



BIM 360/Tarlton - MenloParkLabs/10025002\_A\_1005OBD\_SHELL\_2020\_Central.rvt



985 & 1001 O'BRIEN DR  
1320 WILLOW RD  
MENLO PARK, CA 94025

04-15-2021 D.R.T. REVIEW  
06-23-2021 C.U.P. SUBMITTAL  
10-28-2021 C.U.P. RESPONSE 1  
06-22-2022 C.U.P. RESPONSE 2  
10-28-2022 C.U.P. RESPONSE 3  
02-17-2023 C.U.P. RESPONSE 4

COVER SHEET



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# 985 & 1001 O'BRIEN DRIVE 1320 WILLOW ROAD MENLO PARK, CA 94025

PROJECT DATA

PROJECT TEAM

**BASE FLOOD ELEVATION:** 12.8 FT

**PROJECT SITE AREA:** 183,616 SF

**MUNICIPAL CODE:**

**PHASE 1:**

CBC 2019

BUILDING OCCUPANCY: BUSINESS (B)

TYPE OF CONSTRUCTION: I-B

FIRE PROTECTION: FULLY SPRINKLERED

ALLOWABLE AREA: UNLIMITED

ALLOWABLE HEIGHT: 180 FT; 12 STORIES

SITE: 123,738 SF

(N) 1005 O'BRIEN DR: 154,381 SF (1.25 FAR)

**PHASE 2:**

SITE: 59,878 SF

(N) 1320 WILLOW RD: 73,617 SF (1.23 FAR)

**SUMMARY:**

R&D AREA: 227,998 SF (1.24 FAR)

**ZONING REQUIREMENTS:**

LEGAL JURISDICTION: MENLO PARK, CA

ZONING DESIGNATION: LS-B

MAXIMUM HEIGHT: 110 FT + 10 FT FLOOD ZONE

FAR MAX (1.25): 229,520 SF

COMMERCIAL FAR MAX (0.1): 18,361 SF

**BUILDING HEIGHTS:**

LEVEL 1 ELEVATION: 14.8 FT (2FT ABOVE BFE)

1005 O'BRIEN DR  
SEE SHEETS A9.5 & A10.1 - A10.3

1320 WILLOW RD  
SEE SHEETS A11.5 & - A12.1 - A12.3

**PARKING STANDARDS**

R&D: 1.5 - 2.5 SPACES / 1000 SF

**EV STALLS**

10% OF TOTAL + 5% EV READY

BICYCLE: 1 PER 5,000 SF

SHORT TERM: 20% & LONG TERM: 80%

REQUIRED:

SHORT TERM: 9

LONG TERM: 38

TOTAL: 47

**PARKING:**

CAR: SEE SHEET A13.1 FOR COUNT

SEE SHEET A6.1, A6.2 & A13.2 - A13.3 FOR LAYOUT

BICYCLE: SEE SHEET 13.4

**SHOWERS**

1005 O'BRIEN DR: 6 (PHASE 1)

1320 WILLOW RD: 2 (PHASE 2)

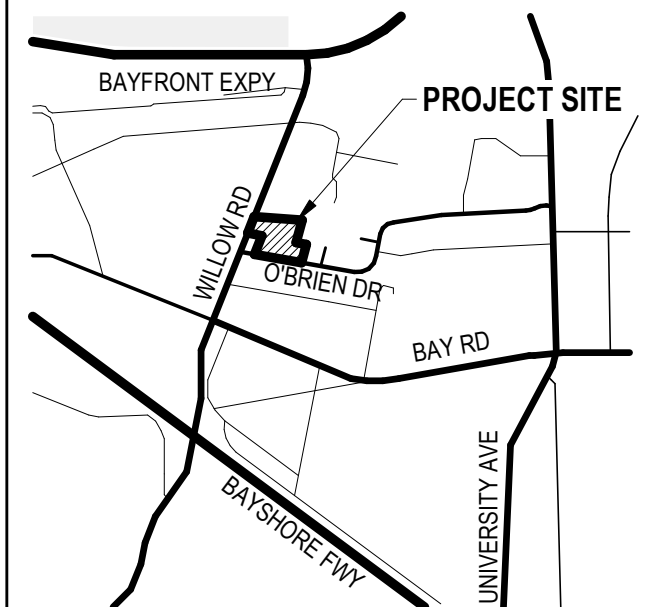
**TOTAL: 8**

"FLOOD ZONE NOTE: PROJECT TO BE DESIGNED AND CONSTRUCTED IN COMPLIANCE WITH CURRENT FEMA REGULATIONS AND THE CITY'S FLOOD DAMAGE PREVENTION ORDINANCE.

**BUILDING OWNER:**  
O'BRIEN DRIVE PORTFOLIO  
c/o TARLTON PROPERTIES  
1530 O'BRIEN DRIVE, SUITE C  
MENLO PARK, CA 94025  
PHONE: 650.330.3600  
CONTACT: ANTHONY BONIFACIO

**ARCHITECT:**  
DES ARCHITECTS + ENGINEERS  
399 BRADFORD STREET  
REDWOOD CITY, CA 94063  
PHONE: 650.364.6453  
CONTACT: ELKE MACGREGOR

PROJECT LOCATION



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PROJECT DATA



SHEET LIST

Sheet Number	Sheet Name	Sheet Number	Sheet Name	Sheet Number	Sheet Name
G0	COVER SHEET	A9.4	1005 O'BRIEN LEVEL 3-5	A12.7	1320 WILLOW 3D VIEW OPEN SPACE
G1A	PROJECT DATA	A9.5	1005 O'BRIEN ROOF DECK	A12.8	1320 WILLOW 3D MASSING
G1B	SHEET INDEX	A9.6	1005 O'BRIEN ROOF PLAN	A12.9	GARAGE MATERIAL BOARD
G1C	SHEET INDEX	A10	1005 BUILDING MATERIAL BOARD	A13.0	GARAGE ELEVATIONS
G2.1A	1005 OBD - LEED SCORECARD	A10.1	1005 O'BRIEN BUILDING ELEVATIONS	A13.1	PARKING COUNT & GARAGE SECTION
G2.1B	1005 OBD - LEED BOUNDARY SITE PLAN	A10.2	1005 O'BRIEN BUILDING ELEVATIONS	A13.2	GARAGE PLANS PHASE 1
G2.2A	1302 WILLOW - LEED SCORECARD	A10.3A	1005 O'BRIEN CROSS SECTION & STREETScape - PHASE 1	A13.3	GARAGE PLANS PHASE 2
G2.2B	1320 WILLOW - LEED BOUNDARY SITE PLAN	A10.3B	1320 WILLOW CROSS SECTION & STREETScape - PHASE 1	A13.4	LONG TERM BIKE STORAGE
A1	EXISTING SITE CONDITIONS - AERIAL PLAN	A10.4	1005 O'BRIEN 3D MASSING	A13.5	GARAGE 3D MASSING - PHASE 1
A2	EXISTING SITE CONDITIONS - SITE PHOTOS	A10.5	1005 O'BRIEN 3D MASSING	A13.6	GARAGE 3D MASSING - PHASE 2
A3.1	EXISTING SITE PLAN	A10.6	1005 O'BRIEN 3D MASSING	A13.7	GARAGE 3D MASSING - PHASE 2
A3.2	PHASING PLAN - PHASE 1	A10.7	1005 O'BRIEN 3D MASSING	A14	TRASH ENCLOSURE - 1005 O'BRIEN & 1320 WILLOW
A3.3	PHASING PLAN - PHASE 2	A10.8	1005 O'BRIEN 3D MASSING	L1.1	EXISTING TREE PLAN
A4.1	985 OBD EXISTING GROSS AREA	A10.20	SPORTS COURT 3D MASSING	L1.2	EXISTING TREE DISPOSITION TABLE
A4.2	1001 OBD EXISTING GROSS AREA	A10.21	SPORTS COURT 3D MASSING	L2.1A	PHASE 1 PROPOSED LANDSCAPE PLAN
A4.3	1320 WILLOW EXISTING GROSS AREA	A11	PHASE 1 HEIGHT CALCULATION	L2.1B	PHASE 2 PROPOSED LANDSCAPE PLAN
A5.1	985 O'BRIEN DR TOPOGRAPHIC SURVEY	A11.1	1320 WILLOW BLDG. MODULATION	L2.1C	LANDSCAPE SPACE DIAGRAM
A5.2	1001 O'BRIEN DR TOPOGRAPHIC SURVEY	A11.1A	1320 WILLOW GROSS FLOOR AREA DIAGRAMS	L2.1D	PROPOSED AMENITY PLAN AT PUBLIC SPACE
A5.3	1320 WILLOW RD TOPOGRAPHIC SURVEY	A11.1B	1320 WILLOW GROSS FLOOR AREA DIAGRAMS	L2.2A	PHASE 1 ENLARGED ROOF DECK PLAN
A6.1	PHASE 1 PROPOSED SITE PLAN	A11.2	1320 WILLOW LEVEL 1	L2.2B	PHASE 2 ENLARGED ROOF DECK PLAN
A6.2	PHASE 2 PROPOSED SITE PLAN	A11.3	1320 WILLOW LEVEL 2	L2.3A	PHASE 1 PROPOSED PLANTING PLAN
A7	NEIGHBORHOOD OPEN SPACE	A11.4	1320 WILLOW LEVEL 3	L2.3B	PHASE 2 PROPOSED PLANTING PLAN
A7.1	PHASE 1 OPEN SPACE DIAGRAM	A11.5	1320 WILLOW LEVEL 4 /ROOF DECK	L3	PROPOSED LANDSCAPE IMAGERY
A7.2	PHASE 2 OPEN SPACE DIAGRAM	A11.6	1320 WILLOW ROOF	L4	PROPOSED PUBLIC AMENITY IMAGERY
A7.3	PHASE 1 & 2 FRONTAGE DIAGRAM	A11.7	PHASE 2 HEIGHT CALCULATION	C1.1	FIRE TRUCK TURNING AND HYDRANT EXHIBIT
A7.4	OVERALL SITE LANDSCAPE AREA CALCS	A12	1320 BUILDING MATERIAL BOARD	C1.2	RECOLOGY TRUCK TURNING EXHIBIT
A8	SITE SERVICE / EMERGENCY PLAN	A12.1	1320 WILLOW BUILDING ELEVATIONS	C1.3	DELIVERY TRUCK EXHIBIT
A9	1005 O'BRIEN BLDG. MODULATION	A12.2	1320 WILLOW BUILDING ELEVATIONS	C2.1	PHASE 1 PRELIMINARY GRADING PLAN
A9.1A	1005 O'BRIEN GROSS FLOOR AREA DIAGRAMS	A12.3A	1320 WILLOW CROSS SECTION & STREETScape - PHASE 2	C2.2	PHASE 2 PRELIMINARY GRADING PLAN
A9.1B	1005 O'BRIEN GROSS FLOOR AREA DIAGRAMS	A12.3B	1005 O'BRIEN CROSS SECTION & STREETScape - PHASE 2	C3.1A	PHASE 1 PRELIMINARY STORMWATER MANAGEMENT PLAN
A9.2	1005 O'BRIEN LEVEL 1	A12.4	1320 WILLOW 3D MASSING	C3.1B	PHASE 1 OVERALL EXISTING PERVIOUS/IMPERVIOUS AREA
A9.3	1005 O'BRIEN LEVEL 2	A12.5	1320 WILLOW 3D MASSING		
		A12.6	1320 WILLOW 3D MASSING		

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SHEET INDEX



SHEET LIST

Sheet Number	Sheet Name
C3.1C	PHASE 1 OVERALL PROPOSED PERVIOUS/IMPERVIOUS AREA
C3.2A	PHASE 2 PRELIMINARY STORMWATER MANAGEMENT PLAN
C3.2B	PHASE 2 OVERALL EXISTING PERVIOUS/IMPERVIOUS AREA
C3.2C	PHASE 2 OVERALL PROPOSED PERVIOUS/IMPERVIOUS AREA
C4.1	PHASE 1 PRELIMINARY UTILITY PLAN
C4.2	PHASE 2 PRELIMINARY UTILITY PLAN
C6.1	PHASE 1 GRADING SECTIONS
C6.2	PHASE 2 GRADING SECTIONS
LP.1	PHASE 1 PHOTOMETRY PLAN
LP.2	PHASE 2 PHOTOMETRY PLAN

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985 & 1001 O'BRIEN DR  
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06-22-2022 C.U.P. RESPONSE 2  
 10-28-2022 C.U.P. RESPONSE 3  
 02-17-2023 C.U.P. RESPONSE 4

SHEET INDEX





**LEED v4 for BD+C: Core and Shell**  
Project Checklist

Project Name: 1005 O'Brien Drive  
Date: 10/28/22

Y ? N  
1 0 0

Credit Integrative Process 1

**7 3 10 Location and Transportation 20**

7	3	10	Credit	LEED for Neighborhood Development Location	20
2			Credit	Sensitive Land Protection	2
	3		Credit	High Priority Site	3
2		4	Credit	Surrounding Density and Diverse Uses	6
		6	Credit	Access to Quality Transit	6
1			Credit	Bicycle Facilities	1
1			Credit	Reduced Parking Footprint	1
1			Credit	Green Vehicles	1

**5 2 4 Sustainable Sites 11**

Y			Prereq	Construction Activity Pollution Prevention	Required
1			Credit	Site Assessment	1
	2		Credit	Site Development - Protect or Restore Habitat	2
1			Credit	Open Space	1
		3	Credit	Rainwater Management	3
1		1	Credit	Heat Island Reduction	2
1			Credit	Light Pollution Reduction	1
1			Credit	Tenant Design and Construction Guidelines	1

**8 2 1 Water Efficiency 11**

Y			Prereq	Outdoor Water Use Reduction	Required
Y			Prereq	Indoor Water Use Reduction	Required
Y			Prereq	Building-Level Water Metering	Required
1	1		Credit	Outdoor Water Use Reduction	2
4	1	1	Credit	Indoor Water Use Reduction	6
2			Credit	Cooling Tower Water Use	2
1			Credit	Water Metering	1

**22 11 Energy and Atmosphere 33**

Y			Prereq	Fundamental Commissioning and Verification	Required
Y			Prereq	Minimum Energy Performance	Required
Y			Prereq	Building-Level Energy Metering	Required
Y			Prereq	Fundamental Refrigerant Management	Required
3	3		Credit	Enhanced Commissioning	6
11	7		Credit	Optimize Energy Performance	18
1			Credit	Advanced Energy Metering	1
1	1		Credit	Demand Response	2
3			Credit	Renewable Energy Production	3
1			Credit	Enhanced Refrigerant Management	1
2			Credit	Green Power and Carbon Offsets	2

**5 9 Materials and Resources 14**

Y			Prereq	Storage and Collection of Recyclables	Required
Y			Prereq	Construction and Demolition Waste Management Planning	Required
	6		Credit	Building Life-Cycle Impact Reduction	6
1	1		Credit	Building Product Disclosure and Optimization - Environmental Product Declarations	2
1	1		Credit	Building Product Disclosure and Optimization - Sourcing of Raw Materials	2
1	1		Credit	Building Product Disclosure and Optimization - Material Ingredients	2
2			Credit	Construction and Demolition Waste Management	2

**8 2 Indoor Environmental Quality 10**

Y			Prereq	Minimum Indoor Air Quality Performance	Required
Y			Prereq	Environmental Tobacco Smoke Control	Required
2			Credit	Enhanced Indoor Air Quality Strategies	2
3			Credit	Low-Emitting Materials	3
1			Credit	Construction Indoor Air Quality Management Plan	1
1	2		Credit	Daylight	3
1			Credit	Quality Views	1

**6 Innovation 6**

1			Credit	Green Cleaning / IPM	1
1			Credit	Green Building Education	1
1			Credit	Active Tenant or EP Renewable Energy	1
1			Credit	Pilot: MRpc87 verified C&D Recycling Rate	1
1			Credit	EP: HPD, LEM, EPD or Enhance IAQ	1
1			Credit	LEED Accredited Professional	1

**3 1 Regional Priority 4**

		1	Credit	RP: Access to quality transit (5)	1
1			Credit	RP: Optimize Energy Performance (10)	1
1			Credit	RP: Indoor Water Use Reduction (4)	1
1			Credit	Regional Priority: BPDO-Raw Materials	1

**65 29 16 TOTALS** Possible Points: **110**

Certified: 40 to 49 points, Silver: 50 to 59 points, Gold: 60 to 79 points, Platinum: 80 to 110

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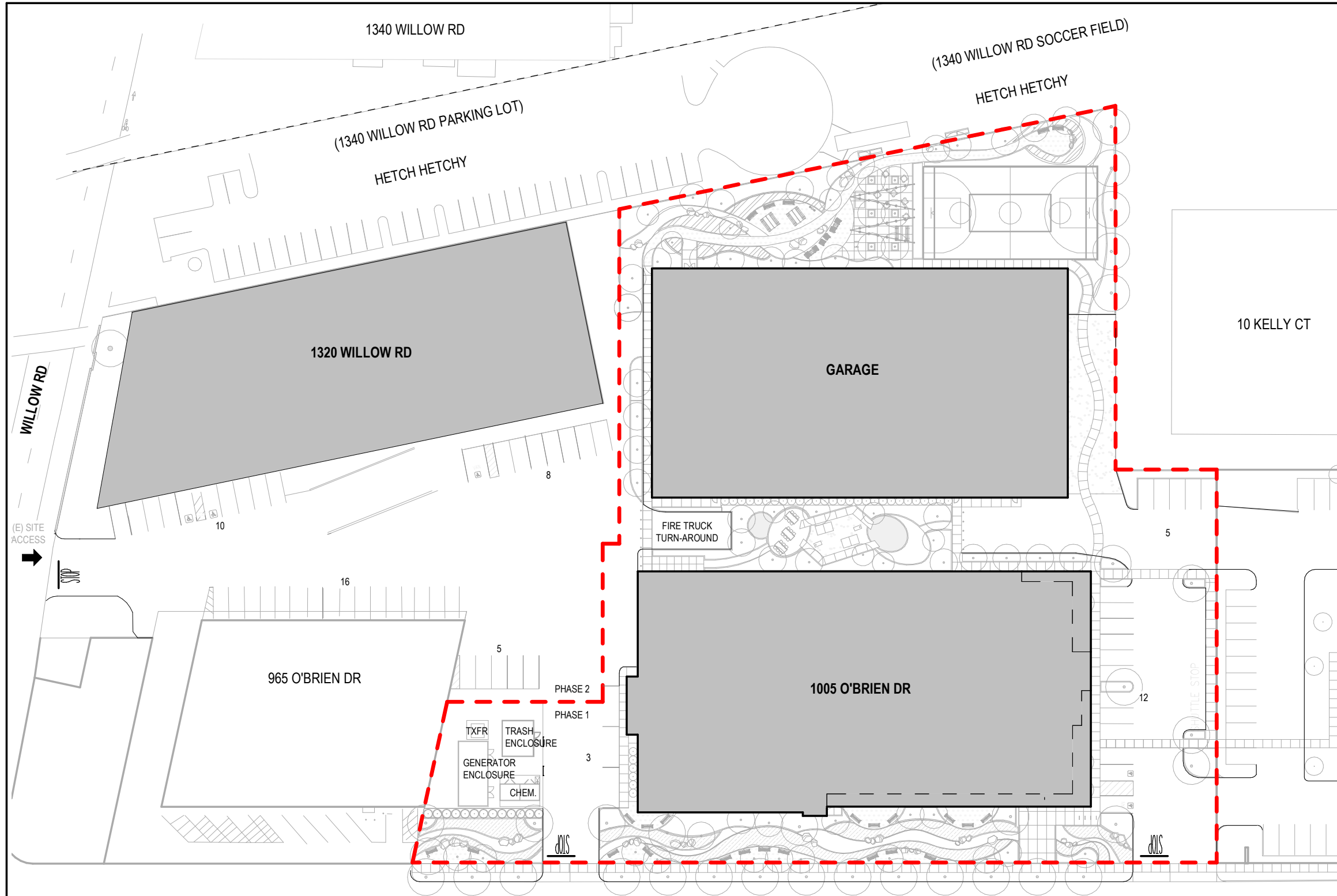
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1005 OBD - LEED SCORECARD



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LEGEND

--- LEED BOUNDARY LINE



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1005 OBD - LEED BOUNDARY SITE  
PLAN

G2.1B



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**LEED v4 for BD+C: Core and Shell**  
Project Checklist

Project Name: 1320 Willow Road  
Date: 10/28/22

Y ? N  
1

Credit Integrative Process 1

**7 3 10 Location and Transportation 20**

7	3	10	Credit	LEED for Neighborhood Development Location	20
2			Credit	Sensitive Land Protection	2
	3		Credit	High Priority Site	3
2		4	Credit	Surrounding Density and Diverse Uses	6
		6	Credit	Access to Quality Transit	6
1			Credit	Bicycle Facilities	1
1			Credit	Reduced Parking Footprint	1
1			Credit	Green Vehicles	1

**5 2 4 Sustainable Sites 11**

Y			Prereq	Construction Activity Pollution Prevention	Required
1			Credit	Site Assessment	1
	2		Credit	Site Development - Protect or Restore Habitat	2
1			Credit	Open Space	1
		3	Credit	Rainwater Management	3
1		1	Credit	Heat Island Reduction	2
1			Credit	Light Pollution Reduction	1
1			Credit	Tenant Design and Construction Guidelines	1

**6 2 3 Water Efficiency 11**

Y			Prereq	Outdoor Water Use Reduction	Required
Y			Prereq	Indoor Water Use Reduction	Required
Y			Prereq	Building-Level Water Metering	Required
1	1		Credit	Outdoor Water Use Reduction	2
4	1	1	Credit	Indoor Water Use Reduction	6
		2	Credit	Cooling Tower Water Use	2
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**20 13 Energy and Atmosphere 33**

Y			Prereq	Fundamental Commissioning and Verification	Required
Y			Prereq	Minimum Energy Performance	Required
Y			Prereq	Building-Level Energy Metering	Required
Y			Prereq	Fundamental Refrigerant Management	Required
3	3		Credit	Enhanced Commissioning	6
9	9		Credit	Optimize Energy Performance	18
1			Credit	Advanced Energy Metering	1
1	1		Credit	Demand Response	2
3			Credit	Renewable Energy Production	3
1			Credit	Enhanced Refrigerant Management	1
2			Credit	Green Power and Carbon Offsets	2

**2 12 Materials and Resources 14**

Y			Prereq	Storage and Collection of Recyclables	Required
Y			Prereq	Construction and Demolition Waste Management Planning	Required
	6		Credit	Building Life-Cycle Impact Reduction	6
	2		Credit	Building Product Disclosure and Optimization - Environmental Product Declarations	2
	2		Credit	Building Product Disclosure and Optimization - Sourcing of Raw Materials	2
	2		Credit	Building Product Disclosure and Optimization - Material Ingredients	2
2			Credit	Construction and Demolition Waste Management	2

**6 4 Indoor Environmental Quality 10**

Y			Prereq	Minimum Indoor Air Quality Performance	Required
Y			Prereq	Environmental Tobacco Smoke Control	Required
2			Credit	Enhanced Indoor Air Quality Strategies	2
1	2		Credit	Low-Emitting Materials	3
1			Credit	Construction Indoor Air Quality Management Plan	1
1	2		Credit	Daylight	3
1			Credit	Quality Views	1

**6 Innovation 6**

1			Credit	Green Cleaning / IPM	1
1			Credit	Green Building Education	1
1			Credit	Active Tenant or EP Renewable Energy	1
1			Credit	Pilot: MRpc87 verified C&D Recycling Rate	1
1			Credit	EP: HPD, LEM, EPD or Enhance IAQ	1
1			Credit	LEED Accredited Professional	1

**2 1 1 Regional Priority 4**

		1	Credit	RP: Access to quality transit (5)	1
	1		Credit	RP: Optimize Energy Performance (10)	1
1			Credit	RP: Indoor Water Use Reduction (4)	1
1			Credit	Regional Priority: BPDO-Raw Materials	1

**55 37 18 TOTALS** Possible Points: **110**

Certified: 40 to 49 points, Silver: 50 to 59 points, Gold: 60 to 79 points, Platinum: 80 to 110

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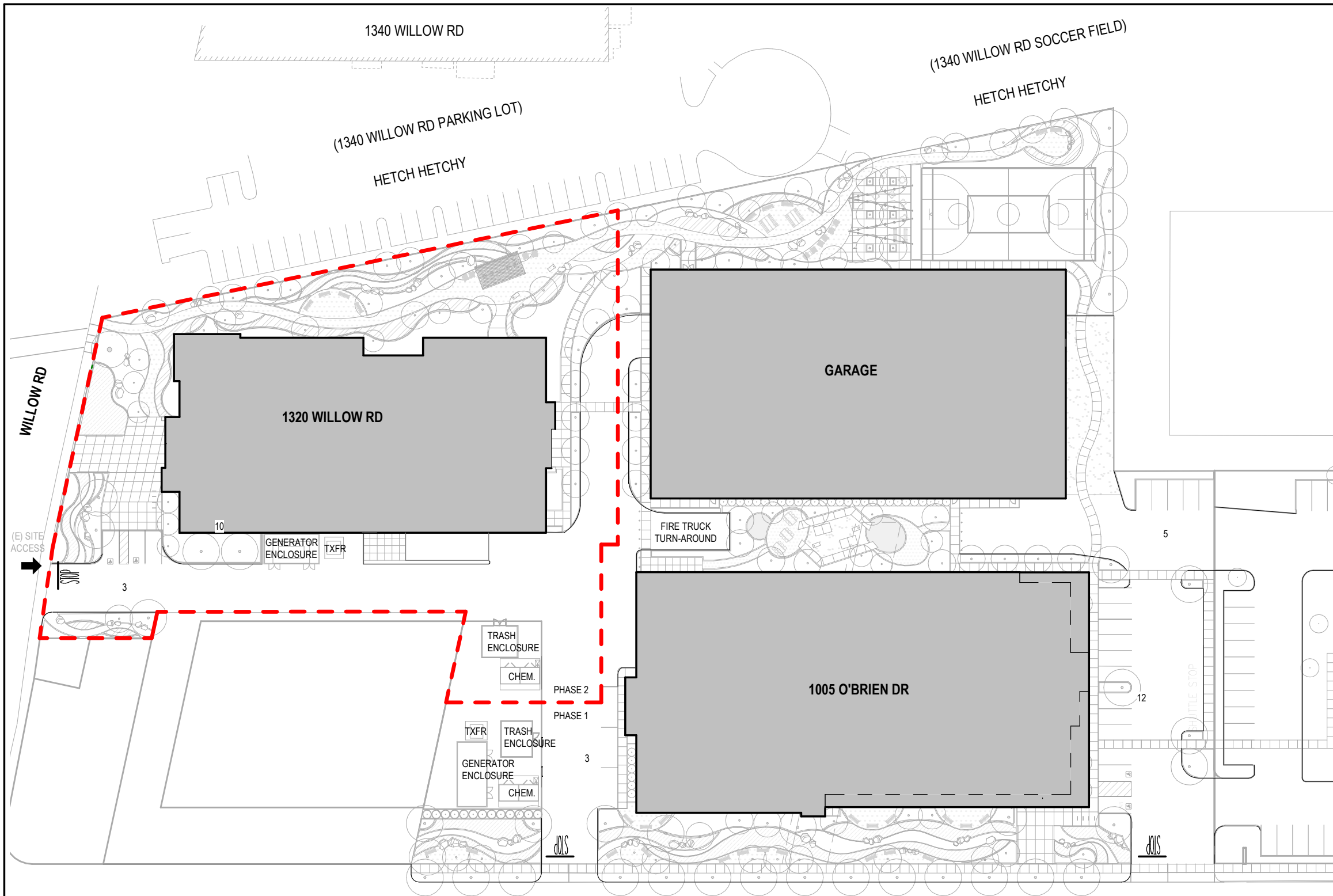
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1302 WILLOW - LEED SCORECARD



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LEGEND

--- LEED BOUNDARY LINE



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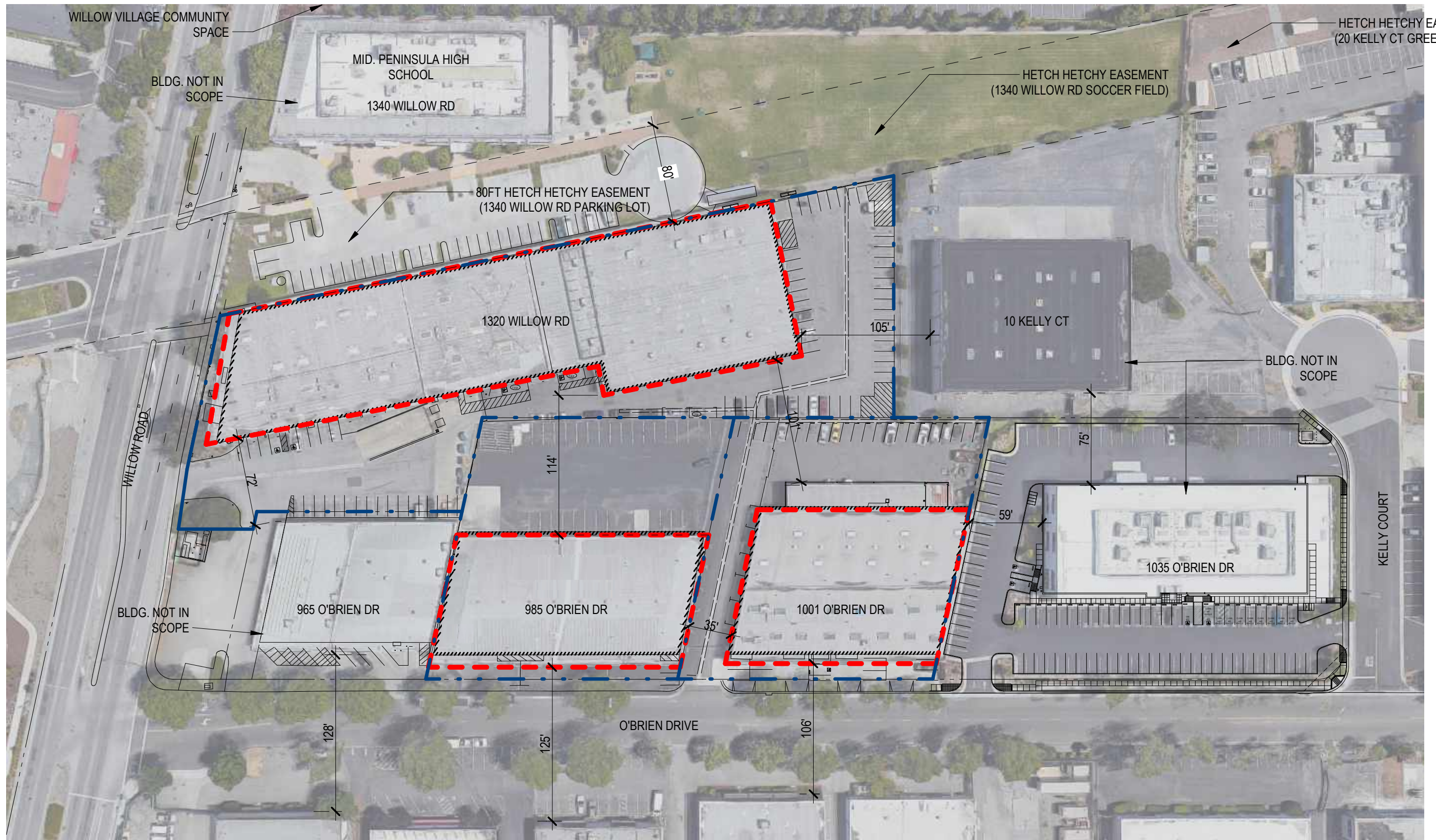
1320 WILLOW - LEED BOUNDARY  
SITE PLAN

G2.2B

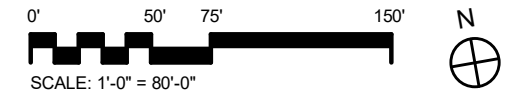


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- - - - - PROPERTY LINES  
 - - - - - PROPOSED BUILDINGS TO BE DEMOLISHED



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EXISTING SITE CONDITIONS - AERIAL PLAN





1A 1320 WILLOW RD - NW ELEVATION



1B 1320 WILLOW RD - SW ELEVATION



2A 1001 O'BRIEN DR - SW ELEVATION



2B 1001 O'BRIEN DR - S ELEVATION



2C 1001 O'BRIEN DR - SE ELEVATION



3A 985 O'BRIEN DR - S ELEVATION



3B 985 O'BRIEN DR - SE ELEVATION



4 10 KELLY CT - E ELEVATION



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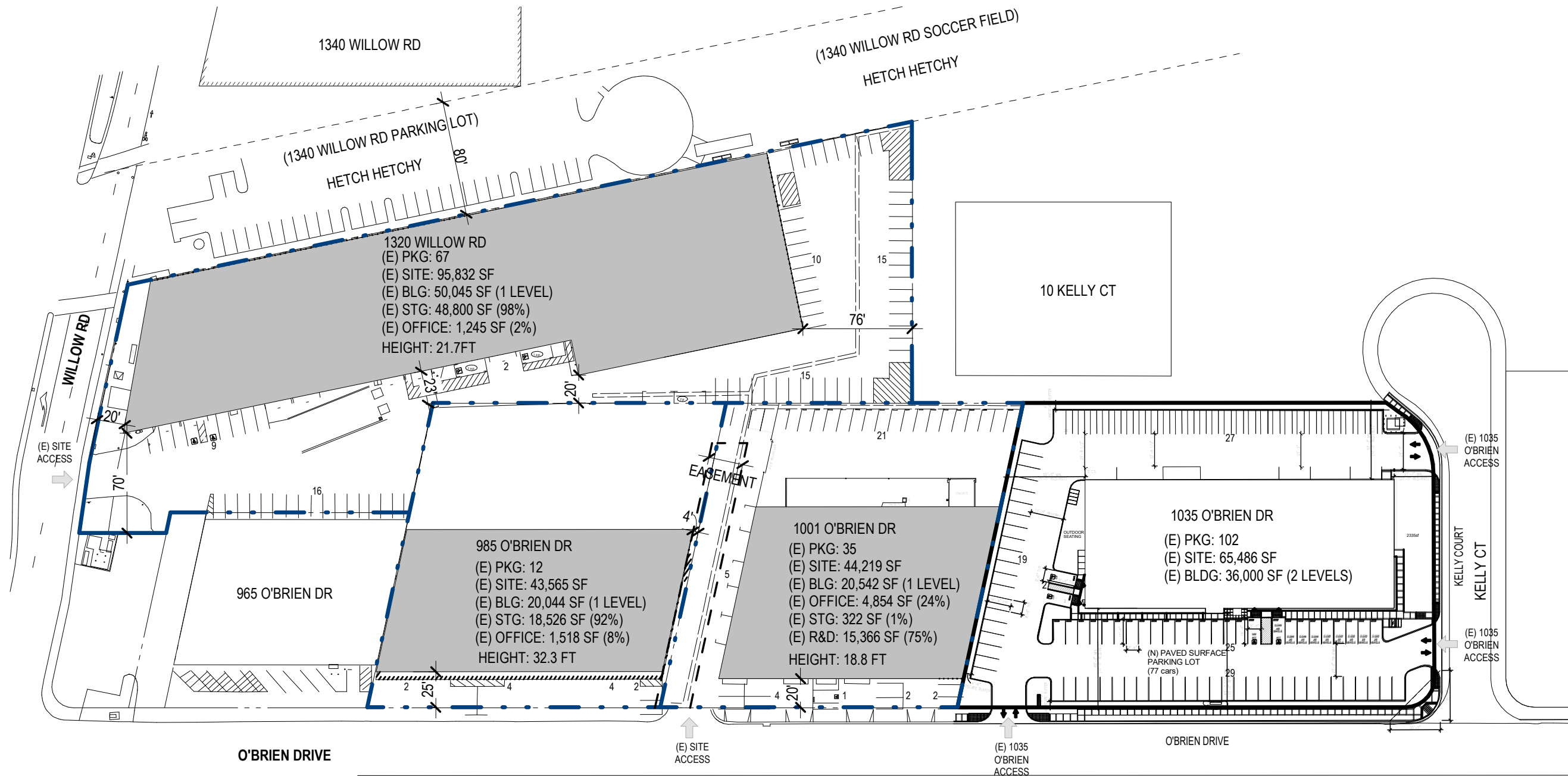


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EXISTING SITE CONDITIONS - SITE  
PHOTOS





**1 EXISTING SITE PLAN**  
 1" = 80'-0"

- · — · — · — · — · — · — · — · — · — EXISTING PROPERTY LINES
- - - - - 20.42' INGRESS EGRESS EASEMENT & NON-EXCLUSIVE DRAINAGE FOR RAIN WATER (TO BE REMOVED)



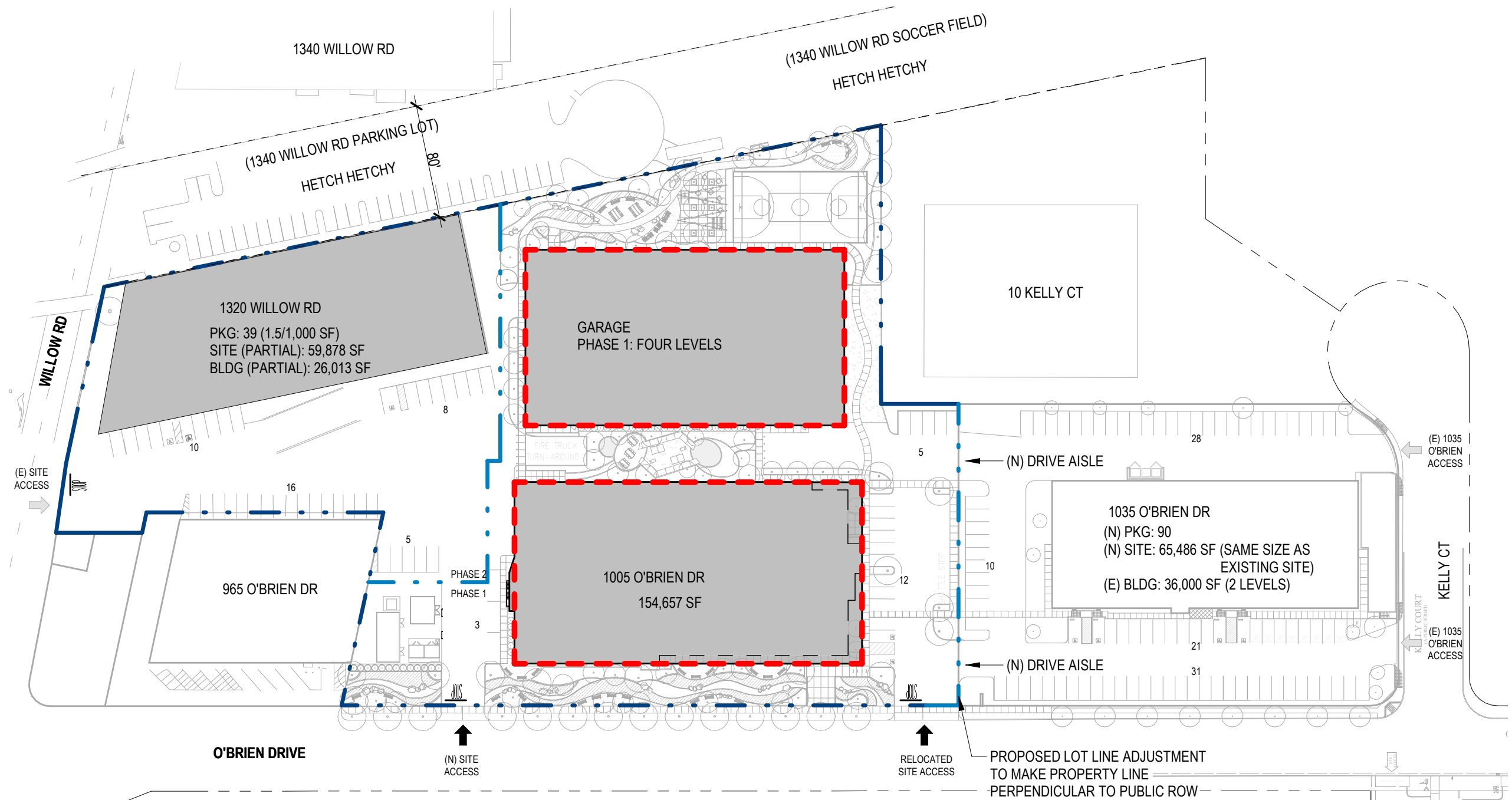
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**EXISTING SITE PLAN**




**A3.1**





**1 PHASE 1**  
1" = 80'-0"

PHASE 1 SITE: 123,738 SF

-  EXISTING PROPERTY LINES
-  LOT LINE ADJUSTMENT DURING PHASE 1
-  PHASE 1 BUILDINGS



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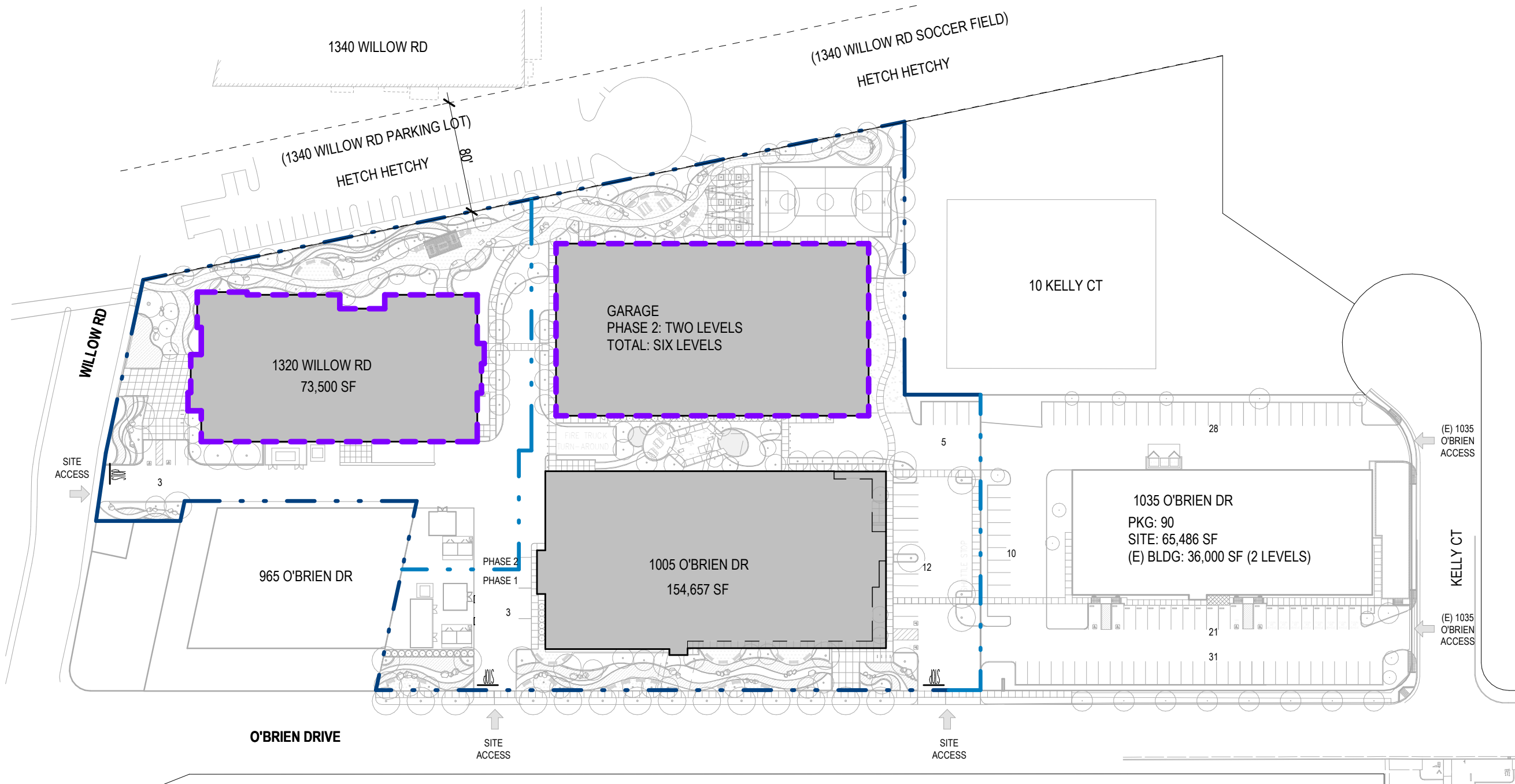
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PHASING PLAN - PHASE 1

A3.2



BIM 360/Tarlton - MenloParkLabs/10025002\_A\_1005OBD\_SHELL\_2020\_Central.rvt



**1** PHASE 2  
1" = 80'-0"

PHASE 2 SITE: 59,878 SF

- · — · — · EXISTING PROPERTY LINES
- · — · — · LOT LINE ADJUSTMENT DURING PHASE 1
- - - - - PHASE 2 BUILDINGS



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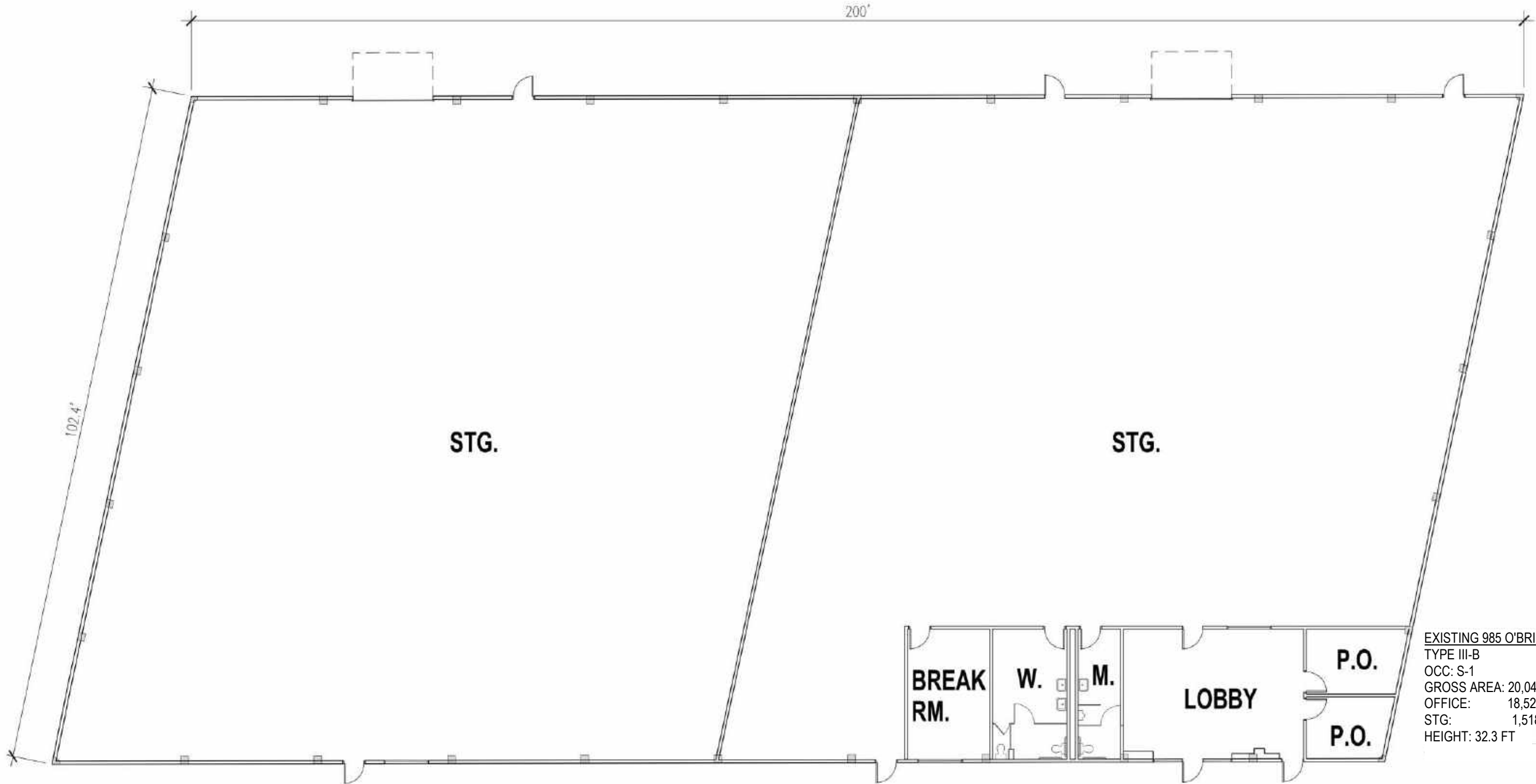
PHASING PLAN - PHASE 2

A3.3

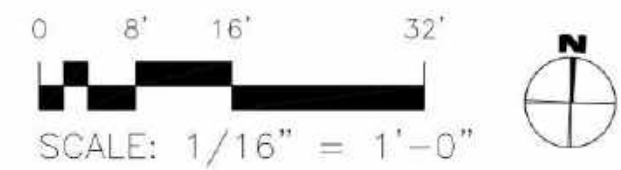


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EXISTING 985 O'BRIEN DR  
 TYPE III-B  
 OCC: S-1  
 GROSS AREA: 20,044 SF (1 STORY)  
 OFFICE: 18,526 SF (92%)  
 STG: 1,518 SF (8%)  
 HEIGHT: 32.3 FT



