

**CAPACITY** Modular construction  
1 bike per arm

**MATERIALS** Hanger is 1" square tube with steel slider head with tamperproof locking bolts.  
Upright is 2" square tube.  
Feet are AISI C3 x 4.1 galvanized steel channel. Crossbeams are 2" sched. 40 galvanized pipe.

**MOUNT OPTIONS**

- Floor Mount. Ultra Space Saver Squared have steel channel feet (30" for single sided and 56" for double sided units) which must be anchored to the floor.
- Wall Mount. A wall mounted unit which contains special brackets is also available for CMU or solid concrete walls. Cannot be used on sheetrock without additional support.

LONG TERM BIKE PARKING IN ENCLOSED ROOM ACCESSIBLE ONLY TO RESIDENTS AND EMPLOYEES



SHORT TERM BIKE PARKING. SEE PLAN FOR LOCATIONS

**BIKE PARKING DETAILS**

PARKING SPACE CALCULATIONS			
COMMERCIAL		RESIDENTIAL	
RETAIL SPACE 1	920 SF GLA	SECOND FLOOR	3 UNITS
RETAIL SPACE 2	623 SF GLA	THIRD FLOOR	1 UNIT
<b>TOTAL</b>	<b>1541 SF GLA</b>	<b>TOTAL</b>	<b>4 UNITS</b>
1541 SF / 1000 = 1.5 X 4 = 6 REQ. SPACES		4 UNITS X 1.85 PER UNIT = 7.4 = 8 REQ. SPACES	
6 COMMERCIAL SPACES + 8 RESIDENTIAL SPACES = 14 TOTAL SPACES			

**1 PROPOSED PARKING PLAN**  
SCALE: 1/8" = 1'-0"

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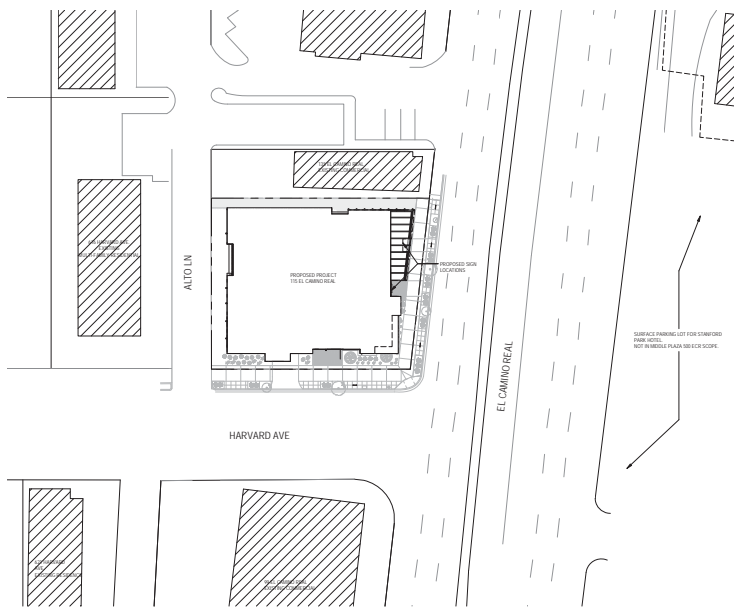


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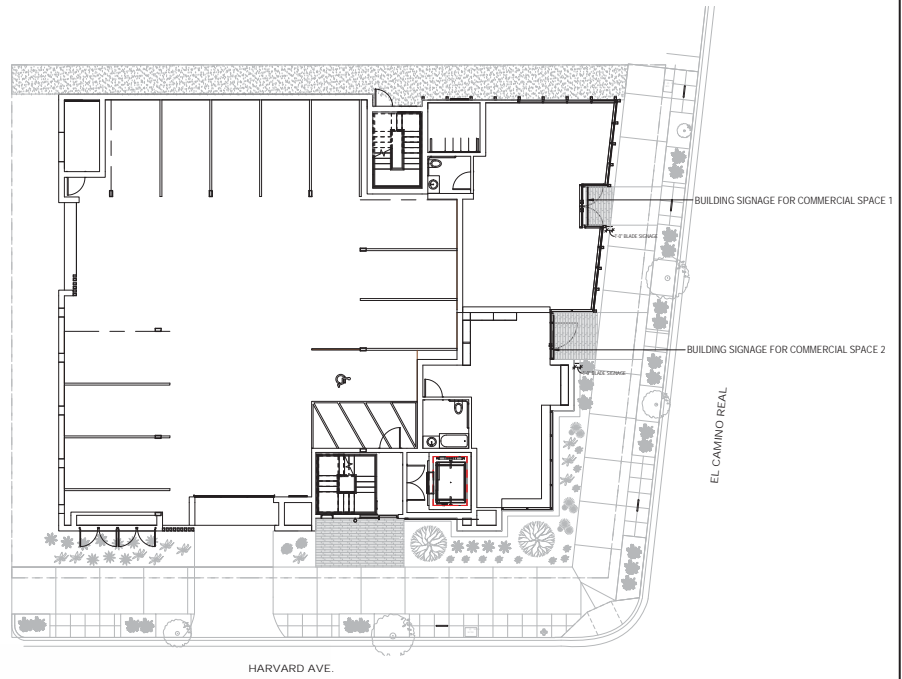
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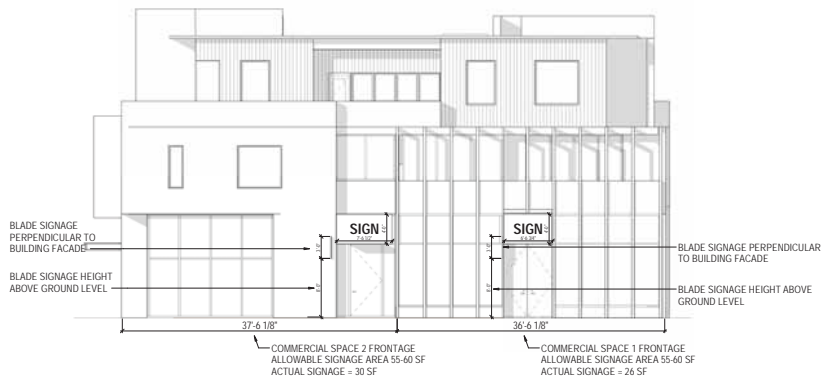
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3 SITE PLAN FOR SIGNAGE  
SCALE: 1" = 30'0"



2 LEVEL ONE FLOOR PLAN FOR SIGNAGE  
SCALE: 1" = 10'0"



1 ELEVATION FACING EL CAMINO REAL - SIGNAGE  
SCALE: 1/8" = 1'-0"



BLADE SIGNAGE PRECEDENT  
LASER CUT METAL BACKLIT  
3 SF MAXIMUM



BUILDING SIGNAGE PRECEDENTS  
SOLID BACKGROUND WITH MOUNTED INDIVIDUAL LETTERS AND NUMBERS  
LIGHT PROVIDED BY EXTERNAL LIGHT SOURCE

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Description	Value
Sign Plan	
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**JET VENT FANS**  
Low Profile

PROJECT SUBMITTAL  
**JVEC-LP Low Profile**  
JET VENT FANS EC-SERIES | GARAGE VENTILATOR

**Typical Specifications**

The high velocity jet induction fans shall be of the JetVent Fan JVEC Series by JVC. Fans are shall be thermally-protected from fire and shall be fire-rated complete system on the mechanical drawings. Electric motor centrifugal impeller, made from aluminum, shall be driven by an EC motor. Motor shall have integrated EC-Controller. Integrated thermal activated protection Fan motor shall be configurable to accept dual controller of optional EC, NEMA, or temperature sensors, as well as integrated smoke detector. The housing shall incorporate aerodynamically designed internal flow elements, shall be constructed of galvanized steel with a light gray primer-coated finish, and incorporate mounting provisions.

**Features**

- The induction fan produces significantly greater thrust at much lower sound levels than conventional fans.
- Variable speed EC fan saves energy and improves fan quality by adjusting thrust to air circulation requirements based on the concentration levels of CO, NOx, smoke, or temperature.
- Wide range of variable operating speeds can be readily adjusted to meet building design characteristics and code compliance.
- Ultra-robust 24Vdc JVEC motor with safety protection for flame retardant, non-halogenated wires, and weather for storage.
- EC motor technology eliminates the need to replace CFCs and chlorofluorocarbons used in traditional air conditioning and refrigeration.
- Compact, low profile fan design for the application with low ceiling heights.
- Optional wireless and wireless remote for additional control options.

Model #	Operating Speed	Area	HP	Capacity
JVEC-LP	Variable	2.9	1.7	1000
JVEC-LP	Variable	7.9	4.4	3000

Model #	Area	HP
JVEC-LP	2.9	1.7
JVEC-LP	7.9	4.4

Model #	Capacity	HP
JVEC-LP	1000	1.7
JVEC-LP	3000	4.4

Model #	Capacity	HP
JVEC-LP	1000	1.7
JVEC-LP	3000	4.4

**DUCTLESS GARAGE VENTILATION - MANUFACTURER INFORMATION SHEET**

The Jet Fan system has a demand-based (occupancy sensor) with a ventilation rate of 0.75 cfm per ft<sup>2</sup>. This meets the requirements of the 2016 CMC section 403.7.2 and table 403.7. The equipment is suspended from the ceiling in the parking garage.



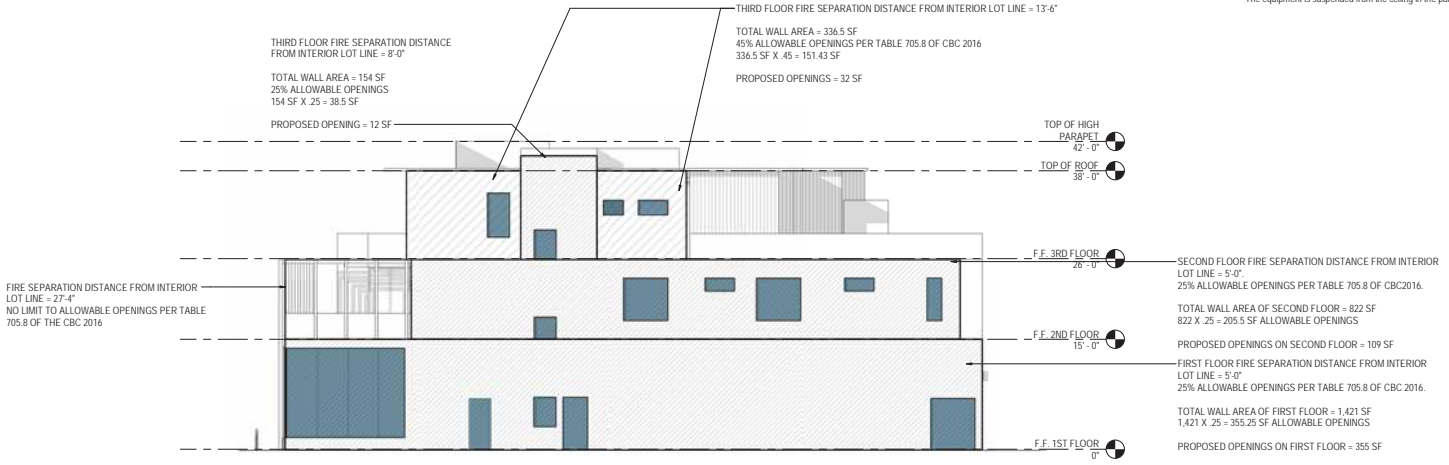
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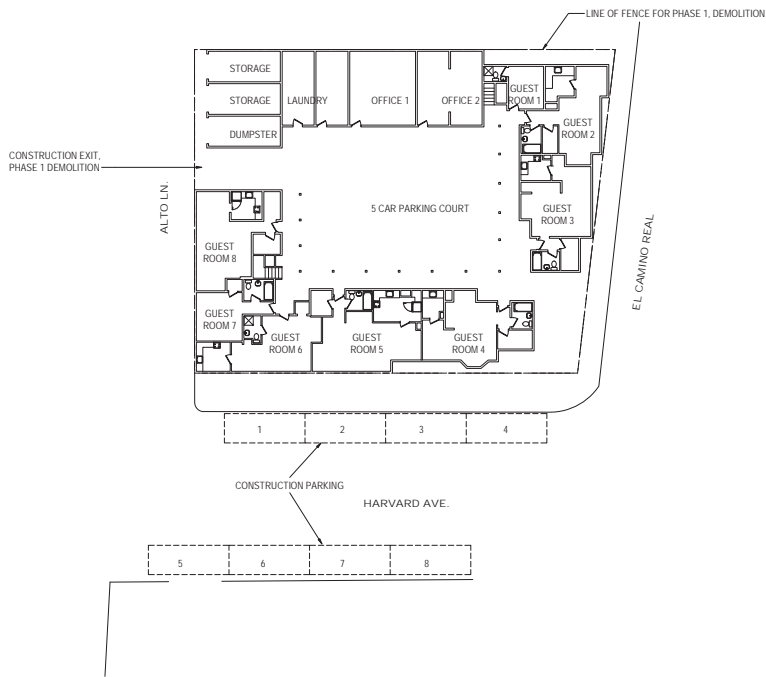
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Job	115 EL CAMINO
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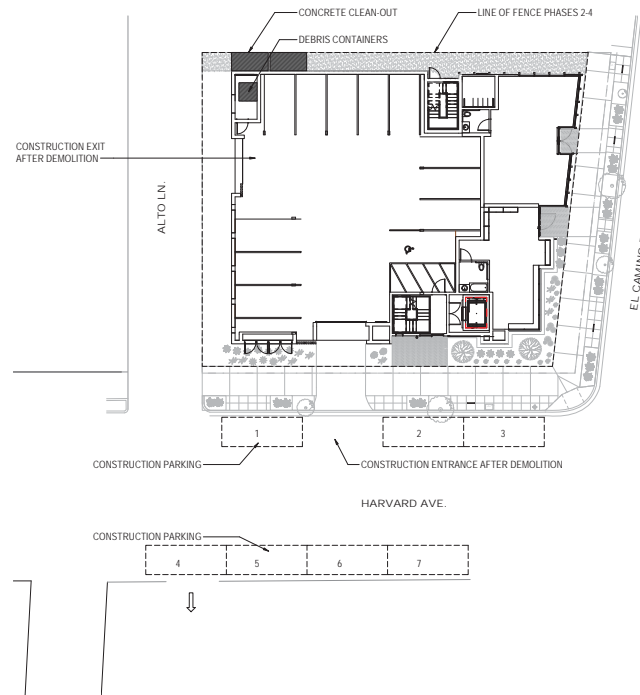


**1 ELEVATION NORTH - INTERIOR SIDE % OPENINGS**  
SCALE: 1/8" = 1'-0"

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**1** CONSTRUCTION PHASING DIAGRAM - DEMOLITION  
SCALE: 1/16" = 1'-0"



**2** CONSTRUCTION PHASING DIAGRAM - NEW CONSTRUCTION  
SCALE: 1/16" = 1'-0"

NOTES:

- PHASE 1 : 2 MONTHS CONSTRUCTION FENCING ALONG PROPERTY LINE, DEMOLITION OF EXISTING BUILDING AND SITE IMPROVEMENTS, GRADING OF BUILDING PAD, EQUIPMENT, PARKING, AND SUPPLIES WITHIN CONSTRUCTION FENCING, CONSTRUCTION WORKER PARKING ALONG HARVARD AVE. 5 SPACES NEEDED.
- PHASE 2 : 3 MONTHS OFFSITE UNDERGROUND UTILITIES INSTALLATION, DRAINAGE AND FOUNDATION INSTALLATION, PARKING AND ROADWAY SUBGRADE AND BASECOURT, DEBRIS BOX AND SUPPLIES DELIVERED WITHIN FENCED SITE, CONSTRUCTION WORKER PARKING ALONG HARVARD AVE AND WITHIN FENCED SITE, 8 SPACES NEEDED.
- PHASE 3 : 12 MONTHS BUILDING IMPROVEMENT INSTALLATION, MINIMAL SITE WORK, CONSTRUCTION WORKER PARKING NEEDED 6-12 SPACES AVAILABLE WITHIN SITE AND 7 SPACES ALONG HARVARD AVE, DELIVERIES WITHIN FENCED SITE.
- PHASE 4 : 6 WEEKS SITE WORK IMPROVEMENTS, CITY PROPERTY IMPROVEMENTS, CONSTRUCTION WORKER PARKING NEEDED 8-12 SPACES ALONG HARVARD AVE. AND ALTO LN. ALL PHASES TO MAINTAIN EXISTING SIDEWALK AVAILABLE FOR PUBLIC USE UNTIL PHASE 4 WORK. REMOVAL OF ALL CONSTRUCTION ACTIVITY END OF PHASE 4.

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Description	CONSTRUCTION PHASING DIAGRAM
Date	04/02/2019
Scale	1/16" = 1'-0"
Drawn	MJT
Job	115 EL CAMINO
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RED BUSH MONKEYFLOWER



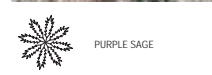
COMMON SUN ROSE



PURPLE OWL'S CLOVER



CA POPPY



PURPLE SAGE



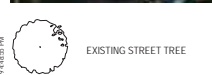
CA FUCHSIA



COMMON MANZANITA  
MAX 6' - 20"



CA ASTER



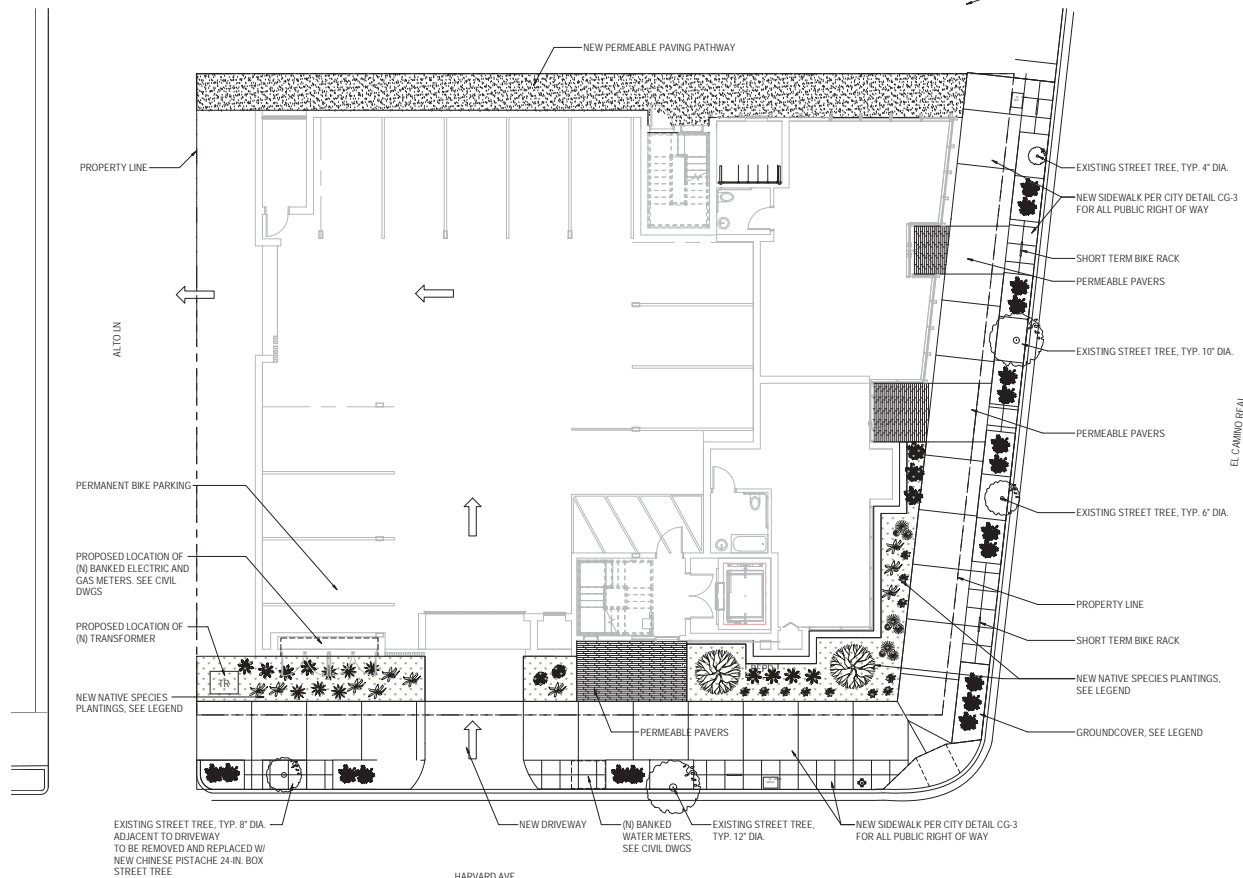
EXISTING STREET TREE



PERMEABLE PAVER



SHORT TERM BIKE PARKING DETAILS



1 LANDSCAPE PLAN  
SCALE: 1/8" = 1'-0"

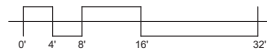


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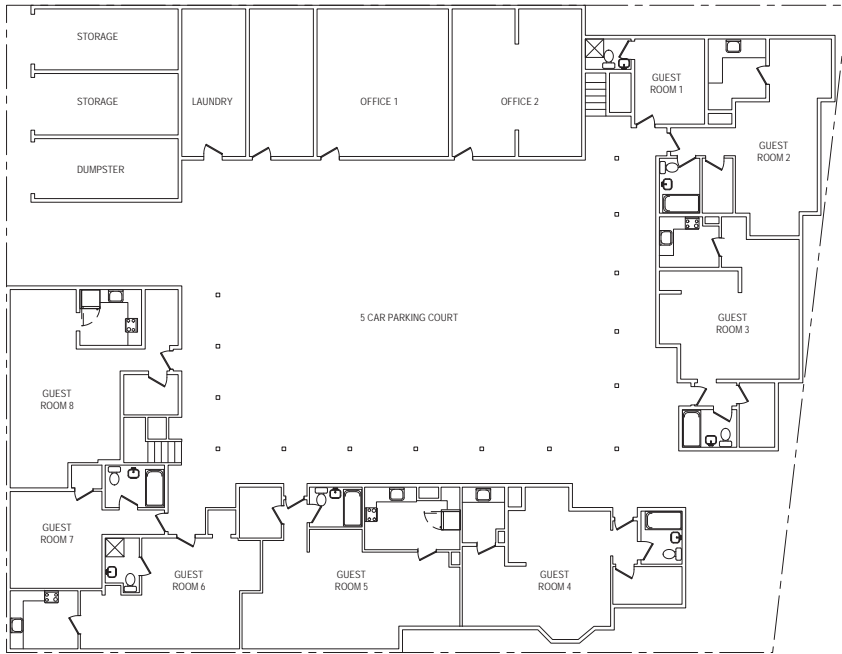
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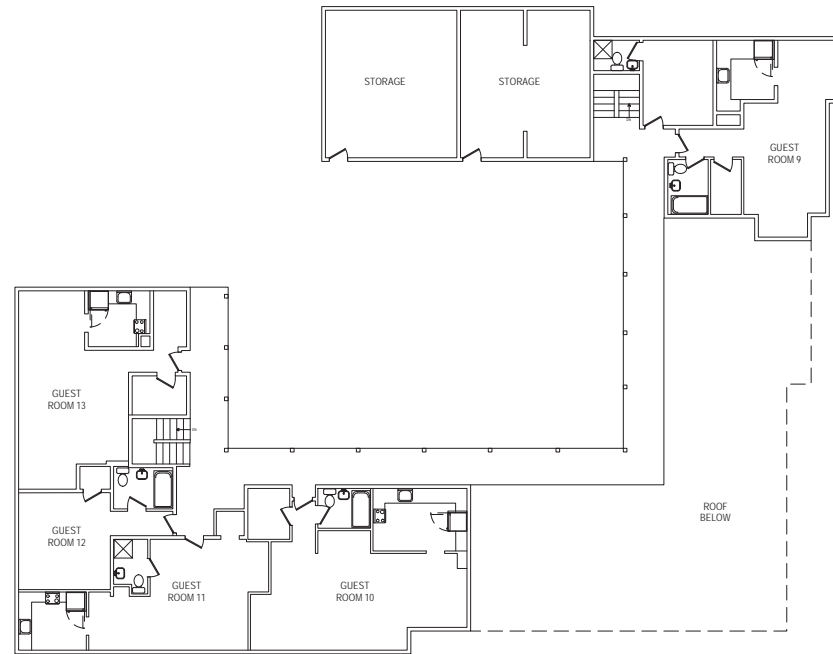
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Description LANDSCAPE PLAN	
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Scale	1/8" = 1'-0"
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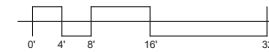
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1 EXISTING FIRST FLOOR PLAN - TO BE DEMOLISHED  
SCALE: 1/8" = 1'-0"



2 EXISTING SECOND FLOOR PLAN - TO BE DEMOLISHED  
SCALE: 1/8" = 1'-0"



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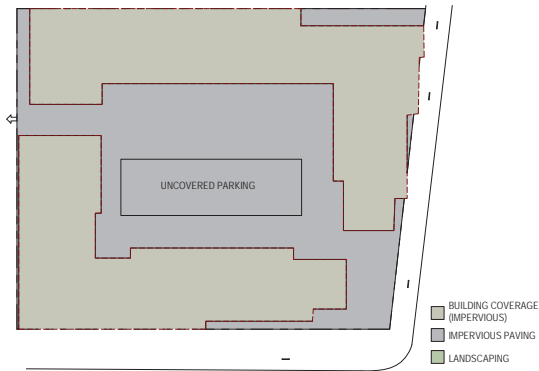


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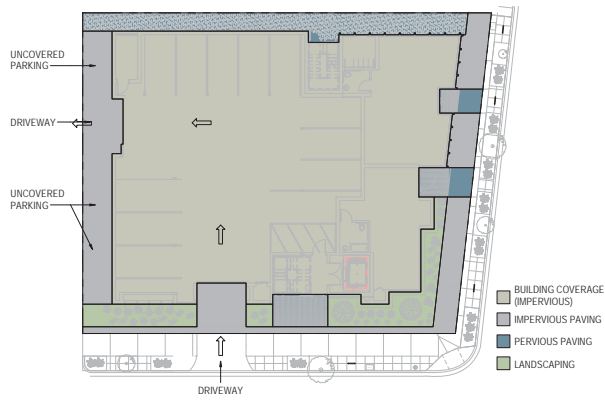
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EXISTING SITE PLAN COVERAGE AREAS

1/16" = 1'-0"

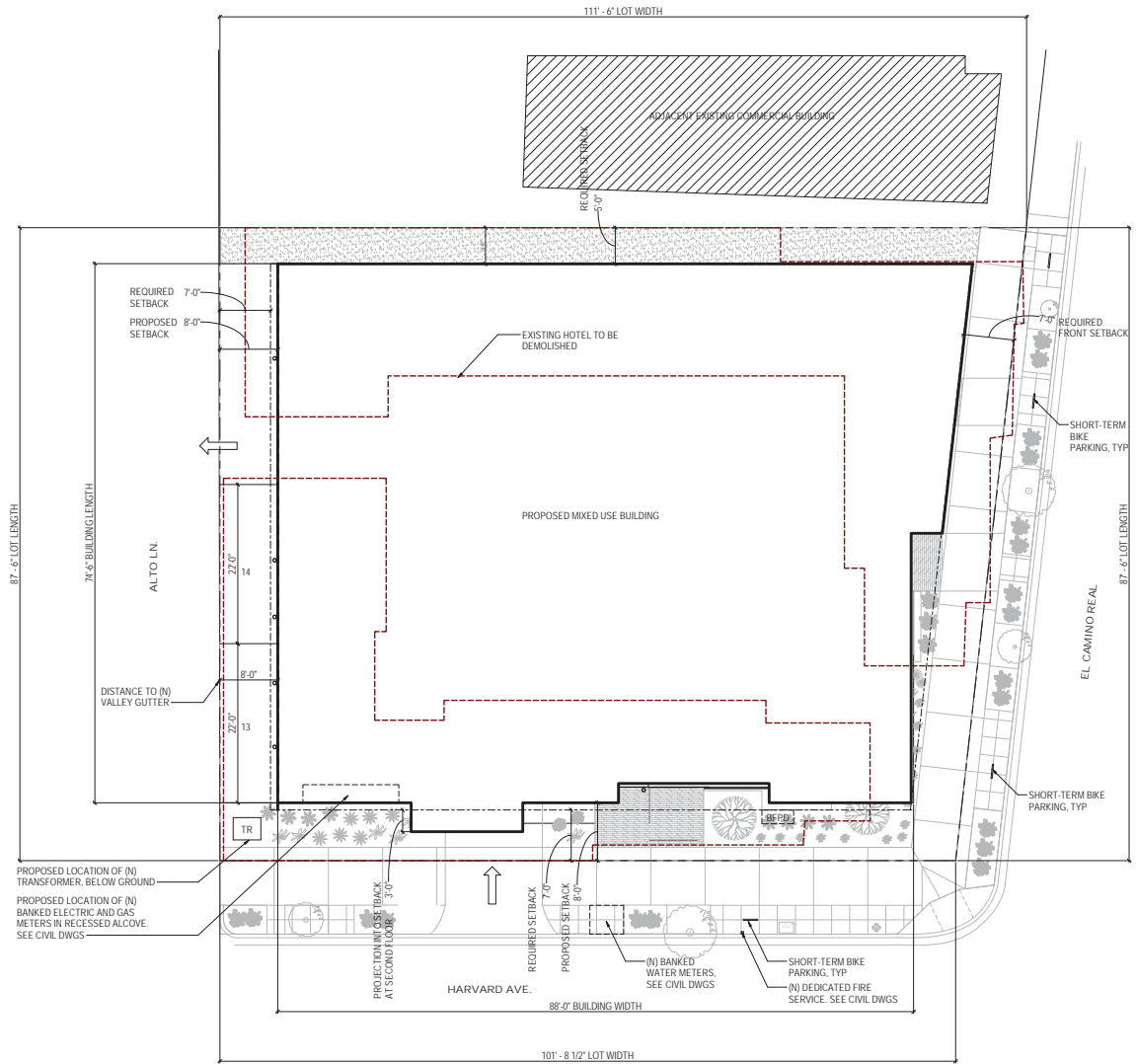


PROPOSED SITE PLAN COVERAGE AREAS

1/16" = 1'-0"

