

835 Arbor Road

Project Description

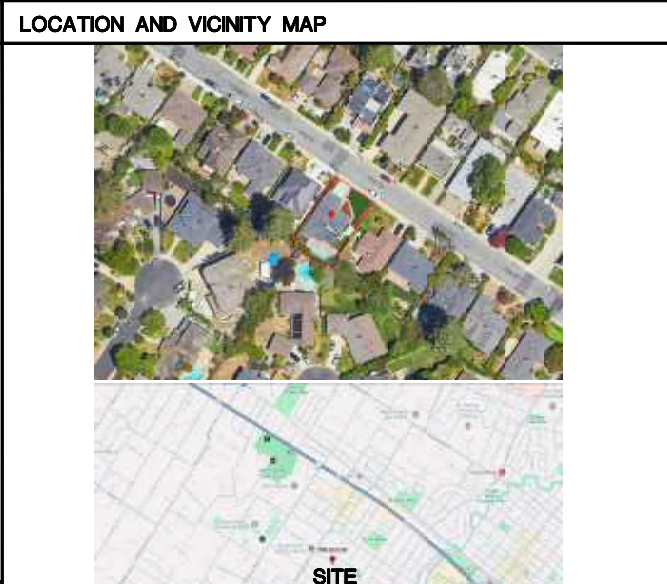
- **Purpose of the proposal:** To accommodate the size of his family and their desired uses, property owner would like to add a second floor and a partial basement to the existing house in order to gain living space.
- **Existing and proposed uses:** Existing use is a one-story single-family with an attached garage. Proposed use will be a 2-story single-family with an attached garage.
- **Scope of work:** Project will add a partial basement and a second floor to the existing single-story residence. Floor Area, including garage, will be at 2,800 sf, and site coverage will be at 2,099 sf. Both the floor area limit and site coverage will be within the allowable in the R1S zone.
- **Basis for site layout:** Property owner respects the urban fabric of the neighborhood (lot pattern and placement of structures) and wants to maintain the existing open space. As such, the project will retain the location and footprint of the existing house. The vast majority of the added square footage will occur on the second floor. Curb cut will remain unchanged.
- **Architectural style, materials, colors, and construction methods:** The architecture of this neighborhood is of mixed style. The neighbor on the right is of a moderate contemporary style, with metal roof, stucco siding and modern garage door. The proposed house will match the neighbor on the right – metal roof, stucco, and modern garage door. To further blend into the neighborhood, this house will use gentle sloped roof and earth tone colors, echoing the other houses on this block.
- **Outreach to neighboring properties:** Property owner is currently reaching out to the neighbors to discuss the project.

835 ARBOR ROAD MENLO PARK, CA USE PERMIT FOR RENOVATION

LPMD
Architects

1288 Kifer Road, Unit 206,
Sunnyvale, CA 94086
Telephone : 408-992-0280
Fax : 408-992-0281

| PROJECT DIRECTORY | | |
|-------------------|---|---|
| OWNER | BRYAN SHEPHERD 835 ARBOR ROAD, MENLO PARK, CA 94025 | 831-455-5872 bryanshep@gmail.com |
| ARCHITECT | ANTHONY HO LPMD ARCHITECTS 1288 KIFER ROAD, UNIT 206 SUNNYVALE, CA 94086 | 408-858-2845 anthony@lpmd-architects.com |



PROJECT SCOPE

PROJECT IS TO:
REMODEL THE EXISTING SINGLE FAMILY RESIDENCE BY RETAINING THE LEFT, REAR AND RIGHT SIDES OF THE FIRST FLOOR FOOTPRINT, CHANGING THE INTERIOR LAYOUT, AND ADDING A SECOND STORY AND A PARTIAL BASEMENT.

PROJECT DATA

| | |
|-----------------------|--|
| STREET ADDRESS: | 835 ARBOR ROAD |
| APN #: | 07-261-010 |
| LOT SIZE: | 6,000 SF |
| TYPE OF CONSTRUCTION: | V-D |
| TYPE OF OCCUPANCY: | R-3 HOUSE |
| BUILDING CODE: | 2022 CBC BASED ON 2021 IBC 2022 CRC BASED ON 2021 IRC |
| LOT COVERAGE: | 2,089 SF (34.83%) |
| FLOOR AREA LIMIT: | 2,800 SF (SEE SHEET A4.1) |

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Revisions:

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HOUSE ADDITION
835 ARBOR RD,
MENLO PARK, CA

