

# WARE MALCOMB

ARCHITECTURE  
PLANNING  
INTERIORS

CIVIL ENGINEERING  
BRANDING  
BUILDING MEASUREMENT

## **Chevron KDR (Knock Down Re-Build)** **1399 Willow Road, Menlo Park, CA 94025**

### **Project Description:**

Existing Chevron site to be demolished to realign Hamilton Avenue as part of the larger Willow Village project.

Existing Chevron Fuel Canopy, C-Store and Car Wash sits on the corner of Willow Road and Hamilton Avenue on 1.32 Acre site. The entire site is to be demolished, including the existing fuel system and tanks. Environmental items associated with this work to be completed under a separate permit.

New Chevron Fuel Canopy, C-Store and Car Wash to sit on a new .96 Acre site on the corner of the newly realigned Hamilton Avenue and Willow Road. Per earlier discussions with Kyle Peralta on this area within Menlo Park's city limits, no general parking criteria has been established. The primary use for this site will not change.

We look forward to working with the city on this project.

Thank you

### **Phillip King**

Senior Project Manager

[pking@waremalcomb.com](mailto:pking@waremalcomb.com)

D 925.368.1324 P 925.244.9620 x1420



## WARE MALCOMB

# CHEVRON

## C-STORE AND CAR WASH

1399 WILLOW ROAD  
MENLO PARK, CA 94025

### SHEET INDEX

#### ARCHITECTURAL

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  - AA.2 EXTERIOR ELEVATIONS - CANOPY
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  - C3.0 PRELIMINARY UTILITY PLAN
  - C4.0 PRELIMINARY STORMWATER TREATMENT PLAN
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- LANDSCAPE SHEET COUNT: 2

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  - EP1.1 LIGHTING CUT SHEETS PT. 1
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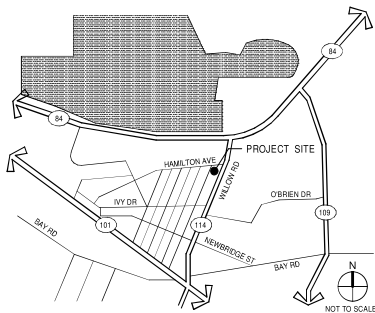
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civil engineering  
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**Chevron**  
FACILITY ID#  
20-7718  
1399 WILLOW ROAD  
MENLO PARK, CA 94025

#### VICINITY MAP



#### OWNER

**CHEVRON**  
6001 BOLLINGER CANYON ROAD  
CHEVRON PARK BUILDING L/L1168  
SAN RAMON, CA 94583  
(925) 842-1822

PRIMARY CONTACT: DARIN OKELLEY  
PH: (925) 842-1822  
EMAIL: dokelley@chevron.com  
ALTERNATE CONTACT:  
PH:  
EMAIL:

#### GENERAL CONTRACTOR

TBD

#### ARCHITECT

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ALTERNATE CONTACT:  
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#### OWNER'S CONSULTANTS

**CIVIL ENGINEER**  
WARE MALCOMB  
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SUITE E #300  
PLEASANTON, CA 94588  
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PRIMARY CONTACT: HARPREET CHOHAN  
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**GEOTECHNICAL ENGINEER**  
CORNERSTONE EARTH GROUP  
1259 DAKMEAD PARKWAY  
SUNNYVALE, CA 94085  
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PH:  
EMAIL:  
ALTERNATE CONTACT: ERIN L. STENER, P.E., G.E.  
PH:  
EMAIL:

#### ARCHITECT'S CONSULTANTS

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ACES ENGINEERING  
3371 OLCOTT STREET  
SANTA CLARA, CA 95054  
(408) 525-5255

PRIMARY CONTACT: WILSON LEE  
PH: (408) 525-5255  
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ALTERNATE CONTACT:  
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**ELECTRICAL ENGINEER**  
ACES ENGINEERING  
3371 OLCOTT STREET  
SANTA CLARA, CA 95054  
(408) 525-5255

PRIMARY CONTACT: WILSON LEE  
PH: (408) 525-5255  
EMAIL: info@aces.net  
ALTERNATE CONTACT:  
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EMAIL:

**PLUMBING ENGINEER**  
ACES ENGINEERING  
3371 OLCOTT STREET  
SANTA CLARA, CA 95054  
(408) 525-5255

PRIMARY CONTACT: WILSON LEE  
PH: (408) 525-5255  
EMAIL: info@aces.net  
ALTERNATE CONTACT:  
PH:  
EMAIL:

**LANDSCAPE ARCHITECT**  
NUVIS LANDSCAPE ARCHITECTURE  
2430 CAMINO RAMON  
SUITE 305  
SAN RAMON, CA 94583  
(925) 24-5555

PRIMARY CONTACT: JIM WILLIAMS  
PH: (925) 242-5555  
EMAIL: jwilliams@nuvis.net  
ALTERNATE CONTACT:  
PH:  
EMAIL:

TITLE SHEET

DATE	REVISED
06/12/2022	Final Design

PA/PM:	P. KING
DRAWN BY:	J.D./S.K.
JOB NO.:	SNR21-0033-00

SHEET  
**A0.1**



CONVENIENCE STORE LOOKING SOUTH



CANOPY LOOKING SOUTH



CANOPY AND CARWASH LOOKING SOUTH



CONVENIENCE STORE AND CANOPY LOOKING SOUTH



CONVENIENCE STORE AND CARWASH LOOKING SOUTH



CONVENIENCE STORE LOOKING SOUTH



CONVENIENCE STORE LOOKING SOUTH



CANOPY LOOKING NORTH



CONVENIENCE STORE LOOKING WEST



CARWASH LOOKING SOUTH



CARWASH LOOKING SOUTH



CARWASH AND CANOPY LOOKING EAST



CONVENIENCE STORE AND CANOPY LOOKING SOUTH



CONVENIENCE STORE AND CANOPY LOOKING SOUTH



CONVENIENCE LOOKING SOUTH



CONVENIENCE LOOKING SOUTH

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**Chevron** FACILITY ID#  
20-7718  
1399 WILLOW ROAD  
MENLO PARK, CA 94025

