Date: April 06, 2022
Project Address: 90 La Loma Dr., Menlo Park, CA 94025
Re: Project Description

The proposal contained within is to address the non-conforming Min. Lot width condition present at the site of 90 La Loma Dr. The minimum required lot width by zoning is 80', where the site observes a minimum lot width of 73'-8". Below is a full description of the proposed project.

The scope of the attached project involves the removal and demolition of the existing single family residence and garage, and the construction of a new 2 story, 4,000 sf Main Residence with a new 782 SF attached Accessory Dwelling Unit. The construction will also include a covered back patio with BBQ for the main residence and a small open back patio for the ADU, and any landscaping and site work related to those constructions including but not limited to, driveway, walkway, fences, and utility work.

The (N) Main Residence is a 2 story structure and contains a garage, kitchen, mudroom, laundry, pantry, powder room, living room, and family room on the main level, and 4 bedrooms and bathrooms, including the Master suite, on the second level. The attached ADU will contain 2 bedroom and 1 bathroom with a small kitchen and living area. Both structures are located at the front of the property in order to take full advantage of the natural daylight and optimize the backyard SF. Both the Main Residence and the ADU will be built with wood framing and be clad with stucco and have accent walls with wood siding. The material choices are both aesthetic and functional, emphasizing the simplicity of each structure and their contemporary architectural design. Windows and doors will be wood with metal cladding, allowing for decreased maintenance due to their durability. Both structures are simple forms with little to no protrusions, bay windows, dormers, etc. The proposed flat roof lines share the same composition and allow for the main residence to take advantage of consistent, high ceiling heights without obstructing the daylight plane.

Our clients have had informal discussions with their adjacent neighbors regarding their proposed constructions and are in the process of sending complete drawing set with an accompanying description letter. The neighbors have not expressed any concerns to our clients, but we are trying to be respectful of their privacy by using high, limited number of windows and/or through screen plantings along the fence line. Our clients are continuing conversations with their neighbors and any concerns will be addressed.

Sincerely,

Teodora Velkova, Design Associate
Ana Williamson Architect

KRAMER RESIDENCE MENLO PARK, CA

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STRUCTURAL

PROJECT SUMMARY

SITE INFORMATION

JOB ADDRESS:	90 LA LOMA DR. MENLO PARK, CA 94025	MAXIMUM HEIGHT:	28'
		DAYLIGHT PLANE:	19'-6" @ SETBACK AND THEN AT 45°
ASSESSOR'S PARCEL NUMBER:	074-150-470		
ZONING DISTRICT:	R-1S	SETBACKS:	
PARCEL SIZE:	12,056 SF	FRONT	20'
OCCUPANCY GROUPS:	R1	REAR	20'
TYPE OF CONSTRUCTION:	V-B	SIDE	10'
NUMBER OF STORIES:	2		
FIRE SPRINKLERS:	YES (DEFERRED SUBMITTAL)	PARKING:	2 COVERED (10' X 20')
		ADU SETBACKS:	
		FRONT	20'
		REAR	4'
		SIDE	4'

FLOOR AREA CALCULATIONS

	ALLOWABLE	EXISTING	PROPOSED	
MAX. BLDG LOT COVERAGE*	**5,019.6SF****	2,976.5 SF	3,533 SF	
MAX. BLDG FLOOR AREA*	**4,864 SF**			
MAIN LEVEL		2,333 SF	1,687.75	SF
UPPER LEVEL		N/A	1,819.5	SF
GARAGE		643.5	494.5	SF
ADU		N/A	782.5	SF
MAX. BLDG FLOOR AREA*	**4,864 SF**	2,976.5 SF (E)	***4,784.25***	***SF(NEW CONSTRUCTION)***
MAX. BLDG HEIGHT	28'	11'-11"	22'-11-3/4"	

* INCLUDES 800 SF FOR ACCESSORY DWELLING BUILDING
** REFER TO ATTACHED LOT ASSESMENT FOR BUILDING SITE AREA TO BE USED IN FLOOR AND LOT AREA CALCULATIONS
*** SEE PARTIAL BASEMENT CALULATIONS ON 1/A0.2 PER SMC ZONING CODE (6300.13.20.b)

PROJECT DESCRIPTION

DEMOLISH (E) SINGLE STORY RESIDENCE AND GARAGE

DEMOLISH (E) HARDSCAPE

CONSTRUCTION OF (N) 3,507.25 SF MAIN RESIDENCE & ATTACHED (N) 494.5 SF GARAGE & ATTACHED (N) 782.5 SF ACCESSORY DWELLING UNIT.

(N) LANDSCAPING, GRADING, HARDSCAPE, UTILITIES

VICINITY MAP

CONTACTS

CLIENT: MICHAEL AND JENN KRAMER
P.O. Box 7719
Menlo Park, CA. 94026

ARCHITECT: ANA WILLIAMSON ARCHITECT
885 SANTA CRUZ AVE
MENLO PARK, CA 94025
T: (650) 329-0577
F: (650) 325-6781
W: awarchitect.com

STRUCTURAL ENGINEER: XXXX
XXXX
XXXX, CA XXXXX
T:

CIVIL ENGINEER: LEA & BRAZE ENGINEERING, INC.
2495 INDUSTRIAL PARKWAY WEST
HAYWARD, CA 94545
T: (510) 887 - 4086

LANDSCAPE ARCHITECT: KEITH WILLING LANDSCAPE ARCHITECTURE
885 SANTA CRUZ AVE, SUITE D
MENLO PARK, CA 94025
T: (650) 326-2294

TITLE 24/ GREENPOINT RATER: XXXX
XXXX
XXXX, CA XXXXX
T:

SURVEYOR: LEA & BRAZE ENGINEERING, INC.
2495 INDUSTRIAL PARKWAY WEST
HAYWARD, CA 94545
T: (510) 887 - 4086

CONTRACTOR: XXX
XXX
XXX
T: XXX
W: XXX

GEOTECHNICAL ENGINEER: GEOFORENSICS, INC.
561 PILGRIM DR. # D
FOSTER CITY, CA 94404
T: (650) 349 - 3369

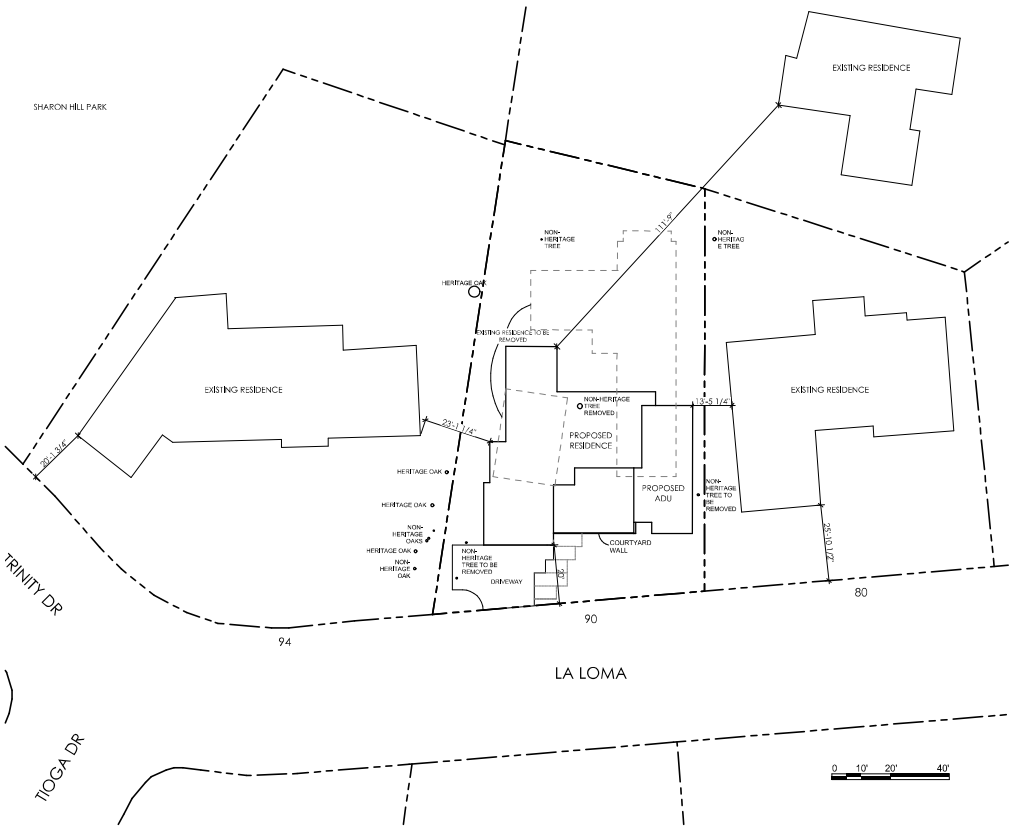
ANA WILLIAMSON ARCHITECT
885 SANTA CRUZ AVE A, MENLO PARK, CA 94025 t: (650) 329-0577 f: (650) 325-6781

SEAL:

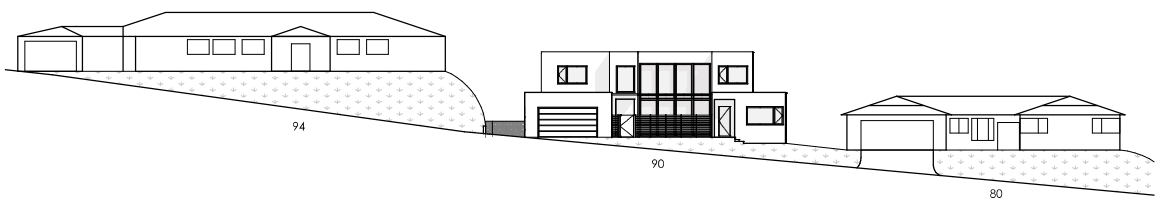
KRAMER RESIDENCE
90 LA LOMA DRIVE
MENLO PARK, CA 94025
APN: 074-150-470

ISSUE	DATE
USE PERMIT	04/06/2022

DRAWN: TV
DATE: 4/6/2022
JOB NO.: 2110
DRAWING TITLE: COVER SHEET
SHEET: A0.0



A AREA PLAN: 90 LA LOMA DR.
1" = 20'



A STREETSCAPE
1/16" = 1'-0"

FLOOR AREA CALCULATIONS

ALLOWABLE FLOOR AREA

MAX FLOOR AREA = 25%(PARCEL AREA -7,000)+2,800
= 0.25(12,056-7,000)+2,800
= **4,064 SF**

ADU FLOOR AREA ALLOWANCE = **800 SF**

TOTAL FLOOR AREA = **4,864 SF**

ALLOWABLE LOT COVERAGE

MAX LOT COVERAGE = 35% X PARCEL AREA
= 12,056 X 0.35
= **4,219.6 SF**

ADU LOT COVERAGE ALLOWANCE = **800 SF**

KEY

AREA COUNTED FOR LOT COVERAGE BUT NOT FAR CALCULATIONS

AREA NOT COUNTED IN FAR CALCULATIONS

GARAGE

PROPOSED LOT COVERAGE

A	23'-6 1/4" x 21'-1 1/4"	494.5	SF
B	21' -6" x 15'-11 3/4"	343.5	SF
C	17'-2" x 30'-5 3/4"	523.25	SF
D	29'-3/4" x 15'-3/4"	437.75	SF
E	22'-11 3/4" x 10'-7 3/4"	244.75	SF
F	7'-1 1/4" x 16'-5 1/4"	117.5	SF
G	12'-3" x 21'-1 1/4"	364	SF
H	19'-9 3/4" x 18'-6 1/2"	367.5	SF
I	13'-7 1/4" x 3'-9"	51	SF
J	6'-2 1/2" x 3'-9"	23.25	SF
K	4'-7" x 4'-7"	21	SF
L	33'-7 3/4" x 15'-5"	518.75	SF
M	4'-2 1/4" x 6'-3"	26.25	SF
COVERAGE		**3,533**	**SF**

MAIN LEVEL FAR	2,964.75	SF
TOTAL COVERAGE	3,533	SF

PROPOSED FLOOR AREA

MAIN RESIDENCE MAIN LEVEL

A	23'-6 1/4" x 21'-1 1/4"	494.5	SF
B	21' -6" x 15'-11 3/4"	343.5	SF
C	17'-2" x 30'-5 3/4"	523.25	SF
D	29'-3/4" x 15'-3/4"	437.75	SF
E	22'-11 3/4" x 10'-7 3/4"	244.75	SF
F	7'-1 1/4" x 16'-5 1/4"	117.5	SF
K	4'-7" x 4'-7"	21	SF
		2,182.25	SF