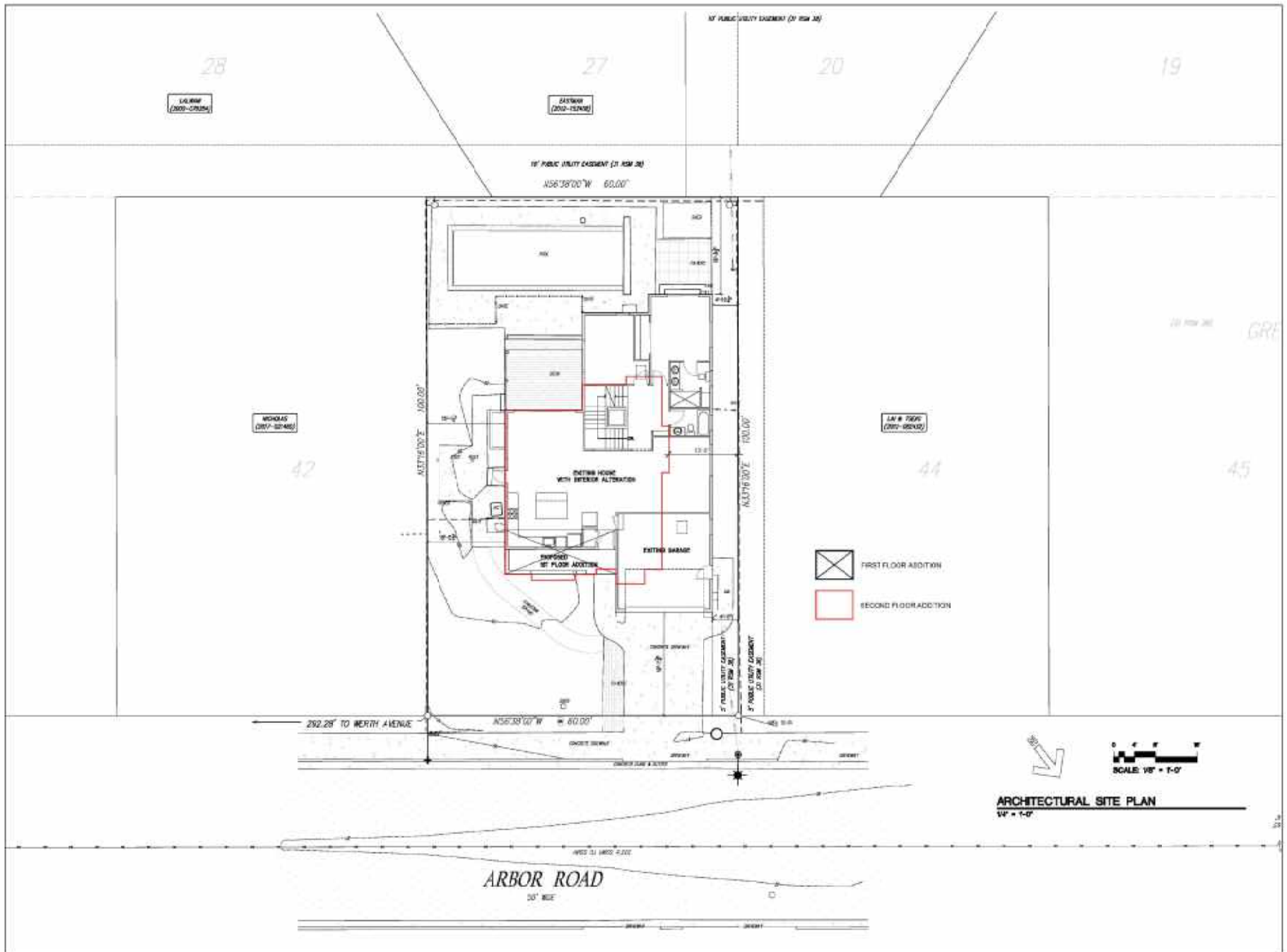
Project No: _____ DATE: _____
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COVER SHEET

Review by: _____
Sheet No: _____

A0.0

of _____ sheets



LPMD Architects
1288 Kilar Road, Unit X06,
San Ramon, CA 94583
Telephone 438-992-0250
Fax 438-992-0281

Revised _____

HOUSE ADDITION
88 ARBOR BL,
MORIS VILLE, GA

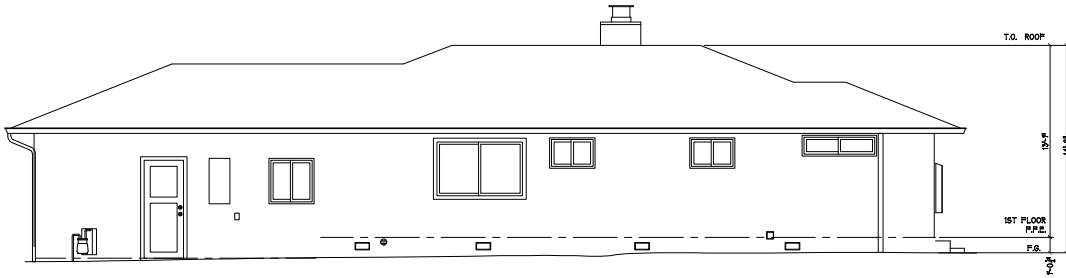
ARCHITECTURAL SITE PLAN
1/4" = 1'-0"