EXISTING PHOTOS	
DATE	REVISIONS

PA/PM:	P. KING
DRAWN BY:	J.D./S.K.
JOB NO.:	SNP21-0033-00

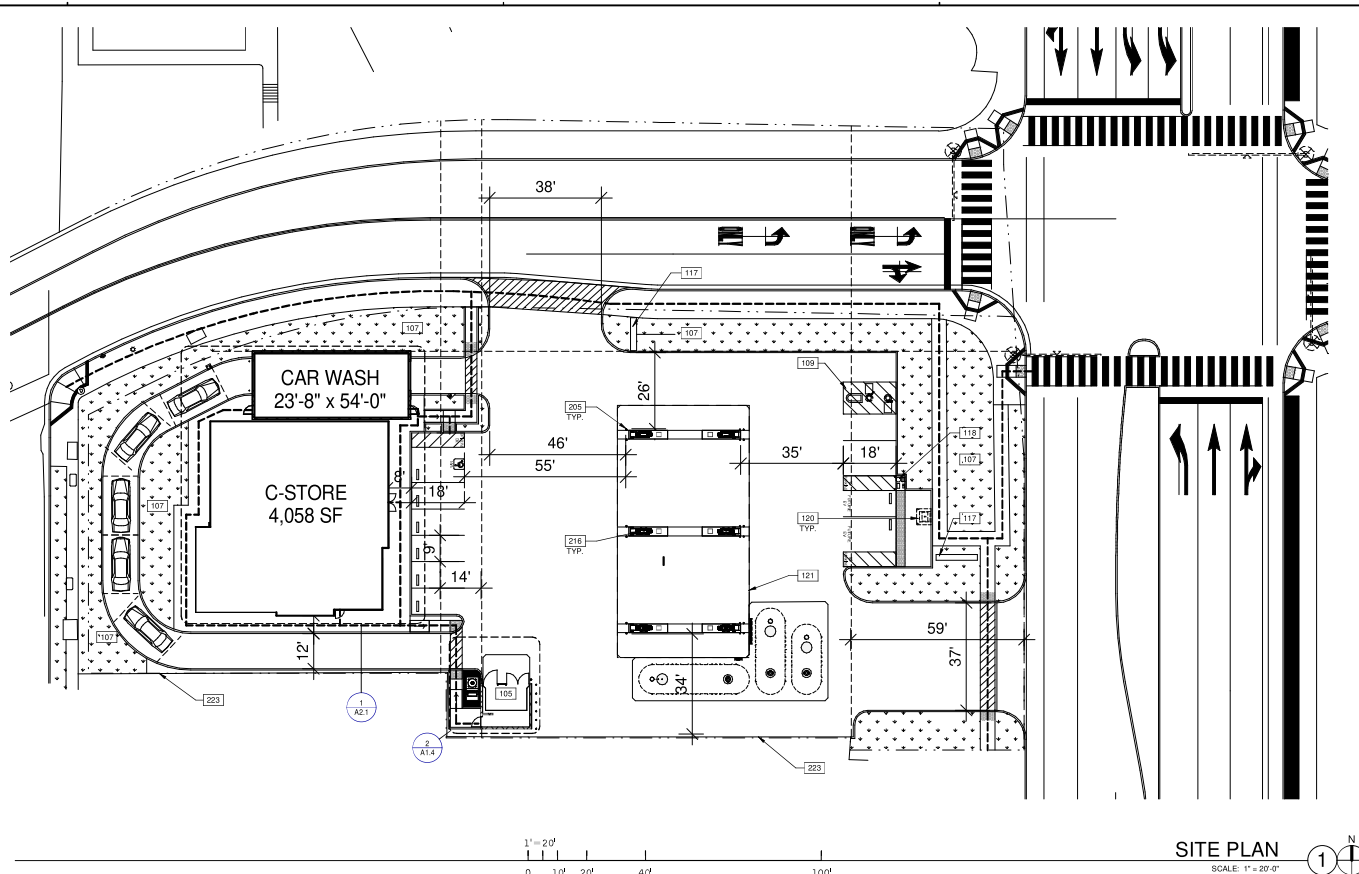
SHEET  
**A1.0**











**KEYNOTES:**

- SEE SHEET A1.2 FOR GENERAL NOTES
- 105 TRASH ENCLOSURE WITH RECYCLE BIN
  - 107 LANDSCAPE AND IRRIGATION AREA
  - 109 VACUUM ISLAND
  - 117 PROPOSED MONUMENT SIGN, UNDER SIGNAGE PERMIT.
  - 118 AIR/WATER STATION
  - 120 CONDUIT STUB FOR FUTURE E.V. CHARGER/PARKING SPACE.
  - 121 OUTLINE OF CANOPY ABOVE.
  - 205 6" DIA. STEEL BOLLARD W/ WELDED STEEL TOP, FILL WITH CONCRETE, PAINT WHITE (WH/SS), AND ADD GUARD POST DECAL (CJL #206).
  - 216 MULTI-PRODUCT FUEL DISPENSER.
  - 221 CMU WALL WITH PLASTER FINISH, PAINT TO MATCH BUILDING (CAFE AU LAT).
  - 222 6" HIGH CONCRETE CURB
  - 223 EXISTING FENCE TO REMAIN.

**PROJECT DATA**

ZONING:	C-2-S
APN:	053365080
SITE AREA GROSS:	0.98 AC 42,495 SF
BUILDING FOOTPRINT:	5,208 SF
COVERAGE GROSS:	12.25%

**PARKING SUMMARY**

TOTAL STALLS PROVIDED:	19
ACCESSIBLE STALLS:	0
STANDARD STALLS:	1
EV CHARGING STALLS:	8

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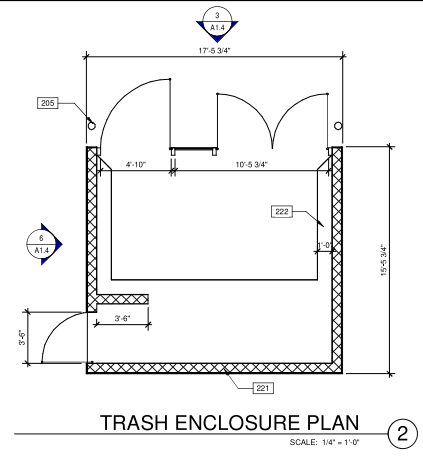
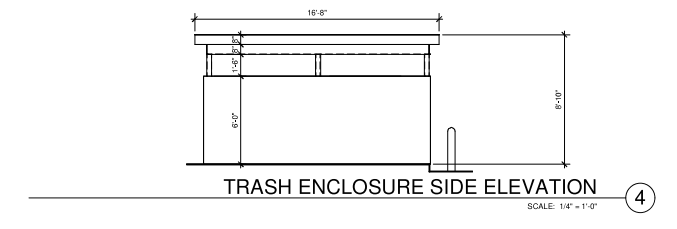
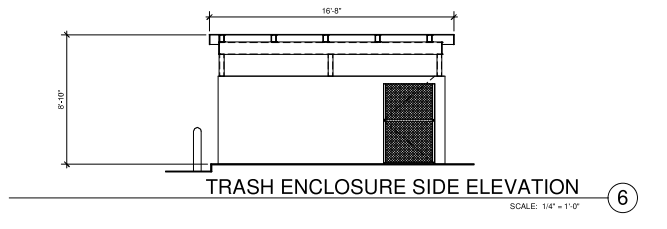
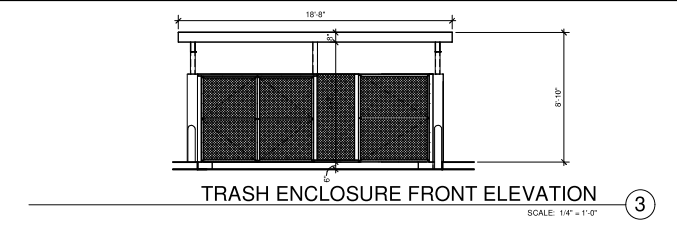
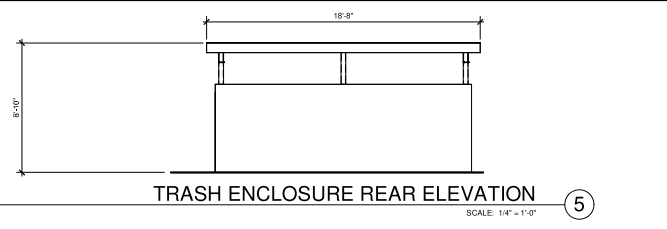
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MENLO PARK, CA 94025

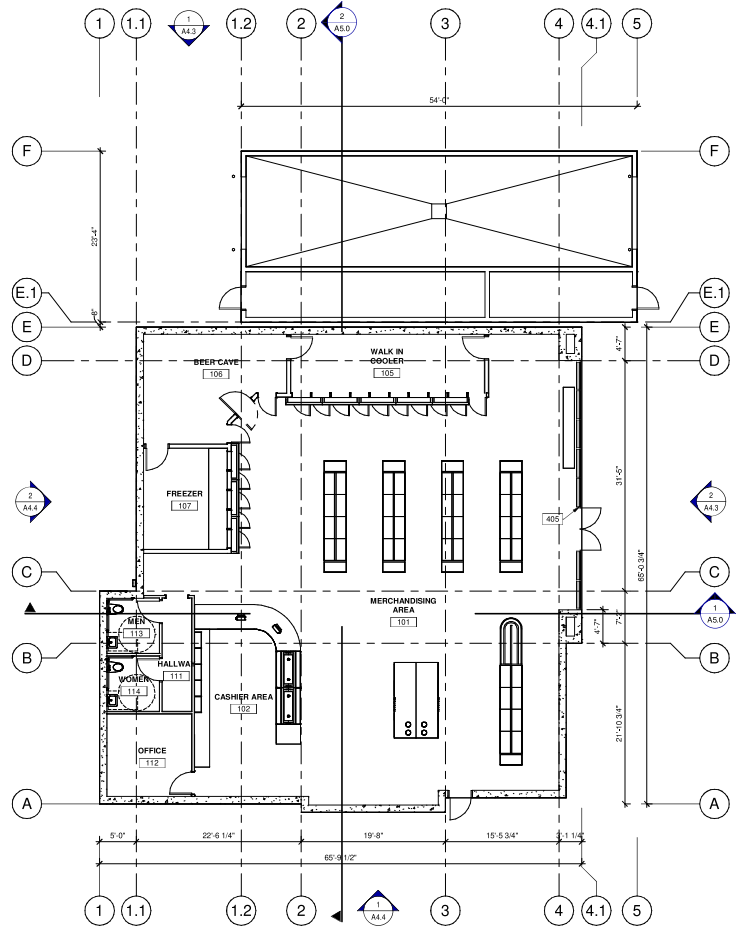
**PROPOSED SITE PLAN**

DATE:	08/12/2022	REVISIONS:	
BY:	J.D./J.S.K.	REVISIONS:	
DATE:		REVISIONS:	
BY:		REVISIONS:	

FA/PM:	P. KING
DRAWN BY:	J.D./J.S.K.
JOB NO.:	SNP21-0033-00

SHEET  
**A1.4**





**KEYNOTES:**

SEE SHEET A1.2 FOR GENERAL NOTES

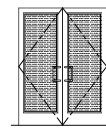
405 ALUMINUM STOREFRONT SYSTEM WITH 1" TEMPERED GLASS.

**DOOR TYPES**

**6'0" x 8'0" (PAIR)**  
 CLEAR ANOD. ALUM. STOREFRONT DOOR WITH TEMPERED GLAZING (NARROW STYLE)  
 FRAME: MANUFACTURER

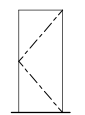
**HARDWARE:**  
 2 SETS PIVOT SET  
 2 SETS INTER PIVOT  
 1 EA MORTISE CYLINDER  
 2 SETS OFFSET PULL  
 2 EA CH CLOSER  
 1 EA THRESHOLD  
 1 EA DECAL

NOTE: WEATHERSEAL BY DOOR MANUFACTURER



**3'0" x 7'0"**  
 PAINTED INSULATED HOLLOW METAL DOOR

**HARDWARE:**  
 2 SETS HINGES  
 1 EA EXIT DEVICE  
 1 EA CYLINDER  
 1 EA CLOSER  
 1 EA PERIMETER SEAL  
 1 EA BOTTOM SWIP  
 1 EA THRESHOLD  
 1 EA LOCK GUARD  
 1 EA HVY DUTY FLOOR STOP



**DOOR NOTES**

**BUTT HINGES:**  
 SCS5: STANDARD WEIGHT, PLAIN BEARING, STEEL HINGES OR APPROVED EQUAL.  
 ALL EXTERIOR OUTSWING DOOR BUTTS SHALL BE MADE OF NON-FERROUS MATERIAL AND SHALL HAVE STAINLESS STEEL HINGE PINS.  
**VON DUPON IN SERIES PANIC DEVICE OR APPROVED EQUAL**  
**CLOSING DEVICE:** NORTON 8500 BF SERIES OR APPROVED EQUAL.  
**SLIP:** TRIVICO W1000 SERIES DOOR STOP.  
**SLIDE BOLT AND PAD LOCK:** INSTALL SLIDE BOLT ABOVE LEVEL OF DOOR BEARING.

