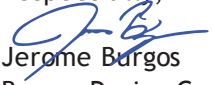
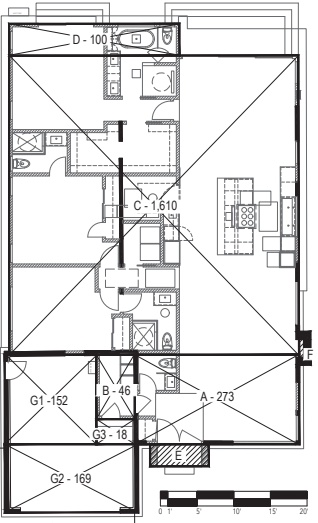


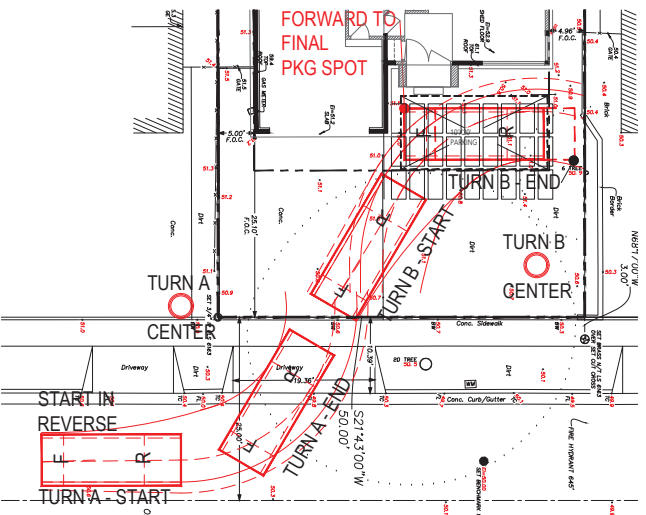


01.26.2024	MEMORANDUM
Project #2306	1035 Ringwood Ave, Menlo Park CA 94025
<p>City of Menlo Park,</p> <p>Please see the Project Description below for the proposed addition and alteration located at 1035 Ringwood Ave Menlo Park, CA 94025.</p> <p><b>Purpose of the proposal</b> - The project is intended to provide an improved home for my clients and their family. The existing home was not to their preferred layout, style or size. All proposed additions and alterations conform to current zoning and building codes. The project is considered nonconforming at 4 locations; 1) existing gable roof at fireplace extends beyond current daylight plane requirements, 2) left rear side of garage extends ~2" into side yard setback, 3) right front corner of house extends about 1/2" into the side setback, 4) existing garage is not big enough for 2 cars.</p> <p><b>Scope or work</b> - The scope includes removing the interior walls to create an open floor plan for the living, dining, kitchen and family room. There is an addition to the house to the left and towards the rear. to create the 3 bedrooms/bathrooms.</p> <p><b>Architectural style materials, colors and construction methods</b> - The style consists of traditional elements of the existing house with a minimal modern aspects incorporated, similar to houses in the surrounding neighborhood. Materials are painted stucco and wood paneling, with an asphalt shingle roof. The colors of the home are white walls, with a dark brown entryway, black window frames and dark grey trim. Construction methods are typical type V wood frame construction.</p> <p><b>Basis for site layout</b> - The site layout was to prioritize the open living space and it's connection with the front yard/sidewalk activity with the rear yard.</p>	
<p>Respectfully,</p>  <p>Jerome Burgos Burgos Design Group LLC</p>	

