

69 CORNELL ROAD Project DescriptionMarch 23, 2022

PARCEL GENERAL INFORMATION

The 4,238 sq. ft. parcel located at 69 Cornell Road is a substandard lot, which is the reason a Use Permit is required for the proposed two-story residence. The R-1-U zoning ordinance requires a minimum of 7000 sq ft in area, 65 ft in width and 100ft in depth. The lot is substandard in all three of these criteria, as prescribed in the ordinance. There are 9 trees analyzed including 4 trees onsite and 5 trees offsite (see also Arborist Report & sheet L1.1). Of the trees evaluated, there are no street trees, there are 2 heritage oaks, and 5 other heritage trees. Zero trees are proposed for removal. This is achieved through siting the new home closely to the footprint of the existing residence, and through preserving the existing detached garage. Tree protection during construction shall be provided for these trees through fencing as well as construction methods to save the trees from being impacted.

EXISTING HOME TO BE DEMOLISHED

The existing house is a single-story single-family minimal stucco cottage home built in 1926. It is 788 sf at the main level with a 146.9 SF basement & crawlspaces, plus a detached 323 sf garage.

PROPOSED SINGLE FAMILY RESIDENCE

The proposed home is a two-story single-family residence in a Cottage style. Neighboring homes on Cornell Road are a mixture of single story and two story homes featuring stucco, horizontal siding, and painted wood accents. Roof forms for neighboring homes are predominantly hipped or gabled and are oriented to break down the massing of the home, as viewed from the street. We believe that the proposed home at 69 Cornell Road will blend well with the neighborhood through its' palette of horizonal siding, board & batt siding, wood and brick accents, and composition shingle over gabled roof forms. The single-story front porch echoes the pattern of stoops and porches in the neighborhood, and offers a human scaled appearance from the street.

The new home is proposed to have 3 bedrooms and 3 baths, with an open floor plan designed to appeal to families. An existing detached 1-car garage at the rear of the lot is proposed to remain, paired with an uncovered parking space at the driveway. A wooden trellis is proposed for the rear of the home, to compliment the open space at the backyard.

NEIGHBOR RELATIONS

Thomas James Homes has prepared a neighbor notice letter for distribution to neighbors within 300-ft of this property with a copy of the site plan, floor plan, elevations and a letter addressing our project. We look forward to adding to the charm and sense of community in Menlo Park, and welcome any questions the City may have as we go through the Use Permit Application process.

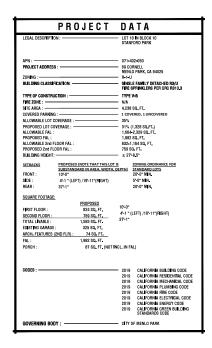
Best,

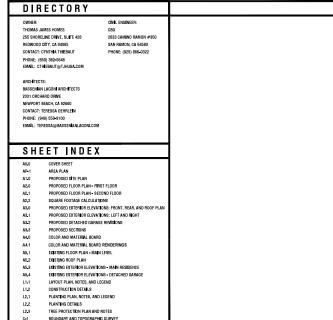
Steve Duncan, Senior Planning Manager at **Thomas James Homes** sduncan@tjhusa.com | 650.481.9425

69 CORNELL ROAD MENLO PARK, CA 94025

February 25th, 2022











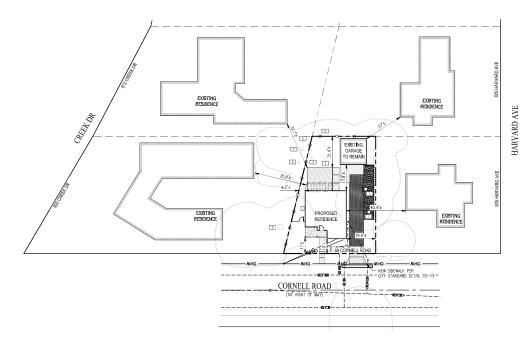
COVER SHEET

69 CORNELL

Menlo Park , California

A0.0

02.24.22



| EXISTING TREES TO REMAIN | | | | | | | |
|--------------------------|----------------|----------|------------------|----------|----------------|--|--|
| TREE NUMBER | COMMON NAME | DBH (IN) | HERITAGE TREE | OFF-SITE | STREET TREE | | |
| 1 | COAST REDWOOD | 29 | YES | NO. | NO | | |
| 2 | COAST LIVE OAK | 32 | YES | NO | NO | | |
| 3 | TRIDENT MAPLE | 26 | YES | NO. | NO | | |
| 4 | TRIDENT MAPLE | 19 | YES | NO | NO | | |
| 5 | COAST REDWOOD | 9 | NO. | YES | NO. | | |
| 6 | COAST REDWOOD | 13 | NO NO | YES | NO. | | |
| 7 | COAST REDWOOD | 23 | YES | YES | NO | | |
| 8 | COAST REDWOOD | 22 | YES | YES | NO | | |
| 9 | COAST LIVE OAK | 15 | YES | YES | NO | | |

- THE TABLES ABOVE CONTAIN A SUMMARY OF INFORMATION PRESENT IN THE ARBORIST REPORT, PLEASE REFER TO THE ARBORIST REPORT DATED AUGUST 18, 2021 AND PREPARED BY CALIFORNIA TIRE AND LANDSCAPE CONSULTING, NO FOR MORE INFORMATION.
- 2. TREES SHOWN TO BE REMOVED ON PLAN WITHOUT A NUMBER ARE NON-PROTECTED TREES.
- STRUCTURES, IMPROVEMENTS AND TREES ON ADJACENT PROPERTIES HAVE NOT BEEN SURVEYED.
 LOCATIONS DEPICTED HEREIN ARE APPROXIMATE.





