



123 INDEPENDENCE: MIXED-USE RESIDENTIAL

MENLO PARK, CA
 PLANNING RESUBMITTAL
 06/12/2023

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PROJECT NARRATIVE

The Sobrato Organization (TSO) is pleased to propose a revised version of 123 Independence. Originally, the project included 67 townhomes, 316 residential apartments, and 88,750 SF of office space. After feedback from Planning Commissioners and community members, TSO decided to remove the office and add 49 additional townhomes. 123 Independence will now deliver 116 townhomes, 316 residential apartment units, and 2,000 SF commercial space to the R-MU (Residential Mixed-use) Zoning District within the ConnectMenlo General Plan.

123 Independence spans over five existing connected parcels at Highway 101 and Highway 84, bounded by Chrysler, Independence, and Constitution Drives. The project proposes to demolish five existing office/industrial buildings (approximately 103,000 SF) to create five new Lots: 1 & A, B, C, and D. Lot 1 is a publicly accessible paseo running north to south, as well as east to west, across the project. Lot A is a 5-story mixed-use apartment building with stoops along public streets and pedestrian walkways. Per Menlo Park Municipal Code Section 16.45.080, parking spaces for the apartment units will be unbundled. Lots B, C, and D are 3-story townhome communities that will be subdivided via condominium mapping and will be oriented to public streets, the neighborhood park, the paseo, and other common green spaces. The proposed site design accommodates sea-level rise, and all proposed ground-level residential units are raised 2 feet above the 5-foot FEMA floodplain.

123 Independence includes an on-site public connection, Parcel 1, that establishes a pedestrian walkway to the greater neighborhood network. This paseo leads to a centrally located neighborhood park, which provides a central recreation and gathering space. Public frontages on Independence Drive, Constitution Drive, and Chrysler Drive are activated with residential stoops, lobbies, leasing office, and residential amenities.

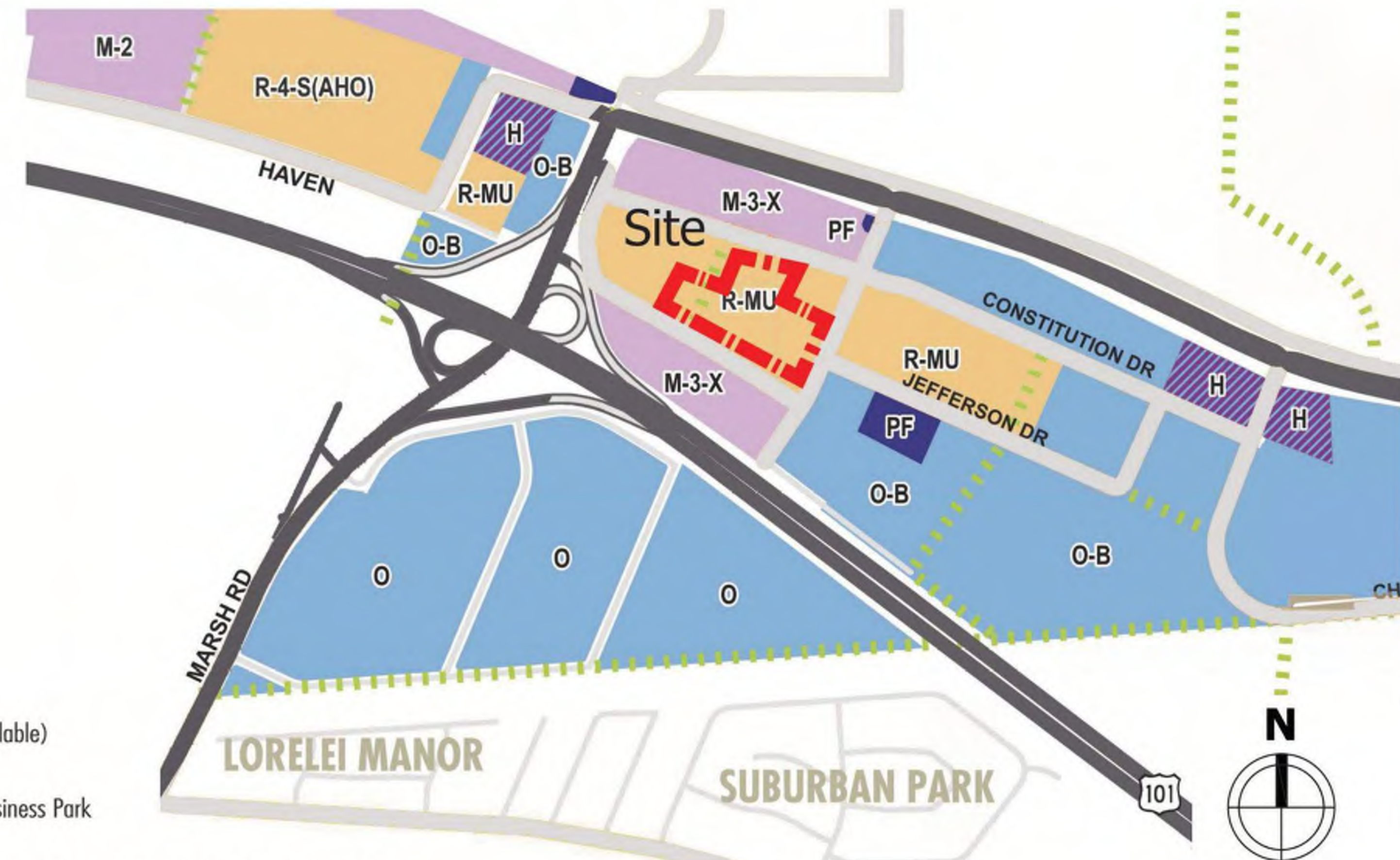
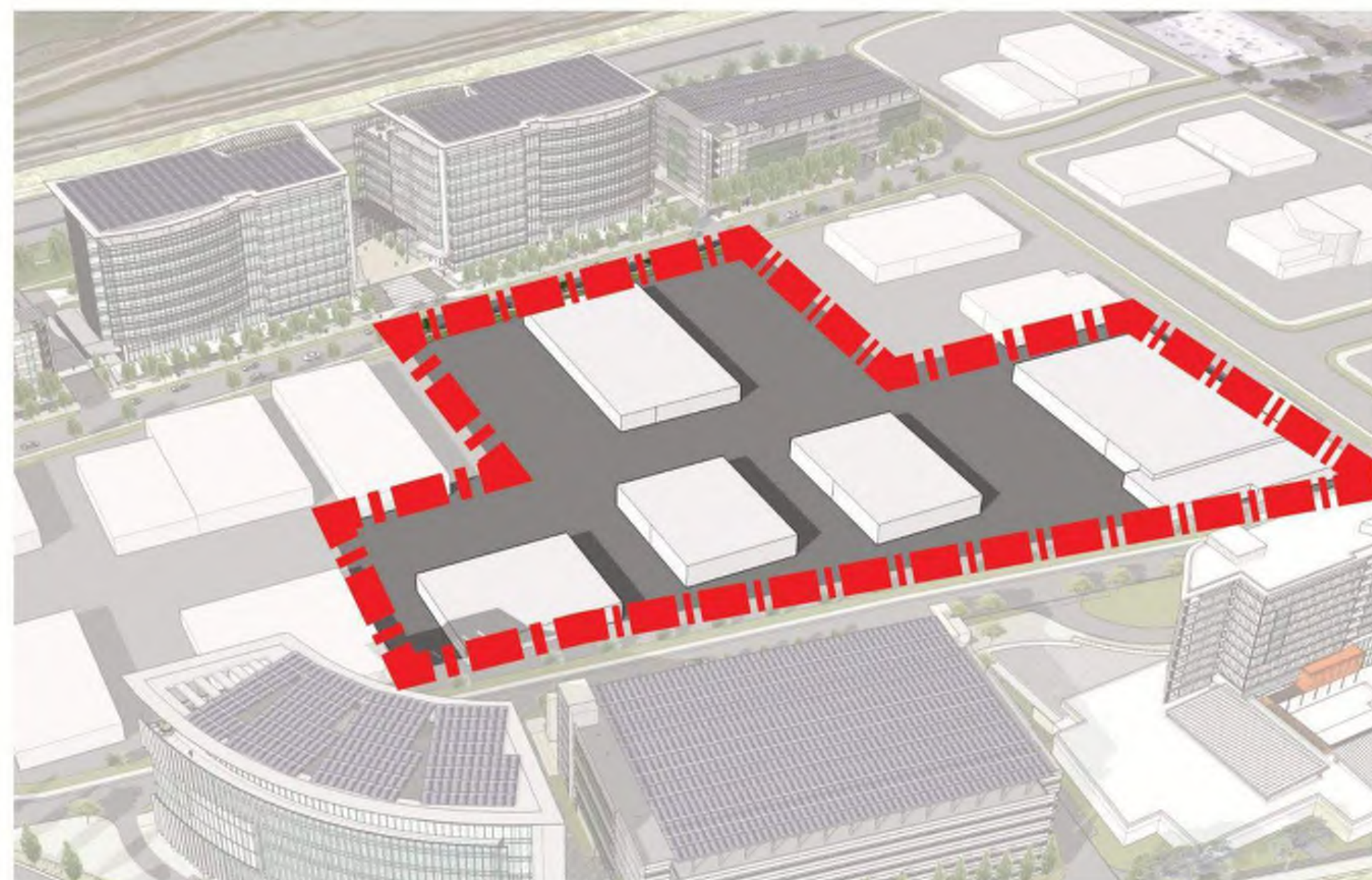
The architectural language of the apartments and townhomes is warm and modern to meet both residential use and fit within the context of the surrounding commercial buildings. The building composition creates a very urban relationship to the street, as envisioned in the General Plan, with over 60% of built-to area for all street frontages. Lot A is Type V-A/I-A construction over podium parking, and Lots B, C, and D are designed as Type V-A construction with private tuck-under 1- and 2-car garages.

