City fines are assessed based on the appraised values of the trees, not including claims from off-site tree owners). A pre-construction meeting may be needed to review the tree protection measures and work plan before demolition begins.
- Inform the Project Arborist of the start date of the project. The City requires regular inspections (e.g. 4 week intervals) to ensure that the project is adhering to the tree protection recommendations, and that fencing remains in place throughout construction.
- Ensure that temporary protection measures are installed before equipment arrives or demolition begins. The side yard, rear yard, and landscape area next to the driveway should be protected where they are highlighted in the tree protection plan. If possible, keep the concrete walkway next to the garage, otherwise it shall be replaced with one of the options below. Fencing, mulch, straw wattle, and plywood shall be used as follows:
  - Fencing: Install temporary tree protection fencing to enclose the highlighted areas. The City of Menlo Park requires 6' tall chain link fencing mounted on 8' tall, 2" diameter galvanized posts, driven 24" into the ground and spaced no more than 10' apart. Attach signs to the fencing that state "TREE PROTECTION FENCE - DO NOT MOVE OR REMOVE WITHOUT APPROVAL FROM CITY ARBORIST."
  - Straw wattle & wood chips: Wrap the trunks of the on-site trees with straw wattle, up to 6' above grade or to the lowest branch. Secure the wattle to the trunk without directly screwing or nailing it in. Cover the soil/landscape area with a 4" thick layer of wood chips, optionally adding plywood on top. (Landscape fabric may be placed down on the soil first to make it easier to remove the wood chips later, or the wood chips can be simply left in place afterwards.)
  - Plywood: Put down sheets of plywood along the side yard between the proposed addition and the property line.

- Once the tree protection measures are completed, the Project Arborist must inspect and provide a verification letter to the City before the demolition or building permit is issued.
- The tree protection measures are to remain in location throughout the project. To modify the protection measures, contact the Project Arborist to submit a request in writing to the City. Only the City Arborist can authorize removal of the protection measures at the end of the project.

#### Construction Phase

- Note: in general, if root or branch pruning is needed, the pruning must be supervised by the Project Arborist.
- The addition foundation shall be dug by hand or with water- or air-assisted tools, leaving the roots in place for the Project Arborist to review. Once they have been reviewed, they can be cleanly cut with sharp tools (handsaw, Sawzall, or circular saw). Make the smallest possible cut – perpendicular to the length of the root rather than at a diagonal. Roots must then be covered and kept moist until the soil is backfilled. Additional recommendations may be provided based on the extent of root pruning.
- At any time, if damage occurs to any tree, immediately consult the Project Arborist for recommendations on how to mitigate the damage.
- When construction is completed but before fencing is removed, contact the City Arborist for a final inspection.

#### Post-Construction Phase

- If the project arborist deems it necessary, supplemental irrigation should be provided for one growing season after construction is completed (~9 months). For details, see the “Irrigation” recommendation under the Pre-Demolition Phase section.
- To avoid further impact to the off-site trees (#184-186), avoid activities that disturb the area between the addition and the property line fence for several years after the addition project is completed. Activities include but are not limited to trenching for irrigation, installing hardscape, and drainage installation.

This report should be accompanied by a tree protection plan. *If the plan is not attached, please reach out to me for a copy.* Should you have any questions or need clarification, please reach out at any time.

Sincerely,



Jennifer Tso  
Michelia Arboriculture, LLC  
Board Certified Master Arborist #WE-10270B  
925-515-1362 | [jennifer@micheliarborist.com](mailto:jennifer@micheliarborist.com)

**Tree Protection Recommendations**

PLEASE NOTE: Once the project is approved with the tree protection recommendations outlined in this report, any changes to the protection measures must be approved by the City Arborist.

**Pre-Demolition Phase**

- Irrigation:** As soon as possible, start irrigating along the east property line fence. Irrigation increases the resilience of the off-site trees (#184-186) and will mitigate water stress that may result from root pruning. A temporary option with soaker hoses may be used - the hoses be left at a slow drip rate for 8 hours once a month.
- Inform all contractors and subcontractors of the significance of protecting the Heritage and City trees, as the financial consequences for tree damage may be significant (City fines are assessed based on the appraised values of the trees, not including claims from off-site tree owners). A pre-construction meeting may be needed to review the tree protection measures and work plan before demolition begins.
- Inform the Project Arborist of the start date of the project. The City requires regular inspections (e.g. 4 week intervals) to ensure that the project is adhering to the tree protection recommendations, and that fencing remains in place throughout construction.
- Ensure that temporary protection measures are installed before equipment arrives or demolition begins. The side yard, rear yard, and landscape area next to the driveway should be protected where they are highlighted in the tree protection plan. If possible, keep the concrete walkway next to the garage, otherwise it shall be replaced with one of the options below. Fencing, mulch, straw wattle, and plywood shall be used as follows:
  - Fencing:** Install temporary tree protection fencing to enclose the highlighted areas. The City of Menlo Park requires 6' tall chain link fencing mounted on 8' tall, 2" diameter galvanized posts, driven 24" into the ground and spaced no more than 10' apart. Attach signs to the fencing that state "TREE PROTECTION FENCE - DO NOT MOVE OR REMOVE WITHOUT APPROVAL FROM CITY ARBORIST."
  - Straw wattle & wood chips:** Wrap the trunks of the on-site trees with straw wattle, up to 6' above grade or to the lowest branch. Secure the wattle to the trunk without directly screwing or nailing it in. Cover the soil/landscape area with a 4" thick layer of wood chips, optionally adding plywood on top. (Landscape fabric may be placed down on the soil first to make it easier to remove the wood chips later, or the wood chips can be simply left in place afterwards.)
  - Plywood:** Put down sheets of plywood along the side yard between the proposed addition and the property line.
- Once the tree protection measures are completed, the Project Arborist must inspect and provide a verification letter to the City before the demolition or building permit is issued.
- The tree protection measures are to remain in location throughout the project. To modify the protection measures, contact the Project Arborist to submit a request in writing to the City. Only the City Arborist can authorize removal of the protection measures at the end of the project.

**Construction Phase**

- Note: in general, if root or branch pruning is needed, the pruning must be supervised by the Project Arborist.
- The addition foundation shall be dug by hand or with water- or air-assisted tools, leaving the roots in place for the Project Arborist to review. Once they have been reviewed, they can be cleanly cut with sharp tools (handsaw, Sawzall, or circular saw). Make the smallest possible cut - perpendicular to the length of the root rather than at a diagonal. Roots must then be covered and kept moist until the soil is backfilled. Additional recommendations may be provided based on the extent of root pruning.
- At any time, if damage occurs to any tree, immediately consult the Project Arborist for recommendations on how to mitigate the damage.
- When construction is completed but before fencing is removed, contact the City Arborist for a final inspection.

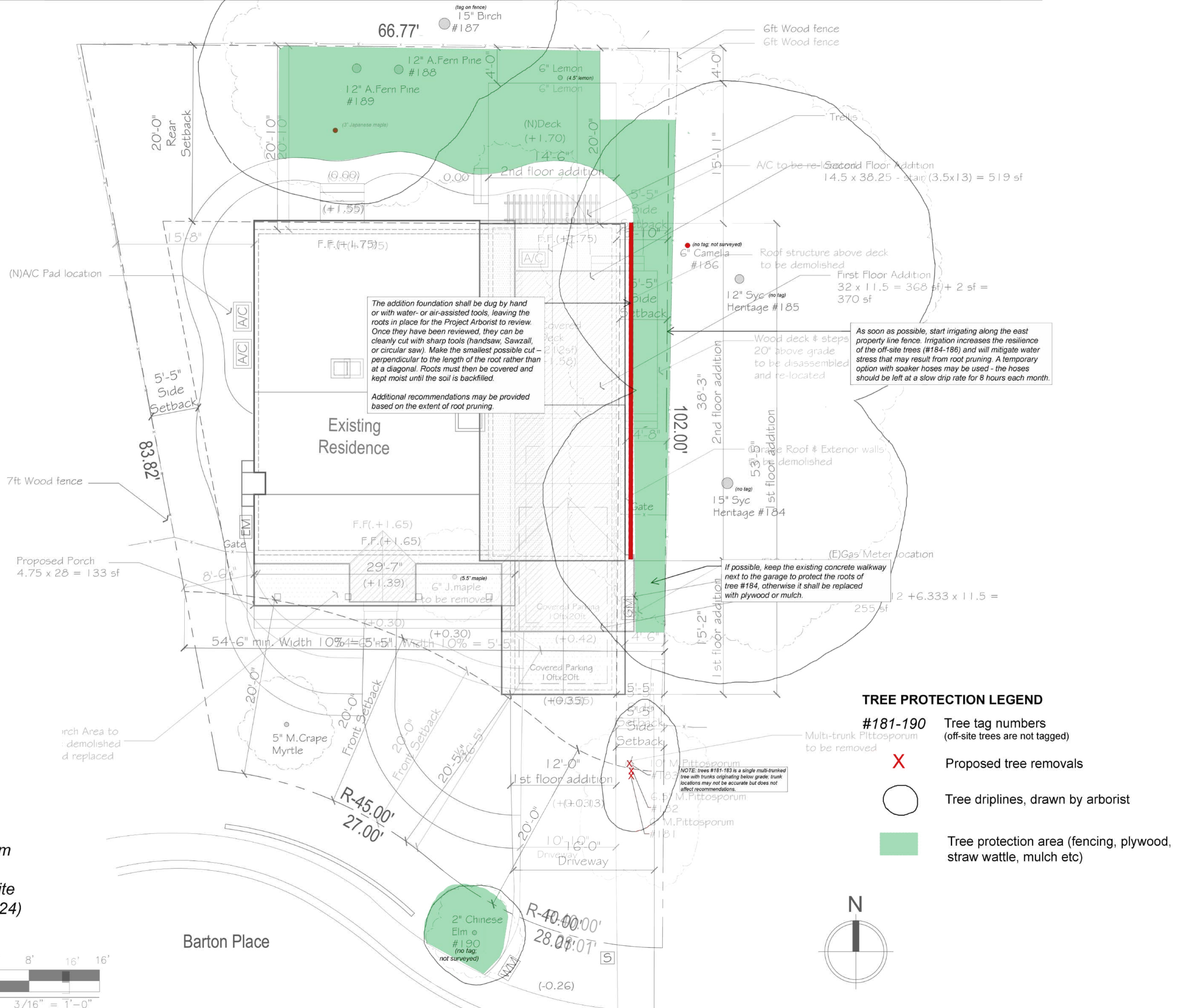
**Post-Construction Phase**

- If the project arborist deems it necessary, supplemental irrigation should be provided for one growing season after construction is completed (~9 months). For details, see the "Irrigation" recommendation under the Pre-Demolition Phase section.
- To avoid further impact to the off-site trees (#184-186), avoid activities that disturb the area between the addition and the property line fence for several years after the addition project is completed. Activities include but are not limited to trenching for irrigation, installing hardscape, and drainage installation.