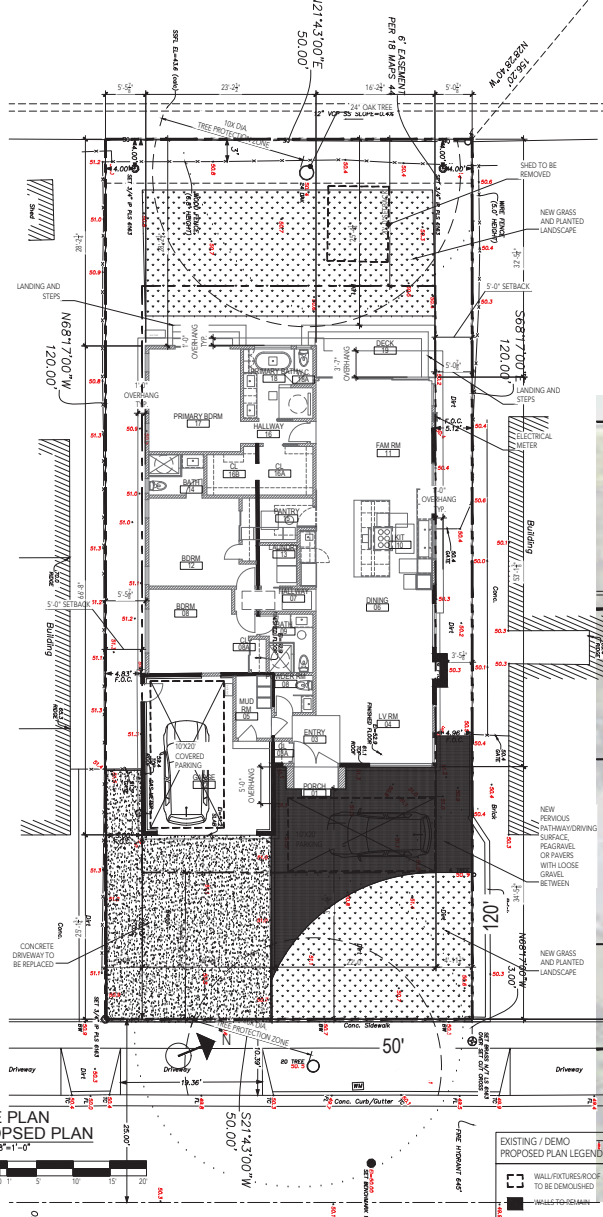
FLOOR AREA CALCULATION	SITE ANALYSIS
<b>MAIN RESIDENCE</b> A - 273 SF (22'-9" X 12'-2") B - 46 SF (8'-3" X 8'-8") C - 1,610 SF (39'-9" X 40'-10") D - 100 SF (22'-3" X 4'-4") 2,029 SF	<b>A.</b> SITE ADDRESS: 1035 RINGWOOD AVE MENLO PARK, CA 94025 <b>APN:</b> 063.034.140 <b>B.</b> LOT SIZE: 6,000 SF <b>C.</b> FLOOR AREA LIMIT: C.A. MAX FLOOR AREA - 2,800 SF (LOTS BETWEEN 5,000 & 7,000) C.B. EXISTING FLOOR AREA: 1,066 SF DWELLING 392 SF ATTACHED GARAGE 738 SF
<b>GARAGE</b> G1 - 152 SF (12'-6" X 12'-2") G2 - 169 SF (18'-2" X 9'-4") G3 - 18 SF (12'-3" X 3'-5") 339 SF <b>TOTAL:</b> 2,368 SF <b>MAX FLOOR AREA:</b> 2,800 SF	<b>D.</b> BUILDING COVERAGE D.A. EXISTING COVERAGE: 1,366 SF DWELLING 392 SF ATTACHED GARAGE 30 SF COVERED PORCH 7 SF FIREPLACE 85 SF SHED 1,860 SF D.B. PROPOSED COVERAGE: 2,399 SF - 2,800 SF <b>MAX COVERAGE:</b> (SEE DIAGRAM A AND BUILDING COVERAGE CALCULATION)
<b>BUILDING COVERAGE CALCULATION</b> <b>MAIN RESIDENCE</b> A - 273 SF (22'-9" X 12'-2") B - 46 SF (8'-3" X 8'-8") C - 1,610 SF (39'-9" X 40'-10") D - 100 SF (22'-3" X 4'-4") E - 24 SF (8'-0" X 3'-0" COVERED PORCH) F - 7 SF (11'-7" X 4'-6" FIREPLACE) 2,060 SF	<b>E.</b> SETBACKS: E.A. FRONT: 20 FEET (20 FEET GARAGE) E.B. REAR: 20 FEET E.C. SIDE: 5 FEET <b>F.</b> REQUIRED PARKING: 2 <b>G.</b> PROVIDED: 1 UNCOVERED
<b>GARAGE</b> G1 - 152 SF (12'-6" X 12'-2") G2 - 169 SF (18'-2" X 9'-4") G3 - 18 SF (12'-3" X 3'-5") 339 SF <b>TOTAL:</b> 2,480 <b>MAX COVERAGE:</b> 6,000 X 40% = 2,399 SF	<b>IMPERVIOUS AREA CALCULATION</b> <b>EXISTING IMPERVIOUS AREA:</b> BUILDING COVERAGE (SEE SITE ANALYSIS D.A.) - 1,860 SF CONCRETE DRIVEWAY - 607 SF FRONT WALKWAY AND STEPS - 114 SF REAR CONCRETE PATIO/DECKING - 382 SF <b>2,963 SF</b> <b>PROPOSED IMPERVIOUS AREA:</b> BUILDING COVERAGE (SEE BUILDING COVERAGE CALCULATION) - 2,399 SF CONCRETE DRIVEWAY - 607 SF REAR STEP FAMILY ROOM - 122 SF PRIMARY BEDROOM STEPS - 28 SF FRONT STEP - 45 SF <b>3,161 SF</b>



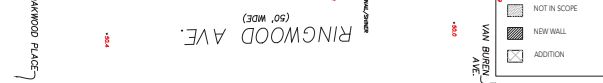
**DIAGRAM A**  
**FLOOR AREA / BUILDING COVERAGE**  
 SCALE: 1/8"=1'-0"



