



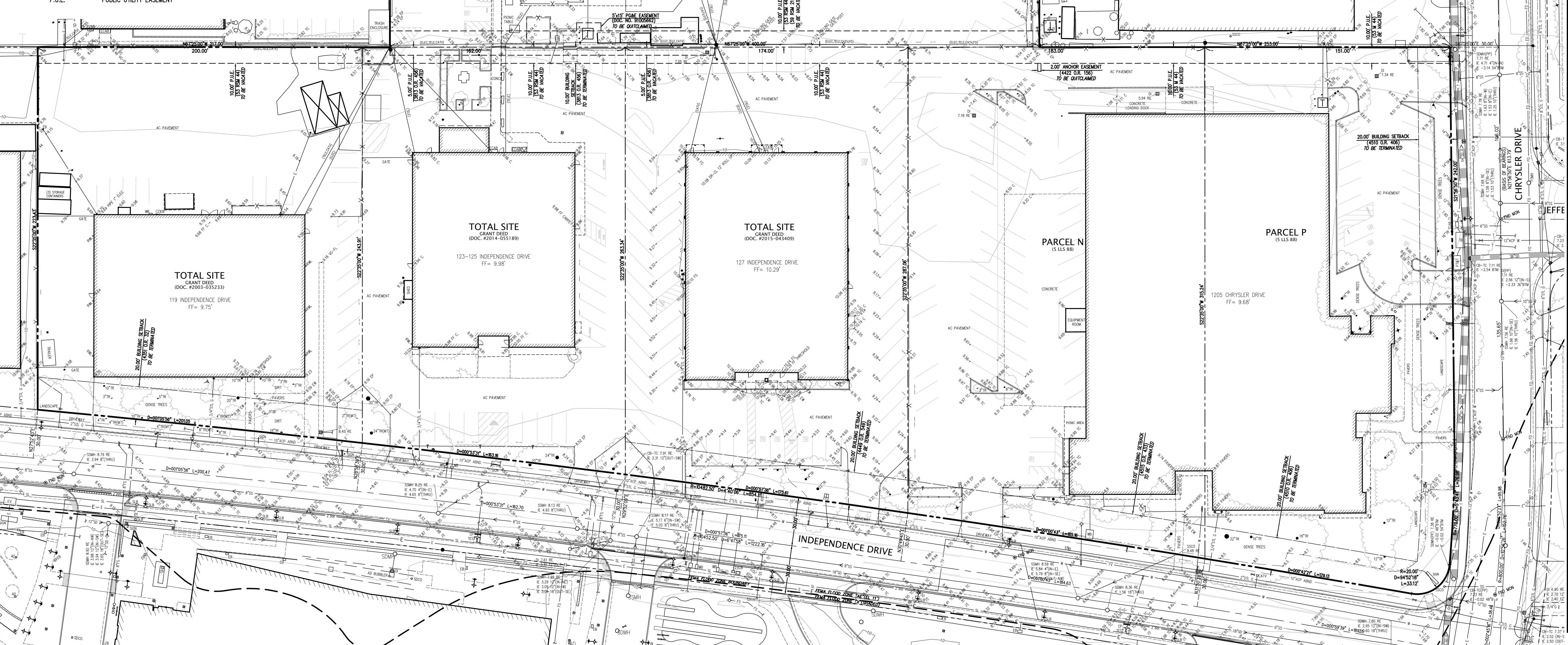
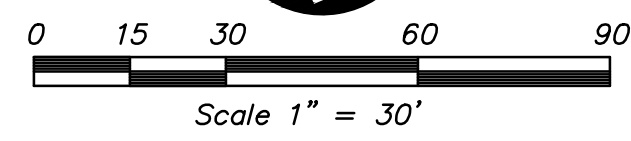
PROJECT DATA CONTINUED

