

Project Description

Summary: The scope of this project is to demolish the existing one-story residence and build a new two-story Single-Family Residence (SFR) with attached ADU and basement.

Existing House to be Demolished



The existing house is a one-story single-family home that was built in 1952. It contains 3 bedrooms and 2 bathrooms with a total living space of 1610 sq.ft. It has an attached 2 car garage. Tree #5 is a street-tree that is

proposed to be removed and we are including a heritage tree removal application along with this submission. There are other small non-heritage trees that are proposed to be removed for this project due to tree health and development reasons. We have included an arborist report that details all the trees that are preserved and removed.

Proposed Residence



The proposed residence is a two-story Single-Family Residence (SFR) with a basement, attached garage and an attached ADU.

The main house consists of 4 bedrooms, 6 bathrooms, living room, dining room, great room, covered patio in the rear. There is an exercise room, bar, wine room, great room and a flex room in the basement. The ADU consist of a great room, 2 bedrooms and 2 bathrooms. The proposed architectural style is modern with simple design and light colors which is in line with many new constructions in the neighborhood. Overall height of the building is well below the maximum allowed height of 28'. The second floor is setback from the first floor to reduce the appearance of mass and is well within the allowed daylight plane. The windows in the second floor are designed to respect the privacy of the neighbors. Exterior materials consist of Stucco walls with wood siding in certain areas as accent along with standing seam metal roof. Lightwells are strategically placed to reduce impact to neighbors during construction and future use.

If you have any questions or concerns, please feel free to reach out to me.

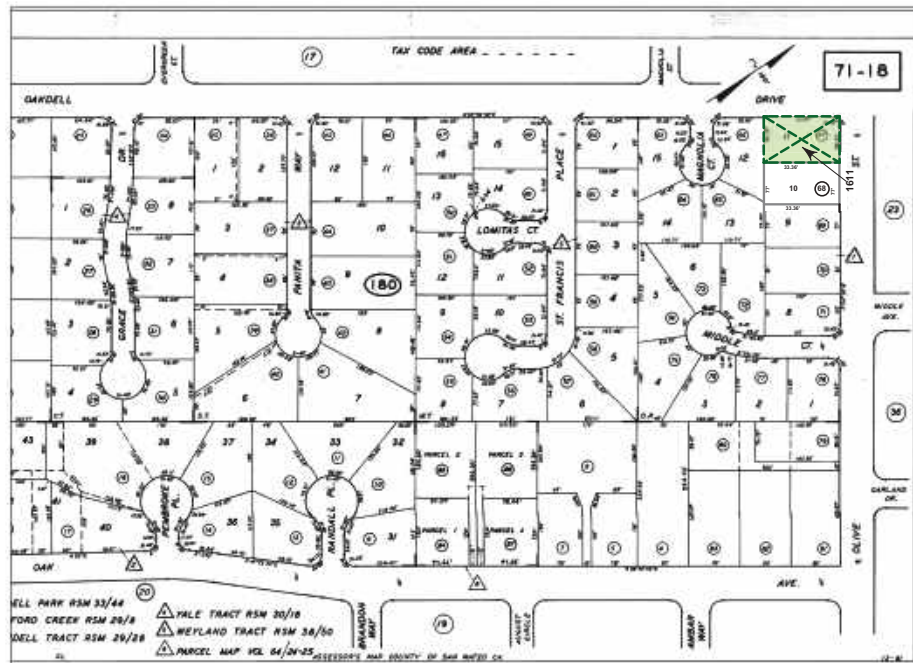
Thank you,

Vinod Madabushi, Manager
Aprimo Home LLC
aprimohome@outlook.com
650-770-9685



NEW RESIDENCE

1611 OAKDELL DRIVE,
MENLO PARK, CA 94025



VICINITY MAP NO SCALE



SHEET INDEX

A0-COVERSHEET/PLANNING DATA
TOPOGRAPHICAL & BOUNDARY SURVEY

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 - A2 - EXISTING AND DEMO SITE PLAN
 - A3 - PROPOSED SITE PLAN
 - A4 - EXISTING FLOOR PLAN AND ELEVATIONS
 - A5 - PROPOSED BASEMENT FLOOR PLAN
 - A6 - PROPOSED FIRST FLOOR PLAN WITH ADU PLAN
 - A7 - PROPOSED SECOND FLOOR PLAN
 - A8 - PROPOSED ROOF PLAN
 - A9 - SQUARE-FOOT CALCULATION PLANS
 - A10 - EXTERIOR ELEVATIONS
 - A11 - EXTERIOR ELEVATIONS
 - A12 - BUILDING SECTION
 - A13 - MATERIAL BOARD
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BUILDING CODES DATA

