

## **Project Description**

### **Introduction:**

The subject property is an R2 sub-standard lot in the Allied Arts neighborhood comprising currently of a 1-story ranch style home with no detached accessory structures and no garage. The applicant hereby proposes to demolish the existing structure and construct two new two-story, single-family homes, each with an attached ADU and an attached 1-car covered garage.

### **Design style and exterior:**

The architectural style of both residences would be contemporary Craftsman style with white batten board siding, black trimmed windows, and gable roofs with black shingles. This kind of Craftsman architectural style is seen in quite a few existing residences in Allied Arts as well as in upcoming new constructions like those at 752 College Ave and 848 College Ave.

The two residences would vary slightly in design and layout. The front house (Unit #1) would be a 1-bedroom, 1.5 bathroom house located entirely on the 1<sup>st</sup> level, with an attached ADU of 3-bedroom/3-bathroom located entirely on the 2<sup>nd</sup> level. The ADU would have it's own separate entry on the 1<sup>st</sup> level though. Similarly, the rear house (Unit #2) would be a 1-bedroom, 1.5 bathroom house on the 1<sup>st</sup> level. It's attached ADU, located entirely on 2<sup>nd</sup> level, would have 3-bedroom/2-bathrooms, and a separate entry on the 1<sup>st</sup> level. Both the homes would also feature front open porches not contributing to site coverage. Additionally, the front house would have a decent size open space (patio) on it's left rear end (after it's garage) while the rear house would have a more conventional > 20' deep backyard.

### **Parking:**

The property is located within one-half mile of a major transit corridor (El Camino Real). Therefore the property is subject to the provisions of AB-2097 which precludes the City from requiring a minimum parking requirement in this location for both the main units and the ADUs. The property is also within a mile from major transit stops like both Menlo Park Caltrain and Palo Alto Caltrain, apart from several bus stops.

However, applicant is hereby proposing to provide adequate parking to both residences for both the main homes and the ADU's. Each unit will individually have one covered parking in the form of an attached garage, one uncovered parking, and one uncovered ADU parking. So a total of six parking spaces. A new driveway would also be constructed in a similar location as the existing driveway to sever vehicular entry/exit for the rear home.

### **Utilities:**

Both the single family homes would have their own joint trenches for dry utilities like Pg&E and communication. For wet utilities, applicant hereby proposes to have two separate water meters served from the single existing water line. Similarly, for sewer, the 2 homes would connect to main city sewer through the same existing sewer lateral.

### **Square feet, FAL, Landscape, and Site coverage calculations:**

Please refer to the tables on plan sheets on A2.1 and A3.1. Applicant also wants to bring to staff's attention that the main aspect in this application is the provision of an attached ADU for each home where the first 800 sq-ft of each ADU is exempt from FAL, site coverage, and 2<sup>nd</sup> floor area limits. In this respect, thanks to staff for providing the recently approved 734 Partridge Ave in the same neighborhood as a reference project in line with the applicant's desires and objectives. The applicant strongly believes in helping Menlo Park reach it's housing goals in sync with the state's acute housing shortage, but staying within all development and zoning guidelines.

**Trees and landscaping:**

Applicant hereby requests the permission to remove certain heritage and non-heritage trees that would otherwise impede development and/or increase project costs significantly. In return, applicant would also like to plant 14 new trees along the rear fence line of the rear home. These trees would not only help to provide privacy to the rear home (against a whole series of new homes built behind it) but would also preserve the urban forestry of Menlo Park.

**Neighbor outreach:**

Applicant bought the property very recently in May'2025 with the primary aim of development and is fairly new to the neighborhood. However, applicant has already talked to the right neighbor (Andy Russell) owning and residing at 628 Cambridge and Andy is very supportive of new construction. Similarly, applicant has also talked to left owner neighbor - Elizabeth Lewis (aka Liz) of 662 Cambridge, who also happens to be the mayor of neighboring city, Atherton. Liz is supportive of applicant's new construction, and has additionally given her permission towards the removal of a redwood heritage tree, jointly occupying both lots.

# 1 PLOT PLAN

SCALE 1/8"=1'-0"

# 2 GENERAL NOTES

1. CONTRACTOR AND SUB CONTRACTOR SHALL VERIFY ALL TRADES, DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH JOB AND SHALL NOTIFY THE DESIGNER, ENGINEER IMMEDIATELY IN THE EVENT OF DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THE DRAWINGS.
2. THE DRAWING AND SPECIFICATIONS ARE PREPARED FROM INFORMATION PROVIDED BY CLIENT/OWNER. THE DESIGNER/ENGINEER HAS MADE EVERY EFFORT TO MAINTAIN A HIGH STANDARD OF ACCURACY. SHOULD A DISCREPANCY ARISE BETWEEN DRAWINGS AND FIELD CONDITIONS, IT SHALL BE BROUGHT TO ATTENTION OF GENERAL CONTRACTOR AND TO DESIGNER/ENGINEER FOR CLARIFICATION PRIOR TO CONTINUING WITH THE WORK. DESIGNER/ENGINEER SHALL NOT BE HELD RESPONSIBLE FOR WORK THAT DIFFERS FROM THAT SHOWN ON, OR FOR WORK NOT PREPARED IN A GOOD WORKMANSHIP MANNER.
3. DO NOT SCALE THE DRAWING. IF NEEDED, CONSULT DESIGNER/ENGINEER FOR CLARIFICATION.
4. IN THE ABSENCE OF ANY MATERIAL DESCRIPTION IN PART OF WHOLE, THE CONTRACTOR SHALL FINISH AND INSTALL ALL COMPONENTS NECESSARY FOR COMPLETION OF THE WORK IN EQUIVALENT QUALITY OF SPECIFIED CONSTRUCTION TO THE SATISFACTION OF THE OWNER, DESIGNER/ENGINEER.
5. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS INCLUDING NOT LIMITED TO STRUCTURAL, FOUNDATION, ELECTRICAL, MECHANICAL AND PLUMBING REQUIREMENTS PRIOR TO THE START OF THE JOB.
6. ALL WORK SHALL COMPLY WITH THE LATEST EDITION OF APPLICABLE CODES, AND ALL LOCAL ORDINANCES.
7. THIS PROJECT CONFORMS TO CONVENTIONAL CONSTRUCTION PROVISIONS OF CBC 2308.
8. DUCT EXTENSION OF 40' OR MORE REQUIRES HERS VERIFICATION.
9. LEAD SAFE WORK PRACTICES RE REQUIRED BY STATE OF CALIFORNIA LAW FOR ALL WORK THAT DISTURBS PAINT IN PRE-1978 RESIDENTIAL BUILDINGS DUE TO THE POSSIBLE PRESENCE OF LEAD-BASED PAINT. AS OF APRIL 22, 2010, THE US ENVIRONMENTAL PROTECTION AGENCY (EPA) REQUIRES ALL WORKERS WHO DISTURB PAINTED SURFACES TO BE TRAINED AND ALL FIRMS TO BE EPA CERTIFIED IN LEAD SAFETY. FOR MORE INFORMATION, CONTACT EPA AT [WWW.EPA.GOV/LEAD](http://WWW.EPA.GOV/LEAD)
10. THE FINISH GRADE AROUND ALL STRUCTURES SHALL SLOPE AWAY FROM THE FOUNDATION A MINIMUM OF 5% FOR A MINIMUM DISTANCE OF 10 FEET (CBC 1804.3). TO SLOPE AWAY FROM NEIGHBORING PROPERTIES AND TO LANDSCAPING AS MUCH AS POSSIBLE. ROOF DRAINAGE SYSTEM AND ITS DISCHARGE TO 5 FEET MINIMUM FROM FOUNDATION TO AN APPROVED DRAINAGE SYSTEM. CRC 801.3 DOWN SPOUTS TO HAVE SPLASH BLOCKS.

