

Mid-Peninsula High School

New Classroom Addition

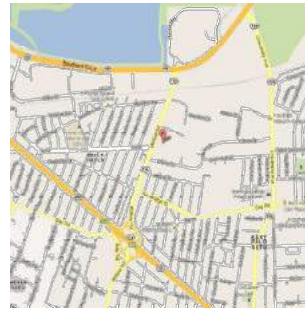
1340 Willow Road
Menlo Park, CA



ABBREVIATIONS

ACCOB.	ACOUSTICAL	DIA.	DIAMETER	GA.	GALVNEED	MBC.	MISCELLANEOUS	R.O.	ROOM	UNF.	UNFINISHED
ADJ.	ADJUSTABLE	DIAM.	DIAMETER	GA.	GALVNEED	MTD.	MOUNTED	R.O.	ROUGH OPENING	UNF.	UNLESS NOTED
A.F.F.	ABOVE FINISH FLOOR	DN.	DOWN	GL.	GLASS	MTL.	METAL	R.G.	ROUGH OPENING	U.N.O.	OTHERWISE
AL.	ALUMINUM	DP.	DROP	GL.	GLASS	GYF.	GYP-SUM	S.B.N.	SURFACE BULLDOZE	V.	VOLT
APPROX.	APPROXIMATE	DR.	DOOR	GYF.	GYP-SUM	(N)	NEW	S.C.	SOLID CORE	V.	VOLTI
ARCH.	ARCHITECTURAL	DTL.	DETAIL	(N)	NOT IN CONTRACT	N.I.C.	NOT IN CONTRACT	S.C.D.	SEE CIVIL DRAWGS	VERT.	VERTICAL
A.C.	ASPHALTIC CONCRETE	DWG.	DRAWING	NO.	NO. A/N.	NO.	NOMINAL	SCHD.	SCHEDULE	W.	WIDE
BD.	BOARD	DWL.	DRAWER	H.	HIGH	N.T.S.	NOT TO SCALE	SH.	SHEET	W.	WITH
BLOG.	BUILDING	DWR.	DRAWER	H.C.	HOLLOW CORE	NO.	NOMINAL	SH.	SHEET	W.C.	WATER CLOSET
BUC.	BLOCK	EA.	EACH	H.H.	HOLLOW METAL	NO.	NOMINAL	SHE.	SHEET	W.C.	WOOD
BKG.	BLOCKING	E.A.	EACH	H.H.	HOLLOW METAL	NO.	NOMINAL	SHE.	SHEET	W.C.	WOOD
BM.	BEAM	ELEV.	ELEVATION	H.H.	HOLLOW METAL	NO.	NOMINAL	SHE.	SHEET	W.C.	WOOD
BOI.	BOW	ELEC.	ELECTRICAL	H.H.	HOLLOW METAL	NO.	NOMINAL	SHE.	SHEET	W.C.	WOOD
CAB.	CABINET	EQ.	EQUIPMENT	I.D.	INSIDE DIAMETER	OP.	ON CENTER	SM.	SIMILAR	W.	WITH
CD.	CEMENT	EQMT.	EQUIPMENT	INT.	INSULATION	OFF.	OFFICE	SM.	SIMILAR	W.	WITH
CER.	CERAMIC	EQMT.	EQUIPMENT	INT.	INSULATION	OFF.	OFFICE	SM.	SIMILAR	W.	WITH
CL	CASTIRON	EQMT.	EQUIPMENT	INT.	INSULATION	OFF.	OFFICE	SM.	SIMILAR	W.	WITH
CLB.	CLBING	EQMT.	EQUIPMENT	INT.	INSULATION	OFF.	OFFICE	SM.	SIMILAR	W.	WITH
CLD.	CLOS.	E.D.	FLOOR DRAIN	JAN.	JANITOR	OP.	ON CENTER	SM.	SIMILAR	W.	WITH
CLF.	CLEAR	E.G.	FLOOR GRADE	JE.	JOB	OP.	ON CENTER	SM.	SIMILAR	W.	WITH
C.O.	CLEANOUT	F.S.	FACE OF FINISH	JE.	JOB	OP.	ON CENTER	SM.	SIMILAR	W.	WITH
COL.	COLUMN	FN.	FINISH	JAV.	LAVATORY	OP.	ON CENTER	SM.	SIMILAR	W.	WITH
CONC.	CONCRETE	FL.	FLOOR	LT.	LIGHT	OP.	ON CENTER	SM.	SIMILAR	W.	WITH
CONT.	CONTINUOUS	FLUOR.	FLUORESCENT	MAX.	MAXIMUM	OP.	ON CENTER	SM.	SIMILAR	W.	WITH
CTK.	CONCRETE	F.O.C.	FACE OF CONCRETE	MKB.	MECHANICAL	OP.	ON CENTER	SM.	SIMILAR	W.	WITH
CTR.	CENTER	F.O.F.	FACE OF FINISH	MKB.	MECHANICAL	OP.	ON CENTER	SM.	SIMILAR	W.	WITH
DSL.	DOUBLE	F.O.S.	FACE OF STUDS	MKB.	MECHANICAL	OP.	ON CENTER	SM.	SIMILAR	W.	WITH
DEPT.	DEPARTMENT	FT.	FEET OR FOOT	MKB.	MECHANICAL	OP.	ON CENTER	SM.	SIMILAR	W.	WITH
DF.	DRAINING	FUT.	FUTURE	MKB.	MECHANICAL	OP.	ON CENTER	SM.	SIMILAR	W.	WITH

VICINITY MAP



PROJECT DATA

PROJECT DESCRIPTION: A 2 STORY 9,091 SF CLASSROOM ADDITION ATTACHED TO AN EXISTING 2 STORY SCHOOL BUILDING.
 PROJECT ADDRESS: 1340 Willow Road
 ASSessor'S PARCEL NO.: 058-032153
 ZONE: U-SR
 FLOOD ZONE: AE and X
 OCCUPANCY GROUPS: E
 TYPE: BB
 CONSTRUCTION: [E] SCHOOL - 2 STORIES
 STORES: [N] CLASSROOM ADDITION - 2 STORES
 PROPOSED STRUCTURE:
 FOUNDATION:
 FLOOR: 10
 ELEV.: 104' & 111'±
 REAR: 109'± TO BACK CORNER
 MAXIMUM HEIGHT/ ELEV.: 35'-0"
 [E] 31'± 1" & 28'-0" AT PROPOSED ADDITION

LOT AREA:	49,905 S.F.	BASED ON PROPOSED ZONING:	49,905 S.F. x 0.20 = 9,981 S.F.	BASED ON PROPOSED DISTANCE AMENDMENT:	49,905 S.F. x 0.15 = 7,486 S.F.
ALLOWABLE FLOOR AREA (55%):	27,448 S.F.	EXISTING FLOOR AREA:	30,777 S.F. ± (62%)	EXISTING FLOOR AREA:	30,777 S.F. ± (62%)
PROPOSED FLOOR AREA:	9,991 S.F.	TOTAL PROPOSED FLOOR AREA:	39,868 S.F. ± (79.7%)	TOTAL PROPOSED FLOOR AREA:	39,868 S.F. ± (79.7%)
MINIMUM OPEN SPACE:	49,905 S.F. x 0.20 = 9,981 S.F.	EXISTING MINIMUM OPEN SPACE:	20,220 S.F. ± (40.52%)	EXISTING MINIMUM OPEN SPACE:	20,220 S.F. ± (40.52%)
PROPOSED MINIMUM OPEN SPACE:	49,905 - 26,272 = 23,633 S.F. ± (47.4%)	PROPOSED MINIMUM OPEN SPACE:	49,905 - 26,272 = 23,633 S.F. ± (47.4%)	PROPOSED MINIMUM OPEN SPACE:	49,905 - 26,272 = 23,633 S.F. ± (47.4%)
EXISTING LANDSCAPING:	20,150 S.F. (40.3%)	EXISTING LANDSCAPING:	20,150 S.F. (40.3%)	EXISTING LANDSCAPING:	20,150 S.F. (40.3%)
PROPOSED LANDSCAPING:	10,752 S.F. (21.5%)	PROPOSED LANDSCAPING:	10,752 S.F. (21.5%)	PROPOSED LANDSCAPING:	10,752 S.F. (21.5%)
EXISTING PAVING:	8,644 S.F. ± (17.3%)	EXISTING PAVING:	8,644 S.F. ± (17.3%)	EXISTING PAVING:	8,644 S.F. ± (17.3%)
TOTAL PROPOSED PAVING:	13,130 S.F. (26.3%)	TOTAL PROPOSED PAVING:	13,130 S.F. (26.3%)	TOTAL PROPOSED PAVING:	13,130 S.F. (26.3%)

ACCESSIBLE STALLS

EXISTING:	44 STANDARD STALLS (8'-0" WIDE)	PROPOSED:	2 ACCESSIBLE STALLS (3'-0" ACCESSIBLE)
PROPOSED:	NO CHANGE TO EXISTING PARKING COUNT	PROPOSED:	NO CHANGE TO EXISTING PARKING COUNT
BICYCLE PARKING:	EXISTING: 8 PROPOSED: 10 TOTAL: 18	BICYCLE PARKING:	EXISTING: 8 PROPOSED: 10 TOTAL: 18

APPLICABLE CODES:

- 2022 CBC
- 2022 CFC
- 2022 CBC PART 3
- 2022 CFC PART 3
- 2022 CBC PART 6 & 8
- 2022 CFC AS AMENDED BY LOCAL JURISDICTION

BUILDING CODE ANALYSIS

- PER 2022 CBC CHAPTER 5 TABLE 504.3: ALLOWABLE BUILDING HEIGHT FOR TYPE III-B CONSTRUCTION: - OCCUPANCY SPRINKLED W/O AREA INCREASE = 75' -> EXISTING & PROPOSED BUILDING HEIGHT: 31'-11" MAX
- PER 2022 CBC CHAPTER 5 TABLE 504.4: ALLOWABLE NUMBER OF STORES FOR TYPE III-B CONSTRUCTION: - OCCUPANCY SPRINKLED W/O AREA INCREASE = 3 STORY STORES -> PROPOSED: 2 STORY STORES
- PER 2022 CBC CHAPTER 5 TABLE 506.2: ALLOWABLE AREA FOR TYPE III-B CONSTRUCTION: - OCCUPANCY SPRINKLED (S) = 58,000 S.F. -> TOTAL 1ST FLOOR: [E] 20,220 S.F. ± [N] 19,803 S.F. = 40,023 S.F. -> OCCUPANCY SPRINKLED (SN) = 43,000 S.F. -> TOTAL 2ND FLOOR: [E] 0,557 S.F. ± [N] 3,288 S.F. = 3,845 S.F.
- PER 2022 CBC CHAPTER 7 TABLE 705.5: REQUIRED FIRE-RESISTANCE RATING FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE (19'-0"=5' 1" HOUR FOR OCCUPANCY -> PROPOSED MINIMUM SETBACK: 10'-0" & PROPOSED 2 HOUR EXTERIOR WALLS
- PER 2022 CBC CHAPTER 7 TABLE 705.8: DEGREE OF OPENING PROTECTION WITH A FIRE SEPARATION DISTANCE BETWEEN 10 TO 15' = 45% ALLOWABLE AREA OF UNPROTECTED OPENINGS FOR A SPRINKLED BLDG. -> PROPOSED MIN. SETBACK 8 1/2'-0" WITH 24.9% OF EXTERIOR WALL OPENING

