

519 Central Ave Project Description October 24, 2024

PARCEL GENERAL INFORMATION

519 Central Ave is a 6,301 SF lot located on the intersection

There were a total of 6 trees inventoried. Of these 6 trees, 2 are heritage trees. We are proposing the removal of 2 non-heritage trees. We are proposing to re-plant 23 new trees.

EXISTING HOME TO BE DEMOLISHED

The existing structures on the site include an 864 SF single-story single-family home and a 314 SF detached garage built in 1938. There is an alley that runs behind this property.

PROPOSED SINLGE FAMILY RESIDENCE

The proposed home is a two-story single-family residence in a Spanish style elevation. The home is proposed to have stucco exterior finish, and a concrete tile roof. The home propose single-hung gridded windows. The existing neighborhood shows a mixture of architectural styles. Existing homes in the neighborhood are clad with a stucco exterior, and single hung windows. We feel our proposed home will fit well within the existing context. The new home will have 3 bedrooms and 2 bathrooms, as well as 1 ADU bedroom and 1 ADU bathroom.

NEIGHBOR RELATIONS

We have reached out to neighbors within 300 ft of this property with a copy of the site plan, floor plan, elevations, and a letter addressing our project.

Sincerely,

Hannah Chiw

Hannah Chiu Planning Manager <u>hchiu@tjh.com|</u> (650) -392-3573

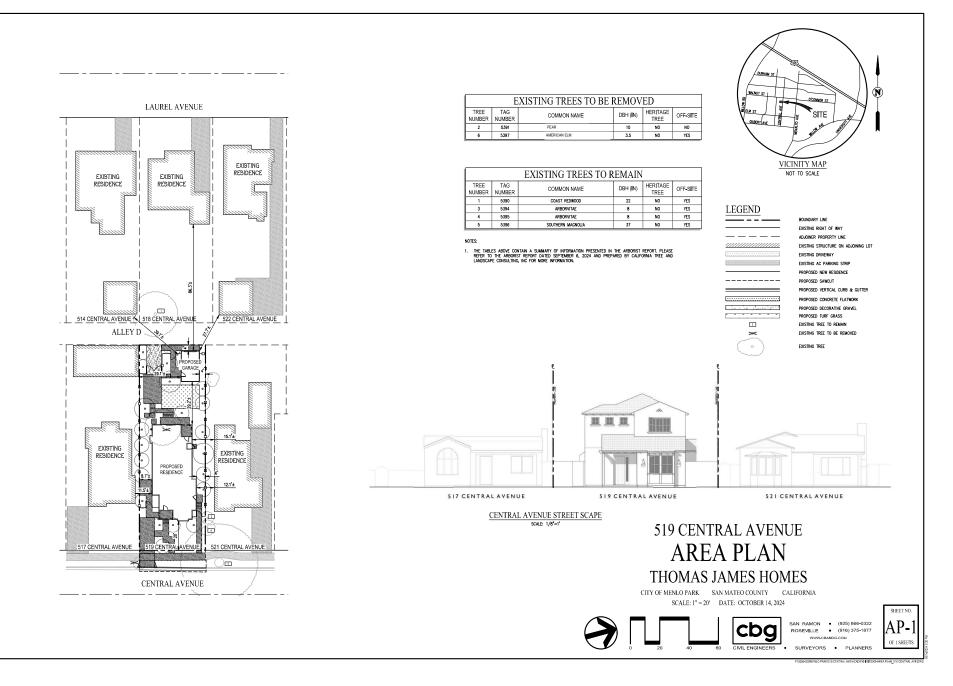
519 CENTRAL AVENUE MENLO PARK, CALIFORNIA

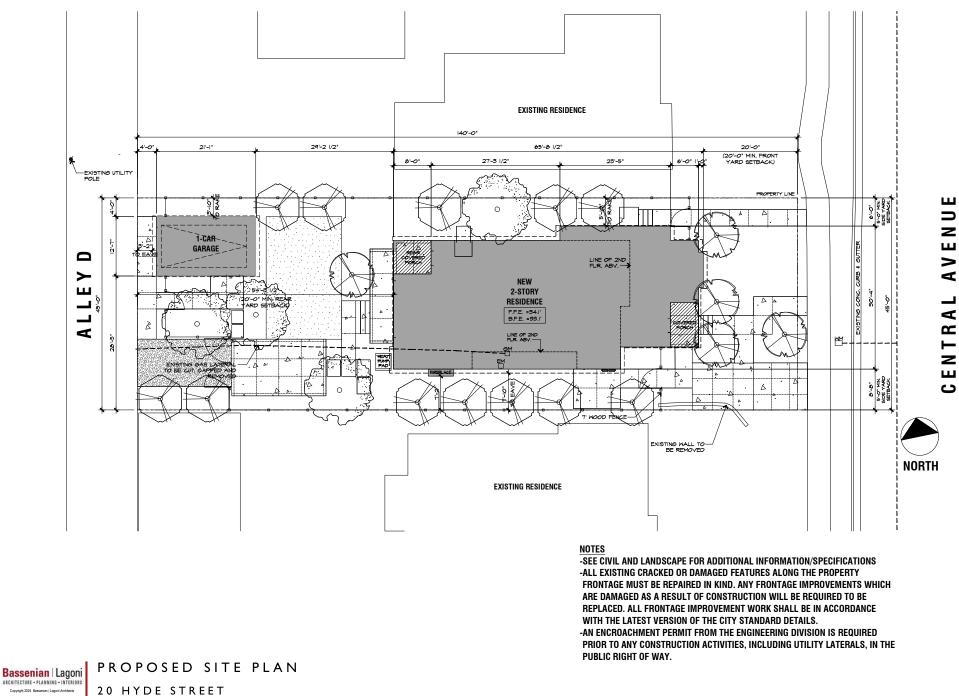


DIRECTORY		SHEET INDEX		PROJECT DATA			
BULDER: THORAS AMAS HONES 275 SHORLINE REVIEWS, SUITE 40 REDWOOD CITY, CA. MANS CONTRCT-MANA CHAIL WHOM: ELGANGUITACCAN ARCHITECTE: BASSELMAN ALCON ARCHITECTS 233 ORICHARD DAVE KANSELMAN ALCON ARCHITECTS 233 ORICHARD DAVE CONTRCT: SUME PROJECT THORE: (193 STATISTICAL STATISTICS) CONTRCT: SUME PROJECT THORE: (193 STATISTICS)	NULDOF: CVVL BROWER: INDUAD ALMES HOWES C80 OF SUBSTLINE (MOVE, SUIT 400 2553 CAMINO #200 SUBSTLINE (MOVE, SUIT 400 2553 CAMINO #200 SUBSTLINE (MOVE, SUIT 400 2553 CAMINO #200 SUBSTLINE (MOVE, SUIT 400 COMTACE: SUBSTLINE (MAN. SUBSTLINE (MOVE, SUIT 400 COMTACE: SUBSTLINE (CAMINO #200 SUBSTLINE (MOVE, SUBSTLINE (MOVE, SUBSTLINE (MOVE, SUBSTLINE, SUBSTLINE (MOVE, SUBSTLINE, SUBSTLINE, SUBSTLINE, SUBSTLINE, SUBSTLINE, SUBSTLINE, SUBSTLINE (MOVE, SUBSTLINE, SUBSTLINE, SUBSTLINE, SUBSTLINE, SUBSTLINE, SUBSTLINE, SUBSTLINE, SUBSTLINE (MOVE, SUBSTLINE,		CNL BURNETIC 1 TOPGRAPHIC SUMPLY & BORDARY SUMPLY CRE API ARIA FAM 2333 CAUND INANON #509 ATI MINOR SUMPLY & BORDARY SUMPLY Sali MANON #509 ATI MINOR SUMPLY Sali MANON #509 ATI SILI SUMPLY COMING: SUMPLY ARIA FAM COMING: SUMPLY ARIA FAM COMING: SUMPLY ARIA COMING: SUMPLY ARIA COMING: SUMPLY ARIA ARIA ARIA ARIA ARIA ARIA ARIA LANDSCAPE ARCHITECT: 1-101 SASTOR # FELD HORT SASTOR # FELD SUSTION RESONCE: - ANOF FAM. HINOISE SASTOR # FELD SUSTION RESONCE: - ANOF FAM. HINOISE SASTOR # FELD SUSTION RESONCE: - ANOF FAM. HINOISE SASTOR # ANOH 3-3 DISTING RESONCE: - ANOF FAM ANAMONE COMING: JURGE ANDRIA 3-3 DISTING RESONCE: - ANOF FAM ANAMONE COMING: JURGE ANDRIA 3-3 DISTING RESONCE: - ANOF FAM ANAMONE COMING: JURE ANDRY 3-4 DISTIN		FIRE 2006 : FLODD 2016 :: De Statut FLODR 2016 ELEVATION : DE STATI FLOD 2016 ELEVATION : DE ATARA : PRODUBLI : DE ATARA : PRODUBLE LOT COVERAGE : ALLOWAGE ELAT : PRODUBLE LOT COVERAGE : ALLOWAGE ELAT : PRODUBLE LOT COVERAGE : <	LOT 6. NCCK 11 SAN BATCO COUNTY, CALFORMA BAS 32: 50 MEMORY BANK 25 AND 5 MEMORY BAN	
	MAP	121 122 123	PLANTING PLAN A ANTING GETALA THEE PHOTETION PLAN	STANCE PROPOSE PROF. \$2000 RUA. \$453 Stanter FORLER \$4500 PROF. \$5000 PROF. \$5000 PROF. \$5000 PROF. \$5000	Image: Part of the and actionality Binary and actionality		

