

**To: Menlo Park Planning Department**

**Re: Application for an addition and remodel to the property at:  
1011 Louise Street, Menlo Park, APN 071111230**

**Project Description:**

This project includes remodeling and adding to a single-story, single-family residence.

The remodeling includes the entire floor, turning a 5-bedroom 2-bathroom house into a 4-bedroom 3.5-bathroom residence. The project includes an addition of 424.77 sf of habitable space, to create a larger great room facing the backyard, and 352.67 sf addition to the garage. The project also includes a new covered patio facing the backyard and a re-build of the front porch, in the same footprint. All work is on the first floor.

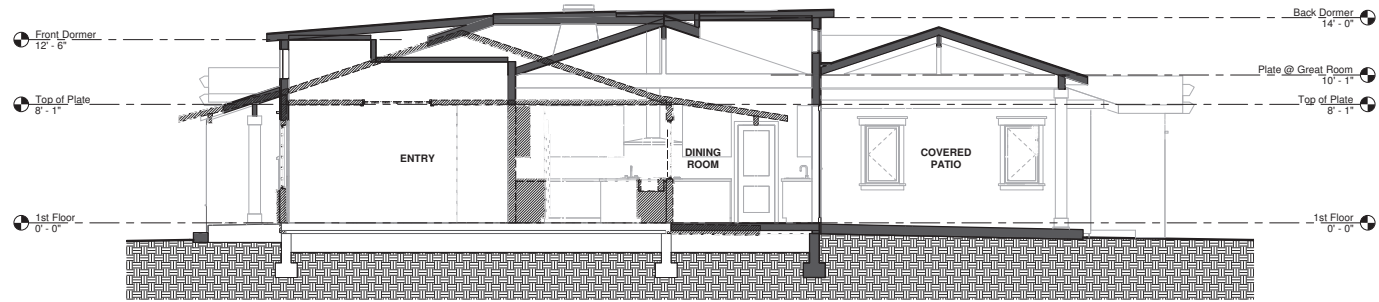
The project proposes upgrades to the exterior, including new wood siding throughout, new doors and windows, new stone wainscot at the front facade, and two new dormers, one facing the front one facing the backyard. The property is basically flat, and no grading work is proposed, except for minor excavations where a new house foundation is necessary.

The reason this project is going through the use permit process is one existing-to-remain non-conforming wall, at the existing garage. This existing wall encroaches +/-7 inches into the side setback, and we're proposing to keep it, to avoid the cost of relocating the gas and electric utilities that are on it.

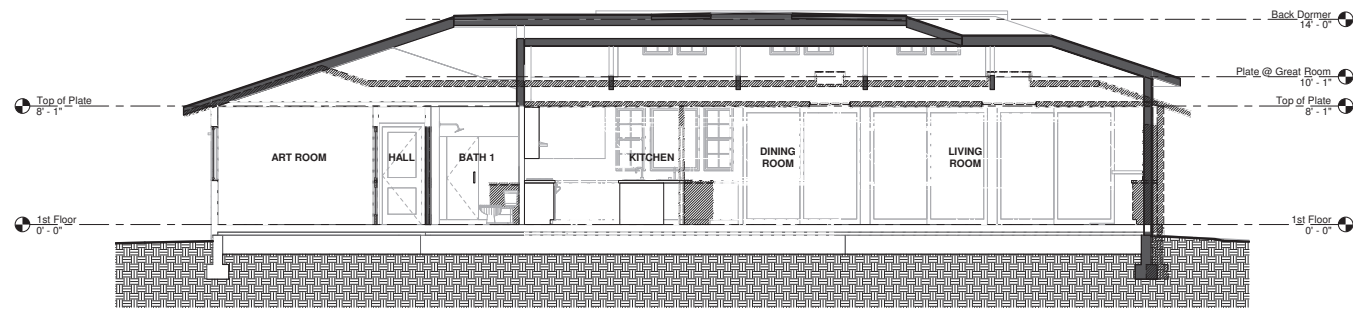
Thank you for your consideration.