BOUNDARY LINE EXISTING RIGHT OF WAY EXISTING CENTERLINE ADJACENT PROPERTY LINE EXISTING STRUCTURE PROPOSED RESIDENCE PROPOSED CURB AND GUTTER PROPOSED CONCRETE PROPOSED REINFORCED PAVER DRIVEWAY PROPOSED DECORATIVE COBBLE EXISTING UTILITY BOAT EXISTING TREE TO REMAIN

EXISTING TREE



69 CORNELL ROAD AREA PLAN

THOMAS JAMES HOMES

CITY OF MENLO PARK SAN MATEO COUNTY CALIFORNIA SCALE: 1" = 20' DATE: FEBRUARY 25, 2022

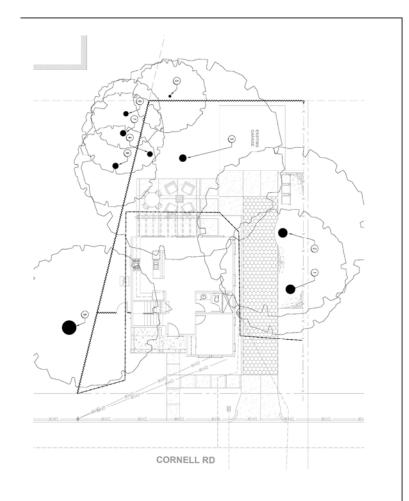


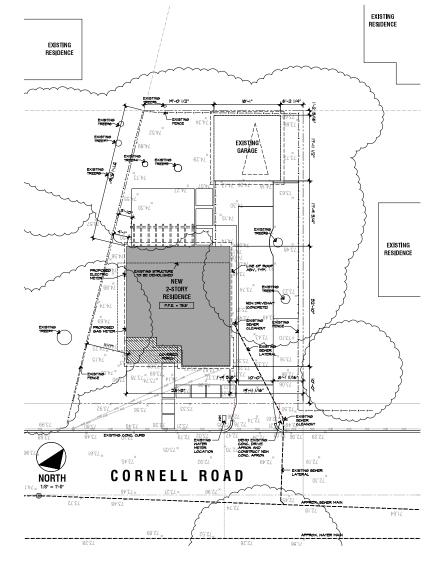


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AP-1 OF L SHEETS

SHEET NO.





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PROPOSED SITE PLAN

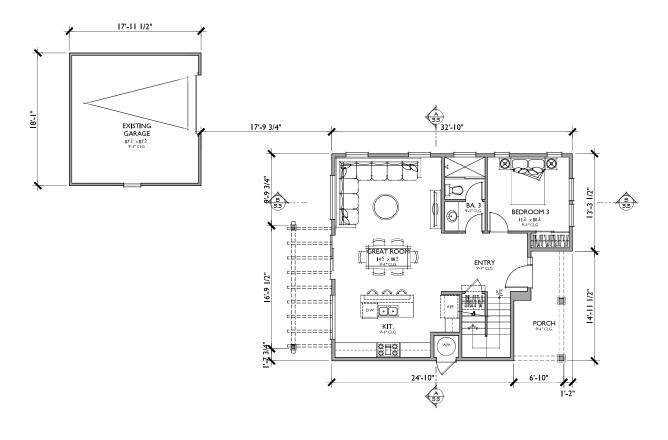
69 CORNELL

918.21247

Menlo Park , California







FIRST FLOOR

3 BEDROOMS / 3 BATHS I - CAR GARAGE

| FLOOR AREA TABLE | |
|---------------------------|---------------|
| IST FLOOR | 824 SQ. FT. |
| 2ND FLOOR | 759 SQ. FT. |
| TOTAL LIVING | I,583 SQ. FT. |
| I - CAR GARAGE (Existing) | 325 SQ. FT. |
| PORCH | 87 SQ. FT. |
| LOT COVERAGE | 31% |
| FAR (1664-2329) | 1982 |

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

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FLOOR PLAN

69 CORNELL

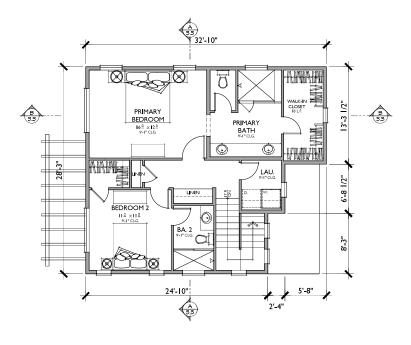
Menlo Park , California 918.21247

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02.24.22







SECOND FLOOR

3 BEDROOMS / 3 BATHS I - CAR GARAGE

| FLOOR AREA TABLE | |
|---------------------------|---------------|
| IST FLOOR | 824 SO. FT. |
| 2ND FLOOR | 759 SQ. FT. |
| TOTAL LIVING | I,583 SQ. FT. |
| I - CAR GARAGE (Existing) | 325 SQ. FT. |
| PORCH | 87 SQ. FT. |
| LOT COVERAGE | 31% |
| FAR (1664-2329) | 1982 |

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

A2.I

69 CORNELL

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2031 Orchard Drive, Suite 100

Newport Basch, CA USA 92560
BL 1 949 553 0648

bs 41 949 553 0648

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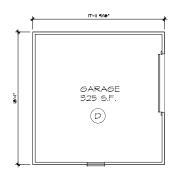
Menlo Park, California

