



RE: 115 El Camino Real: Summary of changes from approved permit drawings.

Architectural control and use permit application.

05/08/25

The architectural control and use permit application is for revisions to the project having minor effects on the exterior appearance, and for a use permit for one of the commercial spaces to be used as a “wellness clinic” which will provide massage therapy as part of its offered services.

The changes are as follows:

The height of the first floor store front glass along El Camino Real has been reduced in height to improve safety and to align the exterior glazing height to interior ceiling height. The window openings are the same as the approved planning set. That approved set did not include specific divisions within those openings, the approved Building set and windows are installed as shown in the approved building permit drawing set.

The approved planning set shows full height storefront glass at the proposed “Wellness Clinic” at the south-east corner. The store front was reduced in height creating a small header, and raised to give it a small pony wall.

The proposed changes on the south elevation include adjustment to the entry awning, a service door added to an pump room, and doors added to access electrical equipment.

The quantity of the storefront panels at the north-west corner facing the neighboring building (135 ECR) is reduced to one panel.

The wood cladding on the third floor was changed to a similar product and is largely unchanged.

# 115 EL CAMINO REAL



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## PROJECT DIRECTORY

OWNER:	JAYA PANCHOLY + RANJEET PANCHOLY
ARCHITECT:	LEVY ART + ARCHITECTURE 151 POTRERO AVE SAN FRANCISCO, CA 94103 415-641-7320
CIVIL ENGINEER:	LEA AND BRAZE ENGINEERING, INC 2495 INDUSTRIAL PARKWAY WEST HAYWARD, CA 94545 510-887-4086

## PROJECT ADDRESS

115 EL CAMINO REAL  
MENLO PARK, CA 94025

## ZONING

APN: 071 - 433 - 330	OCCUPANCY: M, R-2
MUNICIPAL ZONING: SP-ECRD	CONSTRUCTION TYPE: VB
ECR: SW	SPRINKLER SYSTEM: YES
LAND USE: MIXED USE / RESIDENTIAL	# RESIDENTIAL UNITS: 4

## PROJECT DESCRIPTION

DEMOLITION OF EXISTING HOTEL FOLLOWED BY NEW CONSTRUCTION OF MIXED USE BUILDING.

GROUND FLOOR WILL CONSIST OF PARKING AND TWO COMMERCIAL SPACES FRONTING EL CAMINO REAL. THE SECOND LEVEL WILL HAVE THREE RESIDENTIAL UNITS AND THE THIRD LEVEL WILL HAVE ONE RESIDENTIAL UNIT.



COMMUNITY DEVELOPMENT DEPARTMENT  
PLANNING DIVISION  
751 Loma Road  
Menlo Park, CA 94025  
Phone: (650) 323-8100  
Fax: (650) 323-8882  
planning@menlopark.org  
www.menlopark.org

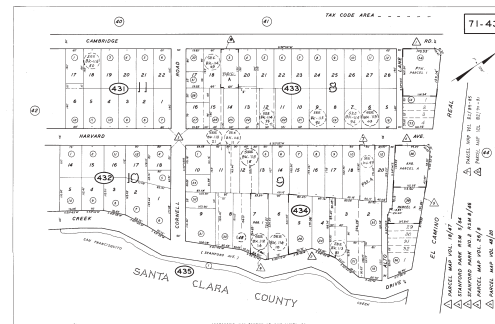
## DATA SHEET

Information on this sheet is for informational purposes only. It is not intended to be used as a basis for any legal action. The City of Menlo Park is not responsible for any errors or omissions in this sheet.

LOCATION	APPLICANT
115 El Camino Real	Levy Art + Architecture
PROPOSED USE	PROPERTY OWNER
Mixed Use Residential	Levy Art + Architecture
EXISTING ZONING	PROPOSED ZONING
SP-ECRD	SP-ECRD
EXISTING LOT AREA	PROPOSED LOT AREA
10,000 sq ft	10,000 sq ft
EXISTING BUILDING AREA	PROPOSED BUILDING AREA
10,000 sq ft	10,000 sq ft
EXISTING PARKING	PROPOSED PARKING
10,000 sq ft	10,000 sq ft
EXISTING TRAILER AREA	PROPOSED TRAILER AREA
10,000 sq ft	10,000 sq ft
EXISTING FENCE AREA	PROPOSED FENCE AREA
10,000 sq ft	10,000 sq ft
EXISTING SIGNAGE	PROPOSED SIGNAGE
10,000 sq ft	10,000 sq ft
EXISTING UTILITIES	PROPOSED UTILITIES
10,000 sq ft	10,000 sq ft
EXISTING LANDSCAPE	PROPOSED LANDSCAPE
10,000 sq ft	10,000 sq ft
EXISTING TREES	PROPOSED TREES
10,000 sq ft	10,000 sq ft
EXISTING SOILS	PROPOSED SOILS
10,000 sq ft	10,000 sq ft
EXISTING GEOTECHNICAL	PROPOSED GEOTECHNICAL
10,000 sq ft	10,000 sq ft
EXISTING HISTORICAL	PROPOSED HISTORICAL
10,000 sq ft	10,000 sq ft
EXISTING CULTURAL	PROPOSED CULTURAL
10,000 sq ft	10,000 sq ft
EXISTING ENVIRONMENTAL	PROPOSED ENVIRONMENTAL
10,000 sq ft	10,000 sq ft
EXISTING CLIMATE	PROPOSED CLIMATE
10,000 sq ft	10,000 sq ft
EXISTING AIR QUALITY	PROPOSED AIR QUALITY
10,000 sq ft	10,000 sq ft
EXISTING NOISE	PROPOSED NOISE
10,000 sq ft	10,000 sq ft
EXISTING VIBRATION	PROPOSED VIBRATION
10,000 sq ft	10,000 sq ft
EXISTING SEISMIC	PROPOSED SEISMIC
10,000 sq ft	10,000 sq ft
EXISTING FLOODING	PROPOSED FLOODING
10,000 sq ft	10,000 sq ft
EXISTING SLIDING	PROPOSED SLIDING
10,000 sq ft	10,000 sq ft
EXISTING EROSION	PROPOSED EROSION
10,000 sq ft	10,000 sq ft
EXISTING DEBRIS	PROPOSED DEBRIS
10,000 sq ft	10,000 sq ft
EXISTING WASTE	PROPOSED WASTE
10,000 sq ft	10,000 sq ft
EXISTING HAZARDOUS	PROPOSED HAZARDOUS
10,000 sq ft	10,000 sq ft
EXISTING RADIOACTIVE	PROPOSED RADIOACTIVE
10,000 sq ft	10,000 sq ft
EXISTING OTHER	PROPOSED OTHER
10,000 sq ft	10,000 sq ft



## PARCEL MAP



## VICINITY MAP



APPROVED



LEVY  
ART + ARCHITECTURE

151 POTRERO AVE. STE 200  
SAN FRANCISCO, CA 94108  
415.641.7320  
levyart.com



115 EL CAMINO  
MENLO PARK, CA 94025

Description	Title Sheet
Date	04/02/2019
Scale	
Drawn	MLT
Job	115 EL CAMINO
Sheet	

G0.1

# 115 EL CAMINO REAL



## DRAWING SHEET INDEX

NO.	DESCRIPTION	NO.	DESCRIPTION
01	GENERAL NOTES	101	GENERAL NOTES
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05	GENERAL NOTES	105	GENERAL NOTES
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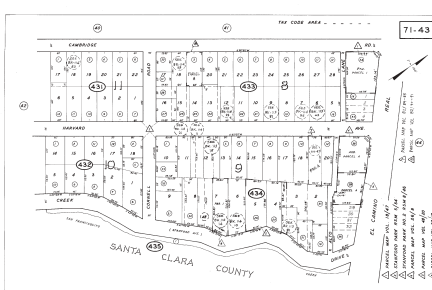
## PROJECT DESCRIPTION

REVISION TO ISSUED PERMIT: REVISIONS INCLUDE: ADJUSTMENTS TO GLASS STORE FRONT, MINOR INTERIOR LAYOUT REVISIONS, ADDED FIRE RESISTANCE DETAILS, AND NOTES.

DESIGN AND CONSTRUCTION SHALL CONFORM TO ALL GOVERNMENT CODES AND ORDINANCES:

- 2019 CALIFORNIA BUILDING CODE
- 2019 CALIFORNIA ENERGY CODE
- 2019 CALIFORNIA PLUMBING CODE
- 2019 CALIFORNIA MECHANICAL CODE
- 2019 CALIFORNIA FIRE CODE
- MENLO PARK GENERAL PLAN
- MENLO PARK PLANNING CODE

## PARCEL MAP



## ALLOWABLE AREA AND HEIGHT

**ALLOWABLE HEIGHT PER CBC 504.3**  
R-2N WITH SPRINKLERS W/O AREA INCREASE = 40'  
PROPOSED HEIGHT = 40'

**ALLOWABLE NUMBER OF STORIES PER CBC 504.4**  
R-2N WITH SPRINKLERS W/O AREA INCREASE = 3 STORIES  
PROPOSED NUMBER OF STORIES = 3

**ALLOWABLE AREA PER CBC 506.2**  
R-2N WITH SPRINKLERS W/O AREA INCREASE = 21,000 SF  
TOTAL BUILDING AREA = GFA  
FRONTAGE PER CBC 506.3  
FRONTAGE OF SIDE FACING EL CAMINO > 30FT. USE 30FT FOR  
W1 VALUE PER CBC 506.3.2  
FRONTAGE LENGTH (L1) = 74.5FT

FRONTAGE OF SIDE FACING HARVARD AVE > 30FT. USE 30FT FOR  
W2 VALUE PER CBC 506.3.2  
FRONTAGE LENGTH = 84FT

FRONTAGE OF SIDE FACING ALTO LN. = 28FT  
W3 = 28FT  
FRONTAGE LENGTH = 74.5FT

TOTAL PERIMETER OF BUILDING (P) EQUATION 5-4  
 $P = 74.5 + 84 + 74.5 = 233$   
 $W = (74.5 \times 30 + 84 \times 30 + 74.5 \times 30) / 233 = 30$   
PERCENTAGE OF PERIMETER FACING PUBLIC WAY:  
 $= 233 \text{ FT} / 327.5 \text{ FT} = 71\%$  CBC 506.3.1

CBC 506.3.3 AMOUNT OF INCREASE FOR FRONTAGE  
BUILDING PERMITTER (P) = 327.5  
 $P = (233 \times 0.75 + 29,150) / 30$   
 $P = 711.25$   
 $P = 46\%$

**MIXED USE OCCUPANCY PER CBC 506.2.4 EQUATION 5-3**  
**ALLOWABLE AREA PER FLOOR**  
FIRST FLOOR S-2 OCCUPANCY = 40,500 SF  
FIRST FLOOR M OCCUPANCY = 27,000 SF  
SECOND FLOOR R-2 OCCUPANCY = 21,000 SF  
THIRD FLOOR R-2 OCCUPANCY = 21,000 SF  
**EXPOSED AREA PER FLOOR**  
FIRST FLOOR S-2 OCCUPANCY = 4,426.5 GFA  
FIRST FLOOR M OCCUPANCY = 2,015 GFA  
SECOND FLOOR R-2 OCCUPANCY = 5,312.5 GFA  
TERRACES = 977 GFA  
THIRD FLOOR R-2 OCCUPANCY = 2,920 GFA  
TERRACES = 2,364.75

**FIRST FLOOR S-2 OCCUPANCY**  
At = 40,500  
Ns = 13,500  
It = 46%  
Aa =  $(40,500 + (13,500 \times 46)) = 46,710 \text{ SF}$

**FIRST FLOOR M OCCUPANCY**  
At = 27,000  
Ns = 9,000  
It = 46%  
Aa =  $(27,000 + (9,000 \times 46)) = 31,140 \text{ SF}$

**SECOND FLOOR R-2 OCCUPANCY**  
At = 21,000  
Ns = 7,000  
It = 46%  
Aa =  $(21,000 + (7,000 \times 46)) = 24,220$

**THIRD FLOOR R-2 OCCUPANCY**  
At = 21,000  
Ns = 7,000  
It = 46%  
Aa =  $(21,000 + (7,000 \times 46)) = 24,220$

**NOTE:** THE TOTAL BUILDING AREA INCLUDING THE TERRACES IS 18,015 GFA. THIS IS BELOW WHAT IS PERMITTED FOR A R-2 BUILDING PER TABLE 506.2 WHICH ALLOWS 21,000 SF. BECAUSE THIS IS A MIXED-USE BUILDING IT IS REQUIRED TO CALCULATE THE ALLOWABLE AREA PER CBC 506.2.4. THE EQUATION FOR THIS METHOD INCLUDES (H) FOR AN INCREASE FOR FRONTAGE (CALCULATOR SHOWN ABOVE). ALTERNATIVELY IF THE ALLOWABLE FRONTAGE INCREASE (H) IS SET TO ZERO THEN INCREASE FOR FRONTAGE IS NOT NEEDED.  
Aa =  $(21,000 + (7,000 \times 0)) = 21,000 \text{ SF ALLOWABLE AREA.}$

## PROJECT DIRECTORY

**OWNER:** JAYA PANCHOLY • RANJEET PANCHOLY  
8 SANDPIPER  
IRVINE, CA 92604  
408-930-2336

**ARCHITECT:** LEVY ART + ARCHITECTURE  
1501 MARPOSA ST, STE 316  
SAN FRANCISCO, CA 94107  
415-641-7320

**MECHANICAL ENGINEER:** LITZENBERGER ENGINEERING INC.  
30007 DANVILLE BLVD. #209  
ALAMO, CA 94507  
925-899-7462

**T24:** ALTERNATIVE ENERGY SYSTEMS  
3235 N. VERDUGO RD  
GLENDALE, CA 91208  
818-957-7733

## PROJECT ADDRESS

115 EL CAMINO REAL, MENLO PARK, CA 94025

## ZONING

APN: 071 - 433 - 330 OCCUPANCY: S-2, M, R-2  
MUNICIPAL ZONING: SP-ECR/D CONSTRUCTION TYPE: VB  
ECR: SW SPRINKLER SYSTEM: YES  
LAND USE: MIXED USE / RESIDENTIAL TYPE 13  
# RESIDENTIAL UNITS: 4

## BUILDING AREA (GROSS SQFT)

CONDITIONED AREA	PROPOSED
FIRST FLOOR:	2015 SF
SECOND FLOOR:	5312 SF
THIRD FLOOR:	2920 SF
TOTAL:	10620 SF
UNCONDITIONED AREA	PROPOSED
GARAGE:	4426.5 SF
SECOND FLOOR DECK:	977 SF
THIRD FLOOR DECK:	2364.75 SF

