



THOMAS JAMES HOMES
255 Shoreline Dr Suite 428,
Redwood City, CA 94065

69 CORNELL ROAD
Project Description
March 23, 2022

PARCEL GENERAL INFORMATION

The 4,238 sq. ft. parcel located at 69 Cornell Road is a substandard lot, which is the reason a Use Permit is required for the proposed two-story residence. The R-1-U zoning ordinance requires a minimum of 7000 sq ft in area, 65 ft in width and 100ft in depth. The lot is substandard in all three of these criteria, as prescribed in the ordinance. There are 9 trees analyzed including 4 trees onsite and 5 trees offsite (see also Arborist Report & sheet L1.1). Of the trees evaluated, there are no street trees, there are 2 heritage oaks, and 5 other heritage trees. Zero trees are proposed for removal. This is achieved through siting the new home closely to the footprint of the existing residence, and through preserving the existing detached garage. Tree protection during construction shall be provided for these trees through fencing as well as construction methods to save the trees from being impacted.

EXISTING HOME TO BE DEMOLISHED

The existing house is a single-story single-family minimal stucco cottage home built in 1926. It is 788 sf at the main level with a 146.9 SF basement & crawlspaces, plus a detached 323 sf garage.

PROPOSED SINGLE FAMILY RESIDENCE

The proposed home is a two-story single-family residence in a Cottage style. Neighboring homes on Cornell Road are a mixture of single story and two story homes featuring stucco, horizontal siding, and painted wood accents. Roof forms for neighboring homes are predominantly hipped or gabled and are oriented to break down the massing of the home, as viewed from the street. We believe that the proposed home at 69 Cornell Road will blend well with the neighborhood through its' palette of horizontal siding, board & batt siding, wood and brick accents, and composition shingle over gabled roof forms. The single-story front porch echoes the pattern of stoops and porches in the neighborhood, and offers a human scaled appearance from the street.

The new home is proposed to have 3 bedrooms and 3 baths, with an open floor plan designed to appeal to families. An existing detached 1-car garage at the rear of the lot is proposed to remain, paired with an uncovered parking space at the driveway. A wooden trellis is proposed for the rear of the home, to compliment the open space at the backyard.

NEIGHBOR RELATIONS

Thomas James Homes has prepared a neighbor notice letter for distribution to neighbors within 300-ft of this property with a copy of the site plan, floor plan, elevations and a letter addressing our project. We look forward to adding to the charm and sense of community in Menlo Park, and welcome any questions the City may have as we go through the Use Permit Application process.

Best,
Steve Duncan, Senior Planning Manager at **Thomas James Homes**
sduncan@tjhusa.com | 650.481.9425

THE RIGHT HOME. RIGHT WHERE YOU WANT IT.
255 Shoreline Drive, Suite 428, Redwood City, CA 94065