Project No. DATE 02/08/08
Sheet Title
**ARCHITECTURAL
SITE PLAN**

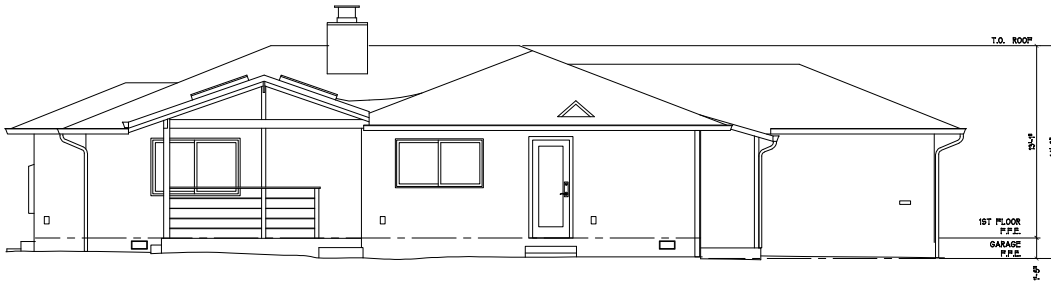
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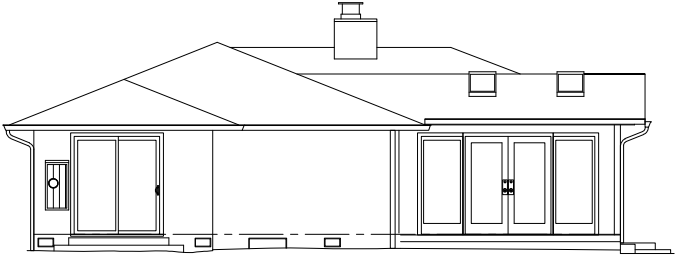
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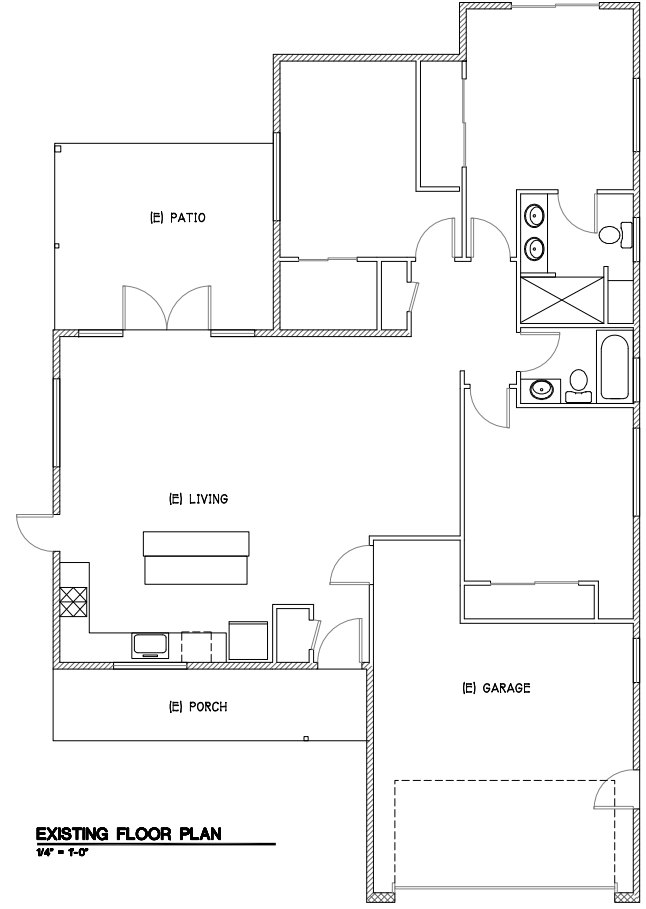
EXISTING RIGHT ELEVATION
1/4" = 1'-0"



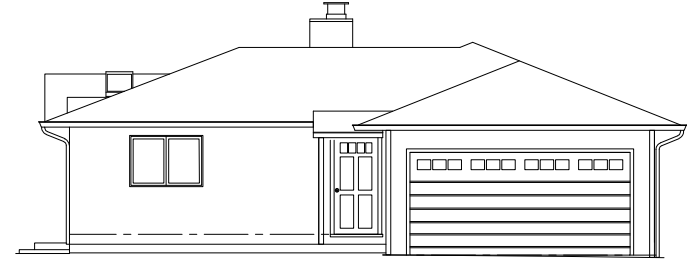
EXISTING LEFT ELEVATION
1/4" = 1'-0"



EXISTING REAR ELEVATION
1/4" = 1'-0"



EXISTING FLOOR PLAN
1/4" = 1'-0"



EXISTING FRONT ELEVATION
1/4" = 1'-0"

Revisions

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HOUSE ADDITION
888 ARBOR RD,
MIDCLO PARK, CA

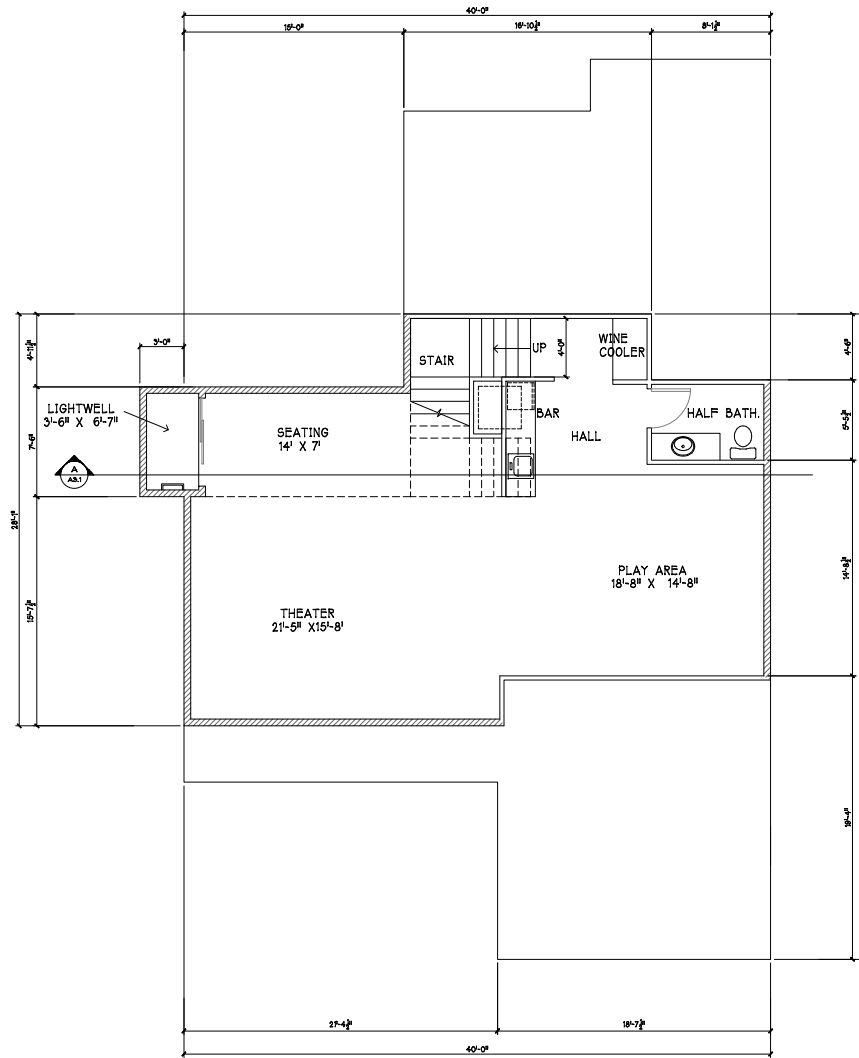
Project No: **04178** 07/25/05
Sheet Title:

**EXISTING
FLOOR PLAN
ELEVATIONS**

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PROPOSED BASEMENT FLOOR PLAN
1/4" = 1'-0" 940 SF

Revisions

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HOUSE ADDITION
885 ARBOR RD,
MILPITAS, CA

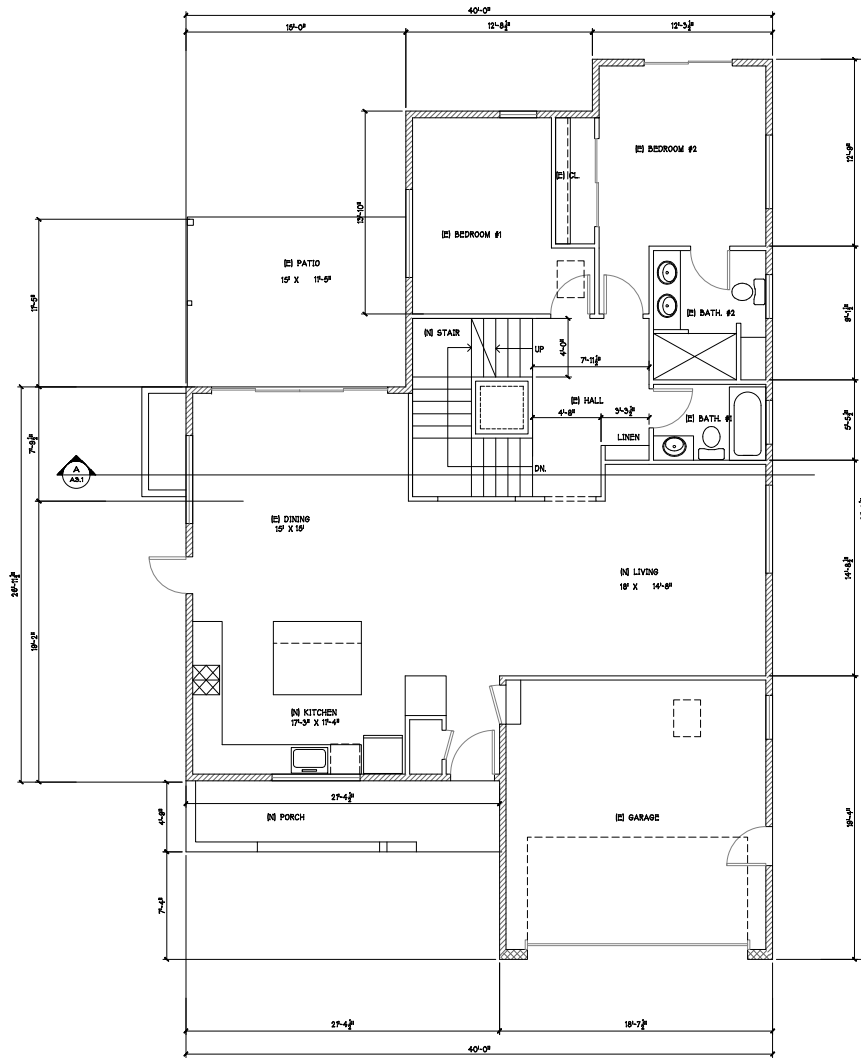
Project No: **0478 2/25/05**
Sheet Title:

**BASEMENT
FLOOR PLAN**

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Sheet No:

A2.0

of **Sheets**



PROPOSED 1ST FLOOR PLAN
 1/4" = 1'-0" LIVING = 1,460 SF; GARAGE = 355 SF

Revisions

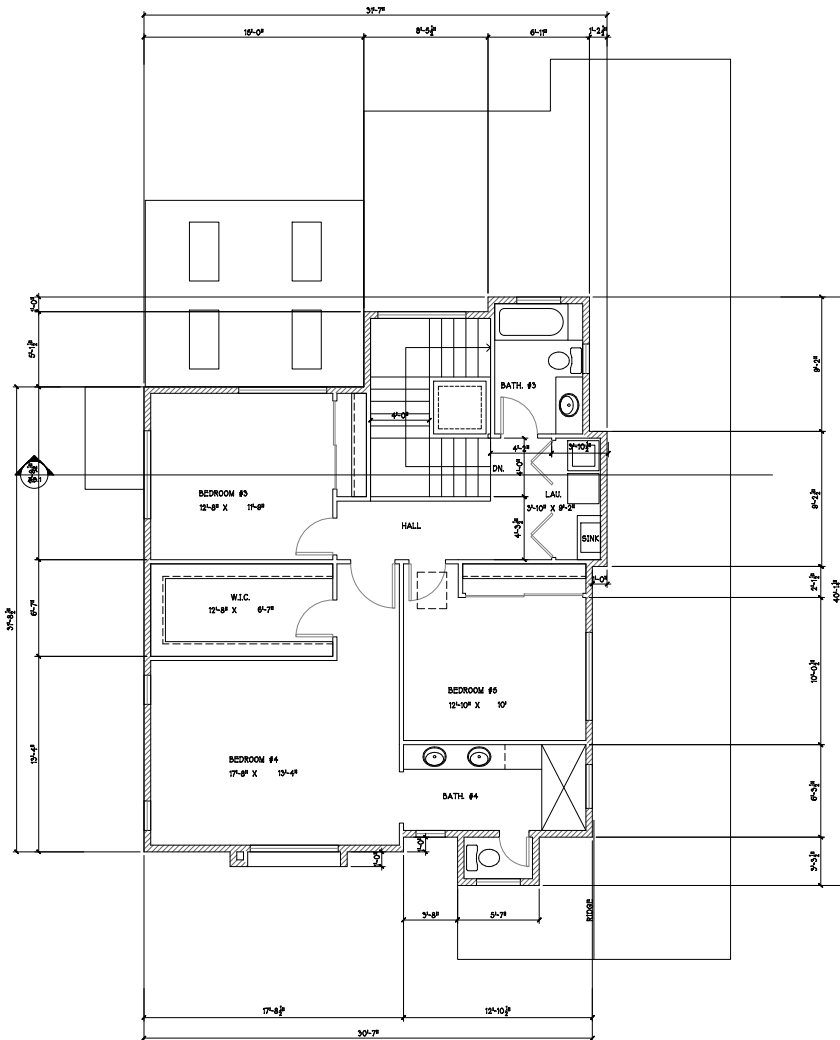
HOUSE ADDITION
 885 ARBOR RD,
 MILPITAS, CA

Project No: **0478** 2/25/25
 Sheet Title:

1ST FLOOR PLAN

Revised by:
 Sheet No:

A2.1



PROPOSED NEW 2ND FLOOR PLAN
 1/4" = 1'-0"

985 SF

LPMD
Architects

1288 Kifer Road, Unit 206,
 Sunnyvale, CA 94086
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Revisions

HOUSE ADDITION
 835 ARBOR RD,
 MENLO PARK, CA

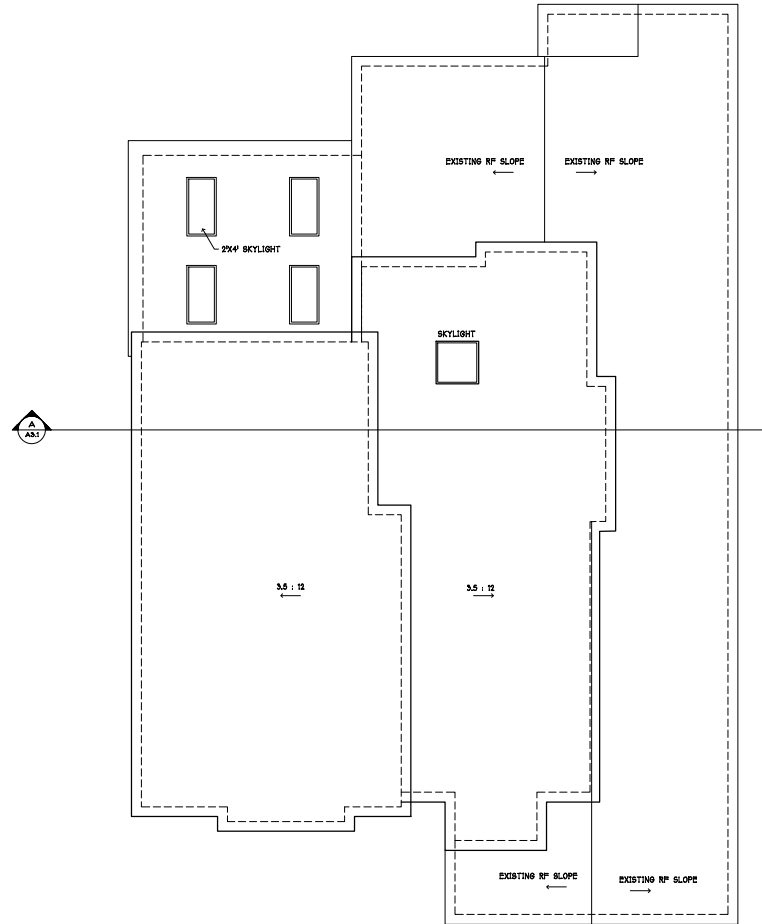
Project No: DWTS 2006/06
 Sheet Title:

2ND
FLOOR PLAN

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A2.2

of Sheets



ROOF PLAN
1/4" = 1'-0"

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HOUSE ADDITION
826 HEBB RD.
MIDCLO PARK, CA

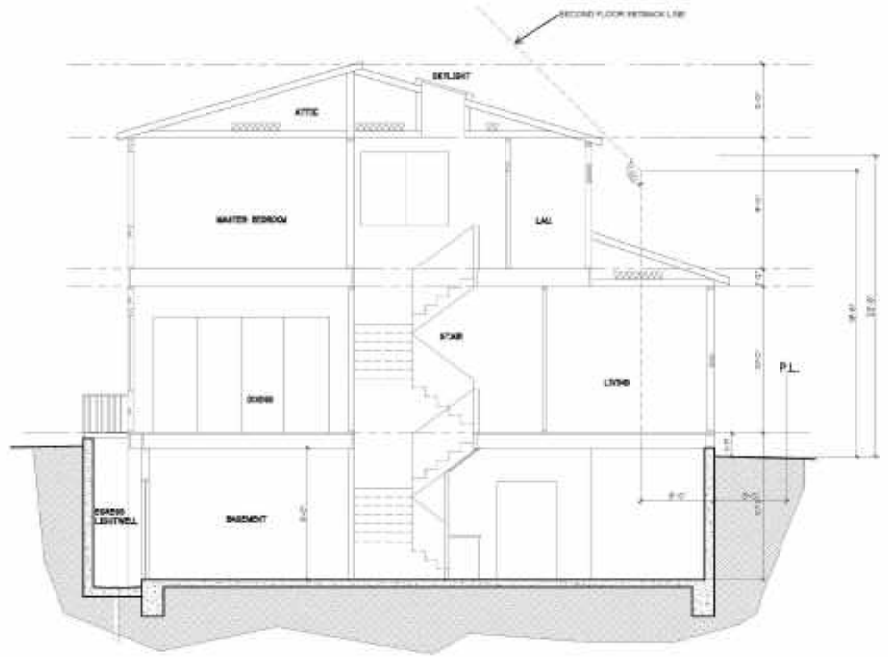
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ROOF PLAN

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FRAMING SECTION A
1/4" = 1'-0"

Notes

HOUSE ADDITION
68 ARROYO BL.
SUNNYVALE, CA

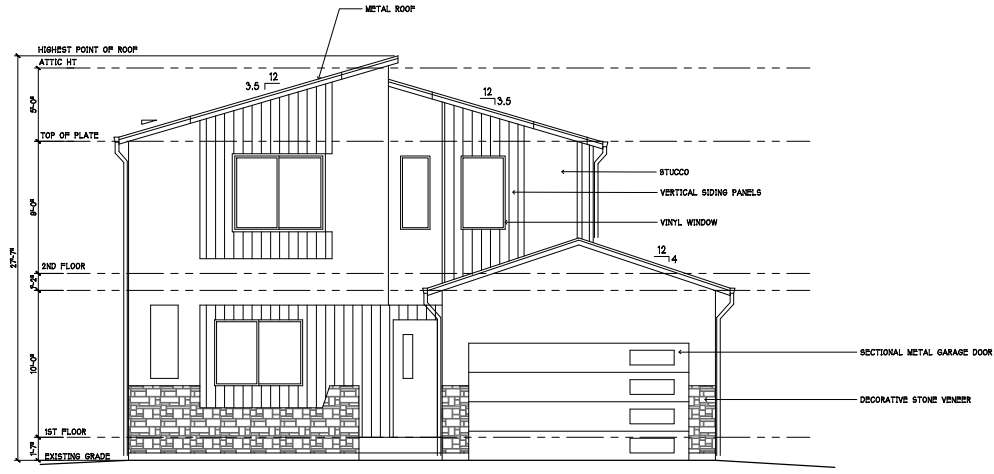
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Sheet Title

SECTIONS

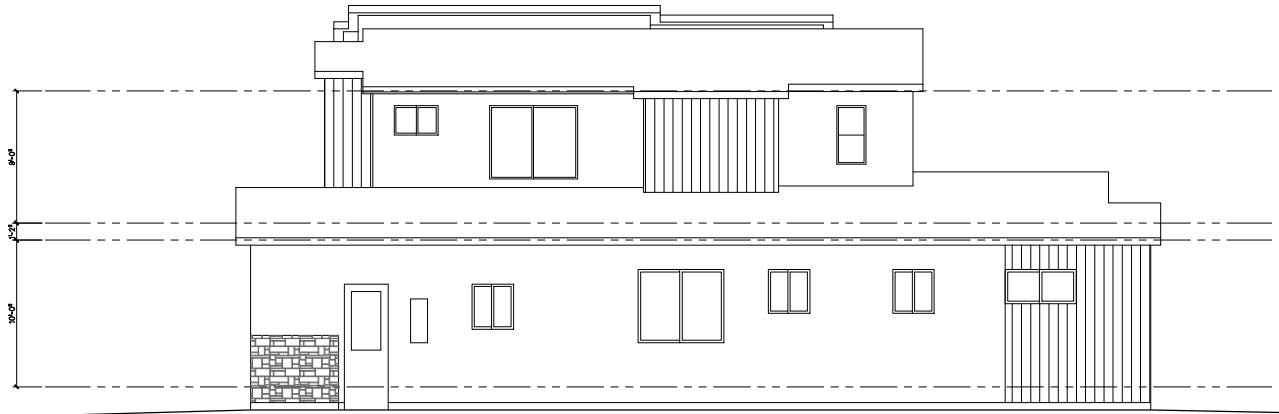
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Sheet No.

