

Project Description

Purpose of the proposal

The purpose of this proposal is to outline the necessary renovations and improvements for **Be Healthy Life**, located at **1261 El Camino Real, Menlo Park, Ca 94025**. Our goal is to enhance the overall customer experience, create a tranquil and inviting ambiance, and optimize operational efficiency. By remodeling the store, we aim to achieve the following objectives: enhance customer comfort and relaxation, modernize facilities and equipment, improve workflow and staff efficiency, boost brand image and attract new clients, and comply with health and safety Standards.

Scope of work

The existing internal layout will be modified (without affecting structural integrity) to facilitate a lobby, three service rooms, a restroom, a laundry room and a small employee room. The modifications will be performed by: WNH Construction Inc., CA State License #1031584, Contractor Qiaochu Liu of Saratoga, CA. The final construction is defined by the Floor Plan drawing by the State of CA Registered Professional Engineer, Guangsheng Wang (C77916).

Architectural style, materials, colors, and construction methods

All materials used are commercial grade lumber, lighting fixtures and built to meet local safety and applicable engineering codes. The colors, yet to be defined, will meet all local Architectural styles and Color requirements that apply to the business community in area ECR-NW (location of business).

Basis for site layout

The site layout is designed to fit flawlessly into the local business community while providing a Massage Spa professional services location conveniently accessible and attractive to clients and tourists. The internal layout provides areas for professional services, employee comfort and business operations facilitation. The inside layout will have a lobby, three service rooms, a restroom, a laundry room and a small employee room. There is a parking area adjacent to the building for clients arriving in cars.

Existing and proposed uses

The existing site is vacant currently . The most recent tenant was a "Lighting" store selling lights and fixtures typically used in residence and commercial applications. They operated there for several years.

Our business will serve the community with Massage Spa Health professional services. There will be up to three massage technicians and a receptionist.

Outreach to neighboring properties

Be Healthy Life believes in promoting wellness, stress relief, and overall health. We value our neighbors and would love to connect with you. Whether it's through joint

events, referrals, or simply sharing local insights, we believe that together, we can enhance the experience for everyone in our vicinity. Community outreach looks for ways to broaden public understanding and solicit input. Community engagement can lead to broader participation and wider community input in decision-making. Through deliberate, well planned engagement of others, community members become informed about, participate in, and influence the business community decisions. Community members go beyond just knowing about a pending decision to participating in the decision-making process—they become a part of the community's growth. The learning process includes listening, discussion, deliberation, and decision-making. Successful community growth builds relationships in the community which, ultimately, strengthens the community's welfare and develops a better community for all businesses.

BE HEALTHY LIFE INTERIOR REMODEL

1261 EI CAMINO REAL MENLO PARK, CA 94025

PROJECT DATA

| | | |
|-------------------|---|------------------------------|
| BUSINESS OWNER | HONGJU CHEN | EMAIL:helen_chen20@yahoo.com |
| ADDRESS | 1261 EI CAMINO REAL, MENLO PARK, CA 94025 | |
| APN | | |
| OCCUPANCY | | |
| CONSTRUCTION TYPE | | |
| ZONING | | |
| LAND USE | COMMERCIAL | |
| NET SITE AREA | | |

VICINITY



GOVERNING CODES ('Code')

| | |
|--------------------------------------|------------------------|
| California Building Code | 2022 Edition |
| California Residential Code | 2022 Edition |
| California Fire Code | 2022 Edition |
| California Mechanical Code | 2022 Edition |
| California Plumbing Code | 2022 Edition |
| California Electrical Code | 2022 Edition |
| California Energy Code | 2022 Edition(Title 24) |
| California Green Building Code(CGBC) | 2022 Edition |

| ITEM | EXISTING | NEW |
|---------------------|---------------|-----------|
| LOT AREA (sf) | | NO CHANGE |
| NUMBER OF UNITS | | NO CHANGE |
| STORIES | 2 | NO CHANGE |
| NUMBER OF BATHROOMS | 1 | NO CHANGE |
| BLDG SQUARE FOOTAGE | BUSINESS AREA | 1,250 SF |
| | | NO CHANGE |