In compliance with Municipal Code Ordinance No 1026, Bonus-level development is being proposed. Maximum height of the apartments is no more than 85-ft above existing grade, and the average height of all buildings is well below 62.5-ft. Seventeen percent (17%) of the total units onsite will be affordable housing units for Low income households.

ZONING COMPLIANCE

MINIMUM LOT AREA	MINIMUM LOT DIMENSION	MINIMUM SETBACK AT STREET	MAXIMUM SETBACK AT STREET	MIN INTERIOR SIDE & REAR SETBACKS	MAX RESIDENTIAL FLOOR AREA RATIO	DENSITY	MAXIMUM NON-RESIDENTIAL FAR	HEIGHT	MIN OPEN SPACE REQUIREMENT
25,000 SF	100 FEET	0 FEET	25 FEET	10 FEET	> 90% TO 225%	> 30 DU/ACRE TO 100 DU/ACRE	25% OF LOT AREA	AVERAGE HEIGHT 62.5 FT MAXIMUM HEIGHT 85 FT	25% OF LOT AREA
COMPLIANT	COMPLIANT	COMPLIANT. SEE SHEET A101	COMPLIANT. SEE SHEET A101	COMPLIANT. SEE SHEET A101	COMPLIANT. SEE TABLE R-MU FAR GRADIENT ON SHEET A002	2,000 SF < 25% OF LOT AREA	COMPLIANT. SEE SHEET A206.	COMPLIANT. SEE SHEET A103	COMPLIANT. SEE SHEET A103

SITE CONTEXT



ZONING

- O Office/ O-B (-B= Bonus Available)
- H Optional Hotel
- M-2 Light Industrial/M-3-X Business Park
- PF Public Facilities
- R-4-S(AHO) High Density Residential, Special/ R-MU Residential Mixed Use

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123 Independence
Menlo Park, CA

The Sobrato Organization
599 Castro Street, Suite 400
Mountain View, CA

Sheet Title:
PROJECT NARRATIVE AND SITE CONTEXT

Job No. 20004
Date: 6/12/2023
Scale: 1" = 1'-0"
Drawn By: Author

Sheet No:

A001

BELOW MARKET RATE HOUSING SUMMARY - APARTMENT	
APARTMENT UNITS PROVIDED = 316 UNITS	
BMR UNITS REQUIRED (15%) = 48 UNITS**	
ADDITIONAL BMR UNITS PROVIDED = 8 UNITS***	
UNIT MIX PROVIDED:	
16 STUDIOS (29%)*	
33 ONE-BEDROOMS (58%)*	
7 TWO-BEDROOMS (13%)*	
*UNIT MIX IS PROPORTIONAL TO PROVIDED MARKET RATE UNIT MIX	
** BMR UNITS TO BE DISTRIBUTED EQUALLY ACROSS THE APARTMENT BUILDING ON ALL FLOORS	
*** WITH THE ADDITIONAL BMR UNITS, 56 UNITS WILL BE PROVIDED	

BELOW MARKET RATE HOUSING SUMMARY - TOWNHOMES	
TOWNHOME UNITS PROVIDED = 116 UNITS	
BMR UNITS REQUIRED (15%) = 18 UNITS*	
UNIT MIX PROVIDED:	
3 TWO-BEDROOMS (17%)	
6 THREE-BEDROOMS (33%)	
6 FOUR-BEDROOMS (33%)	
3 FOUR-BEDROOMS MOBILITY COMPLIANT (17%)	
* PROPOSED BMR UNITS ARE IN LOT C, CENTER OF THE SITE WITH STREET FRONTAGE AND PARK ADJACENT.	

LOT A - MIXED-USE							
APARTMENTS FOR PURPOSE OF FAR CALCULATIONS BASED ON MP 16.04.325							
UNIT TYPE	BDRM	BATH	AVG SF / UNIT	UNIT TOTAL GSF	BUILDING GSF	UNIT COUNT	% TOTAL
STUDIO	1	1	539 SF	47,411 SF		88	27.9 %
1 BDRM	1	1	725 SF	134,206 SF		185	58.5 %
2 BDRM	2	2	1,006 SF	43,246 SF		43	13.6 %
TOTAL/AVG	359	359	712 SF	224,863 SF	287,432 SF	316	100.0 %
COMMERCIAL							
COMMERCIAL USE				2,000 SF			
PARKING PROVIDED				BUILDING INFORMATION			
RESIDENT PARKING				330	CONSTRUCTION TYPE	V-A	
GUEST PARKING				6	SITE AREA (ACRES)	2.55	
COMMERCIAL PARKING				0*	FAR	261%	
TOTAL PARKING				336	DU / ACRE	123.8	
PARKING / DU				1.06			
PARKING / BDRM				.94			

*SDBL WAVIER REQUESTED TO ELIMINATE PARKING REQUIREMENT FOR THE COMMERCIAL SPACE.

LOT B - TOWNHOMES (MARKET RATE CONDOMINIUMS)							
UNIT TYPE	BDRM	BATH	AVG SF / UNIT	UNIT TOTAL GSF	BUILDING GSF	UNIT COUNT	% TOTAL
TH 1	3	3.5	1,749 SF	13,990 SF		8	30.8 %
TH 2	2	2.5	1,199 SF	9,591 SF		8	30.8 %
TH 3	3	3.5	2,052 SF	10,262 SF		5	19.2 %
TH 3.1	3	3.5	2,052 SF	10,262 SF		5	19.2 %
TOTAL/AVG	70	83	1,696 SF	44,102 SF	44,249 SF	26	100.0 %
PARKING PROVIDED				BUILDING INFORMATION			
RESIDENT PARKING *1				44	CONSTRUCTION TYPE	V-A	
GUEST PARKING				21	SITE AREA (ACRES)	1.27	
TOTAL PARKING				65	FAR	80%	
PARKING / DU				2.50			
PARKING / BDRM				.93			

LOT C - TOWNHOMES (AFFORDABLE CONDOMINIUMS)							
UNIT TYPE	BDRM	BATH	AVG SF / UNIT	UNIT TOTAL GSF	BUILDING GSF	UNIT COUNT	% TOTAL
TH 4	3	2.5	1,480 SF	8,878 SF		6	33.3 %
TH 4.1	4	2.5	1,514 SF	4,542 SF		3	16.7 %
TH 4.2	4	2.5	1,416 SF	4,247 SF		3	16.7 %
TH 4.3	2	1.5	958 SF	2,873 SF		3	16.7 %
TH 5	4	2	1,581 SF	4,742 SF		3	16.7 %
TOTAL/AVG	60	40.5	1,405 SF	25,281 SF	25,369 SF	18	100.0 %
PARKING PROVIDED				BUILDING INFORMATION			
RESIDENT PARKING				18	CONSTRUCTION TYPE	V-A	
GUEST PARKING				6	SITE AREA (ACRES)	.62	
TOTAL PARKING				24	FAR	93.5%	
PARKING / DU				1.33			
PARKING / BDRM				.40			

LOT D - TOWNHOMES (MARKET RATE CONDOMINIUMS)							
UNIT TYPE	BDRM	BATH	AVG SF / UNIT	UNIT TOTAL GSF	BUILDING GSF	UNIT COUNT	% TOTAL
TH 1	3	3.5	1,749 SF	45,466 SF		26	36.1 %
TH 2	2	2.5	1,199 SF	31,171 SF		26	36.1 %
TH 3	3	3.5	2,052 SF	10,262 SF		5	6.9 %
TH 3.1	3	3.5	2,052 SF	30,785 SF		15	20.9 %
TOTAL/AVG	190	226	1,635 SF	117,685 SF	118,121 SF	72	100.0 %
PARKING PROVIDED				BUILDING INFORMATION			
RESIDENT PARKING *2				118	CONSTRUCTION TYPE	V-A	
GUEST PARKING				9	SITE AREA (ACRES)	3.12	
TOTAL PARKING				127	FAR	87%	
PARKING / DU				1.76			
PARKING / BDRM				.67			

* NOTE: TANDEM PARKING SPACES ARE COUNTED AS ONLY ONE (1) SPACE PER MP ZONING CODE.
¹ LOT B: OUT OF THE 44 RESIDENT PARKING SPACES: 8 OF THOSE SPACES ARE TANDEM. ACTUAL SPACES TOTAL 52.
² LOT D: OUT OF THE 118 RESIDENT PARKING SPACES: 26 OF THOSE SPACES ARE TANDEM. ACTUAL SPACES TOTAL 144.

