



William Maston
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July 25, 2024

City of Menlo Park
701 Laurel St.
Menlo Park, CA 94025

Re: 1055 Sherman Avenue

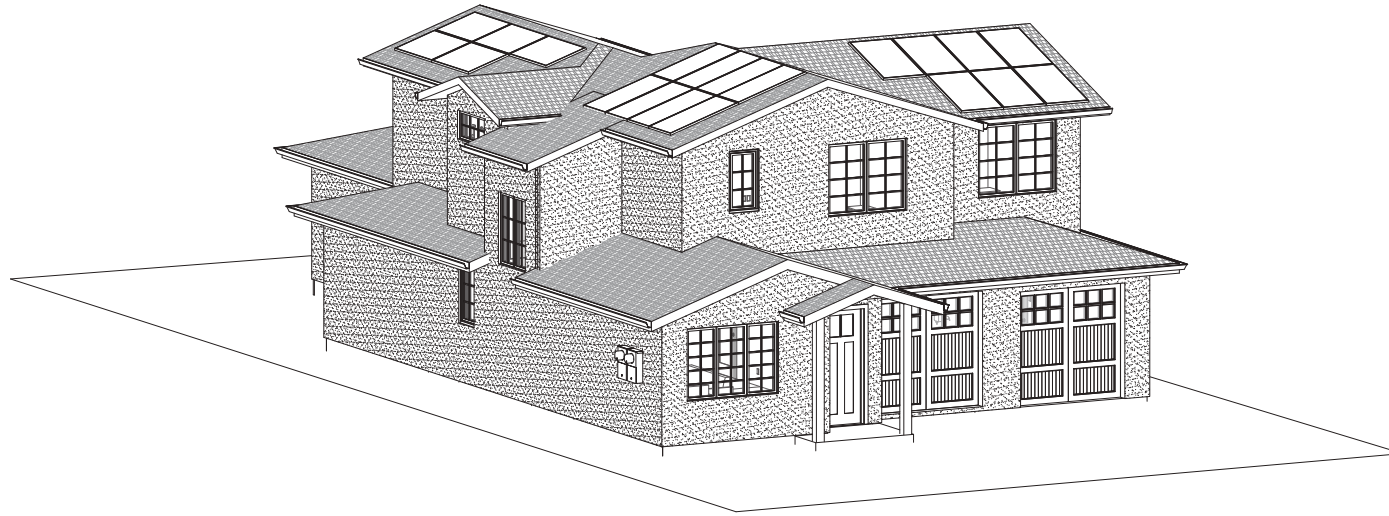
Project Overview

The proposed project at 1055 Sherman Avenue demolishes the existing residence and replaces it with a new 3 bedroom, 2 bath main residence with an attached 2 bedroom 2 bath ADU, and a 2-car garage. We believe that the style and the proportion of the residence is consistent with the adjoining properties in the neighborhood. Roof materials, siding, and general detailing were intended to complement adjacent residences. We are including a 2-car garage to make sure that we provide adequate parking. We look forward to further review by planning staff.

Bill Maston

Project Architect

RENDERING



PROJECT DATA

APN - 071-11-3030
PROPERTY OWNER - Ahmads Properties, LLC
 Mehran Jamale
ZONING DISTRICT - R-1-U (SINGLE FAMILY URBAN RESIDENTIAL)
OCCUPANCY GROUP - R-3
TYPE OF CONST. - V-B
EXISTING USE - R1 SINGLE FAMILY URBAN RESIDENTIAL
PROPOSED USE - R1 SINGLE FAMILY URBAN RESIDENTIAL
 W/ ADU
NUMBER OF STORIES - 2
CODE COMPLIANCE 2022 CALIFORNIA BUILDING CODE (CBC)
 2022 CALIFORNIA FIRE CODE (CFC)
 2022 CALIFORNIA ELECTRICAL CODE (CEC)
 2022 CALIFORNIA MECHANICAL CODE (CMC)
 2022 CALIFORNIA PLUMBING CODE (CPC)
 2022 CALIFORNIA GREEN BUILDING STANDARDS
 (CAL GREEN)
 (JURISDICTION) GREEN BUILDING CODE

ZONING

DESCRIPTION	EXISTING	ALLOWABLE	NEW
LOT AREA	5500 SF	-	5500SF
BUILDING COVERAGE	26% +/- (1468.08 SF +/-)	45% max. (2475SF)	25.8% (1422.69 SF) 45.9% W/ ADU (2595.31 SF)
SETBACKS:			
FRONT	24'-8"	20'-0"	20'-0"
REAR	-HOUSE 44'-1" -ADU N/A	20'-0" 4'-0"	36'-8 1/4" 13'-10 3/4"
SIDE	-LEFT 14'-1" -RIGHT 4'-11"	5'-0" 5'-0"	5'-0" 5'-0"
BLDG. HEIGHT	16'-5"+/-	28'-0" (MAX)	24'-11 1/2"
AREA			
FIRST FLOOR	1256 SF		912.87 SF
SECOND FLOOR	--SF	<1400	1048.54 SF
GARAGE	--SF		509.82 SF
HOUSE F.A.R.	1256 SF (25.12%)	2250 SF (45%)	2118.10 SF (42.36%)
ADU F.A.R.	--	800 SF (MIN.) 1206.67 (MAX)	1122.17 SF
TOTAL F.A.R.	1256 SF	3800SF	3593.40 SF (6.60 SF UNDER)
PARKING			
COVERED	2	2	2
UNCOVERED	2	2	2

FOR ADDITIONAL INFORMATION, SEE F.A.L. ANALYSIS ON SHEET A0.03

SCOPE OF WORK

1. THE DEMOLITION OF EXISTING 1 STORY RESIDENCE INCLUDING THE DETACHEED GARAGE AND CONSTRUCTION A NEW 2 STORY RESIDENCE WITH ATTACHED ADU.

FOR OFFICIAL USE ONLY

PROJECT TEAM

ARCHITECT
WILLIAM J. MASTON
 ARCHITECT & ASSOC.
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CIVIL / SURVEY
MISSION ENGINEERS, INC.
 2305 DE LA CRUZ BLVD
 SANTA CLARA CA 95050
CONTACT: DANIAL NUNES
 PH: 408-727-8262
 FAX: 408-727-8285
 E: mission@missionengineersinc.com

VICINITY MAP



ZONING MAP



Date	Rev.	#



SHERMAN PROJECT
 1055 SHERMAN AVE.
 MENLO PARK, CA 94025

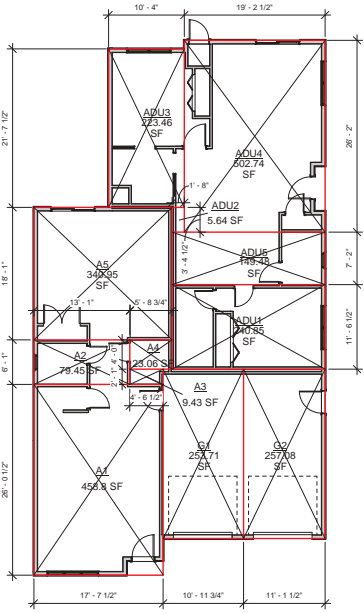
PROJECT DATA

Job: SHE 2024 002
 Date: 6/20/2022
 Checked By: Checker
 Drawn By: GP

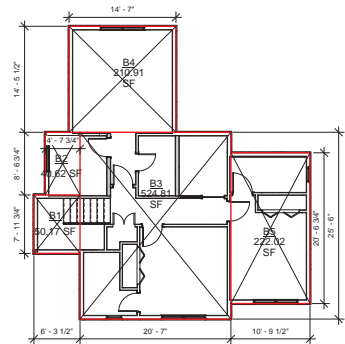
A0.01

Scale 12" = 1'-0"

	ABBREVIATIONS	DRAWING INDEX	SHEET NOTES
<p>ABREVIATIONS</p> <p>ACOUS. ACOUSTICAL AB. ANCHOR BOLT AD. AREA DRAIN ADJ. ADJUSTABLE AGGR. AGGREGATE AL. ALUMINUM ANGD. ANGED APPROX. APPROXIMATE ARCH. ARCHITECTURAL ASPH. ASPHALT BD. BOARD BLDG. BUILDING BLK. BLOCK BLKG. BLOCKING BM. BEAM BOT. BOTTOM B.P. BUILDING PAPER CAB. CABINET C.B. CATCH BASIN CEM. CEMENT CER. CERAMIC C.I. CAST IRON C.J. CONSTRUCTION JOINT CLG. CEILING CLKG. CAULKING CLR. CLEAR COL. COLUMN CONC. CONCRETE CONN. CONNECTION CONT. CONTINUOUS CORR. CORRIDOR C.D. CLEAN OUT CNTR. COUNTER CTR. CENTER DBL. DOUBLE DEPT. DEPARTMENT D.F. DRINKING FOUNTAIN DET. DETAIL DIA. DIAMETER DM. DIMENSION DISP. DISPENSER DN. DOWN DR. DOOR DR. DR. REINF. DWR. DRAWER D.S. DOWNSPOUT DWG. DRAWING E. EAST EA. EACH E.J. EXPANSION JOINT EL. ELEVATION ELEC. ELECTRICAL ELEV. ELEVATION EMER. EMERGENCY E.P. ELEC. PANELBOARD EQ. EQUAL EQPT. EQUIPMENT E.W.C. ELEC. WATER HEATER EXIST. / (E) EXISTING EXPO. EXPOSED EXP. EXPANSION EXT. EXTERIOR F.A. FIRE ALARM F.D. FLOOR DRAIN FDN. FOUNDATION F.E. FIRE EXTINGUISHER F.E.C. FIRE EXISTING CABINET F.H.C. FIRE HOSE CABINET FN. / (F) FINISH FL. FLOOR FLASH. FLASHING FLUOR. FLUORESCENT F.O.F. FACE OF FINISH F.O.S. FACE OF STUDS FRF. FIREPROOF FT. FOOT / FEET FTG. FOOTING FURR. FURRING GA. GAUGE GALV. GALVANIZED G.I. GALVANIZED IRON G.B. GRAB BAR GL. GLASS GR. GRADE GSM. GALVANIZED SHEET METAL GWB. GYPSUM WALLBOARD H.B. HOSE BIBB H.C. HOLLOW CORE HDWD. HARDWOOD HDR. HEADER H.M. HOLLOW METAL HORIZ. HORIZONTAL HR. HOUR HT. HEIGHT I.D. INSIDE DIAMETER INSUL. INSULATION INT. INTERIOR JAN. JANITOR JT. JOINT KIT. KITCHEN LAB. LABORATORY LAM. LAMINATE LAV. LAVATORY</p>	<p>ABBREVIATIONS</p> <p>LT. LIGHT LT.WT. LIGHTWEIGHT MAX. MAXIMUM MB. MACHINE BOLT M.C. MEDICINE CABINET MECH. MECHANICAL MEMB. MEMBRANE MET. METAL MFR. MANUFACTURER M.H. MANHOLE MIN. MINIMUM MR. MIRROR MISC. MISCELLANEOUS MTD. MOUNTED MUL. MULLION N. NORTH N.I.C. NOT IN CONTRACT NO. / # NUMBER NOM. NOMINAL N.T.S. NOT TO SCALE OJ. OVER OBS. OBSOLETE O.C. ON CENTER O.D. OUTSIDE DIAMETER OFF. OFFICE OP. OPPOSITE PL. PLATE P.LAM. PLASTIC LAMINATE PLAS. PLASTER PW. PLYWOOD PR. PAIR PSF. POUNDS PER SQ. FOOT PSI. POUNDS PER SQ. INCH PT. POINT P.T.D. PAPER TOWEL DISPENSER PTN. PARTITION P.T.R. PAPER TOWEL RECEPTACLE RAD. RADIUS RD. ROOF DRAIN MB. MACHINE BOLT M.C. MEDICINE CABINET REF. REFRIGERATOR REINF. REINFORCED REQ. REQUIRED RESL. RESILIENT RM. ROOM R.O. ROUGH OPENING RWD. REDWOOD R.W.L. RAIN WATER LEADER S. SOUTH S.B. SOLID BLOCKING S.C. SOLID CORE S.C.D. SEAT COVER DISP. SCHED. SCHEDULE S.D. SOAP DISPENSER SECT. SECT. SHT. SHEET SIM. SIMILAR S.N.D. SANITARY NAPKIN DISPENSER S.N.R. SANITARY NAPKIN RECEPT. SPEC. SPECIFICATION SQ. SQUARE STD. STANDARD STL. STEEL STOR. STORAGE STRL. STRUCTURAL SUSP. SUSPENDED T.O. TOP OF T.B. TOWEL BAR T.B.N. TYP. BOUNDARY NAILING T.B.S. TO BE SELECTED T.C. TOP OF CURB TEL. TELEPHONE T.E.N. TYP. EDGE NAILING TAG. TONGUE AND GROOVE THK. THICK T.O.P. TOP OF PAVEMENT T.P.D. TOILET PAPER DISPENSER T.V. TELEVISION T.W. TOP OF WALL TYP. TYPICAL U.N.O. UNLESS NOTED OTHERWISE VERT. VERTICAL VEST. VESTIBULE W. WEST W. WITH W.C. WATER CLOSET W.D. WOOD W.H. WATER HEATER W/O. WITHOUT WP. WATERPROOF W.SCT. WAINSCOT WT. WEIGHT W.W.M. WELDED WIRE MESH & AND L. ANGLE AT. AT CL. CENTERLINE (E) EXISTING (N) NEW</p>	<p>DRAWING INDEX</p> <p>ARCHITECTURAL A0.01 PROJECT DATA A0.02 SHEET INDEX & NOTES A0.03 F.A.L. ANALYSIS, (E) & (N) IMPURVIOUS CALCS AND MENLO PARK DATA SHEET A0.04 EXTERIOR PERSPECTIVES</p> <p>CIVIL SU1 EXISTING SURVEY</p> <p>ARCHITECTURAL A1.01 EXISTING/ DEMOLITION SITE PLAN A1.02 (N) SITE PLAN & AREA PLAN A2.01 (E) FLOOR PLAN A2.02 (N) 1ST FLOOR PLAN A2.03 (N) 2ND FLOOR PLAN A2.04 (N) ROOF PLAN A3.01 (E) FRONT & LEFT EXTERIOR ELEVATIONS A3.02 (E) REAR & RIGHT EXTERIOR ELEVATIONS A3.03 (N) FRONT & LEFT EXTERIOR ELEVATIONS A3.04 (N) REAR & RIGHT EXTERIOR ELEVATIONS A3.05 (E) & (N) STREETSCAPES A4.01 BUILDING SECTIONS A4.02 BUILDING SECTIONS</p>	<p>SHEET NOTES</p> <ol style="list-style-type: none"> SEE SITE PLAN SHEET A1.01 FOR MORE INFORMATION. SEE SHEET A0.02 FOR SYMBOL KEY. SEE GENERAL NOTES ON SHEET A0.04 FOR ADDITIONAL INFORMATION. SEE SHEET A0.03 FOR AREA CALCULATIONS AND TOTALS SEE SHEETS A0.01 & A2.02 FOR FLOOR PLANS. SEE SHEET A2.03 FOR ROOF PLAN. SEE SHEETS A3.01 & A3.02 FOR EXTERIOR ELEVATIONS. SEE SHEETS A4.01 & A4.02 FOR SECTIONS. SEE ARBORIST REPORT FOR TREE PROTECTION MEASURES BEFORE DURING AND AFTER CONSTRUCTION. SEE STRUCTURAL SHEETS FOR MORE INFORMATION. SEE TITLE 24 FOR MORE INFORMATION. SEE SOILS REPORT FOR MORE INFORMATION. SEE SHEET A4.01 FOR WINDOW & DOOR SCHEDULES AND NOTES. SEE SHEETS E2.01 & E2.02 FOR ALL ELECTRICAL & LIGHTING INFORMATION. SEE SHEETS M2.01 FOR MECHANICAL INFORMATION. SEE MECHANICAL PLANS FOR THE WATER AND HEATING LOCATIONS AND FOR REFLECTED CEILING PLANS. ALL EXTERIOR WALLS SHALL BE 2 X 6. ALL PLUMBING WALLS SHALL BE 2 X 6. DIMENSIONS ARE TAKEN FROM FACE OF STUDS
			<p>SYMBOL LEGEND</p> <p>WALL </p> <p>DETAIL </p> <p>CENTERLINE </p> <p>FLOOR CHANGE </p> <p>WINDOW </p> <p>DOOR </p> <p>REVISION </p> <p>ELEVATION </p> <p>ROOM/ AREA </p> <p>ELEVATION LEVEL </p> <p>SECTION </p> <p>NORTH ARROW </p> <p>EARTH </p> <p>GRAVEL </p> <p>PLYWOOD </p> <p>BATT INSULATION </p> <p>2X6 EXTERIOR STUD WALL </p> <p>2X4 INTERIOR WALL </p> <p>2X6 WOOD STUD PLUMBING </p> <p>Room name: 101</p> <p>Name Elevation: 101</p>
			<p>William Mazon Architect & Associates 1015 SHERMAN AVE. MENLO PARK, CA 94025</p> <p>SHERMAN PROJECT 1055 SHERMAN AVE. MENLO PARK, CA 94025</p> <p>SHEET INDEX & NOTES</p> <p>Job: SHE 2024 002 Date: 6/20/2022 Checked By: Checker Drawn By: GP</p> <p>A0.02</p> <p>Scale: As indicated</p>