69 CORNELL ROAD MENLO PARK, CA 94025

February 25th, 2022

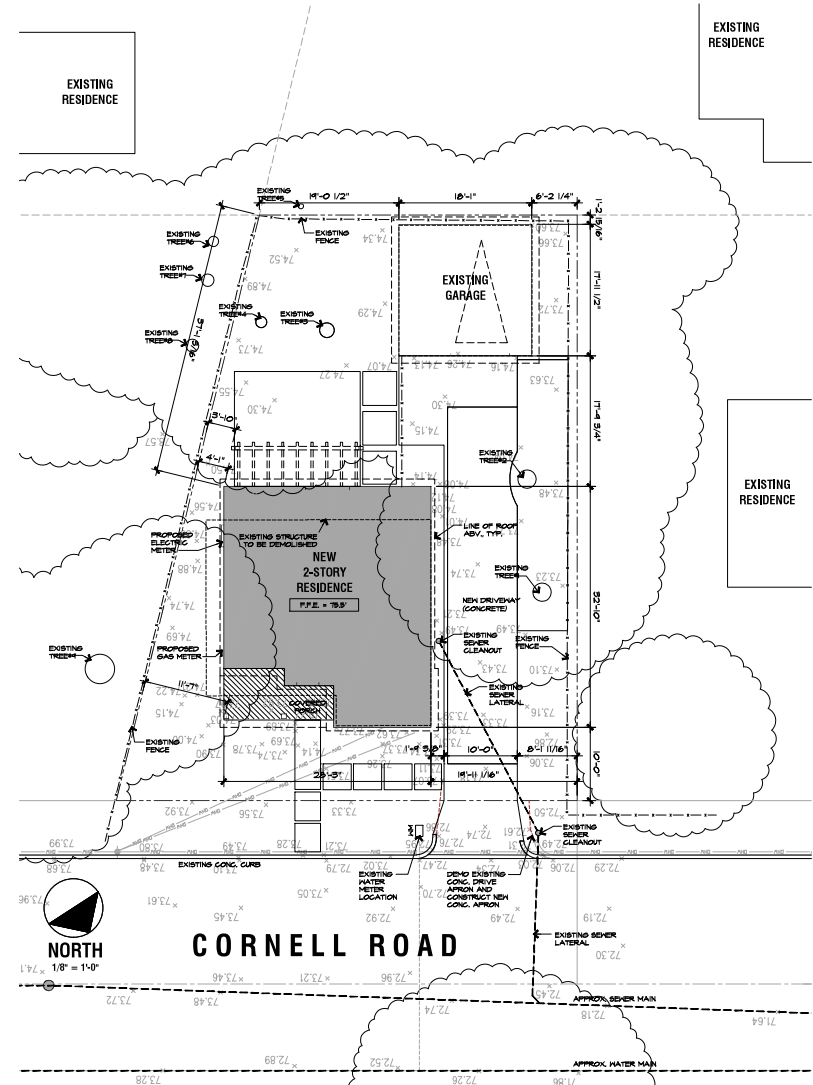
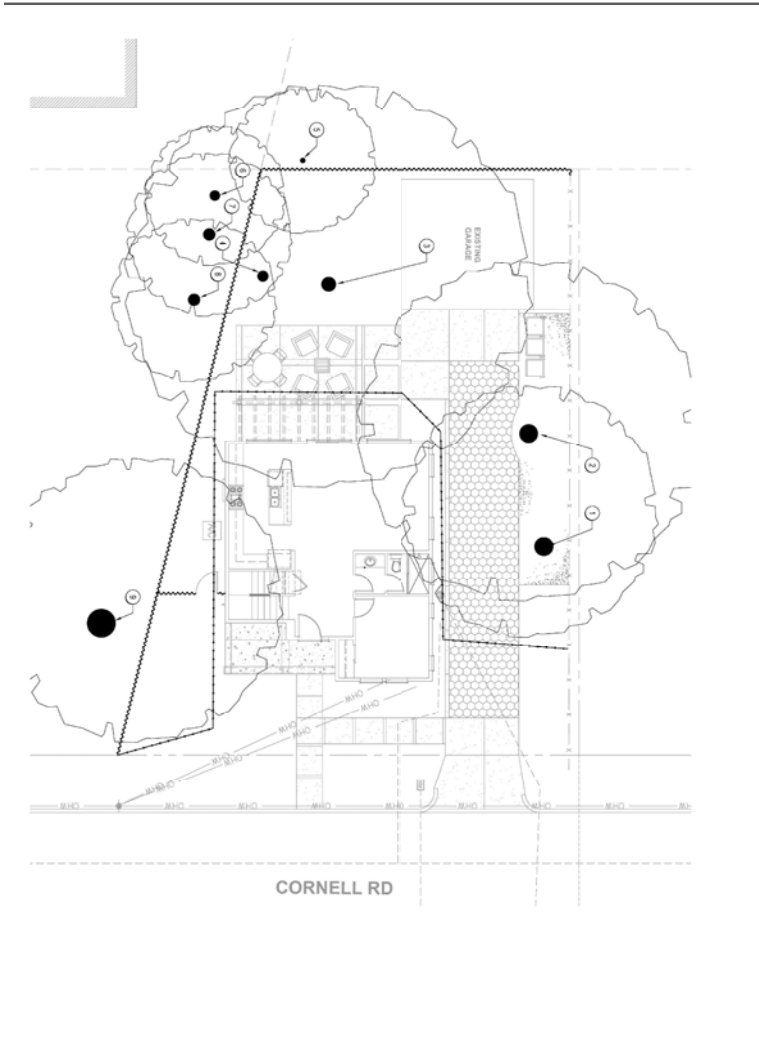


