

BAYWOOD MP, LLC

**PO Box 151
MENLO PARK, CA 94026
650-814-8610
APKAMANGAR@GMAIL.COM**

March 10th, 2024

**To: City of Menlo Park
Planning Development Department
701 Laurel Street,
Menlo Park, CA. 94025**

140 Baywood Ave Project Description Letter

Dear Planning Dept and Commission Members,

We are proposing to build a New Two-Story Residential Home with an ADU to replace an existing older one-story residence with detached single car garage currently on this 6000 Square Foot property located at 140 Baywood Avenue in the Willows neighborhood.

We are interested in creating a new space that can accommodate a growing family through the family's span, and contribute to the surrounding community as a neighborhood participant throughout the future of the family.

The first floor will have a floor area of approximately 1,598 square feet which will be composed of an Entry Foyer, Guest bedroom with a full dedicated Bath, Powder Room, and a free-flowing open floor-plan design of a Grand room that brings together a beautifully designed large kitchen with Dining Room and Family Room space with large patio door and a two sided Fireplace.

A 441 SqFt 2-Car Garage with Electric car charger serviced by a Custom Metal and Frosted Glass garage door is also part of the make-up of the 1st floor space.

As a wonderful addition to this home, we propose a much-needed independent living space in form of an ADU with a total area of 673 square feet. The ADU is designed with an independent private Entry door that opens to a large living space with a full kitchen and is

complimented with a Full Bath and a generous private bedroom, laundry facilities and access to the green yard areas.

A Covered Outdoor Patio/Loggia of 337 sqft is also designed into our plans which will allow for all-season use of the outdoor space. The main home and the ADU both will have use and access of this space via independent patio doors. This space seamlessly will bring our wonderful California outdoor area to merge with our interior designed spaces.

The Second floor of this home has an area of 1199 sqft and offers 2 full en-suite Bedrooms, a common space in form of a Loft Area for the children's entertainment and studies, full size laundry facilities, and a wonderful Primary Bedroom offering a very generous area with 2 closets including a large walk-in closet and a fully custom Grand Bath area with Dual Vanities, free standing soaking tub, and a large shower with high-end finishes and fixtures.

The exterior of the home is designed to incorporate features that will reflect the architectural style common in the area and fit seamlessly into the flow of the existing neighboring homes.

Our Exterior design incorporates a smooth Stucco finish with carefully placed stained natural wood siding in strategically placed areas to further compliment and beautify our exterior elevations. Dark Bronze windows and patio doors, contemporary Metal and Glass custom Garage door and an 8' tall dark colored custom Entry door will complement the proposed design of the exterior finishes

A dark Bronze Standing Seam Metal Roof over the higher roof and ADU roof areas in combination with flat roof areas at the 1st floor roof will complement the smooth stucco surfaces, stained wood siding, metal elements in form of the Garage and Entry door that will create a hybrid contemporary/traditional feel of this home.

The hybrid contemporary/traditional house style is meant to blend with other traditional roof and material forms displayed in the surrounding homes, as not to be in design and appearance conflict with the overall neighborhoods newer and older homes, But to add to the wonderful character of this quite family neighborhood.

To mitigate potential privacy impact of the second-floor space to our left and right neighbors, we have diligently worked hard in minimizing and avoiding the placement of large windows in our left and right elevations. We have placed our Right-side bedroom side windows at a higher sill height of 5' over the bed space to aid in our mutual privacy with our right-side neighbors. Our left-side elevation window placement has also been done to offer ample privacy for our left-side neighbors. All other second floor windows have been placed at a

minimum of 36" sill height to further offer privacy measures while offering proper egress in emergency situations.

This home will also feature energy conservation elements such as energy efficient hot water system, High Efficiency heating system, air conditioning, insulation at all walls and ceiling spaces made of non-combustible material, high efficiency rated windows, energy efficient LED lighting system, and water efficient plumbing fixtures, all in compliance of applicable codes and current requirements.

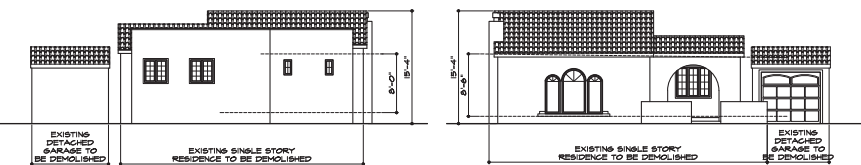
We are very excited about our proposed design establishing a wonderful layout for a single family to inhabit and enjoy all the light and air flowing into the new home, as well as the independent nature of the ADU usage.

We are grateful and appreciative for the Planning Dept. review as well as being placed on the earliest schedule for the Planning Commission review process and hope that our proposal to build this fine home in our mutual community will be deemed acceptable and be granted an approval for construction.

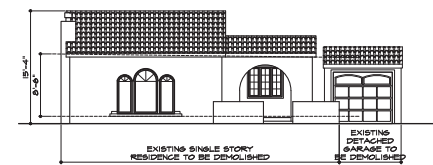
Thanks again for your review and consideration!

Sincerely

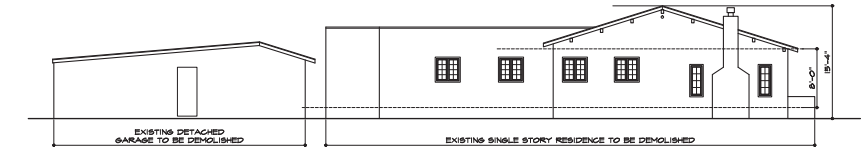
Phillip Kamangar
650-814-8610
Baywood MP, LLC
apkamangar@gmail.com



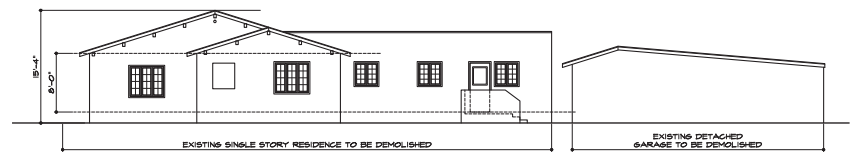
EXISTING REAR ELEVATION
SCALE 1/8" = 1'-0"



