



Project: New 2-story single family residence
2035 Santa Cruz Avenue, Menlo Park, Calif.

PROJECT DESCRIPTION

The 5,625 s.f. lot is a substandard size parcel located at 2035 Santa Cruz Avenue. A Use Permit is required for the proposed two-story single family residence. The property is located in R-1-U zoning district in the neighborhood consists mainly of single family homes. The proposed development will reinforce the same neighborhood pattern and character.

The existing one-story single family residence to be demolished is a Ranch style home built in 1946. It has 1,116 of habitable area with a detached 2-car garage at the rear yard.

A new two-story single family home with attached two-car garage and attached accessory dwelling unit are being proposed. The proposed two-car garage will be located on the right side. The proposed new home will be located 20 feet from the front property line, and 31'-7" from the rear property line. The 2nd floor has further setbacks from the ground floor and the daylight planes. Along with the covered porch at the front, the overall mass of the new house will be minimized.

Besides, all the ground floor plate height is kept at 9'-0" and the 2nd floor is at 8'-6". The overall building height is significantly below the maximum height limit of 28'-0".

The new house style is a transitional contemporary with pitched roof and cement plaster finish, which are compatible with the general house style in the neighborhood.

Existing & Proposed Uses:

The existing use is one-story single family residence. The proposed home will also be a two-story single family residence with an attached accessory dwelling unit.

The existing landscaping screen trees in the front and rear yard will be mostly preserved to protect the neighbors' privacy.

Project Outreach:

The property owner reached out to the adjacent left, right, and rear neighbors about this project. The neighbor at the 2031 Santa Cruz (left side neighbor) is a tenant. He has no comments. The neighbor at 2042 Santa Cruz (right side neighbor) did not bring forth any concerns at this time. The neighbor at 705 Stanford (rear neighbor) request landscaping / privacy screening along the rear property line. Since all the matures trees at the rear yard are preserved, there shall be sufficient privacy screening.

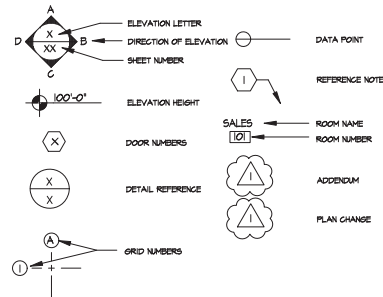
NEW RESIDENCE NEW SINGLE FAMILY RESIDENCE+ ADU

2035 SANTA CRUZ AVENUE
MENLO PARK, CA 94025



REVISIONS

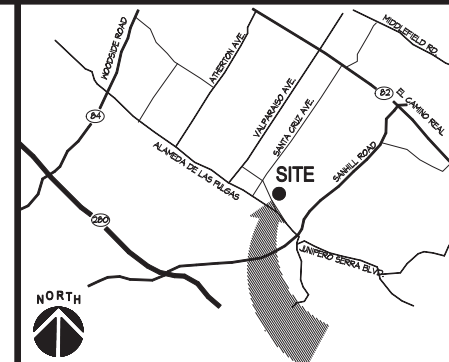
SYMBOL / LEGEND



PROJECT SCOPE

1. NEW 2- STORY HOUSE, W/ 2794 S.F. INCLUDING ATTACHED 2-CAR GARAGE
2. NEW ATTACHED 564 S.F. ADU.

VICINITY MAP



PROJECT CONTACT

OWNER
ABD KABBANI & TOUFIC KABBANI
2035 SANTA CRUZ AVENUE
MENLO PARK, CA 94025
EMAIL: akabbani@gmail.com

ARCHITECT
MARCH DESIGN
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LOS ALTOS, CA 94022
(650) 502-1907
(650) 510-0500 FAX
EMAIL: mmo.01@gmail.com

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KEC & ASSOCIATES
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PALO ALTO, CA 94306
(650) 825-6466
(650) 881-0232 FAX
EMAIL: ed@keceng.com

GENERAL CONTRACTOR
SIX SIGMA CONSTRUCTION, INC.
3025 SCOTT BLVD, SUITE C
SANTA CLARA, CA 95054
(408) 894-1281
EMAIL: kturner@sixsigmaconstruction.com

ARBORIST
MCGLENANAHAN CONSULTING, LLC
1 ARASTRADERO ROAD
PORTOLA VALLEY, CA 94028
(650) 526-8788
(650) 864-1281 FAX
EMAIL: john@spmcclenanahan.com

DRAWING INDEX

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- A1.0 TITLE SHEET
 - A1.1 AREA MAP, STREETSCAPE & TREE PRESERVATION GUIDELINES
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 - A2.1 PROPOSED FLOOR PLANS
 - A2.2 PROPOSED ROOF PLAN
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- CIVIL**
- C.0 TOPOGRAPHIC SURVEY

PROJECT SUMMARY

1. OWNER:	ABD KABBANI & TOUFIC KABBANI		
2. PROJECT SITE:	2035 SANTA CRUZ AVE, MENLO PARK, CA 94025		
3. APN:	074-092-240		
4. ZONING:	R-1U		
5. OCCUPANCY CLASSIFICATION:	RS/ U		
6. CONSTRUCTION TYPE:	V-B		
7. NUMBER OF STORIES:	2		
8. LOT SIZE:	5629 S.F.		
9. SETBACK:	FRONT:	REQUIRED:	PROPOSED:
	REAR:	20'-0"	20'-0"
	RIGHT SIDE:	9'-0"	9'-0"
	LEFT SIDE:	9'-0"	9'-0"
10. BUILDING HEIGHT:	24'-8"		
11. MAXIMUM FLOOR AREA LIMIT (FAL):	2800 S.F.		
12. MAXIMUM ALLOWED BLDG. COVERAGE:	1944 S.F.		
13. FLOOR AREA CALCULATION:	GARAGE:	456.9 S.F.	
	FIRST FLOOR:	1281 S.F.	
	SECOND FLOOR:	1471 S.F.	
	TOTAL FLOOR AREA:	2799.6 S.F.	
	ATTACHED ADU:	564.9 S.F.	
14. BLDG. SITE COVERAGE CALCULATION:	GARAGE:	456.9 S.F.	
	FIRST FLOOR:	1281 S.F.	
	ENTRY PORCH:	156.4 S.F.	
	COVERED PATIO:	121.1 S.F.	
	BAY WINDOWS:	52.0 S.F.	
	TOTAL:	1467.4 S.F.	
15. INSTALL A NFPA IS-D AUTOMATIC FIRE SPRINKLER SYSTEM INCLUDING ATTIC SPACE AND COVERED PORCH PATIO			

