

## **Project Description Letter**

**Project Address:** 515 Bay Rd, Menlo Park, CA 94025

Dear Review Committee,

I am writing to formally describe our proposed project located at **515 Bay Rd, Menlo Park**. This project involves the construction of a **new single-family house and ADU** to replace the existing home currently on the property.

## **Purpose of the Proposal**

Currently, my family and I live in a **968-square-foot house** at this location, which no longer meets our needs. The house is small and is not suitable for our long-term living requirements. To improve our living environment and better accommodate our family, we plan to **demolish the existing house** and build a **new, larger, and more comfortable home**.

## **Scope of Work**

The scope of work includes:

1. **Demolishing** the existing **968-square-foot single-family house** and the existing **266-square-foot garage**.
2. **Constructing** a new **2545-square-foot single-family house**, a new **446-square-foot ADU**, along with a **new attached one-car garage**.

## **Architectural Style and Materials**

The architectural style for the new home will be a **modern farmhouse**, with **warm white stucco** as the primary exterior material. The construction will use **wood framing** and follow **environmentally friendly construction practices** to ensure compliance with all applicable regulations.

## **Basis for Site Layout**

The new house adopts a **courtyard-style layout**, featuring a front yard, backyard, and an internal courtyard. This arrangement creates a harmonious flow between indoor and outdoor spaces, enhances natural light and ventilation, and provides privacy for the residents. The overall site planning is thoughtfully integrated to complement and coordinate with the surrounding neighborhood context and architectural character.

## **Existing and Proposed Uses**

The **existing and proposed use** of the property remains **residential**.

## **Outreach to Neighboring Properties**

I believe that good communication with neighbors is an important part of any construction project, so I made the effort to **reach out to my neighbors** to introduce my family and explain our proposed project.

Donyel, who lives at 519 Bay Rd, responded to our email and **expressed his support** for the new house project.

The neighbor at 511 Bay Rd has not yet replied to our message. We will continue our efforts to reach out and communicate with him.

Please find **a document with the neighbor support letters** attached for your reference.

Thank you very much for your time and consideration. I look forward to your review and approval of our proposal.

Sincerely,  
Xiaoming Zhang  
Property Owner  
515 Bay Rd, Menlo Park, CA 94025

address, 274 Redwood Shores Pkwy  
STE 310  
Redwood City CA 94065  
phone, 650 , 797 , 3999  
email, logichomeinc@gmail.com

# 515 NEW RESIDENCE AND ADU

515 BAY RD, MENLO PARK, CA 94025

PROJECT DATA		PROJECT SUMMARY		DRAWING INDEX		VICINITY MAP																																																																																																																																																																																																																																													
ADDRESS : 515 BAY RD, MENLO PARK, CA 94025 A.P.N. : 062-051-170 TYPE OF CONSTRUCTION : V-B OCCUPANCY : R-3/U ZONING : R1U LOT SIZE : 6249 LOT AVERAGE SLOPE: NA FIRE SPRINKLERS: YES FLOOD ZONE : NO TOTAL NUMBER OF UNITS: 2 STORIES: 2 NUMBER OF PARKING: 2 (1 COVERED PARKING) EASEMENT: YES DEFERRED SUBMITTAL: FIRE SPRINKLER SYSTEM		<table><tr><th></th><th>EXISTING</th><th>PROPOSED</th></tr><tr><td>TOTAL NUMBER OF UNITS</td><td>1</td><td>2</td></tr><tr><td>GFA IN TOTAL</td><td>1234</td><td>3236</td></tr><tr><td>LIVING</td><td>968</td><td>2545</td></tr><tr><td>GARAGE</td><td>266</td><td>245</td></tr><tr><td>ADU</td><td>0</td><td>446</td></tr><tr><td>NUMBER OF BEDROOMS (MAIN HOUSE)</td><td>2</td><td>3</td></tr><tr><td>NUMBER OF BATHROOMS (MAIN HOUSE)</td><td>1</td><td>3.5</td></tr><tr><td>NUMBER OF BEDROOMS (ADU)</td><td>0</td><td>1</td></tr><tr><td>NUMBER OF BATHROOMS (ADU)</td><td>0</td><td>1</td></tr><tr><td>NUMBER OF COVERED PARKING SPACE</td><td>1</td><td>1</td></tr><tr><td>NUMBER OF UNCOVERED PARKING SPACE</td><td>1</td><td>1</td></tr><tr><td>STORIES</td><td>1</td><td>2</td></tr><tr><td>BUILDING HEIGHT</td><td>13' 9 1/8"</td><td>24' 9 1/8"</td></tr></table> <table><tr><th>ZONING RESTRICTIONS</th><th>REQUIRED</th><th>PROPOSED</th></tr><tr><td>BUILDING HEIGHT</td><td>MAX. 28 FT</td><td>24' 9 1/8"</td></tr><tr><td>STORIES</td><td>MAX. 3</td><td>2</td></tr><tr><td>COVERAGE RATIO</td><td>MAX. 35%</td><td>25.4%</td></tr></table> <table><tr><th>MAIN HOUSE SETBACK</th><th>REQUIRED</th><th>PROPOSED</th></tr><tr><td>SETBACK- FRONT</td><td>MIN. 20 FT</td><td>20' 0"</td></tr><tr><td>SETBACK- REAR</td><td>MIN. 20 FT</td><td>26' 2 1/2"</td></tr><tr><td>SETBACK- LEFT</td><td>MIN. 6 FT</td><td>6 FT</td></tr><tr><td>SETBACK- RIGHT</td><td>MIN. 5 FT</td><td>5 FT</td></tr></table>			EXISTING	PROPOSED	TOTAL NUMBER OF UNITS	1	2	GFA IN TOTAL	1234	3236	LIVING	968	2545	GARAGE	266	245	ADU	0	446	NUMBER OF BEDROOMS (MAIN HOUSE)	2	3	NUMBER OF BATHROOMS (MAIN HOUSE)	1	3.5	NUMBER OF BEDROOMS (ADU)	0	1	NUMBER OF BATHROOMS (ADU)	0	1	NUMBER OF COVERED PARKING SPACE	1	1	NUMBER OF UNCOVERED PARKING SPACE	1	1	STORIES	1	2	BUILDING HEIGHT	13' 9 1/8"	24' 9 1/8"	ZONING RESTRICTIONS	REQUIRED	PROPOSED	BUILDING HEIGHT	MAX. 28 FT	24' 9 1/8"	STORIES	MAX. 3	2	COVERAGE RATIO	MAX. 35%	25.4%	MAIN HOUSE SETBACK	REQUIRED	PROPOSED	SETBACK- FRONT	MIN. 20 FT	20' 0"	SETBACK- REAR	MIN. 20 FT	26' 2 1/2"	SETBACK- LEFT	MIN. 6 FT	6 FT	SETBACK- RIGHT	MIN. 5 FT	5 FT	<p><b>ARCHITECTURAL:</b></p> <p>A0.1 COVER SHEET A0.2 RENDERING A0.3 FLOOR AREA CALCULATIONS A0.4 GENERAL NOTES</p> <p>A1.1 SURVEY PLAN A1.2 DEMO SITE PLAN (1/8"= 1') A1.3 SITE PLAN (1/8"= 1')</p> <p>A2.1 EXISTING FLOOR PLAN (1/4"= 1') A2.2 PROPOSED FLOOR PLAN_ 1ST FLOOR(1/4"= 1') A2.3 PROPOSED FLOOR PLAN_ 2ND FLOOR(1/4"= 1') A2.4 PROPOSED ROOF PLANS(1/4"= 1')</p> <p>A4.1 EXISTING ELEVATIONS (1/4"= 1') A4.2 EXISTING ELEVATIONS (1/4"= 1') A4.3 PROPOSED ELEVATIONS (1/4"= 1') A4.4 PROPOSED ELEVATIONS (1/4"= 1') A4.5 PROPOSED SECTIONS (1/4"= 1') A4.6 PROPOSED SECTIONS (1/4"= 1') A4.7 STREETScape (3/16"= 1')</p>																																																																																																																																																																										
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<ol style="list-style-type: none"><li>IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTORS TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS INDICATED ON THESE DRAWINGS AND MAKE KNOWN ANY DISCREPANCIES PRIOR TO COMMENCING THEIR WORK.</li><li>THESE DRAWINGS ARE INTENDED FOR USE IN A NEGOTIATED CONSTRUCTION CONTRACT AND, THEREFORE, MAY NOT SPECIFICALLY DETAIL OR SPECIFY MATERIAL AND / OR MANUFACTURERS. THE CONTRACTOR SHALL PROVIDE ALL SAMPLES AND OR CUTS AS REQUIRED TO ASSIST OWNER OR HIS AGENT IN MAKING MATERIAL SELECTIONS. FOR THE PURPOSE OF ESTIMATING, THE CONTRACTORS SHALL USE THE MATERIALS SELECTED BY THE OWNER, OR IN ABSENCE OF SAME, HE SHALL PROVIDE AN ALLOWANCE AMOUNT AND SO CONDITION ANY COST ESTIMATE. ALL MATERIALS SPECIFIED IN THESE DRAWINGS SHALL BE INCLUDED IN SUCH ESTIMATE.</li><li>NO GUARANTEE OF QUALITY OF CONSTRUCTION IS IMPLIED OR INTENDED BY THE ARCHITECTURAL DOCUMENTS, AND THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY OR ALL CONSTRUCTION DEFICIENCIES.</li><li>THE GENERAL CONTRACTOR SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE DESIGNER FROM ANY ACTION INITIATED BY THE INITIAL OWNER OR ANY SUBSEQUENT OWNERS FOR CONSTRUCTION DEFECTS, MODIFICATIONS OR SUCH CONDITIONS WHICH MAY BE BEYOND THE CONTROL OF THE DESIGNER.</li><li>ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND TRADE STANDARDS WHICH GOVERN EACH PHASE OF WORK, INCLUDING BUT NOT LIMITED TO: UNIFORM BUILDING CODE (UBC), UNIFORM MECHANICAL CODE (UMC), NATIONAL ELECTRICAL CODE (NEC), NATIONAL PLUMBING CODE (NPC), AND ALL APPLICABLE LOCAL CODES AND LEGISLATION.</li><li>THE CONTRACTOR SHALL REVIEW AND RECORD THE CONDITIONS OF ALL EXISTING SITE IMPROVEMENTS INCLUDING PAVED AREAS. HE SHALL MAKE KNOWN ALL EXISTING DAMAGED OR DISREPAIRED ITEMS AND CONDITIONS THAT MAY WORSEN DUE TO THE CONSTRUCTION. ALL ITEMS IN GOOD CONDITION SHALL BE MAINTAIN IN THEIR PRESENT CONDITION AND ANY REPAIR OR DAMAGE WHICH OCCURS DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.</li><li>CONTRACTOR SHALL THOROUGHLY EXAMINE THE SITE AND SATISFY HIMSELF AS OF THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. THE CONTRACTOR SHALL VERIFY AT THE SITE ALL MEASUREMENTS AFFECTING HIS WORK AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF SAME. NO EXTRA COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR THE EXPENSES DUE TO HIS NEGLIGENCE TO EXAMINE OR FAILURE TO DISCOVER CONDITIONS WHICH MAY AFFECT HIS WORK.</li><li>ALL NEW INTERIOR PAINT COLOR, FLOOR, WALLS AND CEILING FINISHES SHALL BE SELECTED BY OWNER AT THE TIME WHEN IT IS NECESSARY FOR THE COMPLETION OF THE PROJECT.</li><li>ALL PUBLIC IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE LATEST ADOPTED CITY STANDARDS. THE STORING OF GOODS AND MATERIALS ON SIDEWALK AND/OR STREET WALL NOT BE ALLOWED UNLESS THE CONTRACTOR HAS APPLIED AND SECURED A SPECIAL PERMIT WHICH ALLOW SUCH STORAGE TO BE PLACED. RETROFIT HOOD/DOWN ANCHORS MAY BE INSPECTED BY THE ENGINEER OF RECORD. THE EOR SHALL PROVIDE A LETTER TO THE CITY FIELD INSPECTOR AT THE TIME OF HOOD/DOWN INSPECTION DESCRIBING THE RESULTS OF THE INSPECTION.</li><li>A GRADING PERMIT, IF REQUIRED, WILL BE OBTAINED FROM THE DEPARTMENT OF PUBLIC WORKS.</li></ol>		<p><b>APPLICABLE CODES</b></p> <p>2022 CBC, CRC, CECB, CES, CPC, CMC, CFC, CEC, INCLUDING ALL AMENDMENTS AS ADOPTED IN ORDINANCE 1889. CALGREEN CALIFORNIA ENERGY EFFICIENCY STANDARDS CITY OF MENLO PARK MUNICIPAL CODE 2024 CITY OF MENLO PARK REACH CODE</p> <p><b>OBSERVATION &amp; TESTING</b></p> <p>1.EARTHWORK, SLAB SUBGRADE AND NON-EXPANSIVE FILL PREPARATION BASEMENT DRAINAGE AND BACKFILLING, FOUNDATION, SLAB &amp; DRIVEWAY CONSTRUCTION SITE DRAINAGE AND GEOTECHNICAL OBSERVATION AND TESTING DURING CONSTRUCTION SHALL BE PERFORMED AS RECOMMENDED IN THE GEOTECHNICAL REPORT DATED 08-05-202 BY SILICON VALLEY SOIL ENGINEERING. 2.PROPERTY LINE SURVEY AND FIRST FLOOR FINISHED ELEVATION VERIFICATION, IF REQUIRED, WILL BE COMPLETED BY A LICENSED SURVEYOR AND PROVIDED TO BUILDING INSPECTOR PRIOR TO FOUNDATION INSPECTION. 3.BUILDING HEIGHT VERIFICATION, IF REQUIRED, WILL BE COMPLETED BY A LICENSED SURVEYOR AND PROVIDED TO BUILDING INSPECTOR PRIOR TO FRAMING INSPECTION. PRIOR TO OCCUPANCY OF THE BUILDING, A LETTER FROM A CERTIFIED GREENPOINT WATER WILL BE PROVIDED TO VERIFY COMPLIANCE WITH THE CHECKLIST AND MINIMUM POINTS REQUIRED .</p> <p><b>CONSTRUCTION HOURS</b></p> <p>IT IS UNLAWFUL TO CREATE, PERMIT, ALLOW, OR MAINTAIN A NOISE DISTURBANCE IN THE CITY OF MENLO PARK. CONSTRUCTION NOISE RESTRICTIONS ARE AS FOLLOWS: BETWEEN THE HOURS OF 7AM AND 10PM, NOISE CANNOT EXCEED 60 dBA AT A RESIDENTIAL PROPERTY LINE. ALL CONSTRUCTION NOISE DURING THE HOURS OF 8AM AND 6PM, MONDAY THROUGH FRIDAY, IS EXEMPT FROM THE 60 dBA LIMIT. DURING THESE HOURS, NOISE GENERATED BY POWERED EQUIPMENT CANNOT EXCEED 85 dBA MEASURED AT 50 FEET FROM THE SOURCE. FOR RESIDENTS/PROPERTY OWNERS PERSONALLY UNDERTAKING CONSTRUCTION ACTIVITIES, CONSTRUCTION NOISE IS EXEMPT FROM THE 60 dBA LIMIT DURING THE HOURS OF 9AM TO 5PM, SATURDAYS, SUNDAYS, AND HOLIDAYS. 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JOINT</td><td>HT</td><td>HEIGHT</td><td>STD</td><td>STANDARD</td></tr><tr><td>CLG</td><td>CEILING</td><td>HP</td><td>HORSEPOWER</td><td>STL</td><td>STEEL</td></tr><tr><td>CLR</td><td>CLEAR</td><td></td><td></td><td></td><td></td></tr><tr><td>CONC</td><td>CONCRETE</td><td>INSUL</td><td>INSULATION</td><td>TEMP</td><td>THERMOSTAT</td></tr><tr><td>CONT</td><td>CONTINUOUS</td><td>INT</td><td>INTERIOR</td><td>TOS</td><td>TOP OF SLAB</td></tr><tr><td>CTR</td><td>CENTER</td><td>M</td><td>MAXIMUM</td><td>TOP</td><td>TYPICAL</td></tr><tr><td></td><td></td><td>MAX</td><td>MAXIMUM</td><td>UON</td><td>UNLESS OTHERWISE</td></tr><tr><td>DBL</td><td>DOUBLE</td><td>MECH</td><td>MECHANICAL</td><td>NOTED</td><td></td></tr><tr><td>DEMO</td><td>DEMOLITION</td><td>MFR</td><td>MANUFACTURER</td><td></td><td></td></tr><tr><td>DIA</td><td>DIAMETER</td><td>MIN</td><td>MINIMUM</td><td></td><td></td></tr><tr><td>DIM</td><td>DIMENSION</td><td>MISC</td><td>MISCELLANEOUS</td><td></td><td></td></tr><tr><td>DN</td><td>DOWN</td><td>MTD</td><td>MOUNTED</td><td>VERT</td><td>VERTICAL</td></tr><tr><td>DOOR</td><td>DOOR</td><td></td><td></td><td>VF</td><td>VERIFY IN FIELD</td></tr><tr><td>DWG</td><td>DRAWING</td><td></td><td></td><td></td><td></td></tr><tr><td>DS</td><td>DOWN SPOUT</td><td>N</td><td>NORTH</td><td></td><td></td></tr><tr><td>E</td><td>EAST</td><td>(N)</td><td>NEW</td><td>W/O</td><td>WITH</td></tr><tr><td>(E)</td><td>ELECTRICAL</td><td>N/A</td><td>NOT APPLICABLE</td><td>W/O</td><td>WITHOUT</td></tr><tr><td>EXT</td><td>EXTERNAL</td><td>NTS</td><td>NOT TO SCALE</td><td>WC</td><td>WATER CLOSET</td></tr><tr><td>EQ</td><td>EQUAL</td><td></td><td></td><td>WO</td><td>WOOD</td></tr><tr><td>EXC</td><td>EXTERIOR</td><td>OC</td><td>ON CENTER</td><td>WH</td><td>WATER HEATER</td></tr><tr><td>F</td><td>FLOOR</td><td>OPP</td><td>OPPOSITE</td><td>W.A.</td><td>WHERE OCCURS</td></tr><tr><td>FDN</td><td>FLOOR DRAIN</td><td>PEEP</td><td>PERPENDICULAR</td><td>WR</td><td>WATER RESISTANT</td></tr><tr><td>FIN</td><td>FOUNDATION</td><td>PL</td><td>PROPERTY LINE OR</td><td>WT</td><td>WEIGHT</td></tr><tr><td>FIN</td><td>FINISH</td><td>PLATE</td><td></td><td>SITE</td><td></td></tr></table>		A/C	AIR CONDITIONING	FLR	FLOORING	PLYWD	PLYWOOD	ADI	ADJACENT	FOF	FACE OF FINISH	RRC	REINFORCED	AFF	ABOVE FINISHED FLOOR	FOS	FACE OF STUDS	RCC	CONCRETE	AL	ALUMINUM	FR	FIRE RATED	RD	ROOF DRAIN	ANOD	ANODIZED	FT	FOOT / FEET	REF	REFERENCE	APPROX	APPROXIMATELY	FTG	FOOTING	RM	ROOM	ARCH	ARCHITECTURAL	GA	GAUGE	RO	ROUGH OPENING			GALV	GALVANIZED			BD	BOARD	GL	GLASS	S	SOUTH	BLDG	BUILDING	GR	GRADE	SD	STORM DRAIN	BLK	BLOCK	GR	GRADE	SF	SQUARE FOOT	BOT	BOTTOM	CYP	CYPSUM	SHT	SHEET (ING)	BTU	BRITISH THERMAL UNIT	HB	HOSE BIB	SHT	SHEATHING			HDWR	HARDWARE	SIM	SIMILAR	CEM	CEMENT	HORIZ	HORIZONTAL	SPEC(S)	SPECIFICATIONS	CER	CERAMIC	HW	HOT WATER	SSL	STAINLESS STEEL	CJ	CONTROL JOINT	HT	HEIGHT	STD	STANDARD	CLG	CEILING	HP	HORSEPOWER	STL	STEEL	CLR	CLEAR					CONC	CONCRETE	INSUL	INSULATION	TEMP	THERMOSTAT	CONT	CONTINUOUS	INT	INTERIOR	TOS	TOP OF SLAB	CTR	CENTER	M	MAXIMUM	TOP	TYPICAL			MAX	MAXIMUM	UON	UNLESS OTHERWISE	DBL	DOUBLE	MECH	MECHANICAL	NOTED		DEMO	DEMOLITION	MFR	MANUFACTURER			DIA	DIAMETER	MIN	MINIMUM			DIM	DIMENSION	MISC	MISCELLANEOUS			DN	DOWN	MTD	MOUNTED	VERT	VERTICAL	DOOR	DOOR			VF	VERIFY IN FIELD	DWG	DRAWING					DS	DOWN SPOUT	N	NORTH			E	EAST	(N)	NEW	W/O	WITH	(E)	ELECTRICAL	N/A	NOT APPLICABLE	W/O	WITHOUT	EXT	EXTERNAL	NTS	NOT TO SCALE	WC	WATER CLOSET	EQ	EQUAL			WO	WOOD	EXC	EXTERIOR	OC	ON CENTER	WH	WATER HEATER	F	FLOOR	OPP	OPPOSITE	W.A.	WHERE OCCURS	FDN	FLOOR DRAIN	PEEP	PERPENDICULAR	WR	WATER RESISTANT	FIN	FOUNDATION	PL	PROPERTY LINE OR	WT	WEIGHT	FIN	FINISH	PLATE		SITE	
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## 515 NEW RESIDENCE AND ADU

