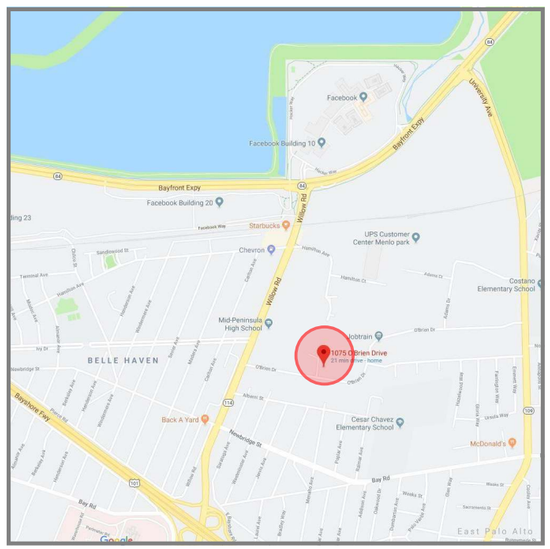
CSBio Expansion

DGA planning | architecture | interiors

1075 O'Brien Drive and 20 Kelly Court, Menlo Park, CA 94025

RESPONSE TO APPLICATION INCOMPLETE NOTICE #2 - JULY 2021

VICINITY MAP



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CSBio owns two properties at 1075 O'Brien Drive and 20 Kelly Court in Menlo Park, CA. They are seeking Entitlements which would allow the construction of a new Class-A Building for Office, Research & Development and/or Technology and a Parking Structure. In order to do so, the existing Two-Story Building at 20 Kelly Court will be demolished to allow space for the proposed Parking Structure.

Existing Buildings

Address	Parcel	APN	Parcel Area (Sq. Ft.)	Building GFA (Sq. Ft.)	Building Type
20 Kelly Court	1	055-433-340	35,911	12,192	Two-Story Lab/Office
20 Kelly Court	1	055-433-340	32,321	25,394	Three-Story Lab/Office
1075 O'Brien	2	055-433-250	30,464	14,523	Two-Story Warehouse/Office
TOTAL EXISTING AREAS			98,696	52,109	

Proposed Project

CSBio wishes to develop a Seven-Story Building with an approximate area of 100,000 Sq. Ft. The high-quality design of the Building and Site will contribute to the redevelopment occurring along O'Brien Drive. CSBio also proposes to provide a Five level Parking Structure at the end of the cul-de-sac on Kelly Drive, and a Pedestrian Walkway (Bridge) to connect the Parking Structure to the new 1075 O'Brien Building.

Project Data

Building	GFA		Footprint	
1075 O'Brien Dr. (Lab/Office Use)	89,191	Sq. Ft.	16,548	Sq. Ft.
1075 O'Brien Dr. (Commercial Use)	9,869	Sq. Ft.		
20 Kelly Ct.	25,394	Sq. Ft.	11,285	Sq. Ft.
Utility Yard (Enclosed)	1,750	Sq. Ft.	1,750	Sq. Ft.
Hazardous Material Storage (Enclosed)	1,750	Sq. Ft.	1,750	Sq. Ft.
Parking Garage	1,926	Sq. Ft.	19,166	Sq. Ft.
	129,880	Sq. Ft.	50,499	Sq. Ft.
Base Floor Area Ratio	1.216		1.250	Max.
Bonus Floor Area Ratio	0.100		0.100	Max.
	1.316		1.350	Max.
Site Coverage	50,499 / 98,696	=	0.5117	= 51.17%
Open Space	20,232 / 98,696	=	0.2046	= 20.50%
Publicly Accessible Open Space	9,908 / 98,696	=	0.1004	= 10.04%

Approvals Requested	Allowed	Proposed
Floor Area Ratio – Lab/Office Use	1.250	1.216
Floor Area Ratio – Commercial Use	0.100	0.100
Allowable Height	120 Feet	117 Feet

Concurrent Approvals

1. Lot Merger of existing two (2) Parcels

16.44.050 – Development Regulations

	Bonus Level	Proposed
Minimum Lot Area	25,000 Sq. Ft.	98,696 Sq. Ft.
Minimum Lot Dimensions	Width 100 Ft.	130 Ft.
	Depth 100 Ft.	185 Ft.
Minimum Setback @ Street	5 Feet	5 Ft.
Minimum Interior Side & Rear Setbacks	10 Feet	10 Ft.
Maximum Floor Area Ratio (FAR)	125% + 10%	1.315
Height	Avg. 67.5 Ft.	67.48 Ft.
	110 Ft. + 10 Ft.	117 Ft.
Minimum Open Space Requirement	20%	20%
Minimum Public Open Space Requirement	10%	10%

16.44.070 Community Amenities Required for Bonus Development

Bonus level development allows a project to develop at a greater level of intensity with an increased floor area ratio and/or increased height. There is a reasonable relationship between the increased intensity of development and the increased effects on the surrounding community. The required community amenities are intended to address identified community needs that result from the effect of the increased development intensity on the surrounding community. To be eligible for bonus level development, an applicant shall provide one (1) or more community amenities. Construction of the amenity is preferable to the payment of a fee.

Proposed Community Amenity:

Project will consider one, or more, of the following Amenities, depending on the required value of the Amenities to be determined through a future Appraisal.

Community Servicing Retail
- Restaurant

Jobs and Training
- Job opportunities for residents
- Education and enrichment programs for young adults

Job Training & Education Center
- Paid internships and scholarships for young adults

Social Service Improvements
- Education improvements in Belle Haven

Energy, Technology and Utilities Infrastructure
- Underground power lines

16.44.120 Design Standards

(4) Open Space:

A minimum of 20% of the lot area will be provided as "Open Space", with 50% of that space "Publicly Accessible" with a mixture of landscaping and hardscape with seating.

16.44.130 - Green and Sustainable Building

With a Building Area of 100,000 Sq. Ft. or less, the 1075 Building will be designed to:

- Meet LEED Silver BD+C
- Provide EV Charging Stations in accordance with Section 16.72.010
- Enroll in EPA Energy Star Building Portfolio Manager
- Water Use Efficiency and Recycled Water
- Hazard Mitigation and Sea Level Rise Resiliency
- Waste Management
- Bird-Friendly Design

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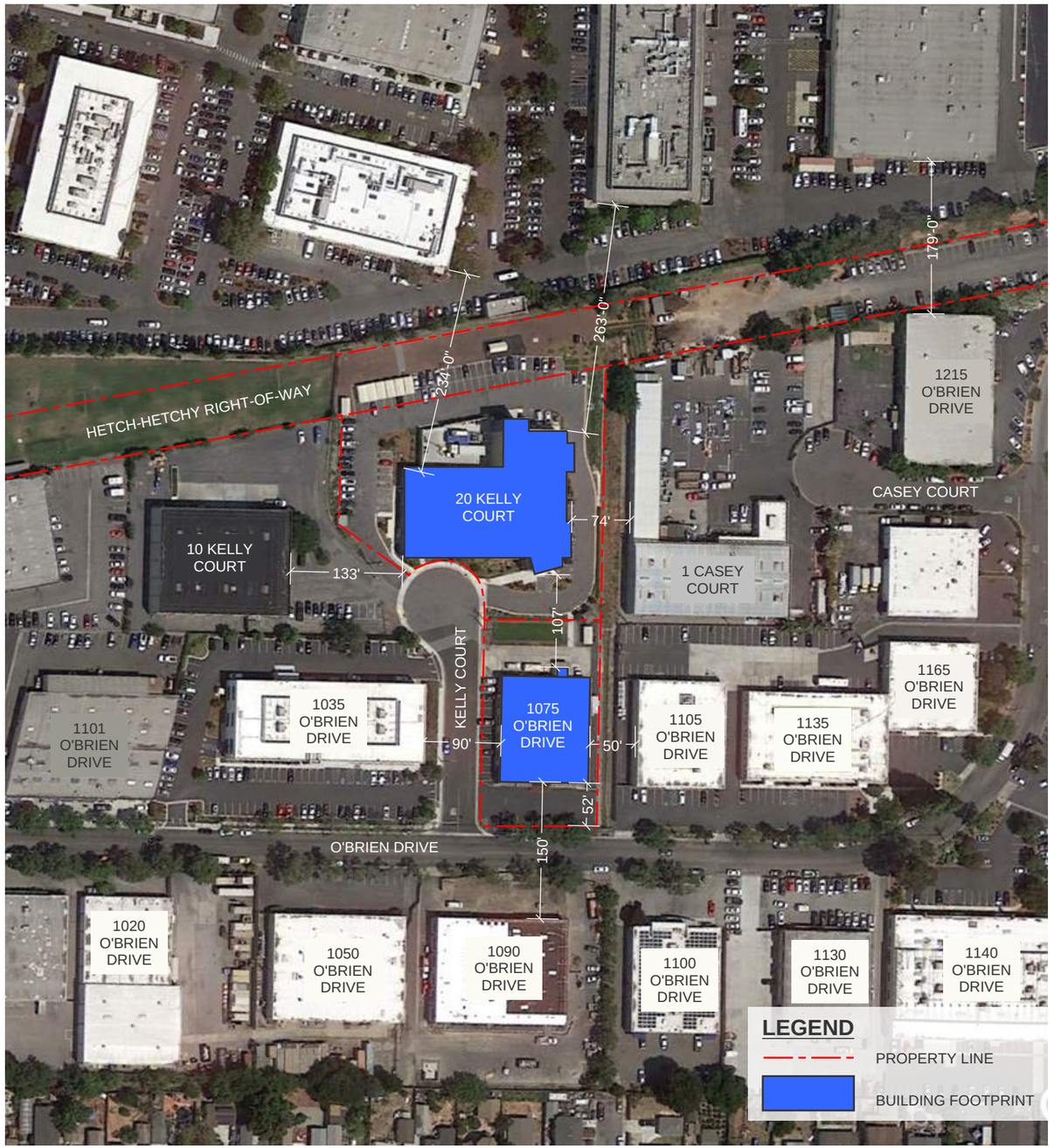
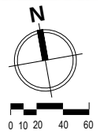


EXISTING SITE



PROPOSED SITE

DGA

PARCEL AREAS

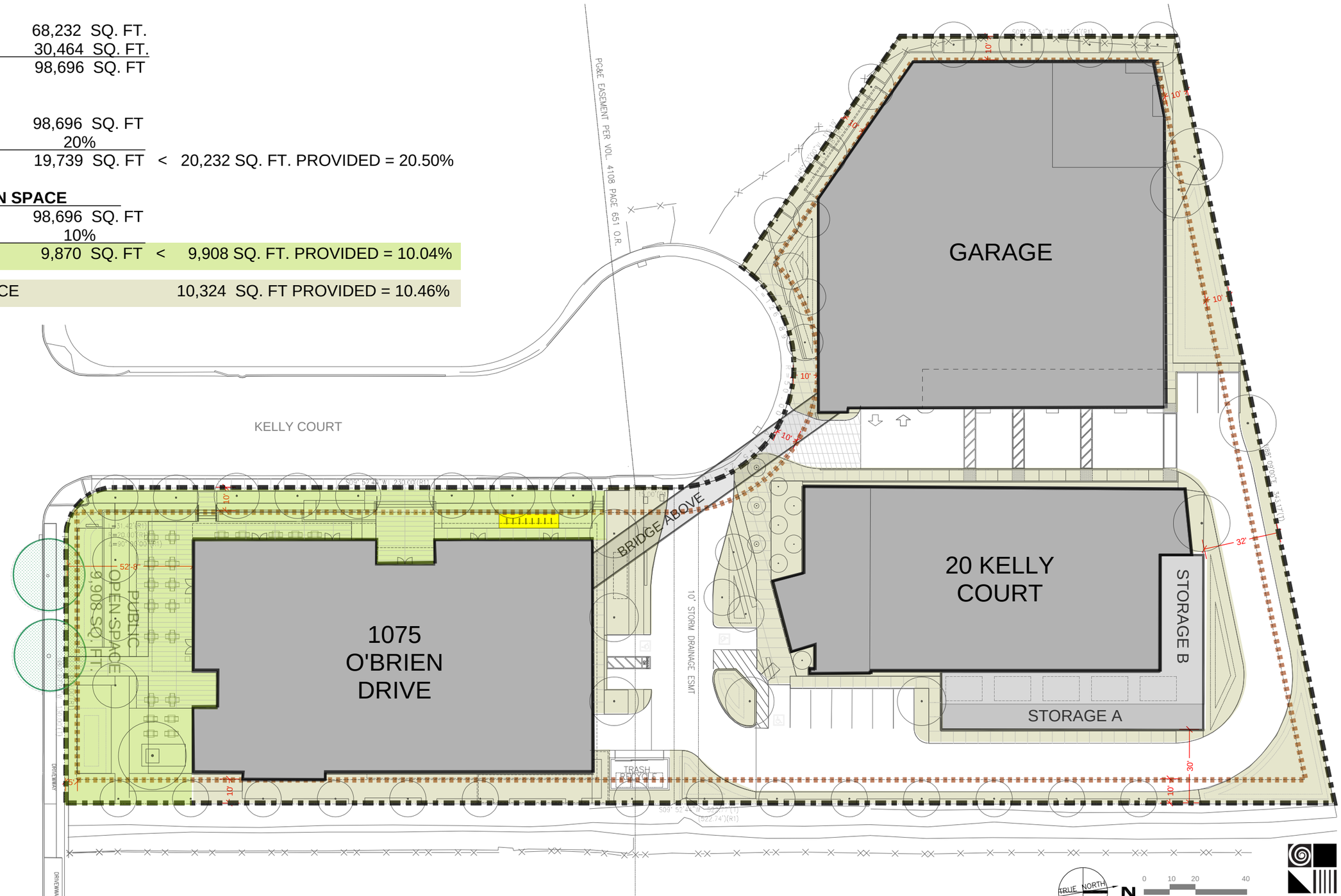
20 KELLY COURT	68,232 SQ. FT.
1075 O'BRIEN	30,464 SQ. FT.
TOTAL	98,696 SQ. FT

OPEN SPACE

PARCEL AREA	98,696 SQ. FT		
REQUIRED	20%		
REQUIRED OPEN SPACE	19,739 SQ. FT	<	20,232 SQ. FT. PROVIDED = 20.50%

PUBLICLY ACCESSIBLE OPEN SPACE

PARCEL AREA	98,696 SQ. FT		
REQUIRED	10%		
ACCESSIBLE OPEN SPACE	9,870 SQ. FT	<	9,908 SQ. FT. PROVIDED = 10.04%
NON-ACCESSIBLE OPEN SPACE			10,324 SQ. FT PROVIDED = 10.46%



LEGEND:

- BUILDING
- SUPPORT BUILDING
- PUBLICLY ACCESSIBLE OPEN SPACE
- ADDITIONAL OPEN SPACE
- BICYCLE RACK
- PROPERTY LINE
- SETBACK LINE

TRUE NORTH N

0 10 20 40

SCALE: 1:40 (FOR 11"x17" SET)
SCALE: 1:20 (FOR 22"x34" SET)

SITE PLAN - PUBLIC OPEN SPACE

16.44.080 – Parking Standards

Development in the Life Sciences District shall meet the following Parking Requirements:

Land Use	Minimum Spaces Per 1,000 SF	Maximum Spaces Per 1,000 SF	Building GFA SF	Minimum	Provided	Maximum
20 Kelly Ct.						
R&D	1.5	2.5	25,394	39	48	64
1075 O'Brien Dr.						
Office	2.0	3.0	36,956	74	82	111
R&D	1.5	2.5	52,235	79	96	131
Restaurant	2.5	3.3	9,869	25	25	33
TOTALS			126,291	217	251	339

Bicycle Parking

Land Use	Spaces Required Per 5,000 SF	Building GFA SF	Spaces Required	Spaces Provided
20 Kelly Ct.				
R&D	1	25,394	6	6
1075 O'Brien Dr.				
Office	1	36,956	8	8
R&D	1	52,235	11	11
Restaurant	1	9,869	2	2
TOTALS			27	27*

* 27 Spaces = 21 Long-Term Spaces + 6 Short-Term Spaces

SEE SHEETS 13 & 14 FOR PARKING PLANS

PARKING COUNT

PARKING GARAGE = 229 SPACES
7 ACCESSIBLE
2 VAN ACCASSIBLE

SURFACE PARKING = 13 SPACES

251 SPACES

EV CHARGING STATIONS

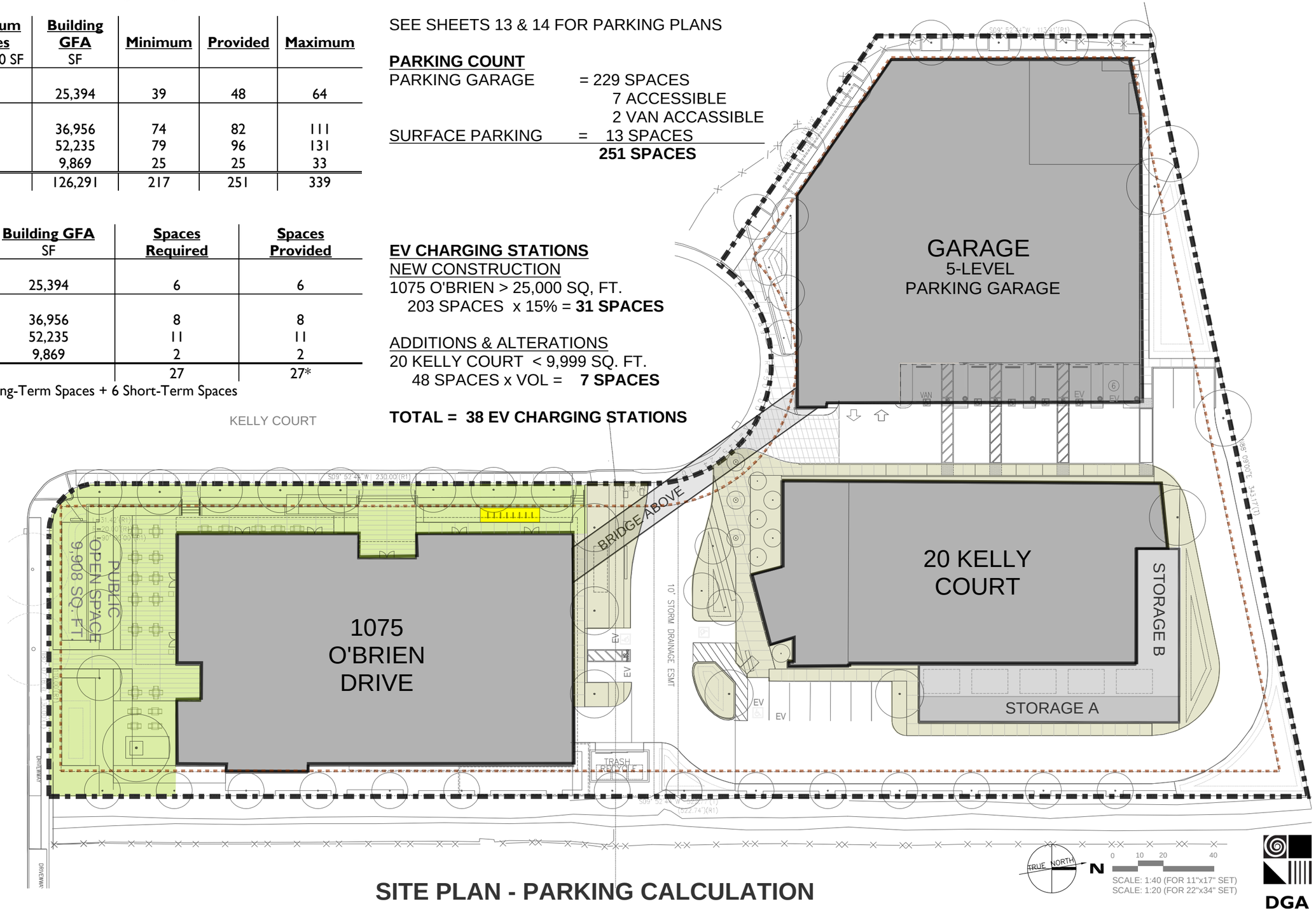
NEW CONSTRUCTION

1075 O'BRIEN > 25,000 SQ, FT.
203 SPACES x 15% = **31 SPACES**

ADDITIONS & ALTERATIONS

20 KELLY COURT < 9,999 SQ. FT.
48 SPACES x VOL = **7 SPACES**

TOTAL = 38 EV CHARGING STATIONS



LEGEND:

- BUILDING
- SUPPORT BUILDING
- PUBLICLY ACCESSIBLE OPEN SPACE
- ADDITIONAL OPEN SPACE
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- PROPERTY LINE
- SETBACK LINE

TRUE NORTH N

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SCALE: 1:40 (FOR 11"x17" SET)
SCALE: 1:20 (FOR 22"x34" SET)

SITE PLAN - PARKING CALCULATION

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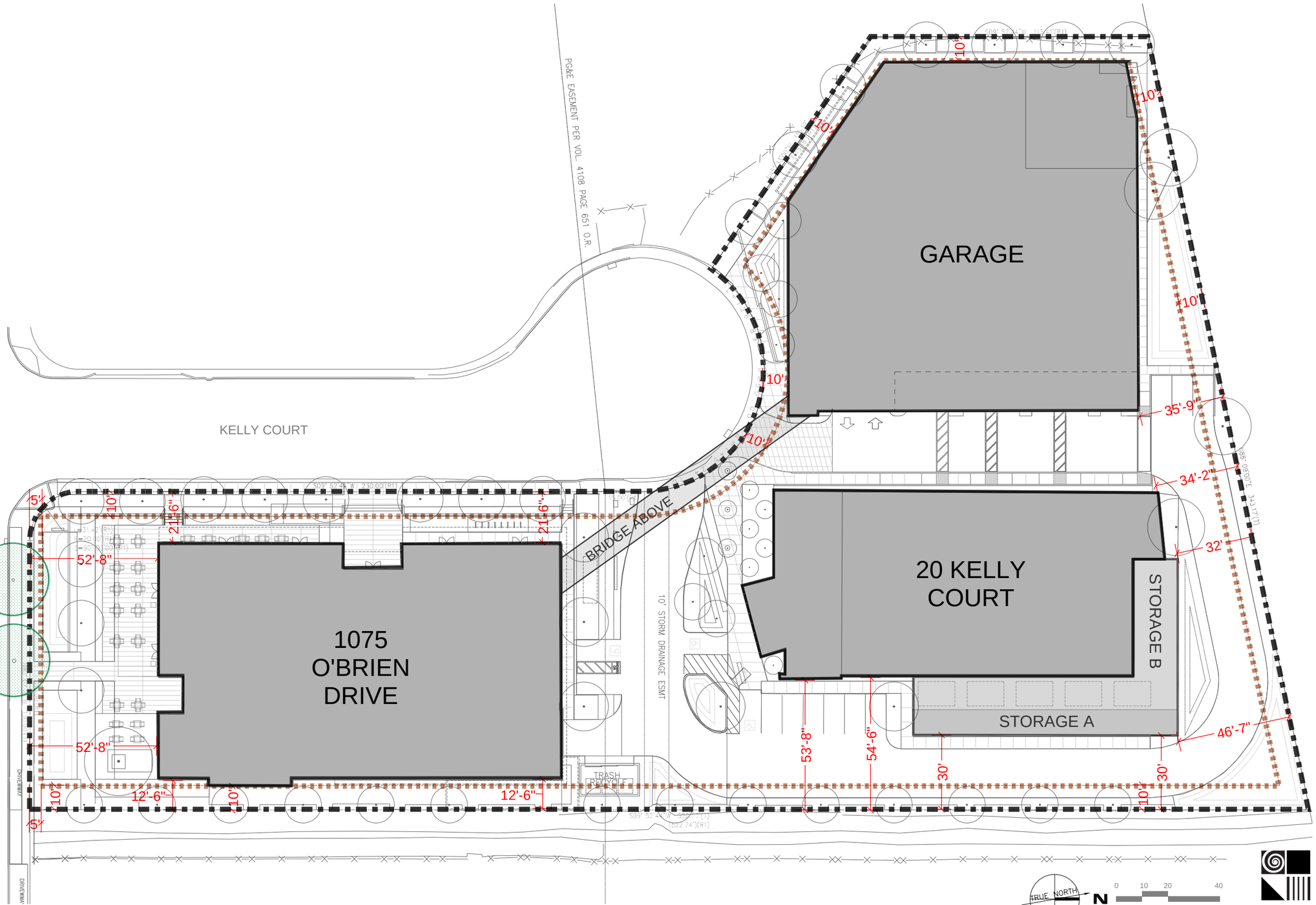

LEGEND:

- BUILDING
- SUPPORT BUILDING
- PROPERTY LINE
- SETBACK LINE

TRUE NORTH N

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SCALE: 1:40 (FOR 11"x17" SET)
SCALE: 1:20 (FOR 22"x34" SET)

SITE PLAN - PUBLIC OPEN SPACE

20 Kelly Court (Two-Story) - to be Demolished

Level	Gross Area	Max. 3% Unconditioned No Windows		Max. 1% Noise Generating Equipment	Vent Shafts		GFA	USE	
1st	10,000	-			-		10,000	R&D	100.00%
2nd	2,192	-		-	-		2,192	R&D	100.00%
	12,192	-		-	-		12,192	R&D	100.00%

20 Kelly Court (Three-Story) - to Remain

Level	Gross Area	Max. 3% Unconditioned No Windows		Max. 1% Noise Generating Equipment	Vent Shafts		GFA	USE	
1st	11,586	301	2.6%	-	-		11,285	R&D	97.40%
2nd	11,268	338	3.0%	-	227	2.0%	10,703	R&D	94.99%
3rd	3,437	-		-	31	0.9%	3,406	R&D	99.10%
	26,291	639		-	258	1.0%	25,394	R&D	96.59%

20 Kelly Court - Proposed HazMat Storage

Exterior Service Yard @ Grade	Gross Area	Max. 3% Unconditioned No Windows		Max. 1% Noise Generating Equipment	Vent Shafts		GFA	USE	
Utility Yard	1,750	-	0.0%	-	-		1,750	R&D	100.00%
HazMat Storage*	1,750	-		-	-	0.0%	1,750	R&D	100.00%
	3,500	-		-	-	0.0%	3,500	R&D	100.00%

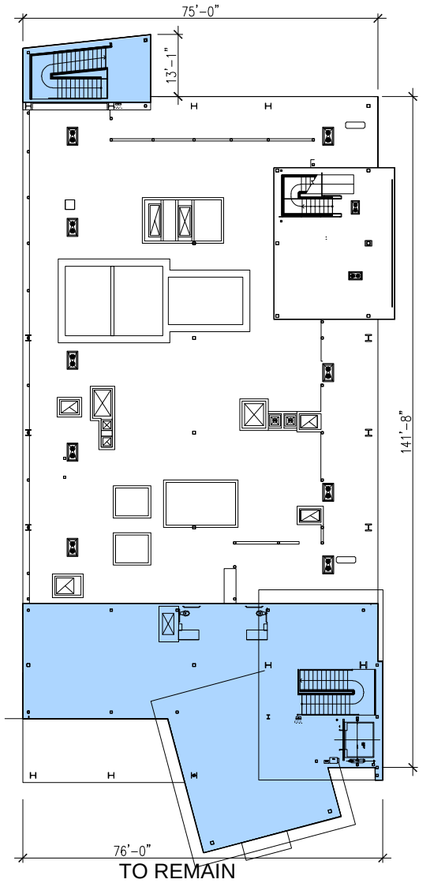
* Prefabricated Hazmat Storage Buildings

1075 O'Brien Drive - to be Demolished

Level	Gross Area	Max. 3% Unconditioned No Windows		Max. 1% Noise Generating Equipment	Vent Shafts		GFA	USE	
1st	14,523	-		-	-		14,523	Warehouse	100.00%
	14,523	-		-	-		14,523	Warehouse	100.00%