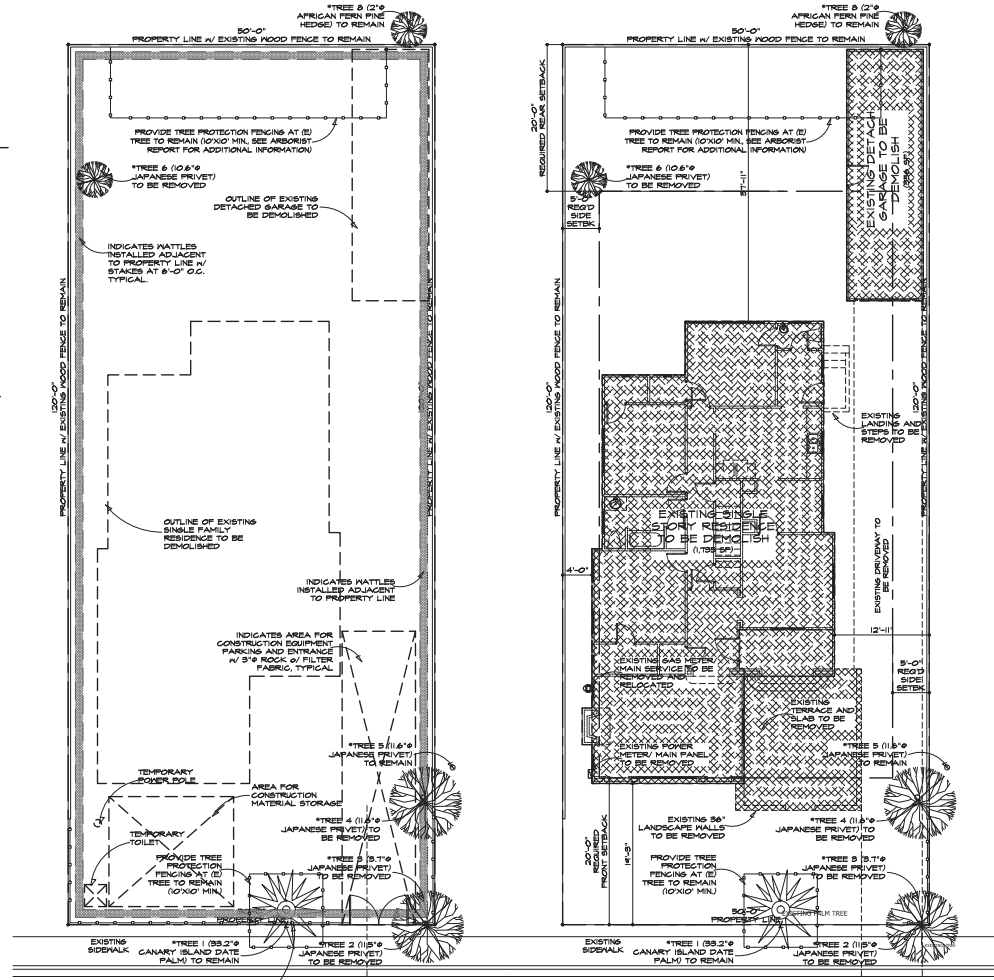
EXISTING FRONT ELEVATION
SCALE 1/8" = 1'-0"



EXISTING LEFT SIDE ELEVATION
SCALE 1/8" = 1'-0"

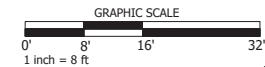


EXISTING RIGHT SIDE ELEVATION
SCALE 1/8" = 1'-0"



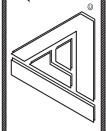
BAYWOOD AVENUE
DEMO AND CONSTRUCTION PLAN
SCALE 1/8" = 1'-0"

BAYWOOD AVENUE
EXISTING SITE PLAN
SCALE 1/8" = 1'-0"



NOTES
1. ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET AND INCHES.
2. ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE TO FACE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
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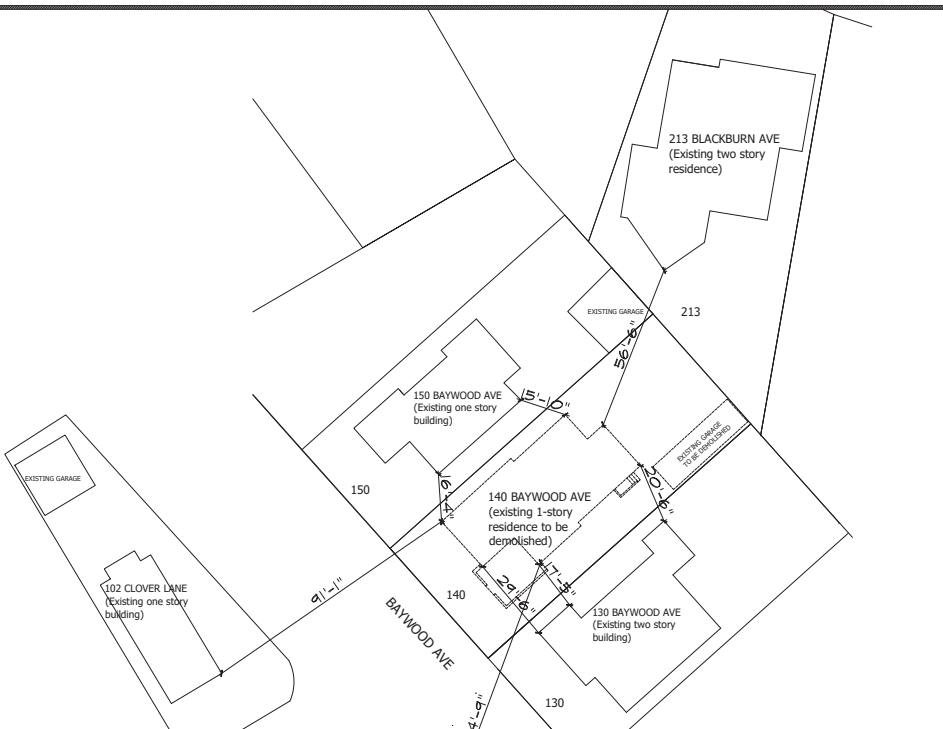
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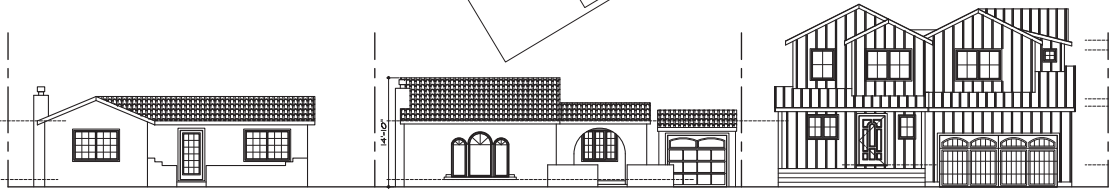
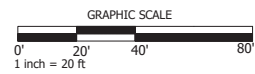
NEW 2-STORY RESIDENCE,
BAYWOOD HOME
140 BAYWOOD AVENUE
MENLO PARK, CA 94026

SHEET CONTENT:
EXISTING SITE PLAN
DEMO AND CONSTRUCTION PLAN
EXISTING EXTERIOR ELEVATIONS

DATE: 08/11/2024
PROJECT: PT KM
SCALE: AS NOTED

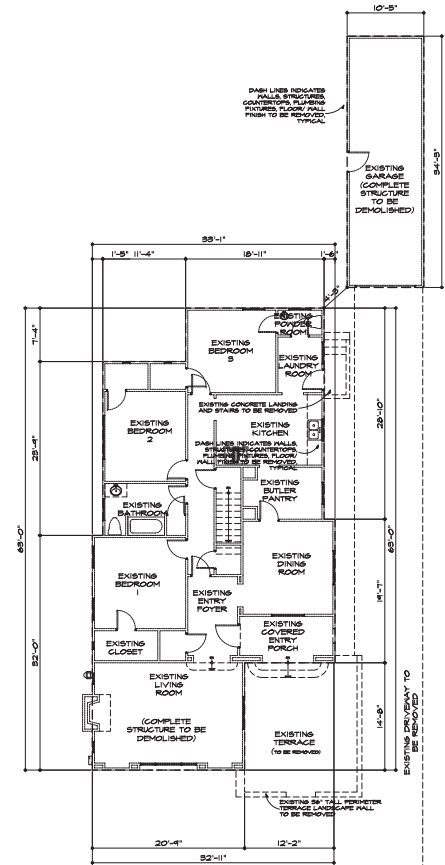


EXISTING AERIAL SITE PLAN

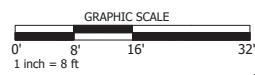


EXISTING STREETSCAPE ELEVATIONS
SCALE 1/8" = 1'-0"

