ABBREVIATIONS

A/C	AIR CONDITIONING	LAT	LATERAL
AD	AREA DRAIN	LAV	LAVATORY
ADA	AMERICANS WITH DISABILITIES ACT	LB	POUND
ADDL	ADDITIONAL	LF	LINEAR FOOT
ADJ	ADJUSTABLE	LL	LIVE LOAD
AFF	ABOVE FINISH FLOOR	LLH	LONG LEG HORIZONTAL
ALT	ALTERNATE	LLV	LONG LEG VERTICAL
ALUM	ALUMINUM	LP	LOW POINT
APPROX	APPROXIMATE	LT	LIGHT
ARCH	ARCHITECTURAL	LV	LOW VOLTAGE
AV	AUDIO VISUAL	M	METER
B/	BOTTOM OF (SEE OTHER WORD)	MAINT	MAINTENANCE
BLDG	BUILDING	MAX	MAXIMUM
CAB	CABINET	MCC	MOTOR CONTROL CENTER
CB	CATCH BASIN	MDF	MEDIUM DENSITY FIBERBOARD
CIP	CAST-IN-PLACE	MDO	MEDIUM DENSITY OVERLAY
CJ	CONTROL JOINT / CONSTRUCTION JOINT	MECH	MECHANICAL
CL	CENTER LINE	MEP	MECHANICAL, ELECTRICAL, PLUMBING
CLG	CEILING	MER	MECHANICAL EQUIPMENT ROOM
CLR	CLEAR	MEZZ	MEZZANINE
CM	CENTIMETER	MFR	MANUFACTURER
CMB	CEMENT BOARD	MH	MANHOLE
CMU	CONCRETE MASONRY UNIT	MIN	MINIMUM
CO	CLEANOUT	MISC	MISCELLANEOUS
COL	COLUMN	MM	MILLIMETER
CONC	CONCRETE	MTD	MOUNTED
CONT	CONTINUOUS	MTL	METAL
COORD	COORDINATE	N	NEWTON
CS	CONCRETE SEALER	N/A	NOT APPLICABLE
CTR	CENTER	NC	NOISE CRITERIA
DEG	DEGREE	NIC	NOT IN CONTRACT
DEMO	DEMOLITION	NO	NUMBER
DEPT	DEPARTMENT	NOM	NOMINAL
DET	DETAIL	NPS	NOMINAL PIPE SIZE
DIA	DIAMETER	NRC	NOISE REDUCTION COEFFICIENT
DIFF	DIFFUSER	NTS	NOT TO SCALE
DIM	DIMENSION	OA	OUTSIDE AIR
DL	DEAD LOAD	OC	ON CENTER
DN	DOWN	OCEW	ON CENTER EACH WAY
DR	DOOR	OD	OUTSIDE DIAMETER/DIMENSION
DRN	DRAIN	OFCI	OWNER FURNISHED, CONTRACTOR INSTALLED
DW	DISHWASHER	OFOI	OWNER FURNISHED, OWNER INSTALLED
DWG	DRAWING	OH	OVER HEAD
EA	EACH	OPNG	OPENING
EFS	EXTERIOR FINISH SYSTEM	OPP	OPPOSITE
EIFS	EXTERIOR INSULATION AND FINISH SYSTEM	OPP HD	OPPOSITE HAND
EL	ELEVATION	OXY	OXYGEN
ELEC	ELECTRICAL	PAF	POWER-ACTUATED FASTENER
EMERG	EMERGENCY	PBD	PARTICLEBOARD
ENCL	ENCLOSURE	PD	PERIMETER DRAIN
EP	ELECTRICAL PANELBOARD	PERF	PERFORATED
EQ	EQUAL	PL	PLATE
EQUIP	EQUIPMENT	PLBG	PLUMBING
EWC	ELECTRICAL WATER COOLER	PLF	POUNDS PER LINEAR FOOT
EXH	EXHAUST	PR	PAIR
EXIST	EXISTING	PREFAB	PREFABRICATED
EXP	EXPANSION	PSF	POUNDS PER SQUARE FOOT
EXT	EXTERIOR	PSI	POUNDS PER SQUARE INCH
F/	FACE OF (SEE OTHER WORD)	PTD	PAINTED
FA	FIRE ALARM	PTN	PARTITION
FD	FLOOR DRAIN	QTY	QUANTITY
FDC	FIRE DEPARTMENT CONNECTION	R	RADIUS
FDN	FOUNDATION	RA	RETURN AIR
FE	FIRE EXTINGUISHER	RCP	REFLECTED CEILING PLAN
FEC	FIRE EXTINGUISHER CABINET	RD	ROOF DRAIN
FEQ	FOOF EQUIPMENT	RECPT	RECEPTACLE
FF	FINISH FLOOR	REF	REFERENCE
FF&E	FURNITURE, FIXTURES & EQUIPMENT	REFR	REFRIGERATOR
FHC	FIRE HOSE CABINET	REINF	REINFORCED / REINFORCING
FIN	FINISH	REQ	REQUIRE / REQUIRED
FL	FLOOR	REV	REVISION / REVISED
FLUOR	FLUORESCENT	RM	ROOM
FO	FINISHED OPENING	RO	ROUGH OPENING
FRTW	FIRE RETARDANT TREATED WOOD	SA	SUPPLY AIR
FS	FIRE STOPPING	SAFB	SOUND ATTENUATING FIRE BLANKET/BATT
FT	FEET/FOOT	SAN	SANITARY
FTG	FOOTING	SCHED	SCHEDULE
FURN	FURNITURE	SD	STORM DRAIN
GA	GAUGE / GAGE	SECT	SECTION
GALV	GALVANIZED	SF	SQUARE FEET/FOOT
GC	GENERAL CONTRACTOR, GENERAL CONTRACT	SHR	SHOWER
GFRC	GLASS FIBER REINFORCED CONCRETE	SHT	SHEET
GFRG	GLASS FIBER REINFORCED GYPSUM	SIM	SIMILAR
GFRP	GLASS FIBER REINFORCED PLASTIC	SM	SQUARE METER
GR	GRADE	SMS	SHEET METAL SCREW
GWB	GYPSUM WALLBOARD	SPEC	SPECIFICATION
HB	HOSE BIBB	SPKR	SPEAKER
HC	HANDICAPPED	SQ	SQUARE
HM	HOLLOW METAL	SST	STAINLESS STEEL
HO	HOLD-OPEN	STD	STANDARD
HORIZ	HORIZONTAL	STL	STEEL
HP	HIGH POINT	STMS	SELF-TAP SHEET METAL SCREW
HR	HOUR	STRL	STRUCTURAL
HRC	HOSE REEL CABINET	SUSP	SUSPENDED
HSS	HOLLOW STRUCTURAL SECTION	SYMM	SYMMETRICAL
HT	HEIGHT	T&G	TONGUE AND GROOVE
HVAC	HEATING, VENTILATING, AIR CONDITIONING	T/	TOP OF (SEE OTHER WORD)
HW	HOT WATER	TEMP	TEMPERATURE
ICB	INTEGRAL COVE BASE	TGB	TOGGLE BOLT
ICC	INTERNATIONAL CODE COUNCIL	THK	THICKNESS
ID	INSIDE DIAMETER / DIMENSION	TV	TELEVISION
IN	INCH	TYP	TYPICAL
INFO	INFORMATION	UL	UNDERWRITERS LABORATORY
INT	INTERIOR	UON	UNLESS OTHERWISE NOTED
INV	INVERT	VERT	VERTICAL
JC	JANITOR'S CLOSET	VEST	VESTIBULE
JST	JOIST	VIF	VERIFY IN FIELD
JT	JOINT	W/	WITH
K	KIP (1000 LB)	W/O	WITHOUT
KG	KILOGRAM	WC	WATER CLOSET
KIT	KITCHEN	WP	WORK POINT
LAB	LABORATORY		

DRAWINGS:

1. DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS ONLY. WHERE NO DIMENSION IS PROVIDED OR WHERE DISCREPANCIES EXIST, CONSULT THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.

2. OMISSIONS OR CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE DRAWINGS, NOTES AND DETAILS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND RESOLVED BEFORE PROCEEDING WITH THE WORK.

3. LARGE SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS. WRITTEN SPECIFCATIONS TAKE PRECEDENCE OVER ALL DRAWINGS.

4. IF A CONFLICT EXISTS BETWEEN REFERENCED REGULATORY REQUIREMENTS AND THE CONTRACT DOCUMENTS, CONTRACTOR SHALL NOTIFY OWNER 'S REPRESENTATIVE AND REQUEST THAT THE CONFLICT BE RESOLVED. THE FACT THAT THE CONTRACT DOCUMENTS MAY ESTABLISH HIGHER OR MORE COSTLY REQUIREMENTS THAT THE MINIMUM CODE OR OTHER REGULATORY REQUIREMENTS REFERENCED ABOVE SHALL NOT CONSTITUTE A "CONFLICT".

5.WORK NOT PARTICULARLY DETAILED, MARKED OR SPECIFIED, SHALL BE THE SAME AS SIMILAR WORK THAT IS DETAILED MARKED OR SPECIFIED.

6. NO DEVIATION FROM THE APPROVED DRAWINGS AND SPECIFICATIONS IS PERMITTED WITHOUT THE PRIOR WRITTEN CONSENT OF THE ARCHITECT. THE ARCHITECTS INTERPRETATION OF THESE DOCUMENTS SHALL BE FINAL.

CONTRACTOR'S RESPONSIBILITIES:

1. CONTRACTOR TO PROVIDE ALL WORK AND MATERIALS IN ACCORDANCE WITH THE LATEST REQUIREMENTS AS AMENDED BY ALL STATE AND LOCAL CODES, AND CALIFORNIA ADMINISTRATIVE CODE, TITLE 24, DISABLED ACCESS COMPLIANCE REGULATIONS.

2. CONTRACTOR SHALL MAKE SITE INSPECTIONS AND BE RESPONSIBLE FOR ALL NEW AND DEMOLITION WORK, WHETHER DETAILED BY THE SPECIFICATIONS AND DRAWINGS, OR IMPLIED BY EXISTING CONDITIONS.

3. ANY DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS, AS CONFLICTS WITH ACTUAL SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTIONS OF THE DESIGNER BEFORE PROCEEDING WITH THE WORK.

4. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND PROVIDE ALL NECESSARY TEMPORARY UTILITY HOOK-UPS FOR ALL EQUIPMENT DURING CONTRUCTION.

5. CONTRACTOR SHALL BE RESPONSIBLE FOR DISCONNECTION/ CAPPING OFF ALL EXISTING UTILITIES AND RE-CONNECTIONS WHERE RE-USE IS POSSIBLE.

6. CONFIRM ALL WINDOW SIZES WITH ACTUAL/ EXISTING ROUGH OPENING DIMENSIONS PRIOR TO ORDERING WINDOWS.

7. CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL SPECIAL INSPECTIONS, INCLUDING BUT NOT LIMITED TO ORDERING INSPECTIONS AND TESTS AS REQUIRED FOR COMPLIANCE WITH SPECIAL INSPECTIONS/BUILDING PERMIT APPROVALS.

8. CONTRACTOR IS RESPONSIBLE FOR VERIFYING COMPLIANCE WITH ALL SOUND TRANSMISSION REQUIREMENTS PER CBC 1206, INCLUDING STC AND IIC RATINGS OF ASSEMBLIES AND EXTERIOR ASSEMBLY REQUIREMENTS FOR EXTERIOR SOUND TRANSMISSION CONTROL.

9. WORK SHALL BE EXECUTED IN A CAREFUL AND ORDERLY MANNER, WITH THE LEAST POSSIBLE DISTURBANCE TO NEIGHBORING TENANTS.

10. CONTRACTOR SHALL PROVIDE DUST COVERS AS REQUIRED TO CONTAIN DUST AND DEBRIS WITHIN THE CONSTRUCTION AREA. BROOM CLEAN ALL AREAS EACH DAY, AND AS NECESSARY THROUGHOUT THE DAY TO MAINTAIN WORK AREA SAFE AND FULLY OPERATIONAL. KEEP DUST AND DEBRIS TO A MINIMUM.

11. CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE SAFETY OF ALL PERSONS ON OR ABOUT THE CONSTRUCTION SITE, IN ACCORDANCE WITH APPLICABLE LAWS AND CODES. GUARD ALL HAZARDS IN ACCORDANCE WITH THE SAFETY PROVISIONS OF THE LATEST MANUAL OF ACCIDENT PREVENTION PUBLISHED BY THE ASSOCIATED GENERAL CONTRACTORS OF AMERICA.

12. CONTRACTOR SHALL INFORM THE ARCHITECT & OWNER IN WRITING OF ANY CONDITIONS UNCOVERED IN THE COURSE OF DEMOLITION OR CONSTRUCTION WHICH DEVIATE FROM THE DOCUMENTS, OR WHICH MAY CONSTITUTE A HAZARD DURING OR AFTER CONSTRUCTION. THESE CONDITIONS INCLUDE, BUT ARE NOT LIMITED TO, DRY ROT OR DAMAGE TO EXISTING STRUCTURAL MEMBERS, AND FRAMING MEMBER SIZES OR SPACING WHICH DO NOT CORRESPOND WITH THOSE STATED IN THE DOCUMENTS. THE ARCHITECT SHALL PROVIDE WRITTEN DIRECTION AS HOW TO PROCEED IN EACH CASE.

13. IF THE CONTRACTOR FINDS IT NECESSARY TO DEVIATE FROM THE DOCUMENTS IN ANY MANNER, THE CONTRACTOR SHALL INFORM THE ARCHITECT OR OWNER IN WRITING AND OBTAIN WRITTEN APPROVAL FOR ANY CHANGES PRIOR TO COMMENCING WITH THE WORK.

PROJECT DATA

LOCATION: 2182 Clayton Dr, Menlo Park, CA 94025

EXISTING USE: Residential	**APPLICANT:** Huan Wei
PROPOSED USE: Residential	**PROPERTY OWNER(S):** Huan Wei
ZONING: R1S	**APPLICATION(S):** Use permit

DEVELOPMENT STANDARDS	PROPOSED PROJECT	EXISTING DEVELOPMENT	ZONING ORDINANCE
Lot area	12293 sf	12293 sf	7000 sf min.
Lot width	100 ft.	100 ft.	65 ft. min.
Lot depth	125.1 ft.	125.1 ft.	100 ft. min.
Setbacks			
Front	33.5 ft.	33.5 ft.	20 ft. min.
Rear	5 ft.	5 ft.	20 ft. min.
Side (left)	28 ft.	28 ft.	12 ft. min.
Side (right)	9.5 ft.	9.5 ft.	10 ft. min.
Building coverage	2781 sf 23 %	2781 sf 23 %	sf max. 35 % max.
FAR (Floor Area Ratio)*	N/A sf N/A %	N/A sf N/A %	N/A sf max. N/A % max.
FAL (Floor Area Limit)**	3791 sf	3164 sf	4123 sf
Square footage by floor			
below grade	sf	sf	
1ST	1228 sf	2228 sf	
2ND	1082 sf	455 sf	
garage	304 sf	304 sf	
accessory building(s)	177 sf	177 sf	
other	sf	sf	
Square footage of buildings	3791 sf	3164 sf	4123 sf max.
Building height	27'2" ft.	20'9" ft.	28 ft. max.
Landscaping***	N/A sf N/A %	N/A sf N/A %	sf min. N/A % min.
Paving***	N/A sf N/A %	N/A sf N/A %	sf min. N/A % min.
Parking	2 spaces	2 spaces	2 spaces
Define Basis for Parking	(Example: 1 covered/1 uncovered per residential unit or # of spaces/X square feet) 1 covered/1 uncovered per residential unit		
Trees	# of existing **Heritage** trees 8	# of existing **non-Heritage** trees 11	# of new trees 0
	# of existing **Heritage** trees to be removed 0	# of **non-Heritage** trees to be removed 0	**Total #** of trees 19

GOVERNING CODES

ALL NEW WORK SHALL BE IN STRICT CONFORMANCE WITH THE FOLLOWING CODES & ORDINANCES INCLUDING BUT NOT LIMITED TO:

PART 1: 2022 CALIFORNIA ADMINISTRATIVE CODE
PART 2: 2022 CALIFORNIA BUILDING CODE
PART 2.5: 2022 CALIFORNIA RESIDENTIAL CODE
PART 3: 2022 CALIFORNIA ELECTRICAL CODE
PART 4: 2022 CALIFORNIA MECHANICAL CODE
PART 5: 2022 CALIFORNIA PLUMBING CODE
PART 6: 2022 CALIFORNIA BUILDING ENERGY CODE
PART 8: 2022 CALIFORNAI HISTORICAL CODE
PART 9: 2022 CALIFORNIA FIRE CODE
PART 10: 2022 CALIFORNIA EXISTING BUILDING CODE
PART 11: 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGreen)

NOTHING IN THESE DRAWINGS IS TO BE CONSIDERED TO PERMIT WORK NOT IN CONFORMANCE WITH THESE CODES.

UNLESS OTHERWISE SPECIFIED, SPECIFIC REFERENCES TO CODES, REGULATIONS, STANDARDS, MANUFACTURER'S INSTRUCTIONS, OR REQUIREMENTS OF REGULATORY AGENCIES, WHEN USED TO SPECIFY REQUIREMENTS FOR MATERIALS OR DESIGN ELEMENTS, SHALL MEAN THE LATEST EDITION OF EACH IN EFFECT AT THE DATE OF SUBMISSION OF BIDS, OR THE DATE OF THE CHANGE ORDER OR FILED ORDER, AS APPLICABLE.

PROJECT DESCRIPTION

PARTIALLY REMODELED AN EXISTING TWO STORY SINGLE FAMILY HOME AND PROPOSED A NEW ADDITION TO SECOND FLOOR.

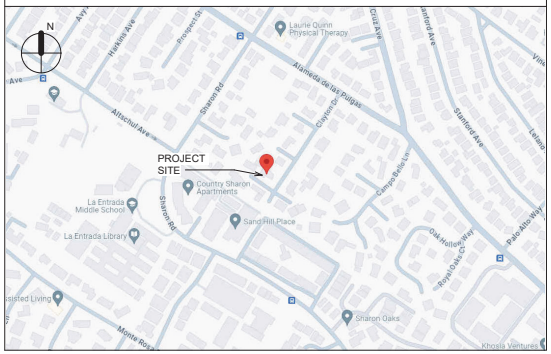
DETAILED WORKS:
1) ON 1ST FLOOR, MERGED LIVINGROOM, KITCHEN AND FAMILY ROOM, RELOCATED POWDER ROOM, ADDED A MUDROOM, CONVERTED ONE BATH INTO TWO.

2) ON THE NEW 2ND FLOOR, ADDED A MASTER BEDROOM, A MASTER BATHROOM, A WALK-IN CLOSET AND AN OUTDOOR DECK.

3) REPLACED EXISTING EXTERIOR FINISH WITH WHITE STUCCO.