I HAVE COMPLIED WITH THE CRITERIA OF THE WATER CONSERVATION IN LANDSCAPE ORDINANCE AND HAVE APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN.

JORGE DANIEL ABICH, PLA (CA #5899)





Redwood City , California

0 4 8 16 SCALE: 3/16" = 1'-0" 9 | 8.22396 Al.0 08.28.24



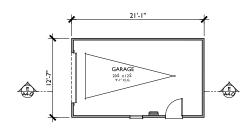


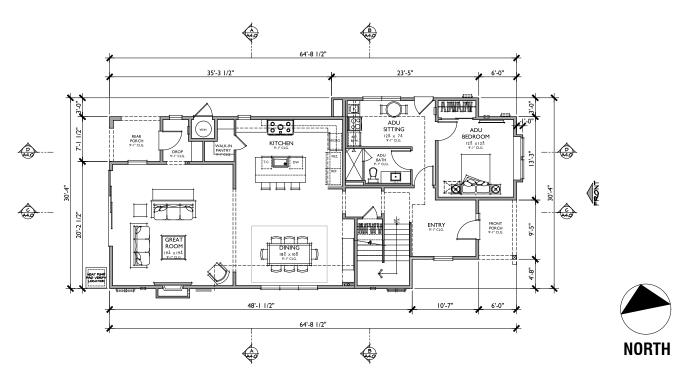
STREET SCENE

519 CENTRAL AVENUE

Menlo Park , California 0 2 4 8 9 | 8.22396 SCALE 1/4" = 1'-0"







PLAN BLA 2848-31

3 BEDROOMS / 2 BATHS / ADU I - CAR DETACHED GARAGE

1,270 SQ. FT.				
1,167 SQ. FT.				
2,437 SQ. FT.				
265 SQ. FT.				
TOTAL FAL 2,702 SQ. FT.				
394 SQ. FT.				

FLOOR AREA TABLE	
IST FLOOR (EXCLUDES VOIDS)	1,243 SQ. FT.
2ND FLOOR (EXCLUDES VOLUME & VOIDS)	1,141 SQ. FT.
TOTAL LIVING	2,384 SQ. FT.
FRONT PORCH	57 SQ. FT.
REAR PORCH	57 SQ. FT.
I - CAR DETACHED GARAGE	265 SQ. FT.
FIREPLACE	8 SQ. FT.
EXTERIOR W/H	13 SQ. FT.
ADU (NOT INCLUDED IN FAL)	394 SQ. FT.
NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF	CALCULATION