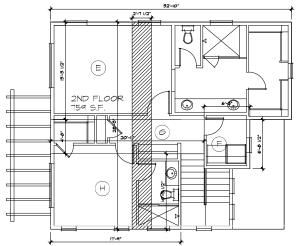
FLOOR PLAN



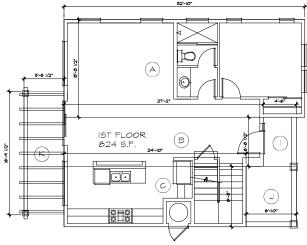
| LABE | A CALCULATION L DIMENSIONS | ARFA |
|---------|------------------------------|---------------|
| | FLOOR | AREA |
| A | 32'-10" X 13'-3.5" | 436 SQ. FT. |
| В | 27'-2" X 6'-8.5" | 182 SQ. FT. |
| Č | 24'-10" X 8'-3" | 205 SQ. FT. |
| | SUBTOTAL | 824 SQ. FT. |
| GARA | | |
| D | 17'-11.5" X 18'-1" | 325 SQ. FT. |
| | SUBTOTAL | 325 SQ. FT. |
| SECO | ND FLOOR | |
| E | 32'-10" X 13'-3.5" | 436 SQ, FT |
| F | 6'-3" X 6'-8.5" | 42 SQ. FT. |
| G | 20'-11" X 4'-8" | 98 SQ. FT. |
| Н | 17'-9" X 10'-3.5" | 183 SQ. FT. |
| | SUBTOTAL | 759 SQ. FT. |
| | (FOR BUILDING COVERAGE ONLY) | |
| Ļ | 15'-9" X 16'-0" | 30 SQ. FT. |
| J | | 57 SQ. FT. |
| | SUBTOTAL | 87 SQ. FT. |
| TRELLIS | (FOR BUILDING COVERAGE ONLY) | |
| K | 4'-5.5" X 9'-10" | 92 SQ. FT. |
| BUILD | ING COVERAGE | |
| | FIRST FLOOR (A-C) | 824 SQ. FT |
| | GARAGE (D) | 325 SQ. FT. |
| | PORCH (I-J) | 87 SQ. FT. |
| | TRELLIS (K) | 92 SQ. FT. |
| | TOTAL | 1,328 SQ. FT. |
| FLOOF | R AREA LIMIT | |
| | FIRST FLOOR (A-C) | 824 SQ. FT |
| | SECOND FLOOR (E-H) | 759 SQ. FT. |
| | GARAGE (D) | 325 SQ. FT. |
| | ATTIC | 74 SQ. FT. |
| | TOTAL | 1.982 SQ. FT. |

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SECOND FLOOR PLAN



FIRST FLOOR PLAN

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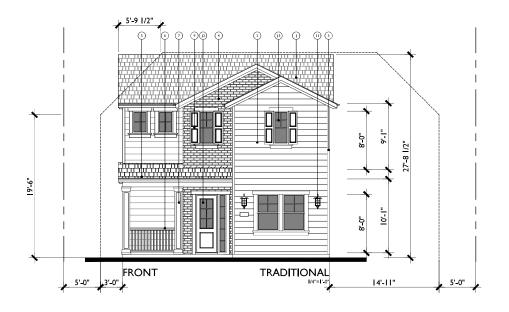
69 CORNELL

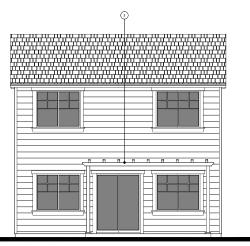
SQUARE FOOTAGE CALCULATIONS

918.21247



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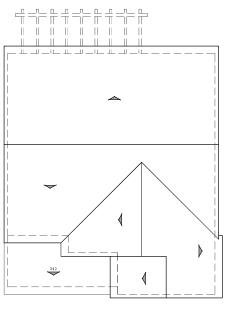




MATERIALS LEGEND:

- 1. COMPOSITION SHINGLE ROOF
- COMPOSITION SHINGLE
 CEMENTITIOUS SIDING
 CEMENTITIOUS TRIM
 BRICK VENEER
 WOOD TRELLIS
 WOOD TRALLING
 PROPRETING COLUMN

- WOOD RAILING
 TO ECORATIVE COLUMN
 B. DECORATIVE VENT
 DECORATIVE SHUTTER
 O.SECTIONAL GARAGE DOOR W/ WINDOWS
- 11. COACH LIGHT
- 12.FIBERGLASS ENTRY DOOR W/ WINDOW 13.FIBERGLASS WINDOW



ROOF PLAN

TRADITIONAL

PITCH: 6:12 U.N.O.
RAKE: 12*
ROOF MATERIAL: COMPOSITION

REAR

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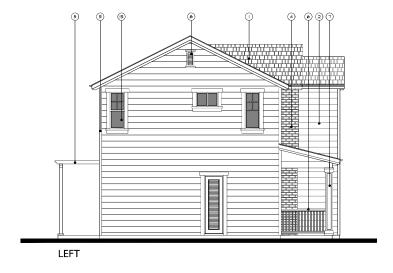
ELEVATIONS Front and Rear Elevations 69 CORNELL

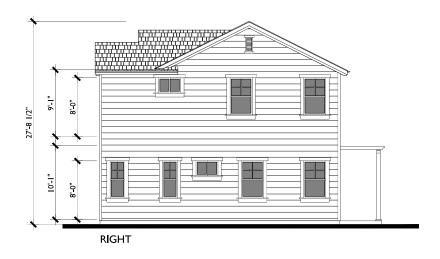
Menlo Park , California

918.21247



A3.0





MATERIALS LEGEND:

- COMPOSITION SHINGLE ROOF
 CEMENTITIOUS SIDING
 CEMENTITIOUS TRIM
 BRICK VENEER
 WOOD TRELLIS
 WOOD RAILING

- WOOD RAILING
 T. DECORATIVE COLUMN
 B. DECORATIVE VENT
 DECORATIVE SHUTTER
 SECTIONAL GARAGE DOOR W/ WINDOWS
- 11. COACH LIGHT
 12. FIBERGLASS ENTRY DOOR W/ WINDOW
 13. FIBERGLASS WINDOW