1ST FLOOR F.A.L. DIAGRAM 1/8" = 1'-0" 2



2ND FLOOR F.A.L. DIAGRAM 1/8" = 1'-0" 1

FAL AREA SCHEDULE

Name	Area	Length	Width
BUILDING COVERAGES			
A1	458.8 SF	26'-0 1/2"	17'-5 1/2"
A2	79.45 SF	6'-1"	13'-1"
A3	9.43 SF	2'-1"	4'-6 1/2"
A4	23.06 SF	4'-0"	5'-8 3/4"
A5	340.95 SF	18'-1"	17'-5 1/2"
ADU1	240.85 SF	11'-5 1/2"	20'-10 1/2"
ADU2	5.64 SF	3'-4 1/2"	1'-8"
ADU3	223.46 SF	21'-7 1/2"	10'-4"
ADU4	552.74 SF	26'-2"	19'-2 1/2"
ADU5	149.49 SF	7'-2"	20'-10 1/2"
G1	253.71 SF	23'-1 1/4"	10'-11 3/4"
G2	257.09 SF	23'-1 1/4"	11'-1 1/2"
1ST FLOOR	2544.63 SF		
2ND FLOOR	1048.53 SF		
BUILDING COVERAGES			
B1	55.17 SF	7'-11 3/4"	6'-3 1/2"
B2	49.62 SF	8'-6 3/4"	4'-9"
B3	524.81 SF	26'-6"	20'-7"
B4	210.91 SF	14'-5 1/2"	14'-7"
B5	222.02 SF	10'-9 1/2"	20'-6 3/4"
2ND FLOOR	1048.53 SF		

(E) IMPURVIOUS SURFACE SCHEDULE

Name	Area
(E) DECK	111.48 SF
(E) DRIVEWAY	672.6 SF
(E) GARAGE	245.45 SF
(E) HOUSE	1222.83 SF
(E) PATIO	242.85 SF
TOTAL (E)	2495.01 SF

(N) IMPURVIOUS SURFACE SCHEDULE

Name	Area
DRIVEWAY	616.24 SF
ENTRY	27.97 SF
FULL BUILDING	2525.31 SF
PATIO 1	50.94 SF
PATIO 2	232.26 SF
WALKWAY	251.04 SF
TOTAL (N)	3703.77 SF

IMPUVIOUS SURFACE NOTES

- SQUARE FOOT CALCULATIONS FOR THE SITE PLANS WERE CREATED WITH REVIT SOFTWARE TO SIMPLY THE CALCULATIONS DUE TO THE IRREGULAR SHAPES OF THE AREAS.

GENERAL SHEET NOTES

- SEE SITE PLAN SHEET A1.01 FOR MORE INFORMATION.
- SEE SHEET A2.02 FOR SYMBOL KEY.
- SEE GENERAL NOTES ON SHEET A0.04 FOR ADDITIONAL INFORMATION.
- SEE SHEET A0.03 FOR AREA CALCULATIONS AND TOTALS.
- SEE SHEETS A0.01 & A0.02 FOR FLOOR PLANS.
- SEE SHEET A2.03 FOR ROOF PLAN.
- SEE SHEETS A0.01 & A0.02 FOR EXTERIOR ELEVATIONS.
- SEE SHEETS A4.01 & A4.02 FOR SECTIONS.
- SEE ARBORIST REPORT FOR TREE PROTECTION MEASURES BEFORE, DURING AND AFTER CONSTRUCTION.
- SEE STRUCTURAL SHEETS FOR MORE INFORMATION.
- SEE TITLE 24 FOR MORE INFORMATION.
- SEE SOILS REPORT FOR MORE INFORMATION.
- SEE SHEET A1.01 FOR WINDOW & DOOR SCHEDULES AND NOTES.
- SEE SHEETS E2.01 & E2.02 FOR ALL ELECTRICAL & LIGHTING INFORMATION.
- SEE SHEETS M0.01 FOR MECHANICAL INFORMATION.
- SEE MECHANICAL PLANS FOR THE WATER AND HEATING LOCATIONS AND FOR REFLECTED CEILING PLANS.
- ALL EXTERIOR WALLS SHALL BE 2 X 6. ALL PLUMBING WALLS SHALL BE 2 X 6.
- DIMENSIONS ARE TAKEN FROM FACE OF STUDS.

AREA CALCULATION SUMMARY

TOTAL LOT AREA = 5500 SF
 BUILDING COVERAGE = 35% OF LOT + 800 SQ. FT. ADU ALLOWANCE
 0.35 x 5500 + 800 + 800 = 2725 SQ FT. MAX
 PROPOSED COVERAGE 2546.39 < 2725

FAL (FLOOR AREA LIMIT, (NOT INCLUDING ADU) = 2800 SQ. FT.
 (1400 SQ. FT. FOR 2ND FLOOR)

FLOOR AREA LIMIT (INCLUDING ADU) = 2800 + 800 = 3600 SQ. FT. MAX
 ADU SIZE LIMIT 1000 SQ FT. OR 50% OF HOUSE (WHICHEVER IS GREATER) =
 5,241.34 = 1006.67 ADU MAX

FLOOR AREA TOTALS

HOUSE

1ST FLOOR	A1	459.89
	A2	79.45
	A3	340.95
	A4	23.06
	A5	9.32
	G1	262.74
	G2	257.08
SUBTOTAL		1422.89

2ND FLOOR

	B1	50.17
	B2	49.62
	B3	524.81
	B4	210.91
	B5	222.03
SUBTOTAL		1048.54 < 1400

TOTAL HOUSE 2471.23

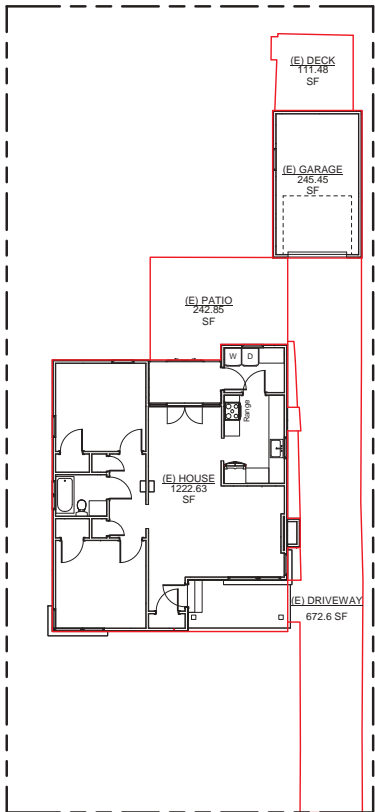
ADU

ADU1	223.46
ADU2	602.74
ADU3	149.48
ADU4	240.85
ADU5	5.64
SUBTOTAL	1122.17 < 1206.67

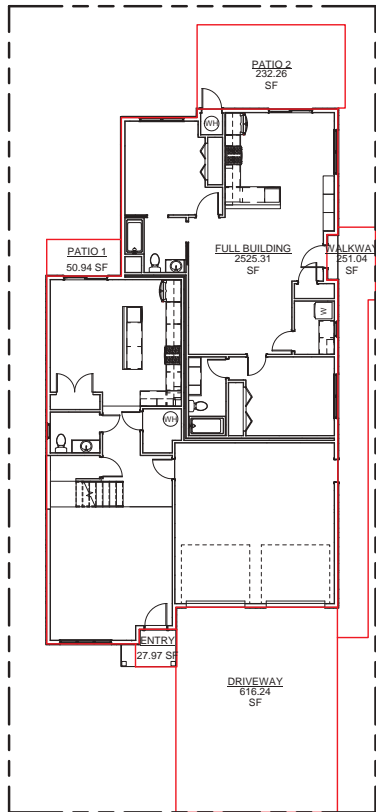
TOTAL FAL (INCLUDING ADU)

1ST FLOOR	1422.89
2ND FLOOR	1048.54
ADU	1122.17
TOTAL	3593.40 < 3600

PARKING TOTALS
 PROVIDED = 4 SPACES (2 COVERED)
 REQUIRED = 2 SPACES



(E) IMPURVIOUS SURFACE DIAGRAM 1/8" = 1'-0" 3



(N) IMPURVIOUS SURFACE DIAGRAM 1/8" = 1'-0" 4

COMMUNITY DEVELOPMENT DEPARTMENT
 PLANNING DIVISION
 705 Laurel Street
 Menlo Park, CA 94025
 Phone: (650) 325-5172
 Fax: (650) 321-7633
 (www.ci.menlopark.ca.us)
 (www.ci.menlopark.us)

DATA SHEET

LOCATION	1055 SHERMAN AVE.
EXISTING USE	SINGLE FAMILY RESIDENCE
PROPOSED USE	SINGLE FAMILY RESIDENCE
OWNER	PREMIERE DEVELOPER, INC.
APPLICANT	PREMIERE DEVELOPER, INC.
APPLICATIONS	USE PERMIT

DEVELOPMENT STANDARD	PROPOSED PROJECT	EXISTING DEVELOPMENT	COMPLY OR VARIANCE
1. LOT AREA	5500 SF	5500 SF	COMPLY
2. FRONT YARD SETBACK	10 FT	10 FT	COMPLY
3. SIDE YARD SETBACK	5 FT	5 FT	COMPLY
4. REAR YARD SETBACK	5 FT	5 FT	COMPLY
5. MAXIMUM BUILDING HEIGHT	16 FT	16 FT	COMPLY
6. MAXIMUM LOT COVERAGE	35%	35%	COMPLY
7. MAXIMUM FLOOR AREA	3600 SF	3593 SF	COMPLY
8. MAXIMUM NUMBER OF UNITS	1	1	COMPLY
9. MAXIMUM GROUND COVER	35%	35%	COMPLY
10. MAXIMUM LOT AREA	5500 SF	5500 SF	COMPLY
11. MAXIMUM BUILDING HEIGHT	16 FT	16 FT	COMPLY
12. MAXIMUM LOT COVERAGE	35%	35%	COMPLY
13. MAXIMUM FLOOR AREA	3600 SF	3593 SF	COMPLY
14. MAXIMUM NUMBER OF UNITS	1	1	COMPLY
15. MAXIMUM GROUND COVER	35%	35%	COMPLY

William Maxton Architect & Associates

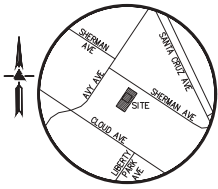
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SHERMAN PROJECT
 1055 SHERMAN AVE.
 MENLO PARK, CA 94025

F.A.L. ANALYSIS (E) & (N)
 IMPURVIOUS CALCS AND
 MENLO PARK DATA
 SHEET

Job: SHE 2024 002
 Date: 6/20/2022
 Checked By: Checker
 Drawn By: GP

A0.03
 Scale 1/8" = 1'-0"



VICINITY MAP
NO SCALE

FEMA FLOOD NOTE

PROPERTY COMPLETELY OUT OF SPECIAL FLOOD HAZARD AREA (SFHA)
FLOOD INSURANCE RATE MAP No.: 060810032E
EFFECTIVE DATE: OCTOBER 16, 2012

EASEMENT NOTE

THERE ARE NO EASEMENTS LISTED IN TITLE REPORT ISSUED BY WFG NATIONAL TITLE INSURANCE COMPANY, ORDER NO.: 23-136246, DATED MAY 17, 2023.

BASIS OF BEARINGS

THE BEARING NORTH 58°24'30" WEST OF THE CENTERLINE OF SHERMAN AVENUE AS SHOWN ON RECORD OF SURVEY NO. 2440 FILED IN BOOK 38 OF LLS MAPS AT PAGES 68, SAN MATEO COUNTY RECORDS WAS USED AS THE BASIS FOR ALL BEARINGS SHOWN ON THIS SURVEY.

TREE NOTE

TREE SIZE, TYPE AND DRUPLINES ARE BASED ON A VISUAL OBSERVATION. FINAL DETERMINATION SHOULD BE MADE BY THE PROJECT ARBORIST.

NOTES

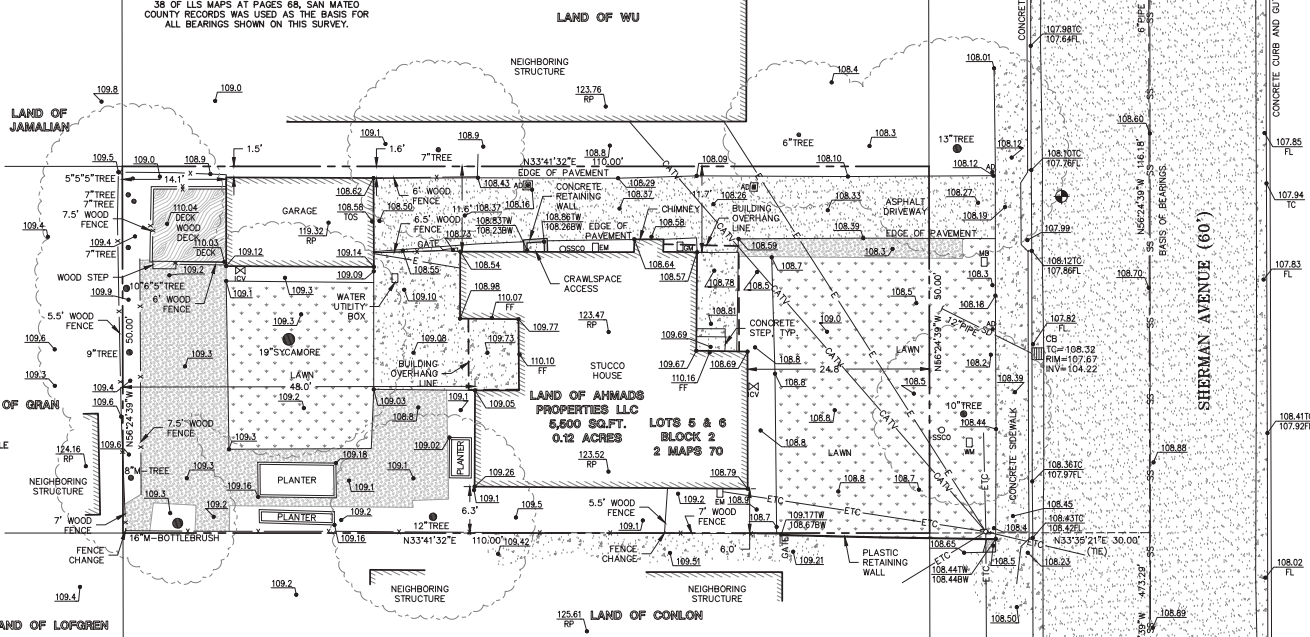
ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.
BUILDING FOOTPRINTS ARE SHOWN TO FINISHED MATERIAL (STUCCO/SHING)
AT GROUND LEVEL.
FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLD (EXTERIOR).
THE AREA OF THE SURVEYED LOT IS 5,500± SQUARE FEET / 0.12± ACRES

UTILITY NOTE

ALL UNDERGROUND PIPE TYPES, SIZES AND LOCATION SHOWN ON THIS SURVEY ARE BASED ON VISUAL OBSERVATION. ANY USE OF THIS INFORMATION SHOULD BE VERIFIED BEFORE ITS USE, WITH THE CONTROLLING MUNICIPALITY OR UTILITY PROVIDER. THIS SURVEY MAKES NO GUARANTEE OF THE INSTALLED ACTUAL LOCATION, DEPTHS OR SIZE.

