

**CITY OF MENLO PARK, CA
COMMUNITY DEVELOPMENT DEPARTMENT**

701 Laurel St
Menlo Park, CA 94025

Date: 3/20/22
RE: Planning review of a new 2,900.6 sq.ft. 2-story single-family residence with attached 1-car garage.

Address: 893 Woodland Ave. Menlo Park.

Dear Fahteen,

Thank you for your time in reviewing this project. We would propose a new 2 story house. The existing site sits at an inner rectangular lot. With a 1-story house and a detached garage. The lot frontage is southeast facing. There are good volume of existing screening trees around the north and northwest sides of the property.

The proposed new house will be built near the existing house location with attached 1-car garage. And provide bigger backyard and more green area which will give better buffer in between neighbor lands. This custom home has been carefully designed to reflect the Transitional Modern Style which combined with the pitch and flat roofs, stucco and wood siding wall finishes. The design reflects the scale and character of the neighborhood. With back porch and welcoming front porches to soften the building facade, also to bring more outdoor enjoyment.

The architectural style includes the following features:

1. Combined the smooth stucco and wood siding exterior wall finishes.
2. Combined metal pitch roofs and flat roofs
3. Covered porches for private & secure outdoor living
4. Balconies in the front and backyard
5. Recess entry door set in the front porch, back porch connects the family room and kitchen
6. Glass garage door.

Thank you very much for your consideration, and looking forward to work with you regarding this planning approval.

Sincerely

Leo Li
LEL DESIGN

PROPOSED RESIDENCE

893 WOODLAND AVE. MENLO PARK, CA

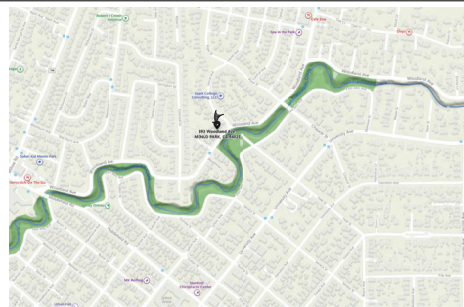


PROJECT DATA

OWNER:	JOYCE HE	PHONE: (408) 561-7620
ADDRESS:	843 WOODLAND AVE. MENLO PARK, CA	
APN #:	062-351-002	
OCCUPANCY:	R-SU	
CONSTRUCTION TYPE:	VB	
ZONING:	R-1U	
NET SITE AREA:	7,415 SQ.FT.	
FAR REQUIRED:	2,800 + 415 x 0.25 = 2,405.75 SQ.FT.	
MAX LOT COVERAGE:	7,415 x 55% = 2,345.25 SQ.FT.	
EXISTING HOUSE + DETACHED GARAGE:	1,580 SQ.FT. + 407 SQ.FT. = 1,987 SQ.FT.	

	NEW
1ST FLOOR LIVING AREA	1,542.8 SQ.FT.
2ND FLOOR LIVING AREA	1,081.2 SQ.FT.
GARAGE	228 SQ.FT.
1ST FLOOR PORCH	527 SQ.FT.
2ND FLOOR BALCONY	170.4 SQ.FT.
PROPOSED FLOOR AREA	2,400.6 SQ.FT.
FAR	54.1%
TOTAL LOT COVER AREA	1,542.8 + 228 + 527 = 2,471.8 SQ.FT.
LOT COVERAGE	24%

VICINITY MAP



GENERAL NOTES:

- ALL CONSTRUCTION SHALL EXCEED THE LATEST EDITION OF CODES ADOPTED BY LOCAL BLDGS OFFICIAL, AND ALL OTHER HEALTH AND SAFETY CODES, ORDINANCES AND REQUIREMENTS ADOPTED BY GOVERNING AGENCIES. IN THE EVENT OF A CONFLICT WITH CODE REQUIREMENTS AND ITEMS CALLED OUT ON THE DRAWINGS, THAT CODE OR CALL OUT WHICH ESTABLISHES THE HIGHER STANDARD SHALL TAKE PRECEDENCE. OR IN THE EVENT OF A CONFLICT WITH INCONSISTENCY ON THE DRAWINGS, CONTRACTOR TO NOTIFY THE ARCHITECT/DESIGNER/ENGINEER ANY VIOLATION OF CODE IMMEDIATELY.
- CONTRACTOR SHALL VISIT THE JOB SITE PRIOR TO BIDDING AND SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING OF WORK.
- PAD GRADE UNDER BUILDING SHALL HAVE POSITIVE SLOPE TO A MINIMUM OF ONE AREA DRAIN WHICH SHALL BE PIPED TO STREET.
- DIRECT POSITIVE DRAINAGE AWAY FROM THE BUILDING AND ONTO NEARBY ON-SITE LANDSCAPING SO AS TO REDUCE THE AMOUNT OF RUNOFF DIRECTED TOWARDS THE STREET. THE NATURAL TOPOGRAPHY OF THE PROPERTY SHALL BE KEPT AS IS AS MUCH AS FEASIBLE.
- IRRIGATION SYSTEM SHALL BE DESIGNED TO PREVENT SATURATION OF SOIL ADJACENT TO BUILDINGS.
- THESE PLANS ARE FOR GENERAL CONSTRUCTION PURPOSES ONLY. THEY ARE NOT EXHAUSTIVELY DETAILED NOR FULLY SPECIFIED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SELECT, VERIFY, RESOLVE, AND INSTALL ALL MATERIALS AND EQUIPMENTS.
- WHERE CONSTRUCTION DETAILS ARE NOT SHOWN OR NOTED FOR ANY PART OF THE WORK, THE DETAILS SHALL BE THE SAME AS FOR OTHER SIMILAR WORK.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS AND ARE MEASURED FROM THE FINISHED SURFACE. FIELD VERIFY ALL CABINET SPACE AND FIXED GLASS SIZES, APPLIANCE, FIXTURES, EQUIPMENT ETC. CLEARANCES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE QUALITY CONTROL AND CONSTRUCTION STANDARDS FOR THIS PROJECT. THE ARCHITECT/DESIGNER WILL NOT BE OBSERVING THE CONSTRUCTION OF THIS PROJECT.
- DURING CONSTRUCTION STAGE, IF ANY ADDITIONAL EQUIPMENT TO BE INSTALLED OR CHANGE ORDERS REQUESTED BY OWNER, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/DESIGNER/ENGINEERS IMMEDIATELY.
- CONTRACTOR TO PROVIDE CONSTRUCTION STAKING TO VERIFY THE CITY APPROVED SETBACK TO THE BUILDING.
- SUBCONTRACTORS SHALL COORDINATE THEIR WORKS WITH EACH OTHER PROFESSIONALLY. NOTIFY GENERAL CONTRACTOR ANY DISCREPANCY & DIFFICULTY.
- TRADE NAME AND MANUFACTURERS REFERRED TO ARE FOR QUALITY STANDARDS ONLY. SUBSTITUTIONS WILL BE PERMITTED AS APPROVED BY OWNER.