APPLICABLE CODES

- 2019 CBC, CPC, CFC, CMG, CEC, CALIFORNIA ENERGY CODE AND CITY OF MENLO PARK MUNICIPAL CODES & ORDINANCES
- 2019 CALIFORNIA BUILDING CODE (CBC)
- 2019 CALIFORNIA RESIDENTIAL CODE (CRC)
- 2019 CALIFORNIA MECHANICAL CODE (CMC)
- 2019 CALIFORNIA PLUMBING CODE (CPC)
- 2019 CALIFORNIA ELECTRICAL CODE (CEC)
- 2019 CALIFORNIA GREEN BUILDING CODE (CALGREEN)
- 2019 CALIFORNIA FIRE CODE (CFR) WITH LOCAL AMENDMENTS
- 2019 STATE OF CALIFORNIA TITLE 24 ENERGY REGULATIONS
- 2019 NFPA 9

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 MENLO PARK, CA 94025
 APN: 074-092-240

CLIENT

DATE 04/18/22

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DRAWN MM

JOB NO.

TITLE SHEET

A1.0



COMMUNITY DEVELOPMENT DEPT.
701 Laurel Street
Menlo Park, CA 94025
650.320.6704
2/23/2011

TREE PROTECTION SPECIFICATIONS

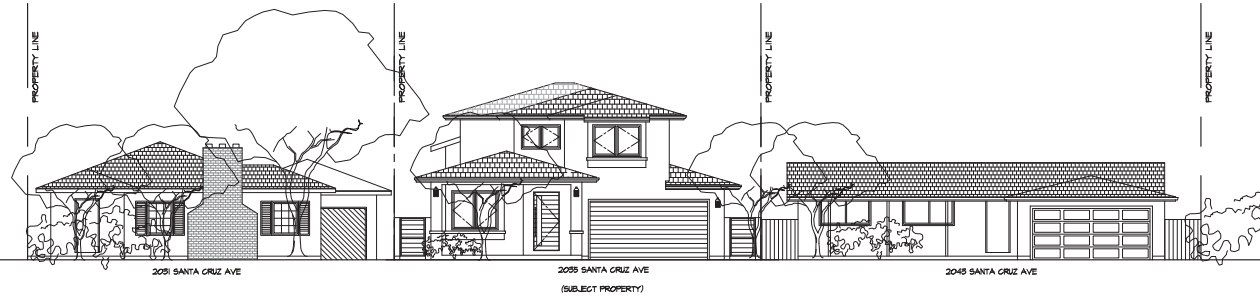
- A 6" layer of coarse mulch or woodchips is to be placed beneath the dripline of the protected trees. Mulch is to be kept 12" from the trunk.
- A protective barrier of 0" chain link fencing shall be installed around the dripline of protected trees. The fencing can be moved within the dripline if authorized by the Project Arborist or City Arborist but not closer than 2' from the trunk of any tree. Fence posts shall be 1.2" in diameter and are to be driven 2' into the ground. The distance between posts shall not be more than 10'. The enclosed area is the Tree Protection Zone (TPZ).
- Wadable barriers of chain link fencing secured in cement blocks can be substituted for "Fixed" Fencing if the Project Arborist and City Arborist agree that the Fencing will have to be moved to accommodate certain phases of construction. The builder may not move the fence without authorization from the Project Arborist or City Arborist.
- Where the City Arborist or Project Arborist has determined that tree protection fencing will interfere with the safety of work crews, Tree Wrap may be used as an alternative form of tree protection. Wooden slats at least one inch thick are to be bound securely, edge to edge, around the trunk. A single layer or more of orange plastic construction flashing is to be wrapped and secured around the outside of the wooden slats. Major scaffold limbs may require protection as determined by the City Arborist or Project Arborist. Straw waddle may also be used as a trunk wrap by coating the waddle around the trunk up to a maximum height of six feet from grade. A single layer or more of orange plastic construction fencing is to be wrapped and secured around the straw waddle.
- Avoid the following conditions:
DO NOT:
 - Allow run off of spillage of damaging materials into the area below any tree canopy.
 - Store materials, stockpile rock, or park or drive vehicles within the TPZ.
 - Cut, break, skin, or bruise roots, branches, or trunks without first obtaining authorization from the City Arborist.
 - Allow fires under and adjacent to trees.
 - Discharge exhaust into foliage.
 - Secure cable, chain, or rope to trees or slabs.
 - Trench, dig, or otherwise excavate within the dripline or TPZ of the tree(s) without first obtaining authorization from the City Arborist.
 - Apply soil sterilants under pavement near existing trees.
- Only excavation by hand or compressed air shall be allowed within the dripline of trees. Machine trenching shall not be allowed.
- Avoid injury to tree roots. When a ditching machine, which is being used outside of the dripline of trees, encounters roots smaller than 2" in diameter, the wall of the trench adjacent to the trees shall be hand finished, making clear, clean cuts through the roots. All damaged, torn and cut roots shall be given a clean cut to remove ragged edges, which promote decay. Trenches shall be filled within 24 hours, but where this is not possible, the side of the trench adjacent to the trees shall be kept shaded with four tiers of dampened, untreated burlap, wetted as frequently as necessary to keep the burlap wet. Roots 2" or larger, when encountered, shall be reported immediately to the Project Arborist, who will decide whether the Contractor may cut the root as mentioned above or shall excavate by hand or with compressed air under the root. Roots to be protected with dampened burlap.
- Route pipes outside of the area that is 10 times the diameter of a protected tree to avoid conflict with roots.
- Where it is not possible to reroute pipes or trenches, the contractor shall bore beneath the dripline of the trees. The boring shall take place not less than 3" below the surface of the soil in order to avoid encountering "Tocker" roots.
- Trees that have been identified as the arborist's report as being in poor health and/or posing a health or safety risk, may be removed or pruned by more than one-third, subject to approval of the required permit by the Planning Division. Pruning of existing limbs and roots shall only occur under the direction of a Certified Arborist.
- Any damage due to construction activities shall be reported to the Project Arborist or City Arborist within six hours so that remedial action can be taken.
- An ISA Certified Arborist or ASCA Registered Consulting Arborist shall be retained as the Project Arborist to monitor the tree protection specifications. The Project Arborist shall be responsible for the preservation of the designated trees. Should the builder fail to follow the tree protection specifications, it shall be the responsibility of the Project Arborist to report the matter to the City Arborist as an issue of non-compliance.
- Violation of any of the above provisions may result in sanctions or other disciplinary action.

