

Project Description Letter

Project Address: 945 Lee Rd, Menlo Park, CA 94025

Dear Review Committee,

I am writing to formally describe our proposed project located at **945 Lee Rd, Menlo Park**. This project involves the construction of a **new single-family house** to replace the existing home currently on the property.

Purpose of the Proposal

Currently, my family and I live in a **1380-square-foot house** at this location, which no longer meets our needs. The house is small, lacks a garage, and is not suitable for our long-term living requirements. To improve our living environment and better accommodate our family, we plan to **demolish the existing house** and build a **new, larger, and more comfortable home**.

Scope of Work

The scope of work includes:

1. **Demolishing** the existing **1380-square-foot single-family house**.
2. **Constructing** a new **2366-square-foot single-family house**, along with a **new attached two-car garage**.

Architectural Style and Materials

The architectural style for the new home will be a **modern farmhouse**, with **warm white siding** as the primary exterior material. The construction will use **wood framing** and follow **environmentally friendly construction practices** to ensure compliance with all applicable regulations.

Basis for Site Layout

The new house will be **oriented parallel to the street**, aligning with the existing neighborhood pattern to enhance the sense of order and consistency along the street.

Existing and Proposed Uses

The **existing and proposed use** of the property remains **residential**.

Outreach to Neighboring Properties

I believe that good communication with neighbors is an important part of any construction project, so I made the effort to **reach out to my neighbors** both on our street and behind our house to introduce my family and explain our proposed project.

I'm pleased to share that **all our neighbors have expressed their support** for our plans. Specifically:

- **Sue and Sam at 935 Lee Rd** live directly across the street. They were happy to hear about our plans and mentioned they are also considering a future remodel.
- **Whitney and Kyle at 947 Lee Rd**, who built their home in 2020, were supportive and even sent a **formal support email**.
- **Carol at 941 Lee Rd**, the owner of the property to our left, is a retired teacher who previously taught at Oak Knoll School. Though she has since moved to another home in Menlo Park, she expressed her **full support** for our project, sent us a **support email**, and also gave us **permission to remove a tree located along our property boundary**.
- **Sally and Lars at 1356 Johnson**, who live behind us, also sent a **supportive text message** after we reached out.

We appreciate the positive response from our neighbors and look forward to creating a **home that enhances the neighborhood** while meeting our family's needs.

Please find a **document with the neighbor support letters** attached for your reference.

Thank you very much for your time and consideration. I look forward to your review and approval of our proposal.

Sincerely,
Yunwen Zhou
Property Owner
945 Lee Rd, Menlo Park, CA 94025

address: 274 Redwood Shores Pkwy
STE 316
Redwood City CA 94065
phone: 650, 797, 3999
email: logichomeinc@gmail.com

945 NEW RESIDENCE

945 LEE RD, MENLO PARK, CA 94025

945 NEW RESIDENCE

945 LEE DR
MENLO PARK, CA 94025
APN: 071 082 070

PROJECT OWNERS:
YUNWEN ZHOU, HUIREN LI

ADDRESS:
945 LEE DR
MENLO PARK, CA 94025

EMAIL:
ZHOUYUNWEN31@GMAIL.COM,
LIHUIRENWX@GMAIL.COM

PHONE:
217.281.2166, 858.900.8034

PROJECT DATA

ADDRESS : 945 LEE RD, MENLO PARK, CA 94025
A.P.N. : 071-082-070
TYPE OF CONSTRUCTION : V-B
OCCUPANCY : R-3/U
ZONING : R1U
LOT SIZE : 6188
LOT AVERAGE SLOPE : NA
FIRE SPRINKLERS : YES
FLOOD ZONE : NO
TOTAL NUMBER OF UNITS : 1
STORIES : 2
NUMBER OF PARKING : 2 (1 COVERED PARKING)
EASEMENT : NO
DEFERRED SUBMITTAL : FIRE SPRINKLER SYSTEM

PROJECT SUMMARY

	EXISTING	PROPOSED
TOTAL NUMBER OF UNITS	1	1
GFA IN TOTAL	1380	2798
LIVING	1380	2366
GARAGE	0	432
NUMBER OF BEDROOMS	3	4
NUMBER OF BATHROOMS	2	4.5
NUMBER OF COVERED PARKING SPACE	0	2
NUMBER OF UNCOVERED PARKING SPACE	1	2
STORIES	1	2
BUILDING HEIGHT	13'	27' 11 1/2"

ZONING RESTRICTIONS	REQUIRED	PROPOSED
BUILDING HEIGHT	MAX. 28 FT	27' 11 1/2"
STORIES	MAX. 3	2
COVERAGE RATIO	MAX. 35%	28.9%
GFA IN TOTAL	MAX. 2800	2798

MAIN HOUSE SETBACK	REQUIRED	PROPOSED
SETBACK- FRONT	MIN. 20 FT	20' 0"
SETBACK- REAR	MIN. 20 FT	33' 8 1/2"
SETBACK- LEFT	MIN. 5 FT	5' 0 1/2"
SETBACK- RIGHT	MIN. 5 FT	5' 0 1/2"

PROJECT SCOPE

THIS PROJECT IS TO :
1. DEMO A (E) 1380-SF SINGLE FAMILY HOUSE.
2. CONSTRUCT A (N) 2366-SF SINGLE FAMILY HOUSE, AND A (N) ATTACHED 2-CAR GARAGE.

GENERAL NOTES

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTORS TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS INDICATED ON THESE DRAWINGS AND MAKE KNOWN ANY DISCREPANCIES PRIOR TO COMMENCING THEIR WORK.
- THESE DRAWINGS ARE INTENDED FOR USE IN A NEGOTIATED CONSTRUCTION CONTRACT AND, THEREFORE, MAY NOT SPECIFICALLY DETAIL OR SPECIFY MATERIAL AND / OR MANUFACTURERS. THE CONTRACTOR SHALL PROVIDE ALL SAMPLES AND OR CUTS AS REQUIRED TO ASSIST OWNER OR HIS AGENT IN MAKING MATERIAL SELECTIONS. FOR THE PURPOSE OF ESTIMATING, THE CONTRACTORS SHALL USE THE MATERIALS SELECTED BY THE OWNER, OR IN ABSENCE OF SAME, HE SHALL PROVIDE AN ALLOWANCE AMOUNT AND SO CONDITION ANY COST ESTIMATE. ALL MATERIALS SPECIFIED IN THESE DRAWINGS SHALL BE INCLUDED IN SUCH ESTIMATE.
- NO GUARANTEE OF QUALITY OF CONSTRUCTION IS IMPLIED OR INTENDED BY THE ARCHITECTURAL DOCUMENTS, AND THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY OR ALL CONSTRUCTION DEFICIENCIES.
- THE GENERAL CONTRACTOR SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE DESIGNER FROM ANY ACTION INITIATED BY THE INITIAL OWNER OR ANY SUBSEQUENT OWNERS FOR CONSTRUCTION DEFICIENCIES, MODIFICATIONS OR SUCH CONDITIONS WHICH MAY BE BEYOND THE CONTROL OF THE DESIGNER.
- ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND TRADE STANDARDS WHICH GOVERN EACH PHASE OF WORK, INCLUDING BUT NOT LIMITED TO: UNIFORM BUILDING CODES (UBC), UNIFORM MECHANICAL CODE (UMC), NATIONAL ELECTRICAL CODE (NEC), NATIONAL PLUMBING CODE (NPC), AND ALL APPLICABLE LOCAL CODES AND LEGISLATION.
- THE CONTRACTOR SHALL REVIEW AND RECORD THE CONDITIONS OF ALL EXISTING SITE IMPROVEMENTS INCLUDING PAVED AREAS. HE SHALL MAKE KNOWN ALL EXISTING DAMAGED OR DISREPAIRED ITEMS AND CONDITIONS THAT MAY WORSEN DUE TO THE CONSTRUCTION. ALL ITEMS IN GOOD CONDITION SHALL BE MAINTAIN IN THEIR PRESENT CONDITION AND ANY REPAIR OR DAMAGE WHICH OCCURS DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL THOROUGHLY EXAMINE THE SITE AND SATISFY HIMSELF AS OF THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. THE CONTRACTOR SHALL VERIFY AT THE SITE ALL MEASUREMENTS AFFECTING HIS WORK AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF SAME. NO EXTRA COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR THE EXPENSES DUE TO HIS NEGLECT TO EXAMINE OR FAILURE TO DISCOVER CONDITIONS WHICH MAY AFFECT HIS WORK.
- ALL NEW INTERIOR PAINT COLOR, FLOOR, WALLS AND CEILING FINISHES SHALL BE SELECTED BY OWNER AT THE TIME WHEN IT IS NECESSARY FOR THE COMPLETION OF THE PROJECT.
- ALL PUBLIC IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE LATEST ADOPTED CITY STANDARDS. THE STORING OF GOODS AND MATERIALS ON SIDEWALK AND/OR STREET WALL NOT BE ALLOWED UNLESS THE CONTRACTOR HAS APPLIED AND SECURED A SPECIAL PERMIT WHICH ALLOW SUCH STORAGE TO BE PLACED. RETROFIT HOLD-DOWN ANCHORS MAY BE INSPECTED BY THE ENGINEER OF RECORD. THE COR SHALL PROVIDE A LETTER TO THE CITY FIELD INSPECTOR AT THE TIME OF HOLD-DOWN INSPECTION DESCRIBING THE RESULTS OF THE INSPECTION.
- A GRADING PERMIT, IF REQUIRED, WILL BE OBTAINED FROM THE DEPARTMENT OF PUBLIC WORKS.

APPLICABLE CODES

2022 CBC, CRC, CEC, CES, CPC, CMC, CFC, CEC, INCLUDING ALL AMENDMENTS AS ADOPTED IN ORDINANCE 1889.
CALGREEN
CALIFORNIA ENERGY EFFICIENCY STANDARDS
CITY OF MENLO PARK MUNICIPAL CODE 2024
CITY OF MENLO PARK REACH CODE

OBSERVATION & TESTING

- 1.EARTHWORK, SLAB SUBGRADE AND NON-EXPANSIVE FILL PREPARATION BASEMENT DRAINAGE AND BACKFILLING, FOUNDATION, SLAB & DRIVEWAY CONSTRUCTION SITE DRAINAGE AND GEOTECHNICAL OBSERVATION AND TESTING DURING CONSTRUCTION SHALL BE PERFORMED AS RECOMMENDED IN THE GEOTECHNICAL REPORT DATED 08-05-202 BY SILICON VALLEY SOIL ENGINEERING.
- 2.PROPERTY LINE SURVEY AND FIRST FLOOR FINISHED ELEVATION VERIFICATION IF REQUIRED, WILL BE COMPLETED BY A LICENSED SURVEYOR AND PROVIDED TO BUILDING INSPECTOR PRIOR TO FOUNDATION INSPECTION.
- 3.BUILDING HEIGHT VERIFICATION IF REQUIRED, WILL BE COMPLETED BY A LICENSED SURVEYOR AND PROVIDED TO BUILDING INSPECTOR PRIOR TO FRAMING INSPECTION.
- PRIOR TO OCCUPANCY, A LETTER FROM A CERTIFIED GREENPOINT RATER WILL BE PROVIDED TO VERIFY COMPLIANCE WITH THE CHECKLIST AND MINIMUM POINTS REQUIRED.

DRAWING INDEX

- ARCHITECTURAL:**
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A0.3 FLOOR AREA CALCULATIONS
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A1.3 SITE PLAN (1/8"= 1')
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A2.2 PROPOSED FLOOR PLAN_1ST FLOOR(1/4"= 1')
A2.3 PROPOSED FLOOR PLAN_2ND FLOOR(1/4"= 1')
A2.4 ROOF PLANS(1/4"= 1')
A4.1 EXISTING ELEVATIONS (1/4"= 1')
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A4.5 SECTIONS (1/4"= 1')
A4.6 STREETScape (1/8"= 1')

PROJECT DIRECTORY

DESIGNER: LOGIC HOME DEVELOPMENT
ADDRESS: 274 REDWOOD SHORES PKWY, STE 318
REDWOOD CITY CA 94065
PHONE: 650 797 3999
EMAIL: LOGICHOMEINC@GMAIL.COM

PROJECT OWNERS: YUNWEN ZHOU, HUIREN LI
ADDRESS: 945 LEE RD, MENLO PARK, CA 94025
PHONE: 217.281.2166, 858.900.8034
EMAIL: ZHOUYUNWEN31@GMAIL.COM, LIHUIRENWX@GMAIL.COM

VICINITY MAP



CONSTRUCTION HOURS

IT IS UNLAWFUL TO CREATE, PERMIT, ALLOW, OR MAINTAIN A NOISE DISTURBANCE IN THE CITY OF MENLO PARK. CONSTRUCTION NOISE RESTRICTIONS ARE AS FOLLOWS:
BETWEEN THE HOURS OF 7AM AND 10PM, NOISE CANNOT EXCEED 60 dBA AT A RESIDENTIAL PROPERTY LINE.
ALL CONSTRUCTION NOISE DURING THE HOURS OF 8AM AND 6PM, MONDAY THROUGH FRIDAY, IS EXEMPT FROM THE 60 dBA LIMIT. DURING THESE HOURS, NOISE GENERATED BY POWERED EQUIPMENT CANNOT EXCEED 85 dBA MEASURED AT 50 FEET FROM THE SOURCE.
FOR RESIDENTS/PROPERTY OWNERS PERSONALLY UNDERTAKING CONSTRUCTION ACTIVITIES, CONSTRUCTION NOISE IS EXEMPT FROM THE 60 dBA LIMIT DURING THE HOURS OF 9AM TO 5PM, SATURDAYS, SUNDAYS, AND HOLIDAYS. DURING THESE HOURS, NOISE GENERATED BY POWERED EQUIPMENT CANNOT EXCEED 85 dBA MEASURED AT 50 FEET FROM THE SOURCE.

