

628 Santa Cruz Ave

Project Description

The project located at 628 Santa Cruz Ave consists of renovating an existing one-story commercial building with mezzanine of approximately 4,039 square feet. The previous use of the currently vacant suite consisted of a retail tenant. The purpose of the enclosed application is to renovate the Santa Cruz façade along with minor interior renovations. The new façade will consist of demolition of existing wood screen, awning and storefront. The new elevation will include an extension of the existing parapet, new aluminum storefront, composite wood and cement board siding and steel awning and cornice. Proposed work at the rear façade will be limited to the installation of new exterior storefront in recessed entrance and access doors. Interior work will be limited to a new accessible toilet room and mezzanine guardrail.

| ABBREVIATIONS | |
|---------------|--|
| A | And |
| ∠ | Angle |
| ⊖ | At |
| C | Centerline |
| φ | Diameter or Round |
| # | Pound or Number |
| (ED) | Existing |
| (EQ) | Acoustic |
| AD. | Area Drain |
| ADL | Adjustable |
| AGGR. | Aggregate |
| A | Aluminum |
| APPROX. | Approximate |
| ARCH. | Architectural |
| ASB. | Asbestos |
| ASPH. | Asphalt |
| B | Board |
| BTL. | Blumious |
| BL. | Blowing |
| B.C. | Block |
| B.L.G. | Blocking |
| B.M. | Beam |
| B.T. | Bottom |
| CAB. | Cabinet |
| C.B. | Castin Basin |
| CEL. | Cement |
| CER. | Ceramic |
| C.I. | Cast Iron |
| C.G. | Contra Guard |
| C.G. | Ceiling |
| CLM. | Calking |
| C.O. | Coast |
| CL | Clear |
| C.O. | Clear Opening |
| COL. | Column |
| CONC. | Concrete |
| CONN. | Connection |
| CONSTR. | Construction |
| CONT. | Continuous |
| CORN. | Corridor |
| CTSK. | Countertop |
| CNTN. | Counter |
| CTR. | Center |
| D | Double |
| DEPT. | Department |
| D.F. | Drinking Fountain |
| DET. | Detail |
| DI. | Diameter |
| D.M. | Dimension |
| DISP. | Dispenser |
| DN. | Down |
| D.O. | Door Opening |
| DR. | Door |
| DWR. | Drawer |
| D.S. | Downspout |
| D.S.P. | Dry Standpipe |
| DWD. | Dripping |
| E | East |
| E.A. | Each |
| E.L. | Expansion Joint |
| ELEC. | Electrical |
| ELV. | Elevator |
| EMER. | Emergency |
| ENCL. | Enclosure |
| EP. | Electrical Panel Board |
| EQ. | Equal |
| EQPT. | Equipment |
| E.W.C. | Electric Water Cooler |
| EXT. | Existing |
| EXPO. | Exposed |
| EXP. | Expansion |
| EXT. | Exterior |
| FA. | Fire Alarm |
| F.B. | Fast Bar |
| FD. | Floor Drain |
| FDN. | Foundation |
| FE. | Fire Extinguisher |
| F.E.C. | Fire Extinguisher Cab. |
| F.H.C. | Fire Hose Cabinet |
| FL. | Floor |
| FLASH. | Flashing |
| FLUOR. | Fluorescent |
| F.O.C. | Face of Concrete |
| F.O.F. | Face of Finish |
| F.O.S. | Face of Studs |
| F.P.F. | Fireproof |
| F.S. | Fire Stop |
| FT. | Foot or Feet |
| FTL. | Footing |
| FURB. | Furring |
| FUT. | Future |
| G.A. | Gauge |
| GALV. | Galvanized |
| G.B. | Grab Bar |
| G/A. | Glass / Aluminum |
| GND. | Ground |
| GSM. | Galvanized Sheet metal |
| H.M. | Hot/roll Metal |
| JAN. | Janitor |
| JT. | Joint |
| KIT. | Kitchen |
| LAB. | Laboratory |
| LAM. | Laminite |
| LAV. | Lavatory |
| LOCK. | Locker |
| L.T. | Light |
| MAX. | Maximum |
| M.C. | Medicine Cabinet |
| M.E.C. | Mechanical |
| MEM. | Membrane |
| MET. | Metal |
| MFR. | Manufacturer |
| M.M. | Membrane |
| MN. | Minimum |
| MIR. | Mirror |
| MISC. | Miscellaneous |
| M.O. | Masonry Opening |
| MTD. | Metric |
| MUL. | Mulion |
| N | North |
| N.C. | Not in Contract |
| N.O. | Number |
| NOM. | Nominal |
| N.T.S. | Not To Scale |
| O.A. | Overall |
| OSB. | OSB |
| O.C. | On Center |
| O.D. | Outside Diameter (Dim.) |
| OFF. | Office |
| OPEN. | Opening |
| OPP. | Opposite |
| OSB. | Oriented Strand Board |
| PRE-CAST | Pre-cast |
| P.L. | Plastic Laminite |
| P.L.A.S. | Plastic |
| PLUM. | Plumbed |
| PL. | Plug |
| P.T. | Point |
| P.T.D. | Paper Towel Dispenser |
| P.T.D./R. | Combination Paper Towel Dispenser & Receipte |
| P.T.D./R. | Partition |
| P. | Point |
| Q.T. | Quarry Tile |
| R. | Riser |
| RAD. | Radios |
| R.D. | Roof Drain |
| R. | Reference |
| REFR. | Refrigerator |
| REG. | Register |
| REIN. | Reinforced |
| RES. | Resin |
| R.H. | Room |
| R.O. | Rough Opening |
| R.R. | Raised |
| R.R. | Reason, Reasoned |
| R.R.L. | Rain Water Leader |
| S. | Stain |
| S.C. | Solid Core |
| S.C.D. | Self Cover Dispenser |
| SCHED. | Schedule |
| S.D. | Slope Dispenser |
| S.S. | Sheet |
| SECT. | Section |
| SH. | Sheet |
| SH. | Sheet |
| SIM. | Similar |
| S.M.D. | Sanitary Nook Dispenser |
| S.M.R. | Sanitary Nookin Specification |
| SPEC. | Specification |
| SO. | Square |
| S.S.D. | Self Storage Dispenser |
| S.S.T. | Stainless Steel |
| S.S.C. | Service Sink |
| STA. | Station |
| S.T.D. | Standard |
| STEEL | Steel |
| STR. | Structural |
| SUSP. | Suspended |
| SYM. | Symmetrical |
| T | Tread |
| T.B. | Towel Bar |
| T.C. | Top of Curb |
| T.C. | Telephone |
| TER. | Terrazzo |
| T & G. | Tongue & Groove |
| T.P. | Thick |
| T.P.O. | Top of Pavement |
| T.P.O. | Toilet Paper Dispenser |
| T.V. | Television |
| T.W. | Top of Wall |
| TYP. | Typical |
| W | WOOD |
| W | WATER PROOF |

