



REGULAR MEETING AGENDA

Date: 3/24/2025
Time: 7:00 p.m.
Location: Zoom.us/join – ID# 846 9472 6242 and
City Council Chambers
751 Laurel St., Menlo Park, CA 94025

Members of the public can listen to the meeting and participate using the following methods.

How to participate in the meeting

- Access the live meeting, in-person, at the City Council Chambers
- Access the meeting real-time online at:
zoom.us/join – Meeting ID# 846 9472 6242
- Access the meeting real-time via telephone (listen only mode) at:
(669) 900-6833
Regular Meeting ID # 846 9472 6242
Press *9 to raise hand to speak
- Submit a written comment online up to 1-hour before the meeting start time:
planning.commission@menlopark.gov*
Please include the agenda item number related to your comment.

*Written comments are accepted up to 1 hour before the meeting start time. Written messages are provided to the Planning Commission at the appropriate time in their meeting.

Subject to change: The format of this meeting may be altered or the meeting may be canceled. You may check on the status of the meeting by visiting the city website menlopark.gov. The instructions for logging on to the webinar and/or the access code is subject to change. If you have difficulty accessing the webinar, please check the latest online edition of the posted agenda for updated information (menlopark.gov/agendas).

Regular Meeting

A. Call To Order

B. Roll Call

C. Reports and Announcements

D. Public Comment

Under “Public Comment,” the public may address the Commission on any subject not listed on the agenda. Each speaker may address the Commission once under public comment for a limit of three minutes. You are not required to provide your name or City of residence, but it is helpful. The Commission cannot act on items not listed on the agenda and, therefore, the Commission cannot respond to non-agenda issues brought up under Public Comment other than to provide general information.

E. Consent Calendar

None

F. Public Hearing

F1. Use Permit/Burhan Baba/304 O'Keefe St.:

Consider and adopt a resolution to approve a use permit for a new two-story residence on a substandard with regard to lot width and area in the R-1-U (Single Family Urban Residential) zoning district and determine this action is categorically exempt under CEQA Guidelines Section 15303's Class 3 exemption for new construction or conversion of small structures. The proposal includes an attached accessory dwelling unit (ADU), which is not subject to discretionary review. The project includes one development-related heritage tree removal, which was reviewed and conditionally approved by the City Arborist. ([Staff Report #25-011-PC](#))

F2. Use Permit Revision/Caroline Leites/842 Hermosa Way:

Consider and adopt a resolution to approve a use permit revision for an existing two-story, single-family residence with a basement on a substandard lot in the R-E (Residential Estate) zoning district. The original use permit was granted in 2006, and the proposed revisions include a second-story addition above the existing attached garage and along the west (left) side. Determine this action is categorically exempt under CEQA Guidelines Section 15301's Class 1 exemption for existing facilities. ([Staff Report #25-012-PC](#))

F3. Use Permit/SFF 3565 Haven, LLC/3565 Haven Ave.:

Consider and adopt a resolution to approve a use permit for the use and storage of hazardous materials associated with a research and development business located in the M-2 (General Industrial) zoning district, and determine this action is categorically exempt under CEQA Guidelines Section 15301's Class 1 exemption for existing facilities. ([Staff Report #25-013-PC](#))

G. Regular Business

- G1. City of Menlo Park 2024 General Plan Annual Progress Report:
Consider and adopt a resolution recommending the City Council accept the 2024 General Plan Annual Progress Report, including the Housing Element and Environmental Justice Element. Review of the APR is not a project under CEQA. ([Staff Report #25-014-PC](#))

H. Informational Items

- H1. Future Planning Commission Meeting Schedule – The upcoming Planning Commission meetings are listed here, for reference. No action will be taken on the meeting schedule, although individual Commissioners may notify staff of planned absences.

- Regular Meeting: April 14, 2025
- Regular Meeting: April 28, 2025

I. Adjournment

At every regular meeting of the Planning Commission, in addition to the public comment period where the public shall have the right to address the Planning Commission on any matters of public interest not listed on the agenda, members of the public have the right to directly address the Planning Commission on any item listed on the agenda at a time designated by the chair, either before or during the Planning Commission's consideration of the item.

At every special meeting of the Planning Commission, members of the public have the right to directly address the Planning Commission on any item listed on the agenda at a time designated by the chair, either before or during consideration of the item. For appeal hearings, appellant and applicant shall each have 10 minutes for presentations.

If you challenge any of the items listed on this agenda in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the City of Menlo Park at, or before, the public hearing.

Any writing that is distributed to a majority of the Planning Commission by any person in connection with an agenda item is a public record (subject to any exemption under the Public Records Act) and is available by request by emailing the city clerk at jaherren@menlopark.gov. Persons with disabilities, who require auxiliary aids or services in attending or participating in Planning Commission meetings, may call the City Clerk's Office at 650-330-6620.

Agendas are posted in accordance with Cal. Gov. Code §54954.2(a) or §54956. Members of the public can view electronic agendas and staff reports by accessing the city website at menlopark.gov/agendas and can receive email notifications of agenda postings by subscribing at menlopark.gov/subscribe. Agendas and staff reports may also be obtained by contacting City Clerk at 650-330-6620. (Posted: 3/20/2025)



STAFF REPORT

Planning Commission

Meeting Date:

3/24/2025

Staff Report Number:

25-011-PC

Public Hearing:

Consider and adopt a resolution to approve a use permit to demolish an existing two-story, single-family residence to construct a new two-story, single-family residence on a substandard lot with regard to minimum lot width and area in the R-1-U (Single-Family Urban) zoning district at 304 O'Keefe St., and determine this action is categorically exempt under CEQA Guidelines Section 15303's Class 3 exemption for new construction or conversion of small structures. The proposal includes an attached accessory dwelling unit (ADU), which is a permitted use and not subject to discretionary review. The project also includes one development-related heritage tree removal, which was reviewed and conditionally approved by the City Arborist.

Recommendation

Staff recommends that the Planning Commission adopt a resolution approving a use permit to demolish an existing two-story, single-family residence to construct a new two-story, single-family residence on a substandard lot with regard to minimum lot width and area in the R-1-U (Single-Family Urban) zoning district. The proposal also includes an attached accessory dwelling unit (ADU), which is not subject to discretionary review. The project includes one development-related heritage tree removal, which was reviewed and conditionally approved by the City Arborist. The draft resolution, including the recommended actions and conditions of approval, is included as Attachment A.

Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposed project.

Background

Site location

The project site is located at 304 O'Keefe St., at the northwest corner of the intersection of O'Keefe Street and Laurel Avenue, in the Willows neighborhood. All surrounding properties are also located in the R-1-U zoning district. The surrounding area contains a mixture of older and newer single-family residences with both one- and two-story designs. A variety of architectural styles are present in the neighborhood, including modern, ranch, and craftsman styles. A location map is included as Attachment B.

Analysis

Project description

The lot is substandard with regard to minimum lot width, with a width of approximately 45 feet where a minimum of 65 feet is required, and lot area, with a lot area of 6,487 square feet where 7,000 square feet is required. The lot is currently occupied by a 2,177 square-foot, two-story, single-family residence with an attached garage, originally built around 1952, with a second-story addition constructed over the side facing two-car garage in 1964. The existing garage appears to have been converted to an ADU without a permit. The applicant is proposing to demolish the existing two-story residence and construct a new two-story, single-family residence with an attached front facing, single-car garage. The development would also include an attached, 719-square-foot ADU on the first floor, accessed by an independent entryway on the rear left side.

The proposed residence would include a total of four bedrooms and three and a half bathrooms. The proposed residence and ADU are designed around a central courtyard. The proposed residence would meet all Zoning Ordinance requirements for setbacks, lot coverage, floor area limit (FAL), daylight plane, parking, and height. Of particular note with regard to Zoning Ordinance requirements:

- The main house and ADU together would total 3,466 square feet and would exceed the maximum FAL of 2,800 square feet for the site.
 - The project is allowed to exceed the FAL and building coverage limits by up to 800 square feet in order to accommodate the 719-square-foot, attached ADU.
- The residence would have a rear setback of 45.7 feet, substantially greater than the required minimum of 20 feet.
- The left-side (corner-side) of the proposed residence would feature the attached first floor ADU which would have a setback of four feet, as permitted. The corner-side setback for the main residence would meet the 12-foot minimum requirement.

Since the subject property is a corner lot, the residence has been designed to have the main entryway face O'Keefe Street, while vehicular access to the property would be from Laurel Avenue. The proposed residence would include a front-loading, one-car garage on the left-side, set back 20 feet, fronting Laurel Avenue. Paving along the front of the property would allow access to the garage, as well as an uncovered parking space to the right for the main residence. As part of the building permit application the applicant would be required to document compliance with the Transportation Division's access requirements for the uncovered parking space. This would be implemented and ensured as part of project specific condition 2a. Additionally, the driveway would allow parking of a third vehicle on the property for the proposed ADU, which is permitted to be a tandem space within the front setback. The potential impact of the garage and the uncovered parking on the streetscape would be reduced by two proposed Chinese pistache trees, one on the left-side of the garage and one on the right-side in the right-of-way. The Public Works Department reviewed and included a recommended project condition that the existing sidewalks along both O'Keefe Street and Laurel Avenue be removed and replaced with new sidewalk, curb and gutter along the entire frontages. This would be implemented and ensured as part of project specific condition 2b.

The proposal also includes an attached, first-floor ADU along the left side of the residence, set back four feet from O'Keefe Street. The main residence and the ADU are designed in a cohesive manner, with the ADU's massing integrated with that of the main residence. The central feature of the proposed design is a centrally located courtyard in the middle of proposed development, which would bring light into the home and be accessible from both the ADU and the main residence.

The proposal includes a second floor balcony over the central courtyard. The balcony would open up to the

courtyard, with only one side open and visible from O’Keefe Street. Balconies in single-family residential districts require a minimum 20-foot setback along each side and a minimum 30-foot rear setback. The balcony would be surrounded by guardrails, separating it from the rest of the flat roof, which would be inaccessible, and set back 20 feet from the left-side property line facing O’Keefe Street. The other three sides would be surrounded by the proposed second story, creating an enclosure which would create privacy for the proposed balcony. A data table summarizing parcel and project characteristics is included as Attachment C. The project plans and project description letter are included as Attachment A, Exhibits A and B, respectively.

Design and materials

As described in the project description letter, the proposed project is designed in a contemporary architectural style, which would offer a harmonious blend of modern aesthetics and functionality. The residence would have a combination of a flat roof on the first floor and, flat and gable roof forms on the second level. The first-floor flat roof would have a thermoplastic polyolefin roofing system and a standing seam metal roof over the second-story would add a modern touch while ensuring durability and longevity. The residence would feature a blend of painted stucco creating visual interest through use of different colors. Additionally, warm-toned wooden siding, complemented by dark grey window and door trims, would enhance the overall aesthetic. The proposed windows would have aluminum frame and glass panels with no grids. The second-story window sill heights would be a minimum of three feet, with the exception of one window in the office which would have a sill height of two-feet and two floor length windows in the master bedroom all facing O’Keefe Street. The second-floor windows facing O’Keefe Street would be setback approximately 24 feet from the property line. The second floor would be set back from the first floor at the left side to reduce the overall massing and visual impact.

Staff believes that the scale, materials, and style of the proposed residence would result in a consistent aesthetic approach, and the proposed project would be generally consistent with the broader neighborhood, given the variety of architectural styles and sizes of structures in the area.

Trees and landscaping

The applicant submitted an arborist report (Attachment A, Exhibit C), detailing the species, size, and conditions of on-site and nearby trees. A total of five trees were assessed, which include three onsite heritage trees of which two are proposed for removal. The City Arborist has reviewed and approved two heritage tree removal permits. The tree proposed for removal due to its conflict with the proposed development is pending Planning Commission action. Two 24-inch Chinese pistache trees have been proposed and approved as replacements. The heritage tree removal permit was noticed and no appeals were filed. The project also includes planting of three additional Crape Myrtle street trees along the O’Keefe Street frontage.

Tree number	Species	Size (DBH, in inches)	Disposition	Notes
1	Southern magnolia	17.2	Remove (health)	Heritage
2	Avocado	15.5	Remove (development)	Heritage
3	Monterey pine	23	Retain	Heritage
4*	Queen palm	14	Retain	Non-heritage

5*	Queen palm	14	Retain	Non-heritage
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*denotes neighboring trees

To protect the heritage and non-heritage trees on site, the arborist report has identified tree protection fencing during construction. The report also highlights necessary pre- and post-construction measures. All recommended tree protection measures identified in the arborist report would be implemented and ensured as part of condition 1h.

Correspondence

The applicant indicates that they conducted neighborhood outreach by mailing copies of the plans and a cover letter to their neighbors, included in the project description letter (Attachment A, Exhibit B). The applicant indicates that some neighbors showed support, whereas the immediate neighbor on the right (707 Laurel Avenue) had concerns about daylight impacts from the new two-story residence, proposed window locations, sizes and materials of the windows, and the removal of the Magnolia tree (tree #1). The applicant discussed the project and showed plans to the neighbor, no further comments were received. As of the publication of this report, staff has not received any direct correspondence.

Conclusion

Staff believes that the design and materials of the proposed residence are compatible with the surrounding neighborhood, which features a mixture of one-story and two-story homes with varied architectural styles. The potential visual impact of the front-facing garage and uncovered parking space on the streetscape would be reduced by two new Chinese pistache trees, one on the front-left side of the property, and one on the right side in the right-of-way. The applicant's proposal would not be out of scale for the neighborhood and would comply with all applicable Zoning Ordinance requirements, including floor area limit (with allowed exceedance for the ADU), building coverage, daylight plane, and setbacks. Staff recommends that the Planning Commission approve the proposed project.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The project is categorically exempt under Class 3 (Section 15303, "New construction or conversion of small structures") of the current California Environmental Quality Act (CEQA) Guidelines.

Public Notice

Public notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Appeal Period

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

Attachments

- A. Draft Planning Commission Resolution approving the use permit
 - Exhibits to Attachment A
 - A. Project Plans
 - B. Project Description Letter
 - C. Arborist Report
 - D. Conditions of Approval
- B. Location Map
- C. Data Table

Report prepared by:
Fahteen Khan, Associate Planner

Report reviewed by:
Corinna Sandmeier, Principal Planner

PLANNING COMMISSION RESOLUTION NO. 2025- 0XX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MENLO PARK APPROVING A USE PERMIT TO DEMOLISH AN EXISTING TWO-STORY, SINGLE-FAMILY RESIDENCE AND CONSTRUCT A NEW TWO-STORY, SINGLE-FAMILY RESIDENCE ON A SUBSTANDARD LOT WITH REGARD TO MINIMUM WIDTH, DEPTH AND AREA IN THE R-1-U (SINGLE-FAMILY URBAN) ZONING DISTRICT AT 304 O'KEEFE ST.

WHEREAS, the City of Menlo Park ("City") received an application requesting a use permit to demolish an existing two-story, single-family residence and construct a new two-story single-family residence on a substandard lot with regard to lot width and area in the R-1-U (Single Family Urban Residential) zoning district. The proposal also includes an attached accessory dwelling unit (ADU), which is a permitted use, and not subject to discretionary review (collectively, the "Project") from Burhan Baba ("Applicant") on behalf of Rohit Khare and Smruti Vidwans ("Owner"), located at 304 O'Keefe St. (APN 062-204-160) ("Property"). The Project use permit is depicted in and subject to the development plans and project description letter, which are attached hereto as Exhibit A and Exhibit B, respectively, and incorporated herein by this reference; and

WHEREAS, the Property is located in the Single Family Urban Residential (R-1-U) district. The R-1-U district supports single-family residential uses; and

WHEREAS, the proposed project would comply with all objective standards of the R-1-U district; and

WHEREAS, the proposed Project was reviewed by the Engineering, Building and Transportation Divisions and found to be in compliance with City standards; and

WHEREAS, the Applicant submitted an arborist report (Exhibit C) prepared by tree Management Experts, which was reviewed by the City Arborist and found to be in compliance with the Heritage Tree Ordinance, and proposes mitigation measures to adequately protect heritage trees in the vicinity of the project; and

WHEREAS, the Applicant has proposed to remove two heritage trees which were reviewed and tentatively approved pending Planning Commission review as part of Heritage Tree Removal Permit number HTR2024-00170; and

WHEREAS, the Project, requires discretionary actions by the City as summarized above, and therefore the California Environmental Quality Act ("CEQA," Public Resources Code Section §21000 et seq.) and CEQA Guidelines (Cal. Code of Regulations, Title 14, §15000 et seq.) require analysis and a determination regarding the Project's environmental impacts; and

WHEREAS, the City is the lead agency, as defined by CEQA and the CEQA Guidelines, and is therefore responsible for the preparation, consideration, certification, and approval of environmental documents for the Project; and

WHEREAS, the Project is categorically exempt from environmental review pursuant to Cal. Code of Regulations, Title 14, §15303 et seq. (New construction or conversion of small structures); and

WHEREAS, all required public notices and public hearings were duly given and held according to law; and

WHEREAS, at a duly and properly noticed public hearing held on March 24, 2025, the Planning Commission fully reviewed, considered, and evaluated the whole of the record including all public and written comments, pertinent information, documents and plans, prior to taking action regarding the Project.

NOW, THEREFORE, THE MENLO PARK PLANNING COMMISSION HEREBY RESOLVES AS FOLLOWS:

Section 1. Recitals. The Planning Commission has considered the full record before it, which may include but is not limited to such things as the staff report, public testimony, and other materials and evidence submitted or provided, and the Planning Commission finds the foregoing recitals are true and correct, and they are hereby incorporated by reference into this Resolution.

Section 2. Conditional Use Permit Findings. The Planning Commission of the City of Menlo Park does hereby make the following Findings:

The approval of the use permit for the construction of a new two-story residence on a substandard lot is granted based on the following findings, which are made pursuant to Menlo Park Municipal Code Section 16.82.030:

1. That the establishment, maintenance, or operation of the use applied for will, under the circumstance of the particular case, not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing in the neighborhood of such proposed use, or injurious or detrimental to property and improvements in the neighborhood or the general welfare of the city because:
 - a. Consideration and due regard were given to the nature and condition of all adjacent uses and structures, and to general plans for the area in question and surrounding areas, and impact of the application hereon; in that, the proposed use permit is consistent with the R-1-U zoning district and the General Plan because two-story residences are allowed to be constructed on substandard lots subject to granting of a use permit and provided that the proposed residence conforms to applicable zoning

standards, including, but not limited to, minimum setbacks, maximum floor area limit, and maximum building coverage.

- b. The proposed residence would include the required number of off-street parking spaces because one covered and one uncovered parking space would be required at a minimum and the proposal includes one uncovered and one covered parking space in an attached single-car garage.
- c. The proposed Project is designed to meet all the applicable codes and ordinances of the City of Menlo Park Municipal Code and the Commission concludes that the Project would not be detrimental to the health, safety, and welfare of the surrounding community as the proposed residence would be located in a single-family neighborhood and has been designed in a way to complement the existing scale and style of surrounding homes.

Section 3. Conditional Use Permit. The Planning Commission approves Use Permit No. PLN2022-00059, which use permit is depicted in and subject to the development plans and project description letter, which are attached hereto and incorporated herein by this reference as Exhibit A and Exhibit B, respectively. The Use Permit is conditioned in conformance with the conditions attached hereto and incorporated herein by this reference as Exhibit D.

Section 4. ENVIRONMENTAL REVIEW. The Planning Commission makes the following findings, based on its independent judgment after considering the Project, and having reviewed and taken into consideration all written and oral information submitted in this matter:

1. The Project is categorically exempt from environmental review pursuant to Cal. Code of Regulations, Title 14, §15303 et seq. (New construction or conversion of small structures).

Section 5. SEVERABILITY

If any term, provision, or portion of these findings or the application of these findings to a particular situation is held by a court to be invalid, void or unenforceable, the remaining provisions of these findings, or their application to other actions related to the Project, shall continue in full force and effect unless amended or modified by the City.

I, Kyle Perata, Assistant Community Development Director of the City of Menlo Park, do hereby certify that the above and foregoing Planning Commission Resolution was duly and regularly passed and adopted at a meeting by said Planning Commission on March 24, 2025, by the following votes:

AYES:

NOES:

ABSENT:

ABSTAIN:

IN WITNESS THEREOF, I have hereunto set my hand and affixed the Official Seal of said City on this _____ day of March, 2025.

PC Liaison Signature

Kyle Perata
Assistant Community Development Director
City of Menlo Park

Exhibits

- A. Project plans
- B. Project description letter
- C. Arborist report
- D. Conditions of approval

NEW SINGLE FAMILY HOUSE FOR Smruti Vidwans & Rohit Khare

304 Okeefe St, Menlo Park, California, 94025



SCOPE OF WORK

DEMOLITION OF 1,938 SF OF EXISTING RESIDENCE STRUCTURE, NEW CONSTRUCTION OF 3,466 SF TWO STORED SINGLE FAMILY RESIDENCE WITH ATTACHED ADU OVER THE LOT OF 6,487 SF.

ZONING COMPLIANCE

THE PROJECT SHALL COMPLY WITH 2019 CALIFORNIA BUILDING CODE (CBC) 2019 CALIFORNIA RESIDENTIAL CODE 2019 CALIFORNIA MECHANICAL CODE 2019 CALIFORNIA PLUMBING CODE 2019 CALIFORNIA ELECTRICAL CODE 2019 CALIFORNIA GREEN CODE 2019 CALIFORNIA ENERGY CODE 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

CITY OF MENLO PARK ORDINANCE APN : 062-204-160

TYPE OF CONSTRUCTION : IV
SECTION :
ZONE: RU

LOT AREA: 6,487 SF
HISTORICAL: NO

NEW STRUCTURE
NEW TWO STORY ALLOWABLE FLOOR AREA : 3,600 SF

TOTAL FLOOR AREA
MAIN HOUSE LIVING AREA : 2,470 SF (FIRST FLOOR + SECOND FLOOR + GARAGE) = 1,412 + 1,335 + 277 = 2,470 SF
ADU LIVING AREA : 719 SF

TOTAL COUNTABLE AREA : 3,189 SF

FRONT YARD SETBACK CALCULATIONS
FRONTYARD AREA 1690
HARDSCAPE AREA 797
TOTAL SOFTSCAPE AREA 883
TOTAL SOFTSCAPE AREA (%) 52.66%

PROJECT DIRECTORY

OWNER : Smruti Vidwans & Rohit Khare
+1 (415) 425-1300

ARCHITECT : LIVIO BUILDING SYSTEMS

CIVIL ENGINEER RW ENGINEERING, INC.
LAND SURVEYOR: (408) 262-1899

LANDSCAPE ARCHITECT GREGORY LEWIS
LANDSCAPE ARCHITECT (831) 359-0560

SITE ANALYSIS

	EXISTING	PROPOSED	ALLOWED
LOT COVERAGE <small>LAND AREA COVERED BY ALL STRUCTURES</small>	1,938 SF (29.88%)	3,181 SF (49.04%) <small>ADU = 719 SF (11.09 SF)</small>	3,600 SF (55.65%) <small>ADU = 85 SF</small>
FLOOR AREA <small>MEASURED TO THE OUTSIDE FINISH OF EXTERIOR WALLS</small>	2,246 SF	3,466 SF <small>ADU = 719 SF (11.09 SF)</small>	3,600 SF <small>ADU = 85 SF</small>

SETBACKS

	EXISTING	PROPOSED	ALLOWED
FRONT	25'	20'	20'
REAR	47'	45.5'	20'
LEFT	13'	12'	12'
RIGHT	55'	5'	5'
ADU	-	4'	4'

	EXISTING	PROPOSED	ALLOWED
HIGHEST			
LOWEST ELEVATION POINT AT THE BUILDING EDGE FROM NATURAL GRADE		27' 3.4"	
HIGHEST ELEVATION POINT AT THE BUILDING EDGE FROM NATURAL GRADE		28' 11"	
AVERAGE ELEVATION POINT		28' 1"	
TOP MOST ELEVATION POINT - MEASURED FROM AVERAGE POINT (ABOVE) TO THE TOP MOST POINT OF THE ROOF		28' 7"	28'

SQUARE FOOTAGE BREAKDOWN

	EXISTING	CHANGE IN	PROPOSED
HABITABLE AREA	2,246 SF	943 SF <small>(81% COV. ADU = 1103 (RECORD) + 103)</small>	3,189 SF
NON-HABITABLE AREA <small>EXCLUDES # 1 UNLESS COVERED PORTIONS OF OPEN STRUCTURES</small>	0 SF	277 SF	277 SF

DEFERRED SUBMITTALS

FIRE SPRINKLERS IN ACCORDANCE WITH NFPA 13D AND STATE AND LOCAL REQUIREMENTS NOTE THAT PER CRC 313.3.7, A SIGN OR VALVE TAG SHALL BE INSTALLED AT THE MAIN SHUTOFF VALVE TO THE WATER DISTRIBUTION SYSTEM STATING THE FOLLOWING:
WARNING: THE WATER SYSTEM FOR THIS HOME SUPPLIES FIRE SPRINKLERS THAT REQUIRE CERTAIN FLOWS AND PRESSURES TO FIGHT A FIRE. DEVICES THAT RESTRICT THE FLOW OR DECREASE THE PRESSURE OR AUTOMATICALLY SHUT OFF THE WATER TO THE FIRE SPRINKLER SYSTEM, SUCH AS WATER SOFTENERS, FILTRATION SYSTEMS AND AUTOMATIC SHUTOFF VALVES, SHALL NOT BE ADDED TO THIS SYSTEM WITHOUT A REVIEW OF THE FIRE SPRINKLER SYSTEM BY A FIRE PROTECTION SPECIALIST, DO NOT REMOVE THIS SIGN.

- HERS VERIFICATION REQUIRED FOR THE HVAC COOLING, HVAC DISTRIBUTION SYSTEM FAN SYSTEMS, AND IAQ (INDOOR AIR QUALITY). PROVIDE EVIDENCE OF THIRD PARTY VERIFICATION (HERS) TO PROJECT BUILDING INSPECTOR PRIOR TO FINAL INSPECTION.
- AT FINAL INSPECTION, A MANUAL, COMPACT DISC, WEB-BASED REFERENCE, OR OTHER ACCEPTABLE MEDIA INCLUDING ITEMS 1 THROUGH 10 IN ACCORDANCE WITH CBCIRC SECTION 4.4.10.1 SHALL BE PLACED IN THE BUILDING.
- ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AND AEROSOL PAINT CONTAINERS MUST REMAIN ON THE SITE FOR FIELD VERIFICATION BY THE BUILDING INSPECTOR.
- PRIOR TO ENCLOSING THE WALL AND FLOOR FRAMING, CONFIRMATION MUST BE PROVIDED TO THE BUILDING INSPECTOR SHOWING THE FRAMING MEMBERS DO NOT EXCEED 19% MOISTURE CONTENT.
- PRIOR TO OCCUPANCY OF THE BUILDING, PROVIDE A LETTER FROM THE CERTIFIED GREENPOINT RATER THAT VERIFIES COMPLIANCE WITH THE CHECKLIST AND THE MINIMUM REQUIRED POINTS WERE ACHIEVED.
- PROPERTY LINE SURVEY WILL BE COMPLETED BY LICENSED SURVEYOR AND PROVIDED TO THE BUILDING INSPECTOR PRIOR TO FOUNDATION INSPECTION.
- BUILDING HEIGHT VERIFICATION WILL BE COMPLETED BY LICENSED SURVEYOR AND PROVIDED TO THE BUILDING INSPECTOR PRIOR TO FRAMING INSPECTION.
- INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE PROVIDED TO THE BUILDING INSPECTOR AT ROUGH INSPECTION.
- CONTACT PROJECT ARBORIST VIA EMAIL: Roy@greenmanagerpartners.com OR CELL: 415.606.3610 FOR THE MONTHLY INSPECTIONS AND WHENEVER IMPACTFUL WORK IS OCCURRING NEAR HEIGHT TREES, GRADING, DRAINAGE, UTILITY PLANS WILL BE PROVIDED FOR THE PROJECT ARBORIST'S REVIEW.



REVISIONS :

REV.	DESCRIPTION	DATE
R2	REVISION-2	04/08/24
R3	REVISION-3	06/27/24
R4	REVISION-4	01/10/25

NOTES:

- ALL DIMENSIONS ARE IN FEET AND INCHES.
- DRAWINGS SHALL NOT BE SCALED AND ONLY WRITTEN DIMENSIONS SHALL BE FOLLOWED.
- ALL CENTERLINES ARE FROM THE CENTER OF COLUMN/WALL AND THE DIMENSIONS GIVEN ARE CENTERLINE DIMENSIONS - UNLESS OTHERWISE MENTIONED.
- IN CASE OF ANY DISCREPANCY FOUND IN DRAWINGS AND DETAILS, IT SHALL BE BROUGHT TO THE NOTICE OF THE ARCHITECT, AND RECTIFIED, PRIOR TO ITS EXECUTION.
- THIS DRAWING IS ISSUED STRICTLY WITH AN UNDERSTANDING THAT IT WILL BE USED ONLY FOR THE PURPOSE MENTIONED AND SHALL BE RETURNED AFTER COMPLETION.
- LARGER SCALE DRAWINGS AND DETAILS SUPERCEDE THE SMALLER SCALE DRAWINGS AND DETAILS. THIS DRAWING SHALL BE REFERRED ONLY FOR THE PURPOSE MENTIONED IN ITS TITLE, FLOORING PATTERN, FALSE CEILING, SHUTTERING PATTERN, ELECTRICAL, PLUMBING, ETC.)

SHEET CONTENT:

TITLE SHEET



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PROJECT : 304 O'KEEFE STREET, MENLO PARK

TITLE SHEET

DATE: 06-23-2023

DRAWN BY: SAGAR SHIKHAWA

CHECKED BY: SUBHENDU

SCALE: 1/4" = 1'-0"

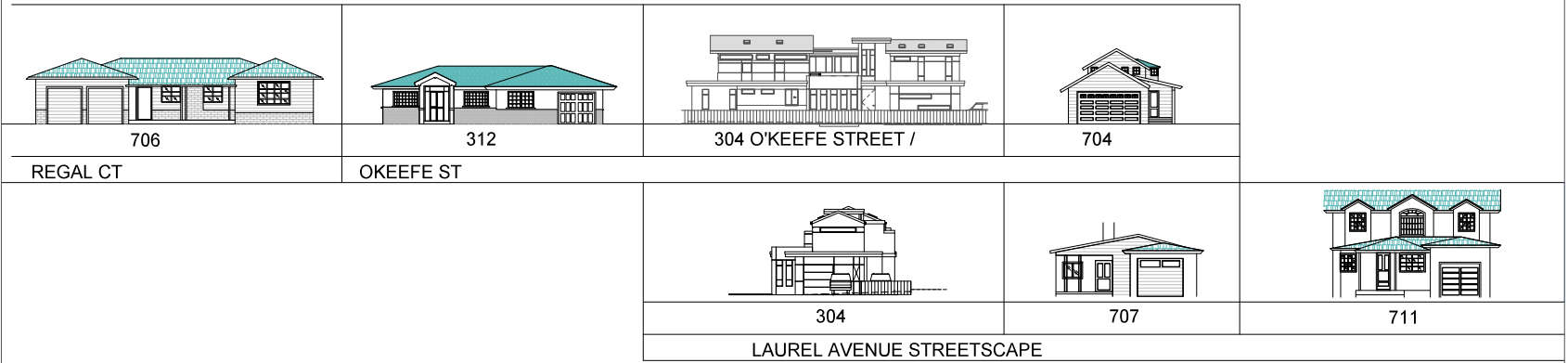
SHEET NO: A-1.001

ADDRESS: 328 S San Antonio Road Suite #4, Los Altos, CA 94022

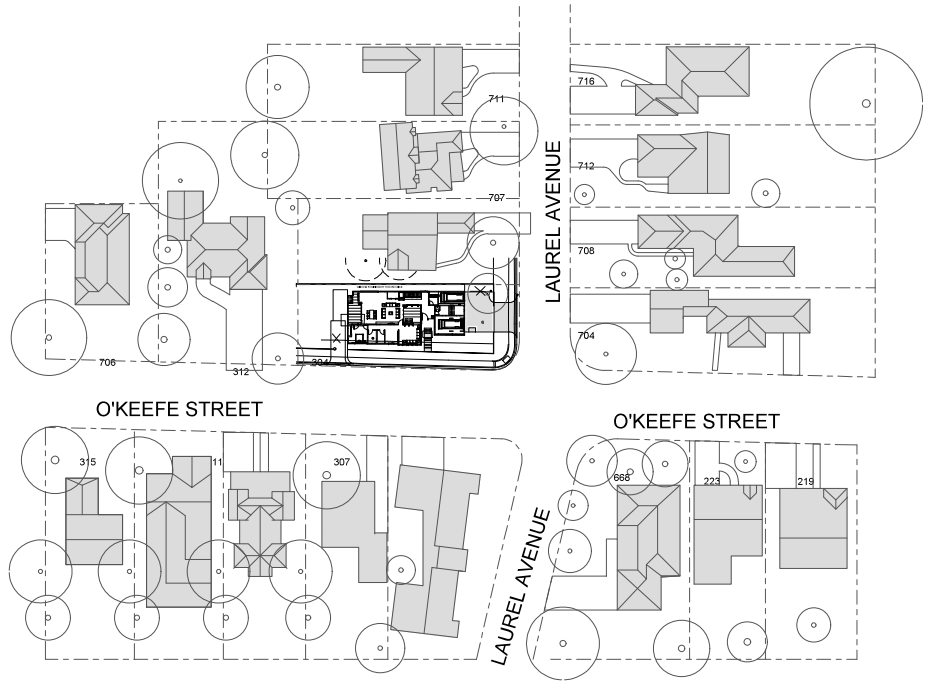
CONTACT: 650-296-6200

EMAIL: team@livio.com





SCALE 1:16 STREETScape DRAWING



SCALE 1:12 AREA PLAN

REVISIONS :

REV.	DESCRIPTION	DATE
R2	REVISION-2	04/08/24
R3	REVISION-3	06/27/24
R4	REVISION-4	01/10/25

- NOTES:
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SHEET CONTENT:

AREA PLAN/ STREETScape MAP



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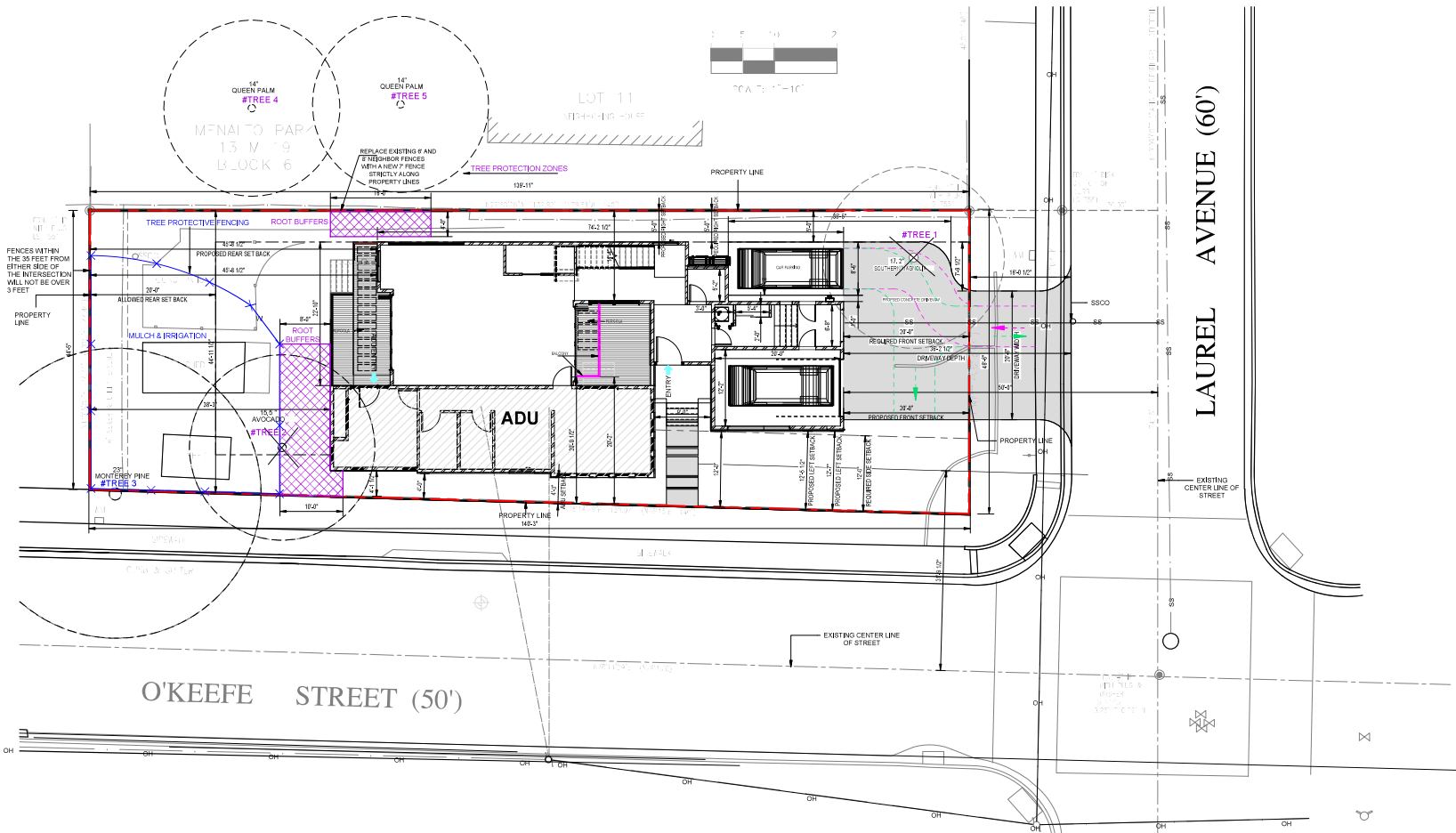
PROJECT : 304 O'KEEFE STREET, MENLO PARK

AREA PLAN / STREETScape MAP

DATE: 09/25/2023
 DRAWN BY: MEGHANA
 CHECKED BY: SUBHENDU
 SCALE: As indicated
 SHEET NO: A-1.002



ADDRESS : 338 S San Antonio Road Suite #4, Los Altos, CA 94022
 CONTACT : 650-204-6500
 EMAIL : team@livo.com



NOTE = HVAC UNIT MUST ADHERE TO THE CITY'S NOISE ORDINANCE (MUNICIPAL CODE SECTION 8,08,030) THE UNIT CANNOT EXCEED 50 DBA AT NIGHT, AND 60DBA DURING THE DAY AT THE NEAREST RESIDENTIAL PROPERTY LINE.

① SITE PLAN
1/8" = 1'-0"

REVISIONS:

REV.	DESCRIPTION	DATE
R2	REVISION-2	04/08/24
R3	REVISION-3	06/27/24
R4	REVISION-4	01/10/25

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SHEET CONTENT:

SITE LAYOUT



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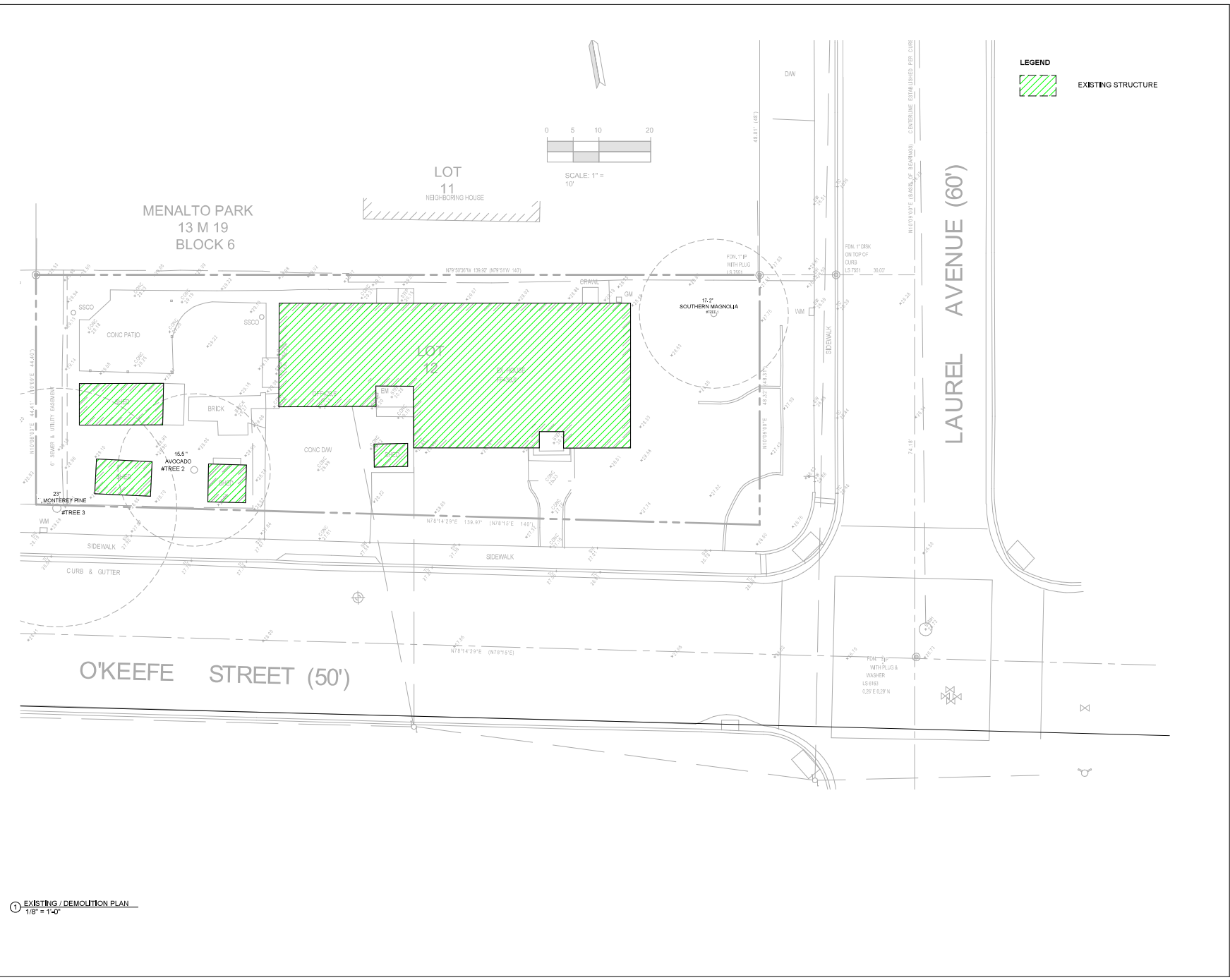
PROJECT : 304 O'KEEFE STREET, MENLO PARK

SITE LAYOUT

DATE: 06/25/2023
DRAWN BY: JARED STAGS
CHECKED BY: SUBHENDU

SCALE: 1/8" = 1'-0"
SHEET NO: A-1.005

ADDRESS: 328 S San Antonio Road Suite #4, Los Altos, CA 94022
CONTACT: 650-204-6500
EMAIL: livo@livo.com



LEGEND



EXISTING STRUCTURE

REVISIONS :

REV.	DESCRIPTION	DATE
R2	REVISION-2	04/08/24
R3	REVISION-3	09/27/24
R4	REVISION-4	01/10/25

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SHEET CONTENT:

EXISTING/
DEMOLITION
PLAN



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PROJECT : 304 O'KEEFE STREET, MENLO PARK

EXISTING/ DEMOLITION PLAN

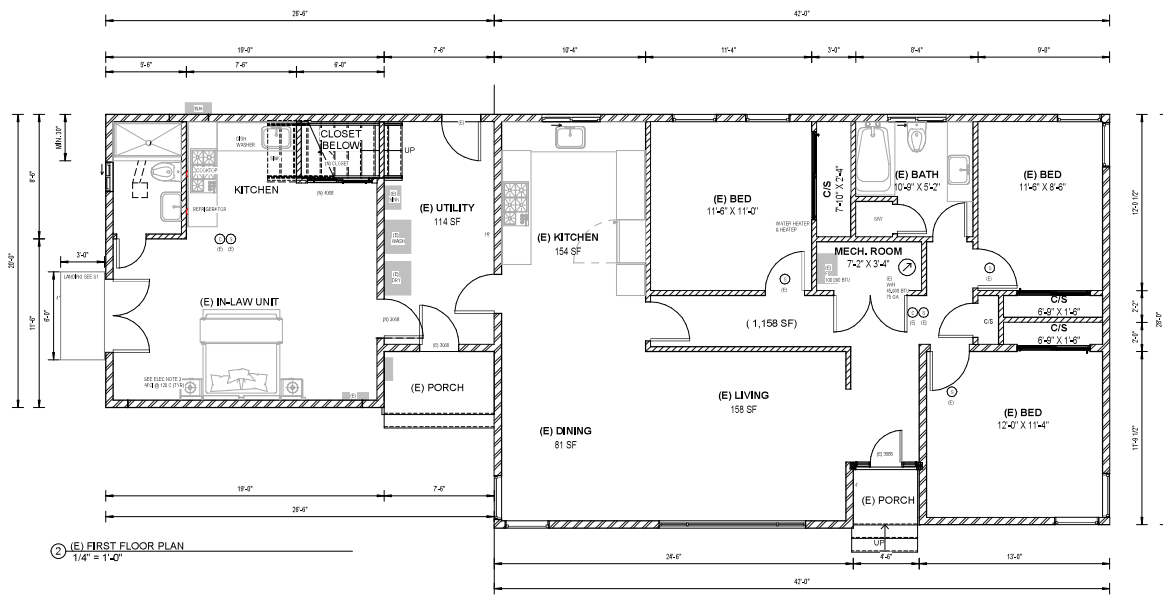
DATE: 06-27-2023
DRAWN BY: JARED FRAG
CHECKED BY: SUBHENDU
SCALE: 1/8" = 1'-0"



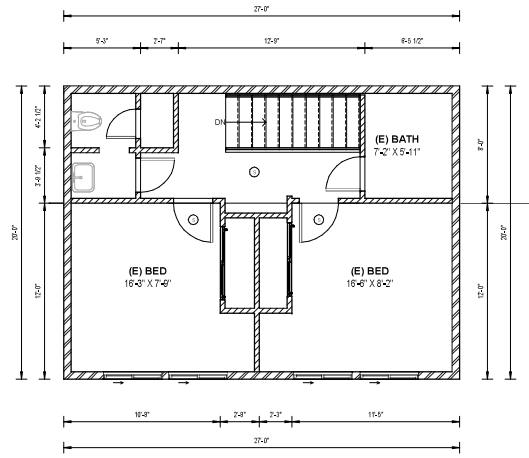
SHEET NO:
A-1.006

ADDRESS: 329 S San Antonio Road Suite #4, Los Altos, CA 94022
CONTACT: 650-209-6500
EMAIL: team@livio.com

EXISTING / DEMOLITION PLAN
1/8" = 1'-0"



② (E) FIRST FLOOR PLAN
1/4" = 1'-0"



③ (E) SECOND FLOOR
1/4" = 1'-0"

REVISIONS :

REV.	DESCRIPTION	DATE
R2	REVISION-2	04/08/24
R4	REVISION-4	01/10/25

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SHEET CONTENT:
(E) FLOOR PLAN (to be demolished for reference only)



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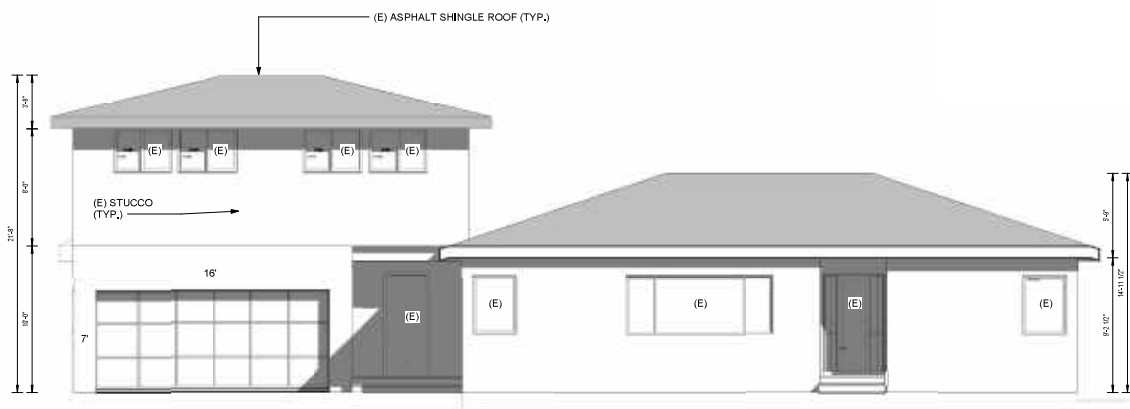
PROJECT : 304 O'KEEFE STREET, MENLO PARK

(N) FIRST FLOOR GARAGE PLAN, (E) SECOND FLOOR

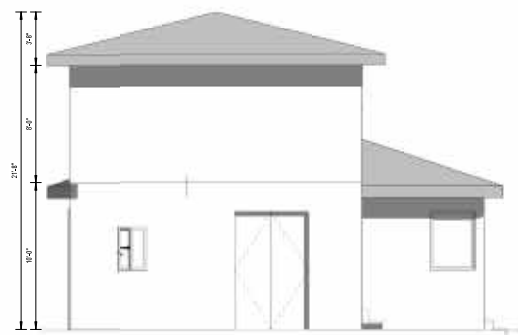
DATE : 09-27-2023
DRAWN BY : Author
CHECKED BY : Checker
SCALE : 1/4" = 1'-0"



SHEET NO : **A-1.007** ADDRESS : 328 S San Antonio Road Suite #1, Los Altos, CA 94022
CONTACT : 650-209-6500
EMAIL : team@livio.com



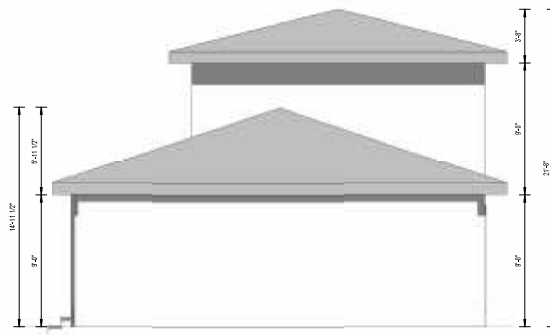
1 (E) LEFT ELEVATION
1/4" = 1'-0"



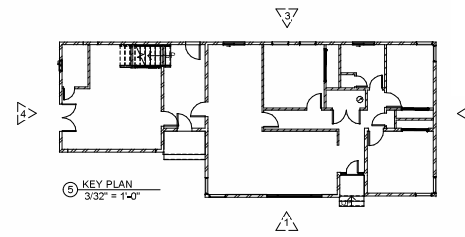
4 (E) REAR ELEVATION
1/4" = 1'-0"



3 (E) RIGHT ELEVATION
1/4" = 1'-0"



2 (E) FRONT ELEVATION
1/4" = 1'-0"



1 (E) KEY PLAN
3/32" = 1'-0"

REVISIONS :

REV.	DESCRIPTION	DATE
R2	REVISION-2	04/08/24
R4	REVISION-4	01/10/25

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SHEET CONTENT:

(E) ELEVATIONS (to be demolished for reference only)

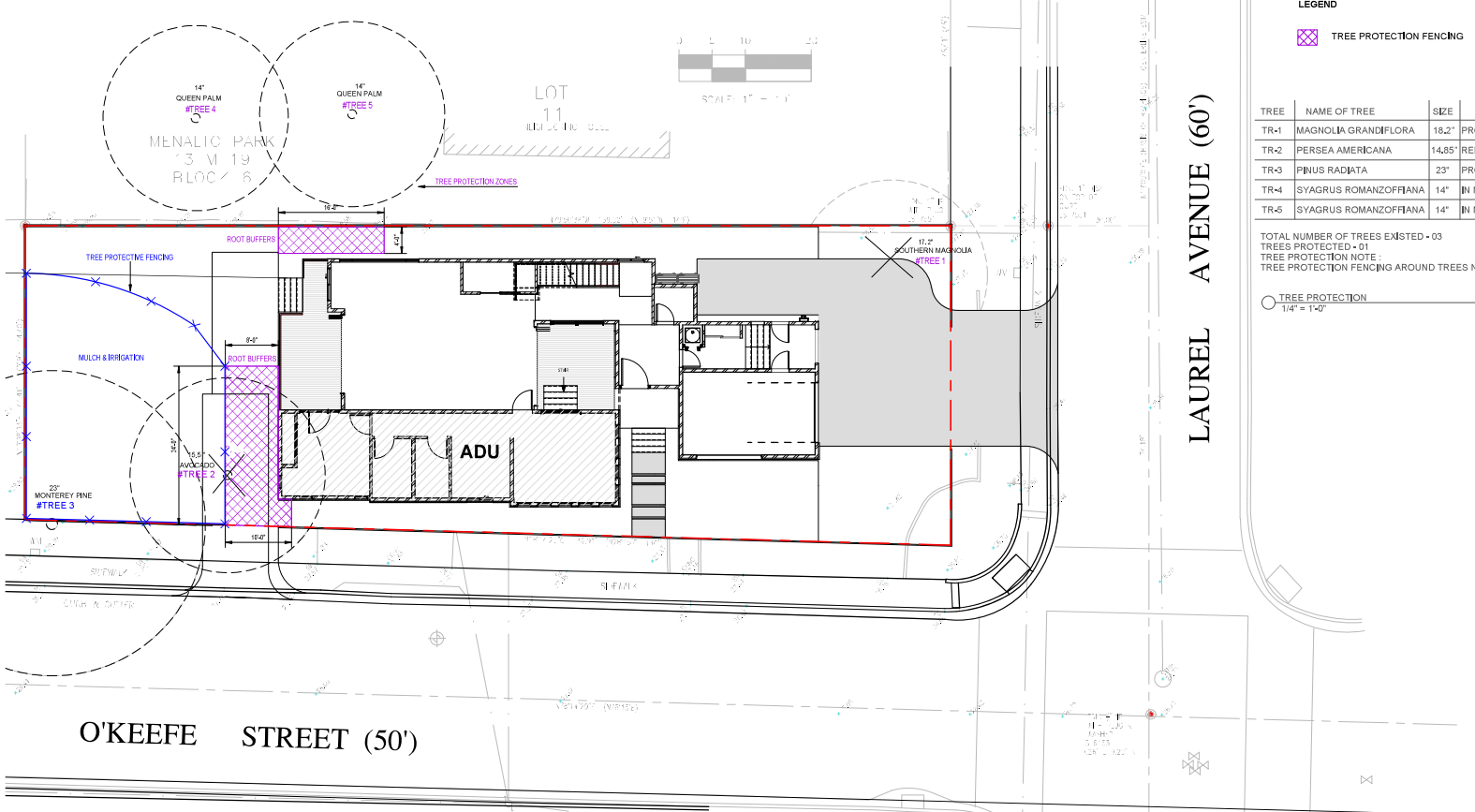


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PROJECT : 304 O'KEEFE STREET, MENLO PARK

(E)(N) ELEVATIONS

DATE:	09-27-2023	
DRAWN BY:	Author	
CHECKED BY:	Checker	
SCALE:	As indicated	
SHEET NO:	A-1.008	ADDRESS : 328 S San Antonio Road Suite #1, Los Altos, CA 94022 CONTACT : 650-209-6500 EMAIL : team@pdvivo.com



LEGEND

☒ TREE PROTECTION FENCING

TREE	NAME OF TREE	SIZE	NOTE
TR-1	MAGNOLIA GRANDIFLORA	18.2"	PROTECTED
TR-2	PERSEA AMERICANA	14.85"	REMOVAL
TR-3	PINUS RADIATA	23"	PROTECTED
TR-4	SYAGRUS ROMANZOFFIANA	14"	IN NEIGHBOURS LOT
TR-5	SYAGRUS ROMANZOFFIANA	14"	IN NEIGHBOURS LOT

TOTAL NUMBER OF TREES EXISTED - 03
 TREES PROTECTED - 01
 TREE PROTECTION NOTE:
 TREE PROTECTION FENCING AROUND TREES NO 1

○ TREE PROTECTION
 1/4" = 1'-0"

REVISIONS :

REV.	DESCRIPTION	DATE
R2	REVISION-2	04/08/24
R3	REVISION-3	06/27/24
R4	REVISION-4	01/10/25

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SHEET CONTENT:

TREE PROTECTION PLAN



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PROJECT : 304 O'KEEFE STREET, MENLO PARK

TREE PROTECTION PLAN

DATE: 06/23/2023

DRAWN BY: JARED DITAEH

CHECKED BY: SUBHENDU

SCALE: As Indicated

SHEET NO:

A-1.009



ADDRESS : 328 S San Antonio Road Suite #4, Los Altos, CA 94022
 CONTACT : 650-204-6500
 EMAIL : team@livo.com

1 TREE PROTECTION PLAN
 1/8" = 1'-0"

Tree Protection Measures for All Areas

This work must be inspected and signed off by the Project Arborist.

TREE PROTECTIVE FENCING AND WARNING SIGNS

Placement: Tree protective fencing is required around Tree 3. Fencing is to be placed at a radius of 35 feet from the trunk of the tree, except where a property boundary fence or a root buffer exist. The fencing is to run along the edge of the root buffer closest to the tree.

Trees 4 and 5 are protected by the existing wooden boundary fence.

Type and Size: 5 or 6-foot high chain link fencing shall be placed on 2 inch tubular galvanized iron posts driven a minimum of 2 feet into undisturbed soil and spaced not more than 10 feet on center.

Duration: Tree fencing shall be erected prior to any demolition activity, and shall remain in place for the duration of the project.

Warning Signs: Warning signs shall posted on Tree Protective Fencing not more than every 20 feet stating "WARNING – Tree Protective Zone – This fence shall not be removed"

MULCH

Placement: The area adjacent to tree 3 that is enclosed by tree protective fencing shall have a 4 to 6-inch deep layer of mulch applied, leaving a 12-inch distance around the tree trunk free of mulch. **Type and Size:** Mulch material shall be 2-inch unpainted, untreated wood chip mulch or an approved equal.

Duration: Mulch shall be placed in all designated areas prior to any demolition or construction activity.

ROOT BUFFER

Placement: A temporary protective Root Buffer must be installed in any TPZ area on this parcel that is not enclosed by tree protective fencing and that is not part of the building envelope.

Adjacent to trees 4 and 5, a 4-foot wide root buffer shall be placed along 16 linear feet of the existing wood fence. See the marked diagram at right. Between the building envelope and tree 3, an 8-foot wide root buffer shall be placed along 24 linear feet extending back from the front property line. The root buffer will need to wrap around the front corner of the building envelope by 2 feet. See the marked diagram at right.

Type and Size: The Root Buffer shall consist of a base course of tree chips spread over each designated area to a minimum depth of 6 inches and covered with a 3/4-inch plywood layer as a working surface. As these areas will not be used by any equipment, the standard second course of 3/4-inch quarry gravel may be omitted. It is necessary that additional wood chips be added periodically upon the recommendation of the Project Arborist following monthly inspections.

Duration: All Root Buffers shall remain in place for the duration of the project.

A root buffer must be installed between the building envelope and the property line fence for a distance of 20 feet where adjacent to trees 4 and 5.

A root buffer must be installed over an area that is 8 feet wide and is within the TPZ of tree 3 and is just outside the building envelope.

Construction Impact Mitigation

SWALE EXCAVATION

Grading changes shall not exceed 4 inches of depth in cuts, or 6 inches of depth in fill where such grade changes are within any TPZ.

Swale excavation areas will be subject to mulching and irrigation, and are not anticipated to require further mitigation.

SURFACE WATER

Surface water shall exit root drains onto splash blocks and have opportunity to percolate into soils. No trenching for surface water drains is allowed within the TPZ.

UTILITY TRENCHING

All necessary utilities already exist and no new underground excavation for utilities is anticipated. If any utility trenches must be excavated through the TPZ area, either directional boring or Air-spade, (or equivalent) excavation is required. This work must be completed under the direction of the Project Arborist.

FOUNDATION CONSTRUCTION

Foundation construction will cause minor root impacts from perimeter footing excavation within the TPZ area of Tree 3. The following mitigation is required:

Hand Excavation

All portions of foundation excavation occurring within the TPZ area of tree 3 shall be completed by hand. All roots encountered of any size whatsoever shall be cleanly cut with a sharp tool at the excavation perimeter. Root cutting must be completed under the direction of the Project Arborist. Hand excavation will be required for 12 linear feet.

Excavation Tailings

All tailings derived from excavation of the perimeter footings shall be immediately placed within the confines of the perimeter foundation, on the adjacent root buffer or outside the TPZ areas. No tailings shall be stockpiled, abandoned or allowed to remain overnight within the TPZ.

Soil Fracturing

All inadvertent compaction of soil within any TPZ shall be loosened by soil fracturing with Air-spade, (or equivalent) excavation equipment subsequent to all equipment access needs. Soil fracturing must be completed under the direction of the Project Arborist.

Tree Management Experts

Consulting Arborists
3109 Sacramento Street
San Francisco, CA 94115



1

RE: Arborist Report and Tree Protection Plan
304 O'Keefe St.
Los Altos, CA 94022

ARBORIST REPORT
and
Tree Protection Plan

Assessment
Arborist Report and Tree Protection Plan
Review plans for demolition and new construction.

Background
The property at 304 O'Keefe Street, Menlo Park currently has a house and another small outbuilding on the lot.

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Tree Management Experts

Consulting Arborists
3109 Sacramento Street
San Francisco, CA 94115



2

The following plans have been reviewed and considered such as: Grading and Drainage, Plans, street C&D (Cross-Corridor) Plans, Street Sign (Topographic and Boundary Survey), etc.

Tree Assessment
A total of 6 trees were found on or adjacent to the property as shown below and per the attached photos.

Table with columns: Tree ID, Species, Common Name, Height, Diameter, Spread, Condition

Appraised Values for Trees
The following appraised values are calculated according to the 107th edition of the Guide for Plant Appraisal.



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San Francisco, CA 94115

Tree 2 is not large enough to be a Heritage Tree, per photographs of the trunk diameter taken on 11/23/24, Per the City Arborist, this is a 15.2" at 54 inches above grade, and it therefore is a Heritage Tree.

Table with columns: Tree #, Common Name, Diameter, TPZ, Anticipated Benefits, Anticipated Impacts

Appraised Values for Trees
The following appraised values are calculated according to the 107th edition of the Guide for Plant Appraisal.

Table with columns: Tree #, Name, Species, Condition, Diameter, External, Additional Costs, Appraisal Value

For these particular trees, the following evaluation criteria have been applied to derive the appraised values.

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Additional costs include removal with stump grinding, disposal fees, wholesale purchase of plant material delivery, installation, maintenance of coals, and maintenance for 3 years during establishment.

Site and Soil Conditions
The site appears to have chromosol soil for the area with nutrient sufficiency and proper drainage.

Construction Procedures
TREE REMOVALS
Trees 1 and 2 must be removed at the beginning of the project and before demolition and/or grading cause root exposure that could result in hazardous trees.

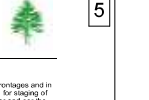
DEMOLITION
All tree protective fencing, root buffers, mulch and irrigation must be in place prior to demolition.

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5

STAGING AREAS
Staging areas are available in the areas of the new outbuilding, on the street frontages and in the front yard.

Tree Protection Measures
To implement tree protection measures effectively, precise measurement for fence locations is critical.

Tree Protection Measures for All Areas
This work must be inspected and signed off by the Project Arborist.

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San Francisco, CA 94115



6

Warning Signs
Warning signs shall remain on Tree Protective Fencing not more than every 20 feet during WARNING - Tree Protective Zone.

Excavation
The area adjacent to tree 3 that is enclosed by tree protective fencing shall have a 6" mesh deep layer of mulch applied, leaving a 12" mesh distance around the tree trunk free of mulch.

Excavation
Excavation areas will be subject to mulching and irrigation, and are not anticipated to require further mitigation.

FOUNDATION CONSTRUCTION
All portions of foundation excavation occurring within the TPZ area of tree 3 shall be completed by hand.

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Duration: All Root Barriers shall remain in place for the duration of the project.

Excavation Tables
All fillings derived from excavation of the perimeter footings shall be immediately placed within the confines of the perimeter foundation.

Maintenance and Ongoing Care
The maintenance and ongoing care is necessary in preparation for construction and throughout the entire timeline for construction.

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Excavation Tables
All fillings derived from excavation of the perimeter footings shall be immediately placed within the confines of the perimeter foundation.

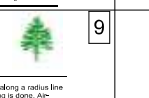
Maintenance and Ongoing Care
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They should stay as far away from the tree as possible. A trench running along a radius line around a tree is preferable to a cross trench.

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3109 Sacramento Street
San Francisco, CA 94115

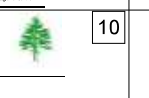
Assumptions and Limiting Conditions
Any legal description provided to the consultant is assumed to be correct. Title and ownership of all property contained are assumed to be good and marketable.

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Tree Management Experts

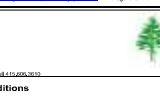
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10

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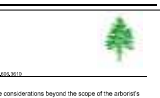
11

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That trees, pruning, and removal of trees may involve considerations beyond the scope of the arborist's services such as utility easements, power lines, tree preservation, etc.

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San Francisco, CA 94115

Contractor's License #88953



REVISIONS: R2 REVISION-2 04/08/24, R3 REVISION-3 06/27/24, R4 REVISION-4 01/10/25. SHEET CONTENT: ARBORIST REPORT & TREE PROTECTION REPORT. Includes a compass rose and a logo for LIVIO.



13



14



15



16



17



18



19



20

REVISIONS :

REV.	DESCRIPTION	DATE
R2	REVISION-2	04/08/24
R3	REVISION-3	06/27/24

NOTES:

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SHEET CONTENT:

ARBORIST REPORT & TREE PROTECTION REPORT



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PROJECT : 304 O'KEEFE STREET, MENLO PARK

ARBORIST REPORT & TREE PROTECTION REPORT



DATE:	06-27-2023
DRAWN BY:	HTEHR
CHECKED BY:	SUBHENDU
SCALE:	



SHEET NO:
A-1.011

ADDRESS: 329 S San Antonio Road Suite #4, Los Altos, CA 94022
CONTACT: 650-209-6900
EMAIL: team@livo.com

WALL LEGENDS

- W01  EXTERIOR OR LOAD BEARING WALLS
- W02  INTERIOR WALLS

REVISIONS :

REV.	DESCRIPTION	DATE
R2	REVISION-2	04/08/24
R3	REVISION-3	06/27/24
R4	REVISION-4	01/10/25

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SHEET CONTENT:

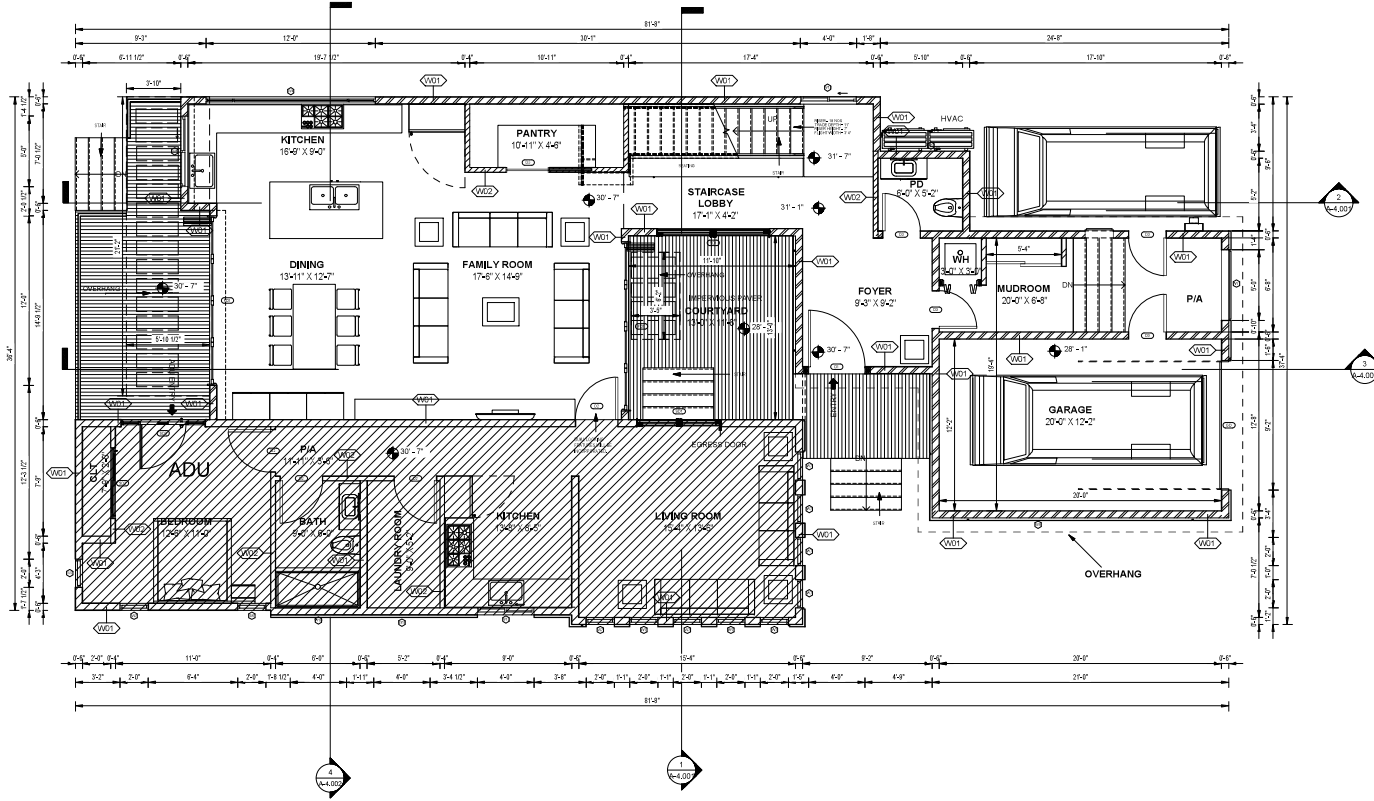
FIRST FLOOR PLAN



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PROJECT : 304 O'KEEFE STREET, MENLO PARK

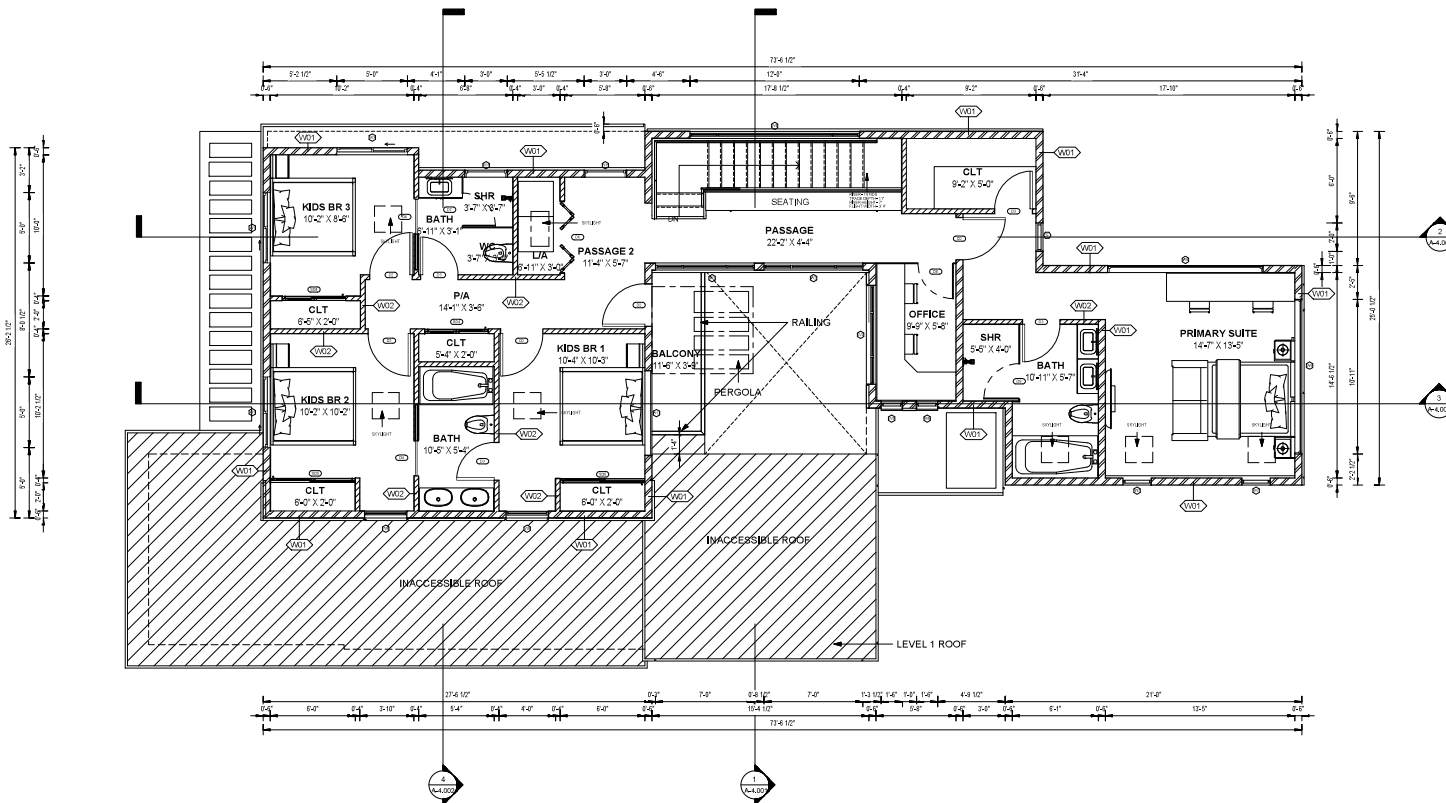
FIRST FLOOR PLAN	
DATE:	06/25/2023
DRAWN BY:	SAGAR
CHECKED BY:	SUBHENDU
SCALE:	As indicated
SHEET NO:	A-2.001
ADDRESS:	338 S San Antonio Road Suite #4, Los Altos, CA 94022
CONTACT:	650-204-6500
EMAIL:	livo@livo.com



FIRST FLOOR PLAN
1/4" = 1'-0"

GENERAL NOTES

- A. ALL PLANS TO BE CONSTRUCTED TO ALL APPLICABLE BUILDING CODES, INCLUDING THE 2019 CBC AND THE CRC.
- B. THE BUILDING ADDRESS SHALL COMPLY WITH SECTION R319 CRC.
- C. WALL FRAMING SHALL BE 2x4 AT 16" O.C. WITH 1/2" EXTERIOR SHEATHING AT EXTERIOR WALLS AND 2x4 AT 16" O.C. WITH 5/8" GYP. BOARD AT INTERIOR WALLS. SHEAR WALL PANELS AND SPECIAL FRAMING CONDITIONS WILL BE NOTED IN THE STRUCTURAL DRAWINGS.
- D. PROVIDE 1/2" GYP. BOARD AT WALLS AND CEILING UNDER STAIR USABLE ENCLOSED SPACES.
- E. STANDARD DOOR FRAMING SHALL OCCUR 4" FROM RETURN WALL UNLESS OTHERWISE NOTED. HARDWARE PER OWNER.
- F. ALL EXTERIOR DOORS SHALL HAVE A LANDING WITH A MAXIMUM 7/8" STEP.
- G. ALL BEDROOMS SHALL HAVE A WINDOW THAT MEETS EGRESS REQUIREMENTS. THIS WINDOW SHALL BE DESIGNATED BY ANGLE AFTER THE WINDOW SIZE AND STYLE. EGRESS WINDOWS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5.7 SQ FT. THE NET CLEAR HEIGHT OPENING SHALL BE NOT LESS THAN 20 INCHES AND THE NET CLEAR WIDTH SHALL NOT BE LESS THAN 20 INCHES. GRADE FLOOR AND BELOW GRADE OPENINGS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5.7 SQ FT. EGRESS WINDOWS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES MEASURED FROM THE FLOOR. WINDOWS BELOW GRADE SHALL BE PROVIDED WITH A WINDOWWELL. CRC R310.2
- H. ALL OTHER WINDOWS SHALL BE OPERABLE UNLESS OTHERWISE SPECIFIED.
- I. ALL GLAZING IN SLIDING GLASS DOORS, SHOWER ENCLOSURES, AND OTHER REQUIRED SAFETY LOCATIONS SHALL HAVE SAFETY TEMPERED GLASS, CRC R310.4
- J. BALCONY FLOOR SHALL BE 2" BELOW FINISH FLOOR AND SLOPED 1/4" PER FOOT AWAY FROM DOORS. DOOR OPENINGS SHALL BE PROPERLY FLASHED. DRAINAGE PIPE WILL GO THROUGH FACED TO OUTLET.
- K. EXTERIOR A/C UNITS ARE ANCHORED TO 3" CONCRETE SLABS SHOWN ON PLANS.



1 SECOND FLOOR PLAN
1/4" = 1'-0"

NOTE: PROPOSED SKYLIGHTS WILL NOT EXCEED INTERIOR HEIGHT OF 12 FEET, IF THEY DO A LENS WILL BE PLACED AT CEILING HEIGHT.

