

# MEETING MEMO



**DATE:** March 4, 2025

**TO:** Connor Hochleutner  
Assistant Planner  
City Hall - 1st Floor  
701 Laurel St.  
Phone: 650-330-6775

**FROM:** Evan Sockalosky

**ARC TEC #246184**

**CC:**

**RE:** Project Description  
**200 & 300 El Camino Real – Security Improvements**

Arizona  
2960 E. Northern Avenue  
Building C  
Phoenix, AZ 85028  
602.953.2355 t  
602.953.2988 f

California  
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San Jose, CA 95110  
408.496.0676 t  
408.496.1121 f

[www.arctecinc.com](http://www.arctecinc.com)

The proposed project is for important facility security improvements to the office buildings located at 200 & 300 El Camino Real.

The existing parking structures for the two buildings; at grade (200 ECR) and below grade (300 ECR) are currently unsecured. The tenants are experiencing significant vehicle break-ins and other security issues negatively impacting their employees. If these ongoing security issues are not resolved the current tenants may be forced to end their lease and securing future tenants would be impacted.

The proposed project provides a solution to these security issues. The scope of the project includes the addition of four overhead coiling vehicle gates and one man gate at the two buildings.

As noted, the parking structure at 200 El Camino Real is at grade, below the office floors. The improvements include the addition of 2 overhead coiling vehicle gates and one man gate. All of the gates will be installed on the inside of the building providing a clean integrated look from the exterior. Furthermore, the man gate will include laser cut metal panels for security to match the existing panels currently located at other openings.

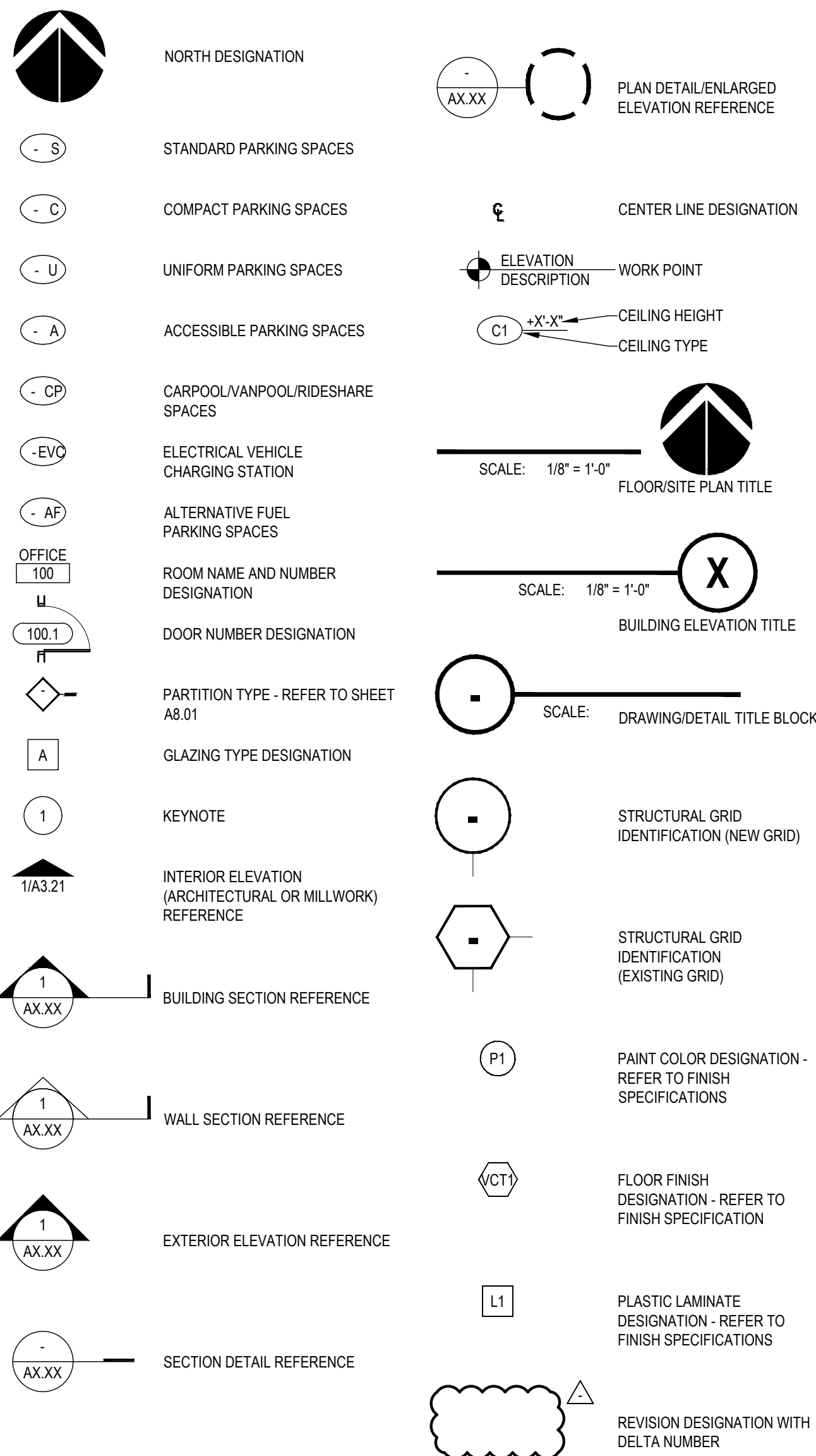
The scope at 300 El Camino Real is the addition of two overhead coiling vehicle gates. These gates will be located at the bottom of the ramps to the below grade parking structure. Due to the location, these gates will not be visible from grade.

All of the gates will be integrated into the buildings' access control system providing secure, controlled access to appropriate employees and personnel.

These security improvements are critical to the continued viability of these facilities and the safety and security of current and future tenants.

Planning Application For:  
**MIDDLE PLAZA**  
200 and 300 El Camino Real  
Menlo Park, CA 94025

## ANNOTATION SYMBOLS



## PROJECT DATA

TENANT NAME:	STANFORD UNIVERSITY BOARD OF TRUSTEES	200 EL CAMINO REAL BUILDING AREA	45,179 SQ. FT.
PROJECT ADDRESS:	200, 300, 400, & 500 EL CAMINO REAL MENLO PARK, CA 94025	NUMBER OF STORIES:	3
		CONSTRUCTION TYPE:	IH
		FIRE SPRINKLERS:	YES
		OCCUPANCY TYPE:	YES
		300 EL CAMINO REAL BUILDING AREA	88,600 SQ. FT.
		NUMBER OF STORIES:	3
		CONSTRUCTION TYPE:	IH
		FIRE SPRINKLERS:	YES
		OCCUPANCY TYPE:	YES
		400A EL CAMINO REAL BUILDING AREA	75,697 SQ. FT.
		NUMBER OF STORIES:	5
		CONSTRUCTION TYPE:	IH
		FIRE SPRINKLERS:	YES
		OCCUPANCY TYPE:	R2, B, A3, S
		400B EL CAMINO REAL BUILDING AREA	101,654 SQ. FT.
		NUMBER OF STORIES:	5
		CONSTRUCTION TYPE:	IH
		FIRE SPRINKLERS:	YES
		OCCUPANCY TYPE:	R2, B, A3, S
		500 EL CAMINO REAL BUILDING AREA	34,526 SQ. FT.
		NUMBER OF STORIES:	3
		CONSTRUCTION TYPE:	IH
		FIRE SPRINKLERS:	YES
		OCCUPANCY TYPE:	BAN
		EXTERIOR FACADE IMPROVEMENT ONLY	

## PROJECT DESCRIPTION

THIS IS A PARKING STRUCTURE SECURITY IMPROVEMENT FOR 2 EXISTING BUILDINGS IN A EXISTING MULTI-BUILDING CAMPUS. THE SCOPE INCLUDES 4 NEW OVERHEAD COILING VEHICLE GATES AND ONE SECURE MAN GATE.