# 3 VICINITY MAP

N.D.T.S.



# 4 DRAWING INDEX

## DRAFTING

- A1 TITLE PAGE
- A1.1 PLOT PLAN
- A1.2 DEMO PLAN
- A1.2 NOTES
- A2.0 FLOOR PLAN
- A2.1 BLOCK DIAGRAM
- A2.2 ROOF PLAN SECTION
- A2.3 ELEVATIONS
- A3.0 FLOOR PLAN
- A3.1 BLOCK DIAGRAM
- A3.2 ROOF PLAN SECTION
- A3.3 ELEVATIONS

- L1 LANDSCAPE
- L2 LANDSCAPE

# 5 SCOPE OF WORK

- DEMO EXISTING SINGLE STORY HOME SFR WITH 2 BEDROOMS 1 BATH
- CONSTRUCTION OF 2 NEW SINGLE FAMILY RESIDENCES WITH SECOND FLOOR ADUS.
- FRONT HOUSE 1 BEDROOM 1.5 BATH ON MAIN LEVEL
- ADU ENTRY ON FIRST FLOOR WITH 3 BEDROOMS 3 BATHROOMS AND KITCHENETTE
- REAR HOME 1 BEDROOM 1.5 BATHS ON MAIN LEVEL
- ADU ENTRY ON FIRST FLOOR WITH 3 BEDROOMS 2 BATHROOMS AND KITCHENETTE

# 6 APPLICABLE CODES

- 2022 CBC, CMC, CPC, CEC
- 2022 CALIFORNIA RESIDENTIAL CODES
- 2022 INTERNATIONAL BUILDING CODE
- 2022 CALIFORNIA ENERGY CODE
- 2022 CALIFORNIA GREEN BUILDING STANDARDS
- 2022 CITY OF MENLO PARK MUNI. CODE
- 2022 CALIFORNIA FIRE CODE

# 7 PROJECT TEAM

**DESIGNER**  
AIASSA DESIGNERS  
JEANNIE KESTER  
654 NEILL CT  
FRENCH CAMP, CA. 95231  
(408) 230-2989  
JAIASSA@YAHOO.COM

**HOME OWNER**  
TITO  
636 CAMBRIDGE AVE.  
MENLO PARK CA. 94025  
408-204-2486

**ARBORIST**  
KAITLYN MEYER  
CERTIFIED ARBORIST #WE-14992A  
BO FIRESTONE TREES & GARDENS  
P: 408.884.4100 (CALL OR TEXT)  
SERVING THE BAY AREA  
WWW.BOIRESTONE.COM

# 8 PROJECT DATA/DESCRIPTION

APN: 071413240  
ZONING DISTRICT: R2  
YEAR BUILT: 1922  
LOT SIZE: 7,340 SQ FT  
EXISTING LIVING SPACE TO BE DEMOED: 1,220 SQ FT