GENERAL NOTES

- THE DESIGN PRESENTED IN THESE DRAWINGS ESTABLISHES THE GENERAL ARCHITECTURAL REQUIREMENTS FOR THE PROJECT. IT DOES NOT PRESENT ALL DETAILS REQUIRED FOR CONSTRUCTION. THE CONTRACTOR IS EXPECTED TO EXERCISE SOUND JUDGMENT IN ACCORDANCE WITH CODE REQUIREMENTS.
- THE DRAWINGS INDICATE LOCATION AND DIMENSIONS, BUT THEY DO NOT ILLUSTRATE EVERY CONDITION. IN THE EVENT THAT CERTAIN FEATURES ARE NOT FULLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE SPECIFICATIONS, THEIR CONSTRUCTION SHALL BE IN ACCORDANCE WITH CONVENTIONAL PRACTICES OF THE UNIFORM BUILDING CODE.
- ALL CONDITIONS AFFECTING WORK PROGRESS AND CONFORMANCE TO PLANS AND SPECIFICATIONS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO START OF WORK.
- ANY SITE AND BUILDING AREAS UNAFFECTED BY THIS WORK SHALL BE PROTECTED FROM ANY DAMAGE CAUSED BY THIS WORK. ANY DAMAGE TO EXISTING STRUCTURES AND BUILDING ELEMENTS SO CALLED, SHALL BE THE FINANCIAL RESPONSIBILITY OF THE CONTRACTOR.
- ANY WASTE AND REFUSE CAUSED BY THIS WORK SHALL BE REMOVED FROM THE PREMISES AND DISPOSED OF IN A LEGAL MANNER BY THE CONTRACTOR PER CITY'S GREEN WASTE STANDARDS. SEE CAL GREEN REQUIREMENTS, SHEET A-7.
- SEE CAL GREEN CODE REQUIREMENTS FOR MATERIALS MOISTURE CONTENT.
- STRUCTURAL ENGINEER OF RECORD MUST REVIEW THE TRUSS DESIGN CALCULATIONS TO VERIFY THAT LATERAL AND GRAVITY LOADS, SUPPORT LOCATIONS, AND GEOMETRY OF THE TRUSSES CONFORM TO HIS DESIGN. IF THERE ARE ANY DISCREPANCIES IN THE TRUSS DESIGN, THOSE MUST BE RESOLVED PRIOR TO SUBMITTAL TO THE BUILDING DEPARTMENT. ENGINEER OF RECORD SHALL PROVIDE WRITTEN ACKNOWLEDGEMENT OF THE REVIEW AND CONFORMANCE TO THE BUILDING OFFICIAL.
- PROPERTY BOUNDARY, AND LOCATION OF THE NEW STRUCTURES ON SITE SHALL BE ESTABLISHED BY A LICENSE SURVEYOR.

SHEET INDEX

- A1.0 TITLE SHEET
- A1.1 EXISTING SITE PLAN
- A1.2 EXISTING AREA PLAN
- A1.3 EXISTING STREETSCAPE
- A2.0 EXISTING/PROPOSED FLOOR PLANS
- A2.1 EXISTING ROOF PLAN
- A3.0 EXISTING FRONT & REAR ELEVATIONS
- A3.1 EXISTING LEFT ELEVATION & BUILDING SECTION