OCCUPANCY: R-3/U
SINGLE-FAMILY RESIDENCE WITH ATTACHED GARAGE & ADU
CONSTRUCTION TYPE V-B

APPLICABLE CODES:
2022 CALIFORNIA RESIDENTIAL, BUILDING, MECHANICAL,
PLUMBING, ELECTRICAL, ENERGY, AND GREEN BUILDING
CODES AS AMENDED BY THE STATE OF CALIFORNIA AND CITY
OF MENLO PARK.

DEFERRED SUBMITTAL:

FIRE SPRINKLER DESIGN AND DRAWINGS
SOLAR PANELS DESIGN AND DRAWINGS

SCOPE OF WORK:

NEW TWO-STORY WITH ATTACHED GARAGE AND
BASEMENT SINGLE-FAMILY RESIDENCE
PLUS ATTACHED ADU

PROJECT DESCRIPTION

APN: 071-180-670
ZONING DISTRICT: R1-S
LOT AREA: 10,003 FT.²
FRONT SETBACK: 20'
REAR SETBACK: 54' 5 7/8"
LEFT SIDE SETBACK: 11'
RIGHT SIDE SETBACK: 12'
MAXIMUM BUILDING COVERAGE: 35%
HEIGHT LIMITATION: 28'

TABULATION

LOT SIZE: 10,003 ft.²
MAXIMUM BUILDING COVERAGE: 35%
ALLOWED FA = 2800 + 25% of (10003-7000) = 3550.75 ft.²
FAL = 3546.5 ft.
MAXIMUM FAL (FLOOR AREA LIMIT)

(E) BUILDING
(E) FIRST FLOOR = 1719.1 ft.²
(E) GARAGE = 372.2 ft.²
TOTAL (E) BUILDING COVERAGE: 2091.3 ft.²

(N) BUILDING DEVELOPMENT
(N) FIRST FLOOR = 1689.8 ft.²
(N) SECOND FLOOR = 1414.7 ft.²
(N) GARAGE = 442 ft.²
TOTAL (N) BUILDING COVERAGE: 3546.5 ft.²

(N) FAL = 3550.75 ft.²

(N) ADU = 710 ft.²
(N) BASEMENT = 2073.9 ft.²

REFER TO SHEET A13 FOR AREA DIAGRAM

DESIGNER:
APRIMO HOME LLC
650-770-9685

DRAFTSMAN:
STEWART DESIGN
19980 GIST ROAD,
LOS GATOS, CA 95033
RICK GOULD 650-520-9215

ON THIS PAGE OF LAYOUT:
COVER SHEET/PLANNING DATA

SCALE:

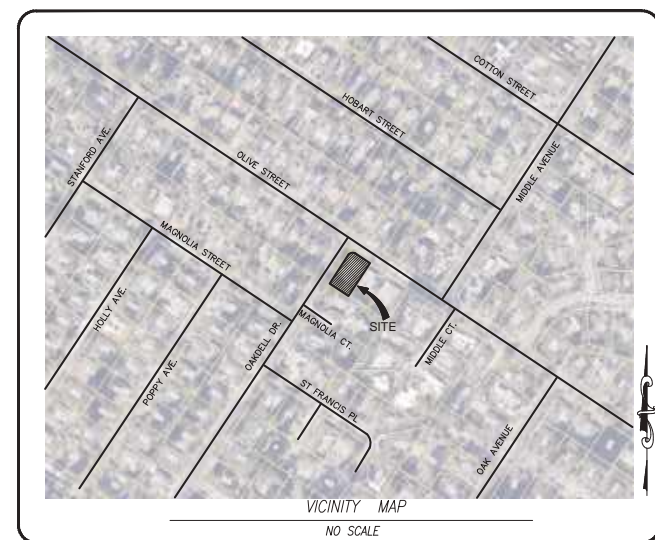
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REVISION
4-22-25