| GENERAL NOTES |
|--|
| <ol style="list-style-type: none"> All construction and materials shall be as specified and as required by the current addition of the CBC, Local Codes and authorities. The General Contractor shall be responsible for the accurate placement of the building on the site. The General Contractor shall verify all dimensions and site conditions before starting work. Should a discrepancy appear in the specifications or drawings, or in the work done by others from the construction documents that affect any work, notify the Architect at once for instruction on how to proceed. If the contractor proceeds with the work affected without instructions from the Architect, the Contractor shall make good any resulting damage or defect to the satisfaction of the Architect. Should a conflict occur in or between drawings and specifications, or where detail references on contract drawings have been omitted, the Contractor is deemed to have estimated the most expensive materials and construction method involved, unless a written decision from the Architect has been obtained which describes an alternate method and/or materials. The General Contractor shall confine his operations on the site to areas permitted by the Owner. The work shall be done in accordance with applicable laws, local ordinances, permits and the Contract Documents. The job site shall be maintained in a clean, orderly condition free of debris and litter, and shall not be unreasonably encumbered with any materials or equipment. Each sub-contractor immediately upon completion of each phase of his work shall remove all trash and debris as a result of his operation. All materials stored on the site shall be properly stacked and protected to prevent damage and deterioration until use. Failure to protect materials may be cause for rejection of work. The Contractor shall do all the cutting, fitting, or patching of his work that may require to make its several parts fit together properly and shall not endanger any other work by any part of it. All patching, repairing and replacing of materials and surfaces, cut or damaged in execution of work, shall be done with applicable materials so that surfaces replaced will, upon completion, match surrounding similar surfaces. Contractor shall coordinate blocking requirement for all trades with framing contractor. Provide all necessary blocking, backing and framing for light fixtures, electric units, and all other items requiring same. No portion of the work requiring a shop drawing or sample submission shall be commenced until the submission has been approved by the Architect. All such portions of the work shall be in accordance with approved shop drawings and samples. INDOOR MOISTURE CONTROL S.505.1 Indoor moisture control. Buildings shall meet or exceed the provisions of California Building Code, CBCR, Title 24, Part 2, Sections 1203 (Ventilation) and Chapter 14 (Exterior Walls). For additional measures not applicable to low-rise residential occupancies, see Section 5.407.2 of this code. |