515 BAY RD  
MENLO PARK, CA 94025

APN: 062 051 170

PROJECT OWNERS:  
XIAOMING ZHANG

ADDRESS:  
515 BAY RD  
MENLO PARK, CA 94025

EMAIL:  
MING@LEMONFALL.COM

PHONE:  
408, 222, 8008.

DESIGN REVIEW 04-11-2025

Rev. Date Issue

Project No: 2024-16

Scale: NA

COVER PAGE

A0.1



LOGIC HOME  
DEVELOPMENT INC.  
DESIGN | CONSTRUCTION

address, 274 Redwood Shores Pkwy  
STE 310  
Redwood City CA 94065  
phone, 650 , 797 , 3999  
email, logichomeinc@gmail.com

515 NEW RESIDENCE  
AND ADU

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DESIGN REVIEW 04-11-2025


Rev.	Date	Issue
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Project No:	2024-16
Scale:	NA

RENDERING

515 NEW RESIDENCE  
AND ADU

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515 BAY RD  
MENLO PARK, CA 94025

EMAIL:  
MING@LEMONFALL.COM  
PHONE:  
408, 222, 8008.

AREA CACULATION

LABEL	DIMENSIONS	AREA	NOTE
A	18' 0" x 33' 9"	607.5 SQFT	
B	2' 0" x 9' 5 1/2"	16.9 SQFT	
C	31' 3" x 18' 4 1/2"	574.2 SQFT	
D	9' 2 1/2" x 7' 1 1/2"	65.6 SQFT	
E	8' 0" x 5' 0"	40.0 SQFT	
1ST FLOOR		1306.2 SQFT	
J	17' 10 1/2" x 33' 9"	603.3 SQFT	
K	7' 0" x 6' 1 1/2"	42.9 SQFT	
L	32' 3" x 18' 4 1/2"	592.6 SQFT	
2ND FLOOR		1236.8 SQFT	
TOTAL CONDITIONED AREA		2545 SQFT	
GARAGE			
G1	8' 0" x 13' 4 1/2"	107.0 SQFT	
G2	12' 6" x 11' 0"	137.5 SQFT	
TOTAL GARAGE AREA		245 SQFT	
ADU			
H	33' 0 1/2" x 13' 6"	446 SQFT	
TOTAL GROSS FLOOR AREA		3236 SQFT	
FRONT PORCH			
F	5' 0" x 7' 1 1/2"	36 SQFT	
COVERGE-BUILDING IN TOTAL		1587 SQFT	
LOT SIZE		6249 SQFT	
LOT COVERAGE		25.4%	

AREA CALCULATION-SUMMARY 02

Scale: 1/4"=1'-0"

A0.3



topographic  
land surveying

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Fax: (650) 831-1235  
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REVISIONS

NO.	DATE	DESCRIPTION
1	3/19/25	

DATE 12/20/23

SCALE 1"=10'

DRAWN MN

JOB NO. 9-1706

DWG. 9-1706/00

SHEET 1

1 SHEETS

### LEGEND:

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- WOOD FENCE
- EASEMENT
- CENTERLINE
- OVERHEAD UTILITIES
- EDGE OF PAVEMENT

- SPOT ELEVATIONS
- AC ASPHALT CONCRETE
- CONC CONCRETE
- EMB ELECTRIC METER BOX
- EP EDGE OF PAVEMENT
- FF FINISHED FLOOR
- FL FLOW LINE
- GM GAS METER
- PP POWER POLE
- P.U.E. PUBLIC UTILITY EASEMENT
- SSOD SANITARY SEWER CLEAN OUT
- WMB WATER METER BOX
- (R1) RECORD INFORMATION PER 45 LLS 66
- CONCRETE

- TRUNK & DRIPLINE
- NOTE: ACTUAL TREE TRUNK LOCATIONS ARE SHOWN. DRIPLINES SHOWN ARE ONLY APPROXIMATE. DRIPLINES IN AREAS OF PROPOSED CONSTRUCTION SHOULD BE FIELD VERIFIED.