## BUILDING AREA PER OCCUPANCY:

S-2: 4426.5 SQ FT  
M: 1592 SQ FT  
R-2: 6459 SQ FT

## VICINITY MAP



#	REVISIONS	BY
1	12.04.2024	POD

PROPOSED



1501 MARPOSA STREET,  
STE 316  
SAN FRANCISCO, CA 94107  
415.641.7320  
levyaaa.com



115 EL CAMINO  
MENLO PARK, CA 94025

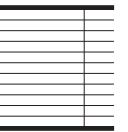
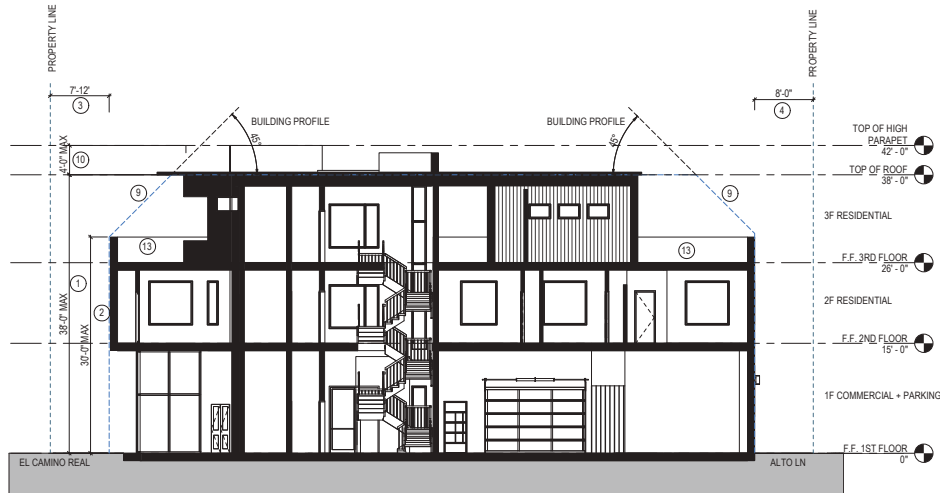
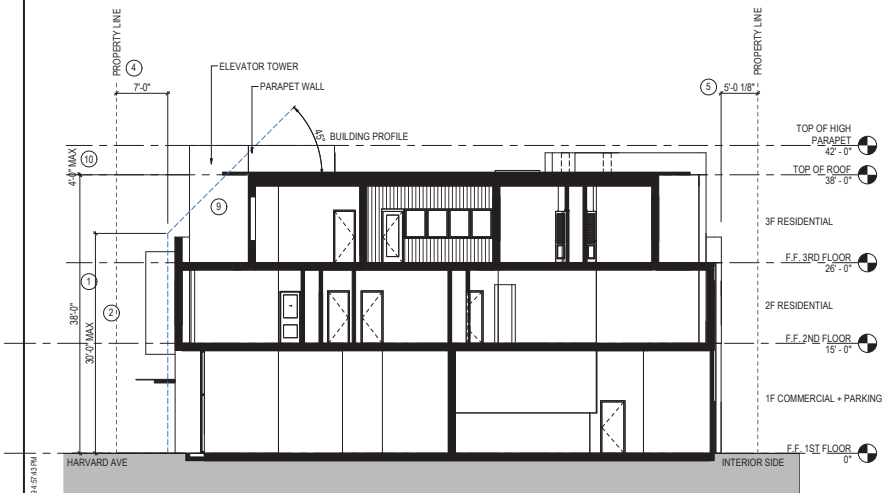
Description	DATE
TITLE SHEET	05.05.25
Scale	
Drawn	POD/MJT
Job	115 EL CAMINO
Sheet	

G0.1

ECR SPECIFIC PLAN LAND USE + BUILDING CHARACTER ANALYSIS: ECR SW



- ① BUILDING HEIGHT: 38' WITH 4' PARAPET PROJECTION
- ② FACADE HEIGHT: 30' - 0"
- ③ FRONT SETBACK: 7' - 12"
- ④ SIDE SETBACK: 7' - 12"
- ⑤ INTERIOR SIDE SETBACK: 5'-0"
- ⑥ MINOR BUILDING FACADE MODULATION: AT 50' MIN.
- ⑦ MAJOR BUILDING FACADE MODULATION: N/A
- ⑧ BUILDING BREAK AT 100' MIN: N/A
- ⑨ BUILDING PROFILE
- ⑩ BUILDING PROJECTIONS
- ⑪ ARCHITECTURAL PROJECTIONS
- ⑫ UPPER STORY FACADE LENGTH: N/A
- ⑬ OPEN SPACE



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115 EL CAMINO  
MENLO PARK, CA 94025

Description	
ZONING ANALYSIS	
Date	04/02/2019
Scale	As indicated
Drawn	MJT
Job	115 EL CAMINO
Sheet	

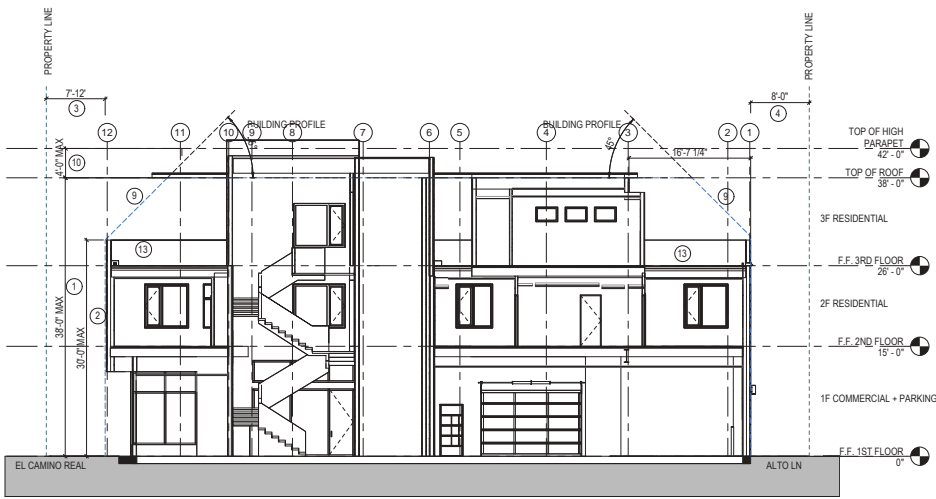
G0.2



ECR SPECIFIC PLAN LAND USE + BUILDING CHARACTER ANALYSIS: ECR SW



- 1 BUILDING HEIGHT: 38' WITH 4' PARAPET PROJECTION
- 2 FACADE HEIGHT: 30' - 0"
- 3 FRONT SETBACK: 7' - 12"
- 4 SIDE SETBACK: 7' - 12"
- 5 INTERIOR SIDE SETBACK: 5'-0"
- 6 MINOR BUILDING FACADE MODULATION: AT 50' MIN.
- 7 MAJOR BUILDING FACADE MODULATION: N/A
- 8 BUILDING BREAK AT 100' MIN: N/A
- 9 BUILDING PROFILE
- 10 BUILDING PROJECTIONS
- 11 ARCHITECTURAL PROJECTIONS
- 12 UPPER STORY FACADE LENGTH: N/A
- 13 OPEN SPACE



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12.04.2024	POD

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115 EL CAMINO  
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Description	
ZONING ANALYSIS	
Date	05.05.25
Scale	As indicated
Drawn	PODMUT
Job	115 EL CAMINO
Sheet	

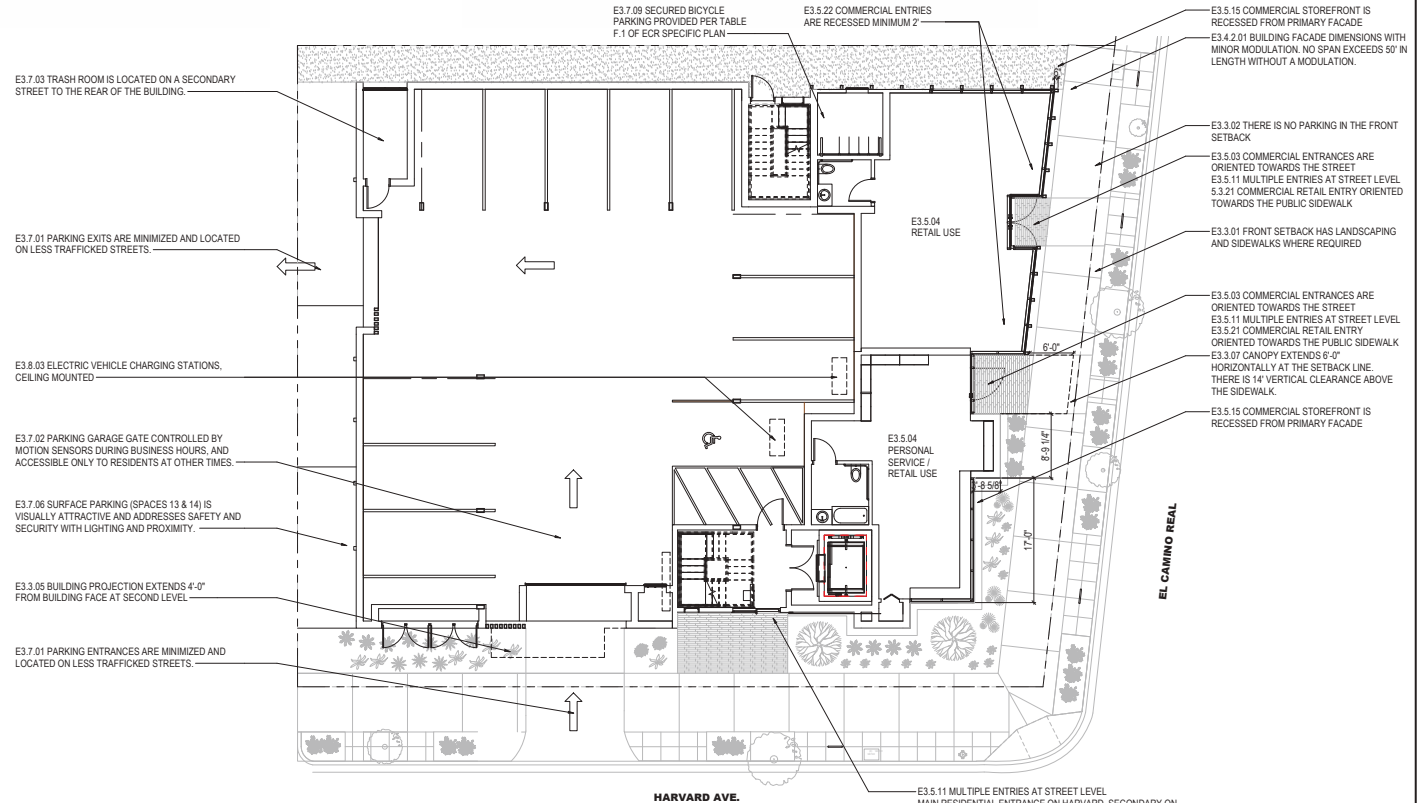
G0.2



3 ELEVATION EAST - FACING EL CAMINO REAL TRANSPARENCY DIAGRAM  
SCALE: 1/8" = 1'-0"



2 ELEVATION SOUTH - FACING HARVARD AVE TRANSPARENCY DIAGRAM  
SCALE: 1/8" = 1'-0"



1 PROPOSED PLAN NOTATED WITH STANDARDS AND GUIDELINES  
SCALE: 1/8" = 1'-0"

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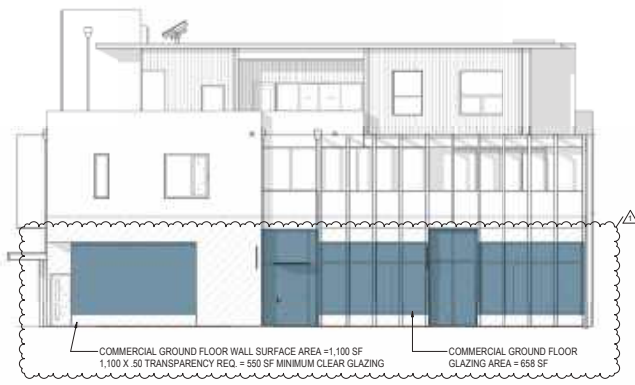
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Description	DATE
E3.3 STANDARDS AND GUIDELINES	04/02/2019
Scale	1/8" = 1'-0"
Drawn	MJT
Job	115 EL CAMINO
Sheet	

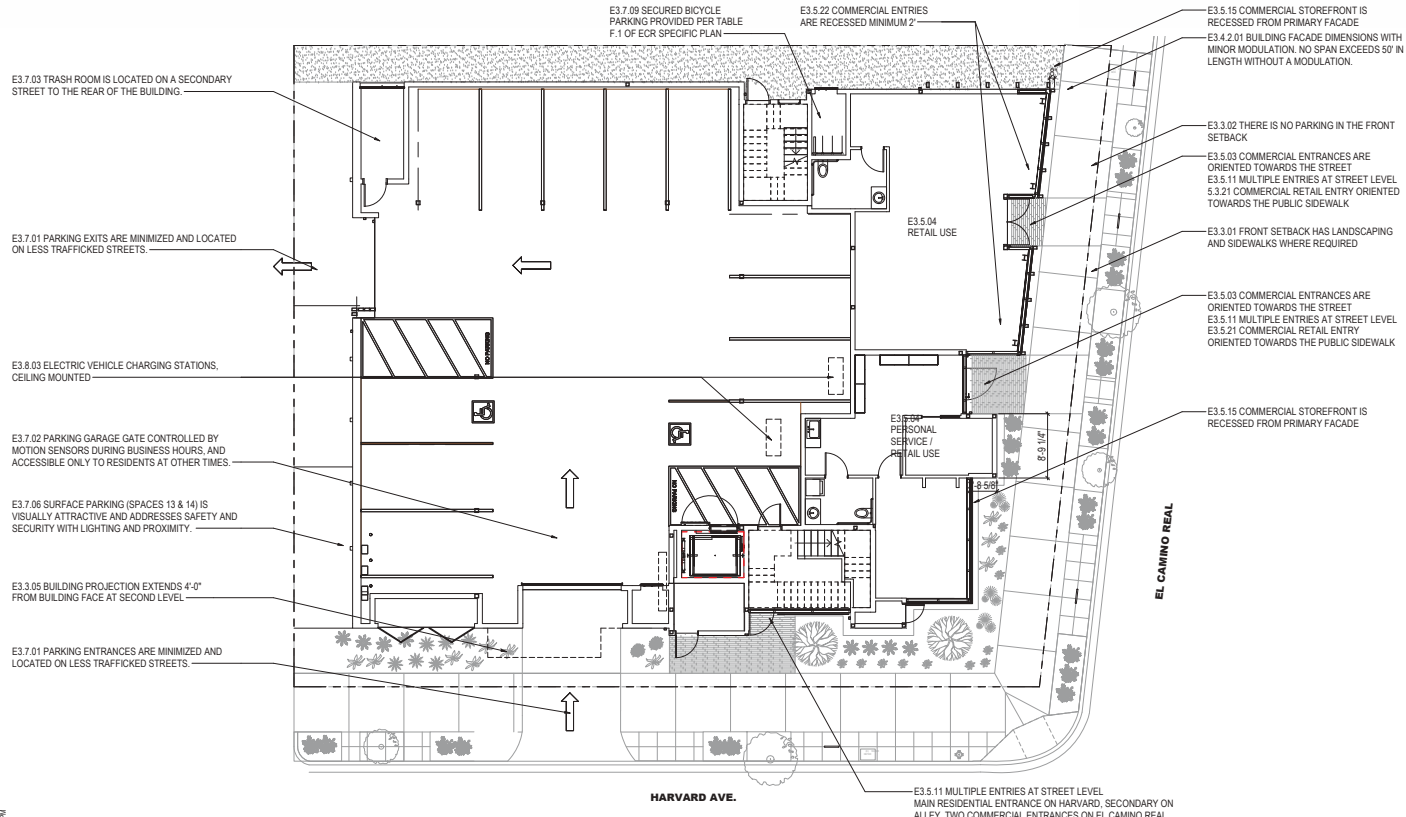
G0.3



3 ELEVATION EAST - FACING EL CAMINO REAL TRANSPARENCY DIAGRAM  
SCALE: 1/8" = 1'-0"



2 ELEVATION SOUTH - FACING HARVARD AVE TRANSPARENCY DIAGRAM  
SCALE: 1/8" = 1'-0"



1 PROPOSED PLAN NOTATED WITH STANDARDS AND GUIDELINES  
SCALE: 1/8" = 1'-0"

PROPOSED CHANGES TO APPROVED ELEVATIONS

ELEVATION SOUTH FACING HARVARD AVE:

APPROVED PERMIT SET SHOWS GROUND FLOOR COMMERCIAL WALL AND RESIDENTIAL LOBBY SURFACE AREA = 367 SF  
367 X .50 TRANSPARENCY REQ. = 183 SF MINIMUM CLEAR GLAZING  
GROUND FLOOR COMMERCIAL AND RESIDENTIAL LOBBY GLAZING SURFACE AREA = 176 SF AS SHOWN IN THE APPROVED PERMIT SET.  
THE 176 SF IS INCORRECT. THE CORRECT AREA AS SHOWN IN THE APPROVED PERMIT SET IS 261 SF OF GLAZING.  
THE PROPOSED CHANGES SHOW A REDUCTION FROM THE 261SF TO 255 SF OF GLAZING WHICH IS STILL WITHIN THE GUIDELINES.  
GROUND FLOOR COMMERCIAL AND RESIDENTIAL LOBBY GLAZING SURFACE AREA = 255 SF AT HARVARD ST SIDE.