CONSTRUCTION TYPE: VB  
EXISTING OCCUPANCY TYPE: R3  
PROPOSED OCCUPANCY TYPE: R3-U  
(E)NON FIRE SPRINKLERED

SEE AREA CALCULATIONS AND LOT COVERAGE ON SHEET A2.1 AND A3.1

636 CAMBRIDGE AVE  
2 CUSTOM HOMES W/ADU'S  
636 CAMBRIDGE AVE.  
MENLO PARK CA. 94025

TITLE PAGE

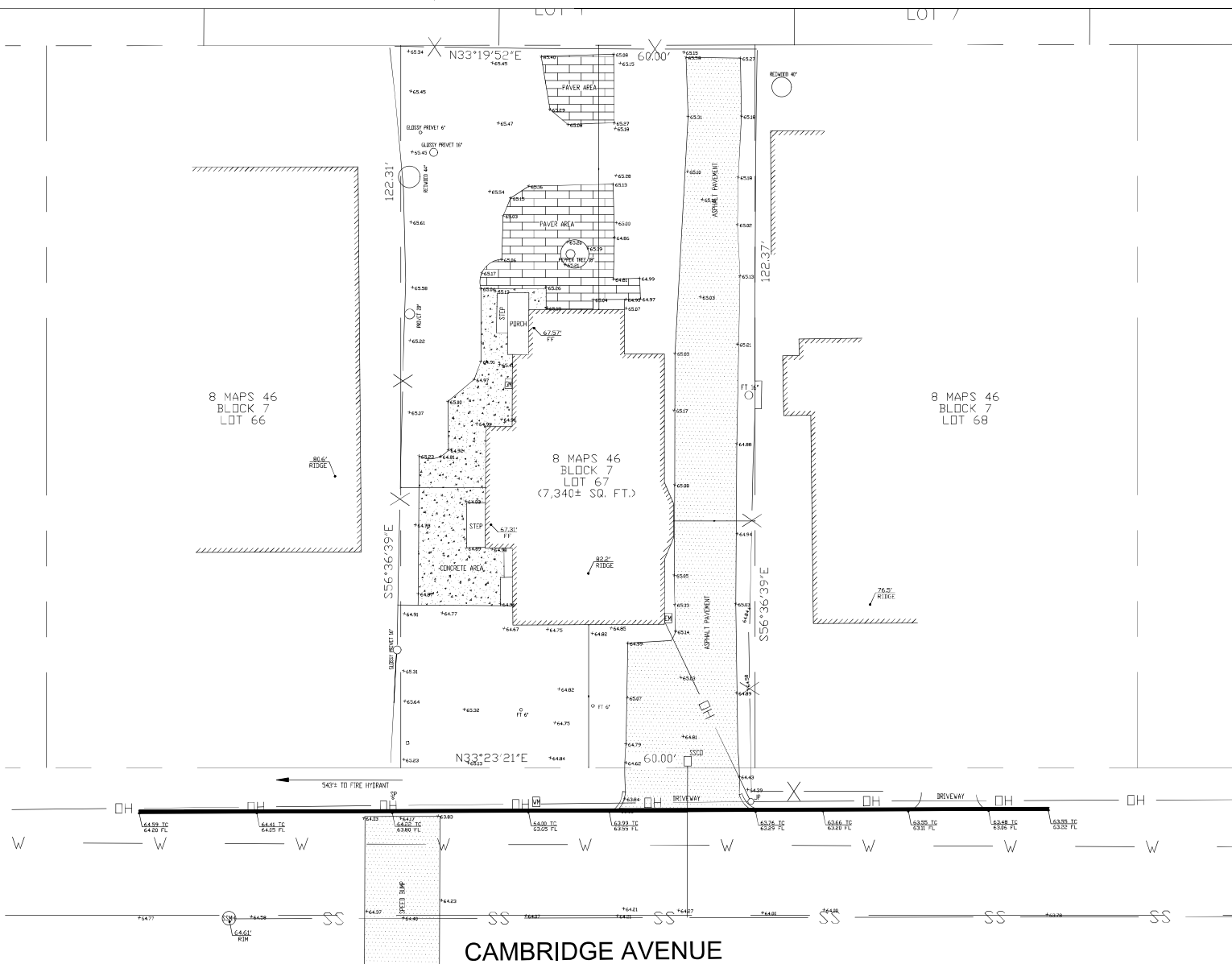
DESIGN TEAM AND ADDRESS  
AIASSA DESIGNERS  
JEANNIE KESTER  
654 NEILL CT  
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JAIASSA@YAHOO.COM

PROJECT NAME AND ADDRESS  
TITO  
636 CAMBRIDGE AVE.  
MENLO PARK CA. 94025  
408-204-2486

Project: 2 CUSTOM HOMES/ADUS  
Date: 08-07-2025  
Sheet: A1  
Varies

① EXISTING PLOT PLAN FOR DEMO

SCALE 1/8"=1'-0"



No.	Revision/Issue	Date
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DEMO

**Drawers Name and Address**  
**AIASSA DESIGNERS**  
**JEANNIE KESTER**  
**654 NEILL CT**  
**FRENCH CAMP, CA. 95231**  
**(408)230-2989**  
**AIASSA@YAHOO.COM**

Project Name and Address

III  
636 CAMBRIDGE AVE,  
MENLO PARK CA. 94025  
408-204-2486

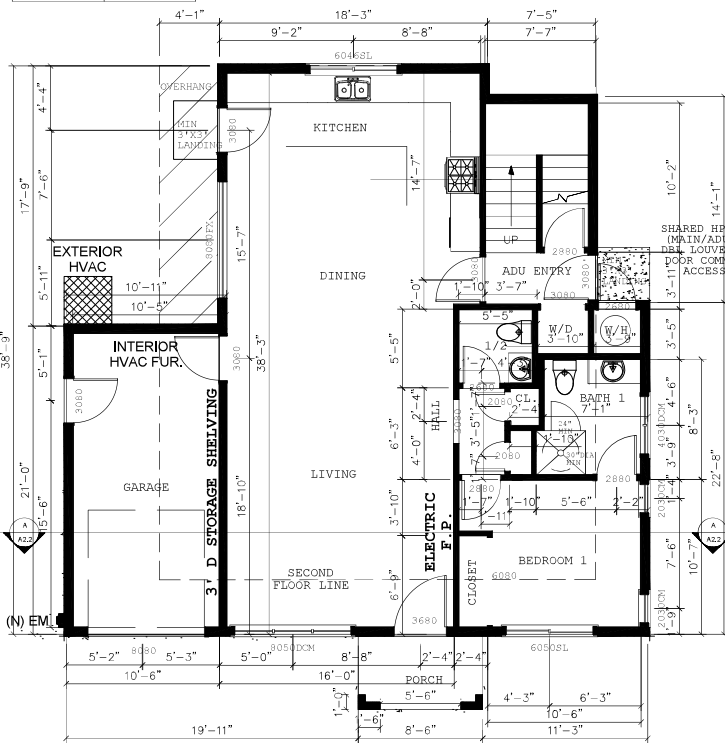
Project 2 CUSTOM  
HOMES/ADUS

Date	08-07-2025
Scale	VARIES

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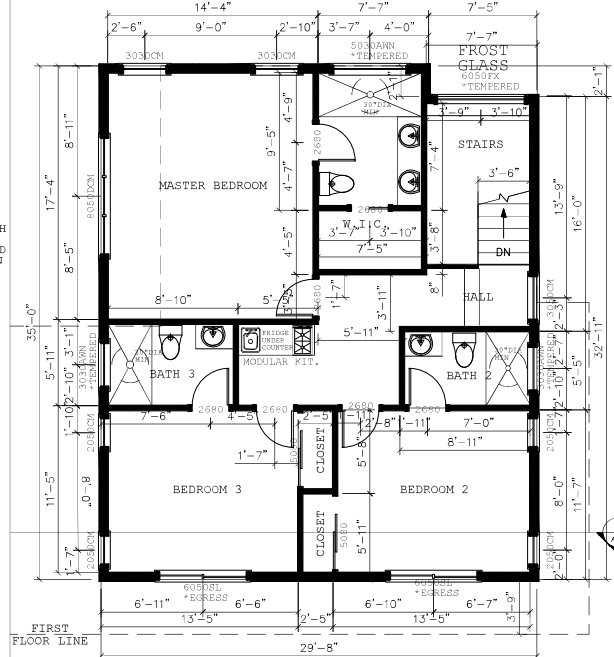
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SCALE 1/4"=1'-0"