LEGEND AND NOTES

- BOUNDARY LINE
- - - BUILDING OVERHANG LINE
- ETC ELECTRICAL/TELEPHONE/CABLE TV OVERHEAD LINE
- CATV CABLE TV OVERHEAD LINE
- E ELECTRICAL OVERHEAD LINE
- DECK OVERHEAD LINE
- x- FENCE LINE
- SS SANITARY SEWER LINE
- BENCHMARK
- ⊙ BW BOTTOM RETAINING WALL
- ⊙ CB CATCH BASIN
- ⊙ EM ELECTRICAL METER
- ⊙ FL FINISH FLOOR
- ⊙ FF FIRE HYDRANT
- ⊙ FL GAS LINE
- ⊙ GM GAS METER
- ⊙ INV INVERT
- ⊙ ICV IRRIGATION CONTROL VALVE
- ⊙ JOINT POLE
- ⊙ M MULTI-TRUNK TREE
- ⊙ MB MAIL BOX
- ⊙ RP ROOF PEAK
- ⊙ SSCO SANITARY SEWER CLEAN-OUT
- ⊙ SSMH SANITARY SEWER MAINTENANCE HOLE
- ⊙ TC TOP OF CURB
- ⊙ TOS TOP OF SLAB
- ⊙ TW TOP OF RETAINING WALL
- ⊙ VLT UTILITY VAULT
- ⊙ WM WATER METER
- ⊙ WV WATER VALVE
- ⊙ XXXX SPOTGRADE
- ASPHALT
- CONCRETE
- GRAVEL
- LAWN
- RIVER ROCK
- WOOD



BENCHMARK

CITY OF MENLO PARK BENCHMARK 5
BRASS DISC SET IN TOP OF CURB, STAMPED
"CITY BENCHMARK 5"
AT INTERSECTION OF SHARON PARK DRIVE
AND MONTE ROSA DRIVE
AT THE BACK OF THE RAMP AT THE
SOUTHWESTERLY CURB RETURN
ELEVATION = 235.56'
(NAVD 88 DATUM)

SITE BENCHMARK

SURVEY CONTROL POINT
MAG AND SHINER SET IN ASPHALT
ELEVATION = 108.09'
(NAVD 88 DATUM)

SURVEYOR'S STATEMENT

I CERTIFY THAT THIS PARCEL'S BOUNDARY WAS ESTABLISHED BY ME OR UNDER MY SUPERVISION AND IS BASED ON A FIELD SURVEY IN CONFORMANCE WITH THE LAND SURVEYOR'S ACT. ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

GREGORY F. BRAZE DATE
L.S. NO. 7623

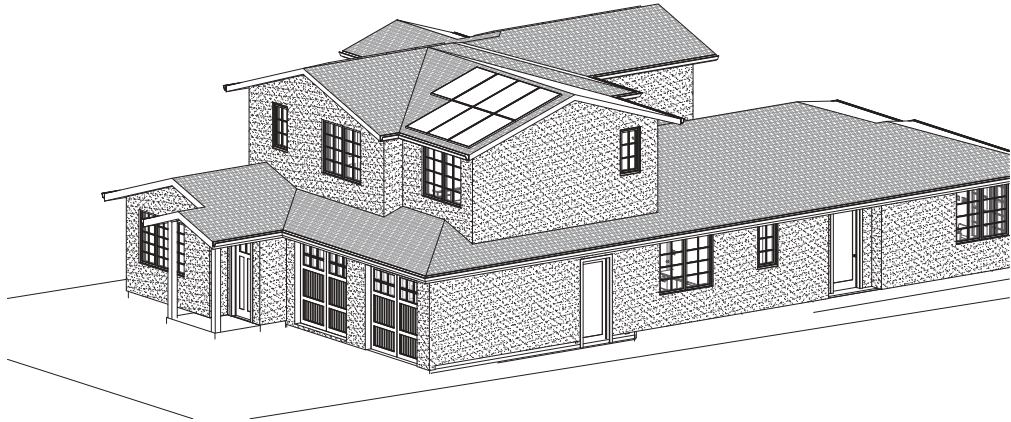


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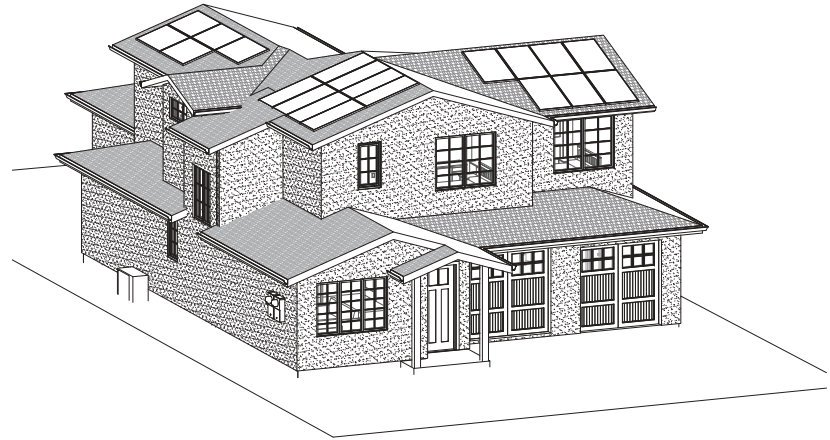
BOUNDARY AND
TOPOGRAPHIC SURVEY

REVISIONS	BY
JOB NO:	2240363
DATE:	4-15-24
SCALE:	1" = 8'
BNDY BY:	MT
FIELD BY:	AD
DRAWN BY:	JP
SHEET NO:	



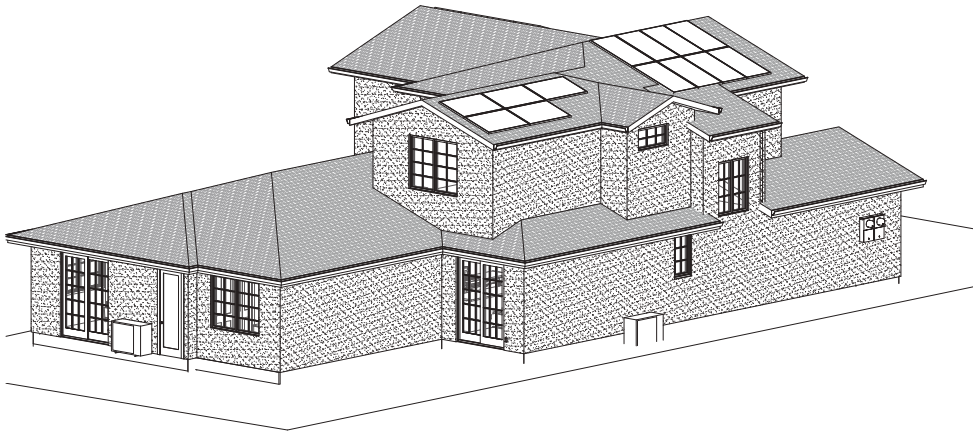
3D VIEW 03

3



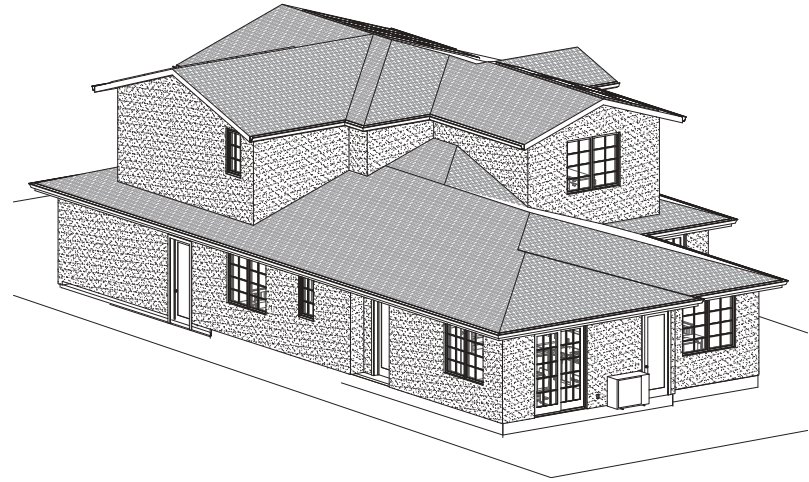
3D VIEW 01

1



3D VIEW 04

4



3D VIEW 02

2

#	Rev.	Date

William Mazton
Architect & Associates
10150 Wilshire Blvd., Suite 1000
Beverly Hills, CA 90210
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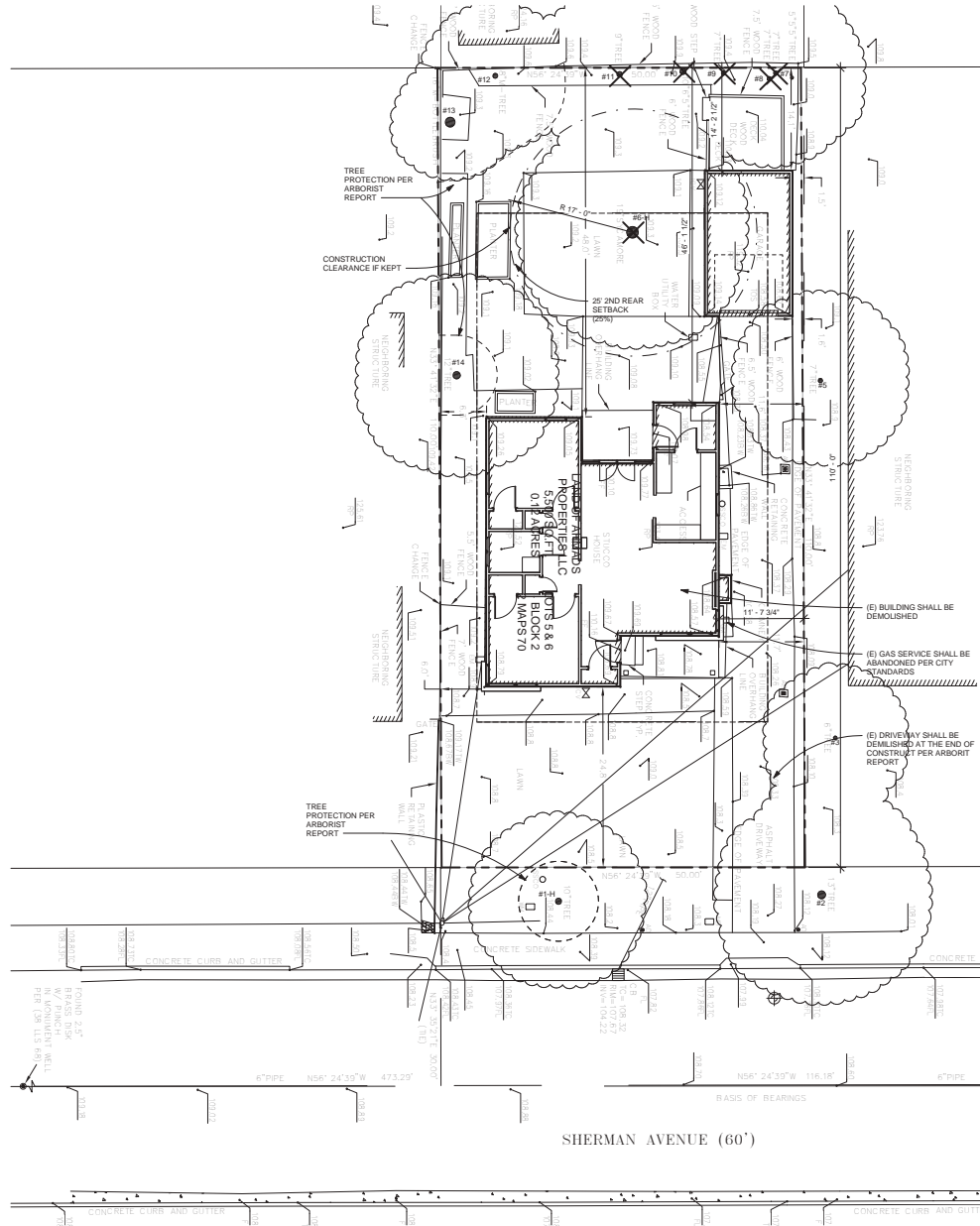
SHERMAN PROJECT
1055 SHERMAN AVE.
MENLO PARK, CA 94025

EXTERIOR PERSPECTIVES

Job: SHE 2024 002
Date: 6/20/2022
Checked By: Checker
Drawn By: GP

A0.04

Scale



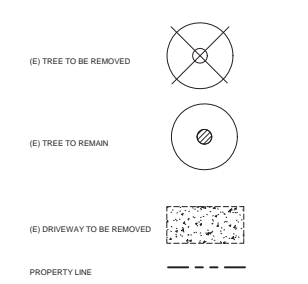
SHEET NOTES

1. SEE SITE PLAN SHEET A1.01 FOR MORE INFORMATION.
2. SEE SHEET A2.02 FOR SYMBOL KEY.
3. SEE GENERAL NOTES ON SHEET A0.04 FOR ADDITIONAL INFORMATION.
4. SEE SHEET A0.03 FOR AREA CALCULATIONS AND TOTALS
5. SEE SHEETS E2.01 & E2.02 FOR FLOOR PLANS.
6. SEE SHEET A2.03 FOR ROOF PLAN.
7. SEE SHEETS E2.01 & E2.02 FOR EXTERIOR ELEVATIONS.
8. SEE SHEETS A4.01 & 4.02 FOR SECTIONS.
9. SEE ARBORIST REPORT FOR TREE PROTECTION MEASURES BEFORE, DURING AND AFTER CONSTRUCTION.
10. SEE STRUCTURAL SHEETS FOR MORE INFORMATION.
11. SEE TITLE 24 FOR MORE INFORMATION.
12. SEE SOILS REPORT FOR MORE INFORMATION.
13. SEE SHEET A1.01 FOR WINDOW & DOOR SCHEDULES AND NOTES.
14. SEE SHEETS E2.01 & E2.02 FOR ALL ELECTRICAL & LIGHTING INFORMATION.
15. SEE SHEETS M2.01 FOR MECHANICAL INFORMATION.
16. SEE MECHANICAL PLANS FOR THE WATER AND HEATING LOCATIONS AND FOR REFLECTED CEILING PLANS.
17. ALL EXTERIOR WALLS SHALL BE 2 X 6. ALL PLUMBING WALLS SHALL BE 2 X 6.
18. DIMENSIONS ARE TAKEN FROM FACE OF STUDS

SITE PLAN NOTES

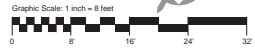
1. TREE QUANTITIES, SPECIES AND LOCATION SHALL BE DETERMINED DURING THE BIDDING PROCESS. TOTAL AMOUNT OF REPLACEMENT TREE VALUE SHALL MEET OR EXCEED THE REPLACEMENT VALUE NOTED IN THE ARBORIST REPORT.