**WALL LEGEND**

EXTERIOR PLASTER FINISH OVER METAL STUD WALL



**FLOOR PLAN - C-STORE & CAR WASH**  
 SCALE: 1/8" = 1'-0"

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**Chevron**

**FACILITY ID#**  
 20-7718

**1399 WILLOW ROAD**  
**MENLO PARK, CA 94025**

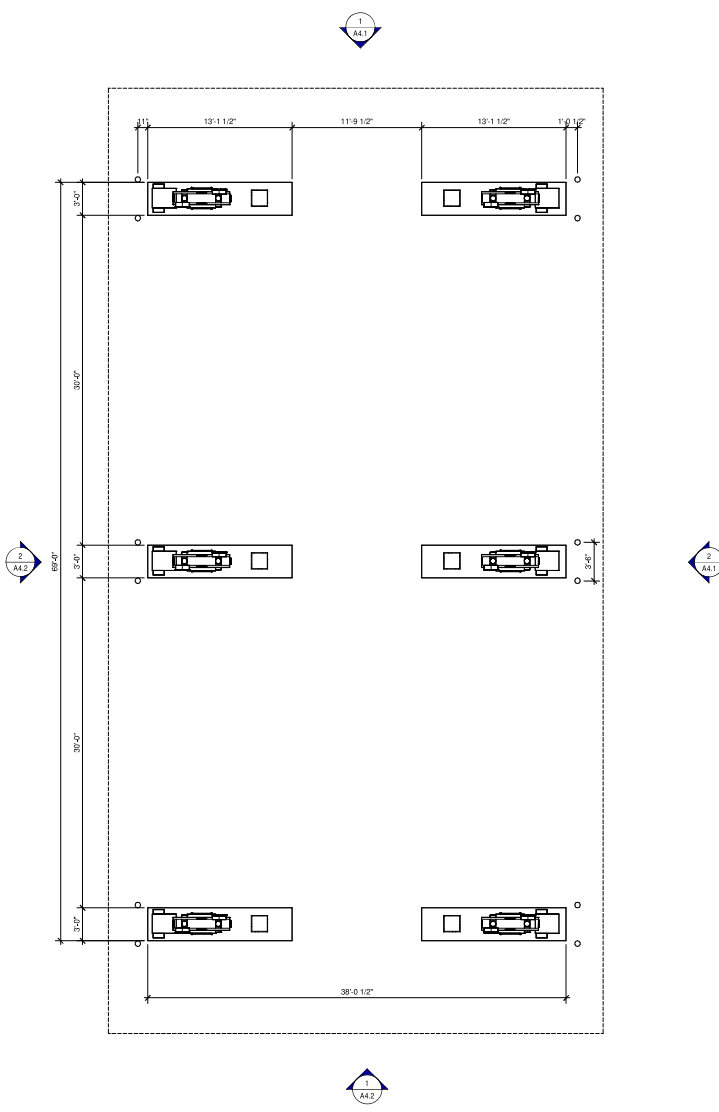
**FLOOR PLAN - C-STORE & CAR WASH**

NO.	REVISIONS
001	REVISED
002	REVISED
003	REVISED

FA/PM:	P. KING
DRAWN BY:	J.D./S.K.
JOB NO.:	SNP21-0033-00

SHEET  
**A2.1**





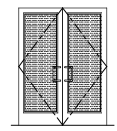
**KEYNOTES:** ☐

SEE SHEET A4.2 FOR GENERAL NOTES

**DOOR TYPES**

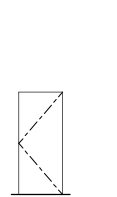
**CF2** 6'-0" x 8'-0" (PAIR)  
CLEAR ANCO ALUM. STOREFRONT  
DOOR W/TEMPERED GLAZING  
(NARROW STYLE)

FRAME MANUFACTURER



**HARDWARE:**  
2 SETS PIVOT SET  
2 SETS INTER PIVOT  
1 EA MORTISE CYLINDER  
2 SETS OFFSET PULL  
2 EA CH CLOSER  
1 EA THRESHOLD  
1 EA DECAL

NOTE: WEATHERSEAL BY DOOR MANUFACTURER



**E1** 3'-0" x 7'-0"  
PAINTED INSULATED  
HOLLOW METAL DOOR

**HARDWARE:**  
2 EA HINGES  
1 EA EXIT DEVICE  
1 EA CYLINDER  
1 EA CLOSER  
1 EA PERIMETER SEAL  
1 EA BOTTOM SWIP  
1 EA THRESHOLD  
1 EA LOCK GUARD  
1 EA HVY DUTY FLOOR STOP

**DOOR NOTES**

**BUTT HINGES:**  
SCS: STANDARD WEIGHT, PLAIN BEARING, STEEL HINGES OR APPROVED EQUAL.  
ALL EXTERIOR CUTSWING DOOR BUTTS SHALL BE MADE OF NON-FERROUS MATERIAL AND SHALL HAVE STAINLESS STEEL HINGE PINS.  
**VON DUPRIN IN SERIES PANG DEVICE OR APPROVED EQUAL**  
**CLOSING DEVICE:** NORTON 8500 IP SERIES OR APPROVED EQUAL.  
**SLIP:** TRIVICO W100 SERIES DOOR STOP.  
**SLIDE BOLT AND PAD LOCK:** INSTALL SLIDE BOLT ABOVE LEVEL OF DOOR BURD.

**WALL LEGEND**

☐ EXTERIOR PLASTER FINISH OVER METAL STUD WALL

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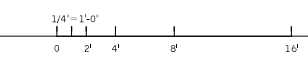


**Facility ID#**  
20-7718  
**Chevron**  
1399 WILLOW ROAD  
MENLO PARK, CA 94025

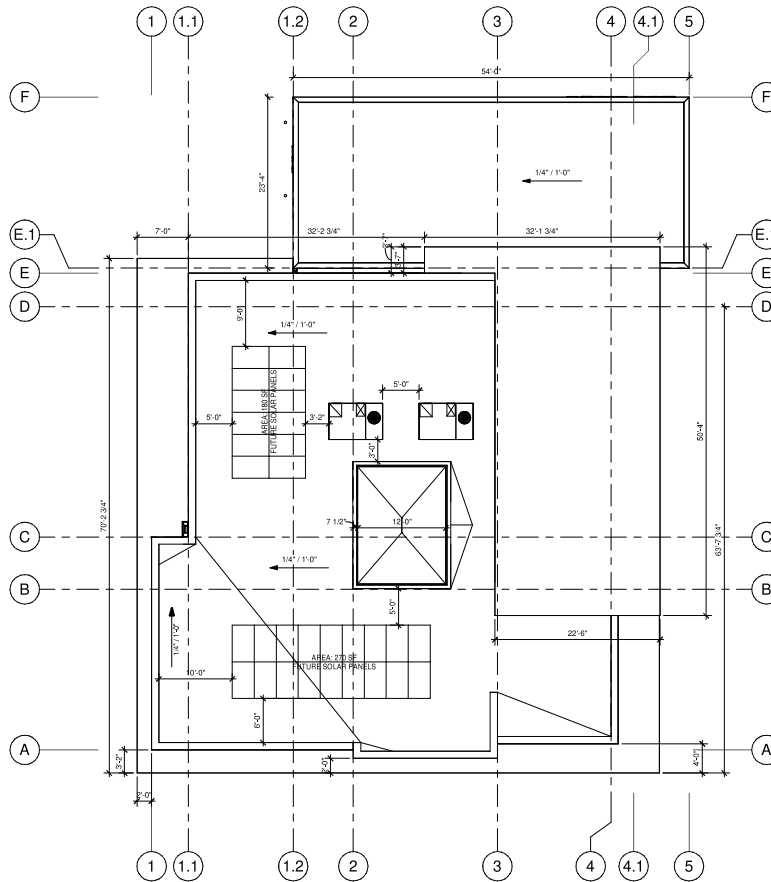
FLOOR PLAN - CANOPY	
DATE:	REVISIONS
06/12/2022	REVISION

FA/PM:	P. KING
DRAWN BY:	J.D./S.K.
JOB NO.:	SNP21-0033-00

SHEET  
**A2.3**



FLOOR PLAN - CANOPY  
SCALE: 3/16" = 1'-0"  
1 N



**KEYNOTES:**   
 SEE SHEET A02 FOR GENERAL NOTES

**ABBREVIATIONS**

- T.O.P. = TOP OF PARAPET
- H.P. = TOP OF ROOFING - HIGH POINT
- M.P. = TOP OF ROOFING - MID POINT
- L.P. = TOP OF ROOFING - LOW POINT

**CALCULATIONS**

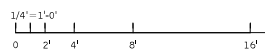
**FUTURE SOLAR:**

ROOF AREA:	3,054 S.F.
SKYLIGHT AREA:	201 S.F.
ROOF AREA LESS SKYLIGHT:	2,853 S.F.
15% OF ROOF AREA (LESS SKYLIGHTS):	428 S.F.
TOTAL AREA FOR FUTURE SOLAR REQUIRED:	428 S.F.*
FUTURE SOLAR AREA TO BE PROVIDED ON TOP OF FUEL AREA CANOPY:	430 S.F.

\*DEC SECTION 110.10(B)(4) DOES NOT REQUIRE THE INCLUSION OF ANY COLLATERAL LOADS FOR FUTURE SOLAR ENERGY SYSTEMS.

**LEGEND**

- SKYLIGHT: COORDINATE EXACT LOCATION TO PREVENT CONDUIT WITH FRAMING. FREE SPRINKLER LINES, ELECTRICAL, CONDUITS AND LIGHTING. SEE STRUCTURAL DRAWINGS.



