



ARCHITECTURE + INTERIORS

Project Description Letter

212 Ivy Drive, Menlo Park CA, 94025

This project proposes a one-story addition and remodel of an existing one-story family residence.

The addition includes a new Primary Bedroom with an ensuite bath and walk-in closet. The remodeling includes reconfiguration of the Kitchen, Dining Room, Bathroom 2, Bedrooms 2, Guest/Bedroom 3 and Office/Bedroom 4 and a new Family Room and Laundry Room.

The addition will add 710 sf, and the total lot coverage is proposed to be 2,300sf. The overall height will be +/- 15'-4.

The home is a one-story ranch-style home and the addition will match the same style as the rest of the house. The rear of the home where the addition is going to be, will have the same horizontal sidings and same white color. We'll have new windows at the rear, left and right side of the home, leaving the existing windows at the front of the house. A new entry door is proposed.

The addition will have a new composition shingle roof to match the existing.

Yadira and Michael DiSiena, the homeowners, have already reached out to their nearest neighbors to expose and explain the scope of work they're proposing to do in their home. All of them have had a good reception on the project.

212 IVY DRIVE

MENLO PARK, CA 94025



ARCHITECTURE + INTERIORS

| GENERAL NOTES | PROJECT DATA | PROJECT TEAM | DRAWING SHEET INDEX | | | | | | | | | | | | | | | | | | | | | | | | |
|--|---|---|---------------------|-------------|---------|-----------|---------|------------|-----------|---------------------|---------|-------------|---------|------------|-----------|-------------|---------|-----------|---------|------------|-----------|-------------|---------|---------------------|---------|--|---|
| <p>1. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF THE PROJECT. NEITHER THE OWNER NOR THE ARCHITECT IS RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO FOLLOW THE PROPER SAFETY PROCEDURES.</p> <p>2. ALL CODES HAVING JURISDICTION ARE HEREBY MADE A PART OF THIS DOCUMENT AND ARE TO BE STRICTLY OBSERVED BY THE CONTRACTOR IN THE CONSTRUCTION OF THE PROJECT. IN THE EVENT OF CONFLICT BETWEEN THESE DOCUMENTS AND THE CODE, THE CODE SHALL PREVAIL. ANY CONFLICT OR DISCREPANCY SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ARCHITECT.</p> <p>3. ALL WORK TO BE ACCEPTABLE MUST BE IN COMPLIANCE WITH THESE DRAWINGS AND SPECIFICATIONS AND MUST BE OF A QUALITY EQUAL TO OR BETTER THAN THE STANDARD OF THE TRADE. FINISHED WORKS SHALL BE FIRM, LEVEL-ANCHORED, IN TRUE ALIGNMENT, PLUMB, AND LEVEL, WITH A SMOOTH, CLEAN, UNIFORM APPEARANCE.</p> <p>4. THE CONTRACTOR SHALL AT ALL TIMES PROVIDE PROTECTION AGAINST WEATHER, RAIN, WINDSTORMS, OR HEAT TO MAINTAIN ALL WORK, MATERIALS, EQUIPMENT, AND APPARATUS FREE FROM INJURY OR DAMAGE.</p> <p>5. THE CONTRACTOR SHALL VISIT THE PROJECT SITE AND EXAMINE THE NATURE OF THE EXISTING CONDITIONS AND ALL OTHER CONDITIONS RELEVANT TO THE SATISFACTORY COMPLETION OF THE PROJECT. SUBMISSION OF A BID FOR CONSTRUCTION SHALL BE CONSIDERED EVIDENCE OF SUCH EXAMINATION BY THE CONTRACTOR.</p> <p>6. BEFORE ORDERING MATERIAL OR COMMENCING WORK WHICH IS DEPENDENT ON THE PROPER SIZE AND INSTALLATION UPON COORDINATION WITH CONDITIONS IN THE BUILDING. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS. ANY DISCREPANCIES BETWEEN THE DOCUMENTS AND THE EXISTING CONDITIONS SHALL BE REFERRED TO THE ARCHITECT FOR ADJUSTMENTS BEFORE ANY WORK BEGINS OR MATERIALS ARE PURCHASED.</p> <p>7. MATERIALS, PRODUCTS, AND EQUIPMENT SHALL ALL BE NEW EXCEPT AS SPECIFICALLY NOTED OTHERWISE.</p> <p>8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER STORING OF ALL DEBRIS IN A LOCATION OF THE PROPERTY APPROVED BY THE OWNER AND SHALL REMOVE THE SAME PROMPTLY DURING THE ENTIRE COURSE OF WORK.</p> <p>9. THE CONTRACTOR SHALL REMOVE FROM THE SITE ALL EXISTING CONSTRUCTION AND IMPROVEMENTS NECESSARY FOR THE COMPLETION OF THE PROJECT, PROTECTION FROM DAMAGE OR INJURY TO ALL EXISTING TREES, LANDSCAPING, AND IMPROVEMENT INDICATED BY THE DRAWINGS.</p> <p>10. EXCAVATE ALL FOOTING AS NECESSARY, INDICATED ON THE DRAWING, TO REACH SOLID, UNDISTURBED SOIL. BOTTOMS FOR EXCAVATIONS SHALL BE LEVEL, CLEAN, AND DRY AT THE ELEVATIONS INDICATED ON THE STRUCTURAL DRAWINGS.</p> <p>11. PROVIDE FINISH GRADES TO DRAIN AWAY FROM THE FOUNDATIONS ON ALL SIDES OF THE BUILDING. IF THERE ARE EXTERIORS IMPROVEMENTS.</p> <p>12. THE CONTRACTOR IS TO PRECISELY LOCATE ALL UTILITIES BEFORE ANY CONSTRUCTION AND/OR EXCAVATION.</p> <p>13. SEE STRUCTURAL DRAWINGS FOR REQUIRED SPECIAL INSPECTIONS.</p> | <p>APN#: 055-354-330</p> <p>ZONING: R1U (SINGLE FAMILY URBAN RESIDENTIAL DISTRICT)</p> <p>CONSTRUCTION TYPE: V-B</p> <p>OCCUPANCY GROUP PER CBC CHAPTER 3: R-3/U</p> <p>HISTORIC STATUS: NO</p> <p>LOT SIZE: 5,750 SF</p> <p>MAX. HEIGHT: 28'-0"</p> <p>SETBACKS:</p> <p>FRONT: 20'-0" SIDE: 5'-0" (10% OF MIN. LOT WIDTH BUT NOT LESS THAN 5' OR MORE THAN 10') REAR: 20'-0"</p> <p>PARKING: (1) EXISTING COVERED PARKING SPACE IN GARAGE TO REMAIN</p> <p>MAX. FLOOR AREA ALLOWED: 2,800 SF.</p> <p>EXISTING FLOOR AREA:</p> <table border="0"><tr><td>(E) HOUSE:</td><td>±1,365 SF</td></tr><tr><td>(E) GARAGE:</td><td>±235 SF</td></tr><tr><td>(E) SHED:</td><td>±100 SF</td></tr></table> <p>TOTAL EXISTING FLOOR AREA: ±1,700 SF</p> <p>PROPOSED FLOOR AREA:</p> <table border="0"><tr><td>(E) HOUSE:</td><td>±1,365 SF</td></tr><tr><td>(N) HOUSE ADDITION:</td><td>±710 SF</td></tr><tr><td>(E) GARAGE:</td><td>±225 SF</td></tr></table> <p>TOTAL PROPOSED FLOOR AREA: ±2,300 SF</p> <p>MAX. LOT COVERAGE: 2,300 SF 40% OF LOT AREA</p> <p>EXISTING LOT COVERAGE:</p> <table border="0"><tr><td>(E) HOUSE:</td><td>±1,365 SF</td></tr><tr><td>(E) GARAGE:</td><td>±235 SF</td></tr><tr><td>(E) SHED:</td><td>±100 SF</td></tr></table> <p>TOTAL EXISTING LOT COVERAGE: ±1,700 SF</p> <p>PROPOSED LOT COVERAGE:</p> <table border="0"><tr><td>(E) HOUSE:</td><td>±1,365 SF</td></tr><tr><td>(E) GARAGE:</td><td>±225 SF</td></tr><tr><td>(N) HOUSE ADDITION:</td><td>±710 SF</td></tr></table> <p>TOTAL PROPOSED LOT COVERAGE: ±2,300 SF</p> | (E) HOUSE: | ±1,365 SF | (E) GARAGE: | ±235 SF | (E) SHED: | ±100 SF | (E) HOUSE: | ±1,365 SF | (N) HOUSE ADDITION: | ±710 SF | (E) GARAGE: | ±225 SF | (E) HOUSE: | ±1,365 SF | (E) GARAGE: | ±235 SF | (E) SHED: | ±100 SF | (E) HOUSE: | ±1,365 SF | (E) GARAGE: | ±225 SF | (N) HOUSE ADDITION: | ±710 SF | <p>ARCHITECT:</p> <p>JESSICA SIN JSD ARCHITECTURE + INTERIORS 1162 EBENER STREET REDWOOD CITY CA 94061 jsin@jessicasindesigns.com 650-206-4608</p> <p>SURVEY AND CIVIL:</p> <p>L.WADE HAMMOND CIVIL ENGINEERING AND LAND SURVEYING 36660 NEWARK BLVD. SUITE C NEWARK, CA 46560 wade@whlandsurveyor.com (510)-579-6112</p> <p>TITLE 24 :</p> <p>NICK BIGNARDI FRI ENERGY CONSULTANTS 5770 WINFIELD BLVD. #15 SAN JOSE, CA 95123 nick@friconsulting.com 408-866-1620</p> <p>STRUCTURAL :</p> <p>SARA AUKES MORRIS SHAFFER ENGINEERING 1300 INDUSTRIAL ROAD, SUITE 14 SAN CARLOS, CA 94070 sara@morris-shaffer.com 650-595-2973</p> <p>CIVIL:</p> <p>L.WADE HAMMOND CIVIL ENGINEERING AND LAND SURVEYING 36660 NEWARK BLVD. SUITE C NEWARK, CA 46560 wade@whlandsurveyor.com (510)-579-6112</p> | <p>ARCHITECTURAL:</p> <p>A0.0 COVER SHEET A0.1 CALGREEN CHECKLIST 1 A0.2 CALGREEN CHECKLIST 2 A0.3 PROPOSED FLOOR AREA DIAGRAM AND CALCULATION A0.4 NONCONFORMING STRUCTURE NEW WORK VALUE CALCULATION A1.0 EXISTING AND PROPOSED SITE PLAN A1.1 PROPOSED & EXISTING/ DEMO ROOF PLAN AND ATTIC VENT CALCULATION A1.2 PROPOSED ELEVATION AREA DIAGRAM A2.0 EXISTING/ DEMO PLAN A2.1 PROPOSED FLOOR PLAN A2.2 DOORS AND WINDOWS SCHEDULE A2.3 PROPOSED RCP/ MEP PLAN A3.0 EXISTING ELEVATION 1 A3.1 EXISTING ELEVATION 2 A3.2 PROPOSED ELEVATION 1 A3.3 PROPOSED ELEVATION 2 A4.0 PROPOSED SECTIONS A5.0 INTERIOR ELEVATIONS - KITCHEN A5.1 INTERIOR ELEVATIONS - PRIMARY BATH RCP & MEP PLAN A6.0 DETAILS 1 A6.1 DETAILS 2</p> <p>SURVEY:</p> <p>SU-1 TOPOGRAPHIC AND BOUNDARY SURVEY</p> <p>TITLE 24:</p> <p>T24-1 TITLE 24 CALCULATIONS T24-2 TITLE 24 CALCULATIONS</p> <p>STRUCTURAL:</p> <p>S0.1 GENERAL NOTES S1.0 FOUNDATION PLAN S1.1 CEILING PLAN S1.2 ROOF PLAN S2.0 CONCRETE GENERAL DETAILS S2.1 CONCRETE DETAILS S3.0 WOOD GENERAL DETAILS A3.1 HOLDOWN & SHEARWALL DETAILS A3.2 WOOD DETAILS</p> <p>CIVIL:</p> <p>C-1 TITLE SHEET C-2 GRADING & DRAINAGE PLAN C-3 DETAILS C-4 EROSION CONTROL PLAN C-5 SAN MATEO COUNTRY BMPs C-6 IMPERVIOUS AREAS EXHIBIT & NOES</p> |
| (E) HOUSE: | ±1,365 SF | | | | | | | | | | | | | | | | | | | | | | | | | | |
| (E) GARAGE: | ±235 SF | | | | | | | | | | | | | | | | | | | | | | | | | | |
| (E) SHED: | ±100 SF | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| (N) HOUSE ADDITION: | ±710 SF | | | | | | | | | | | | | | | | | | | | | | | | | | |
| (E) GARAGE: | ±225 SF | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| (N) HOUSE ADDITION: | ±710 SF | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | <p>NOTE: FIRE SPRINKLERS WILL BE INSTALLED UNDER A SEPARATED DEFERRED FIRE PERMIT. APPROVED BY THE FIRE DEPARTMENT PRIOR TO INSTALLATION.</p> | <p>PROJECT DESCRIPTION</p> <p>ONE-STORY ADDITION AND REMODEL OF AN EXISTING ONE STORY RESIDENCE.</p> <p>ADDITION TO INCLUDE A NEW PRIMARY BEDROOM WITH AN ENSUITE BATH AND WALK-IN CLOSET. REMODELING TO INCLUDE RECONFIGURATION OF KITCHEN, DINING, BATH 2, BEDROOMS 2, GUEST/BEDROOM 3 AND OFFICE/BEDROOM 4 AND A NEW FAMILY ROOM AND LAUNDRY ROOM. EXTERIOR REMODELING TO INCLUDE A NEW UNCOVERED PATIO.</p> <p>APPLICABLE CODES</p> <ul style="list-style-type: none">• 2022 CALIFORNIA BUILDING CODE• 2022 CALIFORNIA RESIDENTIAL CODE• 2022 CALIFORNIA MECHANICAL CODE• 2022 CALIFORNIA PLUMBING CODE• 2022 CALIFORNIA ELECTRICAL CODE• 2022 CALIFORNIA GREEN BUILDING CODE (CALGREEN)• 2022 CALIFORNIA FIRE CODE (WITH LOCAL AMENDMENTS)• 2022 STATE OF CALIFORNIA TITLE 24 ENERGY REGULATIONS• ALL OTHER APPLICABLE STATE AND LOCAL CODES AND ORDINANCES <p>IN THE EVENT OF CONFLICTS IN CODE REQUIREMENTS, THE MOST STRINGENT REQUIREMENTS SHALL APPLY. ANY CONFLICTS BETWEEN THE CONSTRUCTION DOCUMENTS AND ABOVE CODES AND ORDINANCES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND OWNER FOR RESOLUTION BEFORE PROCEEDING WITH THE WORK.</p> | <p>VICINITY MAP</p> | | | | | | | | | | | | | | | | | | | | | | | | |