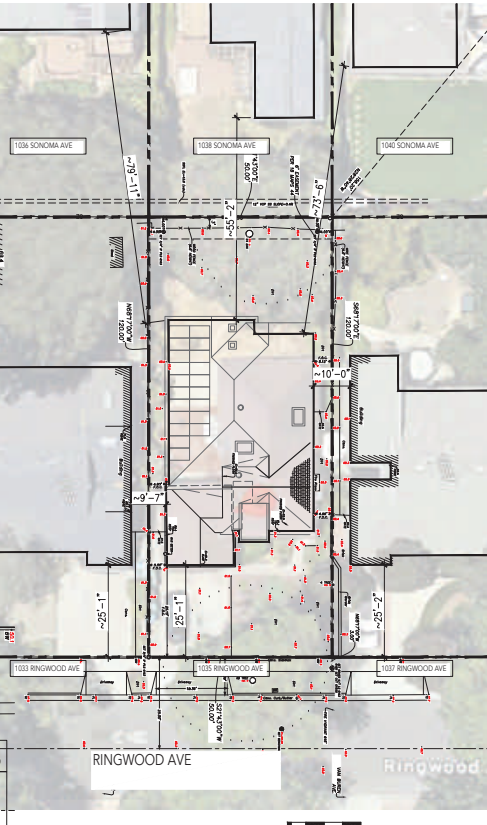
**DIAGRAM B**  
**UNCOVERED PARKING PATH**  
 SCALE: 1/8"=1'-0"



**1**  
**AREA PLAN**  
 SCALE: 1"=20'-0"



**2**  
**SITE PLAN PROPOSED PLAN**  
 SCALE: 1/8"=1'-0"



**3**  
**AREA PLAN**  
 SCALE: 1"=20'-0"

DRAWING LIST
A001 - TITLE SHEET, DWG LIST, PROJECT DATA, AREA PLAN, SITE PLAN AND FLOOR AREA / COVERAGE DIAGRAMS
A111 - PLANS: EXISTING / DEMOLITION
A121 - PLANS: PROPOSED
A311 - ELEVATIONS: EXISTING / DEMOLITION
A321 - ELEVATIONS: PROPOSED & WINDOW SCHEDULE
A331 - SECTIONS
SU - SURVEY

**PROJECT DESCRIPTION**  
 EXISTING: SINGLE FAMILY HOME 3 BEDROOM, 1 BATH, 1 STORY HOME WITH ATTACHED GARAGE.  
 PROPOSED SCOPE: ADDITION AND INTERIOR REMODEL TO CREATE 3 BEDROOM, 3.5 BATH, 1 STORY HOME WITH W/ ATTACHED GARAGE.

**OWNER:**  
 PATRICK & ANNE CHEUNG  
 1035 RINGWOOD AVE  
 MENLO PARK, CA 94025

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 jboros@burgosdesigngroup.com

**PROJECT ADDRESS:**  
 1035 RINGWOOD AVE  
 MENLO PARK, CA 94025

**PROJECT TITLE:**  
 1035 RINGWOOD AVE  
 ALTERATION & ADDITION

**SHEET TITLE:**  
 TITLE SHEET, DWG LIST, PROJECT DATA, AREA PLAN, SITE PLAN, AND FLOOR AREA / COVERAGE DIAGRAMS

NO.	DATE	DESCRIPTION
00	01.26.2024	USE PERMIT SUBMISSION

**SCALE:** AS NOTED  
**PROJECT NUMBER:** 2306  
**DRAWING NUMBER:**  
**A001**  
**PAGE NUMBER:**

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A

B

C

D

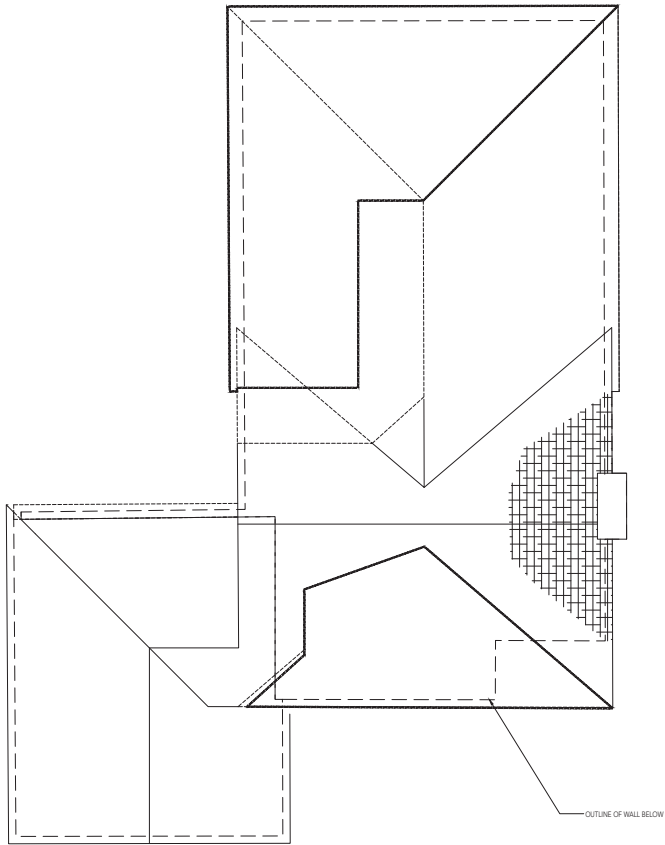
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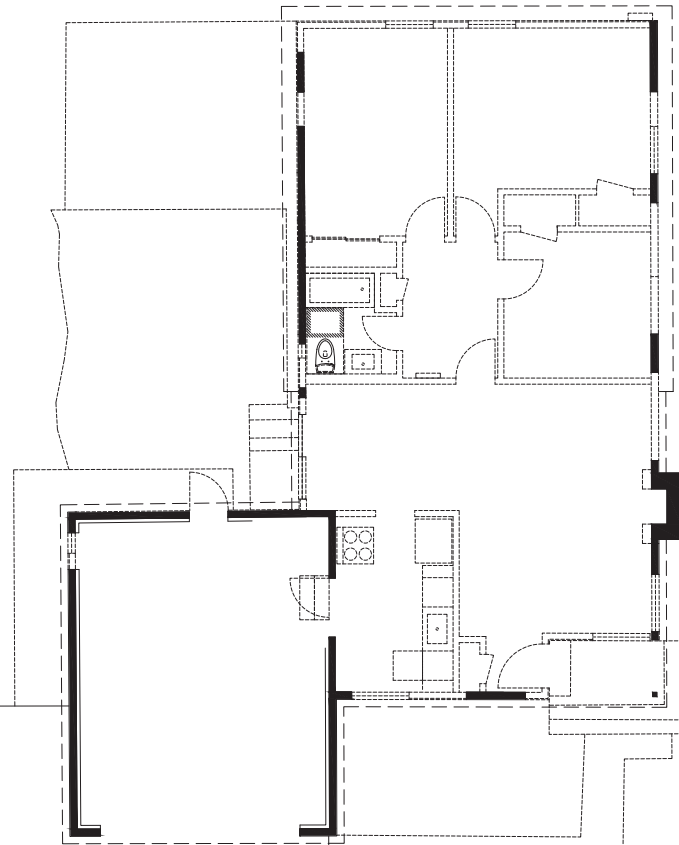
3