PROPOSED SITE PLAN AREAS		EXISTING SITE PLAN AREAS		PROPOSED OPEN SPACE	
CLASSIFICATION	SF	CLASSIFICATION	SF	AREA	SF
BUILDING COVERAGE (IMPERVIOUS)	6,589	BUILDING COVERAGE (IMPERVIOUS)	5,284	OS LEVEL 1	1560
IMPERVIOUS PAVING	1,268	IMPERVIOUS PAVING	3,498	OS LEVEL 2	1,068.75
PERVIOUS PAVING/PAVERS	314	PERVIOUS PAVING/PAVERS	0	OS LEVEL 3	2,273.5
LANDSCAPING	557	LANDSCAPING	0	TOTAL SF	4,902.25
					47.7%

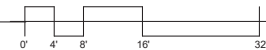
SITE PLAN COVERAGE AREA CALCS



PROPOSED LOCATION OF (N) TRANSFORMER, BELOW GROUND  
 PROPOSED LOCATION OF (N) BANKED ELECTRIC AND GAS METERS IN RECESSED ALCOVE. SEE CIVIL DWGS

1 PROPOSED SITE PLAN

SCALE: 1/16" = 1'-0"



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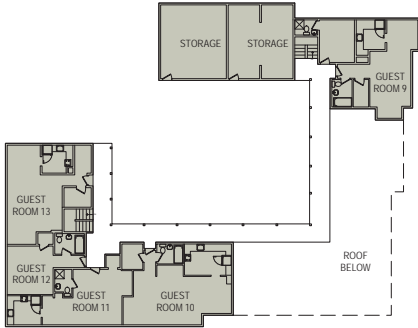
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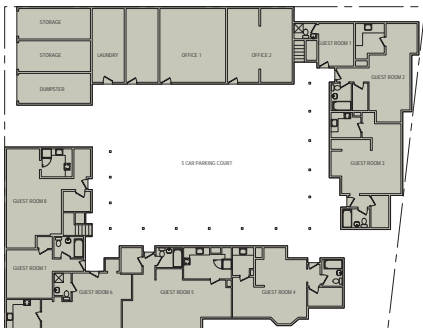
GFA TOTALS		FAR	
EXISTING TOTAL GFA	8,962.75 SF	EXISTING F.A.R.	.96
PROPOSED TOTAL GFA	10,261.75 SF	PROPOSED F.A.R.	1.1

PROPOSED GFA	
PROPOSED FIRST FLOOR	2001.75 SF
PROPOSED SECOND FLOOR	5240.75 SF
PROPOSED THIRD FLOOR	3019.25 SF
PROPOSED TOTAL GFA	10,261.75 SF
MAX ALLOWABLE GFA	10,261.9 SF

OPEN SPACE TOTALS		
GROUND FLOOR	1560 SF	
UNIT 1	272.25 SF	
UNIT 2	322.75 SF	
UNIT 3	473.75 SF	
UNIT 4	2273.5 SF	
TOTAL	4902.25 SF	47.7%



EXISTING SECOND FLOOR PLAN - AREA  
1/16" = 1'-0"

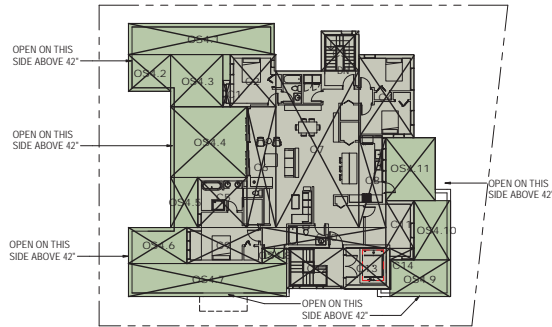


EXISTING FIRST FLOOR PLAN - AREA  
1/16" = 1'-0"

EXISTING BUILDING GFA		
AREA	DIMENSIONS	SF
FIRST FLOOR	CAD AREA CALC'	5479.75
SECOND FLOOR	CAD AREA CALC'	3483.0
TOTAL GFA		8962.75 SF

\*CAD AREA CALC TAKEN USING REVIT BIM SOFTWARE AREA COMMAND FOR NON ORTHOGONAL SHAPES

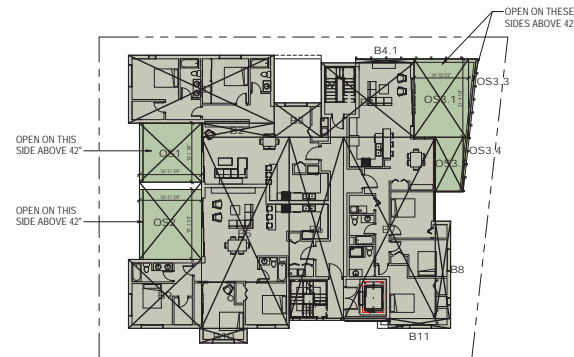
EXISTING SQUARE FOOTAGE CALCS



THIRD FLOOR SF POLYGONS  
1/16" = 1'-0"

THIRD FLOOR GFA			PRIVATE OPEN SPACE		
AREA	DIMENSIONS	SF	AREA	DIMENSIONS	SF
C1	2'-0" x 7'-0"	14	OS4.1	39'-9" x 8'-5"	334.5
C2	12'-5" x 14'-2"	176	OS4.2	11'-6" x 10'-0"	115
C3	10'-3" x 10'-10"	111	OS4.3	14'-3" x 14'-3"	203.25
C4	15'-0" x 22'-4"	335	OS4.4	20'-10" x 19'-3"	401.5
C5	13'-4" x 13'-6"	180	OS4.5	7'-5" x 13'-7"	101.5
C6	7'-10" x 32'-9"	256.5	OS4.6	15'-11" x 9'-10"	156.75
C7	22'-6" x 42'-8"	960	OS4.7	43'-1" x 9'-0"	388
C8	7'-4" x 24'-6"	179.75	OS4.8	6'-8" x 4'-11"	27.5
C9	20'-6" x 9'-9"	200	OS4.9	16'-2" x 10'-0"	162.5
C10	33'-8" x 5'-8"	190.75	OS4.10	9'-6" x 16'-2"	153.5
C11	7'-8" x 13'-0"	99.5	OS4.11	13'-6" x 17'-0"	229.5
C12	15'-4" x 10'-7"	164			
C13	12'-7" x 10'-7"	133.25	OS4 TOTAL		2273.5 UNIT 4
C14	6'-6" x 3'-0"	19.5	TOTAL SF		2273.5
TOTAL GFA		3019.25			

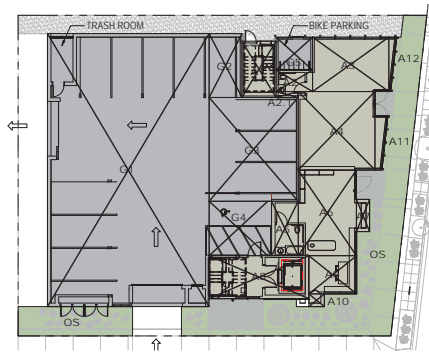
THIRD FLOOR PLAN SQUARE FOOTAGE CALCS



SECOND FLOOR SF POLYGONS  
1/16" = 1'-0"

SECOND FLOOR GFA			PRIVATE OPEN SPACE		
AREA	DIMENSIONS	SF	AREA	DIMENSIONS	SF
B1	39'-9" x 18'-6"	735.5	OS1	16'-11" x 16'-1"	272.25 UNIT 1
B2	19'-10" x 3'-9"	74.5	OS2	16'-11" x 19'-1"	322.75 UNIT 2
B3	12'-9" x 9'-4"	119	OS3.1	14'-10" x 21'-4"	318.0
B4	25'-3" x 20'-3"	511.5	OS3.2	7'-7" x 14'-10"	113.25
B4.1	16'-0" x 11'-1"	17.25	OS3.3	CAD AREA CALC'	30
B5	23'-9" x 52'-0"	1235	OS3.4	CAD AREA CALC'	12.5
B6	14'-9" x 50'-0"	737.5	OS3 TOTAL		473.75 UNIT 3
B7	25'-0" x 49'-5"	1235.5			
B8	4'-0" x 26'-6"	106			
B9	19'-10" x 18'-9"	372			
B10	12'-10" x 4'-0"	51.5			
B11	17'-0" x 2'-8"	45.5			
TOTAL GFA		5240.75	TOTAL SF		1068.75

SECOND FLOOR PLAN SQUARE FOOTAGE CALCS



FIRST FLOOR SF POLYGONS  
1/16" = 1'-0"

GROUND FLOOR GFA			GARAGE SF CALC		
AREA	DIMENSIONS	SF	AREA	DIMENSIONS	SF
A1	9'-3" x 15'-4"	142	G1	44'-1" x 74'-6"	3284.25
A2	10'-0" x 5'-10"	58.25	G2	6'-11" x 17'-5"	155.25
A2.1	6'-0" x 1'-7"	9.5	G3	24'-3" x 28'-3"	685
A3	20'-9" x 14'-10"	307.75	G4	16'-0" x 14'-10"	237.25
A4	21'-0" x 21'-5"	449.75	G5	10'-0" x 8'-10"	88.25
A5	7'-3" x 14'-10"	107.75	TOTAL SF		4450
A6	15'-10" x 23'-4"	369.5			
A7	3'-6" x 8'-9"	30.75			
A8	27'-2" x 11'-8"	317			
A9	A13'-0" x 10'-5"	135.5			
A10	A4'-2" x 3'-5"	14.25			
A11	CAD AREA CALC'	40.25			
A12	CAD AREA CALC'	19.5			
TOTAL GFA		2001.75			

FIRST FLOOR PLAN SQUARE FOOTAGE CALCS

\*CAD AREA CALC TAKEN USING REVIT BIM SOFTWARE AREA COMMAND FOR NON ORTHOGONAL SHAPES

PUBLIC OPEN SPACE		
AREA	DIMENSIONS	SF
OS	CAD AREA CALC'	1560



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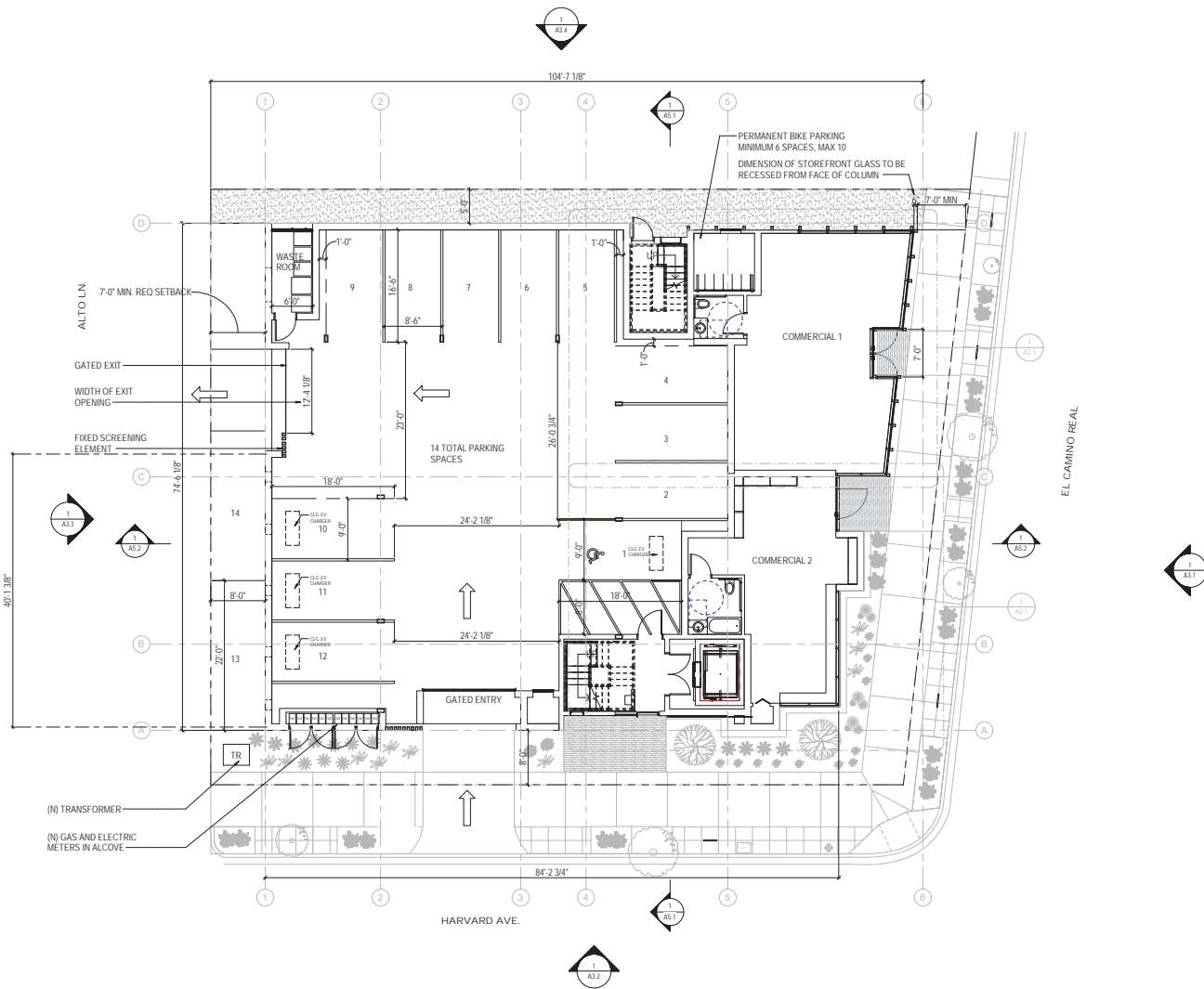
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SQUARE FOOTAGE CALC PLANS

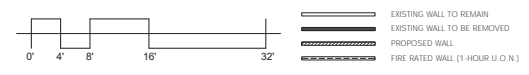
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Job: 115 EL CAMINO  
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1 PROPOSED LEVEL ONE FLOOR PLAN  
SCALE: 1/8" = 1'-0"



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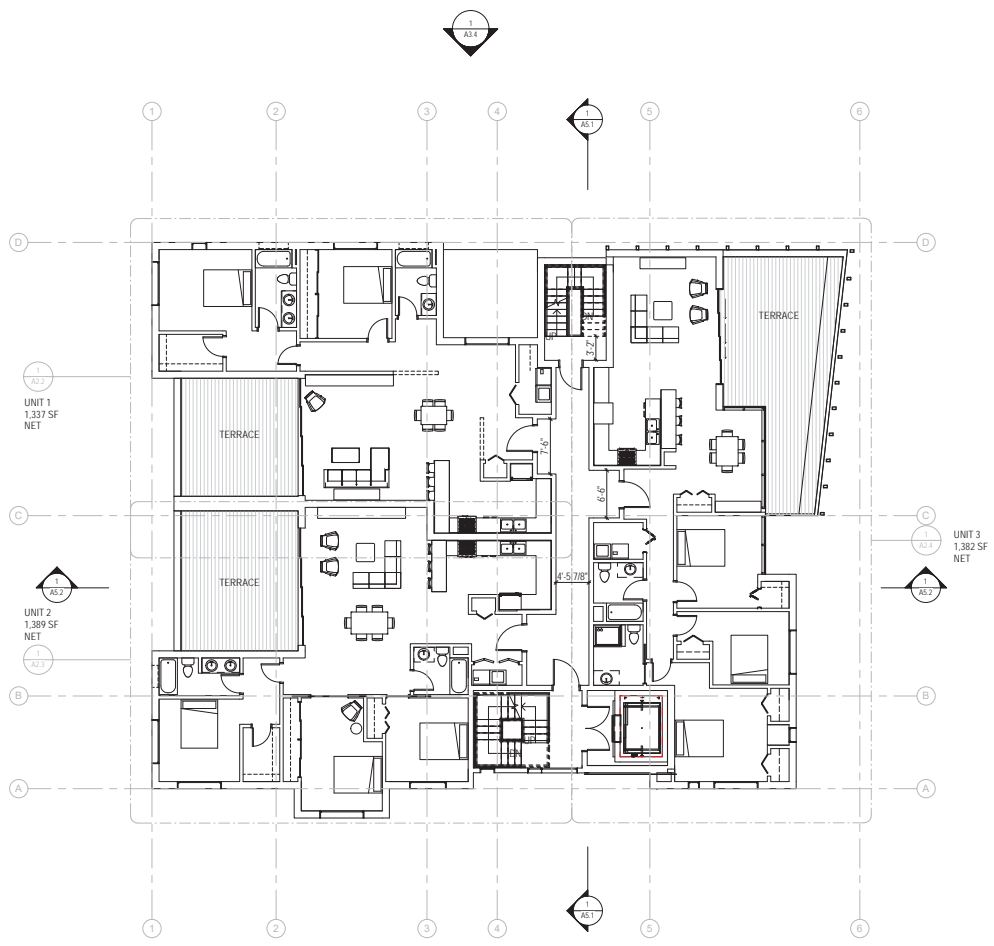


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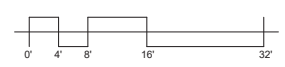
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Date	04/02/2019
Scale	1/8" = 1'-0"
Drawn	MJT
Job	115 EL CAMINO
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1 PROPOSED LEVEL TWO FLOOR PLAN  
SCALE: 1/8" = 1'-0"



- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- PROPOSED WALL
- FIRE RATED WALL (1-HOUR U.O.N.)



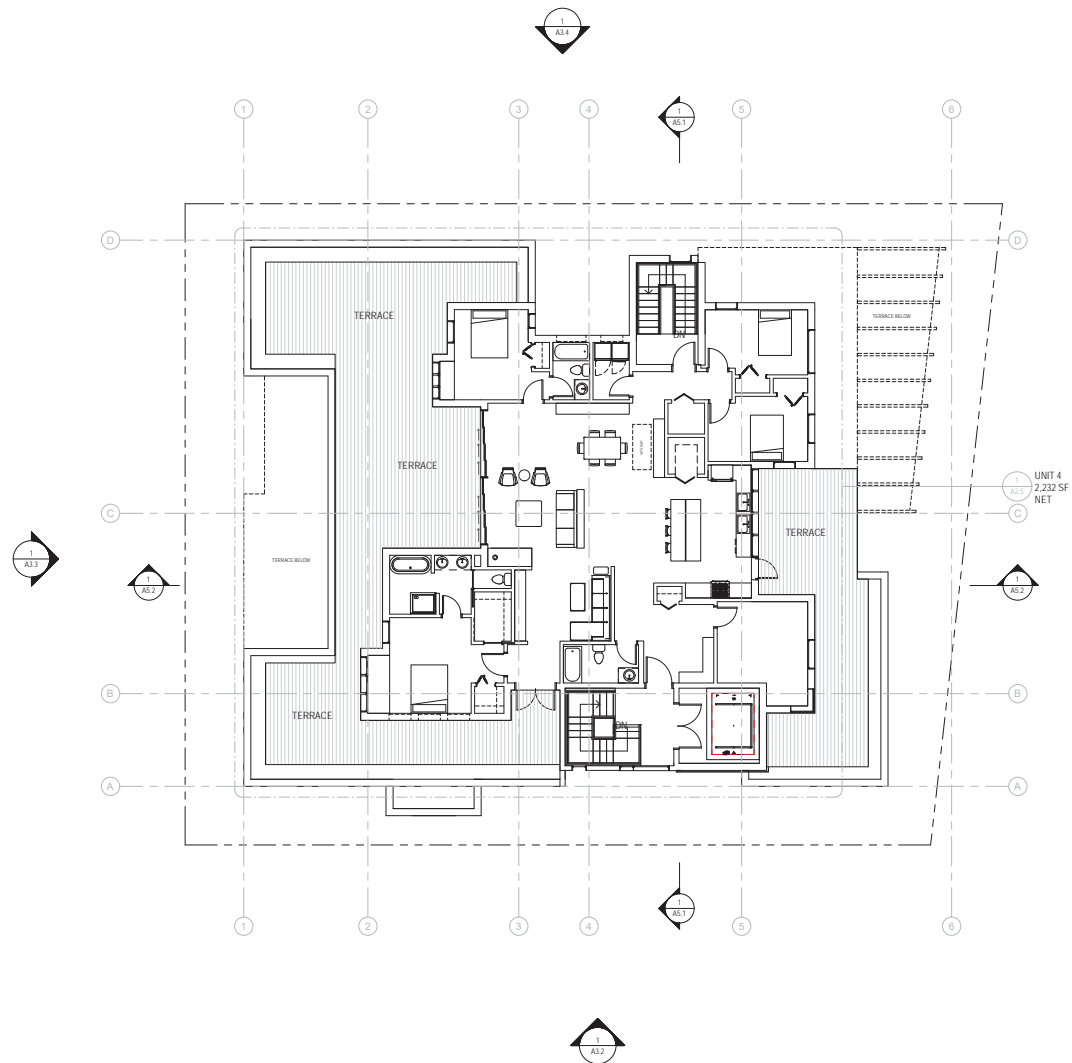
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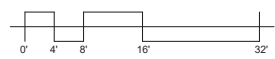
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Description	OVERALL FLOOR PLAN - LEVEL 2
Date	04/02/2019
Scale	1/8" = 1'-0"
Drawn	MJT
Job	115 EL CAMINO
Sheet	

**A1.2**



1 PROPOSED LEVEL THREE FLOOR PLAN  
SCALE: 1/8" = 1'-0"



- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- PROPOSED WALL
- FIRE RATED WALL (1-HOUR U.O.N.)



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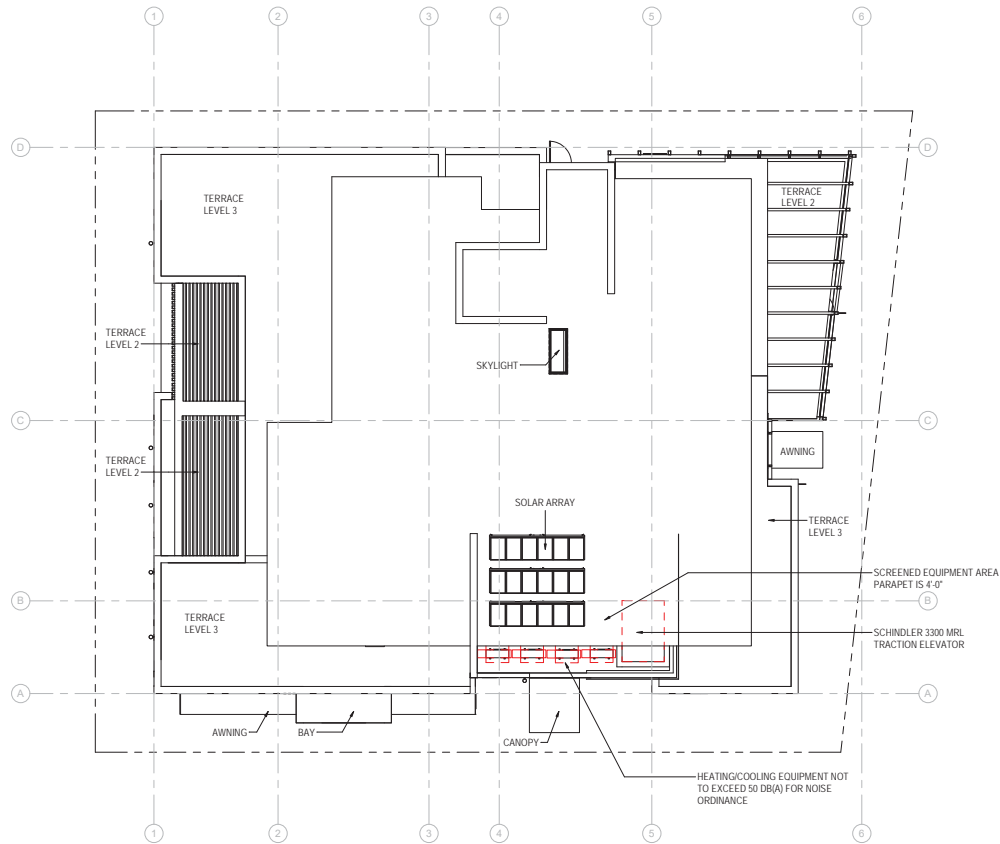


115 EL CAMINO  
MENLO PARK, CA 94025

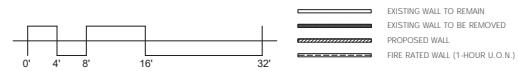
Description	OVERALL FLOOR PLAN - LEVEL 3
Date	04/02/2019
Scale	1/8" = 1'-0"
Drawn	Author
Job	115 EL CAMINO
Sheet	

**A1.3**





1 ROOF PLAN  
SCALE: 1/8" = 1'-0"



LEVY  
ART + ARCHITECTURE

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415.841.7200  
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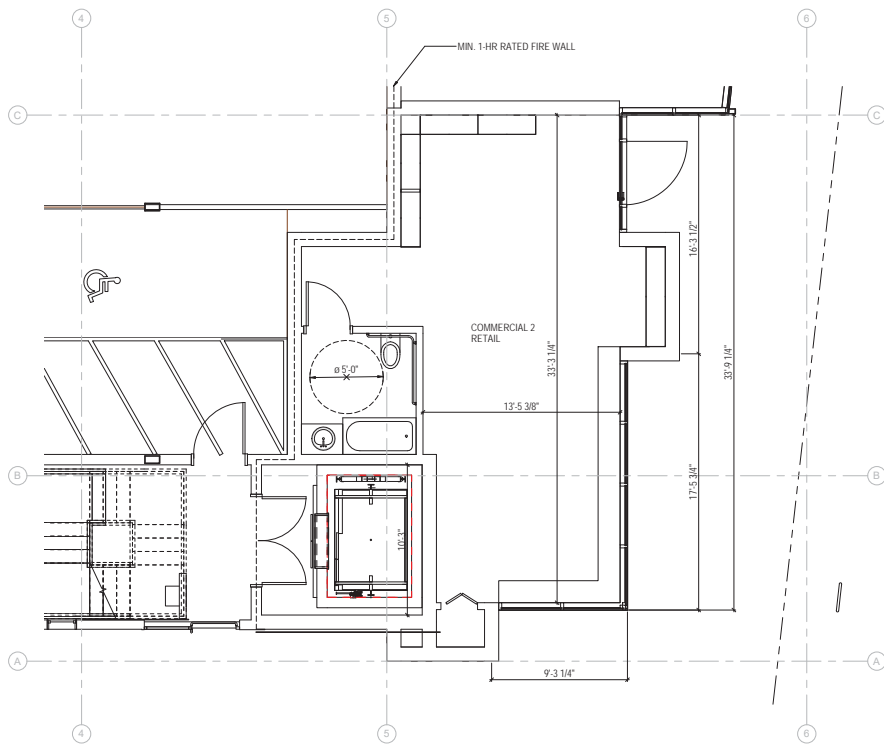


115 EL CAMINO  
MENLO PARK, CA 94025

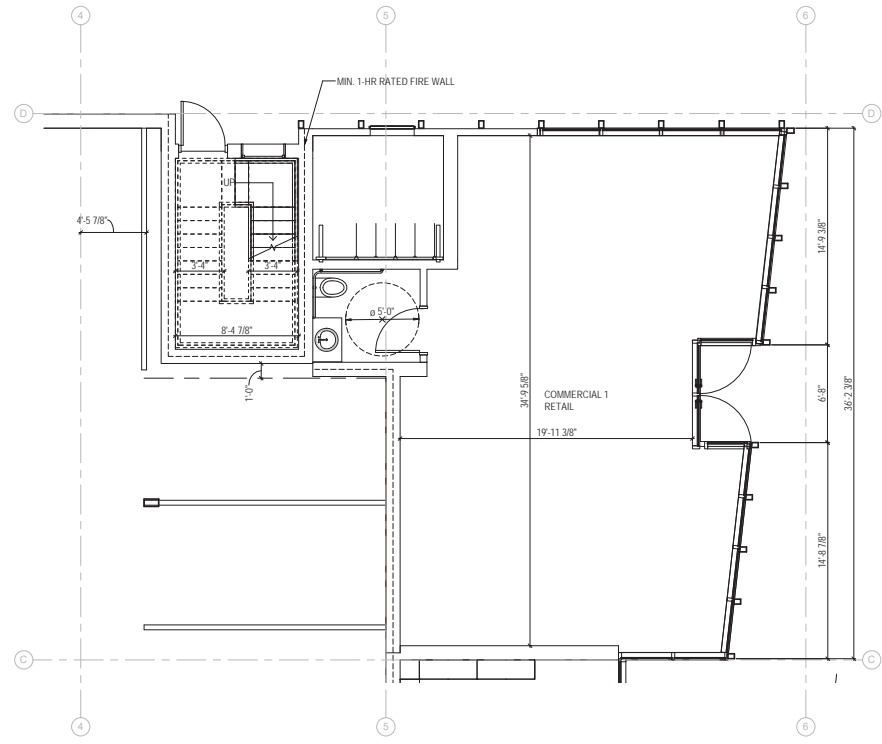
Description ROOF PLAN	
Date	04/02/2019
Scale	1/8" = 1'-0"
Drawn	MJT
Job	115 EL CAMINO
Sheet	