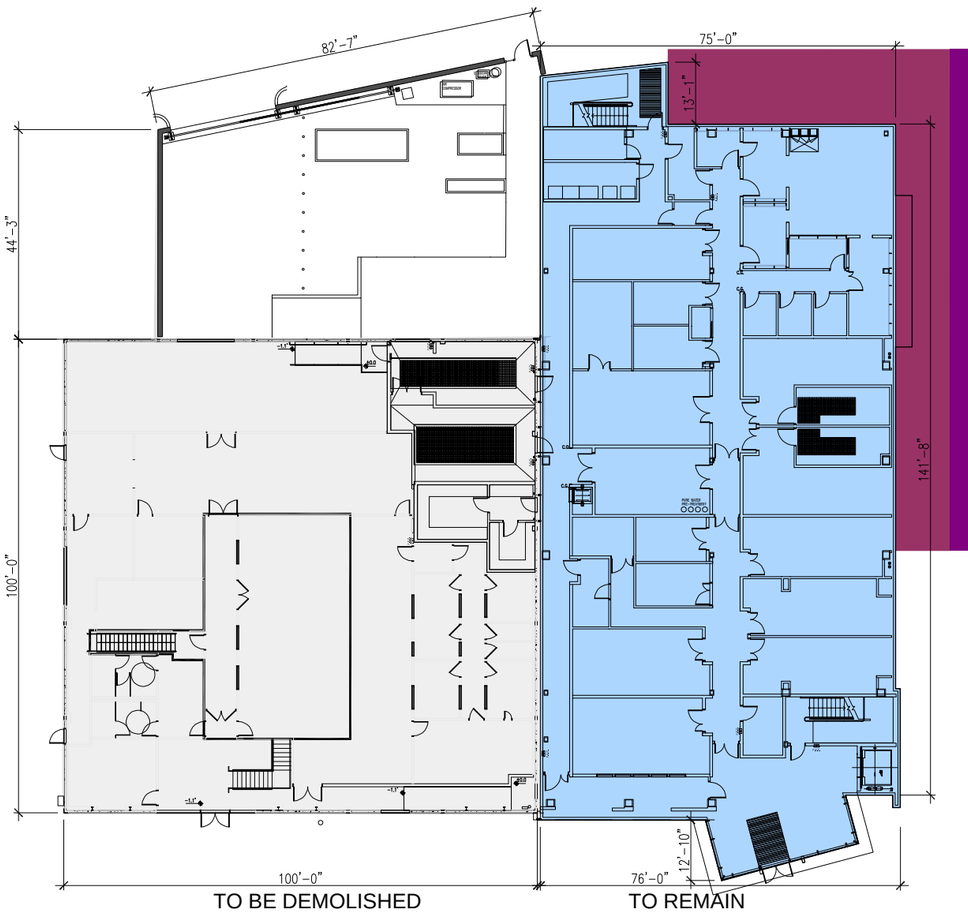
1075 O'Brien Drive - Proposed New Building

Level	Gross Area (Sq. Ft.)	Max. 3% Unconditioned No Windows (Sq. Ft.)		Max. 1% Noise Generating Equipment	Vent Shafts (Sq. Ft.)		GFA (Sq. Ft.)	USE (Sq. Ft.)	%
1st	15,004	600	4.0%	-	-	0.0%	14,404	**Restaurant** **9,906**	10.00%
								Bldg. Support **4,498**	4.54%
2nd	16,948	100	0.6%	-	300	1.8%	16,548		
3rd	16,948	100	0.6%	-	300	1.8%	16,548	**R&D**	
4th	15,004	100	0.7%	-	300	2.0%	14,604	47,700	48.15%
5th	15,004	100	0.7%	-	300	2.0%	14,604		
6th	15,004	100	0.7%	-	300	2.0%	14,604	**Office**	
7th	8,148	100	1.2%	-	300	3.7%	7,748	36,956	37.31%
	102,060	1,200	1.2%	-	1,800	1.8%	99,060	**99,060**	100.00%



20 KELLY COURT - THIRD FLOOR PLAN

20 KELLY COURT - SECOND FLOOR PLAN



20 KELLY COURT - FIRST FLOOR PLAN

PROPOSED UTILITY YARD & HAZARDOUS MATERIAL STORAGE 3,500 SF

OFFICE AND R&D 25,394 SF

TOTAL BUILDING = 28,894 SF

UNCONDITIONED/NO WINDOWS 639 SF

VENT SHAFTS 258 SF

NOT INCLUDED IN BUILDING TOTAL = 897 SF

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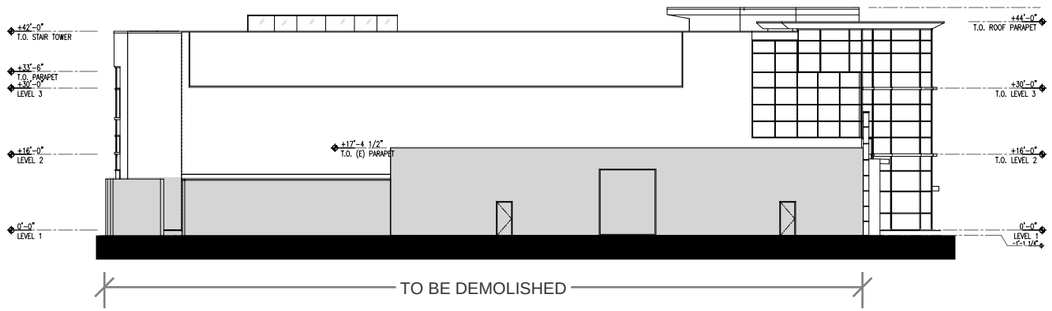
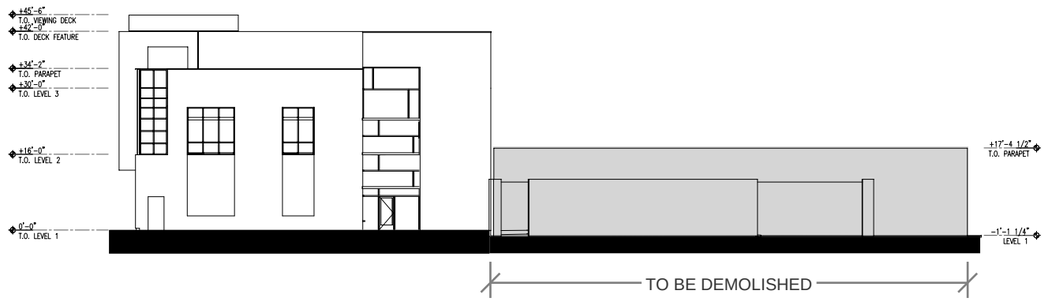
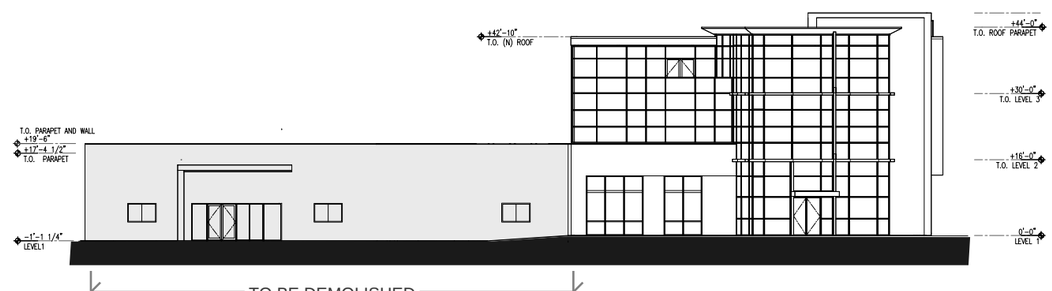


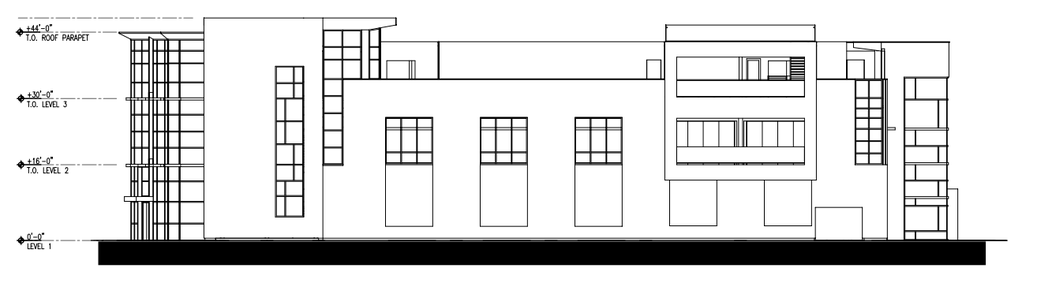
20 KELLY COURT - EXISTING WEST ELEVATION



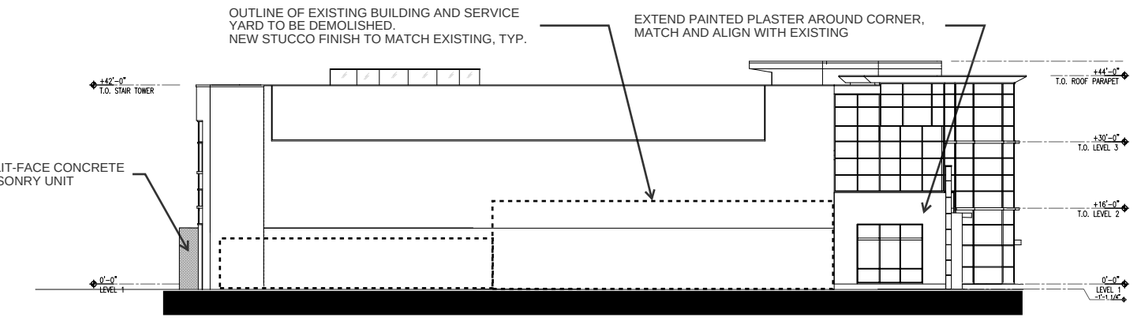
20 KELLY COURT - EXISTING NORTH ELEVATION



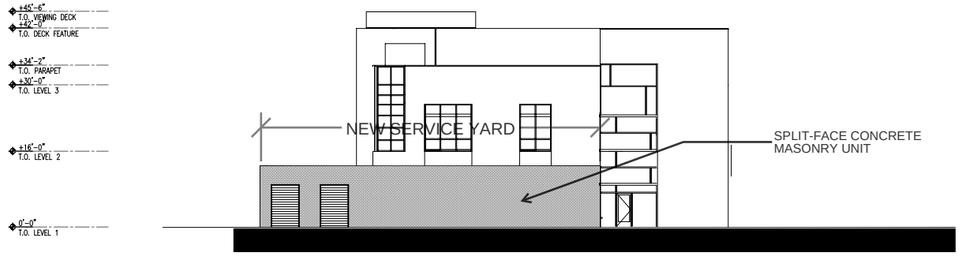
20 KELLY COURT - EXISTING SOUTH ELEVATION



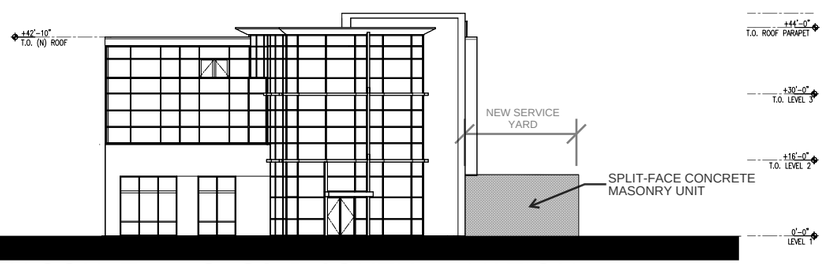
20 KELLY COURT - EXISTING EAST ELEVATION



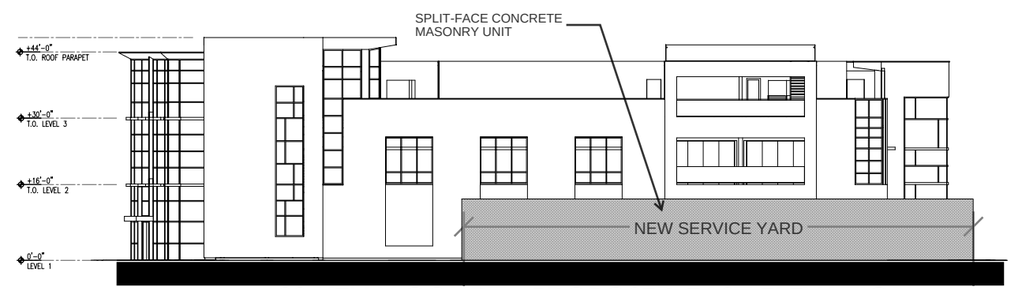
20 KELLY COURT - PROPOSED WEST ELEVATION



20 KELLY COURT - PROPOSED NORTH ELEVATION



20 KELLY COURT - PROPOSED SOUTH ELEVATION



20 KELLY COURT - PROPOSED EAST ELEVATION

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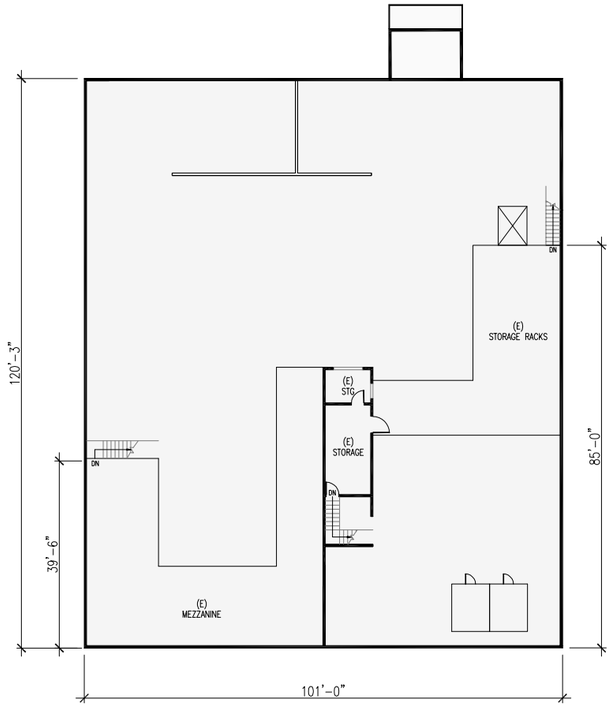
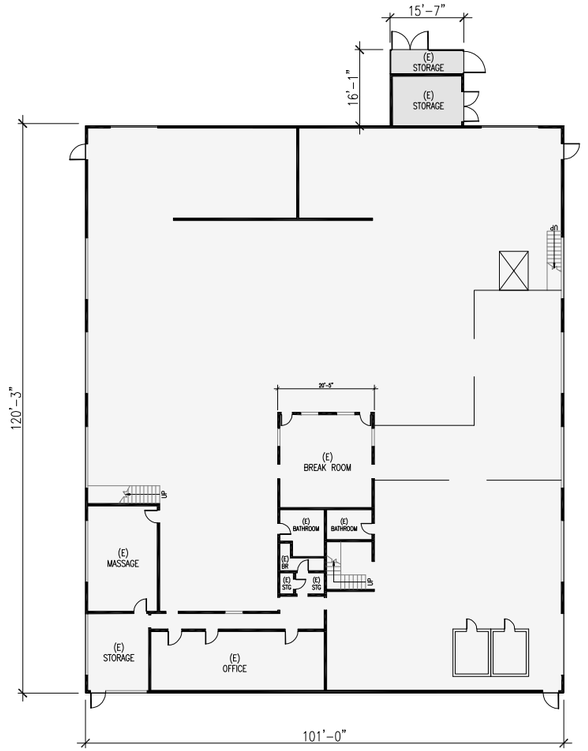
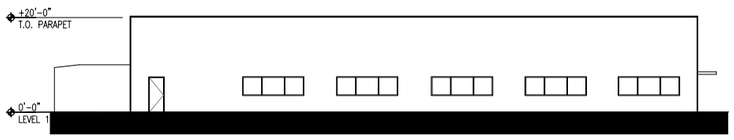


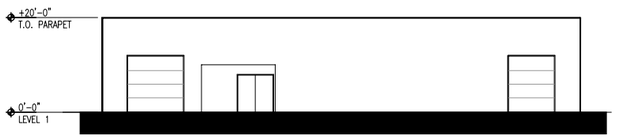
1075 O'BRIEN DRIVE - (EXISTING)
MEZZANINE FLOOR PLAN



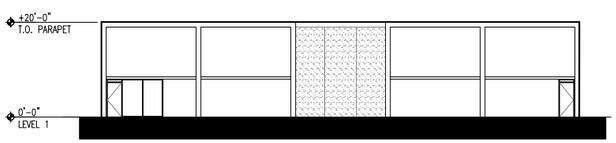
1075 O'BRIEN DRIVE - (EXISTING)
FIRST FLOOR PLAN



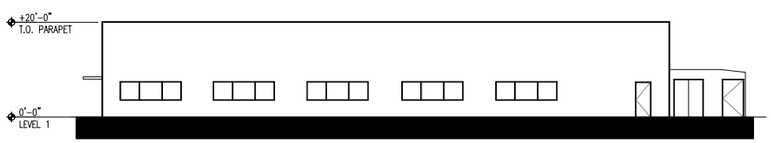
1075 O'BRIEN DRIVE - (EXISTING)
WEST ELEVATION



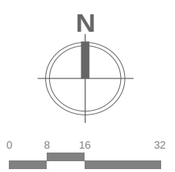
1075 O'BRIEN DRIVE - (EXISTING)
NORTH ELEVATION



1075 O'BRIEN DRIVE - (EXISTING)
SOUTH ELEVATION



1075 O'BRIEN DRIVE - (EXISTING)
EAST ELEVATION



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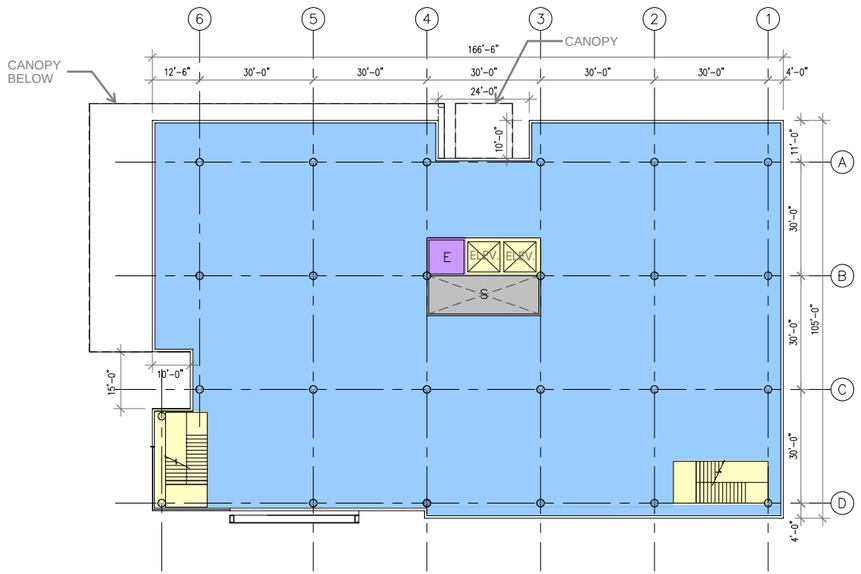
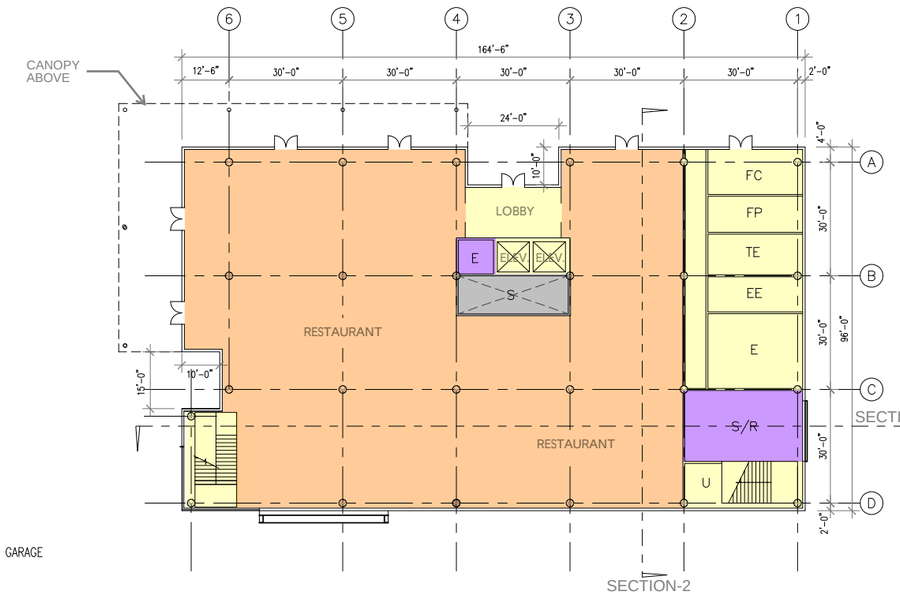
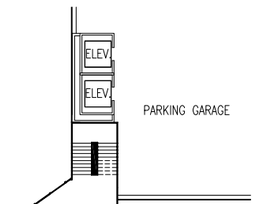
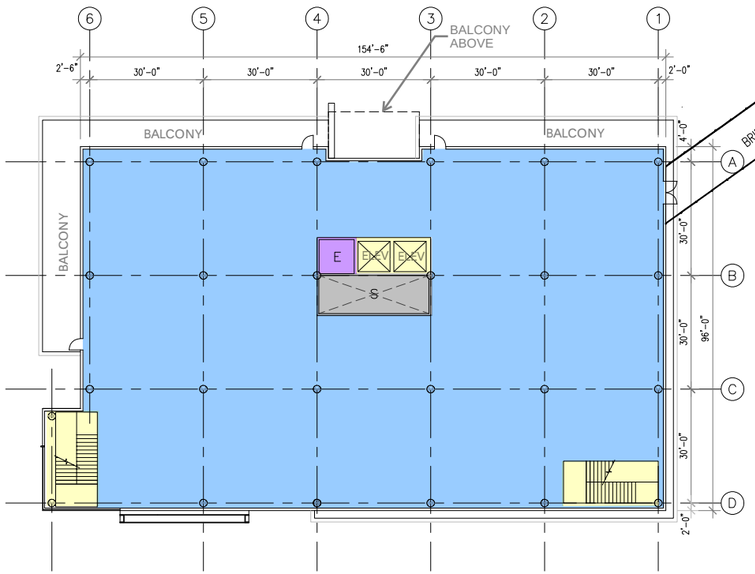


1075 O'BRIEN DRIVE - 2ND FLOOR PLAN

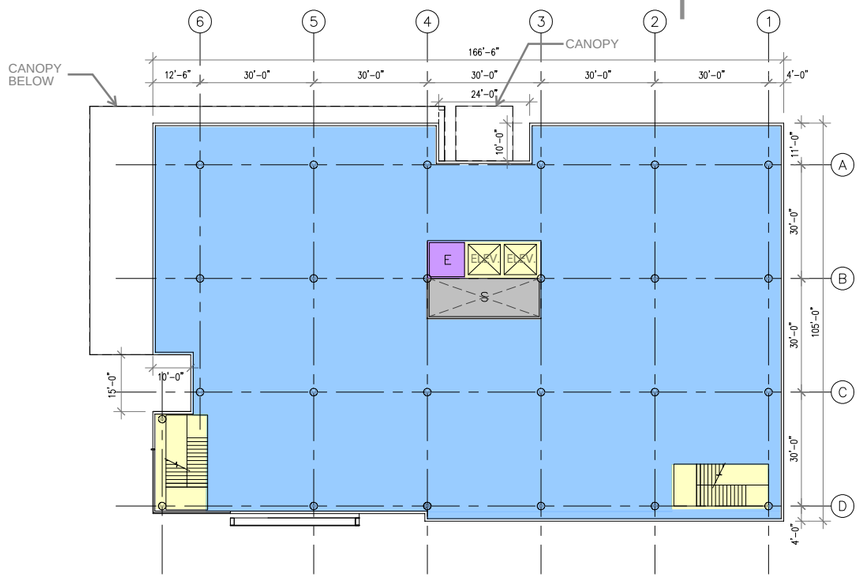


LEGEND
FC = FIRE COMMAND
FP = FIRE PUMP
TE = TELEPHONE
EE = EMERG. ELECTRICAL
E = ELECTRICAL
S/R = SHIPPING/RECEIVING
S = SHAFT
U = UTILITIES





1075 O'BRIEN DRIVE - 4TH FLOOR PLAN



1075 O'BRIEN DRIVE - 3RD FLOOR PLAN

USES WITHIN BUILDING

- RESTAURANT
- R&D
- OFFICE
- ROOF GARDEN
- BUILDING SUPPORT
- UNCONDITIONED, NO WINDOWS
- NOISE GENERATING EQUIPMENT
- VENT SHAFTS

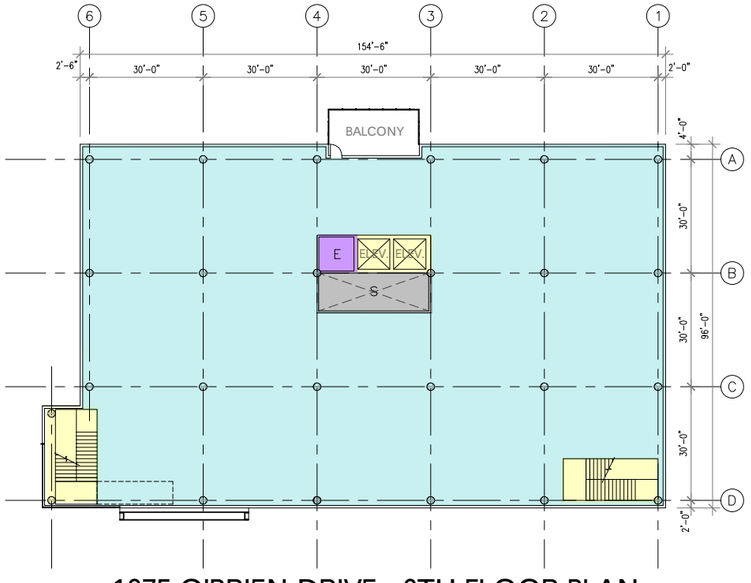
TRUE NORTH N

0 10 20 40

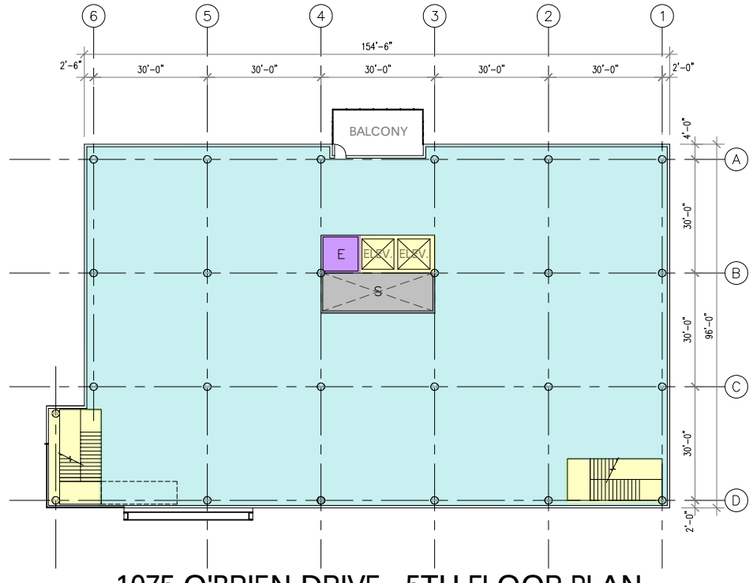
SCALE: 1:40 (FOR 11"x17" SET)
SCALE: 1:20 (FOR 22"x34" SET)

