
14 June 2023

888 El Camino Real - Project Description

APN: 071-333-190

Development Area: 17,033 square feet (0.39 acres)

Zoning: ECR-SE

Project Overview

The development proposal for 888 El Camino contemplates a new mixed-use, four-story structure for commercial office and housing, replacing an existing single-story restaurant with adjacent surface parking. The proposed ground floor will include entry lobbies for both commercial and residential programs, (4) at-grade residential units, as well as various building service spaces. Vehicular entry to the (2) levels of underground parking is proposed along the El Camino frontage. A dedicated drop-off area is also proposed at the southwestern corner of the site, beyond which a common, landscaped open space is proposed for residential use.

Existing Conditions

As mentioned above, the existing 888 El Camino building is a single-story restaurant with surface parking lot, accessible from El Camino Real. An adjacent rear property also provides access to the site (via easement), and hosts a private surface parking lot which extends from Ravenswood Avenue to the north to an access driveway to the south (near the intersection of El Camino Real and Middle Avenue).

A series of easements along the southern property line favor the adjacent development.

The site is approximately 1,000 ft (0.2 miles) from the Menlo Park Caltrain Station.

Proposed Design

The site design of the project hosts a variety of uses on all sides. Vehicular entry, main office lobby, a visitor drop-off zone, and building egress populate the main frontage of the project. Along the southern property line, a landscape fence separates the busy El Camino streetscape from the residential lobby, at-grade unit entries, and a common residential outdoor amenity space. Along the northern property line, a narrow pathway provides access to building service spaces.

The massing and program of the upper floors of the building is articulated as two volumes – northern and southern, with a shared central core.

Level 2 is dedicated to commercial office use with private balconies at various locations. Level 3 of the northern volume of the building will host commercial office use, above which is a proposed roof terrace amenity for commercial tenants. Levels 3 and 4 of the southern volume of the building will host (12) residential units, above which will be the mechanical yard set back from the perimeter of the building façade and appropriately screened.

Public Benefit

As part of the project, a public benefit is being requested to increase the allowable FAR from the Base of 1.25 to 1.75, with a 50/50 split between commercial and residential development. The project proposes to provide (2) on-site below-market-rate (BMR) housing units. The base allowable and proposed FAR increases are listed below.

Lot Area	17,033	SF (0.39 acre)
Lot Area allowed under Base FAR (1.25)	21,291	SF
Lot Area allowed under Public Benefit FAR (1.75)	29,808	SF
Office Area allowed under Base FAR	10,646	SF
Office Area allowed under Public Benefit FAR	14,904	SF
Office Area proposed	14,904	SF
Net Bonus Office Area proposed	4,258	SF
Residential Area allowed under Base FAR	10,646	SF
Residential Area allowed under Public Benefit FAR	14,904	SF
Residential Area proposed	14,904	SF
Net Bonus Residential Area	4,258	SF
Residential Units allowed under Base	15	(40 units / acre)
Residential Units allowed under Public Benefit	23	(60 units / acre)
Residential Units proposed	16	
Net Bonus Residential Units	1	

Style, Materials, Colors, and Construction Methods

The building design is contemporary, composed with a bright, modern fiber-cement panel rainscreen siding system above a darker stone base. Linear wood siding at the third and fourth floors along the southern massing highlight the residential use.

The project features an array of private and common open spaces for tenants to enjoy. At the ground level, a landscaped area stretches the depth of the lot - just outside the main residential lobby and across from ground floor units, which not only provides physical separation between our project and the existing adjacent commercial office, but it also offers the opportunity for social gathering stepped back from the busy El Camino Real frontage. At the upper floors, smaller balconies are proposed along El Camino as well as the facing the rear parking lot. A large roof terrace for commercial tenants is also proposed above the third floor building mass. All rooftop mechanical equipment will be hosted above the fourth floor mass and screened from view.

A steel superstructure around a central concrete core provides the office use with uninterrupted tenant spaces along the depth of the property, and allows for the various cantilevers in the building mass. The glazing systems are proposed to be high-performing aluminum and glass storefronts, curtainwalls, and window systems to provide maximum daylight to the interiors, as well as articulate the programmatic distinctions between commercial and residential uses.

—

The project has retained the services of the following archeologist:

Colin Busby

President

BASIN RESEARCH ASSOCIATES, INC.

1933 Davis Street, Suite 214

San Leandro, CA 94577

Main (510) 430-8441

Fax (510) 430-8443

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888 EL CAMINO

DEVELOPMENT APPLICATION

2023.06.16

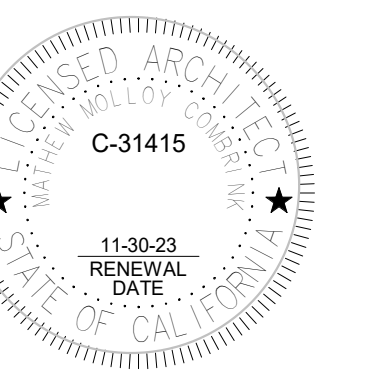
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San Francisco, CA 94109

ARCHITECT
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△ date revision description

2023.06.16 Development Application
date issue description



888 EL CAMINO
888 El Camino, Menlo Park CA 94025

project number: 20-298
date: 2023.06.16

COVER

G0.00

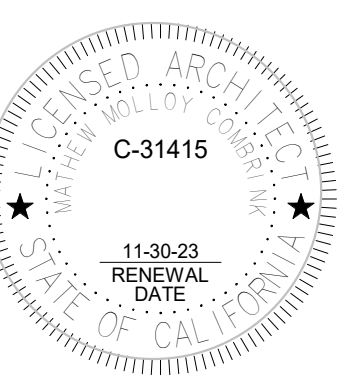
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3D VIEWS



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1 RENDERING - VIEW OF THE SOUTHEAST CORNER ALONG THE PASEO

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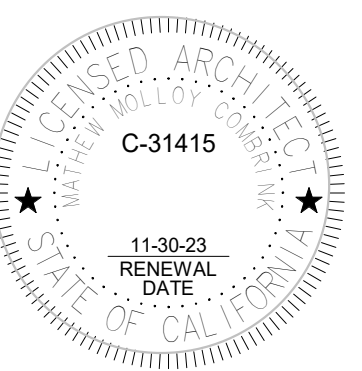
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3D VIEWS

1 RENDERING - VIEW OF THE SOUTHWEST CORNER

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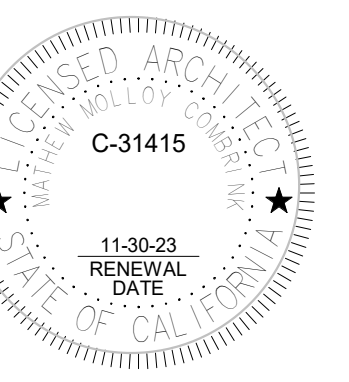
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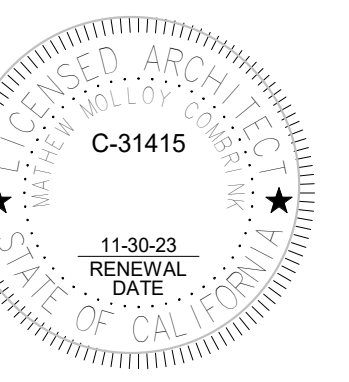
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3D VIEWS

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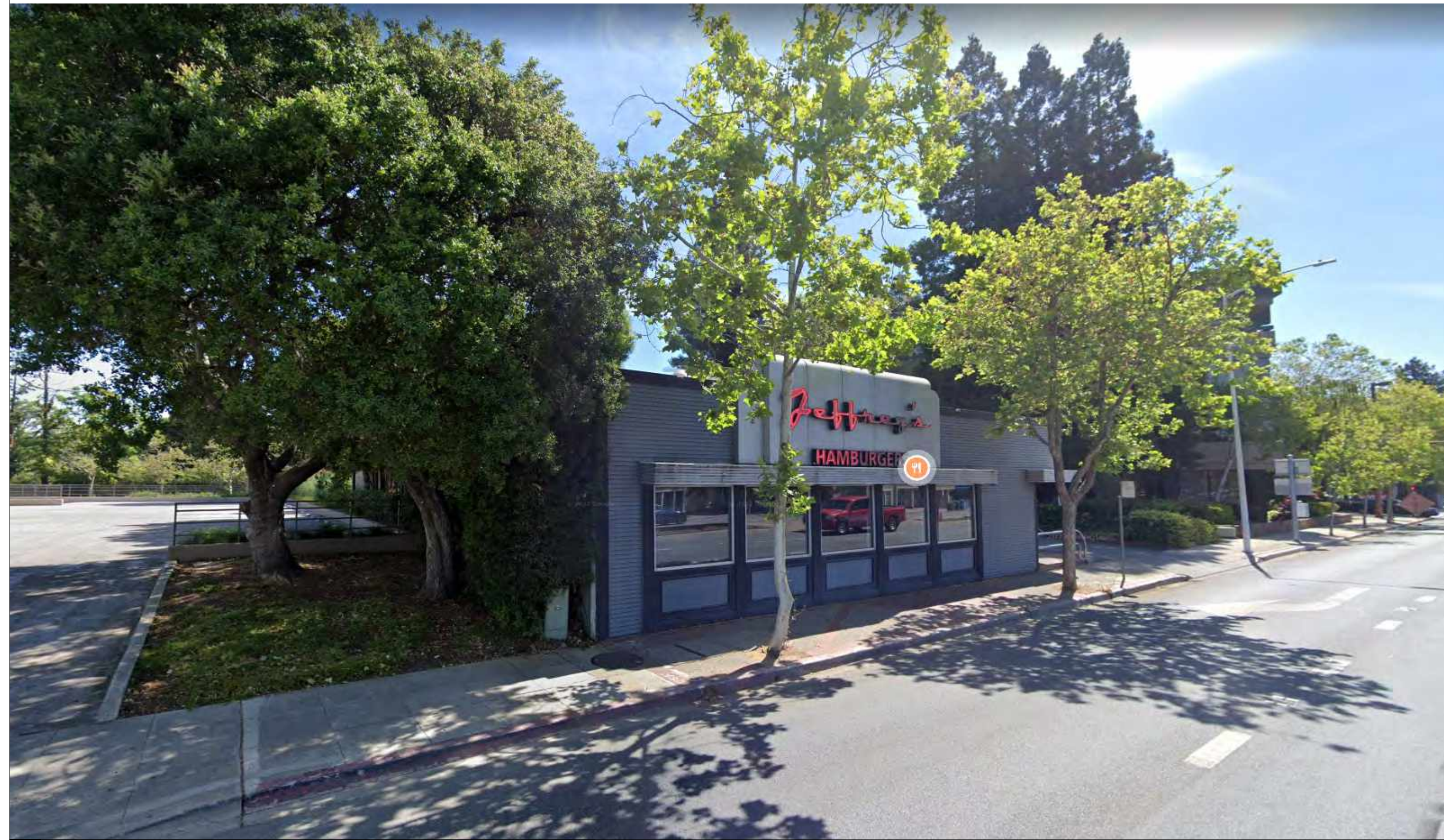
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**EXISTING
CONDITIONS
PHOTOGRAPHS**



PARKING LOT - LOOKING NORTH



PARKING LOT - LOOKING NORTH



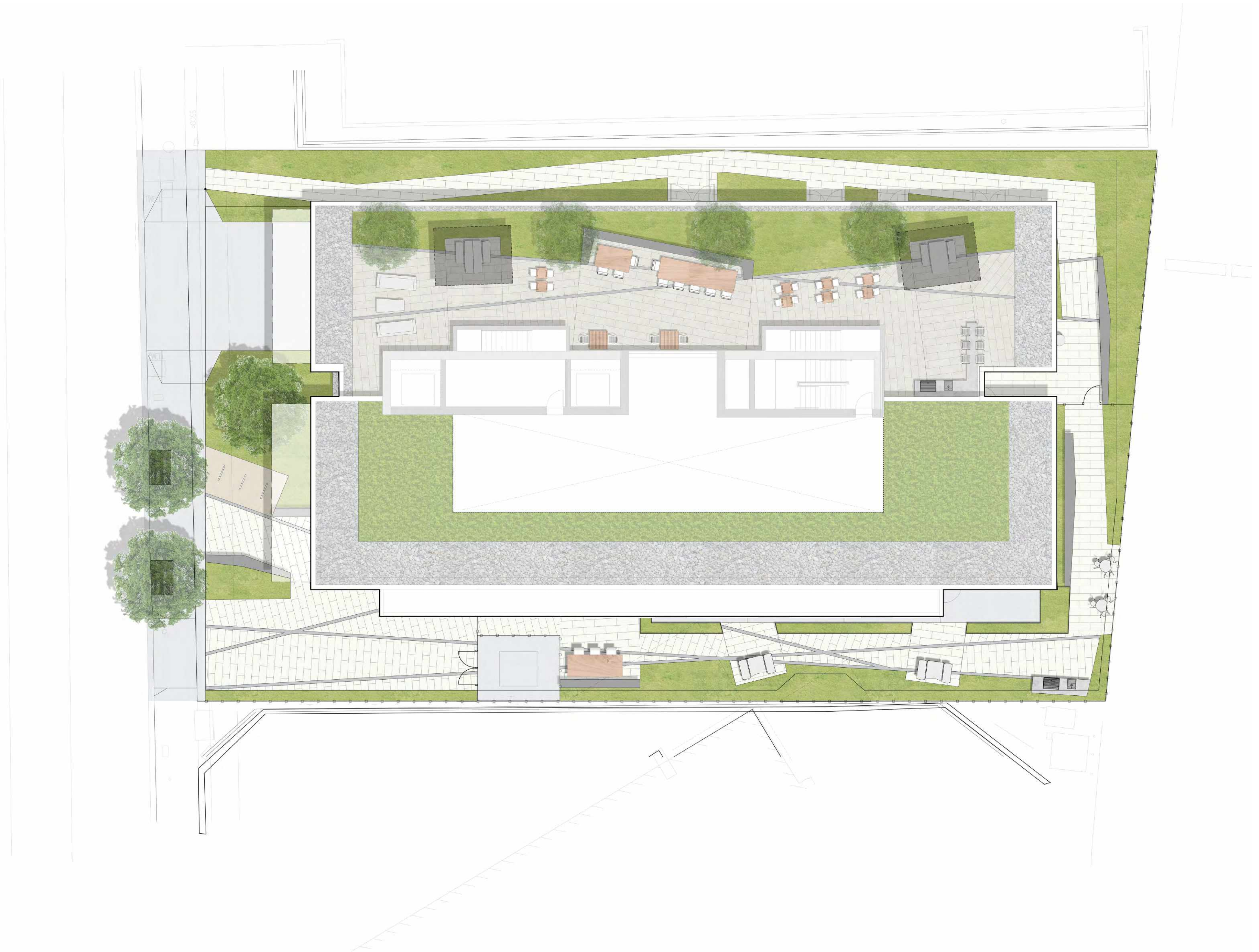
PARKING LOT - LOOKING NORTH



PARKING LOT - LOOKING NORTH

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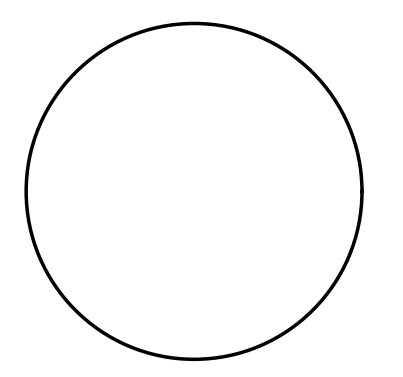