# ② SECOND FLOOR

SCALE 1/4"=1'-0"



# ③ STREET SCAPE

SCALE 1/8"=1'-0"



FLOOR PLANS  
FRONT HOME

DESIGN TEAM AND ADDRESS:  
AARSA DESIGNERS  
JEANNE KESTER  
634 NELL CT  
FRENCH CAMP, CA 95231  
408.210.0289  
AARSADESIGNERS.COM

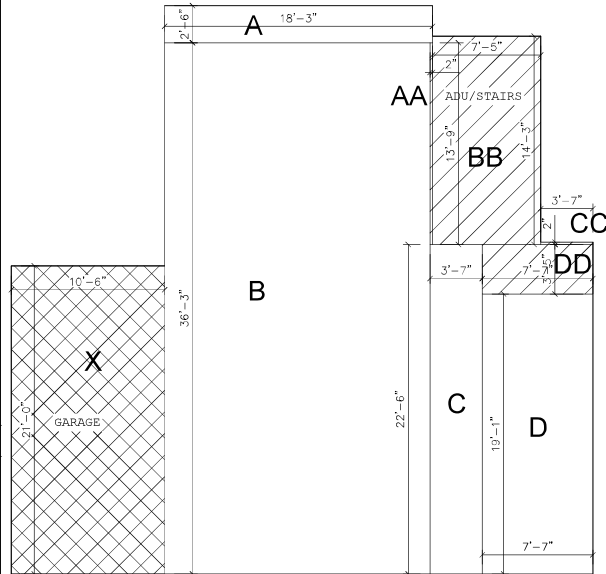
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1710  
636 CAMBRIDGE AVE,  
MENLO PARK CA 94025  
408-224-2486

Project: 2 CUSTOM  
HOMES/ADUS  
Date: 08-07-2025  
Drawn: VARIES

A2.C

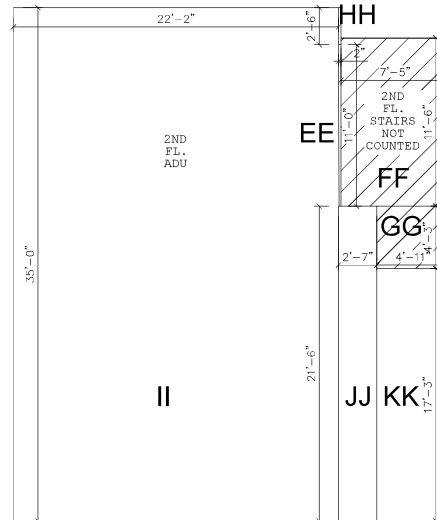
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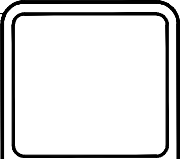
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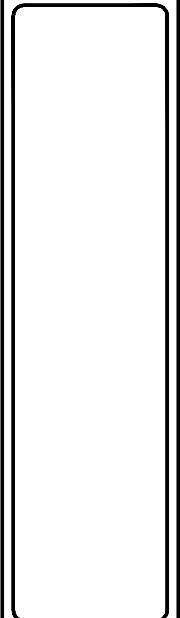
# ③ AREA CALCULATIONS

1ST FLOOR SIZE	AREA
A	2'-6"X18'-3" 46 SQ FT
B	18'-3"X36'-3" 663 SQ FT
C	3'-7"X22'-6" 81 SQ FT
D	7'-7"X19'-1" 145 SQ FT
TOTAL	935 SQ FT
X	10'-7"X21'-0" 220 SQ FT
TOTAL GARAGE	220 SQ FT
AA	2"X13'-9" 2 SQ FT
BB	7'-5"X14'-3" 106 SQ FT
CC	2"X3'-7" 1 SQ FT
DD	3'-5"X7'-7" 26 SQ FT
ADU & STAIRS	135 SQ FT
TOTAL LOT COVERAGE	1,290 SQ FT
SECOND FLOOR ADU	
EE	2"X11'-0" 2 SQ FT (STAIRS)
FF	7'-5"X11'-6" 85 SQ FT (STAIRS)
GG	4'-3"X4'-11" 21 SQ FT
HH	2"X2'-6" 0 SQ FT
II	22'-2"X35'-0" 776 SQ FT
JJ	2'-7"X21'-6" 56 SQ FT
KK	4'-11"X17'-3" 85 SQ FT
TOTAL NOT INCLUDING EE&FF	938 SQ FT
TOTAL ADU BOTH FLOORS	1,073 SQ FT

Constraints (Maximum allowable)	% of lot area	In sq-ft
Lot area (122,221 ± 62')	100%	7,359
FAL allowed	40%	2,935
Total non-exempt 2nd floor area allowed	15%	1,101
Minimum landscape area needed	40%	2,935
Site coverage allowed	33%	2,569
Fundamental area and FAL's	Front home	Rear home
First floor living sq-ft	935	916
Covered garage	220	226
Main Home	1,155	1,143
Second floor area (completely ADU)	938	852
Stairs counted once (belonging to ADU)	87	110
ADU entry (belonging to ADU)	48	27
Total ADU area:	1,073	989
ADU area exempt from FAL site coverage	800	800
ADU area after exemption	273	189
FAL limit calculations		
Floor area limit (ADU + main home + garage)	1,428	1,331
Total non-exempt area of both homes for FAL calculation	2,750	
Total FAL as % of lot area	37.66%	
2nd Floor limit calculations		
Second floor area after 800 sq-ft ADU exemption	138	52
Total non-exempt 2nd floor area	190	
Total non-exempt 2nd floor area as % of lot	2.58%	
Landscape area		
Driveway	399	897
Building	1,530	1,279
Total non-landscape area	1,680	2,176
Total non-landscape area of whole lot	3,865	
Non Landscape %	52.67%	
Landscape % of whole lot	47.33%	
Building coverage or site coverage		
Building	1,290	1,279
Total	2,569	
Site coverage %	35.06%	