PEOPLE WHO LOVE PEPTIDES · PEOPLE WHO KNOW PEPTIDES

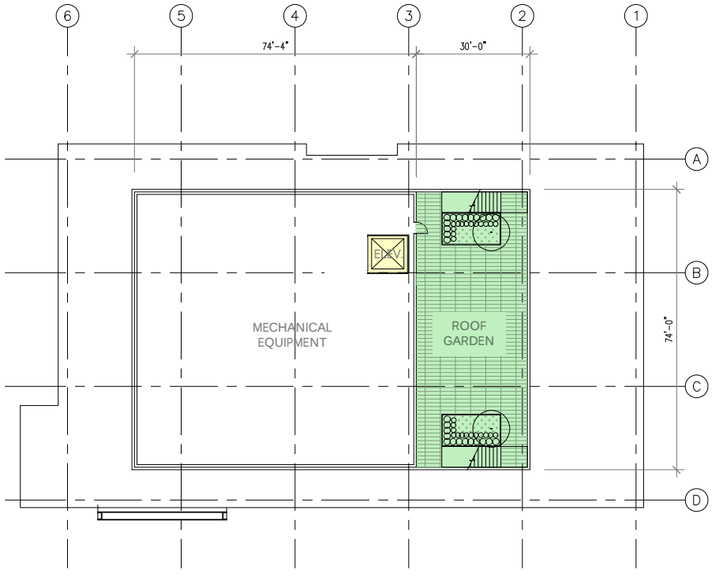
DGA



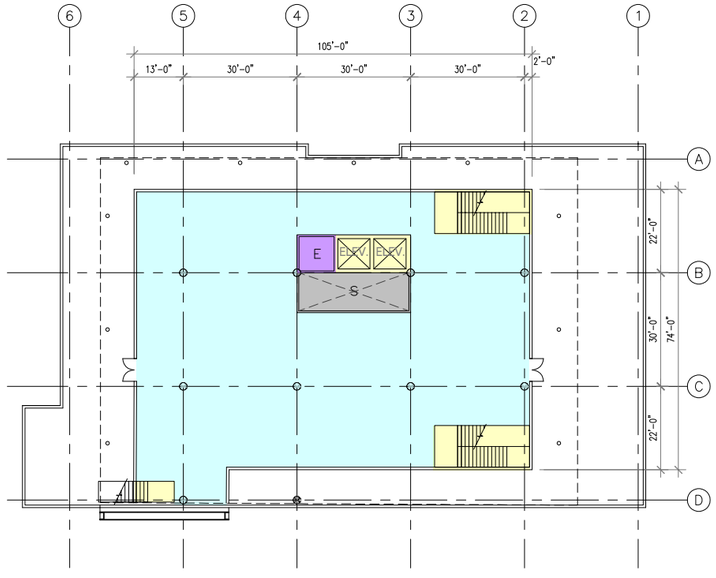
1075 O'BRIEN DRIVE - 6TH FLOOR PLAN



LEGEND
E = ELECTRICAL
S = SHAFT



1075 O'BRIEN DRIVE - ROOF PLAN



1075 O'BRIEN DRIVE - 7TH FLOOR PLAN

USES WITHIN BUILDING

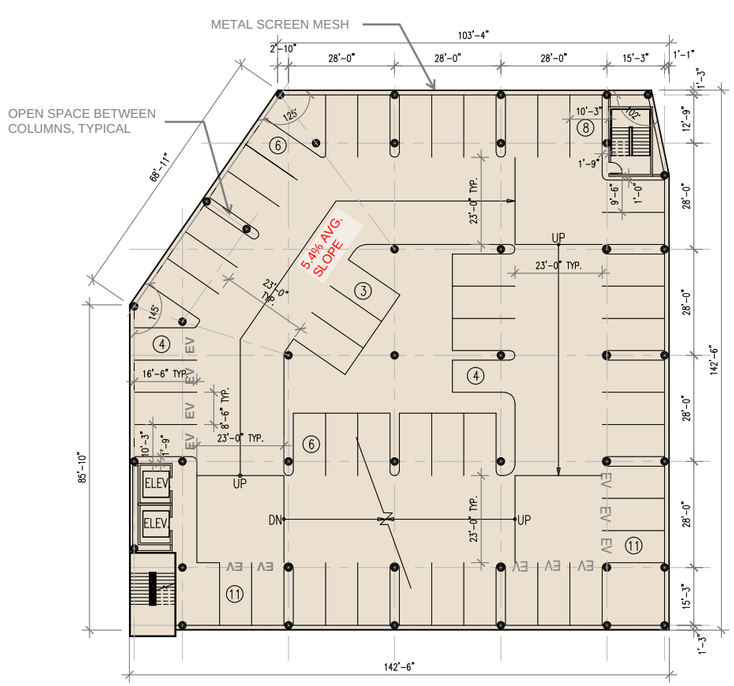
- RESTAURANT
- R&D
- OFFICE
- ROOF GARDEN
- BUILDING SUPPORT
- UNCONDITIONED, NO WINDOWS
- NOISE GENERATING EQUIPMENT
- VENT SHAFTS

TRUE NORTH N

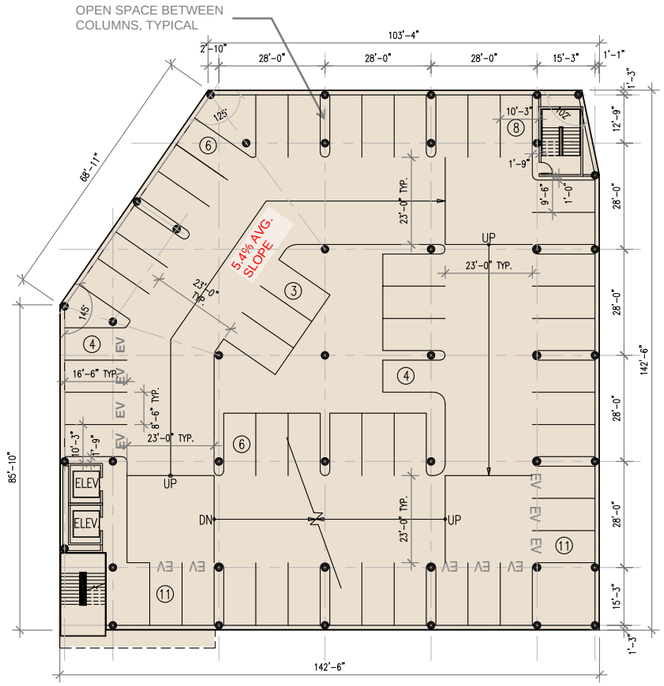
0 10 20 40

SCALE: 1:40 (FOR 11"x17" SET)
SCALE: 1:20 (FOR 22"x34" SET)

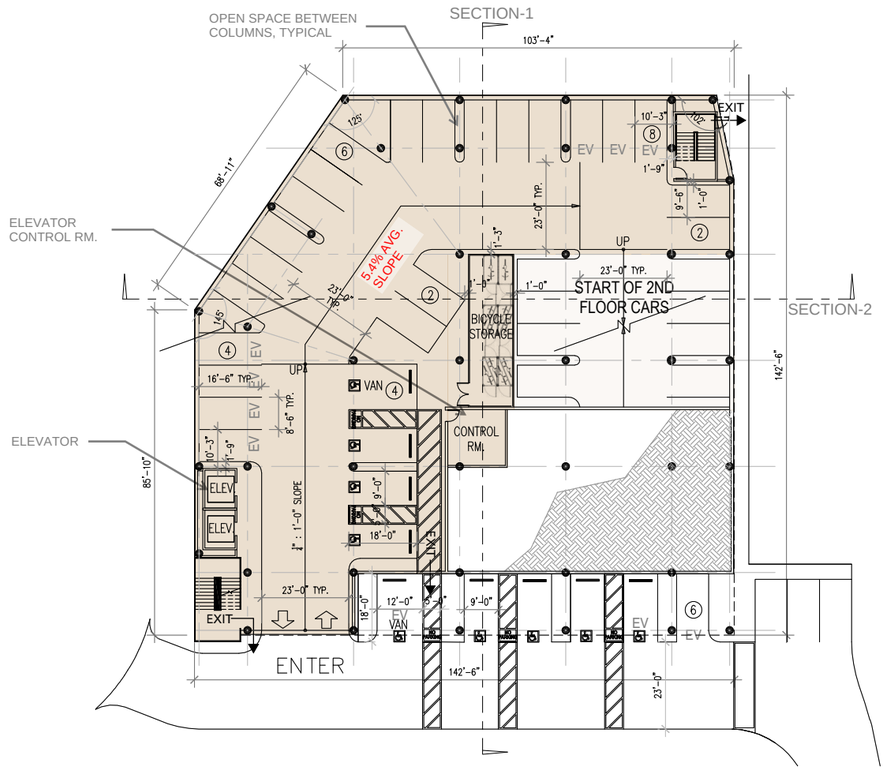
DGA



GARAGE 3RD FLOOR PLAN
53 Parking Spaces
19,166 SF



GARAGE 2ND FLOOR PLAN
53 Parking Spaces
19,166 SF



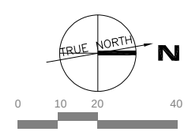
GARAGE 1ST FLOOR PLAN
32 Parking Spaces
19,166 SF

PARKING COUNTS

FIVE LEVELS	229 SPACES
	7 ACCESSIBLE SPACES
	2 VAN ACCESSIBLE SPACES
SURFACE PARKING	13 SPACES
	251 SPACES

EV PARKING COUNTS

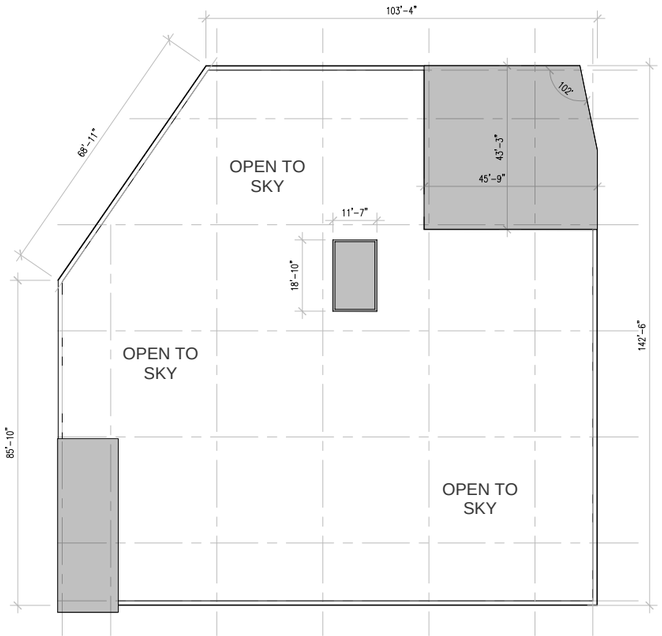
GARAGE	
1st FLOOR	10 SPACES (INDICATED ABOVE)
2nd FLOOR	12 SPACES (INDICATED ABOVE)
3rd FLOOR	12 SPACES (INDICATED ABOVE)
SURFACE PARKING	4 SPACES (SEE SHEET 05)
	38 SPACES



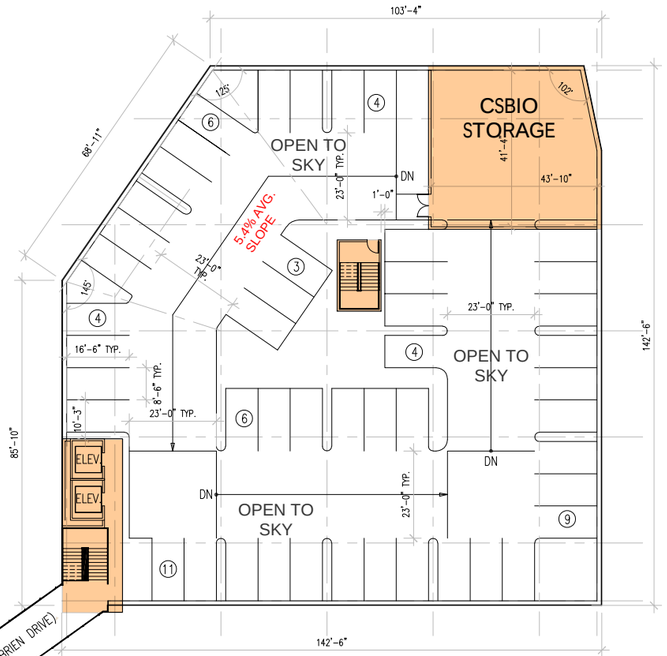
SCALE: 1:40 (FOR 11"x17" SET)
SCALE: 1:20 (FOR 22"x34" SET)

PEOPLE WHO LOVE PEPTIDES
PEOPLE WHO KNOW PEPTIDES
CS

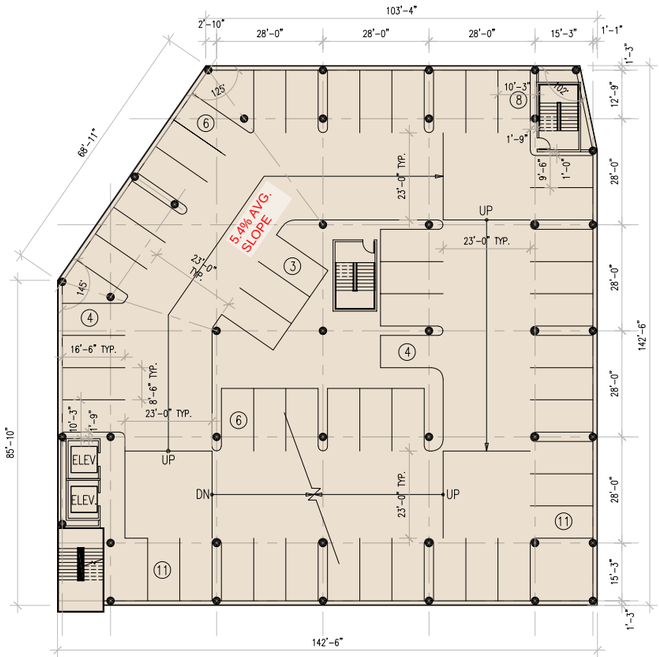
DGA



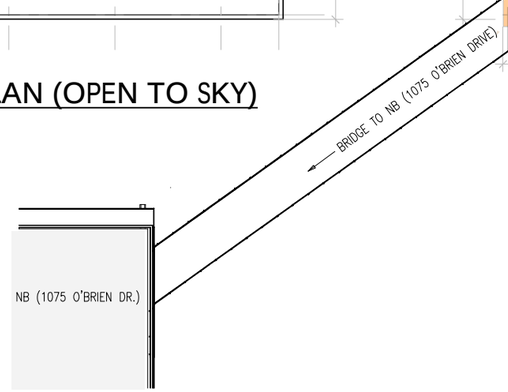
GARAGE ROOF PLAN (OPEN TO SKY)



GARAGE 5TH FLOOR PLAN (OPEN TO SKY)
47 Parking Spaces
19,166 SF



GARAGE 4TH FLOOR PLAN
53 Parking Spaces
19,166 SF



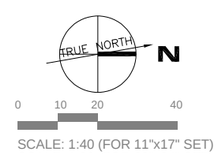
PARKING GARAGE

	PARKING GARAGE	93,904 SF
	CSBio STORAGE	1,926 SF

TOTAL PARKING GARAGE = 95,830 SF

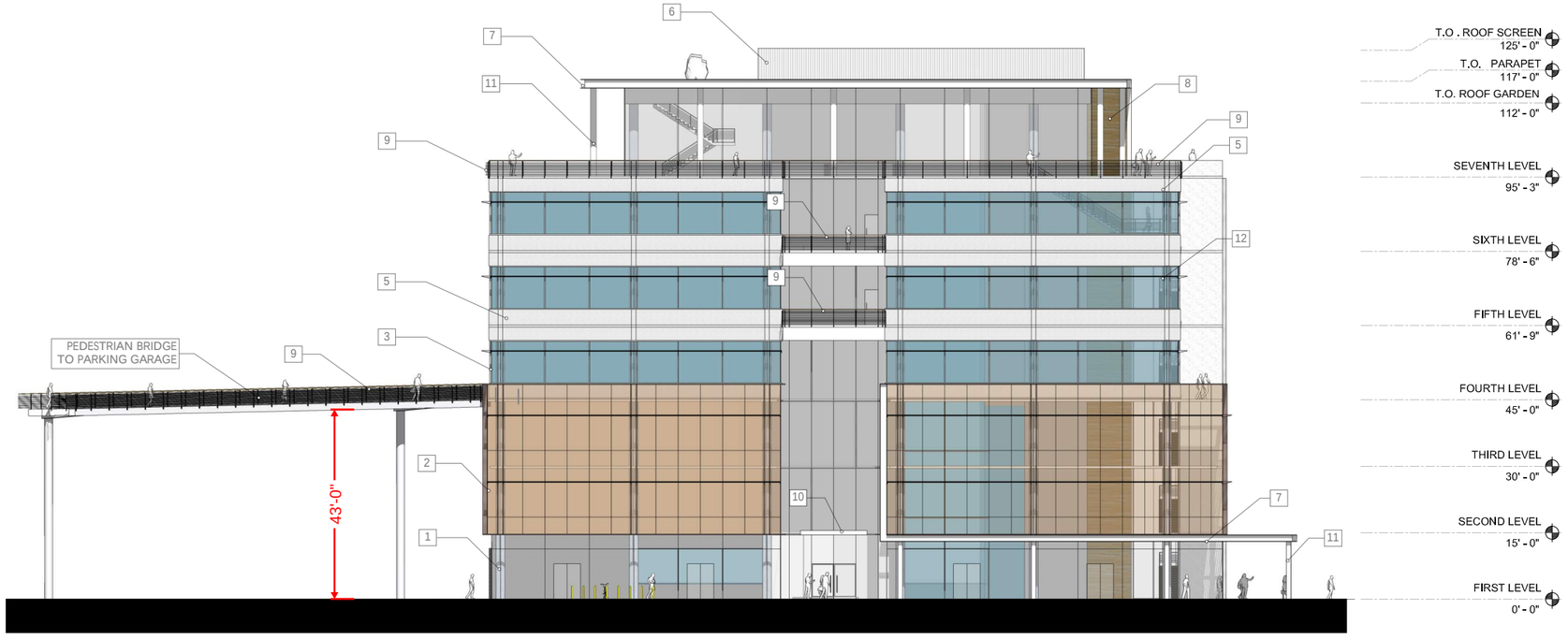
LEGEND:

- PARKING GARAGE
- COVERED AREA
- OPEN TO SKY
- ROOF OVER COVERED AREA



SCALE: 1:40 (FOR 11"x17" SET)
SCALE: 1:20 (FOR 22"x34" SET)

DGA



1075 O'BRIEN DRIVE

WEST ELEVATION

FACING KELLY COURT

MATERIALS LEGEND:

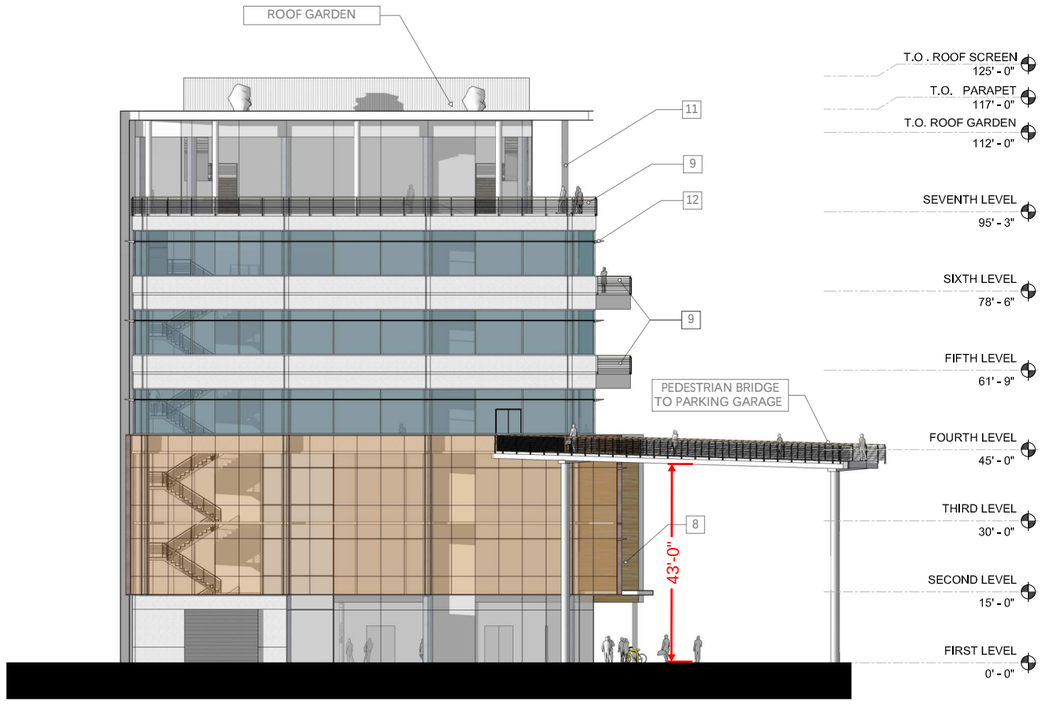
1. GLAZING - TYPE 1 CLEAR VISION GLASS
2. GLAZING - TYPE 2 TINTED VISION GLASS
3. GLAZING - TYPE 3 TINTED VISION GLASS
4. GLAZING - TYPE 4 SPANDREL GLASS
5. CEMENTITIOUS PRODUCT
6. PROFILED METAL PANEL
7. C-SHAPED METAL TRIM
8. METAL PANEL, WOOD-LOOK
   ALTERNATE: TRESPA WOOD GRAIN PANEL
9. METAL GUARDRAIL
10. METAL PANEL CANOPY
11. <12" DIAMETER ALUMINUM COLUMN COVER
12. METAL SUNSHADE

0 8 16 32

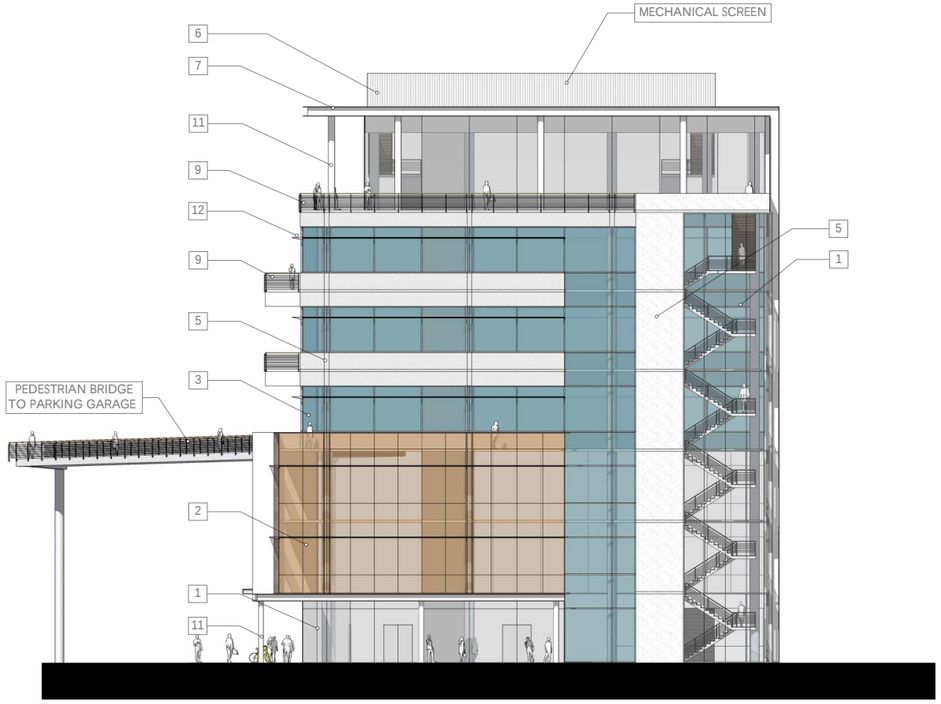
SCALE: 1/32

PEOPLE WHO LOVE PEPTIDES · CS · PEOPLE WHO KNOW PEPTIDES

DGA



1075 O'BRIEN DRIVE
NORTH ELEVATION
FACING NORTH



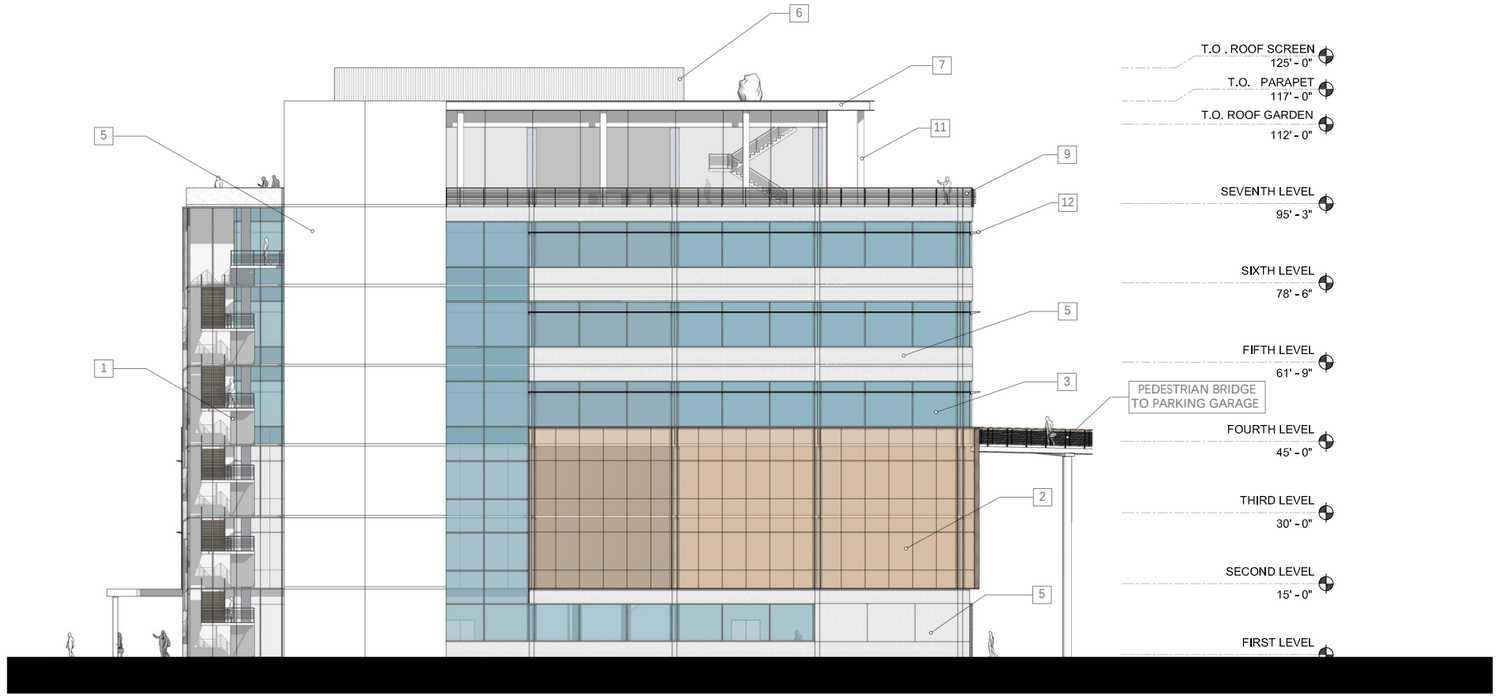
1075 O'BRIEN DRIVE
SOUTH ELEVATION
FACING O'BRIEN DRIVE

MATERIALS LEGEND:

1. GLAZING - TYPE 1 CLEAR VISION GLASS
2. GLAZING - TYPE 2 TINTED VISION GLASS
3. GLAZING - TYPE 3 TINTED VISION GLASS
4. GLAZING - TYPE 4 SPANDREL GLASS
5. CEMENTITIOUS PRODUCT
6. PROFILED METAL PANEL
7. C-SHAPED METAL TRIM
8. METAL PANEL, WOOD-LOOK
   ALTERNATE: TRESPA WOOD GRAIN PANEL
9. METAL GUARDRAIL
10. METAL PANEL CANOPY
11. <12" DIAMETER ALUMINUM COLUMN COVER
12. METAL SUNSHADE

0 8 16 32
SCALE: 1/32

PEOPLE WHO LOVE PEPTIDES · PEOPLE WHO KNOW PEPTIDES
DGA



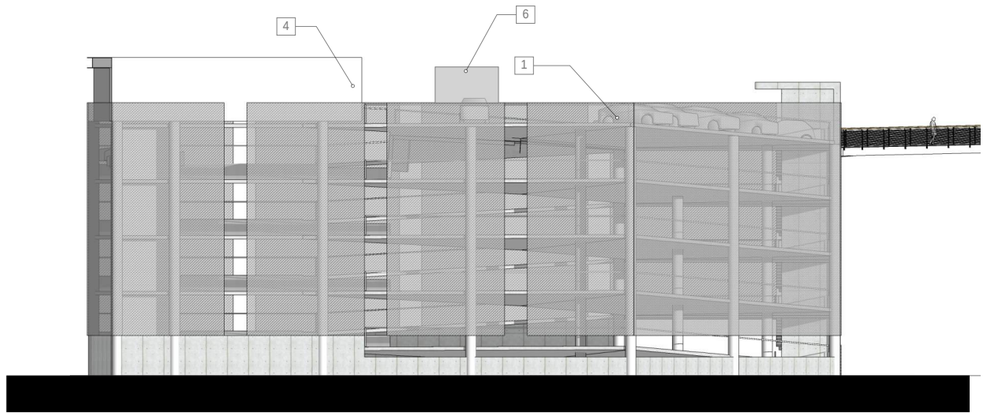
1075 O'BRIEN DRIVE
EAST ELEVATION
FACING EAST

MATERIALS LEGEND:

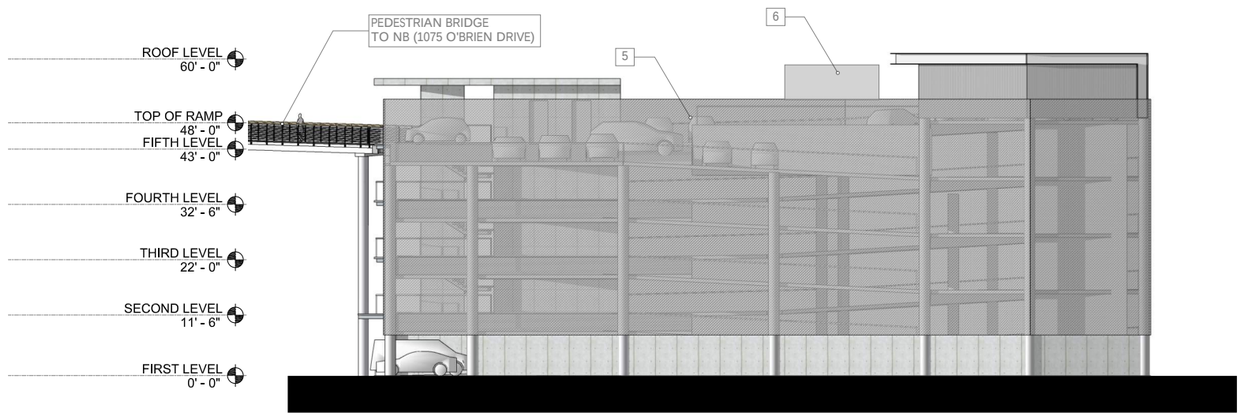
1. GLAZING - TYPE 1 CLEAR VISION GLASS
2. GLAZING - TYPE 2 TINTED VISION GLASS
3. GLAZING - TYPE 3 TINTED VISION GLASS
4. GLAZING - TYPE 4 SPANDREL GLASS
5. CEMENTITIOUS PRODUCT
6. PROFILED METAL PANEL
7. C-SHAPED METAL TRIM
8. METAL PANEL, WOOD-LOOK
   ALTERNATE: TRESPA WOOD GRAIN PANEL
9. METAL GUARDRAIL
10. METAL PANEL CANOPY
11. <12" DIAMETER ALUMINUM COLUMN COVER
12. METAL SUNSHADE

0 8 16 32
SCALE: 1/32

DGA



WEST ELEVATION
FACING WEST



NORTH ELEVATION
FACING NORTH

SOUTH ELEVATION
FACING KELLY COURT

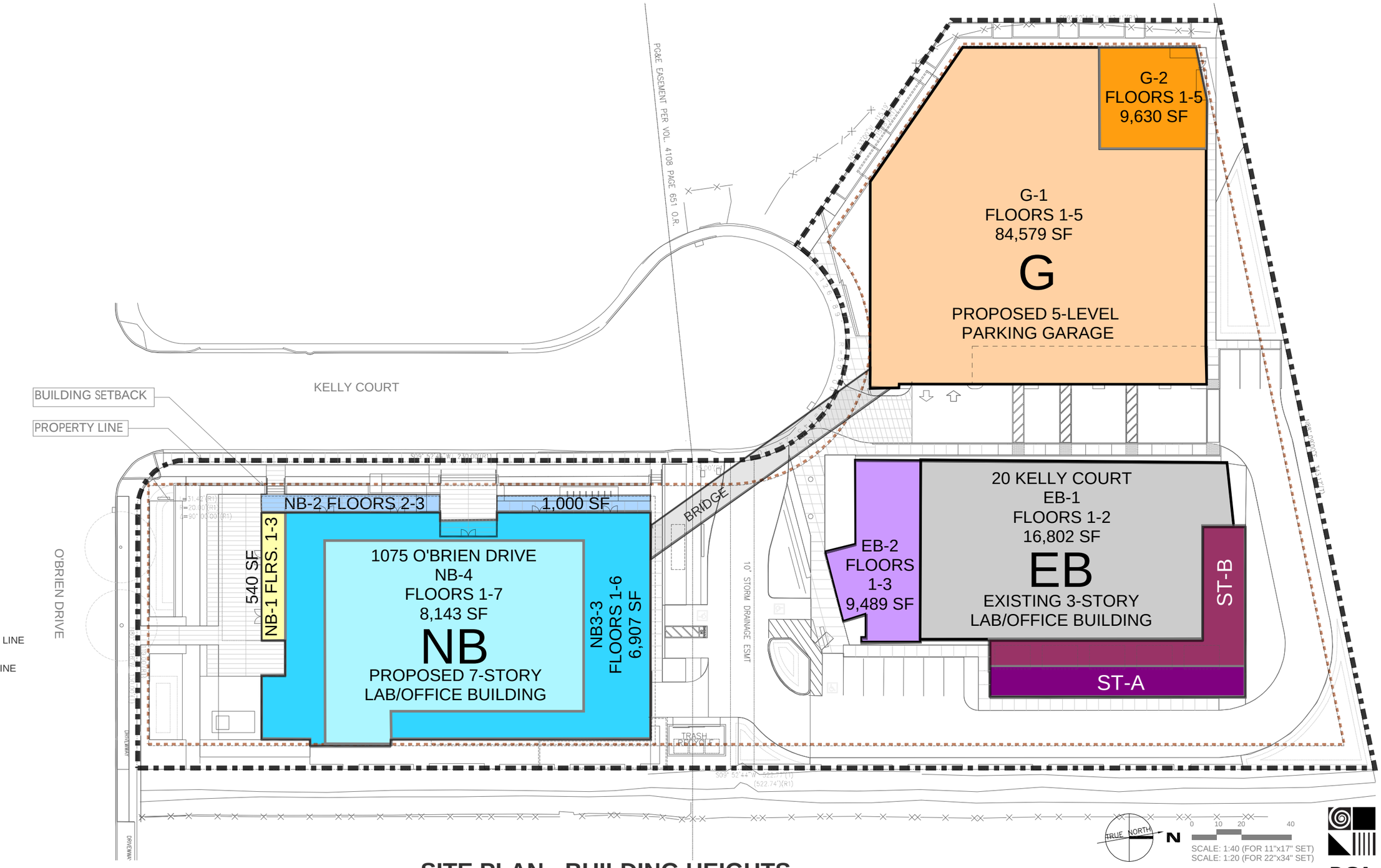
EAST ELEVATION
FACING EAST

0 8 16 32
SCALE: 1/32

MATERIALS LEGEND:

1. METAL SCREEN MESH
2. CEMENTITIOUS PRODUCT
3. C-SHAPED METAL TRIM
4. PROFILED METAL PANEL
5. METAL SCREEN MESH WITH ARTWORK (ARTWORK, T.B.D.)
6. STAIR ENCLOSURE

DGA



SITE PLAN - BUILDING HEIGHTS

DGA

Average Building Height - Volumetric Weighted - Calculation

				Floors	Height Area		
Garage							10'-6" @ 2nd - 5th Floor
G-1	Height	51.50	Feet	5	10.50	Ft.	11'-6" @ 1st Floor
	Area	95,830	Sq. Ft.	5	19,166	Sq. Ft.	Per Floor
G-2	Height	60.00	Feet	6	12.00	Ft.	12'-0" To Roof
	Area	1,926	Sq. Ft.	1	1,926	Sq. Ft.	Per Floor
	G Total Area	**97,756**			17,240		
20 Kelly Court							
EB-1	Height	30.00	Feet	2	15.00	Ft.	Floor-to-Floor
	Area	16,802	Sq. Ft.	2	8,401	Sq. Ft.	Avg. Per Floor
EB-2	Height	44.00	Feet	3	14.67	Ft.	Floor-to-Floor
	Area	9,489	Sq. Ft.	3	3,163	Sq. Ft.	Avg. Per Floor
	EB Total Area	**26,291**					
ST-A	**Covered Storage &** ST-B **HazMat Bunker**						
	Height	12.50	Feet	1	12.50	Ft.	Floor-to-Floor
	ST Total Area	**3,500**	Sq. Ft.	1	3,500	Sq. Ft.	Avg. Per Floor

1075 O'Brien							
NB-1	Base Height	45.00	Feet	3	15.00	Ft.	Floor-to-Floor
	Base Area	1,620	Sq. Ft.	3	540	Sq. Ft.	Avg. Per Floor
					16,354		
NB-2	Base Height	45.00	Feet	2	15.00	Ft.	Floor-to-Floor
	Base Area	2,000	Sq. Ft.	2	1,000	Sq. Ft.	Avg. Per Floor
					16,354		
NB-3	Base Height	95.25	Feet	6	16	Ft.	Avg. Floor-to-Floor
	Base Area	41,442	Sq. Ft.	6	6,907	Sq. Ft.	Avg. Per Floor
					14,823		
NB-4	Tower Height	110.00	Feet				
	+ Bonus	10.00	Feet				
	Max + Bonus	120.00	Feet				
	Proposed	117.00	Feet	To Top of Parapet			
	- Parapet	5.00	Feet				
	Roof	112.00	Feet	7	16.00	Ft.	Avg. Floor-to-Floor
	Tower Area	56,998	Sq. Ft.	7	8,143	Sq. Ft.	Avg. Per Floor
	NB Total Area	**102,060**	Sq. Ft.				

	X	Y		Z
Building	**Building Footprint (SF)**	**Building Height**	**Floors** (Not in Calc)	**Z = (XxY)**
G-1	17,240	51.50	5	887,860
G-2	1,926	60.00	1	115,560
EB-1	8,401	30.00	2	252,030
EB-2	3,163	44.00	3	139,172
ST-A + ST-B	3,500	12.50	1	43,750
NB-1	540	45.00	3	24,300
NB-2	1,000	45.00	2	45,000
NB-3	6,907	95.25	6	657,892
NB-4	8,143	117.00	7	952,673
TOTAL	**50,820**			**3,118,236**

AVERAGE HEIGHT (TOTAL Z / TOTAL X) - Average Height is Less than Allowed: 61.36

Maximum Average Height Allowed: 67.50 + Flood Zone Bonus 10.00 = 77.50

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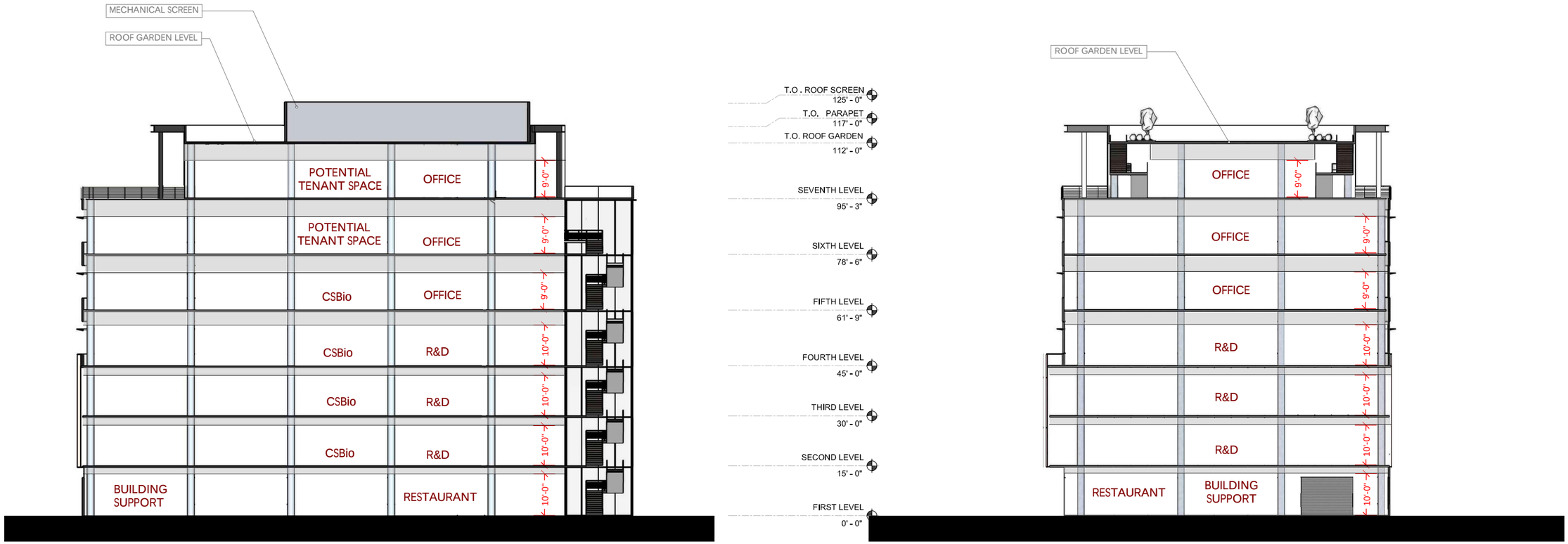
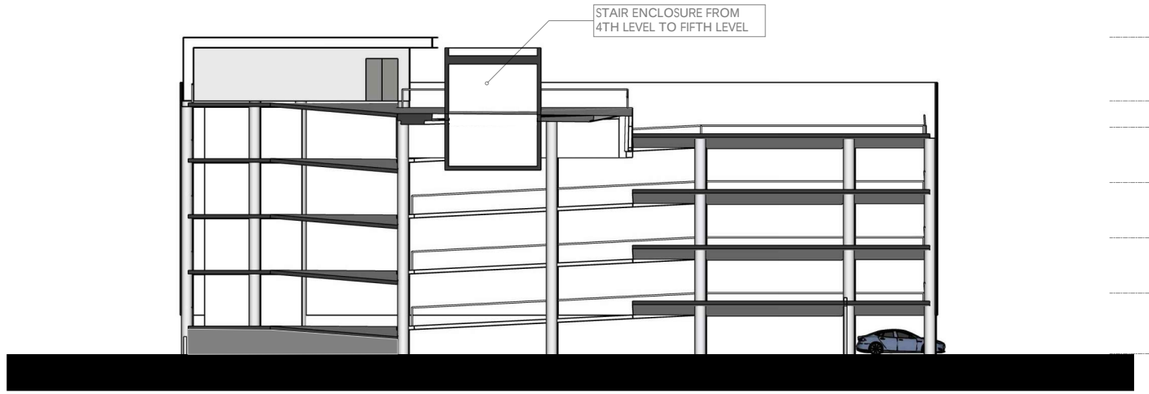


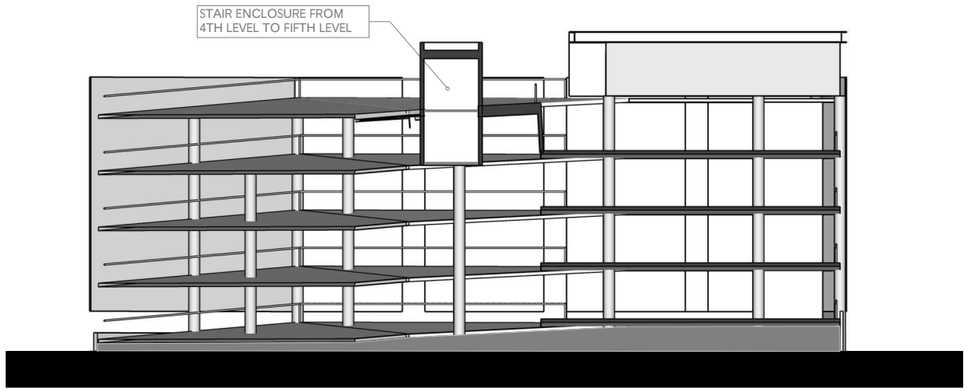
1075 O'BRIEN DRIVE
LONGITUDINAL SECTION - LOOKING EAST

1075 O'BRIEN DRIVE
CROSS SECTION - LOOKING SOUTH

0 8 16 32
SCALE: 1/32



PARKING GARAGE
CROSS SECTION - LOOKING NORTH

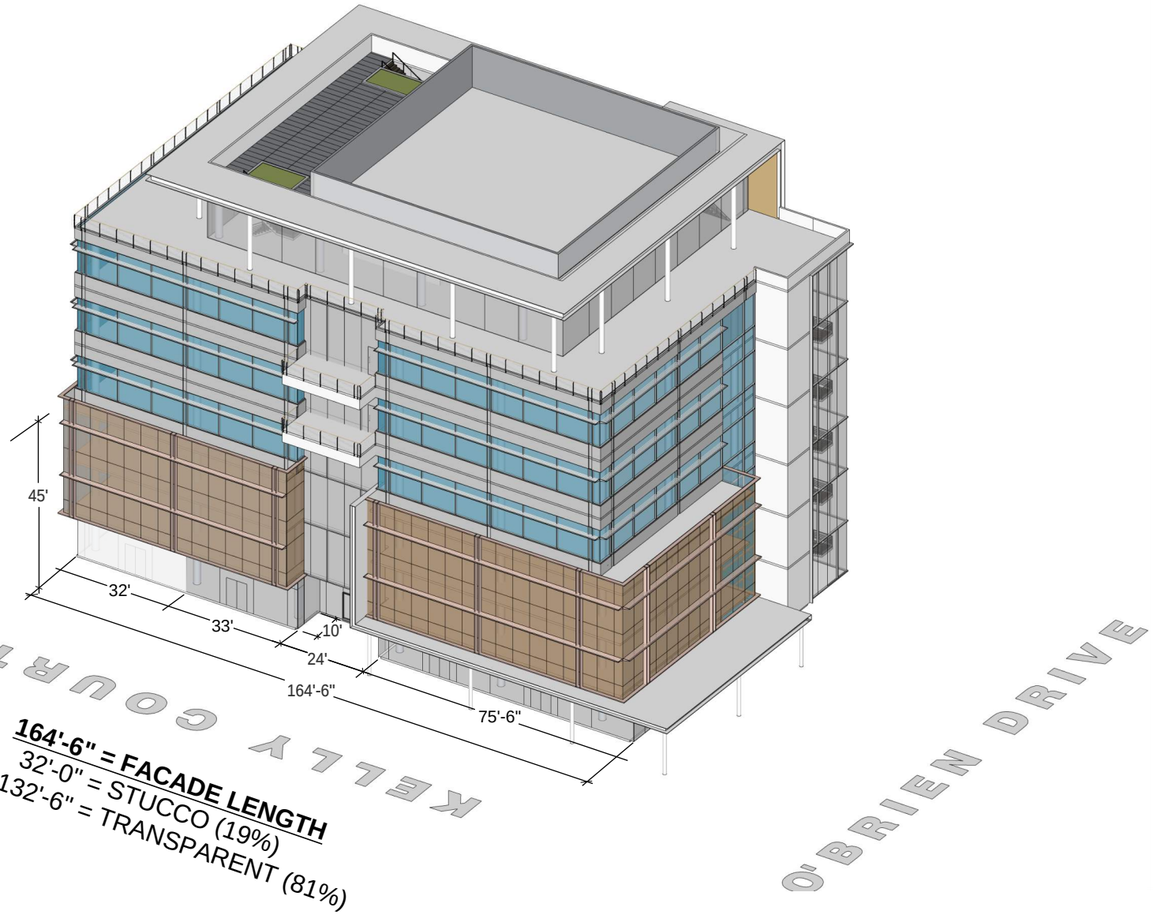


PARKING GARAGE
CROSS SECTION - LOOKING WEST

0 8 16 32
SCALE: 1/32

MENLO PARK MUNICIPAL CODE: SECTION 16.44.120 DESIGN STANDARDS - BUILDING MODULATION
MINIMUM OF ONE RECESS OF 15 FEET WIDE BY 10 FEET DEEP PER 200 FEET OF FACADE LENGTH

FACADES ALONG KELLY COURT AND O'BRIEN DRIVE COMPLY

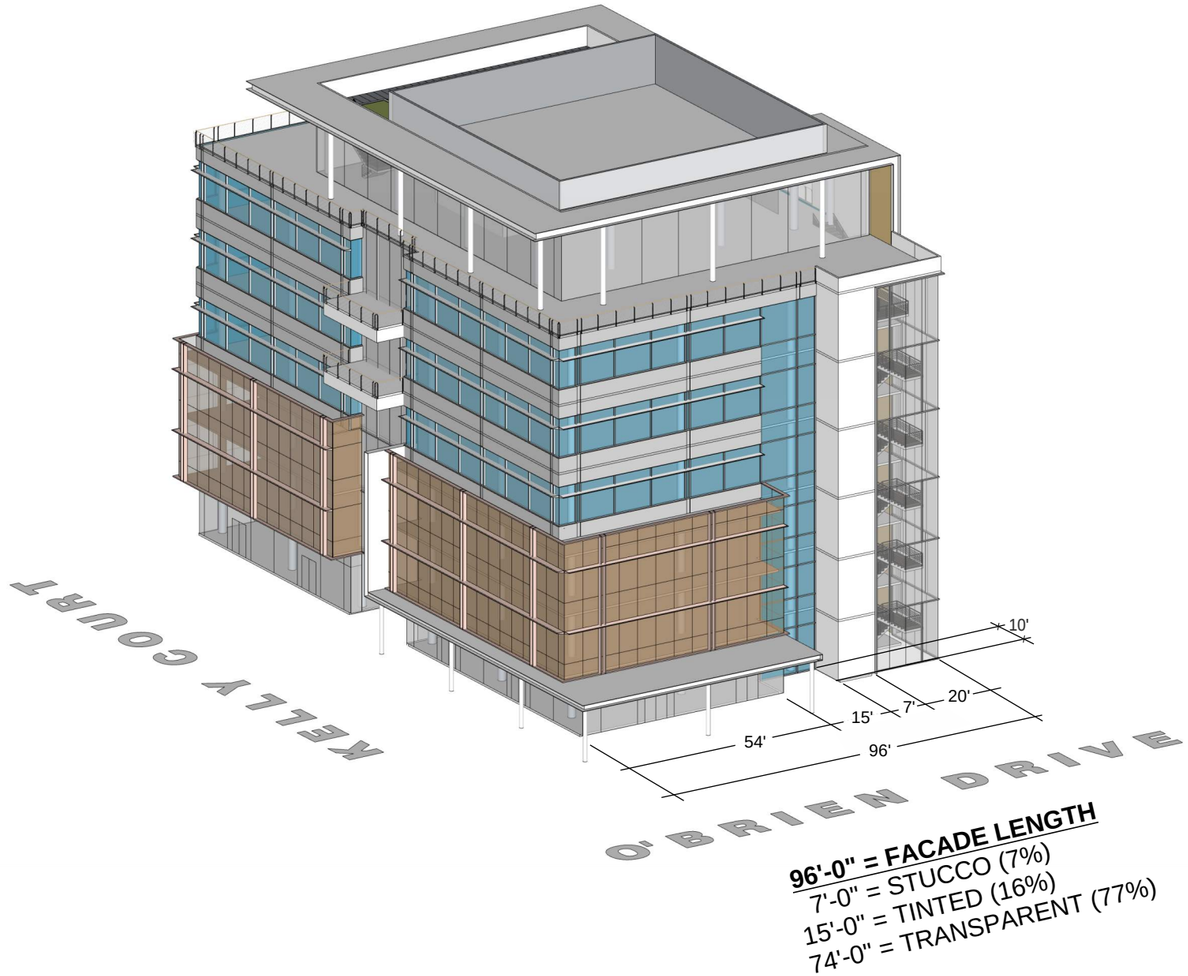


164'-6" = FACADE LENGTH
32'-0" = STUCCO (19%)
132'-6" = TRANSPARENT (81%)

BUILDING MODULATION
ALONG KELLY COURT

SECTION 16.44.120 DESIGN STANDARDS - GROUND FLOOR TRANSPARENCY
BONUS LEVEL FRONTING A LOCAL STREET = 25%, 50% FOR COMMERCIAL USES

FACADES ALONG KELLY COURT AND O'BRIEN DRIVE COMPLY



96'-0" = FACADE LENGTH
7'-0" = STUCCO (7%)
15'-0" = TINTED (16%)
74'-0" = TRANSPARENT (77%)

BUILDING MODULATION
ALONG O'BRIEN DRIVE

DGA

LEGEND:

PROPOSED BUILDING


LEGEND:
PROPOSED BUILDING
PARKING GARAGE
PARKING GARAGE
OFFICE CAMPUS
PARKING GARAGE
HOTEL
MIXED-USE BLOCK
MIXED-USE BLOCK
RESIDENTIAL BLOCK
RESIDENTIAL BLOCK
COMMUNITY CENTER
WILLOW VILLAGE - BUILDINGS WITH A MIX OF OFFICE, R&D AND WAREHOUSING USES. ADDRESS RANGES: 1350-1390 WILLOW ROAD, 925-1098 HAMILTON AVE. AND 1005-1275 HAMILTON COURT
PROPOSED 5-STORY PARKING GARAGE
EXISTING 20 KELLY CT. 3-STORY LAB/OFFICE BUILDING
PROPOSED 1075 O'BRIEN DR. 7-STORY LAB/OFFICE BUILDING
1165 O'BRIEN DRIVE 5-STORY R&D
1105 O'BRIEN DRIVE 6-STORY PARKING GARAGE
10 KELLY COURT
1035 O'BRIEN DRIVE
KELLY COURT
O'BRIEN DRIVE
N

DGA

1075 O'BRIEN DRIVE MASSING VIEW OF SOUTH

DGA

1075 O'BRIEN DRIVE, 20 KELLY COURT & GARAGE
MASSING VIEW OF SOUTHWEST

1075 O'BRIEN DRIVE & 20 KELLY COURT
MASSING VIEW VIEW OF EAST

1075 O'BRIEN DRIVE MASSING VIEW OF WEST

SITE DEMOLITION PLAN | 1075 O'BRIEN DRIVE, MENLO PARK

C-0.1

KEY NOTES

1. REMOVE EXISTING TREE.
2. REMOVE (E) AC PAVING. SEE GENERAL NOTE 5.
3. REMOVE (E) CONCRETE CURB/CURB AND GUTTER.
4. REMOVE (E) STRUCTURE, INCLUDING SLAB & FOUNDATION.
5. REMOVE (E) PLANTER, INCLUDING CURB, LANDSCAPING AND IRRIGATION.
6. (E) SIGN TO REMAIN.
7. REMOVE (E) CONCRETE WALK/SLAB/PAD.
8. REMOVE (E) LANDSCAPING, INCLUDING IRRIGATION.
9. EXISTING STORM DRAIN TO REMAIN. SEE GENERAL NOTE 2.
10. REMOVE (E) TRASH ENCLOSURE, CONCRETE SLAB AND CURB.
11. REMOVE EXISTING TRENCH DRAIN.
12. REMOVE EXISTING TRANSFORMER AND TRANSFORMER PAD. COORDINATE WITH PG&E.
13. REMOVE EXISTING BOLLARD.
14. REMOVE EXISTING FENCE PERGOLA.
15. REMOVE OR ABANDON (E) STORM DRAIN. SEE GENERAL NOTE 9.
16. REMOVE EXISTING CONCRETE WALL.
17. EXISTING BUILDING TO REMAIN.
18. REMOVE (E) ELECTRICAL AND COMMUNICATION CONDUITS AND VAULTS. COORDINATE WITH ELECTRICAL PLANS.
19. REMOVE EXISTING BIORETENTION AREA INCLUDING LANDSCAPING, IRRIGATION, PERFORATED PIPE AND BIORETENTION SOIL MIX (BSM).
20. REMOVE (E) GATE.
21. REMOVE (E) EQUIPMENT.
22. REMOVE (E) CHAIN LINK FENCE/GATE.
23. REMOVE (E) GRAVEL.
24. REMOVE (E) FIRE HYDRANT.
25. EXISTING 12" STORM DRAIN AT S=.005 PER RECORD.
26. EXISTING 6" STORM DRAIN AT S=.01 PER RECORD.
27. EXISTING 8" STORM DRAIN AT S=.005 PER RECORD.
28. EXISTING 8" FIRE LINE PER RECORD.
29. (E) SANITARY SEWER TO REMAIN.
30. REFER TO SHEET C2.1 FOR DISPOSITION OF (E) UTILITIES.
31. (E) CONCRETE CURB/CURB AND GUTTER TO REMAIN.
32. (E) AC PAVING TO REMAIN.
33. (E) PLANTER TO REMAIN.
34. (E) CONCRETE WALK/SLAB TO REMAIN.
35. (E) LANDSCAPING TO REMAIN.
36. SAWCUT (E) AC PAVING.
37. REMOVE THIS PORTION OF (E) FIRE LINE.
38. THIS PORTION OF (E) FIRE LINE TO REMAIN. SEE GENERAL NOTE 2.
39. REMOVE (E) PUMP.
40. REMOVE (E) BOLLARD.
41. (E) GAS METER(S) TO BE REMOVED. COORDINATE WITH PG&E.