2

1



**2** EXISTING / DEMO ROOF PLAN  
SCALE: 1/4"=1'-0"



**1** EXISTING / DEMO FLOOR PLAN  
SCALE: 1/4"=1'-0"



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**PROJECT TITLE:**  
1035 RINGWOOD  
ALTERATION &  
ADDITION

**SHEET TITLE:**  
PLANS: EXISTING / DEMOLITION

NO.	DATE	DESCRIPTION
00	01.26.2024	USE PERMIT SUBMISSION

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PROJECT NUMBER: 2306

DRAWING NUMBER:  
**A111**

PAGE NUMBER:  
1

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A

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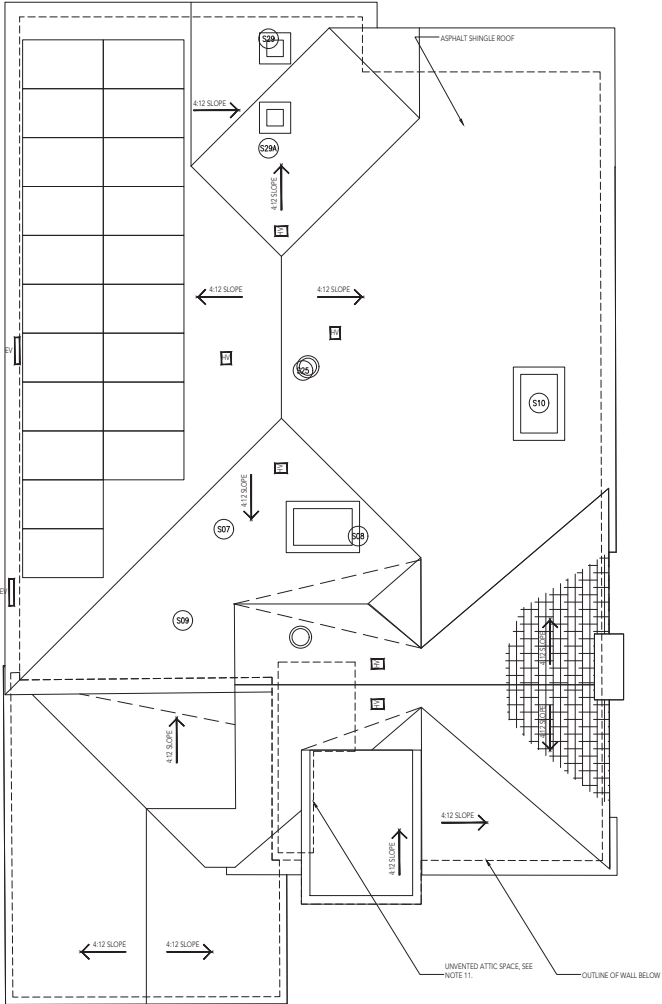
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4