ABBREVIATIONS

A/C	AIR CONDITIONING	FLR	FLOORING	PLYWD	PLYWOOD
ADI	ADJACENT	FOF	FACE OF FINISH	RRC	REINFORCED
AF	ABOVE FINISHED FLOOR	FOS	FACE OF STUDS	RC	CONCRETE
AL	ALUMINUM	FR	FIRE RATED	RD	ROOF DRAIN
ANOD	ANODIZED	FT	FOOT / FEET	REF	REFERENCE
APPROX	APPROXIMATE(LY)	FTG	FOOTING	RM	ROOM
ARCH	ARCHITECTURAL	GA	GAUGE	RO	ROUGH OPENING
BD	BOARD	GALV	GALVANIZED	R	
BLDG	BUILDING	GL	GLASS	SD	SOUTH
BK	BLOCK	GR	GRADE	SD	STORM DRAIN
BOT	BOTTOM	CYP	CYPRESS	SE	SQUARE FOOT
BTU	BRITISH THERMAL UNIT	HB	HOSE BIB	SHT	SHEET (ING)
CEM	CEMENT	HDWR	HARDWARE	SHTG	SHEATHING
CER	CERAMIC	HORIZ	HORIZONTAL	SIM	SIMILAR
CJ	CONTROL JOINT	HW	HOT WATER	SPEC(S)	SPECIFICATIONS
CLG	CEILING	HT	HEIGHT	SSL	STAINLESS STEEL
CLR	CLEAR	HP	HORSEPOWER	STD	STANDARD
CLC	CONCRETE	INSUL	INSULATION	STL	STEEL
CONT	CONTINUOUS	INT	INTERIOR	T	THERMOSTAT
CTR	CENTER	INT	INTERIOR	TEMP	TEMPERED
DBL	DOUBLE	MAX	MAXIMUM	TOP	TOP OF SLAB
DIA	DIAMETER	MCH	MECHANICAL	TYP	TYPICAL
DRM	DRAWING	MFR	MANUFACTURER		
DN	DOWN	MN	MINIMUM		
DR	DOOR	MISC	MISCELLANEOUS		
DWG	DRAWING	MTD	MOUNTED	VERT	VERTICAL
DS	DOWN SPOUT	N	NORTH	VF	VERIFY IN FIELD
E	EAST	NTS	NOT TO SCALE	W/	WITH
(E)	EXISTING	N/A	NOT APPLICABLE	WO	WITHOUT
ELEC	ELECTRICAL	OC	ON CENTER	WC	WATER CLOSET
EQ	EQUAL	OPP	OPPOSITE	WD	WOOD
EXT	EXTERIOR	OSP	OPPOSITE	WH	WATER HEATER
FD	FLOOR DRAIN	PESP	PERPENDICULAR	W.A.	WHERE OCCURS
FDN	FOUNDATION	PL	PROPERTY LINE OR	WR	WATER RESISTANT
FIN	FINISH	PLATE	PLATE	WT	WEIGHT
				SITE	

DESIGN REVIEW 01-31-2025

Rev. Date Issue

Project No: 2024-33

Scale: NA

COVER PAGE

A0.1



**LOGIC HOME
DEVELOPMENT INC.**
DESIGN | CONSTRUCTION

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945 NEW RESIDENCE

945 LEE DR
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APN: 071 082 070

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DESIGN REVIEW 01-31-2025

Rev.	Date	Issue

Project No: 2024-33
Scale: NA
RENDERING

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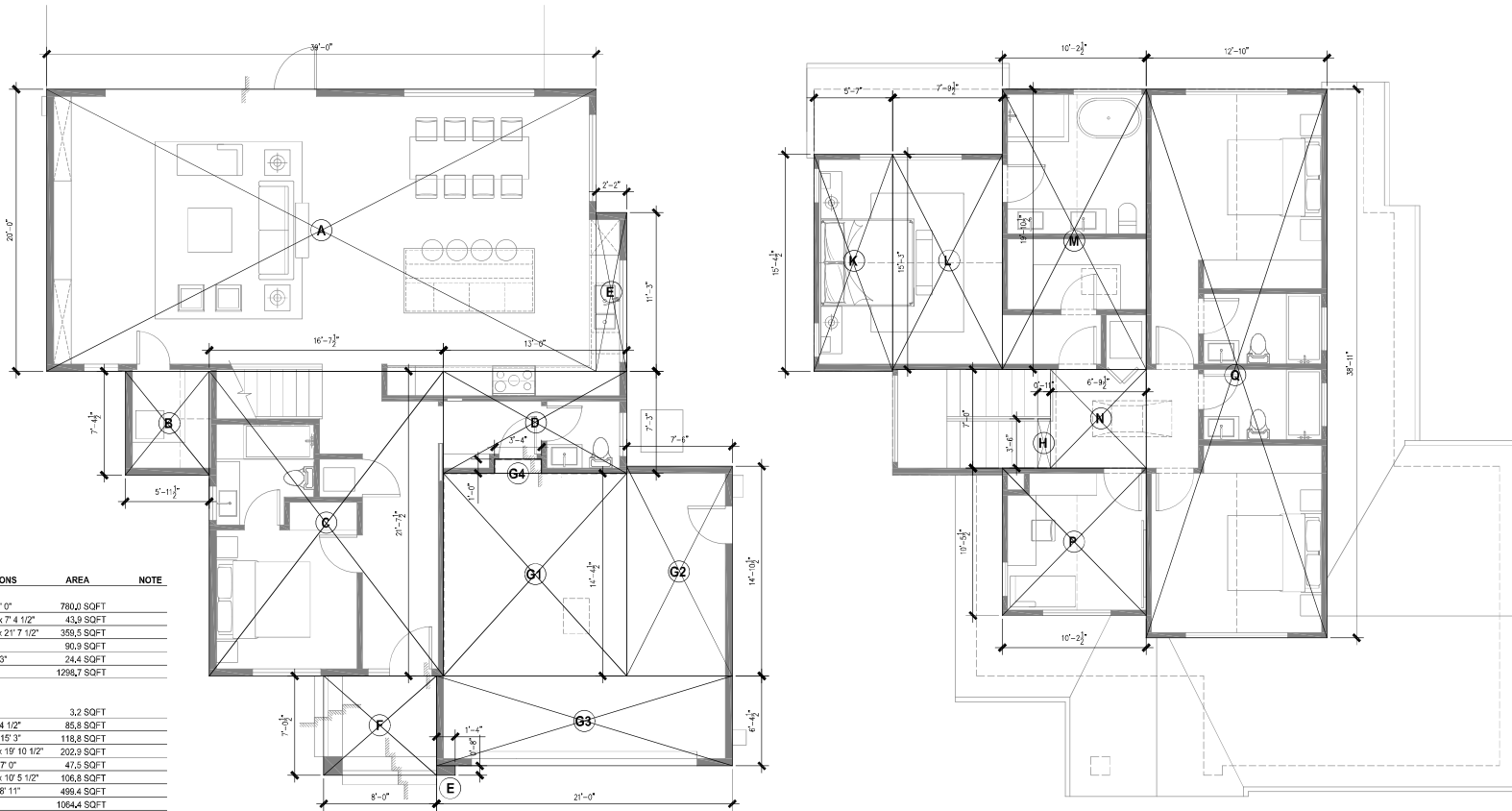
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AREA CALCULATION

LABEL	DIMENSIONS	AREA	NOTE
A	39' 0" x 20' 0"	780.0 SQFT	
B	5' 11 1/2" x 7' 4 1/2"	43.9 SQFT	
C	16' 7 1/2" x 21' 7 1/2"	359.5 SQFT	
D		90.9 SQFT	
E	2' 2" x 11' 3"	24.4 SQFT	
1ST FLOOR		1298.7 SQFT	
H	11" x 3' 6"	3.2 SQFT	
K	5' 7" x 15' 4 1/2"	85.8 SQFT	
L	7' 9 1/2" x 15' 3"	118.8 SQFT	
M	10' 2 1/2" x 19' 10 1/2"	202.9 SQFT	
N	6' 9 1/2" x 7' 0"	47.9 SQFT	
P	10' 2 1/2" x 10' 5 1/2"	106.8 SQFT	
Q	12' 10" x 38' 11"	488.4 SQFT	
2ND FLOOR		1064.4 SQFT	
TOTAL CONDITIONED AREA		2363 SQFT	
GARAGE			
G1	13' 0" x 14' 4 1/2"	186.0 SQFT	
G2	7' 6" x 14' 10 1/2"	111.6 SQFT	
G3	21' 0" x 6' 4 1/2"	133.9 SQFT	
G4	3' 4" x 1' 0"	3.3 SQFT	
TOTAL GARAGE AREA		438 SQFT	
TOTAL GROSS FLOOR AREA		2799 SQFT	
FRONT PORCH			
F	8' 0" x 7' 0 1/2"	56.4 SQFT	
E	1' 4" x 0' 8"	0.9 SQFT	
TOTAL PORCH AREA		57 SQFT	
COVERAGE-BUILDING IN TOTAL		1792 SQFT	
LOT SIZE		6188 SQFT	
LOT COV FRAGF		29%	

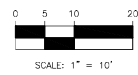
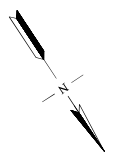
AREA CALCULATION 01

DESIGN REVIEW 01-31-2025

Rev. Date Issue

Project No: 2024-33
Scale: 1/4"=1'-0"
FLOOR AREA CALCULATION

AREA CALCULATION-SUMMARY 02

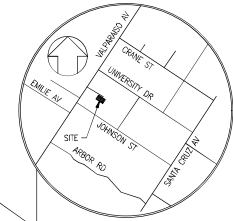


FOUND OUT CROSS
FOR (68 M 15)

JOHNSON STREET

I CERTIFY THAT THIS PARCEL'S BOUNDARY WAS ESTABLISHED BY ME OR UNDER MY SUPERVISION AND IS BASED ON A FIELD SURVEY IN CONFORMANCE WITH THE LAND SURVEYOR'S ACT. ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

Robert Y. Wang
ROBERT Y. WANG, LS 8931



VICINITY MAP
N.T.S.

ABBREVIATION

- AD AREA DRAIN
- A.E. ANCHOR EASEMENT
- AC ASPHALT CONCRETE
- BR BRICK
- C/G CURB & GUTTER
- C CONCRETE
- DI DRAIN INLET
- FF FINISH FLOOR GRADE
- FL FLOWLINE
- GM GAS METER
- LG LP OF GUTTER
- MB MAIL BOX
- P.U.E. PUBLIC UTILITY EASEMENT
- P.S.E. PUBLIC SERVICE EASEMENT
- SDMH STORM DRAIN MANHOLE
- SSCO SANITARY SEWER CLEANOUT
- SSWH SANITARY SEWER MANHOLE
- S/W SIDEWALK
- TC TOP OF CURB
- TRC TOP OF ROLLED CURB
- W.C.E. WIRE CLEARANCE EASEMENT
- WM WATER METER

LEGEND

- PROPERTY LINE
- - - CENTERLINE
- SS UTILITY LINE-TYPE AS NOTED
- STREET LIGHT
- P/C&E UTILITY BOX-TYPE AS NOTED
- WM/GM WATER/GAS METER
- ⊠ WV WATER VALVE
- ▨ CURB CATCH BASIN
- FIRE HYDRANT
- MH MANHOLE-TYPE AS NOTED
- CO SANITARY SEWER CLEANOUT
- OH POWER POLE W/ OVERHEAD WIRE
- BENCHMARK
- CONTOUR LINE
- MON MONUMENT
- 12" TREE-TRUNK DIAMETER IN INCHES
SPECIES NOTED WHEN KNOWN
- GUY WIRE

NOTES:

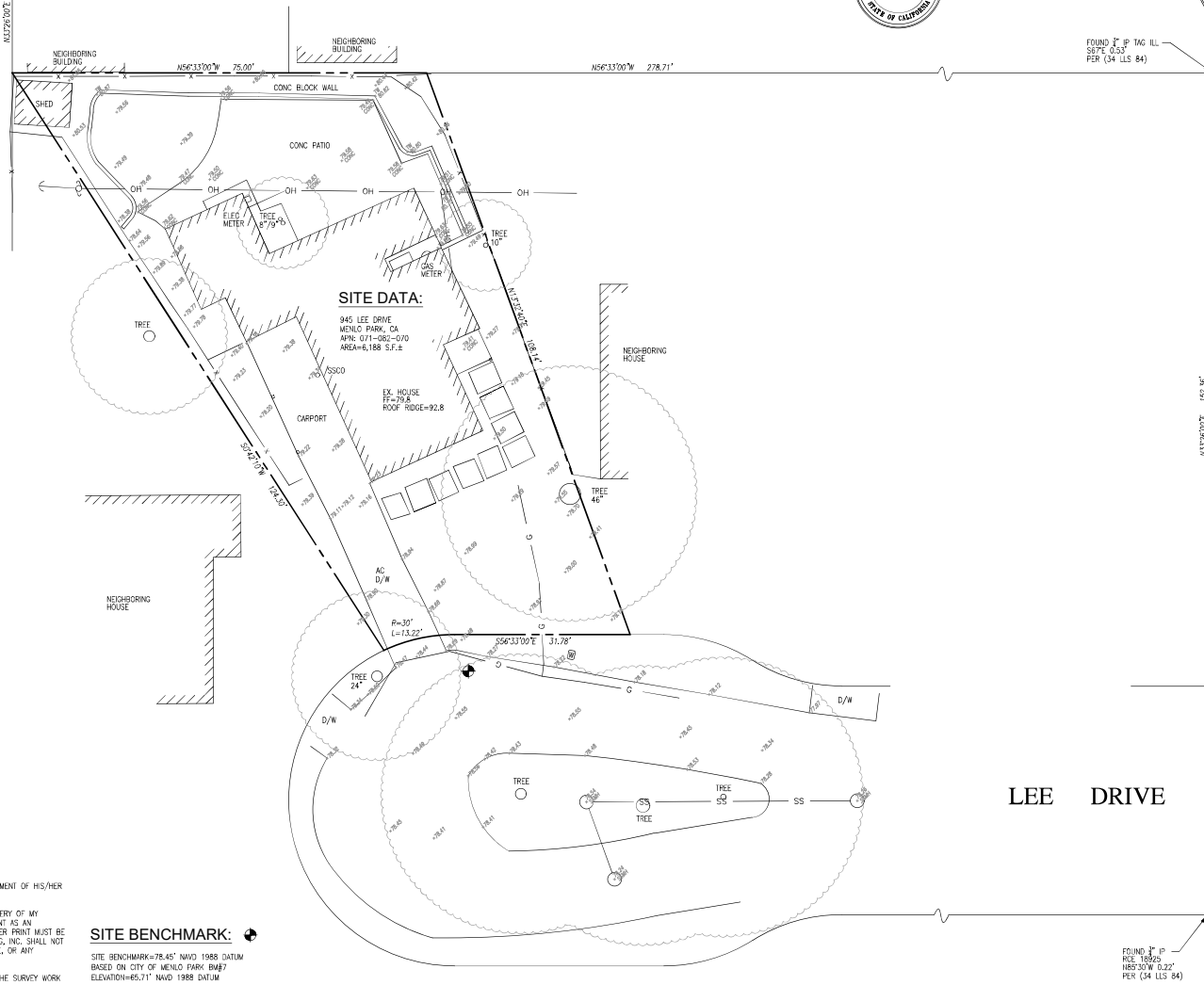
1. THIS ELECTRONIC FILE IS SOLELY FOR THE USE OF THE ARCHITECT FOR THE DEVELOPMENT OF HIS/HER ARCHITECTURAL DRAWINGS TO OBTAIN BUILDING PERMITS.
2. THE DELIVERY OF THIS MAP IN AN ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF MY PROFESSIONAL WORK PRODUCT. THE SIGNED PAPER PRINT IS PROVIDED TO THE CLIENT AS AN INSTRUMENT OF SERVICE. IN EVENT THE ELECTRONIC FILE IS ALTERED, THE SIGNED PAPER PRINT MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT SURVEY INFORMATION. RW ENGINEERING, INC. SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE BY OTHERS TO THE ELECTRONIC FILE, OR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE.
3. THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY AT THE TIME THE SURVEY WORK WAS COMPLETED.
4. UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND AND OVERHEAD UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-462-2465).
5. ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.
6. BUILDING FOOTPRINTS ARE SHOWN AT GROUND LEVEL.
7. FINISH FLOOR ELEVATION TAKEN AT DOOR THRESHOLD (EXTERIOR).

SITE BENCHMARK: ●

SITE BENCHMARK=78.45' NAVD 1988 DATUM
BASED ON CITY OF MENLO PARK BARY
ELEVATION=65.71' NAVD 1988 DATUM

BASIS OF BEARINGS:

BEARINGS SHOWN ARE BASED UPON THE SOUTHWESTERLY RIGHT OF WAY OF VALPARAISO AVENUE AS SHOWN ON THE MAP ENTITLED "PARADISO PARK, SAN MATEO COUNTY, CALIFORNIA" FILE FOR RECORD IN BOOK 10 OF SUBDIVISION MAPS AT PAGES 50-51, SAN MATEO COUNTY RECORDS. BEARING TAKEN AS NORTH 33°26'00" EAST, ESTABLISHED FROM FOUND POINTS SHOWN.



FOUND 1" IP TAG ILL
SØ 7E 05.8"
PER (54 LLS 84)

FOUND 1" IP TAG ILL
SØ 7E 05.8"
PER (54 LLS 84)

LEE DRIVE

VALPARAISO AVENUE

NO.	REVISION	DATE	BY

RW ENGINEERING, INC.
CIVIL ENGINEERS • LAND SURVEYORS
505 ALAMONT DRIVE
MENLO PARK, CA 94025-1666
(760) 460-8244-5555
rwengineering@gmail.com



945 LEE DRIVE
MENLO PARK, CA

TOPOGRAPHIC
& BOUNDARY
SURVEY

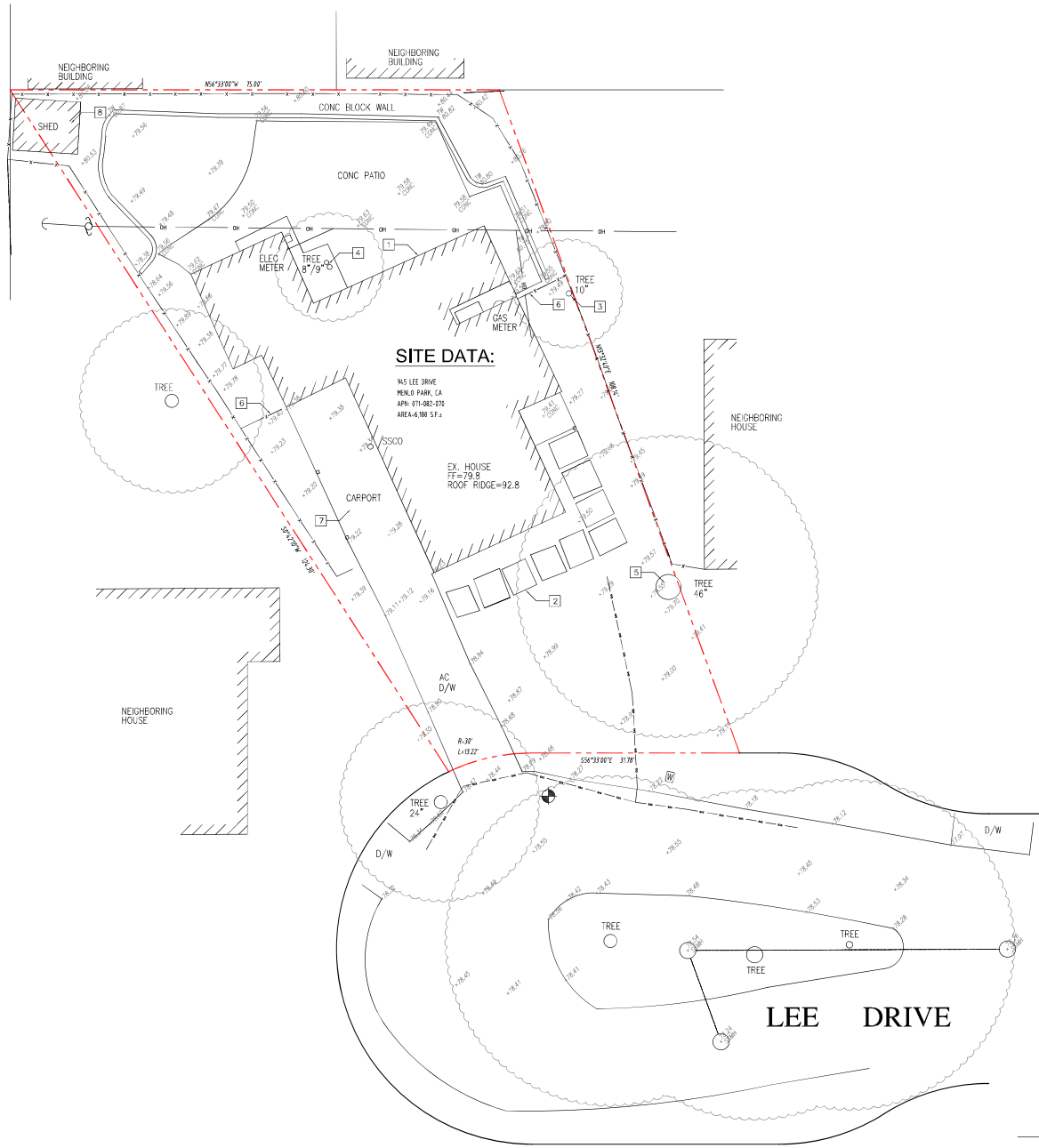
DATE: 8/27/2024
SCALE: AS NOTED
DESIGNED BY: FW
DRAWN BY: RW
SHEET NO.

A1.1

SU-1
OF 1 SHEETS

KEYNOTES

- 1 DEMO (E) BUILDING
- 2 DEMO (E) PAVER
- 3 DEMO (E) 10" GLOSSY PRIVET
- 4 DEMO (E) 16" JAPANESE MAPLE
- 5 DEMO (E) 41" NEIGHBORING DOUGLAS FIR
- 6 DEMO (E) FENCE
- 7 DEMO (E) CONCRETE
- 8 DEMO (E) SHED



SITE DATA:

945 LEE DRIVE
 MENLO PARK, CA
 APN: 071-082-070
 AREA: 4,988 SF ±

EX. HOUSE
 FF = 79.9
 ROOF RIDGE = 92.8

LOGIC HOME DEVELOPMENT INC.
 DESIGN | CONSTRUCTION

address: 274 Redwood Shores Pkwy
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 phone: 650.797.3999
 email: logichomeinc@gmail.com

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 LIHUIRENWX@GMAIL.COM

PHONE:
 217,281,2166, 858,500,8034

DESIGN REVIEW 01-31-2025

Rev.	Date	Issue

Project No: 2024-33
 Scale: 1/8"=1'0"