ELEVATION EAST FACING ECR: APPROVED PERMIT SET SHOWS:

COMMERCIAL GROUND FLOOR WALL SURFACE AREA = 898 SF  
898 X .50 TRANSPARENCY REQ. = 449 SF MINIMUM CLEAR GLAZING  
COMMERCIAL GROUND FLOOR GLAZING AREA = 658 SF

THE PROPOSED CHANGES SHOW A REDUCTION FROM THE 856 SF OF COMMERCIAL GROUND FLOOR GLAZING AREA TO 658 SF  
PROPOSED COMMERCIAL GROUND FLOOR GLAZING AREA = 658 SF  
COMMERCIAL GROUND FLOOR WALL SURFACE AREA = 1,100 SF  
1,100 X .50 TRANSPARENCY REQ. = 550 SF MINIMUM CLEAR GLAZING

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115 EL CAMINO  
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Description	ECR STANDARDS AND GUIDELINES
Date	05.08.25
Scale	1/8" = 1'-0"
Drawn	PDW/MJT
Job	115 EL CAMINO
Sheet	

**G0.3**

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Description	Building Division Comments
Date	04/02/2019
Scale	1/8" = 1'-0"
Drawn	MJT
Job	115 EL CAMINO
Sheet	

G0.6

PROJECT G-BW-F01A  
JET VENT FANS EC-SERIES | GARAGE VENTILATION

Isometric View

Top View

Side View

**Typical Specifications**

The high velocity jet induction fans shall be of the Jet Vent Fan JVEC Series by JVC-Fans and shall be the model number shown in the submittal drawings. If submittal drawings require, make sure drawings shall be drawn by an EC approved user with integrated EC-control and/or integral thermal/controlled protection. Fan motors shall be configured to control speed according to optional CO, HCl, and/or gas detection, as well as integrated smoke detection. The housing shall incorporate semi-hermetic, designed based fire dampers, shall be constructed of galvanized steel with a light gray powder coated finish, and incorporate an acoustic baffle.

**Performance**

- The induction fan produces significantly greater thrust at much lower (static) head than conventional fans.
- Variable speed EC fan control strategy and fan speed adjustability to adjust the rate of air circulation.
- Variable, according to the concentration levels of CO, HCl, and/or temperature.
- Wide range of variable operating speeds can be further provided to support building design characteristics and load conditions.
- Ultra reliable Ziehl-Abegg EC motor with active protection for thermal overload, locked rotor, and undervoltage.
- EC motor technology allows the use of external VFDs and starters, provides control and monitoring, and soft start.
- Compact, low profile fan designed for applications with low ceiling heights.
- Optional security and detection system for additional protection.

**Weighted Smoke Detection**

Model	Weighted Smoke Detection	Weighted Smoke Detection	Weighted Smoke Detection
JVEC-LP	Weighted Smoke Detection	Weighted Smoke Detection	Weighted Smoke Detection

**Detail Control Matrix**

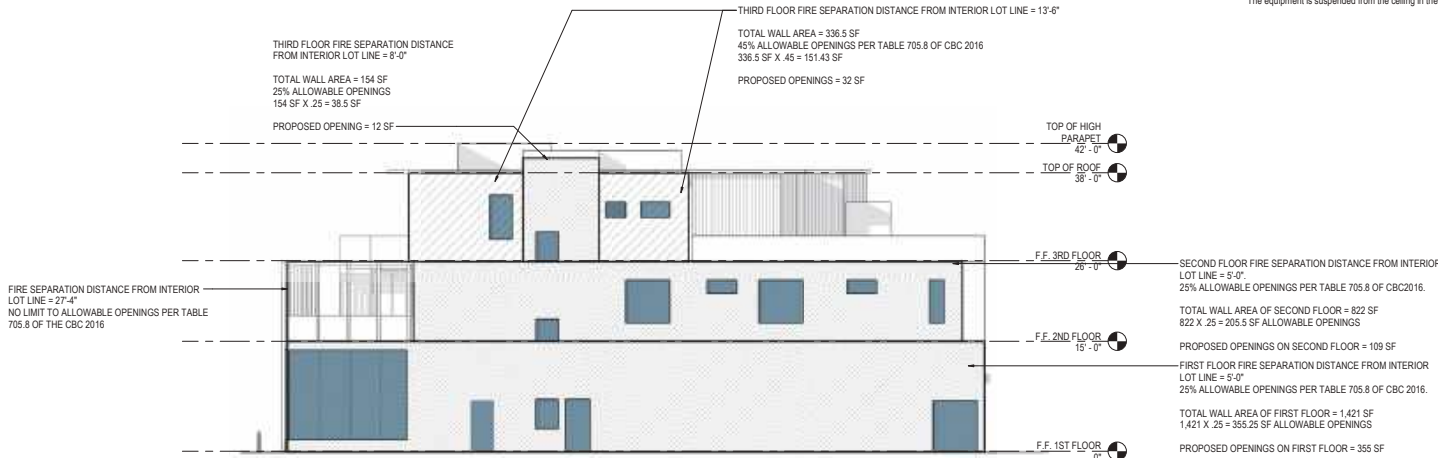
Feature	Weighted Smoke Detection	Weighted Smoke Detection
Weighted Smoke Detection	Weighted Smoke Detection	Weighted Smoke Detection

**Additional Requirements**

Requirement	Weighted Smoke Detection	Weighted Smoke Detection
Weighted Smoke Detection	Weighted Smoke Detection	Weighted Smoke Detection

DUCTLESS GARAGE VENTILATION - MANUFACTURER INFORMATION SHEET

The Jet Fan system has a demand-based (occupancy sensor) with a ventilation rate of 0.75 cfm per ft<sup>2</sup>. This meets the requirements of the 2016 CMC section 403.7.2 and table 403.7. The equipment is suspended from the ceiling in the parking garage.



1 ELEVATION NORTH - INTERIOR SIDE %OPENINGS  
SCALE: 1/8" = 1'-0"



#	REVISIONS	BY
1	12.04.2024	POD
2		
3		
4		
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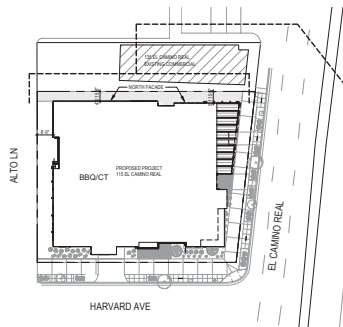
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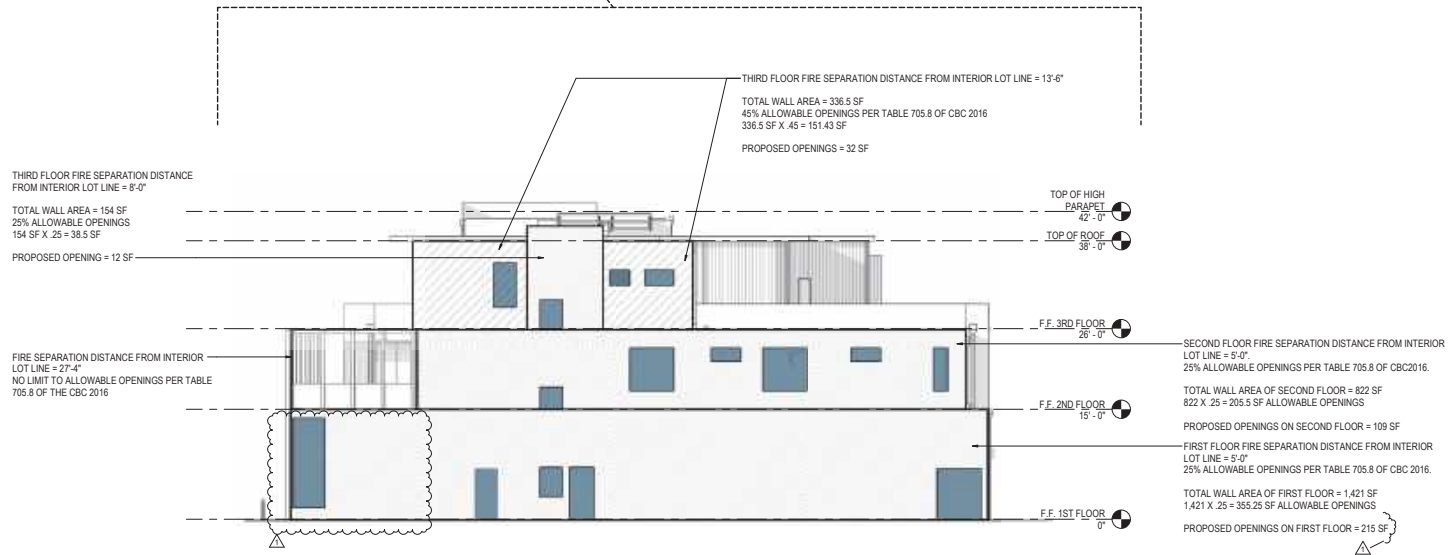
115 EL CAMINO  
MENLO PARK, CA 94025

Description	Building Division Comments
Date	05.05.25
Scale	As indicated
Drawn	POD/MJT
Job	115 EL CAMINO
Sheet	

G0.6



2 SITE PLAN REFERENCE  
SCALE: 1" = 30'-0"



1 ELEVATION NORTH - INTERIOR SIDE %OPENINGS  
SCALE: 1/8" = 1'-0"



## A1.1

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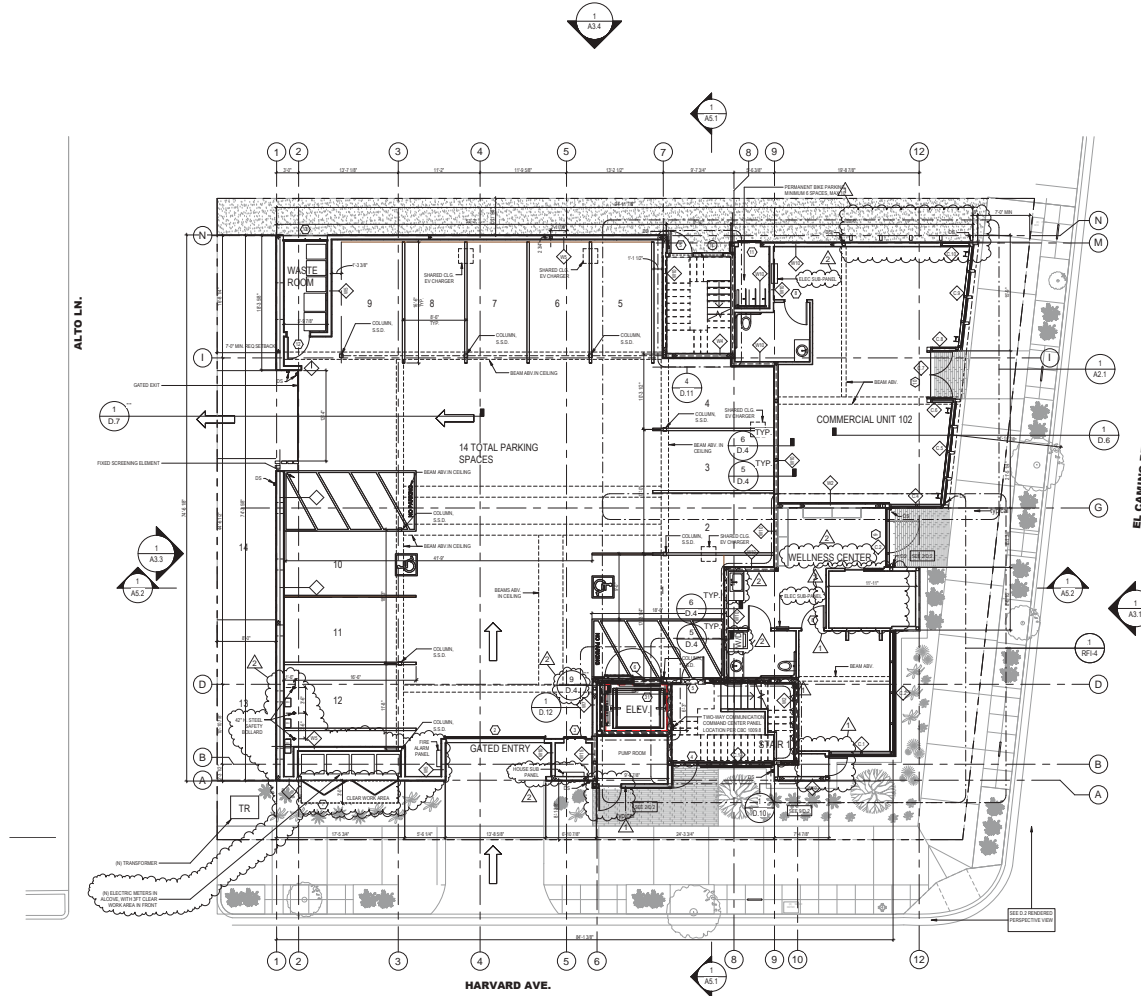
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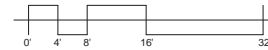
115 EL CAMINO  
MENLO PARK, CA 94025

Description
OVERALL FLOOR PLAN - LEVEL 1
Date 05.05.25
Scale 1/8" = 1'-0"
Drawn PCD/M/KMA
Job 115 EL CAMINO
Sheet

**A1.1**



**1 LEVEL ONE FLOOR PLAN WITH PROPOSED CHANGES**  
SCALE: 1/8" = 1'-0"



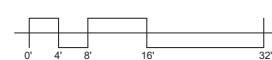
- PROPOSED WALL
- FIRE RATED WALL (1-HOUR U.O.N.)
- DOOR SYMBOL
- WINDOW SYMBOL
- WALL TYPE
- REVISION
- PROPERTY LINE

- REFERENCE GRID LINE
- SECTION REFERENCE SHEET NUMBER
- DETAIL REFERENCE SHEET NUMBER





1 PROPOSED LEVEL TWO FLOOR PLAN  
SCALE: 1/8" = 1'-0"



EXISTING WALL TO REMAIN  
EXISTING WALL TO BE REMOVED  
PROPOSED WALL  
FIRE RATED WALL (1-HOUR U.O.N.)