### NOTES:

- OWNER(S): MING ZHANG
- PROPERTY LOCATION: 515 BAY ROAD, MENLO PARK, CA 94025, APN 062-051-170
- ACREAGE: 0.249 SQ.FT.(GROSS) 0.14 ACRES
- BENCHMARK: BENCHMARK PID#H1292 (ELEVATION = 22 FT.NAVD 88) PER NATIONAL GEODETIC SURVEY
- BASIS OF BEARINGS: THE BEARING OF SOUTH 29°17'56" EAST AS SHOWN HEREON FOR THE CENTERLINE OF BAY ROAD PER 17 MAPS 66, WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS SURVEY.
- IMPERVIOUS SURFACES: CONC DRIVEWAY = 766 sq.ft. STONE WALK = 107 sq.ft. WOOD DECK = 382 sq.ft. GARAGE = 266 sq.ft. BUILDING FOOTPRINT = 968 sq.ft.
- USE: RESIDENTIAL
- ZONING: R1U
- FLOOD ZONE: X (AREA OF MINIMAL FLOOD HAZARD)

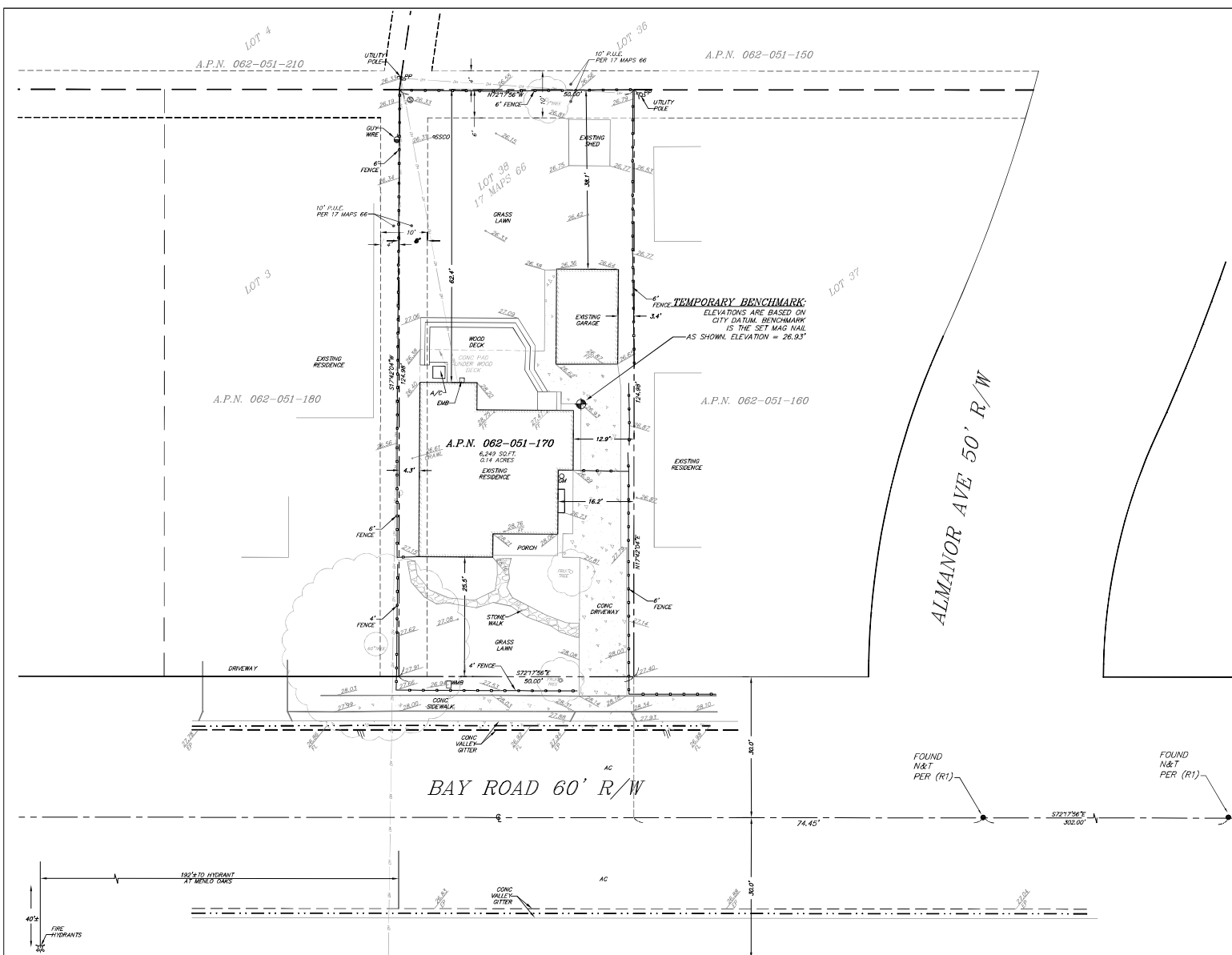
I HEREBY STATE THAT I AM A LICENSED LAND SURVEYOR OF THE STATE OF CALIFORNIA, THAT THIS MAP CORRECTLY REPRESENTS A SURVEY MADE UNDER MY SUPERVISION IN OCTOBER 2015, AND THAT THIS MAP DOES NOT INCLUDE EASEMENTS EXCEPT THOSE SPECIFICALLY DELINEATED HEREON.

I HEREBY CERTIFY THAT THIS PARCEL'S BOUNDARY WAS ESTABLISHED BY ME OR UNDER MY SUPERVISION AND IS BASED ON A FIELD SURVEY IN CONFORMANCE WITH THE LAND SURVEYORS' ACT. ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED AND ARE SUFFICIENT TO DEFINE THE SURVEY TO BE RETURNED.

IF UNDERGROUND UTILITIES, ZONE, SETBACK AND STREET WIDENING DATA ARE SHOWN HEREON, IT IS FOR INFORMATION ONLY, HAVING BEEN OBTAINED FROM AVAILABLE SOURCES NOT CONNECTED WITH THIS CORPORATION, THEREFORE, NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF SAID INFORMATION.



A1.1

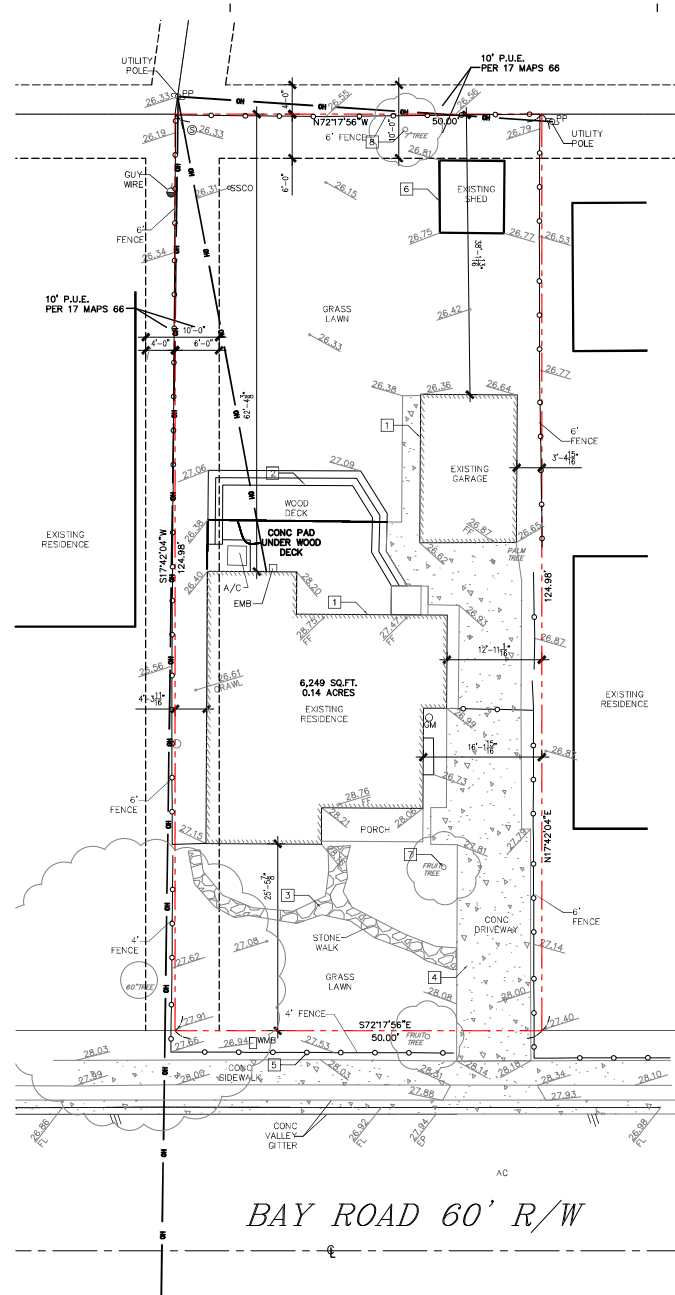


### BEFORE EXCAVATING CALL U.S.A.

OWNER AND/OR CONTRACTOR ARE RESPONSIBLE FOR LOCATION AND VERIFICATION OF ALL EXISTING UNDERGROUND UTILITIES. UNDERGROUND SERVICE ALERT (USA) SHOULD BE NOTIFIED FOR ASSISTANCE IN THIS MATTER AT (800) 227-2600, 48 HOURS PRIOR TO ANY CONSTRUCTION. THE USA AUTHORIZATION NUMBER SHALL BE KEPT AT THE JOB SITE. LOCATION AND CHARACTER OF ANY UTILITIES IF SHOWN HEREON ARE APPROXIMATE AND TAKEN FROM A COMBINATION OF SURFACE STRUCTURE OBSERVATION AND/OR THE RECORDS OF THE CONTROLLING AGENCY. HUMANN COMPANY DOES NOT ASSUME RESPONSIBILITY FOR THE LOCATION OF ANY EXISTING UTILITIES OR OTHER UNDERGROUND FEATURES SUCH AS VAULTS, TANKS, BASEMENTS, BURIED OBJECTS, ...ETC.

## KEYNOTES

- 1 DEMO (E) BUILDING
- 2 DEMO (E) DECK
- 3 DEMO (E) PAVER
- 4 DEMO (E) CONCRETE
- 5 DEMO (E) FENCE
- 6 DEMO (E) SHED
- 7 DEMO (E) TREE (CIRCUMFERENCE: 25")
- 8 DEMO (E) TREE (CIRCUMFERENCE: 21")



## LOGIC HOME DEVELOPMENT INC.

DESIGN | CONSTRUCTION

address: 274 Redwood Shores Pkwy  
STE 310  
Redwood City CA 94065  
phone: 650, 797, 3999  
email: logichomeinc@gmail.com

## 515 NEW RESIDENCE AND ADU

515 BAY RD  
MENLO PARK, CA 94025  
APN: 062 051 170

PROJECT OWNERS:  
XIAOMING ZHANG

ADDRESS:  
515 BAY RD  
MENLO PARK, CA 94025

EMAIL:  
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PHONE:  
408, 222, 8008.

DESIGN REVIEW 04-11-2025

Rev. Date Issue

Project No: 2024-16  
Scale: 1/8"=1'-0"

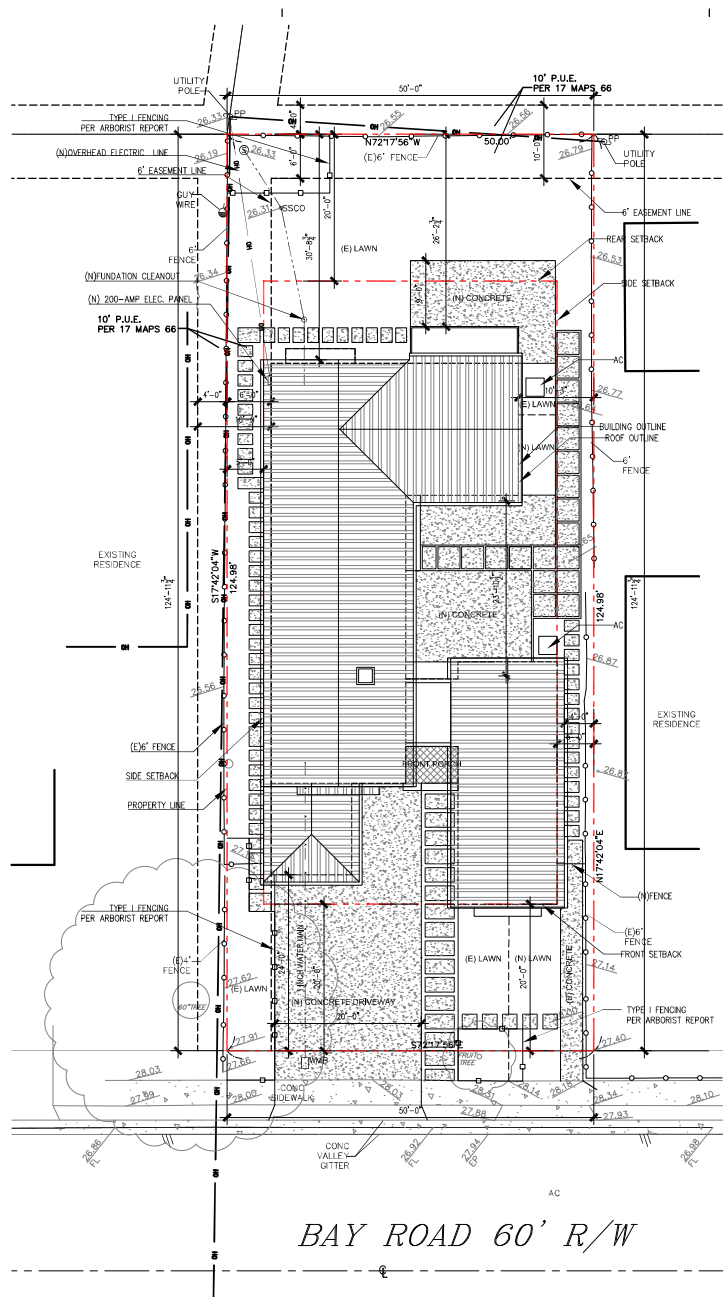
DEMO SITE PLAN

DEMO SITE PLAN 01  
Scale: 1/8"=1'-0"