PLUMBING FIXTURE ANALYSIS - SEE A5 FOR INFORMATION

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L08	HYDROZONE PLAN		
L09	HYDROZONE PLAN		

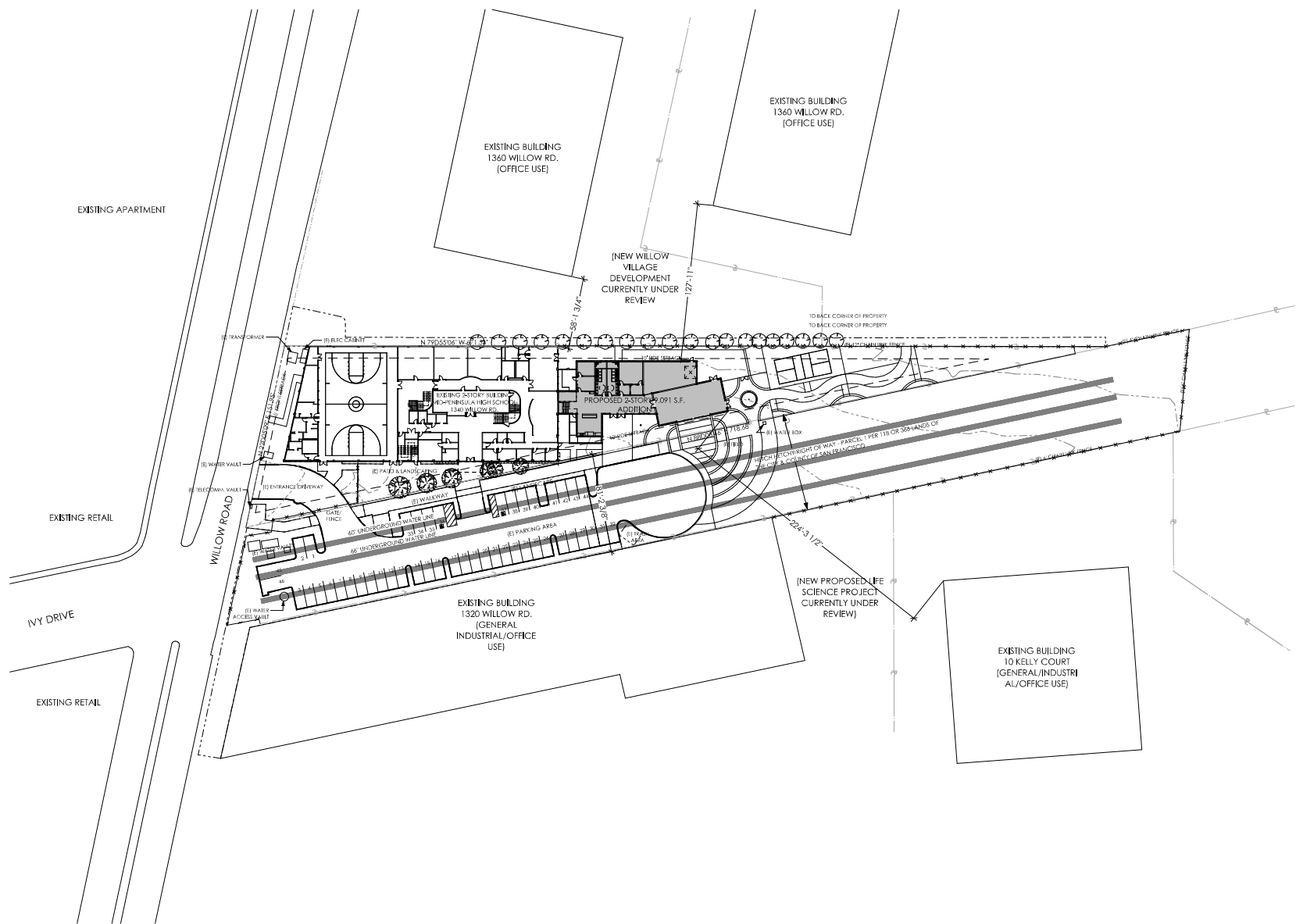
DATE	BY

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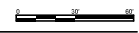


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 www.stackerandnorthwy.com

Mid-Peninsula High School - New Classroom Addition
 1340 Willow Road
 Menlo Park, CA 94025



1 AREA PLAN
SCALE: 1" = 4'-00"



DATE	
DATE	
DATE	
DATE	
DATE	
DATE	
DATE	
DATE	

S+N
stoeker + northway
architects

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1340 Willow Road
Menlo Park, CA 94025

SHEET #14
AREA PLAN

SCALE:
AS SHOWN

DESIGNED BY:
CWM, JW

DATE:
20099

DATE:
12/20/2023

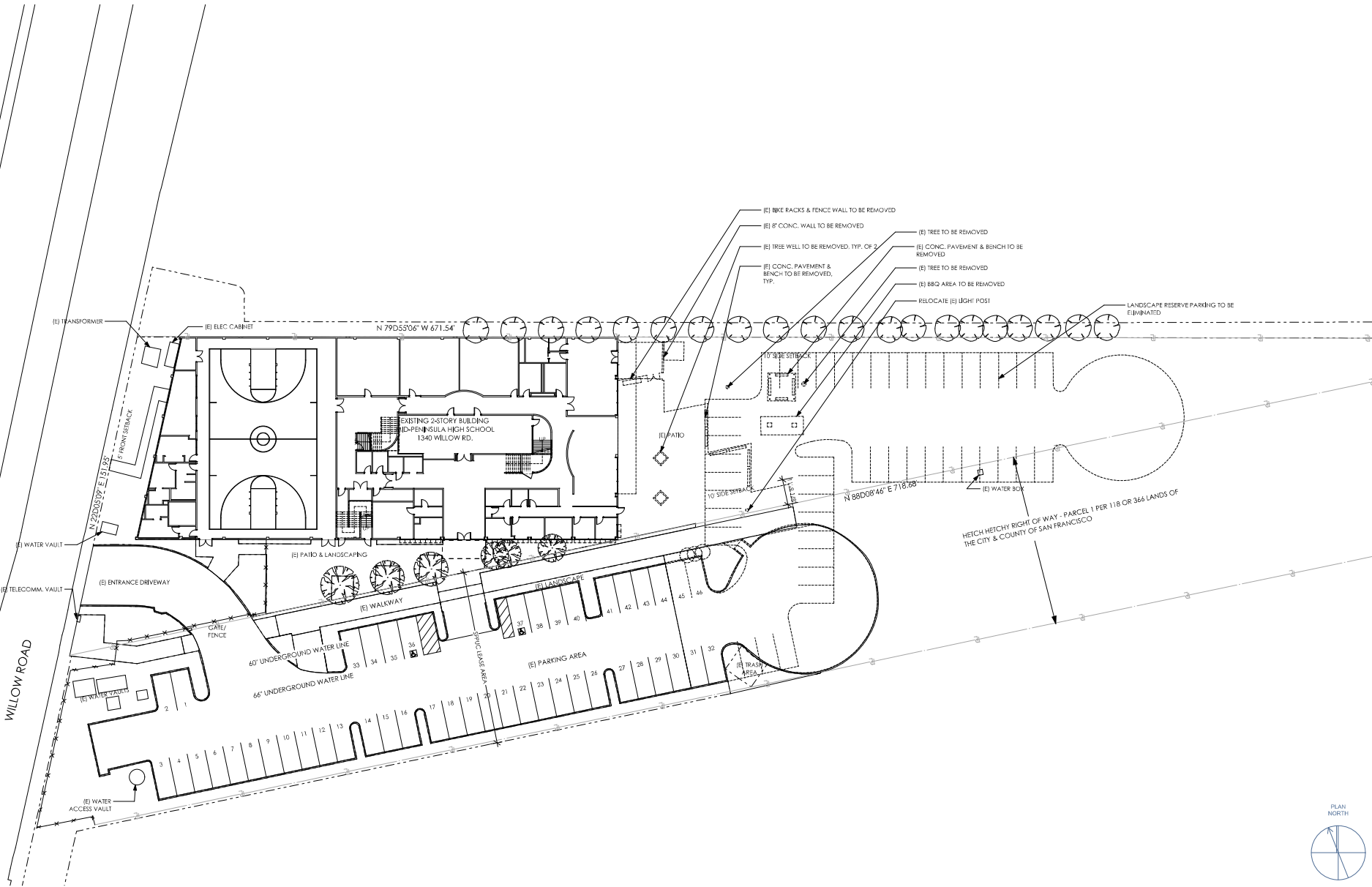
SHEET:
A1

DATE	BY

These drawings are prepared and/or checked by the civil engineer, landscape architect, electrical engineer, or other professional as noted on the drawings. The professional seal of the engineer, architect, landscape architect, or other professional is required for the drawings to be used for construction. The professional seal of the engineer, architect, landscape architect, or other professional is required for the drawings to be used for construction.



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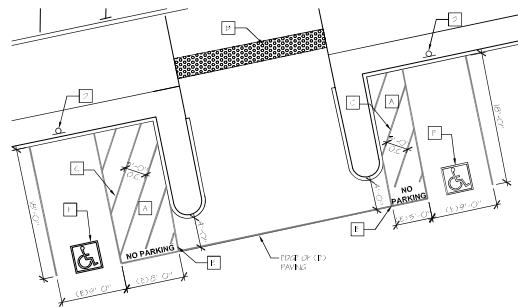
SHEET #14
 DEMOLITION SITE
 PLAN

