



519 Central Ave
Project Description
October 24, 2024

PARCEL GENERAL INFORMATION

519 Central Ave is a 6,301 SF lot located on the intersection

There were a total of 6 trees inventoried. Of these 6 trees, 2 are heritage trees. We are proposing the removal of 2 non-heritage trees. We are proposing to re-plant 23 new trees.

EXISTING HOME TO BE DEMOLISHED

The existing structures on the site include an 864 SF single-story single-family home and a 314 SF detached garage built in 1938. There is an alley that runs behind this property.

PROPOSED SINGLE FAMILY RESIDENCE

The proposed home is a two-story single-family residence in a Spanish style elevation. The home is proposed to have stucco exterior finish, and a concrete tile roof. The home propose single-hung gridded windows. The existing neighborhood shows a mixture of architectural styles. Existing homes in the neighborhood are clad with a stucco exterior, and single hung windows. We feel our proposed home will fit well within the existing context. The new home will have 3 bedrooms and 2 bathrooms, as well as 1 ADU bedroom and 1 ADU bathroom.

NEIGHBOR RELATIONS

We have reached out to neighbors within 300 ft of this property with a copy of the site plan, floor plan, elevations, and a letter addressing our project.

Sincerely,

Hannah Chiu
Planning Manager
hchiu@tjh.com | (650) -392-3573

519 CENTRAL AVENUE

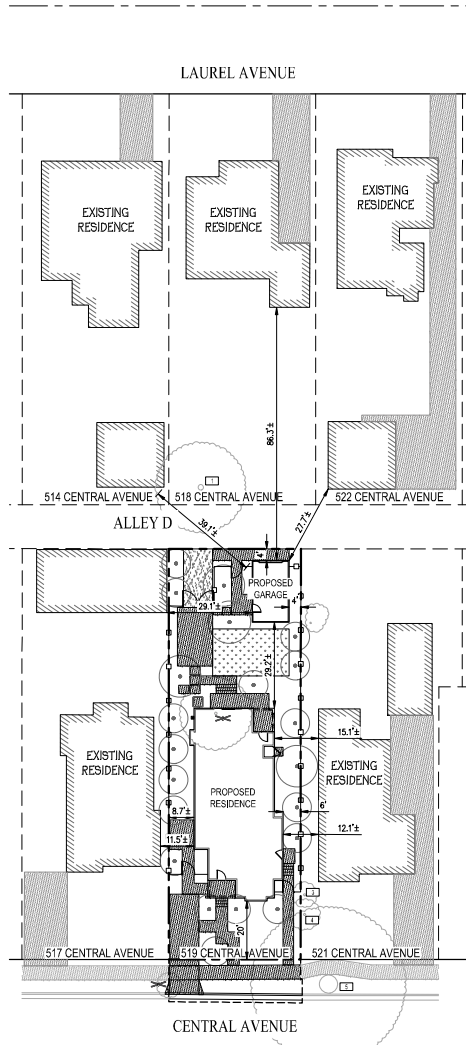
MENLO PARK, CALIFORNIA



DIRECTORY		SHEET INDEX		PROJECT DATA		
BUILDER: THOMAS JAMES HOMES 275 SHORELINE DRIVE, SUITE 400 REDWOOD CITY, CA 94065 CONTACT: HANNAH CHU PHONE: (650) 382-2073 EMAIL: HCHU@TJH.COM	CIVIL ENGINEER: CMO 2832 CAMINO RAMON #201 SAN RAMON, CA 94583 CONTACT: STEPHEN CHAN PHONE: (925) 896-0322 EMAIL: SCHAN@CSANDES.COM	1 TOPOGRAPHIC SURVEY & BOUNDARY SURVEY A0-1 AREA PLAN A1.0 PROPOSED SITE PLAN A1.1 STREET SCENE A2.0 FLOOR PLAN - FIRST FLOOR A2.1 FLOOR PLAN - SECOND FLOOR A2.2 SQUARE FOOTAGE CALCULATIONS A3.0 ELEVATIONS A3.1 ELEVATIONS - DETACHED GARAGE A4.0 SECTIONS 1-1.01 COLOR BOARD	1.5 EXISTING RESIDENCE - COVER PAGE 2.5 EXISTING RESIDENCE - ROOF PLAN - MAIN HOUSE 3.5 EXISTING RESIDENCE - ROOF PLAN - GARAGE 4.5 EXISTING RESIDENCE - EXTERIOR ELEVATIONS - MAIN HOUSE 5.5 EXISTING