**ROOF PLAN**  
 SCALE: 1/8" = 1'-0"  
 1 N

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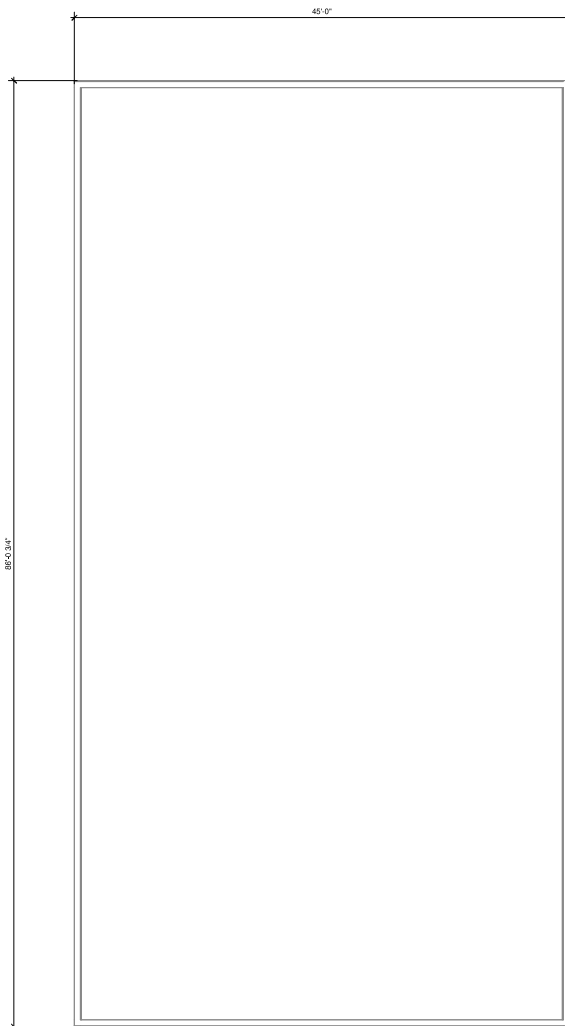
**FACILITY ID#**  
**Chevron** 20-7718  
 1399 WILLOW ROAD  
 MENLO PARK, CA 94025

**ROOF PLAN - C-STORE & CAR WASH**

DATE:	REVISIONS
08/12/2022	REVISION

FA/PM:	P. KING
DRAWN BY:	J.D./S.K.
JOB NO.:	SNP21-0033-00

SHEET  
**A3.1**



**KEYNOTES:**

SEE SHEET A3.2 FOR GENERAL NOTES

**ABBREVIATIONS**

- T.O.P. = TOP OF PARAPET
- H.P. = TOP OF ROOFING - HIGH POINT
- M.P. = TOP OF ROOFING - MID POINT
- L.P. = TOP OF ROOFING - LOW POINT

**CALCULATIONS**

FUTURE SOLAR:	
ROOF AREA:	3,054 S.F.
SKYLIGHT AREA:	201 S.F.
ROOF AREA LESS SKYLIGHT:	2,853 S.F.
15% OF ROOF AREA (LESS SKYLIGHTS):	425 S.F.
TOTAL AREA FOR FUTURE SOLAR PROVIDED:	425 S.F.
TOTAL AREA FOR FUTURE SOLAR REQUIRED:	450 S.F.

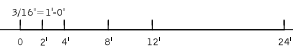
FUTURE SOLAR AREA TO BE PROVIDED ON TOP OF FUEL AREA CANOPY

\*DEC SECTION 110.10(B)(4) DOES NOT REQUIRE THE INCLUSION OF ANY COLLATERAL LOADS FOR FUTURE SOLAR ENERGY SYSTEMS.

**LEGEND**



SKYLIGHT:  
COORDINATE EXACT LOCATION TO PREVENT CONFLICT WITH FRAMING / FIRE SPRINKLER LINES, ELECTRICAL, CONDUITS AND LIGHTING. SEE STRUCTURAL DRAWINGS.



**ROOF PLAN - CANOPY**

SCALE: 3/16" = 1'-0"



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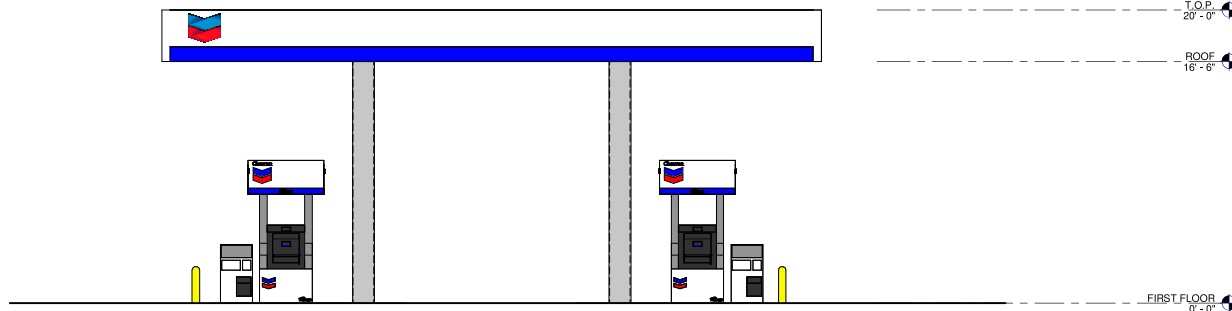
**Facility ID#**  
**Chevron**  
20-7718  
1399 WILLOW ROAD  
MENLO PARK, CA 94025

**ROOF PLAN - CANOPY**

NO.	REVISIONS
001	06/12/2022 - INITIAL SUBMITTAL

FA/PM:	P. KING
DRAWN BY:	J.D./S.K.
JOB NO.:	SNP21-0033-00

SHEET  
**A3.2**



NORTH EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"








1

**KEYNOTES:**

SEE SHEET A4-2 FOR GENERAL NOTES

**LEGEND**

**MATERIALS:**

-  EXTERIOR - SMOOTH PLASTER FINISH WITH INTEGRAL COLOR OVER STUD WALL
  -  DARK BRONZE ANODIZED ALUMINUM (STOREFRONT SYSTEM & CANOPIES)
  -  EXPOSED CAST IN PLACE CONCRETE
  -  COMPOSITE RAIN SCREEN SIDING, WOOD LOOK
- GLASS:**
-  VISION GLASS
  -  SPANDREL GLASS
  -  TEMPERED GLASS

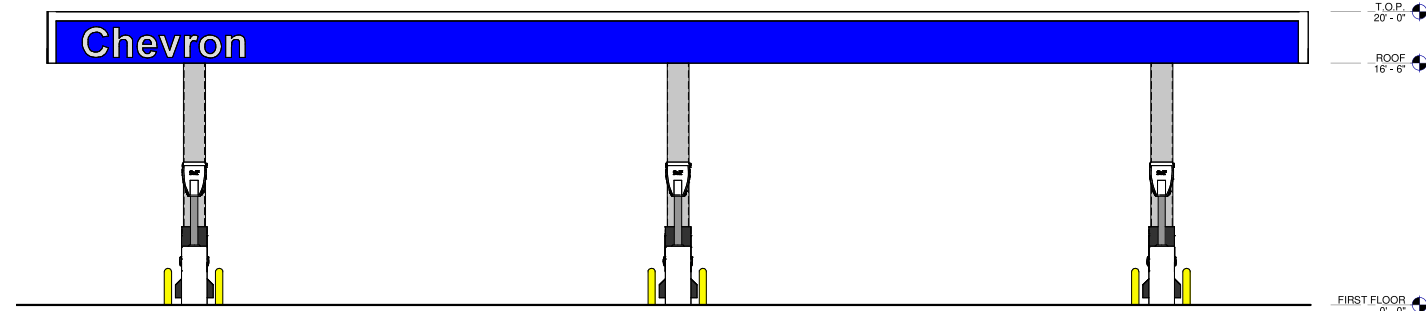
ALL GLASS USED ON THE ENVELOPE OF THE BUILDING TO BE:  
 XXXXXXX  
 U-FACTOR = 0.28 AND SHGC = 0.28  
 GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT

**COLORS:**

PROVIDE 6" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.

-  BASE COLOR: SHADED WHISPER - PPQ095-1
-  SECONDARY COLOR: STATUE GARDEN - PP00996-3
-  ACCENT COLOR: RUM PUNCH - PP01190-7
-  ACCENT COLOR: SUMMER SHADOW - PPQ096-7

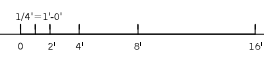
NOTE:  
 THERE IS AN 8" SEISMIC JOINT REQUIRED BETWEEN THE CARWASH BUILDING AND C-STORE. FINISHES, CORNICES, ETC. NEED TO BE BROKEN HERE.