GENERAL NOTE:

1. REFER TO SHEET C1.1 FOR DEMOLITION WORK, INCLUDING AC PAVING AND CONCRETE GUTTER, WITHIN THE O'BRIEN DRIVE AND KELLY COURT RIGHT OF WAY.
2. PROTECT ALL EXISTING UTILITIES TO REMAIN.
3. REFER TO ELECTRICAL DRAWINGS FOR DISPOSITION OF ALL ELECTRICAL COMMUNICATION LINES/STRUCTURES..
4. REFER TO SHEET C2.1 FOR REMOVAL OF UTILITIES WITHIN THE PUBLIC RIGHT OF WAY.
5. (E) AC PAVING SHOWN TO BE REMOVED MAY BE GROUND AND MIXED WITH THE EXISTING AGGREGATE BASE AND STOCKPILED FOR USE AS CL. 2 AGGREGATE BASE AT THE NEW AC PAVING. AC SHALL BE GROUND TO MAXIMUM 1 1/2 " PIECES AND THOROUGHLY MIXED WITH THE EXISTING AGGREGATE BASE TO PRODUCE AN AGGREGATE BASE WITH A MINIMUM R VALUE OF 78 PER CAL TRANS SPECIFICATION. SEE SPECIFICATION SECTION 32 10 00 FOR AGGREGATE BASE SPECIFICATION.
6. COORDINATE THE ABANDONMENT AND REMOVAL OF (E) GAS METER WITH PG&E. CAP PER PG&E REQUIREMENTS.
7. CONFIRM SAFE OFF (E) SERVICE.
8. PROVIDE MARKERS AT ALL UTILITY LINES CAPPED AT OR NEAR PROPERTY LINE.
9. ALL (E) UTILITIES WITHIN 5' OF THE NEW BUILDING OR GARAGE SHALL BE REMOVED.

LEGEND

- LIMIT OF ON-SITE DEMOLITION
- REMOVE (E) BUILDING
- REMOVE (E) CONCRETE
- REMOVE (E) AC PAVING

LIMIT OF ON-SITE DEMOLITION

REMOVE (E) AC PAVING

REMOVE (E) CONCRETE

REMOVE (E) BUILDING

REMOVE (E) BUILDING

REMOVE (E) CONCRETE

REMOVE (E) AC PAVING

(E) BUILDING TO REMAIN

REMOVE (E) AC PAVING

LIMIT OF ON-SITE DEMOLITION

HETCH HETCHY RIGHT OF WAY

SITE DEMOLITION PLAN

0 10 20 40 80

SCALE : 1" = 20'-0"

DGA

GRADING & DRAINAGE PLAN | 1075 O'BRIEN DRIVE, MENLO PARK

C1.1

KEY NOTES

1. CONCRETE SLAB-SEE STRUCTURAL FOR THICKNESS AND REINFORCING, OVER 2" SAND, 10 MIL MEMBRANE OVER 4" DRAIN ROCK.
2. PROVIDE NEW CONCRETE CURB & GUTTER. SEE 6/C3.1.
3. PROVIDE NEW WALK WITH MAXIMUM 2% CROSS - SLOPE AND SLOPE AND SLOPE IN THE DIRECTION OF TRAVEL LESS THAN 1:20. SEE LANDSCAPE AND ARCHITECTURAL PLAN FOR WALK MATERIAL.
4. PROVIDE WALK/LANDING WITH MAXIMUM 2% SLOPE IN ANY DIRECTION. SEE LANDSCAPE PLAN FOR WALK MATERIAL.
5. END VERTICAL CURB. BEGIN FLUSH CURB.
6. PROVIDE FLUSH CURB.
7. PROVIDE NEW PAVING WITH MAXIMUM SLOPE IN ALL DIRECTIONS OF 2% AT ALL ACCESSIBLE PARKING SPACES AND ACCESS AISLES. VERIFY LOCATION WITH ARCHITECTURAL DRAWINGS.
8. PROVIDE CONCRETE CURB RAMP WITH MAXIMUM 1:12 SLOPE. SEE ARCH. DWG. FOR DETAILS.
9. PROVIDE 6" CONCRETE SLAB W/#3 @ 18" DCEW OVER 6" CL. 2 AGG. BASE.
10. PROVIDE 18" WIDE CURB CUT AT CURB OR CURB AND GUTTER. PROVIDE MINIMUM 2" DROP FROM FL OF GUTTER TO LANDSCAPE GRADE.
11. NEW BUBBLER. PROVIDE 18" ROUND CATCH BASIN OR AREA DRAIN WITH GRATE ELEVATION 7" ABOVE FLOW LINE OF BIDRETENTION BASIN.
12. END VERTICAL CURB WITH 45° BEVEL.
13. PROVIDE CONCRETE GUTTER. SEE 15/C3.1
14. NEW OVERFLOW DRAIN. PROVIDE 18" ROUND CATCH BASIN WITH GRATE ELEVATION 6" ABOVE FLOW LINE OF BIDRETENTION AREA/FLOW THRU PLANTER.
15. MATCH (E) CONCRETE WALK GRADE.
16. PROVIDE 3' WIDE CONCRETE GUTTER.
17. NEW CONCRETE CURB. SEE 1/C3.1.
18. NEW CONCRETE CURB. SEE 2/C3.1.
19. PROVIDE NEW ACCESSIBLE PATH WITH MAX. 2% CROSS-SLOPE AND SLOPE IN THE DIRECTION OF TRAVEL LESS THAN 1:20.
20. PROVIDE DEEP CURB AT BIDRETENTION BASIN.
21. PROVIDE CURB, GUTTER AND RETAINING WALL.
22. NOT USED.
23. PROVIDE FLUSH CURB AND GUTTER WITH 1/2" LIP.
24. MATCH (E) TC, FL AND LIP GRADES.
25. MATCH (E) TC AND PAVING GRADE. VIF.
26. PROVIDE 2 1/2" AC OVER 9" CL.2 AGGREGATE BASE.
27. PROVIDE 3" AC OVER 10" CL.2 AGGREGATE BASE.
28. PROVIDE FLOOR DRAIN WITH TRAP AND VENT.
29. PROVIDE SIDEWALK UNDERDRAIN. SEE 5/C3.1.
30. MATCH (E) AC PAVING GRADE. VIF.
31. PROVIDE RETAINING WALLS. SEE STRUCTURAL DRAWINGS.
32. DAYLIGHT RAINWATER LEADER AT CONCRETE GUTTER.
33. (E) WALL TO REMAIN.

KEY FOR WORK ON PUBLIC R/W

40. SAWCUT (E) AC PAVING 2' FROM LIP OF CONCRETE GUTTER AND REMOVE.
41. PROVIDE AC PATCH. PROVIDE 6" DEEP LIFT ASPHALT OVER (E) AGGEGATE BASE.
42. PROVIDE CURB, GUTTER AND SIDEWALK PER CITY STANDARDS.
43. (E) CURB, GUTTER AND WALK TO REMAIN.
44. (E) DRIVEWAY TO REMAIN.
45. SAWCUT AND REMOVE (E) CONCRETE DRIVEWAY AND PROVIDE CURB, GUTTER AND SIDEWALK PER CITY STANDARDS.

KEY FOR WORK ON PUBLIC R/W (CONT.)

46. PROVIDE CORNER CURB RAMP PER CITY STANDARDS.
47. PROVIDE CURB RAMP TO MATCH (E) ADJACENT PER CITY STANDARDS.
48. PROVIDE CONCRETE DRIVEWAY PER CITY STANDARD DETAIL CG-3.

GENERAL NOTES:

1. THE PROJECT IS IN FLOOD ZONE AE WITH THE BFE AS SHOWN.
2. THE PROJECT IS DESIGNED AND WILL BE CONSTRUCTED IN ACCORDANCE WITH FEMA REGULATIONS AND THE CITY'S FLOOD DAMAGE PREVENTION ORDINANCE.
3. PROVIDE MINIMUM 1.7% SLOPE AWAY FROM BUILDING AT IMPERVIOUS SURFACES WITHIN 10' FROM BUILDING. PROVIDE MINIMUM 5% SLOPE AT PERVIOUS SURFACES WITHIN 10' OF BUILDING.

LEGEND:

- NEW CONCRETE
- NEW PAVERS
- NEW AC PAVING
- BIDRETENTION AREA
- AC PATCH
- DECOMPOSED GRANITE

BIDRETENTION AREA #1
BIDRETENTION AREA #2
BIDRETENTION AREA #3
BIDRETENTION AREA #4
BIDRETENTION AREA #5
BIDRETENTION AREA #6
BIDRETENTION AREA #7
FLOW THRU PLANTER #1
FLOW THRU PLANTER #2
BFE 13 FEET
BFE 12 FEET
FINISH FLOOR 14.75
FINISH FLOOR 13.00 MATCH (E) FLOOR ELEV.
PG&E EASEMENT PER VOL. 4108 PAGE 651 O.R.
9.00' INGRESS & EGGRESS EASEMENT PER DOC. NO. 2004-040907 O.R.
10' STORM DRAINAGE ESMT (DOC-2014-052914)
(E) AC TO REMAIN

GRADING AND DRAINAGE PLAN

SCALE : 1" = 20'-0"

0 10 20 40 80

PEOPLE WHO LOVE PEPTIDES — CS — PEOPLE WHO KNOW PEPTIDES

DGA

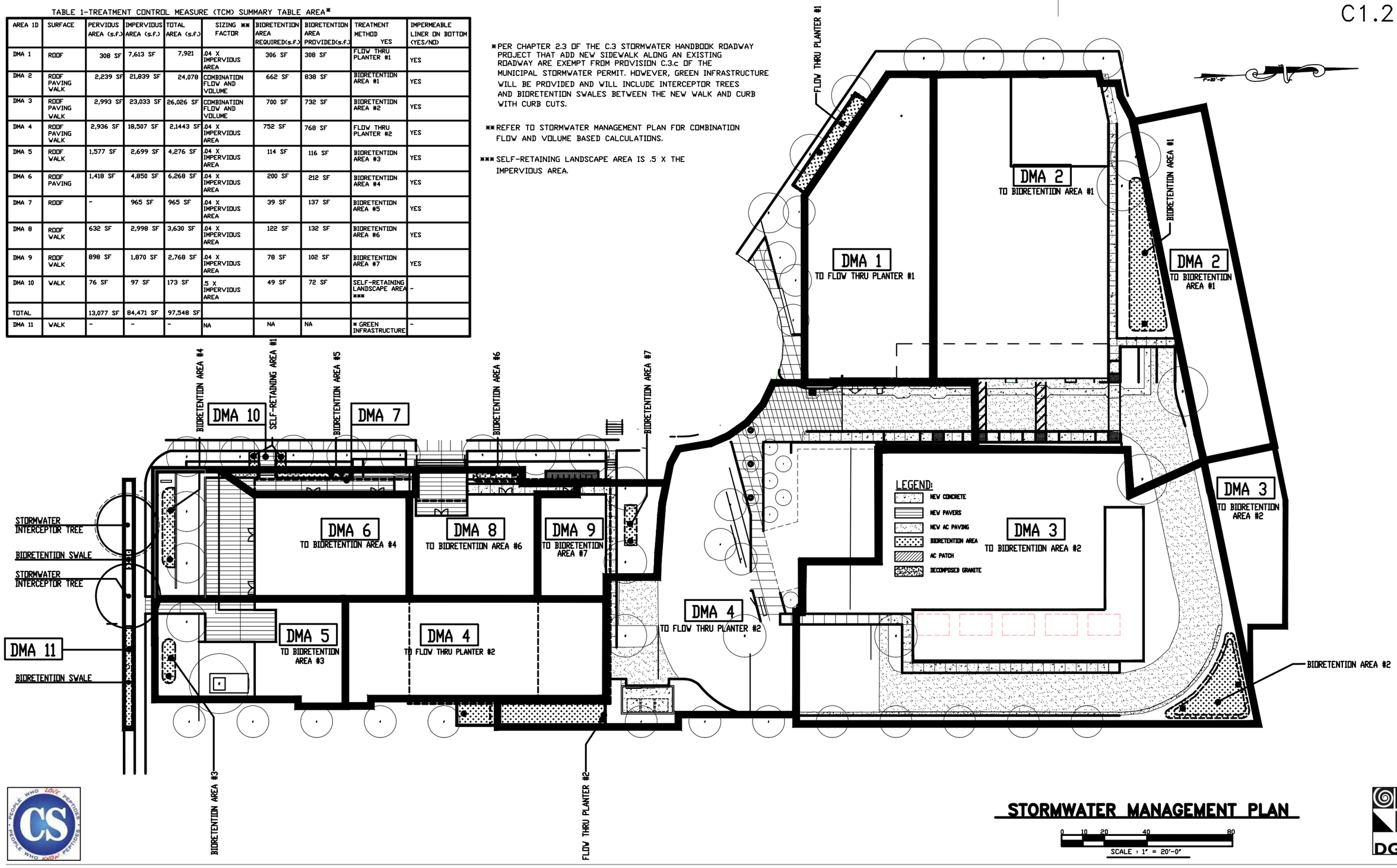
TABLE 1-TREATMENT CONTROL MEASURE (TCM) SUMMARY TABLE AREA*

AREA ID	SURFACE	PERVIOUS AREA (s.f.)	IMPERVIOUS AREA (s.f.)	TOTAL AREA (s.f.)	SIZING ** FACTOR	BIORETENTION AREA REQUIRED(s.f.)	BIORETENTION AREA PROVIDED(s.f.)	TREATMENT METHOD YES	IMPERMEABLE LINER ON BOTTOM (YES/NO)
DMA 1	ROOF	308 SF	7,613 SF	7,921	.04 X IMPERVIOUS AREA	306 SF	308 SF	FLOW THRU PLANTER #1	YES
DMA 2	ROOF PAVING WALK	2,239 SF	21,839 SF	24,078	COMBINATION FLOW AND VOLUME	662 SF	838 SF	BIORETENTION AREA #1	YES
DMA 3	ROOF PAVING WALK	2,993 SF	23,033 SF	26,026 SF	COMBINATION FLOW AND VOLUME	700 SF	732 SF	BIORETENTION AREA #2	YES
DMA 4	ROOF PAVING WALK	2,936 SF	18,507 SF	2,1443 SF	.04 X IMPERVIOUS AREA	752 SF	768 SF	FLOW THRU PLANTER #2	YES
DMA 5	ROOF WALK	1,577 SF	2,699 SF	4,276 SF	.04 X IMPERVIOUS AREA	114 SF	116 SF	BIORETENTION AREA #3	YES
DMA 6	ROOF PAVING	1,418 SF	4,850 SF	6,268 SF	.04 X IMPERVIOUS AREA	200 SF	212 SF	BIORETENTION AREA #4	YES
DMA 7	ROOF	-	965 SF	965 SF	.04 X IMPERVIOUS AREA	39 SF	137 SF	BIORETENTION AREA #5	YES
DMA 8	ROOF WALK	632 SF	2,998 SF	3,630 SF	.04 X IMPERVIOUS AREA	122 SF	132 SF	BIORETENTION AREA #6	YES
DMA 9	ROOF WALK	898 SF	1,870 SF	2,768 SF	.04 X IMPERVIOUS AREA	78 SF	102 SF	BIORETENTION AREA #7	YES
DMA 10	WALK	76 SF	97 SF	173 SF	.5 X IMPERVIOUS AREA	49 SF	72 SF	SELF-RETAINING LANDSCAPE AREA ***	-
TOTAL		13,077 SF	84,471 SF	97,548 SF					
DMA 11	WALK	-	-	-	NA	NA	NA	* GREEN INFRASTRUCTURE	-

*PER CHAPTER 2.3 OF THE C.3 STORMWATER HANDBOOK ROADWAY PROJECT THAT ADD NEW SIDEWALK ALONG AN EXISTING ROADWAY ARE EXEMPT FROM PROVISION C.3.c OF THE MUNICIPAL STORMWATER PERMIT. HOWEVER, GREEN INFRASTRUCTURE WILL BE PROVIDED AND WILL INCLUDE INTERCEPTOR TREES AND BIORETENTION SWALES BETWEEN THE NEW WALK AND CURB WITH CURB CUTS.

**REFER TO STORMWATER MANAGEMENT PLAN FOR COMBINATION FLOW AND VOLUME BASED CALCULATIONS.

***SELF-RETAINING LANDSCAPE AREA IS .5 X THE IMPERVIOUS AREA.



STORMWATER MANAGEMENT PLAN

0 10 20 40 80

SCALE : 1" = 20'-0"

SUMMARY OF MAINTENANCE REQUIREMENTS

ENTITY RESPONSIBLE FOR THE MAINTANENCE OF THE STORMWATER CONTROL MEASURES:

JASON CHANG
CCS MANAGEMENT, LLC
20 KELLY COURT, MENLO PARK, CA. 94025
CELL:
E-MAIL: jchang@csbio.com

BIORETENTION AREAS AND FLOW THRU PLANTERS REMOVE POLLUTANTS PRIMARILY BY FILTERING RUNOFF SLOWLY THROUGH AN ACTIVE LAYER OF SOIL. ROUTINE MAINTENANCE IS NEEDED TO INSURE THAT FLOW IS UNOBSTRUCTED, THAT EROSION IS PREVENTED, AND THAT SOILS ARE HELD TOGETHER BY PLANT ROOTS AND ARE BIOLOGICALLY ACTIVE. TYPICAL ROUTINE MAINTENANCE CONSISTS OF THE FOLLOWING:

- INSPECT INLETS, EXPOSURE OF SOILS, OR OTHER EVIDENCE OF EROSION. CLEAR ANY OBSTRUCTIONS AND REMOVE ANY ACCUMULATION OF SEDIMENT. EXAMINE ROCK OR OTHER MATERIAL USED AS A SPLASH PAD AND REPLENISH IF NECESSARY.
- INSPECT OUTLETS FOR EROSION OR UNPLUGGING.
- INSPECT SIDE SLOPES FOR EVIDENCE OF INSTABILITY OR EROSION AND CORRECT AS NECESSARY.
- OBSERVE SOIL IN THE BASINS FOR UNIFORM PERCOLATION THROUGHOUT. IF PORTIONS OF THE SWALE OR FILTER DO NOT DRAIN WITHIN 48 HOURS AFTER THE END OF A STORM, THE SOIL SHOULD BE TILLED AND REPLANTED. REMOVE ANY DERBIS OR ACCUMULATIONS OF SEDIMENT.
- EXAMINE THE VEGETATION TO INSURE THAT IT IS HEALTHY AND DENSE ENOUGH TO PROVIDE FILTERING AND TO PROTECT SOILS FROM EROSION. REPLENISH MUCH AS NECESSARY, REMOVE FALLEN LEAVES AND DEBRIS, PRUNE LARGE SHRUBS OR TREES, AND MOW TURF AREAS. CONFIRM THAT IRRIGATION IS ADEQUATE AND NOT EXCESSIVE. REPLACE DEAD PLANTS AND REMOVE INVASIVE VEGETATION.
- ABATE ANY POTENTIAL VECTORS BY FILLING HOLES IN THE GROUND IN AND AROUND THE SWALE AND BY INSURING THAT THERE ARE NOT AREAS WHERE WATER STANDS LONGER THAN 48 HOURS FOLLOWING A STORM. IF MOSQUITO LARVAE ARE PRESENT AND PERSISTENT, CONTACT THE SANTA CLARA COUNTY VECTOR CONTROL DISTRICT FOR INFORMATION AND ADVICE. MOSQUITO LARVICIDES SHOULD BE APPLIED ONLY WHEN ABSOLUTELY NECESSARY AND THEN ONLY BY A LICENSED INDIVIDUAL OR CONTRACTOR.
- WHERE BUBBLERS ARE USED CLEAN THE STORM DRAIN PRIOR TO THE RAINY SEASON AND AFTER THE RAINY SEASON.

2. PROJECT DATA:

PERVIOUS AND IMPERVIOUS SURFACES COMPARISON TABLE			
A. PROJECT PHASE NUMBER (N/A, 1, 2, 3, ETC.):	N/A	B. TOTAL SITE (ACRES):	2.27
C. TOTAL SITE EXISTING IMPERVIOUS SURFACES (SQUARE FEET):	83,996	D. TOTAL AREA OF SITE DISTURBED (ACRES):	1.81

	EXISTING CONDITION OF SITE AREA DISTURBED (SQUARE FEET)	PROPOSED CONDITION OF SITE AREA DISTURBED (SQUARE FEET)	
E. IMPERVIOUS SURFACES		REPLACED	NEW
ROOF AREA(S)	33,911	33,906	4,756
PARKING	7,998	422	443
SIDEWALKS, PATIOS, DRIVEWAYS, ETC.	42,087	13,915	2,332
-	-	-	-
-	-	-	-
TOTAL IMPERVIOUS SURFACES:	E.1: 83,996	E.2: 48,243	E.3: 7,531
F. PERVIOUS SURFACES			
LANDSCAPED AREAS	14,700	6,122	15,437
PERVIOUS PAVING	-	-	1,154
OTHER PERVIOUS SURFACES (GREEN ROOF, ETC)	-	-	-
TOTAL PERVIOUS SURFACES:	F.1: 14,700	F.2: 6,122	F.3: 16,591

G. TOTAL PROPOSED REPLACED + NEW IMPERVIOUS SURFACES (E.2+E.3):	55,774
H. TOTAL PROPOSED REPLACED + NEW PERVIOUS SURFACES (F.2+F.3):	22,713
I. PERCENT OF REPLACEMENT OF IMPERVIOUS AREA IN REDEVELOPMENT PROJECTS (E.2÷C X 100):	57.4%

STORMWATER CONTROL MEASURES USED

SITE DESIGN	STORMWATER TREATMENT	SOURCE CONTROLS
ROOF DRAINS DIRECTED TO BIORETENTION AREAS	1. BIORETENSION AREAS 2. FLOW THRU PLANTERS	1. BENEFICIAL LANDSCAPING (MINIMIZES IRRIGATION, RUNOFF, PESTICIDES & FERTILLIZERS; PROMOTES TREATMENT) 2. MAINTENANCE (STREET SWEEPING, CATCH BASIN CLEANING) 3. STORM DRAIN SIGNAGE

FLOOD ZONE:

THIS SITE IS IN FLOOD ZONE "AE".

PAVING MATERIALS:

ASPHALT AND CONCRETE

ENGINEERS CERTIFICATION

THE SELECTION, SIZING, AND PRELIMINARY DESIGN TREATMENT BMP'S AND OTHER CONTROL MEASURES IN THIS PLAN MEET THE REQUIREMENTS OF REGIONAL WATER QULITY CONTROL BOARD ORDER

RECEIVING BODY OF WATER:

RAVENSWOOD SLOUGH TO SAN FRANCISCO BAY.

CERTIFYING ENGINEER
STEVAN NAKASHIMA
1420 HOLLY AVE.
LOS ALTOS, CA. 94024

BIOTREATMENT SOIL REQUIREMENTS

PRIOR TO ORDERING THE BIOTREATMENT SOIL MIX OR DELIVERY TO THE PROJECT SITE, CONTRACTOR SHALL PROVIDE A BIOTREATMENT SOIL MIX SPECIFICATION CHECKLIST, COMPLETED BY THE SOIL MIX SUPPLIER AND CERTIFIED TESTING LAB.