A2.0

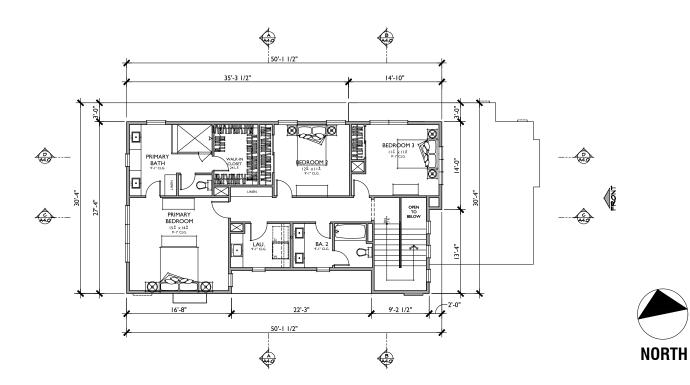


FLOOR Reflects Spanish Elevation Bassenian | Lagoni 51<u>9 CENTRAL AVENUE</u> Copyright 2024 Bassenian | Lagoni Architect

Menlo Park , California

9 | 8 . 2 2 3 9 6 SCALE: 1/4" = 1'-0"





PLAN BLA 2848-31

3 BEDROOMS / 2 BATHS / ADU I - CAR DETACHED GARAGE

FAL AREA TABLE			
IST FLOOR (INCLUDES VOIDS)	1,270 SQ. FT.		
2ND FLOOR (INCLUDES VOLUME & VOIDS)	1,167 SQ. FT.		
TOTAL LIVING	2,437 SQ. FT.		
I - CAR DETACHED GARAGE	265 SQ. FT.		
TOTAL FAL 2,702 SQ. FT.			
ADU (NOT INCLUDED IN FAL)	394 SQ. FT.		
NOTE: SOLIARE ECOTAGE MAX VARY DUE TO METHOD OF	CALCULATION		

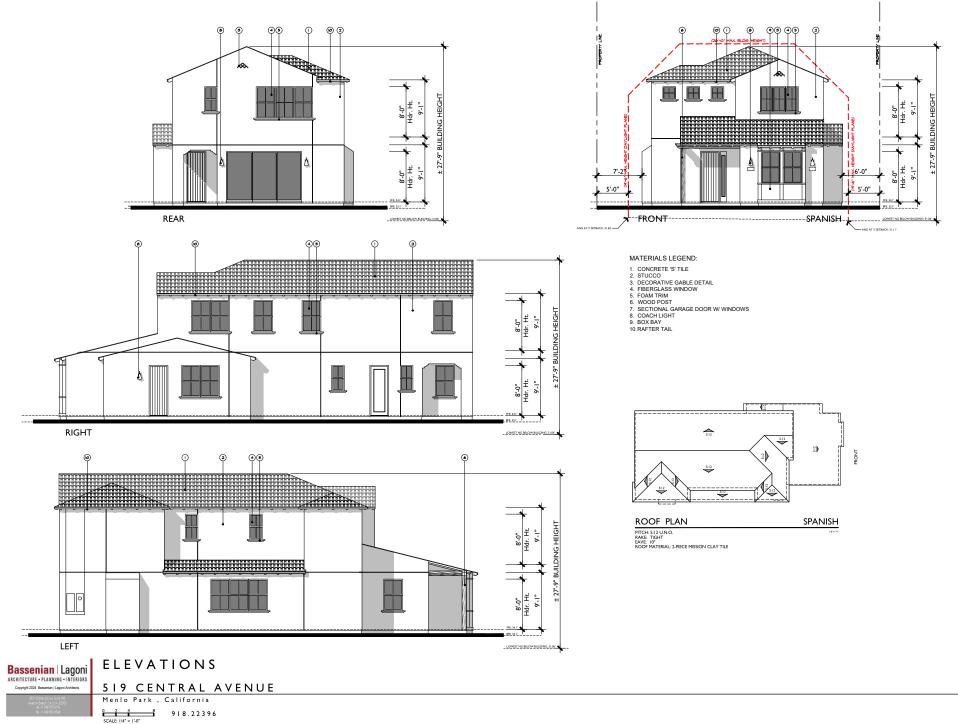
FLOOR AREA TABLE	
IST FLOOR (EXCLUDES VOIDS)	1,243 SQ. FT.
2ND FLOOR (EXCLUDES VOLUME & VOIDS)	1,141 SQ. FT.
TOTAL LIVING	2,384 SQ. FT.
FRONT PORCH	57 SQ. FT.
REAR PORCH	57 SQ. FT.
I - CAR DETACHED GARAGE	265 SQ. FT.
FIREPLACE	8 SQ. FT.
EXTERIOR W/H	13 SQ. FT.
ADU (NOT INCLUDED IN FAL)	394 SQ. FT.
NOTE: SOLIARE EQOTAGE MAX VARY DUE TO METHOD OF	CALCULATION