RESIDENCE - EXTERIOR ELEVATIONS - GARAGE L1.1 LAYOUT AND MATERIALS PLAN L1.2 CONSTRUCTION DETAILS L2.1 PLANTING PLAN L2.2 PLANTING DETAILS L2.3 TREE PROTECTION PLAN	LEGAL DESCRIPTION: LOT 6, BLOCK 11, SAN RAYED COUNTY, CALIFORNIA APN: 062-382-150 PROJECT ADDRESS: 519 CENTRAL AVENUE, MENLO PARK, CA 94025 ZONING: R10 BUILDING CLASSIFICATION: SINGLE FAMILY DETACHED R01, FIRE SPRINKLERS PER CHC R013.3 TYPE OF CONSTRUCTION: TYPE V-4 FIRE ZONE: I-6 AE - SPECIAL FLOOD HAZARD AREAS WITH BFE - THIS PROJECT WILL BE DESIGNED TO COMPLY WITH THE CITY'S FLOOD DAMAGE PREVENTION ORDINANCE - CHAPTER 12, SECTION 42 FLOOD ZONE:	BASE FLOOR ZONE ELEVATION: 33.1 DESIGN FLOOD ZONE ELEVATION: 34.7 LOT AREA: 6,301 SQ. FT. PROGRAM: 3 BEDROOMS / 2 BATHS / ADU COVERED PARKING: 1 ALLOWABLE LOT COVERAGE: 50% OF LOT AREA (2,205 SQ. FT.) PROPOSED LOT COVERAGE: 32% OF LOT AREA (2,043 SQ. FT.) ALLOWABLE FAL: 2,800 SQ. FT. PROPOSED FAL: 2,702 SQ. FT. ALLOWABLE 2nd FLOOR FAL: 50% of PROPOSED FAL (1,351 SQ. FT.) PROPOSED 2nd FLOOR FAL: 1,187 SQ. FT. BUILDING HEIGHT: ≥ 27'-0" (28' MAX ALLOWABLE)	
ARCHITECTS: BASSENAN LAGONI ARCHITECTS 2031 ORCHARD DRIVE NEWPORT BEACH, CA 92660 CONTACT: DAVE POCKETT PHONE: (949) 555-9108 EMAIL: DPOCKETT@BASSENANLAGONI.COM		LANDSCAPE ARCHITECT: SKETCH & FIELD 1935 ADDISON STREET, SUITE A BERKELEY, CA 94704 CONTACT: JORGE D. ABICH PHONE: (510) 865-7443 EMAIL: JORGE@SKETCHANDFIELD.COM	VICINITY MAP 		SECTIONS: FRONT: 20'-0" SIDE: 7'-0" (LEFT) / 6'-0" (RIGHT) REAR: 34'-0"	SQUARE FOOTAGE: FIRST FLOOR: 1,270 SQ. FT. (ADU NOT INCLUDED) SECOND FLOOR: 1,187 SQ. FT. (VOLUME AND VOIDS INCLUDED, STAIRS EXCLUDED) TOTAL FLOOR: 2,457 SQ. FT. DETACHED GARAGE: 265 SQ. FT. ADU: 284 SQ. FT. (NOT INCLUDED IN FAL OR TOTAL LIVABLE) FRONT PORCH: 87 SQ. FT. FRONT PORCH: 37 SQ. FT.
				CODES: 2022 CALIFORNIA BUILDING CODE 2022 CALIFORNIA RESIDENTIAL CODE 2022 CALIFORNIA MECHANICAL CODE 2022 CALIFORNIA PLUMBING CODE 2022 CALIFORNIA FIRE CODE 2022 CALIFORNIA ELECTRICAL CODE 2022 CALIFORNIA ENERGY CODE 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE	GOVERNING BODY: CITY OF MENLO PARK	

I HAVE COMPLIED WITH THE CRITERIA OF THE WATER CONSERVATION IN LANDSCAPE ORDINANCE AND HAVE APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN.