A1.4

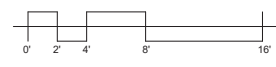




2 LEVEL ONE COMMERCIAL 2 FLOOR PLAN  
SCALE: 1/4" = 1'-0"



1 LEVEL ONE COMMERCIAL 1 FLOOR PLAN  
SCALE: 1/4" = 1'-0"



LEVY  
ART + ARCHITECTURE

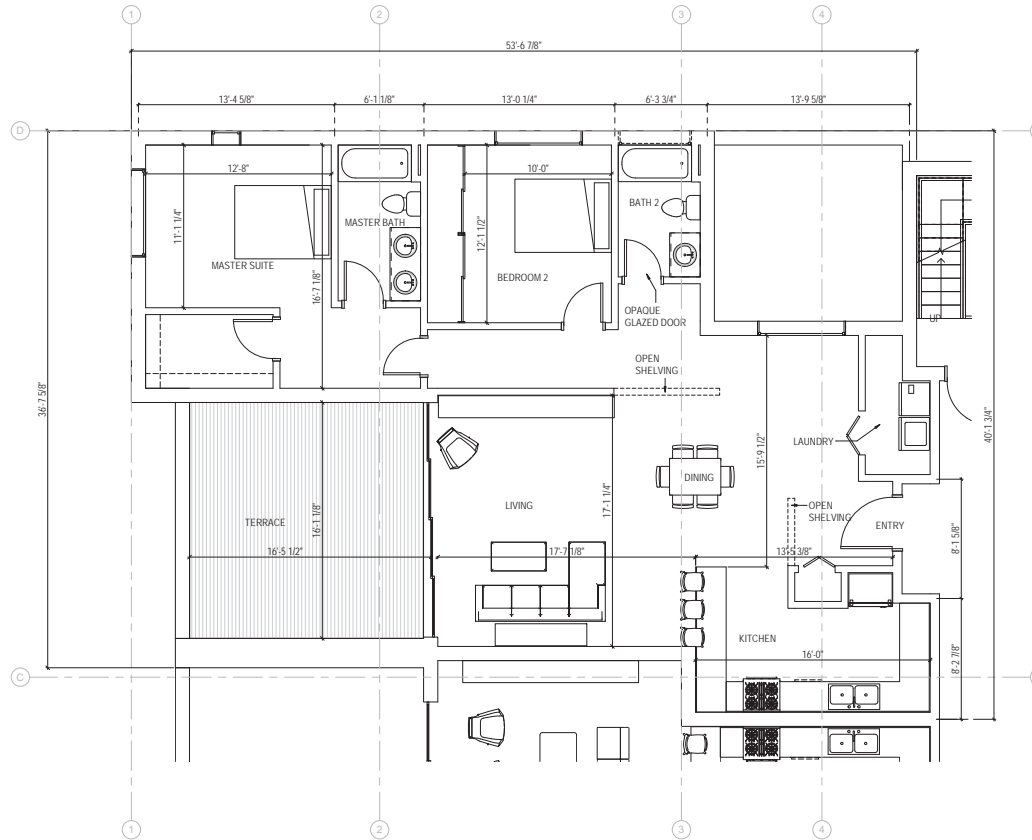
151 POTRERO AVE. STE. 200  
SAN FRANCISCO, CA 94108  
415.841.7800  
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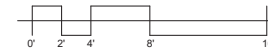
115 EL CAMINO  
MENLO PARK, CA 94025

Description	ENLARGED COMMERCIAL UNIT
Date	04/02/2019
Scale	1/4" = 1'-0"
Drawn	MJT
Job	115 EL CAMINO
Sheet	

**A2.1**



1 LEVEL TWO UNIT 1 FLOOR PLAN  
SCALE: 1/4" = 1'-0"



LEVY  
ART + ARCHITECTURE

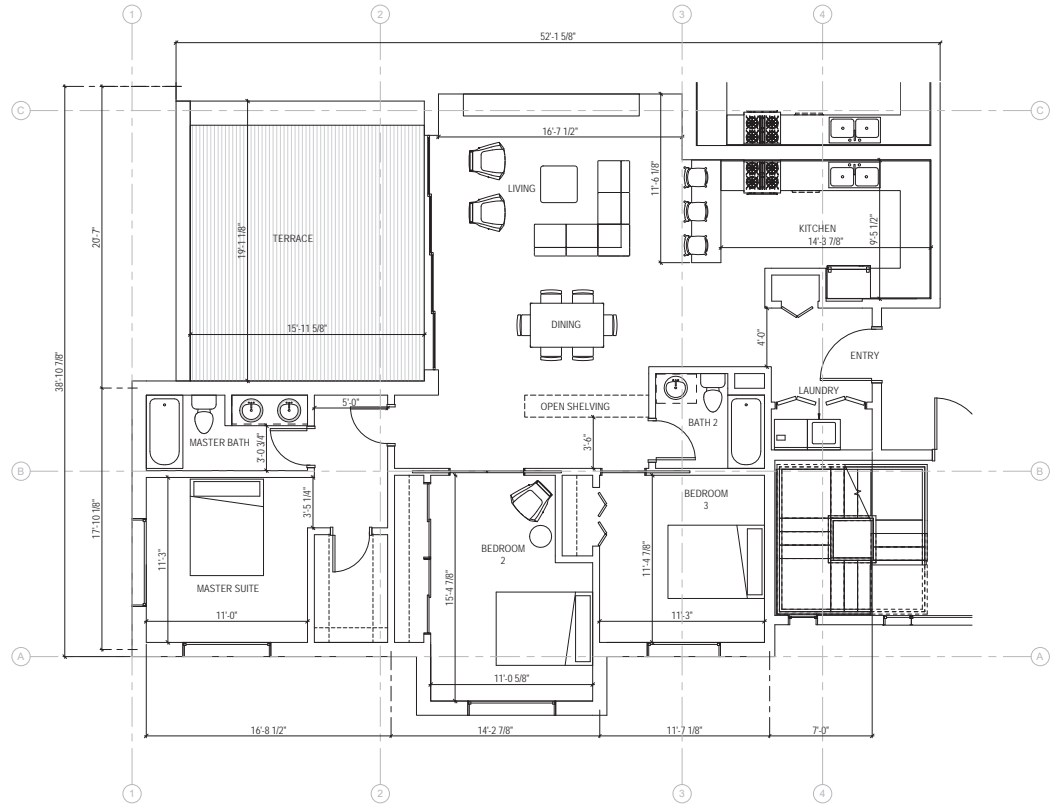
151 POTRERO AVE. STE. 200  
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415.841.7820  
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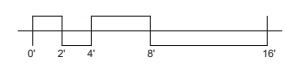
115 EL CAMINO  
MENLO PARK, CA 94025

Description	ENLARGED UNIT 1 PLAN
Date	04/02/2019
Scale	1/4" = 1'-0"
Drawn	MJT
Job	115 EL CAMINO
Sheet	

**A2.2**



1 LEVEL TWO UNIT 2 FLOOR PLAN  
SCALE: 1/4" = 1'-0"



LEVY  
ART + ARCHITECTURE

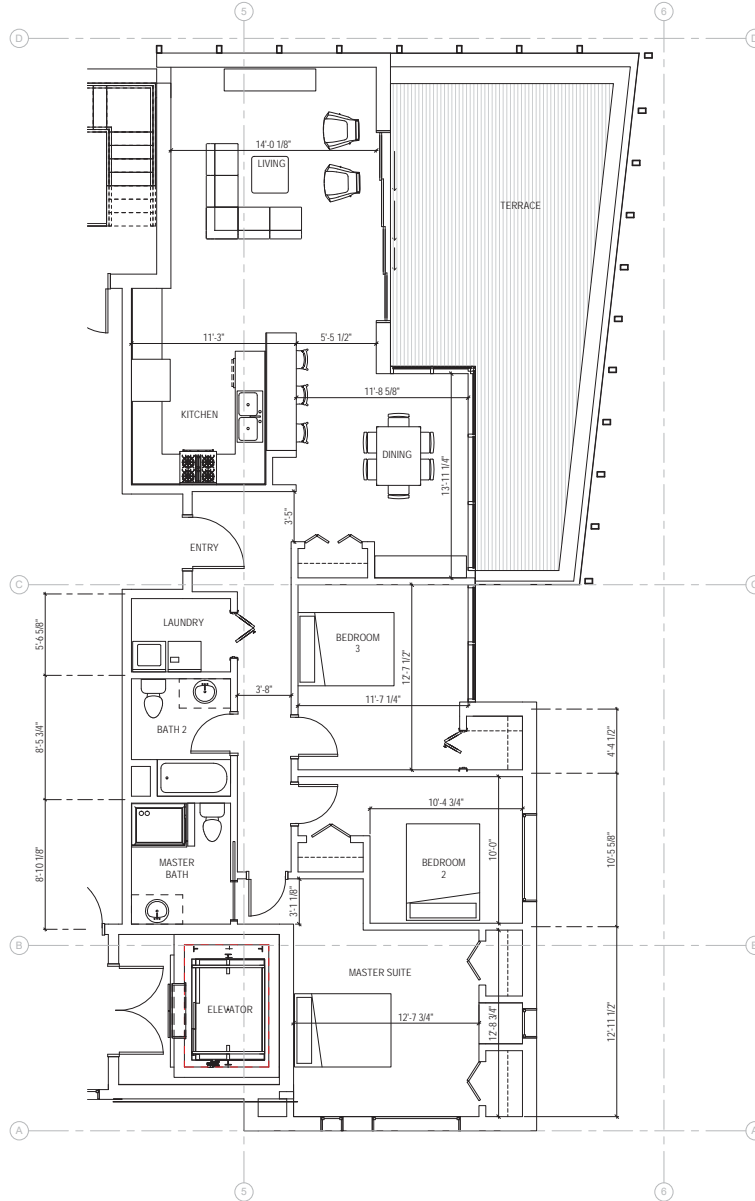
151 POTRERO AVE. STE. 200  
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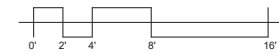
115 EL CAMINO  
MENLO PARK, CA 94025

Description	ENLARGED UNIT 2 PLAN
Date	04/02/2019
Scale	1/4" = 1'-0"
Drawn	MJT
Job	115 EL CAMINO
Sheet	

**A2.3**



1 LEVEL TWO UNIT 3 FLOOR PLAN  
SCALE: 1/4" = 1'-0"



LEVY  
ART + ARCHITECTURE

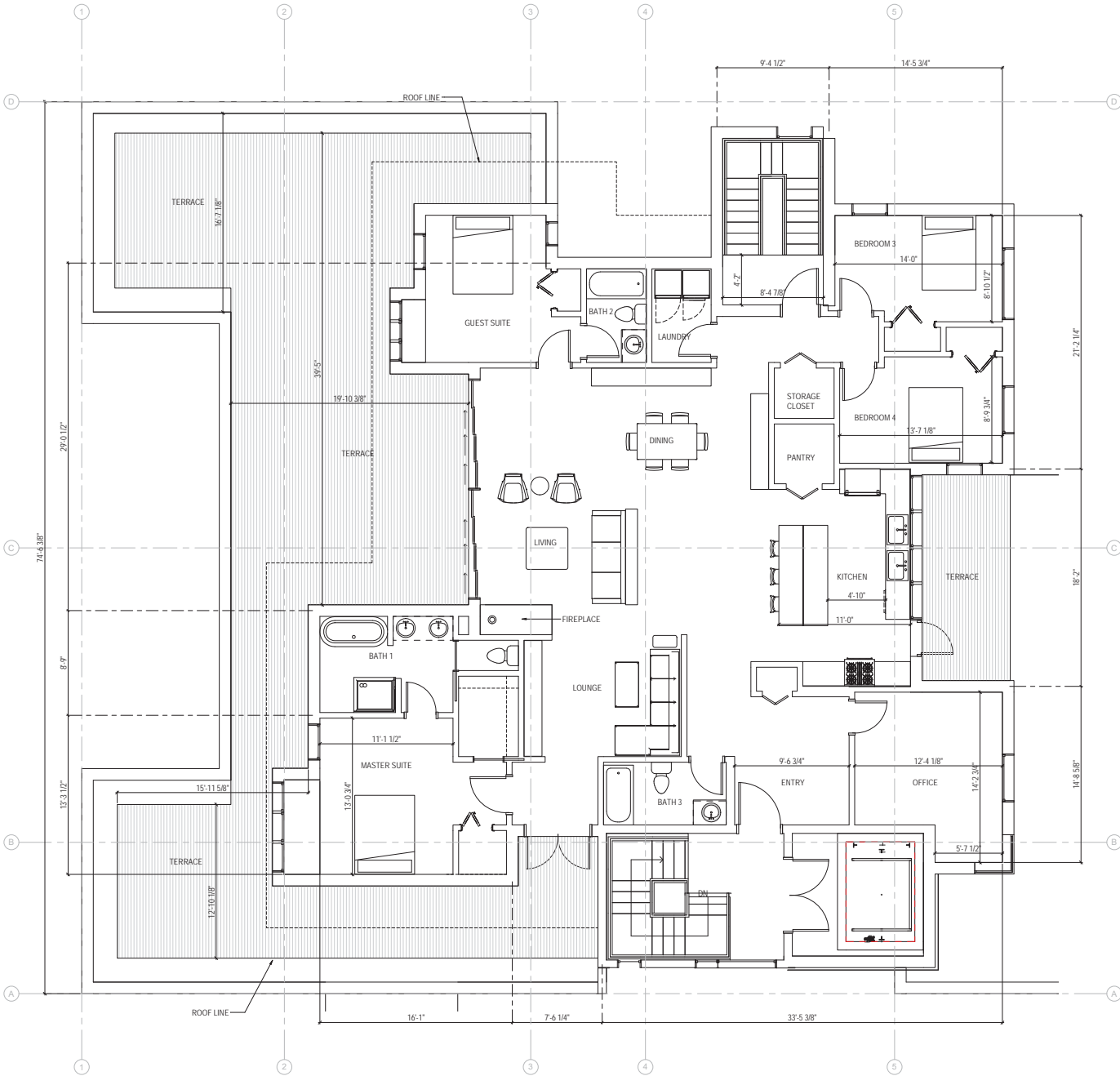
151 POTRERO AVE. STE. 200  
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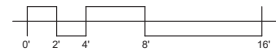
115 EL CAMINO  
MENLO PARK, CA 94025

Description	ENLARGED UNIT 3 PLAN
Date	04/02/2019
Scale	1/4" = 1'-0"
Drawn	MJT
Job	115 EL CAMINO
Sheet	

**A2.4**



**1** LEVEL THREE UNIT 4 FLOOR PLAN  
SCALE: 1/8" = 1'-0"



**LEVY**  
ART + ARCHITECTURE

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115 EL CAMINO  
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Description	ENLARGED UNIT 4 PLAN
Date	04/02/2019
Scale	1/4" = 1'-0"
Drawn	MJT
Job	115 EL CAMINO
Sheet	

**A2.5**

4/20/2019 10:00 AM



1 ELEVATION EAST - FACING EL CAMINO REAL  
SCALE: 1/4" = 1'-0"



LEVY  
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115 EL CAMINO  
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Description	PROPOSED EXTERIOR ELEVATION
Date	04/02/2019
Scale	1/4" = 1'-0"
Drawn	MJT
Job	115 EL CAMINO
Sheet	

**A3.1**





1 ELEVATION SOUTH - FACING HARVARD AVE  
SCALE: 1/4" = 1'-0"



LEVY  
ART + ARCHITECTURE

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115 EL CAMINO  
MENLO PARK, CA 94025

Description	PROPOSED EXTERIOR ELEVATION
Date	04/02/2019
Scale	1/4" = 1'-0"
Drawn	MJT
Job	115 EL CAMINO
Sheet	

**A3.2**



REVISIONS	BY



1 ELEVATION NORTH - INTERIOR SIDE  
SCALE: 1/4" = 1'-0"



**LEVY**  
ART + ARCHITECTURE

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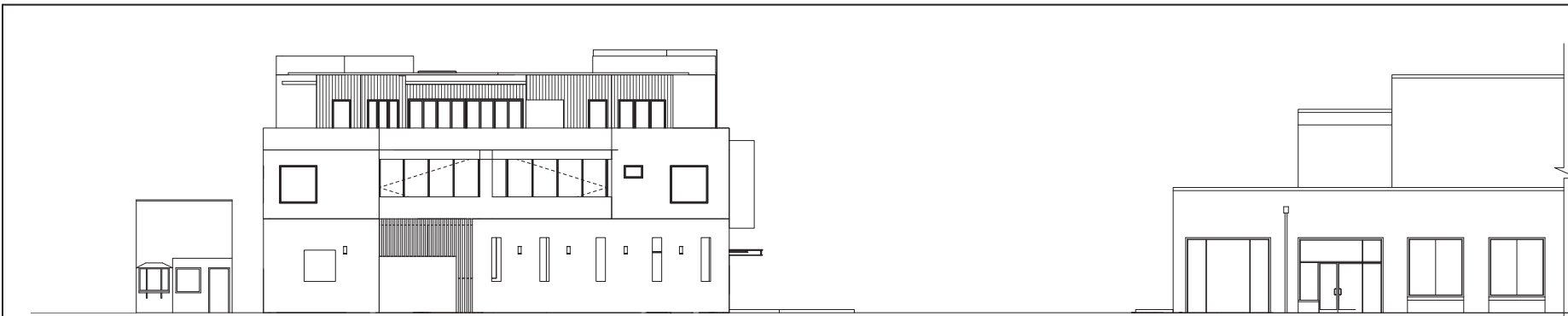


115 EL CAMINO  
MENLO PARK, CA 94025

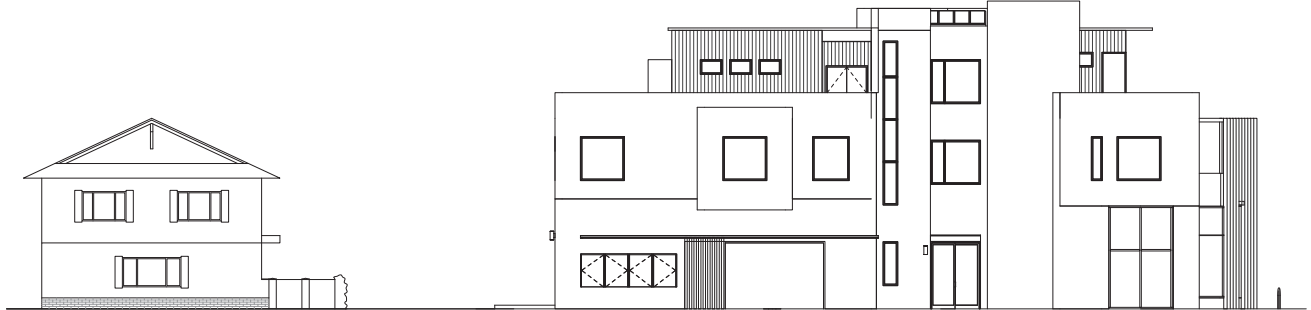
Description	PROPOSED EXTERIOR ELEVATION
Date	04/02/2019
Scale	1/4" = 1'-0"
Drawn	MJT
Job	115 EL CAMINO
Sheet	

**A3.4**

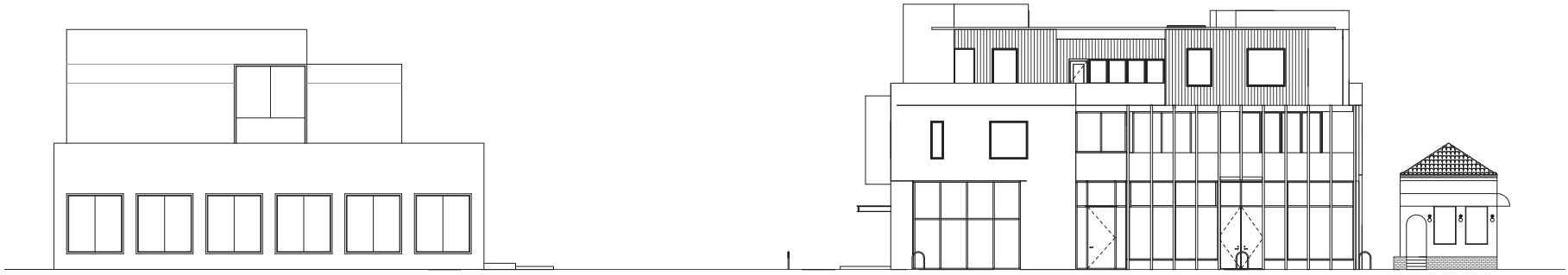
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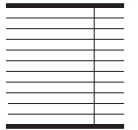
3 STREETScape WEST ALONG ALTO LN.  
SCALE: 1/8" = 1'-0"



2 STREETScape SOUTH ALONG HARVARD AVE.  
SCALE: 1/8" = 1'-0"



1 STREETScape EAST ALONG EL CAMINO REAL  
SCALE: 1/8" = 1'-0"



LEVY  
ART + ARCHITECTURE

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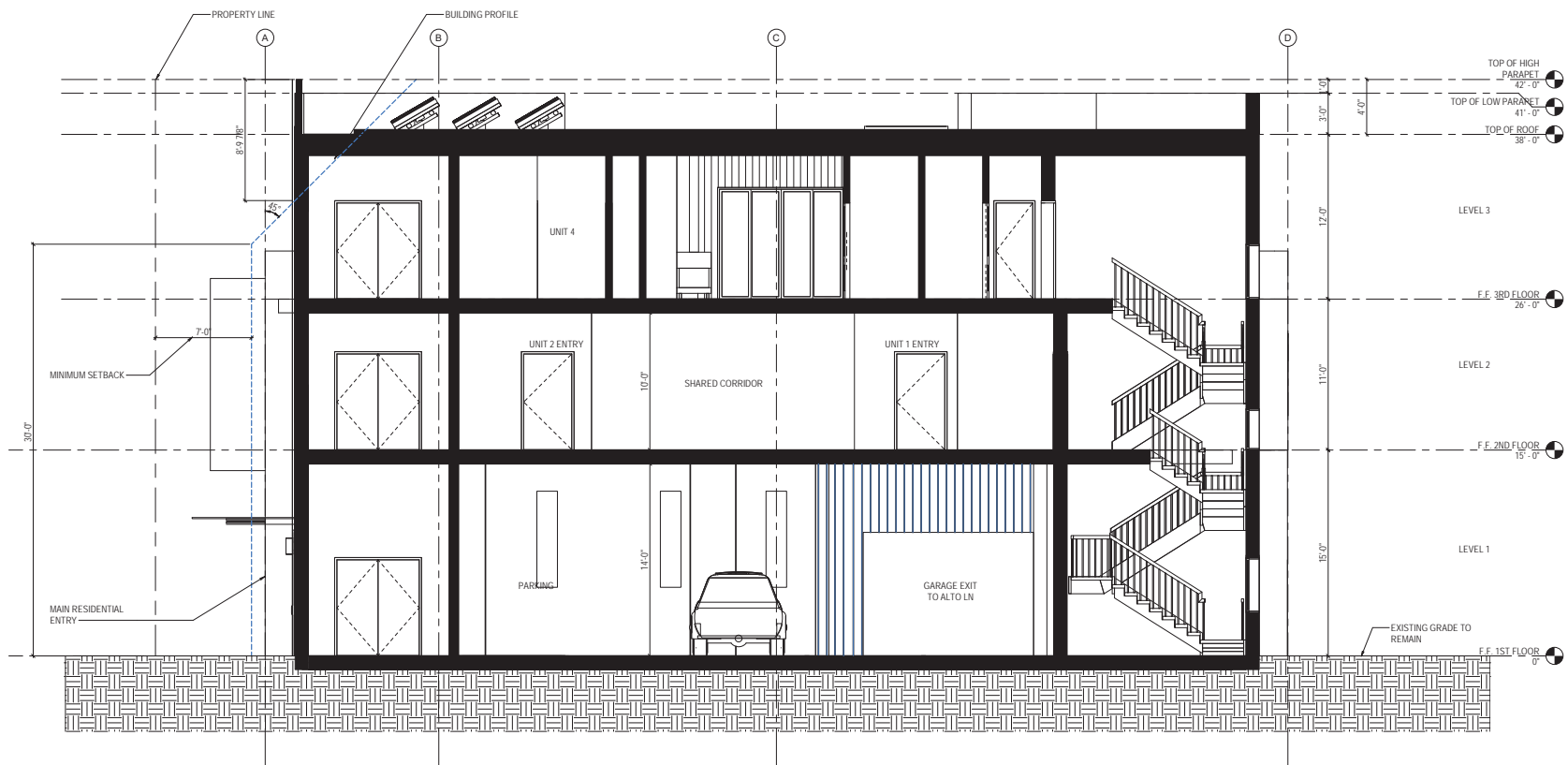


115 EL CAMINO  
MENLO PARK, CA 94025

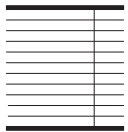
Description	STREETScape
Date	04/02/2019
Scale	1/8" = 1'-0"
Drawn	MJT
Job	115 EL CAMINO
Sheet	

**A4.1**

4/23/2019 10:21 AM



1 CROSS SECTION FACING WEST  
SCALE: 1/4" = 1'-0"



**LEVY**  
ART + ARCHITECTURE

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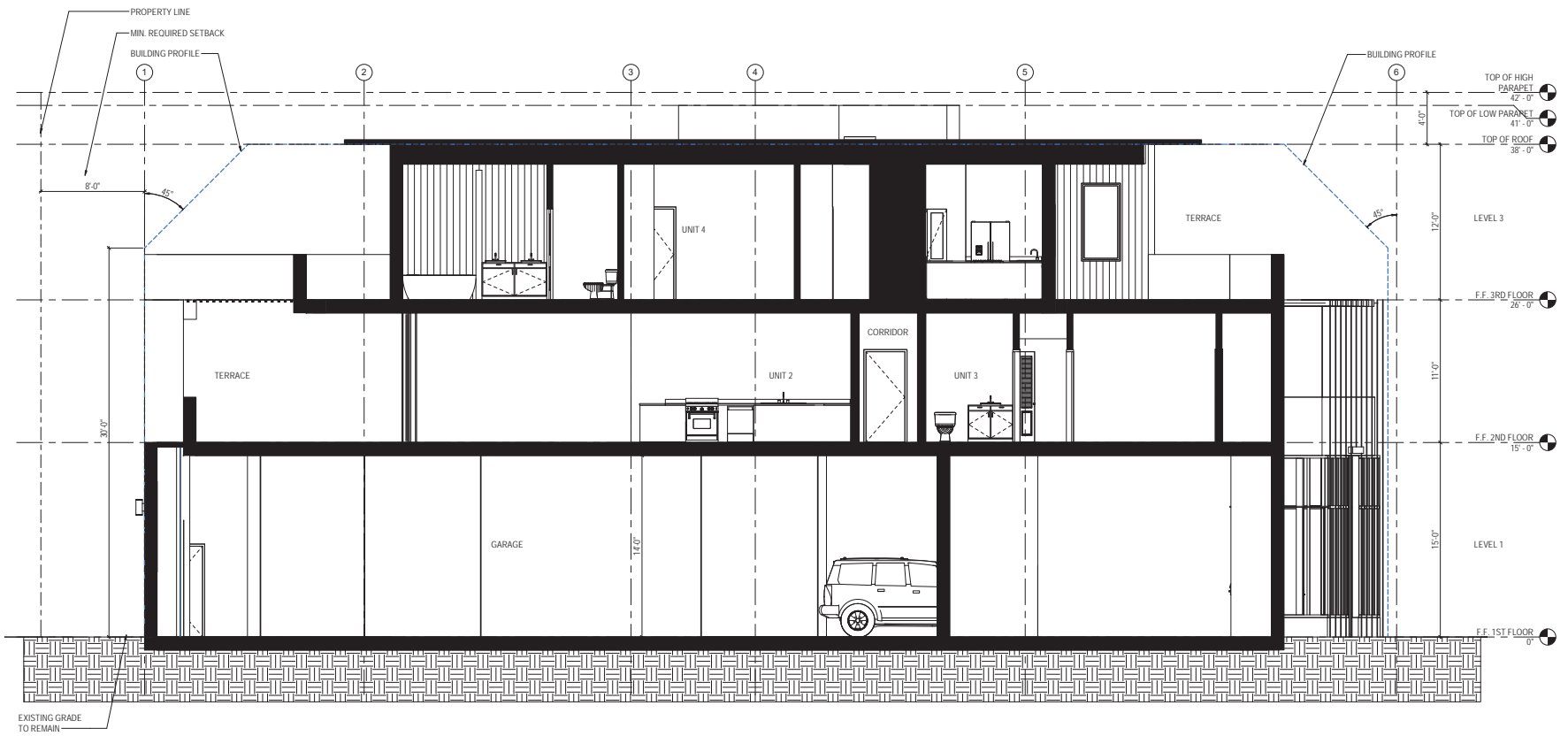


115 EL CAMINO  
MENLO PARK, CA 94025

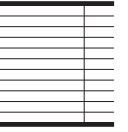
Description	
Date	04/02/2019
Scale	1/4" = 1'-0"
Drawn	MJT
Job	115 EL CAMINO
Sheet	

**A5.1**

02/09/19 10:23 AM



1 LONG SECTION FACING NORTH  
SCALE: 1/4" = 1'-0"



**LEVY**  
ART + ARCHITECTURE

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115 EL CAMINO  
MENLO PARK, CA 94025

Description BUILDING SECTIONS	
Date	04/02/2019
Scale	1/4" = 1'-0"
Drawn	MJT
Job	115 EL CAMINO
Sheet	

**A5.2**

4/20/19 10:23 AM





PERSPECTIVE RENDERING AT HARVARD AVE. AND ALTO LN.