SCOPE OF WORK

- PROPOSED NEW 2-STORY RESIDENCE

APPLICABLE CODE

ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING

CALIFORNIA BUILDING CODE 2019 EDITION
CALIFORNIA RESIDENTIAL CODE 2019 EDITION
CALIFORNIA MECHANICAL CODE 2019 EDITION
CALIFORNIA PLUMBING CODE 2019 EDITION
CALIFORNIA ELECTRIC CODE 2019 EDITION
CALIFORNIA RESIDENTIAL ENERGY CODE 2019 EDITION
CALIFORNIA GREEN BUILDING CODE 2019 EDITION
CITY OF MENLO PARK MUNICIPAL CODE

SHEET INDEX

T-0 COVER SHEET, PROJECT DATA, VICINITY MAP

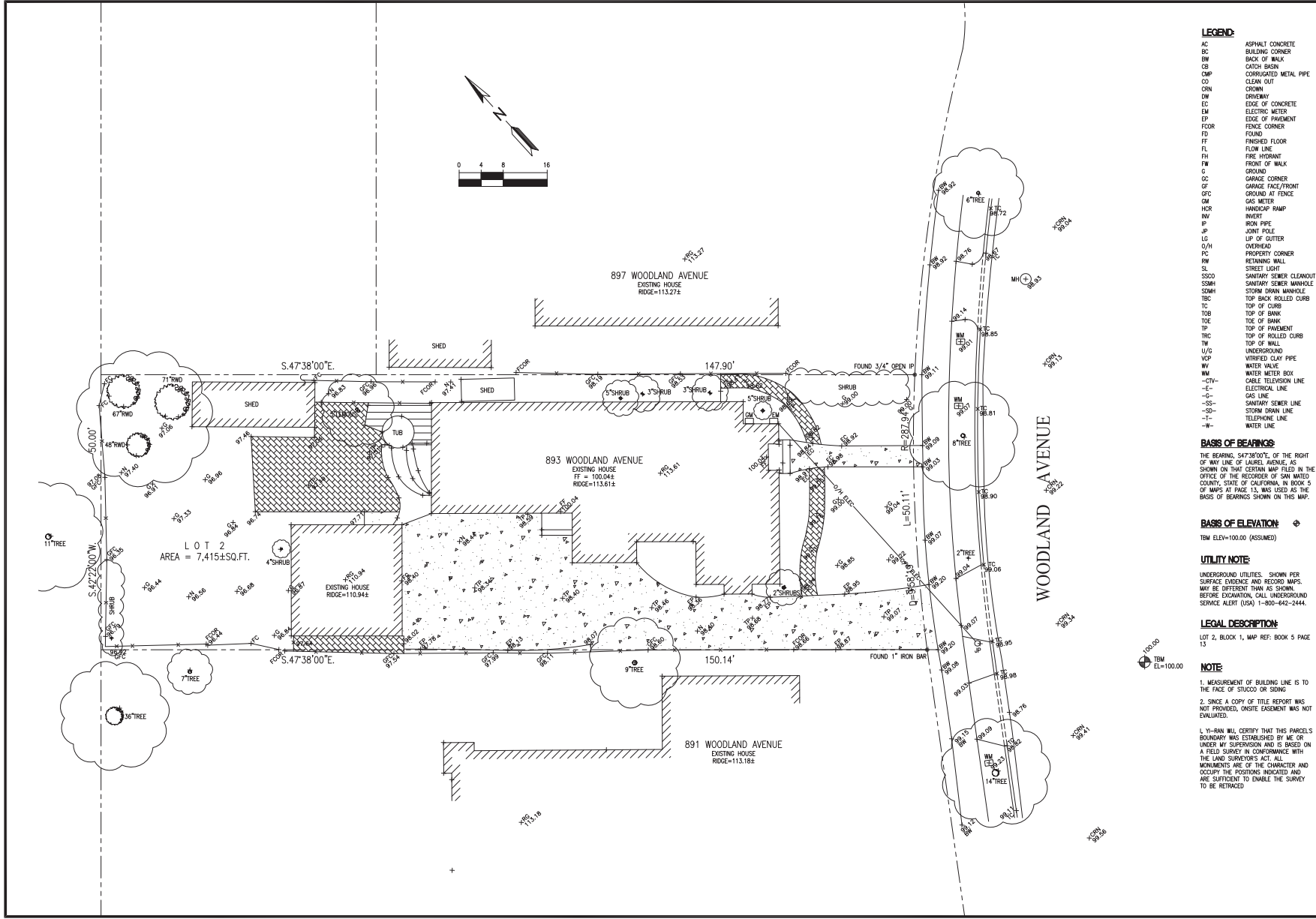
SURVEY
1 TOPOGRAPHIC SURVEY

ARCHITECTURAL

A-0 SITE PLAN
A-0.1 NEIGHBORHOOD AREA PLAN
A-0.2 STREETSCAPE ELEVATION
A-1 PROPOSED 1ST FLOOR PLAN
A-2.1 PROPOSED 2ND FLOOR PLAN
A-2.2 AREA CALCULATIONS
A-3 PROPOSED BUILDING ELEVATIONS
A-3.1 PROPOSED BUILDING ELEVATIONS
A-4 BUILDING SECTIONS
A-5 PROPOSED ROOF PLAN

ABBREVIATIONS

#	AND	G.I.	GALVANIZED IRON
∟	ANGLE	GYP.BD.	GYPSUM BOARD
●	AT	H.B.	HOSE BIBB
—	CENTERLINE	INSUL.	INSULATION
⊥	CHANNEL	INT.	INTERIOR
∅	DIAMETER OR ROUND	INV.	INVERT
	PARALLEL	M.B.	MACHINE BOLT
⊥	PERPENDICULAR	M.C.	MEDICINE CABINET
PLATE	PLATE	MIN.	MINIMUM
#	ROUND OR NUMBER	MTL.	METAL
A.B.	ANCHOR BOLT	N.I.C.	NOT IN CONTRACT
A/C	ASPHALTIC CONCRETE	N.T.S.	NOT TO SCALE
AGG.	AGGREGATE	NOM.	NOMINAL
A.F.F.	ABOVE FINISH FLOOR	O/C	ON CENTER
ALUM.	ALUMINUM	OPN.	OPENING
BLK.	BLOCK	LAM.	LAMINATED PLASTIC
C.J.	GOLD JOINT	PL.	PLATE
CONC.	CONCRETE	PL. GL.	PLATE GLASS
CONT.	CONTINUOUS	P.L.Y.	PLYWOOD
C.I.	CAST IRON	R.D.W.D.	REDWOOD
DF.	DOUGLAS FIR	R.M.	ROOM
ELEV.	ELEVATION	R.W.L.	RAIN WATER LEADER
EXIST.	EXISTING	SIM.	SIMILAR
EXT.	EXTERIOR	TEMP. GL.	TEMPERED GLASS
F.E.	FIRE EXTINGUISHER	T&G.	TONGUE AND GROOVE
F.F.	FINISH FLOOR	T.O.P.	TOP OF CURB
FIN.	FINISH	T.O.P.	TOP OF PLATE
FL.	FLOOR	TYP.	TYPICAL
F.O.G.	FACE OF CONC.	UN.	UNLESS OTHERWISE NOTED
F.O.B.	FACE OF BLOCK	V.G.P.	VERTICAL GRAIN DOUGLAS FIR
F.O.S.	FACE OF STUD	W.	WITH
FDN.	FUNDATION	W.C.	WATER CLOSET
FUR.	FURNACE	W.H.	WATER HEATER
FTG.	FOOTING	W.H.F.	WELDED WIRE FABRIC
GALV.	GALVANIZED	TH.	THRESHOLD