\*BLDG TO BE DEMOLISHED\*



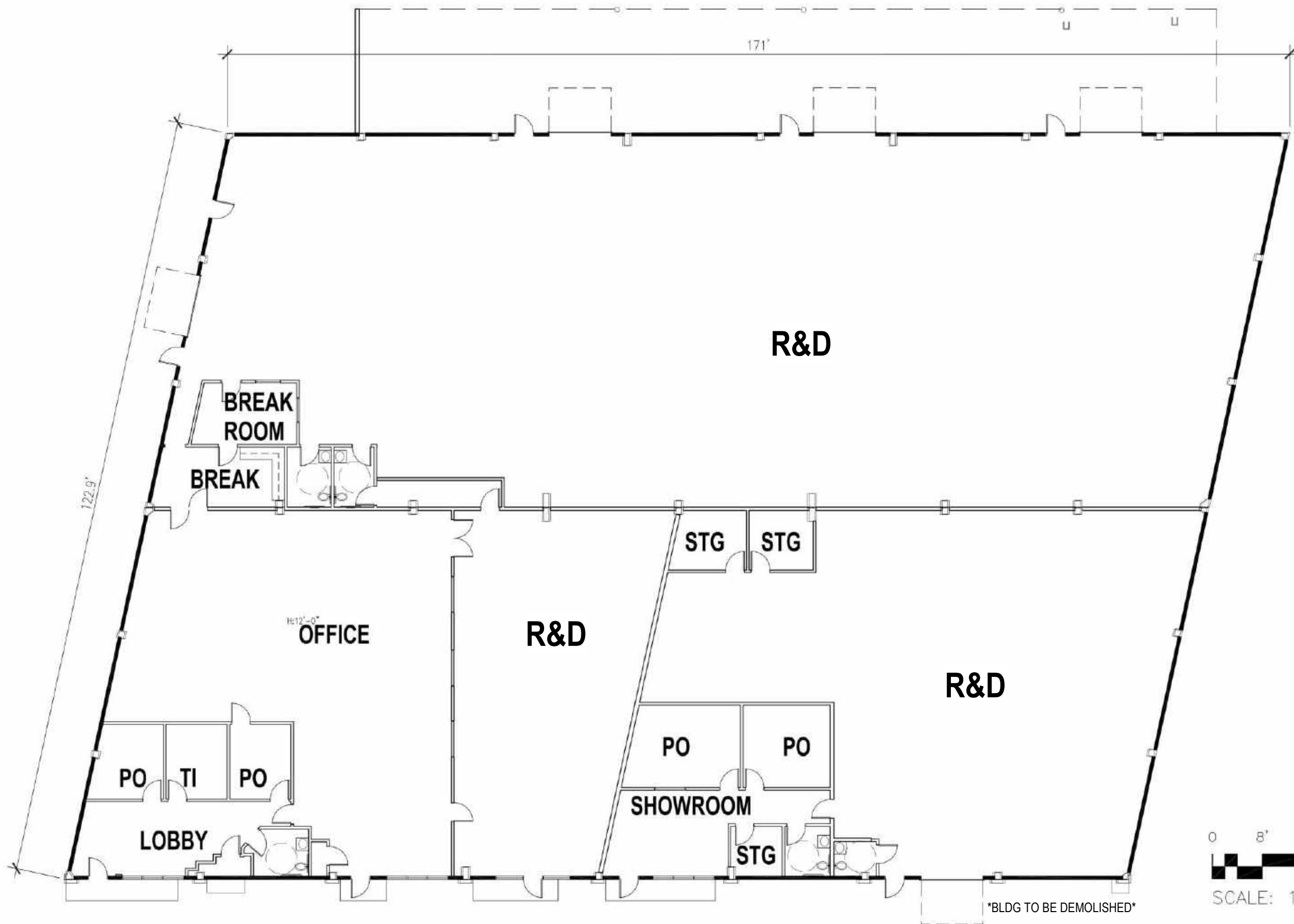
985 & 1001 O'BRIEN DR  
 1320 WILLOW RD  
 MENLO PARK, CA 94025

06-23-2021 C.U.P. SUBMITTAL  
 10-28-2021 C.U.P. RESPONSE 1  
 06-22-2022 C.U.P. RESPONSE 2  
 10-28-2022 C.U.P. RESPONSE 3  
 02-17-2023 C.U.P. RESPONSE 4

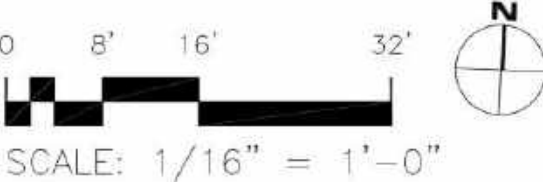
985 OBD EXISTING GROSS AREA

A4.1





EXISTING 1001 O'BRIEN DR  
 TYPE III-B  
 OCC: S-1/B  
 GROSS AREA: 20,542 SF (1 STORY)  
 OFFICE: 4,854 SF (24%)  
 STG: 322 SF (1%)  
 R&D: 15,366 SF (75%)  
 HEIGHT: 18.8 FT



\*BLDG TO BE DEMOLISHED\*

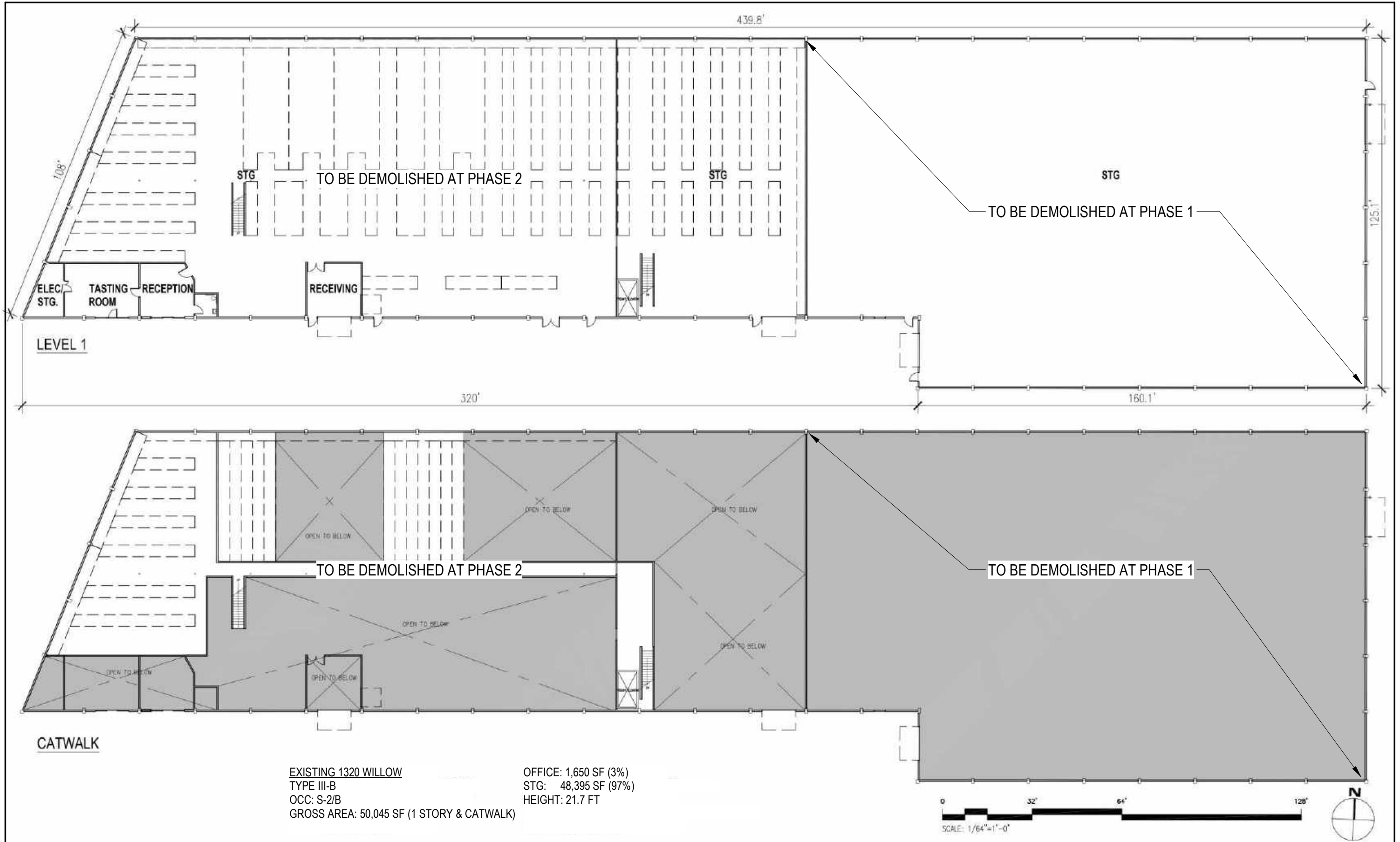


985 & 1001 O'BRIEN DR  
 1320 WILLOW RD  
 MENLO PARK, CA 94025

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 10-28-2021 C.U.P. RESPONSE 1  
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1001 OBD EXISTING GROSS AREA





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985 & 1001 O'BRIEN DR  
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MENLO PARK, CA 94025

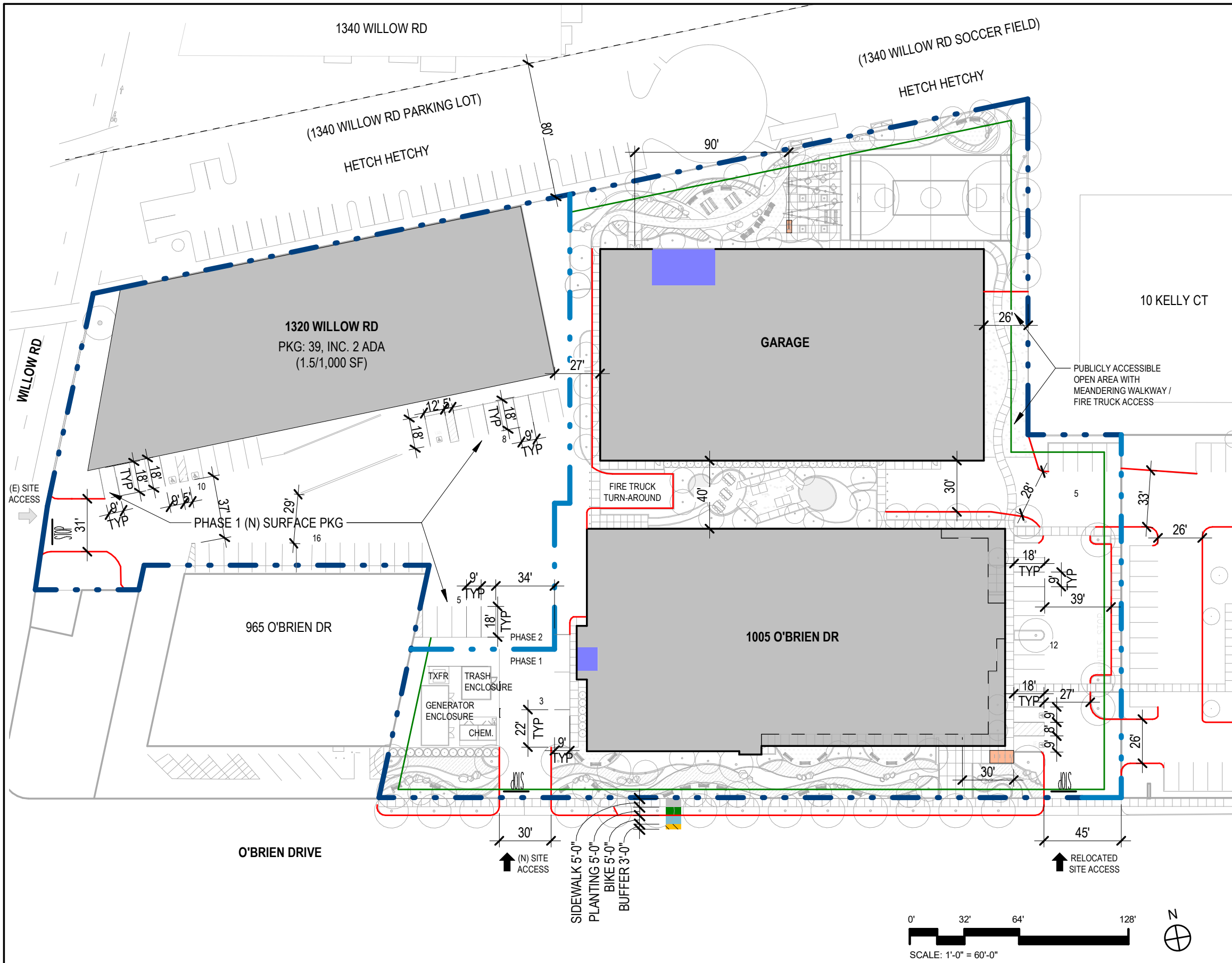
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10-28-2022 C.U.P. RESPONSE 3  
02-17-2023 C.U.P. RESPONSE 4

1320 WILLOW EXISTING GROSS  
AREA

A4.3







SHEET NOTES

KEYNOTES

LEGEND

- · — · — EXISTING PROPERTY LINE
- · — · — PROPOSED LOT LINE ADJUSTMENT
- LS-ZONING SETBACKS
- FIRE LANE - NO PARKING
- SITE COVERAGE
- ENCLOSED LONG-TERM BICYCLE  
SEE SHEET A9.2 & A13.4
- EXTERIOR LOOPS SHORT-TERM  
SEE SHEET A13.4 FOR BIKE PARKING COUNT
- TXFR TRANSFORMER

BIM 360/Tarlton - MenloParkLabs/10025002\_A\_1005OBD\_SHELL\_2020\_Central.rvt



985 & 1001 O'BRIEN DR  
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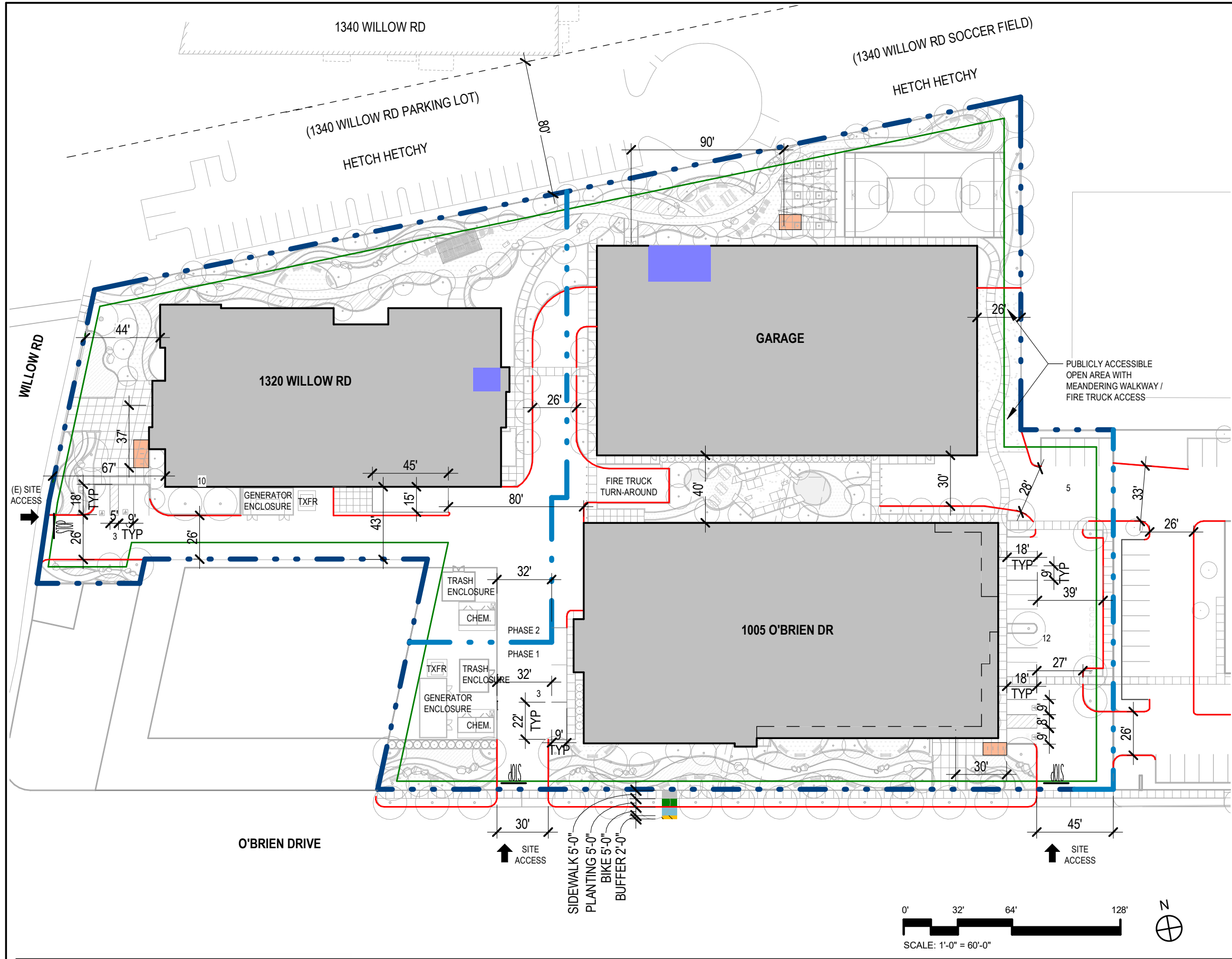
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06-22-2022 C.U.P. RESPONSE 2  
10-28-2022 C.U.P. RESPONSE 3  
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PHASE 1 PROPOSED SITE PLAN

A6.1



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SHEET NOTES	
KEYNOTES	
LEGEND	
	EXISTING PROPERTY LINE
	PROPOSED LOT LINE ADJUSTMENT
	LS-ZONING SETBACKS
	FIRE LANE - NO PARKING
	SITE COVERAGE
	ENCLOSED LONG-TERM BICYCLE SEE SHEET A11.2 & A13.4
	EXTERIOR LOOPS SHORT-TERM SEE SHEET A13.4 FOR BIKE PARKING COUNT
TXFR	TRANSFORMER

BIM 360/Tarlton - MenloParkLabs/10025002\_A\_1005OBD\_SHELL\_2020\_Central.rvt



985 & 1001 O'BRIEN DR  
1320 WILLOW RD  
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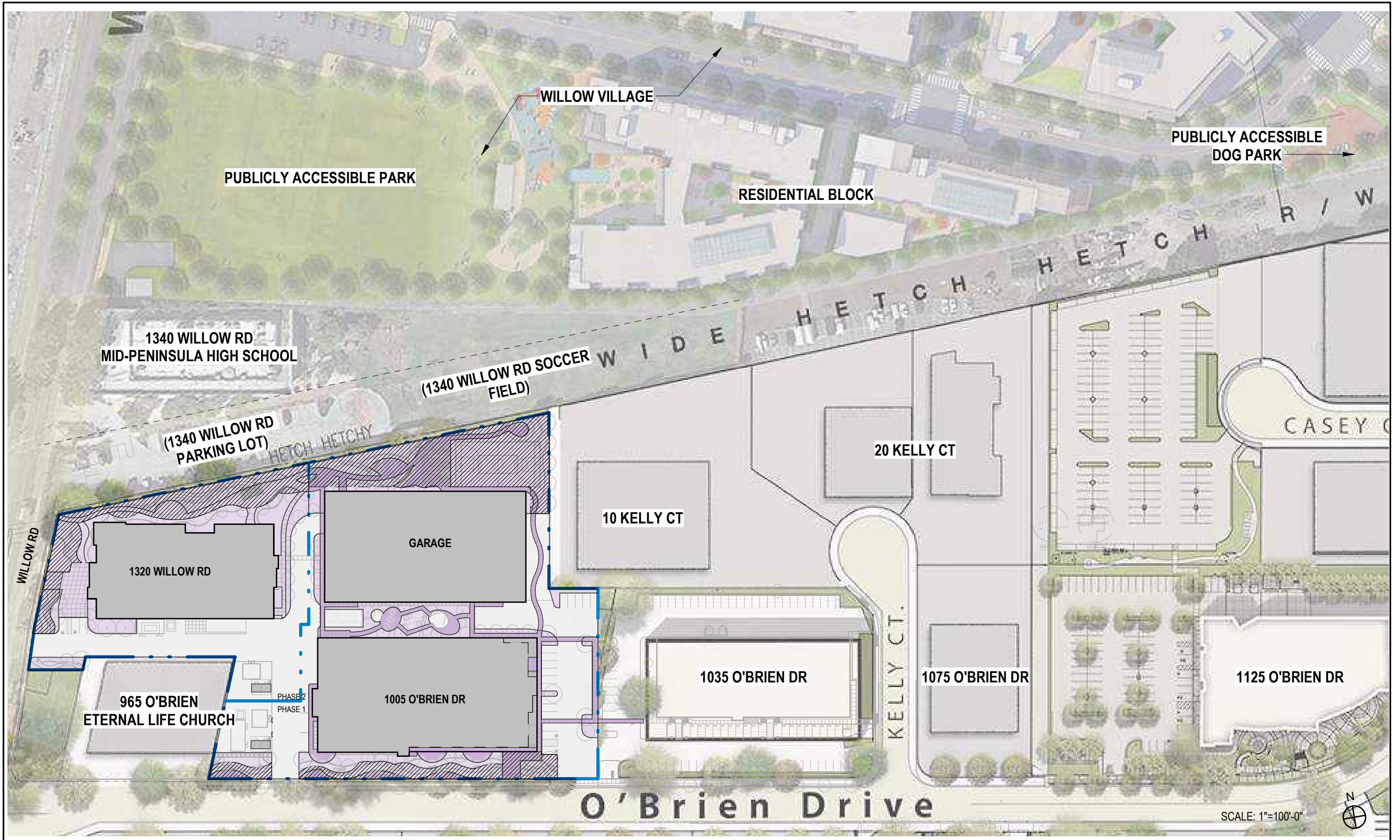
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06-22-2022 C.U.P. RESPONSE 2  
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PHASE 2 PROPOSED SITE PLAN

A6.2



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985 & 1001 O'BRIEN DR  
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NEIGHBORHOOD OPEN SPACE









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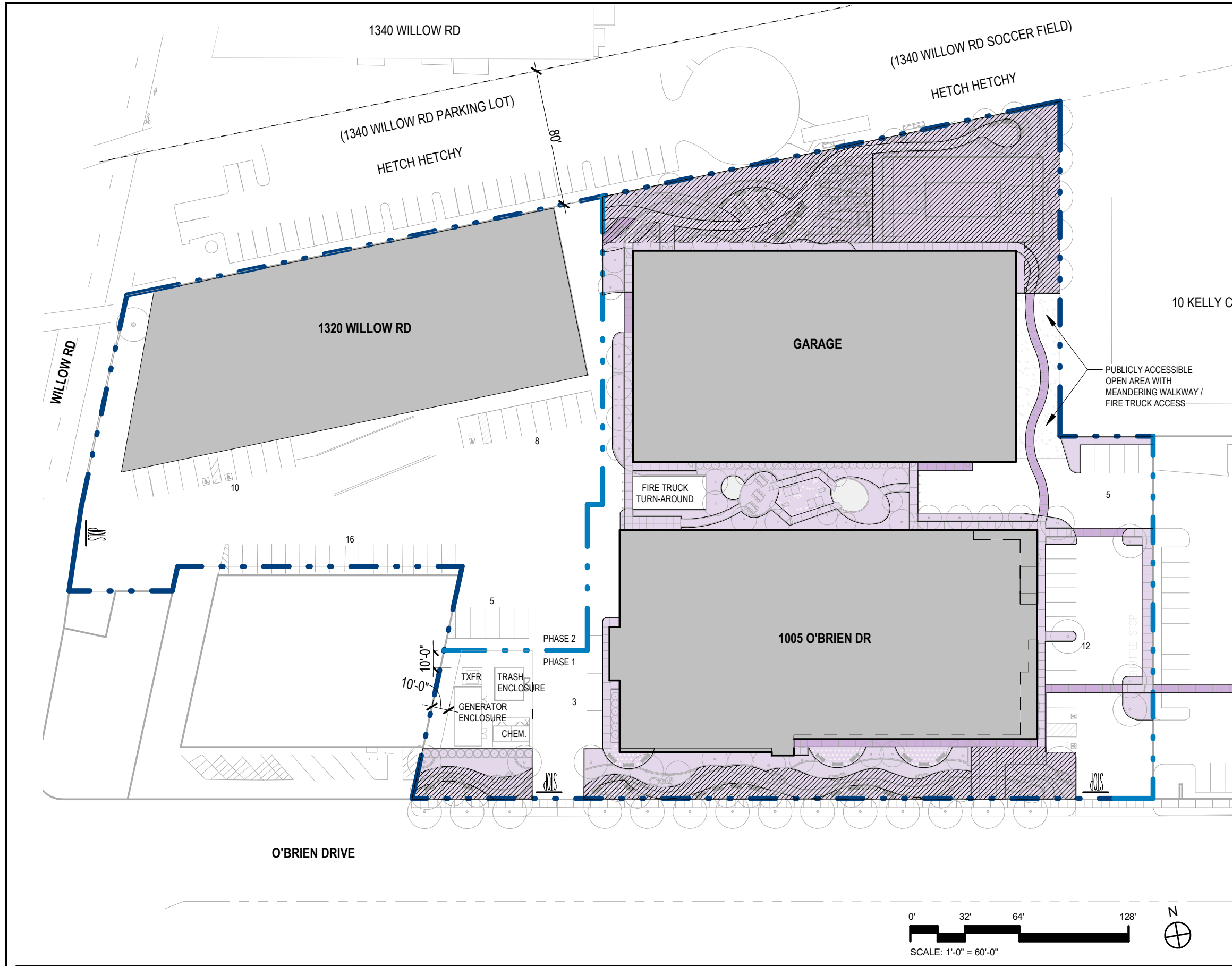
SHEET NOTES

KEYNOTES

**PHASE 1**  
**AREA:** 123,738 SF  
**SITE COVERAGE:** 59,860 SF (48%)  
**OPEN SPACE:**  
 REQUIRED = 24,748 SF (20% OF SITE)  
 PROVIDED = 38,559 SF (31% OF SITE)  
**PUBLIC OPEN SPACE:**  
 REQUIRED = 12,374 SF (50% OF REQ'D OPEN SPACE)  
 PROVIDED = 21,633 SF (87% OF REQ'D OPEN SPACE)

LEGEND

-  EXISTING PROPERTY LINE
-  PROPOSED LOT LINE ADJUSTMENT
-  SITE COVERAGE
-  OPEN SPACE
-  PUBLIC OPEN SPACE
-  PEDESTRIAN PATHS (PAVER, CONCRETE, DG)



985 & 1001 O'BRIEN DR  
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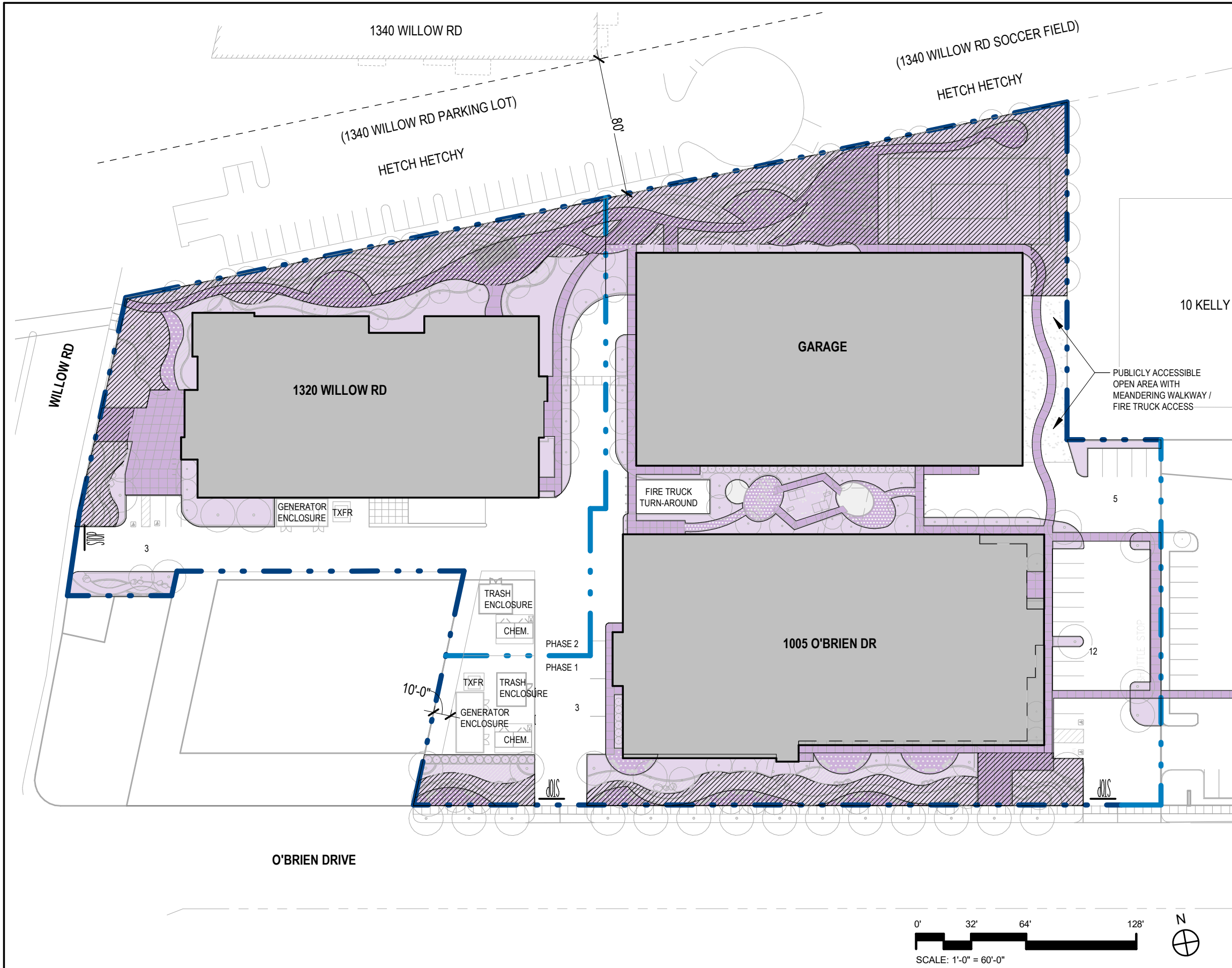
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 10-28-2022 C.U.P. RESPONSE 3  
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PHASE 1 OPEN SPACE DIAGRAM



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SHEET NOTES	
<b>PHASE 2</b>	<b>AREA:</b> 59,878 SF
	<b>SITE COVERAGE:</b> 21,494 SF
	<b>OPEN SPACE:</b> REQUIRED = 11,976 SF (20% OF SITE) PROVIDED = 20,785 SF (35% OF SITE)
	<b>PUBLIC OPEN SPACE:</b> REQUIRED = 5,988 SF (50% OF REQ'D OPEN SPACE) PROVIDED = 9,902 SF (83% OF REQ'D OPEN SPACE)
<b>PHASE 1 + 2</b>	<b>PROJECT SITE AREA:</b> 182,616 SF
	<b>SITE COVERAGE:</b> 80,354 SF (ALL STRUCTURES)
	<b>OPEN SPACE:</b> REQUIRED = 36,724 SF (20% OF SITE) PROVIDED = 59,344 SF (32% OF SITE)
	<b>PUBLIC OPEN SPACE:</b> REQUIRED = 18,362 SF (50% OF REQ'D OPEN SPACE) PROVIDED = 31,535 SF (86% OF REQ'D OPEN SPACE)

LEGEND	
	EXISTING PROPERTY LINE
	PROPOSED LOT LINE ADJUSTMENT
	SITE COVERAGE
	OPEN SPACE
	PUBLIC OPEN SPACE
	PEDESTRIAN PATHS (PAVER, CONCRETE, DG)



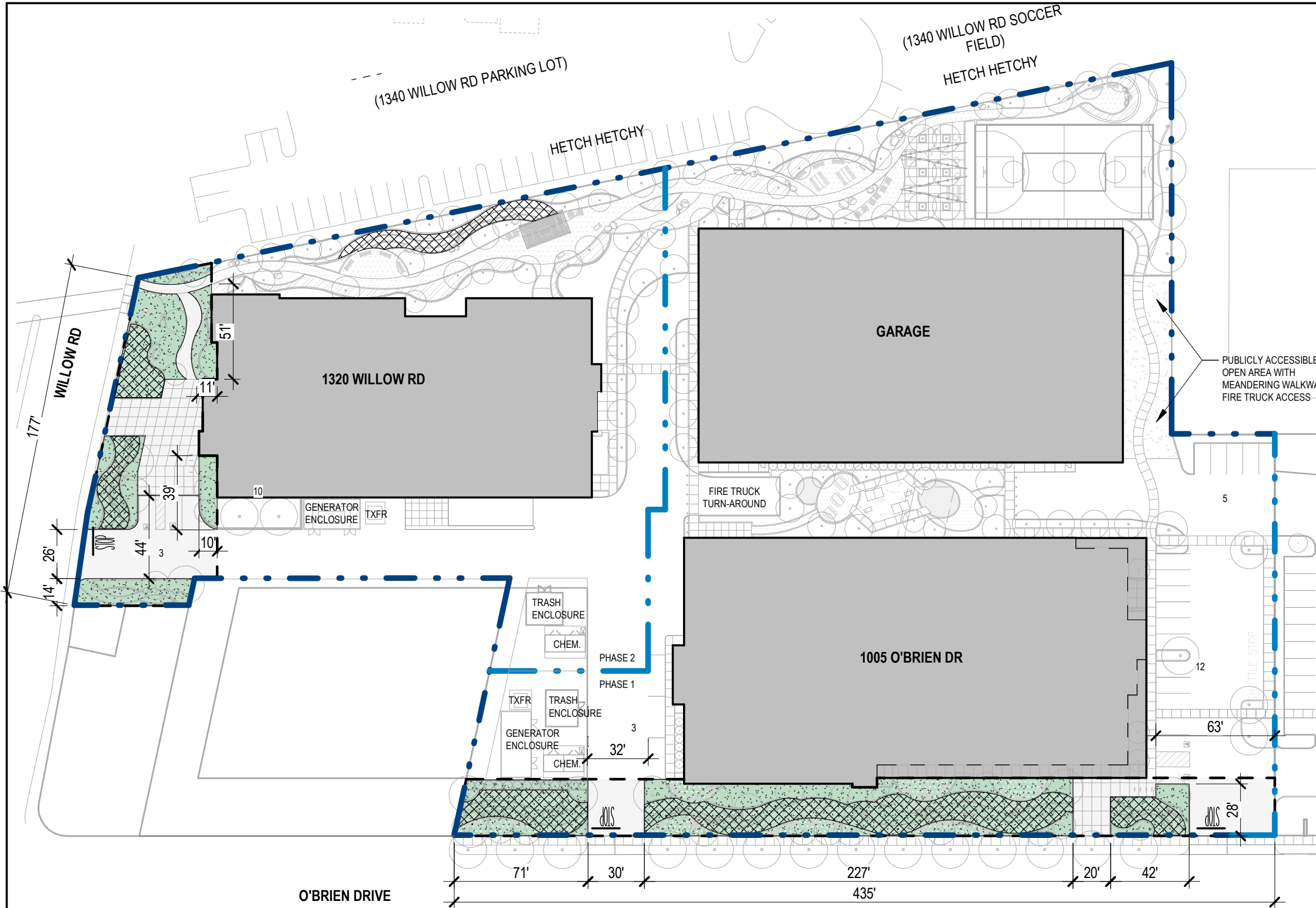
985 & 1001 O'BRIEN DR  
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PHASE 2 OPEN SPACE DIAGRAM

A7.2





### SHEET NOTES

**PHASE 1**  
**FRONTAGE:** 13,070 SF

**FRONTAGE LANDSCAPE:**  
 REQUIRED = 3,268 SF (25% OF FRONTAGE)  
 PROVIDED = 9,620 SF (75% OF FRONTAGE)

**FRONTAGE STORMWATER TREATMENT:**  
 REQUIRED = 1,634 SF (50% OF FRONTAGE LANDSCAPE)  
 PROVIDED = 4,900 SF (300% OF REQUIRED AREA)

---

**PHASE 2**  
**FRONTAGE:** 9,964 SF

**FRONTAGE LANDSCAPE:**  
 REQUIRED = 2,491 SF (25% OF FRONTAGE)  
 PROVIDED = 4,674 SF (47% OF FRONTAGE)

**FRONTAGE STORMWATER TREATMENT:**  
 REQUIRED = 1,246 SF (50% OF FRONTAGE LANDSCAPE)  
 PROVIDED = 1,160 SF (93% OF REQUIRED AREA)

---

**PHASE 1 + 2**  
**FRONTAGE:** 23,034 SF

**FRONTAGE LANDSCAPE:**  
 REQUIRED = 5,759 SF (25% OF FRONTAGE)  
 PROVIDED = 14,494 SF (63% OF FRONTAGE)

**FRONTAGE STORMWATER TREATMENT:**  
 REQUIRED = 2,880 SF (50% OF FRONTAGE LANDSCAPE)  
 PROVIDED = 6,060 SF (210% OF FRONTAGE LANDSCAPE)

### LEGEND

- EXISTING PROPERTY LINE
- PROPOSED LOT LINE ADJUSTMENT
- SITE COVERAGE
- FRONTAGE
- FRONTAGE LANDSCAPE
- STORMWATER TREATMENT

PHASE 1		PHASE 2	
FRONTAGE: 435'		FRONTAGE: 177'	
PKG ALONG FRONTAGE		PKG ALONG FRONTAGE	
MAX	PROPOSED	MAX	PROPOSED
108.75' (25%)	95' (22%)	44.25' (25%)	44' (25%)



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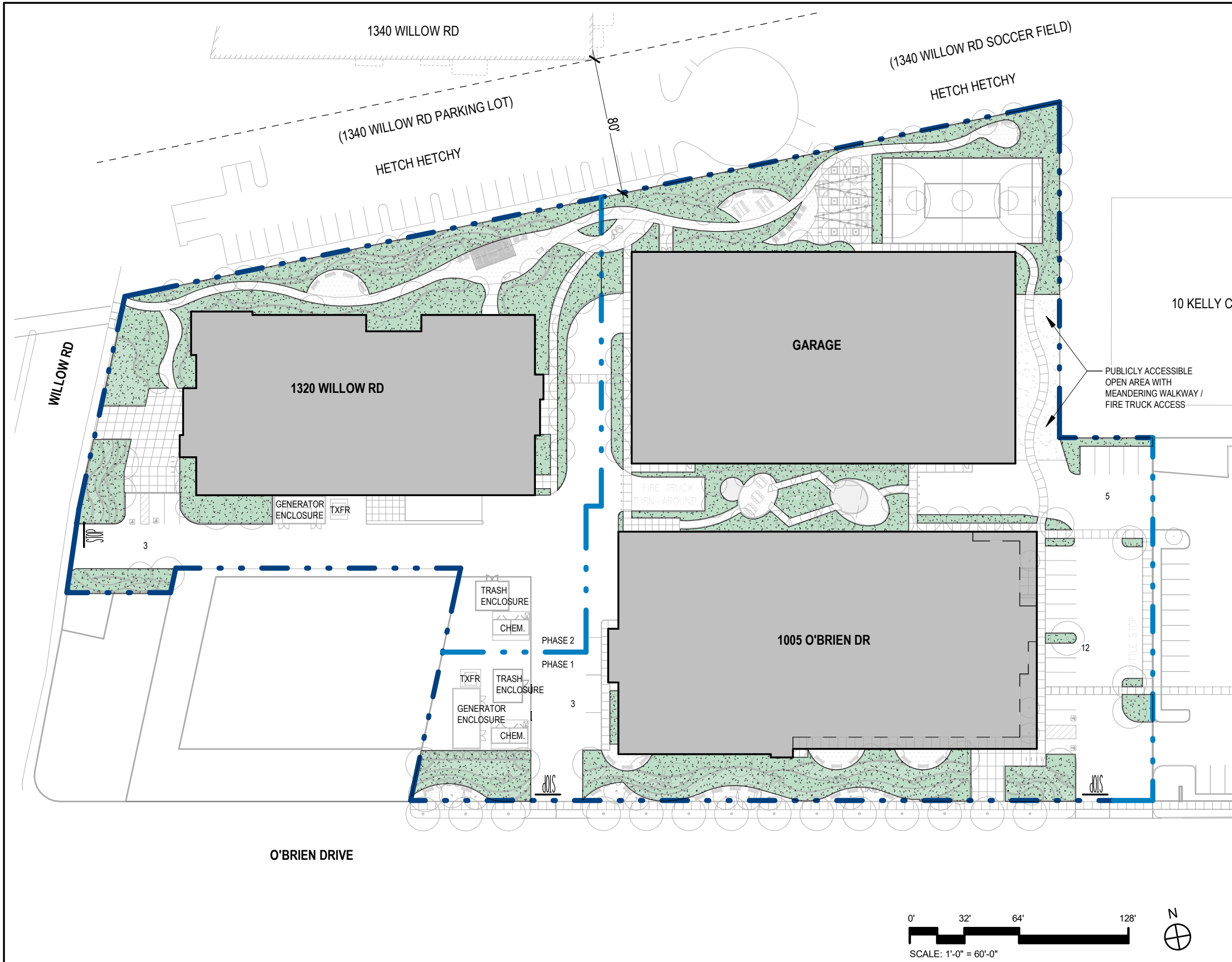


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 10-28-2022 C.U.P. RESPONSE 3  
 02-17-2023 C.U.P. RESPONSE 4

## PHASE 1 & 2 FRONTAGE DIAGRAM



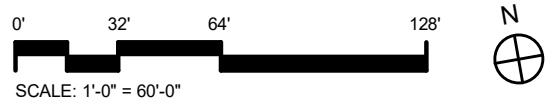


**SHEET NOTES**

<b>PHASE 1 AREA:</b>	123,738 SF
<b>LANDSCAPE AREA:</b>	19,889 SF (16%)
<b>PHASE 2 AREA:</b>	59,878 SF
<b>LANDSCAPE AREA:</b>	14,026 SF (23%)
<b>PHASE 1 + 2 PROJECT SITE AREA:</b>	182,616 SF
<b>PROJECT SITE LANDSCAPE AREA:</b>	33,915 SF (19%)

**LEGEND**

- EXISTING PROPERTY LINE
- PROPOSED LOT LINE ADJUSTMENT
- SITE COVERAGE
- LANDSCAPE



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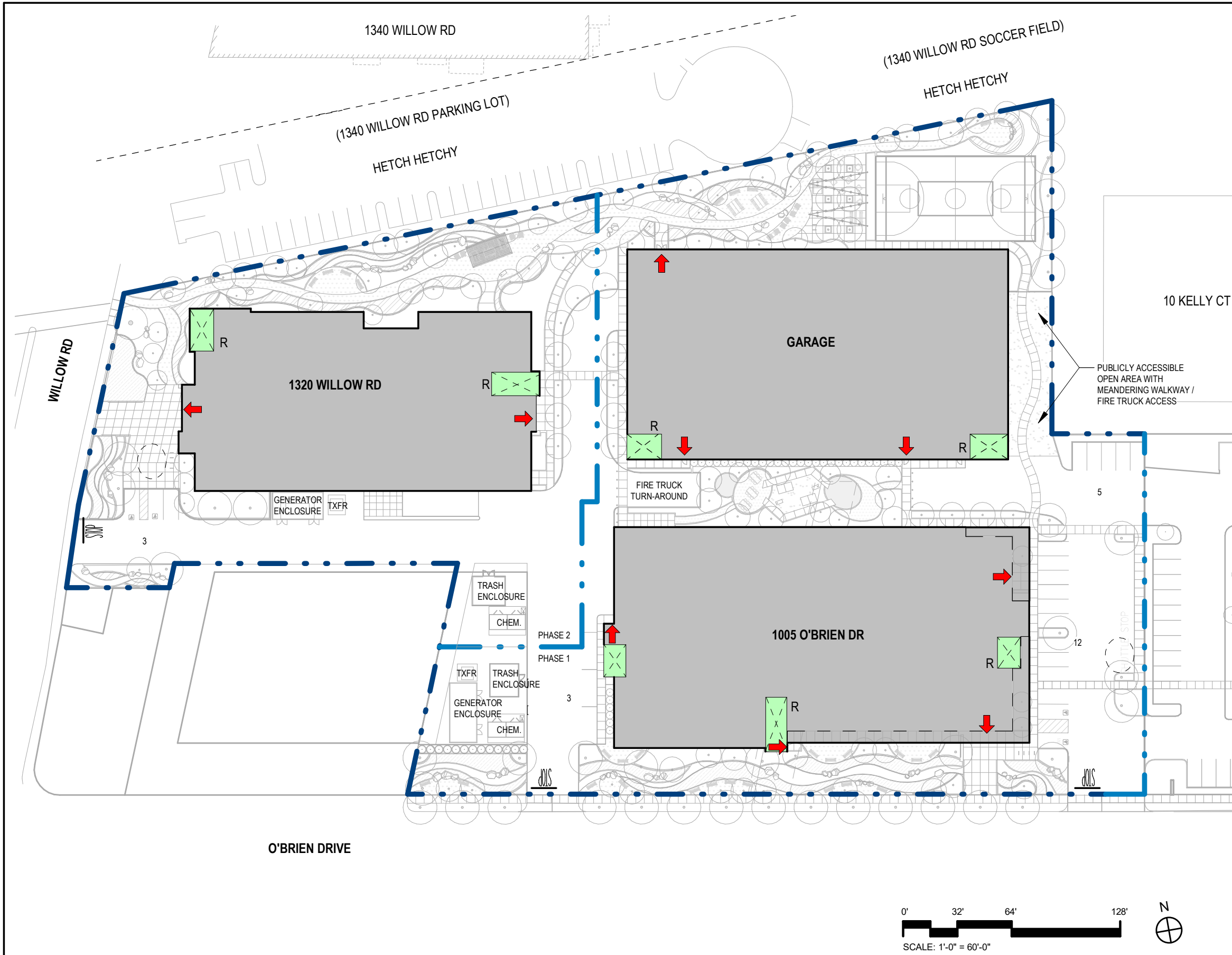
985 & 1001 O'BRIEN DR  
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 02-17-2023 C.U.P. RESPONSE 4

**OVERALL SITE LANDSCAPE AREA  
 CALCS**









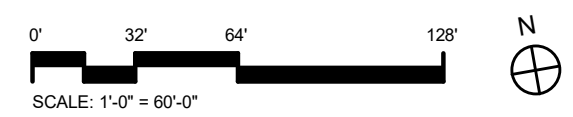
BIM 360/Tarlton - MenloParkLabs/10025002\_A\_1005OBD\_SHELL\_2020\_Central.rvt



SHEET NOTES

LEGEND

-  EXISTING PROPERTY LINE
-  PROPOSED LOT LINE ADJUSTMENT
-  EGRESS / EXIT
-  STAIR TOWER
-  STAIR TOWER WITH ROOF ACCESS
-  SAFETY GATHERING AREA



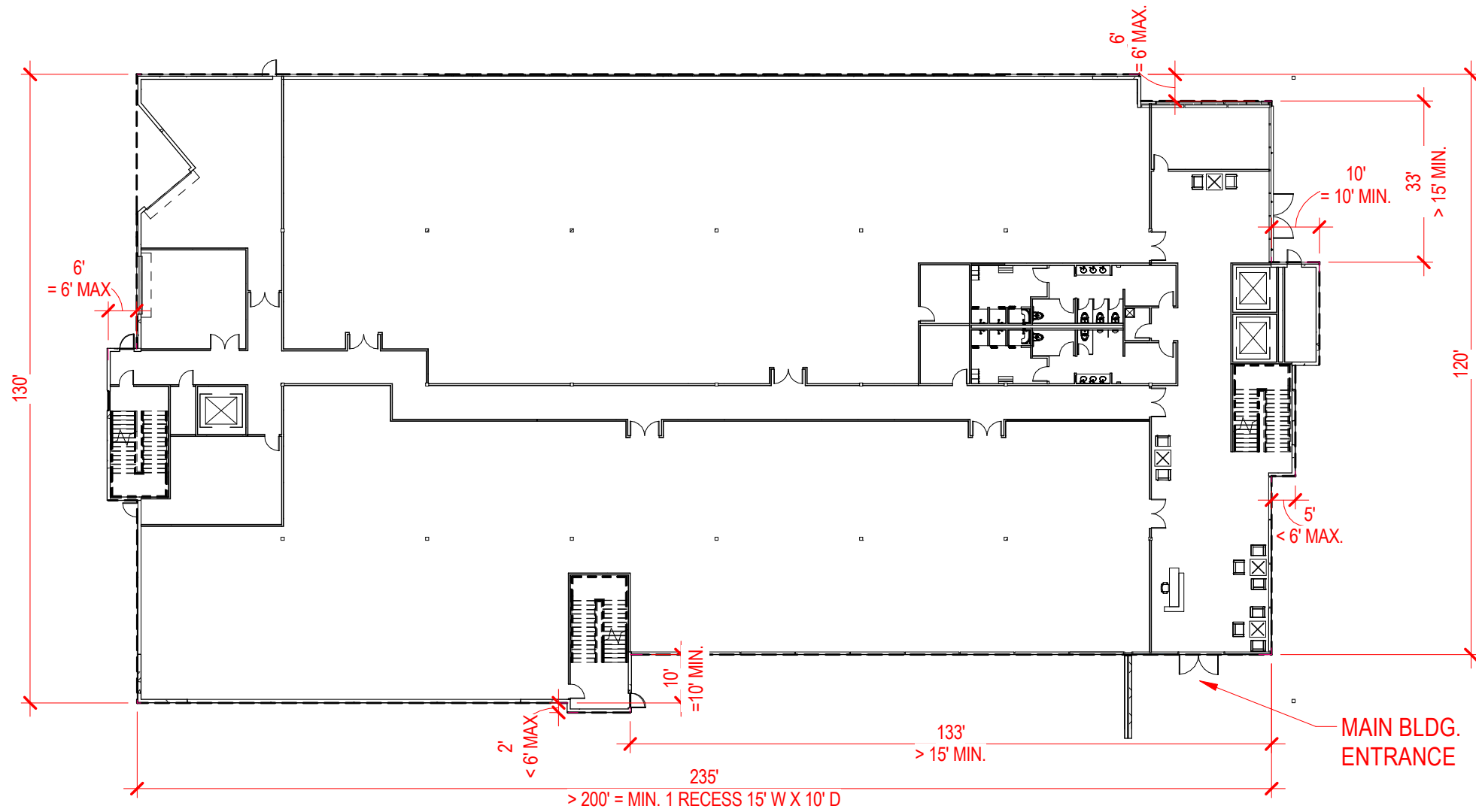
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SITE SERVICE / EMERGENCY PLAN