212 IVY DRIVE

MENLO PARK, CA 94025

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A0.0

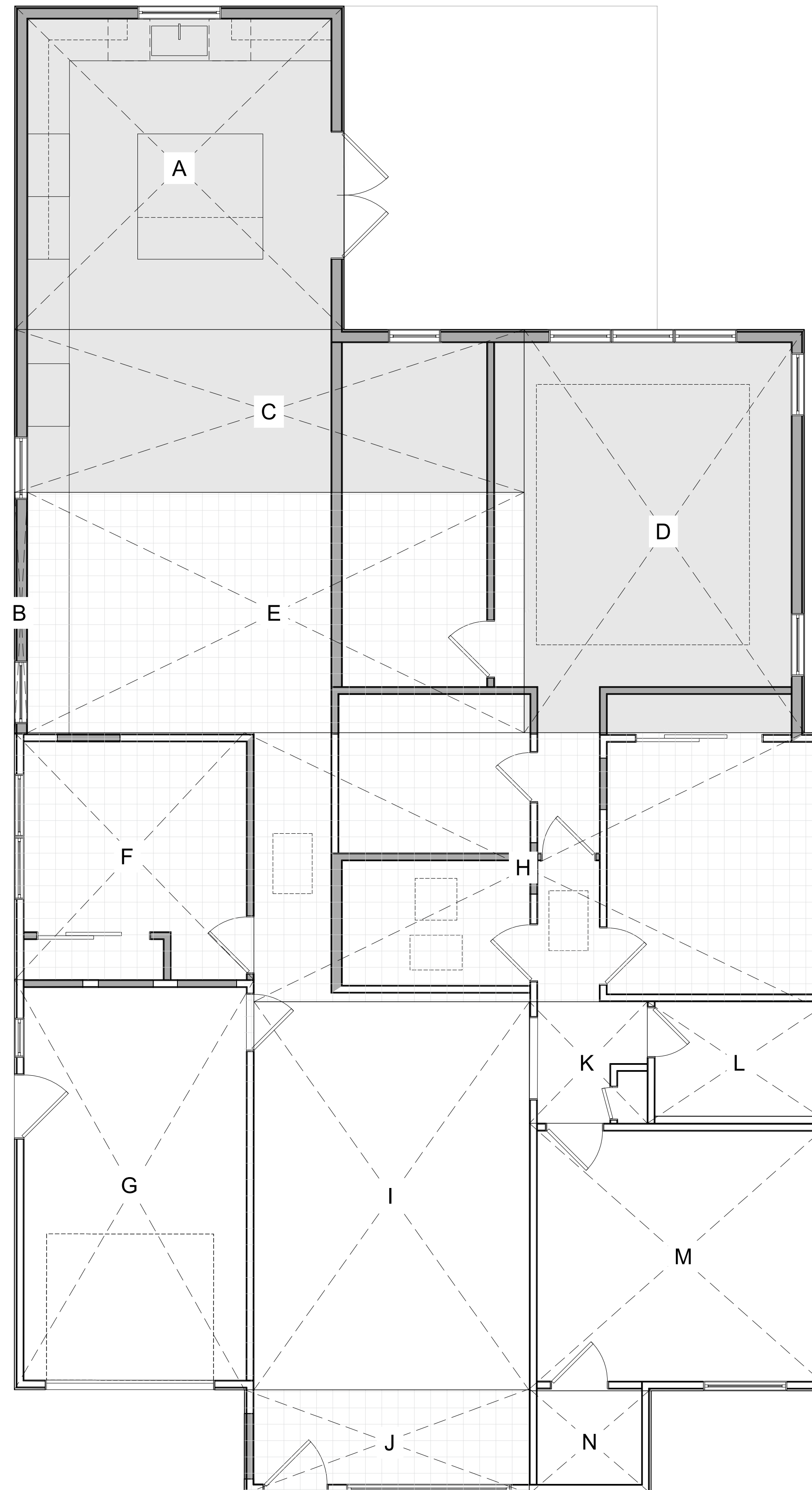
COVER SHEET

FLOOR AREA LIMIT CALCULATION:

| AREA | DIMENSIONS | SF |
|--------------|-----------------|----------|
| A (ADDITION) | 15.78' X 15.49' | 244 SF |
| B (ADDITION) | 0.62' X 11.09' | 7 SF |
| C (ADDITION) | 24.41' X 8.21' | 200 SF |
| D (ADDITION) | 13.42' X 19.30' | 259 SF |
| E | 23.79' X 11.09' | 264 SF |
| F | 11.47' X 11.83' | 136 SF |
| G (GARAGE) | 11.48' X 19.63' | 225 SF |
| H | 27.58' X 12.88' | 355 SF |
| I | 13.20' X 18.58' | 245 SF |
| J | 13.65' X 4.98' | 68 SF |
| K | 5.65' X 5.82' | 33 SF |
| L | 8.74' X 5.82' | 51 SF |
| M | 14.39' X 12.81' | 184 SF |
| N | 5.83' X 4.94' | 29 SF |
| TOTAL FAL | | 2,300 SF |