PERSPECTIVE RENDERING ALONG EL CAMINO REAL

REVISIONS	BY



**LEVY**  
ART + ARCHITECTURE

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115 EL CAMINO  
MENLO PARK, CA 94025

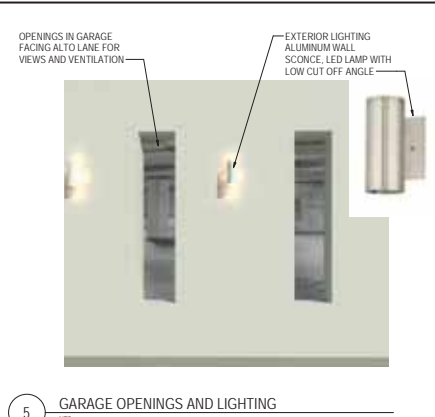
Description	ECR RENDERING
Date	04/02/2019
Scale	
Drawn	MJT
Job	115 EL CAMINO
Sheet	

**A6.1**





8 ECR LAYERED FRAME AND STOREFRONT  
NTS



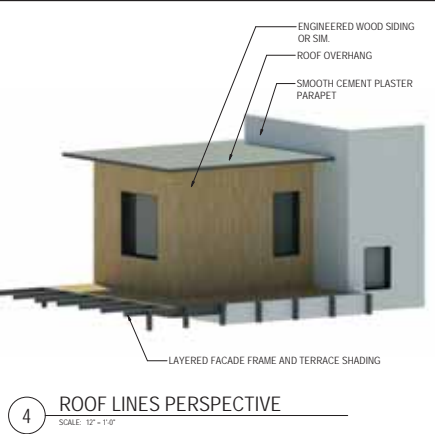
5 GARAGE OPENINGS AND LIGHTING  
NTS



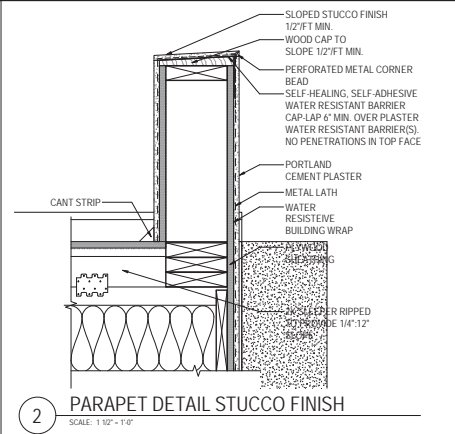
10 COMMERCIAL SPACE 2 PERSPECTIVE  
NTS



7 GARAGE ENTRY PALETTE  
NTS



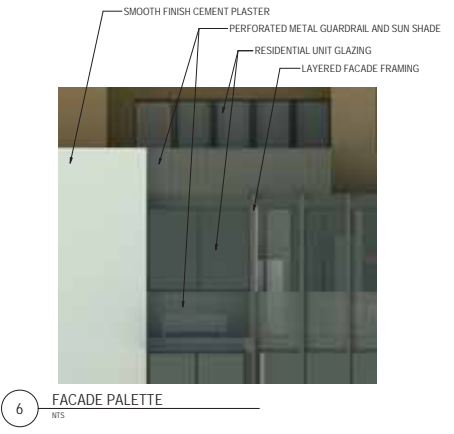
4 ROOF LINES PERSPECTIVE  
SCALE: 1/2" = 1'-0"



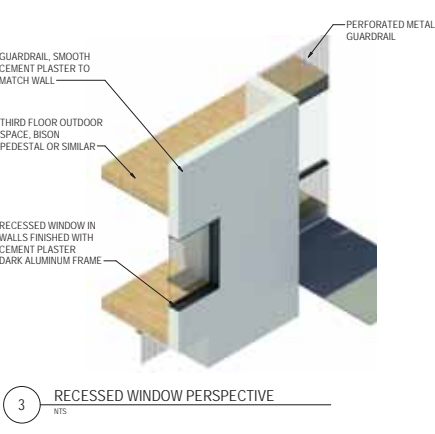
2 PARAPET DETAIL STUCCO FINISH  
SCALE: 1/16" = 1'-0"



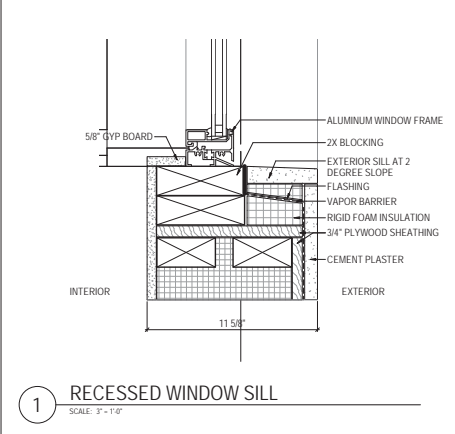
9 HARVARD RESIDENTIAL ENTRY  
1/2" = 1'-0"



6 FACADE PALETTE  
NTS



3 RECESSED WINDOW PERSPECTIVE  
NTS



1 RECESSED WINDOW SILL  
SCALE: 3/4" = 1'-0"

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115 EL CAMINO  
MENLO PARK, CA 94025

Description ARCHITECTURAL DETAILS	
Date	04/02/2019
Scale	As indicated
Drawn	MJT
Job	115 EL CAMINO
Sheet	

D.1

REVISIONS	BY



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115 EL CAMINO  
MENLO PARK, CA 94025

Description	MATERIALS
Date	04/02/2019
Scale	
Drawn	MJT
Job	115 EL CAMINO
Sheet	

**D.2**

- 1 SMOOTH FINISH CEMENT PLASTER  
EL DORADO COLOR
- 2 PERVIOUS PAVERS, COLOR SIMILAR
- 3 DARK ALUMINUM OR SIMILAR
- 4 BRONZE ANODIZED ALUMINUM STOREFRONT
- 5 WOOD OR ENGINEERED WOOD, NATURAL FINISH
- 6 ALUMINUM WINDOW
- 7 TRANSPARENT GLAZING
- 8 PERFORATED METAL SCREEN/SUN SHADING
- 9 LAYERED PLANTING



02/09/19 10:28 AM

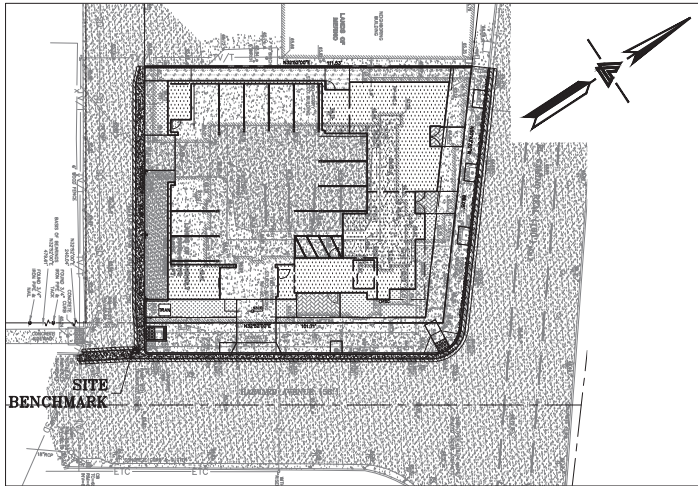
# 115 EL CAMINO REAL MENLO PARK, CALIFORNIA

## LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	BOUNDARY
---	---	PROPERTY LINE
---	---	RETAINING WALL
---	---	LANDSCAPE RETAINING WALL
---	---	RAINWATER TIGHTLINE
---	---	SUBRAIN LINE
---	---	TIGHTLINE
---	---	STORM DRAIN LINE
---	---	SANITARY SEWER LINE
---	---	WATER LINE
---	---	GAS LINE
---	---	PRESSURE LINE
---	---	JOINT TRENCH
---	---	SET BACK LINE
---	---	CONCRETE VALLEY GUTTER
---	---	EARTHEN SWALE
---	---	CATCH BASIN
---	---	JUNCTION BOX
---	---	AREA DRAIN
---	---	CURB INLET
---	---	STORM DRAIN MANHOLE
---	---	FIRE HYDRANT
---	---	SANITARY SEWER MANHOLE
---	---	STREET SIGN
---	---	SPOT ELEVATION
---	---	FLOW DIRECTION
---	---	DEMOLISH/REMOVE
---	---	BENCHMARK
---	---	CONTOURS
---	---	TREE TO BE REMOVED

### ABBREVIATIONS

AB	AGGREGATE BASE	LF	LINEAR FEET
AC	ASPHALT CONCRETE	LX	MAXIMUM
ACC	ACCESSIBLE	MH	MANHOLE
AD	AREA DRAIN	MIN	MINIMUM
BC	BEGINNING OF CURVE	MN	MONUMENT
B & D	BEARING & DISTANCE	MRO	METERED RELEASE OUTLET
BM	BENCHMARK	(N)	NEW
BS	BUBBLER BOX	NO	NUMBER
BW/BFG	BOTTOM OF WALL/FINISH GRADE	NTS	NOT TO SCALE
CB	CATCH BASIN	O.C.	OVER
C & G	CURB AND GUTTER	(PA)	PLANTING AREA
CPP	CENTER LINE	PE	PEDESTRIAN
CO	CORRUGATED PLASTIC PIPE (SMOOTH INTERIOR)	PI	POST INDICATOR VALVE
COTG	CLEANOUT TO GRADE	PSS	PUBLIC SERVICES EASEMENT
CONC	CONCRETE	PP	PROPERTY LINE
CONST	CONSTRUCT OF - TION	PP	POWER POLE
CONC COR	CONCRETE CORNER	PUE	PUBLIC UTILITY EASEMENT
CY	CUBIC YARD	PVC	POLYVINYL CHLORIDE
D	DIAMETER	R	RADIUS
DIP	DROP INLET	RCF	REINFORCED CONCRETE PIPE
EA	EACH	RM	RAINWATER
EA	END OF CURVE	R/W	RIGHT OF WAY
EG	EXISTING GRADE ELEVATIONS	S	SLOPE
EL	EDGE OF PAVEMENT	S.A.D.	SEE ARCHITECTURAL DRAWINGS
EP	EQUIPMENT	SAN	SANITARY
EW	EACH WAY	SD	STORM DRAIN
(E)	EXISTING	SDMH	STORM DRAIN MANHOLE
FC	FACE OF CURB	SHT	SHEET
FF	FINISHED FLOOR	S.L.D.	SEE LANDSCAPE DRAWINGS
FG	FINISHED GRADE	SPEC	SPECIFICATION
FL	FIRE HYDRANT	SS	SANITARY SEWER
FS	FINISHED SURFACE	SSCO	SANITARY SEWER CLEANOUT
GA	GAGE OR GAUGE	ST	STREET
GB	GRADE BREAK	STA	STATION
GDPE	HIGH DENSITY CORRUGATED POLYETHYLENE PIPE	STRUC	STRUCTURAL
H	HORIZONTAL	T	TOP OF CURB
H & T	HUB & TACK	TC	TOP OF WALL
ID	INSIDE DIAMETER	TEMP	TEMPORARY
INV	INVERT ELEVATION	TP	TOP OF PAVEMENT
JB	JUNCTION BOX	TP F/G	TOP OF FINISHED GRADE
JT	JOINT TRENCH	VC	VERTICAL CURVE
JP	JOINT UTILITY POLE	VCP	VERTIFIED CLAY PIPE
L	LENGTH	VERT	VERTICAL
LDNG	LANDING	W	WITH
		WL	WATER LINE
		WM	WATER METER
		WVF	WELDED WIRE FABRIC



**KEY MAP**  
1" = 20'

**BENCHMARK**  
CITY OF MENLO PARK BENCHMARK "UU101" 0.1 MILE SOUTHWEST OF THE SOUTHERN PACIFIC COMPANY RAILROAD STATION, AT THE INTERSECTION OF SANTA CRUZ AVENUE AND EL CAMINO REAL (U.S. HIGHWAY 101), AT THE ELLIOTT BUILDING, IN THE TOP PROJECTION OF THE GRANITE BLOCK FOUNDATION, BETWEEN TWO GRANITE BLOCK COLUMNS, 15.9 FEET SOUTHEAST OF THE SOUTHEAST CURB OF THE AVENUE, 12.5 FEET NORTHEAST OF THE NORTHEAST CURB OF THE HIGHWAY, 0.3 FOOT SOUTHWEST OF THE BRICK WALL, AND 2.0 FEET ABOVE THE SIDEWALK.  
ELEVATION = 73.9' (NAVD 88)

**BASIS OF BEARINGS**  
THE BEARING N32°52'00"E ALONG THE RIGHT OF WAY OF HARVARD AVENUE AS SHOWN ON THE MAP ENTITLED "PARCEL MAP FOR CONDOMINIUM PURPOSES 724-726 HARVARD AVENUE" FILED IN VOLUME 76 OF MAPS, AT PAGES 58-59, SAN MATEO COUNTY RECORDS IS THE BASIS OF ALL BEARINGS SHOWN UPON THIS MAP.

**SITE BENCHMARK**  
SURVEY CONTROL POINT  
MAG AND SHINER SET IN ASPHALT  
ELEVATION = 64.69'  
(NAVD 88 DATUM)

**NOTES**  
ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.  
UNDERGROUND UTILITY LOCATION IS BASED ON SURFACE EVIDENCE.  
BUILDING FOOTPRINTS ARE SHOWN TO FINISHED MATERIAL (STUCCO/SDNG) AT GROUND LEVEL.  
FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLD (EXTERIOR).

**EASEMENT NOTE**  
THERE ARE NO EASEMENTS OF RECORD PER CONDITION OF TITLE GUARANTEE ISSUED BY FIDELITY NATIONAL TITLE COMPANY, GUARANTEE NO. FSNM-851000485, DATED MAY 11, 2018.

**INSPECTION NOTE:**  
THE CONTRACTOR SHALL INFORM THE OWNER (IN WRITING) OF RECOMMENDED PERIODIC INSPECTION AND MAINTENANCE OF THE ON-SITE STORM DRAINAGE SYSTEM. THE REGULAR CLEARING OF SILT AND DEBRIS IS ESPECIALLY IMPORTANT PRIOR TO EACH RAINY SEASON.

**PUBLIC WORKS NOTE:**  
THE STORM RUNOFF GENERATED BY THE NEW DEVELOPMENT SHALL NOT DRAIN ONTO ADJACENT PROPERTIES. THE EXISTING STORM DRAINAGE FROM THE ADJACENT PROPERTIES SHALL NOT BE BLOCKED BY THE NEW DEVELOPMENT.  
THE APPLICANT/CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE CITY'S ENGINEERING DIVISION PRIOR TO START OF ANY WORK WITHIN THE CITY'S RIGHT-OF-WAY OR PUBLIC EASEMENT AREAS. THE APPLICANT SHALL OBTAIN PERMITS FROM UTILITY COMPANIES PRIOR TO APPLYING FOR CITY ENCROACHMENT PERMIT.

**FEMA NOTE:**  
SUBJECT IS LOCATED WITHIN FEMA FLOOD ZONE "UNSHADED X", ZONE "UNSHADED X" DESIGNATED AS: AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN. BASE FLOOD ELEVATION FOR SUBJECT SITE IS NO FLOOD ZONE AS SHOWN ON FLOOD INSURANCE RATE MAP NO. 060810308C, OCTOBER 16, 2012.

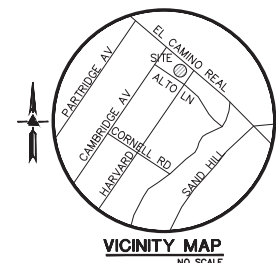
**ESTIMATED EARTHWORK QUANTITIES**

CUT	40 C.Y.
FILL	80 C.Y.
IMPORT	40 C.Y.

**NOTE:** GRADING QUANTITIES REPRESENT BANK YARDAGE. IT DOES NOT INCLUDE ANY SWELLING OR SHRINKAGE FACTORS AND IS INTENDED TO REPRESENT IN-SITU CONDITIONS. QUANTITIES DO NOT INCLUDE OVER-EXCAVATION, TRENCHING, STRUCTURAL FOUNDATIONS OR PIERS, OR POOL EXCAVATION (IF ANY). NOTE ADDITIONAL EARTHWORKS, SUCH AS KEYWAYS OR BENCHING MAY BE REQUIRED BY THE GEOTECHNICAL ENGINEER IN THE FIELD AT THE OF CONSTRUCTION. CONTRACTOR TO VERIFY QUANTITIES

EXISTING FRONTAGE IMPROVEMENTS (A.C., PARKING STRIPE, DRIVEWAY, AND VALLEY GUTTER) THAT ARE CRACKED, DAMAGED, ELEVATED, OR DERESSED OR THAT CAUSE SURFACE WATER PONDING SHALL BE REMOVED AND REPLACED BY THE APPLICANT PER CITY STANDARDS.

INSTALL STABILIZED CONSTRUCTION ENTRANCE (AS APPLICABLE) PER CITY STANDARD DETAIL CG-16.



**OWNER'S INFORMATION**  
OWNER: JAYA & RANJEET PANCHOLY  
6289 QUAL TUNE COURT  
SAN DIEGO, CA 92130  
APN: 071-433-330

**REFERENCES**  
THIS GRADING AND DRAINAGE PLAN IS SUPPLEMENTAL TO:  
1. TOPOGRAPHIC SURVEY BY LEA & BRAZE ENGINEERING, INC. ENTITLED: "TOPOGRAPHIC SURVEY" 115 EL CAMINO REAL MENLO PARK, CA DATED: 9-10-18 JOB# 2180662  
2. SITE PLAN BY LEVY ART + ARCHITECTURE ENTITLED: "SITE PLAN" 115 EL CAMINO REAL MENLO PARK, CA

THE CONTRACTOR SHALL REFER TO THE ABOVE NOTED SURVEY AND PLAN, AND SHALL VERIFY BOTH EXISTING AND PROPOSED ITEMS ACCORDING TO THEM.

### DEVELOPMENT AREA SUMMARY

PRE-DEVELOPMENT	(SQFT)
BUILDINGS	5,284
DRIVEWAY & PARKING	2,190
PATIOS, WALKWAYS & PADS	1,308
TOTAL	8,782
POST-DEVELOPMENT	(SQFT)
BUILDINGS	6,589
DRIVEWAY & PARKING	598
PATIOS, WALKWAYS & PADS	749
PERVIOUS CONCRETE PAVEMENT PATIOS, WALKWAYS & PADS	258
PERVIOUS PATIOS, WALKWAYS & PADS	557
TOTAL	8,751
DIFFERENCE (NET DECREASE)	-31

**NOTE:**  
FOR CONSTRUCTION STAKING SCHEDULING OR QUOTATIONS PLEASE CONTACT ALEX ABAYA AT LEA & BRAZE ENGINEERING (510)887-4088 EXT 116. [aabaya@leabraze.com](mailto:aabaya@leabraze.com)

**BUILDING PAD NOTE:**  
ADJUST PAD LEVEL, AS REQUIRED. REFER TO STRUCTURAL PLANS FOR SLAB SECTION OR CRAWL SPACE DEPTH TO ESTABLISH PAD LEVEL.

### SHEET INDEX

C-1.0	TITLE SHEET
C-1.1	TENTATIVE MAP & 1ST FLOOR LAYOUT PLAN
C-1.2	2ND FLOOR LAYOUT PLAN
C-1.3	3RD FLOOR LAYOUT PLAN
C-1.4	ROOF LAYOUT PLAN
C-2.0	PRELIMINARY GRADING & DRAINAGE PLAN
C-2.1	SITE SECTIONS
C-3.0	PRELIMINARY UTILITY PLAN
C-4.0	IMPERVIOUS AREA EXHIBIT
C-5.0	DETAILS
C-5.1	DETAILS
C-6.0	GRADING SPECIFICATIONS
C-6.1	GRADING SPECIFICATIONS
SU-1	TOPOGRAPHIC SURVEY

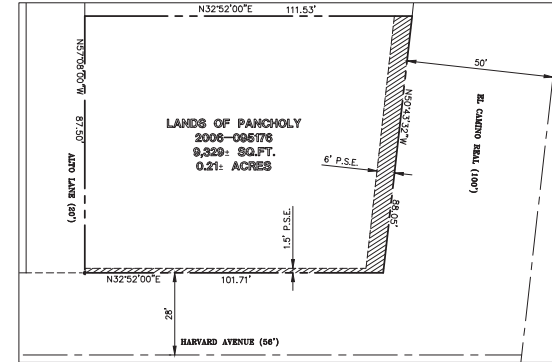
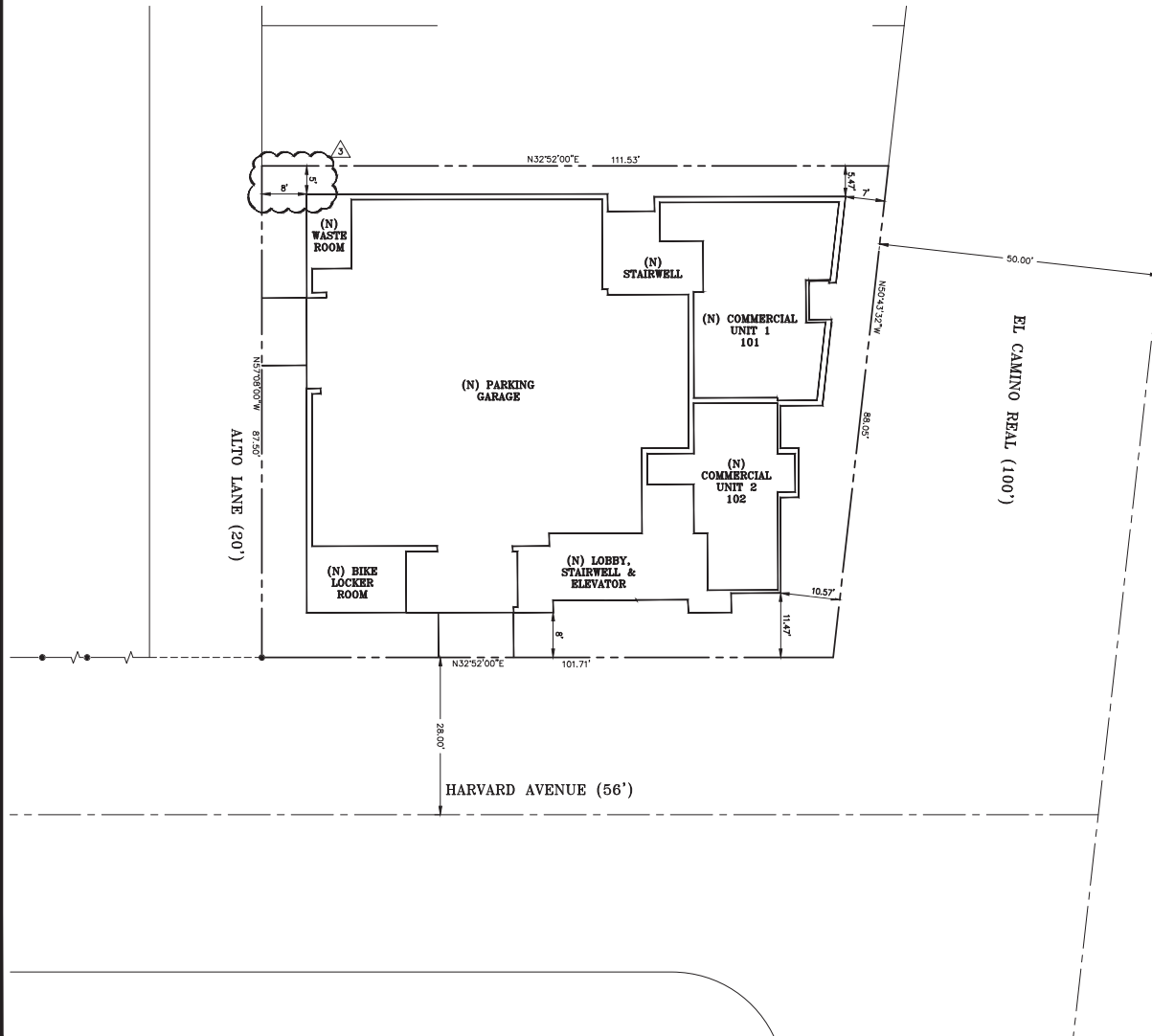


06/14/2019  
**LEA & BRAZE ENGINEERING, INC.**  
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9300 SANDHILL BLVD. SUITE 300  
SAN FRANCISCO, CA 94130  
HAYWARD, CALIFORNIA 94545  
(415) 887-7383  
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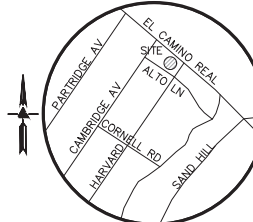
TENTATIVE MAP  
FOR CONDOMINIUM PURPOSES  
TITLE SHEET  
115 EL CAMINO REAL  
MENLO PARK, CA 94025  
SAN MATEO COUNTY  
APN: 071-433-330

PLAN CHECK	PC
12-04-18	PC
2-20-19	-
REVISIONS	BY
JOB NO:	2180306
DATE:	10-10-18
SCALE:	AS NOTED
DESIGN BY:	RB/PC
DRAWN BY:	RP/WA
SHEET NO:	C-1.0
OF 14 SHEETS	

# TENTATIVE MAP FOR CONDOMINIUM PURPOSES 115 EL CAMINO REAL MENLO PARK, CALIFORNIA



**TENTATIVE MAP**  
1" = 20'



**VICINITY MAP**  
NO SCALE

**GENERAL NOTES**

CONTRACTOR SHALL OBTAIN THE PROPER PERMITS PRIOR TO ANY GRADING.

CONTRACTOR SHALL PROVIDE AND MAINTAIN APPROVED EROSION AND SEDIMENTATION CONTROL MEASURES DURING RAINY SEASON PER CITY AND A.S.A.G. STANDARDS.

REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION, INCLUDING BUT NOT LIMITED TO: ADDITIONAL UTILITY SERVICES, DIMENSION CONTROL, DEMOLITION, DETAILS, TREE PROTECTION MEASURES, AND LANDSCAPING.

**PROJECT DESCRIPTION**

PROPOSED TENTATIVE TRACT MAP SUBDIVISION MAP FOR ONE EXISTING PARCEL WITH 4 PROPOSED CONDOMINIUM UNITS, AND 2 COMMERCIAL UNITS. THE COMMERCIAL UNITS WILL BE SUBDIVIDED AS TENANT SPACES.

NEW AND EXISTING USE DESIGNATION:  
REFER TO ARCHITECTURAL PLANS  
FOR DETAILS OF INTERIOR UNITS AND ROOMS.

**PROJECT DATA**

**OWNER/SUBDIVIDER:** JAYA & RANJEET PANCHOLY  
8289 QUAIL RUN COURT  
SAN DIEGO, CA 92130

**ENGINEER/SURVEYOR:** LEA & BRAZE ENGINEERING INC.  
2495 INDUSTRIAL PARKWAY WEST  
HAYWARD, CA 94545  
(510) 887-4088  
CONTACT: PETE CARLINO

**ARCHITECT:** LEVY ART + ARCHITECTURE  
151 POTRERO AVE. STE 200  
SAN FRANCISCO, CA 94103  
TEL. (415) 641-7320  
CONTACT: MELISSA TODD

**LOT AREA:** 9,329 S.F.

**ASSESSOR'S PARCEL NO.** 071-433-330

**EXISTING AND PROPOSED ZONING:** P(19)

**EXISTING USE:** 2 MULTI STORY RESIDENTIAL BUILDINGS

**PROPOSED USE:** MIX USE, COMMERCIAL/RESIDENTIAL

**NUMBER OF STORES=** 3

**NUMBER OF UNITS=** (2 COMMERCIAL + 4 RESIDENTIAL) 6 TOTAL

**FEMA NOTE:**

SUBJECT IS LOCATED WITHIN FEMA FLOOD ZONE "UNSHADED X". ZONE "UNSHADED X" IS DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN. BASE FLOOD ELEVATION FOR SUBJECT SITE IS NO FLOOD ZONE AS SHOWN ON FLOOD INSURANCE RATE MAP NO. 0608100308E, OCTOBER 16, 2012.

**UTILITIES**

**WATER SERVICE:** CALIFORNIA WATER SERVICE COMPANY

**SEWER:** WEST BAY SANITARY DISTRICT

**STORM DRAINAGE:** CITY OF MENLO PARK

**GAS AND ELECTRIC:** PACIFIC GAS & ELECTRIC COMPANY

**CABLE:** COMCAST

**PHONE:** AT&T

**SITE BENCHMARK**

SURVEY CONTROL POINT  
MAG AND SHINER SET IN ASPHALT  
ELEVATION = 64.88'  
(NAVD 88 DATUM)

**NOTES**

ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.

UNDERGROUND UTILITY LOCATION IS BASED ON SURFACE EVIDENCE.

BUILDING FOOTPRINTS ARE SHOWN TO FINISHED MATERIAL (STUCCO/SIDING) AT GROUND LEVEL.

FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLD (EXTERIOR).

**BENCHMARK**

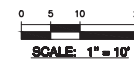
CITY OF MENLO PARK BENCHMARK "UJ110"  
0.1 MILE SOUTHWEST OF THE SOUTHERN PACIFIC COMPANY RAILROAD STATION, AT THE INTERSECTION OF SANTA CRUZ AVENUE AND EL CAMINO REAL (U.S. HIGHWAY 101), AT THE ELLIOT BUILDING, IN THE TOP PROJECTION OF THE GRANITE BLOCK FOUNDATION, BETWEEN TWO GRANITE BLOCK COLUMNS, 15.9 FEET SOUTHEAST OF THE SOUTHEAST CURB OF THE AVENUE, 12.5 FEET NORTHEAST OF THE NORTHEAST CURB OF THE HIGHWAY, 0.3 FOOT SOUTHWEST OF THE BRICK WALL, AND 2.0 FEET ABOVE THE SIDEWALK.  
ELEVATION = 73.8' (NAVD 88)

**BASIS OF BEARINGS**

THE BEARING N32°52'00"E ALONG THE RIGHT OF WAY OF HARVARD AVENUE AS SHOWN ON THE MAP ENTITLED "PARCEL MAP FOR CONDOMINIUM PURPOSES 724-726 HARVARD AVENUE", FILED IN VOLUME 76 OF MAPS, AT PAGES 88-89, SAN MATEO COUNTY RECORDS IS THE BASIS OF ALL BEARINGS SHOWN UPON THIS MAP.