JOB ADDRESS:
071-180-670
1611 OAKDELL DRIVE, MENLO PARK, CA 94025

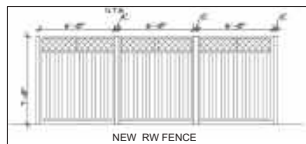
650-770-9685
aprimohome@outlook.com

OWNER NAME: APRIMO HOME LLC
1401 21ST ST (STE 6103)
SACRAMENTO, CA 95811



TEL: (415)802-9945 / INFO@ZHENS LANDSURVEYING.COM SHEET 1 OF 1 SHEET

Tree#	Remove/	Species	Trunk (in)	Ht (ft)	Comments
1	P	Myrica (Myrica Grandifolia)	22.5	30/25	Street tree, minor dead wood in canopy
2	P	Myrica (Myrica Grandifolia)	19.6	30/25	Street tree, minor dead wood in canopy
3	P	Coast Live Oak (Quercus Agrifolia)	36	40/50	Overmature live oak, shaded tree with hanging, present for safety first character on one side of canopy. Columns over an 8' large limb loss at 8' with associated decay, street tree, adjacent to driveway and street.
4	P	Grease Nitche (Rhus Toxicaria)	11.1	25/18	Trapped in the past for live character pruning.
5	R	Swallowtail (Liquidambar styraciflua)	18.5	30/20	street tree
6	P	Coast Live Oak (Quercus Agrifolia)	38	30/15	Suppressed by tree #1, codominant or 4' suppressed, history of limb loss, one sided canopy
7	P	Swallowtail (Liquidambar styraciflua)	8.1	35/12	vine, no trees
8	R	Western White Oak (Quercus laevis)	8	6/15	Transmittable vine
9	R	Red Japanese Maple (Acer palmatum)	3.2	8/8	Transmittable vine
10	R	Yucca Filamentosa (Yucca filamentosa)	0	10/8	hedge present, at property line
11	R	Yucca Filamentosa (Yucca filamentosa)	4	10/4	hedge present, at property line
12	R	Yucca Filamentosa (Yucca filamentosa)	4	10/4	hedge present, at property line
13	R	Yucca Filamentosa (Yucca filamentosa)	4	10/4	hedge present, at property line
14	R	Yucca Filamentosa (Yucca filamentosa)	6	10/4	hedge present, at property line
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100	R	Yucca Filamentosa (Yucca filamentosa)	6	10/4	hedge present, at property line



SITE ANALYSIS

Zoning: R-1-S

LOT AREA: 10,003 ft.²
ALLOWABLE FLOOR AREA: 3,550.75 ft.²
[10003-7000] X 25% + 2800
3003 X 25% = 750.75 + 2800
NO ATTIC SPACE OVER 5 FEET

PROPOSED FIRST FLOOR AREA: 1,689.8 ft.²
PROPOSED SECOND FLOOR AREA: 1,414.7 ft.²
TOTAL PROPOSED FLOOR AREA: 3,104.5 ft.²
PROPOSED BASEMENT FLOOR AREA: 2,073.9 ft.²
PROPOSED ADU FLOOR AREA: 710.0 ft.²
LAND COVERED BY STRUCTURES: 40.0 %
LANDSCAPING: 31.5 %
PAVED SURFACES: 28.5 %
PARKING SPACES: 2 COV/2 UNCOV