DEMO LEGEND



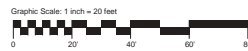
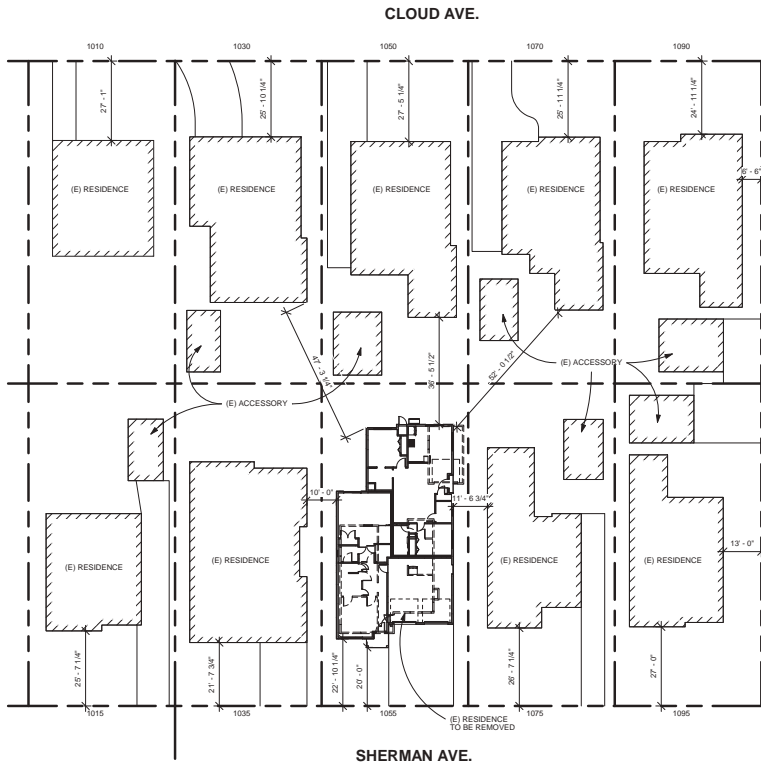
TREE PROTECTION NOTES

1. PROTECTIVE FENCING IS REQUIRED TO BE PROVIDED DURING THE CONSTRUCTION PERIOD TO PROTECT TREES TO BE PRESERVED. THIS FENCING MUST PROTECT A SUFFICIENT PORTION OF THE ROOT ZONE TO BE EFFECTIVE. IN MOST CASES, IT WOULD BE ESSENTIAL TO LOCATE THE FENCING A MINIMUM RADIIUS DISTANCE OF 6 TIMES THE TRUNK DIAMETER IN ALL DIRECTIONS FROM THE TRUNK.
 - A. CONSIST OF CHAIN LINK FENCING AND HAVING A MINIMUM HEIGHT OF 4 FEET.
 - B. BE MOUNTED ON STEEL POSTS DRIVEN APPROXIMATELY 2 FEET INTO THE SOIL.
 - C. ENTIAL FENCING POSTS LOCATED A MAXIMUM OF 10 FEET ON CENTER.
 - D. BE INSTALLED PRIOR TO THE ARRIVAL OF MATERIALS, VEHICLES, OR EQUIPMENT.
 - E. NOT BE MOVED, EVEN TEMPORARILY, AND MUST REMAIN IN PLACE UNTIL ALL CONSTRUCTION IS COMPLETED, UNLESS APPROVED BY A CERTIFIED ARBORIST.
2. INCLUDE TREE PROTECTION SIGNAGE MOUNTED TO ALL INDIVIDUAL TREE PROTECTION FENCES.
3. MULCH SHOULD COVER ALL BARE SOILS. THIS MATERIAL MUST BE 6-8 INCHES IN DEPTH AFTER SPREADING, WHICH MUST BE DONE BY HAND. WE PREFER COURSE WOOD CHIPS BECAUSE THEY ARE ORGANIC, AND DECOMPOSE NATURALLY OVER TIME.
4. LOOSE SOIL AND MULCH MUST NOT BE ALLOWED TO SLIDE DOWN SLOPE TO COVER THE ROOT ZONES OR THE ROOT COLLARS OF PROTECTED TREES.
5. MATERIALS MUST NOT BE STORED, STOCKPILED, DUMPED, OR BURIED INSIDE THE DRIP LINES OF PROTECTED TREES.
6. THERE MUST BE NO GRADING, TRENCHING, OR SURFACE SCRAPING INSIDE THE DRIP LINES OF PROTECTED TREES, UNLESS SPECIFICALLY APPROVED BY A CERTIFIED ARBORIST.
7. TRENCHES FOR ANY UNDERGROUND UTILITIES (GAS, ELECTRICITY, WATER, PHONE, TV CABLE, ETC.) MUST BE LOCATED OUTSIDE THE DRIP LINES OF PROTECTED TREES, UNLESS APPROVED BY A CERTIFIED ARBORIST. ALTERNATIVE METHODS OF INSTALLATION MAY BE SUGGESTED.
8. ANY ROOTS EXPOSED DURING CONSTRUCTION ACTIVITIES THAT ARE LARGER THAN 2 INCHES IN DIAMETER SHOULD NOT BE CUT OR DAMAGED UNTIL THE PROJECT ARBORIST HAS AN OPPORTUNITY TO ASSESS THE IMPACT THAT REMOVING THESE ROOTS COULD HAVE ON THE TREES.
9. A CERTIFIED ARBORIST SHOULD SUPERVISE ANY EXCAVATION ACTIVITIES WITHIN THE TREE PROTECTION ZONE OF THESE TREES.
10. EXCAVATED SOIL MUST NOT BE PILED OR DUMPED, EVEN TEMPORARILY, INSIDE THE DRIP LINES OF PROTECTED TREES.
11. ANY PRUNING MUST BE DONE BY A COMPANY WITH AN ARBORIST CERTIFIED BY THE ISA (INTERNATIONAL SOCIETY OF ARBORICULTURE) AND ACCORDING TO ISA, WESTERN CHAPTER STANDARDS, 1998.
12. REPAIR OF EXISTING, OR ANY FUTURE, LANDSCAPE IRRIGATION TRENCHES MUST BE A MINIMUM DISTANCE OF 10 TIMES THE TRUNK DIAMETER FROM THE TRUNKS OF PROTECTED TREES UNLESS OTHERWISE NOTED AND APPROVED BY THE ARBORIST.
13. REPAIR OF EXISTING, OR ANY FUTURE, LANDSCAPE IRRIGATION TRENCHES MUST BE DESIGNED TO AVOID WATER STRIKING THE TRUNKS OF TREES, ESPECIALLY OAK TREES.
14. LANDSCAPE MATERIALS (COBBLES, DECORATIVE BARK, STONES, FENCING, ETC.) MUST NOT BE INSTALLED DIRECTLY IN CONTACT WITH THE BARK OF TREES BECAUSE OF THE RISK OF SERIOUS DISEASE INFECTION.
15. ANY PLANTS THAT ARE PLANTED INSIDE THE DRIP LINES OF OAK TREES MUST BE OF SPECIES THAT ARE COMPATIBLE WITH THE ENVIRONMENTAL AND CULTURAL REQUIREMENTS OF OAK TREES. A PUBLICATION DETAILING PLANTS COMPATIBLE WITH CALIFORNIA NATIVE OAKS CAN BE OBTAINED FROM THE CALIFORNIA OAK FOUNDATIONS' 1991 PUBLICATION "COMPATIBLE PLANTS UNDER & AROUND OAKS" DETAILS PLANTS COMPATIBLE WITH CALIFORNIA NATIVE OAKS AND IS CURRENTLY AVAILABLE ONLINE AT: [HTTP://WWW.CALIFORNIAOAKS.ORG/EXT/ASSETS/COMPATIBLEPLANT_SUNDERAROUNDOKS.PDF](http://www.californiaoaks.org/ext/assets/compatibleplant_sunderaroundoaks.pdf)



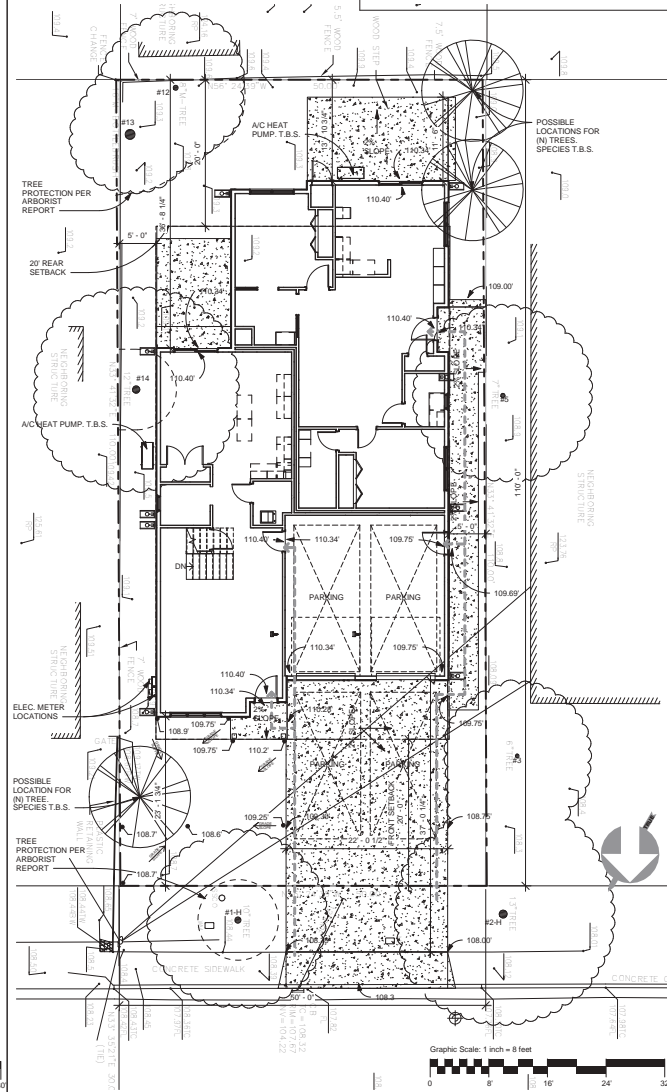
EXISTING/DEMO SITE PLAN 1/8" = 1'-0" 1

<p>William Maston Architect & Associates 1055 SHERMAN AVE. MENLO PARK, CA 94025</p>	<p>DATE</p> <p>REV.</p> <p>#</p>
<p>SHERMAN PROJECT</p> <p>1055 SHERMAN AVE. MENLO PARK, CA 94025</p>	<p>DATE</p> <p>REV.</p> <p>#</p>
<p>EXISTING/DEMOLITION SITE PLAN</p>	<p>DATE</p> <p>REV.</p> <p>#</p>
<p>Job: SHE 2024 002</p> <p>Date: 6/20/2022</p> <p>Checked By: Checker</p> <p>Drawn By: GP</p>	<p>DATE</p> <p>REV.</p> <p>#</p>
<p>A1.01</p>	<p>DATE</p> <p>REV.</p> <p>#</p>
<p>Scale 1/8" = 1'-0"</p>	<p>DATE</p> <p>REV.</p> <p>#</p>



AREA PLAN 1" = 20'-0" 2

AVY AVE.



NEW SITE PLAN 1/8" = 1'-0" 1

GENERAL SHEET NOTES

1. SEE SITE PLAN SHEET A1.01 FOR MORE INFORMATION.
2. SEE SHEET A0.02 FOR SYMBOL KEY.
3. SEE GENERAL NOTES ON SHEET A0.04 FOR ADDITIONAL INFORMATION.
4. SEE SHEET A0.03 FOR AREA CALCULATIONS AND TOTALS
5. SEE SHEETS E2.01 & E2.02 FOR FLOOR PLANS.
6. SEE SHEET A2.03 FOR ROOF PLAN.
7. SEE SHEETS E2.01 & E2.02 FOR EXTERIOR ELEVATIONS.
8. SEE SHEETS A4.01 & 4.02 FOR SECTIONS.
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15. SEE SHEETS M2.01 FOR MECHANICAL INFORMATION.
16. SEE MECHANICAL PLANS FOR THE WATER AND HEATING LOCATIONS AND FOR REFLECTED CEILING PLANS.
17. ALL EXTERIOR WALLS SHALL BE 2 X 6. ALL PLUMBING WALLS SHALL BE 2 X 6.
18. DIMENSIONS ARE TAKEN FROM FACE OF STUDS

SITE PLAN NOTES

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KEYNOTES

SITE PLAN LEGEND

- SPOT ELEVATION 00.00
- PROPERTY LINE - REFERENCE CIVIL
- ASSUMED PROPERTY LINE
- SETBACK LINE - REFERENCE CIVIL
- 1 HR FIRE RATED WALL
- ACCESSIBLE PATH TO BUILDING
- (E) TREE TO REMAIN
- A.C. UNIT
- WATER METER
- GAS METERS
- FIRE HYDRANT
- ELECTRIC METER
- AREA DRAIN
- REDUCED PRESSURE BACKFLOW PREVENTER
- SEWER CLEAN OUT
- SSCO
- STORM DRAIN MANHOLE
- SOMH
- FENCE
- DOWN SPOUT AND SPLASH PAD

#	Rev.	Date

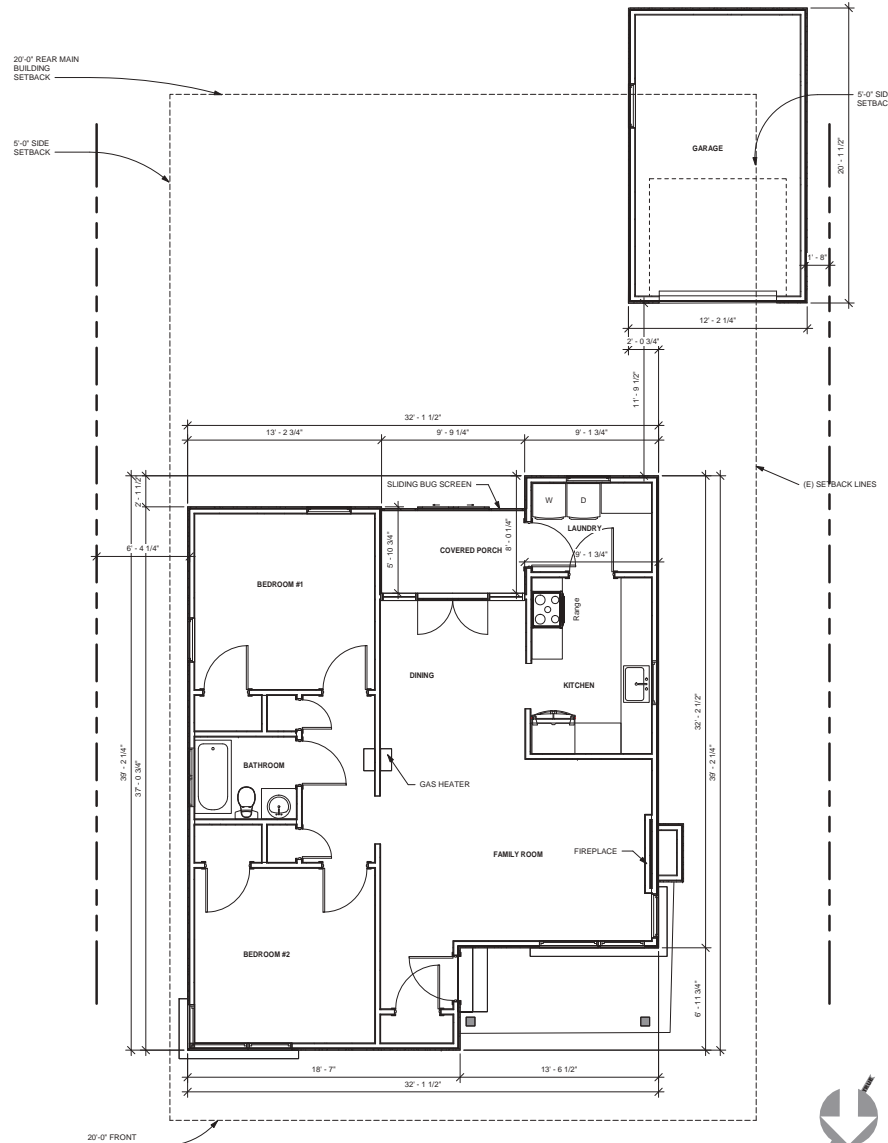


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(N) SITE PLAN & AREA PLAN

Job: SHE 2024 002
Date: 6/20/2022
Checked By: Checker
Drawn By: GP

A1.02
Scale: As indicated



- GENERAL SHEET NOTES**
- SEE SITE PLAN SHEET A1.01 FOR MORE INFORMATION.
 - SEE SHEET A0.02 FOR SYMBOL KEY.
 - SEE GENERAL NOTES ON SHEET A0.04 FOR ADDITIONAL INFORMATION.
 - SEE SHEET A0.03 FOR AREA CALCULATIONS AND TOTALS.
 - SEE SHEETS A0.01 & A0.02 FOR FLOOR PLANS.
 - SEE SHEET A2.03 FOR ROOF PLAN.
 - SEE SHEETS A3.01 & A3.02 FOR EXTERIOR ELEVATIONS.
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 - DIMENSIONS ARE TAKEN FROM FACE OF STUDS.