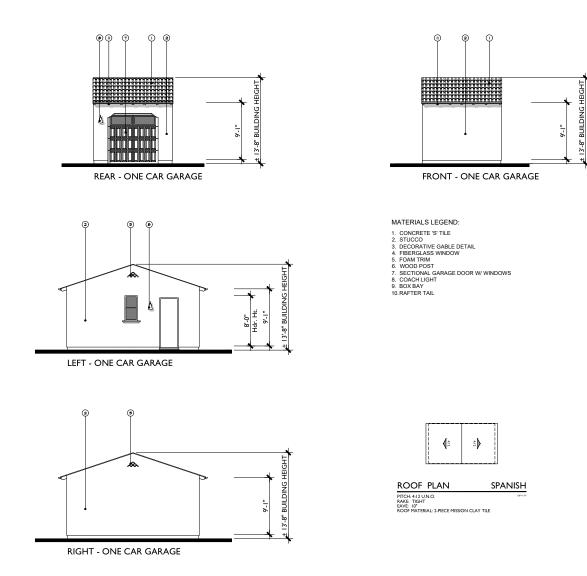
FLOOR PLAN - SECOND FLOOR Bassenian | Lagoni 519 CENTRAL AVENUE Copyright 2024 Bassenian | Lagoni Architect

Menlo Park , California





A3.0 10.16.24





Menlo Park , California 0 2 4 8 918.22396 SCALE 1/4* = 1'-0"







EXTERIOR LIGHT FIXTURE



FRONT DOOR FULL PLANK FIBERGLASS DOOR FULL LITE FIBERGLASS SIDELITE WITH SATIN ETCH GLASS



GARAGE DOOR OVERHEAD GARAGE DOOR WITH FROSTED GLASS WINDOWS COLOR: MOCHA BROWN

WINDOW FRAMES: BLACK





WHITE HERON SW 7627 • STUCCO LINK GRAY WINDOW SILLS
WINDOW SILLS
PORCH BEAMS AND POSTS
FIRST FLOOR WINDOW PANELING
FASCIA, EAVES, TAILS, AND GUTTERS
GARAGE SIDE DOOR





FENCE STAIN

NOTES: 1. RENDERINGS SHOWN ARE FOR ILLUSTRATION PURPOSES ONLY AND ARE NOT INTENDED TO BE AN ACTUAL DEPICTION OF THE HOME OR IT'S SURROUNDINGS. 2. DOWNSPOUT COLOR TO FOLLOW TJH PRODUCT STANDARDS

HOMAS JAA HOMES

519 Central Avenue Menlo Park, California 94025

Toyon BLA 2848-31 Spanish

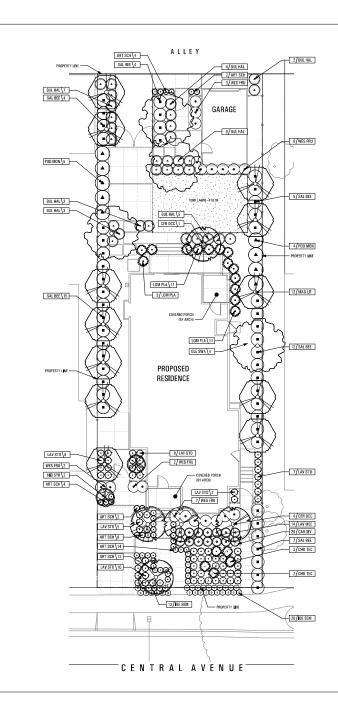
This is an example of design specifications for this particular plan and elevation. Detailed specifications, finishes and factures are subject to change, on hones prior to sale, at any time subhal molece or obligation. Sale any core of the change on hone of the sale and any core of the change of the dynamic part of the standard of measurement used, engineering and municipal requirements, or other its specific could-tions. Hoom size, wells, without its beyefic could-alaronic energy for home elevation and location. New an affer or substitution is and treat property. Thomas advances Home, ELC, 2001 R Homas Jones Linnes, All rights reserved. CA DRE license 190057307