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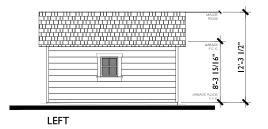
ELEVATIONS Left and Right Elevations 69 CORNELL

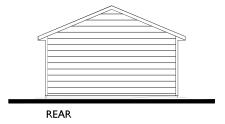
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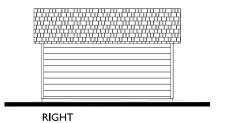


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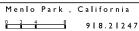








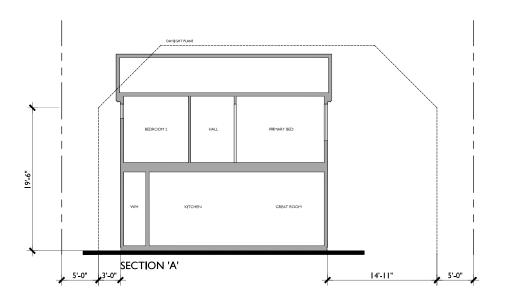
ELEVATIONS Detached Garage Elevations 69 CORNELL

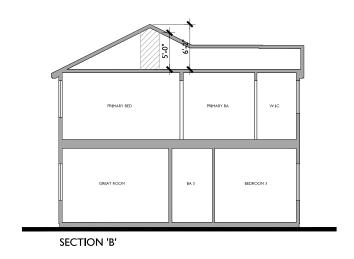




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SECTIONS

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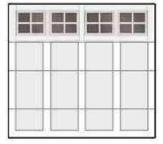
Menlo Park, California
918.21247



WINDOW FRAMES: BLACK



FRONT DOOR MASONITE VISTAGRANDE MATERIAL OPTIONS: FIBERGLASS STYLE: 3/4 LITE 4 SDL PANEL DOOR



GARAGE DOOR CLOPAY GRANDE HARBOR SERIES 1; DESIGN 12 WINDOW: SQ22



FENCE STAIN SEMI-SOLID **DUNE GRAY**





EXTERIOR RENDERINGS (NOT TO SCALE)

69

HOUSE NUMBERS



EXTERIOR LIGHT FIXTURE 9"W x 12.5"H x 10.5"D

PURE WHITE

SW 7005

- FASCIA, EAVES, HEADERSPOSTS, BEAMS, COLUMNS
- o TRELLIS
- o TRIM

DRIFT OF MIST

SW 9166

SIDING, SIDING CORNER TRIMS

IRON ORE

- SW 7069

 o FRONT DOOR
- GARAGE DOOR
- SHUTTERS



TUNDRA BRICK - CHALK DUST





69 CORNELL ROAD MENLO PARK, CALIFORNIA 94025

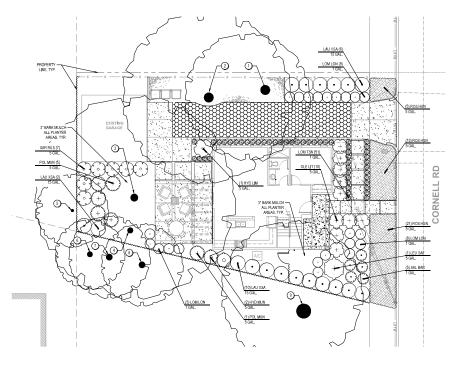
NOTES:
DIMENSIONS PROVIDED IN THIS DOCUMENT
ARE BASED OFF THE ARCHITECTURAL PLANS
AND ARE TO BE VERRIED IN FIELD. ACTUAL
RELD CONCINIONS MAY EFFECT THESE
DIMENSIONS PROLECT MANIEST TO NOTIFY
DESIGNER OF DIMENSIONS AND FIELD
CONDITIONS THAT DIFFER FROM THE DESIGN
PACKAGE AND ARCHITECTURAL PLANS.

DATE: DESIGNER: ARCHITECT:

SAMIA S RASHED BASSENIAN LAGONI

NOTE: RENDERINGS SHOWN ARE FOR ILLUSTRATION PURPOSES ONLY AND ARE NOT INTENDED TO BE AN ACTUAL DEPICTION OF THE HOME OR IT'S SURROUNDINGS

> PLAN B16 COASTAL



PLANT LEGEND

| | | | | | _ |
|---------------|-----------------|--|---------|----------|-----|
| SHRUBS | CODE | BOTANICAL / COMMON NAME | CONT | | QTY |
| (<u>`</u>) | HYD L IM | HYDRANGEA PANICULATA 'LIMELIGHT' / LIMELIGHT HYDRANGEA WUCOLS (M) | 5 GAL. | | 1 |
| \bigcirc | HYD MUN | HYDRANGEA QUERCIFOLIA "MUNCHKIN" / DAKLEAF HYDRANGEA WUGOLS (M), 3-4" (HW) | 5 GAL. | | 2 |
| \odot | LAU XSA | LAURUS X 'SARATOGA / SARATOGA LAUREL WUCCUS (L) (H) FULLY BRANCHED COLUMNAR FORM FOR SCREEN HEDGE, MIN HEIGHT AT PLANTING 8, NIMTURE HEIGHT CAN REACH 20' | 15 GAL. | | 18 |
| (+) | LEU SAF | LEUCADENDRON X "SAFARÎ SUNSET" / CONEBUSH WUCOSL (L), 8-10" (H) X 6-8" (W) | 5 GAL. | | 1 |
| ∰ | LOM TSN | LOMANDRA CONFERTIFOLIA FINESCAPE' / FINESCAPE SMALL MAT RUSH WUCOLS (L.) | 1 GAL. | | 51 |
| 0 | LOM LON | LOMANDRA LONGIFOLIA "BREEZE" / DWARF MAT RUSH WUGOLS (L), 3" (HWI) | 1 GAL. | | 22 |
| (+) | OLE LIT | OLEA EUROPAEA 'UTTLE OLIJE' TM / LITTLE OLIJE OL | 5 GAL. | | 10 |
| (+) | POL MUN | POLYSTICHUM MUNITUM / WESTERN SWORD FERN | 5 GAL. | | 6 |
| <u> </u> | SALBAR | SALVIA LEUCANTHA "SANTA BARBARA" / MEXICAN BUSH SAGE WUCOLS (L.), 3-4" (H/W) | 1 GAL. | | 5 |
| (\cdot) | SAR RUS | SARCOCOCCA RUSCIFOLIA / FRAGRANT SWEETBOX WUCOLS (L.) | 5 GAL. | | 7 |
| GROUND COVERS | CODE | BOTANICAL / COMMON NAME | CONT | SPACING | QTY |
| | ROSHUN | ROSMARINUS OFF, 'HUNTINGTON CARPET' / PROSTRATE ROSEMARY WUCOLS (L.), 1'-2' (H) X 4'-8' (W) | 5 GAL. | 36° e.c. | 39 |