TOTAL SUMMARY FOR PURPOSE OF FAR CALCULATIONS BASED ON MP 16.04.325							
UNIT TYPE	BDRM	BATH	AVG SF / UNIT	UNIT GSF	BUILDING GSF	UNIT COUNT	% TOTAL
LOT A	359	359	712 SF	224,863 SF	287,432 SF	316	36.1 %
LOT B	70	83	1,696 SF	44,102 SF	44,249 SF	26	36.1 %
LOT C	60	40.5	1,405 SF	25,281 SF	25,369 SF	18	6.9 %
LOT D	190	226	1,635 SF	117,685 SF	118,121 SF	72	20.9 %
TOTAL/AVG	679	708.5	954 SF	411,931 SF	475,171 SF	432	100.0 %
PARKING PROVIDED				PROJECT INFORMATION			
RESIDENT PARKING *3				510	TOTAL SITE AREA (ACRES)	8.15 AC	
GUEST PARKING				42	DENSITY (DU / AC)	53	
TOTAL PARKING				552	TOTAL UNITS	432	
PARKING / DU				1.28			
PARKING / BDRM				.81			
				TOTAL BUILDING GSF	475,171 SF		
				BUILDING GSF / UNIT	1,100 SF		

³ OUT OF THE 510 RESIDENT PARKING SPACES, 34 OF THOSE SPACES ARE TANDEM. ACTUAL SPACES TOTAL 544.

BICYCLE PARKING (APARTMENT)		BICYCLE PARKING (TOWNHOME)		BICYCLE PARKING (COMMERCIAL)	
LONG-TERM PROVIDED	474	LONG-TERM PROVIDED	174	LONG-TERM PROVIDED	1
SHORT-TERM PROVIDED	48	SHORT-TERM PROVIDED	18	SHORT-TERM PROVIDED	1
TOTAL PROVIDED	522	TOTAL PROVIDED	192	TOTAL PROVIDED	2
PARKING / DU	1.65	PARKING / DU	1.66		

R-MU ZONING FAR GRADIENT LINKED TO DENSITY					
DENSITY (DU / AC)	30	40	50	53	
TOTAL UNITS ALLOWED (DU * SITE AREA (ACRES))	245	326	408	432	
FAR ALLOWED AT GIVEN DENSITY	90%	109%	129%	134%	
TOTAL BUILDING GSF ALLOWED (AC * FAR)	319,513 SF	387,980 SF	456,447 SF	476,987 SF	
BUILDING GSF / UNIT	1,307 SF	1,190 SF	1,120 SF	1,104 SF	

APARTMENT AREA SUMMARY (FOR FLOOR AREA CALCULATION PER MENLO PARK'S ZONING ORDINANCE 16.04.325)									
INCLUDED IN FAR	BUILDING TYPE	LEVEL B1	LEVEL 1	LEVEL 2	LEVEL 3	LEVEL 4	LEVEL 5	ROOF	TOTAL
		RESIDENTIAL UNITS		14,608 SF	49,004 SF	53,500 SF	55,517 SF	52,234 SF	
	COMMON AREA	378 SF	2,931 SF						3,309 SF
	AMENITIES		1,508 SF	4,197 SF	648 SF		588 SF		6,941 SF
	CIRCULATION		5,909 SF	8,828 SF	8,969 SF	8,998 SF	9,121 SF	459 SF	42,283 SF
	SUPPORT	4,043 SF	3,264 SF	1,093 SF	545 SF	545 SF	546 SF		10,036 SF
	TOTAL	4,421 SF	28,221 SF	63,121 SF	63,663 SF	65,059 SF	62,489 SF	459 SF	287,432 SF
NOT INCLUDED IN FAR	PARKING (VEHICULAR)	75,362 SF	53,401 SF						128,763 SF
	PARKING (BICYCLES)	4,276 SF	681 SF						4,958 SF
	TRASH/FAN/SHAFTS	4,483 SF	2,425 SF	1,522 SF	1,650 SF	1,649 SF	1,637 SF		13,367 SF

TOWNHOMES AREA SUMMARY (FOR FLOOR AREA CALCULATION PER MENLO PARK'S ZONING ORDINANCE 16.04.325)												
TOWNHOME TYPE	COUNT	LEVEL 1	LEVEL 2	LEVEL 3	UTILITY	PER BLDG	TOTAL (FAR)	DECK PER TYPE	DECK TOTAL	GARAGE (NON FAR)	GARAGE TOTAL	
3-PLEX	1	755 SF	2,118 SF	2,125 SF	29 SF	5,027 SF	5,027 SF	267 SF	267 SF	1,408 SF	1,408 SF	
4-PLEX	5	1,140 SF	2,947 SF	2,955 SF	29 SF	7,072 SF	35,358 SF	371 SF	1,854 SF	1,850 SF	9,252 SF	
5-PLEX	9	1,131 SF	3,403 SF	3,419 SF	29 SF	7,982 SF	71,842 SF	431 SF	3,876 SF	2,359 SF	21,227 SF	
6-PLEX	5	1,520 SF	4,231 SF	4,248 SF	29 SF	10,029 SF	50,143 SF	534 SF	2,670 SF	2,799 SF	13,993 SF	
6-PLEX AFF	1	2,338 SF	3,904 SF	2,188 SF	29 SF	8,460 SF	8,460 SF	159 SF	159 SF	1,667 SF	1,667 SF	
12-PLEX AFF	1	4,664 SF	7,809 SF	4,376 SF	59 SF	16,909 SF	16,909 SF	317 SF	317 SF	3,346 SF	3,346 SF	
TOTAL	22	31,240 SF	80,347 SF	75,482 SF	671 SF		187,739 SF		9,143 SF		50,893 SF	

GENERAL NOTE FOR ALL CHARTS: NUMBERS PRESENTED ARE USED SOLELY FOR THE PURPOSE OF F.A.R. CALCULATIONS BASED ON MENLO PARK'S ZONING ORDINANCE 16.04.325



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 599 Castro Street, Suite 400
 Mountain View, CA

Sheet Title:
PROJECT DATA SUMMARY

Job No. 20004
 Date: 6/12/2023
 Scale: 1" = 1'-0"
 Drawn By: Author

Sheet No:
 A002



STUDIO
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599 Castro Street, Suite 400
Mountain View, CA

Sheet Title:
SITE PHOTOS

Job No. 20004
Date: 6/12/2023
Scale:
Drawn By: Author

Sheet No:

A011

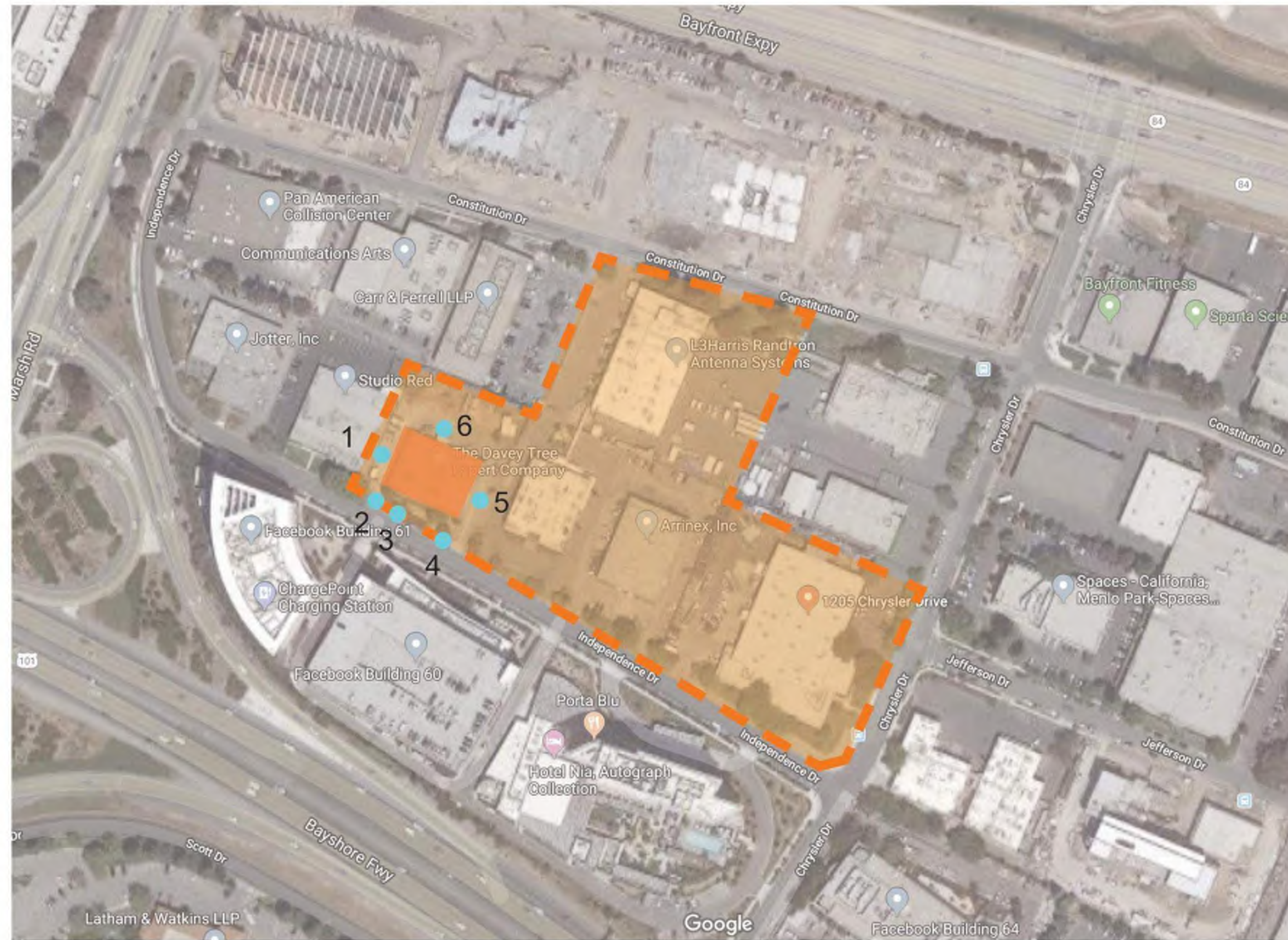


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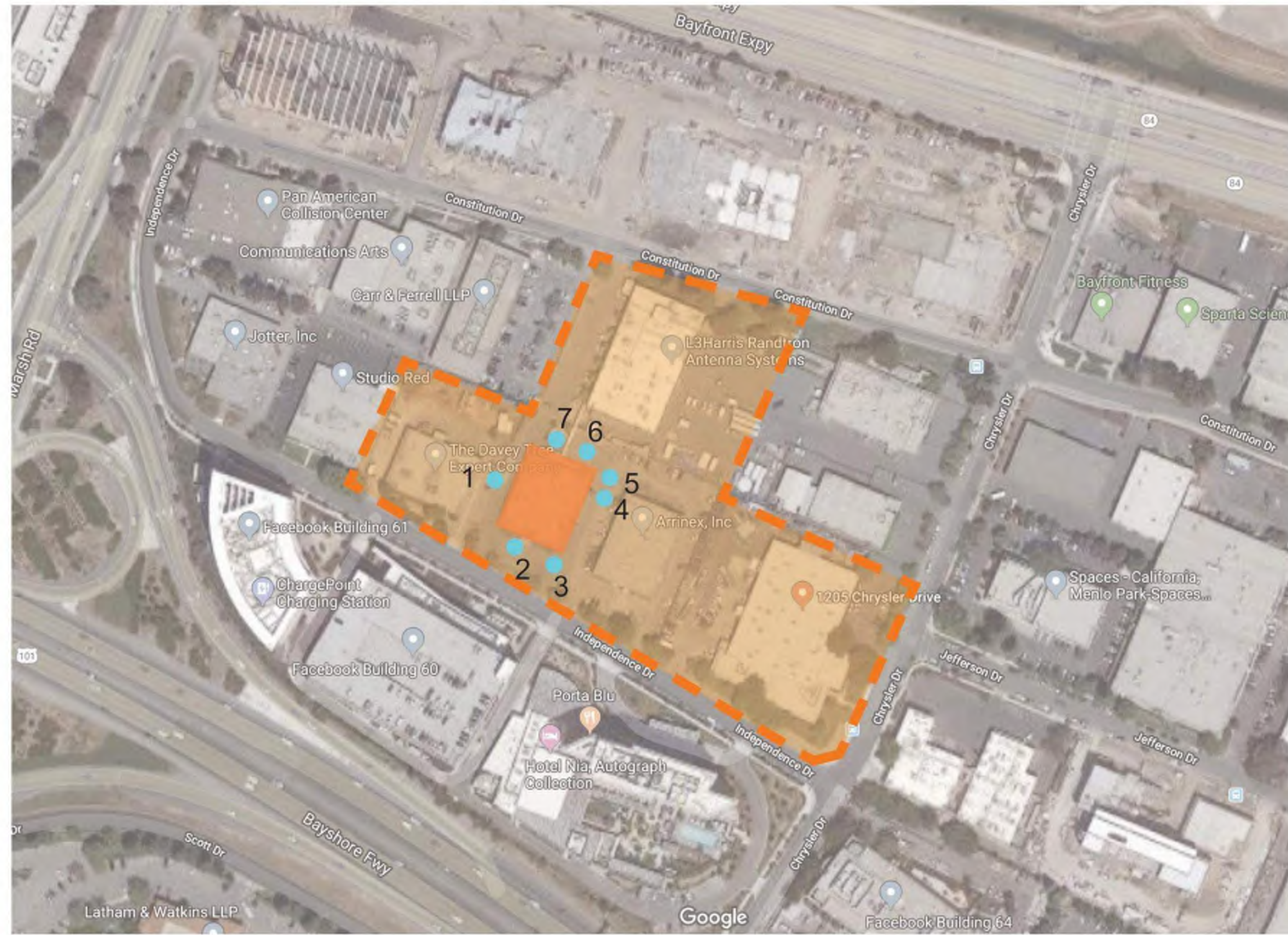
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Sheet Title:
EXISTING BUILDING
PHOTOS 119
INDEPENDENCE

Job No. 20004
Date: 6/12/2023
Scale:
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A021