WALL LEGENDS

- W01 EXTERIOR OR LOAD BEARING WALLS
- W02 INTERIOR WALLS

REVISIONS :

REV.	DESCRIPTION	DATE
R2	REVISION-2	04/08/24
R3	REVISION-3	06/27/24
R4	REVISION-4	01/10/25

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SHEET CONTENT:

SECOND FLOOR PLAN



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PROJECT : 304 O'KEEFE STREET, MENLO PARK

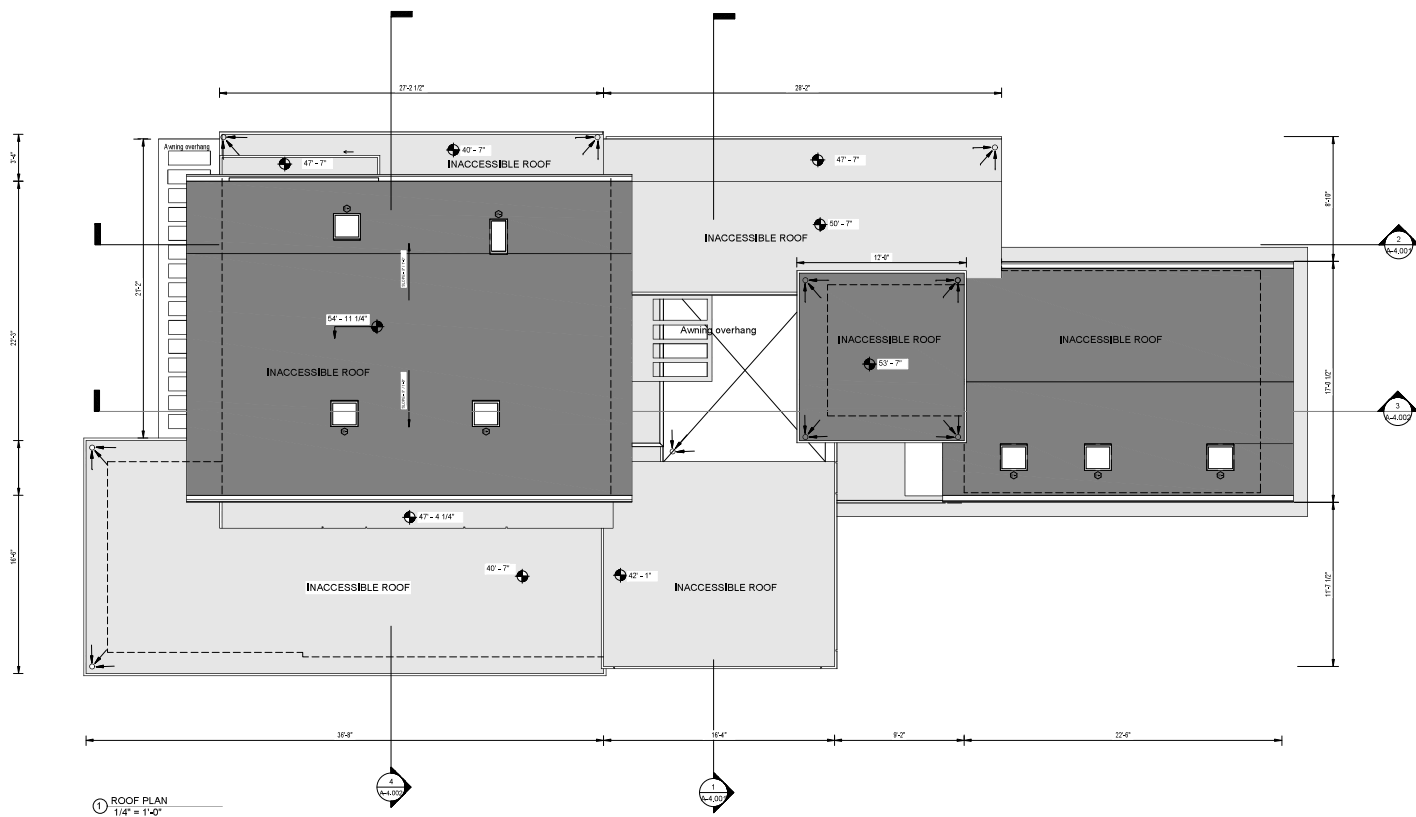
SECOND FLOOR PLAN

DATE:	04/03/2023
DRAWN BY:	SAGAR
CHECKED BY:	SUBHENDU
SCALE:	As Indicated

SHEET NO: A-2.002



ADDRESS : 329 S San Antonio Road Suite #4, Los Altos, CA 94022
CONTACT : 650-954-6100
EMAIL : info@livo.com



1 ROOF PLAN
1/4" = 1'-0"

REVISIONS :

REV.	DESCRIPTION	DATE
R2	REVISION-2	04/08/24
R3	REVISION-3	06/27/24
R4	REVISION-4	01/10/25

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SHEET CONTENT:

ROOF PLAN

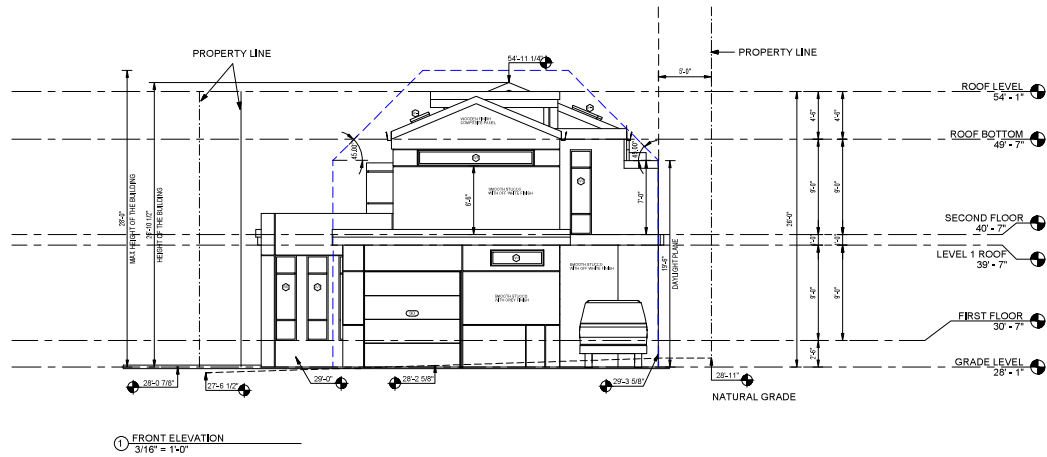


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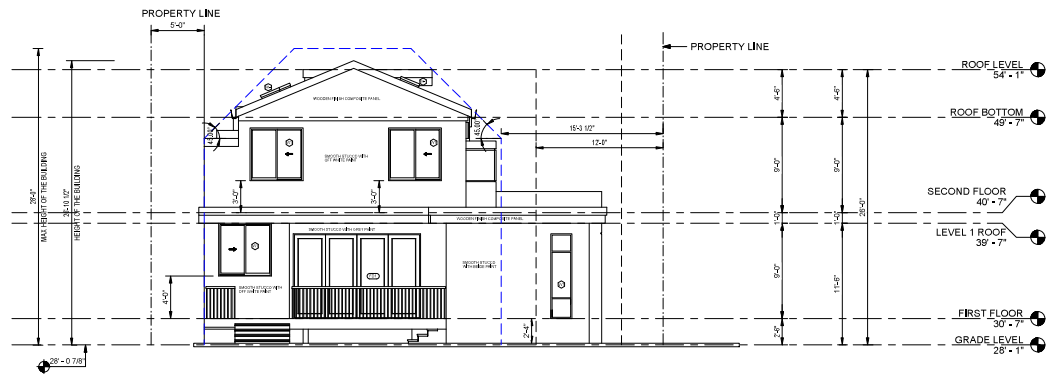
PROJECT : 304 O'KEEFE STREET, MENLO PARK

ROOF PLAN	
DATE:	06/25/2025
DRAWN BY:	SAGAR
CHECKED BY:	SUBHENDU
SCALE:	1/4" = 1'-0"
SHEET NO:	A-2.003
ADDRESS:	328 S San Antonio Road Suite #4, Los Altos, CA 94022
CONTACT:	650-204-6500
EMAIL:	livo@livo.com





1 FRONT ELEVATION
3/16" = 1'-0"



2 REAR ELEVATION
3/16" = 1'-0"

REVISIONS :

REV.	DESCRIPTION	DATE
R2	REVISION-2	04/08/24
R3	REVISION-3	06/27/24
R4	REVISION-4	01/10/25

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SHEET CONTENT:

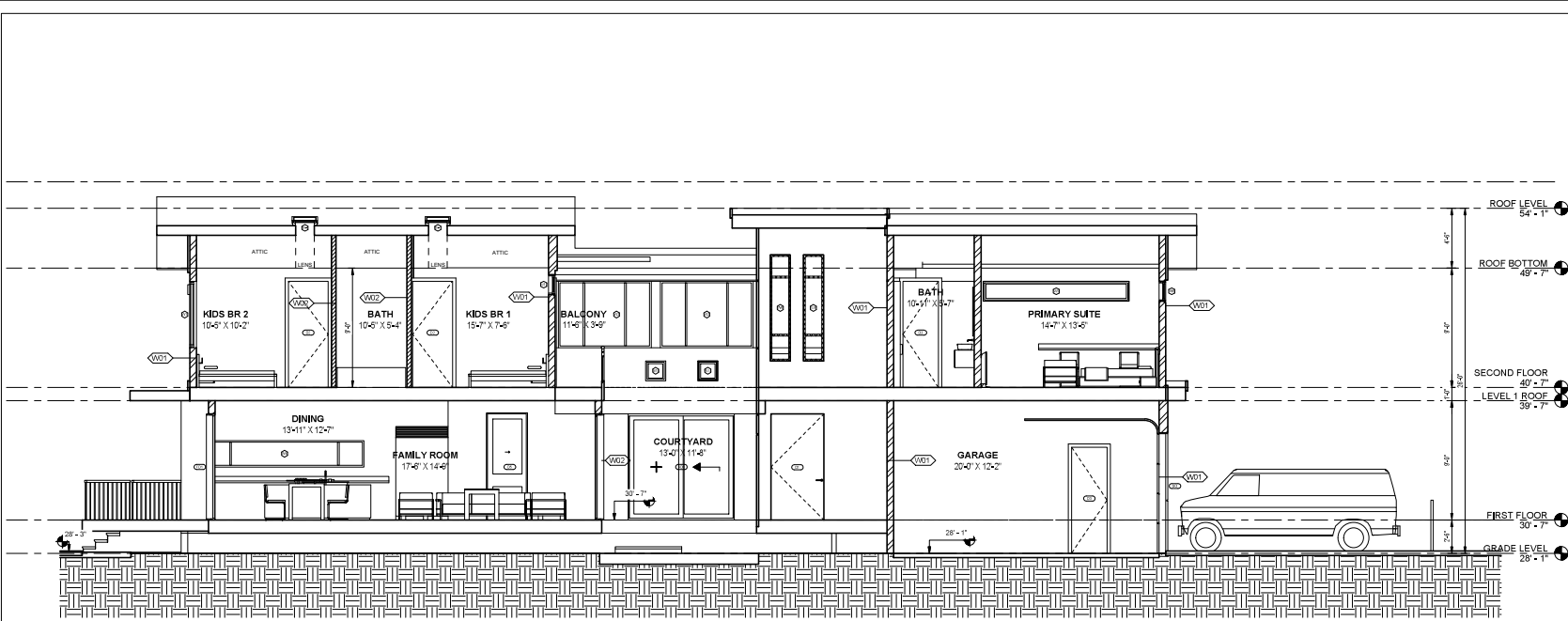
FRONT AND REAR ELEVATION

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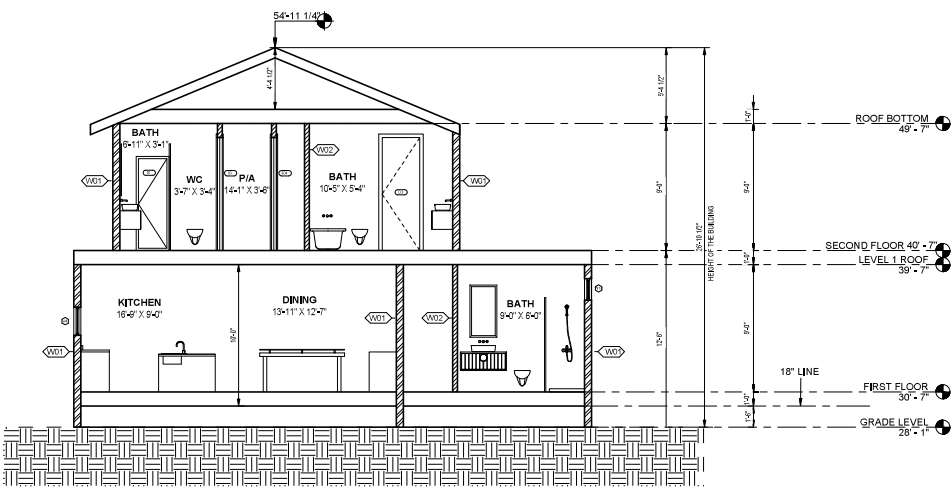
PROJECT : 304 O'KEEFE STREET, MENLO PARK

FRONT AND REAR ELEVATION

DATE:	06/25/2023	
DRAWN BY:	JANED DITAG	
CHECKED BY:	SUBHENDU	
SCALE:	3/16" = 1'-0"	
SHEET NO:	A-3.002	ADDRESS : 328 S San Antonio Road Suite #4, Los Altos, CA 94022 CONTACT : 650-204-6500 EMAIL : team@livo.com



Section 3
1/4" = 1'-0"



Section 4
1/4" = 1'-0"

REVISIONS:

REV.	DESCRIPTION	DATE
R2	REVISION-2	04/08/24
R3	REVISION-3	06/27/24
R4	REVISION-4	01/10/25

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SHEET CONTENT:

SECTION 3

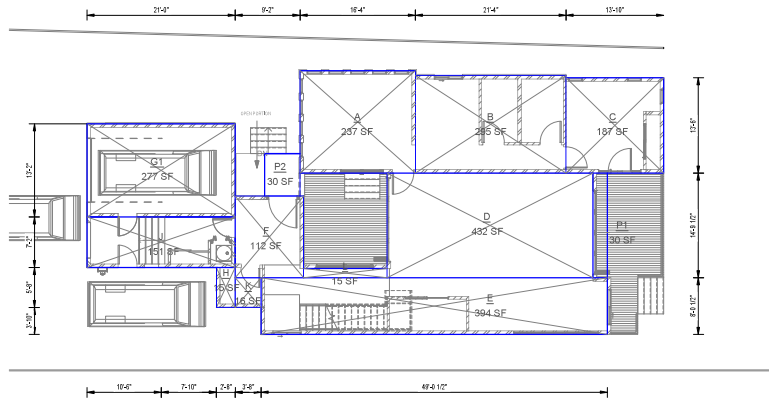
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PROJECT : 304 O'KEEFE STREET, MENLO PARK

SECTION 3

DATE:	06/21/2023
DRAWN BY:	MEGHANA
CHECKED BY:	SUBHENDU
SCALE:	1/4" = 1'-0"
SHEET NO:	A-4.002

ADDRESS : 338 S San Antonio Road Suite #4, Los Altos, CA 94022
 CONTACT : 650-204-6500
 EMAIL : team@livio.com



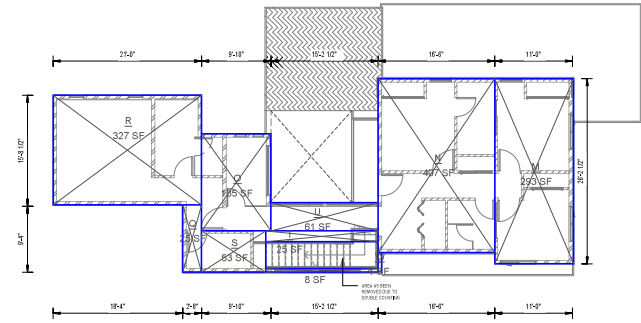
FIRST LEVEL AREA CALCULATION			
Name	AREA LENGTH	AREA WIDTH	Area
D	29' - 1 7/8"	14' - 9 3/4"	432 SF
E	49' - 0"	8' - 0 1/2"	394 SF
F	11' - 6 3/4"	9' - 8"	112 SF
G1	21' - 0"	13' - 2"	277 SF
H	5' - 8"	2' - 8"	15 SF
J	21' - 0"	7' - 2"	151 SF
K	4' - 2 1/2"	3' - 8 1/2"	16 SF
L	11' - 10"	1' - 3 1/2"	15 SF
Grand total: 8			1412 SF

ADU AREA CALCULATION			
Name	AREA LENGTH	AREA WIDTH	Area
A	16' - 4 1/4"	14' - 6"	237 SF
B	21' - 3 3/4"	13' - 10"	295 SF
C	13' - 10"	13' - 6"	187 SF
Grand total: 3			719 SF

PORCH AREA CALCULATION			
Name	AREA LENGTH	AREA WIDTH	Area
P1	14' - 9 3/4"	2' - 0 5/8"	30 SF
P2	6' - 0"	5' - 0"	30 SF
Grand total: 2			60 SF

SECOND LEVEL AREA CALCULATION			
Name	AREA LENGTH	AREA WIDTH	Area
M	26' - 2 3/4"	11' - 2"	293 SF
N	24' - 7 3/4"	16' - 6 1/4"	407 SF
O	13' - 9 1/4"	9' - 10"	135 SF
Q	9' - 4"	2' - 8"	25 SF
R	21' - 0"	15' - 8 1/2"	327 SF
S	9' - 1"	5' - 10"	53 SF
T	15' - 11 1/4"	1' - 6 1/2"	25 SF
U	15' - 2 1/4"	4' - 0"	61 SF
V	15' - 11 1/4"	0' - 6"	8 SF
W	2' - 9"	0' - 6"	1 SF
Grand total: 10			1335 SF

1 FIRST FLOOR
1/8" = 1'-0"



2 SECOND FLOOR
1/8" = 1'-0"

TOTAL FLOOR AREA = FIRST LEVEL AREA + SECOND LEVEL AREA + ADU
TOTAL FLOOR AREA = 1412 + 1335 + 719
TOTAL FLOOR AREA = 3466 SF

TOTAL LOT COVERAGE AREA = FIRST LEVEL AREA + PORCH AREA + ADU
TOTAL LOT COVERAGE AREA = 1412 + 60 + 719
TOTAL LOT COVERAGE AREA = 2191 SF

ALLOWED ADU = 800 SF
ALLOWED FAR = 2800 SF
ALLOWED TOTAL FLOOR AREA (INC. ADU) = 2800 + 800 = 3,600 SF
ALLOWED LOT COVERAGE = 2270.5 SF

NOTE : PORCH AREA CALCULATION IS THE SUM OF COVERED PORCH AREA.

REVISIONS :

REV.	DESCRIPTION	DATE
R2	REVISION-2	04/08/24
R3	REVISION-3	06/27/24
R4	REVISION-4	01/10/25

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SHEET CONTENT:

AREA CALCULATION




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PROJECT : 304 O'KEEFE STREET, MENLO PARK

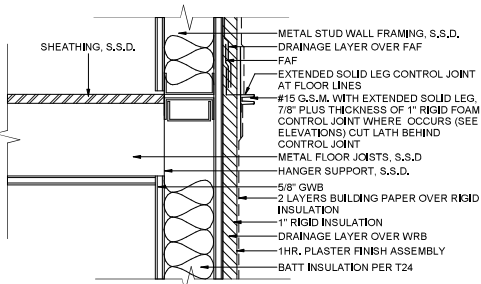
AREA CALCULATION

DATE:	06-23-2023
DRAWN BY:	SAGAR SINGHANI
CHECKED BY:	SUBHENDU
SCALE:	1/8" = 1'-0"

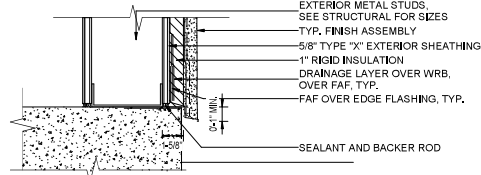


SHEET NO: **A-6.001**

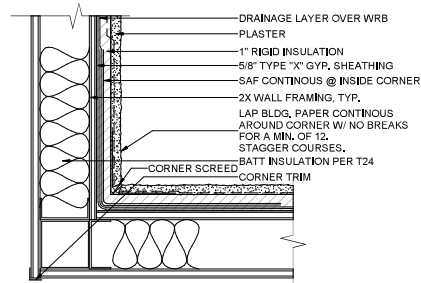
ADDRESS: 329 S San Antonio Road Suite #4, Los Altos, CA 94022
 CONTACT: 650-209-6500
 EMAIL: team@livo.com



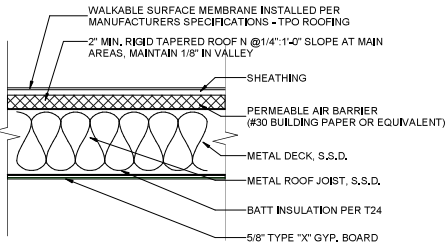
FLOOR ASSEMBLY AT EXTERIOR WALL
 1/4" = 1'-0"



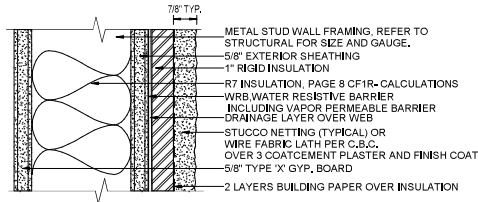
EXTERIOR WALL AT SLAB ON GRADE
 1/4" = 1'-0"



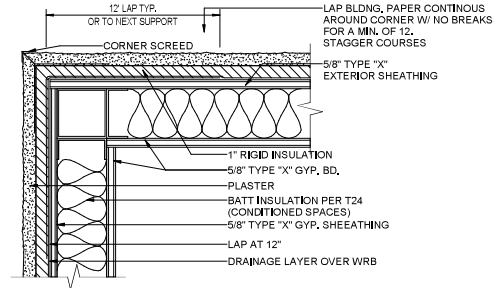
INNER CORNER
 1/4" = 1'-0"



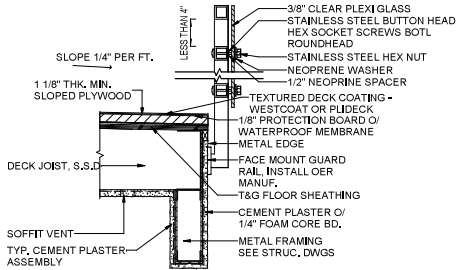
ROOF ASSEMBLY
 1/4" = 1'-0"



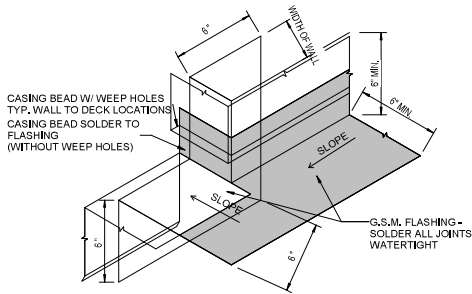
EXTERIOR STUCCI ASSEMBLY
 1/4" = 1'-0"



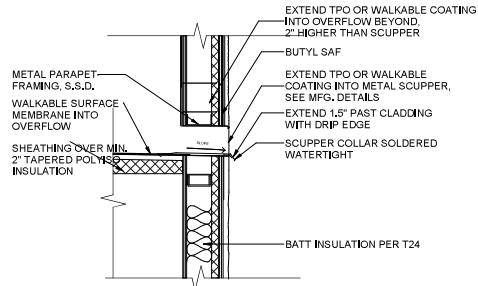
OUTER CORNER
 1/4" = 1'-0"



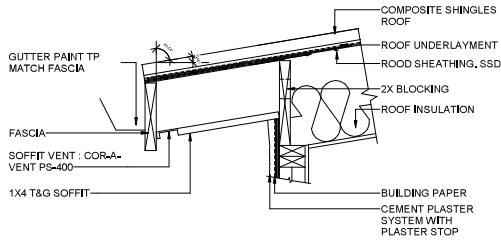
BALCONY RAILING DETAIL
 1/4" = 1'-0"



BALCONY EDGE FLASHING
 1/4" = 1'-0"



SCUPPER SECTION
 1/4" = 1'-0"



TYPICAL EAVE DETAIL
 6" = 1'-0"

REVISIONS :

REV.	DESCRIPTION	DATE
R2	REVISION-2	04/08/24
R3	REVISION-3	06/27/24

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SHEET CONTENT:

TYPICAL DETAILS



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PROJECT : 304 O'KEEFE STREET, MENLO PARK

TYPICAL DETAILS

DATE	06-23-2023
DRAWN BY	JUNEDRAGC
CHECKED BY	SUBHENDU
SCALE	As Indicated

SHEET NO:
A-7.001

ADDRESS : 329 S San Antonio Road Suite #4, Los Altos, CA 94022
 CONTACT : 650-209-6200
 EMAIL : team@livo.com



EXTERIOR COLOR / MATERIAL SCHEDULE



FLAT ROOF WITH TPO ROOFING WITH BLUE FINISH
MANUFACTURER - GAF OR EG



WOOD SIDING
MANUFACTURER - GAF OR EG



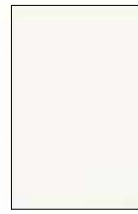
GLASS PANEL
MANUFACTURER - LA CANTINA OR EG



STUCCO DARK GREY
MANUFACTURER - KELLY MOORE



STUCCO BEIGE
MANUFACTURER - KELLY MOORE



STUCCO OFF WHITE
MANUFACTURER - KELLY MOORE



METAL SEAM ROOF
MANUFACTURER - JELWEN OR EG

* NOTES: EXACT COLORS TO BE VERIFIED WITH OWNER & ARCHITECT



REVISIONS :

REV.	DESCRIPTION	DATE
R2	REVISION-2	04/08/24
R3	REVISION-3	06/27/24

NOTES:

- ALL DIMENSIONS ARE IN FEET AND INCHES.
- DRAWING SHALL NOT BE SCALED AND ONLY WRITTEN DIMENSIONS SHALL BE FOLLOWED.
- ALL CENTERLINES ARE FROM THE CENTER OF COLUMN/WALL AND THE DIMENSIONS GIVEN ARE CENTERLINE DIMENSIONS- UNLESS OTHERWISE MENTIONED.
- IN CASE OF ANY DISCREPANCY FOUND IN DRAWINGS AND DETAILS, IT SHALL BE BROUGHT TO THE NOTICE OF THE ARCHITECT, AND RECTIFIED, PRIOR TO ITS EXECUTION.
- THIS DRAWING IS ISSUED STRICTLY WITH AN UNDERSTANDING THAT IT WILL BE USED ONLY FOR THE PURPOSE MENTIONED AND SHALL BE RETURNED AFTER COMPLETION.
- LARGER SCALE DRAWINGS AND DETAILS SUPERCEDE THE SMALLER SCALE DRAWINGS AND DETAILS.
- THIS DRAWING SHALL BE REFERRED ONLY FOR THE PURPOSE MENTIONED IN ITS TITLE- FLOORING PATTERN, FALSE CEILING, SHUTTERING PATTERN, ELECTRICAL, PLUMBING, ETC.]

SHEET CONTENT:

MATERIAL BOARD



THIS DOCUMENT IS THE PROPERTY OF LIVIO BUILDING SYSTEMS AND SHALL NOT BE REFERRED, REPRODUCED, COPIED, ETC. WITHOUT EXPLICIT WRITTEN PERMISSION FROM LIVIO BUILDING SYSTEMS, 106 ALTOS, CA USA

PROJECT : 304 O'KEEFE STREET, MENLO PARK

MATERIAL BOARD

DATE: 06-27-2023
DRAWN BY: JUNEDTAGR
CHECKED BY: SUBHENDU
SCALE: 1/4" = 1'-0"



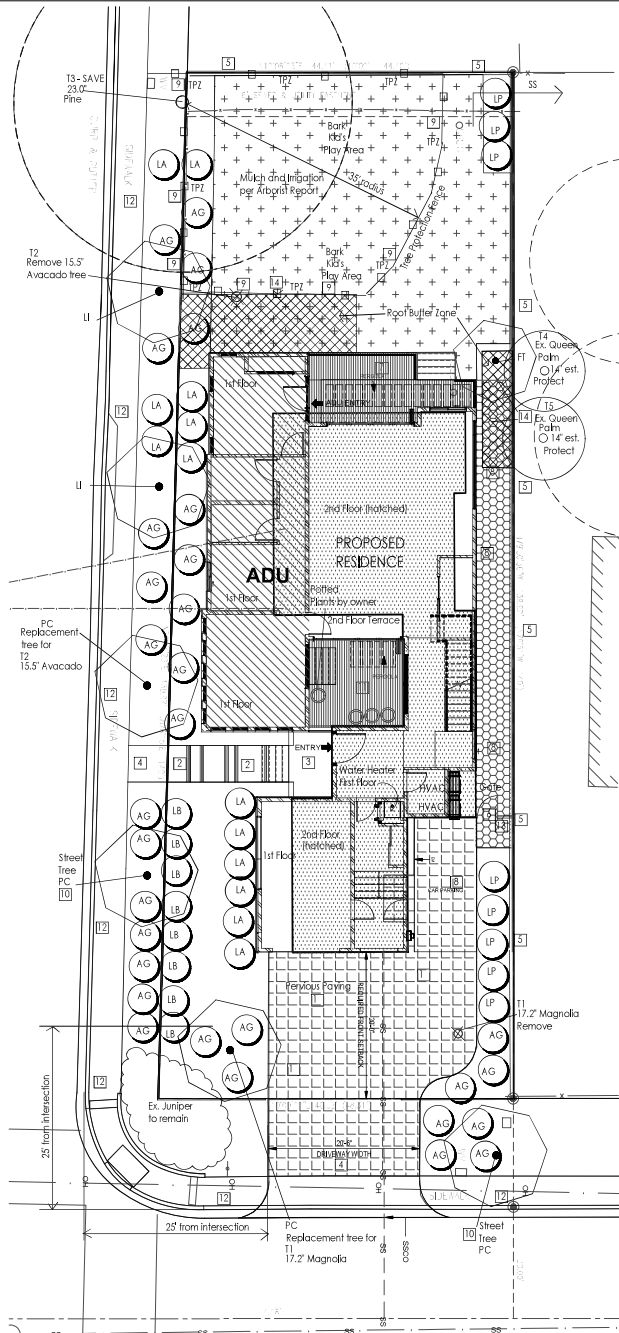
SHEET NO:
A-7.002

ADDRESS: 329 S San Antonio Road Suite #4, Los Altos, CA 94022
CONTACT: 650-296-6900
EMAIL: team@livio.com

Landscape Notes

- 1) See attached irrigation plan and WESD water use estimates and notes in final construction drawings for building permits.
- 2) Exact location of plants on site to be adjusted so as to best coordinate with irrigation component locations, signs, drainage features, and walls.
- 3) Use 2 inch deep mulch in all planting areas. Provide owner with different mulch samples and prices including longevity ratings in order to make an informed decision. Another mulch possibility is a mulched hardwood chip.
- 4) Plant plants for all plant codes shown on the plan even if they aren't boxed. Call for identification, for spacing purposes. If no one is available to answer questions, assume that any plant code should be less than 18" wide if 5 gal. size and any code smaller than 18" gal. size.
- 5) If the plant is a shrub, do not install plants too close to edges of parking or buildings. Keep walk and quiet corridors away from trees.
- 6) If a compacted surface has been compacted during building construction, do not do excessive digging under existing tree canopies. Dig start on soil, and stop right up under existing tree canopies.
- 7) When installing utility lines hand digging, boring, or spade, or other excavation method as approved by the Project Architect shall be considered to protect existing mature trees. Consult with the Project Architect prior to adjusting locations of utility lines. Record the project architect tree report and tree protection plan concerning the protection of all existing trees to be saved during construction.
- 8) Any drainage improvements which are damaged as a result of construction will be required to be redone.
- 9) An encroachment permit from the Engineering Division is required prior to any construction activities in the public right of way. A list of requirements for encroachment permit submittal can be found on the City's webpage at: <http://www.menlopark.org/200/EncroachmentPermits>
- 10) A landscape audit report from a Certified Professional will be required prior to construction.
- 11) All fences, dogging, and other improvements are to be installed within the property lines except where you have city permission to install improvements in the public ROW. If you don't know for sure where the property lines are, have a licensed surveyor map them for you.

I have complied with the criteria of the Water Efficient Landscape Ordinance and applied them for the efficient use of water in the landscape and irrigation design plan.
 Greg Lewis 1/22/25 *Greg Lewis*



Plant Legend

HT	CONT	SIZE	BOTANICAL NAME	COMMON NAME	WUCOLS#	Water use Rating
LA	2	24" box	Lagotis arvensis	Crape Myrtle	LOW	
TP	1	18"	Redwood	Redwood	MED	
PC	4	24" box	Parsonsia chinensis	Chinese Pistache	LOW	

GROUND COVERS	HT	CONT	SIZE	BOTANICAL NAME	COMMON NAME	WUCOLS#	Water use Rating
LB	-	5 or 1		Lomandra bicolor	LOW		
LP	-	5 or 1		Lomandra filiformis	LOW		
AG	-	1		Agave Guadalupeana	Small or medium Agave	LOW	
LA	-	1		Lomandra filiformis	Other rarely selected by owner	LOW	

All owners if they want to update any plants if the budget allows.

Landscape Site Legend

- 1 Previous paved driveway - owner to select finish and color
- 2 Conc or paver wall - finish and color to be selected by owner
- 3 Empty landing and steps - conc or non-slip tile on conc - finish and color to be selected by owner
- 4 Conc in ROW to be installed per city specifications with special paint
- 5 Replace existing 4' and 8' neighbor fences with new 7' fence stock along present lines
- 6 3 foot x 7 foot tall solid wood gate to match new fence
- 7 Rear patio - concrete or paver - finish and color to be selected by owner
- 8 3 inch deep gravel with 1/2" x 4" steel landscape edging - to be selected by owner
- 9 Tree Protection fence of Tree Protection Zone edge (TPZ) - 4 foot high chain link fence as per arborist report and city requirements
- 10 Street tree planted in city ROW. Verify that street tree locations meet minimum city Street Tree Planting Schedule Guidelines
- 11 Potted plants to be provided by owner - this area is paving or gravel to be determined by owner
- 12 Existing conc. sidewalk in ROW
- 13 Provide space under fence for flow of drainage by possible omitting kick board
- 14 Install tree protection root buffer - under portion of existing tree canopy as per arborist report

Revision

GREGORY LEWIS LANDSCAPE ARCHITECT #20716
 728 Park Way, Santa Cruz, CA 95065 (831) 556-0660
 greg@greglewis.com

New Residence
 304 O'Keefe St., Menlo Park, CA

1/8" = 1'-0"
 0' 4' 8'

LANDSCAPE SITE PLAN
 PLANTING PLAN

Scale: 1/22/25
 Date: As noted
 Drawn: Greg
 Sheet: 25

L1

LEGEND

- PROPERTY LINE
- CENTERLINE
- SS UTILITY LINE-TYPE AS NOTED
- STREET LIGHT
- UTILITY BOX-TYPE AS NOTED
- WM WATER METER
- WV WATER VALVE
- CB CURB CATCH BASIN
- FH FIRE HYDRANT
- MH MANHOLE-TYPE AS NOTED
- CO CLEANOUT
- P/OH POWER POLE W/ OVERHEAD WIRE
- BENCHMARK
- MON MONUMENT
- 200 CONTOUR LINE
- SWALE @ 1% MIN. (L.O.N.)
- SURFACE FLOW DIRECTION
- DOWNSPOUT WITH SPLASH-BLOCK
- 12" TREE-TRUNK DIAMETER IN INCHES SPECIES NOTED WHEN KNOWN

ABBREVIATION

- AC ASPHALT CONCRETE
- AD AREA DRAIN
- CB CURB
- C & G CURB & GUTTER
- CONC. CONCRETE
- DI DRAIN INLET
- EX EXISTING
- FF FINISH FLOOR GRADE
- FL FINISH GRADE
- FL FINISH SURFACE
- GF GARAGE FINISH GRADE
- P.U.E. PUBLIC UTILITY EASEMENT
- P.V.C. POLYVINYL CHLORIDE
- S/W SIDEWALK
- TC TOP OF CURB

EARTHWORK TABLE

CUT (CY)	FILL (CY)	EXPORT (CY)
65	5	60

NOTE: EARTHWORK QUANTITIES ON THIS TABLE ARE FOR INFORMATION ONLY. CONTRACTORS ARE TO PERFORM THEIR OWN QUANTITIES TAKE-OFF.

ON-SITE IMPERVIOUS AREAS:

PRE-DEVELOPMENT	SO. FT.
BUILDING	1,910
DRIVEWAY	425
PATIO	344
WALKWAY	376
TOTAL	3,055
POST-DEVELOPMENT	SO. FT.
BUILDING	2,142
DRIVEWAY	731
PATIO	362
WALKWAY	67
TOTAL	3,322
TOTAL CHANGE	267 SO. FT.

DRAINAGE CALCULATION:

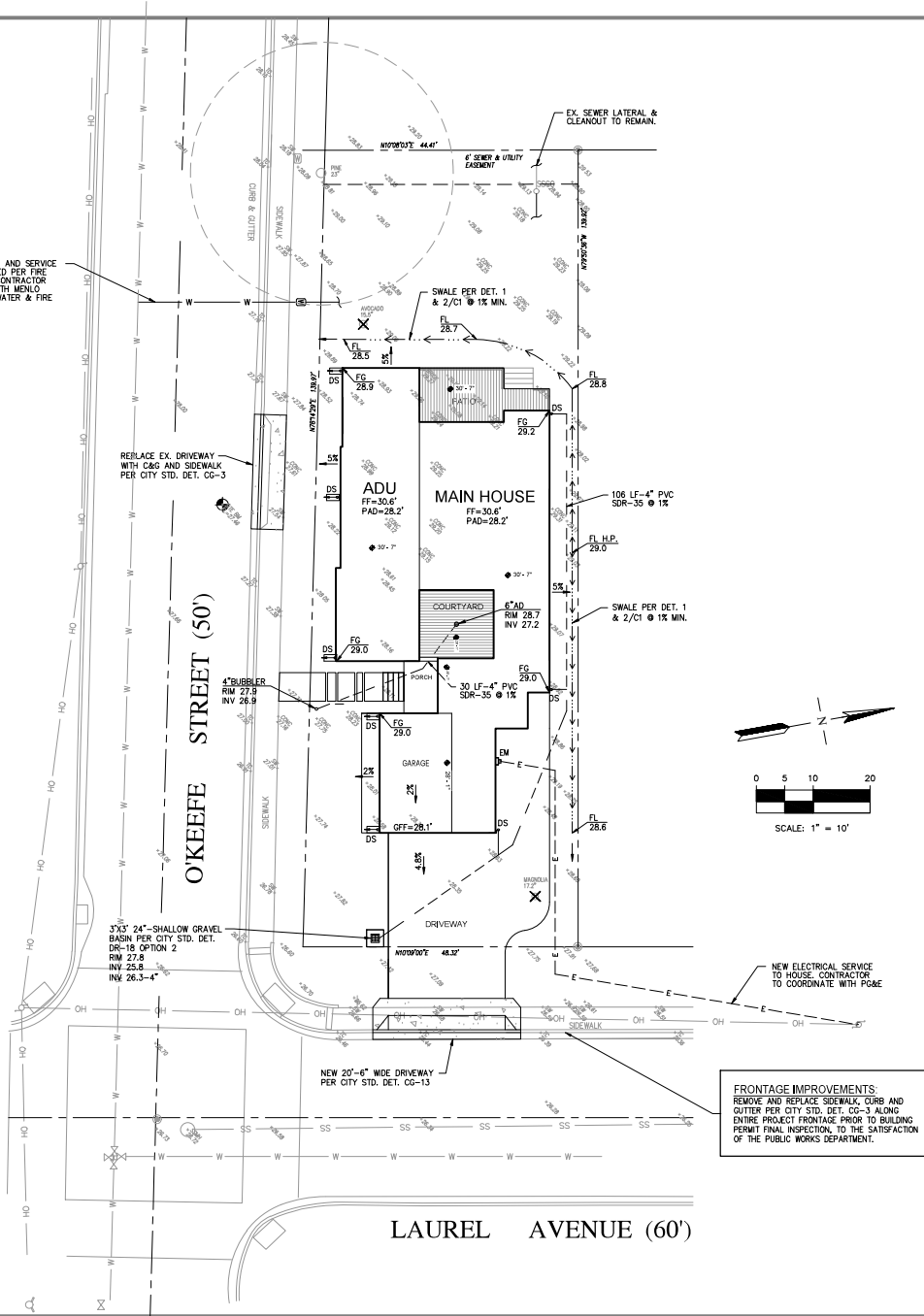
- NEW ADDITIONAL IMPERVIOUS AREA=3,322-3,055=267 SF
- DC=0.95 (ROOF)-0.30 (DIRT)=0.65
- DO=AIMPI(DC)=267(0.65)=173.55=0.007 CFS
- DETENTION VOLUME=(DO)(60)(10 MINUTES)=0.007(1.5)(10)(60)=6.3 CF
- VOLUME OF GRAVEL BED REQUIRED=6.3/0.4=15.8 CF
- AREA OF 24" GRAVEL BED=15.8/2=7.9 SF USE 3x3=9 SF. OK

SITE BENCHMARK:

SET NAIL
ELEVATION=27.46' NAVD 1988 DATUM

BASIS OF BEARINGS:

THE BEARING N109°00'00"E OF THE CENTERLINE OF LAUREL AVENUE AS SHOWN ON MAP OF MENLO PARK, FILED FOR RECORD IN BOOK 13 OF MAPS AT PAGE 19, SAN MATEO COUNTY RECORDS.

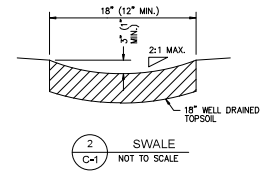
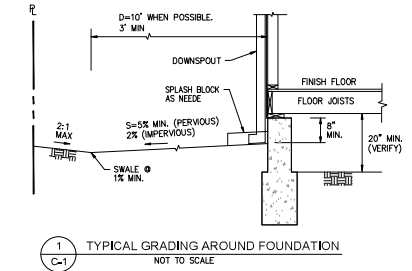
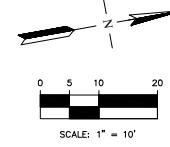


GRADING NOTES:

- ALL WORK SHALL COMPLY WITH THE LATEST EDITION OF CITY OF MENLO PARK STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR OF WORK SHALL BE RESPONSIBLE FOR ENFORCING SAFETY MEASURES AND REGULATIONS. THE CONTRACTOR MUST DESIGN, CONSTRUCT, INSTALL, AND MAINTAIN ALL SAFETY DEVICES, INCLUDING SHORING, AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE, AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS AND REGULATIONS.
- PRIOR TO START OF CONSTRUCTION, CONTRACTOR MUST VERIFY ALL JOINT/CROSSING LOCATIONS, ELEVATIONS, CURB, GUTTER, SIDEWALK, FLOW LINES, PAVEMENT, STREETS, AND ALL GRADE JOINTS. IF DISCREPANCY IS FOUND, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER AND NOT PROCEED WITH ANY CONSTRUCTION UNTIL VERIFICATION AND REVISION (IF NECESSARY) IS COMPLETED BY THE SAID ENGINEER.
- PRIOR TO START OF CONSTRUCTION, CONTRACTOR MUST VERIFY LOCATIONS AND ELEVATIONS OF ALL PATIOS, STEPS, WALKWAYS AND DRIVEWAYS WITH ARCHITECTURAL, LANDSCAPE AND STRUCTURAL PLANS. IF DISCREPANCY IS FOUND, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER AND NOT PROCEED WITH ANY CONSTRUCTION UNTIL VERIFICATION AND REVISION (IF NECESSARY) IS COMPLETED BY THE SAID ENGINEER.
- THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES/STRUCTURES SHOWN HEREON WERE OBTAINED FROM INFORMATION FURNISHED BY OTHERS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS AND ACCURACY OF SAID INFORMATION. THE CONTRACTOR MUST ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF THOSE TO BE USED AND SHALL BE RESPONSIBLE FOR DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON.
- THE SOIL REPORTS PREPARED FOR THIS PROJECT IS A PART OF THIS PLAN. THE MOST STRINGENT REQUIREMENTS BY SOIL ENGINEER OR GOVERNING AGENCIES SHALL PREVAIL. GRADING SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS AND RECOMMENDATIONS CONTAINED IN THE SOIL REPORT FOR THIS SITE TOGETHER WITH ANY SUPPLEMENTS THERETO. ALL GRADING WORK SHALL BE DONE UNDER THE OBSERVATION OF THE SOILS ENGINEER. THE SOIL ENGINEER SHALL BE NOTIFIED 48 HOURS BEFORE THE START OF ANY GRADING.
- THE STORM RUNOFF GENERATED BY THE NEW PROJECT SHALL NOT DRAIN ONTO ADJACENT PROPERTIES. THE EXISTING STORM DRAINAGE FROM THE ADJACENT PROPERTIES SHALL NOT BE BLOCKED BY THE NEW DEVELOPMENT.
- FOR ALL UTILITY NOTES MARKED "VERIFY", CONTRACTOR SHALL VERIFY LOCATION, SIZE, MATERIAL, ETC. OF EXISTING UTILITIES, SUCH AS WATER, GAS SEWER, ETC., PRIOR TO STARTING CONSTRUCTION.

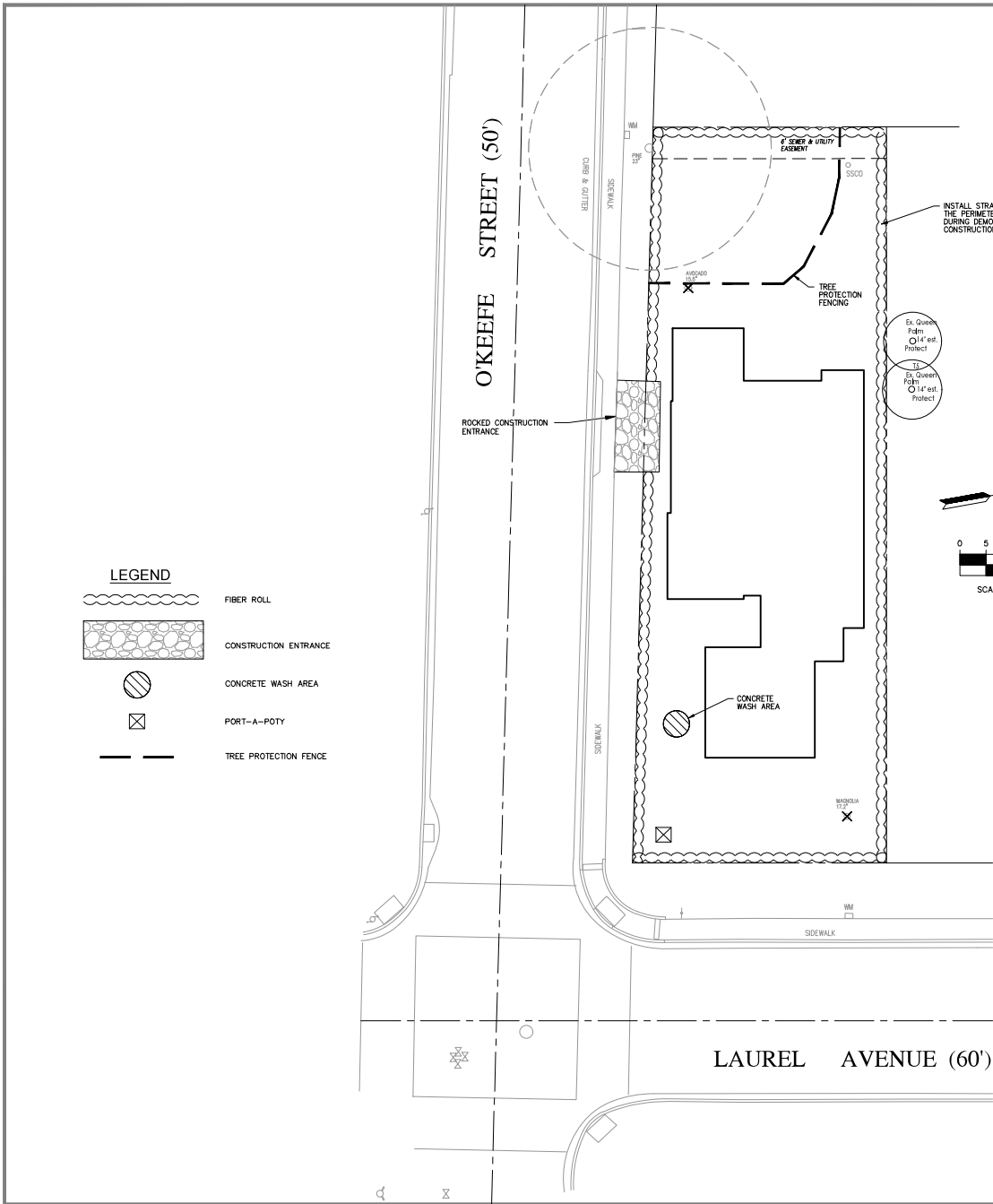
CITY OF MENLO PARK NOTES:

- THE APPLICANT SHALL REMOVE AND REPLACE ALL CRACKED, DAMAGED, UPLIFTED OR DERESSED FRONTAGE IMPROVEMENTS (CURB, GUTTER, SIDEWALK, DRIVEWAY, ETC.) EXISTING OR DAMAGED BY THE CONSTRUCTION ACTIVITIES, PER CITY STANDARDS ALONG THE ENTIRE PROPERTY FRONTAGE. IF FRONTAGE IMPROVEMENTS DO NOT CURRENTLY EXIST, THE APPLICANT IS REQUIRED TO INSTALL FRONTAGE IMPROVEMENTS PER CITY STANDARDS ALONG THE ENTIRE PROPERTY FRONTAGE. ALL IMPROVEMENTS ARE TO BE COMPLETED AND APPROVED BY THE CITY OF MENLO PARK'S PUBLIC WORKS INSPECTOR PRIOR TO THE FINAL INSPECTION BY THE BUILDING INSPECTOR.
- THE APPLICANT/CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE CITY'S ENGINEERING DIVISION PRIOR TO START OF ANY WORK WITHIN THE CITY'S RIGHT-OF-WAY OR PUBLIC EASEMENT AREAS. THE APPLICANT SHALL OBTAIN PERMITS FROM UTILITY COMPANIES PRIOR TO APPLYING FOR CITY ENCROACHMENT PERMIT.
- CIVIL ENGINEER SHALL COORDINATE WITH PROJECT ARBORIST TO DETERMINE THE LOCATION OF EDGE OF PAVEMENT, STORM DRAIN LINES AND OTHER UTILITY LINES NEAR TREES. THE LOCATIONS OF IMPROVEMENTS NEAR CITY TREES SHALL BE APPROVED BY CITY ARBORIST.
- ALL TRENCHES IN THE CITY'S RIGHT-OF-WAY SHALL COMPLY WITH CITY STANDARD DETAILS 51-9A, 51-9B AND 51-16.
- ALL CONCRETE WORK IN THE CITY'S RIGHT-OF-WAY SHALL COMPLY WITH CITY STANDARD DETAIL C-3.
- PRIOR TO FINAL INSPECTION, THE APPLICANT SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE CITY'S ENGINEERING DIVISION FOR ALL EXISTING PRIVATE STRUCTURES, IMPROVEMENTS AND LANDSCAPING (IF ANY) LOCATED IN THE CITY'S RIGHT-OF-WAY ALONG THE PROPERTY FRONTAGE.



FRONTAGE IMPROVEMENTS:
REMOVE AND REPLACE SIDEWALK, CURB AND GUTTER PER CITY STD. DET. CC-3 ALONG ENTIRE PROJECT FRONTAGE PRIOR TO BUILDING PERMIT FINAL INSPECTION, TO THE SATISFACTION OF THE PUBLIC WORKS DEPARTMENT.

DATE		BY		REVISION	
<p>RW ENGINEERING, INC. CIVIL ENGINEERS • LAND SURVEYORS 505 ALAMONT DRIVE MENLO PARK, CA 94025 (415) 688-5554 rweengineering@gmail.com</p>					
<p>NEW RESIDENCE 304 O'KEEFE STREET MENLO PARK, CA SAN MATEO COUNTY APN: 062-204-160</p>					
<p>GRADING AND DRAINAGE PLAN</p>					
DATE: 1/28/2025					
SCALE: AS NOTED					
DESIGNED BY: RW					
DRAWN BY: RW					
SHEET NO. C-1					



GENERAL EROSION AND SEDIMENT CONTROL NOTES:

1. THIS PLAN IS INTENDED TO BE USED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY AND IS NOT TO BE USED FOR FINAL ELEVATIONS OR PERMANENT IMPROVEMENTS.
2. OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR, DURING, AND AFTER STORM EVENTS.
3. REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY OR OTHER PUBLIC PLACE. SHOULD ANY BLOW, SPILL, OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, IMMEDIATE REMEDY SHALL OCCUR.
4. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.
5. DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM, INCLUDING EXISTING DRAINAGE SWALES AND WATER COURSES.
6. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. STATE AND LOCAL LAWS CONCERNING POLLUTION ABATEMENT SHALL BE COMPLIED WITH.
7. CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE, AND LOCAL AGENCY REQUIREMENTS.

EROSION AND SEDIMENT CONTROL MEASURES

1. THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 1 TO APRIL 30. FACILITIES ARE TO BE OPERABLE PRIOR TO OCTOBER 1 OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDE SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
2. CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCE WAYS.
3. CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE CITY AND COUNTY.
4. IF HYDROSEEDING IS NOT USED OR IS NOT EFFECTIVE BY 10/10, THEN OTHER IMMEDIATE METHODS SHALL BE IMPLEMENTED, SUCH AS EROSION CONTROL BLANKETS, OR A THREE-STEP APPLICATION OF 1) SEED, MULCH, FERTILIZER 2) BROWN STRAW 3) TACKIFIER AND MULCH.
5. INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT.
6. THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. NOTIFY THE CITY REPRESENTATIVE OF ANY FIELD CHANGES.

MAINTENANCE NOTES

- A. REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END OF EACH WORKING DAY.
 - B. SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
 - C. SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
 - D. SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1 FOOT.
 - E. SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
 - F. RILLS AND GULLIES MUST BE REPAIRED.
2. ROCK BAG INLET PROTECTION SHALL BE CLEANED OUT WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE GRAVEL BAG.

HYDROSEEDING:

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, CALTRANS STANDARD SPECIFICATIONS, AND UNDER THE DIRECTION OF THE SOIL ENGINEER IN THE FIELD.
2. ALL AREAS SPECIFIED FOR HYDROSEEDING SHALL BE NOZZLE PLANTED WITH STABILIZATION MATERIAL CONSISTING OF FIBER, SEED, FERTILIZER AND WATER, MIXED AND APPLIED IN THE FOLLOWING PROPORTIONS AVAILABLE FROM PACIFIC COAST SEED, LIVERMORE (925) 373-4417:

FIBER (HYDROSTRAW AND TACK MULCH)	2500 LBS/ACRE
COLOR (GREEN TO GOLD)	55 LBS/ACRE
FERTILIZER (16-20-0)	350 LBS/ACRE
M-BINDER	125 LB/ACRE
WATER, AS REQUIRED FOR APPLICATION	

ADDITIONAL NOTES:

1. PERFORM CLEARING AND EARTH-MOVING ACTIVITIES ONLY DURING DRY WEATHER. MEASURES TO ENSURE EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED PRIOR TO EARTH-MOVING ACTIVITIES AND CONSTRUCTION.
2. MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL ARE REQUIRED YEAR-ROUND. STABILIZE ALL DENUDE AREAS AND MAINTAIN EROSION CONTROL MEASURES CONTINUOUSLY BETWEEN OCTOBER 1 AND APRIL 30.
3. STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTE PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
4. CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING, WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASHWATER OR SEDIMENTS, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.
5. USE SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN DETOURING SITE AND OBTAIN REGIONAL WATER QUALITY CONTROL BOARD (RWQCB) PERMIT(S) AS NECESSARY.
6. AVOID CLEANING, FUELING, OR MAINTAINING VEHICLE ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASHWATER IS CONTAINED AND TREATED.
7. LIMIT TIME APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF.
8. LIMIT CONSTRUCTION ACCESS ROUTES AND STABILIZE DESIGNATED ACCESS POINTS.
9. AVOID TRACKING DIRT OR OTHER MATERIAL OFF-SITE; CLEAN OFF-SITE PAVED AREAS AND SIDEWALKS USING DRY SWEEPING METHODS.
10. TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES AND SUBCONTRACTORS REGARDING THE WATERSHED PROTECTION MAINTENANCE STANDARDS AND CONSTRUCTION BEST MANAGEMENT PRACTICES.
11. PLACEMENT OF EROSION MATERIALS AT THESE LOCATIONS IS REQUIRED ON WEEKENDS AND DURING RAIN EVENTS:
 - A) CONSTRUCTION MATERIAL STORAGE AREA AS SHOWN ON C-2.
12. THE AREA DELINEATED ON THE PLANS FOR PARKING, GRUBBING, STORAGE ETC., SHALL NOT BE ENLARGED OR "RUN OVER."
13. CONSTRUCTION SITES ARE REQUIRED TO HAVE EROSION CONTROL MATERIALS ON-SITE DURING THE "OFF-SEASON."
14. DUST CONTROL IS REQUIRED YEAR-ROUND.
15. EROSION CONTROL MATERIALS SHALL BE STORED ON-SITE.
16. USE OF PLASTIC SHEETING BETWEEN OCTOBER 1ST AND APRIL 30TH IS NOT ACCEPTABLE. UNLESS FOR USE ON STOCKPILES WHERE THE STOCKPILE IS ALSO PROTECTED WITH FIBER ROLLS CONTAINING THE BASE OF THE STOCKPILE.
17. THE TREE PROTECTION SHALL BE IN PLACE BEFORE ANY GRADING, EXCAVATING OR GRUBBING IS STARTED.

NO.	REVISION	DATE	BY

RW ENGINEERING, INC.
 CIVIL ENGINEERS • LAND SURVEYORS
 505 ALTAIR DRIVE
 MENLO PARK, CA 94025
 (P) 650 324-8554
 (F) 650 324-8554
 rweengineering@gmail.com

NEW RESIDENCE
304 O'KEEFE STREET
MENLO PARK, CA
 SAN MATEO COUNTY
 APN: 062-204-160

EROSION CONTROL PLAN

DATE:	1/28/2025
SCALE:	AS NOTED
DESIGNED BY:	RW
DRAWN BY:	RW
SHEET NO.:	C-2

NOTES:

- THIS ELECTRONIC FILE IS SOLELY FOR THE USE OF THE ARCHITECT FOR THE DEVELOPMENT OF HIS/HER ARCHITECTURAL DRAWINGS TO OBTAIN BUILDING PERMITS.
- THE DELIVERY OF THIS MAP IN AN ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF MY PROFESSIONAL WORK PRODUCT. THE SIGNED PAPER PRINT IS PROVIDED TO THE CLIENT AS AN INSTRUMENT OF SERVICE. IN EVENT THE ELECTRONIC FILE IS ALTERED, THE SAID PAPER PRINT MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT SURVEY INFORMATION. RW ENGINEERING, INC. SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE, BY OTHERS, TO THE ELECTRONIC FILE, OR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE.
- THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY AT THE TIME THE SURVEY WORK WAS COMPLETED.
- UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND AND OVERHEAD UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "U" (1-800-642-2440).
- ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.
- BUILDING FOOTPRINTS ARE SHOWN AT GROUND LEVEL.
- FINISH FLOOR ELEVATION TAKEN AT DOOR THRESHOLD (EXTERIOR).
- A TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY RW ENGINEERING, INC. OTHER EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.

SITE BENCHMARK:

SET NAIL
ELEVATION=27.46' NAVD 1988 DATUM

BASIS OF BEARINGS:

THE BEARING N107°09'00"E OF THE CENTERLINE OF LAUREL AVENUE AS SHOWN ON MAP OF MENALTO PARK, FILED FOR RECORD IN BOOK 13 OF MAPS AT PAGE 19, SAN MATEO COUNTY RECORDS.

SITE DATA:

304 O'KEEFE STREET
MENLO PARK, CA
LOT 12, BLOCK 6, MENALTO PARK
APR: 062-204-160
AREA=6,487 S.F.±

I CERTIFY THAT THIS PARCEL'S BOUNDARY WAS ESTABLISHED BY ME OR UNDER MY SUPERVISION AND IS BASED ON A FIELD SURVEY IN CONFORMANCE WITH THE LAND SURVEYOR'S ACT. ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

Robert Y. Wang
ROBERT Y. WANG, LS 6931

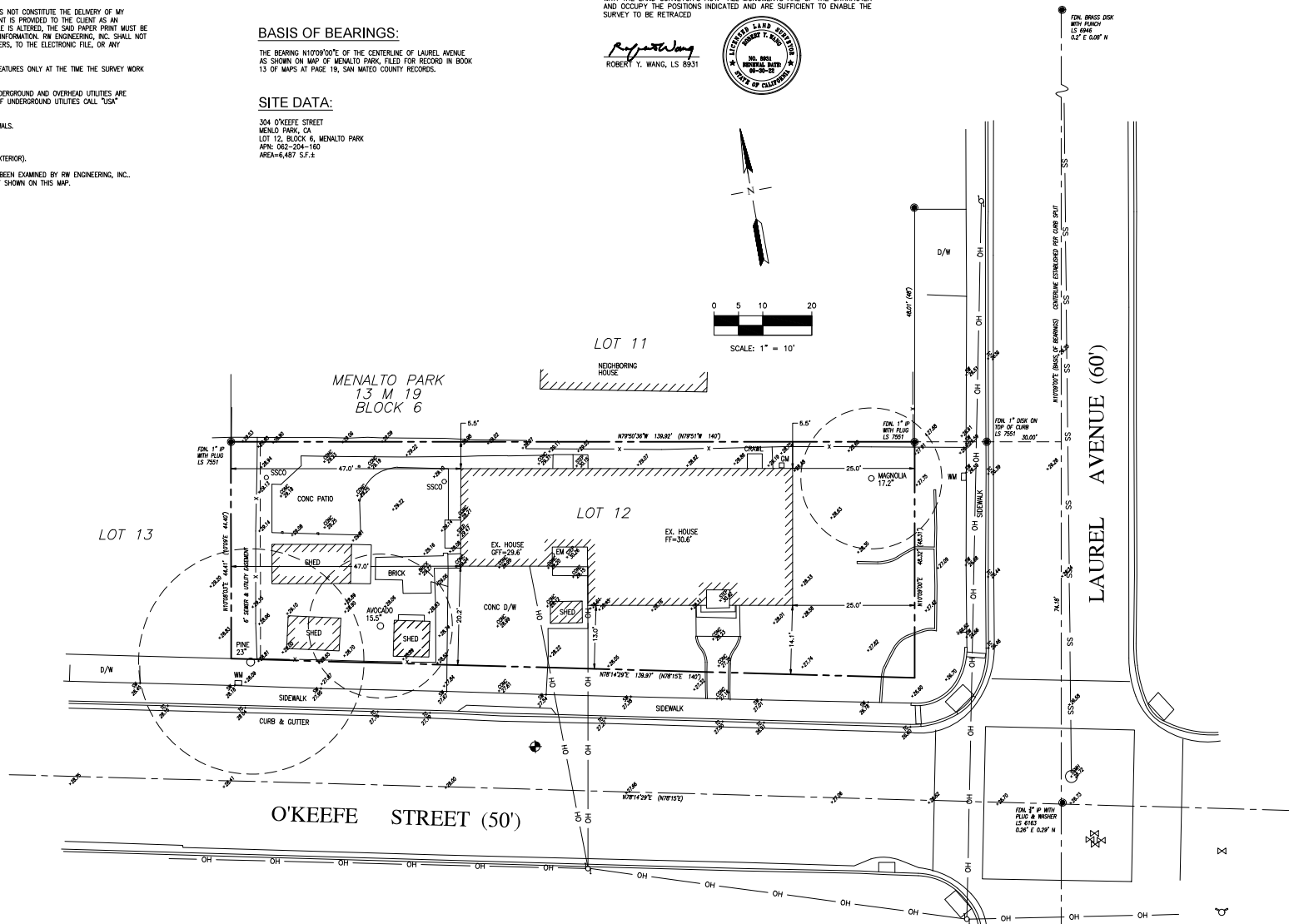


ABBREVIATION

- AD AREA DRAIN
- A.E. ANCHOR EASEMENT
- AC ASPHALT CONCRETE
- BR BRICK
- C/G CURB & GUTTER
- C CONCRETE
- D DRAIN INLET
- FF FINISH FLOOR GRADE
- FL FLOWLINE
- GM GAS METER
- LG LP OF GUTTER
- MB MAIL BOX
- P.U.E. PUBLIC UTILITY EASEMENT
- P.S.E. PUBLIC SERVICE EASEMENT
- SDMH STORM DRAIN MANHOLE
- SSCO SANITARY SEWER CLEANOUT
- SSMH SANITARY SEWER MANHOLE
- S/W SIDEWALK
- TC TOP OF CURB
- T.R.C. TOP OF ROLLED CURB
- W.C.E. WIRE CLEARANCE EASEMENT
- WM WATER METER

LEGEND

- PROPERTY LINE
- CENTERLINE
- SS UTILITY LINE-TYPE AS NOTED
- STREET LIGHT
- PG&E UTILITY BOX-TYPE AS NOTED
- WM/GM WATER/GAS METER
- D-WV WATER VALVE
- ▤ CURB CATCH BASIN
- MH MANHOLE-TYPE AS NOTED
- CD SANITARY SEWER CLEANOUT
- PR-OH POWER POLE W/ OVERHEAD WIRE
- BENCHMARK
- 200 CONTOUR LINE
- ⊙ MON MONUMENT
- 12" TREE-TRUNK DIAMETER IN INCHES SPECIES NOTED WHEN KNOWN
- GUY WIRE



NO.	REVISION	DATE	BY

RW ENGINEERING, INC.
CIVIL ENGINEERS • LAND SURVEYORS
505 ALAMONT DRIVE
MENLO PARK, CA 94028-1888
(415) 321-1888
(415) 321-5555
rwengineering@gmail.com

**304 O'KEEFE STREET
MENLO PARK, CA**

APN: 062-204-160 SAN MATEO COUNTY

TOPOGRAPHIC & BOUNDARY SURVEY

DATE: 1/28/2025
SCALE: AS NOTED
DESIGNED BY: RW
DRAWN BY: RW
SHEET NO:
SU-1
OF 1 SHEETS

304 O'Keefe Project Description Letter

Rohit Khare • Sep 27, 2024

Dear Menlo Park Planning Commission,

Thank you for your consideration of our application for a Use Permit for our project at 304 O'Keefe St in the Willows neighborhood of Menlo Park.

Purpose of proposal and scope of work

This proposed project is both an investment in the future for our family, as our young children and elderly relatives age-in-place; as well as an investment in the future of affordable housing in Menlo Park.

We are replacing a two-story, single-family home with an attached ADU with another two-story, single-family home with an attached ADU – while replacing an obsolete, piecemeal, inefficient structure with a state-of-the-art steel-framed, seismically safer, environmentally healthier, and energy-efficient home.

Anticipating future policy changes that will encourage supply of new housing units, we have also designed this project to accommodate future development on our lot.

Architectural style, materials, colors, and construction methods

Given the urban context of Menlo Park, a contemporary style offers a harmonious blend of modern aesthetics and functionality. Our project aims to contribute positively to the architectural landscape of the community while adhering to all relevant city regulations and standards.

The proposed design features a flat roof on the first level and a combination of flat and gable roofs on the second level. Our design incorporates a variety of exterior materials to achieve a visually striking yet harmonious appearance. These materials include smooth stucco in beige and white combinations, accented with dark grey stucco for contrast.

Additionally, warm-toned wooden siding, complemented by dark grey window and door trims, will enhance the overall aesthetic appeal of the structure. A standing seam metal roof adds a modern touch while ensuring durability and longevity. The color palette for the exterior walls will consist of an off-white warm tone with subtle grey undertones, maintaining a consistent and inviting atmosphere across both levels of the house. Furthermore, the driveway pavers will be selected in light to medium grey tones, complementing the overall design scheme. In accordance with City standards, our construction methods will prioritize quality, safety, and adherence to all building and construction regulations set forth by the City of Menlo Park.

To ensure the successful realization of our project, we plan to engage a Livio as our General Contractor with significant expertise in new construction, and specifically in residential light-gauge steel framing innovation. Our selected contractor Livio possesses a strong track record of compliance with all City building and construction method requirements, guaranteeing the highest standards of professionalism and craftsmanship.

We are confident that our proposed contemporary-style house will not only enhance the architectural diversity of Menlo Park but also provide a comfortable and sustainable living environment for all its future occupants.

Basis for site layout

As a long, narrow corner lot on a busy street, the site plan is carefully optimized for safety and privacy. This proposal includes an attached ADU along the first floor with a 4' setback, whose massing integrates cleanly with a main residence designed to the required 12' setback along O'Keefe St.

The central feature of the design is a traditional courtyard that brings light and life into the core of the home, unifying both residences with a spiraling core that is one-story to the south, overlooked by a patio from the west, defined by the second-story stairwell landing to the north, and culminating in the peak as a library / home office to the east. The volume of the courtyard is shifted into an oversized sunroom in the Attached ADU as well as the library above the foyer.

With three children, we wanted four bedrooms on the second floor, separated into a primary suite wing and a three-bedroom wing with two shared bathrooms and laundry on the other. On the ground-level, the ADU is self-contained with its own access for privacy, but also includes elderly relatives into family life by including views into the main courtyard and interior access to the main living areas.

For future development of a detached ADU or other permitted uses under current and future housing regulations, the entire site layout consolidates open spaces in case an urban lot-split might become necessary. We do not anticipate that, nor do we expect any requirement for separate conveyance, but it seems only prudent when imagining what the Willows, a hundred-year old neighborhood, might look like decades from now.

Existing and proposed uses

Existing use is as a residential property that is currently owner-occupied, which will continue to be the case in the newly constructed home. We have three young children, a grandmother living independently in the ADU, and another grandmother living nearby in the Willows whom we anticipate residing with us in the future as well.

Outreach to neighboring properties

We delivered copies of our plans along with cover letters that included our contact information for any questions or concerns (Also attached in the submission) to the mailboxes of all our

immediate neighbors with which we share a property border. We have addressed several concerns raised in our revised plans, and look forward to further engagement leading up to the hearings.

We reached out to 707 Laurel Ave neighbours via email on Dec 21, 2024, 12:25 AM

Also met the neighbours on 12/22. No concerns are raised by the neighbours

Sincerely,

Rohit Khare & Smruti Vidwans

Owners of 304 O'Keefe St

Date: 27 September 2024

Subject: *Revised Proposal for our new home at 304 O'Keefe St, Menlo Park, CA*

Dear Neighbors,

We hope you're doing well as our kids head back-to-school! One thing we're thankful for was joining the Willows community in 2008 to prepare for a future home with our three daughters (in 2011 and 2013) and their grandparents on both sides (since 2012 and 2017). Our 70-year old house, however, is less prepared for the future, so we're looking forward to replacing it in the new year.

We would like to share our plans and ask for your support for our proposed new two-story home before submitting it through the Menlo Park permitting process. That will start a process that will lead to a commission hearing for our proposal, with its own additional opportunities for outreach and engagement as well.

To keep the Willows affordable for the next generation, we are rebuilding our home to support multi-generational living and create new housing options for the future. As some of you might know, we converted our garage to a JADU and also helped relocate family members to another home in the Willows. We support how the neighborhood has modernized as we all adapt to the reality of intensive growth along the Willow Road corridor, in the midst of a State-wide housing crisis.

Our current 1,938 sq. ft. home was built in 1952, has only two bathrooms and added a second-story in 1964, so many of its components are in poor condition. Our new home will accommodate our parents as well as grown children or extended family. We are particularly excited about the traditional Indian courtyard at the heart of the design, which creates a space for intergenerational interaction between the main home and the ADU. We believe this will enhance the property's functionality and contribute to a warm and inviting atmosphere.

The planning and approval process has taken some time, in part due to resolving parking configurations. To meet these requirements, we re-oriented the project towards Laurel Ave, which led to several more adjustments to our original plans. We designed our garage and driveway around our Magnolia tree, which unfortunately then died, leading to more parking adjustments to ensure a healthier future tree planting in a different location..

In addition to these changes, we have added a sunroom to provide more natural light and indoor-outdoor living space. It also improves the appearance along O'Keefe St, as well as the removal of exterior metal cladding and other materials

that align better with the overall aesthetic of the Willows' North Laurel neighborhood.

Please reach out to us over email, videoconference, or visit us. We'd be glad to share more about our proposal, to discuss and address any concerns, and any other feedback to the plans at khare.org/304 (or scan the QR code below)

Sincerely,

Rohit Khare & Smruti Vidwans

304 O'Keefe St

Menlo Park, CA 94025

rkhare@gmail.com & smruti@gmail.com

(650) 714-5529 & (415) 425-1300



PS. Revisions from 23 November 2022 are in *italics*.

CC:

1. 706 Regal Ct
2. 319 O'Keefe St
3. 315 O'Keefe St
4. 311 O'Keefe St
5. 307 O'Keefe St
6. 312 O'Keefe St
7. 223 O'Keefe St
8. 668 Laurel Ave
9. 677 Laurel Ave
10. 707 Laurel Ave
11. 704 Laurel Ave

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email Roy@treemanagementexperts.com cell 415.606.3610



Livio Construction

Attn: Pooja Chitnis
171 Main St #562
Los Altos, CA 94022

RE: **Arborist Report and Tree Protection Plan**
304 Okeefe St.
Menlo Park, CA 94025

Date: 10/21/24

ARBORIST REPORT and Tree Protection Plan

Assignment

Arborist Report and Tree Protection Plan

- Review plans for demolition and new construction.
- Provide a site visit to inspect any heritage trees on or adjacent to the property and evaluate site conditions.
- Evaluate tree structure and health.
- Provide an appraised value for each tree.
- Develop an arborist report and tree protection plan to evaluate impacts to the heritage trees.
- Identify trees requiring removal and trees requiring mitigation requirements.
- In the event that a tree removal permit is required, provide necessary documentation.
- Develop tree protection methods and guidelines for retained trees.
- Provide recommendations for care and maintenance after completion of the project.

Background

The property at **304 Okeefe Street, Menlo Park** currently has a house and another small out-building on the lot. The property is being planned for construction, and this report is to be part of the planning submittal.

We were contacted on 1/20/22 regarding an Arborist Report and Tree Protection Plan to meet the needs of the City of Menlo Park. Our consultants are pre-qualified by the City of Menlo Park to provide services as your Project Arborist.

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The Tree Management Experts Project Arborists are interchangeable and designated as:

Roy Leggitt roy@treemanagementexperts.com 415.606.3610
Aaron Wang aaron@treemanagementexperts.com 847.630.3599

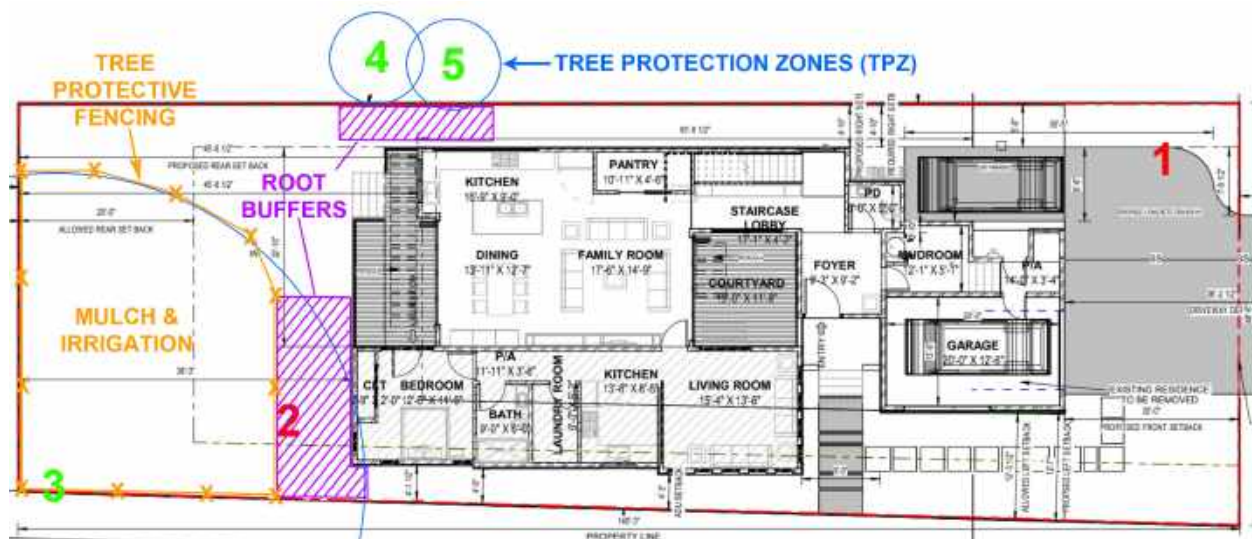
Tree Assessment

A total of 5 trees were found on or adjacent to this property, as shown below and per the attached photos. Numbers were assigned to each tree and correspond to those used in this report. The off-site trees are close enough to the construction that they could be impacted, and are therefore included in this report.

Tree No.	Genus species	Common Name	Diameter	Height	Spread	Condition
1	<i>Magnolia grandiflora</i>	Southern magnolia	17.2"	25'	30'	Dead
2	<i>Persea americana</i>	Avocado	*15.5"	20'	15'	Fair
3	<i>Pinus radiata</i>	Monterey pine	23.0"	50'	45'	Fair
4	<i>Syagrus romanzoffiana</i>	Queen palm	14" (est)	20'	10'	Good
5	<i>Syagrus romanzoffiana</i>	Queen palm	14" (est)	15'	10'	Good

All Trees

Tree 2 is not large enough to be a Heritage Tree, per photographs of the trunk diameter taken on 9/12/24. Per the City Arborist, this is 15.5" at 54 inches above grade, and is therefore a Heritage Tree. All other trees are either Heritage Trees or are on an adjacent parcel.



Site Plan with Tree Numbers

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Tree Requirements and Tree Protection Zones

Trees 3, 4 and 5 are to be protected and preserved. Trees 1 and 2 will need to be removed. Trees to be protected and preserved are accommodated in the new design and intended uses, and were found to be in fair or better condition and structurally sound. Tree Protection Zones (TPZ) have been developed for trees 3, 4 and 5, as shown in the following table.

Tree #	Common Name	Diameter	TPZ Diameter	Anticipated Impacts	Anticipated Requirements
1	Southern magnolia	17.2"	16'	Dead	Removal
2	Avocado	15.5"	20'	Building envelope	Removal
3	Monterey pine	23.0"	70'	Building envelope	Root buffer (8 feet wide), fencing, mulch, irrigation
4	Queen palm	14" (est)	12'	Access needs	Root buffer (4 feet wide)
5	Queen palm	14" (est)	12'	Access needs	Root buffer (4 feet wide)

Tree Requirements and Tree Protection Zones

Appraised Values for Trees

The following appraised values are calculated according to the 10th edition of the *Guide for Plant Appraisal*. Penalties for damage to trees may be related to these values.

Tree #	Common Name	Diameter	Condition	Functional Limitations	External Limitations	Additional Costs	Appraised Value
1	Southern magnolia	17.2"	Dead	n/a	None		\$0
2	Avocado	15.5"	Poor	Construction 50%	None	Removal \$800 Replanting \$1,400	\$3,200
3	Monterey pine	23.0"	Fair 50%	Very limited space 30%	Pest/disease issues 30%	Removal \$5,000 Replanting \$1,400	\$7,600
4	Queen palm	14" (est), 20' tall	Good 80%	None	None	Removal \$2,100 Replanting \$1,400	\$7,500
5	Queen palm	14" (est), 15' tall	Good 80%	None	None	Removal \$2,100 Replanting \$1,400	\$6,500

Appraised Values

For these particular trees, the following evaluation criteria have been applied to derive the appraised values:

- Condition factors include health, structure and form.
- Functional limitations are related to available grow space, tolerance to construction impacts and the amount of area impacted by construction.
- External limitations are based on pests and environmental incompatibility.
- Additional costs include removal with stump grinding, disposal fees, wholesale purchase of plant material, delivery, installation, mark-up of costs, and maintenance for 3 years during establishment.
- The queen palms were valued at \$200 per foot of trunk height.

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Site and Soil Conditions

The site appears to have characteristic soil for the area with nutrient sufficiency and proper drainage. Existing plant material on this property and on adjacent properties is supporting a wide variety of plant material with normal growth present. Tree species appeared to have foliage of a normal size, shape, color and density, an indication that soil chemistry and nutrition is sufficient.

Soil texture in this area is a sandy loam. These soils contain a variety of particle sizes and can separate and stratify if disturbed when wet. When this soil is wet, equipment cannot be operated within any TPZ area without causing a separation of coarse particles from fine particles, a process that causes compaction and formation of layers, and destroys the horticultural properties of the soil.

Should fill soil be required in TPZ areas with horticultural properties, only native soil may be used for this purpose and soil must be placed without tamping, vibration, rolling, saturating or otherwise causing compaction that exceeds 85 percent.

Construction Procedures

TREE REMOVALS

Trees 1 and 2 must be removed at the beginning of the project and before demolition and/or grading cause root losses that could result in hazardous trees. Tree removal, in this case, would include removal of the upper parts of the trees but not necessarily the lower 4 feet of the trunks or the root systems, and these remaining lower parts of the trees could potentially be removed as part of the demolition and excavation.

DEMOLITION

All tree protective fencing, root buffers, mulch and irrigation must be in place prior to demolition.

At no time is any wheeled equipment, a Bobcat® or an excavator allowed to enter or cross over TPZ areas, except where existing asphalt or concrete remains as a temporary root buffer during construction.

An excavator may be used to demolish and to excavate footings provided that equipment is placed entirely within the building footprint.

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STAGING AREAS

Staging areas are available in the areas of the new driveway, on the street frontages and in the front yard. The area of the rear yard surrounding Tree 3 cannot be used for staging of any materials, debris or equipment at any time, unless placed on a root buffer and per the direction of the Project Arborist.

Tree Protection Measures

To implement tree protection measures effectively, precise measurement for fence locations is critical. It is essential that the fence installer measure the distances accurately, and that the precise location of the fencing and root buffers is laid out in advance. This work cannot be completed properly by using either estimated or "paced off" distances. Required equipment will include a tape measure.

It is recommended that the TPZ and the building envelope be clearly marked in the field, that the root buffer be laid out, and then the fence posts be installed along the perimeter of the root buffer and the remainder of the TPZ.

Surface installations such as root buffers, irrigation and mulch must be installed in all parts of the TPZ of tree 3. Following surface installations, chain link fencing must be strung tightly and closed off at all locations, including where abutting existing wooden fences. The exact location of existing sidewalks and fences is not known and must be determined in the field.

Tree Protection Measures for All Areas

This work must be inspected and signed off by the Project Arborist.

TREE PROTECTIVE FENCING AND WARNING SIGNS

Placement: Tree protective fencing is required around Tree 3. Fencing is to be placed at a radius of 35 feet from the trunk of the tree, except where a property boundary fence or a root buffer exist. The fencing is to run along the edge of the root buffer closest to the tree.

Trees 4 and 5 are protected by the existing wooden boundary fence.

Type and Size: 5 or 6-foot high chain link fencing shall be placed on 2 inch tubular galvanized iron posts driven a minimum of 2 feet into undisturbed soil and spaced not more than 10 feet on center.

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Duration: Tree fencing shall be erected prior to any demolition activity, and shall remain in place for the duration of the project.

'Warning' Signs: 'Warning' signs shall be posted on Tree Protective Fencing not more than every 20 feet stating "WARNING – *Tree Protective Zone* – This fence shall not be removed"

MULCH

Placement: The area adjacent to tree 3 that is enclosed by tree protective fencing shall have a 4 to 6-inch deep layer of mulch applied, leaving a 12-inch distance around the tree trunk free of mulch.

Type and Size: Mulch material shall be 2-inch unpainted, untreated wood chip mulch or an approved equal.

Duration: Mulch shall be placed in all designated areas prior to any demolition or construction activity.

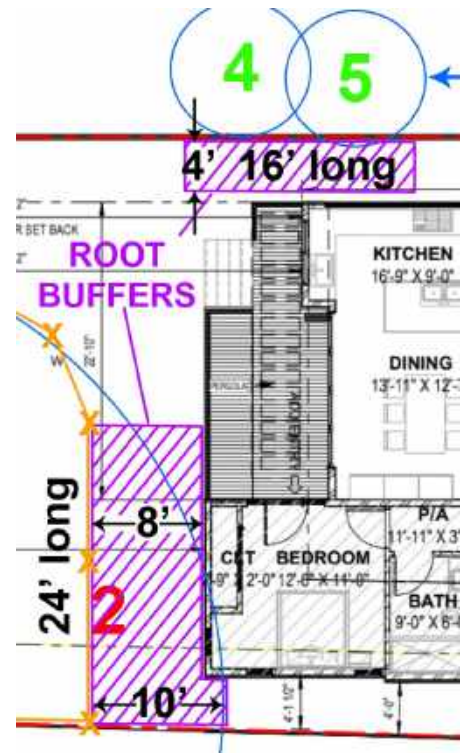
ROOT BUFFER

Placement: A temporary protective Root Buffer must be installed in any TPZ area on this parcel that is not enclosed by tree protective fencing and that is not part of the building envelope.

Adjacent to trees 4 and 5, a 4-foot wide root buffer shall be placed along 16 linear feet of the existing wood fence. See the marked diagram at right.

Between the building envelope and tree 3, an 8-foot wide root buffer shall be placed along 24 linear feet extending back from the front property line. The root buffer will need to wrap around the front corner of the building envelope by 2 feet. See the marked diagram at right.

Type and Size: The Root Buffer shall consist of a base course of tree chips spread over each designated area to a minimum depth of 6 inches and covered with a 3/4-inch plywood layer as a working surface. As these areas will not be used by any equipment, the standard second course of 3/4-inch quarry gravel may be omitted. It is necessary that additional wood chips be added



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periodically upon the recommendation of the Project Arborist following monthly inspections.

Duration: All Root Buffers shall remain in place for the duration of the project.

A root buffer must be installed between the building envelope and the property line fence for a distance of 20 feet where adjacent to trees 4 and 5.

A root buffer must be installed over an area that is 8 feet wide and is within the TPZ of tree 3 and is just outside the building envelope.

Construction Impact Mitigation

SWALE EXCAVATION

Grading changes shall not exceed 4 inches of depth in cuts, or 6 inches of depth in fill where such grade changes are within any TPZ.

Swale excavation areas will be subject to mulching and irrigation, and are not anticipated to require further mitigation.

SURFACE WATER

Surface water shall exit roof drains onto splash blocks and have opportunity to percolate into soils. No trenching for surface water drains is allowed within the TPZ.

UTILITY TRENCHING

All necessary utilities already exist and no new underground excavation for utilities is anticipated. If any utility trenches must be excavated through the TPZ area, either directional boring or Air-spade® (or equivalent) excavation is required. This work must be completed under the direction of the Project Arborist.

FOUNDATION CONSTRUCTION

Foundation construction will cause minor root impacts from perimeter footing excavation within the TPZ area of Tree 3. The following mitigation is required:

Hand Excavation

All portions of foundation excavation occurring within the TPZ area of tree 3 shall be completed by hand. All roots encountered of any size whatsoever shall be cleanly cut with a sharp tool at the excavation perimeter. Root cutting must be completed under the direction of the Project Arborist. Hand excavation will be required for 12 linear feet.

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Excavation Tailings

All tailings derived from excavation of the perimeter footings shall be immediately placed within the confines of the perimeter foundation, on the adjacent root buffer or outside the TPZ areas. No tailings shall be stockpiled, abandoned or allowed to remain overnight within the TPZ.

Soil Fracturing

All inadvertent compaction of soil within any TPZ shall be loosened by soil fracturing with Air-spade® (or equivalent) excavation equipment subsequent to all equipment access needs. Soil fracturing must be completed under the direction of the Project Arborist.

Maintenance and Ongoing Care

Tree maintenance and ongoing care is necessary in preparation for construction and throughout the entire timeline for construction. Anticipated needs include pruning, irrigation and tree protection during landscaping.

Ongoing monitoring of Trees 3, 4 and 5 by the Project Arborist will be needed on a monthly basis.

PRUNING

No pruning is required.

IRRIGATION

Long-term temporary irrigation must be supplied to Tree 3. The water supply line shall be run above soil surfaces and without any trenching in the TPZ area. Water shall be provided to the entire TPZ area through standard gear-driven irrigation heads or through soaker hoses at the rate of 10 gallons per trunk diameter inch, and based on the fractional area.

Water quantity and frequency shall occur 1 time per month during irrigation season (usually March through September). An automated watering system using a battery-operated timer shall be used to provide 90 gallons of water once per month. If the timer cycle is weekly, apply ¼ of the water per irrigation cycle and alert the Project Arborist for monitoring.

Long-term irrigation of trees 4 and 5 is provided by the neighbor/tree owner.

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LANDSCAPING

Care must be exercised during landscaping to avoid any trenches across the TPZ area for Tree 3. If sub-surface trenches must be installed, common trenches should be used and they should stay as far away from the tree as possible. A trench running along a radius line directly toward a tree is preferable to a cross trench. If extensive trenching is done, Air-spade® excavation is highly recommended.

Care must be taken to keep mulch away from the base of this tree and other woody plants to be installed. Similarly, soil grades must be carefully monitored to keep excess soil from accumulating around the base of all trees and shrubs.

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Assumptions and Limiting Conditions

1. Any legal description provided to the consultant is assumed to be correct. Title and ownership of all property considered are assumed to be good and marketable. No responsibility is assumed for matters legal in character. Any and all property is appraised or evaluated as though free and clear, under responsible ownership and competent management.
2. It is assumed that any property is not in violation of any applicable codes, ordinances, statutes or other governmental regulations.
3. Care has been taken to obtain all information from reliable sources. All data has been verified insofar as possible. The consultant can neither guarantee nor be responsible for the accuracy of information provided by others.
4. Various diagrams, sketches and photographs in this report are intended as visual aids and are not to scale, unless specifically stated as such on the drawing. These communication tools in no way substitute for nor should be construed as surveys, architectural or engineering drawings.
5. Loss or alteration of any part of this report invalidates the entire report.
6. Possession of this report or a copy thereof does not imply right of publication or use for any purpose by any other than the person to whom it is addressed, without the prior written or verbal consent of the consultant.
7. This report is confidential and to be distributed only to the individual or entity to whom it is addressed. Any or all of the contents of this report may be conveyed to another party only with the express prior written or verbal consent of the consultant. Such limitations apply to the original report, a copy, facsimile, scanned image or digital version thereof.
8. This report represents the opinion of the consultant. In no way is the consultant's fee contingent upon a stipulated result, the occurrence of a subsequent event, nor upon any finding to be reported.
9. The consultant shall not be required to give testimony or to attend court by reason of this report unless subsequent contractual arrangements are made, including payment of an additional fee for such services as described in the fee schedule, an agreement or a contract.
10. Information contained in this report reflects observations made only to those items described and only reflects the condition of those items at the time of the site visit. Furthermore, the inspection is limited to visual examination of items and elements at the site, unless expressly stated otherwise. There is no expressed or implied warranty or guarantee that problems or deficiencies of the plants or property inspected may not arise in the future.

Disclosure Statement

Arborists are tree specialists who use their education, knowledge, training, and experience to examine trees, recommend measures to enhance the beauty and health of trees, and attempt to reduce the risk of living near trees. Clients may choose to accept or disregard the recommendations of the arborist, or to seek additional advice.

Arborists cannot detect every condition that could possibly lead to the structural failure of a tree. Trees are living organisms that fail in ways we do not fully understand. Conditions are often hidden within trees and below ground. Arborists cannot guarantee that a tree will be healthy or safe under all circumstances, or for a specified period of time. Likewise, remedial treatments, like any medicine, cannot be guaranteed.

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email Roy@treemanagementexperts.com

cell 415.606.3610



Treatment, pruning, and removal of trees may involve considerations beyond the scope of the arborist's services such as property boundaries, property ownership, site lines, disputes between neighbors, and other issues. An arborist cannot take such considerations into account unless complete and accurate information is disclosed to the arborist. An arborist should then be expected to reasonably rely upon the completeness and accuracy of the information provided.

Trees can be managed, but they cannot be controlled. To live near trees is to accept some degree of risk. The only way to eliminate all risk associated with trees is to eliminate the trees.

Certification of Performance


I, Roy C. Leggitt, III, Certify:

- That we have inspected the trees and/or property evaluated in this report. We have stated findings accurately, insofar as the limitations of the Assignment and within the extent and context identified by this report;
- That we have no current or prospective interest in the vegetation or any real estate that is the subject of this report, and have no personal interest or bias with respect to the parties involved;
- That the analysis, opinions and conclusions stated herein are original and are based on current scientific procedures and facts and according to commonly accepted arboricultural practices;
- That no significant professional assistance was provided, except as indicated by the inclusion of another professional report within this report;
- That compensation is not contingent upon the reporting of a predetermined conclusion that favors the cause of the client or any other party.

I am a member in good standing of the American Society of Consulting Arborists and a member and Certified Arborist with the International Society of Arboriculture.

I have attained professional training in all areas of knowledge asserted through this report by completion of a Bachelor of Science degree in Plant Science, by routinely attending pertinent professional conferences and by reading current research from professional journals, books and other media.

I have rendered professional services in a full-time capacity in the field of horticulture and arboriculture for more than 36 years.


Signed: _____
Certified Arborist WE-0564A

Date: 10/21/24 _____



Tree 1



Tree 2



Tree 2

*Tree 2
Diameter
at 54" height
16.0"*



*Tree 2
Diameter
of 14.9"
per Guidelines*



Tree 3



Tree 3



LOCATION: 304 O'Keefe Street	PROJECT NUMBER: PLN2022-00059	APPLICANT: Burhan Baba	OWNER: Rohit Khare and Smruti Vidwans
-------------------------------------	--------------------------------------	-------------------------------	--

PROJECT CONDITIONS:

1. The use permit shall be subject to the following **standard** conditions:
 - a. The applicant shall be required to apply for a building permit within one year from the date of approval (by March 24, 2026) for the use permit to remain in effect.
 - b. Development of the project shall be substantially in conformance with the plans prepared by Livio consisting of 23 plan sheets, dated received March 6, 2025 and approved by the Planning Commission on March 24, 2025, except as modified by the conditions contained herein, subject to review and approval of the Planning Division.
 - c. Prior to building permit issuance, the applicant shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.
 - d. Prior to building permit issuance, the applicant shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
 - e. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.
 - f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.
 - g. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.
 - h. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the arborist report prepared by Tree Management Experts, dated October 21, 2024.
 - i. Prior to building permit issuance, the applicant shall pay all fees incurred through staff time spent reviewing the application.
 - j. The applicant or permittee shall defend, indemnify, and hold harmless the City of Menlo Park or its agents, officers, and employees from any claim, action, or proceeding against the City of Menlo Park or its agents, officers, or employees to attack, set aside, void, or annul an approval of the Planning Commission, City Council, Community Development Director, or any other department, committee, or agency of the City concerning a development, variance, permit, or land use approval which action is brought within the time period provided for in any applicable statute; provided, however, that the applicant's or permittee's duty to so defend, indemnify, and hold harmless shall be subject to the City's promptly notifying the applicant or permittee of any said claim, action, or proceeding and the City's full cooperation in the applicant's or permittee's defense of said claims, actions, or proceedings.

