



Young & Borlik Architects

4962 El Camino Real, Suite 218
Los Altos, California 94022

650-688-1950 | YBarchitects.com

April 20, 2023

Planning Department
City of Menlo Park, Planning Division
701 Laurel St.
Menlo Park, CA 94025

Re: Conditional Use Permit – Project description letter for:
Claire and Michael Binder
1664 Oak Ave
Menlo Park, CA 94025

The purpose of this letter is to describe the proposed addition and remodel project at 1664 Oak Ave. to accompany our submittal of plans and documents for the Use Permit approval. The project includes a conversion of a portion of the existing 2,872.8 SF one story home into an interior ADU, minor first floor addition of 39.5 SF, interior first floor remodel of 1,304.3 SF, and second floor addition of 1,345.2 sf. The total proposed residence will be 3,319.1 SF with a 881.0 SF interior ADU (only 800 SF permitted to exceed FAR and lot coverage maximum).

The parcel is 10,015 SF and the zoning is R1S. Based on lot dimensions, the parcel is considered substandard for the district. The lot width of 68' is less than the 80' lot width minimum.

The existing one-story structure is non-conforming at the setbacks. The front setback is 19'-9 ½" (20' min. req.). The existing rear setback was 19'-10 ½" (20' min. req.). The existing left side setback was 9'-10" (10' min. req.). The right side setback is 9'-9 ½" (10' min. req.). With the conversion of a portion of the house into an interior ADU, the project will no longer be non-conforming at the rear and left side setbacks, resolving existing non-conformities. At the right side garage non-conforming setback, no work will be performed.

The existing home is traditional one-story "Ranch-Style", as is typical of most of the original homes in the neighborhood and in Menlo Park. The proposed design incorporates a modern transitional aesthetic with hipped roofs to match the existing single-story portions. The entry has hierarchy and balance centered between massing at the front for the new stairwell and master bath gable features. The second story addition and entrance will follow the existing 45-degree angle of the home to continue a softened street view.

We are proposing that the existing wood siding be removed and replaced with new 6" siding. The two balanced vertical protrusions will be clad in stone. All other second floor exterior walls will be smooth finish stucco. We are proposing composition asphalt shingles for the new portions of roof to match

Re: Conditional Use Permit Project Description Letter
April 20, 2023

existing. All new windows will be aluminum clad with wood trim, predominantly casements. Trim, casing, and moldings will be painted.

The second floor addition is stacked on top of the portion of the first floor to be remodeled at 45 degrees and sits within the daylight plane.

The surrounding neighborhood is all single-family dwellings. The immediate vicinity has a mix of one- and two-story homes. Most residences have front-facing two car garages with a double wide driveway connecting to the street for additional off-street parking.

There are 5 heritage trees on the property, two magnolia trees, two birches, and a liquidambar to remain protected during construction.

As part of the outreach efforts for this project, the owners have reached out to the adjacent neighbors to the side and rear, as well as a few others, to provide awareness of the proposed improvements and to solicit feedback and support. The owners are meeting with several of their immediate neighbors to review and discuss their projects.

Thank you for your time in review of this project. We are proud to present this design for your consideration and look forward to the opportunity to see this new design compliment the neighborhood. If you have any questions or need further clarification, please contact me directly at the above contact information.

Sincerely,

A handwritten signature in blue ink that reads "Jackie Terrell". The signature is written in a cursive, flowing style.

Jackie Terrell
Young and Borlik Architects Inc.

BINDER RESIDENCE

MENLO PARK, CALIFORNIA



PROPOSED FRONT ELEVATION

2

SCOPE:
 INTERIOR ATTACHED ADU CONVERSION (881.0 SF) AND FIRST FLOOR REMODEL (1489.9 SF) & ADDITION (46.3 SF) AND NEW SECOND STORY ADDITION (1345.2 SF) TO EXISTING SINGLE STORY 2872.8 SF HOME

APN#: 711 - 80 - 050
OWNER: CLAIRE & MICHAEL BINDER

PROJECT ADDRESS: 1664 OAK AVENUE, MENLO PARK, CA 94025

BUILDING OCCUPANCY: R-3/ U
TYPE OF CONSTRUCTION: V-B
ZONING: R-15
LOT SIZE: 10,915 sf
FLOOD ZONE: X
STORIES: 2
ACCESSORY STRUCTURE: NO
FIRE SPRINKLERS: NO

ALLOWABLE LOT COVERAGE: 3,505.25 sf (35% of lot)
ALLOWABLE F.A.L.: 3,583.75 sf (2,800 + 25% (LOT AREA - 7,000))
ALLOWABLE SECOND FLOOR F.A.L.: 1,776.87 sf (50% of max F.A.L.)

FRONT SETBACK: 20'
SIDE SETBACK: 10'
REAR SETBACK: 20'
HEIGHT LIMIT: 28'

AREA CALCULATION:
EXISTING FIRST FLOOR AREA: 2,358.7 SF
EXISTING GARAGE (UNCONDITIONED): 514.1 SF
TOTAL EXISTING FIRST FLOOR AREA: 2,872.8 SF
TOTAL EXISTING LOT COVERAGE: 2,892.2 SF

PROPOSED CONVERSION TO ADU: 881.0 SF
PROPOSED FIRST FLOOR AREA: 1,459.9 SF
PROPOSED SECOND FLOOR AREA: 1,345.2 SF
PROPOSED GARAGE (UNCONDITIONED): 514.1 SF
PROPOSED COVERED PORCHES: 437.7 SF

TOTAL PROPOSED FLOOR AREA: 4,200.1 SF < 4,383 SF FLOOR AREA LIMIT
TOTAL PROPOSED LOT COVERAGE: 3,267.6 SF < 3,505.25 SF MAX BUILDING COV.

SEE SHEET A0.6 FOR DETAILED AREA CALCULATIONS



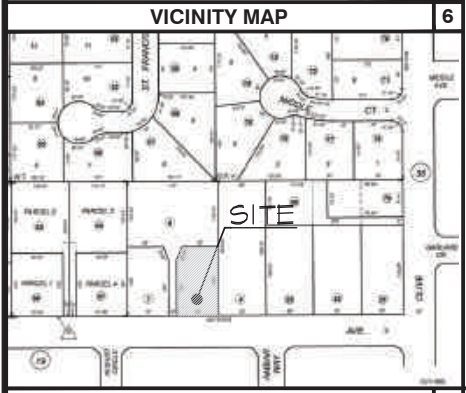
SITE

ARCHITECT
 YOUNG AND BORLIK ARCHITECTS, INC.
 4982 EL CAMINO REAL, SUITE 218
 LOS ALTOS, CA 94022
 TEL: (650) 688-1950
 FAX: (650) 323-1112
 ATTN: JACKIE TERRELL
 jackie@ybarchitects.com

SURVEYOR & CIVIL ENGINEER
 NWR ENGINEERING
 535 WEYBRIDGE DR
 SAN JOSE, CA 95123
 TEL: (408) 348-7813
 FAX: (408) 225-3967
 ATTN: NADIM RAFFOUL
 nrengineering@yahoo.com

ARBORIST
 URBAN TREE MANAGEMENT INC.
 PO BOX 971
 LOS GATOS CA 95031
 (650) 321-0202
 ATTN: MICHAEL YOUNG
 michael@urbantree.com

ARCHITECTURAL	SURVEY
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VICINITY MAP

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PROJECT DESIGN DATA:
 2022 CALIFORNIA BUILDING CODE - VOL. 1&2
 2022 CALIFORNIA RESIDENTIAL CODE
 2022 CALIFORNIA MECHANICAL CODE
 2022 CALIFORNIA PLUMBING CODE
 2022 CALIFORNIA ELECTRIC CODE
 2022 CALIFORNIA FIRE CODE
 2022 CALIFORNIA GREEN BUILDING CODE (CalGreen)
 2022 CALIFORNIA ENERGY CODE
 2022 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS
 ALONG WITH ALL OTHER LOCAL AND STATE LAWS AND REGULATIONS.

THE DOCUMENTS PREPARED BY THESE CONSULTANTS ARE AN INTEGRAL PART OF THE ARCHITECTURAL CONSTRUCTION DOCUMENTS AND SHALL BE INCORPORATED INTO THIS SET BY REFERENCE, I.E. SOILS REPORT, TITLE 24, STRUCTURAL CALCULATIONS, ETC. THE MOST STRINGENT REQUIREMENTS SHALL BE FOLLOWED. THE CONTRACTOR SHALL OBTAIN CURRENT COPIES OF ALL DOCUMENTS, READ, UNDERSTAND AND CONFIRM ANY CONFLICTS OR DISCREPANCIES OR QUESTIONS WITH APPROPRIATE CONSULTANTS.