EAST EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

2



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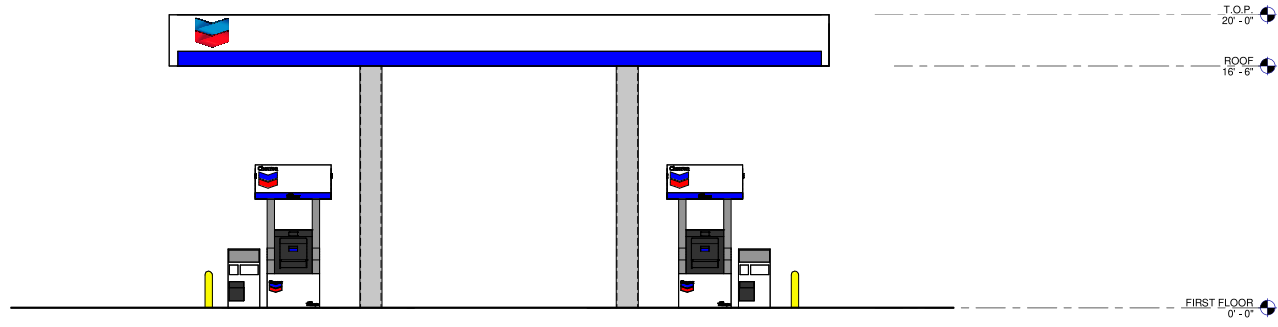
**FACILITY ID#**  
 Chevron 20-7718  
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 MENLO PARK, CA 94025

EXTERIOR ELEVATIONS - CANOPY	
NO.	REVISIONS
001	02/22/2022 - INITIAL SUBMITTAL

FA/PM:	P. KING
DRAWN BY:	J.D./S.K.
JOB NO.:	SNP21-0033-00

SHEET  
**A4.1**





**SOUTH EXTERIOR ELEVATION** ①  
SCALE: 1/4" = 1'-0"

**KEYNOTES:** ☐  
SEE SHEET A02 FOR GENERAL NOTES

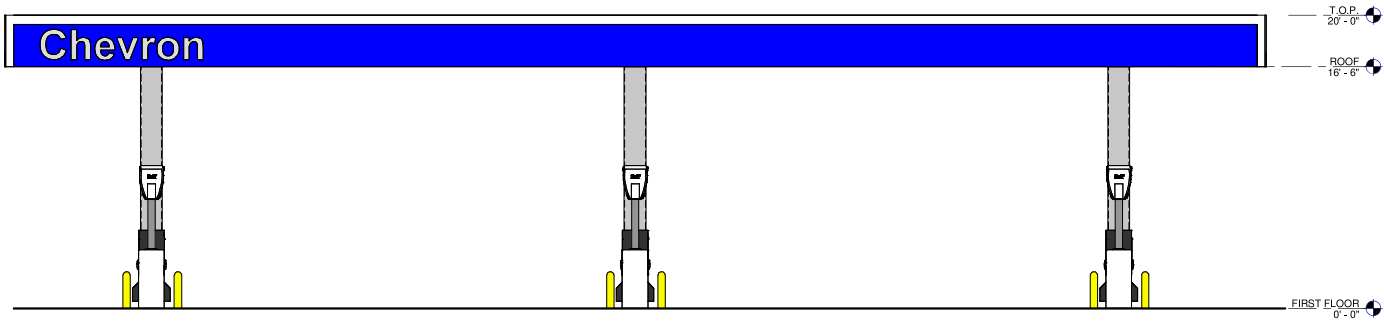
**LEGEND**

- MATERIALS:**
- EXTERIOR SMOOTH PLASTER FINISH WITH INTEGRAL COLOR OVER STUD WALL
  - DARK BRONZE ANODIZED ALUMINUM (STOREFRONT SYSTEM & CANOPIES)
  - EXPOSED CAST IN PLACE CONCRETE
  - COMPOSITE RAIN-SCREEN SIDING, WOOD LOOK
- GLASS:**
- VISION GLASS
  - SPANDREL GLASS
  - TEMPERED GLASS

ALL GLASS USED ON THE ENVELOPE OF THE BUILDING TO BE:  
XXXXXX  
U-FACTOR = 0.28 AND SHGC = 0.28  
GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT

- COLORS:**
- PROVIDE 8'-0" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.
- BASE COLOR: SHADED WHISPER - PP00995-1
  - SECONDARY COLOR: STATUE GARDEN - PP00996-3
  - ACCENT COLOR: RUM PUNCH - PP01190-7
  - ACCENT COLOR: SUMMER SHADOW - PP00996-7

**NOTE:**  
THERE IS AN 8" SEISMIC JOINT REQUIRED BETWEEN THE CARWASH BUILDING AND C-STORE. FINISHES, CORNICES, ETC. NEED TO BE BROKEN HERE.



**WEST EXTERIOR ELEVATION** ②  
SCALE: 1/4" = 1'-0"

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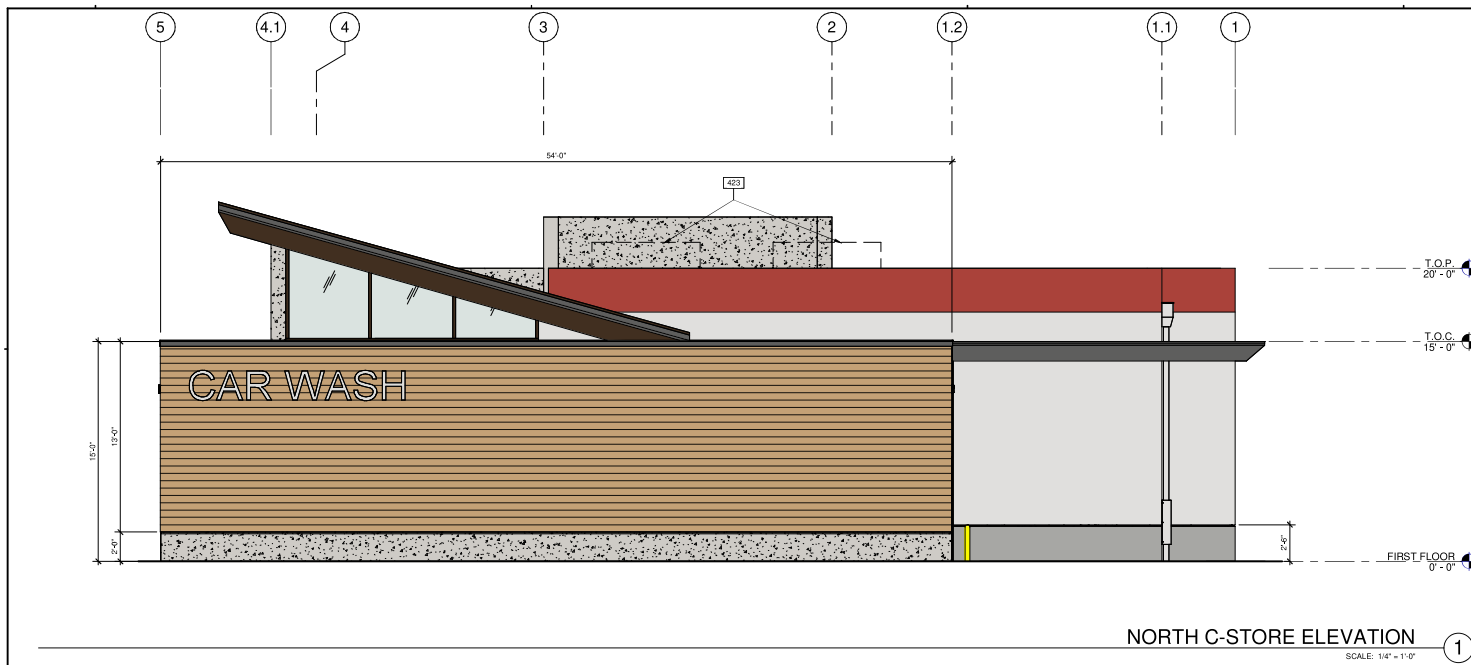


**Chevron** FACILITY ID#  
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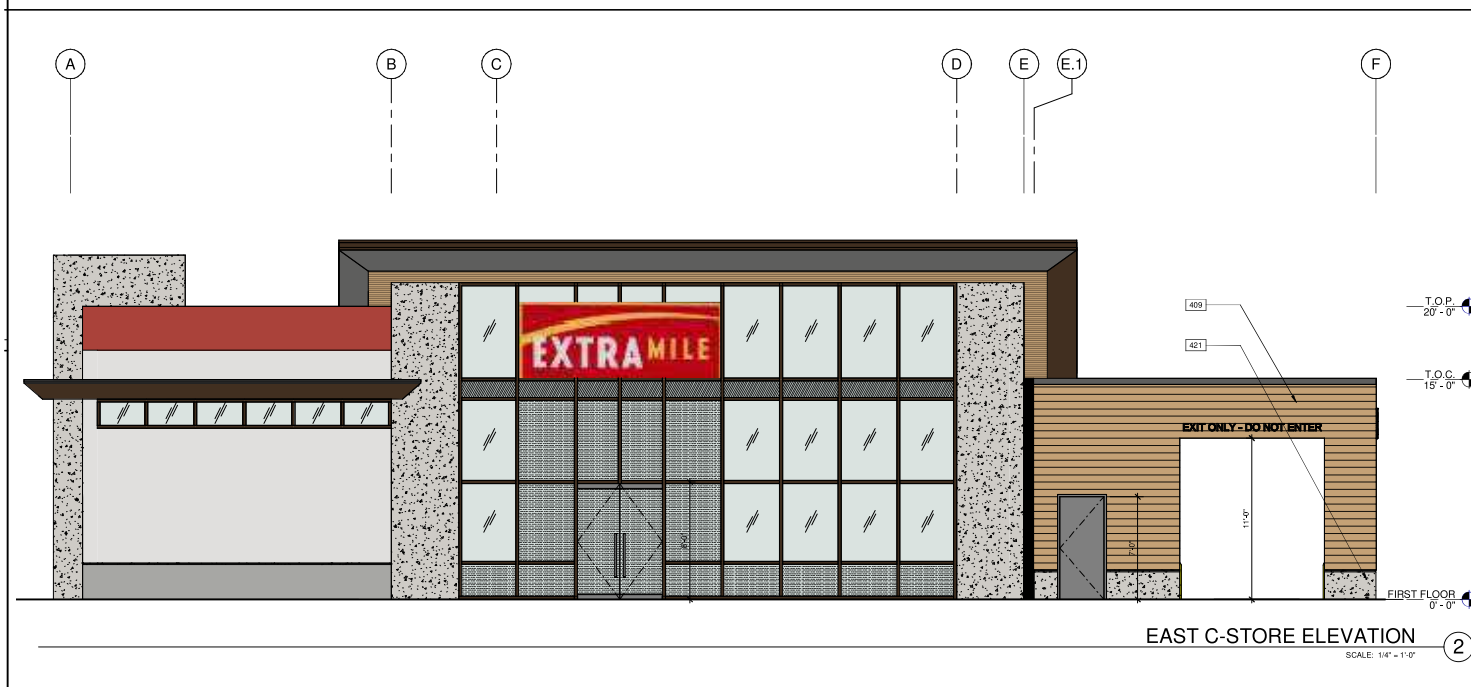
EXTERIOR ELEVATIONS - CANOPY	
DATE	REVISIONS
06/12/2022	REVISION 01