THE TOTAL INTERIOR REMODEL AREA IS 773 SQFT.
THE TOTAL ADDITION AREA IS 562 SQFT.

VINICITY MAP



EXISTING SITE

DRAWING INDEX

SHEET #	SHEET NAME
A0.0	TITLE SHEET
A0.1	GENERAL NOTES
A0.2	EXISTING SITE PLAN
A0.3	PROPOSED SITE PLAN
A1.1	EXISTING 1ST FLOOR PLAN
A1.2	EXISTING 2ND FLOOR PLAN
A1.3	PROPOSED 1ST FLOOR PLAN
A1.4	PROPOSED 2ND FLOOR PLAN
A1.5	EXISTING ROOF PLAN
A1.6	PROPOSED ROOF PLAN
A1.7	1ST AND 2ND FLOOR PLAN AREA & COVERAGE
A2.1	EXISTING & PROPOSED NORTH ELEVATIONS
A2.2	EXISTING & PROPOSED WEST ELEVATIONS
A2.3	EXISTING & PROPOSED SOUTH ELEVATIONS
A2.4	EXISTING & PROPOSED EAST ELEVATIONS
A3.1	SECTIONS
A3.2	SECTIONS
X0.0	SITE SURVEY

PROJECT:

2182 CLAYTON STREET

MENLO PARK, CA, 94025

APN: 074-111-130

OWNER: HUAN WEI
T: 818 472 9823 E: VIVIANA0925@GMAIL.COM

ARCHITECTURAL DESIGN:
MOMENT X INC.
2979 21ST ST
SAN FRANCISCO CA 94110
T: 415.766.8008 E: HELLO@MOMENTX.STUDIO

STRUCTURAL ENGINEER:

ISSUE RECORD Date

SHEET TITLE:
TITLE SHEET

SET:	USE PERMIT
DATE:	12.26.2024
DRAWN:	© MOMENT X, 2024

SHEET NO:

A0.0

Original drawing is 36 x 24. Do not scale contents of this drawing.

DEMOLITION

1. DEMOLITION AND SALVAGE: CONTRACTOR SHALL CONTACT OWNER TO DETERMINE ITEMS TO BE SAVED. ONCE SALVAGE HAS BEEN COMPLETED, CONTRACTOR SHALL DEMOLISH AND REMOVE ALL ITEMS SHOWN ON PLANS TO BE DEMOLISHED.

2. GOVERNMENT RECYCLING REQUIREMENTS: CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND PERFORM ALL RECYCLING REQUIREMENTS GOVERNING THE PROJECT PRIOR TO DEMOLITION.

3. DETERMINING EXTENT OF DEMOLITION REQUIRED: CONTRACTOR SHALL THOROUGHLY EXAMINE STRUCTURAL DRAWINGS. CONTRACTOR SHALL DETERMINE IF ADDITIONAL DEMOLITION, NOT SHOWN ON DRAWINGS, ARE REQUIRED TO EXECUTE DESIGN OR STRUCTURAL ASPECTS OF THE PROJECT. IF SUCH DEMOLITION IS REQUIRED, CONTRACTOR SHALL OBTAIN WRITTEN AUTHORIZATION FROM STRUCTURAL ENGINEER.

4. ALTERATIONS AND ADDITIONS: IT IS THE INTENT OF THE DRAWINGS TO MAKE ALTERATIONS AND/OR ADDITIONS MATCH EXISTING. ALL EXISTING COMPONENTS SHOWN TO REMAIN SHALL BE REPAIRED, PATCHED, FILLED, REPAINTED, ETC. TO MATCH EXISTING AND/OR APPEAR AS NEW. ALL TRIM, TEXTURES, COLORS, ETC. SHALL MATCH EXISTING UNLESS OTHERWISE NOTED.

5. CONSTRUCTION WASTE REDUCTION, DISPOSAL & RECYCLING: RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65% OF NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE PER CGC 4.408.1.

FOUNDATION AND FLOOR FRAMING

1. INSTALL TERMITE SHIELDS & SEPARATE ALL EXTERIOR WOOD-TO-CONCRETE CONNECTIONS AT AREAS AFFECTED BY THE PROPOSED WORK.

2. PROVIDE UFER GROUND ON ALL NEW FOUNDATION AS REQ'D. VERIFY ELECTRICAL SERVICE ENTRY GROUNDING AND BONDING. PROVIDE AN 8-FOOT DRIVEN GROUNDING ROD, 10 FEET OF BURIED METAL PIPE OR UFER GROUND. BOND GROUNDING CONDUCTOR TO METAL PIPES (WATER AND GAS SERVICE) WITH APPROVED CLAMPS. (CEC 250-24 & 250-104)

3. SLOPE GRADE AWAY FROM FOUNDATION 5% MINIMUM FOR FIRST 10 FEET.

4. A CAPILLARY BREAK SHALL BE INSTALLED IF SLAB ON GRADE FOUNDATION IS USED. A 4" THICK BASE OF 1/2" OR LARGER CLEAN AGGREGATE UNDER 6 MIL VAPOR RETARDER WITH JOINT LAPPED NOT LESS THAN 6" SHALL BE PROVIDED PER CGC 4.504.2 AND CRC R506.2.3.

WALL CONSTRUCTION, INSULATION & MOISTURE RESISTANCE

1. INSULATE ALL EXTERIOR WALLS AND CEILINGS WHICH ARE OPENED UP DURING CONSTRUCTION.

2. EXTERIOR AND INTERIOR WALLS SHALL BE 2X4 @ 16" O.C. OR AS INDICATED ON STRUCTURAL DRAWINGS.

3. EXTERIOR FINISH SHALL BE INSTALLED OVER 2-LAYERS GRADE "D" BUILDING PAPER OVER PLYWOOD OR OSB SHEATHING, AND A 26 GAUGE GALVANIZED WEEP SCREED AT FOUNDATION PLATE LINE AT LEAST 4 INCHES ABOVE GRADE (OR 2 INCHES ABOVE CONCRETE OR PAVING). INSTALL ALL PRODUCTS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.

4. PROVIDE 1/2" GYPSUM BOARD AT INTERIOR WALLS AND 5/8" GYPSUM BOARD AT INTERIOR CEILINGS. FINISH PER PLAN OR MATCH EXISTING, TYP.

5. MOISTURE RESISTANT DRYWALL MUST BE INSTALLED AT ALL WET LOCATIONS, AND MUST BE INSTALLED TO A POINT A MINIMUM OF 72" ABOVE THE SHOWER DRAIN. DO NOT INSTALL A VAPOR BARRIER BEHIND GREEN BOARD. DO NOT INSTALL GREEN BOARD ON CEILING UNLESS CEILING JOISTS ARE NO GREATER THAN 12" APART.

6. WOOD FRAMING MEMBERS, INCLUDING WOOD SHEATHING, THAT REST ON EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8 INCHES ABOVE EXPOSED EARTH SHALL BE OF NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD.

7. PROVIDE VAPOR BARRIER BETWEEN CEMENT BOARD AND DRYWALL AND/OR FRAMING. CORROSION RESISTANT FASTENERS MUST BE USED.

8. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT. MOISTURE CONTENT SHALL BE CHECKED PRIOR TO FINISH MATERIAL APPLICATION PER CGC 4.505.3.

DOORS, WINDOWS & EGRESS

1. ALL EXTERIOR DOORS SHALL HAVE A MAXIMUM THRESHOLD STEP OF 7-3/4" AT INWARD SWING DOORS OR SLIDERS. ALL EXTERIOR DOORS SHALL HAVE A MAXIMUM THRESHOLD STEP OF 3/4" AT OUTWARD SWING DOORS, WITH LANDING DEPTH GREATER THAN OR EQUAL TO 36".

2. PROVIDE SAFETY GLAZING AT HAZARDOUS LOCATIONS INCLUDING BUT NOT LIMITED TO: GLASS DOORS, GLASS WINDOWS WITHIN 18" OF FINISHED FLOOR, WITHIN 24 " OF OPERABLE DOORS AND LESS THAN 60" ABOVE STANDING SURFACE OR DRAIN INLET, AND AT TUB, SHOWER AND OTHER BATHING ENCLOSURES. IDENTIFICATION SHALL BE LABELED ACCORDING TO CODE.

3. HABITABLE BASEMENTS, ATTICS, AND BEDROOMS SHALL HAVE EGRESS WINDOWS WITH 44" MAX. SILL HEIGHT ABOVE FINISH FLOOR, AND MIN. 5.7 SQ. FT. NET CLEAR OPENING AREA.
EXCEPTION: GROUND FLOOR WINDOW OPENINGS NOT GREATER THAN 44" ABOVE OR BELOW FINISHED GRADE LEVEL CAN HAVE MIN. 5.0 SQ. FT. NET CLEAR OPENING AREA. EGRESS WINDOWS SHALL HAVE MIN. 24" NET CLEAR OPENING HEIGHT, AND MIN. 20" NET CLEAR OPENING WIDTH.

4. DOOR FROM GARAGE TO RESIDENCE SHALL BE 20 MINUTE RATED OR 1-3/8" SOLID WOOD DOOR, AND SHALL BE SELF CLOSING AND SELF LATCHING WITH FULL PERIMETER WEATHERSTRIPPING.

RODENT PROOFING

1. ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATE AT EXTERIOR WALLS SHALL BE RODENT PROOFED BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY, OR SIMILAR METHODS ACCEPTABLE TO ENFORCING AGENCY PER CGC 4.406.1.

PAINTS & FINISHES

1. EXTERIOR: PATCH, PREP & PAINT NEW WORK AT EXTERIOR OF HOUSE, COLORS TO MATCH EXISTING U.O.N.

2. INTERIOR: PATCH, PREP & PAINT ALL ROOMS & AREAS WHERE CONSTRUCTION WORK OCCURS. COLORS TO MATCH EXISTING OR BE SELECTED BY DESIGNER.

3. PROVIDE PRIMER & MINIMUM TWO COATS IF BRUSHED, OR THREE COATS IF SPRAYED. APPLY ADDITIONAL COATS IF NEEDED TO PROVIDE A UNIFORM FINISH IN COLOR & APPEARANCE.

4. FINISH MATERIALS SHALL COMPLY WITH CGC 4.504.2.1 THROUGH 4.504.5.1.

5. ADHESIVES, SEALANTS AND CAULKS SHALL MEET REQUIREMENTS OF STANDARDS LISTED IN CGC 4.504.2.1.

6. PAINTINGS AND COATINGS SHALL COMPLY WITH VOC LIMITS PER CGC 4.504.2.2.

7. AEROSOL PAINTS AND COATING SHALL MEET PRODUCT-WEIGHTED MIR LIMITS FOR VOC AND OTHER REQUIREMENTS PER CGC 4.504.2.4.

8. ALL CARPET INSTALLED IN BUILDING INTERIOR SHALL MEET TESTING AND PRODUCT REQUIREMENT PER CGC 4.504.3. CARPET CUSHION AND ADHESIVE ALSO MUST COMPLY.

9. HARDWOOD PLYWOOD, PARTICLEBOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS PER CGC 4.504.5.

10. DOCUMENTATIONS SHALL BE PROVIDED, AT REQUEST OF BUILDING DIVISION, TO VERIFY COMPLIANCE WITH VOC FINISH MATERIALS PER CGC 4.504.2.4.

THERMAL & MOISTURE PROTECTION

1. ALL FLASHING, SADDLES & ROOF JACKS, ETC. TO BE 24 GAUGE GALVANIZED SHEET METAL. FABRICATE & INSTALL PER SMACNA RECOMMENDATIONS. CLEAN, PRIME & PAINT. NOTE: CAUTION MUST BE TAKEN NOT TO PLACE FLASHING IN DIRECT CONTACT WITH DISSIMILAR METALS AND/OR WOOD WITH ACID CONTENT THAT CAUSE ELECTROLYSIS (GALVANIC CORROSION OF A LESS "NOBLE" METAL). USE A RELIABLE SEPARATION MATERIAL WHERE CONTACT IS UNAVOIDABLE.

2. INSTALL FLASHING & COUNTER FLASHING PER SMACNA RECOMMENDATIONS.

3. ALL EXTERIOR WALL OUTLETS, DOORS, WINDOWS AND PENETRATIONS SHALL BE INSPECTED AND HOLES FILLED WITH LOW-VOC CAULKING OR EXPANDABLE FOAM UTILITIES.

KITCHEN

1. ALL LIGHTING SHALL BE LED OR HIGH EFFICACY.

2. HOT WATER PIPES TO KITCHEN SHALL BE INSULATED.

3. COUNTERTOP RECEPTACLE LOCATIONS SHALL COMPLY W/ CEC 210.52(C)(1), MAX. 12" FROM END OF COUNTER, MAX. 48" SPACING, AND MAX 24" FROM RANGE OR SINK EDGES.

4. TWO OR MORE 20-AMPERE SMALL APPLIANCE BRANCH CIRCUITS ARE REQUIRED TO SERVE COUNTERTOP AND WALL RECEPTACLES IN KITCHEN, PANTRY, BREAKFAST ROOM, DINING ROOM, OR SIMILAR AREAS. NO BUILT-IN APPLIANCES ARE ALLOWED ON THESE CIRCUITS. CEC 210.11(A).

5. DEDICATED CIRCUITS ARE REQUIRED FOR GARBAGE DISPOSAL, MICROWAVE, TRASH COMPACTOR, AND DISHWASHER. CEC 210.19(A)(1)(B).

6. KITCHEN FAUCET SHALL BE 1.8 GPM MAXIMUM AT 60 PSI.

7. DISHWASHER SHALL USE LESS THAN OR EQUAL TO 6.56 GPM MAX OR ENERGY STAR COMPLIANT.

8. EACH KITCHEN IS REQUIRED TO HAVE AN EXHAUST FAN DUCTED TO OUTSIDE WITH A MINIMUM VENTILATION RATE OF 100 CFM. RANGE HOOD OVER STOVE MAY BE USED TO MEET THIS REQUIREMENT, PROVIDED RANGE HOOD VENTS DIRECTLY TO OUTSIDE. RE-CIRCULATING RANGE HOODS CANNOT BE USED. DUCTING FOR EXHAUST FAN SHALL BE SIZED ACCORDING TO ASHRAE STANDARD 62.2 TABLE 7.1. NOISE LEVEL OF EXHAUST FAN CANNOT EXCEED 3.0 SONES WHEN OPERATING AT 100 CFM.

GARAGE

1. SLOPE GARAGE SLAB 1% TO DOOR.

2. DOOR FROM GARAGE TO RESIDENCE SHALL BE 20 MINUTE RATED OR 1-3/8" SOLID WOOD DOOR, AND SHALL BE SELF CLOSING AND SELF LATCHING WITH FULL PERIMETER WEATHERSTRIPPING.

3. ALL ELECTRICAL OUTLETS TO BE GFCI, INSTALLED 54" ABOVE FLOOR FINISH, TYPICAL U.O.N.

4. 1/2" GYP. BOARD ON GARAGE SIDE OF COMMON WALL FROM FOUNDATION TO CEILING AND ON GARAGE CEILING, TYPICAL. 5/8" TYPE 'X' GYP. BD. ON GARAGE CEILING WITH HABITABLE SPACE ABOVE. CRC TABLE R302.5.

BATHROOMS (SEE PLUMBING NOTES FOR ADD'L INFO.)

1. BATHROOM FIXTURES, ACCESSORIES & FINISHES TO BE APPROVED BY OWNER.

2. SHOWERHEADS SHALL HAVE MAXIMUM FLOW OF 1.8 GPM PER CPC 408.2. WHEN MORE THAN ONE SHOWER HEAD IS USED FOR THE SAME SHOWER, TOTAL MAXIMUM FLOW OF ALL SHOWERHEADS SHALL NOT EXCEED 1.8 GPM.

3. SHOWER AND TUB SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF PRESSURE BALANCE, THERMOSTATIC OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVE TYPE, ADJUSTED TO MAXIMUM OF 120 DEGREES. CPC 408.3.

4. BATHROOM LAVATORY FAUCETS SHALL HAVE MAXIMUM FLOW RATE OF 1.2 GPM PER CPC 407.2.1.2.

5. TOILET SHALL BE 1.28 GAL/FLUSH MAXIMUM OR DUAL FLUSH, PER CPC 411.2. TOILETS SHALL HAVE A MINIMUM 15 INCHES WIDE CLEAR SPACE FROM CENTER TO ANY SIDE WALL OR OBSTRUCTION, AND EXTEND AT LEAST 24 INCHES IN FRONT OF THE TOILET TO ANY OBSTRUCTION.

6. SHOWER COMPARTMENTS, REGARDLESS OF SHAPE, SHALL HAVE A MINIMUM INTERIOR FLOOR AREA OF 1,024 SQUARE INCHES, AND ALSO CAPABLE OF ENCOMPASSING A 30-INCH DIA. CIRCLE. THE AREA AND DIMENSION SHALL BE MAINTAINED UP TO 70 INCHES ABOVE SHOWER DRAIN INLET. MINIMUM REQUIRED AREA SHALL NOT APPLY WHERE AN EXISTING BATHTUB IS REPLACED BY A SHOWER RECEPTOR WITH MIN. 30" WIDTH AND MIN. 60" LENGTH.

7. A LISTED ANTI-SCALD PRESSURE BALANCE VALVE SHALL BE INSTALLED AT SHOWER COMPARTMENTS.

8. SHOWER DRAIN PIPES MUST BE A MINIMUM OF 2" DIAMETER.

10. PLASTIC SHOWER LINERS AND UNDERLAYMENT SHALL SLOPE A MINIMUM OF 1/4" PER FOOT TO DRAIN AND BE WRAPPED UP WALL 3" MINIMUM ABOVE DRAIN. WATER TEST ASSEMBLY TO VERIFY THAT PAN DOES NOT LEAK AND WEEP HOLES ARE DRAINING CORRECTLY.

11. NEW PLUMBING SHALL BE TESTED WITH 10' HEAD OF WATER ABOVE THE HIGHEST FIXTURE OR AN AIR TEST OF 5 LBS.

12. SHOWER AND TUB/SHOWER WALLS SHALL HAVE A SMOOTH, HARD, NONABSORBENT SURFACE (CERAMIC TILE OR FIBERGLASS) OVER A MOISTURE RESISTANT UNDERLAYMENT (CEMENT, FIBER CEMENT, OR GLASS MAT GYPSUM BACKER) TO A HEIGHT OF 72" INCHES ABOVE THE DRAIN INLET. WATER-RESISTANT GYPSUM BACKING BOARD SHALL NOT BE USED OVER A VAPOR RETARDER IN SHOWER OR BATHTUB COMPARTMENTS. CRC R307.2 & R702.4.