A1.2



1. CONTRACTOR SHALL OBTAIN ALL PERMITS NECESSARY TO COMPLETE PROPOSED WORK PER CITY REQUIREMENTS.
2. CONTRACTOR SHALL VERIFY ALL GRADES ON SITE, PROPERTY LINES, EASEMENTS, SETBACKS, UTILITIES, SITE IMPROVEMENTS, AND EXISTING DRAINAGE AND SURROUNDING PROPERTY BEFORE CONSTRUCTION BEGINS.
3. WORK WITHIN THE RIGHT OF WAY IS SUBJECT TO INSPECTION AND APPROVAL BY THE CITY. CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE PUBLIC WORKS DEPARTMENT PRIOR TO WORK WITHIN THE RIGHT OF WAY. ANY WORK THAT MAY INCLUDE LANDSCAPING IN THE RIGHT OF WAY, NEW CURB DRAINS, AND PARKING STRIP.
4. FINISH GRADES SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURE AND SHALL BE PROPERLY INSTALLED TO PREVENT ANY STANDING WATER. ALL HARDCAPE SHALL HAVE A MINIMUM GRADE OF 1% SLOPE AWAY FROM STRUCTURE. OTHERWISE, JUTE MESH EROSION CONTROL NETTING SHALL BE USED ON ALL 3:1 OR GREATER SLOPES & STAKED APPROPRIATELY.
5. CONTRACTOR SHALL PROVIDE PROTECTION FOR EXISTING TREES BY INSTALLING TEMPORARY FENCING AROUND THE TREES AS CLOSE AS POSSIBLE TO THE TRUNK OF THE TREE. IN THE EVENT THAT THE TREE ROOTS OVER 6" ARE DISCOVERED, THE DESIGNER IS RESPONSIBLE FOR LANDSCAPE DESIGN.
6. CONTRACTOR SHALL REFER TO ARCHITECTURAL, CIVIL, & OTHER ENGINEERING DRAWINGS & DOCUMENTS FOR WORK IN RELEVANT AREAS.
7. THE LANDSCAPE DESIGNER MAY MAKE SITE OBSERVATION DURING CONSTRUCTION BUT SHALL NOT BE UTILIZED TO SUPERVISE CONSTRUCTION ON-SITE.
8. THIS PLAN IS NOT A SURVEY OR CONSTRUCTION DOCUMENT. IT IS A CONCEPTUAL IN NATURE AND SHOULD BE USED ONLY FOR PLANNING PURPOSE.



SITE PLAN

### A1.3

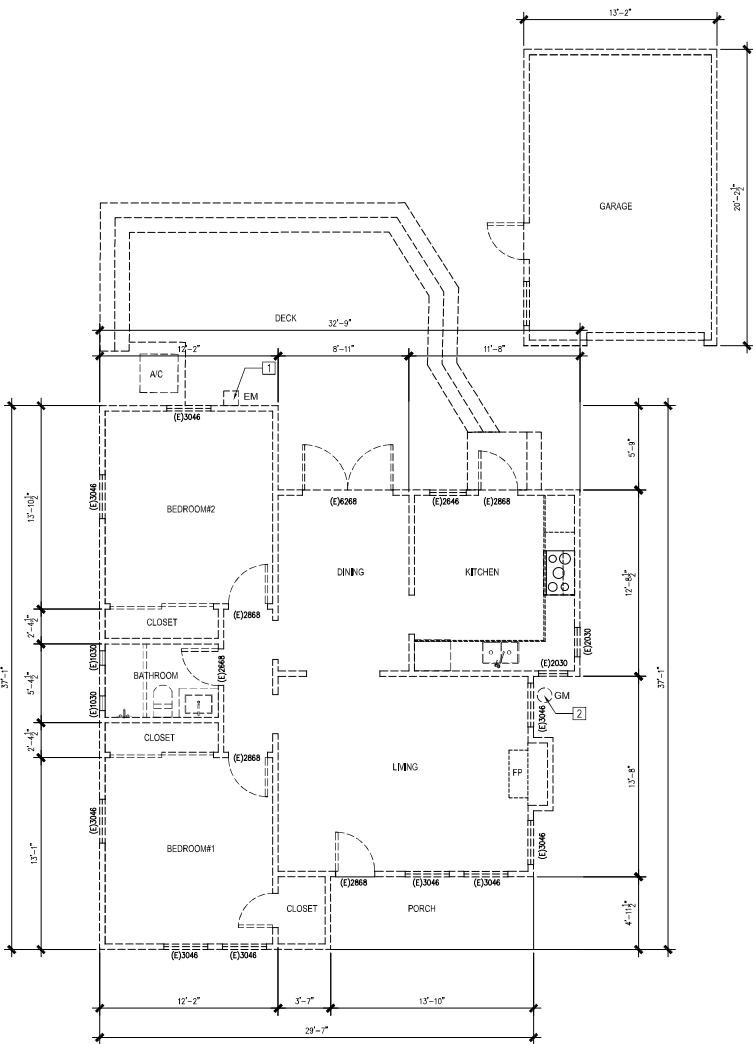


GRAPHIC LEGEND

	(E) WALL TO REMAIN		(E) DOOR TO REMAIN		(E) WALL
	(E) WALL TO BE REMOVED		(E) DOOR TO BE REMOVED		(N) WALL PER GENERAL NOTES
	(E) WINDOW TO REMAIN				(N) WINDOW PER GENERAL NOTES
	(E) WINDOW TO BE REMOVED				

KEYNOTES

- 1 (E) 100 AMP. ELEC. PANEL  
2 (E) GAS METER



EXISTING FLOOR PLAN 01

SHEET NOTES

- BUILDING**  
PROVIDE LISTED 1 3/8" 20-MINUTE FIRE RESISTIVE DOOR AND FRAME ASSEMBLY WITH A SELF-CLOSING SELF-LATCHING DEVICE ONE HALF OF THE COMMON WALL BETWEEN THE GARAGE SHALL BE OPEN AND UNOBSTRUCTED (CBC 715.4 & TABLE 715.4)
- MECHANICAL**  
PROVIDE APPROVED THE BACKER MATERIALS AND GYPSUM BOARD IN BATHROOMS:  
A. NON-ABSORBENT FINISH MATERIAL MINIMUM 7/8" ABOVE THE STANDING SURFACE OF TUBS AND SHOWERS  
B. CEMENT FIBER-CEMENT OR GLASS-MAT OVER BACKERS FOR ADHESIVE APPLICATION OF FINISH MATERIALS OF OTHER NONABSORBENT SHEET MATERIALS OR PAINT ABOVE 2 1/2" INSTALLED PER MANUFACTURER'S INSTRUCTIONS WITHIN SHOWER STALLS AND BATH TUB SURROUNDS  
C. WATER-RESISTANT GYP BOARD SHALL NOT BE USED WITHIN SHOWER STALLS. BATH TUB COMPARTMENTS OR OTHER WET OR HUMID AREAS OR ON CEILINGS WITH JOISTS GREATER THAN 12 O.C.  
D. WATER-RESISTANT GYP BACKERS FOR TILE OR PAINT PER MANUFACTURER'S INSTRUCTIONS AT WATER CLOSET COMPARTMENTS  
E. REGULAR GYP BOARD FOR TILE OR PAINT ON WALLS AND CEILINGS OTHER ABOVE

- BEDROOM WINDOW FOR EMERGENCY ESCAPE AND RESCUE** SHALL HAVE A FINISHED DOOR TO WINDOW OPENING HEIGHT OF NOT MORE THAN 44" WINDOW SHALL HAVE 20" MIN BY 24" CLEAR OPENING AND OPENING AREA OF 5.7 SQ
- PROVIDE 5/8" TYPE-X GYPSUM BOARD UNDER THE INTERIOR STAIRWAY**
- PROVIDE 5/8" TYPE-X GYPSUM BOARD AND R-19 INSULATION ON GARAGE CEILING**

- BATHROOM VENTILATION FAN** WITH MINIMUM 50 CFM AND MAXIMUM 1 SCF SOUND RATING BATH FANS SHALL BE SWITCHED SEPARATELY FROM ANY LIGHTING SYSTEM THE VENT SHALL BE 3 FEET AWAY FROM THE PROPERTY LINE AND 3 FEET AWAY FROM ANY OPENING INTO THE BUILDING
- PROVIDE CLOTHES DRYER MOISTURE EXHAUST DUCT** MIN 4" TO THE OUTSIDE AND EQUIP WITH BACK-DRAFT DAMPER EXHAUST DUCT LENGTH IS LIMITED TO 14FT WITH 2 ELBOWS OR PROVIDE IN-LINE BOOSTER FAN 5' MORE THAN 14" 3' AWAY FROM PROP LINE & OPENINGS
- PROVIDE DOLLERED DOOR WHERE A CLOSET IS DESIGNED FOR THE INSTALLATION OF DOMESTIC CLOTHES DRYER AN OPENING OF NOT LESS THAN 20" BY 20" FOR FRESH AIR SHALL BE PROVIDED IN THE DOOR OR BY OTHER APPROVED MEANS (CMC 504.4.1)**
- RAISE WATER HEATER TO 18" ABOVE THE FLOOR STRAP WATER HEATER WITHIN THE UPPER 1/2 AND LOWER 1/2 OF BOTH VERTICAL DIMENSION STRAP AT THE LOWER POINT SHALL BE INSTALLED 4" ABOVE WATER HEATER CONTROLS WATER HEATER SHALL BE WRAP WITH R-12 INSULATION**

- PLUMBING**  
PROVIDE SAFETY GLASS DOOR FOR SHOWER STALL DOOR MUST HAVE MIN. 20" IN FRONT OF THE SET NEW TOILET MUST BE WATER CONSERVING 1.28 GAL
- PROVIDE A 30" SIDE TO SIDE CLR AND A MIN. 24" IN FRONT OF THE SET NEW TOILET MUST BE WATER CONSERVING 1.28 GAL**
- NO PLASTIC PLUMBING PIPE ALLOWED FOR DOMESTIC WATER SUPPLY AND SANITARY WASTE SYSTEM**
- SHOWER & TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE-BALANCE THERMOSTATIC OR COMBINATION WITH MAX. MIXING TEMPERATURE OF 120 DEGREES FOR CFC 418**
- CONTROL VALVES AND SHOWERHEAD SHALL BE LOCATED ON THE SIDE WALL OF SHOWER COMPARTMENTS OR OTHER WISE ARRANGED SO THAT THE SHOWERHEAD DOES NOT DISCHARGE DIRECTLY AT THE ENTRANCE TO THE COMPARTMENT BUT THAT THE WATER CAN ADJUST THE VALVES PRIOR TO STEPPING INTO THE SHOWER SPRAY PER CFC 408.9**

- ELECTRICAL**  
AT LEAST ONE 20-AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY BATHROOM / POWDER / LAUNDRY RECEPTACLE OUTLETS
- ALL BATHROOM LIGHTS NEAR SHOWERS & BATHTUBS TO BE VAPOR PROOF RATED**
- LIGHT FIXTURES IN LIVING ROOM, DINING ROOM, AND BEDROOM TO BE HIGH EFFICIENCY OR TO BE CONTROLLED BY DIMMER SWITCHES OR OCCUPANCY SENSORS**

- RESIDENTIAL**  
AT LEAST ONE 20-AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY BATHROOM / POWDER / LAUNDRY RECEPTACLE OUTLETS MEMBRANE PENETRATION SHALL COMPLY WITH SECTION R302.4.1 WHERE WALLS ARE REQUIRED TO HAVE A FIRE-RESISTANCE RATING FIRE-RESISTANCE RATING WILL NOT BE REDUCED EXCEPT: 1. BY A HORIZONTAL DISTANCE OF NOT LESS THAN 24" WHERE THE WALL OR PARTITION IS CONSTRUCTED WITH INDIVIDUAL NONCOMMUNICATING STUD CAVITIES 2. BY PROTECTING BOTH BONES WITH LISTED PUTTY PADS 3. BY SOLID FIREBLOCKING IN ACCORDANCE WITH SECTION R302.11
- DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALL OR CEILING SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM 26 GAGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL NOT HAVE OPENINGS INTO GARAGE**