MONTHLY INSPECTIONS

It is required that the site arborist provide periodic inspections during construction. Four-week intervals would be sufficient to access and monitor the effectiveness of the Tree Protection Plan and to provide recommendations for any additional care or treatment.

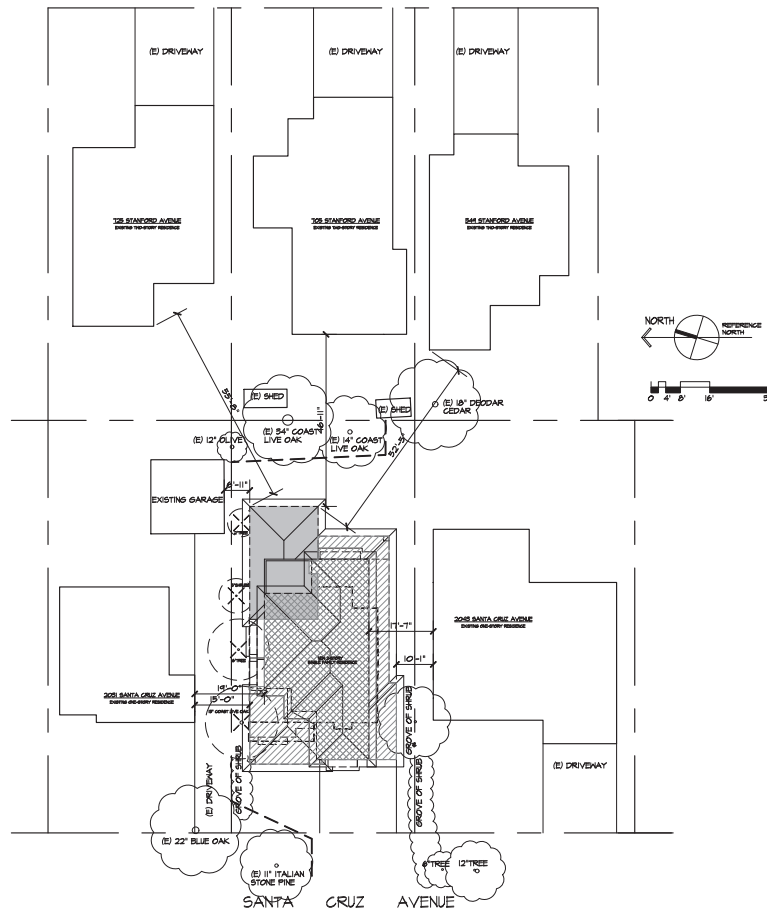
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1) STREETScape

1/8"=1'-0"



- LEGEND**
- PROPERTY LINE
 - - - TREE PROTECTION FENCE & TALL METAL CHAINLINK TYPE SEE LISTINGS FOR ADDITIONAL INFO
 - (T) TREE TO REMAIN
 - (R) TREE TO BE REMOVED SEE TREE TABLE & ARBORIST REPORT
 - (D) RESIDENCE & DETACHED GARAGE TO BE REMOVED
 - [Hatched Box] PROPOSED FIRST FLOOR OF NEW HOUSE
 - [Cross-hatched Box] PROPOSED SECOND FLOOR OF NEW HOUSE
 - [Solid Grey Box] PROPOSED ATTACHED ADU

2) AREA MAP

1/16"=1'-0"

LEGEND

3) TREE PRESERVATION GUIDELINES

ARCHITECTURE | INTERIOR | PLANNING
111 HAN STREET SUITE 25
LOS ALTOS, CA 94022
650.320.2807
info@marchdesign.com

REVISIONS

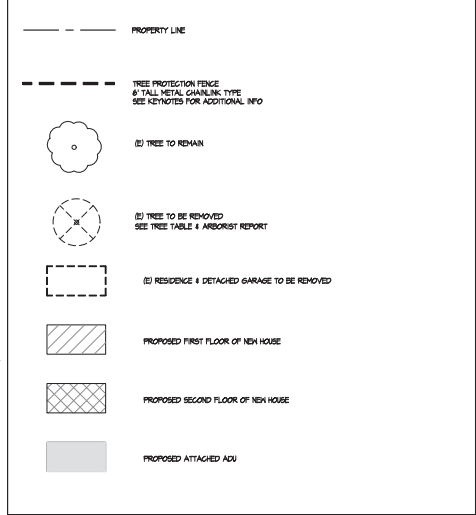
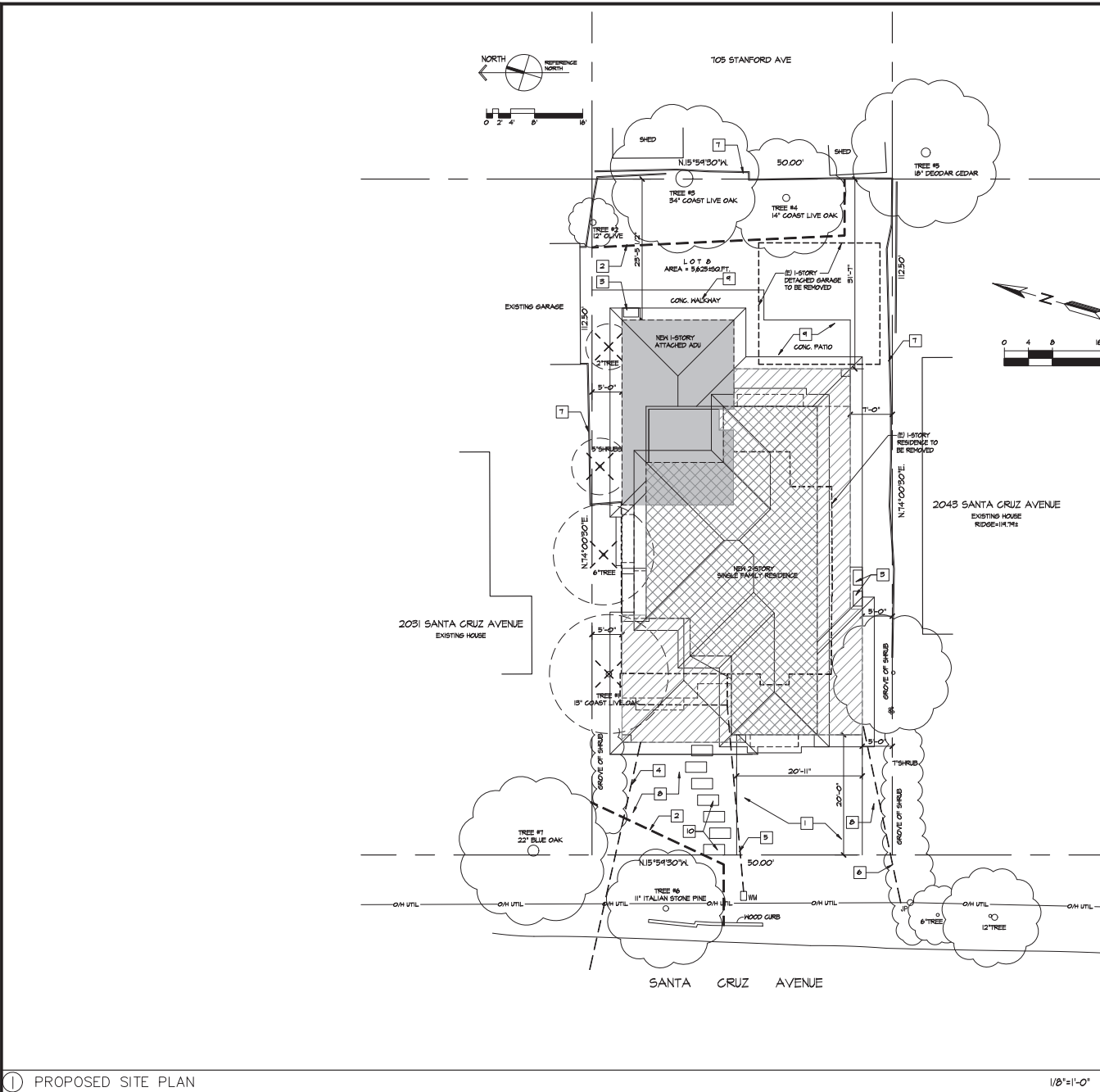
**NEW RESIDENCE
NEW SINGLE FAMILY RESIDENCE + ADU**
2055 SANTA CRUZ AVENUE
MENLO PARK, CA 94025
APN: 074-082-240