| RENDERING | |
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| PROJECT DATA |
|---|
| BUILDING ADDRESS: 628 SANTA CRUZ AVE, CA |
| APN: 071-022-170 |
| LOT: 3,039.50 SQ.FT |
| PLANNING ZONE: SP-ECH-D |
| OCCUPANCY TYPE: M |
| CONSTRUCTION TYPE: V-N |
| NUMBER OF STORIES: ONE |
| WOOD WATER PROOF |
| BUILDING AREA: GROUND FLOOR: 2,992.24 SF MEZZANINE: 1,883.33 SF TOTAL: 4,039.57 SF |
| PROJECT SUITE AREA: 4,039.57 SF |

| SCOPE OF WORK |
|---|
| FACADE REMODEL AND MINOR INTERIOR RENOVATION |
| EXTERIOR: |
| <ol style="list-style-type: none"> REMOVE EXISTING BRICK VENEER, WINDOW, WOOD SCREEN AND STOREFRONT, WINDOW AND DOOR AT REAR ELEVATION MODIFY EXISTING INTERIOR ELEVATION NEW EXTERIOR STOREFRONT, PARAPET, SIDING NEW STEEL AWNING NEW EXTERIOR DOORS |
| INTERIOR: |
| <ol style="list-style-type: none"> REMOVE EXISTING INTERIOR PARTITIONS, DOORS, PLUMBING FIXTURES, CEILING, FLOORING AND FINISHES. NEW INTERIOR PARTITIONS NEW INTERIOR DOORS NEW GUARDRAIL AT SECOND FLOOR NEW PLUMBING FIXTURES |

| PROJECT ROSTER |
|---|
| OWNER: STANLEY & HELEN YOUNG TRUST P.O. BOX 747 SAN MATEO, CA, 94401 (650) 888-2872 ARCHITECT: THE HAGMAN GROUP 1155 CRANE STREET, #4 MENLO PARK, CA, 94025 (408) 241-1433 |

| APPLICABLE CODES - CBC 2019 |
|---|
| <ul style="list-style-type: none"> - 2019 CALIFORNIA BUILDING CODE - 2019 CALIFORNIA RESIDENTIAL CODE - 2019 CALIFORNIA ELECTRICAL CODE - 2019 CALIFORNIA MECHANICAL CODE - 2019 CALIFORNIA PLUMBING CODE - 2019 CALIFORNIA ENERGY CODE - 2019 CALIFORNIA HISTORICAL BUILDING CODE - 2019 CALIFORNIA EXISTING BUILDING CODE - 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE CITY OF MENLO PARK, CA LOCAL CODES and ORDINANCES. |