WATER USE CALCULATIONS

| | | | | | Project: Date: | 20035 3/23/2022 |
|----------------------|--------------------------------|--|--|---|-------------------|--------------------|
| Plant Factor (PF) | Irrigation Method | Irrigation Officiency | ETAF | Landscape Area (sf) | | |
| | | | | | | |
| 0.3 | DripLine | 0.81 | 0.37 | 1,083 | 401 | 12,620 |
| 0.5 | DripLine | 0.81 | 0.62 | 776 | 479 | 15,071 |
| | | | Totals | 1,859 | 880 | |
| Redwood City | , | | | | | |
| 50.1 | | Estima | ted Total | Water Use | (ETWU) | 27,691 |
| 0.55 | Maxin | num Allows | nd Water | Allowance | (MAWA) | 31,759 |
| | (PF) 0.3 0.5 Redwood City 50.1 | (PF) Method 0.3 DripLine 0.5 DripLine Rectwood City 50.1 | (PF) Method (Pficiency 0.3 DripLine 0.81 0.5 DripLine 0.81 Reconnect City 50.1 Estimat | 099 Method Bficiency ETAF 0.3 Drigs.ine 0.81 0.37 0.5 Drigs.ine 0.81 0.62 707ab 707ab | 059 | Date Date Date |

| ETAF Calculations/Regular Lar | dscape |
|-------------------------------|--------|
| Total ETAF x Area | 880 |
| Total Area (sf) | 1,859 |
| Average ETAF | 0.47 |
| ETAF Calculations/All Landsca | pe |
| Total ETAF x Area | 880 |
| Total Area (sf) | 1,859 |
| Average ETAF | 0.47 |

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas. 0.45 or below for nonresidential areas, and 0.65 for DSA projects. These values are also reference values for determining MAWA.

'ETWU= Eto x 0.62 x ETAF x Area MAWA = (Eto) (0.62) ((ETAF x LA) + ((1-ETAF) x SLA)) "ETWU must be less than or equal to MAWA