CLIENT

DATE	04/18/22
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**AREA MAP
STREETSCAPE &
TREE PRESERVATION**

A1.1



- LEGEND**
- A. BUILDING SETBACK VERIFICATION. PRIOR TO FOUNDATION INSPECTION BY THE CITY, THE LLS OF RECORD SHALL PROVIDE A WRITTEN CERTIFICATION THAT ALL BUILDING SETBACKS ARE PER THE APPROVED PLANS.
 - B. ALL REMAINING EXISTING LANDSCAPE TO BE PROTECTED FROM DAMAGE DURING CONSTRUCTION, TYPICAL.
 - C. REMOVE EXISTING LANDSCAPE WHERE NEW CONSTRUCTION OCCURRED, VERIFY WITH OWNER FOR ITEM TO BE SAVED AND REUSE.
 - D. REMOVE EXISTING FENCE WHERE NEW CONSTRUCTION OCCURRED.
 - E. SEE SOIL REPORT FOR SITE & FOUNDATION COMPACTION & GRADING REQUIREMENTS.
 - F. ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY MUST HAVE AN APPROVED PERMIT FOR CONSTRUCTION IN THE PUBLIC STREET PRIOR TO COMMENCEMENT OF WORK. APPLY FOR THIS PERMIT AT THE PUBLIC WORKS ENGINEERING (PWE) DIVISION. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY.
 - G. REFER TO SHT. C-1 FOR DOWNSPOUT/ SPLASH BLOCK LOCATIONS.
 - H. REMOVE ALL (E) ONSITE SUBGRADE SEWER LINE & REPLACE WITH NEW.

- GENERAL NOTES**
- 1 NEW CONC. DRIVEWAY.
 - 2 TREE PROTECTION FENCE: 6" TALL METAL CHAINLINK TYPE SUPPORTED BY 2" METAL POLES DRIVEN INTO THE GROUND BY NO LESS THAN 2'. SEE TREE PROTECTION ON ARBORIST REPORT.
 - 3 HEAT PUMP ON NEW CONC. PAD. NEW HVAC EQUIPMENT SHALL NOT EXCEED 800BA AT NIGHT AND 60 DBA DURING THE DAY AT THE NEAREST RESIDENTIAL PROPERTY LINE.
 - 4 APPROX. LOCATION OF NEW 4" SANITARY SEWER LINE.
 - 5 APPROX. LOCATION OF NEW 2" WATER LINE.
 - 6 APPROX. LOCATION OF NEW 400AMP ELEC. DROP.
 - 7 (E) NO. FENCE TO REMAIN. VERIFY WITH OWNER.
 - 8 (N) LANDSCAPING.
 - 9 (N) CONC. WALKWAY & PATIO.
 - 10 (N) CONC. STEPPING STONE.

KEYNOTES

EXISTING	SPECIES	DBH	HEIGHT	RETAINED OR REMOVED
1	COAST LIVE OAK	18"	11'-20"	REMOVED
2	OLIVE	12"	11'-25"	RETAINED
3	COAST LIVE OAK	54"	11'-50"	RETAINED
4	COAST LIVE OAK	14"	11'-8"	RETAINED
5	DEODAR CEDAR	18"	11'-50"	RETAINED
6	ITALIAN STONE PINE	11"	11'-20"	RETAINED
7	BLUE OAK	22"	11'-20"	RETAINED

SEE ARBORIST REPORT FOR DETAILED INFORMATION.

1/8"=1'-0" TREE TABLE (EXISTING TREES)

1 PROPOSED SITE PLAN



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2043 SANTA CRUZ AVENUE
MENLO PARK, CA 94025
APN: 074-082-240

