

Project Description

Purpose of the proposal

The current home consists of only two bedrooms and one bathroom, which is not sufficient to accommodate the homeowner's elderly parents, who will be relocating to the property for long-term care and support.

The proposed addition will provide a comfortable living space for the parents, ensuring that their needs are met while maintaining the functionality of the home for the homeowner's family.

A letter from the home owners is attached below.

Dear Representatives of the Planning Department,

I hope this letter finds you well. My husband and I are reaching out with a project that is very close to our hearts. We have made the decision to bring my aging parents to live with us, as managing their own household has become increasingly difficult for them. More than anything, we want to be there for them - to offer care, support, and the daily presence of family.

For us, home has always been a place of connection, where shared meals and conversations bring everyone closer. Our hope is to create a space that allows my parents to maintain their independence while being surrounded by the warmth of family life. To do this, we would like to expand our existing home to ensure they have the comfort and accessibility they need.

We are fully committed to following all planning guidelines and would be grateful for your guidance on the necessary steps to move forward. Please let us know what information or documentation we can provide to assist in this process.

Thank you for your time and consideration, we truly appreciate it.

Patrizia and Marco

Scope of work

NEW ADDITION:

TO ADD LIVING AREA (335.5 SQ.FT). TO EXISTING HOUSE.
INCLUDING MASTER BEDROOM MASTER BATHROOM AND WALK-IN-CLOSET

IN MAIN HOUSE:

TO REMOVE A NON LOAD BEARING WALL BETWEEN THE KITCHEN AND CORRIDOR.
TO REMOVE NON LOAD BEARING WALL BETWEEN THE KITCHEN AND LAUNDRY.
KITCHEN REMODELING: REPLACEMENT OF KITCHEN CABINETS, COUNTERTOPS, APPLIANCES, OUTLETS AND LIGHTING FIXTURES.
BATHROOM REMODELING: REPLACEMENT OF TILE, PLUMBING FIXTURES, OUTLETS AND LIGHTING FIXTURES, TO ADD LAUNDRY NICHE WITH STACKABLE WASHER AND DRYER.

Architectural style, materials, colors, and construction methods

The existing dwelling exhibits a post-war ranch-style architectural character, featuring an attached garage. The exterior envelope is articulated with a dual siding treatment: vertical wooden siding extending to the window heads, and horizontal wooden siding from the window sills to the foundation. Fenestration is characterized by rectangular windows, and the roof is a hipped design, clad in asphalt shingles.

The proposed addition seeks to maintain and extend this established architectural language. The intention is to create a seamless visual and structural integration.

The material palette of the existing structure will be mirrored in the addition. This includes the continuation of the vertical and horizontal wooden siding, replicating the existing species, dimensions, and installation methods. The rectangular window forms will be consistently applied, ensuring a unified fenestration pattern. The hipped roof design and asphalt shingle cladding will also be continued, maintaining the existing roof line and material consistency.

The color scheme of the existing dwelling will be replicated in the addition, ensuring a seamless visual transition. This will reinforce the perception of a unified architectural composition.

The existing house is constructed upon a strip foundation with a load-bearing wooden frame. The proposed extension will employ the same construction methodologies. This includes a strip foundation system that matches the existing foundation, and a load-bearing wooden frame that mirrors the existing structural approach. This method ensures structural continuity and compatibility between the existing and new construction.

The design emphasizes the integration of the existing and new elements. This is achieved through careful detailing that minimizes the visual distinction between the two.

Basis for site layout

This site layout basis addresses a rear extension for an existing post-war ranch-style dwelling located on a flat, corner lot. It prioritizes organic integration and minimal site alteration.

The design mandate emphasizes minimal site alteration and organic landscape integration, requiring careful consideration of the existing vegetation and terrain.

The addition footprint 335.5 sq.ft. only it minimize the need for extensive grading or the removal of existing vegetation.

An existing paved area may be moved fo the new design.

In essence, the site layout is being developed with a focus on creating a rear extension that feels like a natural extension of both the existing house and the surrounding landscape.

Existing and proposed uses:

The property's function as a single-family residence will remain unchanged

Outreach to neighbouring properties

The project involves the construction of a rear extension to the existing post-war ranch-style dwelling. The design prioritizes organic integration with the existing landscape and minimizes alterations to the current site.

Specifically:

The addition will be positioned at the rear of the existing house, connecting via two walls.

This positioning minimizes the impact on the street-facing facades and preserves the existing street presence.

The new addition has no windows overlooking the neighbours property.

PROJECT DATA	
PROJECT ADDRESS:	253 MARMONA DR, MENLO PARK, CA 94025
APN:	062312960
PROJECT TYPE:	ADDITION TO THE EXISTING RESIDENCE ONE STORY HOUSE REMODELING
OWNER:	MARCO BURO AND PATRIZIA FERRARI (408) 839-0142
PLANS PROVIDED BY: DRAWN BY DESIGNER:	SAVVY DESIGN LLC ELENA SAVVA (850) 504-8428

PROJECT SUMMARY	
ZONING: LAND USE:	RTU RL (RESIDENTIAL LOW)
ZONE:	AE
FEMA MAR No.	06081C0308E
BASE FLOOD ELEVATION (BFE)	46.0
EXISTING FINISH FLOOR ELEVATION	47.0
PROPOSED ADDITION FLOOR ELEVATION	47.0
EXISTING GARAGE FLOOR	45.9
NUMBER OF STORIES:	1
MIN. SETBACK CORNER	20'
MIN. SETBACK FRONT	12'
MIN. SETBACK SIDE (85%/10%)	5.5'
MIN. REAR SETBACK	20'
(E) HOUSE HEIGHT:	14'4"
PROPOSED HOUSE HEIGHT:	14'4"
MAX. HEIGHT:	28'
LOT AREA:	4919.0 sq.ft.(according survey)
TYPE OF CONSTRUCTION:	VB
OCCUPANCY:	R-3
GARAGE OCCUPANCY:	GROUP-U
THERE IS NO FIRE SPRINKLER SYSTEM IN THE HOUSE.	
PROPOSED ADDITION:	335.59 SQ.FT. (SEE A.3 FOR CALCS.)
EXISTING FLOOR AREA:	1184.2 sq. ft.
ONE CAR GARAGE:	263.9 sq.ft.
TOTAL EXISTING HOUSE:	1448.1 sq.ft.
EXISTING BUILDING LOT COVERAGE:	1473.2 sq.ft.
ADDITION AREA:	335.5 sq. ft.
PROPOSED FLOOR AREA:	1519.7 sq. ft.
ONE CAR GARAGE:	263.9 sq.ft.
TOTAL PROPOSED HOUSE:	1783.6sq.ft.
PROPOSED BUILDING LOT COVERAGE:	1808.7 sq.ft.
MAX BUILDING LOT COVERAGE (4919.0 sq.ft./40%)	1967.8 sq.ft.
MAX FLOOR AREA LIMIT:	2800 sq.ft.
PROPOSED FLOOR AREA:	1519.7 sq. ft.

APPLICABLE CODES:
<p>PLANS SHALL BE IN COMPLIANCE WITH:</p> <p>2022 CALIFORNIA BUILDING CODE (CBC)</p> <p>2022 CALIFORNIA RESIDENTIAL CODE (CRC)</p> <p>2022 CALIFORNIA ELECTRICAL CODE (CEC)</p> <p>2022 CALIFORNIA MECHANICAL CODE (CMC)</p> <p>2022 CALIFORNIA PLUMBING CODE (CPC)</p> <p>2022 CALIFORNIA GREEN BUILDING STANDARDS (GBC)</p> <p>2022 CALIFORNIA ENERGY CODE (CALENERGY)</p> <p>2022 CALIFORNIA GREEN EXISTING BUILDING CODE (GEBCE)</p> <p>2022 CALIFORNIA FIRE CODE (CFC)</p> <p>2022 MENLO PARK MUNICIPAL CODE</p>