13. DOORS & PANELS OF SHOWER & BATHTUB ENCLOSURES SHALL BE FULLY TEMPERED OR LAMINATED.

ELECTRICAL REQUIREMENTS @ BATHROOMS:

1. ALL BATHROOMS LIGHTING SHALL BE HIGH EFFICACY LED LUMINAIRES. AT LEAST ONE FIXTURE MUST BE CONTROLLED BY VACANCY SENSOR.

2. LUMINAIRES LOCATED OVER TUB OR SHOWER SHALL BE LISTED FOR DAMP OR WET LOCATIONS RESPECTIVELY.

3. ALL NEW OUTLETS SHALL BE GFCI PROTECTED AND TAMPER RESISTANT. A 20 AMP BATHROOM CIRCUIT SHALL ONLY SERVE RECEPTACLE(S) WITHIN EACH BATHROOM (THE CIRCUIT MAY SERVE THE RECEPTACLES AND LIGHTS ONLY IN STAND ALONE BATHROOMS) NO MOTOR LOADS SHALL BE ON THE BATHROOM CIRCUIT.

4. A RECEPTACLE SHALL BE INSTALLED ON A WALL/PARTITION WITHIN 36 INCHES OF OUTSIDE EDGE OF EACH BASIN OR INSTALLED ON A SIDE/FACE 12 INCHES MAX BELOW COUNTERTOP.

5. ALL EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND ARE REQUIRED IN ALL BATHROOMS, REGARDLESS IF AN OPERABLE WINDOW IS INSTALLED, AND DUCTED TO OUTSIDE WITH A MINIMUM VENTILATION RATE OF 50 CFM. DUCT SIZE SHALL BE SIZED ACCORDING TO ASHRAE STANDARD 62.2 TABLE 7.1.

6. EXHAUST FANS SHALL BE SWITCHED SEPARATELY FROM ANY LIGHTING SYSTEM. BATH FANS SHALL BE ON A TIMER OR A HUMIDISTAT UNLESS FUNCTIONING AS PART OF WHOLE HOUSE VENTILATION SYSTEM. VERIFY FAN LOCATION TO BE DESIGNATED FOR CONTINUOUS OPERATION TO MEET ASHRAE INDOOR AIR QUALITY STANDARD AND REQUIREMENTS.

7. EXHAUST FANS AT SHOWERS SHALL BE LISTED FOR WET LOCATIONS AND SHALL BE GFCI PROTECTED.

SMOKE & CARBON MONOXIDE DETECTORS

1. INSTALL OPERATIONAL SMOKE & CARBON MONOXIDE DETECTORS IN ALL BEDROOMS AND ADJACENT HALLWAYS OUTSIDE BEDROOMS ON EVERY HABITABLE LEVEL OF HOUSE. IF SMOKE & CARBON MONOXIDE DETECTORS ARE BATTERY OPERATED, THEY SHALL BE 10 YEAR SEALED BATTERY TYPES. LOCATIONS SHALL BE A MINIMUM OF 3'-0" FROM DUCT OPENINGS. SEE CRC R314.3.3 FOR ADDITIONAL REQUIREMENTS.

2. ALL SMOKE/CARBON MONOXIDE DETECTORS (125 VOLT) TO BE I.C.B.O. APPROVED, PERMANENTLY WIRED & INTERCONNECTED WITH BATTERY POWERED BACK-UP ON AFCI PROTECTED CIRCUIT & WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED BY OVER CURRENT PROTECTION, TYPICAL U.O.N.

3. DUAL SENSOR PHOTOELECTRIC/IONIZATION SMOKE ALARMS ARE REQUIRED IN ALL AREAS/ROOMS USED FOR SLEEPING AND IN IMMEDIATE VICINITY OUTSIDE THESE AREAS/ROOMS.

4. SMOKE ALARMS INSTALLED WITHIN 20 FT. OF A KITCHEN, BATHROOM, OR ROOM CONTAINING A FIREPLACE OR WOOD BURNING STOVE SHALL BE PHOTOELECTRIC.

5. CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM BUILDING WIRING, BE EQUIPPED WITH BATTERY BACK-UP AND BE INTERCONNECTED IN SUCH A MANNER THAT ACTIVATION OF ONE ALARM WILL ACTIVATE ALL SMOKE AND CARBON MONOXIDE ALARMS.

6. INSTALL CARBON MONOXIDE ALARMS OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS AND ON EVERY LEVEL OF A DWELLING UNIT. CARBON MONOXIDE ALARMS SHALL BE LISTED AS COMPLYING WITH UL2034 AND INSTALLED AND MAINTAINED IN ACCORDANCE WITH NFPA 720. CARBON MONOXIDE DETECTORS SHALL BE LISTED AS COMPLYING WITH UL 2075.

LIGHTING & ELECTRICAL NOTES (ALSO SEE BATHROOM & KITCHEN NOTES)

1. VERIFY ALL ELECTRICAL AND FIXTURE LOCATIONS WITH OWNER AND DESIGNER.

2. ELECTRICAL SUBCONTRACTOR SHALL BE RESPONSIBLE FOR ALL CALCULATIONS, PERMITS & APPROVALS FOR ELECTRICAL WORK.

3. PERMANENTLY INSTALLED SCREW-BASED LIGHT FIXTURES MUST CONTAIN SCREW-BASED JA8-COMPLIANT LAMPS. JA8-COMPLIANT LIGHT SOURCES MUST BE MARKED AS "JA8-2016" OR "JA8-2016-E". CEC 150.0(k)G.

4. ALL JA8-COMPLIANT LIGHT SOURCES IN FOLLOWING LOCATIONS SHALL BE CONTROLLED BY VACANCY SENSORS OR DIMMERS, EXCEPT CLOSETS LESS THAN 70 SF AND HALLWAYS:
   - 4.1. CEILING RECESSED DOWNLIGHT LUMINAIRES.
   - 4.2. LED LUMINAIRES WITH INTEGRAL SOURCES.
   - 4.3. PIN-BASED LED LAMPS (MR16, AR-111, ETC.).
   - 4.4. GU-24 BASED LED LIGHT SOURCES.

5. PERMANENTLY INSTALLED EXTERIOR LIGHTS SHALL BE HIGH EFFICACY WITH MANUAL ON/OFF SWITCH AND ONE OF THE FOLLOWING IN ACCORDANCE WITH CA ENERGY CODE 150.0(k)3:
   - 5.1. PHOTOCONTROL AND MOTION SENSOR.
   - 5.2. PHOTOCONTROL AND AUTOMATIC TIME SWITCH CONTROL.
   - 5.3. ASTRONOMICAL TIME SWITCH CONTROL.
   - 5.4. ENERGY MANAGEMENT CONTROL SYSTEMS

6. ALL POWER, CABLE, TELEPHONE & OTHER COMMUNICATION OUTLET LOCATIONS TO BE FIELD-APPROVED BY OWNER PRIOR TO INSTALLATION.

7. WHERE OUTLETS ARE SHOWN ADJACENT TO EACH OTHER THEY SHALL BE GANGED & COVERED BY ONE PLATE.

8. ALL ELECTRICAL OUTLETS, SWITCHES & OTHER DEVICES SHALL BE THE SAME COLOR AS THE COVER PLATE, U.O.N.

9. ALL RECESSED LIGHTING FIXTURE LOCATIONS SHALL TAKE PRECEDENCE WHEN PLACING CEILING JOISTS. CONTRACTOR SHALL COORDINATE CEILING FRAMING ACCORDINGLY.

10. COORDINATE LIGHTING SELECTION & LOCATIONS WITH OWNER. PROVIDE RECESSED LIGHTS RATED I.C. ZERO CLEARANCE FOR USE IN INSULATED / VAULTED CEILINGS.

11. ALL 125-VOLT, 15- AND 20- AMPERE RECEPTACLES IN DWELLING UNITS SHALL BE TAMPER-RESISTANT RECEPTACLES, CEC 406.12(A).

12. WALL RECEPTACLE TO BE INSTALLED/PLACED WITHIN 6'-0" MEASURED HORIZONTALLY FROM ANY POINT ALONG FLOOR LINE. THE MAXIMUM SPACING FOR WALL RECEPTACLES IS12'-0". CEC 210.52 A1.

13. ALL OUTLETS ARE TO BE WALL MOUNTED UPRIGHT 12" ABOVE FINISH FLOOR, U.O.N. COORDINATE SWITCHES & OUTLETS ADJACENT TO DOORS/WINDOWS FOR FINAL WIDTH OF DOOR/WINDOW CASING

14. A MINIMUM OF 10" CLEARANCE SHALL BE MAINTAINED FROM OUTLETS TO ALL WALL ENDS, DOORS & WINDOWS.

15. ALL 120-VOLT, SINGLE PHASE, 15 AND 20 AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION-TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. CEC 210.12(A).

16. PROVIDE DEDICATED CIRCUITS FOR DISHWASHER, GARBAGE DISPOSAL, MICROWAVE, TRASH COMPACTOR, REFRIGERATION EQUIPMENT, AND SPA MOTOR OR SPA HEATER. CEC 210.23(A)(1), (2).

17. EXTERIOR LIGHTING OUTLETS AND FIXTURES SHALL NOT BE LOCATED MORE THAN NINE (9) FEET ABOVE ADJACENT GRADE OR REQUIRED LANDING; WALLS OR PORTIONS OF WALLS SHALL NOT BE FLOODLIT; ONLY SHIELDED LIGHT FIXTURES WHICH FOCUS LIGHT DOWNWARD SHALL BE ALLOWED, EXCEPT FOR ILLUMINATED STREET NUMBER REQUIRED BY THE FIRE DEPARTMENT.

MECHANICAL NOTES

1. MECHANICAL SUBCONTRACTOR IS RESPONSIBLE FOR ALL HVAC DRAWINGS, CALCULATIONS, PERMITS & APPROVALS REQUIRED FOR MECHANICAL WORK. IF A CONFLICT EXISTS BETWEEN STRUCTURAL & MECHANICAL PLAN, CONTRACTOR SHALL CONTACT DESIGNER BEFORE PROCEEDING.

2. HEATING AND AIR-CONDITIONING SYSTEM SHALL BE SIZED, DESIGNED & SELECTED USING FOLLOWING METHODS:
   - 2.1. HEAT LOSS/HEAT GAIN VALUES IN ACCORDANCE WITH ANSI/ACCA 2 MANUAL J-2011 OR EQUIVALENT.
   - 2.2. DUCT SYSTEMS ARE SIZED ACCORDING TO ANSI/ACCA 1 MANUAL D-2014 OR EQUIVALENT.
   - 2.3. SELECT HEATING AND COOLING EQUIPMENT IN ACCORDANCE WITH ANSI/ACCA 3, MANUAL S-2014 OR EQ.

3. PROVIDE A BACK DRAFT DAMPER FOR VENTILATION SYSTEMS EXHAUSTING TO EXTERIOR THAT ARE WITHIN 3 FEET OF A WINDOW OR DOOR.

4. REVIEW LOCATION OF AIR REGISTERS WITH DESIGNER PRIOR TO INSTALLATION.

5. PAINT INTERIOR OF VISIBLE DUCTS FLAT BLACK.

6. CONTRACTOR TO VERIFY SYSTEM VENTING COMPLIANCE PRIOR TO CONSTRUCTION FOR GAS APPLIANCES.

7. CONTRACTOR SHALL VERIFY IF EXISTING GAS LINE IS SUFFICIENTLY SIZED AND PROVIDE ALLOWANCE FOR REPLACEMENT IF NEEDED. CONTRACTOR SHALL ROUTE PIPES AS REQUIRED TO PROVIDE CONNECTION TO WATER HEATER, FURNACE UNIT, STOVE, DRYER AND ALL OTHER GAS APPLIANCES PER MANUFACTURER'S AND BUILDING CODE REQUIREMENTS.

8. TERMINATION OF ENVIRONMENTAL AIR DUCTS (I.E. DRYERS, BATH AND UTILITY FANS, COOKTOP HOOD EXHAUST, ETC.) SHALL BE MINIMUM 4 FEET AWAY FROM DOORS, WINDOWS, OPERABLE SKYLIGHTS OR ATTIC VENTS.

9. CLOTHES DRYER EXHAUST VENT SHALL TERMINATE TO OUTSIDE OF BUILDING WITH VENT HOOD IN DOWNWARD POSITION. DRYER DUCT SHALL BE SMOOTH METAL WITH BACKDRAFT DAMPER, 14 FEET MAXIMUM WITH TWO NINETY DEGREE ELBOWS MAX. TWO FEET SHALL BE DEDUCTED FOR EACH ADDITIONAL NINETY-DEGREE ELBOW. CMC 504.4.2.

10. BATHROOM & LAUNDRY ROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT, SHALL HAVE A MINIMUM VENTILATION RATE OF 50 CFM, AND UNLESS FUNCTIONING AS A WHOLE HOUSE VENTILATION SYSTEM, SHALL BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50 TO 80 PERCENT. CBC 1203.5.2.1.

11. BATHROOM FAN DUCT SHALL BE MINIMUM 4" DIA. AND 70' LONG MAXIMUM. KITCHEN FAN DUCT SHALL BE MINIMUM 5" DIA. AND 80' LONG MAXIMUM. EACH ELBOW IN DUCT SHALL REDUCE OVERALL MAXIMUM LENGTH BY 15' PER ASHRAE 62.2 TABLE 7.1.

12. PROVIDE TYPE B GAS EXHAUST VENT FOR KITCHEN APPLIANCES, FURNACES AND TANKLESS WATER HEATERS.

13. OUTDOOR AIR INTAKE OPENINGS SHALL BE LOCATED A MINIMUM OF 10 FEET FROM ANY HAZARDOUS AND NOXIOUS CONTAMINANTS SUCH AS VENTS, PLUMBING VENTS, ETC.

14. MINIMUM INTERMITTENT AIR FLOW/ VENTILATION SHALL BE 100 CFM FOR COOKTOP HOOD EXHAUST AND 50 CFM FOR ENCLOSED BATHROOMS.

15. NEW FURNACE AND AIR CONDITIONING SYSTEMS SHALL HAVE MERV 6 FILTERS OR BETTER. CEC 150.0(m)12B.

16. PROVIDE SOLID, UNOBSTRUCTED PASSAGEWAY NOT LESS THAN 24" WIDE FROM ACCESS OPENING TO EQUIPMENT INSTALLED IN ATTIC OR UNDER-FLOOR SPACE PER CMC 304.4.1 AND 304.4.2.

17. PROVIDE A LEVEL WORKING PLATFORM NOT LESS THAN 30" BY 30" ON SERVICE SIDE OF EQUIPMENT INSTALLED IN ATTIC OR UNDER-FLOOR SPACE. CMC 304.4.3.

18. A PERMANENT 120-VOLT RECEPTACLE AND A LIGHT FIXTURE SHALL BE INSTALLED NEAR EQUIPMENT INSTALLED IN ATTIC OR UNDER-FLOOR SPACE, WITH SWITCH LOCATED AT ACCESS OPENING. CMC 304.4.4.

19. AT TIME OF ROUGH INSTALLATION, DURING STORAGE ON CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF HEATING, COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENTS OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METALS OR OTHER METHODS ACCEPTABLE TO ENFORCING AGENCY TO REDUCE AMOUNT OF WATER, DUST OR DEBRIS WHICH MAY ENTER THE SYSTEM. CGC 4.504.1.

20. HVAC SYSTEM INSTALLERS SHALL BE TRAINED AND CERTIFIED IN PROPER INSTALLATION OF HVAC SYSTEMS AND EQUIPMENT BY A RECOGNIZED TRAINING OR CERTIFICATION PROGRAM PER CGC 702.1.

ROOFING

1. NEW ROOF SHEATHING SHALL HAVE A RADIANT BARRIER W/ FOIL-LINED SIDE FACING ATTIC. USE LP TECHSHIELD RADIANT BARRIER SHEATHING OR EQUIVALENT.

2. SEE ROOF PLAN FOR MINIMUM CLASS.

3. ROOF OVERHANGS OR EAVES PROJECTING WITHIN 3 FEET OF THE PROPERTY LINE SHALL BE REQUIRED TO BE ONE-HOUR RATED. PROVIDE 5/8" TYPE 'X' GYPSUM BOARD OR STUCCO ON THE UNDERSIDE OF THE ROOF.

4. GUTTERS, DOWNSPOUTS AND FLASHING SHALL BE G.I. METAL, TYPICAL U.O.N.

5. PROVIDE FIREBLOCKING EVERY 20 FEET IN AN EXTERIOR CORNICE.

PLUMBING NOTES

1. PER CALIFORNIA CIVIL CODE 1101.4(A), ALL NONCOMPLIANT PLUMBING FIXTURES MUST BE REPLACED WITH NEW FIXTURES THAT MEET NEW WATER EFFICIENCY REQUIREMENTS PRIOR TO FINAL PERMIT APPROVAL BY LOCAL BUILDING DEPARTMENT:
   - 1.1. WATER CLOSETS W/ FLOW RATES EXCEEDING 1.6 GPF TO BE UPGRADED TO 1.28 GPF MAXIMUM
   - 1.2. SHOWER HEADS W/ FLOW RATES EXCEEDING 2.5 GPM TO BE UPGRADED TO 1.8 GPM @80 PSI
   - 1.3. BATHROOM FAUCETS W/ FLOW RATES EXCEEDING 2.2 GPM TO BE UPGRADED TO 1.2 GPM @60 PSI
   - 1.4. KITCHEN FAUCETS W/ FLOW RATES EXCEEDING 2.2 GPM TO BE UPGRADED TO 1.8 GPM @ 60 PSI

2. INSULATE ALL HOT WATER PIPES PER CPC 609.11.1. ALL PLUMBING FIXTURES SHALL BE SEALED AT ALL WALL AND FLOOR PENETRATIONS.

3. WHEN POSSIBLE, COLLECT PLUMBING VENT RISERS, EXHAUST FAN VENT TERMINATIONS & ALL OTHER ROOF PENETRATIONS ON ROOFS FACING SIDE AND REAR YARDS. GANG SIMILAR ROOF VENTS WHEN POSSIBLE TO MINIMIZE ROOF PENETRATIONS. LOCATE ALL VENTS AWAY FROM AND BELOW RIDGE OR HIP LINES TO CONCEAL FROM STREET VIEW, TYPICAL U.O.N.

4. WATER-HAMMER: ALL BUILDING WATER SUPPLY SYSTEMS WITH QUICK ACTING VALVES INSTALLED SHALL BE PROVIDED WITH WATER HAMMER ARRESTERS. THEY SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO QUICK-ACTING VALVES.

5. PRESSURE TEMPERATURE RELIEF VALVES LOCATED INSIDE A BUILDING SHALL BE PROVIDED WITH AN APPROVED DRAIN TO EXTERIOR OF BUILDING AND SHALL TERMINATE NOT MORE THAN 2'-0" NOR LESS THAN 6" ABOVE THE GROUND. NO PART OF SUCH DRAIN SHALL BE TRAPPED OR SUBJECTED TO FREEZING. THE END OF PIPE SHALL NOT BE THREADED. DISCHARGE FROM A RELIEF VALVE TO A WATER HEATER PAN SHALL BE PROHIBITED. CPC 608.5.