## APPLICABLE CODES

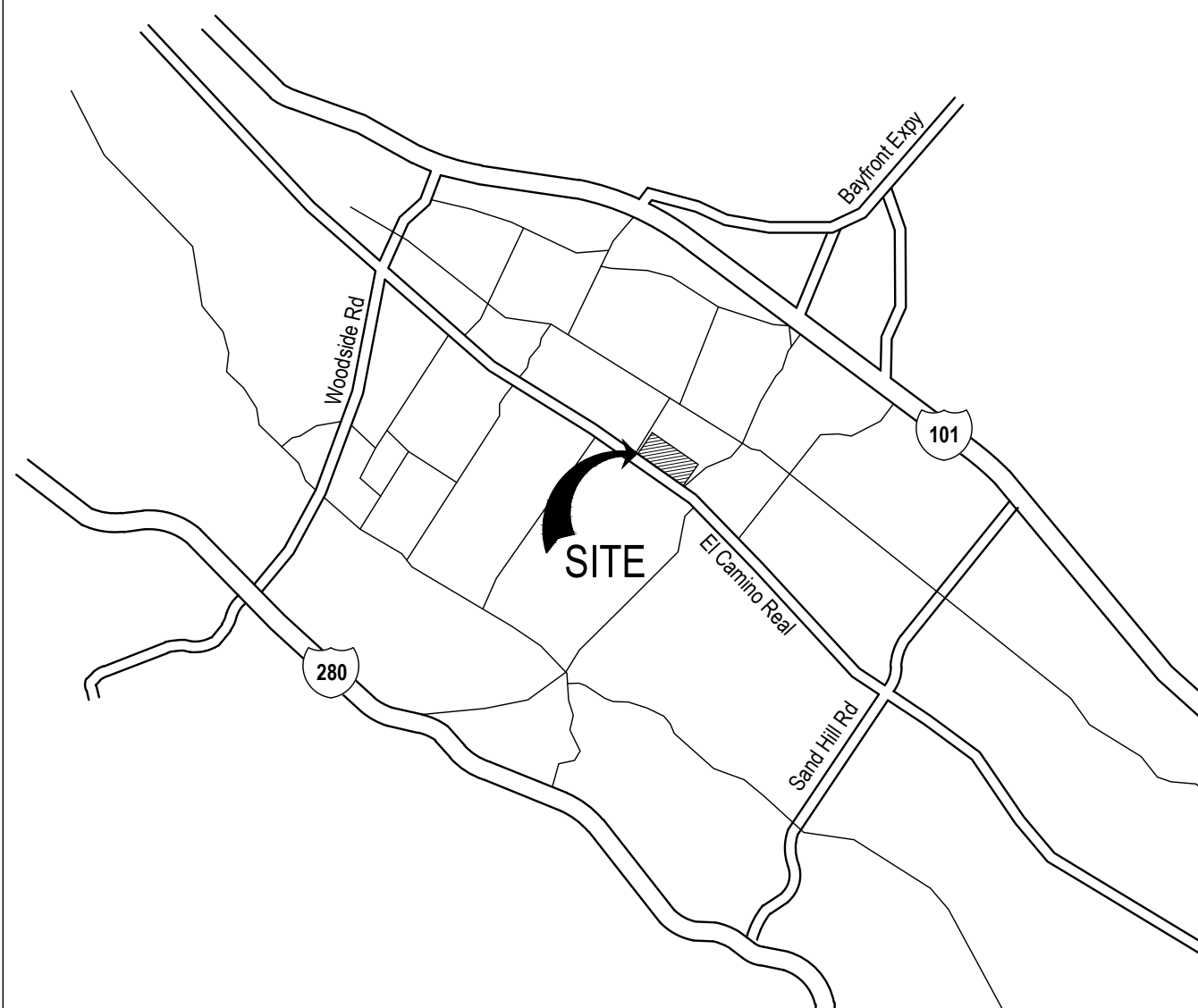
2022 CALIFORNIA BUILDING CODE (CCR TITLE 24, PART 2)  
2022 CALIFORNIA ELECTRIC CODE (CCR TITLE 24, PART 3)  
2022 CALIFORNIA MECHANICAL CODE (CCR TITLE 24, PART 4)  
2022 CALIFORNIA PLUMBING CODE (CCR TITLE 24, PART 5)  
2022 CALIFORNIA ENERGY CODE (CCR TITLE 24, PART 6)  
2022 CALIFORNIA FIRE CODE (CCR TITLE 24, PART 9)  
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CCR TITLE 24, PART 11)

ALL CODES ARE SUBJECT TO LOCAL GOVERNMENT AMENDMENTS PER CALIFORNIA BUILDING STANDARDS COMMISSION BULLETIN 10-03.

## PROJECT TEAM

OWNER:	STANFORD UNIVERSITY BOARD OF TRUSTEES	ARCHITECT:	ARC TEC INC. 1731 Technology Drive, Suite 750 San Jose, CA 95110 PHONE: 408.496.0676 CONTACT: Dan Kirby EMAIL: dkirby@arctecinc.com
GENERAL CONTRACTOR:	SOUTH BAY CONSTRUCTION 1711 Dell Avenue Campbell, CA 95008 PHONE: 408.874.2236 CONTACT: David Ordley EMAIL: dordley@sbc.com		

### VICINITY MAP



## DRAWING INDEX AND ISSUE DATES

- PRELIMINARY OR PRICING PLANS
- FIRST FORMAL SUBMITTAL OR NO CHANGES SINCE PREVIOUS ISSUE
- + MODIFICATIONS SINCE PREVIOUS ISSUE

COVER SHEET  
ARCHITECTURAL

A0.01	EXISTING SITE NEIGHBORHOOD CONTEXT PHOTOS
A1.00	AREA SITE PLAN
A1.01	REFERENCE SITE PLAN
A1.02	ENLARGED SITE PLAN
A2.01	FLOOR PLANS 300 EL CAMINO REAL
A2.02	FLOOR PLANS 200 EL CAMINO REAL
A8.11	SECURITY GATE DETAILS

### ISSUE DATES AND DESCRIPTIONS

02/28/2005  
Planning Submittal



7



PARTRIDGE AVE. LOOKING NORTHEAST TO EL CAMINO REAL

8



EL CAMINO REAL LOOKING TO CAMBRIDGE AVE.

9



CAMBRIDGE AVE. LOOKING NORTHEAST TO EL CAMINO REAL

10



EL CAMINO REAL LOOKING SOUTHEAST

4



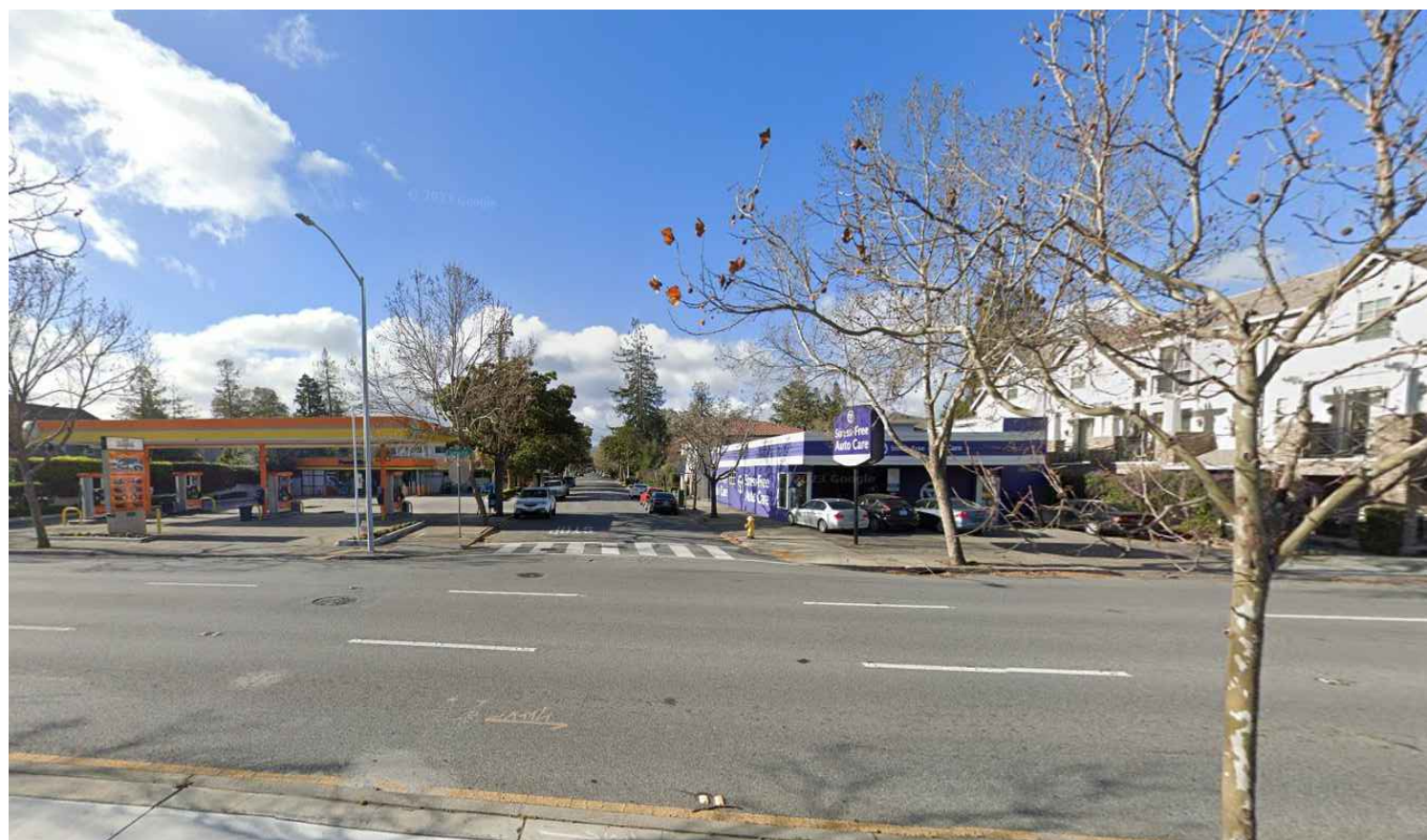
EL CAMINO REAL LOOKING TO COLLEGE AVE

5



COLLEGE AVE. LOOKING NORTHEAST TO EL CAMINO REAL

6



EL CAMINO REAL LOOKING TO PARTRIDGE AVE.

1



EL CAMINO REAL LOOKING NORTHWEST

2



EL CAMINO REAL LOOKING TO MIDDLE AVE.

3



MIDDLE AVE. LOOKING NORTHEAST TO EL CAMINO REAL



REFRENC SITE PLAN

SCALE: N.T.S.