- THIS PLOT WAS PREPARED FROM INFORMATION FURNISHED IN A PRELIMINARY TITLE REPORT, PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, DATED MAY 27, 2020, ORDER NUMBER NCS-720714-M-SC. NO LIABILITY IS ASSUMED FOR MATTERS OF RECORD NOT STATED IN SAID PRELIMINARY TITLE REPORT THAT MAY AFFECT THE TITLE LINES, OR EXCEPTIONS, OR EASEMENTS OF THE PROPERTY.
- ADDITIONAL EASEMENTS MAY BE NECESSARY. ANY ADDITIONAL EASEMENT REQUIREMENTS WILL BE DETERMINED AS THE PROJECT EVOLVES.
- IN ACCORDANCE WITH SUBDIVISION MAP ACT SECTION 66456.1, MULTIPLE FINAL MAPS (OR PARCEL MAPS, SEE MAP ACT SECTION 66426(C)) MAY BE FILED UNDER THE APPROVAL OR CONDITIONAL APPROVAL OF THIS TENTATIVE MAP.
- UTILITIES:

| | |
|-------------------------------------|-------------------------------------|
| CITY OF MENLO PARK | CITY OF MENLO PARK |
| WEST BAY SANITARY DISTRICT | WEST BAY SANITARY DISTRICT |
| MENLO PARK MUNICIPAL WATER | MENLO PARK MUNICIPAL WATER |
| PACIFIC GAS & ELECTRIC | PACIFIC GAS & ELECTRIC |
| AT&T | AT&T |
| COMCAST | COMCAST |
| MENLO PARK FIRE PROTECTION DISTRICT | MENLO PARK FIRE PROTECTION DISTRICT |

LEGEND & ABBREVIATIONS

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- LOT LINE
- EXISTING EASEMENT LINE
- PUBLIC UTILITY EASEMENT



TENTATIVE MAP

A FIVE LOT SUBDIVISION

THREE LOTS FOR CONDOMINIUM PURPOSES (116 CONDOMINIUM UNITS) & ONE LOT WITH A PARK/PASEO

PROJECT DATA

- RECORD OWNER: SI 30, LLC, SI 60, LLC, & SOBRATO INTERESTS 3
- DEVELOPER: THE SOBRATO ORGANIZATION
599 CASTRO STREET, SUITE 400
MOUNTAIN VIEW, CA 94041
PETER TSAI
PHONE: (650) 876-7010
- MAP PREPARED BY: KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS, INC.
3350 SCOTT BOULEVARD, BUILDING # 22
SANTA CLARA, CA 95054
RYAN M. AMAYA, LS 8132
PHONE: (408) 727-6665
- A.P.N.: 055-236-140, 180, 240, 280, & 300
- EXISTING USE: INDUSTRIAL
- PROPOSED USE: RESIDENTIAL
- EXISTING ZONING: R-MU-B, RESIDENTIAL MIXED USE DISTRICT
- PROPOSED ZONING: NO CHANGE
- GENERAL PLAN: MIXED-USE RESIDENTIAL
- EXISTING NUMBER OF LOTS: 6
- PROPOSED NUMBER OF LOTS: 5
- PROPOSED NUMBER OF CONDOMINIUMS: 26 (LOT B)
18 (LOT C)
72 (LOT D)
- TOTAL ACREAGE: 8.15± ACRES
- ALL DISTANCES ARE APPROXIMATE.
- NO NEW PUBLIC STREET NAMES PROPOSED.
- BENCHMARK: CITY OF MENLO PARK BM-CITY 2. BRONZE DISK EPOXIED INTO THE TOP OF A CONCRETE CURB AT THE EASTERLY CURB RETURN OF THE SOUTHERLY CURB LINE OF CONSTITUTION DRIVE, EASTERLY OF JEFFERSON DRIVE. ELEVATION: 7.527' (NAVD 88 DATUM; ADDED 2.73' TO CONVERT FROM NGVD 29)
- BASIS OF BEARINGS: THE BEARING OF NORTH 21°56'50" EAST TAKEN ON THE CENTER LINE OF CHRYSLER DRIVE AS SHOWN ON THAT CERTAIN MAP ENTITLED "BOHANNON INDUSTRIAL PARK UNIT NO. 4" FILED FOR RECORD ON MARCH 2, 1962 IN BOOK 56 OF MAPS AT PAGE 5, SAN MATEO COUNTY RECORDS, WAS TAKEN AS THE BASIS OF ALL BEARINGS SHOWN HEREON.
- FLOOD ZONE NOTE: THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR SAN MATEO COUNTY, CALIFORNIA, MAP NUMBER 06081C0306F FOR COMMUNITY NUMBER 060321 (CITY OF MENLO PARK), WITH A MAP REVISED DATE OF APRIL 5, 2019, AS BEING LOCATED IN FLOOD ZONE "AE" (EL 11'). ACCORDING TO FEMA THE DEFINITION OF ZONE "AE" (EL 11') IS: AREAS OF THE 1% ANNUAL FLOOD (100-YEAR FLOOD), ALSO KNOWN AS THE BASE FLOOD, IS THE FLOOD THAT HAS A 1% CHANCE OF BEING EQUALED OR EXCEEDED IN ANY GIVEN YEAR; BASE FLOOD ELEVATIONS DETERMINED. (ELEVATION 11')