6. POTABLE WATER OUTLET WITH HOSE ATTACHMENTS: OTHER THAN WATER HEATER DRAINS, BOILER DRAINS, & CLOTHES WASHER CONNECTIONS, ALL HOSE BIBBS SHALL BE PROTECTED BY A LISTED NON-REMOVABLE HOSE BIBB TYPE BACKFLOW PREVENTER OR BY AN LISTED ATMOSPHERIC VACUUM BREAKER INSTALLED AT LEAST SIX INCHES ABOVE HIGHEST POINT OF USAGE & LOCATED ON DISCHARGE SIDE OF LAST VALVE PER CPC 603.5.7.

7. WATER CONSERVATION FIXTURES & FITTINGS: THE MAXIMUM FLOW RATES FOR PLUMBING FIXTURE AND FITTINGS SHALL BE IN ACCORDANCE WITH APPLICABLE STANDARDS REFERENCED IN CPC L 402.2 THRU L 402.9 & LISTED IN TABLE L 402.1.

8. PROVIDE TEMPERATURE & PRESSURE RELIEF VALVES FOR WATER HEATER WITH RELIEF DRAIN LINE. DRAIN LINE TO BE FULL SIZED STEEL PIPE OR HARD DRAWN COPPER TUBING EXTENDING TO EXTERIOR OF THE BUILDING & TERMINATED IN A DOWNWARD POSITION NOT MORE THAN TWO FEET & NOT LESS THAN SIX INCHES ABOVE GRADE. DRAIN LINES SHALL BE SLOPED WITHOUT BEING TRAPPED & SHALL BE SUPPORTED 32" O.C.

9. PROVIDE AN ACCESSIBLE CLEAN OUT AT HIGHEST DRAIN LINE.

10. VERIFY ALLOWED USE OF PLASTIC PIPE FOR PROPERTY'S JURISDICTION.

11. DISHWASHER AIR GAP REQUIRED ABOVE SINK FLOOD RIM.

12. SPECIAL VENTING REQUIRED FOR ISLAND FIXTURES PER CPC 909.1.

13. NEW HOT WATER HEATER(S) SHALL BE STRAPPED WITH 16 GAUGE METAL STRAPS 1/3 FROM THE TOP AND 1/3 FROM THE BOTTOM OF WATER HEATER.

14. PROVIDE CORROSION RESISTANT WATERTIGHT PANS WITH APPROVED DRAINS TO DAYLIGHT UNDER WATER HEATERS AND WASHING MACHINES AS REQUIRED BY CODE.

15. VERIFY ALL PLUMBING FIXTURE LOCATIONS WITH DESIGNER.

PROJECT CLEANING / FINAL CLEANING

1. KEEP THE BUILDINGS AND SITE WELL-ORGANIZED AND CLEAN THROUGHOUT THE CONSTRUCTION PERIOD.

2. PROVIDE GENERAL CLEAN UP DAILY AND COMPLETE WEEKLY PICKUP AND REMOVAL OF ALL SCRAPS AND DEBRIS FROM SITE. WEEKLY PICKUP SHALL INCLUDE A THOROUGH BROOM-CLEAN SWEEP OF ALL INTERIOR SPACES. ALSO, EACH WEEK, SWEEP PAVED AREAS ON SITE AND PUBLIC PAVED AREAS ADJACENT TO THE SITE.

3. AT COMPLETION OF WORK, REMOVE ALL TOOLS, SURPLUS MATERIALS, EQUIPMENT, SCRAP AND DEBRIS FROM JOB SITE.

4. EXTERIOR OF BUILDING: INSPECT EXTERIOR SURFACES AFFECTED BY CONSTRUCTION AND REMOVE ALL WASTE MATERIALS.

5. INTERIOR OF BUILDING: INSPECT INTERIOR SURFACES AND REMOVE ALL WASTE MATERIALS, PAINT DROPPINGS, SPOTS, STAINS OR DIRT.

6. GLASS: CLEAN INSIDE AND OUTSIDE SO THERE ARE NO SPOTS OR DIRT, AND NO SMUDGES OR STREAKS REMAIN FROM THE CLEANING PROCESS.

7. SCHEDULE FINAL CLEANING AT COMPLETION OF PROJECT AT A TIME TO BE APPROVED BY OWNER.

8. FINAL CLEANING SHALL BE BROOM CLEAN. CLEANING MATERIALS SHALL BE USED WITH CARE AND COMPATIBLE WITH BUILDING MATERIALS AND FINISHES. FINAL CLEANING SHALL INCLUDE REMOVAL OF SCRAPS OR WASTE IN LANDSCAPED AREAS AND THOROUGH CLEANING OF WALKWAYS, DESKS, PAVED AREAS AND PUBLIC PAVED AREAS ADJACENT TO THE SITE. IF REQUESTED, PROVIDE ESTIMATE FOR CLEANING PROVIDED BY PROFESSIONAL CLEANERS USING COMMERCIAL GRADE CLEANING MATERIALS.

9. AFTER INSTALLATION, INSPECT ALL WORK FOR IMPROPER INSTALLATION OR DAMAGE.

10. OPERATING HARDWARE MUST PERFORM SMOOTHLY. REPAIR OR REPLACE ANY DEFECTIVE WORK. REPAIR WORK SHALL BE UNDETECTABLE. CLEAN WORK AREA AND REMOVE ALL SCRAP AND EXCESS MATERIALS FROM SITE.

VERIFICATION (CGC 703)

1. COMPLIANCE DOCUMENTATION: UPON REQUEST, VERIFICATION OF COMPLIANCE WITH CGC MAY INCLUDE CONTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO BUILDING DEPARTMENT WHICH WILL SHOW SUBSTANTIAL CONFORMANCE.

PROJECT CLOSEOUT

1. COMPLETED PUNCH LIST, OPERATION AND MAINTENANCE MANUAL PER CGC 4.408.1.

2. SIGNED WARRANTIES.

3. CERTIFICATIONS AS SPECIFIED.

4. OCCUPANCY PERMIT / FINAL APPROVAL FROM GOVERNING AGENCIES.

5. TESTING AND START UP OF BUILDING SYSTEMS.

6. FINAL PAYMENT REQUEST WITH SUPPORTING AFFIDAVITS.

7. LIEN RELEASES FROM ALL MATERIAL SUPPLIERS AND SUB CONTRACTORS THAT FILED LIEN NOTICES.

8. FINALED & SIGNED JOB CARD & ORIGINAL PERMITTED & STAMPED "JOB COPY" PLANS.

9. LUMINAIRE SCHEDULE WITH A LIST OF LAMPS INSTALLED IN THE LUMINAIRES.

PROJECT:

2182 CLAYTON STREET

MENLO PARK, CA, 94025

APN: 074-111-130

OWNER: HUAN WEI
T: 818 472 9823 E: VIVIANA0925@GMAIL.COM

ARCHITECTURAL DESIGN:
MOMENT X INC.
2979 21ST ST
SAN FRANCISCO CA 94110
T: 415.766.8008 E: HELLO@MOMENTX.STUDIO

STRUCTURAL ENGINEER:

ISSUE RECORD	Date

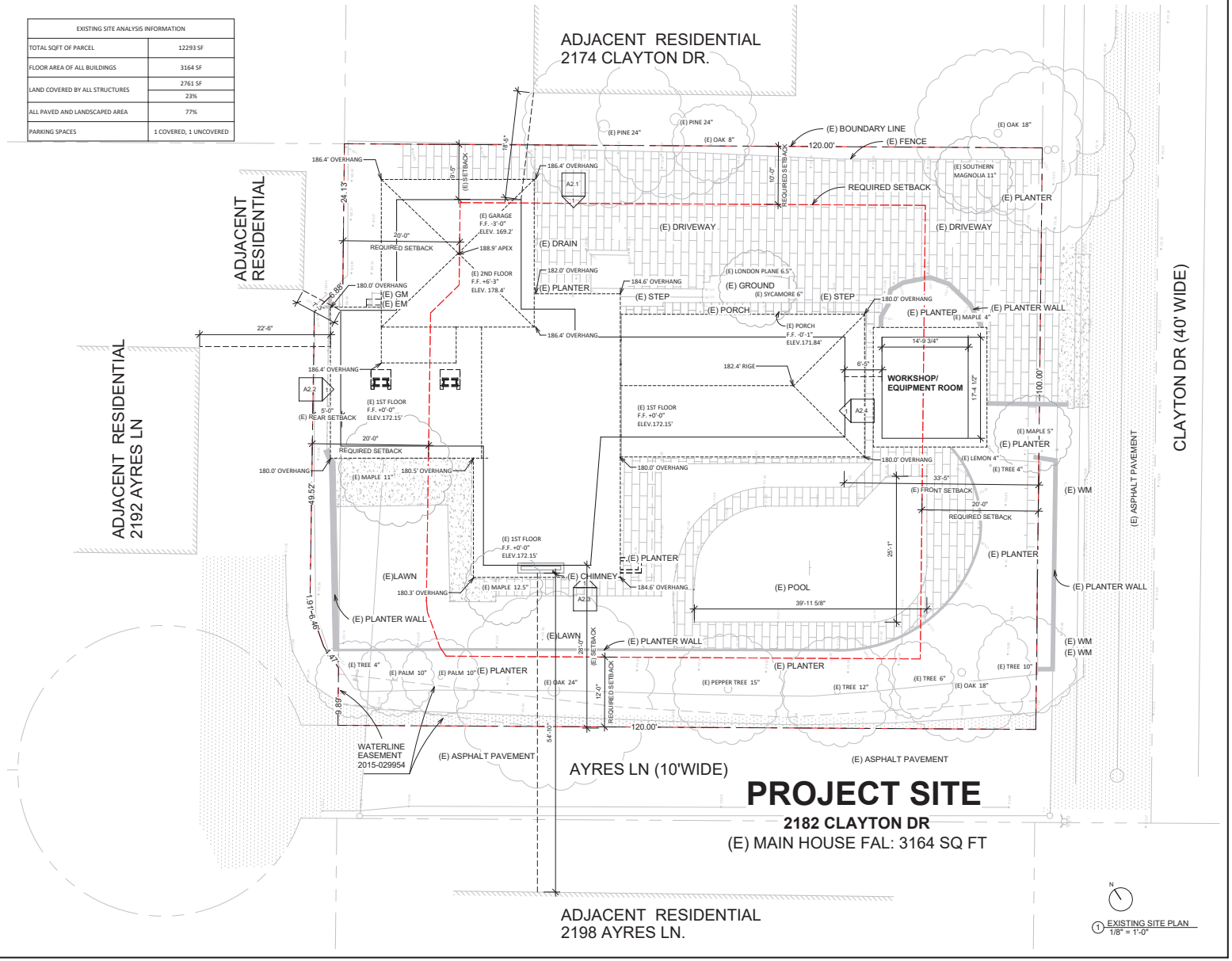
SHEET TITLE:
GENERAL NOTES

SET:	USE PERMIT
DATE:	12.26.2024
DRAWN:	

SHEET NO:
A0.1

Original drawing is 36 x 24. Do not scale contents of this drawing.

EXISTING SITE ANALYSIS INFORMATION	
TOTAL SQFT OF PARCEL	12293 SF
FLOOR AREA OF ALL BUILDINGS	3164 SF
LAND COVERED BY ALL STRUCTURES	2761 SF
	23%
ALL PAVED AND LANDSCAPED AREA	77%
PARKING SPACES	1 COVERED, 1 UNCOVERED



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STRUCTURAL ENGINEER:

ISSUE RECORD Date

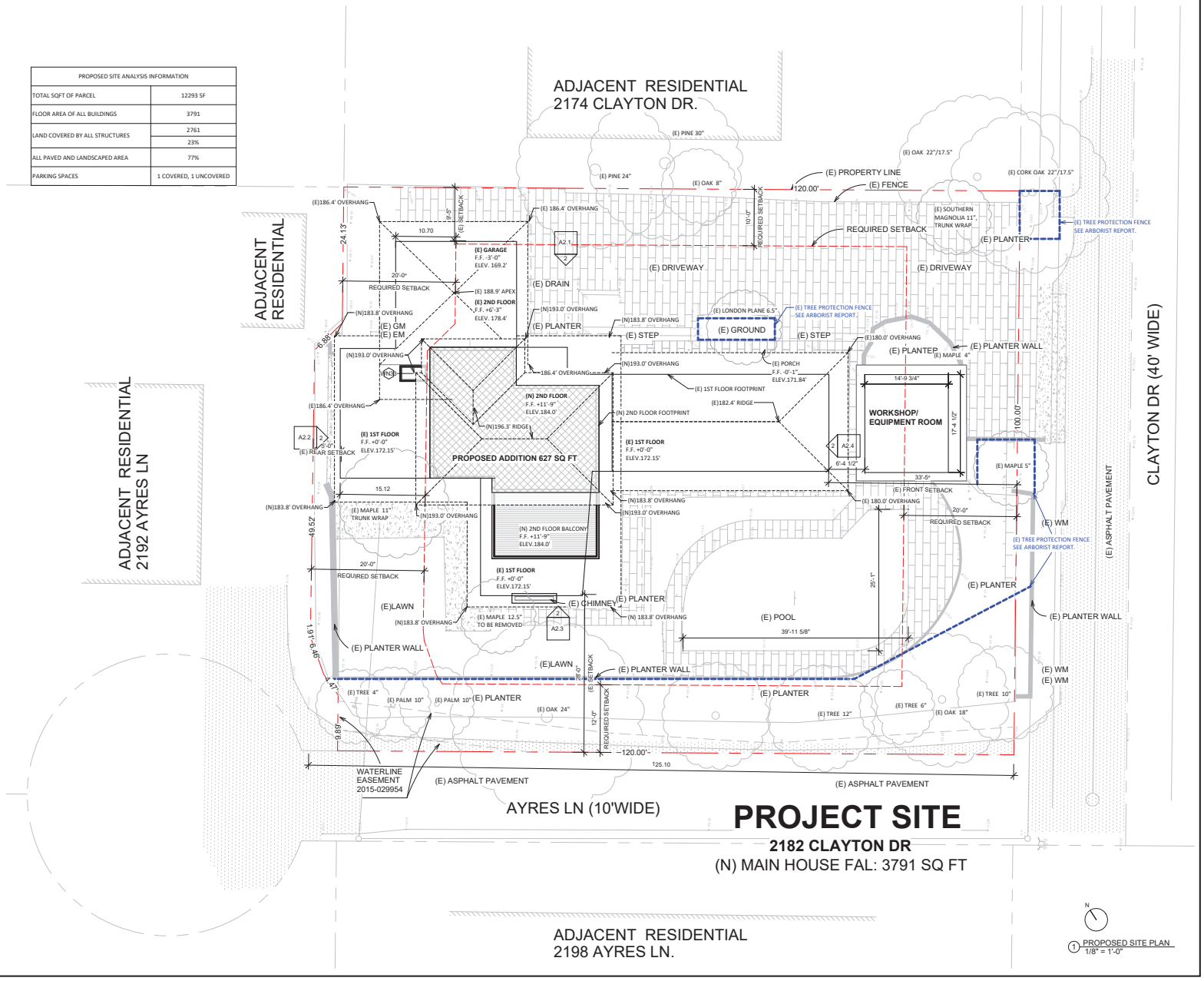
SHEET TITLE:
EXISTING SITE PLAN

SET:	USE PERMIT
DATE:	12.26.2024
DRAWN:	© MOMENT X, 2024

SHEET NO:

A0.2

PROPOSED SITE ANALYSIS INFORMATION	
TOTAL SQFT OF PARCEL	12293 SF
FLOOR AREA OF ALL BUILDINGS	3791
LAND COVERED BY ALL STRUCTURES	2761
	23%
ALL PAVED AND LANDSCAPED AREA	77%
PARKING SPACES	1 COVERED, 1 UNCOVERED



PROJECT:

2182 CLAYTON STREET

MENLO PARK, CA, 94025

APN: 074-111-130

OWNER: HUAN WEI
T: 818 472 9823 E: VIVIANA0925@GMAIL.COM

ARCHITECTURAL DESIGN:
MOMENT X INC.
2979 21ST ST
SAN FRANCISCO CA 94110
T: 415.766.8008 E: HELLO@MOMENTX.STUDIO

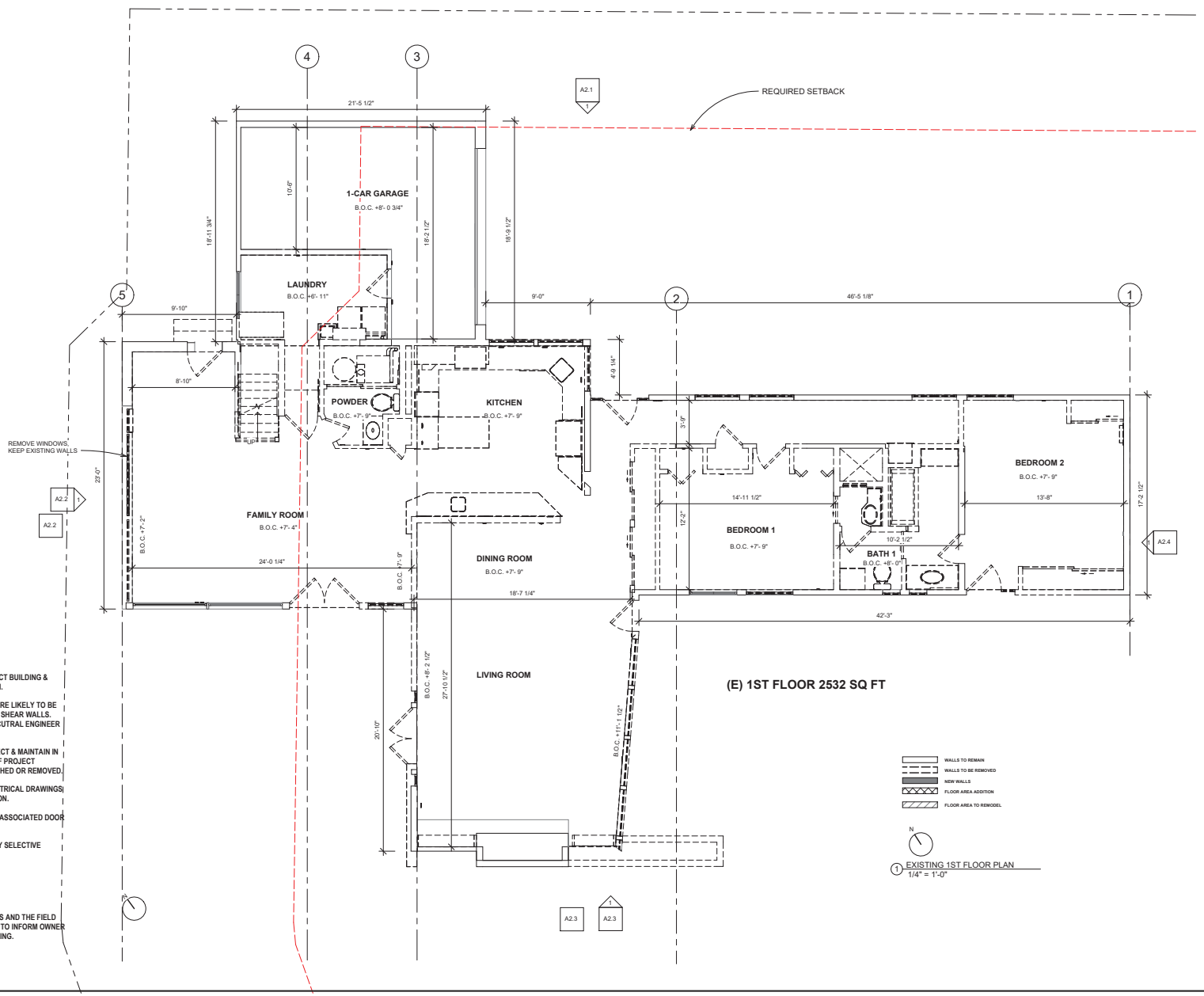
STRUCTURAL ENGINEER:

ISSUE RECORD	Date

SHEET TITLE:
PROPOSED SITE PLAN

SET:	USE PERMIT
DATE:	12.26.2024
DRAWN:	© MOMENT X, 2024

SHEET NO:
A0.3



(E) 1ST FLOOR 2532 SQ FT

1 EXISTING 1ST FLOOR PLAN
1/4" = 1'-0"

SELECTIVE DEMOLITION GENERAL NOTES:

- CONTRACTOR TO BRACE, SHORE & OTHERWISE PROTECT BUILDING & BUILDING STRUCTURE PRIOR TO SELECTIVE DEMOLITION.