SIMBOLS
<p>(R) REPLACEMENT</p>

CITY NOTES
<p>GENERAL NOTES:</p> <p>1. THE WORD CONTRACTOR AS USED HEREIN SHALL MEAN THE GENERAL CONTRACTOR, SUBCONTRACTORS AND ALL PERSONS DIRECTLY OR INDIRECTLY EMPLOYED BY ANY OF THEM.</p> <p>2. THE TERM CONSTRUCTION DOCUMENTS SHALL MEAN ALL OF THE DRAWINGS, SCHEDULES AND SPECIFICATIONS AND OTHER WRITTEN ORDERS ISSUED BY THE ARCHITECT, ENGINEERS AND OTHER DESIGN PROFESSIONALS FOR THE PURPOSE OF CONSTRUCTING THE PROJECT.</p> <p>3. CONTRACTOR SHALL PROMPTLY NOTIFY OWNER'S REPRESENTATIVE IF THE CONTRACTOR BECOMES AWARE DURING THE PERFORMANCE OF THE WORK THAT THE CONSTRUCTION DOCUMENTS ARE AT VARIANCE WITH APPLICABLE CODE REQUIREMENTS, IF CONTRACTOR PERFORMS WORK WHICH HE KNOWS OR SHOULD KNOW IS CONTRARY TO APPLICABLE CODE REQUIREMENTS WITHOUT THE AGREEMENT OF OWNER, CONTRACTOR SHALL BE RESPONSIBLE FOR SUCH WORK AND SHALL BEAR THE RESULTANT LOSSES INCLUDING WITHOUT LIMITATION THE COSTS OF CORRECTING DEFECTIVE WORK.</p> <p>4. CONTRACTOR SHALL PERFORM THE WORK IN ACCORDANCE WITH THE CURRENT EDITION OF THE CALIFORNIA BUILDING CODE (CBC) AS AMENDED AS OF THE DATE OF THESE DRAWINGS AND WITH LOCAL ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ALL PUBLIC AUTHORITIES HAVING JURISDICTION OVER OWNER, CONTRACTOR, ANY SUBCONTRACTOR, THE PROJECT, THE PROJECT SITE, THE WORK, OR THE PROSECUTION OF THE WORK.</p> <p>5. CONTRACTOR SHALL TAKE FIELD MEASUREMENTS TO VERIFY FIELD CONDITIONS AND CAREFULLY COMPARE WITH THE CONSTRUCTION DOCUMENTS SUCH FIELD MEASUREMENTS, CONDITIONS AND OTHER INFORMATION KNOWN TO CONTRACTOR BEFORE COMMENCING THE WORK, ERRORS, INCONSISTENCIES OR OMISSIONS DISCOVERED AT ANY TIME SHALL BE PROMPTLY REPORTED IN WRITING TO THE OWNER.</p> <p>6. DO NOT SCALE DRAWINGS, WRITTEN DIMENSIONS TAKE PRECEDENCE, DIMENSIONS ARE TO FACE OF STUD OR FACE OF CONCRETE UNLESS OTHERWISE NOTED, ELEVATION DIMENSIONS ARE TO SUBFLOORS AND PLATES UNLESS OTHERWISE NOTED, LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.</p> <p>7. CONTRACTOR SHALL CAREFULLY STUDY AND REVIEW THE CONSTRUCTION DOCUMENTS AND INFORMATION FURNISHED BY OWNER AND SHALL PROMPTLY REPORT TO OWNER'S REPRESENTATIVE ANY ERRORS, INCONSISTENCIES OR OMISSIONS IN THE CONSTRUCTION DOCUMENTS OR INCONSISTENCIES WITH APPLICABLE CODE REQUIREMENTS OBSERVED BY THE CONTRACTOR, IF CONTRACTOR PERFORMS ANY CONSTRUCTION ACTIVITY WHICH HE KNOWS OR SHOULD KNOW INVOLVES AN ERROR, INCONSISTENCY OR OMISSION REFERRED TO ABOVE WITHOUT NOTIFYING AND OBTAINING THE WRITTEN CONSENT OF OWNER'S REPRESENTATIVE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULTANT LOSSES INCLUDING, WITHOUT LIMITATION, COSTS OF CORRECTING DEFECTIVE WORK.</p> <p>8. ALL STANDARD NOTES CONTAINED HEREIN ARE TYPICAL UNLESS NOTED OTHERWISE.</p> <p>9. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE COORDINATION OF ALL SUB-CONTRACTORS WORK AND THE COMPLETION OF SAID WORK. CONTRACTOR SHALL REVIEW ALL MATERIALS AND WORKMANSHIP AND REJECT DEFECTIVE WORKMANSHIP WITHOUT WAITING FOR THE ARCHITECT OR OWNER TO REJECT THE WORK.</p> <p>10. CONTRACTOR SHALL PROVIDE CERTIFICATES OF INSURANCE ACCEPTABLE TO OWNER PRIOR TO COMMENCEMENT OF WORK.</p> <p>11. BY SUBMITTAL OF BID, CONTRACTOR WARRANTS TO OWNER THAT ALL MATERIALS AND EQUIPMENT TO BE FURNISHED ARE NEW UNLESS NOTED OTHERWISE AND ALL WORK WILL BE OF GOOD QUALITY AND FREE FROM FAULTS AND DEFECTS.</p> <p>12. ALL TRADE NAMES AND BRAND NAMES CONTAINED HEREIN ESTABLISH QUALITY STANDARDS. SUBSTITUTIONS ARE PERMITTED WITH PRIOR APPROVAL BY OWNER.</p> <p>13. WHERE CONSTRUCTION DETAILS FOR A PART OF THIS PROJECT ARE NOT SHOWN, THE WORK SHALL BE THE SAME AS OTHER SIMILAR WORK FOR WHICH DETAILS ARE SHOWN.</p> <p>14. THE CONTRACTOR SHALL BE COMPLETELY RESPONSIBLE FOR SCHEDULING AND THE WORK CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF PERSONS AND PROPERTY AND FOR THE COMPLIANCE OF APPLICABLE OSHA SAFETY STANDARDS. JOB SITE OBSERVATIONS BY THE OWNER OR ARCHITECT ARE NOT INTENDED TO INCLUDE CHECKING THE CONTRACTOR'S SAFETY STANDARDS.</p> <p>15. CONTRACTOR SHALL PROTECT ALL INSTALLED WORK AND MATERIALS STORED ON THE SITE FROM RAIN OR ANY ADVERSE WEATHER CONDITIONS, VANDALISM AND THEFT. ANY MATERIALS OR WORK LEFT UNPROTECTED AND THEN DAMAGED OR STOLEN SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.</p> <p>16. CONTRACTOR SHALL OBTAIN ALL CHANGE ORDERS IN WRITING PRIOR TO COMMENCING ANY WORK NOT INCLUDED IN THE ORIGINAL CONTRACT. FAILURE TO OBTAIN SUCH AUTHORIZATION MAY INVALIDATE CONTRACTOR'S CLAIM TO ADDITIONAL COMPENSATION.</p> <p>17. CONTRACTOR SHALL PROVIDE ADEQUATE SHORING AND BRACING AGAINST GRAVITY AND SEISMIC LOADS - AND TAKE COMPLETE RESPONSIBILITY FOR THE DESIGN AND CONSTRUCTION OF SUCH BRACING - UNTIL ALL STRUCTURAL ITEMS HAVE BEEN COMPLETELY INSTALLED AS PER THE CONSTRUCTION DOCUMENTS.</p> <p>18. CONTRACTOR SHALL GUARANTEE HIS WORK AND THAT OF HIS SUB-CONTRACTORS FOR MINIMUM OF ONE YEAR FROM THE DATE OF "SUBSTANTIAL COMPLETION." CONTRACTOR'S GUARANTEE SHALL NOT VOID OR SHORTEN ADDITIONAL WARRANTIES THAT MAY BE AVAILABLE TO THE OWNER THROUGH PRODUCT MANUFACTURERS OR CONSUMER LAW.</p> <p>19. THE CONSTRUCTION DOCUMENTS AND ALL COPIES THEREOF FURNISHED TO CONTRACTOR ARE THE PROPERTY OF THE ARCHITECT AND ARE NOT TO BE USED ON OTHER WORK.</p>

BURO AND FERRARI Residence

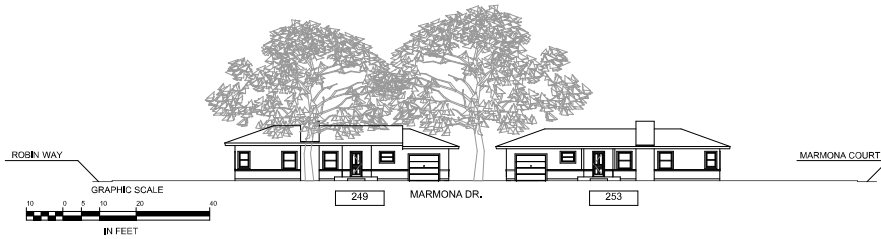
253 Marmona Dr, Menlo Park, CA 94025

RESIDENCE REMODELING AND ADDITION

SCOPE OF WORK STATEMENT	DRAWING INDEX
<p>NEW ADDITION</p> <p>TO ADD LIVING AREA (335.5 SQ.FT.) TO EXISTING HOUSE, INCLUDING MASTER BEDROOM MASTER BATHROOM AND WALK-IN-CLOSET</p> <p>IN MAIN HOUSE</p> <p>TO REMOVE A NON LOAD BEARING WALL BETWEEN THE KITCHEN AND CORRIDOR.</p> <p>TO REMOVE NON LOAD BEARING WALL BETWEEN THE KITCHEN AND LAUNDRY.</p> <p>KITCHEN REMODELING: REPLACEMENT OF KITCHEN CABINETS, COUNTERTOPS, APPLIANCES, OUTLETS AND LIGHTING FIXTURES.</p> <p>BATHROOM REMODELING: REPLACEMENT OF TILE, PLUMBING FIXTURES, OUTLETS AND LIGHTING FIXTURES. TO ADD LAUNDRY NICHE WITH STACKABLE WASHER AND DRYER.</p>	<p>A0 COVER SHEET, PROJECT DATA</p> <p>A1 AREA PLAN, STREETSCAPE</p> <p>A2 SITE PLAN</p> <p>A3 TOPOGRAPHIC SURVEY PLAN</p> <p>A4 AREA CALCULATION</p> <p>A5 EXISTING DEMOLITION PLAN</p> <p>A6 EXISTING ELEVATIONS</p> <p>A7 PROPOSED PLAN</p> <p>A8 PROPOSED ELEVATIONS</p> <p>A9 PROPOSED SECTIONS, ROOF PLAN</p> <p><small>CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL SITE AND FIELD CONDITIONS PRIOR TO AND DURING CONSTRUCTION AND OBSERVING ANY DISCREPANCY FOUND BETWEEN PLANS AND ACTUAL FIELD CONDITIONS TO BE BROUGHT TO THE ATTENTION OF A/C AND THE STRUCTURAL ENGINEER INVOLVED IN THE PROJECT. FAILURE TO DO SO VIOLATES A/C AND THE ENGINEER OF RESPONSIBILITY TO WORK PERFORMED BY CONTRACTOR.</small></p>