LOCATION: 304 O'Keefe Street	PROJECT NUMBER: PLN2022-00059	APPLICANT: Burhan Baba	OWNER: Rohit Khare and Smruti Vidwans
<p>PROJECT CONDITIONS:</p> <ul style="list-style-type: none"> <li data-bbox="342 331 1427 457">k. Notice of Fees Protest – The applicant may protest any fees, dedications, reservations, or other exactions imposed by the City as part of the approval or as a condition of approval of this development. Per California Government Code 66020, this 90-day protest period has begun as of the date of the approval of this application. <li data-bbox="293 470 1219 501">2. The use permit shall be subject to the following project-specific condition: <ul style="list-style-type: none"> <li data-bbox="342 516 1427 642">a. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans, showing the project meets the minimum turning path for a passenger car for the proposed uncovered parking, subject to the satisfaction and approval of the Transportation Division. <li data-bbox="342 655 1427 810">b. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans, showing the removal and replacement of the curb and gutter along the O'Keefe Street and Laurel Avenue frontages and shall construct new sidewalk along both project frontages prior to building permit final inspection, subject to the review and approval of the Engineering Division. 			



City of Menlo Park
 Location Map
 304 O'Keefe Street



	PROPOSED PROJECT		EXISTING PROJECT		ZONING ORDINANCE	
Lot area	6,487 sf		6,487 sf		7,000.0 sf min.	
Lot width	45.0 ft.		45.0 ft.		65.0 ft. min.	
Lot depth	139.92 ft.		139.92 ft.		100.0 ft. min.	
Setbacks						
Front	20.0 ft. (Main House) 49.9 ft.(ADU)		25.0 ft.		20.0 ft. min.	
Rear	45.7 ft.(Main House) 38.3 ft.(ADU)		47.0 ft.		20.0 ft. min.	
Side (left)	12.0 ft.(Main House) 4.0 ft.(ADU)		13.0 ft.		12.0 ft. min.	
Side (right)	5.0 ft.(Main House) 27.8 ft.(ADU)		5.5 ft.		5.0 ft. min.	
Building coverage	2,191.0 sf* 33.7 %*		1,938.0 sf 29.9 %		2,270.5 sf max. 35.0 % max.	
FAL (Floor Area Limit)	3,466 sf*		2,177.0 sf		2,800 sf max.	
Square footage by floor	1,135.0 sf/1 st 1,335.0 sf/2 nd 277.0 sf/garage 719.0 sf/ADU 60.0 sf/porches		1,274.0 sf/1 st 539.0 sf/2 nd 364.0 sf/garage 48.0 sf/porches 252.0 sf/shed			
Square footage of buildings	3,526 sf		2,477 sf			
Building height	26.9 ft.		21.7 ft.		28 ft. max.	
Parking	1 covered/1 uncovered		2 covered		1 covered/1 uncovered	
	Notes: <ul style="list-style-type: none"> • Areas shown highlighted indicate a nonconforming or substandard situation • The second-floor FAL should exclude the stair area per the definition of “floor area”, and staff asked the designer to edit the calculations accordingly, but they opted to include that area, so it represents a conservative calculation 					
Trees	Heritage trees	3	Non-Heritage trees	2	New Trees	6
	Heritage trees proposed for removal	2	Non-Heritage trees proposed for removal	0	Total Number of Trees	9

* Floor area and building coverage for the proposed project includes the ADU, which is 719 square feet in size. Only 800 square feet of the ADU is allowed to exceed the floor area limit and maximum building coverage. With the ADU and main residence combined, the floor area limit would be exceeded by 666 square feet and the building coverage would be not exceed the limits.

** Two are street trees.



STAFF REPORT

Planning Commission

Meeting Date:

3/24/2025

Staff Report Number:

25-012-PC

Public Hearing:

Consider and adopt a resolution to approve a use permit revision for an addition to an existing two-story, single-family residence on a substandard lot in the R-E (Residential Estate) zoning district at 842 Hermosa Way, and determine this action is categorically exempt under CEQA Guidelines Section 15301's Class 1 exemption for existing facilities.

Recommendation

Staff recommends that the Planning Commission adopt a resolution approving a use permit for an existing two-story, single-family residence on a substandard lot with regard to lot width in the R-E (Residential Estate) zoning district, at 842 Hermosa Way. The original use permit was granted in 2006, and the revisions include a second-story addition above the existing attached garage and along the west (left) side. The draft resolution, including the recommended actions and conditions of approval, is included as Attachment A.

Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposed project.

Background

Site location

Using Hermosa Way in the north-south orientation, the subject property is located on the eastern side of Hermosa Way, between Santa Cruz Avenue and Middle Avenue. Adjacent properties along Hermosa Way are also located in the R-E zoning district, with parcels at the rear of the property and in the broader vicinity zoned R-1-S (Single Family Suburban Residential). The surrounding area contains a mixture of older and newer single-family residences with both one- and two-story designs. A variety of architectural styles are present in the neighborhood, including modern, ranch, and craftsman. A location map is included as Attachment B.

Previous Planning Commission action

On April 17, 2006, the Planning Commission reviewed a use permit application to demolish an existing one-story, single-family residence and construct a new two-story, single-family residence on a substandard lot with regard to lot width in the R-E zoning district, and excavate into the required right side setback for a lightwell and egress associated with a basement.

At the meeting, the Planning Commission received testimony from the property owner and designer, as well

as the project arborist, as a result of several concerns discussed regarding pruning impacts to two coast live oak trees. In addition, the daylight plane intrusion by a chimney was also considered. The Planning Commission discussed those concerns and conditionally approved the project with three added project-specific conditions requiring a tree pruning plan, tree protection plan, and irrigation and landscape plan involving the two coast live oak trees that were discussed. The associated building permit was issued in September 2006, and construction was completed in March 2008.

Analysis

Project description

The subject property is currently occupied by a two-story, single-family residence with five bedrooms and four and a half bathrooms. Off-street parking is provided by an existing two-car garage.

The applicant is proposing to demolish the front walls of an existing closet and partial attic area on the second floor, and construct an addition of approximately 279 square feet. The addition would be located along the left side of the residence, and generally above the existing garage. The modifications would allow for the closet to be fully expanded toward the front façade, and the overall increase in floor area would result in a total of 6,348 square feet, which would remain below the site's floor area limit of 6,495 square feet. The changes require Planning Commission review, since the project previously received a use permit and involves substantial façade modifications and an increase in floor area. The proposal would also include an associated remodel of approximately 380 square feet. This remodel work consists of improvements to the existing closet space and the neighboring primary bathroom, all situated within the left side of the second floor of the residence.

An existing unpermitted shed currently exists on the site within the left side setback area between the existing garage and left property line. The shed does not meet the required setback distance or required separation distance for accessory buildings, and will be removed or relocated as required through project-specific condition 2a. The shed is 111 square feet in size, and if the applicant relocates the shed, the overall floor area and building coverage would not exceed the maximums allowed for the site.

The expanded residence would meet all Zoning Ordinance requirements for lot coverage, floor area limit (FAL), daylight plane, and height. The existing ground-floor side setback encroachment for the lightwell would remain, as previously allowed through the use permit. The project plans and the applicant's project description letter are included as Attachment A, Exhibits A and B, respectively. A data table summarizing parcel and project attributes is included as Attachment C.

Design and materials

The revised residence would retain the existing traditional residential style and materials, with wood shingle siding and windows with simulated true divided lights. The addition on the second floor would also be slightly stepped back to limit the massing along both the front and left side elevations. Staff believes the proposed changes to the residence would remain compatible with the style of the existing residence and the broader neighborhood, and the new second-floor addition has been appropriately designed to limit visual impacts.

Trees and landscaping

The applicant submitted an arborist report (Attachment A, Exhibit C), detailing the species, size, and conditions of on-site and nearby trees. A total of 25 trees were assessed, which include five on-site heritage trees, four off-site heritage trees, and one neighboring street tree. In the assessment, the project arborist has only identified one non-heritage crepe myrtle (tree #25) as requiring tree protection measures.

To protect the heritage and non-heritage trees on site, the arborist report has identified such measures as tree protection fencing and arborist supervision of any pruning during construction. The report also highlights necessary pre- and post-construction measures. The City Arborist has reviewed all project information and documents, and agrees with the findings made in the arborist report, along with the protection measures proposed. All recommended tree protection measures identified in the arborist report would be implemented and ensured as part of condition 1f.

Correspondence

The applicant indicates that they conducted neighborhood outreach, the results of which are included in the project description letter (Attachment A, Exhibit B). The applicant states they met with the adjacent neighbor at 866 Hermosa Way, and the neighbor expressed no concerns with the project. In addition, the applicant provided a letter with a site plan and existing and proposed images of the addition area to residents of 800 Hermosa Way and neighboring properties across the street. The applicant has not received any feedback from other neighbors. Staff has not received any direct correspondence regarding the proposed project.

Conclusion

Staff believes that the design and materials of the expanded residence would remain compatible with the surrounding neighborhood. The expanded second floor area would adhere to the daylight plane and side setback requirements and would be located at the front of the residence, which would help limit privacy impacts to neighboring side and rear yards. In addition, the addition would be stepped back to limit any visual impacts from building massing. The applicant states that the property owner performed neighbor outreach, and staff has not received any questions or concerns from the public. Staff recommends that the Planning Commission approve the proposed project.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The project is categorically exempt under Class 1 (Section 15301, "Existing facilities") of the current California Environmental Quality Act (CEQA) Guidelines.

Public Notice

Public notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Appeal Period

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

Attachments

A. Draft Planning Commission Resolution approving the use permit

Exhibits to Attachment A

- A. Project Plans
- B. Project Description Letter
- C. Arborist Report
- D. Conditions of Approval
- B. Location Map
- C. Data Table

Report prepared by:
Matt Pruter, Associate Planner

Report reviewed by:
Tom Smith, Principal Planner

PLANNING COMMISSION RESOLUTION NO. 2025- 0XX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MENLO PARK APPROVING A USE PERMIT REVISION FOR AN ADDITION TO AN EXISTING TWO-STORY, SINGLE-FAMILY RESIDENCE ON A SUBSTANDARD LOT IN THE R-E (RESIDENTIAL ESTATE) ZONING DISTRICT, AT 842 HERMOSA WAY.

WHEREAS, the City of Menlo Park (“City”) received an application requesting a use permit revision for an addition to an existing two-story, single-family residence on a substandard lot in the R-E (Residential Estate) zoning district (collectively, the “Project”) from Caroline Leites (“Applicant”) located at 842 Hermosa Way (APN 071-214-090) (“Property”). The Project use permit revision is depicted in and subject to the development plans and project description letter, which are attached hereto as Exhibit A and Exhibit B, respectively, and incorporated herein by this reference; and

WHEREAS, the Property is located in the Residential Estate (R-E) district. The R-E district supports single-family residential uses; and

WHEREAS, the proposed revisions would comply with all objective standards of the R-E district; and

WHEREAS, the Applicant submitted an arborist report (Exhibit C) prepared by Heartwood Consulting Arborists, which was reviewed by the City Arborist and found to be in compliance with the Heritage Tree Ordinance, and proposes mitigation measures to adequately protect heritage trees in the vicinity of the project; and

WHEREAS, the Project requires discretionary actions by the City as summarized above, and therefore the California Environmental Quality Act (“CEQA,” Public Resources Code Section §21000 et seq.) and CEQA Guidelines (Cal. Code of Regulations, Title 14, §15000 et seq.) require analysis and a determination regarding the Project’s environmental impacts; and

WHEREAS, the City is the lead agency, as defined by CEQA and the CEQA Guidelines, and is therefore responsible for the preparation, consideration, certification, and approval of environmental documents for the Project; and

WHEREAS, the Project is categorically exempt from environmental review pursuant to Cal. Code of Regulations, Title 14, §15301 et seq. (Existing facilities); and

WHEREAS, all required public notices and public hearings were duly given and held according to law; and

WHEREAS, at a duly and properly noticed public hearing held on March 24, 2025, the Planning Commission fully reviewed, considered, and evaluated the whole of the record including all public and written comments, pertinent information, documents and plans, prior to taking action regarding the Project.

NOW, THEREFORE, THE MENLO PARK PLANNING COMMISSION HEREBY RESOLVES AS FOLLOWS:

Section 1. Recitals. The Planning Commission has considered the full record before it, which may include but is not limited to such things as the staff report, public testimony, and other materials and evidence submitted or provided, and the Planning Commission finds the foregoing recitals are true and correct, and they are hereby incorporated by reference into this Resolution.

Section 2. Conditional Use Permit Findings. The Planning Commission of the City of Menlo Park does hereby make the following Findings:

The approval of the use permit revision for an addition to a two-story, single-family residence on a substandard lot, is granted based on the following findings, which are made pursuant to Menlo Park Municipal Code Section 16.82.030:

1. That the establishment, maintenance, or operation of the use applied for will, under the circumstance of the particular case, not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing in the neighborhood of such proposed use, or injurious or detrimental to property and improvements in the neighborhood or the general welfare of the city because:
 - a. Consideration and due regard were given to the nature and condition of all adjacent uses and structures, and to general plans for the area in question and surrounding areas, and impact of the application hereon; in that, the proposed use permit revision is consistent with the R-E zoning district and the General Plan because two-story residences that have received use permits are allowed to be expanded and modified subject to issuance of a use permit revision, and provided the changes conform to applicable zoning standards, including, but not limited to, maximum floor area limit, maximum building coverage, and setbacks.
 - b. The proposed Project is designed to meet all the applicable codes and ordinances of the City of Menlo Park Municipal Code and the Commission concludes that the Project would not be detrimental to the health, safety, and welfare of the surrounding community as the proposed residence would be located in a single-family neighborhood and has been designed in a way to complement the existing scale and style of surrounding homes.

Section 3. Conditional Use Permit. The Planning Commission approves Use Permit No. PLN2024-00055, which use permit is depicted in and subject to the development plans and project description letter, which are attached hereto and incorporated herein by this reference as Exhibit A and Exhibit B, respectively. The Use Permit is conditioned in conformance with the conditions attached hereto and incorporated herein by this reference as Exhibit D.

Section 4. ENVIRONMENTAL REVIEW. The Planning Commission makes the following findings, based on its independent judgment after considering the Project, and having reviewed and taken into consideration all written and oral information submitted in this matter:

1. The Project is categorically exempt from environmental review pursuant to Cal. Code of Regulations, Title 14, §15301 et seq. (Existing facilities).

Section 5. SEVERABILITY

If any term, provision, or portion of these findings or the application of these findings to a particular situation is held by a court to be invalid, void or unenforceable, the remaining provisions of these findings, or their application to other actions related to the Project, shall continue in full force and effect unless amended or modified by the City.

I, Kyle Perata, Assistant Community Development Director of the City of Menlo Park, do hereby certify that the above and foregoing Planning Commission Resolution was duly and regularly passed and adopted at a meeting by said Planning Commission on March 24, 2025, by the following votes:

AYES:

NOES:

ABSENT:

ABSTAIN:

IN WITNESS THEREOF, I have hereunto set my hand and affixed the Official Seal of said City on this _____ day of March, 2025.

PC Liaison Signature

Kyle Perata
Assistant Community Development Director
City of Menlo Park

Exhibits

- A. Project plans
- B. Project description letter
- C. Arborist report
- D. Conditions of approval

CAROLINE LEITES ARCHITECTURE

1245 Broadway, #5 E.P., CA 94015
 Cell: 650.955.8184 | Email: cl@clarch.com
 415.427.8830

OWNER:
 KATHLEEN & ROBERT ANDERSON
 842 HERMOSA WAY
 MENLO PARK, CA 94025
 650.906.2406

All drawings and written material appearing herein constitute original and unaltered work of the Architect and may not be duplicated, used or disclosed without written consent of the Architect.

CITY STAMPS

ADDITION
 842 HERMOSA WAY
 MENLO PARK, CA 94025
 APN: 071-214-070



REVISION
 USE PERMIT 11.15.2024
 USE PERMIT REVISED 01.14.2025
 USE PERMIT REVISED 02.18.2025

SHEET NAME

PROJECT INFORMATION
 AREA PLAN
 STREETSCAPE

DRAWN BY CL
 DATE 02.18.2025
 JOB NO. 2403
 SCALE AS NOTED

SHEET NO.

A0.1

ADDITION

842 HERMOSA WAY

MENLO PARK, CA 94025

PROJECT NOTES

PROJECT ADDRESS: 842 HERMOSA WAY
 MENLO PARK, CA 94025

ASSESSOR'S PARCEL NUMBER APN: 071 214 000
 ZONING DISTRICT: R-E - SINGLE FAMILY RESIDENCE

BUILDING NOTES

BUILDING HEIGHT: 28'-11" EXISTING, NO CHANGE
 STOREYS: 2 WITH BASEMENT, NO CHANGE
 CONSTRUCTION TYPE: V-6, NO CHANGE
 OCCUPANCY: R3, NO CHANGE
 SPRINKLERS: YES - EXISTING, NO CHANGE
 FLOOD ZONE: ZONE X

PROPOSED ADDITION: 279 SF
 PROPOSED REMODEL: 340 SF

PROJECT DATA SUMMARY TABLE

NET LOT AREA:	21780 SF - 108.36' WIDE X 201' DEEP	
SETBACK FRONT:	EXISTING: 29'-7"	PROPOSED: 29'-7" ALLOWED: 20'-0"
SETBACK REAR:	EXISTING: 104'-2"	PROPOSED: 104'-2" ALLOWED: 20'-0"
SETBACK LEFT SIDE:	EXISTING: 15'-0"	PROPOSED: 15'-0" ALLOWED: 15'-0"
SETBACK RIGHT SIDE:	EXISTING: 15'-0"	PROPOSED: 15'-0" ALLOWED: 15'-0"
BUILDING COVERAGE:	EXISTING: 4603 SF	PROPOSED: 4492 SF ALLOWED: 6034 SF
FLOOR AREA LIMIT:	EXISTING: 6180 SF	PROPOSED: 6346 SF ALLOWED: 6495 SF
FLOOR AREA 1ST FLOOR:	EXISTING: 3606 SF	PROPOSED: 3606 SF (INCLUDES 611 SF GARAGE)
FLOOR AREA 2ND FLOOR:	EXISTING: 2463 SF	PROPOSED: 2742 SF (INCLUDES 21 SF ATTIC OVER 5 FT)
FLOOR AREA BASEMENT:	EXISTING: 987 SF	PROPOSED: 987 SF (NOT INCLUDED IN FAL)
ATTACHED GARAGE:	EXISTING: 611 SF	PROPOSED: 611 SF (NO CHANGE)
ATTIC OVER 5 FT:	EXISTING: 21 SF	PROPOSED: 0 SF (TO BECOME PART OF ADDITION)
DETACHED SHED MORE THAN 6 FT:	EXISTING: 111 SF	PROPOSED: 0 SF (TO BE REMOVED)
POOL, EQUIN, SHED LESS THAN 6 FT:	EXISTING: 79 SF	PROPOSED: 79 SF (NO CHANGE - NOT INCLUDED IN FAL)
SQUARE FOOTAGE OF BUILDINGS:	EXISTING: 6180 SF	PROPOSED: 6346 SF ALLOWED: 6495 SF
BUILDING HEIGHT:	EXISTING: 28'-11"	PROPOSED: 28'-11" ALLOWED: 30'-0"
PARKING SPACES:	EXISTING: 2 COVERED	PROPOSED: 2 COVERED (NO CHANGE) TWO SPACES PER DWELLING UNIT
HERITAGE TREES:	EXISTING: 10 TREES	PROPOSED: 10 TREES (NO CHANGE)
TREE PROTECTION REQUIRED - SEE ARBORIST REPORT		

SCOPE OF WORK

NEW 279 SF ADDITION ON SECOND FLOOR.
 REMODEL EXISTING BATHROOM.
 NEW COMPOSITE SHINGLE ROOFING.



EXISTING VIEW FROM END OF DRIVEWAY



PROPOSED VIEW FROM END OF DRIVEWAY

APPLICABLE CODES

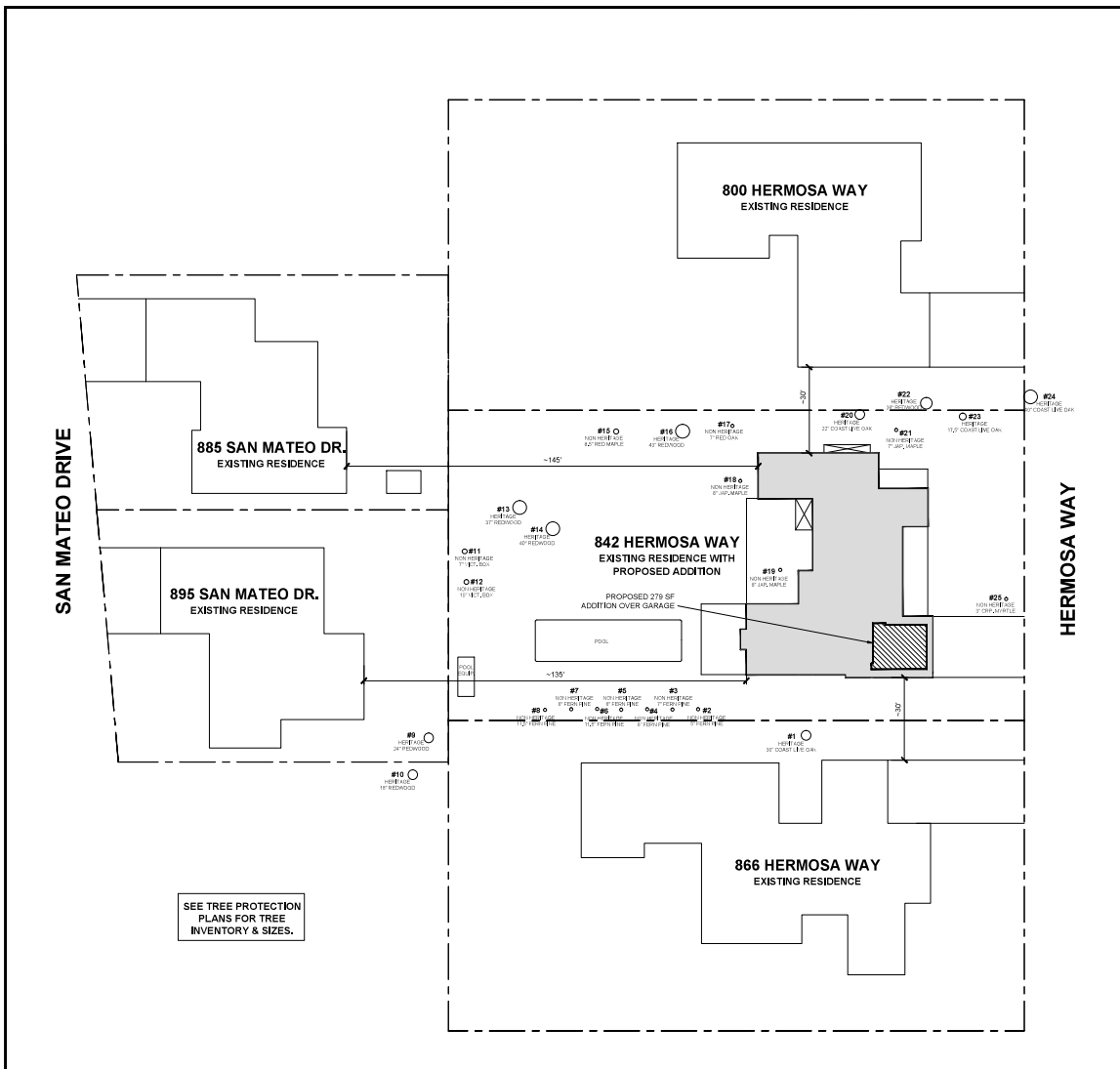
The work shall be performed in accordance with applicable code requirements and applicable requirements of all other regulatory agencies, including, but not limited to the following:

- CALIFORNIA BUILDING STANDARD ADMINISTRATIVE CODE 2022 (PART 1)
- CALIFORNIA BUILDING CODE 2022 (PART 2)
- CALIFORNIA RESIDENTIAL CODE 2022 (PART 2.5)
- CALIFORNIA ELECTRICAL CODE 2022 (PART 3)
- CALIFORNIA MECHANICAL CODE 2022 (PART 4)
- CALIFORNIA PLUMBING CODE 2022 (PART 5)
- CALIFORNIA ENERGY CODE 2022 (PART 6)
- CALIFORNIA HISTORICAL BUILDING CODE 2022 (PART 8)
- CALIFORNIA FIRE CODE 2022 (PART 9) & FIRE APPENDIX BB, C, AND D.
- CALIFORNIA CODE FOR BUILDING CONSERVATION 2022 (PART 10)
- CALIFORNIA GREEN BUILDING STANDARDS CODE 2022 (CALGreen) (PART 11)
- CALIFORNIA REFERENCE STANDARDS CODE 2022 (PART 12)
- MENLO PARK PLANNING CODE - CURRENT EDITION
- MENLO PARK BUILDING CODE - CURRENT EDITION

SHEET LIST

ARCHITECTURAL

- A0.1 PROJECT INFORMATION, AREA PLAN, STREETSCAPE AND NOTES
- A1.0 SITE PLAN
- T1.1 TREE PROTECTION PLAN
- T1.2 TREE PROTECTION PLAN
- T1.3 TREE PROTECTION PLAN
- A2.0A SQUARE FOOTAGE CALCULATION PLANS
- A2.0 BASEMENT FLOOR PLAN - EXISTING
- A2.1 FIRST FLOOR PLAN - EXISTING
- A2.2 SECOND FLOOR PLAN - EXISTING
- A2.3 SECOND FLOOR PLAN - PROPOSED
- A2.4 ROOF PLAN - EXISTING & PROPOSED
- A3.0 EXTERIOR ELEVATIONS - FRONT/SOUTH
- A3.1 EXTERIOR ELEVATIONS - WEST SIDE
- A3.2 EXTERIOR ELEVATIONS - EAST SIDE - W/MOVW SCHEDULE
- A3.3 EXTERIOR ELEVATIONS - REAR/NORTH
- A3.4 BUILDING SECTIONS
- A3.5 BUILDING SECTIONS
- 1 BOUNDARY AND TOPOGRAPHIC SURVEY

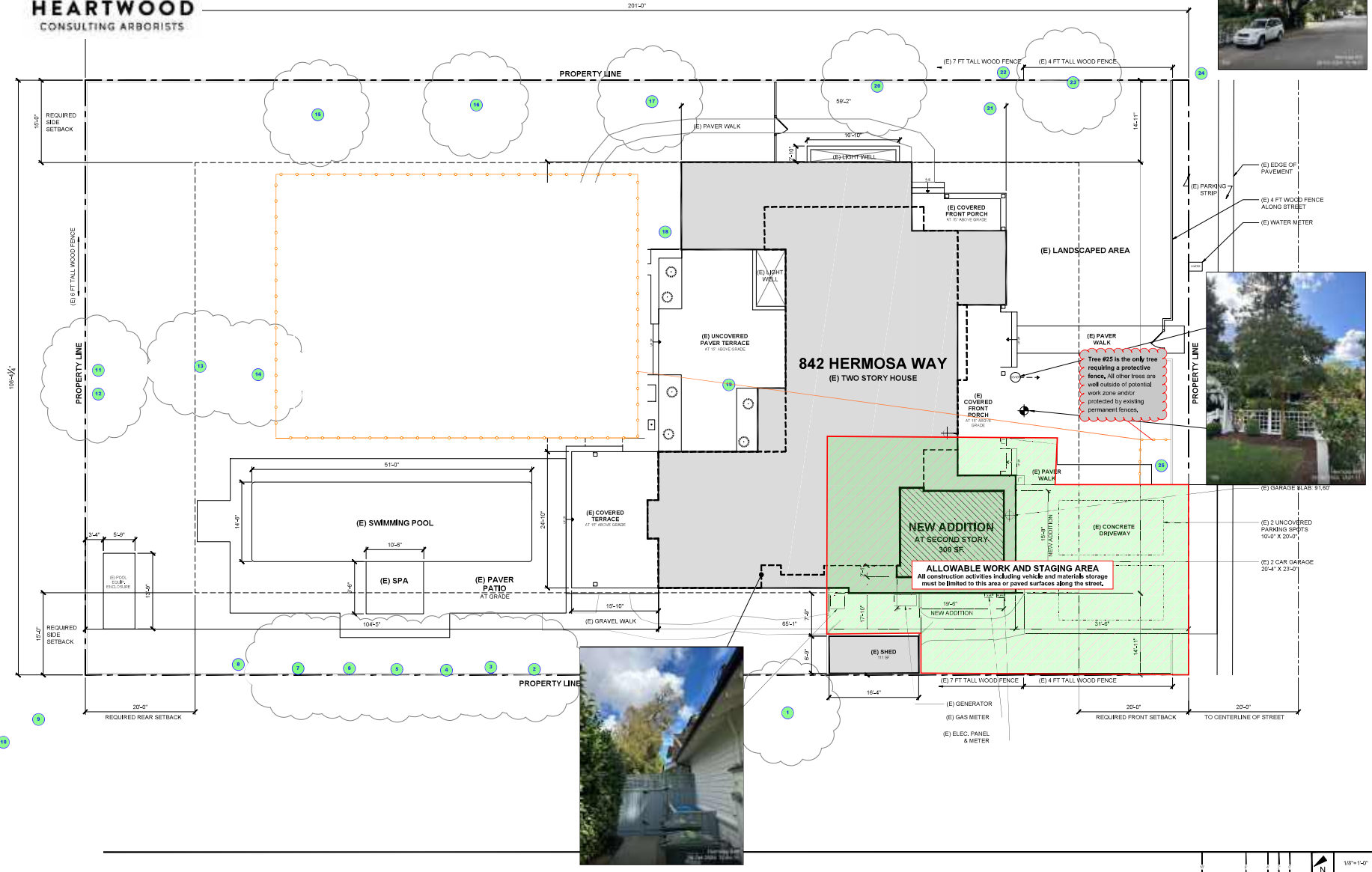


SEE TREE PROTECTION PLANS FOR TREE INVENTORY & SIZES.

1 AREA PLAN 1"=20'-0"



2 STREETSCAPE 1/16"=1'-0"



HEARTWOOD
CONSULTING ARBORISTS
266 S Hill Blvd. San Francisco, CA 94112
650.542.8733 w/heartwoodarborists.com

842 HERMOSA WAY
MENLO PARK, CALIFORNIA 94025

DATE: 11/15/24
PREPARED: MSF
SCALE: AS SHOWN

TREE PROTECTION PLAN

T-1.1

TREE PROTECTION REQUIREMENTS

PRECONSTRUCTION PHASE

1. TREE PROTECTION FENCES. INSTALL TREE PROTECTION FENCES AT THE LOCATIONS AND DISTANCES SHOWN ON SHEET T-1.

THE AREA WITHIN THE FENCE IS THE TREE PROTECTION ZONE (TPZ).

- FENCE SHALL BE SIX (6)-FOOT-TALL CHAIN LINK.
- FENCE POSTS SHALL BE 1.5 INCHES IN DIAMETER, DRIVEN 2 FEET INTO THE GROUND, AT MOST 10 FEET APART.
- PERMANENT WALLS AND FENCES MAY BE USED INSTEAD OF CHAIN LINK FENCE WHERE THEY ARE OF COMPARABLE HEIGHT AND STURDINESS TO CHAIN LINK.
- MOVABLE BARRIERS OF CHAIN LINK FENCE SECURED TO CEMENT BLOCKS MAY BE SUBSTITUTED FOR FIXED FENCE IN LIMITED CIRCUMSTANCES AND WITH CITY ARBORIST APPROVAL IF THE FENCE WILL HAVE TO BE MOVED TO ACCOMMODATE CERTAIN CONSTRUCTION PHASES.
- MANUALLY SPREAD A 6-INCH LAYER OF COARSE WOODCHIPS THROUGHOUT ENTIRE TPZ PRIOR TO CONSTRUCTION ACTIVITY.
- CUSTOM TPZ WARNING SIGNS (ENGLISH AND SPANISH) SHALL BE PRINTED ON 11" X 17" LAMINATED YELLOW PAPER AND SECURED IN A PROMINENT LOCATION ON EACH PROTECTION FENCE.
- IF CONSTRUCTION ACTIVITIES ARE PLANNED BETWEEN APRIL AND OCTOBER, TEMPORARY SUPPLEMENTAL IRRIGATION (SOAKER HOSE) SHALL BE INSTALLED THROUGHOUT THE TPZ. THE PROJECT ARBORIST WILL DIRECT THE WATERING SCHEDULE BASED ON SITE-SPECIFIC CONSIDERATIONS AND RECENT WEATHER.

2. TREE PROTECTION VERIFICATION LETTER

NOTIFY THE PROJECT ARBORIST AFTER TREE PROTECTION MEASURES HAVE BEEN INSTALLED. THE PROJECT ARBORIST MUST INSPECT THE MEASURES TO VERIFY THEIR COMPLIANCE AND WILL ISSUE A LETTER TO THE CITY WITH THEIR FINDINGS.

3. MEETING WITH PROJECT ARBORIST

PRIOR TO BEGINNING ANY WORK OR DEMOLITION, ALL CONTRACTORS INVOLVED WITH THE PROJECT SHOULD ATTEND A PRE-CONSTRUCTION MEETING WITH THE PROJECT ARBORIST TO:

- REVIEW THE TREE PROTECTION GUIDELINES, ACCESS ROUTES, STORAGE AREAS, AND WORK PROCEDURES WILL BE DISCUSSED.
- IDENTIFY ANY POTENTIAL CLEARANCE PRUNING THAT MAY BE REQUIRED TO ACCOMMODATE CONSTRUCTION.
- THE GENERAL CONTRACTOR OR PROJECT MANAGER IS RESPONSIBLE FOR SCHEDULING THIS MEETING.

DEMOLITION PHASE

4. WHEN DEMOLISHING EXISTING FEATURES WITHIN TPZS, START WORK CLOSE TO TREES AND MOVE BACKWARD, LIMITING EQUIPMENT TO STILL-PAVED AREAS.

5. IF MOVABLE BARRIERS WERE AUTHORIZED FOR THE DEMOLITION PHASE AND WILL NOT NEED TO BE MOVED AGAIN, INSTALL STANDARD CHAIN LINK FENCE WITH POSTS IN THE GROUND.

\$\$\$ ANY TREE ON SITE PROTECTED BY THE CITY'S MUNICIPAL CODE WILL REQUIRE REPLACEMENT ACCORDING TO ITS APPRAISED VALUE IF IT IS DAMAGED BEYOND REPAIR AS A RESULT OF CONSTRUCTION. \$\$\$

CONSTRUCTION PHASE

6. MONTHLY MONITORING REPORTS. ALERT PROJECT ARBORIST WHEN CONSTRUCTION IS SCHEDULED TO BEGIN. THE PROJECT ARBORIST SHALL VISIT THE SITE MONTHLY UNTIL PROJECT COMPLETION TO: MONITOR THE EFFECTIVENESS OF THE TREE PRESERVATION PLAN. PROVIDE RECOMMENDATIONS FOR ANY NECESSARY ADDITIONAL CARE OR TREATMENT. ISSUE A REPORT TO THE CITY WITH THEIR FINDINGS. THE FINAL REPORT WILL INCLUDE RECOMMENDATIONS FOR POST-CONSTRUCTION MITIGATION AND TREATMENTS, IF APPROPRIATE.

7. MAINTAIN TREE PROTECTION FENCES AROUND ALL TPZS AND INSPECT DAILY FOR DAMAGE AND PROPER FUNCTION.

8. DO NOT REMOVE, ADJUST, OR WORK INSIDE ANY TPZ WITHOUT CONSULTING THE PROJECT ARBORIST.

9. UNLESS SUPERVISED AND DOCUMENTED BY THE PROJECT ARBORIST, THE FOLLOWING ACTIVITIES ARE PROHIBITED IN THE TPZ:

- NO OPERATION, STORAGE, OR PARKING OF VEHICLES OR HEAVY EQUIPMENT.
- NO STORAGE OR DISPOSAL OF BUILDING MATERIALS, REFUSE, SOIL, EXCAVATED SPOILS, OR CHEMICALS OF ANY KIND.
- NO CUTTING OF TREE ROOTS BY UTILITY TRENCHING, FOUNDATION DIGGING, OR ANY MISCELLANEOUS EXCAVATION WITHOUT PRIOR APPROVAL OF THE PROJECT ARBORIST.
- NO USE OF TPZ AS A REST/LUNCH/BREAK AREA BY PROJECT STAFF.
- NO GRADE CHANGES OF ANY KIND EXCEPT AS EXPRESSLY DESIGNED OR APPROVED BY THE PROJECT ARBORIST.
- NO ALTERATION OR DISTURBANCE, FOR ANY DURATION, OF THE GROUND INSIDE THE TPZ.

10. ANY WORK WITHIN ANY TPZ MUST BE APPROVED BY THE PROJECT ARBORIST PRIOR TO BEGINNING THE TASK.

11. ROOT MANAGEMENT

IF ROOTS OVER 1" IN DIAMETER ARE ENCOUNTERED WHEN EXCAVATING IN ANY LOCATION: HAND-DIG THE EDGE NEAREST THE TRUNK TO THE FULL DEPTH OF THE FEATURE BEING INSTALLED OR TO A DEPTH OF 3 FEET, WHICHEVER IS SHALLOWER. ROUTE CONDUIT AND OTHER FEATURES AROUND AND BETWEEN ROOTS WHEN POSSIBLE.

IF ROOTS 1-2 INCHES IN DIAMETER MUST BE CUT, SEVER THEM CLEAN AND SQUARE AT UNDAMAGED TISSUE USING BYPASS PRUNERS FOR A SHARP SAW.

IF ROOTS OVER 2" MUST BE CUT, STOP WORK IN THAT AREA AND CONTACT THE PROJECT ARBORIST IMMEDIATELY FOR GUIDANCE.

THE PROJECT ARBORIST WILL INSPECT THE EXPOSED ROOT(S) TO ASSESS THE IMPACT OF CUTTING AND OVERSEE/DOCUMENT ANY APPROVED ROOT CUTTING.

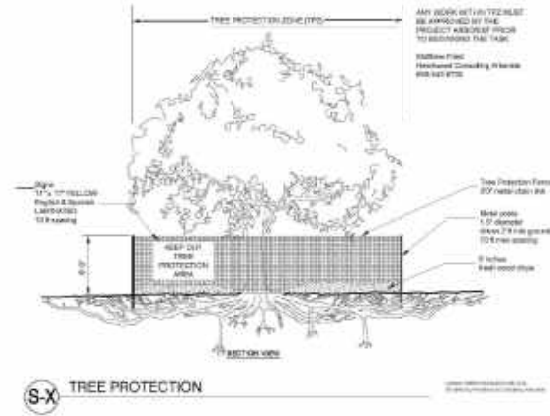
EXPOSED ROOTS AND UPPER 3 FEET OF TRENCH WALLS SHALL BE COVERED WITH 3-4 LAYERS OF BURLAP OR ABSORBENT FABRIC AND KEPT MOIST UNTIL BACKFILLED.

12. PRUNING / TRIMMING

ANY PRUNING OF ANY LIMBS OR ROOTS OVER 2" DIAMETER MUST BE SUPERVISED BY THE PROJECT ARBORIST.

13. FINAL INSPECTION BY CITY ARBORIST

BEFORE REMOVING TPZ FENCES AND AFTER PLANTING ANY REPLACEMENT TREES, CONTACT THE CITY ARBORIST FOR A FINAL INSPECTION. JILLIAN KELLER - JKELLER@MENLOPARK.GOV



POST-CONSTRUCTION PHASE

14. POST-CONSTRUCTION REMEDIAL TREATMENTS AND/OR MAINTENANCE MAY BE PRESCRIBED BY THE PROJECT ARBORIST NEAR THE END OF THE PROJECT. ANY DIRECTIVES WILL BE SITE-SPECIFIC AND TAILORED TO:

- THE OBSERVED DISRUPTIVENESS OF CONSTRUCTION ACTIVITIES
- TREE CONDITION AND RESPONSE TO CONSTRUCTION
- TIME OF YEAR AND RECENT WEATHER

POST-CONSTRUCTION CARE WILL BE DETAILED IN THE FINAL MONTHLY MONITORING REPORT AND REVIEWED WITH THE PROPERTY OWNER.

PROJECT ARBORIST
MATTHEW FRIED - ISA NO. MA-4851B
matthew@heartwoodarborists.com
650-542-8733



HEARTWOOD CONSULTING ARBORISTS
 266 S Hill Blvd. San Francisco, CA 94112
 650.542.8733 w/heartwoodarborists.com

842 HERMOSA WAY
MENLO PARK, CALIFORNIA 94025

DATE: 11/15/24
 PREPARED: MSF
 SCALE: AS SHOWN

TREE PROTECTION PLAN

T-1.2

TREE INVENTORY

\$\$\$

ANY TREE ON SITE PROTECTED BY THE CITY'S MUNICIPAL CODE WILL REQUIRE REPLACEMENT ACCORDING TO ITS APPRAISED VALUE IF IT IS DAMAGED BEYOND REPAIR AS A RESULT OF CONSTRUCTION.

\$\$\$

Tree #	Protected	Preserve / Remove	Common Name	Scientific Name	Trunk dia. (in.)	Health	Structure	Overall Condition	Suitability for Preservation	Impact Level	Rounded Depr. Value	Comments
1	Yes	Preserve	Coast live oak	<i>Quercus agrifolia</i>	30	Fair	Fair	Fair	Medium	Low	\$8,400	Offsite; Headed for roof clearance or past construction. See photos.
2	No	Preserve	Fern pine	<i>Afrocarpus gracilior</i>	5	Good	Poor	Fair	Medium	Low		
3	No	Preserve	Fern pine	<i>Afrocarpus gracilior</i>	7	Good	Poor	Fair	Low	Low		
4	No	Preserve	Fern pine	<i>Afrocarpus gracilior</i>	8	Good	Fair	Good	High	Low		
5	No	Preserve	Fern pine	<i>Afrocarpus gracilior</i>	8	Good	Fair	Good	High	Low		
6	No	Preserve	Fern pine	<i>Afrocarpus gracilior</i>	11.5	Good	Fair	Good	High	Low		
7	No	Preserve	Fern pine	<i>Afrocarpus gracilior</i>	8	Good	Fair	Good	High	Low		
8	No	Preserve	Fern pine	<i>Afrocarpus gracilior</i>	11.5	Good	Fair	Good	High	Low		
9	Yes	Preserve	Coast redwood	<i>Sequoia sempervirens</i>	24	Good	Good	Good	High	Low		Offsite
10	Yes	Preserve	Coast redwood	<i>Sequoia sempervirens</i>	18	Good	Good	Good	High	Low		Offsite
11	No	Preserve	Victorian box	<i>Pittosporum undulatum</i>	7	Fair	Fair	Fair	Medium	Low		
12	No	Preserve	Victorian box	<i>Pittosporum undulatum</i>	10	Fair	Fair	Fair	Low	Low		
13	Yes	Preserve	Coast redwood	<i>Sequoia sempervirens</i>	37	Good	Good	Good	High	Low		
14	Yes	Preserve	Coast redwood	<i>Sequoia sempervirens</i>	40	Good	Good	Good	High	Low		
15	No	Preserve	Red maple	<i>Acer rubrum</i>	8.5	Good	Good	Good	High	Low		
16	Yes	Preserve	Coast redwood	<i>Sequoia sempervirens</i>	43	Good	Good	Good	High	Low		
17	No	Preserve	Red oak	<i>Quercus rubra</i>	7	Good	Good	Good	High	Low		
18	No	Preserve	Japanese maple	<i>Acer palmatum</i>	8	Good	Good	Good	High	Low		Patio
19	No	Preserve	Japanese maple	<i>Acer palmatum</i>	8	Good	Good	Good	High	Low		Patio
20	Yes	Preserve	Coast live oak	<i>Quercus agrifolia</i>	22	Fair	Good	Good	High	Low		Fenceline
21	No	Preserve	Japanese maple	<i>Acer palmatum</i>	7	Good	Good	Good	High	Low		
22	Yes	Preserve	Coast redwood	<i>Sequoia sempervirens</i>	36	Fair	Fair	Fair	Medium	Low		Offsite; Existing Tag #6
23	Yes	Preserve	Coast live oak	<i>Quercus agrifolia</i>	17.5	Good	Fair	Good	High	Low		
24	Yes	Preserve	Coast live oak	<i>Quercus agrifolia</i>	40	Good	Fair	Good	High	Low	\$32,300	
25	Yes	Preserve	Crape myrtle	<i>Lagerstroemia indica</i>	3	Good	Good	Good	High	Low	\$610	Street Tree?

HEARTWOOD
CONSULTING ARBORISTS

266 S Hill Blvd. San Francisco, CA 94112
650.542.8733 w/heartwoodarborists.com

842 HERMOSA WAY
MENLO PARK, CALIFORNIA 94025

DATE: 11/15/24
PREPARED: MSF
SCALE: AS SHOWN

TREE PROTECTION PLAN

T-1.3

PROJECT ARBORIST
MATTHEW FRIED - ISA NO. MA-4851B
matthew@heartwoodarborists.com
650-542-8733



842 HERMOSA WAY - SITE ANALYSIS	
LOT SIZE: 21780 SF	EXISTING 1ST FLOOR: 3606 SF (NO CHANGE)
FLOOR AREA, LIMIT (FAL): 2890 SF (+25%)(706 - 1000) = 6495 SF	PROPOSED 2ND FLOOR: 2742 SF (27% NEW ADDITION)
FLOOR AREA:	EXISTING SHED: 0 SF (TO BE REMOVED)
EXISTING 1ST FLOOR: 3606 SF (NO CHANGE)	EXISTING POOL EQUIP.: 78 SF (EXEMPT / LESS THAN 6 FT)
EXISTING 2ND FLOOR: 2493 SF	BASEMENT: 987 SF (NO CHANGE / EXEMPT)
EXISTING SHED: 0 SF (EXEMPT / LESS THAN 6 FT)	ATTICS OVER 5 FT: 21 SF (TO BECOME PART OF NEW ADDITION)
EXISTING POOL EQUIP.: 78 SF (EXEMPT / LESS THAN 6 FT)	TOTAL PROPOSED AREA: 6348 SF
BASEMENT: 987 SF (NO CHANGE / EXEMPT)	LAND COVERED BY STRUCTURES: 4503 SF (21% EXISTING)
ATTICS OVER 5 FT: 21 SF (TO BECOME PART OF NEW ADDITION)	LANDSCAPING: 4492 SF (20.6% PROPOSED)
TOTAL EXISTING AREA: 6180 SF	PAVED SURFACES: 98% (NO CHANGE)
	PARKING SPACES: 451 SF (2.1% (NO CHANGE)
	2 COVERED / 2 UNCOVERED
	ALL GRADES TO REMAIN NATURAL

CAROLINE LEITES ARCHITECTURE

1245 Broadway, #E BFT, CA 94019
 San Francisco, CA 94109
 415.427.8393

OWNER:
 KATHLEEN & ROBERT ANDERSON
 842 HERMOSA WAY
 MENLO PARK, CA 94025
 650.906.2456

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CITY STAMPS

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 APN: 071-4214-070

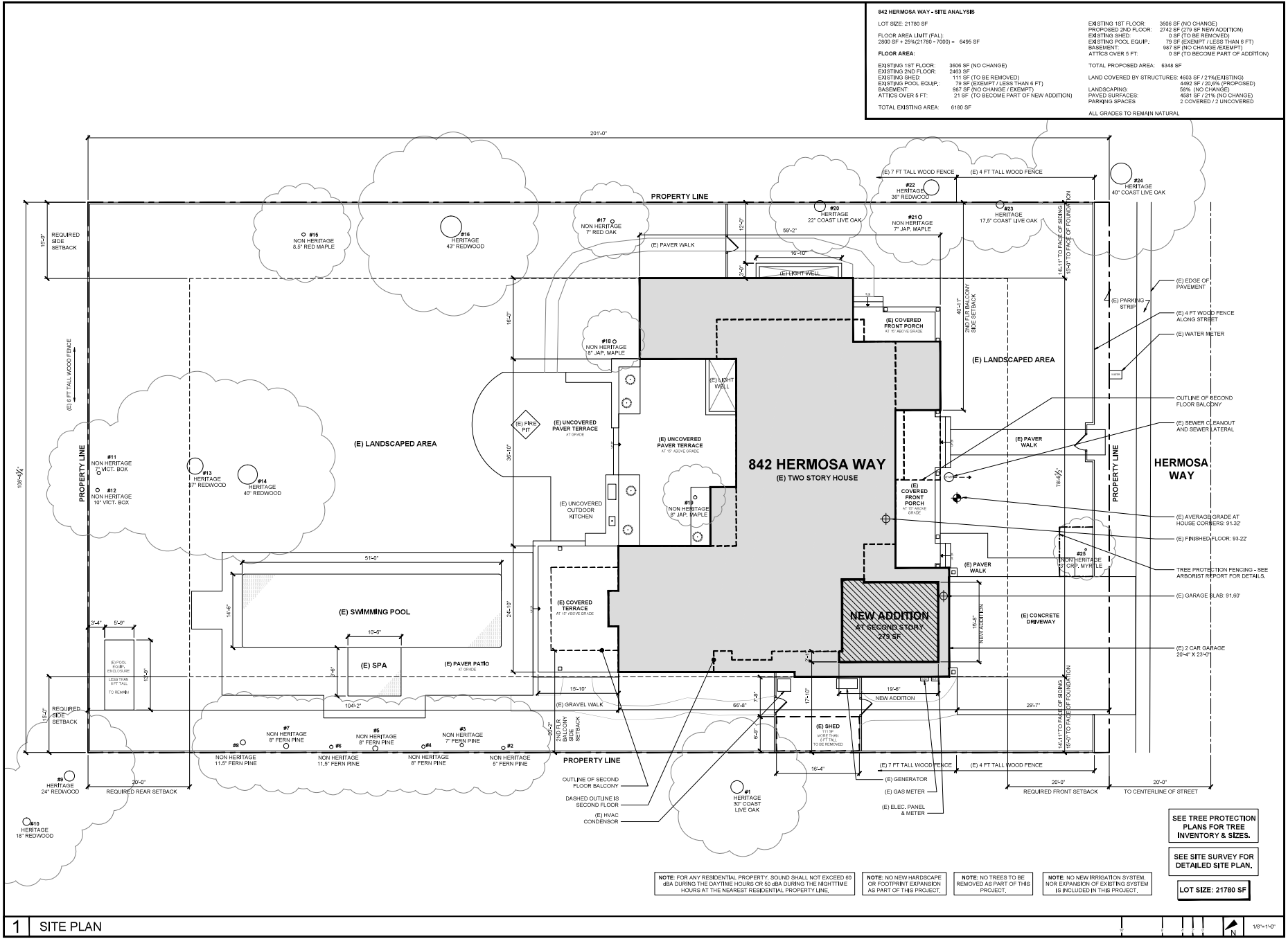


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 USE PERMIT REVISED: 01.14.2025
 USE PERMIT REVISED: 02.18.2025

SHEET NAME
 SITE PLAN

DRAWN BY: CL
 DATE: 02.18.2025
 JOB NO.: 2403
 SCALE: AS NOTED

SHEET NO.
A1.0



NOTE: FOR ANY RESIDENTIAL PROPERTY, SOUND SHALL NOT EXCEED 60 dBA DURING THE DAYTIME HOURS OR 50 dBA DURING THE NIGHTTIME HOURS AT THE NEAREST RESIDENTIAL PROPERTY LINE.

NOTE: NO NEW HARDSCAPE OR FOOTPRINT EXPANSION AS PART OF THIS PROJECT.

NOTE: NO TREES TO BE REMOVED AS PART OF THIS PROJECT.

NOTE: NO NEW IRRIGATION SYSTEM, NOR EXPANSION OF EXISTING SYSTEM IS INCLUDED IN THIS PROJECT.

SEE TREE PROTECTION PLANS FOR TREE INVENTORY & SIZES.

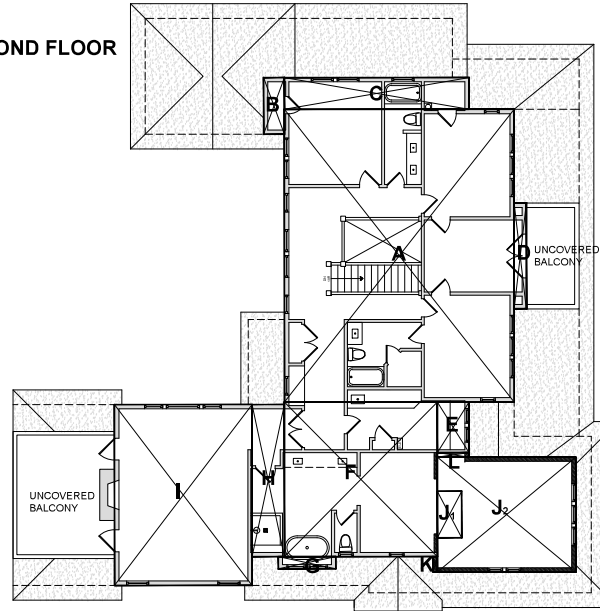
SEE SITE SURVEY FOR DETAILED SITE PLAN.

LOT SIZE: 21780 SF

1 SITE PLAN

A9

SECOND FLOOR



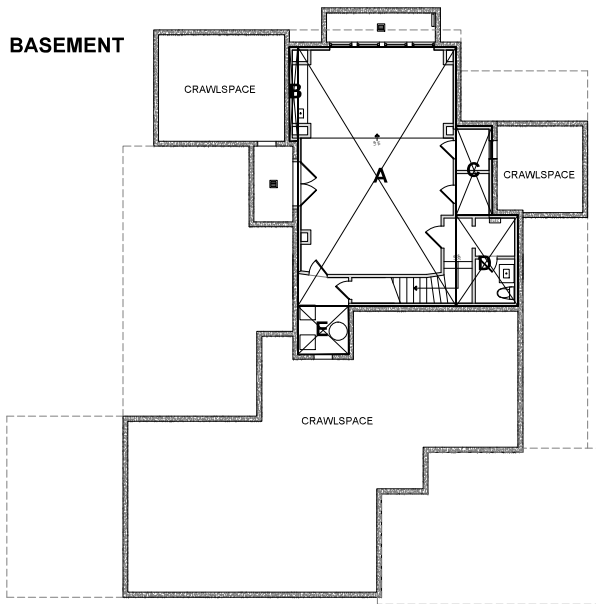
FLOOR AREA LIMIT CALCULATION

AREA	DIMENSIONS	SF
BASEMENT (EXEMPTED)		
A	354 X 217	76,818 SF
B	1250 X 172	14,570 SF
C	122 X 4,611	562,857 SF
D	125 X 875	109,375 SF
E	67 X 6,611	443,257 SF
BASEMENT EXISTING TOTAL AREA: 987,444 SF		
FIRST FLOOR		
A	403 X 3,314	1,335,177 SF
B	1511 X 1,910	288,642 SF
C	126 X 2,210	279,420 SF
D	136 X 810	110,256 SF
E	48 X 1,211	58,128 SF
F	102 X 6,611	674,322 SF
G	117 X 971	113,607 SF
H	2810 X 3,319	9,328,890 SF
I (GARAGE)	157 X 6,611	1,038,257 SF
J (GARAGE)	215 X 2,210	475,210 SF
FIRST FLOOR (EXEMPTED)		
K (REPLACE)	29 X 800	23,200 SF
L (REPLACE)	29 X 800	23,200 SF
FIRST FLOOR TOTAL EXEMPT: 24,000 SF		
FIRST FLOOR EXISTING FAL TOTAL: 382,55 SF + 24,000 SF = 406,55 SF		
SECOND FLOOR		
A	3816 X 3,414	13,027,736 SF
B	710 X 210	149,100 SF
C	48 X 292	14,016 SF
D	165 X 110	18,150 SF
E	611 X 48	29,328 SF
F	211 X 2,210	466,310 SF
G	110 X 710	78,100 SF
H	205 X 215	44,075 SF
I	248 X 1,819	450,800 SF
J (11'10" OVER 8 FT)	34 X 204	7,036 SF
SECOND FLOOR EXISTING FAL TOTAL: 248,333 SF		
NEW ADDITION TOTAL: 27,600 SF		
SECOND FLOOR PROPOSED FAL TOTAL: 276,000 SF		
M (SHED ABOVE 6 FT): 69 X 165 (TO BE REMOVED) 11,325 SF		
TOTAL (E) FAL: 6179,89 SF		
TOTAL (N) FAL: 6347,88 SF		
MAX FAL ALLOWED: 6495 SF		
LOT AREA: 21780 SF		

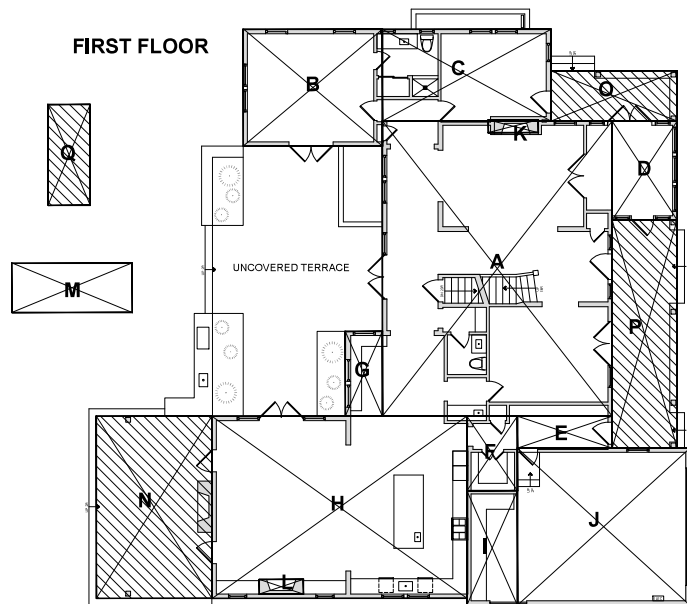
BUILDING COVERAGE CALCULATION

AREA	DIMENSIONS	SF
M (SHED ABOVE 6 FT)	69 X 165 (TO BE REMOVED)	11,325 SF
N (COVERED PATIO)	2410 X 1,910	459,310 SF
O (PORCH)	610 X 172	104,920 SF
P (PORCH)	311 X 810	251,910 SF
Q (POOL EQUIP. SHED)	133 X 319	42,423 SF
*LESS THAN 6 FT TALL		
+ FIRST FLOOR AREA 382,55 SF		
TOTAL (E) COVERAGE: 4802,45 SF		
TOTAL (N) COVERAGE (REMOVE SHED M): 4491,64 SF		
MAX COVERAGE ALLOWED (30%): 6534 SF		

BASEMENT



FIRST FLOOR



CAROLINE LEITES ARCHITECTURE

1245 Broadway #102 - CA 94025
carol@leites.com | 415.607.3592

OWNER
KATHLEEN & ROBERT ANDERSON
882 HERMOSA WAY
MENLO PARK, CA 94025
650.306.2405

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MENLO PARK, CA 94025
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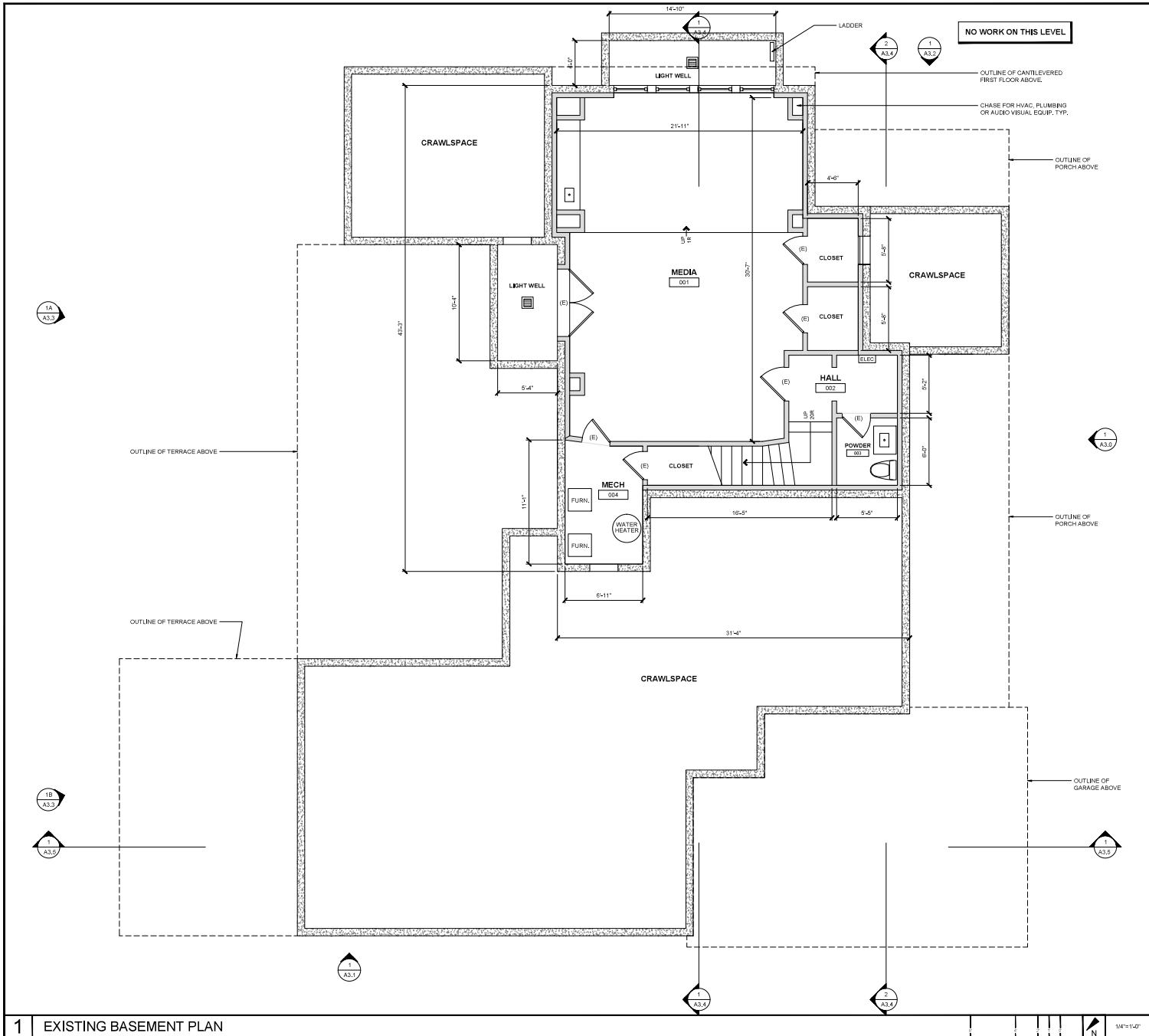
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USE PERMIT	11.15.2024
USE PERMIT REVISED	01.14.2025
USE PERMIT REVISED	02.18.2025

SHEET NAME
SQUARE FOOTAGE
CALCULATION PLANS

DRAWN BY: CL
DATE: 02.18.2025
JOB NO.: 2403
SCALE: AS NOTED

SHEET NO.

A2.0A



LEGEND - DEMOLITION & CONSTRUCTION PLAN

- DEMOLISH (E) PARTITION OR WALL
- (E) PARTITION OR WALL TO REMAIN
- (N) PARTITION OR WALL
EXTERIOR WALLS 2X8 FRAMING TYP U.O.N.
INTERIOR WALLS 2X4 FRAMING TYP U.O.N.
- R-13 MINIMUM INSULATION WALLS -OR-
R-19 MINIMUM INSULATION CRAWLSPACE
R-30 MINIMUM INSULATION RAFTERS
- ONE HOUR RATED PARTITION OR WALL
- REMOVE (E) DOOR AND FRAME
- (E) DOOR IN (E) LOCATION TO REMAIN
- (N) DOOR AND FRAME - TYPICAL INTERIOR DOOR
SINGLE PANEL SOLID CORE, PAINT GRADE
- REMOVE (E) WINDOW AND FRAME
- (E) WINDOW AND FRAME TO REMAIN
- (N) WINDOW AND FRAME

CAROLINE LEITES ARCHITECTURE

1245 Broadway #101 - CA 94015
carol@leites.com
415.607.9393

OWNER
KATHLEEN & ROBERT ANDERSON
842 HERMOSA WAY
MENLO PARK, CA 94025
650.306.2405

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SHEET NAME
EXISTING BASEMENT PLAN

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DATE 02.18.2025

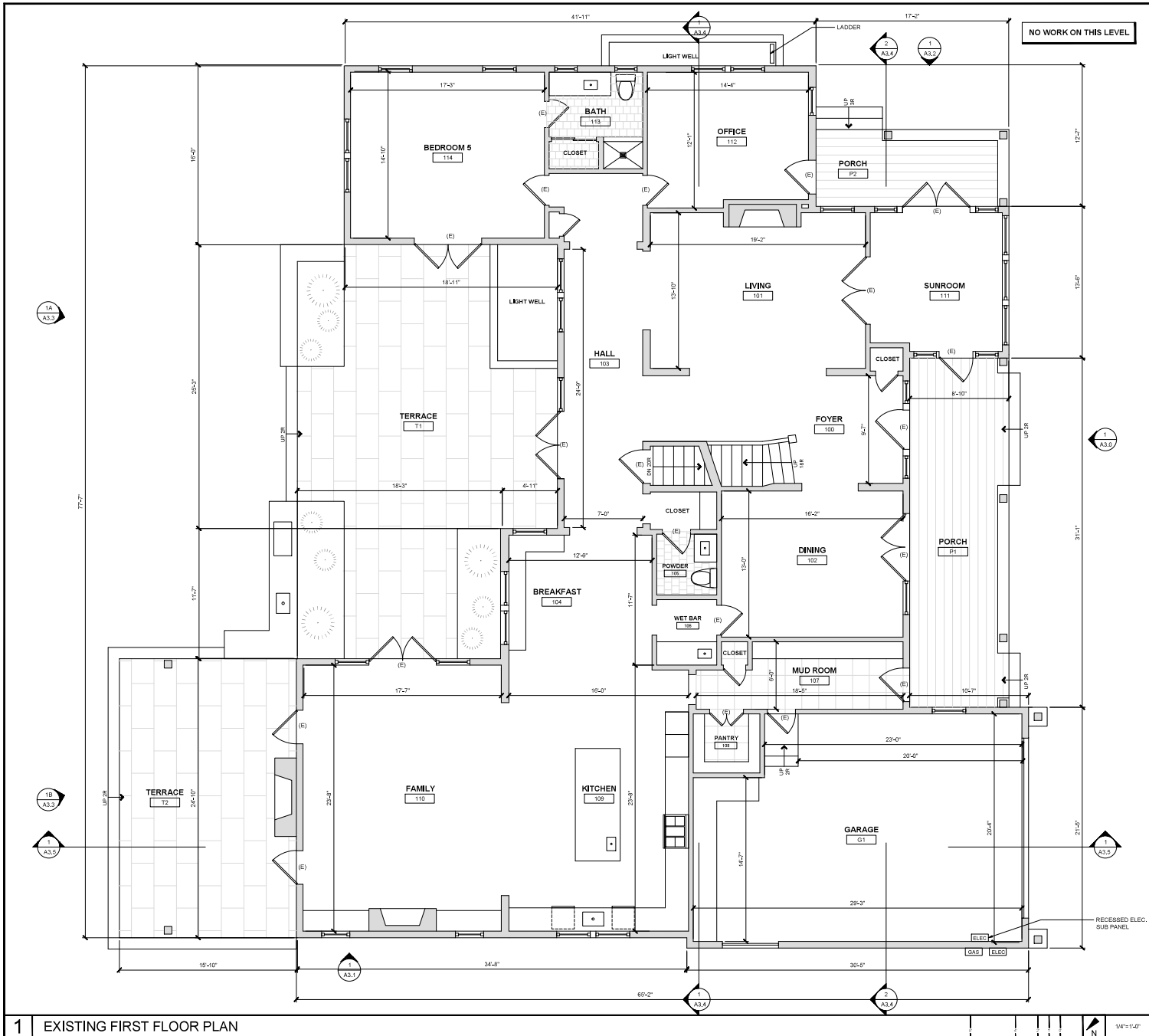
JOB NO. 2403

SCALE AS NOTED

SHEET NO.

A2.0

1 EXISTING BASEMENT PLAN



- LEGEND - DEMOLITION & CONSTRUCTION PLAN**
- (E) PARTITION OR WALL
 - (N) PARTITION OR WALL
 - (E) PARTITION OR WALL TO REMAIN
 - (N) PARTITION OR WALL
 - EXTERIOR WALLS 2X4 FRAMING TYP U.O.N.
 - INTERIOR WALLS 2X4 FRAMING TYP U.O.N.
 - R-13 MINIMUM INSULATION WALLS -OR-
 - R-19 MINIMUM INSULATION CRAWLSPACE
 - R-30 MINIMUM INSULATION RAFTERS
 - ONE HOUR RATED PARTITION OR WALL
 - REMOVE (E) DOOR AND FRAME
 - (E) (N) DOOR IN (E) LOCATION TO REMAIN
 - (N) DOOR AND FRAME - TYPICAL INTERIOR DOOR
 - SINGLE PANEL SOLID CORE, PAINT GRADE
 - REMOVE (E) WINDOW AND FRAME
 - (E) WINDOW AND FRAME TO REMAIN
 - (N) WINDOW AND FRAME

CAROLINE LEITES ARCHITECTURE

1245 Broadway #102 - CA 94015
 carol@leites.com
 415.607.3393

OWNER
 KATHLEEN & ROBERT ANDERSON
 842 HERMOSA WAY
 MENLO PARK, CA 94025
 650.306.2405

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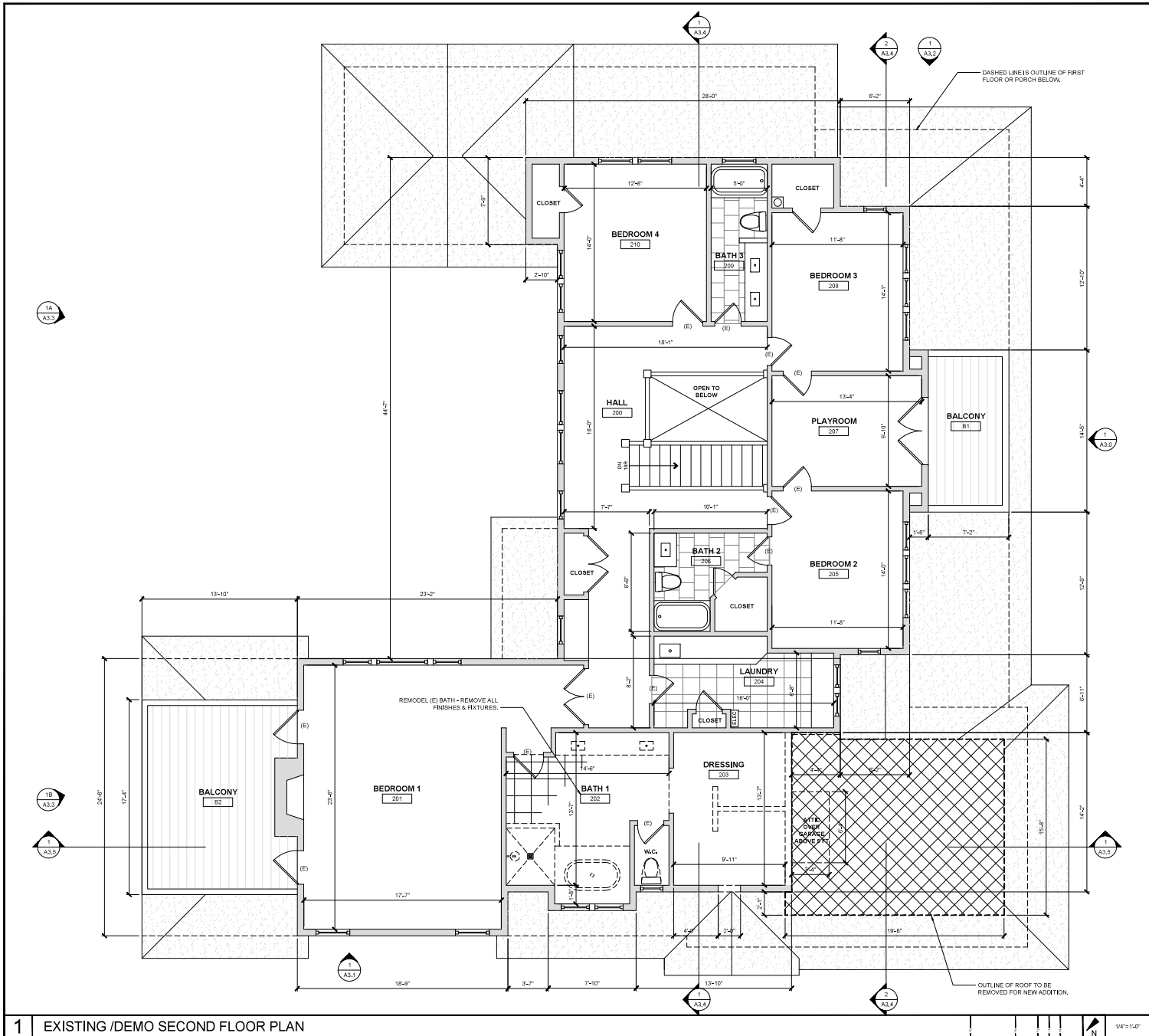
SHEET NAME
EXISTING FIRST FLOOR PLAN

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 DATE: 02.18.2025
 JOB NO.: 2403
 SCALE: AS NOTED

SHEET NO.

A2.1

1 EXISTING FIRST FLOOR PLAN



LEGEND - DEMOLITION & CONSTRUCTION PLAN

- DEMOLISH (E) PARTITION OR WALL
- (E) PARTITION OR WALL TO REMAIN
- (N) PARTITION OR WALL
EXTERIOR WALLS 2X4 FRAMING TYP U.G.N.
INTERIOR WALLS 2X4 FRAMING TYP U.G.N.
- R-13 MINIMUM INSULATION WALLS -OR-
R-19 MINIMUM INSULATION CRAWLSPACE
R-30 MINIMUM INSULATION RAFTERS
- ONE HOUR RATED PARTITION OR WALL
- REMOVE (E) DOOR AND FRAME
- (E) DOOR IN (E) LOCATION TO REMAIN
- (N) DOOR AND FRAME - TYPICAL INTERIOR DOOR
SINGLE PANEL SOLID CORE, PAINT GRADE
- REMOVE (E) WINDOW AND FRAME
- (E) WINDOW AND FRAME TO REMAIN
- (N) WINDOW AND FRAME

**CAROLINE LEITES
ARCHITECTURE**

1245 Broadway #102 - CA 94025
car@carolineleites.com
415.607.2890

OWNER
KATHLEEN & ROBERT ANDERSON
842 HERMOSA WAY
MENLO PARK, CA 94025
650.306.2405

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842 HERMOSA WAY
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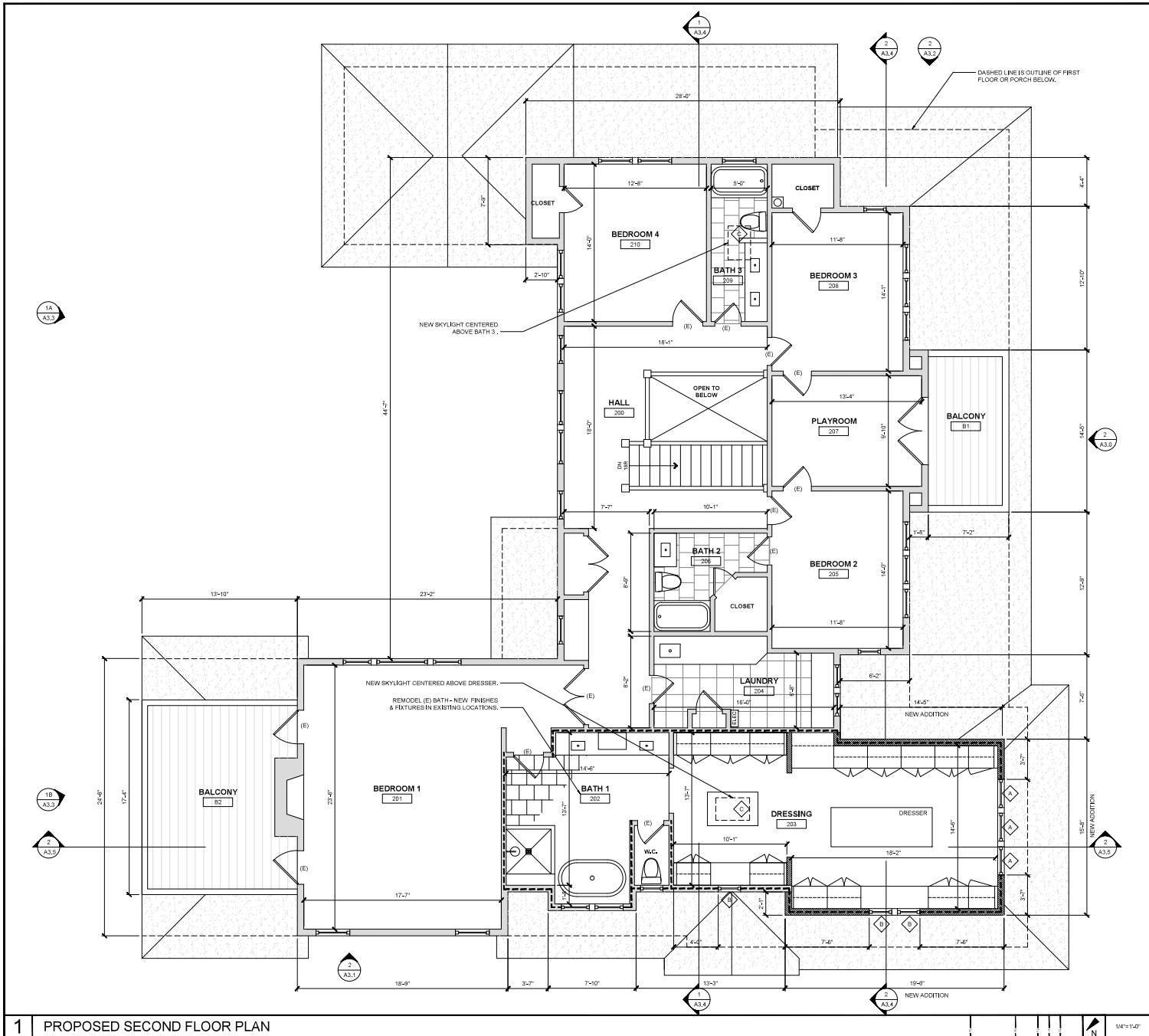
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USE PERMIT REVISED	02.18.2025

SHEET NAME
EXISTING SECOND FLOOR PLAN

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JOB NO.: 2403
SCALE: AS NOTED

A2.2

1 EXISTING /DEMO SECOND FLOOR PLAN



LEGEND - DEMOLITION & CONSTRUCTION PLAN

- DEMOLISH (E) PARTITION OR WALL
- (E) PARTITION OR WALL TO REMAIN
- (N) PARTITION OR WALL
EXTERIOR WALLS 2X4 FRAMING TYP U.G.N.
INTERIOR WALLS 2X4 FRAMING TYP U.G.N.
- R-13 MINIMUM INSULATION WALLS -OR-
R-19 MINIMUM INSULATION CRAWLSPACE
R-30 MINIMUM INSULATION RAFTERS
- ONE HOUR RATED PARTITION OR WALL
- REMOVE (E) DOOR AND FRAME
- (E) DOOR IN (E) LOCATION TO REMAIN
- (N) DOOR AND FRAME - TYPICAL INTERIOR DOOR
SINGLE PANEL SOLID CORE, PAINT GRADE
- REMOVE (E) WINDOW AND FRAME
- (E) WINDOW AND FRAME TO REMAIN
- (N) WINDOW AND FRAME

CAROLINE LEITES ARCHITECTURE

1245 Broadway #102 • CA 94025
car@leitesarch.com
415.607.2890

OWNER
KATHLEEN & ROBERT ANDERSON
842 HERMOSA WAY
MENLO PARK, CA 94025
650.306.2405

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CITY STAMPS

ADDITION
842 HERMOSA WAY
MENLO PARK, CA 94025
APN: 071-214-090



REVISION	DATE
USE PERMIT	11.15.2024
USE PERMIT REVISED	01.14.2025
USE PERMIT REVISED	02.18.2025

SHEET NAME
PROPOSED SECOND FLOOR PLAN

DRAWN BY CL
DATE 02.18.2025
JOB NO. 2403
SCALE AS NOTED

SHEET NO.

A2.3

1 PROPOSED SECOND FLOOR PLAN



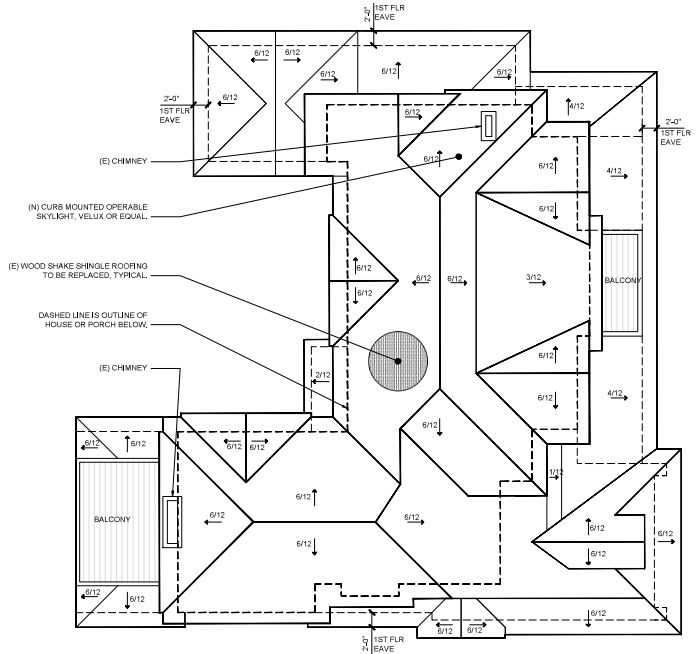
REVISION	
USE PERMIT	11.15.2024
USE PERMIT REVISED	01.14.2025
USE PERMIT REVISED	02.18.2025

SHEET NAME
ROOF PLAN
EXISTING & PROPOSED

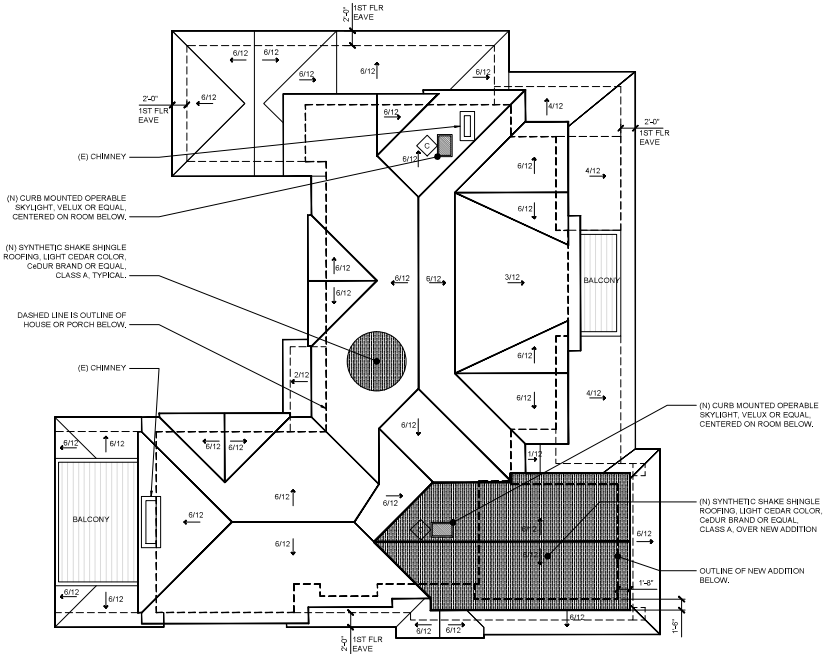
DRAWN BY CL
DATE 02.18.2025
JOB NO. 2403
SCALE AS NOTED

SHEET NO.

A2.4



2 EXISTING ROOF



1 PROPOSED ROOF PLAN



- (E) STACKED STONE CHIMNEY W/ COPPER CAP, TYPICAL.
- (E) PAINTED WHITE WOOD KNEE BRACKET, TYPICAL.
- (E) WOOD SHINGLE ROOFING TO BE REPLACED, TYPICAL.
- (E) PAINTED WHITE WOOD 2X8 FASCIA BOARD, TYPICAL.
- (E) WHITE CLAD WINDOWS WITH SIMULATED DIVIDED LIGHTS AND PAINTED WHITE WOOD TRIM TO REMAIN, TYPICAL.
- (E) PAINTED WHITE EXPOSED RAFTER TAILS, TYPICAL.
- (E) PAINTED WHITE WOOD SHINGLE SIDING TO REMAIN.
- (E) PAINTED 2X2 WOOD BALUSTERS, 3X6 WOOD POSTS AND 4X4 WOOD CAP RAIL AT BALCONY, TYPICAL.
- (E) PAINTED WOOD WITH HALF LIGHT GLASS SIDE ENTRY DOOR, TYPICAL.
- (E) PAINTED WOOD WITH HALF LIGHT GLASS FRONT ENTRY DOOR, TYPICAL.
- (E) PAINTED WHITE WOOD PORCH COLUMN, TYPICAL.
- (E) PAINTED WHITE WOOD SHINGLE SIDING AT PORCH, LOW WALL SUPPORTING COLUMNS, TYPICAL.