- (E) FLOOR PLAN NOTES**
- ALL BUILDINGS SHALL BE DEMOLISHED.

(E) 1ST FLOOR PLAN 1/4" = 1'-0" 1

Date	Rev.	#

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 www.wma-architect.com

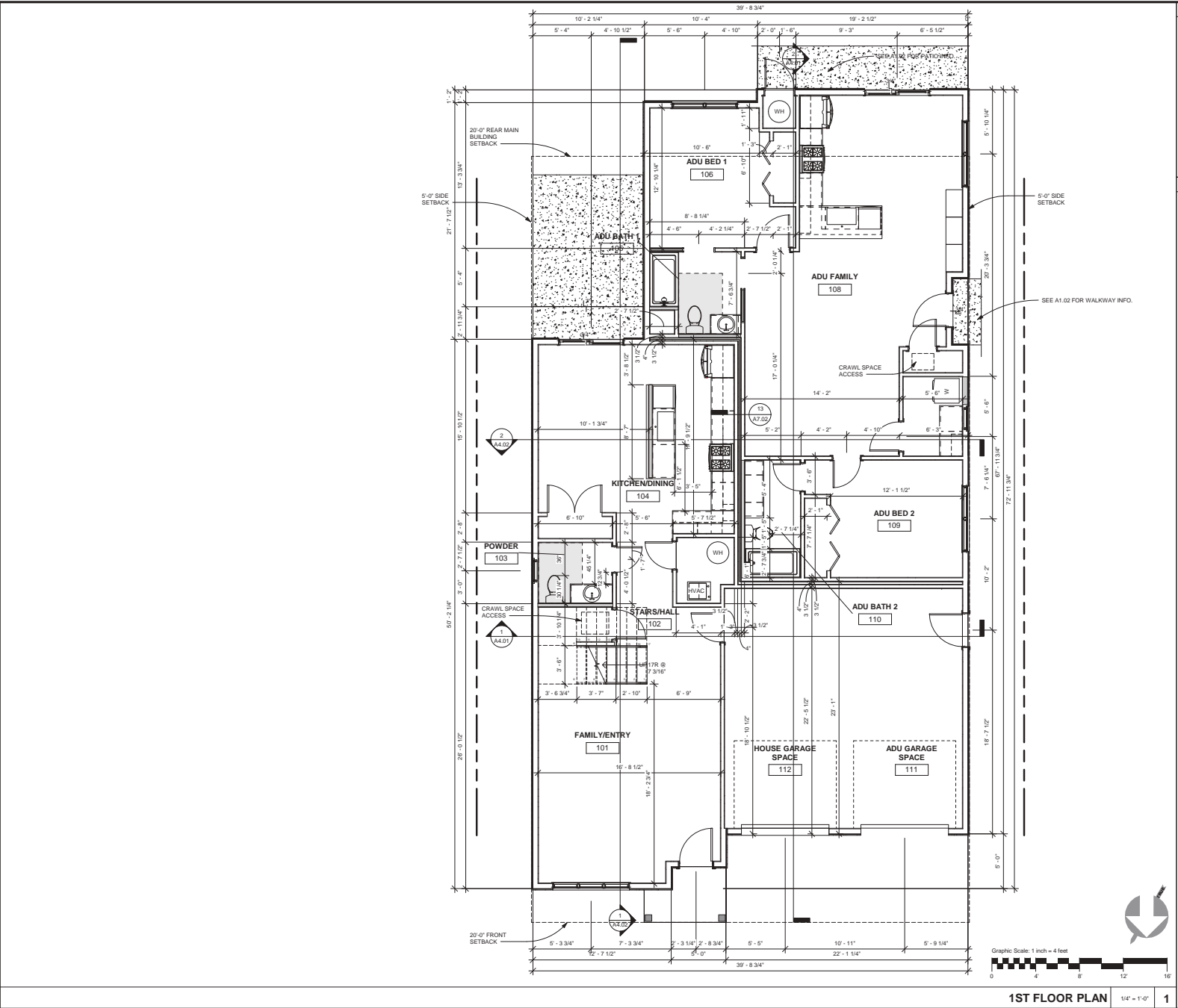
LICENSED ARCHITECT
 WILLIAM MASTON
 STATE OF CALIFORNIA
 52097-0225

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(E) FLOOR PLAN

Job: SHE 2024 002
 Date: 6/20/2022
 Checked By: Checker
 Drawn By: GP

A2.01
 Scale: As indicated



- GENERAL SHEET NOTES**
- SEE SITE PLAN SHEET A1.01 FOR MORE INFORMATION.
 - SEE SHEET A2.02 FOR SYMBOL KEY.
 - SEE GENERAL NOTES ON SHEET A2.04 FOR ADDITIONAL INFORMATION.
 - SEE SHEET A2.03 FOR AREA CALCULATIONS AND TOTALS.
 - SEE SHEETS A2.01 & A2.02 FOR FLOOR PLANS.
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 - DIMENSIONS ARE TAKEN FROM FACE OF STUDS

KEY NOTES

SEE A1.02 FOR WALKWAY INFO.

1ST FLOOR PLAN 1/4" = 1'-0" 1

Graphic Scale: 1 inch = 4 feet

#	Rev.	Date

Job: SHE 2024 002
 Date: 6/20/2022
 Checked By: Checker
 Drawn By: GP

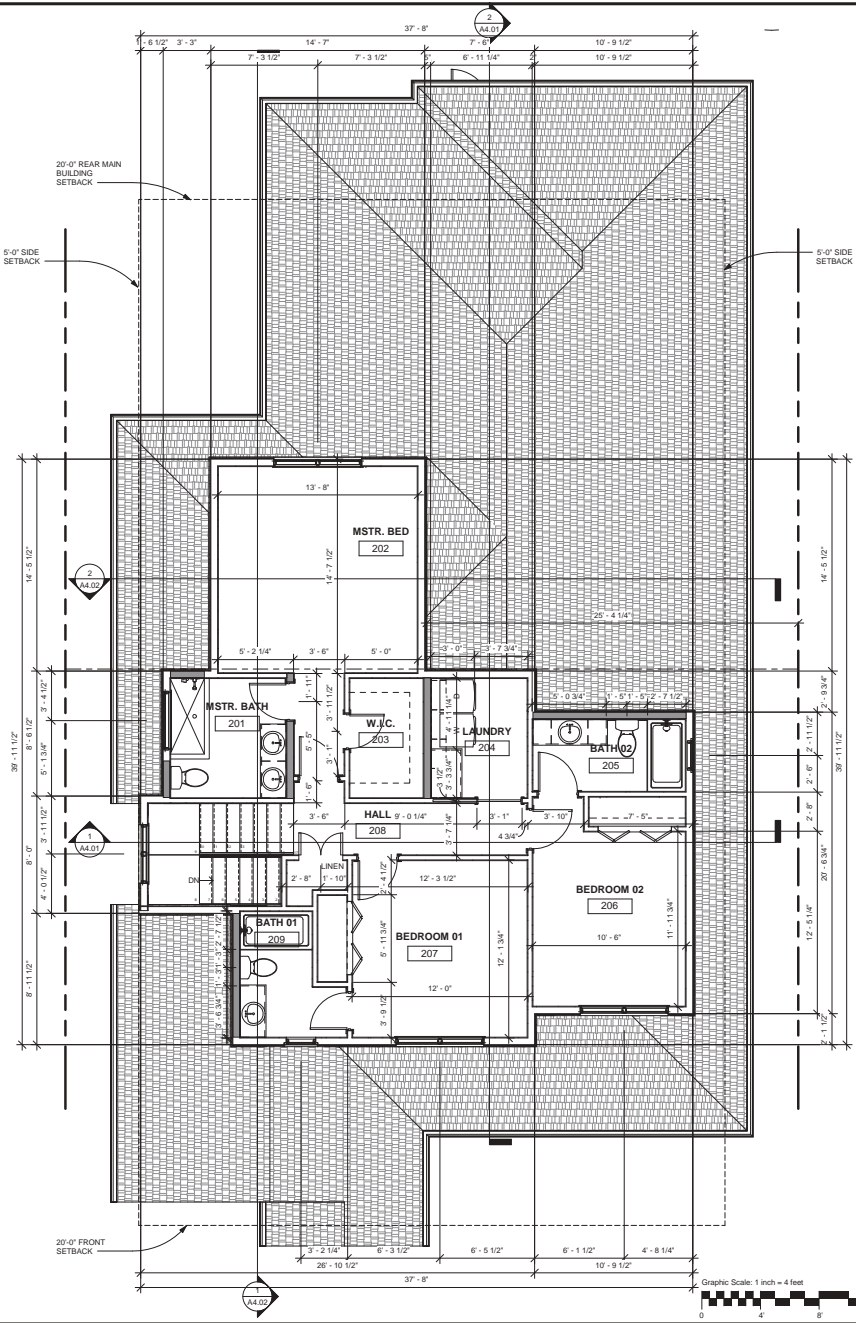
A2.02
 Scale: As indicated

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(N) 1ST FLOOR PLAN

LICENSED ARCHITECT
 WILLIAM J. MASTON
 ARCHITECT
 STATE OF CALIFORNIA
 LICENSE NO. 10000



- GENERAL SHEET NOTES**
- SEE SITE PLAN SHEET A1.01 FOR MORE INFORMATION.
 - SEE SHEET A2.02 FOR SYMBOL KEY.
 - SEE GENERAL NOTES ON SHEET A2.04 FOR ADDITIONAL INFORMATION.
 - SEE SHEET A2.03 FOR AREA CALCULATIONS AND TOTALS.
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KEY NOTES

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 ARCHITECT & ASSOCIATES
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(N) 2ND FLOOR PLAN

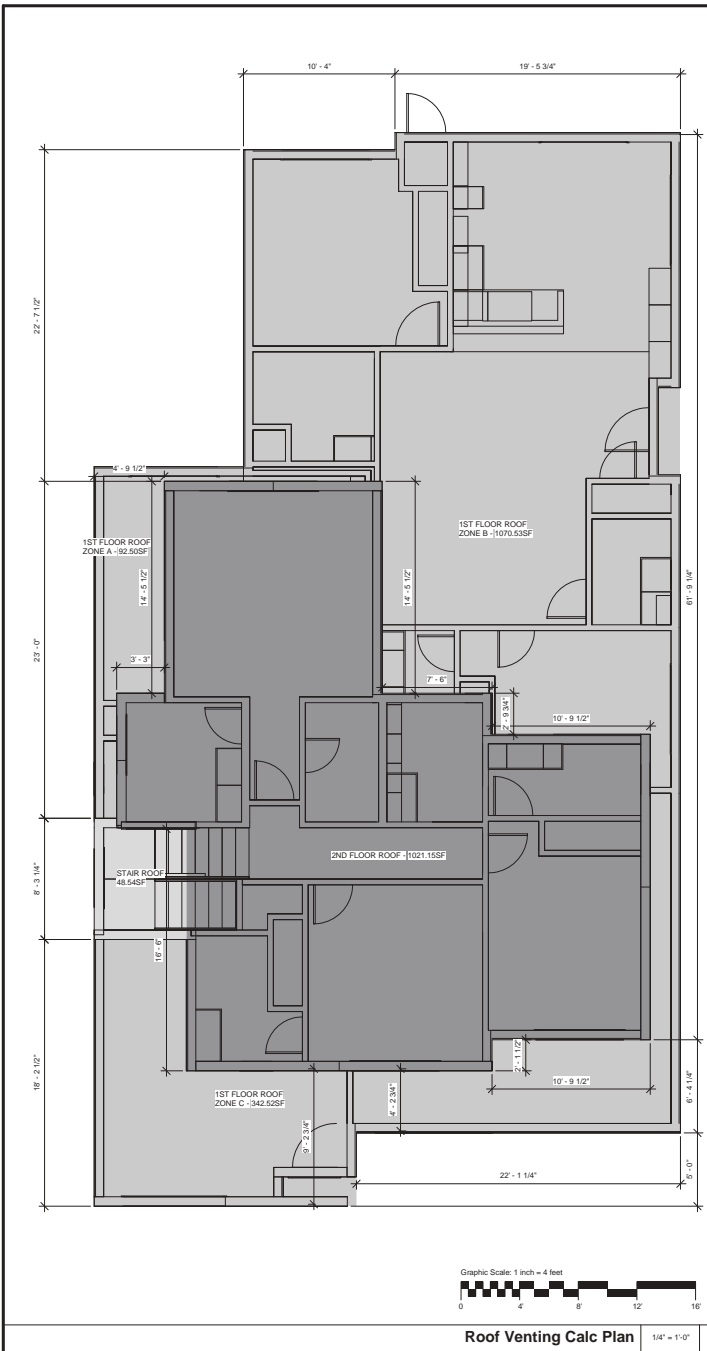
Job: SHE 2024 002
 Date: 6/20/2022
 Checked By: Checker
 Drawn By: GP

A2.03

Scale: As indicated

Date	Rev.	#

2ND FLOOR PLAN 1/4" = 1'-0" 1



GENERAL SHEET NOTES

1. SEE SITE PLAN SHEET A1.01 FOR MORE INFORMATION.
2. SEE SHEET A0.02 FOR SYMBOL KEY.
3. SEE GENERAL NOTES ON SHEET A0.04 FOR ADDITIONAL INFORMATION.
4. SEE SHEET A0.03 FOR AREA CALCULATIONS AND TOTALS.
5. SEE SHEETS A2.01 & A2.02 FOR FLOOR PLANS.
6. SEE SHEET A2.03 FOR ROOF PLAN.
7. SEE SHEETS A3.01 & A3.02 FOR EXTERIOR ELEVATIONS.
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11. SEE TITLE 24 FOR MORE INFORMATION.
12. SEE SOILS REPORT FOR MORE INFORMATION.
13. SEE SHEET A1.01 FOR WINDOW & DOOR SCHEDULES AND NOTES.
14. SEE SHEETS E2.01 & E2.02 FOR ALL ELECTRICAL & LIGHTING INFORMATION.
15. SEE SHEETS M2.01 FOR MECHANICAL LIGHTING.
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17. ALL EXTERIOR WALLS SHALL BE 2 X 6. ALL PLUMBING WALLS SHALL BE 2 X 6.
18. DIMENSIONS ARE TAKEN FROM FACE OF STUDS

SPECIFIC SHEET NOTES

1. ROOF SLOPE 4:12 UNLESS OTHERWISE NOTED
2. ROOF TO BE ASPHALT SHINGLES. PROVIDE A CLASS 'A' FIRE RETARDANT ROOF COVERING COMPLYING WITH CHAPTER 15 OF CBC
3. ROOF SHINGLES SHALL BE INSTALLED PER MANUFACTURERS INSTRUCTIONS AND CBC CHAPTER 15. FASTENERS FOR WOOD SHINGLES SHALL BE NOT DIPPED GALVANIZED OR TYPE 304 STAINLESS STEEL WITH A MINIMUM PENETRATION OF 1/4" INCHES INTO THE SHEATHING. FOR SHEATHING LESS THAN 1/2" INCHES THICK, THE FASTENERS SHALL EXTEND THROUGH THE SHEATHING.
4. PROVIDE ATTIC VENTILATION PER CBC SECTION 1203
5. THE NET FREE VENTILATION AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED
6. VENTILATORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTION.
7. OPENINGS FOR VENTILATION HAVING A LEAST DIMENSION LARGER THAN 1/4 INCHES SHALL BE PROVIDED WITH CORROSION-RESISTANT WIRE CLOTH SCREENING, HANDWARE CLOTH, PERFORATED VINYL, OR SIMILAR MATERIAL WITH OPENINGS HAVING A LEAST DIMENSION OF NOT LESS THAN 1/8 INCHES AND NOT MORE THAN 1/4 INCHES.