Shlomi Caspi / Timeline Design  
Applicant





① SECTION  
1/4" = 1'-0"




② SECTION  
1/4" = 1'-0"



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No.	Description	Date

ADDITION AND REMODEL FOR :  
**NORMAN RESIDENCE**  
 1011 LOUISE STREET, MENLO PARK, CA 95024  
 A.P.N. 071111230

PREPARED BY:  
 Shyam Chatterjee  
 Timeline Design  
  
 SCALE: 1/4" = 1'-0"  
 DRAWN BY: SC  
 APPROVED BY: MH  
 DATE: 02/14/24

**TIMELINE**  
**DESIGN + BUILD**  
 44401 BIG BASIN WAY, SUITE 100  
 SAN DIEGO, CA 92123  
 PHONE: 619.741.3300 FAX: 619.317.1708

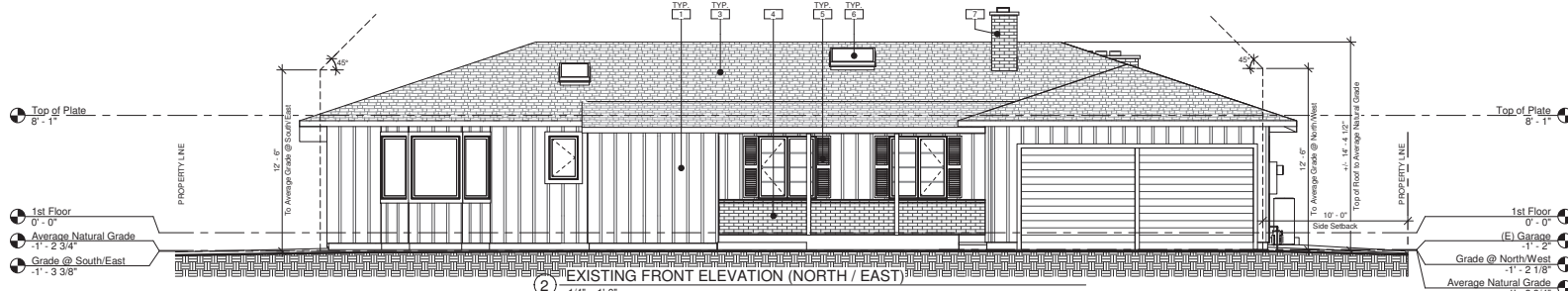


**A4.1**

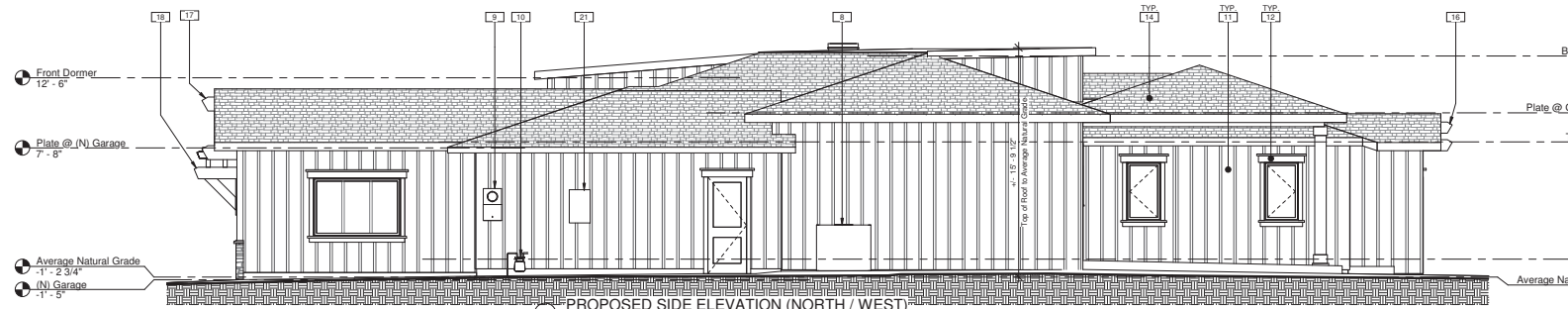
SECTIONS



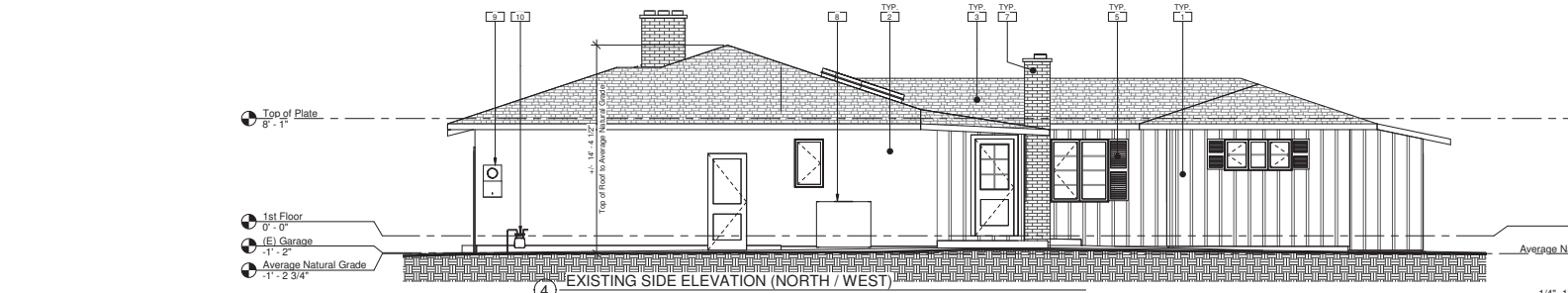
1 PROPOSED FRONT ELEVATION (NORTH / EAST)  
1/4" = 1'-0"



2 EXISTING FRONT ELEVATION (NORTH / EAST)  
1/4" = 1'-0"



3 PROPOSED SIDE ELEVATION (NORTH / WEST)  
1/4" = 1'-0"



4 EXISTING SIDE ELEVATION (NORTH / WEST)  
1/4" = 1'-0"

KEYNOTES	
1	REMOVE EXISTING SIDING
2	REMOVE EXISTING STUCCO