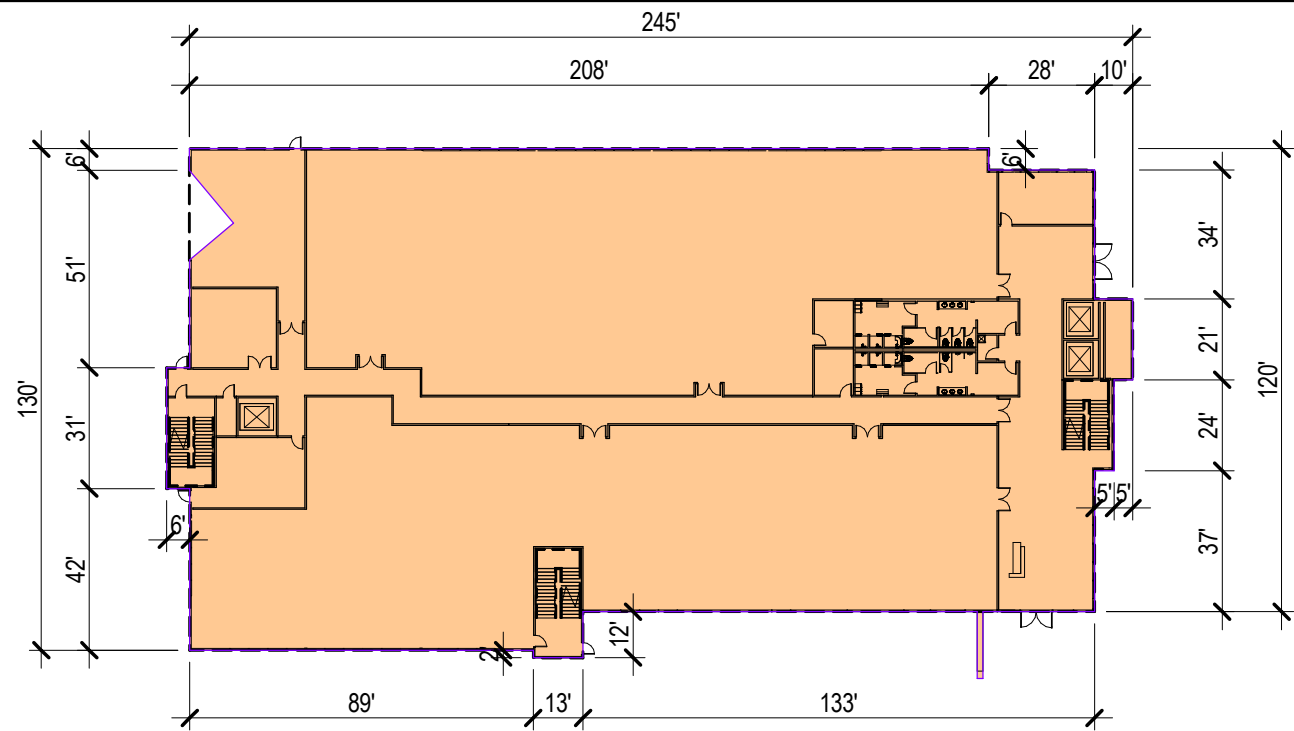
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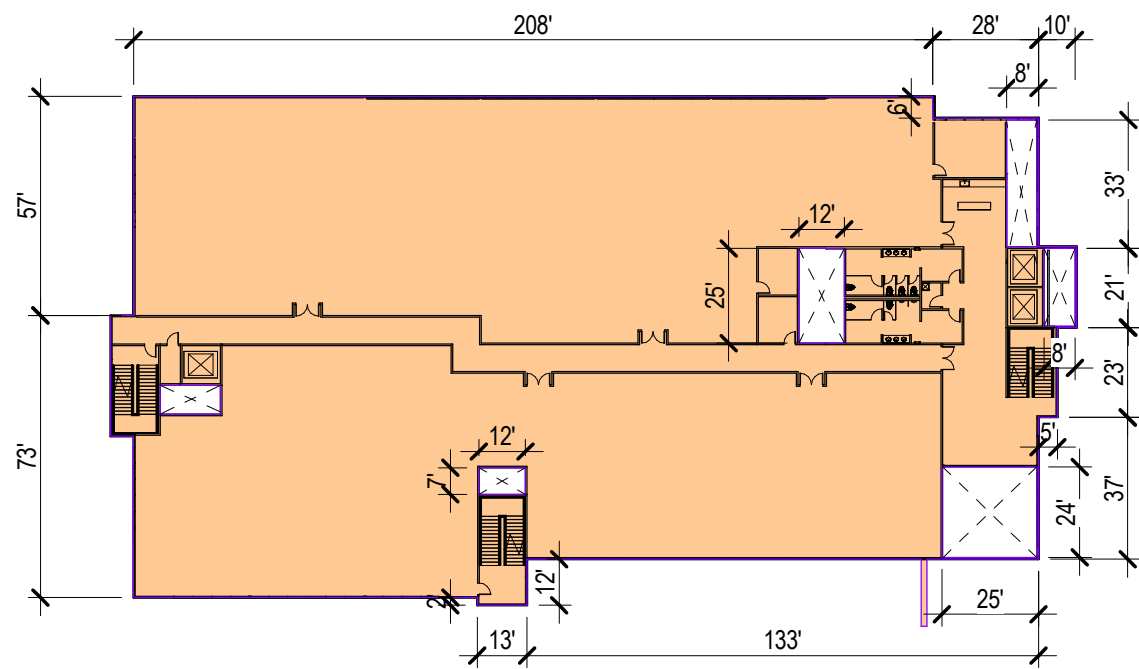
1005 O'BRIEN BLDG. MODULATION



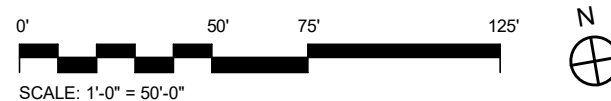
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1 1005 LEVEL 1  
1" = 50'-0"



2 1005 LEVEL 2  
1" = 50'-0"



**SHEET NOTES**

**GROSS FLOOR AREA:**

LEVEL 1 R&D AREA	29,643 SF
LEVEL 2 R&D AREA	28,265 SF
LEVEL 3 R&D AREA	30,962 SF
LEVEL 4 R&D AREA	30,962 SF
LEVEL 5 R&D AREA	30,962 SF
ROOF STAIRS & ELEV.	1,407 SF
ROOF CONFERENCE	1,670 SF
ROOF STORAGE	510 SF

**TOTAL: 154,381 SF**

**OUTDOOR ROOF DECK:**

CIRCULATION:	1,517 SF
LANDSCAPE:	1,403 SF
SEATING/OPEN AREA:	953 SF
<b>TOTAL:</b>	<b>3,873 SF</b>

**LEGEND**

**BUILDING (FAR)**

- R&D AREA
- ROOF STAIRS & ELEVATOR
- CONFERENCE ROOM
- ROOF STORAGE

**BUILDING (NOT INCLUDED IN FAR)**

- ROOF DECK SEATING
- ROOF DECK CIRCULATION
- ROOF DECK LANDSCAPE
- ROOF (UNOCCUPIED)
- MECHANICAL
- SHAFTS/OPENINGS



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1005 O'BRIEN GROSS FLOOR AREA  
DIAGRAMS



SHEET NOTES

**GROSS FLOOR AREA:**

LEVEL 1 R&D AREA	29,643 SF
LEVEL 2 R&D AREA	28,265 SF
LEVEL 3 R&D AREA	30,962 SF
LEVEL 4 R&D AREA	30,962 SF
LEVEL 5 R&D AREA	30,962 SF
ROOF STAIRS & ELEV.	1,407 SF
ROOF CONFERENCE	1,670 SF
ROOF STORAGE	510 SF

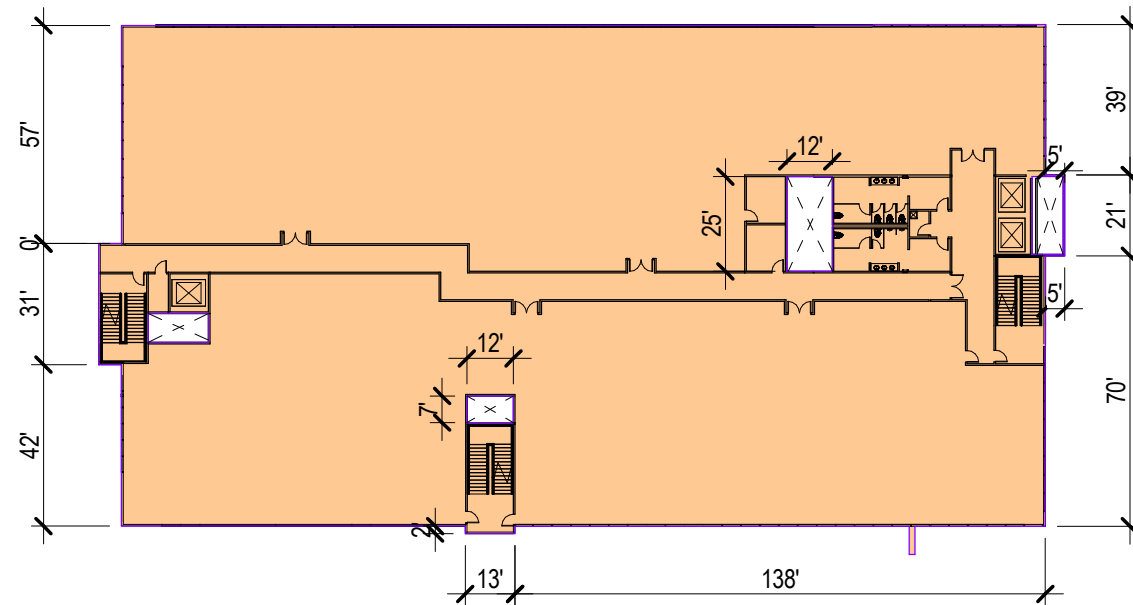
**TOTAL:** 154,381 SF

**OUTDOOR ROOF DECK:**

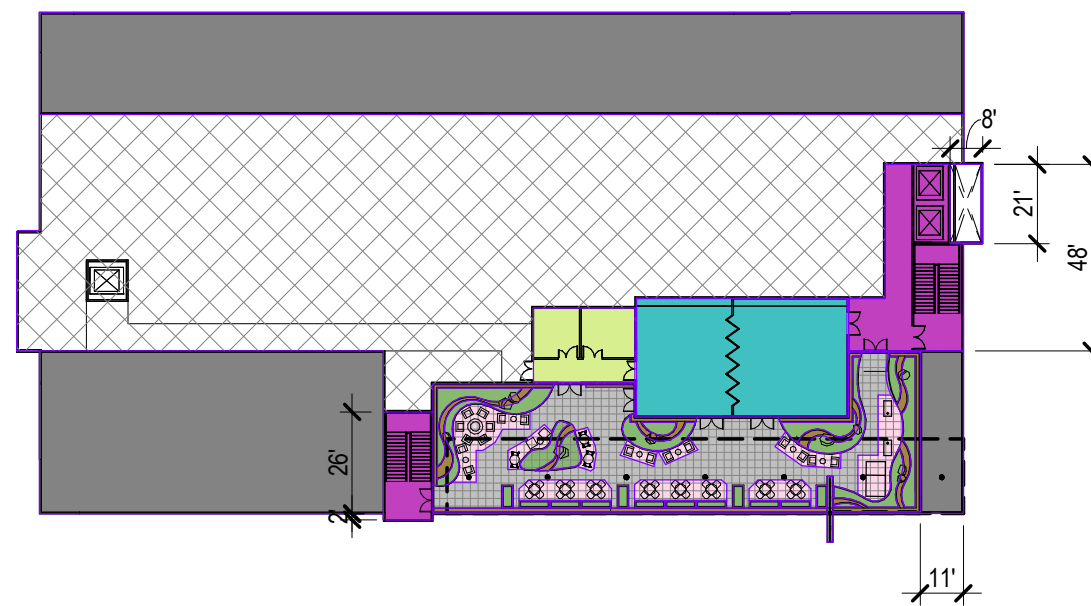
CIRCULATION:	1,517 SF
LANDSCAPE:	1,403 SF
SEATING/OPEN AREA:	953 SF
<b>TOTAL:</b>	<b>3,873 SF</b>

LEGEND

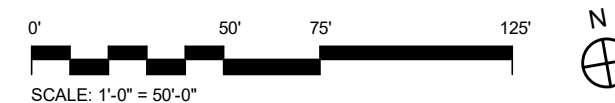
- BUILDING (FAR)**
- R&D AREA
  - ROOF STAIRS & ELEVATOR
  - CONFERENCE ROOM
  - ROOF STORAGE
- BUILDING (NOT INCLUDED IN FAR)**
- ROOF DECK SEATING
  - ROOF DECK CIRCULATION
  - ROOF DECK LANDSCAPE
  - ROOF (UNOCCUPIED)
  - MECHANICAL
  - SHAFTS/OPENINGS



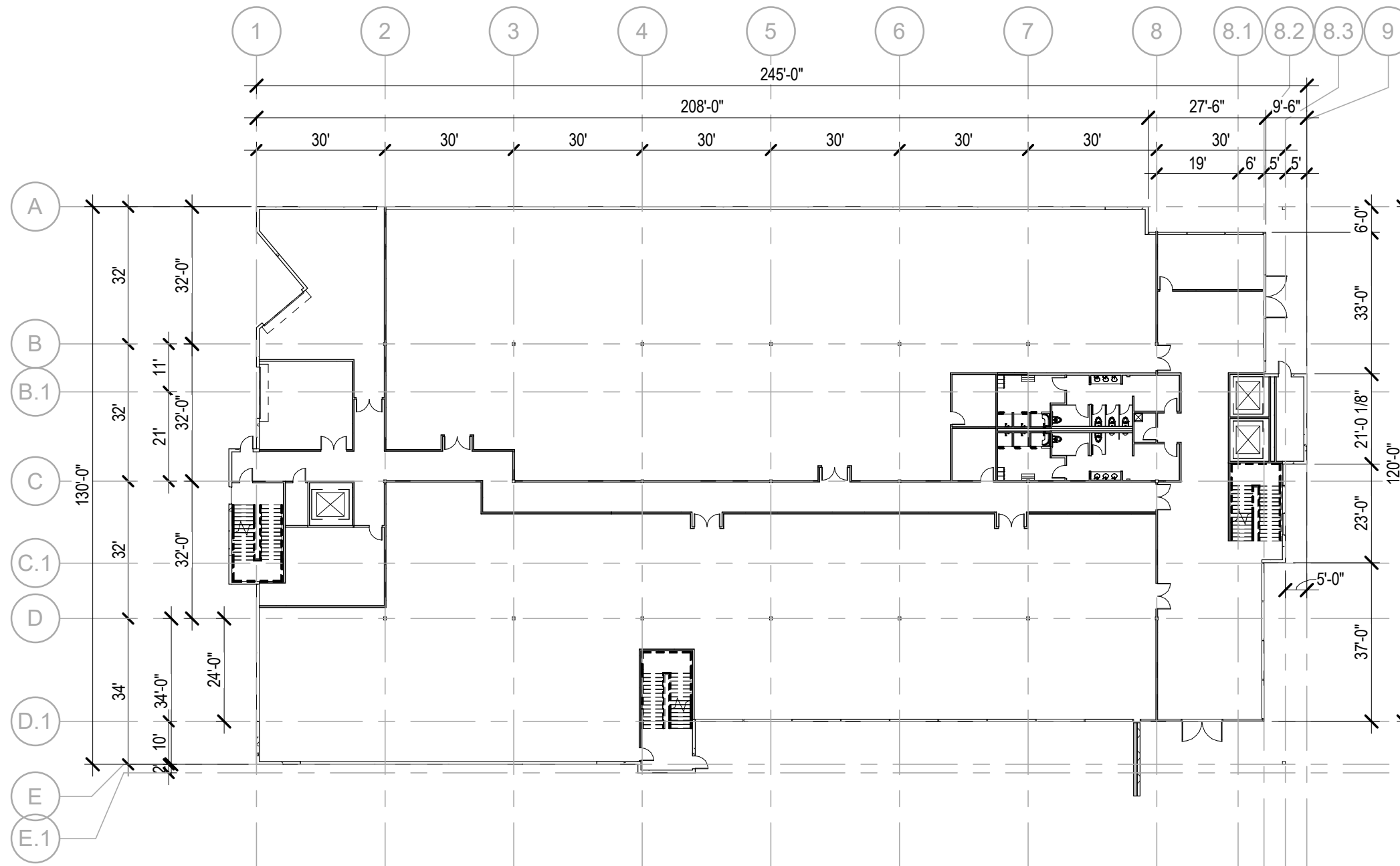
1 1005 LEVEL 3-5  
1" = 50'-0"



2 1005 ROOF  
1" = 50'-0"



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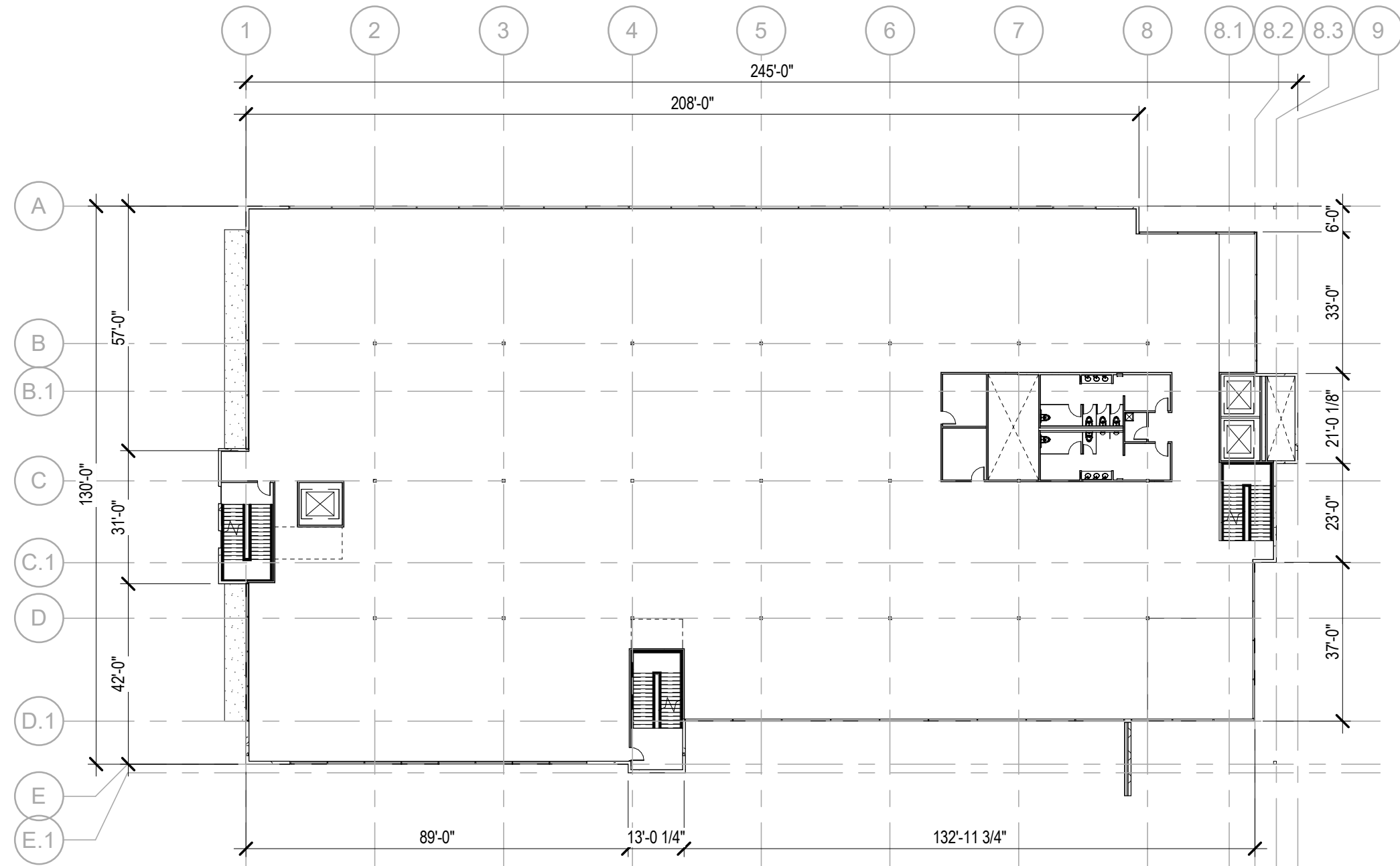
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1005 O'BRIEN LEVEL 1

A9.2 **DES**  
 ARCHITECTS  
 ENGINEERS

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985 & 1001 O'BRIEN DR  
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1005 O'BRIEN LEVEL 2

A9.3



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1005 O'BRIEN LEVEL 3-5

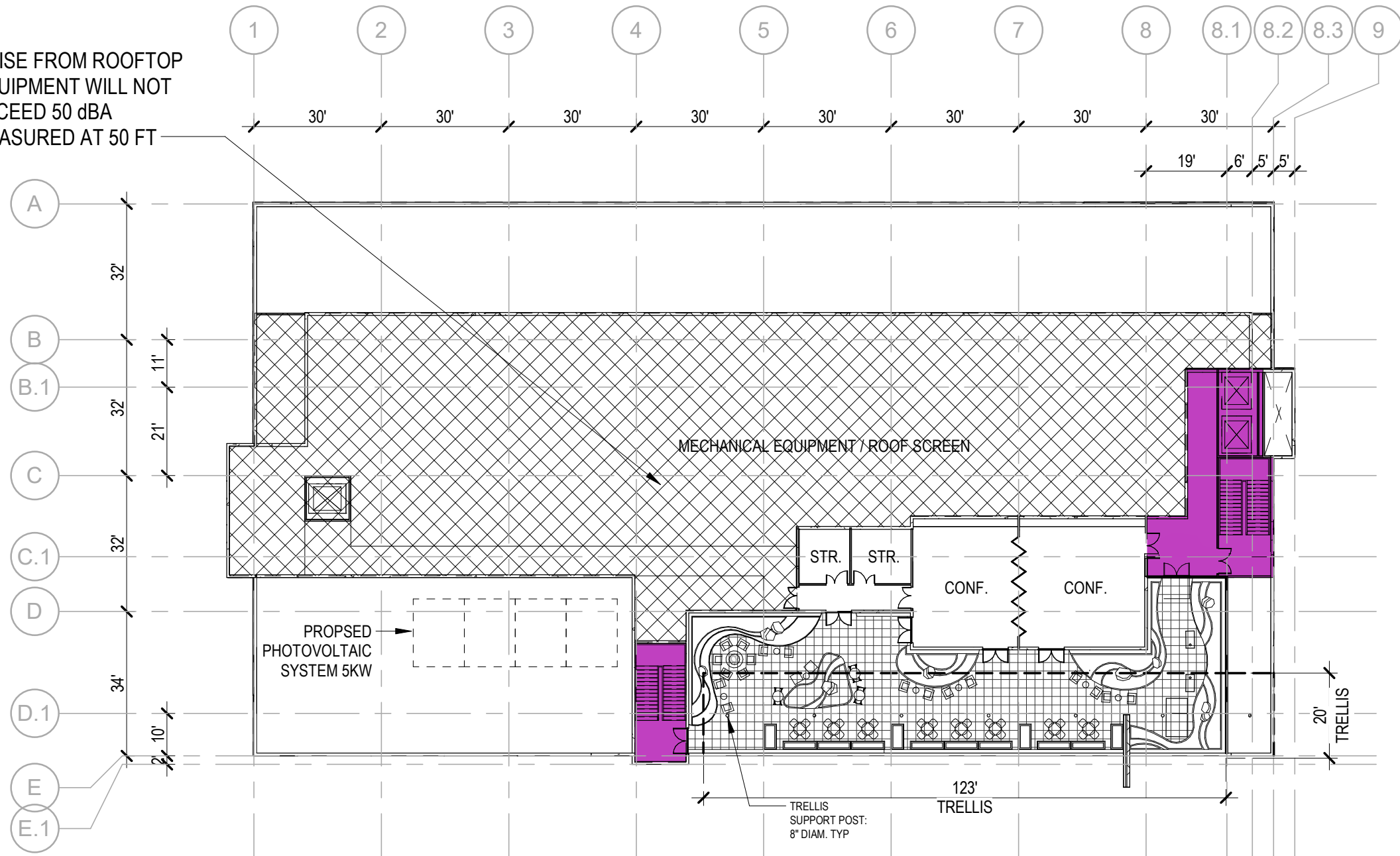
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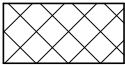


NOISE FROM ROOFTOP EQUIPMENT WILL NOT EXCEED 50 dBA MEASURED AT 50 FT



\*EMPLOYEE USE ONLY\*



LEGEND

-  MECHANICAL EQUIPMENT / ROOF SCREEN AREA
-  ROOF ACCESS & CIRCULATION
-  ROOF TOP TRELLIS



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02-17-2023	C.U.P. RESPONSE 4

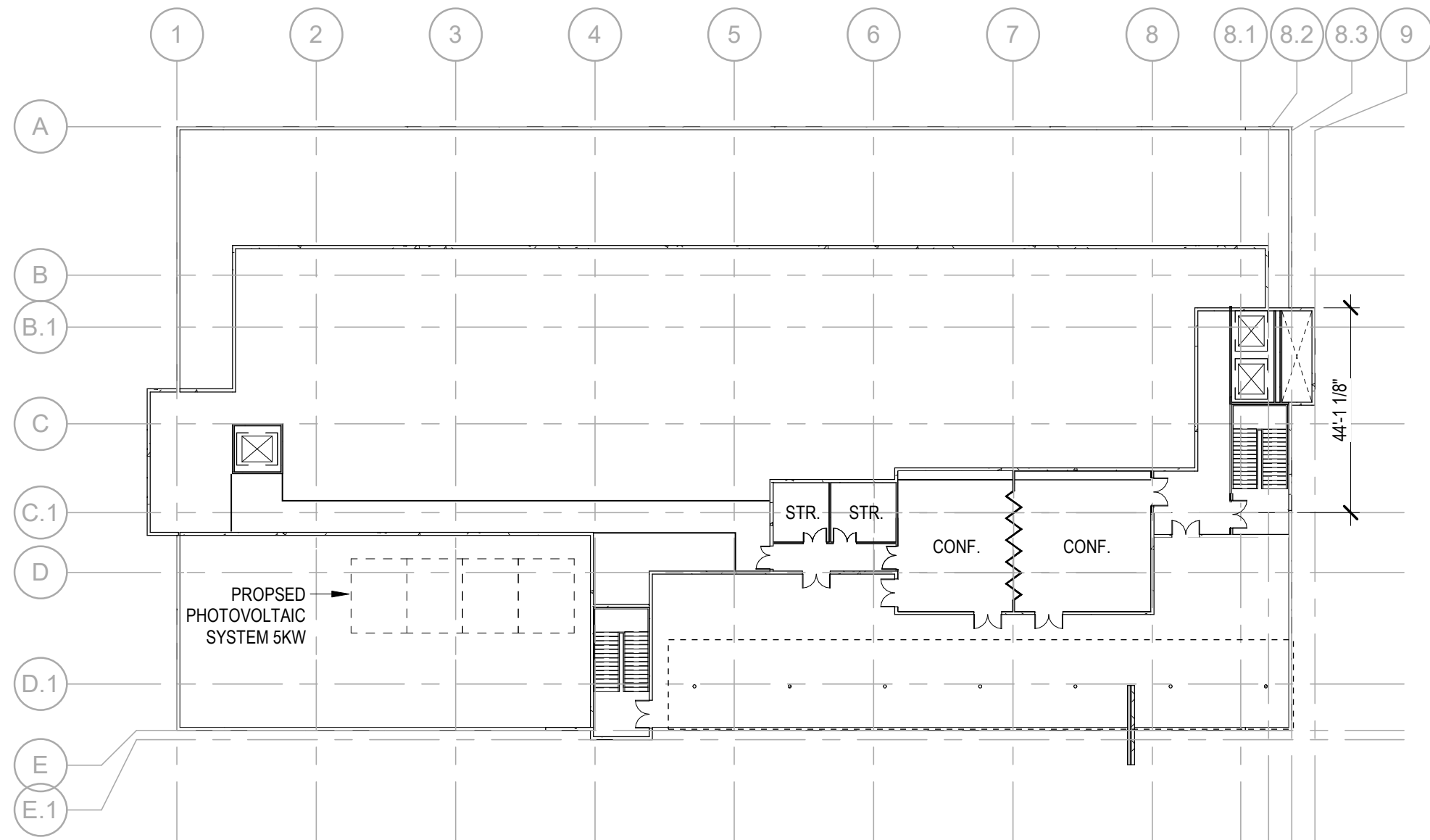
1005 O'BRIEN ROOF DECK

A9.5



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985 & 1001 O'BRIEN DR  
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06-22-2022 C.U.P. RESPONSE 2  
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 02-17-2023 C.U.P. RESPONSE 4

1005 O'BRIEN ROOF PLAN

A9.6



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① GLASS (TYP), LOW-E, TINTED BLUE (BIRD SAFE GLASS)



② GLASS (LOBBY), LOW-E, CLEAR DOUBLE GLASS (BIRD SAFE GLASS)



③ WINDOW MULLIONS: JLR MZG GRAY MICA II



④ METAL PANEL SYSTEM AT LOWER CANOPY



⑤ CORRUGATED METAL PANEL: ROOF SCREEN, WALL CLADDING COLOR TO MATCH DUNN CHARCOAL SKETCH



⑨ PERFORATED METAL AWNINGS POWDER COATED GREY



⑥ GFRC, SANDBLASTED, SMOOTH: COLOR TO MATCH DUNN EDWARDS RECLAIMED WOOD



⑦ GFRC, SANDBLASTED, SMOOTH: COLOR TO MATCH DUNN EDWARDS CHARCOAL SKETCH



⑧ HIGH DENSITY COMPOSITE EXTERIOR CLADDING: WOOD LOOK



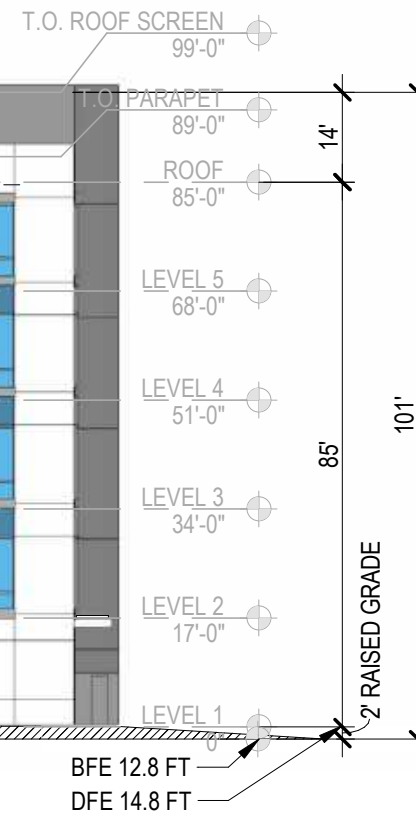
MECH SCREEN:  
ALUMINUM PANELS

GFR  
BIRD-FRIENDLY,  
SPANDREL GLAZING

BIRD-FRIENDLY,  
SOLAR BLUE  
GLAZING

BIRD-FRIENDLY,  
CLEAR GLAZING

### NORTH ELEVATION



BFE 12.8 FT  
DFE 14.8 FT

### LEGEND

- SOLAR BAN 70, SOLAR BLUE LOW-E GLAZING, WITH A BIRD-FRIENDLY 2" x 4" CERAMIC DOT FRIT PATTERN
- VITRO SOLARBAN 70XL, CLEAR LOW-E GLAZING, WITH A BIRD-FRIENDLY 2" x 4" CERAMIC DOT FRIT PATTERN
- GLASS FIBER REINFORCED CONCRETE PANELS SAND BLASTED FINISH TBD
- GLASS FIBER REINFORCED CONCRETE PANELS SAND BLASTED FINISH TBD
- CORRUGATED ALUMINUM PANNELLING COLOR TBD
- GROUND FLOOR FRONTAGE 4,375 SF
- GROUND FLOOR TRANSPARENCY AT FRONTAGE  
REQUIRED: 1,750 SF (40%)  
PROVIDED: 2,063 SF (47%)

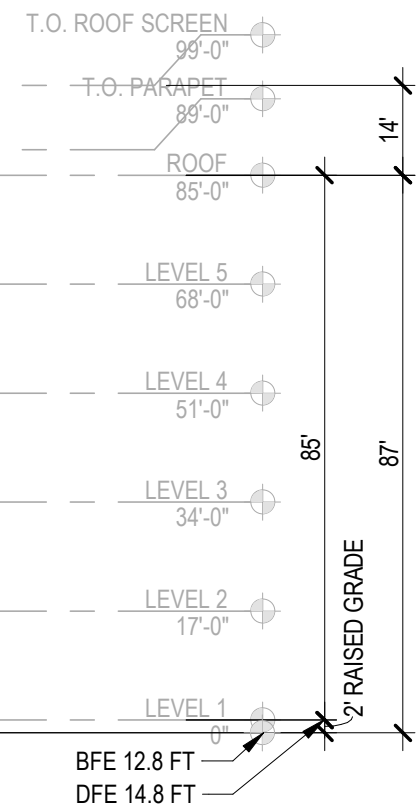
TRELLIS W/POWDER COATED EXTRUDED ALUMINUM LOUVERS

GFR

BIRD-FRIENDLY,  
SOLAR BLUE GLAZING

BIRD-FRIENDLY,  
CLEAR GLAZING

### EAST ELEVATION



BFE 12.8 FT  
DFE 14.8 FT

SECONDARY ENTRANCE



SCALE: 1'-0" = 30'-0"

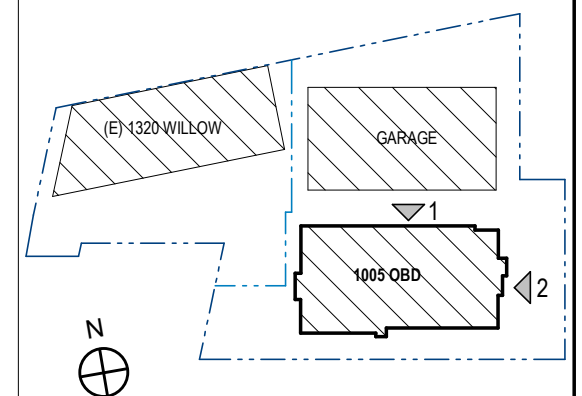
### PROPOSED GLAZING RATIO

**NORTH ELEVATION:** 22,400 SF  
SOLAR BLUE GLAZING: 15,000 SF (67%)  
CLEAR GLAZING: 810 SF (4%)

**EAST ELEVATION:** 11,150 SF  
SOLAR BLUE GLAZING: 2,000 SF (18%)  
CLEAR GLAZING: 2,000 SF (18%)

**NOTE:**  
ALUMINUM FRAMES AT WINDOWS AND DOORS

### KEY PLAN



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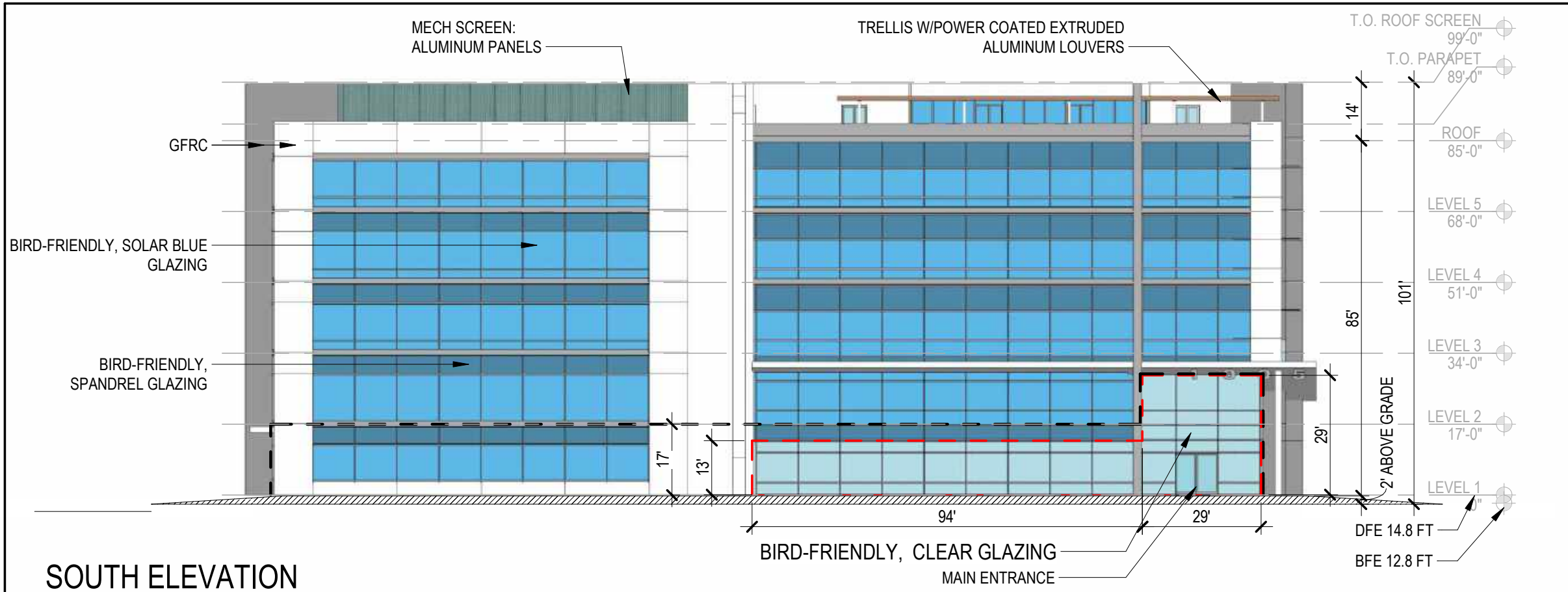
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1005 O'BRIEN BUILDING  
ELEVATIONS

A10.1



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**SOUTH ELEVATION**

**LEGEND**

- SOLAR BAN 70, SOLAR BLUE LOW-E GLAZING, WITH A BIRD-FRIENDLY 2" x 4" CERAMIC DOT FRIT PATTERN
- VITRO SOLARBAN 70XL, CLEAR LOW-E GLAZING, WITH A BIRD-FRIENDLY 2" x 4" CERAMIC DOT FRIT PATTERN
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- GROUND FLOOR TRANSPARENCY AT FRONTAGE  
REQUIRED: 1,750 SF (40%)  
PROVIDED: 2,063 SF (47%)



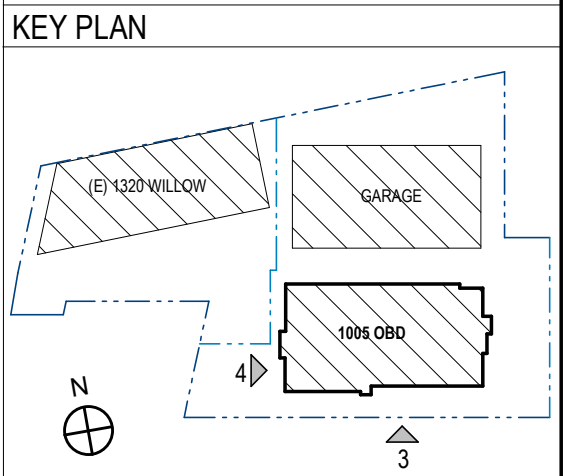
**WEST ELEVATION**

**PROPOSED GLAZING RATIO**

**SOUTH ELEVATION:** 22,000 SF  
 SOLAR BLUE GLAZING: 13,510 SF (61%)  
 CLEAR GLAZING: 2,063 SF (9%)

**WEST ELEVATION:** 10,800 SF  
 SOLAR BLUE GLAZING: 3,700 SF (34%)

**NOTE:**  
ALUMINUM FRAMES AT WINDOWS AND DOORS



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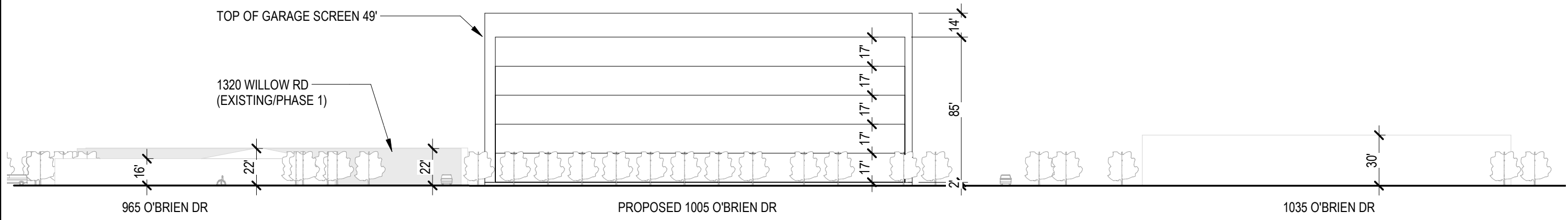
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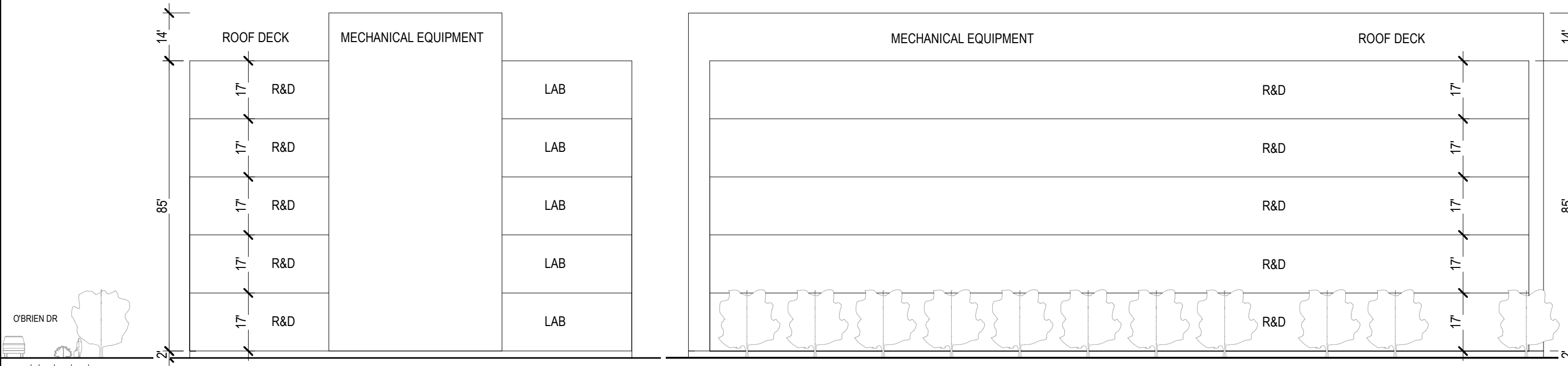
1005 O'BRIEN BUILDING  
 ELEVATIONS



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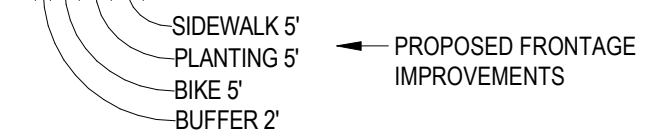


1005 O'BRIEN DR STREETScape - SOUTH



1005 O'BRIEN DR SECTION - EAST

1005 O'BRIEN DR SECTION - SOUTH



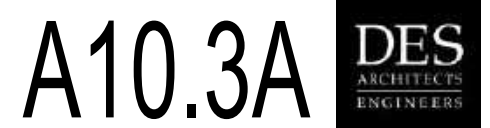
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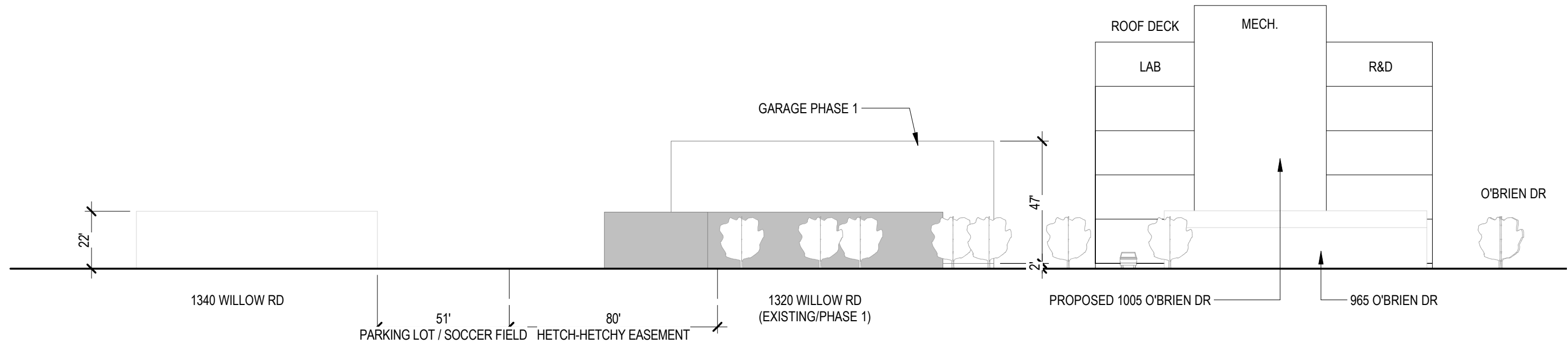
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1005 O'BRIEN CROSS SECTION &  
STREETSCAPE - PHASE 1



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**1** WILLOW ROAD - WEST  
1" = 40'-0"



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1320 WILLOW CROSS SECTION &  
STREETSCAPE - PHASE 1

**A10.3B**



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FRONT VIEW

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1005 O'BRIEN 3D MASSING

A10.4



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NORTH-EAST VIEW

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1005 O'BRIEN 3D MASSING

A10.5



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SOUTH-EAST AERIAL VIEW

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1005 O'BRIEN 3D MASSING

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NORTH-WEST VIEW

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1005 O'BRIEN 3D MASSING

A10.7



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02-17-2023 C.U.P. RESPONSE 4

1005 O'BRIEN 3D MASSING

A10.8



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NORTH-EAST VIEW

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SPORTS COURT 3D MASSING

A10.20



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NORTH VIEW

BIM 360/Tarlton - MenloParkLabs/10025002\_A\_1005OBD\_SHELL\_2020\_Central.rvt



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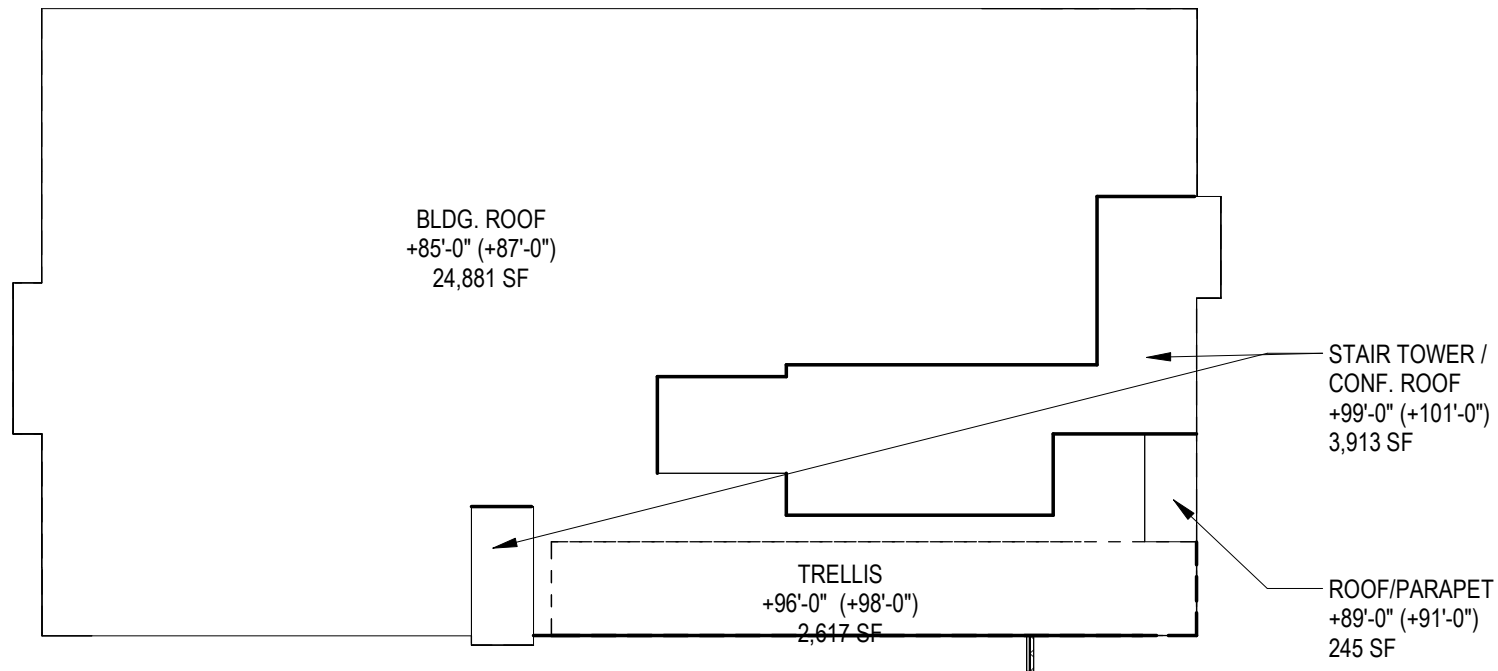
SPORTS COURT 3D MASSING

A10.21

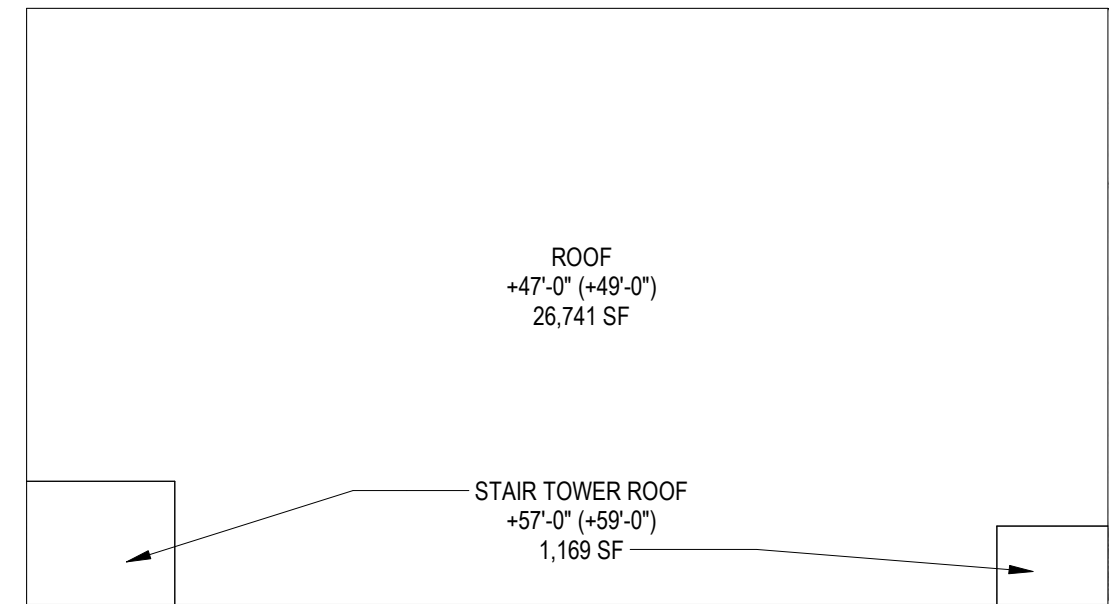


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**1** 1005 O'BRIEN - PHASE 1  
1" = 40'-0"



**2** GARAGE PHASE 1  
1" = 40'-0"

AVERAGE HEIGHT CALCULATION - PHASE 1				
BUILDING		FLOORPLATE (SF)	BLDG. HEIGHT (FT)*	FLOORPLATE x BLDG. HEIGHT
1005 R&D (85')	BLDG. ROOF	24,881	87	2,164,647
	ROOF/PARAPET	245	91	22,295
	TRELLIS	2,617	98	256,466
	STAIRS / CONF....	3,913	101	395,213
GARAGE - PH1 (47')	GARAGE ROOF	26,741	49	1,310,309
	STAIRS TOWERS	1,169	59	68,971
TOTAL		59,566		4,217,901
AVERAGE HEIGHT (TOTAL FLOORPLATE x BLDG. HEIGHT/TOTAL FLOORPLATE)				70.81

AVERAGE HEIGHT MAX. = 77.5 FT (INC. 10FT INCREASE PER IN FLOOD ZONE LOCATION)

\* INCLUDES 2FT RAISED GRADE ABOVE EXISTING GRADE TO ACCOMMODATE FLOOD PLAIN REQUIREMENTS.