SATELLITE VIEW

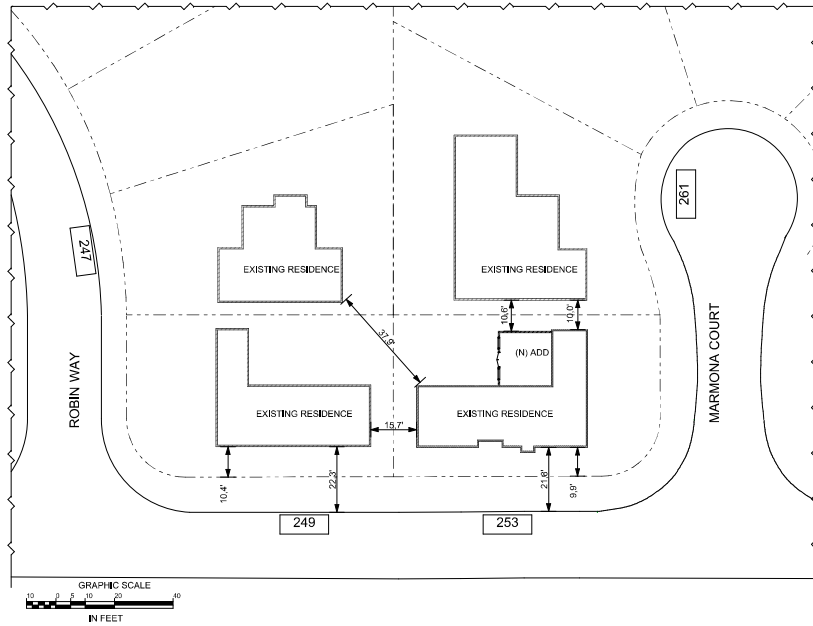
<p>REVISIONS</p> <p>0 02/23/2025</p> <p>BY</p>
<p>PROJECT FOR: MARCO BURO AND PATRIZIA FERRARI PROJECT ADDRESS: 253 MARMONA DR, MENLO PARK, CA 94025</p>
<p>SAVVY DESIGN LLC</p> <p>DESIGNER:</p> <p>ELENA SAVVA (650)504-8428 lenasavva@gmail.com</p>
<p></p>
<p>DATE:</p> <p>02/23/2025</p>
<p>SHEET NAME:</p> <p>COVER SHEET</p>
<p>SHEET NUMBER:</p> <p>A 0</p>



1 STREETScape MARMONA DR.
SCALE: 1/16"=1'-0"



2 STREETScape MARMONA CT.
SCALE: 1/16"=1'-0"



3 AREA PLAN
SCALE: 1"=20'

REVISIONS

0 02/23/2025

BY

PROJECT FOR: MARCO BURO AND PATRIZIA FERRARI
PROJECT ADDRESS: 253 MARMONA DR,
MENLO PARK, CA 94025

SAVVY DESIGN LLC

DESIGNER:

ELENA SAVVA
(650)504-8428
lenavsava@gmail.com

DATE:

02/23/2025

SHEET NAME:

AREA PLAN

SHEET NUMBER:

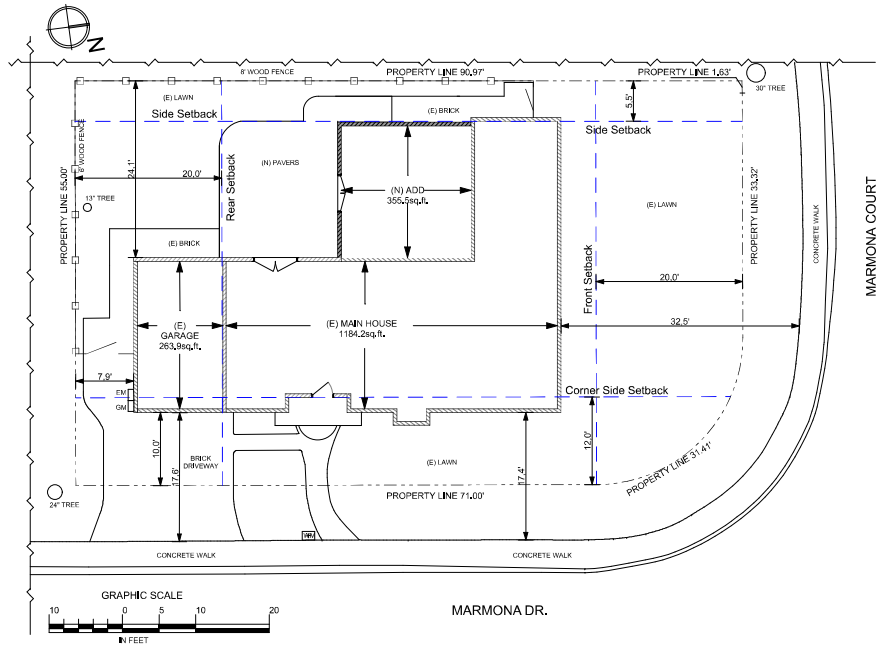
A 1



STREET VIEW 1 (MARMONA Dr.)



STREET VIEW 2 (MARMONA CL.)



VICINITY MAP LEGEND:

1 Lot

VICINITY MAP
N.T.S.

- NOTES:**
 CONTRACTOR OR OWNER/ BUILDER IS RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, DIMENSIONS AND ROOF SLOPES IN FIELD.
 EXISTING LANDSCAPING TO BE PROTECTED DURING CONSTRUCTION AND TO BE RETAINED AFTER CONSTRUCTION.
 FINISH GRADE AROUND THE STRUCTURE SHALL SLOPE AWAY FROM THE FOUNDATION A MIN. OF 5% FOR A MIN. DISTANCE OF 10 FEET (CBC 1804.3).
 ON GRADED SITES, THE TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER AT A POINT OF DISCHARGE (OR THE INLET OF AN APPROVED DRAINAGE DEVICE); A MIN. 12 INCHES PLUS 2%.
 NOTE 1: 2022 CALIFORNIA CODE OF REGULATIONS AS AMENDED BY STATE OF CALIFORNIA AND ALL APPLICABLE CITY OF MENLO PARK ORDINANCES WILL BE EMPLOYED DURING THIS PROJECT.
- NOTE 2: CONTRACTOR / PROPERTY OWNER SHALL POST HOURS OF OPERATION AND PHONE NUMBERS FOR NOISE COMPLAINTS.
- NOTE 3: NO DEBRIS BOXES OR BUILDING MATERIALS SHALL BE STORED ON THE STREET.
- NOTE 4: THERE WILL BE NO NEW LANDSCAPED AREA AS THE PART OF THIS PROJECT.
- NOTE 5: PROVIDE TREE PROTECTION DURING CONSTRUCTION.
- NOTE 6: VERIFY LOCATION OF UNDERGROUND UTILITIES AND NOTIFY UTILITY COMPANY PRIOR TO DIGGING.
- NOTE 7: IMPLEMENT REQUIRED MEASURES TO MINIMIZE STORM WATER RUN OFF FROM THE SITE AND PREVENT STORM WATER CONTAMINATION DURING CONSTRUCTION. PROVIDE DRY WELLS UNDER EA, DOWNSPOUT DISCHARGE.
- NOTE 8: PLUMB INTERIOR FLOOR DRAINS TO SANITARY SEWER
- NOTE 9: PLUMB INTERIOR GARAGE FLOOR DRAINS TO SANITARY SEWER
- NOTE 10: MARK ON-SITE INLETS WITH THE WORDS "NO DUMPING FLOWS TO BAY"
- NOTE 11: PROVIDE ROOFED AND ENCLOSED AREA FOR DUMPSTERS , RECYCLING CONTAINERS, ETC. TO PREVENT STORMWATER RUN ON AND RUNOFF.
- NOTE 12: COVER STORED OUTDOOR EQUIPMENT/ MATERIALS TO AVOID POLLUTANT CONTACT WITH STORMWATER RUNOFF.
- NOTE 13: ROOF DRAINS SHALL DRAIN TO UNPAVED AREA WHEN PRACTICABLE. DRAIN BOILER DRAIN LINES, ROOF TOP EQUIPMENT, ALL WASHWATER TO SANITARY SEWER.
- NOTE 14: DIRECT ROOF RUNOFF ONTO VEGETABLE AREA
- NOTE 15: DIRECT RUNOFF FROM SIDEWALKS, WALKWAYS AND/ OR PATIOS ONTO VEGETABLE AREA