CAROLINE LEITES ARCHITECTURE

1245 Broadway #102 - CA 94015
 caroline@cl-a.com
 415.637.2890

OWNER
 KATHLEEN & ROBERT ANDERSON
 842 HERMOSA WAY
 MENLO PARK, CA 94025
 650.306.2405

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CITY STAMPS

ADDITION
 842 HERMOSA WAY
 MENLO PARK, CA 94025
 APN: 071-214-090

1 EXISTING FRONT / SOUTH EXTERIOR ELEVATION 1/8"=1'-0"



- (E) STACKED STONE CHIMNEY W/ COPPER CAP, TYPICAL.
- (E) PAINTED WHITE WOOD KNEE BRACKET, TYPICAL.
- (N) 5/8"X12" SHAKE SHINGLE ROOFING, LIGHT CEDAR COLOR, CEDUR BRAND OR EQUAL, TYPICAL.
- (E) PAINTED WHITE WOOD 2X8 FASCIA BOARD, TYPICAL.
- (E) WHITE CLAD WINDOWS WITH SIMULATED DIVIDED LIGHTS AND PAINTED WHITE WOOD TRIM TO REMAIN, TYPICAL.
- (E) PAINTED WHITE EXPOSED RAFTER TAILS, TYPICAL.
- (E) PAINTED WHITE WOOD SHINGLE SIDING TO REMAIN.
- (E) PAINTED 2X2 WOOD BALUSTERS, 3X6 WOOD POSTS AND 4X4 WOOD CAP RAIL AT BALCONY, TYPICAL.
- (E) PAINTED WOOD WITH HALF LIGHT GLASS SIDE ENTRY DOOR, TYPICAL.
- (E) PAINTED WOOD WITH HALF LIGHT GLASS FRONT ENTRY DOOR, TYPICAL.
- (E) PAINTED WHITE WOOD PORCH COLUMN, TYPICAL.
- (E) PAINTED WHITE WOOD SHINGLE SIDING AT PORCH, LOW WALL SUPPORTING COLUMNS, TYPICAL.

- (N) PAINTED WHITE WOOD KNEE BRACKET TO MATCH EXISTING, TYPICAL.
- (N) PAINTED WHITE WOOD 2X8 FASCIA BOARD.
- (N) PAINTED WHITE WOOD SHINGLE SIDING TO MATCH EXISTING.
- (N) WHITE CLAD WINDOWS WITH SIMULATED DIVIDED LIGHTS AND PAINTED WHITE WOOD TRIM TO MATCH EXISTING.
- (E) PAINTED WHITE WOOD GARAGE COLUMN WITH PAINTED SHINGLE BASE, TYPICAL.
- (E) PAINTED GRAY WOOD GARAGE DOOR.

NOTE: ALL WINDOWS SHALL BE SIMULATED TRUE DIVIDED LIGHTS WITH INTERIOR AND EXTERIOR GRIDS AND A SPACE BAR BETWEEN THE GLASS PANES.

STAMP

 CAROLINE M. LEITES
 C 54765
 REG. 01/21/27
 STATE OF CALIFORNIA

REVISION
 USE PERMIT 11.15.2024
 USE PERMIT REVISED 01.14.2025
 USE PERMIT REVISED 02.18.2025

SHEET NAME
 EXTERIOR ELEVATIONS
 FRONT / SOUTH

DRAWN BY CL
 DATE 02.18.2025
 JOB NO. 2403
 SCALE AS NOTED

SHEET NO.

A3.0

2 PROPOSED FRONT / SOUTH EXTERIOR ELEVATION 1/8"=1'-0"

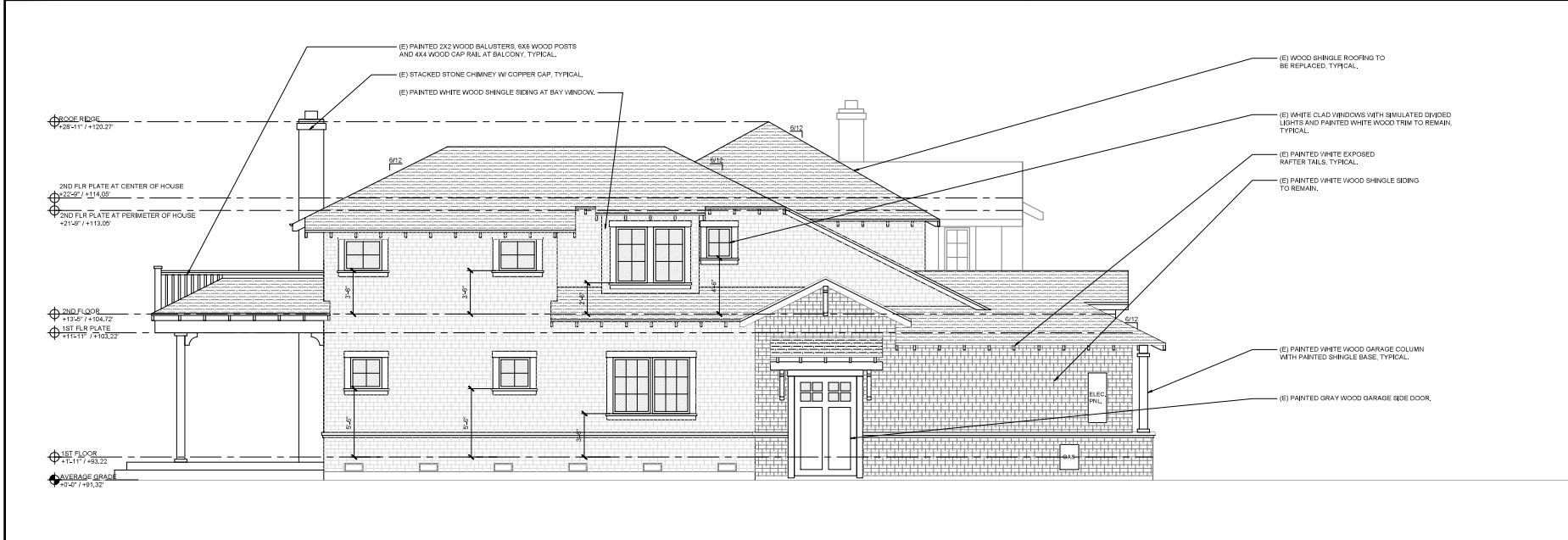


REVISION	
USE PERMIT	11.15.2024
USE PERMIT REVISED	01.14.2025
USE PERMIT REVISED	02.18.2025

SHEET NAME
EXTERIOR ELEVATIONS
WEST / SIDE

DRAWN BY	CL
DATE	02.18.2025
JOB NO.	2403
SCALE	AS NOTED
SHEET NO.	

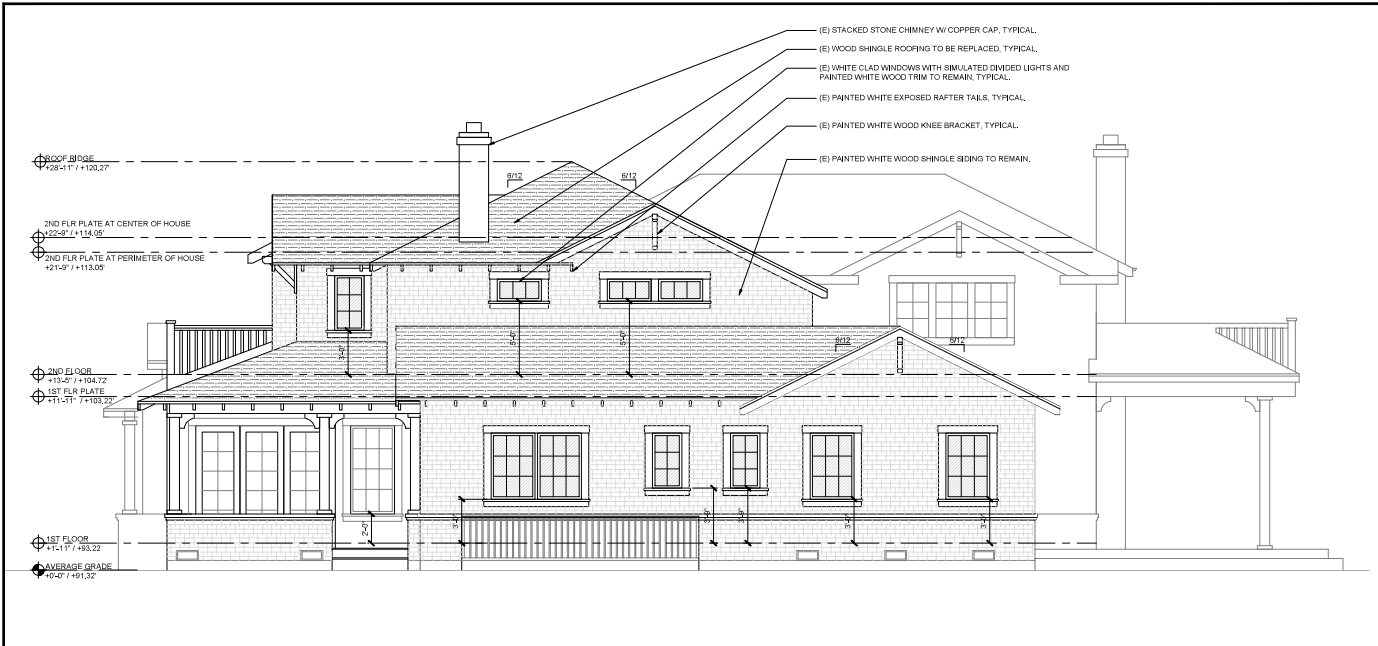
A3.1



1 EXISTING WEST / SIDE EXTERIOR ELEVATION

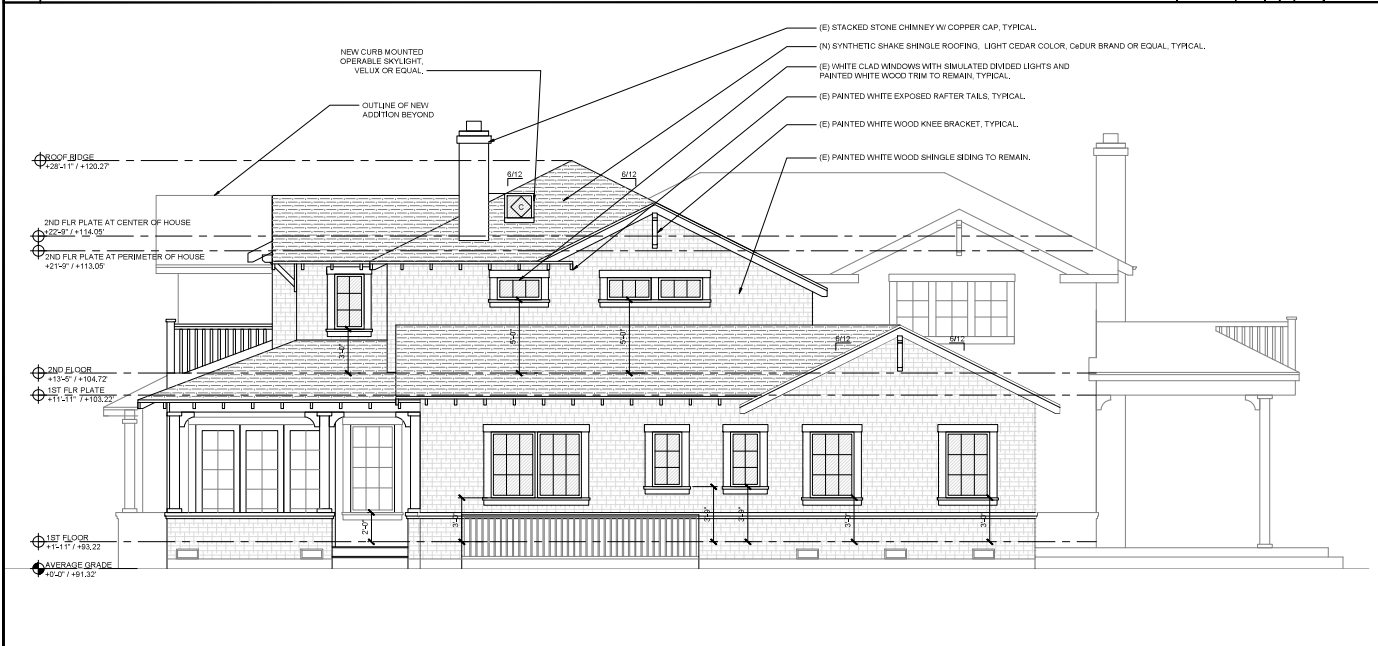


2 PROPOSED WEST / SIDE EXTERIOR ELEVATION



1 EXISTING EAST / SIDE EXTERIOR ELEVATION

1/4"=1'-0"



2 PROPOSED EAST / SIDE EXTERIOR ELEVATION

1/4"=1'-0"

CAROLINE LEITES
ARCHITECTURE

1245 Broadway #102 CA 94015
car@leitesarch.com
415.637.3992

OWNER
KATHLEEN & ROBERT ANDERSON
842 HERMOSA WAY
MENLO PARK, CA 94025
650.306.2405

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CITY STAMPS

ADDITION
842 HERMOSA WAY
MENLO PARK, CA 94025
APN: 071-214-090

(E) STACKED STONE CHIMNEY W/ COPPER CAP, TYPICAL.

(N) SYNTHETIC SHAKE SHINGLE ROOFING. LIGHT CEDAR COLOR, CEDUR BRAND OR EQUAL, TYPICAL.

(E) WHITE CLAD WINDOWS WITH SIMULATED DIVIDED LIGHTS AND PAINTED WHITE WOOD TRIM TO REMAIN, TYPICAL.

(E) PAINTED WHITE EXPOSED RAFTER TAILS, TYPICAL.

(E) PAINTED WHITE WOOD KNEE BRACKET, TYPICAL.

(E) PAINTED WHITE WOOD SHINGLE SIDING TO REMAIN.

NOTE: ALL WINDOWS SHALL BE SIMULATED TRUE DIVIDED LIGHTS WITH INTERIOR AND EXTERIOR CREAS AND A SPACE BAR BETWEEN THE GLASS PANEES.

NOTE - PAINTED WOOD TRIM TO MATCH EXISTING - V.L.F.

TYPICAL TRIM AT EXTERIOR
SCALE: 2" = 1'-0"

CASEMENT

CASEMENT

SKYLIGHT OPERABLE

GLAD WINDOWS DUAL PANELED LOW-E TYPICAL. SIMULATED DIVIDED LIGHTS WITH SPACER BAR. MATCH (E) BRAND MARVIN ULTIMATE OR EQUAL. MATCH (E) FINISHES ON INTERIOR AND EXTERIOR.

WINDOW GLAZING L-FACTOR TO BE .37 OR LOWER.

SG = SAFETY GLAZING PER CBC 2406 / CRC R308.4

SKYLIGHTS - CURB MOUNTED VELUX SKYLIGHTS WITH LAMINATED LOW-E3 GLASS. L-FACTOR = .43 OR BETTER

STAMP

REVISION

USE PERMIT	11.15.2024
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SHEET NAME

EXTERIOR ELEVATIONS
EAST / SIDE
WINDOW SCHEDULE

DRAWN BY CL

DATE 02.18.2025

JOB NO. 2403

SCALE AS NOTED

SHEET NO.

4 WINDOW SCHEDULE

1/4"=1'-0"

NO WORK ON THIS ELEVATION



②



①

NOTE: HOUSE HAS BEEN REPAINTED WHITE SINCE THESE PHOTOS WERE TAKEN.

1 NORTH / REAR ELEVATION PHOTOS

N.T.S.

CAROLINE LEITES ARCHITECTURE

1245 Broadway #202 - CA 94025
caroline@cl-a.com
415.607.3592

OWNER
KATHLEEN & ROBERT ANDERSON
842 HERMOSA WAY
MENLO PARK, CA 94025
650.306.2405

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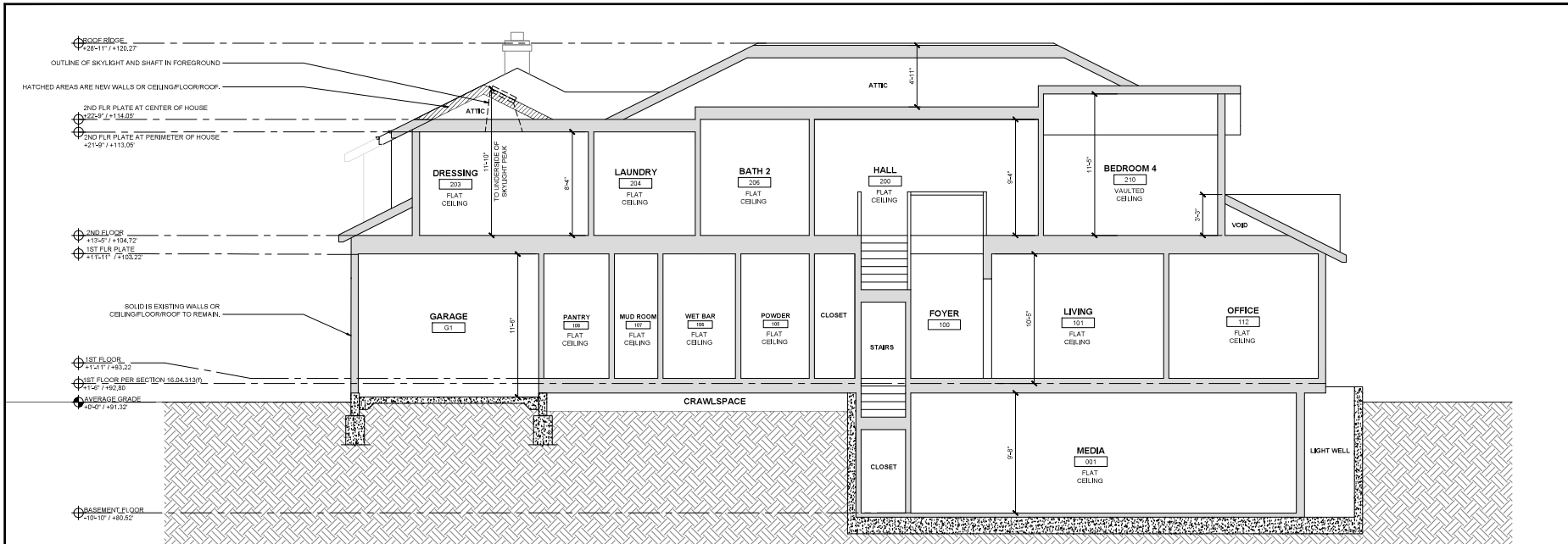
REVISION
USE PERMIT REVISED 01.14.2025
USE PERMIT REVISED 02.18.2025

SHEET NAME
EXTERIOR ELEVATIONS
NORTH / REAR

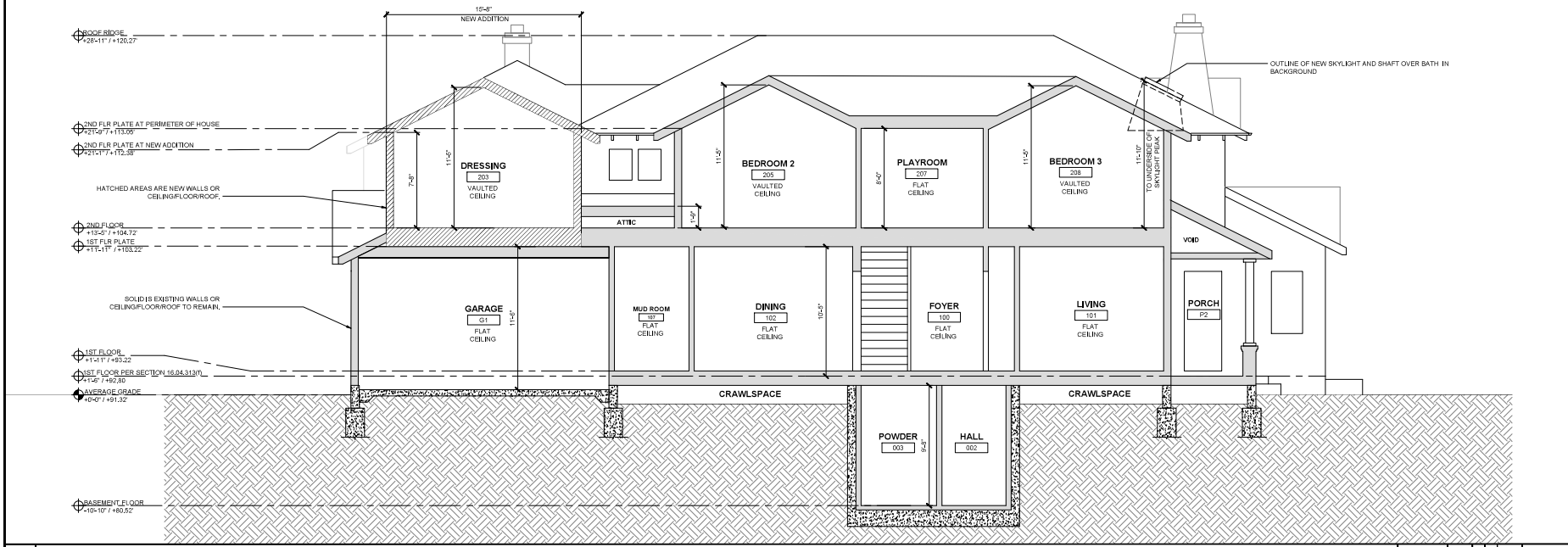
DRAWN BY CL
DATE 02.18.2025
JOB NO. 2403
SCALE AS NOTED

SHEET NO.

A3.3



1 PROPOSED LONGITUDINAL SECTION 1 : THROUGH ROOF PEAK 1/8"=1'-0"



2 PROPOSED LONGITUDINAL SECTION 2 : THROUGH AREA OF WORK 1/8"=1'-0"

CAROLINE LEITES ARCHITECTURE

1245 Broadway #102 CA 94015
carol@leites.com
415.637.9393

OWNER
KATHLEEN & ROBERT ANDERSON
842 HERMOSA WAY
MENLO PARK, CA 94025
650.306.2405

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CITY STAMPS

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APN: 071-214-090

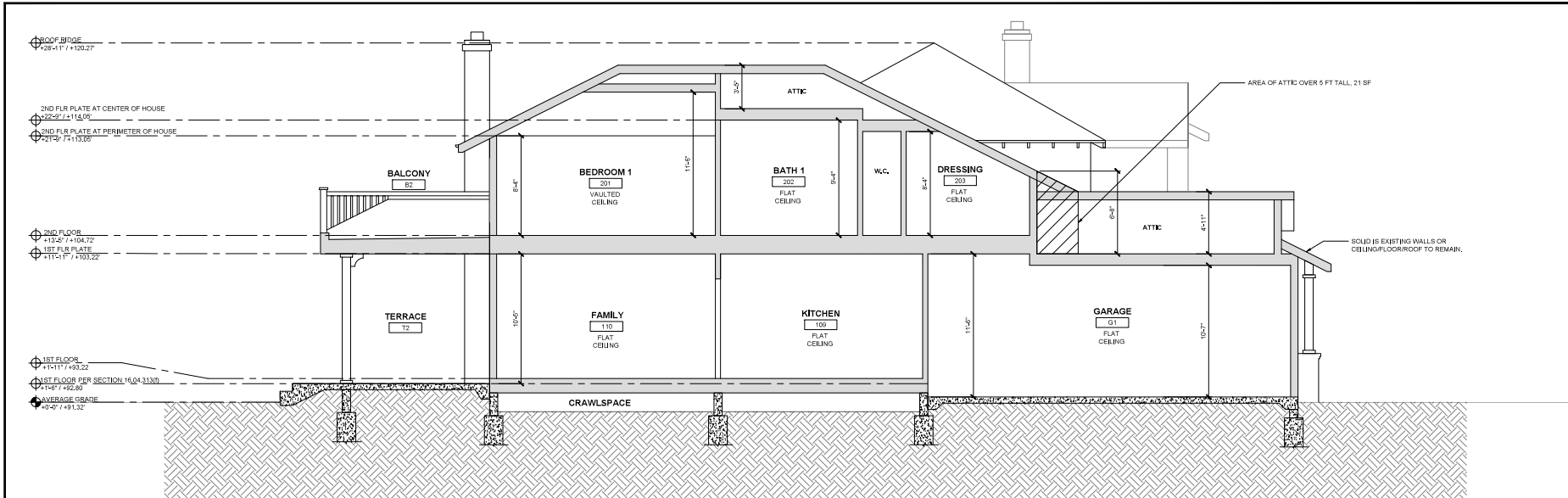


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USE PERMIT REVISED 01.14.2025
USE PERMIT REVISED 02.18.2025

SHEET NAME
BUILDING SECTIONS
LONGITUDINAL

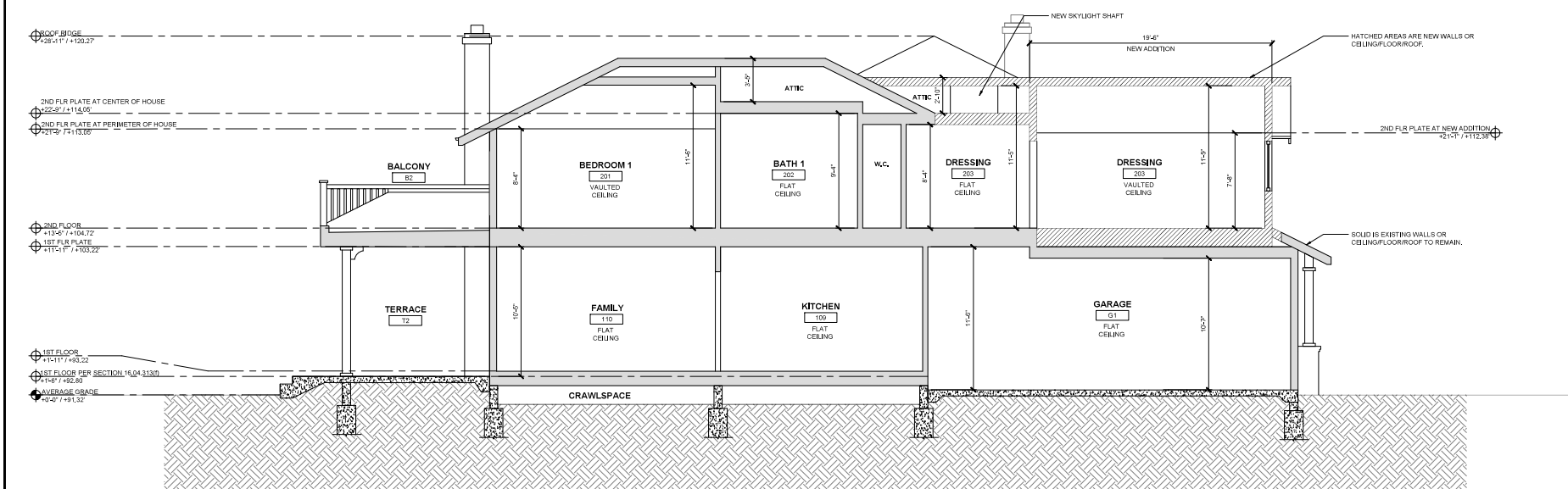
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DATE 02.18.2025
JOB NO. 2403
SCALE AS NOTED
SHEET NO.

A3.4



1 EXISTING TRANSVERSE SECTION : THROUGH AREA OF WORK

1/8" = 1'-0"



2 PROPOSED TRANSVERSE SECTION : THROUGH AREA OF WORK

1/8" = 1'-0"

CAROLINE LEITES ARCHITECTURE

1245 Broadway #102 • CA 94015
 carl@leites.com | 415.637.3595

OWNER
 KATHLEEN & ROBERT ANDERSON
 842 HERMOSA WAY
 MENLO PARK, CA 94025
 650.306.2405

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CITY STAMPS

ADDITION
 842 HERMOSA WAY
 MENLO PARK, CA 94025
 APN: 071-214-090



REVISION	DATE
USE PERMIT	11.15.2024
USE PERMIT REVISED	01.14.2025
USE PERMIT REVISED	02.18.2025

SHEET NAME
BUILDING SECTIONS
 TRANSVERSE

DRAWN BY: CL
 DATE: 02.18.2025
 JOB NO.: 2403
 SCALE: AS NOTED

SHEET NO.

A3.5

CAROLINE LEITES ARCHITECTURE

CA Architect No. 34765
carolineleites.com

November 21, 2024

Project Description

**842 Hermosa Way
Menlo Park, CA 94025
Revision to Use Permit #PLN2006 - 00007**

Proposal Scope of Work

The proposed project at 842 Hermosa is a small, 300 square foot second story addition to an existing two story single family residence, zoned R-E. The addition is an expansion of an existing dressing room and is to be located above the garage at the front of the lot within the required setbacks. There is no ground floor footprint expansion as part of this proposal.

Style

The style of the proposed addition is to match the existing craftsman style of the home. It will have the same traditional elements as the existing house including: painted wood shingles, painted wood trim at the clad windows, exposed rafter tails and painted wood knee brackets at the eaves. The proposed gable roof line of the addition will match the slope of the two existing gable roof volumes facing the street for a consistent look across the front facade. The addition will have three windows on the gable end wall facing the street – similar in size to the trio of windows below the two other gable roof volumes at the second floor. On the side facade, there are three smaller windows proposed, matching in style to the existing adjacent window.

Neighbor Outreach

During the summer of 2024, the homeowner, Kathleen Anderson, spoke with the immediate adjacent neighbor at 866 Hermosa Way and told them about their plans to do a small addition above the garage. In November 2024, a schematic site plan as well as a before & after photo rendering was put in the adjacent & across the street neighbor's mailboxes along with a note from the homeowners informing them about the addition prior to filing the application. The distributed site plan with images is attached. As of November 21, 2024 no feedback has been received from the neighbors.

Best regards,



Caroline M. Leites

caroline@carolineleites.com

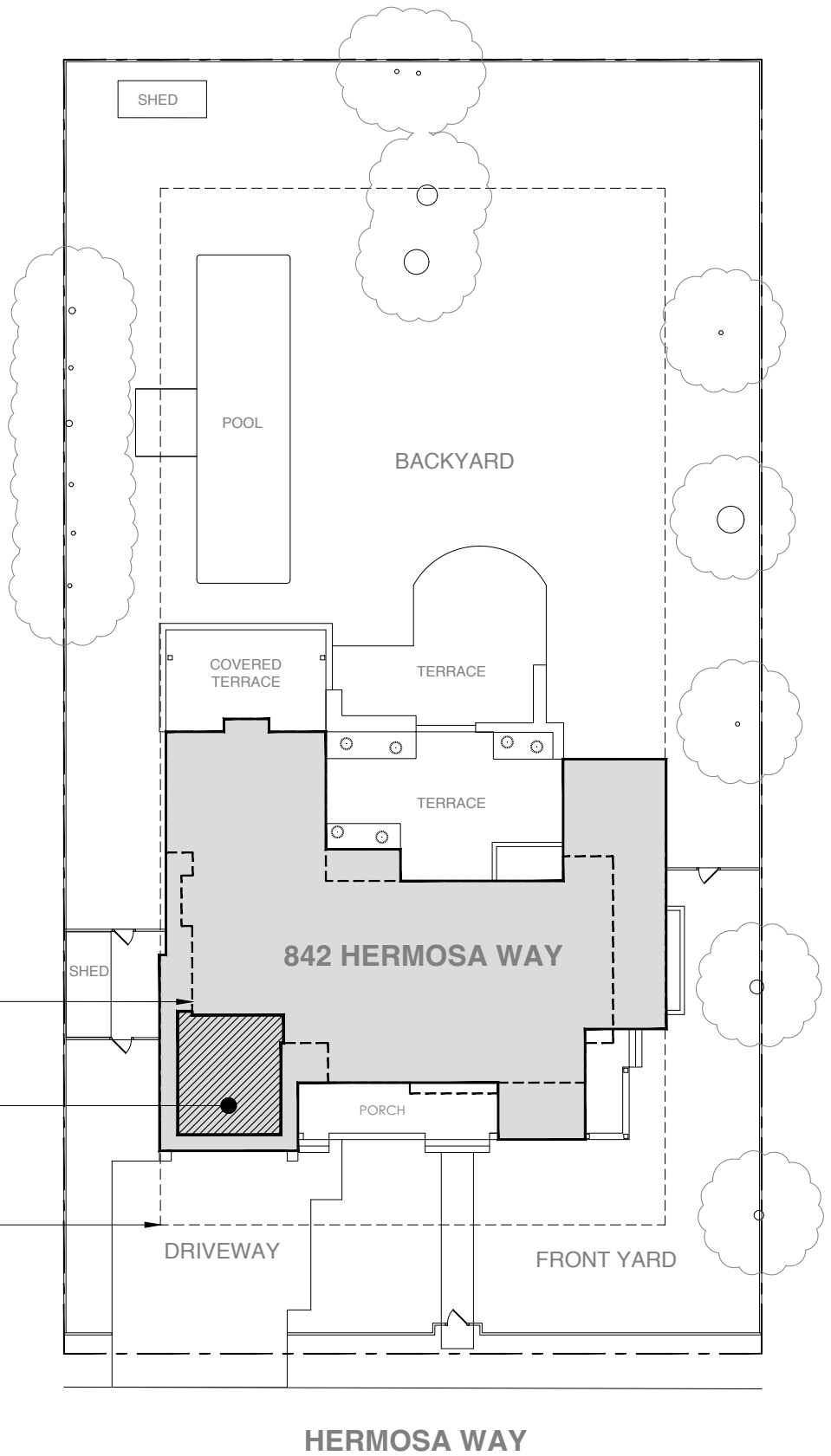
415.627.8280



EXISTING VIEW FROM END OF DRIVEWAY



PROPOSED VIEW FROM END OF DRIVEWAY



DASHED LINE IS OUTLINE OF EXISTING SECOND FLOOR

PROPOSED LOCATION OF 300 SF ADDITION ABOVE GARAGE APPROX. 19 FT X 16 FT

LINE OF MINIMUM REQUIRED SETBACKS

Tree Inventory, Assessment, and Protection

**842 Hermosa Way
Menlo Park, CA 94025**

Prepared for:

Kat Anderson

November 15, 2024

Prepared by:



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Summary

This report provides an assessment and preservation plan for 30 trees at 842 Hermosa Way, Menlo Park, focusing on two trees near the proposed construction site. The project involves adding a second-story addition, with no anticipated impact on any trees. Protective fencing is recommended around one tree as a precaution, and no further mitigation is needed due to the low impact of the planned construction activities. The report includes an inventory, preservation recommendations, and standard tree protection guidelines to ensure the trees' well-being throughout construction.

Assignment

- Visit the site and collect the following attributes for all protected trees on site: species, trunk diameter, overall condition, and suitability for preservation.
- Prepare a numbered tree map (not-to-scale).
- Review all available project drawings to assess impacts from construction activities.
- Develop tree protection guidelines for all trees to be retained.

Limits of Assignment

The information in this report is limited to the tree and site conditions during my inspections on October 25, 2024, and my review of the following project documents:

- No tree risk assessments were performed.
- Any trunk diameters and heights of trees located off the property are based on visual estimations. The assessment of the condition of trees situated offsite was made from one perspective, on the project side of the tree.

Purpose and Use of this Report

This report records existing tree and site conditions at the subject property. The client and their agents will use it to guide tree preservation throughout construction.

Project Features and Tree Inventory

Project Features

Add a 300-square-foot second-story addition on top of the existing garage.

Trees

Thirty (30) trees were inventoried, including 11 protected trees.

Only two trees are remotely in the vicinity of the proposed activities:

Tree #1 – Coast live oak (30" DBH). Located on the neighbor's property, this tree is in fair condition and has been heavily headed on the project side in the past, presumably during construction. Any potential rooting space on the project site is already protected with hardscape.

Tree #25 – Crape myrtle (3" DBH). This tree is in good condition and may be a "street" tree, regulated by the City of Menlo Park.



Potential Conflicts, Impacts, and Mitigation

Given the nature of the work, which remains within the existing home's footprint and on existing pavement within the allowable work area, there is no anticipated impact on any trees on the property. As a precaution, protective fencing has been recommended around Tree #25.

No conflicts are expected from the proposed activities, and no special mitigation measures are required. The overall impact level for all trees is assessed as low.

Please refer to Sheet T-1 included with this report.

Appraised Values

An opinion of value has been provided for the three trees nearest to the construction area. This valuation is included purely as a formality, as there is no indication that any of these trees will be adversely affected.

Recommendations

1. Incorporate the T-1 Sheet into the construction plan sheet.
2. Install tree protection fence around Tree #25, as shown on the T-1 Sheet.
3. Provide a copy of this report and the T-1 Sheet to all contractors and project managers, including the architect, civil engineer, and landscape designer or architect. The owner is responsible for ensuring all parties are familiar with this document. Any questions should be directed to Project Arborist, Matthew Fried (650-542-8733).
4. Refer to Appendix A for Tree Protection Guidelines, which includes recommendations for arborist assistance while working under trees, trenching, or excavation within any Tree Protection Zone.
5. Arrange a pre-construction meeting with the Project Arborist to:
 - a. Verify tree protection is in place, with the correct materials, and at the proper distances.
 - b. Review the Tree Protection Guidelines. Access routes, storage areas, and work procedures will be discussed.
 - c. Identify any potential clearance pruning that may be required to accommodate construction.

Tree Inventory and Assessment Table

Tree #	Protected	Preserve / Remove	Common Name	Scientific Name	Trunk dia. (in.)	Health	Structure	Overall Condition	Suitability for Preservation	Impact Level	Rounded Depr. Value	Comments
1	Yes	Preserve	Coast live oak	<i>Quercus agrifolia</i>	30	Fair	Fair	Fair	Medium	Low	\$8,400	Offsite; Headed for roof clearance or past construction. See photos.
2	No	Preserve	Fern pine	<i>Afrocarpus gracilior</i>	5	Good	Poor	Fair	Medium	Low		
3	No	Preserve	Fern pine	<i>Afrocarpus gracilior</i>	7	Good	Poor	Fair	Low	Low		
4	No	Preserve	Fern pine	<i>Afrocarpus gracilior</i>	8	Good	Fair	Good	High	Low		
5	No	Preserve	Fern pine	<i>Afrocarpus gracilior</i>	8	Good	Fair	Good	High	Low		
6	No	Preserve	Fern pine	<i>Afrocarpus gracilior</i>	11.5	Good	Fair	Good	High	Low		
7	No	Preserve	Fern pine	<i>Afrocarpus gracilior</i>	8	Good	Fair	Good	High	Low		
8	No	Preserve	Fern pine	<i>Afrocarpus gracilior</i>	11.5	Good	Fair	Good	High	Low		
9	Yes	Preserve	Coast redwood	<i>Sequoia sempervirens</i>	24	Good	Good	Good	High	Low		Offsite
10	Yes	Preserve	Coast redwood	<i>Sequoia sempervirens</i>	18	Good	Good	Good	High	Low		Offsite
11	No	Preserve	Victorian box	<i>Pittosporum undulatum</i>	7	Fair	Fair	Fair	Medium	Low		
12	No	Preserve	Victorian box	<i>Pittosporum undulatum</i>	10	Fair	Fair	Fair	Low	Low		
13	Yes	Preserve	Coast redwood	<i>Sequoia sempervirens</i>	37	Good	Good	Good	High	Low		
14	Yes	Preserve	Coast redwood	<i>Sequoia sempervirens</i>	40	Good	Good	Good	High	Low		
15	No	Preserve	Red maple	<i>Acer rubrum</i>	8.5	Good	Good	Good	High	Low		
16	Yes	Preserve	Coast redwood	<i>Sequoia sempervirens</i>	43	Good	Good	Good	High	Low		
17	No	Preserve	Red oak	<i>Quercus rubra</i>	7	Good	Good	Good	High	Low		
18	No	Preserve	Japanese maple	<i>Acer palmatum</i>	8	Good	Good	Good	High	Low		Patio
19	No	Preserve	Japanese maple	<i>Acer palmatum</i>	8	Good	Good	Good	High	Low		Patio
20	Yes	Preserve	Coast live oak	<i>Quercus agrifolia</i>	22	Fair	Good	Good	High	Low		Fence/line
21	No	Preserve	Japanese maple	<i>Acer palmatum</i>	7	Good	Good	Good	High	Low		
22	Yes	Preserve	Coast redwood	<i>Sequoia sempervirens</i>	36	Fair	Fair	Fair	Medium	Low		Offsite; Existing Tag #6
23	Yes	Preserve	Coast live oak	<i>Quercus agrifolia</i>	17.5	Good	Fair	Good	High	Low		
24	Yes	Preserve	Coast live oak	<i>Quercus agrifolia</i>	40	Good	Fair	Good	High	Low	\$32,300	
25	Yes	Preserve	Crape myrtle	<i>Lagerstroemia indica</i>	3	Good	Good	Good	High	Low	\$610	Street Tree?

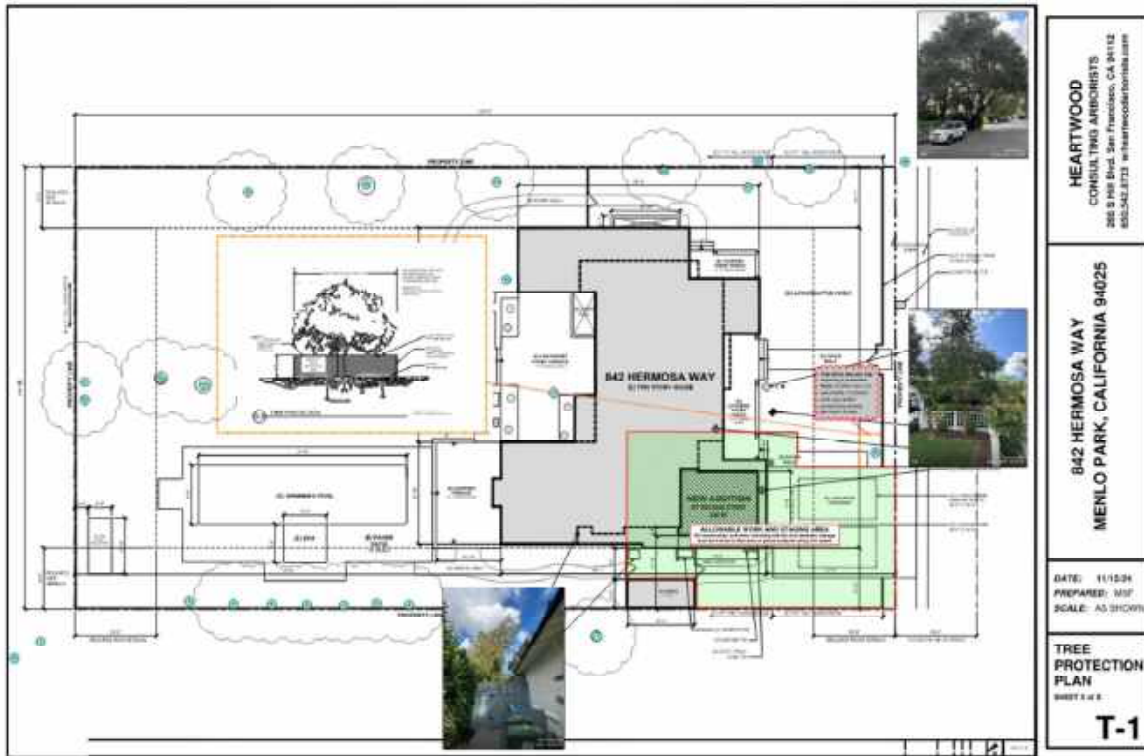
Suitability for Preservation

The 2023 ISA Best Management Practices emphasizes the importance of selecting trees for preservation that enhance a site post-construction. This involves assessing trees based on their species, health, size, longevity, and construction tolerance.

Trees ideal for preservation are healthy, long-lived, aesthetically pleasing, non-invasive, pest-free, and construction-tolerant. In contrast, unhealthy, short-lived, unattractive, or disturbance-sensitive trees are less suitable for preservation.

Tree Protection Plan (T-1)

Full-size Tree Protection Plan Sheets (pdf) are enclosed with this report.



Appendix A: Tree Protection Guidelines

THESE GUIDELINES MUST BE INCLUDED IN THE CONSTRUCTION PLAN SET IN A CLEARLY READABLE FORMAT AND SIZE.



ANY TREE ON SITE PROTECTED BY THE CITY’S MUNICIPAL CODE WILL REQUIRE REPLACEMENT ACCORDING TO ITS APPRAISED VALUE IF IT IS DAMAGED BEYOND REPAIR AS A RESULT OF CONSTRUCTION.



-----PRECONSTRUCTION PHASE-----

- 1. Tree Protection Fences.** Install tree protection fences at the locations and distances shown on the Tree Protection Plan (T-1).

The area within the fence is the **Tree Protection Zone (TPZ)**.

- Fence shall be six (6)-foot-tall chain link.
- Fence posts shall be 1.5 inches in diameter, driven 2 feet into the ground, at most 10 feet apart.
- Permanent walls and fences may be used instead of chain link fence where they are of comparable height and sturdiness to chain link.
- Movable barriers of chain link fence secured to cement blocks may be substituted for fixed fence in limited circumstances and with City Arborist approval if the fence will have to be moved to accommodate certain construction phases.
- Manually spread a 6-inch layer of coarse woodchips throughout entire TPZ prior to construction activity.
- Custom TPZ Warning Signs (English and Spanish) shall be printed on 11" x 17" laminated yellow paper and secured in a prominent location on each protection fence. ([Download signs](#)).
- If construction activities are planned between April and October, temporary supplemental irrigation (soaker hose) shall be installed throughout the TPZ. The Project Arborist will direct the watering schedule based on site-specific considerations and recent weather.

2. Tree Protection Verification Letter

Notify the project arborist after tree protection measures have been installed. The project arborist must inspect the measures to verify their compliance and will issue a letter to the city with their findings.

3. Meeting with Project Arborist

Prior to beginning any work or demolition, all contractors involved with the project should attend a pre-construction meeting with the Project Arborist to:

- a. Review the Tree Protection Guidelines. Access routes, storage areas, and work procedures will be discussed.
- b. Identify any potential clearance pruning that may be required to accommodate construction.
- c. The general contractor or project manager is responsible for scheduling this meeting.

-----DEMOLITION PHASE-----

- 4. When demolishing existing features within TPZs, start work close to trees and move backward, limiting equipment to still-paved areas.
- 5. If movable barriers were authorized for the demolition phase and will not need to be moved again, install standard chain link fence with posts in the ground.

-----CONSTRUCTION PHASE-----

6. Monthly Monitoring Reports.

Alert the Project Arborist when construction is scheduled to begin. The Project Arborist shall visit the site monthly until project completion to:

- a. Monitor the effectiveness of the Tree Preservation Plan.
- b. Provide recommendations for any necessary additional care or treatment.
- c. Issue a report to the city with their findings.
- d. The final report will include recommendations for post-construction mitigation and treatments, if appropriate.

- 7. Maintain tree protection fences around all TPZs and inspect daily for damage and proper function.

8. Do not remove, adjust, or work inside any TPZ without consulting the Project Arborist.
9. Tree Protection Zone (TPZ) Restrictions
 - a. NO operation, storage, or parking of vehicles or heavy equipment.
 - b. NO storage or disposal of building materials, refuse, soil, excavated spoils, or chemicals of any kind.
 - c. NO cutting of tree roots by utility trenching, foundation digging, or any miscellaneous excavation without prior approval of the Project Arborist.
 - d. NO use of TPZ as a rest/lunch/break area by project staff.
 - e. NO grade changes of any kind except as expressly designed or approved by the Project Arborist.
 - f. NO alteration or disturbance, for any duration, of the ground inside the TPZ except as expressly designed or approved by the Project Arborist.

10. ANY WORK WITHIN ANY TPZ MUST BE APPROVED BY THE PROJECT ARBORIST PRIOR TO BEGINNING THE TASK.

11. Root Management

- a. If roots over 1" in diameter are encountered when excavating in ANY location:
 - i. Hand-dig the edge nearest the trunk to the full depth of the feature being installed or to a depth of 3 feet, whichever is shallower.
 - ii. Route conduit and other features around and between roots when possible.
- b. If roots 1-2 inches in diameter must be cut, sever them clean and square at undamaged tissue using bypass pruners for a sharp saw.
- c. If roots over 2" must be cut, STOP work in that area and contact the Project Arborist immediately for guidance.
 - i. The Project Arborist will inspect the exposed root(s) to assess the impact of cutting and oversee/document any approved root cutting.
- d. Exposed roots and upper 3 feet of trench walls shall be covered with 3-4 layers of burlap or absorbent fabric and kept moist until backfilled.

12. Pruning / Trimming

Any pruning of any limbs or roots over 2" diameter must be supervised by the Project Arborist.

13. Final Inspection by City Arborist –

Before removing TPZ fences and *after* planting any replacement trees, contact the City Arborist for a final inspection. Jillian Keller - jmkeller@menlopark.gov

-----POST-CONSTRUCTION PHASE-----

14. Post-construction remedial treatments and/or maintenance may be prescribed by the Project Arborist near the end of the project. Any directives will be site-specific and tailored to:

- a. The observed disruptiveness of construction activities
- b. Tree condition and response to construction
- c. Time of year and recent weather

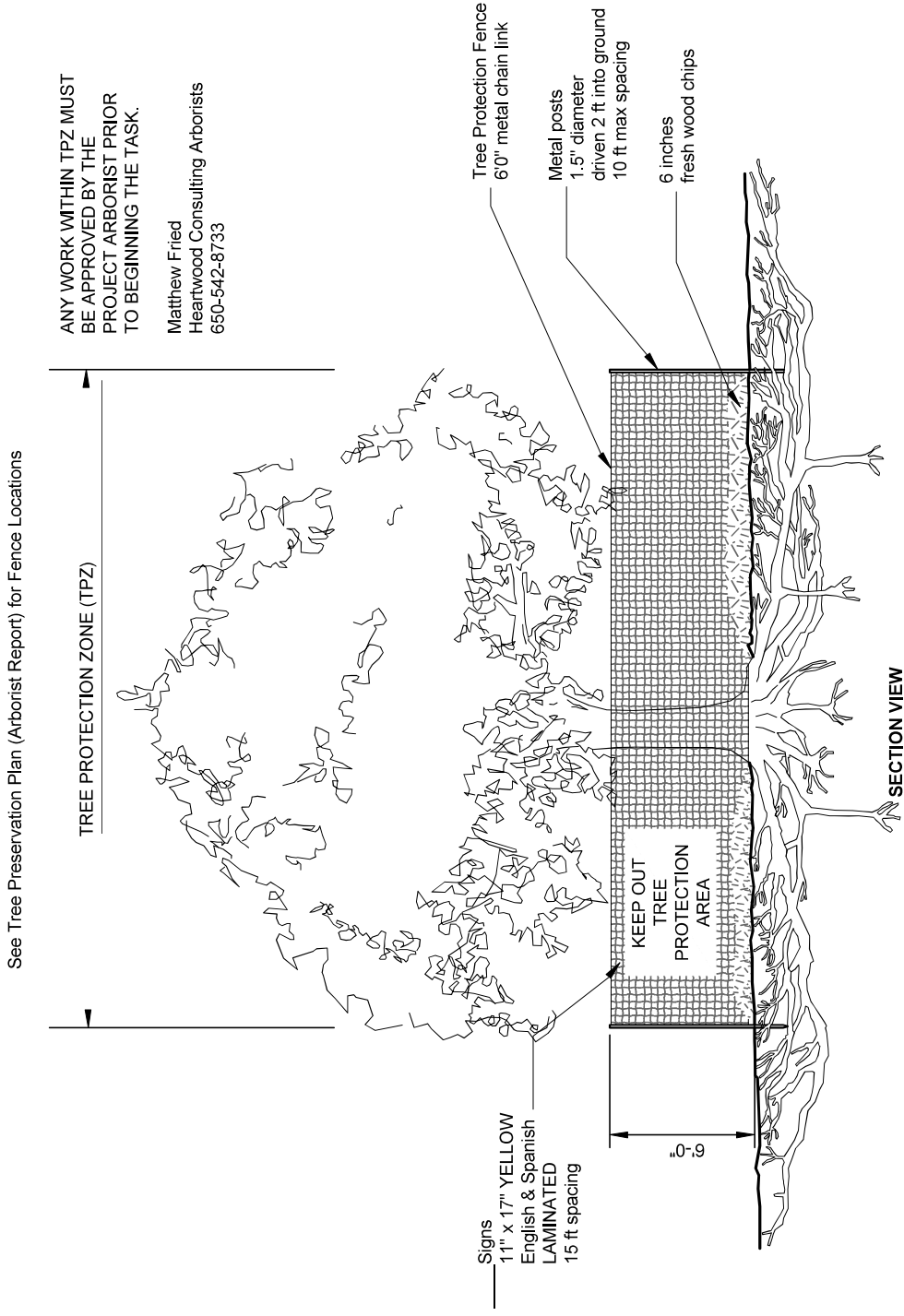
Post-construction care will be detailed in the final Monthly Monitoring Report and reviewed with the property owner.



ANY TREE ON SITE PROTECTED BY THE CITY'S MUNICIPAL CODE WILL REQUIRE REPLACEMENT ACCORDING TO ITS APPRAISED VALUE IF IT IS DAMAGED BEYOND REPAIR AS A RESULT OF CONSTRUCTION.



Tree Protection Detail. Incorporate into Construction Plan Set. ([PDF for Download](#))

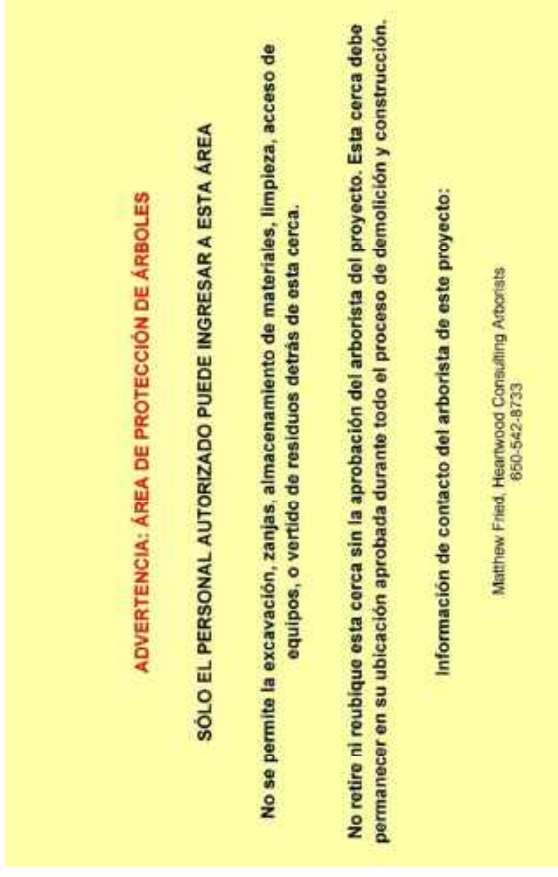


TREE PROTECTION

URBAN TREE FOUNDATION © 2014
Modified by Heartwood Consulting Arborists

Tree Protection Zone Signs

- Download [these signs](#) (English and Spanish) and print them on 11" x 17" yellow paper.
- After laminating, affix each copy in prominent locations along each tree protection fence.



Qualifications, Assumptions, & Limiting Conditions

Any legal description provided to the consultant is assumed to be correct. Any titles or ownership of properties are assumed to be good and marketable. All property is appraised or evaluated as though free and clear, under responsible ownership and competent management.

All property is presumed to be in conformance with applicable codes, ordinances, statutes, or other regulations.

Care has been taken to obtain information from reliable sources. However, the consultant cannot be responsible for the accuracy of information provided by others.

The consultant shall not be required to give testimony or attend meetings, hearings, conferences, mediations, arbitration, or trials by reason of this report unless subsequent contractual arrangements are made, including payment of an additional fee for such services.

This report and any appraisal value expressed herein represent the opinion of the consultant, and the consultant's fee is not contingent upon the reporting of a specified appraisal value, a stipulated result, or the occurrence of a subsequent event.

Sketches, drawings, and photographs in this report are intended for use as visual aids, are not necessarily to scale, and should not be construed as engineering or architectural reports or surveys. The reproduction of information generated by architects, engineers, or other consultants on any sketches, drawings, or photographs is only for coordination and ease of reference. Inclusion of said information with any drawings or other documents does not constitute a representation as to the sufficiency or accuracy of said information.

Unless otherwise expressed: a) this report covers only examined items and their condition at the time of inspection; and b) the inspection is limited to visual examination of accessible items without dissection, excavation, probing, or coring. There is no warranty or guarantee, expressed or implied, that structural problems or deficiencies of plants or property may not arise in the future.

Certification of Performance

I, Matthew Fried, certify:

- That I have personally inspected the tree(s) and/or the property referred to in this report and have stated my findings accurately. The extent of the evaluation and appraisal is stated in the attached report and the Terms of Assignment;
- That I have no current or prospective interest in the vegetation or the property that is the subject of this report and have no personal interest or bias with respect to the parties involved;
- That the analysis, opinions, and conclusions stated herein are my own;
- That my analysis, opinions, and conclusions were developed, and this report has been prepared according to commonly accepted arboricultural practices;
- That no one provided significant professional assistance to the consultant, except as indicated within the report;
- That my compensation is not contingent upon the reporting of a predetermined conclusion that favors the cause of the client or any other party.

I further certify that I am Registered Consulting Arborist® #651 with the American Society of Consulting Arborists, and acknowledge, accept, and adhere to the ASCA Standards of Professional Practice. I am an International Society of Arboriculture Certified Arborist and have been involved in the practice of arboriculture and the study of trees for over twelve years.

Matthew Fried

Matthew Fried
ASCA Registered Consulting Arborist® # 651
ISA Certified Arborist® MA-4851B



asca | RCA
Registered Consulting Arborist®

LOCATION: 842 Hermosa Way	PROJECT NUMBER: PLN2024-00055	APPLICANT: Caroline Leites	OWNER: Kathleen and Robert Anderson
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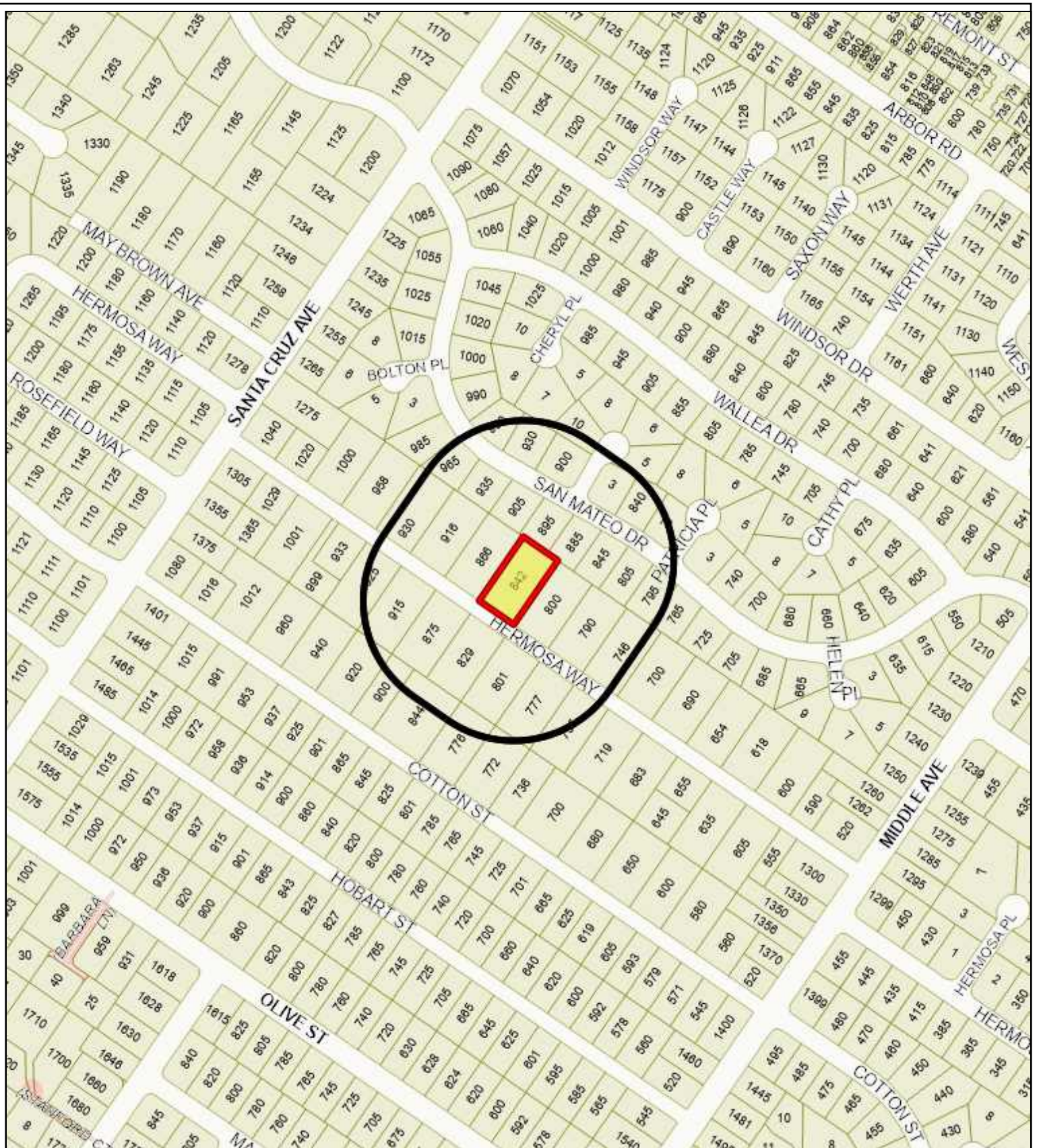
PROJECT CONDITIONS:

1. The use permit revision shall be subject to the following **standard** conditions:
 - a. The applicant shall be required to apply for a building permit within one year from the effective date of approval (by March 24, 2026) for the use permit revision to remain in effect.
 - b. Development of the project shall be substantially in conformance with the plans prepared by Caroline Leites Architecture consisting of 18 plan sheets, dated received February 25, 2025 and approved by the Planning Commission on March 24, 2025, except as modified by the conditions contained herein, subject to review and approval of the Planning Division.
 - c. Prior to building permit issuance, the applicant shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.
 - d. Prior to building permit issuance, the applicant shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
 - e. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.
 - f. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the arborist report prepared by Heartwood Consulting Arborists, dated received November 26, 2024.
 - g. Prior to building permit issuance, the applicant shall pay all fees incurred through staff time spent reviewing the application.
 - h. The applicant or permittee shall defend, indemnify, and hold harmless the City of Menlo Park or its agents, officers, and employees from any claim, action, or proceeding against the City of Menlo Park or its agents, officers, or employees to attack, set aside, void, or annul an approval of the Planning Commission, City Council, Community Development Director, or any other department, committee, or agency of the City concerning a development, variance, permit, or land use approval which action is brought within the time period provided for in any applicable statute; provided, however, that the applicant's or permittee's duty to so defend, indemnify, and hold harmless shall be subject to the City's promptly notifying the applicant or permittee of any said claim, action, or proceeding and the City's full cooperation in the applicant's or permittee's defense of said claims, actions, or proceedings.
 - i. Notice of Fees Protest – The applicant may protest any fees, dedications, reservations, or other exactions imposed by the City as part of the approval or as a condition of approval of this development. Per California Government Code 66020, this 90-day protest period has begun as of the date of the approval of this application.
2. The use permit shall be subject to the following **project-specific** condition:
 - a. Simultaneous with submittal of a complete building permit application, the applicant shall submit a demolition permit or a building permit to demolish or relocate the unpermitted

LOCATION: 842 Hermosa Way	PROJECT NUMBER: PLN2024-00055	APPLICANT: Caroline Leites	OWNER: Kathleen and Robert Anderson
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PROJECT CONDITIONS:

shed in the left side yard that does not meet the minimum setback or required separation distance for accessory buildings. Prior to final inspection, the shed shall be demolished or moved to a portion of the lot that meets all requirements for an accessory building.



City of Menlo Park
 Location Map
 842 Hermosa Way



Scale: 1:4,000

Drawn By: MAP

Checked By: TAS

Date: 3/24/2025

Sheet: 1

	PROPOSED PROJECT		EXISTING PROJECT		ZONING ORDINANCE	
Lot area	21,780.0	sf	21,780.0	sf	20,000.0	sf min
Lot width	108.4	ft	108.4	ft	110	ft min
Lot depth	201.0	ft	201.0	ft	130	ft min
Setbacks						
Front	29.6	ft	29.6	ft	20	ft min
Rear	104.2	ft	104.2	ft	20	ft min
Side (left)	15.0	ft	15.0	ft	Min. 10 ft. on any one side, with total side setback of 30 ft.	
Side (right)	15.0	ft	15.0	ft		
Building coverage	4,492.0	sf	4,603.0	sf	6,534	sf max
	20.6	%	21.1	%	30	% max
FAL (Floor Area Limit)	6,348.0	sf	6,180.0	sf	6,495	sf max
Square footage by floor	987.0	sf/basement	987.0	sf/basement		
	2,995.0	sf/1st	2,995.0	sf/1st		
	2,742.0	sf/2nd	2,442.0	sf/2nd		
	611.0	sf/garage	611.0	sf/garage		
	783.0	sf/porches	21.0	sf/attic over 5'		
	79.0	sf/acc. structures	783.0	sf/porches		
			111.0	sf/acc. buildings		
			79.0	sf/acc. structures		
Square footage of buildings	8,197.0	sf	8,029.0	sf		
Building height	29.0	ft	29.0	ft	30	ft max
Parking	2 covered spaces		2 covered spaces		1 covered and 1 uncovered space	
Notes: *Areas shown highlighted indicate a nonconforming or substandard situation						
Trees	Heritage trees	10	Non-Heritage trees	15	New trees	0
	Heritage trees removed/proposed for removal	0	Non-Heritage trees proposed for removal	0	Total Number of trees	25



STAFF REPORT

Planning Commission

Meeting Date:

3/24/2025

Staff Report Number:

25-013-PC

Public Hearing:

Consider and adopt a resolution to approve a use permit for hazardous materials associated with a research and development business located in the M-2 (General Industrial) zoning district at 3565 Haven Ave., and determine this action is categorically exempt under CEQA Guidelines Section 15301's Class 1 exemption for existing facilities.

Recommendation

Staff recommends that the Planning Commission adopt a resolution approving a use permit for hazardous materials associated with a research and development (R&D) business located in the M-2 (General Industrial) zoning district. All hazardous materials would be used and stored within the building. The draft resolution, including the recommended actions and conditions of approval, is included as Attachment A.

Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposed project.

Background

Site location

The project site is an existing one-story research and development (R&D) building located at 3565 Haven Ave. Adjacent and nearby parcels on Haven Avenue are occupied by a variety of warehouse, light manufacturing, R&D, and office uses, as well as multifamily residential uses, including the Anton Menlo Apartments at 3639 Haven Ave. and the Roen Menlo Park (formerly Elan) Apartments at 3645 Haven Ave. Properties on the south side of Haven Avenue are located in Redwood City, while properties on the north side of Haven Avenue are located within the City of Menlo Park. Beyond the immediate project vicinity, the Cargill Salt Ponds are located farther north of the project site, and the Bayshore Freeway (US-101) is located farther to the south. A location map is included as Attachment B.

Other facilities in the area received hazardous materials use permits in the past, including 3760 Haven Avenue and 3700 Haven Court, the latter of which was approved in 2016. The closest residential uses are aforementioned Anton Menlo and Roen Menlo Park, which are approximately 300 feet and 900 feet east of the subject property, respectively. Additional residential uses are located approximately 600 feet away across US Highway 101 on Rolison Road in Redwood City, and approximately 650 feet away on East Bayshore Road in unincorporated San Mateo County.

ConnectMenlo and hazardous materials

As part of the 2016 ConnectMenlo General Plan Update, the use of hazardous materials associated with R&D or light industrial uses was designated as administratively permitted in the LS (Life Sciences) and O (Office) zoning districts, where such uses had previously been designated as conditional uses in the M-2 district. While a majority of the M-2 area was rezoned to LS or O, a small portion of Haven Avenue, including the subject property, retained the M-2 zoning designation where the use of hazardous materials remains a conditional use and is subject to a use permit.

Analysis

Project description

In the project description letter (Attachment A, Exhibit B), the applicant states that the new business at the site, Elegen, intends to use a suite within the building at 3565 Haven Avenue for research efforts involving synthetic biology and molecular diagnostics. In total, the company anticipates a maximum of 70 employees working on site at full capacity. The offices would include an R&D laboratory and some production work labs. Chemicals related to business operations would be stored and used in the laboratory space.

Hazardous materials information

The proposed hazardous materials include irritants, corrosives, toxics, and carcinogens. The project plans (Attachment A, Exhibit A) provide the locations of chemical use and storage, as well as hazardous waste storage. In addition, the plans identify the location of safety equipment, such as spill kits, and exit pathways. All hazardous materials would be used and stored inside the building.

The Hazardous Materials Information Form (HMIF) (Attachment A, Exhibit C) contains a full breakdown of the proposed chemicals, as well as a discussion of lab staff training and protection measures in the event of an emergency. In the HMIF, the applicant has specified that the incident commander would be responsible for handling any emergency situations. However, it is stated that adequately trained lab staff would be frequently monitoring the materials in the building for safety purposes, with cabinet areas checked twice daily to ensure all containers are safely sealed and stored. The largest solid waste container would be a 96-gallon container, which would be double bagged. For liquid waste, a five-gallon carboy would be the largest container. Licensed contractors are intended to be used to haul off-site and dispose of all hazardous waste.

Agency review

The City of Menlo Park Building Division, the Menlo Park Fire Protection District (Menlo Fire), the West Bay Sanitary District and the San Mateo County Environmental Health Services Division were contacted regarding the proposed use of hazardous materials on the project site. Each entity found the proposal to be in compliance with applicable standards, with some identifying additional requirements. These include meeting annual and initial Menlo Fire permitting and inspections, and potentially requiring an environmental health permit and hazardous materials business plan. The agency referral forms are included as Attachment A, Exhibit D. Project-specific condition of approval 2a would require the applicant to obtain all necessary permits and comply with applicable requirements of the reviewing agencies prior to the use and storage of hazardous materials.

Correspondence

As of the writing of this report, staff received one letter of correspondence about the proposed project (Attachment C). The comment expresses concern regarding the potential risks associated with the proposed chemicals, specifically carcinogenic, air quality, and fire hazards given the proximity of the proposed project to neighboring residences. The M-2 zoning district is defined as supporting general

industrial uses, which include but are not limited to research and development activities involving hazardous materials. The proposed project has undergone the review of the four reviewing agencies for all safety and handling requirements to ensure safe usage of the proposed hazardous materials, and the HMIF documents specific, compliant protocols that would be used for the handling of the materials and prevention of any emergency situation, as well as procedures for the mitigation of any emergency conditions.

Conclusion

Staff believes that the proposed use and quantities of hazardous materials would be compatible and consistent with other uses in this area. The HMIF and chemical inventory include a discussion of the applicant's staff training plan and protection measures in the event of an emergency. Relevant agencies have indicated their approval of the proposed hazardous materials uses on the property with appropriate additional requirements. In addition, other properties in the vicinity with M-2 zoning have received use permits for the storage and use of hazardous materials. Staff recommends that the Planning Commission approve the proposed project.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The project is categorically exempt under Class 1 (Section 15301, "Existing facilities") of the current California Environmental Quality Act (CEQA) Guidelines.

Public Notice

Public notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a ¼-mile radius of the subject property.

Appeal Period

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

Attachments

- A. Draft Planning Commission Resolution approving the use permit
 - Exhibits to Attachment A
 - A. Project Plans
 - B. Project Description Letter
 - C. Hazardous Materials Information Form
 - D. Hazardous Materials Agency Referral Forms
 - E. Conditions of Approval
- B. Location Map
- C. Correspondence

Report prepared by:
Matt Pruter, Associate Planner

Report reviewed by:
Tom Smith, Principal Planner

PLANNING COMMISSION RESOLUTION NO. 2025- 0XX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MENLO PARK APPROVING A USE PERMIT FOR HAZARDOUS MATERIALS ASSOCIATED WITH A RESEARCH AND DEVELOPMENT BUSINESS LOCATED IN THE M-2 (GENERAL INDUSTRIAL) ZONING DISTRICT, AT 3565 HAVEN AVENUE.

WHEREAS, the City of Menlo Park (“City”) received an application requesting a use permit for hazardous materials associated with a research and development business located in the M-2 (General Industrial) zoning district (collectively, the “Project”) from Jeff Oparowski (“Applicant”) located at 3565 Haven Avenue (APN 055-130-290) (“Property”). The Project use permit is depicted in and subject to the development plans and project description letter, which are attached hereto as Exhibit A and Exhibit B, respectively, and incorporated herein by this reference; and

WHEREAS, the Property is located in the General Industrial (M-2) district. The M-2 district supports general industrial and office uses, including research and development uses; and

WHEREAS, the proposed Project would comply with all objective standards of the M-2 district; and

WHEREAS, the Applicant submitted a hazardous materials information form (HMIF) to the City, which provides a breakdown all proposed chemicals for the site, lab training and protection measures for said chemicals, and identifies an incident commander for handling emergency situations, as well as protocols for emergency situations, contained herein as Exhibit C; and

WHEREAS, the Project was reviewed by the Menlo Park Fire Protection District, the Menlo Park Building Division, the San Mateo County Environmental Health Services Division, and West Bay Sanitary District, and found to comply or conditionally comply with all applicable rules and regulations to ensure the safety of the on-site occupants and surrounding community and each agency’s approved or conditionally approved routing forms are contained herein as Exhibit D; and

WHEREAS, the Project requires discretionary actions by the City as summarized above, and therefore the California Environmental Quality Act (“CEQA,” Public Resources Code Section §21000 et seq.) and CEQA Guidelines (Cal. Code of Regulations, Title 14, §15000 et seq.) require analysis and a determination regarding the Project’s environmental impacts; and

WHEREAS, the City is the lead agency, as defined by CEQA and the CEQA Guidelines, and is therefore responsible for the preparation, consideration, certification, and approval of environmental documents for the Project; and

WHEREAS, the Project is categorically exempt from environmental review pursuant to Cal. Code of Regulations, Title 14, §15301 et seq. (Existing facilities); and

WHEREAS, all required public notices and public hearings were duly given and held according to law; and

WHEREAS, at a duly and properly noticed public hearing held on March 24, 2025, the Planning Commission fully reviewed, considered, and evaluated the whole of the record including all public and written comments, pertinent information, documents and plans, prior to taking action regarding the Project.

NOW, THEREFORE, THE MENLO PARK PLANNING COMMISSION HEREBY RESOLVES AS FOLLOWS:

Section 1. Recitals. The Planning Commission has considered the full record before it, which may include but is not limited to such things as the staff report, public testimony, and other materials and evidence submitted or provided, and the Planning Commission finds the foregoing recitals are true and correct, and they are hereby incorporated by reference into this Resolution.

Section 2. Conditional Use Permit Findings. The Planning Commission of the City of Menlo Park does hereby make the following Findings:

The approval of the use permit for hazardous materials associated with a research and development business, is granted based on the following findings, which are made pursuant to Menlo Park Municipal Code Section 16.82.030:

1. That the establishment, maintenance, or operation of the use applied for will, under the circumstance of the particular case, not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing in the neighborhood of such proposed use, or injurious or detrimental to property and improvements in the neighborhood or the general welfare of the city because:
 - a. Consideration and due regard were given to the nature and condition of all adjacent uses and structures, and to general plans for the area in question and surrounding areas, and impact of the application hereon; in that, the proposed use permit is consistent with the Zoning Ordinance, as well as the General Plan because hazardous materials used in the M-2 zoning district for research and development purposes are permitted with the granting of a use permit. All hazardous materials would be used and stored inside of the building.

- b. The proposed Project is designed to meet all the applicable codes and ordinances of the City of Menlo Park Municipal Code and the Planning Commission concludes that the Project would not be detrimental to the health, safety, and welfare of the surrounding community as the proposed hazardous materials usage would be located within the building on site, and the handling and treatment of these materials would be managed by trained lab staff and meeting State and local requirements for safe handling of these chemicals.

Section 3. Conditional Use Permit. The Planning Commission approves Use Permit No. PLN2025-00003, which use permit is depicted in and subject to the development plans and project description letter, which are attached hereto and incorporated herein by this reference as Exhibit A and Exhibit B, respectively. The Use Permit is conditioned in conformance with the conditions attached hereto and incorporated herein by this reference as Exhibit D.

Section 4. ENVIRONMENTAL REVIEW. The Planning Commission makes the following findings, based on its independent judgment after considering the Project, and having reviewed and taken into consideration all written and oral information submitted in this matter:

- 1. The Project is categorically exempt from environmental review pursuant to Cal. Code of Regulations, Title 14, §15301 et seq. (Existing facilities).

Section 5. SEVERABILITY

If any term, provision, or portion of these findings or the application of these findings to a particular situation is held by a court to be invalid, void or unenforceable, the remaining provisions of these findings, or their application to other actions related to the Project, shall continue in full force and effect unless amended or modified by the City.

I, Kyle Perata, Assistant Community Development Director of the City of Menlo Park, do hereby certify that the above and foregoing Planning Commission Resolution was duly and regularly passed and adopted at a meeting by said Planning Commission on March 24, 2025, by the following votes:

AYES:

NOES:

ABSENT:

ABSTAIN:

IN WITNESS THEREOF, I have hereunto set my hand and affixed the Official Seal of said City on this _____ day of March, 2025.

PC Liaison Signature

Kyle Perata
Assistant Community Development Director
City of Menlo Park

Exhibits

- A. Project plans
- B. Project description letter
- C. Hazardous Materials Information Form
- D. Hazardous Materials Agency Referral Forms
- E. Conditions of approval



AREA PLAN



SCALE: 1" = 100'-0"

Arizona
 2960 E. Northern Avenue
 Building C
 Phoenix, AZ 85028
 t 602.953.2355

 California
 1731 Technology Drive
 Suite 750
 San Jose, CA 95110
 t 408.496.0676

ARC TEC www.arctecinc.com

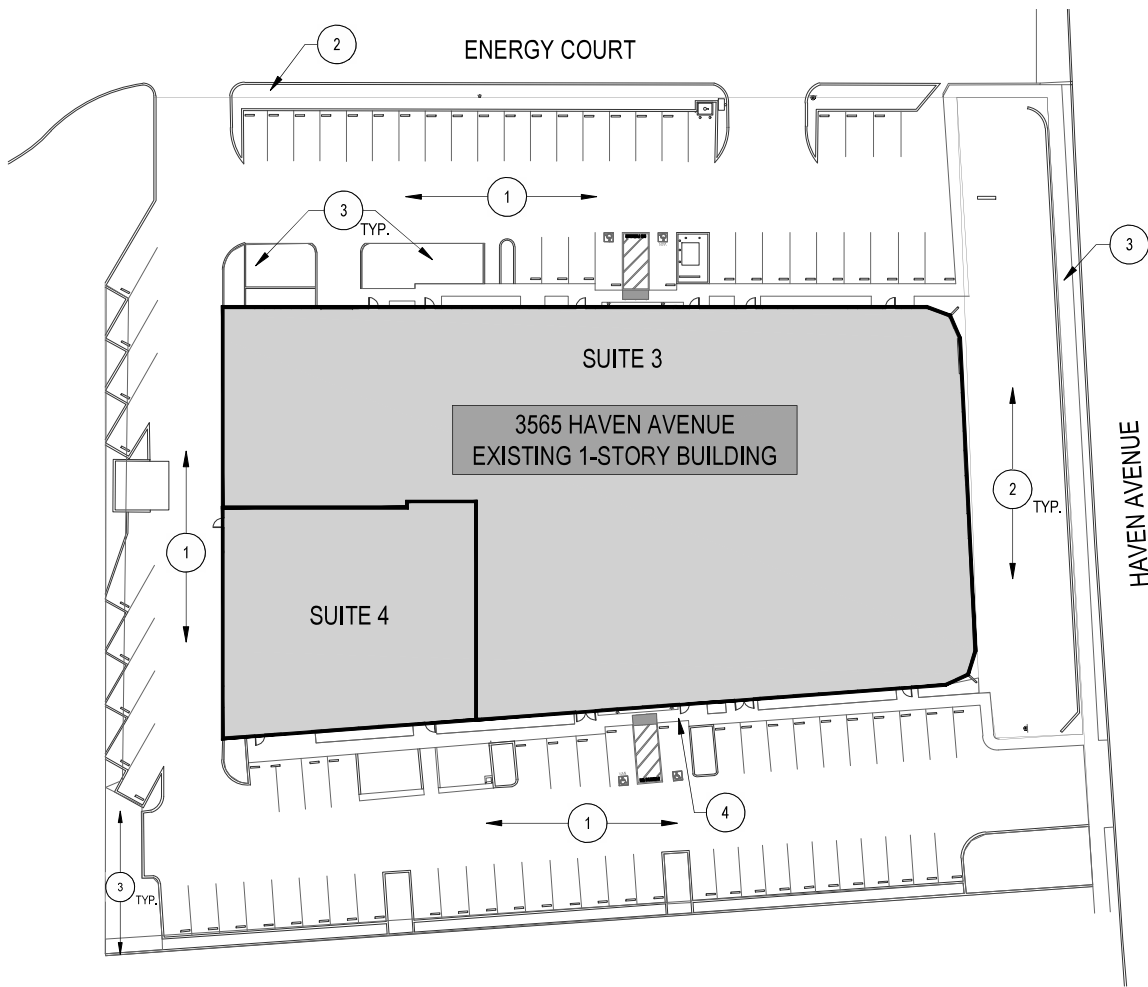
A Use Permit for:
ELEGEN
 3565 Haven Ave
 Menlo Park, CA

PROJECT NO. 246252
 DATE 02.21.2025

Sheet Ref. No. / Sheet Number

AREA PLAN

A1.00



KEYNOTES

- 1 EXISTING PAVED PARKING AND DRIVES.
- 2 EXISTING LANDSCAPE AREA.
- 3 EXISTING PUBLIC SIDEWALK.
- 4 EXISTING WALKWAY.