ADU

G	17'-3" x 21'-1 1/4"	364	SF
H	19'-9 3/4" x 18'-6 1/2"	367.5	SF
I	13'-7 1/4" x 3'-9"	51	SF
		782.5	SF

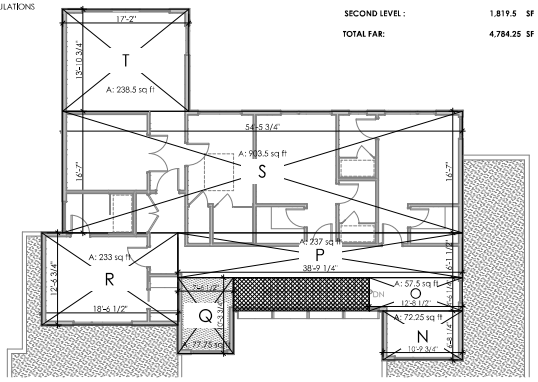
TOTAL MAIN LEVEL : 2,964.75 SF

MAIN RESIDENCE SECOND LEVEL

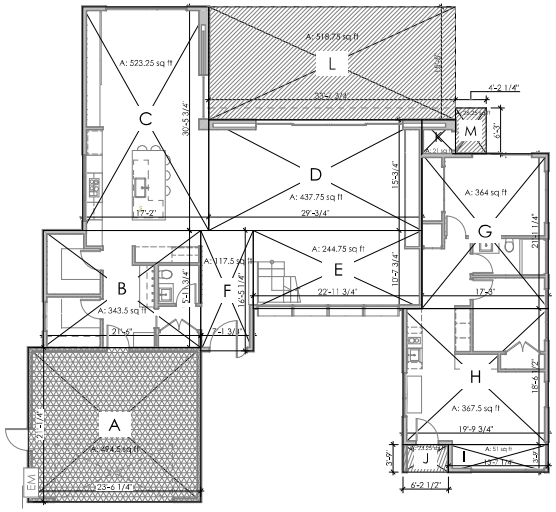
N	10'-9 3/4" x 6'-8 1/4"	72.25	SF
O	12'-8 1/2" x 4'-6 1/4"	57.5	SF
P	38'-9 1/4" x 6'- 1 1/2"	237	SF
Q	7'-6 1/2" x 10'-3 3/4"	77.75	SF
R	18'-6 1/2" x 12'-6 3/4"	233	SF
S	54'-5 3/4" x 16'-7"	903.5	SF
T	17'-2" x 13'-10 3/4"	238.5	SF

SECOND LEVEL : 1,819.5 SF

TOTAL FAR: 4,784.25 SF



2 SECOND LEVEL FAR
1/8" = 1'-0"



1 MAIN LEVEL FAR DIAGRAM
1/8" = 1'-0"

ANA WILLIAMSON ARCHITECT
885 SANTA CRUZ AVE A, MENLO PARK, CA 94025 t: (650) 328 9577 f: (650) 325 4781

SEAL:

LICENSED ARCHITECT ANA WILLIAMSON C-34430 STATE OF CALIFORNIA

KRAMER RESIDENCE

90 LA LOMA DRIVE
MENLO PARK, CA 94025
APN: 072-415-470

ISSUE	DATE
USE PERMIT	04/06/2022

DRAWN: TV

DATE: 4/6/2022

JOB NO.: 2110

DRAWING TITLE: FAR DIAGRAMS

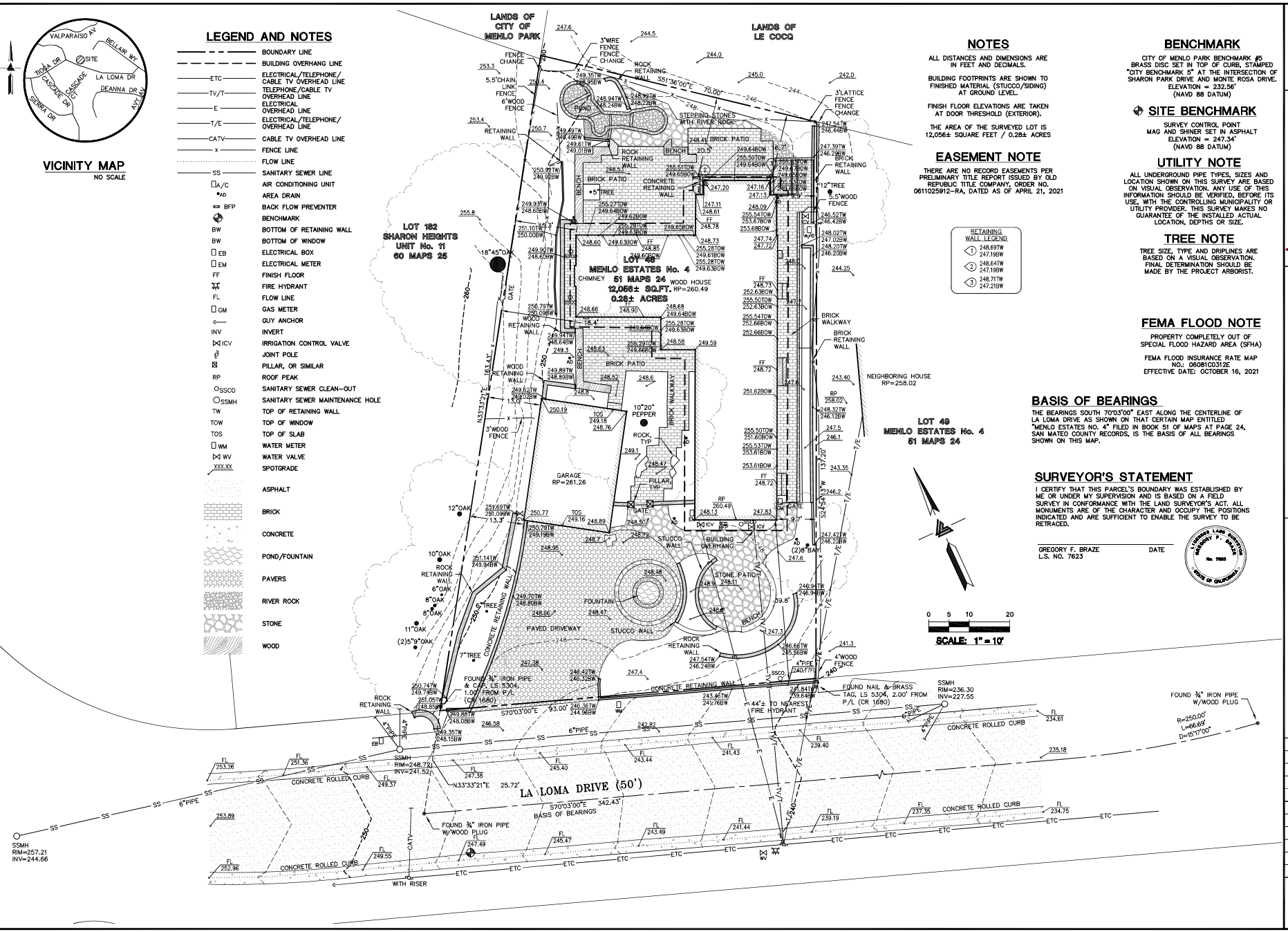
SHEET: A0.2

VICINITY MAP

NO SCALE

LEGEND AND NOTES

	BOUNDARY LINE
	BUILDING OVERHANG LINE
ETC	ELECTRICAL/TELEPHONE/ CABLE TV OVERHEAD LINE
TV/T	TELEPHONE/CABLE TV OVERHEAD LINE
E	ELECTRICAL OVERHEAD LINE
T/E	ELECTRICAL/TELEPHONE/ OVERHEAD LINE
CATV	CABLE TV OVERHEAD LINE
x	FENCE LINE
	FLOW LINE
SS	SANITARY SEWER LINE
A/C	AIR CONDITIONING UNIT
AD	AREA DRAIN
BFP	BACK FLOW PREVENTER
	BENCHMARK
BW	BOTTOM OF RETAINING WALL
BW	BOTTOM OF WINDOW
EB	ELECTRICAL BOX
EM	ELECTRICAL METER
FF	FINISH FLOOR
	FIRE HYDRANT
FL	FLOW LINE
GM	GAS METER
	GUY ANCHOR
INV	INVERT
ICV	IRRIGATION CONTROL VALVE
	JOINT POLE
	PILLAR, OR SIMILAR
RP	ROOF PEAK
SSCO	SANITARY SEWER CLEAN-OUT
SSMH	SANITARY SEWER MAINTENANCE HOLE
TW	TOP OF RETAINING WALL
TOW	TOP OF WINDOW
TOS	TOP OF SLAB
WM	WATER METER
WV	WATER VALVE
XXX.XX	SPOTGRADE
	ASPHALT
	BRICK
	CONCRETE
	POND/FOUNTAIN
	PAVERS
	RIVER ROCK
	STONE
	WOOD



NOTES

ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.

BUILDING FOOTPRINTS ARE SHOWN TO FINISHED MATERIAL (STUCCO/SIDING) AT GROUND LEVEL.

FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLD (EXTERIOR).

THE AREA OF THE SURVEYED LOT IS 12,056± SQUARE FEET / 0.28± ACRES

EASEMENT NOTE

THERE ARE NO RECORD EASEMENTS PER PRELIMINARY TITLE REPORT ISSUED BY OLD REPUBLIC TITLE COMPANY, ORDER NO. 0611025912-RA, DATED AS OF APRIL 21, 2021

RETAINING WALL LEGEND

1. 248.69TW 247.19BW
2. 248.64TW 247.19BW
3. 248.71TW 247.21BW

BENCHMARK

CITY OF MENLO PARK BENCHMARK #5 BRASS DISC SET IN TOP OF CURB, STAMPED "CITY BENCHMARK 5" AT THE INTERSECTION OF SHARON PARK DRIVE AND MONTE ROSA DRIVE. ELEVATION = 232.56' (NAVD 88 DATUM)

SITE BENCHMARK

SURVEY CONTROL POINT MAG AND SHINER SET IN ASPHALT ELEVATION = 247.34' (NAVD 88 DATUM)

UTILITY NOTE

ALL UNDERGROUND PIPE TYPES, SIZES AND LOCATION SHOWN ON THIS SURVEY ARE BASED ON VISUAL OBSERVATION. ANY USE OF THIS INFORMATION SHOULD BE VERIFIED, BEFORE ITS USE, WITH THE CONTROLLING MUNICIPALITY OR UTILITY PROVIDER. THIS SURVEY MAKES NO GUARANTEE OF THE INSTALLED ACTUAL LOCATION, DEPTHS OR SIZE.

TREE NOTE

TREE SIZE, TYPE AND DRIPLINES ARE BASED ON A VISUAL OBSERVATION. FINAL DETERMINATION SHOULD BE MADE BY THE PROJECT ARBORIST.

FEMA FLOOD NOTE

PROPERTY COMPLETELY OUT OF SPECIAL FLOOD HAZARD AREA (SFHA)

FEMA FLOOD INSURANCE RATE MAP NO.: 06081C0312E
EFFECTIVE DATE: OCTOBER 16, 2021

BASIS OF BEARINGS

THE BEARINGS SOUTH 70°03'00" EAST ALONG THE CENTERLINE OF LA LOMA DRIVE AS SHOWN ON THAT CERTAIN MAP ENTITLED "MENLO ESTATES NO. 4" FILED IN BOOK 51 OF MAPS AT PAGE 24, SAN MATEO COUNTY RECORDS, IS THE BASIS OF ALL BEARINGS SHOWN ON THIS MAP.