3	REMOVE ALL EXISTING ROOF SHINGLES AND UNDERLAYMENT
4	REMOVE EXISTING BRICK VENEER
5	REMOVE EXISTING SHUTTERS
6	REMOVE EXISTING SKYLIGHT
7	REMOVE EXISTING CHIMNEY
8	EXISTING A/C UNIT TO REMAIN
9	EXISTING ELECTRICAL PANELS TO REMAIN
10	EXISTING GAS METER TO REMAIN
11	NEW BOARD AND BATTEN SIDING
12	NEW PAINTED WOOD TRIM TYPICAL ALL EXTERIOR OPENINGS
13	NEW STONE VENEER WAISCOOT
14	NEW ASPHALT SHINGLE ROOFING, CLASS 'C' MINIMUM
15	NEW 18 ROOFING AT FLAT ROOFS, REFER TO PROPOSED ROOF PLAN FOR ADDITIONAL INFORMATION
16	NEW PAINTED 4x10 DECORATIVE OUTRIGGER
17	NEW PAINTED 4x12 DECORATIVE TRUSSES
18	NEW DECORATIVE PAINTED WOOD TRELLIS
19	NEW PAINTED PVC COLUMN COVER, 'ENDURA CRAFT' SQUARE NON-TAPERED, BY 'PACIFIC COLUMNS'
20	NEW SKYLIGHT
21	NEW FANLESS WATER HEATER

THE NONCONFORMING WALLS OF THE EXISTING RESIDENCE CANNOT BE REBUILT IF DEMOLISHED PAST THEIR FRAMING MEMBERS

Revisions	Date
No.	Description

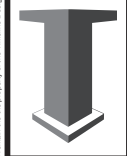
ADDITION AND REMODEL FOR:  
**NORMAN RESIDENCE**  
1011 LOUISE STREET, MENLO PARK, CA 95024