3

2

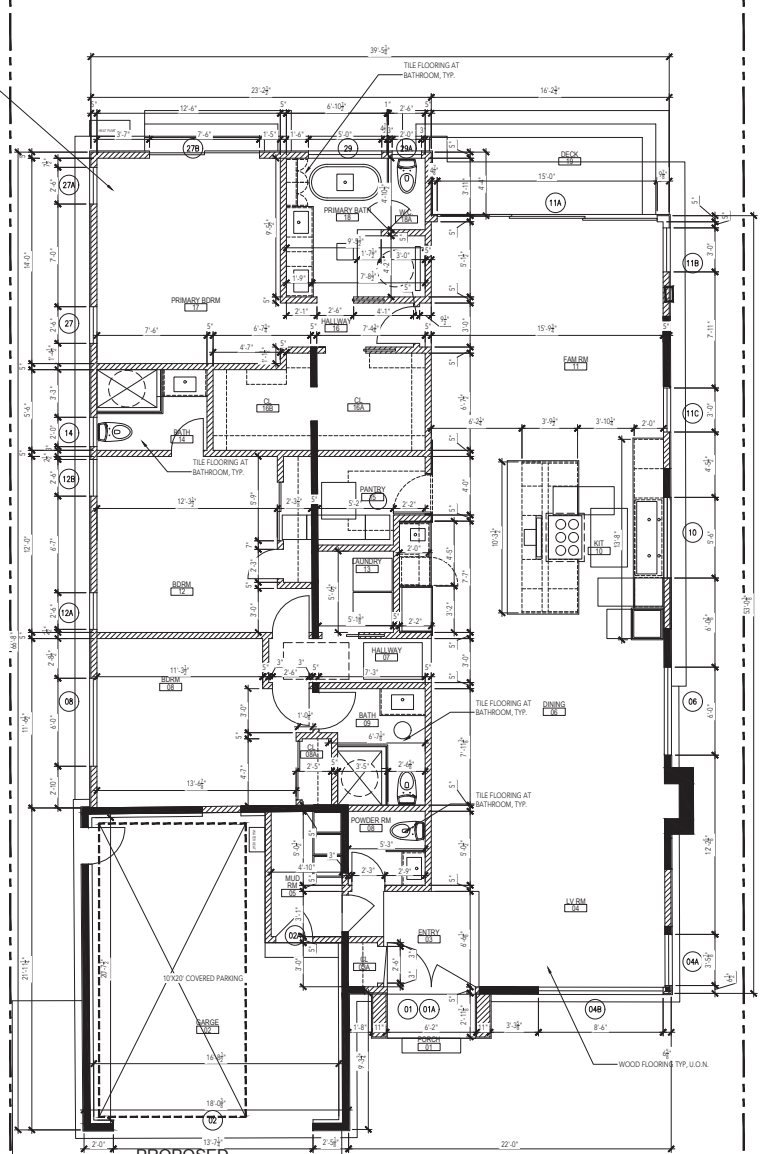
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**2**  
**PROPOSED ROOF PLAN**  
 SCALE: 1/4"=1'-0"



WOOD FLOORING TYP. U.O.N.



**1**  
**PROPOSED FLOOR PLAN**  
 SCALE: 1/4"=1'-0"



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**PROJECT TITLE:**  
 1035 RINGWOOD  
 ALTERATION &  
 ADDITION

**SHEET TITLE:**  
 PLANS: PROPOSED

**DESCRIPTION:**  
 USE PERMIT SUBMISSION

**NO. DATE:**  
 00 01.26.2024

**SCALE:** AS NOTED  
**PROJECT NUMBER:** 2306

**DRAWING NUMBER:**

**A121**

**PAGE NUMBER:**

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A

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C

D

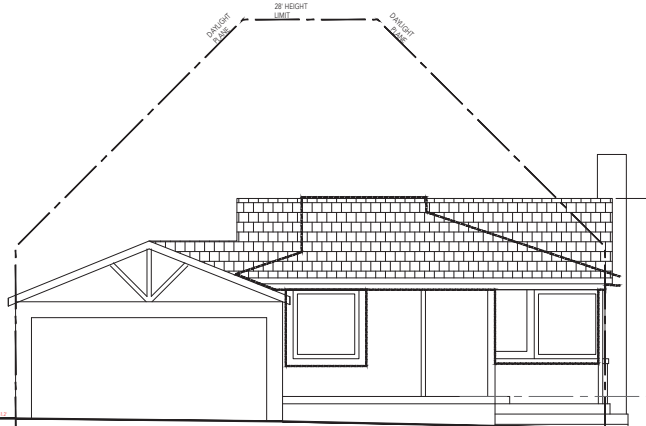
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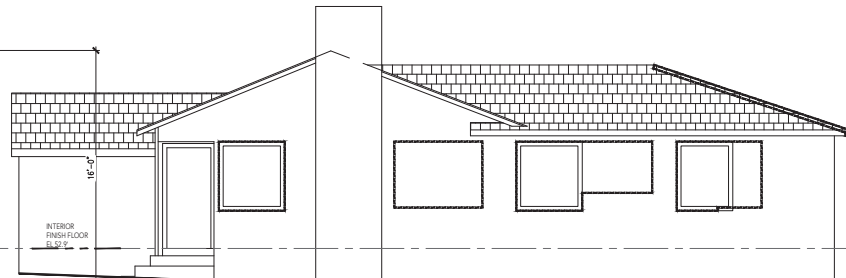
3