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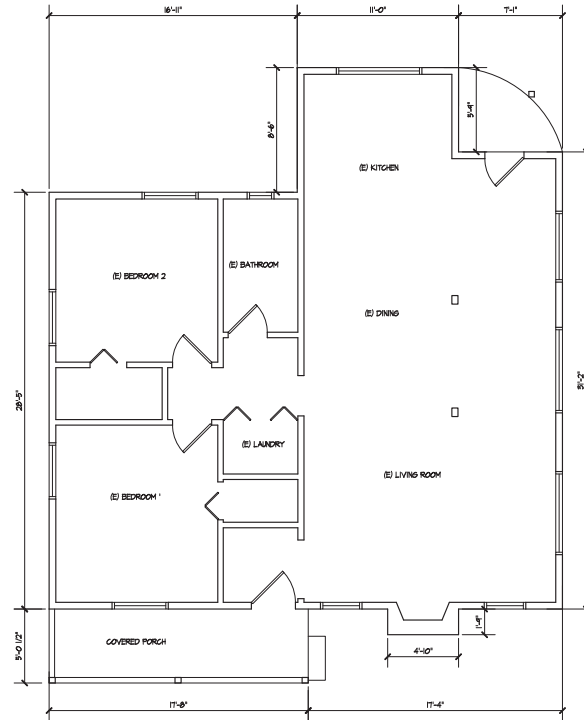
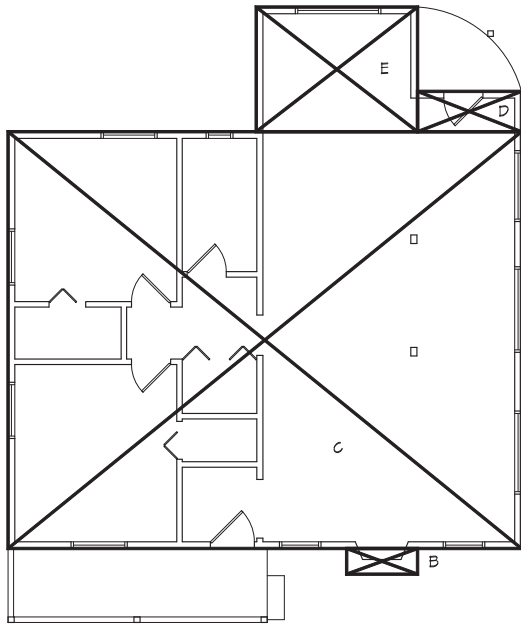
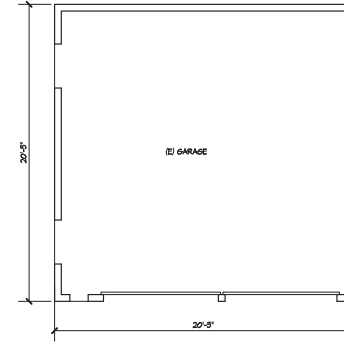
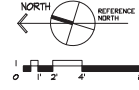
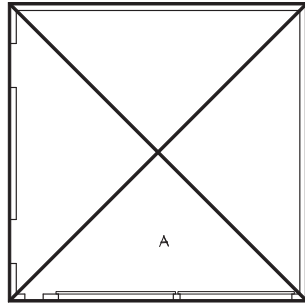
JOB NO.

PROPOSED SITE PLAN

A1.2

FLOOR AREA CALCULATION

SECTION	DIMENSIONS	AREA
A	20'-3" X 20'-3"	410.1
B	4'-10" X 1'-4"	8.5
C	35'-0" X 28'-5"	994.6
D	7'-1" X 2'-4"	18.5
E	11'-0" X 8'-6"	95.5
TOTAL		1526.2



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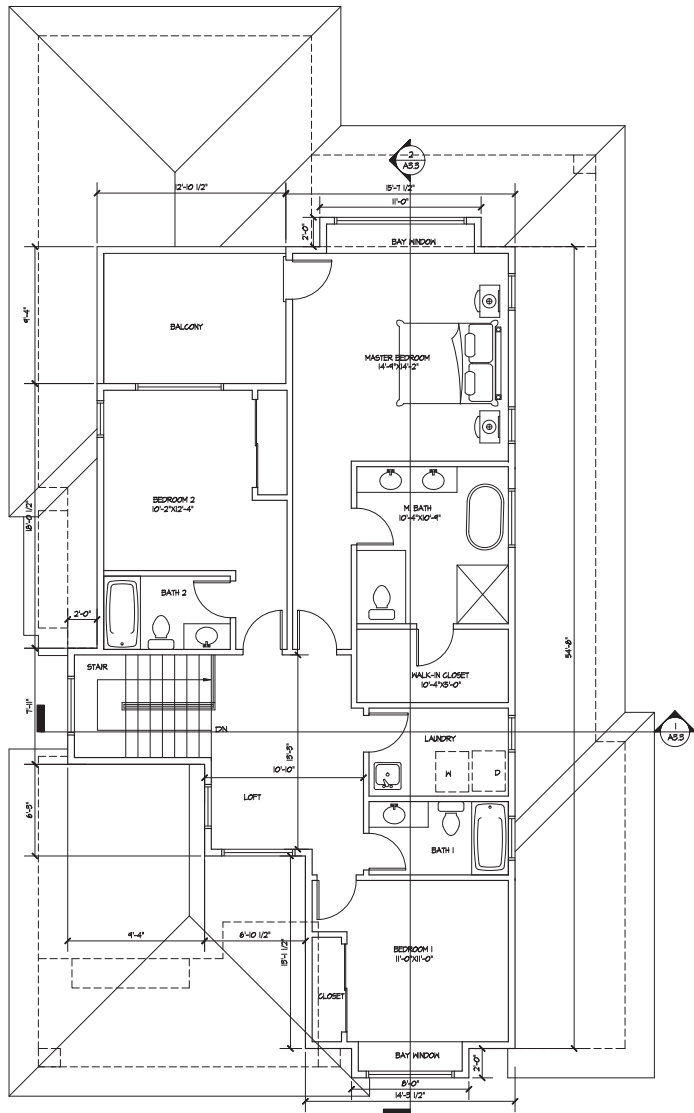
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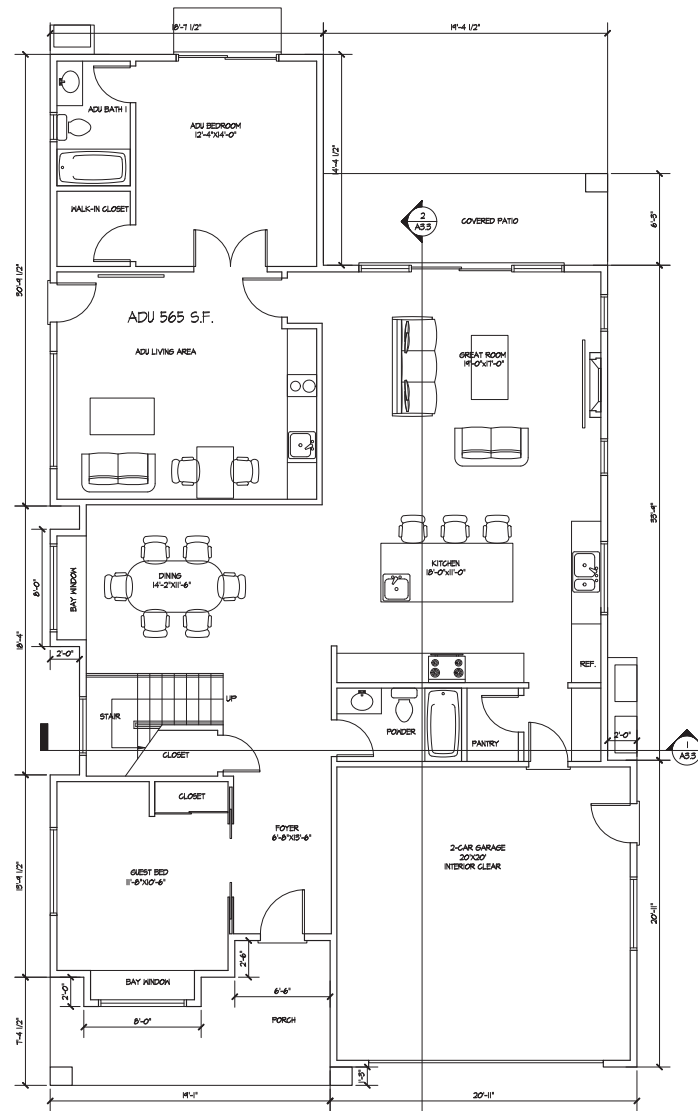
EXISTING FLOOR PLANS & AREA CALC.