SCALE: 1/8"=1'-0"
0' 4' 8' 16'



#	date	revision description
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#	2023.05.16	Planning Submittal
#	date	issue description



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project number: 20-298
date: 2022.10.14

LANDSCAPE
ILLUSTRATIVE PLAN

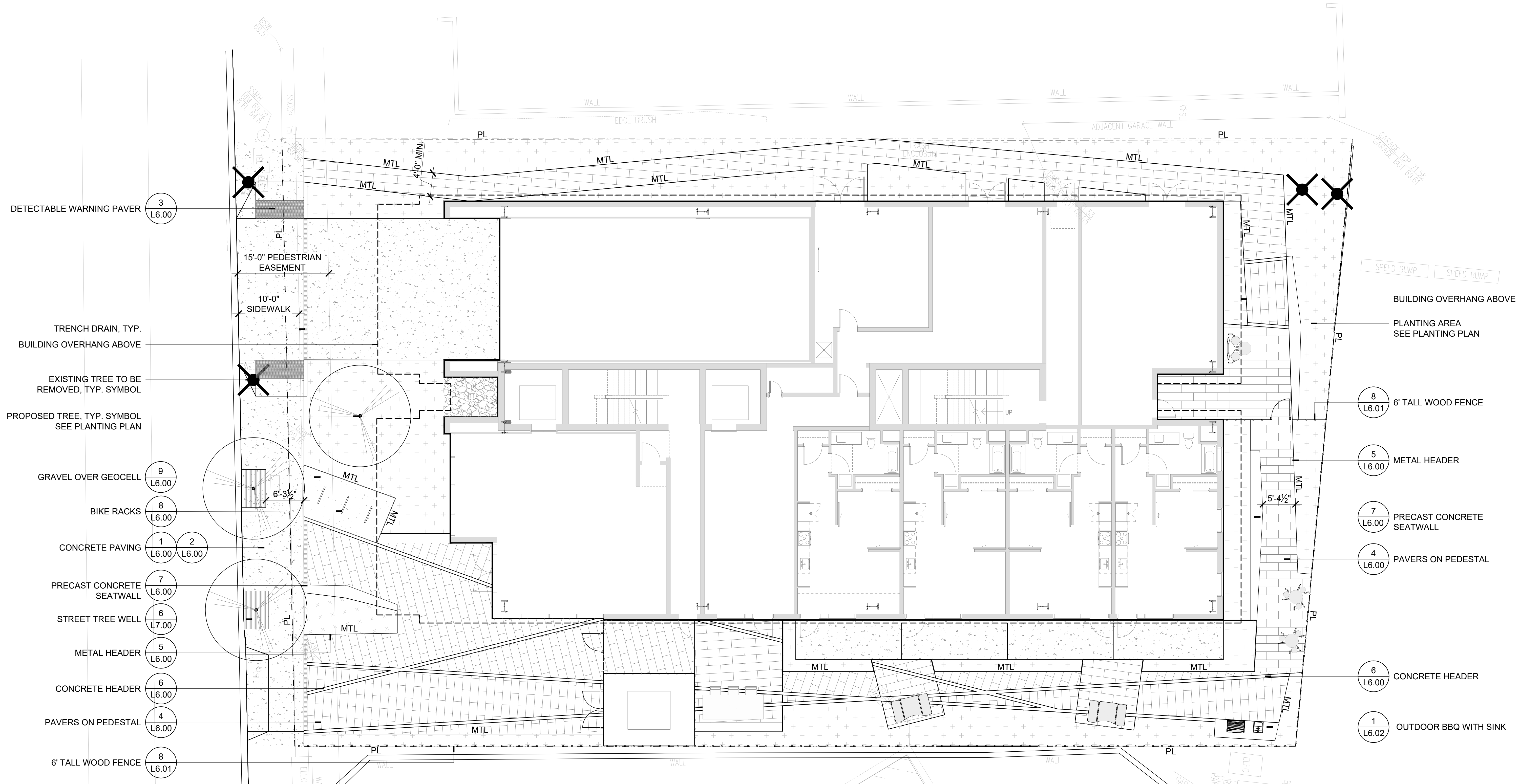
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DETECTABLE WARNING PAVER
 3
 L6.00

15'-0" PEDESTRIAN EASEMENT
 10'-0" SIDEWALK

TRENCH DRAIN, TYP.
 BUILDING OVERHANG ABOVE

EXISTING TREE TO BE REMOVED, TYP. SYMBOL

PROPOSED TREE, TYP. SYMBOL
 SEE PLANTING PLAN

GRAVEL OVER GEOCELL
 9
 L6.00

BIKE RACKS
 8
 L6.00

CONCRETE PAVING
 1 2
 L6.00 L6.00

PRECAST CONCRETE SEATWALL
 7
 L6.00

STREET TREE WELL
 6
 L7.00

METAL HEADER
 5
 L6.00

CONCRETE HEADER
 6
 L6.00

PAVERS ON PEDESTAL
 4
 L6.00

6' TALL WOOD FENCE
 8
 L6.01

SPEED BUMP SPEED BUMP

BUILDING OVERHANG ABOVE

PLANTING AREA
 SEE PLANTING PLAN

8
 L6.01 6' TALL WOOD FENCE

5
 L6.00 METAL HEADER

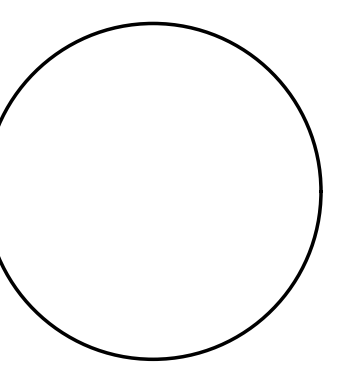
7
 L6.00 PRECAST CONCRETE SEATWALL

4
 L6.00 PAVERS ON PEDESTAL

6
 L6.00 CONCRETE HEADER

1
 L6.02 OUTDOOR BBQ WITH SINK

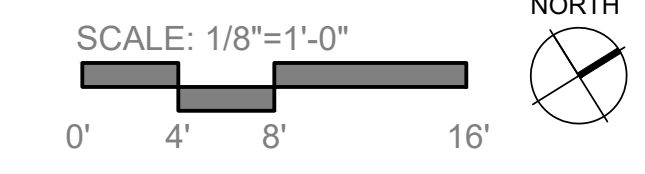
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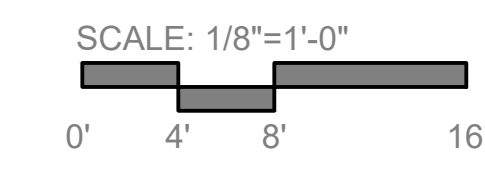
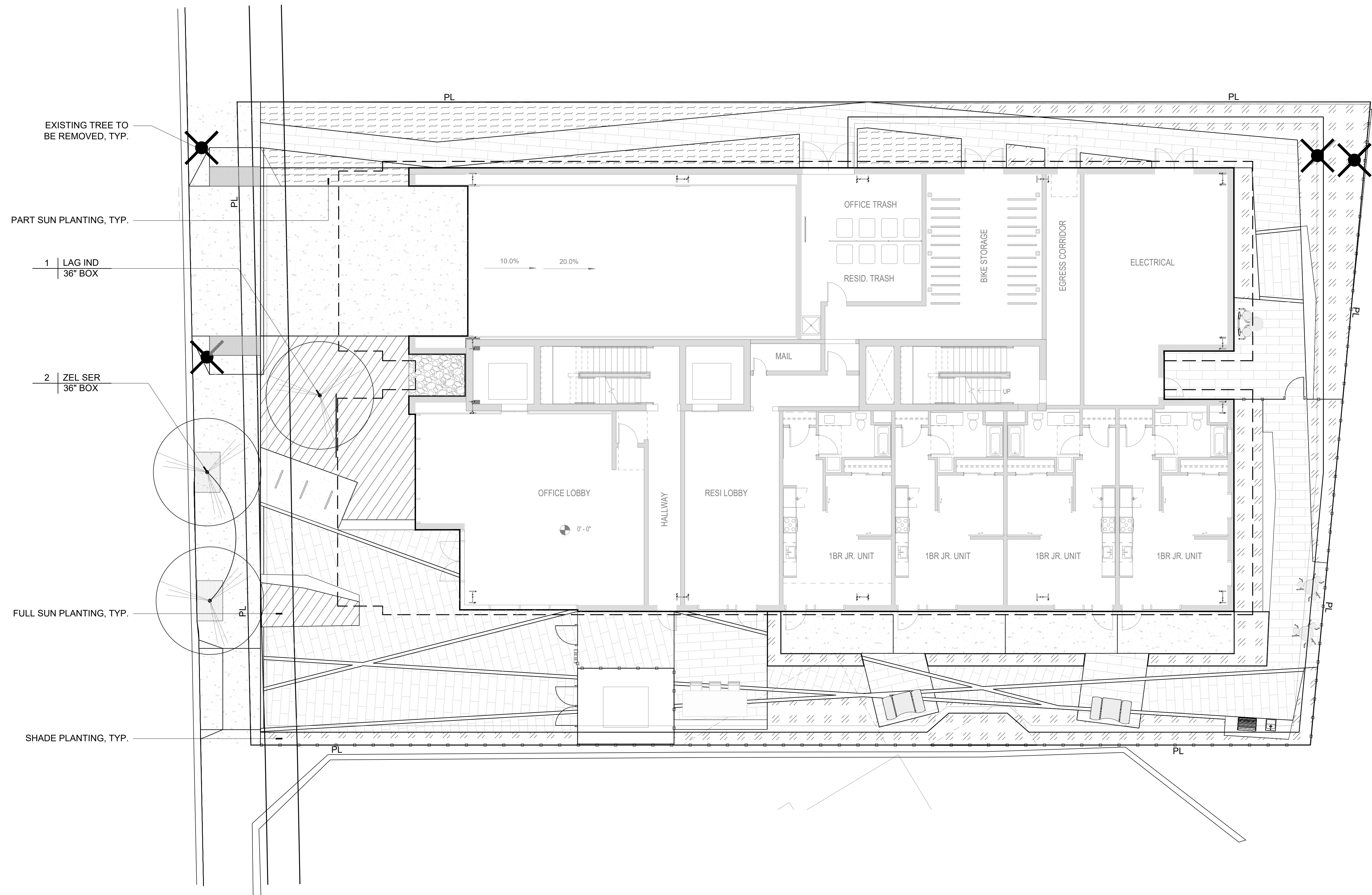
LANDSCAPE MATERIALS PLAN - GROUND



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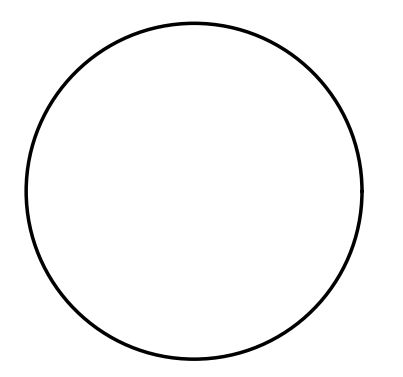
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LANDSCAPE
PLANTING PLAN -
GROUND