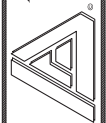
NOTES and LEGEND:
INDICATES EXISTING WALLS AND STRUCTURES TO BE DEMOLISHED, REMOVED OR REPLACE (AS NOTED ON THE PLANS)



EXISTING/ DEMOLITION PLAN
SCALE 1/8" = 1'-0"



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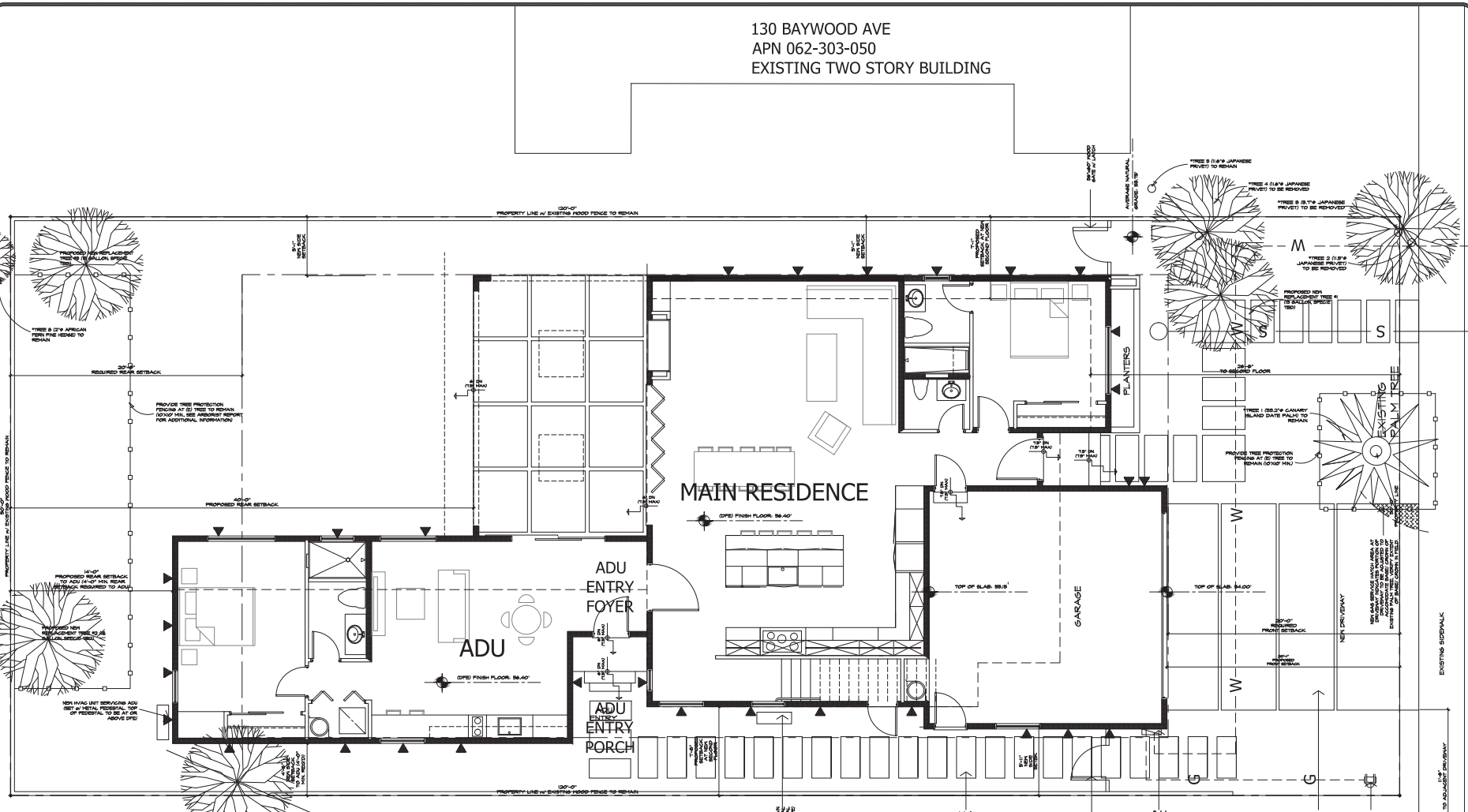


NEW 2-STORY RESIDENCE,
BAYWOOD HOME
140 BAYWOOD AVENUE
MENLO PARK, CA 94026

SHEET CONTENT:
NEW 2-STORY RESIDENCE
EXISTING/ DEMO FLOOR PLAN
EXISTING STREETSCAPE
EXISTING AERIAL SITE PLAN

DATE: 08/11/2024
PROJECT: BAYWOOD
SCALE: 1/8" = 1'-0"
AS NOTED

130 BAYWOOD AVE
 APN 062-303-050
 EXISTING TWO STORY BUILDING



UNDERFLOOR VENTILATION CALCULATION:
 1 UNIT FLOOR VENT = 8x14 VENT @22"
 * 84 INCH OR 82 INCH (LESS APPROX. AREA OF INSECT MESH)

REQUIRED UNDERFLR VENTILATION=1/50th OF GRAFL SPACE:
 = 150.25 SF/150th
 = 12.20 SF (OR 178.9 SQ INCH)
 = 214 OR 21 VENT UNITS REQUIRED**

REQUIRED UNDERFLOOR VENTILATION PER FEMA ZONE AO:
 ONE SQ INCH PER ONE SQUARE FOOT OF ENCLOSED UNDERFLOOR SPACE /AREA.

MAIN HOUSE 2ND ADU:
 ONE SQUARE INCH (OR .00444 SF) PER 1501.25 SF = 12.71 UNITS (OR 15 UNITS)**

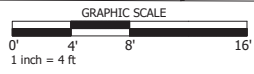
ATTACHED 2-CAR GARAGE:
 ONE SQUARE INCH (OR .00444 SF) PER 441.00 SF = 13 UNITS**

*CURRENTLY, THE STANDARD UNDERFLOOR VENT CALCULATION REQUIREMENTS SHOWS A MINIMUM OF 21 UNDERFLOOR VENT UNITS FOR THE MAIN HOUSE AND ADU, AND 9 UNDERFLOOR VENT UNITS FOR THE ATTACHED GARAGE. PROJECT PLAN IS PROPOSING A MAXIMUM OF 25 VENT UNITS FOR THE MAIN HOUSE AND ADU, AND 9 UNITS FOR THE ATTACHED 2-CAR GARAGE, WHICH EXCEEDS THE FEMA REQUIRED VENT UNITS. PLAN SHOWS UNDERFLOOR VENTING LOCATED AT EAST, WEST, AND SOUTH FOUNDATION LINE.