2

1



4 EXISTING / DEMO ELEVATION: FRONT (EAST)  
SCALE: 1/4"=1'-0"



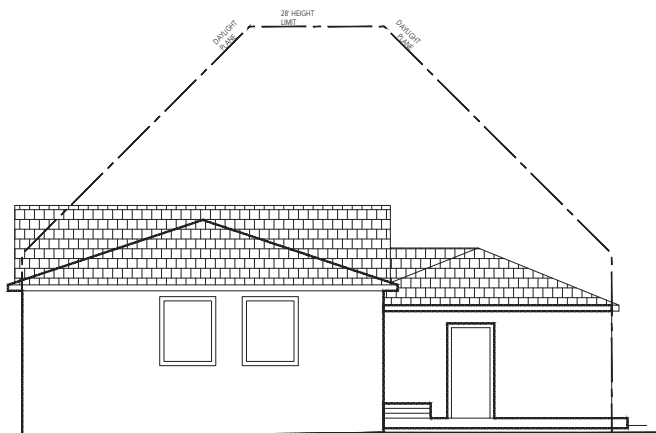
2 EXISTING / DEMO ELEVATION: SIDE (NORTH)  
SCALE: 1/4"=1'-0"

EXISTING / DEMO ELEVATION LEGEND

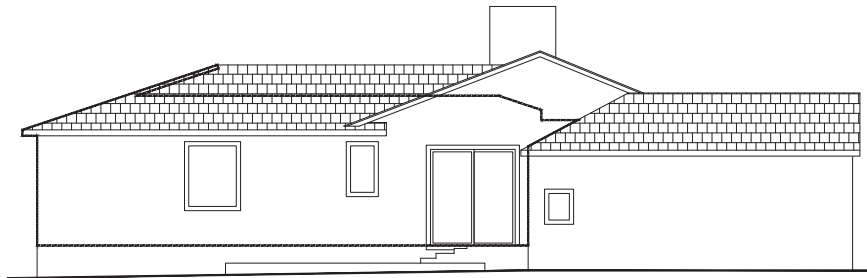
WALL/FIXTURES/ROOF TO BE DEMOLISHED

EXISTING EXTERIOR MATERIALS  
(SEE PROPOSED MATERIALS SHT A312)

WALLS - STUCCO - PAINTED PEACH  
ENTRY WALL - VERTICAL WOOD SIDING  
TRIM, EAVES AND GUTTERS - WOOD PAINTED LIGHT BROWN  
WINDOWS - WHITE  
ROOF - ASPHALT SHINGLE LIGHT BROWN  
FIREPLACE - STUCCO - PAINTED PEACH



3 EXISTING / DEMO ELEVATION: REAR (WEST)  
SCALE: 1/4"=1'-0"



1 EXISTING / DEMO ELEVATION: SIDE (SOUTH)  
SCALE: 1/4"=1'-0"



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**PROJECT TITLE:**  
1035 RINGWOOD  
ALTERATION &  
ADDITION

**SHEET TITLE**  
ELEVATIONS: EXISTING /  
DEMOLITION

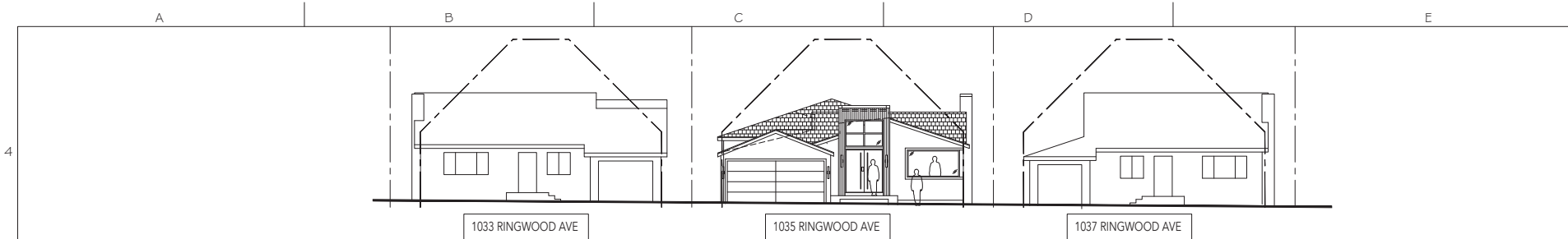
<b>NO.</b>	<b>DATE</b>	<b>DESCRIPTION</b>
00	01.26.2024	USE PERMIT SUBMISSION