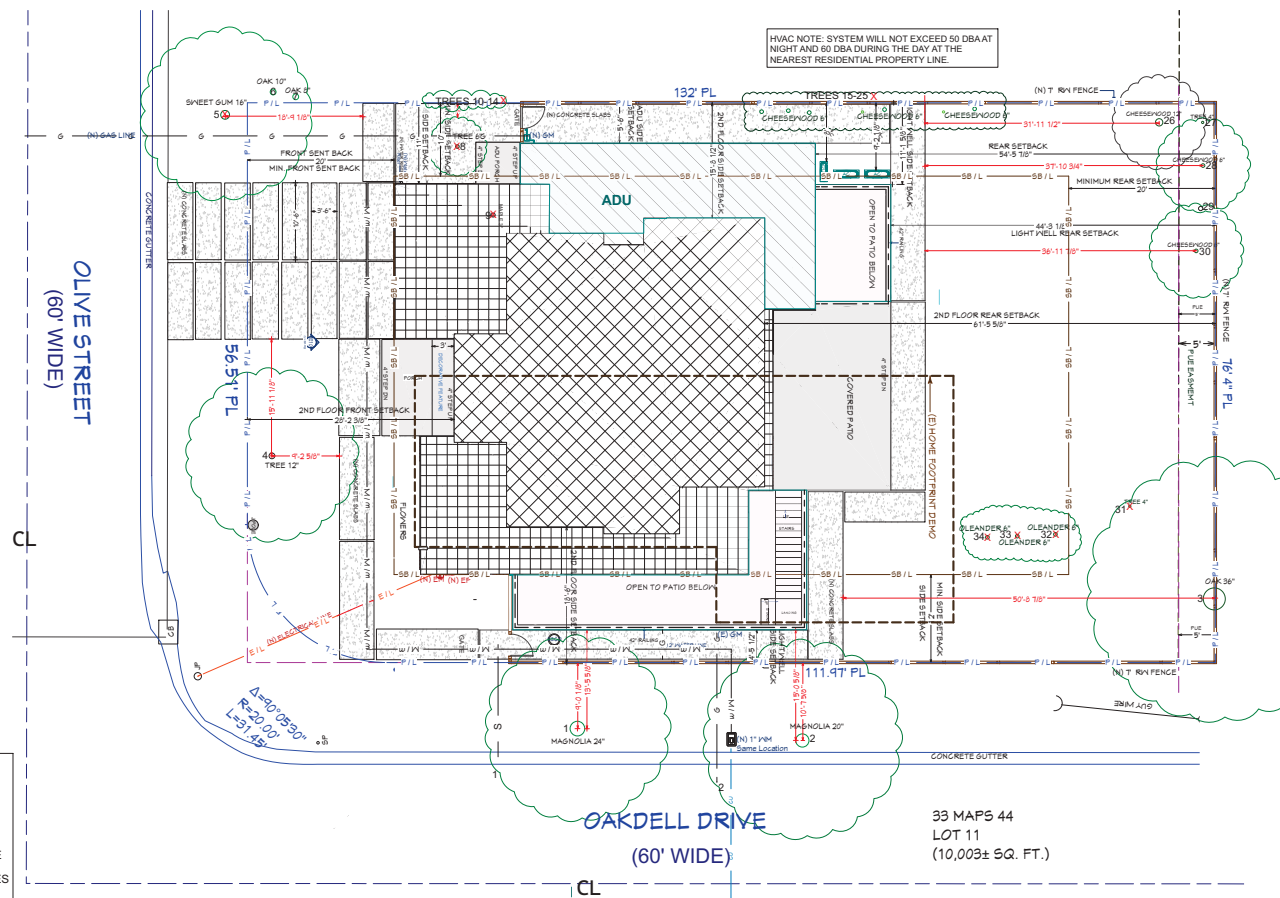
ALL GRADES TO REMAIN NATURAL

SITE PLAN LEGEND

S — S — = SEWER LINE
— w / w — = WATER LINE
— GAS — GAS — = GAS LINE
P / L — P / L — = PROPERTY LINE
— SB / L — = SET BACK LINE
— E / L — = ELECTRIC WIRES

X = TREE TO BE REMOVED

— = CONCRETE SLABS
— = 1ST FLOOR
— = ADU
— = 2ND FLOOR



33 MAPS 44
LOT 11
(10,003± SQ. FT.)

1/8" SCALE

DESIGNER:
APRIMO HOME LLC
650-770-9685

DRAFTSMAN:
STEWART DESIGN
19980 GIST ROAD,
LOS GATOS, CA 95033
RICK GOULD 650-520-9215

ON THIS PAGE OF LAYOUT:
PROPOSED SITE PLAN

SCALE:
1/8" = 1'