KIER+WRIGHT

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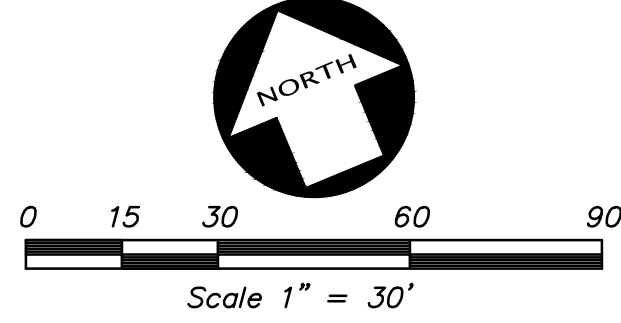
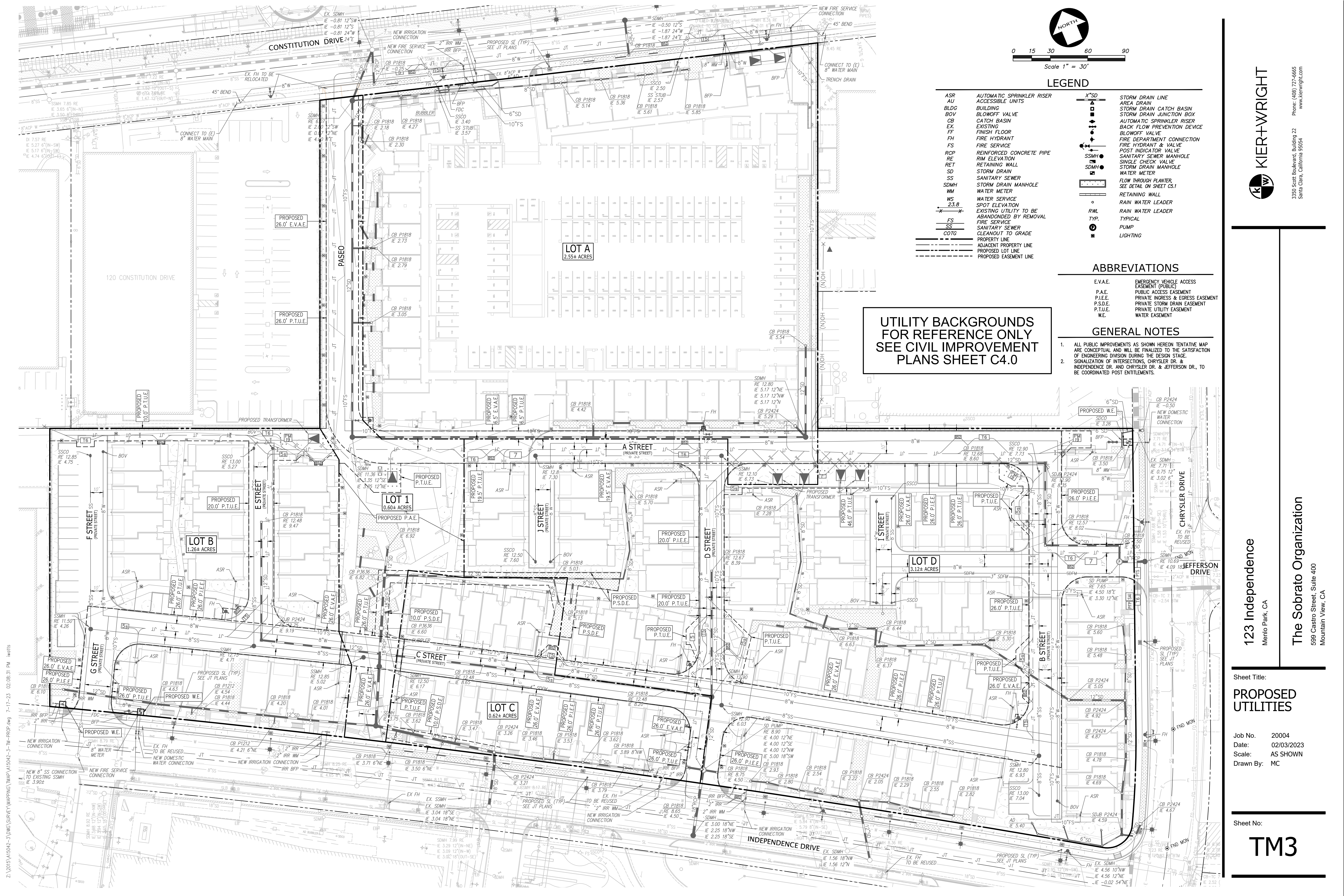
The Sobrato Organization
599 Castro Street, Suite 400
Mountain View, CA