A.P.N. 071111230

PREPARED BY:  
Shawn Clegg  
Timeline Design  
*Shawn*

SCALE: 1/4" = 1'-0"  
DRAWN BY: SC  
APPROVED BY: MH  
DATE: 02/14/24

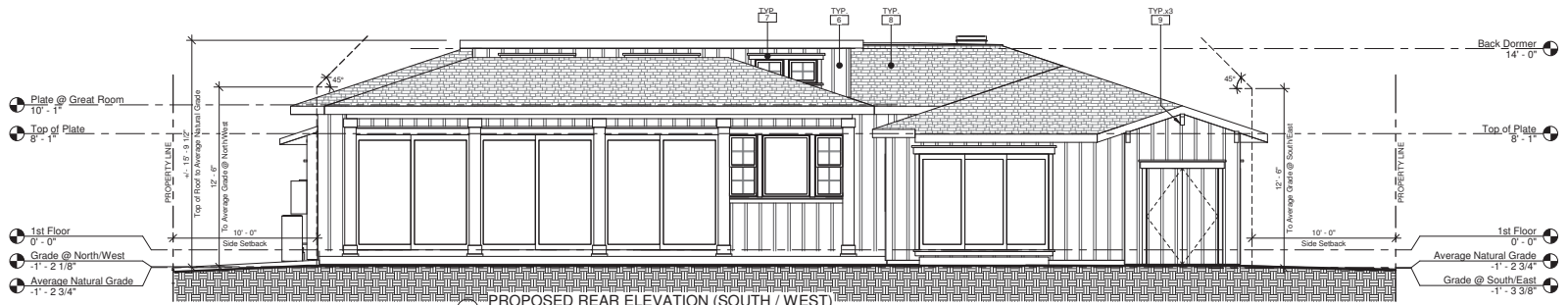
**TIME LINE**  
DESIGN + BUILD  
14401 BIG BASIN WAY  
SAN DIEGO, CA 92170  
PHONE: 619.741.3000 FAX: 619.317.1708