**TREE PROTECTION PLAN  
for 351 Barton Place, Menlo Park  
August 8, 2024**

By Jennifer Tso, BCMA #WE-10270B  
Michelia Arboriculture, LLC  
925-515-1362 | jennifer@micheliarborist.com

Drawn on proposed site plan and existing site plan by Carole Micaelian (dated July 28, 2024)



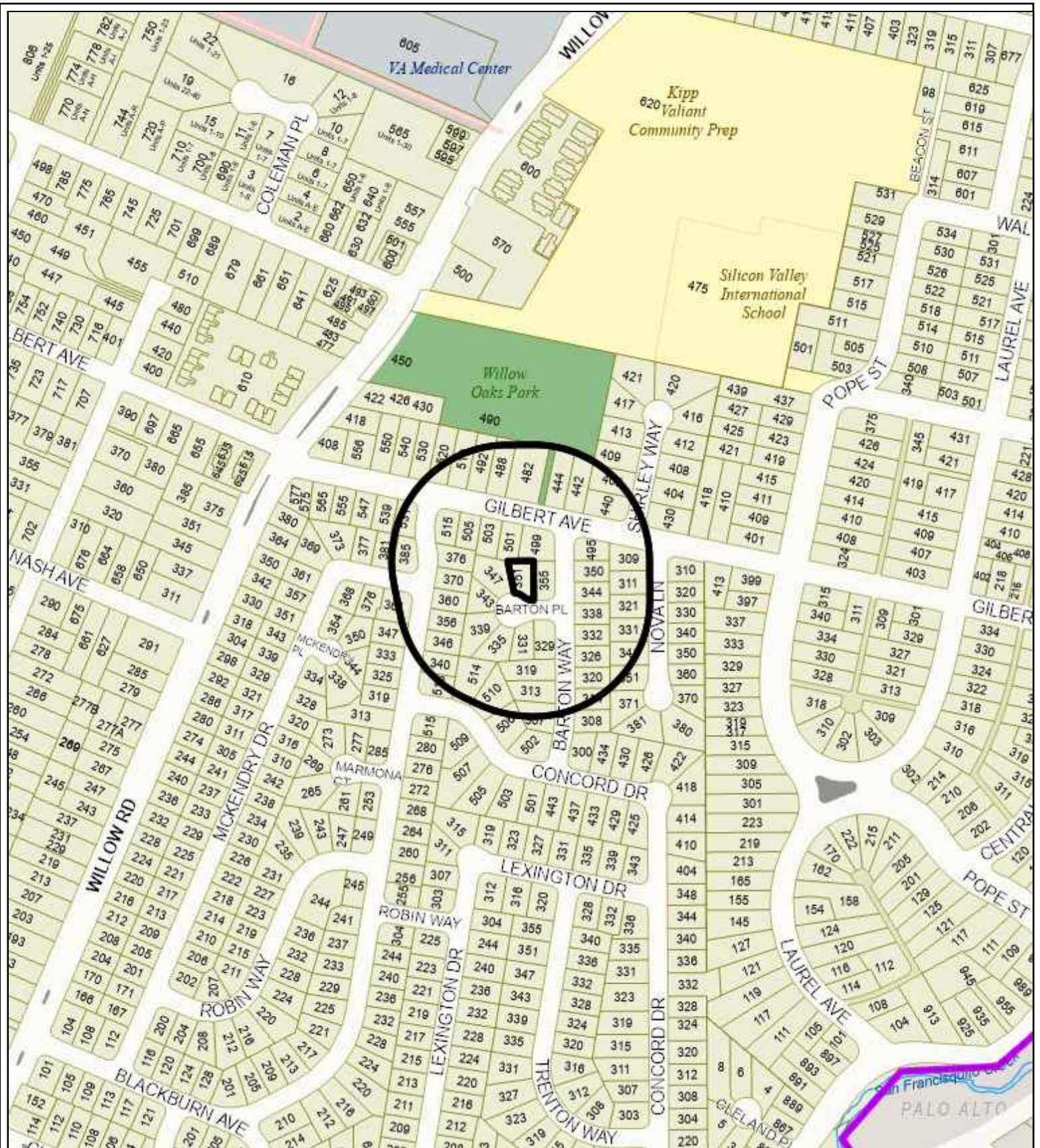
351 Barton Place – ATT A Ex. C – Conditions of Approval

<b>LOCATION:</b> 351 Barton Place	<b>PROJECT NUMBER:</b> PLN2024-00035	<b>APPLICANT:</b> Krista and Mark Burbridge	<b>OWNER:</b> Krista and Mark Burbridge
<p><b>PROJECT CONDITIONS:</b></p> <ol style="list-style-type: none"> <li>1. The use permit shall be subject to the following <b>standard</b> conditions:             <ol style="list-style-type: none"> <li>a. The applicant shall be required to apply for a building permit within one year from the date of approval (by December 2, 2025) for the use permit to remain in effect.</li> <li>b. Development of the project shall be substantially in conformance with the plans prepared by Carole Micaelian Architectural Designer consisting of 15 plan sheets, dated received November 20, 2024 and approved by the Planning Commission on December 2, 2024, except as modified by the conditions contained herein, subject to review and approval of the Planning Division.</li> <li>c. Prior to building permit issuance, the applicant shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.</li> <li>d. Prior to building permit issuance, the applicant shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.</li> <li>e. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.</li> <li>f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.</li> <li>g. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.</li> <li>h. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance.</li> <li>i. Prior to building permit issuance, the applicant shall pay all fees incurred through staff time spent reviewing the application.</li> <li>j. The applicant or permittee shall defend, indemnify, and hold harmless the City of Menlo Park or its agents, officers, and employees from any claim, action, or proceeding against the City of Menlo Park or its agents, officers, or employees to attack, set aside, void, or annul an approval of the Planning Commission, City Council, Community Development Director, or any other department, committee, or agency of the City concerning a development, variance, permit, or land use approval which action is brought within the time period provided for in any applicable statute; provided, however, that the applicant's or permittee's duty to so defend, indemnify, and hold harmless shall be subject to the City's promptly notifying the applicant or permittee of any said claim, action, or proceeding and the City's full cooperation in the applicant's or permittee's defense of said claims, actions, or proceedings.</li> </ol> </li> </ol>			



351 Barton Place – ATT A Ex. C – Conditions of Approval

<b>LOCATION:</b> 351 Barton Place	<b>PROJECT NUMBER:</b> PLN2024-00035	<b>APPLICANT:</b> Krista and Mark Burbridge	<b>OWNER:</b> Krista and Mark Burbridge
<b>PROJECT CONDITIONS:</b> <ul style="list-style-type: none"><li>k. Notice of Fees Protest – The applicant may protest any fees, dedications, reservations, or other exactions imposed by the City as part of the approval or as a condition of approval of this development. Per California Government Code 66020, this 90-day protest period has begun as of the date of the approval of this application.</li><li>2. The use permit shall be subject to the following <b>project-specific</b> conditions:<ul style="list-style-type: none"><li>a. Simultaneous with the submittal of a complete building permit application, the applicant shall submit revised plans showing a minimum two-foot separation between the right side property line and the driveway.</li></ul></li></ul>			



City of Menlo Park  
 Location Map  
 351 Barton Place



351 Barton Place – Attachment C: Data Table

	PROPOSED PROJECT		EXISTING PROJECT		ZONING ORDINANCE	
Lot area	5,350	sf	5,350	sf	7,000	sf min
Lot width	54.5	ft	54.5	ft	65	ft min
Lot depth	101.5	ft	101.5	ft	100	ft min
Setbacks						
Front	20.5	ft	24.7	ft	20	ft min
Rear	20	ft	20.9	ft	20	ft min
Side (left)	7.8	ft	8.5	ft	10% of the min lot width, not less than 5' or no more than 10'	
Side (right)	5.5	ft	4.9	ft		
Building coverage	1,866	sf	1,453	sf	1,872	sf max
	34.9	%	27	%	35	% max
FAL (Floor Area Limit)	2,255	sf	1,413	sf	2,800	sf max
Square footage by floor	1,456	sf/1 <sup>st</sup>	1,092.2	sf/1 <sup>st</sup>		
	524	sf/2 <sup>nd</sup>	320.7	garage		
	260	sf/garage	40	sf/covered porch		
	150	sf/covered porch				
	15	skylights >12'				
Square footage of buildings	2,405	sf	1,453	sf		
Building height	21.9	ft	16.1	ft	28	ft max
Parking	1 covered space*		1 covered space		1 covered and 1 uncovered space	
Note: Areas shown highlighted indicate a nonconforming or substandard situation						
Trees	Heritage trees	2**	Non-Heritage trees	8†	New trees	0
	Heritage trees proposed for removal	0	Non-Heritage trees proposed for removal	3	Total Number of trees	7

\*The nonconforming parking configuration is permitted to remain as the property was originally developed with only one compliant covered parking space. The driveway would continue function as a second, nonconforming parking space.

\*\*Indicates off-site trees

† One non-heritage tree is a street tree and two are off-site



## STAFF REPORT

**City Council Meeting Date:** 12/2/2024  
**Staff Report Number:** 24-053-CC

**Public Hearing:** Consider and adopt a resolution to approve a use permit for a change of use from a dance studio to a pottery studio for a tenant suite within an existing commercial building that is substandard with regard to the minimum parking requirement in the C-MU (Neighborhood Mixed Use) zoning district at 1919 Menalto Avenue. The proposed pottery studio is considered a special use and is conditionally permitted subject to a use permit; determine this action is categorically exempt under CEQA Guidelines Section 15301's Class 1 exemption for existing facilities.

### Recommendation

Staff recommends that the Planning Commission adopt a resolution to approve a use permit for a change of use from a dance studio to a pottery studio for a tenant suite within an existing commercial building that is substandard with regard to the minimum parking requirement in the C-MU (Neighborhood Mixed Use) zoning district at 1919 Menalto Avenue, and determine this action is categorically exempt under CEQA Guidelines Section 15301's Class 1 exemption for existing facilities. Additionally, the proposed pottery studio is considered a private recreational facility, which is a special use, and requires a use permit.

The draft resolution, including the recommended actions and conditions of approval, is included as Attachment A.

### Policy Issues

Each use permit is considered individually. The Planning Commission should consider whether the required use permit findings identified in Menlo Park Municipal Code Section (MPMC) 16.78.020 (Special Uses, Consideration Factors Prior to Permit Issuance) and (MPMC) 16.82.030 (Permits, Granting) can be made for the proposed project. The City's General Plan includes a variety of goals and associated policies to implement those goals that may be considered in evaluating the proposed project, such as:

- Goal LU-3: Retain and enhance existing and encourage new neighborhood-serving commercial uses, particularly retail services, to create vibrant commercial corridors; and
- Policy LU-3.3: Neighborhood Retail (Preserve existing neighborhood-serving retail and encourage new neighborhood retail clusters in appropriate areas that promote existing neighborhood character).

### Background

#### *Site location*

The subject property is located in the Willows neighborhood at 1919 Menalto Avenue, an approximately

2,139 square-foot tenant space within a six-unit building that also includes the following addresses/tenants providing retail, office and personal service uses:

- 1921 Menalto Avenue – West Bay Cleaners;
- 104 Gilbert Avenue – Studio Cake;
- 106 Gilbert Avenue – The Kitchen Sink Co-op;
- 108 Gilbert Avenue – Golden State Hauling and Demolition; and
- 110 Gilbert Avenue – Habibi's Salon.