LEGEND:

- AC ASPHALT CONCRETE
- BC BUILDING CORNER
- BW BACK OF WALK
- CB CATCH BASIN
- CM CORRUGATED METAL PIPE
- CO CLEAN OUT
- CON CROWN
- DN DRAIN
- EC EDGE OF CONCRETE
- EM ELECTRIC METER
- EP EDGE OF PAVEMENT
- FC FENCE CORNER
- FD FOUND
- FF FINISHED FLOOR
- FL FLOW LINE
- FI FIRE HYDRANT
- FW FRONT OF WALK
- G GROUND
- GC GARAGE CORNER
- GF GARAGE FACE/FRONT
- GFC GROUND AT FENCE
- GM GAS METER
- HCR HANDICAP RAMP
- HW INVERT
- IP IRON PIPE
- JP JOINT POLE
- LG UP OF GUTTER
- O/H OVERHEAD
- PC PROPERTY CORNER
- RW RETAINING WALL
- SL STREET LIGHT
- SSCO SANITARY SEWER CLEANOUT
- SSMH SANITARY SEWER MANHOLE
- SDMH STORM DRAIN MANHOLE
- TBC TOP BACK ROLLED CURB
- TC TOP OF CURB
- TOS TOP OF BANK
- TOE TOP OF PAVEMENT
- TRC TOP OF ROLLED CURB
- TW TOP OF WALL
- U/G UNDERGROUND
- VCP VITRIFIED CLAY PIPE
- WV WATER VALVE
- WM WATER METER BOX
- CTV- CABLE TELEVISION LINE
- E- ELECTRICAL LINE
- G- GAS LINE
- SS- SANITARY SEWER LINE
- SD- STORM DRAIN LINE
- T- TELEPHONE LINE
- W- WATER LINE

BASIS OF BEARINGS

THE BEARING, S47°38'00"E, OF THE RIGHT OF WAY LINE OF LAUREL AVENUE, AS SHOWN ON THAT CERTAIN MAP FILED IN THE OFFICE OF THE RECORDER OF SAN MATEO COUNTY, STATE OF CALIFORNIA, IN BOOK 5 OF MAPS AT PAGE 13, WAS USED AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

BASIS OF ELEVATION

TM ELEV=100.00 (ASSUMED)

UTILITY NOTE:

UNDERGROUND UTILITIES, SHOWN PER SURFACE EVIDENCE AND RECORD MAPS, MAY BE DIFFERENT THAN AS SHOWN. BEFORE EXCAVATION, CALL UNDERGROUND SERVICE ALERT (USA) 1-800-442-2444.

LEGAL DESCRIPTION:

LOT 2, BLOCK 1, MAP REF: BOOK 5 PAGE 13

NOTE:

1. MEASUREMENT OF BUILDING LINE IS TO THE FACE OF STUCCO OR SIDING
 2. SINCE A COPY OF TITLE REPORT WAS NOT PROVIDED, ONSITE EASEMENT WAS NOT EVALUATED.
- I, YI-RAN WU, CERTIFY THAT THIS PARCELS BOUNDARY WAS ESTABLISHED BY ME OR UNDER MY SUPERVISION AND IS BASED ON A FIELD SURVEY IN CONFORMANCE WITH THE LAND SURVEYORS ACT. ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED

NEW RESIDENCE

893 WOODLAND AVENUE
MENLO PARK, CA
APN: 062-351-002



3625 MIDDLEFIELD RD #658
PALO ALTO, CA 94306
TEL: (650) 823-6466
FAX: (650) 887-1294

LICENSE STAMPS AND SIGNATURE



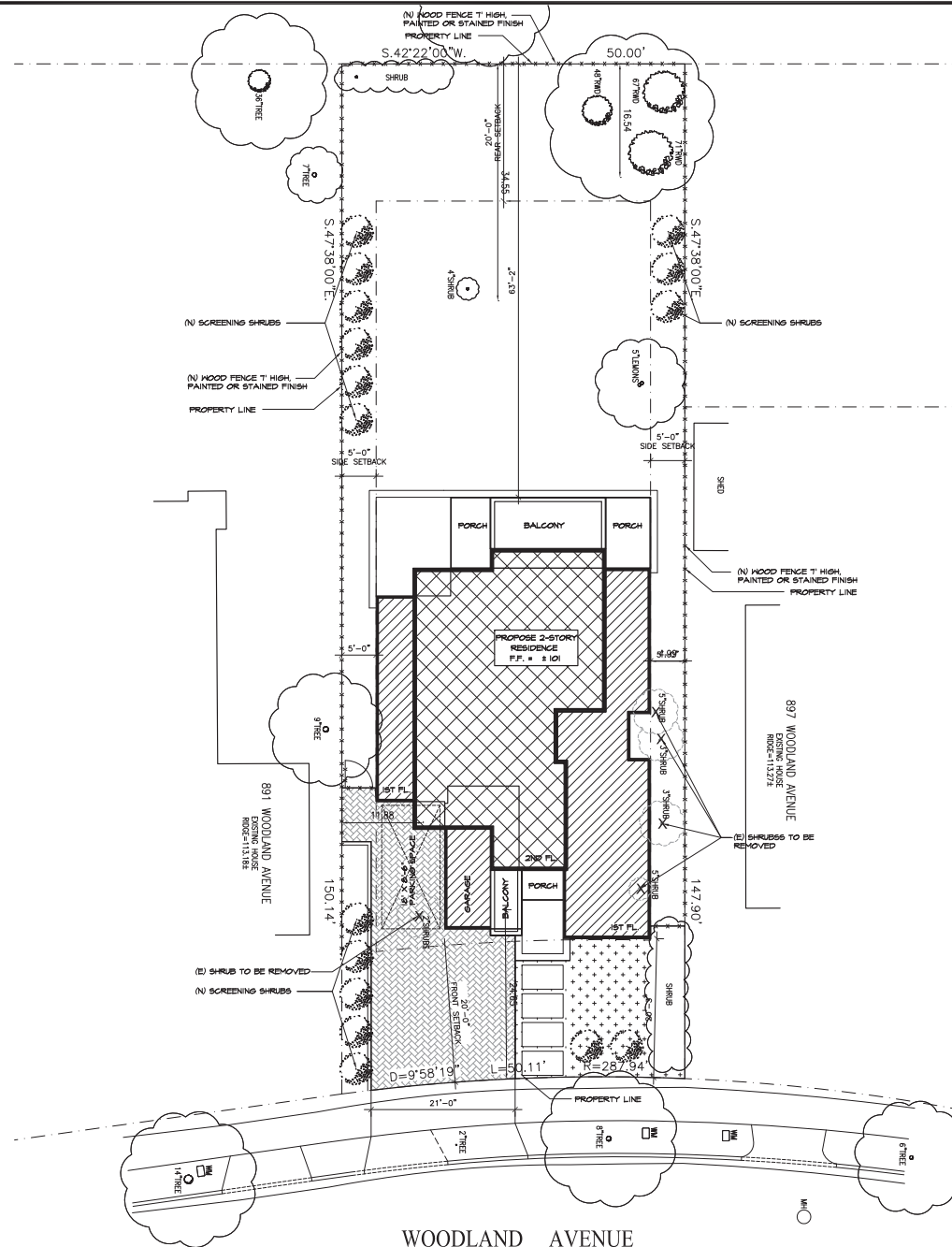
ISSUED		
No.	Description	Date

DATE: OCT 15, 2021
SCALE: 1/8"=1'-0"
DRAWN: BG
JOB: 10078

SHEET TITLE:
BOUNDARY & TOPOGRAPHIC SURVEY

SHEET NO.

C.0



1 SITE PLAN
SCALE: 1/8"=1'-0"

NOTES:

1. THE ARCHITECTURAL SITE PLAN IS PROVIDED FOR BUILDING AND SITE WORK LAYOUT ONLY. THE CONTRACTOR SHALL VERIFY ON SITE ALL GRADES, EXISTING IMPROVEMENTS, PROPERTY LINES, EASEMENTS, SETBACKS, UTILITIES, AND SUBSTRUCTURES. ALL DISCREPANCIES SHALL BE IMMEDIATELY DISCUSSED WITH ARCHITECT/DESIGNER/ENGINEER.
2. ALL DOWNSPUTS TO BE RELEASED TO THE GROUND SURFACE DIRECTED AWAY FROM BUILDING FOUNDATIONS AND DIRECTED TO LANDSCAPED AREAS.
3. THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING. A MINIMUM 5% GRADE SLOPE AWAY FROM FOUNDATION FOR A MINIMUM DISTANCE OF 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. (R401.5)
- EXCEPT:
 - A. IF BUILDING SITE DOES NOT ALLOW 10 FEET OF SLOPE, INDICATE THE INSTALLATION OF DRAINS OR SHALES TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE.
 - B. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM THE BUILDING.
5. ONE SITE DRAINAGE NO CONCENTRATED FLOW ACROSS THE RIGHT-OF-WAY. NO DRAINAGE ONTO NEIGHBORING PROPERTY.
6. CONTRACTOR'S RESPONSIBILITY TO ALL UNDERGROUND UTILITIES AND RESPONSIBLE FOR DUST CONTROL AND ENSURING THE AREA ADJACENT TO THE WORK IS LEFT IN A CLEAN CONDITION.
7. SEE GRADE AND DRAINAGE PLAN FOR SITE IMPROVEMENT AND THE UTILITY CONNECTIONS.

NOTE:
NOT LESS THAN FORTY PERCENT OF THE BUILDING SITE SHALL BE OCCUPIED BY APPROPRIATE LANDSCAPING, PER SECTION 6.18.050 (4)