PARCEL MAP

5

CONSULTANTS

4

SHEET INDEX

3

PROJECT SUMMARY

1

PRELIMINARY.
 NOT YET APPROVED
 FOR CONSTRUCTION

ISSUE LOG

CIP SUBMITTAL
 APR. 24, 2023

Young & Borlik Architects
 4982 EL CAMINO REAL, SUITE 218
 LOS ALTOS, CA 94022
 (650) 688-1950

ARBORIST
 URBAN TREE MANAGEMENT INC.
 PO BOX 971
 LOS GATOS CA 95031
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ARCHITECT
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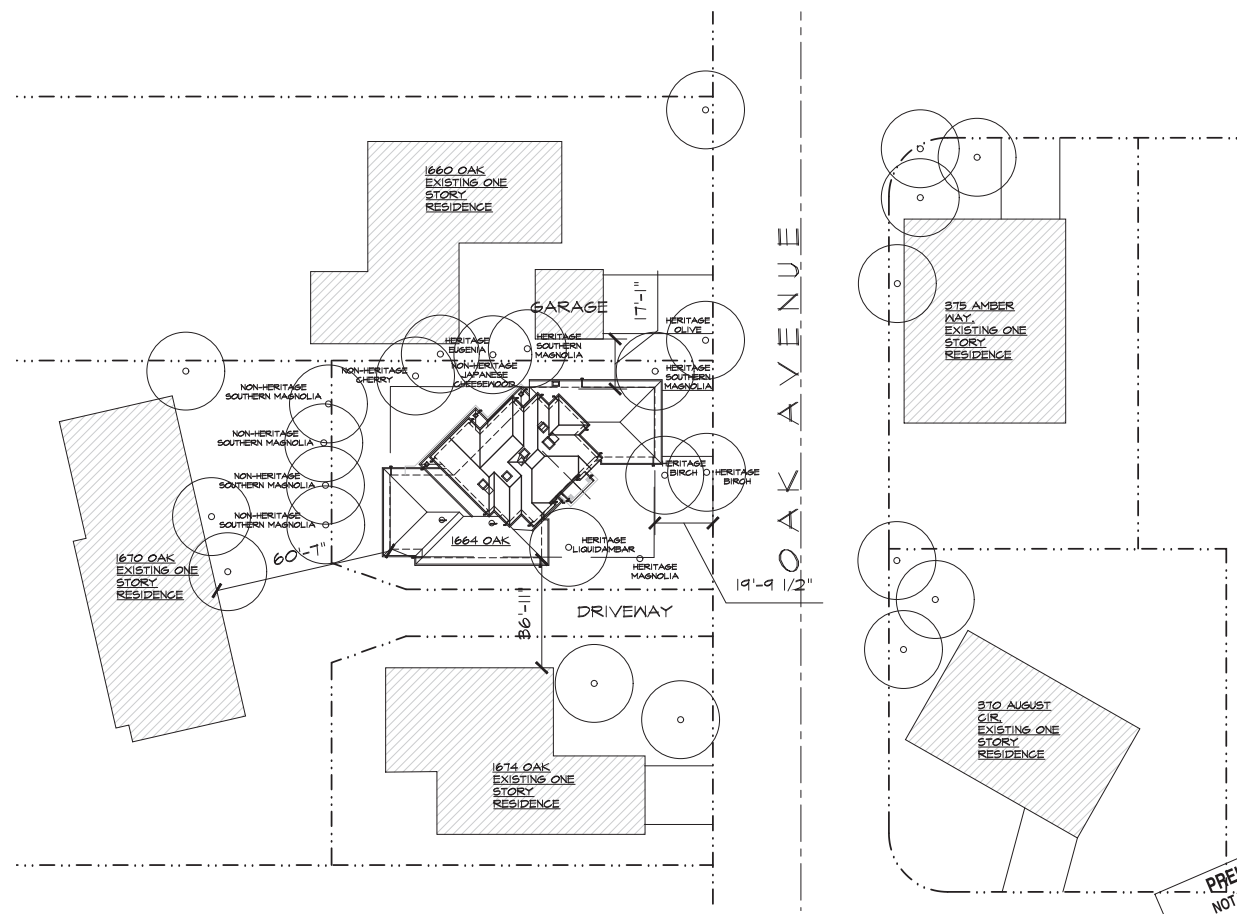
APN: 711-80-050
 CHECKED: JT DRAWN: MC, HL, JL
 DATE: APR. 22, 2023
 JOB #: BINDER

A0.1



STREETSCAPE ELEVATIONS

1/8" = 1'-0" **2**



AREA PLAN

1" = 20'-0" **1**

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ISSUE LOG

CLIP SUBMITTAL	APR. 24, 2023



Young & Borlik Architects
 1001 E. CORNING BLVD. STE. 200
 MENLO PARK, CA 94025
 650.441.2800 | THEARCHITECTS.COM



REMODEL/ADDITION FOR:
CLAIRE AND MICHAEL BINDER
 1664 OAK AVENUE
 MENLO PARK, CA 94025

A.P.N. 711-80-050	
CHECKED BY	DATE
JT	APR. 12, 2023
DESIGNED BY	PROJECT NO.
MC, HL, JL	
FILE #	BINDER

A0.3.1

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TREE PROTECTION NOTES:
 PROTECTIVE FENCING IS REQUIRED TO BE PROVIDED DURING THE CONSTRUCTION PERIOD TO PROTECT TREES TO BE PRESERVED. THIS FENCING MUST PROTECT A SUFFICIENT PORTION OF THE ROOT ZONE TO BE EFFECTIVE. FENCING IS RECOMMENDED TO BE LOCATED EIGHT TO TEN (8X TO 10X) TIMES THE DIAMETER AT BREAST HEIGHT (DBH) IN ALL DIRECTIONS FROM THE TREE. DBH FOR EACH TREE IS SHOWN IN THE DATA TABLE IN THE ARBORIST'S REPORT. THE MINIMUM RECOMMENDATION FOR TREE PROTECTION FENCING LOCATION IS SIX (6X) TIMES THE DBH, WHERE A LARGER DISTANCE IS NOT POSSIBLE. THERE ARE AREAS WHERE WE WILL AMEND THIS DISTANCE BASED UPON TREE CONDITION AND PROPOSED CONSTRUCTION. IN MY EXPERIENCE, THE PROTECTIVE FENCING MUST:

- CONSIST OF CHAIN LINK FENCING AND HAVE A MINIMUM HEIGHT OF 6 FEET.
- BE MOUNTED ON STEEL POSTS DRIVEN APPROXIMATELY 2 FEET INTO THE SOIL.
- FENCING POSTS MUST BE LOCATED A MAXIMUM OF 10 FEET ON CENTER.
- PROTECTIVE FENCING MUST BE INSTALLED PRIOR TO THE ARRIVAL OF MATERIALS, VEHICLES, OR EQUIPMENT.
- PROTECTIVE FENCING MUST NOT BE MOVED, EVEN TEMPORARILY, AND MUST REMAIN IN PLACE UNTIL ALL CONSTRUCTION IS COMPLETED, UNLESS APPROVED BY A CERTIFIED ARBORIST.
- TREE PROTECTION SIGNAGE SHALL BE MOUNTED TO ALL INDIVIDUAL TREE PROTECTION FENCES.

BASED ON THE EXISTING DEVELOPMENT AND THE CONDITION AND LOCATION OF TREES PRESENT ON SITE, THE FOLLOWING IS RECOMMENDED:

- THE PROJECT ARBORIST IS MICHAEL YOUNG (650) 521-0322. THE PROJECT ARBORIST SHOULD SUPERVISE ANY EXCAVATION ACTIVITIES WITHIN THE TREE PROTECTION ZONES OF THESE TREES.
- ANY ROOTS EXPOSED DURING CONSTRUCTION ACTIVITIES THAT ARE LARGER THAN 2 INCHES IN DIAMETER SHOULD NOT BE CUT OR DAMAGED UNTIL THE PROJECT ARBORIST HAS AN OPPORTUNITY TO ASSESS THE IMPACT THAT REMOVING THESE ROOTS COULD HAVE ON THE TREES.
- THE AREA UNDER THE DRIFLINES OF TREES SHOULD BE THOROUGHLY IRRIGATED TO A SOIL DEPTH OF 18" EVERY 2 WEEKS DURING THE FIRST MONTHS.
- MULCH SHOULD COVER ALL BARE SOILS WITHIN THE TREE PROTECTION FENCING. THIS MATERIAL MUST BE 6-8 INCHES IN DEPTH AFTER SPREADING, WHICH MUST BE DONE BY HAND. COARSE WOOD CHIPS ARE PREFERRED BECAUSE THEY ARE ORGANIC AND DEGRADE NATURALLY OVER TIME.

- THERE MUST BE NO GRADING, TRENCHING, OR SURFACE SCARPING INSIDE THE DRIFLINES OF PROTECTED TREES, UNLESS SPECIFICALLY APPROVED BY A CERTIFIED ARBORIST. FOR TRENCHING, THIS MEANS:
 - TRENCHES FOR ANY UNDERGROUND UTILITIES (GAS, ELECTRICITY, WATER, PHONE, TV, CABLE, ETC.) MUST BE LOCATED OUTSIDE THE DRIFLINES OF PROTECTED TREES, UNLESS APPROVED BY A CERTIFIED ARBORIST. ALTERNATIVE METHODS OF INSTALLATION MAY BE SUGGESTED.
 - LANDSCAPE IRRIGATION TRENCHES MUST BE LOCATED A MINIMUM DISTANCE OF TEN (10X) TIMES THE TRUNK DIAMETER FROM THE TRUNKS OF PROTECTED TREES UNLESS OTHERWISE NOTED AND APPROVED BY THE ARBORIST.
- MATERIALS MUST NOT BE STORED, STOCKPILED, DUMPED, OR BURIED INSIDE

THE DRIFLINES OF PROTECTED TREES DURING ANY TIME DURING DEMOLITION OR CONSTRUCTION ACTIVITIES.