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Description	OVERALL FLOOR PLAN - LEVEL 2
Date	04/02/2019
Scale	1/8" = 1'-0"
Drawn	MLT
Job	115 EL CAMINO
Sheet	

A1.2



#	REVISIONS	BY
1	03.18.2025	KMA
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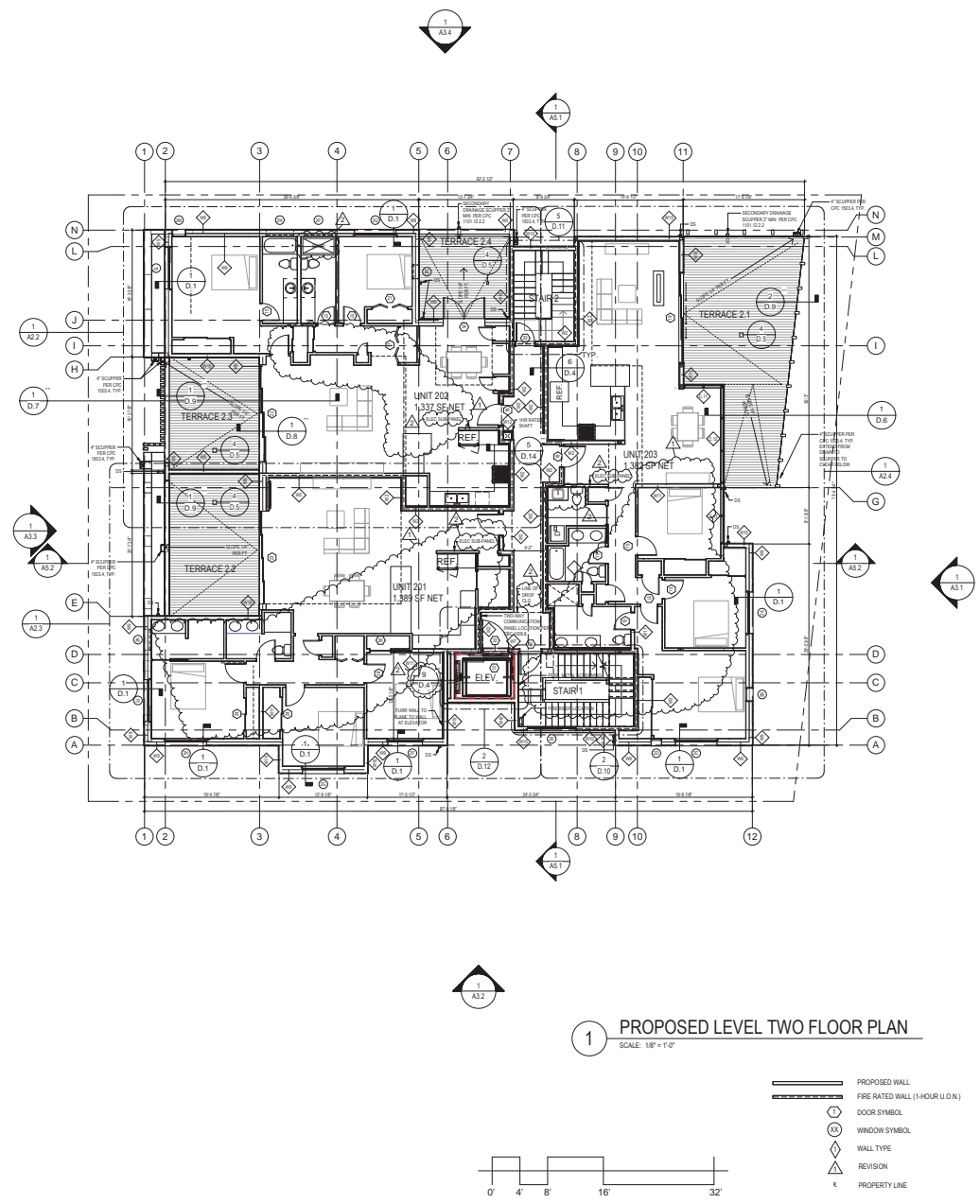
415.641.7320  
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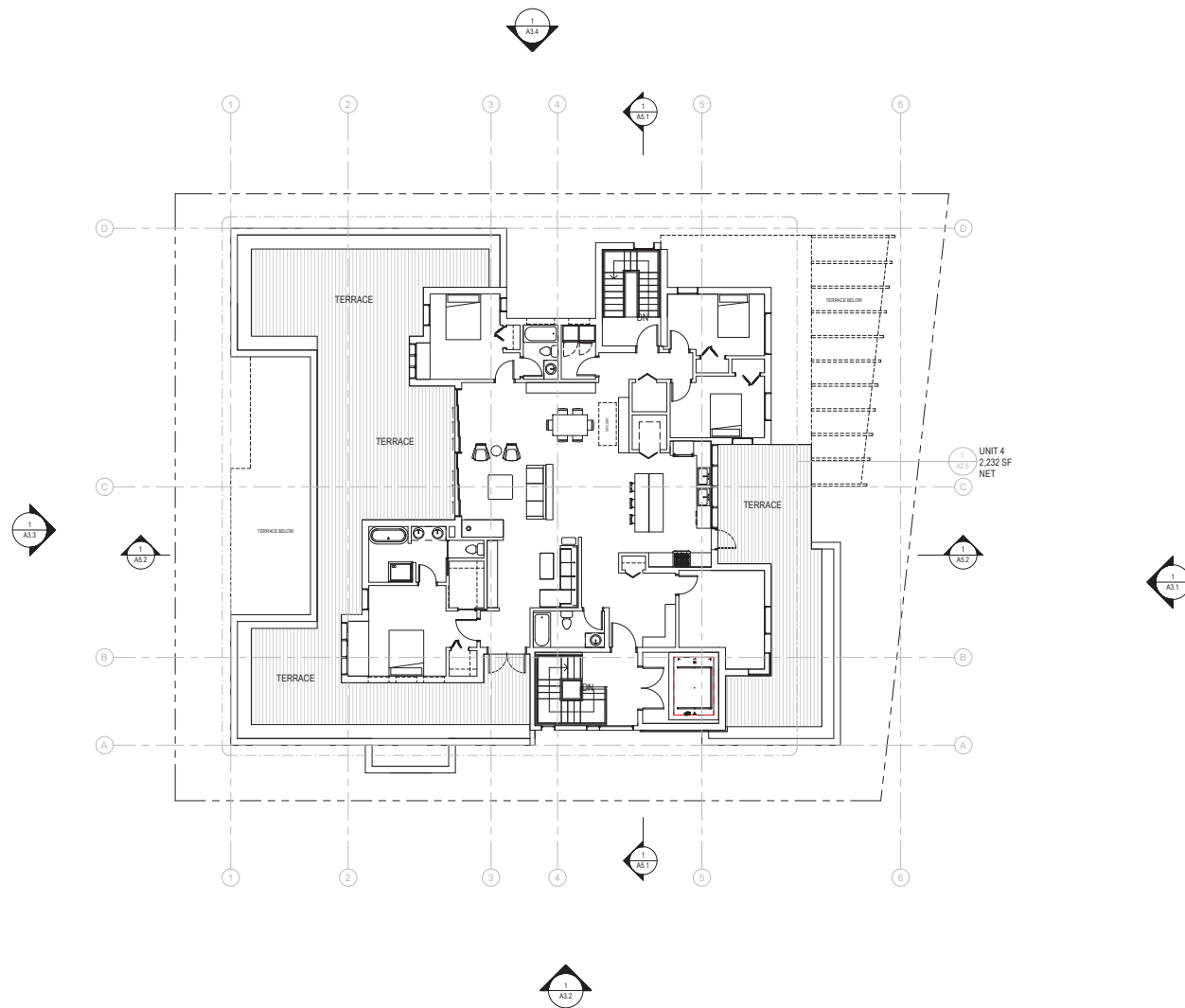


**115 EL CAMINO  
MENLO PARK, CA 94025**

Description OVERALL FLOOR PLAN - LEVEL 2	
Date	05.05.25
Scale	1/8" = 1'-0"
Drawn	PCD/MUT/KMA
Job	115 EL CAMINO
Sheet	

**A1.2**





**1** PROPOSED LEVEL THREE FLOOR PLAN  
SCALE: 1/8" = 1'-0"



- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- PROPOSED WALL
- FIRE RATED WALL (1-HOUR U.O.N.)



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115 EL CAMINO  
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Description	
OVERALL FLOOR PLAN - LEVEL 3	
Date	04/02/2019
Scale	1/8" = 1'-0"
Drawn	Author
Job	115 EL CAMINO
Sheet	

**A1.3**

REVISIONS	BY
03.18.2025	KMA
12.04.2024	POD

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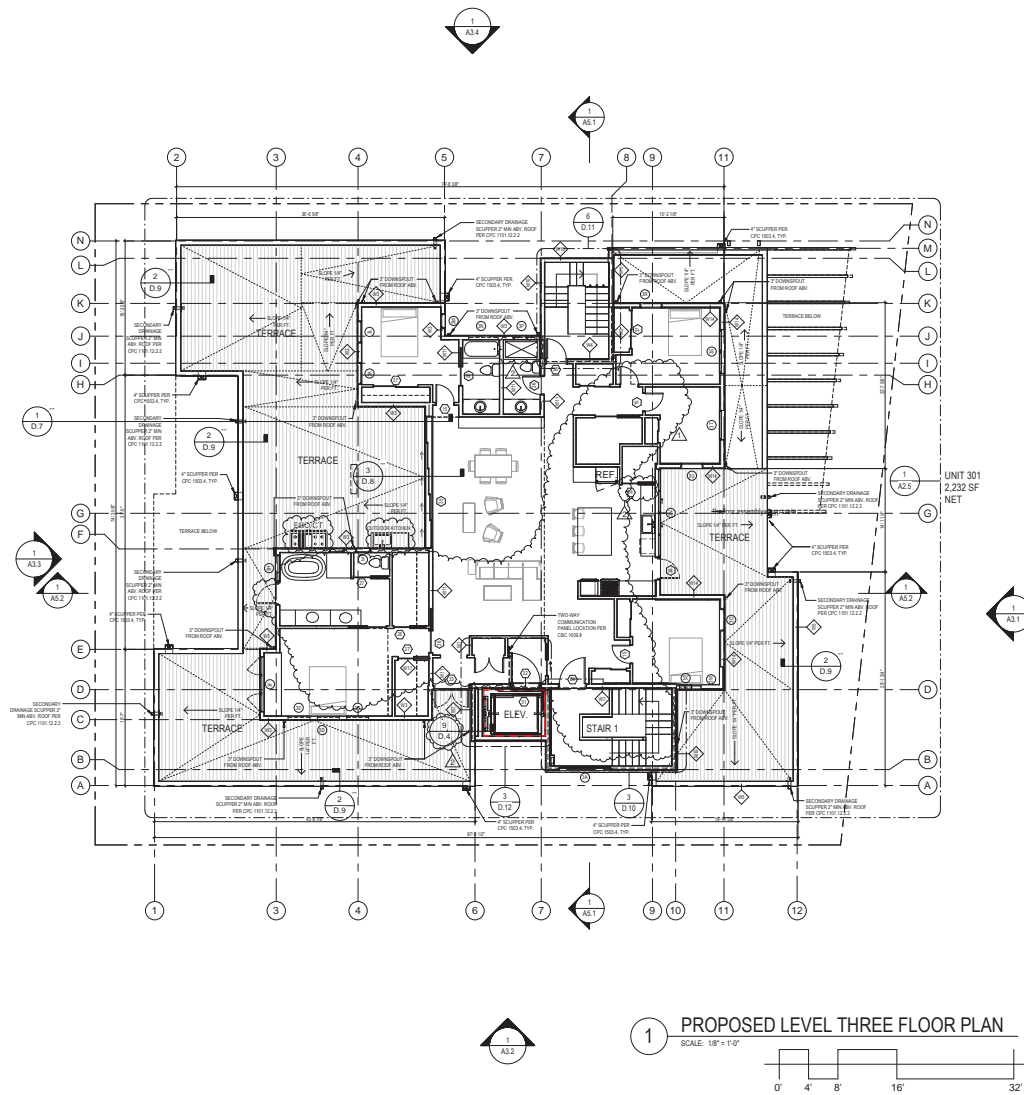
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STE 310  
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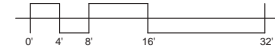
115 EL CAMINO  
MENLO PARK, CA 94025

Description	
OVERALL FLOOR PLAN - LEVEL 3	
Date	05.05.25
Scale	1/8" = 1'-0"
Drawn	PODMUTAKMA
Job	115 EL CAMINO
Sheet	

A1.3



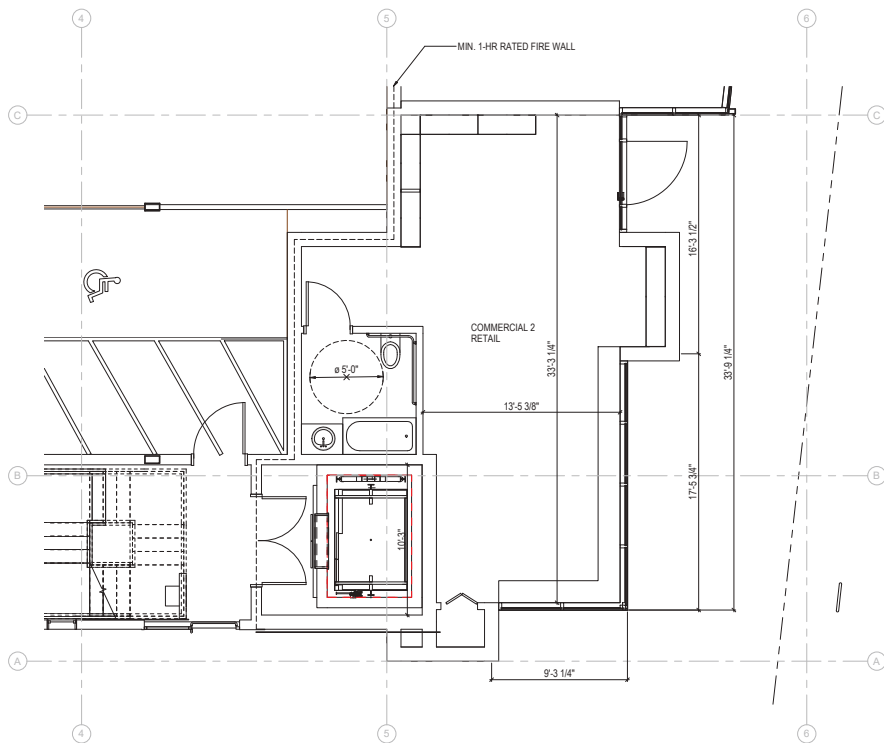
1 PROPOSED LEVEL THREE FLOOR PLAN  
SCALE: 1/8" = 1'-0"



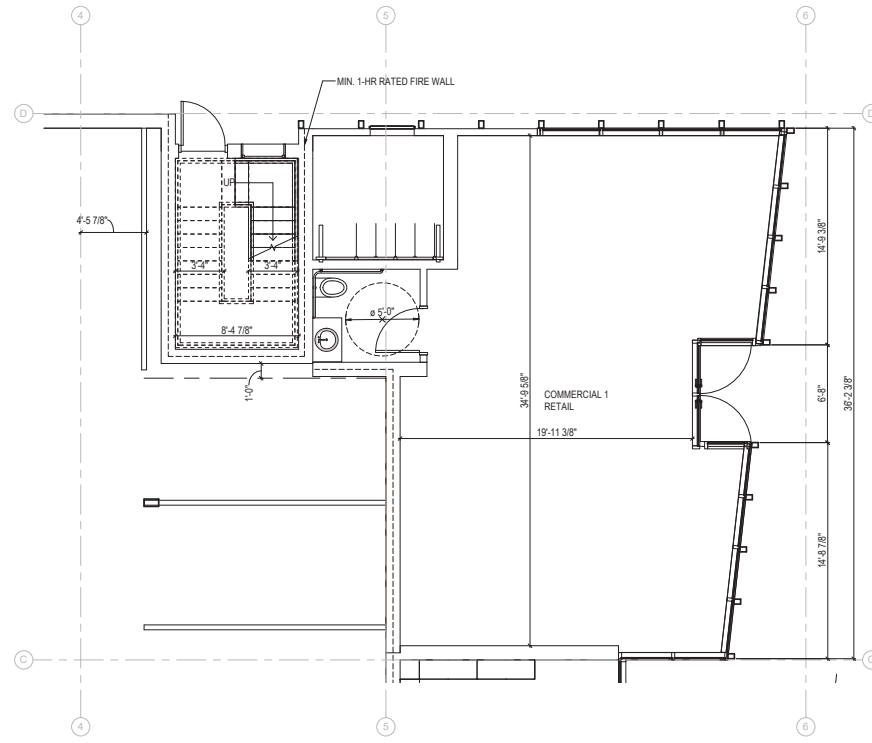
- PROPOSED WALL
- FIRE RATED WALL (1 HOUR U.O.N.)
- DOOR SYMBOL
- WINDOW SYMBOL
- WALL TYPE
- REVISION
- PROPERTY LINE