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A3

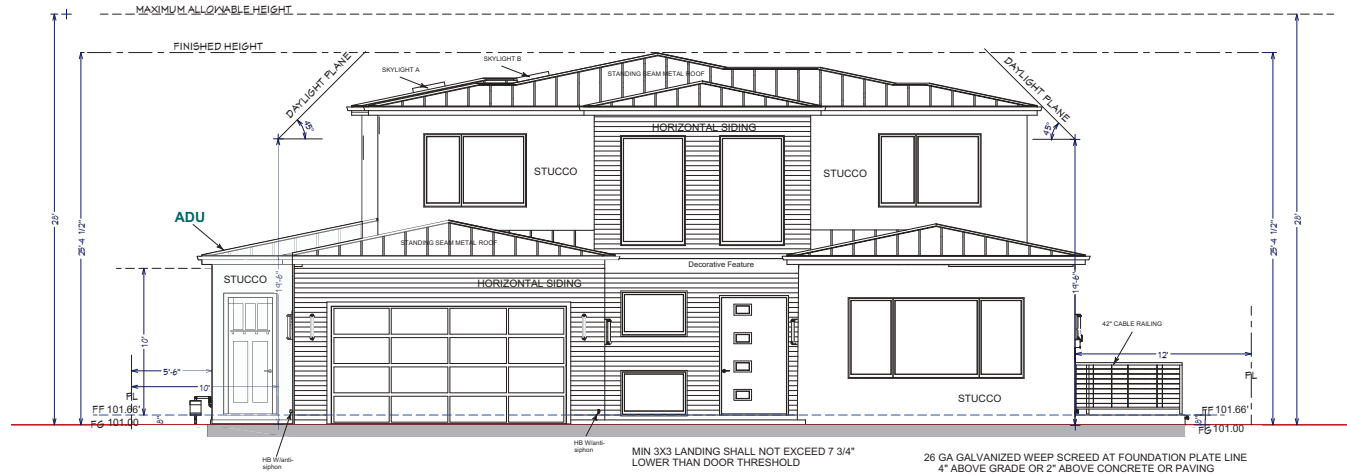
650-770-9685
aprimo@outlook.com

OWNER NAME: APRIMO HOME LLC
1401 21ST ST (STE 6103)
SACRAMENTO, CA 95811

071-180-670
1611 OAKDELL DRIVE, MENLO PARK, CA 94025

REVISION
4-22-25

BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES (102 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 1/2 INCH (12.7 MM), WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE.



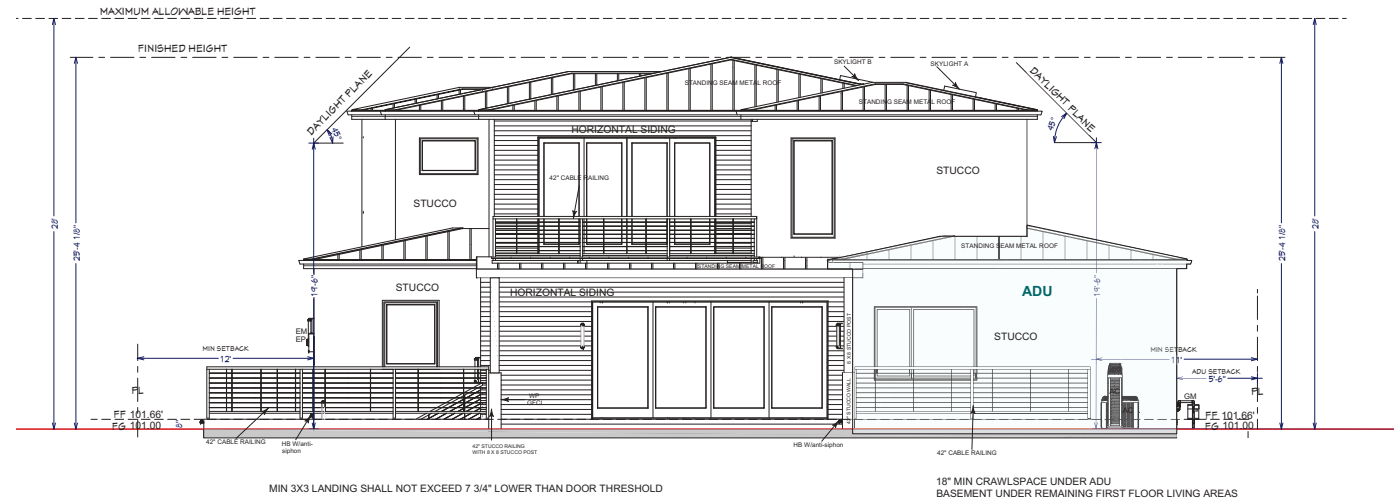
FRONT ELEVATION (NORTH)

FOR EXTERIOR TRIM DETAILS, SEE SHEET A10

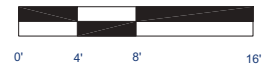
UNDER STUCCO REQUIREMENT - 2 LAYERS OF GRADE D PAPER OVER WOOD-BASED SHEATHING

EXTERIOR WATERPROOF BARRIER PAPER LAYER SHALL BE INSTALLED INDEPENDENTLY SUCH THAT EACH LAYER PROVIDES A SEPARATE CONTINUOUS PLANE AND ANY FLASHING (INSTALLED IN ACCORDANCE WITH SECTION 1-405.4) INTENDED TO DRAIN TO THE WATER RESISTANT BARRIER IS DIRECTED BETWEEN THE LAYERS.