SCALE:	AS SHOWN
DESIGNER:	CWM, JW
JULY 2009:	2009P
DATE:	12/20/2023



SHEET
A2

1 DEMOLITION SITE PLAN
 SCALE: 1" = 32'



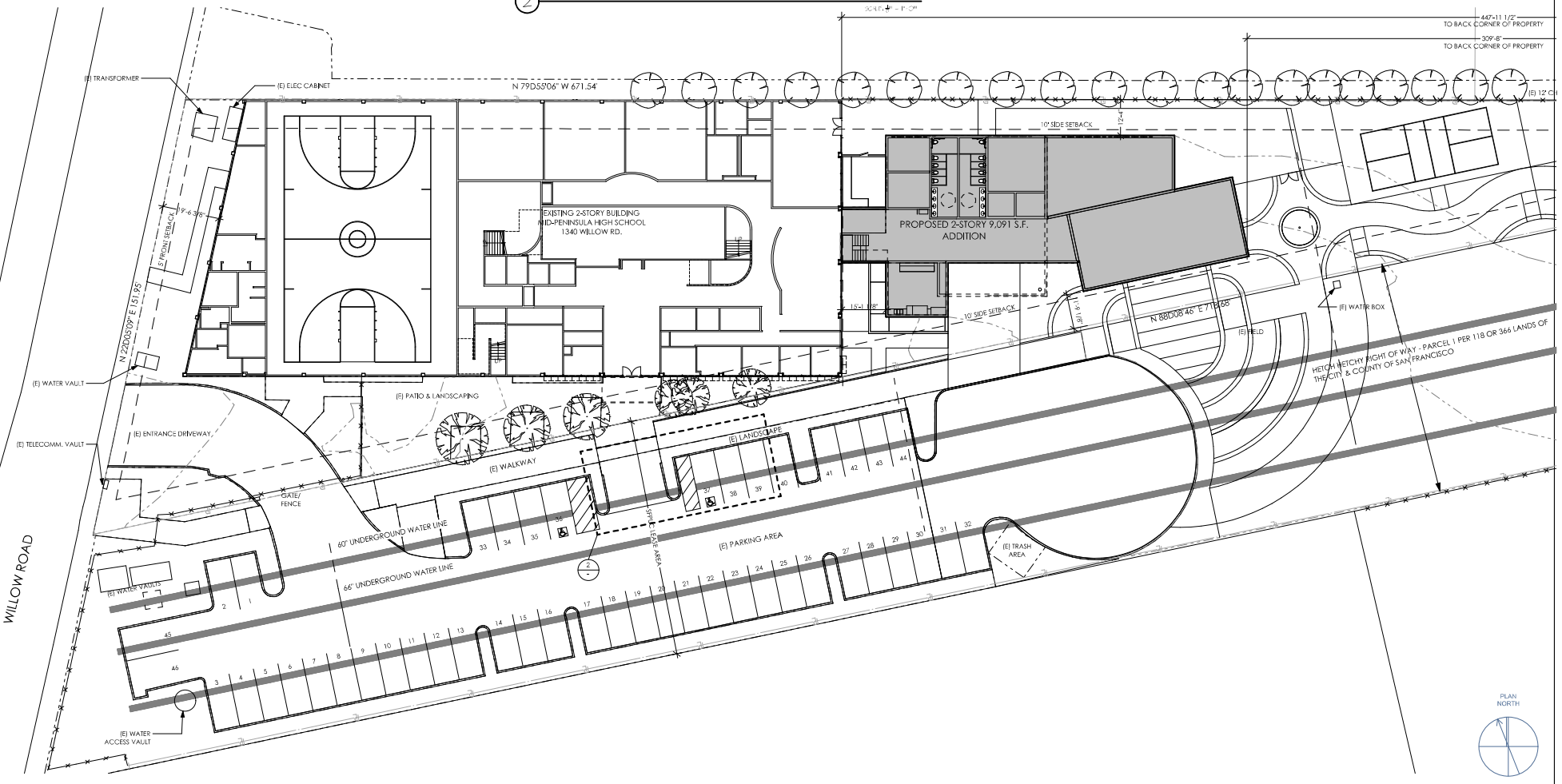
KEY NOTES

- (E) EXISTING FLOOR FINISH TO REMAIN
- (E) EXISTING EXTERIOR FINISH TO REMAIN
- (E) EXISTING EXTERIOR FINISH TO REMAIN
- (E) EXISTING EXTERIOR FINISH TO REMAIN
- (E) EXISTING EXTERIOR FINISH TO REMAIN
- (E) EXISTING EXTERIOR FINISH TO REMAIN
- (E) EXISTING EXTERIOR FINISH TO REMAIN
- (E) EXISTING EXTERIOR FINISH TO REMAIN

SITE ANALYSIS

REQUIRED SETBACKS:	PROPOSED SETBACKS:	
FRONT: 10'	FRONT: 10'	
SIDE: 10'	SIDE: 12'-8" & 11'-0"	
REAR: 10'	REAR: 30'-8" TO BACK CORNER	
LOTLAREA: 49,905 S.F.		
AVOIDMENT	BASED ON CURRENT ZONING	BASED ON PROPOSED OPENSPACE
ALL WARE FLOOR AREA (80%): 49,905 S.F. x 0.80 = 39,924 S.F.	49,905 S.F. x 0.8 = 39,924 S.F.	49,905 S.F. x 0.8 = 39,924 S.F.
EXISTING FLOOR AREA: 9,091 S.F.	9,091 S.F.	9,091 S.F.
TOTAL PROPOSED FLOOR AREA: 39,868 S.F. ± (79.9%)	39,868 S.F. ± (79.9%)	39,868 S.F. ± (79.9%)
MINIMUM OPEN SPACE: 49,905 S.F. x 0.20 = 9,981 S.F.	49,905 S.F. x 0.20 = 9,981 S.F.	49,905 S.F. x 0.20 = 9,981 S.F.
EXISTING+PROPOSED COVERAGE: 20,220 S.F. ± (40.3%)	20,220 S.F. ± (40.3%)	20,220 S.F. ± (40.3%)
PROPOSED OPEN SPACE: 49,905 - 26,272 = 23,633 S.F. ± (47.4%)	49,905 - 26,272 = 23,633 S.F. ± (47.4%)	49,905 - 26,272 = 23,633 S.F. ± (47.4%)
EXISTING LANDSCAPING: 20,150 S.F. (40.3%)	20,150 S.F. (40.3%)	20,150 S.F. (40.3%)
PROPOSED LANDSCAPING: 10,752 S.F. (21.5%)	10,752 S.F. (21.5%)	10,752 S.F. (21.5%)
EXISTING PAVING: 8,444 S.F. (17.3%)	8,444 S.F. (17.3%)	8,444 S.F. (17.3%)
TOTAL PROPOSED PAVING: 13,130 S.F. (26.3%)	13,130 S.F. (26.3%)	13,130 S.F. (26.3%)
PARKING STALLS	44 STANDARD STALLS (8'-6" WIDE)	2 ACCESSIBLE STALLS (VAN ACCESSIBLE)
EXISTING:	46 TOTAL	NO CHANGE TO EXISTING PARKING COUNT
PROPOSED:		

2 EXISTING ACCESSIBLE PARKING STALLS



1 SITE PLAN

ARCHITECTS

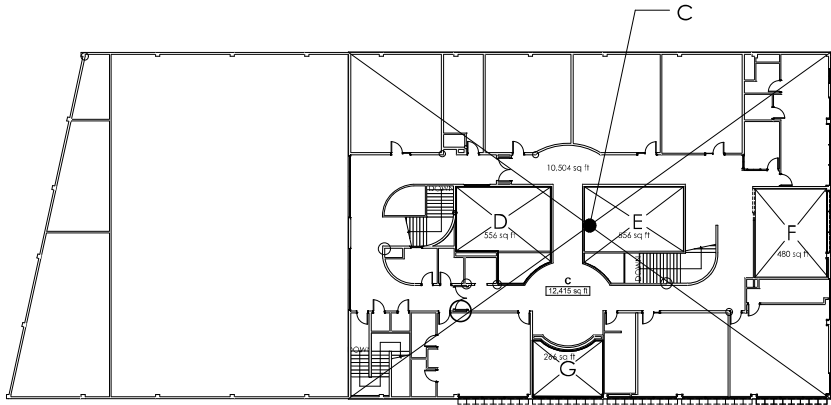
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SHEET NO:	PROPOSED SITE PLAN
DATE:	AS SHOWN
DESIGNED BY:	CWM, JW
DATE:	2009P
DATE:	12/20/2023

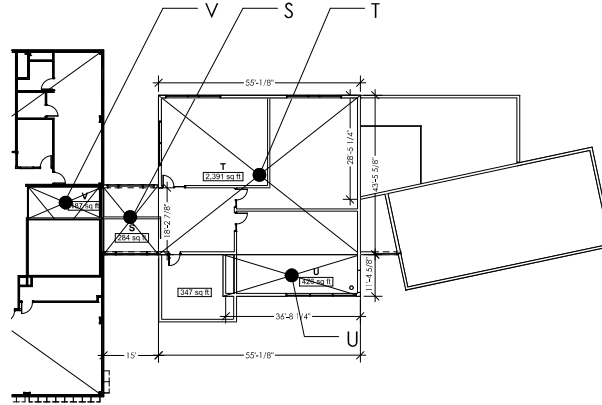
A3



Building Area Calculations - Existing 2nd Floor	
Zone Name	Area
C	12,414.54
TOTAL = 12,414.54 sq ft	

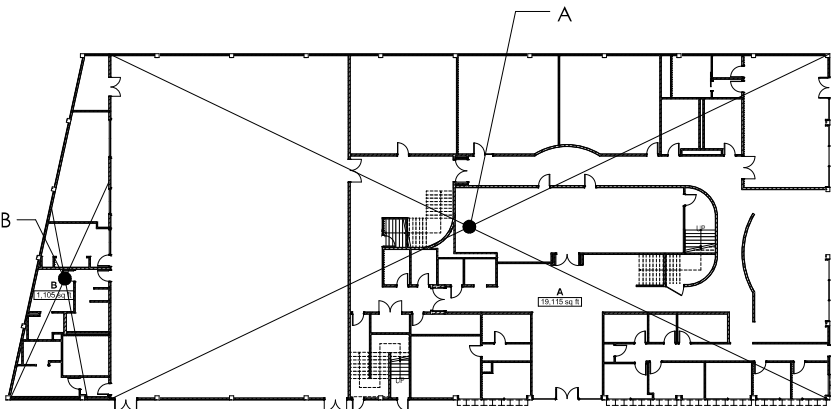
MENUS OPEN TO BELOW AREAS @ 2ND FLOOR:
 AREA D = 556 S.F.
 AREA E = 556 S.F.
 AREA F = 480 S.F.
 AREA G = 266 S.F.
 TOTAL = 10,557 S.F.

4 EXISTING 2ND FLOOR AREA
SCALE: 1/16" = 1'-0"



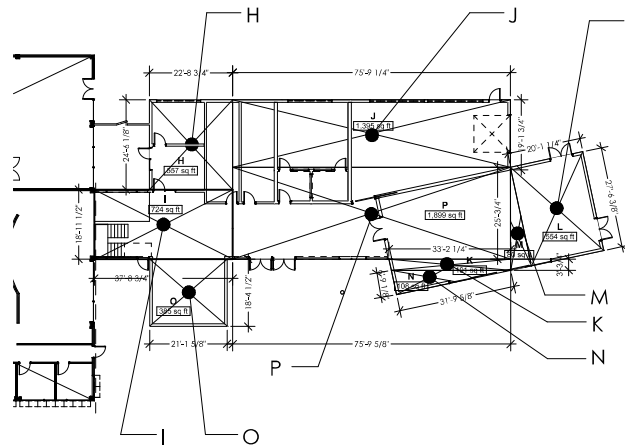
Building Area Calculations - Proposed	
Zone Name	Area
T	2,391.10
U	425.72
V	186.73
TOTAL PROPOSED 2ND FLOOR = 3,288.05 S.F.	

2 PROPOSED 2ND FLOOR AREA
SCALE: 1/16" = 1'-0"



Building Area Calculations - Existing 1st Floor	
Zone Name	Area
A	19,115.09
B	20,219.79
TOTAL = 39,334.88 sq ft	

3 EXISTING 1ST FLOOR AREA
SCALE: 1/16" = 1'-0"



Building Area Calculations - Proposed	
Zone Name	Area
H	558.73
I	723.82
J	1,395.09
K	100.79
L	554.11
M	80.16
N	107.50
O	388.32
P	1,878.72
TOTAL PROPOSED 1ST FLOOR = 5,803 S.F.	

1 PROPOSED 1ST FLOOR AREA
SCALE: 1/16" = 1'-0"

BUILDING AREA CALCULATIONS:	
EXISTING 1ST FLOOR	= 20,220 S.F.
PROPOSED 1ST FLOOR	= 5,803 S.F.
TOTAL 1ST FLOOR	= 26,023 S.F.
EXISTING 2ND FLOOR	= 10,557 S.F.
PROPOSED 2ND FLOOR	= 3,288 S.F.
TOTAL 2ND FLOOR	= 13,845 S.F.
TOTAL BUILDING FLOOR AREA	= 39,868 S.F.