The subject tenant space is the corner unit. The subject property is located at the northwest corner of the intersection of Menalto Avenue and Gilbert Avenue. An adjoining four-unit building to the north (1923-1929 Menalto Avenue) and La Hacienda Market (1933 Menalto Avenue) provide additional retail/service uses for the small-scale shopping center. La Hacienda Market maintains a separate parking lot adjacent to the market. The surrounding neighborhood includes a mix of single-family residences and two-to-four unit residential complexes in the R-1-U (Single Family Urban Residential) and R-2 (Low Density Apartment) zoning districts. A location map is included as Attachment B.

### ***Previous Planning Commission review***

The subject parcel, as well as the adjoining parcel (addressed 1923-1929 Menalto Avenue), are nonconforming with regard to parking, and the Planning Commission has reviewed multiple use permits for changes of use between the two properties.

In 2013, the Planning Commission approved a use permit for operation of Captivating Dance by Nona, a dance studio classified as a private recreational facility, in the 1919 Menalto Avenue tenant suite. Below is a project summary excerpt from the May 6, 2013 Planning Commission staff report describing Captivating Dance's former operations, provided for comparison with the proposed pottery studio:

The dance studio (private recreational facility) would operate between 2 p.m. and 7:45 p.m., Monday through Friday, and 10 a.m. and 3 p.m. on Saturday. The classes would be 45 minutes to one hour 15 minutes in length, and all sessions would be separated by a 15-minute break that would allow departing patrons to free up car and bicycle parking spaces for arriving patrons. The average class size is 10 students. Many sessions would be led by the business owner and other instructors (one instructor per class, typically). The applicant states that many of the students are children, who are local residents and take the bus from school, walk, or ride their bicycles to the studio.

Captivating Dance's initial schedule of classes from 2013 included four to five classes daily, and the majority of students were dropped off by individual cars or carpool vehicles.

## **Analysis**

### ***Project description***

The applicant, Spiffy Pottery Studio, is requesting a use permit to operate a pottery studio (private recreational facility) in an existing commercial building where the property is substandard with regard to parking. The private recreational facility is also considered a special use, which is a conditional use, and would require Planning Commission review even if the property met the parking requirement of the Zoning Ordinance. The pottery studio would occupy the tenant suite formerly used by Captivating Dance and no architectural modifications to the building are proposed. While both the pottery studio and the previous dance studio are considered private recreational facilities, the operations of the uses differ and therefore, a use permit is required for the proposed pottery studio. The project plans are provided in Attachment A,

Exhibit A, and the project description letter is provided in Attachment A, Exhibit B.

Spiffy Pottery Studio would provide packaged classes, memberships, and specialized workshops and programming. During the first three months of operation, the studio plans to host four classes a week (one class per day) and gradually expand to six classes a week (one class per day) after approximately one year of operations. Each class would include a maximum of 10 students and be taught by two staff members for approximately 2.5 hours. General business hours are planned from 7 a.m. to 11 p.m. for members and 10 a.m. to 10 p.m. for students. No business operations between the hours of 12 midnight and 6 a.m. are proposed. Pottery studio class schedules and programming would be subject to change in response to business needs and customer demands, but any changes would remain within the proposed hours of operation.

The applicant has stated that the pottery studio operations will not result in any of the additional “consideration factors prior to permit issuance” stated in MPMC Section 16.78.020, regarding special uses, and listed below:

- Damage or nuisance from noise, smoke, odor, dust or vibration;
- Hazard from explosion, contamination or fire; or
- Hazard occasioned by unusual volume or character of traffic or the congregation of a large number of people or vehicles.

The open layout of the former dance studio is conducive to the proposed pottery studio and the tenant space will be improved with two electrical hobby kilns and limited electrical upgrades and painting. A building permit application would be required to ensure interior improvements meet building codes and applicable health and safety regulations.

### ***Parking and circulation***

According to MPMC Section 16.40.030(15), properties in the C-MU district have parking requirements based on use types. The existing building is approximately 6,895 square feet, of which 2,139 square feet is proposed for the pottery studio (private recreation) in one of the six tenant spaces. The other five tenant spaces include a mixture of office and personal service uses. Two parking spaces per 1,000 square feet is the minimum required parking for private recreation, office, and personal services uses. Applying this parking rate to the square footage for each tenant in the building, the total minimum required parking for the subject parcel is 14 parking spaces.

Along Menalto Avenue, exclusive of the parking lot for La Hacienda Market (26 spaces), there are 18 existing striped parking spaces in front of the three parcels that comprise the shopping center. There are five parking spaces in front of the subject parcel and two spaces are directly in front of the proposed studio. However, all of these parking spaces are partially located in the public right-of-way and do not count as compliant parking spaces for purposes of off-street parking requirements. Consequently, with the spaces partially in the public right-of-way and fronting multiple properties, the parking spaces are available to all shopping center patrons. There are additional street parking spaces, around the corner on both sides of Gilbert Avenue, which can serve the subject property and the greater shopping center. Two existing, separate bicycle racks along the Menalto Avenue shopping center frontage, also partially located within the public right-of-way, serve business patrons and provide approximately 18 bicycle parking spaces.

The proposed pottery studio is intended to serve the local community and would host fewer classes compared to the former dance studio that occupied the space. (The dance studio held four to five classes per day, every day of the week, while proposed pottery studio plans to hold one class per day up to six days per week). Pottery studio memberships will be limited to 100 members and the applicant anticipates, based

on experience, that no more than 15 percent of the total membership will visit the studio each day. Planning Division and Transportation Division staff have reviewed the project application and determined that the proposed pottery studio will likely have lower circulation and traffic impacts when compared to the former dance studio.

The Transportation Division has determined that the scope of work does not trigger a Transportation Impact Analysis (TIA) and Transportation Demand Management (TDM) plan with consideration to the significantly lower daily trip estimates when comparing the use of the tenant space from the former dance studio (approximately 50 daily students) to the proposed pottery studio (approximately 25 daily students/members). Given the difference in anticipated users and their likelihood to use similar transportation travel modes (e.g., walking, biking, driving), staff concluded that the new tenant/land use would generate fewer trips than the former tenant/land use and therefore a TIA and TDM plan are not applicable to this project.

### **Correspondence**

The applicant has completed outreach to the local community, including a survey to gauge interest in the establishment of a pottery studio. The survey results are included within the project description letter (Attachment A, Exhibit B). During the development review process, staff received one item of correspondence in support of the application and three items of correspondence expressing concern regarding business operations between 12 midnight and 6 a.m. (Attachment C). The applicant had originally requested a use permit to allow members the option to utilize the studio outside of typical business hours, but that use permit request is no longer being pursued in response to the feedback received. In the future, if the applicant proposes to allow use of the studio between 12 midnight and 6 a.m., a use permit revision would be required.

### **Conclusion**

The proposed use would be located in an existing, neighborhood-serving commercial building with bicycle parking, which would encourage use of alternate modes of transportation. Although the property does not provide any compliant parking spaces, staff believes the existing parking spaces along Menalto Avenue and Gilbert Avenue would provide adequate parking for patrons and staff. The proposed pottery studio would provide a new neighborhood serving use, which promotes General Plan goal LU-3. Staff recommends the Planning Commission approve the proposed project.

### **Impact on City Resources**

The project sponsor is required to pay Planning, Building, and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

### **Environmental Review**

The proposed project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act Guidelines.

### **Public Notice**

Public notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

## **Appeal Period**

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

## **Attachments**

- A. Draft Planning Commission Resolution
  - Exhibits to Attachment A
    - A. Project Plans
    - B. Project Description Letter
    - C. Conditions of Approval
- B. Location Map
- C. Correspondence

Report prepared by:  
Calvin Chan, Senior Planner

Report prepared by:  
Tom Smith, Principal Planner



**PLANNING COMMISSION RESOLUTION NO. 2024-0XX**

**RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MENLO PARK APPROVING A USE PERMIT TO ALLOW A CHANGE OF USE OF A TENANT SUITE FROM A DANCE STUDIO TO A POTTERY STUDIO (PRIVATE RECREATIONAL FACILITY) WITHIN AN EXISTING COMMERCIAL BUILDING AT A PROPERTY THAT IS SUBSTANDARD WITH REGARD TO THE MINIMUM PARKING REQUIREMENT IN THE C-MU (NEIGHBORHOOD MIXED USE) ZONING DISTRICT**

WHEREAS, the City of Menlo Park (“City”) received an application requesting a use permit to allow a change of use of a tenant suite from a dance studio to a pottery studio (private recreational facility) within an existing commercial building at a property that is substandard with regard to the minimum parking requirement in the C-MU (Neighborhood Mixed Use) zoning district (collectively, the “Project”) from Jeffrey Liang of Spiffy Pottery Studio (“Applicant”) on behalf of Menalto LLC (“Owner”) located at 1919 Menalto Avenue (APN 062-366-160) (“Property”). The Project use permit is depicted in and subject to the development plans and project description letter, which are attached hereto as Exhibit A, and incorporated herein by this reference; and

WHEREAS, the Property is located in the Neighborhood Mixed Use (C-MU) zoning district. The C-MU zoning district supports a variety of retail services, personal services, restaurant, and residential uses; and

WHEREAS, the proposed Project complies with all objective standards of the C-MU zoning district, apart from the required minimum parking for the site; and

WHEREAS, although the proposed Project would continue to have substandard parking for the site, the proposed Project would be neighborhood serving, as it is walkable for the neighboring community and, within the public right-of-way, there are also bicycle parking spaces and multiple shared vehicle parking options for patrons; and

WHEREAS, the proposed pottery studio is considered a special use and is conditionally permitted; and

WHEREAS, the Project requires discretionary action by the City as summarized above, and therefore the California Environmental Quality Act (“CEQA,” Public Resources Code Section §21000 et seq.) and CEQA Guidelines (Cal. Code of Regulations, Title 14, §15000 et seq.) require a determination regarding the Project’s compliance with CEQA; and

WHEREAS, the City is the lead agency, as defined by CEQA and the CEQA Guidelines, and is therefore responsible for the preparation, consideration, certification, and approval of environmental documents for the Project; and

WHEREAS, the Project is exempt from environmental review pursuant to CEQA Guidelines §15301 (Existing Facilities); and

WHEREAS, all required public notices and public hearings were duly given and held according to law; and

WHEREAS, at a duly and properly noticed public hearing held on December 2, 2024, the Planning Commission fully reviewed, considered, and evaluated the whole of the record, including all public and written comments, pertinent information, documents and plans, prior to taking action regarding the proposed Project.

NOW, THEREFORE, THE MENLO PARK PLANNING COMMISSION HEREBY RESOLVES AS FOLLOWS:

Section 1. Recitals. The Planning Commission has considered the full record before it, which may include but is not limited to such things as the staff report, public testimony, and other materials and evidence submitted or provided, and the Planning Commission finds the foregoing recitals are true and correct, and they are hereby incorporated by reference into this Resolution.