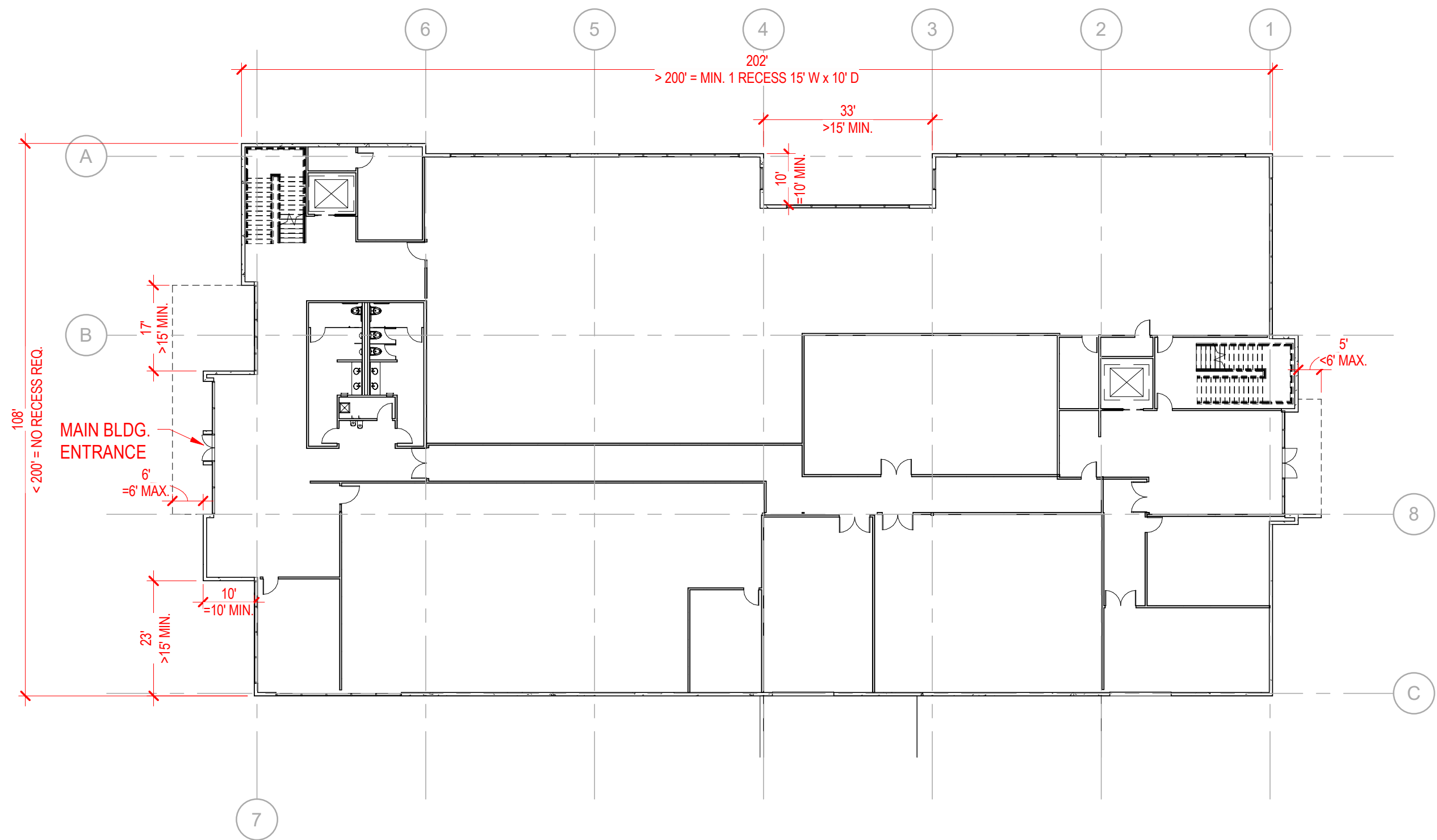
985 & 1001 O'BRIEN DR  
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PHASE 1 HEIGHT CALCULATION



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1320 WILLOW BLDG. MODULATION

A11.1



**SHEET NOTES**

**GROSS FLOOR AREA:**

LEVEL 1 R&D AREA	21,312 SF
LEVEL 2 R&D AREA	20,270 SF
LEVEL 3 R&D AREA	20,923 SF
LEVEL 4 R&D AREA	8,912 SF
ROOF STAIRS & ELEV.	2,200 SF

**TOTAL: 73,617 SF**

**OUTDOOR ROOF DECK:**

CIRCULATION:	1,643 SF
LANDSCAPE:	1,538 SF
SEATING/OPEN AREA:	1,168 SF
<b>TOTAL:</b>	<b>4,349 SF</b>

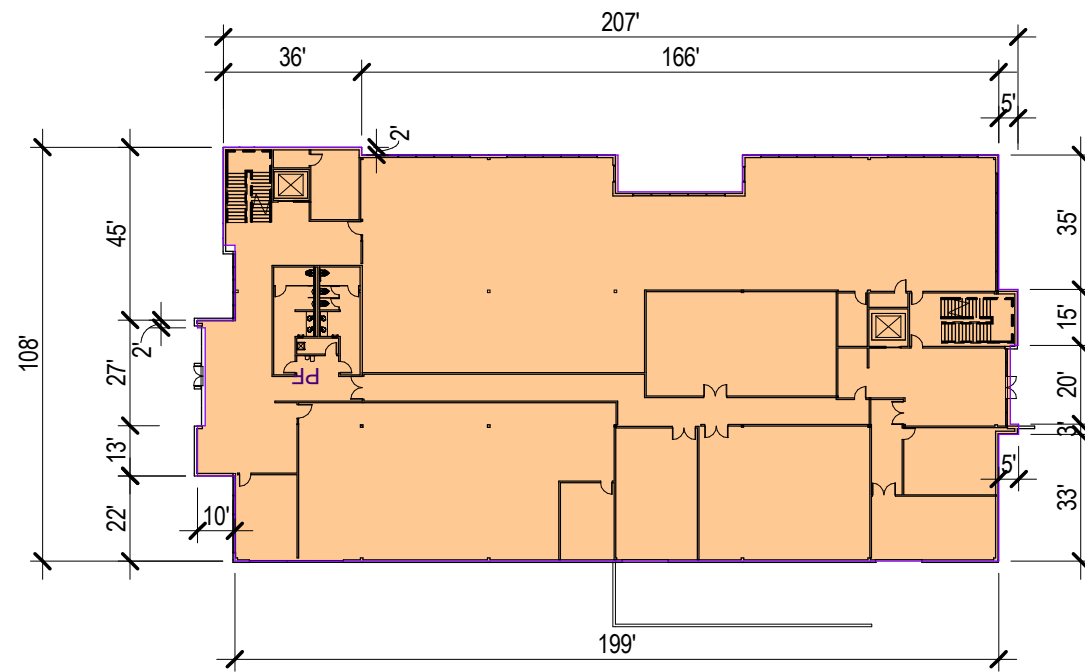
**LEGEND**

**BUILDING (FAR)**

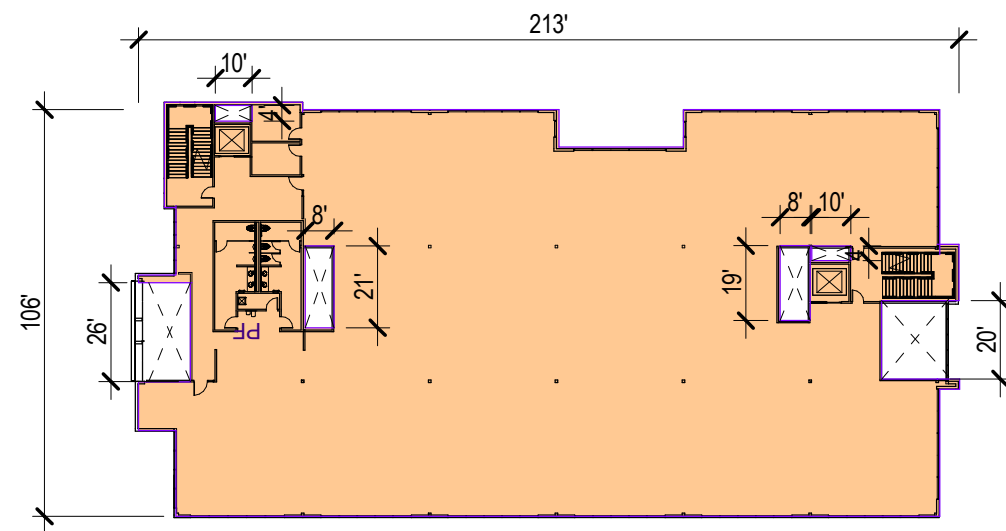
- R&D AREA
- ROOF STAIRS & ELEVATOR
- CONFERENCE ROOM
- ROOF STORAGE

**BUILDING (NOT INCLUDED IN FAR)**

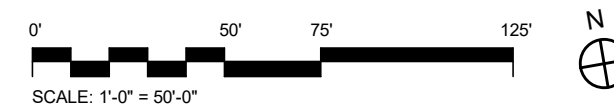
- ROOF DECK SEATING
- ROOF DECK CIRCULATION
- ROOF DECK LANDSCAPE
- ROOF (UNOCCUPIED)
- MECHANICAL
- SHAFTS/OPENINGS



**1320 LEVEL 1**



**1320 LEVEL 2**



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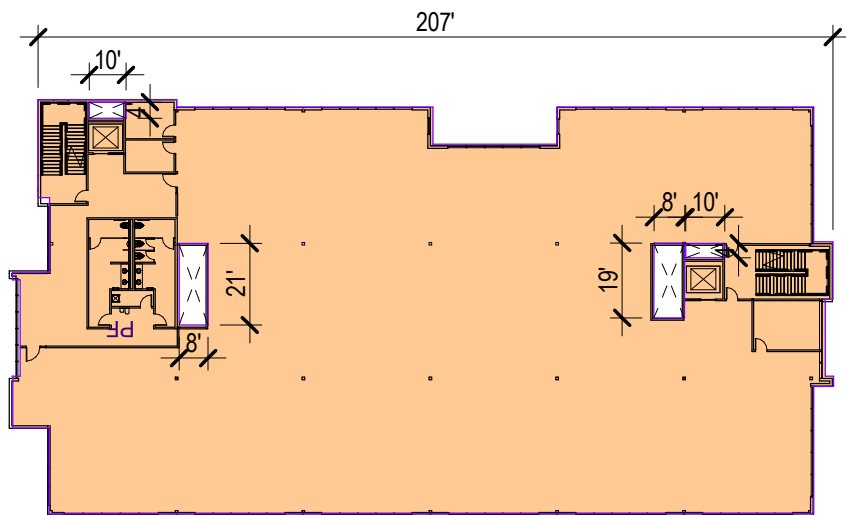
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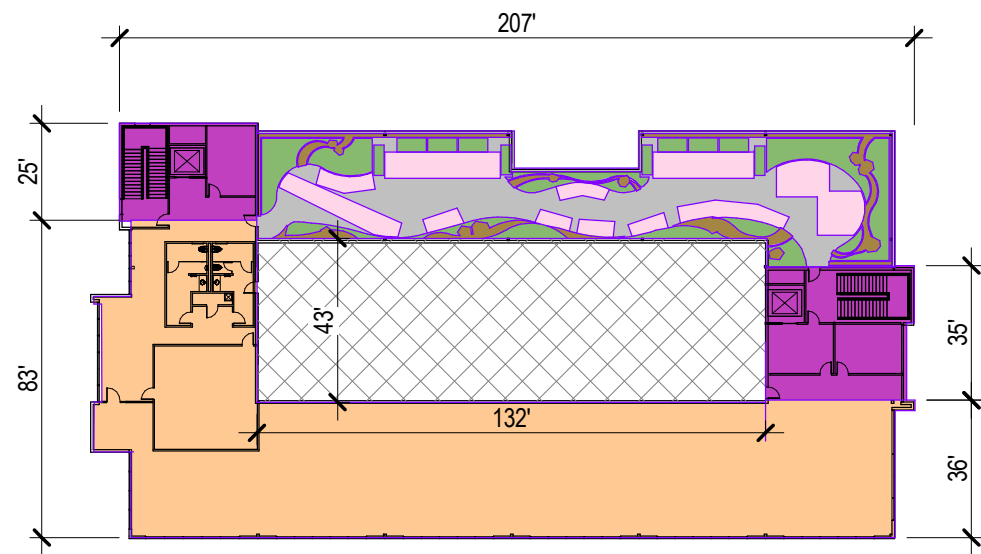
1320 WILLOW GROSS FLOOR AREA  
DIAGRAMS

**A11.1A**





1320 LEVEL 3



1320 LEVEL 4/ROOF

SHEET NOTES

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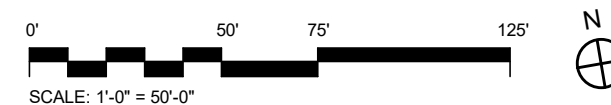
LEGEND

**BUILDING (FAR)**

- R&D AREA
- ROOF STAIRS & ELEVATOR
- CONFERENCE ROOM
- ROOF STORAGE

**BUILDING (NOT INCLUDED IN FAR)**

- ROOF DECK SEATING
- ROOF DECK CIRCULATION
- ROOF DECK LANDSCAPE
- ROOF (UNOCCUPIED)
- MECHANICAL
- SHAFTS/OPENINGS



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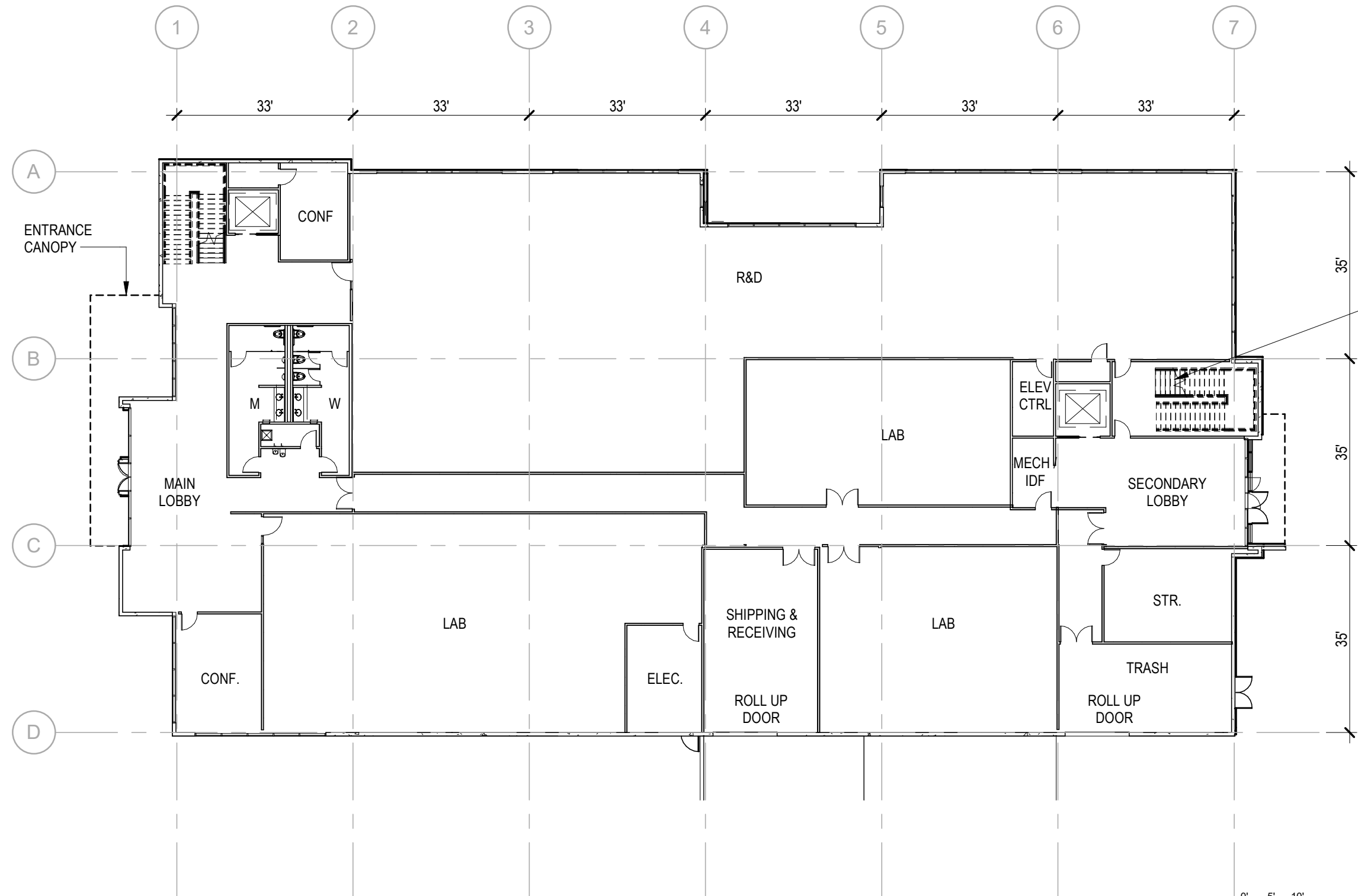
1320 WILLOW GROSS FLOOR AREA  
DIAGRAMS

A11.1B





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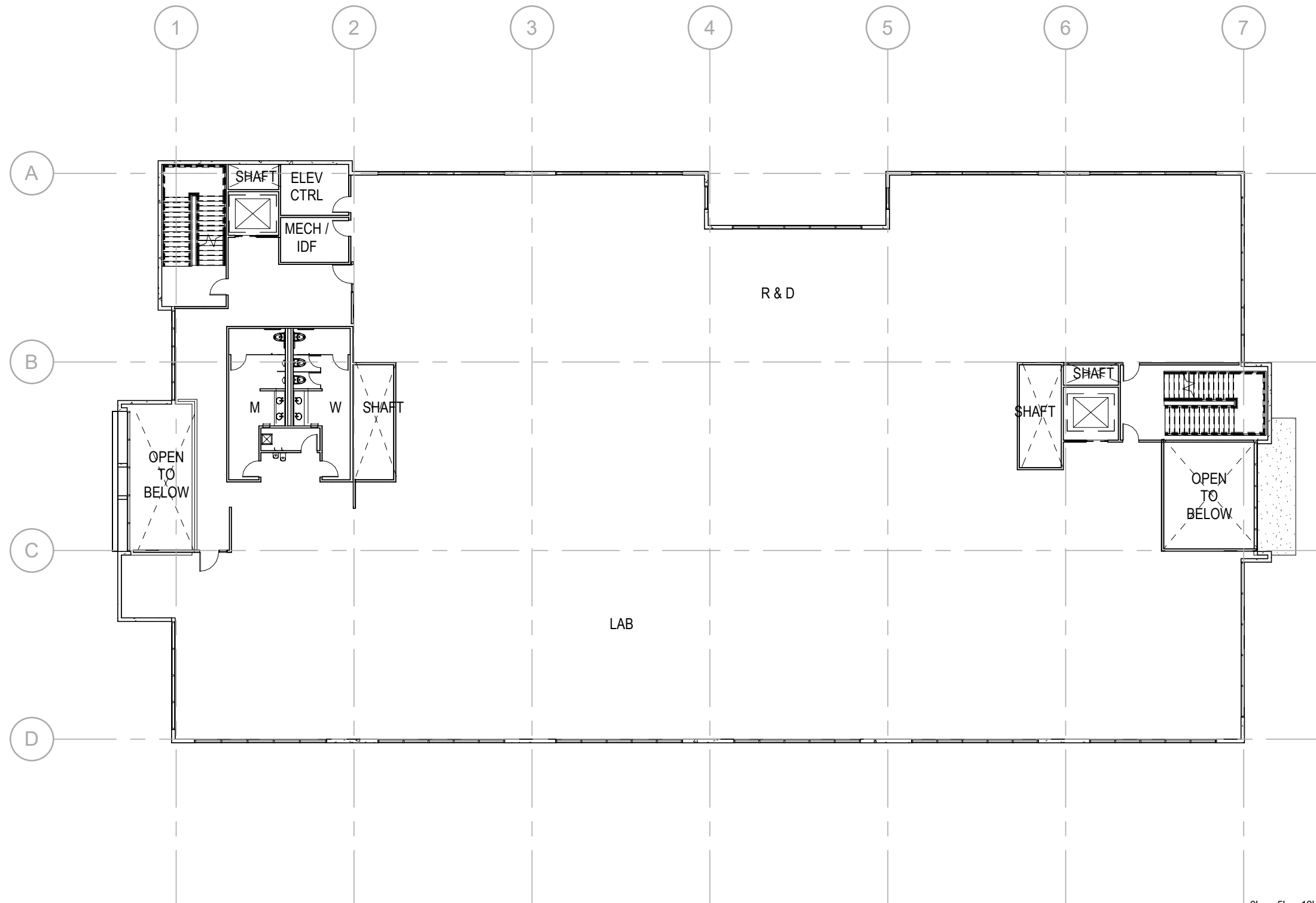
1320 WILLOW LEVEL 1

A11.2



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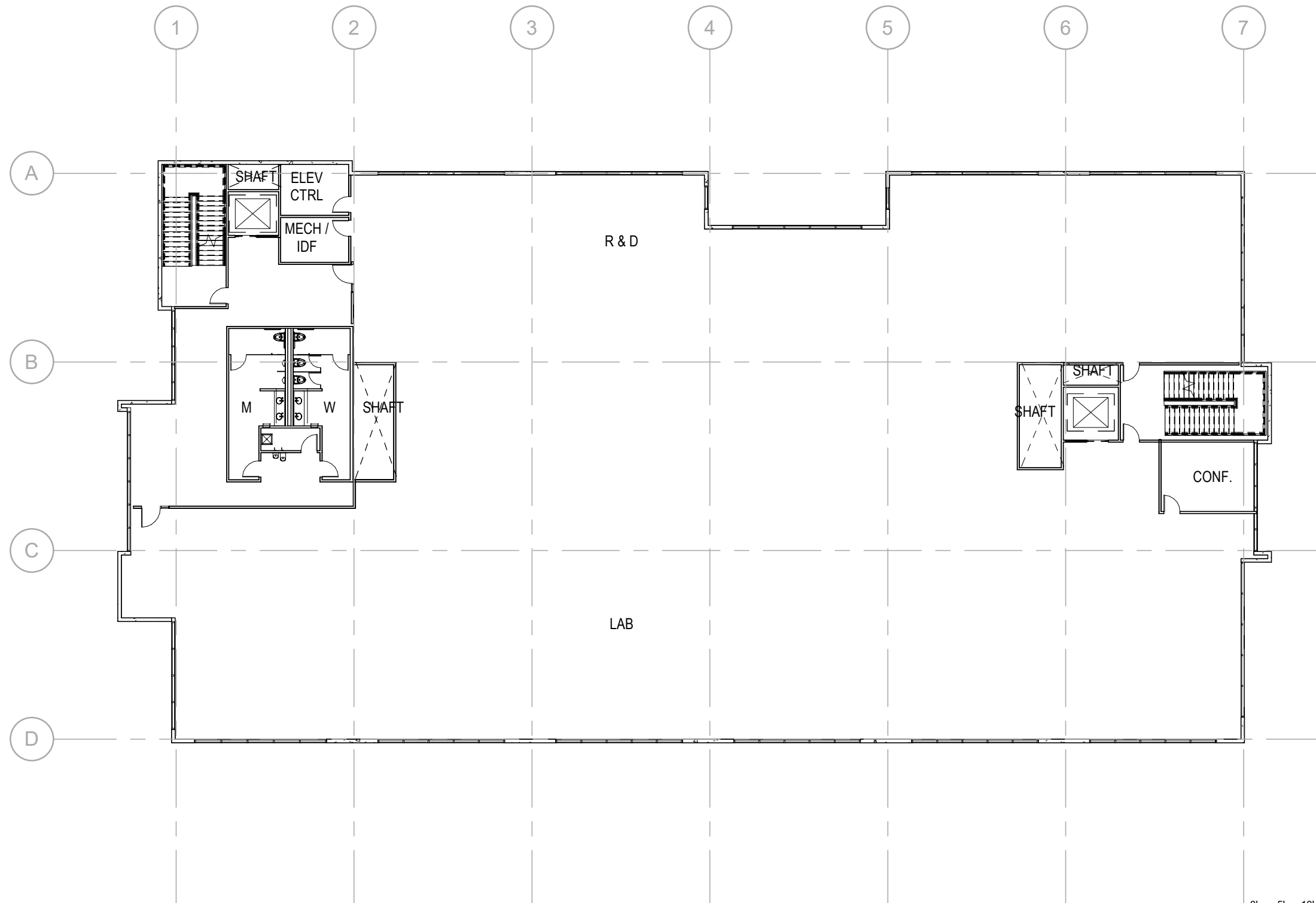
1320 WILLOW LEVEL 2

A11.3



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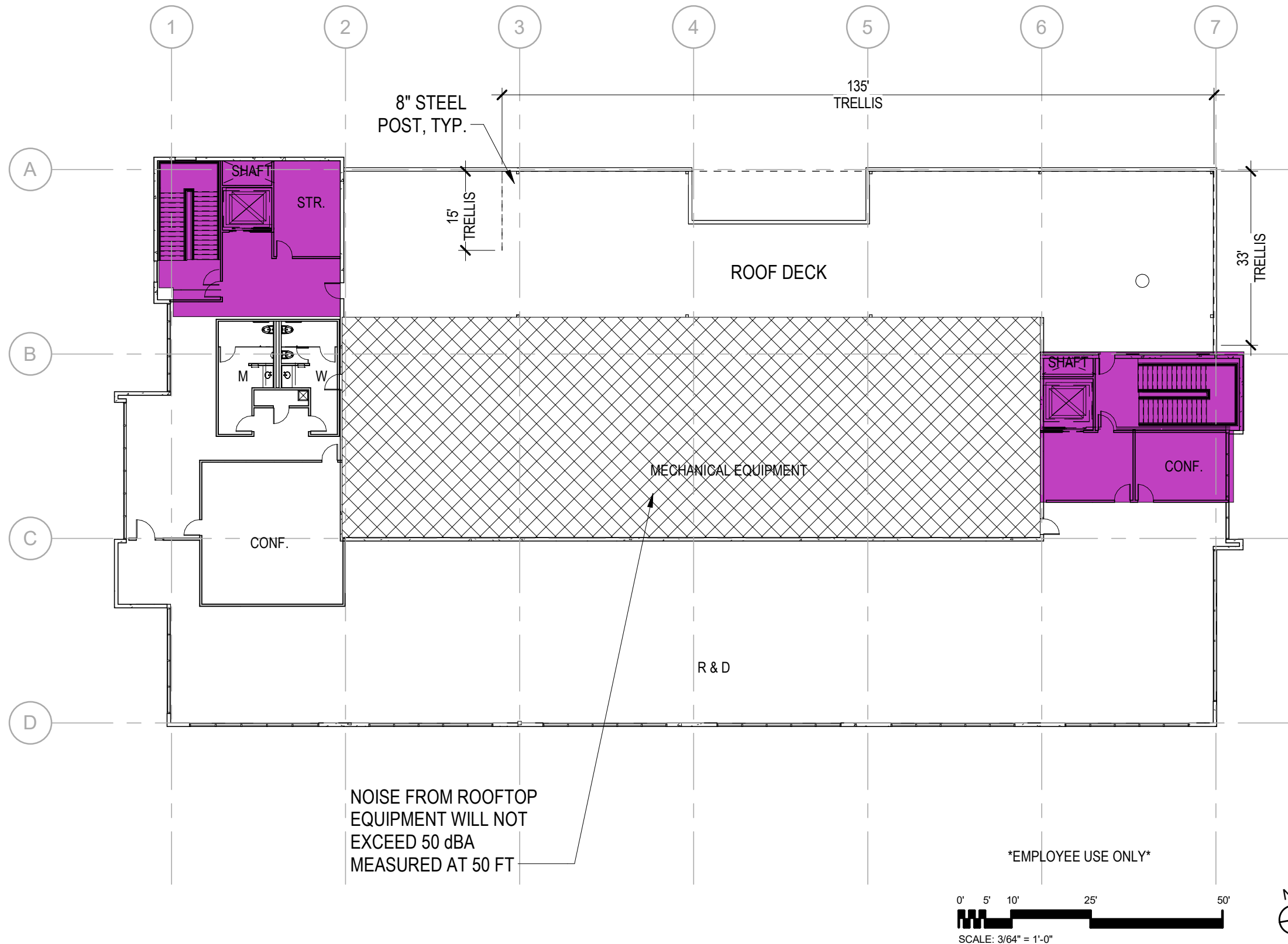
1320 WILLOW LEVEL 3

A11.4

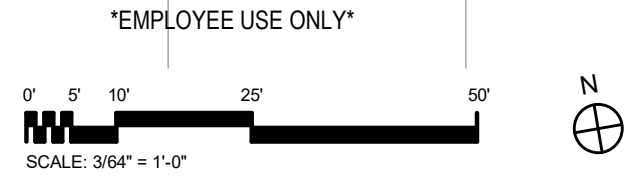


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NOISE FROM ROOFTOP EQUIPMENT WILL NOT EXCEED 50 dBA MEASURED AT 50 FT



**LEGEND**

-  MECHANICAL EQUIPMENT / ROOF SCREEN AREA
-  ROOF ACCESS & CIRCULATION
-  ROOF TOP TRELLIS



985 & 1001 O'BRIEN DR  
1320 WILLOW RD  
MENLO PARK, CA 94025

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10-28-2022	C.U.P. RESPONSE 3
02-17-2023	C.U.P. RESPONSE 4

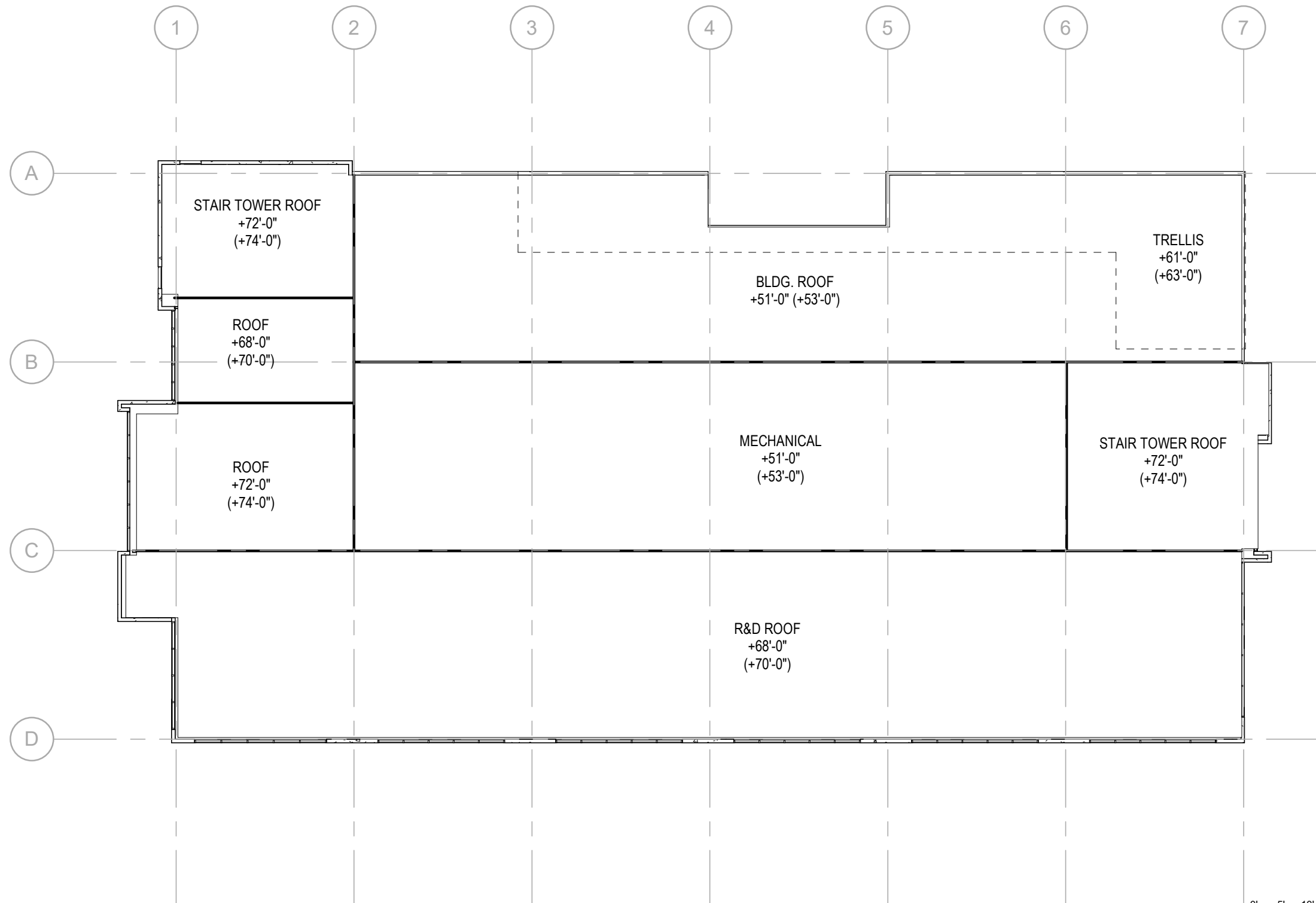
1320 WILLOW LEVEL 4 / ROOF DECK

A11.5



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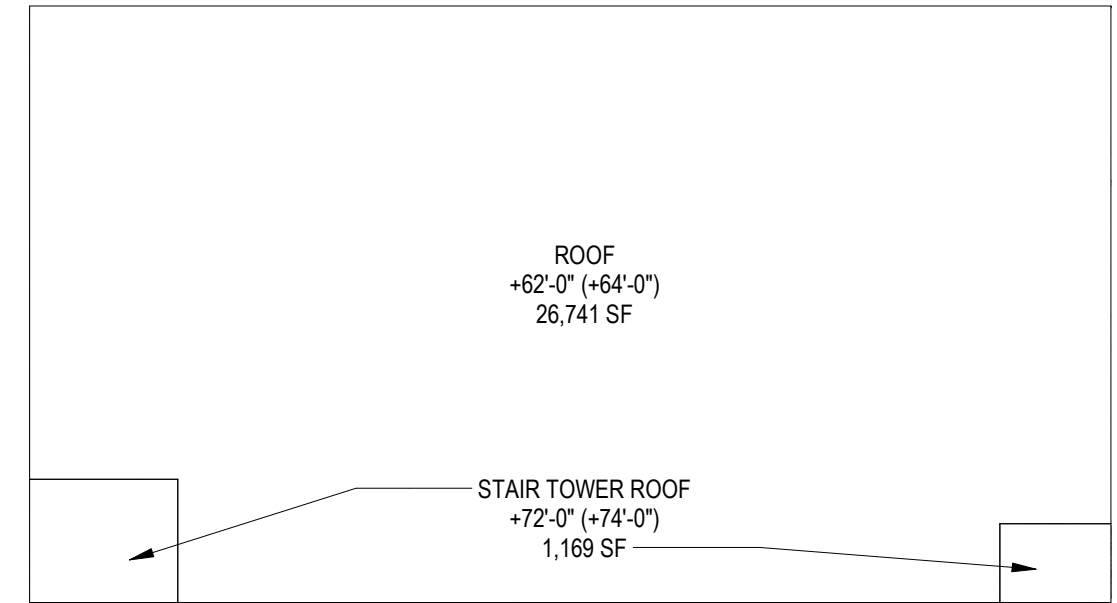
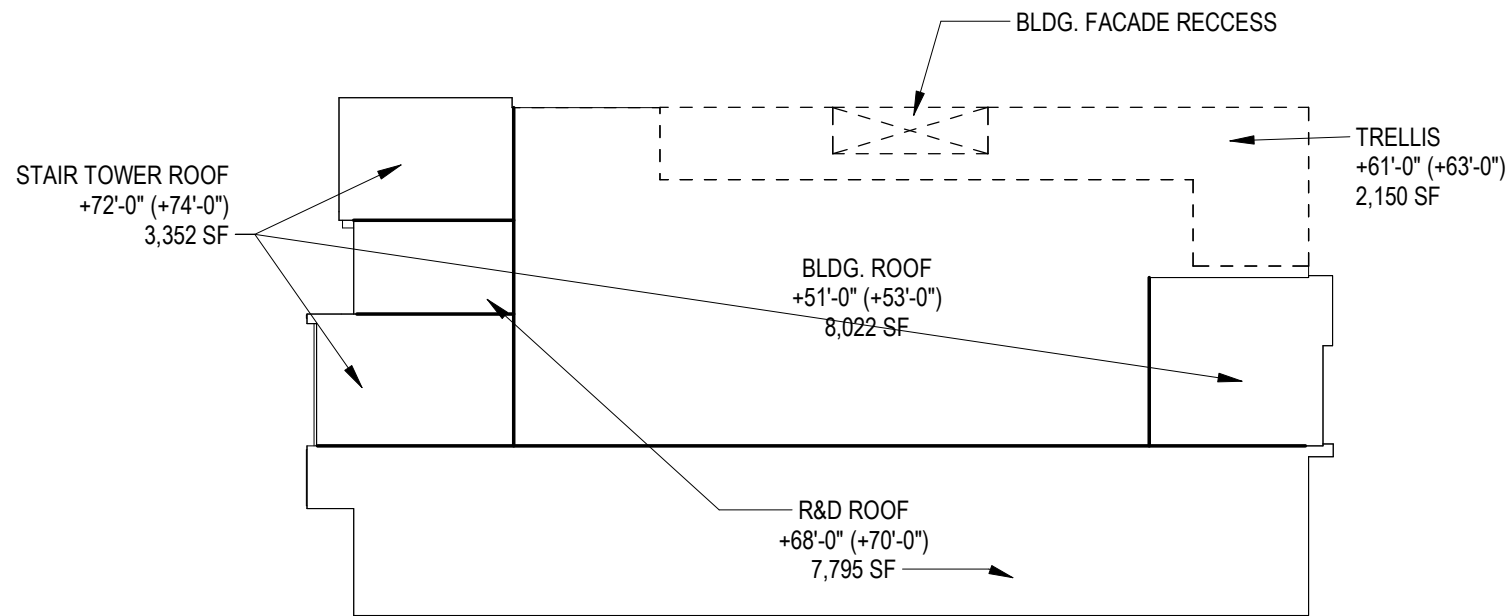
985 & 1001 O'BRIEN DR  
 1320 WILLOW RD  
 MENLO PARK, CA 94025

10-28-2021 C.U.P. RESPONSE 1  
 06-22-2022 C.U.P. RESPONSE 2  
 10-28-2022 C.U.P. RESPONSE 3  
 02-17-2023 C.U.P. RESPONSE 4

1320 WILLOW ROOF

A11.6





**1** 1320 WILLOW - PHASE 2  
1" = 40'-0"

**2** GARAGE PHASE 2  
1" = 40'-0"

AVERAGE HEIGHT CALCULATION - PHASE 2				
BUILDING		FLOORPLATE (SF)	BLDG. HEIGHT (FT)*	FLOORPLATE x BLDG. HEIGHT
1005 R&D (85')	BLDG. ROOF	24,881	87	2,164,647
	ROOF/PARAPET	245	91	22,295
	TRELLIS	2,617	98	256,466
	STAIRS / CONF....	3,913	101	395,213
GARAGE - PH2 (62')	GARAGE ROOF	26,741	64	1,711,424
	STAIRS TOWERS	1,169	74	86,506
1320 WILLOW - PH2 (68')	BLDG. ROOF	8,022	53	425,166
	TRELLIS	2,150	63	135,450
	BLDG. ROOF	7,795	70	545,650
	STAIRS TOWERS	3,352	74	248,048
TOTAL		80,885		5,990,865

AVERAGE HEIGHT (TOTAL FLOORPLATE x BLDG. HEIGHT/TOTAL FLOORPLATE)	74.07
---	-------

AVERAGE HEIGHT MAX. = 77.5 FT (INC. 10FT INCREASE PER IN FLOOD ZONE LOCATION)

\* INCLUDES 2FT RAISED GRADE ABOVE EXISTING GRADE TO ACCOMMODATE FLOOD PLAIN REQUIREMENTS.

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985 & 1001 O'BRIEN DR  
1320 WILLOW RD  
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06-22-2022 C.U.P. RESPONSE 2  
10-28-2022 C.U.P. RESPONSE 3  
02-17-2023 C.U.P. RESPONSE 4

PHASE 2 HEIGHT CALCULATION





① GLASS (TYP), LOW-E, TINTED BLUE (BIRD SAFE GLASS)



② GLASS (LOBBY), LOW-E, CLEAR DOUBLE GLASS (BIRD SAFE GLASS)



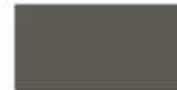
③ WINDOW MULLIONS: JLR MZG GRAY MICA II



④ METAL PANEL SYSTEM AT ENTRY CANOPY



⑤ CORRUGATED METAL PANEL: ROOF SCREEN, WALL CLADDING COLOR TO MATCH DUNN CHARCOAL SKETCH

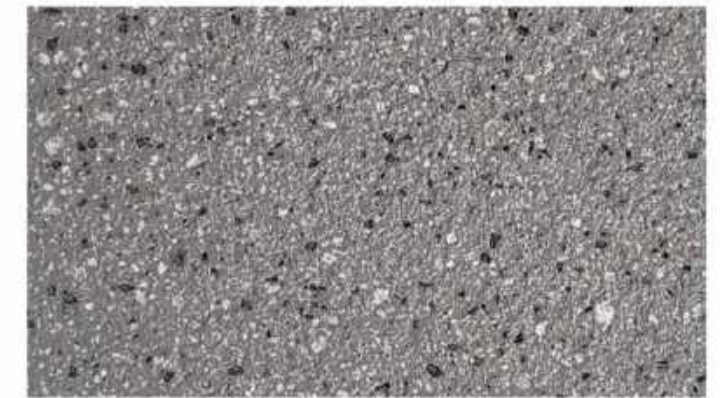


⑨ PERFORATED METAL AWNINGS: POWDER COATED GREY

⑩ PAINTED METAL TUBE LOUVERS COLOR TO MATCH DUNN EDWARDS AUTUMN BARK



⑥ GFRC, SANDBLASTED, SMOOTH: COLOR TO MATCH DUNN EDWARDS RECLAIMED WOOD



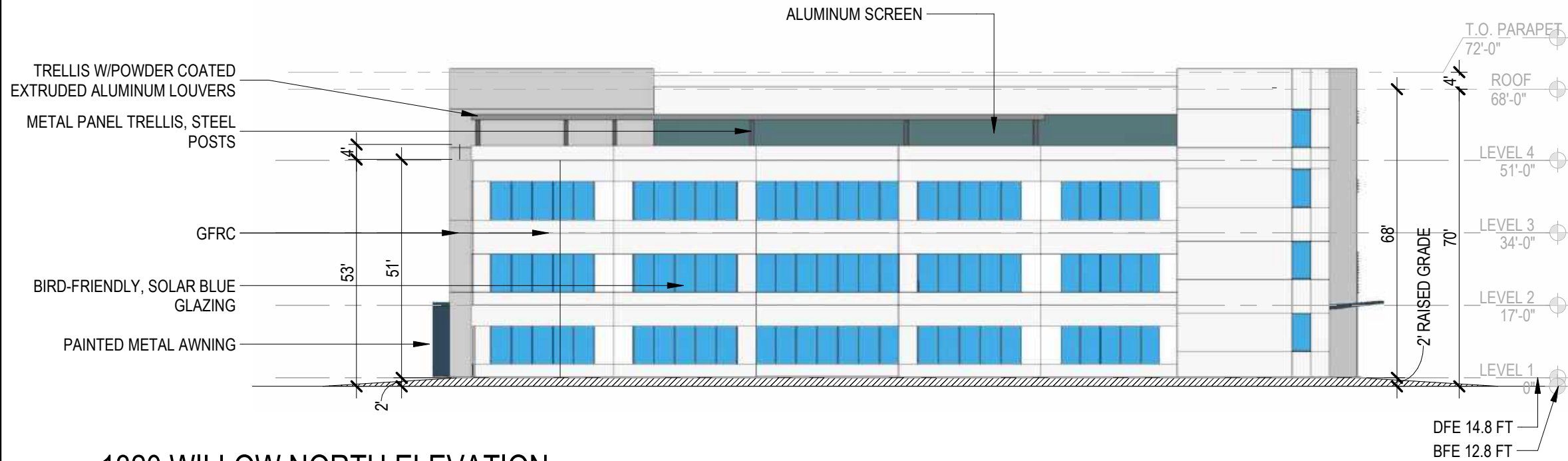
⑦ GFRC, SANDBLASTED, SMOOTH: COLOR TO MATCH DUNN EDWARDS CHARCOAL SKETCH



⑧ TRELLIS: HIGH DENSITY COMPOSITE EXTERIOR CLADDING: WOOD LOOK



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1320 WILLOW NORTH ELEVATION

**LEGEND**

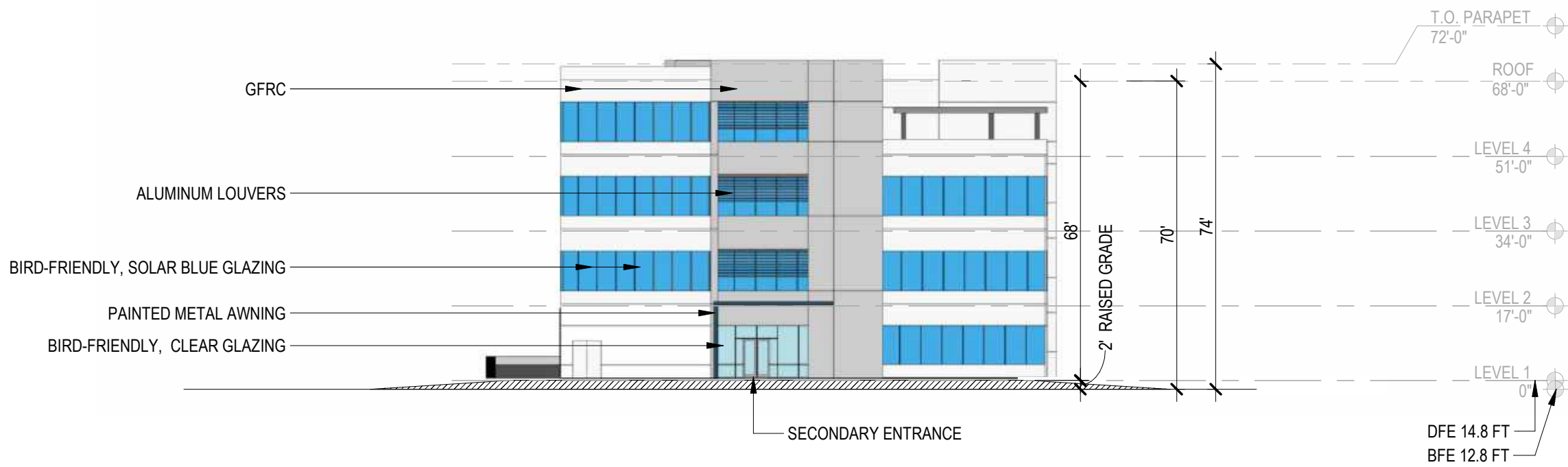
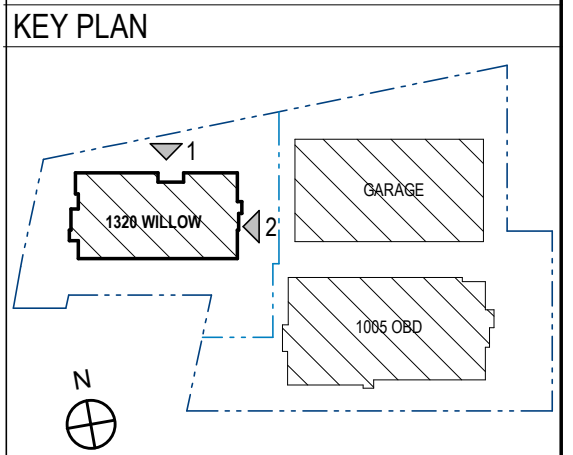
- SOLAR BAN 70, SOLAR BLUE LOW-E GLAZING, WITH A BIRD-FRIENDLY 2" x 4" CERAMIC DOT FRIT PATTERN
- VITRO SOLARBAN 70XL, CLEAR LOW-E GLAZING, WITH A BIRD-FRIENDLY 2" x 4" CERAMIC DOT FRIT PATTERN
- GLASS FIBER REINFORCED CONCRETE PANELS SAND BLASTED FINISH TBD
- GLASS FIBER REINFORCED CONCRETE PANELS SAND BLASTED FINISH TBD
- CORRUGATED ALUMINUM PANNELLING COLOR TBD
- GROUND FLOOR FRONTAGE 1,914 SF
- GROUND FLOOR TRANSPARENCY AT FRONTAGE  
REQUIRED: 766 SF (40%)  
PROVIDED: 939 SF (49%)

**PROPOSED GLAZING RATIO**

**NORTH ELEVATION:** 11,000 SF  
SOLAR BLUE GLAZING: 3,250 SF (30%)

**EAST ELEVATION:** 7,200 SF  
SOLAR BLUE GLAZING: 2,500 SF (35%)  
CLEAR GLAZING: 250 SF (4%)

**NOTE:**  
ALUMINUM FRAMES AT WINDOWS AND DOORS



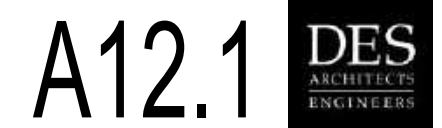
1320 WILLOW EAST ELEVATION



985 & 1001 O'BRIEN DR  
1320 WILLOW RD  
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1320 WILLOW BUILDING  
ELEVATIONS