No.	Revision/Issue	Date



BLOCK DIAGRAM  
FRONT HOME

Project Name and Address  
AARSA DESIGNERS  
JEANNE KESTER  
654 NELL CT  
FRENCH CAMP, CA 95231  
(408) 340-0289  
JKESTER@AARSA.COM

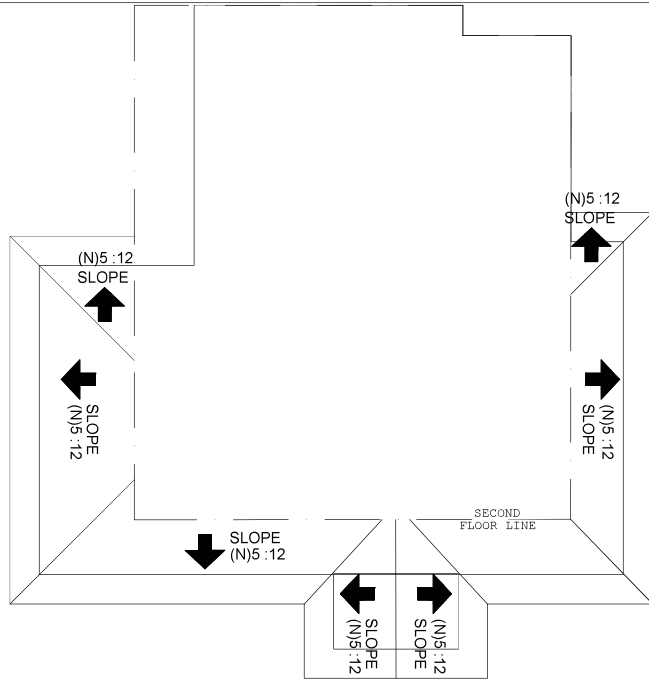
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WFO  
636 CAMBRIDGE AVE,  
MENLO PARK CA 94025  
408-204-2486

Project: 2\_CUSTOM HOMES/ADUS  
Date: 08-07-2025  
Site: VARIES

A2.1

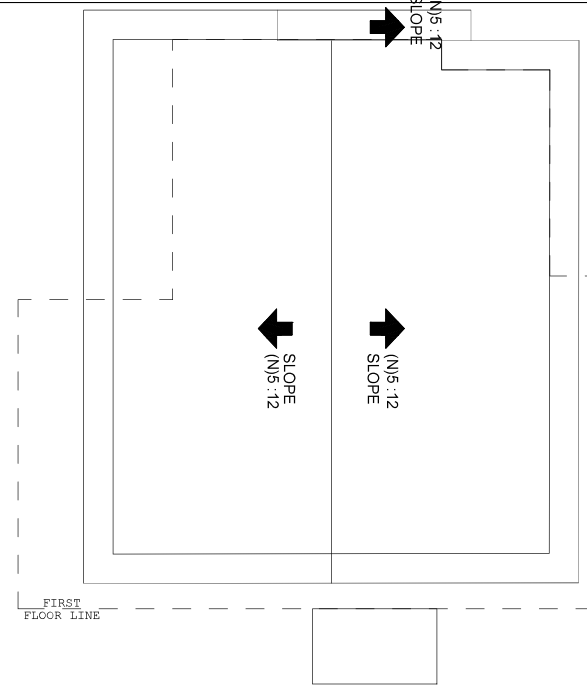
① FIRST FLOOR ROOF

SCALE 1/4"=1'-0"



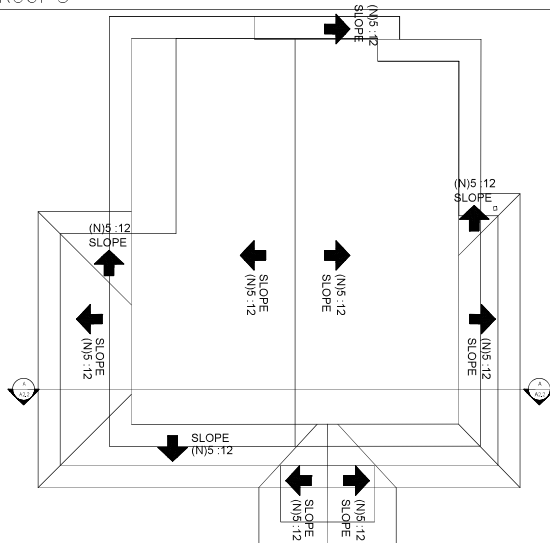
② SECOND FLOOR ROOF

SCALE 1/4"=1'-0"

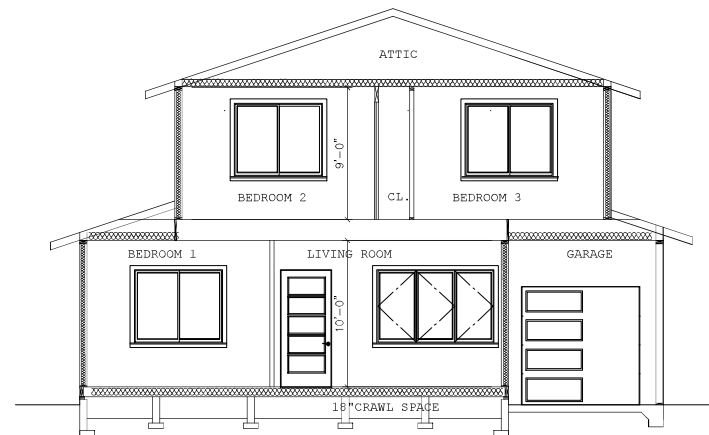


③ BOTH ROOF'S

SCALE 3/16"=1'-0"