PROPOSED FLOOR AREA CALCULATION:

| | |
|--|--|
| (E) MAIN HOUSE: E + F + H + I + J + K + L + M + N | 1,365 SF |
| (N) GARAGE: G | 225 SF |
| (E) HOUSE ALTERATION: E + F + H + J | 823 SF |
| (N) ADDITION: A + B + C + D | 710 SF |
| TOTAL FLOOR AREA OF ADDITION + ALTERATION | 1,533 SF (103.72% OF 1,590 SF EXISTING FA) |



1 PROPOSED FLOOR AREA DIAGRAM

Scale: 1/4" = 1'-0"

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A0.3

PROPOSED FLOOR AREA
DIAGRAM AND CALCULATION

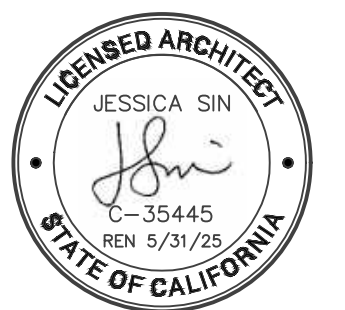


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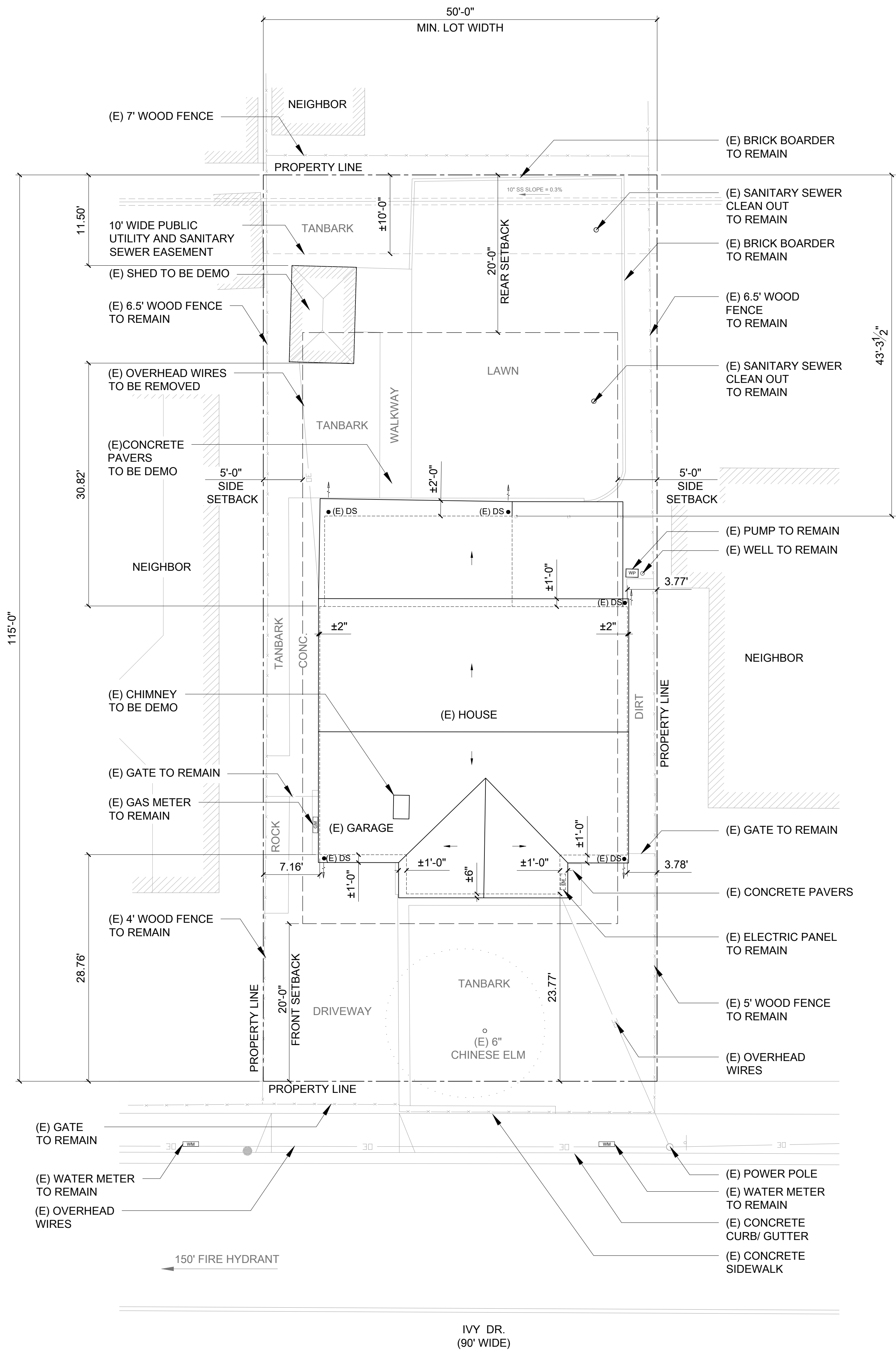
MENLO PARK, CA 94025

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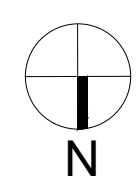
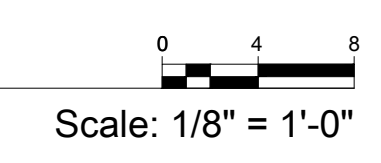


A1.0

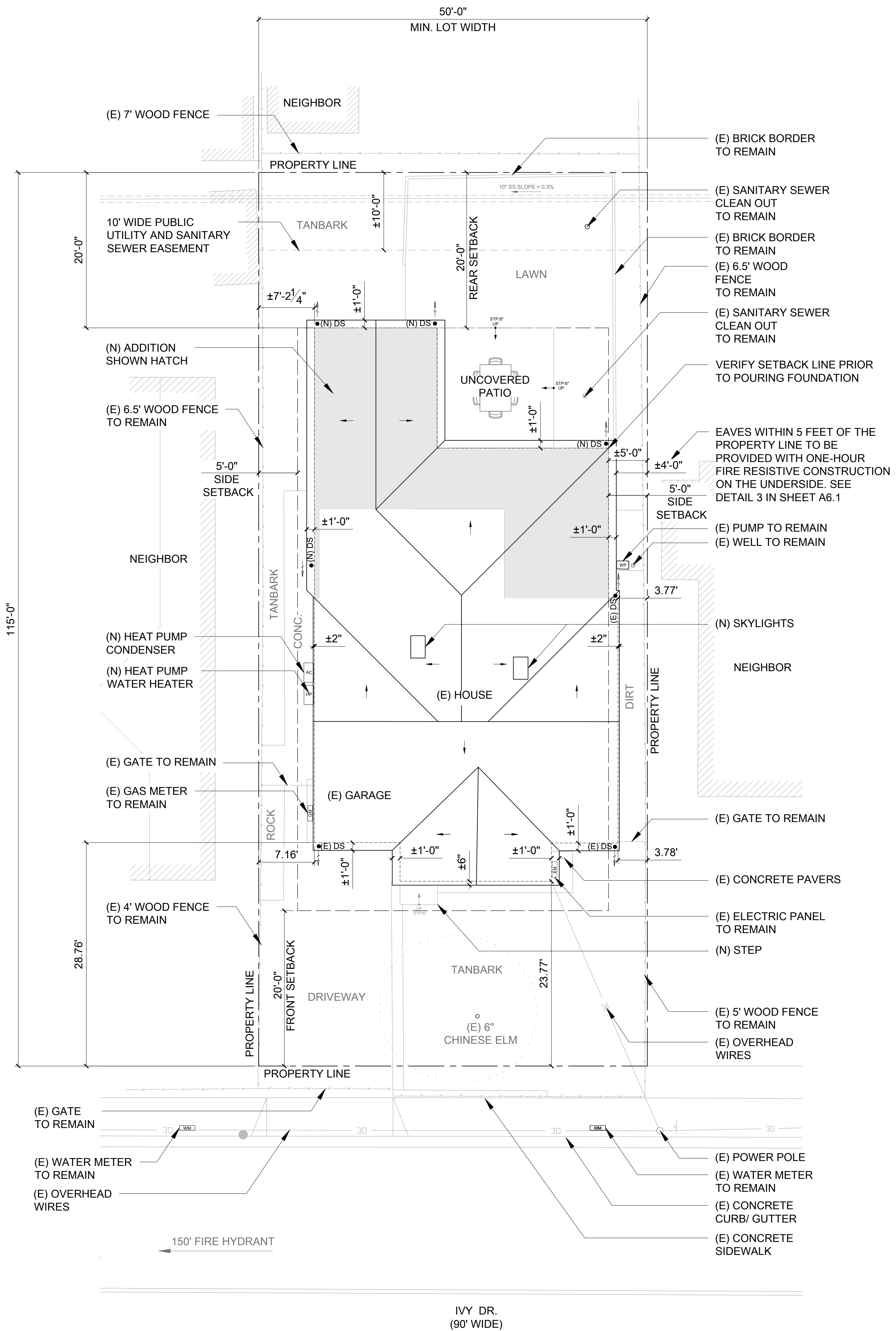
EXISTING AND PROPOSED SITE PLAN



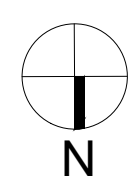
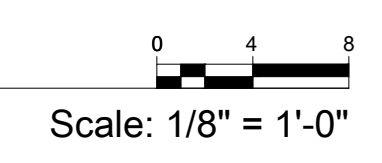
1 EXISTING SITE PLAN



NOTE: PLEASE REFER TO SURVEY ON SHEET SU-01 IN DRAWING SET FOR DETAILED SITE INFO.