SITE PLAN

SCALE: 1" = 40'-0"



Arizona
 2960 E. Northern Avenue
 Building C
 Phoenix, AZ 85028
 t 602.953.2355

California
 1731 Technology Drive
 Suite 750
 San Jose, CA 95110
 t 408.496.0676

ARC TEC www.arctecinc.com

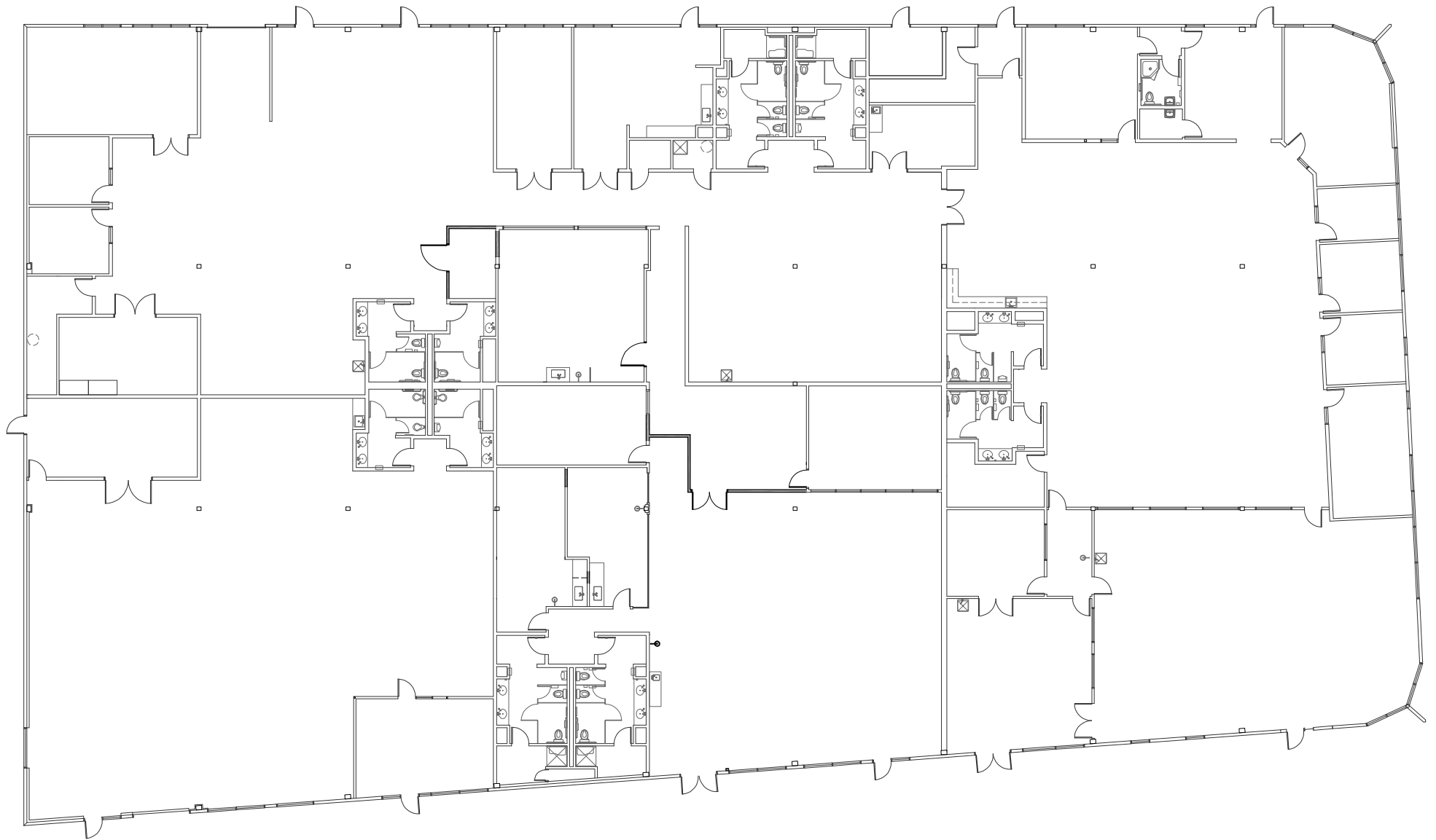
A Use Permit for:
ELEGEN
 3565 Haven Ave
 Menlo Park, CA

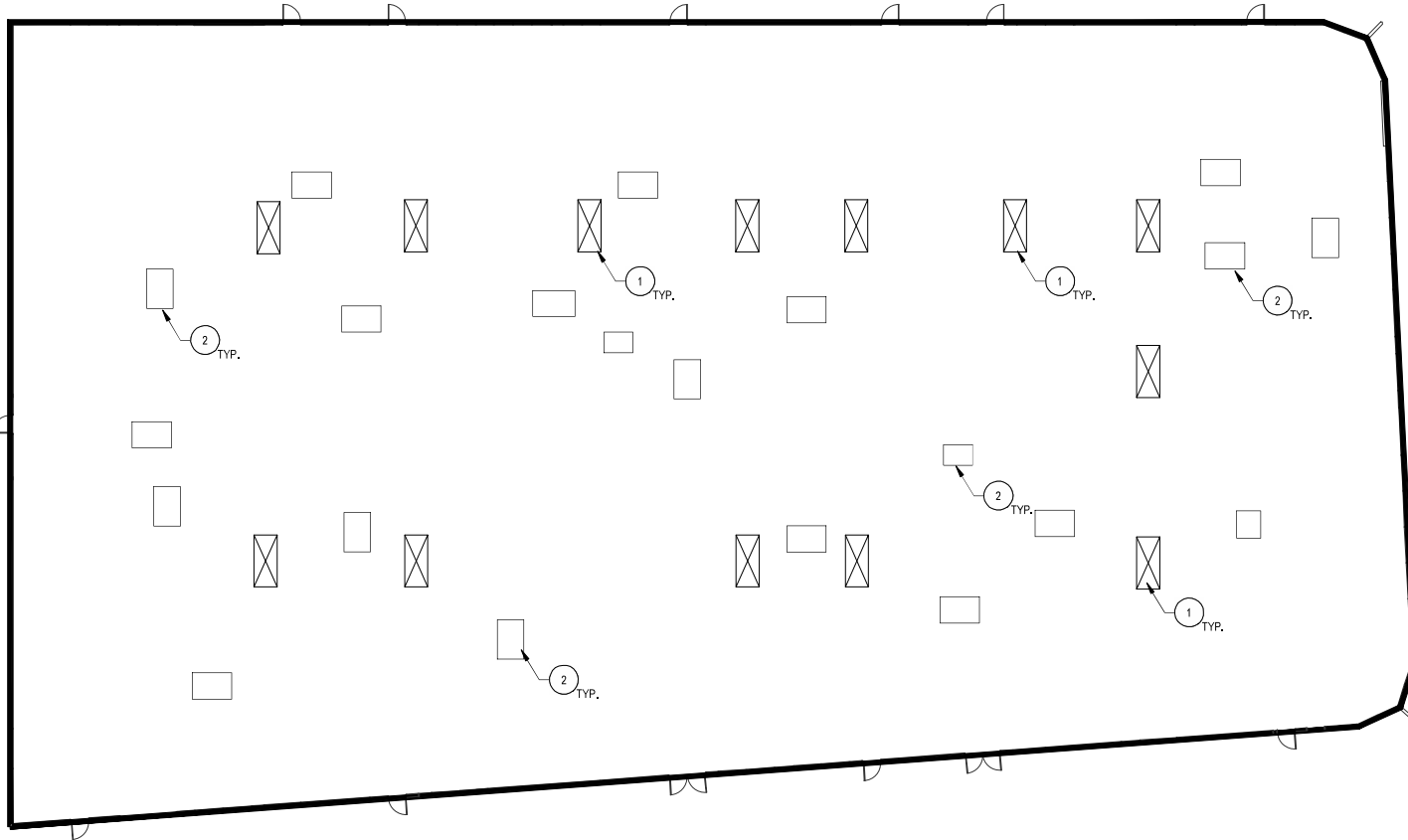
PROJECT NO. 246252
 DATE 02.21.2025

Sheet Ref. No. / Sheet Number

SITE PLAN

A1.01





KEYNOTES

- 1 EXISTING SKYLIGHTS.
- 2 EXISTING HVAC EQUIPMENT

ROOF PLAN

SCALE: 3/64" = 1'-0"



Arizona
 2960 E. Northern Avenue
 Building C
 Phoenix, AZ 85028
 t 602.953.2355

California
 1731 Technology Drive
 Suite 750
 San Jose, CA 95110
 t 408.496.0676

ARCTEC www.arctecinc.com

A Use Permit for:
ELEGEN
 3565 Haven Ave
 Menlo Park, CA

PROJECT NO. 246252
 DATE 01.13.2025

Sheet Ref. No. / Sheet Number
ROOF PLAN

A2.31

Building Occupancy Classification Inventory Form

For Use by Local Member Agencies or where approved by your Local Jurisdiction (LUN 030)

Plan Check No. _____ Project/Client/Agency Classification: _____ Signature of Preparer: Judith Cassell Lewis Date: 06/27/2024
 Control Area No. 180936/ACUITY If this area protected by an automatic suppression system? Yes Hourly Hours Does This Building Operate? 1

Item No.	Classified Area/Concentration (Ref Table Name)	3. OIC Class (Physical & Material)		4. Quantity or Storage		5. Quantity in Use			6. Stored in Approved Cabinet
		Physical	Material	Quantity in Storage	Units	gallons in Use	in-Use-Closed System	gallons in Use	
1	Unlabeled								
2	Unlabeled								
3	Unlabeled								
4	Unlabeled								
5	Unlabeled								
6	Unlabeled								
7	Unlabeled								
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ENTIRE BUILDING HMIS SUMMARY (F-1 / S-1)

TABLE 1: ENTIRE BUILDING HMIS SUMMARY (F-1 / S-1) INCLUDING 2024 HAZARDOUS MATERIALS PLANS & INVENTORY MATRIXX DATA

MATERIALS	STORAGE		IN-USE		IN-USE-CLOSED SYSTEM		IN-USE-CONTROLLED	
	Actual	Controlled	Actual	Controlled	Actual	Controlled	Actual	Controlled
Flammable Liquids	10,000	0.00	1,000	0.00	0.00	0.00	0.00	0.00
Flammable Solids	0	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Flammable Gases	0	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Flammable Aerosols	0	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Flammable Compressed Gases	0	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Flammable Compressed Liquids	0	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Flammable Compressed Solids	0	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Flammable Compressed Gels	0	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Flammable Compressed Pastes	0	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Flammable Compressed Powders	0	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Flammable Compressed Foams	0	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Flammable Compressed Gels	0	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Flammable Compressed Pastes	0	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Flammable Compressed Powders	0	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Flammable Compressed Foams	0	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Flammable Compressed Gels	0	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Flammable Compressed Pastes	0	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Flammable Compressed Powders	0	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Flammable Compressed Foams	0	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Flammable Compressed Gels	0	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Flammable Compressed Pastes	0	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Flammable Compressed Powders	0	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Flammable Compressed Foams	0	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Flammable Compressed Gels	0	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Flammable Compressed Pastes	0	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Flammable Compressed Powders	0	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Flammable Compressed Foams	0	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Flammable Compressed Gels	0	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Flammable Compressed Pastes	0	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Flammable Compressed Powders	0	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Flammable Compressed Foams	0	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Flammable Compressed Gels	0	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Flammable Compressed Pastes	0	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Flammable Compressed Powders	0	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Flammable Compressed Foams	0	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Flammable Compressed Gels	0	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Flammable Compressed Pastes	0	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Flammable Compressed Powders	0	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Flammable Compressed Foams	0	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Flammable Compressed Gels	0	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Flammable Compressed Pastes	0	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Flammable Compressed Powders	0	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Flammable Compressed Foams	0	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Flammable Compressed Gels	0	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Flammable Compressed Pastes	0	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Flammable Compressed Powders	0	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Flammable Compressed Foams	0	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Flammable Compressed Gels	0	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Flammable Compressed Pastes	0	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Flammable Compressed Powders	0	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Flammable Compressed Foams	0	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Flammable Compressed Gels	0	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Flammable Compressed Pastes	0	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Flammable Compressed Powders	0	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Flammable Compressed Foams	0	0						

Hello City of Menlo Park,

Elegen is a synthetic biology company which has raised venture financing from top life science investors, including Andreessen Horowitz, 8VC, and KdT. The company has raised a total of \$30,000,000. The founder, Matt Hill, has a PhD from Stanford and a proven track record of advancing innovative technologies from invention to commercial success. During his eight years in his previous role as VP of R&D at Natera (a leading molecular diagnostics company), he co-invented and launched five precision molecular diagnostic products, including a best-in-class noninvasive prenatal test used by millions of patients. These products earn more than \$400 million per year in revenue and enabled Natera to do a successful IPO. Elegen is also advised and staffed by leading biotechnology scientists and entrepreneurs, including its CSO, Dr. Marc Unger, inventor of the Nanoflex™ valve and former CSO of Fluidigm (now Standard BioTools). Elegen launched our initial product in March of 2023 and has captured seven figure revenue in 2023

Elegen is focused on establishing capabilities in the new facility (3565 Haven Ave) that will encompass an office area for 60-70 on site staff, a R/D laboratory and production work labs. The chemical inventory list along with the estimated usage at max capacity is provided on an external attached document.

Here is a link for more information about Elegen <https://elegenbio.com/>.

EVACUATION MAP



Elegen Bio

Shipping & Receiving area

Exit Only

Exit Only

Exit Only

Energy Ct

Energy Ct

Energy Ct

Haven Ave

Google

A11



**COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION**

701 Laurel Street
Menlo Park, CA 94025
phone: (650) 330-6702
fax: (650) 327-1653
planning@menlopark.org
<http://www.menlopark.org>

HAZARDOUS MATERIALS INFORMATION FORM

In order to help inform City Staff and the external reviewing agencies, the Planning Division requires the submittal of this form. If the use permit application is approved, applicants are required to submit the necessary forms and obtain the necessary permits from the Menlo Park Fire Protection District, San Mateo County Environmental Health Services Division, West Bay Sanitary District, and other applicable agencies. Please complete this form and attach additional sheets as necessary.

1. List the types of hazardous materials by California Fire Code (CFC) classifications. This list must be consistent with the proposed Hazardous Materials Inventory Statement (HMIS), sometimes referred to as a Chemical Inventory. (The HMIS is a separate submittal.)
2. Describe how hazardous materials are handled, stored and monitored to prevent or minimize a spill or release from occurring (e.g., secondary containment, segregation of incompatibles, daily visual monitoring, and flammable storage cabinets).
3. Identify the largest container of chemical waste proposed to be stored at the site. Please identify whether the waste is liquid or solid form, and general safeguards that are used to reduce leaks and spills.

4. Please explain how hazardous waste will be removed from the site (i.e. licensed haulers, or specially trained personnel).

5. Describe employee training as it pertains to the following:
 - a. Safe handling and management of hazardous materials or wastes;
 - b. Notification and evacuation of facility personnel and visitors;
 - c. Notification of local emergency responders and other agencies;
 - d. Use and maintenance of emergency response equipment;
 - e. Implementation of emergency response procedures; and
 - f. Underground Storage Tank (UST) monitoring and release response procedures.

6. Describe documentation and record keeping procedures for training activities.

7. Describe procedures for notifying onsite emergency response personnel and outside agencies (e.g. Fire, Health, Sanitary Agency-Treatment Plant, Police, State Office of Emergency Services "OES") needed during hazardous materials emergencies.

8. Describe procedures for immediate inspection, isolation, and shutdown of equipment or systems that may be involved in a hazardous materials release or threatened release.

9. Identify the nearest hospital or urgent care center expected to be used during an emergency.

Building Occupancy Classification Inventory Form

For Use by Unidocs Member Agencies or where approved by your Local Jurisdiction (UN-035)

Plan Check No. _____

Proposed Occupancy Classification: F-1

Signature of Preparer: LeAnne Cossairt-Leung

Date: 08-27-2024

Control Area No. ENTIRE FACILITY

Is this area protected by an automatic sprinkler system? Yes

How Many Floors Does This Building Have? 1

Elegen 3565 Haven Ave, Menlo Park, CA 94025

1. Room No.	2. Chemical Name & Concentration (Not Trade Name)	3. CFC Class (Physical & Health)		4. Quantity in Storage		5. Quantity in use				6. Stored in Approved Cabinet
		Physical	Health	Quantity in Storage	gallons lbs ft3	In Use - Open System	gallons lbs ft3	In Use - Closed System	gallons lbs ft3	Stored in approved cabinet
Labs	Cetylpyridinium chloride		COR, TOX, IRR	0.026	lbs	0.0022	lbs	-	-	Yes
Labs	def-dA-CE Phosphoramidite	NO DATA	NO DATA	0.132	lbs	0.011	lbs	-	-	Yes
Labs	L-Ascorbic acid		IRR	0.013	lbs	0.0011	lbs	-	-	Yes
Labs	N-(3-Dimethylaminopropyl)-N'-ethylcarbodiimide		COR, TOX, IRR	0.053	lbs	0.0044	lbs	-	-	Yes
Labs	N-(3-Dimethylaminopropyl)-N'-ethylcarbodiimide hydrochloride		COR, TOX, IRR	0.026	lbs	0.0022	lbs	-	-	Yes
Labs	N-(Hydroxymethyl)phthalimide	NO DATA	NO DATA	0.003	lbs	0.0002	lbs	-	-	Yes
Labs	N,N'-Diisopropylcarbodiimide (DIC)	FL 1C	TOX, IRR	0.013	lbs	0.0011	lbs	-	-	Yes
Labs	Sodium Hydroxide, Pellets, 97%		COR	0.026	lbs	0.0022	lbs	-	-	Yes
Labs	Succinic Anhydride		COR, TOX	0.132	lbs	0.011	lbs	-	-	Yes
Labs	Trichloroacetic acid		COR	0.053	lbs	0.0044	lbs	-	-	Yes
Labs	Universal Phosphoramidite Reagent		TOX, IRR	0.053	lbs	0.0044	lbs	-	-	Yes
Labs	1-Butyl-3-methylimidazolium chloride		TOX, IRR	0.0003	gallons	0.00003	gallons	-	-	Yes
Labs	1-Hexyl-3-methylimidazolium chloride		IRR	0.0003	gallons	0.00003	gallons	-	-	Yes
Labs	1-Hydroxybenzotriazole hydrate		IRR	0.0003	gallons	0.00003	gallons	-	-	Yes
Labs	1-Methyl-2-pyrrolidone, DriSolv	CL 3A	IRR	0.0159	gallons	0.00132	gallons	-	-	Yes
Labs	1-Methyl-3-Octylimidazolium Chloride		IRR	0.0003	gallons	0.00003	gallons	-	-	Yes
Labs	1,2-Dichloroethane	FL 1B	TOX, IRR	0.0063	gallons	0.00053	gallons	-	-	Yes
Labs	1,3,5-Trioxane, 99%	FS	TOX, IRR	0.0063	gallons	0.00053	gallons	-	-	Yes
Labs	12-Hydroxydodecanoic acid, 97%	NO DATA	NO DATA	0.0032	gallons	0.00026	gallons	-	-	Yes
Labs	2.0M Hexylammonium Acetate, HPLC grade, pH=7	NO DATA	NO DATA	0.0032	gallons	0.00026	gallons	-	-	Yes
Labs	2-Mercaptoethanol	CL 3A	TOX, IRR	6.3401	gallons	0.52834	gallons	-	-	Yes
Labs	2-Propanol	FL 1B	IRR	0.0003	gallons	0.00003	gallons	-	-	Yes
Labs	1-Propylamine, 99+%	FL 1B	COR, TOX, IRR	3.1701	gallons	0.26417	gallons	-	-	Yes
Labs	3-(Triethoxysilyl)propyl isocyanate		COR, TOX	0.0003	gallons	0.00003	gallons	-	-	Yes
Labs	3-Acetoxypropyltrimethoxysilane	CL 3A	IRR	0.0003	gallons	0.00003	gallons	-	-	Yes
Labs	3,4-Dihydroxybenzoic acid ≥99%, FG		IRR	0.0003	gallons	0.00003	gallons	-	-	Yes
Labs	4-(Dimethylamino)pyridine		TOX, IRR	0.0003	gallons	0.00003	gallons	-	-	Yes
Labs	6-Amino-1-hexanol		COR	0.0159	gallons	0.00132	gallons	-	-	Yes
Labs	6-Amino-1-hexanol, 97% (Source WXBD3790V)		COR	0.0159	gallons	0.00132	gallons	-	-	Yes
Labs	6.5% Dimethylaminopyridine in Tetrahydrofuran, 200mL	FL 1B	TOX, IRR	0.0003	gallons	0.00003	gallons	-	-	Yes
Labs	8-Hydroxyquinoline, 99%, A.C.S. Reagent		TOX, IRR	0.0003	gallons	0.00003	gallons	-	-	Yes
Labs	Ac-dC-CE Phosphoramidite	NO DATA	NO DATA	0.0317	gallons	0.00264	gallons	-	-	Yes
Labs	Acetone	FL 1B	TOX, IRR	3.1701	gallons	0.26417	gallons	-	-	Yes
Labs	Acetone	FL 1B	TOX, IRR	12.6803	gallons	1.05669	gallons	-	-	Yes
Labs	Acetonitrile (DNA Synthesis)	FL 1B	TOX, IRR	3.1701	gallons	0.26417	gallons	-	-	Yes
Labs	Acetonitrile (DNA Synthesis)	FL 1B	TOX, IRR	3.1701	gallons	0.26417	gallons	-	-	Yes
Labs	Acetonitrile (HPLC)	FL 1B	TOX, IRR	3.1701	gallons	0.26417	gallons	-	-	Yes
Labs	Acetonitrile Anhydrous (DNA Synthesis)	FL 1B	TOX, IRR	3.1701	gallons	0.26417	gallons	-	-	Yes
Labs	Acetyl chloride	FL 1B	IRR	0.0159	gallons	0.00132	gallons	-	-	Yes
Labs	Activator (0.25M 5-Ethylthio-1H-Tetrazole in Anhydrous Acetonitrile)	FL 1B	TOX, IRR	3.1701	gallons	0.26417	gallons	-	-	Yes
Labs	Activator (0.5M 5-Ethylthio-1H-Tetrazole in Anhydrous Acetonitrile)	FL 1B	TOX, IRR	0.317	gallons	0.02642	gallons	-	-	Yes
Labs	Ammonia, 7M in methanol	FL 1A	TOX, COR, IRR	0.0032	gallons	0.00026	gallons	-	-	Yes
Labs	Ammonium Hydroxide Solution (100mL)		COR	1.585	gallons	0.13209	gallons	-	-	Yes
Labs	Ammonium Hydroxide Solution (1L)		COR	0.317	gallons	0.02642	gallons	-	-	Yes
Labs	Benzoyl peroxide (with 25% water) for synthesis	ORG PER 5	IRR	0.0032	gallons	0.00026	gallons	-	-	Yes

1. Room No.	2. Chemical Name & Concentration (Not Trade Name)	3. CFC Class (Physical & Health)		4. Quantity in Storage		5. Quantity in use				6. Stored in Approved Cabinet
		Physical	Health	Quantity in Storage	gallons lbs ft3	In Use - Open System	gallons lbs ft3	In Use - Closed System	gallons lbs ft3	Stored in approved cabinet
Labs	Betaine, 5M Solution, Molecular Biology Grade, Ultrapure	NO DATA	NO DATA	0.0032	gallons	0.00026	gallons	-	-	Yes
Labs	Binding Buffer for GeneJET		TOX, COR	0.0003	gallons	0.00003	gallons	-	-	Yes
Labs	Boron trifluoride diethyl etherate	CL 2	TOX, COR	0.0317	gallons	0.00264	gallons	-	-	Yes
Labs	Bromine		TOX	0.0003	gallons	0.00003	gallons	-	-	Yes
Labs	Cap Mix A (Tetrahydrofuran/ Pyridine/ Acetic Anhydride)	FL 1B	TOX, IRR, CARC	0.317	gallons	0.02642	gallons	-	-	Yes
Labs	Cap Mix B (16% 1-Methylimidazole in Tetrahydrofuran)	FL 1B	TOX, IRR, CARC	0.317	gallons	0.02642	gallons	-	-	Yes
Labs	Capping Reagent B (16% 1-Methylimidazole in Tetrahydrofuran)	FL 1B	TOX, IRR, CARC	0.317	gallons	0.02642	gallons	-	-	Yes
Labs	Chloroacetyl chloride		TOX, COR	0.0003	gallons	0.00003	gallons	-	-	Yes
Labs	Chlorotrimethylsilane, Redistilled, 99%	FL 1B	TOX, COR	0.0003	gallons	0.00003	gallons	-	-	Yes
Labs	Cinnabar High Yield E. coli Growth Media	NO DATA	NO DATA	0.0003	gallons	0.00003	gallons	-	-	Yes
Labs	Clorox® Germicidal Bleach Concentrated		IRR	1.585	gallons	0.13209	gallons	-	-	Yes
Labs	CM-Dextran sodium salt	NO DATA	NO DATA	0.0003	gallons	0.00003	gallons	-	-	Yes
Labs	Deblock Solution (10% DCA in Toluene, v/v)	FL 1B	TOX, COR, CARC	0.0032	gallons	0.00026	gallons	-	-	Yes
Labs	Deblocking Mix (3% Trichloroacetic acid in Dichloromethane)		TOX, IRR, CARC	0.317	gallons	0.02642	gallons	-	-	Yes
Labs	Deblocking Reagent (3% Dichloroacetic Acid in Toluene)	FL 1B	TOX, IRR, COR, CARC	1.585	gallons	0.13209	gallons	-	-	Yes
Labs	Detritylation (3% Dichloroacetic Acid in Toluene)		TOX, IRR, COR, CARC	1.585	gallons	0.13209	gallons	-	-	Yes
Labs	Dichloroacetic acid		TOX, COR, CARC	0.0032	gallons	0.00026	gallons	-	-	Yes
Labs	Dichloromethane		IRR, CARC	1.585	gallons	0.13209	gallons	-	-	Yes
Labs	Diethylamine	FL 1B	TOX, COR	0.0032	gallons	0.00026	gallons	-	-	Yes
Labs	Diluent (Acetonitrile, anhydrous)	FL 1B	TOX, IRR	1.585	gallons	0.13209	gallons	-	-	Yes
Labs	Dimethyl sulfoxide, Bioreagent	CL 3A		0.0317	gallons	0.00264	gallons	-	-	Yes
Labs	Ethyl Acetate	FL 1B	IRR	0.317	gallons	0.02642	gallons	-	-	Yes
Labs	Ethyl Alcohol, Pure	FL 1B	IRR	1.585	gallons	0.13209	gallons	-	-	Yes
Labs	Ethyl Alcohol, Pure, 200 Proof, Anhydrous	FL 1B	IRR	1.585	gallons	0.13209	gallons	-	-	Yes
Labs	Ethylene carbonate		TOX, IRR	0.0003	gallons	0.00003	gallons	-	-	Yes
Labs	Ethylenediamine	CL 2	TOX, COR	0.0032	gallons	0.00026	gallons	-	-	Yes
Labs	Heptadecafluorononanoic Acid		TOX, IRR, CARC	0.0003	gallons	0.00003	gallons	-	-	Yes
Labs	Hexanes for analysis EMPARTA ACS	FL 1B	TOX, IRR	0.0317	gallons	0.00264	gallons	-	-	Yes
Labs	Hydrazine, Anhydrous, 99%	CL 2	TOX, COR	0.0003	gallons	0.00003	gallons	-	-	Yes
Labs	Hydrogen peroxide solution		TOX, COR	0.0032	gallons	0.00026	gallons	-	-	Yes
Labs	Hydrogen peroxide solution		TOX, COR	0.0159	gallons	0.00132	gallons	-	-	Yes
Labs	Iodomethane	FL 1C	TOX, IRR, CARC	0.0003	gallons	0.00003	gallons	-	-	Yes
Labs	iso-Propyl Alcohol, HPLC Grade [2-Propanol]	FL 1B	TOX, IRR	0.634	gallons	0.05283	gallons	-	-	Yes
Labs	Isopropanol-Molecular Biology Grade	FL 1B	TOX, IRR	0.634	gallons	0.05283	gallons	-	-	Yes
Labs	Methanesulfonic acid	CL 3B	TOX, CORR	0.0003	gallons	0.00003	gallons	-	-	Yes
Labs	Methanol	FL 1B	TOX, IRR	0.634	gallons	0.05283	gallons	-	-	Yes
Labs	Methanol ACS reagent, ≥99.8%	FL 1B	TOX, IRR	0.634	gallons	0.05283	gallons	-	-	Yes
Labs	N,N-Diisopropylethylamine	FL 1B	TOX	0.0159	gallons	0.00132	gallons	-	-	Yes
Labs	N,N-Dimethylformamide	CL 2	TOX, IRR	0.634	gallons	0.05283	gallons	-	-	Yes
Labs	N,N-Dimethylformamide for HPLC	CL 2	TOX, IRR	0.317	gallons	0.02642	gallons	-	-	Yes
Labs	N,N-Dimethylformamide, anhydrous, amine free, 99.9%	CL 2	TOX, IRR, CARC	0.317	gallons	0.02642	gallons	-	-	Yes
Labs	Nonadecafluorodecanoic Acid		TOX	0.0003	gallons	0.00003	gallons	-	-	Yes
Labs	Nonafluoro-1-butanefluoronic Acid		COR	0.0003	gallons	0.00003	gallons	-	-	Yes
Labs	Oxidizing Solution (0.02M Iodine in Tetrahydrofuran/ Pyridine/ Water)	FL 1B	TOX, IRR, CARC	1.4265	gallons	0.11888	gallons	-	-	Yes
Labs	p-Dioxane Anhydrous 1,4-Dioxane, DriSolv	FL 1B	TOX, IRR, CARC	0.159	gallons	0.01321	gallons	-	-	Yes
Labs	Perfluorodecanoic acid		TOX, CARC	0.0063	gallons	0.00053	gallons	-	-	Yes
Labs	(R)-(+)-6-Hydroxy-2,5,7,8-tetramethylchroman-2-carboxylic acid		IRR	0.0016	gallons	0.00013	gallons	-	-	Yes
Labs	Propylamine	FL 1B	TOX, COR	0.0317	gallons	0.00264	gallons	-	-	Yes
Labs	Propylene carbonate, 99.5%, anhydrous, Acroseal	CL 3B	IRR	0.0317	gallons	0.00264	gallons	-	-	Yes
Labs	Pyridine, Anhydrous, 99.8%	FL 1B	TOX, IRR	0.0317	gallons	0.00264	gallons	-	-	Yes

1. Room No.	2. Chemical Name & Concentration (Not Trade Name)	3. CFC Class (Physical & Health)		4. Quantity in Storage		5. Quantity in use				6. Stored in Approved Cabinet
		Physical	Health	Quantity in Storage	gallons lbs ft3	In Use - Open System	gallons lbs ft3	In Use - Closed System	gallons lbs ft3	Stored in approved cabinet
Labs	tert-Butylamine, 98%	FL 1B	TOX, IRR	0.0158	gallons	0.00132	gallons	-	-	Yes
Labs	Tetrabutylammonium heptadecafluorooctanesulfonate		TOX, CARC	0.0016	gallons	0.00013	gallons	-	-	Yes
Labs	Tetrahydrofuran	FL 1B	TOX, IRR	0.0317	gallons	0.00264	gallons	-	-	Yes
Labs	Tetrahydrofuran	FL 1B	TOX, IRR	0.0317	gallons	0.00264	gallons	-	-	Yes
Labs	Toluene	FL 1B	TOX, IRR	1.585	gallons	0.13209	gallons	-	-	Yes
Labs	Toluene	FL 1B	TOX, IRR	0.317	gallons	0.02642	gallons	-	-	Yes
Labs	Toluene, HPLC Plus	FL 1B	TOX, IRR	0.159	gallons	0.01321	gallons	-	-	Yes
Labs	Triethylammonium bicarbonate buffer	NO DATA	NO DATA	0.317	gallons	0.02642	gallons	-	-	Yes
Labs	Tris-HCl, 1M Solution, pH 8.0, Molecular Biology Grade, Ultrapure	NO DATA	NO DATA	0.317	gallons	0.02642	gallons	-	-	Yes

Community Development



January 22, 2025

AGENCY REFERRAL FORM**RETURN by January 31, 2025 to Matt Pruter at mapruter@menlopark.gov**

Ron La France, Building Official
 City of Menlo Park Building Division
rjlafrance@menlopark.gov

RE: 3565 Haven Avenue (PLN2025-00003) – Use Permit

Business Name	Elegen
Description	Use Permit/SFF 3565 Haven, LLC/3565 Haven Avenue: Request for a use permit for hazardous materials for the use and storage of hazardous materials associated with a research and development business located in the M-2 (General Industrial) zoning district.
Applicant Contact Information	Jeff Oparowski, (408) 496-0676 joparowski@arctecinc.com

- The hazardous materials listed are not of sufficient quantity to require approval by this Division.
- The Building Division has reviewed the applicant's plans and listed hazardous materials/chemicals and has found that the proposal meets all applicable California Building Code requirements.
- The Building Division has reviewed the applicant's plans and use of listed hazardous materials/chemicals outlined, and suggests conditions and mitigation measures (below) to be made a part of the City's permit approval.

Community Development



The applicant's proposal has been reviewed by the City of Menlo Park's Building Division by:

Printed Name/ Date	2/6/25
Signature	<i>Ron La France</i>
Comments	

RE: 3565 Haven Avenue (PLN2025-00003) – Use Permit (cont.)	
Additional Comments	



January 22, 2025

AGENCY REFERRAL FORM

RETURN by January 31, 2025 to Matt Pruter at mapruter@menlopark.gov

Jon Johnston, Fire Marshal
Menlo Park Fire Protection District
jonj@menlofire.org

RE: 3565 Haven Avenue (PLN2025-00003) – Use Permit

Business Name	Elegen
Description	Use Permit/SFF 3565 Haven, LLC/3565 Haven Avenue: Request for a use permit for hazardous materials for the use and storage of hazardous materials associated with a research and development business located in the M-2 (General Industrial) zoning district.
Applicant Contact Information	Jeff Oparowski, (408) 496-0676 joparowski@arctecinc.com

- The hazardous materials listed are not of sufficient quantity to require approval by this agency.
- The Fire District has reviewed the applicant's plans and listed hazardous materials/chemicals and has found that the proposal meets all applicable fire codes.
- The Fire District has reviewed the applicant's plans and use of listed hazardous materials/chemicals outlined, and suggests conditions and mitigation measures (below) to be made a part of the City's permit approval.

Community Development



The applicant's proposal has been reviewed by the Menlo Park Fire Protection District by:

Printed Name/ Date	Jon Jon Johnston 2-25-25
Signature	
Comments	

RE: 3565 Haven Avenue (PLN2025-00003) – Use Permit (cont.)	
Additional Comments	



January 22, 2025

AGENCY REFERRAL FORM

RETURN by January 31, 2025 to Matt Pruter at mapruter@menlopark.gov

Daniel Rompf, Hazardous Materials Specialist
San Mateo County Environmental Health Services Division
drompf@smcgov.org

RE: 3565 Haven Avenue (PLN2025-00003) – Use Permit

Business Name	Elegen
Description	Use Permit/SFF 3565 Haven, LLC/3565 Haven Avenue: Request for a use permit for hazardous materials for the use and storage of hazardous materials associated with a research and development business located in the M-2 (General Industrial) zoning district.
Applicant Contact Information	Jeff Oparowski, (408) 496-0676 joparowski@arctecinc.com

- The hazardous materials listed are not of sufficient quantity to require approval by this agency.
- The Health Division has reviewed the applicant's plans and listed hazardous materials/chemicals and has found that the proposal meets all applicable codes.
- The Health Division has reviewed the applicant's plans and use of listed hazardous materials/chemicals outlined, and suggests conditions and mitigation measures (below) to be made a part of the City's permit approval. The Health Division will inspect the facility once it is in operation to assure compliance with applicable laws and regulations.

Community Development



The applicant's proposal has been reviewed by the San Mateo County Environmental Health Services Division by:

Printed Name/ Date	Dan Rompf
Signature	<i>Daniel Rompf</i>
Comments	Facility has already completed all permit requirements with SM County EH.

RE: 3565 Haven Avenue (PLN2025-00003) – Use Permit (cont.)	
Additional Comments	If facility increases storage quantities onsite including > 55 gal liquids, or > 200 cu ft compressed gases, or 500 lb of solid hazardous materials HMBP requirements will be triggered.



January 22, 2025

AGENCY REFERRAL FORM

RETURN by January 31, 2025 to Matt Pruter at mapruter@menlopark.gov

Jed Beyer, Water Quality Manager
West Bay Sanitary District
jbeyer@westbaysanitary.org

RE: 3565 Haven Avenue (PLN2025-00003) – Use Permit

Business Name	Elegen
Description	Use Permit/SFF 3565 Haven, LLC/3565 Haven Avenue: Request for a use permit for hazardous materials for the use and storage of hazardous materials associated with a research and development business located in the M-2 (General Industrial) zoning district.
Applicant Contact Information	Jeff Oparowski, (408) 496-0676 joparowski@arctecinc.com

- The hazardous materials listed are not of sufficient quantity to require approval by this agency.
- The Sanitary District has reviewed the applicant's plans and listed hazardous materials/chemicals and has found that the proposal meets all applicable codes.
- The Sanitary District has reviewed the applicant's plans and use of listed hazardous materials/chemicals outlined, and suggests conditions and mitigation measures (below) to be made a part of the City's permit approval.

Community Development



The applicant's proposal has been reviewed by the West Bay Sanitary District by:

Printed Name/ Date	Jed Beyer - Water Quality Manager 02/10/2025
Signature	<i>Jed Beyer</i>
Comments	

RE: 3565 Haven Avenue (PLN2025-00003) – Use Permit (cont.)	
Additional Comments	

LOCATION: 3565 Haven Avenue	PROJECT NUMBER: PLN2025-00003	APPLICANT: Jeff Oparowski	OWNER: SFF 3565 Haven, LLC
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PROJECT CONDITIONS:

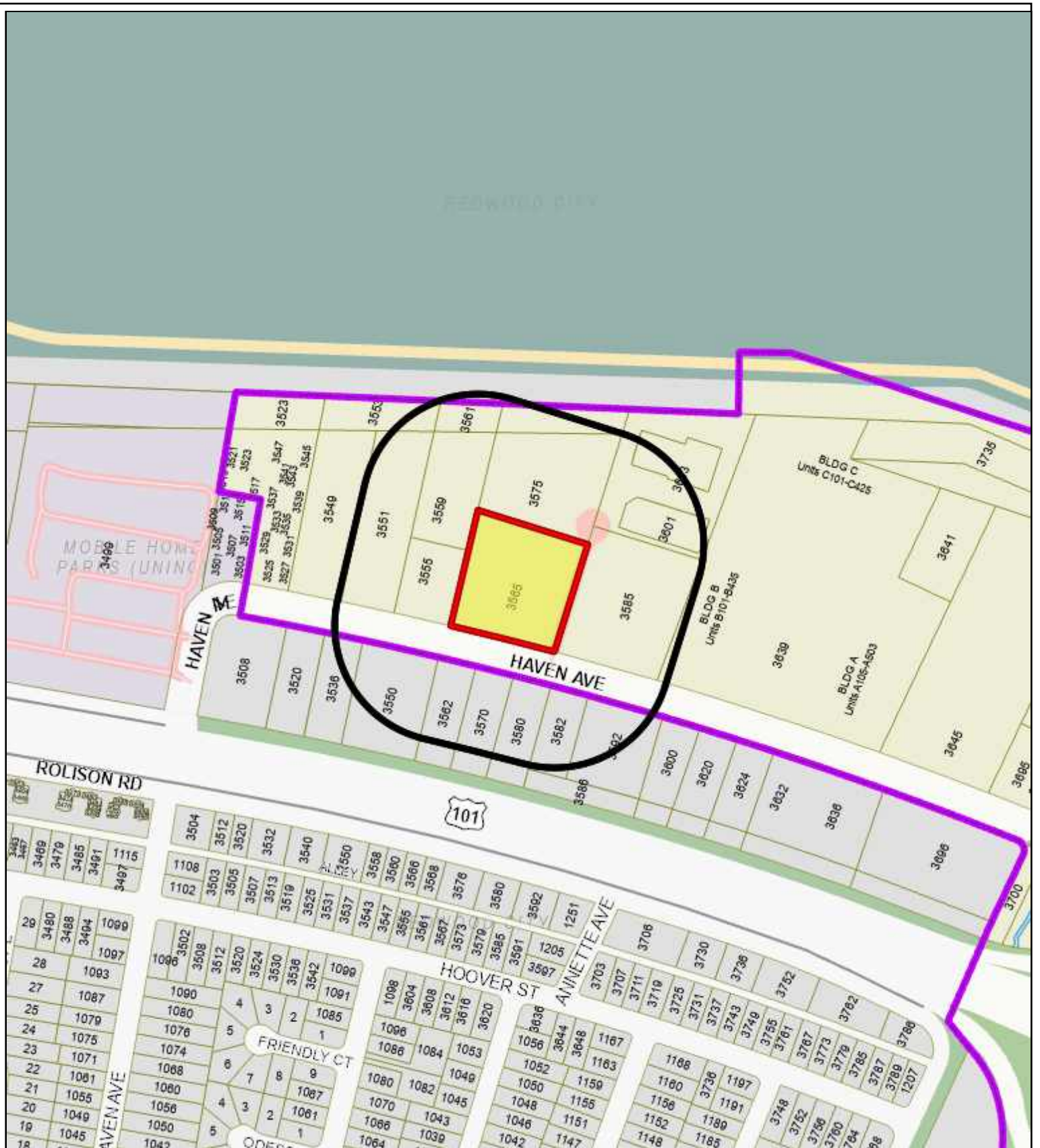
1. The use permit revision shall be subject to the following **standard** conditions:
 - a. The applicant shall be required to apply for a building permit within one year from the effective date of approval (by March 24, 2026) for the use permit revision to remain in effect.
 - b. Development of the project shall be substantially in conformance with the plans prepared by Arc Tec, Inc., consisting of five plan sheets, dated received February 21, 2025 and approved by the Planning Commission on March 24, 2025, except as modified by the conditions contained herein, subject to review and approval of the Planning Division.
 - c. Prior to building permit issuance, the applicant shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.
 - d. Prior to building permit issuance, the applicant shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
 - e. Prior to building permit issuance, the applicant shall pay all fees incurred through staff time spent reviewing the application.
 - f. If there is an increase in the quantity of hazardous materials on the project site, a change in the location of the storage of the hazardous materials, or the use of additional hazardous materials after this use permit is granted, the applicant shall apply for a revision to the use permit.
 - g. Any citation or notification of violation by the Menlo Park Fire Protection District, San Mateo County Environmental Health Department, West Bay Sanitary District, Menlo Park Building Division, or other agency having responsibility to assure public health and safety for the use of hazardous materials will be grounds for considering revocation of the use permit.
 - h. If operations discontinue at the premises, the use permit for hazardous materials shall expire unless a new user submits a new hazardous materials information form to the Planning Division for review by the applicable agencies to determine whether the new hazardous materials business plan is in substantial compliance with the use permit.
 - i. The applicant or permittee shall defend, indemnify, and hold harmless the City of Menlo Park or its agents, officers, and employees from any claim, action, or proceeding against the City of Menlo Park or its agents, officers, or employees to attack, set aside, void, or annul an approval of the Planning Commission, City Council, Community Development Director, or any other department, committee, or agency of the City concerning a development, variance, permit, or land use approval which action is brought within the time period provided for in any applicable statute; provided, however, that the applicant's or permittee's duty to so defend, indemnify, and hold harmless shall be subject to the City's promptly notifying the applicant or permittee of any said claim, action, or proceeding and the City's full cooperation in the applicant's or permittee's defense of said claims, actions, or proceedings.
 - j. Notice of Fees Protest – The applicant may protest any fees, dedications, reservations, or other exactions imposed by the City as part of the approval or as a condition of

LOCATION: 3565 Haven Avenue	PROJECT NUMBER: PLN2025-00003	APPLICANT: Jeff Oparowski	OWNER: SFF 3565 Haven, LLC
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PROJECT CONDITIONS:

approval of this development. Per California Government Code 66020, this 90-day protest period has begun as of the date of the approval of this application.

2. The use permit shall be subject to the following ***project-specific*** condition:
 - a. Prior to the use and storage of hazardous materials at the project site, the applicant shall obtain all permits and comply with all applicable requirements of the Menlo Park Fire Protection District, San Mateo County Environmental Health Services, West Bay Sanitary District, and Menlo Park Building Division.



City of Menlo Park
 Location Map
 3565 Haven Avenue



Pruter, Matthew A

From: [REDACTED]
Sent: Friday, March 14, 2025 3:38 PM
To: Pruter, Matthew A
Subject: Re: 3565 Haven Ave - Use Permit - Objection stance

CAUTION: This email originated from outside of the organization. Unless you recognize the sender's email address and know the content is safe, DO NOT click links, open attachments or reply.

Thank you for the additional context regarding the chemical inventory and storage quantities. While I understand that many of the chemicals are stored in small amounts (less than 0.5 gallons) and some are common in laboratory settings, I remain concerned about specific substances and their potential impacts, even in smaller quantities. Below, I've outlined my concerns based on the clarified information, integrating real-world examples to illustrate potential risks.

Problematic Chemicals from Inventory

- 1. Tetrabutylammonium Heptadecafluorooctanesulfonate (PFAS) (0.0016 gallons stored)**
Real-world example: Communities near PFAS-contaminated sites in Michigan have experienced long-term health issues, including increased cancer rates, even from small releases.
Risk: Carcinogenic; PFAS compounds persist in the environment indefinitely and bioaccumulate in humans.
Impact: Even small quantities could contaminate groundwater, posing significant long-term health risks to nearby residents.
- 2. 1,2-Dichloroethane (0.0063 gallons stored)**
Real-world example: VOC contamination in Houston's Fifth Ward has been linked to cancer clusters among residents living near industrial sites handling similar chemicals.
Risk: Known carcinogen; volatile organic compound (VOC) that can contaminate air through evaporation.
Impact: Despite the small quantity stored, its volatility makes it a concern for air emissions, potentially resulting in chronic low-level exposure for nearby residents.
- 3. Acetone (15.8 gallons total)**
Real-world example: While acetone is commonly used in household products, lab fires involving acetone have led to significant property damage and evacuations due to its high flammability.
Risk: Highly flammable; its vapors can travel to distant ignition sources and ignite explosively.
Impact: The large quantity stored increases fire risks, particularly given the proximity to residential areas. Vapors could also affect air quality during accidental spills or releases.
- 4. Toluene (approximately 2 gallons total)**
Real-world example: Residents living near facilities handling VOCs like toluene have reported neurological symptoms such as dizziness and confusion due to prolonged low-level exposure.
Risk: Toxic; can cause neurological damage and developmental issues with prolonged exposure, especially in children.
Impact: Toluene's volatility could degrade air quality near homes, posing chronic health risks to nearby residents.
- 5. Benzoyl Peroxide (small quantity stored)**
Real-world example: Even small quantities of benzoyl peroxide have caused fires requiring evacuation zones in lab settings due to its explosive decomposition under heat or friction.
Risk: Highly reactive; releases toxic fumes when decomposed and poses significant fire hazards.

Impact: Although stored in small amounts, its reactivity poses a disproportionate risk of fire or explosion that could directly impact nearby homes.

Key Concerns

- **Cumulative Risk:** Even with individual chemicals stored in small amounts, their combined presence amplifies risks of accidental release, fire, or environmental contamination.
- **Carcinogenic Exposure:** Persistent chemicals like PFAS and known carcinogens like 1,2-dichloroethane pose long-term cancer risks even at trace levels of exposure through air or groundwater contamination.
- **Air Quality Degradation:** Volatile organic compounds (VOCs) such as acetone, toluene, and 1,2-dichloroethane could contribute to poor air quality for nearby residents.
- **Fire Hazards:** The flammability of acetone and benzoyl peroxide presents immediate risks to both the facility and surrounding homes.
- **Proximity to Residential Areas:** The 0.2-mile distance significantly increases the likelihood of community exposure during an accident or emergency.

Request for Clarification

In addition to these concerns, I would appreciate clarification on the following points:

1. Was this chemical inventory information made available to the public? If so, how was it communicated? Transparency is essential when hazardous materials are stored near residential areas.
2. What specific safety protocols are in place to manage these chemicals, particularly those with higher risk profiles?
3. Has there been any outreach to inform nearby residents about the nature of this lab work and associated risks?

[REDACTED]

[REDACTED]



STAFF REPORT

Planning Commission

Meeting Date:

3/24/2025

Staff Report Number:

25-014-PC

Regular Business:

Consider and adopt a resolution recommending the City Council accept the 2024 General Plan Annual Progress Report, including the Housing Element and Environmental Justice Element. Review of the APR is not a project under CEQA.

Recommendation

Staff recommends that the Planning Commission adopt a resolution recommending the City Council accept the 2024 General Plan Annual Progress Report (APR), which includes the Housing Element and Environmental Justice Element. The draft resolution, including the APR, is included as Attachment A.

Policy Issues

Government Code Section 65400 and 65700 requires all cities and counties to submit an APR on the status of the General Plan and progress in its implementation to their local legislative bodies, the Governor's Office of Land Use and Climate Innovation (LCI) (formerly the Governor's Office of Planning and Research), and, with respect to the Housing Element, the Department of Housing and Community Development (HCD) by April 1 of each year. The APR documents past General Plan-related activities and may identify the timing of upcoming activities, but does not authorize the implementation of new or modified programs, or the expenditure of funds.

Background

A general plan is the blueprint for meeting the community's long-term vision for the future. The APR provides local legislative bodies and the public with information regarding the implementation of the General Plan for their city or county. APRs also inform the public of the progress in meeting the community's goals. This staff report transmits an APR covering all eight elements of the City's General Plan: Land Use, Circulation, Housing, Environmental Justice (EJ), and the combined Open Space/Conservation, Noise and Safety Elements. LCI provides guidance on the suggested content for the General Plan APR, but the guidance allows flexibility so jurisdictions can account for their local contexts, resources and constraints. The APR allows LCI to identify statewide trends in land decision-making and how local planning and development activities relate to statewide planning goals and policies.

The Housing Element APR is used by HCD to track the status and progress of implementing the jurisdiction's adopted Housing Element for the 2023-2031 planning period (also referred to as the 6th Cycle) using standardized forms and definitions adopted by HCD. The APR covers activities during the 2024 calendar year. On March 5, the Housing Commission reviewed and recommended to the City Council acceptance of the 2024 Housing Element APR. The City Council is scheduled to receive the Housing Commission and Planning Commission's feedback and consider acceptance of the 2024 General Plan APR on March 25.

Analysis

The General Plan APR is provided as Attachment A and describes the City's pursuit of a variety of measures and activities to implement the General Plan in 2024, with specific reference to individual elements, programs, and action items. Beginning in 2021, the development of the 2023-2031 Housing Element, the preparation of Menlo Park's first Environmental Justice Element, and the update of the Safety Element were a multiyear effort that was completed and adopted in 2024. Updates regarding these three elements comprise the majority of the 2024 APR. The APR is a document that reflects the past year's General Plan-related efforts; it is not intended to establish current or future work priorities for staff.

Housing Element APR and EJ Element APR

While most General Plan element reporting for 2024 is described in Attachment A, two elements have unique APR reporting mechanisms included as appendices to the General Plan APR. The Housing Element has specific statutory reporting requirements and its APR is provided as Appendix A within the General Plan APR (Attachment A). HCD limits the fields within the forms that City staff is able to complete and modify. Customization, formatting, and scaling of the Housing Element APR tables is restricted and may produce less-than-ideal results in how the document appears when printed and/or displayed in PDF format. Data from previous years is also automatically populated into certain fields, which limits the ability of staff to organize projects listed in Table A2 of Attachment A in chronological order from entitlements to occupancy. The General Plan APR generally refers to the Housing Element APR form for updates on housing-related implementation programs that occurred in 2024.

The EJ Element also has a unique APR reporting mechanism which is through an update of the EJ Element Action Guide, an implementation tool that is separate from and complementary to the EJ Element, but not part of the General Plan itself. This is the first APR since the EJ Element was adopted in 2024 and the APR implements Programs EJ1.C, EJ7.J, and EJ7.K. The updated EJ Element Action Guide/APR is provided as Appendix B within the General Plan APR (Attachment A). The EJ Element Action Guide is a tool used to manage and coordinate City efforts to accomplish the goals, policies, and programs outlined in the EJ Element. This dual document approach allows for more frequent updating of the Action Guide in response to changing community needs, funding opportunities and ongoing community outreach – particularly input from Menlo Park's underserved Belle Haven and Bayfront communities – without requiring a General Plan amendment.

Housing Element program implementation accomplishments and production summary

The following sections outline key activities and accomplishments during the 2024 Housing Element APR reporting period.

Housing Element programs

Table 1 below highlights efforts to implement Housing Element programs during 2024.¹

¹ For a complete discussion of the progress on Housing Element programs during 2024 see APR Table D.

Table 1: Housing Element program implementation accomplishments

Program(s)	Activity
Program H1.E (Work with Non-Profits on Housing)	This program requires, in part, that the City evaluate funding Habitat for Humanity’s Homeownership Preservation Program in the Belle Haven neighborhood, providing housing rehabilitations valued at \$40,000 to \$75,000 per home, with a goal of assisting 20 very low-income homeowners (Program H2.C (Assist in Implementing Housing Rehabilitation Programs). The City continues to partner with Habitat for Humanity and Rebuilding Together Peninsula (RTP) on home rehabilitation programs that were funded through the City’s 2022 Notice of Funding Availability (NOFA) cycle. In 2024, Habitat for Humanity received 22 inquiries for its home rehabilitation program and had three qualified applicants move forward into the scoping phase, while RTP completed five home rehab projects totaling \$61,489.73, achieving more than 60% of RTP’s eight-residence goal in the City.
Program H2.E (Anti-Displacement Strategy)	This program requires the City to develop an anti-displacement strategy for the City, particularly in the Belle Haven neighborhood. Initial implementation of the program began in 2024. Community meetings were held in both English and Spanish at the Belle Haven Community Campus in November 2024 to help prioritize various community-suggested anti-displacement strategies. Approximately 12 persons attended both meetings. The feedback is being reviewed and staff will continue to advance the anti-displacement strategy in 2025 with the launch of a survey. The City was recently awarded a \$250,000 Transit-Oriented Communities Policy Planning grant, which will assist with implementation of several anti-displacement strategies.
Program H3.F (Work with the U.S. Department of Veterans Affairs on Homeless Issues)	This program seeks to coordinate with Veterans Affairs (VA) to address the needs of veterans experiencing homelessness, particularly with regard to developing housing for affected veterans. In Sept. 2024, the City Council approved a \$2 million loan using BMR NOFA funds toward a 62-unit project (including two managers’ units) serving veterans, including formerly homeless veterans, and their families earning between 30% and 50% of the area median income (AMI). The project broke ground in Feb. 2025.
Program H4.G (Prioritize Affordable Housing on City-Owned Parking Lots Downtown)	This program commits to the development of at least 345 affordable housing units on a combination of City-owned parking lots in downtown Menlo Park. In Aug. 2024, the City Council reviewed a feasibility study and directed staff to proceed with exploring development on Parking Plazas 1, 2, and 3, located north of Santa Cruz Avenue. The three parking lots could accommodate more than 345 units using the existing zoning provisions on the three sites. City staff and the City Council conducted public outreach, held multiple public meetings, and considered public feedback regarding the potential for development on the sites through the end of 2024. In Jan. 2025, the City Council authorized release of a Request for Qualifications (RFQ) for the three identified parking lots, with responses due at the end of March 2025.
Program H4.U (Federally-Owned Sites and School Sites)	This program seeks to facilitate residential development on sites owned by the federal government and Ravenswood City School District to achieve new affordable housing units in Menlo Park. In addition to work on the VA site described in program H3.F above, the City processed a proposal for an 88-

	<p>unit, 100% affordable housing development at 320 Sheridan Drive, formerly the Flood School site, which is owned by the Ravenswood City School District. On Nov. 19, 2024, the City Council approved a \$1 million commitment for the affordable housing project. In Jan. 2025, the Planning Commission approved the project and the City Council upheld the Planning Commission’s decision during an appeal hearing in March 2025.</p>
<p>Program H5.B (Undertake Community Outreach When Implementing Housing Element Programs)</p>	<p>This program is intended to foster coordination with housing advocacy groups, neighborhood groups, and the community in building public understanding and support for housing-related programs and issues. During 2024, the City conducted its first Housing Resource Fair in Belle Haven, and attended other events like the Belle Haven Resource Fair and Love Our Earth Festival to promote knowledge about local housing programs and options. The City also created a brochure to increase awareness and information of housing-related programs.</p>
<p>Program H6.C (Air Conditioning or Cooling Alternatives)</p>	<p>This program requires the City to ensure healthy indoor environments for housing, particularly in mitigating the effects of heat during warmer months. At the end of 2024, Menlo Park’s Home Upgrade program completed 19 home energy assessments with seven signed participation agreements for Belle Haven homeowners to receive energy efficiency and electrification upgrades including heat pumps. Additionally, the City promoted Peninsula Clean Energy’s heat pump rebate available to all single family and multifamily property owners. The City continued exploring local code amendments to encourage the installation of high-efficiency heat pumps, ceiling fans, air exchangers, and increased insulation.</p>

Housing production

As part of the HCD 2024 statewide determination summary (Attachment B), Menlo Park is one of only 47 jurisdictions in California that met its proportionally allocated lower income (very low- and low-) and above moderate-income Regional Housing Needs Allocation (RHNA) for the previous reporting period. This compliance means that Menlo Park is not currently subject to SB 423, the Streamlined Ministerial Approval Process, which is an extension and expansion of the previous SB 35 streamlining legislation. SB 423 would otherwise require ministerial approval for certain types of housing when a jurisdiction fails to meet its RHNA goals. The City also stands among the few jurisdictions that have consistently produced sufficient amounts of housing annually to meet its targets since housing streamlining legislation first became effective in 2018.

In 2024, the City issued building permits for 176 new dwelling units,² which is an increase in the number of units compared to the 65 units that received building permits in 2023, the first year of the 6th Cycle, although not a direct comparison given the recent change in unit-counting methodology. The increase in housing production last year can be attributed to various factors, but among the most likely reasons are:

- The advancement of MidPen’s 62-unit development (Oak Gardens) at the VA campus for veterans who are homeless or at risk of imminent homelessness. The project received relevant City permits in 2024 and groundbreaking occurred in early 2025;
- The continued development of accessory dwelling units (ADUs) throughout the community, both as part

² HCD recently modified the instructions used to count units in the APR. Previously, the City reported net new units, meaning the number of new units developed on a site minus the number of units demolished on the site. However, the APR instructions now advise jurisdictions to report all units, not just net-new units. Demolitions that were associated with construction of new units are also reported in column 30 of Table A2. As a result, replacement housing on single-family lots now counts towards the City’s housing production in the APR.

- of new construction and through additions and renovations of existing homes and accessory buildings;
- Growing awareness and interest in SB 9, which is state legislation that allows for residential lot splits and duplexes on single-family lots, with two developments and a total of four units permitted in 2024; and
- The updated APR unit reporting methodology described in footnote 2 of this report.

Several large projects that received entitlements in previous years have not received building permits, such as Willow Village (1,730 units) and Menlo Flats (158 units), and those projects would contribute to future APR years when they are issued building permits. Other significant projects, such as the Parkline development on the SRI site (up to 800 units), 888 El Camino Real (41 units), and 68 Willow Road (50 units), are continuing to advance through the entitlements process and would appear in future APRs if approved. Other large projects would also be counted towards future APRs upon receiving building permits, such as 3705 Haven Avenue (112 units), approved by the Planning Commission in Feb. 2025 and called up for City Council review at a future meeting, and 123 Independence Drive (432 units), which has applied for demolition and grading permits.

Despite the uncertainties in the broader housing market in recent years, the city continued to see record growth in ADU building permits, with 68 ADUs permitted in 2024. ADUs provide more housing options within a community and can be affordable units, but they are not deed-restricted affordable units. The increase in ADUs is approximately eight percent above the 2023 total (63 net new ADUs), which was the previous record. The 131 total ADUs produced in 2023 and 2024 exceeds the 85 ADUs projected throughout the entire 2023-2031 planning period to help meet the City’s RHNA. The continued growth in ADUs across the city is likely because of increased awareness of state laws intended to streamline the ADU approval process by relaxing applicable zoning requirements and removing discretionary review requirements in most cases. The City recently implemented a pre-approved ADU plan process where design professionals can submit standardized ADU plans that are reviewed by the City for compliance with building codes and planning regulations. Pre-approved plans can reduce the time and costs associated with designing and permitting an ADU, and may lead to additional ADU development during the Housing Element cycle.

As shown in Table 2 below, in the second year of the eight-year RHNA cycle, which is approximately 25% of the way through the planning period, Menlo Park has achieved approximately 35.7% of its total RHNA. At the end of 2024, the income category with the highest percentage meeting its allocation was the above moderate level, with approximately 55.9% complete, and the income category with the lowest percentage was the very low income level, with approximately 15.9% complete.³

Table 2: 6 th Cycle RHNA (2023-2031) progress (new units)					
	Very Low	Low	Moderate	Above Moderate	Total New Housing Units
6 th Cycle RHNA Allocation	740	426	496	1,284	2,946
2024 New Units	81	31	26	38	176
Total New Units (June 2022-Dec. 2024)	118	99	116	718	1,051

³ HCD allows Bay Area jurisdictions to use an ADU affordability methodology produced by the Association of Bay Area Governments (ABAG), which assumes the following affordability levels for ADUs in a given APR year: 30 percent very low-income, 30 percent low-income, 30 percent moderate-income, and 10 percent above moderate-income.

Percent Complete	15.9%	23.2%	23.4%	55.9%	35.7%
Remaining RHNA Units	622	327	380	566	1,895

The City will continue to focus on Housing Element programs intended to support existing households and housing units, while also increasing housing production to meet its requirement of 2,946 units, including 1,662 units of affordable housing across different income categories, through 2031.

Environmental Justice (EJ) Element program implementation accomplishments

Table 3 below highlights efforts implementing EJ Element programs during 2024. A broader assessment of the status of implementation programs and action items from 2024 is provided in the EJ APR. Although the EJ Element was adopted Sept. 24, 2024, there are relevant, pre-element adoption activities to report on and thus the Action Guide was updated in Feb. 2025 to summarize activities for the entire 2024 calendar year.

Table 3: EJ Element program implementation accomplishments	
Program(s)	Activity
Program EJ5.G (Anti-Displacement Strategy) commits the City to develop an Anti-Displacement Strategy in line with Housing Element Program H2.E (Anti-Displacement Strategy) and especially in support of underserved communities.	In 2024, the City collaborated with the Housing Endowment and Regional Trust (HEART) of San Mateo County to initiate the Anti-Displacement Strategy and work is underway. Building from the feedback received during preparation of the Housing Element and EJ Element, staff identified a list of Anti-Displacement Strategy tools. These tools include the adoption of a just-cause eviction ordinance and establishment of formal rental assistance and access to legal assistance programs. In Nov. 2024, the City conducted two community meetings (one in monolingual Spanish) to learn more about the community’s prioritization of various Anti-Displacement Strategy tools and understand what would be most impactful. Staff is continuing to build on this work and will be launching an Anti-Displacement Strategy survey to gather more input before presenting the findings and tools to the City Council at a study session in 2025.
Program E4.B (Food Assistance Outreach) commits the City to inform low-income households and people experiencing homelessness about food assistance programs.	In 2024, the City’s Housing Resource Guide was updated to highlight food pantries/food assistance and shelter services, and was distributed to RV dwellers regularly parked in street cleaning areas. The City is continuing collaboration with the County of San Mateo Department of Housing and WeHope to coordinate food assistance programs for those experiencing homelessness.
Program EJ2.B (Climate Action Plan Implementation) commits the City to implement and periodically update the City’s Climate Action Plan (CAP).	The City Council adopted a 2025-2030 implementation scope of work with the 2024 progress report outlining priority actions to achieve carbon neutrality by 2030. Also in 2024, the City implemented a zero emission landscaping equipment rule to improve air quality and reduce emissions. The new ordinance requires use of zero emission (manual, electric or battery powered) landscaping equipment, starting with leaf blowers and string trimmers on July 1, 2024, and remaining equipment (chain saws, lawnmowers and hedge trimmers) in January 2029. An electric gardening voucher program was also implemented in 2024 to support the new regulations. CAP implementation also includes education and outreach which has prioritized bilingual outreach

in Belle Haven and the Bayfront neighborhoods. The City co-hosted three events in 2024: the first Love Our Earth Festival at Bloomhouse in East Palo Alto for proximity to Belle Haven, Clean Air Day celebration at the TIDE Academy, and Wetlands and Watts at Cooley Landing.

Other General Plan elements program implementation accomplishments

Table 4 below highlights efforts implementing programs in other General Plan elements during 2024.

Table 4: Other General Plan elements program implementation accomplishments	
Program(s)	Activity
Safety Element Program S1.Q (Coordinate the General Plan with City Emergency Planning Efforts), Program S1.R (Outreach for Sensitive Populations), Program S1.S (Public Communication), and EJ Element Program EJ7.H (Multilingual and Multimodal Disaster Preparedness)	<p>The City has coordinated a variety of activities to enhance community safety and EJ, described below:</p> <ul style="list-style-type: none"> • In Sept. 2024, the City promoted National Preparedness Month by writing articles in the Weekly Digest focused on different activities to be better prepared as a community. Some of those activities that the City continues to promote are registering for emergency alerts through SMC Alert and joining the Fire District Community Emergency Response Team. • On Nov. 16, 2024, the City hosted an eight-hour Listos ("Ready") Menlo Park training taught in Spanish, consistent with Listos California, an initiative of the Governor's Office of Emergency Services. The class focused on individual and household disaster preparedness. • On Dec. 12, 2024, the City partnered with several community based organizations – Climate Resilient Communities, Catholic Charities, Belle Haven Action – and the Menlo Park Fire Protection District (Fire District) to hold disaster preparedness training for the Belle Haven community. The two-hour bilingual (English/Spanish) session focused on household disaster preparedness and each family in attendance received an emergency radio and American Red Cross disaster preparedness starter kit. Over 60 residents attended the session. • Ongoing activities include continued partnership with community based organizations and the Fire District to provide bilingual (English/Spanish) disaster preparedness training and partnering with the American Red Cross to install smoke/carbon dioxide detectors free to Belle Haven residents. Additional work is in progress to develop bilingual literature on how to prepare for and respond to disasters. • The City provides preparedness information throughout the year in various channels such as newsletters, email, social media, and TV ad monitors located within the city to help community members be ready for storms and other disasters. The City also coordinates with other agencies and/or offers programs to inform community members on ways to prepare for disasters. In addition, the City regularly communicates on storm impacts and provides resources to the community to recover.
Circulation Element Program CIRC-1.A (Pedestrian and Bicyclist Safety), Program CIRC-1.B (Safe Routes to Schools), Program	<p>The City has implemented activities to enhance circulation for all modes of travel:</p> <ul style="list-style-type: none"> • In 2024, the City adopted the Vision Zero Action Plan as a blueprint to

<p>CIRC-2.C (Transportation Master Plan), Program CIRC-2.D (Pedestrian and Bicycle Facility Maintenance), Program CIRC-2.E (Bikeway System Planning)</p>	<p>implement the City’s Vision Zero policy to eliminate all traffic fatalities and serious injuries by 2040. Vision Zero is an integrated set of policies, plans and programs based on the philosophy that fatal collisions are unacceptable and often preventable. The project includes a detailed analysis of safety data and robust outreach to prioritize policies, programs, and infrastructure improvements to enhance safety in Menlo Park.</p> <ul style="list-style-type: none"> • The City has a Safe Routes to School Program. The Safe Routes to School Task Force meets quarterly and convenes representatives from surrounding school districts and schools, Menlo Park and Atherton police departments, city and county public works departments, San Mateo County Sheriff’s Office, San Mateo County Office of Education, local organizations, and parents to discuss challenges around walking and biking to school and share ideas and opportunities for the Safe Routes to School program. • In 2024, the Belle Haven Traffic Calming Project was completed. The Project built improvements to help reduce speeds and cut-through traffic traveling through the neighborhood to reach destinations outside of the area. The project included the installation of speed humps near Belle Haven Elementary School, and bulbouts along Ivy Drive, Chilco Street, Terminal Avenue, and Newbridge Street.
<p>Noise Element Program N1.C (Consider Noise Impacts in Street Design) and Action Items EJ2.I.2 and EJ2.I.3 (Noise Mitigation)</p>	<p>The City has implemented activities to reduce noise impacts from roadways, described below:</p> <ul style="list-style-type: none"> • Coordination with Caltrans on noise mitigation efforts is ongoing. For local streets, the City incorporates rubberized asphalt concrete (RAC) as a bid alternate on street resurfacing projects impacting arterials and collectors. RAC is composed of recycled tires and is a considered a more environmentally friendly material compared to traditional asphalt. RAC can also reduce vehicular noise for speeds at 45 miles per hour or greater. • In 2024, the City planted new trees, African Fern Pines, along both sides of the US-101 sound walls along Pierce Road and Van Buren Road and at the intersection of Van Buren Road and Bay Road. Progress has also continued on the Willow Road/US-101 interchange landscaping work. In 2024, the City entered into agreements with Caltrans and the San Mateo County Transportation Authority to complete the landscaping design work and a design contract was awarded to complete the work. As of early 2025, the plans are 95% complete and final plans are expected in the spring. The project would then be bid for construction, and installation is expected to begin in late 2025.
<p>Open Space and Conservation Program OSC4.B (Monitor the City’s Climate Action Plan) and Program EJ2.B (Climate Action Plan Implementation)</p>	<p>The City has implemented the Climate Action Plan, described below:</p> <ul style="list-style-type: none"> • The Climate Action Plan is subject to annual progress reports and is scheduled for an update in 2028. The City Council adopted a 2025-2030 implementation scope of work with the 2024 progress report outlining priority actions to achieve carbon neutrality by 2030. In 2024, the City began implementation of the actions described in Table 3 above related to Program EJ2.B. • The Climate Action Plan implementation includes education and outreach which has prioritized bilingual outreach in Belle Haven and the Bayfront.

	The City co-hosted three events in 2024, as described in Table 3 above for Program EJ2.B.
Open Space and Conservation Program OSC2.A (Support Regional Open Space, Conservation and Recreational Efforts)	The City coordinated with other agencies in the development of the new Flyway Trail and Viewing Area which officially opened in Oct. 2024. The City co-hosted the Flyway Trail opening celebration at Bedwell Bayfront Park.

Next steps

The APR will be presented to the City Council at their meeting on March 25 and staff will submit the APR to HCD and the LCI by April 1. Moving forward, the City will continue implementation of General Plan programs. With regard to the Housing Element in particular, a number of programs, including enhancing education and outreach (H5.B and H5.C), modifications to the BMR Guidelines (H4.B), and evaluation of an amnesty program for ADUs (H2.D), that are identified in the Housing Element are planned to be initiated this year. Additionally, based on prior feedback from community members, Housing Commission, Planning Commission, and City Council, Program H4.G, affordable housing development on City-owned sites, and an anti-displacement strategy outlined in Program H2.E, are among the top priorities in the Housing Element and will continue to be the focus of the City’s priorities, subject to any additional City Council direction. With regard to the EJ Element, programs/action items corresponding to the three top community-identified priorities (#1, Provide safe sanitary, and stable homes; #2, Promote access to high quality and affordable food; and #3, Reduce pollution exposure and improve air quality) will be especially pursued. With regard to other General Plan elements, the City will continue implementing programs for areas including, but not limited to, enhancing community safety, the Vision Zero Action Plan, and the Climate Action Plan.

Impact on City Resources

There are no impacts on City resources aside from staff time spent preparing the APR. Implementation of certain General Plan programs may have impacts on staffing resources and require funding to implement, which would be considered as part of the City’s annual budget process.

Environmental Review

The APR is not considered a project under the California Environmental Quality Act (CEQA). Implementation of individual General Plan programs may be subject to CEQA, and would be evaluated on a case-by-case basis.

Public Notice

Public notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting and through newspaper notice in the Examiner and the City’s Weekly Digest and social media.

Attachments

- A. Draft Planning Commission Resolution recommending acceptance of the 2024 General Plan Annual Progress Report

Exhibit to Attachment A

- A. 2024 General Plan Annual Progress Report
- B. Hyperlink - SB 423 Streamlined Ministerial Approval Process (SMAP) Statewide Determination:
<https://www.hcd.ca.gov/sites/default/files/docs/planning-and-community/sb423-determination-summary.pdf>

Report prepared by:
Tom Smith, Principal Planner
Calvin Chan, Senior Planner

Report reviewed by:
Mary Wagner, Assistant City Attorney
Deanna Chow, Community Development Department Director

PLANNING COMMISSION RESOLUTION NO. 2025-###

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MENLO PARK RECOMMENDING THAT THE CITY COUNCIL RECEIVE AND ACCEPT THE 2024 GENERAL PLAN ANNUAL PROGRESS REPORT AND AUTHORIZE STAFF TO SUBMIT THE REPORT TO THE GOVERNOR'S OFFICE OF LAND USE AND CLIMATE INNOVATION AND DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT.

WHEREAS, California Government Code Section 65400 and 65700 requires all cities and counties to provide an annual report to the City Council, the Governor's Office of Land Use and Climate Innovation (LCI), and, with respect to the Housing Element, the Department of Housing and Community Development (HCD) regarding progress toward implementation of the City's General Plan; and

WHEREAS, Planning staff has prepared an annual progress report for the 2024 calendar year describing the City's measures and activities to implement all eight elements of the City's General Plan, namely, Land Use, Circulation, Housing, Environmental Justice, and Open Space/Conservation, Noise and Safety Elements; and

WHEREAS, the 2024 General Plan Annual Progress Report (APR) is not considered a project under the California Environmental Quality Act (CEQA); and

WHEREAS, all required public notices and public meetings were duly given and held according to law; and

WHEREAS, at a duly and properly noticed public meeting held on March 5, 2025, the Housing Commission reviewed and recommended to the City Council acceptance of the 2024 Housing Element APR.

WHEREAS, at a duly and properly noticed public meeting held on March 24, 2025, the Planning Commission reviewed all written evidence and oral testimony presented to date.

NOW, THEREFORE, THE MENLO PARK PLANNING COMMISSION HEREBY RESOLVES AS FOLLOWS:

Section 1. Recitals. The Planning Commission has considered the full record before it, which may include but is not limited to such things as the staff report, public testimony, and other materials and evidence submitted or provided, and the Planning Commission finds the foregoing recitals are true and correct, and they are hereby incorporated by reference into this Resolution.

Section 2. Recommendation to City Council. The Planning Commission of the City of Menlo Park, based on substantial evidence in the administrative record of proceedings and pursuant to its independent review and consideration, does hereby recommend the City Council receive and accept the 2024 General Plan Annual Progress Report, attached and incorporated as Exhibit A, and authorize staff to submit the report to the Governor's Office of Land Use and Climate Innovation and, with respect to the Housing Element, the Department of Housing and Community Development pursuant to California Government Code Section 65400 and 65700.

Section 3. Environmental Review. The 2024 General Plan Annual Progress Report is not considered a project under the California Environmental Quality Act (CEQA).

I, Kyle Perata, Assistant Community Development Director of the City of Menlo Park, do hereby certify that the above and foregoing Planning Commission Resolution was duly and regularly passed and adopted at a meeting by said Planning Commission on March 24, 2025, by the following votes:

AYES:

NOES:

ABSENT:

ABSTAIN:

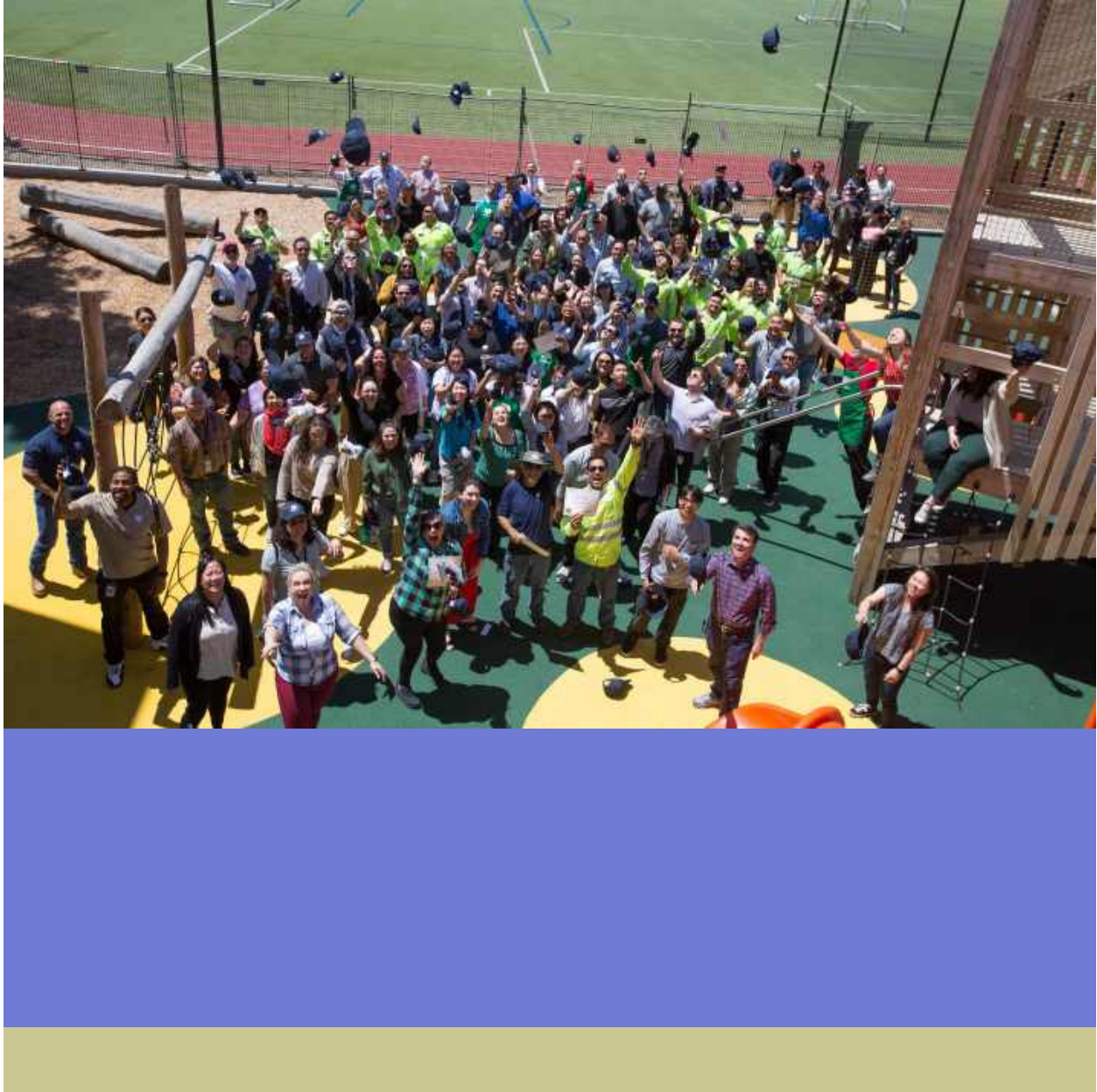
IN WITNESS THEREOF, I have hereunto set my hand and affixed the Official Seal of said City on this __ day of March, 2025.

PC Liaison Signature

Kyle Perata
Assistant Community Development Director
City of Menlo Park

Exhibit

A. 2024 General Plan Annual Progress Report



2024

CITY OF MENLO PARK GENERAL PLAN ANNUAL PROGRESS REPORT

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1. Introduction

1.1 – About the General Plan

The General Plan is a legal document, required by state law, which serves as the city's "constitution" for development and the use of its land. It is a comprehensive, long-term document, guiding physical development of the city.

The City of Menlo Park's General Plan embodies nine Guiding Principles, which describe the kind of place that community members want Menlo Park to be. The goals, policies and programs promote the values established in the Guiding Principles. The City's Guiding Principles are as follows:

Citywide Equity

Menlo Park neighborhoods are protected from unreasonable development and unreasonable cut-through traffic, share the benefits and impacts of local growth, and enjoy equal access to quality services, education, public open space, housing that complements local job opportunities with affordability that limits displacement of current residents, and convenient daily shopping such as grocery stores and pharmacies.

Health Community

Everyone in Menlo Park enjoys healthy living spaces, high quality of life, and can safely walk or bike to fresh food, medical services, employment, recreational facilities, and other daily destinations; land owners and occupants take pride in the appearance of property; Menlo Park achieves code compliance and prioritizes improvements that promote safety and healthy living; and the entire city is well-served by emergency services and community policing.

Competitive and Innovate Business Destination

Menlo Park embraces emerging technologies, local intelligence, and entrepreneurship, and welcomes reasonable development without excessive traffic congestion that will grow and attract successful companies and innovators that generate local economic activity and tax revenue for the entire community.

Corporate Contribution

In exchange for added development potential, construction projects provide physical benefits in the adjacent neighborhood (such as Belle Haven for growth north of US 101), including jobs, housing, schools, libraries, neighborhood retail, childcare, public open space, high speed internet access, and transportation choices.

Youth Support and Excellence Education

Menlo Park children and young adults have equal access to excellent childcare, education, meaningful employment opportunities, and useful training, including internship opportunities at local companies.

Great Transportation Options

Menlo Park provides thoroughly-connected, safe and convenient transportation, adequate emergency vehicle access, and multiple options for people traveling by foot,

bicycle, shuttle, bus, car, and train, including daily service along the Dumbarton Rail Corridor.

Complete Neighborhoods and Commercial Corridors

Menlo Park neighborhoods are complete communities, featuring well integrated and designed development along vibrant commercial corridors with a live-work-play mix of community-focused businesses that conveniently serve adjacent neighborhoods while respecting their residential character.

Accessible Open Space and Recreation

Menlo Park provides safe and convenient access to an ample amount of local and regional parks and a range of public open space types, recreational facilities, trails, and enhancements to wetlands and the Bay.

Sustainable Environmental Planning

Menlo Park is a leader in efforts to address climate change, adapt to sea-level rise, protect natural and built resources, conserve energy, manage water, utilize renewable energy, and promote green building.

1.2 – About the Annual Progress Report

In accordance with Government Code Sections 65400 and 65700, the City of Menlo Park has prepared a General Plan Annual Progress Report (APR) for the 2024 reporting year.¹ This mandatory report provides a comprehensive overview of the City’s General Plan implementation efforts and progress made during the past calendar year. The APR is a transparent accountability mechanism, offering the community insights into how local land use decisions and planning and development activities align with adopted goals and policies.

The APR has been prepared for submission to the Menlo Park City Council, the Governor’s Office of Land Use and Climate Innovation (LCI), and the Department of Housing and Community Development (HCD) by the April 1, 2025 deadline. This document details the City’s achievements in implementing various elements of the General Plan, with special emphasis on Menlo Park’s first-ever Environmental Justice (EJ) Element, adopted in 2024, and the statutory requirements of the Housing Element.

2. APRs / Acceptance by Local Legislative Body

The Housing Element APR was presented to the City of Menlo Park Housing Commission on March 5, 2025. The General Plan APR (including the Housing Element APR) was presented to the Menlo Park Planning Commission on March 24, 2025 and the Menlo Park City Council, the City’s legislative body, on March 25, 2025.

3. Recent Updates to the General Plan

California Government Code Section 65302 requires that all general plans include elements that address the following policy areas: land use, circulation, housing, conservation, open space,

¹ The APR generally follows the format and includes the general contents encouraged by LCI in its [Annual Progress Report Memo – 2024 Reporting Year](#) document.

noise, safety, and EJ. The [City of Menlo Park General Plan](#) includes an element for each policy area individually, or grouped, as listed below. The list indicates the original adoption date and the most recent amendment date for each element, as applicable.

3.1 – Land Use Element

The current Land Use Element was first adopted in 2016 as part of the ConnectMenlo General Plan Update, and includes a regional land use framework, discusses the overall City’s land use composition and defines the General Plan land use designations and goals, policies and programs. The General Plan Land Use Element reflects the existing pattern of land use in the City and embodies the community’s vision. The Land Use Element also encourages healthy and sustainable living, both economically and environmentally.

- The most recent amendment to the Land Use Element occurred in November 2023, with the adoption of General Plan amendments to modify maximum allowed densities for various land uses and update the General Plan Land Use Map for consistency with zoning changes to implement the 2023-2031 Housing Element. In February 2024, the City Council considered amending the General Plan land use designation for the parcel at 512 Durham Street and modifying the zoning of two parcels at 512 Durham Street and a portion of 687 Bay Road for consistency with their on-site uses and the 2023-2031 Housing Element update. The City Council directed staff return with an amendment to the Land Use Element to change the land use designation of the parcel at 687 Bay Road to low density residential for consistency with its existing single-family zoning. The change will be considered at a future City Council meeting.

3.2 – Circulation Element

The current Circulation Element was first adopted in 2016 and describes distinct transportation and mobility issues and opportunities the Menlo Park community is likely to face, as well as key strategies for addressing them. The focus and vision for mobility in Menlo Park increasingly provides transportation options for residents and employees, to improve access to a safe and connected network of facilities, encourage physical activity and health, and reduce greenhouse gas emissions.

- The most recent amendment to the Circulation Element occurred in August 2023, with the adoption of a General Plan amendment to modify street classifications in the Circulation Element to incorporate an alley designation under the local access street classification, and allow for the City Council to consider street closures for streets in the main street and local access classifications.

3.3 – Housing Element

The 2023-2031 Housing Element was first adopted in January 2023. HCD provided certification for the Housing Element in March 2024. The Housing Element responds to current and near-term future housing needs in Menlo Park and provides a framework for the community’s longer-term approach to address housing needs. The Housing Element contains goals, information, and strategic directions (policies and implementing programs with objectives) that the City is committed to undertaking together with the community and other stakeholders to provide for the production, protection and preservation of housing.

- Amendments to the Housing Element were adopted in January 2024 for conformance with the conditionally-certified version of the Housing Element approved by HCD. The amendments addressed the topics of racially concentrated areas of affluence (RCAAs); disproportionate housing needs including displacement; contributing factors to fair housing issues; progress in meeting the city’s regional housing needs allocation (RHNA); development on small and large sites; suitability of nonvacant sites; City-owned sites, federally-owned and school sites; environmental constraints; the electronic sites inventory; zoning for a variety of housing types (emergency shelters); actions, programs, metrics and milestones; density bonuses; fees and exactions; local processing and permitting procedures; shortfall of adequate sites; constraints on housing for persons with disabilities; land use controls; and specific quantified objectives.

3.4 – Open Space/Conservation, Noise and Safety Elements

The current combined Open Space/Conservation, Noise and Safety Elements were first adopted in 2013 and reflect important community issues and state laws related to environmental conditions in Menlo Park. The elements focus on providing direction regarding how to protect community safety and to maintain a clean and healthy environment including air and water quality, noise, greenhouse gas, conservation of energy and minimizing impacts of development in hazardous or environmentally sensitive habitat areas.

- The most recent amendment to the Safety Element occurred in September 2024. The purpose of the Safety Element is to identify how to reduce potential risks of injury, property damage, and economic and social disruptions resulting from natural and human-made hazards. Since its adoption, state laws were enacted that require Safety Elements to address climate change adaptation and resiliency and give increased attention to wildfire and evacuation routes. The update to the Safety Element was focused on these topics in response to state law and for consistency with other local documents such as the City’s Climate Action Plan and the County’s Multijurisdictional Local Hazard Mitigation Plan (MJLHMP).
- The Open Space/Conservation and Noise Elements have not been amended since they were adopted in 2013.

3.5 – Environmental Justice Element

The City’s first EJ Element was adopted in September 2024, following three years of community outreach and engagement with a focus on meeting people where they are and empowering the voices of Menlo Park’s underserved Belle Haven and Bayfront communities. The EJ Element includes seven community-identified goals, with Goals 2, 4 and 5 as the top three priorities:

- Goal EJ1: Address unique and compounded health risks;
- Goal EJ2: Reduce pollution exposure and improve air quality;
- Goal EJ3: Equitably provide public facilities to individuals and communities;
- Goal EJ4: Promote access to high quality and affordable food;
- Goal EJ5: Provide safe, sanitary and stable homes;
- Goal EJ6: Encourage physical activity and active transportation; and
- Goal EJ7: Create equitable civic and community engagement.

The EJ Element is intended to evolve with and reflect the community’s needs over time.

4. Measures Associated with Implementation of the General Plan

2024 Highlights

The City undertook a variety of measures, initiatives and plans to implement the General Plan in 2024. The items below are policy documents used to implement efforts related to one or more elements of the City's General Plan. Additional specific implementation programs and actions are described in section 9 of this APR, with reference to individual elements, programs, and action items.

El Camino Real/Downtown Specific Plan

In November 2023, the [El Camino Real/Downtown Specific Plan](#) was amended for consistency with the certified Housing Element and amended Land Use Element, including increased densities, heights, and changes to other design standards to encourage housing production.

Vision Zero Action Plan

In January 2024, the City adopted the [Vision Zero Action Plan](#) as a blueprint to implement the City's Vision Zero policy to eliminate all traffic fatalities and serious injuries by 2040. Vision Zero is an integrated set of policies, plans and programs based on the philosophy that fatal collisions are unacceptable and often preventable. The project includes a detailed analysis of safety data and robust outreach to prioritize policies, programs, and infrastructure improvements to enhance safety in Menlo Park.

2030 Climate Action Plan

In August 2024, the City's [2030 Climate Action Plan](#) was amended to include a new scope of work for 2025-2030, including policy and program options to convert 95% of existing buildings to all-electric energy by 2030; setting a citywide goal for increasing electric vehicles (EVs) and decreasing gasoline sales; expanding access to EV charging for multifamily and commercial properties; reducing vehicle miles traveled (VMT) by 25% or an amount recommended by the City's Complete Streets Commission; eliminating the use of fossil fuels in municipal operations; and developing a climate adaptation plan to protect the community from sea level rise and flooding.