A3.1

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FRONT ELEVATION
1/4" = 1'-0"



RIGHT SIDE ELEVATION
1/4" = 1'-0"

Revised _____

HOUSE ADDITION
888 ARBOR RD,
MIDLO PARK, CA

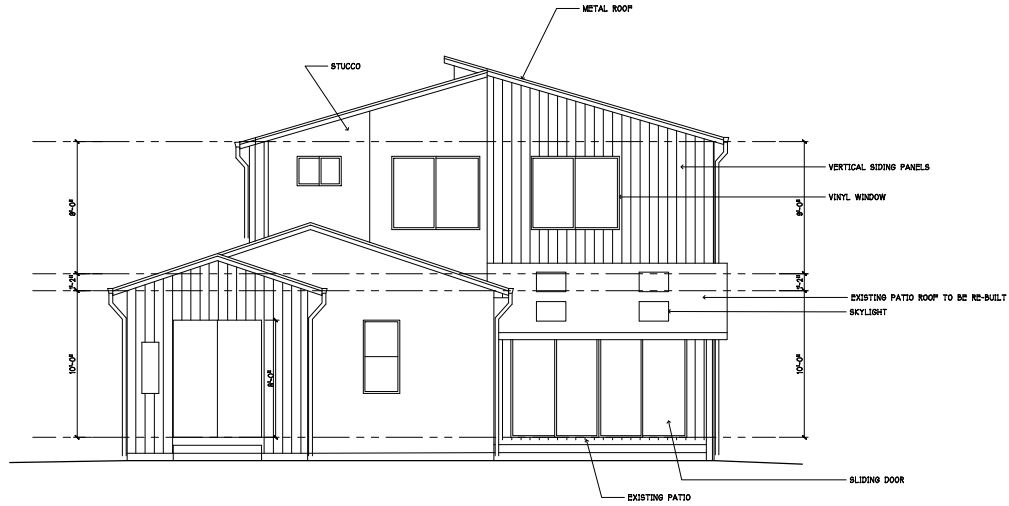
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ELEVATIONS

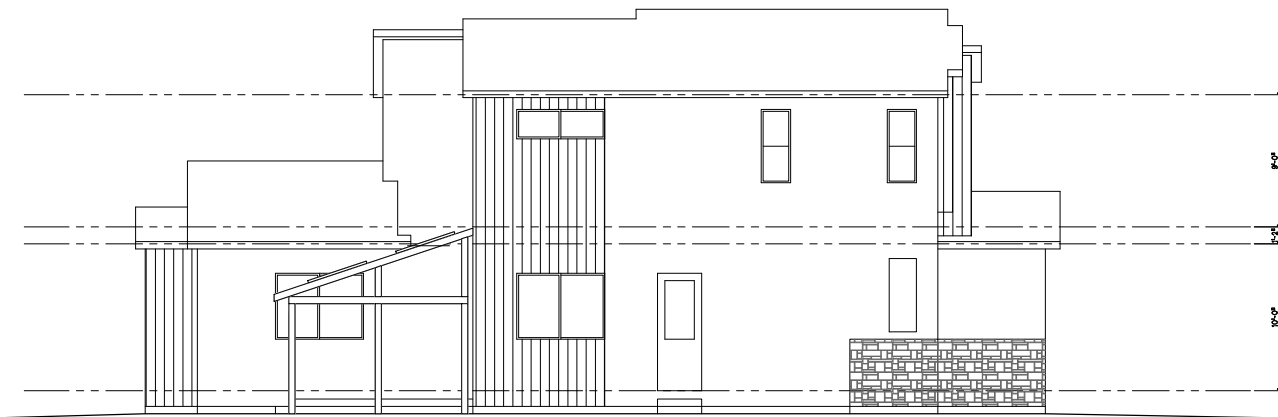
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A3.2

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REAR ELEVATION
1/4" = 1'-0"



LEFT SIDE ELEVATION
1/4" = 1'-0"

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HOUSE ADDITION

888 ARBOR RD,
MILL PARK, CA

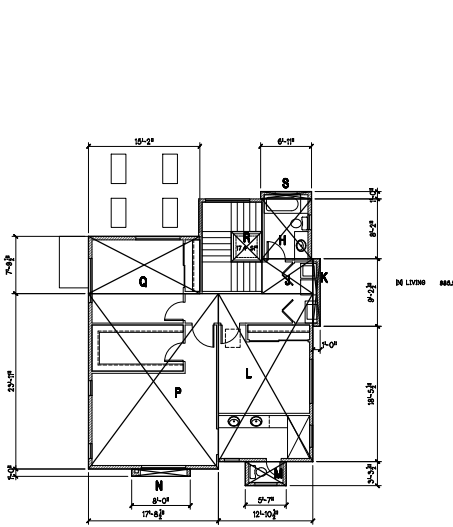
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ELEVATIONS