- REFERENCE GRID LINE
- SECTION REFERENCE SHEET NUMBER
- DETAIL REFERENCE SHEET NUMBER





2 LEVEL ONE COMMERCIAL 2 FLOOR PLAN  
SCALE: 1/4" = 1'-0"



1 LEVEL ONE COMMERCIAL 1 FLOOR PLAN  
SCALE: 1/4" = 1'-0"



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115 EL CAMINO  
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Description	DILATED COMMERCIAL UNIT
Drawn	DLJ
Date	04/02/2019
Scale	1/4" = 1'-0"
Drawn	DLJ
Job	115 EL CAMINO
Sheet	

A2.1



#	REVISIONS	BY
1	03.18.2025	KMA
2	12.04.2024	PCD

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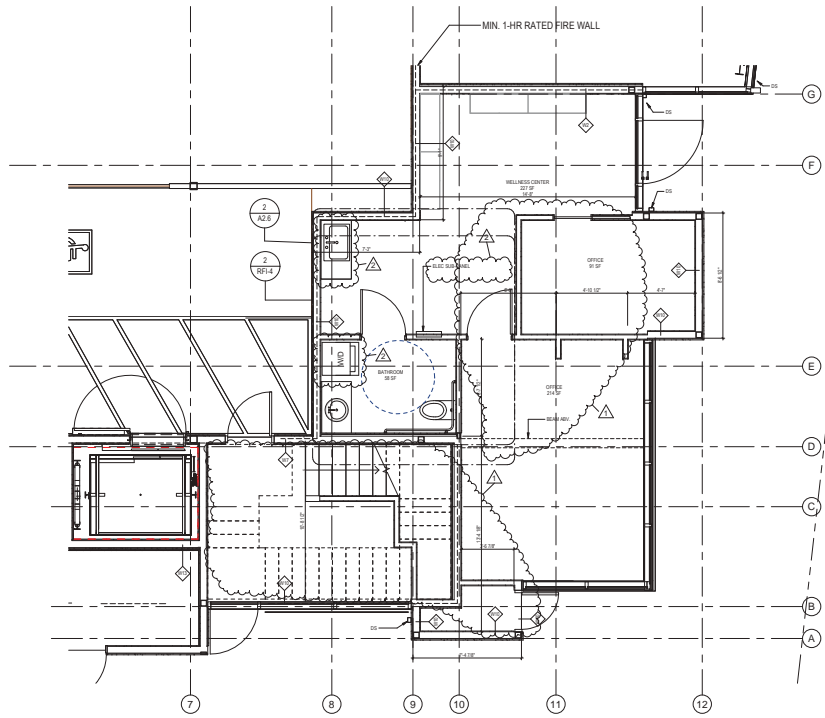
1501 MARIPOSA STREET,  
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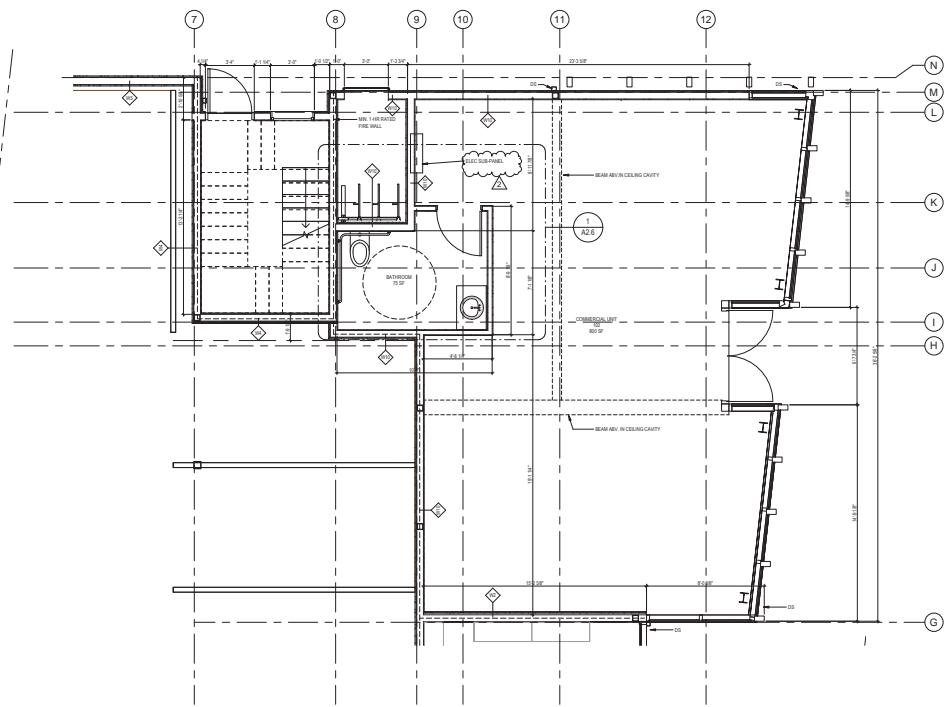
115 EL CAMINO  
MENLO PARK, CA 94025

Description	COMMERCIAL UNIT PLANS
Date	05.05.25
Scale	1/4" = 1'-0"
Drawn	PCD/MIT/KMA
Job	115 EL CAMINO
Sheet	

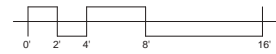
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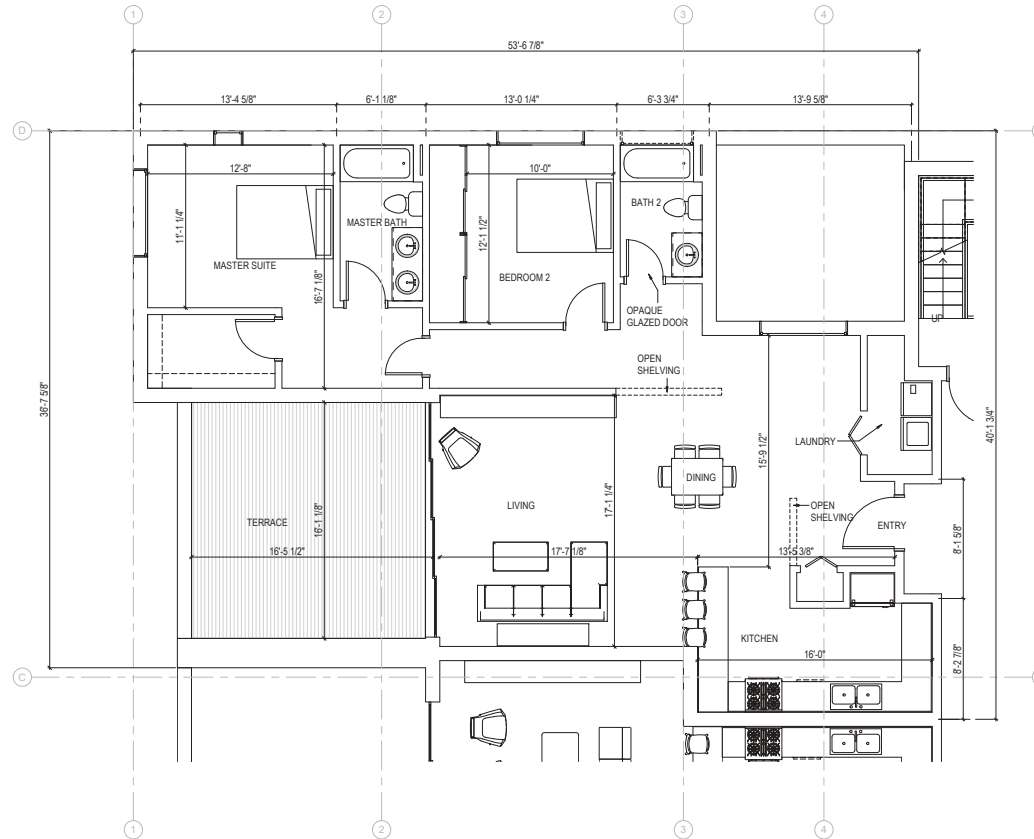


2 LEVEL ONE COMMERCIAL UNIT 101 FLOOR PLAN  
SCALE: 1/4" = 1'-0"

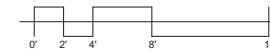


1 LEVEL ONE COMMERCIAL UNIT 102 FLOOR PLAN  
SCALE: 1/4" = 1'-0"





**1 LEVEL TWO UNIT 1 FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



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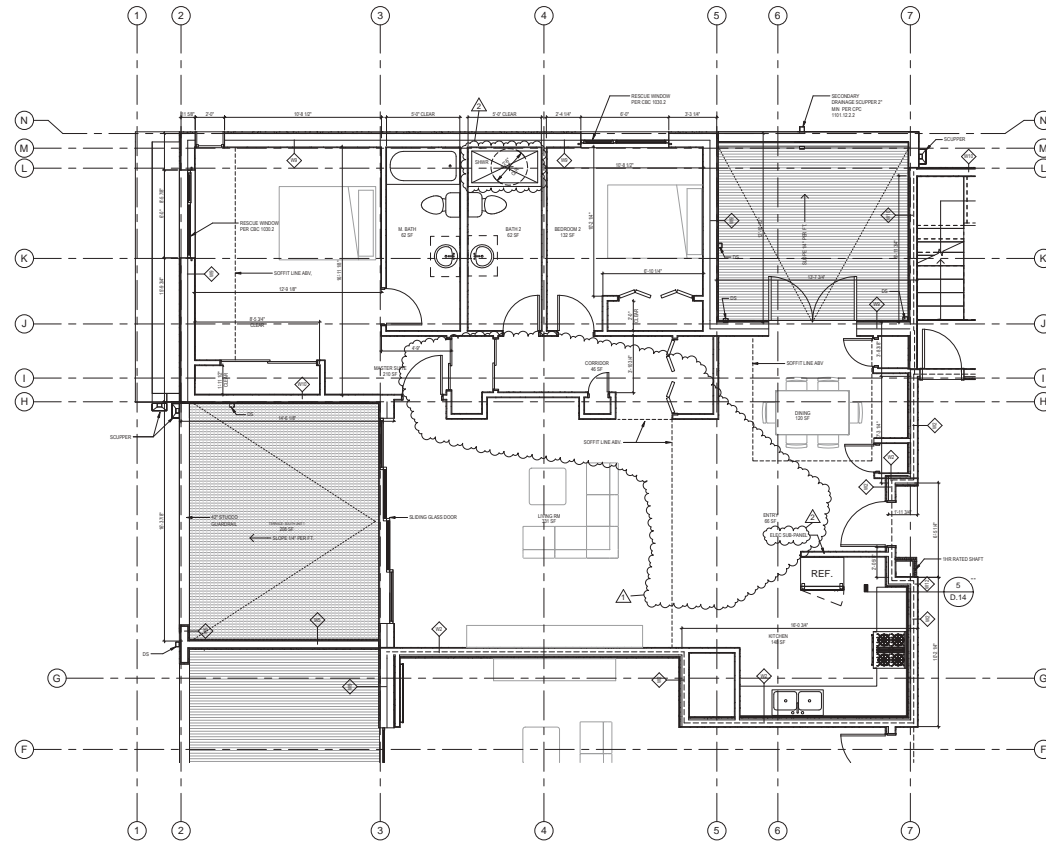


115 EL CAMINO  
MENLO PARK, CA 94025

Description	
ENLARGED UNIT 1 PLAN	
Date	04/02/2019
Scale	1/4" = 1'-0"
Drawn	MLT
Job	115 EL CAMINO
Sheet	

**A2.2**

#	REVISIONS	BY
1	03.18.2025	KMA
2	12.04.2024	PCD



1 LEVEL TWO UNIT 202 FLOOR PLAN  
SCALE: 1/4" = 1'-0"

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**LEVY**  
ART + ARCHITECTURE

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STE 310  
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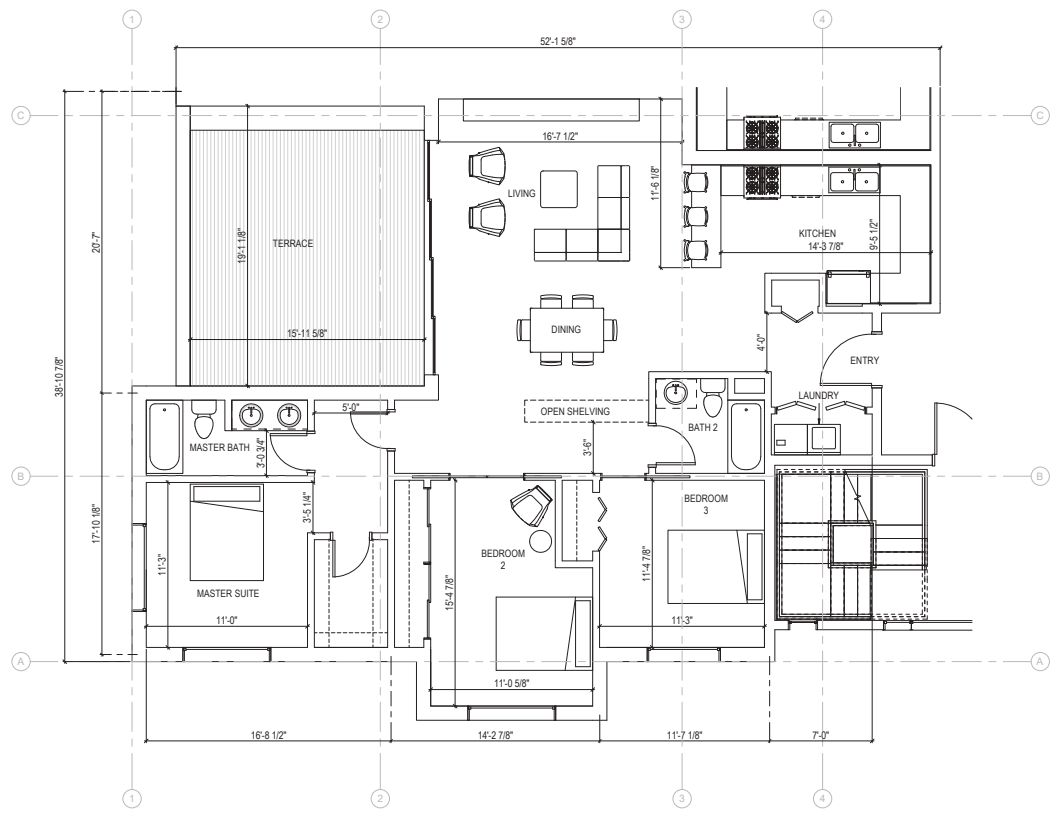
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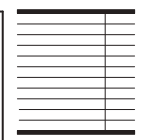
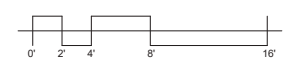
115 EL CAMINO  
MENLO PARK, CA 94025

Description	ENLARGED UNIT 202 PLAN
Date	05.06.25
Scale	1/4" = 1'-0"
Drawn	PD00/MIT/KMA
Job	115 EL CAMINO
Sheet	