- CONTRACTOR TO VERIFY IF ANY DEMOLISHED WALLS ARE LIKELY TO BE STRUCUTRAL WALLS INCLUDING LOADBEARING AND/OR SHEAR WALLS. CONTRACTOR TO NFORM OWNER, DESIGNER AND STRUCUTRAL ENGINEER BEFORE PROCEEDING WORK.

- DURING SELECTIVE DEMOLITION AND REMOVAL, PROTECT & MAINTAIN IN PLACE EXISTING INTERIOR & EXTERIOR COMPONENTS OF PROJECT INCLUDING LANDSCAPE, NOT INDICATED TO BE DEMOLISHED OR REMOVED.

- SEE STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR OTHER NON-ARCHITECTURAL SELECTIVE DEMOLITION.

- WHERE DOORS ARE TO BE DEMOLISHED, REMOVE ANY ASSOCIATED DOOR OPERATORS & SECURITY DEVICE.

- REPAIR EXISTING EXTERIOR COMPONENTS EXPOSED BY SELECTIVE DEMOLITION WORK TO MATCH ADJACENT EXISTING.

AS BUILT DIMENSIONS

- IF THERE ARE DISCREPANCES BETWEEN THE DRAWINGS AND THE FIELD DIMENSIONS. IT IS THE CONTRACTOR 'S RESPONSIBILITY TO INFORM OWNER AND DESIGNER OF THE DIFFERENCES BEFORE PROCEEDING.

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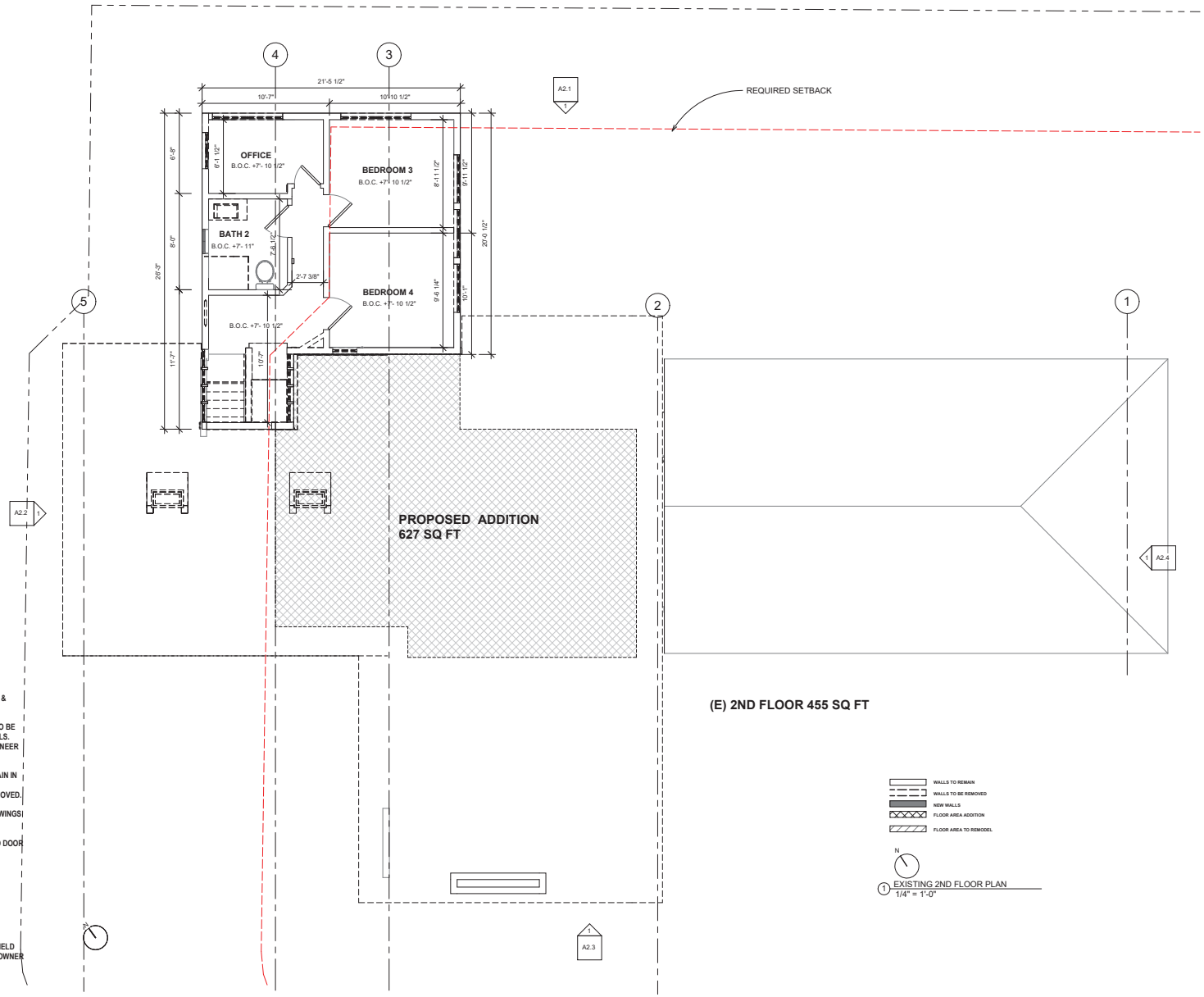
SHEET TITLE:
EXISTING 1ST FLOOR PLAN

SET:	USE PERMIT
DATE:	12.26.2024
DRAWN:	© MOMENT X, 2024

SHEET NO:

A1.1



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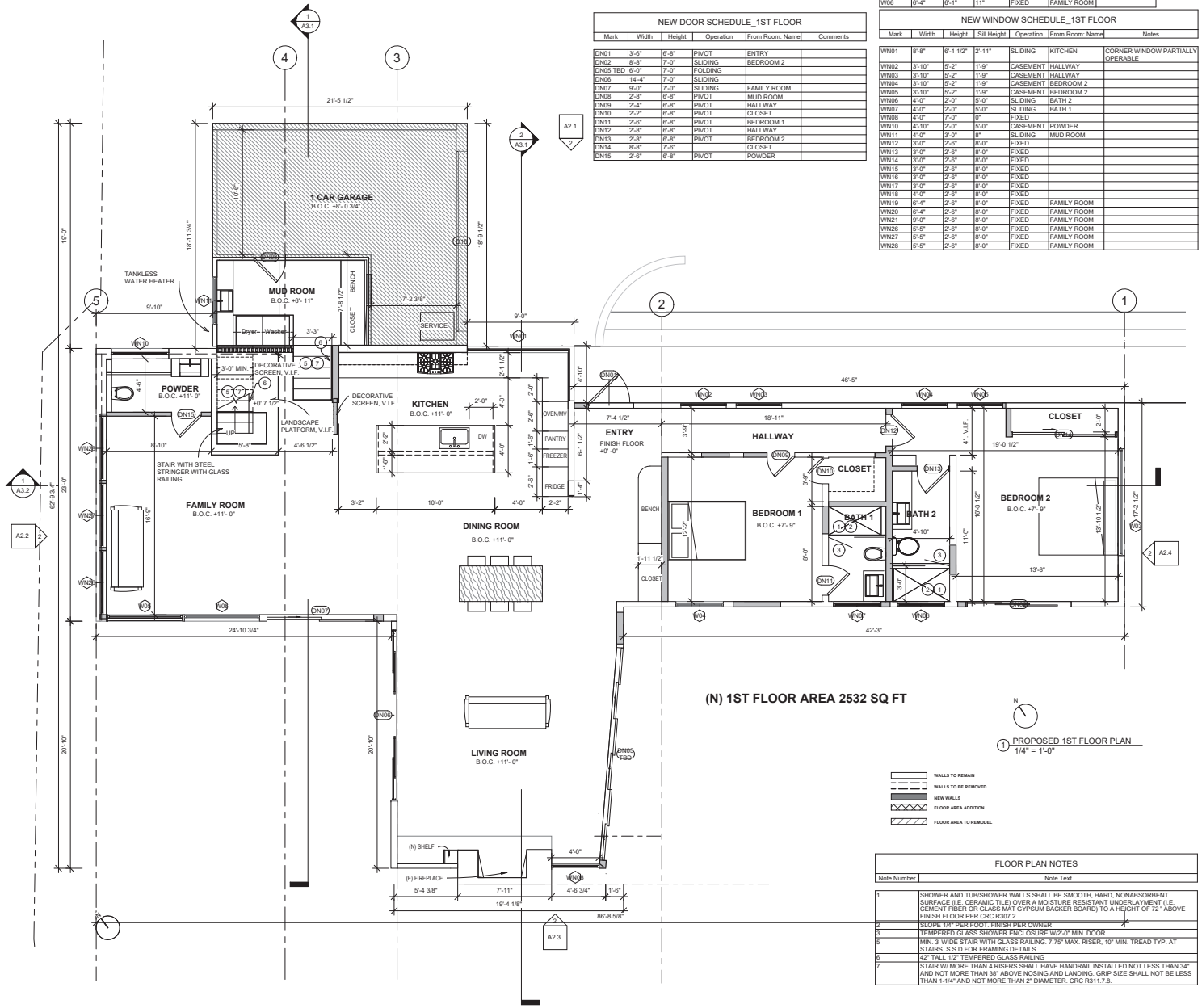
SHEET TITLE:
EXISTING 2ND FLOOR PLAN

SET:	USE PERMIT
DATE:	12.26.2024
DRAWN:	© MOMENT X, 2024

SHEET NO:

A1.2



(N) 1ST FLOOR AREA 2532 SQ FT

1 PROPOSED 1ST FLOOR PLAN
1/4" = 1'-0"

WALLS TO REMAIN
WALLS TO BE REMOVED
NEW WALLS
FLOOR AREA ADDITION
FLOOR AREA TO REMODEL

EXISTING WINDOW SCHEDULE_1ST FLOOR

Mark	Width	Height	Sill Height	Operation	From Room	Notes
W03	9'-0"	2'-2"	4'-4"	FIXED	BEDROOM 2	
W04	4'-0"	3'-0"	3'-6"	SLIDING	BEDROOM 1	EGRESS
W05	6'-4"	6'-1"	11"	FIXED	FAMILY ROOM	
W06	6'-4"	6'-1"	11"	FIXED	FAMILY ROOM	

NEW DOOR SCHEDULE_1ST FLOOR

Mark	Width	Height	Operation	From Room: Name	Comments
DN01	3'-6"	6'-8"	PIVOT	ENTRY	
DN02	8'-8"	7'-0"	SLIDING	BEDROOM 2	
DN05 TBD	6'-0"	7'-0"	FOLDING		
DN06	14'-4"	7'-0"	SLIDING		
DN07	9'-0"	7'-0"	SLIDING	FAMILY ROOM	
DN08	2'-8"	6'-8"	PIVOT	MUD ROOM	
DN09	2'-4"	6'-8"	PIVOT	HALLWAY	
DN10	2'-2"	6'-8"	PIVOT	CLOSET	
DN11	2'-6"	6'-8"	PIVOT	BEDROOM 1	
DN12	2'-8"	6'-8"	PIVOT	HALLWAY	
DN13	2'-8"	6'-8"	PIVOT	BEDROOM 2	
DN14	8'-8"	7'-6"		CLOSET	
DN15	2'-6"	6'-8"	PIVOT	POWDER	

NEW WINDOW SCHEDULE_1ST FLOOR

Mark	Width	Height	Sill Height	Operation	From Room: Name	Notes
WN01	8'-8"	6'-1 1/2"	2'-11"	SLIDING	KITCHEN	CORNER WINDOW PARTIALLY OPERABLE
WN02	3'-10"	5'-2"	1'-9"	CASEMENT	HALLWAY	
WN03	3'-10"	5'-2"	1'-9"	CASEMENT	HALLWAY	
WN04	3'-10"	5'-2"	1'-9"	CASEMENT	BEDROOM 2	
WN05	3'-10"	5'-2"	1'-9"	CASEMENT	BEDROOM 2	
WN06	4'-0"	2'-0"	5'-0"	SLIDING	BATH 2	
WN07	4'-0"	2'-0"	5'-0"	SLIDING	BATH 1	
WN08	4'-0"	7'-0"	0"	FIXED		
WN10	4'-10"	2'-0"	5'-0"	CASEMENT	POWDER	
WN11	4'-0"	3'-0"	8"	SLIDING	MUD ROOM	
WN12	3'-0"	2'-6"	8'-0"	FIXED		
WN13	3'-0"	2'-6"	8'-0"	FIXED		
WN14	3'-0"	2'-6"	8'-0"	FIXED		
WN15	3'-0"	2'-6"	8'-0"	FIXED		
WN16	3'-0"	2'-6"	8'-0"	FIXED		
WN17	3'-0"	2'-6"	8'-0"	FIXED		
WN18	4'-0"	2'-6"	8'-0"	FIXED		
WN19	6'-4"	2'-6"	8'-0"	FIXED	FAMILY ROOM	
WN20	6'-4"	2'-6"	8'-0"	FIXED	FAMILY ROOM	
WN21	9'-0"	2'-6"	8'-0"	FIXED	FAMILY ROOM	
WN26	5'-5"	2'-6"	8'-0"	FIXED	FAMILY ROOM	
WN27	5'-5"	2'-6"	8'-0"	FIXED	FAMILY ROOM	
WN28	5'-5"	2'-6"	8'-0"	FIXED	FAMILY ROOM	

FLOOR PLAN NOTES

Note Number	Note Text
1	SHOWER AND TUB/SHOWER WALLS SHALL BE SMOOTH, HARD, NONABSORBENT SURFACE (I.E. CERAMIC TILE) OVER A MOISTURE RESISTANT UNDERLAYMENT (I.E. CEMENT FIBER OR GLASS MAT GYPSUM BACKER BOARD) TO A HEIGHT OF 72 " ABOVE FINISH FLOOR PER CRC R307.2
2	SLOPE 1/4" PER FOOT, FINISH PER OWNER
3	TEMPERED GLASS SHOWER ENCLOSURE W/2'-0" MIN. DOOR
5	MIN. 3' WIDE STAIR WITH GLASS RAILING. 7.75" MAX. RISER, 10" MIN. TREAD TYP. AT STAIRS. S.S.D FOR FRAMING DETAILS
6	42" TALL 1/2" TEMPERED GLASS RAILING
7	STAIR W/ MORE THAN 4 RISERS SHALL HAVE HANDRAIL INSTALLED NOT LESS THAN 34" AND NOT MORE THAN 38" ABOVE NOSING AND LANDING. GRIP SIZE SHALL NOT BE LESS THAN 1-1/4" AND NOT MORE THAN 2" DIAMETER. CRC R311.7.8.