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628 SANTA CRUZ AVE

MENLO PARK

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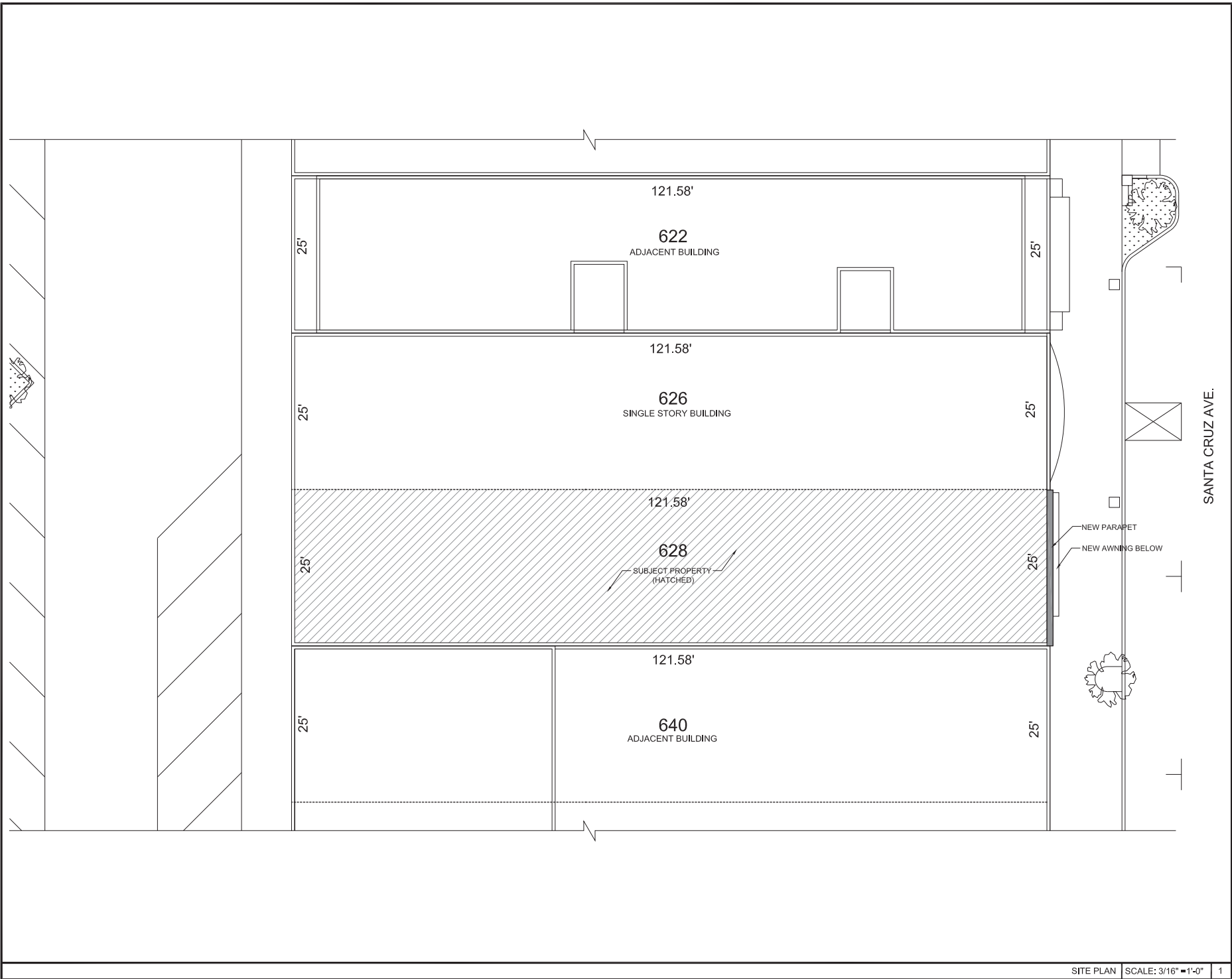
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COVER SHEET