DEMO SITE PLAN

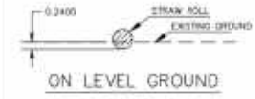
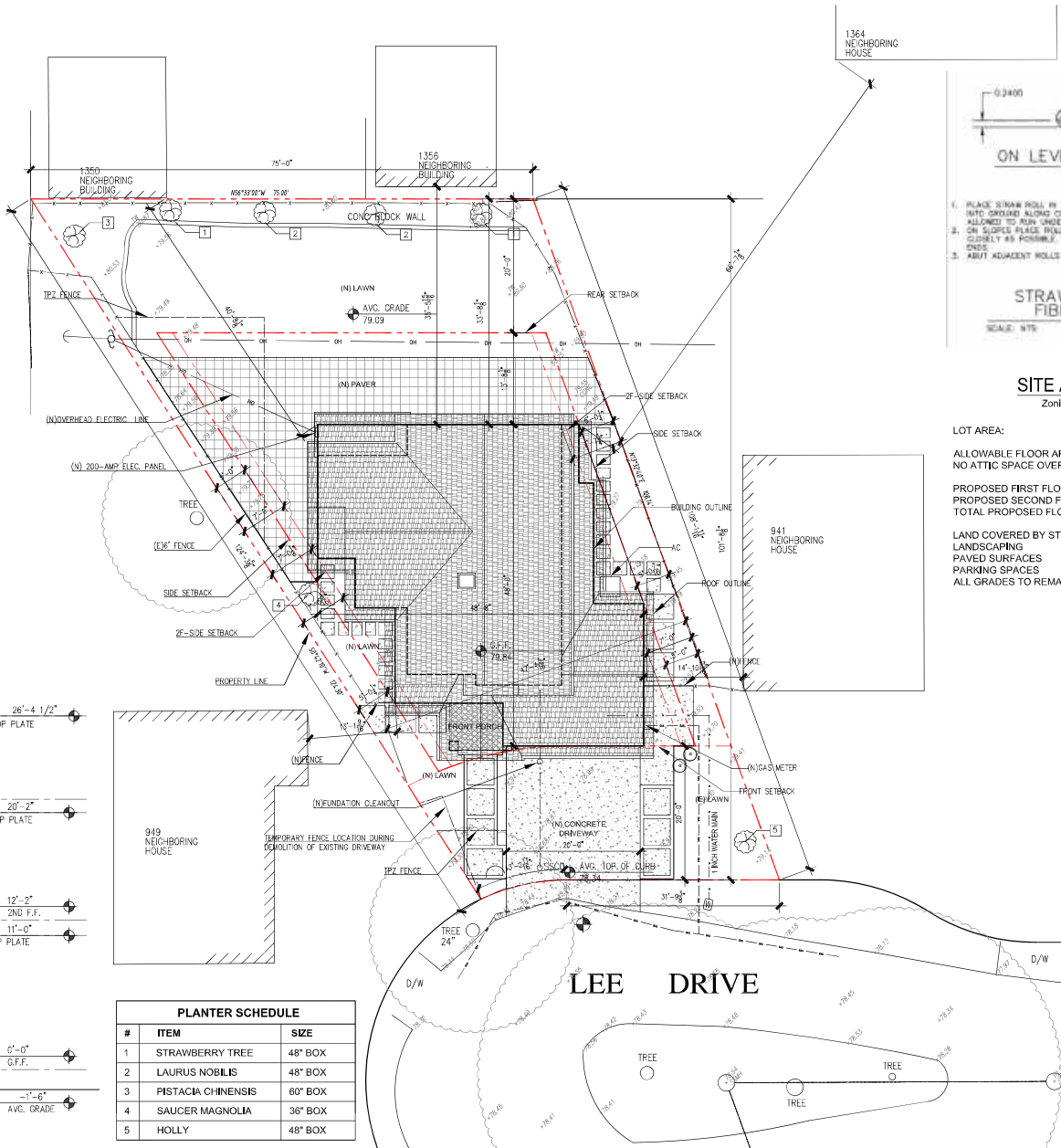


DEMO SITE PLAN 01

A1.2

GENERAL NOTES

- CONTRACTOR SHALL OBTAIN ALL PERMITS NECESSARY TO COMPLETE PROPOSED WORK PER CITY REQUIREMENTS.
- CONTRACTOR SHALL VERIFY ALL GRADES ON SITE, PROPERTY LINES, EASEMENTS, SETBACKS, UTILITIES, SITE IMPROVEMENTS, WEATHERPROOFING AND UNDERGROUND PIPING BEFORE CONSTRUCTION BEGINS.
- WORK WITHIN THE RIGHT OF WAY IS SUBJECT TO INSPECTION AND APPROVAL BY THE CITY. CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE PUBLIC WORKS DEPARTMENT PRIOR TO WORK WITHIN THE RIGHT OF WAY. THIS WORK MAY INCLUDE LANDSCAPING IN THE RIGHT OF WAY, NEW CURB DRAINS, AND PARKING STRIP.
- FINISH GRADES SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURE AND SHALL BE PROPERLY INSTALLED TO PREVENT ANY STANDING WATER. ALL HARDSCAPE SHALL HAVE A MINIMUM GRADE OF 2% UNLESS NOTED OTHERWISE. JUTE MESH EROSION CONTROL NETTING SHALL BE USED ON ALL 3:1 OR GREATER SLOPES & STAKED APPROPRIATELY.
- CONTRACTOR SHALL PROVIDE PROTECTION FOR EXISTING TREES BY INSTALLING TEMPORARY FENCING AROUND THE TREES AS CLOSE AS POSSIBLE TO THE DRIPLINE, IN THE EVENT THAT THE TREE ROOTS OVER 6" ARE DISCOVERED, THE DESIGNER IS RESPONSIBLE FOR LANDSCAPE DESIGN.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL, CIVIL, & OTHER ENGINEERING DRAWINGS & DOCUMENTS FOR WORK IN RELEVANT AREAS.
- THE LANDSCAPE DESIGNER MAY MAKE SITE OBSERVATION DURING CONSTRUCTION BUT SHALL NOT BE UTILIZED TO SUPERVISE CONSTRUCTION ON-SITE.
- THIS PLAN IS NOT A SURVEY OR CONSTRUCTION DOCUMENT. IT IS CONCEPTUAL IN NATURE AND SHOULD BE USED FOR PLANNING PURPOSE.



- PLACE STRAW ROLL IN TRENCH EXCAVATED 1" (25.4) INTO GROUND ALONG CONTOUR. HEAVY MUST NOT BE ALLOWED TO RUN UNDER OR AROUND ROLL.
- ON SLOPES PLACE ROLL TO FOLLOW THE CONTOUR AS CLOSELY AS POSSIBLE. CURVE OVER 1:4 SHALL AT THE ENDS.
- ADJUT ADJACENT ROLLS TOGETHER.

STRAW ROLL OR FIBER ROLL
SCALE: NTS

SITE ANALYSIS
Zoning: R-1-U

LOT AREA:	6,188 sf
ALLOWABLE FLOOR AREA: NO ATTIC SPACE OVER 50"	2,800 sf
PROPOSED FIRST FLOOR AREA:	1,734 sf
PROPOSED SECOND FLOOR AREA:	1,064 sf
TOTAL PROPOSED FLOOR AREA:	2,798 sf
LAND COVERED BY STRUCTURES	29%
LANDSCAPING	42%
PAVED SURFACES	29%
PARKING SPACES	2 COV / 2 UNCOV
ALL GRADES TO REMAIN NATURAL	

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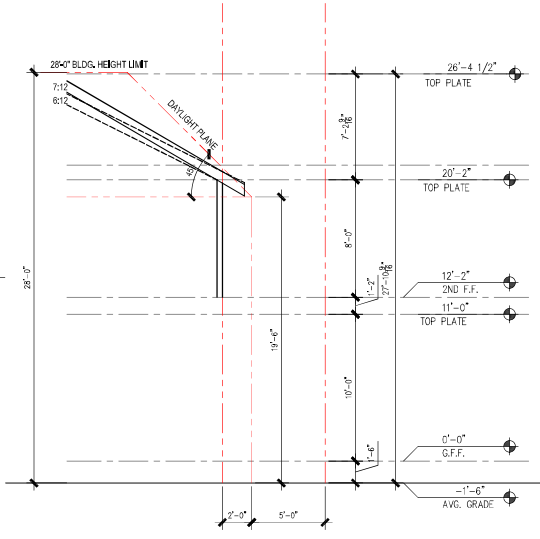
945 NEW RESIDENCE
945 LEE DR
MENLO PARK, CA 94025
APN: 071 082 070

PROJECT OWNERS:
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DAYLIGHT PLANE 02
Scale: 1/8"=1'-0"

PLANTER SCHEDULE		
#	ITEM	SIZE
1	STRAWBERRY TREE	48" BOX
2	LAURUS NOBILIS	48" BOX
3	PISTACIA CHINENSIS	60" BOX
4	SAUCER MAGNOLIA	36" BOX
5	HOLLY	48" BOX

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PROPOSED SITE PLAN 01
Scale: 1/8"=1'-0"

A1.3

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







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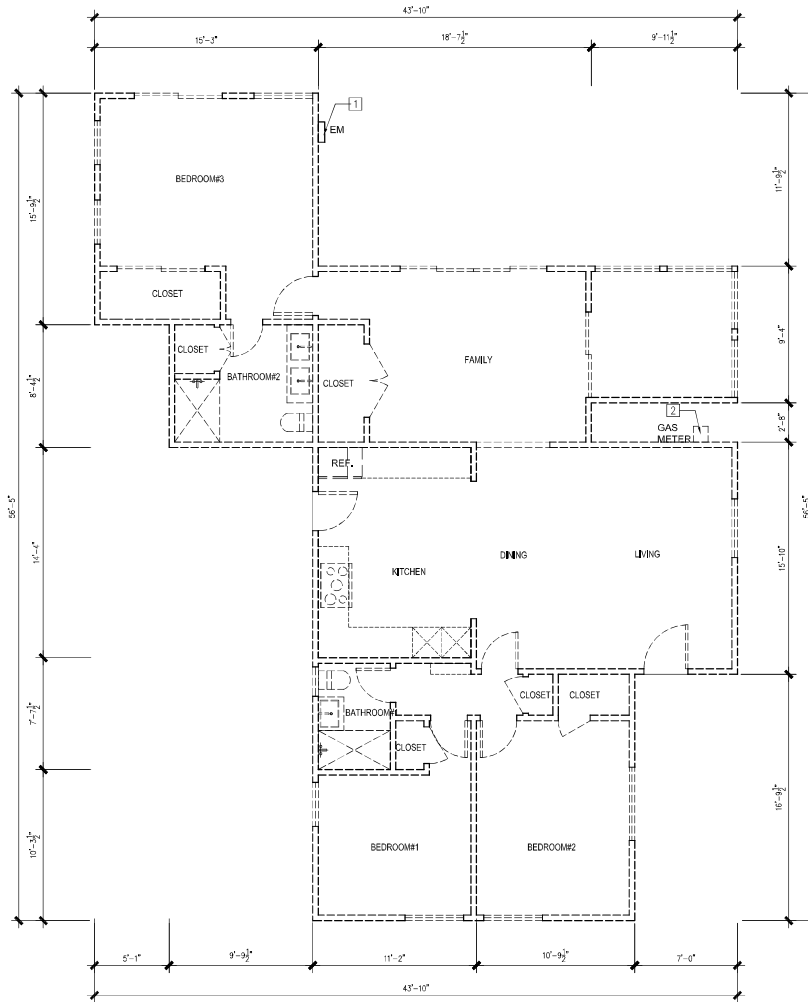
EXISTING FLOOR PLAN

GRAPHIC LEGEND

-  (E) WALL TO REMAIN
-  (E) WALL TO BE REMOVED
-  (E) WINDOW TO REMAIN
-  (E) WINDOW TO BE REMOVED
-  (E) DOOR TO REMAIN
-  (E) DOOR TO BE REMOVED
-  (E) WALL
-  (N) WALL PER GENERAL NOTES
-  (N) WINDOW PER GENERAL NOTES

KEYNOTES

-  (E) 100 AMP. ELEC. PANEL
-  (E) GAS METER

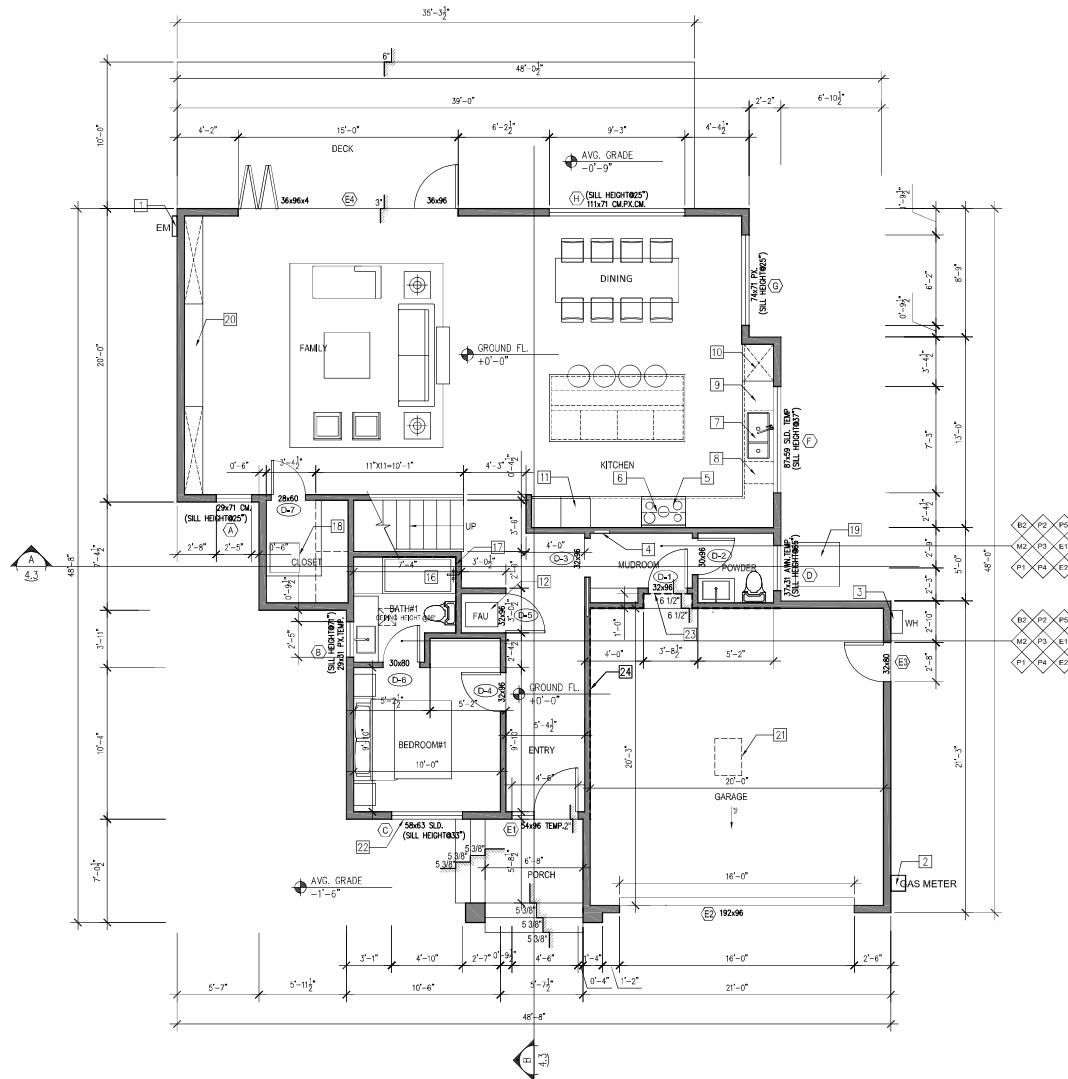


EXISTING FLOOR PLAN 01
SCALE: 1/4"=10"