L5.00

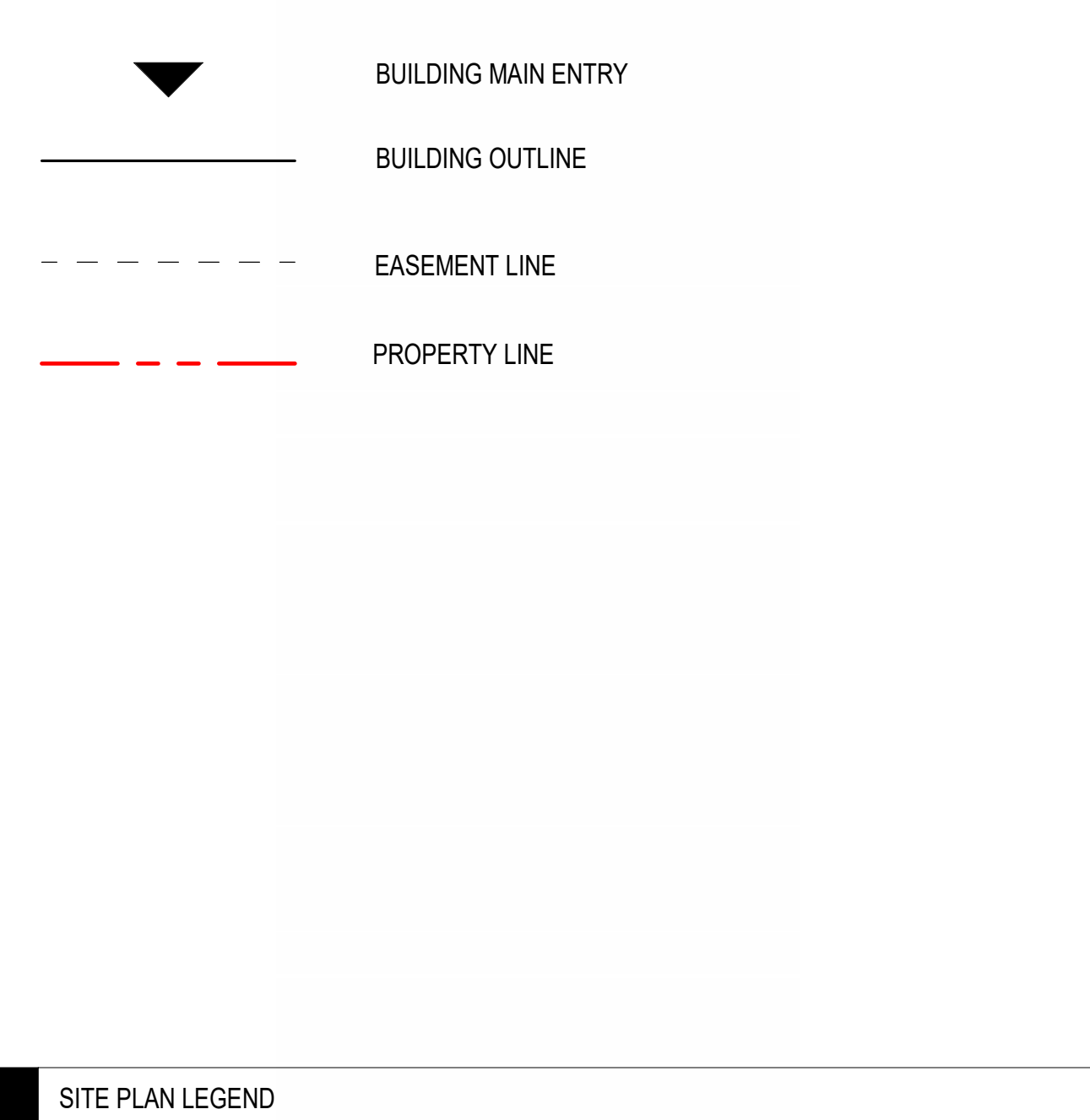
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1 (E) SITE PLAN

1" = 30'-0"

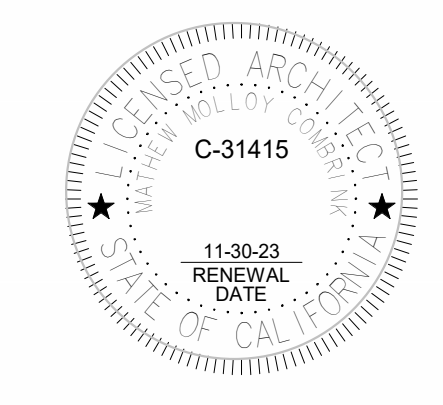
- GENERAL FLOOR PLAN NOTES
- SEE G___ FOR PROJECT GENERAL NOTES.
 - SEE G___ SERIES DRAWINGS FOR ACCESSIBILITY DETAILS & CODE SIGNAGE. REQUIREMENTS DESIGN FOR PROJECT SIGNAGE.
 - SEE G___ SERIES FOR ACCESSIBLE PARKING STALL, EV STALLS, PARKING, AND SIGNAGE REQUIREMENTS.
 - SEE A___ SERIES DRAWINGS FOR SLAB PLANS.
 - SEE A___ SERIES DRAWINGS FOR FINISH PLANS.
 - SEE A___ SERIES DRAWINGS FOR REFLECTED CEILING PLANS.
 - SEE A___ SERIES DRAWINGS FOR PARTITION TYPES.
 - SEE A___ SERIES DRAWINGS FOR EXTERIOR ASSEMBLIES.
 - SEE A___ SERIES DRAWINGS FOR TYPICAL UL LISTED RATED ASSEMBLIES.
 - ALL OPEN JOINTS, PENETRATIONS AND OTHER OPENINGS IN THE BUILDING ENVELOPE SHALL BE SEALED, CAULKED, GASKETED AND WEATHER-STRIPPED TO LIMIT AIR LEAKAGE AND MAINTAIN RATED ASSEMBLIES.
 - ALL CONCEALED WOOD BLOCKING SHALL BE FIRE RETARDANT TREATED, TYPICAL, PER CODE SECTION ___.
 - PROVIDE THE REQUIRED BACKING, BRACING, AND BLOCKING FOR ATTACHMENT OF CASEWORK, RESTROOM ACCESSORIES, EQUIPMENT, AND OTHER.
 - ALL FURNITURE, APPLIANCES, AND TRASH CANS SHALL BE O.F.C.I., U.O.N.



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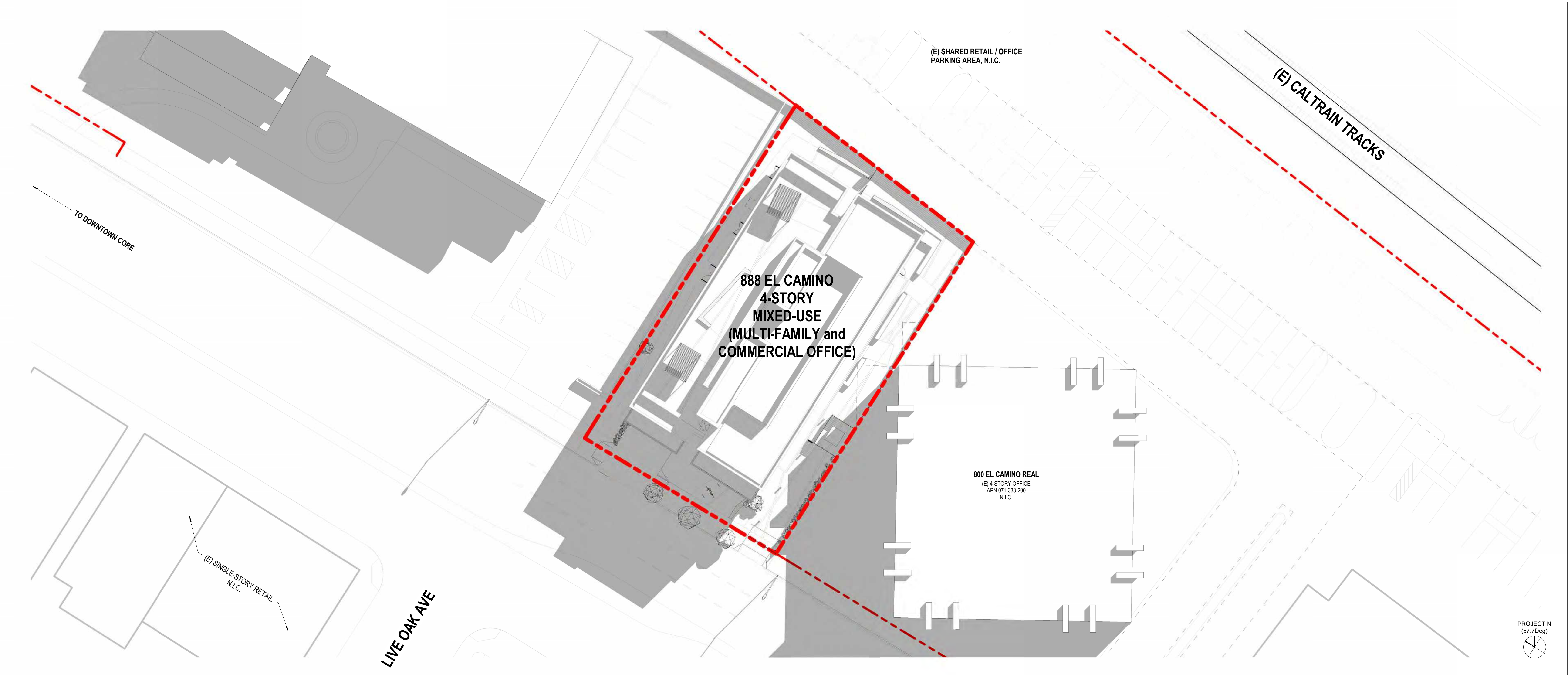
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EXISTING SITE PLAN

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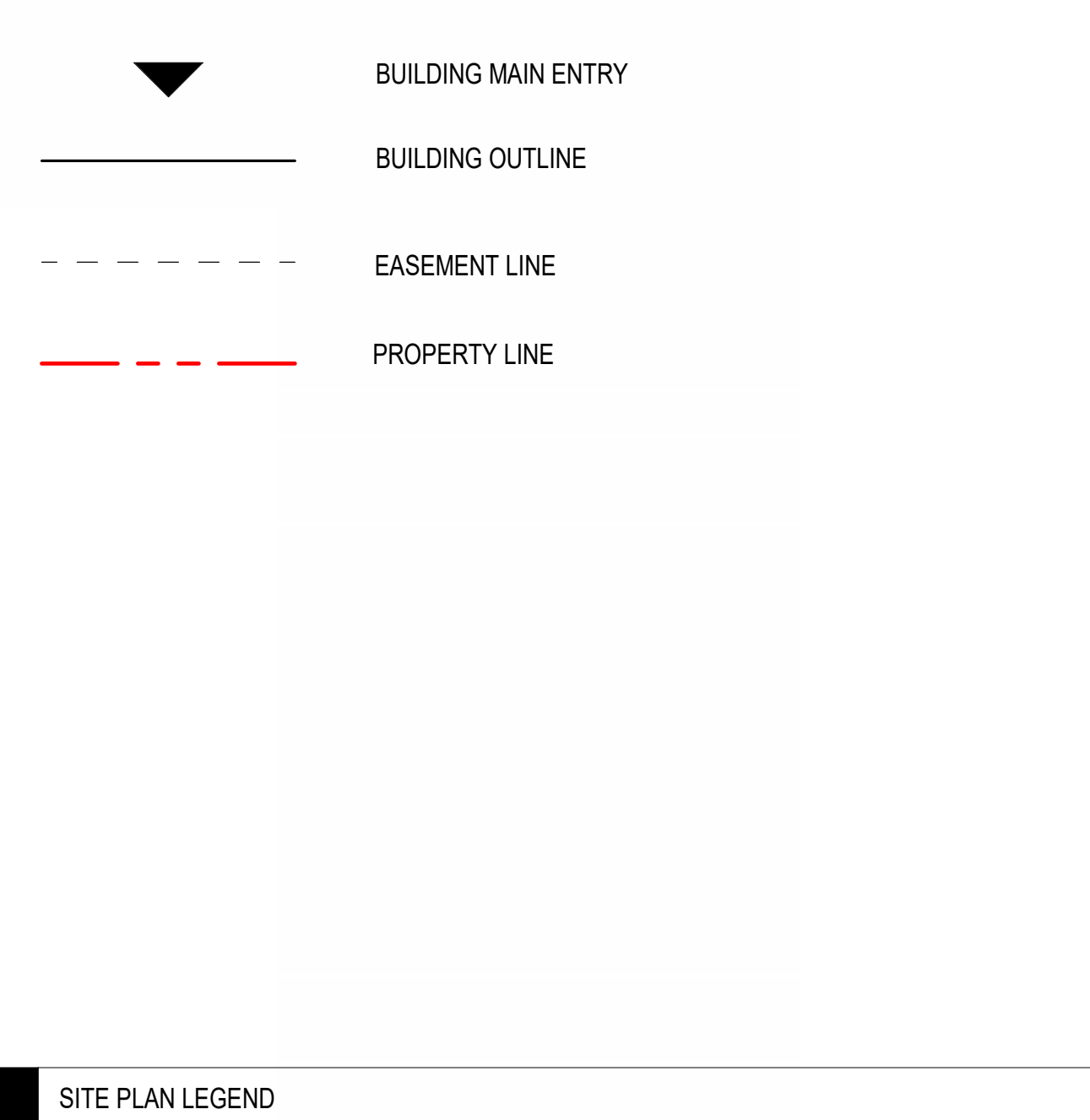
2 (N) SITE PLAN 1" = 20'-0"