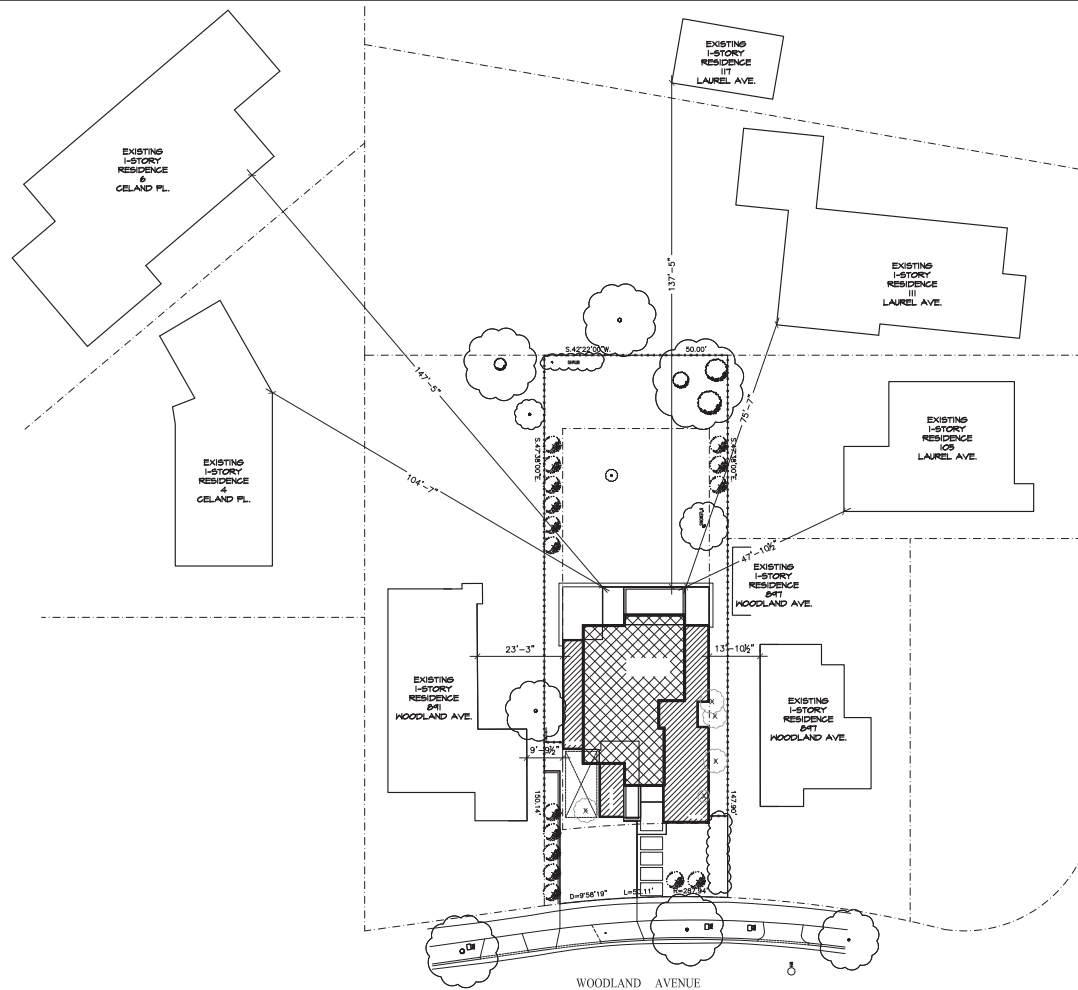
REVISIONS	BY



SITE PLAN

PROPOSED RESIDENCE
897 WOODLAND AVE.
MENLO PARK, CA

Date: 02/25/22
Scale: AS-SHOWN
Drawn: L
Job:
Sheet:
A-0
Of Sheets



2 NEIGHBORHOOD AREA PLAN
SCALE: 1/16"=1'-0"



1 STREETSCAPE ELEVATIONS
SCALE: 1/16"=1'-0"

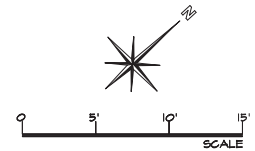
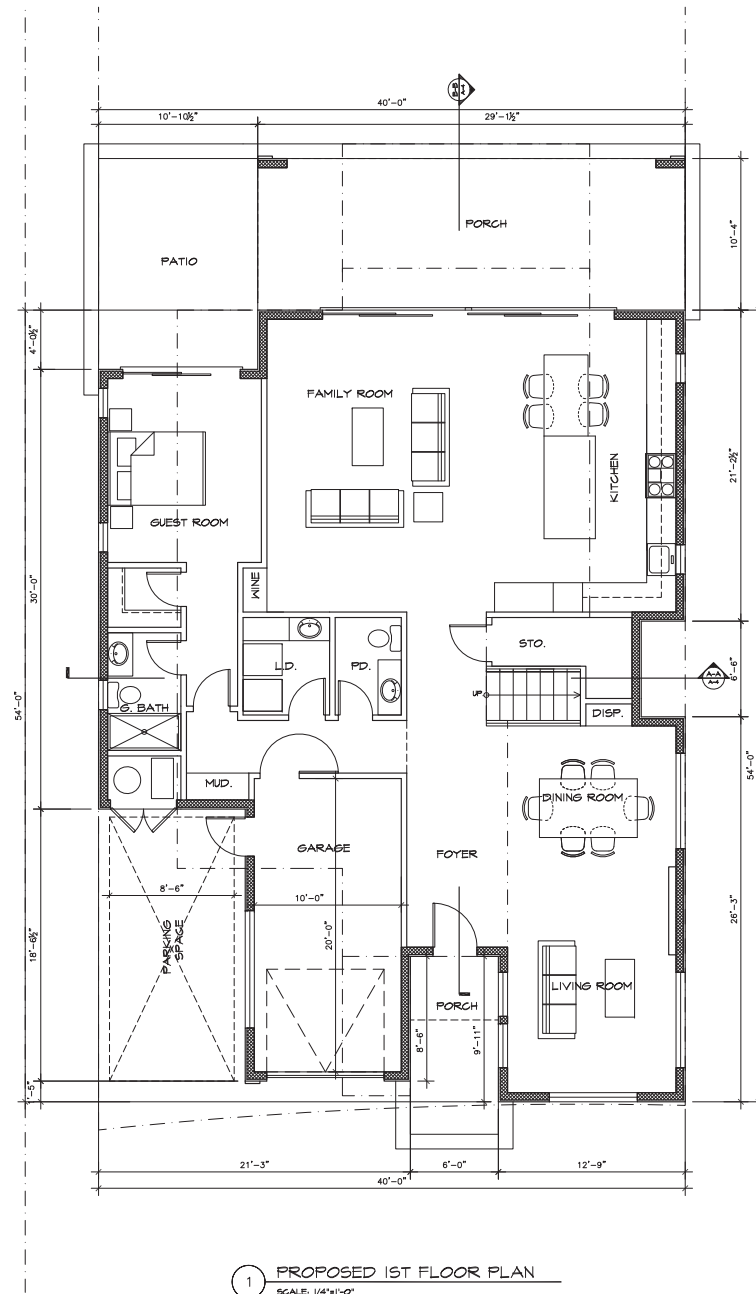
REVISIONS	BY

G L E L DESIGN
 LANDSCAPE ARCHITECTURE & ILLUSTRATION
 11111 WILLOW AVE., SUITE 100, SAN ANTONIO, TX 78249
 TEL: 214.343.1111 FAX: 214.343.1112
 WWW.GLELDESIGN.COM

NEIGHBORHOOD AREA PLAN
STREETSCAPE ELEVATIONS

PROPOSED RESIDENCE
849 WOODLAND AVE.
WILLOW PARK, CA

Date:	02/25/22
Scale:	AS-SHOWN
Drawn:	L
Job:	
Sheet:	A-0.1
Of	Sheets



REVISIONS	BY

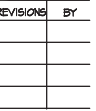
G L E L DESIGN
DESIGN, PLANNING & ILLUSTRATION

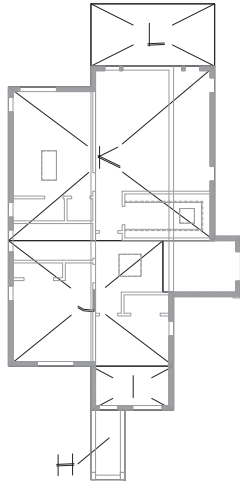
23001 EVELYN CREEK BLVD. # 200, CARPENTERS, CA 90745
TEL: 408.681.1000 | WWW.LELDESIGNARCHITECTS.COM

PROPOSED 1ST FLOOR PLAN

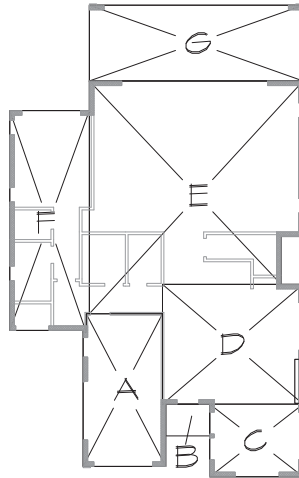
PROPOSED RESIDENCE
845 WOODLAND AVE.
MENLO PARK, CA

Date:	02/25/22
Scale:	AS-SHOWN
Drawn:	L
Job:	
Sheet:	A-2
	4 OF 15 SHEETS





3 2ND FLOOR DIAGRAM
SCALE: 1/8"=1'-0"



2 1ST FLOOR DIAGRAM
SCALE: 1/8"=1'-0"