5. Housing Element APR Reporting Requirements

The City of Menlo Park submitted its 2024 Housing Element APR in accordance with Government Code Sections 65400, 65583 and 65584, and HCD's housing element guidelines on or by April 1, 2025. The City's Housing Element APRs can be found on the [City's Housing Element Annual Progress Reports webpage](#).

6. General Plan Compliance with LCI's *General Plan Guidelines*

The City of Menlo Park General Plan complies with LCI's *General Plan Guidelines*. In 2024, the City adopted its first-ever EJ Element which was prepared in accordance with the requirements of SB 1000 and the *Guidelines*. The City also adopted an updated Safety Element, which was prepared to meet the requirements of state law related to climate change vulnerability and adaptation, and increased attention to wildfire and evacuation routes.

7. Local Priorities for Land Use Decision-Making

No moratoria or emergency ordinances were adopted in conjunction with implementation of the General Plan in 2024.

8. Changes to Goals, Policies, Objectives, Standards or Other Plan Proposals

The development of the Sixth Cycle 2023-2031 Housing Element, the preparation of Menlo Park's first EJ Element, and the update of the Safety Element were a multiyear effort collectively referred to as the "Housing Element Update project," which was completed with the adoption of the EJ Element in September 2024. Goals, policies, programs, and action items have been created and/or modified within each of these elements and implementation progress in 2024 is described in this report.

9. Implementation of the General Plan

9.1 – Land Use Element

Background

The Land Use Element guides the physical development of the community and includes goals, policies, and programs supporting residential and commercial neighborhoods, and embraces opportunities for mixed land uses to facilitate live/work/play environments.

Implementation Highlights

In 2024, the first two residential development projects opened in the Bayfront Area. The Lume and Vasara multifamily developments provided 776 dwelling units, including 115 below market rate units. These two developments were the first development projects to be built using the land use regulations from the 2016 ConnectMenlo General Plan Update. Additionally, the City continued to inspect the construction of the first life sciences building approved using the ConnectMenlo land use regulations, and the project is nearing completion. The on-site improvement plans, final map, and off-site improvements plans continued to be reviewed for the Willow Village mixed-use masterplan development project.

During 2024, the City reviewed and processed multiple complex development projects, including the following:

- 320 Sheridan Dr.: 88-unit 100% affordable housing development project (approved March 2025)
- 3705 Haven Ave.: 112-unit multifamily residential project (approved February 2025, pending City Council review in April 2025)
- 68 Willow Rd.: 50 townhome-style units (under review)
- 888 El Camino Real: 41-unit multifamily residential project (under review)
- 1005 O'Brien Dr./1320 Willow Rd.: 228,000 square feet of life sciences uses (under review)
- Parkline masterplan development project: released draft environmental impact report (DEIR) (June 2024) for up to 800 dwelling units and 1.1M square feet of office/R&D (under review and anticipated to be reviewed by Planning Commission and City Council in spring 2025)

9.2 – Circulation Element

Background

The Circulation Element describes distinct issues and opportunities the Menlo Park community is likely to face during the 2040 horizon of the General Plan, as well as key strategies for addressing them. The focus of the goals, policies, and programs is to create the most functional circulation system possible for the full range of users and travel modes.

Implementation Highlights

The City has conducted activities to enhance circulation for all modes of travel, implementing programs such as CIRC-1.A (Pedestrian and Bicyclist Safety), CIRC-1.B (Safe Routes to Schools), CIRC-2.C (Transportation Master Plan), CIRC-2.D (Pedestrian and Bicycle Facility Maintenance), and CIRC-2.E (Bikeway System Planning):

- In 2024, the City adopted the Vision Zero Action Plan as a blueprint to implement the City’s Vision Zero policy to eliminate all traffic fatalities and serious injuries by 2040. Vision Zero is an integrated set of policies, plans and programs based on the philosophy that fatal collisions are unacceptable and often preventable. The project includes a detailed analysis of safety data and robust outreach to prioritize policies, programs, and infrastructure improvements to enhance safety in Menlo Park.
- The City has a Safe Routes to School Program. The Safe Routes to School Task Force meets quarterly and convenes representatives from surrounding school districts and schools, Menlo Park and Atherton police departments, city and county public works departments, San Mateo County Sheriff’s Office, San Mateo County Office of Education, local organizations, and parents to discuss challenges around walking and biking to school and share ideas and opportunities for the Safe Routes to School program.
- In 2024, the Belle Haven Traffic Calming Project was completed. The Project built improvements to help reduce speeds and cut-through traffic traveling through the neighborhood to reach destinations outside of the area. The project included the installation of speed humps near Belle Haven Elementary School, and bulbouts along Ivy Drive, Chilco Street, Terminal Avenue, and Newbridge Street.

9.3 – Housing Element

Background

The 2023-2031 Housing Element was prepared to respond to current and near-term future housing needs in Menlo Park and provide a framework for the community’s longer-term approach to address housing needs. The Housing Element contains goals, information, and strategic directions (policies and implementing programs with objectives) that the City is committed to undertaking together with the community and other stakeholders to provide for housing development. With an update required every eight years by the State of California, the current Housing Element covers a planning period from 2023-2031 (also referred to as the 6th Cycle) and serves as a foundation for all the goals, policies, programs, and objectives related to housing in Menlo Park. While local governments do not generally build housing themselves, they create the rules that affect where housing can be built, how much, and how it is approved.

Implementation Highlights

The City continues to support the production, preservation and protection of housing for all as demonstrated through housing production to meet the City’s Regional Housing Needs Allocation (RHNA) and program implementation in 2024. The table below summarizes the City’s 2023-2031 RHNA progress.

6 th Cycle RHNA (2023-2031) progress (new units)					
	Very Low	Low	Moderate	Above Moderate	Total New Housing Units
6 th Cycle RHNA Allocation	740	426	496	1,284	2,946
2024 New Units	81	31	26	38	176
Total New Units (June 2022-Dec. 2024)	118	99	116	718	1,051
Percent Complete	15.9%	23.2%	23.4%	55.9%	35.7%
Remaining RHNA Units	622	327	380	566	1,895

Program implementation highlights for 2024 are included in Table D of the Housing Element APR.

9.4 – Open Space/Conservation, Noise and Safety Elements

Background

The Open Space/Conservation Element addresses issues related to the use, preservation, management and sustainability of land-based resources in Menlo Park, whether that land is dedicated to active recreation use, passive use or the protection of natural resources and environmental quality. The Noise Element appraises existing noise problems in the community and provides guidance to the community and developers for avoiding problems in the future. It also can provide the basis for code enforcement and other regulations, including implementation of the City’s Noise Ordinance to control nuisance noise. No Open Space/Conservation or Noise Element amendments were made during the 2024 calendar year.

The Safety Element, provides a framework for planning for and responding to potential hazards in the city. The purpose of the Safety Element is to identify and appraise risks in the community and provide high-level strategies for mitigating risks and ensuring the wellness of the community, city services, and infrastructure. The Safety Element focuses on protection of the community from hazards associated with climate change, earthquakes, floods, fires, toxic waste, and other hazards. In addition, issues such as disaster preparedness and residential areas without two emergency evacuation routes are addressed.

Implementation Highlights

Below are highlighted activities to advance open space/conservation, noise and safety-related programs in Menlo Park during 2024, with particular emphasis on Safety Element activities as that was the General Plan element most recently updated and integrated with EJ Element aims.

- Program S1.Q (Coordinate the General Plan with City Emergency Planning Efforts), Program S1.R (Outreach for Sensitive Populations), Program S1.S (Public Communication), and Program EJ7.H (Multilingual and Multimodal Disaster Preparedness): The City has coordinated a variety of activities to enhance community safety and EJ, described below:
 - In September 2024, the City promoted National Preparedness Month by writing a Weekly Digest article focused on different activities to be better prepared as a community. Some of those activities that the City continues to promote are registering

for emergency alerts through SMC Alert and joining the Fire District Community Emergency Response Team.

- On November 16, 2024, the City hosted an eight-hour Listos ("Ready") Menlo Park training taught in Spanish, consistent with Listos California, an initiative of the Governor's Office of Emergency Services. The class focused on individual and household disaster preparedness. Training topics included: Hazard and Risk Identification, Communication Plan, Family Reunification Plan, Service Supply Interruption, Fire Extinguishers, Disaster Team, Care for the Wounded, Organization at Home, and Emotional Support. The session was attended by approximately 25 residents.
- On December 12, 2024, the City partnered with several community based organizations – Climate Resilient Communities, Catholic Charities, Belle Haven Action – and the Menlo Park Fire Protection District (Fire District) to hold disaster preparedness training for the Belle Haven community. The two-hour bilingual (English/Spanish) session focused on household disaster preparedness and each family in attendance received an emergency radio and American Red Cross disaster preparedness starter kit. The session was attended by over 60 residents.
- Ongoing activities include continued partnership with community based organizations and the Fire District to provide bilingual (English/Spanish) disaster preparedness training and partnering with the American Red Cross to install smoke/carbon dioxide detectors free to Belle Haven residents. Additional work is in progress to develop bilingual literature on how to prepare for and respond to disasters.
- The City provides preparedness information throughout the year in various channels such as newsletters, email, social media, and TV ad monitors located within the city to help community members be ready for storms and other disasters. The City also coordinates with other agencies and/or offers programs to inform community members on ways to prepare for disasters. In addition, the City regularly communicates on storm impacts and provides resources to the community to recover.
- Program S1.T (Public Heat Respite) and Program EJ2.K (Extreme Heat Relief): The City has implemented activities to address extreme heat and enhance community safety, described below:
 - The City operates three cooling centers at the Arrillaga Family Recreation Center, Belle Haven Community Campus, and the Menlo Park Library. The facilities are air-conditioned and open to the public every day. Signage improvements for facilities are being considered (e.g., branded, informational/directional signage for A-frames).
 - In 2024, the Belle Haven Community Campus was completed. The facility is an all-electric, zero combustion, net zero energy public building with onsite renewable energy generation, battery microgrid, and electric vehicle charging stations. The facility is built to Leadership in Energy and Environmental Design (LEED) Platinum environmental standards, and its structural design is resilient to serve as an emergency shelter.
- Program N1.C (Consider Noise Impacts in Street Design) and Action Items EJ2.1.2 and EJ2.1.3 (Noise Mitigation): The City has implemented activities to reduce noise impacts from roadways, described below:
 - Coordination with Caltrans on noise mitigation efforts is ongoing. For local streets, the City incorporates rubberized asphalt concrete (RAC) as a bid alternate on street resurfacing projects impacting arterials and collectors. RAC is composed of recycled tires and is considered a more environmentally friendly material compared to traditional asphalt. RAC can also reduce vehicular noise for speeds at 45 miles per hour or greater.
 - In 2024, the City planted new trees, African Fern Pines, along both sides of the US-101 sound walls along Pierce Road and Van Buren Road and at the intersection of Van

Buren Road and Bay Road. Progress has also continued on the Willow Road/US-101 interchange landscaping work. In 2024, the City entered into agreements with Caltrans and the San Mateo County Transportation Authority to complete the landscaping design work and a design contract was awarded to complete the work. As of early 2025, the plans are 95% complete and final plans are expected in the spring. The project would then be bid for construction, and installation is expected to begin in late 2025.

- Program OSC4.B (Monitor the City’s Climate Action Plan) and Program EJ2.B (Climate Action Plan Implementation): The City’s Sustainability Division has implemented the Climate Action Plan, described below:
 - The Climate Action Plan is subject to annual progress reports and is scheduled for an update in 2028. The City Council adopted a 2025-2030 implementation scope of work with the 2024 progress report outlining priority actions to achieve carbon neutrality by 2030. In 2024, the City began implementation of a zero emission landscaping equipment rule to improve air quality and reduce emissions. The new ordinance requires use of zero emission (manual, electric or battery powered) landscaping equipment, starting with leaf blowers and string trimmers on July 1, 2024, and remaining equipment (chain saws, lawnmowers and hedge trimmers) in January 2029. An electric gardening voucher program was also implemented in 2024 to support the new regulations.
 - The Climate Action Plan implementation includes education and outreach which has prioritized bilingual outreach in Belle Haven and the Bayfront. The City co-hosted three events in 2024: Love Our Earth Festival at Bloomhouse in East Palo Alto for proximity to Belle Haven (Apr. 13, 2024); Clean Air Day celebration at the TIDE Academy (Oct. 24, 2024); and Wetlands and Watts at Cooley Landing (Nov. 17, 2024). These community events provided resources including bike fix-it clinics, information about available incentives and programs, free food, and more.
- Program OSC2.A (Support Regional Open Space, Conservation and Recreational Efforts): The City coordinated with other agencies in the development of the new Flyway Trail and Viewing Area which officially opened in Oct. 2024. The City co-hosted the Flyway Trail opening celebration at Bedwell Bayfront Park.

9.5 – Environmental Justice Element

Background

Menlo Park’s first-ever EJ Element was adopted in 2024. The purpose of the EJ Element is to identify and address public health risks and EJ concerns, as well as foster the well-being of the City’s residents living in the underserved Belle Haven and Bayfront communities of Menlo Park, generally the portions of the city north of the US Highway 101 (US-101). The City is committed to advancing equity, addressing existing and potential environmental health risks, and EJ. The EJ Element includes seven goals and three top community-identified priorities, shown in the table below.

Menlo Park EJ Element Goals and Community-Identified Priorities		
Goal ID	Goal Text	Priority #
EJ1	Address unique and compounded health risks	-
EJ2	Reduce pollution exposure and improve air quality	3
EJ3	Equitably provide appropriate public facilities to individuals and communities	-
EJ4	Promote access to high quality and affordable food	2
EJ5	Provide safe, sanitary, and stable homes	1
EJ6	Encourage physical activity and active transportation	-
EJ7	Create equitable civic and community engagement	-

The EJ Element is a living document intended to evolve with and reflect the community’s needs over time. The funding for EJ Element programs and action items would be evaluated through a separate process and could occur through a combination of the general fund, special funds and/or grant monies to support the range of activities. On June 25, 2024, the City Council approved a \$1 million transfer from the Bayfront Mitigation Fund to establish a new EJ Element Implementation Fund.

The EJ Element is accompanied by an updated Action Guide that serves as the detailed EJ APR (see Appendix B). The Action Guide is separate and complementary to the EJ Element, but not part of the General Plan itself. The Action Guide is a tool used to manage and coordinate City efforts to accomplish the goals, policies, and programs outlined in the EJ Element. The City website includes a dedicated webpage for the EJ Element (menlopark.gov/EJElement).

Implementation Highlights

Below are highlighted programs and action items that advanced EJ in Menlo Park during 2024, presented in the order of the top three community-identified priorities/EJ Element goals, followed by the other four goals in sequential order.

Goal EJ5: Provide safe, sanitary, and stable homes (Community Priority #1)

- Program EJ5.B (Outreach to Households) commits the City to conduct outreach for programs that support safe, sanitary, and stable homes. In April 2024, the City Council introduced a proclamation recognizing May as Affordable Housing Month in Menlo Park. This proclamation acknowledges how affordable housing enhances community life, character, and vitality by providing adequate housing opportunities for all income levels. In May 2024, the City held a Housing Resource Fair at Ivy Plaza in Belle Haven with local housing providers and housing service organizations. The event offered information on affordable housing opportunities, housing rehabilitation, and support services.
- Program EJ5.E (First-time Homeowner Assistance) commits the City, in part, to help facilitate first-time homeownership in underserved communities. As part of the City’s Below Market Rate Housing Program, the City requires prospective below market rate homebuyers to complete a first time homebuyer education workshop, class, or counseling session. The

City has partnered with Habitat for Humanity of Greater San Francisco to create low income homeownership opportunities such as the project at 335 Pierce Road where the City granted Habitat \$3.6 million in April 2024 to develop a low income homeownership project (8 units).

- Program EJ5.G (Anti-Displacement Strategy) commits the City to develop an Anti-Displacement Strategy in line with Housing Element Program H2.E (Anti-Displacement Strategy) and especially in support of underserved communities. In 2024, the City collaborated with the Housing Endowment and Regional Trust (HEART) of San Mateo County to prepare the Anti-Displacement Strategy and work is underway. Building from the feedback received during preparation of the Housing Element and EJ Element, staff identified a list of Anti-Displacement Strategy tools. These tools include the adoption of a just-cause eviction ordinance and establishment of formal rental assistance and access to legal assistance programs. In Nov. 2024, the City conducted two community meetings (one in monolingual Spanish) to learn more about the community's prioritization of various Anti-Displacement Strategy tools and understand what would be most impactful. Staff is continuing to build on this work and will be launching an Anti-Displacement Strategy survey to gather more input before presenting the findings and tools to the City Council at a study session in 2025. Housing Element Program H2.E (Anti-Displacement Strategy) was implemented in 2024, particularly items f. through i, described below:
 - f. and g.: The City provided tenant education to connect tenants to housing supportive programs and ensure that tenants are aware of their rights and access to legal counsel by posting resources on the City's housing website, developing a housing resources guide, and hosting events such as the May 2024 Housing Resource Fair.
 - h. and i.: The City and HEART are developing the Anti-Displacement Strategy which includes the consideration of expanding just cause eviction provisions beyond current law to include tenants of any tenure and increasing the time of rent relocation assistance required to be paid by landlords.

Goal EJ4: Promote access to high quality and affordable food (Community Priority #2)

- Program E4.B (Food Assistance Outreach) commits the City to inform low-income households and people experiencing homelessness about food assistance programs. In 2024, the City's Housing Resource Guide was updated to highlight food pantries/food assistance services and shelter services, and was distributed to RV dwellers regularly parked in the Bohannon Park area.
- Program EJ4.E.3 commits the City to encourage and simplify the process of developing community gardens. MidPen's Oak Gardens, a 100% affordable residential development, located on the VA Campus includes a community garden for its residents. The City continues to encourage opportunities for these amenities for its residents and beyond.

Goal EJ2: Reduce pollution exposure and improve air quality (Community Priority #3)

- Program EJ2.B (Climate Action Plan Implementation) commits the City to implement and periodically update the City's Climate Action Plan (CAP). The CAP is subject to annual progress reports (tentative review by the City Council in August 2025) and is scheduled for an update in 2028. The City Council adopted a 2025-2030 implementation scope of work with the 2024 progress report outlining priority actions to achieve carbon neutrality by 2030. In 2024, the City implemented a zero emission landscaping equipment rule to improve air quality and reduce emissions. The new ordinance requires use of zero emission (manual, electric or battery powered) landscaping equipment, starting with leaf blowers and string trimmers on July 1, 2024, and remaining equipment (chain saws, lawnmowers and hedge trimmers) in January 2029. An electric gardening voucher program was also implemented in

2024 to support the new regulations. CAP implementation also includes education and outreach which has prioritized bilingual outreach in Belle Haven and the Bayfront. The City co-hosted three events in 2024: the first Love Our Earth Festival at Bloomhouse in East Palo Alto for proximity to Belle Haven, Clean Air Day celebration at the TIDE Academy, and Wetlands and Watts at Cooley Landing. In April 2025, the City will co-host the second Love Our Earth Festival at BHCC alongside 350 Silicon Valley, Acterra, City of East Palo Alto, Menlo Spark, and Peninsula Clean Energy.

- Action Item EJ2.I.3 includes installing improved vegetative buffers between freeways and highways and adjacent land uses to reduce noise and air quality impacts. In 2024, the City planted new trees (African Fern Pines) along both sides of the US-101 sound walls along Pierce Road and Van Buren Road and at the intersection of Van Buren Road and Bay Road. Progress has also continued on the Willow Road/US-101 interchange landscaping work. In 2024, the City entered into agreements with Caltrans and the San Mateo County Transportation Authority to complete the landscaping design work and a design contract was awarded to complete the work. As of early 2025, the plans are 95% complete and final plans are expected in the spring. The project would then be bid for construction, and installation is expected to begin in late 2025.

Goal EJ1: Address unique and compounded health risks

- Program EJ1.A (Prioritizing Public/Capital Improvements) commits the City to prioritize public/capital improvements needed in underserved communities and to address climate change. In 2024, the City participated in a program to replace the gas water heaters at the Belle Haven Child Development Center as part of an effort to electrify the facility. The City secured a grant from Peninsula Clean Energy (PCE) for approximately \$20,000 to support building electrification of space conditioning and cooking equipment and City staff included the facility in the PCE GovPV program in 2023 to install solar on public buildings. The City also received a \$50 million Federal Emergency Management Agency (FEMA) grant for the SAFER Bay Project. A request for proposals for the design work was issued in 2024. The design is planned to begin in early 2025 and be completed in 2027.
- Program EJ1.D (CalEnviroScreen Review) commits the City to use CalEnviroScreen to support evaluation of EJ Element policies and programs. CalEnviroScreen 4.0 was used to determine eligibility for the City's zero emission landscape equipment voucher program which began in 2024. Residents living in a disproportionately burdened neighborhood (pollution burden score above 60) were able to receive a \$250 voucher towards the purchase of an electric leaf blower or string trimmer.

Goal EJ3: Equitably provide appropriate public facilities to individuals and communities

- Program EJ3.C (Expand Internet Access) commits the City, in part, to expand outreach and community access to the City Library's laptop and wireless hotspot, or similar, borrowing programs. In 2024, the City facilitated 1,658 laptop loans, 317 wireless hotspot loans, and 255,852 wireless sessions at the libraries. In 2025 and 2026, even more loans and sessions are anticipated with full equipment capacity available at the BHCC.
- Action Item EJ3.G.2 includes providing equitable access to programs at BHCC by adjusting costs for residents of underserved communities. In May 2024, a hyperlocal resident enrollment fee program began. Menlo Park residents who live or attend K-12 school within the BHCC service area (generally the area north of the US-101 and also the Flood Triangle neighborhood) are eligible for hyperlocal resident enrollment fees at BHCC. As of Feb. 2025, there are approximately 1,383 hyperlocal residents registered with the City for eligibility to receive the lower cost fees.

Goal EJ6: Encourage physical activity and active transportation

- Program EJ6.A (Outdoor Physical Activity) commits the City to identify and eliminate barriers to outdoor physical activity such as through the implementation of complete streets. The City continually evaluates street resurfacing projects for inclusion of complete street goals (e.g., traffic calming, signing and striping, bicycle lane, accessible curb ramp upgrades) where applicable. The City installed upgrades at eleven intersections along Ivy Drive and Newbridge Street as part of the Belle Haven Traffic Calming Project, which was completed in 2024. The work generally includes new bulb-outs, curb ramps, and crosswalks to promote pedestrian connectivity and safety.
- Program EJ6.B (Public Safety Education) commits the City, in part, to improve EJ by advancing equity and increasing mobility options and bicycle and pedestrian safety. In 2024, the Vision Zero Action Plan, which is part of the City’s Transportation Plan, was adopted. The Vision Zero Action Plan identifies high priority systemic safety issues to be addressed in all neighborhoods, with a focus on underserved communities.

Goal EJ7: Create equitable civic and community engagement

- Program EJ7.B (Meeting People Where They Are) commits the City to hold more public meetings in locations and methods easily accessible to underserved communities. In Aug. 2024, the Planning Commission reviewed and recommended to the City Council the adoption of the EJ Element at BHCC. In 2025, more public meetings are planned to occur at BHCC. Public meetings are typically simulcast online to increase access and participation. The City has provided transportation to City Council meetings from Belle Haven for the annual priority setting workshop, its annual reorganization meeting in Dec. 2024, and will be exploring opportunities for additional services in 2025.
- Action Item EJ7.D.8 includes incorporating multilingual outreach for public meetings and offering interpretation services. In 2024, the preparation of the EJ Element included community meetings and public meetings with the Planning Commission and City Council. When possible, meeting materials were provided in both English and Spanish and live interpretation was provided. Monolingual Spanish meetings were provided as well. During development of the Vision Zero Action Plan in 2023 and 2024, bilingual outreach with pop-events were held at Belle Haven Elementary School and the Menlo Park Farmer's Market.

10. Appendices

The following documents are included with this APR:

- Appendix A – Housing Element APR
- Appendix B – EJ Element Action Guide (Updated February 2025)

Jurisdiction	Menlo Park	
Reporting Year	2024	(Jan. 1 - Dec. 31)
Housing Element Planning Period	6th Cycle	01/31/2023 - 01/31/2031

Building Permits Issued by Affordability Summary		
Income Level		Current Year
Very Low	Deed Restricted	60
	Non-Deed Restricted	21
Low	Deed Restricted	0
	Non-Deed Restricted	31
Moderate	Deed Restricted	0
	Non-Deed Restricted	26
Above Moderate		38
Total Units		176

Note: Units serving extremely low-income households are included in the very low-income

Units by Structure Type	Entitled	Permitted	Completed
Single-family Attached	0	0	0
Single-family Detached	12	57	29
2 to 4 units per structure	2	0	0
5+ units per structure	8	62	0
Accessory Dwelling Unit	1	57	39
Mobile/Manufactured Home	0	0	0
Total	23	176	68

Infill Housing Developments and Infill Units Permitted	# of Projects	Units
Indicated as Infill	95	176
Not Indicated as Infill	0	0

Housing Applications Summary	
Total Housing Applications Submitted:	25
Number of Proposed Units in All Applications Received:	701
Total Housing Units Approved:	36
Total Housing Units Disapproved:	0

Use of SB 423 Streamlining Provisions - Applications	
Number of SB 423 Streamlining Applications	0
Number of SB 423 Streamlining Applications Approved	0

Units Constructed - SB 423 Streamlining Permits			
Income	Rental	Ownership	Total
Very Low	0	0	0
Low	0	0	0
Moderate	0	0	0
Above Moderate	0	0	0
Total	0	0	0

Streamlining Provisions Used - Permitted Units	# of Projects	Units
SB 9 (2021) - Duplex in SF Zone	2	2
SB 9 (2021) - Residential Lot Split	2	4
AB 2011 (2022)	0	0
SB 6 (2022)	0	0
SB 423 (2023)	0	0

Ministerial and Discretionary Applications	# of	Units
Ministerial	19	26
Discretionary	6	675

Density Bonus Applications and Units Permitted	
Number of Applications Submitted Requesting a Density Bonus	0
Number of Units in Applications Submitted Requesting a Density Bonus	0
Number of Projects Permitted with a Density Bonus	0
Number of Units in Projects Permitted with a Density Bonus	0

Housing Element Programs Implemented and Sites Rezoned	Count
Programs Implemented	69
Sites Rezoned to Accommodate the RHNA	0

Jurisdiction	Menlo Park	
Reporting Year	2024	(Jan. 1 - Dec. 31)
Planning Period	6th Cycle	01/31/2023 - 01/31/2031

ANNUAL ELEMENT PROGRESS REPORT
Housing Element Implementation

Note: "+" indicates an optional field
Cells in grey contain auto-calculation formulas

Table A
Housing Development Applications Submitted

Project Identifier				Unit Types		Date Application Submitted	Proposed Units - Affordability by Household Incomes							Total Approved Units by Project	Total Disapproved Units by Project	Streamlining	Density Bc Applic		
1				2	3	4	5							6	7	8	9	10	
Prior APN*	Current APN	Street Address	Project Name*	Local Jurisdiction Tracking ID	Unit Category (SFA, SFD, 2 to 4.5+, ADU, MH)	Tenure R=Renter O=Owner	Date Application Submitted (see instructions)	Very Low-Income Deed Restricted	Very Low-Income Non Deed Restricted	Low-Income Deed Restricted	Low-Income Non Deed Restricted	Moderate-Income Deed Restricted	Moderate-Income Non Deed Restricted	Above Moderate-Income	Total PROPOSED Units by Project	Total APPROVED Units by project	Total DISAPPROVED Units by Project	Please select state streamlining provision/s the application was submitted pursuant to.	Did the housing development application seek incentives or concessions pursuant to Government Code section 65915?
Summary Row: Start Data Entry Below							0	2	133	7	0	1	558	701	36	0			
	71231110	595 HOBART STREET		PLN2024-00013	SFD	O	3/7/2024							2	2	2		NONE	No
	71394280	316 PRINCETON ROAD		PLN2024-00022	SFD	O	6/10/2024						1	1	2	2		NONE	No
	71362040	1460 BAY LAUREL DRIVE		PLN2024-00017	SFD	O	5/20/2024			1				1	2	2		NONE	No
	71212040	1401 SANTA CRUZ AVENUE		PLN2024-00024	SFD	O	7/5/2024		1					1	2	2		NONE	No
	71241010	801 HERMOSA WAY		PLN2024-00030	SFD	O	7/17/2024		1					1	2	2		NONE	No
	71405170	854 CAMBRIDGE AVENUE		BLD2024-00051	SFD	O	1/8/2024							1	1	1		NONE	No
	71405170	854 CAMBRIDGE AVENUE		BLD2024-00052	ADU	R	1/8/2024							1	1	1		NONE	No
	62370200	98 BEACON STREET		BLD2024-00075	ADU	R	1/9/2024							1	1	1		NONE	No
	62272560	260 SANTA MARGARITA AVENUE		BLD2024-00341	SFD	O	2/5/2024							1	1	1		NONE	No
	71231320	725 HOBART STREET		BLD2024-00357	SFD	O	2/6/2024							2	2	2		NONE	No
	71093290	1360 CRANE STREET		BLD2024-00442	ADU	R	2/15/2024							1	1	1		NONE	No
	71411400	752 COLLEGE AVENUE		BLD2024-00764	SFD	O	3/19/2024			1				1	2	2		NONE	No
	71173180	765 MAGNOLIA STREET		BLD2024-01033	SFD	O	4/15/2024			1				1	2	2		NONE	No
	71213250	1012 COTTON STREET		BLD2024-01108	ADU	R	4/23/2024							1	1	1		NONE	No
	71342040	1140 BAY LAUREL DRIVE		BLD2024-01115	SFD	O	4/24/2024			1				1	2	2		NONE	No

Jurisdiction	Menlo Park	
Reporting Year	2024	(Jan. 1 - Dec. 31)
Planning Period	6th Cycle	01/31/2023 - 01/31/2031

ANNUAL ELEMENT PROGRESS REPORT
Housing Element Implementation

Note: "+" indicates an optional field

Cells in grey contain auto-calculation formulas

Table A
Housing Development Applications Submitted

Project Identifier				Unit Types		Date Application Submitted	Proposed Units - Affordability by Household Incomes								Total Approved Units by Project	Total Disapproved Units by Project	Streamlining	Density Bc Applic	
1				2	3	4	5								6	7	8	9	10
Prior APN*	Current APN	Street Address	Project Name*	Local Jurisdiction Tracking ID	Unit Category (SFA, SFD, 2 to 4, 5+, ADU, MH)	Tenure R=Renter O=Owner	Date Application Submitted (see instructions)	Very Low-Income Deed Restricted	Very Low-Income Non Deed Restricted	Low-Income Deed Restricted	Low-Income Non Deed Restricted	Moderate-Income Deed Restricted	Moderate-Income Non Deed Restricted	Above Moderate-Income	Total PROPOSED Units by Project	Total APPROVED Units by project	Total DISAPPROVED Units by Project	Please select state streamlining provision/s the application was submitted pursuant to.	Did the housing development application seek incentives or concessions pursuant to Government Code section 65915?
	71021100	1211 ELDER AVENUE		BLD2024-01260	SFD	O	5/8/2024				1			1	2	2		NONE	No
	71012220	1130 ORANGE AVENUE		BLD2024-01337	ADU	R	5/14/2024							1	1	1		NONE	No
	71392010	490 YALE ROAD		BLD2024-01554	SFD	O	6/6/2024							1	1	1		NONE	No
	71052140	1275 HERMOSA WAY		BLD2024-01688	SFD	O	6/18/2024				1			1	2	2		NONE	No
	71350120	1265 BAY LAUREL DRIVE		BLD2024-01978	SFD	O	7/15/2024							1	1	1		NONE	No
	63142040	2160 MENALTO AVENUE		BLD2024-02051	SFD	O	7/22/2024							1	1	1		NONE	No
	71370380	360 SAN MATEO DRIVE		BLD2024-02124	SFD	O	7/30/2024				1			1	2	2		NONE	No
	71364140	1481 MIDDLE AVENUE		BLD2024-02312	SFD	O	8/16/2024							1	1	1		NONE	No
	61326020	178 FELTON DRIVE		BLD2024-02371	ADU	R	8/22/2024							1	1	1		NONE	No
	62423040	80 WILLOW ROAD	WILLOW PARK	PLN2023-00049	MH	R	5/24/2024				133			532	665	0		NONE	No
															0				
															0				
															0				
															0				
															0				
															0				
															0				

Table A2

Annual Building Activity Report Summary - New Construction, Entitled, Permits and Completed Units

Project Identifier				Unit Types		Affordability by Household Incomes - Completed Entitlement									
1				2	3	4							5	6	
Prior APN*	Current APN	Street Address	Project Name*	Local Jurisdiction Tracking ID	Unit Category (SFA,SFD,2 to 4,5+,ADU,MH)	Tenure R=Renter O=Owner	Very Low-Income Deed Restricted	Very Low-Income Non Deed Restricted	Low-Income Deed Restricted	Low-Income Non Deed Restricted	Moderate-Income Deed Restricted	Moderate-Income Non Deed Restricted	Above Moderate-Income	Entitlement Date Approved	# of Units issued Entitlements
Summary Row: Start Data Entry Below							0	0	1	0	0	0	0	22	23
	71403280	440 UNIVERSITY DRIVE		PLN2022-00050 BLD2023-00239	ADU	R		1						4/4/2023	1
	62470060	795 WILLOW ROAD		PLN2022-00055	5+	R	60						2	5/15/2023	62
	63452390	1383 WOODLAND AVENUE		PLN2022-00057 BLD2023-01889	ADU	R			1					6/6/2023	1
	71014120	1350 DELFINO WAY		PLN2022-00058 BLD2023-03457	ADU	R			1					8/28/2023	1
	71042290	1340 HILLVIEW DRIVE		PLN2022-00060 BLD2023-00617	ADU	R			1					2/28/2023	1
	71342090	248 SAN MATEO DRIVE		PLN2023-00002 BLD2022-00385	ADU	R			1					6/27/2023	1
	62233170	711 CENTRAL AVENUE		PLN2023-00004 BLD2023-02776	ADU	R					1			8/28/2023	1
	71180050	1664 OAK AVENUE		PLN2023-00011 BLD2024-00006	ADU	R					1			11/13/2023	1
	71405170	854 CAMBRIDGE AVENUE		PLN2023-00012 BLD2024-00052	ADU	R					1			11/13/2023	1
	71383010	1310 BAY LAUREL DRIVE		PLN2023-00014 BLD2023-02791	SFD	O					1	1		8/28/2023	2
	71403200	848 COLLEGE AVENUE		PLN2023-00016 BLD2023-03399	ADU	R					1			11/13/2023	1
	71231320	725 HOBART STREET		PLN2023-00019 BLD2024-00357	ADU	R							1	11/13/2023	1
	55292270	143 DUNSMUIR WAY		BLD2022-01970	ADU	R									0
	55382150	1352 MADERA AVENUE		BLD2022-02622	ADU	R									0
	61390060	1545 LAUREL PLACE		BLD2022-01213	ADU	R									0
	61412020	1161 NOEL DRIVE		BLD2022-00048	ADU	R									0
	61412020	1161 NOEL DRIVE		BLD2022-00618	ADU	R									0
	62101180	780 IVY DRIVE		BLD2023-00249	ADU	R									0
	62211130	408 CHESTER STREET		BLD2023-00441	ADU	R									0
	62215150	316 GRAYSON COURT		BLD2022-03198	ADU	R									0
	62271200	280 SAN LUIS DRIVE		BLD2022-02681	ADU	R									0
	62331230	4 RUSSELL COURT		BLD2023-01810	ADU	R									0
	62412190	300 SHERWOOD WAY		BLD2023-02014	ADU	R									0
	63430230	188 ELLIOTT DRIVE, UNIT A		BLD2022-00836	ADU	R									0
	63441420	325 OCONNOR STREET		BLD2022-03286	ADU	R									0
	71021050	3 WILLIAM COURT		BLD2022-02540	ADU	R									0
	71022160	1220 N LEMON AVENUE		BLD2022-01928	ADU	R									0
	71042290	1340 HILLVIEW DRIVE		BLD2023-00617	ADU	R									0
	71051240	1170 MAY BROWN AVENUE		BLD2022-02851	ADU	R									0
	71211180	972 OLIVE STREET		BLD2022-02488	ADU	R									0

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Annual Building Activity Report Summary - New Construction, Entitled, Permits and Completed Units

Project Identifier				Unit Types		Affordability by Household Incomes - Completed Entitlement									
1				2	3	4								5	6
Prior APN*	Current APN	Street Address	Project Name*	Local Jurisdiction Tracking ID	Unit Category (SFA,SFD,2 to 4,5+,ADU,MH)	Tenure R=Renter O=Owner	Very Low-Income Deed Restricted	Very Low-Income Non Deed Restricted	Low-Income Deed Restricted	Low-Income Non Deed Restricted	Moderate-Income Deed Restricted	Moderate-Income Non Deed Restricted	Above Moderate-Income	Entitlement Date Approved	# of Units issued Entitlements
	71213170	1016 COTTON STREET		BLD2022-01745	ADU	R									0
	71252260	3 REYNA PLACE		BLD2022-03072	ADU	R									0
	71393050	317 PRINCETON ROAD		BLD2022-03380	ADU	R									0
	71393060	309 PRINCETON ROAD		BLD2022-02217	ADU	R									0
	71431110	848 HARVARD AVENUE		BLD2022-01981	ADU	R									0
	74092030	765 STANFORD AVENUE		PLN2023-00017	SFD	O							1	1/9/2024	1
	62352060	154 LAUREL AVENUE		PLN2023-00028	SFD	O							1	1/9/2024	1
	71392010	490 YALE ROAD		PLN2023-00034 BLD2024-01554	SFD	O							1	2/5/2024	1
	71411400	752 COLLEGE AVENUE		PLN2023-00013	SFD	O							1	2/6/2024	1
	62451050	341 LINFIELD DRIVE		PLN2023-00045	SFD	O							1	4/18/2024	1
	62233100	219 DURHAM STREET		PLN2023-00043	SFD	O							1	5/1/2024	1
	71103420	1220 HOOVER STREET		PLN2021-00059	5+	O			1				7	7/9/2024	8
	712311110	595 HOBART STREET		PLN2024-00013	SFD	O							1	8/12/2024	1
	71175030	805 EVERGREEN STREET		PLN2023-00047	SFD	O							1	8/13/2024	1
	71412370	736 PARTRIDGE AVENUE		PLN2023-00046	2 to 4	O							2	9/9/2024	2
	71394280	316 PRINCETON ROAD		PLN2024-00022	SFD	O							1	9/23/2024	1
	74092330	789 STANFORD AVENUE		PLN2023-00052	ADU	R							1	10/28/2024	1
	71362040	1460 BAY LAUREL DRIVE		PLN2024-00017 BLD2024-02358	SFD	O							1	10/28/2024	1
	71212040	1401 SANTA CRUZ AVENUE		PLN2024-00024	SFD	O							1	11/4/2024	1
	71241010	801 HERMOSA WAY		PLN2024-00030	SFD	O							1	11/19/2024	1
	62441110	152 EAST CREEK DRIVE		BLD2022-03308	SFD	O									0
	71112070	1980 SANTA CRUZ AVENUE		BLD2023-02260	ADU	R									0
	71382040	1280 BAY LAUREL DRIVE		BLD2023-02971	ADU	R									0
	71251020	845 SAN MATEO DRIVE		BLD2022-03027	SFD	O									0
	71180680	575 OLIVE STREET		BLD2022-01172	SFD	O									0
	71350100	1235 BAY LAUREL DRIVE		BLD2022-00392	SFD	O									0
	71213050	1001 HERMOSA WAY		BLD2023-02835	ADU	R									0
	71071060	1231 ARBOR ROAD		BLD2023-01566	ADU	R									0
	71071060	1231 ARBOR ROAD		BLD2023-01758	ADU	R									0

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Annual Building Activity Report Summary - New Construction, Entitled, Permits and Completed Units

Project Identifier				Unit Types		Affordability by Household Incomes - Completed Entitlement									
1				2	3	4								5	6
Prior APN*	Current APN	Street Address	Project Name*	Local Jurisdiction Tracking ID	Unit Category (SFA,SFD,2 to 4,5+,ADU,MH)	Tenure R=Renter O=Owner	Very Low-Income Deed Restricted	Very Low-Income Non Deed Restricted	Low-Income Deed Restricted	Low-Income Non Deed Restricted	Moderate-Income Deed Restricted	Moderate-Income Non Deed Restricted	Above Moderate-Income	Entitlement Date Approved	# of Units issued Entitlements
	71051110	1250 HERMOSA WAY		BLD2023-00536	SFD	O									0
	62311600	167 MCKENDRY DRIVE		BLD2023-01884	SFD	O									0
	74342010	1065 CASCADE DRIVE		BLD2023-02164	SFD	O									0
	71361130	1585 BAY LAUREL DRIVE		BLD2023-02844	ADU	R									0
	71361130	1585 BAY LAUREL DRIVE		BLD2023-02880	SFD	O									0
	71342090	248 SAN MATEO DRIVE		BLD2022-03383	SFD	O									0
	71350010	99 SAN MATEO DRIVE		BLD2023-02905	ADU	R									0
	62522240	120 HANNA WAY		BLD2023-03195	ADU	R									0
	71201040	1700 BAY LAUREL DRIVE		BLD2023-02640	ADU	R									0
	71180310	520 GRACE DRIVE		BLD2023-03180	SFD	O									0
	74203010	2316 LOMA PRIETA LANE		BLD2023-03122	SFD	O									0
	62370200	98 BEACON STREET		BLD2024-00075	ADU	O									0
	71405170	854 CAMBRIDGE AVENUE		BLD2024-00051	SFD	O									0
	63462130	1990 BYERS DRIVE		BLD2023-02781	ADU	O									0
	71093290	1360 CRANE STREET		BLD2024-00442	ADU	O									0
	74182020	955 MONTE ROSA DRIVE		BLD2023-02679	SFD	O									0
	63425200	153 OAK COURT		BLD2023-00107	SFD	O									0
	74112110	2171 CLAYTON DRIVE		BLD2022-00675	SFD	O									0
	71224260	1147 WINDSOR WAY		BLD2022-03326	SFD	O									0
	71253240	900 WALLEA DRIVE		BLD2023-01847	SFD	O									0
	63453140	488 OAK COURT		BLD2023-02934	SFD	O									0
	63453140	488 OAK COURT		BLD2023-02937	SFD	O									0
	71213250	1012 COTTON STREET		BLD2024-01108	ADU	R									0
	71342040	1140 BAY LAUREL DRIVE		BLD2024-01115	SFD	O									0
	71012220	1130 ORANGE AVENUE		BLD2024-01337	ADU	R									0
	6227560	260 SANTA MARGARITA AVENUE		BLD2024-00341	SFD	O									0
	71364030	8 GARLAND PLACE		BLD2022-03379	SFD	O									0
	71072150	1076 SANTA CRUZ AVENUE		BLD2023-00089	SFD	O									0
	55331180	341 TERMINAL AVENUE		BLD2021-01911	SFD	O									0
	55302010	224 HEDGE ROAD		BLD2022-00669	SFD	O									0
	71052140	1275 HERMOSA WAY		BLD2024-01688	SFD	O									0

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Annual Building Activity Report Summary - New Construction, Entitled, Permits and Completed Units

Project Identifier				Unit Types		Affordability by Household Incomes - Completed Entitlement									
1				2	3	4								5	6
Prior APN*	Current APN	Street Address	Project Name*	Local Jurisdiction Tracking ID	Unit Category (SFA,SFD,2 to 4,5+,ADU,MH)	Tenure R=Renter O=Owner	Very Low-Income Deed Restricted	Very Low-Income Non Deed Restricted	Low-Income Deed Restricted	Low-Income Non Deed Restricted	Moderate-Income Deed Restricted	Moderate-Income Non Deed Restricted	Above Moderate-Income	Entitlement Date Approved	# of Units issued Entitlements
	63142040	2160 MENALTO AVENUE		BLD2024-02051	SFD	O									0
	71173180	765 MAGNOLIA STREET		BLD2024-01033	SFD	O									0
	71021100	1211 ELDER AVENUE		BLD2024-01260	SFD	O									0
	61326020	178 FELTON DRIVE		BLD2024-02371	ADU	R									0
	63425590	1143 WOODLAND AVENUE		BLD2024-02371	ADU	R									0
	71350120	1265 BAY LAUREL DRIVE		BLD2024-01978	SFD	O									0
	71411400	752 COLLEGE AVENUE		BLD2024-00764	SFD	O									0
	71370380	360 SAN MATEO DRIVE		BLD2024-02124	SFD	O									0
	71044050	1340 COTTON STREET		BLD2022-03294	SFD	O									0
	71364140	1481 MIDDLE AVENUE		BLD2024-02312	SFD	O									0
	62354080	328 CENTRAL AVENUE		BLD2021-03255	ADU	R									0
	55294070	211 OAKHURST PLACE		BLD2023-01269	ADU	R									0
	63425060	1918 MENALTO AVENUE, UNIT A		BLD2023-03109	ADU	R									0
	62521160	100 RIORDAN PLACE		BLD2023-02560	ADU	R									0
	62215160	320 GRAYSON COURT		BLD2023-01030	ADU	R									0
	71232160	1460 MIDDLE AVENUE		BLD2023-00011	ADU	R									0
	63461040	1983 BYERS DRIVE		BLD2023-02884	ADU	R									0
	62454060	188 EAST CREEK DRIVE		BLD2023-02136	ADU	R									0
	71421040	113 PRINCETON ROAD		BLD2023-02470	ADU	R									0
	61021250	911 PEGGY LANE		BLD2024-00535	ADU	R									0
	71032200	24 HESKETH DRIVE		BLD2024-00160	ADU	R									0
	62305080	236 MARMONA DRIVE		BLD2023-02317	ADU	R									0
	71411320	678 COLLEGE AVENUE		BLD2023-03492	ADU	R									0
	71404060	865 COLLEGE AVENUE		BLD2024-00227	ADU	R									0
	71350100	1235 BAY LAUREL DRIVE		BLD2024-00229	ADU	R									0
	71370100	440 CLAIRE PLACE		BLD2023-03505	ADU	R									0
	62211090	919 ARNOLD WAY		BLD2024-01210	ADU	R									0
	62063060	1028 HOLLYBURNE AVENUE		BLD2024-00016	ADU	R									0
	63430210	172 ELLIOTT DRIVE		BLD2023-01940	ADU	R									0

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Annual Building Activity Report Summary - New Construction, Entitled, Permits and Completed Units

Annual Building Activity Report Summary - New Construction, Entitled, Permits and Completed Units																
Project Identifier					Unit Types		Affordability by Household Incomes - Completed Entitlement									
1					2	3	4								5	6
Prior APN*	Current APN	Street Address	Project Name*	Local Jurisdiction Tracking ID	Unit Category (SFA,SFD,2 to 4,5+,ADU,MH)	Tenure R=Renter O=Owner	Very Low-Income Deed Restricted	Very Low-Income Non Deed Restricted	Low-Income Deed Restricted	Low-Income Non Deed Restricted	Moderate-Income Deed Restricted	Moderate-Income Non Deed Restricted	Above Moderate-Income	Entitlement Date Approved	# of Units issued Entitlements	
	71411370	728 COLLEGE AVENUE		BLD2023-03129	ADU	R									0	
	61411130	1103 LAUREL STREET		BLD2024-00082	ADU	R									0	
	61411140	1083 LAUREL STREET		BLD2024-00085	ADU	R									0	
	61401400	450 OAK GROVE AVENUE		BLD2024-00093	ADU	R									0	
	71020270	125 PINEVIEW LANE		BLD2024-00935	ADU	R									0	
	62352180	117 POPE STREET		BLD2024-00238	ADU	R									0	
	62035180	312 OAKWOOD PLACE		BLD2024-00238	ADU	R									0	
	71191080	1600 BAY LAUREL DRIVE		BLD2023-03269	ADU	R									0	
	62053050	1031 HENDERSON AVENUE		BLD2024-00267	ADU	R									0	
	62091120	1138 SEVIER AVENUE #A		BLD2024-01662	ADU	R									0	
	71041020	1465 VALPARAISO AVENUE		BLD2024-01697	ADU	R									0	
	63463580	483 O'CONNOR STREET		BLD2024-00110	ADU	R									0	
	71111370	1003 LOUISE STREET		BLD2024-01714	ADU	R									0	
	55293250	121 BAY ROAD		BLD2024-02189	ADU	R									0	
	62304210	209 MARMONA DRIVE		BLD2021-00480	SFD	O									0	
	62331070	824 WOODLAND AVENUE		BLD2019-01759	SFD	O									0	
	71180730	491 MIDDLE COURT		BLD2022-00966	SFD	O									0	
	71222040	7 CHERYL PLACE		BLD2021-02611	SFD	O									0	
	55293060	124 DUNSMUIR WAY		BLD2022-00415	SFD	O									0	
	71132100	1895 OAKDELL DRIVE		BLD2019-01475	SFD	O									0	
	71212180	958 HOBART STREET		BLD2019-01740	SFD	O									0	
	71084050	933 MILLIE AVENUE		BLD2021-03293	SFD	O									0	
	62304250	124 BLACKBURN AVENUE		BLD2021-02149	SFD	O									0	
	62381030	510 POPE STREET		BLD2022-03067	SFD	O									0	
	71111210	1017 LOUISE STREET		BLD2021-02989	SFD	O									0	
	62272760	269 WILLOW ROAD		BLD2022-01003	SFD	O									0	
	71043040	1221 COTTON STREET		BLD2022-00555	SFD	O									0	
	6341070	2058 MENALTO AVENUE		BLD2018-01286	SFD	O									0	
	62362130	309 LAUREL AVENUE		BLD2019-01462	SFD	O									0	

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Project Identifier				Unit Types		Affordability by Household Incomes - Completed Entitlement									
1				2	3	4								5	6
Prior APN*	Current APN	Street Address	Project Name*	Local Jurisdiction Tracking ID	Unit Category (SFA,SFD,2 to 4,5+,ADU,MH)	Tenure R=Renter O=Owner	Very Low-Income Deed Restricted	Very Low-Income Non Deed Restricted	Low-Income Deed Restricted	Low-Income Non Deed Restricted	Moderate-Income Deed Restricted	Moderate-Income Non Deed Restricted	Above Moderate-Income	Entitlement Date Approved	# of Units issued Entitlements
	71175140	680 LEMON STREET		BLD2021-00104	SFD	O									0
	62367010	330 LAUREL AVENUE		BLD2021-02233	SFD	O									0
	74230260	980 MONTE ROSA DRIVE		BLD2021-02528	SFD	O									0
	74182070	905 MONTE ROSA DRIVE		BLD2022-02482	SFD	O									0
	62361050	333 POPE STREET		BLD2019-01722	SFD	O									0
	71432050	69 CORNELL ROAD		BLD2023-00092	SFD	O									0
	71370260	1 MAYWOOD LANE		BLD2021-02643	SFD	O									0
	74351020	2240 AVY AVENUE		BLD2021-02467	SFD	O									0
	74343080	950 CONTINENTAL DRIVE		BLD2022-00218	SFD	O									0
	62051100	1031 ALMANOR AVENUE, UNIT A		BLD2018-01413	ADU	R									0
	71175140	237 SANTA MARGARITA AVENUE		BLD2021-00104	ADU	R									0
	62282170	676 NASH AVENUE, UNIT A		BLD2021-01722	ADU	R									0
	71061160	1125 SAN MATEO DRIVE		BLD2022-00956	ADU	R									0
	62352290	108 LAUREL AVENUE		BLD2022-01306	ADU	R									0
	71221120	5 BOLTON PLACE #A		BLD2022-01901	ADU	R									0

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Annual Building Activity Report Summary - New Construction, Entitled, Permits and Completed Units

Project Identifier			Affordability by Household Incomes - Building Permits							8	9
Current APN	Street Address	Project Name ⁺	7							Building Permits <u>Date Issued</u>	# of Units Issued Building Permits
			Very Low-Income Deed Restricted	Very Low-Income Non Deed Restricted	Low-Income Deed Restricted	Low-Income Non Deed Restricted	Moderate-Income Deed Restricted	Moderate-Income Non Deed Restricted	Above Moderate-Income		
			60	21	0	31	0	26	38		176
71403280	440 UNIVERSITY DRIVE			1						11/22/2023	1
62470060	795 WILLOW ROAD		60						2	11/8/2024	62
63452390	1383 WOODLAND AVENUE					1				2/15/2024	1
71014120	1350 DELFINO WAY					1				4/1/2024	1
71042290	1340 HILLVIEW DRIVE					1				7/6/2023	1
71342090	248 SAN MATEO DRIVE					1				4/29/2024	1
62233170	711 CENTRAL AVENUE							1		3/20/2024	1
71180050	1664 OAK AVENUE							1		7/29/2024	1
71405170	854 CAMBRIDGE AVENUE							1		6/11/2024	1
71383010	1310 BAY LAUREL DRIVE							1	1	2/15/2024	2
71403200	848 COLLEGE AVENUE							1		10/13/2024	1
71231320	725 HOBART STREET								1	5/23/2024	1
55292270	143 DUNSMUIR WAY			1						1/10/2023	1
55382150	1352 MADERA AVENUE			1						6/27/2023	1
61390060	1545 LAUREL PLACE			1						7/26/2023	1
61412020	1161 NOEL DRIVE			1						2/28/2023	1
61412020	1161 NOEL DRIVE			1						2/28/2023	1
62101180	780 IVY DRIVE			1						6/26/2023	1
62211130	408 CHESTER STREET			1						7/31/2023	1
62215150	316 GRAYSON COURT			1						5/16/2023	1

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Annual Building Activity Report Summary - New Construction, Entitled, Permits and Completed Units

Project Identifier			Affordability by Household Incomes - Building Permits							8	9	
Current APN	Street Address	Project Name ⁺	7							Building Permits <u>Date Issued</u>	# of Units Issued Building Permits	
			Very Low-Income Deed Restricted	Very Low-Income Non Deed Restricted	Low-Income Deed Restricted	Low-Income Non Deed Restricted	Moderate-Income Deed Restricted	Moderate-Income Non Deed Restricted	Above Moderate-Income			
62271200	280 SAN LUIS DRIVE			1							6/22/2023	1
62331230	4 RUSSELL COURT			1							9/29/2023	1
62412190	300 SHERWOOD WAY						1				11/8/2023	1
63430230	188 ELLIOTT DRIVE, UNIT A						1				5/24/2023	1
63441420	325 OCONNOR STREET						1				6/13/2023	1
71021050	3 WILLIAM COURT						1				5/11/2023	1
71022160	1220 N LEMON AVENUE						1				2/17/2023	1
71042290	1340 HILLVIEW DRIVE						1				7/6/2023	1
71051240	1170 MAY BROWN AVENUE						1				7/6/2023	1
71211180	972 OLIVE STREET								1		3/2/2023	1
71213170	1016 COTTON STREET								1		7/21/2023	1
71252260	3 REYNA PLACE								1		5/2/2023	1
71393050	317 PRINCETON ROAD								1		5/16/2023	1
71393060	309 PRINCETON ROAD								1		1/4/2023	1
71431110	848 HARVARD AVENUE								1		8/28/2023	1
74092030	765 STANFORD AVENUE											0
62352060	154 LAUREL AVENUE											0
71392010	490 YALE ROAD			1						1	12/17/2024	2
71411400	752 COLLEGE AVENUE											0
62451050	341 LINFIELD DRIVE											0

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Annual Building Activity Report Summary - New Construction, Entitled, Permits and Completed Units

Project Identifier			Affordability by Household Incomes - Building Permits							8	9	
Current APN	Street Address	Project Name ⁺	7							Building Permits <u>Date Issued</u>	# of Units Issued Building Permits	
			Very Low-Income Deed Restricted	Very Low-Income Non Deed Restricted	Low-Income Deed Restricted	Low-Income Non Deed Restricted	Moderate-Income Deed Restricted	Moderate-Income Non Deed Restricted	Above Moderate-Income			
62233100	219 DURHAM STREET											0
71103420	1220 HOOVER STREET											0
712311110	595 HOBART STREET											0
71175030	805 EVERGREEN STREET											0
71412370	736 PARTRIDGE AVENUE											0
71394280	316 PRINCETON ROAD											0
74092330	789 STANFORD AVENUE											0
71362040	1460 BAY LAUREL DRIVE			1						1	12/19/2024	2
71212040	1401 SANTA CRUZ AVENUE											0
71241010	801 HERMOSA WAY											0
62441110	152 EAST CREEK DRIVE									1	1/9/2024	1
71112070	1980 SANTA CRUZ AVENUE			1							1/9/2024	1
71382040	1280 BAY LAUREL DRIVE			1							1/29/2024	1
71251020	845 SAN MATEO DRIVE			1						1	2/2/2024	2
71180680	575 OLIVE STREET									1	2/13/2024	1
71350100	1235 BAY LAUREL DRIVE									1	3/1/2024	1
71213050	1001 HERMOSA WAY			1							3/5/2024	1
71071060	1231 ARBOR ROAD			1							3/26/2024	1
71071060	1231 ARBOR ROAD			1							3/26/2024	1

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Annual Building Activity Report Summary - New Construction, Entitled, Permits and Completed Units

Project Identifier			Affordability by Household Incomes - Building Permits							8	9	
Current APN	Street Address	Project Name ⁺	7							Building Permits <u>Date Issued</u>	# of Units Issued Building Permits	
			Very Low-Income Deed Restricted	Very Low-Income Non Deed Restricted	Low-Income Deed Restricted	Low-Income Non Deed Restricted	Moderate-Income Deed Restricted	Moderate-Income Non Deed Restricted	Above Moderate-Income			
71051110	1250 HERMOSA WAY			1						1	4/11/2024	2
62311600	167 MCKENDRY DRIVE									1	4/16/2024	1
74342010	1065 CASCADE DRIVE									1	4/16/2024	1
71361130	1585 BAY LAUREL DRIVE			1							4/24/2024	1
71361130	1585 BAY LAUREL DRIVE									1	4/25/2024	1
71342090	248 SAN MATEO DRIVE									1	4/29/2024	1
71350010	99 SAN MATEO DRIVE			1							4/29/2024	1
62522240	120 HANNA WAY			1							4/29/2024	1
71201040	1700 BAY LAUREL DRIVE			1							5/2/2024	1
71180310	520 GRACE DRIVE			1						1	5/21/2024	2
74203010	2316 LOMA PRIETA LANE			1						1	5/22/2024	2
62370200	98 BEACON STREET			1							5/23/2024	1
71405170	854 CAMBRIDGE AVENUE									1	6/11/2024	1
63462130	1990 BYERS DRIVE			1							6/21/2024	1
71093290	1360 CRANE STREET			1							6/21/2024	1
74182020	955 MONTE ROSA DRIVE			1						1	6/26/2024	2
63425200	153 OAK COURT									1	7/1/2024	1
74112110	2171 CLAYTON DRIVE									1	7/1/2024	1
71224260	1147 WINDSOR WAY			1						1	7/25/2024	2
71253240	900 WALLEA DRIVE			1						1	8/13/2024	2
63453140	488 OAK COURT						1			1	8/21/2024	2

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Annual Building Activity Report Summary - New Construction, Entitled, Permits and Completed Units

Project Identifier			Affordability by Household Incomes - Building Permits							8	9	
Current APN	Street Address	Project Name ⁺	7							Building Permits <u>Date Issued</u>	# of Units Issued Building Permits	
			Very Low-Income Deed Restricted	Very Low-Income Non Deed Restricted	Low-Income Deed Restricted	Low-Income Non Deed Restricted	Moderate-Income Deed Restricted	Moderate-Income Non Deed Restricted	Above Moderate-Income			
63453140	488 OAK COURT					1				1	8/21/2024	2
71213250	1012 COTTON STREET					1					8/22/2024	1
71342040	1140 BAY LAUREL DRIVE					1				1	9/16/2024	2
71012220	1130 ORANGE AVENUE					1					9/17/2024	1
6227560	260 SANTA MARGARITA AVENUE					1					9/24/2024	1
71364030	8 GARLAND PLACE					1				1	9/25/2024	2
71072150	1076 SANTA CRUZ AVENUE					1					9/25/2024	1
55331180	341 TERMINAL AVENUE					1					9/26/2024	1
55302010	224 HEDGE ROAD					1					9/26/2024	1
71052140	1275 HERMOSA WAY					1				1	10/17/2024	2
63142040	2160 MENALTO AVENUE					1					10/17/2024	1
71173180	765 MAGNOLIA STREET					1				1	10/22/2024	2
71021100	1211 ELDER AVENUE					1				1	10/22/2024	2
61326020	178 FELTON DRIVE					1					10/29/2024	1
63425590	1143 WOODLAND AVENUE					1					10/31/2024	1
71350120	1265 BAY LAUREL DRIVE					1					12/4/2024	1
71411400	752 COLLEGE AVENUE					1				1	12/6/2024	2
71370380	360 SAN MATEO DRIVE					1				1	12/11/2024	2
71044050	1340 COTTON STREET					1				1	12/17/2024	2
71364140	1481 MIDDLE AVENUE					1					12/20/2024	1

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Annual Building Activity Report Summary - New Construction, Entitled, Permits and Completed Units

Project Identifier			Affordability by Household Incomes - Building Permits							8	9	
Current APN	Street Address	Project Name ⁺	7							Building Permits <u>Date Issued</u>	# of Units Issued Building Permits	
			Very Low-Income Deed Restricted	Very Low-Income Non Deed Restricted	Low-Income Deed Restricted	Low-Income Non Deed Restricted	Moderate-Income Deed Restricted	Moderate-Income Non Deed Restricted	Above Moderate-Income			
62354080	328 CENTRAL AVENUE					1					2/5/2024	1
55294070	211 OAKHURST PLACE					1					2/16/2024	1
63425060	1918 MENALTO AVENUE, UNIT A					1					2/29/2024	1
62521160	100 RIORDAN PLACE					1					3/1/2024	1
62215160	320 GRAYSON COURT					1					3/7/2024	1
71232160	1460 MIDDLE AVENUE					1					4/2/2024	1
63461040	1983 BYERS DRIVE					1					4/2/2024	1
62454060	188 EAST CREEK DRIVE								1		4/17/2024	1
71421040	113 PRINCETON ROAD								1		4/18/2024	1
61021250	911 PEGGY LANE								1		4/24/2024	1
71032200	24 HESKETH DRIVE								1		5/14/2024	1
62305080	236 MARMONA DRIVE								1		5/29/2024	1
71411320	678 COLLEGE AVENUE								1		6/4/2024	1
71404060	865 COLLEGE AVENUE								1		6/18/2024	1
71350100	1235 BAY LAUREL DRIVE								1		6/20/2024	1
71370100	440 CLAIRE PLACE								1		7/1/2024	1
62211090	919 ARNOLD WAY								1		7/1/2024	1
62063060	1028 HOLLYBURNE AVENUE								1		7/9/2024	1
63430210	172 ELLIOTT DRIVE								1		7/10/2024	1

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Annual Building Activity Report Summary - New Construction, Entitled, Permits and Completed Units

Project Identifier			Affordability by Household Incomes - Building Permits							8	9	
Current APN	Street Address	Project Name ⁺	7							Building Permits <u>Date Issued</u>	# of Units Issued Building Permits	
			Very Low-Income Deed Restricted	Very Low-Income Non Deed Restricted	Low-Income Deed Restricted	Low-Income Non Deed Restricted	Moderate-Income Deed Restricted	Moderate-Income Non Deed Restricted	Above Moderate-Income			
71411370	728 COLLEGE AVENUE								1		7/10/2024	1
61411130	1103 LAUREL STREET								1		7/22/2024	1
61411140	1083 LAUREL STREET								1		7/22/2024	1
61401400	450 OAK GROVE AVENUE								1		7/22/2024	1
71020270	125 PINEVIEW LANE								1		7/24/2024	1
62352180	117 POPE STREET								1		8/1/2024	1
62035180	312 OAKWOOD PLACE								1		8/13/2024	1
71191080	1600 BAY LAUREL DRIVE								1		8/13/2024	1
62053050	1031 HENDERSON AVENUE								1		8/21/2024	1
62091120	1138 SEVIER AVENUE #A									1	9/12/2024	1
71041020	1465 VALPARAISO AVENUE									1	9/30/2024	1
63463580	483 O'CONNOR STREET									1	10/16/2024	1
71111370	1003 LOUISE STREET									1	11/6/2024	1
55293250	121 BAY ROAD									1	12/10/2024	1
62304210	209 MARMONA DRIVE											0
62331070	824 WOODLAND AVENUE											0
71180730	491 MIDDLE COURT											0
71222040	7 CHERYL PLACE											0
55293060	124 DUNSMUIR WAY											0

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Annual Building Activity Report Summary - New Construction, Entitled, Permits and Completed Units

Project Identifier			Affordability by Household Incomes - Building Permits							8	9
Current APN	Street Address	Project Name ⁺	7							Building Permits <u>Date Issued</u>	# of Units Issued Building Permits
			Very Low-Income Deed Restricted	Very Low-Income Non Deed Restricted	Low-Income Deed Restricted	Low-Income Non Deed Restricted	Moderate-Income Deed Restricted	Moderate-Income Non Deed Restricted	Above Moderate-Income		
71132100	1895 OAKDELL DRIVE										0
71212180	958 HOBART STREET										0
71084050	933 MILLIE AVENUE										0
62304250	124 BLACKBURN AVENUE										0
62381030	510 POPE STREET										0
71111210	1017 LOUISE STREET										0
62272760	269 WILLOW ROAD										0
71043040	1221 COTTON STREET										0
6341070	2058 MENALTO AVENUE										0
62362130	309 LAUREL AVENUE										0
71175140	680 LEMON STREET										0
62367010	330 LAUREL AVENUE										0
74230260	980 MONTE ROSA DRIVE										0
74182070	905 MONTE ROSA DRIVE										0
62361050	333 POPE STREET										0
71432050	69 CORNELL ROAD										0
71370260	1 MAYWOOD LANE										0
74351020	2240 AVY AVENUE										0
74343080	950 CONTINENTAL DRIVE										0

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Annual Building Activity Report Summary - New Construction, Entitled, Permits and Completed Units

Project Identifier			Affordability by Household Incomes - Building Permits							8	9
			7								
Current APN	Street Address	Project Name ⁺	Very Low- Income Deed Restricted	Very Low- Income Non Deed Restricted	Low- Income Deed Restricted	Low- Income Non Deed Restricted	Moderate- Income Deed Restricted	Moderate- Income Non Deed Restricted	Above Moderate- Income	Building Permits <u>Date</u> <u>Issued</u>	# of Units Issued Building Permits
62051100	1031 ALMANOR AVENUE, UNIT A										0
71175140	237 SANTA MARGARITA AVENUE										0
62282170	676 NASH AVENUE, UNIT A										0
71061160	1125 SAN MATEO DRIVE										0
62352290	108 LAUREL AVENUE										0
71221120	5 BOLTON PLACE #A										0

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Annual Building Activity Report Summary - New Construction, Entitled, Permits and Completed Units

Project Identifier			Affordability by Household Incomes - Certificates of Occupancy								11	12
Current APN	Street Address	Project Name ⁺	10							Above Moderate-Income	Certificates of Occupancy or other forms of readiness (see instructions) <u>Date Issued</u>	# of Units issued Certificates of Occupancy or other forms of readiness
			Very Low-Income Deed Restricted	Very Low-Income Non Deed Restricted	Low-Income Deed Restricted	Low-Income Non Deed Restricted	Moderate-Income Deed Restricted	Moderate-Income Non Deed Restricted	Above Moderate-Income			
			0	14	0	8	0	11	35		68	
71403280	440 UNIVERSITY DRIVE			1						10/7/2024	1	
62470060	795 WILLOW ROAD										0	
63452390	1383 WOODLAND AVENUE										0	
71014120	1350 DELFINO WAY										0	
71042290	1340 HILLVIEW DRIVE				1					5/1/2024	1	
71342090	248 SAN MATEO DRIVE										0	
62233170	711 CENTRAL AVENUE										0	
71180050	1664 OAK AVENUE										0	
71405170	854 CAMBRIDGE AVENUE										0	
71383010	1310 BAY LAUREL DRIVE										0	
71403200	848 COLLEGE AVENUE										0	
71231320	725 HOBART STREET										0	
55292270	143 DUNSMUIR WAY			1						9/18/2024	1	
55382150	1352 MADERA AVENUE			1						7/11/2024	1	
61390060	1545 LAUREL PLACE			1						8/20/2024	1	
61412020	1161 NOEL DRIVE			1						7/22/2024	1	
61412020	1161 NOEL DRIVE			1						7/17/2024	1	
62101180	780 IVY DRIVE			1						1/2/2024	1	
62211130	408 CHESTER STREET			1						12/3/2024	1	
62215150	316 GRAYSON COURT			1						2/15/2024	1	

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Project Identifier			Affordability by Household Incomes - Certificates of Occupancy								11	12
Current APN	Street Address	Project Name ⁺	10							Certificates of Occupancy or other forms of readiness (see instructions) <u>Date Issued</u>	# of Units issued Certificates of Occupancy or other forms of readiness	
			Very Low-Income Deed Restricted	Very Low-Income Non Deed Restricted	Low-Income Deed Restricted	Low-Income Non Deed Restricted	Moderate-Income Deed Restricted	Moderate-Income Non Deed Restricted	Above Moderate-Income			
62271200	280 SAN LUIS DRIVE			1							7/25/2024	1
62331230	4 RUSSELL COURT			1							6/3/2024	1
62412190	300 SHERWOOD WAY					1					5/14/2024	1
63430230	188 ELLIOTT DRIVE, UNIT A					1					6/20/2024	1
63441420	325 OCONNOR STREET					1					4/3/2024	1
71021050	3 WILLIAM COURT					1					11/12/2024	1
71022160	1220 N LEMON AVENUE					1					1/23/2024	1
71042290	1340 HILLVIEW DRIVE					1					5/1/2024	1
71051240	1170 MAY BROWN AVENUE					1					10/8/2024	1
71211180	972 OLIVE STREET							1			1/29/2024	1
71213170	1016 COTTON STREET							1			5/2/2024	1
71252260	3 REYNA PLACE							1			4/26/2024	1
71393050	317 PRINCETON ROAD							1			4/23/2024	1
71393060	309 PRINCETON ROAD							1			10/22/2024	1
71431110	848 HARVARD AVENUE							1			10/29/2024	1
74092030	765 STANFORD AVENUE											0
62352060	154 LAUREL AVENUE											0
71392010	490 YALE ROAD											0
71411400	752 COLLEGE AVENUE											0
62451050	341 LINFIELD DRIVE											0

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Project Identifier			Affordability by Household Incomes - Certificates of Occupancy								11	12
Current APN	Street Address	Project Name ⁺	10							Above Moderate-Income	Certificates of Occupancy or other forms of readiness (see instructions) <u>Date Issued</u>	# of Units issued Certificates of Occupancy or other forms of readiness
			Very Low-Income Deed Restricted	Very Low-Income Non Deed Restricted	Low-Income Deed Restricted	Low-Income Non Deed Restricted	Moderate-Income Deed Restricted	Moderate-Income Non Deed Restricted	Above Moderate-Income			
62233100	219 DURHAM STREET											0
71103420	1220 HOOVER STREET											0
712311110	595 HOBART STREET											0
71175030	805 EVERGREEN STREET											0
71412370	736 PARTRIDGE AVENUE											0
71394280	316 PRINCETON ROAD											0
74092330	789 STANFORD AVENUE											0
71362040	1460 BAY LAUREL DRIVE											0
71212040	1401 SANTA CRUZ AVENUE											0
71241010	801 HERMOSA WAY											0
62441110	152 EAST CREEK DRIVE											0
71112070	1980 SANTA CRUZ AVENUE								1	10/25/2024		1
71382040	1280 BAY LAUREL DRIVE											0
71251020	845 SAN MATEO DRIVE											0
71180680	575 OLIVE STREET											0
71350100	1235 BAY LAUREL DRIVE											0
71213050	1001 HERMOSA WAY								1	10/3/2024		1
71071060	1231 ARBOR ROAD								1	8/14/2024		1
71071060	1231 ARBOR ROAD								1	8/14/2024		1

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			Very Low-Income Deed Restricted	Very Low-Income Non Deed Restricted	Low-Income Deed Restricted	Low-Income Non Deed Restricted	Moderate-Income Deed Restricted	Moderate-Income Non Deed Restricted	Above Moderate-Income			
71051110	1250 HERMOSA WAY											0
62311600	167 MCKENDRY DRIVE											0
74342010	1065 CASCADE DRIVE											0
71361130	1585 BAY LAUREL DRIVE											0
71361130	1585 BAY LAUREL DRIVE											0
71342090	248 SAN MATEO DRIVE											0
71350010	99 SAN MATEO DRIVE											0
62522240	120 HANNA WAY									1	7/2/2024	1
71201040	1700 BAY LAUREL DRIVE											0
71180310	520 GRACE DRIVE											0
74203010	2316 LOMA PRIETA LANE											0
62370200	98 BEACON STREET											0
71405170	854 CAMBRIDGE AVENUE											0
63462130	1990 BYERS DRIVE											0
71093290	1360 CRANE STREET											0
74182020	955 MONTE ROSA DRIVE											0
63425200	153 OAK COURT											0
74112110	2171 CLAYTON DRIVE											0
71224260	1147 WINDSOR WAY											0
71253240	900 WALLEA DRIVE											0
63453140	488 OAK COURT											0

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			Very Low-Income Deed Restricted	Very Low-Income Non Deed Restricted	Low-Income Deed Restricted	Low-Income Non Deed Restricted	Moderate-Income Deed Restricted	Moderate-Income Non Deed Restricted	Above Moderate-Income			
63453140	488 OAK COURT											0
71213250	1012 COTTON STREET											0
71342040	1140 BAY LAUREL DRIVE											0
71012220	1130 ORANGE AVENUE											0
6227560	260 SANTA MARGARITA AVENUE											0
71364030	8 GARLAND PLACE											0
71072150	1076 SANTA CRUZ AVENUE											0
55331180	341 TERMINAL AVENUE											0
55302010	224 HEDGE ROAD											0
71052140	1275 HERMOSA WAY											0
63142040	2160 MENALTO AVENUE											0
71173180	765 MAGNOLIA STREET											0
71021100	1211 ELDER AVENUE											0
61326020	178 FELTON DRIVE											0
63425590	1143 WOODLAND AVENUE											0
71350120	1265 BAY LAUREL DRIVE											0
71411400	752 COLLEGE AVENUE											0
71370380	360 SAN MATEO DRIVE											0
71044050	1340 COTTON STREET											0
71364140	1481 MIDDLE AVENUE											0

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			Very Low-Income Deed Restricted	Very Low-Income Non Deed Restricted	Low-Income Deed Restricted	Low-Income Non Deed Restricted	Moderate-Income Deed Restricted	Moderate-Income Non Deed Restricted				
62354080	328 CENTRAL AVENUE											0
55294070	211 OAKHURST PLACE											0
63425060	1918 MENALTO AVENUE, UNIT A											0
62521160	100 RIORDAN PLACE											0
62215160	320 GRAYSON COURT											0
71232160	1460 MIDDLE AVENUE											0
63461040	1983 BYERS DRIVE											0
62454060	188 EAST CREEK DRIVE											0
71421040	113 PRINCETON ROAD											0
61021250	911 PEGGY LANE								1	12/12/2024		1
71032200	24 HESKETH DRIVE											0
62305080	236 MARMONA DRIVE											0
71411320	678 COLLEGE AVENUE											0
71404060	865 COLLEGE AVENUE											0
71350100	1235 BAY LAUREL DRIVE											0
71370100	440 CLAIRE PLACE											0
62211090	919 ARNOLD WAY											0
62063060	1028 HOLLYBURNE AVENUE								1	12/11/2024		1
63430210	172 ELLIOTT DRIVE											0

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Annual Building Activity Report Summary - New Construction, Entitled, Permits and Completed Units

Project Identifier			Affordability by Household Incomes - Certificates of Occupancy								11	12
Current APN	Street Address	Project Name ⁺	10							Above Moderate-Income	Certificates of Occupancy or other forms of readiness (see instructions) <u>Date Issued</u>	# of Units issued Certificates of Occupancy or other forms of readiness
			Very Low-Income Deed Restricted	Very Low-Income Non Deed Restricted	Low-Income Deed Restricted	Low-Income Non Deed Restricted	Moderate-Income Deed Restricted	Moderate-Income Non Deed Restricted	Above Moderate-Income			
71411370	728 COLLEGE AVENUE											0
61411130	1103 LAUREL STREET											0
61411140	1083 LAUREL STREET											0
61401400	450 OAK GROVE AVENUE								1		10/11/2024	1
71020270	125 PINEVIEW LANE											0
62352180	117 POPE STREET											0
62035180	312 OAKWOOD PLACE											0
71191080	1600 BAY LAUREL DRIVE											0
62053050	1031 HENDERSON AVENUE											0
62091120	1138 SEVIER AVENUE #A											0
71041020	1465 VALPARAISO AVENUE											0
63463580	483 O'CONNOR STREET											0
71111370	1003 LOUISE STREET											0
55293250	121 BAY ROAD											0
62304210	209 MARMONA DRIVE									1	2/1/2024	1
62331070	824 WOODLAND AVENUE									1	2/7/2024	1
71180730	491 MIDDLE COURT									1	2/22/2024	1
71222040	7 CHERYL PLACE									1	2/27/2024	1
55293060	124 DUNSMUIR WAY									1	3/6/2024	1

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Annual Building Activity Report Summary - New Construction, Entitled, Permits and Completed Units

Project Identifier			Affordability by Household Incomes - Certificates of Occupancy									
Current APN	Street Address	Project Name ⁺	10							11	12	
			Very Low-Income Deed Restricted	Very Low-Income Non Deed Restricted	Low-Income Deed Restricted	Low-Income Non Deed Restricted	Moderate-Income Deed Restricted	Moderate-Income Non Deed Restricted	Above Moderate-Income	Certificates of Occupancy or other forms of readiness (see instructions) <u>Date Issued</u>	# of Units issued Certificates of Occupancy or other forms of readiness	
71132100	1895 OAKDELL DRIVE									1	3/13/2024	1
71212180	958 HOBART STREET									1	3/15/2024	1
71084050	933 MILLIE AVENUE									1	3/28/2024	1
62304250	124 BLACKBURN AVENUE									1	4/3/2024	1
62381030	510 POPE STREET									1	4/18/2024	1
71111210	1017 LOUISE STREET									1	4/22/2024	1
62272760	269 WILLOW ROAD									1	4/23/2024	1
71043040	1221 COTTON STREET									2	6/3/2024	2
6341070	2058 MENALTO AVENUE									1	6/4/2024	1
62362130	309 LAUREL AVENUE									1	6/6/2024	1
71175140	680 LEMON STREET									2	7/25/2024	2
62367010	330 LAUREL AVENUE									1	8/6/2024	1
74230260	980 MONTE ROSA DRIVE									1	8/12/2024	1
74182070	905 MONTE ROSA DRIVE									2	8/26/2024	2
62361050	333 POPE STREET									2	9/3/2024	2
71432050	69 CORNELL ROAD									1	9/16/2024	1
71370260	1 MAYWOOD LANE									1	10/9/2024	1
74351020	2240 AVY AVENUE									2	10/16/2024	2
74343080	950 CONTINENTAL DRIVE									1	11/19/2024	1

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Annual Building Activity Report Summary - New Construction, Entitled, Permits and Completed Units

Project Identifier			Affordability by Household Incomes - Certificates of Occupancy									
Current APN	Street Address	Project Name ⁺	10							11	12	
			Very Low-Income Deed Restricted	Very Low-Income Non Deed Restricted	Low-Income Deed Restricted	Low-Income Non Deed Restricted	Moderate-Income Deed Restricted	Moderate-Income Non Deed Restricted	Above Moderate-Income	Certificates of Occupancy or other forms of readiness (see instructions) <u>Date Issued</u>	# of Units issued Certificates of Occupancy or other forms of readiness	
62051100	1031 ALMANOR AVENUE, UNIT A			1							3/6/2024	1
71175140	237 SANTA MARGARITA AVENUE			1							6/20/2024	1
62282170	676 NASH AVENUE, UNIT A								1		7/11/2024	1
71061160	1125 SAN MATEO DRIVE							1			4/9/2024	1
62352290	108 LAUREL AVENUE			1							6/18/2024	1
71221120	5 BOLTON PLACE #A							1			2/27/2024	1

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Annual Building Activity Report Summary - New Construction, Entitled, Permits and Completed Units

Project Identifier			Streamlining	Infill	Housing with Financial Assistance and/or Deed Restrictions		Housing without Financial Assistance or Deed Restrictions	Term of Affordability or Deed Restriction	Demolished/Destroyed Units			Density Bonus				Notes	
13	14	15	16	17	18	19	20	21	22	23	24	25					
Current APN	Street Address	Project Name*	How many of the units were Extremely Low Income?	Please select the state streamlining provision the project was APPROVED pursuant to. (may select multiple)	Infill Units? Y/N*	Assistance Programs for Each Development (may select multiple - see instructions)	Deed Restriction Type (may select multiple - see instructions)	For units affordable without financial assistance or deed restrictions, explain how the locality determined the units were affordable (see instructions)	Term of Affordability or Deed Restriction (years) (if affordable in perpetuity enter 1000)*	Number of Demolished/Destroyed Units	Demolished or Destroyed Units	Demolished/Destroyed Units Owner or Renter	Total Density Bonus Applied to the Project (Percentage Increase in Total Allowable Units or Total Maximum Allowable Residential Gross Floor Area)	Number of Other Incentives, Concessions, Waivers, or Other Modifications Given to the Project (Excluding Parking Waivers or Parking Reductions)	List the incentives, concessions, waivers, and modifications (Excluding Parking Waivers or Parking Modifications)	Did the project receive a reduction or waiver of parking standards? (Y/N)	Notes*
			0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Very Low-Income									
62470060	795 WILLOW ROAD		0	NONE	Y	Other	Other	Project on Veterans Affairs Medical Center campus for 100% affordable development, received City NOFA funding	1000								100-percent affordable housing project located on the Menlo Park Veterans Affairs Medical Campus. 60 very-low-income restricted units and 2 non-income-restricted managers units.
63452390	1383 WOODLAND AVENUE		0	NONE	Y	Other		Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Low-Income									
71014120	1350 DELFINO WAY		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Low-Income									
71042290	1340 HILLVIEW DRIVE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Low-Income									
71342090	248 SAN MATEO DRIVE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Low-Income									
62233170	711 CENTRAL AVENUE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Moderate-Income									
71180050	1664 OAK AVENUE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Moderate-Income									
71405170	854 CAMBRIDGE AVENUE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Moderate-Income									
71383010	1310 BAY LAUREL DRIVE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Moderate-Income									New single-family residence and ADU on a vacant lot.
71403200	848 COLLEGE AVENUE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Moderate-Income									
71231320	725 HOBART STREET		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 10 percent of total ADUs allocated towards Above Moderate-Income									
55292270	143 DUNSMUIR WAY		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Very Low-Income									
55382150	1352 MADERA AVENUE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Very Low-Income									
61390060	1545 LAUREL PLACE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Very Low-Income									
61412020	1161 NOEL DRIVE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Very Low-Income									
61412020	1161 NOEL DRIVE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Very Low-Income									
62101180	780 IVY DRIVE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Very Low-Income									
62211130	408 CHESTER STREET		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Very Low-Income									
62215150	316 GRAYSON COURT		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Very Low-Income									
62271200	280 SAN LUIS DRIVE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Very Low-Income									
62331230	4 RUSSELL COURT		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Very Low-Income									

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Annual Building Activity Report Summary - New Construction, Entitled, Permits and Completed Units

Project Identifier			13	14	15	Housing with Financial Assistance and/or Deed Restrictions		Housing without Financial Assistance or Deed Restrictions	Term of Affordability or Deed Restriction	Demolished/Destroyed Units			Density Bonus				Notes	
Current APN	Street Address	Project Name*	How many of the units were Extremely Low Income?	Please select the state streamlining provision the project was APPROVED pursuant to. (may select multiple)	Infill Units? Y/N*	Assistance Programs for Each Development (may select multiple - see instructions)	Deed Restriction Type (may select multiple - see instructions)	For units affordable without financial assistance or deed restrictions, explain how the locality determined the units were affordable (see instructions)	Term of Affordability or Deed Restriction (years) (if affordable in perpetuity enter 1000)*	Number of Demolished/Destroyed Units	Demolished or Destroyed Units	Demolished/Destroyed Units Owner or Renter	Total Density Bonus Applied to the Project (Percentage Increase in Total Allowable Units or Total Maximum Allowable Residential Gross Floor Area)	Number of Other Incentives, Concessions, Waivers, or Other Modifications Given to the Project (Excluding Parking Waivers or Parking Reductions)	List the incentives, concessions, waivers, and modifications (Excluding Parking Waivers or Parking Modifications)	Did the project receive a reduction or waiver of parking standards? (Y/N)	Notes*	
62412190	300 SHERWOOD WAY		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Low-Income										
63430230	188 ELLIOTT DRIVE, UNIT A		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Low-Income										
63441420	325 OCONNOR STREET		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Low-Income										
71021050	3 WILLIAM COURT		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Low-Income										
71022160	1220 N LEMON AVENUE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Low-Income										
71042290	1340 HILLVIEW DRIVE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Low-Income										
71051240	1170 MAY BROWN AVENUE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Low-Income										
71211180	972 OLIVE STREET		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Moderate-Income										
71213170	1016 COTTON STREET		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Moderate-Income										
71252260	3 REYNA PLACE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Moderate-Income										
71393050	317 PRINCETON ROAD		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Moderate-Income										
71393060	309 PRINCETON ROAD		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Moderate-Income										
71431110	848 HARVARD AVENUE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Moderate-Income										
74092030	765 STANFORD AVENUE		0	NONE	Y					1	Demolished	O						
62352060	154 LAUREL AVENUE		0	NONE	Y					1	Demolished	O						
71392010	490 YALE ROAD		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Very Low-Income		1	Demolished	O						New single-family residence (discretionary approval) and attached ADU (ministerial approval)
71411400	752 COLLEGE AVENUE		0	NONE	Y					1	Demolished	O						
62451050	341 LINFIELD DRIVE		0	NONE	Y					1	Demolished	O						
62233100	219 DURHAM STREET		0	NONE	Y					1	Demolished	O						
71103420	1220 HOOVER STREET		0	NONE	Y	Other	INC, DB		55	2	Demolished	R	10.0%		Development Standards Modification	Yes		Project utilized state density bonus law
712311110	595 HOBART STREET		0	NONE	Y					1	Demolished	O						
71175030	805 EVERGREEN STREET		0	NONE	Y					1	Demolished	O						
71412370	736 PARTRIDGE AVENUE		0	NONE	Y					2	Demolished	O						
71394280	316 PRINCETON ROAD		0	NONE	Y					1	Demolished	O						
74092330	789 STANFORD AVENUE		0	NONE	Y													Request for ADU exceeding maximum ADU square footage and bedroom count
71362040	1460 BAY LAUREL DRIVE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Very Low-Income		1	Demolished	O						New single-family residence (discretionary approval) and attached ADU (ministerial approval)
71212040	1401 SANTA CRUZ AVENUE		0	NONE	Y					1	Demolished	O						
71241010	801 HERMOSA WAY		0	NONE	Y					1	Demolished	O						
62441110	152 EAST CREEK DRIVE		0	NONE	Y					1	Demolished	O						