2 PROPOSED SITE PLAN



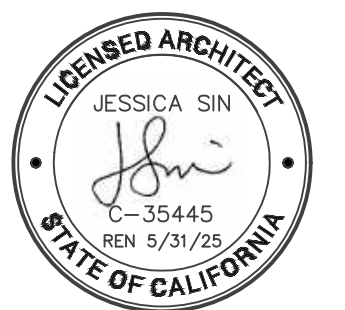


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A1.1

PROPOSED & EXISTING/ DEMO ROOF PLAN AND ATTIC VENT CALCULATION

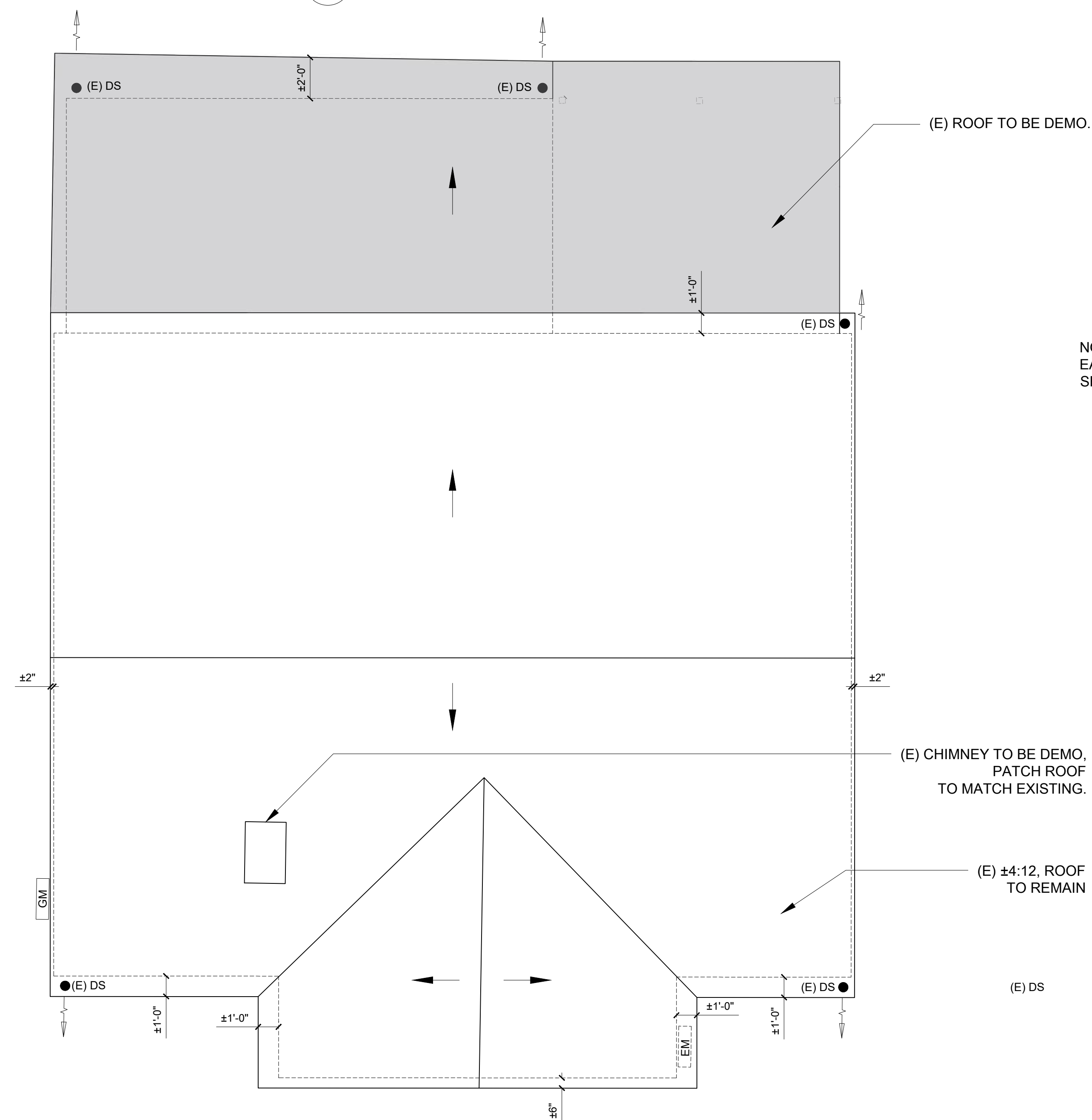
| PROPOSED ROOF AREA CALCULATIONS | |
|---------------------------------|------------|
| EXISTING ROOF TO REMAIN | 1,415 SF |
| EXISTING ROOF TO BE DEMO | (-) 479 SF |
| NEW ADDITION ROOF | 1,044 SF |
| NEW TOTAL ROOF AREA | 2,459 SF |

| | |
|---|-------------------------|
| ATTIC AREA TO BE VENTILATED | = 2,459 SF |
| REQUIRED VENTILATION: 2,459 SF / 150 | = 16.39 SF VENTILATION |
| REQUIRED LOW (INTAKE VENTILATION) | = 8.2 SF (50% OF TOTAL) |
| PROPOSED LOW (INTAKE VENTILATION) | = 8.26 SF |
| (N) DRILLED VENTS: | |
| (3) 2 1/2" Ø VENT HOLES PER BAY | |
| 0.102 SF X (81) = 8.26 SF | |
| PROPOSED HIGH (EXHAUST VENTILATION) | = 8.4 SF |
| (N) EYEBROW VENTS: | |
| 0.42 SF MIN. EYEBROW VENTS X (20) NEW VENTS | |
| TOTAL PROPOSED ATTIC VENTILATION | = 16.66 SF |

NOTE:
 1. THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED.
 2. WHERE EAVE OR CORNICE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MIN. OF A 1-INCH SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING AND AT THE LOCATION OF THE VENT.
 3. VENTILATION OPENINGS SHALL HAVE AT LEAST DIMENSION OF 1/16 INCH MIN. AND 1/4 INCH MAX. VENTILATION OPENINGS HAVING AT LEAST DIMENSION LARGER THAN 1/4 INCH SHALL BE PROVIDED WITH CORROSION-RESISTANT WIRE CLOTH SCREENING, HARDWARE CLOTH, OR SIMILAR MATERIAL WITH OPENINGS HAVING AT LEAST DIMENSION OF 1/16 MIN. AND 1/4 INCH MAX.
 4. NO VENTS WITHIN EAVES REQUIRED TO BE FIRE RESISTANCE RATED PER CRC TABLE R302.1(1)

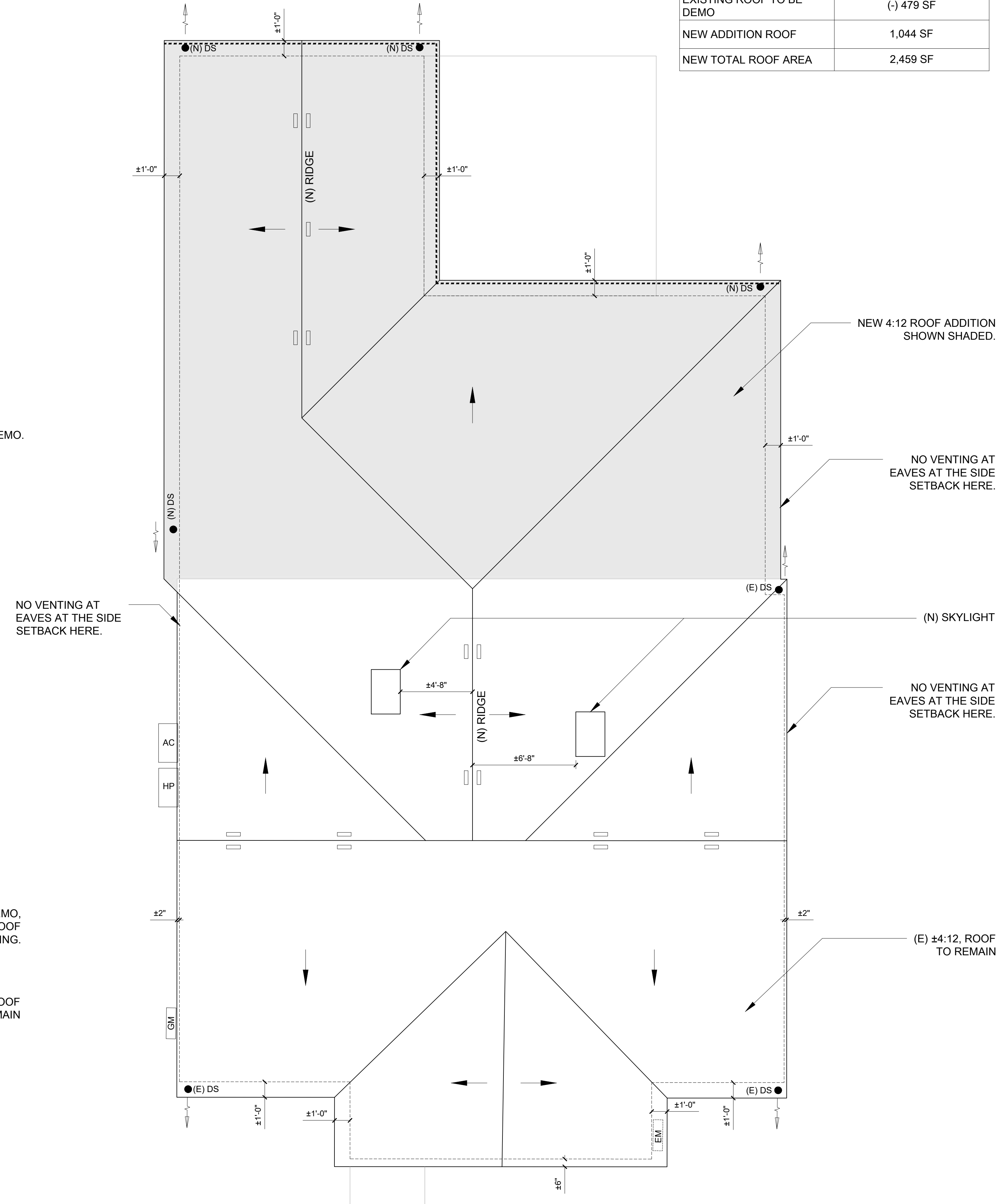
VENT (N) EYEBROW VENT
 (N) DRILLED VENTS ALONG THIS WALL AT EACH FRAMING BAY BLOCK

3 ATTIC VENT CALCULATION



2 EXISTING ROOF PLAN

Scale: 1/4" = 1'-0"