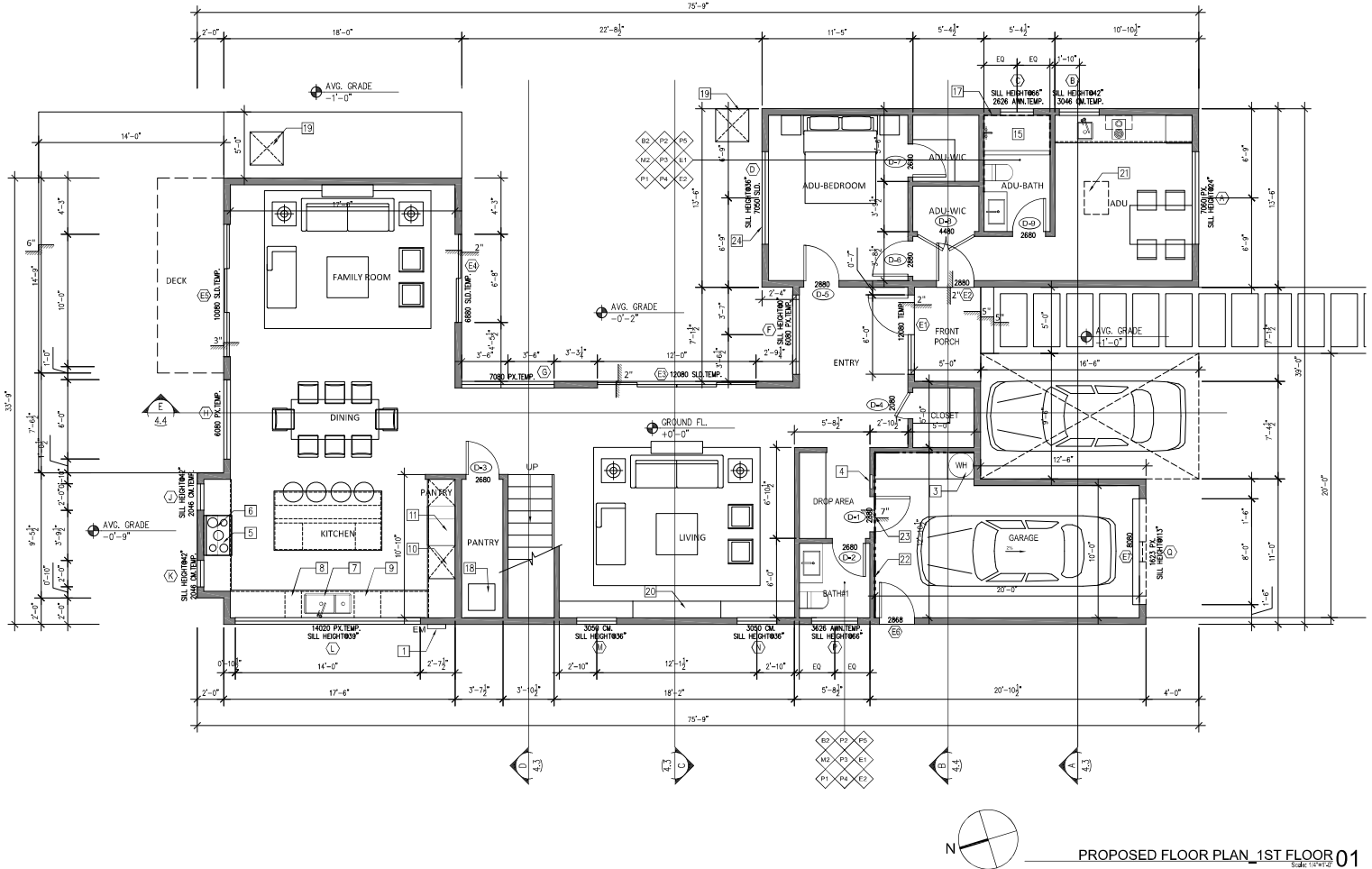
KEYNOTES

- (1) (N) 200 AMP, ELEC. PANEL  
(2) (N) GAS METER  
(3) (N) GAS WATER HEATER  
(4) (N) ELEC. SUBPANEL  
(5) (N) ELEC. COOKTOP  
(6) (N) 400-CFM (MIN.) VENTED RANGE FAN HOOD TO BE WATER-RESISTANT BY THE MANUFACTURER, CERTIFIED MODEL AIR FLOW, AND SOUND RATING PER CENIC16A2016 RANGE HOOD TERMINATION LOCATED ON ROOF  
(7) (N) DISPOSER UNDER SINK  
(8) (N) TRASH CAN  
(9) (N) DISHWASHER  
(10) (N) ELEC. MICROWAVE AND BUILT-IN OVEN  
(11) (N) REFRIGERATOR  
(12) (N) FURNACE IN ATTIC:  
- A 32"X30" WORKING SPACE SHALL BE PROVIDED IN FRONT OF THE SERVICE SIDE OF THE FAULT  
- A 24" WIDE WALKING SURFACE SHALL BE PROVIDED FROM THE ACCESS OPENING TO THE FAULT  
- A PERMANENT 120VOLT RECEPTACLE OUTLET AND A LIGHTING FIXTURE SHALL BE INSTALLED NEAR THE FURNACE, THE SWITCH CONTROLLING THE LIGHTING FIXTURE SHALL BE LOCATED AT THE ACCESS OPENING

- (13) (N) GAS DRYER  
(14) (N) WASHER  
(15) (N) SHOWER  
(16) (N) TUB  
(17) (N) GRAB BAR, BLOCKINGS TO BE INSTALLED IN WALLS FOR FUTURE GRAB BARS AT 34" FROM THE FLOOR, THESE BLOCKINGS NEEDS TO BE PROVIDED AROUND THE ENTIRE SHOWER ENCLOSURE AND BEHIND THE WATER CLOSET  
(18) (N) CROWN SPACE ACCESS, 18x24 MIN.  
(19) (N) AC CONDENSOR  
(20) (N) ELEC. FIREPLACE  
(21) (N) ATTIC ACCESS, 22x30 MIN.  
(22) PROVIDE 5/8" GYPSUM BOARD SEPARATION ON THE GARAGE SIDE ONLY WHERE IT ADJOINS THE DWELLING  
(23) (N) DOOR TO GARAGE SHALL BE A SELF-CLOSING AND SELF-LATCHING 20-MINUTE FIRE RATED DOOR  
(24) (N) WINDOW EGRESS, OPENING MORE THAN 20 INCH IN WIDTH, AND 24 INCH IN HEIGHT, CLEAR AREA GREATER THAN 5.7 SQFT, MAX WINDOW SILL HEIGHT OF 44 INCHES ABOVE THE FLOOR  
(25) (N) SKYLIGHTS: VELUX FCM2222

GRAPHIC LEGEND

- (E) WALL TO REMAIN  
(E) WALL TO REMOVE  
(E) WINDOWS TO REMAIN  
(E) WINDOWS TO BE REMOVED  
(E) DOOR TO REMAIN  
(E) DOOR TO BE REMOVED  
(E) WALL  
(N) 2X4 WALL  
(N) WINDOW/SLIDING DOOR  
(N) WINDOW  
(N) DOOR



PROPOSED FLOOR PLAN\_1ST FLOOR 01

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PROPOSED FLOOR PLAN\_1ST FLOOR

A2.2

SHEET NOTES

**BUILDING**  
PROVIDE LISTED 1 3/8" 20-MINUTE FIRE RESISTIVE DOOR AND FRAME ASSEMBLY WITH A SELF-CLOSING SELF-LATCHING DEVICE ONE-HALF OF THE COMMON WALL BETWEEN THE GARAGE SHALL BE OPEN AND UNOBSTRUCTED (CBC 715.4 & TABLE 715.4)

**BATHROOMS**  
A. PROVIDE APPROVED TILE BACKER MATERIALS AND GYPSUM BOARD IN BATHROOMS.  
B. NON-ABSORBENT FINISH MATERIAL MINIMUM 7" ABOVE THE STANDING SURFACE OF TUBS AND SHOWERS.  
C. CEMENT FIBER-CEMENT OR GLASS-MAT OVER BACKERS FOR ADHESIVE APPLICATION OF FINISH MATERIALS OF OTHER NONABSORBENT SHEET MATERIALS OR PAINT ABOVE 2 1/2" MIN. PER MANUFACTURER'S INSTRUCTIONS WITHIN SHOWER STALLS AND BATH TUB SURROUNDS.  
D. WATER-RESISTANT GYP BOARD SHALL NOT BE USED WITHIN SHOWER STALLS, BATH TUB COMPARTMENTS OR OTHER VET OR HUMID AREAS OR ON CEILINGS WITH JOISTS GREATER THAN 12 O.C.  
E. WATER-RESISTANT GYP BACKERS FOR TILE OR PAINT PER MANUFACTURER'S INSTRUCTIONS AT WATER CLOSET COMPARTMENTS.  
F. REGULAR GYP BOARD FOR TILE OR PAINT ON WALLS AND CEILINGS OTHER ABOVE.

**BEDROOM WINDOW FOR EMERGENCY ESCAPE AND RESCUE** SHALL HAVE A FINISHED FLOOR TO WINDOW OPENING HEIGHT OF NOT MORE THAN 44" WINDOW SHALL HAVE 20" MIN BY 24" CLEAR OPENING AND OPENING AREA OF 5.7 SQ.

**PROVIDE 5/8" TYPE-X GYPSUM BOARD UNDER THE INTERIOR STAIRWAY**  
**PROVIDE 5/8" TYPE-X GYPSUM BOARD AND R-19 INSULATION ON GARAGE CEILING**

**MECHANICAL**  
PROVIDE MIN. 26 GA. GALV. SHEET METAL HEATING SUPPLY DUCTS AT GARAGE BOTTOM OF HEATING DUCT OR FURNACE SHALL NOT BE LOWER THAN 7" AND SHALL HAVE NO OPENINGS INTO THE GARAGE.

**BATHROOM VENTILATION FAN WITH MINIMUM 50 CFM AND MAXIMUM 1/2" SOUNG RATING** BATH FANS SHALL BE SWITCHED SEPARATELY FROM ANY LIGHTING SYSTEM THE VENT SHALL BE 3 FEET AWAY FROM THE PROPERTY LINE AND 3 FEET AWAY FROM ANY OPENING INTO THE BUILDING.

**PROVIDE CLOTHES DRYER MOISTURE EXHAUST DUCT MIN. 4" TO THE OUTSIDE AND EQUIP WITH BACK-DRAFT DAMPER EXHAUST DUCT LENGTH IS LIMITED TO 14FT WITH 2 ELBOWS OR PROVIDE IN-LINE BOOSTER FAN 5' MORE THAN 14' 3" AWAY FROM PROP LINE & OPENINGS**

**PROVIDE LOUVERED DOOR WHERE A CLOSET IS DESIGNED** CLOSET DOOR SHALL BE DOMESTIC CLOTHES DRYER AN OPENING OF NOT LESS THAN 4" ABOVE WATER HEATER SHALL BE PROVIDED IN THE DOOR OR BY OTHER APPROVED MEANS (CMC 504.1)

**RAISE WATER HEATER TO 18" ABOVE THE FLOOR STRAP WATER HEATER WITHIN THE UPPER 1/2 AND LOWER 1/2 OF THE CLOSET DIMENSION STRAP AT THE LOWER POINT SHALL BE INSTALLED 4" ABOVE WATER HEATER CONTROLS WATER HEATER SHALL BE WRAP WITH R-12 INSULATION**

**PLUMBING**  
PROVIDE SAFETY GLASS DOOR FOR SHOWER STALL DOOR MUST HAVE MIN. 20" UNOBSTRUCTED OPENING FOR EGRESS AND MUST OPEN OUTWARDS

**PROVIDE A 30" SIDE TO SIDE CLR AND A MIN. 24" IN FRONT OF THE TOILET NEW TOILET MUST BE WATER CONSERVING 1.28 GAL**

**NO PLASTIC PLUMBING PIPE ALLOWED FOR DOMESTIC WATER SUPPLY AND SANITARY WASTE SYSTEM**

**SHOWER & TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE THERMOSTATIC OR COMBINATION WITH MAX. MIXING TEMPERATURE OF 120 DEGREES PER CPC 418**

**CONTROL VALVES AND SHOWERHEAD SHALL BE LOCATED ON THE SIDE WALL OF SHOWER COMPARTMENTS OR OTHER WISE ARRANGED SO THAT THE SHOWERHEAD DOES NOT DISCHARGE DIRECTLY AT THE ENTRANCE TO THE COMPARTMENT SO THAT THE BATHER CAN ADJUST THE VALVES PRIOR TO STEPPING INTO THE SHOWER SPRAY PER CPC 408.0**

**ELECTRICAL**  
AT LEAST ONE 20-AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY BATHROOM / POWDER / LAUNDRY RECEPTACLE OUTLETS

**ALL BATHROOM LIGHTS NEAR SHOWERS & BATHTUBS TO BE VAPOR PROOF RATED**

**LIGHT FIXTURES IN LIVING ROOM, DINING ROOM, AND BEDROOM TO BE HIGH EFFICIENCY OR TO BE CONTROLLED BY DIMMER SWITCHES OR OCCUPANCY SENSORS**

**RESIDENTIAL**  
AT LEAST ONE 20-AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY BATHROOM / POWDER / LAUNDRY RECEPTACLE OUTLETS MEMBRANE PENETRATION SHALL COMPLY WITH SECTION R302.4.1 WHERE WALLS ARE REQUIRED TO HAVE A FIRE RESISTANCE RATING

**DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALL OR CEILING TO SERVICE THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM 26 GAGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL NOT HAVE OPENINGS INTO GARAGE**

KEYNOTES

1 (N) 200 AMP, ELEC. PANEL

2 (N) GAS METER

3 (N) GAS WATER HEATER

4 (N) ELEC. SUBPANEL

5 (N) ELEC. COOKTOP

6 (N) 400-CFM (MIN.) VENTED RANGE FAN HOOD TO BE RATED AND LISTED BY NVF FOR MANUFACTURER CERTIFIED MODEL AIR FLOW AND SOUND RATING PER CEN1845(C)16 RANGE HOOD TERMINATION LOCATED ON ROOF

7 (N) DISPOSER UNDER SINK

8 (N) TRASH CAN

9 (N) DISHWASHER

10 (N) ELEC. MICROWAVE AND BUILT-IN OVEN

11 (N) REFRIGERATOR

12 (N) FURNACE IN ATTIC

13 (N) GAS DRYER

14 (N) WASHER

15 (N) SHOWER

16 (N) TUB

17 (N) GRAB BAR, BLOCKINGS TO BE INSTALLED IN WALLS FOR FUTURE GRAB BARS AT 34" FROM THE FLOOR, THESE BLOCKINGS NEEDS TO BE PROVIDED AROUND THE ENTIRE SHOWER ENCLOSURE AND BEHIND THE WATER CLOSET

18 (N) CRAWL SPACE ACCESS, 18x24 MIN.