1 STREET ELEVATION 1" = 20'-0"

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GENERAL FLOOR PLAN NOTES



SITE PLAN LEGEND

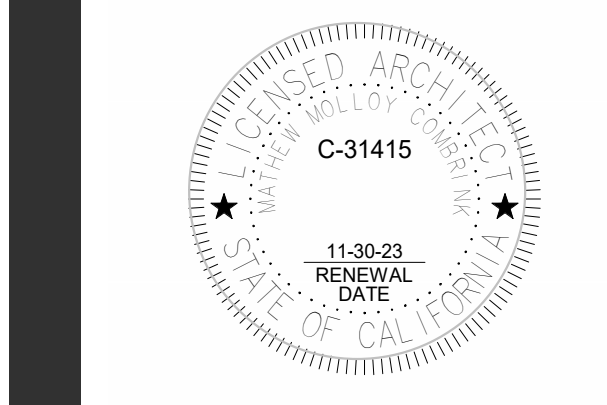


KEYNOTE LEGEND

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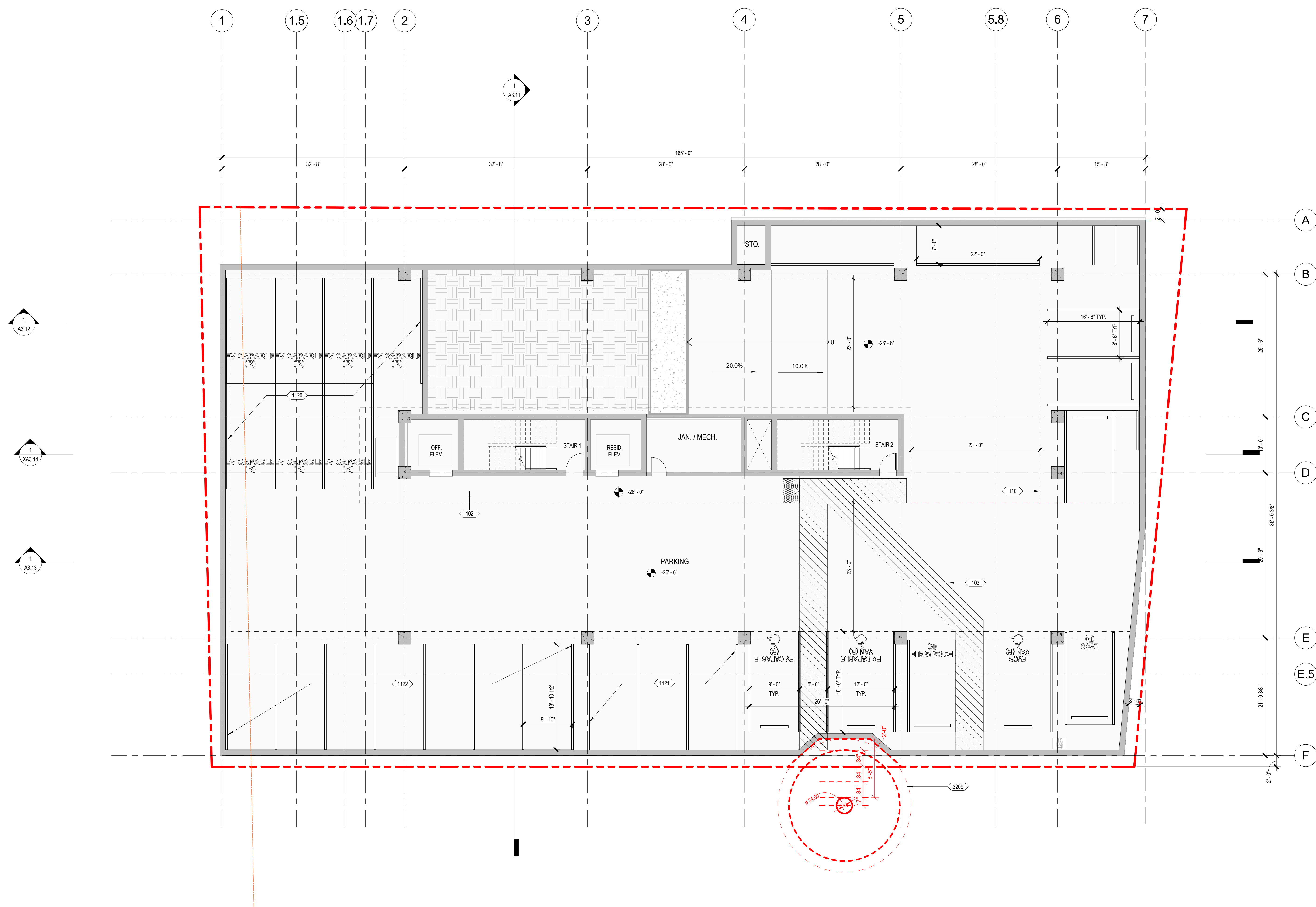


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PROPOSED SITE PLAN & STREET ELEVATION

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RESID. PARKING STALLS PROVIDED BY LEVEL

LEVEL B2	Count
EV CAPABLE ACCESSIBLE RESID.	1
EV CAPABLE ACCESSIBLE VAN RESID.	1
EV CAPABLE RESID.	1
EV CAPABLE RESID. STACKER	11
EVCS ACCESSIBLE VAN RESID.	1
EVCS RESID.	1
TOTAL STALLS PROVIDED	16

OFFICE PARKING STALLS PROVIDED BY LEVEL

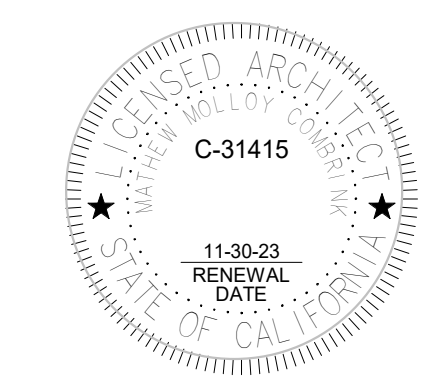
LEVEL B1	Count
ACCESSIBLE	1
ACCESSIBLE VAN	1
EV CAPABLE	7
EVCS	3
EVCS ACCESSIBLE VAN	1
PARALLEL	1
STANDARD	4
LEVEL B2	4
OFFICE STACKER	18
PARALLEL	2
STANDARD	3
TOTAL STALLS PROVIDED	41

MOTORCYCLE STALLS PER LEVEL

LEVEL B1	Motorcycle	Count
LEVEL B1	Motorcycle	5
LEVEL B2	Motorcycle	4
TOTAL STALLS PROVIDED		9

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LEVEL B2 FLOOR PLAN

A2.00B2

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1 LEVEL B2

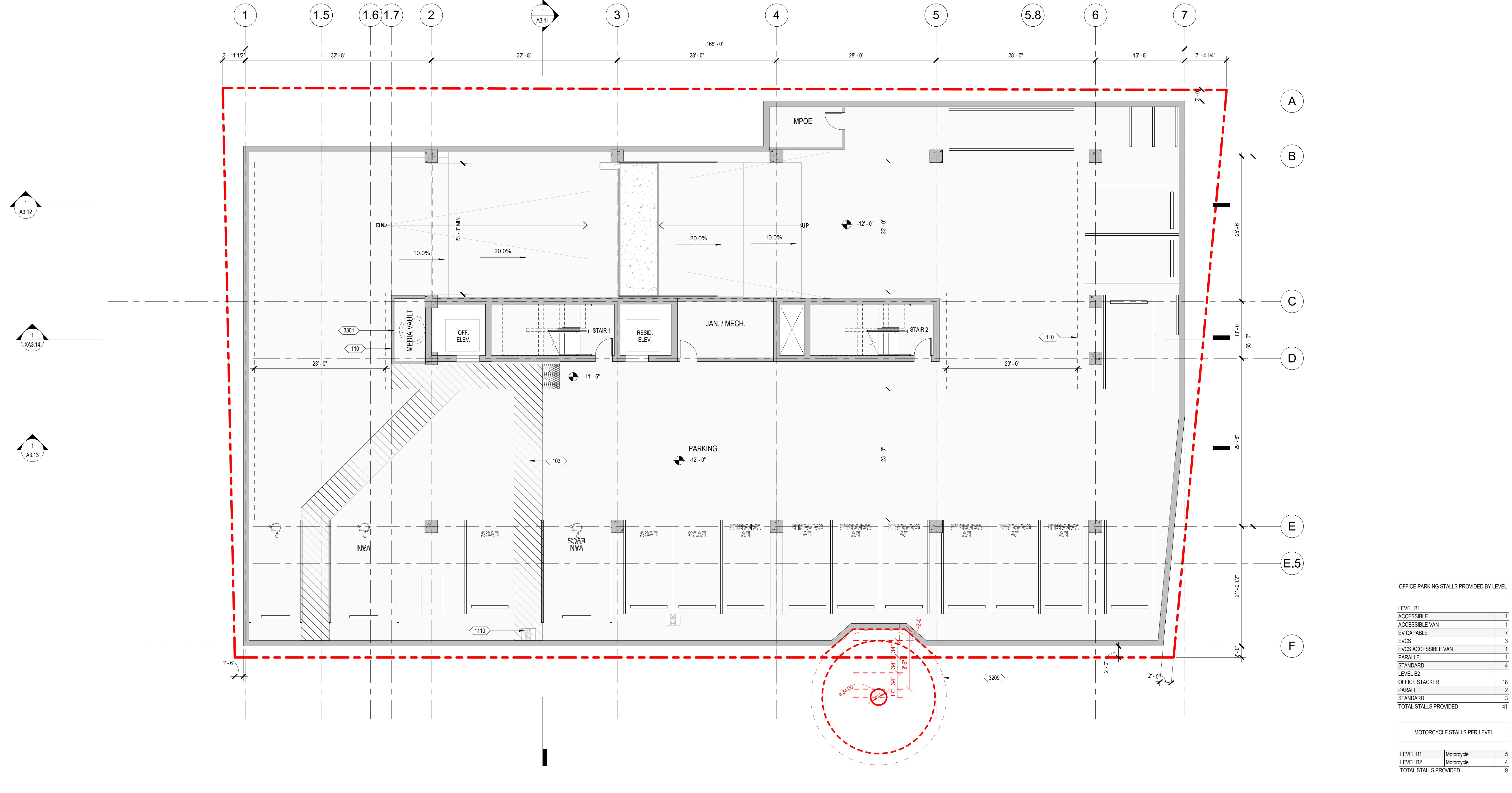
1/8" = 1'-0"

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 - ALL FURNITURE, APPLIANCES, AND TRASH CANS SHALL BE OF C.I., U.O.N.

- FLOOR PLAN LEGEND
- A01A PARTITION TAG
 - ◇ CW 000 CURTAIN WALL TAG
 - ▨ TRUNCATED DOMES
 - FEC FIRE EXTINGUISHING CABINET. SEE FEC TABLE
 - FLOOR DRAIN
 - ROOF DRAIN
 - FIRE EXTINGUISHER CABINET TYPES**
 - FEC-A SURFACED MOUNTED
 - FEC-B SEMI-RECESS MOUNTED
 - FEC-C RECESS MOUNTED
 - PROPERTY LINE

- KEYNOTE LEGEND
- KEYNOTE TAG
 - 102 RAISED ACCESSIBLE PATH
 - 103 ACCESSIBLE STRIPPED ASBLE, MIN 3'-0" WIDTH
 - 110 DASH LINE INDICATES 22'-0" VEHICULAR CLEAR PATH
 - 1120 VEHICLE PARKING STACKER, 11-CARS, RESIDENTIAL
 - 1121 VEHICLE PARKING STACKER, 5-CARS, OFFICE
 - 1122 VEHICLE PARKING STACKER, 13-CARS, OFFICE
 - 3209 TREE ROOT CLEARANCE REQUIRED, SEE ARBORIST REPORT

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OFFICE PARKING STALLS PROVIDED BY LEVEL

LEVEL B1	
ACCESSIBLE	1
ACCESSIBLE VAN	1
EV CAPABLE	7
EVCS	3
EVCS ACCESSIBLE VAN	1
PARALLEL	1
STANDARD	4
LEVEL B2	
OFFICE STACKER	18
PARALLEL	2
STANDARD	3
TOTAL STALLS PROVIDED	41

MOTORCYCLE STALLS PER LEVEL

LEVEL B1	Motorcycle	5
LEVEL B2	Motorcycle	4
TOTAL STALLS PROVIDED		9

1.1 LEVEL B1

1/8" = 1'-0"

1. SEE G___ FOR PROJECT GENERAL NOTES.
2. SEE G___ SERIES DRAWINGS FOR ACCESSIBILITY DETAILS & CODE SIGNAGE. REQUIREMENTS DESIGN FOR PROJECT SIGNAGE.
3. SEE G___ SERIES FOR ACCESSIBLE PARKING STALL, EV STALLS, PARKING, AND SIGNAGE REQUIREMENTS.
4. SEE A___ SERIES DRAWINGS FOR SLAB PLANS.
5. SEE A___ SERIES DRAWINGS FOR FINISH PLANS.
6. SEE A___ SERIES DRAWINGS FOR REFLECTED CEILING PLANS.
7. SEE A___ SERIES DRAWINGS FOR PARTITION TYPES.
8. SEE A___ SERIES DRAWINGS FOR EXTERIOR ASSEMBLIES.
9. SEE A___ SERIES DRAWINGS FOR TYPICAL U/L LISTED RATED ASSEMBLIES.
10. ALL OPEN JOINTS, PENETRATIONS AND OTHER OPENINGS IN THE BUILDING ENVELOPE SHALL BE SEALED, CAULKED, GASKETED AND WEATHER-STRIPPED TO LIMIT AIR LEAKAGE AND MAINTAIN RATED ASSEMBLIES.
11. ALL CONCEALED WOOD BLOCKING SHALL BE FIRE RETARDANT TREATED, TYPICAL, PER CODE SECTION ___.
12. PROVIDE THE REQUIRED BACKING, BRACING, AND BLOCKING FOR ATTACHMENT OF CASEWORK, RESTROOM ACCESSORIES, EQUIPMENT, AND OTHER.
13. ALL FURNITURE, APPLIANCES, AND TRASH CANS SHALL BE O.F.C.I., U.O.N.

- A01A PARTITION TAG
- ◇ CW 000 CURTAIN WALL TAG
- ▨ TRUNCATED DOMES
- ▬ FEC FIRE EXTINGUISHING CABINET. SEE FEC TABLE
- FLOOR DRAIN
- ROOF DRAIN
- FIRE EXTINGUISHING CABINET TYPES**
- FEC-A SURFACED MOUNTED
- FEC-B SEMI-RECESS MOUNTED
- FEC-C RECESS MOUNTED
- PROPERTY LINE

- KEYNOTE TAG
- 103 ACCESSIBLE STRIPED AISLE, MIN 5'-0" WIDTH
- 110 DASH LINE INDICATES 22'-0" VEHICULAR CLEAR PATH
- 111 VEHICLE CHARGING EQUIPMENT, TYP.
- 3209 TREE ROOT CLEARANCE REQUIRED, SEE ARBORIST REPORT
- 3301 STORMWATER MEDIA TANK ROOM, S.C.D.