SCALE: AS NOTED  
PROJECT NUMBER: 2306

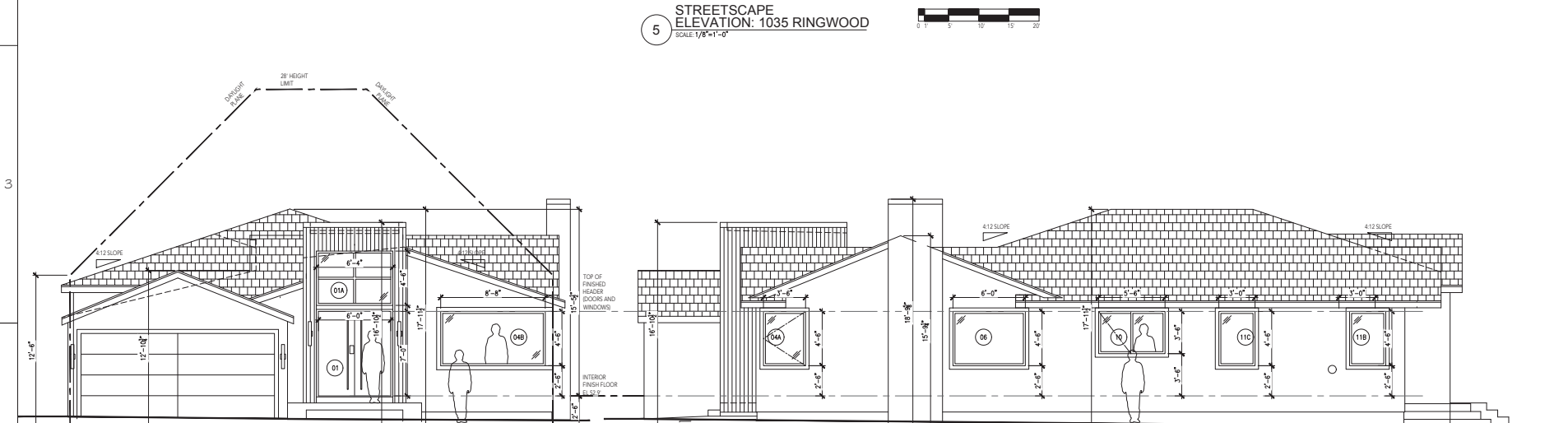
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**A311**

PAGE NUMBER:  
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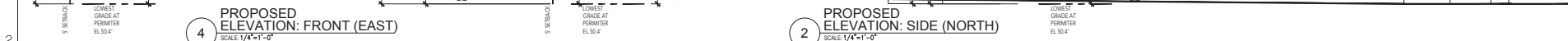
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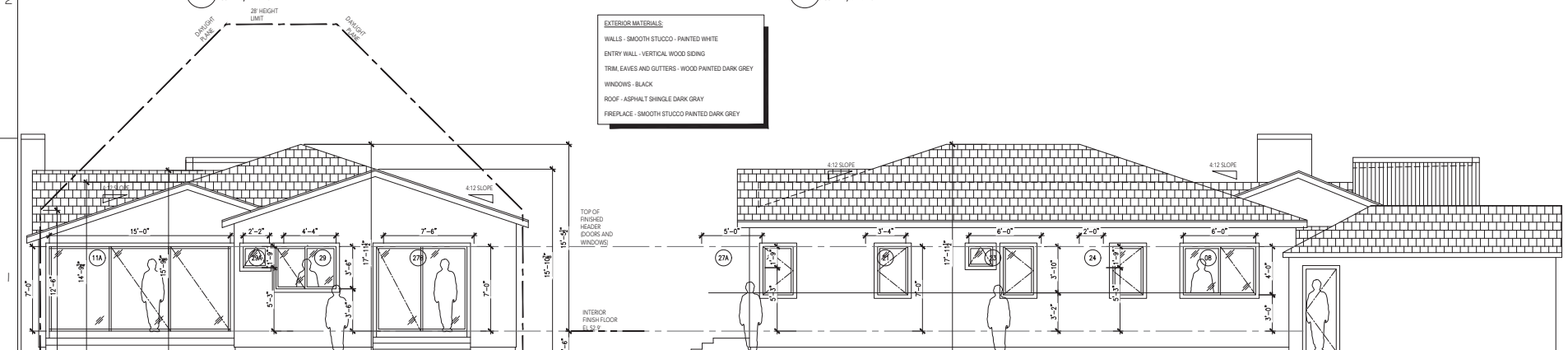
**STREETSCAPE ELEVATION: 1035 RINGWOOD**  
 SCALE: 1/8"=1'-0"



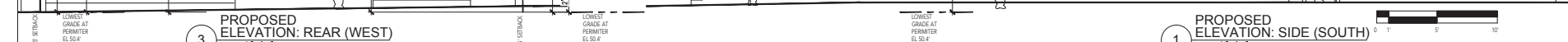
**4 PROPOSED ELEVATION: FRONT (EAST)**  
 SCALE: 1/4"=1'-0"



**2 PROPOSED ELEVATION: SIDE (NORTH)**  
 SCALE: 1/4"=1'-0"



**3 PROPOSED ELEVATION: REAR (WEST)**  
 SCALE: 1/4"=1'-0"



**1 PROPOSED ELEVATION: SIDE (SOUTH)**  
 SCALE: 1/4"=1'-0"

**EXTERIOR MATERIALS:**  
 WALLS - SMOOTH STUCCO - PAINTED WHITE  
 ENTRY WALL - VERTICAL WOOD SIDING  
 TRIM, EAVES AND GUTTERS - WOOD PAINTED DARK GREY  
 WINDOWS - BLACK  
 ROOF - ASPHALT SHINGLE DARK GREY  
 FIREPLACE - SMOOTH STUCCO PAINTED DARK GREY