ATTIC VENTING CALCS

THE TOTAL NET FREE VENTILATION AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT REDUCTION OF THE TOTAL AREA TO 1/200 IS PERMITTED PROVIDED THAT AT LEAST 40% AND NOT MORE THAN 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NOT MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF THE VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. WHERE THE LOCATION OF WALL OR FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 1 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.

1ST FLOOR - A - ATTIC VENTING PROVIDED
 50.7 SF/150 SF = 42 SF = 68.8 SQ. IN. REQUIRED
 PERIMETER LENGTH OF THE WALLS WITH EAVES OF THE AREA CALCULATED = 27.75 LF = (33')
 OC: 33' / 24" = 13.88 RAFTER BAYS; PROVIDE 4 (2 1/2") HOLES PER BAY = 4 X 4.9 = 19.6 SQ. IN.; 13 RAFTER BAYS X 19.6 SQ. IN. = 254.8 SQ. IN.
 254.8 SQ. IN. > 68.8 SQ. IN. REQUIRED

1ST FLOOR - B - ATTIC VENTING PROVIDED
 1070.53 SF/150 SF = 7.14 SF = 1027.71 SQ. IN. REQUIRED
 PERIMETER LENGTH OF THE WALLS WITH EAVES OF THE AREA CALCULATED = 114.14 LF = (1389')
 OC: 1389' / 24" = 57.04 RAFTER BAYS; PROVIDE 4 (2 1/2") HOLES PER BAY = 4 X 4.9 = 19.6 SQ. IN.; 57 RAFTER BAYS X 19.6 SQ. IN. = 1117.2 SQ. IN.
 1117.2 SQ. IN. > 1027.71 SQ. IN. REQUIRED

1ST FLOOR - C - ATTIC VENTING PROVIDED
 342.52 SF/150 = 2.28 SF = 328.82 SQ. IN. REQUIRED
 PERIMETER LENGTH OF THE WALLS WITH EAVES OF THE AREA CALCULATED = 89.67 LF = (88.04')
 OC: 88.04' / 24" = 36.68 RAFTER BAYS; PROVIDE 4 (2 1/2") HOLES PER BAY = 4 X 4.9 = 19.6 SQ. IN.; 36 RAFTER BAYS X 19.6 SQ. IN. = 704.16 SQ. IN.
 704.16 SQ. IN. > 328.82 SQ. IN. REQUIRED

STAIRWAY ATTIC VENTING PROVIDED
 48.54 SF/150 = 0.32 SF = 46.6 SQ. IN. REQUIRED
 PERIMETER LENGTH OF THE WALLS WITH EAVES OF THE AREA CALCULATED = 9.25 LF = (89')
 OC: 89' / 24" = 3.71 RAFTER BAYS; PROVIDE 4 (2 1/2") HOLES PER BAY = 4 X 4.9 = 19.6 SQ. IN.; 4 RAFTER BAYS X 19.6 SQ. IN. = 78.4 SQ. IN.
 78.4 SQ. IN. > 46.6 SQ. IN. REQUIRED

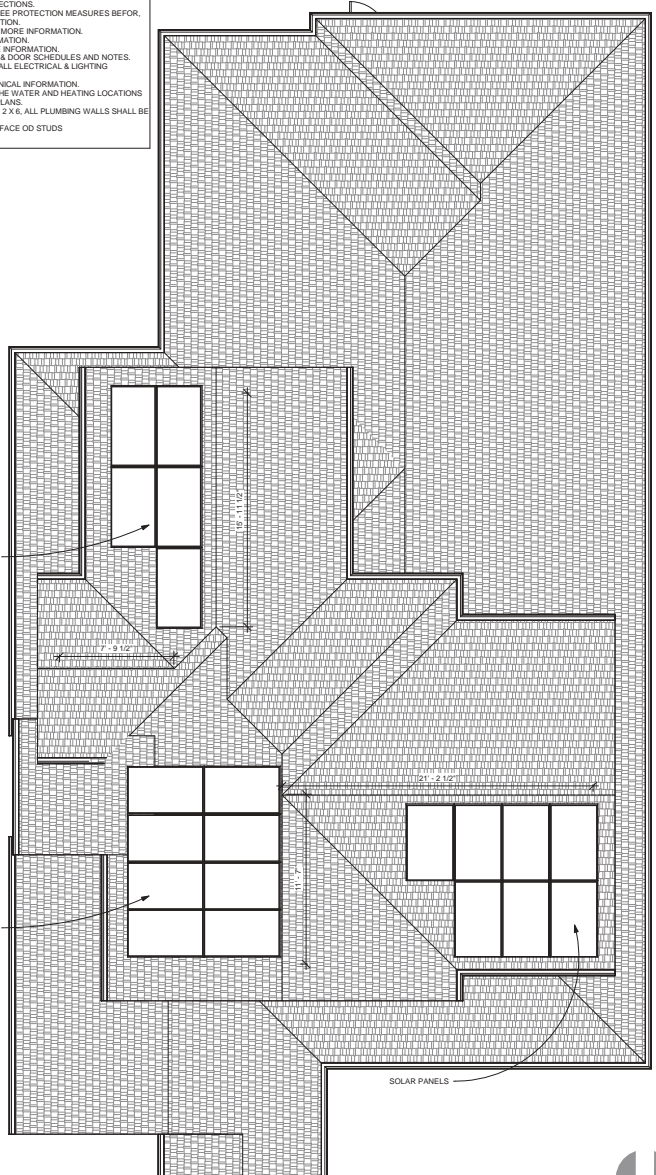
2ND FLOOR ATTIC VENTING PROVIDED
 1021.15 SF/150 = 6.81 SF = 893.15 SQ. IN. REQUIRED
 PERIMETER LENGTH OF THE WALLS WITH EAVES OF THE AREA CALCULATED = 88.44 LF = (1061.24')
 OC: 1061.24' / 24" = 44.22 RAFTER BAYS; PROVIDE 4 (2 1/2") HOLES PER BAY = 4 X 4.9 = 19.6 SQ. IN.; 44 RAFTER BAYS X 19.6 SQ. IN. = 862.4 SQ. IN.
 LENGTH OF RIDGE VENTS CALCULATED = 56.06 LF
 RIDGE VENTS PROVIDE 1 SQ. FT. VENTILATING PER 1 LINEAR FOOT. 56.06 LF = 56.06 SQ. IN. VENTING
 862.4 SQ. IN. + 56.06 SQ. IN. = 918.46 SQ. IN.
 918.46 SQ. IN. > 893.15 SQ. IN. REQUIRED

FOUNDATION VENTING CALCS

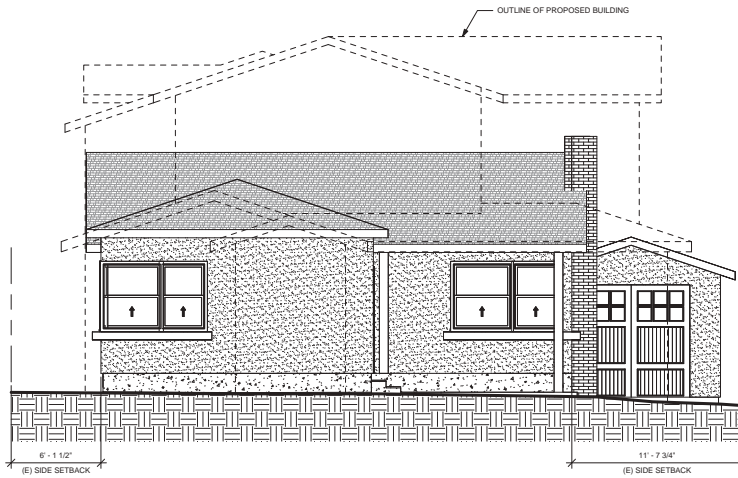
THE NET FREE VENTING AREA = 1/150 OF FLOOR AREA TO BE VENTED. SEE EXTERIOR ELEVATIONS FOR VENT LOCATIONS.

MAIN RESIDENCE
 911.88/150 SQ. FT. = 6.08 SQ. FT. OF VENT AREA REQ'D
 6.08 SQ. FT. X 144 SQ. IN. = 875.52 SQ. INCHES OF VENT AREA REQ'D
 VENT SIZE IS 6"x14" = 84 SQ. IN. PER VENT
 875.52 SQ. IN. / 84 SQ. IN. = 10.42 VENTS = 11 VENTS REQUIRED

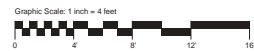
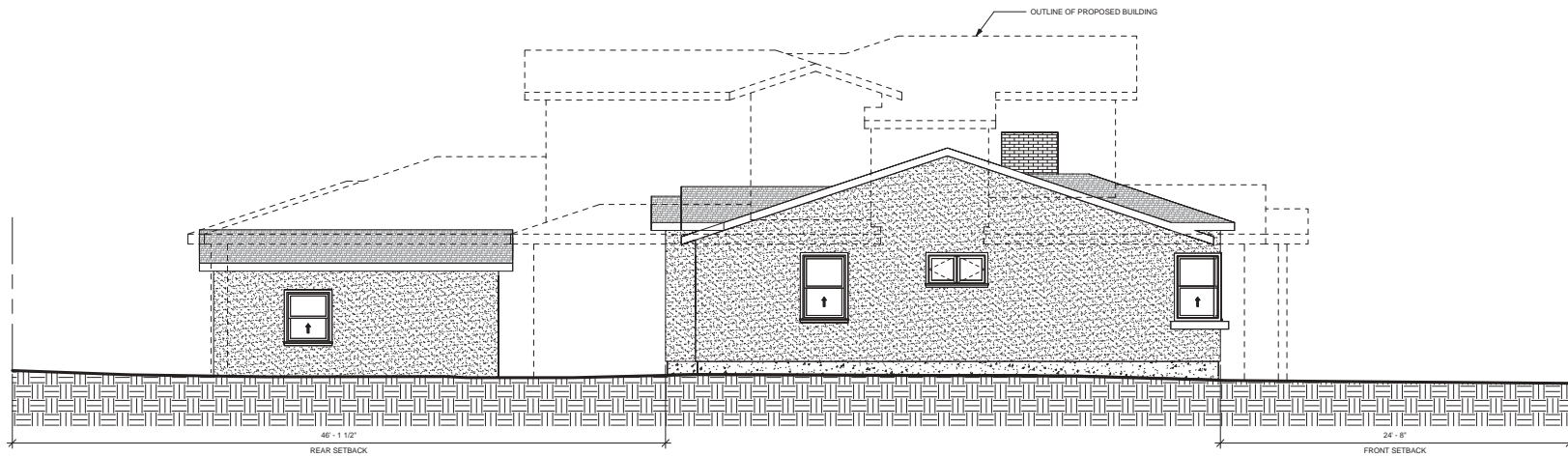
ADU RESIDENCE
 1122.17/150 SQ. FT. = 7.48 SQ. FT. OF VENT AREA REQ'D
 7.48 SQ. FT. X 144 SQ. IN. = 1077.28 SQ. INCHES OF VENT AREA REQ'D
 VENT SIZE IS 6"x14" = 84 SQ. IN. PER VENT
 1077.28 SQ. IN. / 84 SQ. IN. = 12.82 VENTS = 13 VENTS REQUIRED



Date	
Rev.	
#	
<p>SHERMAN PROJECT 1055 SHERMAN AVE. MENLO PARK, CA 94025</p>	
<p>(N) ROOF PLAN</p>	
Job:	SHE 2024 002
Date:	6/20/2022
Checked By:	Checker
Drawn By:	GP
<p>A2.04</p>	
Scale:	As indicated



(E) FRONT ELEVATION - NORTH 1/4" = 1'-0" 1



(E) LEFT ELEVATION - EAST 1/4" = 1'-0" 2

Rev.	Date

William Maston
Architect & Associates
1715 Sherman Ave.
Menlo Park, CA 94025
Tel: 650.321.0225
www.williammaston.com

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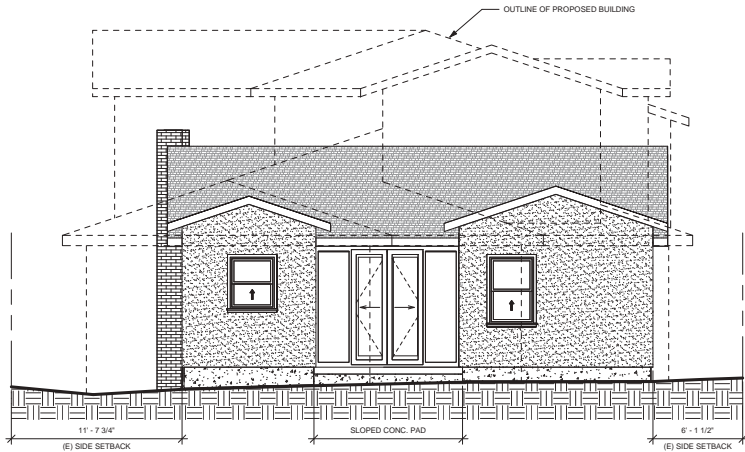
SHERMAN PROJECT
1055 SHERMAN AVE.
MENLO PARK, CA 94025

(E) FRONT & LEFT
EXTERIOR ELEVATIONS

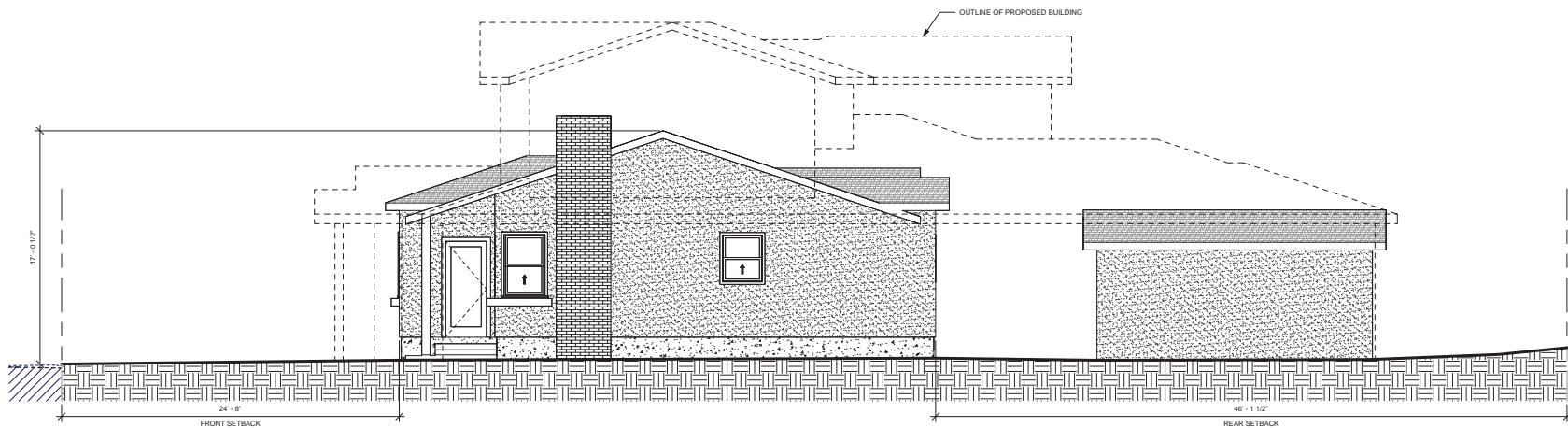
Job: SHE 2024 002
Date: 6/20/2022
Checked By: Checker
Drawn By: GP