COMBINATION FLOW AND VOLUME DESIGN BASIS CALCULATIONS

PALO ALTO

FIGURE 1, APPENDIX C

CRITERIA REGION 4

PALO ALTO MAP = 14.6"

100 IMPERVIOUS = .64

SITE MAP = 16.5

MAP ADJUSTMENT CORRECTION FACTOR = 16.5/14.6 = 1.13

TABLE 5.3 UNIT BASIN STORAGE VOLUME FOR PALO ALTO = .64

ADJUSTED UNIT BASIN STORAGE VOLUME X MAP ADJUSTMENT FACTOR 1.13 X .64= .723 INCHES

DURATION RAIN EVENT .723/0.2 = 3.615 HOURS

BIORETENTION #1

PERVIOUS AREA 2,239 SF

IMPERVIOUS AREA 21,839 SF

TOTAL AREA 24,078 SF

EFFECTIVE IMPERVIOUS AREA = (21,839)(1)+(2,239)(.1) = 22,063 SF

ASSUME BASIN SIZE = 22,063 X .04 = 883 SF

VOLUME OF TREATED RUNOFF = 883 X 5/12 X 3.615 = 1,330 CF

ASSUME BASIN SIZE 22,063 X .04 X .75 = 662 SF

VOLUME OF TREATED RUNOFF = 662 X 5/12 X 3.615 = 997 CF

DIFFERENCE IN VOLUME 1,330 - 997 = 333 CF

PONDING DEPTH 333/662 = .503 FT = 6"

MINIMUM BASIN SIZE 662 SF

BIORETENTION #2

PERVIOUS AREA 2,993 SF

IMPERVIOUS AREA 23.033 SF

TOTAL AREA 26,026 SF

EFFECTIVE IMPERVIOUS AREA = (23,033)(1)+(2,993)(.1) = 23,332 SF

ASSUME BASIN SIZE = 23,332 X .04 = 933 SF

VOLUME OF TREATED RUNOFF = 933 X 5/12 X 3.615 = 1,405 CF

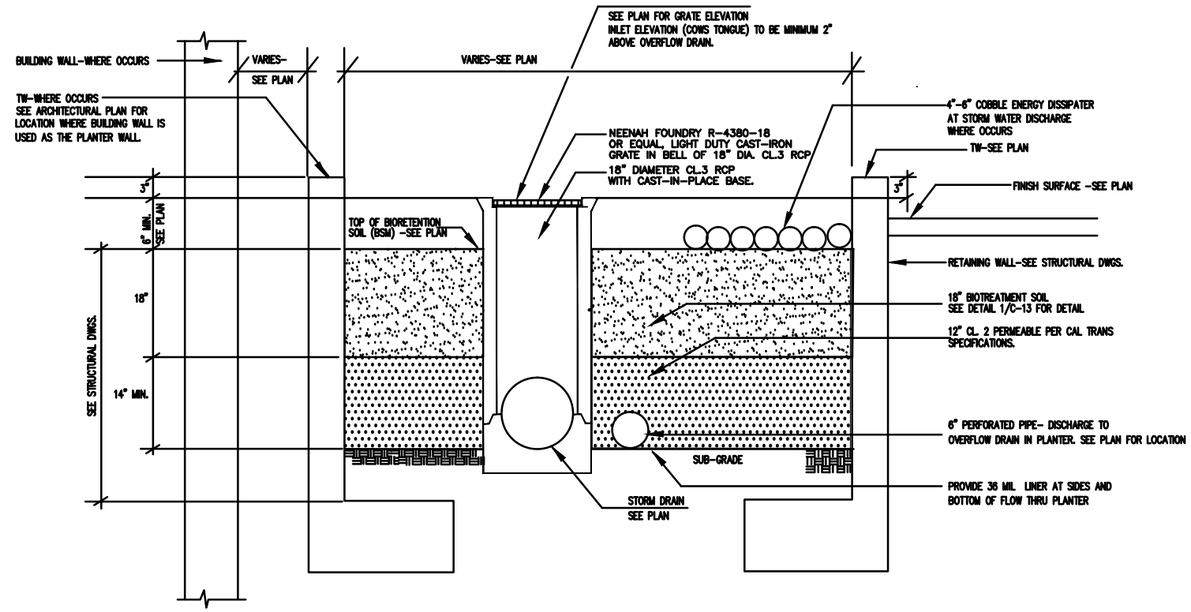
ASSUME BASIN SIZE 23,332 X .04 X .750 = 700 SF

VOLUME OF TREATED RUNOFF = 700 X 5/12 X 3.615 = 1,054 CF

DIFFERENCE IN VOLUME 1,405 - 1,054 = 351 CF

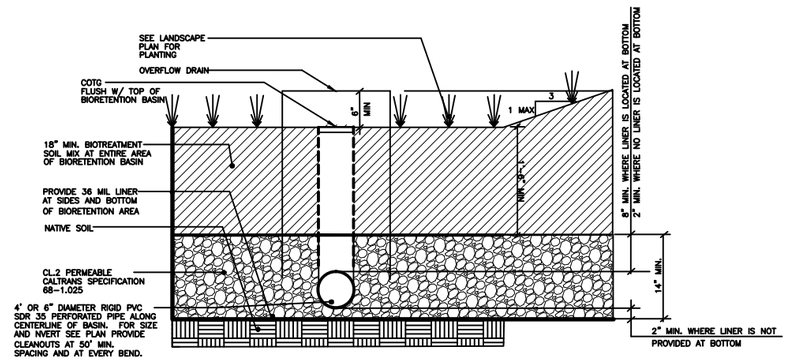
PONDING DEPTH 351/700 = .501 FT = 6"

MINIMUM BASIN SIZE 700 SF



FLOW THROUGH PLANTER @ GRADE ①

SCALE: NONE 206108C



NOTE:
BIOTREATMENT SOIL MIX SHALL CONSISTS OF 60-70% SAND AND 30-40% COMPOST. THE BIOTREATMENT SOIL MIX MUST BE A UNIFORM MIX, FREE OF STONES, STUMPS, ROOTS OR OTHER SIMILAR OBJECTS. NO OTHER MATERIALS OR SUBSTANCES SHALL BE MIXED OR DUMPED WITHIN THE BIORETENTION AREA THAT MAY BE HARMFUL TO THE PLANT GROWTH, OR PROVE A HINDRANCE TO THE PLANTING OR MAINTENANCE OPERATIONS. SOIL MIXTURE PERCOLATION RATE SHALL BE 5 INCHES PER HOUR MINIMUM AND 10 INCHES PER HOUR MAXIMUM SUSTAINED. BIOTRETAMENT SOIL MIX SHALL MEET THE SPECIFICATIONS OF APPENDIX C OF THE C.3 STORMWATER CONTROL HANDBOOK.
BIOTREATMENT SOIL MIX SHALL BE SUBMITTED TO AND APPROVED BY THE CITY.

BIORETENTION BASIN WITH SUBDRAIN ②

NTS 206102B

UNDERGROUND PIPING PLAN | 1075 O'BRIEN DRIVE, MENLO PARK

C2.1

KEY NOTES

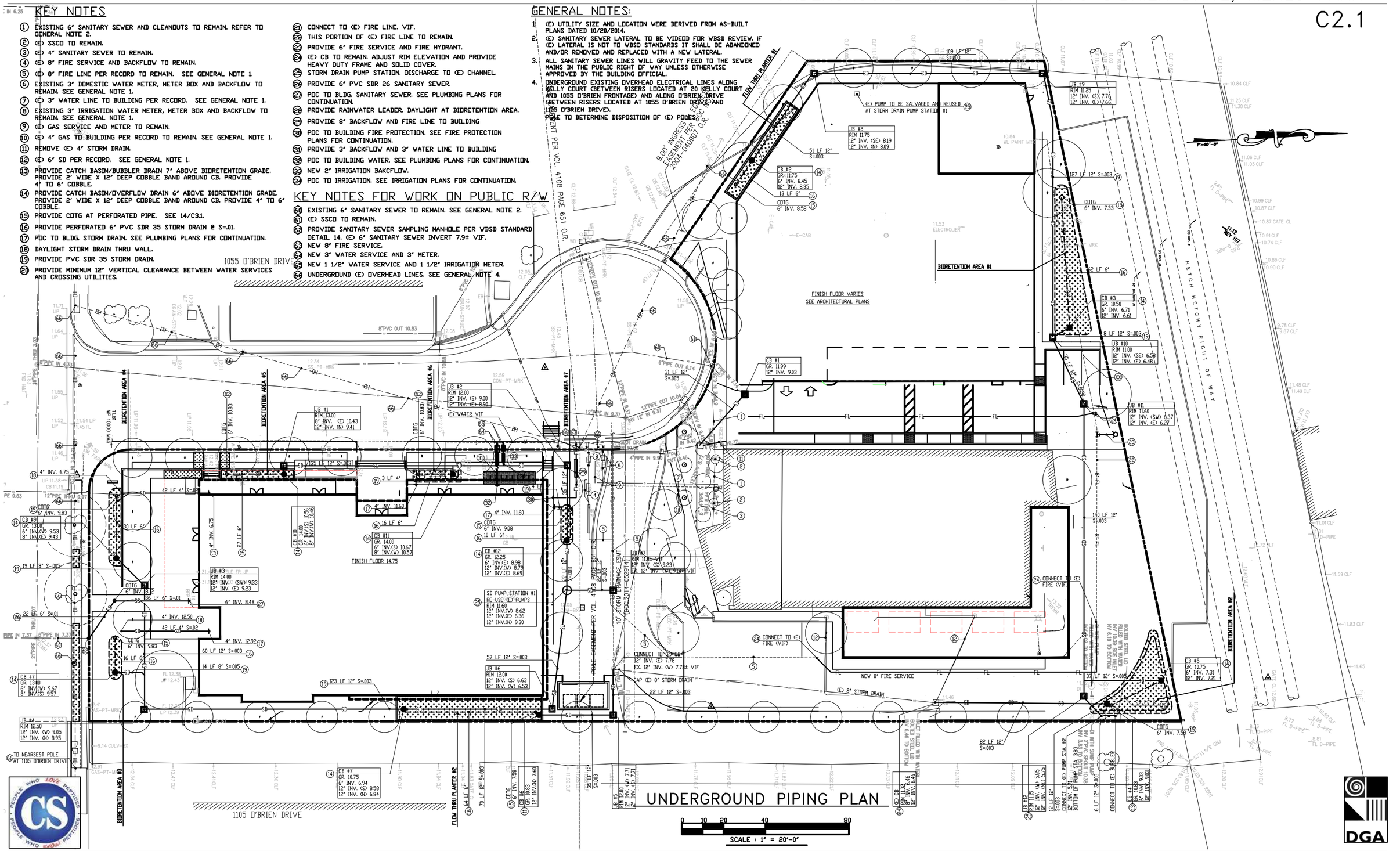
1. EXISTING 6" SANITARY SEWER AND CLEANOUTS TO REMAIN. REFER TO GENERAL NOTE 2.
2. (E) SSCO TO REMAIN.
3. (E) 4" SANITARY SEWER TO REMAIN.
4. (E) 8" FIRE SERVICE AND BACKFLOW TO REMAIN.
5. (E) 8" FIRE LINE PER RECORD TO REMAIN. SEE GENERAL NOTE 1.
6. EXISTING 3" DOMESTIC WATER METER, METER BOX AND BACKFLOW TO REMAIN. SEE GENERAL NOTE 1.
7. (E) 3" WATER LINE TO BUILDING PER RECORD. SEE GENERAL NOTE 1.
8. EXISTING 3" IRRIGATION WATER METER, METER BOX AND BACKFLOW TO REMAIN. SEE GENERAL NOTE 1.
9. (E) GAS SERVICE AND METER TO REMAIN.
10. (E) 4" GAS TO BUILDING PER RECORD TO REMAIN. SEE GENERAL NOTE 1.
11. REMOVE (E) 4" STORM DRAIN.
12. (E) 6" SD PER RECORD. SEE GENERAL NOTE 1.
13. PROVIDE CATCH BASIN/BUBBLER DRAIN 7" ABOVE BIORETENTION GRADE. PROVIDE 2' WIDE X 12" DEEP COBBLE BAND AROUND CB. PROVIDE 4" TO 6" COBBLE.
14. PROVIDE CATCH BASIN/OVERFLOW DRAIN 6" ABOVE BIORETENTION GRADE. PROVIDE 2' WIDE X 12" DEEP COBBLE BAND AROUND CB. PROVIDE 4" TO 6" COBBLE.
15. PROVIDE CDTG AT PERFORATED PIPE. SEE 14/C3.1.
16. PROVIDE PERFORATED 6" PVC SDR 35 STORM DRAIN @ S=.01.
17. POC TO BLDG. STORM DRAIN. SEE PLUMBING PLANS FOR CONTINUATION.
18. DAYLIGHT STORM DRAIN THRU WALL.
19. PROVIDE PVC SDR 35 STORM DRAIN.
20. PROVIDE MINIMUM 12" VERTICAL CLEARANCE BETWEEN WATER SERVICES AND CROSSING UTILITIES.
21. CONNECT TO (E) FIRE LINE. VIF.
22. THIS PORTION OF (E) FIRE LINE TO REMAIN.
23. PROVIDE 6" FIRE SERVICE AND FIRE HYDRANT.
24. (E) CB TO REMAIN. ADJUST RIM ELEVATION AND PROVIDE HEAVY DUTY FRAME AND SOLID COVER.
25. STORM DRAIN PUMP STATION. DISCHARGE TO (E) CHANNEL.
26. PROVIDE 6" PVC SDR 26 SANITARY SEWER.
27. POC TO BLDG. SANITARY SEWER. SEE PLUMBING PLANS FOR CONTINUATION.
28. PROVIDE RAINWATER LEADER. DAYLIGHT AT BIORETENTION AREA.
29. PROVIDE 8" BACKFLOW AND FIRE LINE TO BUILDING
30. POC TO BUILDING FIRE PROTECTION. SEE FIRE PROTECTION PLANS FOR CONTINUATION.
31. PROVIDE 3" BACKFLOW AND 3" WATER LINE TO BUILDING
32. POC TO BUILDING WATER. SEE PLUMBING PLANS FOR CONTINUATION.
33. NEW 2" IRRIGATION BAKCFLOW.
34. POC TO IRRIGATION. SEE IRRIGATION PLANS FOR CONTINUATION.

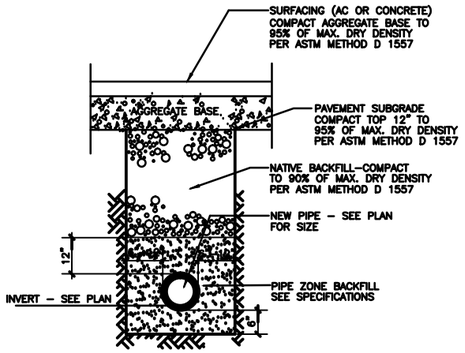
KEY NOTES FOR WORK ON PUBLIC R/W

60. EXISTING 6" SANITARY SEWER TO REMAIN. SEE GENERAL NOTE 2.
61. (E) SSCO TO REMAIN.
62. PROVIDE SANITARY SEWER SAMPLING MANHOLE PER WBSD STANDARD DETAIL 14. (E) 6" SANITARY SEWER INVERT 7.9± VIF.
63. NEW 8" FIRE SERVICE.
64. NEW 3" WATER SERVICE AND 3" METER.
65. NEW 1 1/2" WATER SERVICE AND 1 1/2" IRRIGATION METER.
66. UNDERGROUND (E) OVERHEAD LINES. SEE GENERAL NOTE 4.

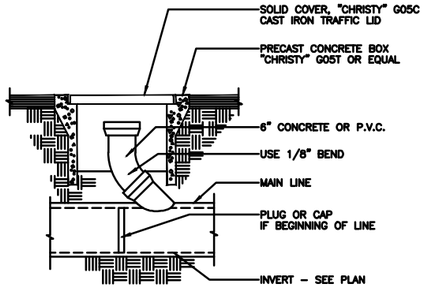
GENERAL NOTES:

1. (E) UTILITY SIZE AND LOCATION WERE DERIVED FROM AS-BUILT PLANS DATED 10/20/2014.
2. (E) SANITARY SEWER LATERAL TO BE VIDEOD FOR WBSD REVIEW. IF (E) LATERAL IS NOT TO WBSD STANDARDS IT SHALL BE ABANDONED AND/OR REMOVED AND REPLACED WITH A NEW LATERAL.
3. ALL SANITARY SEWER LINES WILL GRAVITY FEED TO THE SEWER MAINS IN THE PUBLIC RIGHT OF WAY UNLESS OTHERWISE APPROVED BY THE BUILDING OFFICIAL.
4. UNDERGROUND EXISTING OVERHEAD ELECTRICAL LINES ALONG KELLY COURT (BETWEEN RISERS LOCATED AT 20 KELLY COURT AND 1055 O'BRIEN FRONTAGE) AND ALONG O'BRIEN DRIVE (BETWEEN RISERS LOCATED AT 1055 O'BRIEN DRIVE AND 105 O'BRIEN DRIVE).
5. TBD TO DETERMINE DISPOSITION OF (E) POLES.

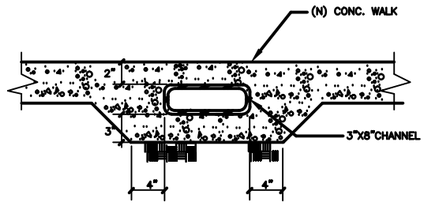




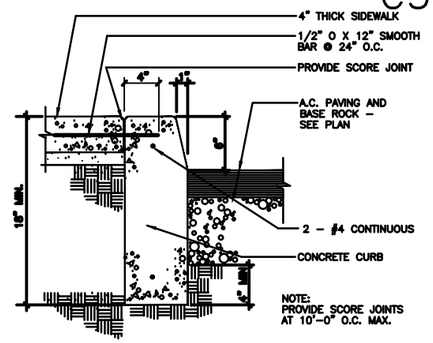
TYPICAL TRENCH DETAIL 13
SCALE: NONE



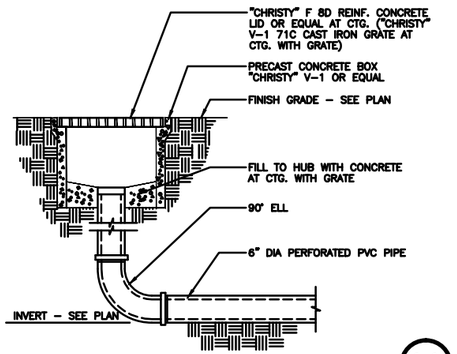
CLEANOUT TO GRADE @ STORM DRAIN 9
SCALE: 3/4" = 1'-0"



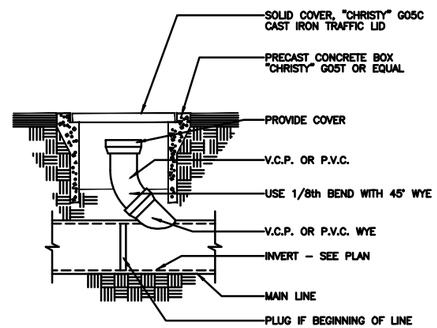
SIDEWALK UNDERDRAIN 5
SCALE: NONE 202922



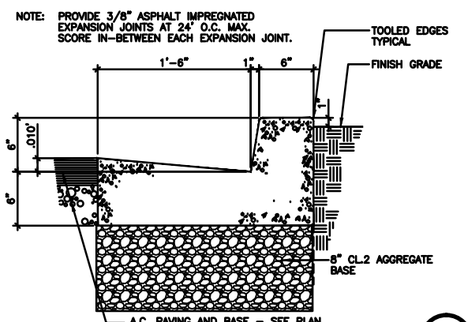
CONCRETE CURB AT SIDEWALK 1
SCALE: 1 1/2" = 1'-0"



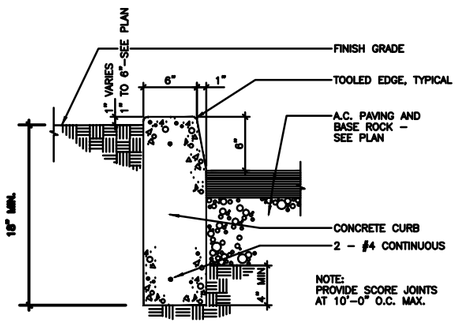
COTG AT PERFORATED PIPE 14
SCALE: 1 1/2"=1'-0" CIVIL202203



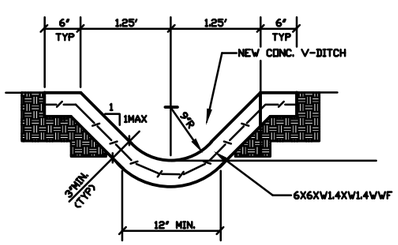
COTG AT SANITARY SEWER 10
SCALE: NONE



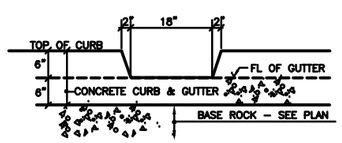
CAST IN PLACE CURB AND GUTTER 6
SCALE: 1 1/2"=1'-0"



CONCRETE CURB AT PLANTING 2
SCALE: 1 1/2" = 1'-0"

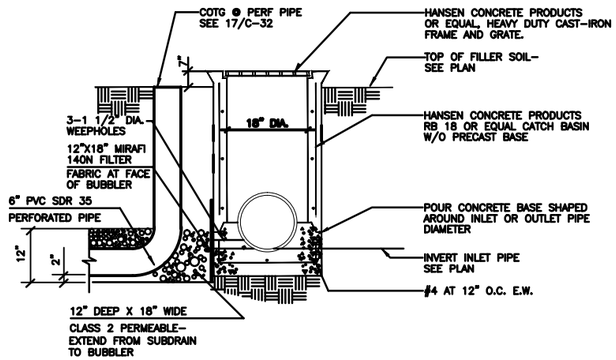


CONCRETE SWALE DETAIL 15
SCALE: 1"=1'-0" 204423B

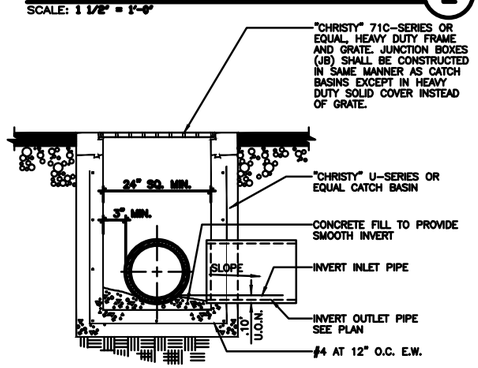


NOTE:
PROVIDE 4" TO 6" COBBLE 0.2' BELOW CURB OPENING FOR A DISTANCE OF 2' ON EITHER SIDE OF THE OPENING. COBBLE DISSIPATER TO BE 12" THICK AND EXTEND 4' DOWNSLOPE.

CONCRETE CURB & GUTTER CUT DETAIL 11
SCALE: 3/4"=1'-0" 204450

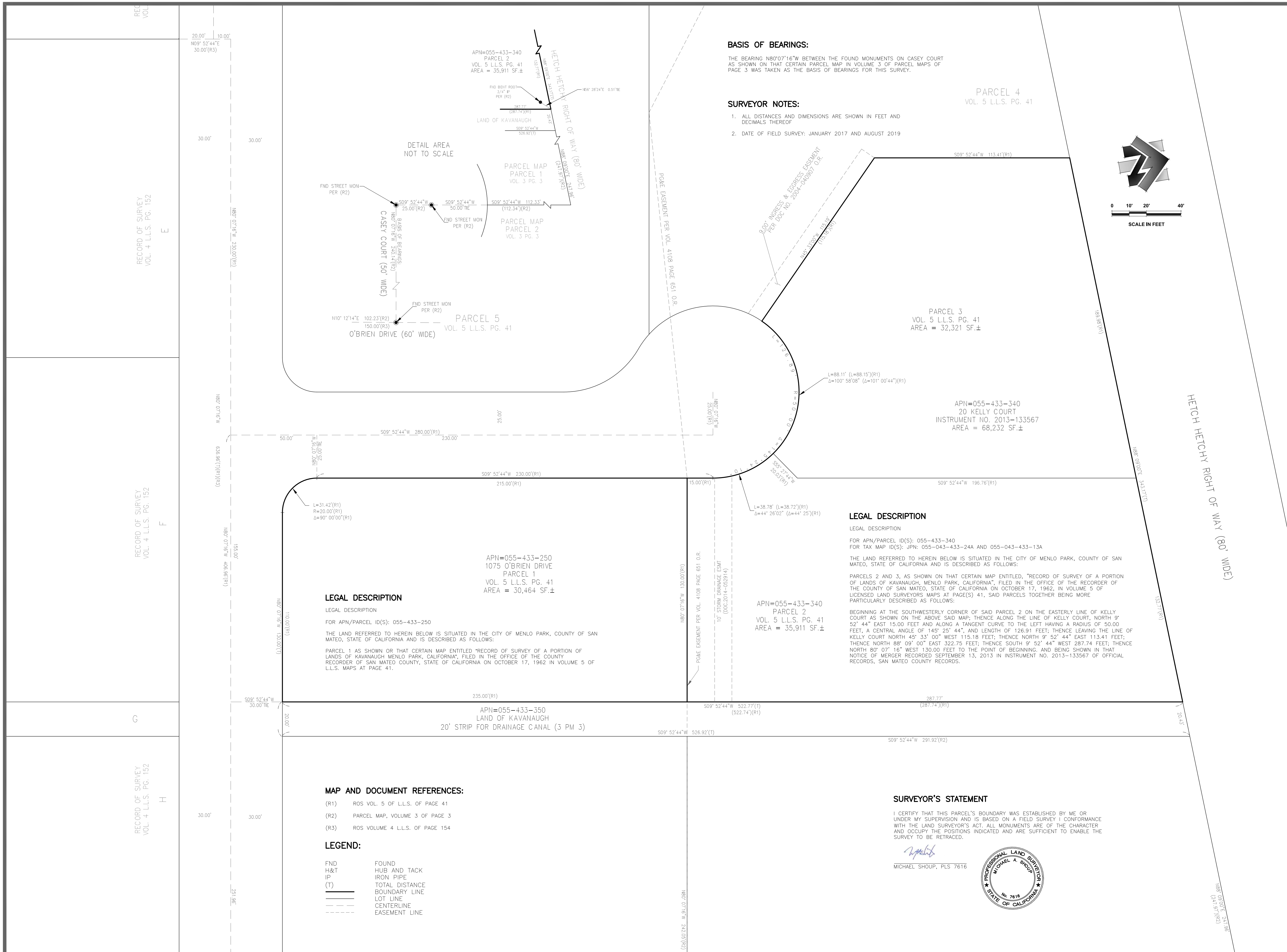


BUBBLER DETAIL 7
SCALE: 3/4"=1'-0" CIVIL202106B



CATCH BASIN DETAIL 3
SCALE: 3/4" = 1'-0"

RECORD BOUNDARY SURVEY
20 KELLY COURT AND 1075 OBRIEN DRIVE



BASIS OF BEARINGS:

THE BEARING N80°07'16"W BETWEEN THE FOUND MONUMENTS ON CASEY COURT AS SHOWN ON THAT CERTAIN PARCEL MAP IN VOLUME 3 OF PARCEL MAPS OF PAGE 3 WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS SURVEY.

SURVEYOR NOTES:

1. ALL DISTANCES AND DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF
2. DATE OF FIELD SURVEY: JANUARY 2017 AND AUGUST 2019

LEGAL DESCRIPTION

LEGAL DESCRIPTION

FOR APN/PARCEL ID(S): 055-433-250

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF MENLO PARK, COUNTY OF SAN MATEO, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

PARCEL 1 AS SHOWN OR THAT CERTAIN MAP ENTITLED "RECORD OF SURVEY OF A PORTION OF LANDS OF KAVANAUGH MENLO PARK, CALIFORNIA", FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN MATEO COUNTY, STATE OF CALIFORNIA ON OCTOBER 17, 1962 IN VOLUME 5 OF L.L.S. MAPS AT PAGE 41.

LEGAL DESCRIPTION

LEGAL DESCRIPTION

FOR APN/PARCEL ID(S): 055-433-340
FOR TAX MAP ID(S): JPN: 055-043-433-24A AND 055-043-433-13A

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF MENLO PARK, COUNTY OF SAN MATEO, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

PARCELS 2 AND 3, AS SHOWN ON THAT CERTAIN MAP ENTITLED, "RECORD OF SURVEY OF A PORTION OF LANDS OF KAVANAUGH, MENLO PARK, CALIFORNIA", FILED IN THE OFFICE OF THE RECORDER OF THE COUNTY OF SAN MATEO, STATE OF CALIFORNIA ON OCTOBER 17, 1962, IN VOLUME 5 OF LICENSED LAND SURVEYORS MAPS AT PAGE(S) 41, SAID PARCELS TOGETHER BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWESTERLY CORNER OF SAID PARCEL 2 ON THE EASTERLY LINE OF KELLY COURT AS SHOWN ON THE ABOVE SAID MAP; THENCE ALONG THE LINE OF KELLY COURT, NORTH 9° 52' 44" EAST 15.00 FEET AND ALONG A TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 50.00 FEET, A CENTRAL ANGLE OF 145° 25' 44", AND LENGTH OF 126.91 FEET; THENCE LEAVING THE LINE OF KELLY COURT NORTH 45° 33' 00" WEST 115.18 FEET; THENCE NORTH 9° 52' 44" EAST 113.41 FEET; THENCE NORTH 88° 09' 00" EAST 322.75 FEET; THENCE SOUTH 9° 52' 44" WEST 287.74 FEET; THENCE NORTH 80° 07' 16" WEST 130.00 FEET TO THE POINT OF BEGINNING. AND BEING SHOWN IN THAT NOTICE OF MERGER RECORDED SEPTEMBER 13, 2013 IN INSTRUMENT NO. 2013-133567 OF OFFICIAL RECORDS, SAN MATEO COUNTY RECORDS.