ARC TEC  
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In Association with:

Planning Application For:  
**MIDDLE PLAZA**  
200 and 300 El Camino Real  
Menlo Park, CA 94025

DATE	DESCRIPTION
02.28.2025	Planning Submittal

EXISTING SITE NEIGHBORHOOD  
CONTEXT PHOTOS

A0.01

PROJECT NO: 246184





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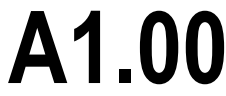


DATE	DESCRIPTION
02.28.2025	Planning Submittal

### REFERENCE AREA SITE PLAN

## REFERENCE AREA SITE PLAN

SCALE: 1"= 50'-0"



PROJECT NO: 246184



PROJECT DATA

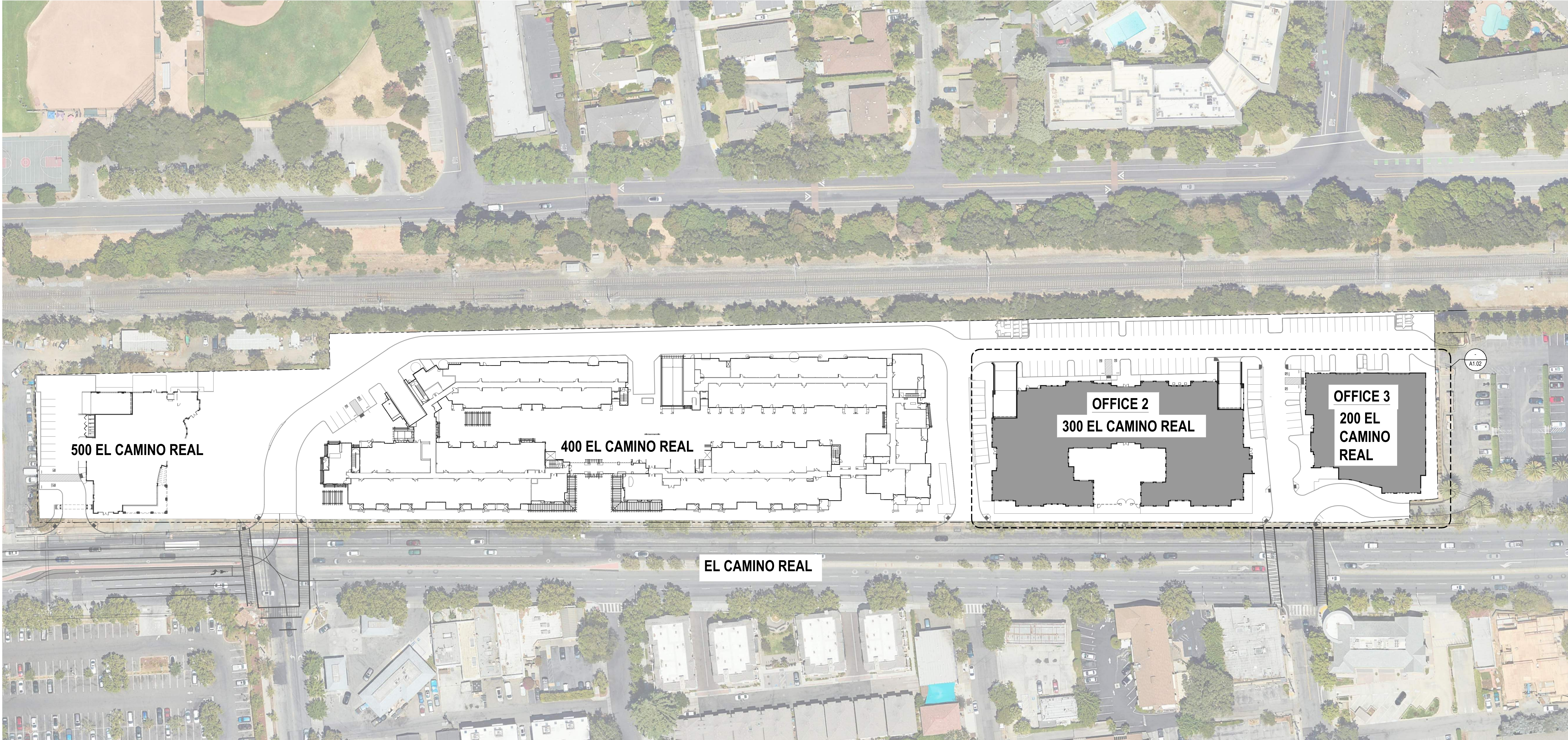
APN:	071-440-170
SITE AREA:	367,037 S.F. / 8.426 ACRES
ZONING:	SP-ECR-B EL CAMINO REAL / DOWNTOWN SPECIFIC PLAN



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Planning Application For:  
**MIDDLE PLAZA**  
200 and 300 El Camino Real  
Menlo Park, CA 94025

DATE	DESCRIPTION
02.28.2025	Planning Submittal

REFERENCE SITE PLAN

REFERENCE SITE PLAN

SCALE: 1"= 50'-0"



**A1.01**

PROJECT NO: 246184



KEYNOTES

- 1
- EXISTING RAMP DOWN.
- 2
- EXISTING PARKING AND DRIVE AISLES.

PROJECT DESCRIPTION

THIS IS A PARKING STRUCTURES SECURITY IMPROVEMENTS IN AN EXISTING MULTI-BUILDINGS

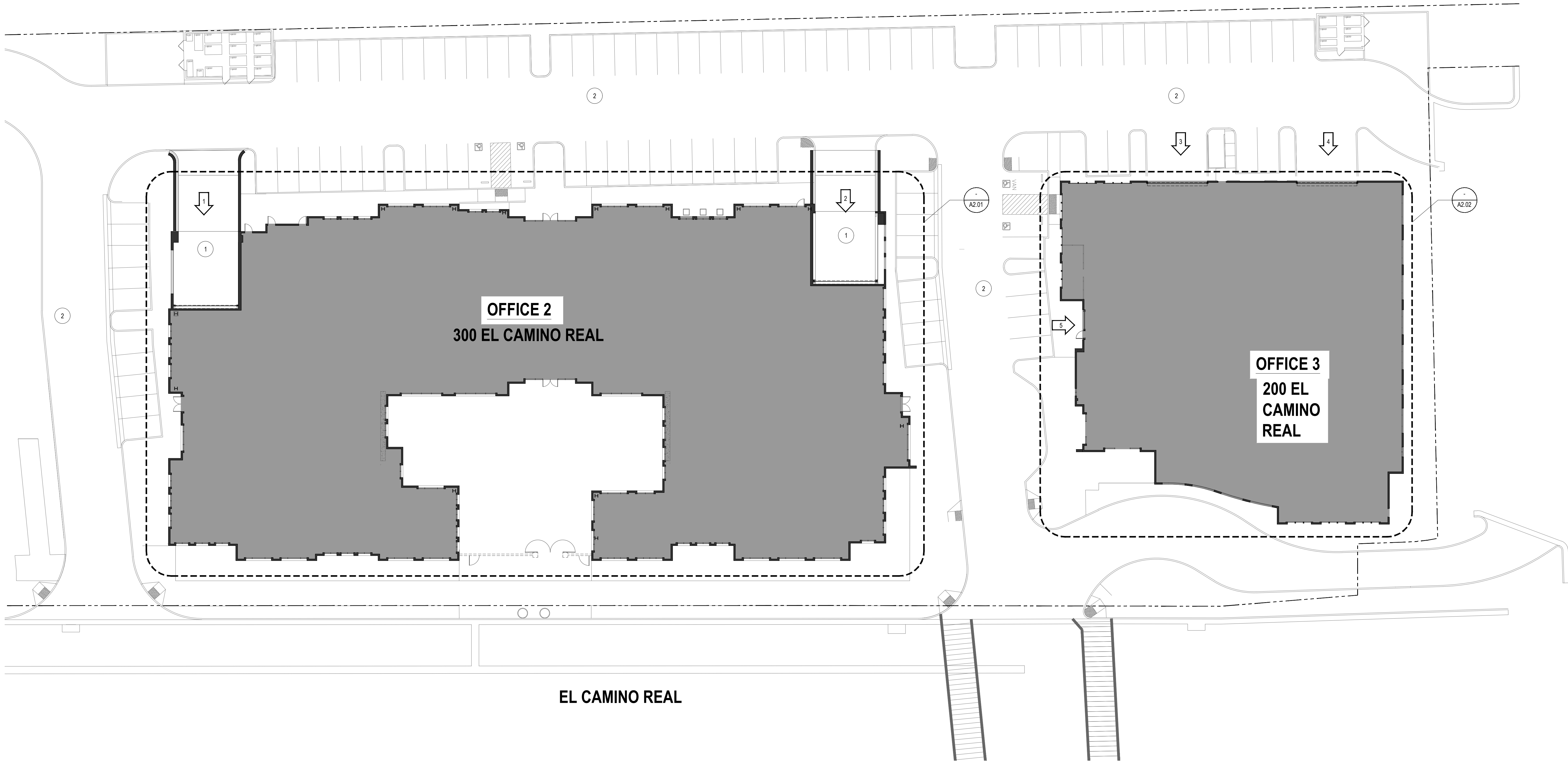
**ENTRY 1:**  
INSTALL AN OVERHEAD COILING SECURITY GRILL AT EXISTING VEHICULAR RAMP TO AN EXISTING BELOW GRADE PARKING STRUCTURE.

**ENTRY 2:**  
INSTALL AN OVERHEAD COILING SECURITY GRILL AT EXISTING VEHICULAR RAMP TO AN EXISTING BELOW GRADE PARKING STRUCTURE.

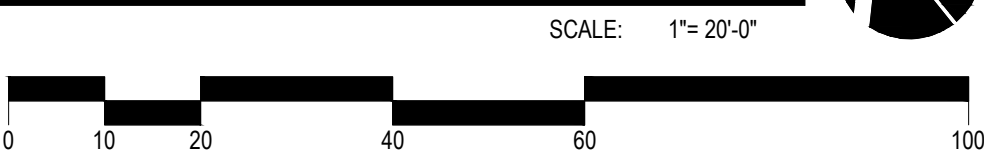
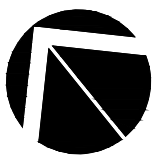
**ENTRY 3:**  
INSTALL AN OVERHEAD COILING SECURITY GRILL AT VEHICLE OPENING TO AN EXISTING GRADE LEVEL PARKING STRUCTURE.

**ENTRY 4:**  
INSTALL AN OVERHEAD COILING SECURITY GRILL AT VEHICLE OPENING TO AN EXISTING GRADE LEVEL PARKING STRUCTURE.

**ENTRY 5:**  
INSTALL A DECORATIVE FENCE WITH MAN DOOR AT EXTERIOR WALL. OPENING IN AN EXISTING GRADE LEVEL PARKING STRUCTURE.