1 PROPOSED ROOF PLAN

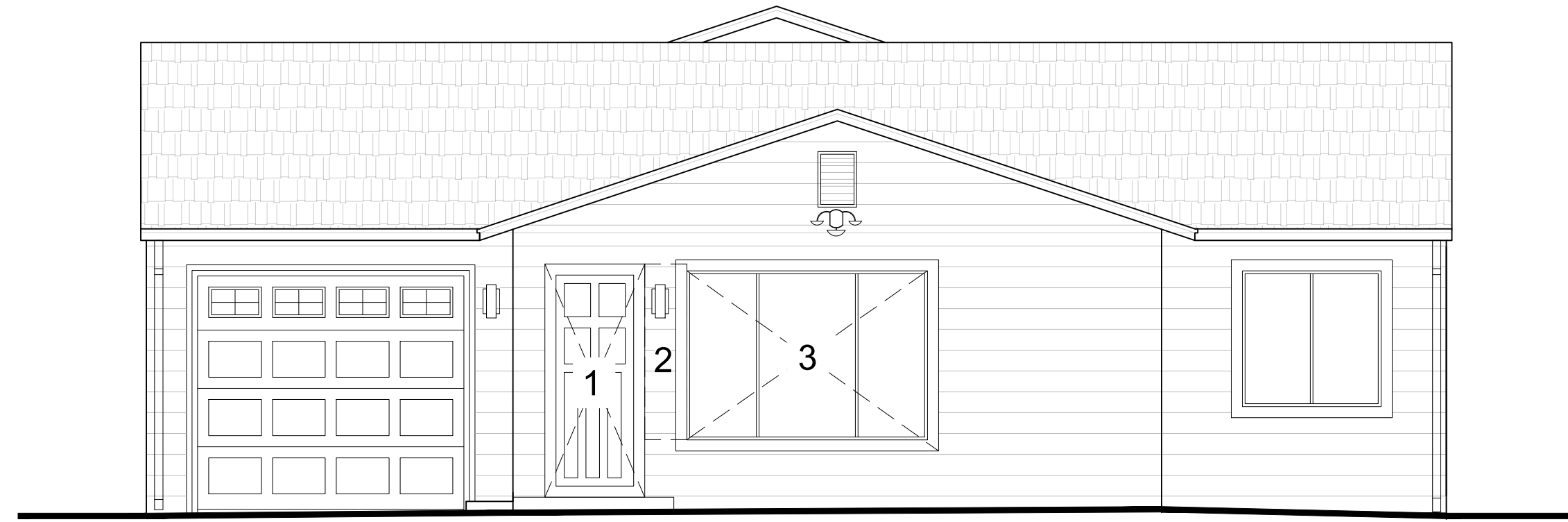
Scale: 1/4" = 1'-0"

PROPOSED ELEVATION AREA CALCULATION:

REPLACEMENT OF EXISTING
WINDOWS/ EXTERIOR DOORS = 66.31 SF
2 + 3 + 7

REPLACEMENT OF EXISTING SIDING = 92.03 SF

1 + 2 + 4 + 5 + 6



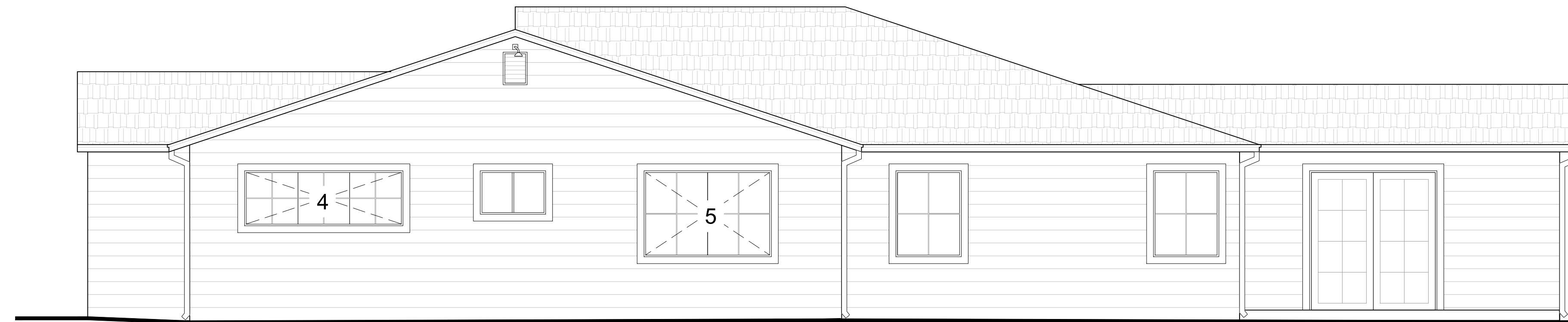
(1) NEW DOOR IN
REPLACEMENT OF
EXISTING SIDING =
3'0" X 6.67' = 20 SF

(2) NEW SIDING IN
REPLACEMENT OF
EXISTING WINDOW =
1.27' X 5.28' = 6.71 SF

(3) REPLACEMENT OF
EXISTING WINDOW =
7.92' X 5'0" = 39.6 SF

1 PROPOSED NORTH ELEVATION (FRONT) AREA DIAGRAM

0 3 6
Scale: 1/4" = 1'-0"

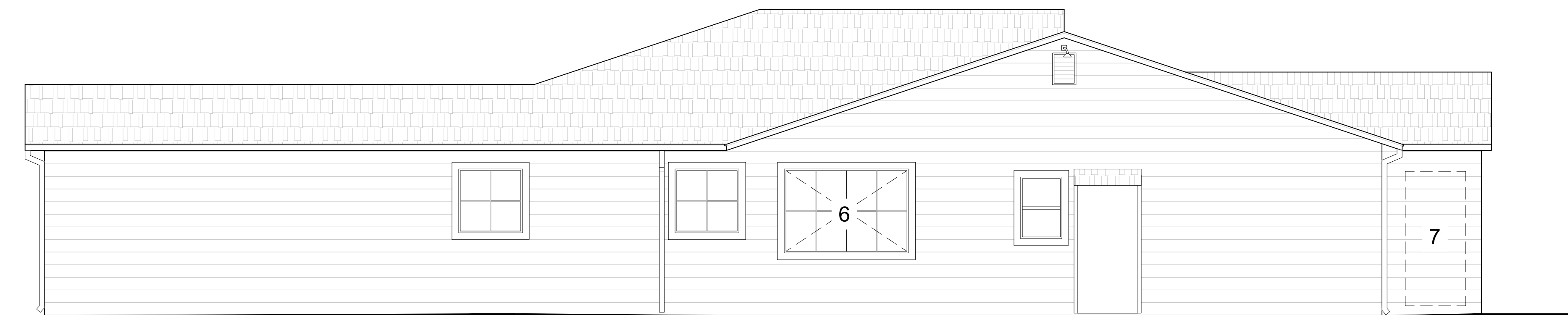


(4) NEW WINDOW IN
REPLACEMENT OF
EXISTING SIDING =
7.5' X 2.5' = 18.75 SF

(5) NEW WINDOW IN
REPLACEMENT OF
EXISTING SIDING =
6'0" X 4'0" = 24 SF

2 PROPOSED WEST ELEVATION (RIGHT) AREA DIAGRAM

0 3 6
Scale: 1/4" = 1'-0"



(6) NEW WINDOW IN
REPLACEMENT OF
EXISTING SIDING =
6'0" X 4'0" = 24 SF

(7) NEW SIDING IN
REPLACEMENT OF
EXISTING DOOR =
3'0" X 6.67' = 20 SF

3 PROPOSED EAST ELEVATION (LEFT) AREA DIAGRAM

0 3 6
Scale: 1/4" = 1'-0"

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A1.2

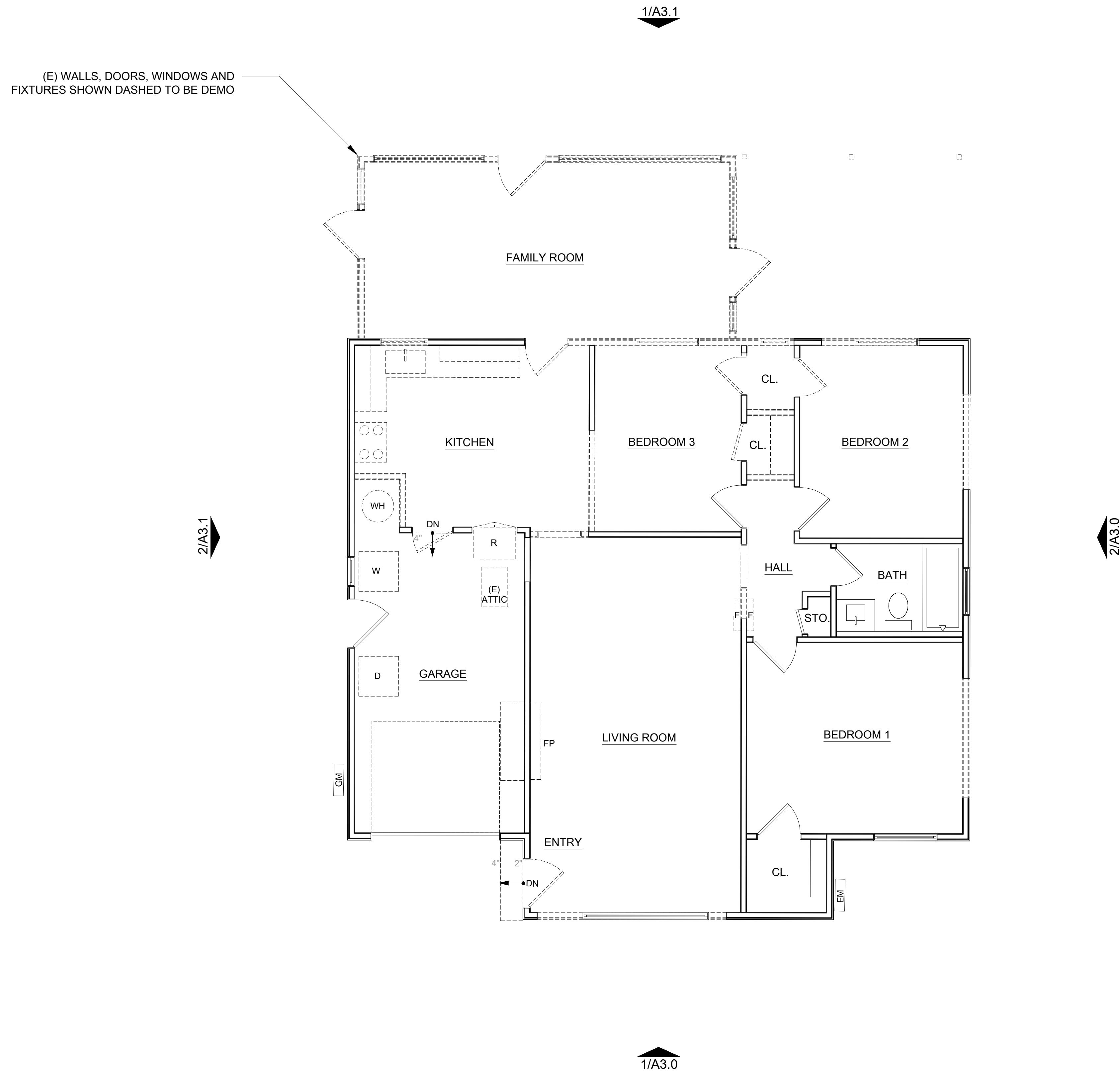
PROPOSED ELEVATION
AREA DIAGRAM



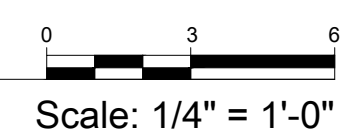
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1 EXISTING / DEMO PLAN