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| VICINITY MAP |
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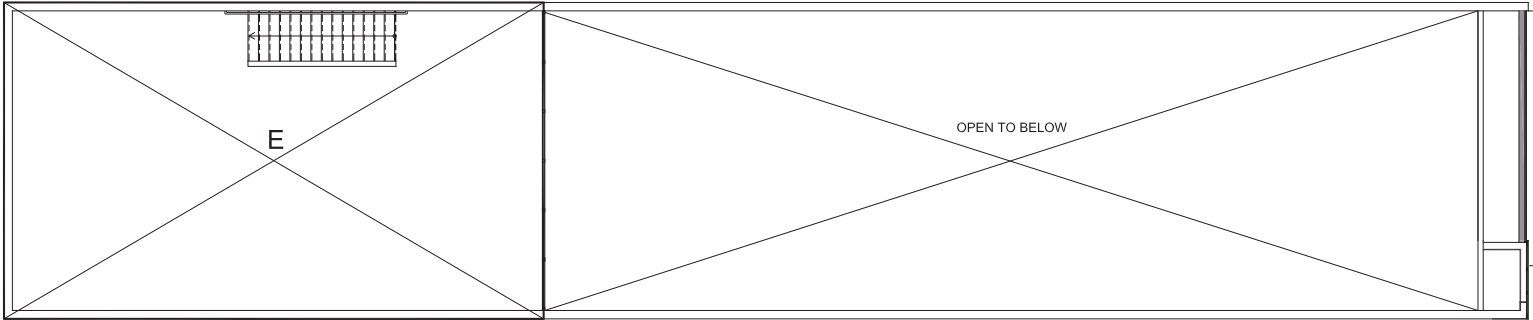


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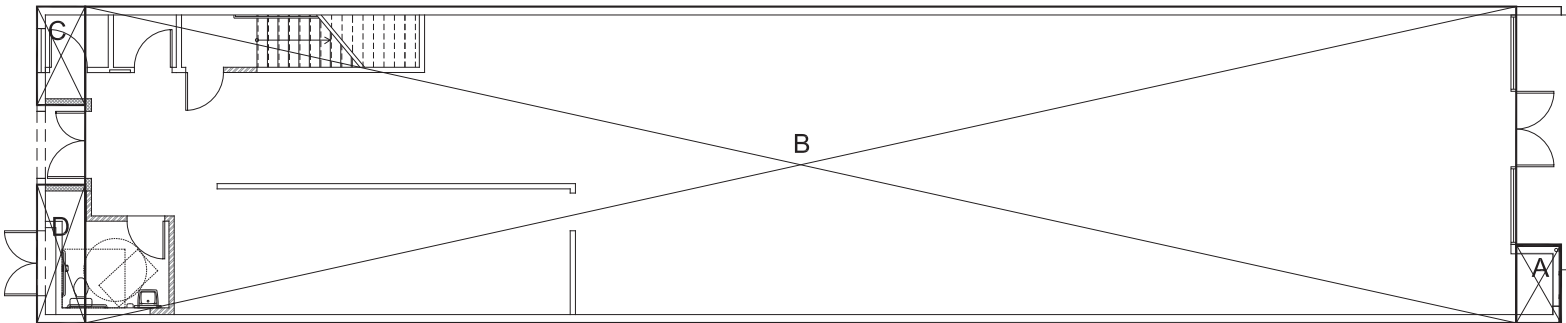
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SITE PLAN

| | |
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MEZZANINE



GROUND FLOOR

| FIRST FLOOR | |
|-----------------------|-------------|
| A - 3'-0" x 6'-2" | 22.26 SF |
| B - 113'-10" X 25'-2" | 2,864.8 SF |
| C - 3'-10" X 7'-10" | 30.02 SF |
| D - 3'-10" X 11'-0" | 42.16 SF |
| TOTAL | 2,959.24 SF |
| MEZZANINE | |
| E - 42'-11" X 25'-2" | 1080.33 SF |
| BUILDING AREA | 4,039.57 SF |