DATE	BY

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SHEET #14
 FLOOR AREA
 DIAGRAM
 DATE:
 AS SHOWN
 DRAWN BY:
 CWM, JW
 CHECKED BY:
 2009P
 DATE:
 12/20/2023
 SHEET

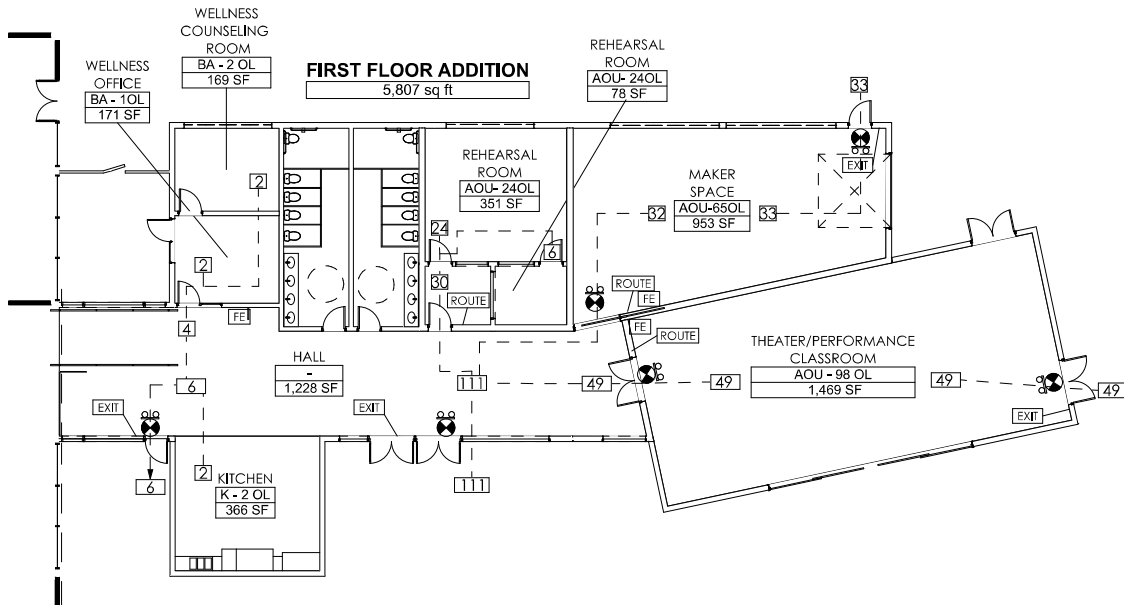
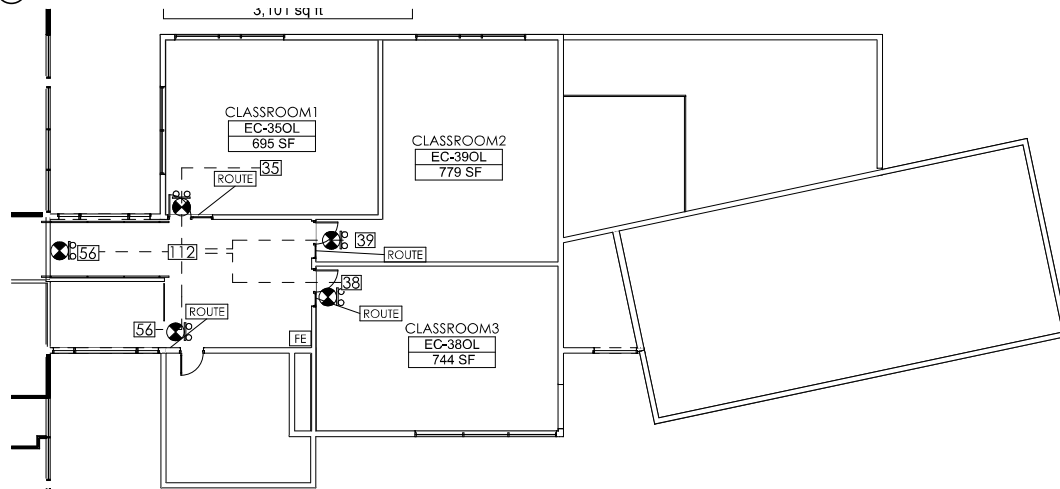


TABLE 1004.5 - MAXIMUM FLOOR AREA ALLOWANCE PER OCC.

ABBREVIATION	FUNCTION OF SPACE	OCC. LOAD FACTOR (OL)
ASME	ACC. STORAGE/MECH. EQUIP. ROOM	500 GROSS
AS	ASSEMBLY W/ FIXED SEATS	SEE CBC 1009.4
ASG	ASSEMBLY W/O FIXED SEATS - CONC. CHAIRS NOT FIXED	7 NET
ASQ	ASSEMBLY W/O FIXED SEATS - STANDING SPACE	5 NET
AOU	ASSEMBLY W/O FIXED SEATS - UNCONC. (TABLES & CHAIRS)	15 NET
BA	BUSINESS AREAS	150 GROSS
BC	BUSINESS AREAS - CONC. BUSINESS USE	50 GROSS
EC	EDUCATIONAL - CLASSROOM	20 NET
K	COMMERCIAL KITCHEN	200 GROSS

① 1ST FLOOR EGRESS
SCALE: 1/8" = 1'-0"



② 2ND FLOOR EGRESS
SCALE: 1/8" = 1'-0"

DATE	
REV	

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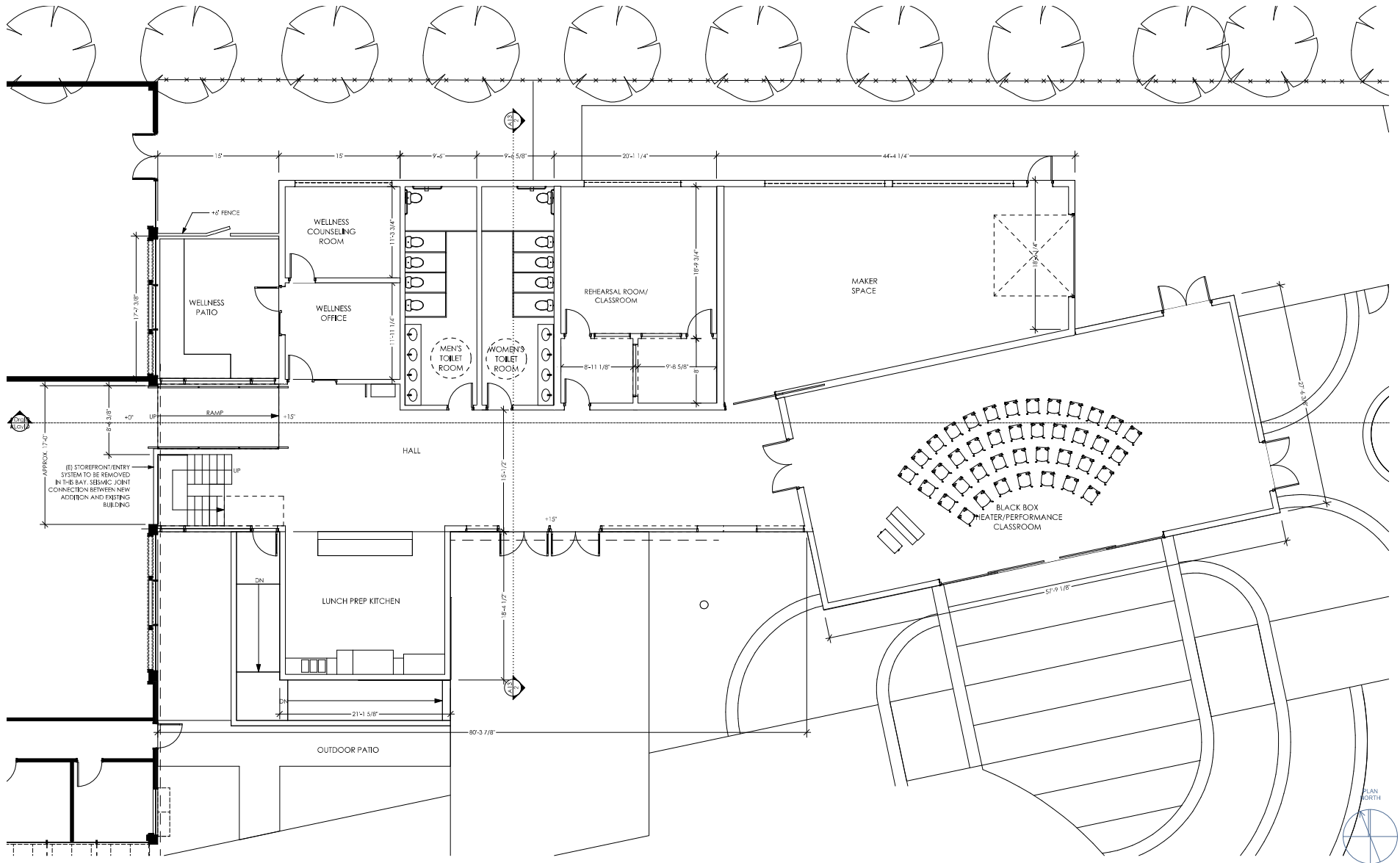
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Menlo Park, CA 94025