A2.1

SHEET NOTES

- B1 BUILDING**
PROVIDE LISTED 1 3/8" 20 MINUTE FIRE RESISTIVE DOOR AND FRAME ASSEMBLY WITH A SELF-CLOSING SELF-LATCHING DEVICE ONE HALF OF THE COMMON WALL BETWEEN THE GARAGE SHALL BE OPEN AND UNOBSTRUCTED (CBC 715.4 & TABLE 715.4)
- B2**
PROVIDE APPROVED THE BACKER MATERIALS AND CYCLOIDIC IN BATHROOMS.
A. NON-ABSORBENT FINISH MATERIAL MINIMUM 7" ABOVE THE STANDING SURFACE OF TUBS AND SHOWERS
B. CEMENT FIBER-CEMENT OR GLASS-MAT GYP BACKERS FOR ADHESIVE APPLICATION OF FINISH MATERIALS (EITHER NON-ABSORBENT SHEET MATERIALS) OR PAINT ABOVE FINISHED SURFACE PER MANUFACTURER'S INSTRUCTIONS WITHIN SHOWER STALLS AND BATH TUB SURROUNDS
C. WATER-RESISTANT GYP BOARD SHALL NOT BE USED WITHIN SHOWER STALLS, BATH TUB COMPARTMENTS OR OTHER WET OR HUMID AREAS OR ON CEILING WITH JOISTS GREATER THAN 12" ON CENTER
D. WET OR RESISTANT GYP BACKERS FOR TILE OR PAINT PER MANUFACTURER'S INSTRUCTIONS AT WATER CLOSET COMPARTMENTS
E. REGULAR GYP BOARD FOR TILE OR PAINT ON WALLS AND CEILINGS OTHER ABOVE
- B3** BEDROOM WINDOW FOR EMERGENCY ESCAPE AND RESCUE SHALL HAVE A FINISHED FLOOR TO WINDOW OPENING HEIGHT OF NOT MORE THAN 44" WINDOW SHALL HAVE 20" MIN BY 24" CLEAR OPENING AND OPENING AREA OF 5.73
- B4** PROVIDE 5/8" TYPE-X GYPSUM BOARD UNDER THE INTERIORESTAIRWAY
- B5** PROVIDE 5/8" TYPE-X GYPSUM BOARD AND R-19 INSULATION ON GARAGE CEILING
- M1 MECHANICAL**
PROVIDE MIN. 26 GALV. SHEET METAL HEATING SUPPLY DUCTS AT GARAGE BOTTOM OF HEATING DUCT OR FURNISHING SHALL NOT BE LOWER THAN 7" AND SHALL HAVE NO OPENINGS INTO THE GARAGE
- M2** BATHROOM VENTILATION FAN WITH MINIMUM 50 CFM AND MAXIMUM 100 SCFM SOUND RATING. BOTH FANS SHALL SWITCHED SEPARATELY FROM ANY LIGHTING SYSTEM IN THE VENT SHALL BE 3 FEET AWAY FROM ANY OPENING INTO THE BUILDING
- M3** PROVIDE CLOTHES DRYER MOISTURE EXHAUST DUCT MIN 4" TO THE OUTSIDE AND EQUIP WITH BACK DRAFT DAMPER EXHAUST DUCT SYSTEM IN LINE EXHAUST FAN IS MORE THAN 12" AWAY FROM PROPANE LINE
- M4** PROVIDE DELIVERED DOOR WHERE A CLOSET IS DESIGNED TO BE PROVIDED FOR DOMESTIC CLOTHES DRYER AN OPENING OF NOT LESS THAN 10" CLEAR FOR MAKEUP AIR SHALL BE PROVIDED IN THE DOOR OR BY OTHER APPROVED MEANS (CMC 504.4.1)
- M5** RAISE WATER HEATER 1" ABOVE THE FLOOR STAIR WATER HEATER WITHIN THE UPPER 1/2 AND LOWER 1/2 OF ITS VERTICAL DIMENSION. STRAP AT THE LOWER POINT SHALL BE INSTALLED 4" ABOVE WATER HEATER CONTROL WATER HEATER SHALL BE WRAP WITH R-12 INSULATION
- P1 PLUMBING**
PROVIDE SAFETY GLASS DOOR FOR SHOWER STALL DOOR MUST HAVE MIN. 2" UNOBSTRUCTED OPENING FOR EGRES AND MUST OPEN OUTWARDS
- P2** PROVIDE A 30" SIDE TO SIDE CLR. AND A MIN. 2" IN FRONT OF THEOET NEW TOILET MUST BE WATER CONSERVING 1.28 GAL
- P3** NO PLASTIC PLUMBING PIPE ALLOWED FOR DOMESTIC WATER SUPPLY AND SANITARY WASTE SYSTEM
- P4** SHOWER & TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE HERMETIC OR COMBINATION WITH MAX. MIXING TEMPERATURE OF 120 DEGREES FOR CPC 418
- P5** CONTROL VALVES AND SHOWERHEAD SHALL BE LOCATED ON THE SIDE WALL OF SHOWER COMPARTMENTS OR OTHER WISE ARRANGED SO THAT THE SHOWERHEAD DOES NOT DISCHARGE DIRECTLY AT THE ENTRANCE TO THE COMPARTMENT SO THAT THE BATHER CAN ADJUST THE VALVES PRIOR TO STEPPING INTO THE SHOWER SPRAY PER CPC 408.0
- E1 ELECTRICAL**
AT LEAST ONE 20-AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY BATHROOM / POWDER / LAUNDRY RECEPTACLE OUTLETS
- E2** ALL BATHROOM LIGHTS NEAR SHOWERS & BATH TUBS TO BE VAPOR PROOF RATED
- E3** LIGHT FIXTURES IN LIVING ROOM, DINING ROOM, AND BEDROOM TO BE HIGH EFFICACY OR TO BE CONTROLLED BY DIMMER SWITCHES OR OCCUPANCY SENSORS
- R1 RESIDENTIAL**
AT LEAST ONE 20-AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY BATHROOM / POWDER / LAUNDRY RECEPTACLE OUTLETS MEMBRANE PENETRATION SHALL COMPLY WITH SECTION R302.4.1 WHERE WALLS ARE REQUIRED TO HAVE A FIRE-RESISTANT RATING. RECESSED FIXTURES SHALL BE INSTALLED SO THAT THE REQUIRED FIRE-RESISTANCE RATING WILL NOT BE REDUCED. EXCEPTION: TRY A HORIZONTAL DISTANCE OF NOT LESS THAN 24" WHERE THE WALL OR PARTITION IS CONSTRUCTED WITH INDIVIDUAL NONCOMMUNICATING STUD CAVITIES BY PROTECTING BOTH BOXES WITH LISTED PUTTY PADS. 3) BY SOLID FIREBLOCKS IN ACCORDANCE WITH SECTION R302.11
- R2** DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALL OR CEILING SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MIN. 26 GAGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL NOT HAVE OPENINGS INTO GARAGE



GRAPHIC LEGEND

- (E) WALL TO REMAIN
- (E) WALL TO REMOVE
- (E) WINDOWS TO REMAIN
- (E) WINDOWS TO BE REMOVED
- (E) DOOR TO REMAIN
- (E) DOOR TO BE REMOVED
- (E) WALL
- (E) 2X4 WALL
- (N) WINDOW/SLIDING DOOR
- (N) DOOR

KEYNOTES

- 1 (N) 200 AMP, ELEC. PANEL
- 2 (N) GAS METER
- 3 (N) TANKLESS GAS WATER HEATER
- 4 (N) ELEC. SUBPANEL
- 5 (N) GAS RANGE
- 6 (N) 430CFM MIN VENTED RANGE FAN HOOD TO BE RATED CERTIFIED BY IHL FOR MANUFACTURER CERTIFIED MODEL AIR FLOW AND SOUND RATING. PER MANUFACTURER'S RANGE HOOD TERMINATION LOCATED ON ROOF
- 7 (N) DISPOSER UNDER SINK
- 8 (N) TRASH CAN
- 9 (N) DISHWASHER
- 10 (N) ELEC/MICROWAVE AND BUILT-IN OVEN
- 11 (N) REFRIGERATOR
- 12 (N) GAS FURNACE
- 13 (N) ELEC. DRYER
- 14 (N) WASHER
- 15 (N) SHOWER
- 16 (N) TUB
- 17 (N) GRAB BAR. BLOCKINGS TO BE INSTALLED IN WALLS FOR FUTURE GRAB BARS AT 34" FROM THE FLOOR. THESE BLOCKINGS NEEDS TO BE PROVIDED AROUND THE ENTIRE SHOWER ENCLOSURE AND BEHIND THE WATER CLOSET.
- 18 (N) CRAWL SPACE ACCESS, 18x24 MIN.
- 19 (N) AC
- 20 (N) GAS FIREPLACE
- 21 (N) ATTIC ACCESS, 22x30 MIN.
- 22 (N) WINDOW EGRESS. OPENING MORE THAN 20 INCH IN WIDTH, AND 24 INCH IN HEIGHT. CLEAR AREA GREATER THAN 5.7 SQFT. MAX WINDOW SILL HEIGHT OF 44 INCHES ABOVE THE FLOOR
- 23 (N) DOOR TO GARAGE SHALL BE A SELF-CLOSING AND SELF-LATCHING 20-MINUTE FIRE RATED DOOR
- 24 (N) PROVIDE 1/2" GYPSUM BOARD SEPARATION ON THE GARAGE SIDE ONLY WHERE IT ADJOINS THE DWELLING
- 25 (N) SKYLIGHTS, VELUX F04M220

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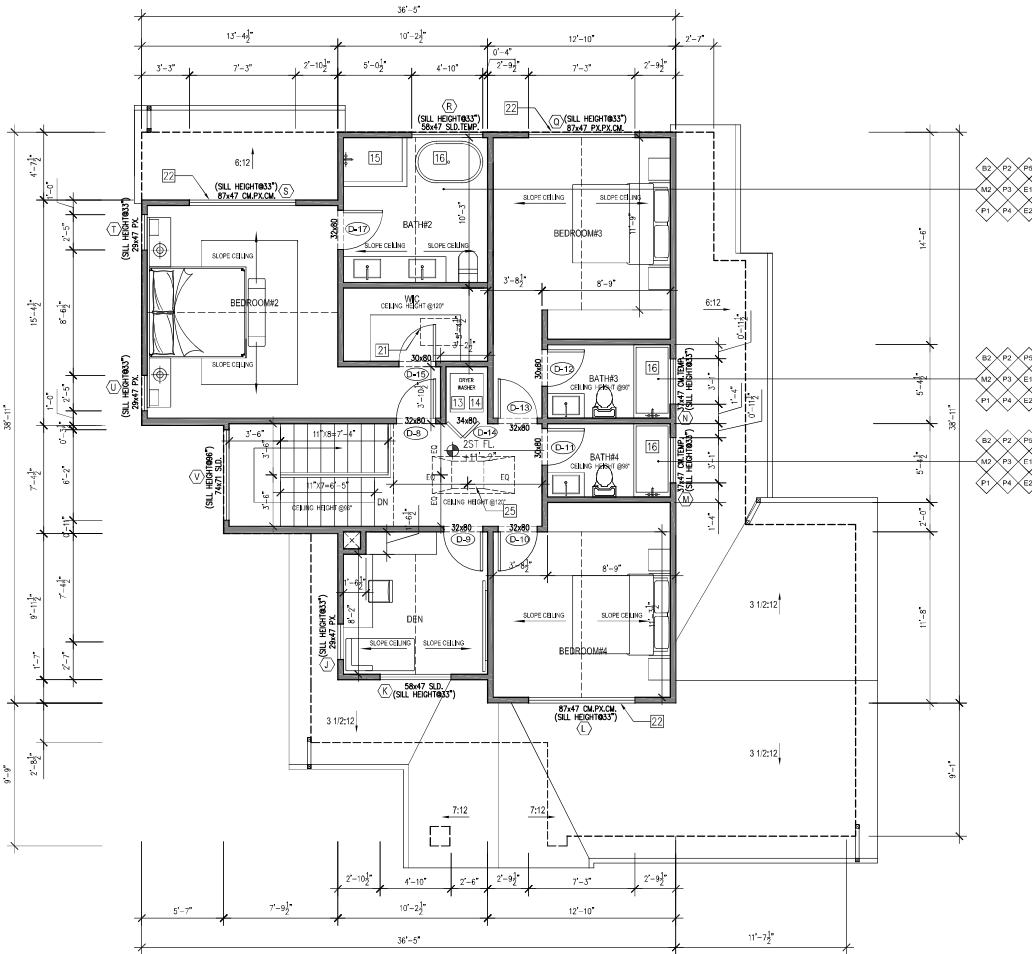
PROPOSED FLOOR PLAN
1ST FLOOR