**A2.2**



**1 LEVEL TWO UNIT 2 FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



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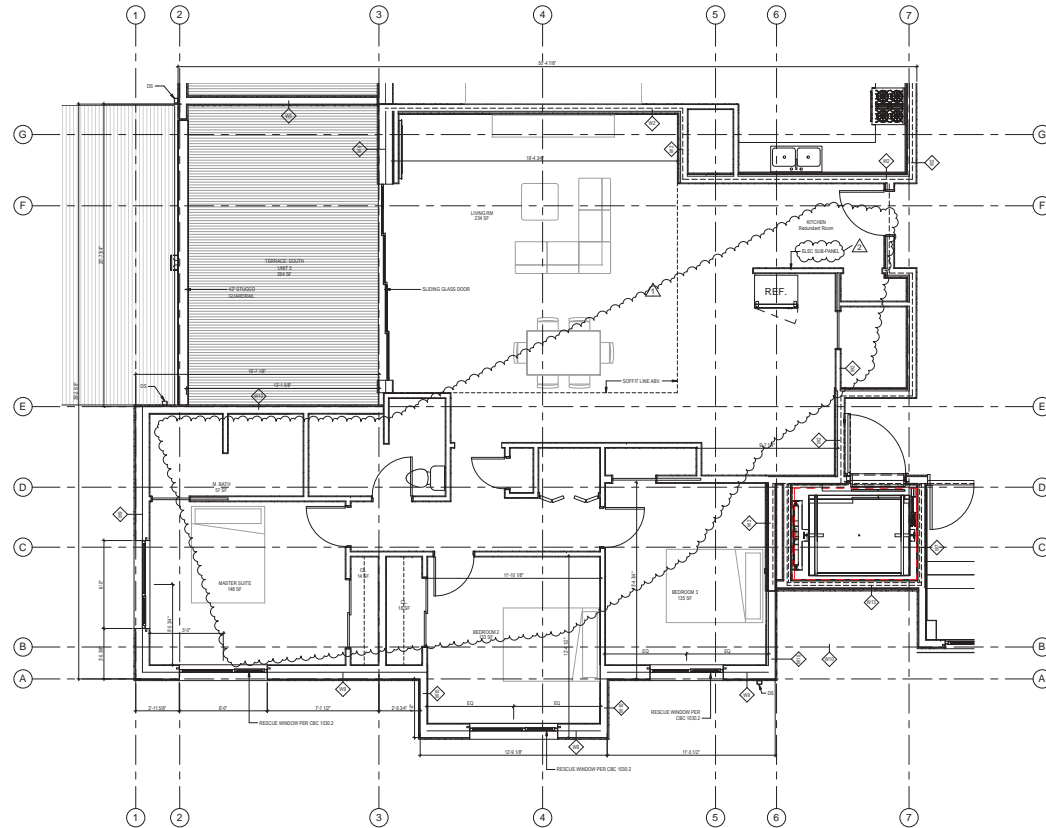
115 EL CAMINO  
MENLO PARK, CA 94025

Description	ENLARGED UNIT 2 PLAN
Date	04/02/2019
Scale	1/4" = 1'-0"
Drawn	MJT
Job	115 EL CAMINO
Sheet	

**A2.3**



#	REVISIONS	BY
1	03.18.2025	KMA
2	12.04.2024	POD



1 LEVEL TWO UNIT 201 FLOOR PLAN  
SCALE: 1/4" = 1'-0"



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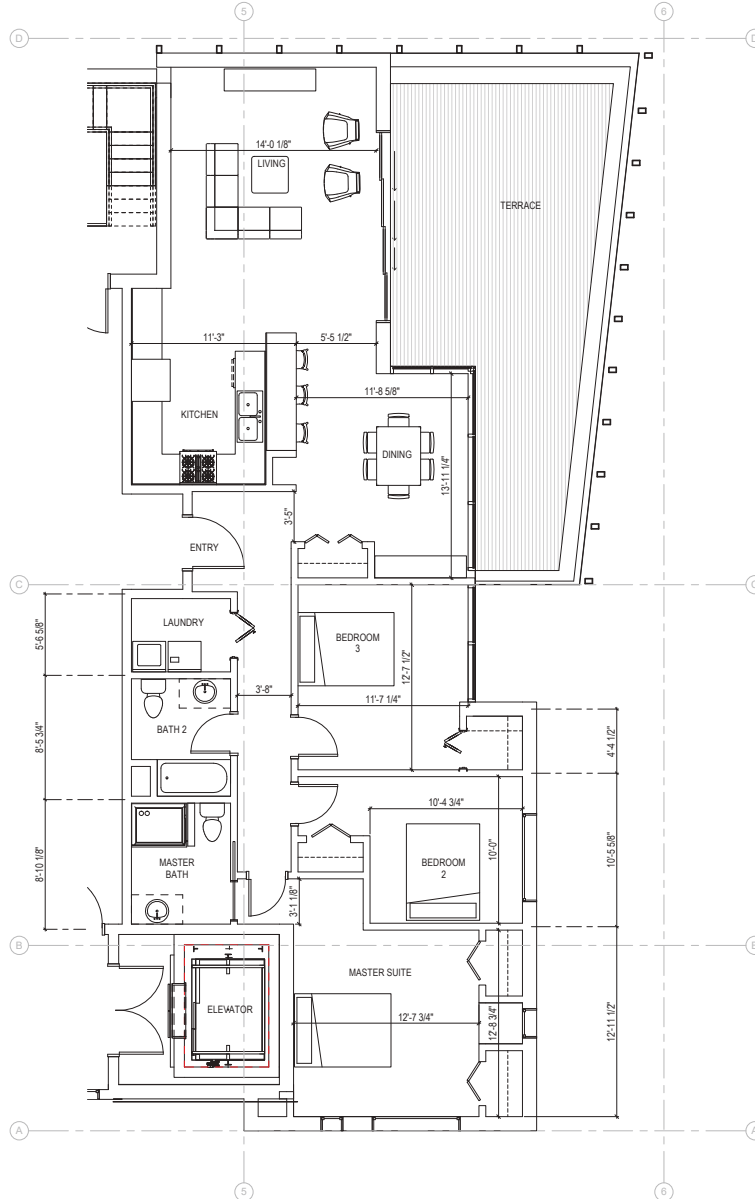
1501 MARIPOSA STREET,  
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Description	ENLARGED UNIT 201 PLAN
Date	05.05.25
Scale	1/4" = 1'-0"
Drawn	POD/MUT/KMA
Job	115 EL CAMINO
Sheet	

A2.3



1 LEVEL TWO UNIT 3 FLOOR PLAN  
SCALE: 1/4" = 1'-0"



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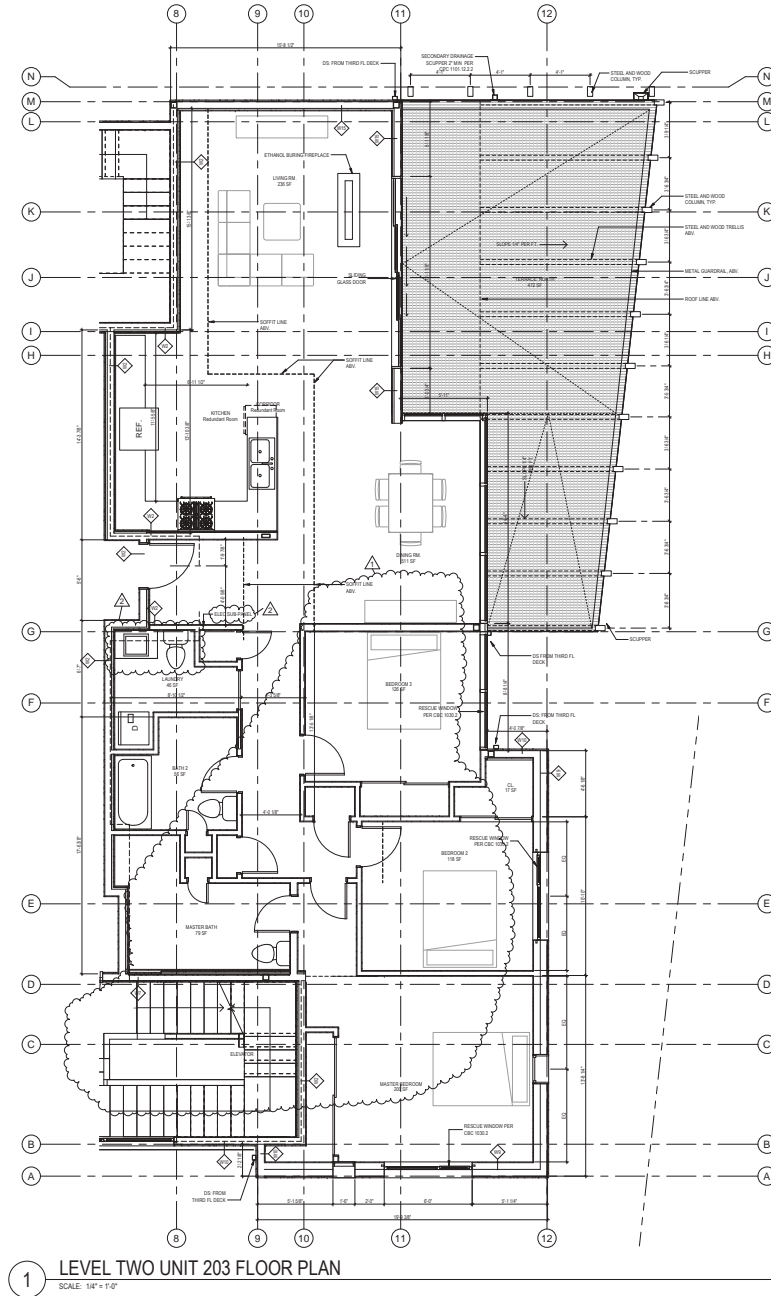
115 EL CAMINO  
MENLO PARK, CA 94025

Description	ENLARGED UNIT 3 PLAN
Date	04/02/2019
Scale	1/4" = 1'-0"
Drawn	MLT
Job	115 EL CAMINO
Sheet	

A2.4

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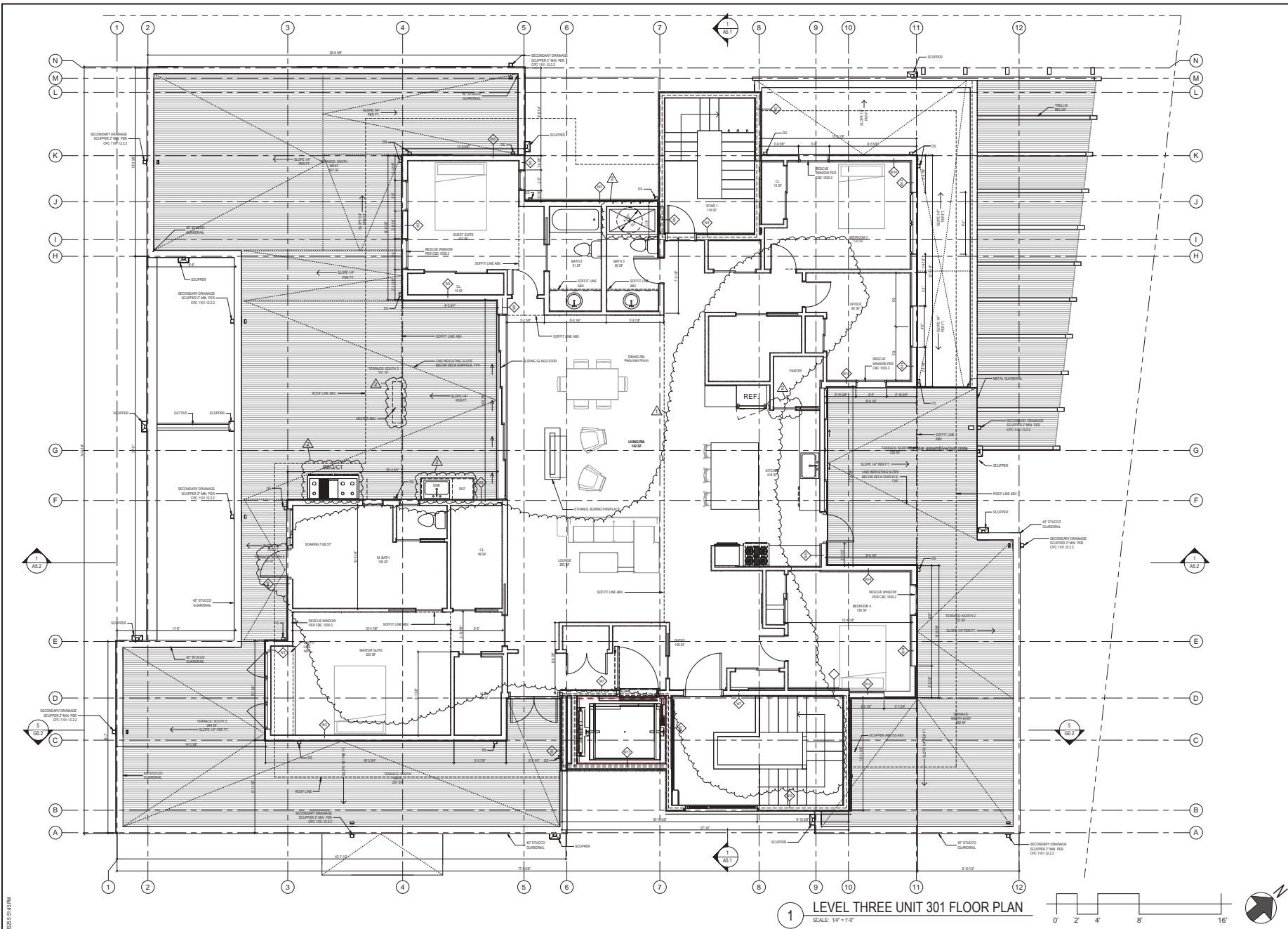
115 EL CAMINO  
MENLO PARK, CA 94025

Description	ENLARGED UNIT 203 PLAN
Date	05.05.25
Scale	1/4" = 1'-0"
Drawn	PD/M/TK/M
Job	115 EL CAMINO
Sheet	

**A2.4**







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115 EL CAMINO  
MENLO PARK, CA 94025

Description	
ENLARGED UNIT 301 PLAN	
Date	05.06.25
Scale	1/4" = 1'-0"
Drawn	PD/M/TK/M
Job	115 EL CAMINO
Sheet	