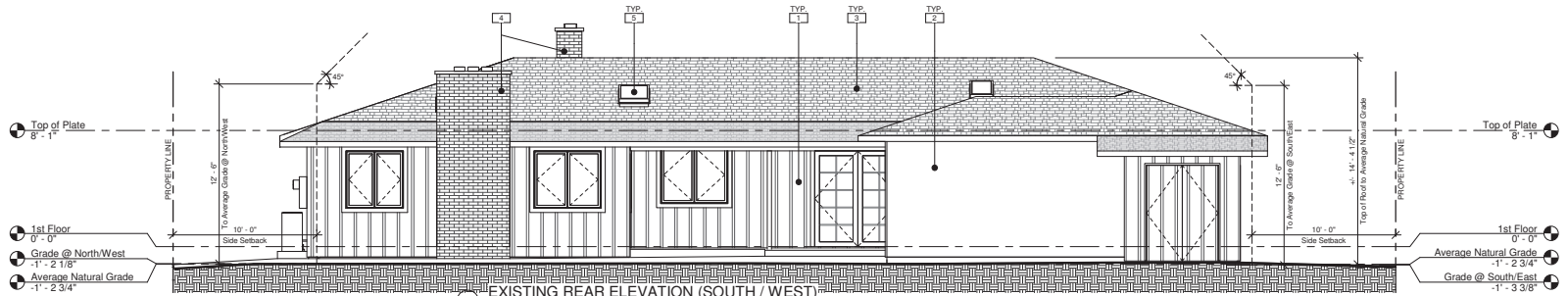
**A3.1**

EXISTING / PROPOSED ELEVATIONS

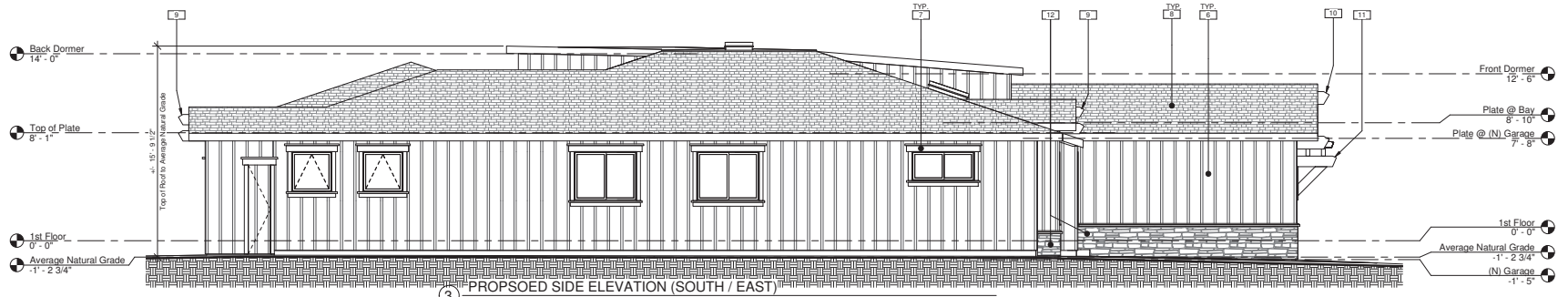
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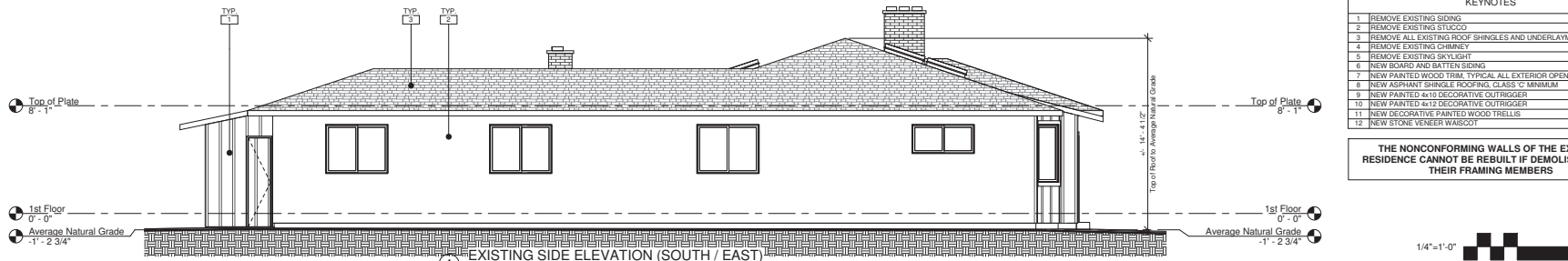
1 PROPOSED REAR ELEVATION (SOUTH / WEST)  
1/4" = 1'-0"



2 EXISTING REAR ELEVATION (SOUTH / WEST)  
1/4" = 1'-0"



3 PROPOSED SIDE ELEVATION (SOUTH / EAST)  
1/4" = 1'-0"



4 EXISTING SIDE ELEVATION (SOUTH / EAST)  
1/4" = 1'-0"

KEYNOTES

1	REMOVE EXISTING SIDING
2	REMOVE EXISTING STUCCO
3	REMOVE ALL EXISTING ROOF SHINGLES AND UNDERLAYMENT
4	REMOVE EXISTING CHIMNEY
5	REMOVE EXISTING SKYLIGHT
6	NEW SIDING AND BATTEN SIDING
7	NEW PAINTED WOOD TRIM TYPICAL ALL EXTERIOR OPENINGS
8	NEW ASPHALT SHINGLE ROOFING CLASS "C" MINIMUM
9	NEW PAINTED 4x12 DECORATIVE OUTRIGGER
10	NEW PAINTED 4x12 DECORATIVE OUTRIGGER
11	NEW DECORATIVE PAINTED WOOD TRELLIS
12	NEW STONE VENEER WASSCO!

THE NONCONFORMING WALLS OF THE EXISTING RESIDENCE CANNOT BE REBUILT IF DEMOLISHED PAST THEIR FRAMING MEMBERS



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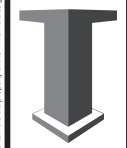
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Sharon Cass  
Timeline Design

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**TIME LINE**  
DESIGN + BUILD  
44401 BIG BASIN WAY  
SAN RAFAEL, CA 94901  
PHONE: 408.741.3000 FAX: 408.317.1708



**A3.2**  
EXISTING /  
PROPOSED  
REAR  
ELEVATION