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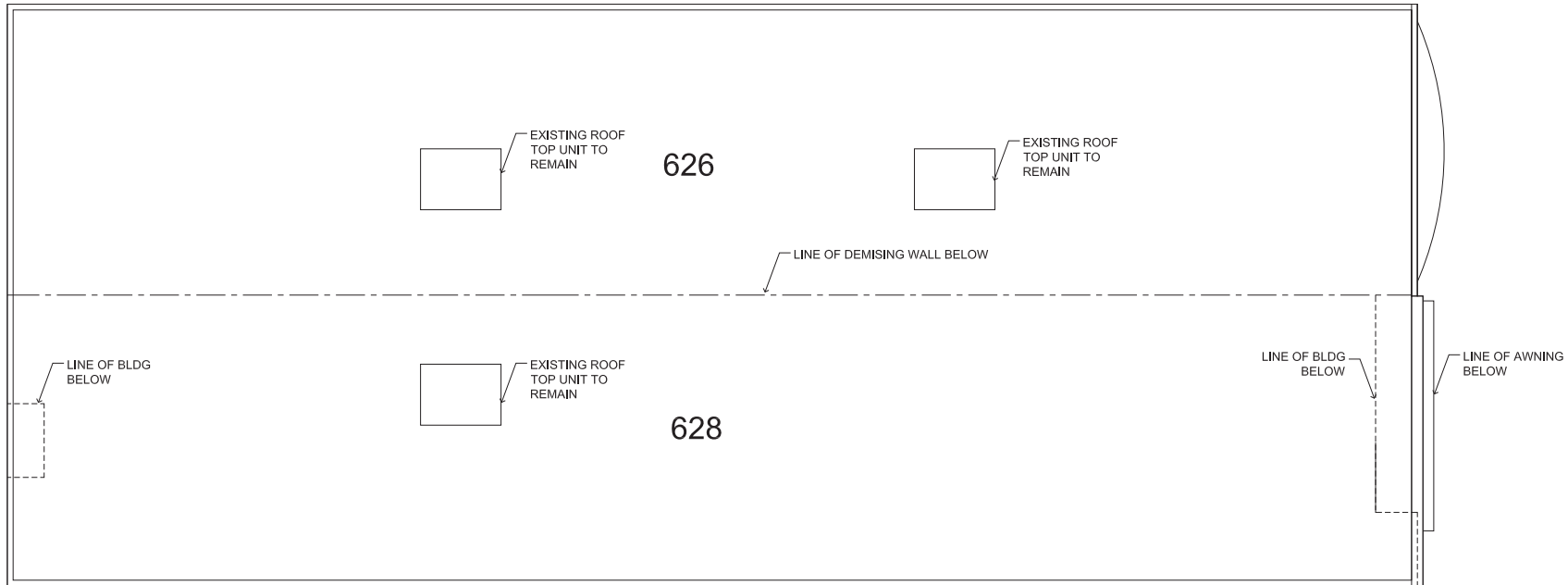
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AREA CALCULATION PLANS

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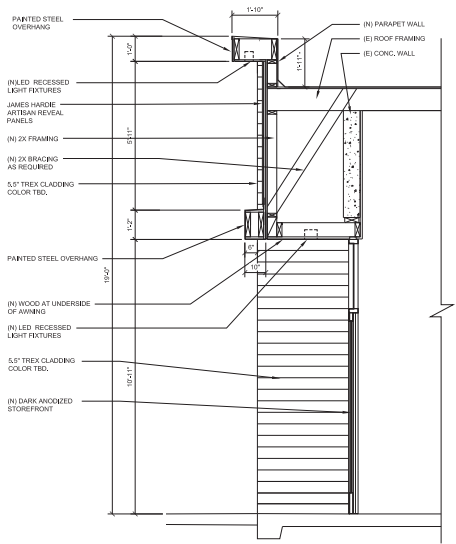