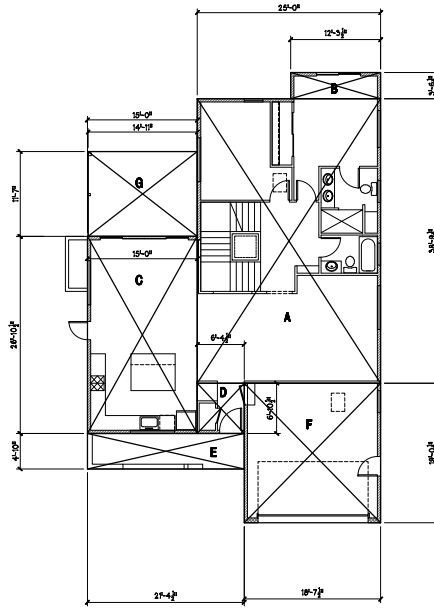
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2 2ND FLOOR
1/8" = 1'-0"



1 1ST FLOOR
1/8" = 1'-0"

NOTE:
SQUARE FOOTAGE CALCULATIONS ARE
TAKEN FROM EXTERIOR FACE OF STLD.

FLOOR AREA CALCULATIONS

| AREA | DIMENSION | SG. FT. |
|------------------|------------------------|----------------|
| 1ST FLOOR | | |
| A | 23'-0" X 33'-8 1/2" | 868.8 SQ. FT. |
| B | 12'-3 1/2" X 3'-6 1/2" | 43.5 SQ. FT. |
| C | 18'-0" X 26'-10 1/2" | 480.1 SQ. FT. |
| D | 6'-4 1/2" X 6'-10 1/2" | 43.8 SQ. FT. |
| TOTAL: | | 1460.2 SQ. FT. |

| | | | |
|----------------|---|--------------------------|---------------|
| COVERED PORCH | E | 24'-4 1/2" X 4'-0" | 102.5 SQ. FT. |
| COVERED GARAGE | F | 18'-7 1/2" X 18'-11 1/2" | 344.5 SQ. FT. |
| COVERED PATIO | G | 14'-11" X 15'-7" | 172.6 SQ. FT. |

| 2ND FLOOR | | |
|------------------|-----------------------|---------------|
| H | 6'-8" X 8'-2" | 55.1 SQ. FT. |
| J | 6'-11 1/2" X 4'-8" | 33.1 SQ. FT. |
| K | 7'-8" X 6'-5 1/2" | 50.8 SQ. FT. |
| L | 12'-10 1/2" X 22'-11" | 285.1 SQ. FT. |
| M | 6'-7" X 3'-3 1/2" | 22.4 SQ. FT. |
| N | 8'-0" X 1'-0" | 8.0 SQ. FT. |
| P | 17'-8 1/2" X 23'-11" | 413.6 SQ. FT. |
| Q | 19'-2" X 7'-8 1/2" | 148.2 SQ. FT. |
| R | 4'-2" X 4'-2" | 17.6 SQ. FT. |
| S | 6'-11" X 1'-0" | 6.9 SQ. FT. |
| TOTAL: | | 864.8 SQ. FT. |

FLOOR AREA LIMIT

1ST FLOOR + COVERED GARAGE + 2ND FLOOR = 2786.7 SF (UNDER 2,800 SF ALLOWED)

BUILDING COVERAGE

1ST FLOOR + E + F + G + N = 2088.7 SF (UNDER 2,000 OR 58% SF ALLOWED)

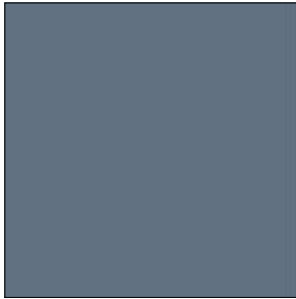
Notes

HOUSE ADDITION
885 ARBOR RD,
MILRO PARK, CA

Project No: DWTB 202526
Sheet Title:

AREA CALCULATIONS

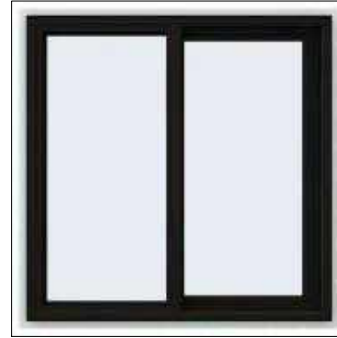
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Sheet No:



A WOOD FASCIA BOARD
1/4" x 1'-0"



B VERTICAL SIDING
1/4" x 1'-0"



C VINYL DOORS & WINDOWS
1/4" x 1'-0"



D METAL ROOF
1/4" x 1'-0"



E SMOOTH STUCCO
1/4" x 1'-0"



F STONE VENEER
1/4" x 1'-0"



G SECTIONAL STEEL GARAGE DOOR
1/4" x 1'-0"

MATERIAL LEGENDS

- A** WOOD FASCIA BOARD - SHERWIN WILLIAMS SW9243
- B** VERTICAL SIDING - HARDIE LIGHT MIST
- C** VINYL WINDOWS/DOORS - MILBARD TUSCANY SERIES BRONZE
- D** METAL ROOF - WESTERN METAL DECK DOLPHIN GRAY 24-GAUGE STANDING SEAM
- E** SMOOTH STUCCO - SHERWIN WILLIAMS SW6363
- F** STONE VENEER - EL DORADO STONE LIMESTONE YORK
- G** SECTIONAL STEEL GARAGE DOOR - C.H.I. DOOR

Revised _____

HOUSE ADDITION
888 ARBOR RD,
MIDLO PARK, CA

Project No: DWTS 200626
 Sheet Title:

COLOR & MATERIAL

Revised by: _____
 Sheet No:

A4.2

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