PLANTING NOTES

- SITE ACCEPTANCE. THE CONTRACTOR SHALL OBSERVE THE SITE AND VERIFY THAT ROUGH GRADING AND ALL OTHER WORK HAS BEEN COMPLETED TO THE CONTRACTOR'S SATISFACTION. MAY PREMOUS WORK THAT IS NOT COMPLETE SHALL BE BROUGHT TO THE COMPRES OF LANDSCAPE ARCHITECT'S ATTENTION IN WRITING. BEGINNING WORK CONSTITUTES ACCEPTANCE OF THE SITE.
- SITE PREPARATION ALL EXISTING VEGETATION SHALL BE PERCVED (CLEAR AND GRUB), PHOR TO ROUGH GRADING GREBATIONS, PRESERVE ALL TOPSOL BY STOCKPILLING ON BITE. TOPPOL SHALL BE REPLACED IN PLANTING AREAT TO AGRIEVE PIRM, PHOR GROBLES, FOR PATIESTS IN ILLEPTEACH PARES A IRLANDE AND DISPOSE OF EXISTING SOIL TO A DEPTH OF 24" THROUGHOUT THE ENTIRE PLANTER, AND REPLACE MITH CLEAN TO SELECT.
- POSITIVE DRAINAGE: ENSURE POSITIVE DRAINAGE IN ALL LANDSCAPE AREAS, AND SHALL ADJUST ELEVATIONS AS REQUIRED. MINIMUM SLOPE IN TURF AREAS SHALL BE 0.5% TO CUTLET, MINIMUM SLOPE IN PLANTED AREAS SHALL BE 1.0%.
- 4. EXPLANATION OF DRAWINGS_PLANTING INTENTISTO COMPLETELY FILL ALL PLANTING AREAS, UNLESS SPECIFICALLY NOTED DIFFERMES. CUANTITIES, IF SHOWING ARE FOR CONTRACTORS CONVENIENCE ONLY, AND SHALL NOT RELEVE THE CONTRACTOR OF THE OBLIGATION TO INSTALL PLANTS TO MEET THIS INTENT. PLANTING CETALS ARE CONSECRED TYPICAL AND ALL WORK SHALL COMPORATO THESE EXTALS.
- SUBSTITUTIONS IN THE EVENT ANY PLANT MATERIAL SPECIFIED IS NOT AVAILABLE, CONTRACTOR SHALL SUBMIT PROPOSED SUBSTITUTION INMEDIATELY TO LANDSCAPE ARCHITECT. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO DETERMINE THE SUITABLITY OF ANY PROPOSED SUBSTITUTION. SUBSTITUTIONS SHALL BE MADE AT NO ACCITICATE. OF TO THE OWNER.
- PLANTING PT DRAINAGE, EXCAVATED PLANTING PTS SHALL HAVE POSITIVE DRAINAGE, PLANT PITS WHEN PULLY FLOCOED WITH WATER SHALL DRAIN WITHIN 2 HOURS OF FILLING. IF PLANTING PITS DO NOT DRAIN, OTHER MEASURES, INCLUDING A 1° DIAMETER X 8° DEEP AUGURED HOLE BACKFILLED WITH CRUSHED DRAIN ROCK, WILL BE REQUIRED.
- PLANT MITTERNE, ALL PLANT MATERIAL SHALL COME Y WITH ANSI 283.1 STANDARD FOR HURSERY STOCK.
 NOTES AND DEFINES ON THE ENAMINGS, MUESS OFFENDER FORD MINIMARY AND TIESS SHALL BE AS
 FOLLOWS. ENGENEED SHIRBSES/SCHOWNER VARIETIES BY YEAR OFFENDER SHALL BE AS
 FOLLOWS. ENGENEED SHIRBSES/SCHOWNER VARIETIES BY WE FOR SHALL BUT IN 59 W. Y COLUMNER
 FOR SHALL BUT IN 59.4 ML Y COLUMNER AND BE SOON AND SHALL BEEN SHALL BUT INFO SHALL SHALL
 APPROVAL OF PROTOS DOES NOT PRECLUCE GHALT BE RECEITED OF BUSINIFISHE PLANT MATERIAL.
- SIECLEANINESS THE CONTRACTOR IS RESPONSIBLE TO REEP THE SITE CLEAN FOR SOIL EROSION CONTROL MEASURES, AND FOR ANY OTHER GENERAL REQUIREMENTS. SHOULD ENSTING CONDITIONS REQUIRE MITGATON IN CONTROL STANDARD AND APPLICATION OF THE CONTROL PROPOSITION OF THE CONTROL PROPOSITION.
- UNDERGROUND UTLITIES: THE CONTRACTOR SHALL VEHIFY ALL UNDERGROUND UTLITIES PRIOR TO BEGINNING WORK, CALL G.S.A. (SHI) TO LOCATE ENSING UTILITIES. THE CONTRACTOR SHALL SE RESPONSIBLE FOR THE FERBIN OR REPLACEMENT OF ANY DIAMAGED UTILIES. TO THE SHASTACTORY OF THE OWNER AND GOVERNING AGENCY AT NO COST TO THE OWNER OR INCREASE IN BID AMOUNT.
- BARK MULCH: A 3" LAYER OF "WALK-ON" BARK MULCH SHALL BE INSTALLED IN ALL PLANTING BEDS. CONTRACTOR SHALL SUBMIT A MULCH SAMPLE PRIOR TO ORDER. APPLY PRE-EMERGENT PRIOR T PLACING MULCH. IF MAINTENANCE PERIOD EXTENDS PAST 80 CALENDAR DAYS FROM APPLICATION, APPLY AGAIN PER MANUFACTURER'S INSTRUCTIONS.
- 11. SOIL FERTILITY ANALYSE AND AMERICANET THE CONTRACTOR IS RESPONSIBLE FOR ORTHANION A SOIL. SAME TABLE AND ASSESSIONS SEE FERTILITY WAN YES FOR ROLD 100,000 OF OR ANTED MER. AND FOR ALL SAME AND FOR ALL SA SUCCULENTS SHALL BE 50% CLEAN WASHED SAND.
- CERTIFICATE OF COMPLETION: A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY ETHIER THE DESIGNER OF THE LANGSCAPE FLANS, INFOCATION FLANS, OR THE LICENSED LANGSCAPE CONTRACTOR FOR THE PROJECT AT THE COMPLETION OF THE PROJECT AND SUBMITTED WITH THE SOIL ANALYSIS REPORT TO THE AUTHORITY HANNOLUMISSIZETION.
- 13. MAINTENANCE PERIOD. SHALL BE A MINIMUM OF 80 CALENDAR DAYS. ANY PLANT THAT HAS BEEN REPLACED DURRING THE MAINTENANCE PERIOD SHALL BE SUBJECT TO AN ADCITIONAL 60 DAYS FROM THE DATE OF REPLACEMENT. ANY DAY OF IMPROPER MAINTENANCE, AS DETERMINED BY THE LANDSCAPE ARCHITECT OF LOCAL JURISCICTION, SHALL NOT COUNT TOWARD THE MAINTENANCE PERIOD.
- 14. ROOT CONTROL BARRIERS. WHERE STREET TREES ARE WITHIN 3 FEET OF THE SIDEWALK OR CURB, PROVIDE A ROOT CONTROL BARRIER PANEL ALONG THE FACE OF SIDEWALA CURB, PANELS SHALL BE 12 DEEP ALONS SIDEWANAS, AND 16 DEEP ALONG DURBS. CENTER PANELS AT EACH TIESE AND EXTEND 10 IN
- 15. <u>UTILITY CLEARANCE</u> NO TREES SHALL BE PLANTED WITHIN 5 OF WATER AND SANTARY SEWER LINES. NO TREES SHALL BE PLANTED UNDER EXISTING OR FUTURE OVERHEAD POWERLINES. AND ALL REQUIRED CLEARANCES SHALL E WANTIMED, ALL PLANTING EXCEPT LON-GROWING GROUNDCOVER SHALL BE 3' CLEAR OF ALL FIRE APPURTEMANCES PER INFA 18.5.7.
- WORK IN RIGHT-OF-WAY: ALL WORK WITHIN THE RIGHT OF WAY OR TO BE MAINTAINED BY THE LOCAL ACENCY SHALL BE INSTALLED PER THE LATEST EDITION OF THE AGENCY CONSTRUCTION STANDARDS, AND ALL OTHER ACENCY REQUIREMENTS.
- 17. THE RESIDENCE CONTRACTOR SHALL PLACE AND ESTABLISH SOON ALL AREAS AS DELIVEATED ON THE PLACE AND ESTABLISH SOON ALL AREAS AS DELIVEATED ON THE PLACE AND ASSOCIATED AND ASSOCIATED AND ASSOCIATED AND ASSOCIATED AND ASSOCIATED AND ASSOCIATED ASSOCIATED
- CLEMENUFWICE OF INADEQUATE COMPACTION. WHICH A VEHICLE STATE OF A DEPTH OF AT LEAST 6", AND MAINTAN MOSTURE UNTIL, SOODING, DO NOT ALLOW SOLL TO BE COME SATURATED. APPLY AS TRATER FERTILIZER PRIOR TO LAVING SOC. INSTALL SOO WITHIN 12 HOURS OF DELINERY, DO NOT ALLOW SOD TO SIT IN DIRECT SUNLIGHT OR TO DRY OUT.
- 17.5 STARTING AT A STRAIGHT EDGE. LAY SOD IN STAGGERED ROWS, OFFSETTING JOINTS A MINIMUM OF 2
- FEET: LAVING, ROLL SOD WITH A LISHT-MEIGHT WATER-DRIUM ROLLER (APPROXIMATELY 50 LBS), AND EISIURE FUIL CONTACT WITH SOIL. WATER AS SOON AS POSSIBLE, AND IN ALL CASES, MITHIN 1 HOUR AFTER LAYING.