FA/PM:	P. KING
DRAWN BY:	J.D./S.K.
JOB NO.:	SNR21-0033-00

SHEET  
**A4.2**



NORTH C-STORE ELEVATION  
SCALE: 1/4" = 1'-0" ①



EAST C-STORE ELEVATION  
SCALE: 1/4" = 1'-0" ②

**KEYNOTES:**   
SEE SHEET A4.2 FOR GENERAL NOTES

- 409 COMPOSITE RAIN SCREEN SIDING, WOOD LOOK.
- 421 EXPOSED BOARD-FORMED CONCRETE WALL.
- 423 HVAC UNIT LOCATION HEIGHT TO BE DETERMINED.

**LEGEND**

- MATERIALS:**
- EXTERIOR SMOOTH PLASTER FINISH WITH INTEGRAL COLOR OVER STUD WALL.
  - DARK BRONZE ANODIZED ALUMINUM (STOREFRONT SYSTEM & CANOPIES).
  - EXPOSED CAST IN PLACE CONCRETE.
  - COMPOSITE RAIN SCREEN SIDING, WOOD LOOK.
- GLASS:**
- VISION GLASS.
  - SPANDREL GLASS.
  - TEMPERED GLASS.
- ALL GLASS USED ON THE ENVELOPE OF THE BUILDING TO BE: XXXXXXXX  
U FACTOR = 0.28 AND SHGC = 0.28  
GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT
- COLORS:**
- PROVIDE 6" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW
- BASE COLOR: SHADED WHISPER - PG0995-1
  - SECONDARY COLOR: STATUE GARDEN - PG0996-3
  - ACCENT COLOR: RUM PUNCH - PG1190-7
  - ACCENT COLOR: SUMMER SHADOW - PG0996-7

NOTE:  
THERE IS AN 8" SEISMIC JOINT REQUIRED BETWEEN THE CARWASH BUILDING AND C-STORE. FINISHES, CORNICES, ETC. NEED TO BE BROKEN HERE.

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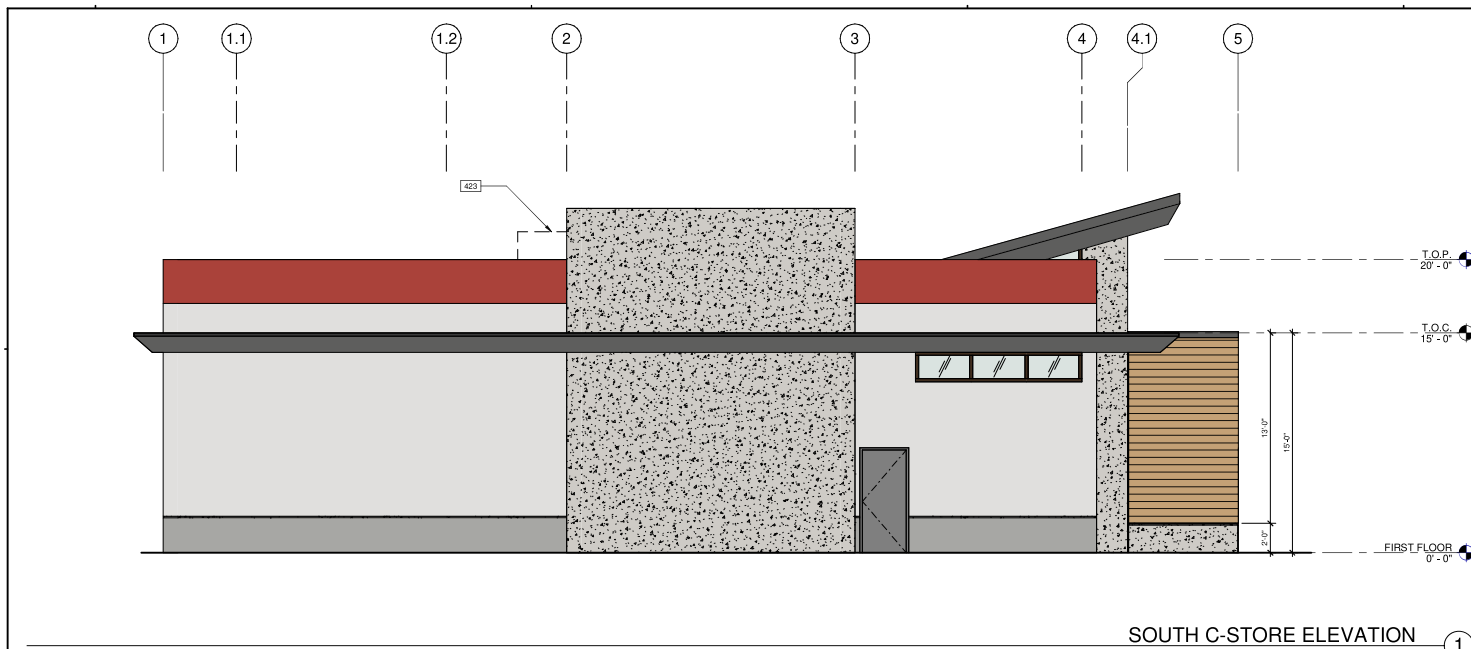
**FACILITY ID#**  
Chevron 20-7718  
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**EXTERIOR ELEVATIONS - C-STORE**

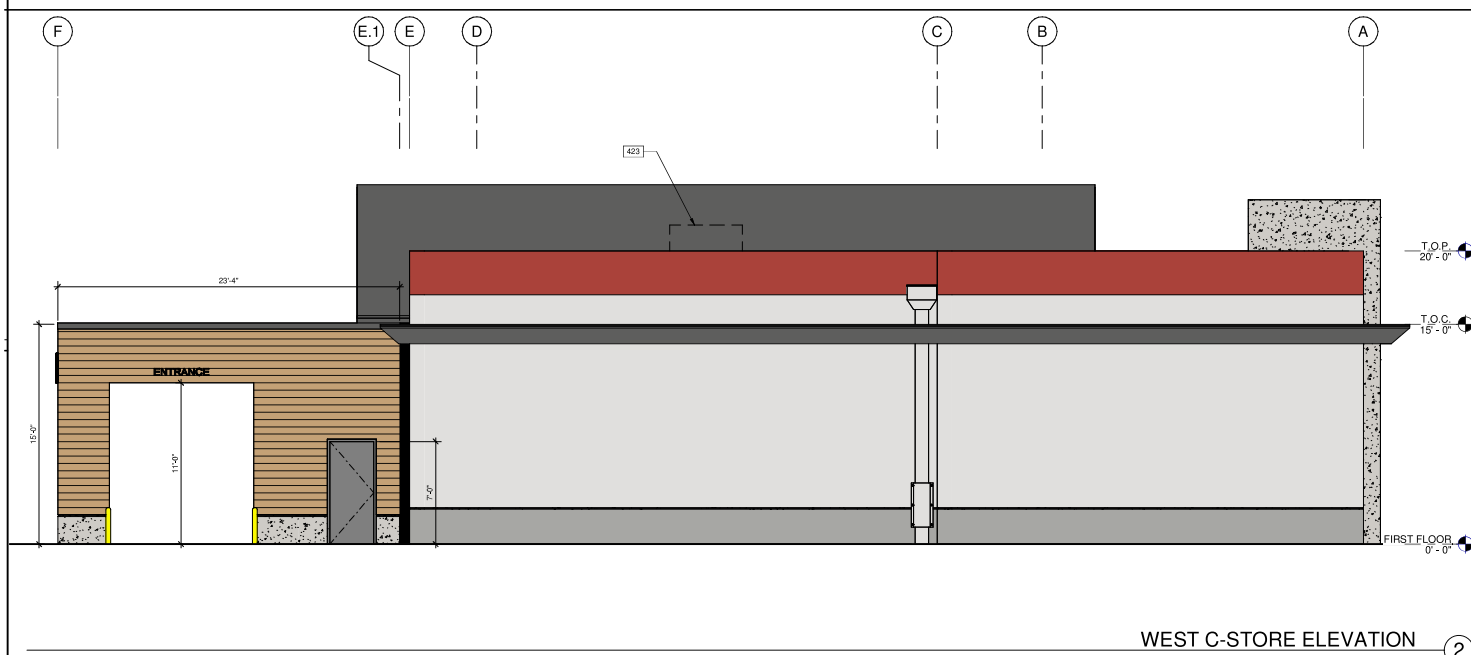
NO.	REVISIONS
01	04/12/2022 - INITIAL SUBMITTAL

DATE:	P. KING
DRAWN BY:	J.D.J.S.K.
JOB NO.:	SMR21-2033-00

SHEET  
**A4.3**



**SOUTH C-STORE ELEVATION** ①  
SCALE: 1/4" = 1'-0"



**WEST C-STORE ELEVATION** ②  
SCALE: 1/4" = 1'-0"





**KEYNOTES:** □

SEE SHEET A02 FOR GENERAL NOTES




423 HVAC UNIT LOCATION/ HEIGHT TO BE DETERMINED.

**LEGEND**

**MATERIALS:**

-  EXTERIOR SMOOTH PLASTER FINISH WITH INTEGRAL COLOR OVER STUD WALL
-  DARK BRONZE ANODIZED ALUMINUM (STOREFRONT SYSTEMS & CANOPIES)
-  EXPOSED CAST IN PLACE CONCRETE
-  COMPOSITE RAIN SCREEN SIDING, WOOD LOOK

**GLASS:**

-  VISION GLASS
-  SPANDREL GLASS
-  TEMPERED GLASS

ALL GLASS USED ON THE ENVELOPE OF THE BUILDING TO BE:  
 XXXXXX  
 U FACTOR = 0.28 AND SHGC = 0.28  
 GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT

**COLORS:**

PROVIDE 6'-0" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.