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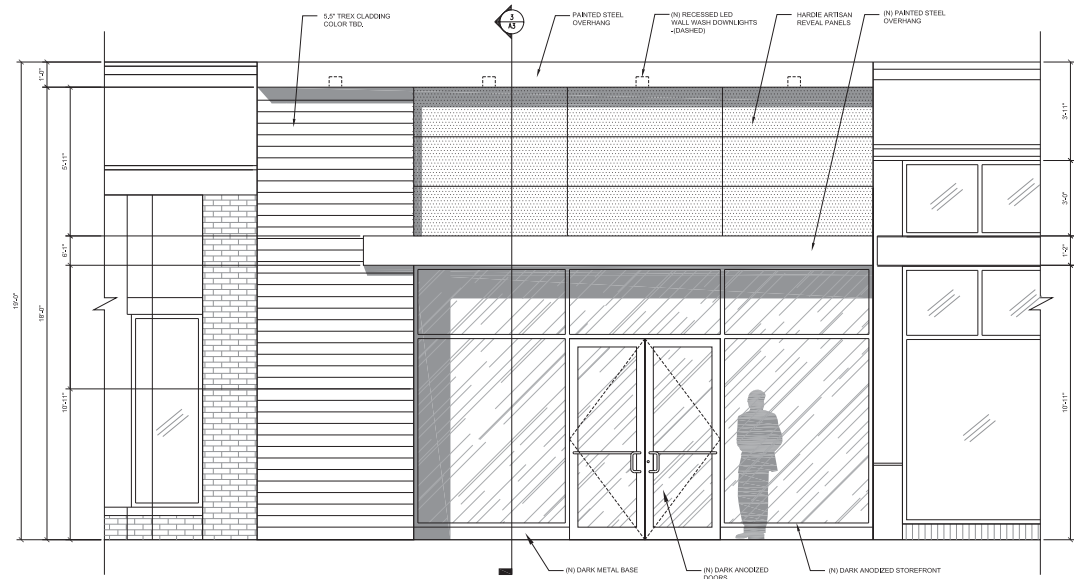
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ROOF PLAN

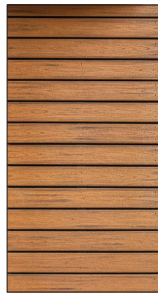




PROPOSED SECTION SCALE: 1/2" = 1'-0" 3



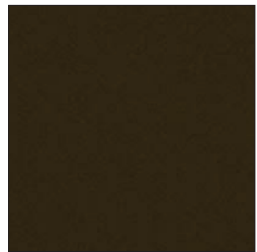
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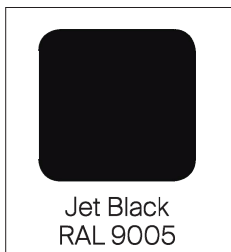
TREX SIDING



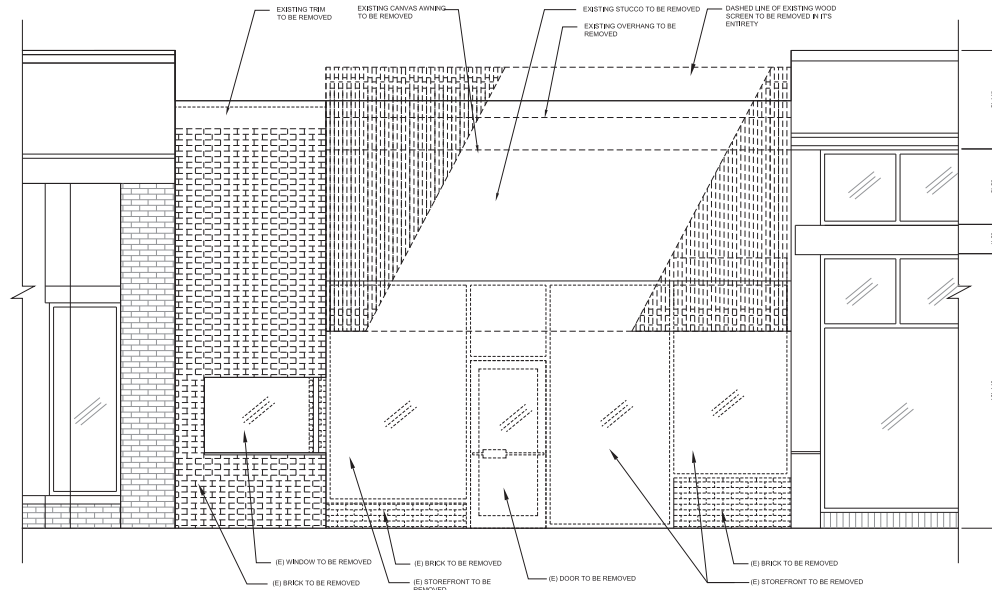
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DARK BRONZE ALUMINUM STOREFRONT