Call 811 Before You Dig

PUBLIC WORKS NOTES:

1. Wastewater generated from the installation, cleaning, treating, and washing of the surface of copper features, including copper roof, shall be discharged to the sanitary sewers or landscaping or collect/haul off-site.
2. All landscaping shall be maintained and shall be designed with efficient irrigation systems to reduce runoff, promote surface filtration, and minimize the use of fertilizers, herbicides and pesticides.
3. Broken existing sidewalks and curbs shall be repaired as directed by City engineer in the field.
4. Recycle and/ or salvage for reuse a minimum of 65% of the nonhazardous construction and demolition waste in accordance with Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste management city ordinance per CGBC 4.408.1

REVISIONS

0 02/23/2025

BY

PROJECT FOR: MARCO BURO AND PATRIZIA FERRARI
 PROJECT ADDRESS: 253 MARMONA DR.,
 MENLO PARK, CA 94025

SAVVY DESIGN LLC

DESIGNER:

ELENA SAVVA
 (650)504-8428
 lenavsavva@gmail.com

DATE:

02/23/2025

SHEET NAME:

SITE PLAN

SHEET NUMBER:

A 2

REVISIONS
0 02/23/2025

BY

PROJECT FOR: MARCO BURO AND PATRIZIA FERRARI
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MENLO PARK, CA 94025

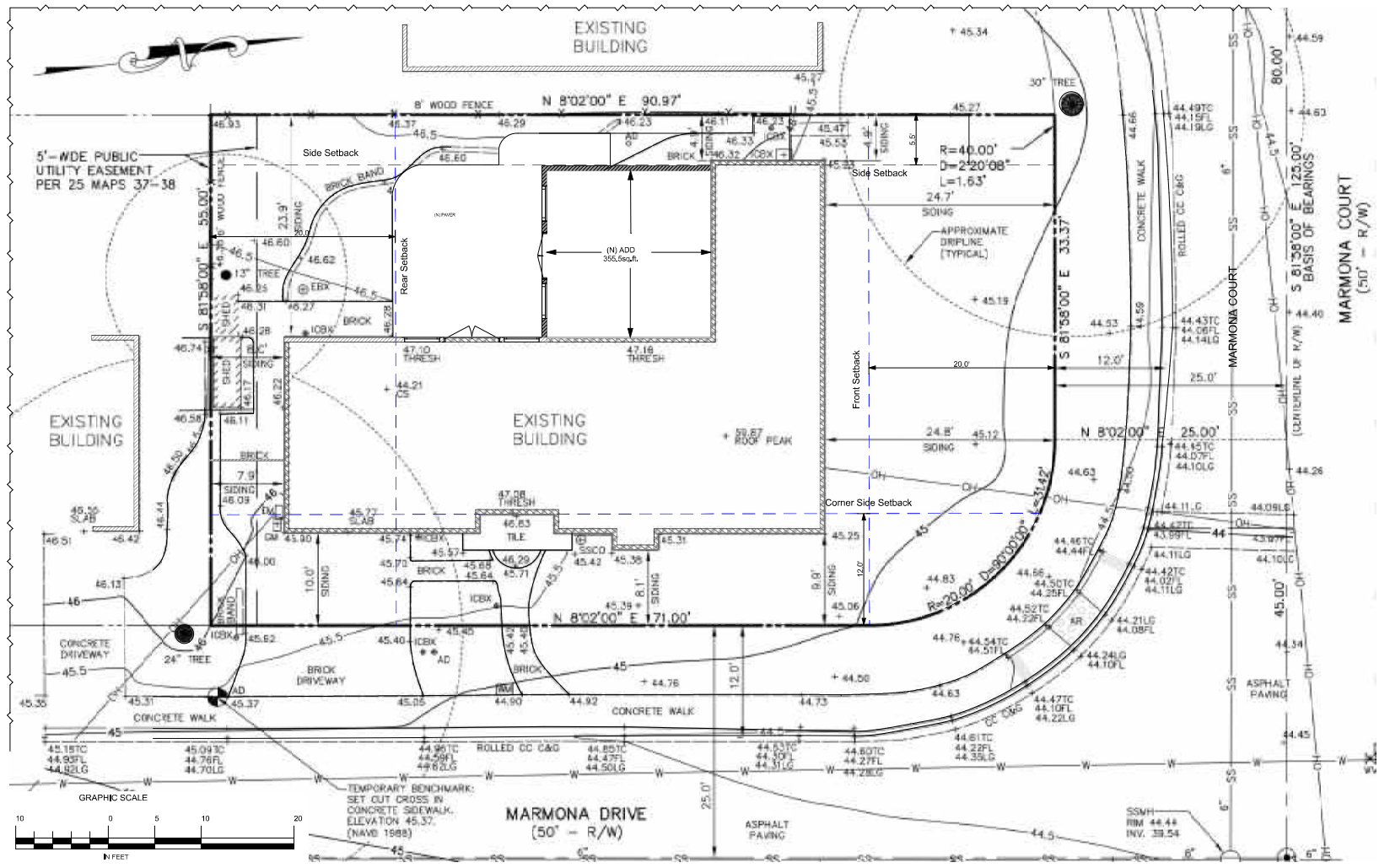
SAVVY DESIGN LLC

DESIGNER:
ELENA SAVVA
(650)504-8428
lenasavva@gmail.com

DATE:
02/23/2025

SHEET NAME:
TOPOGRAPHIC SURVEY PLAN

SHEET NUMBER:
A 3



1 TOPOGRAPHIC SURVEY PLAN
A3 SCALE: 3/16"=1'-0"

LEGEND

—	PROPERTY LINE	—	UP OF GUTTER
—	ACCESS RAMP	—	DOWN ANY SLOPE CLEARLY
—	WATER DRAIN	—	SAVVY SENSE MANGROVE
—	CONCRETE CURB & GUTTER	—	TOP OF CURB
—	ELECTRIC BOX	—	THRESHOLD
—	ELECTRIC METER	—	WATER METER
—	TREE (SWMH)	—	WATER VALVE
—	FLUORESC	—	TREE R/ SIZE
—	GRID METER	—	FINISH
—	GRID METER	—	OVERHEAD LINE
—	GRID METER	—	SAVVY SENSE LINE
—	GRID METER	—	WATER LINE
—	GRID METER	—	

UTILITY NOTE:

THE UTILITIES EXISTING ON THE SURFACE AND SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. ALL UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE FROM RECORDS OF THE SAN JOSE UTILITY COMMISSION AND THE SAN JOSE UTILITIES DOES NOT ASSUME RESPONSIBILITY FOR THESE COMPLEMENTS. INDICATED LOCATION ON SITE ACCORDING TO UTILITY LOCATION SHOULD BE CONFIRMED BY OBTAINING THE UTILITY.

EASEMENT NOTE:

EASEMENT POINTS IS MARKED ON A RECORD OF 20 MAPS 278-36 OTHER EASEMENTS P. 401, ARE NOT INDICATED HEREIN.

FLOOD ZONE NOTE:

THE SUBJECT PROPERTY LIES ENTIRELY WITHIN FLOOD ZONE "AE" HAVING A BASE FLOOD ELEVATION OF 40' BASED ON FLOOD INSURANCE RATE MAP 50010001000, DATED OCTOBER 16, 2012.

LOT AREA:

= 4,019 SQ. FT. ±
= 0.113 ACRES ±

BASE OF BEARING:

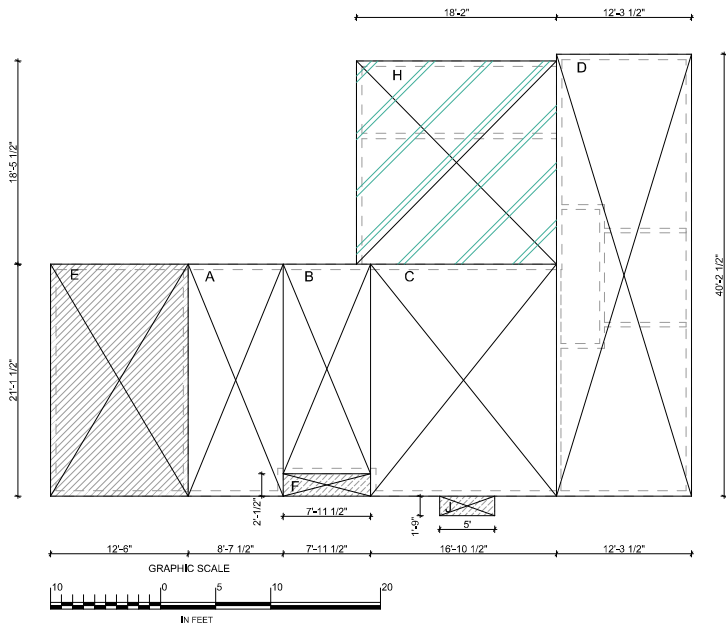
THE BEARING OF INTER-SPONSOR MESH, TAKEN AS THE CENTERLINE OF MARMONA COURT, AS SHOWN ON THAT CERTAIN MAP FILED IN BOOK 25 OF MAPS AT PAGE 15-18 OFFICIAL RECORDS OF SAN MATEO COUNTY WAS USED AS THE BASIS OF BEARING FOR THIS SURVEY.