Date 10/14/24

Designer Kristin Lasky

Architect Bassenian Lagoni

COLOR BOARD I-1.01



KEY	D	BOTANICAL NAME	COMMON NAME	QTY	CONT.	MATURE SPREAD	1	VUCOLS	
Ð	CER OCC	Cercis occidenta j is	Western Redbud	5	15 G	7 - 12 ft.		LOW	
\bigcirc	MAG LÍT	Magnalia grandiflore 'Little Gem'	Little Gem Magrolia	12	24"B	7-12 ft.		MOD	
0	OLE SWA	Qea europea 'Swan Hill'	Swan Hill Olive Tree	4	38"B	20 - 35 ft.		LOW	
LANT LEG									
KEY	D	BOTANICAL NAME	COMMON			SPACING	OTY	CONT.	WUCOL
$\overline{\odot}$	ART SCH BUL HAL			d Artemisia nge Bulbine		18° 0.C.	45 31	16 56	LOW
\odot	CAR DIV	Cares divujsa	Berkeery S	ecige		24° 0.C	26	1G	LOW
Survey.	CHO TEC	Chondropetatum tectorum	Cape Rush			36° 0.C.	5	5G	LOW
\otimes	HIB SYR	Hibiscus syriacus 'Diana'	Diana Rosi	e Of Sharon		PER PLAN	2	56	LOW
۲	BE SEM	beris sempervirens	Evergreen	Candytuft		18° 0.C.	32	16	LOW
0	LAV MEE	Lavandula 'Meerlo'	Variegated	Allard's Lavend	er	30° 0.C.	14	5G	LOW
\odot	LAV STO	Lavandula steechas 'Otto Qua	t' Otto Quast	Spanish Lavend	ler	24° 0.C	40	5G	LOW
1.1	LOM PLA	Lomandra 'Platinum Beauty'	Platinum B	eauty Lomandra		36° D.C.	14	5G	LOW
	POD MOR	Podocarpus alongatus 'Morma	icee Billoem	Yellow-Wood		48° 0.C.	9	156	LOW
õ	SAL BEE	Salvia leucophylla "Bees Bliss"		Purple Sate		42' 0.0-	47	56	LOW

Naringa Coast Resemary

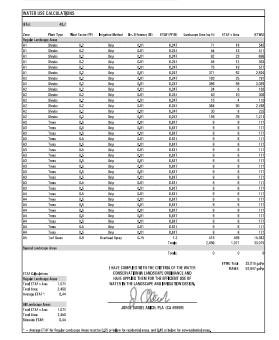
36°0.C. 20 56

LOW

(\cdot) TURF LEGEND

TURF LAWN 416 Square Feet 90% Tall Fescue / 10% Kentucky Bluegrass

WES FRU Westringia Fruticosa 'Naringa'



PLANTING NOTES

1. DRAWING CONFORMANCE All work shall conform to drawings and planting details. No deviations shall be accepted unless approved by the Owner's Benresentative.

2. SITE PREPARATION

Remove all venetation and deleterious materials not shown on man for retention. Test on site sols for horticultural suitability and amendments. Preserve all horticulturally suitable topsoil by stocknilling on site. Topsoil shall be replaced in planting areas to achieve final finish grades. Big and till areas to receive topsoil on the same day topsoil is relocated.

3 DRAINAGE

All softscapes and hardscapes shall slope to drain away from buildings towards drainage appurtenances at a rate of .5% minimum to 1% maximum, unless otherwise noted.