SECTION	DIMENSION	AREA
1ST STORY:		
A (GARAGE)	20'-0" x 10'-0" + 51'-1"	228 SQ.FT.
B (FRONT PORCH)	6'-0" x 4'-4"	26 SQ.FT.
C	12'-4" x 4'-4"	126.5 SQ.FT.
D	16'-2" x 8'-4"	515.2 SQ.FT.
E	24'-1/2" x 24'-4" x 4'-1/2" x 4'-0" x 12'-8" x 9'-0"	828.7 SQ.FT.
F	50'-0" x 10'-0" x 12'-1" x 0"	524.6 SQ.FT.
G (BACK PORCH)	24'-1/2" x 10'-4"	301 SQ.FT.
1ST FLOOR LIVING AREA		1542.8 SQ.FT.
GARAGE AREA (1-CAR GARAGE)(A)		228 SQ.FT.
1ST FLOOR PORCH AREA (B+G)		527 SQ.FT.
2ND STORY:		
H (FRONT BALCONY)	4'-6" x 4'-1 1/2"	44 SQ.FT.
I	11'-5" x 6'-0"	67.8 SQ.FT.
J	2'-4" x 5'-11 1/2" + 10'-4" x 15 1/2"	579.1 SQ.FT.
K	28'-4 1/2" x 20'-8 1/2" + 18'-0" x 12' x 2'-10"	697.1 SQ.FT.
L (REAR BALCONY)	18'-0" x 8'-6"	145.5 SQ.FT.
2ND FLOOR LIVING AREA		1081.2 SQ.FT.
2ND FLOOR BALCONY AREA (H + L)		187.3 SQ.FT.
NO BASEMENT		

1 AREA CALCULATION

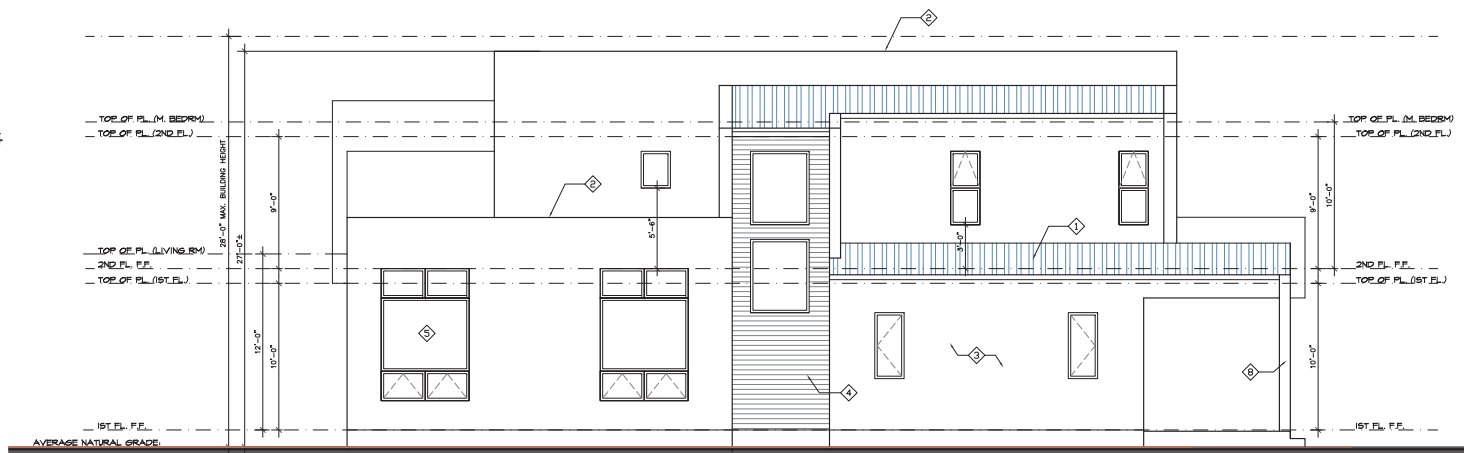
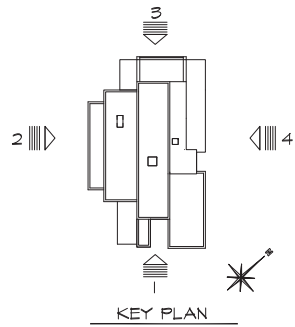
REVISIONS BY

LEL DESIGN
DESIGN, PLANNING & ILLUSTRATION
2700 INTERIOR DESIGN BLVD. # 22, CARPENTERS, CA 90018
TEL: 408.881.1000
LELDESIGN@GMAIL.COM