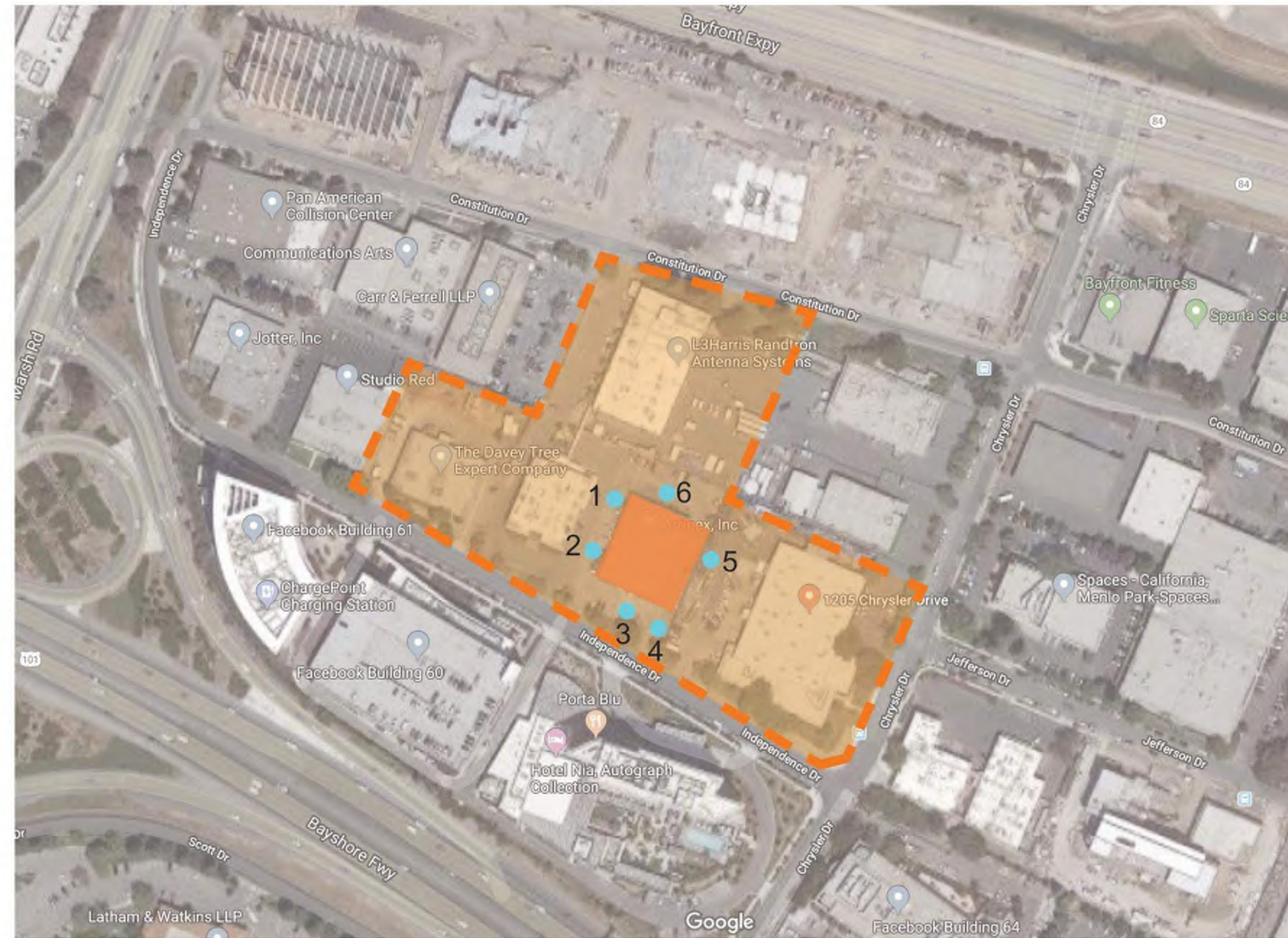


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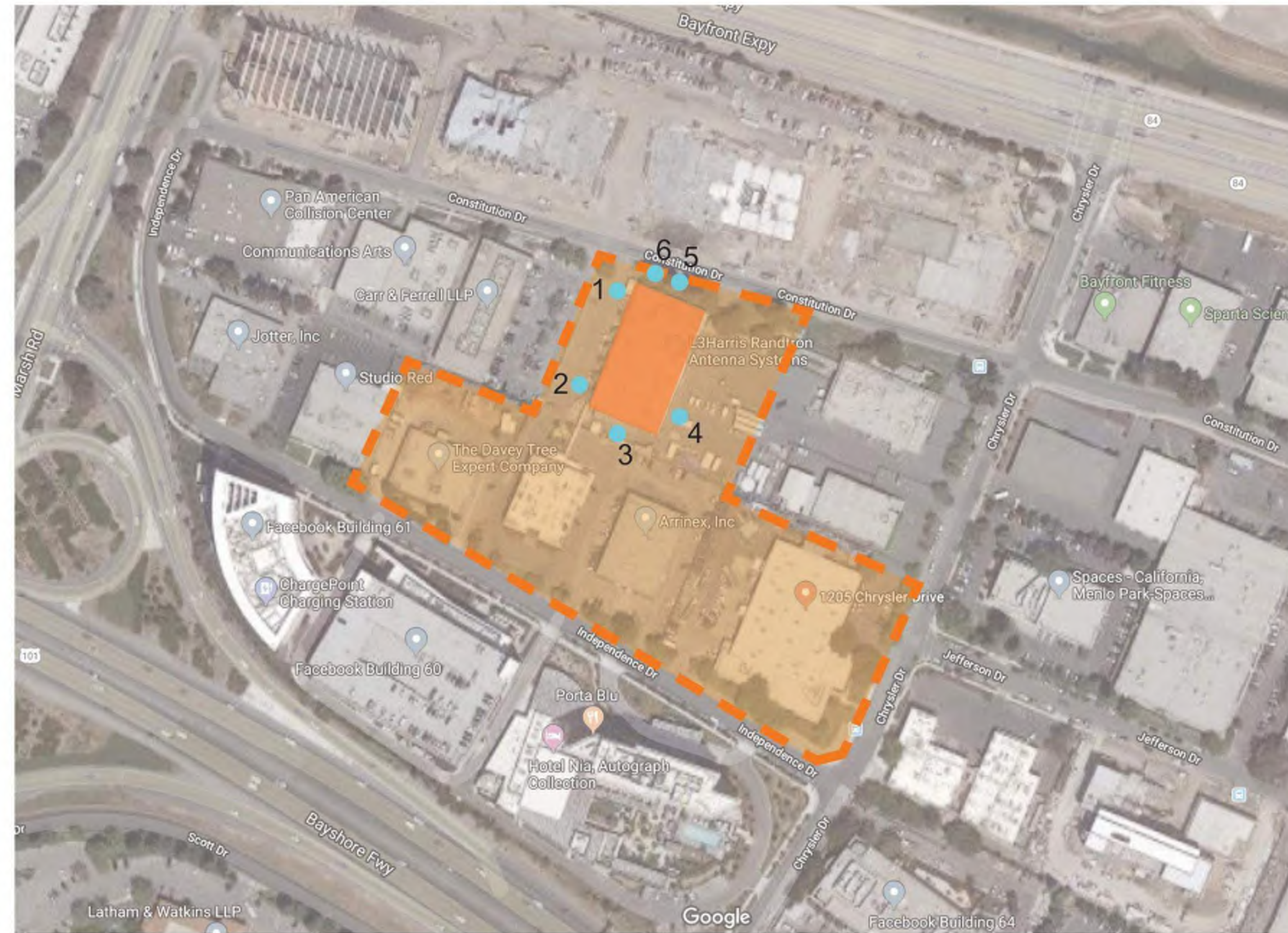
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Sheet Title:
EXISTING BUILDING
PHOTOS 127
INDEPENDENCE

Job No. 20004
Date: 6/12/2023
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Sheet Title:
EXISTING BUILDING
PHOTOS 1205
CHRYSLER

Job No. 20004
Date: 6/12/2023
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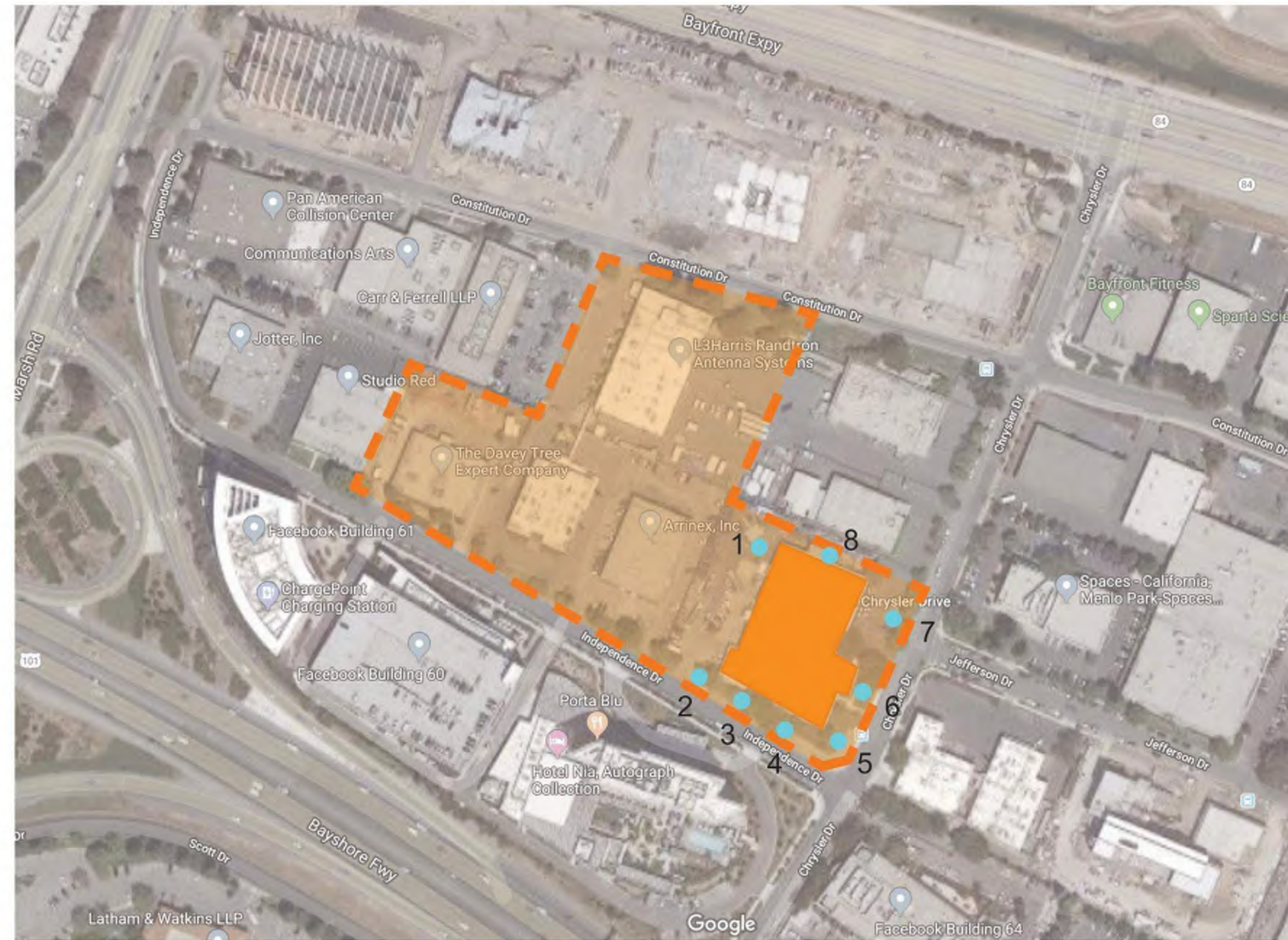
A025



8



1



7



2



6



3



4



5



CONSTITUTION DRIVE COMPOSITE ELEVATION



CHRYSLER DRIVE COMPOSITE ELEVATION



INDEPENDENCE DRIVE COMPOSITE ELEVATION
(EAST OF PASEO)



INDEPENDENCE DRIVE COMPOSITE ELEVATION
(WEST OF PASEO)



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Sheet Title:
STREETSCAPE

Job No. 20004
Date: 6/12/2023
Scale:
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Sheet No:

A031



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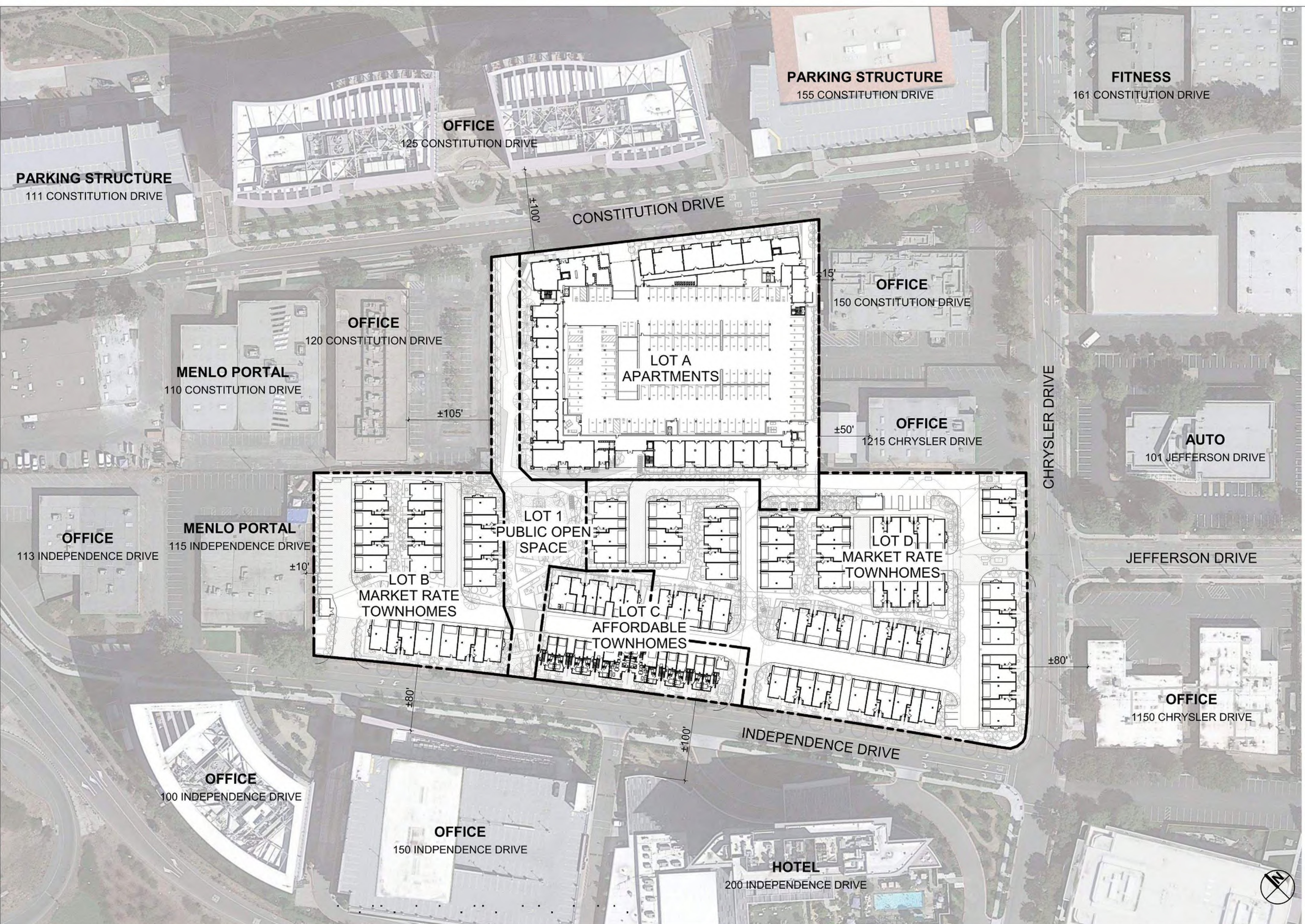
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Sheet Title:
SITE CONTEXT MAP