- EXCAVATED SOIL MUST NOT BE FILLED OR DUMPED, EVEN TEMPORARILY, INSIDE THE DRIFLINES OF PROTECTED TREES.
- LANDSCAPE MATERIALS (COBBLES, DECORATIVE BARK, STONES, FENCING, ETC.) MUST NOT BE INSTALLED DIRECTLY IN CONTACT WITH THE BARK OF TREES BECAUSE OF THE RISK OF SERIOUS DISEASE INFECTION. LANDSCAPE PATHWAYS OR OTHER AMENITIES (IF ANY) CONSTRUCTED UNDER TREE CANOPIES MUST BE COMPLETELY ON GRADE WITHOUT EXCAVATION.
- LANDSCAPE IRRIGATION SYSTEMS MUST BE DESIGNED TO AVOID WATER STRIKING THE TRUNKS OF TREES, ESPECIALLY OAK TREES.
- ANY PRUNING MUST BE DONE BY A

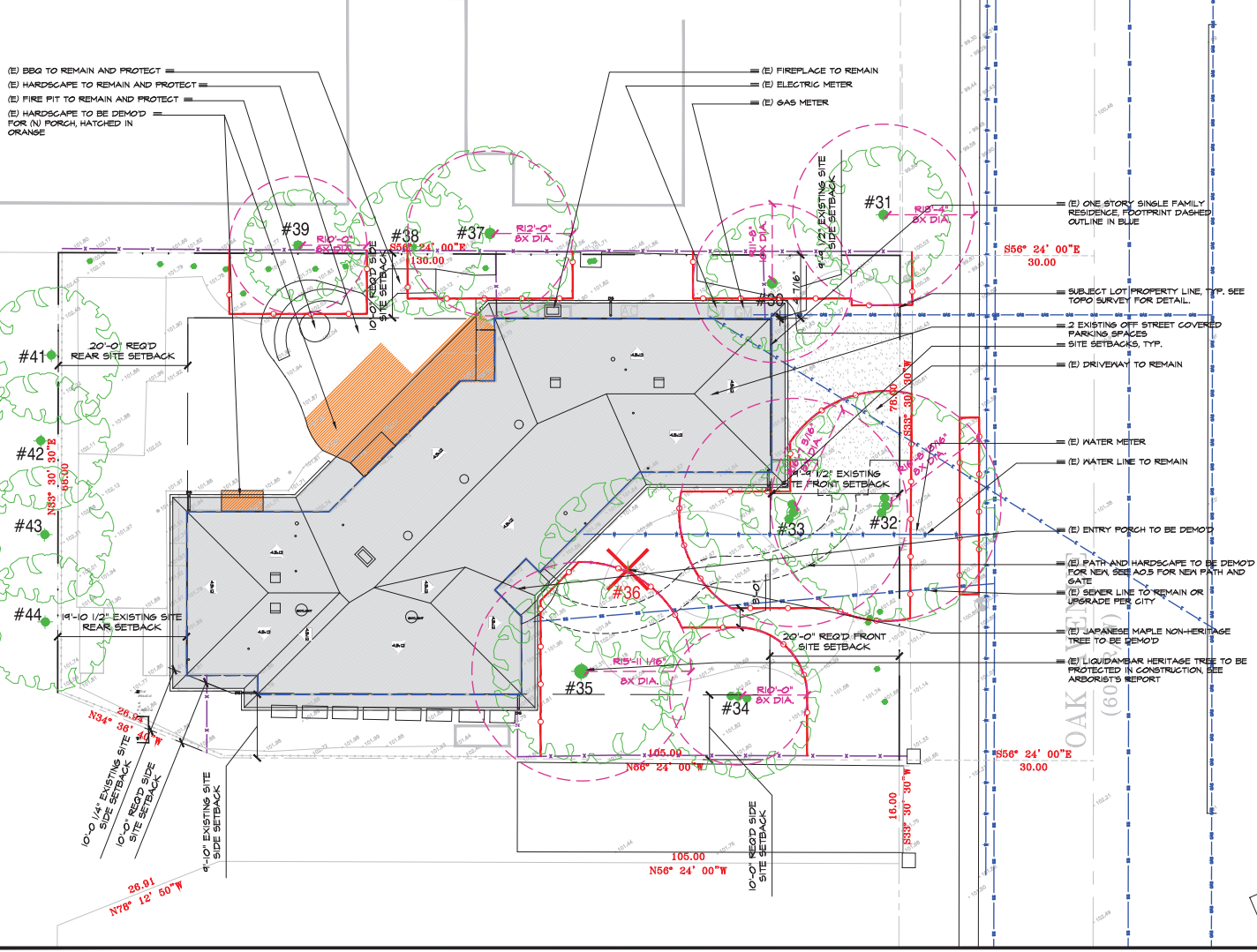
COMPANY WITH AN ARBORIST CERTIFIED BY THE ISA (INTERNATIONAL SOCIETY OF ARBORICULTURE) AND ACCORDING TO ISA, WESTERN CHAPTER STANDARDS, 1998. ANY PLANTS THAT ARE PLANTED INSIDE THE DRIFLINES OF OAK TREES MUST BE OF SPECIES THAT ARE COMPATIBLE WITH THE ENVIRONMENTAL AND CULTURAL REQUIREMENTS OF OAK TREES. PLANTS COMPATIBLE WITH CALIFORNIA NATIVE OAKS CAN BE FOUND IN THE CALIFORNIA OAK FOUNDATIONS 1941 PUBLICATION. SCOMPATIBLE PLANTS UNDER 4' AROUND OAKS. THIS PUBLICATION DETAILS PLANTS COMPATIBLE WITH CALIFORNIA NATIVE OAKS AND IS CURRENTLY AVAILABLE ONLINE AT: <http://californiaoaks.org/wpcontent/uploads/2016/04/compatibletoplantsunderArundoOaks.pdf>

LEGEND:

- (E) HOUSE FOOT PRINT PRINTED IN BLUE
- (N) HOUSE FOOT PRINT PRINTED IN PINK
- TREE PROTECTIVE FENCE
- ### NUMBERED TREE TO REMAIN
- ###X NUMBERED TREE TO BE REMOVED

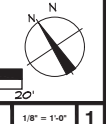
- (E) BEG TO REMAIN AND PROTECT
- (E) HARDSCAPE TO REMAIN AND PROTECT
- (E) FIRE PIT TO REMAIN AND PROTECT
- (E) HARDSCAPE TO BE DEMO'D FOR (N) PORCH, HATCHED IN ORANGE

- (E) FIREPLACE TO REMAIN
- (E) ELECTRIC METER
- (E) GAS METER



**PRELIMINARY.
 NOT YET APPROVED
 FOR CONSTRUCTION**

EXISTING SITE PLAN



ISSUE LOG

CIP SUBMITTAL	APR. 24, 2023

Young & Borlik Architects
 480 E. LOANHEAD BLVD, STE 210
 REDDING, CA 96001 | TEL: 530-241-1111

REMODEL/ADDITION FOR:
CLAIRE AND MICHAEL BINDER
 1664 OAK AVENUE
 MENLO PARK, CA 94025

AP.N. 711-80-050
 CHECKED BY: JT DRAWN BY: MC, HL, JL
 DATE: APR. 12, 2023
 JOB #: BINDER

A0.4

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TREE PROTECTION NOTES:

IT IS UNLAWFUL FOR ANY PERSON TO DAMAGE OR HARM A HERITAGE TREE BY ANY MEANS WHATSOEVER, INCLUDING WITHOUT LIMITATION, VEHICLES, MACHINERY OR BUILDING SUPPLIES OR MATERIAL (INCLUDING FLUIDS) DURING ANY CONSTRUCTION OR RENOVATION OF STRUCTURES ON THE PARCEL.

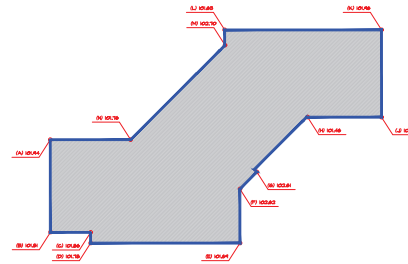
TRENCHES SHALL BE OUTSIDE THE DRIP LINES OF THE TREES IN ORDER TO MINIMIZE NEGATIVE IMPACTS. ANY TRENCHING WITHIN A DISTANCE 5X THE DIAMETER OF THE TREE SHALL BE HAND EXCAVATED, AND ANY ROOTS ENCOUNTERED SHALL BE REVIEWED ON SITE BY THE PROJECT ARBORIST.

NO STORING OF MATERIALS, SOIL, VEHICLES OR DEBRIS WITHIN THE TREE DRIP LINES SHALL BE PERMITTED DURING ANY TIME DURING DEMOLITION OR CONSTRUCTION ACTIVITIES.

LANDSCAPE MATERIALS (GOBBLE, DECORATIVE BARK, STONES, FENCINGS, ETC.) MUST NOT BE INSTALLED DIRECTLY IN CONTACT WITH THE BARK OF TREES TO PREVENT RISK OF SERIOUS DISEASE OF INFECTION. LANDSCAPE PATHWAYS OR OTHER AMENITIES (IF ANY) CONSTRUCTED UNDER TREE CANOPIES MUST BE COMPLETELY ON GRADE WITHOUT EXCAVATION, STRUCTURES ON THE PARCEL.

SEE ADDITIONAL TREE PROTECTION NOTES FROM ARBORIST ON SHEET A0.1.