19 (N) AC CONDENSOR

20 (N) ELEC. FIREPLACE

21 (N) ATTIC ACCESS, 22x30 MIN.

22 PROVIDE J.P. GYPSUM BOARD SEPARATION ON THE GARAGE SIDE ONLY WHERE IT ADJACES THE DWELLING

23 (N) DOOR TO GARAGE SHALL BE A SELF-CLOSING AND SELF-LATCHING 20-MINUTE FIRE RATED DOOR

24 (N) WINDOW EGRESS, OPENING MORE THAN 20 INCH IN WIDTH AND 24 INCH IN HEIGHT, CLEAR AREA GREATER THAN 5.7 SQFT, MAX WINDOW SILL HEIGHT OF 44 INCHES ABOVE THE FLOOR

25 (N) SKYLIGHTS: VELUX FCM2222

26 (N) 200 AMP, ELEC. PANEL

27 (N) GAS METER

28 (N) GAS WATER HEATER

29 (N) ELEC. SUBPANEL

30 (N) ELEC. COOKTOP

31 (N) 400-CFM (MIN.) VENTED RANGE FAN HOOD TO BE RATED AND LISTED BY NVF FOR MANUFACTURER CERTIFIED MODEL AIR FLOW AND SOUND RATING PER CEN1845(C)16 RANGE HOOD TERMINATION LOCATED ON ROOF

32 (N) DISPOSER UNDER SINK

33 (N) TRASH CAN

34 (N) DISHWASHER

35 (N) ELEC. MICROWAVE AND BUILT-IN OVEN

36 (N) REFRIGERATOR

37 (N) FURNACE IN ATTIC

38 (N) GAS DRYER

39 (N) WASHER

40 (N) SHOWER

41 (N) TUB

42 (N) GRAB BAR, BLOCKINGS TO BE INSTALLED IN WALLS FOR FUTURE GRAB BARS AT 34" FROM THE FLOOR, THESE BLOCKINGS NEEDS TO BE PROVIDED AROUND THE ENTIRE SHOWER ENCLOSURE AND BEHIND THE WATER CLOSET

43 (N) CRAWL SPACE ACCESS, 18x24 MIN.

44 (N) AC CONDENSOR

45 (N) ELEC. FIREPLACE

46 (N) ATTIC ACCESS, 22x30 MIN.

47 PROVIDE J.P. GYPSUM BOARD SEPARATION ON THE GARAGE SIDE ONLY WHERE IT ADJACES THE DWELLING

48 (N) DOOR TO GARAGE SHALL BE A SELF-CLOSING AND SELF-LATCHING 20-MINUTE FIRE RATED DOOR

49 (N) WINDOW EGRESS, OPENING MORE THAN 20 INCH IN WIDTH AND 24 INCH IN HEIGHT, CLEAR AREA GREATER THAN 5.7 SQFT, MAX WINDOW SILL HEIGHT OF 44 INCHES ABOVE THE FLOOR

50 (N) SKYLIGHTS: VELUX FCM2222

51 (N) 200 AMP, ELEC. PANEL

52 (N) GAS METER

53 (N) GAS WATER HEATER

54 (N) ELEC. SUBPANEL

55 (N) ELEC. COOKTOP

56 (N) 400-CFM (MIN.) VENTED RANGE FAN HOOD TO BE RATED AND LISTED BY NVF FOR MANUFACTURER CERTIFIED MODEL AIR FLOW AND SOUND RATING PER CEN1845(C)16 RANGE HOOD TERMINATION LOCATED ON ROOF

57 (N) DISPOSER UNDER SINK

58 (N) TRASH CAN

59 (N) DISHWASHER

60 (N) ELEC. MICROWAVE AND BUILT-IN OVEN

61 (N) REFRIGERATOR

62 (N) FURNACE IN ATTIC

63 (N) GAS DRYER

64 (N) WASHER

65 (N) SHOWER

66 (N) TUB

67 (N) GRAB BAR, BLOCKINGS TO BE INSTALLED IN WALLS FOR FUTURE GRAB BARS AT 34" FROM THE FLOOR, THESE BLOCKINGS NEEDS TO BE PROVIDED AROUND THE ENTIRE SHOWER ENCLOSURE AND BEHIND THE WATER CLOSET

68 (N) CRAWL SPACE ACCESS, 18x24 MIN.

69 (N) AC CONDENSOR

70 (N) ELEC. FIREPLACE

71 (N) ATTIC ACCESS, 22x30 MIN.

72 PROVIDE J.P. GYPSUM BOARD SEPARATION ON THE GARAGE SIDE ONLY WHERE IT ADJACES THE DWELLING

73 (N) DOOR TO GARAGE SHALL BE A SELF-CLOSING AND SELF-LATCHING 20-MINUTE FIRE RATED DOOR

74 (N) WINDOW EGRESS, OPENING MORE THAN 20 INCH IN WIDTH AND 24 INCH IN HEIGHT, CLEAR AREA GREATER THAN 5.7 SQFT, MAX WINDOW SILL HEIGHT OF 44 INCHES ABOVE THE FLOOR

75 (N) SKYLIGHTS: VELUX FCM2222

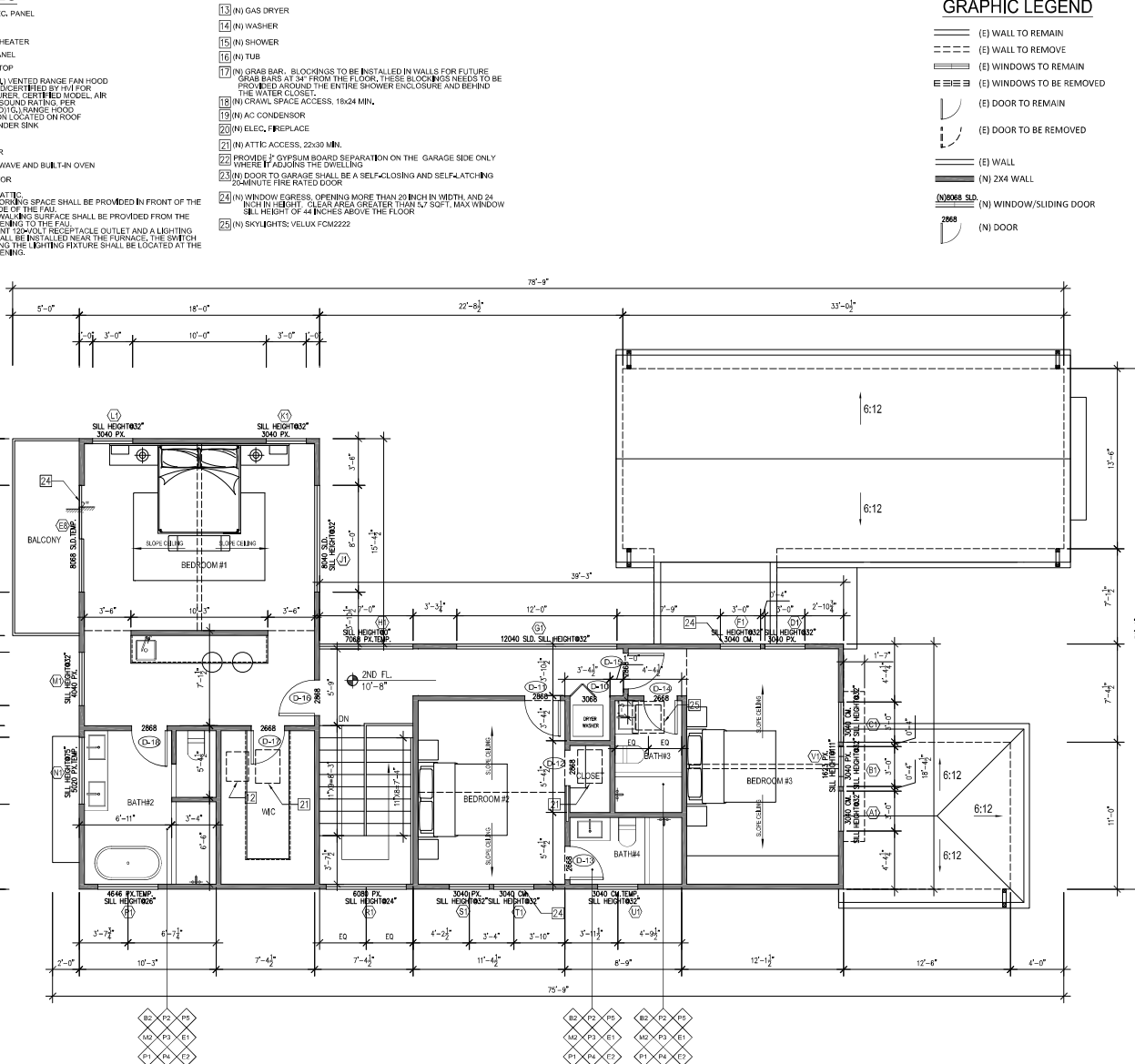
76 (N) 200 AMP, ELEC. PANEL

77 (N) GAS METER

78 (N) GAS WATER HEATER

79 (N) ELEC. SUBPANEL

80 (N) ELEC. COOKTOP



GRAPHIC LEGEND

- (E) WALL TO REMAIN
- (E) WALL TO REMOVE
- (E) WINDOWS TO REMAIN
- (E) WINDOWS TO BE REMOVED
- (E) DOOR TO REMAIN
- (E) DOOR TO BE REMOVED
- (E) WALL
- (N) 2X4 WALL
- (N) WINDOW/SLIDING DOOR
- (N) DOOR

LOGIC HOME  
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DESIGN | CONSTRUCTION

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AND ADU

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PROPOSED FLOOR PLAN  
2ND FLOOR

PROPOSED FLOOR PLAN\_2ND FLOOR 01

A2.3

ATTIC VENTILATION CALCS

ATTIC AREA -2F		640 SQFT
640/150	=	4.27
x 144	=	615 SQ. IN REQ.
UPPER VENTILATION REQ. (50%)		
(1) 18-IN X 24-IN LINEN RECTANGLE VINYL GABLE LOUVER VENTS @280 SQ.IN. VENT AREA EA.	=	308 SQ. IN
(3) "O-HAGIS" LOW-PROFILE COMPOSITION VENTS @72 SQ. IN. VENT AREA EA.	=	216 SQ. IN
LOWER VENTILATION REQ.		
(60) LIN.FT. OF EAVE BLOCKING AT THREE 2" DIA. HOLE PER EAVE BLOCK@4.41 SQ.IN./LIN.FT.	=	264 SQ. IN
(1) "O-HAGIS" LOW-PROFILE COMPOSITION VENTS @72 SQ. IN. VENT AREA EA.	=	72 SQ. IN
TOTAL VENTILATION PROVIDED		= 693 SQ. IN

ATTIC AREA -1F		446 SQFT
446/150	=	2.97
x 144	=	428 SQ. IN REQ.
UPPER VENTILATION REQ. (50%)		
(2) 18-IN X 24-IN LINEN RECTANGLE VINYL GABLE LOUVER VENTS @280 SQ.IN. VENT AREA EA.	=	214 SQ. IN
LOWER VENTILATION REQ.		
(45) LIN.FT. OF EAVE BLOCKING AT THREE 2" DIA. HOLE PER EAVE BLOCK@4.41 SQ.IN./LIN.FT.	=	216 SQ. IN
TOTAL VENTILATION PROVIDED		= 498 SQ. IN