MAP AND DOCUMENT REFERENCES:

(R1) ROS VOL. 5 OF L.L.S. OF PAGE 41

(R2) PARCEL MAP, VOLUME 3 OF PAGE 3

(R3) ROS VOLUME 4 L.L.S. OF PAGE 154

LEGEND:

FND FOUND
H&T HUB AND TACK
IP IRON PIPE
(T) TOTAL DISTANCE
BOUNDARY LINE
LOT LINE
CENTERLINE
EASEMENT LINE

SURVEYOR'S STATEMENT

I CERTIFY THAT THIS PARCEL'S BOUNDARY WAS ESTABLISHED BY ME OR UNDER MY SUPERVISION AND IS BASED ON A FIELD SURVEY I CONFORMANCE WITH THE LAND SURVEYOR'S ACT. ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

MICHAEL SHOUP, PLS 7616

PROFESSIONAL LAND SURVEYOR ★ MICHAEL A. SHOUP ★ No. 7616 ★ STATE OF CALIFORNIA

R.E.Y. ENGINEERS, INC.
Civil Engineers | Land Surveyors | LiDAR
707 NORTH SHORELINE BOULEVARD
MOUNTAIN VIEW, CA 94043
Phone: (408) 219-3236

SHEET 1 OF 2

DATE: 8/8/2019

MENLO PARK, CA

0 10' 20' 40'

SCALE IN FEET

LEGEND:

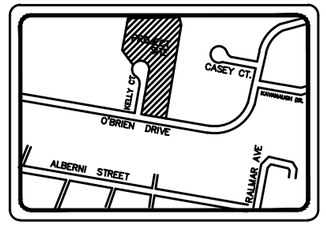
AC	ASPHALT CONCRETE	MRK	MARK
BC–PL	BUILDING CORNER TO PROPERTY LINE DISTANCE	OH	OVERHEAD
BL–PL	BUILDING LINE TO PROPERTY LINE DISTANCE	PIV	PIPE INDICATE VALVE
BFP	BACK FLOW PREVENTER	PRK	PARKING
BLDG	BUILDING	PT	PAINT
BOLL	BOLLARD	RCP	REINFORCE CORRUGATED PIPE
BOW	BOTTOM OF WALL	SDMH	STORM DRAIN MANHOLE
BSW	BACK OF SIDEWALK	SSCO	SANITARY SEWER CLEANOUT
C	CONCRETE	SSMH	SANITARY SEWER MANHOLE
CB	CATCH BASIN	SW	SIDEWALK
CL	CENTER LINE	TBC	TOP BACK OF CURB
CLF	CHAIN LINK FENCE	TC	TOP OF CURB
COM–BX	COMMUNICATION BOX	TOE	BOTTOM OF SLOPE
COR	CORNER	TOP	TOP OF SLOPE
C–PAD	CONCRETE PAD	TOW	TOP OF WALL
CULV–BX	CULVERT BOX	TRFMR	TRANSFORMER
DI	STORM DROP INLET	UTIL	UTILITY
D–PIPE	DRAIN PIPE	VLT	VAULT
DWY	DRIVEWAY	WB	WATER BOX
DYL	DOUBLE YELLOW LINE	WM	WATER METER
EB	ELECTRICAL BOX	WV	WATER VALVE
E–CAB	ELECTRICAL CABINET	FND	FOUND
ELEC	ELECTRICAL	H&T	HUB AND TACK
EP	EDGE OF PAVEMENT	IP	IRON PIPE
FDC	FIRE DEPARTMENT CONNECTION	(T)	TOTAL DISTANCE
FF	FINISHED FLOOR	TD	TRUNCATED DOME
FH	FIRE HYDRANT		SITE CONTROL POINT
FH–PL	FIRE HYDRANT TO PROPERTY LINE DISTANCE		BOUNDARY LINE
FL	FLOWLINE		LOT LINE
FND	FOUND		CENTERLINE
G	GROUND ELEVATION	SS	SEWER PAINT MARK
GB	GRADEBREAK	SD	STORM PAINT MARK
GUY	GUY WIRE	G	GAS PAINT MARK
HB	HOSE BIB	E	ELECTRICAL PAINT MARK
H–WALL	HEADWALL	CMN	COMMUNICATION PAINT MARK
JP	JOINT POLE	W	WATERLINE PAINT MARK
LIP	LIP OF GUTTER		

BASIS OF BEARINGS:

THE BEARING N80°07'16"W BETWEEN THE FOUND MONUMENTS ON CASEY COURT AS SHOWN ON THAT CERTAIN PARCEL MAP IN VOLUME 3 OF PARCEL MAPS OF PAGE 3 WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS SURVEY.

BENCHMARK:

CITY OF MENLO PARK BENCHMARK W150 – HAVING A CITY OF MENLO PARK DATUM ELEVATION OF 9.67 FEET. BEING A BRASS DISC FOUND IN CONCRETE POST, STAMPED "W150" AND 575'± SOUTHWEST OF THE INTERSECTION OF WILLOW ROAD AND HIGHWAY 84 AND 90'± WEST OF THE CENTERLINE OF WILLOW ROAD AND 19'± NORTH OF THE NORTHERLY RAIL OF THE RAILROAD TRACKS.



VICINITY MAP
NO SCALE

FEMA FLOOD ZONE:

FLOOD ZONE: ZONE AE
FEMA FLOOD INSURANCE RATE MAP
COMMUNITY PANEL NO: 06081C0307E
EFFECTIVE DATE: 10/16/2012

1075 O'BRIEN DRIVE

20 KELLY COURT

HORIZONTAL CONTROL

PNT	NORTHING	EASTING	ELEV	DESCRIPTION
101	9716.59	9320.39	11.81	REY 101 M&W
102	9946.10	9308.29	12.51	REY 102 M&W
103	9996.74	9481.73	11.67	REY 103 M&W
104	10098.73	9222.45	11.14	REY 104 M&W
105	10261.61	9513.96	12.40	REY 105 RBC

SURVEYOR NOTES:

1. ALL DISTANCES AND DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF
2. DATE OF FIELD SURVEY: JANUARY 2017 AND AUGUST 2019
3. BUILDING DOWNSPOUTS CONNECTED TO UNDERGROUND PLASTIC PIPE
4. HETCH HETCHY PIPES SHOWN HEREON BASED ON PREVIOUS DRAWING: C21–TOPO.DWG
5. CALCULATED AREA OF ALL PAVING, CONCRETE AND BUILDINGS FOR PARCEL 1: 27,754 S.F.±
   PARCEL 2: 29,299 S.F.±
   PARCEL 3: 27,109 S.F.±

BUILDING SETBACK LINE

1075 O'BRIEN DRIVE (LS–B ZONING DISTRICT)
- MINIMUM STREET SETBACK: 5 FEET. THIS SHALL BE MEASURED FROM THE PROPERTY LINE, BUT IN INSTANCES WHERE THERE IS A PUBLIC ACCESS EASEMENT, THE SETBACK SHALL BE MEASURED FROM THE BACK OF THE EASEMENT.
- MINIMUM SIDE SETBACK: 10 FEET
- MINIMUM REAR SETBACK: 10 FEET

20 KELLY COURT (LS–B ZONING DISTRICT)
- MINIMUM STREET SETBACK: 5 FEET. THIS SHALL BE MEASURED FROM THE PROPERTY LINE, BUT IN INSTANCES WHERE THERE IS A PUBLIC ACCESS EASEMENT, THE SETBACK SHALL BE MEASURED FROM THE BACK OF THE EASEMENT.
- MINIMUM SIDE SETBACK: 10 FEET
- MINIMUM REAR SETBACK: 10 FEET

R.E.Y. ENGINEERS, INC.
Civil Engineers | Land Surveyors | LIDAR
707 NORTH SHORELINE BOULEVARD
MOUNTAIN VIEW, CA 94043
Phone: (408) 219–3238

SHEET 2 OF 2

TOPOGRAPHIC SURVEY
20 KELLY COURT AND 1075 OBRIEN DRIVE

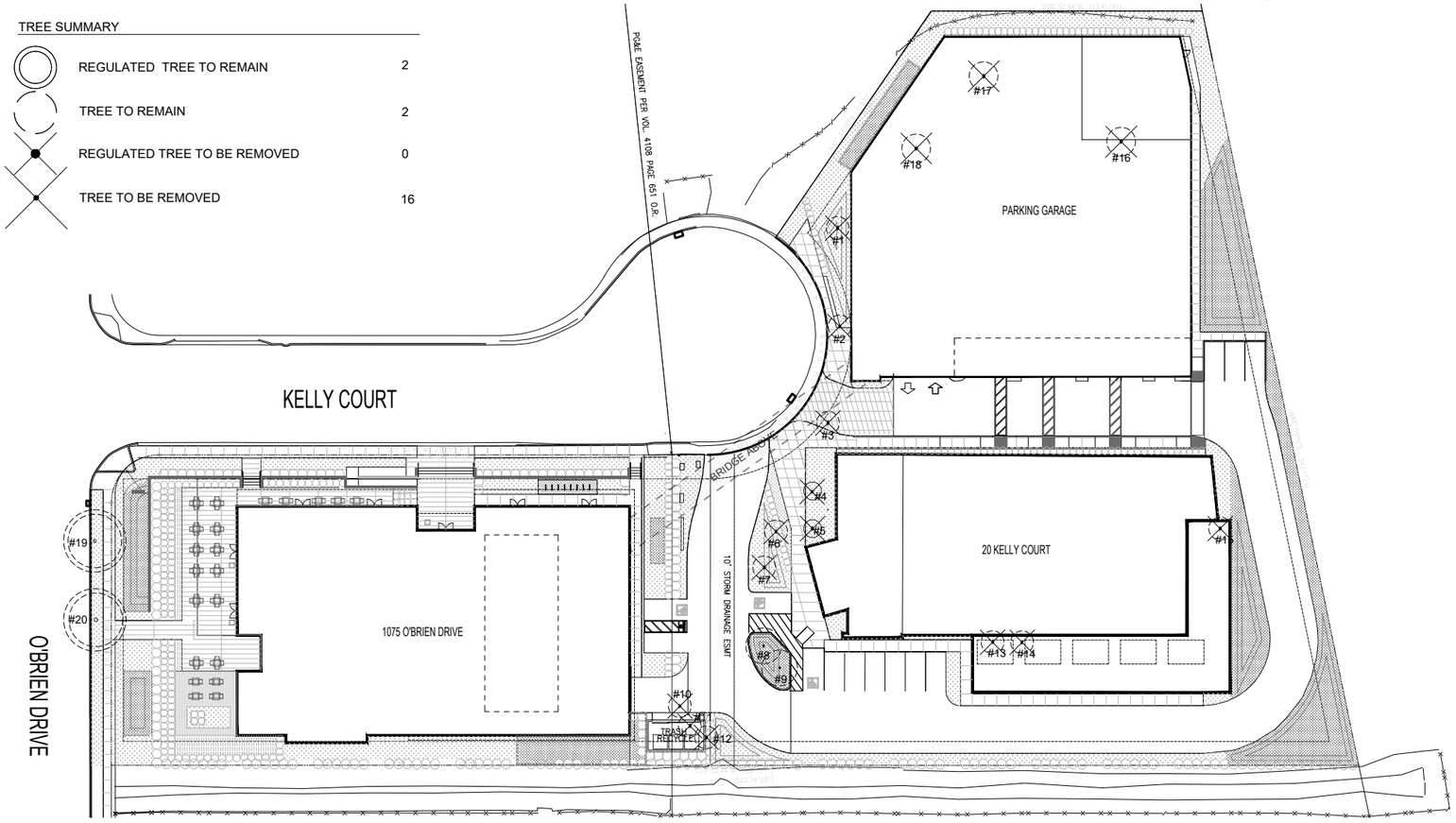
DATE: 8/8/2019

MENLO PARK, CA

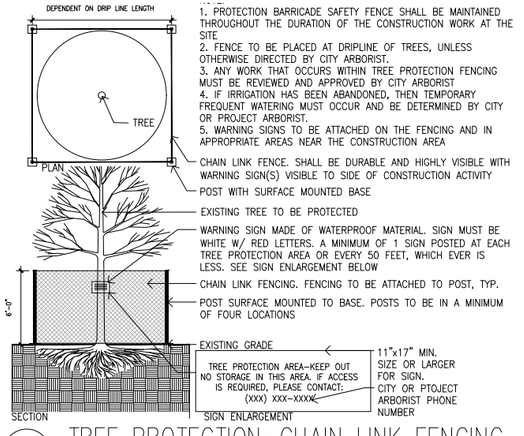
TREE DISPOSITION PLAN | 1075 O'BRIEN DRIVE AND 20 KELLY COURT, MENLO PARK

TREE SUMMARY

REGULATED TREE TO REMAIN	2
TREE TO REMAIN	2
REGULATED TREE TO BE REMOVED	0
TREE TO BE REMOVED	16



1 TREE DISPOSITOIN PLAN
SCALE: 1"=30'-0"



1. PROTECTION BARRICADE SAFETY FENCE SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE CONSTRUCTION WORK AT THE SITE
2. FENCE TO BE PLACED AT DRIPLINE OF TREES, UNLESS OTHERWISE DIRECTED BY CITY ARBORIST.
3. ANY WORK THAT OCCURS WITHIN TREE PROTECTION FENCING MUST BE REVIEWED AND APPROVED BY CITY ARBORIST
4. IF IRRIGATION HAS BEEN ABANDONED, THEN TEMPORARY FREQUENT WATERING MUST OCCUR AND BE DETERMINED BY CITY OR PROJECT ARBORIST.
5. WARNING SIGNS TO BE ATTACHED ON THE FENCING AND IN APPROPRIATE AREAS NEAR THE CONSTRUCTION AREA

2 TREE PROTECTION-CHAIN LINK FENCING
SCALE: 1/4" = 1'-0"

TREES TO BE REMOVED

TREE NO.	TREE SPECIES	TRUNK DIA.	24" BOX REPLACEMENT	36" BOX REPLACEMENT
1	Chinese Pistache (Pistacia chinensis)	4	1	–
2	Blue Spruce (Picea pungens)	4	1	–
3	Strawberry Tree (Arbutus marina)	7	1	–
4	Blue Spruce (Picea pungens)	4	1	–
5	Blue Spruce (Picea pungens)	4	1	–
6	Crape Myrtle (Lagerstroemia indica)	3	1	–
7	Crape Myrtle (Lagerstroemia indica)	3	1	–
10	Strawberry Tree (Arbutus marina)	6	1	–
11	Strawberry Tree (Arbutus marina)	4	1	–
12	Strawberry Tree (Arbutus marina)	5	1	–
13	Strawberry Tree (Arbutus marina)	4	1	–
14	Strawberry Tree (Arbutus marina)	4	1	–
15	Chinese Pistache (Pistacia chinensis)	3	1	–
16	Strawberry Tree (Arbutus marina)	5	1	–
17	Strawberry Tree (Arbutus marina)	5	1	–
18	Strawberry Tree (Arbutus marina)	4	1	–
TOTAL REPLACEMENT			16	0
TOTAL TREES TO BE REMOVED			16	

TREE PROTECTION NOTES

1. TREE PRESERVATION AND PROTECTION: IN PROVIDING RECOMMENDATIONS FOR TREE PRESERVATION, WE RECOGNIZE THAT INJURY TO TREES AS A RESULT OF CONSTRUCTION INCLUDE MECHANICAL INJURIES TO TRUNKS, ROOTS AND BRANCHES, AND INJURY AS A RESULT OF CHANGES THAT OCCUR IN THE GROWING ENVIRONMENT. TO MINIMIZE THESE INJURIES, WE RECOMMEND GRADING OPERATIONS ENCROACH NO CLOSER THAN FIVE TIMES THE TRUNK DIAMETER, (I.E. 30" DIAMETER TREE X 5=150" DISTANCE). AT THIS DISTANCE, BUTTRESS/ANCHORING ROOTS WOULD BE PRESERVED AND MINIMAL INJURY TO THE FUNCTIONAL ROOT AREA WOULD BE ANTICIPATED. SHOULD ENCROACHMENT WITHIN THE AREA BECOME NECESSARY, HAND DIGGING IS MANDATORY.

2. BARRICADES: PRIOR TO INITIATION OF CONSTRUCTION ACTIVITY, TEMPORARY BARRICADES SHOULD BE INSTALLED AROUND ALL TREES IN THE CONSTRUCTION AREA. SIX-FOOT HIGH, CHAIN LINK FENCES ARE TO BE MOUNTED ON STEEL POSTS, DRIVEN 2 FEET INTO THE GROUND, AT NO MORE THAN 10-FOOT SPACING. THE FENCES SHALL ENCLOSE THE ENTIRE AREA UNDER THE DRIP LINE OF THE TREES OR AS CLOSE TO THE DRIP LINE AREA AS PRACTICAL. THESE BARRICADES WILL BE PLACED AROUND INDIVIDUAL TREES AND/OR GROUPS OF TREES AS THE EXISTING ENVIRONMENT DICTATES. THE TEMPORARY BARRICADES WILL SERVE TO PROTECT TRUNKS, ROOTS AND BRANCHES FROM MECHANICAL INJURIES, WILL INHIBIT STOCKPILING OF CONSTRUCTION MATERIALS OR DEBRIS WITHIN THE SENSITIVE 'DRIP LINE' AREAS AND WILL PREVENT SOIL COMPACTION FROM INCREASED VEHICULAR/PEDESTRIAN TRAFFIC. NO STORAGE OF MATERIAL, TOPSOIL, VEHICLES OR EQUIPMENT SHALL BE PERMITTED WITHIN THE TREE ENCLOSURE AREA. THE GROUND AROUND THE TREE CANOPY SHALL NOT BE ALTERED. THESE BARRICADES SHOULD REMAIN IN PLACE UNTIL FINAL INSPECTION OF THE BUILDING PERMIT, EXCEPT FOR WORK SPECIFICALLY REQUIRED IN THE APPROVED PLANS TO BE DONE UNDER THE TREES TO BE PROTECTED. DESIGNATED AREAS BEYOND THE DRIP LINES OF ANY TREES SHOULD BE PROVIDED FOR CONSTRUCTION MATERIALS AND ONSITE PARKING. REFER TO TREE PROTECTION DETAIL THIS SHEET.

3. ROOT PRUNING (IF NECESSARY): DURING AND UPON COMPLETION OF ANY TRENCHING/GRADING OPERATION WITHIN A TREE'S DRIP LINE, SHOULD ANY ROOTS GREATER THAN ONE INCH (1") IN DIAMETER BE DAMAGED, BROKEN OR SEVERED, ROOT PRUNING TO INCLUDE FLUSH CUTTING AND SEALING OF EXPOSED ROOTS SHOULD BE ACCOMPLISHED UNDER THE SUPERVISION OF THE PROJECT ARBORIST TO MINIMIZE ROOT DETERIORATION BEYOND THE SOIL LINE WITHIN TWENTY-FOUR (24) HOURS.

4. PRUNING: PRUNING OF THE FOLIAR CANOPIES TO INCLUDE REMOVAL OF DEADWOOD IS RECOMMENDED AND SHOULD BE INITIATED PRIOR TO CONSTRUCTION OPERATIONS. SUCH PRUNING WILL PROVIDE ANY NECESSARY CONSTRUCTION CLEARANCE, WILL LESSEN THE LIKELIHOOD OR POTENTIAL FOR LIMB BREAKAGE, REDUCE 'WINDSAIL' EFFECT AND PROVIDE AN ENVIRONMENT SUITABLE FOR HEALTHY AND VIGOROUS GROWTH.

5. FERTILIZATION: A PROGRAM OF FERTILIZATION BY MEANS OF DEEP ROOT SOIL INJECTION IS RECOMMENDED WITH APPLICATIONS IN SPRING AND SUMMER FOR THOSE TREES TO BE IMPACTED BY CONSTRUCTION. SUCH FERTILIZATION WILL SERVE TO STIMULATE FEEDER ROOT DEVELOPMENT, OFFSET SHOCK/STRESS AS RELATED TO CONSTRUCTION AND/OR ENVIRONMENTAL FACTORS, ENCOURAGE VIGOR, ALLEVIATE SOIL COMPACTION AND COMPENSATE FOR ANY ENCROACHMENT OF NATURAL FEEDING ROOT AREAS. INCEPTION OF THIS FERTILIZING PROGRAM IS RECOMMENDED PRIOR TO THE INITIATION OF CONSTRUCTION ACTIVITY.

6. IRRIGATION: A SUPPLEMENTAL IRRIGATION PROGRAM IS RECOMMENDED FOR THE ALL TREES (EXCLUDING OAK SPECIES) AND SHOULD BE ACCOMPLISHED AT REGULAR THREE TO FOUR WEEK INTERVALS DURING THE PERIOD OF MAY 1ST THROUGH OCTOBER 31ST. IRRIGATION IS TO BE APPLIED AT OR ABOUT THE 'DRIP LINE' IN AN AMOUNT SUFFICIENT TO SUPPLY APPROXIMATELY FIFTEEN (15) GALLONS OF WATER FOR EACH INCH IN TRUNK DIAMETER. IRRIGATION CAN BE PROVIDED BY MEANS OF A SOIL NEEDLE, 'SOAKER' OR PERMEABLE HOSE. WHEN USING 'SOAKER' OR PERMEABLE HOSES, WATER IS TO BE RUN AT LOW PRESSURE, AVOIDING RUNOFF/PUDDLING, ALLOWING THE NEEDED MOISTURE TO PENETRATE THE SOIL TO FEEDER ROOT DEPTHS.

7. MULCH: MULCHING WITH WOOD CHIPS (MINIMUM DEPTH 2"-MAXIMUM DEPTH 3") WITHIN TREE ENVIRONMENTS (OUTER FOLIAR PERIMETER) WILL LESSEN MOISTURE EVAPORATION FROM SOIL, PROTECT AND ENCOURAGE ADVENTITIOUS ROOTS AND MINIMIZE POSSIBLE SOIL COMPACTION.

8. INSPECTION: CONTRACTOR SHALL OBTAIN COPY OF THE PROJECT ARBORIST REPORT AND BE FAMILIAR AND CONFORM TO ALL REQUIREMENTS THEREIN. PERIODIC INSPECTIONS BY THE PROJECT ARBORIST ARE RECOMMENDED DURING CONSTRUCTION ACTIVITIES, PARTICULARLY AS TREES ARE IMPACTED BY TRENCHING/GRADING OPERATIONS. INSPECTIONS AT APPROXIMATE FOUR (4) WEEK INTERVALS WOULD BE SUFFICIENT TO ASSESS AND MONITOR THE EFFECTIVENESS OF THE TREE PRESERVATION PLAN AND TO PROVIDE RECOMMENDATIONS FOR ANY ADDITIONAL CARE OR TREATMENT.

9. CONTRACTOR SHALL REVIEW DETAILS 1,2 AND 3 OF THIS SHEET PRIOR TO ACCOMPLISHING ANY WORK OR REMOVING ANY TREES.

10. THE MATURE TREES SHALL BE IRRIGATED WITH EXISTING TREE IRRIGATION SYSTEM ON SITE THOROUGHLY ONE TIME EVERY 5 – 6 WEEKS ONCE THE WINTER RAINS STOP. ALL PARTS OF THE TREE TRUNK SHALL STAY DRY OR AS PROJECT ARBORIST DECIDES.

11. TREES/ LARGE PLANTS TO BE REMOVED OR RELOCATED SHALL BE TAGGED IN THE FIELD BY THE LANDSCAPE ARCHITECT AND/OR THE PROJECT ARBORIST.

12. REMOVE HEAVY VEGETATIVE GROWTH PRIOR TO SOIL STRIPPING. LEAVE SOIL IN PLACE WITHIN DRIP LINES OF TREES. STOCKPILE TOPSOIL IN AREAS DIRECTED BY LANDSCAPE ARCHITECT. COVER STOCKPILES TO PREVENT CONTAMINATION, WIND AND WATER EROSION IMMEDIATELY.

13. CONTRACTOR SHALL OBTAIN COPY OF PROJECT ARBORIST REPORT BY HEARTWOOD CONSULTING ARBORISTS, DATED MAY 24, 2021, THE TREE SURVEY/TREE DISPOSITION PLAN PREPARED BY STUDIO FIVE DESIGN AND THE TREE PROTECTION/DISPOSITION DETAILS PREPARED BY STUDIO FIVE DESIGN AND BE FAMILIAR AND CONFORM TO ALL REQUIREMENTS THEREIN.

14. FOR 'TREE NUMBER' INFORMATION, SEE ARBORIST'S REPORT, DATED MAY 24, 2021. AND TREE DISPOSITION PLANS BY STUDIO FIVE DESIGN.

15. DO NOT LIME WITHIN 50' OF ANY TREE. LIME IS TOXIC TO TREE ROOTS.

16. PRIOR TO GRADING, PAD PREPARATION, EXCAVATION FOR FOUNDATIONS/FOOTINGS/WALLS, TRENCHING, TREES MAY REQUIRE ROOT PRUNING OUTSIDE THE TREE PROTECTION ZONE BY CUTTING ALL ROOTS CLEANLY TO THE DEPTH OF THE EXCAVATION. ROOTS SHALL BE CUT BY MANUALLY DIGGING A TRENCH AND CUTTING EXPOSED ROOTS WITH A SAW, VIBRATING KNIFE, ROCK SAW, OR OTHER APPROVED ROOT PRUNING EQUIPMENT. THE PROJECT ARBORIST WILL IDENTIFY WHERE ROOT PRUNING IS REQUIRED AND MONITOR ALL ROOT PRUNING.

17. ALL UNDERGROUND UTILITIES, DRAIN LINES OR IRRIGATION LINES SHALL BE ROUTED OUTSIDE THE TREE PROTECTION ZONE. IF LINES MUST TRAVERSE THROUGH THE PROTECTION AREA, THEY SHALL BE TUNNELED OR BORED UNDER THE TREE AS DIRECTED BY THE PROJECT ARBORIST.

18. TREES TO BE REMOVED SHALL BE CUT ONE FOOT ABOVE FINISHED GRADE AND THEN TREE STUMP SHALL BE GRIND 12" MIN. (OR DEEPER IF A PROPOSED TREE IS IN THE SAME LOCATION AND IS DEPENDENT ON PROPOSED BOX SIZE) BELOW FINISHED GRADE TO MINIMIZE IMPACT ON THE UNDER GROUND UTILITIES.

19. NEED TO RUN A CAMERA THROUGH THE SANITARY SEWER MAIN TO VERIFY INTRUSION OF TREE ROOTS. ALL DAMAGED SANITARY SEWER LINES AND WATER MAINS SHALL BE REPAIRED TO THE SATISFACTION OF THE CITY ENGINEER PRIOR TO CONSTRUCTING FINISHED GRADE.

20. NO EXISTING TREE(S) MAY BE TRIMMED OR PRUNED WITHOUT PRIOR APPROVAL BY THE PROJECT ARBORIST OR CITY ARBORIST.

21. NO EQUIPMENT MAY BE STORED WITHIN OR BENEATH THE DRIP LINES OF THE EXISTING TREES TO BE SAVED.

22. NO OIL, GASOLINE, CHEMICALS OR OTHER HARMFUL MATERIALS SHALL BE DEPOSITED OR DISPOSED WITHIN THE DRIP LINE OF THE TREES OR IN DRAINAGE CHANNELS, SWALES OR AREAS THAT MAY LEAD TO THE DRIP LINE.

23. NO STOCKPILING/STORAGE OF FILL, ETC., SHALL TAKE PLACE UNDERNEATH OR WITHIN FIVE FEET OF THE DRIP LINE OF ALL EXISTING TREES.