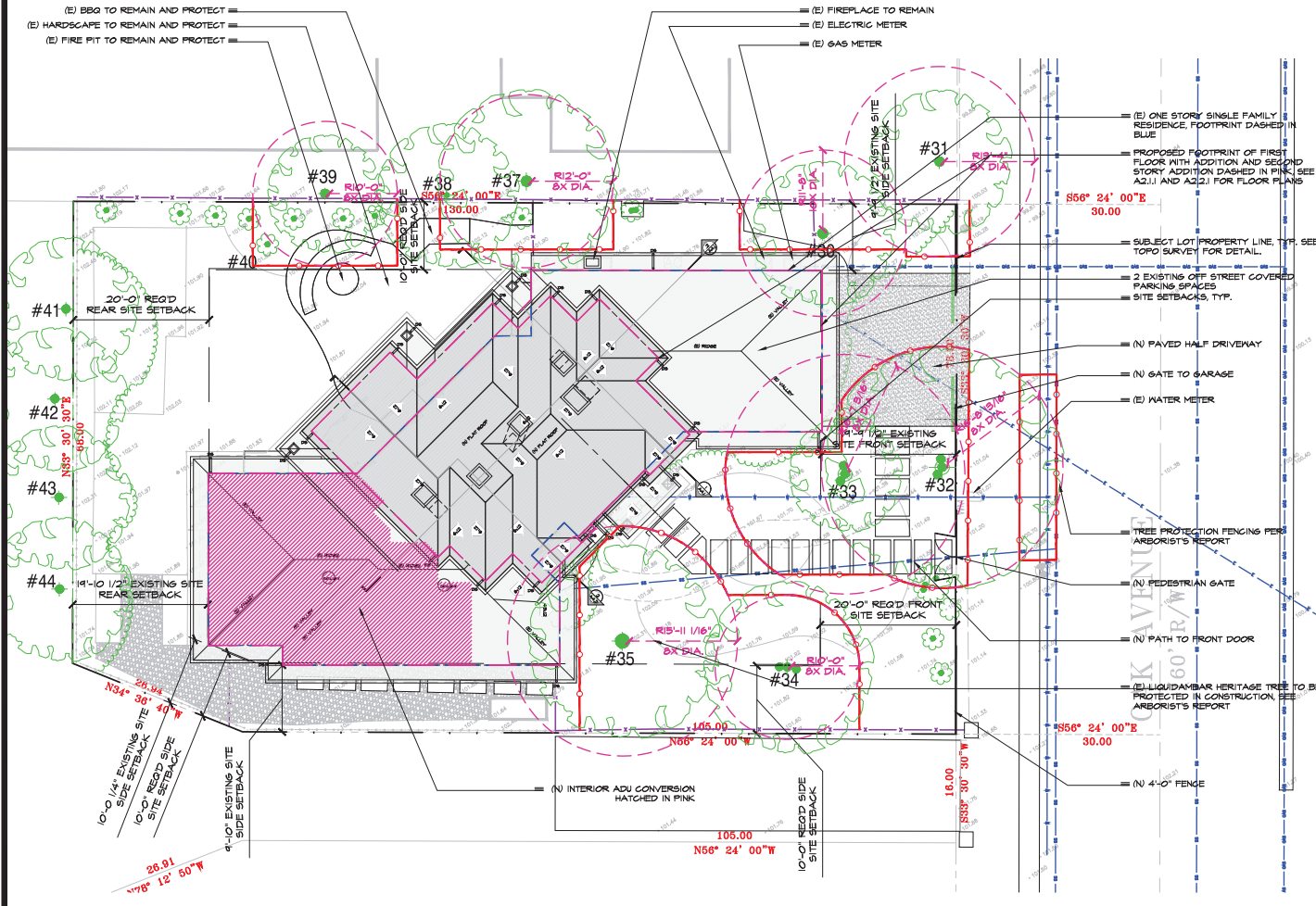
AVERAGE NATURAL GRADE: 101.9	
A	101.94
B	101.81
C	101.86
D	101.78
E	101.69
F	102.62
G	102.61
H	101.48
J	101.31
K	101.96
L	101.63
M	102.70
N	101.76



LEGEND:

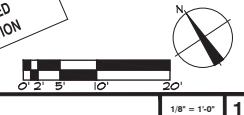
- (E) HOUSE FOOTPRINT PRINTED IN BLUE
- (N) HOUSE FOOTPRINT PRINTED IN PINK
- TREE PROTECTIVE FENCE
- ##XX ● NUMBERED TREE TO REMAIN

SITE ANALYSIS	
ZONING:	R-1-S
APN#:	711-80-060
LOT SIZE:	10,015 SF
ALLOWABLE F.A.L: (2,800 sf + 25% (LOT AREA - 7,000 sf) + (800 ADU CREDIT))	4,353.75 SF (3,553.75 SF + 800 SF)
ALLOWABLE SECOND FLOOR F.A.L: (50% OF F.A.L.)	1,776.87 SF
ALLOWABLE LOT COVERAGE: (35% LOT AREA)	3,505.25 SF
EXISTING FLOOR AREA & LOT COVERAGE	
EXISTING FIRST FLOOR AREA:	2,358.7 SF
EXISTING GARAGE (UNCONDITIONED):	514.1 SF
TOTAL EXISTING FLOOR AREA:	2,872.8 SF
TOTAL EXISTING LOT COVERAGE:	2,892.2 SF
PROPOSED FLOOR AREA & LOT COVERAGE	
PROPOSED CONVERSION TO ADU:	881.0 SF
PROPOSED FIRST FLOOR AREA:	1,459.9 SF
PROPOSED SECOND FLOOR AREA:	1,345.2 SF
PROPOSED GARAGE (UNCONDITIONED):	514.1 SF
PROPOSED COVERED PORCHES:	393.3 SF
TOTAL PROPOSED FLOOR AREA:	4,200.1 SF
TOTAL PROPOSED LOT COVERAGE:	3,267.6 SF (32.6%)
PARKING SPACES:	2 COVERED 20' X 10' SPACES
SEE SHEET A0.6 FOR DETAILED AREA CALCULATION	
ALL GRADES TO REMAIN NATURAL	



PROPOSED SITE PLAN

**PRELIMINARY.
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FOR CONSTRUCTION**



ISSUE LOG

DATE	DESCRIPTION
APR. 24, 2023	CIP SUBMITTAL

REMODEL/ADDITION FOR:
CLAIRE AND MICHAEL BINDER
1664 OAK AVENUE
MENLO PARK, CA 94025

APN: 711-80-050

CHECKED	DATE
JT	APR. 12, 2023

BY: BINDER

A0.5

KEYNOTES
 1. THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL NOT BE LESS THAN THE DOOR SERVED. EVERY LANDING SHALL HAVE A MINIMUM DIMENSION OF 36" MEASURED IN THE DIRECTION OF TRAVEL, WITH A MAXIMUM 1/4" PER FOOT SLOPE. LANDINGS OR FLOORS AT THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 1/2" LOWER THAN THE TOP OF THE THRESHOLD, EXCEPT WHEN PROVIDING THE DOOR DOES NOT NOT SWING OVER THE LANDINGS OR FLOOR. A 1-3/4" ELEVATION CHANGE FROM THE TOP OF THE THRESHOLD IS PERMITTED. EGRESS THERE SHALL BE 1/4" SLOPE AWAY FROM THE BUILDING AT ALL PORCHES AND FLATWORKS.

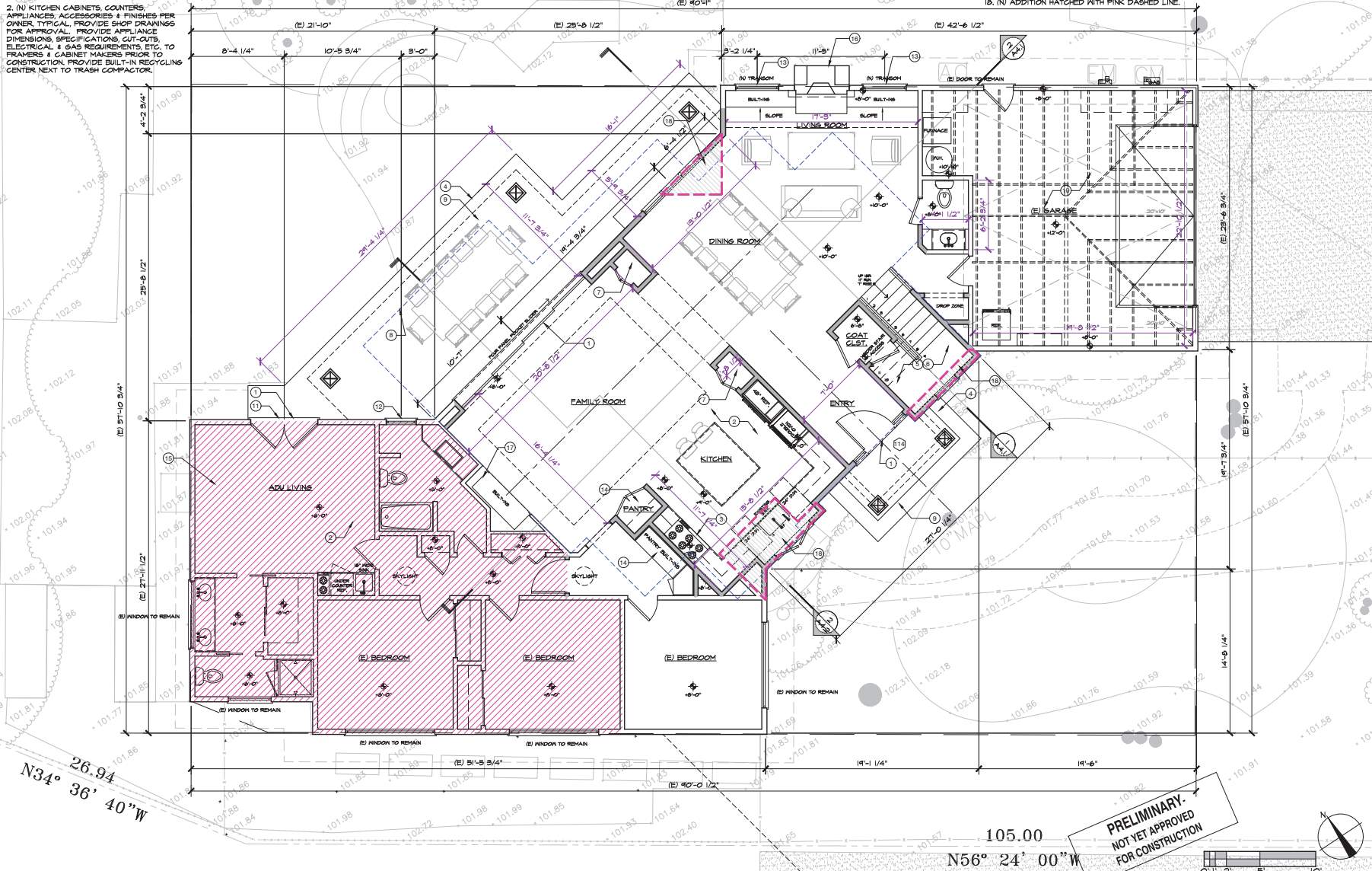
KEYNOTES (CONT.)
 3. 48" GAS RANGE AND WALL HOOD, KITCHEN EXHAUST FAN SHALL BE MIN. 100CFM, WITH A MIN. 5' SMOOTH DUCT NO LONGER THAN 85' OF FACT RUN, SUBTRACT 15' OF ALLOWABLE LENGTH FOR EACH ELBOW. PROPOSE EXHAUST DUCT TERMINATED AT WALL. PROVIDE BACKDRAFT DAMPER ON KITCHEN RANGE HOOD. CONFIRM RANGE AND HOOD CLEARANCES AND MINIMUM CFM FOR EXHAUST OF FUEL GAS FUMES IN KITCHEN.
 4. ALL FLATWORK TO SLOPE 1/4" PER 1'-0" TO DRAIN. VERIFY WITH CONTRACTOR IN FIELD.
 5. SEE STAIR NOTES ON A2.2.1.