SHEET #14
EXITING PLANS

DATE:
AS SHOWN
DRAWN BY:
CWM, JW
DATE:
20099
DATE:
12/20/2023
SHEET

A5



1 PROPOSED 1ST FLOOR
SCALE: 3/16" = 1'-0"

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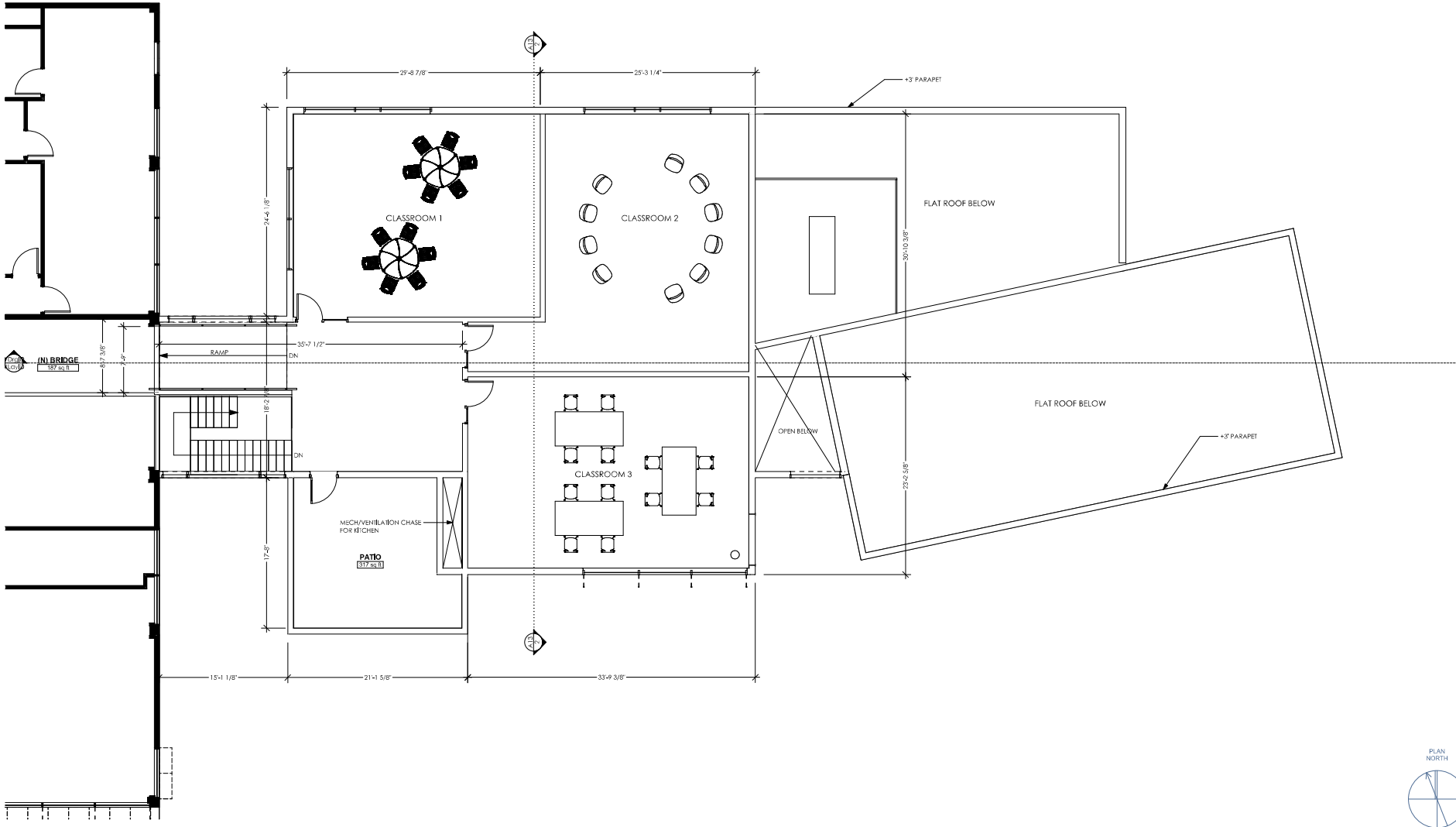


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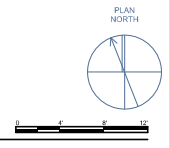
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SHEET NO.	FIRST FLOOR PLAN
DATE	AS SHOWN
DESIGNER	CWM, JW
DATE	2009P
DATE	12/20/2023
SHEET	A7





1 PROPOSED 2ND FLOOR
SCALE: 3/16" = 1'-0"



NO.	DATE	DESCRIPTION

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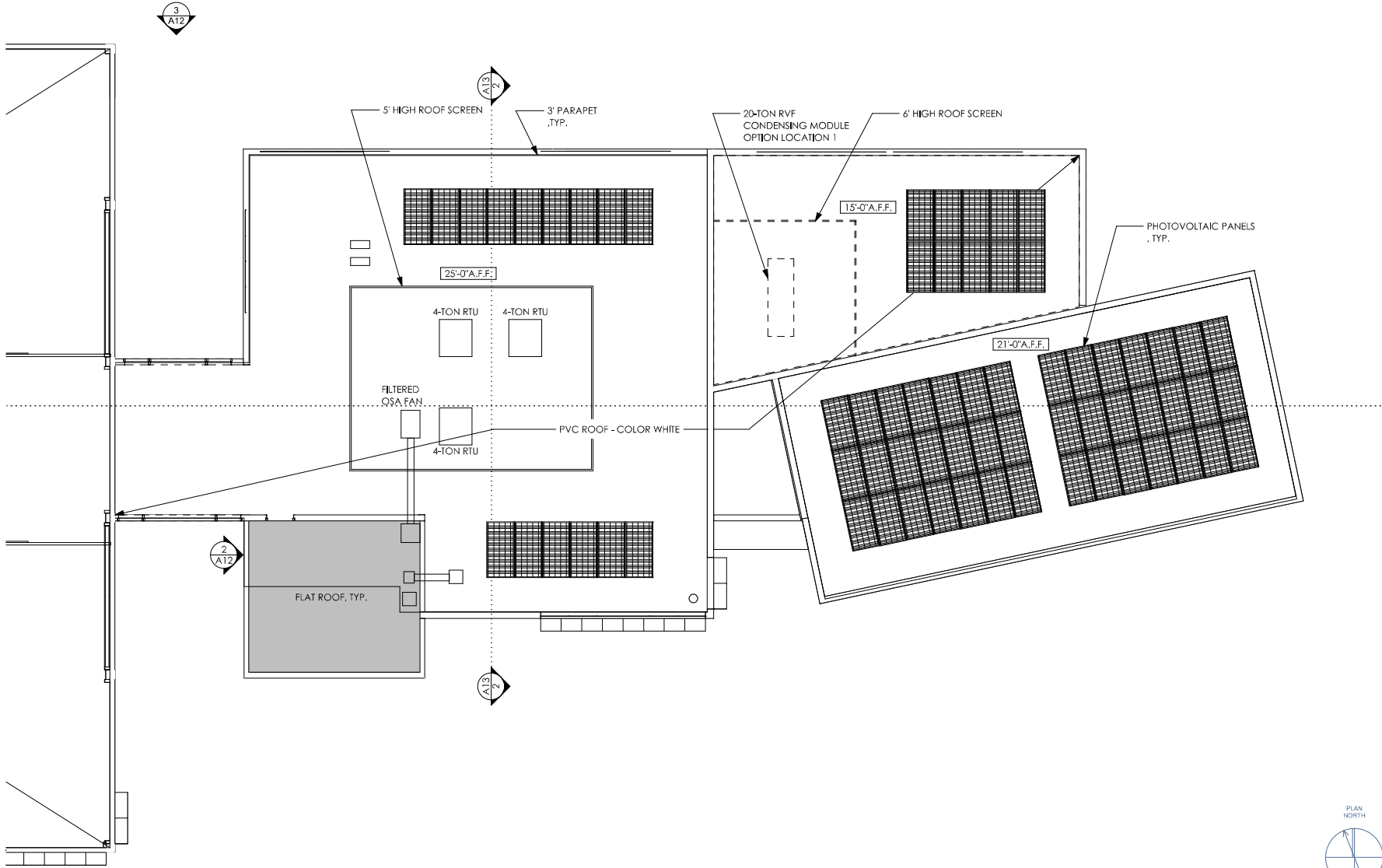
4633 Old Ironsides Dr., Ste. 130
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www.s+narchitects.com

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1340 Willow Road
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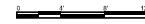
SHEET NO.:
SECOND FLOOR
PLAN

SCALE:
AS SHOWN
DRAWN BY:
CWM, JW
JOB NO.:
20099
DATE:
12/20/2023
SHEET

A8



1 PROPOSED ROOF PLAN
SCALE: 3/16" = 1'-0"



DATE	BY

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SHEET NO.
 ROOF PLAN
 SCALE
 AS SHOWN
 DESIGNER
 CWM, JW
 JOB NO.
 20099
 DATE
 12/20/2023
 SHEET

A9



1350 WILLOW RD



MID-PENINSULA HIGH SCHOOL
1340 WILLOW RD



MID-PENINSULA HIGH SCHOOL
1340 WILLOW RD



1320 WILLOW RD

DATE	
REVISION	

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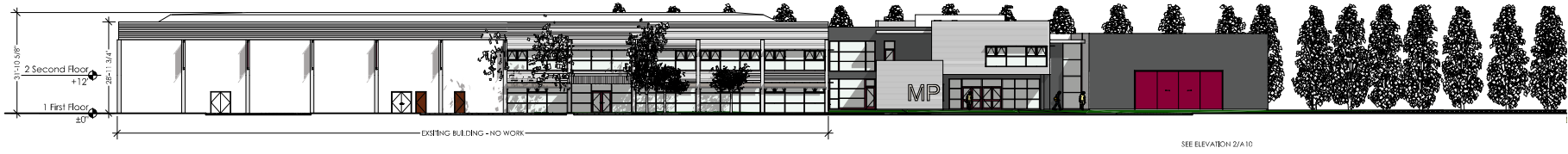
4833 Old Ironsides Dr., Ste. 130
Santa Clara, CA 95054
650.945.3200

www.stockerandnorthway.com

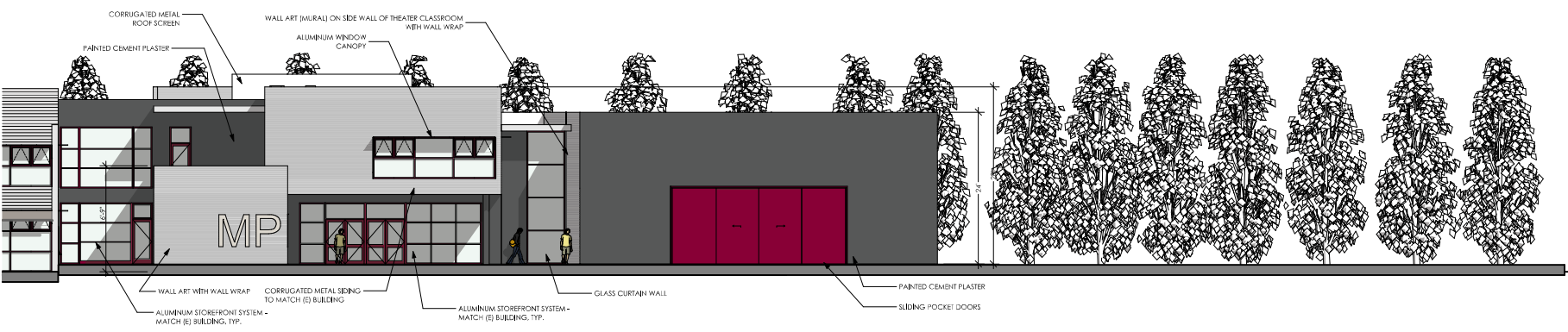
Mid-Peninsula High School - New Classroom Addition
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SHEET #1
STREETSCAPE

SCALE:
AS SHOWN
DRAWN BY:
CWM, JW
DATE:
20099
DATE:
12/20/2023
SHEET



① SOUTH ELEVATION - Full
SCALE: 1/16" = 1'-0"



② SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

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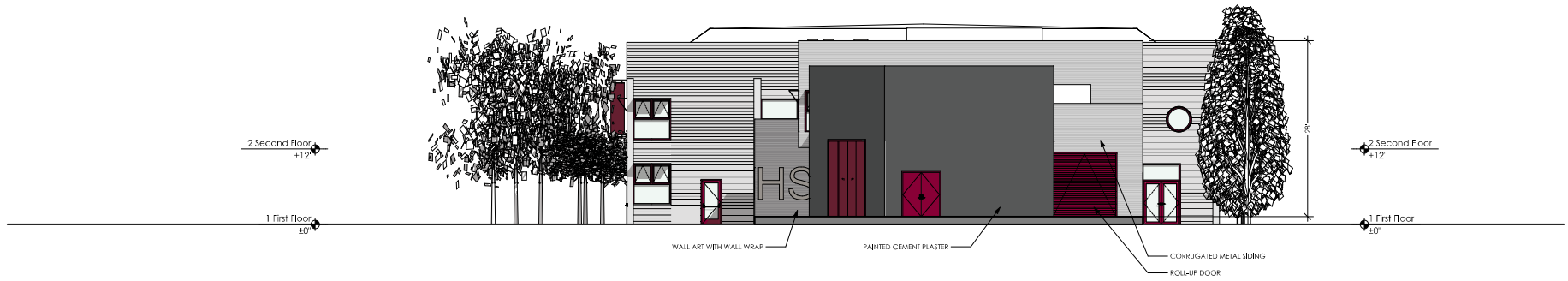