A2.0



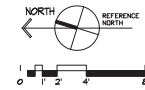
② PROPOSED UPPER FLOOR PLAN

1/4" = 1'-0"



① PROPOSED GROUND FLOOR PLAN

1/4" = 1'-0"



**March
DESIGN**
ARCHITECTURE | INTERIOR | PLANNING
111 MAIN STREET, SUITE 210
LOS ALTOS, CA 94022
650.562.1807
info@marchdesign.com

REVISIONS

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**PROPOSED
FLOOR PLANS**

A2.1



MARCH
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ARCHITECTURE | INTERIOR | PLANNING
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NEW RESIDENCE
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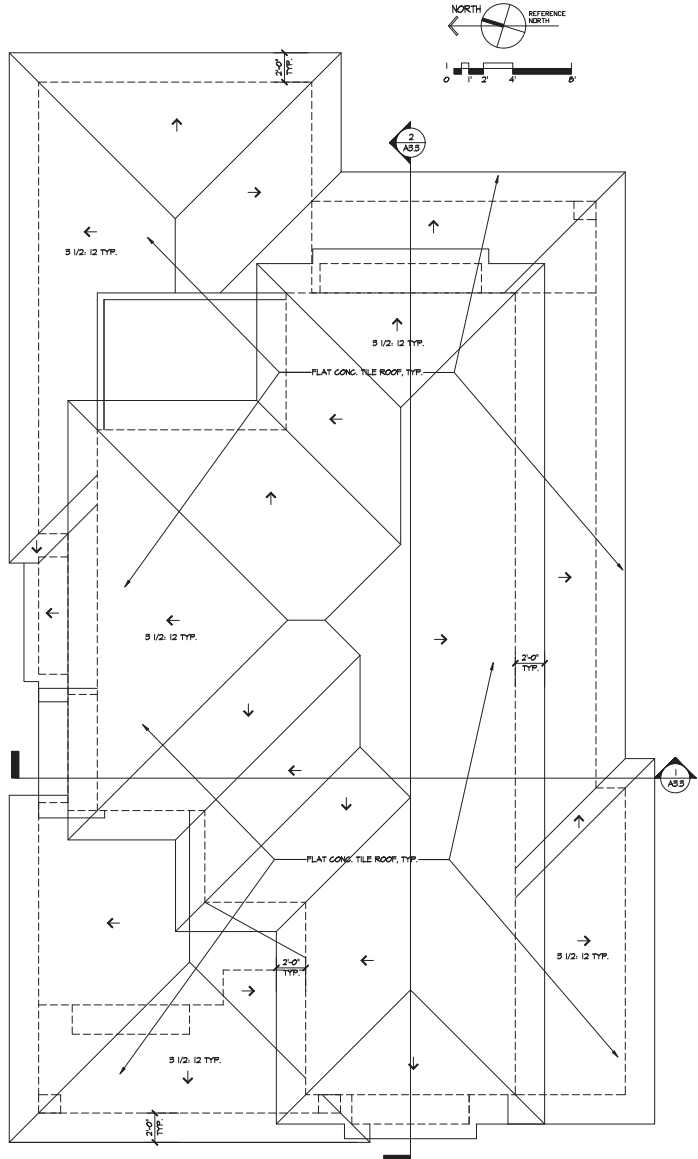
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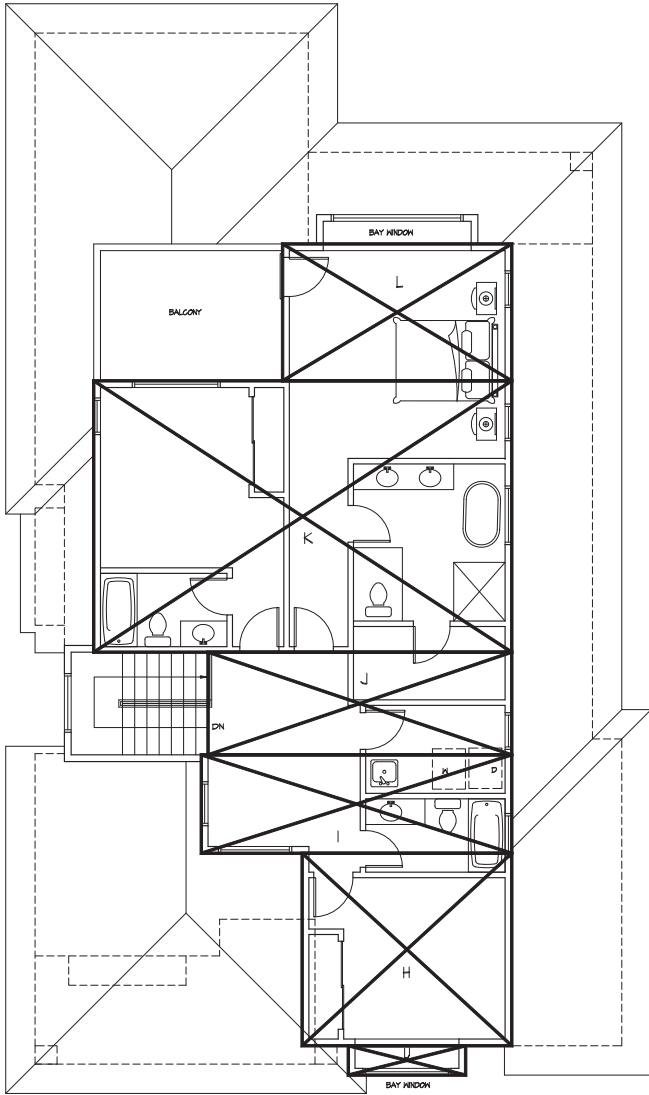
**PROPOSED
ROOF PLAN**