KEYNOTES (CONT.)
 6. PROVIDE CONTINUOUS 5/8" TYPE 'X' GYP. BD FINISH UNDER STAIR, FOR ONE-HOUR FIRE SEPARATION
 7. CUSTOM BUILT-IN CABINETRY, VERIFY SHOP DRAWINGS WITH OWNER
 8. FLOOR LINE ABOVE - BLUE DASHED MEASURED TO FINISH
 9. (N) COVERED PORCH
 10. (E) GARAGE TO REMAIN, PROTECT DURING CONSTRUCTION
 11. NEW DOOR TO REPLACE EXISTING DOOR
 (E) 40'-0"

KEYNOTES (CONT.)
 12. NEW WINDOW TO REPLACE EXISTING WINDOW
 13. NEW TRANSOMS TO REPLACE EXISTING WINDOWS
 14. (N) PANTRY AND BUILT IN CABINETRY
 15. EXISTING FIRST FLOOR TO BE CONVERTED INTO INTERIOR ADU, HATCHED IN PINK
 16. EXISTING FIREPLACE TO REMAIN
 17. EXISTING FIREPLACE TO BE DEMO'D FOR BUILT-INS.
 18. (N) ADDITION HATCHED WITH PINK DASHED LINE.

KEY TO SYMBOLS:
 [Symbol] PROPOSED WALL
 [Symbol] FLOOR PLAN KEY NOTES

S56° 24' 00" E
 130.00



PROPOSED FIRST FLOOR PLAN

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 APR. 24, 2023



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 Architects**
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 MENLO PARK, CA 94025



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CLAIRE AND MICHAEL BINDER
 1664 OAK AVENUE
 MENLO PARK, CA 94025

A.P.N. 711-80-050
 CHECKED BY: JT
 DRAWN BY: MC, HL, JL
 DATE: APR. 12, 2023
 TITLE: BINDER

A2.1.1

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NEAR STAIR NOTES PER 2022 CBC R311.7
 SN-1. STAIRWAY WIDTH. STAIRWAY SERVING AN OCCUPANT LOAD OF LESS THAN 50 SHALL HAVE A WIDTH OF NOT LESS THAN 36 INCHES.

SN-2. HEADROOM. STAIRWAYS SHALL HAVE A MINIMUM HEADROOM CLEARANCE OF 80 INCHES MEASURED VERTICALLY FROM A LINE CONNECTING THE EDGE OF THE NOSINGS, SUCH HEADROOM SHALL BE CONTINUOUS ABOVE THE STAIRWAY TO THE POINT WHERE THE LINE INTERSECTS THE LANDING BELOW ONE TREAD DEPTH BEYOND THE BOTTOM RISER. THE MINIMUM CLEARANCE SHALL BE MAINTAINED THE FULL WIDTH OF THE STAIRWAY AND LANDING.

SN-3. WALKLINE. THE WALKLINE ACROSS WINDER TREADS SHALL BE CONCENTRIC TO THE DIRECTION OF TRAVEL THROUGH THE TURN AND LOCATED 12 INCHES FROM THE SIDE WHERE THE WINDERS ARE NARROWER. THE 12-INCH DIMENSION SHALL BE MEASURED FROM THE WIDEST POINT OF THE CLEAR STAIR WIDTH.

SN-4. STAIR TREADS AND RISERS. THE MAXIMUM RISER HEIGHT SHALL BE 7-3/4 INCHES; THE MINIMUM TREAD DEPTH SHALL BE 10 INCHES; THE MINIMUM WINDER TREAD DEPTH AT THE WALKLINE SHALL BE 8 INCHES. A NOSING NOT LESS THAN 3/4 INCHES BUT NOT MORE THAN 1-1/4 INCHES SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS WHERE THE TREAD DEPTH IS LESS THAN 11 INCHES. EXCEPTION 2022 CBC R311.5.5.

SN-5. DIMENSIONAL UNIFORMITY. MAINTAIN REQUIRED RISE AND RUN DIMENSIONAL UNIFORMITY NOT TO EXCEED 3/8".

SN-6. ALL TREADS & RISERS TO BE HARDWOOD OR EQUAL. VERIFY W/OWNER. STAIR DESIGN & LAYOUT BY STAIR MANUFACTURER. PROVIDE SHOP DRAWINGS FOR APPROVAL W/ARCHITECT & COMPLIANCE W/ C.R.C. IN FIELD PRIOR TO CONSTRUCTION.

SN-7. ENCLOSURE UNDER STAIRWAYS. SPACES UNDER STAIRWAYS SERVING AND CONTAINED WITHIN A SINGLE RESIDENTIAL DWELLING UNIT IN GROUP R-2 OR R-3 SHALL BE PERMITTED TO BE PROTECTED ON THE ENCLOSED SIDE WITH 1/2 INCH GYPSUM BOARD. 2019 CBC SECTION 1011.1.3. EXCEPTION: THERE SHALL BE NO ENCLOSED USABLE SPACE UNDER EXTERIOR EXIT STAIRWAYS UNLESS THE SPACE IS COMPLETELY ENCLOSED IN 1-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION. THE OPEN SPACE UNDER EXTERIOR STAIRWAYS SHALL NOT BE USED FOR ANY PURPOSE.

SN-8. HANDRAILS. STAIRWAYS WITHIN DWELLING UNITS ARE PERMITTED TO HAVE A HANDRAIL ON ONE SIDE ONLY. HANDRAIL HEIGHT, MEASURED ABOVE STAIR TREAD NOSING OR FINISH SURFACE OF RAMP SLOPE SHALL BE UNIFORM, NOT LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES. REFER TO CBC SECTION R311.7.5 FOR HANDRAIL GRASPABILITY, TYPE II & II PROFILE.

SN-9. GUARDRAILS AT OPEN-SIDED WALKING SURFACES SHALL BE NOT LESS THAN 42" IN HEIGHT WITH GUARDS SPACED SUCH THAT A 4" SPHERE CANNOT PASS THROUGH. UNLESS THE GUARDS ARE ON THE OPEN SIDES OF STAIRS OR ALSO SERVES AS A HANDRAIL, THEN THE HEIGHT SHALL NOT BE LESS THAN 34" NOR HIGHER THAN 38" AND THE GUARDS SHALL BE SPACED SUCH THAT A 4-3/8" SPHERE CANNOT PASS THROUGH (CBC R312.2 & R312.3). MUST RESIST A CONCENTRATED LOAD OF 200LB APPLIED ANY WHERE ALONG THE TOP RAILINGS, PER CBC (607.8).