ENLARGED SITE PLAN



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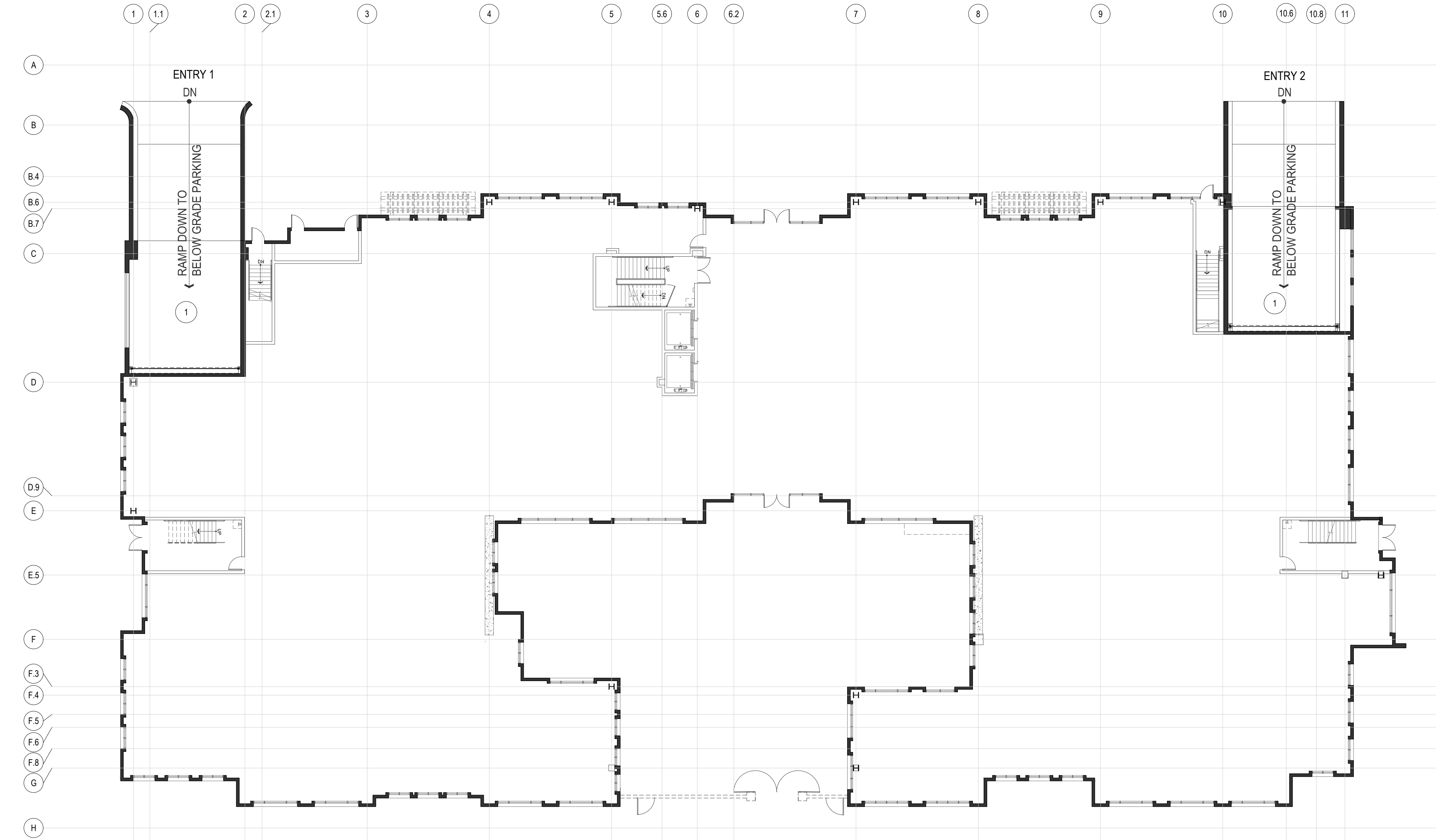
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Menlo Park, CA 94025

DATE	DESCRIPTION
02.28.2025	Planning Submittal

ENLARGED SITE PLAN

**A1.02**

PROJECT NO: 246184

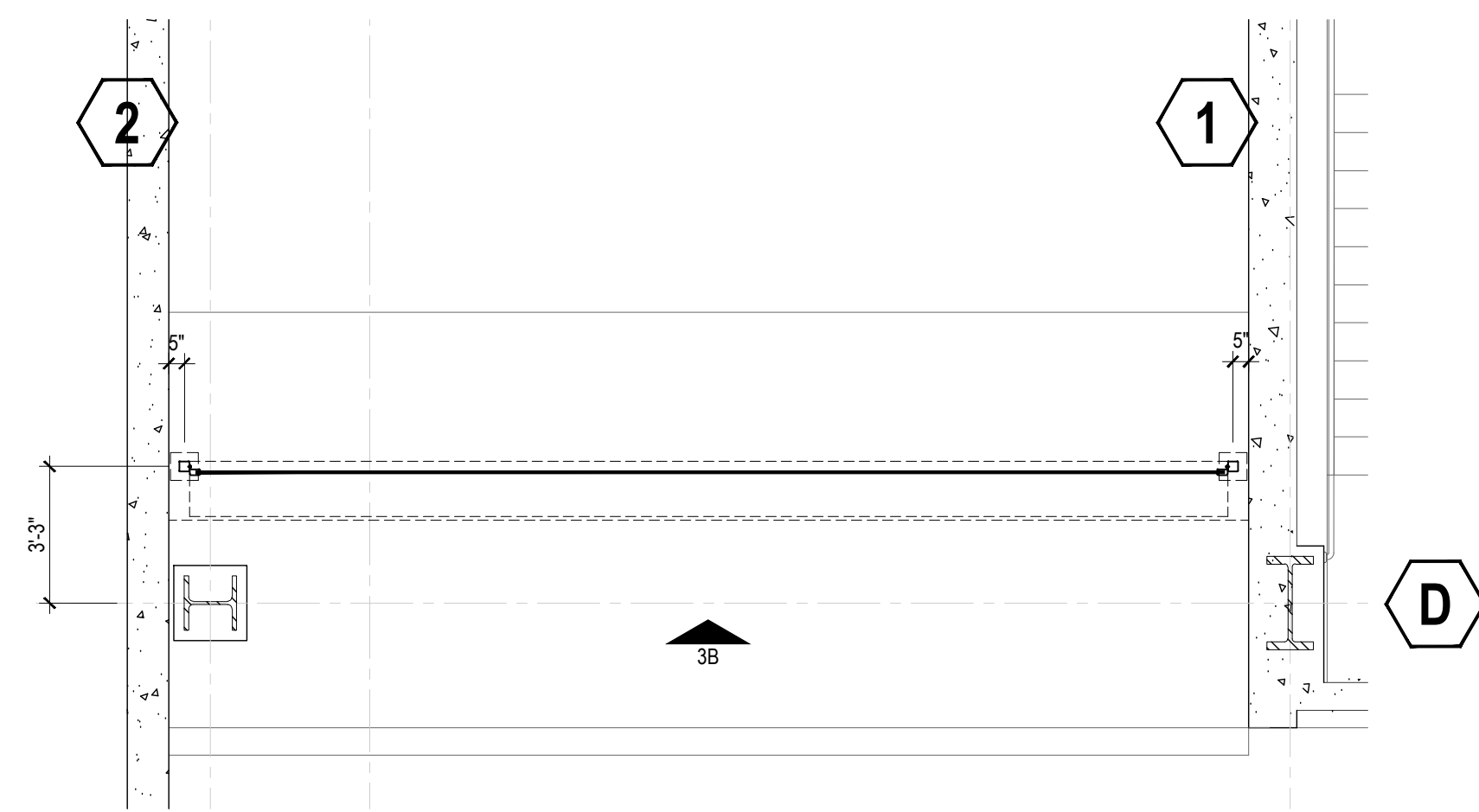


300 EL CAMINO REAL  
AT GRADE FLOOR PLAN-OFFICE 2 (ENTRY 1 AND 2)

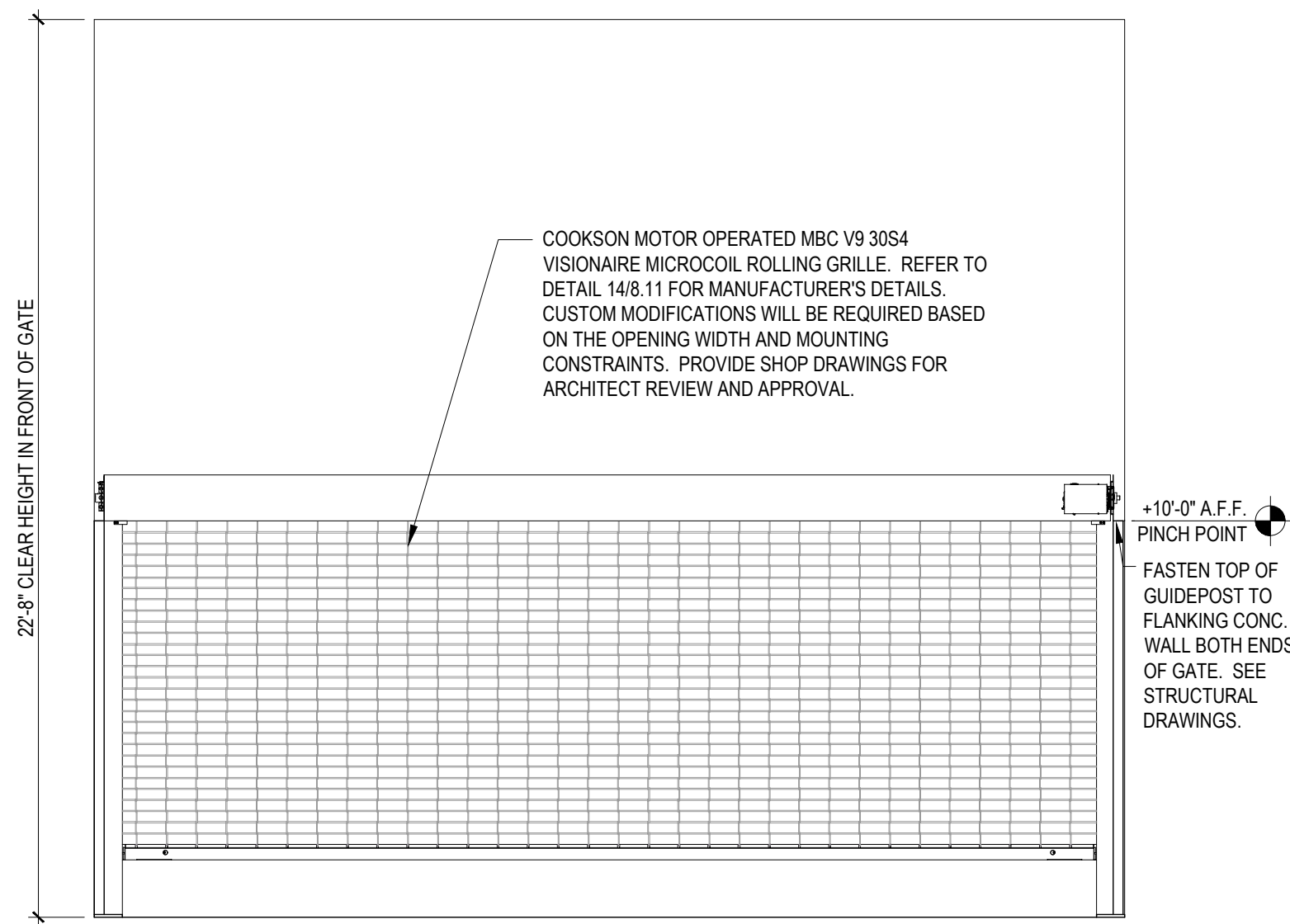
SCALE: 1/16"=1'-0"