Section 2. Conditional Use Permit Findings. The Planning Commission of the City of Menlo Park does hereby make the following Findings:

The approval of the use permit for a change of use from a dance studio to a pottery studio within a tenant suite of an existing commercial building at a property that is substandard with regard to the minimum parking requirement is granted based on the following findings, which are made pursuant to Menlo Park Municipal Code (MPMC) Sections 16.78.020 and 16.82.030:

1. That the establishment, maintenance, or operation of the use applied for will, under the circumstance of the particular case, not be detrimental to the health, safety, morals, comfort, and general welfare of the persons residing in the neighborhood of such proposed use, or injurious or detrimental to property and improvements in the neighborhood or the general welfare of the city because:
  - a. Consideration and due regard were given to the nature and condition of all adjacent uses and structures, and to general plans for the area in question and surrounding areas, and impact of the application hereon. The proposed Project is designed in a manner which is consistent with the goals, policies, and objectives of the General Plan and applicable Municipal Code and Zoning Ordinance requirements, and more specifically the Project would be compatible with the surrounding uses.
  - b. The proposed project would remain substandard with regard to the parking requirements for the C-MU zoning district. However, existing bicycle parking spaces and vehicular parking spaces are available, located partially in the public right-of-way, in front of and surrounding the property.
  - c. The proposed Project is designed to meet all the applicable codes and ordinances of the City of Menlo Park Municipal Code, and the Planning Commission concludes that the Project would not be detrimental to the health, safety, and welfare of the surrounding community as the proposed

pottery studio would be located in a small-scale mixed-use commercial building compatible with the surrounding residential neighborhood.

2. In addition to the criteria outlined in MPMC 16.82, special uses are subject to the following additional factors to determine if the use will not be unreasonably incompatible with uses permitted in the surrounding areas:
  - a. Damage or nuisance from noise, smoke, odor, dust, or vibration;
  - b. Hazard from explosion, contamination or fire; and
  - c. Hazard occasioned by unusual volume or character of traffic or the congregation of a large number of people or vehicles.

The above factors are not present with the proposed use, in that the operations would not create damage or nuisances to neighboring properties or uses. The project would be subject to applicable building code requirements which would reduce potential hazards. Furthermore, the proposed operations were evaluated by the City's Transportation Division, which determined the use would not create negative impacts on parking and circulation in the vicinity of the project site.

Section 3. Conditional Use Permit. The Planning Commission approves Use Permit No. PLN2024-00039, which use permit is depicted in and subject to the development plans and project description letter, which are attached hereto and incorporated herein by this reference as Exhibit A and Exhibit B, respectively. The Use Permit is conditioned in conformance with the conditions attached hereto and incorporated herein by this reference as Exhibit C.

Section 4. Environmental Review. The Planning Commission makes the following findings, based on its independent judgment after considering the Project, and having reviewed and taken into consideration all written and oral information submitted in this matter:

1. The Project is categorically except from environmental review pursuant to Cal. Code of Regulations, Title 14, §15301 et seq. (Existing Facilities).

Section 5. Severability. If any term, provision, or portion of these findings or the application of these findings to a particular situation is held by a court to be invalid, void or unenforceable, the remaining provisions of these findings, or their application to other actions related to the proposed Project, shall continue in full force and effect unless amended or modified by the City.

I, Kyle Perata, Assistant Community Development Director of the City of Menlo Park, do hereby certify that the above and foregoing Planning Commission Resolution was duly and regularly passed and adopted at a meeting by said Planning Commission on December 2, 2024, by the following votes:

AYES:

NOES:

ABSENT:

ABSTAIN:

IN WITNESS THEREOF, I have hereunto set my hand and affixed the Official Seal of said City on this \_\_\_\_ day of December 2024.

PC Liaison Signature

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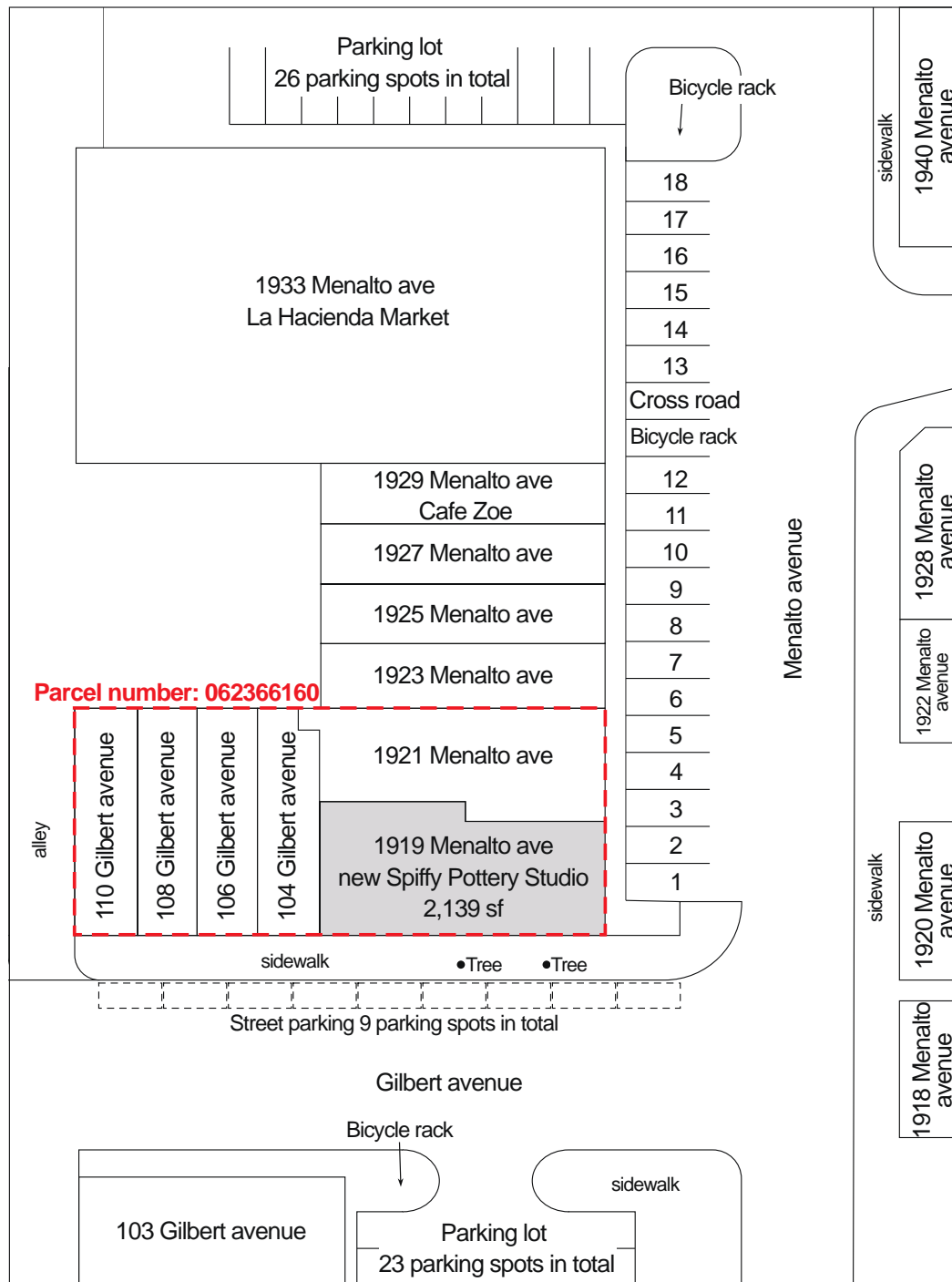
Kyle Perata  
Assistant Community Development Director  
City of Menlo Park

Exhibits

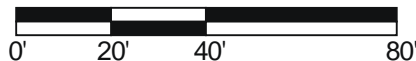
- A. Project Plans
- B. Project Description Letter
- C. Conditions of Approval

i. Any frontage improvements which are damaged as a result of construction will be required to be replaced. All frontage improvement work shall be in accordance with the latest version of the City Standard Details.

ii. An encroachment permit from the Engineering Division is required prior to any construction activities, including utility laterals, in the public right of way.



*Jeffrey Leamy*  
A5



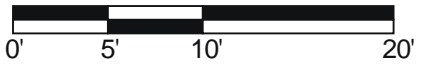
Area plan: 1919 Menalto avenue

1" = 40' Scale

1



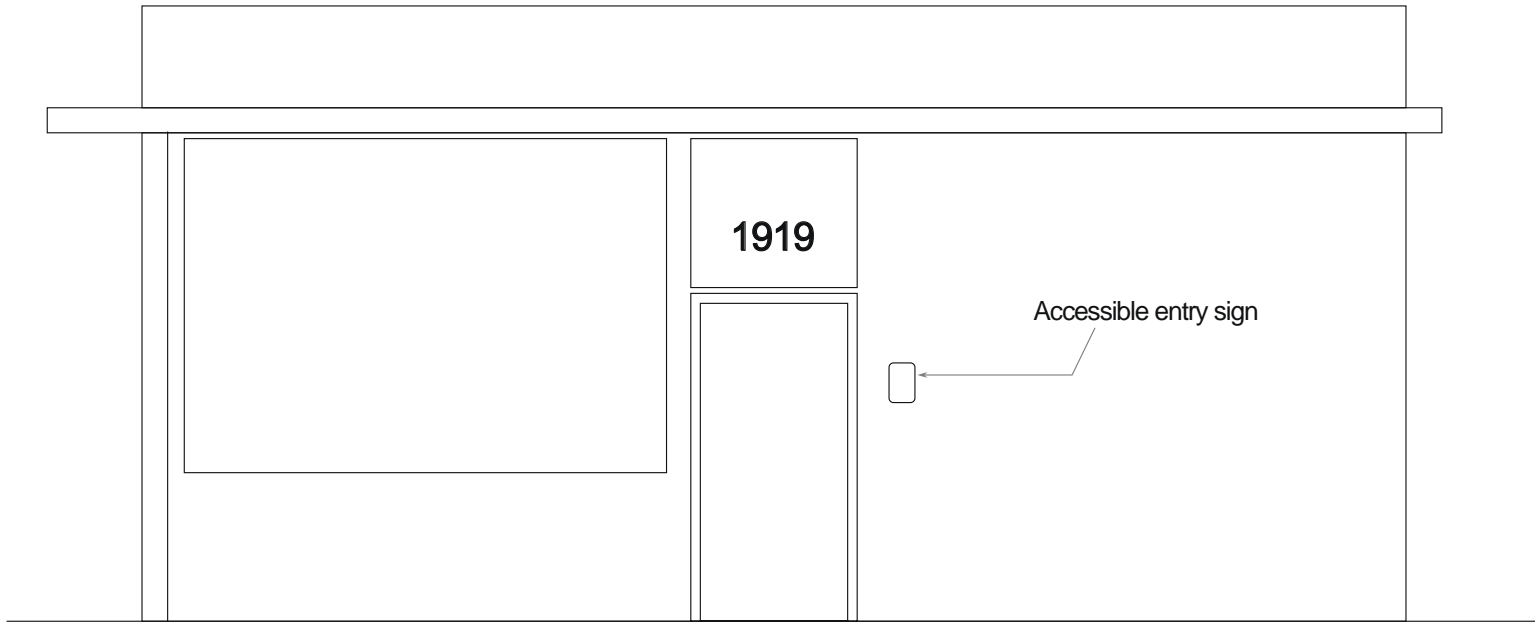
*AG*  
*Jeffrey Leamy*



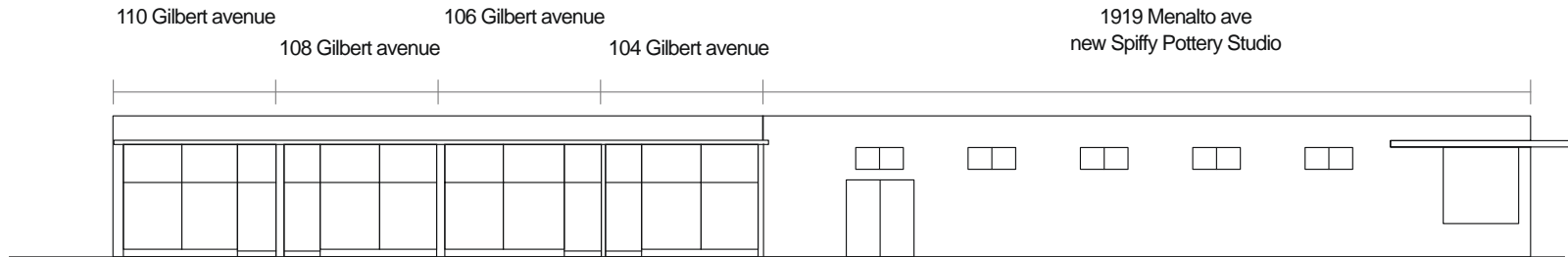
Site plan: 1919 Menalto avenue

1" = 10' Scale

2



Menalto avenue elevation: 1919 Menalto avenue (4)  
 1/4" = 1' Scale



Gilbert ave elevation: 1919 Menalto avenue (5)  
 1/16" = 1' Scale

*Jeffery Leamy*

1921 Menalto ave

Water heater room  
5.8' x 2.5'