AREA INFORMATION:

SEALING FOOTPRINT = 1,457 SQ. FT. ±
GRADE WALKS = 38 SQ. FT. ±
87% HARDSHIP = 492 SQ. FT. ±

BOUNDARY NOTE:

THE BOUNDARY SHOWN IS BASED ON AVAILABLE RECORD INFORMATION.



EXISTING HOUSE

A	182.5 SQ.FT.
B	151.6 SQ.FT.
C	356.6 SQ.FT.
D	493.5 SQ.FT.
TOTAL (E) 1 ST FL.	1184.2 SQ.FT.

E	263.9 SQ.FT.
TOTAL (E) GARAGE	263.9 SQ.FT.

TOTAL (E) HOUSE	1448.1 SQ.FT.
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F (PORCH)	16.3 SQ.FT.
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J (CHIMNEY)	8.8 SQ.FT.
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(E) LOT COVERAGE	1473.2 SQ.FT.
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PROPOSED LIVING SPACES

H	335.5 SQ.FT.
TOTAL (N) ADD	335.5 SQ.FT.

PROPOSED HOUSE

TOTAL (E) 1 ST FL.	1184.2 SQ.FT.
TOTAL (N) ADD	335.5 SQ.FT.
TOTAL (N) 1 ST FL.	1519.7 SQ.FT.

TOTAL (N) HOUSE	1783.6 SQ.FT.
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(N) LOT COVERAGE	1808.7 SQ.FT.
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UNDER FLOOR AREA VENTILATION CALCULATION

NEW UNDER FLOOR AREA: 355.5 SQ. FT.
 TOTAL UNDER FLOOR AREA: 1534 SQ. FT.
 EXIST NUMBER OF OPENINGS: 20
 EA. OPENING: 14" X 6" = 84SQ. IN.
 REQUIRED MIN. EXIST: 1534 : 150 = 10,22 SQ. FT.
 EXIST OPENING AREA: 84 : 144 X 20 = 11,67 SQ. FT.
 THE EXISTING OPENINGS ARE COMPLIANCE FOR VENTILATION OF THE TOTAL UNDER FLOOR AREA

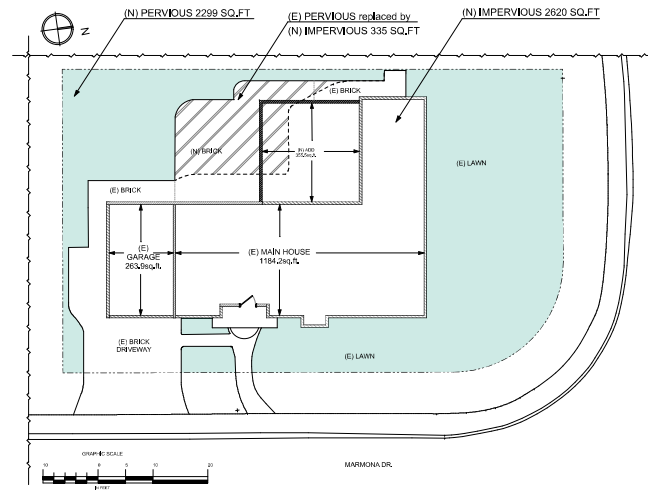
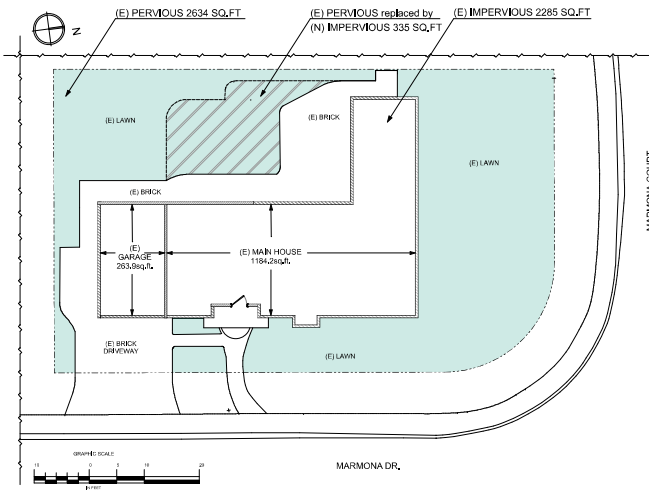
NOTECE

1. Comply with CRC R408.4 access shall be provided to all under-floor-spaces with openings through the floor not smaller than 18"x24"

PROPOSED ADDITION:

335.50 SQ.FT.
 LOT AREA: 4919.0 sq.ft.(according survey)
 EXISTING FLOOR AREA: 1184.2 sq. ft.
 ONE CAR GARAGE: 263.9 sq.ft.
 TOTAL EXISTING HOUSE: 1448.1 sq.ft.
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 MAX FLOR AREA LIMIT: 2890 sq.ft.
 PROPOSED FLOOR AREA: 1519.7 sq. ft.

1 AREA CALCULATION
 SCALE: 3/16"=1'-0"



2 IMPERVIOUS AREA CALCULATION
 SCALE: 3/16"=1'-0"

REVISIONS
0 02/23/2025
BY

PROJECT FOR: MARCO BURO AND PATRIZIA FERRARI
 PROJECT ADDRESS: 253 MARMONA DR,
 MENLO PARK, CA 94025

SAVVY DESIGN LLC

DESIGNER:
 ELENA SAVVA
 (650)504-8428
 lenavsavva@gmail.com

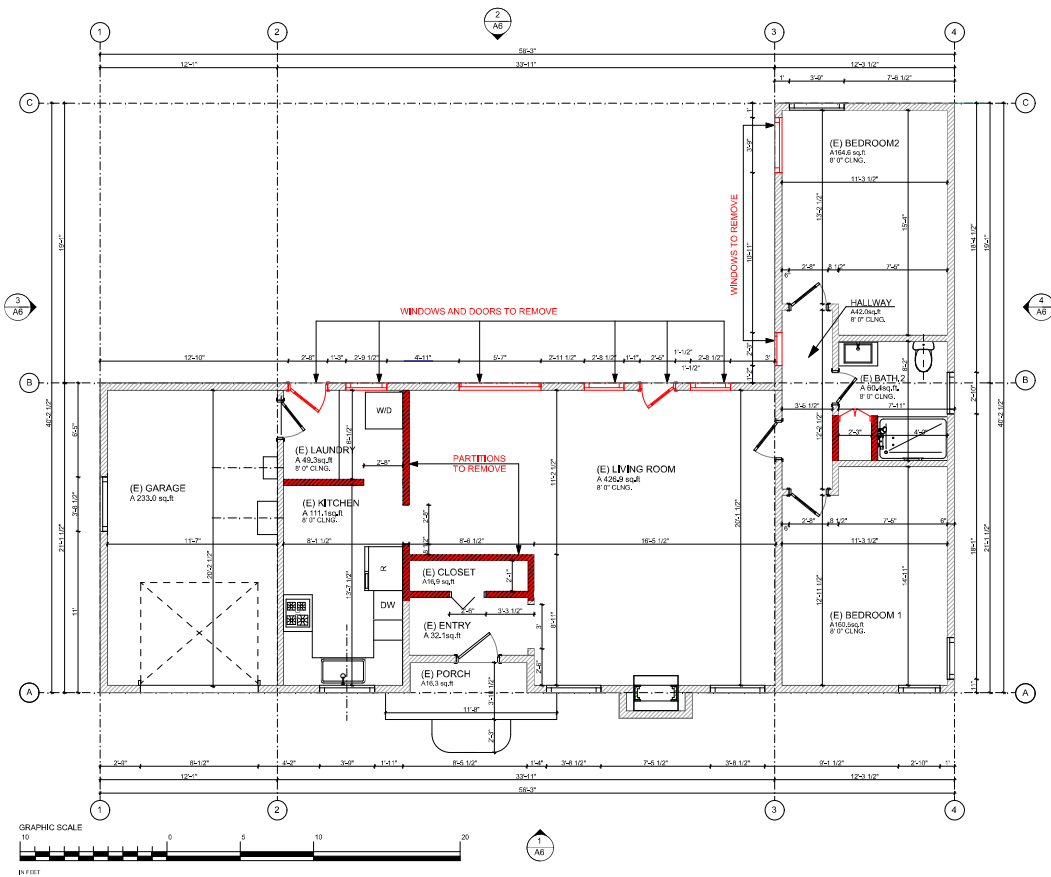
DATE:
 02/23/2025

SHEET NAME:

AREA CALCULATIONS

SHEET NUMBER:

A 4



1 EXISTING FLOOR PLAN
 A5 SCALE: 1/4"=1'-0"

NEW EXTERIOR STUD WALL TO BE 2X6 @ 16 O.C.
 NEW INTERIOR STUD WALL TO BE 2X4 @ 16 O.C.