(TREE NOTES)
 1. TREE SPECIES NOTED IN THIS SITE PLAN ARE REFERENCED FROM THE LANDSCAPE REPORT PREPARED BY KELLY ANDERSON'S SERVICES, LLC (FEB. 29, 2024)



NEW SITE PLAN
 SCALE 1/4" = 1'-0"



150 BAYWOOD AVE
 APN 062-303-070
 EXISTING TWO STORY BUILDING

- FLOOD ZONE NOTES***
- THE PROJECT IS BUILT IN COMPLIANCE WITH THE CITY'S FLOOD DAMAGE PREVENTION ORDINANCE, CHAPTER 12, SECTION 42A
 - ALL MATERIALS BELOW DFE SHALL BE RESISTANT TO FLOOD DAMAGE (I.E. CONCRETE, REDWOOD OR PRESSURE TREATED DOUGLASS FIR/A
 - THE BOTTOM ELEVATION OF ALL APPLIANCES AND UTILITIES (METERS, AIR CONDITIONING UNITS, ETC.) SHALL BE AT OR ABOVE DFE.
 - STORM RUNOFF RESULTING FROM THE PROJECT'S GRADING AND DRAINAGE ACTIVITIES SHALL NOT ENOUGH ONTO ANY NEIGHBORING LOT. RUNOFF MUST BE CONTAINED ON-SITE.
 - NO BARRENDS OR ANY HABITABLE ENCLOSURE BELOW THE DFE ARE ALLOWED FOR PROJECTS IN THE FLOOD ZONE.
 - FLOOD VENTS SHALL BE INSTALLED FOR ALL NON-HABITABLE ENCLOSURES BELOW THE DFE (I.E. CRAWLSPACE, GARAGE, ETC.) AT A RATE OF 1 SQUARE INCH OF NET OPENING TO 1 SQUARE FOOT OF ENCLOSURE.
 - THE BOTTOM OF ALL FLOOD VENTS SHALL BE NO MORE THAN 12" ABOVE THE LOWEST ADJACENT GRADE. THE TOP OF ALL FLOOD VENTS SHALL BE BELOW THE DFE, WHERE FEASIBLE.
 - PRIOR TO APPROVAL OF FOUNDATION INSPECTION, A LICENSED SURVEYOR SHALL VERIFY FOUNDATION ELEVATIONS BY SUBMITTING A SIGNED, STAMPED STATEMENT.
 - PRIOR TO APPROVAL OF UNDER FLOOR FRAMING INSPECTION, A LICENSED SURVEYOR SHALL VERIFY FOUNDATION ELEVATIONS BY SUBMITTING A SIGNED, STAMPED STATEMENT.
 - A FINISHED CONSTRUCTION ELEVATION CERTIFICATE WILL BE REQUIRED AT PROJECT COMPLETION.
- * FOR ADDITIONAL FEMA REQUIREMENTS, REFER TO SHEET PL-1.

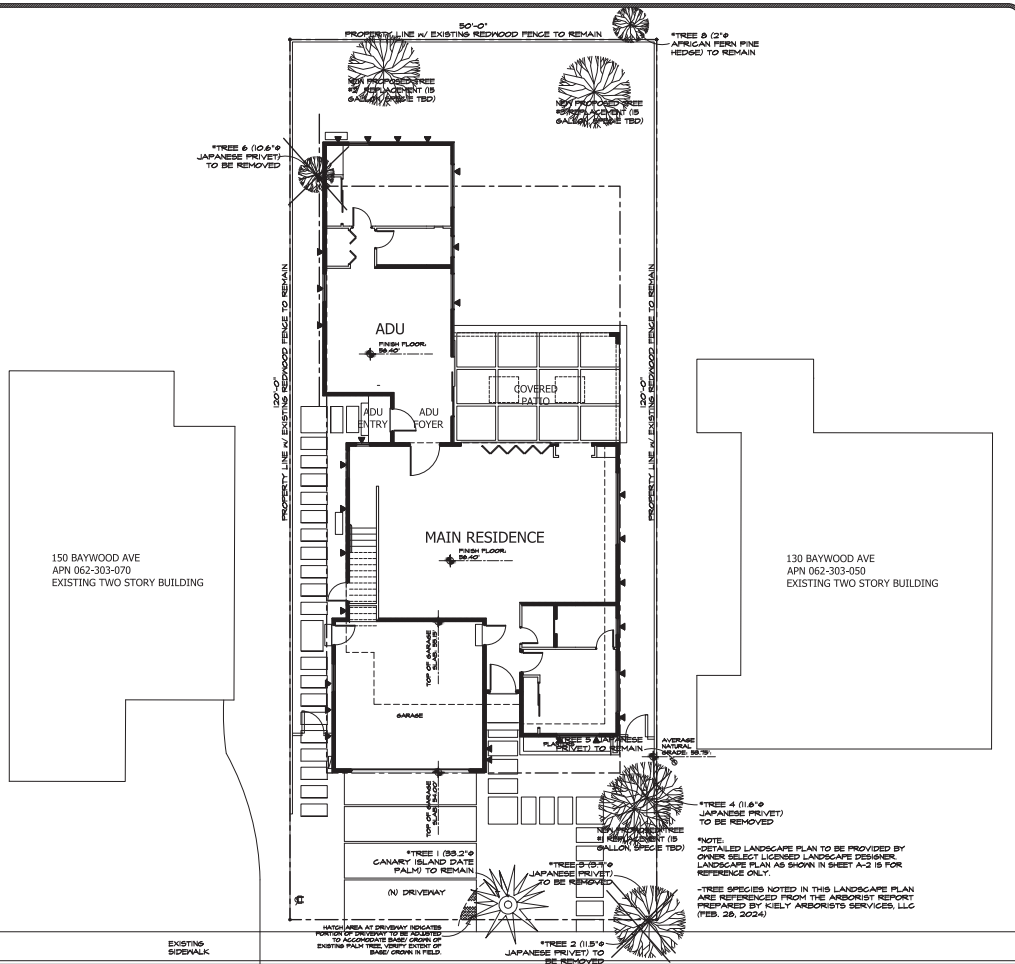
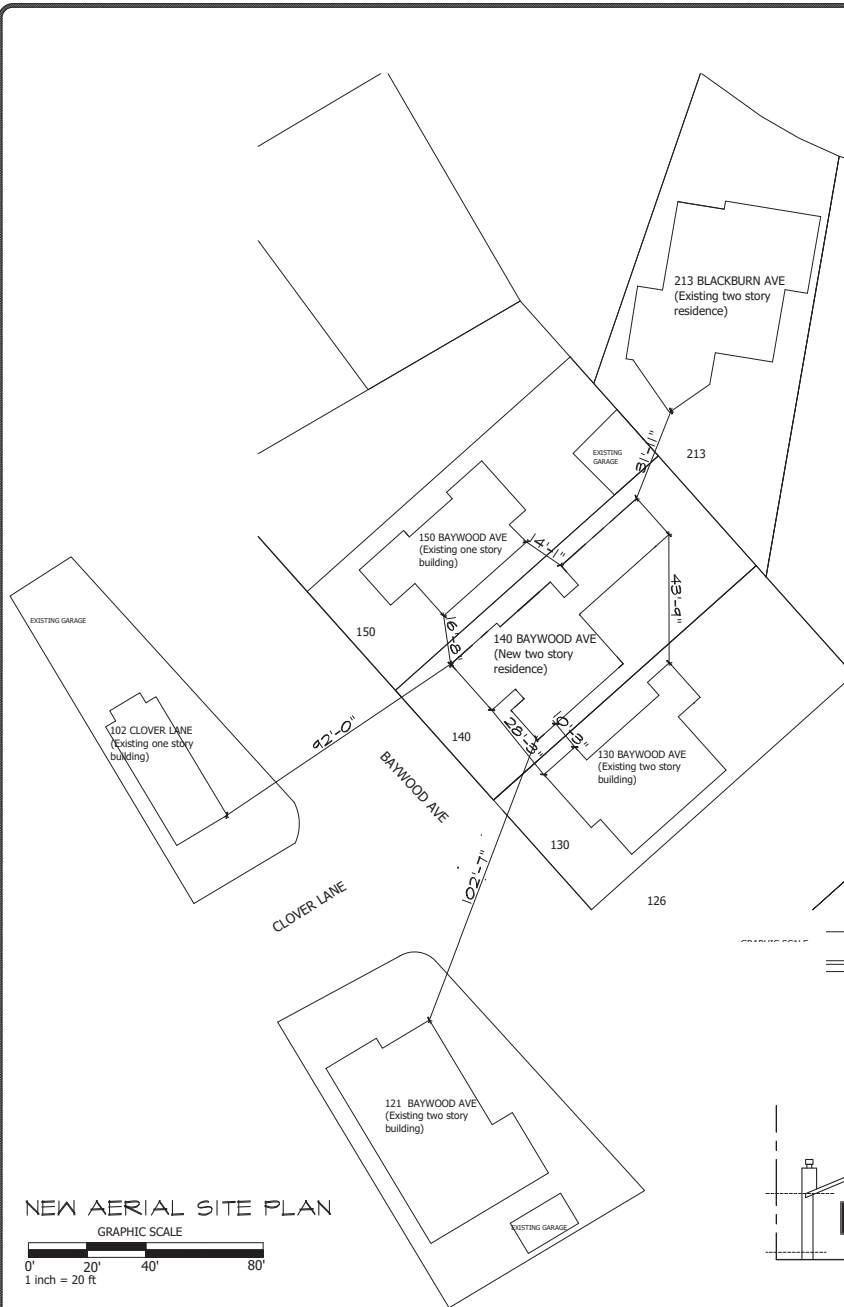
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NEW 2-STORY RESIDENCE, BAYWOOD HOME
 140 BAYWOOD AVENUE
 MENLO PARK, CA 94026