Exsiting and no structural  
modification needed

Restroom 2  
5.8' x 8.2'

Restroom 1  
8.5' x 9.8'

Room 3  
glaze room  
8.5' x 9.8'

Room 2 storage  
8.5' x 9.8'

Closet  
6.7' x 6'

104 Gilbert avenue

Kitchen  
6' x 10.7'

Entrance door

Room 1  
teaching class space  
66.7' x 28.7'

Window

Room 4  
Storage  
5.8' x 9.7'

Window

Double door

Gilbert avenue

*Jeffrey Leamy*  
AS

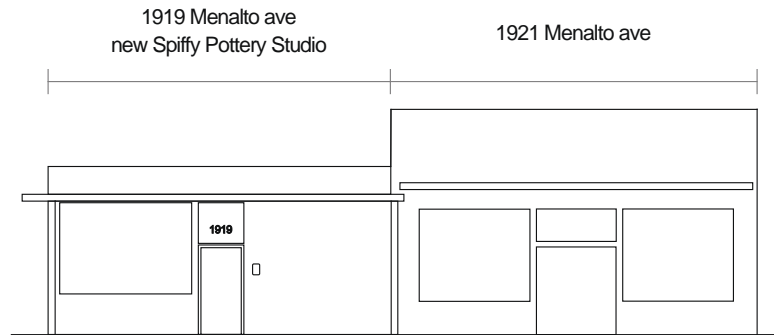


Floor plan: 1919 Menalto avenue

1/8" = 1' Scale

3

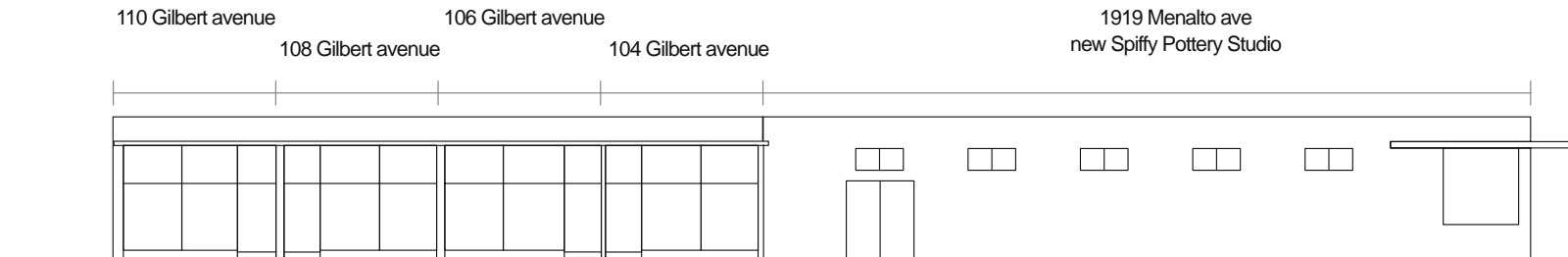




Menalto avenue streetscape: 1919 Menalto avenue

1/16" = 1' Scale

6



Gilbert ave streetscape: 1919 Menalto avenue

1/16" = 1' Scale

7



Project description:

Spiffy Pottery Studio is gaining interest in Menlo Park and the Palo Alto area and will hit its capacity by the end of 2024. Spiffy Pottery Studio is centered around the practice of creative expression and aims to progress from an idea to a flourishing community.

We will provide 4 weeks of classes, memberships, workshops, and kids summer camp. Due to the open space nature of the property, there will be no structural alteration needed to the building. 2 additional 240V outlets will be added for 2 electrical hobby kilns. We are expecting a minor interior remodeling such as repainting walls. We are also considering refreshing the exterior of the building since some parts of the exterior wall will need to be repainted.

We have also been talking to the local community to gauge the interest in setting up a pottery studio in the The Willow area. As a result, people are looking forward to having a pottery studio in the neighborhood and are eager to be part of the creative community. The survey results will be attached to this document.

Thank you for your time and please let me know if any additional information is needed, I am looking forward to hearing from you.

Sincerely,  
Jeffery Liang  
Owner

A handwritten signature in black ink that reads "Jeffery Liang".

(925)-752-1585

jeff@thespiffystudio.info



Spiffy Pottery Studio

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## Spiffy Pottery Studio Business Plan:

Spiffy Pottery Studio provides Creativity and Community with clay.

### **Spiffy Studio LLC**

**Fictitious name:** Spiffy Pottery Studio

**Business owner name:** Jeffery Liang

**Business phone:** (925)-752-1585

**Business email:** jeff@thespiffystudio.info

**Business address:** 1919 Menalto Ave, Menlo Park, CA 94025

Spiffy Pottery Studio as it is:

Spiffy Pottery Studio currently gaining interests in Menlo Park and Palo Alto area, and will hit its capacity by end of 2024

Spiffy Pottery Studio aims to progress from an idea to a flourishing community with well-sourced investor capital fueled by the founder, Jeffery's

- Perseverance over time
- Approach to life-long learning
- Willingness to take advice and pivot

The studio is centered around the practice of creative expression. To be a conduit for an awareness of being. Through this practice we let out what comes in—an essential aspect of wellbeing.

Required Licenses and Permits:

- Business license obtained through the Office of Small Business
- Fictitious name (Spiffy Pottery Studio) obtained through the Office of Small Business
- Change of use permit for 1919 Menalto Ave, is to be determt with City of Menlo Park Planning Division

## Storefront:

The necessary changes for 1919 Menalto Ave. are:

- to install 2 240v outlets
- to replace the kitchenette with a two-basin sink
- change of use

## Operations:

Following Municipal Code section 16.78.020, Spiffy Pottery Studio will not cause " (1) Damage or nuisance from noise, smoke, odor, dust or vibration; (2) Hazard from explosion, contamination or fire; (3) Hazard occasioned by unusual volume or character of traffic or the congregation of a large number of people or vehicles."

Studio waste management is as follows:

(a) Sinks will be fitted with designated clay traps, and clay caught in clay traps will be routinely discarded as solid waste into grey/black trash bins. No contaminants will be going down the drain.

(b) A minimal amount of glazes will be sorted and discarded as solid waste in the gray/black trash bin. No contaminants will be going down the drain.

(c) Kilns will be fitted with vents to channel heated air to the outside of the building during kiln operation. The environment for the kiln will be designed following the manufacturer's recommended safety guidelines and materials.

(d) At any time, the number of people in the studio will be controlled by staff and limited access will be managed by a security system. A maximum of 10 students will be attending per class to prevent potential congestion in the studio..

Spiffy Pottery Studio operating hours:

It is acknowledged that the application no longer requests use permit approval for business operations between midnight and 6:00 AM

(a) Members studio hours : Mon - Sun 7am- 11pm access with individual door code

(b) Students studio hours: Mon - Sun 10am-10pm access with door code until end of 4 weeks class package.

(c) Staff: Mon - Sun 12:00 pm to 5:30 pm, 6:30 pm to 9:00pm and Sat 11:00 am to 1:30 pm. Staff will only be present in the studio according to the hours listed above.

(d) Following the scheduled listed above, members and students can arrive and use the space prior to/without staff.

Class content and hours (each class hold maximum 10 student and 2.5 hours duration):

The studio will be hosting only 4 classes on weekdays for the first 3 months of operation. Classes scheduled are subject to change, the schedule may shift in response to business needs/customer demands, however by the 12th month into the operation we will be expecting to have 6 classes a week in total which is our projected maximum number of classes for our studio. Please refer to "Table 1"

Day	Daily class schedule (One class per day)
Monday	6:30 pm - 9:00 pm
Tuesday	6:30 pm - 9:00 pm
Wednesday	6:30 pm - 9:00 pm
Thursday	6:30 pm - 9:00 pm
Friday	6:30 pm - 9:00 pm
Saturday	11:00 am - 1:30 pm
Sunday	No class on Sunday

Table 1 : Class schedule projection at the 12th month of operation

### Transportation Impact Analysis

According to our projections, the studio will reach its maximum capacity in the 12th month. This means there will be one class held each day, except on Sundays, and memberships will be limited to 100 members. Based on our experience, we anticipate that no more than 15% of the total members will visit the studio each day. Therefore, our Average Daily Trip (ADT) will be: 10 students + 15 members + 2 staff = 27.

From Table 2, we can see that Captivating Dance has five classes scheduled on Monday, with approximately 10 students in each class. This results in a total of 50 students attending on Monday alone. In comparison to our proposed ADT projection, this number of visitors is significantly higher than our estimated attendance.

According to San Mateo County's TDM requirement, Spiffy Pottery Studio is exempt from San Mateo County's TDM checklist because ADT(Average daily trip) is lower than 100.

### Studio operation experience:

The Studio owner Jeffery has been professionally working in the clay industry for 5 years and has worked at several studios as an instructor and studio manager located in San Francisco. Throughout the years a system of safety operating protocol had been refined and practiced at the studios that Jeffery has worked at. Spiffy Pottery Studio will be built with the same standards and guidelines. It is important to us to provide a well-designed establishment to ensure the safety of the employees, community, and the environment.

Day	Class Description	Time
Monday/Wednesday/Friday	Pre-Ballet	2:00-2:45pm
Monday/Wednesday/Friday	Junior Team Ballet	3:00-3:45pm
Monday/Wednesday/Friday	Junior Team Jazz	4:00-4:45pm
Monday/Wednesday/Friday	Teen Team Ballet	5:00-6:15pm
Monday/Wednesday/Friday	Teen Team Jazz	6:30-7:15pm
Tuesday/Thursday	Beginning Lyrical	3:30-4:15pm
Tuesday/Thursday	Beginning Hip Hop	4:30-5:15pm
Tuesday/Thursday	Advance Lyrical	5:30-6:15pm
Tuesday/Thursday	Advance Hip Hop	6:30-7:45
Saturday	Advance Ballet	10:00-11:30am
Saturday	Beginning Jazz	11:45-12:30pm
Saturday	Yoga	12:45-1:30pm
Saturday	Team Rehearsal	1:45-3:00pm

Table 2

### Community Outreach:

To whom it may concern, the nature of pottery is considered a peaceful yet quiet activity. Spiffy Pottery Studio is located in a community-centered residential environment, and here are the practices we are implementing to sustain a low-noise operation. The solutions are as follows..