LEGEND:

Wall to be removed	
New wall	
Existing wall	

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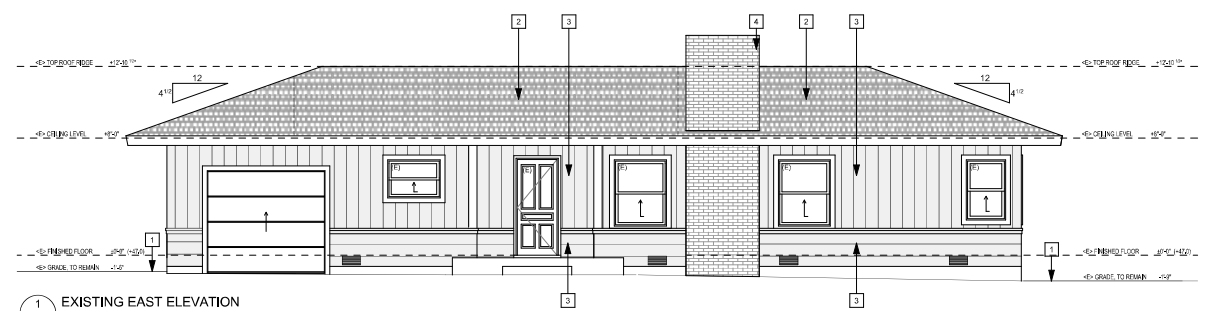
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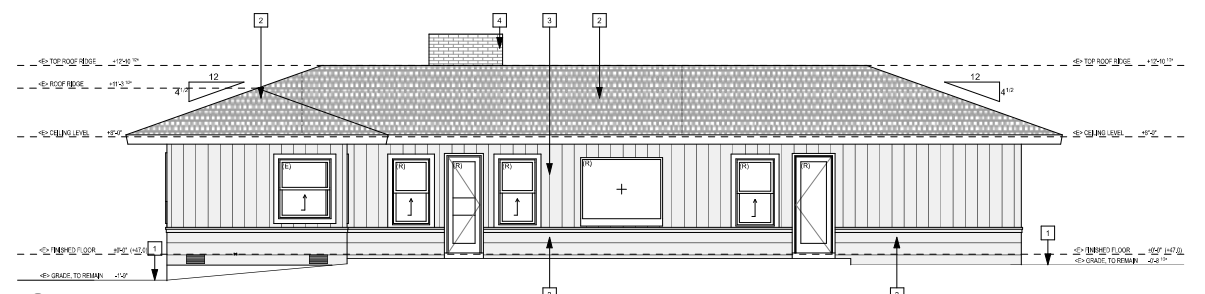
EXISTING PLAN

SHEET NUMBER:

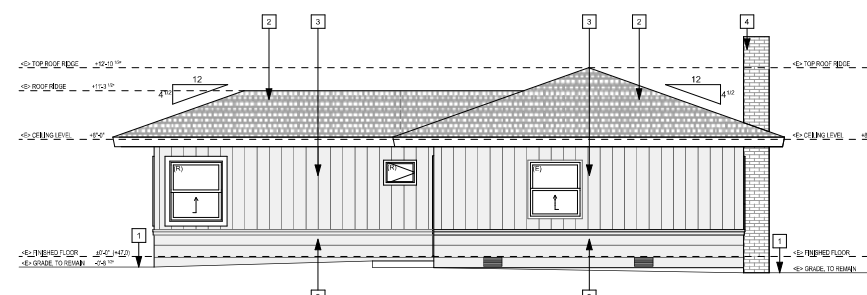
A 5



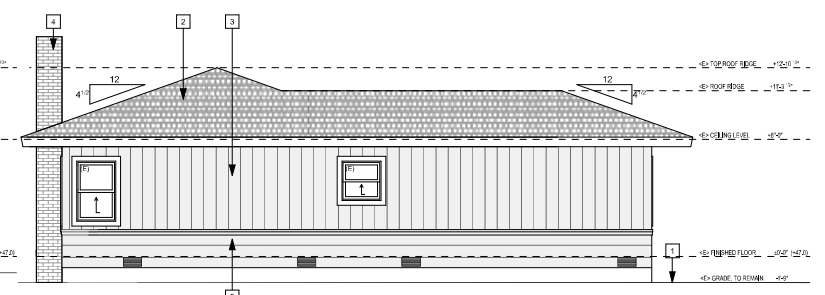
1 EXISTING EAST ELEVATION
A6 SCALE: 1/4"=1'-0"



2 EXISTING WEST ELEVATION
A6 SCALE: 1/4"=1'-0"



3 EXISTING SOUTH ELEVATION
A6 SCALE: 1/4"=1'-0"



4 EXISTING NORTH ELEVATION
A6 SCALE: 1/4"=1'-0"

- ELEVATION NOTES**
- 1 NATURAL GRADE (APPROX.)
 - 2 EXISTING ROOF FINISH: ASPHALT ROOFING SHINGLES TO REMAIN
 - 3 EXISTING WALL FINISH: SIDING
 - 4 EXISTING BRICK

- LEGEND**
- (N) - NEW
 - (E) - EXISING
 - (R) - REMOVE

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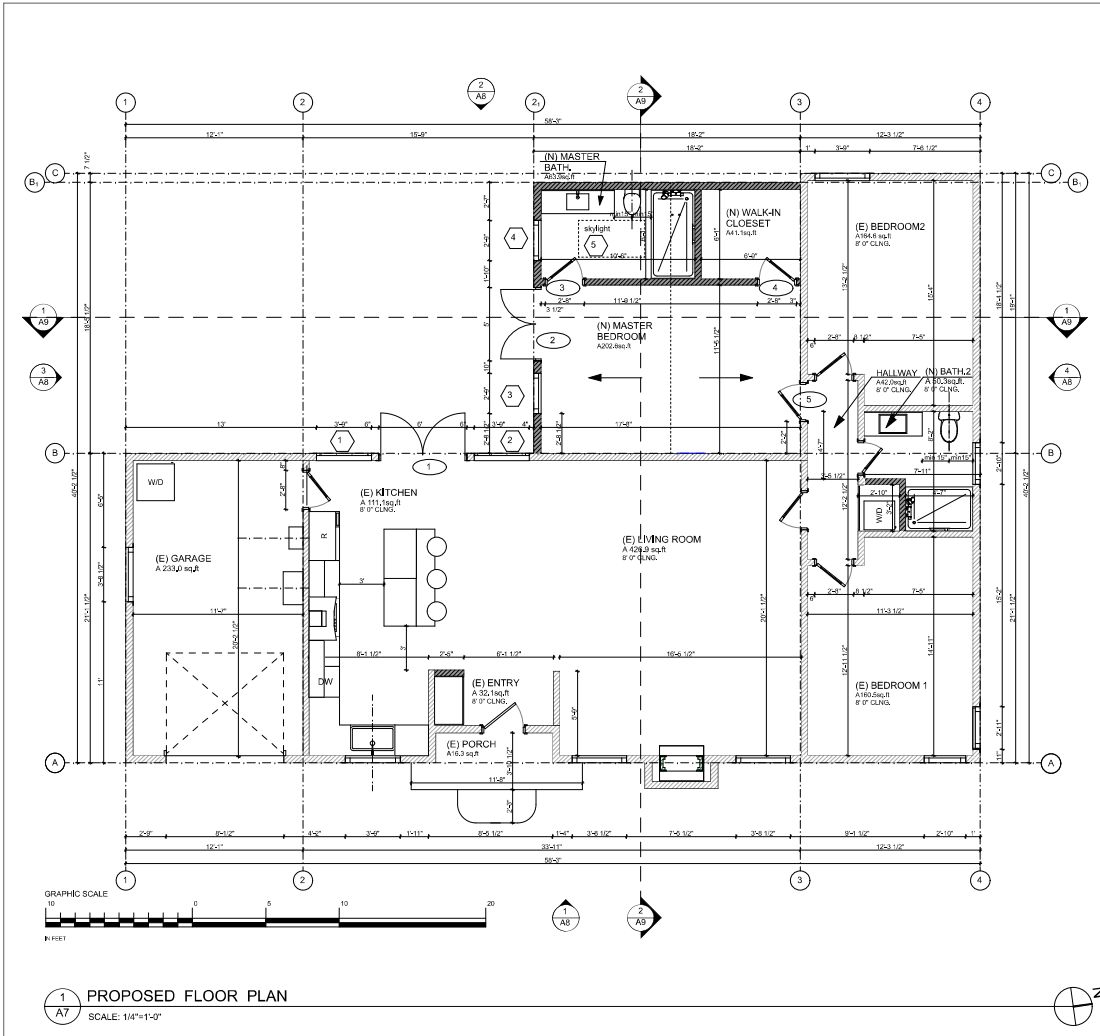
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SHEET NAME:
EXISTING ELEVATIONS