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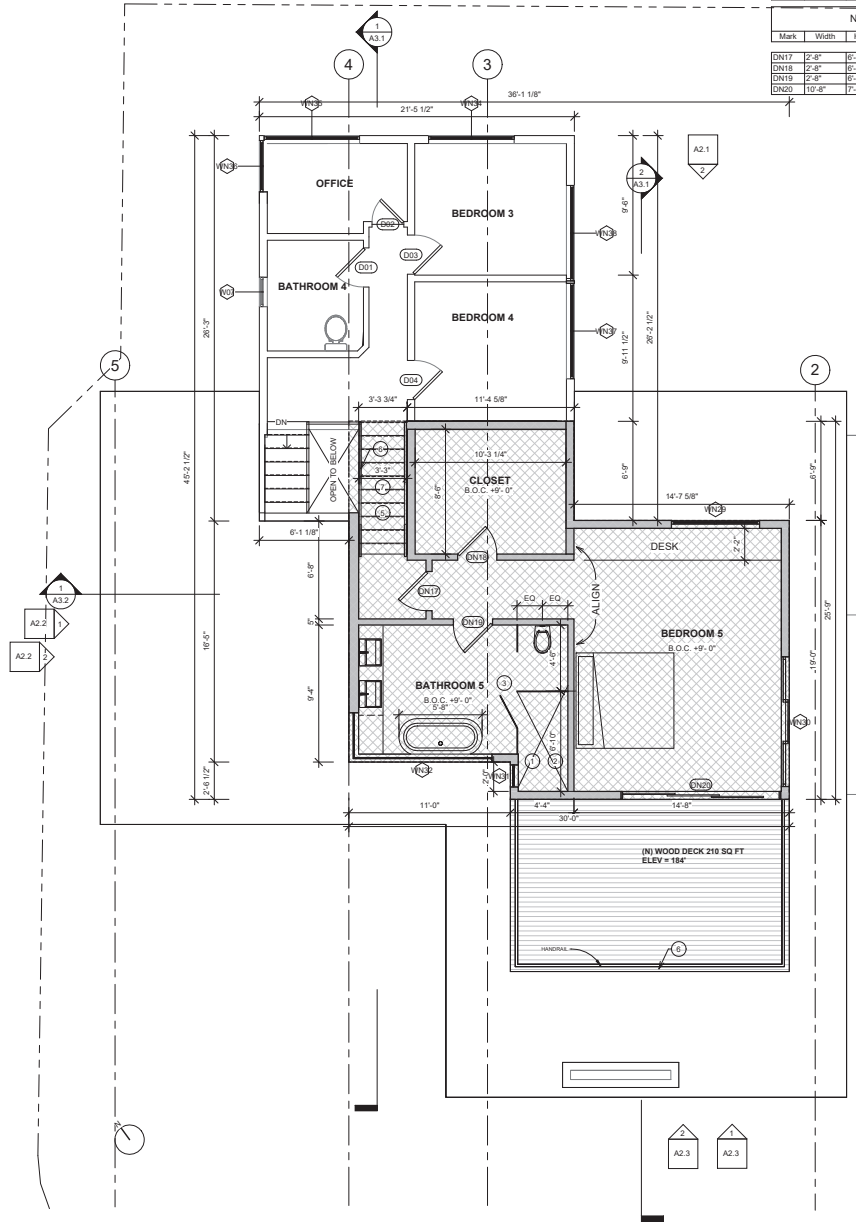
STRUCTURAL ENGINEER:

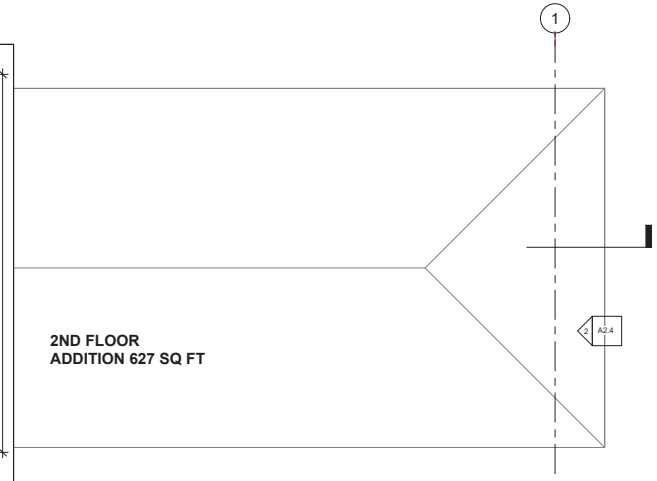
ISSUE RECORD Date

SHEET TITLE:
PROPOSED 1ST FLOOR PLAN

SET:	USE PERMIT
DATE:	12.26.2024
DRAWN:	© MOMENT X, 2024

SHEET NO:
A1.3





2ND FLOOR
ADDITION 627 SQ FT

(N) 2ND FLOOR AREA 1082 SQ FT

1 PROPOSED 2ND FLOOR
1/4" = 1'-0"

WALLS TO REMAIN
WALLS TO BE REMOVED
NEW WALLS
FLOOR AREA ADDITION
FLOOR AREA TO REMODEL

EXISTING DOOR SCHEDULE_2ND FLOOR

Mark	Width	Height	Operation	Room	Comments
D01	2'-8"	6'-8"	PIVOT	BATHROOM 4	
D02	2'-2"	6'-8"	PIVOT	OFFICE	
D03	2'-8"	6'-8"	PIVOT	BEDROOM 3	
D04	2'-8"	6'-8"	PIVOT	BEDROOM 4	

NEW DOOR SCHEDULE_2ND FLOOR

Mark	Width	Height	Operation	From Room: Name	Comments
DN17	2'-8"	6'-8"	PIVOT	BEDROOM 5	
DN18	2'-8"	6'-8"	PIVOT	BEDROOM 5	
DN19	2'-8"	6'-8"	PIVOT	BEDROOM 5	
DN20	10'-8"	7'-0"	SLIDING	BEDROOM 5	

EXISTING WINDOW SCHEDULE_2ND FLOOR

Mark	Width	Height	Sill Height	Operation	From Room	Notes
W07	2'-0"	3'-2"	3'-6"	CASEMENT	BATHROOM 4	

NEW WINDOW SCHEDULE_2ND FLOOR

Mark	Width	Height	Sill Height	Operation	From Room: Name	Notes
WN29	6'-0"	4'-6"	2'-10"	SLIDING	BEDROOM 5	
WN30	8'-10"	4'-6"	2'-10"	SLIDING	BEDROOM 5	
WN31	1'-6"	8'-10"	0"	FIXED		TEMPERED GLASS
WN32	9'-6"	5'-0"	2'-4"	SLIDING	BATHROOM 5	CORNER WINDOW PARTIALLY OPERABLE
WN33	4'-6"	2'-6"		FIXED		SKYLIGHT
WN34	5'-10"	4'-0"	2'-6"	CASEMENT		
WN35	6'-6"	4'-0"	2'-6"	CASEMENT		EGRESS
WN36	3'-6"	4'-0"	2'-6"	CASEMENT		
WN37	6'-6"	4'-0"	2'-6"	CASEMENT		EGRESS
WN38	6'-6"	4'-0"	2'-6"	CASEMENT		EGRESS

FLOOR PLAN NOTES

Note Number	Note Text
1	SHOWER AND TUB/SHOWER WALLS SHALL BE SMOOTH, HARD, NONABSORBENT SURFACE (I.E. CERAMIC TILE) OVER A MOISTURE RESISTANT UNDERLAYMENT (I.E. CEMENT FIBER OR GLASS MAT GYPSUM BACKER BOARD) TO A HEIGHT OF 72 " ABOVE FINISH FLOOR PER CRC R307.2
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5	MIN. 3' WIDE STAIR WITH GLASS RAILING. 7.75" MAX. RISER, 10" MIN. TREAD TYP. AT STAIRS. S.S.D FOR FRAMING DETAILS
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T: 415.766.8008 E: HELLO@MOMENTX.STUDIO

STRUCTURAL ENGINEER:

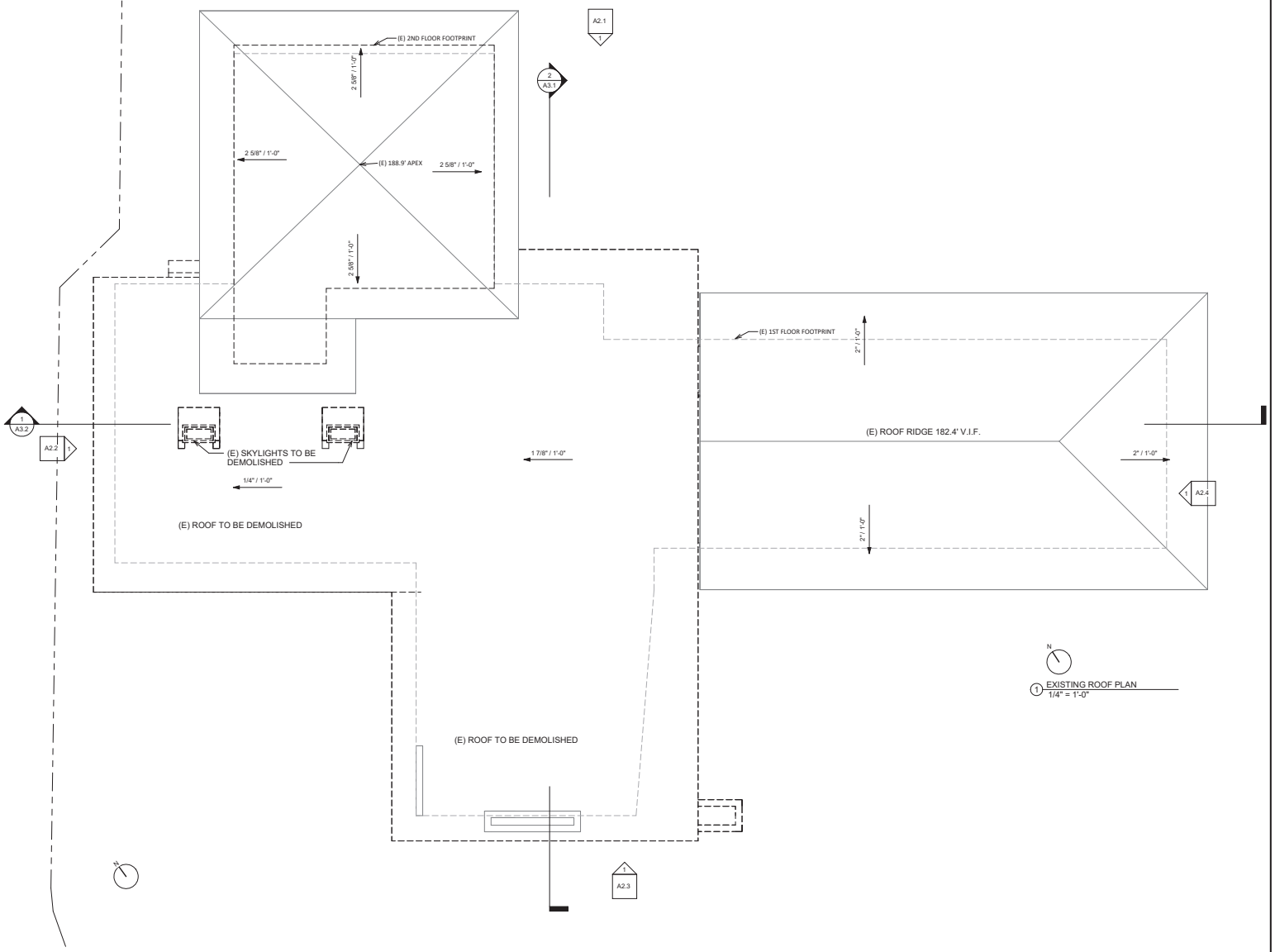
ISSUE RECORD Date

SHEET TITLE:
PROPOSED 2ND FLOOR PLAN

SET:	USE PERMIT
DATE:	12.26.2024
DRAWN:	© MOMENT X, 2024

SHEET NO:

A1.4



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STRUCTURAL ENGINEER:

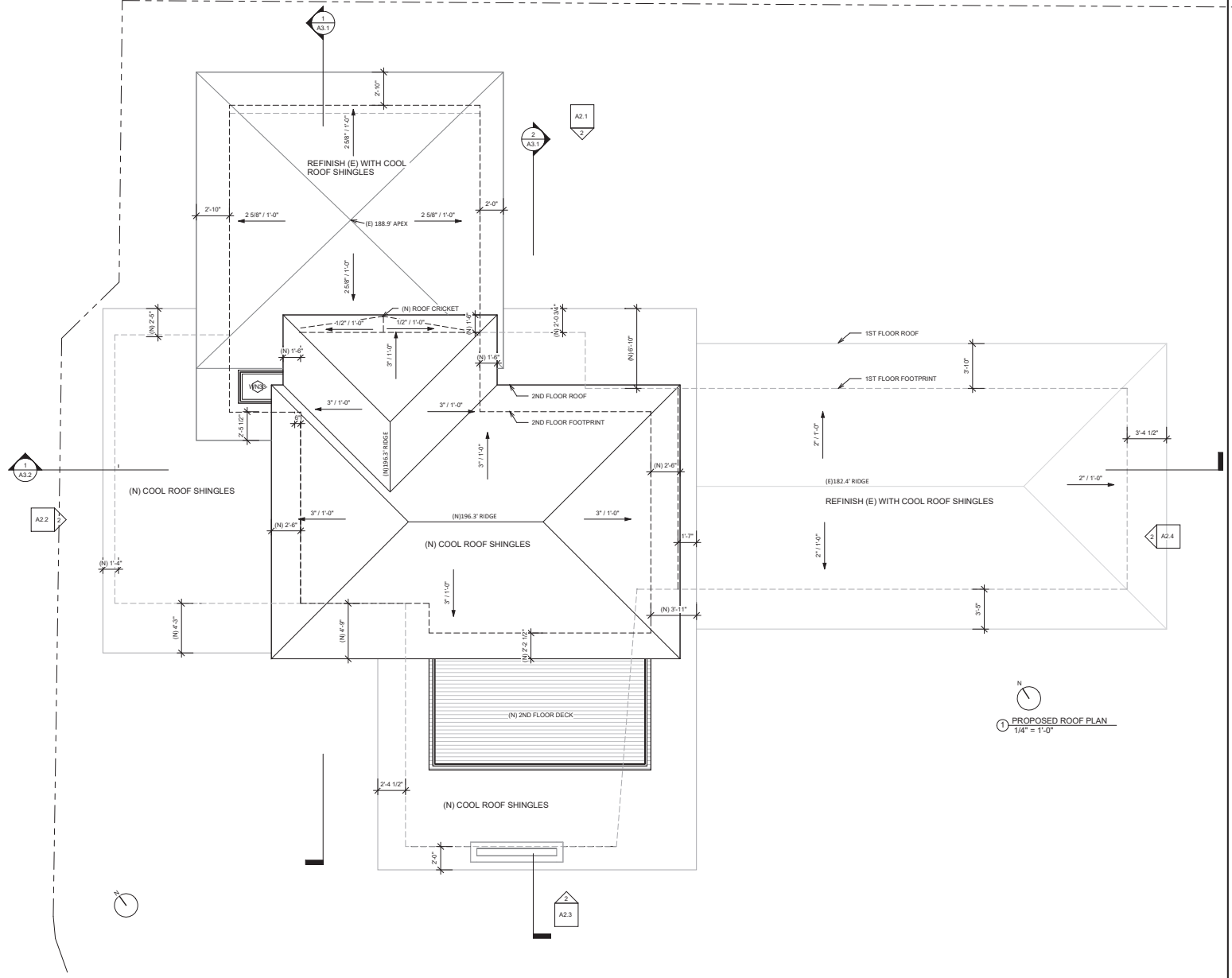
ISSUE RECORD	Date

SHEET TITLE:
EXISTING ROOF PLAN

SET:	USE PERMIT
DATE:	12.26.2024
DRAWN:	© MOMENT X, 2024

SHEET NO:

A1.5



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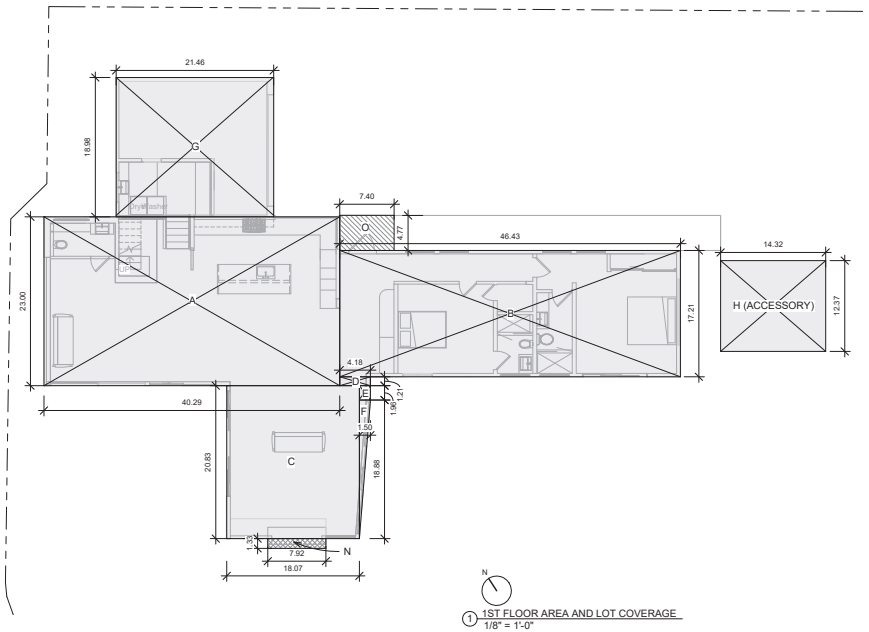
A1.6

1ST FLR FAL CAL		
Region	Size	Area / sqft
A	40.29' x 23'	926.67
B	46.43' x 17.21'	799.06
C	18.07' x 20.83'	376.40
D	4.18' x 1.21'	5.06
E	1.5' x 1.96'	2.94
F	9.44' x 1.5'	14.16
G	21.46' x 18.98'	407.31
H (ACCESSORY)	14.32' x 12.37'	177.14
Grand total		2708.74

2ND FLR FAL CAL		
Region	Size	Area / sqft
I	21.46' x 20.02'	429.63
J	17.82' x 6.23'	111.02
K	4.33' x 2.54'	11.00
L	14.67' x 19'	278.73
M	15.33' x 16.42'	251.72
Grand total		1082.09

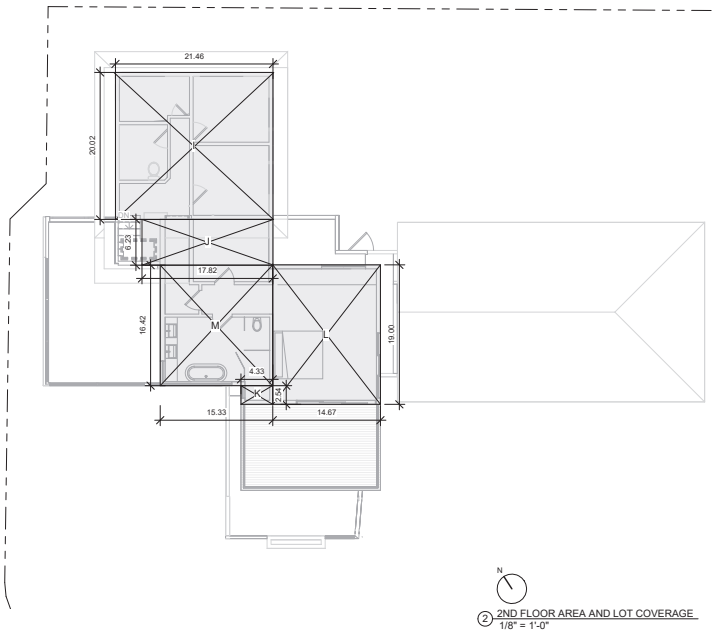
TOTAL FAL CALCULATION	
1ST FLR FAL	2708.74
2ND FLR FAL	1082.09
TOTAL FAL	3790.83

BUILDING COVERAGE CALCULATION		
N	1.33' x 7.92'	10.53
O	7.40' x 4.77'	35.3
First floor and garage		2708.74
TOTAL BUILDING COVERAGE		2760.66



N

1 1ST FLOOR AREA AND LOT COVERAGE
1/8" = 1'-0"



N

2 2ND FLOOR AREA AND LOT COVERAGE
1/8" = 1'-0"