A2.5



1 ELEVATION EAST - FACING EL CAMINO REAL  
SCALE: 1/4" = 1'-0"

APPROVED



LEVY  
ART + ARCHITECTURE

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SAN FRANCISCO, CA 94108  
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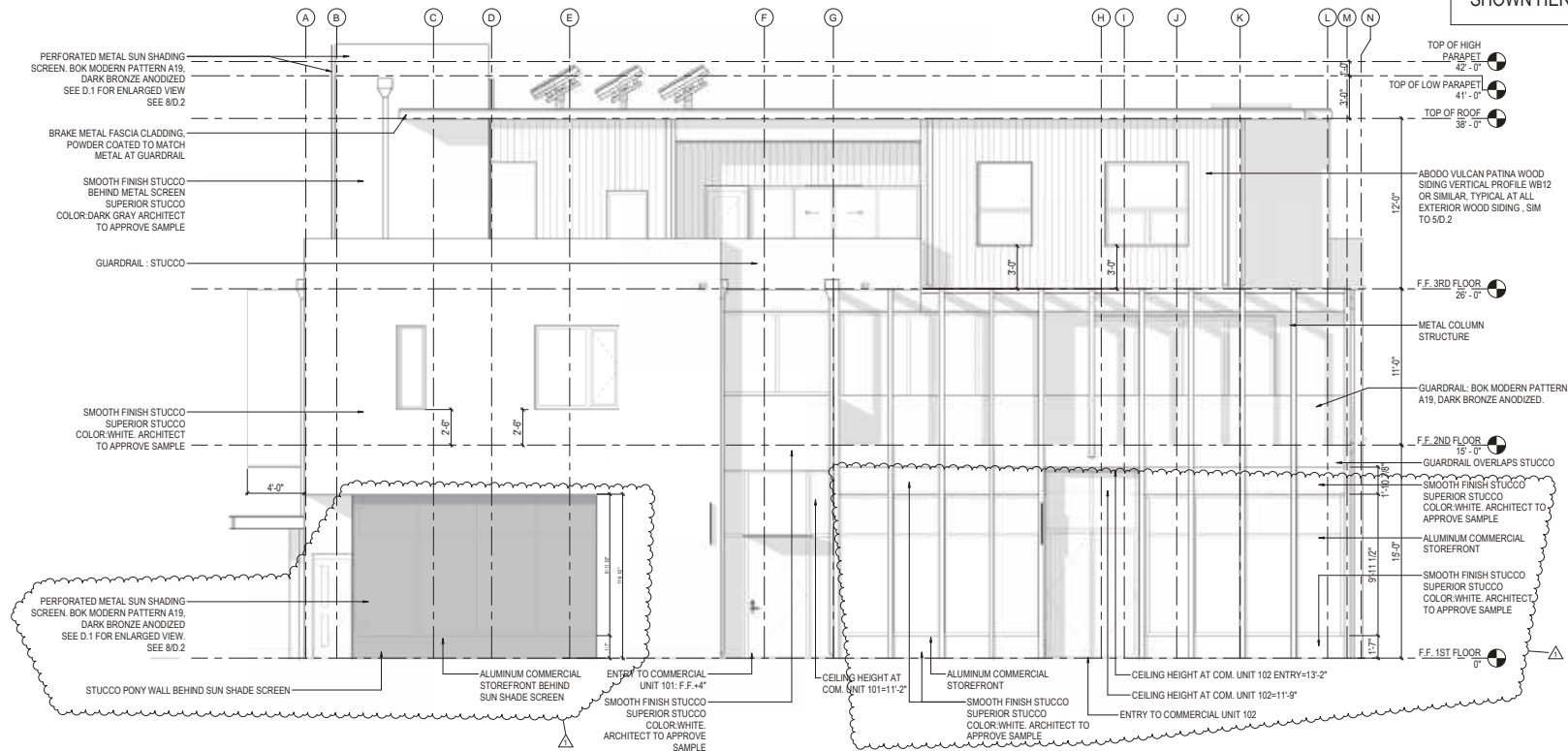
115 EL CAMINO  
MENLO PARK, CA 94025

Description	PROPOSED EXTERIOR ELEVATION
Date	04/02/2019
Scale	1/4" = 1'-0"
Drawn	MJT
Job	115 EL CAMINO
Sheet	

A3.1

# PROPOSED CHANGES TO APPROVED ELEVATIONS

- REDUCED HEIGHT OF GLASS TO IMPROVE SAFETY AND TO ALIGN THE EXTERIOR GLAZING HEIGHT TO INTERIOR CEILING HEIGHT.
- WINDOW OPENINGS ARE THE SAME AS APPROVED PLANNING SET. THAT APPROVED SET DID NOT INCLUDE SPECIFIC DIVISIONS WITHIN THOSE OPENINGS, THE APPROVED BUILDING SET AND WINDOWS AS INSTALLED ARE AS SHOWN HERE.



1 ELEVATION EAST - FACING EL CAMINO REAL-PROPOSED CHANGES  
SCALE: 1/4" = 1'-0"

REVISIONS	BY
12.04.2024	PCD

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115 EL CAMINO  
MENLO PARK, CA 94025

Description	ELEVATION
Date	05.05.25
Scale	1/4" = 1'-0"
Drawn	PCD/MJT
Job	115 EL CAMINO
Sheet	

**A3.1**



1 ELEVATION SOUTH - FACING HARVARD AVE  
SCALE: 1/4" = 1'-0"

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115 EL CAMINO  
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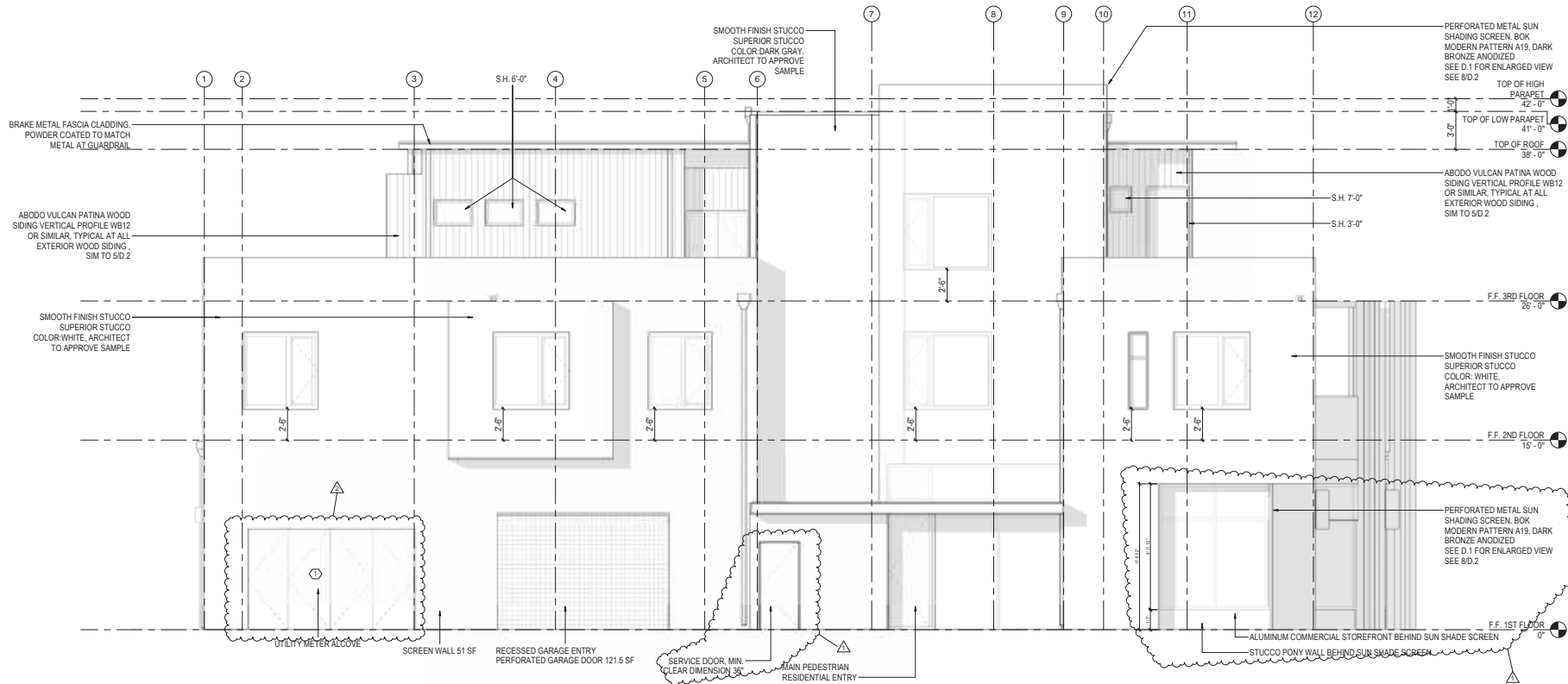
Description	PROPOSED EXTERIOR ELEVATION
Date	04/02/2019
Scale	1/4" = 1'-0"
Drawn	MJT
Job	115 EL CAMINO
Sheet	

A3.2

#	REVISIONS	BY
1	03.18.2025	KMA
2	12.04.2024	PCD

## PROPOSED CHANGES TO APPROVED ELEVATIONS

- REDUCED HEIGHT OF GLASS TO IMPROVE SAFETY AND TO ALIGN THE EXTERIOR GLAZING HEIGHT TO INTERIOR CEILING HEIGHT.
- ADDED SERVICE DOOR FOR ELEVATOR EQUIPMENT ACCESS.
- WINDOW OPENINGS ARE THE SAME AS APPROVED PLANNING SET. THAT APPROVED SET DID NOT INCLUDE SPECIFIC DIVISIONS WITHIN THOSE OPENINGS, THE APPROVED BUILDING SET AND WINDOWS AS INSTALLED ARE AS SHOWN HERE.



1 ELEVATION SOUTH - FACING HARVARD AVE-PROPOSED CHANGES  
SCALE: 1/4" = 1'-0"

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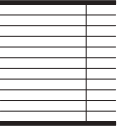


115 EL CAMINO  
MENLO PARK, CA 94025

Description	
Date	05.05.25
Scale	1/4" = 1'-0"
Drawn	PCD/MIT/KMA
Job	115 EL CAMINO
Sheet	

A3.2

05/05/2025 10:05:17 AM



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115 EL CAMINO  
MENLO PARK, CA 94025

Description	PROPOSED EXTERIOR ELEVATION
Date	04/02/2019
Scale	1/4" = 1'-0"
Drawn	Author
Job	115 EL CAMINO
Sheet	

A3.3



1 ELEVATION WEST - FACING ALTO LN  
SCALE: 1/4" = 1'-0"



- WINDOW OPENINGS ARE THE SAME AS APPROVED PLANNING SET. THAT APPROVED SET DID NOT INCLUDE SPECIFIC DIVISIONS WITHIN THOSE OPENINGS, THE APPROVED BUILDING SET AND WINDOWS AS INSTALLED ARE AS SHOWN HERE.

- WINDOW OPENINGS ARE THE SAME AS APPROVED PLANNING SET. THAT APPROVED SET DID NOT INCLUDE SPECIFIC DIVISIONS WITHIN THOSE OPENINGS, THE APPROVED BUILDING SET AND WINDOWS AS INSTALLED ARE AS SHOWN HERE.

**ELEVATION WEST - FACING MAIN PROPOSED BUILDING**

- N M L K J I H G F E D C B A
- SUN SHADING
- S.H. 2'-0"
- TOP OF HIGH PARAPET 22'-0"
- TOP OF LOW PARAPET 41'-0"
- TOP OF ROOF 38'-0"
- BRAKE METAL FASCIA CLADDING, POWDER COATED TO MATCH METAL AT GUARDRAIL.
- ABODO VULCAN PATINA WOOD SIDING VERTICAL PROFILE WB12 OR SIMILAR, TYPICAL AT ALL EXTERIOR WOOD SIDING, SIM TO S/D 2
- F.F. 3RD FLOOR 26'-0"
- BAY WINDOW BUILDING PROJECTION
- SLIDING DOORS FROM LIVING AREAS TO PRIVATE OPEN SPACE
- F.F. 2ND FLOOR 15'-0"
- AIRNING BUILDING ENTRY
- SMOOTH FINISH STUCCO SUPERIOR STUCCO
- SCREEN WALL
- S.H. 5'-0" OPAQUE GLAZING
- GARAGE EXIT, SCREENED OPERABLE SECURITY DOOR 10'x5'S.S.E
- FIXED SCREENING ELEMENT
- LOUVRE FOR GARAGE VENTILATION
- FALSE LOUVRE WITH BACKING
- FALSE LOUVRE WITH BACKING
- SMOOTH FINISH STUCCO SUPERIOR STUCCO COLOR
- F.F. 1ST FLOOR 0'

1 ELEVATION WEST - FACING ALTO LN - PROPOSED CHANGES  
SCALE: 1/4" = 1'-0"

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1115 EL CAMINO  
MENLO PARK, CA 94025

Description ELEVATION	
Date	05.05.25
Scale	1/4" = 1'-0"
Drawn	POD/MJT
Job	115 EL CAMINO
Sheet	

### A3.3



1 ELEVATION NORTH - INTERIOR SIDE  
SCALE: 1/4" = 1'-0"

REVISIONS	BY

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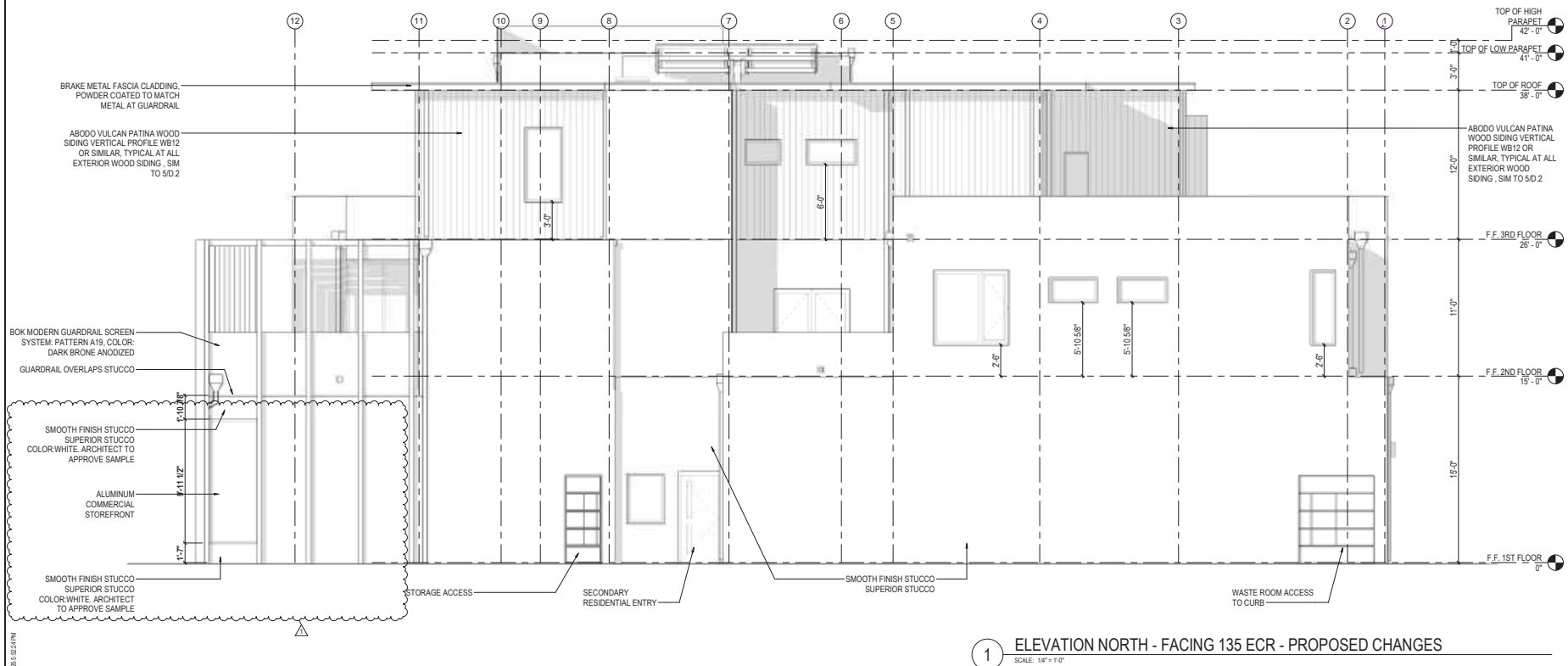


115 EL CAMINO  
MENLO PARK, CA 94025

Description	PROPOSED EXTERIOR ELEVATION
Date	04/02/2019
Scale	1/4" = 1'-0"
Drawn	MLT
Job	115 EL CAMINO
Sheet	

A3.4

- REDUCED HEIGHT OF GLASS TO IMPROVE SAFETY AND TO ALIGN THE EXTERIOR GLAZING HEIGHT TO INTERIOR CEILING HEIGHT.
- TO IMPROVE PRIVACY: REDUCED LENGTH OF STOREFRONT AT NORTH SIDE COMMERCIAL UNIT 102 FACING THE NEIGHBOR AT 135 ECR. (AT FIRST FLOOR)
- WINDOW OPENINGS ARE THE SAME AS APPROVED PLANNING SET. THAT APPROVED SET DID NOT INCLUDE SPECIFIC DIVISIONS WITHIN THOSE OPENINGS, THE APPROVED BUILDING SET AND WINDOWS AS INSTALLED ARE AS SHOWN HERE.
- WINDOWS AT STAIR-WELL REMOVED. WINDOW AT SECOND FLOOR CHANGED TO GLASS DOOR. WINDOW CONFIGURATION AT SECOND FLOOR CHANGED, AND WINDOWS ADDED AT THE THIRD FLOOR.