ABBREVIATIONS

| | | | |
|--------|--------------|--------|----------------------------------|
| & | AND | N.T.S. | NOT TO SCALE |
| @ | AT | NO. | NUMBER |
| A.B. | ANCHOR BOLT | O.C. | ON CENTER |
| BM. | BEAM | OPP. | OPPOSITE |
| BOT. | BOTTOM | O.H. | OPPOSITE HAND |
| B.O. | BOTTOM OF | O.D. | OUTSIDE DIAMETER |
| CL | CENTER LINE | PL | PLATE |
| COL. | COLUMN | PLY. | PLYWOOD |
| CONT. | CONTINUOUS | P.T. | PRESSURE OR PRESERVATIVE TREATED |
| CLR | CLEAR | REINF. | REINFORCEMENT |
| CONC | CONCRETE | REQ'D | REQUIRED |
| CONN | CONNECTION | REV | REVISED OR REVISION |
| DET. | DETAIL | S.A.D. | SEE ARCHITECTURAL DRAWINGS |
| D.F. | DOUGLAS FIR | S.C.D. | SEE CIVIL DRAWINGS |
| D.S. | DRAG STRUT | SCHED. | SCHEDULE |
| DWG. | DRAWING | SIM. | SIMILAR |
| DIAG | DIAGONAL | SQ. | SQUARE |
| DIA | DIAMETER | SYM. | SYMMETRICAL |
| DN | DOWN | SECT | SECTION |
| EA. | EACH | S.O.G. | SLAB ON GRADE |
| EL. | ELEVATION | SPEC | SPECIFICATION |
| EXT. | EXTERIOR | SQ. | SQUARE |
| E.N. | EDGE WALLING | SF | SQUARE FEET |
| E.F. | EACH FACE | STAGG | STAGGERED |
| EQ | EQUAL | STD | STANDARD |
| (E) | EXISTING | STL | STEEL |
| EXT | EXTERIOR | STUFF | STIFFENER |
| FL. | FLOOR | STRUCT | STRUCTURAL |
| FTG. | FOOTING | S.W. | SHEAR WALL |
| FT | FEET | | |
| FLR | FLOOR | | |
| GALV | GALVANIZE | T&B | TOP AND BOTTOM |
| CA | CAUSE | T&G | TONGUE AND GROOVE |
| GR | GRADE | T.O.C. | TOP OF CONCRETE |
| HORIZ. | HORIZONTAL | TYP. | TYPICAL |
| HT | HEIGHT | THK | THICK OR THICKNESS |
| IN. | INCH | T & B | TOP AND BOTTOM |
| INFO | INFORMATION | T.O. | TOP OF |
| K | KIPS | U.O.N. | UNLESS OTHERWISE NOTED |
| KIPS | 1000 POUNDS | U.N.O. | UNLESS NOTED OTHERWISE |

SCOPE OF WORK

- REMODEL ONE EXISTING COMMERCIAL SPACE 1250 SF. NEW COMMERCIAL SPACE HAS 1 LOBBY, 3 SERVICE ROOMS, 1 SMALL EMPLOYEE ROOM, 1 LAUNDRY, AND 1 RESTROOM.