-  BASE COLOR: SHADED WHISPER - PPG0995-1
-  SECONDARY COLOR: STATUE GARDEN - PPG0996-3
-  ACCENT COLOR: RUM PUNCH - PPG1188-7
-  ACCENT COLOR: SUMMER SHADOW - PPG0996-7

NOTE:  
 THERE IS AN 8" SEISMIC JOINT REQUIRED BETWEEN THE CARWASH BUILDING AND C-STORE. FINISHES, CORNICES, ETC. TO BE BROKEN HERE.

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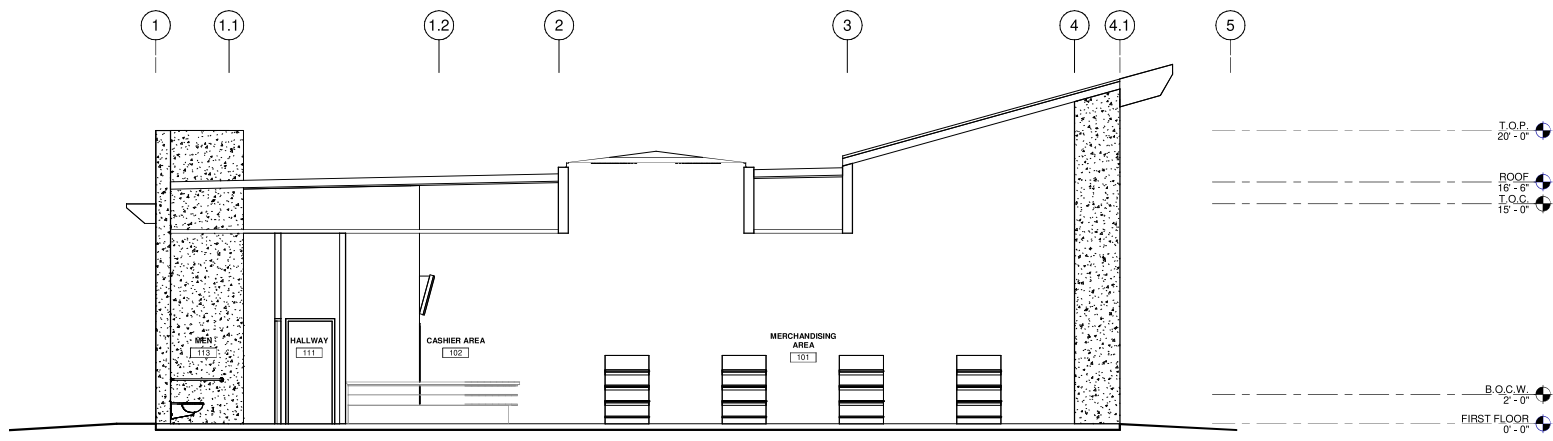


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 MENLO PARK, CA 94025

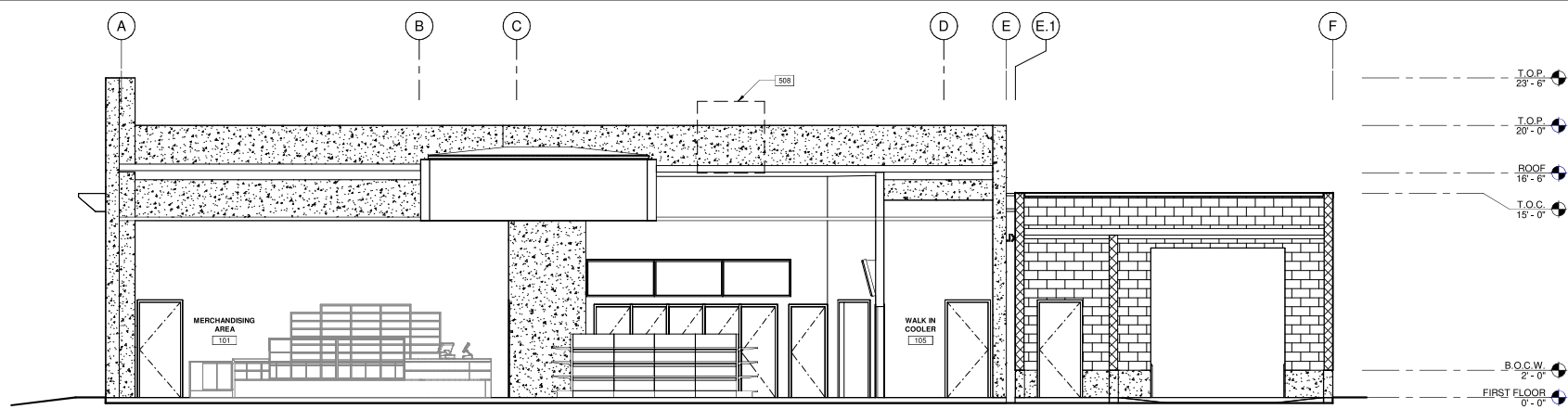
EXTERIOR ELEVATIONS - C-STORE	
NO.	REVISIONS
001	ISSUED FOR PERMIT
002	REVISION SUBMITTED

DATE:	P. KING
DATE:	J.D./S.K.
JOB NO.:	SNP21-0033-00

SHEET  
**A4.4**



**BUILDING SECTION 1**  
SCALE: 1/4" = 1'-0"



**BUILDING SECTION 2**  
SCALE: 1/4" = 1'-0"

**KEYNOTES:**

SEE SHEET A0.2 FOR GENERAL NOTES

508 HVAC UNIT LOCATION: HEIGHT TO BE DETERMINED.

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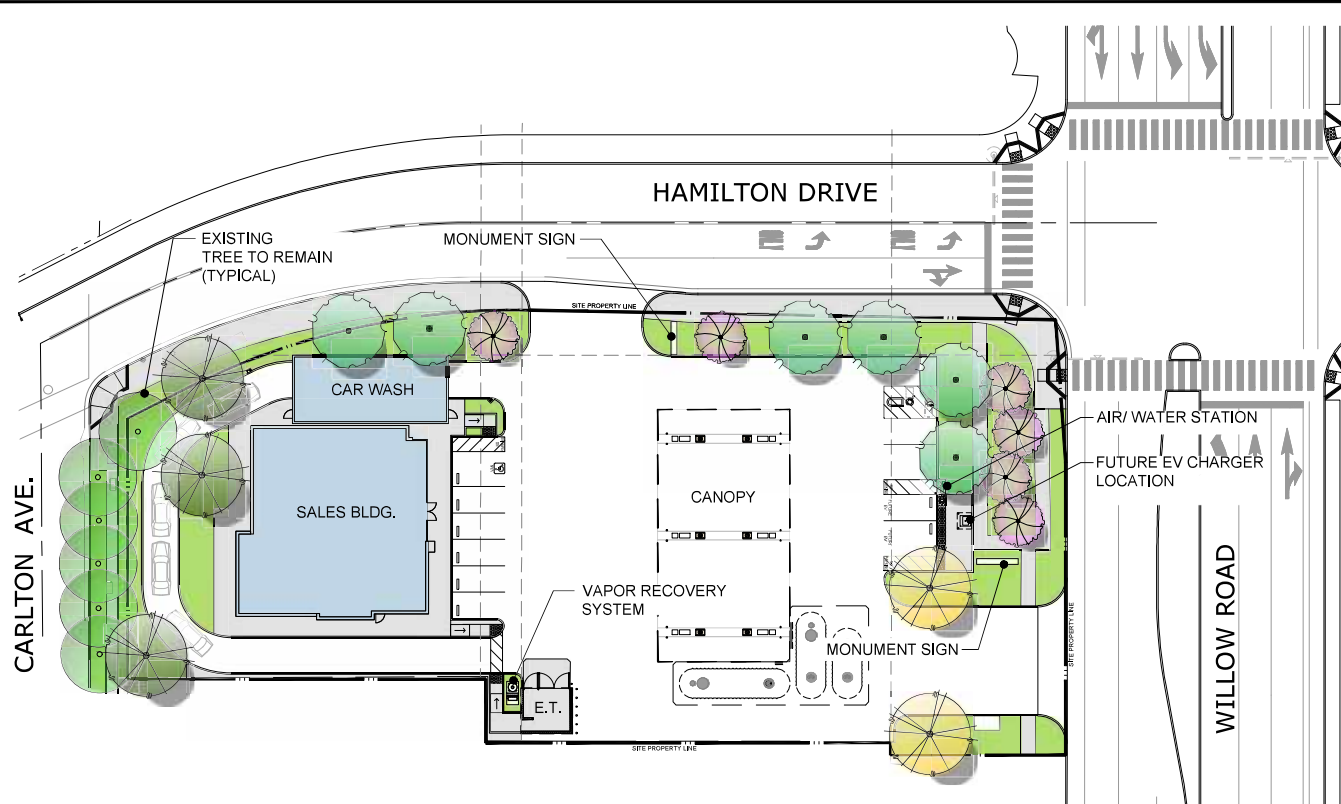
**Chevron**  
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BUILDING SECTIONS	
SECTION	DESCRIPTION
01	SECTION 1
02	SECTION 2