SURVEYOR'S STATEMENT

I CERTIFY THAT THIS PARCEL'S BOUNDARY WAS ESTABLISHED BY ME OR UNDER MY SUPERVISION AND IS BASED ON A FIELD SURVEY IN CONFORMANCE WITH THE LAND SURVEYOR'S ACT. ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

GREGORY F. BRAZE
L.S. NO. 7623

DATE

LICENSED LAND SURVEYOR GREGORY F. BRAZE No. 7623 STATE OF CALIFORNIA

0 5 10 20

SCALE: 1" = 10'

LEA & BRAZE ENGINEERING, INC.
CIVIL ENGINEERS | LAND SURVEYORS
MAIN OFFICE:
24405 INTERNATIONAL PKWY WEST
HAYWARD, CALIFORNIA 94545
(510) 887-4086
REGIONAL OFFICES:
ROSEVILLE
DUBLIN
SAN JOSE
WWW.LEABRAZE.COM

90 LA LOMA DRIVE
MENLO PARK
CALIFORNIA

APN: 074-150-470

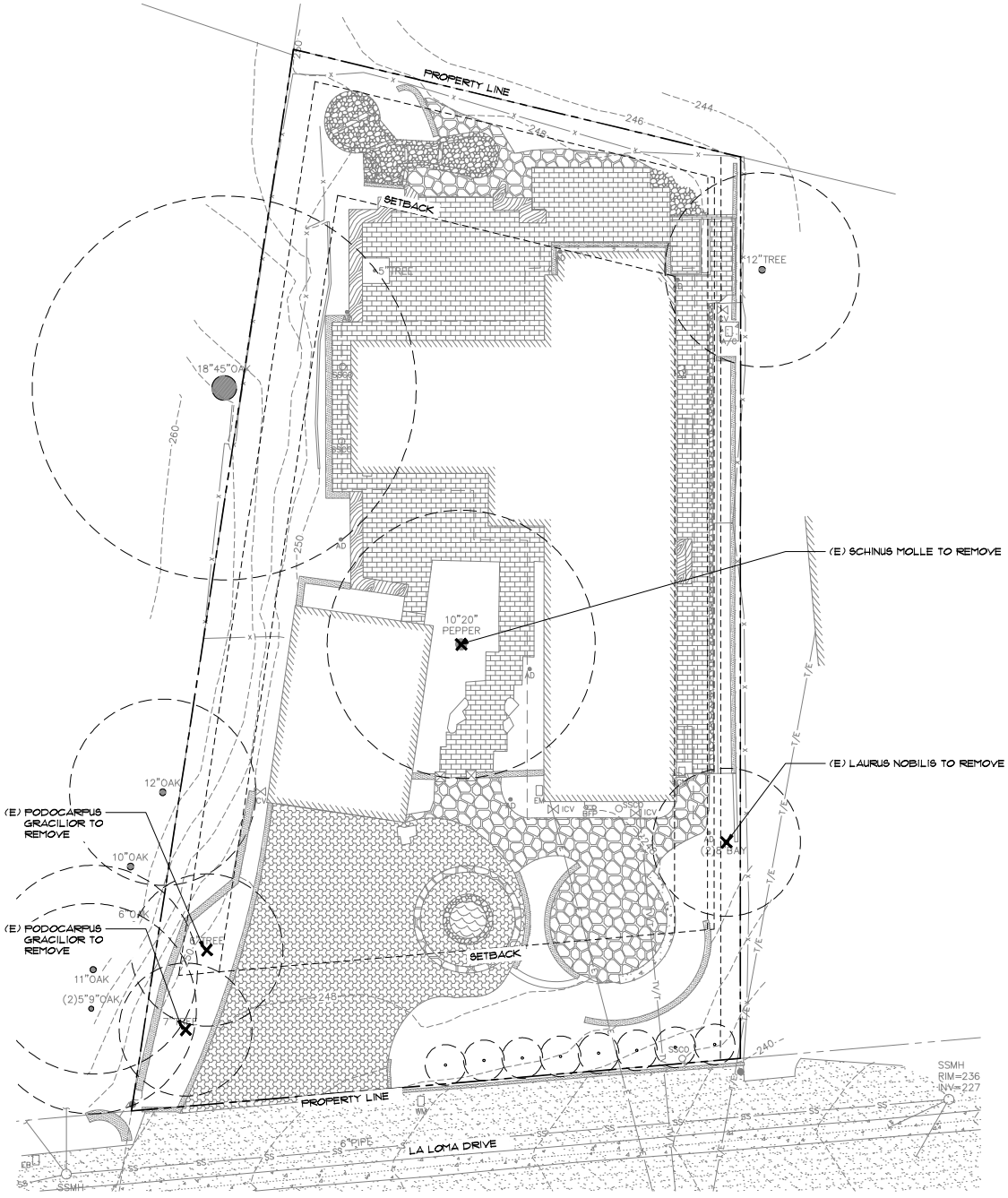
SAN MATEO COUNTY

TOPOGRAPHIC SURVEY

REVISIONS	BY
–	–
–	–
–	–
–	–

JOB NO:	2211231
DATE:	8-19-21
SCALE:	1"=10'
BNDY BY:	RM
FIELD BY:	AO
DRAWN BY:	ZB
SHEET NO:	SU1

1 OF 1 SHEETS



GRAPHIC LEGEND:

SYMBOL	DESCRIPTION
⊙	(E) TREE TO REMAIN
✕	(E) TREE TO REMOVE

NORTH

SCALE: 1/8"= 1'-0"

Keith Willig
Landscape Architecture, Inc.
885 Santa Cruz Ave. Suite D,
Menlo Park, CA 94025
(P) 650.326.2294
(F) 650.326.2293
License #3851

KRAMER RESIDENCE

90 LA LOMA DRIVE, MENLO PARK, CALIFORNIA

APN: 074-150-470

PERMIT SET

TREE INVENTORY PLAN

scale:	1/8" = 1'-0"
date:	04/05/2022
drawn by:	XA/PS/WS
review by:	KW
revision:	

notes:

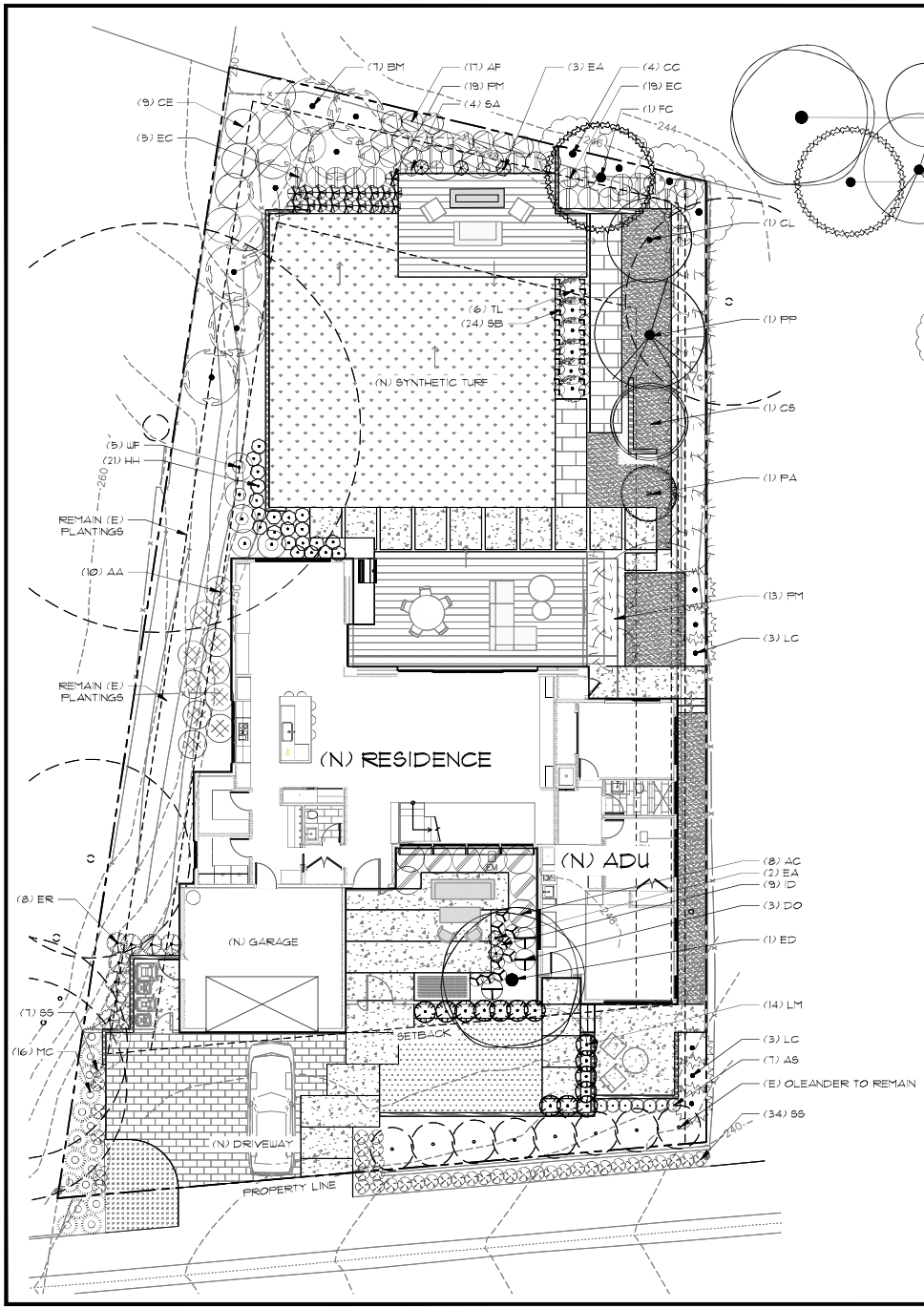
PROGRESS SET

LICENSED LANDSCAPE ARCHITECT
KEITH E. WILLIG
Lic. No. 3851
07-31-2022
Date
STATE OF CALIFORNIA

SHEET NO.

L-0.1

1 OF 3 SHEETS



PLANTING LIST:

SYMBOL	DESCRIPTION	COMMON NAME	SIZE	WIDTH	HEIGHT	WELO	QTY.
TREES							
CS	*CITRUS SINENSIS 'WASHINGTON'*	NAVEL ORANGE	24" BOX	8'-15'	8'-15'	MED	1
CL	*CITRUS LIMON 'MEYER IMPROVED'*	LEMON 'IMPROVED MEYER'	24" BOX	12'	8'-10'	MED	1
ED	*ERIOBOTRYA DEFLEXA*	BRONZE LOQUAT	24" BOX	15'-25'	15'-25'	MED	1
PA	*PRUNUS ARMENIACA 'BLENHEIM'*	BLENHEIM APRICOT	24" BOX	6'-10'	12'-18'	LOW	1
PM	*PODOCARPUS MACROPHYLLUS*	YEW PINE	15 GAL	6'	15'	MED	13
PP	*PRUNUS PERSICA 'FROST'*	FROST PEACH	24" BOX	15'-30'	15'-30'	LOW	1
FC	*FICUS CARICA 'IMPROVED BROWN TURKEY'*	BROWN TURKEY FIG	24" BOX	10'-25'	10'-25'	MED	1
GROUNDCOVER & SHRUBS							
AA	*ASPARAGUS AETHIOPICUS*	SPRENGER'S ASPARAGUS	5 GAL	4'	3'	MED	10
AC	*ACACIA COGNATA COUSIN ITT*	COUSIN ITT ACACIA	5 GAL	4'-6'	2'-3'	LOW	8
AF	*ANIGOZANTHOS FLAVIDUS*	KANGAROO PAW	5 GAL	2'-4'	3'-6'	LOW	17
AS	*ACHILLEA MILLEFOLIUM 'SALMON BEAUTY'*	SALMON YARROW	1 GAL	2'-3'	1'-2'	LOW	7
BM	*BOUGAINVILLEA 'MONETH'*	PURPLE QUEEN BOUGAINVILLEA	5 GAL	6'-10'	15'	LOW	7
CC	*CARPENTERIA CALIFORNICA*	BUSH ANEMONE	1 GAL	10'	6'-10'	MED	4
CE	*CHONDROPETALUM ELEPHANTINUM*	LARGE CAPE RUSH	5 GAL	4'-6'	3'-5'	LOW	9
DO	*DAPHNE ODORA*	FRAGRANT DAPHNE	5 GAL	2'-4'	3'-6'	LOW	3
EA	*ECHEVERIA 'AFTERGLOW'*	AFTERGLOW ECHEVERIA	1 GAL	1'-2'	1'-2'	LOW	5
EC	*EPILOBUM CANUM CALISTOGA*	CALIFORNIA FUCHSIA	1 GAL	2'-3'	1'-2'	LOW	19
ER	*EUPHORBIA RIGIDA*	UPRIGHT MYRTLE SPURGE	1 GAL	2'-3'	1'-2'	LOW	8
HH	*HELLEBORE HYBRID*	HYBRID LENTEN ROSE	1 GAL	2'	1.5'-2'	LOW	21
ID	*IRIS DOUGLASIANA*	DOUGLAS IRIS	1 GAL	2'-4'	6"-2.5'	LOW	9
LC	*LEUCOSPERMUM CORDIFOLUM*	NODDING PINCUSHION	5 GAL	5'-8'	5'-8'	LOW	6
LM	*LEUCADENDRON 'MAUI SUNSET'*	PROTEACEAE LEUCADENDRON HYBRID	5 GAL	4'-6'	4'-6'	LOW	14
LN	*LIPPIA NODIFLORA 'CAMPAGNA VERDE'*	KURAPIA	4"	SPREADING	2"	LOW	1236SQFT
MC	*MUHLENBERGIA CAPILLARIS 'LENCA'*	PINK MUHLY GRASS	1 GAL	3'	4'	LOW	16
PM	*PENSTEMON MARGARITA BOP*	BEARDTONGUE	1 GAL	2'	2'	LOW	19
SA	*SEDUM RUPSTRE 'ANGELINA'*	STONECROP	1 GAL	2'-3'	6"	LOW	4
SB	*SALVIA X SYLVESTRIS 'BLUE HILL'*	WOOD SAGE 'BLUE HILL'	1 GAL	1'-2'	1'-2'	LOW	24
SS	*SENECIO SERPENS*	BLUE CHALKSTICKS	1 GAL	2'-3'	1'	LOW	7
TL	*TRICHOSTEMA LANATUM*	WOOLY BLUECURLS	1 GAL	4'	4'	VERY LOW	6
WF	*WOODWARDIA FIMBERIATA*	GIANT CHAIN FERN	5 GAL	4'-6'	4'-6'	MED	5

EXISTING TREE LEGEND:

SYMBOL	DESCRIPTION
	(E) TREE TO REMAIN
	PROPERTY LINE

I HAVE COMPLIED WITH THE CRITERIA OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN PLAN.