Job No. 20004
Date: 6/12/2023
Scale: 1" = 50'-0"
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Sheet No:
A100





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Sheet Title:
PROPOSED
ILLUSTRATIVE SITE
PLAN

Job No. 20004
Date: 6/12/2023
Scale: 1" = 30'-0"
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Sheet No:

A101

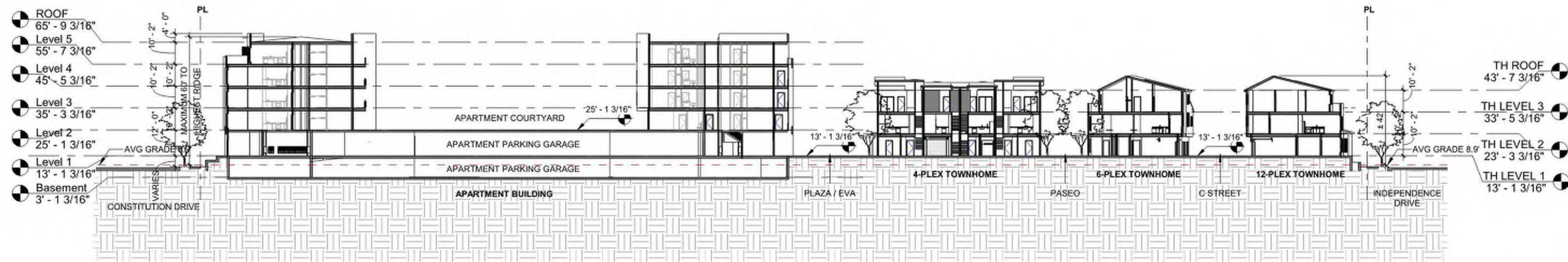
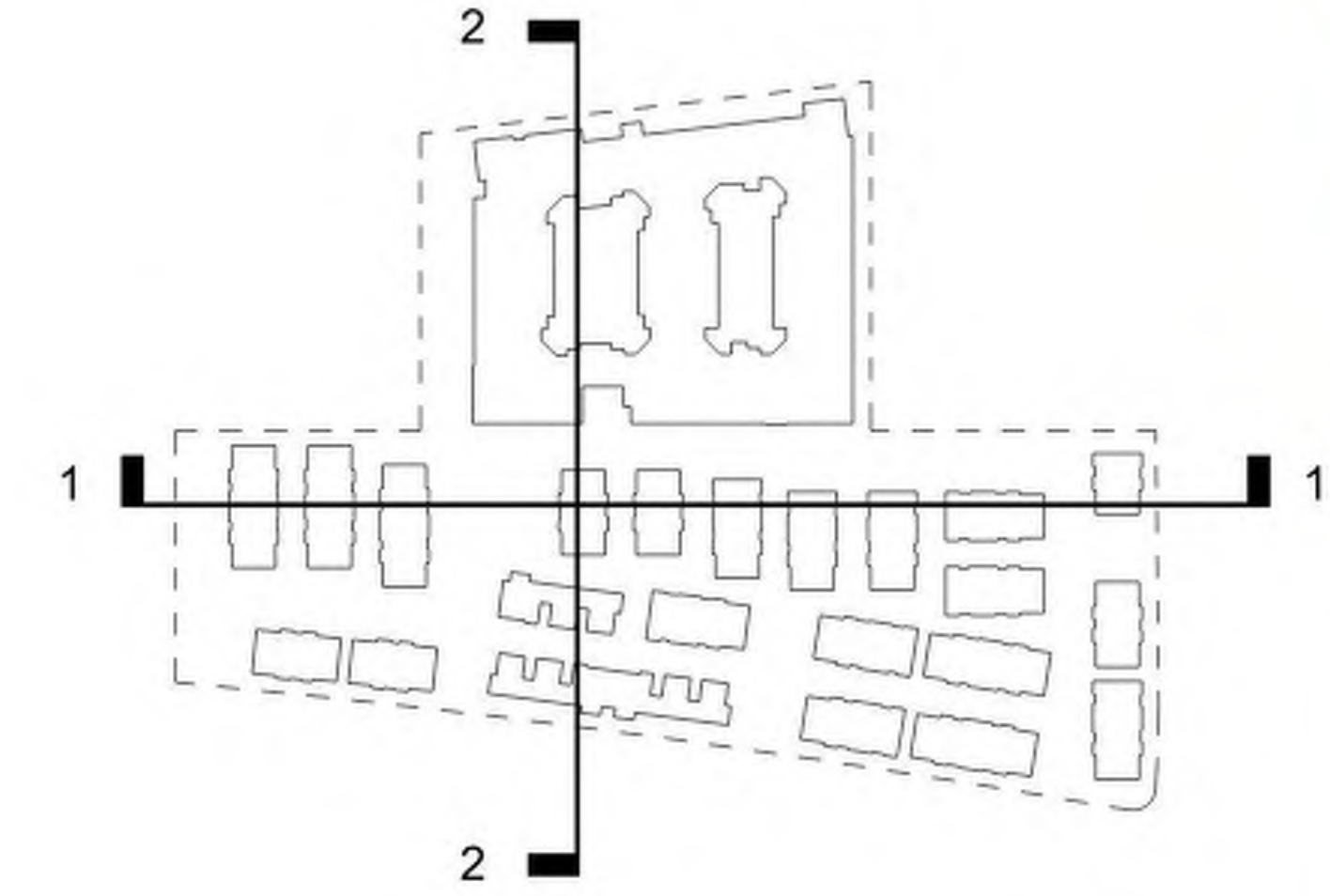


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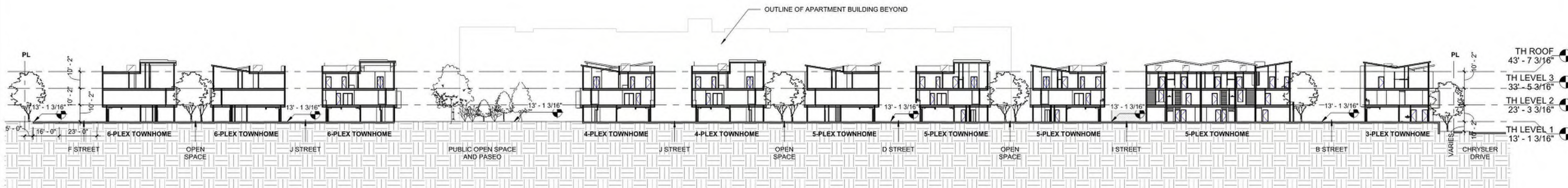
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OVERALL SITE SECTION NORTH TO SOUTH 1" = 30'-0" 2



OVERALL SITE SECTION WEST TO EAST 1" = 30'-0" 1

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Sheet Title:
SITE SECTIONS

Job No. 20004
Date: 6/12/2023
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Sheet No:

A102



OPEN SPACE - LEVEL 5 1" = 80'-0" 4



OPEN SPACE - LEVEL 2 1" = 80'-0" 2



OPEN SPACE - LEVEL 4 (LEVEL 3 SIM) 1" = 80'-0" 3



OPEN SPACE - LEVEL 1 1" = 80'-0" 1

PUBLIC OPEN SPACE	
LOT 1 - PASEO & PARK	LOT SIZE: 26,154 SF
PARK	11,945 SF
PASEO	14,209 SF
PROVIDED PUBLIC OPEN SPACE	26,154 SF
REQUIRED PUBLIC OPEN SPACE	10,300 SF