SHEET CONTENT:
 NEW SITE PLAN

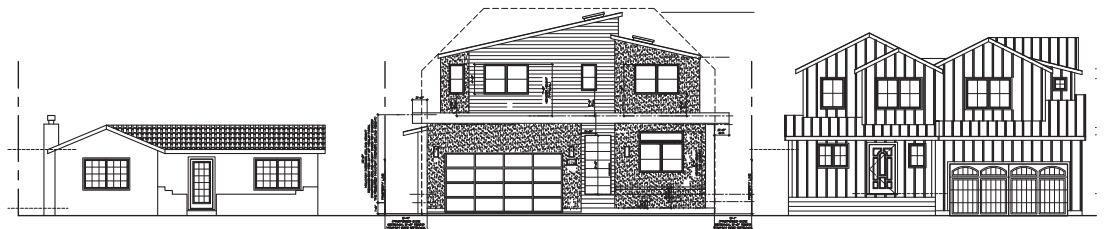
DATE: 08/11/2024
 PROJECT: PT KM
 SCALE: 1/4" = 1'-0"

A-1



NEW AERIAL SITE PLAN
GRAPHIC SCALE
0' 20' 40' 80'
1 inch = 20 ft

LANDSCAPE PLAN
SCALE 1/8" = 1'-0"



NEW STREETSCAPE ELEVATIONS
SCALE 1/8" = 1'-0"

GRAPHIC SCALE
0' 8' 16' 32'
1 inch = 8 ft

NOTES

1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.

2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE (CBC) AND ALL APPLICABLE LOCAL ORDINANCES.

3. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.

4. THE LANDSCAPE PLAN IS A PRELIMINARY DESIGN AND IS SUBJECT TO CHANGE BASED ON THE RESULTS OF THE ARBORIST REPORT.

5. TREE SPECIES NOTED IN THIS LANDSCAPE PLAN ARE REFERENCED FROM THE ARBORIST REPORT PREPARED BY KELLY ARBORISTS SERVICES, LLC (REV. 08, 2024).

6. THE ADU SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA ACCESSIBILITY STANDARDS (CAS) AND ALL APPLICABLE LOCAL ORDINANCES.

7. THE GARAGE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE (CBC) AND ALL APPLICABLE LOCAL ORDINANCES.

8. THE DRIVEWAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE (CBC) AND ALL APPLICABLE LOCAL ORDINANCES.

9. THE EXISTING GARAGE SHALL BE DEMOLISHED AND RECONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE (CBC) AND ALL APPLICABLE LOCAL ORDINANCES.

10. THE EXISTING DRIVEWAY SHALL BE DEMOLISHED AND RECONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE (CBC) AND ALL APPLICABLE LOCAL ORDINANCES.

11. THE EXISTING SIDEWALK SHALL BE DEMOLISHED AND RECONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE (CBC) AND ALL APPLICABLE LOCAL ORDINANCES.

12. THE EXISTING FENCE SHALL BE DEMOLISHED AND RECONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE (CBC) AND ALL APPLICABLE LOCAL ORDINANCES.

13. THE EXISTING REDWOOD FENCE SHALL BE DEMOLISHED AND RECONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE (CBC) AND ALL APPLICABLE LOCAL ORDINANCES.

14. THE EXISTING REDWOOD FENCE SHALL BE DEMOLISHED AND RECONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE (CBC) AND ALL APPLICABLE LOCAL ORDINANCES.

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19. THE EXISTING REDWOOD FENCE SHALL BE DEMOLISHED AND RECONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE (CBC) AND ALL APPLICABLE LOCAL ORDINANCES.

20. THE EXISTING REDWOOD FENCE SHALL BE DEMOLISHED AND RECONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE (CBC) AND ALL APPLICABLE LOCAL ORDINANCES.