Sheet Title:
EXISTING CONDITIONS

Job No: 20004
Date: 02/03/2023
Scale: AS SHOWN
Drawn By: MC

Sheet No:
TM1

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LEGEND

| | | | |
|------|---|------|--|
| ASR | AUTOMATIC SPRINKLER RISER | X"SD | STORM DRAIN LINE |
| AU | ACCESSIBLE UNITS | ▲ | AREA DRAIN |
| BLDG | BUILDING | ■ | STORM DRAIN CATCH BASIN |
| BOV | BLOWOFF VALVE | □ | STORM DRAIN JUNCTION BOX |
| CB | CATCH BASIN | ○ | AUTOMATIC SPRINKLER RISER |
| CB | EXISTING | ○ | BACK FLOW PREVENTION DEVICE |
| FF | FINISH FLOOR | ○ | BLOWOFF VALVE |
| FH | FIRE HYDRANT | ○ | FIRE DEPARTMENT CONNECTION |
| FS | FIRE SERVICE | ○ | FIRE HYDRANT & VALVE |
| RCP | REINFORCED CONCRETE PIPE | ○ | POST INDICATOR VALVE |
| RE | RIM ELEVATION | ○ | SANITARY SEWER MANHOLE |
| RET | RETAINING WALL | ○ | SINGLE CHECK VALVE |
| SD | STORM DRAIN | ○ | STORM DRAIN MANHOLE |
| SS | SANITARY SEWER | ○ | WATER METER |
| SDMH | STORM DRAIN MANHOLE | ○ | FLOW THROUGH PLANTER, SEE DETAIL ON SHEET C5.1 |
| WM | WATER METER | ○ | RETAINING WALL |
| WS | WATER SERVICE | ○ | RAIN WATER LEADER |
| 23.8 | SPOT ELEVATION | ○ | RAIN WATER LEADER |
| X | EXISTING UTILITY TO BE ABANDONED BY REMOVAL | ○ | TYPICAL |
| FS | FIRE SERVICE | ○ | PUMP |
| SS | SANITARY SEWER | ○ | LIGHTING |
| COTG | CLEANOUT TO GRADE | ○ | |
| --- | PROPERTY LINE | | |
| --- | ADJACENT PROPERTY LINE | | |
| --- | PROPOSED LOT LINE | | |
| --- | PROPOSED EASEMENT LINE | | |

ABBREVIATIONS

| | |
|----------|--|
| E.V.A.E. | EMERGENCY VEHICLE ACCESS EASEMENT (PUBLIC) |
| P.A.E. | PUBLIC ACCESS EASEMENT |
| P.I.E.E. | PRIVATE INGRESS & EGRESS EASEMENT |
| P.S.D.E. | PRIVATE STORM DRAIN EASEMENT |
| P.T.U.E. | PRIVATE UTILITY EASEMENT |
| W.E. | WATER EASEMENT |