- KEYNOTES**
- 1 EXISTING RAMP DOWN.
  - 2 EXISTING RETAINING WALL.
  - 3 EXISTING PARKING AND DRIVE AISLES.
  - 4 EXISTING PEDESTRIAN EGRESS.
  - 5 EXISTING ACCESSIBLE WALKWAY.
  - 6 NEW ROLLING GRILL SECURITY GATE. SEE SHEET A8.11 FOR MATERIAL AND FINISH TYPE.

NOTE: PROPOSED VEHICLE GATES INSTALLED BELOW GRADE. GATES NOT VISIBLE FROM GRADE LEVEL.

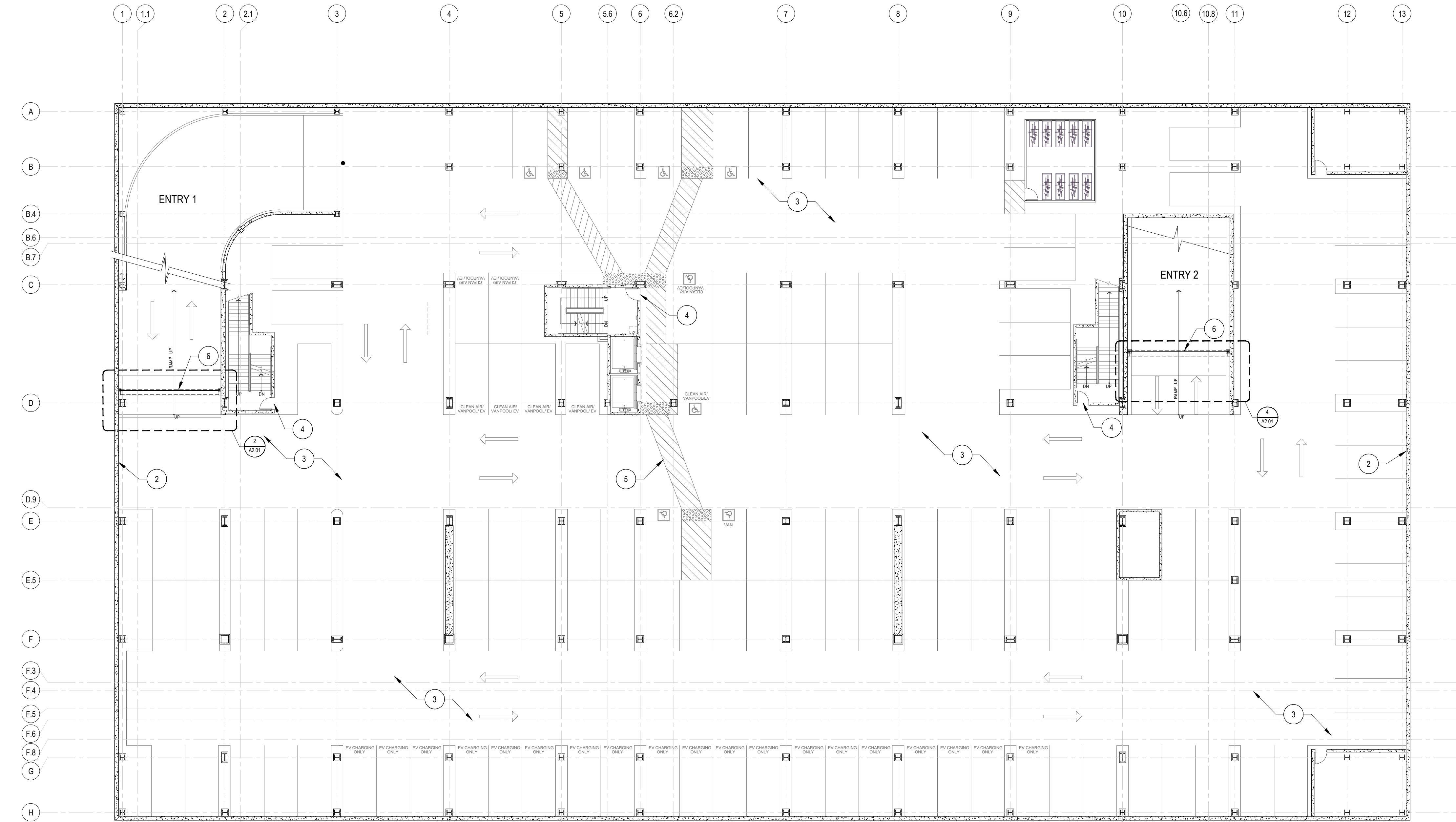


ENTRY 1 PLAN VIEW



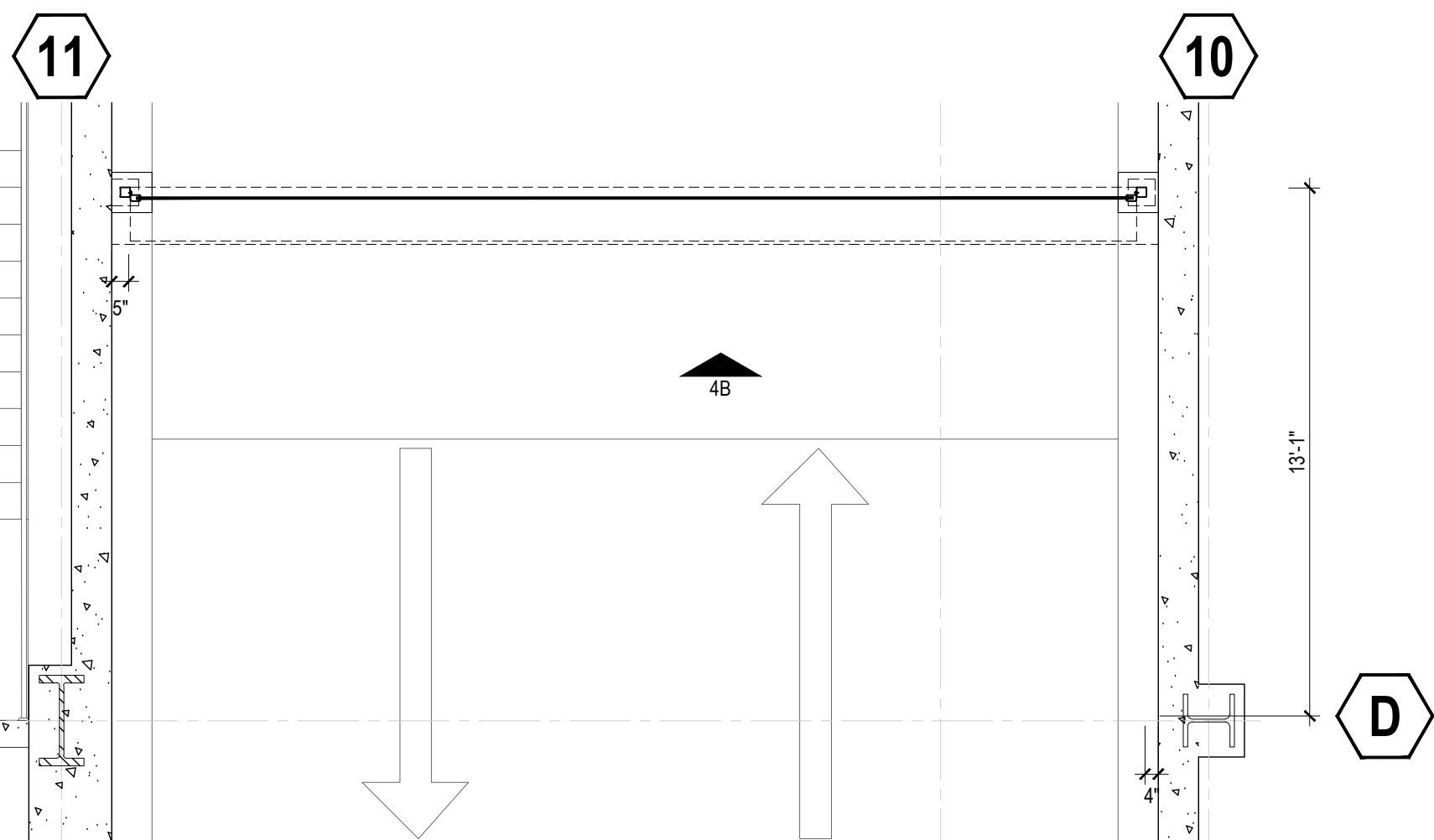
ENTRY 1 ELEVATION

ENTRY 1  
SCALE: 1/4" = 1'-0"