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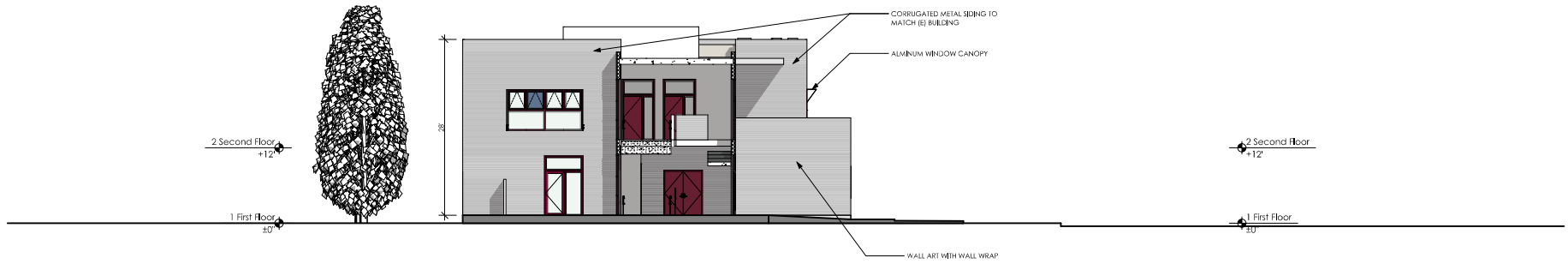
Mid-Peninsula High School - New Classroom Addition
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Menlo Park, CA 94025

SHEET NO. EXTERIOR ELEVATIONS
SCALE: AS SHOWN
DESIGNED BY: CWM, JW
DATE: 20099
DATE: 12/20/2023
SHEET

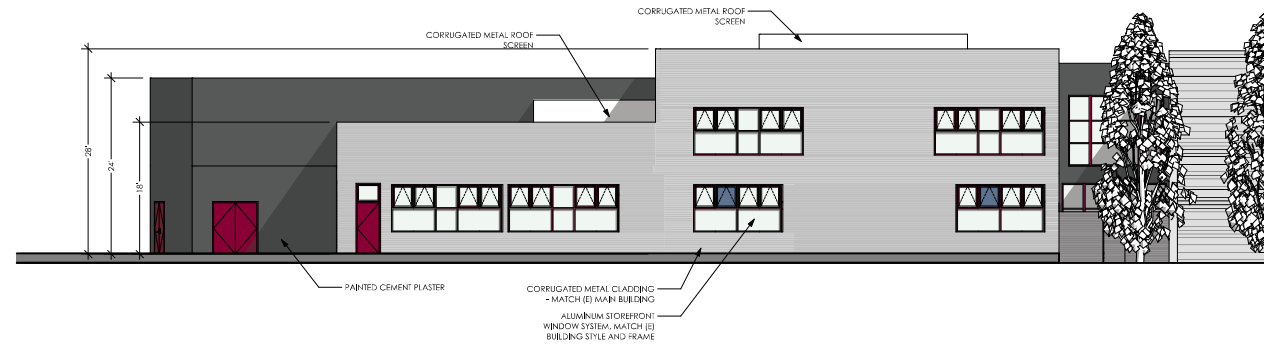
A11



① EAST ELEVATION
SCALE 1/8" = 1'-0"



② WEST ELEVATION
SCALE 1/8" = 1'-0"



③ NORTH ELEVATION
SCALE 1/8" = 1'-0"

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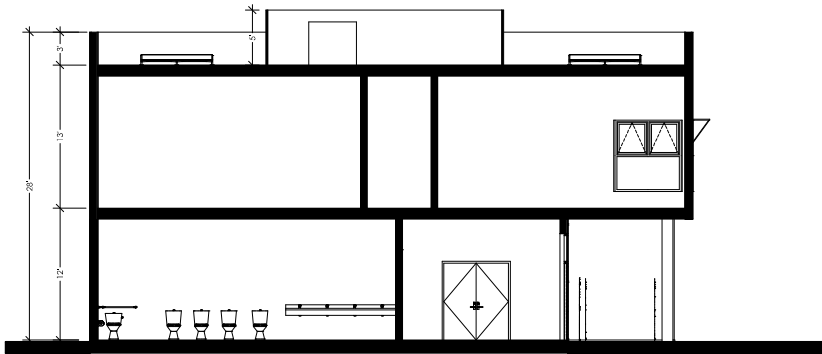
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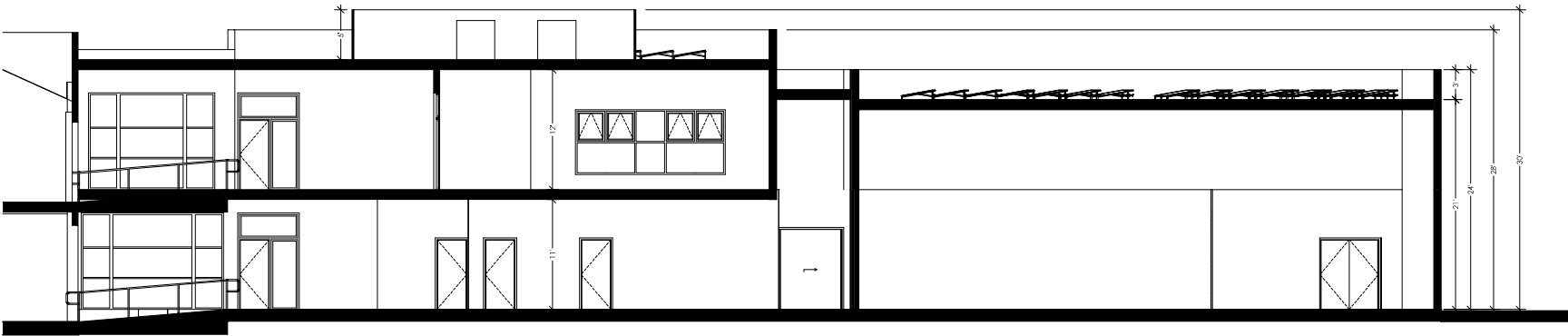
SHEET #14
EXTERIOR
ELEVATIONS

STATUS: AS SHOWN
DESIGNER: CWM, JW
DATE: 20099
DATE: 12/20/2023

A12



2 SECTION B
SCALE: 3/16" = 1'-0"



1 SECTION A
SCALE: 3/16" = 1'-0"

NO.	DATE	DESCRIPTION

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SECTION A
SCALE: AS SHOWN
DRAWN BY: CWM, JW
CHECKED BY: JWP
DATE: 12/20/2023
SHEET: A13



② MAIN ENTRANCE VIEW AT ADDITION (SOUTH)
NOT TO SCALE



① MAIN ENTRANCE VIEW - EXISTING BUILDING AND ADDITION (SOUTH)
SCALE: 1/4" = 1'-0"

DATE	BY

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CONCEPT VIEWS

SCALE: AS SHOWN
DRAWN BY: CWM, JW
DATE: 20099
DATE: 12/20/2023



⑥ PERFORMING ARTS CLASSROOM (SOUTHEAST END)
SCALE: 1/4" = 1'-0"



⑤ BACK OF BUILDING (NORTH)
SCALE: 1/4" = 1'-0"

NO.	DATE	DESCRIPTION

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CONCEPT VIEWS

SCALE: AS SHOWN
DRAWN BY: CWM, JW
DATE: 20099
DATE: 12/20/2023

A15



7 MAIN ENTRANCE AT ADDITION
SCALE: 1:51.79



8 CONNECTION BETWEEN EXISTING BUILDING & ADDITION
SCALE: 1:52.03

DATE	DESCRIPTION

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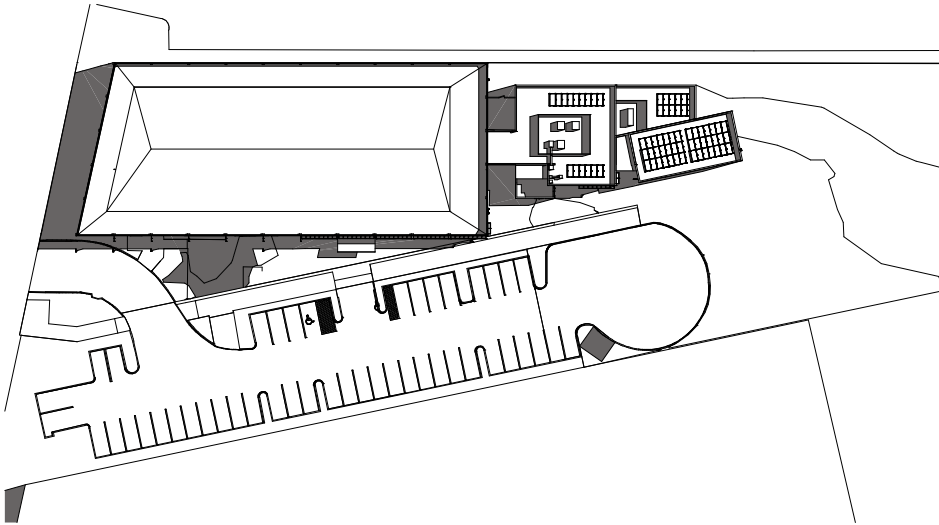
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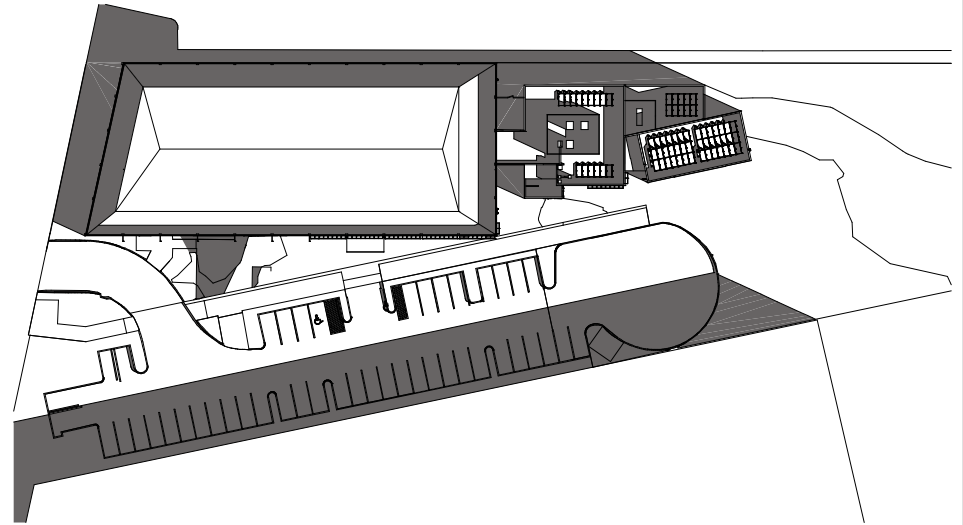
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CONCEPT VIEWS