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Annual Building Activity Report Summary - New Construction, Entitled, Permits and Completed Units

Project Identifier			13	14	15	Housing with Financial Assistance and/or Deed Restrictions		18	19	Demolished/Destroyed Units			Density Bonus				25
Current APN	Street Address	Project Name*	How many of the units were Extremely Low Income?	Please select the state streamlining provision the project was APPROVED pursuant to. (may select multiple)	Infill Units? Y/N*	Assistance Programs for Each Development (may select multiple - see instructions)	Deed Restriction Type (may select multiple - see instructions)	For units affordable without financial assistance or deed restrictions, explain how the locality determined the units were affordable (see instructions)	Term of Affordability or Deed Restriction (years) (if affordable in perpetuity enter 1000)*	Number of Demolished/Destroyed Units	Demolished or Destroyed Units	Demolished/Destroyed Units Owner or Renter	Total Density Bonus Applied to the Project (Percentage Increase in Total Allowable Units or Total Maximum Allowable Residential Gross Floor Area)	Number of Other Incentives, Concessions, Waivers, or Other Modifications Given to the Project (Excluding Parking Waivers or Parking Reductions)	List the incentives, concessions, waivers, and modifications (Excluding Parking Waivers or Parking Modifications)	Did the project receive a reduction or waiver of parking standards? (Y/N)	Notes*
71112070	1980 SANTA CRUZ AVENUE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Very Low-Income									
71382040	1280 BAY LAUREL DRIVE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Very Low-Income									
71251020	845 SAN MATEO DRIVE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Very Low-Income									Single-family residence and attached ADU
71180680	575 OLIVE STREET		0	NONE	Y					1	Demolished	O					
71350100	1235 BAY LAUREL DRIVE		0	NONE	Y					1	Demolished	O					
71213050	1001 HERMOSA WAY		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Very Low-Income									
71071060	1231 ARBOR ROAD		0	SB 9 (2021) - Duplex in SF Zone	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Very Low-Income									
71071060	1231 ARBOR ROAD		0	SB 9 (2021) - Duplex in SF Zone	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Very Low-Income									
71051110	1250 HERMOSA WAY		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Very Low-Income		1	Demolished	O					Single-family residence and attached ADU
62311600	167 MCKENDRY DRIVE		0	NONE	Y					1	Demolished	O					
74342010	1065 CASCADE DRIVE		0	NONE	Y					1	Demolished	O					
71361130	1585 BAY LAUREL DRIVE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Very Low-Income									
71361130	1585 BAY LAUREL DRIVE		0	NONE	Y					1	Demolished	O					
71342090	248 SAN MATEO DRIVE		0	NONE	Y					1	Demolished	O					
71350010	99 SAN MATEO DRIVE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Very Low-Income									
62522240	120 HANNA WAY		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Very Low-Income									
71201040	1700 BAY LAUREL DRIVE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Very Low-Income									
71180310	520 GRACE DRIVE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Very Low-Income		1	Demolished	O					Single-family residence and attached ADU
74203010	2316 LOMA PRIETA LANE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Very Low-Income		1	Demolished	O					Single-family residence and attached ADU
62370200	98 BEACON STREET		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Very Low-Income									
71405170	854 CAMBRIDGE AVENUE		0	NONE	Y					1	Demolished	O					
63462130	1990 BYERS DRIVE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Very Low-Income									
71093290	1360 CRANE STREET		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Very Low-Income									
74182020	955 MONTE ROSA DRIVE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Very Low-Income		1	Demolished	O					Single-family residence and attached ADU
63425200	153 OAK COURT		0	NONE	Y					1	Demolished	O					
74112110	2171 CLAYTON DRIVE		0	NONE	Y					1	Demolished	O					
71224260	1147 WINDSOR WAY		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Very Low-Income		1	Demolished	O					Single-family residence and attached ADU
71253240	900 WALLEA DRIVE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Very Low-Income		1	Demolished	O					Single-family residence and attached ADU

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Annual Building Activity Report Summary - New Construction, Entitled, Permits and Completed Units

Project Identifier			13	14	15	Housing with Financial Assistance and/or Deed Restrictions		18	19	Demolished/Destroyed Units			Density Bonus				25
Current APN	Street Address	Project Name*	How many of the units were Extremely Low Income?	Please select the state streamlining provision the project was APPROVED pursuant to. (may select multiple)	Infill Units? Y/N*	Assistance Programs for Each Development (may select multiple - see instructions)	Deed Restriction Type (may select multiple - see instructions)	For units affordable without financial assistance or deed restrictions, explain how the locality determined the units were affordable (see instructions)	Term of Affordability or Deed Restriction (years) (if affordable in perpetuity enter 1000)*	Number of Demolished/Destroyed Units	Demolished or Destroyed Units	Demolished/Destroyed Units Owner or Renter	Total Density Bonus Applied to the Project (Percentage Increase in Total Allowable Units or Total Maximum Allowable Residential Gross Floor Area)	Number of Other Incentives, Concessions, Waivers, or Other Modifications Given to the Project (Excluding Parking Waivers or Parking Reductions)	List the incentives, concessions, waivers, and modifications (Excluding Parking Waivers or Parking Modifications)	Did the project receive a reduction or waiver of parking standards? (Y/N)	Notes*
63453140	488 OAK COURT		0	SB 9 (2021) - Residential Lot Split	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Low Income		1	Demolished	O					Single-family residence and attached ADU
63453140	488 OAK COURT		0	SB 9 (2021) - Residential Lot Split	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Low Income									Single-family residence and attached ADU. Demolition of previous single-family residence counted under BLD2023-02934.
71213250	1012 COTTON STREET		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Low Income									
71342040	1140 BAY LAUREL DRIVE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Low Income		1	Demolished	O					Single-family residence and attached ADU
71012220	1130 ORANGE AVENUE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Low Income									
6227560	260 SANTA MARGARITA AVENUE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Low Income		1	Demolished	O					
71364030	8 GARLAND PLACE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Low Income		1	Demolished	O					Single-family residence and attached ADU
71072150	1076 SANTA CRUZ AVENUE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Low Income		1	Demolished	O					
55331180	341 TERMINAL AVENUE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Low Income		1	Demolished	O					
55302010	224 HEDGE ROAD		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Low Income		1	Demolished	O					
71052140	1275 HERMOSA WAY		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Low Income		1	Demolished	O					Single-family residence and attached ADU
63142040	2160 MENALTO AVENUE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Low Income		1	Demolished	O					
71173180	765 MAGNOLIA STREET		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Low Income		1	Demolished	O					Single-family residence and attached ADU
71021100	1211 ELDER AVENUE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Low Income		1	Demolished	O					Single-family residence and attached ADU
61326020	178 FELTON DRIVE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Low Income									
63425590	1143 WOODLAND AVENUE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Low Income									
71350120	1265 BAY LAUREL DRIVE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Low Income		1	Demolished	O					
71411400	752 COLLEGE AVENUE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Low Income		1	Demolished	O					Single-family residence and attached JADU
71370380	360 SAN MATEO DRIVE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Low Income		1	Demolished	O					Single-family residence and attached JADU
71044050	1340 COTTON STREET		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Low Income		1	Demolished	O					Single-family residence and attached JADU
71364140	1481 MIDDLE AVENUE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Low Income		1	Demolished	O					
62354080	328 CENTRAL AVENUE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Low Income									
55294070	211 OAKHURST PLACE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Low Income									

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Annual Building Activity Report Summary - New Construction, Entitled, Permits and Completed Units

Project Identifier			13	14	15	Housing with Financial Assistance and/or Deed Restrictions		18	19	Demolished/Destroyed Units			Density Bonus				25
Current APN	Street Address	Project Name*	How many of the units were Extremely Low Income?	Please select the state streamlining provision the project was APPROVED pursuant to. (may select multiple)	Infill Units? Y/N*	Assistance Programs for Each Development (may select multiple - see instructions)	Deed Restriction Type (may select multiple - see instructions)	For units affordable without financial assistance or deed restrictions, explain how the locality determined the units were affordable (see instructions)	Term of Affordability or Deed Restriction (years) (if affordable in perpetuity enter 1000)*	Number of Demolished/Destroyed Units	Demolished or Destroyed Units	Demolished/Destroyed Units Owner or Renter	Total Density Bonus Applied to the Project (Percentage Increase in Total Allowable Units or Total Maximum Allowable Residential Gross Floor Area)	Number of Other Incentives, Concessions, Waivers, or Other Modifications Given to the Project (Excluding Parking Waivers or Parking Reductions)	List the incentives, concessions, waivers, and modifications (Excluding Parking Waivers or Parking Modifications)	Did the project receive a reduction or waiver of parking standards? (Y/N)	Notes*
63425060	1918 MENALTO AVENUE, UNIT A		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Low Income									
62521160	100 RIORDAN PLACE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Low Income									
62215160	320 GRAYSON COURT		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Low Income									
71232160	1460 MIDDLE AVENUE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Low Income									
63461040	1983 BYERS DRIVE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Low Income									
62454060	188 EAST CREEK DRIVE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Moderate-Income									
71421040	113 PRINCETON ROAD		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Moderate-Income									
61021250	911 PEGGY LANE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Moderate-Income									
71032200	24 HESKETH DRIVE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Moderate-Income									
62305080	236 MARMONA DRIVE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Moderate-Income									
71411320	678 COLLEGE AVENUE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Moderate-Income									
71404060	865 COLLEGE AVENUE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Moderate-Income									
71350100	1235 BAY LAUREL DRIVE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Moderate-Income									
71370100	440 CLAIRE PLACE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Moderate-Income									
62211090	919 ARNOLD WAY		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Moderate-Income									
62063060	1028 HOLLYBURNE AVENUE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Moderate-Income									
63430210	172 ELLIOTT DRIVE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Moderate-Income									
71411370	728 COLLEGE AVENUE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Moderate-Income									
61411130	1103 LAUREL STREET		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Moderate-Income									
61411140	1083 LAUREL STREET		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Moderate-Income									
61401400	450 OAK GROVE AVENUE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Moderate-Income									
71020270	125 PINEVIEW LANE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Moderate-Income									
62352180	117 POPE STREET		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Moderate-Income									

Table A2

Annual Building Activity Report Summary - New Construction, Entitled, Permits and Completed Units

Project Identifier			13	14	15	Housing with Financial Assistance and/or Deed Restrictions		Housing without Financial Assistance or Deed Restrictions	Term of Affordability or Deed Restriction	Demolished/Destroyed Units			Density Bonus				Notes
Current APN	Street Address	Project Name*	How many of the units were Extremely Low Income?	Please select the state streamlining provision the project was APPROVED pursuant to. (may select multiple)	Infill Units? Y/N*	Assistance Programs for Each Development (may select multiple - see instructions)	Deed Restriction Type (may select multiple - see instructions)	For units affordable without financial assistance or deed restrictions, explain how the locality determined the units were affordable (see instructions)	Term of Affordability or Deed Restriction (years) (if affordable in perpetuity enter 1000)*	Number of Demolished/Destroyed Units	Demolished or Destroyed Units	Demolished/Destroyed Units Owner or Renter	Total Density Bonus Applied to the Project (Percentage Increase in Total Allowable Units or Total Maximum Allowable Residential Gross Floor Area)	Number of Other Incentives, Concessions, Waivers, or Other Modifications Given to the Project (Excluding Parking Waivers or Parking Reductions)	List the incentives, concessions, waivers, and modifications (Excluding Parking Waivers or Parking Modifications)	Did the project receive a reduction or waiver of parking standards? (Y/N)	Notes*
62035180	312 OAKWOOD PLACE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Moderate-Income									
71191080	1600 BAY LAUREL DRIVE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Moderate-Income									
62053050	1031 HENDERSON AVENUE		0	NONE	Y			Per ABAG guidance, this ADU is part of the approximately 30 percent of total ADUs allocated towards Moderate-Income									
62091120	1138 SEVIER AVENUE #A		0	NONE	Y												
71041020	1465 VALPARAISO AVENUE		0	NONE	Y												
63463580	483 O'CONNOR STREET		0	NONE	Y												
71111370	1003 LOUISE STREET		0	NONE	Y												
55293250	121 BAY ROAD		0	NONE	Y												
62304210	209 MARMONA DRIVE		0	NONE	Y												
62331070	824 WOODLAND AVENUE		0	NONE	Y												
71180730	491 MIDDLE COURT		0	NONE	Y												
71222040	7 CHERYL PLACE		0	NONE	Y												
55293060	124 DUNSMUIR WAY		0	NONE	Y												
71132100	1895 OAKDELL DRIVE		0	NONE	Y												
71212180	958 HOBART STREET		0	NONE	Y												
71084050	933 MILLIE AVENUE		0	NONE	Y												
62304250	124 BLACKBURN AVENUE		0	NONE	Y												
62381030	510 POPE STREET		0	NONE	Y												
71111210	1017 LOUISE STREET		0	NONE	Y												
62272760	269 WILLOW ROAD		0	NONE	Y												
71043040	1221 COTTON STREET		0	NONE	Y												New single-family residence and attached ADU
6341070	2058 MENALTO AVENUE		0	NONE	Y												
62362130	309 LAUREL AVENUE		0	NONE	Y												
71175140	680 LEMON STREET		0	NONE	Y												New single-family residence and attached ADU
62367010	330 LAUREL AVENUE		0	NONE	Y												
74230260	980 MONTE ROSA DRIVE		0	NONE	Y												
74182070	905 MONTE ROSA DRIVE		0	NONE	Y												New single-family residence and attached ADU
62361050	333 POPE STREET		0	NONE	Y												New single-family residence and attached ADU
71432050	69 CORNELL ROAD		0	NONE	Y												
71370260	1 MAYWOOD LANE		0	NONE	Y												New single-family residence and attached ADU
74351020	2240 AVY AVENUE		0	NONE	Y												New single-family residence and attached ADU
74343080	950 CONTINENTAL DRIVE		0	NONE	Y												
62051100	1031 ALMANOR AVENUE, UNIT A		0	NONE	Y			Per previous ABAG guidance, this ADU was previously counted as part of the approximately 30 percent of total ADUs allocated towards Very Low-Income									
71175140	237 SANTA MARGARITA AVENUE		0	NONE	Y			Per previous ABAG guidance, this ADU was previously counted as part of the approximately 30 percent of total ADUs allocated towards Very Low-Income									
62282170	676 NASH AVENUE, UNIT A		0	NONE	Y												
71061160	1125 SAN MATEO DRIVE		0	NONE	Y			Per previous ABAG guidance, this ADU was previously counted as part of the approximately 30 percent of total ADUs allocated towards Moderate Income									

Table A2

Annual Building Activity Report Summary - New Construction, Entitled, Permits and Completed Units

Project Identifier			Streamlining	Infill	Housing with Financial Assistance and/or Deed Restrictions		Housing without Financial Assistance or Deed Restrictions	Term of Affordability or Deed Restriction	Demolished/Destroyed Units			Density Bonus				Notes	
			13	14	15	16	17	18	19	20			21	22	23	24	25
Current APN	Street Address	Project Name*	How many of the units were Extremely Low Income?	Please select the state streamlining provision the project was APPROVED pursuant to. (may select multiple)	Infill Units? Y/N*	Assistance Programs for Each Development (may select multiple - see instructions)	Deed Restriction Type (may select multiple - see instructions)	For units affordable without financial assistance or deed restrictions, explain how the locality determined the units were affordable (see instructions)	Term of Affordability or Deed Restriction (years) (if affordable in perpetuity enter 1000)*	Number of Demolished/Destroyed Units	Demolished or Destroyed Units	Demolished/Destroyed Units Owner or Renter	Total Density Bonus Applied to the Project (Percentage Increase in Total Allowable Units or Total Maximum Allowable Residential Gross Floor Area)	Number of Other Incentives, Concessions, Waivers, or Other Modifications Given to the Project (Excluding Parking Waivers or Parking Reductions)	List the incentives, concessions, waivers, and modifications (Excluding Parking Waivers or Parking Modifications)	Did the project receive a reduction or waiver of parking standards? (Y/N)	Notes*
62352290	108 LAUREL AVENUE		0	NONE	Y			Per previous ABAG guidance, this ADU was previously counted as part of the approximately 30 percent of total ADUs allocated towards Very Low-Income									
71221120	5 BOLTON PLACE #A		0	NONE	Y			Per previous ABAG guidance, this ADU was previously counted as part of the approximately 30 percent of total ADUs allocated towards Moderate Income									

Jurisdiction	Menlo Park	
Reporting Year	2024	(Jan. 1 - Dec. 31)
Planning Period	6th Cycle	01/31/2023 - 01/31/2031

**ANNUAL ELEMENT PROGRESS REPORT
Housing Element Implementation**

This table is auto-populated once you enter your jurisdiction name and current year data. Past year information comes from previous APRs.
Please contact HCD if your data is different than the material supplied here

Table B														
Regional Housing Needs Allocation Progress														
Permitted Units Issued by Affordability														
		1	Projection Period	2									3	4
Income Level		RHNA Allocation by Income Level	Projection Period - 06/30/2022-01/30/2023	2023	2024	2025	2026	2027	2028	2029	2030	2031	Total Units to Date (all years)	Total Remaining RHNA by Income Level
Very Low	Deed Restricted	740	10	-	60	-	-	-	-	-	-	-	118	622
	Non-Deed Restricted		8	19	21	-	-	-	-	-	-	-		
Low	Deed Restricted	426	37	-	-	-	-	-	-	-	-	-	99	327
	Non-Deed Restricted		10	21	31	-	-	-	-	-	-	-		
Moderate	Deed Restricted	496	62	-	-	-	-	-	-	-	-	-	116	380
	Non-Deed Restricted		12	16	26	-	-	-	-	-	-	-	718	566
Total RHNA		2,946												
Total Units			810	65	176	-	-	-	-	-	-	-	1,051	1,895
Progress toward extremely low-income housing need, as determined pursuant to Government Code 65583(a)(1).														
		5		2023	2024	2025	2026	2027	2028	2029	2030	2031	6	7
Extremely low-Income Need													Total Units to Date	Total Units Remaining
Extremely Low-Income Units*		370		-	-	-	-	-	-	-	-	-	-	370

*Extremely low-income housing need determined pursuant to Government Code 65583(a)(1). Value in Section 5 is default value, assumed to be half of the very low-income RHNA. May be overwritten.

Please Note: Table B does not currently contain data from Table F or Table F2 for prior years. You may login to the APR system to see Table B that contains this data.

Note: units serving extremely low-income households are included in the very low-income RHNA progress and must be reported as very low-income units in section 7 of Table A2. They must also be reported in the extremely low-income category (section 13) in Table A2 to be counted as progress toward meeting the extremely low-income housing need determined pursuant to Government Code 65583(a)(1).

Please note: For the last year of the 5th cycle, Table B will only include units that were permitted during the portion of the year that was in the 5th cycle. For the first year of the 6th cycle, Table B will only include units that were permitted since the start of the planning period. Projection Period units are in a separate column.

Please note: The APR form can only display data for one planning period. To view progress for a different planning period, you may login to HCD's online APR system, or contact HCD staff at apr@hcd.ca.gov.

- VLI Deed Restricted
- VLI Non Deed Restricted

ANNUAL ELEMENT PROGRESS REPORT

Housing Element Implementation

Jurisdiction	Menlo Park		
Reporting Year	2024	(Jan. 1 - Dec. 31)	
Table D			
Program Implementation Status pursuant to GC Section 65583			
Housing Programs Progress Report			
Describe progress of all programs including local efforts to remove governmental constraints to the maintenance, improvement, and development of housing as identified in the housing element.			
1	2	3	4
Name of Program	Objective	Timeframe in H.E	Status of Program Implementation
H1.A Establish City Staff Work Priorities for Implementing Housing Element Programs	Establish staff priorities for implementing Housing Element Programs	Annually	This is completed annually as part of the City Council's work plan process, taking into consideration the yearly Housing Element review.
H1.B Review the Housing Element Annually	Review and monitor Housing Element implementation; conduct public review with the Housing Commission, Planning Commission and City Council, and submit Annual Report to HCD	Annually	Using forms provided by HCD, the 2024 annual review was prepared by staff between January and February 2025, and public reviews were conducted by the Housing Commission, Planning Commission, and City Council in March 2025.
H1.C Work with the San Mateo County Department of Housing	Meet with the County twice a year and coordinate with County efforts to maintain and support affordable housing	Every 6 months	The City participates in bimonthly meetings for housing managers throughout San Mateo County as part of the 21 Elements collaboration. Through the recurring meetings, San Mateo County staff identified opportunities for improved dialogue and consistent engagement with housing staff throughout the jurisdictions in the county and will work with staff from the local jurisdictions to identify opportunities for coordination in 2025 and beyond.

ANNUAL ELEMENT PROGRESS REPORT

Housing Element Implementation

Jurisdiction		Menlo Park	
Reporting Year		2024	(Jan. 1 - Dec. 31)
Table D			
Program Implementation Status pursuant to GC Section 65583			
Housing Programs Progress Report			
Describe progress of all programs including local efforts to remove governmental constraints to the maintenance, improvement, and development of housing as identified in the housing element.			
1	2	3	4
Name of Program	Objective	Timeframe in H.E	Status of Program Implementation
H1.D Regional Coordination	Work with other San Mateo County jurisdictions to address regional housing needs and attend 21 Elements coordination activities	Ongoing	The City participates in the 21 Elements collaboration between all 21 jurisdictions in San Mateo County and regularly attended directors' meetings, regular meetings, housing managers' meetings, and housing-related interest meetings such as discussions around updates to jurisdictions' below market rate (BMR) ordinances and guidelines, accessory dwelling unit best practices and updates, and contributed information toward various studies and Housing Element-related efforts during the past year. The City initiated the process to join the San Mateo County ADU Resource Center in late 2024. The formal agreement to join the Center will be executed in 2025.

ANNUAL ELEMENT PROGRESS REPORT

Housing Element Implementation

Jurisdiction	Menlo Park		
Reporting Year	2024	(Jan. 1 - Dec. 31)	
Table D			
Program Implementation Status pursuant to GC Section 65583			
Housing Programs Progress Report			
Describe progress of all programs including local efforts to remove governmental constraints to the maintenance, improvement, and development of housing as identified in the housing element.			
1	2	3	4
Name of Program	Objective	Timeframe in H.E	Status of Program Implementation
H1.E Work with Non-Profits on Housing	Continue NOFA implementation and maintain a working relationship with non-profit housing sponsors	At least twice a year	The City moved several applications forward in the funding process in 2024. These included City Council approval of the commitment of \$3.6M to Habitat for Humanity Greater San Francisco (Habitat) for site acquisition and development of low-income ownership units at 335 Pierce Road; City Council approval of the commitment of \$1M to a housing project targeted at school district employees at 320 Sheridan Dr.; and City Council authorization of the city manager to execute a funding agreement for \$2M with MidPen for the development of affordable housing targeted towards Veterans at Veterans Affairs medical center site. The City continues to partner with 2022 NOFA-funded home rehab programs with Habitat and Rebuilding Together Peninsula (RTP). In 2024, Habitat received 22 inquiries for its home rehab program and had 3 qualified applicants move forward into the scoping phase and RTP completed five home rehab projects totaling \$61,489.73 in City funds disbursed.
H1.F Update the Housing Element	Assure consistency with SB 375 and Housing Element law	1/31/2023	The City Council adopted the 2023-2031 Housing Element on January 31, 2023. Following subsequent reviews by HCD, the City Council adopted amendments to the Housing Element on January 23, 2024. HCD certified the Housing Element on March 20, 2024.

ANNUAL ELEMENT PROGRESS REPORT

Housing Element Implementation

Jurisdiction	Menlo Park		
Reporting Year	2024	(Jan. 1 - Dec. 31)	
Table D			
Program Implementation Status pursuant to GC Section 65583			
Housing Programs Progress Report			
Describe progress of all programs including local efforts to remove governmental constraints to the maintenance, improvement, and development of housing as identified in the housing element.			
1	2	3	4
Name of Program	Objective	Timeframe in H.E	Status of Program Implementation
H1.G Update Priority Procedures for Providing Water Service to Affordable Housing Developments	Comply with Government Code § 65589.7	When the Urban Water Management Plan is updated (anticipated 2025 and 2030)	This program will be undertaken with the adoption of the next Urban Water Management Plan (UWMP) anticipated in 2026, and was most recently completed for the City's 2020 UWMP in 2021.
H1.H Transparency on Progress towards RHNA and Mid-cycle Review	Increase accessibility and transparency of affordable housing development in the city	Website shall be updated annually on pipeline projects. Mid-cycle review and report to City Council in 2027	The City's website is regularly updated with an interactive development projects map and information on projects under review, approved, under construction, and completed. The Housing Element Annual Progress Report (APR) is also posted on the City's website annually. A mid-cycle review will be completed with City Council in 2027.

ANNUAL ELEMENT PROGRESS REPORT

Housing Element Implementation

Jurisdiction	Menlo Park		
Reporting Year	2024	(Jan. 1 - Dec. 31)	
Table D			
Program Implementation Status pursuant to GC Section 65583			
Housing Programs Progress Report			
Describe progress of all programs including local efforts to remove governmental constraints to the maintenance, improvement, and development of housing as identified in the housing element.			
1	2	3	4
Name of Program	Objective	Timeframe in H.E	Status of Program Implementation
H1.I Utilize the City's Below Market Rate (BMR) Housing Fund	Accumulate and distribute funds for housing affordable to extremely low-, very low-, low- and moderate-income households	Advertise the availability of funds in the BMR Housing Fund at least every two years	The City administers and advertises every two years the availability of funds in the BMR housing fund through a Notice of Funding Availability (NOFA). The objective of the NOFA is to support the acquisition, rehabilitation, preservation or new construction of housing that will provide long-term affordability. The funding is intended to fill the financing gap between projected total development costs and other available funding sources. The City released a NOFA December 2022. The City recommended approval of three proposals for a total of \$4.18 million. This included support for new BMR ownership construction at the low-income level (123 Independence Dr.), new BMR rental construction for veterans at the extremely low and very low-income levels (795 Willow Road - VA), and funding for home rehabilitation for low-income households (Rebuilding Together Peninsula). The funding agreement for the VA project was executed in 2024 and Rebuilding Together Peninsula has continued to assist with rehabilitation projects of several homes in the Belle Haven neighborhood. In addition, the City Council reaffirmed commitment of \$3.6 million in BMR funds towards the acquisition of property to construct between eight to 10 affordable, for-sale units at 335 Pierce Road in April 2024, and committed \$1 million in Nov. 2024 towards a 100% affordable housing project targeted towards teachers through a separate funding request in April 2024. The City remains active in supporting housing production, preservation and protection programs. The City will continue to monitor its BMR funds to determine its ability to release the next NOFA.

ANNUAL ELEMENT PROGRESS REPORT

Housing Element Implementation

Jurisdiction	Menlo Park		
Reporting Year	2024	(Jan. 1 - Dec. 31)	
Table D			
Program Implementation Status pursuant to GC Section 65583			
Housing Programs Progress Report			
Describe progress of all programs including local efforts to remove governmental constraints to the maintenance, improvement, and development of housing as identified in the housing element.			
1	2	3	4
Name of Program	Objective	Timeframe in H.E	Status of Program Implementation
H2.A Preservation of Assisted Housing	Adopt an ordinance for at-risk units. Preserve 92 low income units in Crane Place Apartments at risk of conversion in 2028, supporting the continued provision of affordable housing within Menlo Park’s high resource neighborhoods	Adopt ordinance within one year of Housing Element adoption. Contact owners of Crane Place Apartments no later than 2025 to ensure compliance with state preservation notice law	The City has not yet initiated this program.
H2.B Amend the Zoning Ordinance to Protect Existing Housing	Protect existing rental housing as part of infill implementation and other Zoning Ordinance changes	Within two years of Housing Element adoption	The City has not yet initiated this program.

ANNUAL ELEMENT PROGRESS REPORT

Housing Element Implementation

Jurisdiction	Menlo Park		
Reporting Year	2024	(Jan. 1 - Dec. 31)	
Table D			
Program Implementation Status pursuant to GC Section 65583			
Housing Programs Progress Report			
Describe progress of all programs including local efforts to remove governmental constraints to the maintenance, improvement, and development of housing as identified in the housing element.			
1	2	3	4
Name of Program	Objective	Timeframe in H.E	Status of Program Implementation
H2.C Assist in Implementing Housing Rehabilitation Programs	Utilize the City's BMR funds to rehabilitate very low- and low- income housing. Conduct proactive outreach to identify and assist at least 20 very low income homeowners in Menlo Park's moderate resource neighborhoods	Initiate Homeownership Preservation Program in 2023 and complete within three years. Expend electrification funds allocation from the California Energy Commission by June 30, 2026	The Homeownership Preservation Program was initiated in 2023, with outreach conducted during fall and winter 2023. The program will be directed toward low- and very low-income households based on the finalized agreement with Habitat for Humanity to ensure a potential pool of 20 households can receive funding. Other program components will occur consistent with the listed Housing Element timeframe. In 2024, Habitat for Humanity identified a number of potential applicants for Home Preservation Program. The City also has a program to help rehabilitate and upgrade homes through electrification. The program soft launched in August 2024 and 41 assessments have been scheduled with 22 completed through Jan. 2025. Installation in two homes are underway.
H2.D Accessory Dwelling Unit (ADU) Amnesty Program	Bring unpermitted ADUs up to code to improve their health and safety for occupants and integrate within the City's official housing stock	Homeowner outreach and incorporation of amnesty provisions in the Zoning Ordinance shall be completed by the end of 2024	The City has not yet initiated this program.

ANNUAL ELEMENT PROGRESS REPORT

Housing Element Implementation

Jurisdiction	Menlo Park		
Reporting Year	2024	(Jan. 1 - Dec. 31)	
Table D			
Program Implementation Status pursuant to GC Section 65583			
Housing Programs Progress Report			
Describe progress of all programs including local efforts to remove governmental constraints to the maintenance, improvement, and development of housing as identified in the housing element.			
1	2	3	4
Name of Program	Objective	Timeframe in H.E	Status of Program Implementation
H2.E Anti-Displacement Strategy	Mitigate displacement in the city and provide financial assistance to tenants	Develop an anti-displacement strategy for the City, particularly in the Belle Haven neighborhood, and initiate program implementation by January 2024, expanding to address other potential policies in the program through 2026	Development of initial implementation of an anti-displacement strategy was initiated in 2024. Community meetings were held in the Belle Haven Community Center in November 2024 to help prioritize various community suggested anti-displacement strategies. The City held a meeting in English to receive feedback on different anti-displacement strategies, which was followed shortly afterwards by the same meeting in Spanish. Approximately 12 persons attended both meetings. The feedback is being reviewed and staff will finalize the anti-displacement strategy in 2025.
H2.F Childcare Allowances	Support families with children, large families generally, and single-parent households	Update zoning code within 1 year of housing element adoption	This program was completed December 5, 2023 with the adoption of an ordinance by City Council to amend chapters 16.04 and 16.08 of the Municipal Code.

ANNUAL ELEMENT PROGRESS REPORT

Housing Element Implementation

Jurisdiction	Menlo Park		
Reporting Year	2024	(Jan. 1 - Dec. 31)	
Table D			
Program Implementation Status pursuant to GC Section 65583			
Housing Programs Progress Report			
Describe progress of all programs including local efforts to remove governmental constraints to the maintenance, improvement, and development of housing as identified in the housing element.			
1	2	3	4
Name of Program	Objective	Timeframe in H.E	Status of Program Implementation
H3.A Amend Procedures for Reasonable Accommodation	Protect existing rental housing as part of infill implementation and other Zoning Ordinance changes	Eliminate the application fee and amend the Ordinance for consistency with guidance provided by DOJ and HUD by 2024. Publish the handout by the end of 2025. Implementation of reasonable accommodation procedures will be ongoing throughout the planning period.	The City has yet to initiate this program.
H3.B Encourage Rental Housing Assistance Programs	Provide assistance at current Section 8 funding levels to assist 230 extremely low and very low-income households per year (assumes continued funding of program)	Property owner outreach in 2024 and 2027; Update website annually	In conjunction with Programs H1.C and H5.C, the City will initiate and update its website and conduct outreach with multi-family property owners, particularly in high-resourced areas, to encourage participation in the Section 8 program this year, consistent with the timeline.

ANNUAL ELEMENT PROGRESS REPORT

Housing Element Implementation

Jurisdiction	Menlo Park		
Reporting Year	2024	(Jan. 1 - Dec. 31)	
Table D			
Program Implementation Status pursuant to GC Section 65583			
Housing Programs Progress Report			
Describe progress of all programs including local efforts to remove governmental constraints to the maintenance, improvement, and development of housing as identified in the housing element.			
1	2	3	4
Name of Program	Objective	Timeframe in H.E	Status of Program Implementation
H3.C Assist in Providing Housing for Persons Living with Disabilities	Conduct outreach on the availability of funds for non-profit organizations that provide housing and programs for people with disabilities. Promote available funds through the community funding grant program, which provides an allocation of up to 1.7 percent of the collected property tax revenue	Outreach would be conducted yearly. Evaluation of Universal Design in 2024	The City will continue its efforts to collaborate with non-profit organizations. The City has yet to evaluate potential universal design features.
H3.D Develop Incentives for Special Needs Housing	Amend the Zoning Ordinance to provide opportunities for housing and adequate support services for seniors and people living with disabilities	Within two years of Housing Element adoption	The City will focus efforts on this program in 2025, consistent with the timeframe listed in the Housing Element.

ANNUAL ELEMENT PROGRESS REPORT

Housing Element Implementation

Jurisdiction	Menlo Park		
Reporting Year	2024	(Jan. 1 - Dec. 31)	
Table D			
Program Implementation Status pursuant to GC Section 65583			
Housing Programs Progress Report			
Describe progress of all programs including local efforts to remove governmental constraints to the maintenance, improvement, and development of housing as identified in the housing element.			
1	2	3	4
Name of Program	Objective	Timeframe in H.E	Status of Program Implementation
H3.E Continue Support for Countywide Homeless Programs	Support housing and services for the homeless and at-risk persons and families. Re-initiate participation of Housing Division staff, along with continued participation of Menlo Park Police Department staff, in monthly meetings with the LifeMoves HOT. The City will partner with LifeMoves to improve conditions for the homeless.	Re-initiate participation of Housing Division in LifeMoves HOT in 2023. Consider funding resources for homeless case manager in 2024	The City has partnered with the County's Center on Homelessness to address homeless encampments in the City. LifeMoves and WeHope are contracted to provide direct outreach services and regularly interact with individuals at the encampments. The City's Housing Division and Police Department participate in monthly meetings with the County.
H3.F Work with the U.S. Department of Veterans Affairs on Homeless Issues	Contact the U.S. Department of Veterans Affairs to coordinate in addressing the needs of people experiencing homelessness. Seek to achieve a minimum of 60 new units of affordable housing for veterans	Meet with the U.S. Department of Veterans Affairs annually. Per the VA and MidPen, construction is intended to start in December 2024 and project opening would be in March 2026	In September 2024, the City Council adopted a resolution to authorize the city manager to execute a funding agreement with MidPen in the amount of \$2M and for staff to appropriate the funds from the FY24-25 budget. City funds are expected to be dispersed to MidPen in early 2025. The project groundbreaking occurred in Feb. 2025.
H3.G Zoning Text Amendments for Special Needs Housing	Facilitate housing for Menlo Park's special needs and extremely low income populations	Amend Zoning Code by 2024	The City has yet to initiate this program.

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H3.H Inclusionary Accessible Units	Expand housing opportunities for people with disabilities	Incorporate incentives for accessible units in the AHO (2023) and updated BMR regulations (2025), and promote on the City's website. Utilize the Housing Element Annual Progress Report (APR) to report on specific incentives incorporated within BMR and AHO, including website links to the updated regulations	The City updated the Affordable Housing Overlay (AHO) in 2023, including incentives for multi-bedroom and family housing and as well as senior housing. Incentives for accessible units were not incorporated at that time. The City's BMR Guidelines include an accessible unit preference for BMR applicants with accessibility needs. The City may revisit the potential for accessibility incentives in future years and/or during the mid-cycle review for the Housing Element. The City will focus on other efforts in this program in 2025, consistent with the timeframe listed in the Housing Element.
H3.I Accessible ADUs	Expand housing opportunities for people with disabilities	Within two years of Housing Element adoption concurrent with Program H3.A	The City will focus efforts on this program in 2025, consistent with the timeframe listed in the Housing Element.
H3.J Marketing for Accessible Units	Expand housing opportunities for people living with disabilities	Ongoing on a project-by-project basis	The City will focus efforts on this program as new projects are identified on Housing Inventory sites and other sites zoned for multifamily residential development opportunities.

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H3.K Employment Services	Host a working meeting or workshop with employers and advocacy groups to develop a strategy for creating jobs for persons with disabilities and boosting the number of workers with disabilities among area employers	Meeting will be held by the end of 2026. Program implementation will be ongoing thereafter	The City will focus efforts on this program in 2026, consistent with the timeframe listed in the Housing Element.
H3.L Large Units	Encourage the development of housing for large families	Adopt large unit bonus within two years of Housing Element adoption, and post on City website in conjunction with developer guide	The City began implementation of this program with the adoption of amendments to the Affordable Housing Overlay as noted in H3.H and in Specific Plan in November 2023, which included potential bonus floor area ratio (FAR) for the development of units with three or more bedrooms. Additional efforts to expand FAR bonus options for large family units in other areas of the city may be evaluated in the future.
H3.M Wheelchair Visitability	Allow for people with wheelchairs to have greater visitation access to homes in Menlo Park	Within six years of Housing Element adoption	The City will focus efforts on this program consistent with the timeframe listed in the Housing Element.

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Name of Program	Objective	Timeframe in H.E	Status of Program Implementation
H4.A Amend the Below Market Rate Inclusionary Housing Regulations	Coordinate with 21 Elements in preparation of a regional nexus study to determine the cost of the in-lieu fee and provide input into amendments to the City’s BMR Program. Implement requirements to assist in providing housing affordable to extremely low-, very low-, low- and moderate-income households throughout Menlo Park’s high resource neighborhoods	Initiate nexus study in 2023. Amend the BMR Inclusionary Housing Regulations and update the in-lieu fee within two years of Housing Element adoption; incorporate into a handout for developers on the City’s housing requirements and incentives for posting on the City’s website	The City is participating in the 21 Elements regional nexus study. In 2024, 21 Elements prepared a draft RFP for consultants to develop the regional nexus study and submitted a joint application for TOC Housing Policy grant funding. The RFP will be released in 2025.
H4.B Modify BMR Guidelines Regarding Allocations	Amend the Zoning Ordinance to require additional affordable units in market-rate developments	Within two years of Housing Element adoption	The City continues to participate in the 21 Elements BMR Guidelines working group. A first phase of the BMR Guideline revisions will occur in 2025.

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H4.C Increase Commercial Linkage Fee	Increase local funding to support production of affordable housing	Complete nexus study in conjunction with inclusionary nexus study (Program H4.A), and adopt linkage fee within two years of Housing Element adoption	In 2024, with City feedback, 21 Elements prepared a draft RFP for consultants to develop the regional nexus study. The RFP will be released in 2025.
H4.D Modify the Affordable Housing Overlay (AHO)	Incentivize affordable housing development on housing opportunity sites located in high resource areas of the community. Annually monitor progress under the AHO in conjunction with the Housing Element Annual Progress Report; after three years of implementation (2027), report back to City Council, including any recommended adjustments to the AHO to improve effectiveness	Within one year following Housing Element adoption. Incorporate AHO provisions into a handout for developers on the City's housing requirements and incentives for posting on the City's website	The AHO was modified on December 5, 2023 with the adoption of an ordinance by City Council to amend chapter 16.98 of the Municipal Code to allow a density of up to 150 dwelling units per acre (du/ac) for a development with 100 percent affordable housing. A handout will be developed to explain the updated requirements and incentives.

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H4.E Streamlined Project Review	Utilize objective design and development standards to add greater certainty to and streamline the development review process	Objective design/development standards and ministerial review for 100% affordable projects (2025); Eliminate CUP for multi-family (2025); SB 35 streamlining (2026, or earlier as needed)	Objective design standards were included with each of the new and updated zoning districts adopted by City Council on December 5, 2023. Additional streamlining actions outlined in the program will be completed according to program timeline in 2025 and/or 2026.

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Name of Program	Objective	Timeframe in H.E	Status of Program Implementation
H4.F Modify Accessory Dwelling Unit (ADU) Development Standards and Permit Process	Zoning Ordinance amendment and accompanying public-facing documentation (i.e., on the City website). Seek to produce at least 85 ADUs between 2023-2031, including 51 affordable to lower income households, furthering economic integration in traditionally single-family neighborhoods	Homeowners outreach, modifications to the Zoning Ordinance, and development of potential ADU designs tool shall be completed by the end of 2024. Within six months of receipt of HCD's letter regarding ADU regulations non-compliance issues, the City will make revisions to address the identified issues	The City is awaiting receipt of HCD's letter regarding any ADU regulations non-compliance issues and will make any necessary revisions to local ordinances as outlined in the program and within the program timeframe following receipt of the letter. The City has continued to see robust development trends for ADUs in the community, with 68 ADUs permitted in 2024, achieving over 100% of the total planning period goal though 2031. The City also launched its pre-approved ADU process to comply with AB 434.

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H4.G Prioritize Affordable Housing on City-Owned Parking Lots Downtown	Achieve the development of 345 affordable units on a combination of City owned parking lot sites in the downtown, supporting the integration of affordable housing options in high resource areas of the community	Initiate feasibility study (2023); Issue RFP for development (2024); Complete development entitlements (2025); Complete development (2027)	In August 2024, the City Council reviewed a feasibility study and directed staff to proceed with exploring development on Parking Plazas 1, 2, and 3. The three parking lots could accommodate more than 345 units using the existing zoning provisions on the three sites. City staff and the City Council conducted public outreach, held multiple public meetings, and considered public feedback regarding the potential for development on the sites through the end of 2024. In January 2025, the City Council authorized release of an RFQ for the three parking lots, with responses due in March 2025.
H4.H Review the Subdivision Ordinance	Review and adopt amendments to the Subdivision Ordinance as needed	Within three years of Housing Element adoption	The City has yet to initiate this program.
H4.I Create New Opportunities for Mixed-Use Development	Adopt a Zoning Ordinance amendment	Within one year of Housing Element adoption	This program was completed December 5, 2023 with the adoption of ordinances by City Council to amend various chapters of the Municipal Code to create and update mixed use zoning districts.

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Name of Program	Objective	Timeframe in H.E	Status of Program Implementation
H4.J Increase Residential Density and Maximize Development Proposals	Increase residential density in certain high resource areas of the city, develop additional multifamily housing on suitable parcels, and facilitate achievement of maximum permitted densities through adoption of appropriate development standards	To be completed within the first year of the planning period	This program was completed December 5, 2023 with the adoption of ordinances by City Council to amend various chapters of the Municipal Code to update the City's R-3 and R-4 zoning districts.
H4.K Rezone for Lower Income Shortfall	Increase residential density to a range from a minimum of 20 du/ac and allowing for densities of up to 100 units/acre or greater and affordable housing on sites identified for housing for at least 6.8 acres to provide for at least 202 lower-income units	1/31/2024	This program was completed December 5, 2023 with the adoption of ordinances by City Council to amend various chapters of the Municipal Code and implement Programs H4.D, H4.I, H4.J, H4.L, H4.Q, and H4.T.
H4.L Modify El Camino Real/Downtown Specific Plan	Increase housing opportunities in El Camino Real/Downtown Specific Plan Area, thereby facilitating production of affordable housing and enhancing economic integration in high resource areas of the community	Within one year of Housing Element adoption	This program was completed November 28, 2023 with the City Council adoption of amendments to the Specific Plan.

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H4.M Update Parking Requirements and Design Standards	Modify Municipal Code to include amended parking requirements and establish a parking or alternative transportation in-lieu fee	Within one year of Housing Element adoption; an in-lieu fee will be evaluated within two years of Housing Element adoption. Additional amendments will be completed as needed thereafter with ongoing staff review of parking standards	Parking requirements for the City's multifamily and mixed use zoning districts were modified so that no more than one parking space is required for smaller units (e.g., one-bedroom, studio, or single-room occupancy units) as part of the adoption of amendments to the Specific Plan and Municipal Code in November and December 2023. Additional program actions will be conducted in the future according to the program timeline.
H4.N Achieve Long-Term Viability of Affordable Housing	Establish project management and other ongoing project coordination needs	As developments are proposed and ongoing thereafter	The City will focus efforts on this program as new projects on the Housing Inventory sites and other sites zoned for multifamily residential development opportunities, consistent with the timeframe listed in the Housing Element.

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H4.O Identifying SB 10 Sites	Amend the Zoning Ordinance and Map to implement an SB 10 overlay; target the development of 2 SB 10 projects per year from 2027 through 2031 (5 years), averaging 5 units per project, for at least 50 total SB 10 units. At least 80 percent of these units are targeted for Racially Concentrated Areas of Affluence (RCAAs) south of US-101.	Adopt the overlay by December 2026	The City will focus efforts on this program during or before 2026, consistent with the timeframe listed in the Housing Element.
H4.P Community Opportunity to Purchase	Adopt a community opportunity to purchase ordinance. Increase opportunities for affordable housing development	Adopt ordinance by the end of 2024	The City has not yet initiated this program.
H4.Q Reuse Sites	Allow for ministerial review for housing development on reuse sites that propose at least 20 percent of the units as affordable for lower-income households	Within three years of Housing Element adoption	This program was completed December 5, 2023 with the adoption of ordinances by City Council to amend various chapters of the Municipal Code.

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H4.R Work with the Fire District	Undertake local amendments to the State Fire Code and approve City Council Resolution ratifying the Fire District's local amendments	Complete local amendments to the State Fire Code by the end of 2025. Ratify amendments by the end of 2026.	The City will collaborate with the Menlo Park Fire Protection District as needed. In Dec. 2022, the City Council last adopted a resolution ratifying the Fire District's amendments to the 2022 California Fire Code.
H4.S Coordinate with School Districts to Link Housing with School District Planning Activities	Coordinate with local school districts in planning for future housing in consideration of each school district's long-range planning, resources and capacity	Ongoing through project implementation	The City will focus efforts on this program as new projects are identified on Housing Inventory sites and other sites zoned for multifamily residential development opportunities, consistent with the timeframe listed in the Housing Element.
H4.T Residential Overlay	Allow residential uses in currently non-residential areas of Menlo Park	To be completed within the first year of the planning period.	This program was completed December 5, 2023 with the adoption of an ordinance by City Council to create chapter 16.95 of the Municipal Code.

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Name of Program	Objective	Timeframe in H.E	Status of Program Implementation
H4.U Federally-Owned Sites and School Sites	Facilitate residential development on sites owned by the USGS, VA, and Ravenswood City School District to achieve at least 131 new affordable housing units in Menlo Park.	<p>USGS: Coordinate with General Services Administration and prospective buyers (2025); Complete residential development entitlements (2028); Issue residential development building permits for at least 89 units (2030).</p> <p>VA: Complete development of at least 60 units (2027).</p> <p>Ravenswood City School District: Complete outreach in collaboration with School District and MidPen (2024), Complete development entitlements (2025), Complete</p>	<p>In early 2025, the City received correspondence from the General Services Administration (GSA) indicating that the USGS site will be reoffered for sale by Sealed Bid Auction. Sealed bids will be publicly opened on April 15, 2025. The City will continue to coordinate with GSA and prospective buyers.</p> <p>The VA site is technically not subject to the City’s discretionary planning approvals, however, MidPen complied with the City’s R-4-S zoning requirements in recognition of the development’s location and connection to the surrounding community. In September 2024, the City Council committed \$2 million in BMR NOFA funds, and will continue to partner with MidPen on the project.</p> <p>The City reviewed the Ravenswood City School District proposal for affordable housing at 320 Sheridan Drive in 2024. On November 19, 2024, the City Council approved a \$1M commitment for the affordable housing project. In January 2025, the Planning Commission approved the project, which was appealed and will be reviewed by the City Council in early 2025.</p>

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Name of Program	Objective	Timeframe in H.E	Status of Program Implementation
H4.V Local Density Bonus Law Ordinance	Facilitate utilization of State Density Bonus Law	By December 2024	The City has not yet initiated this program.
H5.A Fair Chance Ordinance	Expand renter protections	Within five years of Housing Element adoption	The City will focus efforts on this program during or before 2028, consistent with the timeframe listed in the Housing Element.
H5.B Undertake Community Outreach When Implementing Housing Element Programs	Conduct community outreach and distribute materials	At least on an annual basis	Outreach on Housing Element-related efforts utilized an integrated communication strategy including direct mail, targeted email, weekly newsletters, social media, newspaper notices, A-frames/posters, electronic message boards, and in-person and virtual community meetings. The City maintains up-to-date information on multiple Housing Element-related webpages, and community members can continue to subscribe to specific project email lists. The City partnered with community-based organizations (e.g., Climate Resilient Communities) to enhance community outreach and engagement through local networks, particularly striving to reach underserved communities. This program will continue throughout the planning period.

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Name of Program	Objective	Timeframe in H.E	Status of Program Implementation
H5.C Provide Multilingual Information on Housing Programs	Improve access to information on housing programs to persons with limited English proficiency	Continue to provide readily translatable information on the City's webpage and work to provide written information and handouts on the City's key housing programs in multiple languages by December 2024.	The City's website is readily translatable and information regarding Spanish language interpretation/translation is provided on public hearing notices. The City will focus efforts on expanding to written materials and the availability of information in multiple languages.

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H5.D Address Rent Conflicts	Increase awareness among residents, including low income and special needs populations, of available resources for addressing rent conflicts and fair housing complaints	AFFH Actions: Provide multilingual fair housing information at City facilities (2023); Conduct informational workshops at the Family Recreation Center and before City Council (2024, 2026); Provide fair housing information to rental property owners (2025, 2028)	In May 2024, in celebration of Affordable Housing Month, the City held a Housing Resource Fair in which Project Sentinel was a participating organization. They were able to distribute material about their Rental Mediation Program. In addition, the City has produced a Housing Resource Guide that includes tenant/landlord resolution information.

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Name of Program	Objective	Timeframe in H.E	Status of Program Implementation
H5.E Publicize Fair Housing Laws and Respond to Discrimination Complaints	Affirmatively further fair housing by increasing awareness among residents, including low income and special needs populations, of available resources for addressing fair housing issues	AFFH Actions: Provide multilingual fair housing information at the Family Recreation Center (2023); Conduct informational workshops at the Center and before City Council (2024, 2026); Provide fair housing information to rental property owners (2025, 2028)	In May 2024, in celebration of Affordable Housing Month, the City held a Housing Resource Fair in which Project Sentinel was a participating organization. They were able to distribute material about their fair housing services. In addition, the City has produced a Housing Resource Guide that include fair housing information and housing discrimination investigation.
H5.F First-Time Homebuyer Program	Provide opportunities for moderate income first-time homebuyers to reside in the community, thereby fostering housing mobility.	Conduct program outreach by December 2024	The City has a Legacy List, which is currently closed. Moderate income homebuyers have access to purchase opportunities through the BMR program if they are on the Legacy List and there is a moderate income unit available. The City will continue to monitor opportunities to enhance the program.
H5.G Improve Access to City Law	Have a one-stop landing page for development information that can be easily understood by developers and members of the public	Develop website by December 2024	The City will continue to focus efforts on this program in 2025, consistent with the program in the Housing Element.

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H5.H Tenant Readiness Education Program	Provide educational assistance and identify resources to help renters acquire and maintain decent and affordable housing	Establish partnership or develop program by December 2024	The City will continue to focus efforts on this program in 2025, consistent with the program in the Housing Element.
H5.I Racial Equity Training Program	Increase awareness, build organizational capacity and infrastructure, and strive for racial equity in housing and other local government matters	Join program by December 2023; initiate first racial equity training session in 2024	<p>Throughout 2024, representatives from different City departments, including, but not limited to, the City Manager's Office, Community Development, Police, Public Works, and Library and Community Services, participated in regular Equity in Government meetings facilitated by the County of San Mateo with the overall goal of growing equity work together across the county.</p> <p>In February 2024, City representatives participated in a Foundational Equity Training organized by the County of San Mateo and presented by The Justice Collective, with the intent to assess training capacity and appropriateness for potential broader organization-wide equity training.</p>

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H5.J Environmental Justice Element	Prioritize the needs of Underserved Communities (Disadvantaged Communities); reduce pollution exposure; improve access to public facilities; promote food access; promote safe and sanitary housing; promote physical activity; promote civic engagement.	Continue community outreach and engagement and the refinement/prioritization of policies and programs to advance environmental justice (2024); adopt the Environmental Justice Element (2024); evaluate potential funding of environmental justice programs through utilization of Community Amenities funds in the Bayfront area (annually); implement at least one Environmental Justice Element program each year with emphasis on the highest priority programs identified through	<p>In September 2024, following three years of community outreach and engagement with a focus on meeting people where they are and empowering the voices of Menlo Park’s underserved Belle Haven and Bayfront communities, the City of Menlo Park adopted its first General Plan Environmental Justice (EJ) Element.</p> <p>Through an inclusive, intentional, and equitable planning process with over 15 outreach and engagement events, the Menlo Park community harmonized voices into an action-oriented plan to positively impact the whole ecosystem — not only the environment, but also the health and wellbeing of people.</p> <p>The community identified three top priorities for advancing EJ: Priority #1: Provide Safe, Sanitary, and Stable Homes; Priority #2: Promote Access to High Quality and Affordable Food; and Priority #3: Reduce Pollution Exposure and Improve Air Quality. The EJ Element is a living document that will grow with and for the community over time.</p> <p>In March 2025, the Planning Commission and City Council will review the first EJ Element Annual Progress Report. Together with the community, the City will continue to advance EJ through implementation of the programs and action items identified in the EJ Element Action Guide.</p>

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H6.A Reach Codes	Achieve greenhouse gas reduction targets	Ongoing on a project-by-project basis	In 2024, the City Council gave direction to staff to prepare a reach code to promote residential electrification. Staff developed an ordinance to require rewiring for future appliance electrification at the time of replacing a main electrical panel. The City will continue to encourage reduction in greenhouse gas emissions as projects are reviewed.
H6.B Electric Vehicle Charging	Achieve greenhouse gas reduction targets	Concurrent with the next building code update in 2025	The City continued implementation of the residential electric vehicle reach codes. Additionally, the City updated the 2025-2030 Climate Action Plan scope of work which identified new priority actions to expand access to electric vehicle charging for multifamily properties. Staff promoted Peninsula Clean Energy's electric vehicle charging rebate for multifamily properties and explored partnerships with other programs.
H6.C Air Conditioning or Cooling Alternatives	Ensure healthy building environments	Within two years of Housing Element adoption	At the end of 2024, Menlo Park's Home Upgrade program completed 19 home energy assessments with 7 signed participation agreements for Belle Haven homeowners to receive energy efficiency and electrification upgrades including heat pumps. Additionally, the City promoted Peninsula Clean Energy's heat pump rebate available to all single family and multifamily property owners. The City continued exploring local code amendments to encourage the installation of high-efficiency heat pumps, ceiling fans, air exchangers, and increased insulation.

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Describe progress of all programs including local efforts to remove governmental constraints to the maintenance, improvement, and development of housing as identified in the housing element.			
1	2	3	4
Name of Program	Objective	Timeframe in H.E	Status of Program Implementation
H6.D Promote Energy Efficient/Renewable Programs	Encourage participation in the energy efficient and renewable energy programs	Update the City's website annually	The City's website was updated in 2024 with information on new energy efficiency programs offered by Peninsula Clean Energy. Announcements for these programs were also published in the City's weekly electronic newsletter and social media channels. The City provided education about the programs at in person community events.
H6.E Explore Multimodal Improvements	Coordinate with Redwood City on potential pedestrian and bicycle improvements	Within three years of Housing Element adoption	The City will seek out opportunities to coordinate with the City of Redwood City on Capital Improvement Plan projects and development projects that could incorporate bicycle and pedestrian improvements linking the two cities. The City will continue to focus efforts on this program during or before 2026, consistent with the timeframe listed in the Housing Element.
H6.F Transit Incentives	Reduce vehicle trips and parking demand and increase use of alternative forms of mobility	Ongoing on a project-by-project basis	The City has initiated an update to its Transportation Demand Management (TDM) Guidelines to align trip reduction goals for development projects with C/CAG policy. The City will focus efforts on this program as new projects are identified on Housing Inventory sites and other sites zoned for multifamily residential development opportunities, consistent with the timeframe listed in the Housing Element.

ANNUAL ELEMENT PROGRESS REPORT

Housing Element Implementation

Jurisdiction	Menlo Park		
Reporting Year	2024	(Jan. 1 - Dec. 31)	
Table D			
Program Implementation Status pursuant to GC Section 65583			
Housing Programs Progress Report			
Describe progress of all programs including local efforts to remove governmental constraints to the maintenance, improvement, and development of housing as identified in the housing element.			
1	2	3	4
Name of Program	Objective	Timeframe in H.E	Status of Program Implementation
H6.G Neighborhood Connectivity	Reduce disparities in access to opportunities	Identify project priorities annually through coordination with the City's capital improvement projects list; implementation of the projects shall be ongoing throughout the planning period	The 2023-2028 Capital Improvement Plan includes projects for Belle Haven Traffic Calming Plan Implementation, Caltrain Grade Separation, Middle Avenue Caltrain crossing design study and construction, Coleman-Ringwood Avenues Transportation Study, El Camino Real Crossings improvements, Haven Avenue streetscape improvement, Middle Avenue complete street study, and various other pedestrian and bicycle improvements. The City will continue to focus efforts on this program as new projects are identified on Housing Inventory sites and other sites zoned for multifamily residential development opportunities, consistent with the timeframe listed in the Housing Element.
H7.A Create Objective Residential Design Standards	Adopt objective design standards for multifamily developments, mixed-use housing developments, and ADUs to add greater certainty to and streamline the development review process	Objective design/development standards outreach (2024) and adoption (2025)	The City Council adopted objective design standards for the C-MU mixed use and R-3 zoning multi-family residential districts on December 5, 2023. The City will evaluate the development of standards for other uses such as single-family residential and ADUs.

Jurisdiction	Menlo Park	
Reporting Period	2024	31)
Planning Period	6th Cycle	01/31/2023 - 01/31/2031

ANNUAL ELEMENT PROGRESS REPORT

Housing Element Implementation

Note: "+" indicates an optional field
Cells in grey contain auto-calculation formulas

Table F

Units Rehabilitated, Preserved and Acquired for Alternative Adequate Sites pursuant to Government Code section 65583.1(c)

Please note this table is optional: The jurisdiction can use this table to report units that have been substantially rehabilitated, converted from non-affordable to affordable by acquisition, and preserved, including mobilehome park preservation, consistent with the standards set forth in Government Code section 65583.1, subdivision (c). Please note, motel, hotel, hostel rooms or other structures that are converted from non-residential to residential units pursuant to Government Code section 65583.1(c)(1)(D) are considered net-new housing units and must be reported in Table A2 and not reported in Table F.

Activity Type	Units that Do Not Count Towards RHNA ⁺ Listed for Informational Purposes Only				Units that Count Towards RHNA ⁺ Note - Because the statutory requirements severely limit what can be counted, please contact HCD at apr@hcd.ca.gov and we will unlock the form which enable you to populate these fields.			TOTAL UNITS ⁺	The description should adequately document how each unit complies with subsection (c) of Government Code Section 65583.1 ⁺ . For detailed reporting requirements, see the checklist here: https://www.hcd.ca.gov/community-development/docs/adequate-sites-checklist.pdf
	Extremely Low-Income ⁺	Very Low-Income ⁺	Low-Income ⁺	TOTAL UNITS ⁺	Extremely Low-Income ⁺	Very Low-Income ⁺	Low-Income ⁺		
Rehabilitation Activity									
Preservation of Units At-Risk									
Acquisition of Units									
Mobilehome Park Preservation									
Total Units by Income									

Jurisdiction	Menlo Park	
Reporting Period	2024	(Jan. 1 - Dec. 31)
Planning Period	6th Cycle	01/31/2023 - 01/31/2031

NOTE: STUDENT HOUSING WITH DENSITY BONUS ONLY. This table only needs to be completed if there were student housing projects WITH a density bonus approved pursuant to Government Code 65915(b)(1)(F)

ANNUAL ELEMENT PROGRESS REPORT

Housing Element Implementation

Note:
Cells in gre

Table J

Student housing development for lower income students for which was granted a density bonus pursuant to subparagraph (F) of paragraph (1) of subdivision (b) of S

Project Identifier				Project Type	Date	Units (Beds/Student Capacity) Approved						
1				2	3	4						
APN	Street Address	Project Name ⁺	Local Jurisdiction Tracking ID ⁺	Unit Category (SH - Student Housing)	Date	Very Low-Income Deed Restricted	Very Low-Income Non Deed Restricted	Low-Income Deed Restricted	Low-Income Non Deed Restricted	Moderate-Income Deed Restricted	Moderate-Income Non Deed Restricted	Above Moderate-Income
Summary Row: Start Data Entry Below												

Jurisdiction	Menlo Park	
Reporting Period	2024	(Jan. 1 - Dec. 31)
Planning Period	6th Cycle	01/31/2023 - 01/31/2031

ANNUAL ELEMENT PROGRESS REPORT

Table K
Tenant Preference Policy

Local governments are required to inform HCD about any local tenant preference ordinance the local government maintains when the jurisdiction submits their annual progress report on housing approvals and production, per Government Code 7061 (SB 649, 2022, Cortese). Effective January 1, 2023, local governments adopting a tenant preference are required to create a webpage on their internet website containing authorizing local ordinance and supporting materials, no more than 90 days after the ordinance becomes operational.

Does the Jurisdiction have a local tenant preference policy?	Yes
If the jurisdiction has a local tenant preference policy, provide a link to the jurisdiction's webpage containing authorizing local ordinance and supporting materials.	https://menlopark.gov/files/sharedassets/public/v2/community-development/documents/20220303-below-market-rate-guidelines.pdf
Notes	See section 8.1 of the BMR Guidelines linked from the City's website above. Preferences include live and/or work, unhoused, displacement, and accessible unit preferences.

Jurisdiction	Menlo Park
Reporting Year	2024 (Jan. 1 - Dec. 31)

ANNUAL ELEMENT PROGRESS REPORT
Local Early Action Planning (LEAP) Reporting
 (CCR Title 25 §6202)

Please update the status of the proposed uses listed in the entity's application for funding and the corresponding impact on housing within the region or jurisdiction, as applicable, categorized based on the eligible uses specified in Section 50515.02 or 50515.03, as applicable.

Total Award Amount	\$ 150,000.00	Total award amount is auto-populated based on amounts entered in rows 15-26.
---------------------------	---------------	--

Task	\$ Amount Awarded	\$ Cumulative Reimbursement Requested	Task Status	Other Funding	Notes
Preparation of General Plan Housing Element and Safety Element updates, and new Environmental Justice Element	\$150,000.00	\$150,000.00	Completed	Local General Fund	Housing Element update complete; Safety Element and Environmental Justice Element work completed in 2024

Summary of entitlements, building permits, and certificates of occupancy (auto-populated from Table A2)

Completed Entitlement Issued by Affordability Summary		
Income Level	Deed Restricted	Current Year
Very Low	Deed Restricted	0
	Non-Deed Restricted	0
Low	Deed Restricted	1
	Non-Deed Restricted	0
Moderate	Deed Restricted	0
	Non-Deed Restricted	0
Above Moderate		22
Total Units		23

Building Permits Issued by Affordability Summary		
Income Level	Deed Restricted	Current Year
Very Low	Deed Restricted	60
	Non-Deed Restricted	21
Low	Deed Restricted	0
	Non-Deed Restricted	31
Moderate	Deed Restricted	0
	Non-Deed Restricted	26
Above Moderate		38
Total Units		176

Certificate of Occupancy Issued by Affordability Summary		
Income Level	Deed Restricted	Current Year
Very Low	Deed Restricted	0
	Non-Deed Restricted	14
Low	Deed Restricted	0
	Non-Deed Restricted	8
Moderate	Deed Restricted	0
	Non-Deed Restricted	11
Above Moderate		35
Total Units		68

City of Menlo Park

Environmental Justice Element Action Guide Updated February 2025

The Environmental Justice Element is accompanied by an Environmental Justice Element Action Guide. The Action Guide is a tool to be used to manage and coordinate City efforts to accomplish the goals, policies, and programs outlined in the Environmental Justice Element. This dual document approach allows for more frequent updating of the Action Guide in response to changing community needs, funding opportunities, and ongoing community outreach – particularly input from Menlo Park’s underserved communities – without requiring a General Plan Amendment.

The Action Guide lists Environmental Justice Element goals, policies, programs, and action items. The community-prioritized goals lead the Action Guide, followed by the other goals in sequential order.

Policies and programs are under the goals in sequential order, while action items are under the program they implement. The organizing structure and color scheme, demonstrated below, allows for easy reference:

Item	Structure	Example
Goal	EJ#	EJ1
<i>Policy</i>	<i>EJ#.#</i>	<i>EJ1.1</i>
Program	EJ#.X	EJ1.A
Action Item	EJ#.X.#	EJ1.A.1

The Action Guide includes details on programs and action items, organized under three groups: Descriptive Information, Implementation, and Time Frame. The structure and presentation style of the Action Guide may evolve over time.

Descriptive Information

Column A: ID

Identification of the policy, program, or action item corresponding to the goal they support (e.g., EJ4):

- Policies are given a number (e.g., EJ4.1)
- Programs are given a letter (e.g., EJ4.D)
- Action items are given a letter and a number (e.g., EJ4.D.1)

Column B: Policy / Program / Action Item Text

Text of the policy, program, or action item.

Column C: Classification

Identification of whether the row is a policy, program, or action item.

Column D: Activity (Formerly "In Progress?")

If City and/or partners are currently conducting a process that would accomplish the objective of the program or action item, this column includes a brief description. As the City fulfills programs and action items, and initiates activity on additional programs and action items, this column may be updated.

Implementation

Implementation data describes who would likely lead carrying out the program or action item and what funding is potentially available to fulfill it. Also included in this section are supporting City departments and partners outside City government, such as County authorities or non-governmental organizations.

Column E: Lead Role

The City department or division who would likely lead the implementation of the program or action item.

Column F: Supporting Role

City departments or divisions, as well as partner organizations, that may support implementation of the program or action item.

Column G: Funding Source(s)

Potential sources of funding that may support program or action item implementation.

Time Frame

The estimated time frame for programs and action items is arranged into two components: initiation (when work will begin) and completion (when work will be finished).

Column H: Initiation

The programs and action items are sorted into four categories: those that can be started in a short-term time frame, a medium-term time frame, a long-term time frame, and those that are in progress. As the City fulfills programs and action items, and initiates action on additional programs and action items, this column may be updated. For the purposes of the Environmental Justice Element, the time frames are defined accordingly:

- **In Progress:** Already in progress. These are highlighted in gold in the Action Guide.
- **Short-Term:** Zero to three years from Element adoption, estimated
- **Medium-Term:** More than three and less than six years from Element adoption, estimated
- **Long-Term:** Six years or more from Element adoption, estimated

Column I: Completion

The programs and action items are sorted into four categories: those that can be accomplished in a short-term time frame, a medium-term time frame, a long-term time frame, and those that are ongoing from initiation of work. For the purposes of the Environmental Justice Element, the time frames are defined accordingly:

- **Ongoing from Initiation:** Estimated to be worked on indefinitely
- **Short-Term:** Zero to three years from beginning of work on the item, estimated
- **Medium-Term:** More than three and less than six years from beginning of work on the item, estimated
- **Long-Term:** Six years or more from beginning of work on the item, estimated

City of Menlo Park Environmental Justice Element Action Guide
Updated February 2025

City of Menlo Park Environmental Justice Element Action Guide									
Updated February 2025									
DESCRIPTION				IMPLEMENTATION			TIME FRAME		
A	B	C	D	E	F	G	H	I	
ID	Policy / Program / Action Item Text	Classification	Activity	Lead Role	Supporting Role	Funding Source(s)	Initiation	Completion	
Community Priority #1: Goal EJ5. Provide safe, sanitary, and stable homes									
EJ5.1	Prioritize housing programs that provide and maintain safe, sanitary, and stable homes, particularly in underserved communities.	Policy	-	-	-	-	-	-	-
EJ5.2	Maintain and develop safe, sanitary, and stable homes across all locations and affordability ranges, particularly in underserved communities.	Policy	-	-	-	-	-	-	-
EJ5.3	Support housing development distribution throughout the city and not concentrated within Menlo Park's underserved communities.	Policy	-	-	-	-	-	-	-
EJ5.A	Soil Remediation. Identify and resolve, to the extent feasible, any potential toxic soil contamination in residential developments, particularly in underserved communities. Identify potential closed (remediated) contaminated sites at risk of groundwater rise or sea level rise. Work with community based organizations and underserved communities to coordinate with regulatory and regional agencies for contaminated sites to be remediated at a level that protects community health under current and future flood conditions.	Program	The California Department of Toxic Substances Control (DTSC) tracks cleanup, permitting, enforcement and investigation efforts at hazardous waste facilities and sites with known contamination or sites where there may be reasons to investigate further. The Safety Element (Table S-4) includes a list of sites along with their current status of evaluation or remediation. The City is typically the lead agency for environmental review under the California Environmental Quality Act (CEQA) and staff coordinates with developers, the community, and other agencies to ensure a comprehensive environmental review process is adhered to whenever there are proposed projects.	Community Development	San Mateo County Environmental Health Services, Department of Toxic Substances Control (DTSC)	Department of Food and Agriculture (Healthy Soils Demonstration Program)	In Progress	Short Term	
EJ5.B	Outreach to Households. Conduct outreach to potentially eligible households regarding programs that support safe, sanitary, and stable homes.	Program	<p>On April 26, 2024, the City Council introduced a proclamation recognizing the month of May as Affordable Housing Month in Menlo Park. This proclamation acknowledges how affordable housing enhances community life, character, and vitality by providing adequate housing opportunities for all income levels.</p> <p>On May 11, 2024, the City held a Housing Resource Fair at Ivy Plaza in Belle Haven with local housing providers and housing service organizations. The event offered information on affordable housing opportunities, housing rehabilitation, and support services. Event highlights include:</p> <ul style="list-style-type: none"> -Approximately 50 community members attended. -Nine vendors participated, including: Project Sentinel, Housing INC, Samaritan House, Life Moves, Nation's Finest, Habitat for Humanity Greater San Francisco, Rebuilding Together, HIP Housing, and MidPen Housing. - City staff members from the Community Development Department and City Manager's Office staffed information booths. The Housing Division provided direct access for participants to sign up for the City's Below Market Rate Housing Interest List. The Sustainability Division promoted the Peninsula Clean Energy home electrification program. The Planning Division shared information about the preparation of the Environmental Justice Element and update to the Safety Element. -Snacks, raffle gift card prizes, and a children's activity table were provided. Raffle giveaway was conducted hourly and included gift cards from businesses located in Menlo Park (e.g., Safeway and SAJJ Mediterranean). 	Community Development	California Department of Community Services and Development, City Manager's Office	Strategic Growth Council (Transformative Climate Communities Program)	In Progress (Short Term)	Ongoing From Initiation	
EJ5.C	Multilingual Tenant Protection Resources. Create or partner with providers to provide a central multilingual tenant protection hotline for renters with questions. If such resources already exist, conduct proactive outreach and education to inform the community of available resources. Hold culturally competent, in-language outreach workshops.	Program	<p>On October 5, 2024, the Housing Division participated in an open house information night at the Belle Haven Community Campus and distributed the Housing Resource Guide to community members. The Housing Division updated and distributed a Housing Resource Guide to all of the major City campuses. The Guide includes information related to services, but not limited to, transitional, permanent and temporary housing support services through organizations like HIP Housing, Samaritan House, and LifeMoves.</p> <p>In 2025, the Housing Division plans to conduct additional outreach to share information about housing-related and supportive resources.</p>	Community Development	Local Tenant Protection Services (e.g., Legal Aid Society of San Mateo County (HomeSavers Project), Project Sentinel by San Mateo County)	Strategic Growth Council (Transformative Climate Communities Program)	In Progress (Short Term)	Ongoing From Initiation	

		DESCRIPTION			IMPLEMENTATION			TIME FRAME	
A	B	C	D	E	F	G	H	I	
ID	Policy / Program / Action Item Text	Classification	Activity	Lead Role	Supporting Role	Funding Source(s)	Initiation	Completion	
EJ5.D	Community Land Trust. Identify opportunities to support a Community Land trust or other fiscal vehicle to purchase land to develop deeply affordable housing.	Program	This item has not yet begun and evaluation for implementation continues.	Community Development	City Manager's Office, Community Development Department, MidPen Housing Community Land Trust	BMR Housing Fund	Long Term	Long Term	
EJ5.E	First-time Homeowner Assistance. Conduct community outreach to help prospective first-time homeowners navigate the process. This includes 6th Cycle Housing Element Program H5.F (regarding collaborating with the Housing Endowment and Regional Trust of San Mateo County (HEART)) and helping to facilitate first-time homeowner workshops for residents in underserved communities.	Program	As part of the City's Below Market Rate Housing Program, the City requires prospective below market rate homebuyers to complete a first time homebuyer education workshop, class, or counseling session. The City has partnered with Habitat for Humanity of Greater San Francisco to create low income homeownership opportunities such as the project at 335 Pierce Road where the City granted Habitat \$3.6 million in April 2024 to develop a low income homeownership project (8 units).	Community Development	City Manager's Office, Local Community Based Outreach Organizations (e.g., Menlo Together)	Strategic Growth Council (Transformative Climate Communities Program)	In Progress (Short Term)	Ongoing From Initiation	
EJ5.F	Building Electrification. Promote funds and subsidies that minimize the passing through of any upfront investment costs of building electrification on to tenants.	Program	In 2024, the City promoted Peninsula Clean Energy's rebates for heat pump water heaters and heat pump space heating and cooling for multifamily and single family homes. The program only provides incentives for in-unit upgrades which ensures tenants receive the most value. Staff continues to identify incentive structures that enable property owners to make upgrades while not resulting in cost impacts to tenants, such as increased rent or utility bills. In 2024, the City supported Menlo Spark, a community based organization, in its work with MidPen Housing to electrify Willow Court without passing any costs to tenants.	Sustainability Division	City Manager's Office, Public Works Department, PG&E, Peninsula Clean Energy	Strategic Growth Council (Community Resilience Centers Program)	In Progress (Short Term)	Medium Term	
EJ5.G	Anti-Displacement Strategy. Ensure that City's Anti-Displacement Strategy (Housing Element Program H2.E) supports households and neighborhoods in underserved communities, including identifying, acknowledging, and addressing racial disparities in the housing market. This will include consideration, at a minimum, the following: - Rental inventory of all dwelling units - Updated or expanded rent control laws - Rent increase mitigations, such as longer noticing requirements - Community and tenant opportunity to purchase - Revised BMR guidelines allowing for deeper affordability (e.g., subsidies) - Expand relocation assistance for tenants - Just Cause Eviction protections regardless of tenant duration - Strengthened anti-tenant harassment ordinances - An examination of opportunities to limit additional fees passed to tenants like laundry, parking, and utility costs	Program	In 2024, the City collaborated with the Housing Endowment and Regional Trust (HEART) of San Mateo County to prepare the Anti-Displacement Strategy and work is underway. Building from the feedback received from the Housing Element and Environmental Justice Element, staff identified a list of Anti-Displacement Strategy tools. These tools include the adoption of a just-cause eviction ordinance and establishment of formal rental assistance and access to legal assistance programs. On November 7 and 14, 2024, the City conducted two community meetings (one in monolingual Spanish) to learn more about the community's prioritization of the assorted Anti-Displacement Strategy tools and understand what would be most impactful to them. Staff is continuing to build on this work and will be launching an Anti-Displacement Strategy survey to gather more input before presenting the findings and tools to the City Council at a study session in 2025.	Community Development	City Manager's Office, Public Works Department	General Fund	In Progress (Short Term)	Long Term	
EJ5.H	Access to Legal Counsel. As part of an anti-displacement program and to ensure stable housing, support increasing access to legal counsel for tenants facing eviction by conducting community outreach, education, and engagement to ensure renters are aware of this resource. Include progress reports on usage annually.	Program	Current legal aid services offered by the City are through partnerships with organizations such as Legal Aid Society of San Mateo County, Project Sentinel, Samaritan House South, and Community Legal Services of East Palo Alto. The City is currently developing an Anti-Displacement strategy. In November 2024, the City held two in-person events to support anti-displacement implementation and receive feedback from the community. The expansion of legal services is a program/policy that may be implemented as part of the Anti-Displacement Strategy. In 2025, the City will be continuing community outreach through an online, citywide survey.	Community Development	City Manager's Office, Local Tenant Protection Services (e.g., Legal Aid Society of San Mateo County (HomeSavers Project), Project Sentinel by San Mateo County)	Strategic Growth Council (Transformative Climate Communities Program)	In Progress (Short Term)	Ongoing From Initiation	
Community Priority #2: Goal EJ4. Promote access to high quality and affordable food									
EJ4.1	<i>Encourage adequate food access to fresh and healthy foods for all residents, particularly those in underserved communities.</i>	Policy	-	-	-	-	-	-	
EJ4.A	Increasing Food Security. Work with grocery stores and online food service delivery and meal providers to increase access to high-quality affordable and healthy food (e.g., reduced or waived delivery service fees). Encourage and support the acceptance of SNAP (Supplemental Nutrition Assistance Program), CalFresh, and other governmental food assistance programs that increase food security.	Program	This item has not yet begun and evaluation for implementation continues.	Community Development	Local Grocery Stores (e.g., Safeway, Trader Joe's), Local Grocery Delivery Services (e.g., Uber Eats, GrubHub, DoorDash), CalFresh	Strategic Growth Council (Community Resilience Centers Program)	Medium Term	Long Term	
EJ4.B	Food Assistance Outreach. Inform low-income households and people experiencing homelessness about food assistance programs through multilingual fliers, community events, information at shelters and food banks, as well as other appropriate outreach methods.	Program	In 2024, the City's Housing Resource Guide highlighted food pantries/food assistance services and shelter services such as: -Bread Basket, Brown Bag Program, and Samaritan House Pantry -Mobile food programs such as Second Harvest of Silicon Valley (program is marketed to senior center attendees) and Peninsula Volunteers' Meals on Wheels -Project WeHope Shelter and the Salvation Army Harbor House The Housing Resource Guide was distributed to RV dwellers regularly parked in the Bohannon Park area. The City also collaborates with the County of San Mateo Department of Housing and WeHope in coordinating food assistance programs for those experiencing unsheltered homelessness.	Community Development	Communications and Public Engagement Division, Second Harvest of Silicon Valley, Homeless Outreach Team, San Mateo County Human Services Agency	Strategic Growth Council (Transformative Climate Communities Program)	In Progress (Medium Term)	Long Term	

DESCRIPTION				IMPLEMENTATION			TIME FRAME	
A	B	C	D	E	F	G	H	I
ID	Policy / Program / Action Item Text	Classification	Activity	Lead Role	Supporting Role	Funding Source(s)	Initiation	Completion
EJ4.C	Food Options at City Events. Encourage healthy food options, including vegan and vegetarian options, at municipal buildings and City-participating events. Encourage sourcing food from local small businesses.	Program	The Menlo Park Senior Center operates Monday to Friday, morning to lunchtime, and is based at the Belle Haven Community Campus. The Senior Center lunch program provides nutritionally balanced meals prepared fresh on site. The meals are paired with health, recreation, dance, creative arts, educational programs, and opportunities for conversation, fun, and connection.	All City Departments	-	General Fund	In Progress (Long Term)	Long Term
EJ4.D	Healthy Food Markets. Encourage and facilitate the establishment and operation of a farmer's market(s), farm stands, ethnic markets, and mobile health food markets in underserved communities. Conduct widespread outreach and engagement to advertise these markets.	Program	This item has not yet begun and evaluation for implementation continues.	City Manager's Office	Community Development, Second Harvest Food Bank	Strategic Growth Council (Transformative Climate Communities Program)	Long Term	Long Term
EJ4.D.1	At existing and future farmer's markets, or similar events, offer free or subsidized space for vendors who provide healthy, fresh, and affordable food for underserved communities.	Action Item	Farmer's market vendors participated at City events including the BHCC grand opening on May 18, 2024 and Juneteenth celebrations.	City Manager's Office	Community Development, Second Harvest Food Bank	Strategic Growth Council (Community Resilience Centers Planning Grant)	In Progress (Medium Term)	Long Term
EJ4.E	Community Gardens. Encourage and simplify the process of developing community gardens within or adjacent to neighborhoods and housing development sites. Facilitate the creation or enhancement of one community garden within three years of Environmental Justice Element adoption.	Program	MidPen's Oak Gardens, a 100% affordable residential development, located on the VA Campus includes a community garden for its residents. The City continues to encourage opportunities for these amenities for its residents and beyond.	Community Development	Library and Community Services, Local Community-Based Organizations (e.g., Rotary Club of Menlo Park)	Strategic Growth Council (Community Resilience Centers Round 1 Planning Grant)	In Progress (Medium Term)	Long Term
EJ4.E.1	Explore identifying unused City-owned property to support community gardens. Encourage community gardens as an amenity in required open space areas of new multifamily and mixed-use development projects.	Action Item	The Belle Haven Community Garden is a service project of Menlo Park Rotary Club. Created in 2015, the garden is community-operated on land owned by the City of Menlo Park at Ivy and Market Streets, a short walk from Belle Haven Elementary school. Local residents may sign up (at no cost) to cultivate garden beds for one year at a time. Volunteers from the Rotary Club help gardeners with periodic maintenance and repairs, equipment, weed cleanups, and paying the water bill. Master Gardeners provide technical assistance during planting and harvest. Planning staff encourage applicants to consider community gardens as an amenity in required open space areas of new multifamily and mixed-use development projects.	Community Development	Local Community-Based Organizations (e.g., Rotary Club of Menlo Park)	Strategic Growth Council (Community Resilience Centers Planning Grant)	In Progress (Short Term)	Short Term
EJ4.E.2	Identify private properties suitable for community gardens on vacant or undeveloped lots, or other opportunities for community-supported agriculture within the community. Encourage community gardens as an amenity in required open space areas of new multifamily and mixed-use development projects.	Action Item	This item has not yet begun and evaluation for implementation continues.	Community Development	Local Community-Based Organizations (e.g., Rotary Club of Menlo Park)	Strategic Growth Council (Community Resilience Centers Planning Grant)	Short Term	Short Term
EJ4.E.3	Facilitate the installation of community gardens at senior centers and senior housing facilities.	Action Item	Container gardening for seniors is planned for the patios outside of the event/senior lunch space at the Belle Haven Community Campus.	Library and Community Services	Community Development, Local Community-Based Organizations (e.g., Rotary Club of Menlo Park)	Strategic Growth Council (Community Resilience Centers Planning Grant)	In Progress (Medium Term)	Medium Term
EJ4.E.4	Develop programs and encourage developments that make smaller planter boxes or garden beds accessible for apartment dwellers.	Action Item	This item has not yet begun and evaluation for implementation continues.	Community Development	Local Community-Based Organizations (e.g., Rotary Club of Menlo Park)	Strategic Growth Council (Community Resilience Centers Planning Grant)	Medium Term	Medium Term
Community Priority #3: Goal EJ2. Reduce pollution exposure and improve air quality								
EJ2.1	<i>Prioritize pollution reduction, air quality (both indoor and outdoor), and water quality programs to reduce inequitable exposure in underserved communities.</i>	Policy	-	-	-	-	-	-
EJ2.2	<i>Implement regenerative and nature-based land management practices at the city scale, as well as collaborate on countywide and regional efforts. Reduce greenhouse gas emissions and improve watershed and human health.</i>	Policy	-	-	-	-	-	-
EJ2.3	<i>Use Urban Forest: Developing the Management Plan for Menlo Park to promote and encourage urban greening on public and private projects (e.g., bioswales, raingardens, habitat restoration) in areas with relatively less tree canopy or other greenery to provide health and safety benefits to underserved communities residents.</i>	Policy	-	Public Works - Trees	Sustainability Division, Canopy	-	Medium Term	Long Term
EJ2.4	<i>Collaborate with the Bay Area Air District [formerly known as Bay Area Air Quality Management District (BAAQMD)] and other agencies to continuously monitor air quality and seek opportunities to minimize exposure to air pollution and other hazards and maximize air quality (both indoor and outdoor) in underserved communities.</i>	Policy	-	-	-	-	-	-
EJ2.5	<i>Work with Caltrans on improvements on State-owned rights of way.</i>	Policy	-	-	-	-	-	-