SHEET NUMBER:
A6



1
A7
PROPOSED FLOOR PLAN
SCALE: 1/4"=1'-0"

WINDOW SCHEDULE								
MARK	LOCATION	R.O.	OPENING SIZE		GLAZING	NEW	REPLACE	COMMENTS
			HEIGHT	WIDTH				
1	KITCHEN	70.0"	45.0"	VH	T	●		PICTURE WINDOW
2	KITCHEN	70.0"	45.0"	VH	T	●		PICTURE WINDOW
3	MASTERBED	56.0"	32.5"	VH	T		●	UP WINDOW
4	MASTERBATH	56.0"	32.5"	VH	T		●	UP WINDOW
5	MASTERBATH	54.0"	30.0"			●		SKYLIGHT EF

DOOR SCHEDULE								
MARK	LOCATION	OPENING SIZE		DOOR	FRAME	NEW	REPLACE	COMMENTS
		WIDTH	HEIGHT					
1	KITCHEN	72"	80"	VH	WC	●		DOOR TEMPERED GLASS
2	MASTERBED	60"	80"	VH	WC	●		DOOR TEMPERED GLASS
3	MASTERBATH	32"	80"	SC	WC	●		
4	WALK-IN CLOSET	32"	80"	SC	WC	●		
5	BEDROOM 2	32"	80"	SC	WC	●		

- WINDOW NOTES:**
1. ALL WINDOWS TO BE DOUBLE GLAZED, U.O.N.
 2. CONTRACTOR SHALL VERIFY ALL FINAL MANUFACTURERS WINDOW SIZES BEFORE ORDERING AND INSTALLING.
 3. ALL HEADER HEIGHTS TO BE MEASURED FROM TOP OF PERSPECTIVE SUBFLOOR, U.O.N.
 4. THE MAXIMUM U-FACTOR FOR NEW WINDOWS & SKYLIGHTS TO BE 0.30
 5. TO USE TWO EXISTING TEMPERED FROM THE LIVING ROOM IF THE CONDITION ALLOWS.

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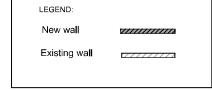
SHEET NAME:
PROPOSED PLAN

SHEET NUMBER:
A 7

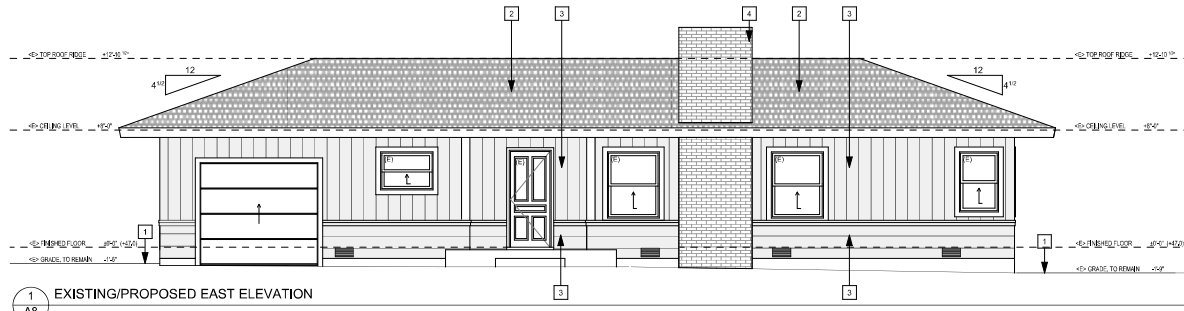
- FINISH NOTES:**
1. USE HARDWOOD FLOOR IN THE BEDROOMS AND LOFT. TILE FLOOR IN THE BATHROOM.
 2. ANY TRIM SPANNING A CORNER OR TWO ADJACENT SURFACES SHOULD BE FASTENED ON ONE SIDE ONLY.
 3. MAKE ADJUSTMENTS FOR VARYING FRAMING MEMBERS MOISTURE CONTENT TO ENSURE LEVEL BASE FOR DRY WALL AND OTHER FINISHES.
 4. PROVIDE NON-SLIP FLOORING IN ALL AREAS, AND SLIP-RESISTANT WHEN WET IN BATHROOMS & ENTRY HALL.
 5. THRESHOLDS AND FLOORING TRANSITION STRIPS TO MEET CBC CHAPTER 11A, EXCEPT EXTERIOR DOORS FLOOR LEVEL SHALL CHANGE MIN. 1 1/2".
 6. DO NOT BUILT IRREGULAR MATERIALS RIGHTLY, LEAVE REASONABLE CLEARANCES @ JOINTS, TO ALLOW EXPANSION AND CONTRACTION, AND FOR DIFFERENT SETTLEMENT.
 7. Provide minimum 50 cfm intermittent airflow for bathroom exhaust fans or provide minimum 20 cfm for the continuously operating Bathroom exhaust fans.

- PROPOSED PLAN NOTE:**
- NOTE 1: The max. flow rate of kitchen faucets shall not exceed 1.5 gpm at 60 psi.
- NOTE 2: Rodent proofing. Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodent by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency.
- NOTE 3: Building materials shall be compliant with VOC and other toxic compound limits.
- NOTE 4: Concrete slab foundations, vapor retarder and capillary break is installed at slab-on-grade foundations.
- Note 5: Moisture content of building materials: Moisture content of building materials used in wall and floor framing shall not exceed 19% before enclosure. Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure.
- Landings notes:**
- a) Exterior landings are a minimum of 36 inches deep in the direction of travel applies to landings at doors 1, 9, 14, and 18, CRC R311.2.
 - b) The slope of exterior landings shall not exceed 2% slope. CRC R311.2.
 - c) The exterior landings shall not be more than 7/34 inches lower than the top of the thresholds of exterior doors. CRC R311.3.1 Exception and R311.3.2.

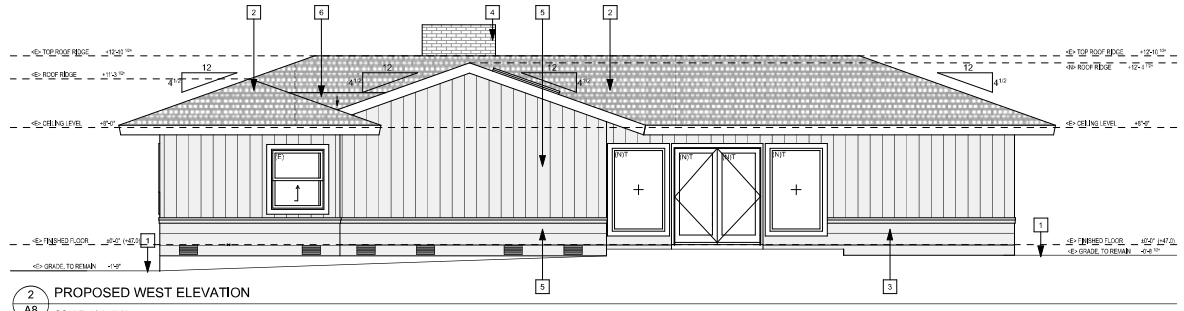
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NEW INTERIOR STUD WALL TO BE 2X4 @ 16 O.C.



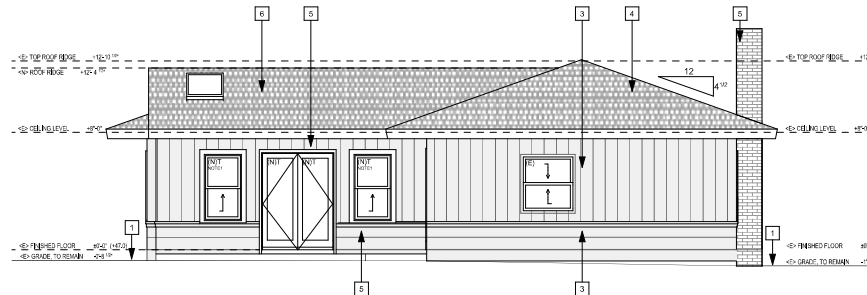
- Showers notes:**
- a) Shower doors shall be 22 inches minimum. Shower doors shall open so as to maintain a 22-inch minimum unobstructed opening for egress per CPC 408.6.
 - b) Shower stalls shall be 1024 square inches minimum and capable of encompassing a 30-inch diameter circle, CPC 408.6.
 - c) The shower controls in the ADU shower are located so that the bather can adjust the valves before stepping into the shower spray per CPC 408.5. Relocate the shower controls as necessary.
 - d) The shower and tub/shower combinations shall have individual control valves of the pressure balance or the thermostatic mixing valve type, CPC 408.3.
 - e) The maximum water temperature discharging from an individual showerhead shall be limited to 120 degrees Fahrenheit. Specify one of the temperature-limiting methods listed in CPC 408.3.2.