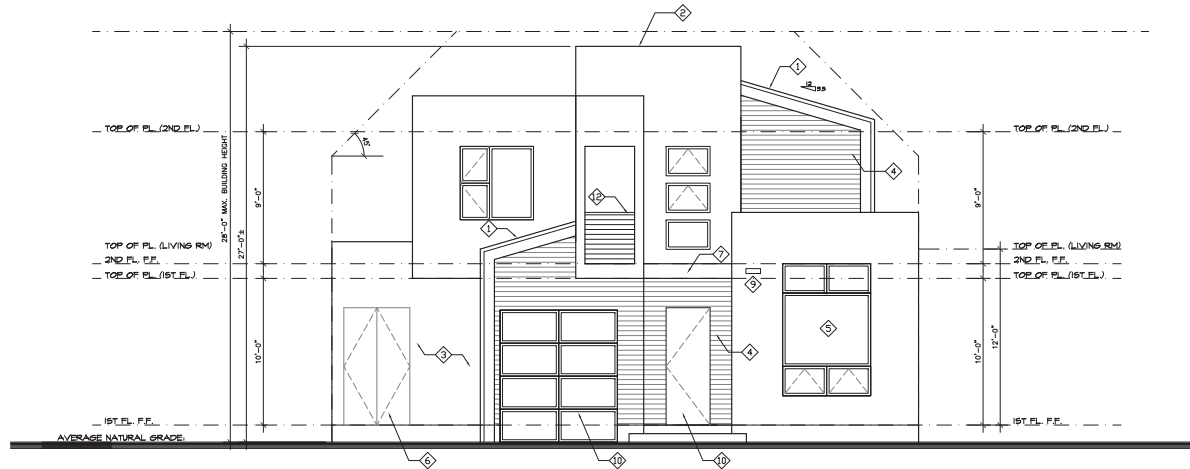
AREA CALCULATION

PROPOSED RESIDENCE
845 WOODLAND AVE.
MENLO PARK, CA

Date: 02/25/22
Scale: AS-SHOWN
Drawn: L
Job:
Sheet:
A-2.2
Of Sheets

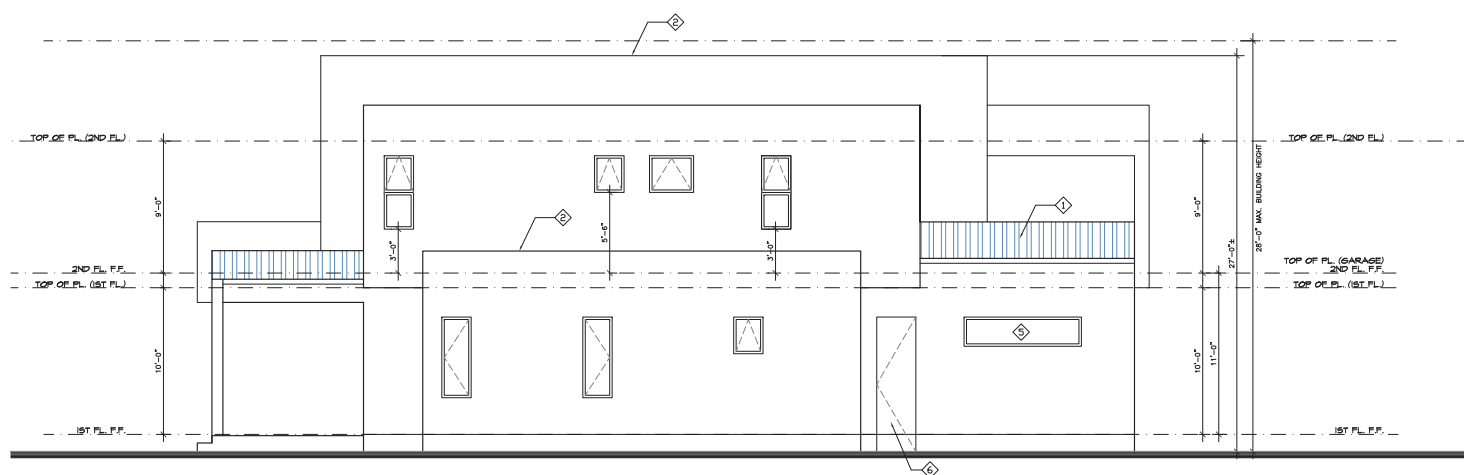


2 LEFT ELEVATION
SCALE: 1/4"=1'-0" (SOUTHWEST)

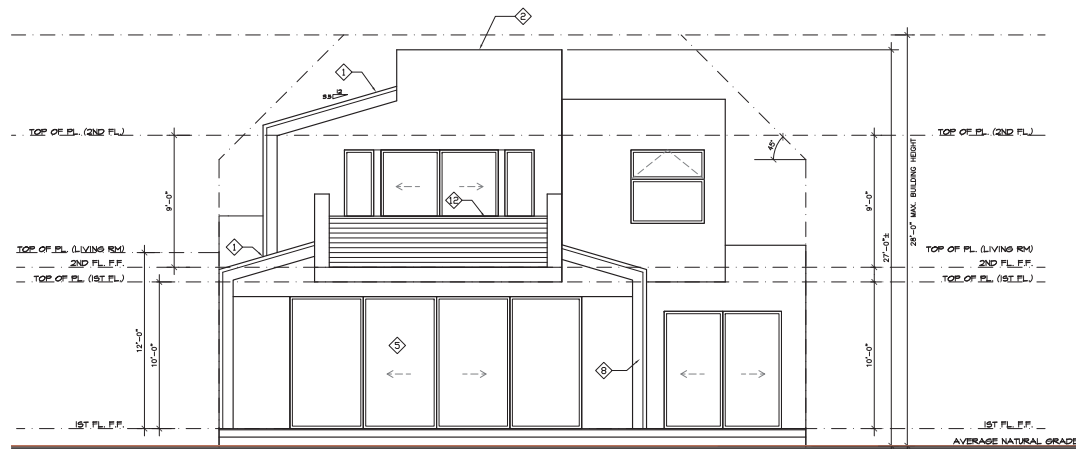


1 FRONT ELEVATION
SCALE: 1/4"=1'-0" (SOUTHEAST)

- KEYNOTES:
- 1 ROOF: METAL ROOF OVER 2 LAYER W/2 ROOFING FELT-INSTALL PER MFR INSTRUCTION ICG # ESR-2808
 - 2 ROOF: TWO FLAT ROOF
 - 3 EXTERIOR PLASTER/STUCCO (ACRYLIC SMOOTH FINISH). PLASTERING WITH PORTLAND CEMENT PLASTER SHALL NOT BE LESS THAN THREE COATS WHEN APPLIED OVER METAL LATH OR WIRE LATH AND SHALL BE NOT LESS THAN TWO COATS WHEN APPLIED OVER MASONRY. CONCRETE PRESSURE-PRESERVATIVE TREATED WOOD OR DECAY-RESISTANT WOOD AS SPECIFIED IN SECTION R101.1 OR GYPSUM BACKING (R109.8.2). PROVIDE THE WATER-RESISTIVE BARRIERS FOR R102.2 AND WHERE APPLIED OVER WOOD-BASED SHEATHING SHALL INCLUDE A WATER-RESISTIVE VAPOR-PERMEABLE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF GRADE D PAPER. THE INDIVIDUAL LAYERS SHALL BE INSTALLED INDEPENDENTLY SUCH THAT EACH LAYER PROVIDES A SEPARATE CONTINUOUS PLANE AND ANY FLASHING INTENDED TO DRAIN TO THE WATER-RESISTIVE BARRIER IS DIRECTED BETWEEN THE LAYERS, PER R102.8.3, R102.9
 - 4 EXTERIOR WOOD SIDING FINISH - MINIMUM OF ONE LAYER OF NO.15 ASPHALT FELT OR OTHER APPROVED MATERIAL AND SHALL BE ATTACHED TO THE STUDS OR SHEETING WITH FLASHINGS AS REQUIRED PROVIDING A CONTINUOUS WATER-RESISTIVE BARRIER BEHIND THE EXTERIOR WALL VENEER. ANY TEARS MUST BE REPAIRED AND ALL PENETRATIONS SEALED. COLOR FINISH DOUBLE GLAZED WINDOWS (TYP)
 - 5 DOUBLE GLAZED WINDOWS (TYP)
 - 6 CUSTOM SOLID CORE DOORS
 - 7 METAL CLADDING PLATE
 - 8 DECORATIVE COLUMNS
 - 9 STREET ADDRESS PER CRC 314
 - 10 FIBERGLASS ENTRY DOOR
 - 11 GLASS GARGAE DOOR
 - 12 METAL GUARDRAIL