1. Our business hours will be 7 am-11 pm for the members and 10 am-10 pm for the students. By doing so, we will be able to spread out the congestion inside the studio and to the local traffic.
2. All equipment selected to be operating inside the studio is designed to be low noise.
3. When signing up as a student or a member or during business hours we will make sure everyone understands the studio guidelines of being mindful of noise control and establishing awareness as part of our studio culture.
4. Spiffy Pottery Studio will not be playing loud music.

### Trash management:

The studio will be using trash cans as follows:  
 20-gallon organic cart QTY: 1, Pick up once a week  
 64-gallon recycling cart QTY: 1, Pick up once a week  
 64-gallon garbage cart QTY: 1, Pick up once a week

Organic, recycling, and garbage carts will be stored in storage room 4. Carts will be placed at the trash pick-up location according to the schedule.

Square footages and current tenants of all spaces at the six-unit building

Address	Tenant	Square Footage
1919 Menalto Avenue	Vacant / Proposed Spiffy Potter Studio Space	2,139
1921 Menalto Avenue	West Bay Cleaners	1,755
104 Gilbert Avenue	Studio Cake	727
106 Gilbert Avenue	The Kitchen Sink Co-op	758
108 Gilbert Avenue	Golden State Hauling & Demolition	758
110 Gilbert Avenue	Habibi's Salon	758

# Menlo Park/ Palo Alto area survey results

What is your name?	What is your pottery experience?	Please select all that you are interested in	Which city do you live in?	Why do you want a pottery studio to open in Palo Alto/Menlo Park?
Elizabeth	3 - 10 years	Pottery Studio Membership;partial membership (glazing & firing only ? 😊)	Redwood City	
Lilac Amirav	1 - 3 years	4 week pottery classes;Single day pottery classes;Kids afterschool programs, and summer camps;Pottery Studio Membership	Menlo Park	Preferably in Menlo Park. I would like to be able to come on a weekly base. Between work and kids a long commute is not practical for me
Arianna Nuñez	1 - 3 years	Pottery Studio Membership	Palo Alto	I want to be a part of a local pottery community!
Winnie Wong	1 - 3 years	4 week pottery classes;Single day pottery classes;Kids afterschool programs, and summer camps	Menlo Park	Nearby
Rachel	1 - 3 years	4 week pottery classes;Single day pottery classes;Pottery Studio Membership	Menlo Park	I've been so interested in pottery as a creative outlet and want to developed my skills further!
Cindy	None at all!	4 week pottery classes;Single day pottery classes	Portola Valley	I think it would be a nice addition to the community !!
Ramya Ramachandran	1 - 3 years	4 week pottery classes;Single day pottery classes	Menlo Park	I really enjoy crafts and I am eager to learn more about pottery as a beginner. Also, finding a community of likeminded friends would be nice too!
Kevin culbertson	1 - 3 years	4 week pottery classes;Single day pottery classes;Pottery Studio Membership;Kiln use or something ?	Menlo Park	I've always wanted to do it but it's never been convenient
Aubrey Florom-Smith	1 - 3 years	4-week pottery classes;Single day pottery classes;Corporate, and private teambuilding activities, and events;Pottery Studio Membership	Menlo Park	I am registering so that I can share this with my daughter, and for corporate events for my team. Thank you!
Romina Nejad	None at all!	Single day pottery classes;Pottery Studio Membership	Mountain View	I'm looking for a new hobby and I've been wanting to try my hand at pottery!
Samantha Furlanic	None at all!	4-week pottery classes;Single day pottery classes;Pottery Studio Membership	Menlo Park	Would love to explore a new hobby locally
Armando castellano	None at all!	4-week pottery classes;Single day pottery classes	Menlo Park	Looking for fun stuff to do with wife now that kids are in college
Raven	None at all!	4-week pottery classes;Single day pottery classes;AFFORDABLE CLASSES PLEASE (affordable affordable)	Stanford	my family are traditional pottery artists
Amelia Lee	1 - 3 years	4-week pottery classes;Pottery Studio Membership	Menlo Park	Convenience
Rachel	None at all!	4-week pottery classes	Menlo Park	Interested in learning
Julie	1 - 3 years	4-week pottery classes;Pottery Studio Membership	Menlo Park	I enjoy pottery and I think more studios are better
Akash S	1 - 3 years	4-week pottery classes;Pottery Studio Membership	Mountain View	Hopefully open availability and competitive pricing to other local studios and the community art center.
Chris Keller	1 - 3 years	4-week pottery classes;Pottery Studio Membership	Menlo Park	Why not?
Anusha Bhat	None at all!	4-week pottery classes;Pottery Studio Membership	Santa Clara	I have family here that I visit often
Amy	None at all!	4-week pottery classes;Single day pottery classes;Pottery Studio Membership	Palo Alto	Retiring. Want a creative outlet.
Lena Beth Schneider	None at all!	4-week pottery classes;Single day pottery classes	Menlo Park	Community and learning something new!
Nova Maldonado	1 - 3 years	4-week pottery classes;Single day pottery classes;Pottery Studio Membership	Menlo Park	Would be so great!!! Something to do afterwork and on weekends!
Jilynnette	3 - 10 years	Pottery Studio Membership	Menlo Park	I moved here less than a year ago and finding a place to do ceramics has been difficult.
Ken Yu	None at all!	4-week pottery classes;Single day pottery classes;Kids afterschool programs, and summer camps;Corporate, and private teambuilding activities, and events	Menlo Park	Convenience
Ileana	None at all!	4-week pottery classes	Palo Alto	To be near my home
Alissa	1 - 3 years	4-week pottery classes;Single day pottery classes	Menlo Park	Fun and convenient



Colleen	None at all!	Single day pottery classes;Kids afterschool programs, and summer camps;Corporate, and private teambuilding activities, and events;Pottery Studio Membership	Palo Alto	Space for creating with friends
Michelle Leo	None at all!	4-week pottery classes;Single day pottery classes;Corporate, and private teambuilding activities, and events;Pottery Studio Membership	Palo Alto	Because I feel like it's closer to my place and also I know there is another pottery studio up north from Redwood City. The commute it's a little bit more complicated for those in the South Bay
Kat Way	1 - 3 years	4-week pottery classes;Single day pottery classes;Kids afterschool programs, and summer camps;Corporate, and private teambuilding activities, and events	Menlo Park	Great activity to do with friends or kids. Kid's birthday parties. Girl Scout events.
Izzy	1 - 3 years	Pottery Studio Membership	Menlo Park	because I love making pottery but don't have access to materials
Cam	1 - 3 years	4-week pottery classes;Single day pottery classes;Pottery Studio Membership	Palo Alto	More options - community art studio routinely full and/or not available
Elliot	1 - 3 years	Single day pottery classes;Pottery Studio Membership	Menlo Park	I took a couple classes in high school and really enjoyed myself, and I haven't been able to sort out a space to do anything at home so having a convenient place nearby would be awesome.
Terry Tsu	1 - 3 years	4-week pottery classes;Pottery Studio Membership	Menlo Park	I'm a painter/maker and wish there were more art studios /art making opportunities nearby. Years ago. I went to PA Art Center for the Clay studio, but it is not always easy to get into the classes there since PA residents have priority
Brianna	None at all!	4-week pottery classes;Single day pottery classes;Pottery Studio Membership	Menlo Park	I've always wanted to learn how to make pottery, this sounds like an amazing opportunity!
David lents	3 - 10 years	4-week pottery classes;Single day pottery classes;Pottery Studio Membership;I have a home wheel but no kiln I have always looking for a place to fire and glaze or just fire would be amazing	Menlo Park	I have the wheel at home but don't have the access to a kiln or firing service I also miss doing classes I used to take at foothill college but thats a little too far and the only other place I have found is clay planet and their firing schedule doesnt work with my schedule. It would be amazing to have a studio and build a community in the area.
Taylor Lord	None at all!	4-week pottery classes;Pottery Studio Membership	Palo Alto	New hobby!
Nancy Christie	> 10 years	Pottery Studio Membership	Menlo Park	Could use another studio on the mid-peninsula
Ashley Xu	None at all!	4-week pottery classes;Pottery Studio Membership	Stanford	I've been wanting to learn pottery for a long time but don't have access to a studio nearby in the Palo Alto area
Fraser	None at all!	4-week pottery classes;Kids afterschool programs, and summer camps;Pottery Studio Membership	Menlo Park	I'd like to explore pottery as a new hobby
Arne Stokstad	1 - 3 years	4-week pottery classes;Kids afterschool programs, and summer camps	Palo Alto	For my son who is 11. It's hard to get him into City of Palo Alto Art Center classes - they fill up so fast.
Rachel	None at all!	4-week pottery classes	Menlo Park	I want to try it!
Lara	None at all!	4-week pottery classes;Single day pottery classes	Menlo Park	I did a little pottery at school and would love to learn to do it properly :)
Vanessa	1 - 3 years	4-week pottery classes;Single day pottery classes;Pottery Studio Membership	Menlo Park	Opportunity to meet people in the area and pick up a hobby/craft that I haven't done in a while.
Michelle Fong	1 - 3 years	4-week pottery classes;Kids afterschool programs, and summer camps	Menlo Park	I'd like to embrace my artistic side more
Michelle	None at all!	4-week pottery classes;Single day pottery classes;Pottery Studio Membership	Redwood City	To start a new skill
Ahna Serendren Morrey	1 - 3 years	4-week pottery classes;Kids afterschool programs, and summer camps	Menlo Park	I am also an artist (a painter), and love seeing more arts opportunities offered in this neighborhood. My daughter is 6 and loves clay, so I'm excited about the possibility of offering her classes right here in the neighborhood
Michelle Furbershaw	None at all!	Single day pottery classes	Menlo Park	Pottery painting and glass fusion
Nami Tutner	None at all!	4-week pottery classes;Single day pottery classes;Pottery Studio Membership	Menlo Park	Existing options are oversubscribed and I would like one close to my home