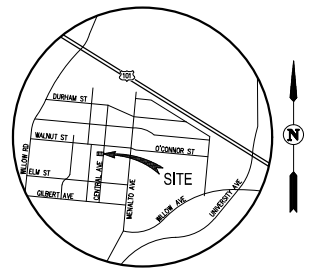
JORGE DANIEL ABICH, PLA (CA #5899)



EXISTING TREES TO BE REMOVED						
TREE NUMBER	TAG NUMBER	COMMON NAME	DBH (IN)	HERITAGE TREE	OFF-SITE	
2	5391	PEAR	10	NO	NO	
6	5397	AMERICAN ELM	3.5	NO	YES	

EXISTING TREES TO REMAIN						
TREE NUMBER	TAG NUMBER	COMMON NAME	DBH (IN)	HERITAGE TREE	OFF-SITE	
1	5390	COAST REDWOOD	22	NO	YES	
3	5394	ARBORVITAE	8	NO	YES	
4	5395	ARBORVITAE	8	NO	YES	
5	5396	SOUTHERN MAGNOLIA	37	NO	YES	

NOTES:
 1. THE TABLES ABOVE CONTAIN A SUMMARY OF INFORMATION PRESENTED IN THE ARBORIST REPORT. PLEASE REFER TO THE ARBORIST REPORT DATED SEPTEMBER 8, 2024 AND PREPARED BY CALIFORNIA TREE AND LANDSCAPE CONSULTING, INC FOR MORE INFORMATION.



VICINITY MAP
NOT TO SCALE

LEGEND

- BOUNDARY LINE
- - - EXISTING RIGHT OF WAY
- - - ADJONER PROPERTY LINE
- ▨ EXISTING STRUCTURE ON ADJOINING LOT
- ▨ EXISTING DRIVEWAY
- ▨ EXISTING AC PARKING STRIP
- ▨ PROPOSED NEW RESIDENCE
- ▨ PROPOSED SAWCUT
- ▨ PROPOSED VERTICAL CURB & GUTTER
- ▨ PROPOSED CONCRETE FLATWORK
- ▨ PROPOSED DECORATIVE GRAVEL
- ▨ PROPOSED TURF GRASS
- EXISTING TREE TO REMAIN
- ⊗ EXISTING TREE TO BE REMOVED
- EXISTING TREE

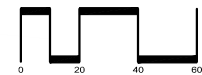


CENTRAL AVENUE STREET SCAPE
SCALE: 1/8"=1'