24. THE PROJECT DEVELOPER SHALL COMPLY WITH THE RECOMMENDATIONS OF THE TREE REPORTS PREPARED BY HEARTWOOD CONSULTING ARBORISTS, DATED MAY 24, 2021. A FINAL LIST OF THE TREE PRESERVATION MEASURES BY THE ARBORIST SHALL BE SUBMITTED FOR REVIEW AND APPROVAL BY THE DIRECTOR OF COMMUNITY DEVELOPMENT PRIOR TO BUILDING PERMIT ISSUANCE. NO TREE TRIMMING OR PRUNING OTHER THAN THAT SPECIFIED IN THE TREE REPORT SHALL OCCUR. THE PROJECT DEVELOPER SHALL ARRANGE FOR THE HORTICULTURAL CONSULTANT TO CONDUCT A FIELD INSPECTION PRIOR TO ISSUANCE OF CITY PERMITS TO ENSURE THAT ALL RECOMMENDATIONS HAVE BEEN PROPERLY IMPLEMENTED. THE CONSULTANT SHALL CERTIFY IN WRITING THAT SUCH RECOMMENDATIONS HAVE BEEN FOLLOWED.

25. ALL INVENTORIED EX. TREES ON THE PLAN BY THE PROJECT ARBORIST SHALL USE THE LATEST VERSION OF THE 'GUIDE FOR PLANT APPRAISAL' PUBLISHED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA).

3 TREE PROTECTION NOTES & GUIDELINES
SCALE: 1/4" = 1'-0"

PEOPLE WHO LOVE PEPTIDES • PEOPLE WHO KNOW PEPTIDES

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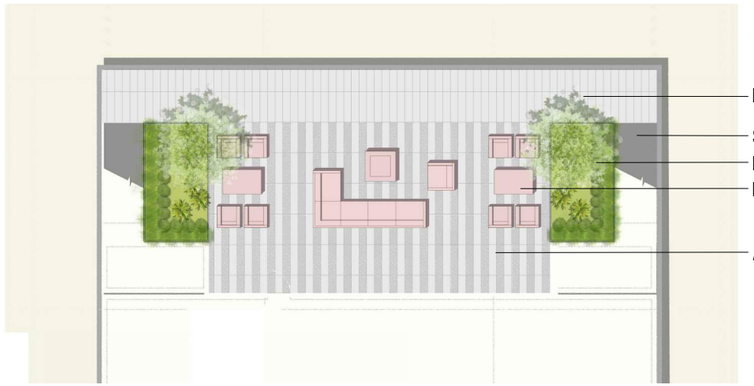
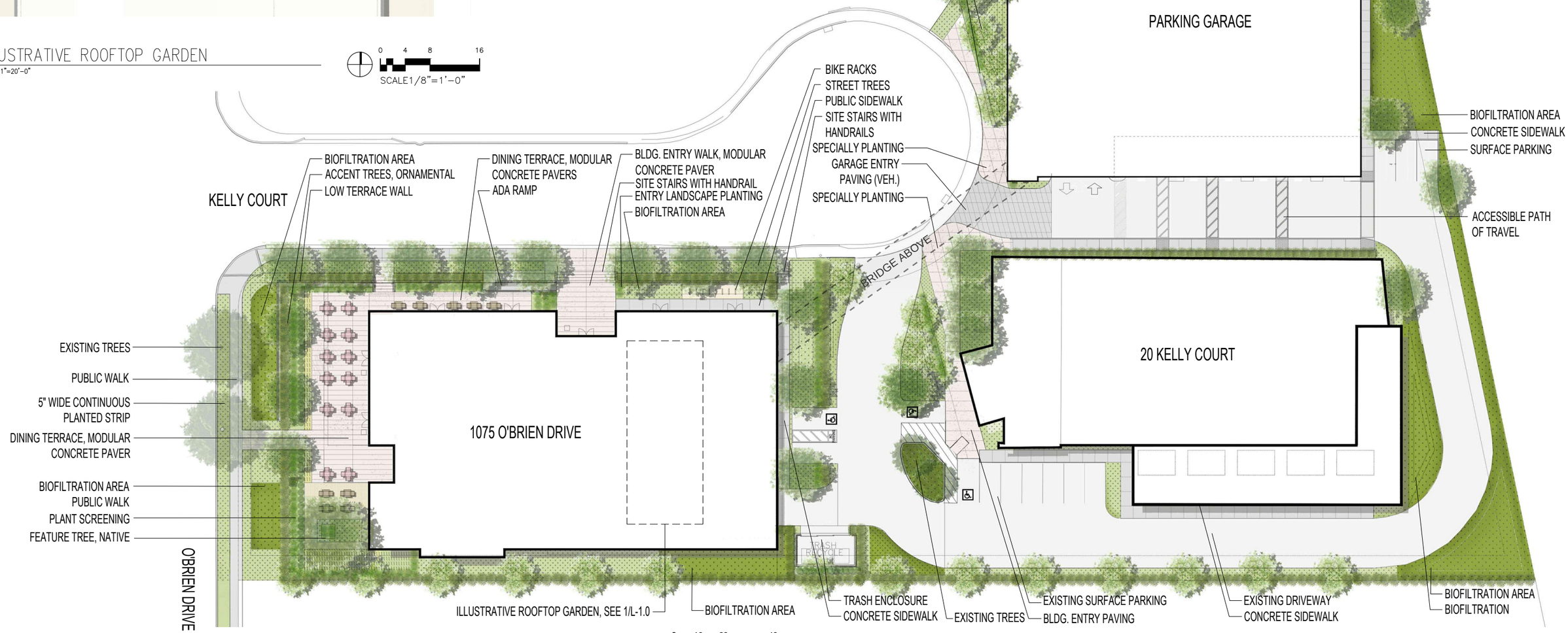


1 ILLUSTRATIVE ROOFTOP GARDEN
SCALE: 1"=20'-0"

0 4 8 16
SCALE 1/8"=1'-0"



2 ILLUSTRATIVE SITE PLAN
SCALE: 1"=20'-0"

0 10 20 40
SCALE: 1"=20'-0"

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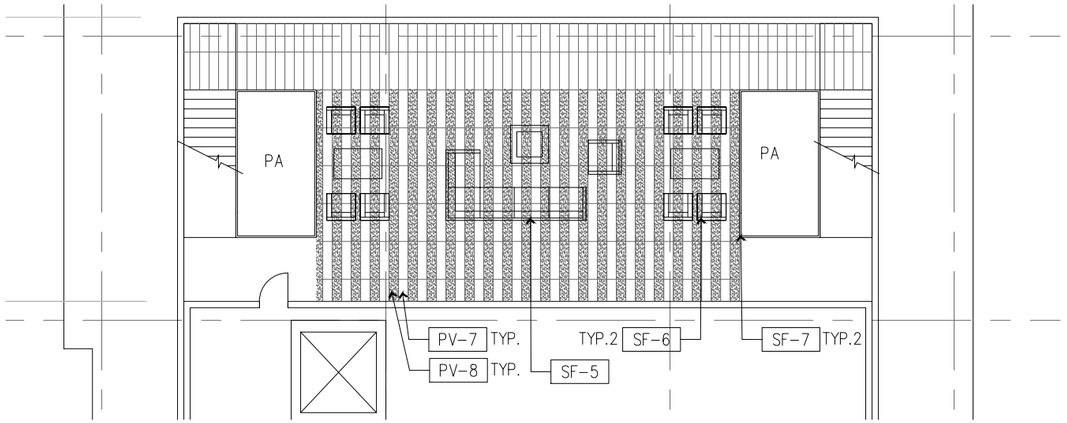

2 ROOFTOP LAYOUT PLAN
SCALE: 1/8"=1'-0"

0 4 8 16
SCALE 1/8"=1'-0"

1 LAYOUT PLAN
SCALE: 1"=20'-0"

0 10 20 40
SCALE: 1"=20'-0"

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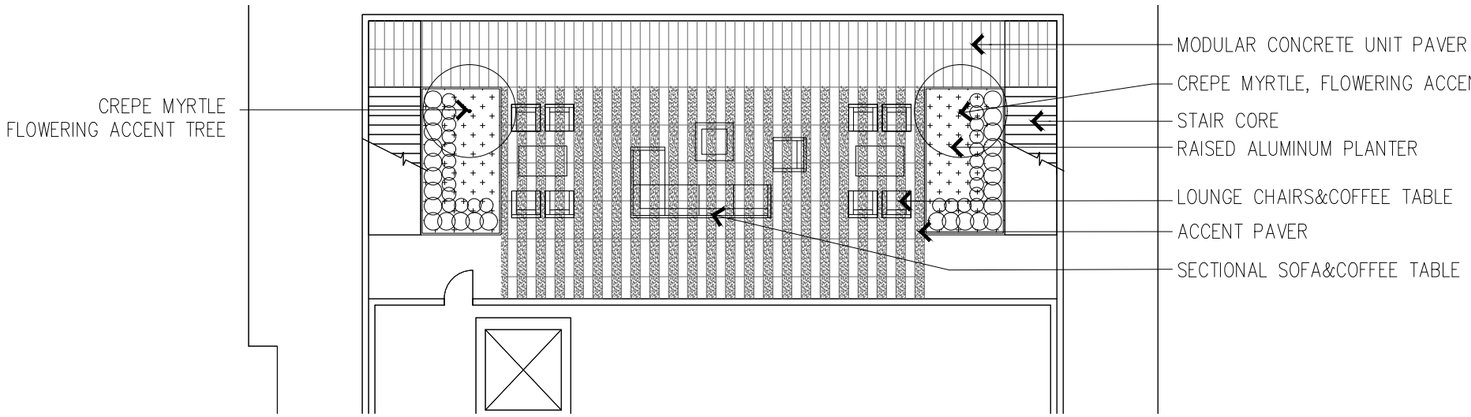
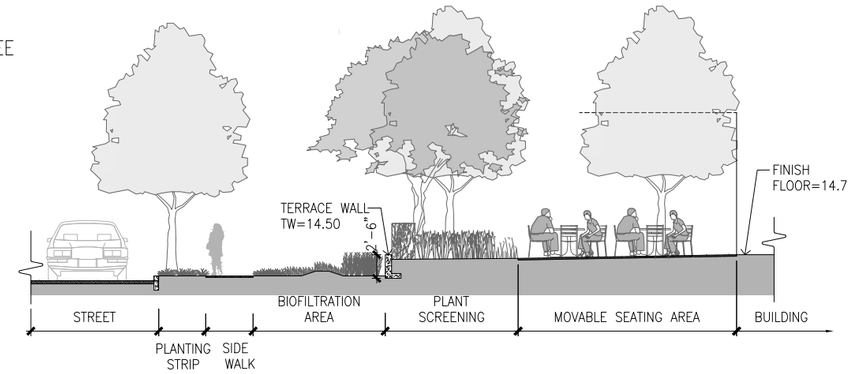
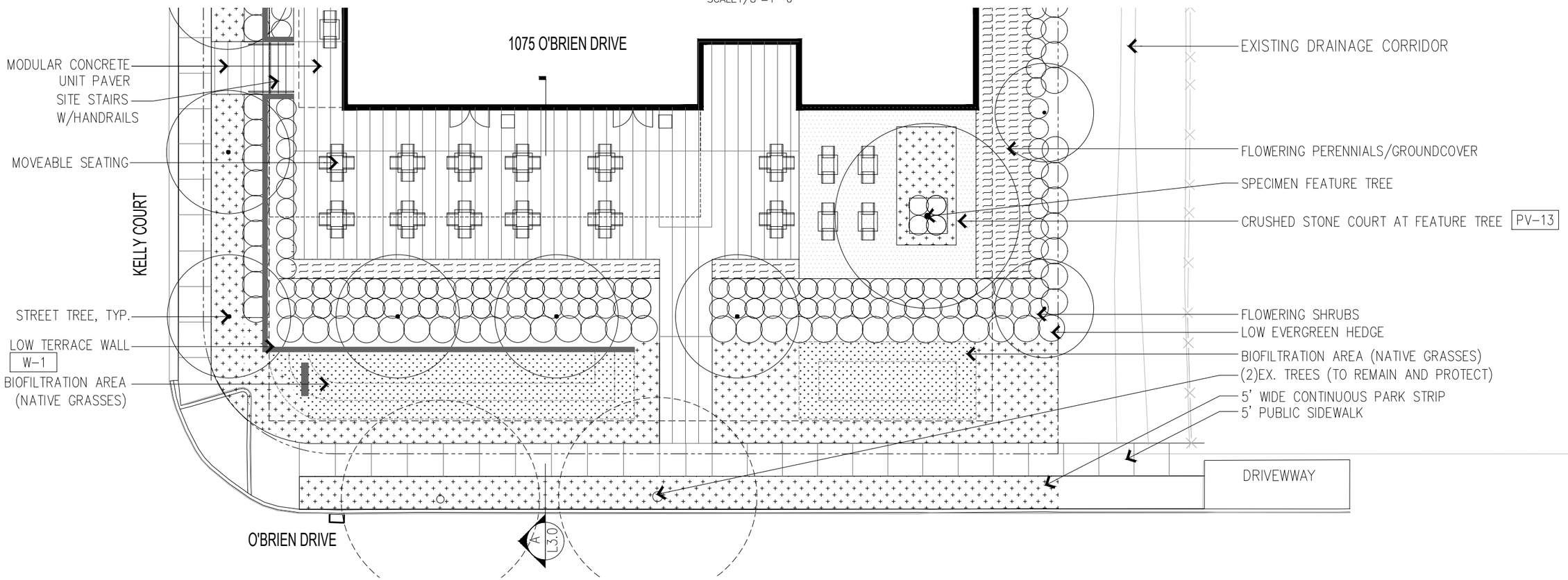


2 ENLARGEMENT ROOFTOP PLAN
SCALE: 1/8"=1'-0"

0 4 8 16
SCALE 1/8"=1'-0"



3 SECTION A
SCALE: 1/8" = 1'-0"



1 ENLARGEMENT PLAN
SCALE: 1/8"=1'-0"

0 4 8 16
SCALE 1/8"=1'-0"

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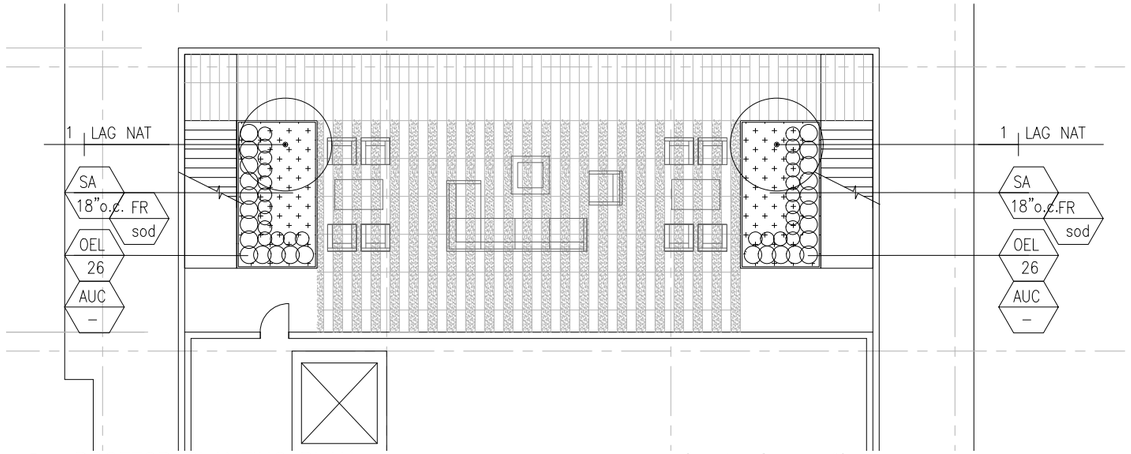

2 ROOFTOP PLANTING PLAN
SCALE: 1/8"=1'-0"

0 4 8 16
SCALE1/8"=1'-0"

1 PLANTING PLAN
SCALE: 1"=20'-0"

0 10 20 40
SCALE: 1"=20'-0"

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MATERIAL SCHEDULE | 1075 O'BRIEN DRIVE AND 20 KELLY COURT, MENLO PARK

MATERIALS SCHEDULE – CSBio

SYMBOL	DESCRIPTION	PRODUCT/ITEM#	FINISH/COLOR	SOURCE/COMMENTS
PAVING & HEADERS				
PV-1	ASPHALT (EXISTING)	S.C.D.	S.C.D.	S.C.D.
PV-1a	ASPHALT (NEW)	S.C.D.	S.C.D.	S.C.D.
PV-2	4" CONCRETE PAVING (EXISTING)	SEE CITY STANDARDS	NATURAL GREY	SEE CITY STANDARDS
PV-3	6" CONCRETE PAVING (VEH)	FEATHER EDGE, 1/8" MAX. TROWEL JOINT	COBBLESTONE, TOP CAST FINISH: LIGHT SANDBLAST	DAVIS COLOR
PV-4	4" CONCRETE PAVING (PED)	SEE CITY STANDARDS	NATURAL GREY	SEE CITY STANDARDS
PV-5	4" CONCRETE PAVING (ON GRADE)	FEATHER EDGE, 1/8" MAX. TROWEL JOINT	PEWTER, TOP CAST FINISH: LIGHT SANDBLAST	DAVIS COLOR
PV-6	CONCRETE UNIT PAVER (PED) – TYPE 1 (ON GRADE)	12"x48", 60MM THICK, FIELD PATTERN: STACKED BOND.	COLOR: GRANADA WHITE FINISH: FACE MIX, SHOT BLAST, GRIND W/ BEVEL EDGE	STEPSTONE
PV-7	PERMEABLE CONCRETE UNIT PAVER (PED) – TYPE 2 (ON PODIUM)	12"x48", 60MM THICK, FIELD PATTERN: STACKED BOND.	COLOR: GRANADA WHITE. FINISH: FACE MIX, SHOT BLAST, GRIND W/ BEVEL EDGE	STEPSTONE
PV-8	CONCRETE UNIT PAVER (PED) – TYPE 3 (ON PODIUM)	12"x48", 60MM THICK, FIELD PATTERN: STACKED BOND.	COLOR: LIGHT SALTE, FINISH: FACE MIX, SHOT BLAST W/ BEVEL EDGE.	STEPSTONE
PV-9	PAVER EDGE RESTRAINT	3/16"x24" STRUCTUREDGE	MILL FINISH	PERMALOC.COM
PV-10	LANDSCAPE HEADER	3/16"x4" CLEANLINE, CONTRACTOR TO DETERMINE 8' OR 16' LENGTH	BRONZE FINISH	PERMALOC.COM
PV-11	TRUNCATED DOME PAVER	12"X12"	ONYX FM, SHOT BLASH, PTDSB-610	STEPSTONE
PV-12	SLATE CHIP TOP DRESSING	SIZE: 3–4" DIA.	GREY	SBI
PV-13	DECOMPOSED GRANITE W/ GRAVELPAVE2	3/8" CLEAN DG	YUMA TRINITY CRUSHED	SBI
SYMBOL	DESCRIPTION	PRODUCT/ITEM#	FINISH/COLOR	SOURCE/COMMENTS
STAIR, WALL, FENCE & CURB				
W-1	WALL–TYPE 1 (RETAINING)	P.I.P. CONCRETE, INTEGRAL COLOR, LIGHT SAND BLAST FINISH	OPT 1: PEWTER OPT 2: COBBLESTONE	DAVIS COLORS
W-2	PROJECT MONUMENT SIGN/ SITE SIGNAGE	CUSTOM	CUSTOM	BY OTHERS
W-3	SITE STAIRS	P.I.P. CONCRETE, INTEGRAL COLOR, TBD.	FINISH: ACID ETCH	DAVIS COLOR
W-4	HANDRAIL	S.S.TUBE STOCK, FLAT STOCK, BRUSHED METAL	CUSTOM	BY OTHERS
SYMBOL	DESCRIPTION	PRODUCT/ITEM#	FINISH/COLOR	SOURCE/COMMENTS
SITE FURNISHINGS				
SF-1	LITTER/RECYCLE RECEPTACLE	BOX LINE	TUBE–SILVER SABLE, FRAME: DK GREY	ID METALCO
SF-2	TABLE	ALLUX DINING TABLE (100X100)	TEAK, CUSTOM COLOR	MAMAGREEN
SF-3	CHAIR	ZIX STACKABLE CHAIR	TEAK, CUSTOM COLOR	MAMAGREEN
SF-4	BIKE RACK	BOLA BIKE RACK	STAINLESS STEEL	LANDSCAPE FORM
SF-5	SECTIONAL SOFA & COFFEE TABLE	–	–	–
SF-6	LOUNGE CHAIRS&COFFEE TABLE	–	–	–
SF-7	RECTANGULAR PLANTER	–	–	–
SYMBOL	DESCRIPTION	PRODUCT/ITEM#	FINISH/COLOR	SOURCE/COMMENTS
DRAINAGE				
D-1	BIOFILTRATION	S.C.D. FOR DRAINAGE PLANS	S.C.D	S.C.D

PLANT SCHEDULE – CSBio

SIZE	ID	BOTANICAL NAME	COMMON NAME	QUANTITY	SPACING	WUCOL
PROPOSED TREES						
24" Box	ACE RUB	Acer rubrum 'Armstrong'	'Armstrong' Red Maple	18	As Shown	M
36" Box	LAG IND	Lagerstroemia indica 'Natchez'	Crepe Myrtle	14	As Shown	L
60" Box	OLE EUR	Olea europaea 'Swan Hill'	Swan Hill Olive	3	As Shown	L
60" Box	QUE AGR	Quercus agrifolia	Coast Live Oak	2	As shown	L
24" Box	QUE ILE	Quercus ilex	Holly Oak	17	As shown	M
SHRUBS, PERENNIALS & SUCCULENTS						
5 Gal	AA	Agave attenuata ' Blue Nova'	Blue Nova Agave		As shown	L
1 Gal	AEO	Aeonium canariensis	Aeonium		24" O.C.	L
5 Gal	ARS	Arctostaphylus 'Sunset'	Sunset Manzanita		24" O.C.	L
5 Gal	APM	Arctostaphylus 'Pacific Mist'	Pacific Mist Manzanita		As shown	L
5 Gal	ALO	Aloe arborescens	Aloe		As shown	L
1 Gal	AM	Achillea millefolium 'Sonoma Coast'	Yarrow		As shown	L
5 Gal	AUC	Arbutus unedo 'Compacta'	Dwarf strawberry tree		As shown	L
5 Gal	BS	Buxus sempervirens	Boxwood		As shown	M
5 Gal	CJC	Ceanothus 'Joyce Coultor'	Lilac		As shown	L
1 Gal	CYP	Ceanothus 'Yankee Point'	Yankee Point Ceanothus		24" O.C.	L
5 Gal	EC	Echium canadensis	Pride of Madeira		As shown	L
1 Gal	EK	Erigeron karvinskianus	Santa Barbara daisy		As shown	L
1 Gal	GL	Gaura lindheimeri 'Whirling Butterflies'	Gaura		As shown	M
5 Gal	HQ	Hydrangea quercifolia	Oakleaf Hydrangea		As shown	M
1 Gal	HM	Heuchera maxima	Island Alum Root		As shown	M
1 Gal	LS	Liatris spicata 'Purple'	Purple Liatris		As shown	M
5 Gal	LEU	Leucospermum 'Tango'	Pin Cushion		As shown	L
5 Gal	OEL	Olea europaea 'Little Ollie'	Dwarf Olive Shrub		As shown	VL
5 Gal	PCN	Pittosporum crassifolium 'Nana'	Dwarf Karo		As shown	M
5 Gal	PIB	Podocarpus elongatus 'Icee Blue'	Blue Ice Yellowwood		As shown	M
5 Gal	RA	Rhamnus alternus	Italian Buckthorn		As shown	M
5 Gal	RO	Rosmarinus officinalis 'Tuscan Blue'	Upright Rosemary		As shown	L
1 Gal	SBB	Salvia 'Bees Bliss'	Island Alum Root		18" O.C.	M
5 Gal	SLM	Salvia leucantha 'Mischief'	Salvia 'White'		As shown	L
1 Gal	SM	Senecio mandraliscae	Blue Finger		18" O.C.	L
5 Gal	SGA	Salvia greggii 'Alba'	Salvia 'White'		As shown	L
1 Gal	VB	Verbena bonariensis	Verbena		30" O.C.	VL
5 Gal	YG	Yucca gloriosa 'multi'	Spanish bayonet		As shown	L
ORNAMENTAL GRASSES & RUSHES						
1 Gal	BPP	Baccharis pilularis 'Pigeon Point'	Coyote Brush		30" O.C.	L
1 Gal	CHT	Chondropetalum tectorum	Cape Reed		24" O.C.	L
1 Gal	HS	Helictotrichon sempervirens	Blue Oat Grass		24" O.C.	L
1 Gal	LLB	Lomandra longifolia 'Breeze'	Dwarf Mat Rush		24" O.C.	L
1 Gal	LCC	Leymus condensatus 'Canyon Prince'	Giant Wild Rye		24" O.C.	VL
4" Pot	LTL	Leymus triticoides 'Lagunita'	Lagunita Wild Rye		14" O.C.	L
1 Gal	LM	Liriope muscari	Lily Turf		12" O.C.	M
1 Gal	PA	Pennisetum alopecuroide	Black Pennisetum		24" O.C.	L
4" Pot	SA	Seslaria autumnalis	Autumn Moor Grass		18" O.C.	M
GROUNDCOVER						
1 Gal	BPP	Baccharis pilularis 'Pigeon Point'	Coyote Brush		30" O.C.	L
1 Gal	FR	Festuca rubra	Creeping Red Fescue		SOD	M

XX–X MATERIAL CALLOUT

300 TOPOGRAPHIC CONTOUR LINE

PROPERTY LINE

SETBACK LINE

CENTER LINE

LAYOUT LINE

(EX.) EXISTING

ALIGN

TREE TRUNK

AREA DRAIN

QUANTITY OR SPACING
BOTANICAL NAME
XX | XX XXXX
SIZE | XX XXXX
PLANT CALLOUT
COMMON NAME
CONTAINER SIZE

BOTANICAL NAME/ID
XX
XX
PLANT CALLOUT (SHRUB)
QUANTITY OR SPACING

CONCRETE/ CONCRETE PAVERS

R	RADIUS
TYP	TYPICAL
TS	TOP OF STEP
BS	BOTTOM OF STEP
TW	TOP OF WALL
BW	BOTTOM OF WALL
TC	TOP OF CURB
BC	BOTTOM OF CURB
HP	HIGH POINT
LP	LOW POINT
TP	TOP OF PAVING
AD	AREA DRAIN ELEVATION
FG	FINISHED GRADE
V.I.F.	VERIFY IN FIELD
S.A.D.	SEE ARCH. DWGS
S.E.D.	SEE ELECTRICAL DWGS
S.S.D.	SEE STRUCTURAL DWGS
S.C.D.	SEE CIVIL DWGS
S.P.D.	SEE PLUMBING DWGS
S.M.D.	SEE MECHANICAL DWGS
F.O.B.	FACE OF BLDG.
CL	CENTER LINE
CP	CENTER POINT
SYM.	SYMMETRICAL
U.O.N.	UNLESS OTHERWISE NOTED
PA	PLANTING AREA
EQ.	EQUAL
FFE	FINISHED FLOOR ELEVATION
EJ	EXPANSION JOINT
NG	NATURAL GRADE
STR	STRUCTURE
N.I.C.	NOT IN CONTRACT
P.O.B	POINT OF BEGINNING

SHRUB & UNDERSTORY PLANTING SYMBOLS

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PROPOSED TREES

(ACE RUB) ARMSTRONG RED MAPLE

(CED DEO) DEODAR CEDAR

(LAG NAT) CREPE MYRTLE

(OLE EUR) SWAN HILL OLIVE

(QUE ILE) HOLLY OAK

(QUE AGR) COAST LIVE OKA

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