④ SECTION A-A



ROOF PLANS  
FRONT HOME  
SECTION

Project Name and Address  
AARSA DESIGNERS  
JEANNE KESTER  
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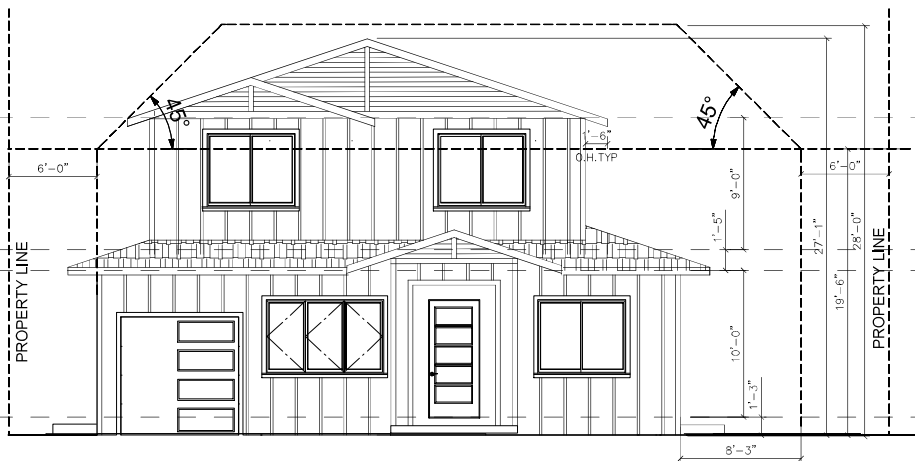
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TITO  
636 CAMBRIDGE AVE,  
MENLO PARK CA 94025  
408-204-2486

Project 2, CUSTOM  
HOMES/ADUS  
Date 08-07-2025  
Author VARIES

A2.2

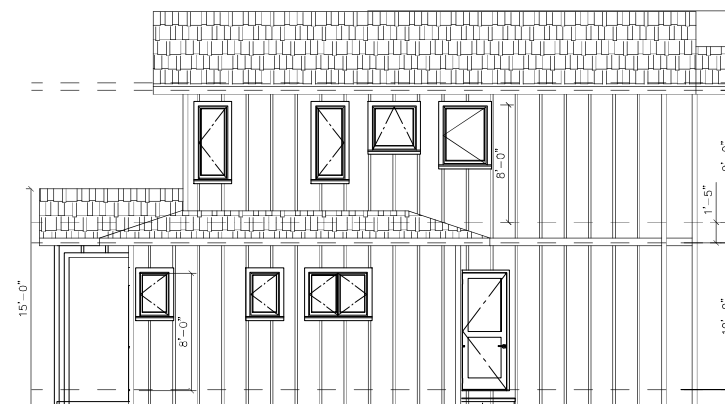
① FRONT ELEVATION

SCALE 1/4"=1'-0"



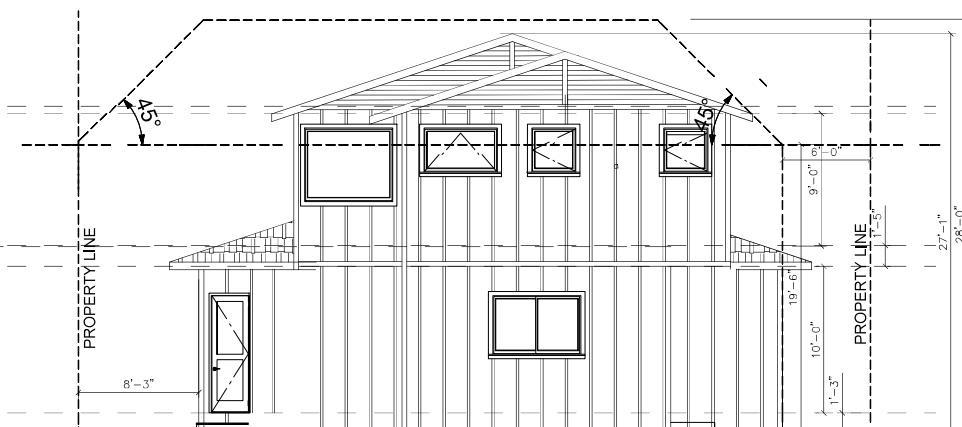
② RIGHT ELEVATION

SCALE 1/4"=1'-0"



### ③ REAR ELEVATION

SCALE 1/4"=1'-0"



④ LEFT ELEVATION

SCALE 1/4"=1'-0"



PROPOSED REAR ELEVATION FRONT HOME 1/4" = 1'-0"

No.	Revision/Issue	Date
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ELEVATIONS  
FRONT HOME

Drafters Name and Address  
 ALASSA DESIGNERS  
 JEANNIE KESTER  
 654 NEILL CT  
 FRENCH CAMP, CA. 95231  
 (408)230-2989  
 ALASSA@YA-HOO.COM

Project Name and Address  
TITO  
636 CAMBRIDGE AVE.  
MENLO PARK CA. 94025  
408-204-2486

Project 2 CUSTOM  
HOMES/ADUS

Date  
08-07-2025

VARIES

A2.



SCALE 1/4"=1'-0"



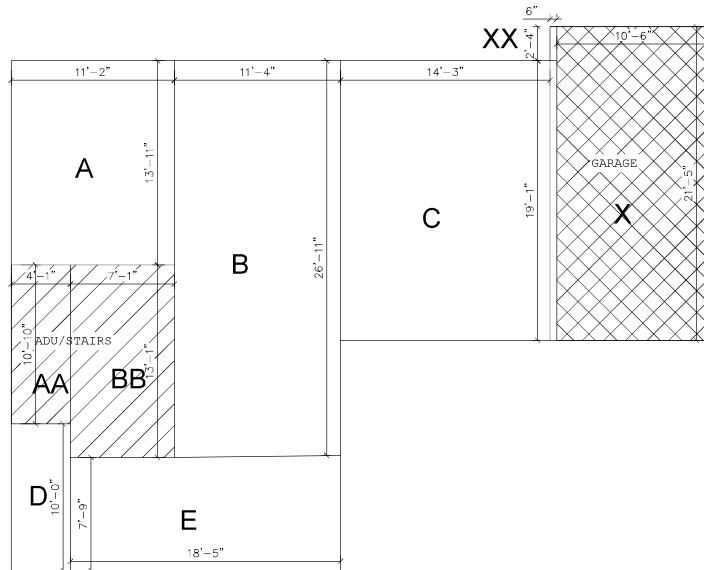
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Project	2 CUSTOM HOMES/ADUS
Date	08-07-2025
Scale	VARI'ES