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1320 WILLOW SOUTH ELEVATION



1320 WILLOW WEST ELEVATION



LEGEND

- SOLAR BAN 70, SOLAR BLUE LOW-E GLAZING, WITH A BIRD-FRIENDLY 2" x 4" CERAMIC DOT FRIT PATTERN
- VITRO SOLARBAN 70XL, CLEAR LOW-E GLAZING, WITH A BIRD-FRIENDLY 2" x 4" CERAMIC DOT FRIT PATTERN
- GLASS FIBER REINFORCED CONCRETE PANELS SAND BLASTED FINISH TBD
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- GROUND FLOOR FRONTAGE 1,914 SF
- GROUND FLOOR TRANSPARENCY AT FRONTAGE  
REQUIRED: 766 SF (40%)  
PROVIDED: 939 SF (49%)

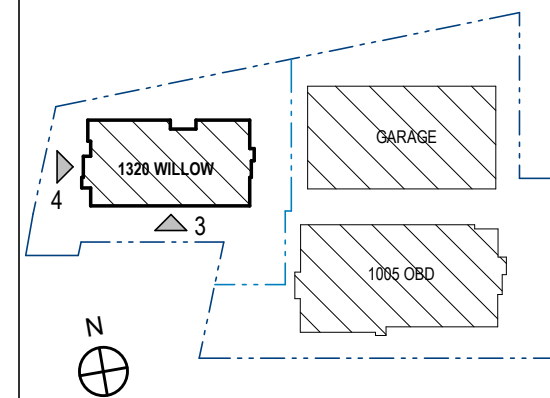
PROPOSED GLAZING RATIO

**SOUTH ELEVATION:** 14,400 SF  
SOLAR BLUE GLAZING: 4,265 SF (30%)

**WEST ELEVATION:** 8,115 SF  
SOLAR BLUE GLAZING: 2,151 SF (27%)  
CLEAR GLAZING: 939 SF (12%)

NOTE:  
ALUMINUM FRAMES AT WINDOWS AND DOORS

KEY PLAN



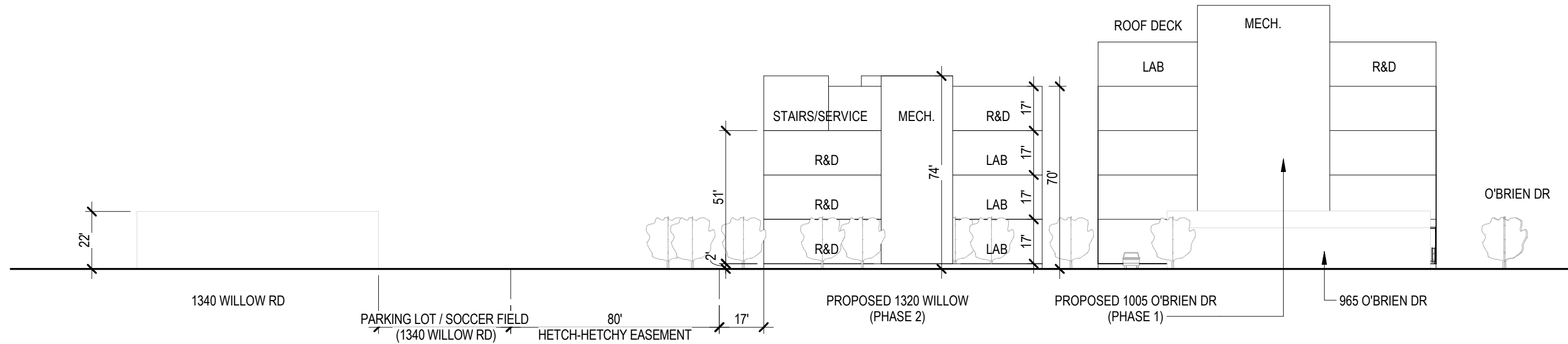
985 & 1001 O'BRIEN DR  
1320 WILLOW RD  
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10-28-2022 C.U.P. RESPONSE 3  
02-17-2023 C.U.P. RESPONSE 4

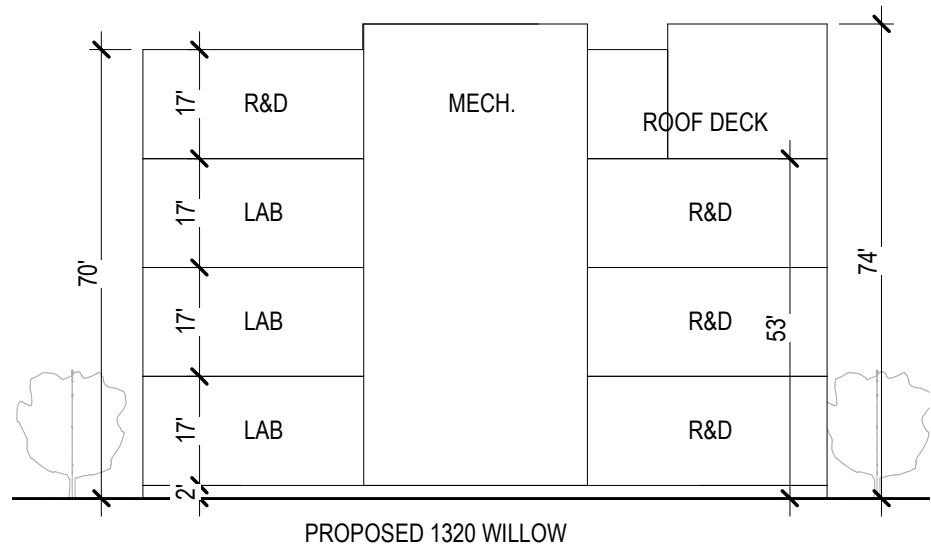
1320 WILLOW BUILDING  
ELEVATIONS

A12.2

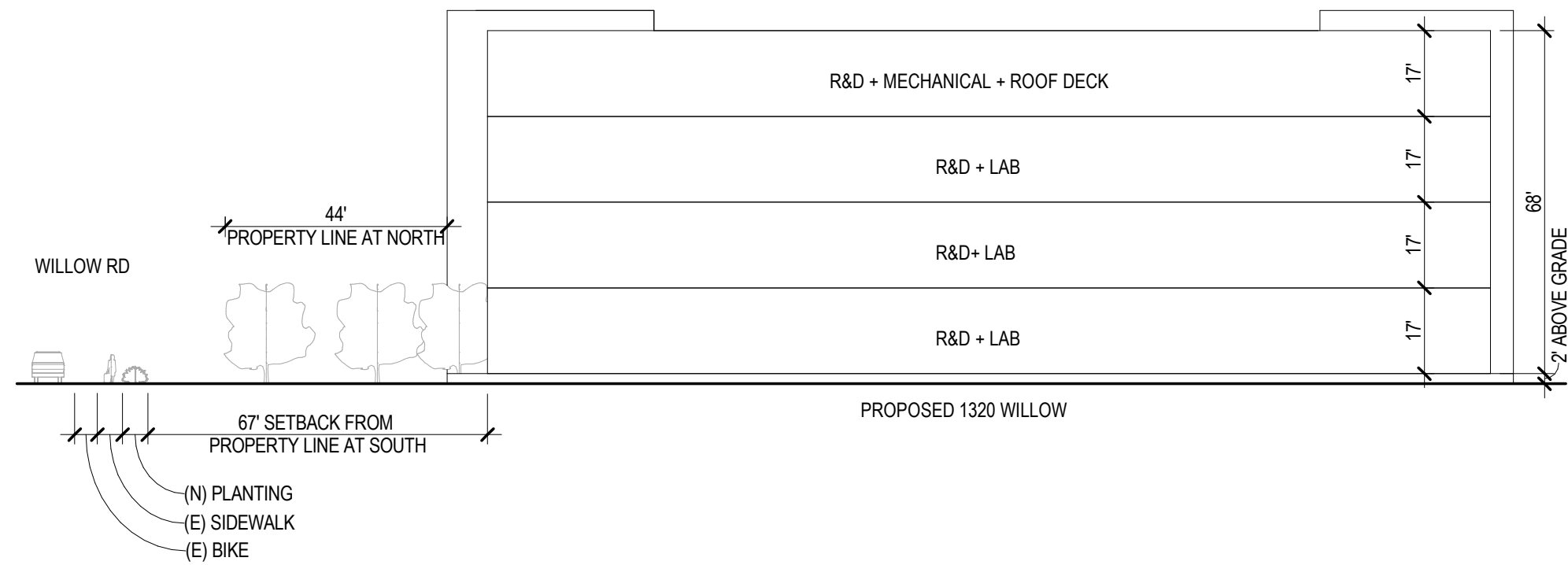




**1 1320 WILLOW STREETScape - WEST**  
1" = 40'-0"



**2 1320 WILLOW SECTION - FACING EAST**  
1" = 30'-0"



**3 1320 WILLOW SECTION - SOUTH**  
1" = 30'-0"



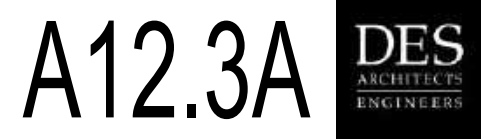
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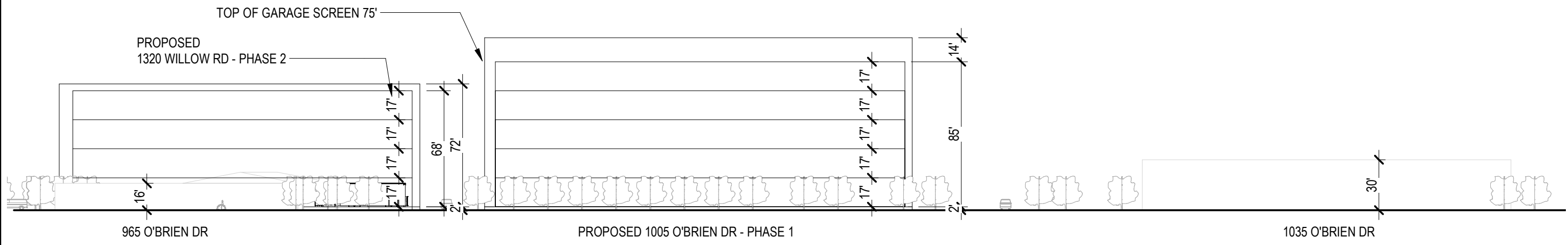


985 & 1001 O'BRIEN DR  
1320 WILLOW RD  
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02-17-2023 C.U.P. RESPONSE 4

1320 WILLOW CROSS SECTION &  
STREETSCAPE - PHASE 2





1 1005 O'BRIEN DR STREETScape - SOUTH - PHASE 2  
 1" = 60'-0"



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1005 O'BRIEN CROSS SECTION &  
 STREETScape - PHASE 2

A12.3B





FRONT VIEW



985 & 1001 O'BRIEN DR  
1320 WILLOW RD  
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02-17-2023 C.U.P. RESPONSE 4

1320 WILLOW 3D MASSING

A12.4





NORTH-WEST VIEW

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10-28-2022 C.U.P. RESPONSE 3  
02-17-2023 C.U.P. RESPONSE 4

1320 WILLOW 3D MASSING

A12.5



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SOUTH-EAST VIEW

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1320 WILLOW 3D MASSING

A12.6



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1320 WILLOW 3D VIEW OPEN  
SPACE

A12.7



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AERIAL VIEW

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1320 WILLOW 3D MASSING

A12.8



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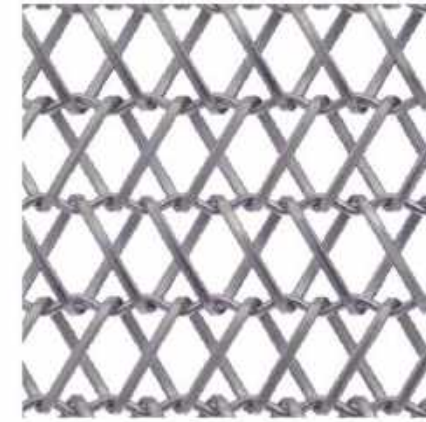
PHASE 1



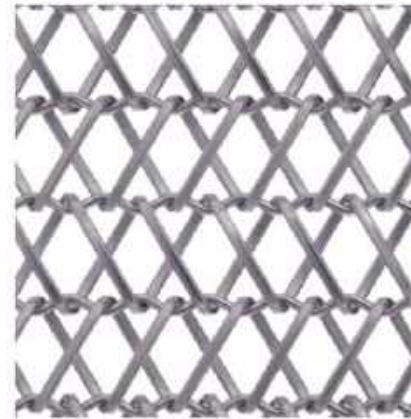
PHASE 2



① CONCRETE STRUCTURE: COLOR TO MATCH DUNN EDWARDS FOSSIL



③ FLEXIBLE METAL MESH: COLOR TO MATCH DUNN EDWARDS CHARCOAL SKETCH



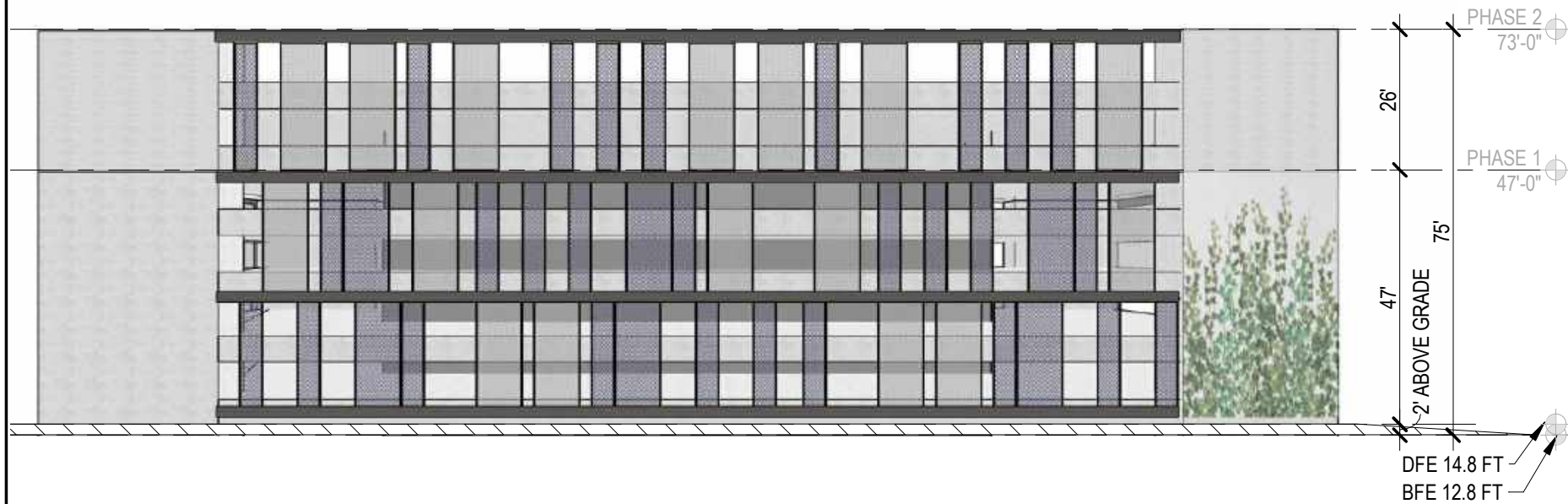
② FLEXIBLE METAL MESH: COLOR TO MATCH DUNN EDWARDS FOSSIL



④ METAL STRUCTURE: COLOR TO MATCH DUNN EDWARDS CHARCOAL SKETCH



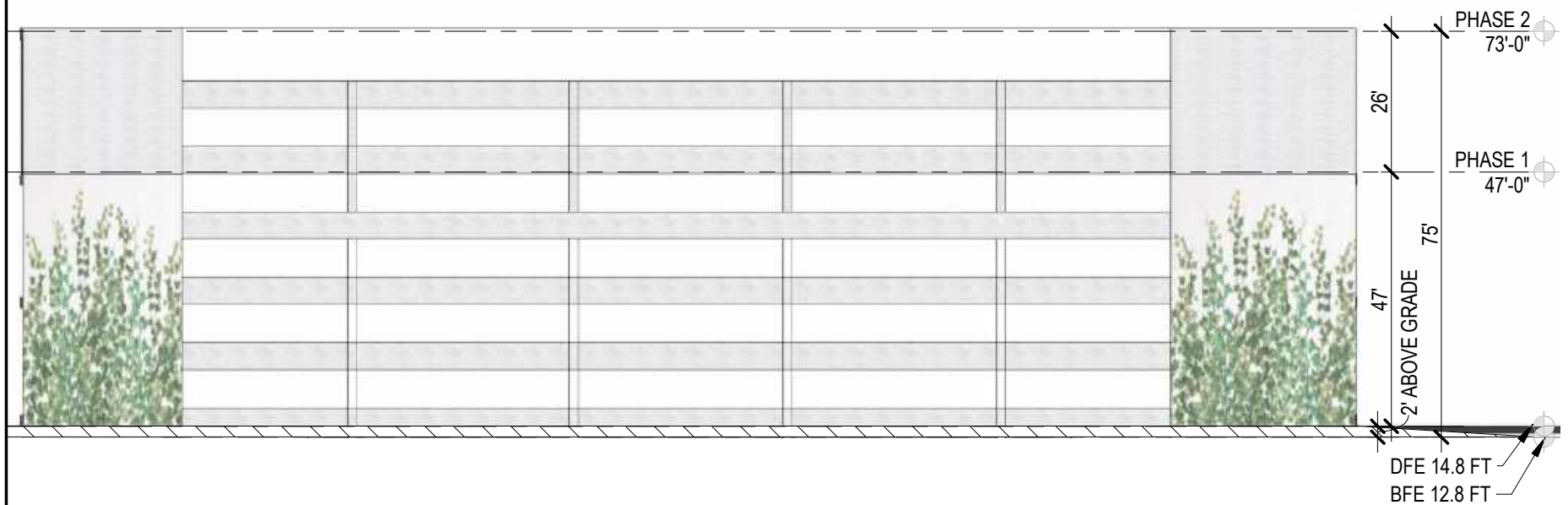
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GARAGE NORTH ELEVATION



GARAGE WEST ELEVATION



GARAGE SOUTH ELEVATION



GARAGE EAST ELEVATION



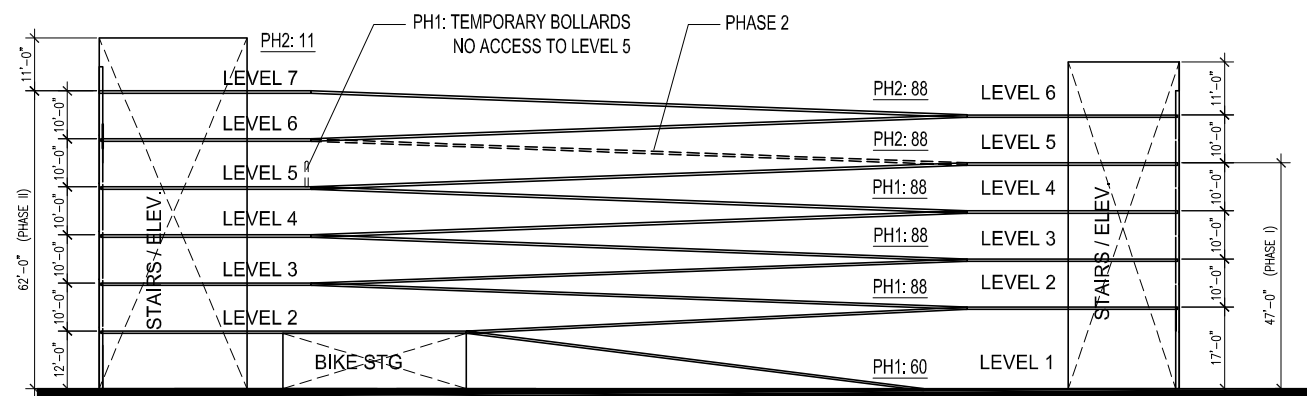
985 & 1001 O'BRIEN DR  
 1320 WILLOW RD  
 MENLO PARK, CA 94025

10-28-2021 C.U.P. RESPONSE 1  
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 02-17-2023 C.U.P. RESPONSE 4

GARAGE ELEVATIONS

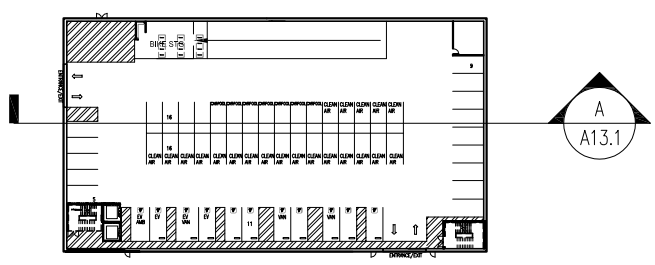
A13.0





A GARAGE SECTION  
1'-0"=40'-0"

KEY PLAN



GARAGE

<u>PHASE 1:</u>	
LEVEL 1	27,900 SF
LEVEL 2	27,900 SF
LEVEL 3	27,900 SF
LEVEL 4	27,900 SF
LEVEL 5	27,900 SF (NOT ACCESSIBLE BY CARS)
	139,500 SF
<u>PHASE 2:</u>	
LEVEL 6	27,900 SF
<b>TOTAL:</b>	<b>5,400 SF</b>
	33,300 SF
LEVEL 7	<b>172,800 SF</b>

TOTAL REQUIRED	PHASE 1	PHASE 2	TOTAL
<u>LS ZONING:</u> RESEARCH & DEVELOPMENT: (1.5 - 2.5 / 1,000 SF)	232 - 387	111 - 186	343 - 573
<u>LEED V4.1:</u> RESEARCH & DEVELOPMENT: (3.4 / 1,000 SF - 20%) MAX	420	200	620
<u>EV / CLEAN AIR SPACES:</u>			
LS ZONING: 10% EVCS	24 - 39	12 - 19	36 - 58
5% EV READY	12 - 20	10 - 10	22 - 30
CALGREEN(TIER 2): 20% EV	47 - 75	23 - 38	70 - 113
8% CLEAN AIR/VANPOOL/CARPOOL	19 - 31	9 - 15	28 - 46
LEED V4.1: 10% EVCS	24 - 39	12 - 19	36 - 58
CBC 2019: ACCESSIBLE EVCS PER TABLE 11B-228.3.2.1	5 - 10 (PH. 1 + PH. 2)		
<b>TOTAL PROVIDED</b>			
<u>LS ZONING:</u> RESEARCH & DEVELOPMENT:	341	193	534 (2.4/1000 SF)
<u>LEED V4.1:</u> RESEARCH & DEVELOPMENT: < 620	341	193	534 (2.4/1000 SF)
<u>EV / CLEAN AIR SPACES:</u>			
EVCS(15%):	54	29	83
EV READY(5%):	18	10	28
CLEAN AIR/VANPOOL/CARPOOL(8%):	28	16	44
CBC 2019: ACCESSIBLE EVCS PER TABLE 11B-228.3.2.1	10		

PARKING SPACES BREAKDOWN	INTERIM AT 1320 WILLOW	PROVIDED AT PHASE 2 (1320 WILLOW)	TOTAL (PH1 + PH2)
<u>PROVIDED AT PHASE 1 (1005 O'BRIEN)</u>			
<u>SITE:</u>		<u>SITE:</u>	
STANDARD: 18	39	STANDARD: 1	19
ACCESSIBLE: 2	3 (1 VAN, 2 STDRD)	ACCESSIBLE: 2	4
<u>GARAGE (4 LEVELS):</u>		<u>GARAGE (3 LEVELS - ABV. EXISTING):</u>	
STANDARD: 197		STANDARD: 133	330
ACCESSIBLE: 9 (INC. REQ. FOR PHASE 2)		ACCESSIBLE: (PROVIDED AT PHASE 1)	9
EVCS(15%): 54		EVCS(15%): 29	83
ACCESSIBLE EV: 10 (INC. REQ. FOR PHASE 2) (2 VAN, 4 STDRD, 4 AMBULATORY)		ACCESSIBLE EV: (PROVIDED AT PHASE 1)	10
EV READY(5%): 18		EV READY(5%): 10	28
CLEAN AIR/VANPOOL(6%): 21		CLEAN AIR/VANPOOL(6%): 12	33
CLEAN AIR/CARPOOL (2%): 7		CLEAN AIR/CARPOOL (2%): 4	11
<b>TOTAL: 1005 O'BRIEN DR: 336 SPACES</b>		<b>TOTAL: 1320 WILLOW RD: 191 SPACES</b>	<b>527 SPACES</b>

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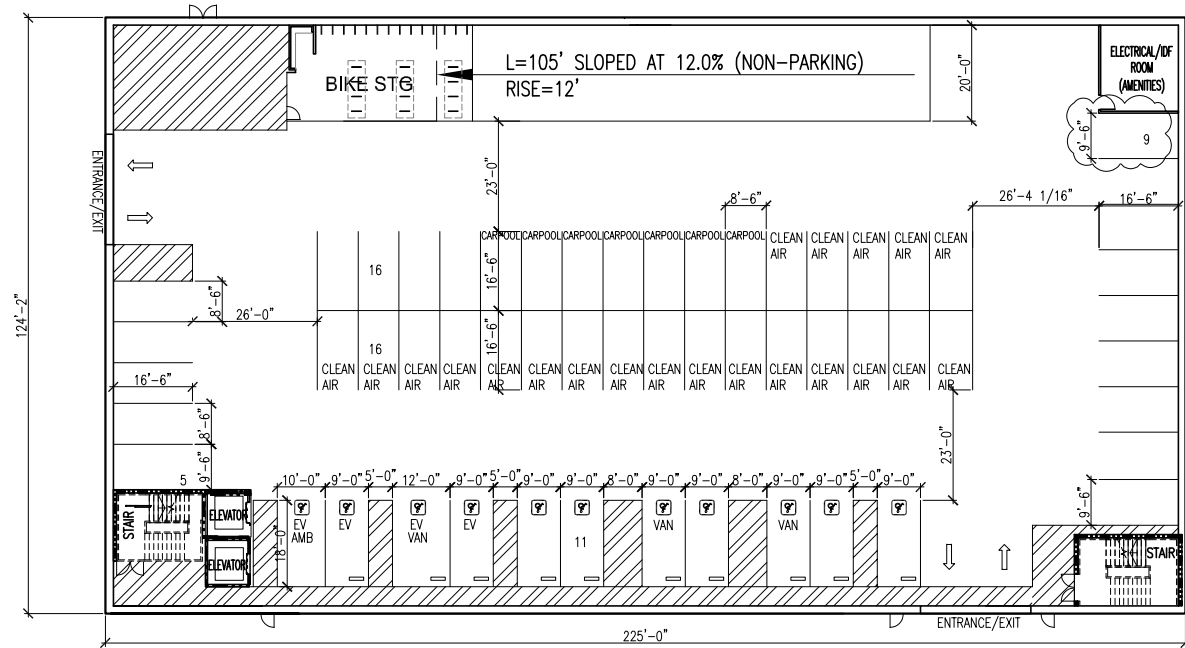
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1320 WILLOW RD  
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02-03-2023 C.U.P. RESPONSE 4

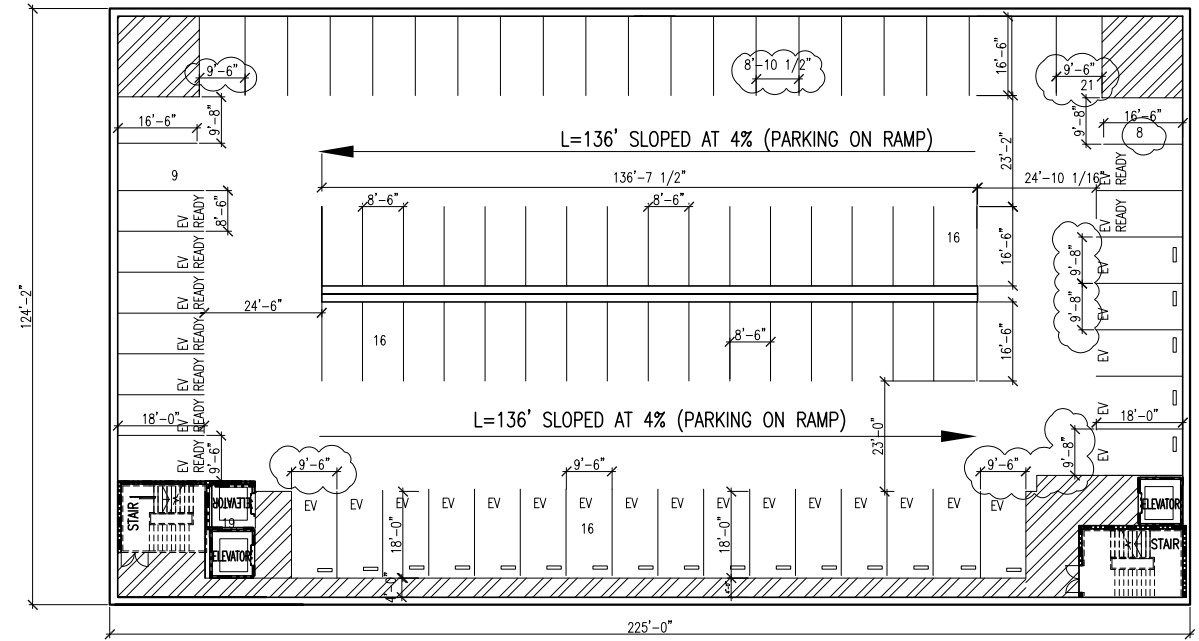
PARKING COUNT &  
GARAGE SECTION

A13.1

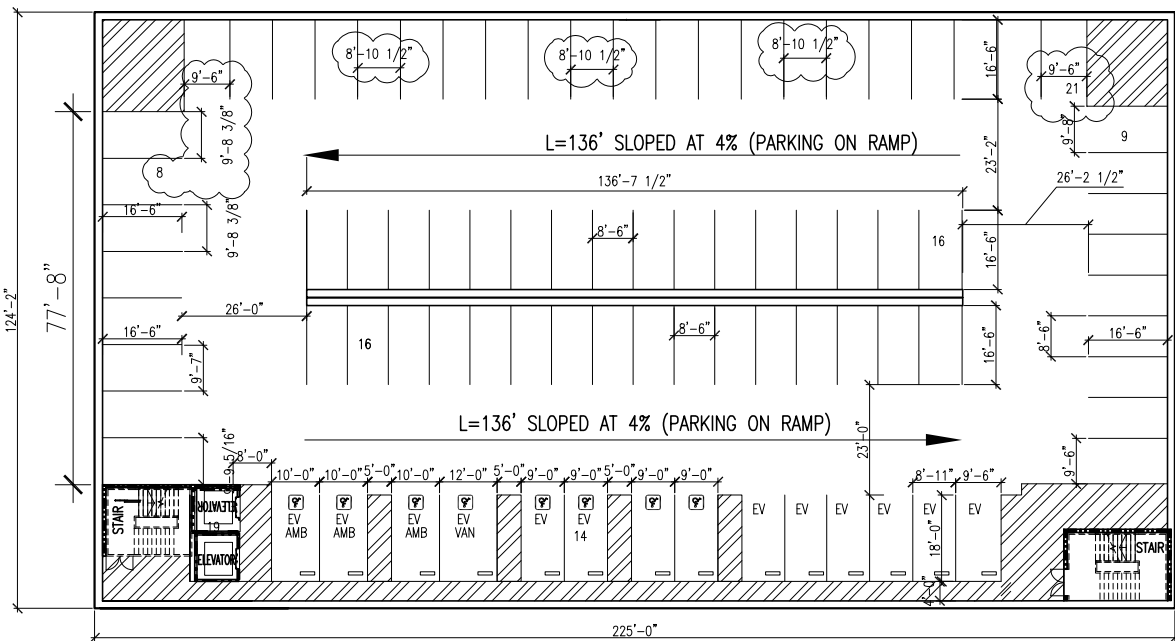




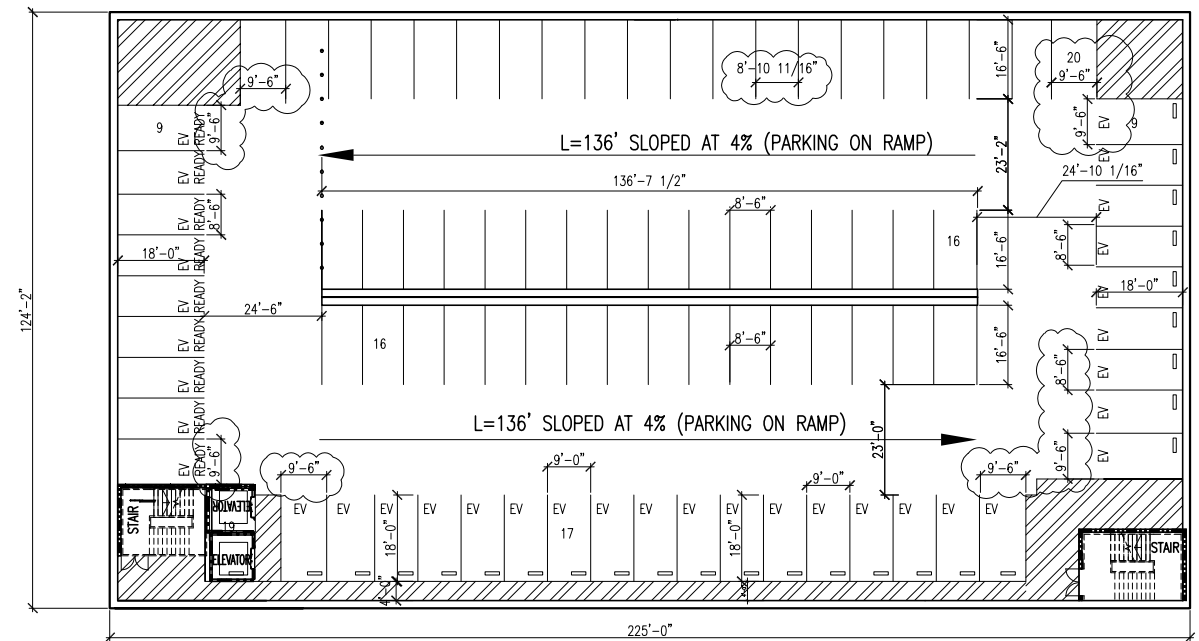
1 LEVEL 1 - NO PARKING ON RAMP (9.5% SLOPE)  
1'-0"=40'-0"



3 LEVEL 3 - PARKING ON RAMP (4% CONTINUOUS)  
1'-0"=40'-0"

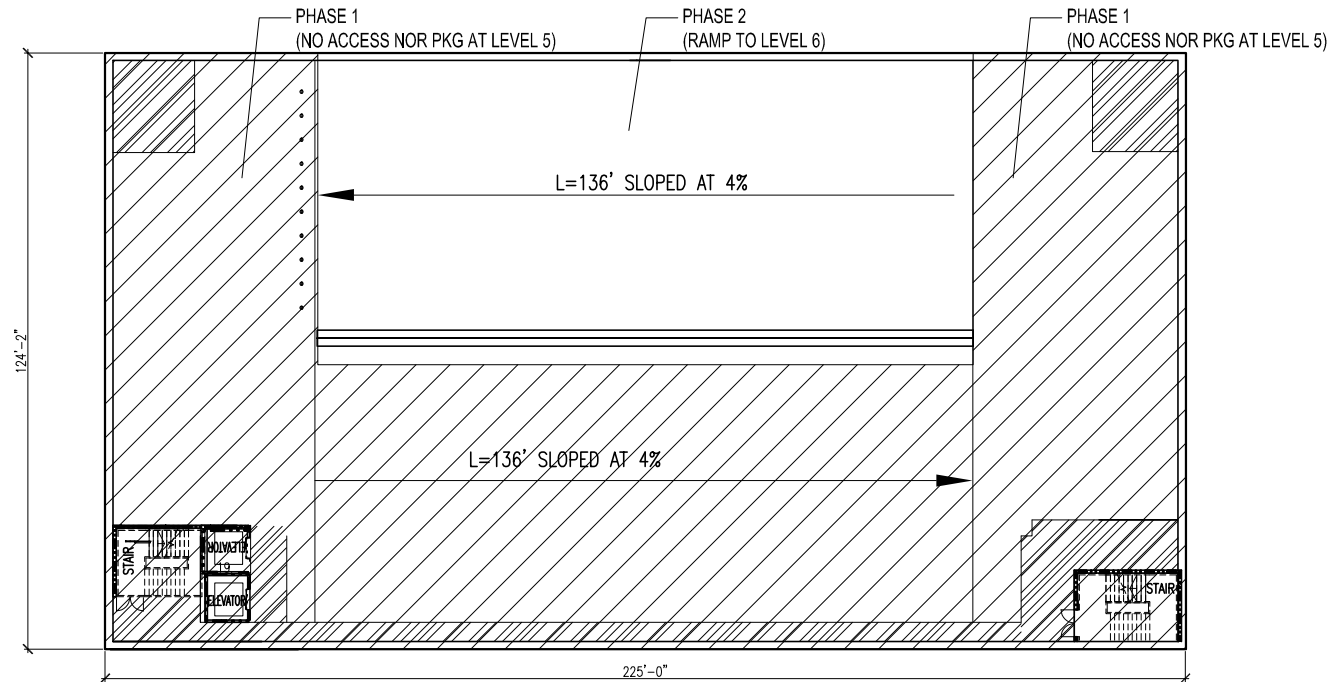


2 LEVEL 2 - PARKING ON RAMP (4% CONTINUOUS)  
1'-0"=40'-0"

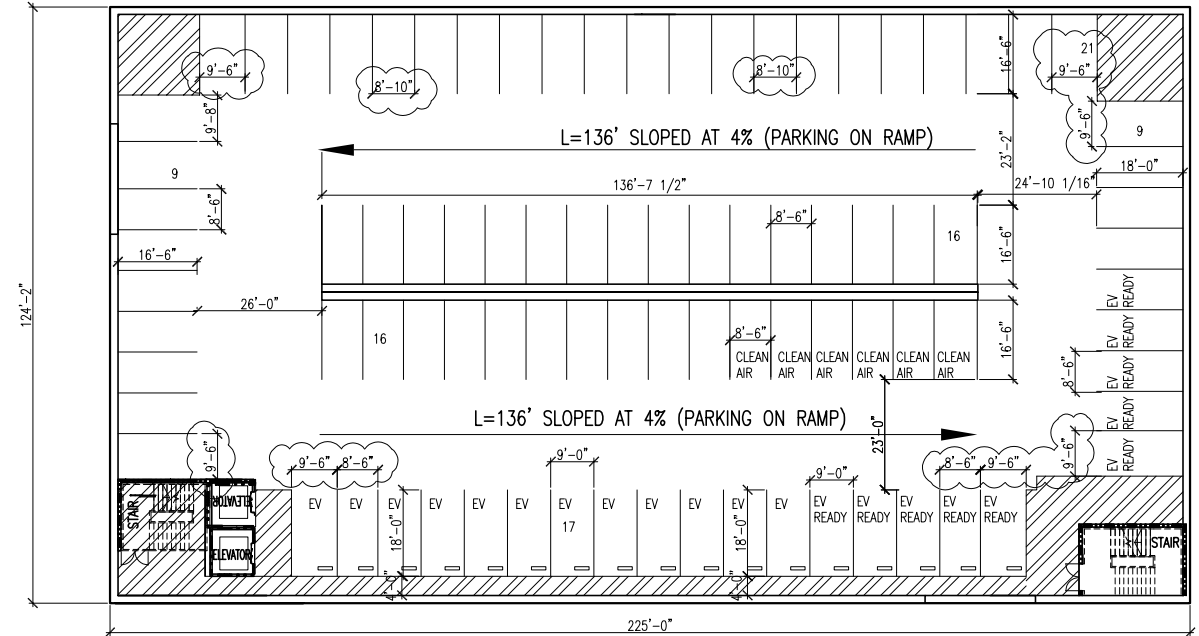


4 LEVEL 4 - PARKING ON RAMP (4% CONTINUOUS)  
1'-0"=40'-0"

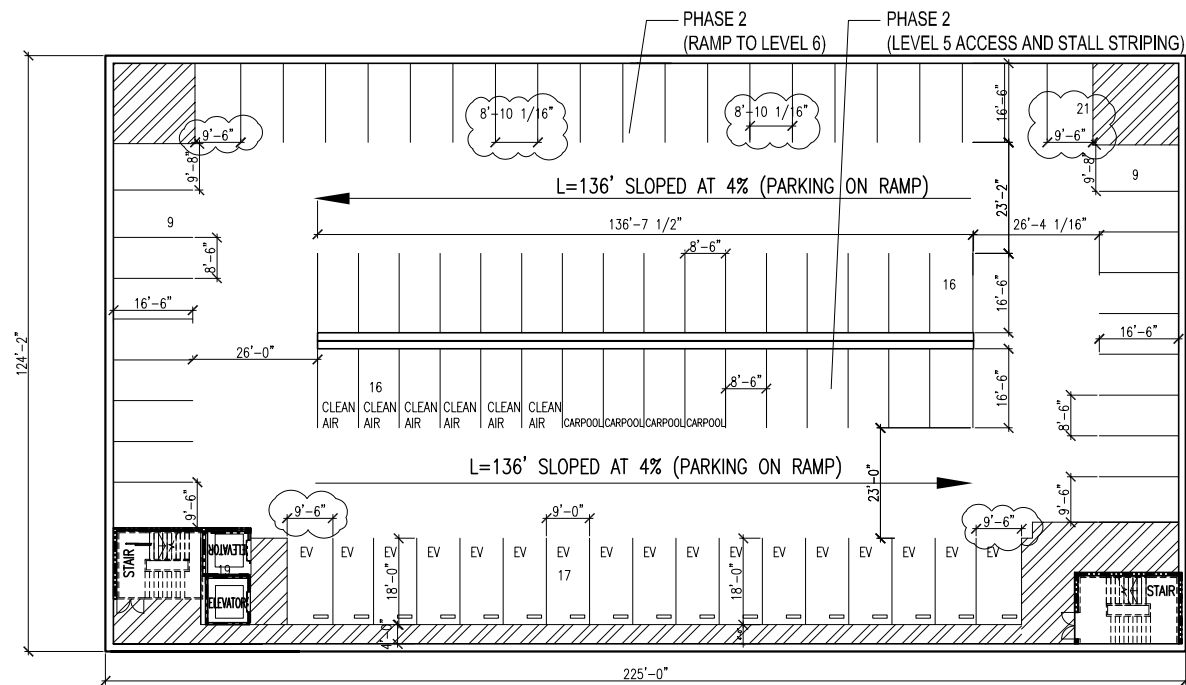
BIM 360/Tarltan - 1005 OBD/10025002\_A\_1005OBD\_SHELL\_2020\_Central.rvt



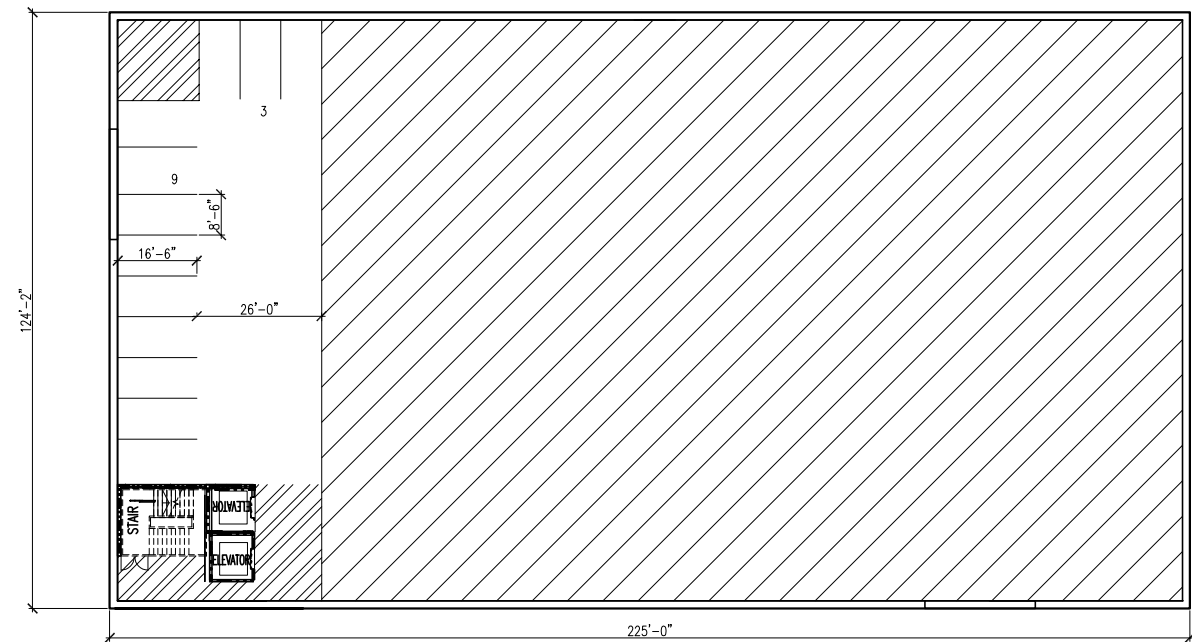
5 LEVEL 5 - RAMP (4% CONTINUOUS) - PHASE 1  
1'-0"=40'-0"



6 LEVEL 6 - PARKING ON RAMP (4% CONTINUOUS)  
1'-0"=40'-0"



5 LEVEL 5 - PARKING ON RAMP (4% CONTINUOUS) - PHASE 2  
1'-0"=40'-0"



7 LEVEL 7  
1'-0"=40'-0"



985 & 1001 O'BRIEN DR  
1320 WILLOW RD  
MENLO PARK, CA 94025

10-28-2021 C.U.P. RESPONSE 1  
06-22-2022 C.U.P. RESPONSE 2  
10-28-2022 C.U.P. RESPONSE 3  
02-03-2023 C.U.P. RESPONSE 4

GARAGE PLANS PHASE 2

A13.3



**SHORT-TERM BICYCLE STORAGE**

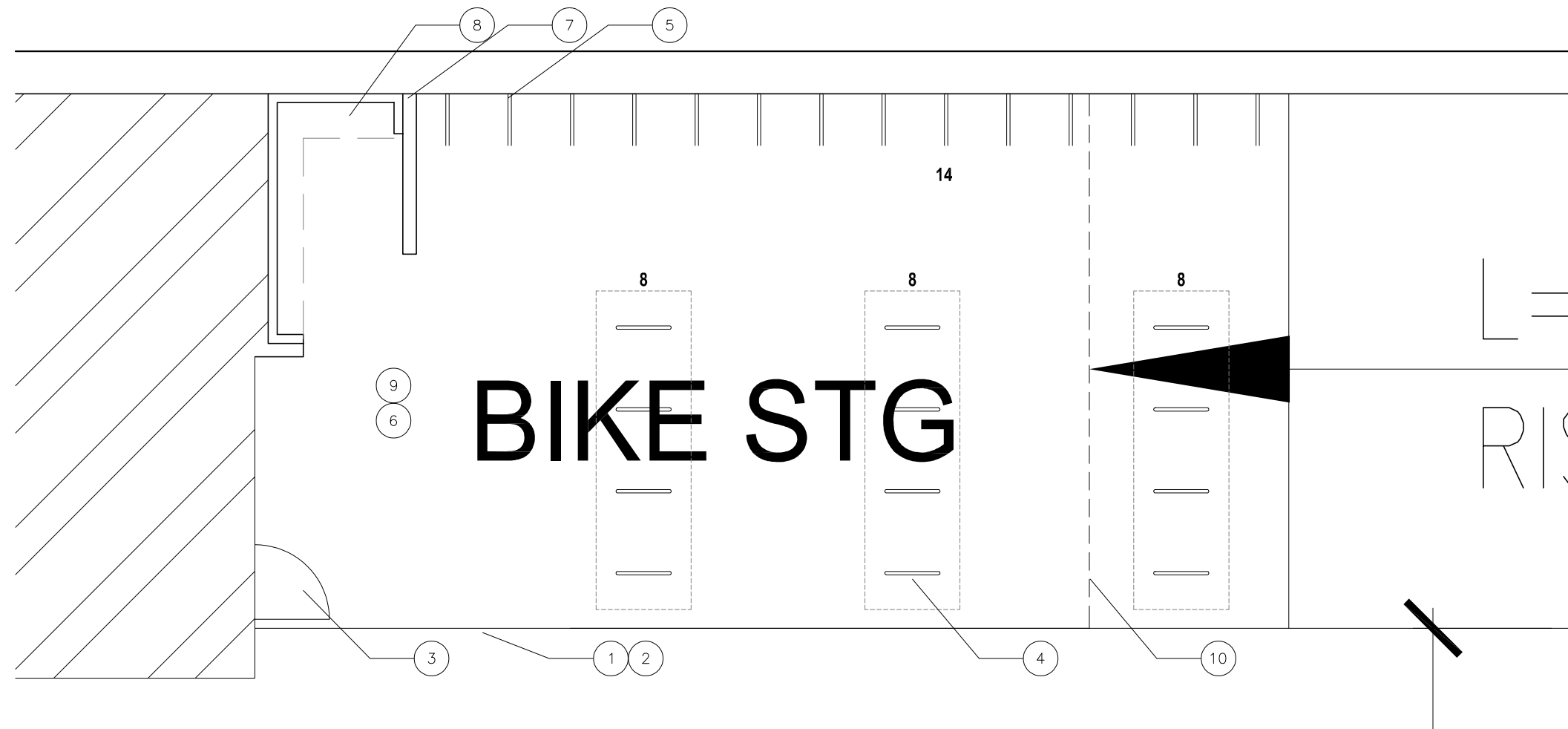
REQUIRED:	
LS (R&D):	9 (20% OF TOTAL BIKE PARKING)
CALGREEN:	4 (5% OF VISITOR PARKING, 2 MIN. PER BLDG.)
LEED V4.1:	8 (4 MIN. PER BUILDING)
<b>PHASE 1:</b>	
1005 O'BRIEN DR:	6
<b>PHASE 2:</b>	
1320 WILLOW RD:	3
<b>TOTAL REQUIRED:</b>	<b>9</b>

PROVIDED:	
<b>PHASE 1:</b>	
1005 O'BRIEN DR:	8 (EXTERIOR BUILDING)
1005 O'BRIEN DR:	4 (SPORTS COURT)
<b>TOTAL PHASE 1:</b>	<b>12</b>
<b>PHASE 2:</b>	
1320 WILLOW RD:	8 (EXTERIOR BUILDING)
<b>TOTAL PROVIDED:</b>	<b>20</b>