**EASEMENT NOTE**

THERE ARE NO EASEMENTS OF RECORD PER CONDITION OF TITLE GUARANTEE ISSUED BY FIDELITY NATIONAL TITLE COMPANY GUARANTEE NO. F5M0-6551800485, DATED MAY 11, 2018



**LEA & BRAZE ENGINEERING, INC.**  
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(510) 887-7383  
WWW.LEABRAZE.COM

APR. 071-433-330

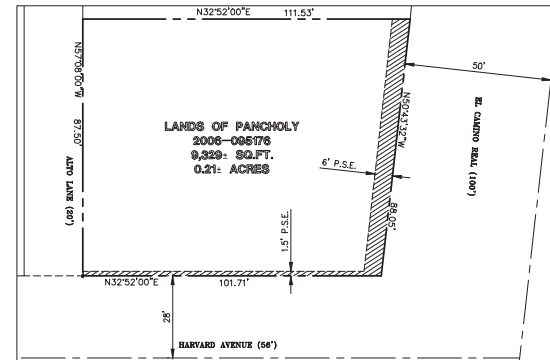
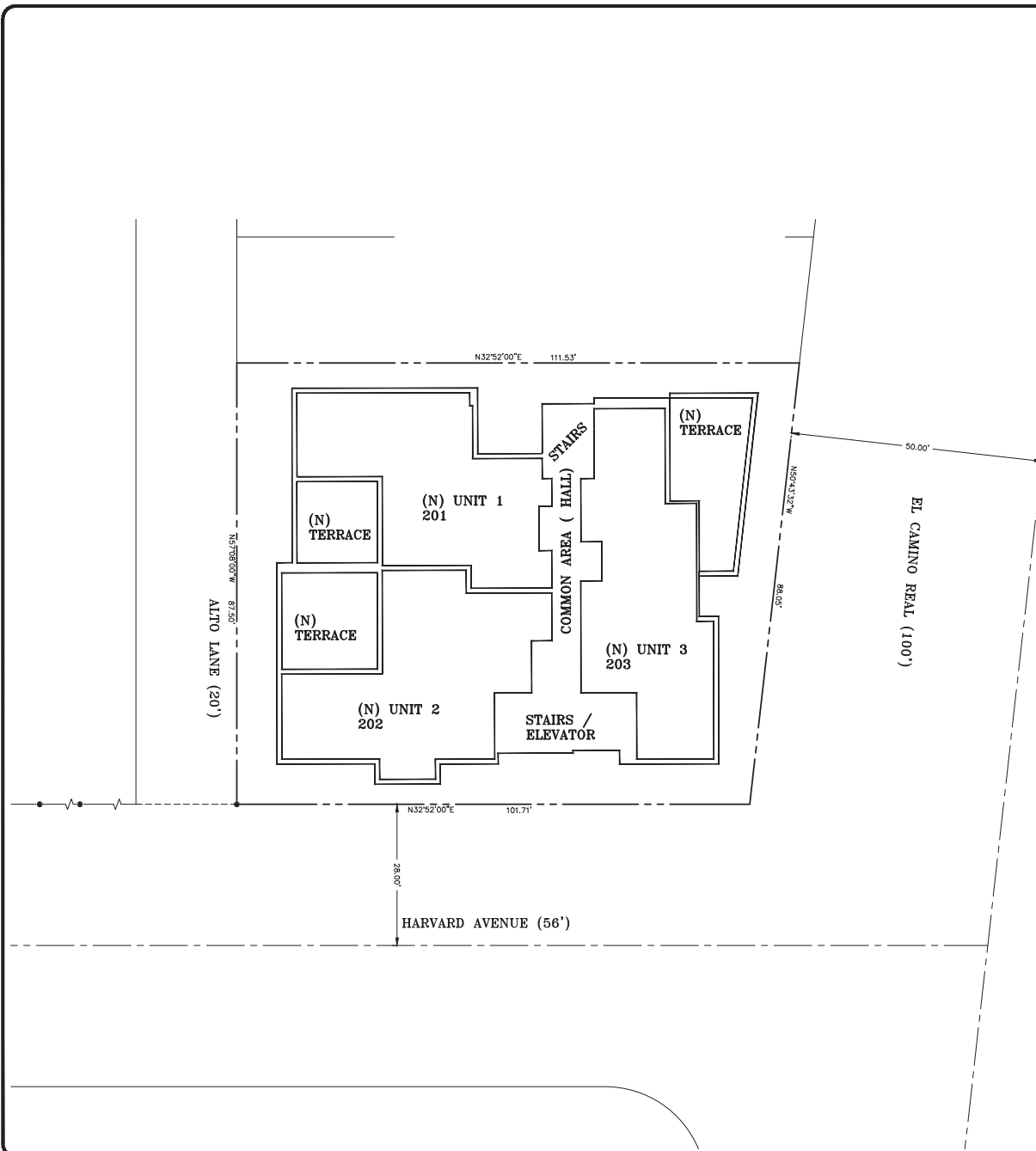
**TENTATIVE MAP FOR CONDOMINIUM PURPOSES  
TENTATIVE MAP & 1ST FLOOR LAYOUT PLAN**

PLAN CHECK	PC
12-04-18	PC
2-20-19	PC

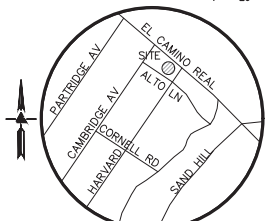
REVISIONS	BY

JOB NO:	2180306
DATE:	10-10-18
SCALE:	AS NOTED
DESIGN BY:	RB/PC
DRAWN BY:	RP/WA
SHEET NO:	





**TENTATIVE MAP**  
1" = 20'



**VICINITY MAP**  
NO SCALE

**PROJECT DATA**

**OWNER/SUBDIVIDER:** JAYA & RANJEET PANCHOLY  
8289 QUAIL RUN COURT  
SAN DIEGO, CA 92130

**ENGINEER/SURVEYOR:** LEA & BRAZE ENGINEERING, INC.  
2495 INDUSTRIAL PARKWAY WEST  
HAYWARD, CA 94545  
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CONTACT: PETE CARLINO

**ARCHITECT:** LEVY ART + ARCHITECTURE  
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SAN FRANCISCO, CA 94103  
TEL. (415) 641-7300  
CONTACT: MELISSA TODD

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**NEW AND EXISTING USE DESIGNATION:**  
REFER TO ARCHITECTURAL PLANS FOR DETAILS OF INTERIOR UNITS AND ROOMS.

**UTILITIES**

**WATER SERVICE:** CALIFORNIA WATER SERVICE COMPANY

**SEWER:** WEST BAY SANITARY DISTRICT

**STORM DRAINAGE:** CITY OF MENLO PARK

**GAS AND ELECTRIC:** PACIFIC GAS & ELECTRIC COMPANY

**CABLE:** COMCAST

**PHONE:** AT&T

**SITE BENCHMARK**

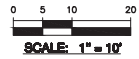
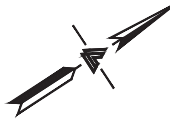
SURVEY CONTROL POINT  
MAG AND SHINER SET IN ASPHALT  
ELEVATION = 64.85'  
(NAVD 88 DATUM)

**BENCHMARK**

CITY OF MENLO PARK BENCHMARK "UJ110"  
0.1 MILE SOUTHWEST OF THE SOUTHERN PACIFIC COMPANY RAILROAD STATION, AT THE INTERSECTION OF SANTA CRUZ AVENUE AND EL CAMINO REAL (U.S. HIGHWAY 101), AT THE ELLIOT BUILDING IN THE TOP PROJECTION OF THE GRANITE BLOCK FOUNDATION, BETWEEN TWO GRANITE BLOCK COLUMNS, 15.9 FEET SOUTHEAST OF THE SOUTHEAST CURB OF THE AVENUE, 12.5 FEET NORTHEAST OF THE NORTHEAST CURB OF THE HIGHWAY, 0.3 FOOT SOUTHWEST OF THE BRICK WALL, AND 2.0 FEET ABOVE THE SIDEWALK.  
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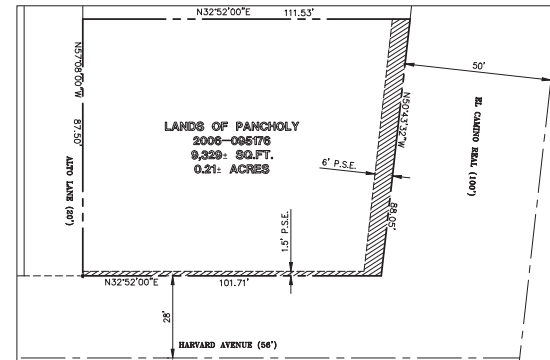
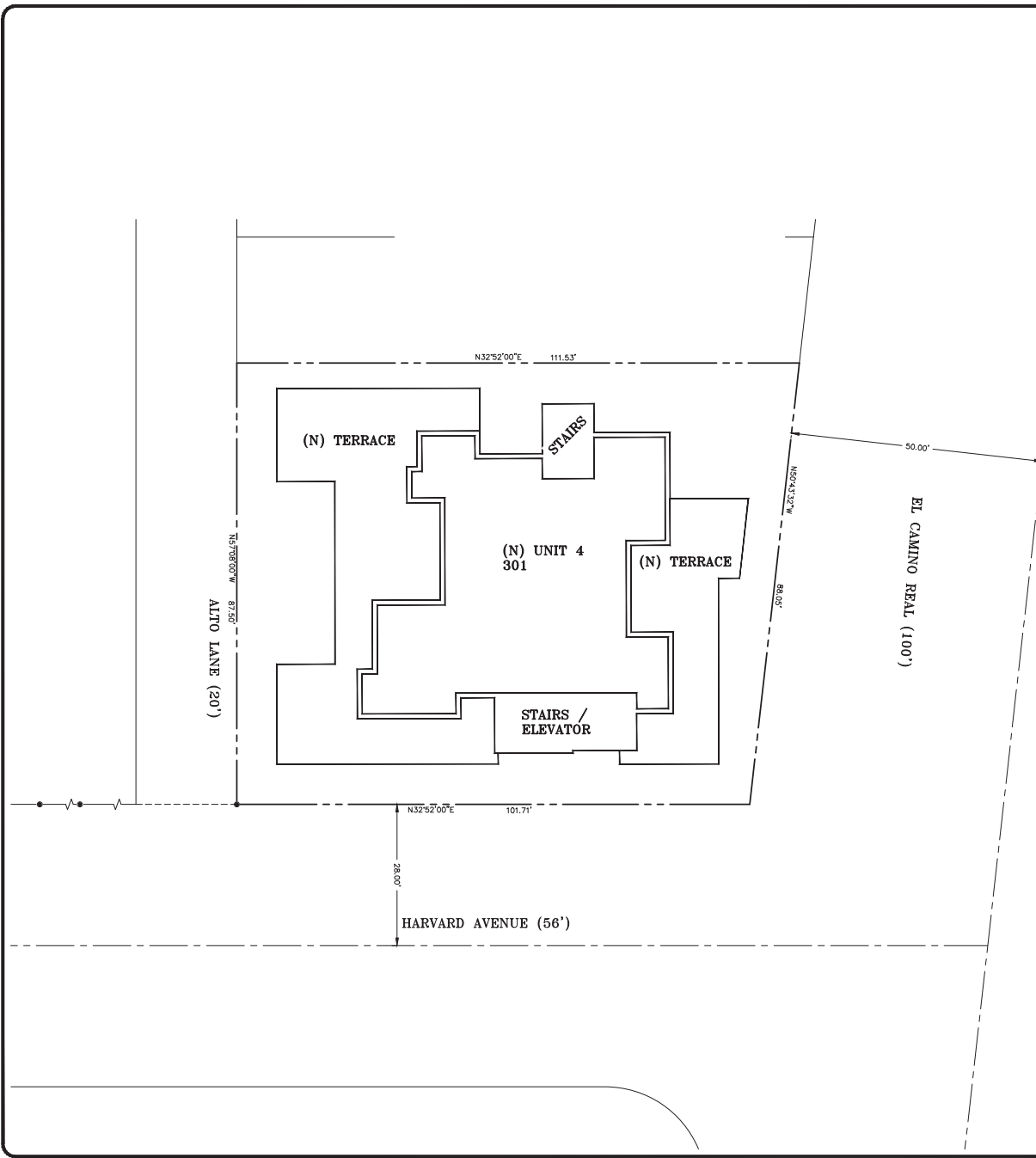


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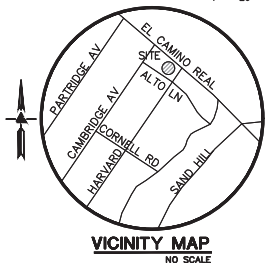
**115 EL CAMINO REAL**  
**MENLO PARK, CA 94025**  
SAN MATEO COUNTY  
APR. 071-433-330

**TENTATIVE MAP**  
**FOR CONDOMINIUM PURPOSES**  
**2ND FLOOR**  
**LAYOUT PLAN**

PLAN CHECK	PC
12-04-18	
PLAN CHECK	PC
2-20-19	
REVISIONS	BY
JOB NO:	2180306
DATE:	10-10-18
SCALE:	AS NOTED
DESIGN BY:	RB/PC
DRAWN BY:	RP/WA
SHEET NO:	



**TENTATIVE MAP**  
1" = 20'



**VICINITY MAP**  
NO SCALE

**PROJECT DATA**

**OWNER/SUBDIVIDER:** JAYA & RANJEET PANCHOLY  
8289 QUAIL RUN COURT  
SAN DIEGO, CA 92130

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**6 TOTAL**

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**NEW AND EXISTING USE DESIGNATION:**  
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**SEWER:** WEST BAY SANITARY DISTRICT

**STORM DRAINAGE:** CITY OF MENLO PARK

**GAS AND ELECTRIC:** PACIFIC GAS & ELECTRIC COMPANY

**CABLE:** COMCAST

**PHONE:** AT&T

**SITE BENCHMARK**

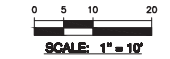
SURVEY CONTROL POINT  
MAG AND SHINER SET IN ASPHALT  
ELEVATION = 64.89'  
(NAVD 88 DATUM)

**BENCHMARK**

CITY OF MENLO PARK BENCHMARK "UJ110"  
0.1 MILE SOUTHWEST OF THE SOUTHERN PACIFIC COMPANY RAILROAD STATION, AT THE INTERSECTION OF SANTA CRUZ AVENUE AND EL CAMINO REAL (U.S. HIGHWAY 101), AT THE ELLIOT BUILDING, IN THE TOP PROJECTION OF THE GRANITE BLOCK FOUNDATION, BETWEEN TWO GRANITE BLOCK COLUMNS, 15.9 FEET SOUTHEAST OF THE SOUTHEAST CURB OF THE AVENUE, 12.5 FEET NORTHEAST OF THE NORTHEAST CURB OF THE HIGHWAY, 0.3 FOOT SOUTHWEST OF THE BRICK WALL, AND 2.0 FEET ABOVE THE SIDEWALK.  
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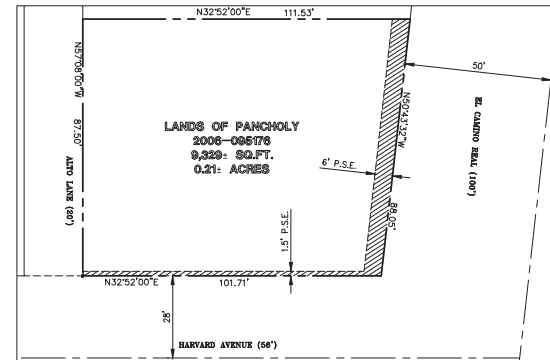
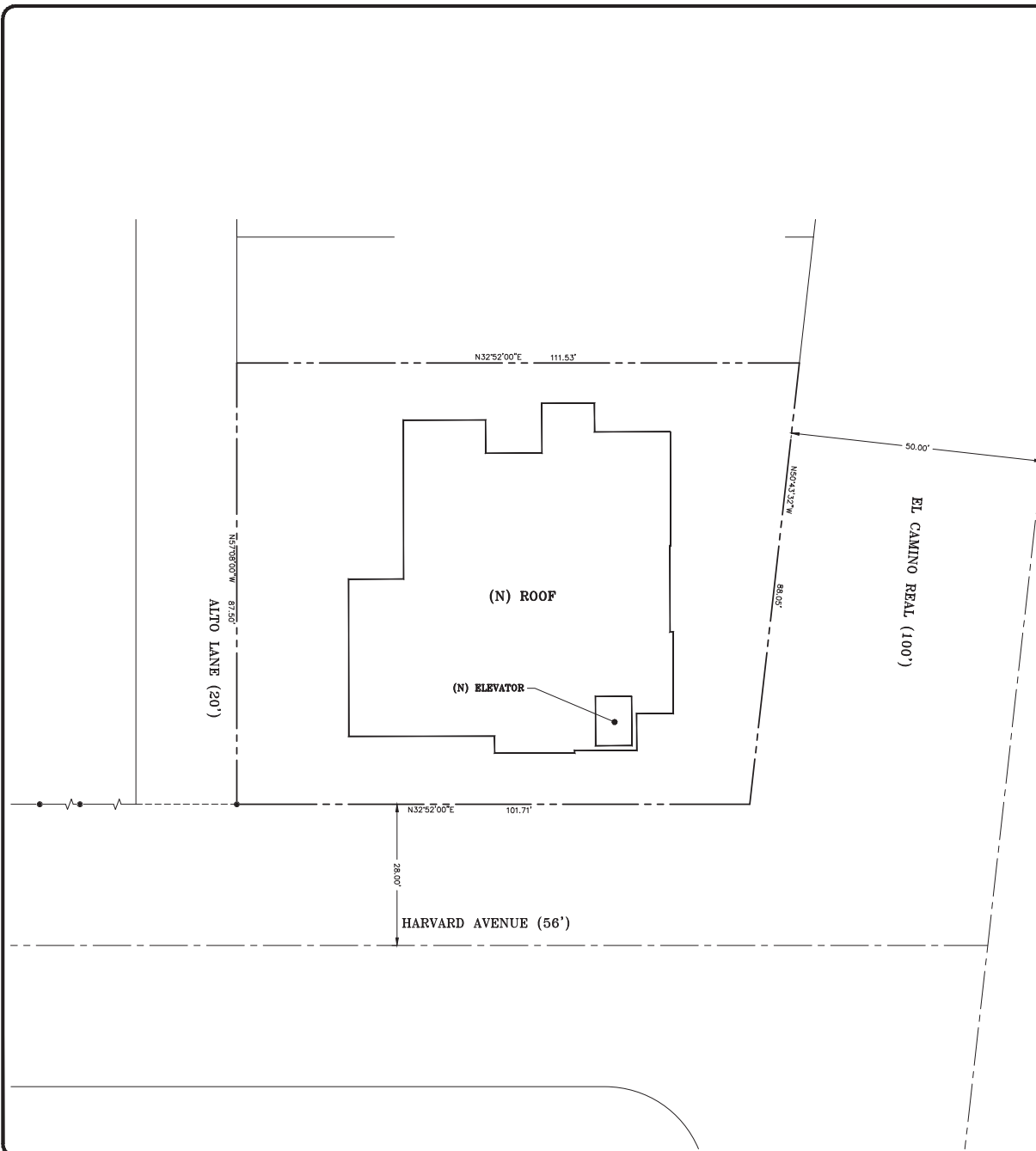


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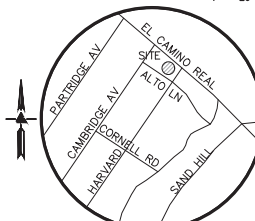
**115 EL CAMINO REAL**  
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APR. 071-433-330  
SAN MATEO COUNTY

**TENTATIVE MAP**  
**FOR CONDOMINIUM PURPOSES**  
**3RD FLOOR**  
**LAYOUT PLAN**

PLAN CHECK	PC
12-04-18	
PLAN CHECK	PC
2-20-19	
REVISIONS	BY
JOB NO:	2180306
DATE:	10-10-18
SCALE:	AS NOTED
DESIGN BY:	RB/PC
DRAWN BY:	RP/WA
SHEET NO:	



**TENTATIVE MAP**  
1" = 20'



**VICINITY MAP**  
NO SCALE

**PROJECT DATA**

**OWNER/SUBDIVIDER:** JAYA & RANJEET PANCHOLY  
8289 QUAIL RUN COURT  
SAN DIEGO, CA 92150

**ENGINEER/SURVEYOR:** LEA & BRAZE ENGINEERING, INC.  
2485 INDUSTRIAL PARKWAY WEST  
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CONTACT: PETE CARLINO

**ARCHITECT:** LEVY ART + ARCHITECTURE  
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CONTACT: MELISSA TODD

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**GAS AND ELECTRIC:** PACIFIC GAS & ELECTRIC COMPANY

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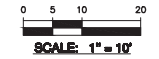
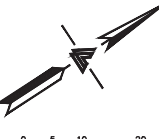
**PHONE:** AT&T

**☛ SITE BENCHMARK**

SURVEY CONTROL POINT  
MAG AND SHINER SET IN ASPHALT  
ELEVATION = 64.85  
(NAVD 88 DATUM)

**BENCHMARK**

CITY OF MENLO PARK BENCHMARK "UJ110"  
0.1 MILE SOUTHWEST OF THE SOUTHERN PACIFIC COMPANY RAILROAD STATION, AT THE INTERSECTION OF SANTA CRUZ AVENUE AND EL CAMINO REAL (U.S. HIGHWAY 101), AT THE ELLIOT BUILDING, IN THE TOP PROJECTION OF THE GRANITE BLOCK FOUNDATION, BETWEEN TWO GRANITE BLOCK COLUMNS, 15.9 FEET SOUTHEAST OF THE SOUTHEAST CURB OF THE AVENUE, 12.5 FEET NORTHEAST OF THE NORTHEAST CURB OF THE HIGHWAY, 0.3 FOOT SOUTHWEST OF THE BRICK WALL, AND 2.0 FEET ABOVE THE SIDEWALK.  
ELEVATION = 73.8' (NAVD 88)



SCALE: 1" = 10'

**BASIS OF BEARINGS**

THE BEARING N32°52'00"E ALONG THE RIGHT OF WAY OF HARVARD AVENUE AS SHOWN ON THE MAP ENTITLED "PARCEL MAP FOR CONDOMINIUM PURPOSES 724-726 HARVARD AVENUE", FILED IN VOLUME 76 OF MAPS, AT PAGES 58-59, SAN MATEO COUNTY RECORDS IS THE BASIS OF ALL BEARINGS SHOWN UPON THIS MAP.

**NOTES**

ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.

UNDERGROUND UTILITY LOCATION IS BASED ON SURFACE EVIDENCE.

BUILDING FOOTPRINTS ARE SHOWN TO FINISHED MATERIAL (STUCCO/SIDING) AT GROUND LEVEL.

FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLD (EXTERIOR).

**EASEMENT NOTE**

THERE ARE NO EASEMENTS OF RECORD PER CONDITION OF TITLE GUARANTEE ISSUED BY FIDELITY NATIONAL TITLE COMPANY. GUARANTEE NO. F5M0-6551800485, DATED MAY 11, 2018.



06/14/2019

**LEA & BRAZE ENGINEERING, INC.**  
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**115 EL CAMINO REAL**  
**MENLO PARK, CA 94025**

APR. 071-433-330  
SAN MATEO COUNTY

**TENTATIVE MAP**  
**FOR CONDOMINIUM PURPOSES**  
**ROOF**  
**LAYOUT PLAN**

PLAN CHECK	PC
12-24-18	
PLAN CHECK	PC
2-20-19	

REVISIONS	BY

JOB NO: 2180306  
DATE: 10-10-18  
SCALE: AS NOTED  
DESIGN BY: RB/PC  
DRAWN BY: RP/WA  
SHEET NO:

**C-1.4**  
05 OF 14 SHEETS

**LEGEND**

- (N) AC PAVEMENT
- (N) PERVIOUS PAVERS TO BE SPECIFIED BY ARCHITECT
- (N) CONCRETE PAVEMENT
- (N) PERVIOUS PAVING TO BE SPECIFIED BY LANDSCAPE ARCHITECT
- (N) LANDSCAPING TO BE SPECIFIED BY LANDSCAPE ARCHITECT
- PROPERTY LINE
- (N) ROOF OUTLINE
- OVERLAND RELEASE
- PROPOSED DRAINAGE ROUTE

**FLATWORK** KEYNOTES 1 TO 8

- 1 (N) PERVIOUS PAVING TO BE SPECIFIED BY THE ARCHITECT.
- 2 (N) CITY STANDARD SIDEWALK, CURB & GUTTER
- 3 (N) CONCRETE DRIVEWAY, PER CITY STANDARD DETAIL.
- 4 (N) SAWCUT AT CONFORM AND THE (N) PAVEMENT TO (E) AC.
- 5 (N) ADA CURB RAMP PER CITY OF MENLO PARK STANDARDS.
- 6 (N) AC ON SITE PARALLEL PARKING.

**STORM DRAIN** KEYNOTES 10 TO 13

- 10 INSTALL (N) ON-SITE STORM DRAIN SYSTEM. USE MINIMUM 6" PVC (SDR 35) OR HDPE (ADS N-12 W/ SMOOTH INTERIOR WALLS). MAINTAIN 24" MINIMUM COVER AND SLOPED AT 1% MINIMUM AT ALL TIMES UNLESS OTHERWISE NOTED. PROVIDE CLEAN OUT TO GRADE AT MAJOR CHANGES IN DIRECTION. AVOID USING 90° BENDS AND INSTEAD USE (2) 45° BENDS AND WYE CONNECTIONS. SEE DETAIL 4 ON SHEET C-5.2.
- 11 INSTALL (N) SUBIRAN UNDERNATH PERVIOUS PAVERS. USE PERFORMED 4" PVC (SDR-35) WITH HOLES DOWN AND SLOPED AT 1% MINIMUM SURROUND WITH 3/4" DRAIN ROCK WRAPPED IN FILTER FABRIC (MIRAFI 140N), MIRADRAN OR OTHER LEA & BRAZE PREAPPROVED DRAINAGE SYSTEM MAY ALSO BE USED. AVOID USING 90° BENDS AND INSTEAD USE (2) 45° BENDS AND WYE CONNECTIONS. PROVIDE CLEANOUT TO GRADE AT MAJOR CHANGES IN DIRECTION AND AT 100' MAXIMUM INTERVALS. SUBIRAN SHALL REMAIN A DEDICATED SEPARATE SYSTEM UNTIL IT CONNECTS TO STORM DRAIN SYSTEM OR OUTFALL AS SHOWN. SEE DETAIL 4 ON SHEET C-5.2.
- 12 INSTALL (N) CHRISTY V-12" SILT BASIN WITH GRAVEL BOTTOM. SEE DETAIL 3 ON SHEET C-5.2.
- 13 (N) STORM DRAIN MANHOLE. SEE DETAIL DR-1 ON SHEET C-5.1.

**FIRE NOTES**

1. FIRE APPARATUS ROADWAYS, INCLUDING PUBLIC AND PRIVATE STREETS AND IN SOME CASES DRIVEWAYS USED FOR VEHICLE ACCESS, SHALL BE CAPABLE OF SUPPORTING THE IMPOSED WEIGHT OF A 75,000 POUND (34,050 KG) FIRE APPARATUS AND SHALL BE PROVIDED WITH AN ALL-WEATHER DRIVING SURFACE. ONLY PAVED OR CONCRETE SURFACES ARE CONSIDERED TO BE ALL WEATHER DRIVING SURFACES. CFC 2016, APPENDIX D.
2. CURBING LOCATED WITHIN THE COMPLEX THAT HAS NOT BEEN ASSIGNED AS ON-SITE PARKING SHALL BE DESIGNATED AS "NO PARKING FIRE LANE". ALL FIRE LANES TO COMPLY WITH MFD STANDARD FOR "DESIGNATION AND MARKING OF FIRE LANE", SINCE THERE ARE ONLY TO POINTS OF ACCESS TO THE COMPLEX. ENTRANCE SIGN ET MAY BE USED AT EACH POINT OF ACCESS TO COMPLEX. PROCESS TO COMPLETE NO PARKING-FIRE LANE STRIPPING PLAN WITH NO PARKING SIGNAGE IN ACCORDANCE TO MFD STANDARD AS FOLLOWS:
  - a. ROADWAY WIDTH FOR PROJECT SHALL BE NO LESS THAN 26 FEET WIDE AND SHALL REQUIRE CURB STRIPPING WITH NO PARKING SIGNAGE AS PER MFD STANDARD.
  - b. REQUIRED NO PARKING SIGNAGE INSTALLED AT AN APPROVED LOCATION AT ENTRANCES.
3. FIRE APPARATUS ROADWAYS, INCLUDING PUBLIC OR PRIVATE STREETS OR ROADS USED FOR VEHICLE ACCESS SHALL BE INSTALLED AND IN SERVICE PRIOR TO CONSTRUCTION. FIRE PROTECTION WATER SERVING ALL HYDRANTS SHALL BE PROVIDED AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON THE SITE.
  - a. PRIOR TO COMBUSTIBLE MATERIAL ARRIVING ON THE SITE, CONTACT THE MENLO PARK FIRE DISTRICT TO SCHEDULE AN INSPECTION OF ROADWAYS AND FIRE HYDRANTS. CFC 2013.