A3.0

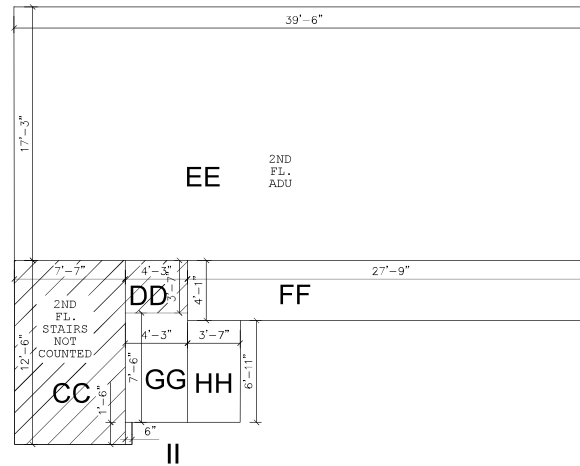
# ① FIRST FLOOR

SCALE 1/4"=1'-0"



# ② SECOND FLOOR

SCALE 1/4"=1'-0"



# ③ AREA CALCULATIONS

1ST FLOOR SIZE	AREA
A	2'-6"X18'-3" 46 SQ FT
B	18'-3"X36'-3" 663 SQ FT
C	3'-7"X22'-6" 81 SQ FT
D	7'-7"X19'-1" 145 SQ FT
TOTAL	935 SQ FT
X	10'-7"X21'-0" 220 SQ FT
TOTAL GARAGE	220 SQ FT
AA	2"X13'-9" 2 SQ FT
BB	7'-5"X14'-3" 106 SQ FT
CC	2"X3'-7" 1 SQ FT
DD	3'-5"X7'-7" 26 SQ FT
ADU & STAIRS	135 SQ FT
TOTAL LOT COVERAGE	1,290 SQ FT
SECOND FLOOR ADU	
EE	2"X11'-0" 2 SQ FT (STAIRS)
FF	7'-5"X11'-6" 85 SQ FT (STAIRS)
GG	4'-3"X4'-11" 21 SQ FT
HH	2"X2'-6" 0 SQ FT
II	22'-2"X35'-0" 776 SQ FT
JJ	2'-7"X21'-6" 56 SQ FT
KK	4'-11"X17'-3" 85 SQ FT
TOTAL NOT INCLUDING EE&FF	938 SQ FT
TOTAL ADU BOTH FLOORS	1,073 SQ FT

Constraints (Maximum allowable)	% of lot area	In sq-ft
Lot area (122.31' x 60')	100%	7,338
FAL allowed	40%	2,935
Total non-exempt 2nd floor area allowed	15%	1,101
Minimum landscape area needed	40%	2,935
Site coverage allowed	35%	2,568
Fundamental areas and FAL's	Front home	Rear home
First floor living sq-ft	844	819
Covered garage	220	226
Main Home	1,155	1,142
Second floor area (completely ADU)	938	852
Stairs counted once (belonging to ADU)	87	110
ADU entry (belonging to ADU)	48	27
Total ADU area	1,073	989
ADU area exempt from FAL, site coverage	800	800
ADU area after exemption	273	189
FAL limit calculations		
Floor area limit (ADU + main home + garage)	1,426	1,331
Total non-exempt area of both homes for FAL calculation	2,759	
Total FAL as % of lot area	37.46%	
2nd floor limit calculations		
Second floor area after 800 sq-ft ADU exemption	138	52
Total non-exempt 2nd floor area	190	
Total non-exempt 2nd floor area as % of lot	2.59%	
Landscape area		
Driveway	399	897
Building	1,290	1,279
Total non-landscape area	1,689	2,176
Total non-landscape area of whole lot	3,865	
Non-landscape %	52.67%	
Landscape % of whole lot	47.33%	
Building coverage or site coverage		
Building	1,290	1,279
Total	2,569	
Site coverage %	35.00%	

BLOCK DIAGRAM  
REAR HOME

Project Name and Address  
ARISA DESIGNERS  
JEANNE KESTER  
654 NELL CT  
FRENCH CAMP, CA 95231  
(408) 347-0389  
ARISADesign.com

Project Name and Address  
636 CAMBRIDGE AVE,  
MENLO PARK CA 94025  
408-204-2486

Project  
2 CUSTOM  
HOMES/ADU  
Date  
08-07-2025  
Sheet  
VARIES  
A3.1



① FRONT ELEVATION

SCALE 1/4"=1'-0"



PROPOSED FRONT ELEVATION REAR HOME 1/4" = 1'-0"

② RIGHT ELEVATION

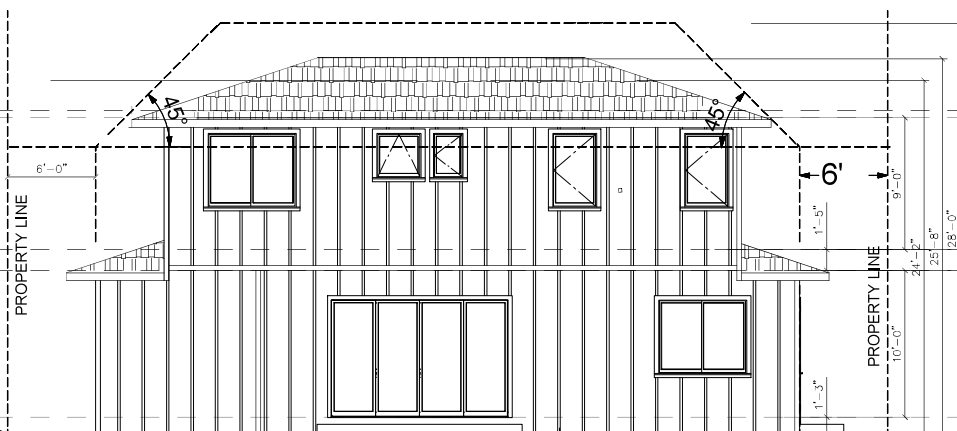
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PROPOSED RIGHT ELEVATION REAR HOME 1/4" = 1'-0"