GENERAL NOTES

1. ALL PUBLIC IMPROVEMENTS AS SHOWN HEREON TENTATIVE MAP ARE CONCEPTUAL AND WILL BE FINALIZED TO THE SATISFACTION OF ENGINEERING DIVISION DURING THE DESIGN STAGE.
2. SIGNALIZATION OF INTERSECTIONS, CHRYSLER DR. & INDEPENDENCE DR. AND CHRYSLER DR. & JEFFERSON DR., TO BE COORDINATED POST ENTITLEMENTS.

UTILITY BACKGROUNDS FOR REFERENCE ONLY SEE CIVIL IMPROVEMENT PLANS SHEET C4.0

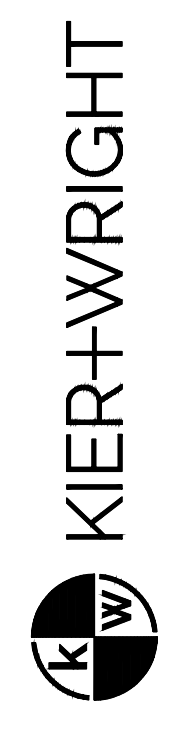
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Sheet Title:
PROPOSED UTILITIES

Job No. 20004
Date: 02/03/2023
Scale: AS SHOWN
Drawn By: MC

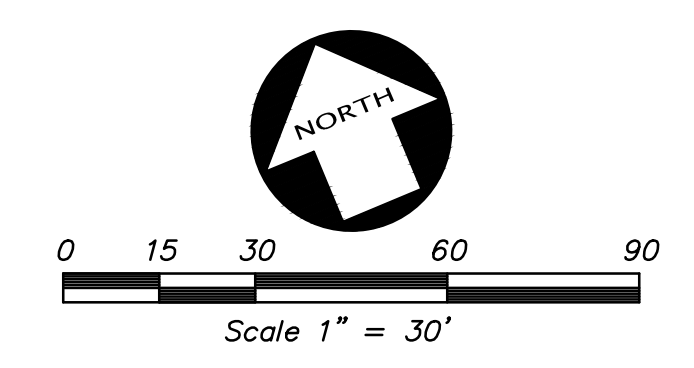
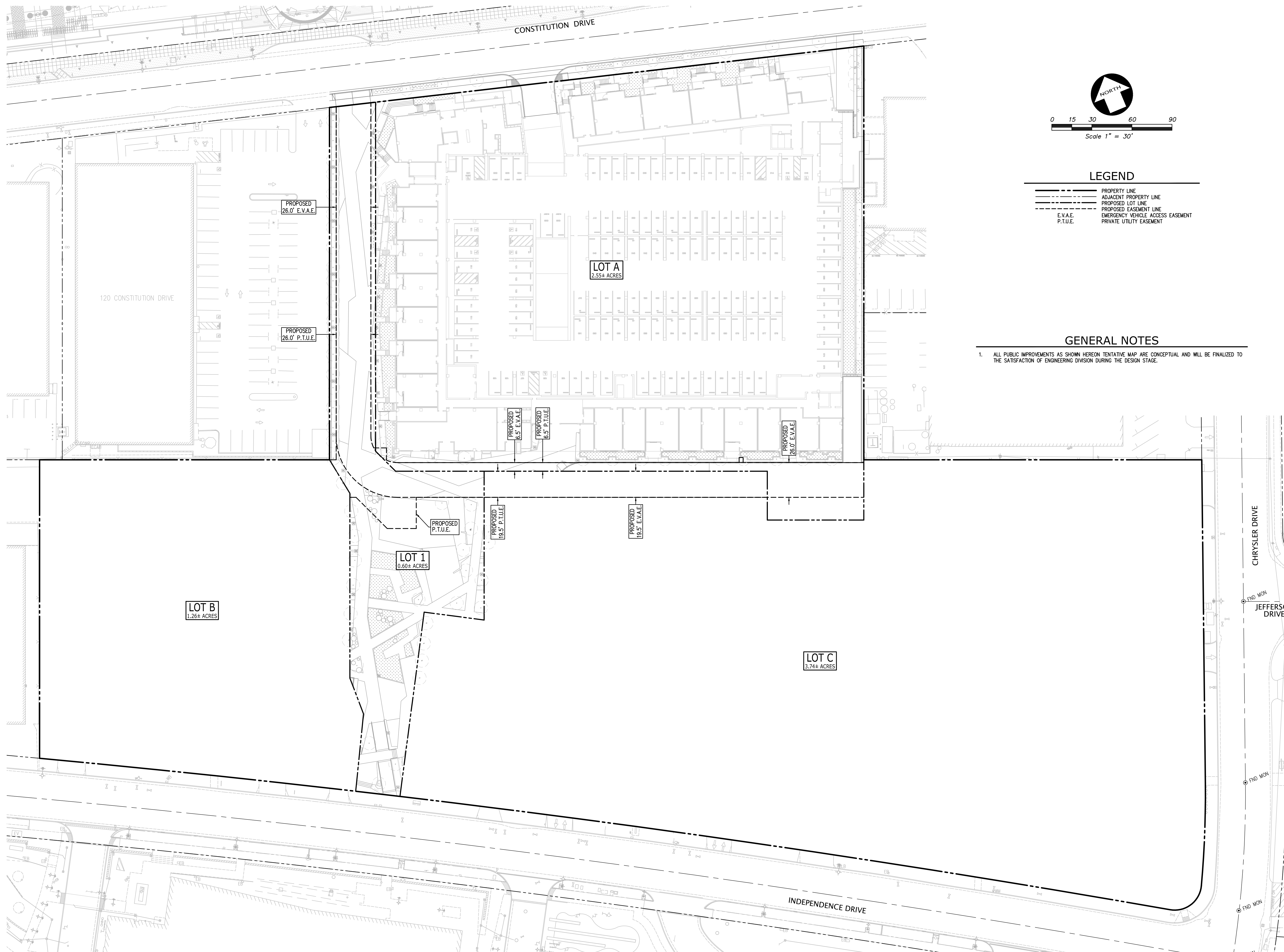
Sheet No:
TM3