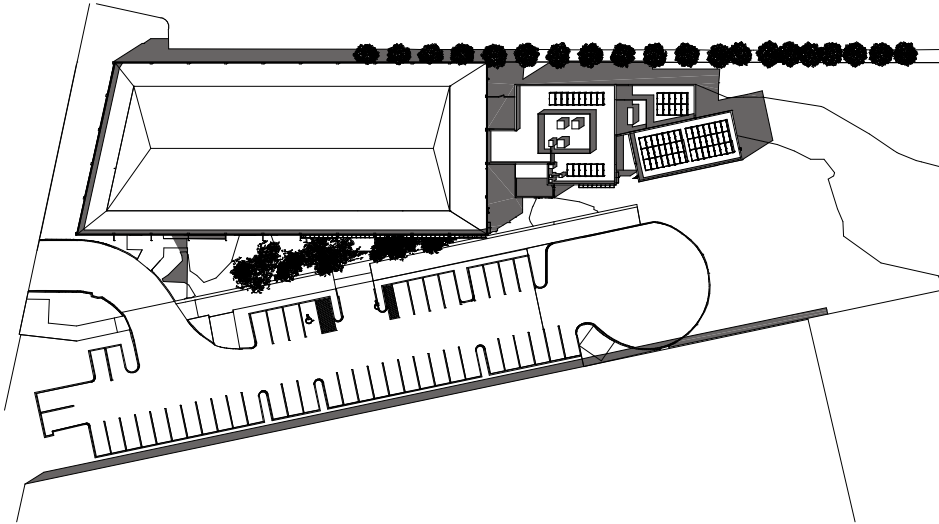
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DRAWN BY: CWM, JW
DATE: 20099
DATE: 12/20/2023



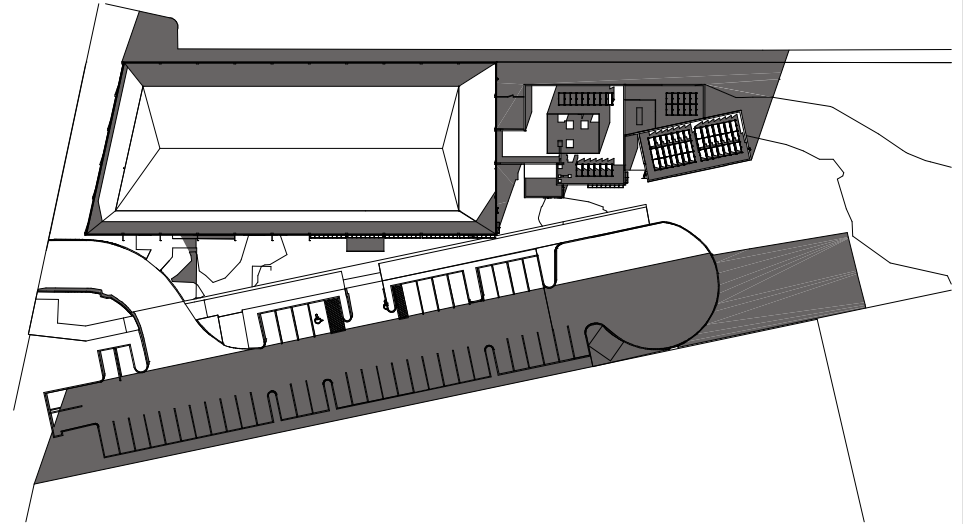
④ SUN STUDY - SUMMER 9AM
SCALE: 1/32" = 1'-0"



① SUN STUDY - WINTER 9AM
SCALE: 1/32" = 1'-0"



③ SUN STUDY - SUMMER 3PM
SCALE: 1/32" = 1'-0"



② SUN STUDY - WINTER 3PM
SCALE: 1/32" = 1'-0"

NO.	DATE

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SHEET #14
SUN STUDIES

SCALE:
AS SHOWN
DESIGNER:
CWM, JW
DATE:
20099
DATE:
12/20/2023
SHEET

CORRUGATED METAL SIDING
TO MATCH EXISTING BUILDING
BY CENTRIA
COLOR: XL SILVER



EXTERIOR GRAPHIC
APPLIED WITH WALL WRAP
PRODUCT BY 3M
(GRAPHIC TO BE FINALIZED -
IMAGE SHOWN FOR
REPRESENTATION)



PAINTED CEMENT PLASTER
SAND FLOAT TEXTURE
PAINT COLOR: DUNN EDWARDS
"CARBON FIBER" DEGR63



STOREFRONT WINDOW FRAMES
AND EXTERIOR DOORS
MATCH EXISTING KYNAR FINISH
COLOR: SHERWIN WILLIAMS
"ANTIQUE RED" SW 7587



**MID-PENINSULA HIGH SCHOOL
1340 WILLOW ROAD
NEW CLASSROOM ADDITION**

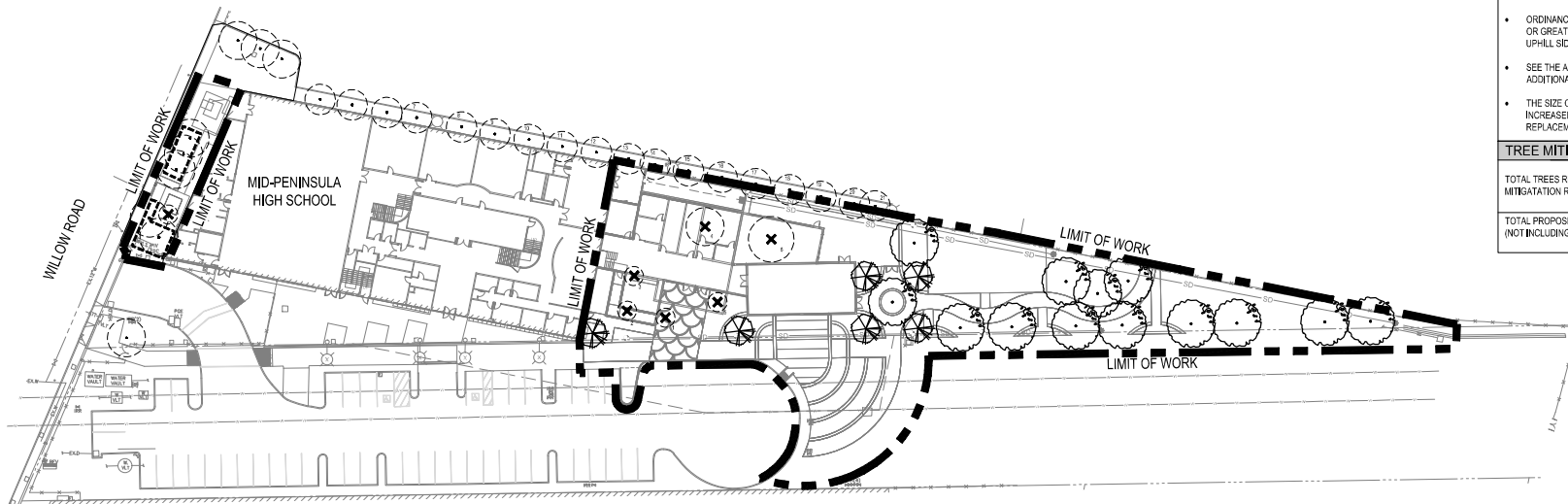


NO.	DATE	REVISIONS

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DESCRIPTION	SYMBOL
TREE TO BE REMOVED	
TREE TO REMAIN/PROTECT	
PROPOSED TREE, TYPICAL SEE PLANTING PLAN	
TREE PROTECTION FENCING (SEE DETAIL, THIS SHEET)	

ON-SITE TREE MITIGATION TABLE				
	DBH**	QTY***	REPLACEMENT RATIO/SIZE	QUANTITY REQUIRED
TOTAL NATIVE TREES TO BE REMOVED	≤ 12" DIA.	0	1:1 - 15 GALLON	0
	12"-18" DIA.	0	3:1 - 15 GALLON	0
	*18" DIA.	0	5:1 - 15 GALLON	0
TOTAL NON-NATIVE TREES TO BE REMOVED	≤ 12" DIA.	5	1:1 - 15 GALLON	5
	12"-18" DIA.	2	2:1 - 15 GALLON	4
	*18" DIA.	0	4:1 - 15 GALLON	0

- IF QUANTITY OF PROPOSED TREES ARE NOT EQUAL TO OR GREATER THAN REQUIRED TREES, THE PROJECT IS SUBJECT TO MITIGATION FEES PER CITY OF SAN JOSE POLICY.
- ORDINANCE TREE HAS A CIRCUMFERENCE (CIR) OF 38 INCHES OR GREATER, CIRCUMFERENCE IS 4'-6" ABOVE GRADE ON THE UPHILL SIDE OF TREE.
- SEE THE ARBORIST INVENTORY DATED 8/31/20 FOR ADDITIONAL INFORMATION.
- THE SIZE OF A 15-GALLON REPLACEMENT TREE CAN BE INCREASED TO 24-INCH BOX AND COUNT AS TWO REPLACEMENT TREES.

TREE MITIGATION SUMMARY TABLE		
	QUANTITY	SIZE
TOTAL TREES REQUIRED TO MEET MITIGATION REQUIREMENTS	9	15 GALLON
TOTAL PROPOSED TREES (NOT INCLUDING STREET TREES)	= 9 TREES REQUIRED	
	19	

Read this information in conjunction with the project description and other sheets of this plan. This is a preliminary plan and subject to change. The City of San Jose requires that all trees to be removed be replaced with trees of equal or greater value. The City of San Jose requires that all trees to be removed be replaced with trees of equal or greater value. The City of San Jose requires that all trees to be removed be replaced with trees of equal or greater value.

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TREE MITIGATION AND PROTECTION PLAN

SCALE
 1" = 30'
 DRAWN BY
 CM, TC, LS
 PROJECT
 #5825.01
 DATE
 12/20/2023
 SHEET

L-01

S:\PROJECTS\2023\1340 Willow Road\1340 Willow Road.dwg

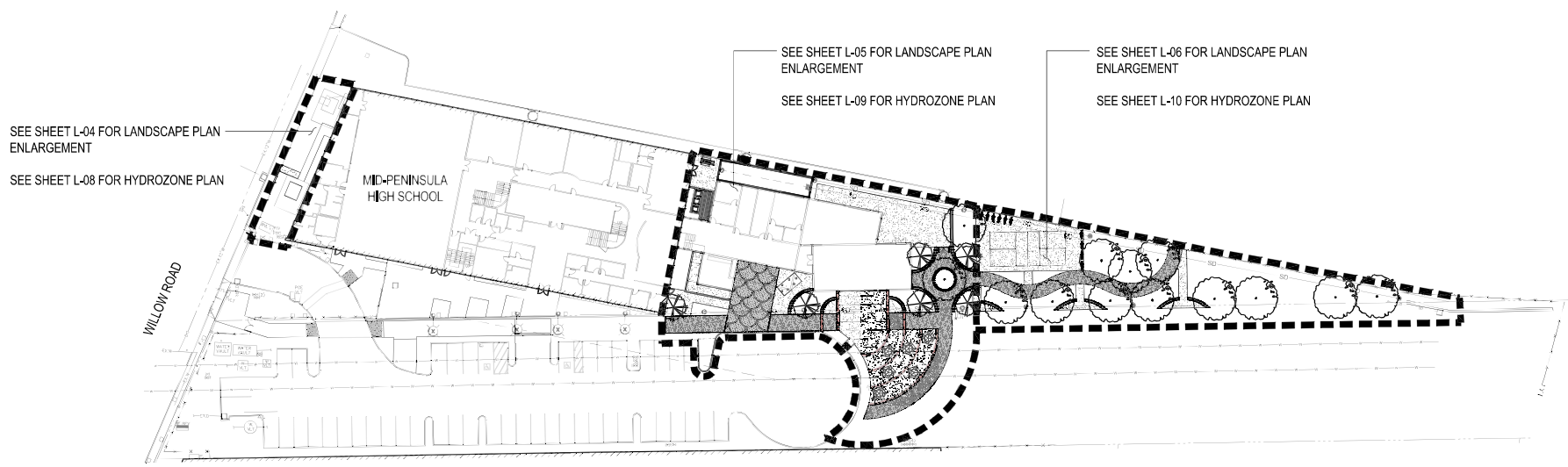
PLOTTED: 12/20/2023 3:04 PM

- NOTES:**
- SEE SHEET L-01 FOR TREE MITIGATION AND PROTECTION PLAN.
 - SEE SHEET L-02 FOR TREE INVENTORY, TREE PROTECTION DETAIL AND NOTES.
 - SEE SHEET L-03 FOR LANDSCAPE PLAN.
 - SEE SHEET L-04 - L-06 FOR LANDSCAPE PLAN ENLARGEMENT.
 - SEE SHEET L-07 FOR PLANTING LEGEND AND NOTES.
 - SEE SHEET L-08 - L-10 FOR HYDROZONE PLAN.
 - SEE SHEET L-11 FOR IRRIGATION DETAILS.
 - SEE SHEET L-12 FOR CONCEPT IMAGES.