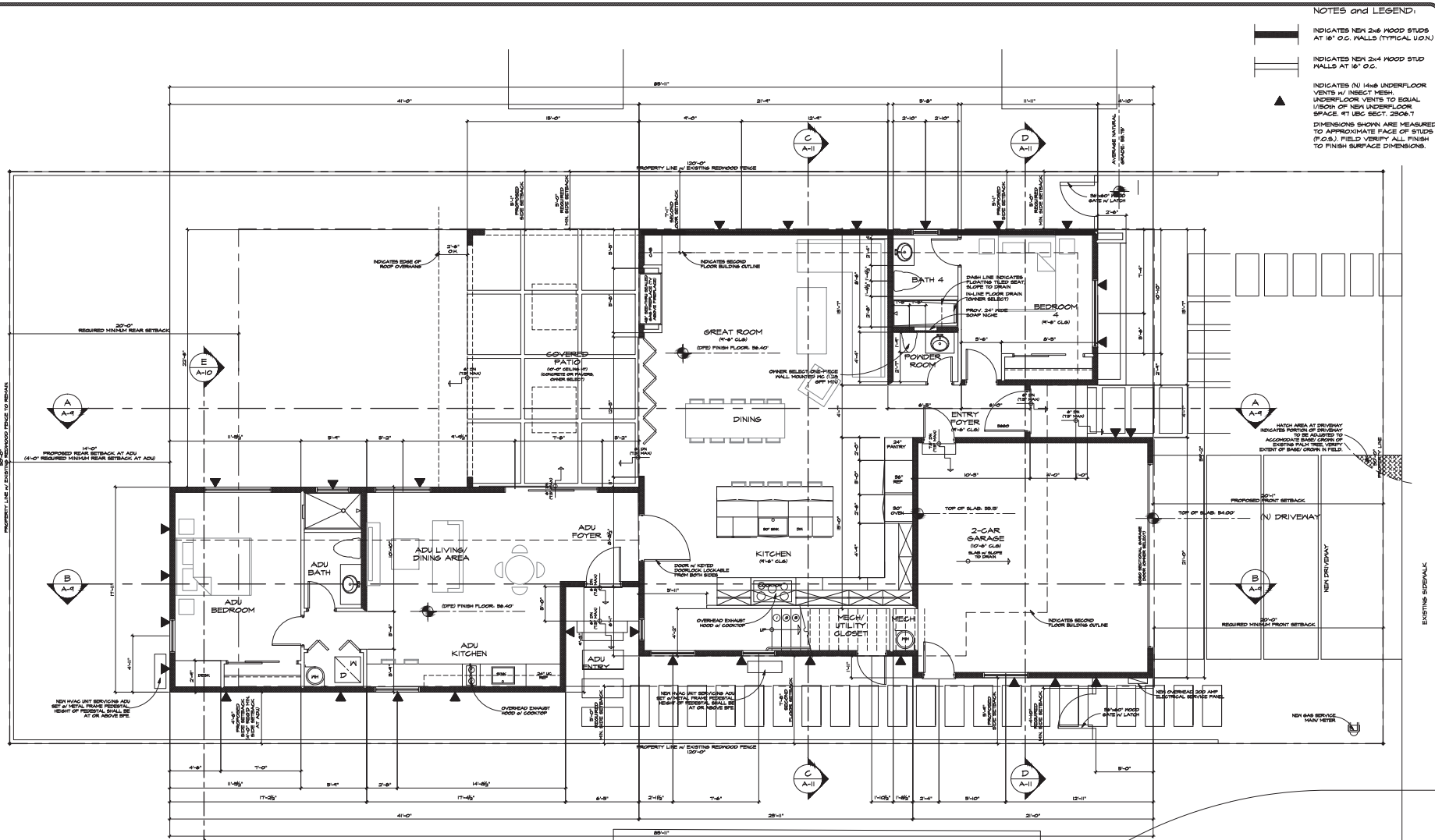
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NEW 2-STORY RESIDENCE, BAYWOOD HOME
140 BAYWOOD AVENUE
MENLO PARK, CA 94026

SHEET CONTENT:
NEW STREETSCAPE ELEVATIONS
NEW AERIAL SITE PLAN
NEW LANDSCAPE PLAN

DATE: 08/11/2024
PROJECT: PT KM
SCALE: 1/4" = 1'-0"

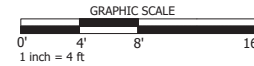
A-2



NOTES and LEGEND:

- INDICATES NEW 2x6 HOOD STUDS AT 16" O.C. WALLS (TYPICAL UOI)
- INDICATES NEW 2x4 HOOD STUD WALLS AT 16" O.C.
- INDICATES (N) 1/4" UNDERFLOOR VENTS w/ INSECT MESH.
- UNDERFLOOR VENTS TO EQUAL 1/50th OF NEW UNDERFLOOR SPACE. FT UOI SECT. 2008-17
- DIMENSIONS SHOWN ARE MEASURED TO APPROXIMATE FACE OF STUDS (IF O.U.). FIELD VERIFY ALL FINISH TO FINISH SURFACE DIMENSIONS.

FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"



*CURRENTLY, THE STANDARD UNDERFLOOR VENT CALCULATION REQUIREMENTS SHOWS A MINIMUM OF 21 UNDERFLOOR VENT UNITS FOR THE MAIN HOUSE AND ADU, AND 8 UNDERFLOOR VENT UNITS FOR THE ATTACHED GARAGE. PROJECT PLAN IS PROVIDING A MAXIMUM OF 25 VENT UNITS FOR THE MAIN HOUSE AND ADU AND 5 UNITS FOR THE ATTACHED 2-CAR GARAGE. (WHICH EXCEEDS THE FEMA REQUIRED VENT UNITS). PLAN SHOWS UNDERFLOOR VENTING LOCATED AT EAST, WEST, AND SOUTH FOUNDATION LINE.

FLOOD ZONE NOTES*

- UNDERFLOOR VENTILATION CALCULATION:**
- 1 UNIT FLOOR VENT = 8x14 VENT SIZE
 - * 24" INCH OR 82 INCH (LESS APPROX. AREA OF INSECT MESH)
- REQUIRED UNDERFLR VENTILATION/1/50th OF CRAWL SPACE:**
- = 189.23 SF/150th
 - = 12.30 SF (OR 1756.5 SQ INCH)
 - = 21.4 OR 21 VENT UNITS REQUIRED**
- REQUIRED UNDERFLOOR VENTILATION PER FEMA ZONE AO:**
- ONE SQ INCH PER ONE SQUARE FOOT OF ENCLOSED UNDERFLOOR SPACE/AREA.
- MAIN HOUSE AND ADU:**
- ONE SQUARE INCH (OR .006444 SF)
 - PER 189.23 SF (OR 1756.5 SF)
 - = 12.71 UNITS (OR 19 UNITS)**
- ATTACHED 2-CAR GARAGE:**
- ONE SQUARE INCH (OR .006444 SF)
 - PER 441.00 SF = 3 UNITS**
- THE PROJECT IS BUILT IN COMPLIANCE WITH THE CITY'S FLOOD DAMAGE PREVENTION ORDINANCE, CHAPTER 12, SECTION 42A
 - ALL MATERIALS BELOW DFE SHALL BE RESISTANT TO FLOOD DAMAGE (I.E. CONCRETE, REDWOOD OR PRESSURE TREATED DOUGLAS FIR/A
 - THE BOTTOM ELEVATION OF ALL APPLIANCES AND UTILITIES (METERS, AIR CONDITIONING UNITS, ETC.) SHALL BE AT OR ABOVE DFE.
 - STORM RUNOFF RESULTING FROM THE PROJECT'S GRADING AND DRAINAGE ACTIVITIES SHALL NOT ENOUGH ON ANY NEIGHBORING LOT. RUNOFF MUST BE CONTAINED ON-SITE.
 - NO BARRIERS OR ANY HABITABLE ENCLOSURE BELOW THE DFE ARE ALLOWED FOR PROJECTS IN THE FLOOD ZONE.
 - FLOOD VENTS SHALL BE INSTALLED FOR ALL NON-HABITABLE ENCLOSURES BELOW THE DFE (I.E. CRAWLSPACE, GARAGE, ETC.) AT A RATE OF 1 SQUARE INCH OF NET OPENING TO 1 SQUARE FOOT OF ENCLOSURE.
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 - PRIOR TO APPROVAL OF UNDER FLOOR FRAMING INSPECTION, A LICENSED SURVEYOR SHALL VERIFY FOUNDATION ELEVATIONS BY SUBMITTING A SIGNED, STAMPED STATEMENT.
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 - FOR ADDITIONAL FEMA REQUIREMENTS, REFER TO SHEET PL-1.