GENERAL FLOOR PLAN NOTES

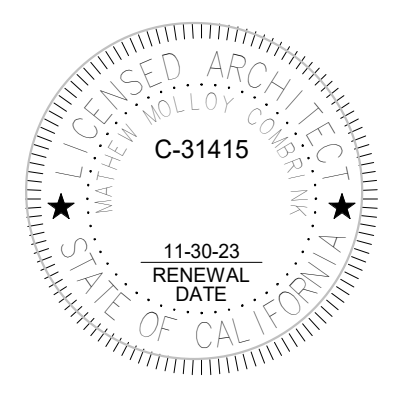
FLOOR PLAN LEGEND

KEYNOTE LEGEND

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date	revision description

#	date	issue description
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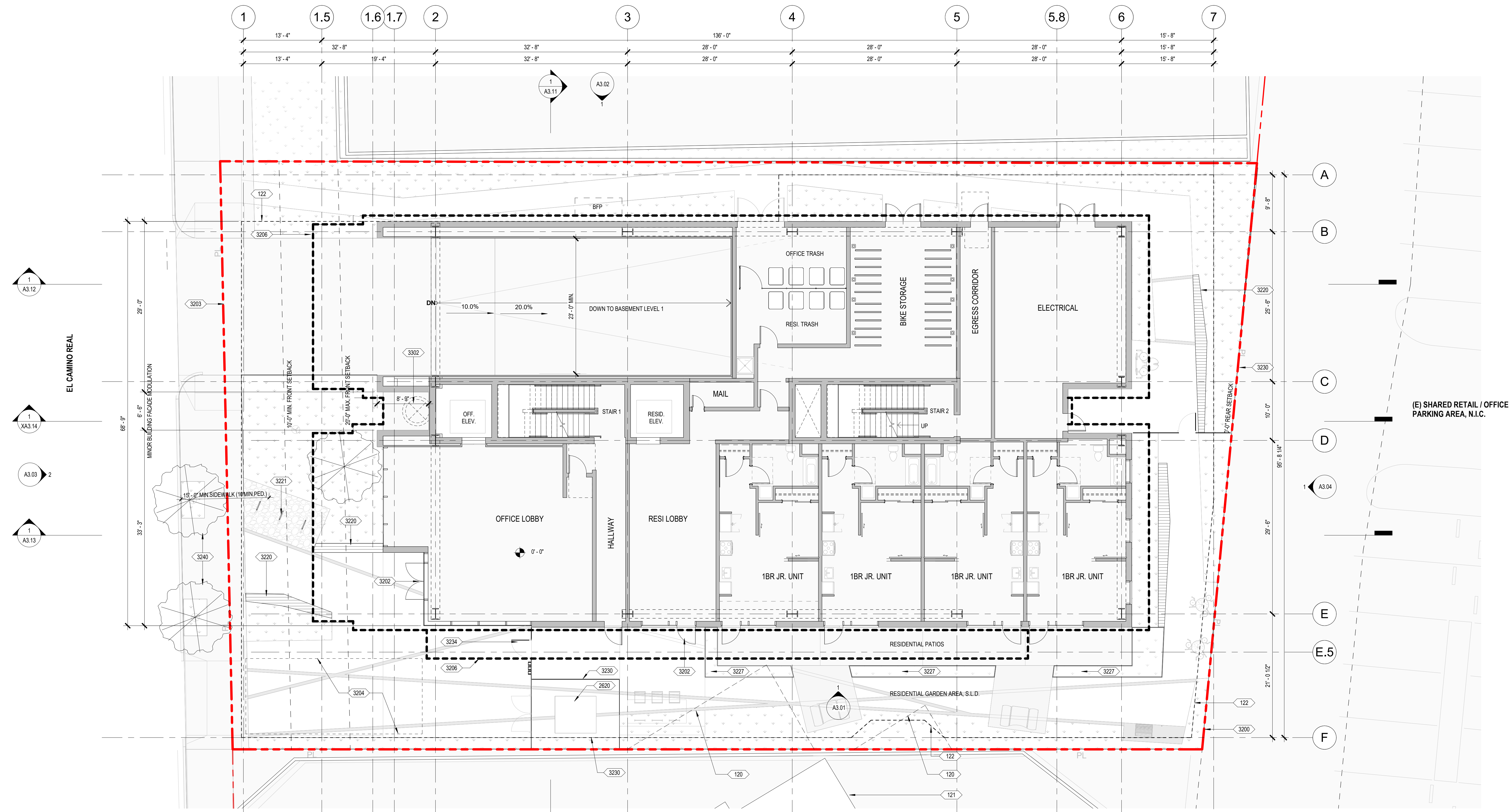
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project number: 23-298
 date: 2023.06.16

LEVEL B1 FLOOR PLAN

A2.00B1

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 A3.12
 A3.14
 A3.03
 A3.13

(E) SHARED RETAIL / OFFICE
 PARKING AREA, N.I.C.

1 LEVEL 1 1/8" = 1'-0"

- GENERAL FLOOR PLAN NOTES**
- SEE G___ FOR PROJECT GENERAL NOTES.
 - SEE G___ SERIES DRAWINGS FOR ACCESSIBILITY DETAILS & CODE SIGNAGE. REQUIREMENTS DESIGN FOR PROJECT SIGNAGE.
 - SEE G___ SERIES FOR ACCESSIBLE PARKING STALL, EV STALLS, PARKING, AND SIGNAGE REQUIREMENTS.
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 - SEE A___ SERIES DRAWINGS FOR PARTITION TYPES.
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 - ALL FURNITURE, APPLIANCES, AND TRASH CANS SHALL BE O.F.C.I., U.O.N.

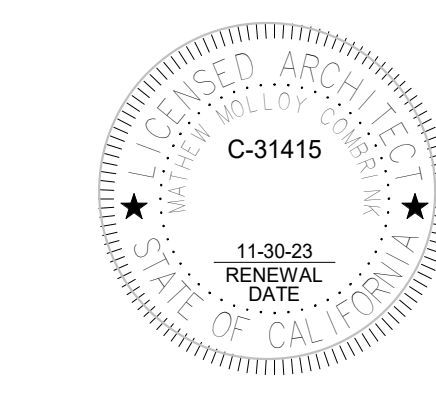
- FLOOR PLAN LEGEND**
- A01A PARTITION TAG
 - ◇ CW 000 CURTAIN WALL TAG
 - ▨ TRUNCATED DOMES
 - FEC FIRE EXTINGUISHING CABINET. SEE FEC TABLE
 - FLOOR DRAIN
 - ROOF DRAIN
 - FIRE EXTINGUISHING CABINET TYPES**
 - FEC-A SURFACED MOUNTED
 - FEC-B SEMI-RECESS MOUNTED
 - FEC-C RECESS MOUNTED
 - PROPERTY LINE

- KEYNOTE LEGEND**
- KEYNOTE TAG
 - 120 EXISTING LIGHT AND AIR EASEMENT
 - 121 (E) NEIGHBORING BUILDING
 - 122 LINE OF BASEMENT WALL BELOW
 - 2620 TRANSFORMER
 - 3200 PROPERTY LINE
 - 3202 BUILDING ENTRY
 - 3203 VEHICULAR ENTRY
 - 3204 LOADING ZONE
 - 3206 BUILDING OUTLINE ABOVE
 - 3220 EXTERIOR SEATING, S.L.D.
 - 3221 BIKE RACK, S.L.D.
 - 3227 PLANTER, S.L.D.
 - 3230 WOOD FENCE, S.L.D.
 - 3234 ACCESS GATE, S.L.D.
 - 3240 STREET TREE AND BASIN, S.L.D.
 - 3302 STORMWATER MEDIA TANK ROOM BELOW, S.C.D.

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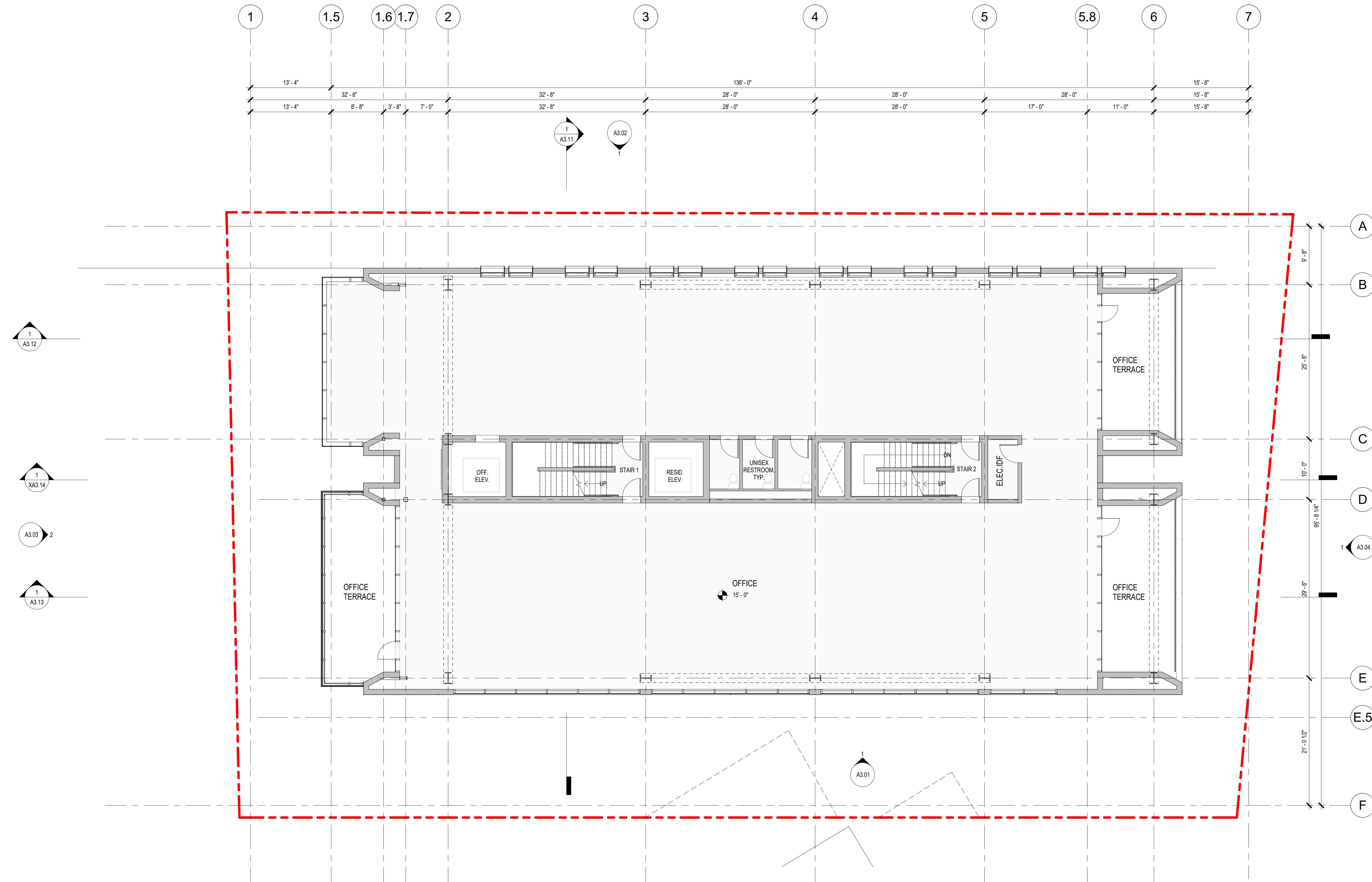
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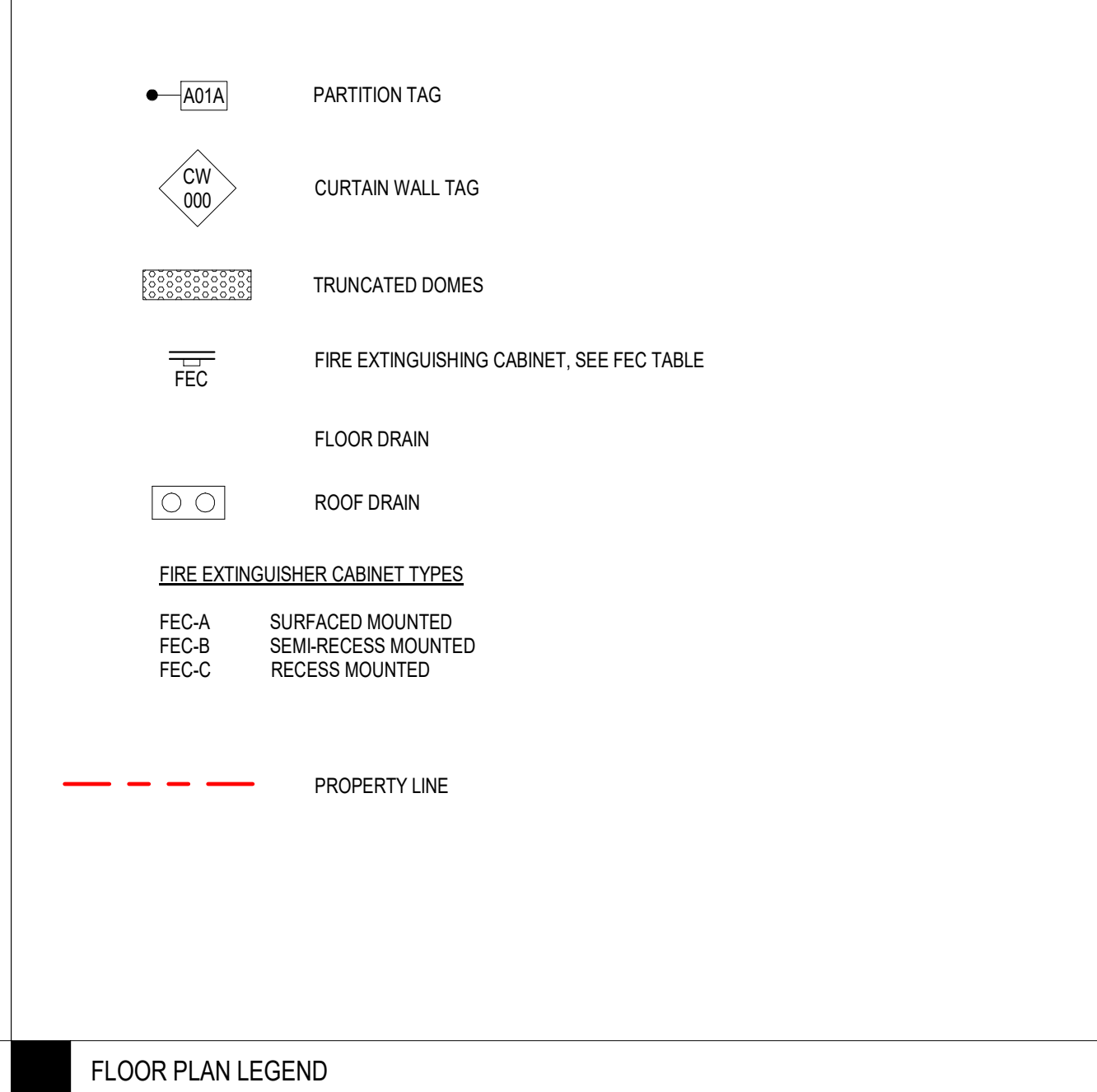
LEVEL 1 FLOOR PLAN