A3.01

Scale 1/4" = 1'-0"



(E) REAR ELEVATION - SOUTH 1/4" = 1'-0" 1



(E) RIGHT ELEVATION - WEST 1/4" = 1'-0" 2



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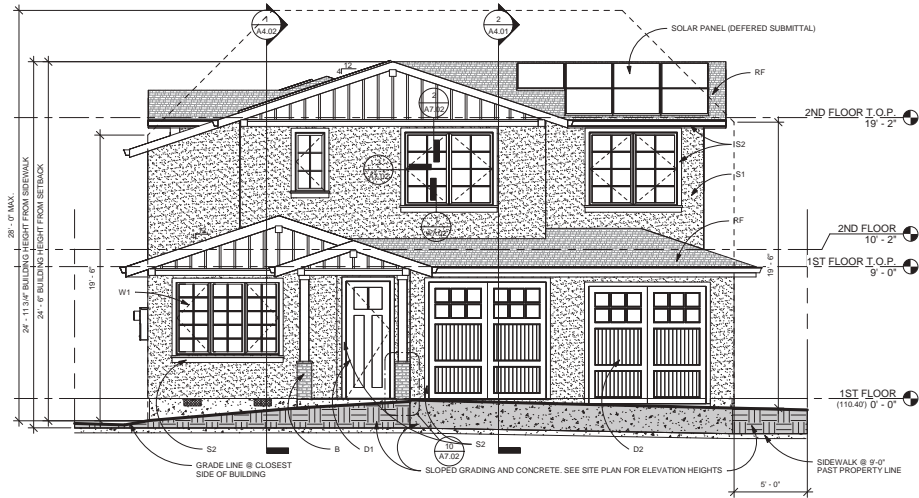


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 1055 SHERMAN AVE.
 MENLO PARK, CA 94025

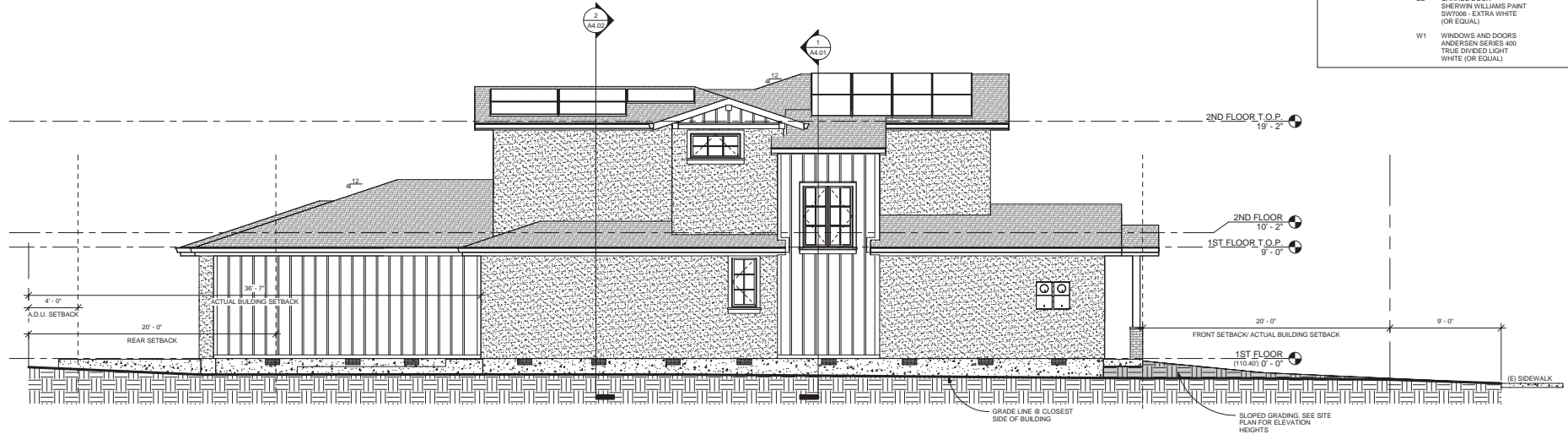
(E) REAR & RIGHT EXTERIOR ELEVATIONS

Job: SHE 2024 002
 Date: 6/20/2022
 Checked By: Checker
 Drawn By: GP

A3.02
 Scale 1/4" = 1'-0"



(N) FRONT ELEVATION - NORTH 1/4" = 1'-0" 1



(N) LEFT ELEVATION - EAST 1/4" = 1'-0" 2

GENERAL SHEET NOTES

1. SEE SITE PLAN SHEET A1.01 FOR MORE INFORMATION.
2. SEE SHEET A0.02 FOR SYMBOL KEY.
3. SEE GENERAL NOTES ON SHEET A0.04 FOR ADDITIONAL INFORMATION.
4. SEE SHEET A0.03 FOR AREA CALCULATIONS AND TOTALS.
5. SEE SHEETS A3.01 & A3.02 FOR FLOOR PLANS.
6. SEE SHEET A2.03 FOR ROOF PLAN.
7. SEE SHEETS A3.01 & A3.02 FOR EXTERIOR ELEVATIONS.
8. SEE SHEETS A4.01 & 4.02 FOR SECTIONS.
9. SEE ARBORIST REPORT FOR TREE PROTECTION MEASURES BEFORE, DURING AND AFTER CONSTRUCTION.
10. SEE STRUCTURAL SHEETS FOR MORE INFORMATION.
11. SEE TITLE 24 FOR MORE INFORMATION.
12. SEE SOLS REPORT FOR MORE INFORMATION.
13. SEE SHEET A6.01 FOR WINDOW & DOOR SCHEDULES AND NOTES.
14. SEE SHEETS E2.01 & E2.02 FOR ALL ELECTRICAL & LIGHTING INFORMATION.
15. SEE SHEETS M2.01 FOR MECHANICAL INFORMATION.
16. SEE MECHANICAL PLANS FOR THE WATER AND HEATING LOCATIONS AND FOR REFLECTED CEILING PLANS.
17. ALL EXTERIOR WALLS SHALL BE 2 X 6, ALL PLUMBING WALLS SHALL BE 2 X 6.
18. DIMENSIONS ARE TAKEN FROM FACE OF STUDS

KEY NOTES

- WALL FINISHES:**
- S1 C. PLASTER
SHERWIN WILLIAMS PAINT
SW7006 - ALABASTER WHITE
(OR EQUAL)
 - S2 HARDY SIDING & TRIM (OR EQUAL)
SHERWIN WILLIAMS PAINT
SW7006 - EXTRA WHITE
(OR EQUAL)
- ROOF:**
- RF BY CERTANTEED
PRESIDENTIAL SHAKE
THUNDER STORM GREY
(OR EQUAL)
- ACCESSORIES:**
- B BRICK VENEER
BY ELDORADO
HARTFORD TUNDRA BRICK
(OR EQUAL)
 - D1 ENTRY DOOR
SHERWIN WILLIAMS PAINT
SW7006 - EXTRA WHITE
(OR EQUAL)
 - D2 GARAGE DOOR
SHERWIN WILLIAMS PAINT
SW7006 - EXTRA WHITE
(OR EQUAL)
 - W1 WINDOWS AND DOORS
ANDERSEN SERIES 400
TRUE DIVIDED LIGHT
WHITE (OR EQUAL)

Date	Rev.	#



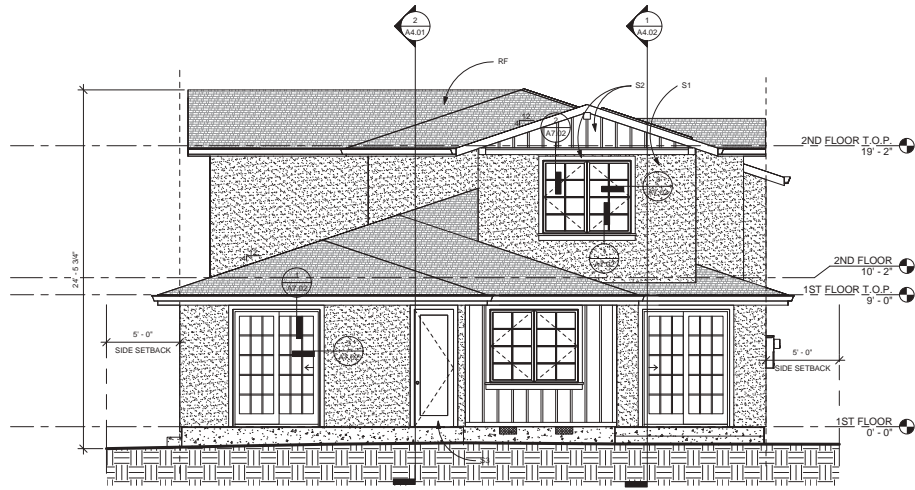
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(N) FRONT & LEFT
EXTERIOR ELEVATIONS

Job: SHE 2024 002
Date: 6/20/2022
Checked By: Checker
Drawn By: GP

A3.03

Scale: As indicated



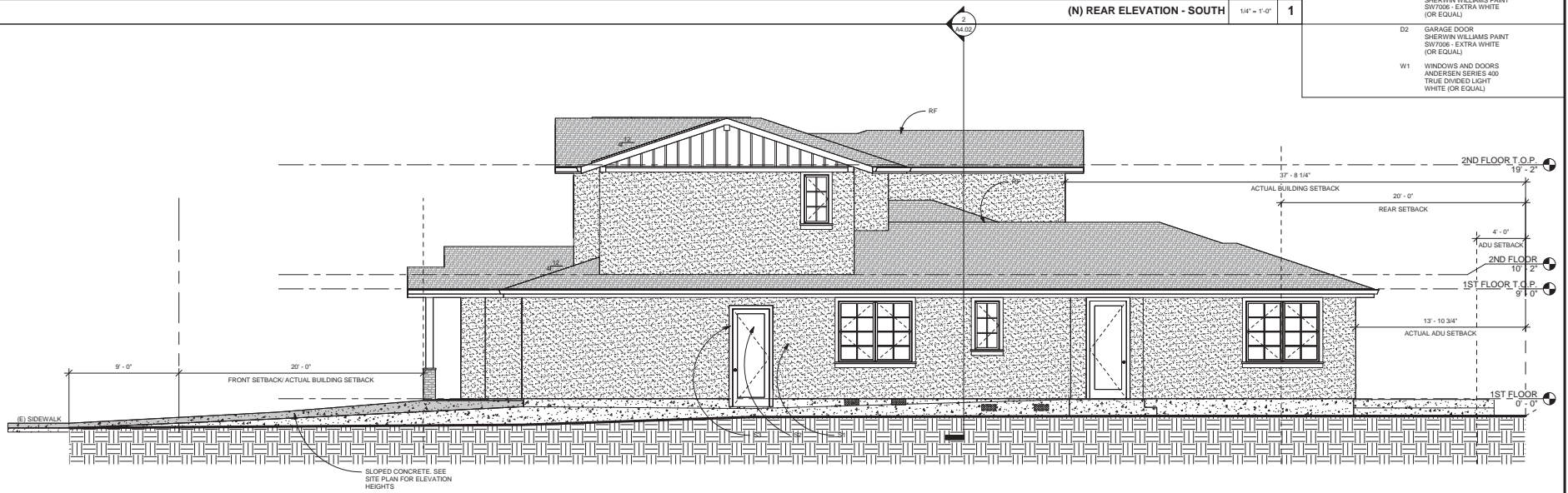
(N) REAR ELEVATION - SOUTH 1/4" = 1'-0" 1

GENERAL SHEET NOTES

1. SEE SITE PLAN SHEET A1.01 FOR MORE INFORMATION.
2. SEE SHEET A0.02 FOR SYMBOL KEY.
3. SEE GENERAL NOTES ON SHEET A0.04 FOR ADDITIONAL INFORMATION.
4. SEE SHEET A0.03 FOR AREA CALCULATIONS AND TOTALS.
5. SEE SHEETS A3.01 & A3.02 FOR FLOOR PLANS.
6. SEE SHEET A2.03 FOR ROOF PLAN.
7. SEE SHEETS A3.01 & A3.02 FOR EXTERIOR ELEVATIONS.
8. SEE SHEETS A4.01 & 4.02 FOR SECTIONS.
9. SEE ARBORIST REPORT FOR TREE PROTECTION MEASURES BEFORE, DURING AND AFTER CONSTRUCTION.
10. SEE STRUCTURAL SHEETS FOR MORE INFORMATION.
11. SEE TITLE 24 FOR MORE INFORMATION.
12. SEE SOLE REPORT FOR MORE INFORMATION.
13. SEE SHEET A6.01 FOR WINDOW & DOOR SCHEDULES AND NOTES.
14. SEE SHEETS E2.01 & E2.02 FOR ALL ELECTRICAL & LIGHTING INFORMATION.
15. SEE SHEETS M2.01 FOR MECHANICAL INFORMATION.
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18. DIMENSIONS ARE TAKEN FROM FACE OF STUDS

KEY NOTES

- WALL FINISHES:**
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SHERWIN WILLIAMS PAINT
SW7006 - ALABASTER WHITE
(OR EQUAL)
 - S2 HARDY SIDING & TRIM (OR EQUAL)
SHERWIN WILLIAMS PAINT
SW7006 - EXTRA WHITE
(OR EQUAL)
- ROOF:**
- RF BY CERTANTEED
PRESIDENTIAL SHAKE
THUNDER STORM GREY
(OR EQUAL)
- ACCESSORIES:**
- B BRICK VENEER
BY ELDORADO
HARTFORD TUNDRA BRICK
(OR EQUAL)
 - D1 ENTRY DOOR
SHERWIN WILLIAMS PAINT
SW7006 - EXTRA WHITE
(OR EQUAL)
 - D2 GARAGE DOOR
SHERWIN WILLIAMS PAINT
SW7006 - EXTRA WHITE
(OR EQUAL)
 - W1 WINDOWS AND DOORS
ANDERSEN SERIES #03
TRUE DIVIDED LIGHT
WHITE (OR EQUAL)



(N) RIGHT ELEVATION - WEST 1/4" = 1'-0" 2



Date	Rev.