THAVE COMPLIED WITH THE CRITERIA OF THE WATER CONSERVATION IN LANDSCAPE ORDINANCE AND HAVE APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN.



SEE SHEET L2.2 FOR PLANTING DETAILS AND L2.3 FOR TREE PROTECTION PLAN







111 Scripps Drive California 95825 916.945.8003 | 916.342.7119 4409 GRA 5044

LANDSCAPE IMPROVEMENT **PLANS FOR**

69 CORNELL ROAD **MENLO PARK,** CA

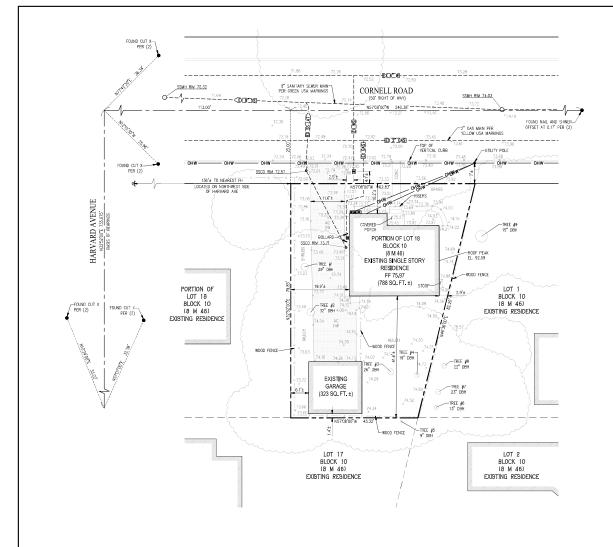
THOMAS JAMES HOMES

PLANTING PLAN, NOTES,

| AND LEGEND | |
|-------------|--|
| DRAWN BY: | |
| STAFF | |
| CHECKED BY: | |
| DWC | |
| JOB NO. | |



DRAWINGS IN SET:



TITLE REPORT

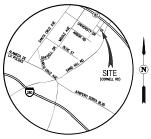
FIDELITY NATIONAL TITLE COMPAN TITLE NO. FSMO-1082101316-BD DATED JUNE 21, 2021

LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREN BELOW IS SITUATED IN THE CITY OF MENLO PARK, COUNTY OF SAN MATEO, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

PORTION OF LOT 18 IN BLOCK 10 AS DESIGNATED ON THE MAP ENTITLED MAP OF NO. 2 STANFORD PARK, MENLO PARK, SAN MATEO COUNTY, CALIFORNIA" WHICH MAP WAS FILED IN THE OFFICE OF THE COUNTY RECORDER OF THE COUNTY OF SAN MATEO, STATE OF CALIFORNIA, ON AFRIL 2, 1913, IN BOOK B OF MAPS, AT PAGE 46, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTHWISTERY UND OF CORNELL ROAD, DISTANT THEREON 85 FET SOUTHWISTERY SOUTHWISTERY UND OF CORNELL ROAD, DISTANT THEREON 85 FET SOUTHWISTERY FROM THE INTERSECTION THEORY WITH THE SOUTHWISTERY WAS AN ADMINISTRATION OF SOUTHWISTERY OF THE SOUTHWISTERY FROM THE SOUTHWISTERY WAS ADMINISTRATIVE OF THE SOUTHWISTERY FROM THE SOUTHWISTERY WAS ADMINISTRATIVE OF THE SOUTHWISTERY FROM THE SOUTHWISTERY WAS ADMINISTRATIVE OF THE SOUTHWISTERY OF THE SOUTHWISTERY OF THE SOUTHWISTERY WAS ADMINISTRATIVE OF THE SOUTHWISTERY OF THE SOUTHWISTERY WAS ADMINISTRATIVE OF CORNEL ROAD, THE OF THE SOUTHWISTERY WAS ADMINISTRATIVE OF THE SOUTHWISTERY WAS ADMINISTRATIVE OF THE POST OF THE SOUTHWISTERY WAS ADMINISTRATIVE OF THE POST OF THE POST OF THE SOUTHWISTERY WAS ADMINISTRATIVE OF THE POST OF THE POST OF THE SOUTHWISTERY WAS ADMINISTRATIVE OF THE POST OF THE POST OF THE SOUTHWISTERY WAS ADMINISTRATIVE OF THE POST OF THE POST OF THE SOUTHWISTERY WAS ADMINISTRATIVE OF THE POST OF THE POST OF THE SOUTHWISTERY WAS ADMINISTRATIVE OF THE POST OF THE POST OF THE SOUTHWISTERY WAS ADMINISTRATIVE OF THE POST OF T