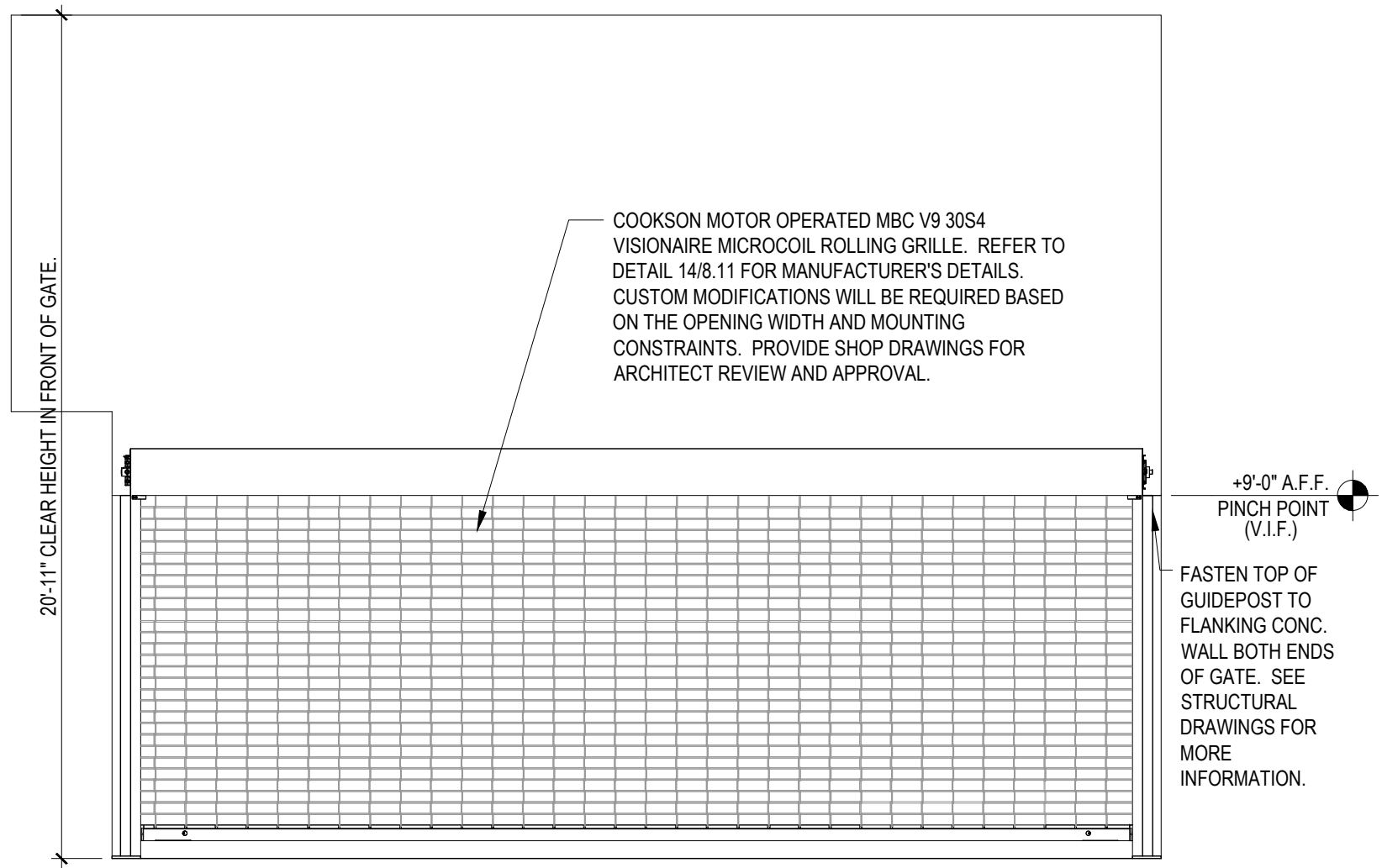


300 EL CAMINO REAL  
BELOW GRADE FLOOR PLAN-OFFICE 2 (ENTRY 1 AND 2)

SCALE: 1/16"=1'-0"



ENTRY 2 PLAN VIEW



ENTRY 2 ELEVATION

ENTRY 2  
SCALE: 1/4" = 1'-0"





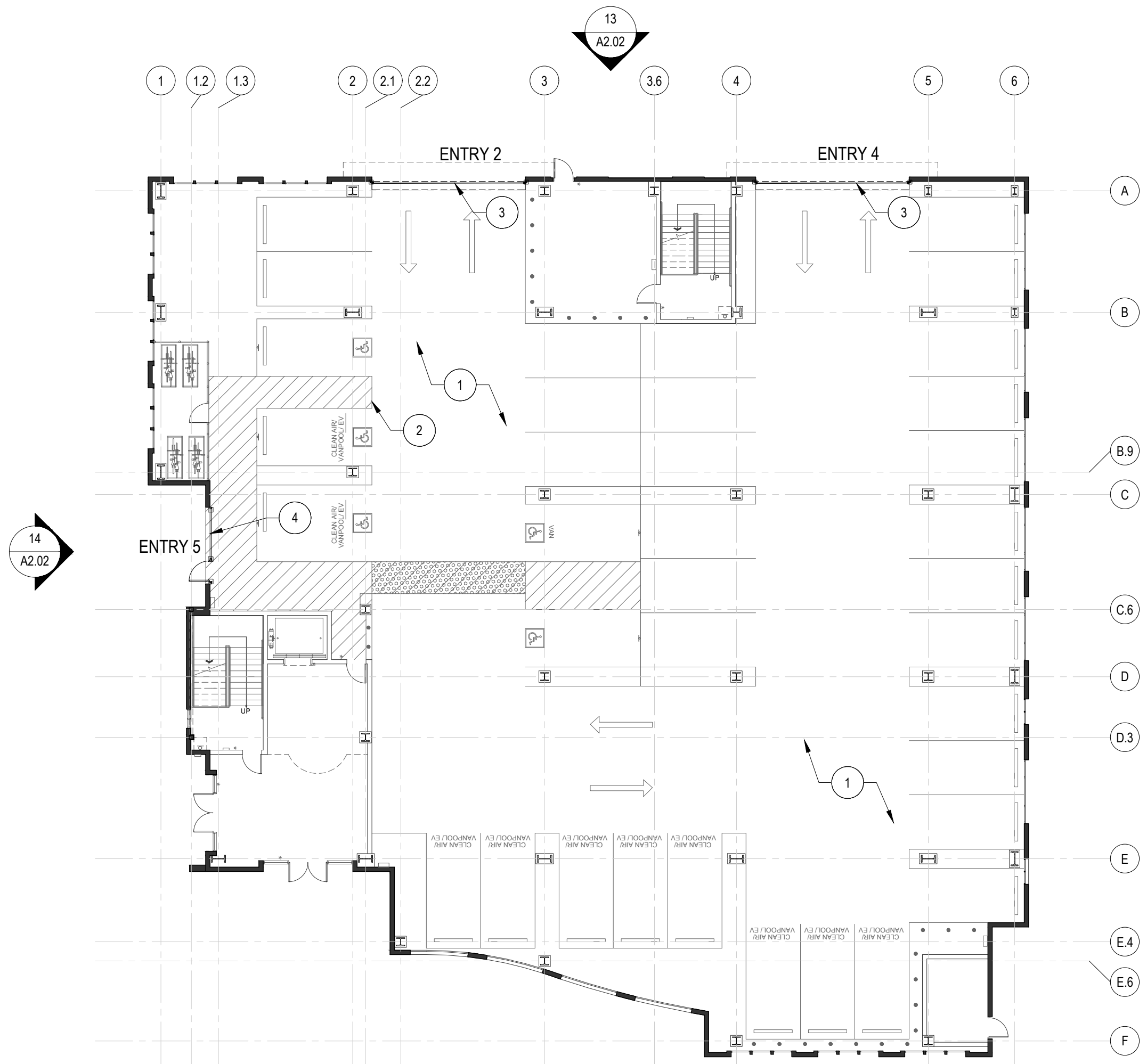
**BUILDING 200 ELEVATION EAST**  
SCALE: 3/32" = 1'-0" **13**



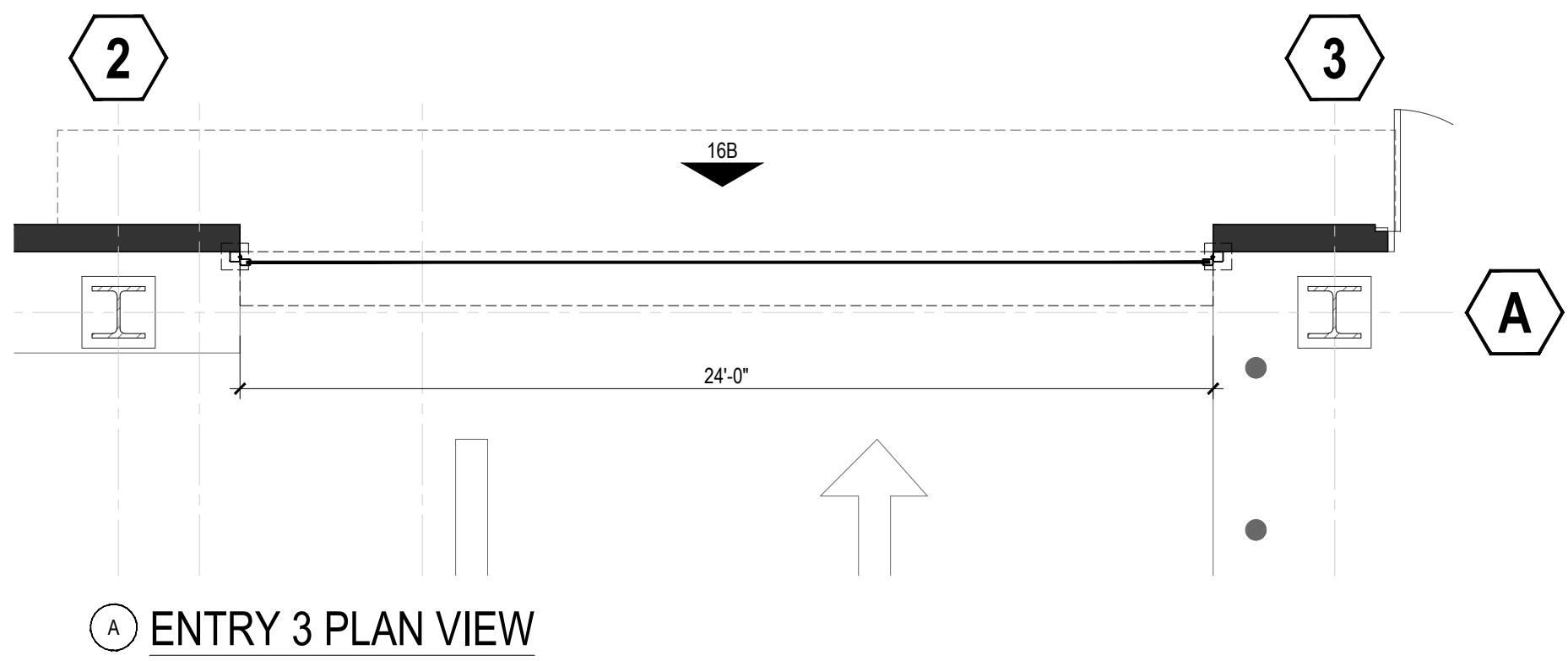
**BUILDING 200 ELEVATION NORTH**  
SCALE: 3/32" = 1'-0" **14**