CIVIL ENGINEER

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PROJECT

**BE HEALTHY LIFE
INTERIOR REMODEL**
1261 EI CAMINO REAL
MENLO PARK, CA 94025

PROJECT NO



08/14/2024

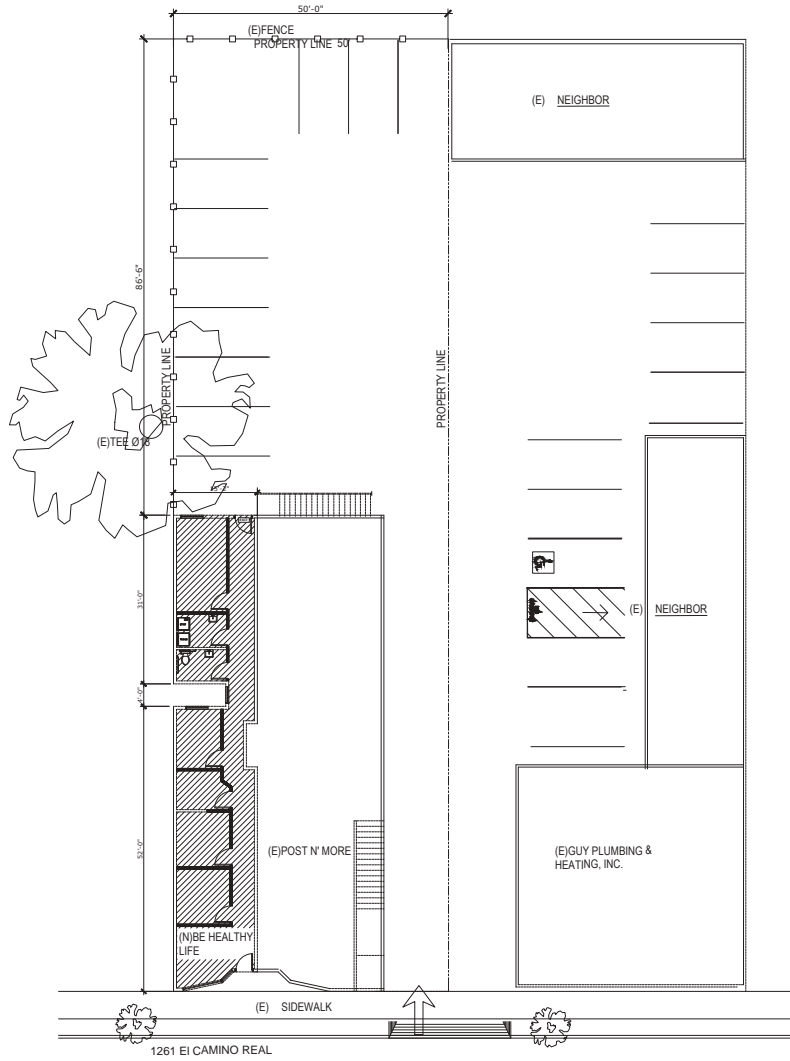
PLANS SUBMITTAL

SHEET CONTENTS

TITLE SHEET, SITE PLAN

SHEET NUMBER

A1.0



EXISTING SITE PLAN
3/32" = 1'-0"



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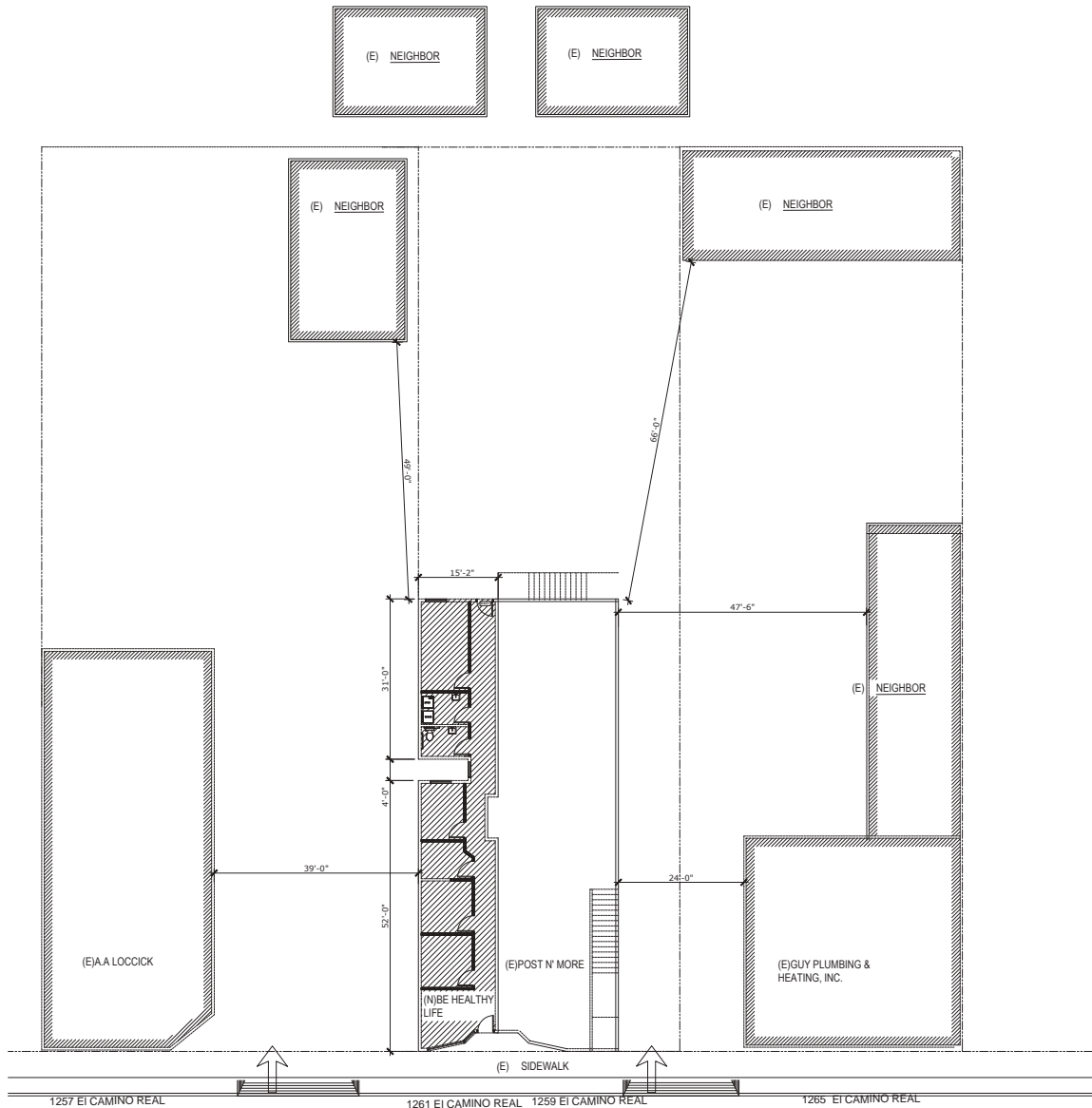
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SHEET CONTENTS