## ③ REAR ELEVATION

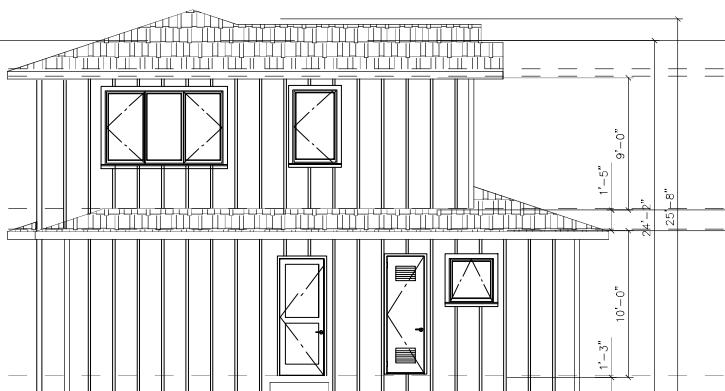
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③ REAR ELEVATION

④ LEFT ELEVATION

SCALE 1/4"=1'-0"



④ LEFT ELEVATION

No.	Revision/Issue	Date
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ELEVATIONS  
REAR HOME

**Drawers Name and Address**  
AIASSA DESIGNERS  
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(408)230-2989  
AIASSA@YAHOO.COM

**TITO**  
636 CAMBRIDGE AVE.  
MENLO PARK CA. 94025  
408-204-2486

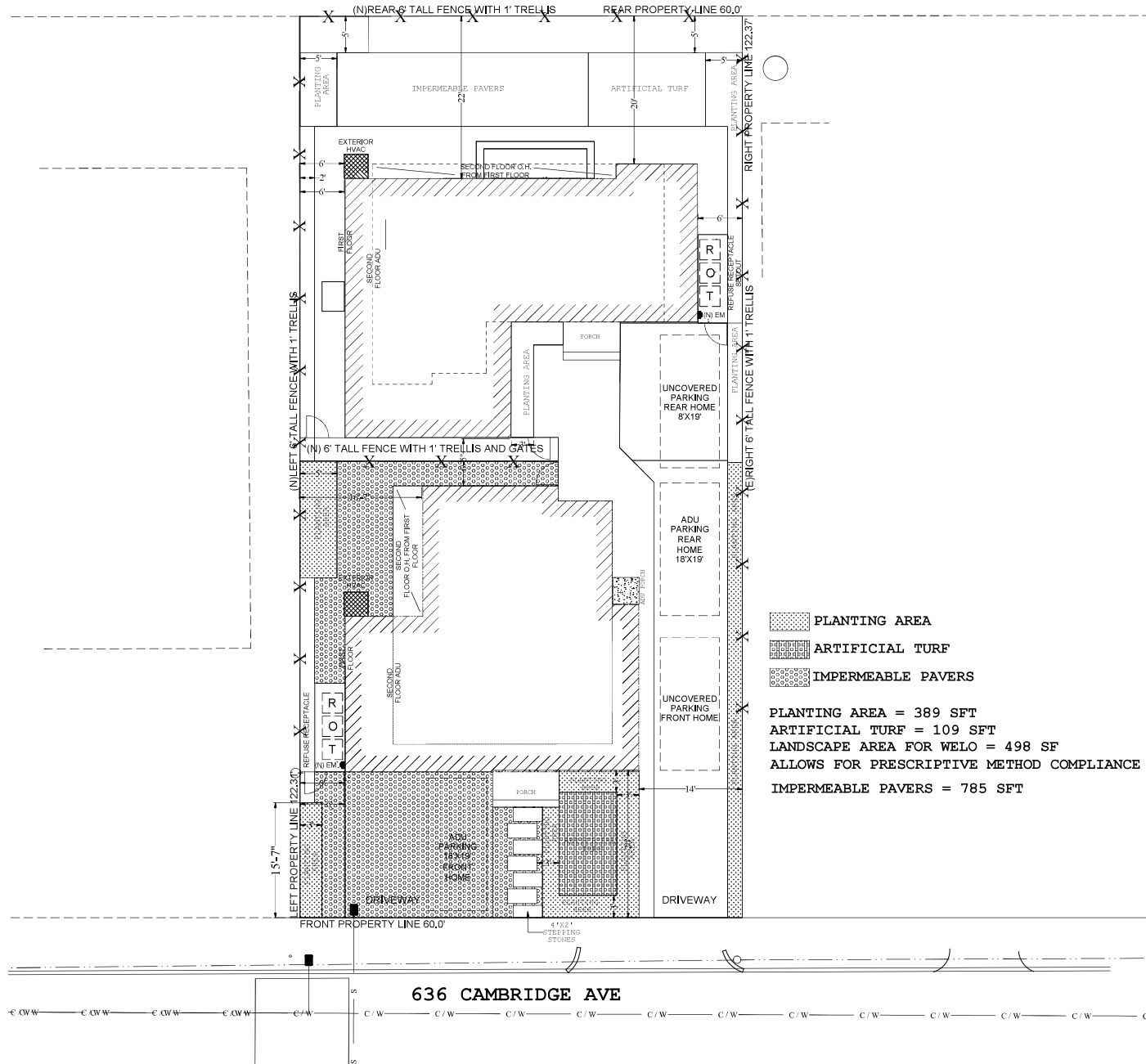
Project 2 CUSTOM  
HOMES/ADUS

Date  
08-07-2025

VARIES

A3.3

# L1.1 FRONT HOUSE LANDSCAPE PLAN



14 ITALIAN CYPRESS  
(N) REAR 6' TALL FENCE WITH 1' TRELLIS REAR PROPERTY LINE 60.0'