4. WORK IN RIGHT OF WAY

Any work conducted within the right of way or to be maintained by local jurisdictional agencies shall be installed per the latest edition of the agency construction standards, and all other agency requirements

5. UTILITY CLEARANCE

For all trees, a 5' minimum clearance shall be maintained from all water, electric and sanitary sewer utility lines. A 10' minimum clearance shall be maintained from all overhead utilities. All planting except low growing groundcover shall be 3' clear of all fire appurtenances per NFPA 18.5.7

6. SOIL TESTING

Contractor shall submit soil samples to a certified soil testing laboratory for the determination of soil suitability and amendments. Contractor shall amend soils per the recommendations provided in the soil analysis report at the rates prescribed by the soil testing laboratory. All tree planting pits shall be backfilled with amended planting soil per the soil analysis report. Contractor shall submit a copy of the soil analysis report to the Landscape Architect for review of compliance with Water Efficient Landscape Ordinance

7. PLANT STANDARDS

All plant material shall comply with ANSI Z60.1 "Standard For Nursery Stock," notes, and details on the drawings

8. SUBSTITUTIONS

Planting substitutions, if necessary, shall be submitted to the Landscape Architect for approval. Any substitutions made without the approval of the Landscape Architect shall be rejected. Substitutions shall be made at no additional cost to the owner.

9. TREE PLANTING

All planting pits shall be bermed to allow for appropriate drainage. In soils with slow percolation rates, planting pits shall be augured 12" dia, X 8' depth and filled with drain rock to prevent ponding. All planting pits shall drain completely within a time frame of 2 hours.

10. ROOT BARRIERS

Root control barriers shall be utilized at any sidewalks, curbs, or hardscapes that are within 5 feet of trees. Root barrier panels shall be 18" deep and span 10' feet to each side of the centenine of the tree.

11. TURF INSTALLATION

 Rototill or spade the area to a depth of 4 to 6 inches. Rake and smooth the soil, removing rocks, roots, and large clods

Ensure proper soil compaction of no more than 85% relative density. - Roll the area lightly with a lawn roller 1/3 full of water, maintaining the finish grade of soil 1 inch

below adjacent paving. · Water the prepared area to settle the soil and provide a moist base for turf. Moisten the soil to a

depth of 6 inches minimum, Install turf immediately upon delivery. In hot weather, protect unlaid turf by placing stacks in

shade, covering with moist burlap sacking, and/or sprinkling. Begin installing turf along the longest straight line, such as a driveway or sidewalk. Butt and push edges and ends against each other tightly, without stretching. Avoid gaps or overlaps. Stagger the joints in each row in a brick-like fashion at a minimum overlap of 2'. Avoid leaving small strips at outer edges as they will not retain moisture. On slopes, place the turf pieces across the slope. Begin watering turf within 30 minutes of installation. To avoid causing indentations or air pockets, avoid repeated walking or kneeling on the turf while it is being installed or just after watering. · After installation, roll the entire area to improve turf/soll contact and remove air pockets.

12. MULCHING

SEE SHEET L2.2 FOR

PLANTING DETAILS

A minimum 3 inch laver of mulch shall be applied on all exposed soil surfaces of planting areas except turf areas, creeping or rooting groundcovers, or direct seeding applications where mulch is contraindicated. Contractor shall submit a sample of proposed mulcination in the sample of proposed mulcination of the sample of herbicide to control weed prowth.

13. CERTIFICATE OF COMPLETION A Certificate of Completion shall be certified by the Landscape Contractor upon completion and final review of landscape installation and provided to the Owner's Representative for submittal to the local governing jurisdiction.

14. ESTABLISHMENT PERIOD The establishment period shall be a minimum of 60 calendar days commencing upon written verification of substantial completion by the Owner's Representative. Contractor shall observe and vigorous growth. Any planting in need of replacement shall trigger an additional establishment

period of 60 calendar days commencing on the date of replacement.

SCALE: 1/8" - 1"0"

L2.1



SKETCH

35 Addison Street, Suite / Berkeley, CA 94704 (510) 905-7444

L AVENUE CA 94025

519 CENTRAL , MENLO PARK, C

niers Take

-ANDSCAPE IMPROVEMENTS

Bavision No

Date

DESIGN REVIEW 2409-01 P1 D1 10/4/2024 519 Central Avenue www. PLANTING PLAN