UNDERFLOOR VENTS SHALL BE LOCATED WITH IT 3 FEET OF EACH CORNER OF THE BUILDING. (FOUNDATION VENT SHALL BE FULLY COVERED WITH METAL WIRE MESH OR NONCOMBUSTIBLE MATERIALS WITH A MINIMUM OF 1/16" HAD SHALL NOT EXCEED 1/8" OPENINGS.



REAR ELEVATION (WEST)



DESIGNER:
APRIMO HOME LLC
650-770-9685

DRAFTSMAN:
STEWART DESIGN
19980 GIST ROAD,
LOS GATOS, CA 95033
RICK GOULD 650-520-9215

ON THIS PAGE OF LAYOUT:
FRONT AND REAR EXTERIOR ELEVATIONS W/DAYLIGHT PLANE DATA

SCALE:
1/4" = 1'

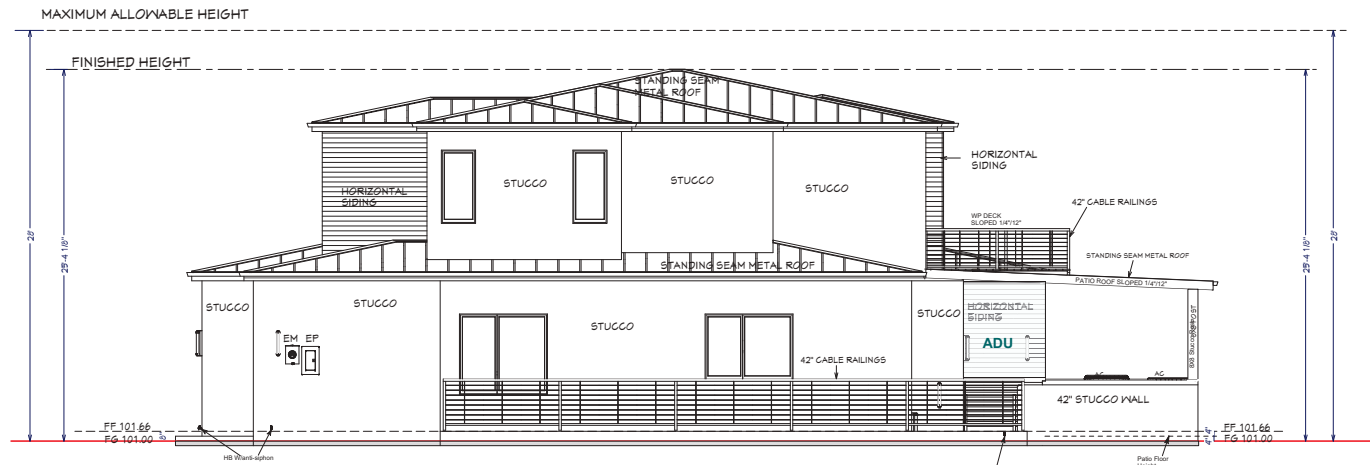
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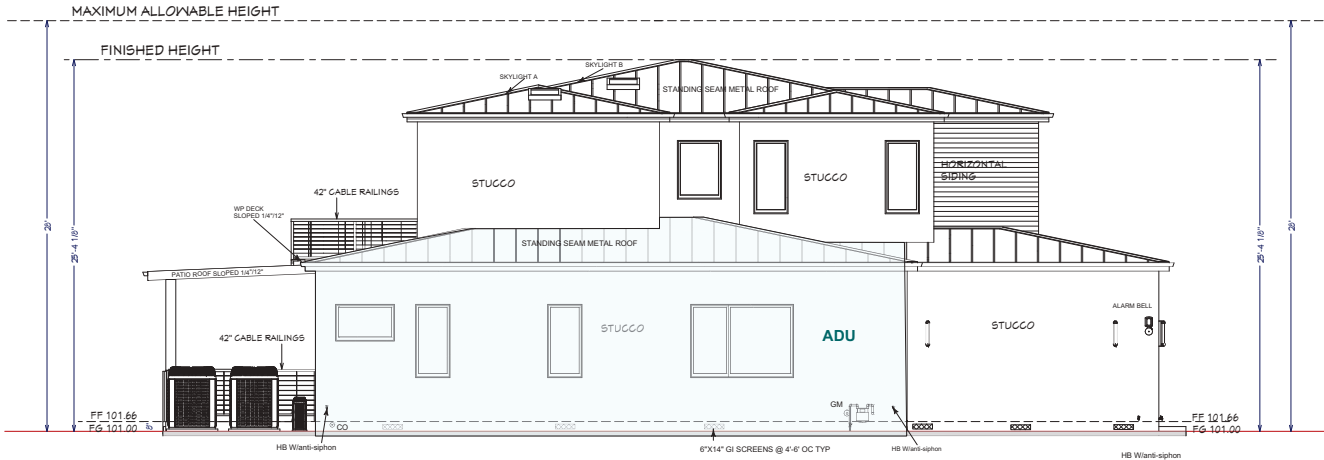
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650-770-9685
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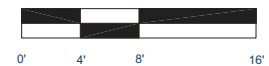
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SACRAMENTO, CA 95811