PUBLICLY ACCESSIBLE OPEN SPACE	
LOT A - APARTMENT	LOT SIZE: 111,186 SF
LANDSCAPE ZONES	9,586 SF
STREET FRONTAGE	3,965 SF
PROVIDED PUBLICLY ACCESSIBLE OPEN SPACE	13,551 SF
REQUIRED PUBLICLY ACCESSIBLE OPEN SPACE*	6,949 SF
LOT B - TOWHOMES	LOT SIZE: 54,974 SF
LANDSCAPE ZONES	8,423 SF
STREET FRONTAGE	3,932 SF
PROVIDED PUBLICLY ACCESSIBLE OPEN SPACE	12,355 SF
REQUIRED PUBLICLY ACCESSIBLE OPEN SPACE*	3,436 SF
LOT C - TOWHOMES	LOT SIZE: 27,109 SF
LANDSCAPE ZONES	636 SF
STREET FRONTAGE	2,433 SF
PROVIDED PUBLICLY ACCESSIBLE OPEN SPACE	3,070 SF
REQUIRED PUBLICLY ACCESSIBLE OPEN SPACE*	1,694 SF
LOT D - TOWHOMES	LOT SIZE: 135,752 SF
LANDSCAPE ZONES	6,935 SF
STREET FRONTAGE	13,247 SF
PROVIDED PUBLICLY ACCESSIBLE OPEN SPACE	20,182 SF
REQUIRED PUBLICLY ACCESSIBLE OPEN SPACE*	8,485 SF

COMMON & PRIVATE OPEN SPACE	
LOT A - APARTMENT	LOT SIZE: 111,186 SF
COMMON: LANDSCAPE PODIUM COURTYARD	23,360 SF
PRIVATE BALCONIES, DECKS, PATIOS (6' X 6' MIN.)	8,486 SF
PROVIDED COMMON & PRIVATE OPEN SPACE	31,847 SF
REQUIRED COMMON & PRIVATE OPEN SPACE (100 SF * 316)	31,600 SF
LOT B - TOWHOMES	LOT SIZE: 54,974 SF
COMMON: GREEN SPACES BETWEEN TOWNHOMES	2,148 SF
PRIVATE BALCONIES, DECKS, PATIOS (6' X 6' MIN.)	2,955 SF
PROVIDED COMMON & PRIVATE OPEN SPACE	5,102 SF
REQUIRED COMMON & PRIVATE OPEN SPACE (100 SF * 26)	2,600 SF
LOT C - TOWHOMES	LOT SIZE: 27,109 SF
COMMON: GREEN SPACES BETWEEN TOWNHOMES	1,277 SF
PRIVATE BALCONIES, DECKS, PATIOS (6' X 6' MIN.)	691 SF
PROVIDED COMMON & PRIVATE OPEN SPACE	1,969 SF
REQUIRED COMMON & PRIVATE OPEN SPACE (100 SF * 18)	1,800 SF
LOT D - TOWHOMES	LOT SIZE: 135,752 SF
COMMON: GREEN SPACES BETWEEN TOWNHOMES	12,093 SF
PRIVATE BALCONIES, DECKS, PATIOS (6' X 6' MIN.)	9,064 SF
PROVIDED COMMON & PRIVATE OPEN SPACE	21,157 SF
REQUIRED COMMON & PRIVATE OPEN SPACE (100 SF * 72)	7,200 SF

OVERALL SITE SUMMARY	
PROVIDED TOTAL PUBLICLY ACCESSIBLE OPEN SPACE	49,158 SF
REQUIRED TOTAL PUBLICLY ACCESSIBLE OPEN SPACE*	22,198 SF
PROVIDED TOTAL OPEN SPACE	135,387 SF
REQUIRED TOTAL OPEN SPACE**	88,794 SF

* 25% OF MINIMUM OPEN SPACE
** 25% OF TOTAL LOT AREA



OPEN SPACE - ENLARGED LOT C LEVEL 2 1" = 20'-0" 2



OPEN SPACE - ENLARGED LOT C LEVEL 1 1" = 20'-0" 1

COMMON & PRIVATE OPEN SPACE	
LOT C - TOWNHOMES	LOT SIZE: 27,109 SF
COMMON: GREEN SPACES BETWEEN TOWNHOMES	1,277 SF
PRIVATE BALCONIES, DECKS, PATIOS (6' X 6' MIN.)	691 SF
PROVIDED COMMON & PRIVATE OPEN SPACE	1,969 SF
REQUIRED COMMON & PRIVATE OPEN SPACE (100 SF * 18)	1,800 SF

Sheet Title:
ENLARGED LOT C
OPEN SPACE
DIAGRAM

Job No. 20004
Date: 6/12/2023
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Drawn By: Author

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A103B



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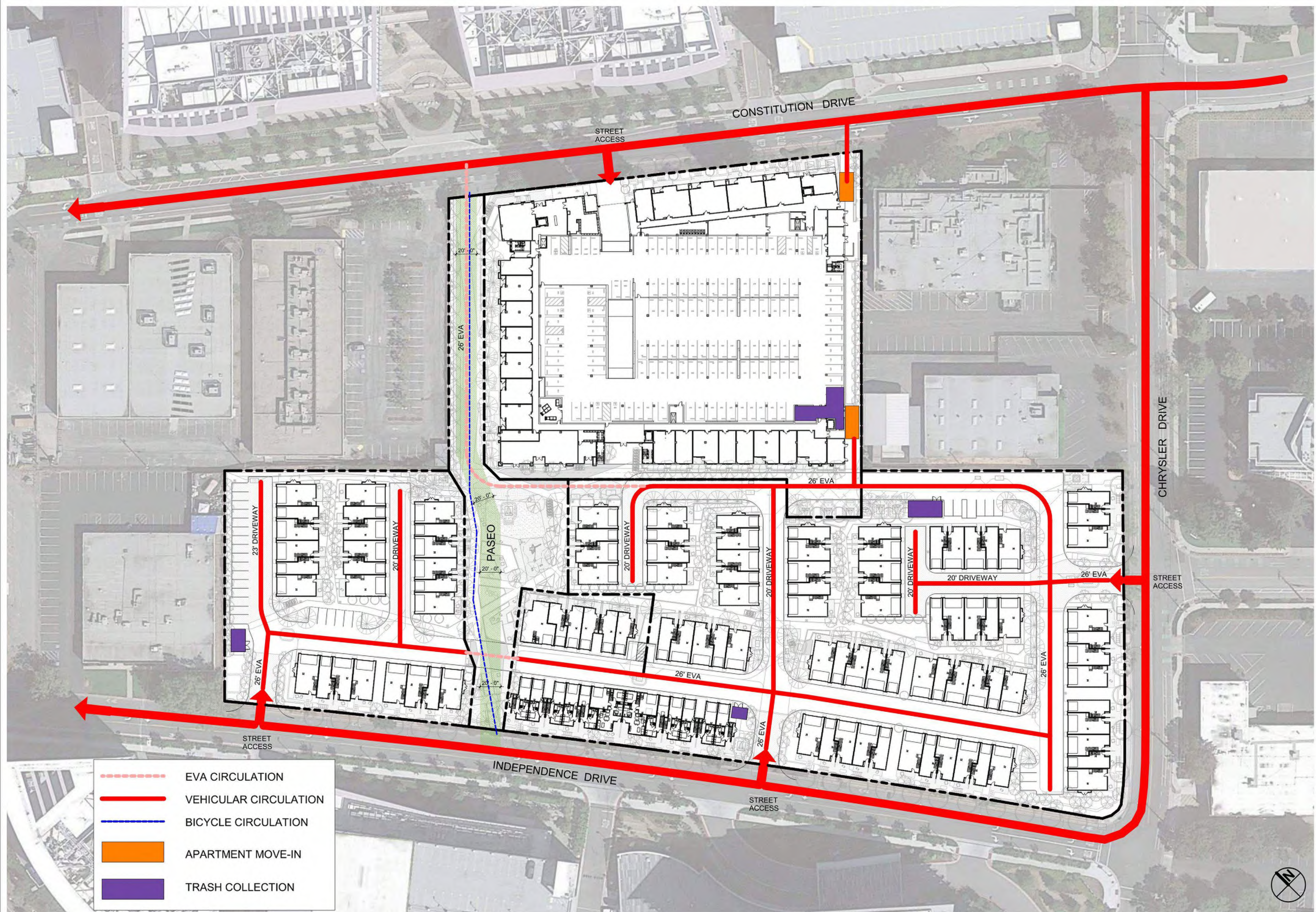
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Sheet Title:
CIRCULATION
DIAGRAM

Job No. 20004
Date: 6/12/2023
Scale: 1" = 40'-0"
Drawn By: Author

Sheet No:
A105



-  EVA CIRCULATION
-  VEHICULAR CIRCULATION
-  BICYCLE CIRCULATION
-  APARTMENT MOVE-IN
-  TRASH COLLECTION



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AREA SUMMARY (FOR FLOOR AREA CALCULATION PER MENLO PARK'S ZONING ORDINANCE 16.04.325)

	BUILDING TYPE	APARTMENT (SF)	TOWNHOMES (SF)	TOTAL (SF)
INCLUDED IN FAR	RESIDENTIAL UNITS			
	COMMON AREA	378 SF		378 SF
	AMENITIES			
	CIRCULATION			
	SUPPORT	4,043 SF		4,043 SF
	TOTAL	4,421 SF		4,421 SF
NOT INCLUDED IN FAR	PARKING (VEHICULAR)	75,362 SF		75,362 SF
	PARKING (BICYCLES)	4,276 SF		4,276 SF
	TRASH/FAN/SHAFTS	4,483 SF		4,483 SF

Sheet Title:
**FAR TABULATIONS
LEVEL B1**

Job No. 20004
Date: 6/12/2023
Scale: As indicated
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LEVEL 1 FAR 1" = 40'-0" 1