WALL KEY

| | |
|--|-------------------------------------|
| | EXISTING WALL TO REMAIN |
| | EXISTING WALL/WINDOW/DOOR TO REMOVE |

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A2.0

EXISTING / DEMO PLAN

FIXTURE KEY

| TYPE | DESCRIPTION |
|------------------|---|
| ○ | RECESSED DOWNLIGHT |
| ⦶ | ANGLED RECESSED DOWNLIGHT |
| ⊙ | DECORATIVE SURFACE LIGHT |
| ⊕ | DECORATIVE PENDANT LIGHT |
| ⌈ | FLUORESCENT LIGHTING (UNDER CABINET, CLOSET) |
| ⦶ | DECORATIVE WALL SCONCE |
| ⌈ | RECESSED STEP LIGHT |
| ⊙ | DECORATIVE MONOPOINT LIGHT |
| ⊕ | DECORATIVE CEILING FAN |
| ⦶ | HARD WIRED, INTERCONNECTED COMBINATION PHOTOELECTRIC SMOKE DETECTOR / ALARM W/ BATTERY BACK UP AND CARBON MONOXIDE ALARM PER CRC 315.1.2 AND R315.3 |
| ⊕ | WALL SWITCH |
| ⊕ | WALL SWITCH WITH DIMMER |
| ⊕ ³ | 3-WAY WALL SWITCH |
| ⊕ ⁴ | 4-WAY WALL SWITCH |
| ⊕ | OCCUPANCY SENSOR WALL SWITCH - MANUAL ON, AUTO OFF |
| ⊕ | WALL SWITCH WITH TIMER |
| ⊕ | DOOR JAMB SWITCH |
| ⊕ ^{EXT} | SWITCH TO EXTERIOR (LANDSCAPING, XMAS LIGHTS PER DRAWING) |
| ⊕ | GFCI GFI OUTLET TAMPER RESISTANT |
| ⊕ | AFCI AFCI DUPLEX OUTLET TAMPER RESISTANT |
| ⊕ | WP EXTERIOR WATERPROOF OUTLET GFCI, 18" MIN. ABOVE FINISHED GRADE, TAMPER RESISTANT, WEATHER RESISTANT TYPE |
| ⊕ | 220V 220V OUTLET FOR ELECTRIC VEHICLE CHARGING |
| ⊕ | FL FLOOR OUTLET |
| ⊕ | FOURFLEX AFCI OR GFI OUTLET TAMPER RESISTANT |
| ⊕ | CATEGORY 6 DATA PORT (DATA, CABLE, TEL PER DRAWING) |
| ⊕ | AFCI SWITCHED AFCI DUPLEX OUTLET TAMPER RESISTANT |
| ⊕ | BATH FAN WITH HUMIDITY CONTROLS |
| ⊕ | COLD WATER HOOKUP IN RECESSED WALL PANEL |
| ⊕ | HOT WATER HOOKUP IN RECESSED WALL PANEL |
| ⊕ | GAS CONNECTION |
| ⊕ | HOSE BIBB |
| ⊕ | COLD AIR RETURN |

WALL KEY

| | |
|---|-------------------------|
| — | EXISTING WALL TO REMAIN |
| — | NEW WALL |
| ⊕ | (N) CEILING VENT |

ELECTRICAL SCHEDULE

| HIGH EFFICACY LIGHTING (L.E.D) | |
|--|---|
| L1 | 4" DIA. RECESSED DIMMABLE L.E.D DOWNLIGHT. IC HOUSING. 120V, 3000K, 15 WATT MAX. WHITE REFLECTOR WITH SOLITE GLASS LENS AND WHITE TRIM RING. WET-LOCATION RATED WHERE APPLICABLE PER DRAWING. MFR: HALO OR SIM. |
| HIGH EFFICACY LIGHTING (FLOURESCENT-3000K AND INSTANT-ON BALLAST TYPE,TYP) | |
| A1 | DECORATIVE SURFACE MOUNTED LIGHT. OWNER PROVIDED. |
| F1 | WALL MOUNTED EXTERIOR RATED DECORATIVE SCONCE. COMPACT FLUORESCENT LAMP (MIN. 13 WATT) WITH INTEGRAL ELECTRONIC BALLAST. OWNER PROVIDED. |

APPLIANCE SCHEDULE

CONTRACTOR TO CONFIRM SIZES AND SPECS WITH OWNER

| | |
|-----|--------|
| AP1 | WASHER |
| AP2 | DRYER |

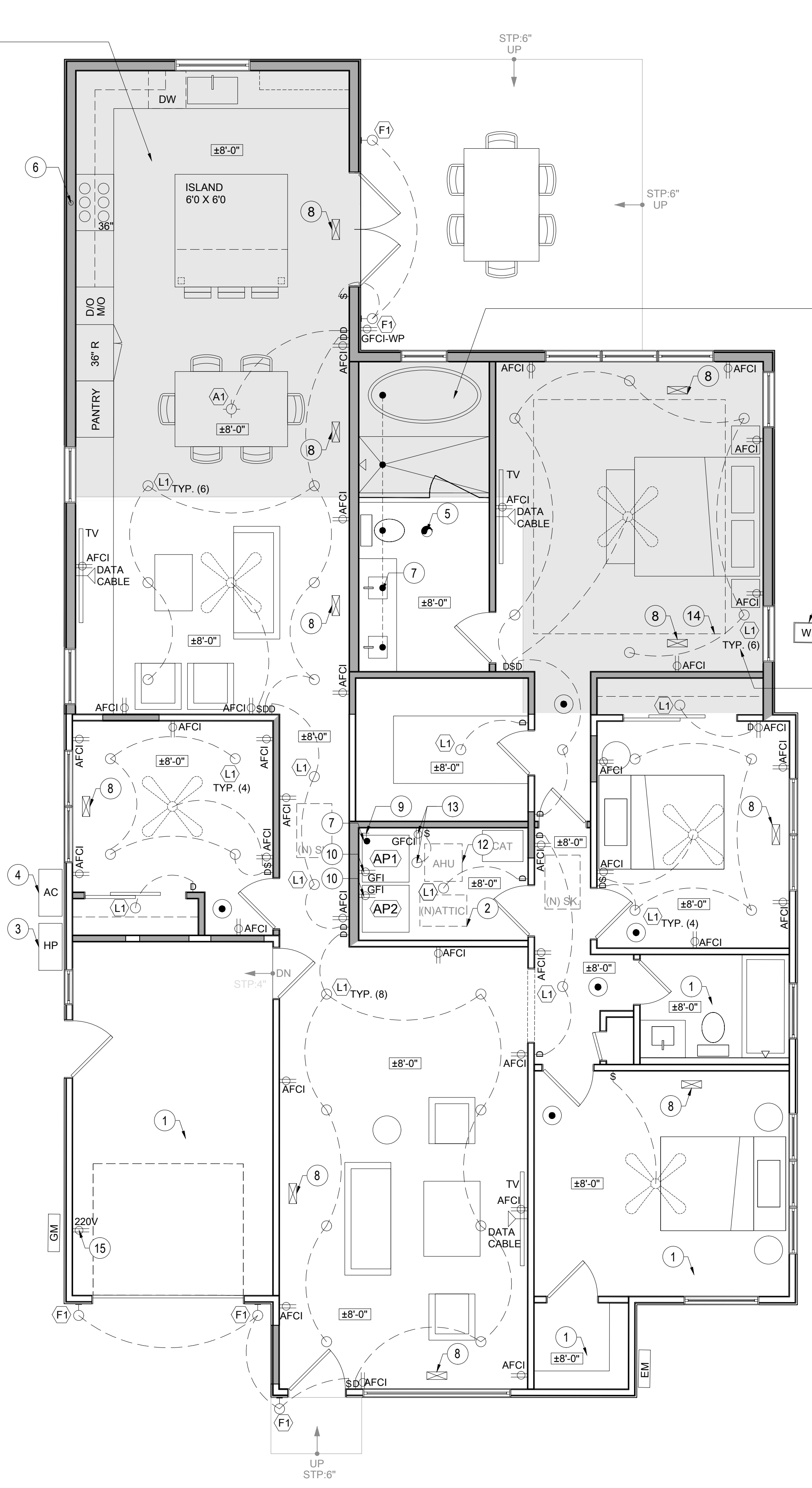
KEY NOTES

- THIS ROOM'S MECHANICAL, ELECTRICAL AND PLUMBING TO REMAIN.
- (N) ATTIC ACCESS.
- (N) HEAT PUMP WATER HEATER.
- (N) HEAT PUMP CONDENSER.
- (N) BATH EXHAUST HOOD, EXIT THROUGH ROOF.
- (N) KITCHEN EXHAUST HOOD, EXIT THROUGH ROOF.
- APPROX. LOCATION OF DRAIN PIPING SHOWN IN DASH
- APPROX. (N) VENTS LOCATIONS
- (N) LAUNDRY HOOK UP.
- PROVIDE A DEDICATED 20 AMP GFCI PROTECTED BRANCH FOR LAUNDRY AREA.
- (E) PUMP TO REMAIN.
- (N) AHU IN THE ATTIC ABOVE.
- ELECTRIC LIGHT AND RECEPTACLE OUTLET ADJACENT TO HEAT PUMP. SWITCH CONTROLLING THE ATTIC LIGHT FIXTURE SHALL BE LOCATED AT THE ENTRANCE TO THE PASSAGEWAY PER CMC 304.4.4
- (N) TRAY CEILING. SEE STRUCTURAL.
- (N) LEVEL 2 EV CHARGER.