This drawing is a conceptual design and is not a final plan. It is subject to change without notice. The contractor shall be responsible for obtaining all necessary permits and approvals. The contractor shall be responsible for obtaining all necessary permits and approvals. The contractor shall be responsible for obtaining all necessary permits and approvals.



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SEE SHEET L-04 FOR LANDSCAPE PLAN ENLARGEMENT

SEE SHEET L-08 FOR HYDROZONE PLAN

SEE SHEET L-05 FOR LANDSCAPE PLAN ENLARGEMENT

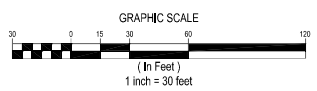
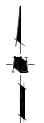
SEE SHEET L-09 FOR HYDROZONE PLAN

SEE SHEET L-06 FOR LANDSCAPE PLAN ENLARGEMENT

SEE SHEET L-10 FOR HYDROZONE PLAN

MID-PENINSULA HIGH SCHOOL

WILLOW ROAD



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SHEET 05
 LANDSCAPE PLAN

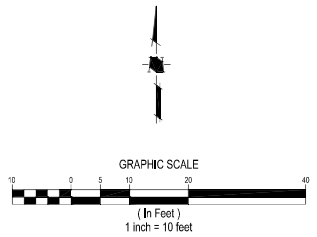
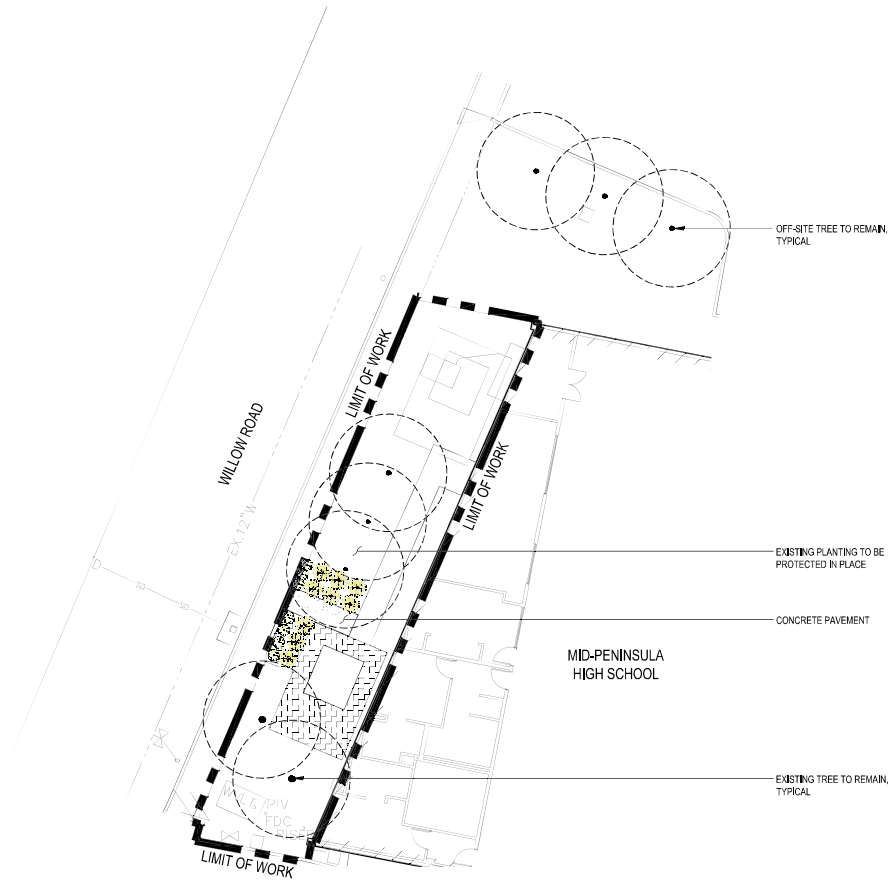
SCALE
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 DRAWN BY
 CM, TC, LS
 JOB NO.
 #5825.01
 DATE
 12/20/2023
 SHEET

L-03

S:\PROJECTS\2020\UP\MAN\120203\05.LDWG

- NOTES:**
1. SEE SHEET L-01 FOR TREE MITIGATION AND PROTECTION PLAN.
 2. SEE SHEET L-02 FOR TREE INVENTORY, TREE PROTECTION DETAIL, AND NOTES.
 3. SEE SHEET L-03 FOR LANDSCAPE PLAN.
 4. SEE SHEET L-04 - L-06 FOR LANDSCAPE PLAN ENLARGEMENT.
 5. SEE SHEET L-07 FOR PLANTING LEGEND AND NOTES.
 6. SEE SHEET L-08 - L-10 FOR HYDROZONE PLAN.
 7. SEE SHEET L-11 FOR IRRIGATION DETAILS.
 8. SEE SHEET L-12 FOR CONCEPT IMAGES.

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SHEET TITLE
LANDSCAPE PLAN ENLARGEMENT

SCALE
 1" = 10'

DRAWN BY
 CM, TC, LS

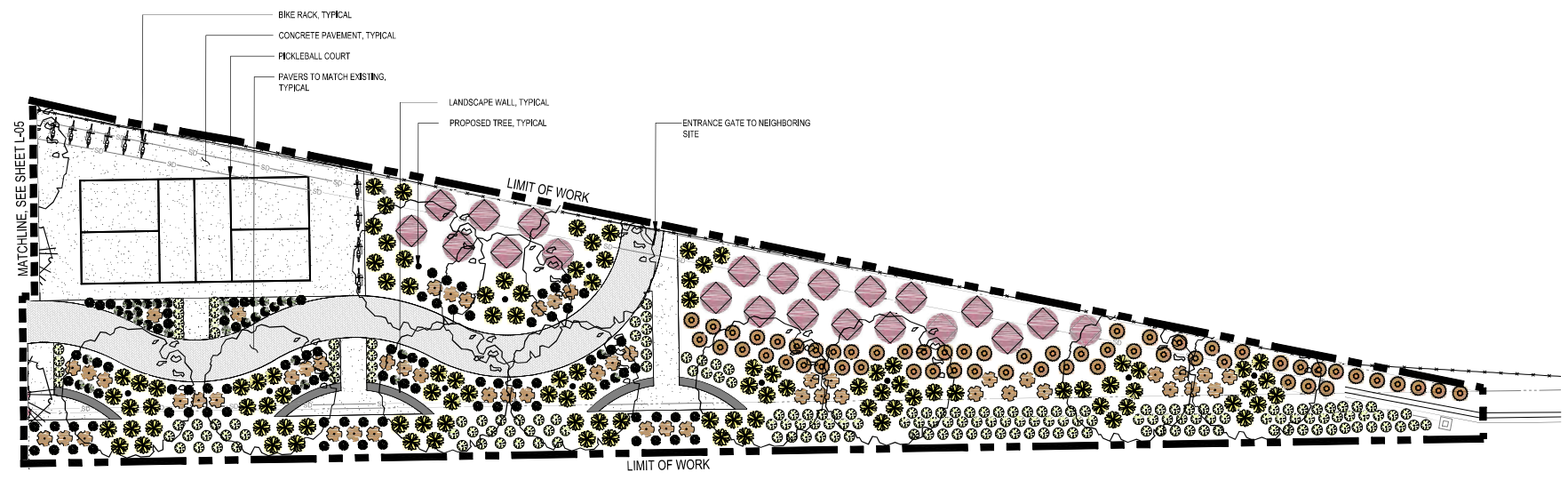
JOB NO.
 #5825.01

DATE
 12/20/2023

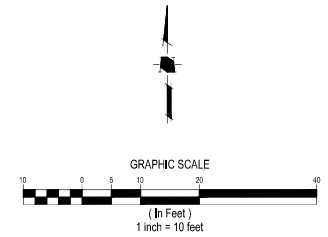
SHEET

L-04

- NOTES:**
1. SEE SHEET L-01 FOR TREE MITIGATION AND PROTECTION PLAN.
 2. SEE SHEET L-02 FOR TREE INVENTORY, TREE PROTECTION DETAIL, AND NOTES.
 3. SEE SHEET L-03 FOR LANDSCAPE PLAN.
 4. SEE SHEET L-04 - L-06 FOR LANDSCAPE PLAN ENLARGEMENT.
 5. SEE SHEET L-07 FOR PLANTING LEGEND AND NOTES.
 6. SEE SHEET L-08 - L-10 FOR HYDROZONE PLAN.
 7. SEE SHEET L-11 FOR IRRIGATION DETAILS.
 8. SEE SHEET L-12 FOR CONCEPT IMAGES.



EXISTING TURF TO REMAIN



DATE	BY	REVISION

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SHEET TITLE
 LANDSCAPE
 PLAN ENLARGEMENT

SCALE
 1" = 10'

DESIGNED BY
 CM, TC, LS

PROJECT NO.
 #5825.01

DATE
 12/20/2023

SHEET

L-06

S:\PROJECTS\582501\PLAN\LANDSCAPE\582501.LDW



L MOVEABLE TABLES WITH UMBRELLA
SCALE: NTS



I PICKLEBALL COURT
SCALE: NTS



F LANDSCAPE WALL
SCALE: NTS



C CONCRETE WITH COLORED CONCRETE BANDS
SCALE: NTS



K GATED FENCE AROUND MAKERS SPACE
SCALE: NTS



H LOW WATER USE PLANTING
SCALE: NTS



E PICNIC TABLES
SCALE: NTS



B ART SEATING
SCALE: NTS



J PAVERS TO MATCH EXISTING
SCALE: NTS



G SCULPTURE ART
SCALE: NTS



D BIKE RACKS
SCALE: NTS



A DECORATIVE PAVER PATTERN
SCALE: NTS