SITE PLAN

SHEET NUMBER

A1.1



1261 EI CAMINO REAL AREA PLAN

3/32" = 1'-0"



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SHEET CONTENTS

AREA PLAN

SHEET NUMBER

A1.2



1257 EI CAMINO REAL
(E)A.A LOCCICK

1261 EI CAMINO REAL
BE HEALTHY LIFE

1259 EI CAMINO REAL
(E)POST N' MORE

1265 EI CAMINO REAL
(E)GUY PLUMBING &
HEATING, INC.

STREETSCAPE

SCALE: 1/8"=1'-0"

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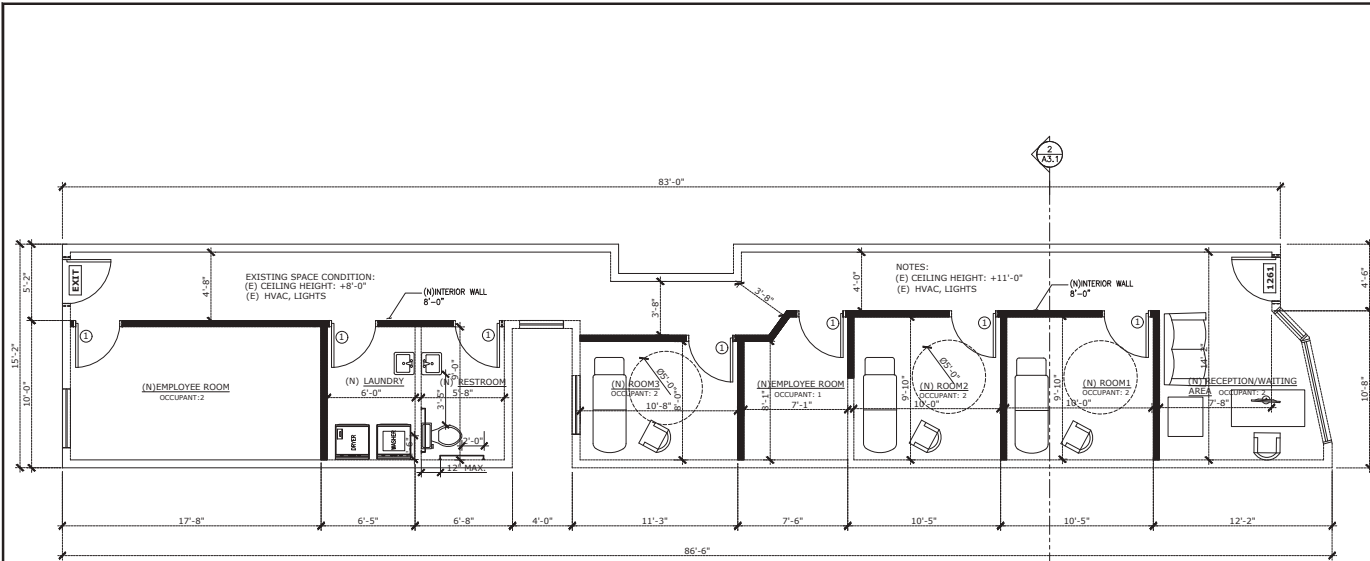
PLANS SUBMITTAL