**William Maxton
Architect & Associates**
11775 Wilshire Blvd., Suite 100
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www.williammaxton.com

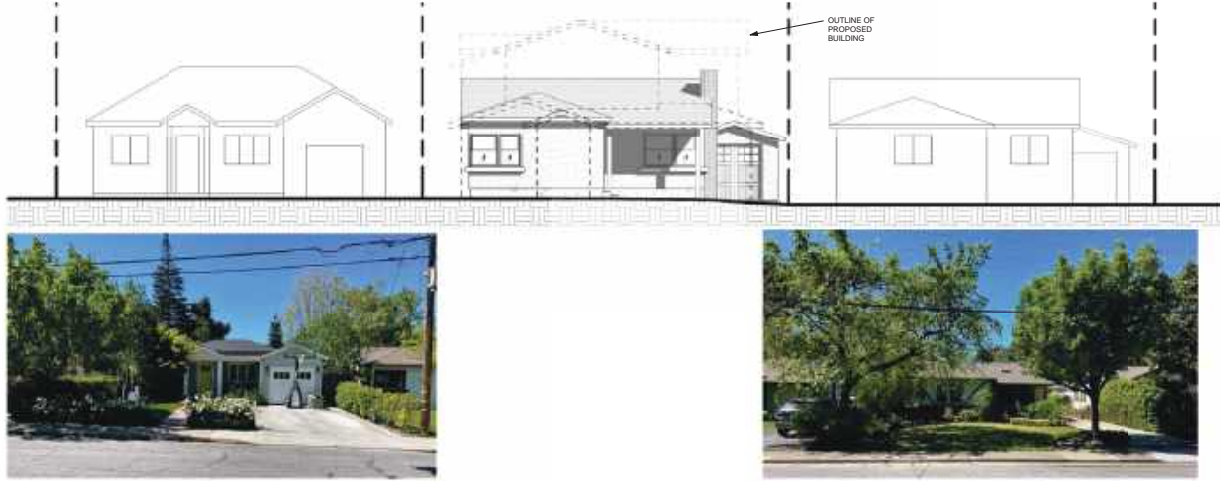
SHERMAN PROJECT
1055 SHERMAN AVE.
MENLO PARK, CA 94025

**(N) REAR & RIGHT
EXTERIOR ELEVATIONS**

Job: SHE 2024 002
Date: 6/20/2022
Checked By: Checker
Drawn By: GP

A3.04

Scale: As indicated



(E) STREETScape - 1035 - 1055 - 1075 SHERMAN 1/8" = 1'-0" 1



(N) STREETScape - 1035 - 1055 - 1075 SHERMAN 1/8" = 1'-0" 2



1020 SHERMAN NTS 3



1050 SHERMAN NTS 4



1088 SHERMAN NTS 5

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 1075 Sherman Ave.
 Menlo Park, CA 94025
 (650) 321-0225



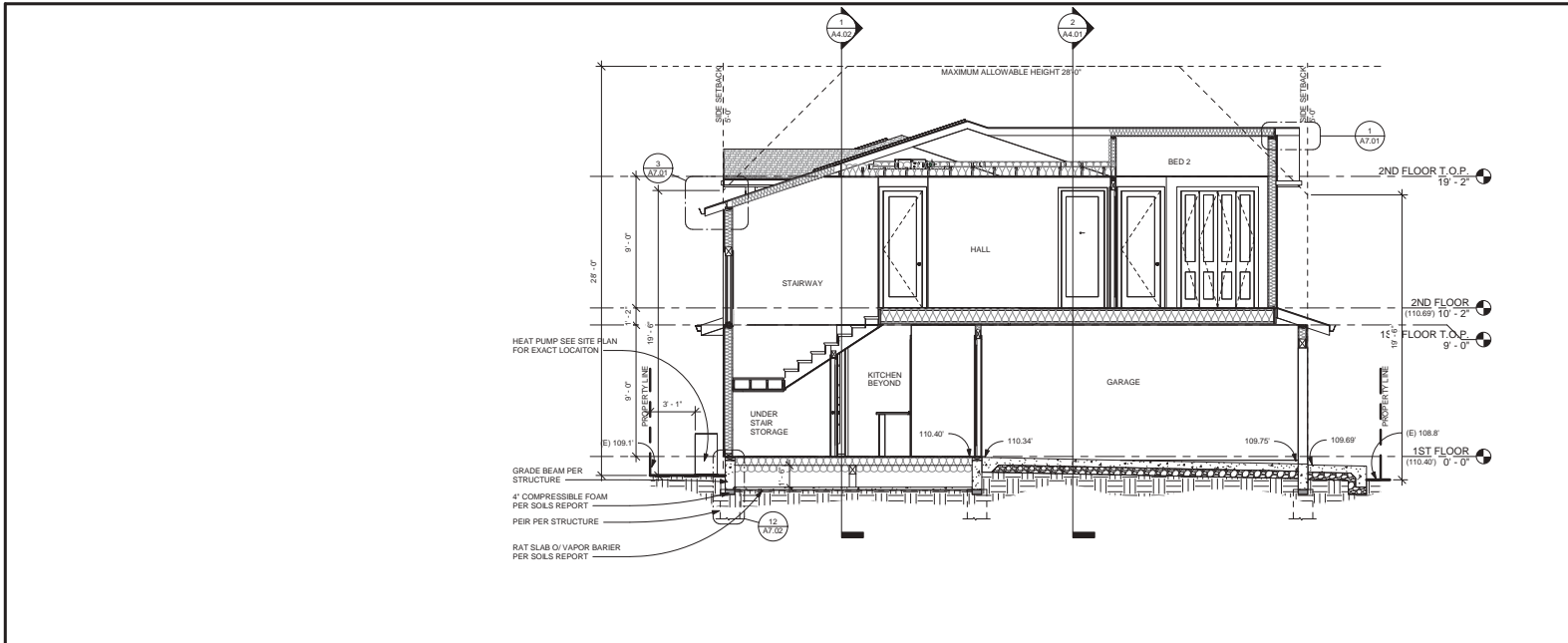
 WILLIAM MASTON
 LICENSED ARCHITECT
 NO. 13571
 STATE OF CALIFORNIA

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 MENLO PARK, CA 94025

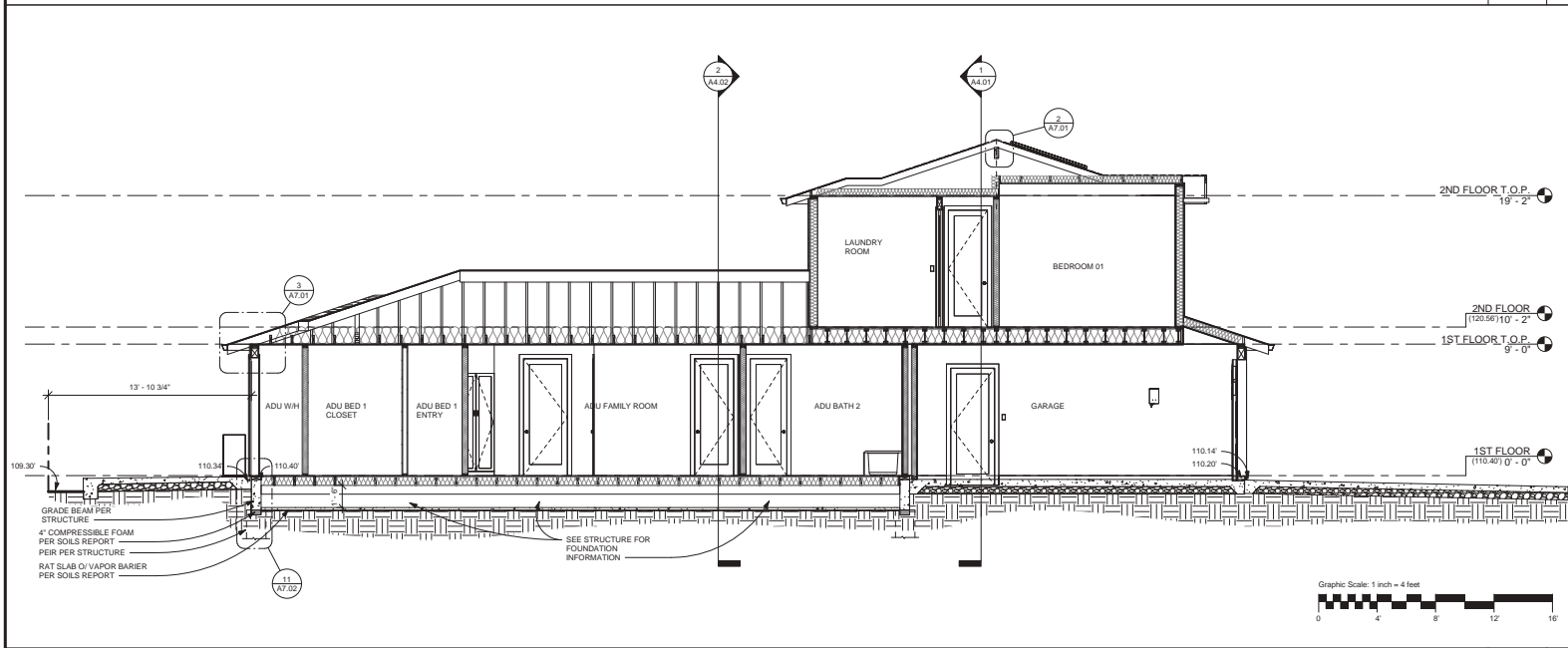
(E) & (N) STREETScapeS

Job: SHE 2024 002
 Date: 6/20/2022
 Checked By: Checker
 Drawn By: Author

A3.05
 Scale 1/8" = 1'-0"



BUILDING SECTION 01 1/4" = 1'-0" 1



BUILDING SECTION 02 1/4" = 1'-0" 2

- GENERAL SHEET NOTES**
- SEE SITE PLAN SHEET A1.01 FOR MORE INFORMATION.
 - SEE SHEET A0.02 FOR SYMBOL KEY.
 - SEE GENERAL NOTES ON SHEET A0.04 FOR ADDITIONAL INFORMATION.
 - SEE SHEET A0.03 FOR AREA CALCULATIONS AND TOTALS.
 - SEE SHEETS A2.01 & A2.02 FOR FLOOR PLANS.
 - SEE SHEET A2.03 FOR ROOF PLAN.
 - SEE SHEETS A3.01 & A3.02 FOR EXTERIOR ELEVATIONS.
 - SEE SHEETS A4.01 & A4.02 FOR SECTIONS.
 - SEE ARBORIST REPORT FOR TREE PROTECTION MEASURES BEFORE, DURING AND AFTER CONSTRUCTION.
 - SEE STRUCTURAL SHEETS FOR MORE INFORMATION.
 - SEE TITLE 24 FOR MORE INFORMATION.
 - SEE SOLS REPORT FOR MORE INFORMATION.
 - SEE SHEET A6.01 FOR WINDOW & DOOR SCHEDULES AND NOTES.
 - SEE SHEETS E2.01 & E2.02 FOR ALL ELECTRICAL & LIGHTING INFORMATION.
 - SEE SHEETS M2.01 FOR MECHANICAL INFORMATION.
 - SEE MECHANICAL PLANS FOR THE WATER AND HEATING LOCATIONS AND FOR REFLECTED CEILING PLANS.
 - ALL EXTERIOR WALLS SHALL BE 2 X 6, ALL PLUMBING WALLS SHALL BE 2 X 6.
 - DIMENSIONS ARE TAKEN FROM FACE CD STUDS

KEY NOTES

#	Rev.	Date

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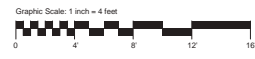


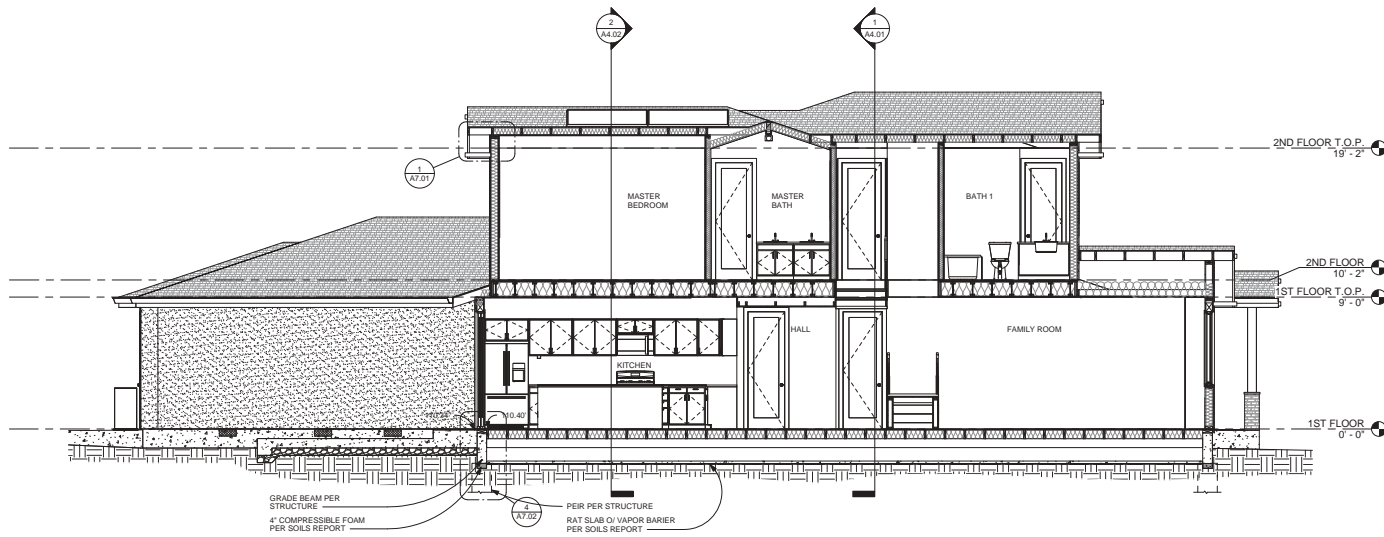
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BUILDING SECTIONS

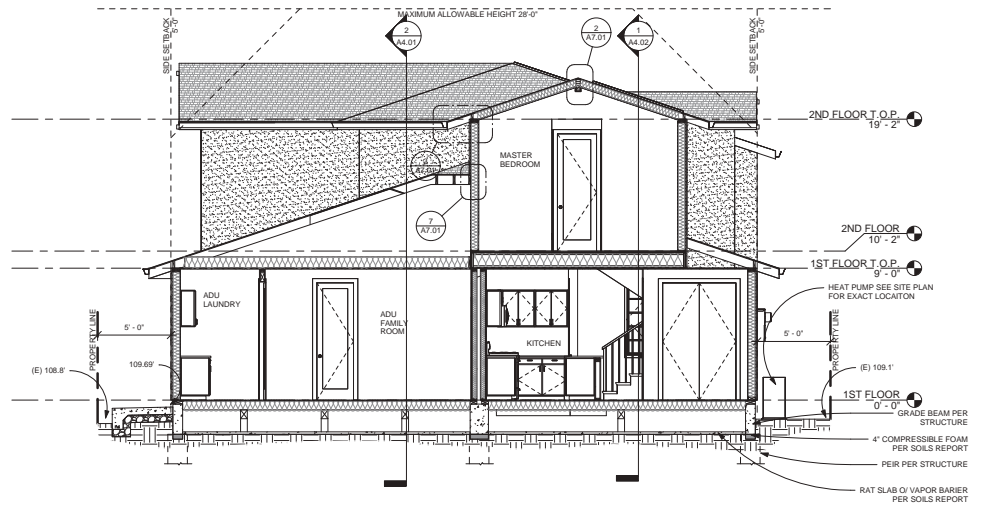
Job: SHE 2024 002
Date: 6/20/2022
Checked By: Checker
Drawn By: GP

A4.01
Scale: As indicated





BUILDING SECTION 03 1/4" = 1'-0" 1



BUILDING SECTION 04 1/4" = 1'-0" 2

GENERAL SHEET NOTES

1. SEE SITE PLAN SHEET A1.01 FOR MORE INFORMATION.
2. SEE SHEET A0.02 FOR SYMBOL KEY.
3. SEE GENERAL NOTES ON SHEET A0.04 FOR ADDITIONAL INFORMATION.
4. SEE SHEET A0.03 FOR AREA CALCULATIONS AND TOTALS.
5. SEE SHEETS A2.01 & A2.02 FOR FLOOR PLANS.
6. SEE SHEET A2.03 FOR ROOF PLAN.
7. SEE SHEETS A3.01 & A3.02 FOR EXTERIOR ELEVATIONS.
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KEY NOTES

#	Rev.	Date



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BUILDING SECTIONS

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 Date: 6/20/2022
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A4.02

Scale: As indicated