**KEYNOTES**

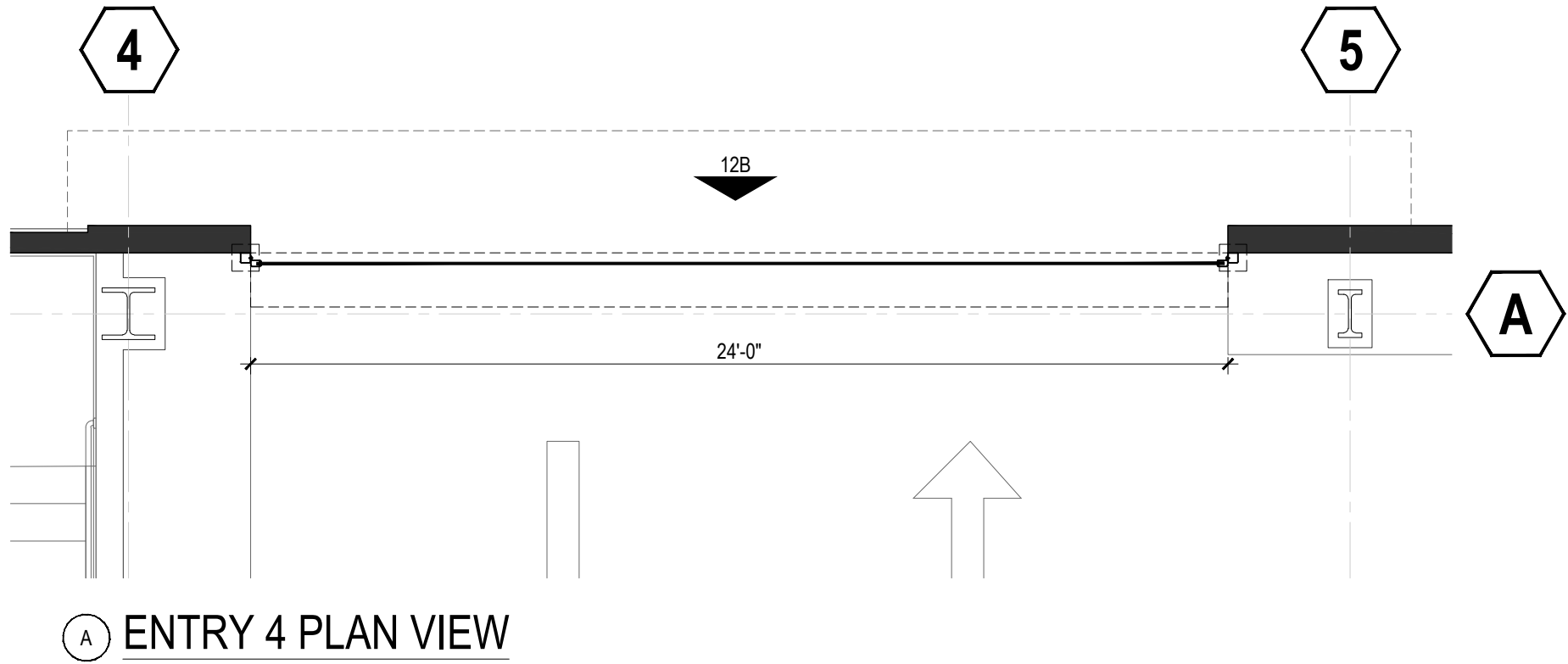
- 1 EXISTING PARKING AND DRIVE AISLES.
- 2 EXISTING PEDESTRIAN WALKWAYS.
- 3 NEW ROLLING GRILL SECURITY GATE. SEE SHEET A8.11 FOR MATERIAL AND FINISH TYPE
- 4 NEW SECURITY GATE. SEE SHEET A8.5 FOR MATERIAL AND FINISH TYPE.



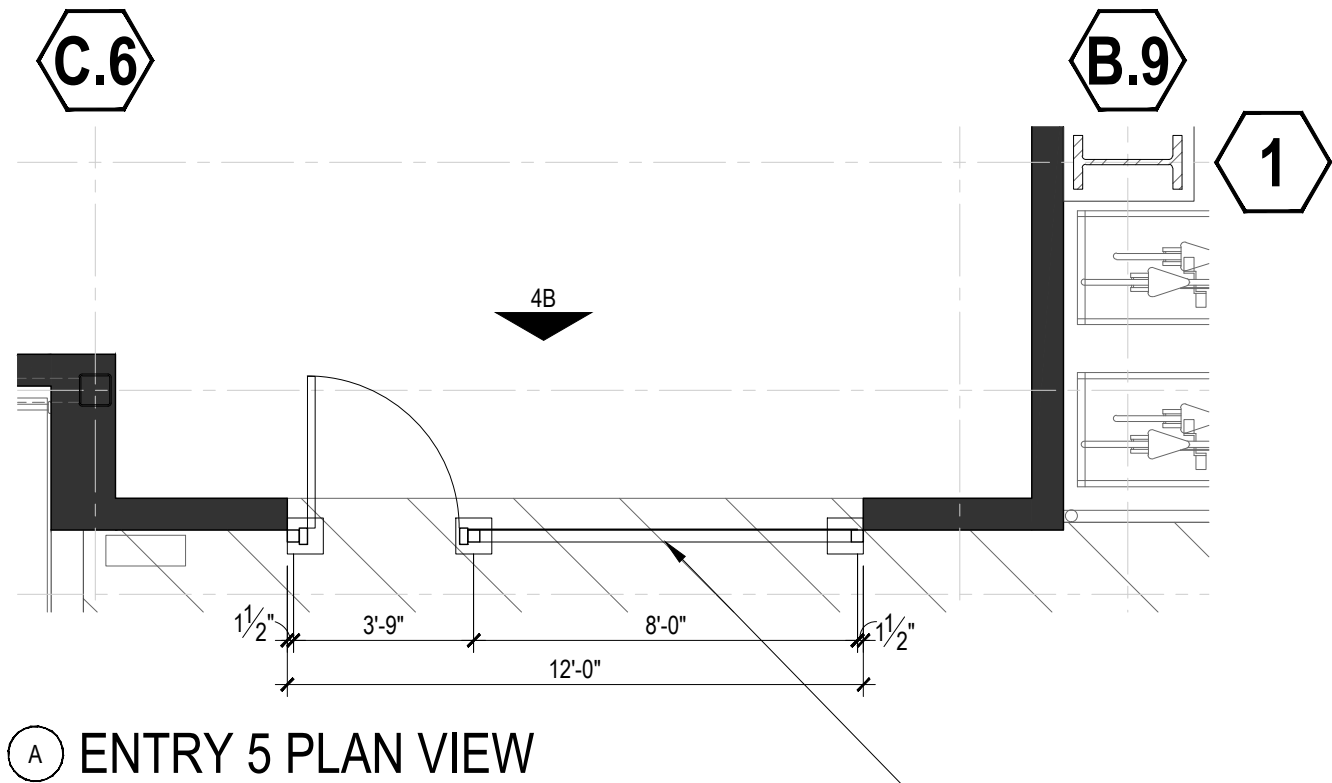
**200 EL CAMINO REAL  
AT GRADE FLOOR PLAN (ENTRY 5, 6 AND 7)**  
SCALE: 1/16" = 1'-0"