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**PROJECT TITLE:**  
 1035 RINGWOOD  
 ALTERATION &  
 ADDITION

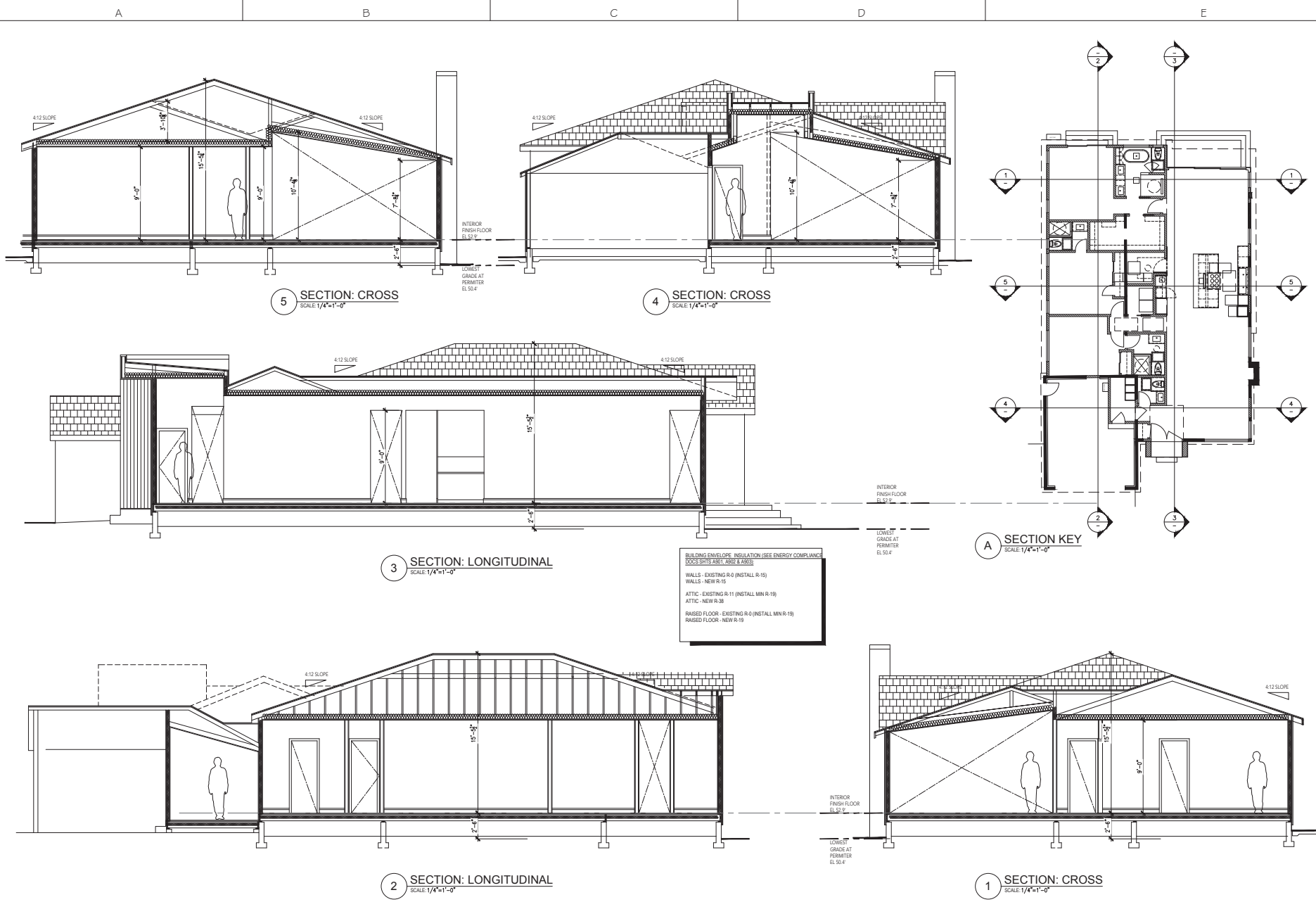
**SHEET TITLE:**  
 ELEVATIONS; EXISTING /  
 DEMOLITION

<b>NO.</b>	<b>DATE</b>	<b>DESCRIPTION</b>
00	01.26.2024	USE PERMIT SUBMISSION

SCALE: AS NOTED  
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 A321

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 9  
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**BUILDING ENVELOPE INSULATION (SEE ENERGY COMPLIANCE CODES 90.1 & 90.2) & KINGS**

WALLS - EXISTING R-0 (INSTALL R-15)  
 WALLS - NEW R-15  
 ATTIC - EXISTING R-11 (INSTALL MIN R-19)  
 ATTIC - NEW R-38  
 RAISED FLOOR - EXISTING R-0 (INSTALL MIN R-19)  
 RAISED FLOOR - NEW R-19



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**PROJECT TITLE:**  
 1035 RINGWOOD  
 ALTERATION &  
 ADDITION

**SHEET TITLE:**  
 SECTIONS

<b>NO.:</b>	<b>DESCRIPTION:</b>
00	01.26.2024 USE PERMIT SUBMISSION
<b>SCALE:</b> AS NOTED	
<b>PROJECT NUMBER:</b> 2306	
<b>DRAWING NUMBER:</b>	

**A331**

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