RIGHT SIDE ELEVATION (EAST)



LEFT SIDE ELEVATION (WEST)



FOR EXTERIOR TRIM DETAILS, SEE SHEET A10

DESIGNER:
APRIMO HOME LLC
650-770-9685

DRAFTSMAN:
STEWART DESIGN
19980 GIST ROAD,
LOS GATOS, CA 95033
RICK GOULD 650-520-9215

ON THIS PAGE OF LAYOUT:
LEFT AND RIGHT EXTERIOR ELEVATIONS

SCALE:
1/4" = 1'

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A11

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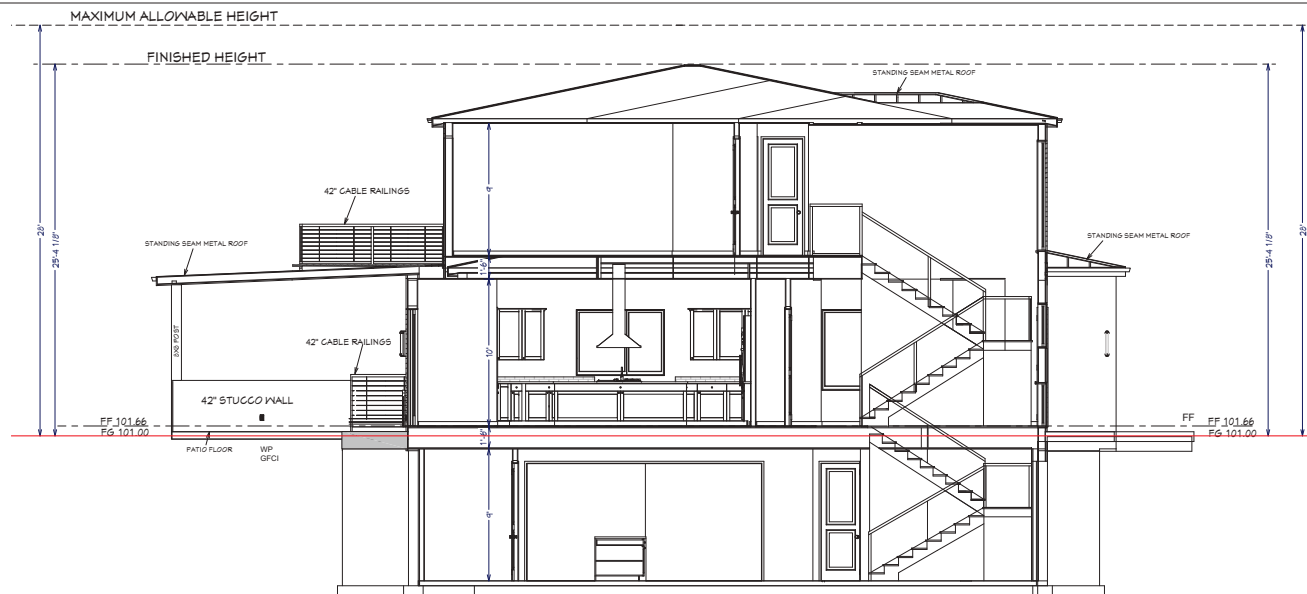
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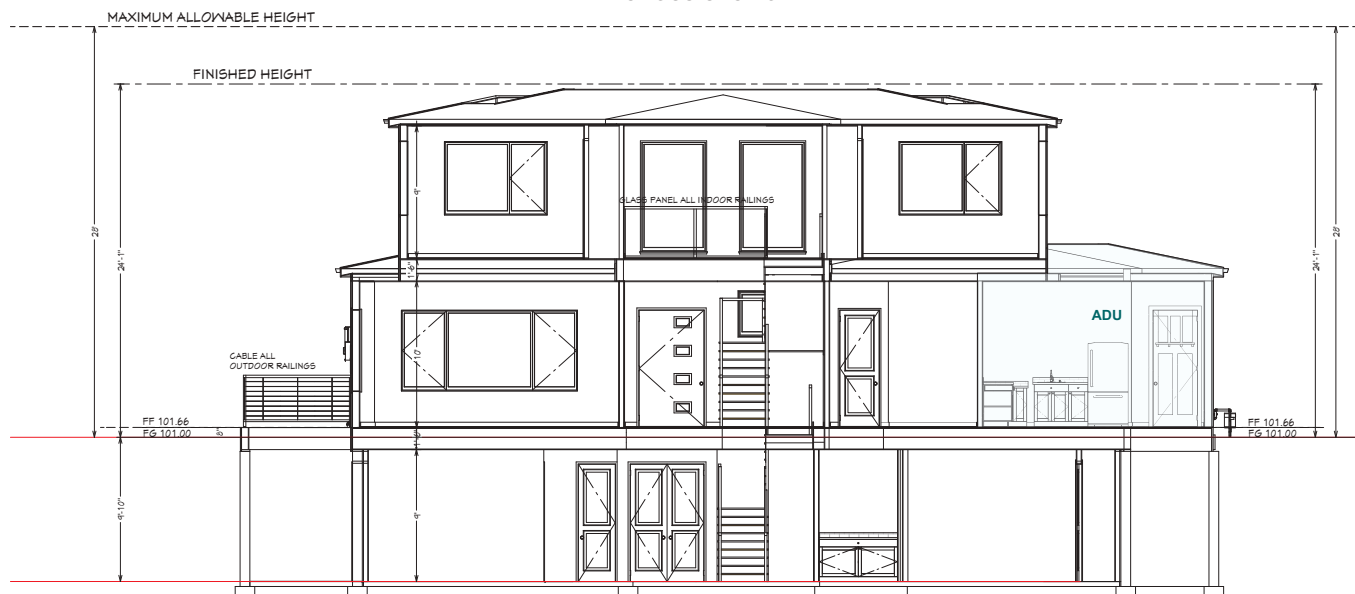
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SACRAMENTO, CA 95811

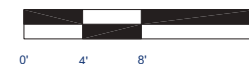
12
PITCH 2.5



CROSS-SECTION AA



CROSS-SECTION BB



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19980 GIST ROAD,
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ON THIS PAGE OF LAYOUT:
BUILDING SECTIONS

SCALE:
1/4" = 1'

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A12

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JOB ADDRESS:
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METAL ROOF



WINDOW



ADU FRONT DOOR



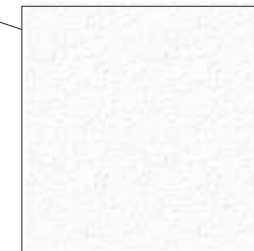
GARAGE DOOR



HORIZONTAL SIDING



FRONT DOOR



STUCCO



LIGHT WELL RAILING



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ON THIS PAGE OF LAYOUT:
MATERIAL BOARD

SCALE:
NS

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FRONT RENDERING



REAR RENDERING



LEFT RENDERING



RIGHT RENDERING

ON THIS PAGE OF LAYOUT:
PERSPECTIVE RENDERINGS

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650-770-9685

DRAFTSMAN:
STEWART DESIGN
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RICK GOULD 650-520-9215

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NS

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