1 LEVEL 2 FLOOR PLAN

1/8" = 1'-0"

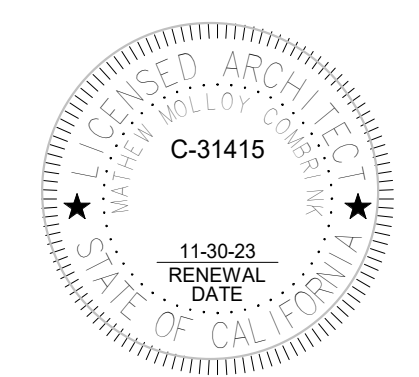
- GENERAL FLOOR PLAN NOTES**
- SEE G___ FOR PROJECT GENERAL NOTES.
 - SEE G___ SERIES DRAWINGS FOR ACCESSIBILITY DETAILS & CODE SIGNAGE. REQUIREMENTS DESIGN FOR PROJECT SIGNAGE.
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 - SEE A___ SERIES DRAWINGS FOR SLAB PLANS.
 - SEE A___ SERIES DRAWINGS FOR FINISH PLANS.
 - SEE A___ SERIES DRAWINGS FOR REFLECTED CEILING PLANS.
 - SEE A___ SERIES DRAWINGS FOR PARTITION TYPES.
 - SEE A___ SERIES DRAWINGS FOR EXTERIOR ASSEMBLIES.
 - SEE A___ SERIES DRAWINGS FOR TYPICAL UL LISTED RATED ASSEMBLIES.
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KEYNOTE LEGEND

#	date	issue description
#	2023.06.16	Development Application
#	date	issue description

#	date	issue description
#	2023.06.16	Development Application
#	date	issue description



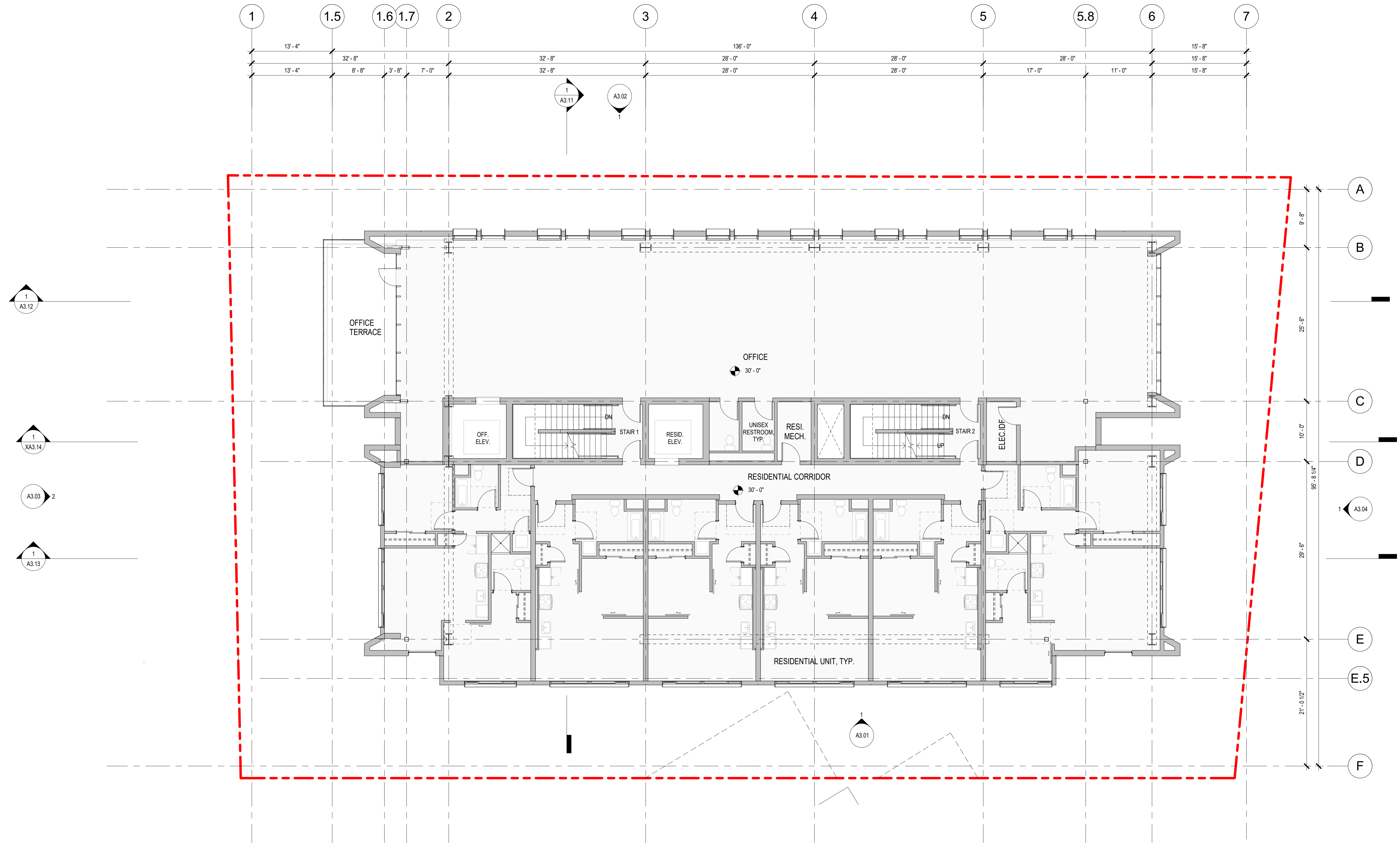
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project number: 20-298
 date: 2023.06.16

LEVEL 2 FLOOR PLAN

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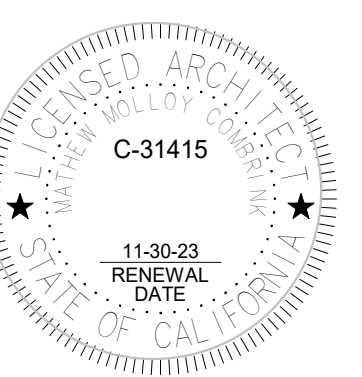
1 LEVEL 3 FLOOR PLAN

1/8" = 1'-0"

<p>1. SEE G___ FOR PROJECT GENERAL NOTES.</p> <p>2. SEE G___ SERIES DRAWINGS FOR ACCESSIBILITY DETAILS & CODE SIGNAGE. REQUIREMENTS DESIGN FOR PROJECT SIGNAGE.</p> <p>3. SEE G___ SERIES FOR ACCESSIBLE PARKING STALL, EV STALLS, PARKING, AND SIGNAGE REQUIREMENTS.</p> <p>4. SEE A___ SERIES DRAWINGS FOR SLAB PLANS.</p> <p>5. SEE A___ SERIES DRAWINGS FOR FINISH PLANS.</p> <p>6. SEE A___ SERIES DRAWINGS FOR REFLECTED CEILING PLANS.</p> <p>7. SEE A___ SERIES DRAWINGS FOR PARTITION TYPES.</p> <p>8. SEE A___ SERIES DRAWINGS FOR EXTERIOR ASSEMBLIES.</p> <p>9. SEE A___ SERIES DRAWINGS FOR TYPICAL UL LISTED RATED ASSEMBLIES.</p> <p>10. ALL OPEN JOINTS, PENETRATIONS AND OTHER OPENINGS IN THE BUILDING ENVELOPE SHALL BE SEALED, CAULKED, GASKETED AND WEATHER-STRIPPED TO LIMIT AIR LEAKAGE AND MAINTAIN RATED ASSEMBLIES.</p> <p>11. ALL CONCEALED WOOD BLOCKING SHALL BE FIRE RETARDANT TREATED, TYPICAL, PER CODE SECTION ___.</p> <p>12. PROVIDE THE REQUIRED BACKING, BRACING, AND BLOCKING FOR ATTACHMENT OF CASEWORK, RESTROOM ACCESSORIES, EQUIPMENT, AND OTHER</p> <p>13. ALL FURNITURE, APPLIANCES, AND TRASH CANS SHALL BE OF C.F.I., U.O.N.</p>	<p>●-A01A PARTITION TAG</p> <p>◇ CW 000 CURTAIN WALL TAG</p> <p>▨ TRUNCATED DOMES</p> <p>▬ FEC FIRE EXTINGUISHING CABINET. SEE FEC TABLE</p> <p>○ FLOOR DRAIN</p> <p>○ ROOF DRAIN</p> <p>FIRE EXTINGUISHER CABINET TYPES</p> <p>FEC-A SURFACED MOUNTED</p> <p>FEC-B SEMI-RECESS MOUNTED</p> <p>FEC-C RECESS MOUNTED</p> <p>--- PROPERTY LINE</p>	<p>○ KEYNOTE TAG</p>
<p>GENERAL FLOOR PLAN NOTES</p>	<p>FLOOR PLAN LEGEND</p>	<p>KEYNOTE LEGEND</p>

#	date	revision description

#	2023.06.16	Development Application
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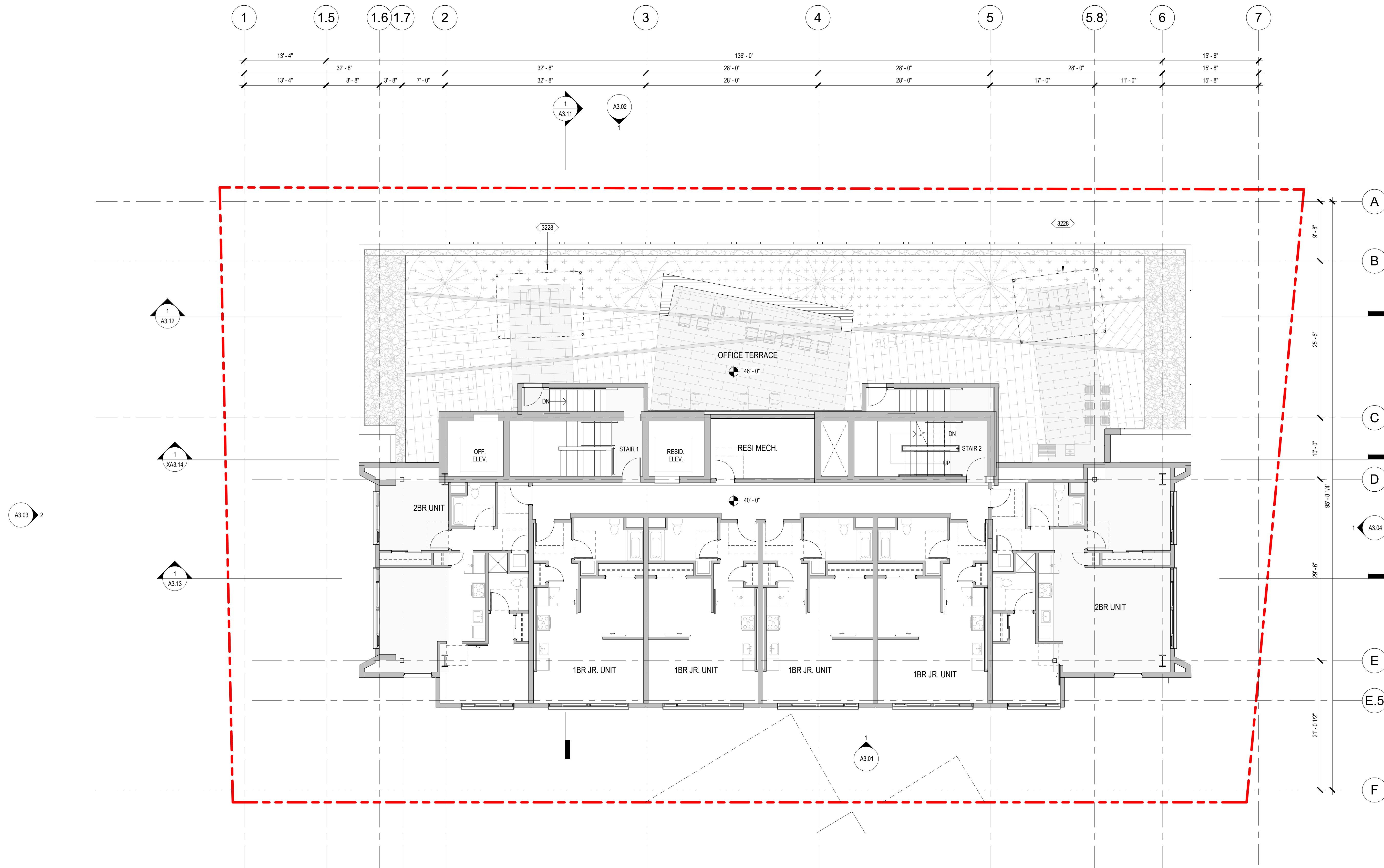
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 date: 2023.06.16

LEVEL 3 FLOOR PLAN

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LEVEL 4 FLOOR PLAN

1/8" = 1'-0"

- GENERAL FLOOR PLAN NOTES
- SEE G___ FOR PROJECT GENERAL NOTES.
 - SEE G___ SERIES DRAWINGS FOR ACCESSIBILITY DETAILS & CODE SIGNAGE. REQUIREMENTS DESIGN FOR PROJECT SIGNAGE.
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 - SEE A___ SERIES DRAWINGS FOR FINISH PLANS.
 - SEE A___ SERIES DRAWINGS FOR REFLECTED CEILING PLANS.
 - SEE A___ SERIES DRAWINGS FOR PARTITION TYPES.
 - SEE A___ SERIES DRAWINGS FOR EXTERIOR ASSEMBLIES.
 - SEE A___ SERIES DRAWINGS FOR TYPICAL UL LISTED RATED ASSEMBLIES.
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 - ALL FURNITURE, APPLIANCES, AND TRASH CANS SHALL BE OF C.F.I., U.O.N.