**LONG-TERM BICYCLE STORAGE**

REQUIRED:	
LS (R&D):	37 (80% OF TOTAL BIKE PARKING)
CALGREEN:	27 (5% OF PARKING)
LEED V4.1:	46 (5% OF BLDG. OCC.)
<b>PHASE 1:</b>	
1005 O'BRIEN DR:	32
<b>PHASE 2:</b>	
1320 WILLOW RD:	14
<b>TOTAL REQUIRED:</b>	<b>46</b>

PROVIDED:	
<b>PHASE 1:</b>	
1005 O'BRIEN DR:	28 (GARAGE)
1005 O'BRIEN DR:	5 (BUILDING LOBBY)
FUTURE 1320 WILLOW RD:	10 (GARAGE)
<b>TOTAL PHASE 1:</b>	<b>43</b>
<b>PHASE 2:</b>	
1320 WILLOW RD:	5 (BUILDING LOBBY)
<b>TOTAL PROVIDED:</b>	<b>48</b>



KEY NOTES	
1	BIKE RACK CAGE - 2"X2" SQUARE TUBING
2	METAL MESH PANEL
3	3'X8' HINGE DOOR WITH ELECTRICAL HINGE
4	DERO FLOOR MOUNTED POST AND RING RACK
5	STEADYRACK CLASSIC RACK TYP.
6	EPOXY FLOOR
7	FULL HEIGHT 4" STUD FURRED WALLS TO SLAB ABOVE
8	HOLLMAN PHENOLIC LOCKERS (PHANTOM CHARCOAL)
9	ARMSTRONG PRELUDE XL GRID SYSTEM
10	TOP OF RAMP SLOPE ABOVE

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985 & 1001 O'BRIEN DR  
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02-03-2023 C.U.P. RESPONSE 4

LONG TERM BIKE STORAGE

A13.4





NORTH-WEST VIEW

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10-28-2021 C.U.P. RESPONSE 1  
06-22-2022 C.U.P. RESPONSE 2  
10-28-2022 C.U.P. RESPONSE 3  
02-17-2023 C.U.P. RESPONSE 4

GARAGE 3D MASSING - PHASE 1

A13.5



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NORTH-WEST VIEW

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10-28-2022 C.U.P. RESPONSE 3  
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GARAGE 3D MASSING - PHASE 2

A13.6



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SOUTH-EAST VIEW

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1320 WILLOW RD  
MENLO PARK, CA 94025

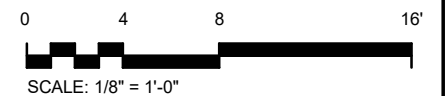
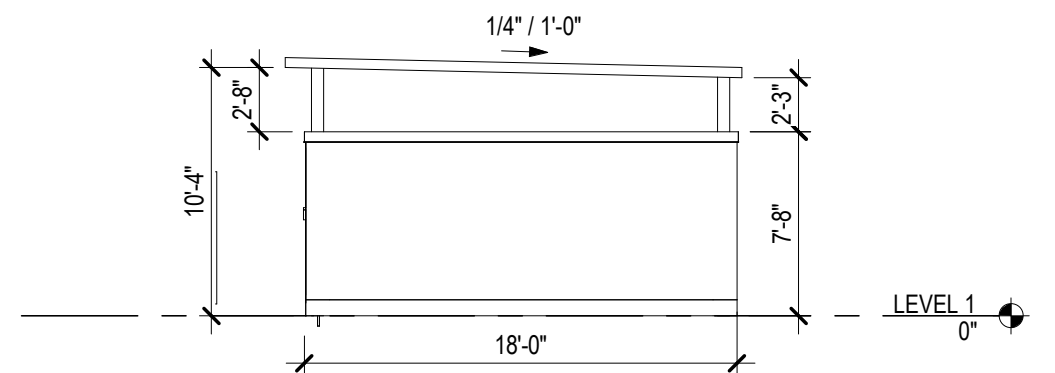
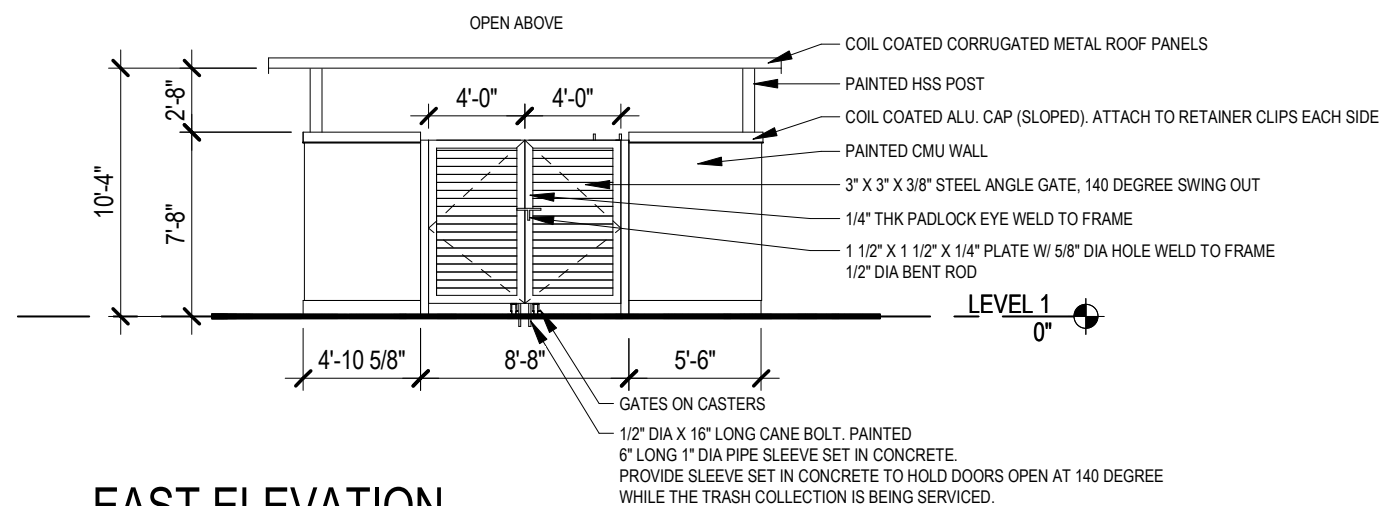
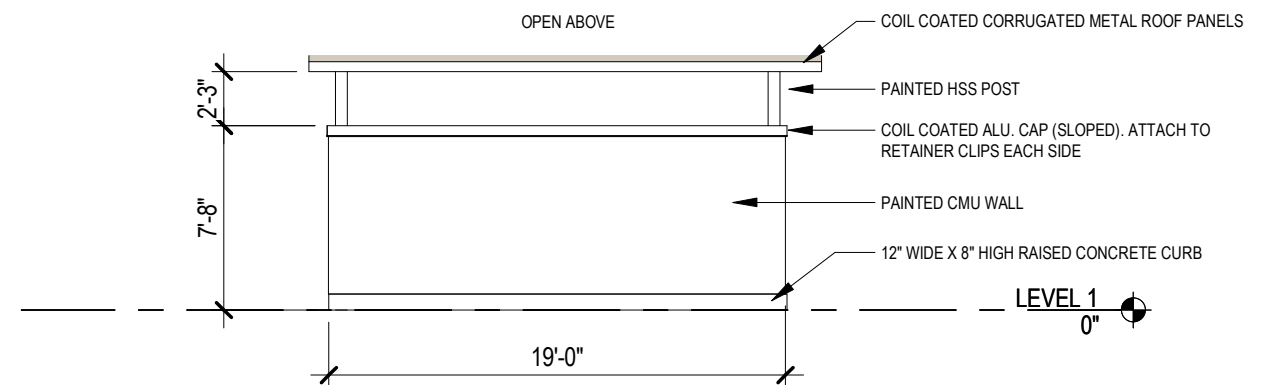
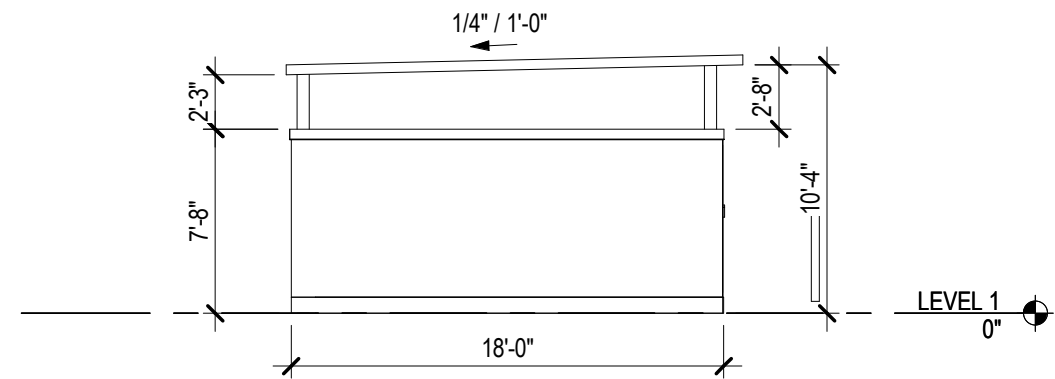
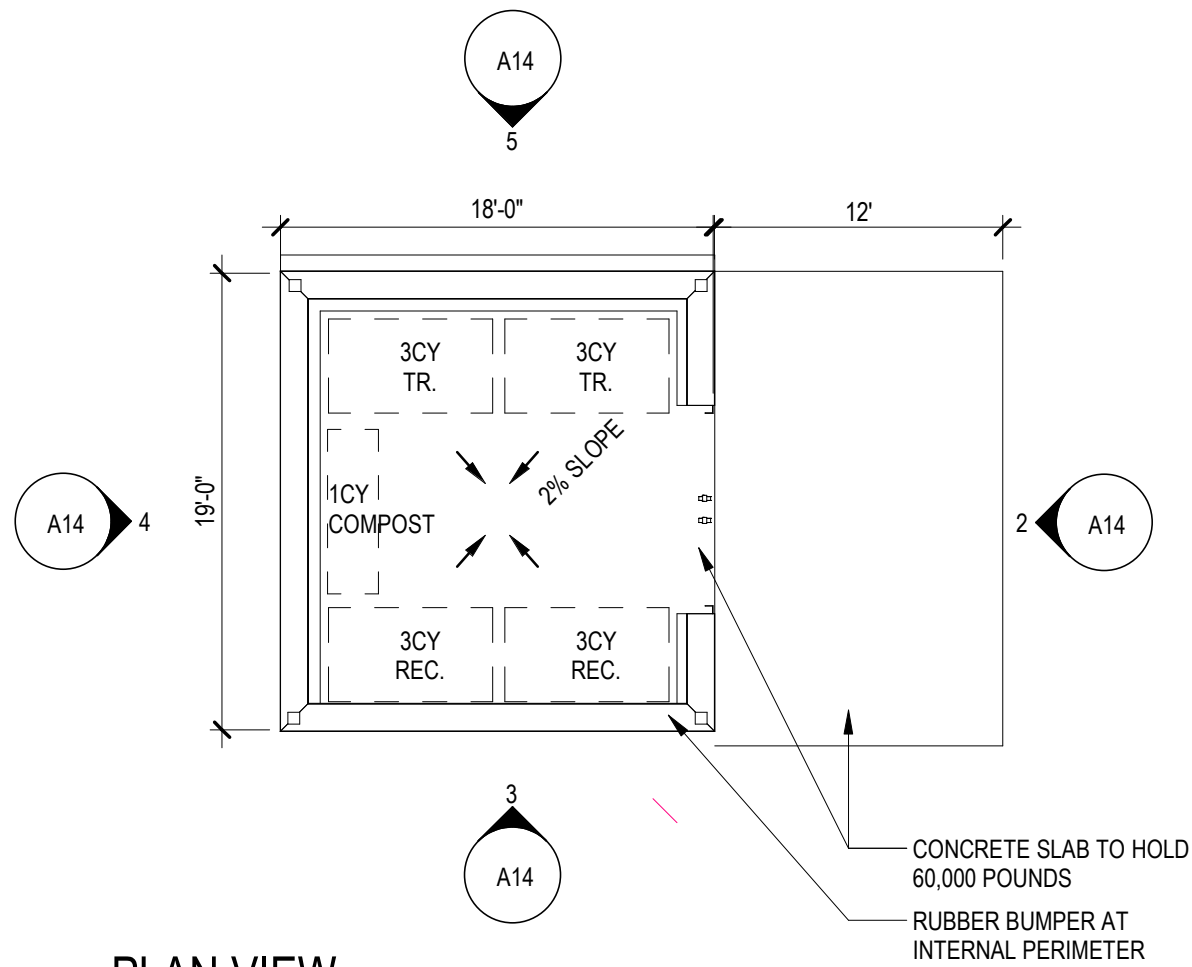
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06-22-2022 C.U.P. RESPONSE 2  
10-28-2022 C.U.P. RESPONSE 3  
02-17-2023 C.U.P. RESPONSE 4

GARAGE 3D MASSING - PHASE 2

A13.7



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985 & 1001 O'BRIEN DR  
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10-28-2021 C.U.P. RESPONSE 1  
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10-28-2022 C.U.P. RESPONSE 3  
02-17-2023 C.U.P. RESPONSE 4

TRASH ENCLOSURE - 1005 O'BRIEN  
& 1320 WILLOW



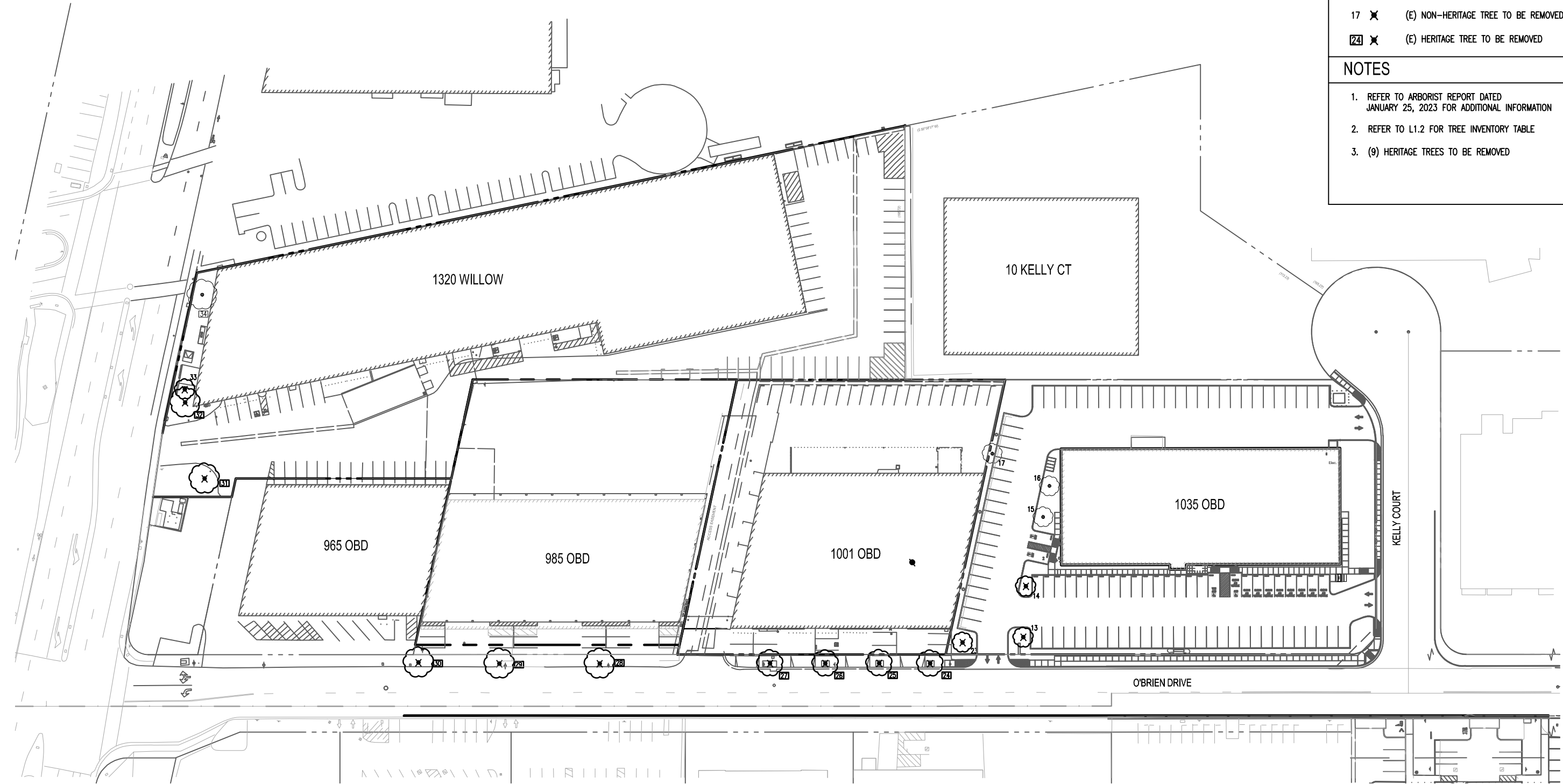
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**LEGEND**

- — — — — PROPERTY LINE
- 17 ✕ (E) NON-HERITAGE TREE TO BE REMOVED
- 24 ✕ (E) HERITAGE TREE TO BE REMOVED

**NOTES**

1. REFER TO ARBORIST REPORT DATED JANUARY 25, 2023 FOR ADDITIONAL INFORMATION
2. REFER TO L1.2 FOR TREE INVENTORY TABLE
3. (9) HERITAGE TREES TO BE REMOVED



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985 & 1001 O'BRIEN DR  
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 10-27-2022 C.U.P. RESPONSE 3  
 02-17-2023 C.U.P. RESPONSE 4

EXISTING TREE PLAN

L1.1



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Prepared by:

David L. Babby  
Registered Consulting Arborist® #399  
Board-Certified Master Arborist® #WE-4001B  
Menlo Park Business License #73953

**TREE INVENTORY TABLE**

**TREE INVENTORY TABLE**

TREE/TAG NO.	TREE NAME	SIZE			CONDITION				REGULATED			Appraised Value (Heritage Tree)	
		Trunk Diameter (in.)	Height (ft.)	Canopy Spread (ft.)	Health Condition (100%=Best, 0%=Worst)	Structural Integrity (100%=Best, 0%=Worst)	Form (100%=Best, 0%=Worst)	Overall Condition (Good/Fair/Poor/Dead)	Suitability for Preservation (High/Moderate/Low)	Heritage Tree	Street Tree		Removal
13	Chinese pistache ( <i>Pistacia chinensis</i> )	3.7	13	12	70%	60%	80%	Good	High	-	-	X	-
Comments: Dormant. Single-staked (and staked should be removed, including the one without the tie).													
14	Columbia London plane ( <i>Platanus × h.</i> 'Columbia')	6.4	35	25	70%	80%	80%	Good	High	-	-	X	-
Comments: Limb emerges at 4' high.													
15	Chinese pistache ( <i>Pistacia chinensis</i> )	3.5	15	10	70%	60%	40%	Fair	Moderate	-	-	-	-
Comments: Dormant. Double-staked (and both should be removed). Asymmetrical canopy. Has a slight SW lean.													
16	Chinese pistache ( <i>Pistacia chinensis</i> )	3.1	15	10	70%	60%	50%	Fair	Moderate	-	-	-	-
Comments: Dormant. Double-staked (and both should be removed). Low branch encroaches into drive aisle.													
17	Columbia London plane ( <i>Platanus × h.</i> 'Columbia')	7.1	35	20	70%	80%	80%	Good	High	-	-	-	-
Comments: Limbs emerge at 7' high.													
23	Forest Pansy redbud ( <i>Cercis e.</i> 'Forest Pansy')	1	8	10	70%	40%	80%	Fair	Moderate	-	-	X	-
Comments: Recently installed and double-staked. Nursery stake also remains unfavorably attached (and should be removed). Low branching structure. Excessive moisture at base and over rootball.													
24	Modesto ash ( <i>Fraxinus v.</i> 'Modesto')	15.8	20	20	40%	30%	50%	Poor	Low	X	X	X	\$600
Comments: Beneath high-voltage wires and reduced in height. Within a square planter covered by landscape fabric and river rock. Adjacent concrete driveway apron, curb and gutter are cracked and/or buckled. Multiple leaders emerge at 15' high.													
25	Modesto ash ( <i>Fraxinus v.</i> 'Modesto')	15.3	20	25	40%	30%	30%	Poor	Low	X	X	X	\$600
Comments: Beneath high-voltage wires and has been reduced in height. Within square planter covered by landscape fabric and river rock. Has a large, old decaying cut where trunk bifurcates at 6' high.													
26	Modesto ash ( <i>Fraxinus v.</i> 'Modesto')	20.7	35	40	40%	20%	50%	Poor	Low	X	X	X	\$700
Comments: Remove asap. Has a massive, hollowed decay column along its entire trunk (street side), and begins at 2.5' high (and decay possibly to base), ascends by 4', is 8" wide and 6" plus deep - at its top is a fruiting body, which informs of extensive internal decay. Decay highly likely exceeds these hollow dimensions, perhaps quite significantly, and I estimate at least 40-50% of the stem's cross section is decayed. Woundwood formation along the margins appears relatively sound. There is also a decaying basal wound along the trunk's W side. Trunk bifurcates into codominants at 9' high, at which point forms a weak attachment (including a rib formed nearly 17" below the attachment). Beneath high-voltage wires and has been reduced in height. Within a square planter covered by landscape fabric and river rock. Adjacent concrete curb and gutter are buckled, and sidewalk is cracked and slightly raised. At 2' high, the trunk leans slightly (8°) SE from vertical.													
27	Modesto ash ( <i>Fraxinus v.</i> 'Modesto')	24.0	30	35	70%	30%	50%	Poor	Low	X	X	X	\$1,500
Comments: Beneath high-voltage wires and has been reduced in height. Within a rectangular-shaped planter covered by landscape fabric and river rock. Near fire hydrant. Adjacent sidewalk is cracked and raised. Multiple leaders emerge at 7' high. At utility pole, and a pronounced buttress root surfaces towards pole. Has a large decayed section along street side limb.													

TREE/TAG NO.	TREE NAME	SIZE			CONDITION				REGULATED			Appraised Value (Heritage Tree)	
		Trunk Diameter (in.)	Height (ft.)	Canopy Spread (ft.)	Health Condition (100%=Best, 0%=Worst)	Structural Integrity (100%=Best, 0%=Worst)	Form (100%=Best, 0%=Worst)	Overall Condition (Good/Fair/Poor/Dead)	Suitability for Preservation (High/Moderate/Low)	Heritage Tree	Street Tree		Removal
28	Modesto ash ( <i>Fraxinus v.</i> 'Modesto')	28.3	40	45	60%	40%	50%	Poor	Low	X	X	X	\$2,700
Comments: Beneath high-voltage wires and has been reduced in height. Within a rectangular-shaped planter covered by landscape fabric and river rock (and surrounded by asphalt parking lot along three sides). Canopy is slightly asymmetrical. At utility pole. Adjacent asphalt is raised by roots.													
29	Modesto ash ( <i>Fraxinus v.</i> 'Modesto')	15.8	35	30	40%	10%	30%	Poor	Low	X	X	X	\$200
Comments: Remove asap. It has an 8" tall, 9" deep decay column along trunk, comprised of one large hollow and several smaller ones above and below; ~75% of the stem's cross section is degraded. Woundwood along the margins appears relatively sound. Beneath high-voltage wires, but not yet reduced in height. Within a square planter covered by landscape fabric and river rock (and surrounded by asphalt parking lot along three sides). Asphalt is raised by roots, and adjacent curb is buckled. Has several old basal wounds. Narrow, highly-elevated and asymmetrical canopy.													
30	Modesto ash ( <i>Fraxinus v.</i> 'Modesto')	21.4	35	40	40%	10%	30%	Poor	Low	X	X	X	\$400
Comments: Remove asap. At 5' high along the trunk's W side is an 0.8' tall, 0.2' wide, and 5" deep wound with extensive internal decay, as evidenced by a large, deteriorating fruiting body emerging from the hollow. Decay highly likely extends beyond these dimensions. Directly above, there is also an old, 8" diameter diameter wound (along the street side) with decay extending above and below. In total, I estimate least 30-40% of the stem's cross section is decayed. Woundwood along the margins appears relatively sound. Beneath high-voltage wires and has been reduced in height. Within a square planter covered by landscape fabric and river rock (and surrounded by asphalt along three sides). Roots have cracked and raised the surrounding asphalt and adjacent curb/gutter. Canopy is asymmetrical. Trunk grows at an ~11° E lean.													
31	Italian stone pine ( <i>Pinus pinea</i> )	24.4	35	35	80%	50%	60%	Fair	Moderate	X	-	X	\$5,100
Comments: Irregular trunk formation, sweeping SW around 7' high. Adjacent to pole with security camera. Has many recent cuts along the lower crown's south section.													
32	Silver dollar gum ( <i>Eucalyptus polyanthemos</i> )	31.8, 19.8	50	35	60%	30%	40%	Poor	Low	X	-	X	\$7,500
Comments: Possibly a street tree (td with survey). Adjacent to building, within a raised planter aligning sidewalk, and adjacent to an FDC hydrant and fire sprinkler vault. Formed by two trunks. The smaller southern one has a large basal wound with extensive decay, and an 11" diameter decaying wound 18" above. The larger, northern trunk bifurcates into codominant leaders 3' above grade. Excessively thin canopy with interior watersprouts.													
33	Marina madrone ( <i>Arbutus 'Marina'</i> )	2.9	12	10	80%	40%	40%	Fair	Moderate	-	-	X	-
Comments: Possibly a street tree (td with survey). Suppressed, crowded-growing conditions within several feet from #32's nearest trunk. Asymmetrical canopy and buried root collar. Adjacent to building.													
34	Silver dollar gum ( <i>Eucalyptus polyanthemos</i> )	27.2	50	30	40%	60%	40%	Poor	Moderate	X	-	-	\$7,200
Comments: Possibly a street tree (td with survey). Adjacent to building, and within a raised and narrow planter aligning sidewalk. Extremely thin and sparse canopy with interior watersprouts.													

**NOTES**

- EXCERPTS TAKEN FROM ARBORIST REPORT DATED JANUARY 25, 2023
- ALL TREES, EXCEPT #15-17 AND 34, IN CURRENT SCOPE TO BE REMOVED.
- TREE #1-12, 18-22 IN FUTURE SCOPE

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10-27-2022 C.U.P. RESPONSE 3  
02-17-2023 C.U.P. RESPONSE 4

**EXISTING TREE INVENTORY TABLE**

**L1.2**



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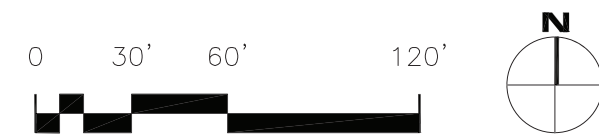


**KEY NOTES:**

- 1 CANOPY TREE
- 2 ACCENT TREE
- 3 STREET TREE
- 4 SCREEN HEDGES
- 5 BIORETENTION AREA
- 6 COBBLE CREEK WITH BOULDERS
- 7 THEMED PLANTING STRIPS
- 8 PUBLIC GATHERING SPACE
- 9 PUBLIC EVENT PLAZA
- 10 STROLLING PATH
- 11 PUBLIC RESPITE SPACE WITH BENCHES
- 12 SMALL GROUP GATHERING SPACE
- 13 MAIN ENTRY PLAZA
- 14 BIKE RACKS
- 15 OUTDOOR DINING TERRACE
- 16 OUTDOOR ACTIVITY SPACE
- 17 FLEX TURF SPACE AND DRIVABLE SURFACE FOR FIRE TRUCK ACCESS
- 18 CATENARY LIGHT
- 19 DRINKING FOUNTAIN
- 20 TRASH RECEPTACLES (SOLID WASTE/RECYCLING/COMPOST)

**MATERIAL KEY:**

- CONCRETE PAVING
- DECOMPOSED GRANITE PATHS/PAVING, TYP.
- FLAGSTONE PAVING, TYP.



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02-17-2023 C.U.P. RESPONSE 4

**PROPOSED LANDSCAPE PLAN - PHASE 1**



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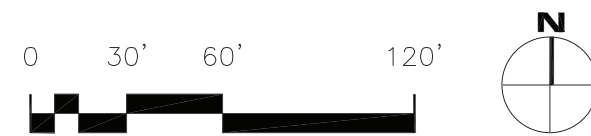


**KEY NOTES:**

- 1 CANOPY TREE
- 2 ACCENT TREE
- 3 STREET TREE
- 4 SCREEN HEDGES
- 5 BIORETENTION AREA
- 6 COBBLE CREEK WITH BOULDERS
- 7 THEMED PLANTING STRIPS
- 8 PUBLIC GATHERING SPACE
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- 12 SMALL GROUP GATHERING SPACE
- 13 MAIN ENTRY PLAZA
- 14 BIKE RACKS
- 15 OUTDOOR DINING TERRACE
- 16 OUTDOOR ACTIVITY SPACE
- 17 FLEX TURF SPACE AND DRIVABLE SURFACE FOR FIRE TRUCK ACCESS
- 18 CATENARY LIGHT
- 19 DRINKING FOUNTAIN
- 20 TRASH RECEPTACLES (SOLID WASTE/RECYCLING/COMPOST)
- 21 TRELLIS

**MATERIAL KEY:**

- CONCRETE PAVING
- DECOMPOSED GRANITE PATHS/PAVING, TYP.
- FLAGSTONE PAVING, TYP.



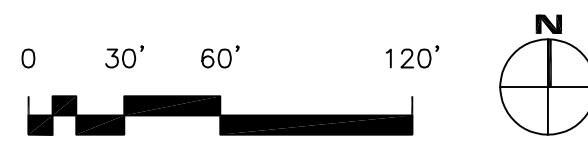
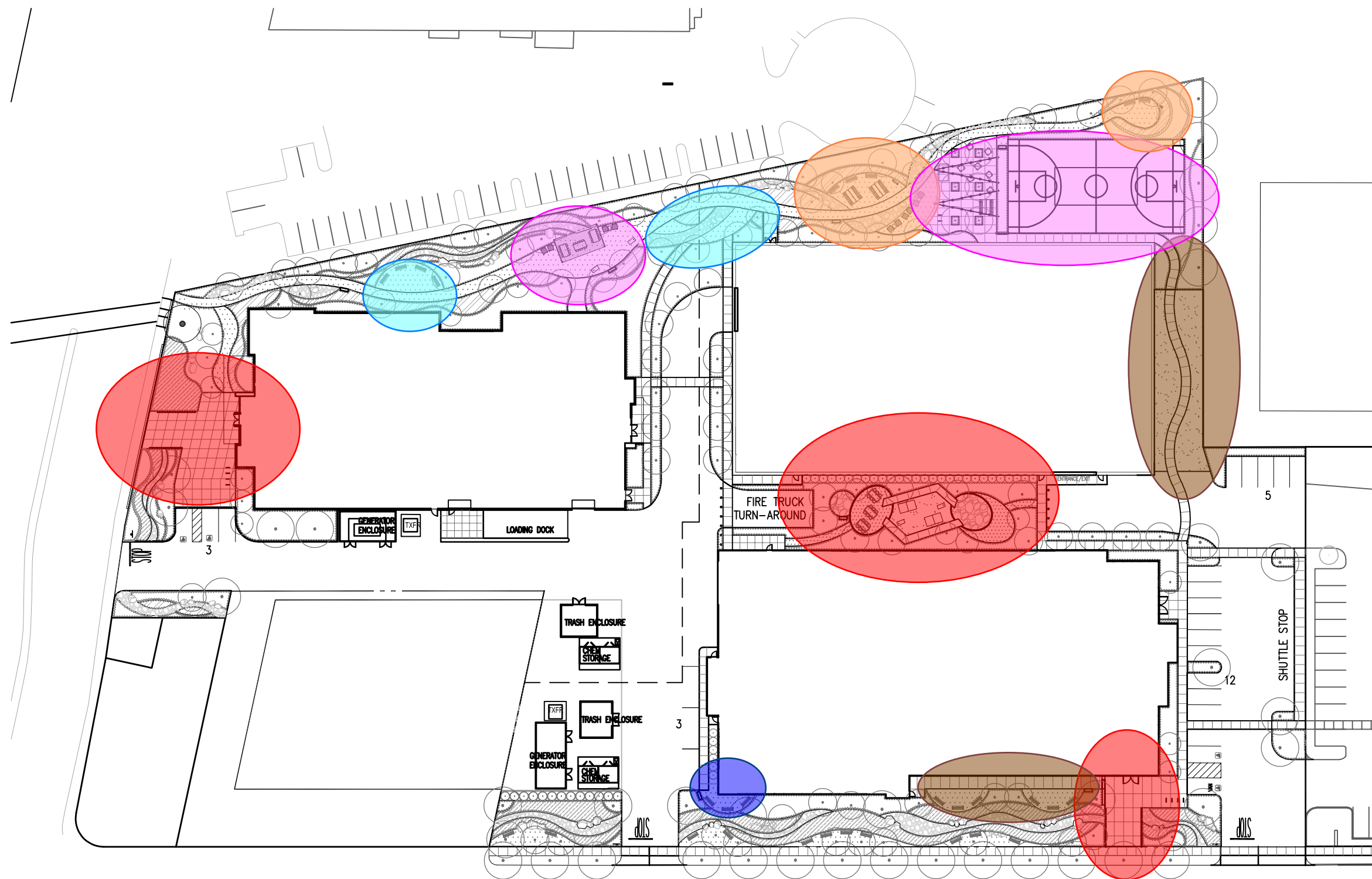
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**PROPOSED LANDSCAPE PLAN - PHASE 2**



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 10/27/2022 C.U.P. RESPONSE 3  
 02-17-2023 C.U.P. RESPONSE 4

LANDSCAPE SPACE DIAGRAM



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- KEY NOTES:**
- a BENCH
  - b ADIRONDACK CHAIR & SIDE TABLE
  - c BISTRO TABLE & CHAIRS
  - d DINING TABLE & CHAIRS
  - e PICNIC TABLE
  - f PING PONG TABLE
  - g CORN HOLES
  - h BIKE RACK
  - i DRINKING FOUNTAIN
  - j TRASH RECEPTACLES (SOLID WASTE/RECYCLING/COMPOST)



985 & 1001 O'BRIEN DR  
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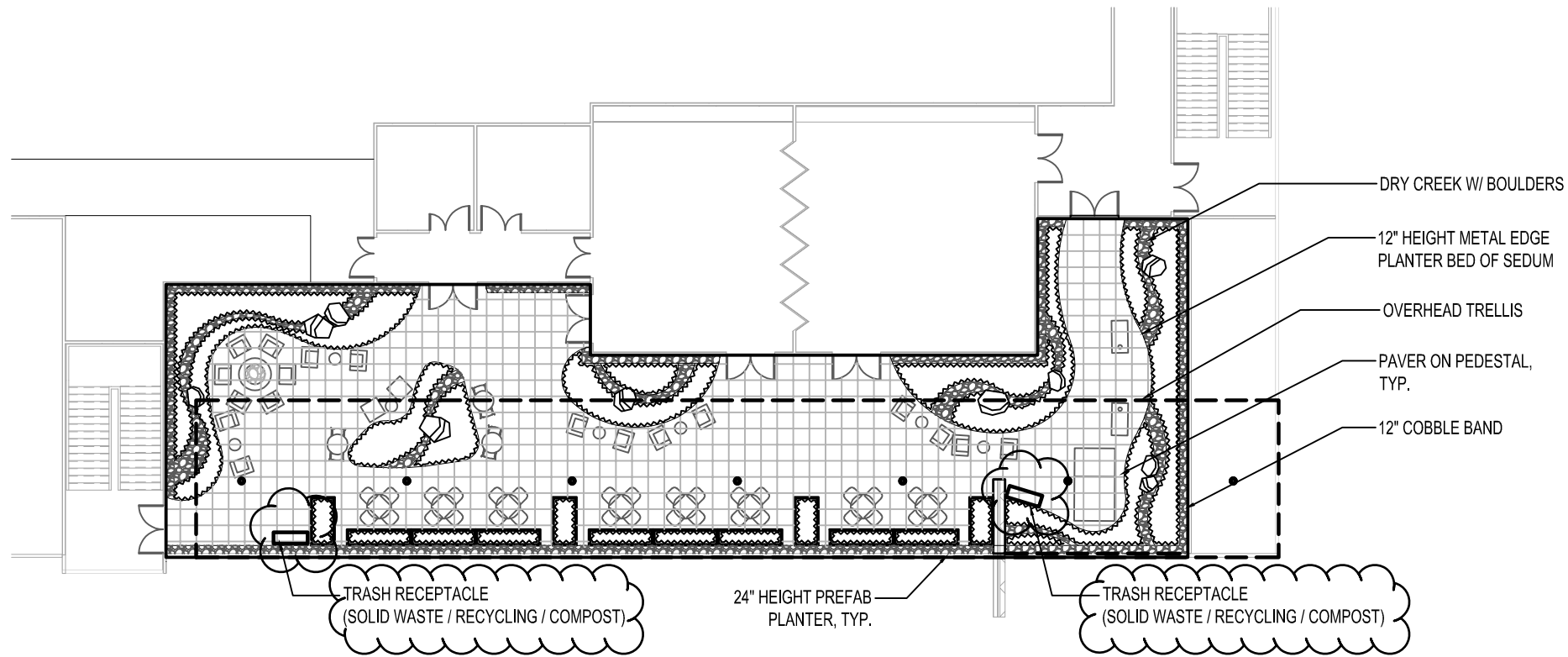
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 10-27-2022 C.U.P. RESPONSE 3  
 02-17-2023 C.U.P. RESPONSE 4

PROPOSED AMENITY PLAN AT PUBLIC SPACE

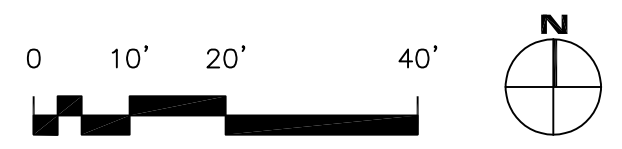


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1 1005 OBD ROOF DECK ENLARGEMENT  
 SCALE: 1" = 20'-0"



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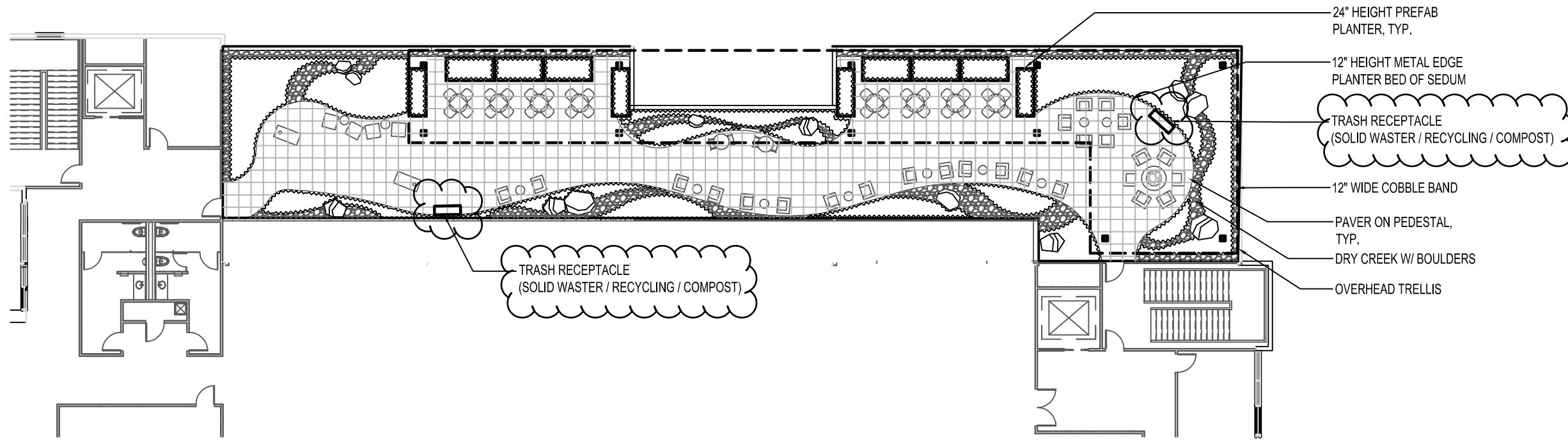
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 10-27-2022 C.U.P. RESPONSE 3  
 02-17-2023 C.U.P. RESPONSE 4

ENLARGED ROOF DECK PLAN - PHASE 1

L2.2



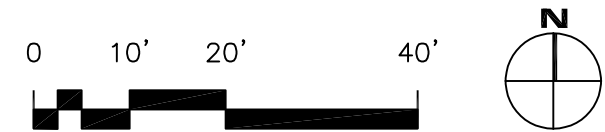
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- 24" HEIGHT PREFAB PLANTER, TYP.
- 12" HEIGHT METAL EDGE PLANTER BED OF SEDUM
- TRASH RECEPTACLE (SOLID WASTER / RECYCLING / COMPOST)
- 12" WIDE COBBLE BAND
- PAVER ON PEDESTAL, TYP.
- DRY CREEK W/ BOULDERS
- OVERHEAD TRELLIS

TRASH RECEPTACLE (SOLID WASTER / RECYCLING / COMPOST)

1 1320 WILLOW ROOF DECK ENLARGEMENT  
SCALE: 1" = 20'-0"



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985 & 1001 O'BRIEN DR  
1320 WILLOW RD  
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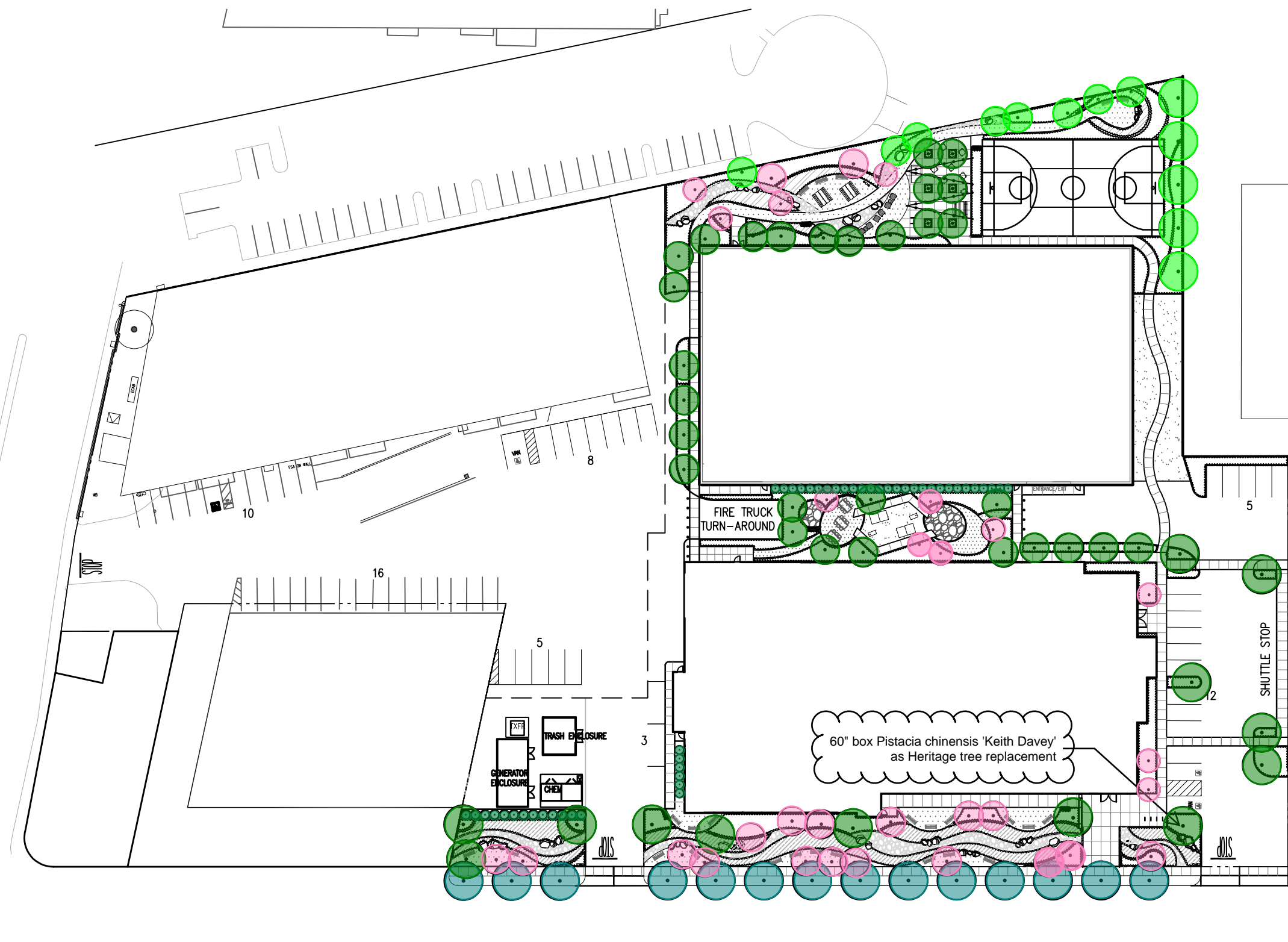
05-26-2021 C.U.P. SUBMITTAL  
10-15-2021 C.U.P. RESPONSE 1  
06-17-2022 C.U.P. RESPONSE 2  
10-27-2022 C.U.P. RESPONSE 3  
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ENLARGED ROOF DECK PLAN - PHASE 2



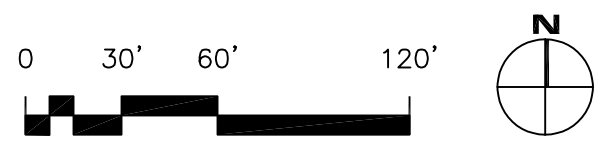
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PLANTING PALETTE \*All proposed trees to be 24" box unless noted

	BOTANICAL NAME / COMMON NAME	WUCOLS
● STREET TREE total : 14	<i>Koelreuteria bipinnata</i> / Chinese Flame Tree	MOD
	<i>Quercus buckleyi</i> / Texas Red Oak	MOD
	<i>Tilia tomentosa</i> / Silver Linden	LQW
● SCREEN TREE total : 13	<i>Pinus canariensis</i> / Canary Island Pine	LOW
	<i>Quercus tomentella</i> / Island Oak	V.LOW
● CANOPY TREE total : 42	<i>Acer rubrum</i> 'October Glory' / October Glory Maple	MOD
	<i>Ginkgo biloba</i> 'Autumn Gold' / Autumn Gold ginkgo	MOD
	<i>Pistacia chinensis</i> 'Keith Davey' / Keith Davey Chinese Pistache	LOW
	<i>Platanus acerifolia</i> 'Columbia' / London Plane Tree	MOD
	<i>Ulmus parvifolia</i> 'True Green' / Chinese Elm 'True Green'	LOW
	● ACCENT TREE total : 31	<i>Magnolia grandiflora</i> 'Little Gem' / Little Gem Magnolia
● SCREEN HEDGE (15 GALLON)	<i>Cercis occidentalis</i> / Western Redbud	LOW
	<i>Lophostemon confertus</i> / Brisbane Box	MOD
	<i>Lagerstroemia indica</i> x <i>fauriei</i> 'Muskogee' / Muskogee Crape Myrtle	LOW
	<i>Ulmus parvifolia</i> 'True Green' / Chinese Elm 'True Green'	LOW
	<i>Pittosporum tenuifolium</i> 'Silver Sheen' / Silver Sheen Kohuhu	MOD
	<i>Ligustrum japonicum</i> 'Texanum' / Waxleaf Privet	MOD



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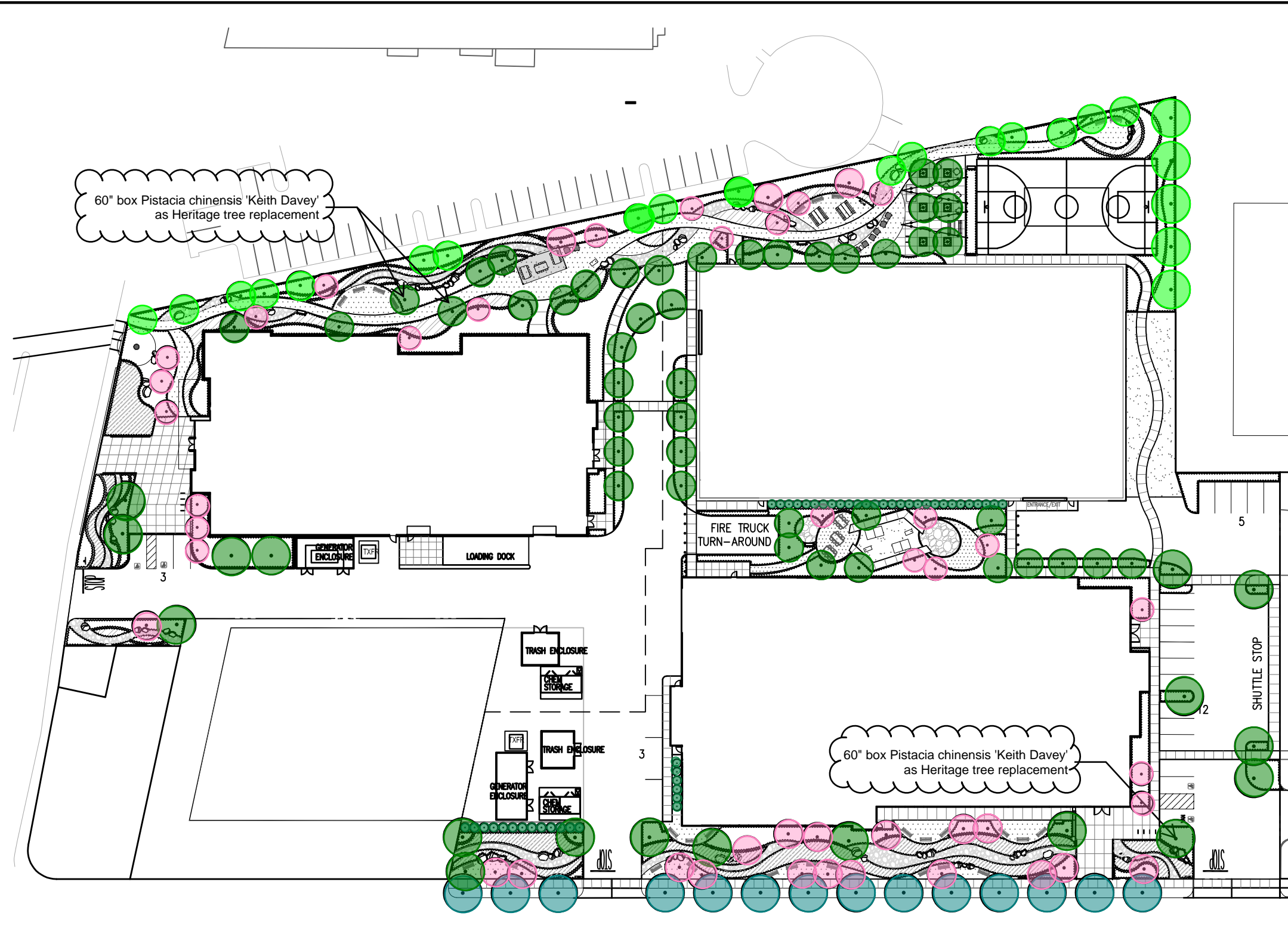
10-15-2021 C.U.P. RESPONSE 1  
06-17-2022 C.U.P. RESPONSE 2  
10-27-2022 C.U.P. RESPONSE 3  
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PROPOSED PLANTING PLAN - PHASE 1