**NOTES**

1. THE APPLICANT SHALL REMOVE AND REPLACE ALL CRACKED, DAMAGED, UPLIFTED OR DERESSED FRONTAGE IMPROVEMENTS LOCATED IN CITY'S RIGHT-OF-WAY, EXISTING OR DAMAGED BY THE CONSTRUCTION ACTIVITIES, PER CITY STANDARDS ALONG THE ENTIRE PROPERTY FRONTAGE.
2. CIVIL ENGINEER SHALL COORDINATE WITH PROJECT ARBORIST TO DETERMINE THE LOCATIONS OF EDGE OF PAVEMENT, STORM DRAIN LINES AND OTHER UTILITY LINES NEAR TREES. THE LOCATIONS OF IMPROVEMENTS NEAR CITY TREES SHALL BE APPROVED BY CITY ARBORIST.
3. CONTACT PUBLIC WORKS AT (650) 330-6740 TO SCHEDULE AN INSPECTION A MINIMUM OF 24 HOURS IN ADVANCE OF COMMENCEMENT OF PUBLIC IMPROVEMENT WORK. THE CONSTRUCTION SUPERVISOR WILL DISCUSS ANY REPAIR WORK TO FRONTAGE IMPROVEMENTS WHICH ARE NOT SHOWN ON THE PLANS.
4. PRIOR TO FINAL INSPECTION, THE APPLICANT SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE CITY'S ENGINEERING DIVISION FOR ALL EXISTING PRIVATE STRUCTURES, IMPROVEMENTS AND LANDSCAPING (IF ANY) LOCATED IN THE CITY'S RIGHT-OF-WAY ALONG THE PROPERTY FRONTAGE.
5. THE APPLICANT SHALL REMOVE AND REPLACE ALL CRACKED, DAMAGED UPLIFTED OR DERESSED FRONTAGE IMPROVEMENTS (CURB, GUTTER, SIDEWALK, DRIVEWAY, ETC.), EXISTING OR DAMAGED BY THE CONSTRUCTION ACTIVITIES, PER CITY STANDARDS ALONG THE ENTIRE PROPERTY FRONTAGE. IF FRONTAGE IMPROVEMENTS DO NOT CURRENTLY EXIST, THE APPLICANT IS REQUIRED TO INSTALL FRONTAGE IMPROVEMENTS PER CITY STANDARDS ALONG THE ENTIRE PROPERTY FRONTAGE. ALL IMPROVEMENTS ARE TO BE COMPLETED AND APPROVED BY THE CITY OF MENLO PARK'S PUBLIC WORKS INSPECTOR PRIOR TO THE FINAL INSPECTION BY THE BUILDING INSPECTOR.

**INSPECTION NOTE:**

THE CONTRACTOR SHALL INFORM THE OWNER (IN WRITING) OF RECOMMENDED PERIODIC INSPECTION AND MAINTENANCE OF THE ON-SITE STORM DRAINAGE SYSTEM. THE REGULAR CLEARING OF SILT AND DEBRIS IS ESPECIALLY IMPORTANT PRIOR TO EACH RAINY SEASON.

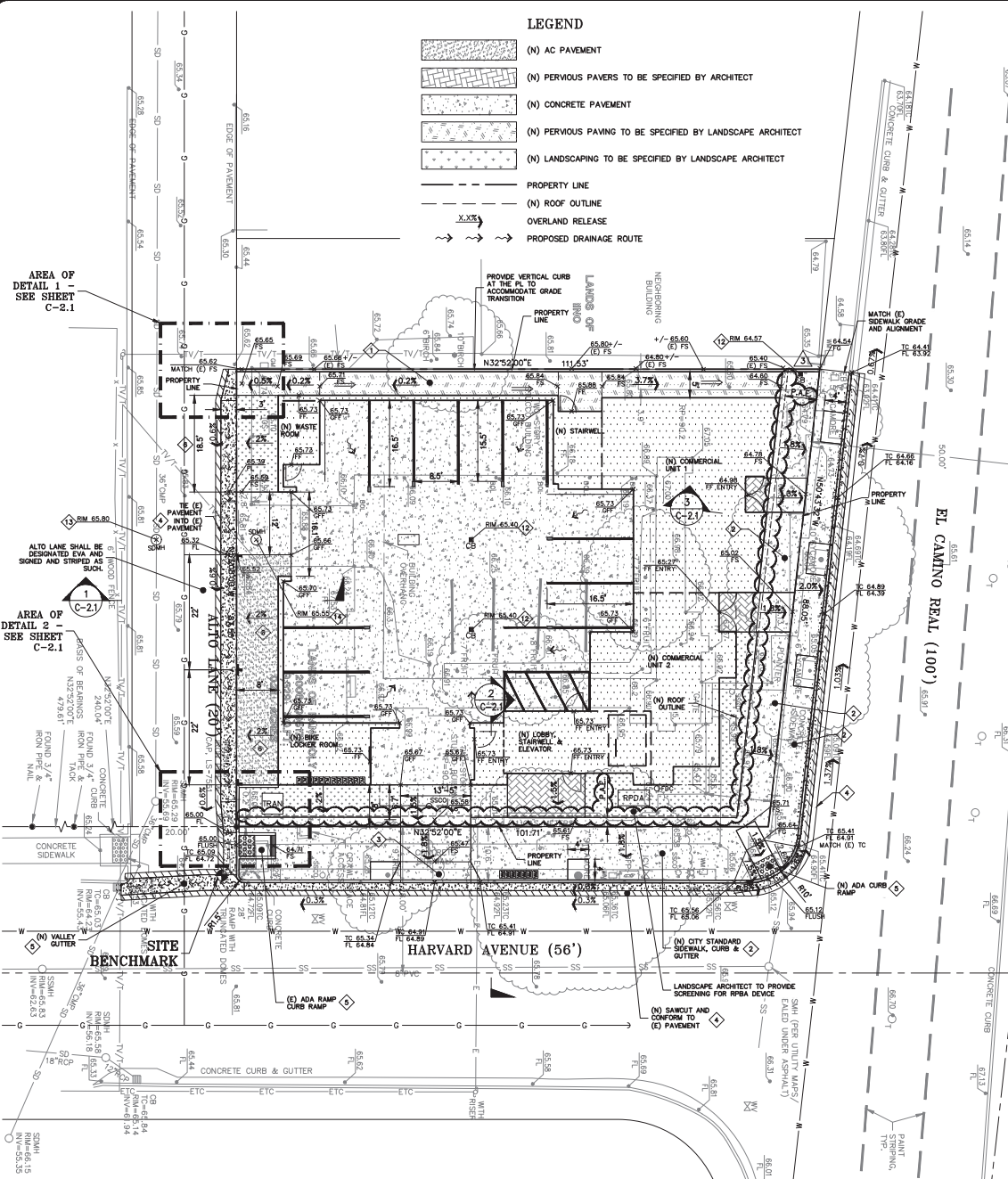
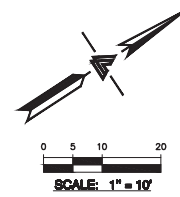
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NOTE: ALL UTILITIES SHALL BE PLACED UNDERGROUND IF REQUIRED BY THE UTILITY COMPANY.

NOTE: SURF GRADING SHALL NOT IMPEDE EXISTING DRAINAGE FROM ADJACENT PROPERTIES AND SHALL NOT GENERATE SURFACE RUN-OFF FLOW ONTO ADJACENT PROPERTIES.

NOTE: FOR CONSTRUCTION STAKING SCHEDULING OR QUOTATIONS PLEASE CONTACT ALEX ABAYA AT LEA & BRAZE ENGINEERING (510)887-4086 EXT 116. [aabaya@leabraze.com](mailto:aabaya@leabraze.com)

• BUILDING PAD NOTE: ADJUST PAD LEVEL AS REQUIRED. REFER TO STRUCTURAL PLANS FOR SLAB SECTION OR CIRCULAR SPACE DEPTH TO ESTABLISH PAD LEVEL.



06/14/2019  
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 SAN MATEO COUNTY  
 APR. 071-433-330

TENTATIVE MAP  
 FOR CONDOMINIUM PURPOSES  
 PRELIMINARY GRADING  
 AND DRAINAGE PLAN

PLAN CHECK	PC
12-04-18	PC
PLAN CHECK	PC
2-20-19	PC
REVISIONS	BY

JOB NO: 2180306  
 DATE: 10-10-18  
 SCALE: AS NOTED  
 DESIGN BY: RB/PC  
 DRAWN BY: RP/WA  
 SHEET NO:





06/14/2019

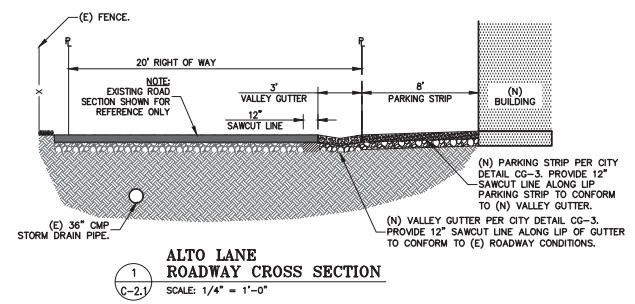
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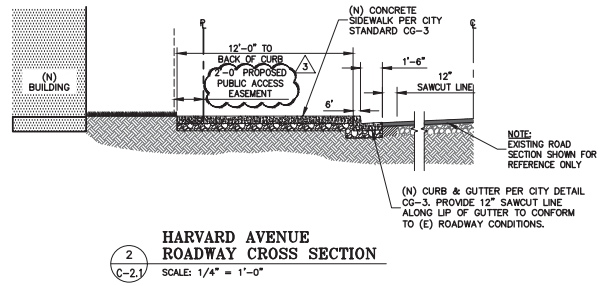
TENTATIVE MAP  
 FOR CONDOMINIUM PURPOSES  
 PRELIMINARY  
 SITE SECTIONS

PLAN CHECK	PC
12-04-18	
PLAN CHECK	PC
2-20-19	
REVISIONS	BY
JOB NO:	2180306
DATE:	10-10-18
SCALE:	AS NOTED
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DRAWN BY:	RP/WA
SHEET NO:	

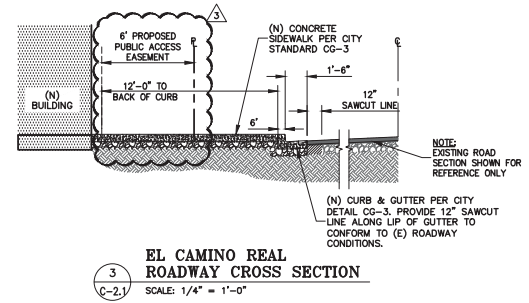
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 07 OF 14 SHEETS



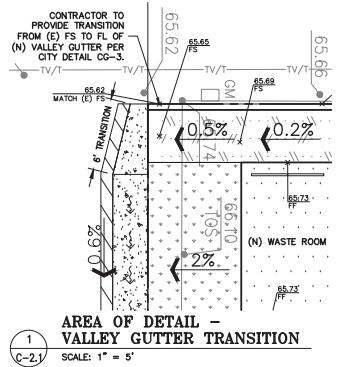
**1**  
**ALTO LANE ROADWAY CROSS SECTION**  
 SCALE: 1/4" = 1'-0"



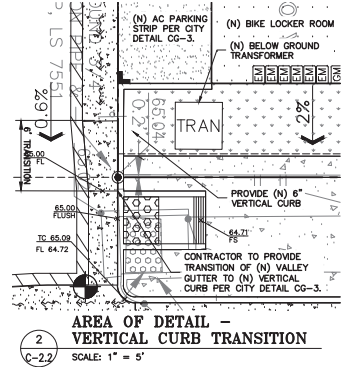
**2**  
**HARVARD AVENUE ROADWAY CROSS SECTION**  
 SCALE: 1/4" = 1'-0"



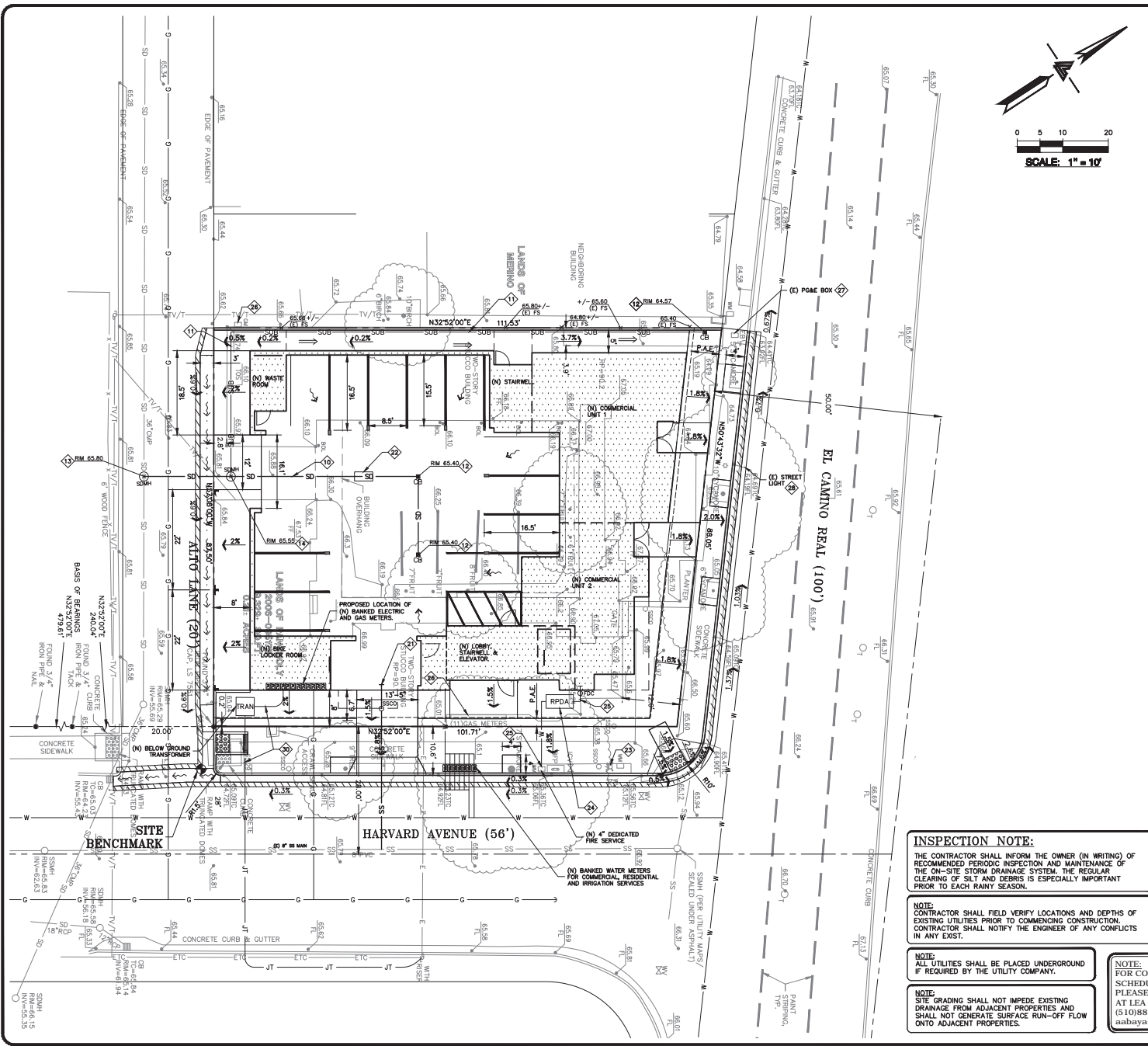
**3**  
**EL CAMINO REAL ROADWAY CROSS SECTION**  
 SCALE: 1/4" = 1'-0"



**1**  
**AREA OF DETAIL - VALLEY GUTTER TRANSITION**  
 SCALE: 1" = 5'



**2**  
**AREA OF DETAIL - VERTICAL CURB TRANSITION**  
 SCALE: 1" = 5'



**STORM DRAIN** KEYNOTES 10 to 13

10 INSTALL (N) ON-SITE STORM DRAIN SYSTEM. USE MINIMUM 6" PVC (SDR 35) OR HDPE (ADS N-12 W/ SMOOTH INTERIOR WALLS). MAINTAIN 24" MINIMUM COVER AND SLOPED AT 1% MINIMUM AT ALL TIMES UNLESS OTHERWISE NOTED. PROVIDE CLEAN OUT TO GRADE AT MAJOR CHANGES IN DIRECTION. AVOID USING 90° BENDS AND INSTEAD USE (2) 45° BENDS AND WYE CONNECTIONS. SEE DETAIL 4 ON SHEET C-5.2.

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13 (N) STORM DRAIN MANHOLE. SEE DETAIL DR-1 ON SHEET C-5.1.

**UTILITIES** KEYNOTES 14 to 30

14 VIDEO INSPECTION OF THE (E) SANITARY SEWER LATERAL TO THE SEWER MAIN IS REQUIRED. CONTRACTOR TO CONTACT THE PUBLIC SERVICES DEPARTMENT WASTEWATER SUPERVISOR TO SCHEDULE FOR A CITY MAINTENANCE PERSON TO BE PRESENT AT THE TIME OF THE VIDEO INSPECTION. UPON DETERMINATION FROM THE CITY: 1) (E) SEWER LATERAL IS IN SATISFACTORY CONDITION FOR REUSE. REMOVE (E) SEWER LATERAL PER CITY STANDARDS AND INSTALL (N) 4" PVC (SDR-26) SLOPED AT 2% MINIMUM FROM (E) SEWER MAIN TO (N) BUILDING PER CITY STANDARDS. SEE DETAIL 5 ON SHEET C-5.2. BUILDING & INTERIOR PLUMBING SHALL BE MODIFIED IF DISCREPANCIES ARISE. CONTRACTOR TO COORDINATE WITH PLUMBING PLANS ACCORDINGLY.

15 (N) OIL AND SAND SEPARATOR. TO BE COORDINATED WITH PLUMBING DESIGNER

16 (E) FIRE HYDRANT TO REMAIN.

17 (N) 4" ZURN RPDA 475DAV. SEE DETAIL ON SHEET C-5.1

18 CONNECT (N) WATER SERVICE TO (N) BUILDING FROM (E) WATER METER PER DISTRICT STANDARDS. SIZING TO BE DETERMINED AT CONSTRUCTION DOCUMENTS. DIFFERED APPROVAL.

19 (E) GAS METERS. REMOVAL OR RELOCATION TO BE COORDINATED W/ PG&E

20 (E) PG&E BOX TO REMAIN

21 (E) STREET LIGHT TO REMAIN

22 (E) SANITARY SEWER CONTRACTOR TO POTHOLE TO CONFIRM LOCATION AND DEPTH.

23 INSTALL (N) JOINT TRENCH FOR SERVICES INCLUDING GAS, CATV & ELECTRIC FROM NEAREST POINT OF CONNECTION. DESIGN BY OTHERS. REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION, INCLUDING BUT NOT LIMITED TO: ADDITIONAL UTILITY SERVICES, DIMENSION CONTROL, DEMOLITION, DETAILS, TREE PROTECTION MEASURES, AND LANDSCAPING.

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06/14/2019

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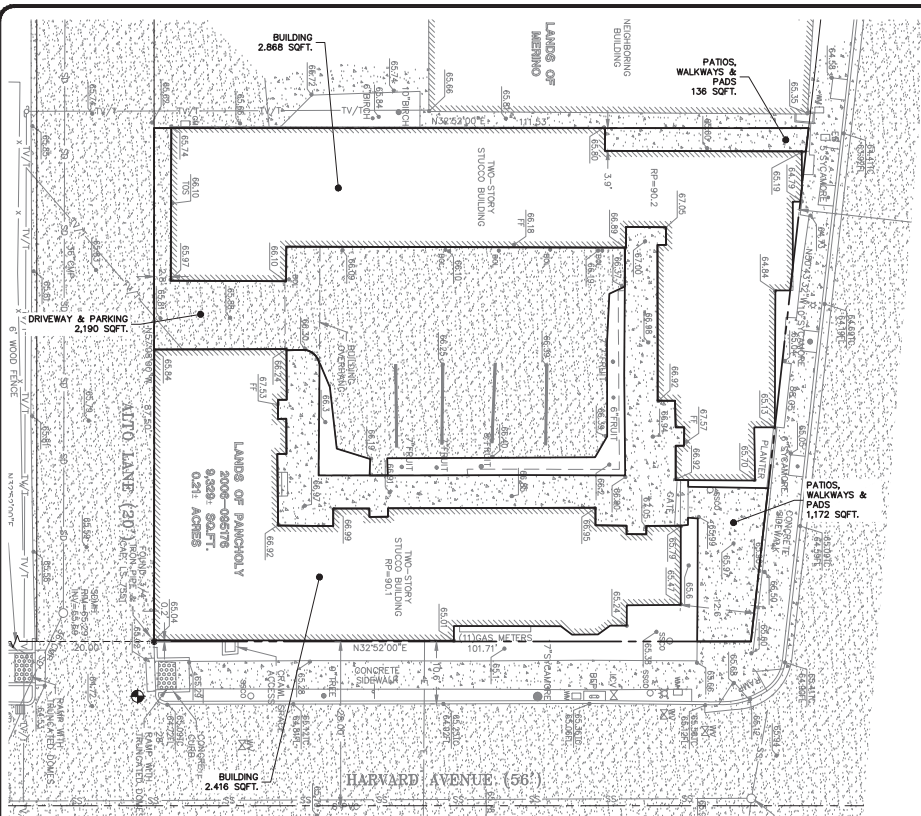
APR. 071-433-330  
 SAN MATEO COUNTY

TENTATIVE MAP  
 FOR CONDOMINIUM PURPOSES  
 PRELIMINARY  
 UTILITY PLAN

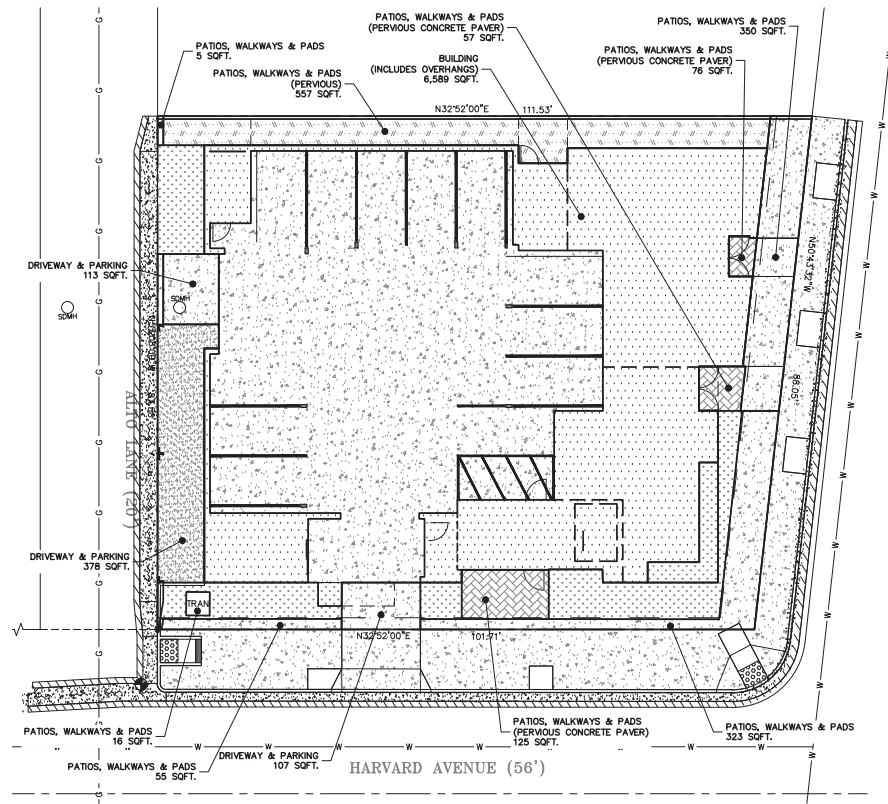
PLAN CHECK	PC
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DESIGN BY:	RB/PC
DRAWN BY:	RP/WA
SHEET NO:	

**C-3.0**

08 OF 14 SHEETS



EXISTING SITE



PROPOSED SITE

DEVELOPMENT AREA SUMMARY

PRE-DEVELOPMENT	(SQFT)
BUILDINGS	5,284
DRIVEWAY & PARKING	2,190
PATIOS, WALKWAYS & PADS	1,308
<b>TOTAL</b>	<b>8,782</b>
POST-DEVELOPMENT	(SQFT)
BUILDINGS	6,589
DRIVEWAY & PARKING	598
PATIOS, WALKWAYS & PADS	749
PERVIOUS CONCRETE PAVER PATIOS, WALKWAYS & PADS	258
PERVIOUS PATIOS, WALKWAYS & PADS	557
<b>TOTAL</b>	<b>8,751</b>
DIFFERENCE (NET DECREASE)	-31

NOTE:  
ALL HARDSCAPE BELOW UPPER  
FLOOR OVERHANGS IS INCLUDED  
IN THE UNIT BUILDING AREA.

DEVELOPMENT INFORMATION

Total Area of Parcel	A	9,329 SF
Existing Pervious Area	B	647 SF
Existing Impervious Area	C	8,782 SF
Existing % Impervious	$C/A * 100 = D$	94.1%
Existing Impervious Area to be replaced with pervious area	E	8,782 SF
Existing pervious area to be replaced with new impervious area	F	733 SF
New Impervious Area (Creating and/or Replacing)	$E + F = G$	9,515 SF
If G is greater than 10,000 SF, a hydrology report shall be submitted to Engineering		
Existing Impervious Area to be replaced with pervious area	H	764 SF
Net change in Impervious Area	$F - H = I$	-31 SF
Input negative (-) number if the F (net change) is negative		
Proposed Pervious Area	$B - I = J$	678 SF
Proposed Impervious Area	$C + I = K$	8,751 SF
Verify that $J * K = A$	L	9,329 SF
Proposed % Impervious	$K/A * 100 = L$	93.8%

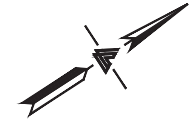


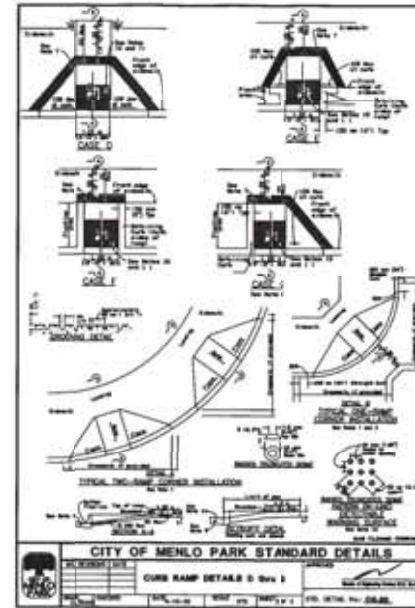
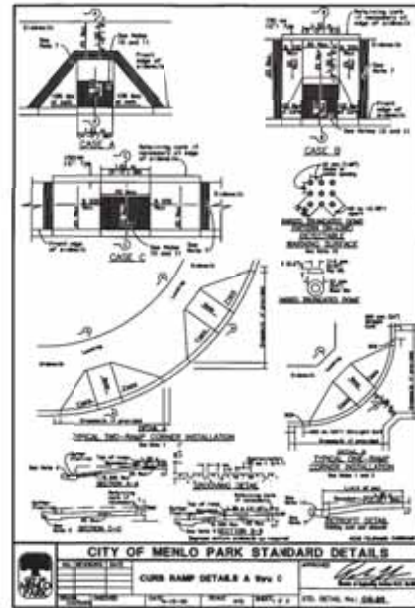
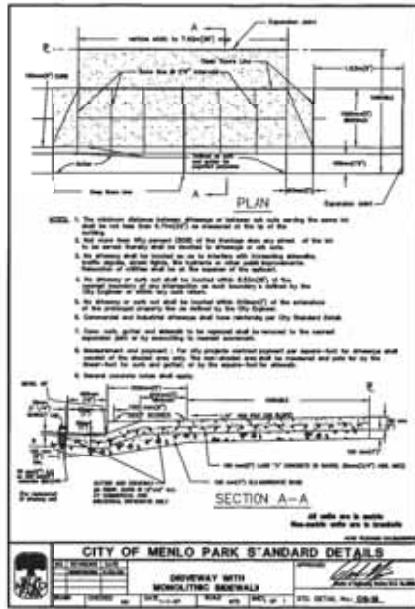
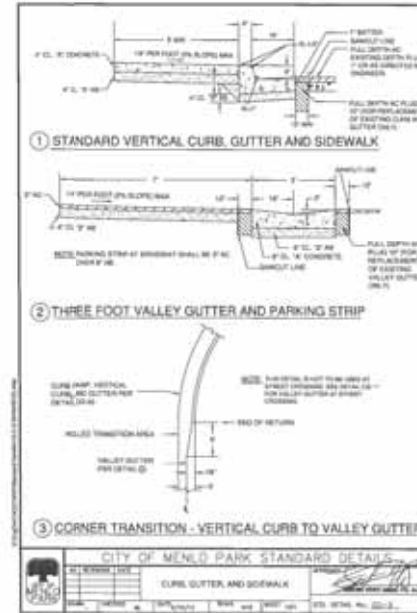
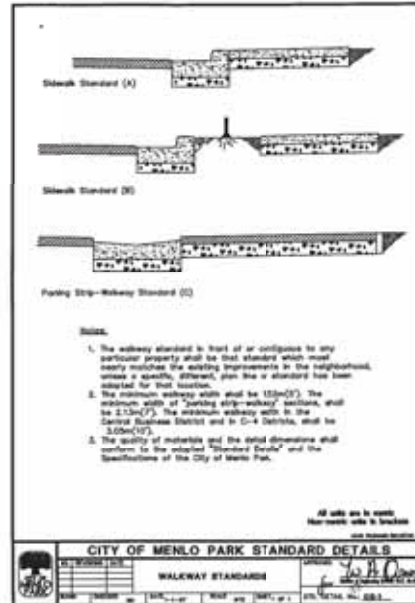
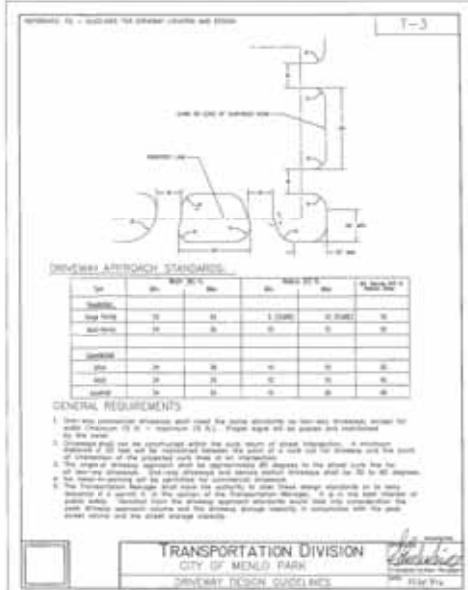
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TENTATIVE MAP  
 FOR CONDOMINIUM PURPOSES  
 IMPERVIOUS AREA  
 EXHIBIT