SIGNATURE DATE 03-08-22

Keith Willig
Landscape Architect Lic.#3851
Contractor C-27 Lic.#909867

"A LANDSCAPE IRRIGATION AUDIT IS REQUIRED. THIS AUDIT MUST BE COMPLETED BY A CERTIFIED LANDSCAPE IRRIGATION AUDITOR, NOT THE DESIGNER OR INSTALLER. THE AUDIT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT, WITH A CERTIFICATE OF COMPLETION (APPENDIX C) AS REQUIRED BY THE DEPARTMENT OF WATER RESOURCES, PRIOR TO SCHEDULING A FINAL INSPECTION OF THE WATER EFFICIENT LANDSCAPE PERMIT."

PLANTING NOTES:

1. CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL EASEMENTS, UNDERGROUND UTILITIES, PIPES AND STRUCTURES. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF SAID UTILITIES.
2. DO NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS, AREA DISCREPANCIES AND OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
3. LANDSCAPE AREAS SHALL DRAIN AWAY FROM ALL BUILDINGS AND FACILITIES AT 2% MIN. FOR 5' AS PER DRAINAGE PLAN. FOLLOW ALL DRAINAGE PLANS.
4. ALL PLANT MATERIAL SHALL BE OF NURSERY QUALITY AND BE GUARANTEED FOR THREE MONTHS.
5. ALL PLANT MATERIAL SHALL BE APPROVED FOR QUALITY BY THE OWNER AND/OR LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
6. FINAL LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER.
7. SOIL PREPARATION:
   - ROTOTILL THE FOLLOWING AMENDMENTS 6" INTO THE SOIL AT RATES INDICATED PER 1000 SQUARE FEET FOR ALL PLANTING AREA AND SOD AREAS.
   - 6 CUBIC YARDS NITROGEN STABILIZED SAWDUST OR EQUAL.
   - 125 LBS. GRO-POWER PLUS OR EQUAL FRE PLANT FERTILIZER.
8. A SITE SPECIFIC SOIL ANALYSIS SHOULD BE FOLLOWED BY CONTRACTOR PER WELO REQUIREMENT.
8. PLANT PITS SHALL BE 2X THE ROOT BALL SIZE WITH 70% NATIVE SOIL AND 30% AMENDMENTS WITH PLANT TABLETS OR OTHER FRE PLANT FERTILIZER.
9. ALL PLANTS SHALL HAVE A 2' MIN. WATERING BERM AROUND THEM.
10. TREES ARE TO BE STAKED WITH A MIN. 2"X2" X REQUIRED HEIGHT STAKE AND TIED TO INSURE VERTICAL GROWTH.
11. ALL PLANTING AREAS SHALL BE WATERED WITH AN AUTOMATIC IRRIGATION SYSTEM.
12. ALL APPLICABLE CODES TO BE FOLLOWED. ALL WORK REQUIRING PERMITS SHALL HAVE PERMITS BEFORE WORK IS TO BEGIN.
13. ALL PLANTING AREAS TO BE COVERED WITH 3" THICK LAYER OF PREMIUM ARBOR MULCH.
14. ALL TREE ROOTS GREATER THAN 1-1/2" IN DIAMETER DAMAGED DURING CONSTRUCTION SHALL BE CUT CLEAN AND SEALED.
15. CONTRACTOR TO VERIFY QUANTITIES. QUANTITIES SHOWN ARE FOR REFERENCE ONLY.
16. A MINIMUM 3" LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.
17. FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6" OF SOIL, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF 6" INTO THE SOIL.
18. TURF SHALL NOT EXCEED 25% OF THE LANDSCAPE AREA IN RESIDENTIAL AREA.

NORTH

0 4' 8'
SCALE: 1/8" = 1'-0"

Keith Willig
Landscape Architecture, Inc.
885 Santa Cruz Ave, Suite D,
Menlo Park, CA 94025
(P) 650.326.2294
(F) 650.326.2293
License #3851

KRAMER RESIDENCE

90 LA LOMA DRIVE, MENLO PARK, CALIFORNIA

APN: 074-150-470

PERMIT SET

PLANTING PLAN

scale:	1/8" = 1'-0"
date:	04/05/2022
drawn by:	XA/PS/WS
review by:	KW
revision:	

notes:

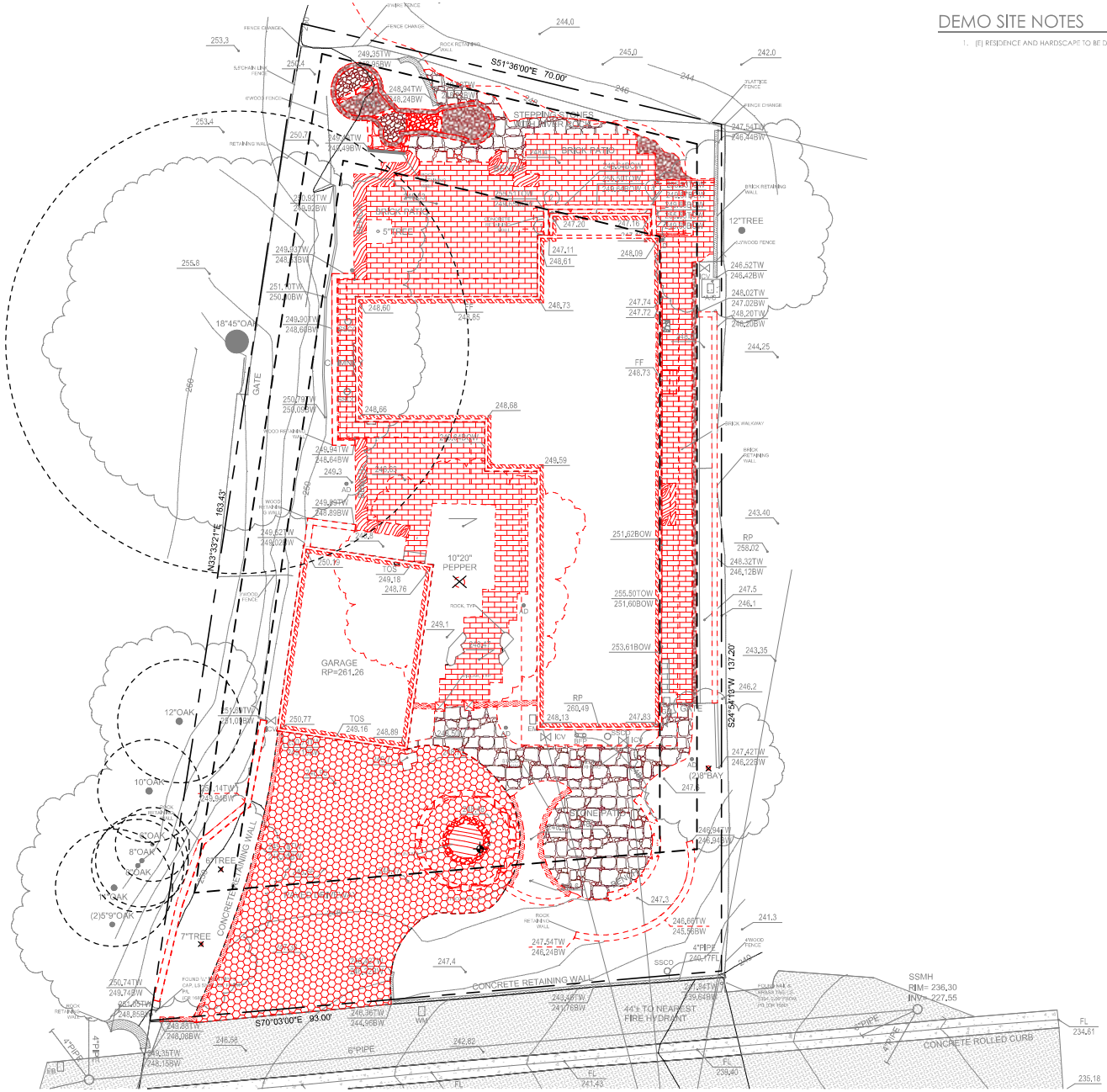
PROGRESS SET

LICENSED LANDSCAPE ARCHITECT
KEITH E. WILLIG
No. 3851
07-31-2022
Expires
STATE OF CALIFORNIA

SHEET NO.

L-3.0

3 OF **3** SHEETS



1 DEMO SITE PLAN
1/8" = 1'-0"

DEMO SITE NOTES

1. (E) RESIDENCE AND HARDSCAPE TO BE DEMOLISHED

ANA WILLIAMSON ARCHITECT
885 SANTA CRUZ AVE. A, MENLO PARK, CA 94025 t. (650) 328 9577 f. (650) 325 4781

SEAL:

LICENSED ARCHITECT ANA WILLIAMSON C-24130 08/22 STATE OF CALIFORNIA

KRAMER RESIDENCE

90 LA LOMA DRIVE
MENLO PARK, CA 94025
APN: 072-415-470

ISSUE	DATE
USE PERMIT	04/06/2022

DRAWN: TV

DATE: 4/6/2022

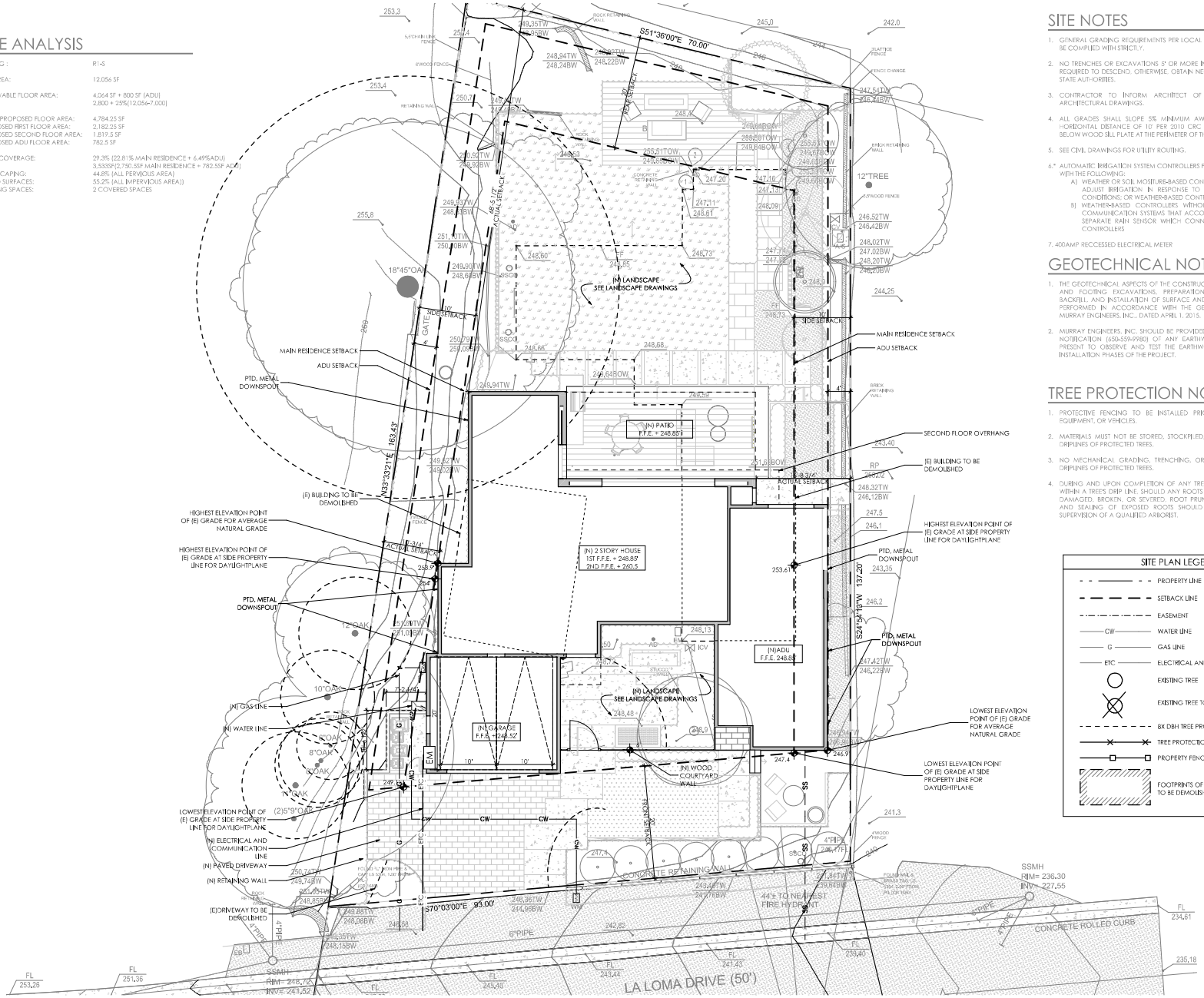
JOB NO.: 2110

DRAWING TITLE: DEMOLITION SITE PLAN

SHEET: A1.0

SITE ANALYSIS

ZONING :	R1-S
LOT AREA:	12,056 SF
ALLOWABLE FLOOR AREA:	4,064 SF + 800 SF (ADU) 2,800 + 25%(12,056-7,000)
TOTAL PROPOSED FLOOR AREA:	4,784.25 SF
PROPOSED FIRST FLOOR AREA:	2,182.25 SF
PROPOSED SECOND FLOOR AREA:	1,819.5 SF
PROPOSED ADU FLOOR AREA:	782.5 SF
LAND COVERAGE:	29.3% (22.81% MAIN RESIDENCE + 6.49%ADU) 3,533SF(2,750.5SF MAIN RESIDENCE + 782.5SF ADU)
LANDSCAPING:	44.8% (ALL PERVIOUS AREA)
PAVED SURFACES:	55.2% (ALL IMPERVIOUS AREA))
PARKING SPACES:	2 COVERED SPACES



1 SITE PLAN
1/8" = 1'-0"

SITE NOTES

1. GENERAL GRADING REQUIREMENTS PER LOCAL GOVERNING JURISDICTIONS SHALL BE COMPLIED WITH STRICTLY.
2. NO TRENCHES OR EXCAVATIONS 5' OR MORE IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND, OTHERWISE, OBTAIN NECESSARY PERMIT FROM LOCAL OR STATE AUTHORITIES.
3. CONTRACTOR TO INFORM ARCHITECT OF ANY DISCREPANCIES BETWEEN ARCHITECTURAL DRAWINGS.
4. ALL GRADES SHALL SLOPE 5% MINIMUM AWAY FROM THE BUILDING FOR A HORIZONTAL DISTANCE OF 10' PER 2010 CRC 401.3 AND BE A MINIMUM OF 8" BELOW WOOD SILL PLATE AT THE PERIMETER OF THE BUILDING.
5. SEE CIVIL DRAWINGS FOR UTILITY ROUTING.
6.* AUTOMATIC IRRIGATION SYSTEM CONTROLLERS FOR LANDSCAPING SHALL COMPLY WITH THE FOLLOWING:
   A) WEATHER OR SOIL MOISTURE-BASED CONTROLLERS THAT AUTOMATICALLY ADJUST IRRIGATION IN RESPONSE TO CHANGES IN WEATHER OR SOIL CONDITIONS; OR WEATHER-BASED CONTROLLERS
   B) WEATHER-BASED CONTROLLERS WITHOUT INTEGRAL RAIN SENSORS OR COMMUNICATION SYSTEMS THAT ACCOUNT FOR RAINFALL SHALL HAVE A SEPARATE RAIN SENSOR WHICH CONNECTS OR COMMUNICATES WITH CONTROLLERS
7. 400AMP RECESSED ELECTRICAL METER

GEOTECHNICAL NOTES

1. THE GEOTECHNICAL ASPECTS OF THE CONSTRUCTION, INCLUDING SITE GRADING, PIER AND FOOTING EXCAVATIONS, PREPARATION OF SUBGRADE, RETAINING WALL BACKFILL, AND INSTALLATION OF SURFACE AND SUBSURFACE DRAINAGE SHOULD BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED BY MURRAY ENGINEERS, INC., DATED APRIL 1, 2015.
2. MURRAY ENGINEERS, INC. SHOULD BE PROVIDED WITH AT LEAST 48 HOURS ADVANCE NOTIFICATION (650-559-9980) OF ANY EARTHWORK OPERATIONS AND SHOULD BE PRESENT TO OBSERVE AND TEST THE EARTHWORK, FOUNDATION, AND DRAINAGE INSTALLATION PHASES OF THE PROJECT.

TREE PROTECTION NOTES

1. PROTECTIVE FENCING TO BE INSTALLED PRIOR TO ARRIVAL OF MATERIALS, EQUIPMENT, OR VEHICLES.
2. MATERIALS MUST NOT BE STORED, STOCKPILED, DUMPED, OR BURIED INSIDE THE DRIPLINES OF PROTECTED TREES.
3. NO MECHANICAL GRADING, TRENCHING, OR SURFACE SCRAPING INSIDE THE DRIPLINES OF PROTECTED TREES.
4. DURING AND UPON COMPLETION OF ANY TRENCHING & GRADING OPERATION WITHIN A TREES DRIP LINE, SHOULD ANY ROOTS GREATER THAN 1" IN DIAMETER BE DAMAGED, BROKEN, OR SEVERED, ROOT PRUNING TO INCLUDE FLUSH CUTTING AND SEALING OF EXPOSED ROOTS SHOULD BE ACCOMPLISHED UNDER THE SUPERVISION OF A QUALIFIED ARBORIST.

SITE PLAN LEGEND

- PROPERTY LINE
- SETBACK LINE
- EASEMENT
- CW — WATER LINE
- G — GAS LINE
- ETC — ELECTRICAL AND COMMUNICATIONS LINES
- EXISTING TREE
- EXISTING TREE TO BE REMOVED
- 8X DBH TREE PROTECTION ZONE
- TREE PROTECTION FENCING
- PROPERTY FENCE
- FOOTPRINTS OF (E) BUILDINGS TO BE DEMOLISHED

ANA WILLIAMSON ARCHITECT
885 SANTA CRUZ AVE A, MENLO PARK, CA 94025 t. (650) 328 9577 f. (650) 325 4781

SEAL:

LICENSED ARCHITECT ANA WILLIAMSON C-24130 05/22 STATE OF CALIFORNIA

KRAMER RESIDENCE
90 LA LOMA DRIVE
MENLO PARK, CA 94025
APN: 074-152-470

ISSUE	DATE
USE PERMIT	04/06/2022

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DATE: 4/6/2022
JOB NO.: 2110
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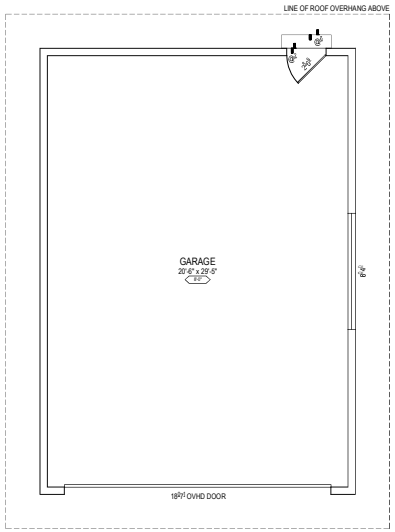
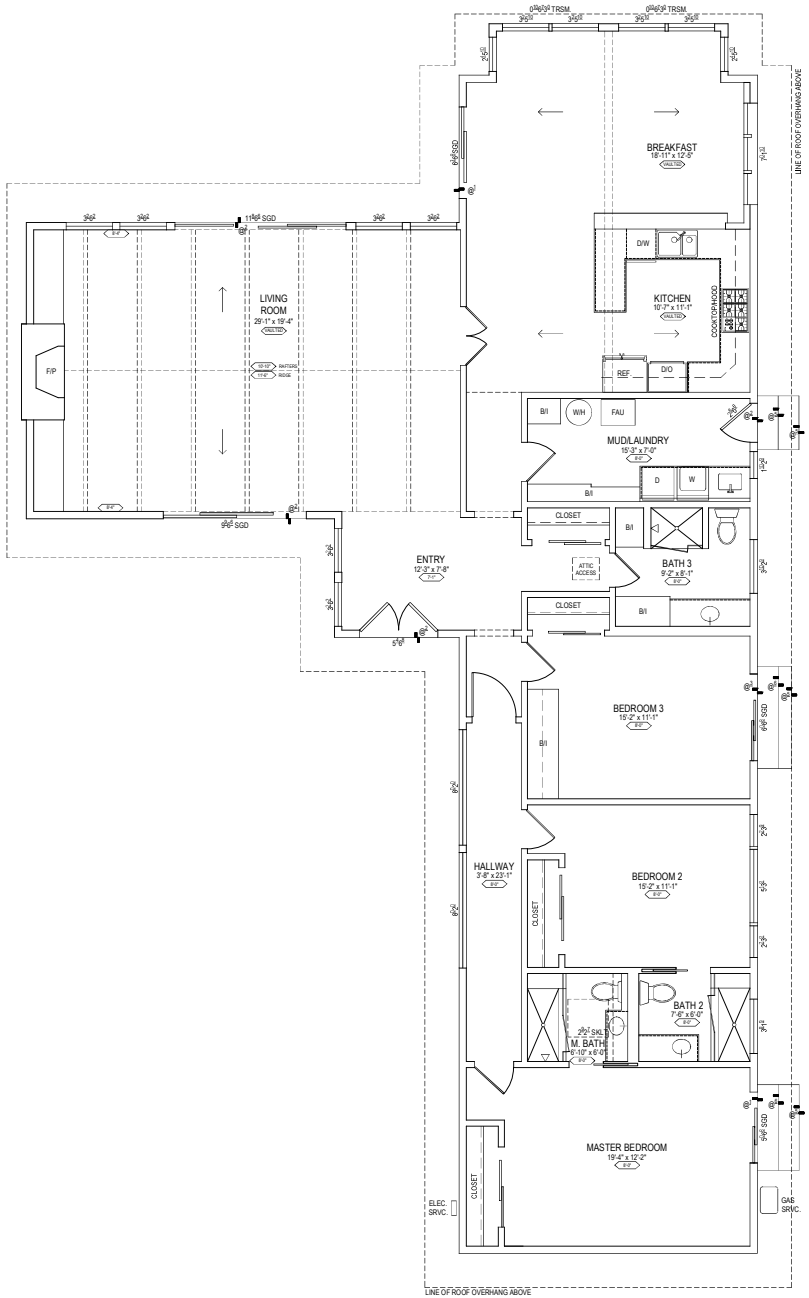
SHEET: A1.1



2 EXISTING GARAGE FLOOR PLAN - TO BE DEMOLISHED
1/4" = 1'-0"



1 EXISTING MAIN RESIDENCE FLOOR PLAN - TO BE DEMOLISHED
1/4" = 1'-0"

ANA WILLIAMSON ARCHITECT
885 SANTA CRUZ AVE A, MENLO PARK, CA 94025 t. (650) 329 9577 f. (650) 325 4781

SEAL:

LICENSED ARCHITECT
ANA MARIA WILLIAMSON
C-94130
05/31/22
STATE OF CALIFORNIA

KRAMER RESIDENCE

90 LA LOMA DRIVE
MENLO PARK, CA 94025
APN: 072-415-240

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JOB NO. 2110
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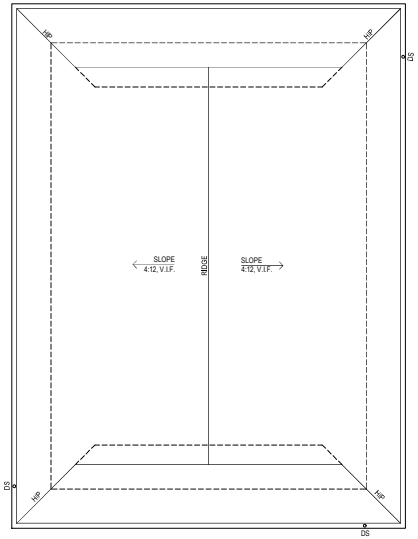
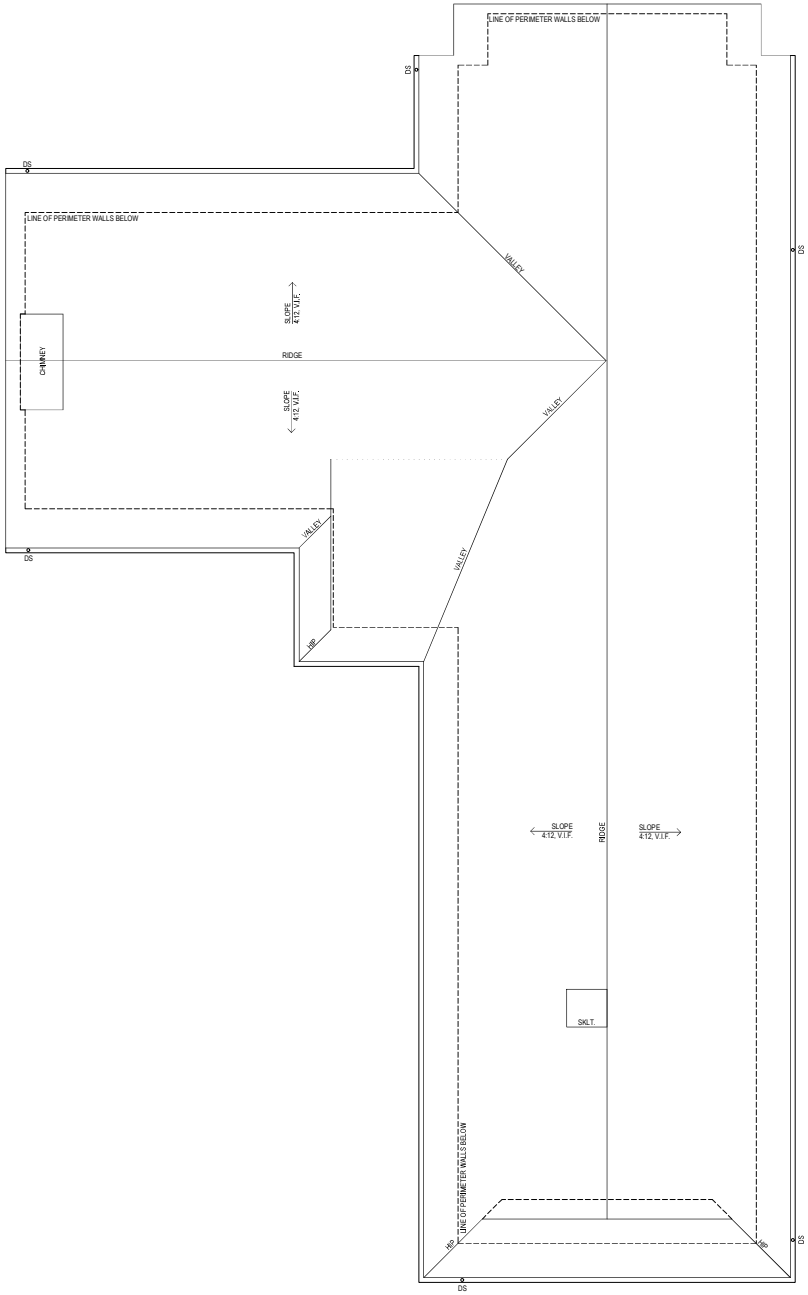
SHEET: A2.0



2 EXISTING GARAGE ROOF PLAN - TO BE DEMOLISHED
1/4" = 1'-0"



2 EXISTING MAIN RESIDENCE ROOF PLAN - TO BE DEMOLISHED
1/4" = 1'-0"

ANA WILLIAMSON ARCHITECT
885 SANTA CRUZ AVE A, MENLO PARK, CA 94025 t. (650) 328 1577 f. (650) 325 4781

SEAL:

LICENSED ARCHITECT
ANA WILLIAMSON
C-24130
05/31
STATE OF CALIFORNIA

KRAMER RESIDENCE
90 LA LOMA DRIVE
MENLO PARK, CA 94025
APN: 072-415-470

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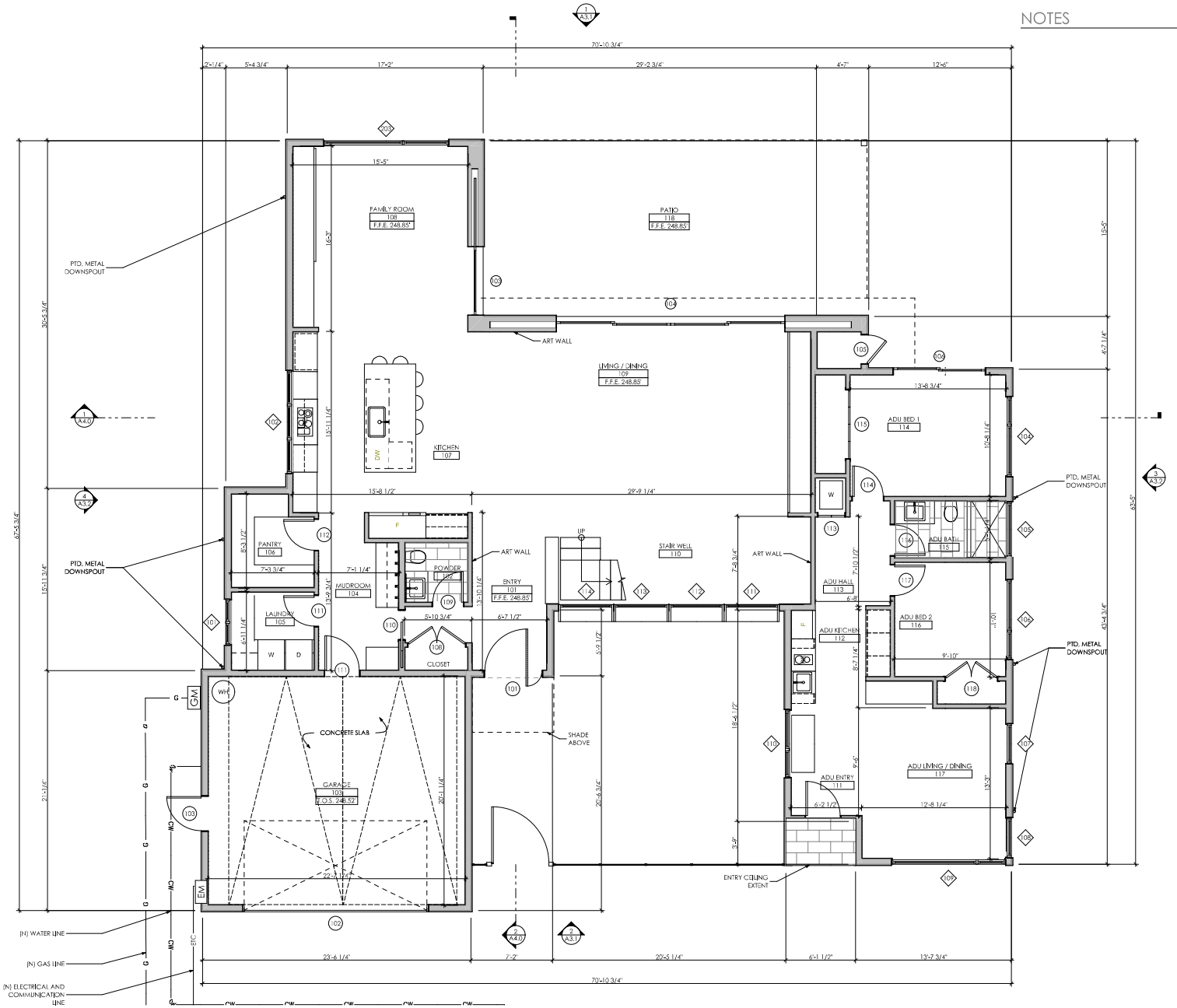

1 PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"

ANA WILLIAMSON ARCHITECT
885 SANTA CRUZ AVE A, MENLO PARK, CA 94025 t. (650) 328 5577 f. (650) 325 4781

LICENSED ARCHITECT ANA WILLIAMSON C-24130 STATE OF CALIFORNIA

KRAMER RESIDENCE
90 LA LOMA DRIVE
MENLO PARK, CA 94025
APN: 071-415-470

ISSUE	DATE
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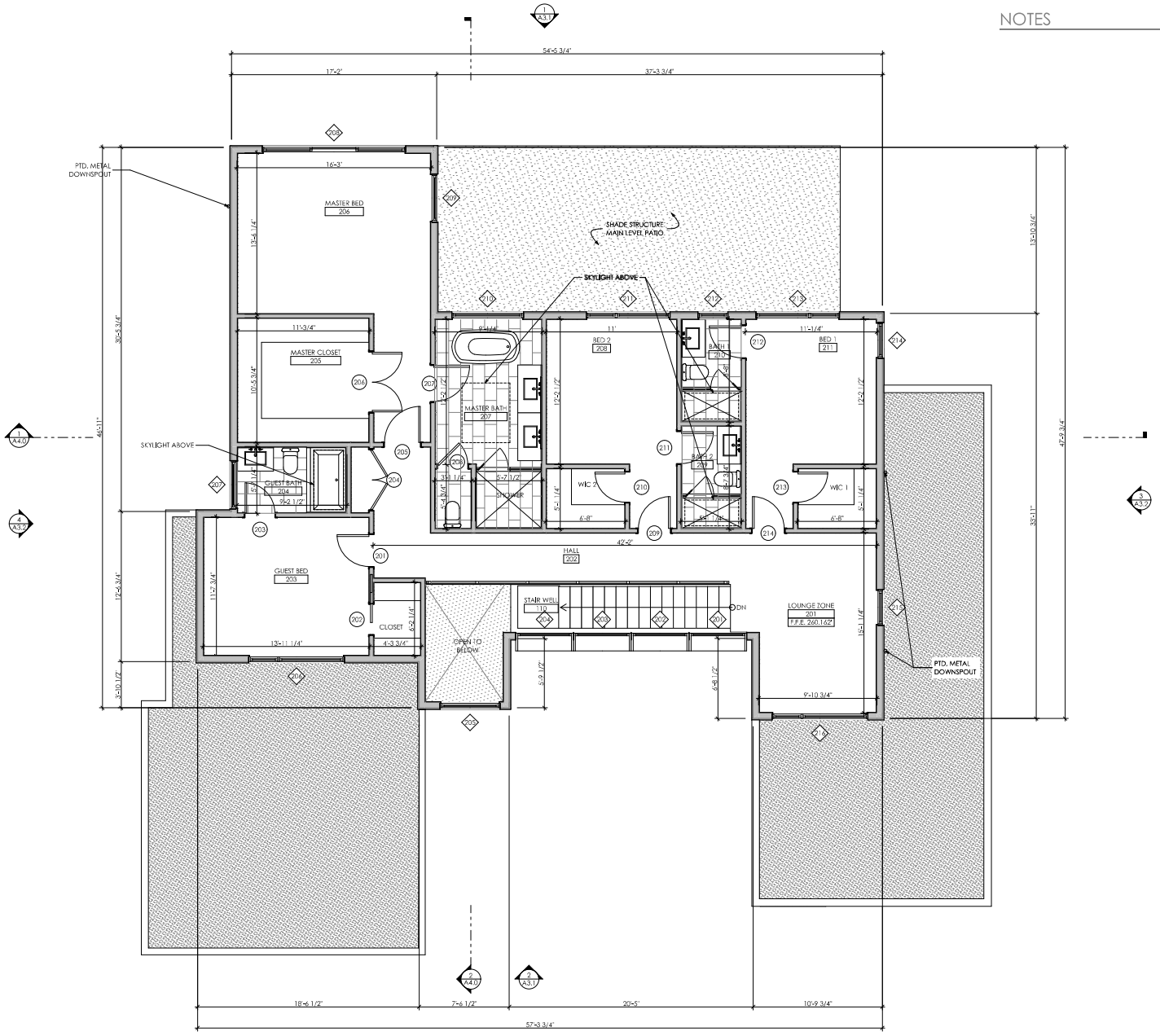

1 PROPOSED SECOND PLAN
1/4" = 1'-0"

ANA WILLIAMSON ARCHITECT
885 SANTA CRUZ AVE. A, MENLO PARK, CA 94025 t. (650) 328-5577 f. (650) 325-4781

SEAL:

LICENSED ARCHITECT ANA WILLIAMSON C-24130 STATE OF CALIFORNIA

KRAMER RESIDENCE

90 LA LOMA DRIVE
MENLO PARK, CA 94025
APN: 071-415-470

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DATE: 4/6/2022
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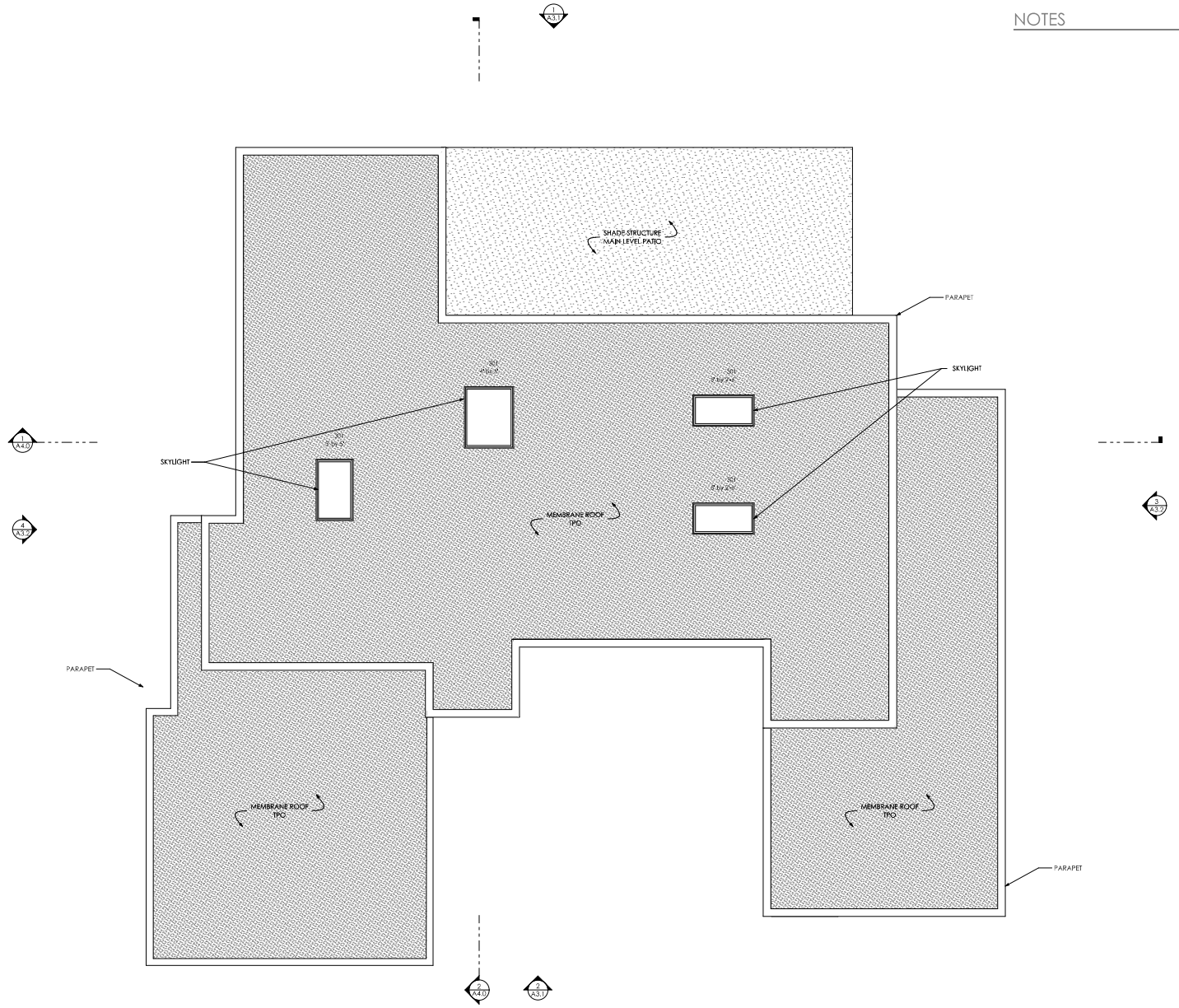

1 ROOF
1/4" = 1'-0"

ANA WILLIAMSON ARCHITECT
885 SANTA CRUZ AVE A, MENLO PARK, CA 94025 t. (650) 328-9577 f. (650) 325-4781

SEAL:

LICENSED ARCHITECT
ANA WILLIAMSON
C-24130
REGISTERED
STATE OF CALIFORNIA

KRAMER RESIDENCE

90 LA LOMA DRIVE
MENLO PARK, CA 94025
APN: 071-415-470

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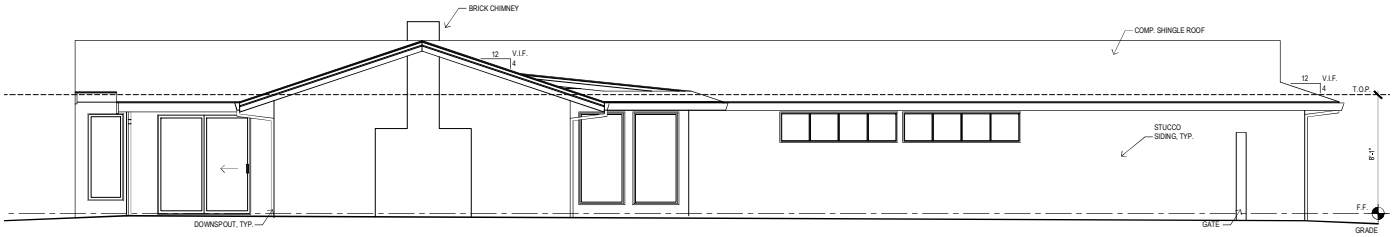
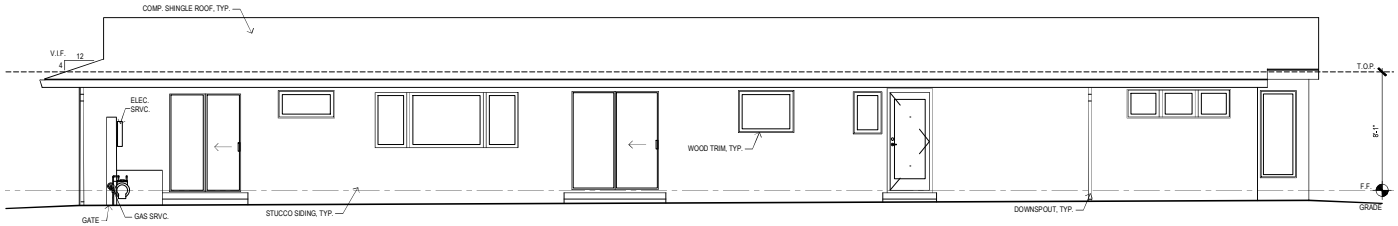
JOB NO. 2110

DRAWING TITLE: ROOF PLAN

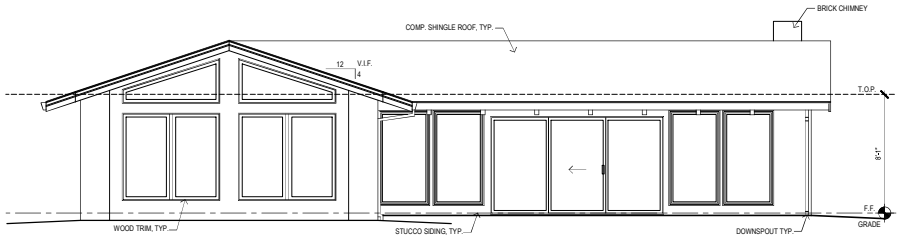
SHEET: A2.4



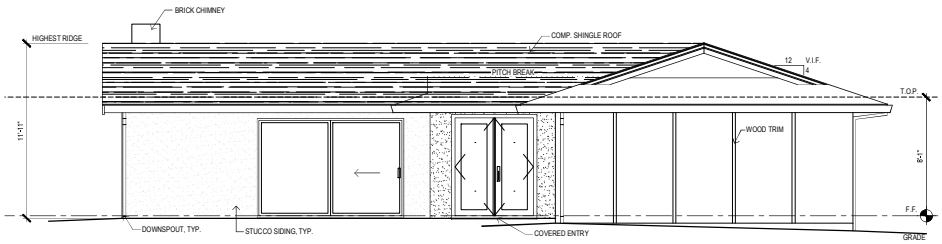
4 EXISTING LEFT / WEST ELEVATION - TO BE DEMOLISHED
1/4" = 1'-0"



3 EXISTING RIGHT / EAST ELEVATION - TO BE DEMOLISHED
1/4" = 1'-0"



2 EXISTING BACK / NORTH ELEVATION - TO BE DEMOLISHED
1/4" = 1'-0"



1 EXISTING FRONT / SOUNTH ELEVATION - TO BE DEMOLISHED
1/4" = 1'-0"

ANA WILLIAMSON ARCHITECT
885 SANTA CRUZ AVE A, MENLO PARK, CA 94025 t. (650) 328 9577 f. (650) 325 4781

SEAL:

LICENSED ARCHITECT
ANA MARIA WILLIAMSON
C-24130
08/22
STATE OF CALIFORNIA

KRAMER RESIDENCE
90 LA LOMA DRIVE
MENLO PARK, CA 94025
APN: 071-415-470

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USE PERMIT	04/06/2022

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JOB NO. 2110
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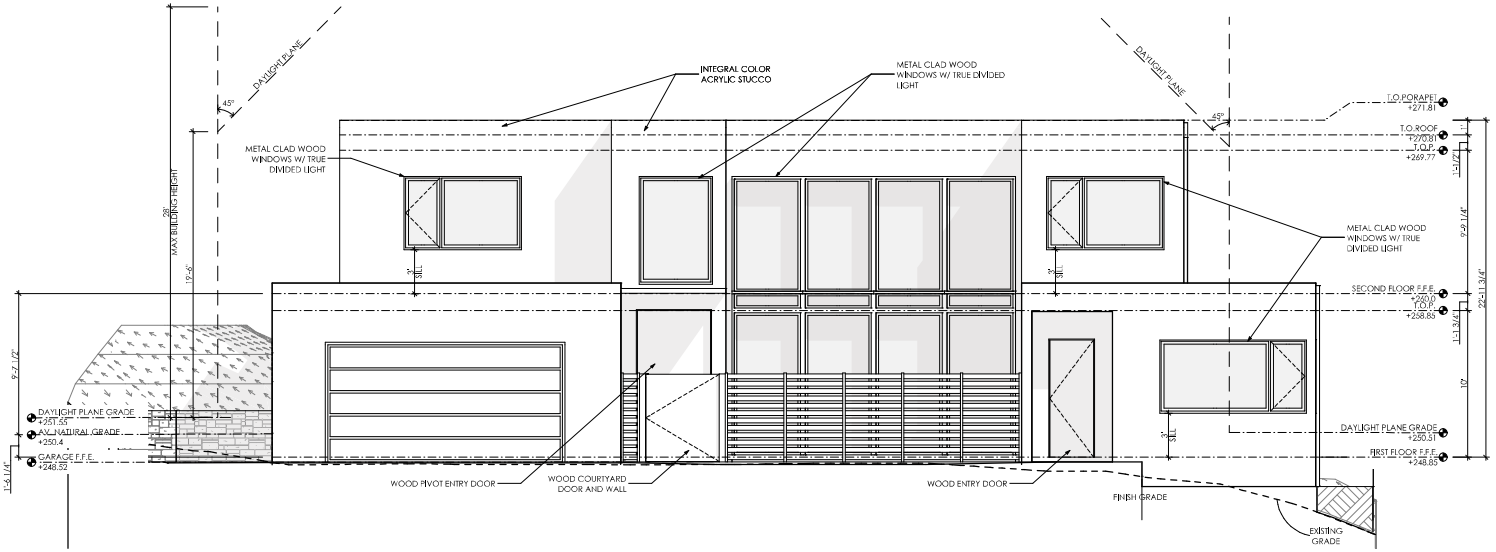
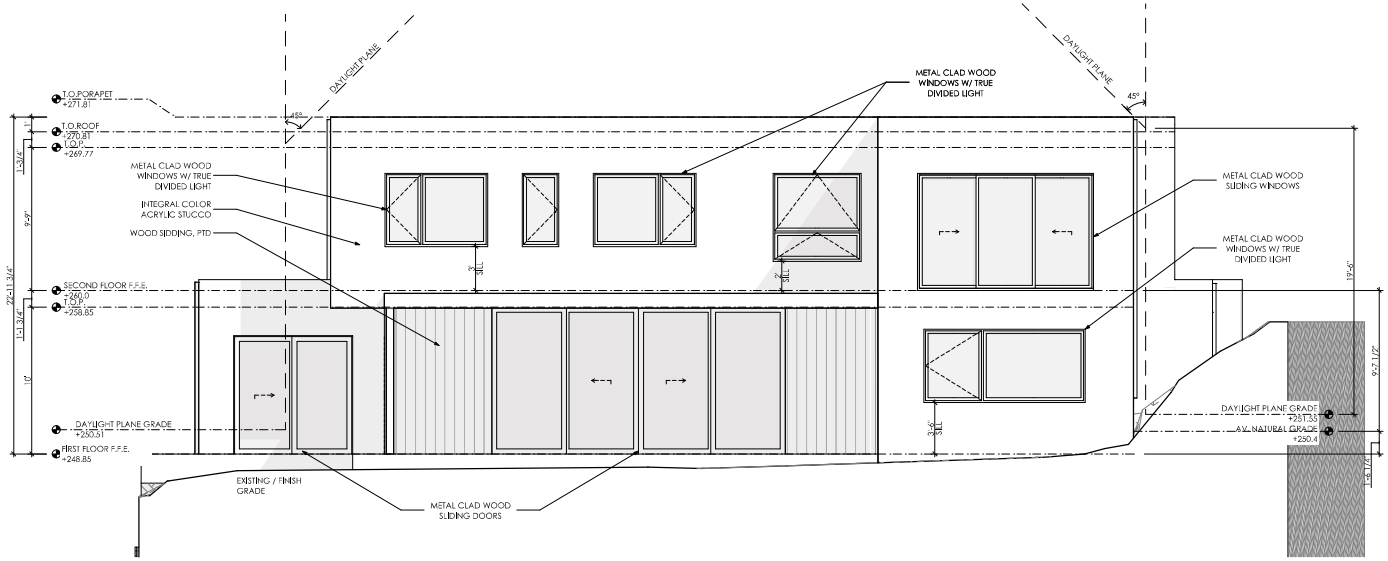
SHEET: A3.0