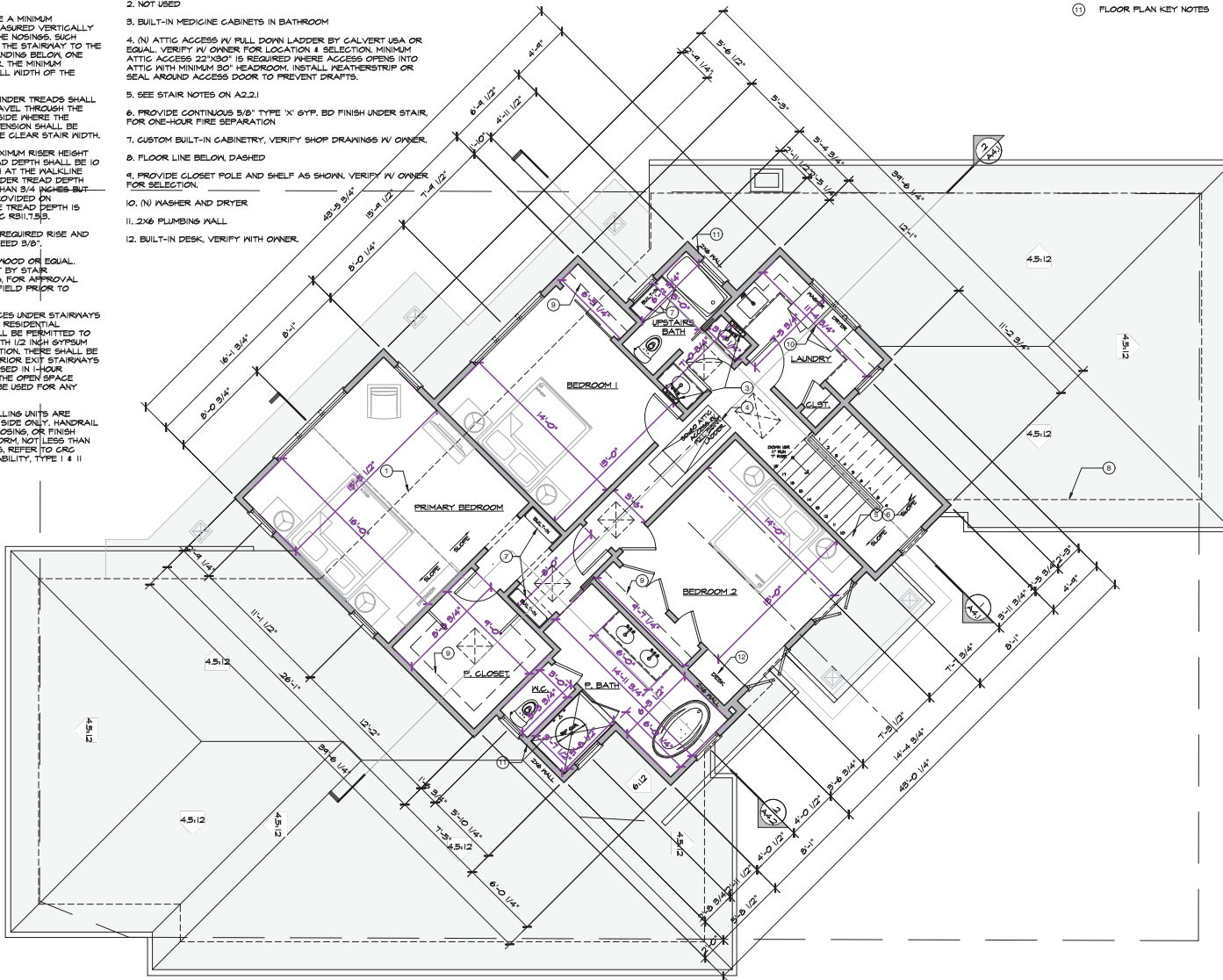
SN-10. HANDRAIL GRASPABILITY (2022 CBC 1014.5) ALL REQUIRED HANDRAILS SHALL COMPLY WITH SECTION R311.7.5 OR SHALL PROVIDE EQUIVALENT GRASPABILITY.

KEYNOTES

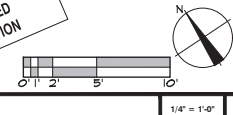
1. VAULTED CEILING IN PRIMARY BEDROOM
2. NOT USED
3. BUILT-IN MEDICINE CABINETS IN BATHROOM
4. (N) ATTIC ACCESS W/ RULL DOWN LADDER BY CALVERT USA OR EQUAL. VERIFY W/ OWNER FOR LOCATION & SELECTION. MINIMUM ATTIC ACCESS 22"x30" IS REQUIRED WHERE ACCESS OPENS INTO ATTIC WITH MINIMUM 30" HEADROOM. INSTALL WEATHERSTRIP OR SEAL AROUND ACCESS DOOR TO PREVENT DRAFTS.
5. SEE STAIR NOTES ON A2.2.1
6. PROVIDE CONTINUOUS 3/8" TYPE "X" GYP. BD FINISH UNDER STAIR FOR ONE-HOUR FIRE SEPARATION.
7. CUSTOM BUILT-IN CABINETRY, VERIFY SHOP DRAWINGS W/ OWNER.
8. FLOOR LINE BELOW DASHED
9. PROVIDE CLOSET POLE AND SHELF AS SHOWN. VERIFY W/ OWNER FOR SELECTION.
10. (N) WASHER AND DRYER
11. 2x6 PLUMBING WALL
12. BUILT-IN DESK. VERIFY WITH OWNER.

KEY TO SYMBOLS

- PROPOSED MALL
- FLOOR PLAN KEY NOTES



**PRELIMINARY.
 NOT YET APPROVED
 FOR CONSTRUCTION**



PROPOSED SECOND FLOOR PLAN

1/4" = 1'-0" 1

ISSUE LOG
 CIP SUBMITTAL
 APR. 24, 2023



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SOUTHEAST

EXISTING GARAGE FRONT ELEVATION (SOUTHEAST)

1/4" = 1'-0" 2



- (N) COMPOSITE SHINGLE ROOF, TYP. TO MATCH WITH EXISTING FIRST FLOOR ROOF. VERIFY WITH OWNER
- (N) STONE FINISH, VERIFY WITH OWNER
- (N) WHITE ALUMINUM CLAD WINDOWS TO MATCH EXISTING WITH SIMULATED DIVIDED LIGHTS, TYP.
- (N) STUCCO FINISH, VERIFY WITH OWNER
- (N) 6" HORIZONTAL SIDING
- (E) GARAGE DOOR TO REMAIN

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PROPOSED GARAGE FRONT ELEVATION (SOUTHEAST)

1/4" = 1'-0" 1

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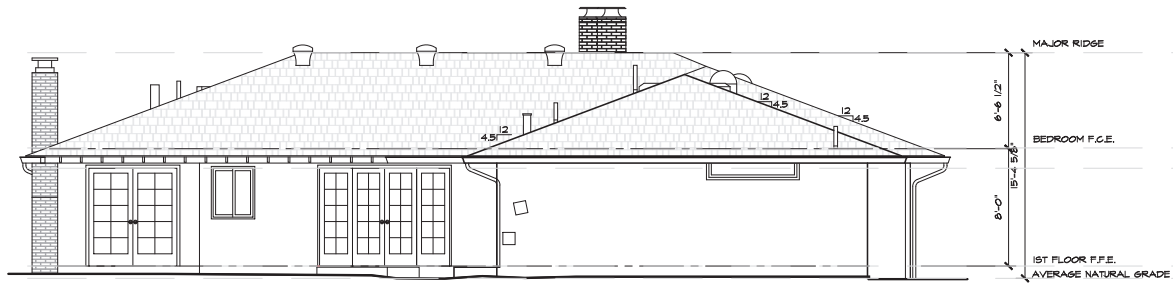
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1664 OAK AVENUE
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A3.1



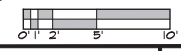
EXISTING REAR ELEVATION (NORTHWEST)

1/4" = 1'-0" 2



PROPOSED REAR ELEVATION (NORTHWEST)


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1/4" = 1'-0" 1

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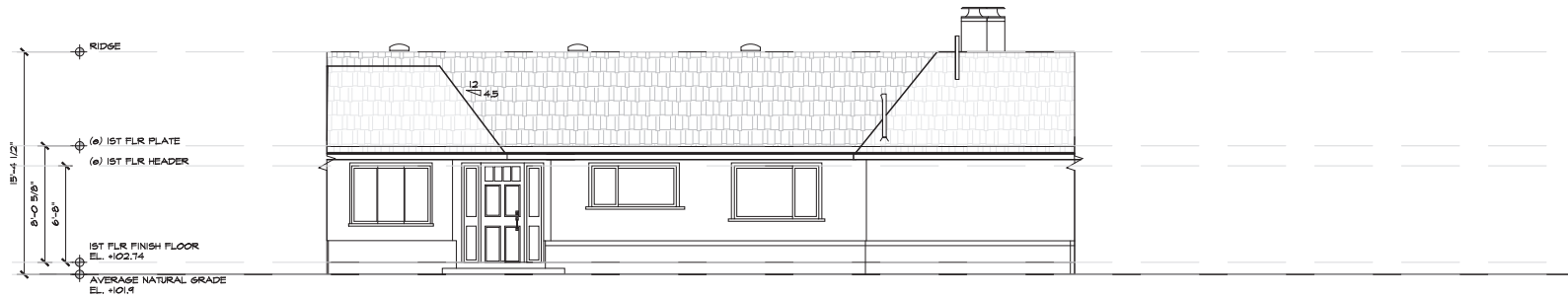
 1664 OAK AVENUE