PLAN CHECK	PC
12-24-18	PC
2-20-19	PC
REVISIONS	BY
JOB NO:	2180306
DATE:	10-10-18
SCALE:	AS NOTED
DESIGN BY:	RP/PC
DRAWN BY:	RP/WA
SHEET NO:	





**LEA & BRAZE ENGINEERING, INC.**  
CIVIL ENGINEERS • LAND SURVEYORS  
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**115 EL CAMINO REAL**  
**MENLO PARK, CA 94025**

**TENTATIVE MAP**  
**FOR CONDOMINIUM PURPOSES**  
**DETAILS**

NO.	DATE	BY
1	12-04-18	PC
2	7-20-19	PC
3		
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6		
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10		

REVISIONS BY

JOB NO: 2180306  
DATE: 10-10-18  
SCALE: NTS  
DESIGN BY: RB/PC  
DRAWN BY: RP/WA  
SHEET NO:





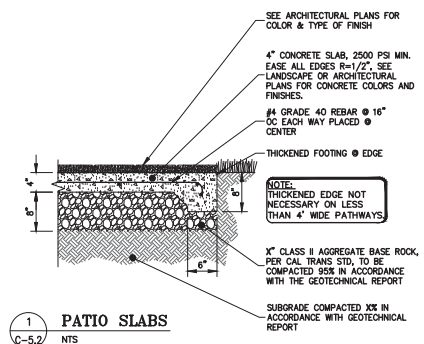
06/14/2019  
**LEA & BRAZE ENGINEERING, INC.**  
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115 EL CAMINO REAL  
 MENLO PARK, CA 94025  
 SAN MATEO COUNTY  
 APN: 071-433-330

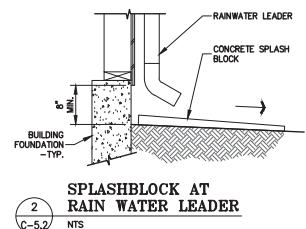
TENTATIVE MAP  
 FOR CONDOMINIUM PURPOSES  
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PLAN CHECK	PC
12-04-18	
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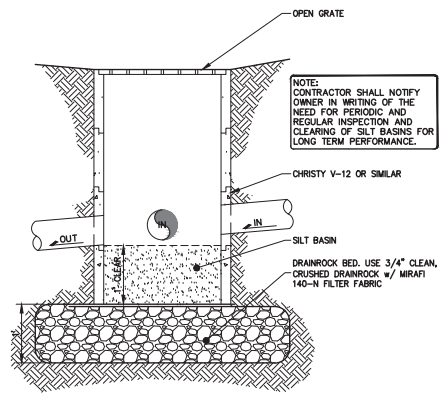
**C-5.2**  
 12 OF 14 SHEETS



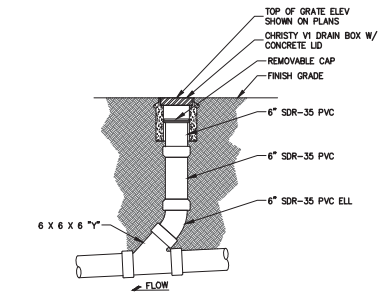
1 PATIO SLABS  
 C-5.2 NTS



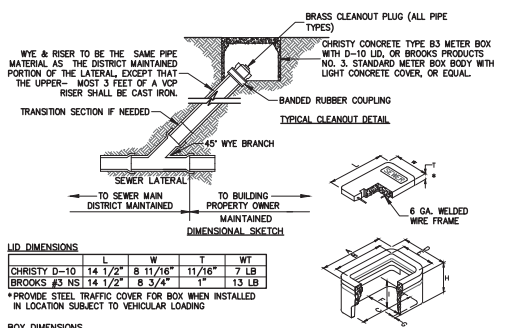
2 SPLASHBLOCK AT RAIN WATER LEADER  
 C-5.2 NTS



3 DRAIN INLET/SILT BASIN - V-12  
 C-5.2 NTS



4 ON-SITE CLEANOUT  
 C-5.2 NTS



LID DIMENSIONS

	L	W	T	WT
CHRISTY D-10	14 1/2"	8 11/16"	11/16"	7 LB
BROOKS #3 NSI	14 1/2"	8 3/4"	1"	13 LB

\*PROVIDE STEEL TRAFFIC COVER FOR BOX WHEN INSTALLED IN LOCATION SUBJECT TO VEHICULAR LOADING

BOX DIMENSIONS

	A	B	C	D	E	F	G	H	I	APPROX WT. LBS.
CHRISTY B3	19"	14 13/16"	16 1/4"	13 1/4"	9"	9 7/8"	1"	12"	10 15/16"	59
BROOKS #3	19 1/8"	13 1/2"	16"	13 1/2"	7 5/8"	9 1/2"	1"	11"	N.A.	68

4 TYPICAL SEWER CLEANOUT BOX  
 C-5.2 NTS

CAUTION:

- 1. CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT FOR LOCATION OF UNDERGROUND UTILITIES AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION...
2. THE LOCATION, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE PLAN ARE FROM SOURCES OF VARYING RELIABILITY...

GENERAL SITE NOTES:

- 1. CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING ON THIS WORK AND CONSIDER THE EXISTING CONDITIONS AND SITE CONSTRAINTS IN THE BID...
2. ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO ALL APPLICABLE GOVERNING AGENCIES STANDARD DETAILS & SPECIFICATIONS...
3. PRIOR TO BEGINNING WORK, AND AFTER INITIAL HORIZONTAL CONTROL STAKING, CONTRACTOR SHALL FIELD CHECK ALL ELEVATIONS MARKED WITH (E) AND REPORT ANY DISCREPANCIES GREATER THAN 0.05' TO OWNER'S PROJECT MANAGER AND CIVIL ENGINEER...

SITE FENCING NOTES:

- 1. CONTRACTOR SHALL PROVIDE A CONSTRUCTION FENCE AROUND THE ENTIRE AREA OF DEMOLITION AND CONSTRUCTION, INCLUDING ALL STAGING, STORAGE, CONSTRUCTION OFFICE AND LADYOWN AREAS...
2. FENCE LOCATION MAY BE ADJUSTED FROM TIME TO TIME AS CONSTRUCTION PROCEEDS TO EXCLUDE SOME AREAS WHERE CONSTRUCTION WORK IS NOT BEING DONE...

DEMOLITION NOTES:

- 1. CONTRACTOR IS TO COMPLY WITH ALL GENERAL AND STATE REQUIREMENTS AND SPECIFICATIONS FOR THE REMOVAL OF HAZARDOUS MATERIAL(S)...
2. THE CONTRACTOR SHALL LOCATE AND CLEARLY MARK (AND THEN PRESERVE THESE MARKERS) FOR THE DURATION OF CONSTRUCTION OF ALL TELEPHONE, DATA, STREET LIGHT, SIGNAL LIGHT AND POWER FACILITIES THAT ARE IN OR NEAR THE AREA OF CONSTRUCTION...
3. CONTRACTOR'S BID IS TO INCLUDE ALL VISIBLE SURFACE AND ALL SUBSURFACE FEATURES IDENTIFIED TO BE REMOVED OR ABANDONED IN THESE DOCUMENTS...
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR A SITE INSPECTION TO FULLY KNOWLEDGE THE EXTENT OF THE DEMOLITION WORK...
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS NECESSARY FOR ENCRoACHMENT, GRADING, DEMOLITION, AND STATE JURISDICTIONS...

EXISTING CONDITIONS:

- 1. EXISTING TOPOGRAPHIC SURVEY PERFORMED BY LEA & BRAZE ENGINEERING, INC. SURVEYING ON 9-10-18 (JOB #2180682) GRADES ENCOUNTERED ON-SITE MAY VARY FROM THOSE SHOWN...
2. THE CONTRACTOR SHALL REVIEW THE PLANS AND CONDUCT FIELD INVESTIGATIONS AS REQUIRED TO VERIFY EXISTING CONDITIONS AT THE PROJECT SITE...
3. EXCAVATE AND TOTALLY REMOVE THE UTILITY LINE FROM THE TRENCH...
4. EXCAVATE AND CRUSH THE UTILITY LINE IN THE TRENCH...
5. CAP THE ENDS OF THE UTILITY LINE WITH CONCRETE TO PREVENT THE ENTRANCE OF WATER... THE LOCATIONS AT WHICH THE UTILITY LINE WILL BE ENTRAPPED WILL BE DETERMINED BY THE CIVIL ENGINEER...

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SURVEYOR'S NOTES:

THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE TOPOGRAPHIC SURVEY ARE APPROXIMATE AND WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY, ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES. HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF EXISTING UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THIS SURVEY.

GRADING AND EARTHWORK NOTES:

- 1. ALL PAVED AREAS ARE TO SLOPE AT A MINIMUM OF 1% ACCESSIBLE STALLS AND SIDEWALKS ARE TO SLOPE AT A MAXIMUM OF 2% IN ANY DIRECTION AND ACCESSIBLE PATHWAYS ARE TO SLOPE AT A MAXIMUM OF 8.33% WITH A MINIMUM CROSS SLOPE OF 2% IN ANY DIRECTION...
2. CONTRACTOR SHALL DETERMINE EARTHWORK QUANTITIES BASED ON THE TOPOGRAPHIC SURVEY, THE SOILS INVESTIGATION AND THE PROPOSED SURFACE GRADES AND BASE THE BID ACCORDINGLY...
3. ALL FILL SHALL BE COMPACTED PER THE CONSTRUCTION SPECIFICATIONS AND THE CONTRACTOR SHALL COORDINATE AND COMPLY WITH THE OWNER'S TESTING AGENCY TO TAKE THE APPROPRIATE TEST TO VERIFY COMPACTION VALUES...
4. IMPORT SOILS MUST MEET THE REQUIREMENTS OF THE SOILS REPORT AND SPECIFICATIONS...
5. COORDINATE THE PLACEMENT OF ALL SLEEVES FOR LANDSCAPE IRRIGATION (WATER AND CONTROL WRING) AND STREET LIGHTING PRIOR TO THE PLACEMENT OF ANY ASPHALT, BASEROCK, OR CONCRETE SURFACING...
6. DO NOT ADJUST GRADES ON THIS PLAN WITHOUT PRIOR WRITTEN APPROVAL OF ENGINEER...
7. SPOTE ELEVATIONS ARE TO FINISHED SURFACE...
8. TOP OF CONCRETE CURBS ARE 0.50' ABOVE TOP OF PAVING ELEVATIONS, U.N.O...
9. ROUGH GRADING TO BE WITHIN 0.1' AND FINISH GRADES ARE TO BE WITHIN 0.05'...
10. AFTER STAKING FOR HORIZONTAL CONTROL, CONTRACTOR SHALL FIELD CHECK ALL ELEVATIONS MARKED WITH (E) AND REPORT ANY DISCREPANCIES GREATER THAN 0.05' TO ARCH/ENGR...
11. ALL EXISTING UTILITY STRUCTURES WITHIN THE AREA OF WORK SHALL HAVE THE LIDS REMOVED, COVERED AND TO BE REPLACED TO THE ORIGINAL LOCATION...
12. GEOTECHNICAL CONSULTANT TO BE NOTIFIED OF DELIVERY OF ALL IMPORTED SOILS TO SITE FOR HIS/HER INSPECTION AND APPROVAL PRIOR TO PLACING BY CONTRACTOR...
13. THESE SPECIFICATIONS AND APPLICABLE PLANS PERTAIN TO AND INCLUDE ALL SITE GRADING AND EARTHWORK ASSOCIATED WITH THE PROJECT INCLUDING, BUT NOT LIMITED TO THE FURNISHING OF ALL LABOR, TOOLS AND EQUIPMENT NECESSARY FOR SITE CLEARING AND GRUBBING, SITE PREPARATION, DISPOSAL OF EXCESS OR UNSUITABLE MATERIAL, STRIPPING, KEYING, EXCAVATION, OVER EXCAVATION, RECOMPACTION PREPARATION FOR SOIL, RECEIVING OF PAVEMENT, FOUNDATION OF SLABS, EXCAVATION, IMPORTATION OF ANY REQUIRED FILL MATERIAL, PROCESSING, PLACEMENT AND COMPACTION OF FILL AND SUBSIDIARY WORK NECESSARY TO COMPLETE THE GRADING TO CONFORM TO THE LINES, GRADING AND SLOPE SHOWN ON THE PROJECT GRADING PLANS...
14. ALL FILL MATERIALS SHALL BE DENSIFIED SO AS TO PRODUCE A DENSITY NOT LESS THAN 90% RELATIVE COMPACTION BASED UPON ASTM TEST DESIGNATION D1557...
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SATISFACTORY COMPLETION OF ALL THE EARTHWORK IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS... NO DEVIATION FROM THESE SPECIFICATIONS SHALL BE MADE EXCEPT UPON WRITTEN APPROVAL BY THE SOILS ENGINEER, BOTH CUT AND FILL AREAS SHALL BE SURFACE COMPLETED TO THE SATISFACTION OF THE SOILS ENGINEER AT THE CONCLUSION OF ALL GRADING OPERATIONS AND PRIOR TO FINAL ACCEPTANCE...
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SATISFACTORY COMPLETION OF ALL THE EARTHWORK IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS... NO DEVIATION FROM THESE SPECIFICATIONS SHALL BE MADE EXCEPT UPON WRITTEN APPROVAL BY THE SOILS ENGINEER, BOTH CUT AND FILL AREAS SHALL BE SURFACE COMPLETED TO THE SATISFACTION OF THE SOILS ENGINEER AT THE CONCLUSION OF ALL GRADING OPERATIONS AND PRIOR TO FINAL ACCEPTANCE...
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18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SATISFACTORY COMPLETION OF ALL THE EARTHWORK IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS... NO DEVIATION FROM THESE SPECIFICATIONS SHALL BE MADE EXCEPT UPON WRITTEN APPROVAL BY THE SOILS ENGINEER, BOTH CUT AND FILL AREAS SHALL BE SURFACE COMPLETED TO THE SATISFACTION OF THE SOILS ENGINEER AT THE CONCLUSION OF ALL GRADING OPERATIONS AND PRIOR TO FINAL ACCEPTANCE...
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SATISFACTORY COMPLETION OF ALL THE EARTHWORK IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS... NO DEVIATION FROM THESE SPECIFICATIONS SHALL BE MADE EXCEPT UPON WRITTEN APPROVAL BY THE SOILS ENGINEER, BOTH CUT AND FILL AREAS SHALL BE SURFACE COMPLETED TO THE SATISFACTION OF THE SOILS ENGINEER AT THE CONCLUSION OF ALL GRADING OPERATIONS AND PRIOR TO FINAL ACCEPTANCE...
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SATISFACTORY COMPLETION OF ALL THE EARTHWORK IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS... NO DEVIATION FROM THESE SPECIFICATIONS SHALL BE MADE EXCEPT UPON WRITTEN APPROVAL BY THE SOILS ENGINEER, BOTH CUT AND FILL AREAS SHALL BE SURFACE COMPLETED TO THE SATISFACTION OF THE SOILS ENGINEER AT THE CONCLUSION OF ALL GRADING OPERATIONS AND PRIOR TO FINAL ACCEPTANCE...

STORM DRAIN NOTES:

- 1. ALL STORM DRAIN PIPE SHALL BE PVC SDR 35, SLOPED AT 2% UNLESS OTHERWISE SPECIFIED ON THE PLANS. PIPE SHALL BE SIZED AS SPECIFIED ON THE PLANS. ALL DIRECTION CHANGES SHALL BE MADE WITH A WYE CONNECTION OR LONG SWEEP ELBOWS, REGULAR ELBOWS, AND TEES SHOULD BE AVOIDED...
2. USE DETECTABLE METALIZED WARNING TAPE APPROXIMATE 6" BELOW THE SURFACE. TAPE SHALL BE A BRIGHT COLOR AND IMPRINTED WITH "CAUTION- STORM DRAIN LINE BELOW, CALIFORNIA TYPE 2, OR EQUAL...
3. PAINT THE TOP OF THE CURBS ADJACENT TO EACH CATCH BASIN INSTALLED UNDER THE CURB OR ADJACENT TO THE SITE WITH THE WORDS "NO DUMPING". WORDING TO BE BLUE "4" HIGH LETTERS ON A PAINTED WHITE BACKGROUND...
4. ALL AREA DRAINS AND CATCH BASINS GRATES WITHIN PEDESTRIAN ACCESSIBLE AREAS SHALL MEET ADA REQUIREMENTS...
5. ALL TRENCHES SHALL BE BACKFILLED PER THE SPECIFICATIONS WITH APPROPRIATE TEST BY THE GEOTECHNICAL ENGINEER TO VERIFY COMPACTION VALUES...
6. FOR GRAVITY FLOW SYSTEMS CONTRACTOR SHALL VERIFY (POTHOLE IF NECESSARY) SIZE, MATERIAL, LOCATION AND DEPTH OF ALL SYSTEMS ARE TO BE CONNECTED TO STORM DRAIN SYSTEM PRIOR TO TRENCHING OR INSTALLATION OF ANY GRAVITY FLOW SYSTEM...
7. COMPLETE SYSTEMS: ALL UTILITY SYSTEMS ARE DELINEATED IN SCHEMATIC MANNER ON THESE PLANS. CONTRACTOR IS TO PROVIDE ALL FITTINGS, ACCESSORIES, AND WORK NECESSARY TO COMPLETE THE UTILITY SYSTEM SO THAT IT IS FULLY FUNCTIONING FOR THE PURPOSE INTENDED...
8. PRIVATE STORM DRAIN LINE 4-INCH THROUGH 12-INCH WITH A MINIMUM OF TWO (2) FEET OF COVER IN NON-TRAFFIC AREAS SHALL BE POLYVINYL CHLORIDE (PVC) SDR 35...
9. PRIVATE STORM DRAIN LINE 6-INCH THROUGH 12-INCH WITH LESS THAN 3 FEET OF COVER IN VEHICULAR TRAFFIC AREAS SHALL BE POLYVINYL CHLORIDE (PVC) G900, DATED 150 PSI C/D PE GAFF...
10. ALL DOWN SPOUTS SHALL DISCHARGE DIRECTLY ON TO ADJACENT IMPERVIOUS SURFACES OR SPLASH BLOCKS UNLESS OTHERWISE NOTED ON PLANS. SEE ARCHITECTURE PLANS FOR EXACT LOCATION OF THE DOWN SPOUTS.

STORM WATER POLLUTIONS PREVENTION REQUIREMENTS:

- 1. STORE, HANDLE AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER...
2. CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING SOLID WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASH WATER OR SEDIMENT, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATER COURSES...
3. USE SEDIMENT CONTROL OR FILTRATION TO REMOVE SEDIMENT FROM DEWATERING EFFLUENT...
4. AVOID CLEANING, FUELING, OR MAINTAINING VEHICLES ON SITE, EXCEPT IN A DESIGNATED AREA IN WHICH RUNOFF IS CONTAINED AND TREATED...
5. DELINEATE CLEARING LIMITS, EASEMENTS, SETBACKS, SENSITIVE OR CRITICAL AREAS, BUFFER ZONES, TREES AND DISCHARGE COURSE WITH FIELD MARKERS...
6. PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OF FILTERS, DICES, MULCHING, OR OTHER MEASURES AS APPROPRIATE...
7. PERFORM CLEARING AND EARTH MOVING ACTIVITIES DURING DRY WEATHER TO THE MAXIMUM EXTENT PRACTICAL...
8. LIMIT AND TIME APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF...
9. LIMIT CONSTRUCTION ACCESS ROUTES AND STABILIZE DESIGNATED ACCESS POINTS...
10. AVOID TRACKING DIRT OR MATERIALS OFF-SITE. CLEAN OFF-SITE PAVED AREAS AND SIDEWALKS USING DRY SWEEPING METHODS TO THE MAXIMUM EXTENT PRACTICAL...
11. ALL CONSTRUCTION ON OFF-SITE IMPROVEMENTS SHALL ADHERE TO BEST MANAGEMENT PRACTICES TO PREVENT DELETERIOUS MATERIALS OR POLLUTANTS FROM ENTERING THE CITY OR COUNTY STORM DRAIN SYSTEM...
12. SWEEP ALL GUTTERS AT THE END OF EACH WORKING DAY. GUTTERS SHALL BE KEPT CLEAN AFTER LEAVING CONSTRUCTION SITE.

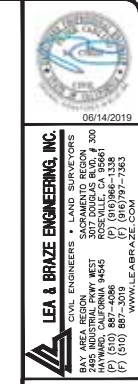
SUPPLEMENTAL MEASURES:

- A. THE PHRASE "NO DUMPING - DRAINS TO BAY" OR EQUIVALENTLY EFFECTIVE PHRASE MUST BE LABELED ON STORM DRAIN INLETS (BY STENCILING, BRANDING, OR PLACING AN ALER SIGN AT THE END OF EACH STORM DRAIN) TO PREVENT DIRECT DISCHARGE OF POLLUTANTS INTO THE STORM DRAIN...
B. USING FILTRATION MATERIALS ON STORM DRAIN COVERS TO REMOVE SEDIMENT FROM DEWATERING EFFLUENT...
C. STABILIZING ALL DENUDED AREAS AND MAINTAINING EROSION CONTROL MEASURES CONTINUOUSLY FROM OCTOBER 15 AND APRIL 15...
D. REMOVING SPILLS PROMPTLY, AND AVOID STOCKPILING OF FILL MATERIALS. WHEN RAIN IS FORECAST, IF RAIN THREATENS, STOCKPILING OF FILL MATERIALS SHALL BE COVERED WITH A TARP OR OTHER WATERPROOF MATERIAL...
E. STORING, HANDLING, AND DISPOSING OF CONSTRUCTION MATERIALS AND WASTES SO AS TO AVOID THEIR ENTRY TO THE STORM DRAIN SYSTEMS OR WATER BODY...
F. AVOIDING CLEANING, FUELING, OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN AN AREA DESIGNATED TO CONTAIN AND TREAT RUNOFF.

SITE MAINTENANCE:

- 1. REMOVE ALL DIRT, GRAVEL, RUBBISH, REFUSE, AND GREEN WASTE FROM STREET PAVEMENT AND STORM DRAINS ADJOINING THE SITE. LIMIT CONSTRUCTION ACCESS ROUTES TO THE SITE AND PLACE GRAVEL PADS AT THESE LOCATIONS. DO NOT DRIVE VEHICLES AND EQUIPMENT ON THE PAVED OR GRAVELLED AREAS DURING WET WEATHER...
2. SWEEP OR VACUUM THE STREET PAVEMENT AND SIDEWALKS ADJOINING THE PROJECT SITE AND THE ON-SITE PAVED AREAS ON A DAILY BASIS. SCRAPER C CARDED-ON MUD AND DIRT FROM THESE AREAS BEFORE SWEEPING. CORNERS AND HARD TO REACH AREAS SHALL BE SWEEP MANUALLY USING STORM WATER AND/OR REMOVED ON A REGULAR BASIS. WHEN APPROPRIATE, USE TARPS ON THE GROUND TO COLLECT FALLEN DEBRIS OR SPLATTERS THAT COULD CONTRIBUTE TO STORM WATER RUNOFF POLLUTION...
3. CONTRACTOR SHALL: GATHER ALL CONSTRUCTION DEBRIS ON A REGULAR BASIS AND PLACE IT IN A DUMPSTER OR OTHER CONTAINER WHICH IS EMPTIED OR REMOVED ON A REGULAR BASIS. WHEN APPROPRIATE, USE TARPS ON THE GROUND TO COLLECT FALLEN DEBRIS OR SPLATTERS THAT COULD CONTRIBUTE TO STORM WATER RUNOFF POLLUTION...
4. IF THE STREET, SIDEWALKS AND/OR PARKING LOT ARE PRESSURE WASHED, DEBRIS MUST BE TRAPPED AND COLLECTED TO PREVENT ENTRY INTO THE STORM DRAIN SYSTEM. NO CLEANING AGENT MAY BE DISCHARGED INTO THE STORM DRAIN. IF ANY CLEANING AGENT OR DETERGENT IS USED, WASHED WATER MUST BE COLLECTED AND DISCHARGED TO THE SANITARY SEWER, SUBJECT TO THE APPROVAL OF THE OWNER'S PROJECT MANAGER, OR OTHERWISE DISPOSED OF THROUGH APPROVED DISPOSAL METHODS...
5. CREATE A CONTAINED AND COVERED AREA ON THE SITE FOR THE STORAGE OF BAGS, CEMENT, PAINTS, OILS, FERTILIZERS, PESTICIDES, OR OTHER MATERIAL USED ON THE SITE THAT HAVE THE POTENTIAL OF BEING WIND-BLOWN OR IN THE EVENT OF A MATERIAL SPILL...
6. NEVER LEAVE MACHINERY, EQUIPMENT OR TOOLS INTO A STREET, GUTTER OR STORM DRAIN...
7. ENSURE THAT GEMENT TRUCKS, PAINTERS, OR STUCCO/PLASTER FINISHING CONTRACTORS DO NOT DISCHARGE WASH WATER FROM EQUIPMENT, TOOLS OR RINSE CONTAINERS INTO GUTTERS OR DRAINS...
8. THE ON-SITE STORM DRAIN FACILITIES SHALL BE CLEANED A MINIMUM OF TWICE A YEAR AS FOLLOWS: IMMEDIATELY PRIOR TO OCTOBER 15TH AND ONCE IN JANUARY. ADDITIONAL CLEANING MAY BE REQUIRED IF FOUND NECESSARY BY THE CITY ENGINEER/INSPECTOR. CONTRACTOR SHALL BE RESPONSIBLE FOR COST ASSOCIATED WITH CLEANING...
9. PREVENT DUST FROM LEAVING THE SITE AND ACCUMULATING ON ADJACENT AREAS AS REQUIRED IN THE DUST CONTROL NOTES ON THIS SHEET...
10. PREVENT SEDIMENT LADEN STORM RUN-OFF FROM LEAVING THE SITE OR ENTERING STORM DRAIN OR SANITARY SEWER SYSTEMS AS REQUIRED IN THE EROSION AND SEDIMENTATION CONTROL NOTES ON THIS SHEET...
11. MAINTAIN EXISTING TREES AND PLANTS THAT ARE TO REMAIN AS REQUIRED BY THE TREE AND PLANT PROTECTION NOTES ON THE SHEET.

NOTE: THESE NOTES ARE INTENDED TO BE USED AS A GENERAL GUIDELINE. THE REFERENCED NOTES REPORT FOR THE PROJECT AND GOVERNING AGENCY GRADING OPERATIONS SHALL SUPERSEDE THESE NOTES. THE SOILS ENGINEER MAY MAKE ON-SITE REMEDIATION DURING GRADING OPERATIONS.



115 EL CAMINO REAL MENLO PARK, CA 94025

FOR CONDOMINIUM PURPOSES GRADING SPECIFICATIONS

APR. 07/14-33-330

Table with 3 columns: Item, Date, and Status. Includes PLAN CHECK 12-24-18, PLAN CHECK 2-20-19, and REVISIONS BY.