SHEET CONTENTS

STREETSCAPE

SHEET NUMBER

A1.3



1 PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"

LEGEND:

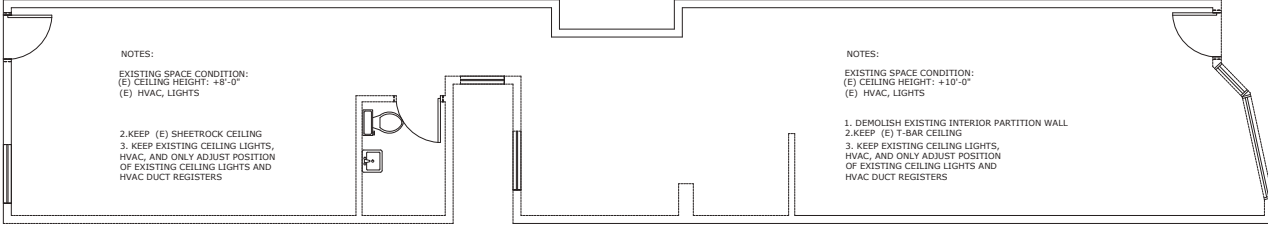
- EXISTING WALL
- PROPOSED STUD WALL (2 x 4 @ 16 O.C.), HEIGHT: 11'-0"
- DEMO WALL
- EXIT EXIT SIGN W/EXTERNALLY ILLUMINATED

DOOR SCHEDULE

| MARK | SIZE | TYPE |
|------|---------------|----------------------------------|
| ① | 3'-0" X 6'-8" | SINGLE HAND-ACTIVATED FLUSH DOOR |

- NOTES:
1. DOOR & GATE OPENING FORCE FOR PUSHING OR PULLING OPEN A DOOR IS 5 LBS.
 2. A DOOR HAS A CLOSER THEN THE SWEEP PERIOD OF THE CLOSER SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90-DEGREES THE DOOR WILL TAKE AT LEAST 5 SECONDS TO MOVE TO A POINT 12 DEGREES FROM THE LATCH.
 3. ALL DOORS ARE EQUIPPED WITH SINGLE-EFFORT, NON-GRASP HARDWARE LOCATED AT MINIMUM 34 INCHES TO MAXIMUM 44 INCHES ABOVE THE FLOOR.
 4. ALL EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY, THUMB TURN, OR ANY SPECIAL KNOWLEDGE OR EFFORT.
 5. EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. THUMB-TURN TYPE HARDWARE IS PROHIBITED.
 6. DEADBOLT TYPE DOOR HARDWARE ON SIDE-HINGED SWINGING EXIT DOORS SHALL ONLY BE ALLOWED WITH SINGLE ACTION LEVER HARDWARE-REQUIRING NOT MORE THAN ONE OPERATION TO UNLATCH AN EXIT DOOR.
 7. ONE OF THE EXIT SIGN LAMPS SHALL BE PROVIDED BY THE PREMISES WIRING. POWER TO THE OTHER EXIT SIGN LAMP SHALL BE FROM STORAGE BATTERIES.
 8. EMERGENCY EXIT SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED. IN THE EVENT OF POWER SUPPLY FAILURE.