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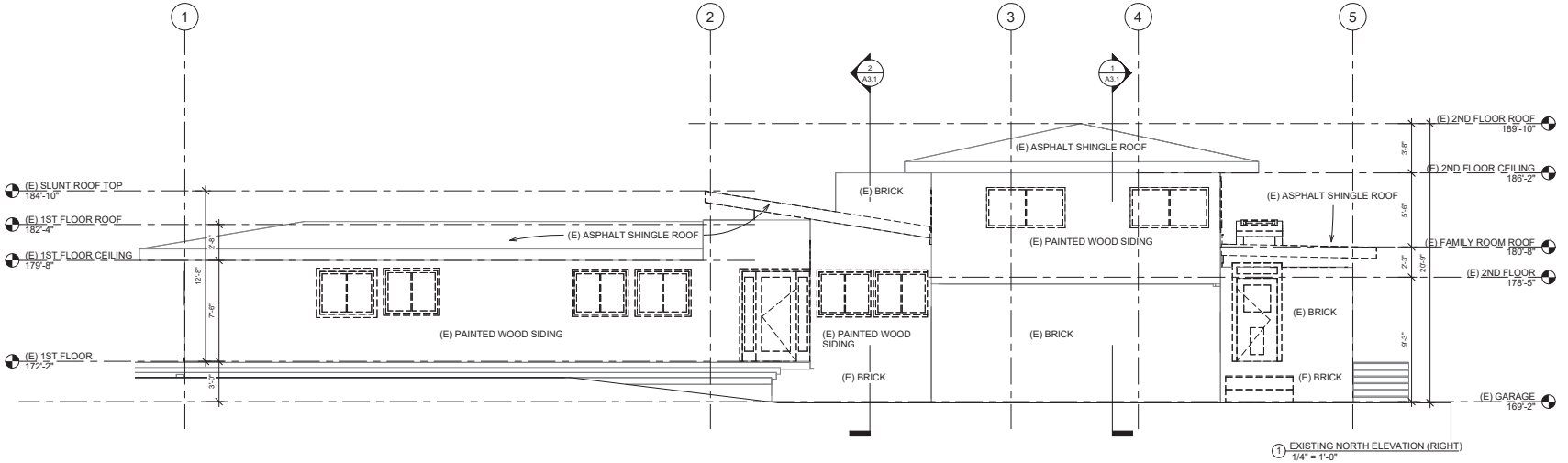
ISSUE RECORD Date

SHEET TITLE:
1ST AND 2ND FLOOR PLAN AREA & COVERAGE

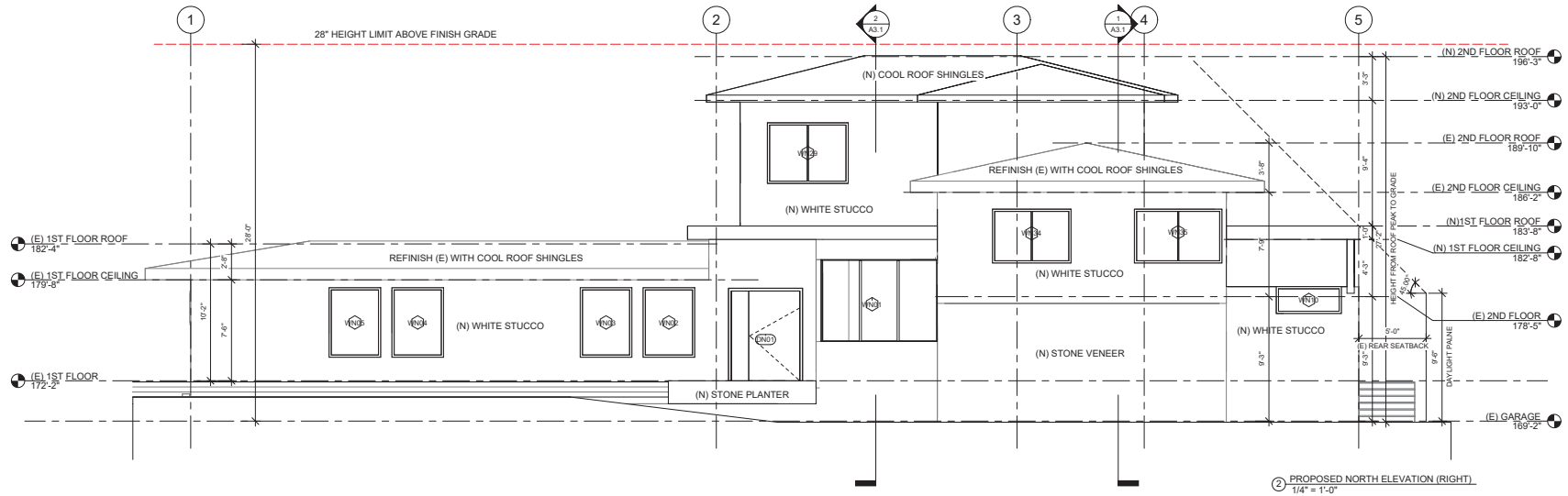
SET:	USE PERMIT
DATE:	12.26.2024
DRAWN:	© MOMENT X, 2024

SHEET NO:

A1.7



1 EXISTING NORTH ELEVATION (RIGHT)
1/4" = 1'-0"



2 PROPOSED NORTH ELEVATION (RIGHT)
1/4" = 1'-0"

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EXISTING & PROPOSED NORTH ELEVATIONS

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DATE:	12.26.2024
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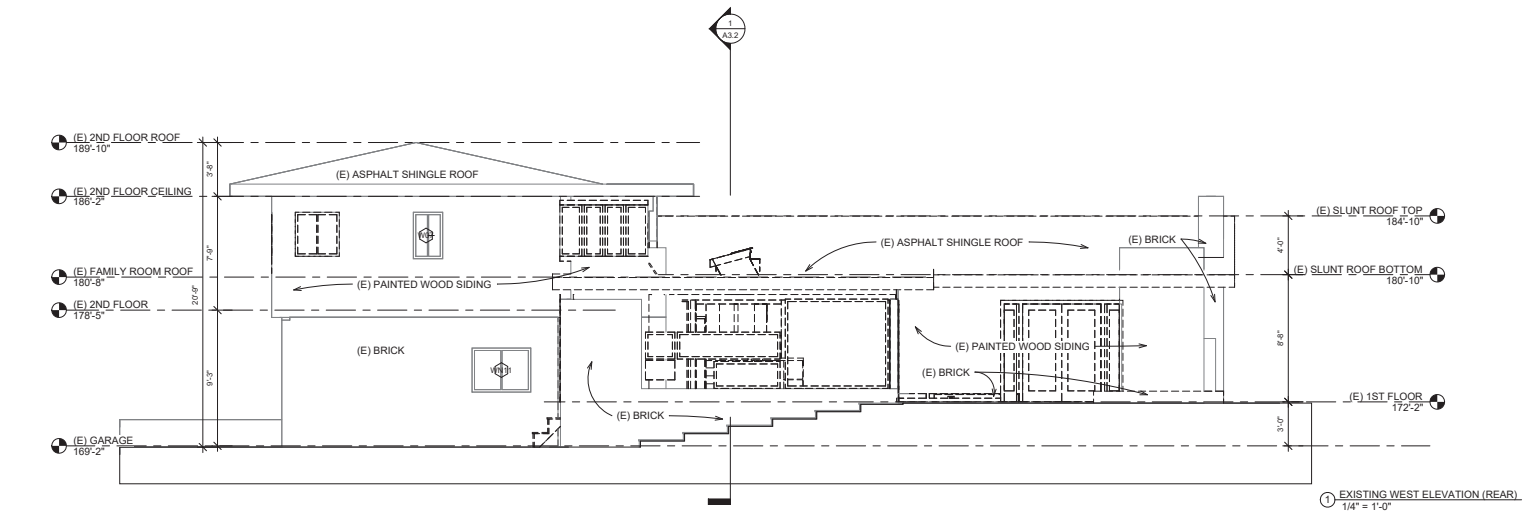
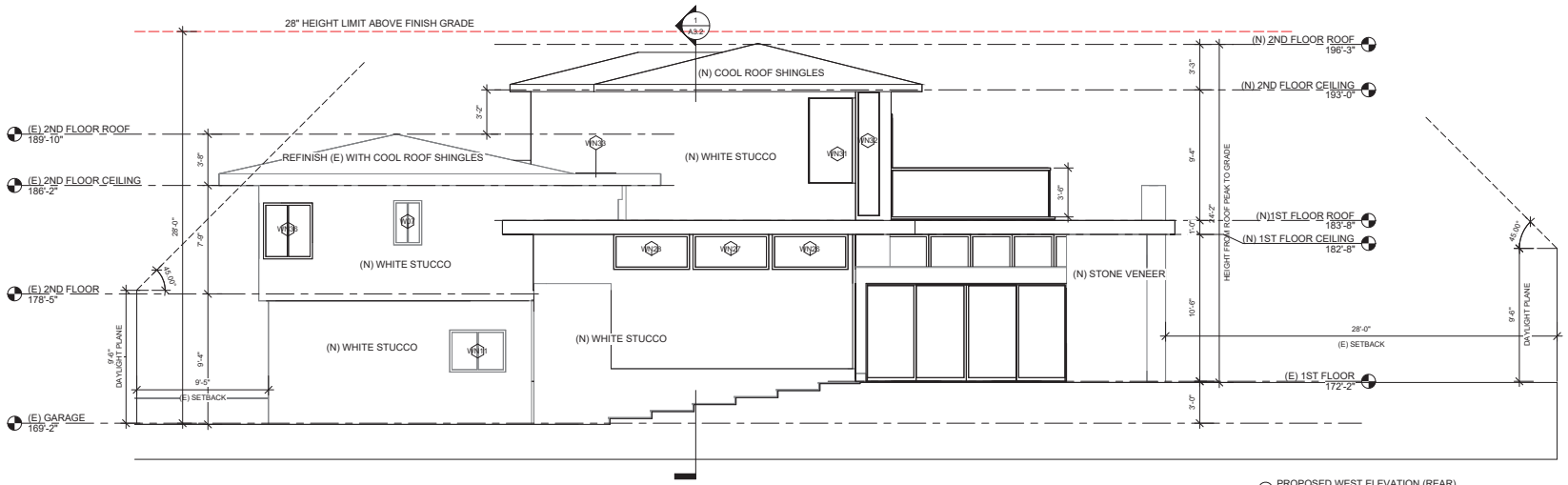
SHEET NO:

A2.1



1 EXISTING WEST ELEVATION (REAR)
1/4" = 1'-0"



2 PROPOSED WEST ELEVATION (REAR)
1/4" = 1'-0"

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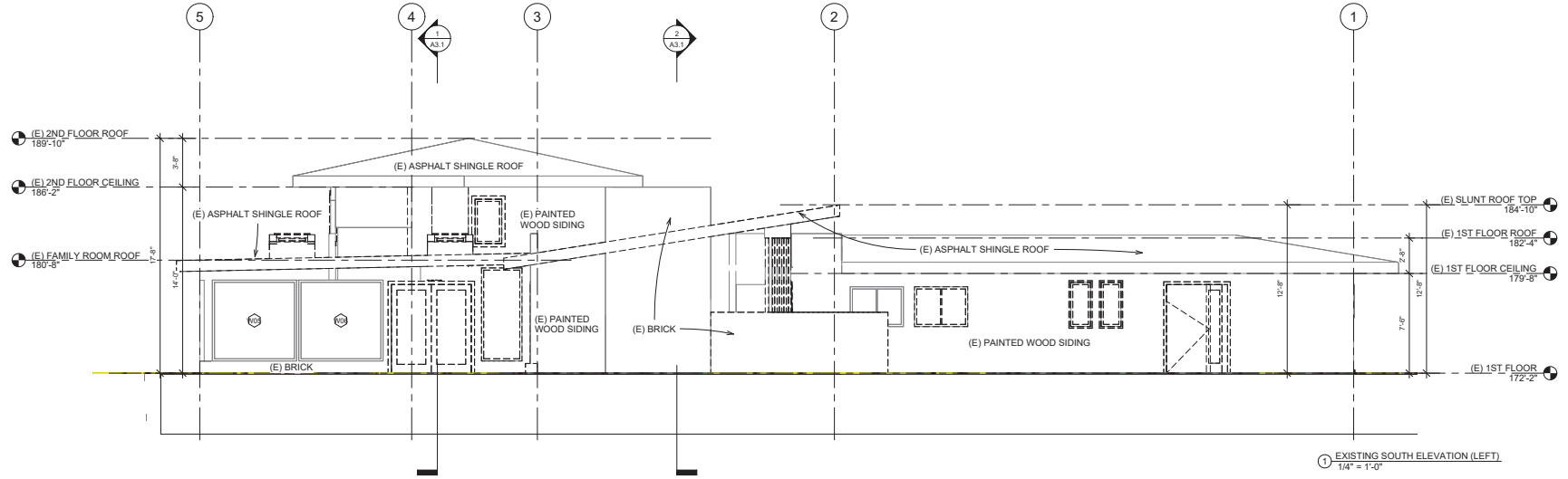
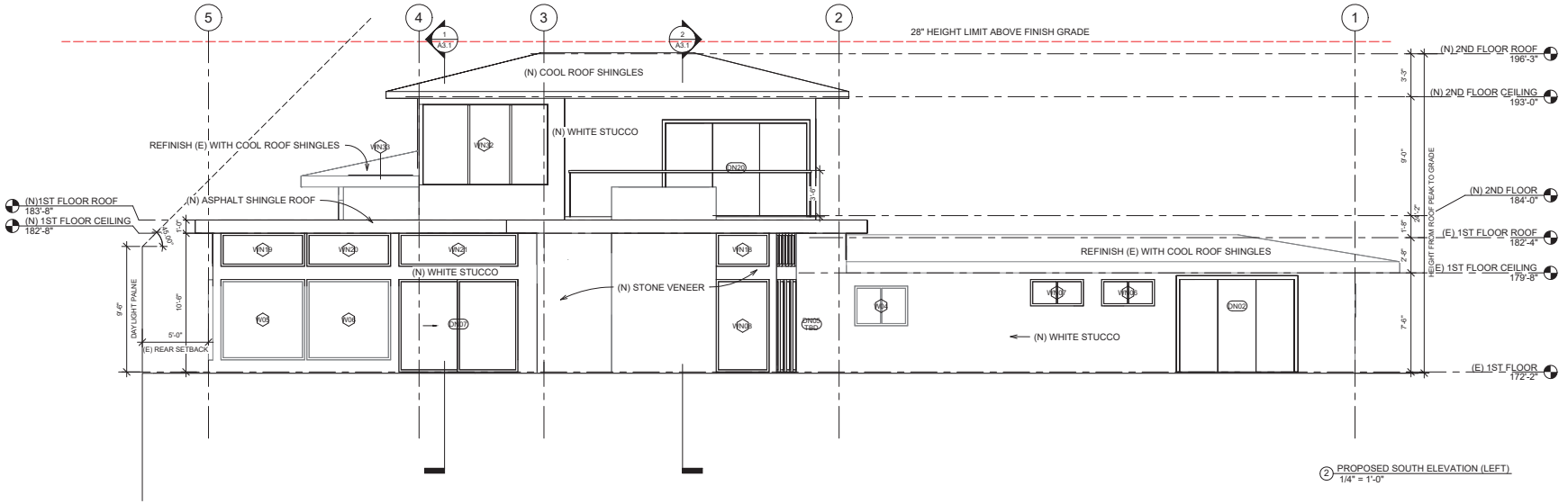
SHEET NO:

A2.2





PROJECT:

2182 CLAYTON STREET

MENLO PARK, CA, 94025

APN: 074-111-130

OWNER: HUAN WEI
T: 818 472 9823 E: VIVIANA0925@GMAIL.COM

ARCHITECTURAL DESIGN:
MOMENT X INC.
2979 21ST ST
SAN FRANCISCO CA 94110
T: 415.766.8008 E: HELLO@MOMENTX.STUDIO

STRUCTURAL ENGINEER:

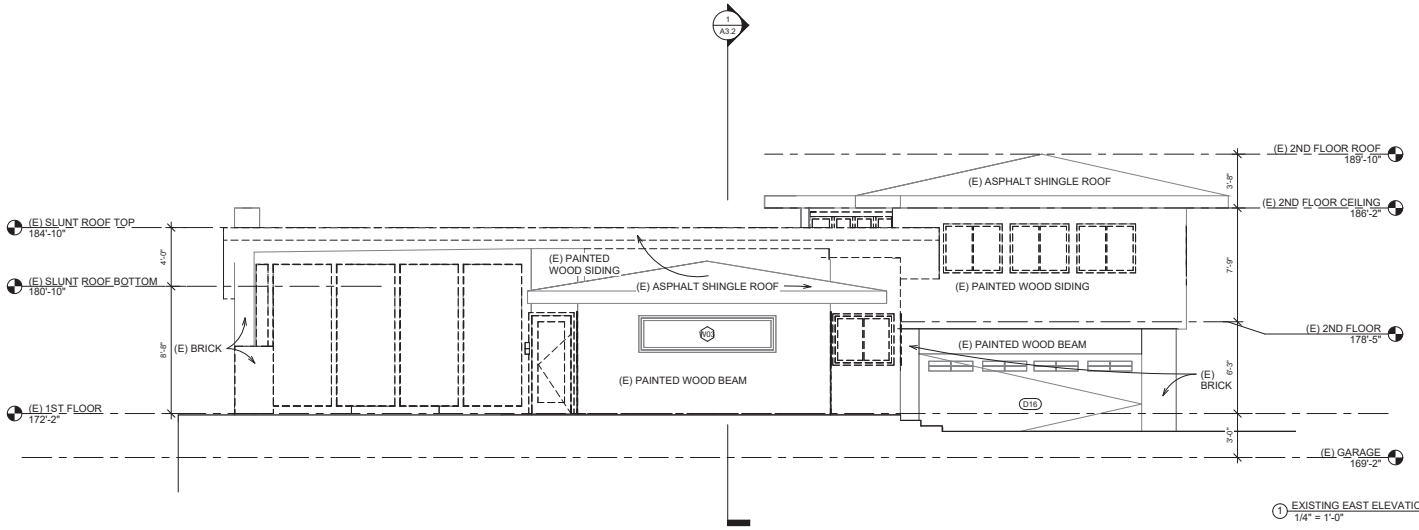
ISSUE RECORD Date

SHEET TITLE:
EXISTING & PROPOSED SOUTH ELEVATIONS

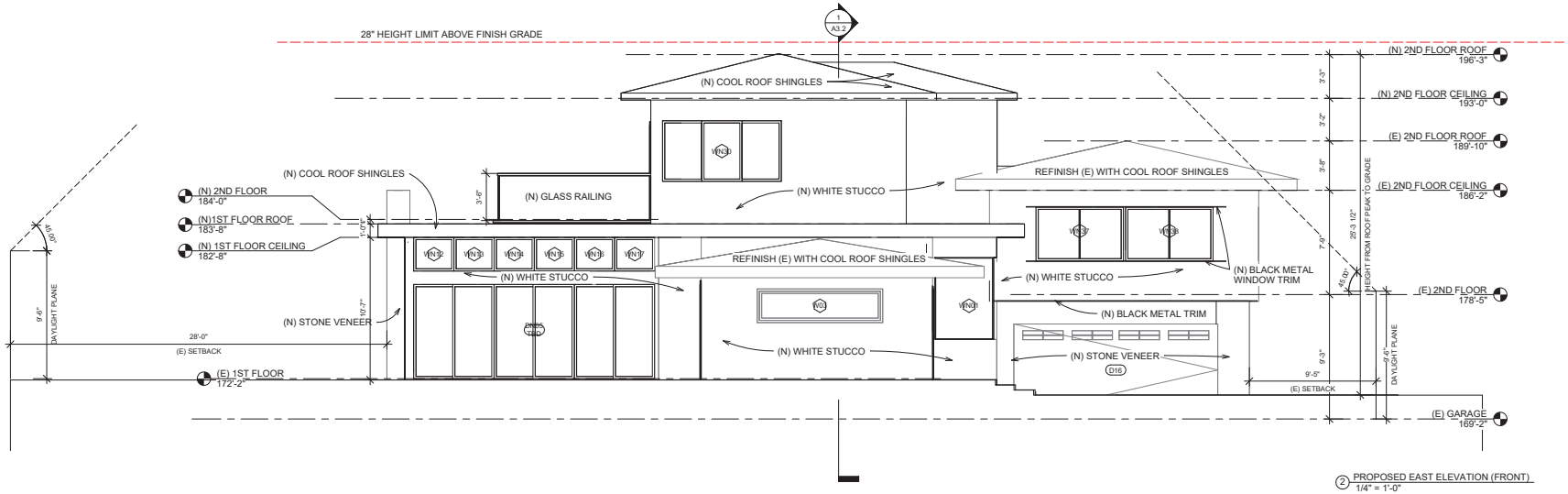
SET:	USE PERMIT
DATE:	12.26.2024
DRAWN:	© MOMENT X, 2024