2 PROPOSED FRONT/SOUTH ELEVATION
1/4" = 1'-0"



1 PROPOSED BACK/NORTH ELEVATION
1/4" = 1'-0"

ANA WILLIAMSON ARCHITECT
885 SANTA CRUZ AVE A, MENLO PARK, CA 94025 t. (650) 328 9577 f. (650) 325 4781

SEAL:

LICENSED ARCHITECT ANA WILLIAMSON C-24130 REGISTERED 2022 STATE OF CALIFORNIA

KRAMER RESIDENCE
90 LA LOMA DRIVE
MENLO PARK, CA 94025
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ISSUE	DATE
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JOB NO. 2110
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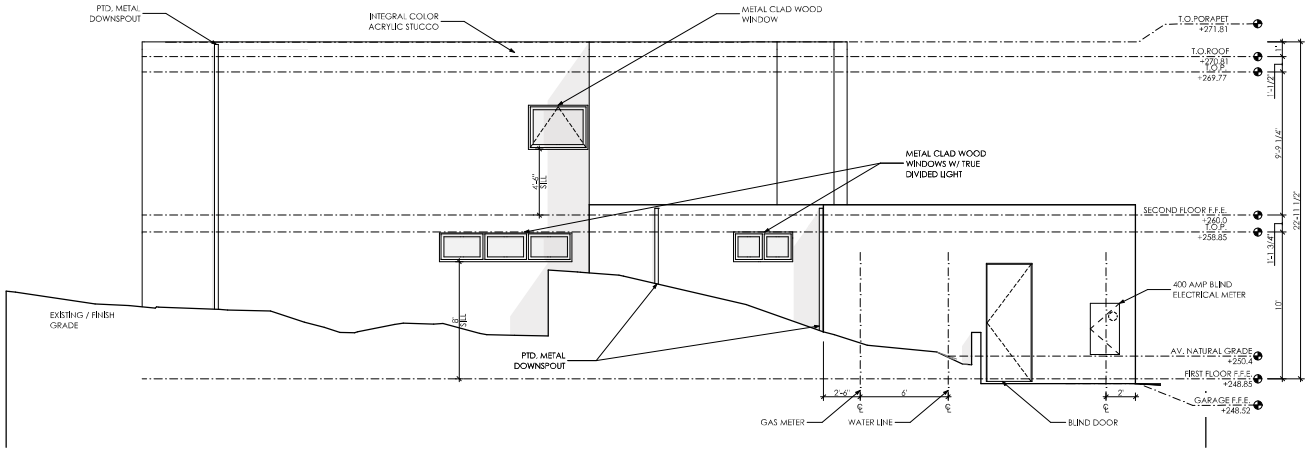
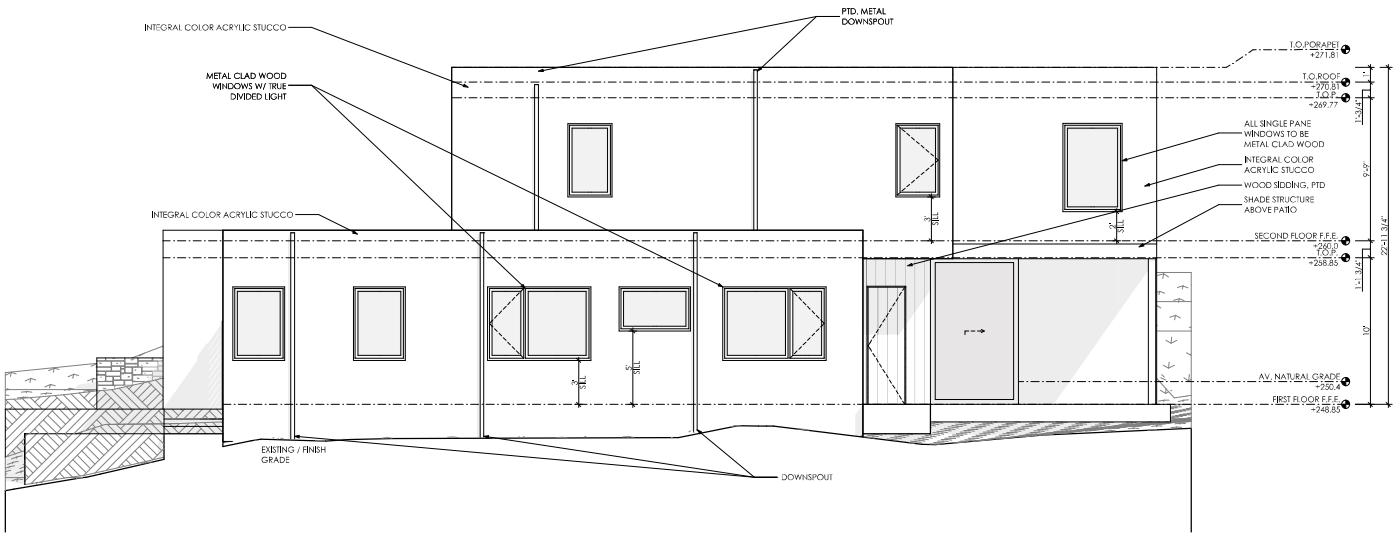
SHEET: A3.1



4 PROPOSED LEFT/WEST ELEVATION
1/4" = 1'-0"



3 PROPOSED RIGHT/EAST ELEVATION
1/4" = 1'-0"

ANA WILLIAMSON ARCHITECT
885 SANTA CRUZ AVE A, MENLO PARK, CA 94025 t. (650) 328 1577 f. (650) 325 4781

SEAL:

LICENSED ARCHITECT ANA WILLIAMSON C-34430 05/22 STATE OF CALIFORNIA

KRAMER RESIDENCE
90 LA LOMA DRIVE
MENLO PARK, CA 94025
APN: 072-152-470

ISSUE	DATE
USE PERMIT	04/06/2022

DRAWN: TV
DATE: 4/6/2022
JOB NO. 2110
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SHEET: A3.2

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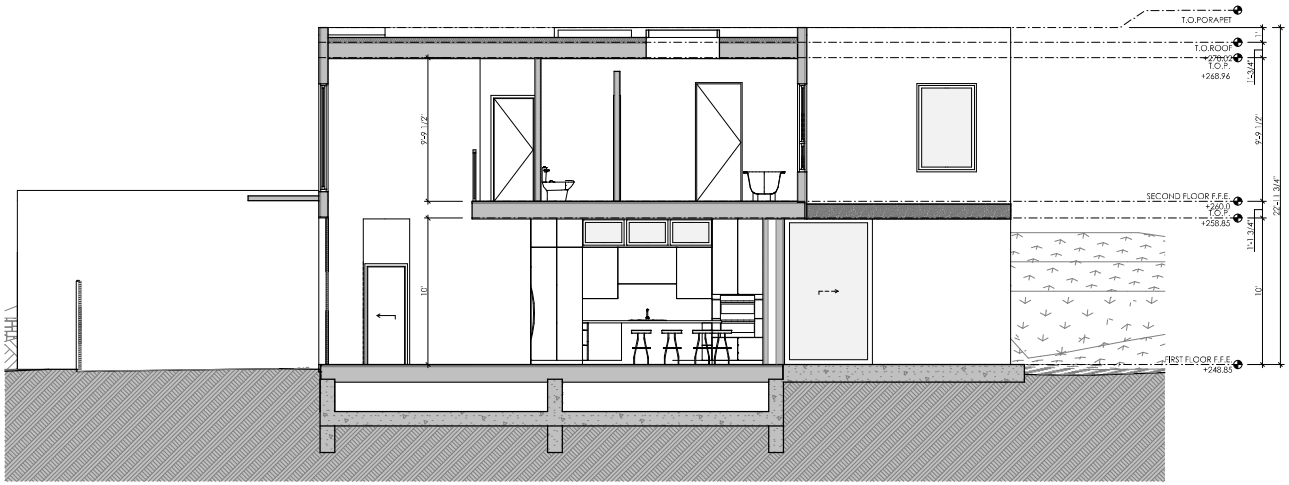
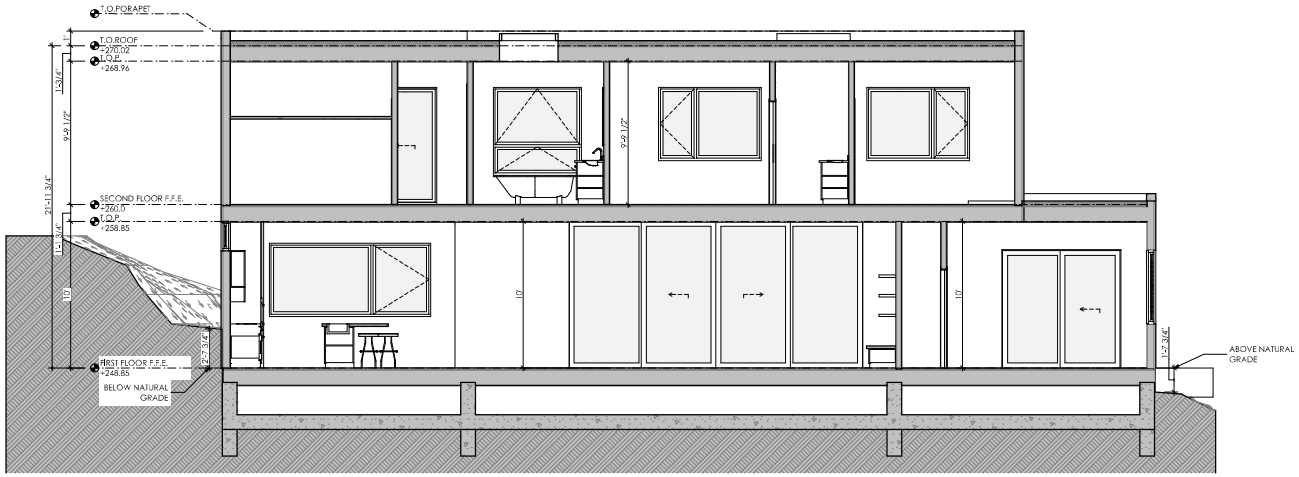


2 PROPOSED CROSS SECTION
1/4" = 1'-0"



1 PROPOSED LONGITUDINAL SECTION
1/4" = 1'-0"

ANA WILLIAMSON ARCHITECT
885 SANTA CRUZ AVE A, MENLO PARK, CA 94025 t. (650) 328-1677 f. (650) 325-4781

SEAL:

LICENSED ARCHITECT ANA WILLIAMSON C-24130 STATE OF CALIFORNIA

KRAMER RESIDENCE
90 LA LOMA DRIVE
MENLO PARK, CA 94025
APN: 072-152-470

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DATE: 4/6/2022

JOB NO. 2110

DRAWING TITLE: PROPOSED SECTIONS

SHEET: A4.0