- FIRE EXTINGUISHER
MIN. RATING 2A10B:C
- (N)KEY BOX
- SPACE ADDRESS ON THE GLASS WINDOW
- BUSINESS SIGN SIGN W/EXTERNALLY ILLUMINATED



2 EXISTING FLOOR PLAN
SCALE: 1/4" = 1'-0"

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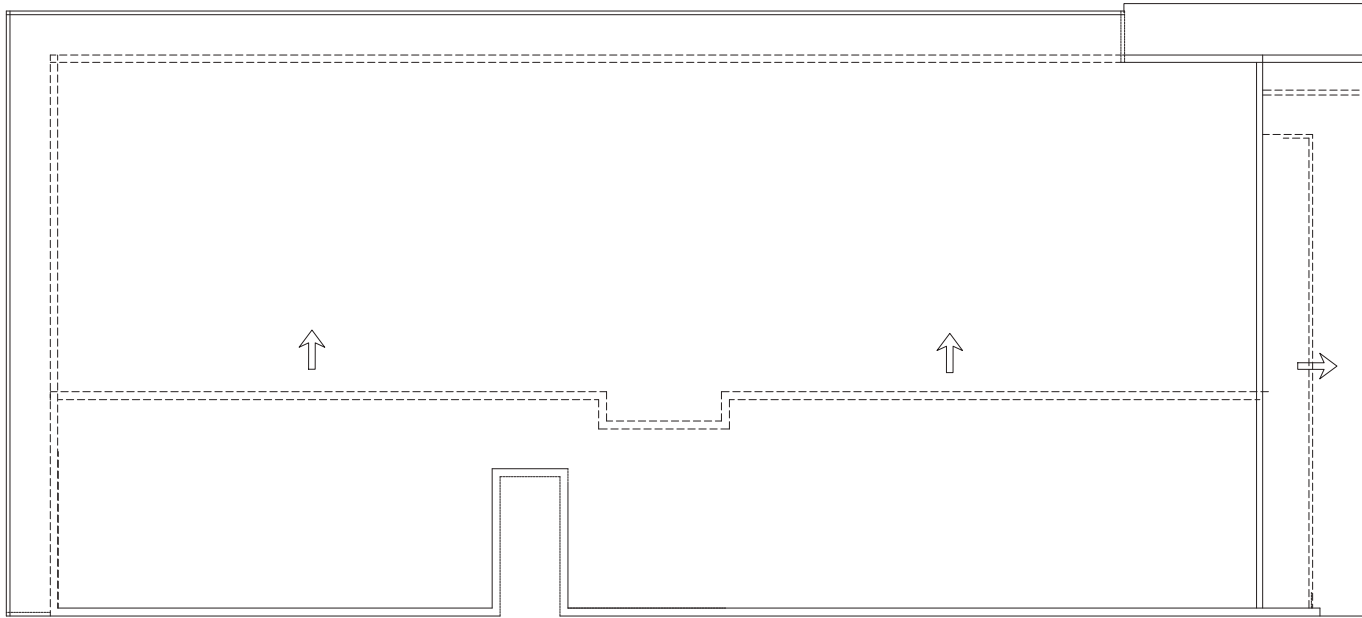
PLANS SUBMITTAL

SHEET CONTENTS

EXISTING & PROPOSED FLOOR PLAN

SHEET NUMBER

A2.0



1
 EXISTING ROOF PLAN
 SCALE: 1/4" = 1'-0"

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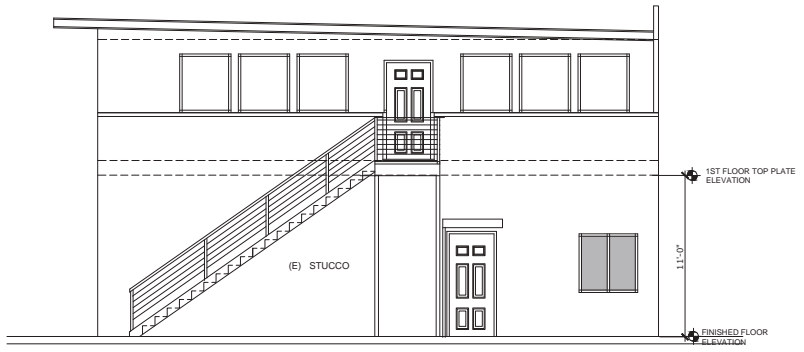
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PLANS SUBMITTAL