 MENLO PARK, CA 94025

A.P.N. 711-80-050

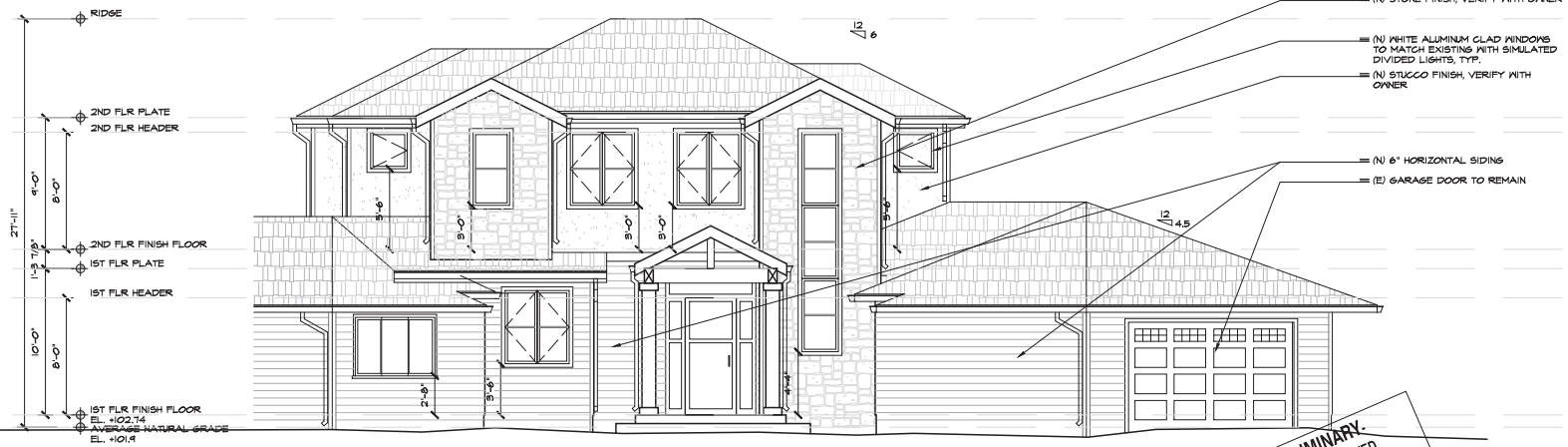
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TITLE	BINDER		

A3.2



EXISTING FRONT ELEVATION (SOUTH)

1/4" = 1'-0" 2



PROPOSED FRONT ELEVATION (SOUTH)

1/4" = 1'-0" 1

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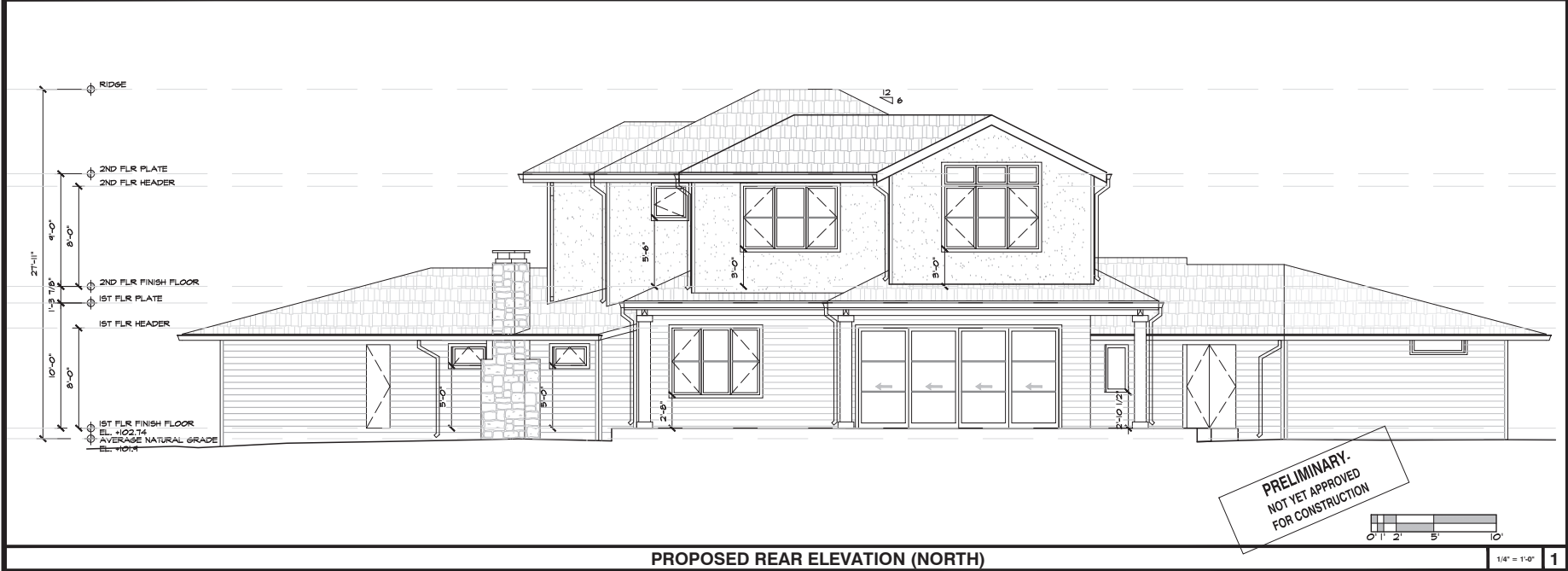
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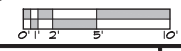
EXISTING REAR ELEVATION

1/4" = 1'-0" 2



PROPOSED REAR ELEVATION (NORTH)

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1/4" = 1'-0" 1

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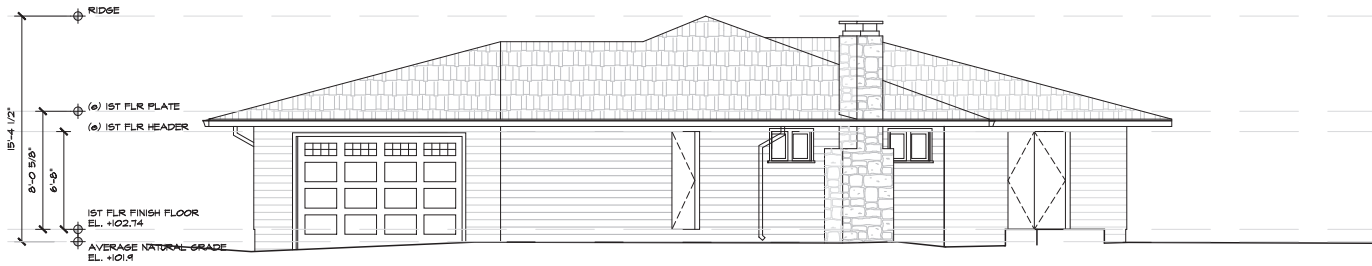


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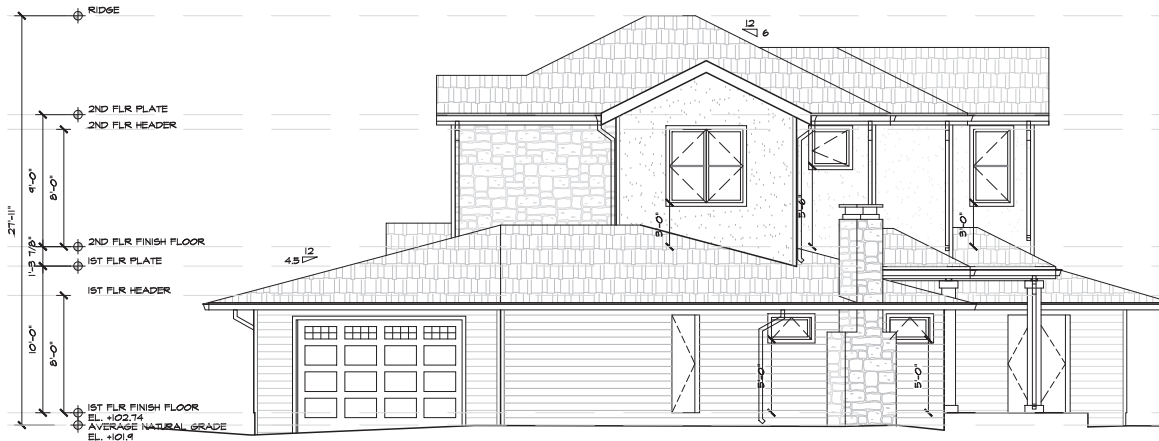
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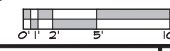
EXISTING LEFT SIDE ELEVATION

1/4" = 1'-0" 2



PROPOSED LEFT SIDE ELEVATION (EAST)

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1/4" = 1'-0" 1

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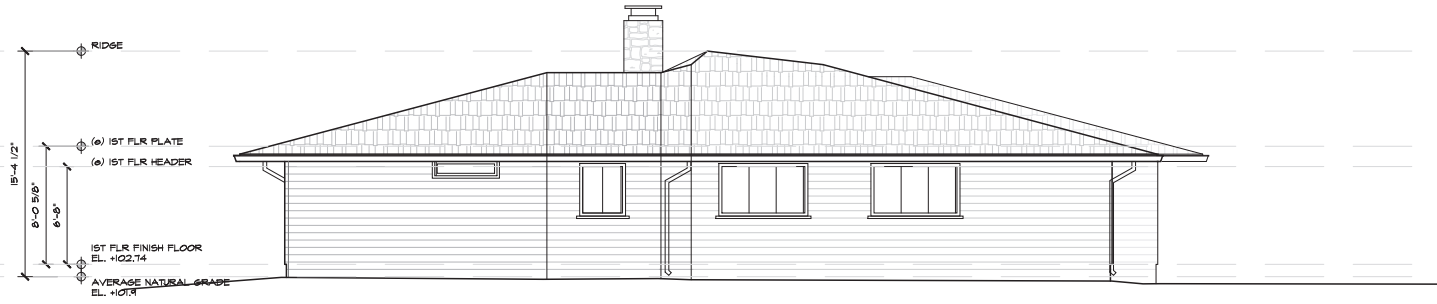