519 CENTRAL AVENUE AREA PLAN

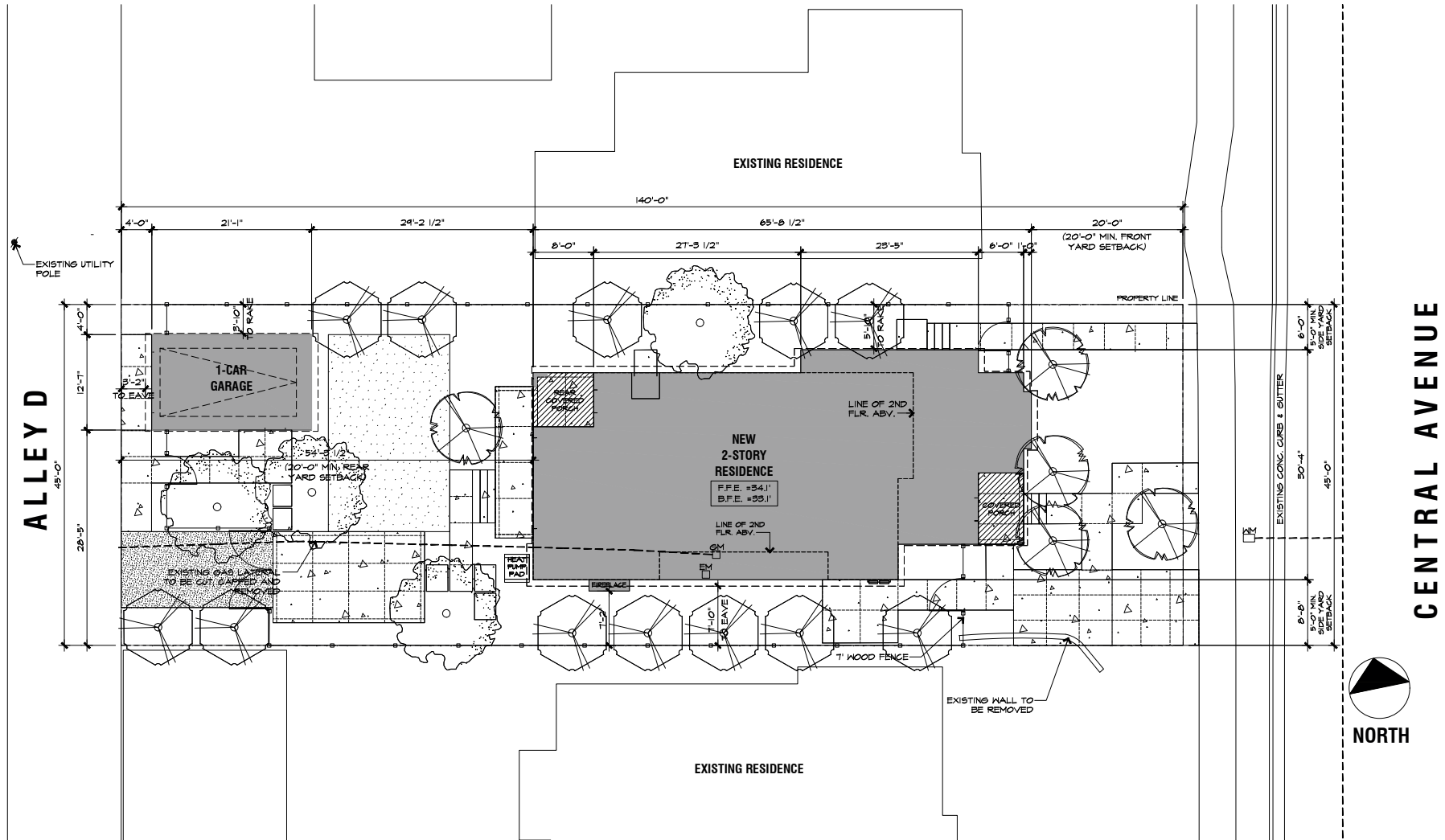
THOMAS JAMES HOMES

CITY OF MENLO PARK SAN MATEO COUNTY CALIFORNIA
 SCALE: 1" = 20' DATE: OCTOBER 14, 2024



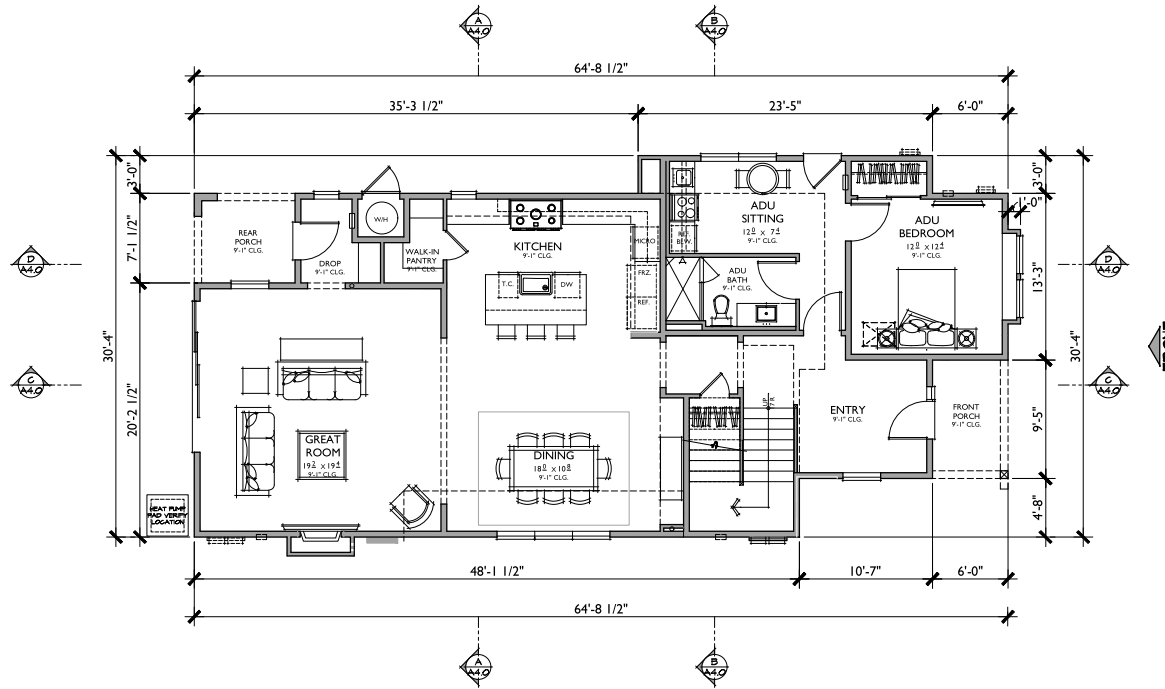
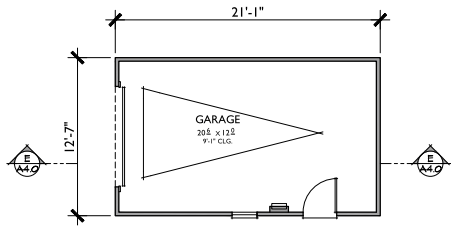
SAN RAMON : (925) 866-0322
 ROSEVILLE : (916) 375-1877
 WWW.CBANGG.COM