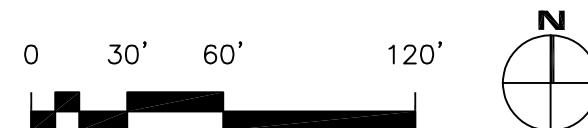
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PLANTING PALETTE \*All proposed trees to be 24" box unless noted

	BOTANICAL NAME / COMMON NAME	WUCOLS
● STREET TREE total : 14	Koelreuteria bipinnata/ Chinese Flame Tree	MOD
	Quercus buckleyi/ Texas Red Oak	MOD
	Tilia tomentosa/ Silver Linden	LOW
● SCREEN TREE total : 23	Pinus canariensis/ Canary Island Pine	LOW
	Quercus tomentella/ Island Oak	V.LOW
● CANOPY TREE total : 63	Acer rubrum 'October Glory' / October Glory Maple	MOD
	Ginkgo biloba 'Autumn Gold' / Autumn Gold ginkgo	MOD
	Pistacia chinensis 'Keith Davey' / Keith Davey Chinese Pistache	LOW
	Platanus acerifolia 'Columbia' / London Plane Tree	MOD
	Ulmus parvifolia 'True Green' / Chinese Elm 'True Green'	LOW
	● ACCENT TREE total : 45	Magnolia grandiflora 'Little Gem' / Little Gem Magnolia
	Cercis occidentalis / Western Redbud	LOW
	Lophostemon confertus / Brisbane Box	MOD
	Lagerstroemia indica x fauriei 'Muskogee' / Muskogee Crape Myrtle	LOW
	Ulmus parvifolia 'True Green' / Chinese Elm 'True Green'	LOW
●● SCREEN HEDGE (15 GALLON)	Pittosporum tenuifolium 'Silver Sheen' / Silver Sheen Kohuhu	MOD
	Ligustrum japonicum 'Texanum' / Waxleaf Privet	MOD



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PROPOSED PLANTING PLAN - PHASE 2





a: Bench



b: Lounge chairs & Side Table



c: Bistro Table



d: Dining Table



e: Picnic Table



f: Drinking Fountain



g: Ping Pong Table

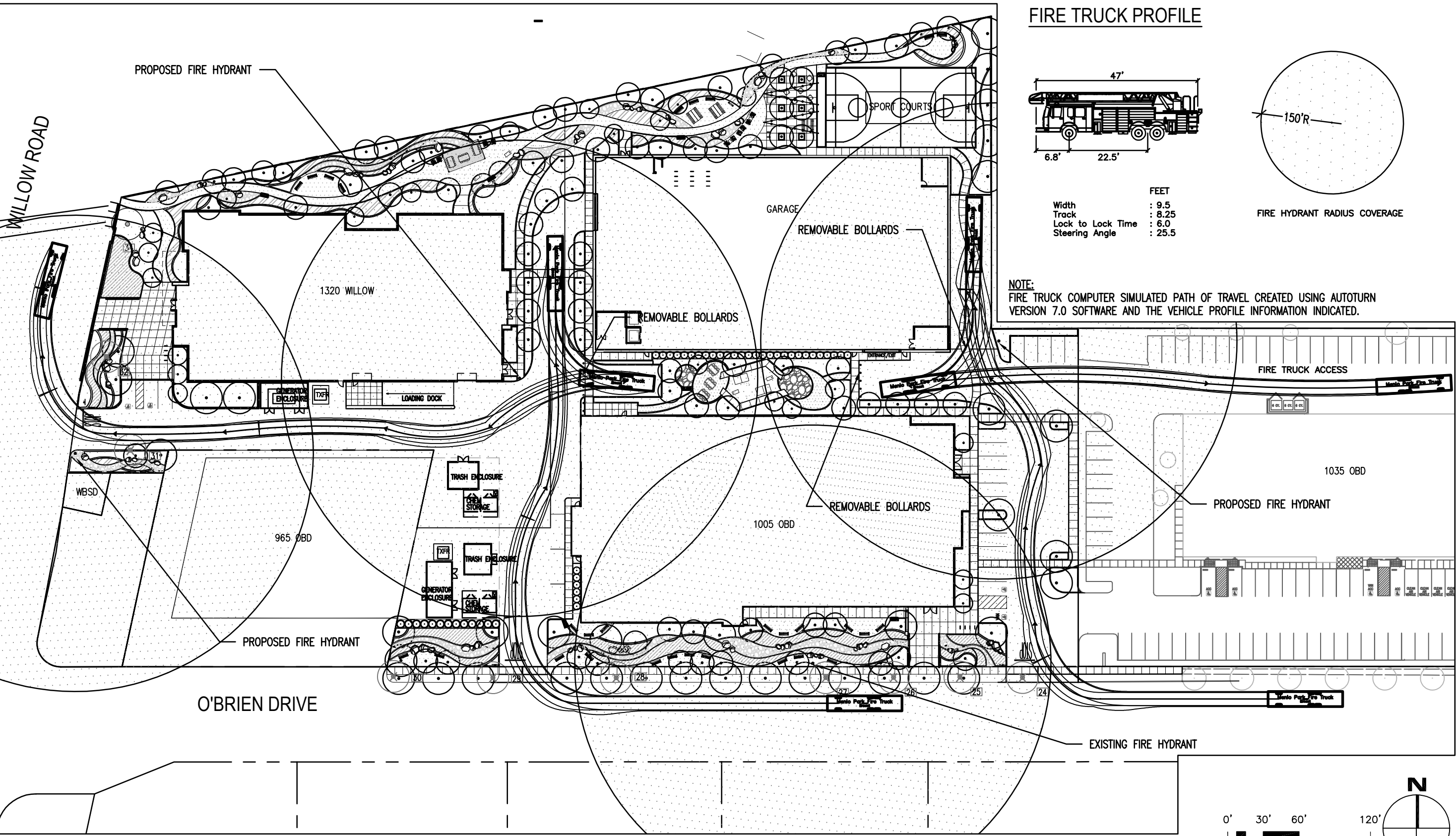


h: Corn Holes

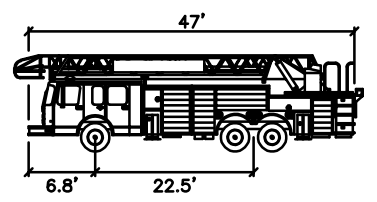


i: Bike Rack

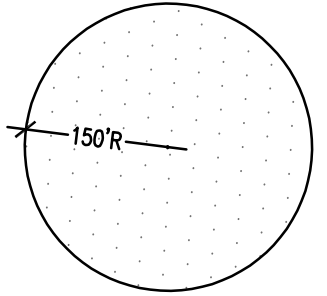




**FIRE TRUCK PROFILE**



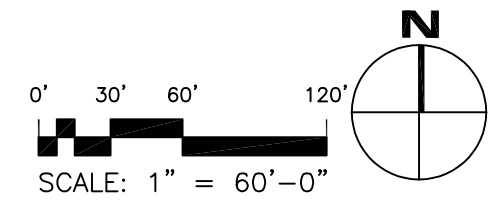
FEET	
Width	: 9.5
Track	: 8.25
Lock to Lock Time	: 6.0
Steering Angle	: 25.5



FIRE HYDRANT RADIUS COVERAGE

**NOTE:**  
 FIRE TRUCK COMPUTER SIMULATED PATH OF TRAVEL CREATED USING AUTOTURN  
 VERSION 7.0 SOFTWARE AND THE VEHICLE PROFILE INFORMATION INDICATED.

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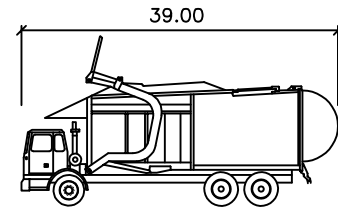
**FIRE TRUCK TURNING AND HYDRANT EXHIBIT**

**C1.1**



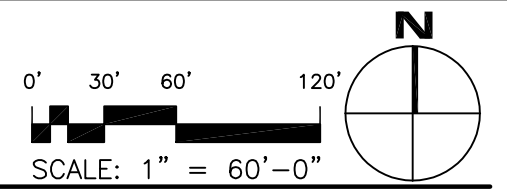
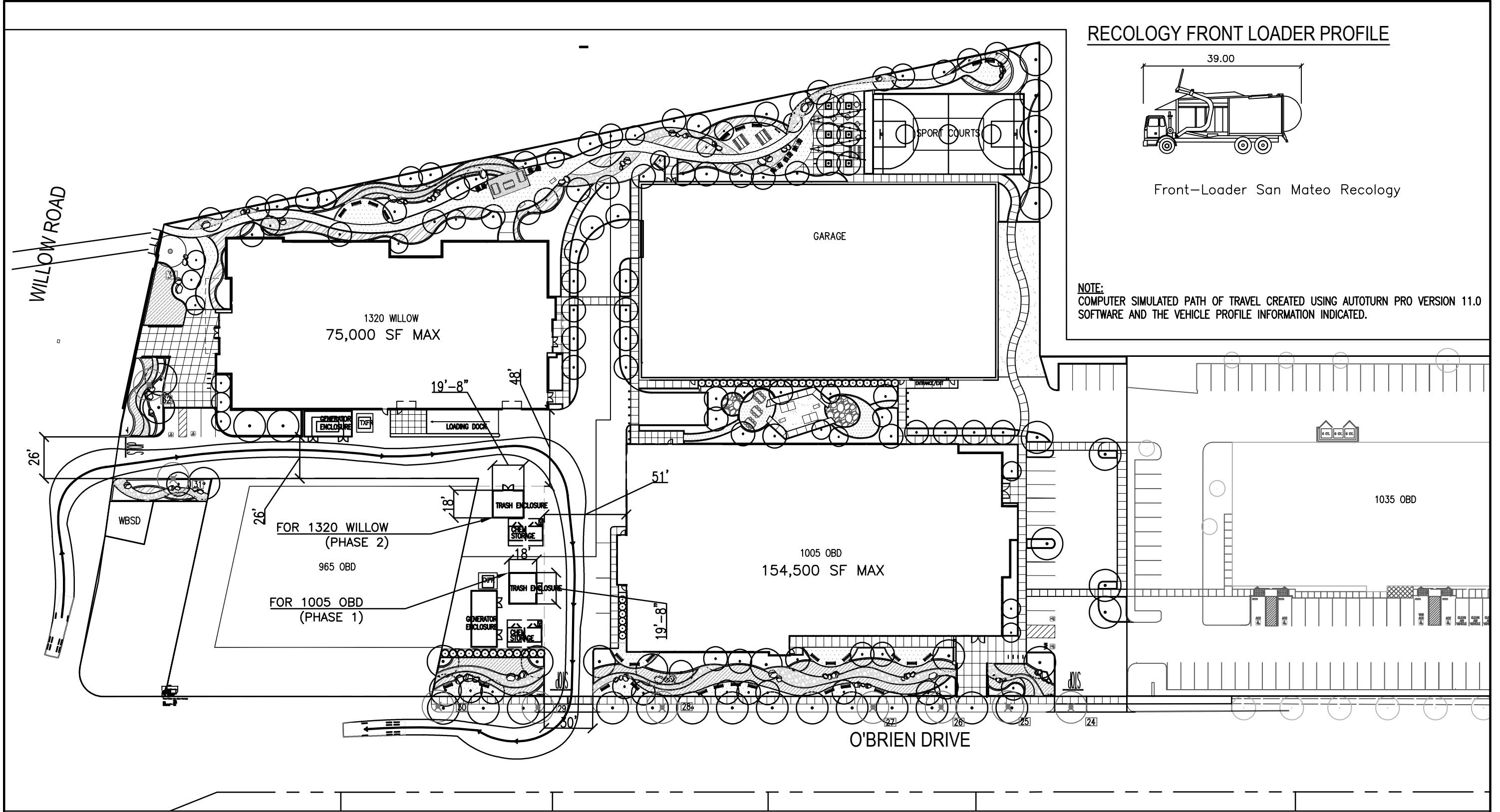
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RECOLOGY FRONT LOADER PROFILE



Front-Loader San Mateo Recology

NOTE:  
COMPUTER SIMULATED PATH OF TRAVEL CREATED USING AUTOTURN PRO VERSION 11.0 SOFTWARE AND THE VEHICLE PROFILE INFORMATION INDICATED.



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RECOLOGY TRUCK TURNING EXHIBIT

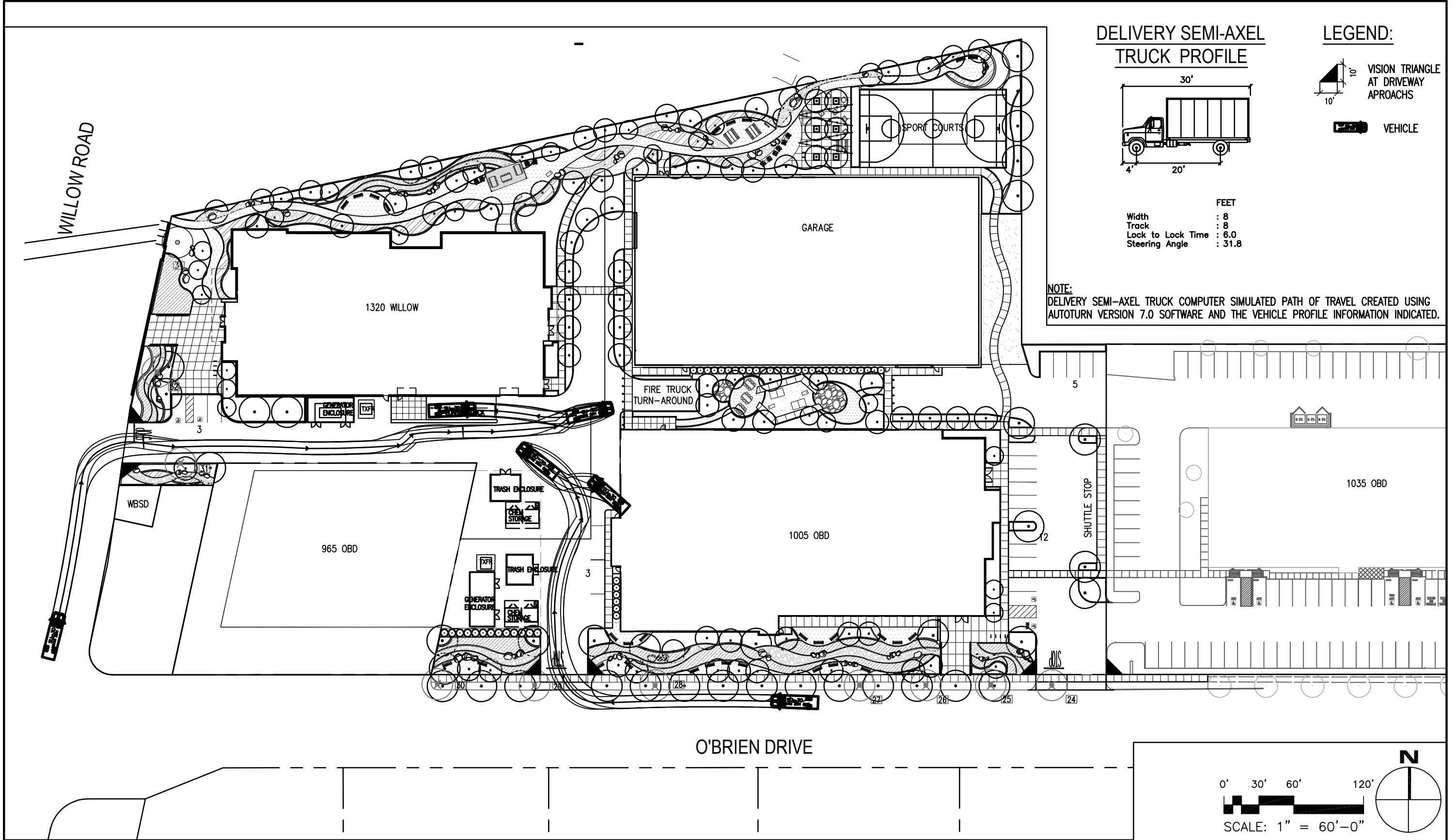
C1.2



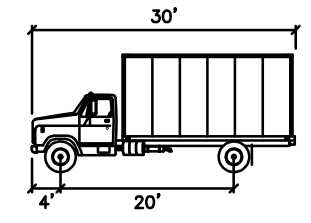
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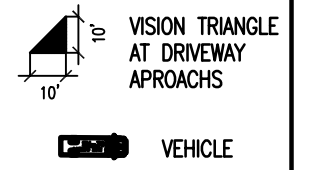


**DELIVERY SEMI-AXEL TRUCK PROFILE**

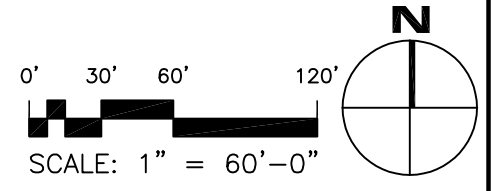


	FEET
Width	: 8
Track	: 8
Lock to Lock Time	: 6.0
Steering Angle	: 31.8

**LEGEND:**



**NOTE:**  
DELIVERY SEMI-AXEL TRUCK COMPUTER SIMULATED PATH OF TRAVEL CREATED USING AUTOTURN VERSION 7.0 SOFTWARE AND THE VEHICLE PROFILE INFORMATION INDICATED.



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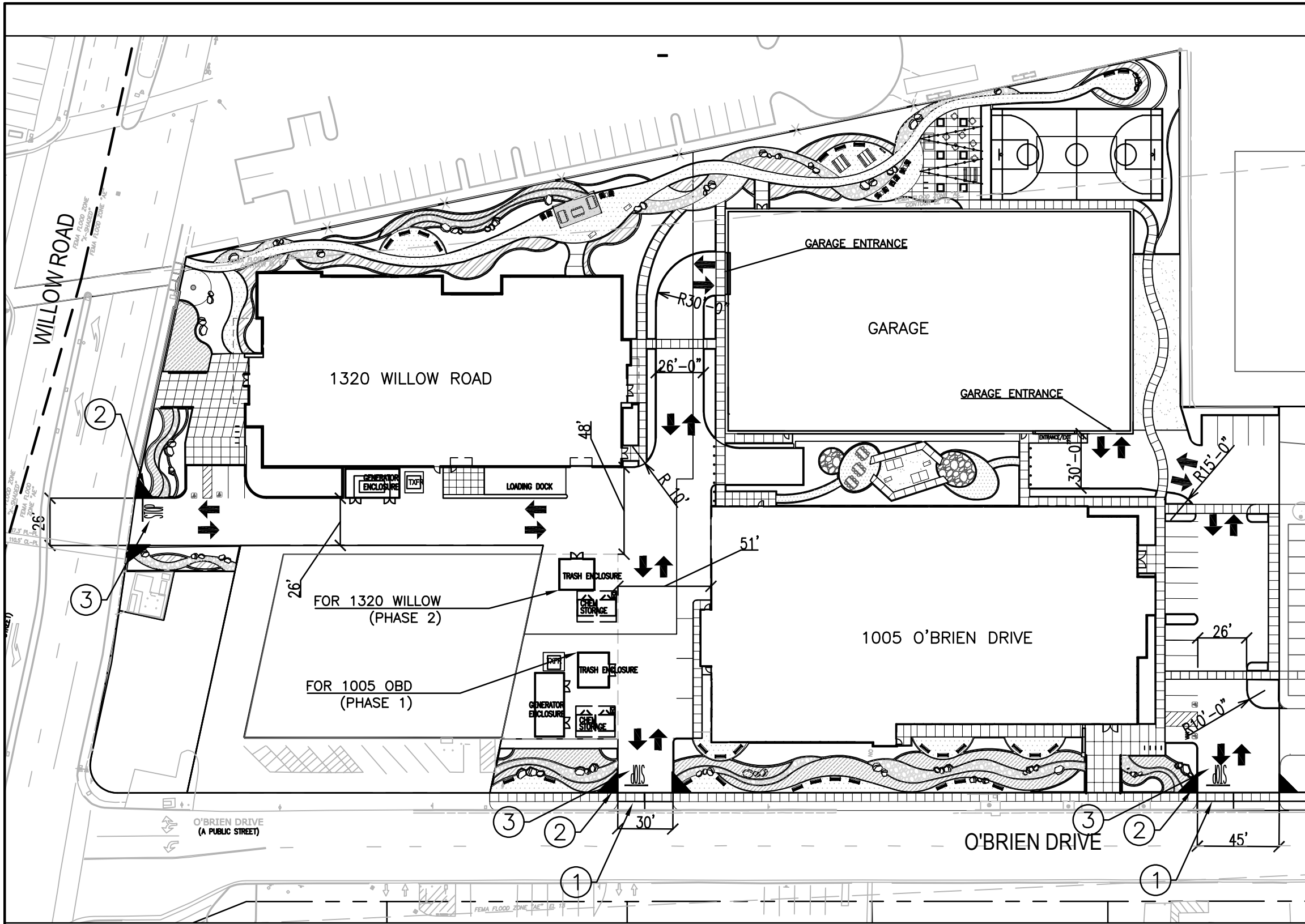
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DELIVERY TRUCK EXHIBIT


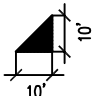
**C1.3**



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**LEGEND:**

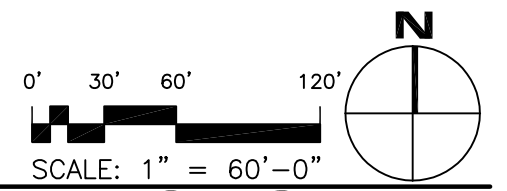
-  DIRECTION OF PARKING CIRCULATION
-  VISION TRIANGLE AT DRIVEWAY APPROACHES
- R RADIUS

**NOTES:**

1. ALL DIMENSIONS TO FACE OF CURB U.N.O. (ALL FTP DIMENSIONS ARE SHOWN TO OUTSIDE WALL EDGES.)
2. ALL SIGNS AND ASSOCIATED STRIPING AND PAVEMENT MARKINGS SHOULD BE INSTALLED AT THESE DRIVEWAYS IN ACCORDANCE WITH THE CALIFORNIA-MUTCD.
3. ALL CURB RADIUS, DRIVEWAY WIDTHS, AND SPACING BETWEEN DRIVEWAYS SHALL MEET THE CITY OF MENLO PARK STALL AND DRIVEWAY GUIDELINE DETAILS.
4. LANDSCAPING PROPOSED ON EACH SIDE OF THE PROPOSED DRIVEWAYS SHOULD NOT OBSTRUCT VIEW OF DRIVERS WHILE EXITING.

**KEYNOTES:**

- ① PROPOSED DRIVEWAY TO BE INSTALLED PER CITY OF MENLO PARK STANDARD DETAILS
- ② INSTALL STOP SIGN PER CA-MUTCD STANDARD DETAILS.
- ③ INSTALL "STOP" PAVEMENT MARKING PER CA-MUTCD STANDARD DETAILS.



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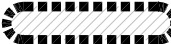




PARKING CIRCULATION AND STRIPING  
 EXHIBIT

**C1.4**



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**LEGEND:**

-  BOUNDARY OF WORK LIMIT FOR PHASE 1
- TP TOP OF PAVEMENT
- TC TOP OF CURB
- FF FINISH FLOOR ELEVATION
- FH FIRE HYDRANT
- FL FLOWLINE
- FG FINISH GRADE
- RIM RIM OF SD CATCH BASIN
- SDCB STORM DRAIN CATCH BASIN
- AD AREA DRAIN
- HP HIGH POINT
- (E) EXISTING
- (P) PROPOSED
-  DIRECTION OF SURFACE DRAINAGE
-  CATCH BASIN
-  BIORETENTION BASIN
-  DG PAVEMENT
-  COBBLE BAND
-  STREET LIGHTS PER CITY STANDARD DETAILS
-  LANDSCAPE AREA

**NOTE:**

1. SEE SHEET C6.1 FOR SECTIONS OF EXISTING AND PROPOSED CONDITIONS ALONG O'BRIEN DRIVE AND BOUNDARY.
2. SLOPES WITHIN THE FIRST 10' MUST SLOPE AWAY FROM THE BUILDING AT 5% MIN. FOR PERVIOUS SURFACES AND 2% MIN. FOR IMPERVIOUS AREAS.
3. ALL OFFSITE IMPROVEMENTS SHALL BE PER CITY OF MENLO PARK STANDARD DETAILS.
4. PER MUNICIPAL CODE CHAPTER 16, ELECTRICAL UNDERGROUNDING (LESS THAN 60KV AND COMMUNICATION LINES).

**BENCHMARK:**

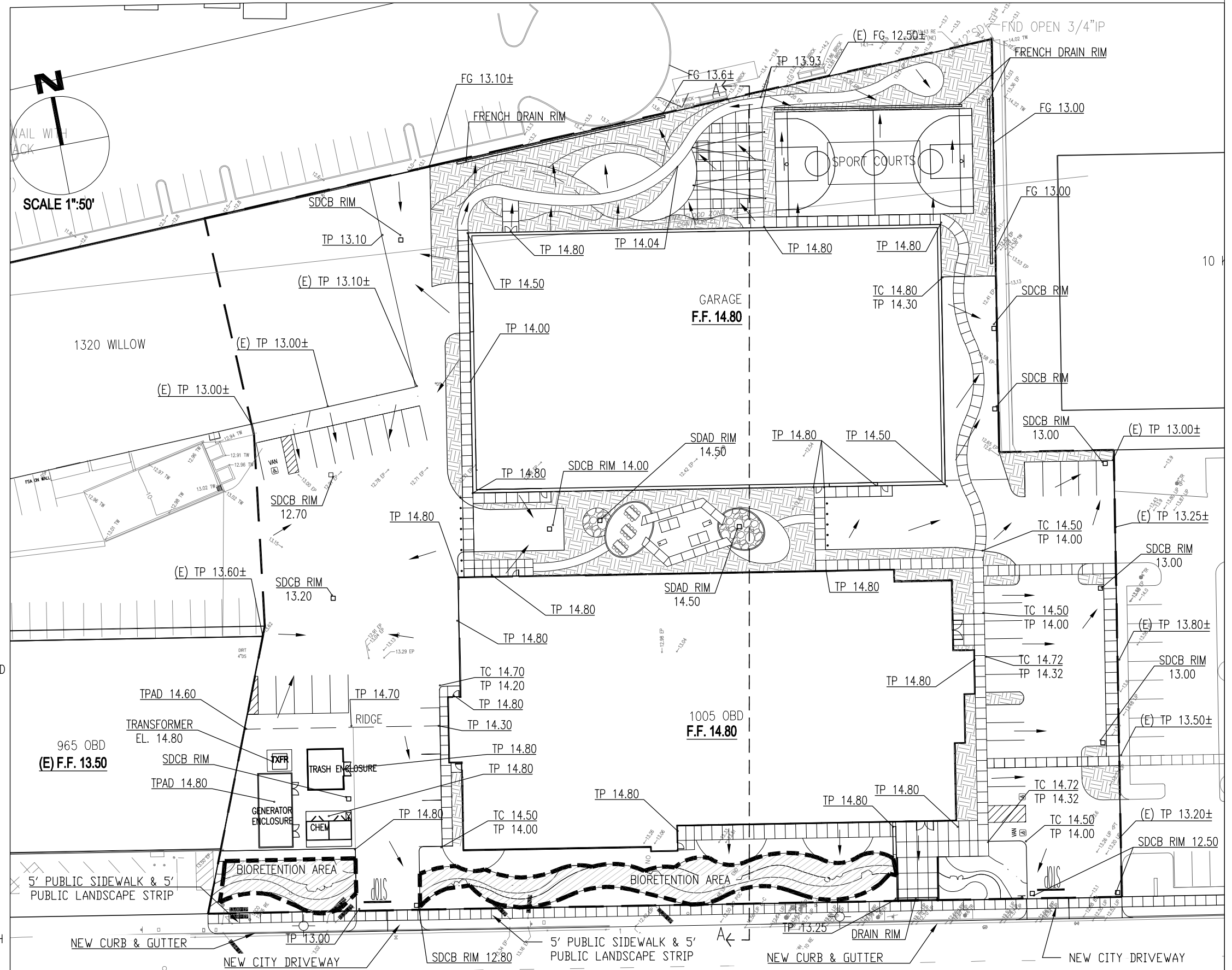
(FROM TOPOGRAPHIC SURVEY PREPARED BY KIER & WRIGHT SURVEYORS: JOB A15124-5 DATED FEB. 2021)

**FLOOD ZONE NOTE:**

THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, MAP NUMBER 06081C0307E FOR COMMUNITY PANEL NUMBER 060321 0307 E, DATED OCTOBER 16, 2012, WITH THE SITE BEING LOCATED IN FLOOD ZONE "AE";

BASE FLOOD ELEVATION DETERMINED AS 12.8 FEET.

NOTE: THE PROJECT WILL BE DESIGNED AND CONSTRUCTED IN COMPLIANCE WITH CURRENT FEMA REGULATIONS AND CITY'S FLOOD DAMAGE PREVENTION ORDINANCE.










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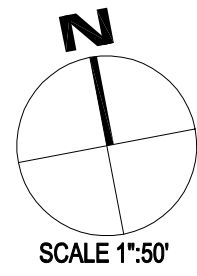
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**PHASE 1 PRELIMINARY GRADING PLAN**



**LEGEND:**

-  BOUNDARY OF WORK LIMIT FOR PHASE 2
- TP TOP OF PAVEMENT
- TC TOP OF CURB
- FF FINISH FLOOR ELEVATION
- FH FIRE HYDRANT
- FL FLOWLINE
- FG FINISH GRADE
- RIM RIM OF SD CATCH BASIN
- SDCB STORM DRAIN CATCH BASIN
- AD AREA DRAIN
- HP HIGH POINT
- (E) EXISTING
- (P) PROPOSED
-  DIRECTION OF SURFACE DRAINAGE
-  CATCH BASIN
-  BIORETENTION BASIN
-  DG PAVEMENT
-  COBBLE BAND
-  LANDSCAPE AREA



**NOTE:**

1. SEE SHEET C6.1 FOR SECTIONS OF EXISTING AND PROPOSED CONDITIONS ALONG O'BRIEN DRIVE AND BOUNDARY.
2. SLOPES WITHIN THE FIRST 10' MUST SLOPE AWAY FORM THE BUILDING AT 5% MIN. FOR PERVIOUS SURFACES AND 2% MIN. FOR IMPERVIOUS AREAS.

**BENCHMARK:**

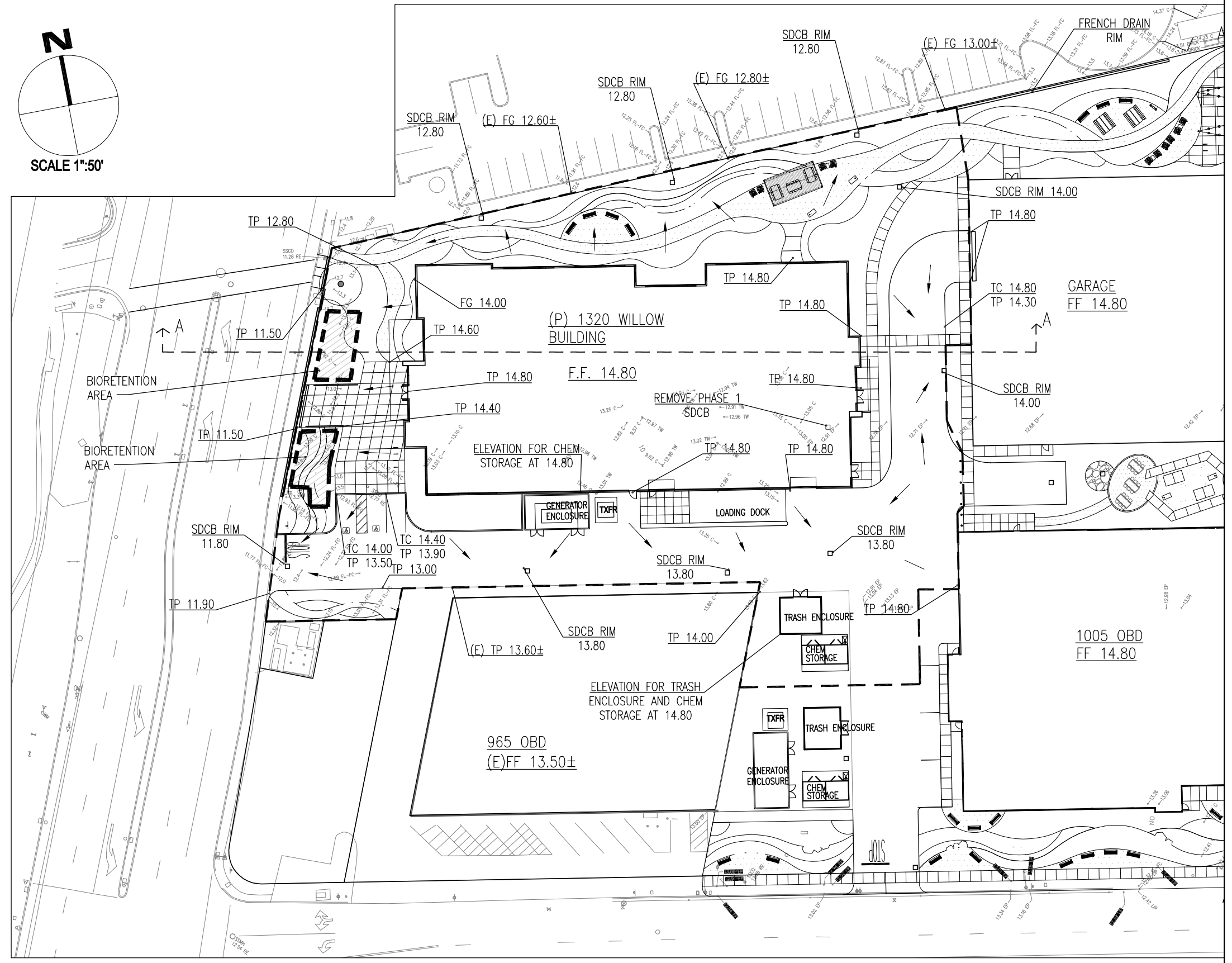
(FROM TOPOGRAPHIC SURVEY PREPARED BY KIER & WRIGHT SURVEYORS: JOB A15124-5 DATED FEB. 2021)

**FLOOD ZONE NOTE:**

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BASE FLOOD ELEVATION DETERMINED AS 12.8 FEET.

NOTE: THE PROJECT WILL BE DESIGNED AND CONSTRUCTED IN COMPLIANCE WITH CURRENT FEMA REGULATIONS AND CITY'S FLOOD DAMAGE PREVENTION ORDINANCE.



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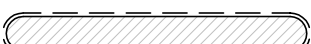
**PHASE 2 PRELIMINARY GRADING PLAN**



**SHEET NOTES:**

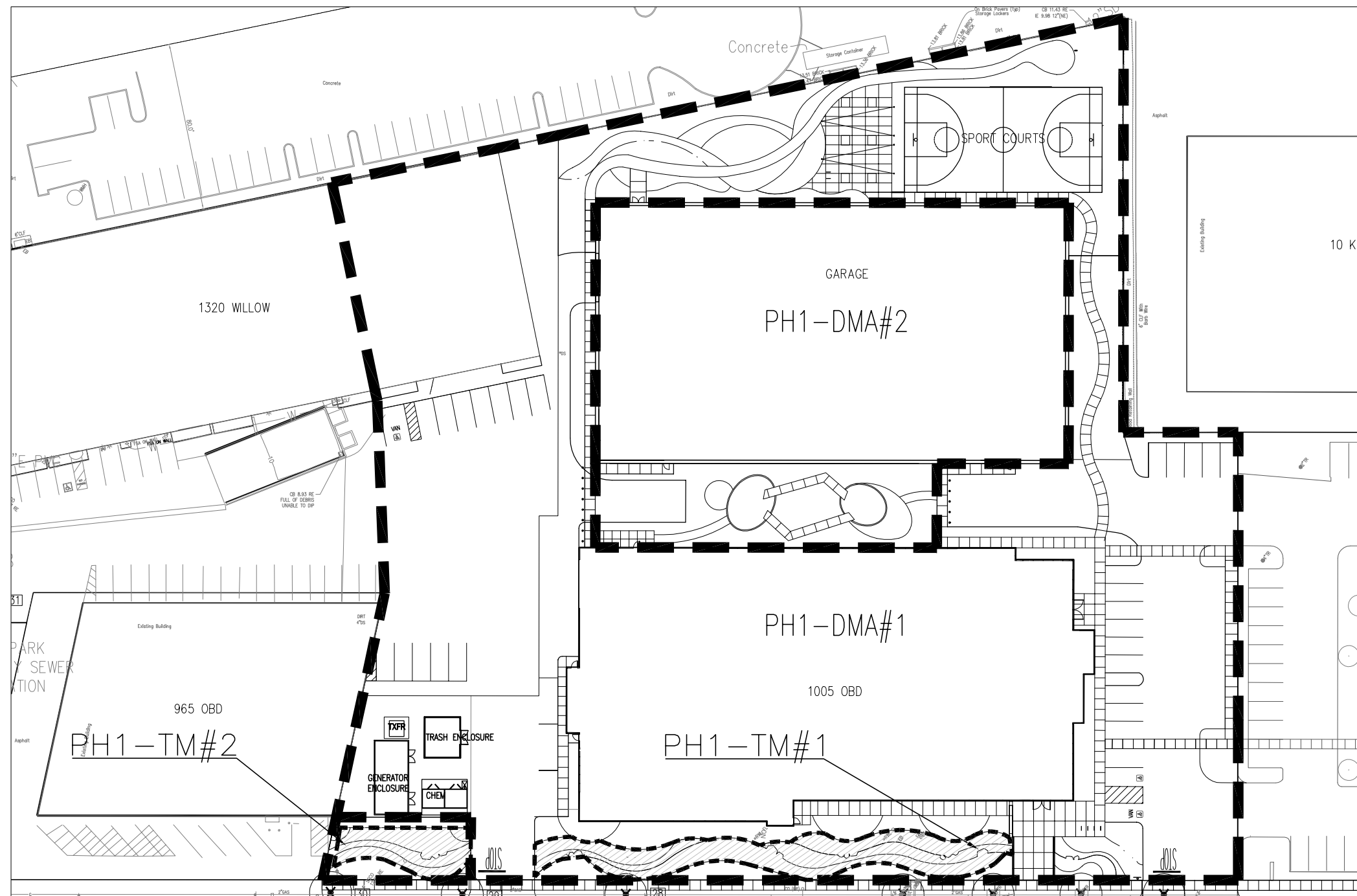
1. DIRECT RUNOFF FROM UNCOVERED PARKING AREAS AND/OR DRIVEWAYS ONTO VEGETATED AREAS.
2. MINIMIZE IMPERVIOUS SURFACES.
3. PRELIMINARY SIZING IS BASED ON THE COUNTY OF SAN MATEO WORKSHEET FOR CALCULATING THE COMBINATION FLOW AND VOLUME METHOD PER SECTION 5.1.3 OF C.3. REGULATED PROJECTS GUIDE.
4. SEE SHEET C3.2A FOR PHASE 2 STORMWATER MANAGEMENT SUMMARY. SEE SHEET C3.3 FOR FINAL CONDITION STORMWATER MANAGEMENT PLAN SUMMARY.

**LEGEND:**

-  PROPOSED STORMWATER DRAINAGE AREA BOUNDARY
-  BIORETENTION BASIN

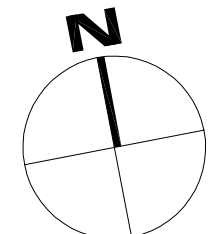
**ABBREVIATIONS:**

- PH1-DMA# PHASE 1 DRAINAGE MANAGEMENT AREA #
- PH1-TM# PHASE 1 TREATMENT MEASURE #



**STORMWATER MANAGEMENT TREATMENT MEASURE SUMMARY:**

DRAINAGE AREA #	STORMWATER TREATMENT MEASURE	TREATMENT MEASURE DESIGNATION #	TOTAL AREA (SQ. FT.)	IMPERVIOUS AREA (SQ. FT.)	PERVIOUS AREA (SQ. FT.)	EFFECTIVE IMPERVIOUS AREA (SQ. FT.)	TREATMENT AREA REQUIRED (SQ.FT.)	TREATMENT AREA PROVIDED (SQ. FT.)
PH1-DMA#1	BIORETENTION AREA	PH1-TM#1	112165	90384	21781	92560	2800	3290
PH1-DMA#2	BIORETENTION BASIN	PH1-TM#2	34390	31507	2883	31795	960	1200



SCALE 1" = 60'

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**PHASE 1 PRELIMINARY STORMWATER MANAGEMENT PLAN**




C3.1A

DES

ARCHITECTS  
ENGINEERS

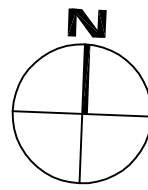
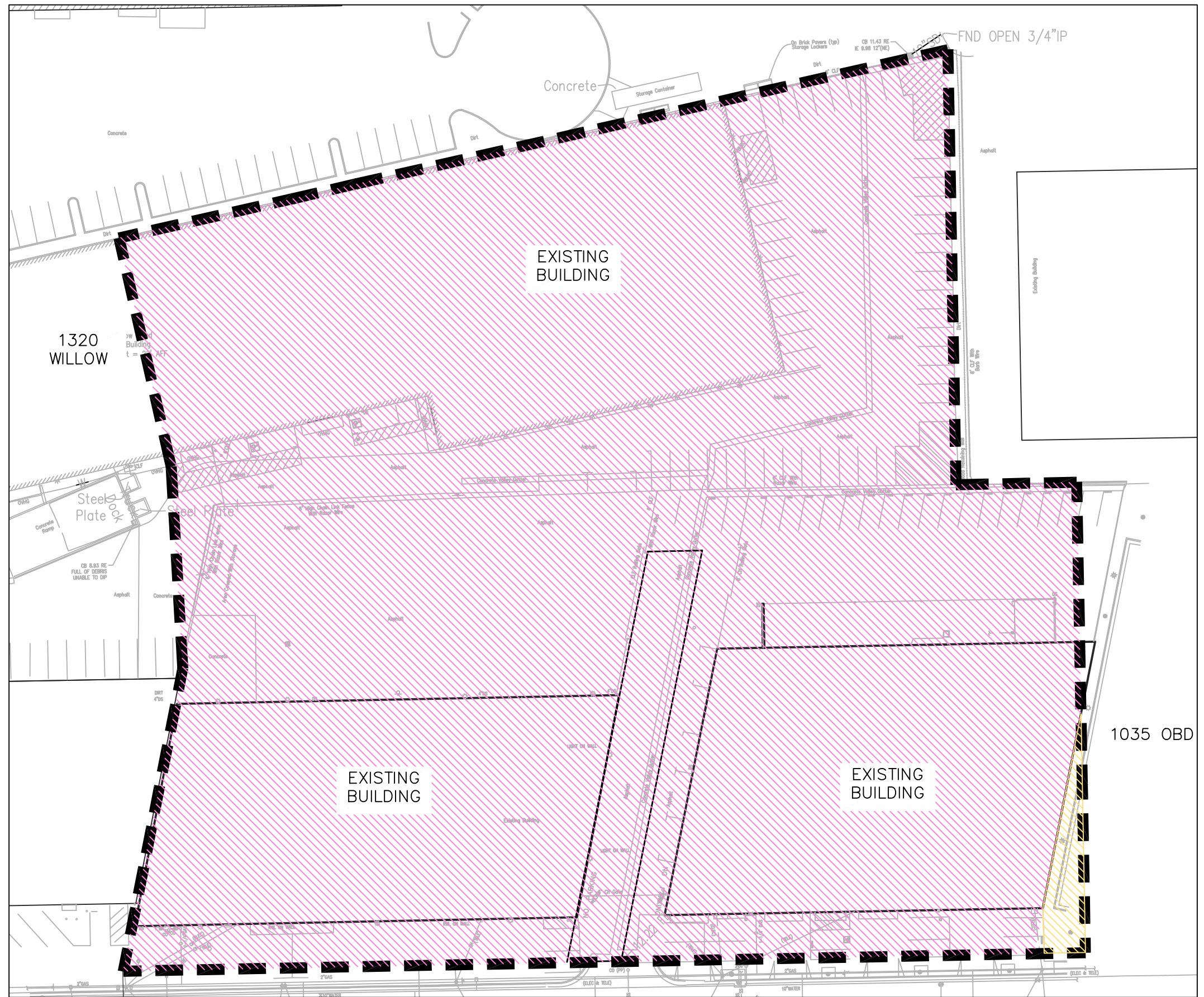
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**LEGEND**

-  PROPERTY BOUNDARY
-  EXISTING IMPERVIOUS AREA
-  EXISTING PERVIOUS AREA

**IMPERVIOUS/PERVIOUS AREA SUMMARY:**

	EXISTING
PERVIOUS AREA (SQ. FT.)	1318
IMPERVIOUS AREA (SQ. FT.)	145237
TOTAL AREA (SQ. FT.)	146555



0' 25' 50' 100'  
SCALE: 1" = 50'-0"

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985 & 1001 O'BRIEN DR  
1320 WILLOW RD  
MENLO PARK, CA 94025

**PHASE 1 OVERALL EXISTING PERVIOUS/IMPERVIOUS AREA**

- 04-15-2021 D.R.T. REVIEW
- 05-26-2021 C.U.P. SUBMITTAL
- 10-28-2021 C.U.P. RESPONSE 1
- 06-22-2022 C.U.P. RESPONSE 2
- 10-28-2022 C.U.P. RESPONSE 3
- 02-17-2023 C.U.P. RESPONSE 4

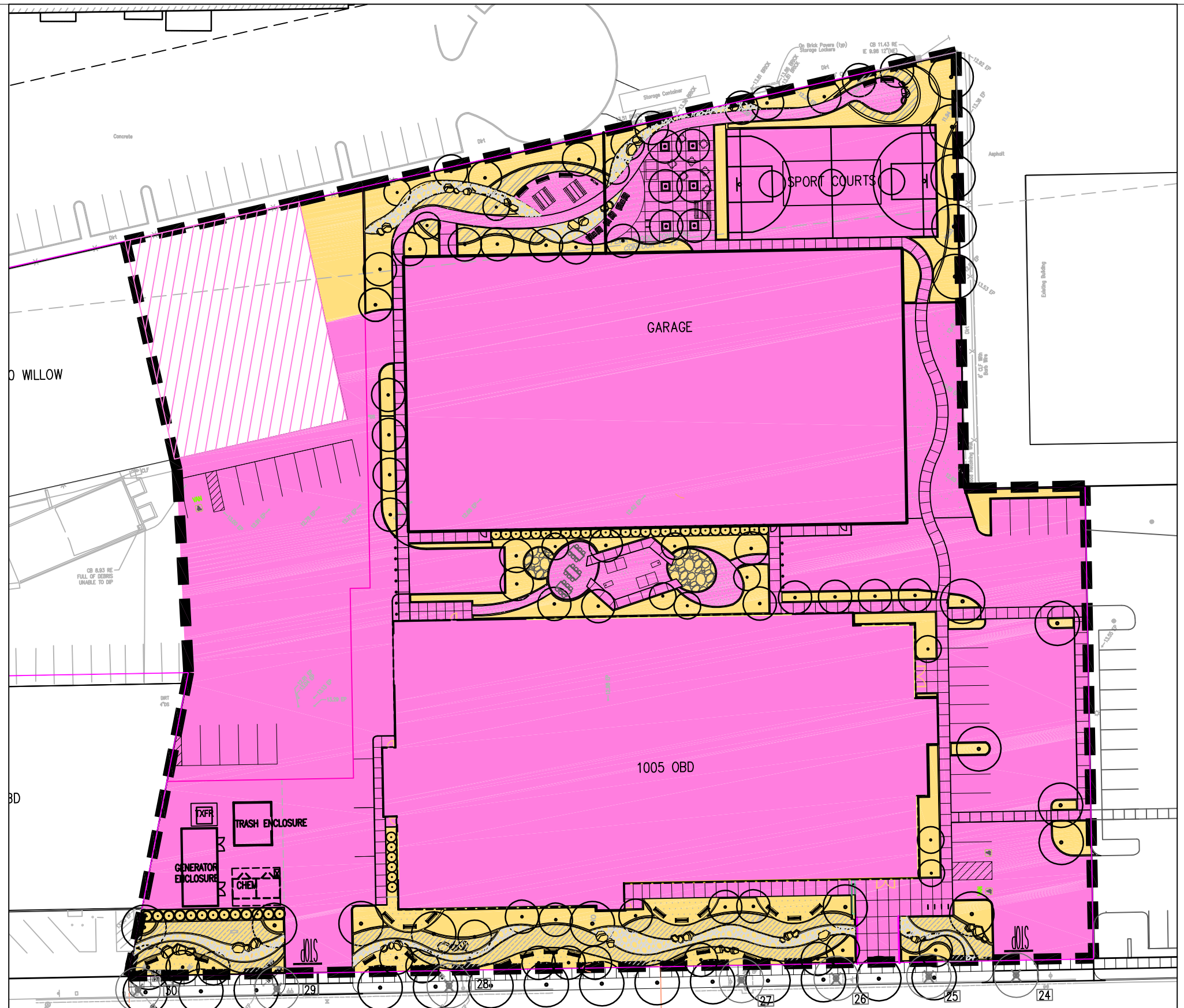
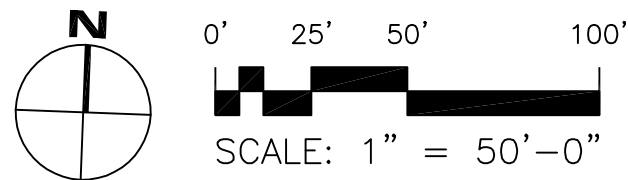


**LEGEND**

-  PROPERTY BOUNDARY
-  EXISTING IMPERVIOUS AREA
-  PROPOSED IMPERVIOUS AREA
-  PROPOSED PERVIOUS AREA

**IMPERVIOUS/PERVIOUS AREA SUMMARY:**

	PROPOSED
PERVIOUS AREA (SQ. FT.)	24664
IMPERVIOUS AREA (SQ. FT.)	121891
TOTAL AREA (SQ. FT.)	146555



BIM 360/Tarlton - 1005 OBD/10025002\_A\_1005OBD\_SHELL\_2020\_Central.rvt



985 & 1001 O'BRIEN DR  
 1320 WILLOW RD  
 MENLO PARK, CA 94025

04-15-2021 D.R.T. REVIEW  
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 10-28-2022 C.U.P. RESPONSE 3  
 02-17-2023 C.U.P. RESPONSE 4

PHASE 1 OVERALL PROPOSED PERVIOUS/IMPERVIOUS AREA



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**SHEET NOTES:**

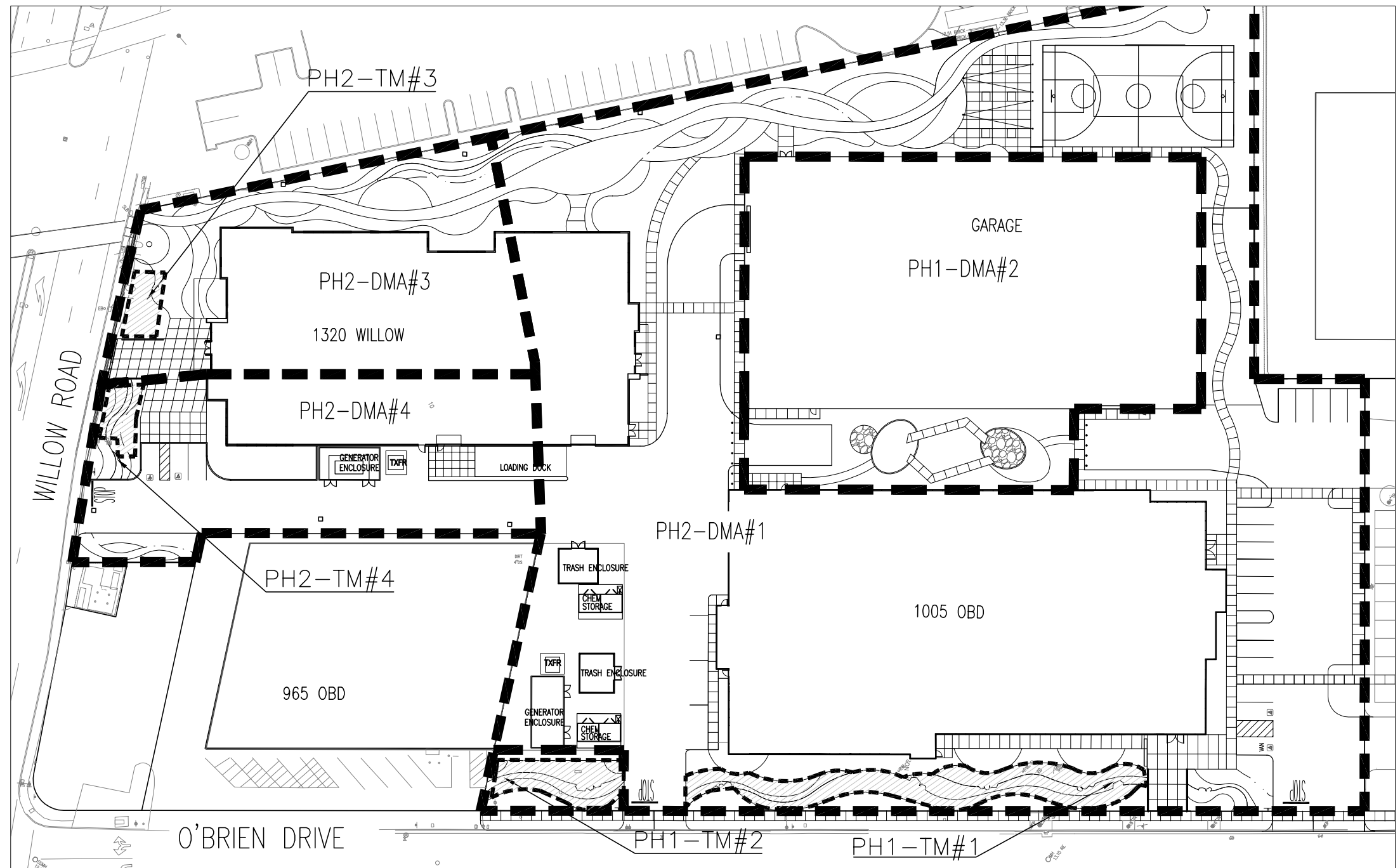
1. DIRECT RUNOFF FROM UNCOVERED PARKING AREAS AND/OR DRIVEWAYS ONTO VEGETATED AREAS.
2. MINIMIZE IMPERVIOUS SURFACES.
3. PRELIMINARY SIZING IS BASED ON THE COUNTY OF SAN MATEO WORKSHEET FOR CALCULATING THE COMBINATION FLOW AND VOLUME METHOD PER SECTION 5.1.3 OF C.3. REGULATED PROJECTS GUIDE.
4. SEE SHEET C3.1A FOR PHASE 1 STORMWATER MANAGEMENT SUMMARY. SEE SHEET C3.3 FOR FINAL CONDITION STORMWATER MANAGEMENT PLAN SUMMARY.