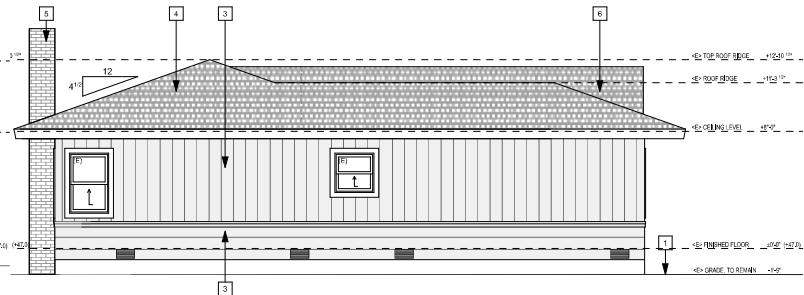
1 EXISTING/PROPOSED EAST ELEVATION
A8 SCALE: 1/4"=1'-0"



2 PROPOSED WEST ELEVATION
A8 SCALE: 1/4"=1'-0"



3 PROPOSED SOUTH ELEVATION
A8 SCALE: 1/4"=1'-0"



4 PROPOSED NORTH ELEVATION
A8 SCALE: 1/4"=1'-0"

ELEVATION NOTES

- 1 NATURAL GRADE (APPROX)
- 2 EXISTING ROOF FINISH: ASPHALT ROOFING SHINGLES TO REMAIN
- 3 EXISTING WALL FINISH: SIDING
- 4 EXISTING BRICK
- 5 NEW ROOF FINISH: COMPOSIT ROOFING SHINGLES
- 6 NEW WALL FINISH: SIDING

LEGEND

- (N) - NEW
- (E) - EXISING
- (R) - REMOVE

GENERAL NOTES

GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL NOTIFY OWNER OR DESIGNER OF ANY DISCREPANCIES OR OMISSIONS FOUND IN THE DRAWINGS AND SPECIFICATIONS OR DISCREPANCIES BETWEEN THE DRAWINGS AND SPECIFICATIONS, OR BETWEEN THE DOCUMENTS AND EXISTING CONDITIONS PRIOR TO PROCEEDING WITH AFFECTED WORK.

PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISHED SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS (4.504.5).

AEROSOL PAINTS AND COATING SHALL BE COMPLIANT WITH PRODUCT WEIGHTEN MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUND LIMITS (4.504.2.3)

PAINTS, STAINS, AND OTHER COATING SHALL BE COMPLIANT WITH VOC LIMITS (4.504.2.2)

ADHESIVES, SEALANTS, AND CAULKS SHALL BE COMPLIANT WITH VOC LIMITS (4.504.2.1)

COVER DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS DURING CONSTRUCTION (4.504.1)

ENERGY

ALL EXTERIOR DOORS TO BE 1 3/8" SOLID CORE AND WEATHER-STRIPPED.

DOOR FROM GARAGE TO HOUSE TO BE 1 3/8" SOLID CORE, WEATHER STRIPPED AND WITH SELF-CLOSING DEVICE.

ADD A BEAD OF CAULKING AROUND THE INTERIOR OF THE SOLE PLATE AT ALL EXTERIOR WALLS. THE BEAD SHALL BE APPLIED AT THE JOINT OF SUBFLOOR AND SOLE PLATE JUST PRIOR TO SHEETROCK APPLICATION.

THERMAL AND MOISTURE

SHOWER AND TUB SHOWER WALLS SHALL HAVE A SMOOTH, HARD, NONABSORBENT SURFACE (E.G. CERAMIC TILE OR FIBERGLASS) OVER A MOISTURE RESISTANT UNDERLAYMENT (E.G. CEMENT, FIBER CEMENT, OR GLASS MAT GYPSUM BACKER) TO A HEIGHT OF 72 INCHES ABOVE THE DRAIN BULLET. WATER RESISTANT GYPSUM BOARD SHALL NOT BE USED OVER A VAPOR RETARDER IN SHOWER OR BATHUB COMPARTMENT. CRC: SECTION R307.2 AND R702.3.8

WHEN INSULATED SPACE IS SMALLER THAN 12" USE RIGID INSULATION BOARD TO ALLPW MIT 1" AIRFLOW WHEN INSULATING CEILINGS PROVIDE MIN. 1" SPACE FOR AIRFLOW.

PROVIDE CROSS VENTILATION AT ALL ROOFS.

CHECK MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FRAMING BEFORE ENCLOSURE (4.505.3)

EACH BATHROOM SHALL BE MECHANICALLY VENTILATED WITH AN ENERGY STAR EXHAUST FAN. FAN MUST BE CONTROLLED BY HUMIDITY CONTROL (4.506.1)

ANY EXISTING FOUNDATION VENTS WHICH ARE BLOCKED BY THE NEW

ADDITION SHALL BE COMPENSATED FOR. FOR EXAMPLE ADDITIONAL NEW VENTS SHALL BE INSTALLED OR INCREASE THE NEW VENTS SIZE. (2.16.4.0.0.0.0)

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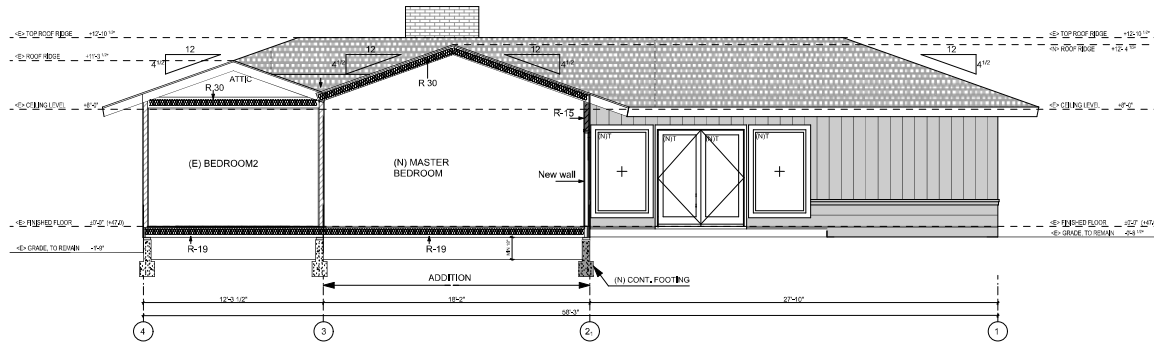
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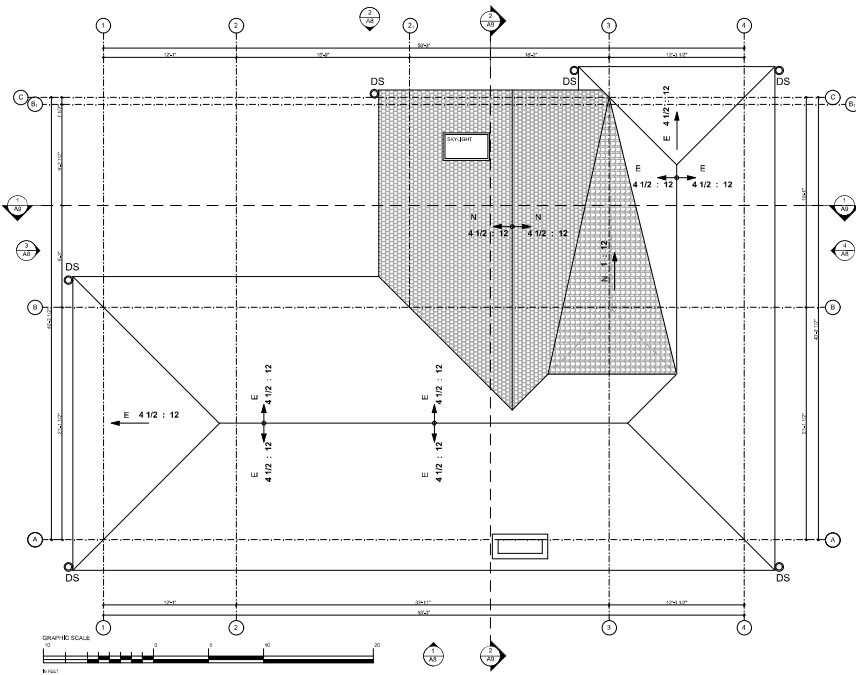
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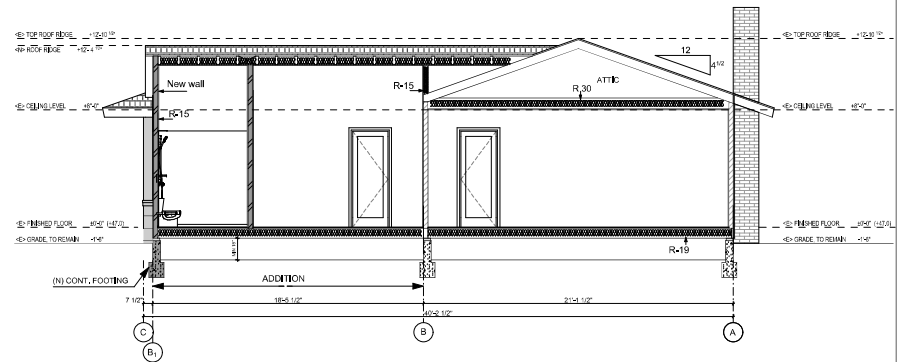
SHEET NUMBER:
A 8



1 PROPOSED SECTION 1-1
SCALE: 1/4"=1'-0"



3 ROOF PLAN
SCALE: 3/16"=1'-0"



2 PROPOSED SECTION 2-2
SCALE: 1/4"=1'-0"

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PROPOSED SECTION
PROPOSED ROOF PLAN

SHEET NUMBER:
A 8