SHEET NO.
AP-1
OF 1 SHEETS



- NOTES**
- SEE CIVIL AND LANDSCAPE FOR ADDITIONAL INFORMATION/SPECIFICATIONS
 - ALL EXISTING CRACKED OR DAMAGED FEATURES ALONG THE PROPERTY FRONTAGE MUST BE REPAIRED IN KIND. ANY FRONTAGE IMPROVEMENTS WHICH ARE DAMAGED AS A RESULT OF CONSTRUCTION WILL BE REQUIRED TO BE REPLACED. ALL FRONTAGE IMPROVEMENT WORK SHALL BE IN ACCORDANCE WITH THE LATEST VERSION OF THE CITY STANDARD DETAILS.
 - AN ENCROACHMENT PERMIT FROM THE ENGINEERING DIVISION IS REQUIRED PRIOR TO ANY CONSTRUCTION ACTIVITIES, INCLUDING UTILITY LATERALS, IN THE PUBLIC RIGHT OF WAY.





PLAN BLA 2848-31
 3 BEDROOMS / 2 BATHS / ADU
 1 - CAR DETACHED GARAGE

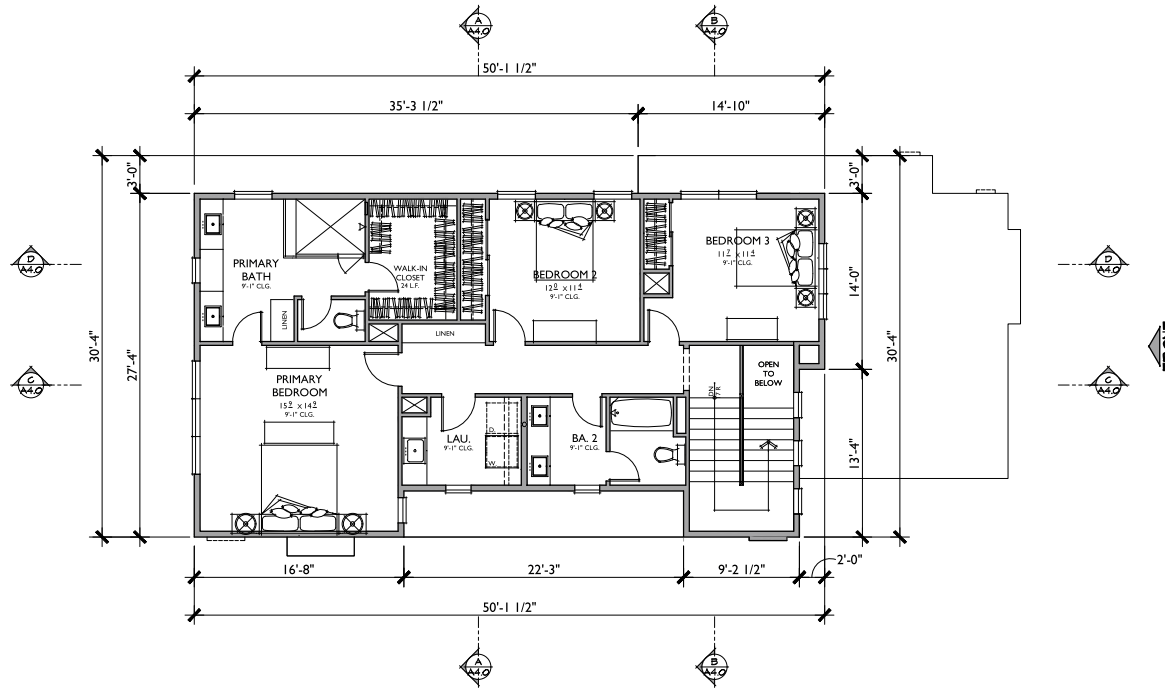
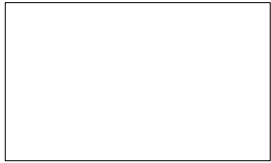
FAL AREA TABLE	
1ST FLOOR (EXCLUDES VOIDS)	1,270 SQ. FT.
2ND FLOOR (EXCLUDES VOLUME & VOIDS)	1,167 SQ. FT.
TOTAL LIVING	2,437 SQ. FT.
1 - CAR DETACHED GARAGE	265 SQ. FT.
TOTAL FAL	2,702 SQ. FT.
ADU (NOT INCLUDED IN FAL)	394 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