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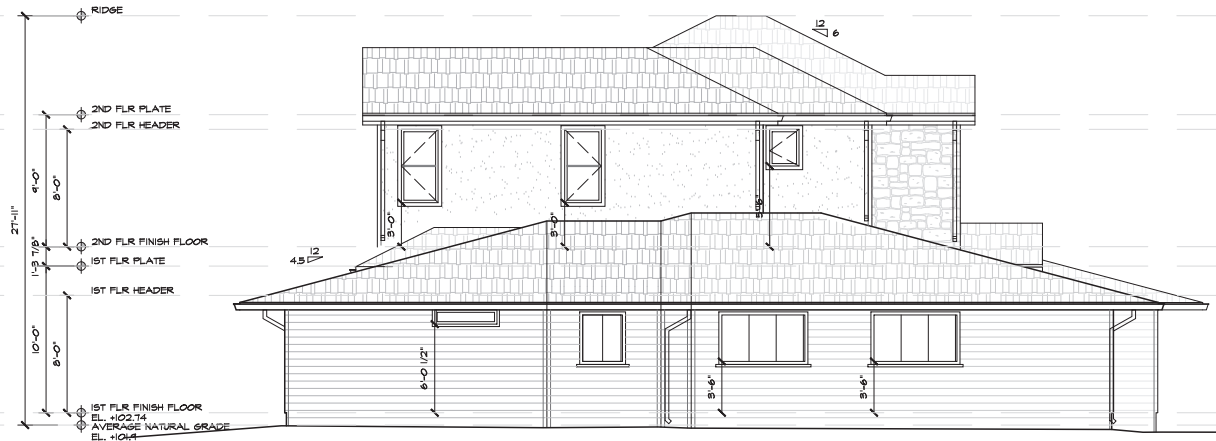
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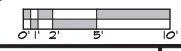
EXISTING RIGHT SIDE ELEVATION

1/4" = 1'-0" 2



PROPOSED RIGHT SIDE ELEVATION (WEST)

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1/4" = 1'-0" 1

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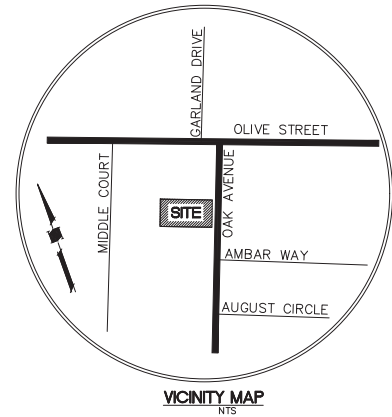
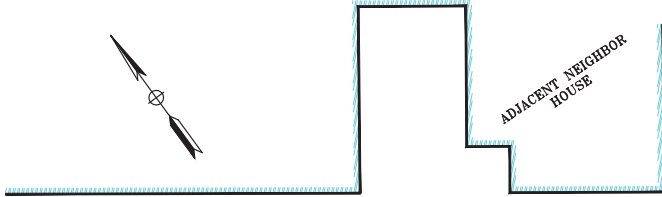
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SURVEYOR'S NOTE

- UTILITIES FOUND ARE BASED UPON SURFACE EVIDENT FINDINGS. RECORDS OF UTILITIES WERE NOT UTILIZED FOR THIS SURVEY.
- TREES SHOWN ARE THOSE OF SIZE SIGNIFICANCE. THE SITE CONTAINS OTHER TREES UNDER 6" AND ARE NOT SHOWN FOR MAP CLARITY. TREE CLASSIFICATIONS ARE TO THE BEST KNOWLEDGE OF THE SURVEYOR. AN ARBORIST MUST SPECIFY ACTUAL TREE TYPE.
- MAIN STRUCTURE AND APPURTENANT STRUCTURES ARE BASED UPON THE BEST EFFORTS OF THE SURVEY CREW. SOME ELEMENTS MAY BE MISSING AND CHECKS BY THE ARCHITECTS OFFICE WILL BE NECESSARY BEFORE DESIGN WORK.



S56° 12' 38" E
124.24

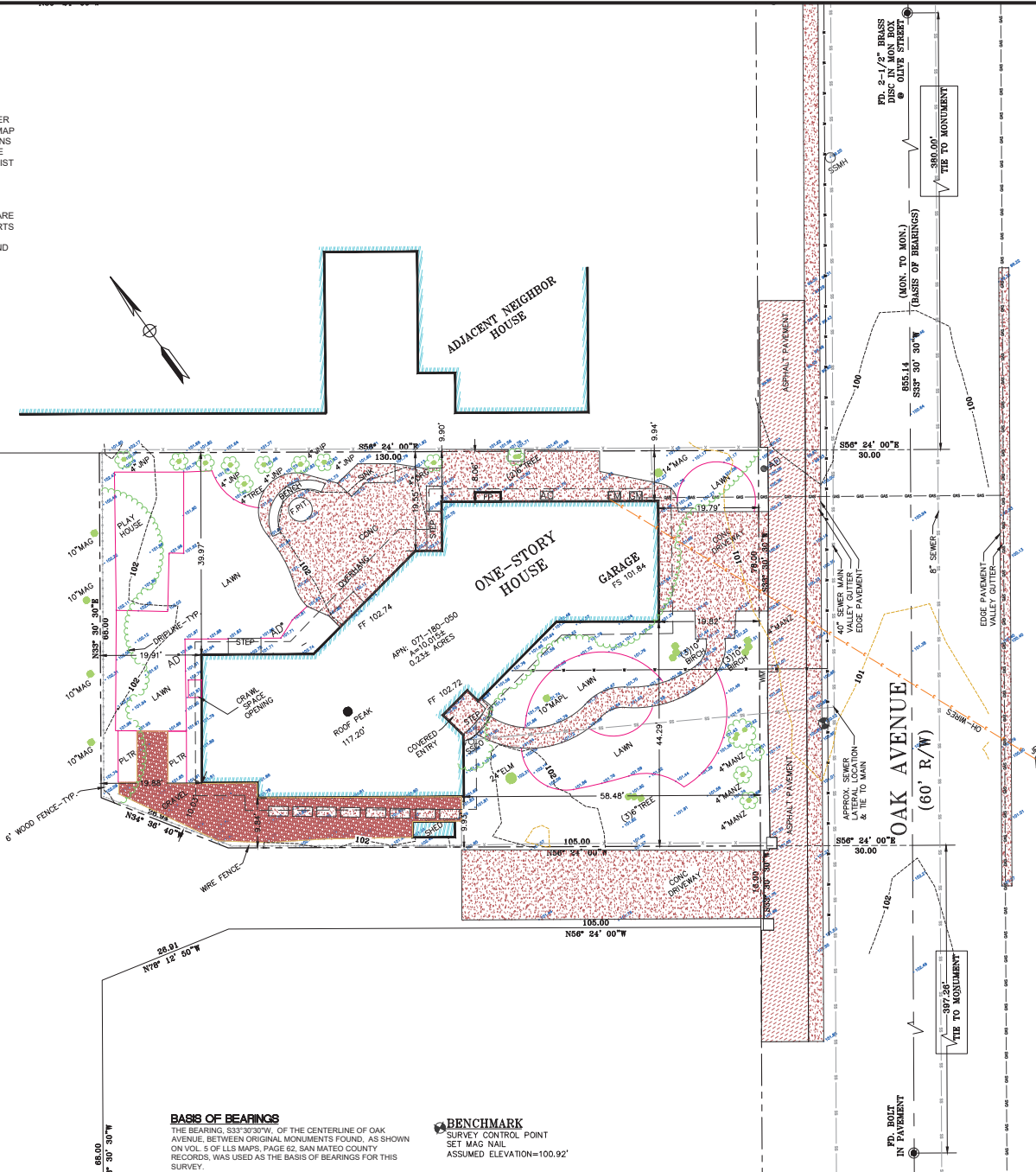
- LEGEND**
- SSCO SANITARY SEWER CLEANOUT
 - SSMH SANITARY SEWER MANHOLE
 - X-X FENCE LINE
 - WV WATER VALVE
 - WM WATER METER
 - FH FIRE HYDRANT
 - JP JOINT POLE
 - GA GUY ANCHOR
 - TREE, SIZE AND TYPE AS NOTED
 - XX' TREE
 - G GAS LINE
 - W WATER LINE
 - CONCRETE
 - GM GAS METER

- ABBREVIATIONS**
- FL FLOWLINE
 - TC TOP OF CURB
 - EP EDGE OF PAVEMENT
 - CONC CONCRETE
 - LIP LIP OF GUTTER
 - GS GROUND SHOT
 - AD AREA DRAIN
 - FF FINISH FLOOR
 - BSL BUILDING SETBACK LINE

BASIS OF BEARINGS

THE BEARING, S53° 30' 30" W, OF THE CENTERLINE OF OAK AVENUE, BETWEEN ORIGINAL MONUMENTS FOUND, AS SHOWN ON VOL. 5 OF LLS MAPS, PAGE 82, SAN MATEO COUNTY RECORDS, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

BENCHMARK
SURVEY CONTROL POINT
SET MAG NAIL
ASSUMED ELEVATION=100.92'



"I CERTIFY THAT THIS PARCEL'S BOUNDARY WAS ESTABLISHED BY ME OR UNDER MY SUPERVISION AND IS BASED ON A FIELD SURVEY IN CONFORMANCE WITH THE LAND SURVEYOR'S ACT. ALL MONUMENTS FOUND ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED."

BRIAN L. STOCKINGER
PLS 6995
EXPIRES 9-30-21



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TOPOGRAPHIC AND BOUNDARY SURVEY
1644 OAK AVENUE
SAN MATEO COUNTY

DATE	BY	CHK	SHEET NO.	TOTAL SHEETS
			1	1

JOB NO. 1644 OAK AVE
CAD FILE: