

PROJECT NARRATIVE

Project Address: 711 Central Ave.
Permit No.:
Date: 03.08.23

Project Description

Proposal for a new single family home and attached ADU on a substandard flat lot. The existing single family home and accompanying accessory building will be torn down. The new home will have three bedrooms and three bathrooms on the second floor, and one bedroom and one bathroom on the first floor. An 800 sf attached ADU will be located at the rear of the first floor.

The project is located in a flood zone, so the first floor is above the Base Flood Elevation. Materials below the BFE will be resistant to flood damage, per city and FEMA regulations. Utilities will be placed above the BFE.

Since we have a flat lot, the site layout was mainly informed by the existing heritage trees. We articulated the building in order to keep as many trees as possible. The side deck on the north side allows us to keep the existing 24" magnolia tree.

The open layout and tall windows provide light-filled and spacious living areas. The attached 800 sf ADU is located in the rear of the residence and maintains the same high quality details and contemporary style that is evident in the main residence. The new residence will have articulated massing, and high quality materials as expected in a modern custom home.

Zoning Summary

This project meets all requirements for FAL, Building Coverage, and Daylight Plane. The 2nd story balcony is located away from each neighbor and faces the rear of the property. One covered parking space and one uncovered parking space are provided, located within the buildable area.

The ADU is 800 sf and accessible through the side yard. The ADU is located within one half mile walking distance of public transportation, which precludes the requirement for an additional off-street parking space.

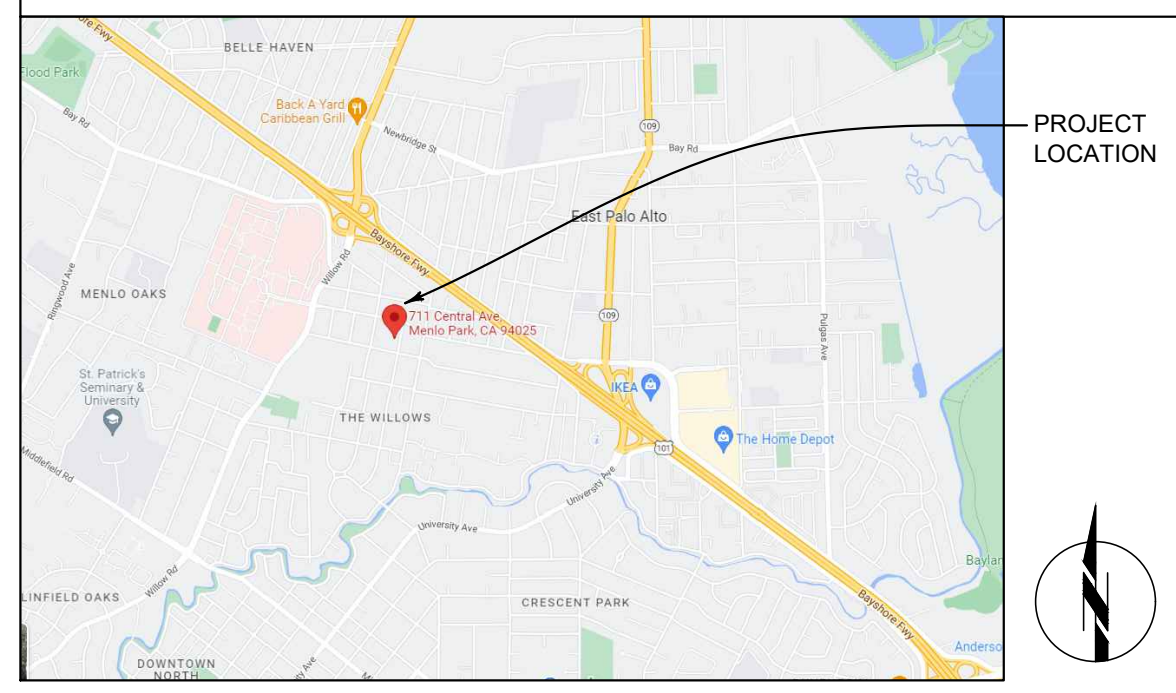
Neighborhood Outreach

The owners of this property have reached out to their neighbors to discuss the proposed project. The neighbors are very supportive and did not discuss any objections.

Jim Fehrle, 715 Central Ave
Jonathan Childs and Margaret Keller, 717 Central Ave
William Schottstaedt, 712 Central Ave (Opposite House)
Jose Magana, 701 Central Ave



VICINITY MAP



PROJECT DIRECTORY

ARCHITECT:
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MILLBRAE, CA 94030
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RYAN@MORRIS-ARCH.COM

SURVEYOR:
BAY LAND CONSULTING
P.O. BOX 299
SANTA CLARA, CA 95052
P: 408.296.6000

GEOTECHNICAL ENGINEER:
CAPEX ENGINEERING INC.
P.O. BOX 14198
FREMONT, CA 94539
T: 408.605.1115
capexinc888@gmail.com

PROJECT DESCRIPTION

- NEW FOUR BED / FOUR BATH SINGLE FAMILY RESIDENCE
- NEW ATTACHED ADU
- NEW COVERED FRONT PORCH AND UNCOVERED SIDE AND BACK DECKS

GENERAL NOTES

- CODES**
THE WORK SHALL CONFORM TO THE CALIFORNIA TITLE 24:
PART 2 2022 CALIFORNIA BUILDING CODE
PART 2.5 2022 CALIFORNIA RESIDENTIAL CODE
PART 3 2022 CALIFORNIA ELECTRICAL CODE
PART 4 2022 CALIFORNIA MECHANICAL CODE
PART 5 2022 CALIFORNIA PLUMBING CODE
PART 6 2022 CALIFORNIA ENERGY CODE
PART 9 2022 CALIFORNIA FIRE CODE
PART 11 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
AND THE MENLO PARK MUNICIPAL CODE
- DRAWINGS**
1. GENERAL CONDITIONS. THE STANDARD A.I.A. GENERAL CONDITIONS ARE HEREBY MADE A PART OF THESE DRAWINGS.
2. DIMENSIONS. WRITTEN DIMENSIONS SHALL GOVERN. DO NOT SCALE THE DRAWINGS.
3. DIMENSIONS. ALL DIMENSIONS ARE TO THE FACE OF STUD OR FACE OF CONCRETE, OR TO THE CENTERLINE OF GRIDS, COLUMNS, WINDOWS, DOORS, AND FIXTURES, UNLESS OTHERWISE NOTED.
4. DIMENSIONS. 'CLR' DENOTES MEASUREMENT FROM FINISH SURFACES, TYP.
5. COMPLETION. THESE DRAWINGS INCLUDE THE GENERAL EXTENT OF NEW CONSTRUCTION NECESSARY FOR THE WORK, BUT ARE NOT INTENDED TO BE ALL-INCLUSIVE.
- GENERAL CONTRACTOR'S RESPONSIBILITIES**
6. PLANS ON SITE. THE GENERAL CONTRACTOR (HEREAFTER G.C.) SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DRAWINGS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR USE BY ALL TRADES AND SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DRAWINGS.
7. DISCREPANCIES. THE G.C. IS RESPONSIBLE FOR THOROUGH REVIEW OF THESE DOCUMENTS AND EXISTING FIELD CONDITIONS PRIOR TO THE COMMENCEMENT OF ANY WORK. ANY ERRORS, OMISSIONS, OR CONFLICTS FOUND ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT IN WRITING FOR CLARIFICATION.
8. SUBSTITUTIONS. THE G.C. IS REQUIRED TO NOTIFY ARCHITECT IN WRITING OF ANY SUBSTITUTION, REVISION OR PROPOSED ALTERNATE AT LEAST TWO WEEKS PRIOR TO THE ORDER OR INSTALLATION OF SAID ALTERNATE IN ORDER TO ALLOW FOR NECESSARY COORDINATION AND APPROVALS.
9. INSPECTIONS. THE G.C. IS RESPONSIBLE FOR THOROUGH REVIEW OF THE ARCHITECTURAL AND STRUCTURAL DRAWINGS, GEOTECHNICAL REPORT, AND THE ENERGY AND GREEN COMPLIANCE MANDATORY MEASURES AND IS RESPONSIBLE FOR SCHEDULING AND BEING PRESENT FOR ANY INSPECTIONS OR OBSERVATIONS REQUIRED. (MIN. 48 HOURS NOTICE FOR SITE VISITS)
10. SAFETY. THE G.C. SHALL BE SOLELY RESPONSIBLE FOR SAFETY ON THE JOB SITE AND ADHERE TO ALL FEDERAL, STATE, LOCAL AND OSHA SAFETY REGULATIONS.
11. DEFERRED SUBMITTALS. DEFERRED SUBMITTAL DOCUMENTATION SHALL BE SUBMITTED TO THE ARCHITECT OR ENGINEER OF RECORD WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE PROJECT. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.
12. WORKMANSHIP. ALL WORKMANSHIP IN ALL TRADES SHALL BE OF THE HIGHEST QUALITY, BY PERSONS ESPECIALLY SKILLED AT ASSIGNED TASKS, AND SHALL RESULT IN A NEAT AND CLEAN INSTALLATION. ALL WORK SHALL BE INSTALLED TRUE, PLUMB, LEVEL, SQUARE, AND IN PROPER ALIGNMENT. NOTIFY ARCHITECT AND OWNER OF EXISTING CONDITIONS WHICH DO NOT MEET THESE EXPECTATIONS.
13. MANUFACTURER'S REQUIREMENTS. THE G.C. SHALL INSTALL ALL MATERIALS, EQUIPMENT, AND FIXTURES IN CONFORMANCE WITH THE REQUIREMENTS OF THE MANUFACTURER.
14. BRACING AND SHORING. DESIGN AND INSTALLATION OF ALL TEMPORARY BRACING AND SHORING IS THE SOLE RESPONSIBILITY OF THE G.C.
- GENERAL NOTES**
15. CAL GREEN. SEE SHEET GB.1 FOR CAL GREEN MANDATORY REQUIREMENTS
- FOUNDATION / SOILS (GEOTECH. REPORT)**
16. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ADEQUACY OF THE FOUNDING SOILS. THE FOUNDATION DESIGN IS PREPARED BY THE STRUCTURAL ENGINEER AND BASED UPON A GEOTECHNICAL REPORT BY THE ABOVE LISTED GEOTECHNICAL ENGINEER.
17. SEE STRUCTURAL DRAWINGS, GEOTECHNICAL REPORT, AND/OR CIVIL DRAWINGS FOR ADDITIONAL CRITERIA REGARDING FOUNDATIONS, EXCAVATION, EARTHWORK, SITE PLACEMENT OF ANY CONCRETE, AND/OR DRAINAGE RECOMMENDATIONS

PROJECT DATA

APN #	062-233-170
ZONE	R1U
OCCUPANCY	R-3 / U
CONSTRUCTION TYPE	V-B
AUTOMATIC SPRINKLERS	YES - NEW
FLOOD ZONE	AE
STORIES	2
SITE AREA	10,000 SF
PARKING	1 COVERED/ 1 UNCOVERED
FLOOR AREA	SEE A0.3
SITE COVERAGE	SEE A0.3

ABBREVIATIONS

A.D.	AREA DRAIN	GSM	GALVANIZED SHEET METAL
ADJ.	ADJUSTABLE	GYP. BD.	GYPSUM BOARD
A.F.F.	ABOVE FINISH FLOOR	HT	HEIGHT
ALT.	ALTERNATE	INCAN	INCANDESCENT
ALUM.	ALUMINUM	LT	LIGHT
ANOD.	ANODIZED	MAX	MAXIMUM
ARCH.	ARCHITECT/TURAL	MECH	MECHANICAL
BD	BOARD	MFR	MANUFACTURER
BLD'G	BUILDING	MIN	MINIMUM
BLK'G	BLOCKING	MTL	METAL
BM	BEAM	NEW	NEW
B.O.	BOTTOM OF	O.C.	ON CENTER
CAB	CABINET	O/	OVER
C.J.	CEILING JOIST	PLYWD	PLYWOOD
CLG	CEILING	PTD	PAINTED
CLR	CLEAR	PT. GR.	PAINT GRADE
C.O.	CLEAN OUT	P.T.	PRESSURE TREATED
CONC	CONCRETE	RDWD	REDWOOD
DIA	DIAMETER	REFR	REFRIGERATOR
DN	DOWN	REQD	REQUIRED
DS	DOWNSPOUT	RM	ROOM
DW	DISHWASHER	R.O.	ROUGH OPENING
DWG	DRAWING	SCHED	SCHEDULE
(E)	EXISTING	SHT	SHEET
EA	EACH	SHTG	SHEATHING
ELEC	ELECTRIC	SIM	SIMILAR
ELEV	ELEVATION	SKYLT	SKYLIGHT
EQ	EQUAL	SPEC	SPECIFICATION
EXT	EXTERIOR	S.S.D.	SEE STRUCTURAL DRAWINGS
FIN	FINISH	ST. GR.	STEAM GRADE
F.J.	FLOOR JOIST	STL	STEEL
FLR	FLOOR	T&G	TONGUE & GROOVE
F.O.	FACE OF	TEMP	TEMPERED
FT	FEET	T.O.	TOP OF
FTG	FOOTING	TYP	TYPICAL
FURN	FURNACE/FURNITURE	U.N.O.	UNLESS NOTED OTHERWISE
GA	GAUGE	V.I.C.	VERIFY IN FIELD
GALV	GALVANIZED	WH	WATER HEATER

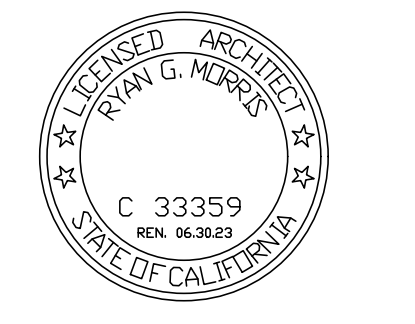
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A0.4	AREA PLAN AND STREETSCAPE
--	TOPOGRAPHIC SURVEY
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A2.3	ROOF PLAN
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A3.2	EXTERIOR ELEVATIONS
A3.3	SECTIONS



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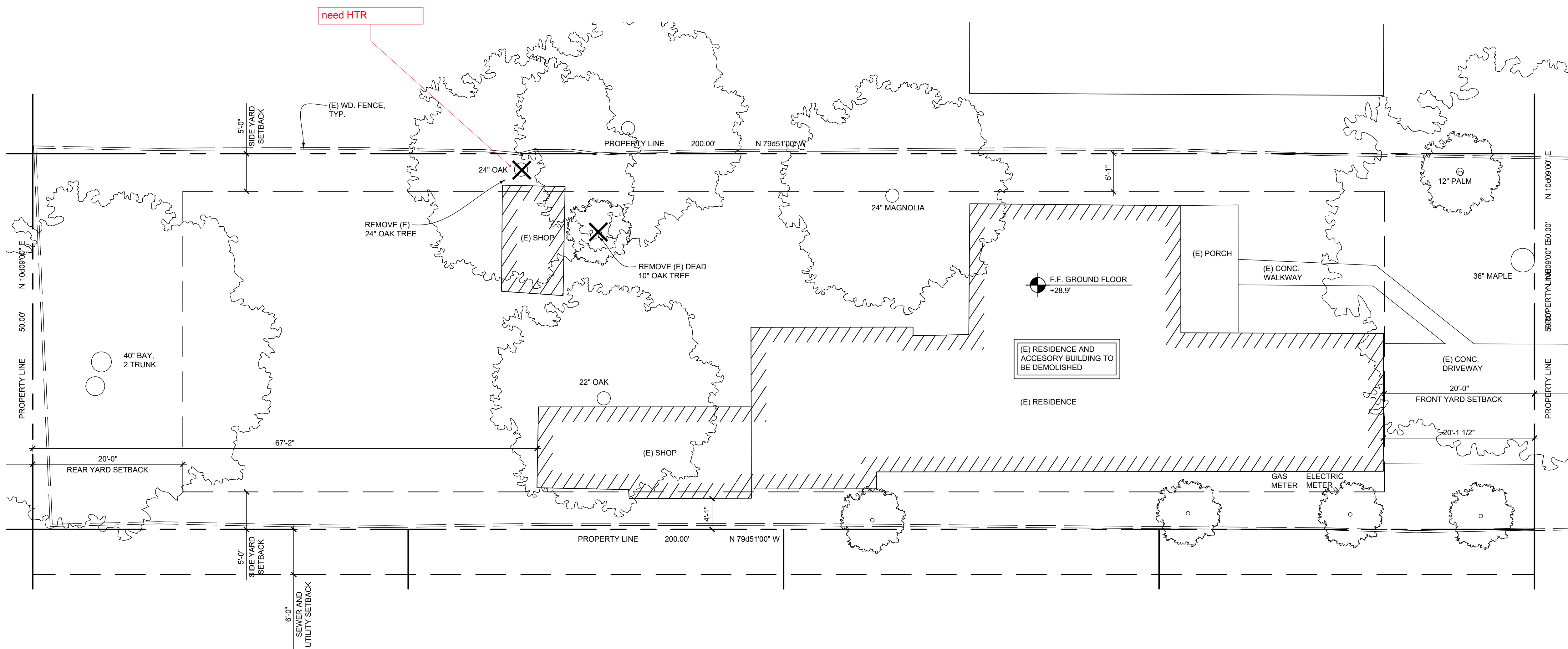
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TITLE SHEET

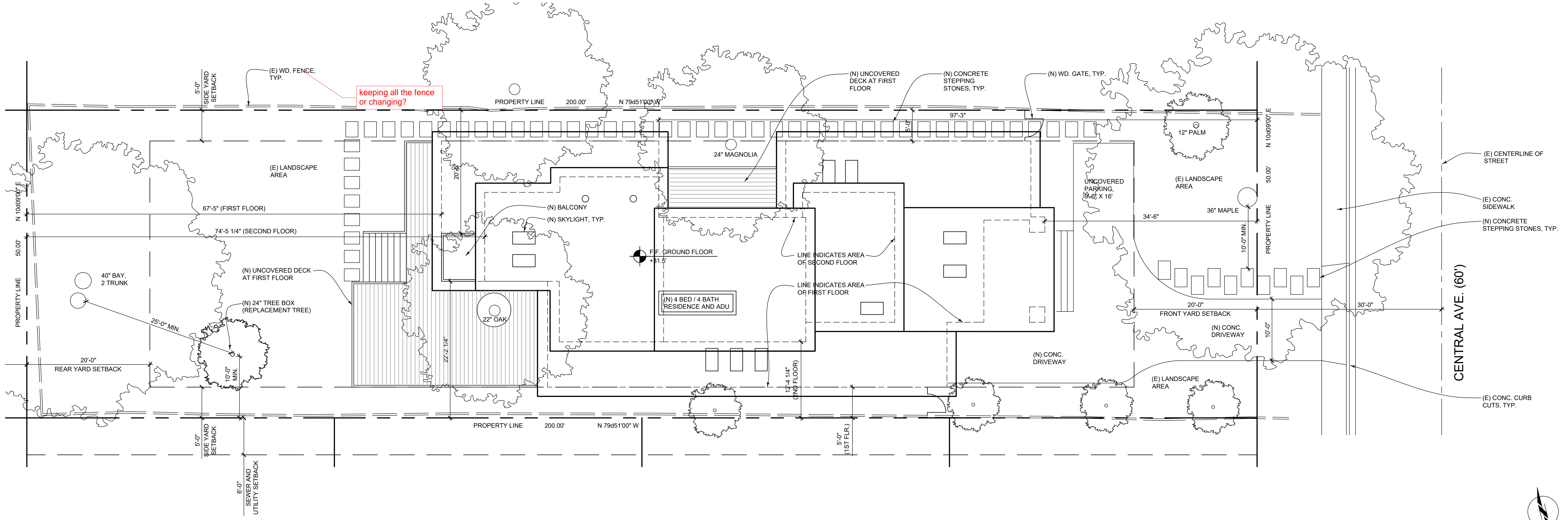
JOB #: 2230

A0.1



- SITE PLAN NOTES:**
- GENERAL NOTES: SEE SHEETS A0.1, TOPOGRAPHIC SURVEY, GRADING AND DRAINAGE PLAN, LANDSCAPE PLAN, AND FLOOR PLANS FOR ADDITIONAL INFO.
 - CAL GREEN: SEE SHEET GB.1 FOR CAL GREEN MANDATORY REQMENTS.
 - BOUNDARY VERIFICATION: THE G.C. SHALL VERIFY THE LOCATIONS OF ALL PROPERTY BOUNDARIES, SETBACKS, AND EASEMENT LOCATIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE FURTHER COMMENCEMENT OF WORK.
 - BENCH MARK: SEE SURVEY DRAWING FOR BENCH MARK AND ASSUMED BASE ELEVATION.
 - ENCROACHMENT: THE G.C. IS RESPONSIBLE FOR OBTAINING APPROVAL / PERMIT PRIOR TO COMMENCING ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
 - UTILITIES: THE G.C. SHALL LOCATE ALL UTILITIES PRIOR TO ANY EXCAVATION, GRADING, OR TRENCHING.
 - UTILITIES: SEE ELECTRICAL PLAN SHEET E2.1 FOR EXACT LOCATIONS OF MAIN ELECTRIC METER AND GAS METER. COORDINATE FINAL LOCATION AND ROUTING WITH G.C. AND UTILITY SERVICE PROVIDER.
 - UTILITIES: THE G.C. SHALL COORDINATE THE LOCATION OF IRRIGATION VALVE BOXES WITH OWNER.
 - TREE PROTECTION: THE G.C. SHALL PROTECT EXISTING TREES FROM DAMAGE DURING CONSTRUCTION AND PROVIDE TREE PROTECTION PER LOCAL JURISDICTION REQUIREMENTS. LARGE ROOTS OR LARGE MASSES OF ROOTS TO BE CUT SHOULD BE INSPECTED BY A CERTIFIED ARBORIST PRIOR TO CUTTING. ANY ROOTS TO BE CUT SHALL BE MONITORED AND DOCUMENTED. ROOTS TO BE CUT SHOULD BE SEVERED CLEANLY WITH A SAW OR TOPPERS.
 - SLOPED GRADE: FINISH GRADE AROUND BUILDING TO HAVE A MIN. 2% SLOPE AWAY FROM BUILDING. FOR A MIN. OF 5' AROUND BUILDING.
 - FOOTING DEPTH: (N) FOUNDATION FOOTINGS SHALL BEAR ON NATIVE UNDISTURBED SOIL. SEE GEOTECH. REPORT AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFO.
 - ADDRESS: STREET ADDRESS NUMERALS TO BE AT LEAST 4" HIGH WITH A MINIMUM 1/2" STROKE, MOUNTED ON A CONTRASTING BACKGROUND CLEARLY VISIBLE FROM THE STREET. ADDRESS NUMBERS SHALL BE AT LEAST SIX FEET ABOVE THE FINISHED SURFACE OF THE DRIVEWAY. CRC R1004
 - CHIMNEYS: THE INSTALLATION OF AN APPROVED SPARK ARRESTOR IS REQUIRED ON ALL CHIMNEYS, EXISTING AND NEW. SPARK ARRESTORS SHALL BE CONSTRUCTED OF WOVEN OR WELDED WIRE SCREENING OF 12 GAUGE USA STANDARD WIRE HAVING OPENINGS NOT EXCEEDING 1/2".
- GRADING NOTES:**
- PROVIDE POSITIVE SURFACE DRAINAGE AWAY FROM ALL STRUCTURES BY SLOPING THE FINISHED GROUND SURFACE AT LEAST 2%, UNLESS OTHERWISE NOTED ON THE PLANS.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM THE GROUND ELEVATIONS AND OVERALL TOPOGRAPHY OF THE SITE PRIOR TO THE START OF CONSTRUCTION AS TO THE ACCURACY BETWEEN THE WORK SET FORTH ON THESE PLANS AND THE WORK IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING PRIOR TO THE START OF CONSTRUCTION.

1 EXISTING SITE PLAN
A0.2 1/8"=1'-0"

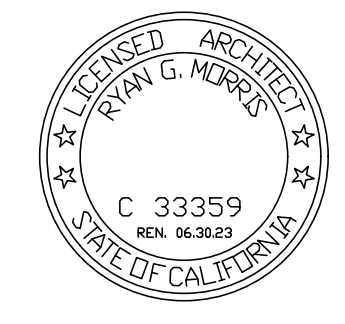


2 PROPOSED SITE PLAN
A0.2 1/8"=1'-0"



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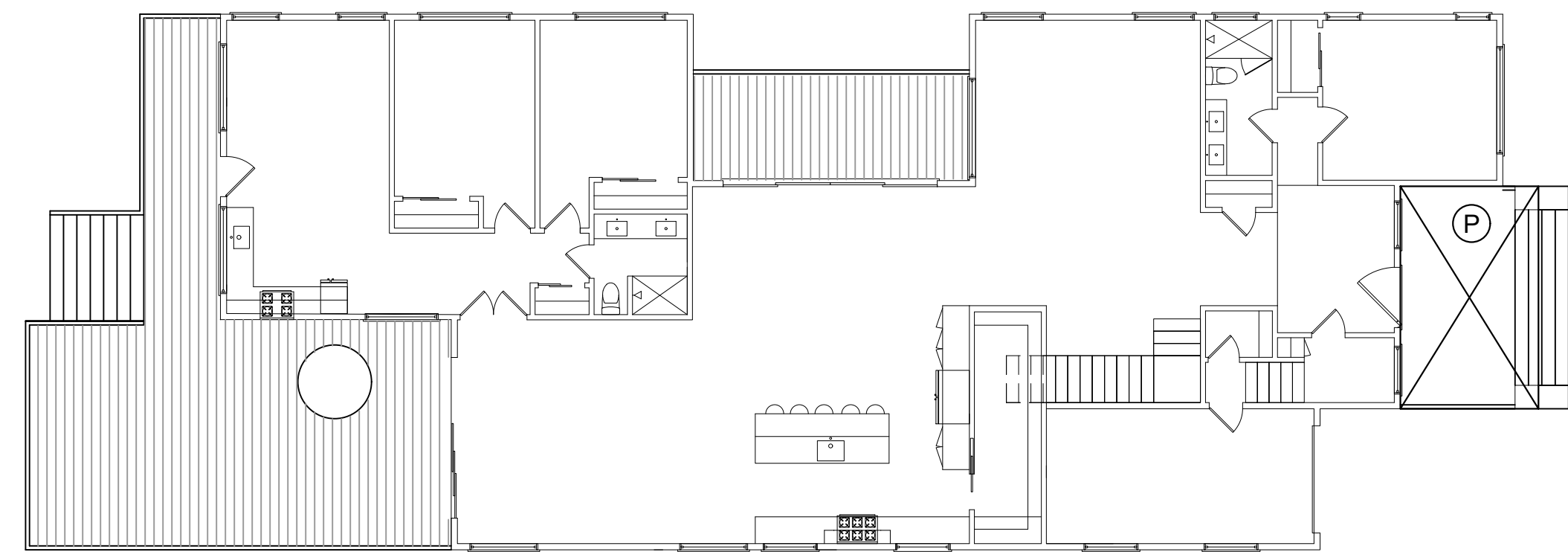
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SITE PLANS

JOB #: 2230

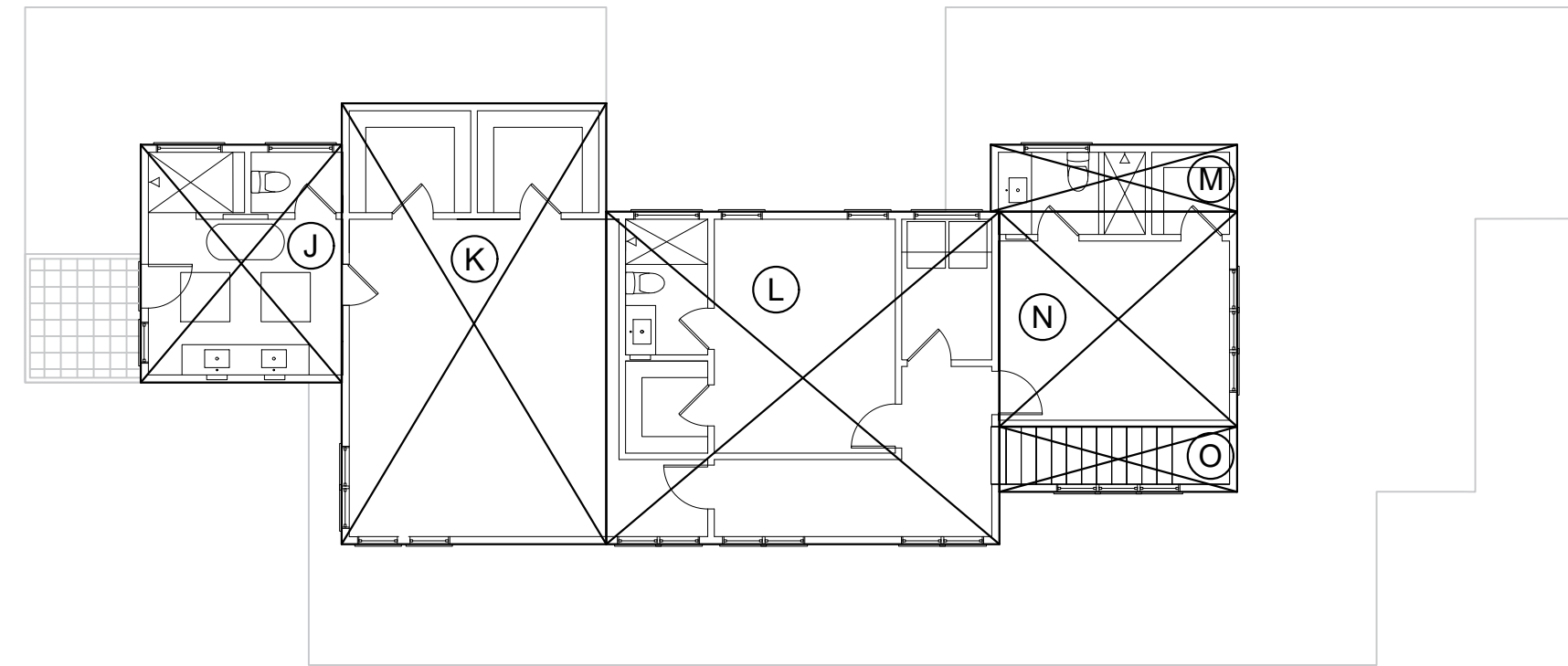
A0.2

PROPOSED DATA SHEET			
ADU	DIMENSIONS	ADU AREA (SF)	HOUSE AREA (SF)
A	17'-3" x 22'-9 3/4"	393	
B	18'-1" x 12'-5"	225	
C	17'-10" x 10'-2 1/2"	182	
TOTAL		800	
1ST FLOOR	DIMENSIONS	NOT COUNTED	HOUSE AREA (SF)
D	17'-10" x 17'-4 1/4"		310
E	20'-10 3/4" x 27'-6 3/4"		576
F	39'-10 1/4" x 12'-10 1/4"		512
G	32'-2 1/2" x 16'-7 1/4"		535
H	5'-9" x 10'-6 1/2"		61
I	20'-5 1/2" x 10'-6 1/4"		215
TOTAL			2209
2ND FLOOR	DIMENSIONS	NOT COUNTED	HOUSE AREA (SF)
J	12'-2 5/8" x 14'-5 1/2"		177
K	16'-1" x 26'-9 3/4"		431
L	23'-10 3/4" x 20'-2 5/8"		483
M	14'-11 3/4" x 4'-0 3/4"		61
N	14'-5 1/4" x 13'-1"		189
O	14'-5 1/2" x 4'-4"	63	
TOTAL		63	1341
SITE	DIMENSIONS		SITE AREA (SF)
P	10'-3 3/4" x 16'-7 1/4"		171
TOTAL			171
MAX FLOOR AREA LIMIT (2,800SF+ .25(10,000-7,000))			3,550
TOTAL PROPOSED FAL (NOT INCLUDING ADU)			3550
TOTAL ADU (NOT COUNTED)		800	
MAX BUILDING COVERAGE (35%) FOR TWO STORY			3,500
TOTAL PROPOSED BUILDING COVERAGE			3180



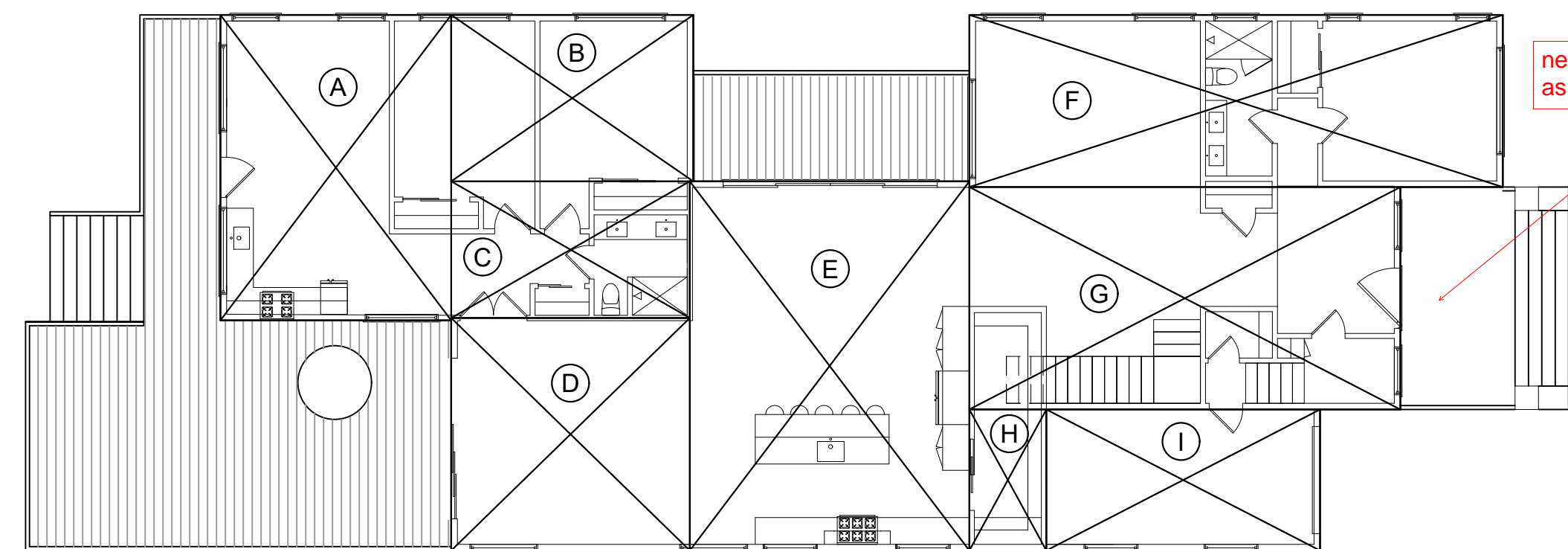
SITE

2nd floor FAL calcs
b/c lot dimensions



SECOND FLOOR

need to count porch
as BC

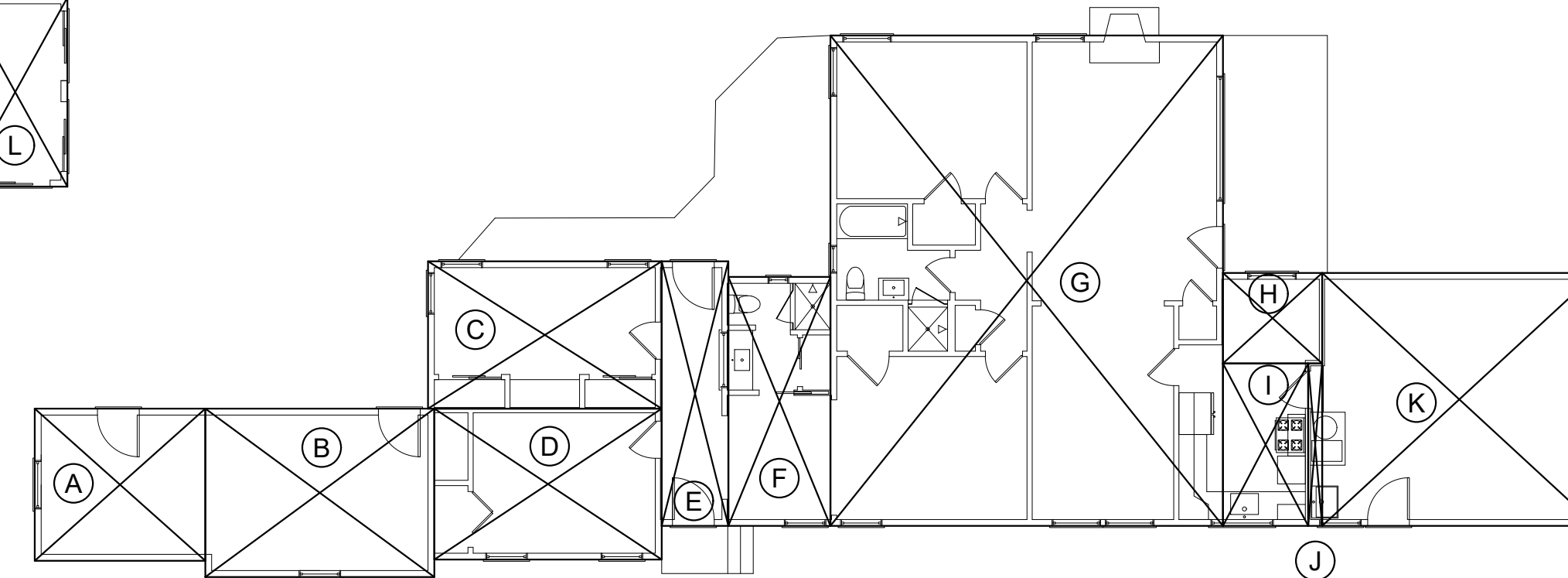
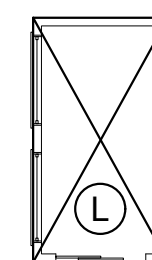


FIRST FLOOR AND ADU

2 PROPOSED FAL DIAGRAMS

A0.3 3/32" = 1'-0"

EXISTING DATA SHEET		
1ST FLOOR	DIMENSIONS	HOUSE AREA (SF)
A	12'-3" x 10'-11"	134
B	16'-5 1/2" x 12'-1"	199
C	16'-9 1/2" x 10'-7"	178
D	16'-4" x 10'-10"	177
E	4'-9 1/2" x 19'-0"	91
F	7'-4" x 17'-10 1/2"	131
G	28'-2 1/2" x 35'-2 1/2"	993
H	7'-1 1/2" x 6'-6"	46
I	6'-1 1/2" x 11'-8"	71
J	1'-0" x 11'-8"	12
K	19'-8 1/2" x 18'-2"	358
TOTAL		2390
SITE	DIMENSIONS	SITE AREA (SF)
L	7'-6" x 13'-7"	102
TOTAL		102
TOTAL EXISTING FLOOR AREA LIMIT		2492
TOTAL EXISTING BUILDING COVERAGE		2492



EXISTING TEAR DOWN - 1 STORY WITH SHED

1 EXISTING FAL DIAGRAMS

A0.3 3/32" = 1'-0"

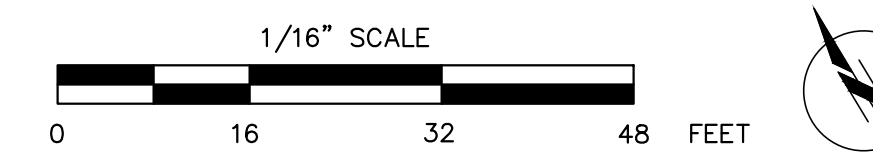
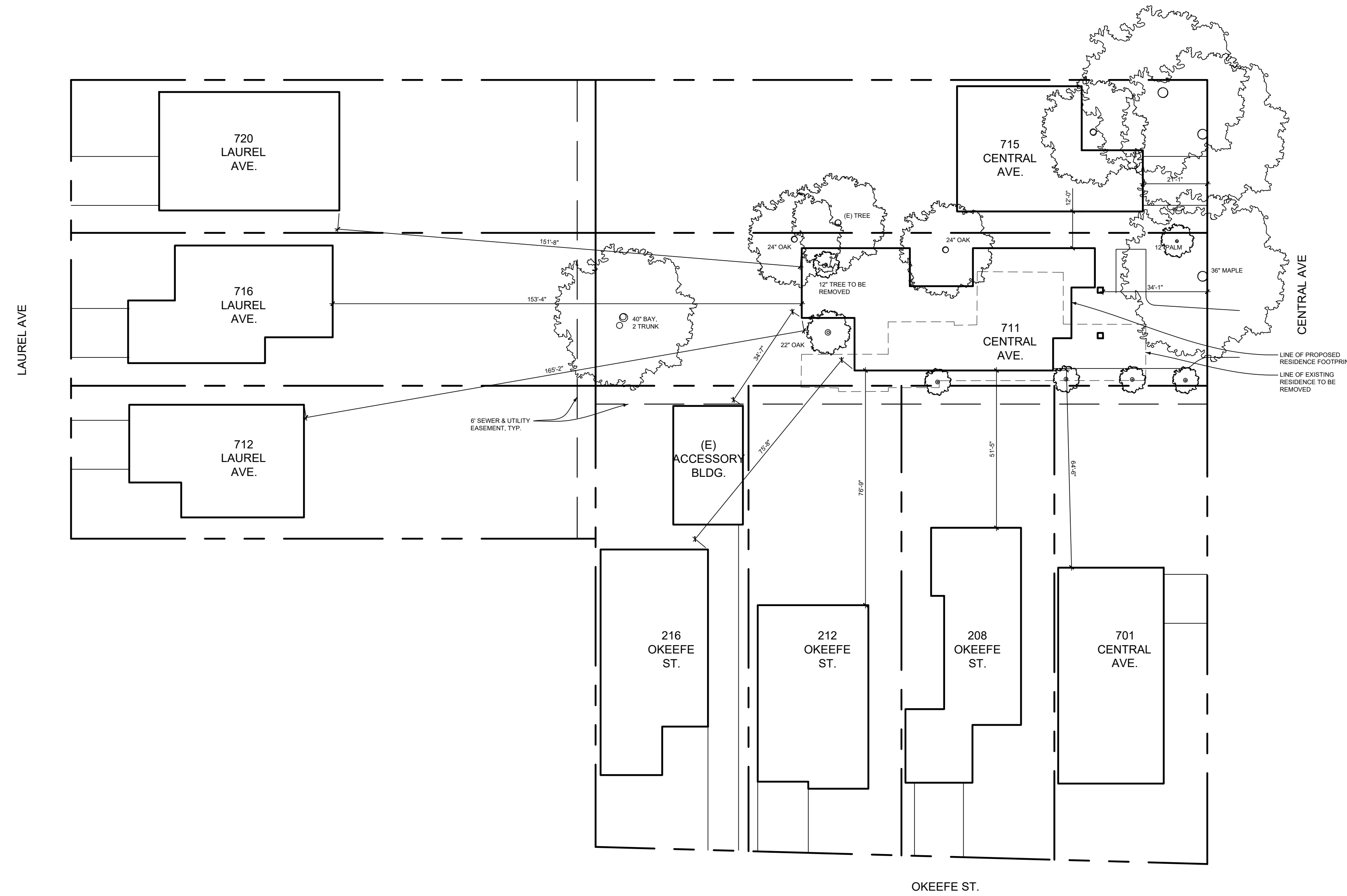
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AREA CALCS

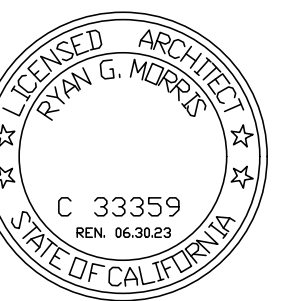
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2 CENTRAL AVE. STREETSCAPE
A0.4 1/16"=1'-0"



1 AREA PLAN
A0.4 1/16" = 1'-0"



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AREA PLAN AND STREETSCAPE

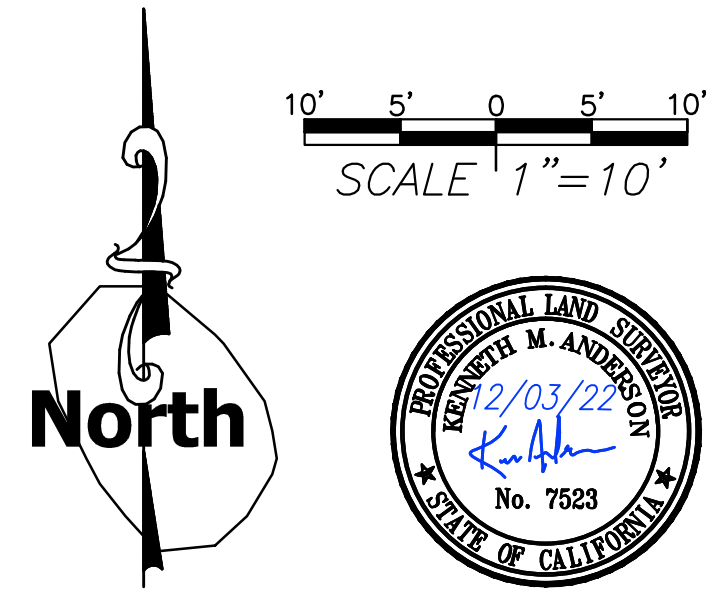
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BASIS OF ELEVATIONS

S.C.V.W.D. BM 455
 ELEVATION= 37.18 NAVD 88 DATUM
 BRASS DISK ON TOP OF CONCRETE
 ISLAND SIDEWALK AT THE
 SOUTHWESTERLY CORNER OF
 UNIVERSITY AVENUE AND WOODLAND
 AVENUE ON BRIDGE FOR SAN
 FRANCISQUITO CREEK.

LOT AREA

10,000 SQ. FT +/-



UNDERGROUND UTILITY NOTE

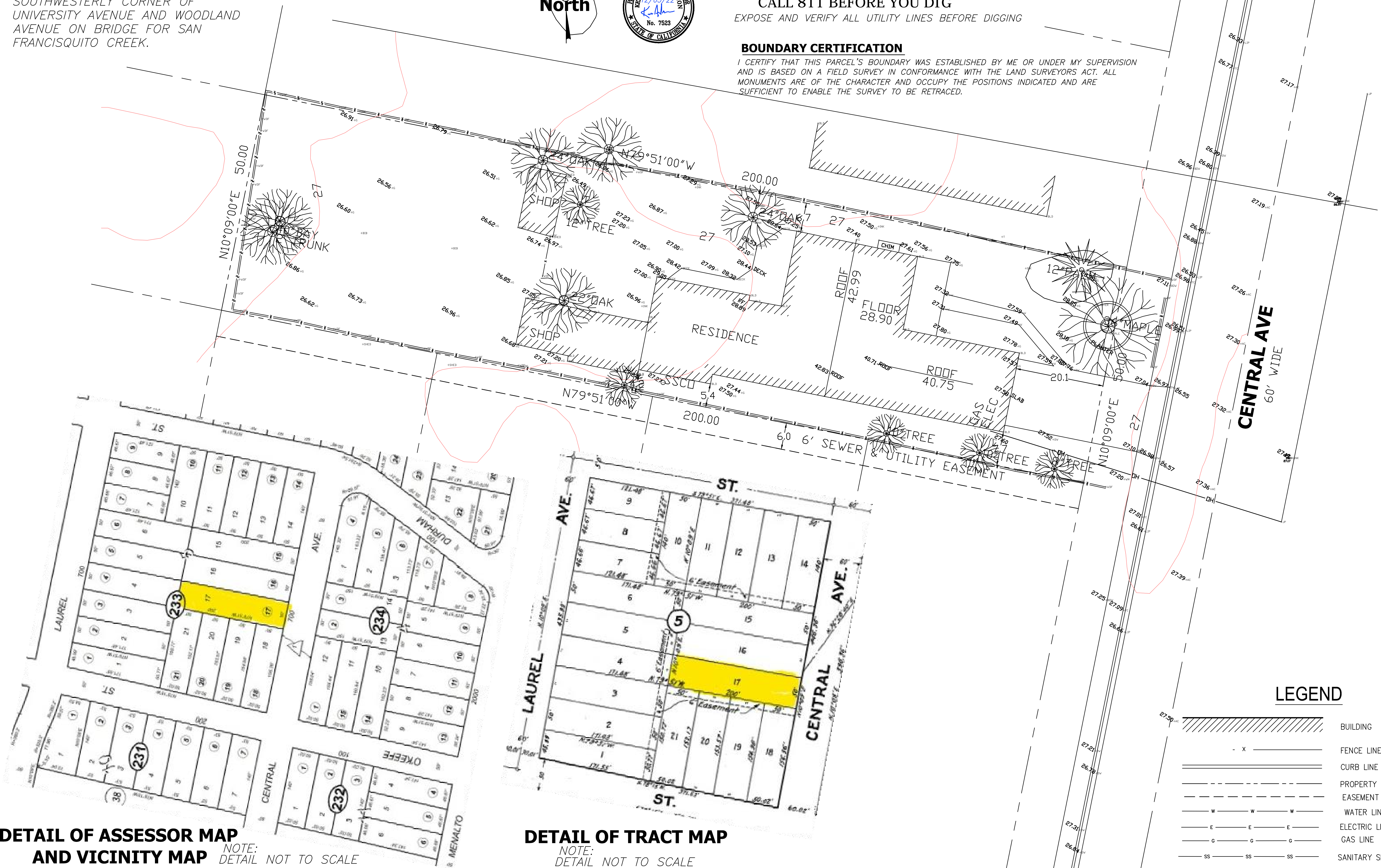
ALL UNDERGROUND UTILITY LINES MAY NOT BE SHOWN HEREON, BUT MAY EXIST AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR DETERMINE THE SIZE, DEPTH, LOCATION THEREOF
CALL 811 BEFORE YOU DIG
 EXPOSE AND VERIFY ALL UTILITY LINES BEFORE DIGGING

BASIS OF BEARINGS

MONUMENTS ON C/L DURHAM ST
 PER R.O.S. 42 LLS 26
 SAN MATEO COUNTY RECORDS

BOUNDARY CERTIFICATION

I CERTIFY THAT THIS PARCEL'S BOUNDARY WAS ESTABLISHED BY ME OR UNDER MY SUPERVISION AND IS BASED ON A FIELD SURVEY IN CONFORMANCE WITH THE LAND SURVEYORS ACT. ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.



DETAIL OF ASSESSOR MAP AND VICINITY MAP
 NOTE: DETAIL NOT TO SCALE

DETAIL OF TRACT MAP
 NOTE: DETAIL NOT TO SCALE

LEGEND

- BUILDING
- FENCE LINE
- CURB LINE
- PROPERTY LINE
- EASEMENT
- WATER LINE
- ELECTRIC LINE
- GAS LINE
- SANITARY SEWER

BAY LAND CONSULTING
 LAND SURVEYORS/CIVIL ENGINEERS
 P.O. BOX 299
 SANTA CLARA, CA 95052
 Ph: (408) 296-6000
 MAPPING THE BAY AREA

BAYLAND CONSULTING
 www.baylandconsulting.com

TOPOGRAPHIC-BOUNDARY SURVEY
 711 CENTRAL AVE, MENLO PARK
 LOT 17, BLOCK 5, MENALTO PARK, 13 M 19
 APN: 062-233-170
 SAN MATEO COUNTY, CALIFORNIA

PROJECT: VILLAGE 22-01	REVISIONS	SHEET
SCALE: 1"=10'	DATE	1
PROJECT MGR: KA		
DATE: 12-03-22		

OF SHEETS



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DEMO PLAN

JOB #: 2230

A1.1

DEMOLITION NOTES:

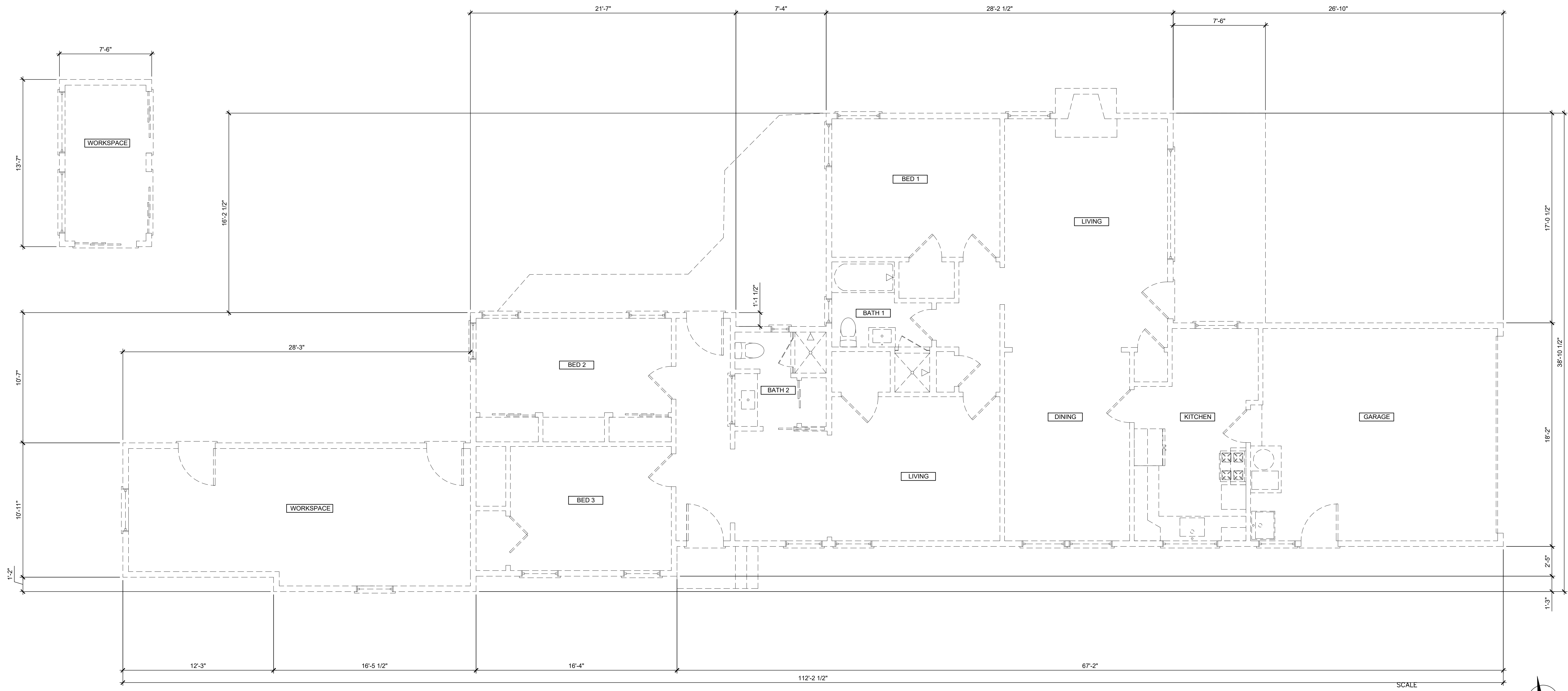
1. GENERAL NOTES. SEE SHEETS A0.1 AND FLOOR PLANS FOR ADDITIONAL INFO.
2. SITE MEETING. PRIOR TO DEMOLITION, THE G.C. SHALL CONDUCT A PRE-DEMOLITION SITE MEETING TO SCHEDULE THE WORK WITH THE OWNER, ARCHITECT, CONSULTANTS, AND SUBCONTRACTORS.
3. PROTECTION. THE G.C. SHALL VERIFY ALL EXISTING FEATURES AND FINISHES TO REMAIN PRIOR TO DEMOLITION, AND VERIFY WITH OWNERS WHETHER REMOVED OR UNUSED PRODUCTS AND MATERIALS SHOULD BE SAVED OR DISCARDED.
4. PROTECTION. THE G.C. SHALL TAKE ALL NECESSARY MEASURES TO PREVENT DAMAGE AND SETTLEMENT, AND PROTECT EXISTING BUILDING, APPLIANCES, AND FURNISHINGS DURING DEMOLITION. ANY DAMAGES TO THESE ITEMS SHALL BE PROPTLY RESTORED, REPAIRED, OR REPLACED AT NO COST TO THE OWNER.
5. PROTECTION. THE G.C. SHALL PROVIDE ALL NECESSARY TEMPORARY ENCLOSURES, COVERINGS, AND GUARDS TO ADEQUATELY PROTECT PERSONS FROM POSSIBLE INJURY.
6. ENCROACHMENT. THE G.C. SHALL CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH STREETS, WALKS OR OTHER OCCUPIED OR USED FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS OR OTHER OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION.
7. DISPOSAL. THE G.C. SHALL BE RESPONSIBLE FOR REMOVAL AND LEGAL DISPOSAL OF ALL CONSTRUCTION DEBRIS AND OTHER ASSOCIATED MATERIALS FROM THE STRUCTURE AND THE SITE.
8. ELECTRICAL. ALL UNUSED AND DEMOLISHED ELECTRICAL IS TO BE REMOVED BACK TO THE NEAREST UTILIZED JUNCTION.
9. CONTAINMENT. THE G.C. SHALL PROVIDE COVERINGS AND THE LIKE FOR CONFINING DUST AND DEBRIS TO AREAS OF THE BUILDING IN WHICH DEMOLITION AND/OR ALTERATIONS ARE BEING PERFORMED.
10. REPAIRS. ALL PATCHING, REPAIRING, AND REPLACING OF MATERIALS AND SURFACES CUT OR DAMAGED DURING EXECUTION OF WORK SHALL BE EQUAL TO OR BETTER THAN THEIR ORIGINAL CONDITION.
11. SECURITY. THE G.C. SHALL MAINTAIN BUILDING SECURITY AT ALL TIMES.

PROJECT KEYNOTES:

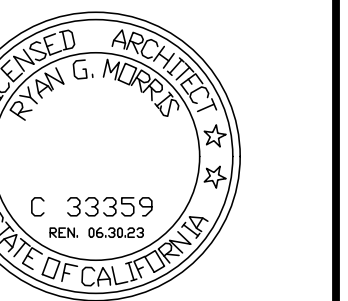
1. STRUCTURE CORRECTION. AFTER DEMOLITION, THE G.C. SHALL IDENTIFY ALL REMAINING EXISTING CONDITIONS WHICH ARE UNLEVEL, OUT OF PLUMB, INADEQUATELY DRAINED OR WATERPROOFED, OR INSTALLED IN ANY OTHER MANNER WHICH DOES NOT MEET THE WORKMANSHIP EXPECTATIONS LISTED UNDER G.C. RESPONSIBILITIES ON SHEET A0.1. THE G.C. SHALL RECOMMEND CORRECTIVE ACTION TO THE OWNER AND ARCH.

WALL LEGEND:

- (E) WALL
- - - - - (E) WALL TO BE REMOVED



1 DEMOLITION PLAN
 A1.1 1/4"=1'-0"



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FIRST FLOOR PLAN

JOB #: 2230

A2.1

FOUNDATION & CONCRETE NOTES:

- UNDER FLOOR ACCESS, PROVIDE MIN. OF 18"X24" THRU FLOOR OR 16"X24" THRU WALL ACCESS TO UNDER FLOOR AREAS. CRC R408.4
- UNDER FLOOR ACCESS, FOR AN APPLIANCE IN AN UNDER FLOOR AREA, PROVIDE MIN. 22" X 30" ACCESS OR MIN. REQUIRED BY APPLIANCE. CMC 904.10
- CRAWL SPACE, PROVIDE 18" TALL MIN. ACCESS PATHWAY THROUGH UNDER FLOOR AREA, INCLUDING UNDER DUCTS. CMC 603.1
- PRESSURE TREATED OR NATURALLY DURABLE WOOD, FLOOR JOISTS WITH LESS THAN 18" TO EXPOSED GROUND, AND GIRDERS WITH LESS THAN 12" TO EXPOSED GROUND SHALL BE P.T. EXTERIOR WOOD FRAMING RESTING ON FOUNDATIONS AND LESS THAN 8" FROM EARTH OR 2" FROM PAVING SHALL BE P.T. (SIDING 6" FROM EARTH). CRC R317.1
- VERIFICATION, G.C. TO VERIFY ALL CONCRETE ROUGH OPENING SIZES, ELEVATIONS, ETC. PRIOR TO FOUNDATION POUR. G.C. TO COORDINATE ALL LOCATIONS OF HOLDDOWNS, CURBS, STEPS, PLUMBING & MECHANICAL SLEEVES, ETC.
- VERIFICATION, PRIOR TO POURING ANY CONCRETE FOR FOUNDATIONS, IT IS RECOMMENDED THAT A LICENSED SURVEYOR CONFIRM THAT THE REQUIRED SETBACKS AS SHOWN ON THE APPROVED PLANS HAVE BEEN MAINTAINED.
- WATERPROOFING, FOR ALL EXISTING CONCRETE SLAB ON GRADE WITHOUT AN EXISTING VAPOR BARRIER TO BE USED FOR CONDITIONED SPACE, APPLY NEW LIQUID-APPLIED WATERPROOFING MEMBRANE TO SURFACE. USE 'CBP REDGARD' OR EQUAL.

FLOOR PLANS NOTES:

- CAL GREEN, SEE SHEET GB.1 FOR CAL GREEN MANDATORY REQUIREMENTS
- DOORS & WINDOWS, SEE SHEET A6.1 AND A6.2 FOR DOOR AND WINDOW SCHEDULES
- UNDERSTAIR SPACES, ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDERSTAIR SURFACE, AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYP. BD. CRC 302.7
- DRAFTSTOPS, SHALL BE INSTALLED IN FLOOR/CEILING ASSEMBLIES WHERE THERE IS A USABLE SPACE ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY. DRAFT STOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE

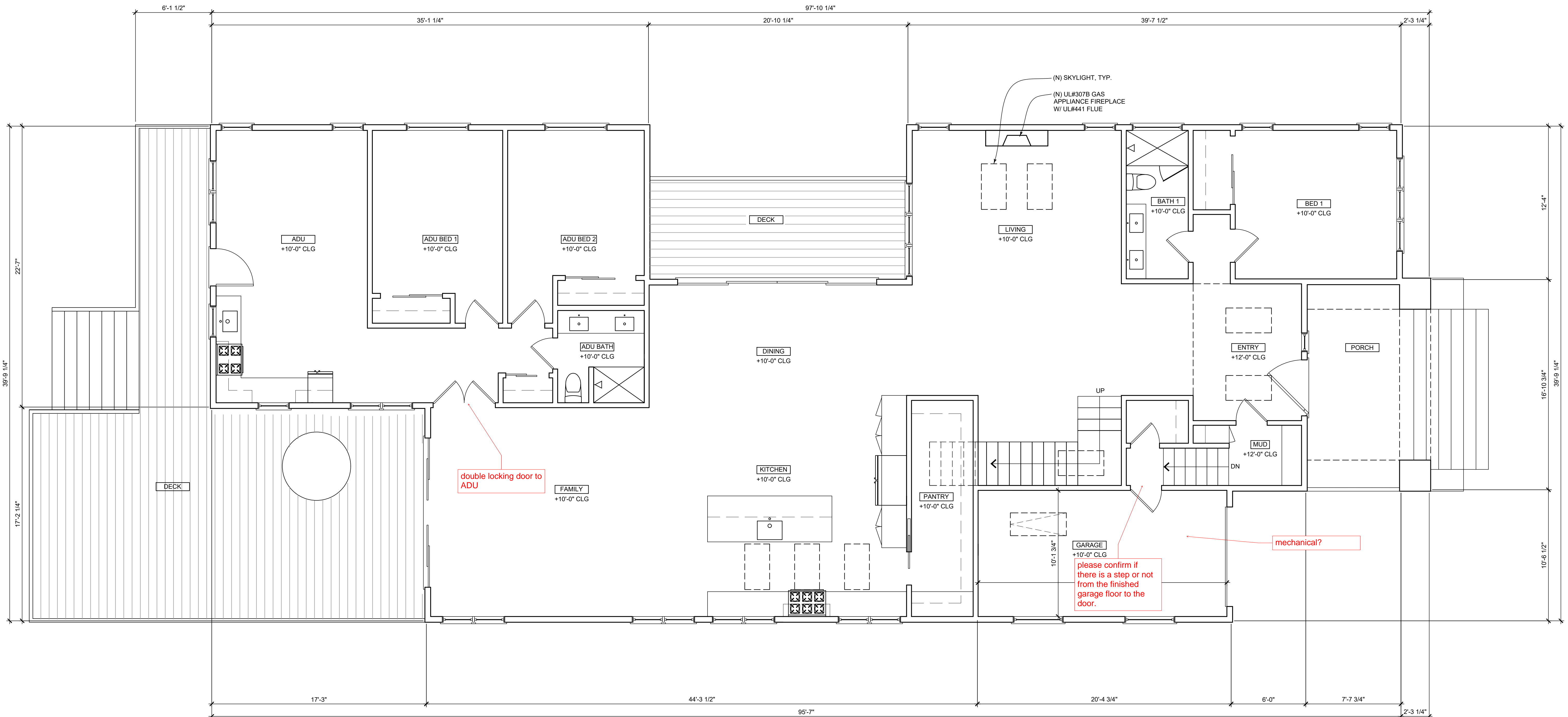
- DOES NOT EXCEED 1,000 SQUARE FEET AND IS DIVIDED INTO APPROXIMATELY EQUAL AREAS. CRC R302.12
- SHOWERS, SHOWER AND TUB/SHOWER WALLS SHALL HAVE A NONABSORBENT SURFACE MIN. 72" ABOVE THE FLOOR, INSTALLED OVER FIBER-CEMENT BACKER BD. WATER-RESISTANT GYPSUM BACKING BOARD MAY NOT BE USED. CRC R307.2, R702.4
 - INTERIOR WATERPROOFING, AT ALL LOCATIONS SUBJECT TO EXPOSURE TO WATER, G.C. TO PROVIDE WATERPROOF MEMBRANE OVER HORIZONTAL AREAS AND UP WALLS 6" MIN ABOVE FINISH. CONCEALED WORK, MAINTAIN RECORD DRAWINGS, SPECIFICATIONS, AND PHOTOS OF CONCEALED WORK.
 - FRAMING, ALL NEW EXTERIOR WALLS TO BE 2X4 WD. STUDS AT 16" O.C., TYP. UNLESS OTHERWISE NOTED. ALL NEW INTERIOR WALLS TO BE 2X4 WD. STUDS AT 16" O.C., TYP. UNLESS OTHERWISE NOTED.
 - ROUGH OPENINGS, CONTRACTOR TO VERIFY ROUGH OPENINGS SHOWN ON PLAN OR SCHEDULES WITH REQUIREMENTS OF UNITS TO BE INSTALLED PRIOR TO FRAMING OPENINGS.
 - ATTIC ACCESS, PROVIDE MIN 22" X 30" ACCESS OPENING TO ATTICS GREATER THAN 30 SF AND WITH 30" MIN HEADROOM. THRU WALL ACCESS OPENING SHALL BE MIN 22" WIDE X 30" TALL.

INSULATION NOTES:

- SEE TITLE 24 ENERGY REPORT FOR REQUIRED INSULATION VALUES.
- INSULATION SHALL CONFORM TO FLAME-SPREAD RATING AND SMOKE DENSITY REQUIREMENTS OF CRC R302.10
- AFTER INSTALLING INSULATION, THE INSTALLER SHALL POST AN INSULATION CERTIFICATE, SIGNED BY THE INSTALLER AND THE BUILDER, IN A CONSPICUOUS LOCATION IN THE BUILDING, STATING THAT THE INSTALLATION CONFORMS WITH THE REQUIREMENTS OF TITLE 24, PART 2, CH. 2-53 OF THE CALIFORNIA ADMINISTRATIVE CODE
- PROVIDE (N) ACOUSTIC INSULATION IN ALL INTERIOR WALLS WHERE WORK OCCURS SEPARATING BEDROOMS, BATHROOMS, LAUNDRY, KITCHEN AND AS REQUESTED BY OWNER. PROVIDE (N) ACOUSTIC INSULATION IN ALL FLOOR ASSEMBLIES BETWEEN FLOORS

WALL LEGEND:

- (E) WALL
- (E) WALL TO BE REMOVED
- (N) 2x4 WALL
- (E)/(N) 1 HR. RATED WALL
- (E)/(N) 2X6 WALL
- (N) DOOR SYMBOL
- (N) WINDOW SYMBOL



1 FIRST FLOOR PLAN
 A2.1 1/4"=1'-0"





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SECOND FLOOR PLAN

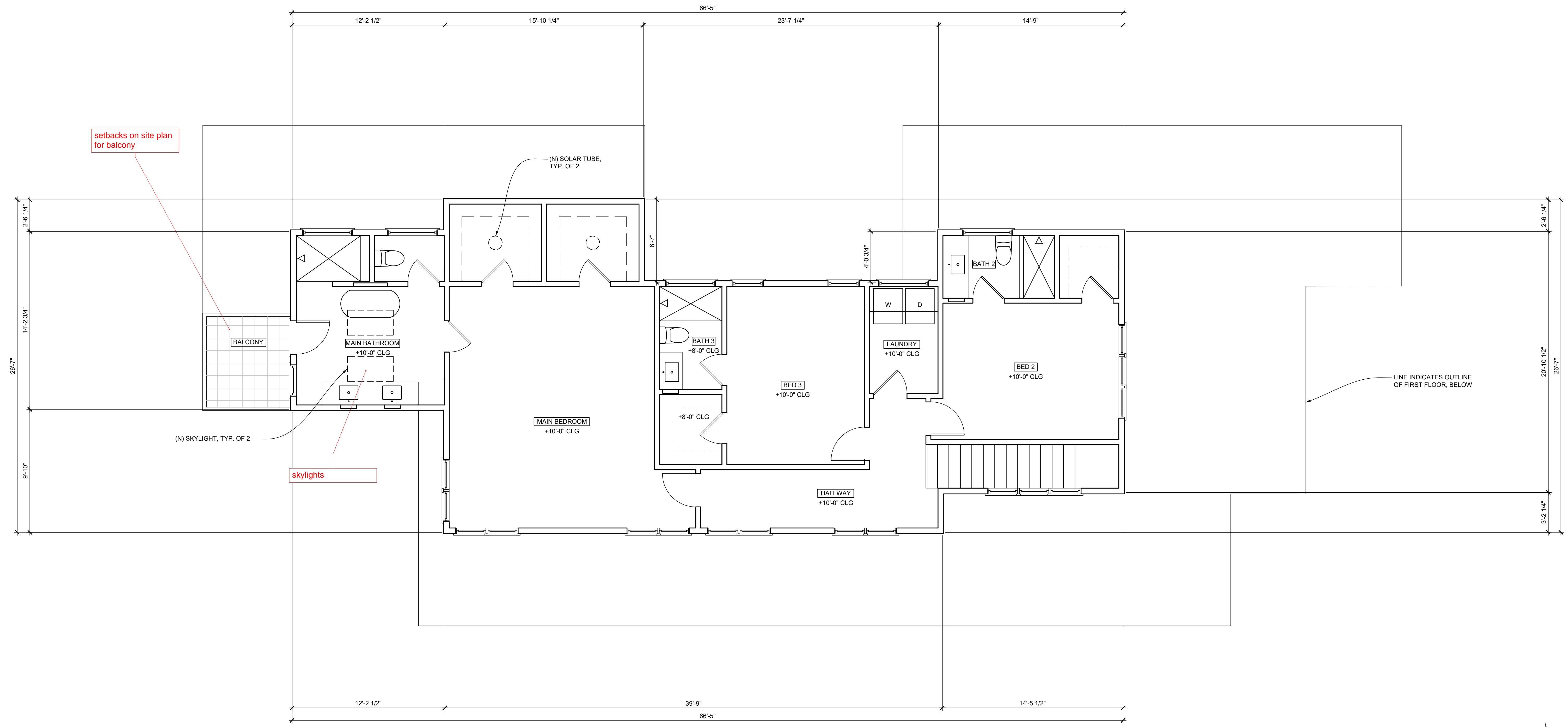
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A2.2

FLOOR PLAN NOTES:
 1. REFERENCE SEE SHEET A2.1 FOR TYPICAL FLOOR PLAN NOTES, SEE SHEET E2.1 FOR TYPICAL MECHANICAL, ELECTRICAL, AND PLUMBING NOTES

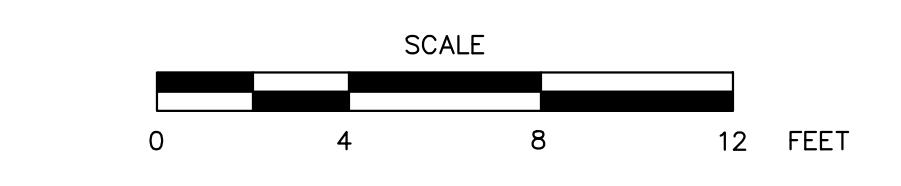
WALL LEGEND:

	(E) WALL
	(E) WALL TO BE REMOVED
	(N) 2x4 WALL
	(E)(N) 1 HR. RATED WALL
	(E)(N) 2X6 WALL
	(N) DOOR SYMBOL
	(N) WINDOW SYMBOL



setbacks on site plan for balcony

skylights





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ROOF FLOOR PLAN

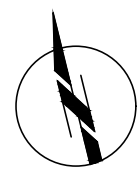
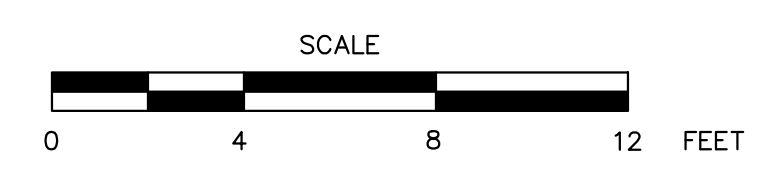
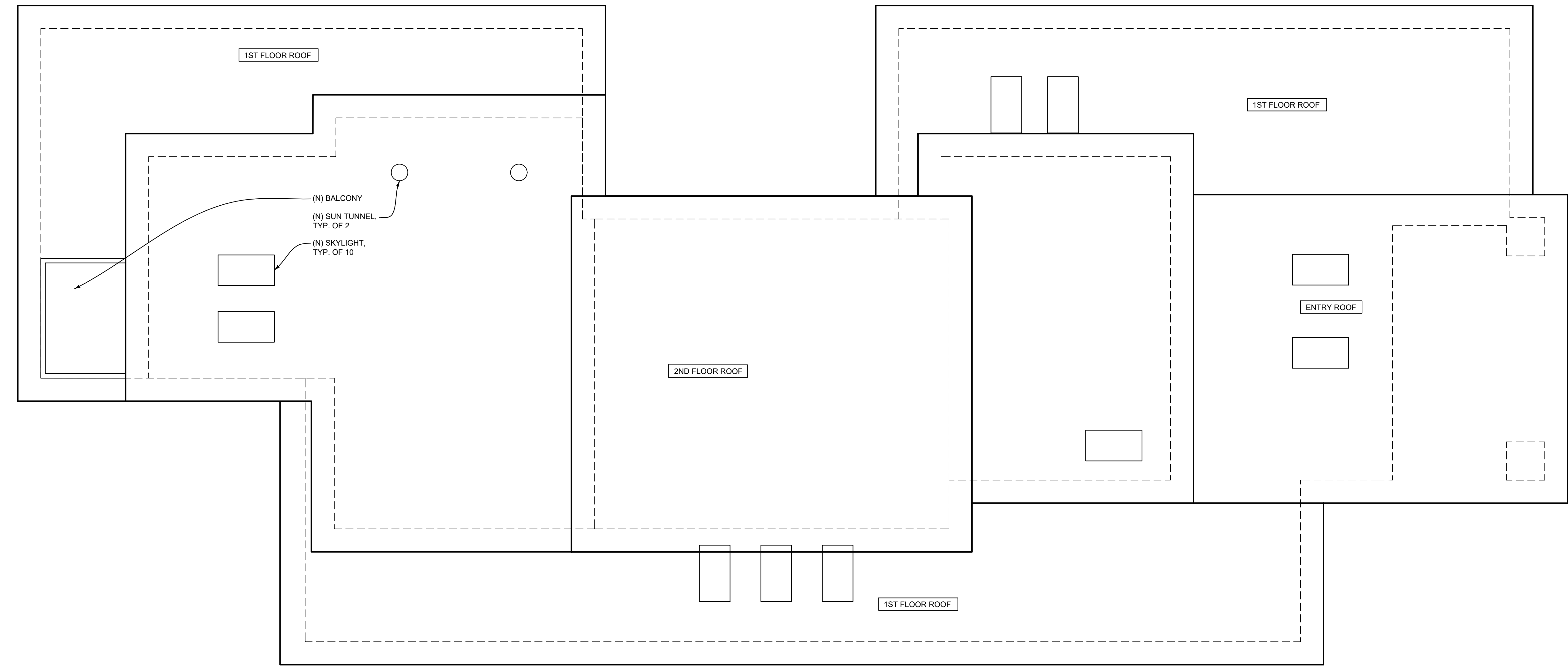
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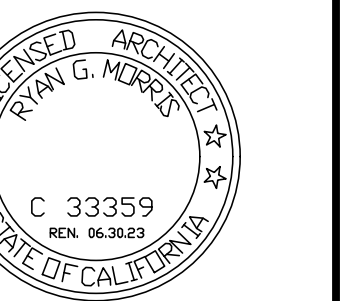
A2.3

FLOOR PLAN NOTES:
 1. REFERENCE SEE SHEET A2.1 FOR TYPICAL FLOOR PLAN NOTES. SEE SHEET E2.1 FOR TYPICAL MECHANICAL, ELECTRICAL, AND PLUMBING NOTES

WALL LEGEND:

	(E) WALL
	(E) WALL TO BE REMOVED
	(N) 2x4 WALL
	(E)(N) 1 HR. RATED WALL
	(E)(N) 2X6 WALL
	(N) DOOR SYMBOL
	(N) WINDOW SYMBOL





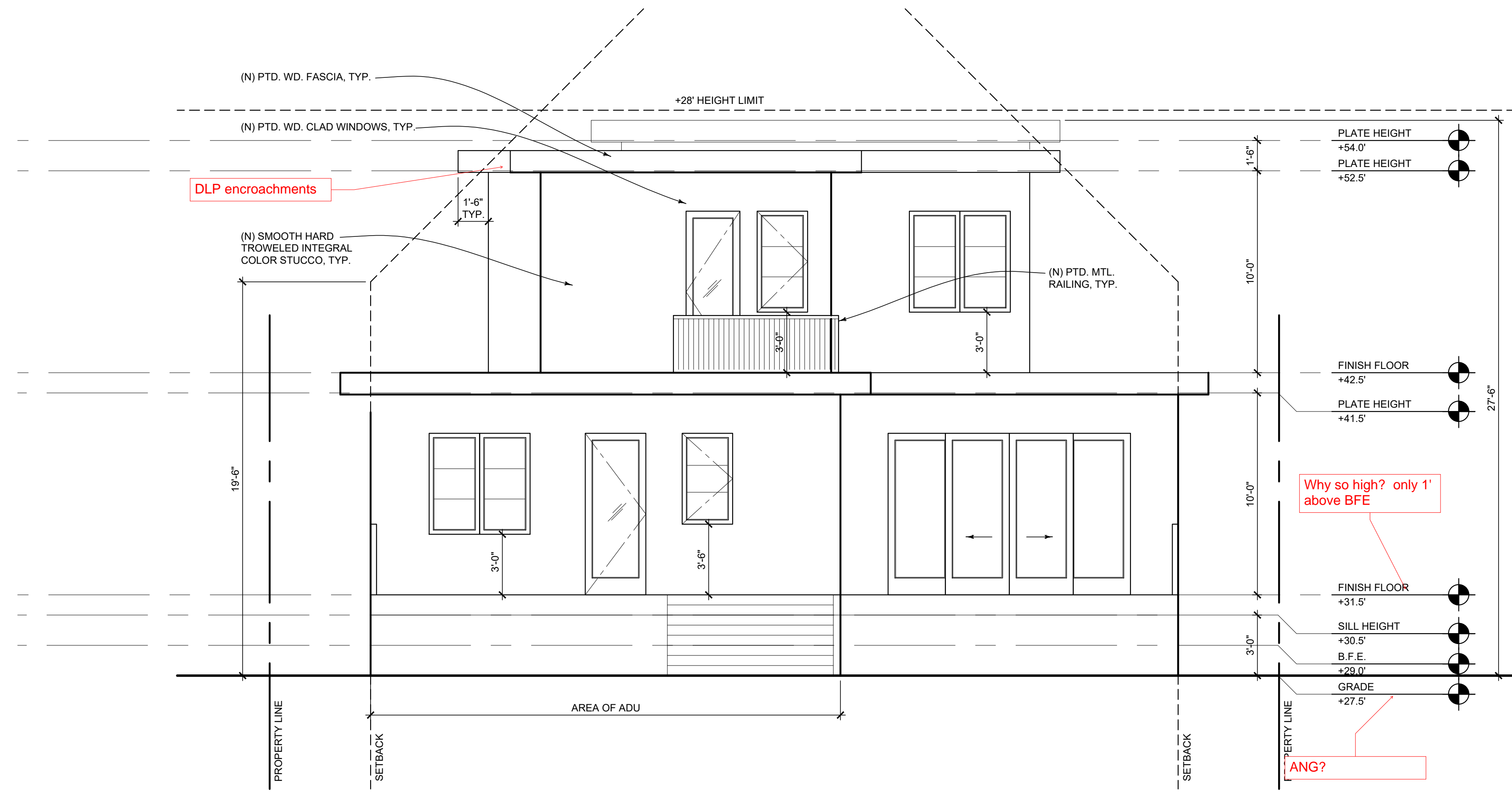
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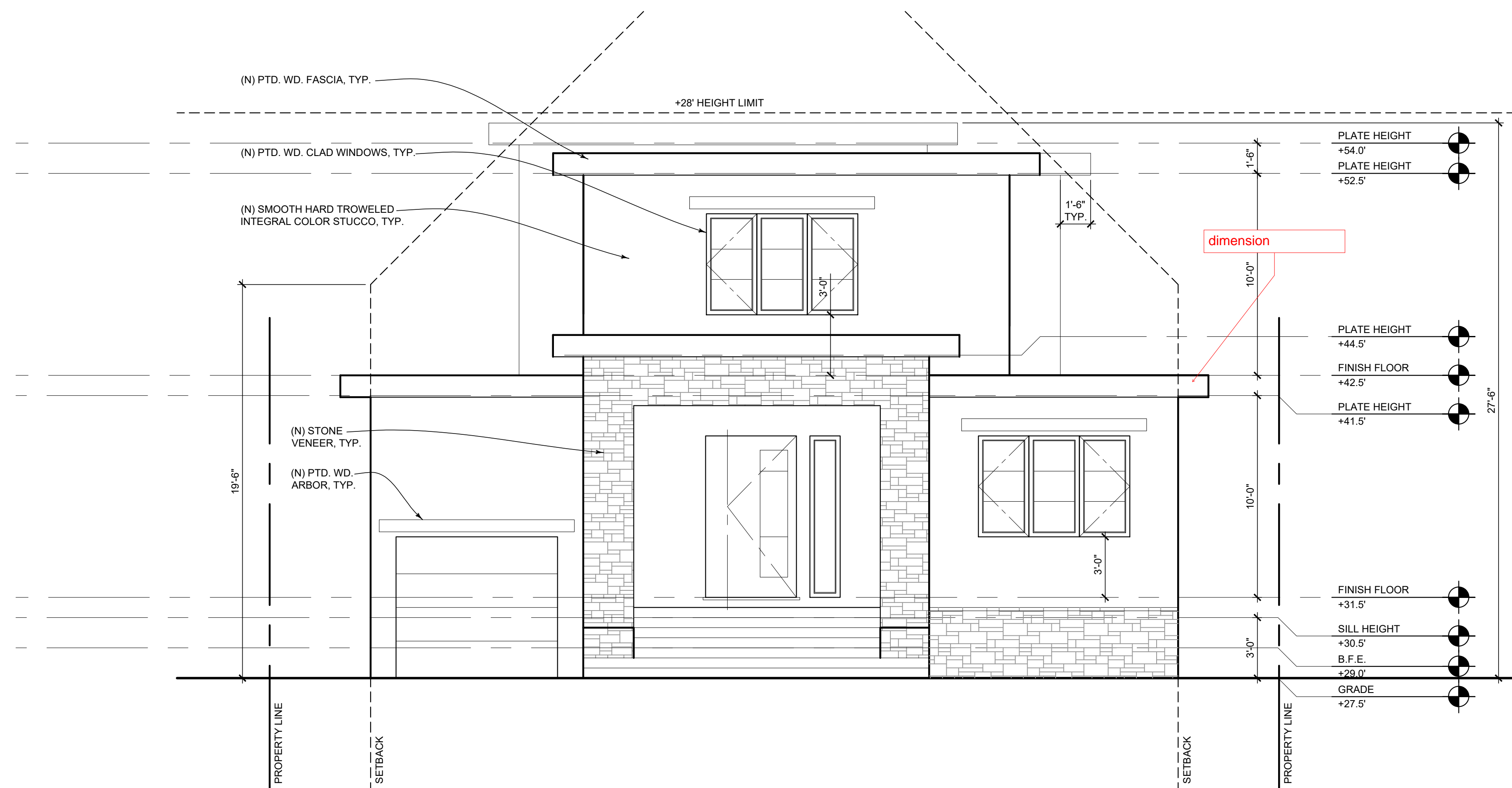
EXTERIOR ELEVATIONS

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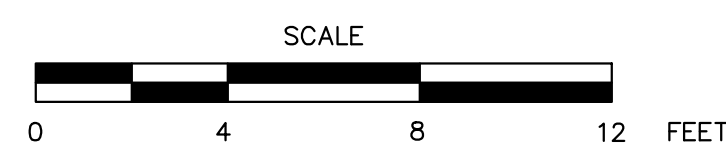
A3.1

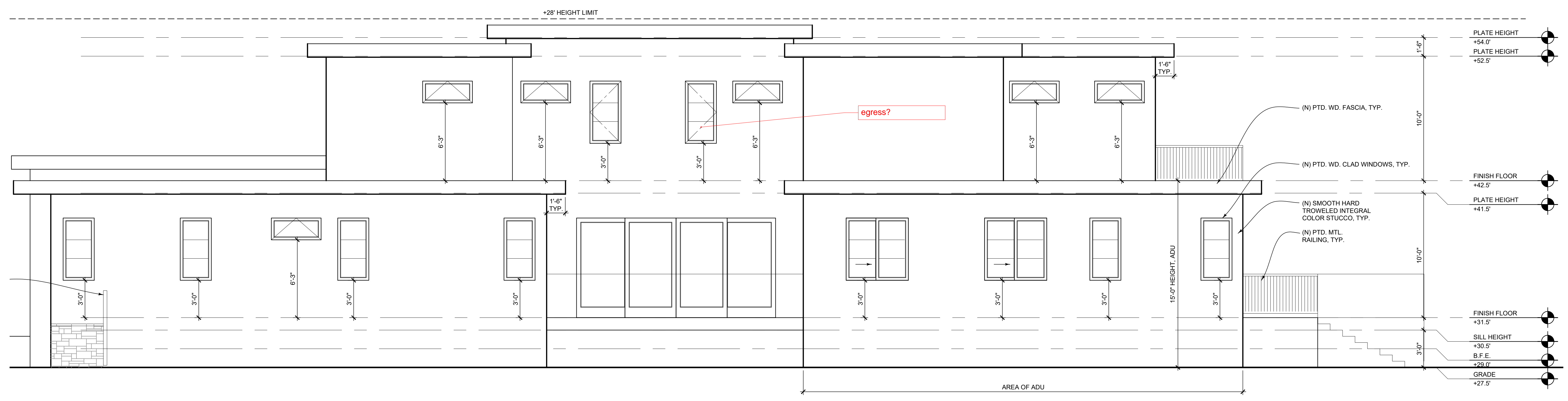


2 PROPOSED WEST (BACK) ELEVATION
 A3.1 1/4"=1'-0"

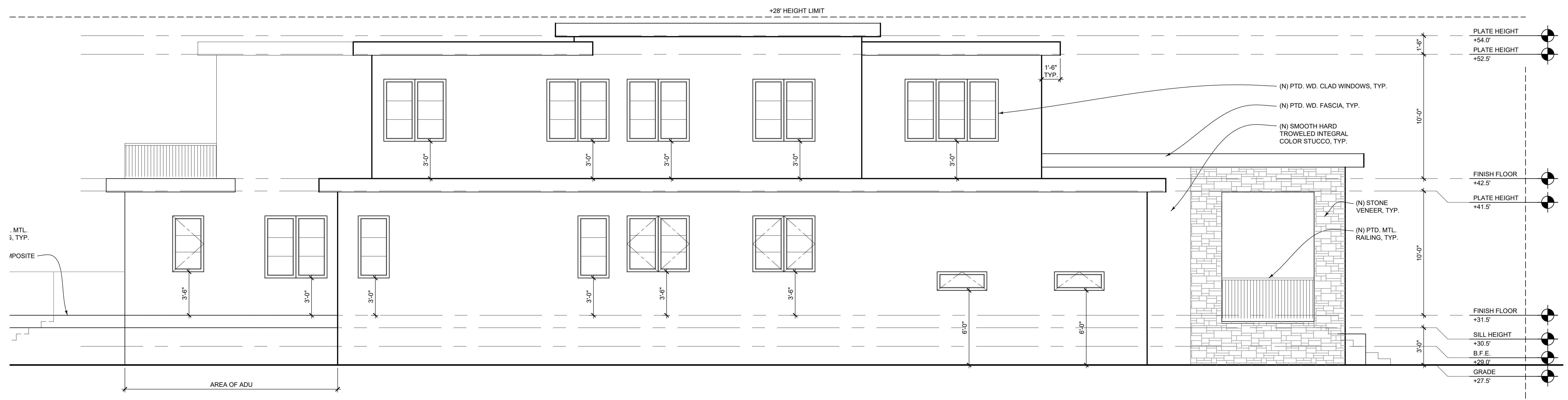


1 PROPOSED EAST (FRONT) ELEVATION
 A3.1 1/4"=1'-0"

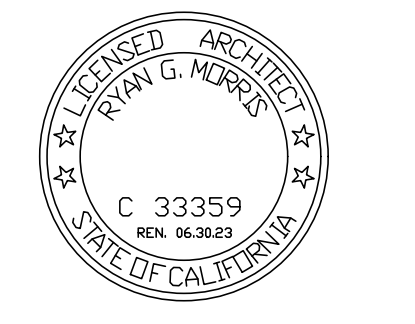
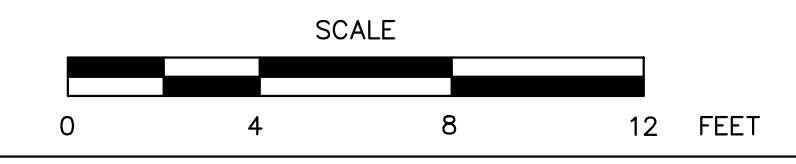




2 PROPOSED NORHT (RIGHT) ELEVATION
A3.2 1/4"=1'-0"



1 PROPOSED SOUTH (LEFT) ELEVATION
A3.2 1/4"=1'-0"

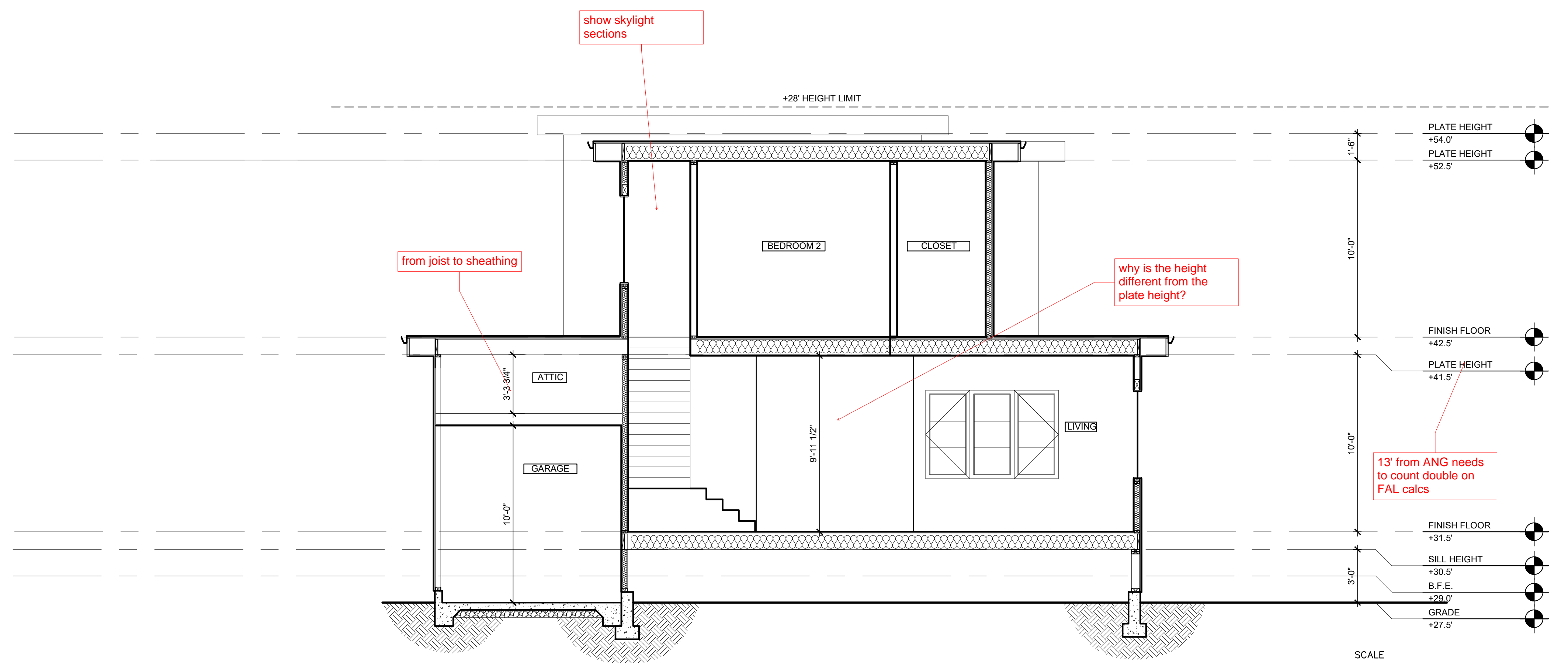


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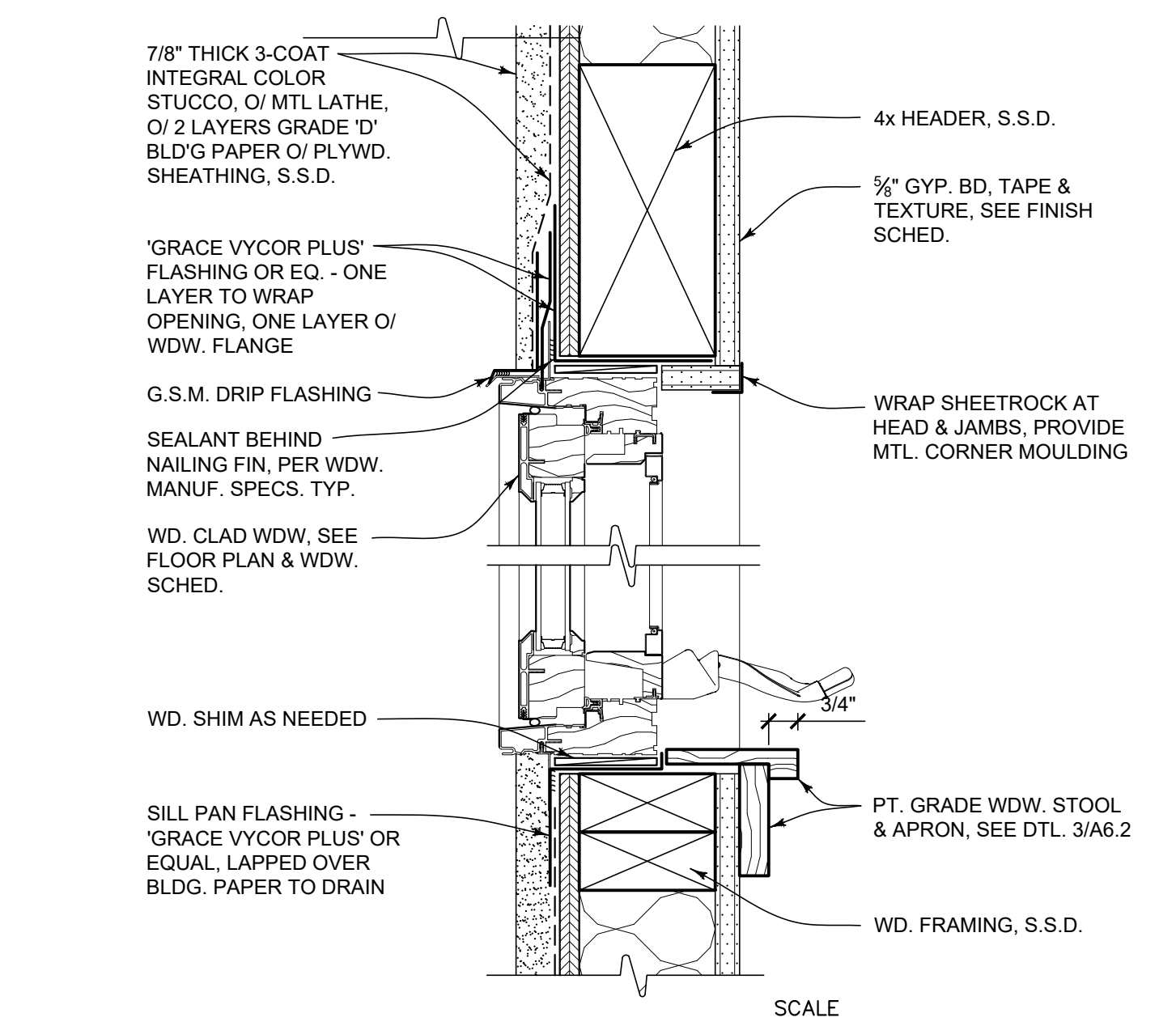
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EXTERIOR ELEVATIONS

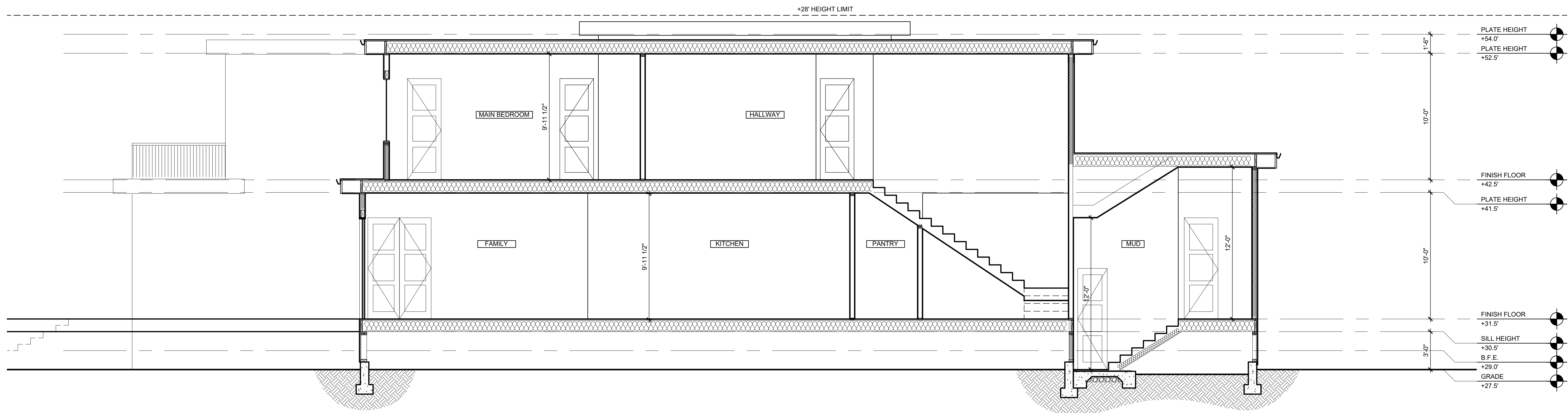
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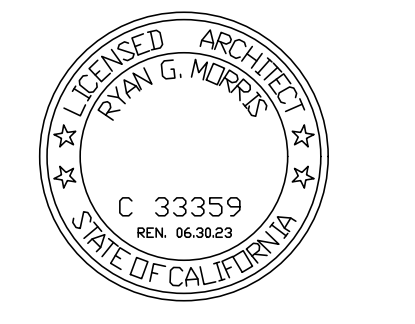
3 BUILDING SECTION BB
A3.3 1/4"=1'-0"



2 WINDOW DETAIL
A3.3 3"=1'-0"



1 BUILDING SECTION AA
A3.3 1/4"=1'-0"



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BUILDING SECTIONS

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