FLOOR AREA TABLE	
1ST FLOOR (EXCLUDES VOIDS)	1,243 SQ. FT.
2ND FLOOR (EXCLUDES VOLUME & VOIDS)	1,141 SQ. FT.
TOTAL LIVING	2,384 SQ. FT.
FRONT PORCH	57 SQ. FT.
REAR PORCH	57 SQ. FT.
1 - CAR DETACHED GARAGE	265 SQ. FT.
FIREPLACE	8 SQ. FT.
EXTERIOR W/H	13 SQ. FT.
ADU (NOT INCLUDED IN FAL)	394 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION





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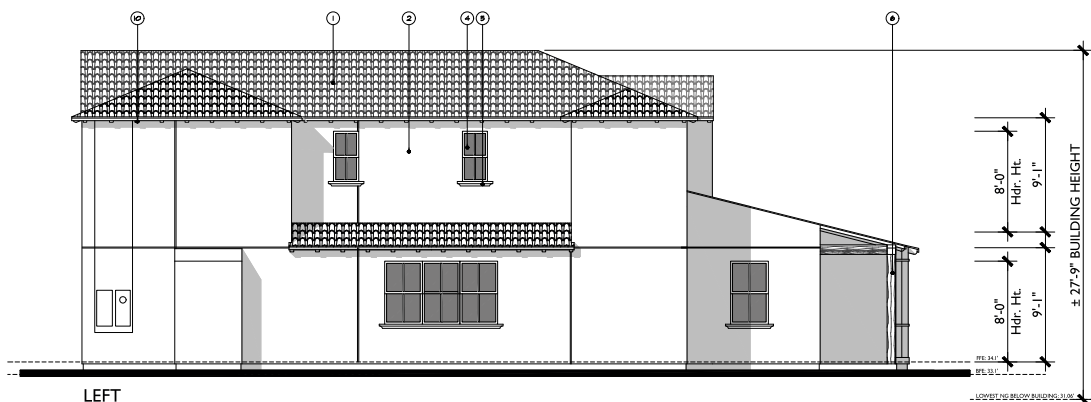
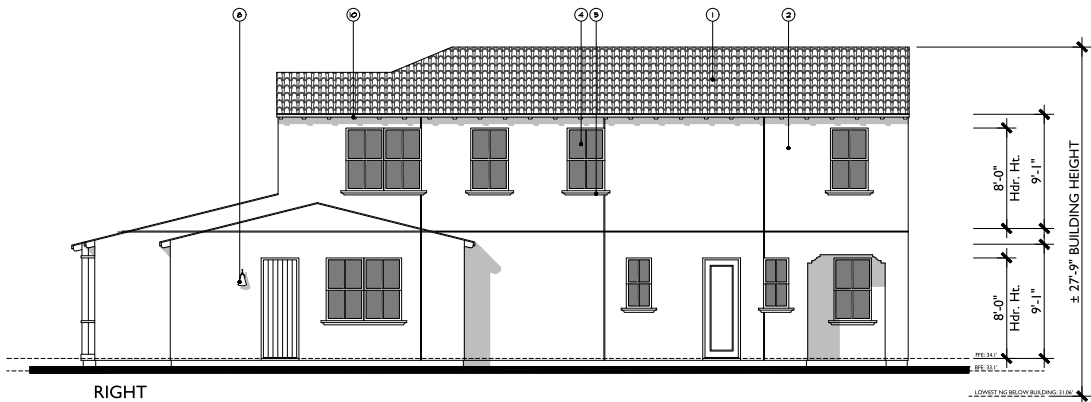
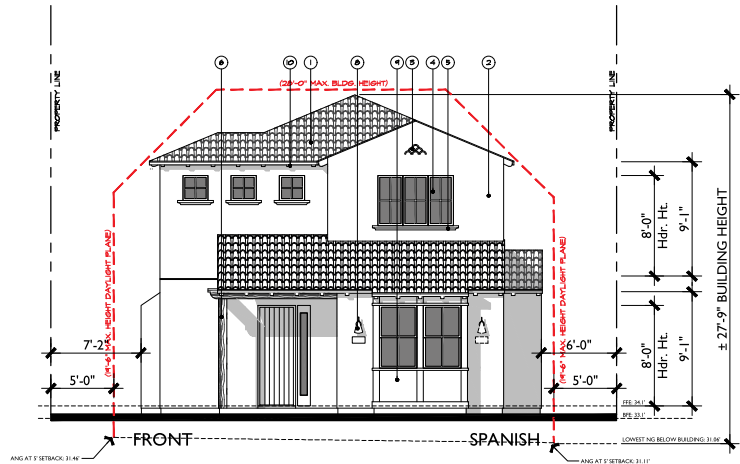