GENERAL NOTES

- ALL DIMENSIONS ARE TO THE FACE OF STUD UNLESS NOTED OTHERWISE
- CONTRACTOR TO FIELD LOCATE ALL LIGHTING ON SUBFLOOR FOR WALKTHROUGH WITH CLIENT PRIOR TO INSTALLATION.
- CONTRACTOR TO VERIFY ALL FIXTURES (QUANTITIES AND LOCATIONS) AND SWITCHING TO FIXTURES WITH OWNERS PRIOR TO INSTALLATION.
- PROVIDE NEW GFI OUTLETS PER CODE IN BATHROOMS, KITCHEN AND OTHER WET AREAS.
- PROVIDE NEW AFCI OUTLETS IN ALL OTHER INTERIOR ROOMS PER CODE.
- CONTRACTOR TO PREPARE FOR A SOLAR PANEL SYSTEM.

PLEASE SEE A4.0 FOR THIS ROOM'S RCP / MEP

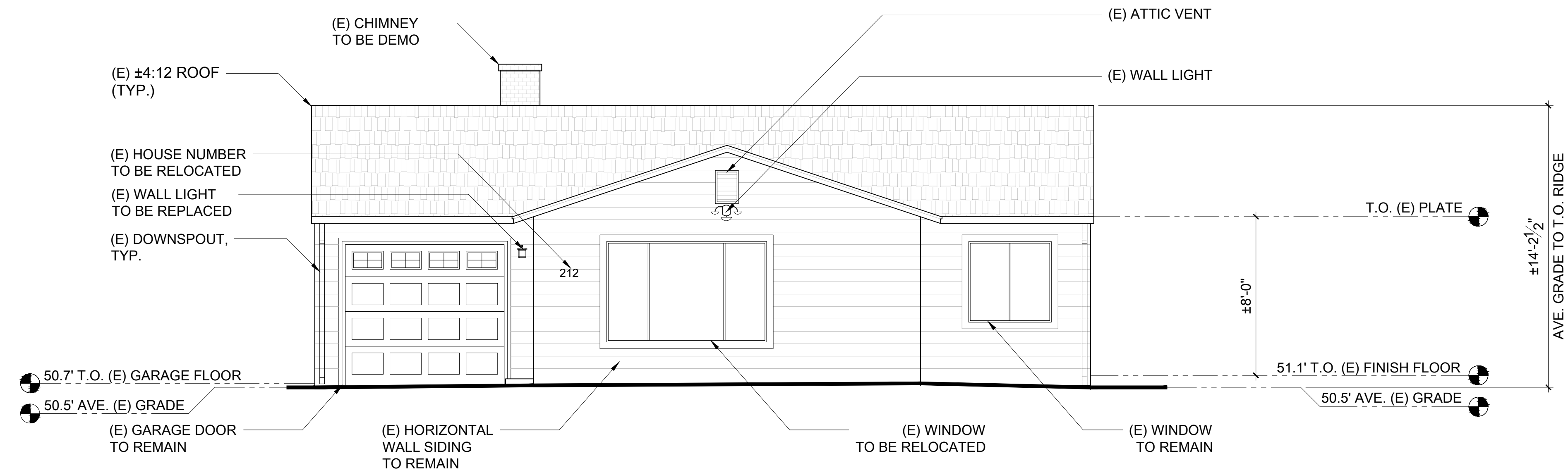


PLEASE SEE A4.1 FOR THIS ROOM'S RCP / MEP

PLEASE CONFIRM LIGHTING LOCATION WITH THE OWNER PRIOR TO INSTALLATION

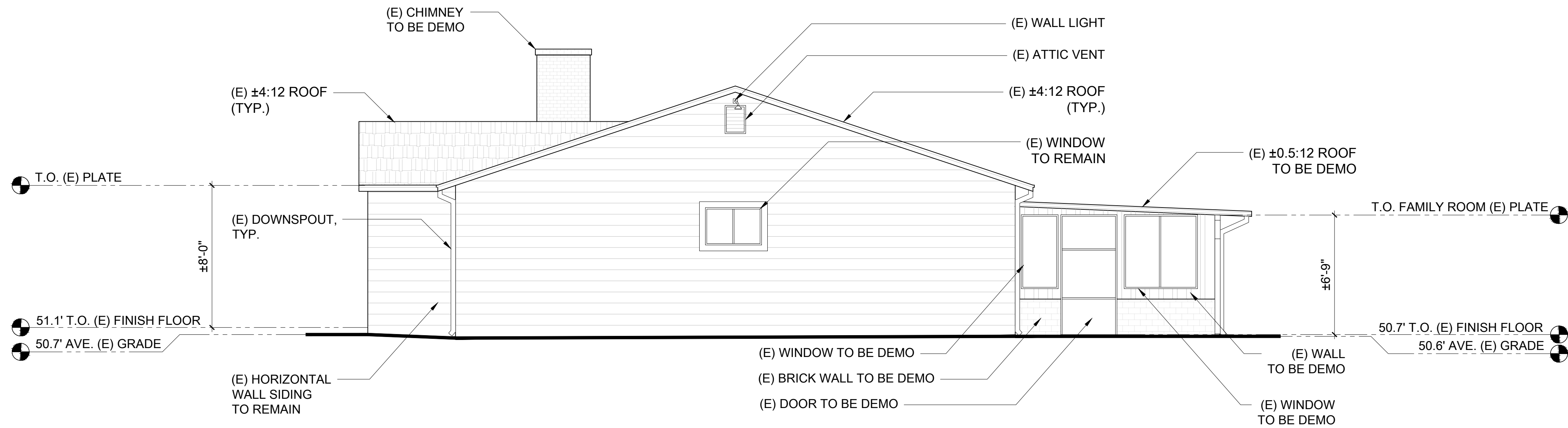
1 PROPOSED RCP/ MEP PLAN

Scale: 1/4" = 1'-0"



1 EXISTING NORTH ELEVATION (FRONT)

Scale: 1/4" = 1'-0"



2 EXISTING WEST ELEVATION (RIGHT)

Scale: 1/4" = 1'-0"

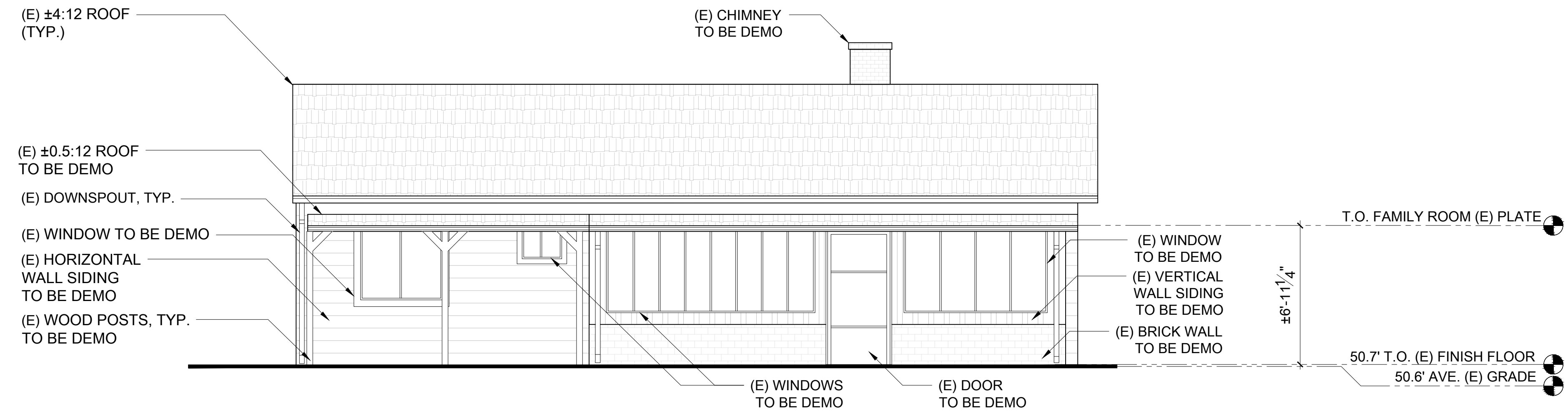
212 IVY DRIVE

MENLO PARK, CA 94025

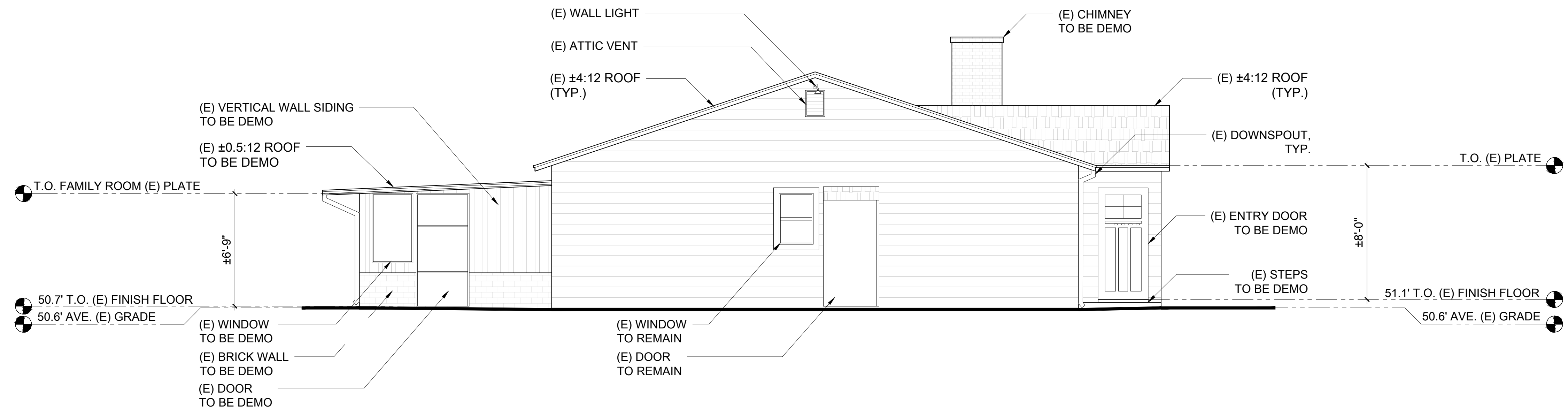
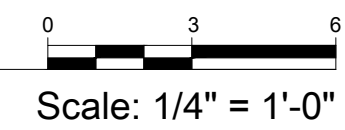
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A3.0