SHEET CONTENTS

EXISTING ROOF PLAN

SHEET NUMBER
A2.1



2 EXISTING REAR ELEVATION
SCALE: 1/4" = 1'-0"



1 EXISTING FRONT ELEVATION
SCALE: 1/4" = 1'-0"

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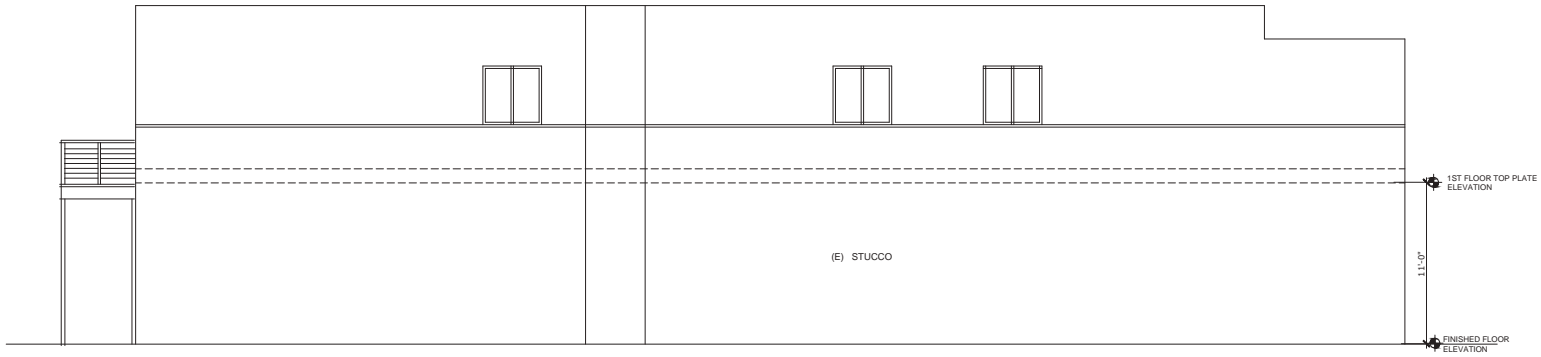
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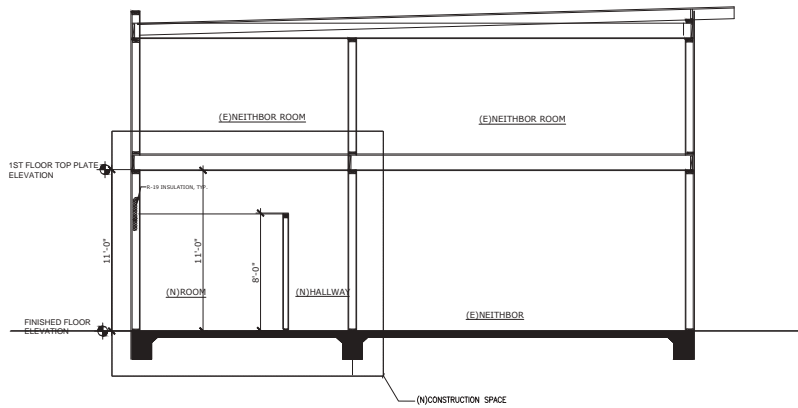


PLANS SUBMITTAL
 SHEET CONTENTS
 EXISTING FRONT ELEVATION
 &
 EXISTING REAR ELEVATION

SHEET NUMBER
A3.0



1 EXISTING LEFT ELEVATION
SCALE: 1/4" = 1'-0"



2 BUILDING SECTION
SCALE: 1/4" = 1'-0"

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EXISTING LEFT ELEVATION
&
BUILDING SECTION

SHEET NUMBER

A3.1