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LEGEND

| | |
|--|-----------------------------------|
| | PROPERTY LINE |
| | ADJACENT PROPERTY LINE |
| | PROPOSED LOT LINE |
| | PROPOSED EASEMENT LINE |
| | EMERGENCY VEHICLE ACCESS EASEMENT |
| | E.V.A.E. |
| | P.T.U.E. |
| | PRIVATE UTILITY EASEMENT |

GENERAL NOTES

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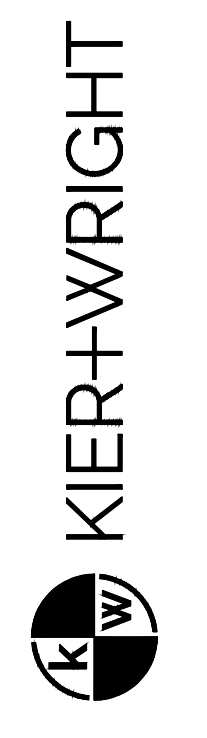
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PHASE 1

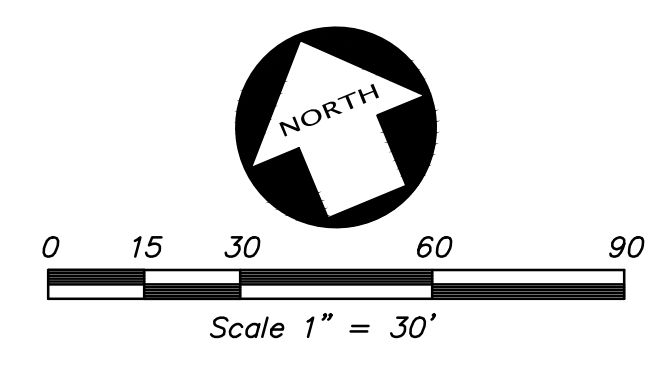
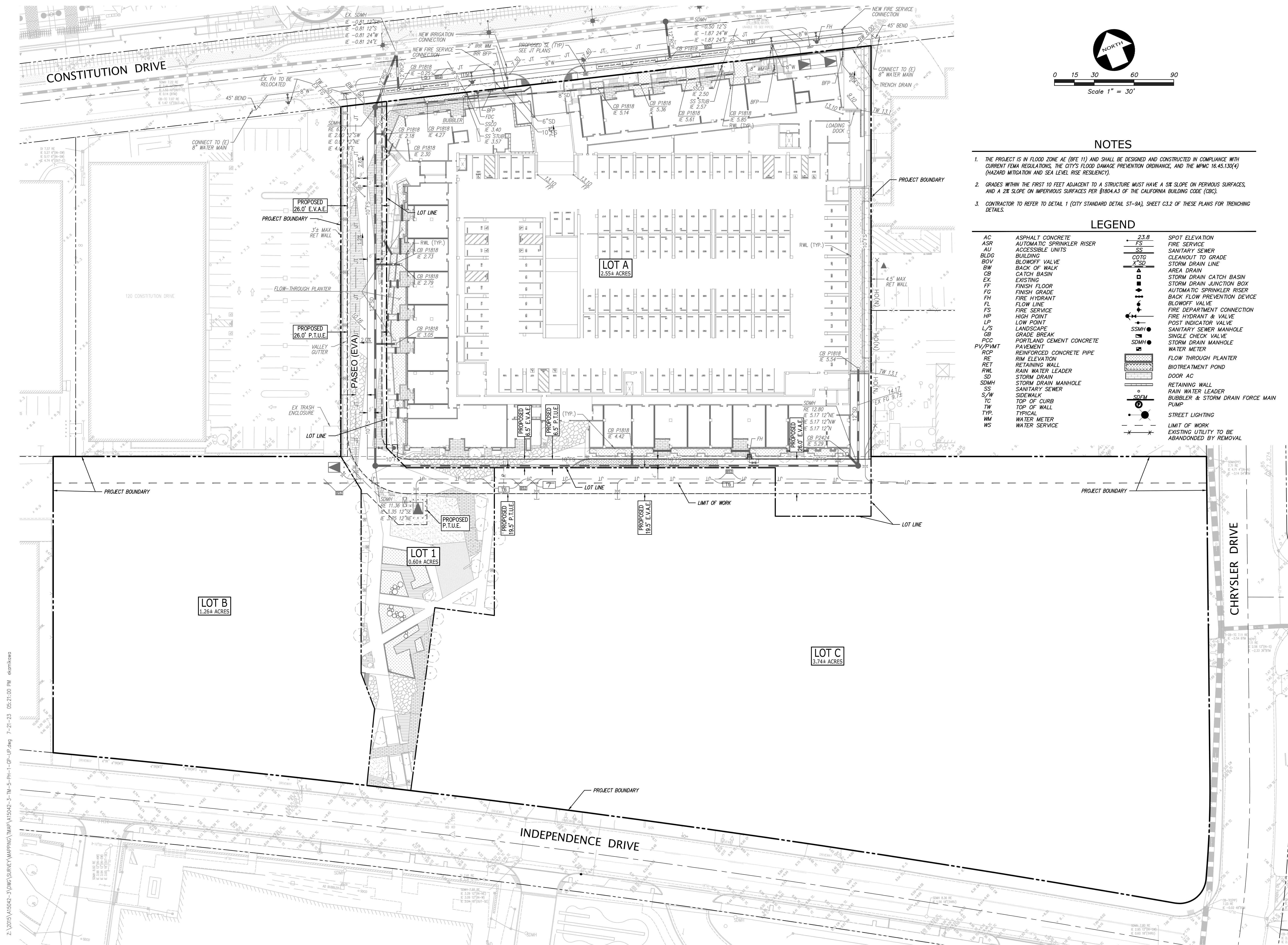
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Date: 02/03/2023
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Drawn By: MC

Sheet No:

TM4



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NOTES

1. THE PROJECT IS IN FLOOD ZONE AE (BFE 11) AND SHALL BE DESIGNED AND CONSTRUCTED IN COMPLIANCE WITH CURRENT FEMA REGULATIONS, THE CITY'S FLOOD DAMAGE PREVENTION ORDINANCE, AND THE MPMC 16.45.130(4) (HAZARD MITIGATION AND SEA LEVEL RISE RESILIENCY).
2. GRADES WITHIN THE FIRST 10 FEET ADJACENT TO A STRUCTURE MUST HAVE A 5% SLOPE ON PERVIOUS SURFACES, AND A 2% SLOPE ON IMPERVIOUS SURFACES PER §1804.A3 OF THE CALIFORNIA BUILDING CODE (CBC).
3. CONTRACTOR TO REFER TO DETAIL 1 (CITY STANDARD DETAIL ST-9A), SHEET C3.2 OF THESE PLANS FOR TRENCHING DETAILS.

LEGEND

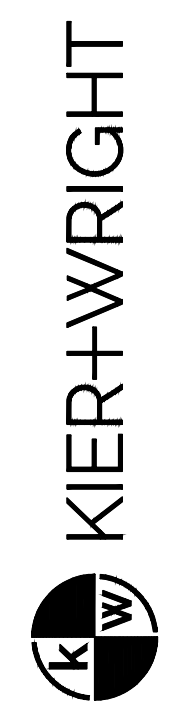
| | | | |
|---------|---------------------------|------|---|
| AC | ASPHALT CONCRETE | 23.8 | SPOT ELEVATION |
| ASR | AUTOMATIC SPRINKLER RISER | FS | FIRE SERVICE |
| AU | ACCESSIBLE UNITS | SS | SANITARY SEWER |
| BLDG | BUILDING | COTG | CLEANOUT TO GRADE |
| BOV | BLOWOFF VALVE | X*SD | STORM DRAIN LINE |
| BW | BACK OF WALK | ▲ | AREA DRAIN |
| CB | CATCH BASIN | □ | STORM DRAIN CATCH BASIN |
| EX | EXISTING | □ | STORM DRAIN JUNCTION BOX |
| FF | FINISH FLOOR | ▲ | AUTOMATIC SPRINKLER RISER |
| FG | FINISH GRADE | ▲ | BACK FLOW PREVENTION DEVICE |
| FH | FIRE HYDRANT | ▲ | BLOWOFF VALVE |
| FL | FLOW LINE | ▲ | FIRE DEPARTMENT CONNECTION |
| FS | FIRE SERVICE | ▲ | FIRE HYDRANT & VALVE |
| HP | HIGH POINT | ▲ | POST INDICATOR VALVE |
| LP | LANDSCAPE | ▲ | SANITARY SEWER MANHOLE |
| L/S | LANDSCAPE | ▲ | SINGLE CHECK VALVE |
| GB | GRADE BREAK | ▲ | STORM DRAIN MANHOLE |
| PCC | PORTLAND CEMENT CONCRETE | ▲ | WATER METER |
| PV/PVMT | PAVEMENT | ▲ | FLOW THROUGH PLANTER |
| RCP | REINFORCED CONCRETE PIPE | ▲ | BIOTREATMENT POND |
| RE | RIM ELEVATION | ▲ | DOOR AC |
| RET | RETAINING WALL | ▲ | RETAINING WALL |
| RWL | RAIN WATER LEADER | ▲ | RAIN WATER LEADER |
| SD | STORM DRAIN | ▲ | BUBBLER & STORM DRAIN FORCE MAIN |
| SDMH | STORM DRAIN MANHOLE | ▲ | PUMP |
| SS | SANITARY SEWER | ▲ | STREET LIGHTING |
| S/W | SIDEWALK | ▲ | LIMIT OF WORK |
| TC | TOP OF CURB | ▲ | EXISTING UTILITY TO BE ABANDONED BY REMOVAL |
| TW | TOP OF WALL | ▲ | |
| TYP. | TYPICAL | ▲ | |
| WM | WATER METER | ▲ | |
| WS | WATER SERVICE | ▲ | |

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Sheet Title:
GRADING & UTILITY PLAN PHASE 1
Job No. 20004
Date: 02/03/2023
Scale: AS SHOWN
Drawn By: MC

Sheet No:
TM5



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