JOB NO: 2180306 DATE: 10-10-18 SCALE: NO SCALE DESIGN BY: RB/PVC DRAWN BY: RP/WA SHEET NO:

**DUST CONTROL NOTES:**

1. WATER TRUCKS SHALL BE PRESENT AND IN USE AT THE CONSTRUCTION SITE. ALL PORTIONS OF THE SITE SUBJECT TO BLOWING DUST SHALL BE WATERED AS OFTEN AS DEEMED NECESSARY BY THE APPROPRIATE GOVERNMENTAL AGENCY IN ORDER TO ENSURE PROPER CONTROL OF BLOWING DUST FOR THE DURATION OF THE PROJECT.
2. WATERING ASSOCIATED WITH ON-SITE CONSTRUCTION ACTIVITY SHALL TAKE PLACE BETWEEN THE ESTABLISHED CONSTRUCTION HOURS AND SHALL INCLUDE AT LEAST ONE LATE-AFTERNOON WATERING TO MINIMIZE THE EFFECTS OF BLOWING DUST.
3. ALL PUBLIC STREETS AND MEDIANS SOILED OR LITTERED DUE TO THIS CONSTRUCTION ACTIVITY SHALL BE CLEANED AND SWEEP ON A DAILY BASIS DURING THE WORK WEEK, OR AS OFTEN AS DEEMED NECESSARY BY THE OWNER'S ENGINEER/INSPECTOR, TO THE SATISFACTION OF THE CITY'S DEPARTMENT OF PUBLIC WORKS.
4. WATERING ON PUBLIC STREETS OR POWER WASHING SEDIMENTATION ON STREETS SHALL NOT OCCUR, UNLESS CONTRACTOR COLLECTS AND FILTERS THE WASH WATER PRIOR TO ITS ENTERING THE CITY'S STORM DRAIN SYSTEM.
5. ON-SITE PAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS SHALL BE SWEEP DAILY WITH A WATER SWEEPER.
6. WHEEL WASHERS SHALL BE INSTALLED AND USED TO CLEAN ALL TRUCKS AND EQUIPMENT LEAVING THE CONSTRUCTION SITE. IF WHEEL WASHERS CANNOT BE INSTALLED, TIRES OR TRACKS OF ALL TRUCKS AND EQUIPMENT SHALL BE WASHED OFF BEFORE LEAVING THE CONSTRUCTION SITE.
7. GRADING OR ANY OTHER OPERATIONS THAT CREATES DUST SHALL BE STOPPED IMMEDIATELY IF DUST AFFECTS ADJACENT PROPERTIES. THE CONTRACTOR SHALL PROVIDE SUFFICIENT WATER TO SUPPRESS DUST TO THE MAXIMUM EXTENT POSSIBLE IN ACCORDANCE WITH THE PROJECT SWPPP AT ALL TIMES. THE SITE SHALL BE SPRINKLED AS NECESSARY TO PREVENT DUST NUISANCE. IN THE EVENT THAT THE CONTRACTOR REQUESTS TO USE ADDITIONAL MEASURES TO CONTROL DUST, THE CITY RESERVES THE RIGHT TO TAKE WHATEVER MEASURES ARE NECESSARY TO CONTROL DUST AND CHARGE THE COST TO THE CONTRACTOR.
8. THE PERMITEE IS RESPONSIBLE FOR DUST CONTROL MEASURES AND FOR OBTAINING ALL REQUIRED PERMITS AND APPROVALS. ALL GRADING OPERATIONS SHALL BE SUSPENDED DURING SECOND (OR WORSE) STAGE SMOG ALERTS.
9. ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS SHALL BE COVERED WITH TARPULINS OR OTHER EFFECTIVE COVERS.

**EARTHWORK QUANTITY NOTES:**

1. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE QUANTITIES OF ALL FORMS OF EARTHWORK ON THIS PROJECT AND BASING THE BID ON THOSE QUANTITIES WITH FULL KNOWLEDGE THAT ADDITIONAL PROCESSES - INCLUDING ENGINEERING - AND QUANTITIES ARE ALSO TO BE INCLUDED IN THE BID PER THE FOLLOWING NOTES.
2. THE CONTRACTOR SHALL MAKE AN INITIAL DETERMINATION OF THE QUANTITIES, BASED ON A DETAILED SITE VISIT, THE TOPOGRAPHIC SURVEY, THE GEOTECHNICAL REPORT, THE FINISH GRADES SHOWN ON THESE DRAWINGS, THE SIZE AND EXTENT OF FOOTINGS, THE PREPARATION AND MATERIALS USED FOR BUILDING SLABS, PAVEMENT SECTIONS, AND THE SIZE AND DEPTH OF UTILITY TRENCHES, INCLUDING THE UTILITY CONTRACTORS ANTICIPATED RE-USE OF EXISTING MATERIAL FOR BACKFILL IF ANY.
3. THE CONTRACTOR SHALL MEET THE GRADES SHOWN ON THE DRAWINGS, ADJUSTING THE AMOUNT OF IMPORT OR EXPORT AS REQUIRED TO DO SO. NO ASSUMPTIONS SHOULD BE MADE ABOUT THE SITE BALANCE. NO ADJUSTMENTS TO THE GRADE SHALL BE PERMITTED UNLESS SPECIFICALLY APPROVED BY ARCH/ENR IN WRITING AFTER THE IMPACT OF ANY GRADE CHANGES (IMPACT TO RAMPS, STAIRS, WORK BY OTHERS, ETC) HAS BEEN THOROUGHLY REVIEWED BY THE ARCH/ENR. WHEN REPAIRING WORK SUGS, DO NOT ASSUME ANY CHANGES TO THE FINISHED GRADES SHOWN ON THESE DRAWINGS WILL BE PERMITTED.

**RECORD DRAWINGS:**

1. THE CONTRACTOR SHALL KEEP UP-TO-DATE AND ACCURATE A COMPLETE RECORD SET OF PRINTS OF THE CONTRACT DRAWINGS SHOWING EVERY CHANGE FROM THE ORIGINAL DRAWINGS MADE DURING THE COURSE OF CONSTRUCTION INCLUDING EXACT FINAL LOCATION, ELEVATION, SIZES, MATERIALS, AND DESCRIPTION OF ALL WORK. RECORDS SHALL BE "BOUND" ON A SET OF CONSTRUCTION PLAN DRAWINGS. PRINTS SHALL BE SUBMITTED TO THE CITY ENGINEER AND DEVELOPERS CIVIL ENGINEER PRIOR TO FINAL ACCEPTANCE FOR REVIEW AND APPROVAL BY THE CITY/TOWN ENGINEER AND DEVELOPER'S CIVIL ENGINEER.

**SIGNING & STRIPING NOTES:**

1. ALL SIGNING AND STRIPING TO BE PER CALTRANS STANDARDS UNLESS NOTED TO BE PER CITY STANDARDS.
2. ALL SIGNS FOR MOTORIST DIRECTIONS SHALL BE METAL WITH BEADED REFLECTIVE PAINT. SUPPORTING POSTS SHALL BE 2-1/2" DIAMETER GALVANIZED PIPE CAST INTO A 10" DIAMETER BY 24" DEEP CONCRETE FOOTING BOTTOM OF SIGN SHALL BE 72" ABOVE FINISH GRADE, UNLESS NOTED OTHERWISE.
3. WHERE THE FOLLOWING SYMBOLS OCCUR ON THE DRAWINGS PROVIDE THE SPECIFIED SIGNING AND/OR STRIPING.
  - A. PROVIDE A VAN ACCESSIBLE STALL WITH BOTH PAVEMENT MARKINGS AND FINE-STANDING SIGN AS IDENTIFIED IN DETAIL:
  - B. PROVIDE CALTRANS TYPE (V)(L) (RSP A24A)
  - C. PROVIDE CALTRANS TYPE (V)(R) (RSP A24A)
  - D. PROVIDE 1' WIDE x 10' LONG WHITE LINE W/ CALTRANS A240 STOP MARKER
  - E. FIRE LANE - MUST BE PAINTED RED WITH "FIRE LANE NO PARKING", 3" HEIGHT WHITE LETTER EVERY 25'.
  - F. LOADING AND UNLOADING ZONE - MUST BE PAINTED YELLOW WITH "LOADING / UNLOADING NO PARKING", 3" HEIGHT LETTER EVERY 25'.
4. TRAFFIC SHALL BE MAINTAINED AT ALL TIMES AND SHALL BE PROTECTED WITH ADEQUATE BARRICADES, LIGHTS, SIGNS AND WARNING DEVICES AS PER THE CURRENT STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION, MANUAL OF TRAFFIC CONTROLS AND TO THE DIRECTION OF THE CITY'S INSPECTOR.

**GENERAL UTILITY SYSTEM NOTES:**

1. ALL TRENCHES SHALL BE BACKFILLED PER THE GEOTECHNICAL ENGINEER RECOMMENDATIONS.
2. CLEAN OUTS, CATCH BASINS AND AREA DRAINS ARE TO BE ACCURATELY LOCATED BY THEIR RELATIONSHIP TO THE BUILDING, FLATWORK, ROOF DRAINS, AND/OR CURB LAYOUT, NOT BY THE LENGTH OF PIPE SPECIFIED IN THE DRAWINGS (WHICH IS APPROXIMATE).
3. CONTRACTOR SHALL STAKE LOCATION OF ABOVE GROUND UTILITY EQUIPMENT (BACKFLOW PREVENTER, SATEL DISCH. TRANSFORMER, GAS METER, ETC.) AND MEET WITH OWNER TO REVIEW LOCATION PRIOR TO INSTALLATION. PLANNING DEPARTMENT MUST SPECIFICALLY AGREE WITH LOCATION PRIOR TO PROCEEDING WITH THE INSTALLATION.
4. CONTRACTOR SHALL PREPARE AN ACCURATE COMPOSITE UTILITY PLAN THAT TAKES INTO ACCOUNT THE ACTUAL LOCATION OF EXISTING UTILITIES AS DETERMINED DURING THE DEMOLITION WORK. THE UTILITIES SHOWN ON THE DRAWINGS, AND THE SITE POWER, CONDUITS AND LIGHTING SHOWN ON THE ELECTRICAL PLANS, THE FIRE SPRINKLER SYSTEM SHALL BE INCLUDED AS DESIGNED BY THE DESIGN/BUILD UNDERGROUND FIRE SPRINKLER CONTRACTOR.
5. CATHODIC PROTECTION MAY BE REQUIRED ON ALL METALLIC FITTINGS AND ASSEMBLIES THAT ARE IN CONTACT WITH SOIL, IF RECOMMENDED BY THE GEOTECHNICAL REPORT. CONTRACTOR IS RESPONSIBLE TO FULLY ENGINEER AND INSTALL THIS SYSTEM AND COORDINATE ANODE AND TEST STATION LOCATIONS WITH THE OWNER'S PROJECT MANAGER.
6. COMPLETE SYSTEMS: ALL UTILITY SYSTEMS ARE DELINEATED IN A SCHEMATIC MANNER ON THESE PLANS. CONTRACTOR IS TO PROVIDE ALL FITTINGS, ACCESSORIES, AND WORK NECESSARY TO COMPLETE THE UTILITY SYSTEM SO THAT IT IS FULLY FUNCTIONING FOR THE PROJECT.
7. UNDERGROUND UTILITIES OR STRUCTURES ARE SHOWN IN THEIR APPROXIMATE LOCATION AND EXTENT BASED UPON RECORD INFORMATION. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE ON THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. THE OWNER, BY ACCEPTING THESE PLANS OR PROCEEDING WITH IMPROVEMENTS PURSUANT THERETO, AGREES TO ASSUME LIABILITY AND TO HOLD THE UNDERSIGNED HARMLESS FOR ANY DAMAGES RESULTING FROM THE EXISTENCE OF UNDERGROUND UTILITIES OR STRUCTURES NOT REPORTED TO THE UNDERSIGNED; NOT INDICATED ON THE PUBLIC RECORDS EXAMINED, LOCATED AT VARIANCE WITH THOSE REPORTED OR SHOWN ON RECORDS EXAMINED.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES FROM DAMAGE DURING COMPACTION OF ROADWAY SUBGRADE AND PRIOR TO PLACEMENT OF FINAL PAVEMENT SECTIONS.
9. CONTRACTOR SHALL VERIFY ALL EXISTING INVERT ELEVATIONS FOR STORM DRAIN AND SANITARY SEWER CONSTRUCTION PRIOR TO COMMENCEMENT OF ANY WORK. ALL WORK FOR STORM AND SANITARY SEWER INSTALLATION SHALL BEGIN AT THE DOWNSTREAM CONNECTION POINT. THIS WILL ALLOW FOR ANY NECESSARY ADJUSTMENTS TO BE MADE PRIOR TO THE INSTALLATION OF THE ENTIRE LINE. IF THE CONTRACTOR FAILS TO BEGIN AT THE DOWNSTREAM CONNECTION POINT AND WORKS UP STREAM, HE SHALL PROCEED AT HIS OWN RISK AND BE RESPONSIBLE FOR ANY ADJUSTMENTS NECESSARY. CONTRACTOR SHALL VERIFY LOCATION OF SANITARY SEWER LATERAL WITH OWNER PRIOR TO CONSTRUCTION.
10. EXISTING UTILITY CROSSINGS OF THE NEW PIPELINE ARE SHOWN ACCORDING TO THE BEST AVAILABLE INFORMATION. GAS, WATER AND SEWER SERVICE LATERALS ARE SHOWN ACCORDING TO THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE TYPE, SIZE, LOCATION, AND DEPTH OF ALL EXISTING UTILITIES (BOTH MAINS AND LATERALS) ARE CORRECT AS SHOWN. NO GUARANTEE IS MADE THAT ALL EXISTING UTILITIES (BOTH MAINS AND LATERALS) ARE SHOWN. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN EXCAVATING AND SHALL PROTECT ALL EXISTING UTILITIES (BOTH MAINS AND LATERALS) FROM DAMAGE DUE TO HIS OPERATION.
11. CONTRACTOR SHALL UNCOVER AND EXPOSE ALL EXISTING UTILITY AND SEWER LINES WHERE THEY ARE TO BE CROSSED ABOVE OR BELOW BY THE NEW FACILITY BEING CONSTRUCTED IN ORDER TO VERIFY THE GRADE AND TO ENSURE THAT THERE IS SUFFICIENT CLEARANCE.

**VERTICAL SEPARATION REQUIREMENTS:**  
A MINIMUM OF SIX (6) INCHES VERTICAL CLEARANCE SHALL BE PROVIDED BETWEEN CROSSING UTILITY PIPES, EXCEPT THAT THE MINIMUM VERTICAL CLEARANCE BETWEEN WATER AND SANITARY SEWER PIPELINES SHALL BE 12 INCHES AND ALL NEW WATER PIPES SHALL BE TYPICALLY INSTALLED TO CROSS ABOVE/OVER EXISTING SANITARY SEWER PIPELINES.

WHERE NEW WATER PIPELINES ARE REQUIRED TO CROSS UNDER EXISTING AND/OR NEW SANITARY SEWER PIPELINES, THE MINIMUM VERTICAL SEPARATION SHALL BE 12 INCHES. WATER LINE PIPE ENDS SHALL BE INSTALLED NO CLOSER THAN 10" MINIMUM HORIZONTAL DISTANCE FROM CENTERLINE OF UTILITY CROSSINGS WHERE FEASIBLE.

**HORIZONTAL SEPARATION REQUIREMENTS:**  
A MINIMUM HORIZONTAL SEPARATION BETWEEN NEW PIPELINES AND JOINT TRENCH SHALL BE 5 FEET.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING APPROPRIATE UTILITIES AND REQUESTING VERIFICATION OF SERVICE POINTS, FIELD VERIFICATION OF LOCATION, SIZE, DEPTH, ETC. FOR ALL THEIR FACILITIES AND TO COORDINATE WORK SCHEDULES.

**GENERAL UTILITY SYSTEM NOTES:**

1. THE UNDERGROUND FIRE PROTECTION SYSTEM SHOWN ON THIS DRAWING IS SCHEMATIC AND IS NOT INTENDED TO BE AN INSTALLATION DRAWING. THE UTILITY DRAWING IN THIS SET OF DOCUMENTS SHALL NOT BE USED AS A BASE SHEET FOR SHOP DRAWINGS WITHOUT WRITTEN APPROVAL FROM THE CIVIL ENGINEER.
2. THE UNDERGROUND FIRE PROTECTION SYSTEM INSTALLER SHALL PREPARE SHOP DRAWINGS SHOWING ALL INFORMATION REQUIRED BY THE LOCAL FIRE MARSHALL INCLUDING LOCATION, TYPE AND NUMBER OF ANGLES, THRUST BLOCKS, VALVES, FIRE HYDRANTS, PIV'S, FDC'S, BACKFLOW ASSEMBLIES, FLEXIBLE CONNECTIONS, VAULTS, AND FLOW CALCULATIONS TO FIRE HYDRANTS, AND SPRINKLER RISERS PER THE FIRE FLOW REQUIRED BY LOCAL FIRE DEPARTMENT.
3. SHOP DRAWINGS SHALL BE SUBMITTED TO THE LOCAL FIRE MARSHALL, THE RATING ENGINEER AND THE CIVIL ENGINEER, ALLOWING TIME TO REVIEW AND ACCEPTANCE, PRIOR TO START OF WORK.
4. THE UNDERGROUND FIRE PROTECTION INSTALLER SHALL OBTAIN ALL APPROVALS AND PERMITS PRIOR TO ORDERING MATERIALS, FABRICATING SYSTEMS OR ANY INSTALLATION.
5. BOTTOM OF BACKFLOW PREVENTOR OR ASSEMBLY TO BE INSTALLED NO GREATER OR LESS THAN 12" FROM FINISH GRADE UNLESS APPROVED BY CIVIL ENGINEER.
6. GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS AND EQUIPMENT LOCATIONS. RISER LOCATIONS ARE SHOWN ON ARCHITECTURAL AND PLUMBING DRAWINGS AND ARE TO BE COORDINATED WITH THE ACTUAL FIELD CONDITIONS.
7. INSTALL MONITORED TAMPER SWITCHES AT ALL PIV'S AND VALVES ON DETECTOR CHECK ASSEMBLIES.
8. INSTALL DETECTABLE METALIZED WARNING TAPE APPROXIMATELY 6" - 12" BELOW THE SURFACE, BLUE, IMPRINTED WITH "CAUTION- FIRE SERVICE LINE BELOW", CALPICO TYPE 2 OR EQUAL.
9. MIN. 5 FEET CLEARANCE FROM BACK OF CURB TO FHS, PIV'S, AND FDC'S.
10. UNDERGROUND FIRE PROTECTION SYSTEM INCLUDING HYDRANT ASSEMBLY, P.I.V., F.D.C., FITTING PIPE AND THRUSTBLOCKS TO BE IN ACCORDANCE WITH LOCAL FIRE PROTECTION DISTRICT SPECIFICATIONS, REQUIREMENTS AND NOTES.

**WATER NOTES:**

1. WHERE WATER LINES HAVE TO CROSS SANITARY SEWER LINES, DO SO AT A 90 DEGREE ANGLE AND WATER LINES SHALL BE MINIMUM OF 12" ABOVE THE TOP OF THE SANITARY SEWER LINES.
2. WATER LINES ARE SHOWN SCHEMATICALLY; CONTRACTOR SHALL IDENTIFY EACH ANGLE AND/ OR BEND THAT MAY BE REQUIRED TO ACCOMPLISH THE INTENDED DESIGN.
3. USE DETECTABLE METALIZED WARNING TAPE APPROXIMATELY 6" BELOW THE SURFACE. TAPE SHALL BE A BRIGHT COLOR AND IMPRINTED WITH "CAUTION-WATER LINE BELOW", CALPICO TYPE 2 OR EQUAL.
4. ALL WATER SERVICE CONNECTIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY/TOWN OR APPLICABLE WATER DISTRICT STANDARDS.
5. PUBLIC AND PRIVATE WATER MAIN AND WATER SERVICE LINE 4-INCH THROUGH 12-INCH SHALL BE POLYVINYL CHLORIDE (PVC) AND SHALL MEET AWWA C900, RATED FOR 200 PSI CLASS PIPE WITH EPOXY COATED DUCTILE IRON FITTINGS AND FUSION EPOXY COATED GATE VALVES. ALL JOINTS SHALL FACTORY MANUFACTURED WITH BEL AND SPOOT ENDS AND RUBBER GASKETS. NONMETALLIC WATER LINES HAVE TRACER WIRE INSTALLED PER CITY/TOWN STANDARDS.
6. CONNECTION TO THE EXISTING WATER MAIN SHALL BE APPROVED BY THE CITY/TOWN. THE DEVELOPER SHALL PAY THE ACTUAL COSTS OF CONSTRUCTION. THE CONTRACTOR SHALL PERFORM ALL EXCAVATION PREPARE THE SITE, FURNISH ALL MATERIALS, INSTALL TAPPING TEE VALVE AND ALL THRUST BLOCKS, BACKFILL, RESTORE THE SURFACE, AND CLEANUP. THE CITY WILL PROVIDE THE DEVELOPER WITH A LIST OF APPROVED CONTRACTORS FOR MAKING WET TAPS.
7. ALL WATER LINES 3" OR SMALLER SHALL BE TYPE K COPPER WITH SILVER BRAZED JOINTS. CONTRACTOR TO VERIFY PRESSURES FROM EXISTING LINES ARE ADEQUATE TO SERVICE BUILDINGS AS SPECIFIED BY THE PLUMBING PLANS.
8. ALL WATER LINES SHALL BE INSTALLED WITH 3" MINIMUM COVER.
9. ALL WATER VALVES SHALL BE PER CITY/WATER DISTRICT STANDARD.
10. ALL TEMPORARY AND/OR PERMANENT AIR-RELEASE AND BLOW-OFF VALVES SHALL BE PER CITY STANDARD AND AS DIRECTED BY THE CITY ENGINEER.
11. CONCRETE THRUST BLOCKS SHALL BE INSTALLED AT ALL TEES, CROSSES, BENDS (HORIZONTAL AND VERTICAL), AT SIZE CHANGES AND AT FIRE HYDRANTS PER CITY STANDARD. AWWA C650, SECTION 3.8 UNLESS NOTED OTHERWISE.
12. MECHANICALLY RESTRAINED JOINTS SHALL BE INSTALLED AT VERTICAL BENDS IN ACCORDANCE WITH CITY STANDARDS AND AS APPROVED BY THE CITY ENGINEER.
13. ALL WATER VALVES SHALL BE CLUSTERED, UNLESS OTHERWISE DIRECTED BY THE CITY ENGINEER OR WATER DISTRICT.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COLLECTING AND DELIVERING WATER SAMPLES FOR ANALYSIS TO A CITY APPROVED LAB.
15. ALL ON AND OFF-SITE LANDSCAPE IRRIGATION SYSTEMS SHALL BE IN ACCORDANCE WITH THE LANDSCAPE ARCHITECTURAL PLANS AND SPECIFICATIONS AND SHALL BE CONNECTED TO THE EXISTING AND/OR NEW WATER SYSTEM AND METERED ACCORDINGLY.
16. INSTALL CITY/TOWN APPROVED PRESSURE REGULATOR AND REDUCED BACKFLOW PREVENTOR ON WATER LINE AT ENTRANCE TO BUILDING REFERENCE PLUMBING PLANS FOR MORE DETAIL.

**SANITARY SEWER NOTES:**

1. INSTALL DETECTABLE METALIZED WARNING TAPE APPROXIMATELY 6"-12" BELOW THE SERVICE IN NON-PAVED AREAS, AND AT THE BOTTOM OF BASECOURSE OR PAVED AREAS. GREEN IMPRINTED WITH "CAUTION- SANITARY SEWER LINE BELOW", CALPICO TYPE 2 OR EQUAL.
2. ALL SEWER WORK SHALL BE IN CONFORMANCE WITH THE CITY/TOWN OR APPROPRIATE SANITARY SEWER DISTRICT.
3. PUBLIC AND PRIVATE SANITARY SEWER MAIN AND SERVICE LINE 4-INCH THROUGH 8-INCH SHALL BE POLYVINYL CHLORIDE (PVC) SDR 26 SEWER PIPE.
4. WHERE CONNECTION IS TO BE MADE TO AN EXISTING SEWER OR STRUCTURE, SAID EXISTING SEWER OR STRUCTURE SHALL BE UNCOVERED AND CHECKED FOR LOCATION AND ELEVATION PRIOR TO STAKING NEW SEWER DEPTH AND LOCATION. ANY DISCREPANCY BETWEEN THE PLANS AND THE FIELD INFORMATION SHALL BE REPORTED IMMEDIATELY TO THE ENGINEER.
5. MINIMUM SLOPE FOR SITE SANITARY SEWER PIPES SHALL BE CURRENT UPC REQUIREMENTS:  
4" Ø 2%  
6" Ø 1%  
8" & LARGER 0.5%
6. ALL LATERALS SHALL HAVE A CLEANOUT AT THE FACE OF THE BUILDING AND AT THE PROPERTY LINE, AS SHOWN ON THE PLANS AND PER THE CITY/TOWN STANDARDS OR APPROPRIATE SANITARY SEWER DISTRICT.

**TREE/PLANT PROTECTION NOTES:**

1. PRIOR TO BEGINNING CONSTRUCTION ON SITE, CONTRACTOR SHALL IDENTIFY, CONFIRM WITH OWNER AND PROTECT EXISTING TREES AND PLANTS DESIGNATED AS TO REMAIN.
2. PROVIDE 6 FOOT TALL TREE PROTECTION FENCE WITH DISTINCTIVE MARKING VISIBLE TO CONSTRUCTION EQUIPMENT, ENCLASING DRIP LINES OF TREES DESIGNATED TO REMAIN.
3. WORK REQUIRED WITHIN FENCE LINE SHALL BE HELD TO A MINIMUM, AVOID USE OF HEAVY EQUIPMENT WITHIN FENCED AREA AND DO NOT PARK ANY VEHICLES UNDER DRIP LINE OF TREES. DO NOT STORE EQUIPMENT OR MATERIALS WITHIN FENCE LINE.
4. PRIOR TO REMOVING ROOTS AND BRANCHES LARGER THAN 2" IN DIAMETER OF TREES OR PLANTS THAT IS TO REMAIN, CONSULT WITH THE OWNER'S PROJECT MANAGER.
5. ANY GRADE CHANGES GREATER THAN 6" WITHIN THE DRIPLINE OF EXISTING TREES SHALL NOT BE MADE WITHOUT FIRST CONSULTING THE LANDSCAPE ARCHITECT / CIVIL ENGINEER.
6. PROTECT EXISTING TREES TO REMAIN FROM SPILLED CHEMICALS, FUEL OIL, MOTOR OIL, GASOLINE AND ALL OTHER CHEMICALLY HAZARDOUS MATERIALS AS WELL AS FROM PUDDING OR CONTINUOUSLY RUNNING WATER. SHOULD A SPILL OCCUR, STOP WORK IN THAT AREA AND CONTACT THE CITY'S ENGINEER / INSPECTOR IMMEDIATELY. CONTRACTOR SHALL BE RESPONSIBLE TO MITIGATE DAMAGE FROM SPILLED MATERIAL AS WELL AS MATERIAL CLEAN UP.
7. PROVIDE TEMPORARY IRRIGATION TO ALL TREES AND PLANTS THAT ARE IN OR ADJACENT TO CONSTRUCTION AREAS WHERE EXISTING IRRIGATION SYSTEMS MAY BE AFFECTED BY THE CONSTRUCTION. ALSO PROVIDE TEMPORARY IRRIGATION TO RELOCATE TREES.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR ONGOING MAINTENANCE OF ALL TREES AND PLANTS DESIGNED TO REMAIN AND FOR MAINTENANCE OF RELOCATED TREES STOCKPILED DURING CONSTRUCTION. CONTRACTOR WILL BE REQUIRED TO REPLACE TREES OR PLANTS THAT DIE DUE TO LACK OF MAINTENANCE. WORK INCLUDING CLEARING.

**HORIZONTAL CONTROL NOTES:**

1. CONTRACTOR SHALL LAYOUT THE CONTROL FOR THE SITE AS SPECIFIED ON HORIZONTAL CONTROL SHEET. CONTRACTOR SHALL CLEARLY SET AND MARK EACH OF THE CONTROL POINTS, PROTECTING THE POINTS THROUGHOUT CONSTRUCTION.
2. ALL DIMENSIONS ON THE PLANS ARE IN FEET OR DECIMALS THERE OF UNLESS SPECIFICALLY CALLED OUT AS FEET AND INCHES.
3. ALL BUILDINGS, DRIVEWAYS AND PARKING LOTS ARE TO BE PARALLEL AND RIGHT ANGLES TO THE BASIS OF BEARINGS UNLESS IDENTIFIED OR CLEARLY SHOWN AS A DIFFERENT ANGLE.
4. ALL RETURN RADI AND CURB DATA ARE TO FACE OF CURB, UNLESS OTHERWISE SHOWN OR INDICATED.

**PAVEMENT SECTION:**

1. SEE SHEET C-3 FOR ALL PAVEMENT SECTIONS.
2. SEE STRUCTURAL DRAWINGS FOR BUILDING SLAB SECTIONS AND PAD PREPARATIONS.
3. SEE GRADING AND DETAIL SHEETS FOR FLATWORK SECTIONS AND BASE REQUIREMENTS.
4. EXISTING PAVEMENT SHALL BE TACK COATED PRIOR TO CONSTRUCTING NEW PAVEMENT.
5. THE FINAL OR SURFACE LAYER OF ASPHALT CONCRETE SHALL NOT BE PLACED UNTIL ALL ON-SITE IMPROVEMENTS HAVE BEEN COMPLETED, INCLUDING ALL GRADING, AND ALL UNACCEPTABLE CONSTRUCTION WORK HAS BEEN REMOVED AND REPLACED, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER AND/OR DEVELOPER'S CIVIL ENGINEER.
6. ALL PAVING SHALL BE IN CONFORMANCE WITH THE LATEST EDITION OF CALTRANS STANDARD SPECIFICATIONS.

**NOTE:**  
THESE NOTES ARE INTENDED TO BE USED AS A GENERAL GUIDELINE. THE REFERENCED SOILS REPORT FOR THE PROJECT AND GOVERNING AGENCY GRADING ORDINANCE SHALL SUPERSEDE THESE NOTES. THE SOILS ENGINEER MAY MAKE ON-SITE RECOMMENDATIONS DURING GRADING OPERATIONS.



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**MENLO PARK, CA 94025**  
SAN MATEO COUNTY  
APR. 071-433-330

**TENTATIVE MAP**  
**FOR CONDOMINIUM PURPOSES**  
**GRADING**  
**SPECIFICATIONS**

PLAN CHECK	PC
12-24-18	
PLAN CHECK	PC
2-20-19	
-	-
-	-
-	-
REVISIONS	BY
JOB NO:	2180306
DATE:	10-10-18
SCALE:	NO SCALE
DESIGN BY:	RP/PC
DRAWN BY:	RP/WA
SHEET NO:	