VICINITY MAP NOT TO SCALE

EXCEPTIONS AND EXCLUSIONS:

(#) INDICATES TITLE REPORT ITEM NUMBER

ITEMS (1) THROUGH (8) RELATE TO TAXES, LIENS, CC&R'S, TITLE DOCUMENTS, LAND RIGHTS, AN ALTA AND DEEDS OF TRUST, AND CANNOT BE PLOTTED.

BENCHMARK:

BENCHMARK ID: BM 7 (CITY OF MENLO PARK)
DESCRIPTION: BRASS DISC SET IN TOP OF CHER, STAMPED "CITY BENCHMARK 7", AT THE
SOUTHERKY FIOD OF THE STOUTHEASTERLY CHER RETURN OF HARVARD AVENUE AND ALTO
LANE INTERSECTION.
LANE INTERSECTION.

BASIS OF BEARINGS:

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CENTERLINE OF HARVARD AVENUE (FORMERLY HARVARD ROAD), BEARING BEING N32°52°00°E AS ESTABLISHED BY FOUND CUT CROSSES PER RECORD OF SURVEY (30 LLS 88).

ASSESSOR'S PARCEL NUMBER:

071-432-050

AREA:

4,238 SQ. FT.

NOTES:

- 1) RECORD INFORMATION AND PROPERTY DESCRIPTION ARE PER TITLE REPORT LISTED HEREON.
- UTILITES SHOWN ARE BASED ON OBSERVED EVIDENCE AT THE TIME OF THE FIELD SURVEY. ADDITIONAL RESEARCH AND INVESTIGATION WOULD BE REQUIRED TO DETERMINE THE EXACT LOCATIONS OF UNILITIES COULD BE COVERED BY STRUCTURES OR OBJECTS SUCH AS AUTOMOBILES, TRUCKS, SOUTH OF SURVEY, BET SUCH AS AUTOMOBILES, TRUCKS, SOUTHANDES, ETC.
- 3) ALL DISTANCES SHOWN ARE FEET AND DECIMALS THEREOF.
- ALL TIES SHOWN HEREON ARE PERPENDICULAR UNLESS OTHERWISE NOTED.
- SURVEY REFERENCES TREE NUMBERS AND SIZES FROM THE ARBORIST AND TREE INVENTORY PREPARED BY CALFORNIA TREE AND LANDSCAPE CONSULTTING INC. AND DATED AUGUST 18, 2021.

REFERENCES:

(#) INDICATES REFERENCE NUMBER (1) MAP NO. 2 STANFORD PARK (8 M 46) (2) RECORD OF SURVEY (30 LLS 88)

FLOOD ZONE:

ZONE X: AREAS DETERMINED TO BE DUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

SOURCE: FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), FLOOD INSURANCE RATE MAP, MAP NUMBER 06081003086

DATED: DCTOBER 16, 2012

LEGEND & ABBREVIATIONS

| | BOUNDARY LINE | AC | ASPHALT CONCRETE |
|----------|---------------------------|-------|-------------------------|
| | STREET CENTER LINE | BM | BENCHMARK |
| | EXISTING RIGHT OF WAY | CONC | CONCRETE |
| | ADJACENT PROPERTY LINE | DBH | DIAMETER BREAST HEIGHT |
| | EXISTING STRUCTURE | DW | DRIVEWAY |
| —— онw—— | EXISTING UTILITY PIPE | EL | ELEVATION |
| xx | OVERHEAD WIRES | EX | EXISTING |
| | FENCE LINE | FF | FINISHED FLOOR |
| | TIE LINE | FH | FIRE HYDRANT |
| 2 | EXISTING ELECTRIC METER | LAT | LATERAL |
| • | EXISTING GAS METER | OHW | OVERHEAD WIRES |
| 8 | EXISTING WATER FAUCET | SS | SANITARY SEWER |
| | EXISTING WATER METER | \$900 | SANITARY SEWER CLEANOUT |
| × 103.30 | EXISTING IRRIGATION BOX | SSWH | SANITARY SEWER MANHOLE |
| Α | EXISTING GROUND ELEVATION | w | WATER |
| • | EXISTING FIRE HYDRANT | WM | WATER METER |
| • | FOUND MONUMENT AS NOTED | ws | WATER SERVICE |

69 CORNELL ROAD

TOPOGRAPHIC & BOUNDARY SURVEY

CITY OF MENLO PARK COUNTY OF SAN MATEO CALIFORNIA

SCALE: 1" = 10' DATE: JANUARY 5, 2022







SAN RAMON • (925) 866-0322 ROSEVILLE

SHEET NO. OF 1 SHEETS SURVEYORS • PLANNERS

I CERTIFY THAT THIS PARCEL'S BOUNDARY WAS ESTABLISHED BY ME OR UNDER MY SUPERVISION AND IS BASED ON A FELD SURVEY IN CONFORMANCE WITH THE LAND SURVEYOR'S ACT. ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED AND ARE SUPPLIENT TO EMASE THE SURVEY TO BE RETRACED. 8/3/21 DATE

SURVEYOR'S STATEMENT:

MARK H. WEHBER

REGISTERED L.S. NO. 7960



EXISTING SANITARY SEWER CLEANOUT