PROPOSED FLOOR PLAN_1ST FLOOR_01

A2.2

SHEET NOTES

- 81 **BUILDING**
PROVIDE LISTED 1 3/8" 20 MINUTE FIRE RESISTIVE DOOR AND FRAME ASSEMBLY WITH A SELF-CLOSING SELF-LATCHING DEVICE ONE HALF OF THE COMMON WALL BETWEEN THE GARAGE SHALL BE OPEN AND UNOBSTRUCTED (CBC 715.4 & TABLE 715.4)
- 82 PROVIDE APPROVED TILE BACKER MATERIALS AND CYCLOMOR IN BATHROOMS.
A. NON-ABSORBENT FINISH MATERIAL MINIMUM 7" ABOVE THE STANDING SURFACE OF TUBS AND SHOWERS
B. CEMENT FIBER-CEMENT OR GLASS-MAT OVER BACKERS FOR ADHESIVE APPLICATION OF FINISH MATERIALS (TILE, NON-ABSORBENT SHEET MATERIALS) OR PAINT ABOVE FINISHES PER MANUFACTURER'S INSTRUCTIONS WITHIN SHOWER STALLS AND BATH TUB SURROUNDS
C. WATER-RESISTANT GYP BOARD SHALL NOT BE USED WITHIN SHOWER STALLS, BATH TUB COMPARTMENTS OR OTHER WET OR HUMID AREAS OR ON CEILINGS WITH POSTS GREATER THAN 12" ON CENTER
D. TILE OR PAINT PER MANUFACTURER'S INSTRUCTIONS AT WATER-CLOSED COMPARTMENTS
E. REGULAR GYP BOARD FOR TILE OR PAINT ON WALLS AND CEILINGS OTHER ABOVE
- 83 BEDROOM WINDOW FOR EMERGENCY ESCAPE AND RESCUE SHALL BE A FINISHED FLOOR TO WINDOW OPENING HEIGHT OF NOT MORE THAN 44" WINDOW SHALL HAVE 20" MIN BY 24" CLEAR OPENING AND OPENING AREA OF 5.7 SQ FT
- 84 PROVIDE 5/8" TYPE-X GYPSUM BOARD UNDER THE INTERIORESTAIRWAY
- 85 PROVIDE 5/8" TYPE-X GYPSUM BOARD AND R-19 INSULATION ON GARAGE CEILING
- 86 **MECHANICAL**
PROVIDE MIN. 24 GA. GALV. SHEET METAL HEATING SUPPLY DUCTS AT GARAGE BOTTOM OF HEATING DUCT OR BURSTING SHALL NOT BE LOWER THAN 7" AND SHALL HAVE NO OPENINGS INTO THE GARAGE
- 87 BATHROOM VENTILATION FAN WITH MINIMUM 50 CFM AND MAXIMUM 1 SCF SOUND RATING 120 DB(A) SHALL BE SWITCHED SEPARATELY FROM ANY LIGHTING SYSTEM THE VENT SHALL BE 3 FEET AWAY FROM THE PROPERTY LINE AND 3 FEET AWAY FROM ANY OPENING INTO THE BUILDING
- 88 PROVIDE CLOTHES DRYER MOISTURE EXHAUST DUCT MIN. 4" TO THE OUTSIDE AND EQUIP WITH BACK-DRAFT DAMPER EXHAUST DUCT OR PROVIDE IN-LINE BOOSTER FAN NO MORE THAN 14' AWAY FROM PROP LINE & OPENINGS
- 89 PROVIDE LOJERED DOOR WHERE A CLOSET IS LOCATED FOR THE INSTALLATION OF DOMESTIC CLOTHES DRYER AN OPENING OF NOT LESS THAN 10" SQ. IN. FOR MAKEUP AIR SHALL BE PROVIDED IN THE DOOR OR BY OTHER APPROVED MEANS (CMC 504.4.1)
- 90 RAISE WATER HEATER TO 18" ABOVE THE FLOOR STRAP WATER HEATER WITHIN THE UPPER 1/2 AND LOWER 1/2 OF ITS VERTICAL DIMENSION STRAP AT THE LOWER POINT SHALL BE INSTALLED 4" ABOVE WATER HEATER CONTROL WATER HEATER SHALL BE WRAP WITH R-12 INSULATION
- 91 **PLUMBING**
PROVIDE SAFETY GLASS DOOR FOR SHOWER STALL DOOR MUST HAVE MIN. 2" UNOBSTRUCTED OPENING FOR EGRES AND MUST OPEN OUTWARDS
- 92 PROVIDE A 30" SIDE TO SIDE CLR. AND A MIN. 24" IN FRONT OF THEOET NEW TOILET MUST BE WATER CONSERVING 1.28 GAL
- 93 NO PLASTIC PLUMBING PIPE ALLOWED FOR DOMESTIC WATER SUPPLY AND SANITARY WASTE SYSTEM
- 94 SHOWER & TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE-BALANCE THERMOSTATIC OR COMBINATION WITH MAX. MIXING TEMPERATURE OF 120 DEGREES PER CPC 418
- 95 CONTROL VALVES AND SHOWERHEAD SHALL BE LOCATED ON THE SIDE WALL OF SHOWER COMPARTMENTS OR OTHER WISE ARRANGED SO THAT THE SHOWERHEAD DOES NOT DISCHARGE DIRECTLY AT THE ENTRANCE TO THE COMPARTMENT SO THAT THE BATHER CAN ADJUST THE VALVES PRIOR TO STEPPING INTO THE SHOWER SPRAY PER CPC 408.0
- 96 **ELECTRICAL**
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- 97 ALL BATHROOM LIGHTS NEAR SHOWERS & BATH TUBS TO BE VAPOR PROOF RATED
- 98 LIGHT FIXTURES IN LIVING ROOM, DINING ROOM, AND BEDROOM TO BE HIGH EFFICACY OR TO BE CONTROLLED BY DIMMER SWITCHES OR OCCUPANCY SENSORS
- 99 **RESIDENTIAL**
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- 100 DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALL OR CEILINGSS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MIN. 26 GA. SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL NOT HAVE OPENINGS INTO GARAGE



GRAPHIC LEGEND

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- (E) WALL TO REMOVE
- (E) WINDOWS TO REMAIN
- (E) WINDOWS TO BE REMOVED
- (E) DOOR TO REMAIN
- (E) DOOR TO BE REMOVED
- (E) WALL
- (E) 2X4 WALL
- (N) WINDOW/SLIDING DOOR
- (N) DOOR

KEYNOTES

- 17 (N) 200 AMP, ELEC. PANEL
- 18 (N) GAS METER
- 19 (N) TANKLESS GAS WATER HEATER
- 20 (N) ELEC. SUBPANEL
- 21 (N) GAS RANGE
- 22 (N) 430 CFM MIN VENTED RANGE FAN HOOD TO BE RATED CERTIFIED BY IHL FOR MANUFACTURER CERTIFIED MODEL #FR FLOW AND SOUND RATING. PER TERMINATION LOCATED ON ROOF
- 23 (N) DISPOSER UNDER SINK
- 24 (N) TRASH CAN
- 25 (N) DISHWASHER
- 26 (N) ELEC/MICROWAVE AND BUILT-IN OVEN
- 27 (N) REFRIGERATOR
- 28 (N) GAS FURNACE
- 29 (N) ELEC. DRYER
- 30 (N) WASHER
- 31 (N) SHOWER
- 32 (N) TUB
- 33 (N) GRAB BAR. BLOCKINGS TO BE INSTALLED IN WALLS FOR FUTURE GRAB BARS AT 34" FROM THE FLOOR. THESE BLOCKINGS NEEDS TO BE PROVIDED AROUND THE ENTIRE SHOWER ENCLOSURE AND BEHIND THE WATER CLOSET.
- 34 (N) CRAWL SPACE ACCESS, 18x24 MIN.
- 35 (N) AC
- 36 (N) GAS FIREPLACE
- 37 (N) ATTIC ACCESS, 22x30 MIN.
- 38 (N) WINDOW EGRESS. OPENING MORE THAN 20 INCH IN WIDTH, AND 24 INCH IN HEIGHT. CLEAR AREA GREATER THAN 5.7 SQ FT. MAX WINDOW SILL HEIGHT OF 44 INCHES ABOVE THE FLOOR
- 39 (N) DOOR TO GARAGE SHALL BE A SELF-CLOSING AND SELF-LATCHING 20-MINUTE FIRE RATED DOOR
- 40 (N) PROVIDE 1/2" GYPSUM BOARD SEPARATION ON THE GARAGE SIDE ONLY WHERE IT ADJONS THE DWELLING
- 41 (N) SKYLIGHTS, VELUX F04M220

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PROPOSED FLOOR PLAN
2ND FLOOR

PROPOSED FLOOR PLAN_2ND FLOOR 01
DATE: 01-31-2025

A2.3

ATTIC VENTILATION CALCS

ATTIC AREA (2F)	315 SQFT
315/150	= 2.10
x 144	= 302 SQ. IN REQ.
UPPER VENTILATION REQ. (50%)	= 151 SQ. IN
(3) "O-HAGIS" LOW-PROFILE COMPOSITION VENTS @ 72 SQ. IN. VENT AREA EA.	= 216 SQ. IN
LOWER VENTILATION REQ.	= 151 SQ. IN
(3) LIN. FT. OF EAVE BLOCKING AT THREE 2" DIA. HOLE PER EAVE BLOCK@4.41 SQ.IN./LIN.FT.	= 83 SQ. IN
(1) "O-HAGIS" LOW-PROFILE COMPOSITION VENTS @ 72 SQ. IN. VENT AREA EA.	= 72 SQ. IN
TOTAL VENTILATION PROVIDED	= 371 SQ. IN

ATTIC AREA (1F RIGHT)	392 SQFT
392/150	= 2.61
x 144	= 376 SQ. IN REQ.
UPPER VENTILATION REQ. (50%)	= 188 SQ. IN
(3) "O-HAGIS" LOW-PROFILE COMPOSITION VENTS @ 72 SQ. IN. VENT AREA EA.	= 216 SQ. IN
LOWER VENTILATION REQ.	= 188 SQ. IN
(43) LIN. FT. OF EAVE BLOCKING AT THREE 2" DIA. HOLE PER EAVE BLOCK@4.41 SQ.IN./LIN.FT.	= 190 SQ. IN
TOTAL VENTILATION PROVIDED	= 406 SQ. IN

KEYNOTES

- 1 (N) DOWNSPROUTS
- 2 (N) GUTTER
- 3 (N) SKYLIGHTS: VELUX FCM 3030

KEYNOTES

- (N) 30-YEAR CLASS A FIRE RESISTANT RATING SHINGLE ROOF - RADIANT BARRIER ROOF SHEATHING TO BE INSTALLED, PER ENERGY CODE COMPLIANCE DOCUMENTATION
- VAULTED CEILING WITH FOAM INSULATION. NO VENTILATION REQUIRED
IDI ULTRA-PURE™ LOW VOC, ECO-FRIENDLY SPRAY FOAM. R VALUE 7.2 PER INCH.