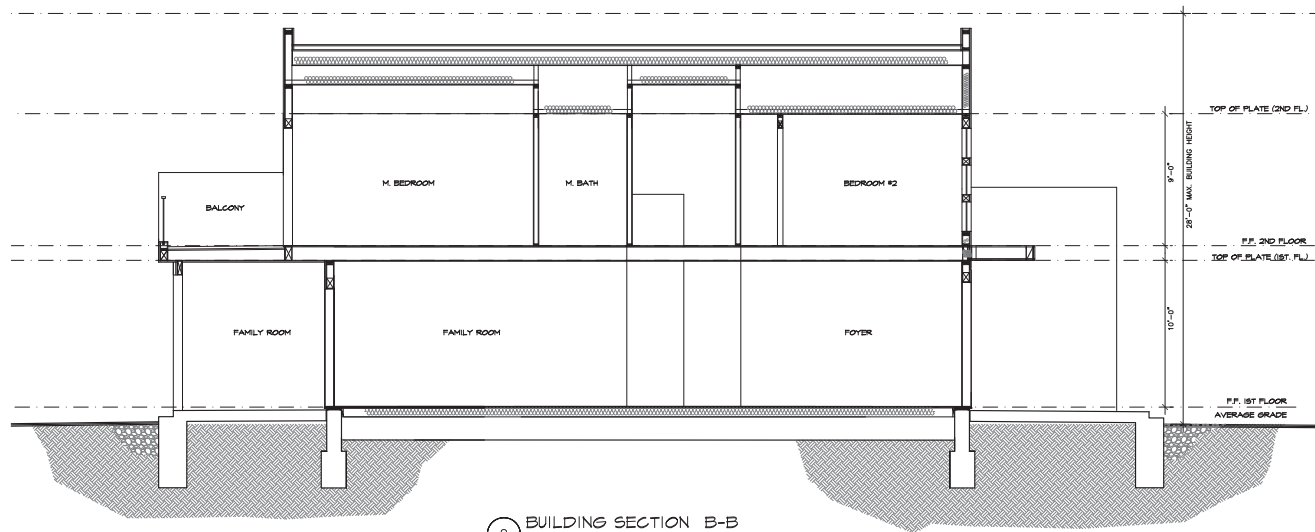
4 RIGHT ELEVATION
SCALE: 1/4"=1'-0" (NORTHEAST)



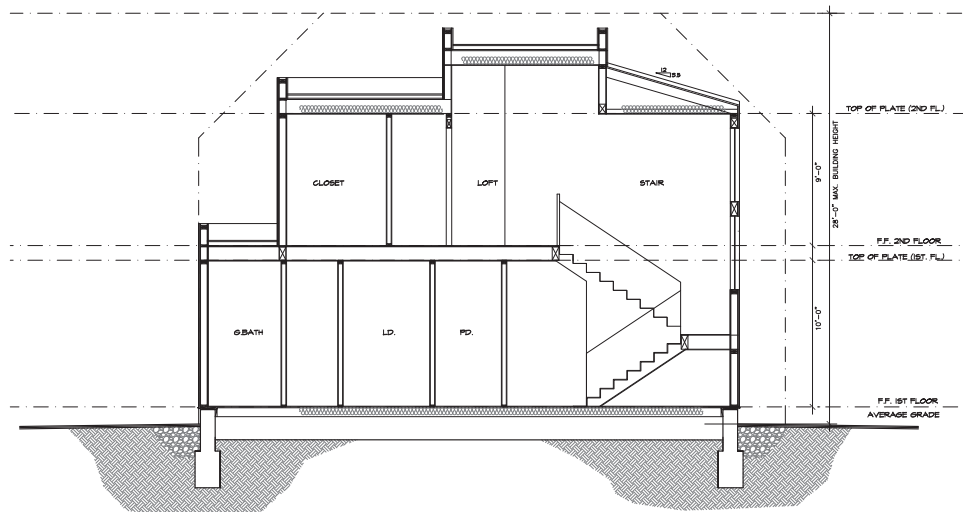
3 REAR ELEVATION
SCALE: 1/4"=1'-0" (NORTHWEST)

- ① ROOF, METAL ROOF OVER 2 LAYER 90 ROOFING FELT-INSTALL PER IRC INSTRUCTION, ICC #ENR-2800
- ② ROOF, TPO FLAT TRUGO
- ③ EXTERIOR PLASTER/STUCCO (ACRYLIC FINISH) OVER HIGH PLASTERING WITH PORTLAND CEMENT PLASTER SHALL NOT BE LESS THAN 1/2" THICK. INTERLAP JOINTS WHEN APPLIED OVER MASON LATH AND SHALL BE 1/2" THICKER THAN JOINTS WHEN APPLIED OVER REINFORCED CONCRETE. STUCCO PRESSURE-TREATED WOOD OR DECAY-RESISTANT WOOD AS SPECIFIED IN SECTION 05110 OR G-6 BACKING (PART 2.2)
- ④ PROVIDE THE WATER-RESISTIVE BARRIERS PER R102.9 AND, WHERE REQUIRED FOR WOOD STUDS, SHEATHINGS, SHALL INCLUDE A WATER-RESISTIVE BARRIER PER R102.9. A WATER-RESISTIVE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF 6 MIL POLYETHYLENE FILM SHALL BE INSTALLED CONTINUOUSLY SUB TO EACH LAYER PROVIDES A SEPARATE WATER-RESISTIVE PLANE AND ANY FLASHING INTENDED TO DRAIN TO THE WATER-RESISTIVE BARRIER IS BETWEEN THE LAYERS, PER R102.6.2, R102.9
- ⑤ EXTERIOR WOOD SIDING FINISH - 1/2" (1/2" AND ONE LAYER) OF ASPHALT FELT OR OTHER APPROVED WATER-RESISTIVE BARRIER ATTACHED TO THE STUDS OR SHEATHING WITH FLASHINGS AS REQUIRED PROVIDING A SECOND WATER-RESISTIVE BARRIER BEHIND THE EXTERIOR WALL SHEATHING. ALL PENETRATIONS REPAIRED AND ALL PENETRATIONS SHALL BE FLOored WITH DOUBLE GLAZED WINDOWS (TYP.)
- ⑥ DOUBLE GLAZED WINDOWS (TYP.)
- ⑦ METAL SOLID CORE DOORS
- ⑧ DECORATIVE COLUMNS
- ⑨ STREET ADDRESS PER CIRC 514
- ⑩ FIBERGLASS ENTRY DOOR
- ⑪ GLASS GARAGE DOOR
- ⑫ METAL GUARDRAIL

REVISIONS	BY
-----------	----



2 BUILDING SECTION B-B
SCALE: 1/4"=1'-0"



1 BUILDING SECTION A-A
SCALE: 1/4"=1'-0"

REVISIONS	BY



BUILDING SECTIONS

PROPOSED RESIDENCE
8415 WOODLAND AVE.
MENLO PARK, CA

Date:	02/25/22
Scale:	AS SHOWN
Drawn:	L
Job:	
Sheet:	A-4
Of Sheets	



Date: 02/25/22

Scale: AS-SHOWN

Drawn: L

Job:

Sheet:

A-5

Of Sheets