**LEGEND:**

-  PROPOSED STORMWATER DRAINAGE AREA BOUNDARY
-  BIORETENTION BASIN

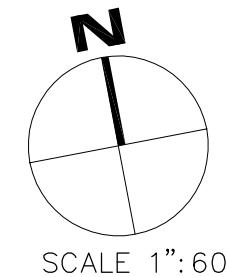
**ABBREVIATIONS:**

- PH#-DMA# PHASE # DRAINAGE MANAGEMENT AREA #
- PH#-TM# PHASE # TREATMENT MEASURE #



**STORMWATER MANAGEMENT TREATMENT MEASURE SUMMARY:**

DRAINAGE AREA #	STORMWATER TREATMENT MEASURE	TREATMENT MEASURE DESIGNATION #	TOTAL AREA (SQ. FT.)	IMPERVIOUS AREA (SQ. FT.)	PERVIOUS AREA (SQ. FT.)	EFFECTIVE IMPERVIOUS AREA (SQ. FT.)	TREATMENT AREA REQUIRED (SQ.FT.)	TREATMENT AREA PROVIDED (SQ. FT.)
PH2-DMA#3	BIORETENTION AREA	PH2-TM#3	19170	13394	5776	13972	423	500
PH2-DMA#4	BIORETENTION AREA	PH2-TM#4	18030	14930	3100	15240	462	520



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1320 WILLOW RD  
MENLO PARK, CA 94025

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10-28-2021 C.U.P. RESPONSE 1  
06-22-2022 C.U.P. RESPONSE 2  
10-28-2022 C.U.P. RESPONSE 3

02-17-2023 C.U.P. RESPONSE 4

**PHASE 2 PRELIMINARY STORMWATER MANAGEMENT PLAN**




**C3.2A**



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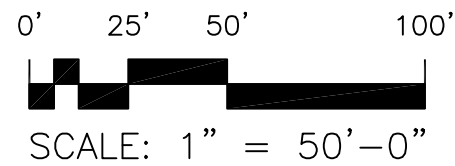
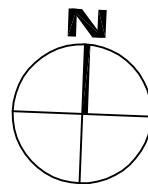
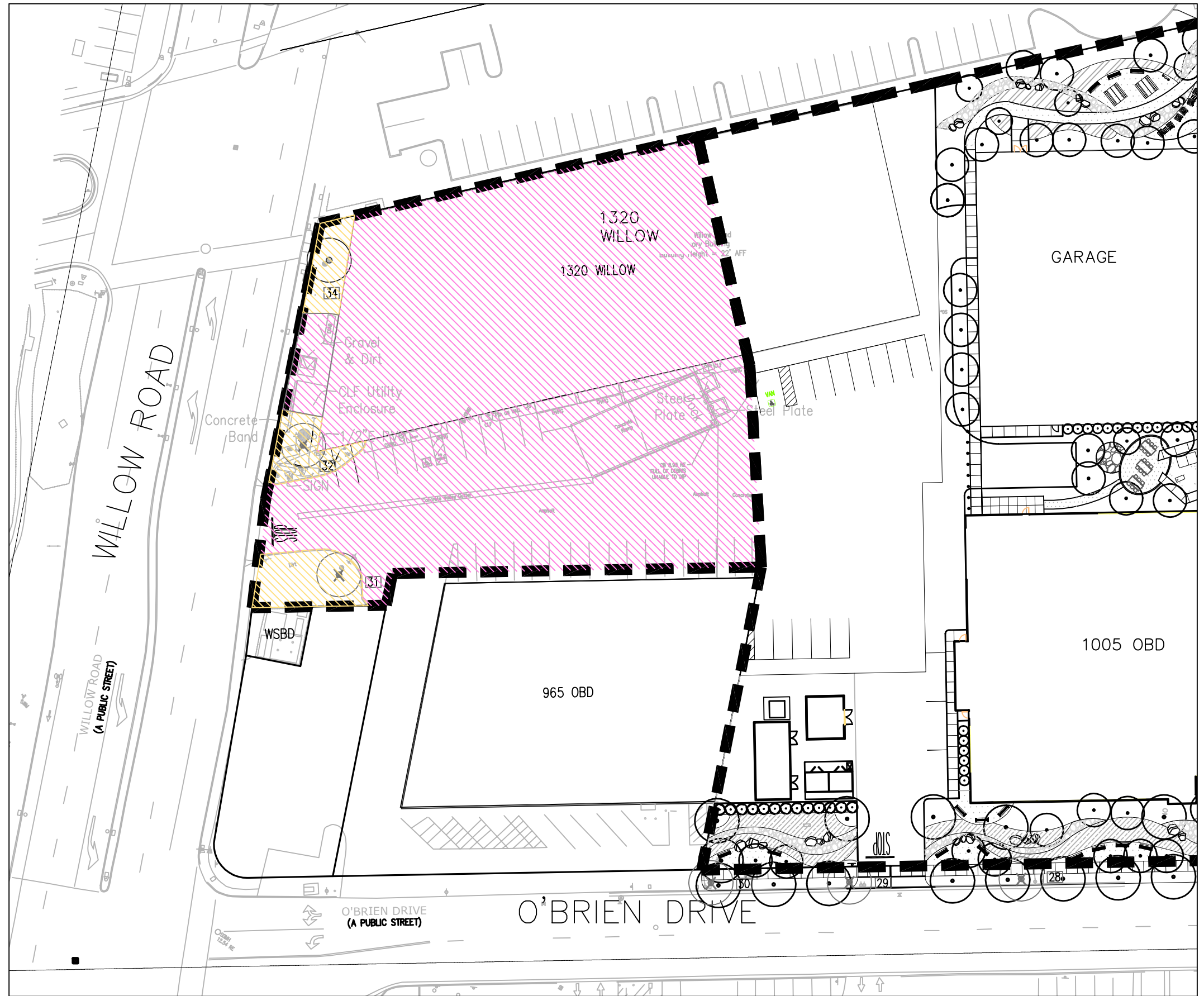


**LEGEND**

-  LIMIT OF DRAINAGE SHED AREA
-  EXISTING IMPERVIOUS AREA
-  EXISTING PERVIOUS AREA

**IMPERVIOUS/PERVIOUS AREA SUMMARY:**

	EXISTING
PERVIOUS AREA (SQ. FT.)	2612
IMPERVIOUS AREA (SQ. FT.)	34588
TOTAL AREA (SQ. FT.)	37200



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985 & 1001 O'BRIEN DR  
 1320 WILLOW RD  
 MENLO PARK, CA 94025

**PHASE 2 OVERALL EXISTING PERVIOUS/IMPERVIOUS AREA**

- 04-15-2021 D.R.T. REVIEW
- 02-17-2023 C.U.P. RESPONSE 4
- 05-26-2021 C.U.P. SUBMITTAL
- 10-28-2021 C.U.P. RESPONSE 1
- 06-22-2022 C.U.P. RESPONSE 2
- 10-28-2022 C.U.P. RESPONSE 3

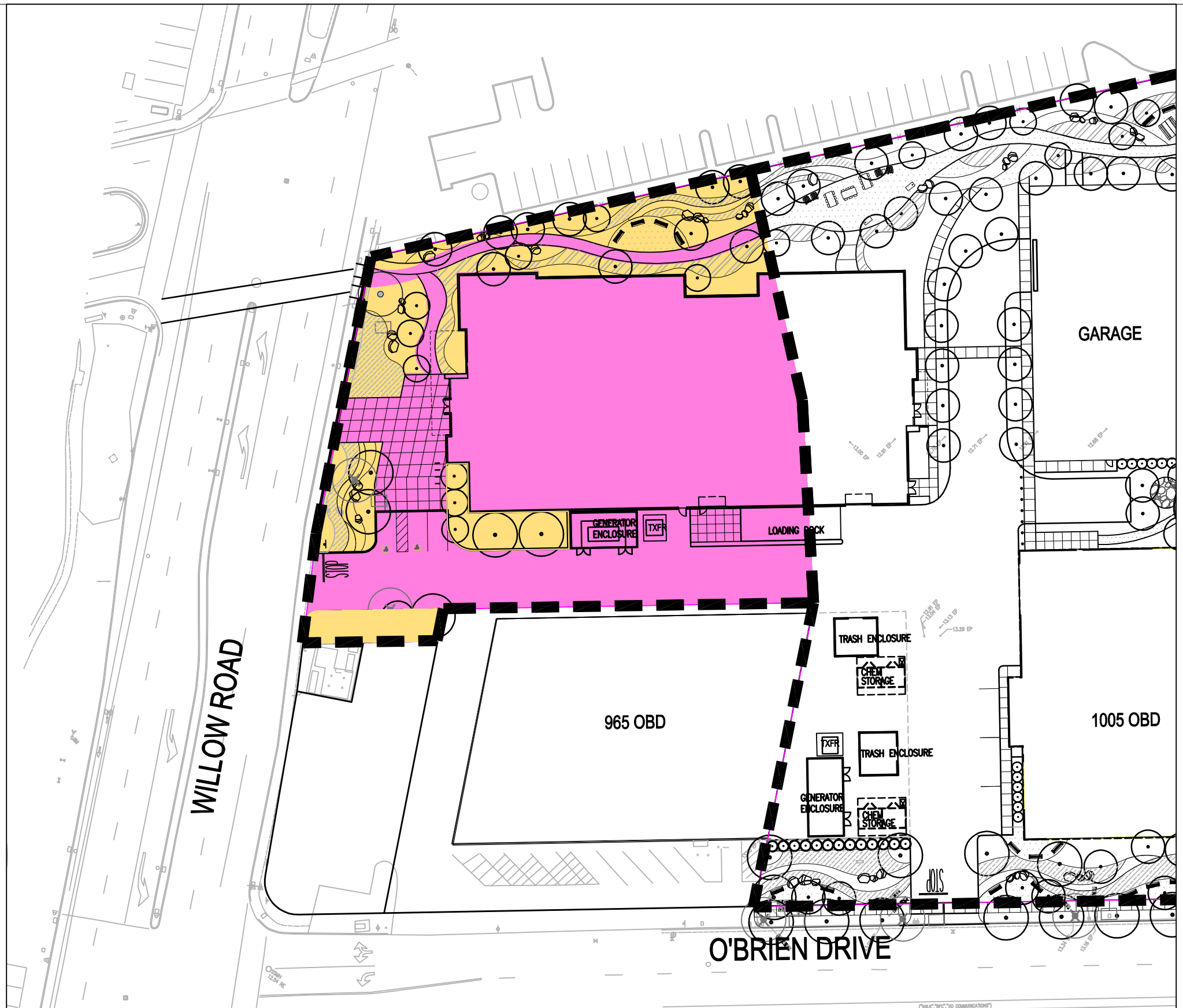
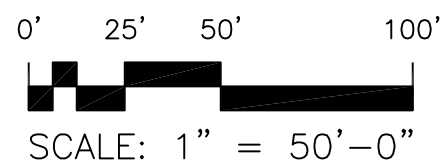
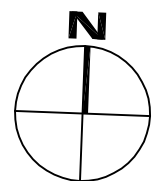


**LEGEND**

-  LIMIT OF DRAINAGE SHED AREA
-  EXISTING IMPERVIOUS AREA
-  PROPOSED IMPERVIOUS AREA
-  PROPOSED PERVIOUS AREA

**IMPERVIOUS/PERVIOUS AREA SUMMARY:**

	PROPOSED
PERVIOUS AREA (SQ. FT.)	8876
IMPERVIOUS AREA (SQ. FT.)	28324
TOTAL AREA (SQ. FT.)	37200



BIM 360/JTarlton - 1005 OBD/10025002\_A\_1005OBD\_SHELL\_2020\_Central.rvt



985 & 1001 O'BRIEN DR  
 1320 WILLOW RD  
 MENLO PARK, CA 94025

04-15-2021 D.R.T. REVIEW  
 05-26-2021 C.U.P. SUBMITTAL  
 10-28-2021 C.U.P. RESPONSE 1  
 06-22-2022 C.U.P. RESPONSE 2  
 10-28-2022 C.U.P. RESPONSE 3

PHASE 2 OVERALL PROPOSED PERVIOUS/IMPERVIOUS AREA

02-17-2023 C.U.P. RESPONSE 4

C3.2C

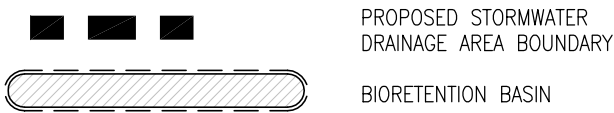
DES

ARCHITECTS  
ENGINEERS

**SHEET NOTES:**

- SEE SHEET C3.1A FOR PHASE 1 STORMWATER MANAGEMENT SUMMARY. SEE SHEET C3.2A FOR PHASE 2 STORMWATER TREATMENT SUMMARY.

**LEGEND:**

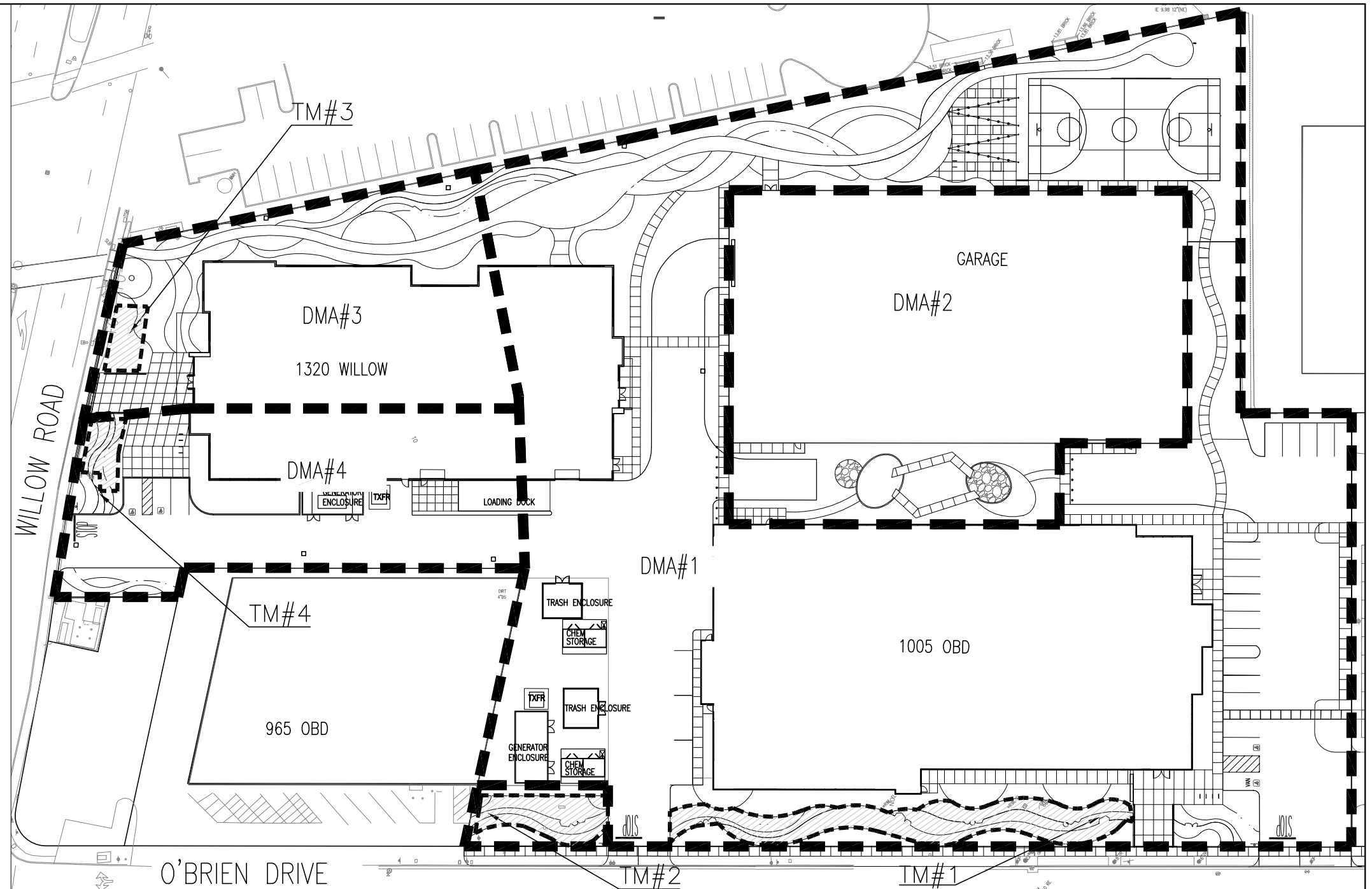


**ABBREVIATIONS:**

- DMA# PHASE # DRAINAGE MANAGEMENT AREA #  
 TM# PHASE # TREATMENT MEASURE #

**IMPERVIOUS/PERVIOUS AREA SUMMARY FOR FULL PROJECT**

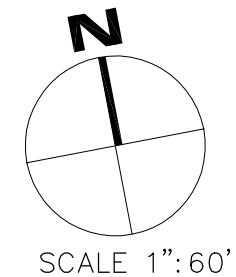
	FULL PROJECT EXISTING CONDITION	FULL PROJECT PROPOSED CONDITION
PERVIOUS AREA (SQ. FT.)	3930	36896
IMPERVIOUS AREA (SQ. FT.)	179825	146859
TOTAL AREA (SQ. FT.)	183755	183755



**IMPERVIOUS/PERVIOUS AREA SUMMARY PER DRAINAGE MANAGEMENT AREAS:**

	PHASE 0: DMA#1 AND DMA#2 SD OUTLET INTO O'BRIEN DR.	PHASE 1: DMA#1 AND DMA#2 SD OUTLET INTO O'BRIEN DR.	PHASE 2: DMA#1 AND DMA#2 SD OUTLET INTO O'BRIEN DR.
PERVIOUS AREA (SQ. FT.)	1318	24664	28020
IMPERVIOUS AREA (SQ. FT.)	145237	121891	118535
TOTAL AREA (SQ. FT.)	146555	146555	146555

	PHASE 1: DMA#3 AND DMA#4 SD OUTLET INTO WILLOW RD.	PHASE 2: DMA#1 AND DMA#2 SD OUTLET INTO WILLOW RD.
PERVIOUS AREA (SQ. FT.)	2612	8876
IMPERVIOUS AREA (SQ. FT.)	34588	28324
TOTAL AREA (SQ. FT.)	37200	37200



985 & 1001 O'BRIEN DR  
 1320 WILLOW RD  
 MENLO PARK, CA 94025

**FINAL CONDITION PRELIMINARY STORMWATER MANAGEMENT PLAN**

- 04-15-2021 D.R.T. REVIEW
- 05-26-2021 C.U.P. SUBMITTAL
- 10-28-2021 C.U.P. RESPONSE 1
- 06-22-2022 C.U.P. RESPONSE 2
- 10-28-2022 C.U.P. RESPONSE 3
- 02-17-2023 C.U.P. RESPONSE 4



**ABBREVIATIONS & LEGEND:**

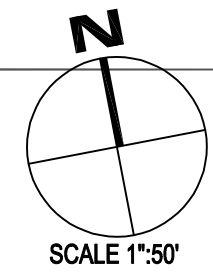
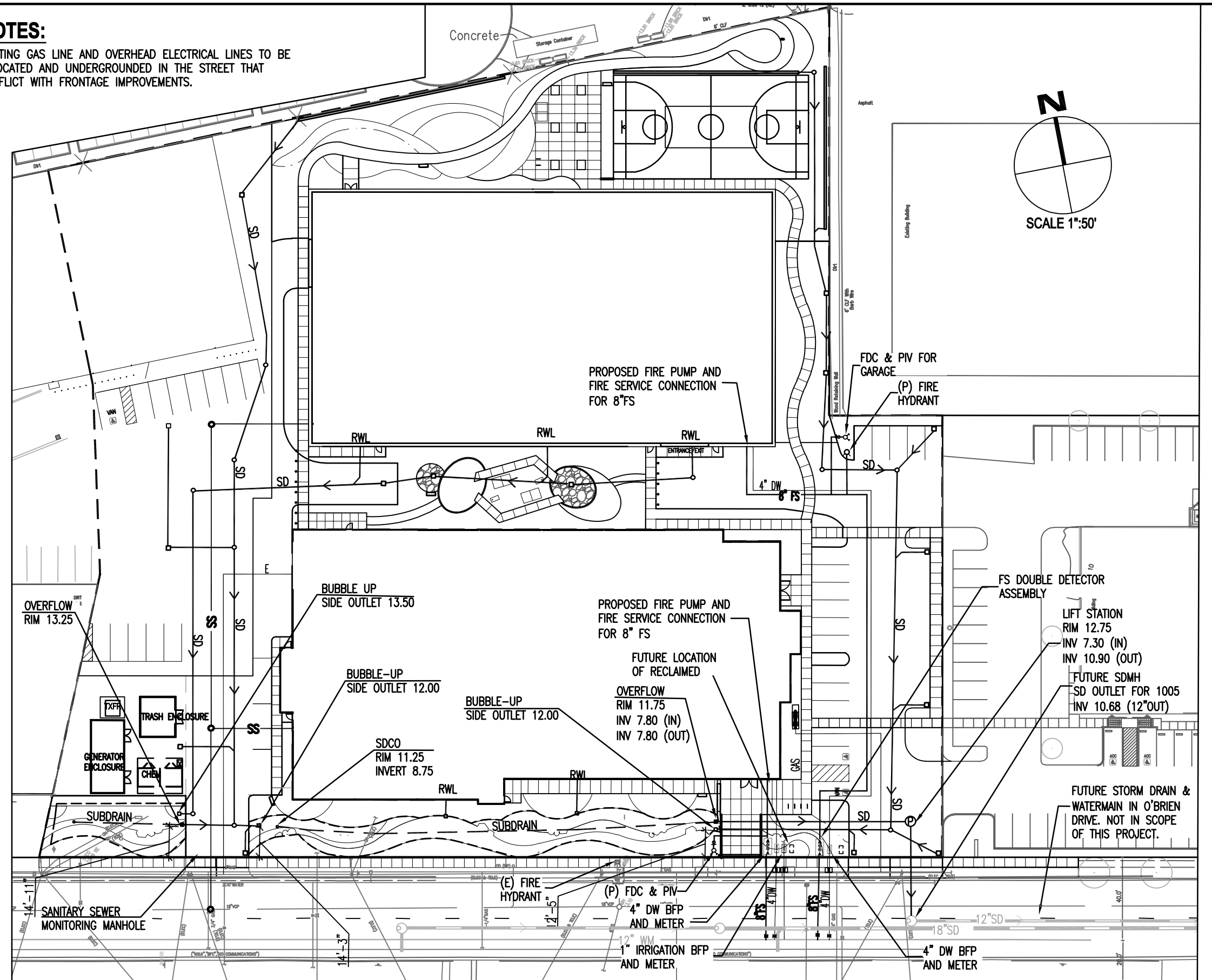
- BFP BACKFLOW PREVENTOR
- SS SANITARY SEWER
- SD STORM DRAIN
- TP TOP OF PAVEMENT
- TC TOP OF CURB
- E ELECTRICAL LINE
- FF FINISH FLOOR ELEVATION
- FS FIRE SERVICE
- DW DOMESTIC WATER
- (P) PROPOSED
- SDCB STORM DRAIN CATCH BASIN
- AD AREA DRAIN
- JUT JOINT UTILITY TRENCH
- HP HIGH POINT
- (E) EXISTING
- FH FIRE HYDRANT
- RIM GRATE OF CATCH BASIN, MANHOLE OR AREA DRAIN RIM ELEVATION
- RWL RAIN WATER LEADER
- P.O.C. POINT OF CONNECTION
- P.I.V. POST INDICATOR VALVE
- F.D.C. FIRE DEPT. CONNECTION

BIORETENTION BASIN

- CATCH BASIN
- STORM DRAIN MANHOLE
- (P) SD
- STORM DRAIN LINE
- (P) FS LINE
- (P) DW LINE
- (P) SS LINE
- PROPOSED BACKFLOW PREVENTOR
- DOUBLE DETECTOR CHECK ASSEMBLY
- SANITARY SEWER MANHOLE
- FDC
- PIV
- FIRE HYDRANT
- BUBBLE-UP STRUCTURE
- OVERFLOW STRUCTURE
- FUTURE GAS REGULATOR
- BOUNDARY OF WORK LIMIT FOR PHASE 1
- WATER METER PROVIDED IN PUBLIC ROW
- WATER VALVES

**NOTES:**

EXISTING GAS LINE AND OVERHEAD ELECTRICAL LINES TO BE RELOCATED AND UNDERGROUNDED IN THE STREET THAT CONFLICT WITH FRONTAGE IMPROVEMENTS.



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985 & 1001 O'BRIEN DR  
1320 WILLOW RD  
MENLO PARK, CA 94025

- 04-15-2021 D.R.T. REVIEW
- 05-26-2021 C.U.P. SUBMITTAL
- 10-28-2021 C.U.P. RESPONSE 1
- 06-22-2022 C.U.P. RESPONSE 2
- 10-28-2022 C.U.P. RESPONSE 3
- 02-17-2023 C.U.P. RESPONSE 4

PHASE 1 PRELIMINARY UTILITY PLAN

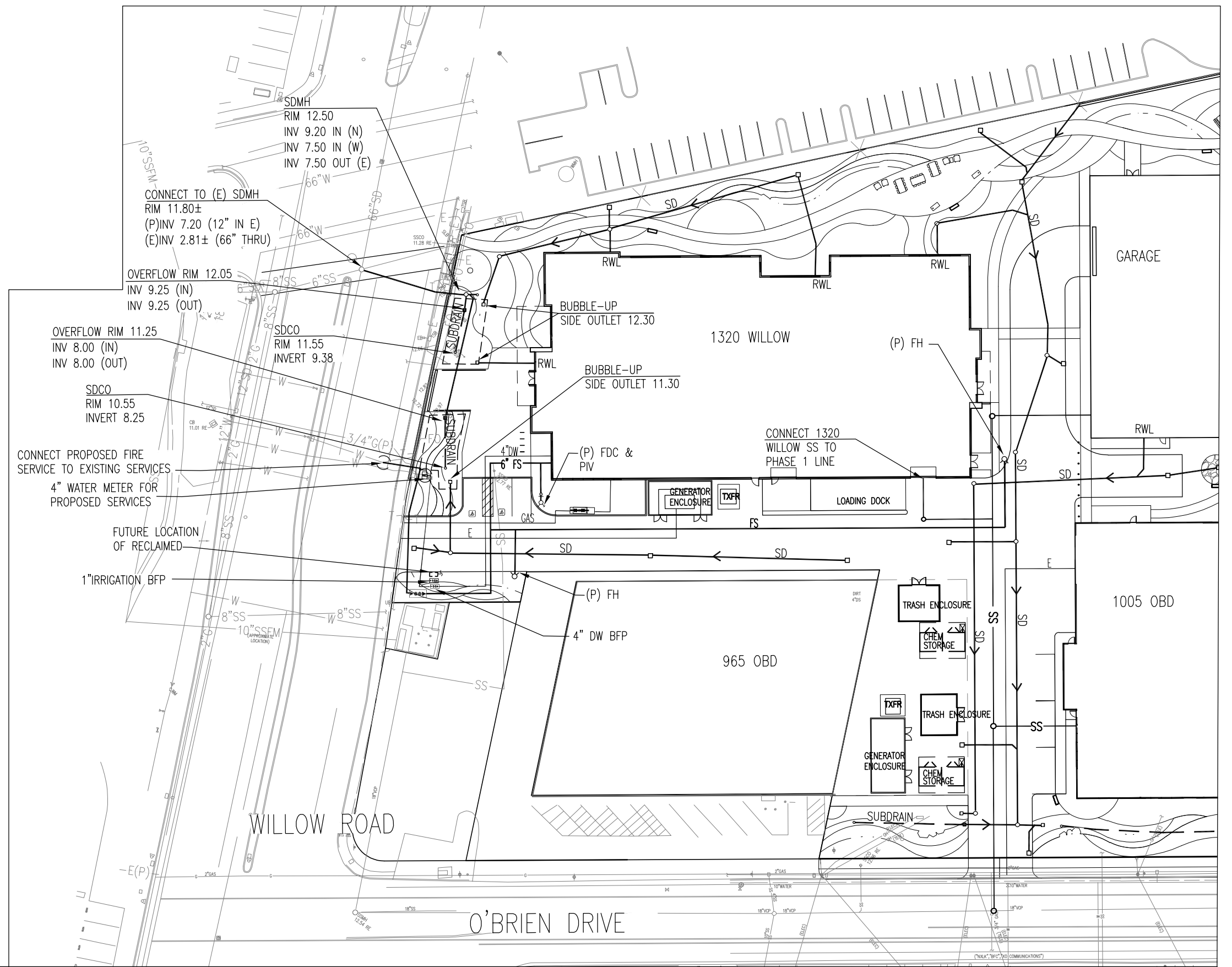
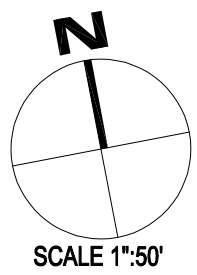


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# ABBREVIATIONS & LEGEND:

BFP	BACKFLOW PREVENTOR
SS	SANITARY SEWER
SD	STORM DRAIN
TP	TOP OF PAVEMENT
TC	TOP OF CURB
E	ELECTRICAL LINE
FF	FINISH FLOOR ELEVATION
FS	FIRE SERVICE
DW	DOMESTIC WATER
(P)	PROPOSED
SDCB	STORM DRAIN CATCH BASIN
AD	AREA DRAIN
JUT	JOINT UTILITY TRENCH
HP	HIGH POINT
(E)	EXISTING
FH	FIRE HYDRANT
RIM	GRATE OF CATCH BASIN, MANHOLE OR AREA DRAIN RIM ELEVATION
RWL	RAIN WATER LEADER
P.O.C.	POINT OF CONNECTION
P.I.V.	POST INDICATOR VALVE
F.D.C.	FIRE DEPT. CONNECTION

	BIORETENTION BASIN
	CATCH BASIN
	STORM DRAIN MANHOLE
	(P) SD
	STORM DRAIN LINE
	(P) FS LINE
	(P) DW LINE
	(P) SS LINE
	PROPOSED BACKFLOW PREVENTOR DOUBLE DETECTOR CHECK ASSEMBLY
	SANITARY SEWER MANHOLE
	FDC
	PIV
	FIRE HYDRANT
	BUBBLE-UP STRUCTURE
	OVERFLOW STRUCTURE
	FUTURE GAS REGULATOR
	BOUNDARY OF WORK LIMIT



BIM 360/Tarlton - 1005 OBD/10025002\_A\_1005OBD\_SHELL\_2020\_Central.rvt



985 & 1001 O'BRIEN DR  
1320 WILLOW RD  
MENLO PARK, CA 94025

## PHASE 2 PRELIMINARY UTILITY PLAN

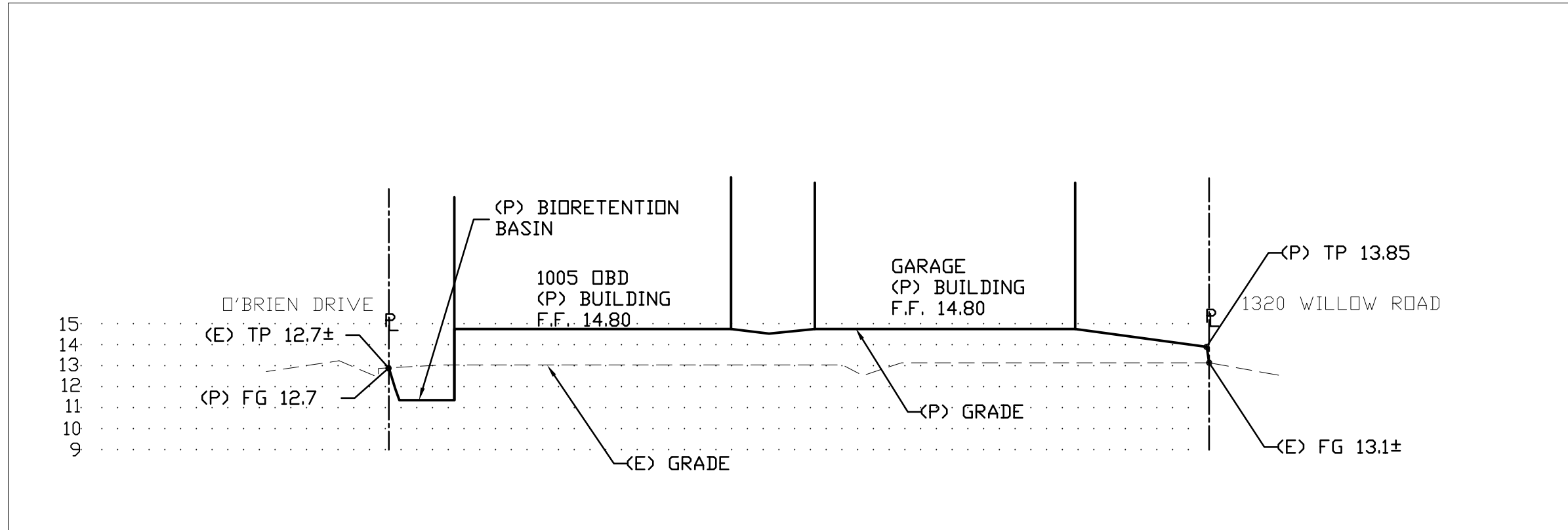
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05-26-2021	C.U.P. SUBMITTAL		
10-28-2021	C.U.P. RESPONSE 1		
06-22-2022	C.U.P. RESPONSE 2		
10-28-2022	C.U.P. RESPONSE 3		



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**NOTE:**

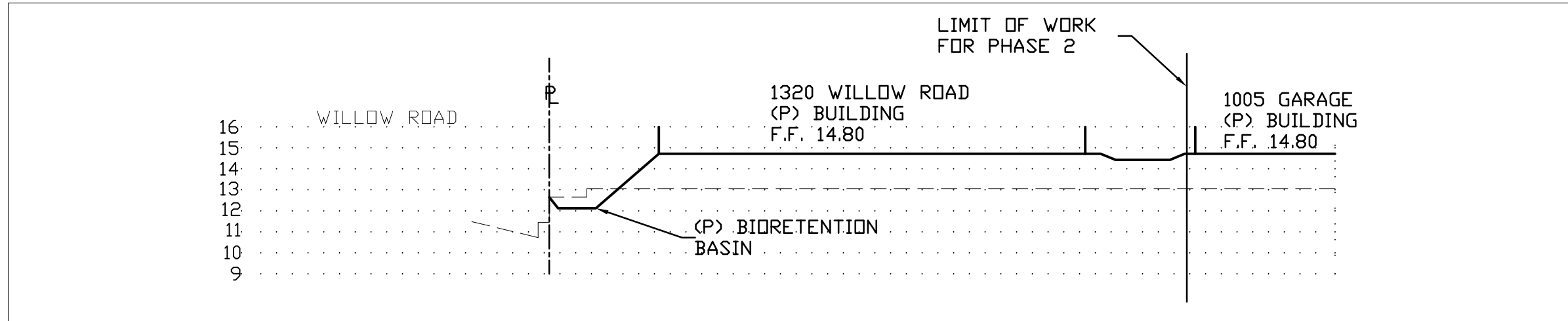
SEE SHEET C2.1 FOR  
PROPOSED GRADING AND  
DRAINAGE PLAN.



SECTION A TO A: NORTH TO SOUTH  
HORIZ. SCALE: 1"=60', VERT. SCALE: 1"=1'

**NOTE:**

SEE SHEET C2.2 FOR  
PROPOSED GRADING AND  
DRAINAGE PLAN.



SECTION A TO A: WEST TO EAST  
HORIZ. SCALE: 1"=60', VERT. SCALE: 1"=1'

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985 & 1001 O'BRIEN DR  
1320 WILLOW RD  
MENLO PARK, CA 94025

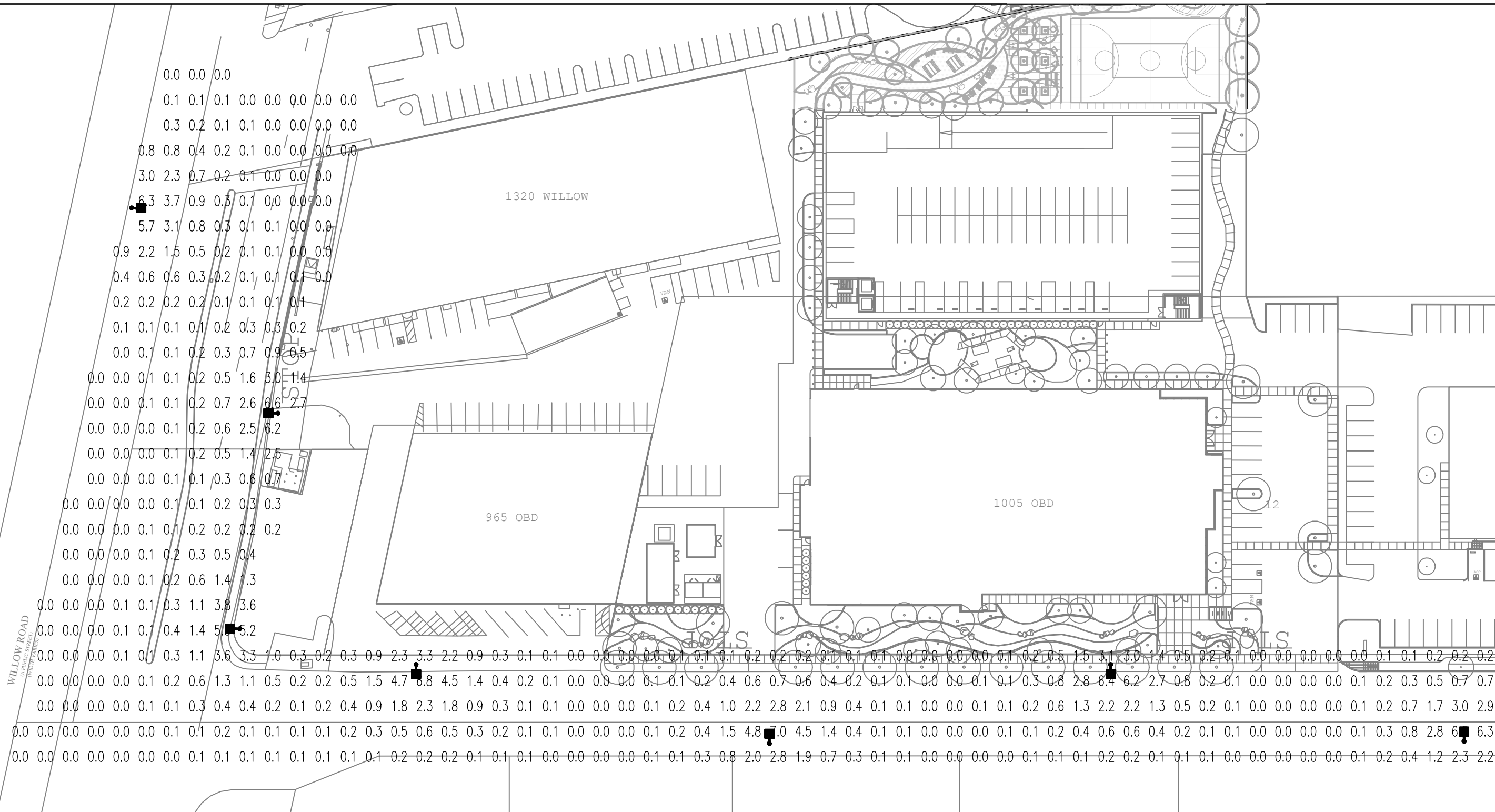
04-15-2021 D.R.T. REVIEW  
05-26-2021 C.U.P. SUBMITTAL  
10-28-2021 C.U.P. RESPONSE 1  
06-22-2022 C.U.P. RESPONSE 2  
10-28-2022 C.U.P. RESPONSE 3  
02-17-2023 C.U.P. RESPONSE 4

PHASE 2 GRADING SECTIONS

C6.2

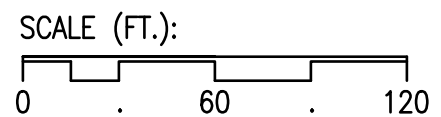


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WILLOW ROAD  
(LAWRENCE STREET)

Calculation Summary					
Label	CalcType	Units	Avg	Max	Min
Street	Illuminance	Fc	0.60	7.0	0.0



G:\Tri Bay Electric\O'Brien Drive\Lighting\O'BRIEN DRIVE LP-1.dwg Oct 25, 2021 - 4:35pm



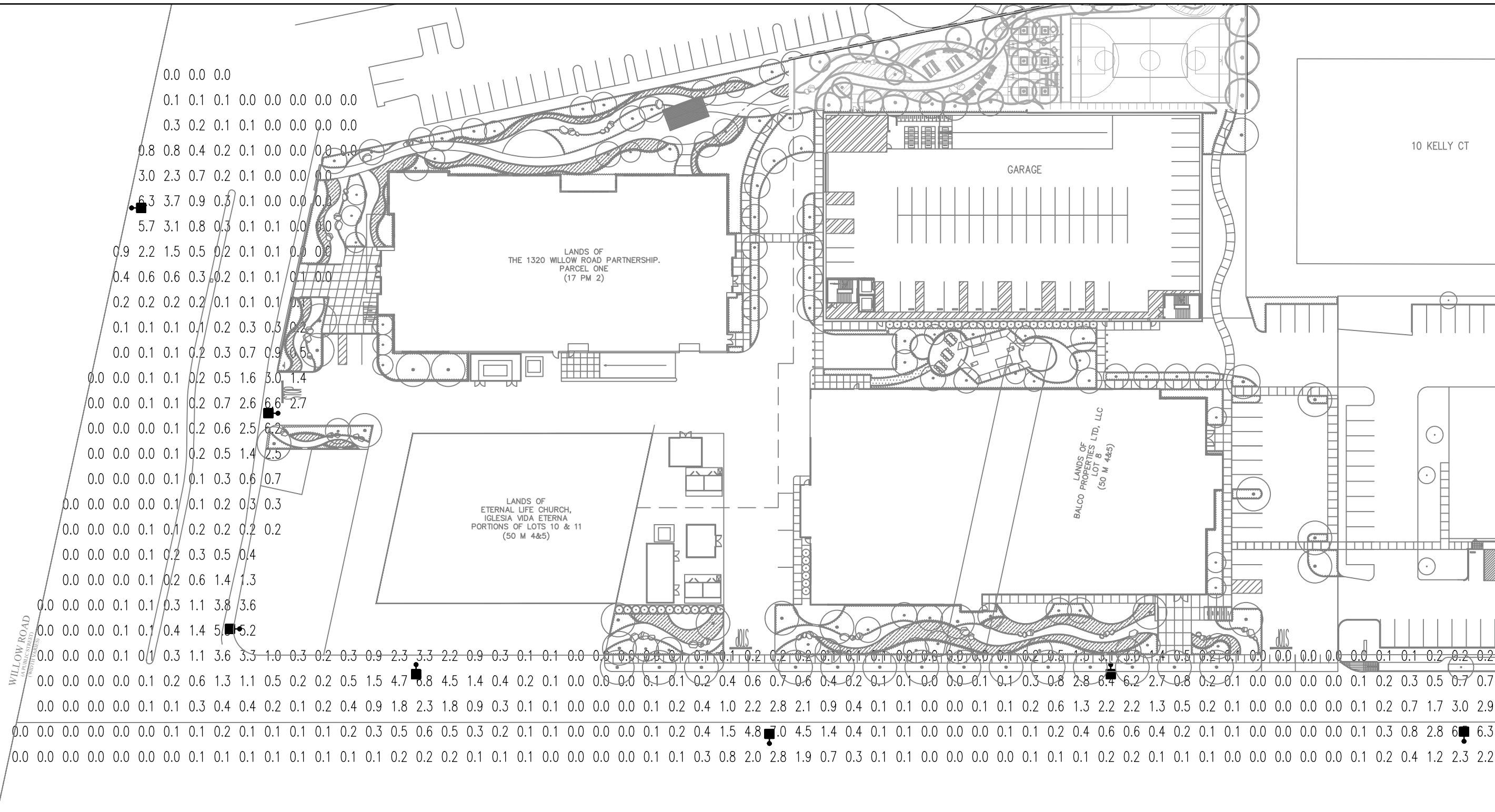
985 & 1001 O'BRIEN DR  
1320 WILLOW RD  
MENLO PARK, CA 94025

POINT X POINT  
PHOTOMETRY PLAN

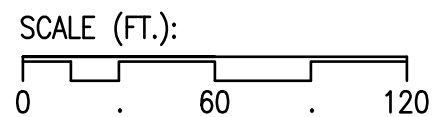
LP-1

**TRI-BAY**  
ELECTRIC INC.  
761 E. BROKAW ROAD, SAN JOSE, CA 95112  
PHONE: (408) 392-0014 FAX: (408) 392-0084





Calculation Summary					
Label	CalcType	Units	Avg	Max	Min
Street	Illuminance	Fc	0.60	7.0	0.0



G:\Tri Bay Electric\O'Brien Drive\Lighting\O'BRIEN DRIVE LP-2.dwg Oct 25, 2021 - 5:01pm



985 & 1001 O'BRIEN DR  
1320 WILLOW RD  
MENLO PARK, CA 94025

POINT X POINT  
PHOTOMETRY PLAN

LP-2

**TRI-BAY**  
ELECTRIC INC.  
761 E. BROKAW ROAD, SAN JOSE, CA 95112  
PHONE: (408) 392-0014 FAX: (408) 392-0084