FA/PM:	P. KING
DRAWN BY:	J.D./S.K.
JOB NO.:	SNP21-0033-00

SHEET  
**A5.0**





**PRELIMINARY PLAN NOTES**

**PLANTING**

1. PLANTING SHALL EMPHASIZE USE OF DROUGHT-TOLERANT, LOW WATER USE SPECIES.
2. A SOIL MANAGEMENT REPORT SHALL BE PREPARED AFTER GRADING OPERATIONS ARE COMPLETE. SOIL AMENDING SHALL BE PER SOILS REPORT RECOMMENDATIONS.
3. LINEAR (PANEL) ROOT BARRIERS SHALL BE INSTALLED FOR ALL TREES LOCATED WITHIN 10' OF PAVING, HARDSCAPE, OR STRUCTURES.
4. ALL PLANTING AREAS SHALL RECEIVE A 3" DEPTH LAYER OF BARK MULCH.
5. TREES SHALL BE PLANTED PER CITY OF MENLO PARK STANDARDS.
6. ALL LANDSCAPE AND IRRIGATION SHALL COMPLY WITH THE MENLO PARK "CHAPTER 12.44 WATER EFFICIENT LANDSCAPING ORDINANCE".

**IRRIGATION**

7. ALL PLANTS WILL BE GROUPED INTO HYDROZONES. EACH HYDROZONE WILL BE IRRIGATED SEPARATELY BASED ON PLANT WATER REQUIREMENTS.
8. IRRIGATION SYSTEM SHALL BE EQUIPPED WITH THE FOLLOWING DEVICES AND/OR CAPABILITIES:
  - DEDICATED WATER METER
  - BACKFLOW PREVENTION DEVICE
  - AUTOMATIC CONTROLLER
  - RAIN SENSOR/RAIN SHUT-OFF DEVICE
  - EVAPOTRANSPIRATION DATA
  - MANUAL SHUT-OFF VALVES
  - PRESSURE REGULATING VALVES
  - FLOW SENSING
  - LOW-FLOW EMISSION DEVICES
9. IF RECYCLED WATER IS AVAILABLE, IRRIGATION SYSTEM SHALL BE DESIGNED TO UTILIZE APPROPRIATE RECYCLED WATER DEVICES, I.E. PURPLE PIPE, PURPLE VALVE BOXES, ETC.
10. THE PROJECT SHALL COMPLY WITH THE MORE RESTRICTIVE OF THE OUTDOOR WATER REDUCTION REQUIREMENTS OF THE CALIFORNIA GREEN BUILDING STANDARDS CODE 4.304 AND THE MENLO PARK WATER EFFICIENT LANDSCAPING ORDINANCE.
11. SEE CIVIL PLANS FOR GRADING AND DRAINAGE INFORMATION.

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**NUVIS**  
 LANDSCAPE ARCHITECTURE

3185 COLUMBIA AVE. #102  
 SAN RAMON, CA 94583  
 PH: 925.242.6555

LANDSCAPE ARCHITECT  
 STATE OF CALIFORNIA

**Chevron**

FACILITY ID#  
 20-7718

**C-STORE AND CAR WASH**  
 1398 WILLOW ROAD  
 MENLO PARK, CALIFORNIA 94025

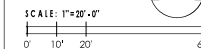
DATE	REVISIONS
05/20/2022	SITE/REVISION REVIEW/CONDITIONAL USE PERMIT SUBMITTAL

PA / PM:	P. KING
DRAWN BY:	NUVIS
JOB NO.:	SMR21-0033-00

SHEET  
**L-1**

**nuvis**  
 LANDSCAPE ARCHITECTURE

9 2 5 . 2 4 2 . 0 5 5 5  
 CA 1091 • HV 006 • 100 • 006  
 22-021.01 SEPTEMBER 1, 2022



**PLANT LEGEND**

SYMBOL	BOTANICAL NAME	COMMON NAME	CONTAINER SIZE / SPACING	WATER USE
<b>TREES</b>				
	LAGERSTROEMIA INDICA	CREPE MYRTLE	15 GAL. / AS SHOWN	LOW
	LAURUS NOBILIS 'SARATOGA'	SWEET BAY	15 GAL. / AS SHOWN	LOW
	PLATANUS HISPANICA 'COLUMBIA'	LONDON PLANE	15 GAL. / AS SHOWN	LOW
	ULMUS PARVIFOLIA	CHINESE ELM	15 GAL. / AS SHOWN	LOW
	EXISTING TREE TO REMAIN			

**PLANT LEGEND**

SYMBOL	BOTANICAL NAME	COMMON NAME	CONTAINER SIZE / SPACING	WATER USE
<b>SHRUBS, GROUNDCOVER &amp; VINE</b>				
	AGAVE 'BLUE GLOW'	BLUE GLOW AGAVE	2 GAL.	LOW
	AGAVE DESMETTIANA 'VARIEGATA'	VARIEGATED SMOOTH AGAVE	5 GAL.	LOW
	ALOE STRIATA	CORAL ALOE	5 GAL.	LOW
	AMFOZANTHOS 'RED'	KANGOROO PAW	5 GAL.	LOW
	CALAMAGROSTIS 'KARL FOESTER'	FEATHER REED GRASS	5 GAL.	LOW
	CALLISTEMON 'BETTER JOHN'	DWARF CALLISTEMON	5 GAL.	LOW
	DIANELLA 'LITTLE REV'	LITTLE REV FLAX LILY	1 GAL.	LOW
	DIANELLA TASMANICA 'VARIEGATA'	FLAX LILY	5 GAL.	LOW
	FESTUCA MAIREI	ATLAS FESCUE	1 GAL.	LOW
	LANTANA 'NEW GOLD'	NEW GOLD LANTANA	5 GAL.	LOW
	LOROPETALUM CHINENSE	CHINESE FRINGE FLOWER	5 GAL.	LOW
	MYOPORUM PARVIFOLIUM	CREEPING MYOPORUM	5 GAL.	LOW
	NANDINA DOMESTICA	NANDINA	5 GAL.	LOW
	PHORMIUM TENAX	NEW ZEALAND FLAX	5 GAL.	LOW
	PITTIOSPORUM TENUIFOLIUM	BLACK-STEM PITTIOSPORUM	5 GAL.	LOW
	PITTIOSPORUM TOBIRA 'WHEELER'S DWARF'	DWARF MOCK ORANGE	5 GAL.	LOW
	SENECIO MANDRALISCAE	BLUE CHALK STICKS	5 GAL.	LOW
	YUCCA 'GOLDEN SWORD'	GOLDEN SWORD YUCCA	1 GAL.	LOW

**NOTE:**  
 - ALL PLANTING AREAS SHALL RECEIVE A 3" LAYER OF BARK MULCH.  
 - SEE SHEET L1-2 FOR PLANT IMAGES.

**PROPOSED TREES**



LAGERSTROEMIA INDICA  
*Crape Myrtle*



LAURUS NOBILIS  
*Sweet Bay*



PLATANUS HISPANICA 'COLUMBIA'  
*LONDON PLANE*



ULMUS PARVIFOLIA  
*CHINESE ELM*

**PROPOSED SHRUBS AND GROUNDCOVER**



AGAVE 'BLUE GLOW'  
*BLUE GLOW AGAVE*



AGAVE DESMETTIANA 'VARIEGATA'  
*VARIEGATED SMOOTH AGAVE*



ALOE STRIATA  
*CORAL ALOE*



ANIFOZANTHOS 'RED'  
*KANGAROO PAW*



CALAMAGROSTIS 'KARL FOERSTER'  
*FEATHER REED GRASS*



CALLISTEMON 'BETTER JOHN'  
*DWARF CALLISTEMON*



DIANELLA 'LITTLE REV'  
*LITTLE REV FLAX LILY*



DIANELLA TASMANICA 'VARIEGATA'  
*FLAX LILY*



FESTUCA MAIREI  
*ATLAS FESCUE*



LANTANA 'NEW GOLD'  
*NEW GOLD LANTANA*



LOROPETALUM CHINENSE  
*CHINESE FRINGE FLOWER*



MYOPORUM PARVIFOLIUM  
*CREeping MYOPORUM*



NANDINA DOMESTICA  
*NANDINA*



PHORMIUM TENAX  
*NEW ZEALAND FLAX*



PITTOSPORUM 'SILVER SHEEN'  
*BLACK-STEM PITTOSPORUM*



PITTOSPORUM 'WHEELER'S DWARF'  
*DWARF MOCK ORANGE*



SENECIO MANDRALISCAE  
*BLUE CHALK STICKS*



YUCCA 'GOLDEN SWORD'  
*GOLDEN SWORD YUCCA*

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**C-STORE AND CAR WASH**  
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 MENLO PARK, CALIFORNIA 94025

DATE	REVISIONS
07/27/2022	SITE/REVISION REV. 01
8/1/2022	CONTRACT USE ONLY - ORIGINAL
8/1/2022	CHECK RESPONSE

LANDSCAPE PLANT  
 PA / PM: P. KING  
 DRAWN BY: NUIS  
 JOB NO.: SMT21-0033-00

SHEET  
**L-2**

**nuvis**  
 LANDSCAPE ARCHITECTURE  
 9 2 5 - 2 4 2 - 0 5 5 5  
 CA 1891 • NV 396 | 888 • 888  
 22-021.01 SEPTEMBER 1, 2022