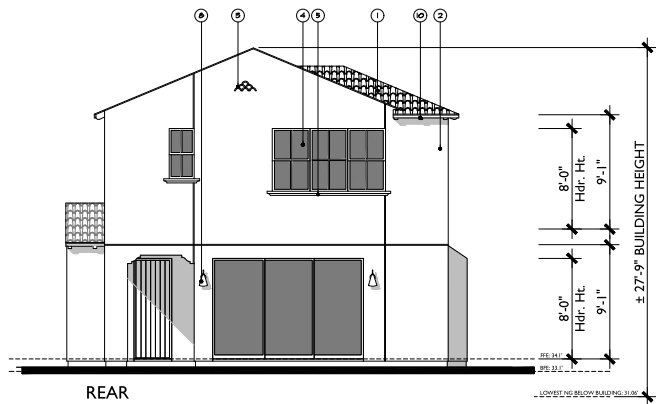
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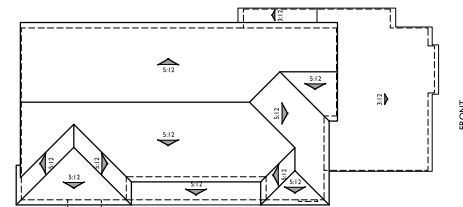
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MATERIALS LEGEND:

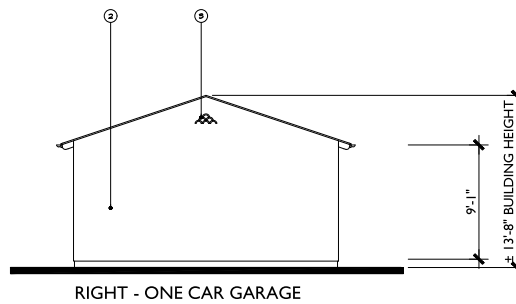
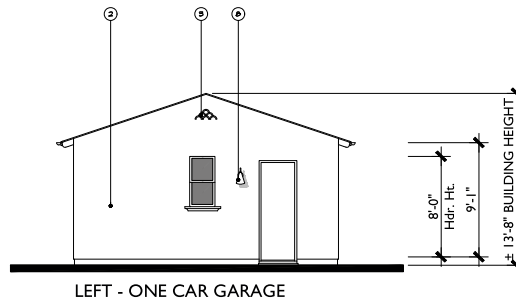
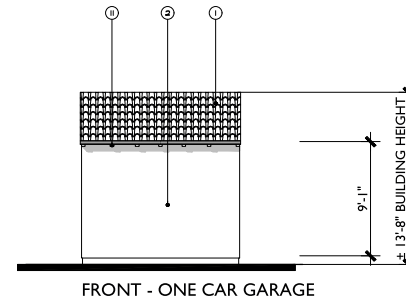
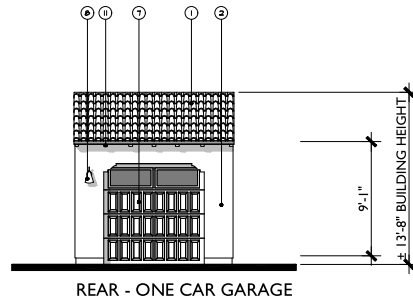
1. CONCRETE 'S' TILE
2. STUCCO
3. DECORATIVE GABLE DETAIL
4. FIBERGLASS WINDOW
5. FOAM TRIM
6. WOOD POST
7. SECTIONAL GARAGE DOOR W/ WINDOWS
8. COACH LIGHT
9. BOX BAY
10. RAFTER TAIL



ROOF PLAN

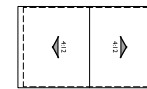
SPANISH

PITCH: 5:12 U.N.O.
 RAKE: TIGHT
 EAVE: 10"
 ROOF MATERIAL: 2-PIECE MISSION CLAY TILE



MATERIALS LEGEND:

1. CONCRETE 'S' TILE
2. STUCCO
3. DECORATIVE GABLE DETAIL
4. FIBERGLASS WINDOW
5. FOAM TRIM
6. WOOD POST
7. SECTIONAL GARAGE DOOR W/ WINDOWS
8. COACH LIGHT
9. BOX BAY
10. RAFTER TAIL



ROOF PLAN SPANISH

PITCH: 4:12 U.N.O.
 RAKE: TIGHT
 EAVE: 10"
 ROOF MATERIAL: 2-PIECE MISSION CLAY TILE

000

4" HOUSE NUMBERS

REPRESENTS MATERIALS ONLY. NUMBERS TO REFLECT PROPERTY ADDRESS

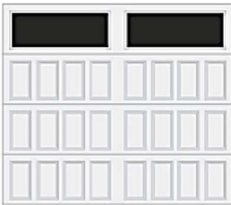


EXTERIOR LIGHT FIXTURE



FRONT DOOR

FULL PLANK FIBERGLASS DOOR
FULL LITE FIBERGLASS SIDELITE
WITH SATIN ETCH GLASS



GARAGE DOOR

OVERHEAD GARAGE DOOR
WITH FROSTED GLASS WINDOWS
COLOR: MOCHA BROWN

WINDOW FRAMES: BLACK



EXTERIOR RENDERINGS

COLOR SCHEME 2

WHITE HERON

SW 7627

- STUCCO

LINK GRAY

SW 6200

- WINDOW SILLS
- PORCH BEAMS AND POSTS
- FIRST FLOOR WINDOW PANELING
- FASCIA, EAVES, TAILS, AND GUTTERS
- GARAGE SIDE DOOR

URBANE BRONZE

SW 7048

- FRONT DOOR AND SIDELITE

S-TILES

BROWN-GRAY

FENCE STAIN

SEMI-SOLID

SPANISH MOSS



Toyon BLA 2848-31
Spanish

519 Central Avenue
Menlo Park, California 94025

This is an example of design specifications for this particular plan and elevation. Detailed specifications, finishes and fixtures are subject to change, on homes prior to sale, at any time without notice or obligation. Square footage and lot dimensions are approximate and may vary in construction and depending on the standard of measurement used, engineering and municipal requirements, or other site-specific conditions. Room size, walls, windows, doors, porches and balconies vary per home elevation and location. Not an offer or solicitation to sell real property. Thomas James Homes is a registered trademark of Thomas James Homes, LLC, ©2018 Thomas James Homes. All rights reserved. CA 1282 Home 16205207

Date 10/14/24

Designer Kristin Lasky

Architect Bassenian Lagoni

COLOR BOARD

I-1.01

NOTES:

1. RENDERINGS SHOWN ARE FOR ILLUSTRATION PURPOSES ONLY AND ARE NOT INTENDED TO BE AN ACTUAL DEPICTION OF THE HOME OR IT'S SURROUNDINGS.

2. DOWNSPOUT COLOR TO FOLLOW TJH PRODUCT STANDARDS