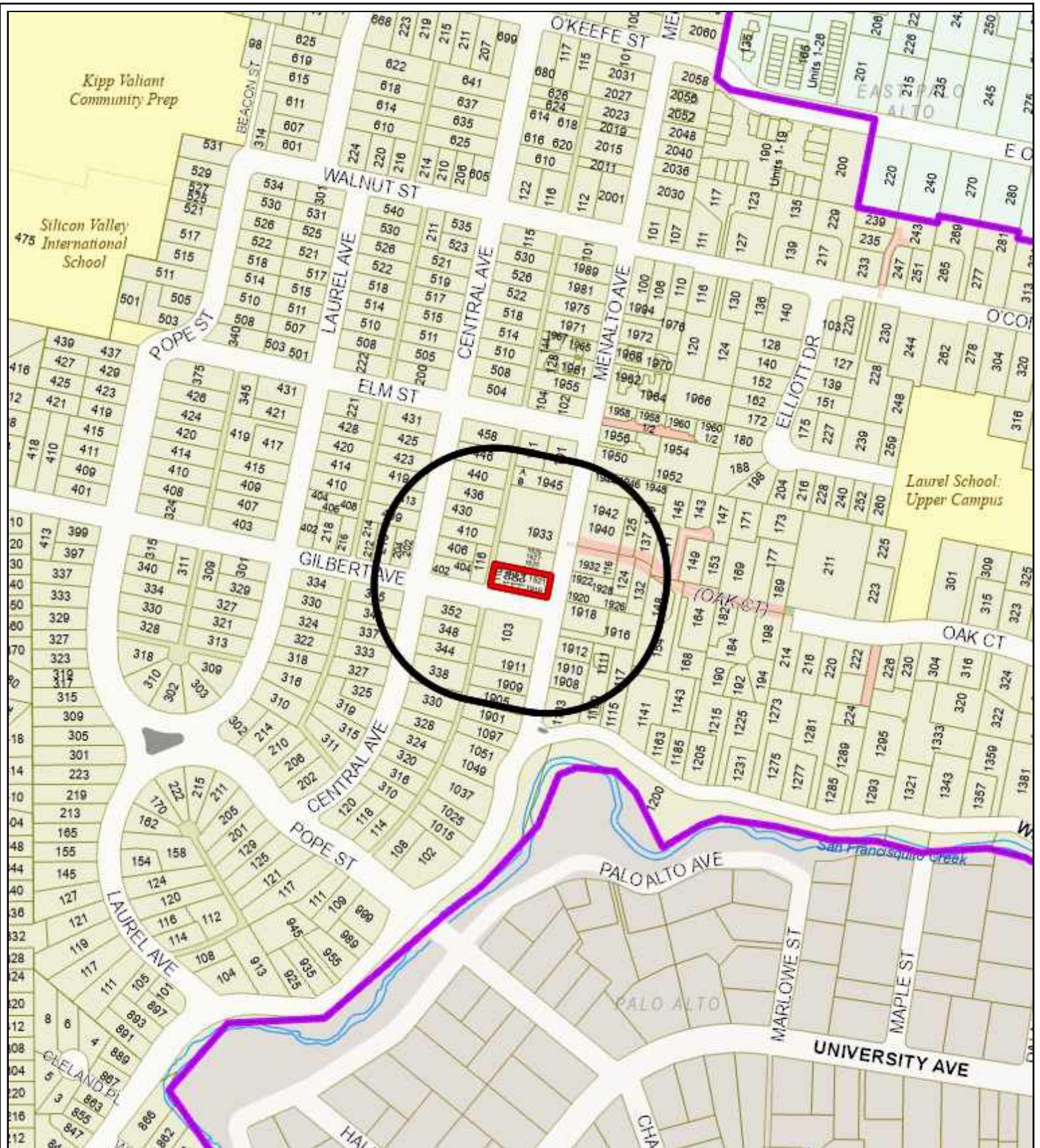
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Lara	None at all!	4-week pottery classes;Single day pottery classes	Menlo Park	I did a little pottery at school and would love to learn to do it properly :)
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Nami Tutner	None at all!	4-week pottery classes;Single day pottery classes;Pottery Studio Membership	Menlo Park	Existing options are oversubscribed and I would like one close to my home
Neil Doshi	None at all!	4-week pottery classes;Single day pottery classes;Kids afterschool programs, and summer camps;Pottery Studio Membership	Menlo Park	I once took a half-day session learning how to use the pottery wheel. I can imagine my family and I making good use of a studio in the area
Barbara	1 - 3 years	Single day pottery classes	Menlo Park	Something different and creative would be great. Especially in the Willows!
Danielle	None at all!	4-week pottery classes;Single day pottery classes;Corporate, and private teambuilding activities, and events;Pottery Studio Membership	Menlo Park	A close by place to be creative. If I like it and learn I'd love a membership

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Rebecca Nathenson	1 - 3 years	4-week pottery classes;Single day pottery classes	Menlo Park	It would be nice to get back to it. I did pottery as a child but not since.
Ariel	None at all	4-week pottery classes;Single day pottery classes;Corporate, and private teambuilding activities, and events;Pottery Studio Membership	San Rafael	To be able to experience pottery
Alessandra	1 - 3 years	Single day pottery classes;Kids afterschool programs, and summer camps	Menlo Park	I'd love the opportunity to make more pottery since I don't have room in my school schedule to be in the ceramics class.
Emma	None at all	4-week pottery classes;Single day pottery classes	Menlo Park	Would love something close by that I can walk/ride to
Ariana	None at all	4-week pottery classes;Single day pottery classes	Menlo Park	Meet people with similar interests and to make stuff I can showcase
Tracey	None at all	4-week pottery classes	Redwood City	Want to make something
Erika	1 - 3 years	4-week pottery classes	Menlo Park	I haven't found anything close by (we're in the neighborhood ) and would love to find a studio to learn and then do drop in classes
Maria	1 - 3 years	4-week pottery classes;Single day pottery classes;Pottery Studio Membership	Menlo Park	Would be great to have something local!
Chris	None at all	4-week pottery classes;Single day pottery classes;Pottery Studio Membership	Menlo Park	So I can pottery
Riley	None at all	4-week pottery classes;Single day pottery classes;Corporate, and private teambuilding activities, and events;Pottery Studio Membership	Redwood City	I'd prefer Redwood City, but I'd like Palo Alto/Menlo Park because there's already one in San Mateo and it's super hard to get into because it's crowded
Pracheeti Desai	1 - 3 years	Single day pottery classes;Kids afterschool programs, and summer camps;Drop in classes would also be great. For my kids, 9 and 11 years old.	Menlo Park	My kids love ceramics and pottery.
Sarah Welsh	None at all	4-week pottery classes;Single day pottery classes;Pottery Studio Membership	Menlo Park	we need one!
Kate McCarthy	1 - 3 years	4-week pottery classes;Single day pottery classes;Kids afterschool programs, and summer camps;Pottery Studio Membership	Menlo Park	Would be great to have more local options. We currently do classes at PAAC, but availability is limited, especially for non-Palo Alto residents.
Michelle Satkin	1 - 3 years	4-week pottery classes;Single day pottery classes;Kids afterschool programs, and summer camps;Corporate, and private teambuilding activities, and events;Pottery Studio Membership	Menlo Park	More art please! Sign us up!
Aida	None at all	Single day pottery classes	Palo Alto	Ive always wanted to try pottery
Julia Dunn	None at all	4-week pottery classes;Single day pottery classes	Menlo Park	I would like to learn to make ceramics as a hobby
Katie Blank	1 - 3 years	4-week pottery classes;Single day pottery classes	Menlo Park	Fun after work activity
Andrea	None at all	4-week pottery classes;Pottery Studio Membership	Menlo Park	Yes
Joseph Price	1 - 3 years	Pottery Studio Membership;space in firings	Menlo Park	to create more in community!
Mercedes Mikhailov	None at all	4-week pottery classes;Single day pottery classes;Pottery Studio Membership	Redwood City	for fun!!
Christine Holland	None at all	4-week pottery classes;Pottery Studio Membership	Menlo Park	I took a wheel class some time ago, never really "got it" but I want to try again.
Marisa Wallwork	None at all	4-week pottery classes;Single day pottery classes;Corporate, and private teambuilding activities, and events;Pottery Studio Membership	Redwood City	To build community while learning 💕
Morgan Ames	1 - 3 years	4-week pottery classes;Single day pottery classes;Kids afterschool programs, and summer camps;Pottery Studio Membership	Menlo Park	I have been really wanting to get back into pottery, and to introduce our kids!
Maggie	None at all	4-week pottery classes;Single day pottery classes;Pottery Studio Membership	Menlo Park	I would love to have a space to learn and explore this hobby after work!
Purvi A19	1 - 3 years	Single day pottery classes;Kids afterschool programs, and summer camps	Menlo Park	Menlo Park - willows

Lisa Buda	None at all!	Single day pottery classes	Menlo Park	Seems like something fun to do with my kids
Lisa Daly	None at all!	4-week pottery classes	Menlo Park	Learn and have fun
Carson Predovich	None at all!	4-week pottery classes;Single day pottery classes;Corporate, and private teambuilding activities, and events;Pottery Studio Membership	Redwood City	Would love a studio in Redwood City!
Zoe	1 - 3 years	4-week pottery classes;Single day pottery classes;Pottery Studio Membership	Menlo Park	We need an affordable one!
Mor Golani	1 - 3 years	Kids afterschool programs, and summer camps;Pottery Studio Membership;Weekly class	Menlo Park	I would love to come regularly, I hope late evening hours will be available.
Indrani Das	1 - 3 years	Pottery Studio Membership	Menlo Park	I am a physician and use pottery as a creative outlet, would love to build community and find peace in a pottery studio near home as my current one is far away
Elizabeth Newell	None at all!	4-week pottery classes;Single day pottery classes;Pottery Studio Membership	Menlo Park	Looking for local adult classes
Ray	None at all!	4-week pottery classes;Single day pottery classes	Menlo Park	I'd like to try out doing pottery for fun.
Jennifer Lutton	None at all!	4-week pottery classes	Menlo Park	Menlo Park
Erica	None at all!	4-week pottery classes;Single day pottery classes;Kids afterschool programs, and summer camps;Pottery Studio Membership	Menlo Park	I've always wanted to have access to a pottery wheel and make things
Katey Crews	None at all!	4-week pottery classes;Single day pottery classes;Kids afterschool programs, and summer camps	Menlo Park	I have been wanting to do pottery for a while but the Palo Alto art center classes are always full. I am interested in hand building.
Hannah	None at all!	4-week pottery classes;Single day pottery classes	Palo Alto	More crafting time!
Nick merz	None at all!	4-week pottery classes;Kids afterschool programs, and summer camps	Menlo Park	I love ceramics and I love making!
Sandra Pachaud	None at all!	4-week pottery classes	Menlo Park	To learn pottery and have a studio close by
Ali	None at all!	4-week pottery classes	Palo Alto	Not sure! But it's good to have one close by!
Stelle	1 - 3 years	4-week pottery classes;Pottery Studio Membership	Menlo Park	Having a pottery studio in walking distance.
Tian	1 - 3 years	Kids afterschool programs, and summer camps;Pottery Studio Membership	Menlo Park	It's fun :)
Anira	None at all!	Single day pottery classes	Livermore	Yes
Miriam	None at all!	4-week pottery classes;Single day pottery classes;Kids afterschool programs, and summer camps	Menlo Park	I have always wanted to learn pottery. I'd love to do it with my daughter
Will	1 - 3 years	4-week pottery classes;Single day pottery classes;Corporate, and private teambuilding activities, and events	Menlo Park	A kiln service closer to home than San jose would be amazing.
Morgan	1 - 3 years	Kids afterschool programs, and summer camps;Pottery Studio Membership	Menlo Park	I'd love a place in the neighborhood to fire pieces that I make on my wheel are home