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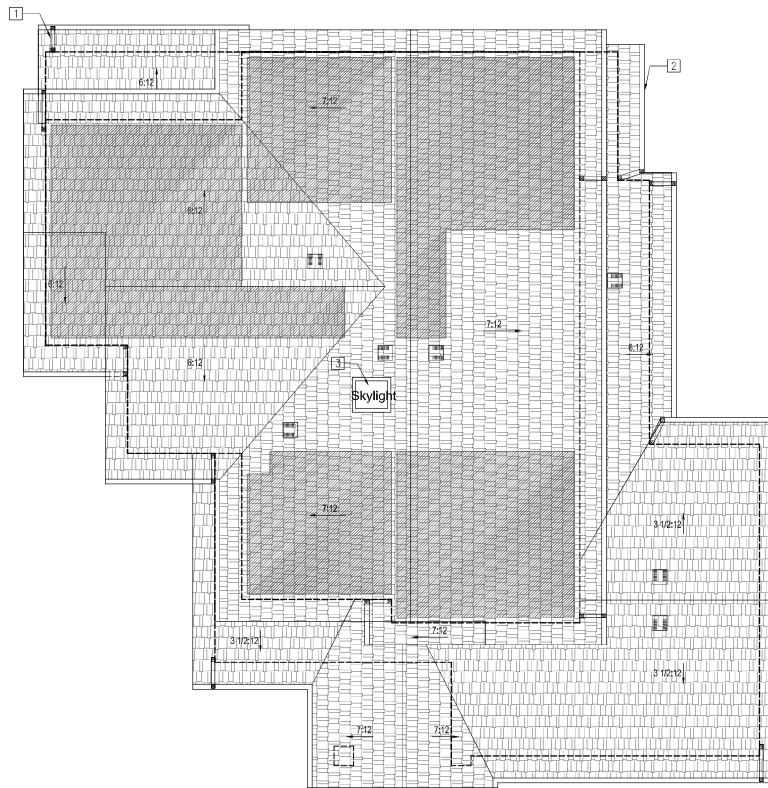
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ROOF PLAN 01
Scale: 1/4"=1'-0"

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ROOF PLAN

A2.4

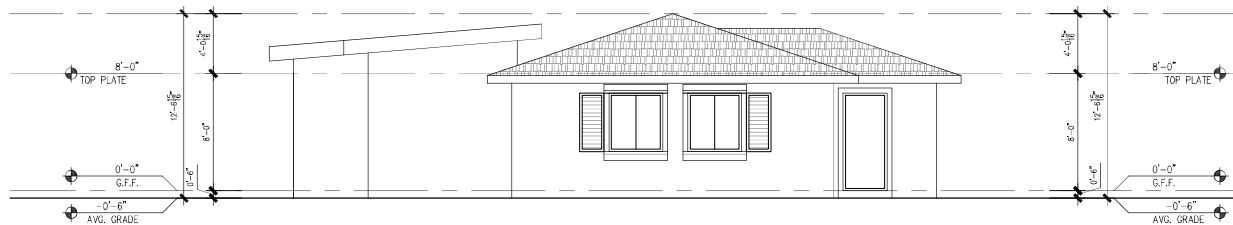
945 NEW RESIDENCE

945 LEE DR
MENLO PARK, CA 94025
APN: 071 082 070

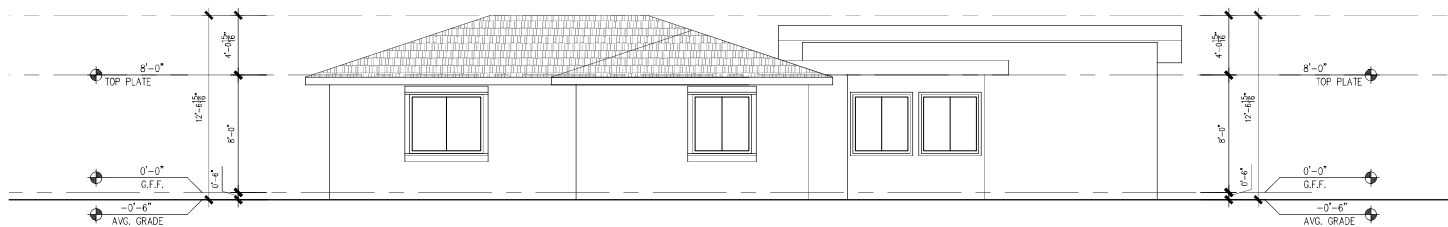
PROJECT OWNERS:
YUNWEN ZHOU, HUIREN LI
ADDRESS:
945 LEE DR
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EMAIL:
ZHOUYUNWEN31@GMAIL.COM,
LIHUIRENWX@GMAIL.COM

PHONE:
217,281,2166, 858,500,8034



EXISTING FRONT ELEVATION 01
Scale: 1/4"=1'-0"



EXISTING RIGHT ELEVATION 02
Scale: 1/4"=1'-0"

DESIGN REVIEW 01-31-2025

Rev.	Date	Issue

Project No: 2024-33
Scale: 1/4"=1'-0"
EXISTING ELEVATIONS

LOGIC HOME DEVELOPMENT INC.
DESIGN | CONSTRUCTION

address: 274 Redwood Shores Pkwy
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email: logichomeinc@gmail.com

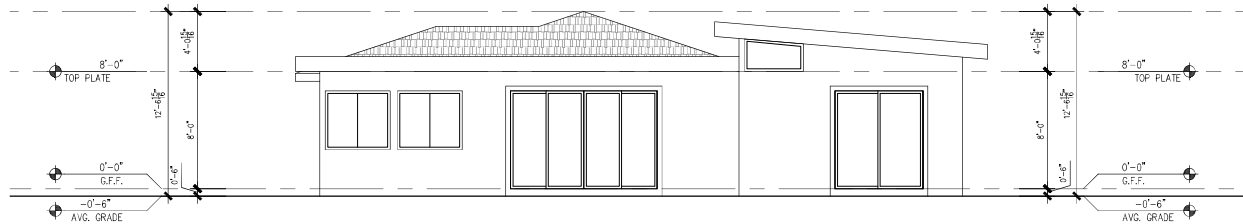
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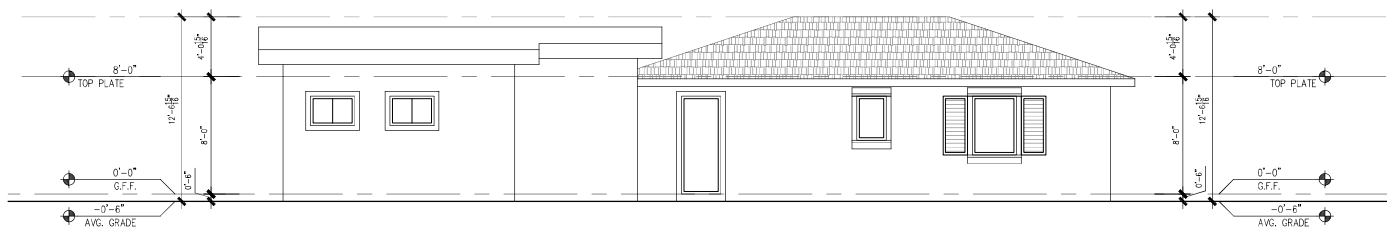
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EXISTING REAR ELEVATION 01
Scale: 1/4"=1'-0"



EXISTING LEFT ELEVATION 02
Scale: 1/4"=1'-0"

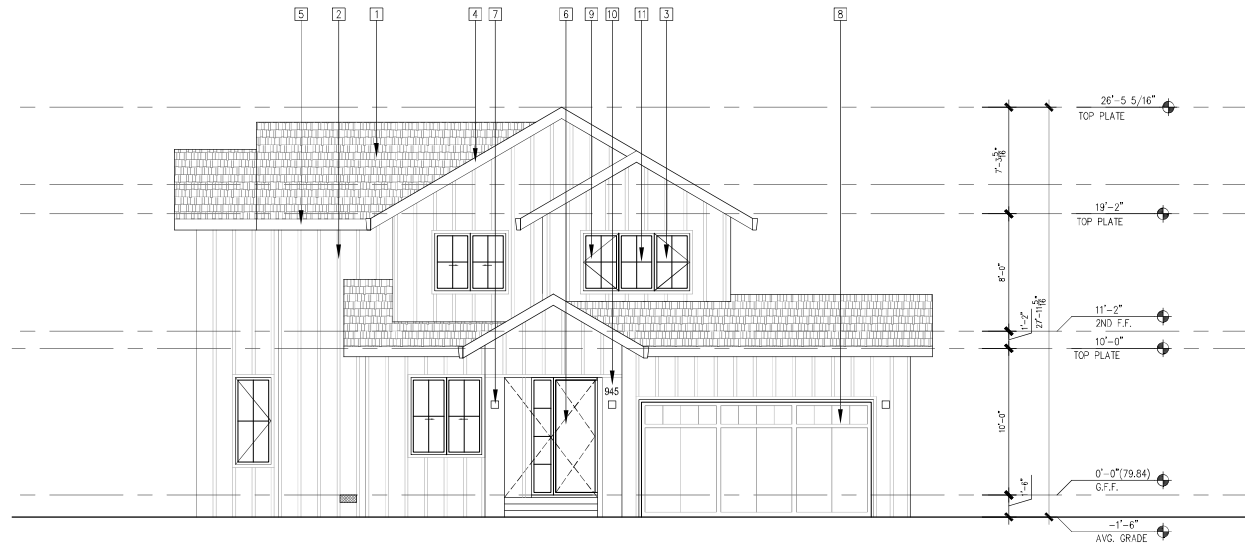
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Rev.	Date	Issue

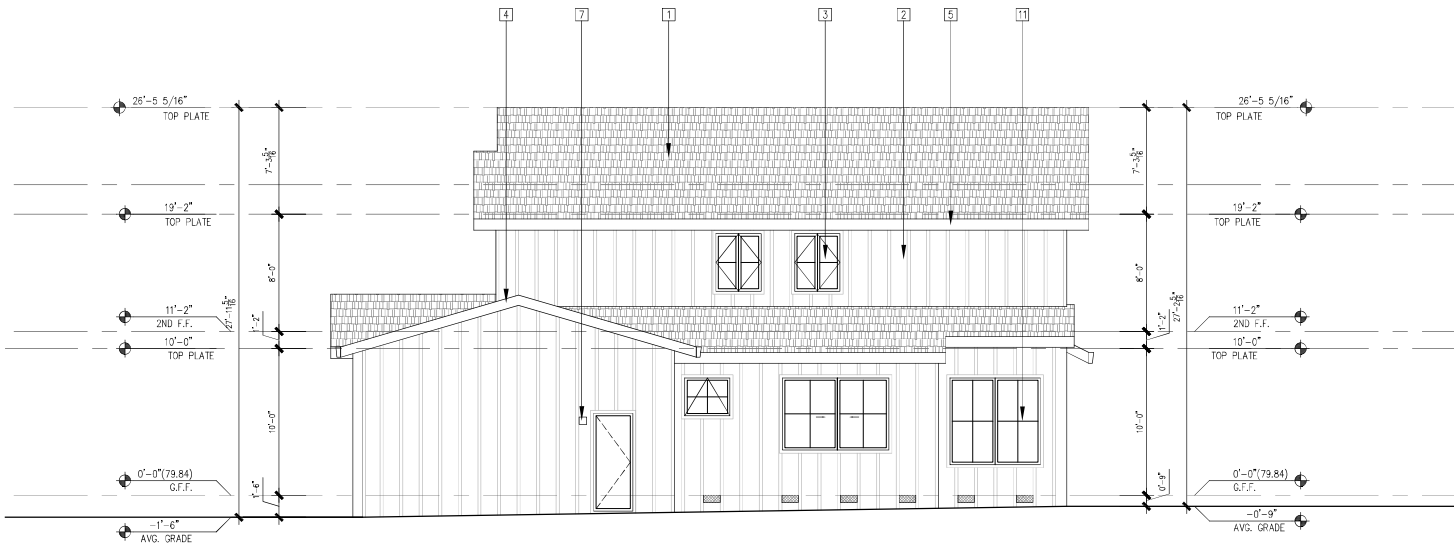
Project No: 2024-33
Scale: 1/4"=1'-0"
EXISTING ELEVATIONS

KEYNOTES

- 1 (N) 30-YEAR CLASS A FIRE RESISTANT RATING SHINGLE ROOF - 2 LAYERS OF 15-POUND FELT UNDERLAYMENT, RADIANT BARRIER ROOF SHEATHING TO BE INSTALLED, PER ENERGY CODE COMPLIANCE DOCUMENTATION
- 2 (N) TYP. 1X 3/4" X 2-1/2" BATTENS @16" O.C. TO 6-2" WIDE BOARD WARM WHITE
- 3 (N) ANDERSON FIBERGLASS WINDOW, BLACK, WITH PAINTED WINDOW GRIDS
- 4 (N) WOOD FASCIA, WARM WHITE
- 5 (N) GUTTER, PAINTED STEEL, WARM WHITE
- 6 (N) INFRONT DOOR, PAINTED WOOD, WOOD COLOR
- 7 (N) PAINTED STEEL WALL SCONCES, MATTE BLACK
- 8 (N) FIBERGLASS INSULATED WHITE GARAGE DOOR
- 9 (N) WINDOW EGRESS, OPENING MORE THAN 20 INCH IN WIDTH, AND 24 INCH IN HEIGHT, CLEAR AREA GREATER THAN 5.7 SQFT, MAX WINDOW SILL HEIGHT OF 44 INCHES ABOVE THE FLOOR
- 10 (N) ADDRESS NUMBER WITH A MINIMUM OF ONE-HALF INCH (1/2") STROKE BY SIX INCHES (6") HIGH
- 11 (N) INSIMULATED DIVIDED LITES
- 2 (N) INSIDELIGHTS



PROPOSED FRONT ELEVATION 01
Scale: 1/4"=1'-0"



PROPOSED RIGHT ELEVATION 02
Scale: 1/4"=1'-0"