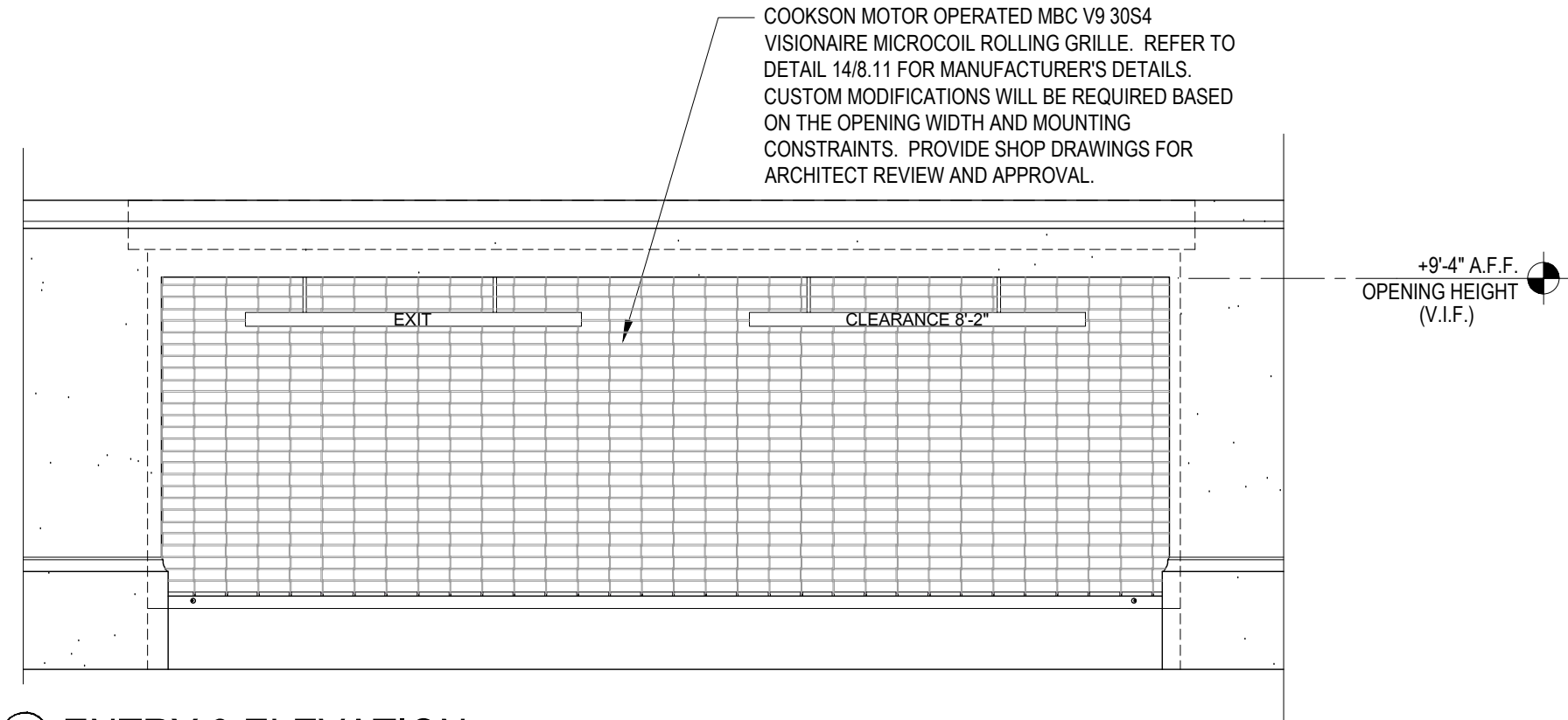
**ENTRY 3 PLAN VIEW**



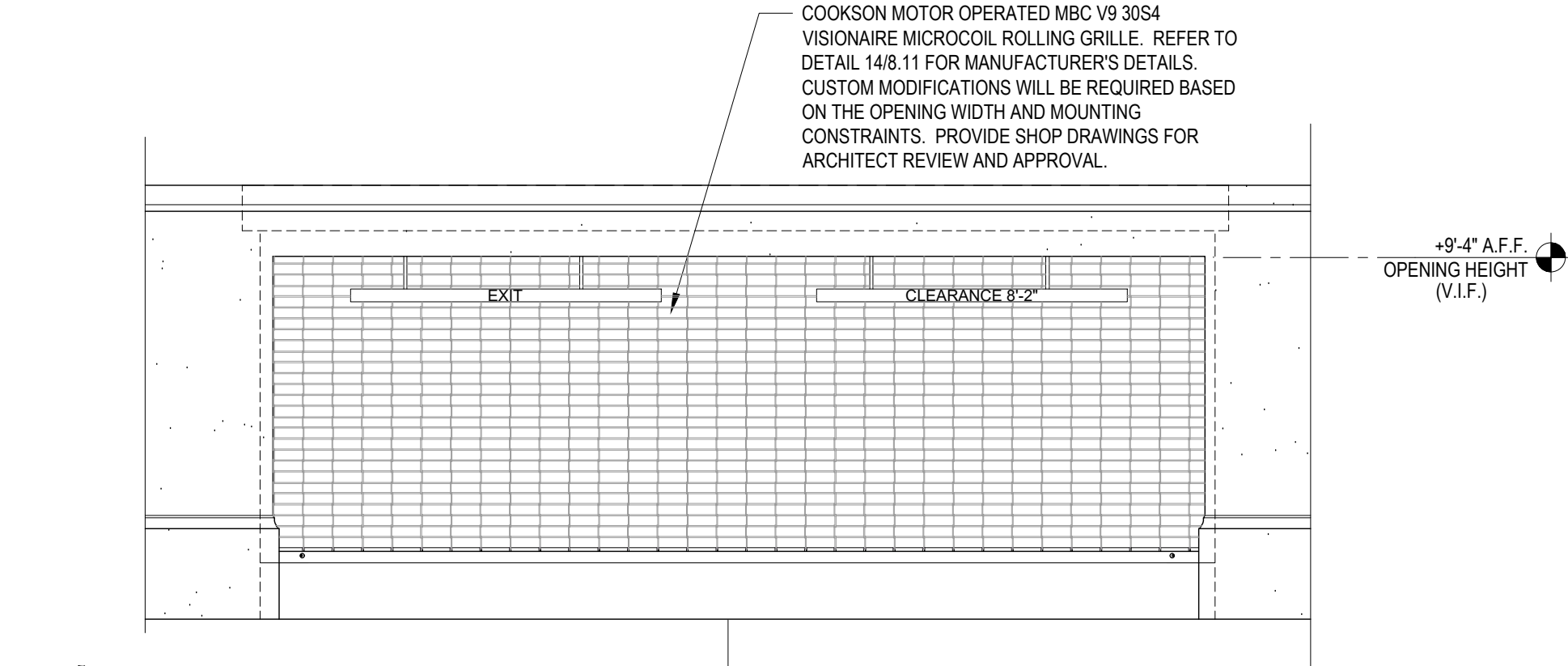
**ENTRY 4 PLAN VIEW**



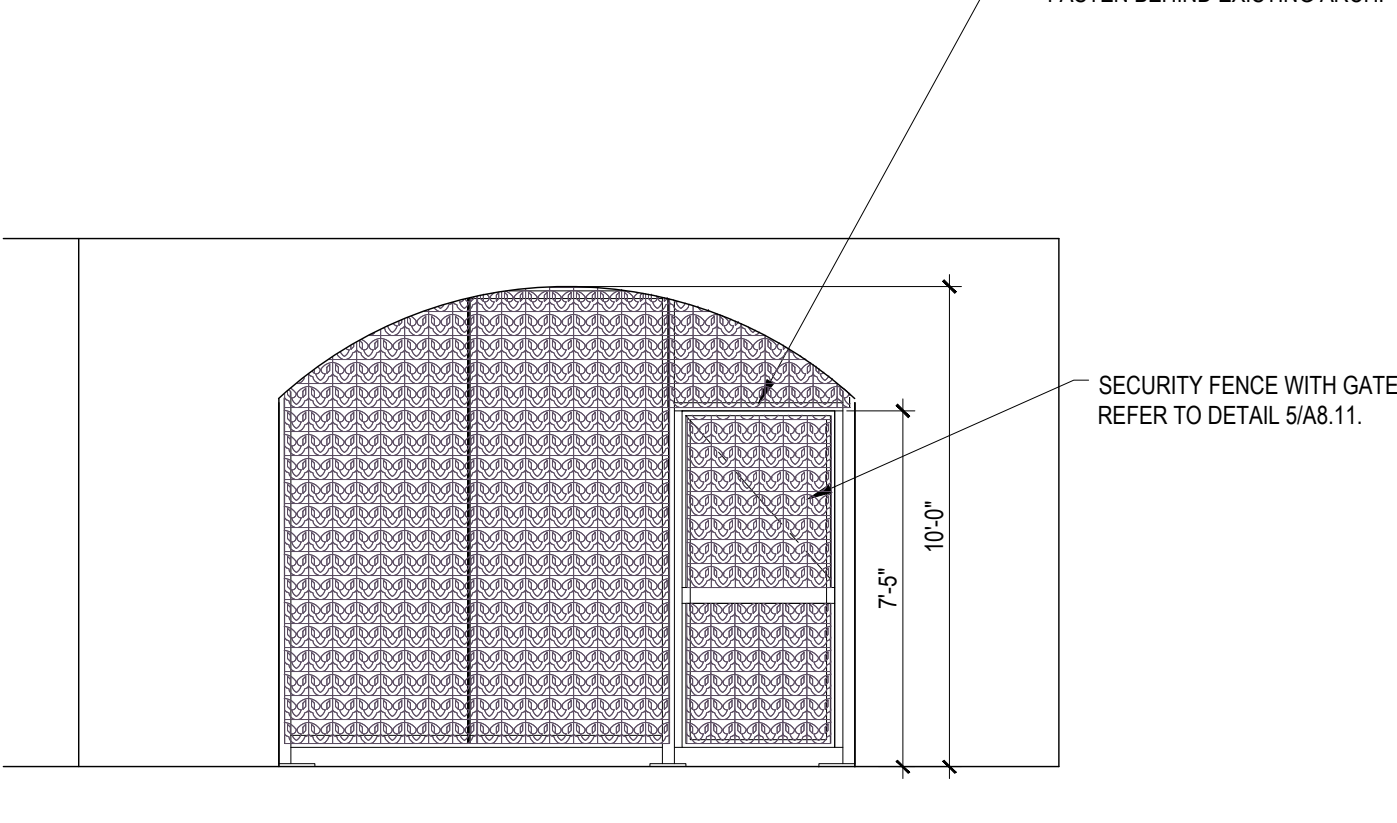
**ENTRY 5 PLAN VIEW**



**ENTRY 3 ELEVATION**



**ENTRY 4 ELEVATION**



**ENTRY 5 ELEVATION**

**ENTRY 3**  
SCALE: 1/4" = 1'-0"

**ENTRY 4**  
SCALE: 1/4" = 1'-0"

**ENTRY 5**  
SCALE: 1/4" = 1'-0"



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FLOOR PLANS AND ELEVATIONS  
AT ENTRY 3, 4 AND 5