1 EXISTING SOUTH ELEVATION (REAR)

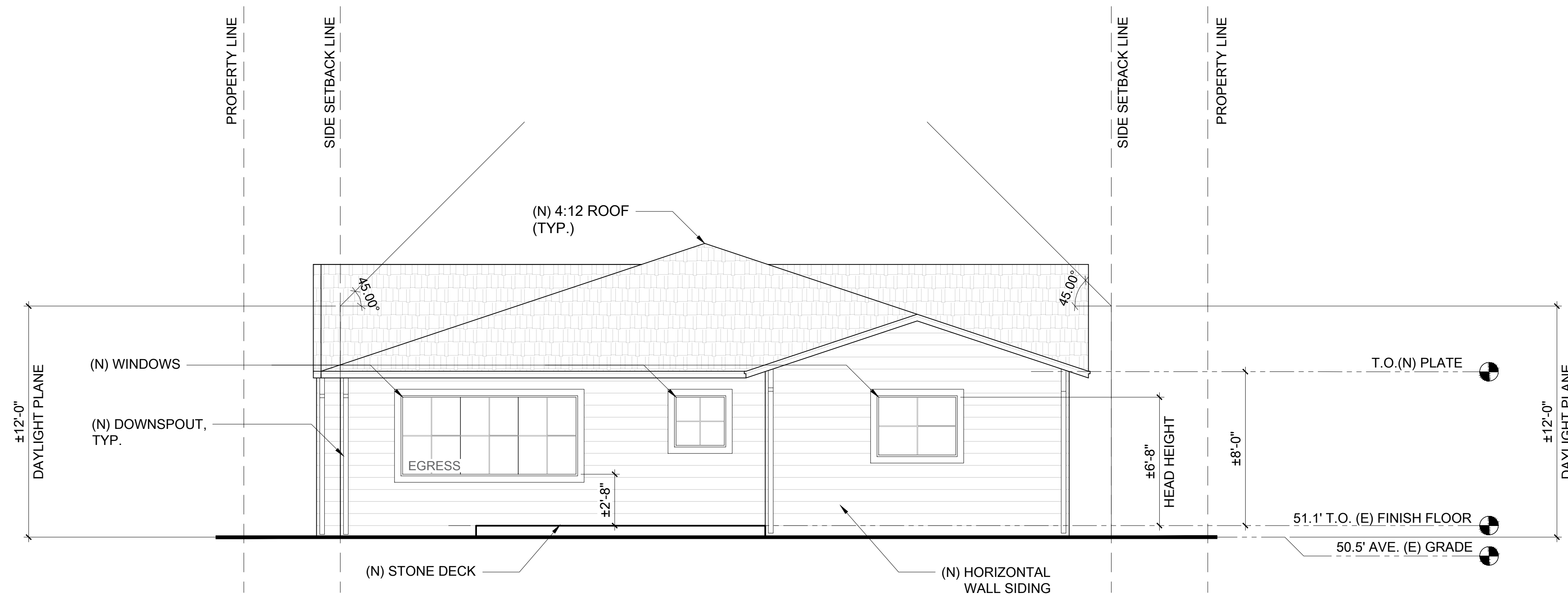


2 EXISTING EAST ELEVATION (LEFT)

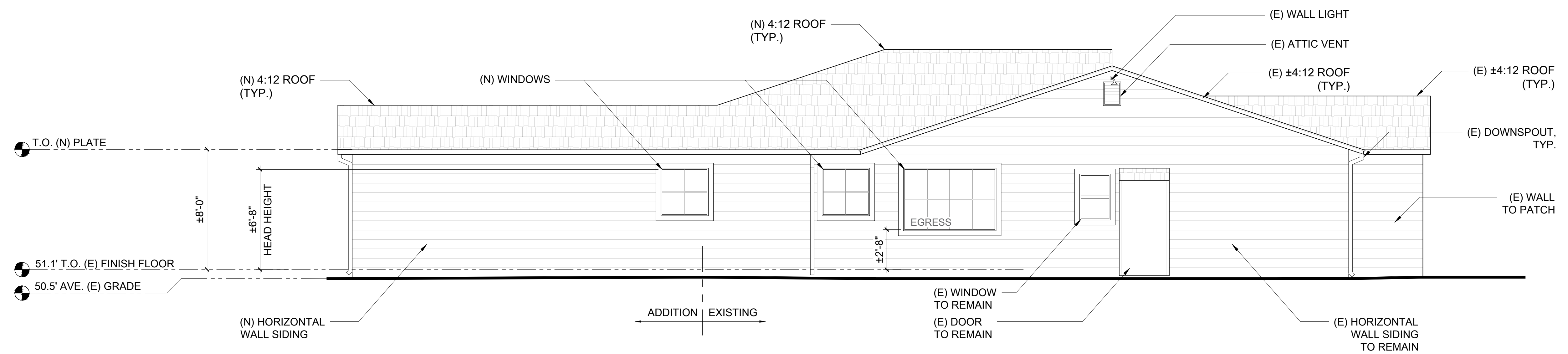


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1 PROPOSED SOUTH ELEVATION (REAR) Scale: 1/4" = 1'-0"



2 PROPOSED EAST ELEVATION (LEFT) Scale: 1/4" = 1'-0"

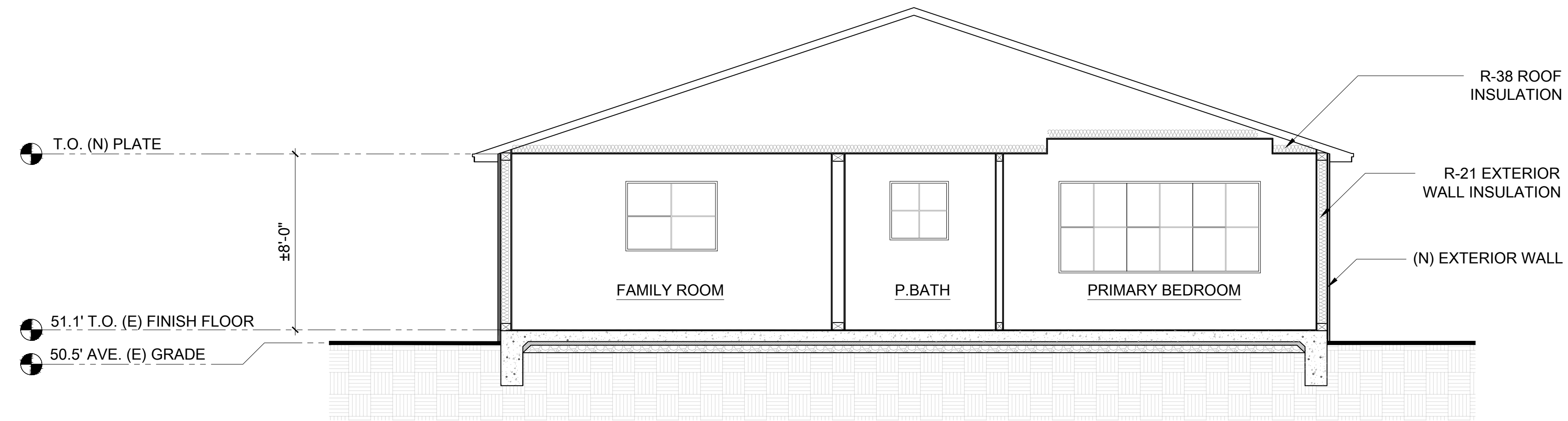
212 IVY DRIVE

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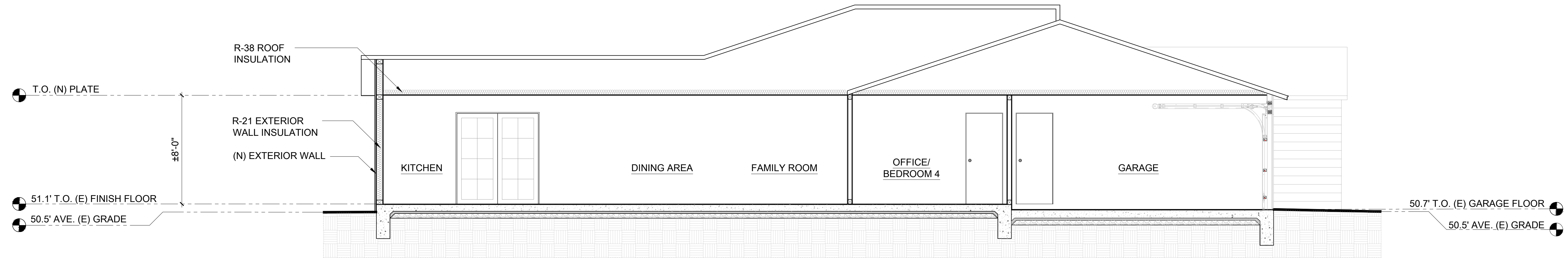
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A3.3



1 PROPOSED SECTION A-A
Scale: 1/4" = 1'-0"



2 PROPOSED SECTION B-B
Scale: 1/4" = 1'-0"

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A4.0

PROPOSED SECTIONS