KEYNOTES



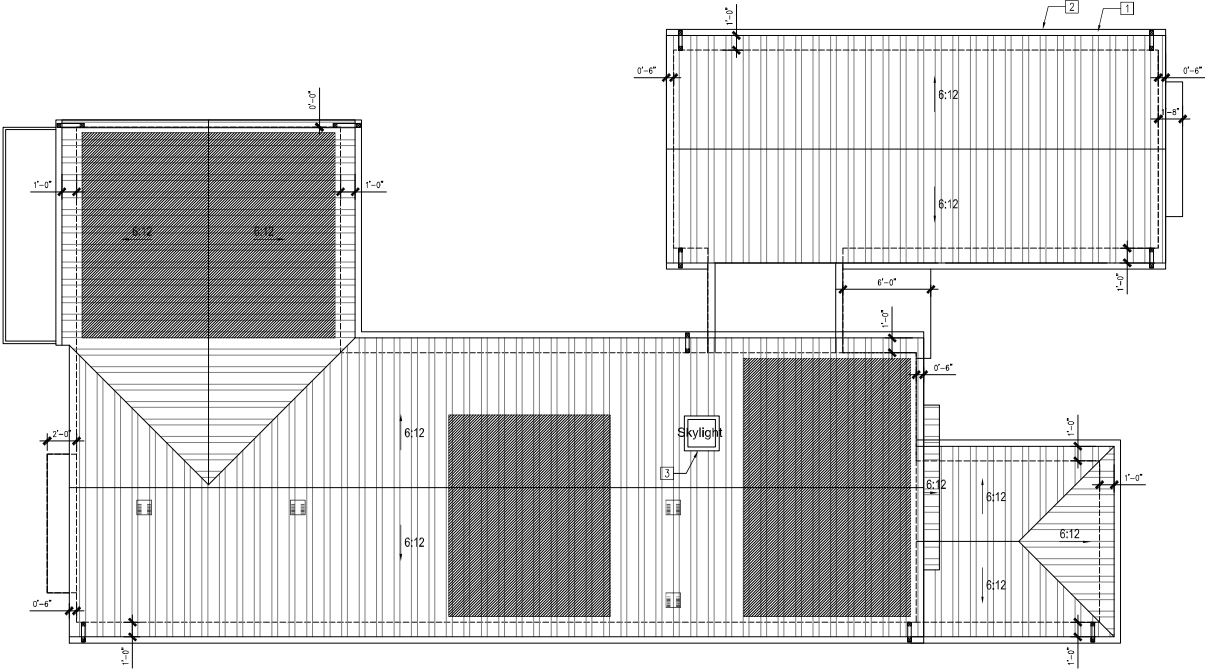
(IN) 30-YEAR CLASS A FIRE RESISTANT RATING SHINGLE ROOF. RADIANT BARRIER ROOF SHEATHING TO BE INSTALLED, PER ENERGY CODE COMPLIANCE DOCUMENTATION



VAULTED CEILING WITH IMPERMEABLE OPEN FOAM INSULATION, NO VENTILATION REQUIRED

KEYNOTES

- 1 (N) DOWNSPROUTS
- 2 (N) GUTTER
- 3 (N) SKYLIGHTS: VELUX FCM 2222



PROPOSED ROOF PLAN 01

Scale: 1/4"=1'-0"

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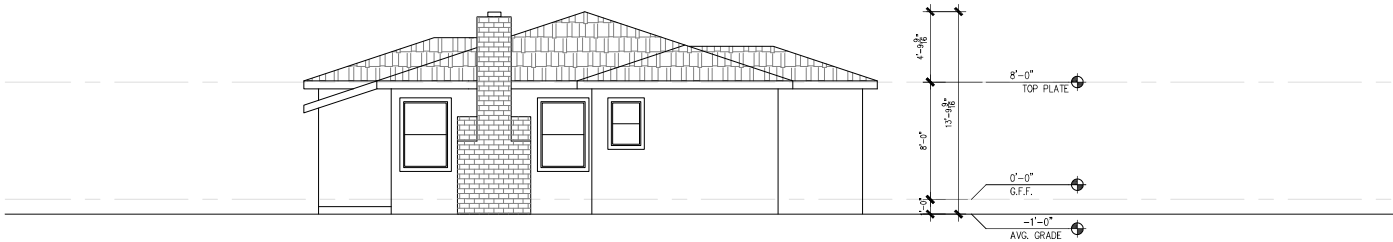
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EXISTING FRONT ELEVATION 01  
Scale: 1/4"=1'-0"



EXISTING RIGHT ELEVATION 02  
Scale: 1/4"=1'-0"

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EXISTING ELEVATIONS

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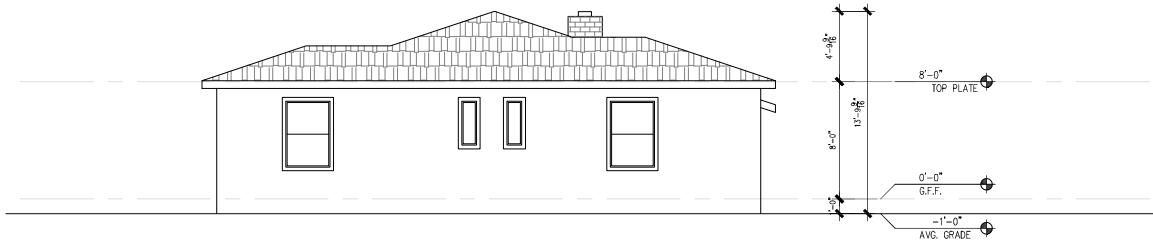
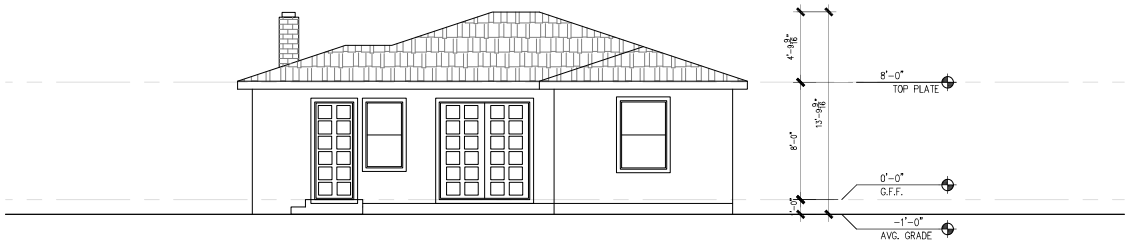
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EXISTING REAR ELEVATION01



EXISTING LEFT ELEVATION02

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EXISTING ELEVATIONS

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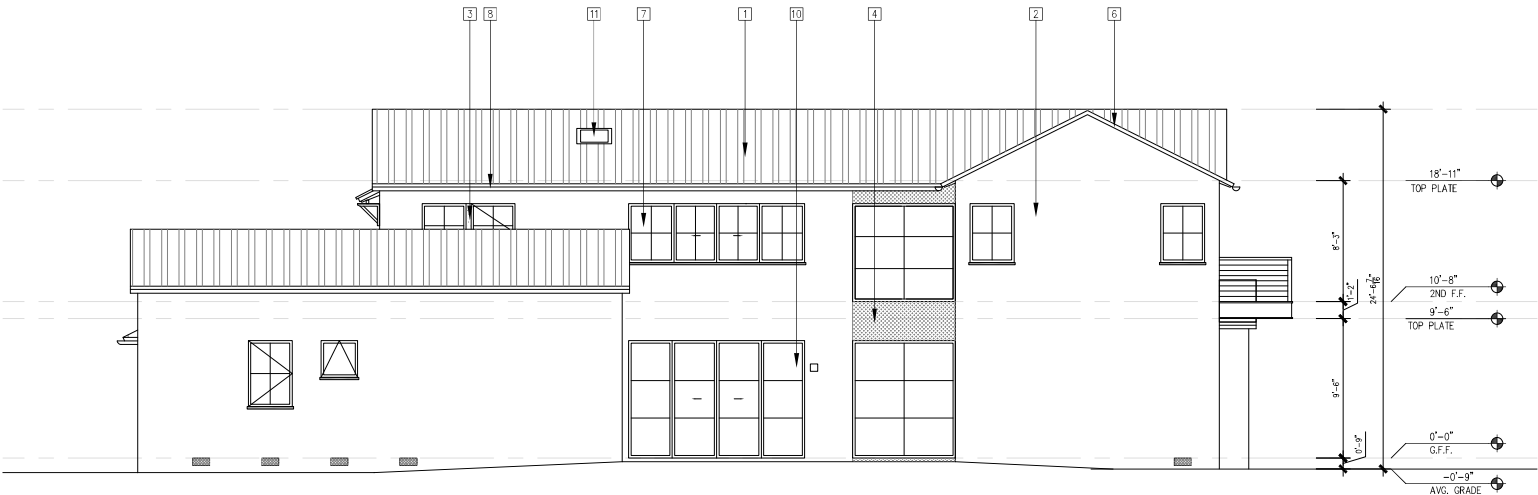
Project No: 2024-16  
Scale: 1/4"=1'-0"  
ELEVATIONS

KEYNOTES

- (1) STANDING SEAM METAL ROOFING
- (2) INTYP, STUCCO, WHITE
- (3) INTYP, STUCCO, LIGHT GRAY
- (4) INTYP, STUCCO, DARK GRAY
- (5) NYBERGLASS INSULATED GARAGE DOOR, LIGHT GRAY
- (6) NYWOOD FASCIA, LIGHT GRAY
- (7) NYFIBERGLASS WINDOW, DARK GRAY, WITH PAINTED WINDOW GRIDS, SIMULATED DIVIDED LITES
- (8) NYGUTTER, PAINTED STEEL, DARK GRAY
- (9) NYFRONT DOOR, PAINTED WOOD, DARK GRAY
- (10) NYPAINTED STEEL WALL SCORNICES, MATTE BLACK
- (11) NYSKYLIGHTS
- (12) NYADDRESS NUMBER WITH A MINIMUM OF ONE-HALF INCH (1/2") STROKE BY SIX INCHES (6") HIGH



PROPOSED FRONT ELEVATION 01  
Scale: 1/4"=1'-0"

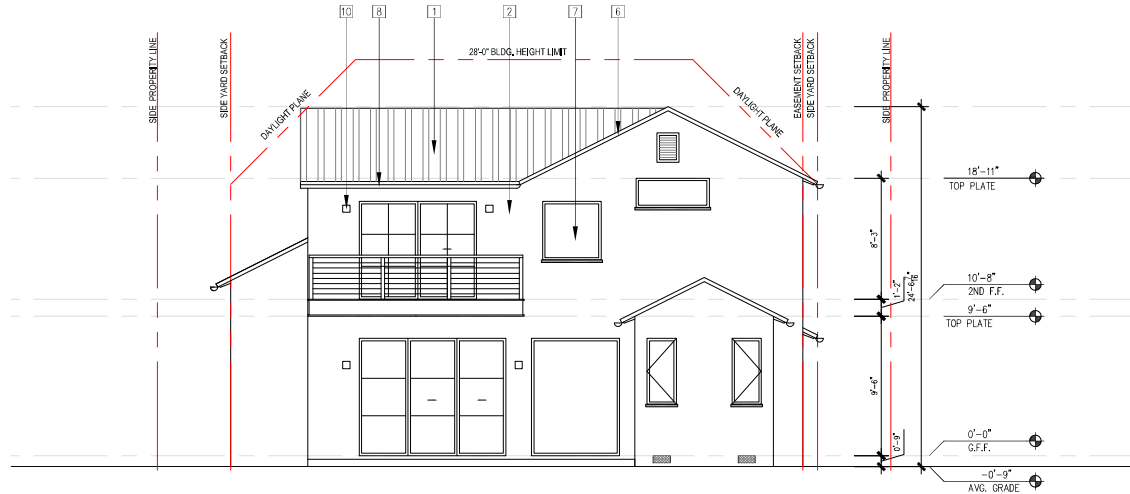


PROPOSED RIGHT ELEVATION 02  
Scale: 1/4"=1'-0"

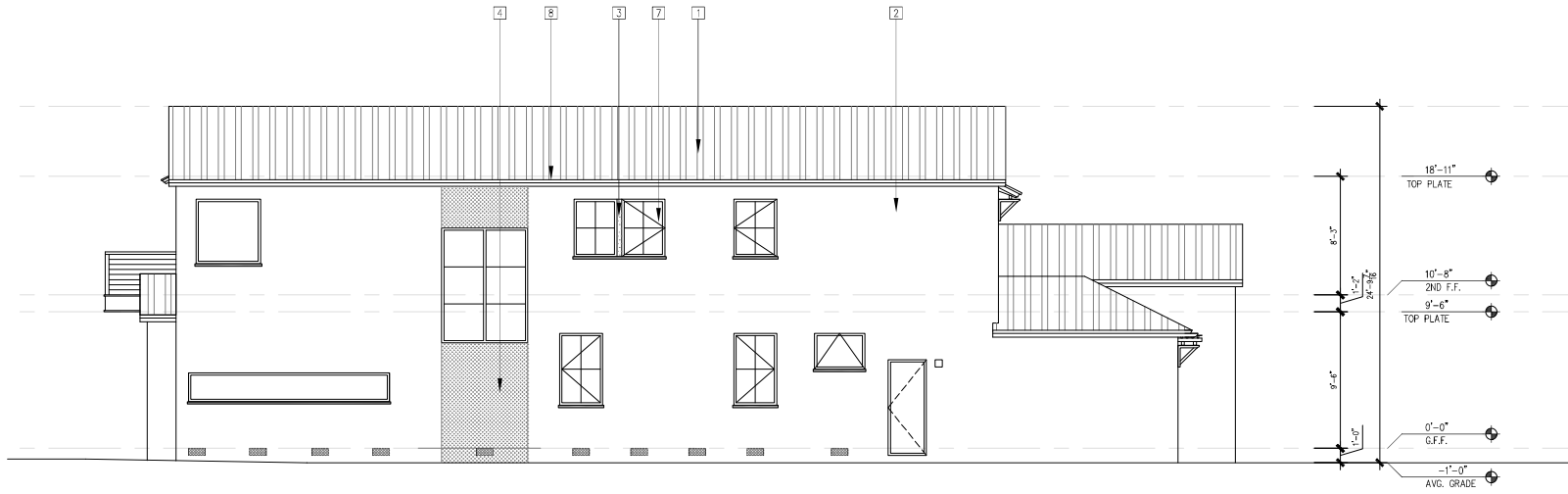


## KEYNOTES

- (1) (N) STANDING SEAM METAL ROOFING
- (2) (N)TYP, STUCCO, WHITE
- (3) (N)TYP, STUCCO, LIGHT GRAY
- (4) (N)TYP, STUCCO, DARK GRAY
- (5) (N)FIBERGLASS INSULATED GARAGE DOOR, LIGHT GRAY
- (6) (N)WOOD FASCIA, LIGHT GRAY
- (7) (N)FIBERGLASS WINDOW, DARK GRAY, WITH PAINTED WINDOW GRIDS, SIMULATED DIVIDED LITES
- (8) (N)GUTTER, PAINTED STEEL, DARK GRAY
- (9) (N)FRONT DOOR, PAINTED WOOD, DARK GRAY
- (10) (N)PAINTED STEEL WALL SCONCES, MATTE BLACK
- (11) (N)SKYLIGHTS
- (12) (N)ADDRESS NUMBER WITH A MINIMUM OF ONE-HALF INCH (1/2") STROKE BY SIX INCHES (6") HIGH