## 1919 Menalto Avenue – Attachment A, Exhibit C

<b>LOCATION:</b> 1919 Menalto Avenue	<b>PROJECT NUMBER:</b> PLN2024-00039	<b>APPLICANT:</b> Jeffrey Liang, Spiffy Pottery Studio	<b>OWNER:</b> Menalto LLC
<p><b>PROJECT CONDITIONS:</b></p> <p>1. The use permit shall be subject to the following standard conditions:</p> <ol style="list-style-type: none"> <li>a. The applicant shall be required to apply for a building permit within one year from the date of approval (by December 2, 2025) for the use permit to remain in effect.</li> <li>b. Development of the project shall be substantially in conformance with the plans prepared Jeffrey Liang, consisting of five plan sheets, dated received November 19, 2024, and the applicant's project description letter, dated received November 19, 2024, and approved by the Planning Commission on December 2, 2024, except as modified by the conditions contained herein, subject to review and approval of the Planning Division.</li> <li>c. Prior to building permit issuance, the applicant shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.</li> <li>d. Prior to building permit issuance, the applicant shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.</li> <li>e. Prior to building permit issuance, if applicable, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.</li> <li>f. Prior to building permit issuance, the applicant shall pay all fees incurred through staff time spent reviewing the application.</li> <li>g. The applicant or permittee shall defend, indemnify, and hold harmless the City of Menlo Park or its agents, officers, and employees from any claim, action, or proceeding against the City of Menlo Park or its agents, officers, or employees to attack, set aside, void, or annul an approval of the Planning Commission, City Council, Community Development Director, or any other department, committee, or agency of the City concerning a development, variance, permit, or land use approval which action is brought within the time period provided for in any applicable statute; provided, however, that the applicant's or permittee's duty to so defend, indemnify, and hold harmless shall be subject to the City's promptly notifying the applicant or permittee of any said claim, action, or proceeding and the City's full cooperation in the applicant's or permittee's defense of said claims, actions, or proceedings.</li> <li>h. Notice of Fees Protest – The applicant may protest any fees, dedications, reservations, or other exactions imposed by the City as part of the approval or as a condition of approval of this development. Per California Government Code 66020, this 90-day protest period has begun as of the date of the approval of this application.</li> </ol>			



City of Menlo Park  
 Location Map  
 1919 Menalto Avenue (PLN2024-00039)



**Chan, Calvin**

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**From:** Lusann Yang <lusann@gmail.com>  
**Sent:** Wednesday, November 20, 2024 10:34 AM  
**To:** Chan, Calvin  
**Subject:** support for Spiffy Pottery Studio

**CAUTION: This email originated from outside of the organization. Unless you recognize the sender's email address and know the content is safe, DO NOT click links, open attachments or reply.**

Calvin,

My name is Lusann Yang, and I'm a homeowner and resident of 1143 Woodland Ave.

I'm writing because I received a notice about a planning commission meeting regarding a use permit request for Spiffy Pottery Studio at 1919 Menalto Ave.

I am *completely* and utterly delighted at the thought of a neighborhood pottery studio and I am thoroughly supportive. A pottery studio is not only a place of art and creativity - it is also serves as a safe third space where people of all ages can mingle.

best,  
Lusann

## Chan, Calvin

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**From:** DOwen1701 <dowen1701@aol.com>  
**Sent:** Thursday, October 10, 2024 4:06 PM  
**To:** Chan, Calvin  
**Subject:** 1919 Menalto Ave. use permit

**CAUTION: This email originated from outside of the organization. Unless you recognize the sender's email address and know the content is safe, DO NOT click links, open attachments or reply.**

Dear Calvin Chan:

I live at 1922 Menalto Ave. and I received a mailer stating that the address of 1919 Menalto Ave. has a request for a use permit to operate a pottery studio. It further states that the users want to have access between the hours of twelve midnight and 6 a.m. I am totally opposed to this time period being used for business! Here are my reasons:

1. My neighbors and I get trucks in the early morning around 5 and 6 a.m. to deliver to the grocery store across the street. Between their loud engines and beep-beep noise when backing up it is very hard to sleep at that time.
2. We have two dance studios across the street sometimes playing loud annoying music throughout the day.
3. There is a cafe also across the street that sometimes plays distracting music on certain days.
4. Often there are noisy cars or people playing loud music as they drive by. Sometimes they leave their blasting music on while they are temporarily parked at the grocery store while they shop.

The cacophony of annoying sounds throughout the day is already quite upsetting. Adding yet another disruption to the only time that is relatively quiet is totally unacceptable! Even people talking in low voices while neighbors and I are trying to sleep would be distracting (during some weather our windows need to be open and we'd be even more susceptible to sounds). The business section across the street may be zoned for businesses but it is right next to a residential area and consideration must be made for quality of life to those residences.

Please do NOT grant this permit during late night and early morning hours. It is not fair to my neighbors and I to endure even more disturbances. Thank you.

Derek Owen  
1922 Menalto Ave.  
Menlo Park, CA 94025  
(650) 322-6348



## Chan, Calvin

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**From:** Elizabeth McCarthy <emtmcc@yahoo.com>  
**Sent:** Monday, October 14, 2024 7:31 PM  
**To:** Chan, Calvin  
**Subject:** 1919 Menalto use permit comment

CAUTION: This email originated from outside of the organization. Unless you recognize the sender's email address and know the content is safe, DO NOT click links, open attachments or reply.

Hello:

I am writing in regards to the use permit application by Jeffery Liang for 1919 Menalto Ave. The use permit request includes business operations between the hours of 12 midnight and 6 AM, for 24-hour access to the business.

For the past 16 years I have lived directly across the street from 1919 Menalto Avenue. This is a family neighborhood. We residents have a reasonable expectation for peace and quiet during normal sleeping hours. A 24-hour business is not appropriate at this location. It would bring unnecessary noise and activity, with no justifiable greater good for the community.

Having a 24-hour business would infringe on my right to peaceful enjoyment of my home. Moreover, it is not in alignment with the values of the City, to promote a livable community.

I strongly urge the city to reject this application.

Sincerely,  
Elizabeth McCarthy  
1920 Menalto Avenue

**Chan, Calvin**

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**From:** Jane Price <jane\_price@comcast.net>  
**Sent:** Tuesday, October 15, 2024 3:02 PM  
**To:** Chan, Calvin  
**Subject:** Fwd: 24 hour pottery studio at 1919 Menalto Ave in Menlo Park

**CAUTION: This email originated from outside of the organization. Unless you recognize the sender's email address and know the content is safe, DO NOT click links, open attachments or reply.**

Hello, I live directly across the street from the proposed 24 hour pottery studio on the corner of Menalto Avenue and Gilbert Street.

I objected this studio being open 24 hours. It will cause car noise and people talking at night when residents are trying to sleep.

The storefront is in a very small shopping area. The businesses in that area all closed at reasonable hours and are not open all night.

Please encourage the Person who wants to open this to find a space that is in a more suitable area.

Thank you



## STAFF REPORT

### Planning Commission

**Meeting Date:** 12/2/2024  
**Staff Report Number:** 24-054-PC

**Regular Business:** Review of draft 2025 Planning Commission meeting dates

### Recommendation

Staff recommends that the Planning Commission provide feedback on the proposed 2025 Planning Commission calendar, included as Attachment A.

### Policy Issues

Review of the draft Planning Commission calendar does not raise any particular policy issues.

### Background

Each year, the Planning Commission reviews the Planning Commission calendar for the upcoming year.

### Analysis

Attachment A identifies the proposed 2025 Planning Commission meeting dates. The proposed meeting dates were selected with consideration of the following factors:

- Typical schedule of two meetings per month on Mondays;
- City holidays and other noted celebrations and religious holidays;
- Reduction of scheduling conflicts with other City Commission meetings; and
- Avoidance of back-to-back meetings when possible.

At times, the Planning Commission may also need to schedule study sessions or special meetings. These meetings can be scheduled on an as needed basis, and therefore, have not been identified on the calendar.

In addition to the above listed factors, the draft 2025 Planning Commission calendar takes into account Columbus Day/Indigenous Peoples' Day, which while not a City holiday, is observed by the local school districts and some government and private sector organizations. At the December 2 meeting, the Commissioners should be prepared to discuss their schedules to determine if any modifications are needed to the draft schedule. Staff recognizes that schedule conflicts may arise in the future, but if the Commission can determine if any meeting dates would result in a lack of a quorum, these dates should be avoided now. For example, if a Planning Commissioner is aware of a particularly problematic conflict with a local school break, that can be discussed at this meeting.

The Planning Commission may make a formal motion/second and vote to approve the draft calendar (with or without revisions), or Commissioners may provide individual input for staff to review and finalize administratively. Once the Commission has approved the 2025 meeting dates or provided direction to staff,

staff will provide the City Clerk with the information and update the City's webpage.

### **Impact on City Resources**

Review of the draft Planning Commission calendar does not affect City resources.

### **Environmental Review**

Review of the draft Planning Commission calendar is not a "project" under the California Environmental Quality Act (CEQA), and thus no environmental review is required.

### **Public Notice**

Public notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting.

### **Attachments**

A. Draft 2025 Planning Commission Calendar

Report prepared by:  
Kyle Perata, Assistant Community Development Director

# PLANNING COMMISSION

## DRAFT MEETING DATES FOR 2025

**January**

S	M	T	W	T	F	S
			1	2	3	4
5	6	7	8	9	10	11
12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28	29	30	31	

**February**

S	M	T	W	T	F	S
						1
2	3	4	5	6	7	8
9	10	11	12	13	14	15
16	17	18	19	20	21	22
23	24	25	26	27		

**March**

S	M	T	W	T	F	S
						1
2	3	4	5	6	7	8
9	10	11	12	13	14	15
16	17	18	19	20	21	22
23	24	25	26	27	28	29
30						

**April**

S	M	T	W	T	F	S
		1	2	3	4	5
6	7	8	9	10	11	12
13	14	15	16	17	18	19
20	21	22	23	24	25	26
27	28	29	30			

**May**

S	M	T	W	T	F	S
				1	2	3
4	5	6	7	8	9	10
11	12	13	14	15	16	17
18	19	20	21	22	23	24
25	26	27	28	29	30	31

**June**

S	M	T	W	T	F	S
1	2	3	4	5	6	7
8	9	10	11	12	13	14
15	16	17	18	19	20	21
22	23	24	25	26	27	28
29	30					

**July**

S	M	T	W	T	F	S
		1	2	3	4	5
6	7	8	9	10	11	12
13	14	15	16	17	18	19
20	21	22	23	24	25	26
27	28	29	30	31		

**August**

S	M	T	W	T	F	S
					1	2
3	4	5	6	7	8	9
10	11	12	13	14	15	16
17	18	19	20	21	22	23
24	25	26	27	28	29	30
31						

**September**

S	M	T	W	T	F	S
	1	2	3	4	5	6
7	8	9	10	11	12	13
14	15	16	17	18	19	20
21	22	23	24	25	26	27
28	29	30				

**October**

S	M	T	W	T	F	S
			1	2	3	4
5	6	7	8	9	10	11
12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28	29	30	31	

**November**

S	M	T	W	T	F	S
						1
2	3	4	5	6	7	8
9	10	11	12	13	14	15
16	17	18	19	20	21	22
23	24	25	26	27	28	29
30						

**December**

S	M	T	W	T	F	S
	1	2	3	4	5	6
7	8	9	10	11	12	13
14	15	16	17	18	19	20
21	22	23	24	25	26	27
28	29	30	31			

<b>PC MEETINGS</b>	<b>CITY HALL CLOSED</b>
<p>Note: meeting dates are subject to change</p>	