STEEL PAINT AT AWNINGS



EXISTING / DEMOLITION EXTERIOR FACADE SCALE: 1/2" = 1'-0" 1

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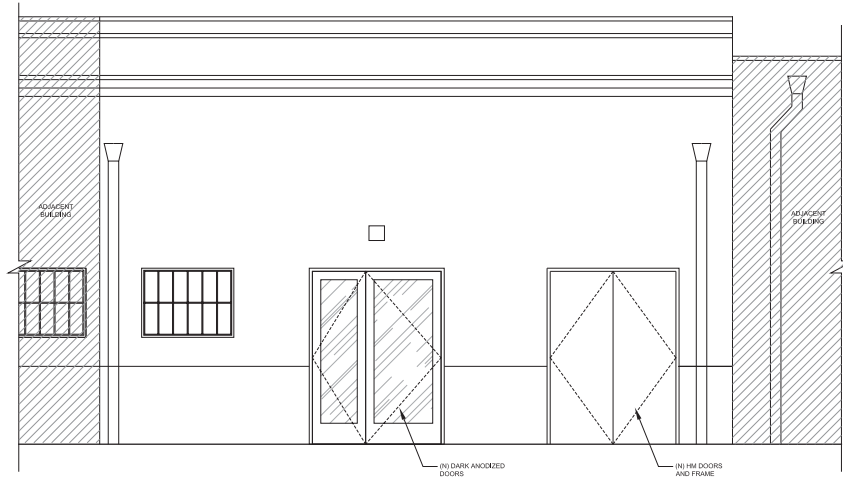


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PROPOSED / DEMOLITION EXTERIOR FRONT ELEVATION

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PROPOSED REAR EXTERIOR FACADE SCALE: 1/2" = 1'-0" 2

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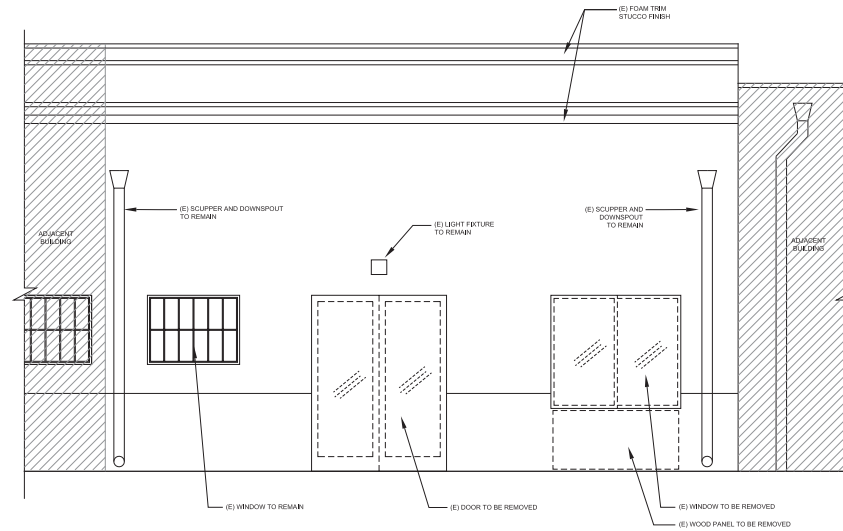
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PROPOSED /
DEMOLITION
EXTERIOR
REAR ELEVATION



EXISTING / DEMOLITION REAR EXTERIOR FACADE SCALE: 1/2" = 1'-0" 1

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640 SANTA CRUZ AVE



626 -628 SANTA CRUZ AVE



626 - 622A SANTA CRUZ AVE



628 REAR ELEVATION



611-633 SANTA CRUZ AVE



635 SANTA CRUZ AVE

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EXISTING PHOTOGRAPHS

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