SHEET NO:

A2.3



1 EXISTING EAST ELEVATION (FRONT)
1/4" = 1'-0"



2 PROPOSED EAST ELEVATION (FRONT)
1/4" = 1'-0"

PROJECT:

2182 CLAYTON STREET

MENLO PARK, CA, 94025

APN: 074-111-130

OWNER: HUAN WEI
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SAN FRANCISCO CA 94110
T: 415.766.8008 E: HELLO@MOMENTX.STUDIO

STRUCTURAL ENGINEER:

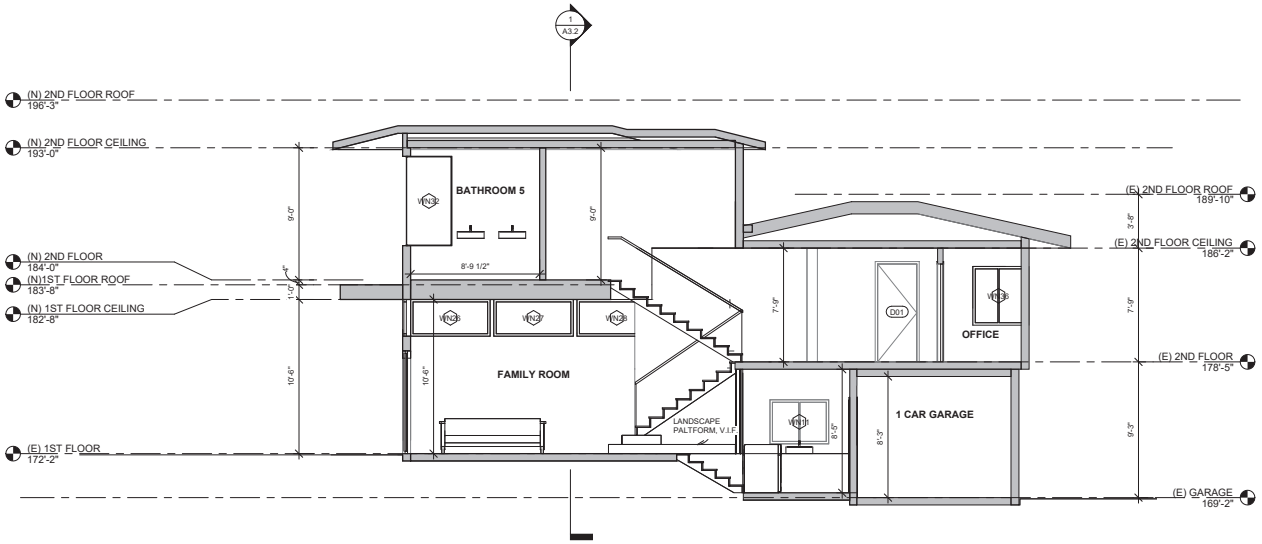
ISSUE RECORD Date

SHEET TITLE:
EXISTING & PROPOSED EAST ELEVATIONS

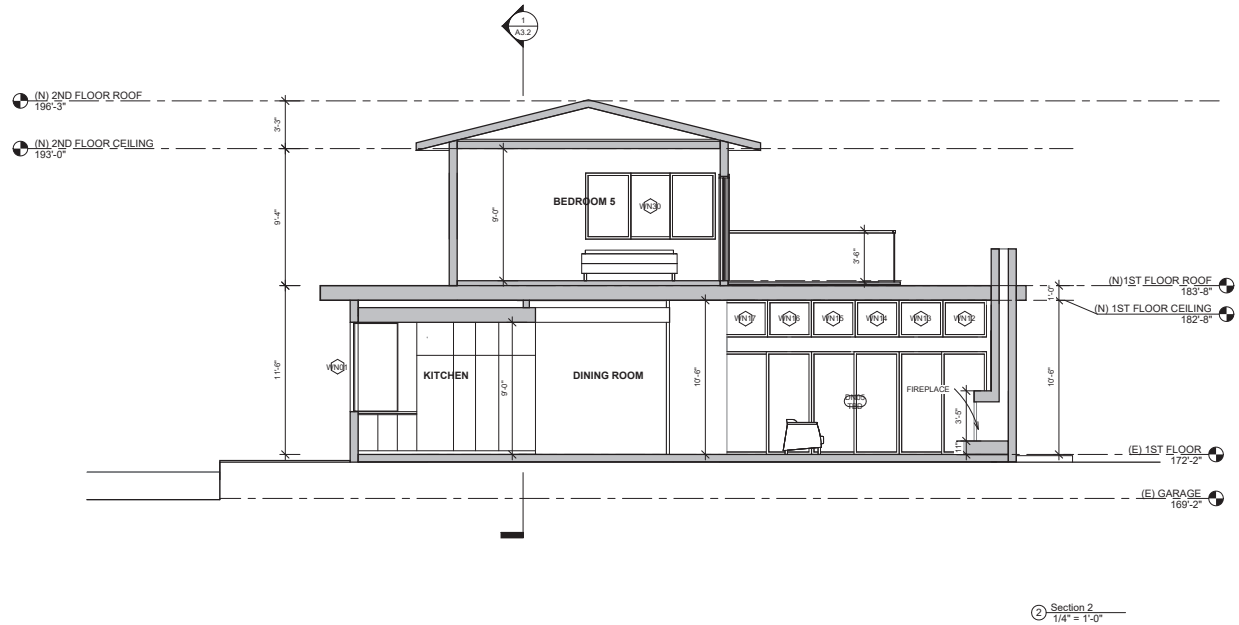
SET:	USE PERMIT
DATE:	12.26.2024
DRAWN:	© MOMENT X, 2024

SHEET NO:

A2.4



1 Section 1
1/4" = 1'-0"



2 Section 2
1/4" = 1'-0"

PROJECT:

2182 CLAYTON STREET

MENLO PARK, CA, 94025

APN: 074-111-130

OWNER: HUAN WEI
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ARCHITECTURAL DESIGN:
MOMENT X INC.
2979 21ST ST
SAN FRANCISCO CA 94110
T: 415.766.8008 E: HELLO@MOMENTX.STUDIO

STRUCTURAL ENGINEER:

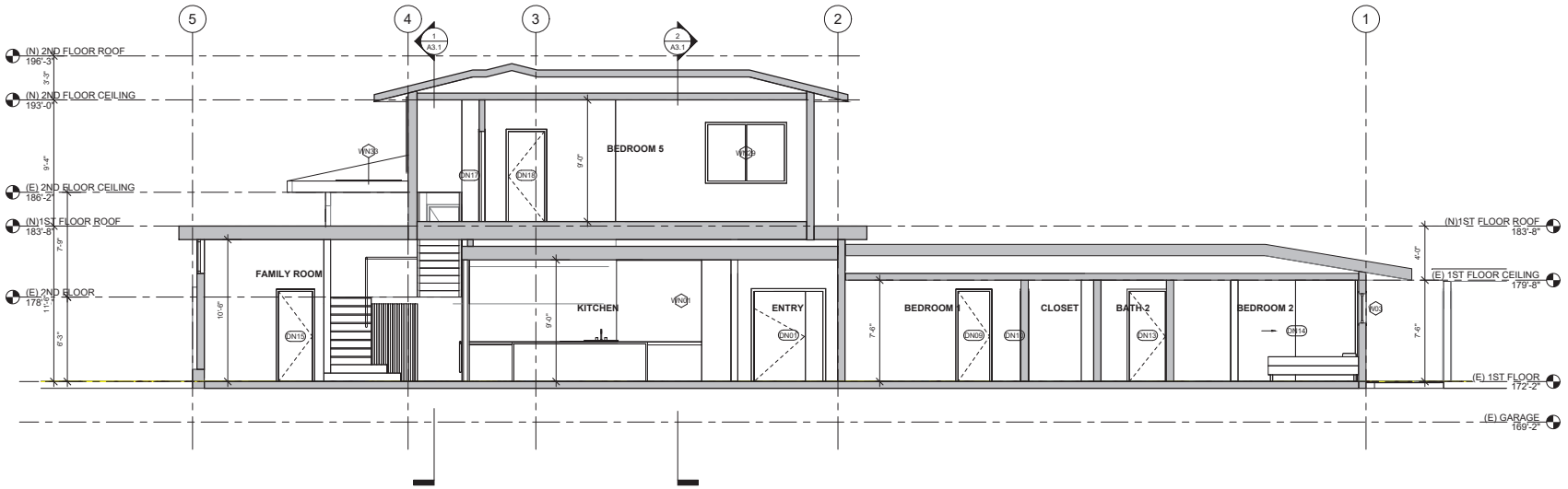
ISSUE RECORD Date

SHEET TITLE:
SECTIONS

SET:	USE PERMIT
DATE:	12.26.2024
DRAWN:	© MOMENT X, 2024

SHEET NO:

A3.1



1 Section 3
1/4" = 1'-0"

PROJECT:

2182 CLAYTON STREET

MENLO PARK, CA, 94025

APN: 074-111-130

OWNER: HUAN WEI
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T: 415.766.8008 E: HELLO@MOMENTX.STUDIO

STRUCTURAL ENGINEER:

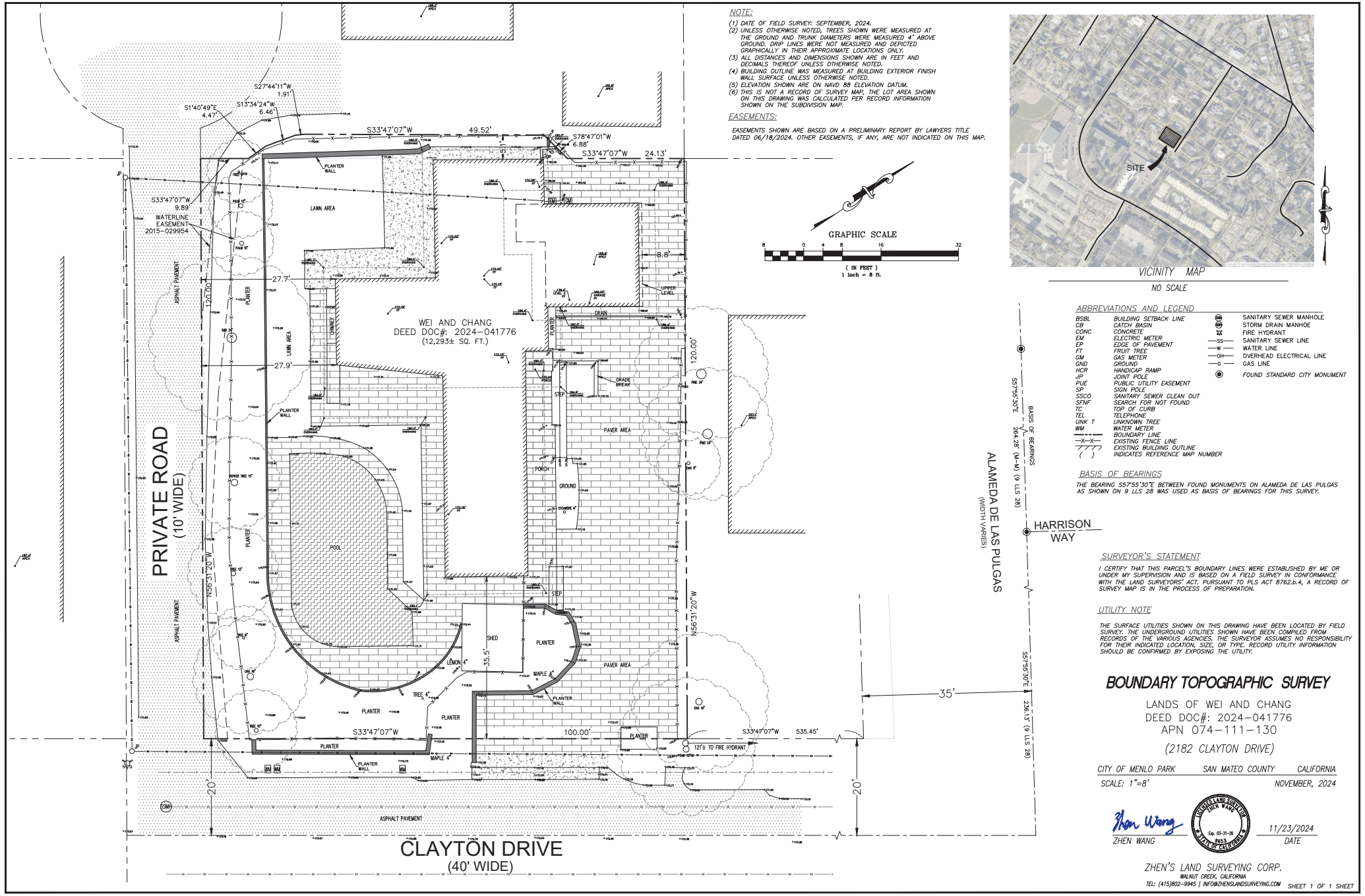
ISSUE RECORD Date

SHEET TITLE:
SECTIONS

SET:	USE PERMIT
DATE:	12.26.2024
DRAWN:	© MOMENT X, 2024

SHEET NO:

A3.2



NOTE:

(1) DATE OF FIELD SURVEY: SEPTEMBER, 2024.
(2) UNLESS OTHERWISE NOTED, TREES SHOWN WERE MEASURED AT THE GROUND AND TRUNK DIAMETERS WERE MEASURED 4' ABOVE GROUND. DRIP LINES WERE NOT MEASURED AND DEPICTED GRAPHICALLY IN THEIR APPROXIMATE LOCATIONS ONLY.
(3) ALL DISTANCES AND DIMENSIONS SHOWN ARE IN FEET AND DECIMALS THEREOF UNLESS OTHERWISE NOTED.
(4) BUILDING OUTLINE WAS MEASURED AT BUILDING EXTERIOR FINISH WALL SURFACE UNLESS OTHERWISE NOTED.
(5) ELEVATION SHOWN ARE ON NAVD 88 ELEVATION DATUM.
(6) THIS IS NOT A RECORD OF SURVEY MAP, THE LOT AREA SHOWN ON THIS DRAWING WAS CALCULATED PER RECORD INFORMATION SHOWN ON THE SUBDIVISION MAP.

EASEMENTS:

EASEMENTS SHOWN ARE BASED ON A PRELIMINARY REPORT BY LAWYERS TITLE DATED 06/18/2024. OTHER EASEMENTS, IF ANY, ARE NOT INDICATED ON THIS MAP.

GRAPHIC SCALE

8 0 4 8 16 32

(IN FEET)
1 inch = 8 ft.

VICINITY MAP

NO SCALE

ABBREVIATIONS AND LEGEND

BSBL	BUILDING SETBACK LINE	SMH	SANITARY SEWER MANHOLE
CB	CATCH BASIN	DMH	STORM DRAIN MANHOE
CONC	CONCRETE	FH	FIRE HYDRANT
EM	ELECTRIC METER	SS	SANITARY SEWER LINE
EP	EDGE OF PAVEMENT	W	WATER LINE
FT	FRUIT TREE	OH	OVERHEAD ELECTRICAL LINE
GM	GAS METER	G	GAS LINE
GND	GROUND		
HCR	HANDICAP RAMP		FOUND STANDARD CITY MONUMENT
JP	JOINT POLE		
PUE	PUBLIC UTILITY EASEMENT		
SP	SIGN POLE		
SSCO	SANITARY SEWER CLEAN OUT		
SFNF	SEARCH FOR NOT FOUND		
TC	TOP OF CURB		
TEL	TELEPHONE		
UNK T	UNKNOWN TREE		
WM	WATER METER		
	BOUNDARY LINE		
—X—X—	EXISTING FENCE LINE		
	EXISTING BUILDING OUTLINE		
( )	INDICATES REFERENCE MAP NUMBER		

BASIS OF BEARINGS

THE BEARING S57°55'30"E BETWEEN FOUND MONUMENTS ON ALAMEDA DE LAS PULGAS AS SHOWN ON 9 LLS 28 WAS USED AS BASIS OF BEARINGS FOR THIS SURVEY.

SURVEYOR'S STATEMENT

I CERTIFY THAT THIS PARCEL'S BOUNDARY LINES WERE ESTABLISHED BY ME OR UNDER MY SUPERVISION AND IS BASED ON A FIELD SURVEY IN CONFORMANCE WITH THE LAND SURVEYORS' ACT. PURSUANT TO PLS ACT 8762.b.4, A RECORD OF SURVEY MAP IS IN THE PROCESS OF PREPARATION.

UTILITY NOTE

THE SURFACE UTILITIES SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN COMPILED FROM RECORDS OF THE VARIOUS AGENCIES. THE SURVEYOR ASSUMES NO RESPONSIBILITY FOR THEIR INDICATED LOCATION, SIZE, OR TYPE. RECORD UTILITY INFORMATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.

BOUNDARY TOPOGRAPHIC SURVEY

LANDS OF WEI AND CHANG
DEED DOC#: 2024-041776
APN 074-111-130
(2182 CLAYTON DRIVE)

CITY OF MENLO PARK SAN MATEO COUNTY CALIFORNIA

SCALE: 1"=8' NOVEMBER, 2024

Zhen Wang
ZHEN WANG

LICENSED LAND SURVEYOR ZHEN WANG Exp. 03-31-26 9853 STATE OF CALIFORNIA

11/23/2024
DATE

ZHEN'S LAND SURVEYING CORP.
WALNUT CREEK, CALIFORNIA
TEL: (415)802-9945 | INFO@ZHENSLANDSURVEYING.COM