NOTES

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www.atelierdesigns.com

NEW 3-STORY RESIDENCE, BAYWOOD HOME
140 BAYWOOD AVENUE
MENLO PARK, CA 94026

SHEET CONTENT: FIRST FLOOR PLAN

BAYWOOD

DATE: 08/11/2024
PROJECT: FT Km
SCALE: 1/4" = 1'-0"

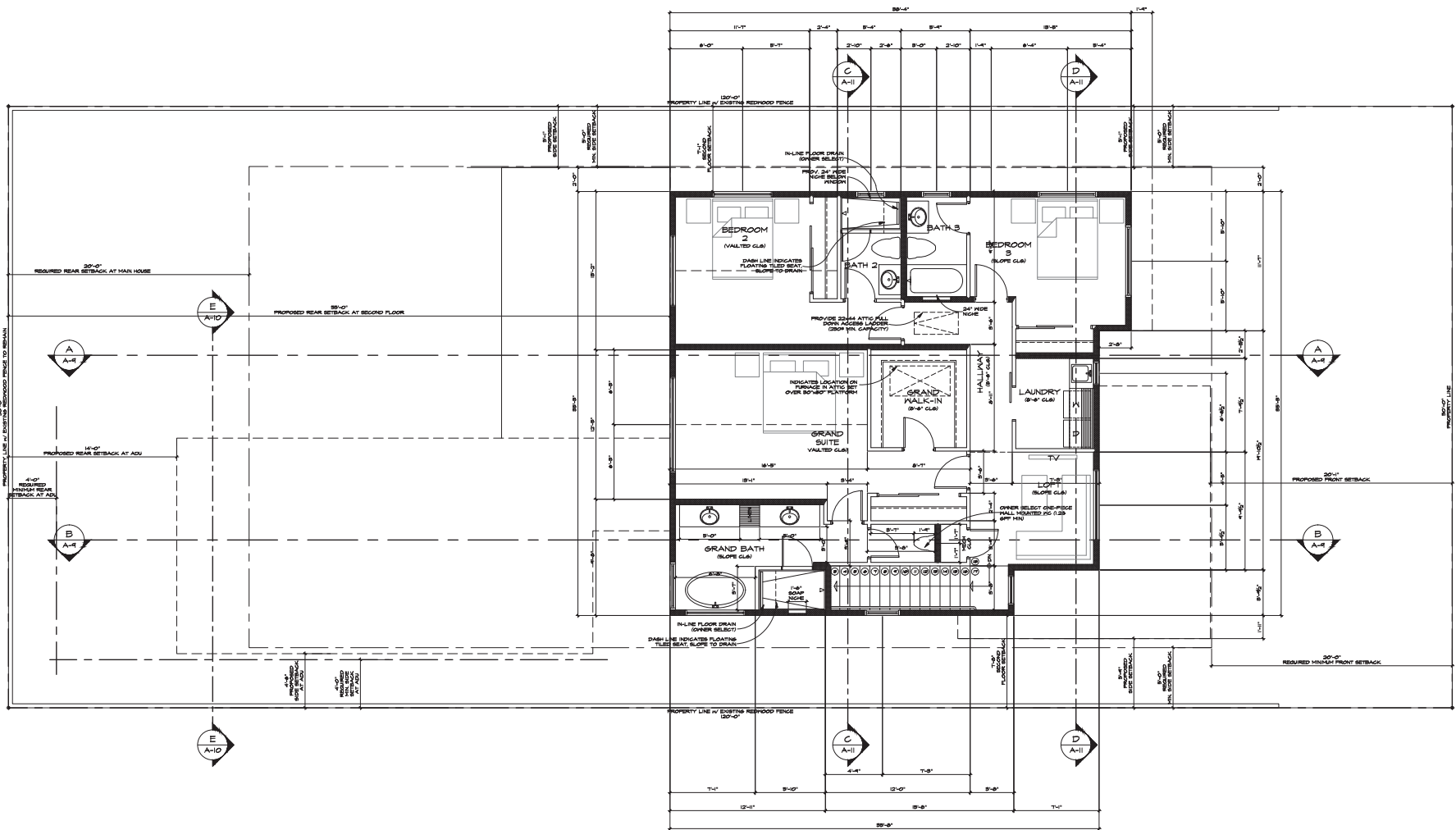
A-3

NOTES and LEGEND:

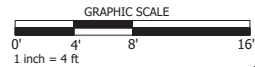
INDICATES NEW 2x4 WOOD STUDS AT 16" O.C. WALLS (TYPICAL U.O.N.)

INDICATES NEW 2x4 WOOD STUD WALLS AT 16" O.C.

DIMENSIONS SHOWN ARE MEASURED TO APPROXIMATE FACE OF STUDS (F.O.S.). FIELD VERIFY ALL FINISH TO FINISH SURFACE DIMENSIONS.



SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"