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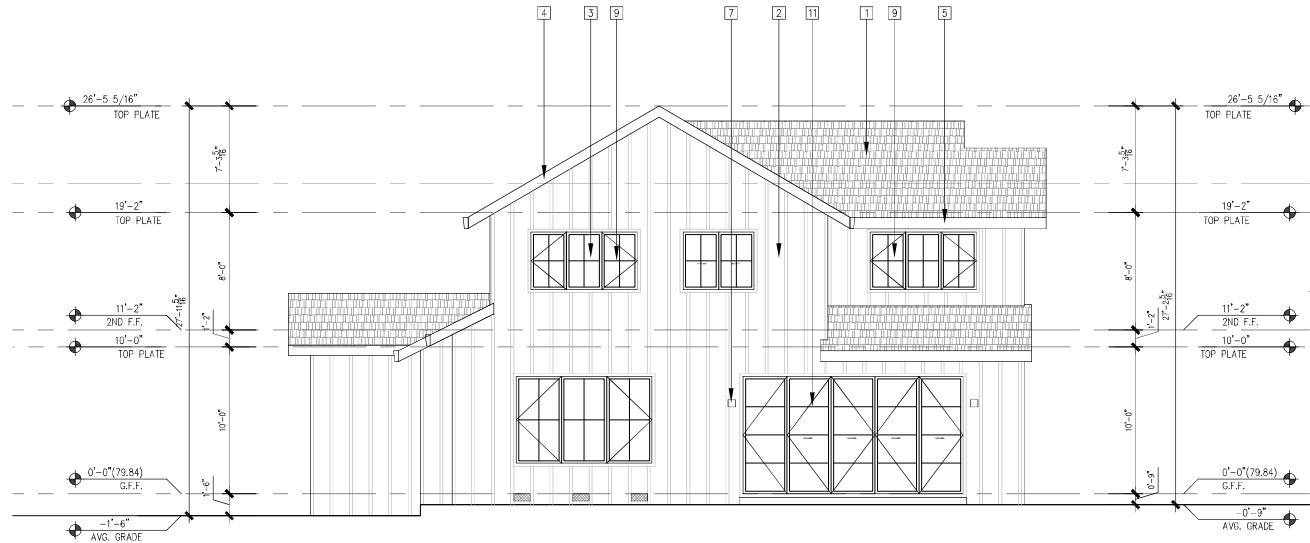
DESIGN REVIEW 01-31-2025

Rev. Date Issue

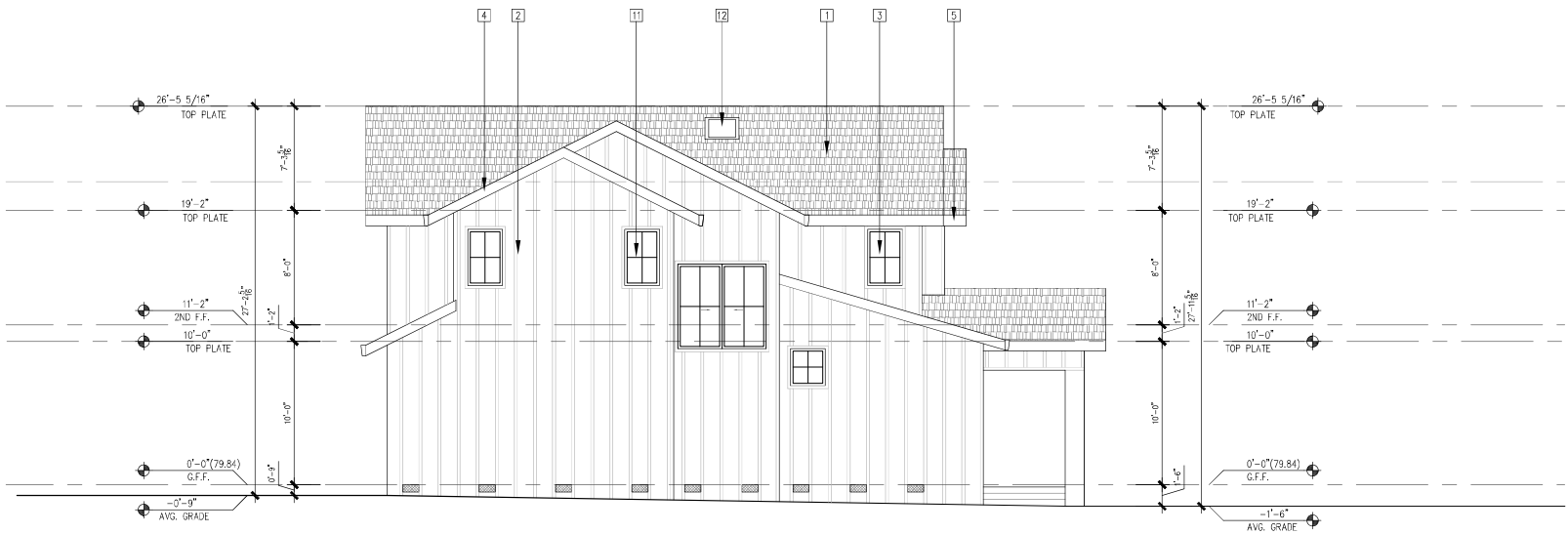
Project No: 2024-33
Scale: 1/4"=1'-0"
PROPOSED ELEVATIONS

KEYNOTES

- 1 (N) 30-YEAR CLASS A FIRE RESISTANT RATING SHINGLE ROOF. 2 LAYERS OF 15-POUND FEET UNDERLAYMENT. RADIKANT BARRIER ROOF SHEATHING TO BE INSTALLED, PER ENERGY CODE COMPLIANCE DOCUMENTATION
- 2 (N)TYP. 1X 3/4" X 2-1/2"BATTENS @16" O.C. TO 8'-4" WIDE BOARDM WARM WHITE
- 3 (N)ANDERSON FIBERGLASS WINDOW. BLACK, WITH PAINTED WINDOW GRIDS
- 4 (N)WOOD FASCIA, WARM WHITE
- 5 (N)GUTTER, PAINTED STEEL, WARM WHITE
- 6 (N)FRONT DOOR, PAINTED WOOD, WOOD COLOR
- 7 (N)PAINTED STEEL WALL SCONCES, MATTE BLACK
- 8 (N)FIBERGLASS INSULATED WHITE GARAGE DOOR
- 9 (N) WINDOW EGRESS, OPENING MORE THAN 20 INCH IN WIDTH, AND 24 INCH IN HEIGHT, CLEAR AREA GREATER THAN 5.7 SQFT, MAX WINDOW SILL HEIGHT OF 44 INCHES ABOVE THE FLOOR.
- 10 (N)ADDRESS NUMBER WITH A MINIMUM OF ONE-HALF INCH (1/2") STROKE BY SIX INCHES (6") HIGH
- 11 (N)SIMULATED DIMMED LITES
- 12 (N)SKYLIGHTS



PROPOSED REAR ELEVATION 01
Scale: 1/4"=1'-0"



PROPOSED LEFT ELEVATION 02
Scale: 1/4"=1'-0"

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DESIGN REVIEW 01-31-2025

Rev. Date Issue

Project No: 2024-33
Scale: 1/4"=1'-0"
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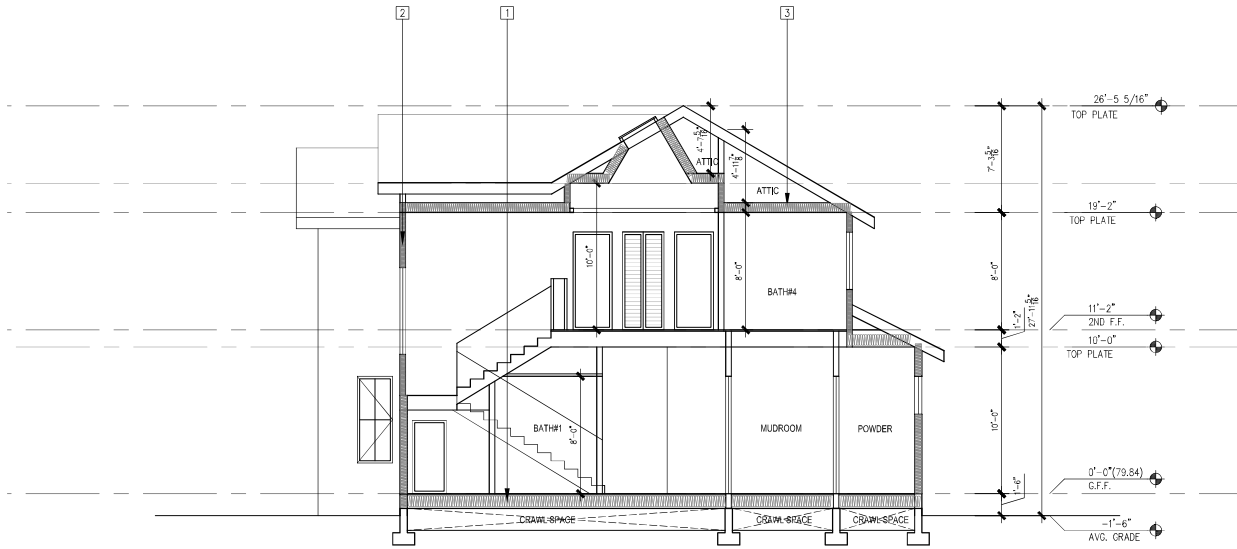
KEYNOTES

- 1 R21 INSULATION
- 2 R19 INSULATION
- 3 R30 INSULATION

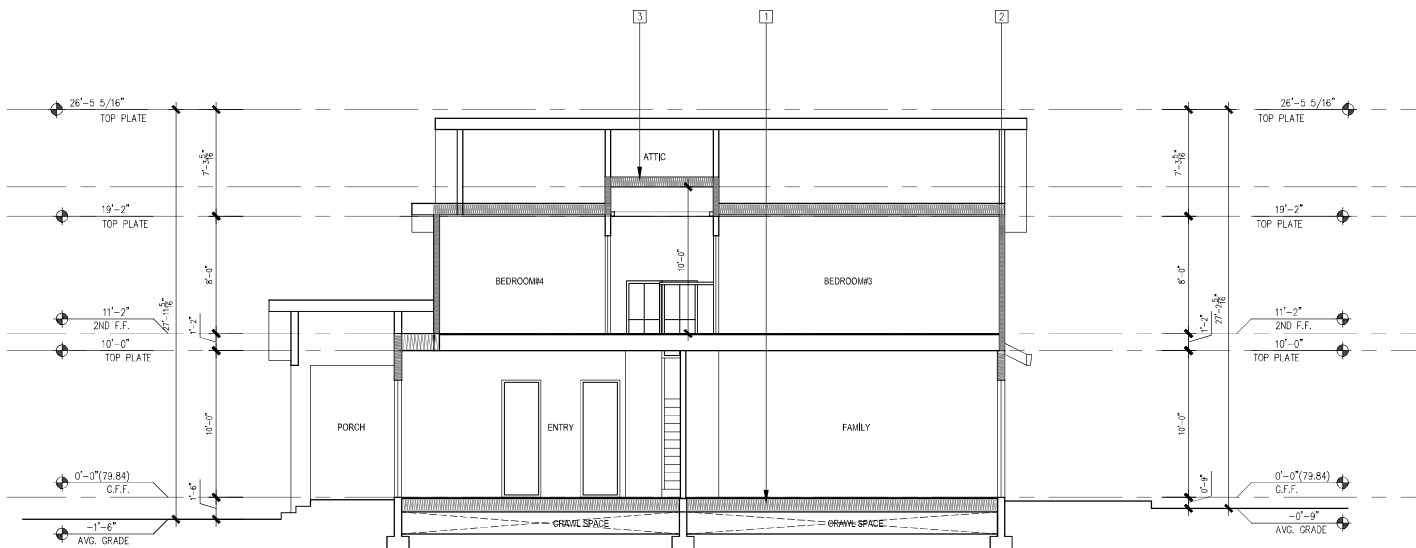
FOUNDATION VENTILATION CALCS

FOUNDATION AREA	1224 SQFT
1224/150	8.16
x 144	1175 SQ. IN. REQ.
(19) FOUNDATION VENT @65 SQ. IN.	1235 SQ. IN.

VENT NET FREE AREA BASED ON 14.5 IN X 7 IN FOUNDATION VENT.
THE MINIMUM NET AREA OF VENTILATION OF OPENINGS SHALL NOT BE LESS THAN 1 SQ.FT.
FOR EACH 150 SQ. FT.
VENTILATION OPENINGS SHALL HAVE CORROSION RESISTANT WIRE MESH OR OTHER APPROVED MATERIAL WITH 2" MIN. AND 1" MAX OPENING.



SECTION A 01
SCALE: 1/4"=1'-0"



SECTION B 02
SCALE: 1/4"=1'-0"

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Rev. Date Issue

Project No: 2024-33

Scale: 1/4"=1'-0"

SECTIONS

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STREETSCAPE 01
Scale: 1/8"=1'-0"

DESIGN REVIEW 01-31-2025

Rev.	Date	Issue

Project No: 2024-03
Scale: 1/8"=1'-0"
STREETSCAPE