PROPOSED REAR ELEVATION 01  
Scale: 1/4"=1'-0"



PROPOSED LEFT ELEVATION 02  
Scale: 1/4"=1'-0"

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address, 274 Redwood Shores Pkwy  
STE 310  
Redwood City CA 94065  
phone, 650.797.3999  
email, logichomeinc@gmail.com

## 515 NEW RESIDENCE AND ADU

515 BAY RD  
MENLO PARK, CA 94025  
APN: 062 051 170

PROJECT OWNERS:  
XIAOMING ZHANG

ADDRESS:  
515 BAY RD  
MENLO PARK, CA 94025

EMAIL:  
MING@LEMONFALL.COM

PHONE:  
408, 222, 8008.

DESIGN REVIEW 03-20-2025

Rev. Date Issue

Project No: 2024-16  
Scale: 1/4"=1'-0"  
ELEVATIONS

A4.4

515 NEW RESIDENCE  
AND ADU

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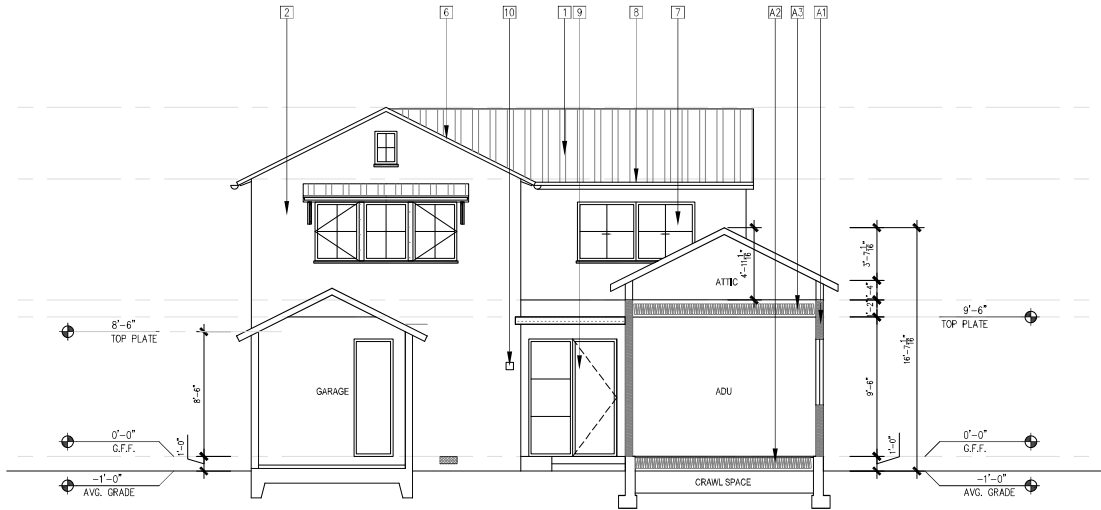
PHONE:  
408, 222, 8008.

KEYNOTES

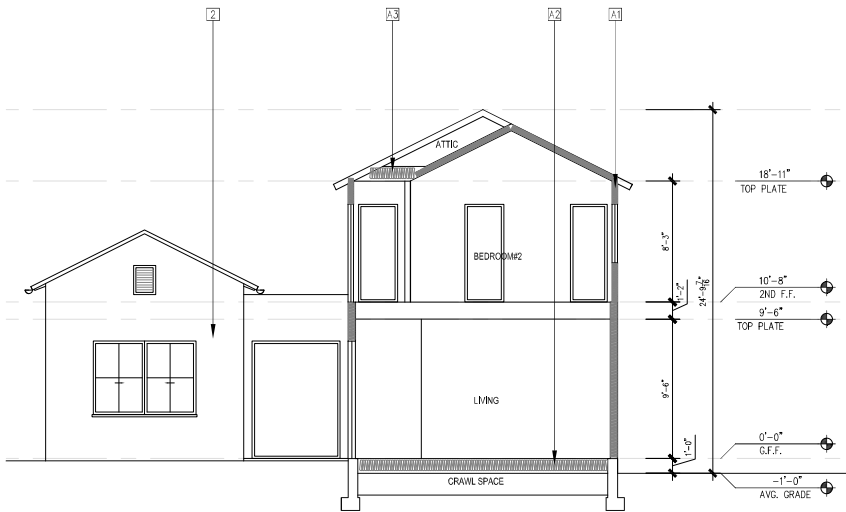
- (1) (N) STANDING SEAM METAL ROOFING
- (2) (N)TYP, STUCCO, WHITE
- (3) (N)TYP, STUCCO, LIGHT GRAY
- (4) (N)TYP, STUCCO, DARK GRAY
- (5) (N)FIBERGLASS INSULATED GARAGE DOOR, LIGHT GRAY
- (6) (N)WOOD FASCIA, LIGHT GRAY
- (7) (N)FIBERGLASS WINDOW, DARK GRAY, WITH PAINTED WINDOW GRIDS, SIMULATED DIVIDED LITES
- (8) (N)GUTTER, PAINTED STEEL, DARK GRAY
- (9) (N)FRONT DOOR, PAINTED WOOD, DARK GRAY
- (10) (N)PAINTED STEEL WALL SCONCES, MATTE BLACK
- (11) (N)SKYLIGHTS
- (12) (N)ADDRESS NUMBER WITH A MINIMUM OF ONE-HALF INCH (1/2") STROKE BY SIX INCHES (6") HIGH

KEYNOTES

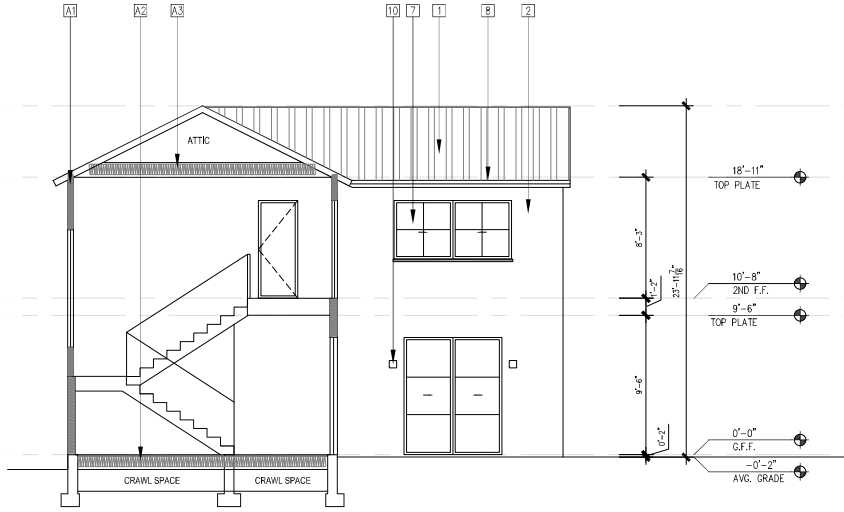
- A1 R19 INSULATION  
A2 R21 INSULATION  
A3 R30 INSULATION



PROPOSED SECTION A01  
Scale: 1/4"=1'-0"



PROPOSED SECTION C02  
Scale: 1/4"=1'-0"



PROPOSED SECTION D03  
Scale: 1/4"=1'-0"

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Rev. Date Issue

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SECTIONS

515 NEW RESIDENCE  
AND ADU

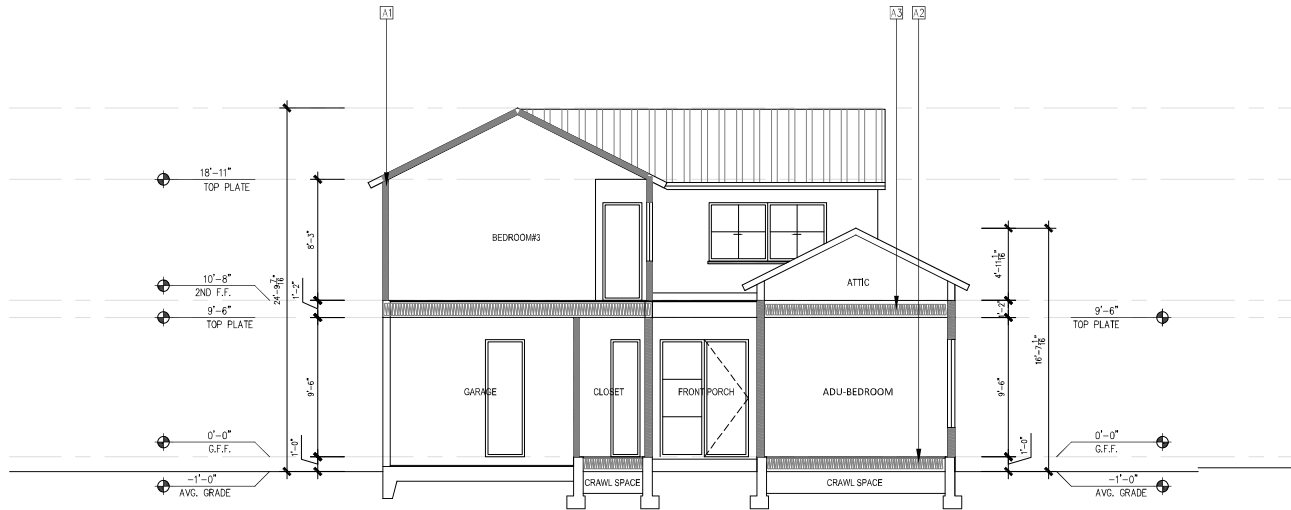
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EMAIL:  
MING@LEMONFALL.COM  
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KEYNOTES

- (1) (N) STANDING SEAM METAL ROOFING
- (2) (N)TYP, STUCCO, WHITE
- (3) (N)TYP, STUCCO, LIGHT GRAY
- (4) (N)TYP, STUCCO, DARK GRAY
- (5) (N)FIBERGLASS INSULATED GARAGE DOOR, LIGHT GRAY
- (6) (N)WOOD FASCIA, LIGHT GRAY
- (7) (N)FIBERGLASS WINDOW, DARK GRAY, WITH PAINTED WINDOW GRIDS, SIMULATED DIVIDED LITES
- (8) (N)GUTTER, PAINTED STEEL, DARK GRAY
- (9) (N)FRONT DOOR, PAINTED WOOD, DARK GRAY
- (10) (N)PAINTED STEEL WALL SCORNICES, MATTIE BLACK
- (11) (N)SKYLIGHTS
- (12) (N)ADDRESS NUMBER WITH A MINIMUM OF ONE+HALF INCH (3/4") STROKE BY SIX INCHES (6") HIGH



PROPOSED SECTION B 01  
Scale: 1/8"=1'-0"

KEYNOTES

- A1 R19 INSULATION
- A2 R21 INSULATION
- A3 R30 INSULATION

FOUNDATION VENTILATION CALCS

FOUNDATION AREA	1621 SQ.FT
1621/150	10.81
x 144	1557 SQ. IN. REQ.
(24) FOUNDATION VENT @65 SQ. IN	1560 SQ. IN.

VENT NET FREE AREA BASED ON 14.5 IN X 7 IN FOUNDATION VENT.  
THE MINIMUM NET AREA OF VENTILATION OF OPENINGS SHALL NOT BE LESS THAN 1 SQ.FT.  
FOR EACH 150 SQ. FT.  
VENTILATION OPENINGS SHALL HAVE CORROSION RESISTANT WIRE MESH OR OTHER  
APPROVED MATERIAL WITH 1/8" MIN. AND 2" MAX OPENING.



PROPOSED SECTION E 02  
Scale: 1/8"=1'-0"

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SECTIONS

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511

515

519

STREETSCAPE 01

DESIGN REVIEW 03-20-2025

Rev.	Date	Issue
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Project No: 2024-16  
Scale: 3/16"=1'0"  
STREETSCAPE