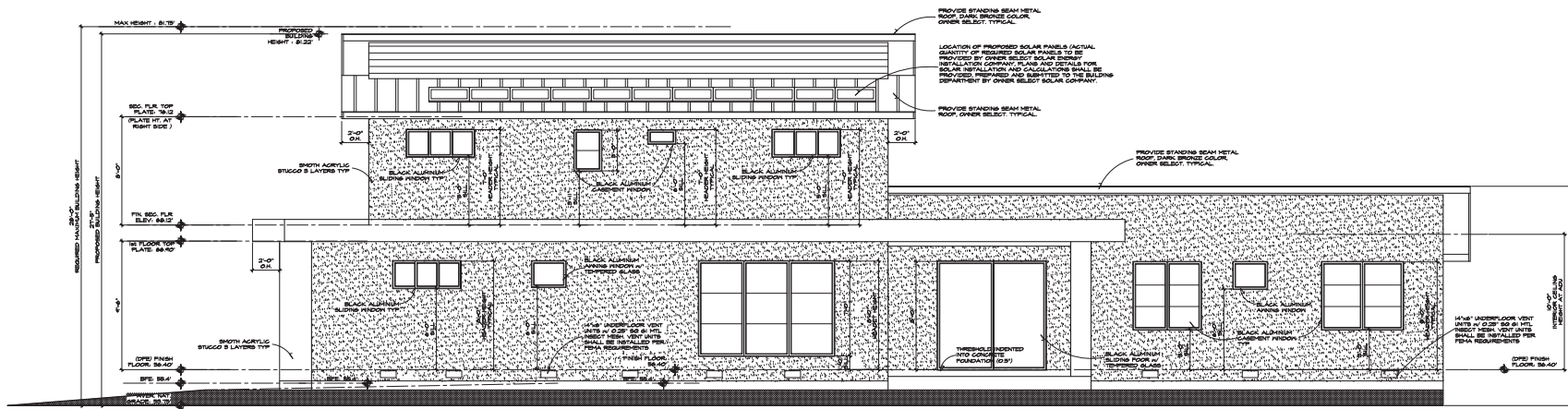
ATELIER DESIGNS
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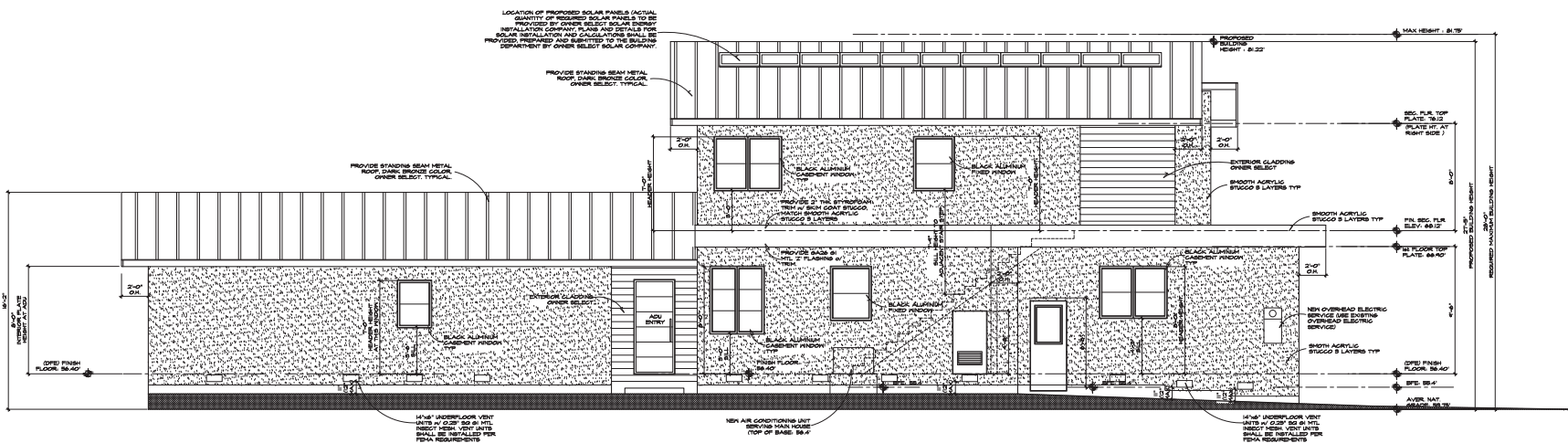
SHEET CONTENT:
SECOND FLOOR PLAN

DATE: 08/11/2024
PROJECT: PT_Km
SCALE: 1/4" = 1'-0"

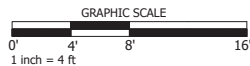
A-4



RIGHT SIDE ELEVATION
SCALE 1/4" = 1'-0" (SOUTH)



LEFT SIDE ELEVATION
SCALE 1/4" = 1'-0" (NORTH)



UNDERFLOOR VENTILATION CALCULATION:
1 UNIT FLOOR VENT = 6x14 VENT SIZE
= 84 INCH OR 82 INCH (LESS APPROX. AREA OF INSECT MESH)

REQUIRED UNDERFLR VENTILATION=1/50TH OF CRAWL SPACE:
= 189/28 SF/ 1909
= 12.32 SF (OR 1198.8 SQ INCH)
= 21/4 OR 21 VENT UNITS
REQUIRED**

REQUIRED UNDERFLOOR VENTILATION PER FEMA ZONE AO:
ONE SQ INCH PER ONE SQUARE FOOT OF ENCLOSED UNDERFLOOR SPACE /AREA.

MAIN HOUSE AND ADU:
ONE SQUARE INCH (OR 006944 SF)
PER 189/28 SF** (121/3 UNITS (OR 19 UNITS)**
ATTACHED 2-CAR GARAGE:
ONE SQUARE INCH (OR 006944 SF)
PER 189/28 SF (121/3 UNITS)

**CURRENTLY, THE STANDARD UNDERFLOOR VENTILATION REQUIREMENTS SHOWS A MINIMUM OF 21 UNDERFLOOR VENT UNITS FOR THE MAIN HOUSE AND ADU, AND 9 UNDERFLOOR VENT UNITS FOR THE ATTACHED GARAGE. PROJECT PLAN IS PROPOSING A MAXIMUM OF 28 VENT UNITS FOR THE MAIN HOUSE AND ADU, AND 9 UNITS FOR THE ATTACHED 2-CAR GARAGE. (WHICH EXCEEDS THE FEMA REQUIRED VENT UNITS). PLAN SHOWS UNDERFLOOR VENTING LOCATED AT EAST, WEST, AND SOUTH FOUNDATION LINE.

FLOOD ZONE NOTES*

1. THE PROJECT IS BUILT IN COMPLIANCE WITH THE CITY'S FLOOD DAMAGE PREVENTION ORDINANCE, CHAPTER 12, SECTION 42A
 2. ALL MATERIALS BELOW DFE SHALL BE RESISTANT TO FLOOD DAMAGE (I.E. CONCRETE, REDWOOD OR PRESSURE TREATED DOUGLASS FIR, A
 3. THE BOTTOM ELEVATION OF ALL APPLIANCES AND UTILITIES (METERS, AIR CONDITIONING UNITS, ETC.) SHALL BE AT OR ABOVE DFE.
 4. STORM RUNOFF RESULTING FROM THE PROJECT'S GRADING AND DRAINAGE ACTIVITIES SHALL NOT ENOUGH ONTO ANY NEIGHBORING LOT. RUNOFF MUST BE CONTAINED ON-SITE.
 5. NO BASEMENTS OR ANY HABITABLE ENCLOSURE BELOW THE DFE ARE ALLOWED FOR PROJECTS IN THE FLOOD ZONE.
 6. FLOOD VENTS SHALL BE INSTALLED FOR ALL NON-HABITABLE ENCLOSURES BELOW THE DFE (I.E. CRAWLSPACE, GARAGE, ETC.) AT A RATE OF 1 SQUARE INCH OF NET OPENINGS TO 1 SQUARE FOOT OF ENCLOSURE.
 7. THE BOTTOM OF ALL FLOOD VENTS SHALL BE NO MORE THAN 12" ABOVE THE LOWEST ADJACENT GRADE. THE TOP OF ALL FLOOD VENTS SHALL BE BELOW THE DFE, WHERE FEASIBLE.
 8. PRIOR TO APPROVAL OF FOUNDATION INSPECTION, A LICENSED SURVEYOR SHALL VERIFY FOUNDATION ELEVATIONS BY SUBMITTING A SIGNED, STAMPED STATEMENT.
 9. PRIOR TO APPROVAL OF UNDER FLOOR FRAMING INSPECTION, A LICENSED SURVEYOR SHALL VERIFY FOUNDATION ELEVATIONS BY SUBMITTING A SIGNED, STAMPED STATEMENT.
 10. A BENCHMARK CONSTRUCTION ELEVATION CERTIFICATE WILL BE REQUIRED AT PROJECT COMPLETION.
- * FOR ADDITIONAL FEMA REQUIREMENTS, REFER TO SHEET FL-1.