1 ELEVATION NORTH - FACING 135 ECR - PROPOSED CHANGES  
SCALE: 1/4" = 1'-0"

#	REVISIONS	BY
1	12.04.2024	POD
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# PROPOSED



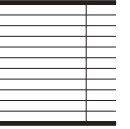
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115 EL CAMINO  
MENLO PARK, CA 94025

Description ELEVATION	
Date	05.05.25
Scale	1/4" = 1'-0"
Drawn	PDG/MJT
Job	115 EL CAMINO
Sheet	

### A3.4



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115 EL CAMINO  
MENLO PARK, CA 94025

Description	ECR AT HARVARD RENDERING
Date	04/02/2019
Scale	
Drawn	MLT
Job	115 EL CAMINO
Sheet	

A6.0



#	REVISIONS	BY
1	03.18.2025	KMA
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**PROPOSED**

  
**LEVY**  
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**115 EL CAMINO  
MENLO PARK, CA 94025**

Description	ECR AT HARVARD RENDERING
Date	05.05.25
Scale	
Drawn	PD00MUT
Job	115 EL CAMINO
Sheet	

**A6.0**



PERSPECTIVE RENDERING AT HARVARD AVE. AND ALTO LN.



PERSPECTIVE RENDERING ALONG EL CAMINO REAL

REVISIONS	BY

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115 EL CAMINO  
MENLO PARK, CA 94025

Description	ECR RENDERING
Date	04/02/2019
Scale	
Drawn	MLT
Job	115 EL CAMINO
Sheet	

**A6.1**





PERSPECTIVE RENDERING AT HARVARD AVE. AND ALTO LN.



PERSPECTIVE RENDERING ALONG EL CAMINO REAL

REVISIONS		BY
1	03.18.2025	KMA
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PROPOSED



LEVY  
ART + ARCHITECTURE

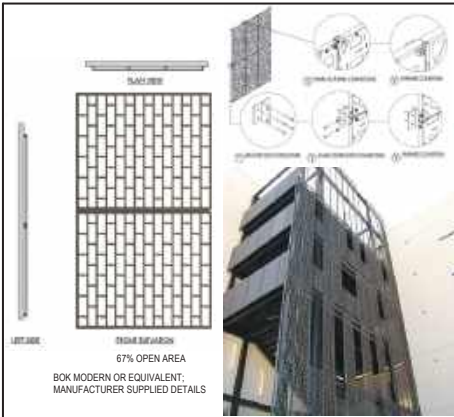
1501 MARIPOSA STREET,  
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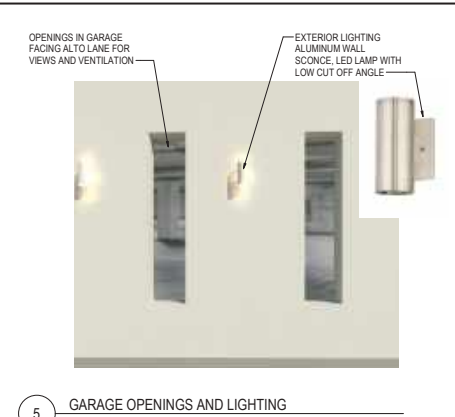
115 EL CAMINO MENLO PARK, CA 94025	
Description	ECR RENDERING
Date	05.05.25
Scale	
Drawn	PD001UT
Job	115 EL CAMINO
Sheet	

A6.1

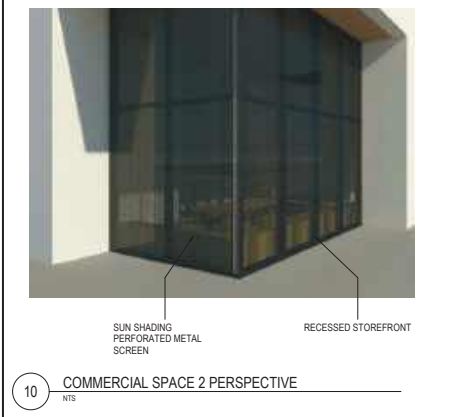




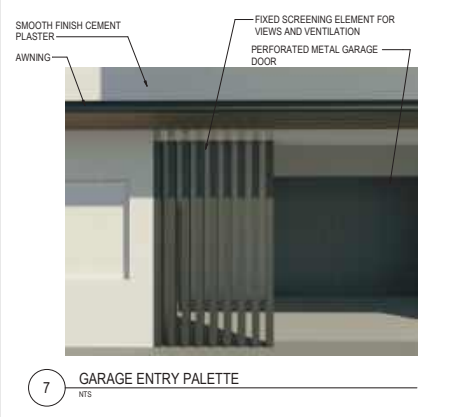
8 ECR LAYERED FRAME AND STOREFRONT  
NTS



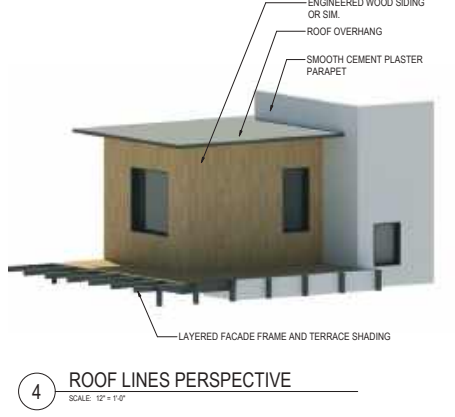
5 GARAGE OPENINGS AND LIGHTING  
NTS



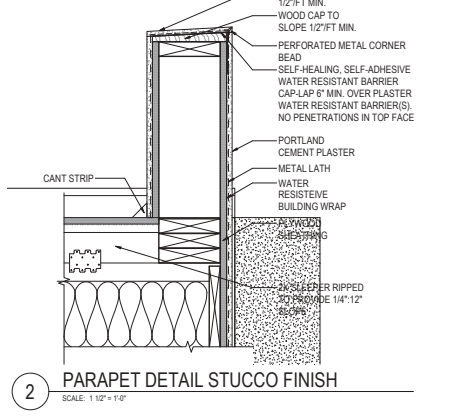
10 COMMERCIAL SPACE 2 PERSPECTIVE  
NTS



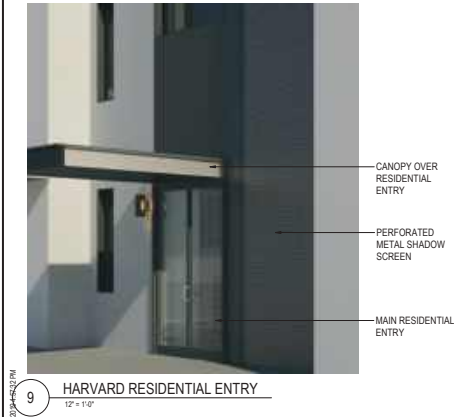
7 GARAGE ENTRY PALETTE  
NTS



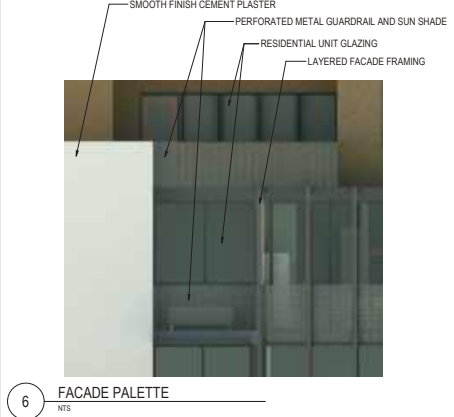
4 ROOF LINES PERSPECTIVE  
SCALE: 1/2" = 1'-0"



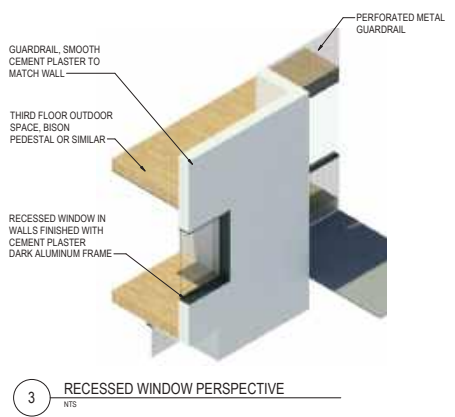
2 PARAPET DETAIL STUCCO FINISH  
SCALE: 1/2" = 1'-0"



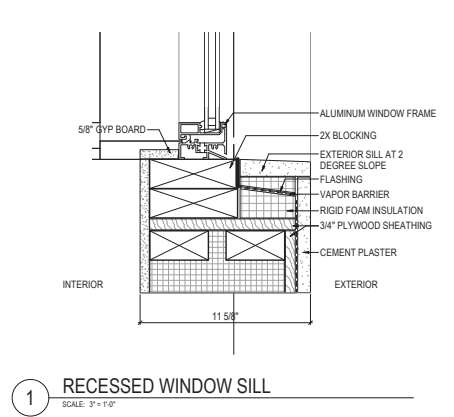
9 HARVARD RESIDENTIAL ENTRY  
1/2" = 1'-0"



6 FACADE PALETTE  
NTS



3 RECESSED WINDOW PERSPECTIVE  
NTS



1 RECESSED WINDOW SILL  
SCALE: 3/4" = 1'-0"

REVISIONS	BY

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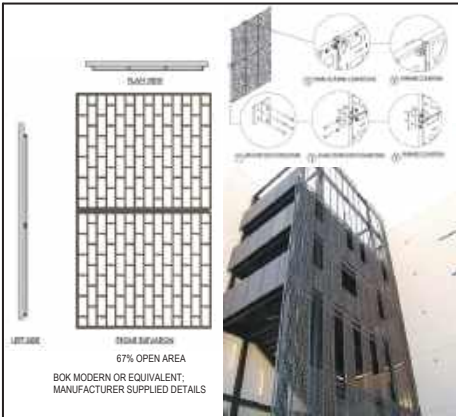
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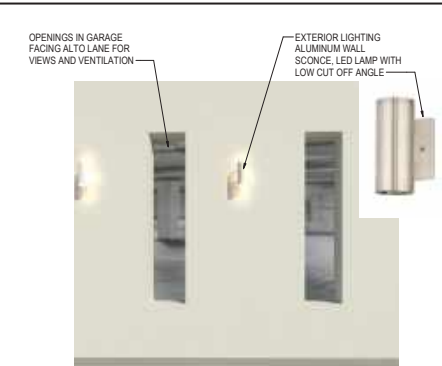
115 EL CAMINO  
MENLO PARK, CA 94025

Description	Architectural Details
Date	04/02/2019
Scale	As indicated
Drawn	MJT
Job	115 EL CAMINO
Sheet	

**D.1**



8 ECR LAYERED FRAME AND STOREFRONT  
NTS



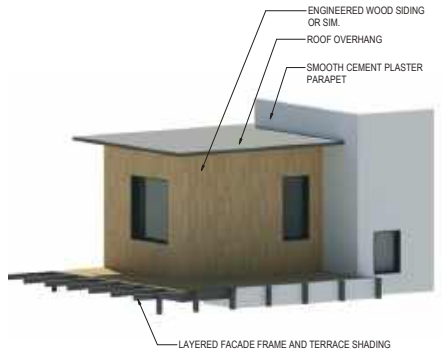
5 GARAGE OPENINGS AND LIGHTING  
NTS



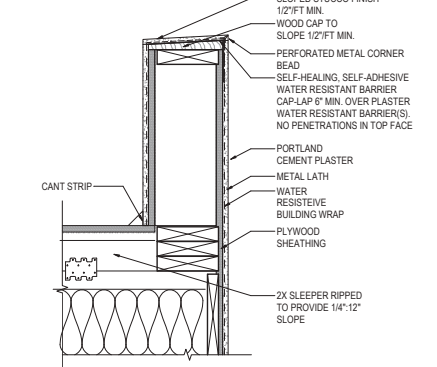
10 COMMERCIAL SPACE 2 PERSPECTIVE  
NTS



7 GARAGE ENTRY PALETTE  
NTS



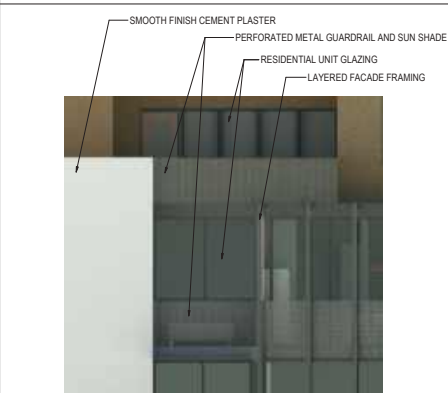
4 ROOF LINES PERSPECTIVE  
SCALE: 1/2" = 1'-0"



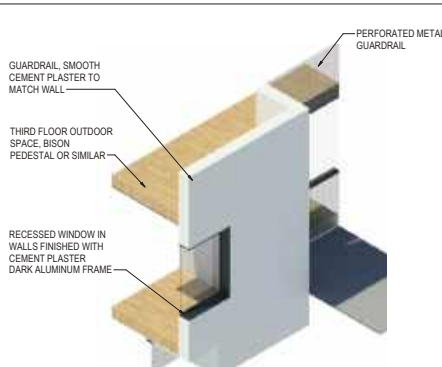
2 PARAPET DETAIL STUCCO FINISH  
SCALE: 1/12" = 1'-0"



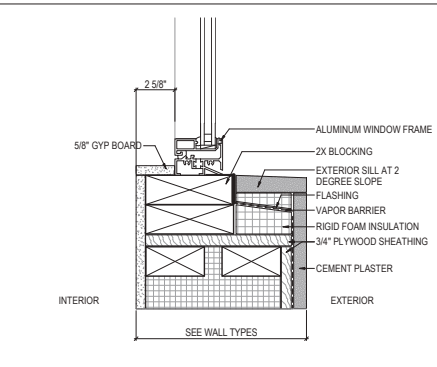
9 HARVARD RESIDENTIAL ENTRY  
NTS



6 FACADE PALETTE  
NTS



3 RECESSED WINDOW PERSPECTIVE  
NTS



1 RECESSED WINDOW SILL  
SCALE: 3/4" = 1'-0"

REVISIONS	BY
12.04.2024	POD

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115 EL CAMINO  
MENLO PARK, CA 94025

Description	Architectural Details
Date	05.05.25
Scale	As indicated
Drawn	POD/MJT
Job	115 EL CAMINO
Sheet	

D.1

REVISIONS	BY

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115 EL CAMINO  
MENLO PARK, CA 94025

Description	
MATERIALS	
Date	04/02/2019
Scale	
Drawn	MJT
Job	115 EL CAMINO
Sheet	

D.2





#	REVISIONS	BY
1	12.04.2024	POD

# PROPOSED



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115 EL CAMINO  
MENLO PARK, CA 94025

Description	MATERIALS
Date	05.05.25
Scale	
Drawn	POD/MJT
Job	115 EL CAMINO
Sheet	

## D.2



- 1 SMOOTH FINISH CEMENT PLASTER  
EL DORADO COLOR
- 2 PERVIOUS PAVERS, COLOR SIMILAR
- 3 DARK ALUMINUM OR SIMILAR
- 4 BRONZE ANODIZED ALUMINUM STOREFRONT
- 5 WOOD OR ENGINEERED WOOD, NATURAL FINISH
- 6 ALUMINUM WINDOW
- 7 TRANSPARENT GLAZING
- 8 PERFORATED METAL SCREEN/SUN SHADING
- 9 LAYERED PLANTING