DESCRIPTION				IMPLEMENTATION			TIME FRAME	
A	B	C	D	E	F	G	H	I
ID	Policy / Program / Action Item Text	Classification	Activity	Lead Role	Supporting Role	Funding Source(s)	Initiation	Completion
EJ2.6	When updating or installing transportation infrastructure, consider factors such as stormwater management, Universal Design Principles and attractive green roadway design.	Policy	-	-	-	-	-	-
EJ2.A	Stationary Pollutant Generators. Work with any identified significant stationary pollutant generators to the extent it is within the City's jurisdiction (e.g., gas stations, automobile repair, dry cleaners, and/or diesel generators) to minimize the generation of pollution through best available control technologies.	Program	This item has not yet begun and evaluation for implementation continues.	Community Development	Peninsula Clean Energy, Bay Area Air District [formerly known as Bay Area Air Quality Management District (BAAQMD)], Westbay Sanitary District, San Mateo County Environmental Health, San Mateo County Fire, Sustainability Division	Department of Resources Recycling and Recovery (Greenhouse Gas Reduction Loan Program)	Long Term	Ongoing From Initiation
EJ2.B	Climate Action Plan Implementation. Implement and periodically update the City's Climate Action Plan to improve air quality and reduce greenhouse gas emissions.	Program	The Climate Action Plan is subject to annual progress reports and is scheduled for an update in 2028. The City Council adopted a 2025-2030 implementation scope of work with the 2024 progress report outlining priority actions to achieve carbon neutrality by 2030. In 2024, the City began implementation of a zero emission landscaping equipment rule to improve air quality and reduce emissions. The new ordinance requires use of zero emission (manual, electric or battery powered) landscaping equipment, starting with leaf blowers and string trimmers on July 1, 2024, and remaining equipment (chain saws, lawnmowers and hedge trimmers) in January 2029. A electric gardening voucher program was also implemented in 2024 to support the new regulations. The Climate Action Plan implementation includes education and outreach which has prioritized bilingual outreach in Belle Haven and the Bayfront. The City co-hosted three events in 2024: -Love Our Earth Festival at Bloomhouse in East Palo Alto for proximity to Belle Haven (April 13, 2024) -Clean Air Day celebration at the TIDE Academy (October 24, 2024) -Wetlands and Watts at Cooley Landing (November 17, 2024). These community events provided resources including bike fix-it clinics, information about available incentives and programs, free food, and more. On April 26, 2025, the City will co-host the Love Our Earth Festival at the Belle Haven Community Campus alongside 350 Silicon Valley, Acterra, City of East Palo Alto, Menlo Spark, and Peninsula Clean Energy.	Sustainability Division	City Manager's Office	General Fund, grants (e.g., California Energy Commission, PG&E, Peninsula Clean Energy, and CALFIRE)	In Progress	Long Term
EJ2.C	Air Quality Education and Outreach. Conduct proactive education and outreach about indoor and outdoor air quality and protective actions that can be taken to both improve air quality inside one's home and to minimize exposure to poor air quality index days.	Program	In 2024, the City began providing no-cost whole home electrification to income qualified homeowners (<80% area median income) in Belle Haven with State grant funds. Community outreach focuses on the health impacts of natural gas and has been shared broadly through door-to-door canvassing, the Weekly Digest, social media, collaboration with community based organizations, presentations at public meetings, and posting of information at the Belle Haven Community Campus. As of December 2024, 33 home energy assessments were scheduled and installation of electric appliances began in seven homes. In 2024/2025, the City adopted local amendments to the California Building Standards Code to ensure that homes will be ready for future installation of electric appliances. Property owners replacing main electrical panels will be required to install an outlet for a future electric water heater and reserve space on the panel for electrification (for stoves, dryers, and electric vehicle chargers).	Sustainability Division [formerly Public Works]	Bay Area Air District [formerly known as Bay Area Air Quality Management District (BAAQMD)], City Manager's Office, Peninsula Clean Energy, County Office of Sustainability	Department of Resources Recycling and Recovery (Greenhouse Gas Reduction Loan Program)	In Progress (Long Term)	Ongoing From Initiation
EJ2.C.1	Identify and implement methods and avenues for public education and outreach about air quality issues in the community.	Action Item	In 2024, the City supported Acterra's, community based organization, application to the California Air Resource Board to fund the installation of air quality monitoring devices in Belle Haven. Funding awards have not yet been determined. City staff continuously provide information encouraging sign-up for Spare the Air alerts. City staff help educate the community on the impacts of using gas-powered landscaping equipment through methods including, but not limited to, citywide mailing, banners, Weekly Digest and social media posts, outreach to landscapers, and posting information at the Belle Haven Community Campus. Sustainability staff attend Belle Haven Community Climate Change Team meetings to help identify community priorities and solutions for addressing air quality issues in Menlo Park.	All City Departments	Public Works, Communications and Public Engagement Division, Bay Area Air District [formerly known as Bay Area Air Quality Management District (BAAQMD)], City Manager's Office, Peninsula Clean Energy, San Mateo County Sustainability Department	-	In Progress (Long Term)	Ongoing From Initiation
EJ2.C.2	Support the distribution of air purifiers and/or other air cleaning devices within underserved communities, especially for sensitive populations.	Action Item	City staff continuously explore grant opportunities to be able to fund the purchase of air filters to distribute. In 2024, filters were provided to two attendees of the Clean Air Day event at the TIDE Academy in partnership with 350 Silicon Valley. In 2024, the City supported Peninsula Clean Energy's partnership with Climate Resilient Communities to conduct outreach for the Home Upgrade Program focused on income-eligible Belle Haven homeowners. The program helps residents transition to electric appliances by providing financial incentives like rebates and zero-percent loans to upgrade their homes, with a particular focus on offering free installations for low-income households to replace outdated gas appliances with cleaner electric options, aiming to electrify homes, reduce carbon emissions, and have cleaner air.	Sustainability Division	Police, Sustainability Division, San Mateo County Sustainability Department	General Fund	In Progress (Long Term)	Ongoing From Initiation

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EJ2.D	Illegal Waste Dumping. Minimize and mitigate illegal solid waste dumping (as defined in 7.04.030 of the Municipal Code), potentially through minimizing fees for disposal at landfills in collaboration with South Bayside Waste Management Authority (SBWMA).	Program	The City has several ongoing partnerships to help minimize illegal dumping: -Recology offers two free bulky item pick up services that residents can use to dispose of large items (e.g., mattresses and sofas). -The City organizes free electronic waste and document shredding events with RethinkWaste. -The City hosts free household hazardous waste collection events with the San Mateo County Health Department. -Public Works staff receive illegal dumping reports from ACT Menlo Park and staff or Recology responds/collects the item(s) within the next business day.	Public Works	Communications and Public Engagement	Strategic Growth Council (Transformative Climate Communities Planning Grant)	In Progress (Medium Term)	Ongoing From Initiation	
EJ2.D.1	Conduct proactive outreach in underserved communities to inform households of free trash pickup days and solid waste disposal opportunities and programs, including the ACT Menlo Park reporting app. Outreach can include signage about ACT Menlo Park along Pierce Road.	Action Item	The City creates quarterly Recology bill inserts to provide information about free sustainable community related-events (e.g., household hazardous waste collection, document shredding, electronic waste collection, bulky item pick-up services, and compost and mulch giveaways) and to encourage multifamily and commercial properties to contact Recology for free compost pails. The bill inserts also include information about the City's rate assistance program which provides eligible users discounts on their Recology and Menlo Park Municipal Water bills. Additionally, the bill inserts encourage use of the City's online and mobile application called ACT Menlo Park, which makes it easy to report non-emergency issues from a smartphone, tablet, or desktop computer. Public Works staff have QR codes on their business cards to encourage the public to utilize ACT Menlo Park. The City partners with RethinkWaste to produce and distribute spring/summer and fall/winter Rethinker newsletters through direct mailing. The 2024 spring/summer newsletter was mailed to single-family homes and the 2024 fall/winter newsletter was distributed to multifamily households. Newsletters are also available electronically on the RethinkWaste website.	Public Works	Communications and Public Engagement, Recology, Public Works	Strategic Growth Council (Transformative Climate Communities Planning Grant)	In Progress (Medium Term)	Ongoing From Initiation	
EJ2.D.2	Explore ways to subsidize or eliminate fees for disposal at landfills and implement for underserved communities.	Action Item	A solid waste fee study is planned for 2025; the study is anticipated to include an evaluation of potential subsidies for landfill disposal costs. The City implemented a rate assistance program beginning in 2021 for solid waste services.	Public Works	Communications and Public Engagement, Recology, Public Works	Clean California (Local Grants)	In Progress (Long Term)	Ongoing upon commencement	
EJ2.E	Green Infrastructure Plan. Review the City's Green Infrastructure Plan and update, as necessary, to incorporate environmental justice. Focus on underserved communities and implement programs in this Element, in coordination with related regional efforts.	Program	The City adopted its Green Infrastructure Plan in 2019 to prioritize, track, and implement Green Infrastructure (GI) across municipal projects and policies. GI consists of stormwater treatment facilities designed to reduce pollutants from runoff while promoting sustainable infrastructure. The GI Plan is an ongoing requirement of the City's Municipal Regional Stormwater Permit issued by the State Water Resources Control Board and aims to achieve pollutant reduction targets through 2040. As part of these efforts, the City has collaborated with developers to incorporate GI and complete streets elements in the Belle Haven and Bayfront areas. The Menlo Portal and Menlo Uptown projects were conditioned to install GI as part of its development agreement and both projects were completed in 2024.	Public Works	Community Development	General Fund	In Progress (Medium Term)	Long Term	
EJ2.E.1	Support efforts by other agencies to abate hazardous, polluted, or toxic sites. Align with community members and collaborate with regulatory and regional agencies to clean up hazardous, polluted, or toxic sites and incorporate sea-level rise and groundwater rise in remediation decisions.	Action Item	This item has not yet begun and evaluation for implementation continues.	If on private property then Community development, if for public projects then Public Works	San Mateo County Health, Department of Water Resources, OneShoreline	Governor's Office of Emergency Services (Hazard Mitigation Grant Program)	Short Term	Long Term	
EJ2.E.2	Prioritize comprehensive undergrounding of utilities in underserved communities on private and public property to promote resilience. Consider the impact of shallow groundwater rise on underground utilities.	Action Item	The Menlo Park Municipal Code (Chapter 15.16) includes the undergrounding of electric and communication service connections on private property under certain circumstances. Some categories of private development in Office (O), Life Sciences (LS) and Residential Mixed Use (R-MU) zoning districts require undergrounding of overhead electric distribution lines of less than sixty (60) kilovolts and communication lines along the property frontage. The specified zoning districts are adjacent to and serve underserved communities.	Public Works	Community Development, City Manager's Office, utilities (e.g., PG&E)	Governor's Office of Land Use and Climate Innovation (Integrated Climate Adaptation and Resiliency Program's Regional Resiliency Planning and Implementation Grant Program), PG&E Rule 20 Program, Community Amenities Fund, Bonds per project specific deferred frontage agreements	In Progress	Medium Term	
EJ2.E.3	Focus green stormwater improvements for areas at risk of flooding with an emphasis on underserved communities.	Action Item	City staff evaluate all applicable projects for stormwater retention and treatment per the Municipal Regional Stormwater Permit (MRP) and Green Infrastructure Plan. For example, development projects are required to capture any increase to pre-construction run-off onsite by routing stormwater to landscaped areas or wells. In addition, MRP regulated projects are required to install stormwater treatment facilities on-site to retain and clean run-off before it enters the public storm drain. The City also evaluates green infrastructure in the public right-of-way on large developments and qualifying resurfacing projects where feasible. The City's capital improvement program includes upgrades to its stormwater facilities to mitigate flooding. The Chilco Streetscape Improvement project completed in 2022 is one local example of a capital project, built in partnership with Meta, that installed significant green infrastructure in the Bayfront and Belle Haven neighborhoods. Other examples in the Bayfront include the Chrysler Pump Station Project (currently under construction) and ongoing planning efforts to address sea level rise via the SAFER Bay Project. The SAFER Bay Project is a multi-benefit, multi-jurisdictional, public-private collaboration that will protect critical infrastructure, protect and restore critical habitat, provide community resilience to current tidal flooding and projected sea level rise, and improve recreational access, using both engineered structures and nature-based flood protection. Belle Haven and the City of East Palo Alto are vulnerable to flooding today from a 100-year tide event and will face greater flood risk in the future; protecting these communities is a priority of the SAFER Bay project.	Public Works	-	Governor's Office of Land Use and Climate Innovation (Integrated Climate Adaptation and Resiliency Program's Regional Resiliency Planning and Implementation Grant Program)	In Progress	Long Term	

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EJ2.E.4	Support West Bay Sanitary District, the respective responsible agency, in their efforts to prevent sewage discharges during large stormwater events. In the event of occurrence, coordinate with the responsible agency in conducting proactive, extensive, and prolonged community outreach and education to inform underserved communities of protective actions and risks. The City can coordinate with agencies to promptly share their information with the City Council and community after storms.	Action Item	City staff host a monthly coordination meeting with West Bay Sanitary District (WBSD) to review upcoming projects including sewer main upgrades to address capacity and leakage issues. Staff also reviews development projects with WBSD to condition upgrades to the sewer main as a condition of the project's frontage improvement where applicable. The City issues notices to impacted residents, prior to resurfacing any given street, for owners to repair their sanitary sewer lateral in advance. In the event that emergency repairs are required due to large storm events, Public Works coordinates with WBSD to expedite corrective measures. For example, staff will issue an emergency encroachment permit, and assist with public outreach and traffic control as required.	Public Works	City Manager's Office, West Bay Sanitary District, East Palo Alto Sanitary District, Fair Oaks Sewer Maintenance District	Strategic Growth Council (Transformative Climate Communities Planning and Project Development Grant)	In Progress (Long Term)	Long Term	
EJ2.E.5	Collaborate with landowners to decrease the risk of flooding by advancing watershed management projects that reduce and/or store runoff during rainfall events, including the installation of green infrastructure and Low Impact Development (LID) practices, and improve the condition in the floodplain, for example through floodplain restoration or improvement.	Action Item	City staff evaluate all applicable projects for inclusion of stormwater detention and treatment devices, where feasible, per the Municipal Regional Stormwater Permit (MRP) and Green Infrastructure Plan. For example, development projects are required to capture any increase to pre-construction run-off onsite by routing stormwater to landscaped areas or wells. These required measures are captured in the City's grading and drainage guidelines. MRP regulated projects are required to install stormwater treatment facilities on-site to retain and clean run-off before it enters the public storm drains. The City also evaluates green infrastructure in the public right-of-way on large developments and qualifying resurfacing projects where feasible.	Public Works	OneShoreline, Department of Water Resources, City Manager's Office, Community Development	Infrastructure and Economic Development Bank (Infrastructure State Revolving Fund (ISRF) Program)	In Progress	Medium Term	
EJ2.E.6	Encourage green infrastructure in future developments, including using green infrastructure as preferred alternative.	Action Item	City staff refer to the City's Green Infrastructure Plan, and the latest MRP, as a guide to plan, implement, and track the development of green infrastructure (GI) and ensure "no missed opportunities." Consequently, development projects are evaluated for GI in the public right-of-way as part of frontage improvement conditions where feasible.	Public Works	Community Development, City Manager's Office, Sustainability Division	Governor's Office of Land Use and Climate Innovation (Integrated Climate Adaptation and Resiliency Program's Regional Resilience Planning and Implementation Grant Program)	In Progress	Long Term	
EJ2.E.7	Establish requirements for major development and redevelopment projects to construct and maintain urban greening projects in the adjacent public right of way. Community benefits for such projects could include shade trees for pedestrian and biking routes.	Action Item	The existing heritage tree and street tree ordinances have requirements for tree preservation during development and re-planting on private property and in the public right-of-way, with a focus on diversity and large canopy species where site conditions allow. The City is currently updating administrative guidelines to increase the amount of mitigation required for development-related tree removals. City staff review qualifying development projects for frontage Improvements which can include the addition of street trees, landscaping, planters, and green infrastructure, within the public right-of-way where feasible.	Public Works	Caltrans, Silicon Valley Bicycle Coalition, Canopy	Governor's Office of Land Use and Climate Innovation (Integrated Climate Adaptation and Resiliency Program's Regional Resilience Planning and Implementation Grant Program), CAL FIRE Urban and Community Forestry Grants	In Progress	Long Term	
EJ2.E.8	Restore and enhance parks, natural lands and large open spaces and explore expansion of the City's natural areas preservation system through land transfers and acquisitions of undeveloped/unprotected private and public lands.	Action Item	This item has not yet begun and evaluation for implementation continues.	Library and Community Services	City Manager's Office, Community Development, Public Works, Save The Bay, California Department of Conservation	Governor's Office of Land Use and Climate Innovation (Integrated Climate Adaptation and Resiliency Program's Regional Resilience Planning and Implementation Grant Program)	Long Term	Long Term	
EJ2.F	National Flood Insurance Program. Increase community outreach and awareness of the City's participation in the National Flood Insurance Program, including the Community Rating System, and the potential benefits to homeowners (e.g., reduced insurance premiums).	Program	This item has not yet begun and evaluation for implementation continues.	Communications and Public Engagement Division	Public Works	Governor's Office of Land Use and Climate Innovation (Integrated Climate Adaptation and Resiliency Program's Regional Resilience Planning and Implementation Grant Program)	Short Term	Ongoing From Initiation	

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EJ2.G	Transportation to City Events. Develop incentives to encourage shared commute programs and alternative methods of travel for city events, meetings, and official business.	Program	<p>In April 2024, the City coordinated an electric shuttle for public attendees to participate in the Love Our Earth Festival in East Palo Alto.</p> <p>In May 2024, the City coordinated a shuttle to bring City employees to an all-hands event at the Belle Haven Community Campus.</p> <p>The City has provided transportation to City Council meetings from the Belle Haven neighborhood for the annual priority setting workshop, the EJ Element adoption meeting in September 2024, and will be exploring opportunities for additional services in 2025.</p> <p>The City's ongoing free shuttle program includes two community shuttles (M1-Crosstown and Shoppers' shuttles) and two commuter shuttles (M3-Marsh Road and M4-Willow Road shuttles) that encourage individuals to take transit instead of driving. The shuttle service complements existing transit services in San Mateo County provided by SamTrans, Caltrain, and the Dumbarton Express. A Comprehensive Shuttle Study was conducted to analyze how to improve the shuttle service to connect the community to transit, jobs, shopping, and other destinations while maximizing ridership and cost-efficiencies. The study was accepted by the City Council on December 17, 2024 and changes to the system are planned for summer 2025.</p> <p>SamTrans began piloting the RidePlus microtransit (public transit, on demand) service in the Belle Haven neighborhood in 2024. Caltrain offers the Pass Forward program, where local community-serving organizations partner with Caltrain to provide unused transit passes to residents in underserved communities. The Community Transportation Benefits Program offered by the US 101 Express Lanes provides a \$200 toll or transit credit to qualifying individuals.</p>	City Manager's Office, Public Works	SamTrans, Community-Based Active Transportation Organizations (e.g., Silicon Valley Bicycle Coalition), Public Works, Sustainability Division, Library and Community Services	Strategic Growth Council (Transformative Climate Communities Round 5 Planning Grant)	In Progress	Long Term	
EJ2.H	Collaboration for Electrification. Collaborate with SamTrans and Ravenswood City School District, as well as Meta and other large employers to leverage transportation electrification initiatives to prioritize bus electrification in underserved communities.	Program	SamTrans anticipates being fully electric by 2034, in compliance with State law requiring transit fleets to be all electric by 2040.	Public Works	Sustainability Division, SamTrans, Ravenswood City School District, Large Local Businesses (over 50 employees, e.g., Meta, SRI International, Grail, others)	Strategic Growth Council (Transformative Climate Communities Round 5 Planning Grant)	In Progress	Medium Term	
EJ2.I	Regulations Revisions. Consider revisions to applicable City regulations that will reduce pollution exposure, eliminate environmental inequities, and improve quality of life in underserved communities.	Program	<p>On July 11, 2023, the City Council adopted a zero emission landscape equipment (ZELE) requirement that prohibits using gas powered landscaping equipment due to its negative impacts on health, and noise and air pollution. Remaining equipment (chain saws, lawnmowers and hedge trimmers) will be banned in January 2029.</p> <p>On July 1, 2024, the City began to enforce the ordinance requiring the use of zero emission (manual, electric or battery powered) landscaping equipment, starting with leaf blowers and string trimmers. Operating a gas powered leaf blower for one hour is equal to inhaling 15 hours of emissions from driving. It can also contribute to hearing loss. To support this transition, the City distributed vouchers to income-qualified residents and residents living in pollution burdened neighborhoods as defined by CalEnviroScreen 4.0. A total of 18 vouchers were distributed to residents in Belle Haven and six were distributed to residents with incomes below 80% area median income. Outreach for the program was focused on Belle Haven and was bilingual (English/Spanish). The California Air Resources Board is requiring manufacturers to sell only zero emission landscaping equipment in California starting in 2024.</p> <p>Menlo Park Municipal Code Chapter 7.30 (Smoking Regulated or Prohibited) codifies smoking prohibitions, requires reasonable separation distance between building openings, and more to help reduce pollution exposure.</p> <p>City Council directed staff to move forward with options for electrification as part of the building code local amendments ahead of the 2025 code cycle. Electrification eliminates the combustion of fuel gases and improves community air quality and indoor air quality for residents.</p>	All City Departments	All City Departments	Strategic Growth Council (Transformative Climate Communities Round 5 Planning Grant)	In Progress	Medium Term	
EJ2.I.1	Review truck routes and/or identify and pursue measures for reductions to diesel emissions in underserved communities.	Action Item	This item is planned for action in 2026.	Public Works	Caltrans	Federal Transit Administration (Metropolitan & Statewide Planning and NonMetropolitan Transportation Planning)	Medium Term	Long Term	
EJ2.I.2	Identify, evaluate and implement potential mitigation measures that support Caltrans mitigation efforts to reduce noise and air quality impacts from adjacent freeways and highways, particularly those impacting underserved communities.	Action Item	Coordination with Caltrans on noise mitigation efforts is ongoing. For local streets, the City incorporates rubberized asphalt concrete (RAC) as a bid alternate on street resurfacing projects impacting arterials and collectors. RAC is composed of recycled tires and is a considered a more environmentally friendly material compared to traditional asphalt. RAC can also reduce vehicular noise for speeds at 45 miles per hour or greater.	Public Works	Caltrans	Federal Transit Administration (Metropolitan & Statewide Planning and NonMetropolitan Transportation Planning)	In Progress (Long Term)	Long Term	
EJ2.I.3	Install improved vegetative buffers between freeways and highways and adjacent land uses to reduce noise and air quality impacts, upon identification of the roadway segments for such installations.	Action Item	In 2024, the City planted new trees, African Fern Pines, along both sides of the US-101 sound walls along Pierce Road and Van Buren Road and at the intersection of Van Buren Road and Bay Road. Progress has also continued on the Willow Road/US-101 interchange landscaping work. In 2024, the City entered into agreements with Caltrans and the San Mateo County Transportation Authority to complete the landscaping design work and a design contract was awarded to complete the work. As of early 2025, the plans are 95% complete and final plans are expected in the spring. The project would then be bid for construction, and installation is expected to begin in late 2025.	Public Works	Caltrans	Federal Transit Administration (Metropolitan & Statewide Planning and NonMetropolitan Transportation Planning) Community Amenities Fund	In Progress	Long Term	

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EJ2.1.4	Review and update the Transportation Toolkit (Appendix I to the Transportation Master Plan) and the City's standard design details to incorporate Universal Design principles to enhance access for all people.	Action Item	This item has not yet begun and evaluation for implementation continues.	Public Works	Caltrans, Community-Based Active Transportation Organizations (e.g., Silicon Valley Bicycle Coalition)	Strategic Growth Council (Transformative Climate Communities Round 5 Planning Grant), Department of Transportation (Safe Streets and Roads for All Funding Opportunity Grant)	Long Term	Medium Term	
EJ2.1.5	Support roadway design that integrates green stormwater infrastructure into traffic calming (where appropriate) and includes trees, landscape buffer areas, public art, public space, and other visual enhancement.	Action Item	The City has a Green Infrastructure (GI) Plan to guide the implementation of GI and ensure "no missed opportunities" across projects. Staff evaluates all qualifying development and street resurfacing projects for implementation of complete streets and GI features. Contingent upon factors such as right-of-way width and funding, traffic calming, landscaping, and GI are assessed when planning roadway projects or leveraged as part of frontage improvements for development projects.	Public Works	Caltrans, Library and Community Services	Strategic Growth Council (Transformative Climate Communities Round 5 Planning Grant), Department of Transportation (Safe Streets and Roads for All Funding Opportunity Grant)	In Progress	Long Term	
EJ2.1.6	Consider rezoning and limiting the intensity and usage of industrially zoned properties and/or other means such as landscaping to ensure a healthier and safer separation between residential and industrial uses.	Action Item	This item has not yet begun and evaluation for implementation continues.	Community Development	Public Works	Strategic Growth Council (Transformative Climate Communities Round 5 Planning Grant)	Medium Term	Medium Term	
EJ2.1.7	Explore reductions to parking requirements with the intent to encourage balanced live, work, and play environments.	Action Item	In November and December 2023, the City approved a variety of zoning amendments to provide residential development opportunities throughout the community in the spirit of affirmatively furthering fair housing, promoting a range of housing options at all affordability levels through new residential and mixed use developments (which allow for shared parking), enhancing vibrancy and promoting activity in the downtown and along major corridors through the city, and implementing the zoning programs in the Housing Element. Reduction/elimination of parking requirements were applied to sites around the downtown as well.	Community Development	Public Works	Strategic Growth Council (Transformative Climate Communities Round 5 Planning Grant)	Medium Term	Medium Term	
EJ2.1.8	Inform residents and organizations in underserved communities of the permit application process for temporary street closures for temporary events such as farmers' markets, arts and craft fairs, bicycle and pedestrian events, and other public events. Consider easing the permitting process for temporary street closures in the city.	Action Item	An update to the special event permitting process was made in 2022. In 2024, there were two temporary street closures in Belle Haven at the 1400 block of Plumas Avenue and the 1200 block of Windermere Avenue. There were also four major events at Bedwell Bayfront Park with only parking spaces impacted and not full, temporary street closures.	Police	City Manager's Office, City Attorney's Office, Community Development, Public Works.	Strategic Growth Council (Transformative Climate Communities Round 5 Planning Grant)	In Progress	Short Term	
EJ2.J	Urban Forest Management Plan. Develop Urban Forest: Developing the Management Plan for Menlo Park within four years of the adoption of the Environmental Justice Element.	Program	<p>On May 30, 2024, the City applied for a CalFire Urban and Community Forestry Grant for \$514,375 for the creation of an Urban Forest Management Plan (UFMP). The goal was to supplement \$250,000 in capital improvement (CIP) funds to develop a plan titled "Urban Forest Equity: Developing the Management Plan for Menlo Park" to increase urban canopy coverage to provide long-term benefits to the community, enhance the community's understanding and value of urban forest management and tree maintenance, and address existing inequity in urban canopy coverage. Unfortunately, the CalFire grant application was not approved.</p> <p>The project goals remain and include the creation of a City Council-adopted UFMP and the successful implementation of an Early Action Tree Planting component. The UFMP would serve as a principal guiding policy document and strategic roadmap for sustainably growing the City's urban canopy and advancing equitable tree coverage. The UFMP would provide an analysis of public and private trees; canopy coverage mapping; changes in canopy over time; clearly delineate best management practices; provide recommendations for promoting a diverse, climate-resilient urban forest; inform the City's General Plan; and support the identified actions in the Environmental Justice Element.</p> <p>The Early Action Tree Planting Program remains an opportunity for funding that could be pursued now while additional funds for development of the UFMP are sought. The Early Action Tree Planting Program would benefit the historically underserved neighborhood of Belle Haven with efforts to address inequity in urban canopy coverage, including robust community outreach and tree planting events and raffles. The Program seeks to increase local participation in environmental education mentoring and training opportunities and foster greater stewardship in urban forestry with a focus on outreach, education, and tree planting in Belle Haven.</p>	Public Works - Trees	Sustainability Division, Canopy	Strategic Growth Council (Community Resilience Centers Round 1 Planning Grant), United States Department of Agricultural (USDA) Grants, CALFIRE grants, City of Menlo Park Heritage Tree in-lieu fee program	In Progress	Long Term	
EJ2.J.1	Urban canopy expansion prioritizing underserved communities and areas vulnerable to urban heat effects, using tools such as the Tree Equity Score and Bay Area Greenprint.	Action Item	The City is updating administrative guidelines, adding more City-approved consulting arborists to the list, and working on initial steps to develop an Urban Forest Management Plan for Menlo Park.	Public Works - Trees	Sustainability Division, Canopy	Governor's Office of Land Use and Climate Innovation (Integrated Climate Adaptation and Resiliency Program's Regional Resilience Planning and Implementation Grant Program), Community Amenities Fund	In Progress	Short Term	

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EJ2.J.2	Implement equitable canopy expansion procedures and promote and maintain healthy and vibrant trees that may require dedicating additional resources within the City Arborist Division, Public Works.	Action Item	The City replaces each street tree and park tree that is removed, as long as there is space. In 2025, staff plans to plant new trees in Belle Haven as part of community events (e.g., Love Our Earth Festival, Arbor Day, Mayor's tree planting, etc.).	City Manager's Office, Public Works	Sustainability Division, Public Works	Governor's Office of Land Use and Climate Innovation (Integrated Climate Adaptation and Resiliency Program's Regional Resilience Planning and Implementation Grant Program).	In Progress	Short Term	
EJ2.J.3	Include trees, landscape buffer areas, public art, public space, and other visual enhancements in roadway projects, emphasizing tree planting and landscaping along all streets.	Action Item	Contingent upon factors such as right-of-way width and funding, traffic calming, and landscaping, green infrastructure is assessed when planning roadway projects and leveraged as part of frontage improvements for development projects. Routine maintenance is conducted every five years for street and park trees. Residents may request evaluation of work needs outside of routine maintenance and request new tree planting as needed. All removed public trees are replaced as long as there is space.	Public Works	Community Development, Menlo Park Library and Community Services Department	Governor's Office of Land Use and Climate Innovation (Integrated Climate Adaptation and Resiliency Program's Regional Resilience Planning and Implementation Grant Program), Community Amenities Fund (north of 101 implementation of Action Item 2.N.3)	In Progress	Long Term	
EJ2.J.4	Use Urban Forest: Developing the Management Plan for Menlo Park to prioritize the retention of mature street trees in public rights of way or City-owned parcels during infrastructure modifications (e.g., using solutions such as bulb-outs, basin expansion, and sidewalk re-routing.).	Action Item	The City has preservation requirements for heritage and street trees. Staff is currently evaluating initiation of specific projects such as urban forest canopy mapping to support and set priorities for outreach and planting.	Public Works	-	Governor's Office of Land Use and Climate Innovation (Integrated Climate Adaptation and Resiliency Program's Regional Resilience Planning and Implementation Grant Program)	In Progress (Medium Term)	Long Term	
EJ2.J.5	Coordinate with property owners to help preserve mature trees by replacing any that require removal in any redevelopment process. Explore opportunities to transplant trees and vegetation that require removal during construction to other places within underserved communities. Consider requiring multiple new trees be planted for each mature tree removed.	Action Item	The City is updating administrative guidelines to require increased mitigation for development-related removals. The City Arborist reviews each proposed heritage and street tree removal and ensures there is "good cause" for removal after exhausting all other alternatives. The City Arborist also ensures sufficient mitigation (e.g., multiple replacement trees or a large tree replacement) is provided for each approved heritage tree removal.	Public Works - Trees	-	Governor's Office of Land Use and Climate Innovation (Integrated Climate Adaptation and Resiliency Program's Regional Resilience Planning and Implementation Grant Program)	In Progress	Medium Term	
EJ2.K	Extreme Heat Relief. Prioritize relief from extreme heat (Safety Element Program S1.T) in underserved communities. Information on these resources shall be provided at community facilities (e.g., BHCC).	Program	The City operates three cooling centers at the Arrillaga Family Recreation Center, Belle Haven Community Campus, and the Menlo Park Library. The facilities are air-conditioned and open to the public everyday. Signage improvements for facilities are being considered (e.g., branded, informational/directional signage for A-frames).	Library and Community Services	Communications and Public Engagement	General Fund	In Progress	Ongoing From Initiation	
Goal EJ1. Address unique and compounded health risks									
EJ1.1	<i>Prioritize programs that address the unique and compounded health risks present in underserved communities currently and in the future.</i>	Policy	-	-	-	-	-	-	
EJ1.2	<i>Reduce climate vulnerability in underserved communities.</i>	Policy	-	-	-	-	-	-	
EJ1.3	<i>Strengthen collaboration efforts with residents in underserved communities, particularly on public improvement projects.</i>	Policy	-	-	-	-	-	-	
EJ1.4	<i>Prioritize active transportation (e.g., walking, bicycling, wheelchair) improvements, transit incentives, and neighborhood connectivity in underserved communities.</i>	Policy	-	-	-	-	-	-	
EJ1.A	Prioritizing Public/Capital Improvements. Prioritize public/capital improvements needed in underserved communities with priority allocation of funding, available to the City locally and from regional, statewide, and federal entities, for such projects, and to address climate change.	Program	In 2024, the City participated in a program to replace the gas water heaters at the Belle Haven Child Development Center as part of an effort to electrify the facility. To that end, the City has secured a grant from Peninsula Clean Energy (PCE) for approximately \$20,000 to support building electrification of space conditioning and cooking equipment and City staff included the facility in the PCE GovPV program in 2023 to install solar on public buildings. The solar systems are expected to be installed by PCE's contractors by spring 2026. City staff are in the process of refining the scope of work and completing the electrification of the facility before the solar installation. PCE will be revisiting project sites in 2027 to install battery systems for additional resilience and to enable load shifting for further reduced electricity bills. The City received a \$50 million FEMA grant for the Menlo Park SAFER Bay Project which focuses on building a levee system from East Palo Alto to Bedwell Bayfront Park for storm and sea level rise protection. A request for proposals for the design work was issued in 2024. The design is planned to begin in early 2025 and completed in 2027. Belle Haven and East Palo Alto are vulnerable to flooding today from a 100-year tide event and will face greater flood risk in the future. Protecting these communities is a priority of the SAFER Bay project. The SAFER Bay Project is a multi-benefit, multi-jurisdictional, public-private collaboration that will protect critical infrastructure, protect and restore critical habitat, provide community resilience to current tidal flooding and projected sea level rise, and improve recreational access, using both engineered structures and nature-based flood protection.	City Manager's Office, Public Works	Community Development, Sustainability Division	General Fund, General Capital Fund, Countywide Transportation Sales Tax Funds (Measure A & W), State and Federal Gas Taxes	In Progress (Short Term)	Long Term	

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EJ1.A.1	Support (to the extent possible and subject to funding limitations) non-governmental agencies' grant applications and projects that will specifically help implement the Environmental Justice Element and address highlighted issues in underserved communities such as safe housing, increased tree coverage, recreational resources, active transportation, environmental concerns, and air quality.	Action Item	In 2024, the City, with support from Climate Resilient Communities, submitted a Transit Oriented Communities Housing Policies Grant Application to the Metropolitan Transportation Commission (MTC). The housing policy grant application requests funds to develop and adopt affordable housing protection policies defined by MTC and are consistent with the City's Housing Element, including: "just cause" eviction, legal assistance for tenants, and rental assistance programming. In 2024, the City supported Acterra's, community based organization, application to the California Air Resource Board to fund the installation of air quality monitoring devices in Belle Haven. The proposed policies funded under this grant would apply to the whole city, which also includes the MTC Equity Priority Community (EPC) of Belle Haven.	City Manager's Office	All City Departments	Bayfront Mitigation Fund (project specific) Community Amenities Fund (projects specific)	In Progress (Short Term)	Ongoing From Initiation	
EJ1.B	Reporting EJ Considerations. Prepare publicly available reports annually to describe how underserved communities are considered and prioritized in capital improvement plans, departmental work plans, and budgets within four years after the adoption of the Environmental Justice Element.	Program	This item has not yet begun and evaluation for implementation continues.	All City Departments	-	General Fund	Medium Term	Ongoing From Initiation	
EJ1.C	Progress Report. Develop and publicize annual or every-other-year reports that measure progress and outcomes of the implementation of the Environmental Justice Element programs within six years after the adoption of the Environmental Justice Element.	Program	The Environmental Justice Element was adopted in September 2024. The Planning Commission and City Council will review the Environmental Justice Element Annual Progress Report (EJ APR) in March 2025. The EJ APR summarizes progress to advance environmental justice in 2024 through an update of the EJ Element Action Guide.	Community Development	All City Departments	General Fund	In Progress (Short Term)	Ongoing From Initiation	
EJ1.D	CalEnviroScreen Review. Review CalEnviroScreen to support evaluation of Environmental Justice Element policies and programs.	Program	CalEnviroScreen 4.0 was used to determine eligibility for the zero emission landscape equipment voucher program. Residents living in a disproportionately burdened neighborhood (pollution burden score above 60) were able to receive a \$250 voucher towards the purchase of an electric leaf blower or string trimmer.	Community Development	California Office of Environmental Health Hazard Assessment, All City Departments	General Fund	In Progress (Long Term)	Ongoing From Initiation	
Goal EJ3. Equitably provide appropriate public facilities to individuals and communities									
EJ3.1	<i>Prioritize providing public facilities and programming for underserved communities.</i>	Policy	-	-	-	-	-	-	
EJ3.2	<i>Ensure accessibility of public facilities for all community members, especially those in underserved communities.</i>	Policy	-	-	-	-	-	-	
EJ3.3	<i>Support programs that increase access to public and private health resources for underserved communities in locations that are convenient and accessible.</i>	Policy	-	-	-	-	-	-	
EJ3.4	<i>Coordinate with local school districts, transit operators, and other public agencies to provide adequate public facilities, improvements, and programs in underserved communities.</i>	Policy	-	-	-	-	-	-	
EJ3.A	Climate Resilience Centers. Identify, renovate, and retrofit candidate public buildings in underserved communities to serve as Climate Resilience Centers as outlined by the California Strategic Growth Council. These buildings should be places where the community already regularly gathers, such as libraries, community centers, or the Belle Haven neighborhood substation.	Program	The Belle Haven Community Campus was completed in 2024 and serves as a Red Cross shelter and community hub. The Campus received the 2025 Green Building Honorable Mention cosponsored by Sustainable San Mateo County and the San Mateo County Chapter of the American Institute of Architects. Sustainable San Mateo County notes, "The project was recognized in a highly competitive field, which included a diverse array of sustainable residential, commercial and civic projects. This LEED Platinum, net-zero energy facility stands as a beacon of resilience and innovation in the Belle Haven neighborhood of Menlo Park."	Public Works	Sustainability Division, Menlo Park Library and Community Services Department	Strategic Growth Council (Community Resilience Centers Planning Grant)	In Progress (Medium Term)	Medium Term	
EJ3.B	Pet Waste Management. Work with relevant departments to install infrastructure allowing for easy disposal of pet waste at parks and along highly trafficked streets.	Program	This item has not yet begun and evaluation for implementation continues.	Public Works	City Manager's Office	General Fund	Medium Term	Medium Term	
EJ3.C	Expand Internet Access. Work with internet service providers to support affordable access for low-income households, potentially in partnership with neighboring jurisdictions or state agencies. Inform the community of existing or future partnerships through community workshops that also serve to improve internet literacy and technological skills. In addition, expand outreach and community access to the City Library's laptop and wireless hotspot, or similar, borrowing programs.	Program	The City currently offers laptop lending and wi-fi hotspots free to residents at the library with their library card. In 2024, the City facilitated 1,658 laptop loans, 317 wireless hotspot loans, and 255,852 wireless sessions at the libraries. In 2025 and 2026, even more loans and sessions are anticipated with full equipment capacity available at the Belle Haven Community Campus.	Library and Community Services	Local Internet Providers (e.g., AT&T, Xfinity, Spectrum), San Mateo County Public Works, California Public Utilities Commission, Administrative Services Department/Information Technology Department	California Advanced Services Fund: Broadband Public Housing Account	In Progress (Medium Term)	Medium Term	
EJ3.D	Health Care Partnerships. Seek to form partnerships, particularly with community based organizations and businesses, and consider options for the use of City facilities to promote and support access to health care for underserved communities.	Program	This item has not yet begun and evaluation for implementation continues.	City Manager's Office	Local Medical Centers (e.g., Menlo Medical Clinic, Palo Alto VA Medical Center-Menlo Park)	Strategic Growth Council (Community Resilience Centers Planning Grant), Department of Health and Human Services (Service Area Competition Grant)	Medium Term	Long Term	
EJ3.D.1	Encourage local transit providers to establish and maintain routes and services that provide underserved communities with convenient access to health service facilities.	Action Item	The City's ongoing free shuttle program includes two community shuttles (M1-Crosstown and Shoppers' shuttles) and two commuter shuttles (M3-Marsh Road and M4-Willow Road shuttles) that encourage individuals to take transit instead of driving. The shuttle service complements existing transit services in San Mateo County provided by SamTrans, Caltrain, and the Dumbarton Express. Coordination between the City and local transit agencies for service is ongoing. A Comprehensive Shuttle Study was conducted to analyze how to improve the shuttle service to connect the community to transit, jobs, shopping, and other destinations while maximizing ridership and cost-efficiencies. The study was accepted by the City Council on December 17, 2024 and changes to the system are planned for summer 2025.	Public Works	SamTrans, Local Medical Centers (e.g., Menlo Medical Clinic, Palo Alto VA Medical Center-Menlo Park)	Strategic Growth Council (Community Resilience Centers Planning Grant)	In Progress (Medium Term)	Medium Term	

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EJ3.D.2	Partner with local transit providers to provide a comprehensive system of para-transit service for seniors and people of all abilities and enhance service within the city and to regional public facilities, especially for access to health care and other needs.	Action Item	SamTrans provides paratransit through Redi-Wheels. Coordination between the City and SamTrans for service is ongoing.	Public Works	SamTrans, Local Medical Centers (e.g., Menlo Medical Clinic, Palo Alto VA Medical Center-Menlo Park)	Federal Transit Administration (Metropolitan & Statewide Planning and NonMetropolitan Transportation Planning)	In Progress (Medium Term)	Medium Term	
EJ3.D.3	Identify means of supporting a citywide paramedicine program providing health care delivery, pop-up clinics, and home visits, especially to those most vulnerable or underserved, such as seniors and residents of underserved communities through partnering with health care services.	Action Item	This item has not yet begun and evaluation for implementation continues.	Community Development	Library and Community Services, City Manager's Office, Local Medical Centers (e.g., Menlo Medical Clinic, Palo Alto VA Medical Center-Menlo Park)	Strategic Growth Council (Community Resilience Centers Planning Grant), Department of Health and Human Services (Service Area Competition Grant)	Medium Term	Medium Term	
EJ3.D.4	Identify a partner who can provide a community health clinic in Belle Haven.	Action Item	Ravenswood City School District is currently investing approximately \$65 million towards renovating all of the instructional rooms on the Belle Haven Elementary School campus, creating new spaces for early childhood and students with special needs, adding brand new classrooms, and relocating and expanding the gym on the site to be more community facing. The Belle Haven construction project is underway. The District and the Ravenswood Family Health Clinic are exploring options to develop a health clinic at the campus.	City Manager's Office	Local Medical Centers (e.g., Menlo Medical Clinic, Palo Alto VA Medical Center-Menlo Park)	Strategic Growth Council (Community Resilience Centers Planning Grant), Department of Health and Human Services (Service Area Competition Grant)	In Progress (Medium Term)	Medium Term	
EJ3.E	After-school Programs Coordination. Coordinate with schools and other local organizations (e.g., Boys and Girls Club) to support after-school activities and related outreach/communications generally.	Program	In 2024, after-school activities included expanded teen events, recreational activities, and educational programs (cooking/coding) timed for neighborhood school release times (Beechwood School and Ravenswood City School District). In 2025, an after-school homework help program is planned at Belle Haven Community Campus.	Library and Community Services	Ravenswood City School District	Strategic Growth Council (Community Resilience Centers Planning Grant)	In Progress (Medium Term)	Long Term	
EJ3.E.1	Coordinate with the Ravenswood City School District and Beechwood School to help publicize affordable after school care options/programs and explore opportunities to enhance transportation options for youth to BHCC.	Action Item	Ravenswood City School District has a number of after school care options/programs and the City can help publicize and enhance usage. City vans provide transportation to Belle Haven Community Campus for youth enrolled in the City's after school program. Staff continue to evaluate opportunities to increase transportation options (e.g., transportation for youth interested in going to BHCC after school but are not enrolled in the City's program) and staffing capacity. Select capacity restrictions of after-school and summer programs are planned for resolution in 2025	Library and Community Services	Communications and Public Engagement, Ravenswood City School District	Strategic Growth Council (Community Resilience Centers Planning Grant)	In Progress (Medium Term)	Long Term	
EJ3.E.2	Encourage joint use of recreational fields.	Action Item	The City's joint use agreement with Ravenswood City School District for the Belle Haven School field was amended due to construction at the school in 2023. Staff anticipates a revised agreement would be necessary once construction is nearing completion.	Library and Community Services	Public Works, Ravenswood City School District	Strategic Growth Council (Community Resilience Centers Planning Grant)	In Progress (Medium Term)	Medium Term	
EJ3.F	Community Banking Services. Seek to form partnerships or other agreements with a banking specialist and other identified partners to provide a community bank or banking services in the underserved communities.	Program	This item has not yet begun and evaluation for implementation continues.	City Manager's Office	Local banks	Strategic Growth Council (Transformative Climate Communities Planning Grant)	Medium Term	Long Term	
EJ3.G	Programming Plans. Ensure delivery on the needs of underserved communities through the City's Programming Plans currently in place and continue to adapt programming based on community feedback through regular community surveys and outreach.	Program	The City provides a wide range of lifelong learning and recreational opportunities for Menlo Park residents of all ages, abilities, and lived experiences. Programs and facilities include public libraries, recreation and sports, early childhood education, after-school programs, summer youth camps, older adults (senior) services, athletic fields and courts, community events, and aquatics. In 2024, the Library Commission and Parks and Recreation Commission recommended updates and the adoption of policies that addressed community and operational needs. Some policies directly addressed new services at the new Belle Haven Community Campus. This new facility combines a public library, senior center, gymnasium, after-school program, and aquatics center, all under one roof. The campus is designed to Leadership in Energy and Environmental Design (LEED) Platinum environmental standards, showcasing leading-edge sustainability. There has been significant community engagement and opportunities for feedback not only for the programming and operations planning of the new Belle Haven Community Campus but also focused on childcare, recreation programming, aquatics, tennis, and more.	Library and Community Services	-	Governor's Office of Land Use and Climate Innovation (Integrated Climate Adaptation and Resiliency Program's Regional Resilience Planning and Implementation Grant Program), National Endowment for the Humanities (Public Humanities Projects Grant)	In Progress	Long Term	
EJ3.G.1	During facility renovations, install distributed solar panels and battery storage over facility parking lots for resiliency and heat reduction.	Action Item	In 2024, the Belle Haven Community Campus was completed. The facility is an all-electric, zero combustion, net zero energy public building with onsite renewable energy generation, battery microgrid, and electric vehicle charging stations. The facility is built to Leadership in Energy and Environmental Design (LEED) Platinum environmental standards, and its structural design is resilient to serve as an emergency shelter. The Belle Haven Community Campus earned prestigious recognition for its innovative sustainable design, receiving the 2025 National Energy Services Company Award, Green Building Honorable Mention from Sustainable San Mateo County and the American Institute of Architects' San Mateo County Chapter. This all-electric facility runs on on-site solar power, backed by battery storage for resiliency during outages. Despite housing energy-intensive amenities like an aquatic center and commercial kitchen, the building actually generates more power than it uses — while cutting typical energy consumption by approximately 55%. By bringing multiple services together in one location and providing extensive EV charging, the campus makes it easier for residents to access community resources while reducing vehicle trips. The facility's all-electric design also helps improve local air quality by eliminating the need for natural gas. In 2025, the Belle Haven Child Development Center roof is planned for replacement, with solar panels installation to follow	Public Works	Menlo Park Library and Community Services Department, Menlo Park Public Works Department, Silicon Valley Clean Energy, Menlo Park Building Division	Governor's Office of Land Use and Climate Innovation (Integrated Climate Adaptation and Resiliency Program's Regional Resilience Planning and Implementation Grant Program)	In Progress	Short Term	

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EJ3.G.2	Provide equitable access to programs at the Belle Haven Community Campus (BHCC) through appropriate costs and proactive, multilingual, and multimodal outreach for residents of underserved communities.	Action Item	Programming plans for the Belle Haven Community Campus (BHCC) emphasize equitable access to programs through appropriate costs and proactive, multilingual, and multimodal outreach for residents of underserved communities. In May 2024, a hyperlocal resident enrollment fee program began. Menlo Park residents who live or attend K-12 school within the BHCC service area (generally the area north of the US-101 and also the Flood Triangle neighborhood) are eligible for hyperlocal resident enrollment fees at BHCC. As of February 19, 2025, there are 1,383 hyperlocal residents registered with the City for eligibility to receive the lower cost fees.	Library and Community Services	Library and Community Services Department, Community-Based Outreach Organizations (e.g., Menlo Together, Climate Resilient Communities)	Governor's Office of Land Use and Climate Innovation (Integrated Climate Adaptation and Resiliency Program's Regional Resilience Planning and Implementation Grant Program)	In Progress	Medium Term	
EJ3.G.3	Providing community programming for all age groups, including older teens and older adults not considered seniors.	Action Item	The City provides and is working to develop additional programming for all age groups, including teens and older adults not considered seniors, and will continue to adapt programming to meet community needs and desires as they change over time, with community input. Below are noteworthy statistics from the Library and Community Services Department's October 2024 report to the Library Commission at their November 25, 2024 meeting: -Belle Haven Library number of patron questions answered more than doubled from October 2023 (244 questions answered) to October 2024 (521 questions answered) -Belle Haven Library programs almost tripled from October 2023 (7 programs with 116 program attendees) to October 2024 (25 programs with 326 attendees) -The Halloweek! community event series attendance and activities expanded in 2024: the Halloween Hoopla parade and carnival's attendance increased approximately 36% from 2023 (estimated 1,100 attendees) to 2024 (estimated 1,500 attendees); the Pumpkin Splash added a second location at Belle Haven Pool in addition to Burgess Pool in 2024, increasing total attendance approximately 50% from 2023 (estimated 101 attendees at one location) to 2024 (estimated 150 attendees at two locations); and a new Trunk or Treat event was added at Belle Haven Community Campus in 2024, and proved instantly popular, drawing a higher-than-anticipated attendance of approximately 215 people. -The October 2024 report compilation includes a new statistic that tracks the numbers of new City recreation client accounts, which are used by people to enroll in recreation classes and summer camps, purchase tickets to events, and apply for facility rentals, among other functions. The number of new recreation client accounts increased 77% from October 2023 (215 new accounts created) to October 2024 (380 new accounts created). -Staff is preparing to add more data points to these monthly reports starting in January 2025, including customer service feedback and "library of things" circulation statistics.	Library and Community Services	-	Governor's Office of Land Use and Climate Innovation (Integrated Climate Adaptation and Resiliency Program's Regional Resilience Planning and Implementation Grant Program), National Endowment for the Humanities (Public Humanities Projects Grant)	In Progress	Medium Term	
EJ3.G.4	Provide childcare, potentially with funding support for residents of underserved communities.	Action Item	The City provides childcare with funding support for underserved communities at the Belle Haven Child Development Center and Belle Haven Youth Center. Tuition is subsidized based on income level with grant funding from the State and other sources.	Library and Community Services	Local Childcare Organizations	California Department of Education	In Progress	Medium Term	
EJ3.G.5	Communicate with the Ravenswood City School District to enhance an understanding of preferred amenities and activities that can be included at Belle Haven Community Campus.	Action Item	Communication between the City and the Ravenswood City School District is ongoing. The School District partners with Boys and Girls Club of the Peninsula, East Palo Alto Tennis and Tutoring, and City Year to provide before-school and after-school care. These collaborations offer both academic support and enrichment activities and the City continually seeks opportunities to amplify support for youth and families.	Library and Community Services	Ravenswood City School District, Communications and Public Engagement	Governor's Office of Land Use and Climate Innovation (Integrated Climate Adaptation and Resiliency Program's Regional Resilience Planning and Implementation Grant Program)	In Progress	Medium Term	
EJ3.G.6	Provide safe and highly visible pathways that connect residential areas in underserved communities to the new community center. Safety and visibility features should include adequate lighting.	Action Item	The Transportation Master Plan and the Vision Zero Action Plan identify high priority systemic safety issues to be addressed in all neighborhoods, with a focus on underserved communities. In 2024, the Belle Haven Traffic Calming Project was completed, which built improvements to help reduce speeds and cut-through traffic traveling through the neighborhood to reach destinations outside of the area.	Public Works	Library and Community Services, Community Development	Governor's Office of Land Use and Climate Innovation (Integrated Climate Adaptation and Resiliency Program's Regional Resilience Planning and Implementation Grant Program)	In Progress	Medium Term	
EJ3.G.7	Support the inclusion of artwork (e.g., murals) that reflects the diversity and culture of underserved communities at community centers and beyond. Include community artifacts and testaments to community history in the community center.	Action Item	Belle Haven Community Campus includes exhibits and displays focused on Belle Haven history, people, and neighborhood stories, rotating exhibits by local artists, interpretive artworks and multimedia. In 2025, there are plans to include even more artwork and local history.	Library and Community Services	Local Art Initiatives (e.g., Elevate Art Menlo Park, Allied Arts Guild)	Governor's Office of Land Use and Climate Innovation (Integrated Climate Adaptation and Resiliency Program's Regional Resilience Planning and Implementation Grant Program)	In Progress	Long Term	

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EJ3.G.8	Uplift culturally relevant holiday events at Belle Haven Community Campus to foster a feeling of belonging among all residents.	Action Item	The City continually partners with community members to develop culturally relevant events. On February 11, 2024, the City held a Black Liberation Month celebration with more than 200 attendees. On June 15, 2024, the City held a Juneteenth celebration. In 2025, the City plans to host Black Liberation Month and Juneteenth celebrations again.	Library and Community Services	-	Governor's Office of Land Use and Climate Innovation (Integrated Climate Adaptation and Resiliency Program's Regional Resilience Planning and Implementation Grant Program), National Endowment for the Humanities (Public Humanities Projects Grant)	In Progress	Short Term	
EJ3.G.9	Facilitate yoga classes and other opportunities for regular community-gathering physical activities, such as walking groups and/or hiking programs for the underserved communities. Plan programs suitable to multiple age groups and abilities.	Action Item	The City currently offers yoga, Zumba, line-dancing and other movement classes for various age groups. Work with the community to develop new opportunities for community-oriented physical activities such as walking and/or hiking programs is ongoing.	Library and Community Services	-	Governor's Office of Land Use and Climate Innovation (Integrated Climate Adaptation and Resiliency Program's Regional Resilience Planning and Implementation Grant Program), National Endowment for the Humanities (Public Humanities Projects Grant)	In Progress	Short Term	
EJ3.H	Amenities Access. Ensure that recreational facilities throughout Menlo Park provide residents of all ages, income levels, genders, and lifestyles, with access to parks, community centers, sports fields, trails, libraries, and other amenities.	Program	The City provides a wide range of lifelong learning and recreational opportunities for Menlo Park residents of all ages, abilities, and lived experiences. Programs and facilities include public libraries, recreation and sports, early childhood education, after-school programs, summer youth camps, older adults (senior) services, athletic fields and courts, community events, and aquatics.	Library and Community Services	Public Works, Community Development	General Fund	In Progress	Long Term	
EJ3.H.1	Provide public facilities that are well designed, energy efficient, maintained, and compatible with adjacent land uses.	Action Item	In 2024, the Belle Haven Community Campus was completed. The facility is an all-electric, zero combustion, net zero energy public building with onsite renewable energy generation, battery microgrid, and electric vehicle charging stations. The facility is built to Leadership in Energy and Environmental Design (LEED) Platinum environmental standards, and its structural design is resilient to serve as an emergency shelter	All City Departments	Community Development	General Fund	In Progress (Medium Term)	Long Term	
EJ3.H.2	Offer substantially reduced costs for recreation activities, particularly to residents of underserved communities based on economic need.	Action Item	Programming plans for Belle Haven Community Campus emphasize equitable access to programs through appropriate costs and proactive, multilingual, and multimodal outreach for residents of underserved communities. Menlo Park residents who live or attend K-12 school within the service area of the Community Campus (generally the area north of the US-101 and also the Flood Triangle neighborhood) are eligible for hyperlocal resident enrollment fees at the Community Campus. The hyperlocal resident enrollment fee began in May 2024. As of February 19, 2025, there are 1,383 hyperlocal residents registered with the City for eligibility to receive the lower cost fees.	Library and Community Services	Menlo Park Library and Community Services Department	General Fund	In Progress	Medium Term	
EJ3.H.3	In coordination with the City's Parks and Recreational Facilities Master Plan, provide public restroom facilities at parks in underserved communities.	Action Item	There are four parks in Belle Haven and Bayfront. Two parks have restrooms (Bedwell Bayfront Park and Kelly Field), and two parks do not have restrooms (Karl E Clark Park and Hamilton Park). The effort to evaluate the provision of additional restrooms has not begun but will be planned in the future.	Public Works	Menlo Park Library and Community Services Department, Menlo Park Public Works Department	General Fund, Recreation In-Lieu Fee Fund	Short Term	Long Term	
EJ3.H.4	Expand hours for public recreation facilities to allow working people to take advantage of the facilities. This should include open hours until 9:00 p.m. on weekdays and possibly shortened hours on weekends.	Action Item	Belle Haven Community Campus is open from 8:00 a.m. to 8:00 p.m. on Monday through Friday, 8:00 a.m. to 6:00 p.m. on Saturday, and 10:00 a.m. to 6:00 p.m. on Sunday. City staff continually monitor facility usage and seek opportunities for improvement and enhanced access, as much as possible.	Library and Community Services	-	General Fund	In Progress (Short Term)	Short Term	
Goal EJ6. Encourage physical activity and active transportation									
EJ6.1	<i>Prioritize programs that encourage physical activity in underserved communities.</i>	Policy	-	-	-	-	-	-	
EJ6.2	<i>Support physically active lifestyles through investment in complete streets and active transportation (e.g., walking, bicycling, wheelchair) and safety in underserved communities.</i>	Policy	-	-	-	-	-	-	
EJ6.3	<i>Prioritize the implementation of traffic and transit improvements in underserved communities to reduce excessive speed, limit cut through traffic, and make streets comfortable and accessible places for all users and abilities.</i>	Policy	-	-	-	-	-	-	
EJ6.A	Outdoor Physical Activity. Identify and eliminate barriers to outdoor physical activity, such as damaged, incomplete, blocked, or littered sidewalks and bike paths, lack of safe street crossings and direct connections, excessive speeding, insufficient lighting, and lack of landscaping and shade trees along streets in underserved communities.	Program	City staff review all development projects, subject to a planning permit, for frontage improvements (including sidewalks, gutters, trees, lighting) with respect to City guidelines and transportation master plans. In addition, the Public Works Department retains an on-call asphalt and concrete repair contractor to correct sidewalk gaps or local pavement damages where reported by staff or the public. The City continually evaluates street resurfacing projects for inclusion of complete street goals (such as traffic calming, signing and striping, bicycle lane, accessible curb ramp upgrades) where applicable. The City installed upgrades at eleven intersections along Ivy Drive and Newbridge Street as part of the Belle Haven Traffic Calming Project which was completed in 2024. The work generally includes new bulb-outs, curb ramps, and crosswalks to promote pedestrian connectivity and safety.	Public Works	Community Development, Sustainability Division	Federal Transit Administration (Metropolitan & Statewide Planning and NonMetropolitan Transportation Planning)	In Progress (Medium Term)	Long Term	

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ID	Policy / Program / Action Item Text	Classification	Activity	Lead Role	Supporting Role	Funding Source(s)	Initiation	Completion
EJ6.B	Public Safety Education. In concurrence with the City's Vision Zero Action Plan, develop and implement education campaigns to increase the safety and comfort of people walking, bicycling and taking transit. These efforts should include education for people using all modes.	Program	The City continually implements education campaigns. Through the Safe Routes to School Program, the City supports the Ruby Bridges Walk to School Day which is celebrated on November 14th to honor Ruby Bridges' courage in desegregating an all-white school in 1960. The day encourages students to walk to school and learn about the civil rights movement. In 2024, pedestrian safety curriculum material was distributed to the Belle Haven Elementary School.	Public Works	Silicon Valley Bicycle Coalition, SamTrans	Federal Transit Administration (Metropolitan & Statewide Planning and NonMetropolitan Transportation Planning)	In Progress (Medium Term)	Ongoing From Initiation
EJ6.C	Safe Routes to School. Coordinate with Ravenswood City School District to expand the Safe Routes to School program, including potential for increased crossing guards at key intersections.	Program	The City has a Safe Routes to School Program. The Safe Routes to School Task Force meets quarterly and convenes representatives from surrounding school districts and schools, Menlo Park and Atherton police departments, city and county public works departments, San Mateo County Sheriff's Office, San Mateo County Office of Education, local organizations, and parents to discuss challenges around walking and biking to school and share ideas and opportunities for the Safe Routes to School program. The City coordinates with the Ravenswood City School District and has information online regarding their hiring process for crossing guards. Ravenswood City School District has reported challenges hiring for and filling crossing guard positions.	Public Works	Ravenswood City School District	Federal Transit Administration (Metropolitan & Statewide Planning and NonMetropolitan Transportation Planning)	In Progress (Medium Term)	Long Term
EJ6.D	Transportation Master Plan. Prepare to update and adopt the City's Transportation Master Plan (best practice is to update every 10-15 years) to improve environmental justice by advancing equity, mobility, reducing air pollution, and increasing bicycle and pedestrian safety.	Program	In 2024, the Vision Zero Action Plan, which is part of the City's Transportation Plan, was adopted. The Vision Zero Action Plan identifies high priority systemic safety issues to be addressed in all neighborhoods, with a focus on underserved communities. In 2024, the Belle Haven Traffic Calming Project was completed. The Project built improvements to help reduce speeds and cut-through traffic traveling through the neighborhood to reach destinations outside of the area.	Public Works	Caltrans, Community-Based Outreach Organizations (e.g., Menlo Together, Climate Resilient Communities), Community-Based Active Transportation Organizations (e.g., Silicon Valley Bicycle Coalition)	Strategic Growth Council (Transformative Climate Communities Round 5 Planning Grant), Department of Transportation Grants (Safe Streets and Roads for All, Sustainable Transportation Planning)	In Progress (Long Term)	Long Term
EJ6.D.1	Consider community solutions for addressing concerns related to parking (e.g., idling and noise, parking availability challenges) in underserved communities and explore the creation of Residential Preferential Parking (RPP) programs.	Action Item	This item has not yet begun and evaluation for implementation continues.	Public Works	Caltrans, Community-Based Active Transportation Organizations (e.g., Silicon Valley Bicycle Coalition), Police	Strategic Growth Council (Transformative Climate Communities Round 5 Planning Grant), Department of Transportation (Safe Streets and Roads for All Funding Opportunity Grant)	Medium Term	Medium Term
EJ6.D.2	Seek opportunities to improve pedestrian safety, at all Willow Road intersections.	Action Item	In 2025, the City is in the design phase of the Willow Road Pedestrian and Bicycle Safety Project, which includes Willow Road enhanced pedestrian crossings, a new pedestrian crossing at O'Brien Street, and separated (Class IV) bikeways on both sides of the street between Bayfront Expressway and U.S. Highway 101. Design is anticipated to be completed in 2026, with construction in 2027.	Public Works	Caltrans, Community-Based Active Transportation Organizations (e.g., Silicon Valley Bicycle Coalition)	Federal Transit Administration (Metropolitan & Statewide Planning and Non-Metropolitan Transportation Planning), Department of Transportation (Safe Streets and Roads for All Funding Opportunity Grant)	In Progress	Short Term
EJ6.D.3	Consider strategies to reduce excessive speed and cut-through traffic in underserved communities.	Action Item	In 2024, the Belle Haven Traffic Calming Project was completed. The Project built improvements to help reduce speeds and cut-through traffic traveling through the neighborhood to reach destinations outside of the area. In 2024, the Vision Zero Action Plan, which is part of the City's Transportation Plan, was adopted. The Plan identifies high priority systemic safety issues to be addressed in all neighborhoods, with a focus on underserved communities.	Public Works	Caltrans, Community-Based Active Transportation Organizations (e.g., Silicon Valley Bicycle Coalition)	Strategic Growth Council (Transformative Climate Communities Round 5 Planning Grant), Department of Transportation (Safe Streets and Roads for All Funding Opportunity Grant)	In Progress	Long Term

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EJ6.D.4	Install traffic calming measures to reduce speeds, as well as flashing stop signs in underserved communities, particularly around schools during pick-up and drop-off periods.	Action Item	In 2024, the Belle Haven Traffic Calming Project was completed. The Project built improvements to help reduce speeds and cut-through traffic traveling through the neighborhood to reach destinations outside of the area. The project included the installation of speed humps near Belle Haven Elementary School, and bulbouts along Ivy Drive, Chilco Street, Terminal Avenue, and Newbridge Street.	Public Works	Caltrans, Menlo Park Fire Protection District, Ravenswood City School District, Community-Based Active Transportation Organizations (e.g., Silicon Valley Bicycle Coalition)	Federal Transit Administration (Metropolitan & Statewide Planning and NonMetropolitan Transportation Planning), Department of Transportation (Safe Streets and Roads for All Funding Opportunity Grant)	In Progress	Short Term	
EJ6.D.5	Install bikeways on Ivy Drive, ideally Class I or Class IV.	Action Item	This item was explored in 2019 during the outreach for the Belle Haven Traffic Calming Plan. At that time, staff heard bicycle lanes were not desirable, because they required parking removal. Since adoption of the EJ Element, reevaluating this proposal has not started but would be planned for the future. The development of options and evaluation of parking removal for bicycle lanes will be planned in the future. Comprehensive community outreach and engagement efforts would be undertaken to invite discussion to confirm local interests.	Public Works	Caltrans, Community-Based Active Transportation Organizations (e.g., Silicon Valley Bicycle Coalition), San Francisco Public Utilities Commission	Federal Transit Administration (Metropolitan & Statewide Planning and NonMetropolitan Transportation Planning), Department of Transportation (Safe Streets and Roads for All Funding Opportunity Grant), San Francisco Public Utilities Commission	In Progress (Long Term)	Long Term	
EJ6.D.6	Expand the network of safe, accessible, and appealing pedestrian and bicycle facilities, including pedestrian connections within and in between neighborhoods. Poles, signs, or other impediments in the center of sidewalks should be modified to improve accessibility and sidewalk safety. Pursue improvements for public transit users and pedestrians where feasible, including, but not limited to, bus shelters, benches, shade structures, and lighting to support alternative transportation.	Action Item	Staff reviews qualifying development projects for frontage Improvements which include the addition of street trees, landscaping, planters, and green infrastructure, within the public right-of-way where feasible. As part of the City's annual street resurfacing project, traffic calming, pedestrian crossings and bicycle improvements are incorporated. In 2024, the Belle Haven Traffic Calming Project was completed. The Project built improvements to help reduce speeds and cut-through traffic traveling through the neighborhood to reach destinations outside of the area.	Public Works	Caltrans, Community-Based Active Transportation Organizations (e.g., Silicon Valley Bicycle Coalition)	Strategic Growth Council (Transformative Climate Communities Round 5 Planning Grant), Department of Transportation (Safe Streets and Roads for All Funding Opportunity Grant)	In Progress (Medium Term)	Medium Term	
EJ6.D.7	Install and regularly maintain adequate lighting to encourage walking and safe travel at night. This may begin with installation on Ivy Drive, Hamilton Avenue, Chilco Street, Newbridge Street, and at public buildings at parks. It should continue after subsequent community outreach that identifies other streets and locations with inadequate lighting, prioritizing underserved communities.	Action Item	This item has not yet begun and evaluation for implementation continues.	Public Works	Community Development	Strategic Growth Council (Transformative Climate Communities Round 5 Planning Grant), Department of Transportation (Safe Streets and Roads for All Funding Opportunity Grant)	Short Term	Long Term	
Goal EJ7. Create equitable civic and community engagement									
EJ7.1	Prioritize civic and community engagement programs that enhance the participation and inclusion of underserved communities.	Policy	-	-	-	-	-	-	
EJ7.2	Keep residents informed about governmental meetings and actions by ensuring transparency and accessibility in government and decision making.	Policy	-	-	-	-	-	-	
EJ7.3	Treat all members of the community fairly and promote equity and capacity building toward creating a healthy environment and just community.	Policy	-	-	-	-	-	-	
EJ7.A	Engaging Underserved Communities. Promote and evaluate capacity-building efforts to educate and involve traditionally underrepresented populations, including underserved communities, in the public decision-making process.	Program	In 2024, following three years of community outreach and engagement with a focus on meeting people where they are and empowering the voices of Menlo Park's underserved Belle Haven and Bayfront communities, the City adopted its first General Plan Environmental Justice Element. Through an inclusive, intentional, and equitable planning process with over 15 outreach and engagement events, the Menlo Park community harmonized voices into an action-oriented plan to positively impact the whole ecosystem — not only the environment, but also the health and wellbeing of people. City staff supported the community in their identification of seven goals and three top priorities for advancing environmental justice.	City Manager's Office	Belle Haven Action	General Fund	In Progress (Short Term)	Ongoing From Initiation	
EJ7.A.1	Partner with community-based organizations that have relationships, trust and cultural competency with target communities to outreach on local initiatives and issues and allow them the use of space in the Belle Haven Community Campus at no cost.	Action Item	This item has not yet begun and evaluation for implementation continues.	City Manager's Office	Belle Haven Action	General Fund	Short Term	Ongoing From Initiation	

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EJ7.A.2	Use culturally appropriate approaches to public participation and involvement in a partnership with community based organization.	Action Item	The City partnered with Climate Resilient Communities and community-based organizations to develop Menlo Park's first Environmental Justice Element which was adopted in September 2024. Through the Element's development, outreach and engagement used culturally appropriate approaches to public participation and involvement, meeting community members where they already were and providing tools, incentives, and assistance to enhance civic participation	City Manager's Office	Belle Haven Action	General Fund	Short Term	Ongoing From Initiation	
EJ7.A.3	Deploy educational workshops for City staff to enhance understanding of social injustice and housing needs pertaining to diversity, equity, and inclusion.	Action Item	In 2024, City staff from different departments and divisions participate in the Quarterly San Mateo County Equity in Government Community of Practice meetings. The quarterly meetings are ongoing in 2025.	City Manager's Office	Belle Haven Action	General Fund	In Progress (Short Term)	Ongoing From Initiation	
EJ7.A.4	Provide training for decision makers, City staff, applicants, and public on social justice issues that affect community members.	Action Item	This item has not yet begun and evaluation for implementation continues.	City Manager's Office	-	General Fund	Short Term	Ongoing From Initiation	
EJ7.B	Meeting People Where They Are. All meetings with an agenda item located in an underserved community should take place in a location easily accessible to the underserved community and/or by means that facilitate such access, such as satellite meeting centers, simulcasting, and/or remote participation. Consider hardcopy materials for outreach, particularly door-to-door outreach.	Program	In August 2024, the Planning Commission reviewed and recommended to the City Council the adoption of the Environmental Justice Element at the Belle Haven Community Campus. In 2025, more public meetings are planned to occur at the Belle Haven Community Campus. Public meetings are typically simulcast online to increase access and participation. The City has provided transportation to City Council meetings from the Belle Haven neighborhood for the annual priority setting workshop, the EJ Element adoption meeting in September 2024, and will be exploring opportunities for additional services in 2025.	City Manager's Office	Library and Community Services	General Fund	In Progress (Short Term)	Ongoing From Initiation	
EJ7.C	Encouraging Community Outreach. Consider and provide, as feasible, compensation (such as food and refreshments, stipends, on-site child care) at community outreach events in underserved communities.	Program	In 2024, the preparation of the Environmental Justice Element included community outreach events focused on meeting people where they are and included compensation such as food and refreshments, stipends, and on-site child care, when feasible.	City Manager's Office	-	General Fund	In Progress (Short Term)	Ongoing From Initiation	
EJ7.D	Equitable Engagement. Pursue equitable civic and community engagement.	Program	In 2024, the preparation of the Environmental Justice Element included community meetings and public meetings with the Planning Commission and City Council. When possible, meeting materials were provided in both English and Spanish languages and live interpretation was provided. Monolingual Spanish meetings were provided as well.	City Manager's Office	-	General Fund	In Progress (Short Term)	Ongoing From Initiation	
EJ7.D.1	Initiate outreach efforts as early as possible in the decision-making process before significant resources have been invested.	Action Item	The Environmental Justice Element was adopted in 2024 after three-year inclusive, intentional, and equitable planning process with over 15 outreach and engagement events. The element is a community-driven document. City staff supported the community in their identification of seven goals and three top priorities for advancing environmental justice.	City Manager's Office	All City Departments	General Fund	In Progress (Short Term)	Ongoing From Initiation	
EJ7.D.2	Conduct open meetings on issues affecting land use and the environment.	Action Item	This item has not yet begun and evaluation for implementation continues.	City Manager's Office	Community Development, Public Works	General Fund	Short Term	Ongoing From Initiation	
EJ7.D.3	At least twice per year, beginning immediately following Environmental Justice Element Adoption, conduct City Council meetings in underserved communities.	Action Item	In August 2024, the Planning Commission reviewed and recommended to the City Council the adoption of the Environmental Justice Element at the Belle Haven Community Campus. In December, the City Council conducted its annual recognition of the outgoing Mayor and selection of Mayor and Vice Mayor at BHCC. In 2025, more public meetings are planned to occur at the Belle Haven Community Campus.	Community Development	City Manager's Office	General Fund	In Progress	Ongoing From Initiation	
EJ7.D.4	Encourage representation from all districts on City boards and commissions.	Action Item	In 2024, approximately eight percent of individuals serving on City boards and commissions resided in District 1. The City continues to seek opportunities to encourage greater representation from all districts on City boards and commissions and has started noting applicants' district in application materials so the City Council can help encourage diversity amongst districts. In 2024, the City also began advertising opportunities to join advisory boards in Spanish to attract more diversity and these efforts continue in 2025.	City Manager's Office	-	General Fund	In Progress (Short Term)	Ongoing From Initiation	
EJ7.D.5	Evaluate scheduling of public meetings in order to allow for a wide range of participation options around typical and atypical working hours.	Action Item	This item has not yet begun and evaluation for implementation continues.	City Manager's Office	-	General Fund	Short Term	Ongoing From Initiation	
EJ7.D.6	Coordinate outreach efforts between City departments to avoid duplication and encourage that all Menlo Park community stakeholders receive notification and information.	Action Item	The City's weekly newsletter, the Weekly Digest, provides information on City initiatives for community members as well as staff. In addition, the City's Public Engagement team ensures that information shared with community members is accessible (provided in multiple languages and formats such as digital, mailers, banners, etc.) and works across departments to implement and continually improve outreach opportunities	City Manager's Office	All City Departments	General Fund	In Progress (Short Term)	Ongoing From Initiation	
EJ7.D.7	Inform the public on decisions – and seek feedback on decisions – using multiple communication methods, including traditional and online forms of communication.	Action Item	The City shares regular information and opportunities for feedback through subscription-based digital communications such as the weekly City newsletter (Weekly Digest), mailed notices, TV monitors with informational 'ads' throughout the city, street banners, message boards, A-Frame signs, social media channels, and partner community based organizations communications.	City Manager's Office	All City Departments	General Fund	In Progress (Short Term)	Ongoing From Initiation	
EJ7.D.8	Incorporate multilingual outreach, announcements and noticing into City procedures for public meetings and hearings and offer interpretation services at all meetings and workshops on environmental issues.	Action Item	In 2024, the preparation of the Environmental Justice Element included community meetings and public meetings with the Planning Commission and City Council. When possible, meeting materials were provided in both English and Spanish languages and live interpretation was provided. Monolingual Spanish meetings were provided as well. During development of the Vision Zero Action Plan in 2023 and 2024, bilingual outreach with pop-events at Belle Haven Elementary School and the Menlo Park Farmer's Market were held.	City Manager's Office	All City Departments	General Fund	In Progress (Short Term)	Ongoing From Initiation	
EJ7.D.9	Consider offering childcare at key meetings and workshops on environmental issues affecting entire neighborhoods and the city as a whole.	Action Item	In 2024, the preparation of the Environmental Justice Element included community outreach events focused on meeting people where they are and included on-site child care, when feasible. During development of the Vision Zero Action Plan in 2023 and 2024, bilingual outreach with pop-events at Belle Haven Elementary School and the Menlo Park Farmer's Market were held.	City Manager's Office	All City Departments	General Fund	In Progress (Short Term)	Ongoing From Initiation	
EJ7.D.10	Distribute contact information (such as phone numbers to call) for various departments, programs and other functions in the City organization in underserved communities and in appropriate languages.	Action Item	The City produces hardcopy outreach materials in English and Spanish when feasible and needed (e.g., Home Upgrade program flyer). Phone numbers and emails for bilingual support are provided whenever possible.	City Manager's Office	All City Departments	General Fund	In Progress (Short Term)	Ongoing From Initiation	
EJ7.E	Community Resource Hub. Encourage resources for in-person outreach, enhancing the BHCC as a community hub for learning and engagement opportunities strengthened with partner organizations. These will connect residents in underserved communities with pre-existing city and state resources as well as encourage resident participation in public meetings, events, and decision making.	Program	This item has not yet begun and evaluation for implementation continues.	City Manager's Office	All City Departments	General Fund	Short Term	Ongoing From Initiation	
EJ7.E.1	Provide resources at BHCC about environmental safety, including flooding, extreme heat, and other issues identified in the Safety Element. Consider having a concierge or dedicated staff/resources to provide outreach on local mitigation efforts in underserved communities.	Action Item	In 2024, a sustainability information booth was established at the Belle Haven Library. All information is provided in Spanish and English and focuses on available resources related to water conservation, electrification, waste reduction, and advertising upcoming events.	Community Development	Library and Community Services, Public Works, Sustainability Division	General Fund	In Progress (Short Term)	Ongoing From Initiation	

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EJ7.F	Increasing Accessibility and Representation. Review Planning Commission stipend pilot and consider compensating City Councilmembers and appointed commissioners for the time they spend in their positions to make the positions more accessible to residents of underserved communities.	Program	A Planning Commission stipend pilot program was added in the 2023-2024 budget.	City Manager's Office	-	General Fund	In Progress	Short Term	
EJ7.G	Paratransit Services. Expand outreach on SamTrans' paratransit services to support increased attendance at public functions.	Program	SamTrans provides paratransit through Redi-Wheels. Coordination between the City and SamTrans for service is ongoing. In 2024, SamTrans launched a new service called SamTrans Ride Plus. SamTrans Ride Plus is an on-demand service offering easy, affordable transportation for riders in the Belle Haven neighborhood of Menlo Park, East Palo Alto, Half Moon Bay and El Granada.	Library and Community Services	SamTrans, Public Works	Strategic Growth Council (Transformative Climate Communities Round 5 Planning Grant)	In Progress	Medium Term	
EJ7.H	Multilingual and Multimodal Disaster Preparedness. Ensure that disaster preparedness planning as described in the Safety Element includes multilingual and multimodal outreach in Menlo Park's underserved communities. Upon adoption of the Environmental Justice Element, conduct regular disaster preparedness outreach that may include participation and information dissemination at public event and/or fairs in underserved communities with proactive encouragement and opportunity for the residents to sign up for emergency alert systems.	Program	In September 2024, the City promoted National Preparedness Month by writing a weekly article focused on different activities to be better prepared as a community. Some of those activities that the City continues to promote are registering for emergency alerts through SMC Alert and joining the Fire District Community Emergency Response Team. On November 16, 2024, the City Manager's Office, Emergency Services Program hosted an eight-hour Listos ("Ready") Menlo Park training taught in Spanish, consistent with Listos California, an initiative of the Governor's Office of Emergency Services. The class focused on individual and household disaster preparedness. Training topics included: Hazard and Risk Identification, Communication Plan, Family Reunification Plan, Service Supply Interruption, Fire Extinguishers, Disaster Team, Care for the Wounded, Organization at Home, and Emotional Support. The session was attended by approximately 25 residents. On December 12, 2024, the Emergency Services Program partnered with several community based organizations – Climate Resilient Communities, Catholic Charities, Belle Haven Action – and the Menlo Park Fire Protection District (Fire District) to hold disaster preparedness training for the Belle Haven community. The two-hour bilingual (English/Spanish) session focused on household disaster preparedness and each family in attendance received an emergency radio and American Red Cross disaster preparedness starter kit. The session was attended by over 60 residents. Ongoing activities include continued partnership with community based organizations and the Fire District to provide bilingual (English/Spanish) disaster preparedness training and partnering with the American Red Cross to install smoke/carbon dioxide detectors free to Belle Haven residents. Additional work is in progress to develop bilingual literature on how to prepare for and respond to disasters. The City provides preparedness information throughout the year in various channels such as newsletters, email, social media, and TV ad monitors located within the city to help community members be ready for storms and other disasters. The City also coordinates with other agencies and/or offers programs to inform community members on ways to prepare for disasters. In addition, the City regularly communicates on storm impacts and provides resources to the community to recover.	City Manager's Office	Menlo Park Fire Protection District	Governor's Office of Land Use and Climate Innovation (Integrated Climate Adaptation and Resiliency Program's Regional Resilience Planning and Implementation Grant Program)	In Progress (Short Term)	Ongoing From Initiation	
EJ7.I	Long Term Adaptation Planning. Encourage the sustained engagement and involvement of underserved communities in long term adaptation planning projects related to sea-level rise and coastal flooding. Maintain membership and partnership with the San Francisquito Creek Joint Powers Authority during their oversight of levee installations and expansions protecting underserved communities.	Program	The City received a \$50M FEMA grant for the Menlo Park SAFER Bay Project, which focuses on the building of a levee system from East Palo Alto to Bedwell Bayfront Park for storm and sea level rise protection. A request for proposals for the design work was issued in 2024. The design is planned to begin in early 2025 for completion in 2027. As part of this effort, the City will continue to work with the SAFER Bay Citizens Advisory Committee (formed in 2022) to provide public engagement and involvement opportunities.	Public Works	City Manager's Office, San Francisquito Creek Joint Powers Authority	Governor's Office of Land Use and Climate Innovation (Integrated Climate Adaptation and Resiliency Program's Regional Resilience Planning and Implementation Grant Program)	In Progress	Long Term	
EJ7.J	EJ Element Action Guide Maintenance. Continually maintain the Environmental Justice Element Action Guide in response to changing community needs, funding opportunities, and ongoing community outreach. Annual reporting, at a minimum, should be provided to the City Council and made available on the City website.	Program	The Environmental Justice Element Action Guide was comprehensively updated in February 2025 as part of the Environmental Justice Element Annual Progress Report which will be reviewed by the City Council and made available on the City website.	Community Development	All City Departments	General Fund	In Progress (Short Term)	Ongoing From Initiation	
EJ7.J.1	Monitoring programming at community centers for usage, popularity, and equitable access, including an annual report on community center programming to Council. The report shall include community outreach and will recommend any updates to programming and outreach methods to address inequitable access.	Action Item	The City collects usage data and statistics and provides monthly usage reports to Library Commission and Parks and Recreation Commission. An annual report to the City Council is under development.	Library and Community Services	-	General Fund	In Progress	Ongoing From Initiation	
EJ7.J.2	Publish an annual report on the progress of the Transportation Master Plan, beginning a year after adoption of the updated Transportation Master Plan.	Action Item	An online map showing completed projects is published on the City's website. Additional status/dashboard information about the Transportation Master Plan and Vision Zero Action Plan is under development.	Public Works	Community Development Department, Caltrans, Community-Based Active Transportation Organizations (e.g., Silicon Valley Bicycle Coalition)	Strategic Growth Council (Transformative Climate Communities Round 5 Planning Grant), Department of Transportation (Safe Streets and Roads for All Funding Opportunity Grant)	In Progress	Ongoing From Initiation	

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EJ7.J.3	Diligently implement all state laws and mandated bias and sensitivity training requirements for law enforcement officers, current and new upon hire, who may interact with historically discriminated groups. The Police Department shall maintain records as required by state law to show vigilant compliance with all state laws and California Commission on Peace Officer Standards and Training (POST) requirements. The Police Department includes documentation of records generated in compliance with the department's "Bias-Based Policing" policy as well as California's Racial and Identity Profiling Act in its quarterly reporting to the community through City Council.	Action Item	The Police Department continues its diligent adherence to bias and sensitivity factors, including policy changes, mandated training, mandated pre-employment screening, and policy transparency to the community. The Police Department continues to strictly adhere to the reporting requirements of the Racial and Identity Profiling Act and provides related data to the public quarterly through an informational bilingual (English/Spanish) report to the City Council.	Police	City Manager's Office	General Fund	In Progress (Short Term)	Ongoing From Initiation	
EJ7.J.4	Prepare and publicize an annual report describing the City's progress on promoting and evaluating capacity-building efforts per Program EJ7.D. This report shall also evaluate outreach methods and recommend adjusting outreach strategies to reflect best practices and results.	Action Item	This item has not yet begun and evaluation for implementation continues.	City Manager's Office	All City Departments	General Fund	Short Term	Ongoing From Initiation	
EJ7.K	EJ Element Action Guide Updating. The City will update the Environmental Justice Element Action Guide annually to indicate progress, especially in meeting community-identified priorities. Revisions to existing action items and/or community-identified priorities will include outreach, particularly in underserved communities, and include a public process with City Council consideration. Outreach to further environmental justice will be ongoing. The Action Guide does not require a General Plan amendment to be updated.	Program	The Environmental Justice Element Action Guide was comprehensively updated in February 2025 as part of the Environmental Justice Element Annual Progress Report which will be reviewed by the City Council and made available on the City website.	Community Development	All City Departments	General Fund	In Progress (Short Term)	Ongoing From Initiation	
EJ7.L	City Council Consideration. The City Council shall consider the community-identified environmental justice priorities during its annual priority and goal setting workshop.	Program	The City Council will consider the community-identified environmental justice priorities at its March 2025 priority setting workshop. Identifying top priorities helps the City Manager create a work plan of projects for the year. Many of the projects take multiple years to plan, fund and complete.	City Manager's Office	All City Departments	General Fund	In Progress (Short Term)	Ongoing From Initiation	