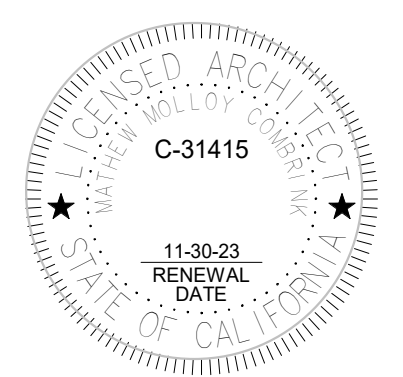
- FLOOR PLAN LEGEND
- A01A PARTITION TAG
 - ◇ CW 000 CURTAIN WALL TAG
 - ▨ TRUNCATED DOMES
 - ▬ FEC FIRE EXTINGUISHING CABINET. SEE FEC TABLE
 - FLOOR DRAIN
 - ROOF DRAIN
- FIRE EXTINGUISHER CABINET TYPES
- FEC-A SURFACED MOUNTED
 - FEC-B SEMI-RECESS MOUNTED
 - FEC-C RECESS MOUNTED
- PROPERTY LINE

- KEYNOTE LEGEND
- ◀(000) KEYNOTE TAG

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#	date	issue description
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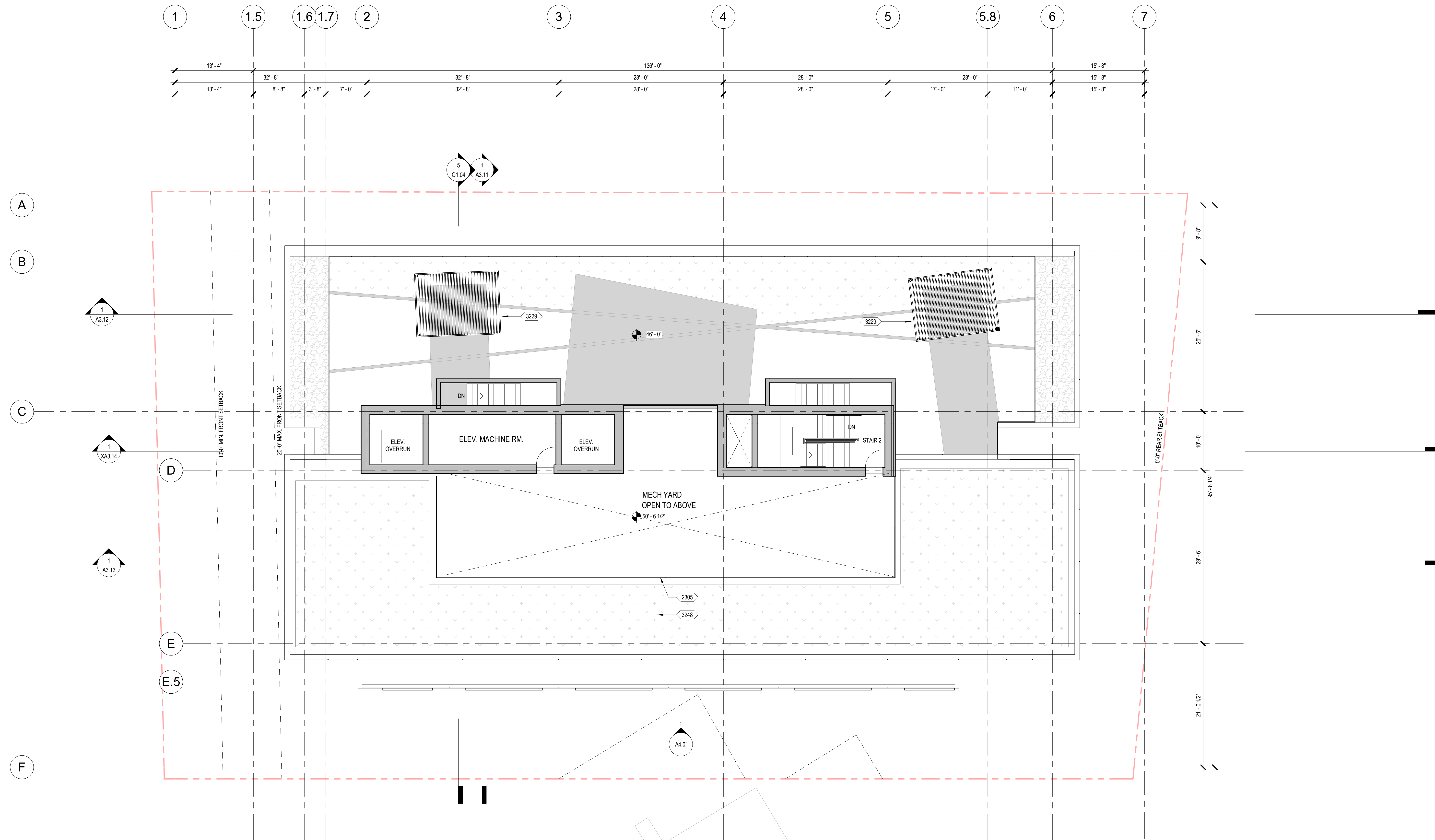


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LEVEL 4 FLOOR PLAN

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- GENERAL FLOOR PLAN NOTES**
- SEE G___ FOR PROJECT GENERAL NOTES.
 - SEE G___ SERIES DRAWINGS FOR ACCESSIBILITY DETAILS & CODE SIGNAGE. REQUIREMENTS DESIGN FOR PROJECT SIGNAGE.
 - SEE G___ SERIES FOR ACCESSIBLE PARKING STALL, EV STALLS, PARKING, AND SIGNAGE REQUIREMENTS.
 - SEE A___ SERIES DRAWINGS FOR SLAB PLANS.
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 - SEE A___ SERIES DRAWINGS FOR PARTITION TYPES.
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- FLOOR PLAN LEGEND**
- A01A PARTITION TAG
 - ◇-DW 000 CURTAIN WALL TAG
 - ▨ TRUNCATED DOMES
 - ▬ FEC FIRE EXTINGUISHER CABINET. SEE FEC TABLE
 - FLOOR DRAIN
 - ROOF DRAIN
 - FIRE EXTINGUISHER CABINET TYPES**
 - FEC-A SURFACED MOUNTED
 - FEC-B SEMI-RECESS MOUNTED
 - FEC-C RECESS MOUNTED
 - PROPERTY LINE

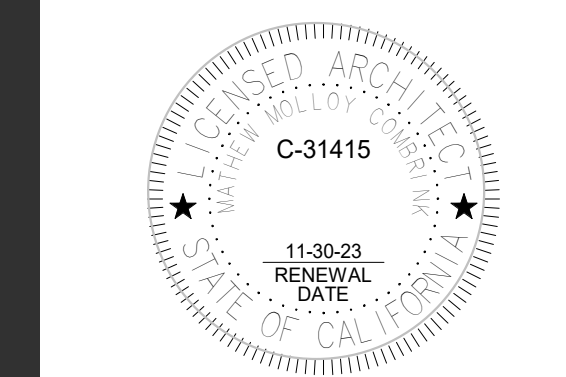
- KEYNOTE LEGEND**
- 0000 KEYNOTE TAG
 - 2305 MECHANICAL SCREEN
 - 3229 TRELLIS, S.L.D.
 - 3248 PLANTER TRAYS, S.L.D.

CLIENT
888 El Camino LLC
 Alvin and Tony Chang
 1388 Sutter Street, Suite 730
 San Francisco, CA 94109

ARCHITECT
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 465 14th Street, Suite 500
 Oakland, CA 94612
 510.516.0167
 www.brick-inc.com

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ROOF PLAN

A2.05

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1 SOUTH ELEVATION

3/16" = 1'-0"

- MATERIAL TAG**
- CP-1 CEMENT PANEL SIDING - DARK GREY
 - CP-2 CEMENT PANEL SIDING - LIGHT GRAY
 - GL-1 CLEAR GLAZING
 - GL-2 SPANDREL SHADOW BOX
 - MP-1 ALUMINUM METAL - DARK GRAY
 - MP-2 METAL PANEL - CORRUGATED PERFORATED
 - MP-3 STEEL, DARK GRAY
 - TL-1 BRICK TILE
 - WD-1 WOOD SIDING
 - WD-2 WOOD FRAME

- KEYNOTE TAG**
- 874 GUARDRAIL
 - 1070 METAL AWNING

MATERIAL LEGEND

KEYNOTE LEGEND

date	revision description

#	date	issue description
1	2023.06.16	Development Application



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SOUTH ELEVATION

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1 NORTH ELEVATION

3/16" = 1'-0"

- MATERIAL TAG**
- CP-1 CEMENT PANEL SIDING - DARK GREY
 - CP-2 CEMENT PANEL SIDING - LIGHT GRAY
 - GL-1 CLEAR GLAZING
 - GL-2 SPANDREL SHADOW BOX
 - MP-1 ALUMINUM METAL - DARK GRAY
 - MP-2 METAL PANEL - CORRUGATED PERFORATED
 - MP-3 STEEL, DARK GRAY
 - TL-1 BRICK TILE
 - WD-1 WOOD SIDING
 - WD-2 WOOD FRAME

KEYNOTE TAG

#	date	revision description
1	2023.06.16	Development Application

#	date	issue description
1	2023.06.16	Development Application



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NORTH ELEVATION

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WEST ELEVATION

3/16" = 1'-0"

- MATERIAL TAG**
- CP-1 CEMENT PANEL SIDING - DARK GREY
 - CP-2 CEMENT PANEL SIDING - LIGHT GRAY
 - GL-1 CLEAR GLAZING
 - GL-2 SPANDREL SHADOW BOX
 - MP-1 ALUMINUM METAL - DARK GRAY
 - MP-2 METAL PANEL - CORRUGATED PERFORATED
 - MP-3 STEEL, DARK GRAY
 - TL-1 BRICK TILE
 - WD-1 WOOD SIDING
 - WD-2 WOOD FRAME

KEYNOTE TAG

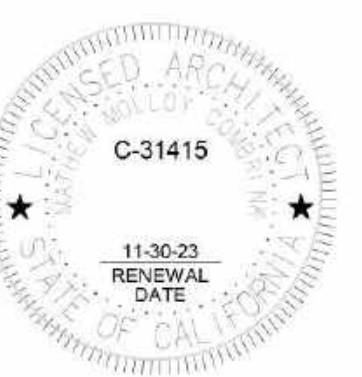
brick

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#	date	issue description
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WEST ELEVATION

A3.03

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1 EAST ELEVATION

3/16" = 1'-0"

- MATERIAL TAG**
- CP-1 CEMENT PANEL SIDING - DARK GREY
 - CP-2 CEMENT PANEL SIDING - LIGHT GRAY
 - GL-1 CLEAR GLAZING
 - GL-2 SPANDREL SHADOW BOX
 - MP-1 ALUMINUM METAL - DARK GRAY
 - MP-2 METAL PANEL - CORRUGATED PERFORATED
 - MP-3 STEEL, DARK GRAY
 - TL-1 BRICK TILE
 - WD-1 WOOD SIDING
 - WD-2 WOOD FRAME

KEYNOTE TAG

MATERIAL LEGEND

KEYNOTE LEGEND

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#	date	revision description
1		

#	date	issue description
1	2023.06.16	Development Application



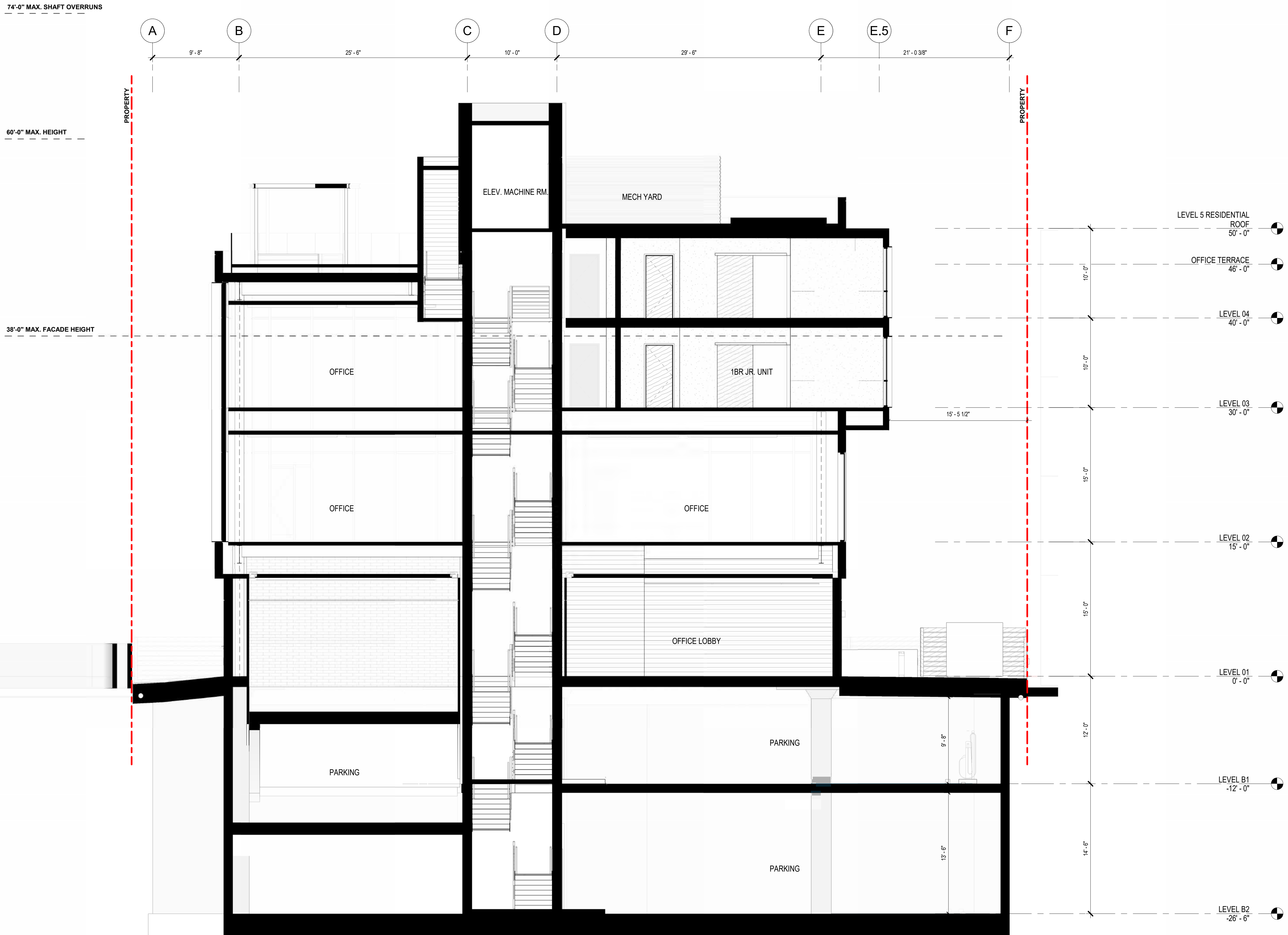
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project number: 20-298
 date: 2023.06.16