A2.2



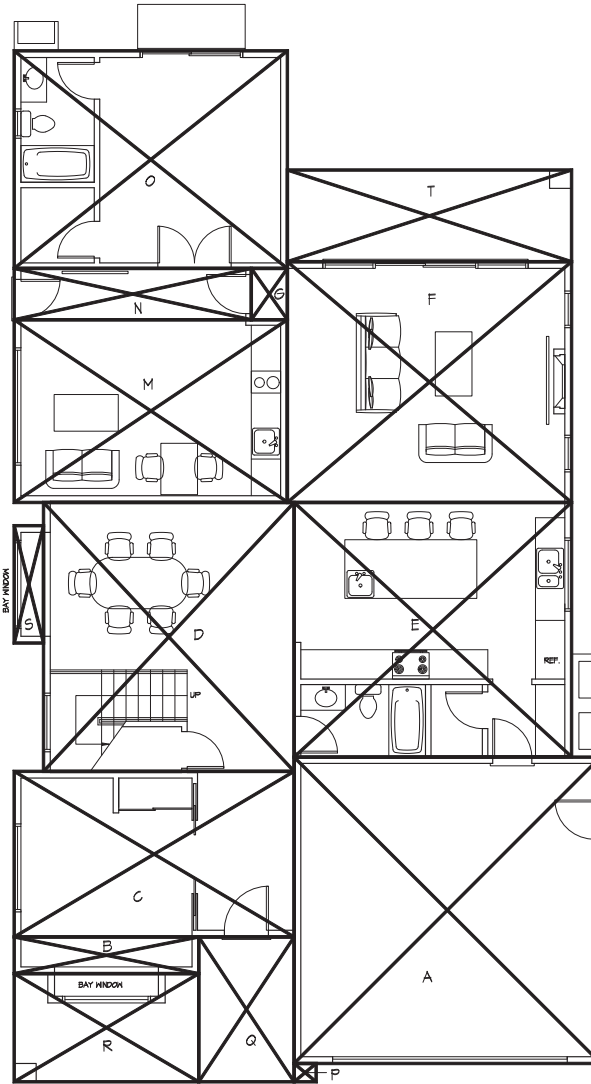
① PROPOSED ROOF PLAN

1/4" = 1'-0"



② PROPOSED SECOND FLOOR AREA CALCULATION

1/4" = 1'-0"



① PROPOSED GROUND FLOOR AREA CALCULATION

1/4" = 1'-0"

FLOOR AREA CALCULATION

FIRST FLOOR

SECTION	DIMENSIONS	AREA
A	20'-11" X 20'-11"	436.6
B	12'-7" X 2'-6"	31.5
C	14'-1" X 11'-3 1/2"	215.5
D	17'-1" X 18'-4"	313.2
E	18'-11" X 17'-4"	528.2
F	14'-4 1/2" X 18'-5"	318.1
G	2'-5 1/2" X 8'-6"	22.6
SUBTOTAL		1251.7

SECOND FLOOR

SECTION	DIMENSIONS	AREA
H	14'-5 1/2" X 13'-1 1/2"	181.6
I	21'-2" X 6'-8 1/2"	142.0
J	20'-8 1/2" X 7'-0"	145.0
K	23'-6" X 18'-6"	521.3
L	15'-1 1/2" X 8'-4"	145.8
SUBTOTAL		1141.7

TOTAL FLOOR AREA 2,393.6 SF < 2,800 SF

ATTACHED ADU

SECTION	DIMENSIONS	AREA
M	18'-1 1/2" X 12'-5 1/2"	232.0
N	16'-2" X 3'-6"	56.6
O	18'-1 1/2" X 14'-10"	276.3
SUBTOTAL		564.9

FLOOR COVERAGE CALCULATION

SECTION	DIMENSIONS	AREA
FIRST FLOOR AREA		1251.7
P	1'-6" X 1'-3"	1.9
Q	6'-6" X 4'-10 1/2"	64.2
R	12'-7" X 1'-4 1/2"	42.8
S	2'-0" X 8'-0"	16.0
T	14'-4 1/2" X 6'-3"	121.1
U	8'-0" X 2'-0"	16.0
TOTAL		1463.9

TOTAL COVERAGE 1,463.9 SF < 1,461 SF



**March
DESIGN**
ARCHITECTURE | INTERIOR | PLANNING
111 MAIN STREET, SUITE 210
LOS ALTOS, CA 94022
650.562.7807
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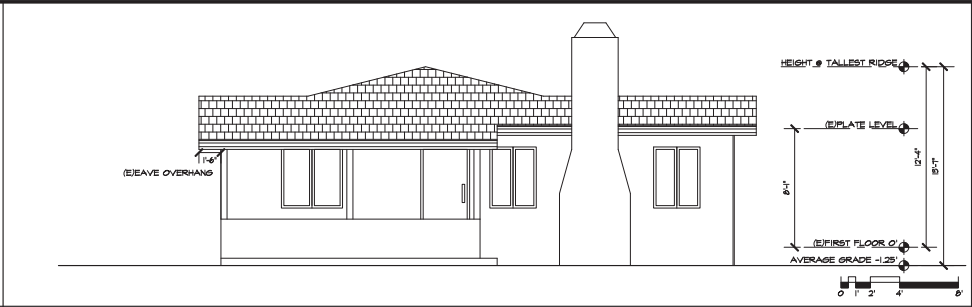
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**FLOOR AREA
& COVERAGE
CALCULATIONS**