PROJECT DATA		
LEGAL DESCRIPTION:	LOT 10 IN BLOCK 10 STANFORD PARK	
APN:	071-432-050	
PROJECT ADDRESS:	69 CORNELL MENLO PARK, CA 94025	
ZONING:	R-1-U	
BUILDING CLASSIFICATION:	SINGLE FAMILY DETACHED RES1 FIRE SPRINKLERS PER ORD RS13.3	
TYPE OF CONSTRUCTION:	TYPE IV-B	
FIRE ZONE:	N/A	
SITE AREA:	4,238 SQ. FT.	
COVERED PARKING:	1 COVERED, 1 UNCOVERED	
ALLOWABLE LOT COVERAGE:	30%	
PROPOSED LOT COVERAGE:	31% (1,328 SQ. FT.)	
ALLOWABLE FAL:	1,664-2,329 SQ. FT.	
PROPOSED FAL:	1,982 SQ. FT.	
ALLOWABLE 2nd FLOOR FAL:	830-1,164 SQ. FT.	
PROPOSED 2nd FLOOR FAL:	759 SQ. FT.	
BUILDING HEIGHT:	± 27'-6.5"	
SETBACKS	PROPOSED (NOTE THAT THIS LOT IS SUBSTANDARD IN AREA, WIDTH, DEPTH)	ZONING ORDINANCE FOR STANDARD LOTS
FRONT:	10'-0"	20'-0" MIN.
SIDE:	4'-1" (LEFT) / 19'-11" (RIGHT)	5'-0" MIN.
REAR:	37'-1"	20'-0" MIN.
SQUARE FOOTAGE:	PROPOSED	
FIRST FLOOR:	824 SQ. FT.	10'-0"
SECOND FLOOR:	759 SQ. FT.	4'-1" (LEFT) / 19'-11" (RIGHT)
TOTAL LIVABLE:	1,583 SQ. FT.	37'-1"
EXISTING GARAGE:	325 SQ. FT.	
ARCH. FEATURES (2ND FLR):	74 SQ. FT.	
FAL:	1,982 SQ. FT.	
PORCH:	87 SQ. FT. (NOT INCL. IN FAL)	
CODES:	2019 CALIFORNIA BUILDING CODE 2019 CALIFORNIA RESIDENTIAL CODE 2019 CALIFORNIA MECHANICAL CODE 2019 CALIFORNIA PLUMBING CODE 2019 CALIFORNIA FIRE CODE 2019 CALIFORNIA ELECTRICAL CODE 2019 CALIFORNIA ENERGY CODE 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE	
GOVERNING BODY:	CITY OF MENLO PARK	

DIRECTORY	
OWNER: THOMAS JAMES HOMES 255 SHORELINE DRIVE, SUITE 428 REDWOOD CITY, CA 94065 CONTACT: CYNTHIA THEBAUT PHONE: (650) 382-0648 EMAIL: CTHEBAUT@T.J.H.S.A.COM	CRUI. ENGINEER: CRG 2833 CAMINO RAMON #350 SAN RAMON, CA 94583 PHONE: (925) 866-3322
ARCHITECTS: BASSENIAN LAGONI ARCHITECTS 2091 ORCHARD DRIVE NEWPORT BEACH, CA 92660 CONTACT: TERESSA OEHRLIN PHONE: (949) 553-9100 EMAIL: TERESSA@BASSENIANLAGONI.COM	

SHEET INDEX	
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A1.0	PROPOSED SITE PLAN
A2.0	PROPOSED FLOOR PLAN - FIRST FLOOR
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A2.2	SQUARE FOOTAGE CALCULATIONS
A3.0	PROPOSED EXTERIOR ELEVATIONS - FRONT, REAR, AND ROOF PLAN
A3.1	PROPOSED EXTERIOR ELEVATIONS - LEFT AND RIGHT
A3.2	PROPOSED DETACHED GARAGE REVISIONS
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A4.0	COLOR AND MATERIAL BOARD
A4.1	COLOR AND MATERIAL BOARD RENDERINGS
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L2.2	PLANTING DETAILS
L2.3	TREE PROTECTION PLAN AND NOTES
S-1	BOUNDARY AND TOPOGRAPHIC SURVEY



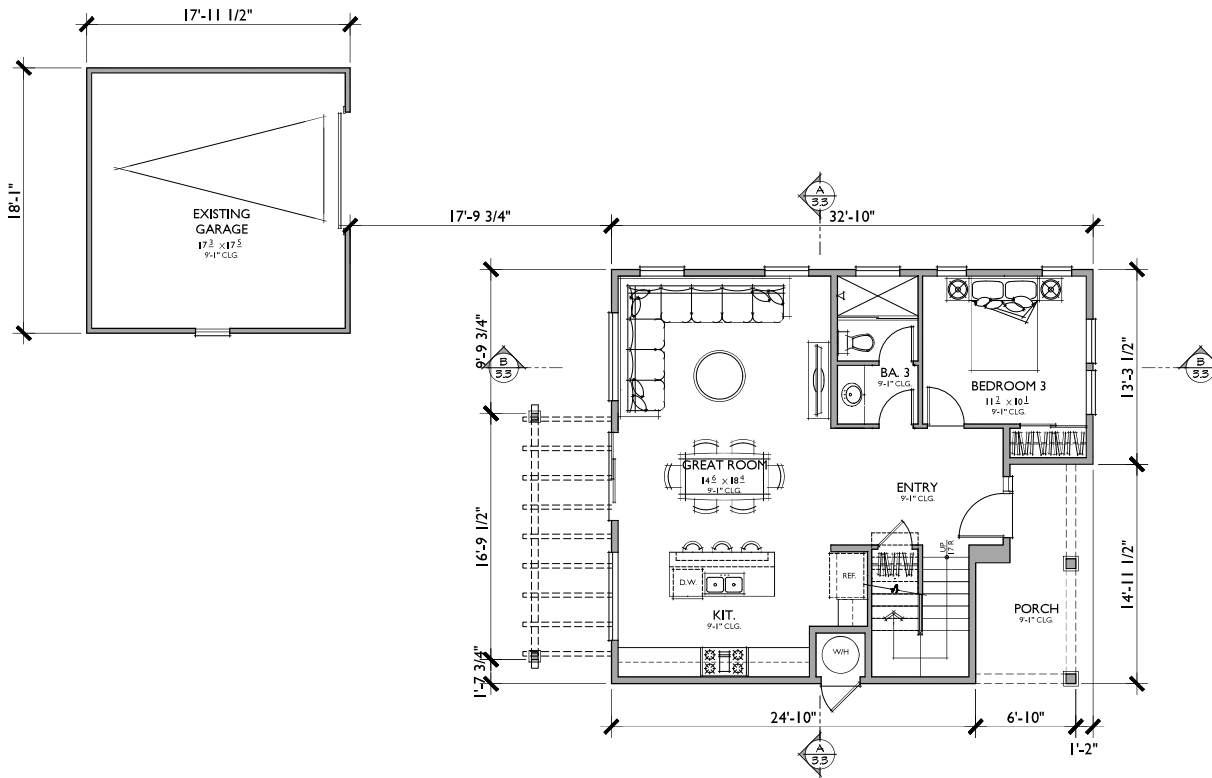


PROPOSED SITE PLAN

69 CORNELL
Menlo Park, California

9 4 8 16 918.21247





FIRST FLOOR

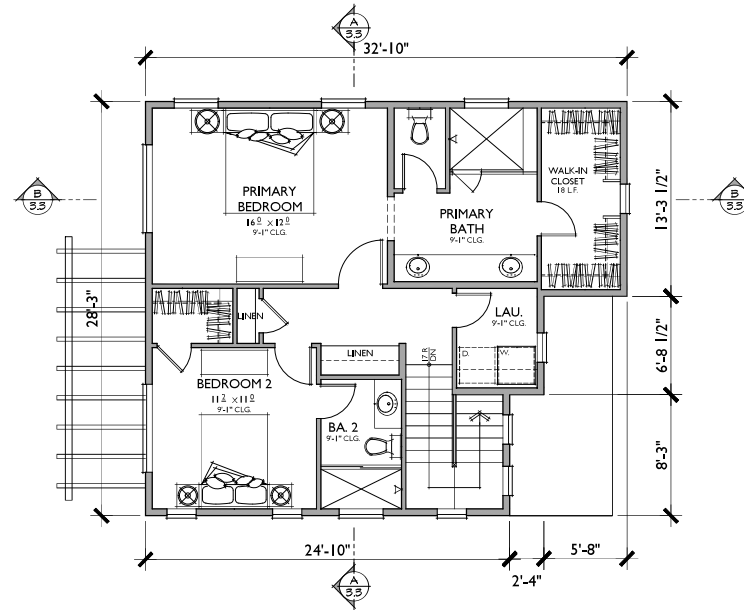
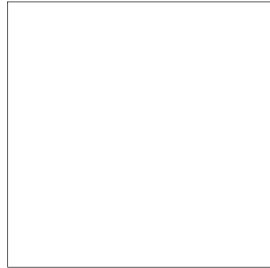
3 BEDROOMS / 3 BATHS
1 - CAR GARAGE

FLOOR AREA TABLE

1ST FLOOR	824 SQ. FT.
2ND FLOOR	759 SQ. FT.
TOTAL LIVING	1,583 SQ. FT.
1 - CAR GARAGE (Existing)	325 SQ. FT.
PORCH	87 SQ. FT.
LOT COVERAGE	31%
FAR (1664-2329)	1982

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION





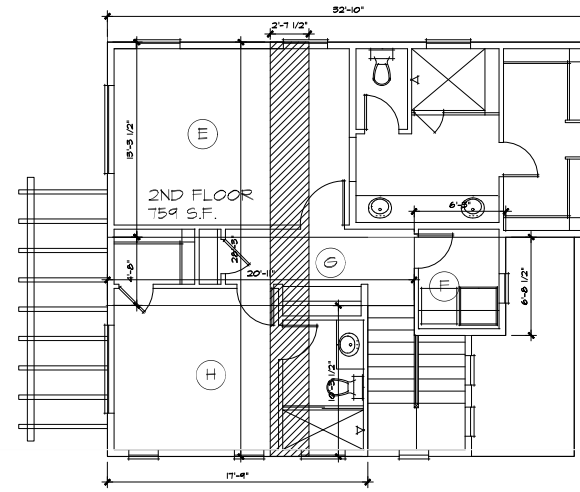
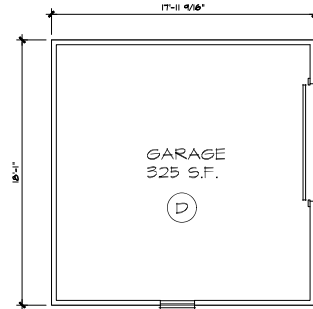
SECOND FLOOR

3 BEDROOMS / 3 BATHS
1 - CAR GARAGE

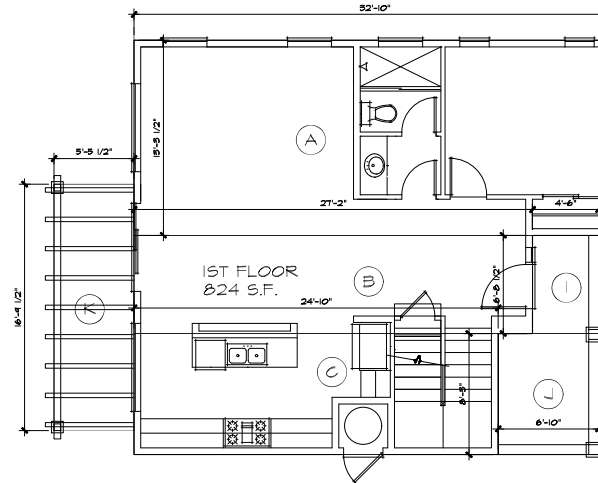
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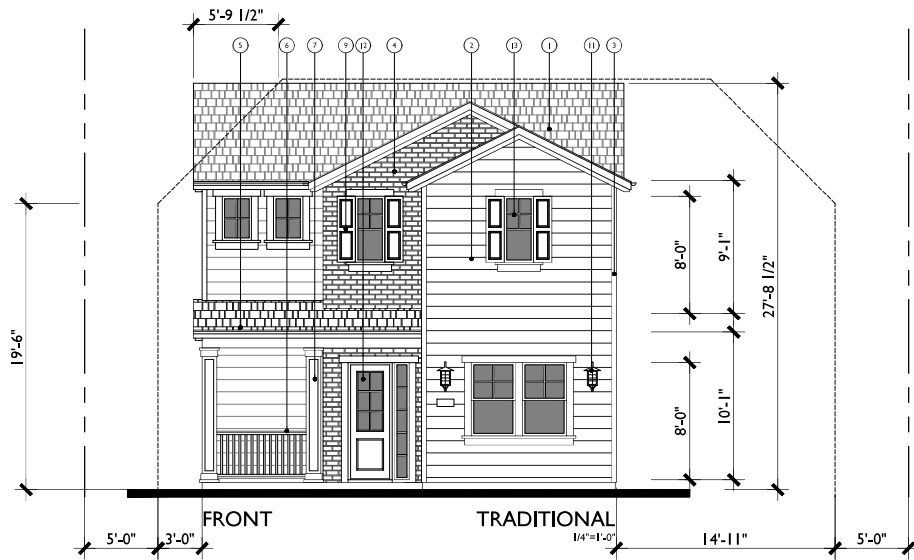
AREA CALCULATION		
LABEL	DIMENSIONS	AREA
FIRST FLOOR		
A	32'-10" X 13'-3.5"	436 SQ. FT.
B	27'-2" X 6'-8.5"	182 SQ. FT.
C	24'-10" X 8'-3"	205 SQ. FT.
	SUBTOTAL	824 SQ. FT.
GARAGE		
D	17'-11.5" X 18'-1"	325 SQ. FT.
	SUBTOTAL	325 SQ. FT.
SECOND FLOOR		
E	32'-10" X 13'-3.5"	436 SQ. FT.
F	6'-3" X 6'-8.5"	42 SQ. FT.
G	20'-11" X 4'-8"	98 SQ. FT.
H	17'-9" X 10'-3.5"	183 SQ. FT.
	SUBTOTAL	759 SQ. FT.
PORCH (FOR BUILDING COVERAGE ONLY)		
I	15'-9" X 18'-0"	30 SQ. FT.
J		57 SQ. FT.
	SUBTOTAL	87 SQ. FT.
TRELLIS (FOR BUILDING COVERAGE ONLY)		
K	4'-5.5" X 9'-10"	92 SQ. FT.
BUILDING COVERAGE		
	FIRST FLOOR (A-C)	824 SQ. FT.
	GARAGE (D)	325 SQ. FT.
	PORCH (I-J)	87 SQ. FT.
	TRELLIS (K)	92 SQ. FT.
	TOTAL	1,328 SQ. FT.
FLOOR AREA LIMIT		
	FIRST FLOOR (A-C)	824 SQ. FT.
	SECOND FLOOR (E-H)	759 SQ. FT.
	GARAGE (D)	325 SQ. FT.
	ATTIC	74 SQ. FT.
	TOTAL	1,982 SQ. FT.



SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

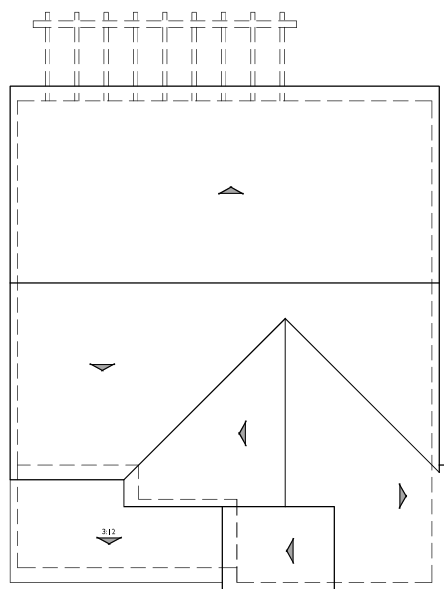


FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"



REAR

- MATERIALS LEGEND:**
1. COMPOSITION SHINGLE ROOF
 2. CEMENTITIOUS SIDING
 3. CEMENTITIOUS TRIM
 4. BRICK VENEER
 5. WOOD TRELLIS
 6. WOOD RAILING
 7. DECORATIVE COLUMN
 8. DECORATIVE VENT
 9. DECORATIVE SHUTTER
 10. SECTIONAL GARAGE DOOR W/ WINDOWS
 11. COACH LIGHT
 12. FIBERGLASS ENTRY DOOR W/ WINDOW
 13. FIBERGLASS WINDOW

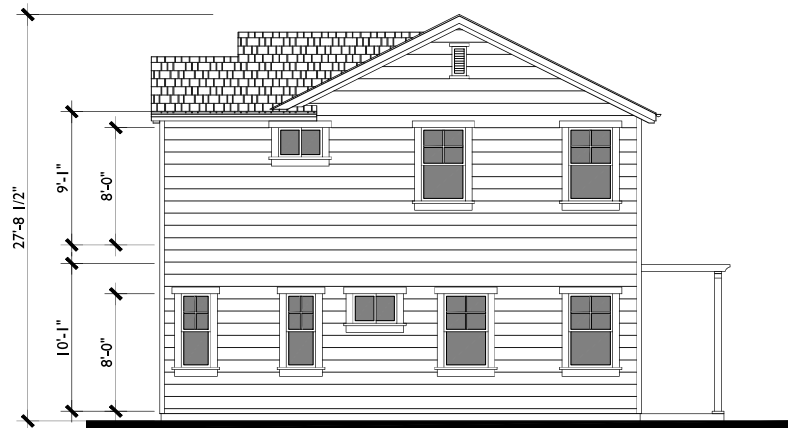


ROOF PLAN TRADITIONAL

PITCH: 6:12 U.N.O.
 RAKE: 12"
 EAVE: 6"
 ROOF MATERIAL: COMPOSITION



LEFT



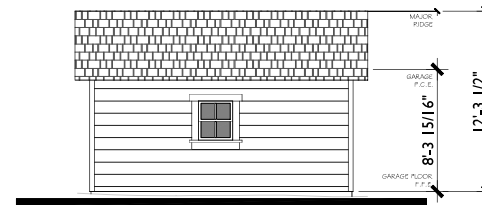
RIGHT

MATERIALS LEGEND:

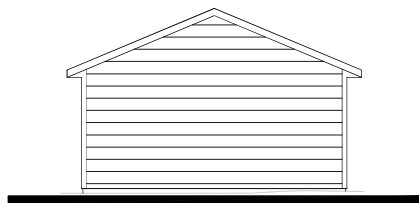
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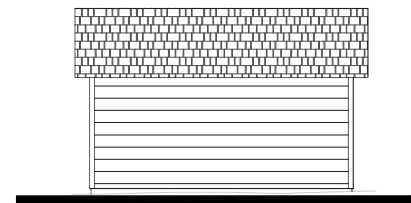
FRONT



LEFT



REAR



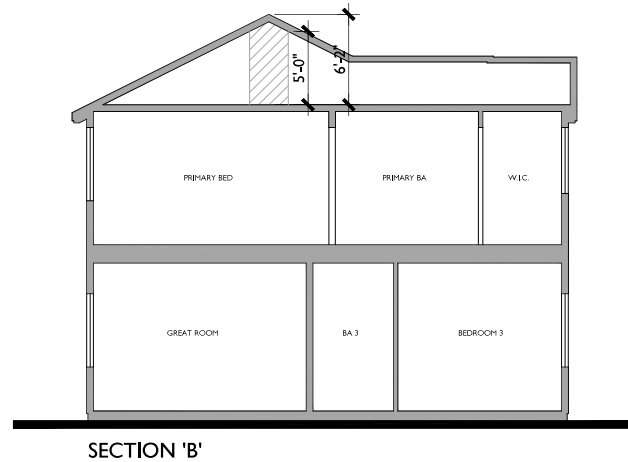
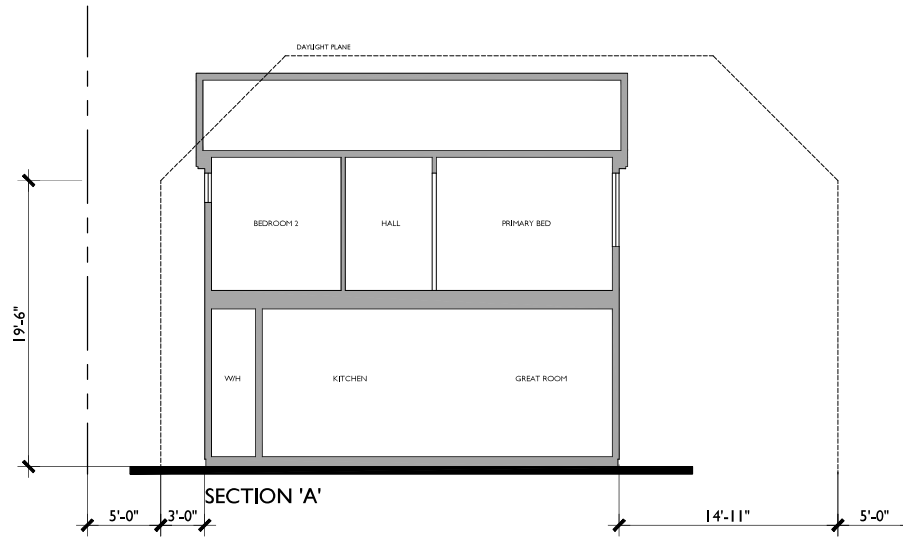
RIGHT

ELEVATIONS
Detached Garage Elevations

69 CORNELL

Menlo Park, California

9 3 4 8 918.21247



SECTIONS

69 CORNELL

Menlo Park, California

9 2 4 8 918.21247

WINDOW FRAMES: BLACK



FRONT DOOR
MASONITE
VISTAGRANDE
MATERIAL OPTIONS: FIBERGLASS
STYLE: ¾ LITE 4 SDL PANEL DOOR



GARAGE DOOR
CLOPAY GRANDE HARBOR
SERIES 1; DESIGN 12
WINDOW: SQ22



FENCE STAIN
SEMI-SOLID
DUNE GRAY



EXTERIOR RENDERINGS
(NOT TO SCALE)

69

HOUSE NUMBERS



EXTERIOR LIGHT FIXTURE
9"W x 12.5"H x 10.5"D

PURE WHITE

SW 7005

- FASCIA, EAVES, HEADERS
- POSTS, BEAMS, COLUMNS
- TRELLIS
- TRIM

DRIFT OF MIST

SW 9166

- SIDING, SIDING CORNER TRIMS

IRON ORE

SW 7069

- FRONT DOOR
- GARAGE DOOR
- SHUTTERS



ELDORADO STONE
TUNDRA BRICK – CHALK DUST



GAF ROOF SHINGLES
CHARCOAL



69 CORNELL ROAD
MENLO PARK, CALIFORNIA 94025

This is an example of design specifications for this particular plan and elevation. Detailed specifications, finishes and fixtures are subject to change, on homes prior to sale. At any time without notice or obligation. Square footage and lot dimensions are approximate and may vary in construction and depending on the location of measurement. Home, rendering and site plan are for illustrative purposes only. © 2018 Thomas James Homes, LLC. All rights reserved. CA DISE. License #02017297.

NOTES:
DIMENSIONS PROVIDED IN THIS DOCUMENT ARE BASED OFF THE ARCHITECTURAL PLANS AND ARE TO BE VERIFIED IN FIELD. ACTUAL FIELD CONDITIONS MAY EFFECT THESE DIMENSIONS. PROJECT MANGER TO NOTIFY DESIGNER OF DIMENSIONS AND FIELD CONDITIONS THAT DIFFER FROM THE DESIGN PACKAGE AND ARCHITECTURAL PLANS.

DATE: 03.17.22
DESIGNER: SAMIA S RASHED
ARCHITECT: BASSENIAN LAGONI

NOTE: RENDERINGS SHOWN ARE FOR ILLUSTRATION PURPOSES ONLY AND ARE NOT INTENDED TO BE AN ACTUAL DEPICTION OF THE HOME OR IT'S SURROUNDINGS

PLAN B16
COASTAL