EAST ELEVATION

A3.04

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1 N-S TRANSVERSE BUILDING SECTION

3/16" = 1'-0"

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GENERAL NOTES

MATERIAL LEGEND

KEYNOTE LEGEND

- (XXX) MATERIAL TAG
- CP-1 CEMENT PANEL SIDING - DARK GREY
 - CP-2 CEMENT PANEL SIDING - LIGHT GRAY
 - GL-1 CLEAR GLAZING
 - GL-2 SPANDREL SHADOW BOX
 - MP-1 ALUMINUM METAL - DARK GRAY
 - MP-2 METAL PANEL - CORRUGATED PERFORATED
 - MP-3 STEEL, DARK GRAY
 - TL-1 BRICK TILE
 - WD-1 WOOD SIDING
 - WD-2 WOOD FRAME

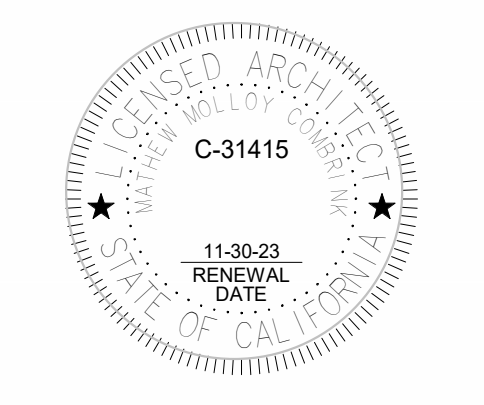
◀ (0000) KEYNOTE TAG

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△	date	revision description

#	date	issue description



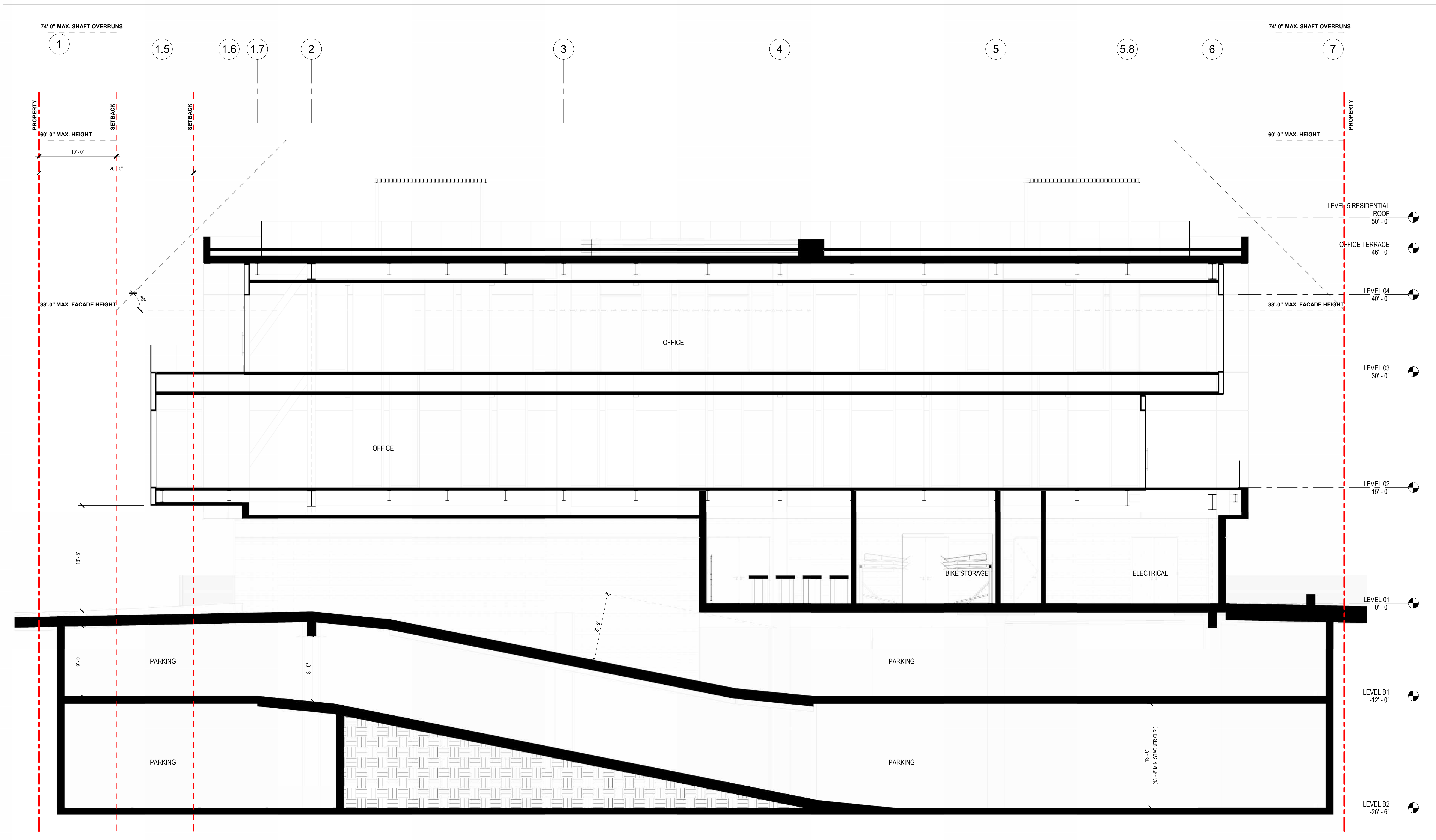
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project number: 20-298
 date: 2023.06.16

N-S TRANSVERSE BUILDING SECTION

A3.11

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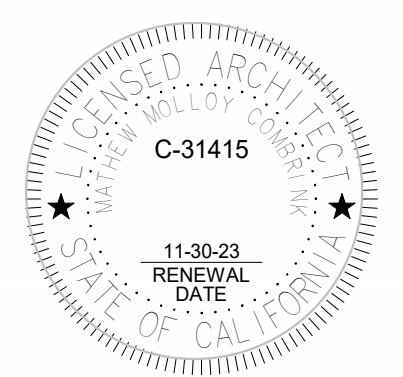
1 E-W LONG BUILDING SECTION 3/16" = 1'-0"

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<p>GENERAL NOTES</p>	<p>MATERIAL LEGEND</p> <ul style="list-style-type: none"> CP-1 CEMENT PANEL SIDING - DARK GREY CP-2 CEMENT PANEL SIDING - LIGHT GRAY GL-1 CLEAR GLAZING GL-2 SPANDREL SHADOW BOX MP-1 ALUMINUM METAL - DARK GRAY MP-2 METAL PANEL - CORRUGATED PERFORATED MP-3 STEEL, DARK GRAY TL-1 BRICK TILE WD-1 WOOD SIDING WD-2 WOOD FRAME 	<p>KEYNOTE LEGEND</p> <p>0000 KEYNOTE TAG</p>
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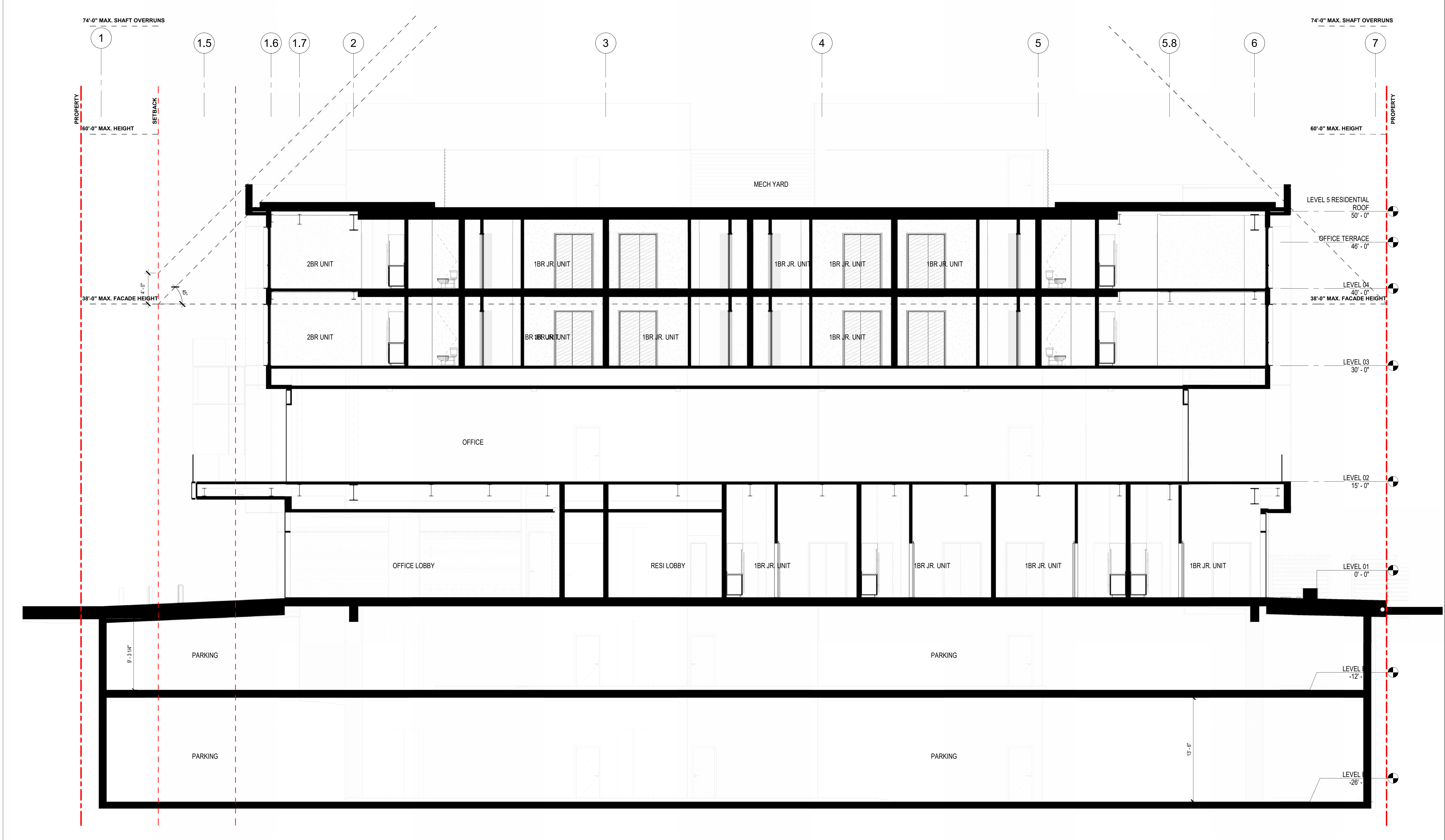
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1	2023.06.16	Development Application



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E-W LONG BUILDING SECTION 01



1 E-W LONG BUILDING SECTION 3/16" = 1'-0"

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GENERAL NOTES

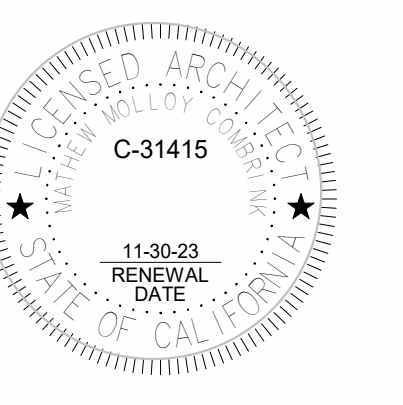
- MATERIAL LEGEND
- (X) MATERIAL TAG
 - CP-1 CEMENT PANEL SIDING - DARK GREY
 - CP-2 CEMENT PANEL SIDING - LIGHT GRAY
 - GL-1 CLEAR GLAZING
 - GL-2 SPANDREL SHADOW BOX
 - MP-1 ALUMINUM METAL - DARK GRAY
 - MP-2 METAL PANEL - CORRUGATED PERFORATED
 - MP-3 STEEL, DARK GRAY
 - TL-1 BRICK TILE
 - WD-1 WOOD SIDING
 - WD-2 WOOD FRAME

KEYNOTE LEGEND

← (0000) KEYNOTE TAG

#	date	revision description

#	date	issue description
1	2023.06.16	Development Application



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E-W LONG BUILDING SECTION 02