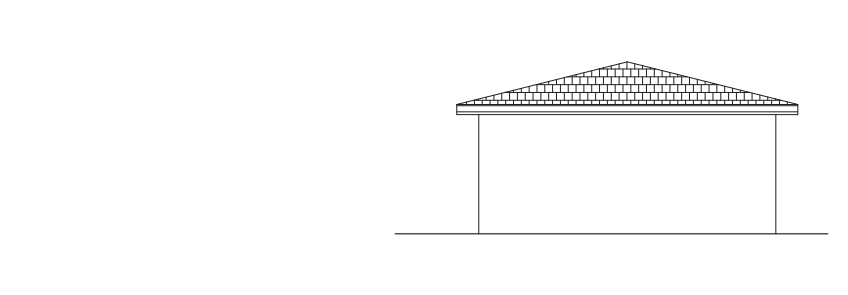
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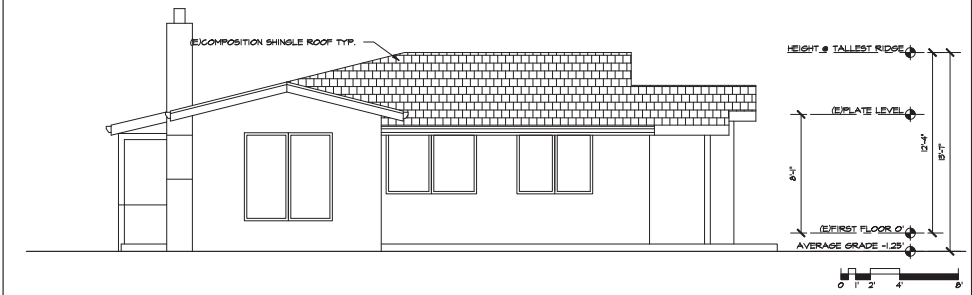
⑤ EXISTING GARAGE FRONT ELEVATION (WEST) 1/4" = 1'-0"



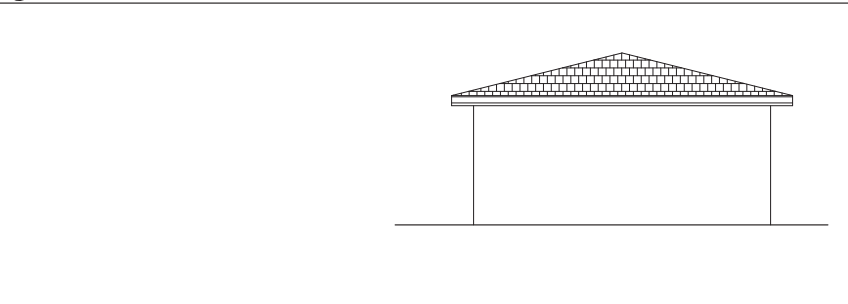
① EXISTING HOUSE FRONT (STREET) ELEVATION (WEST) 1/4" = 1'-0"



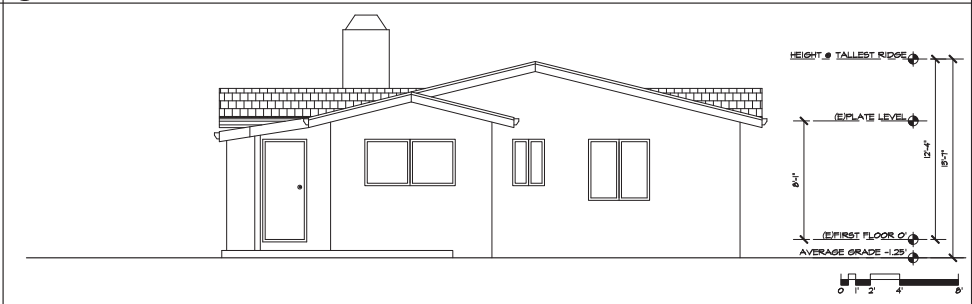
⑥ EXISTING GARAGE LEFT SIDE ELEVATION (NORTH) 1/4" = 1'-0"



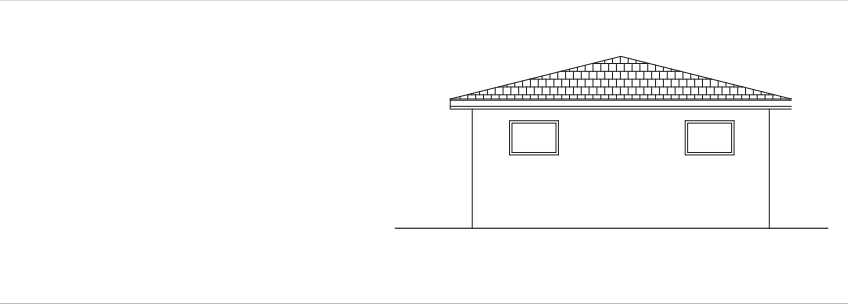
② EXISTING HOUSE LEFT SIDE ELEVATION (NORTH) 1/4" = 1'-0"



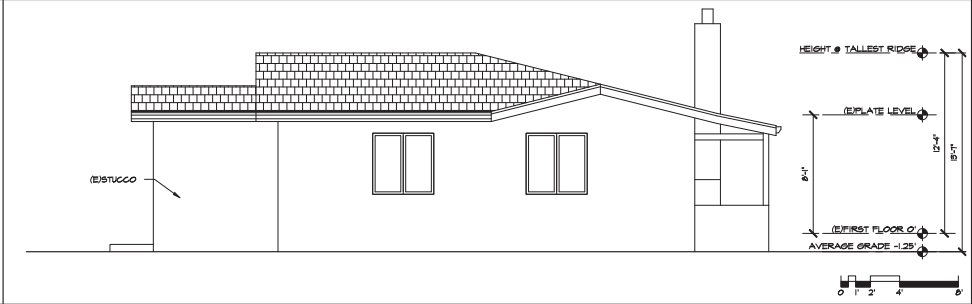
⑦ EXISTING GARAGE REAR ELEVATION (EAST) 1/4" = 1'-0"



③ EXISTING HOUSE REAR ELEVATION (EAST) 1/4" = 1'-0"



⑧ EXISTING GARAGE RIGHT SIDE ELEVATION (SOUTH) 1/4" = 1'-0"



④ EXISTING HOUSE RIGHT SIDE ELEVATION (SOUTH) 1/4" = 1'-0"

**March
DESIGN**
ARCHITECTURE | INTERIOR | PLANNING
111 MAIN STREET, SUITE 210
LOS ALTOS, CA 94022
800.562.1807
info@month.design

REVISIONS

NEW RESIDENCE
NEW SINGLE FAMILY RESIDENCE + ADU
2085 SANTA CRUZ AVENUE
MENLO PARK, CA 94025
APN: 074-082-240

CLIENT

EXISTING
EXTERIOR
ELEVATIONS

DATE 04/18/22
CHECKED
DRAWN MM
JOB NO.
A3.0