AREA SUMMARY (FOR FLOOR AREA CALCULATION PER MENLO PARK'S ZONING ORDINANCE 16.04.325)				
	BUILDING TYPE	APARTMENT (SF)	TOWNHOMES (SF)	TOTAL (SF)
INCLUDED IN FAR	RESIDENTIAL UNITS	14,608 SF	31,240 SF	45,848 SF
	COMMON AREA	2,931 SF		2,931 SF
	AMENITIES	1,508 SF		1,508 SF
	CIRCULATION	5,909 SF		5,909 SF
	SUPPORT	3,264 SF	671 SF	3,935 SF
	TOTAL	28,221 SF	31,910 SF	62,131 SF
NOT INCLUDED IN FAR	PARKING (VEHICULAR)	53,401 SF	50,893 SF	104,294 SF
	PARKING (BICYCLES)	681 SF		681 SF
	TRASH/FAN/SHAFTS	2,425 SF	1,001 SF	3,426 SF
	COMMERCIAL SPACE			2,000 SF

AREA SUMMARY

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FAR TABULATIONS
LEVEL 1

Job No. 20004
Date: 6/12/2023
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AREA SUMMARY (FOR FLOOR AREA CALCULATION PER MENLO PARK'S ZONING ORDINANCE 16.04.325)

	BUILDING TYPE	APARTMENT (SF)	TOWNHOMES (SF)	TOTAL (SF)
INCLUDED IN FAR	RESIDENTIAL UNITS	49,004 SF	80,347 SF	129,350 SF
	COMMON AREA			
	AMENITIES	4,197 SF		4,197 SF
	CIRCULATION	8,828 SF		8,828 SF
	SUPPORT	1,093 SF		1,093 SF
	TOTAL	63,121 SF	80,347 SF	143,468 SF
NOT INCLUDED IN FAR	PARKING (VEHICULAR)			
	PARKING (BICYCLES)			
	TRASH/FAN/SHAFTS	1,522 SF		1,522 SF

Sheet Title:
**FAR TABULATIONS
LEVEL 2**

Job No. 20004
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AREA SUMMARY (FOR FLOOR AREA CALCULATION PER MENLO PARK'S ZONING ORDINANCE 16.04.325)

	BUILDING TYPE	APARTMENT (SF)	TOWNHOMES (SF)	TOTAL (SF)
INCLUDED IN FAR	RESIDENTIAL UNITS	53,500 SF	75,482 SF	128,982 SF
	COMMON AREA			
	AMENITIES	648 SF		
	CIRCULATION	8,969 SF		
	SUPPORT	545 SF		
	TOTAL	63,663 SF	75,482 SF	139,144 SF
NOT INCLUDED IN FAR	PARKING (VEHICULAR)			
	PARKING (BICYCLES)			
	TRASH/FAN/SHAFTS	1,650 SF		1,650 SF

Sheet Title:
FAR TABULATIONS
LEVEL 3

Job No. 20004
Date: 6/12/2023
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LEVEL 4 FAR

1" = 40'-0"

1

AREA SUMMARY (FOR FLOOR AREA CALCULATION PER MENLO PARK'S ZONING ORDINANCE 16.04.325)

	BUILDING TYPE	APARTMENT (SF)	TOWNHOMES (SF)	TOTAL (SF)
INCLUDED IN FAR	RESIDENTIAL UNITS	55,517 SF		55,517 SF
	COMMON AREA			
	AMENITIES			
	CIRCULATION	8,998 SF		8,998 SF
	SUPPORT	545 SF		545 SF
	TOTAL	65,059 SF		65,059 SF
NOT INCLUDED IN FAR	PARKING (VEHICULAR)			
	PARKING (BICYCLES)			
	TRASH/FAN/SHAFTS	1,649 SF		1,649 SF

Sheet Title:
FAR TABULATIONS
LEVEL 4

Job No. 20004
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AREA SUMMARY



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LEVEL 5 FAR

1" = 40'-0"

1

AREA SUMMARY (FOR FLOOR AREA CALCULATION PER MENLO PARK'S ZONING ORDINANCE 16.04.325)

	BUILDING TYPE	APARTMENT (SF)	TOWNHOMES (SF)	TOTAL (SF)
INCLUDED IN FAR	RESIDENTIAL UNITS	52,234 SF		52,234 SF
	COMMON AREA			
	AMENITIES	588 SF		588 SF
	CIRCULATION	9,121 SF		9,121 SF
	SUPPORT	546 SF		546 SF
	TOTAL	62,489 SF		62,489 SF
NOT INCLUDED IN FAR	PARKING (VEHICULAR)			
	PARKING (BICYCLES)			
	TRASH/FAN/SHAFTS	1,637 SF		1,637 SF

AREA SUMMARY

Sheet Title:
FAR TABULATIONS
LEVEL 5

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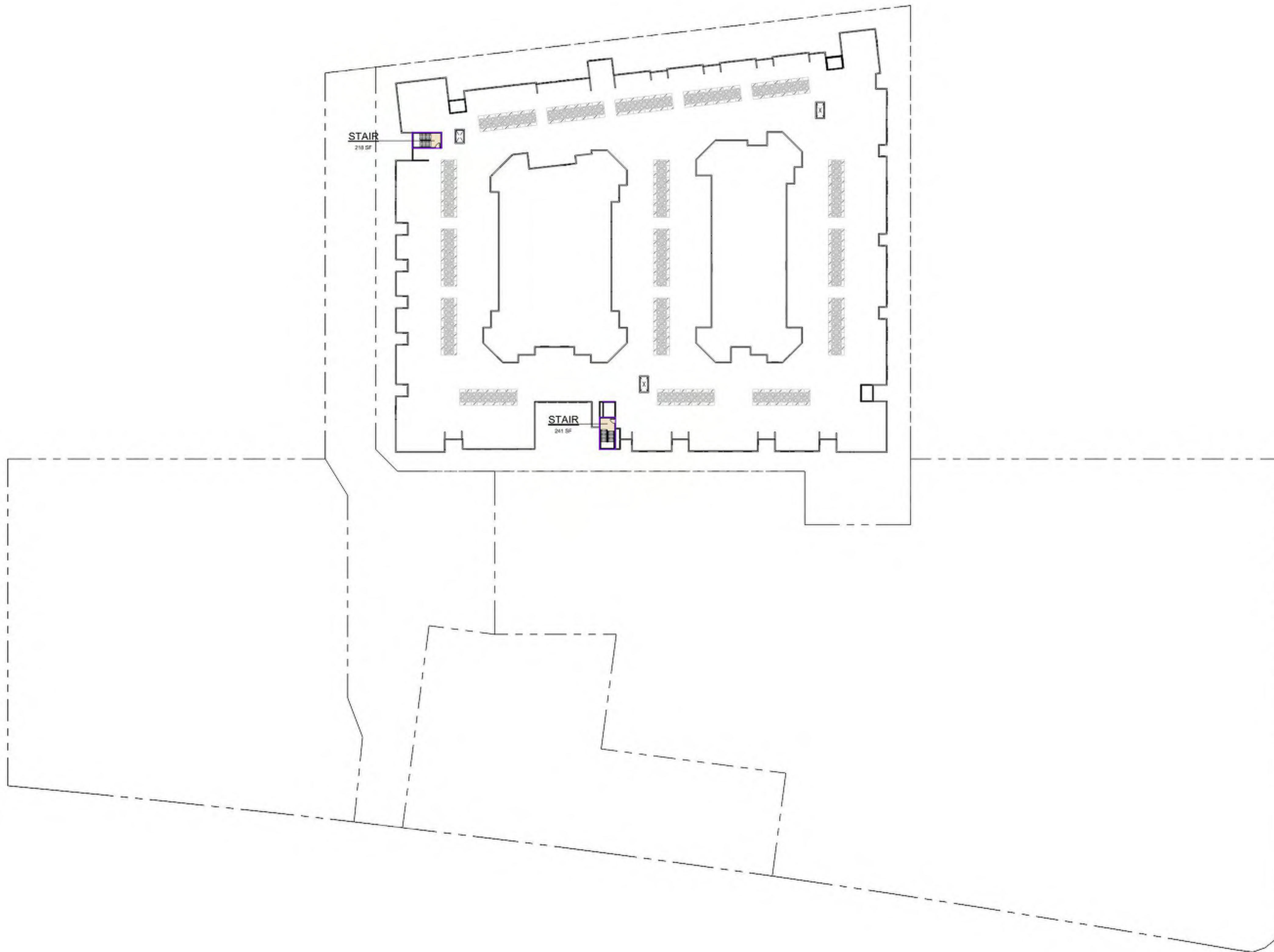
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AREA SUMMARY (FOR FLOOR AREA CALCULATION PER MENLO PARK'S ZONING ORDINANCE 16.04.325)

	BUILDING TYPE	APARTMENT (SF)	TOWNHOMES (SF)	TOTAL (SF)
INCLUDED IN FAR	RESIDENTIAL UNITS			
	COMMON AREA			
	AMENITIES			
	CIRCULATION	459 SF		459 SF
	SUPPORT			
	TOTAL			459 SF
NOT INCLUDED IN FAR	PARKING (VEHICULAR)			
	PARKING (BICYCLES)			
	TRASH/FAN/SHAFTS			

Sheet Title:
FAR TABULATIONS
ROOF LEVEL

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Sheet Title:
APARTMENT
BUILDING PLAN
LEVEL B1

Job No. 20004
Date: 6/12/2023
Scale: 1/16" = 1'-0"
Drawn By: STS

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A200





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Mountain View, CA

Sheet Title:
APARTMENT
BUILDING PLAN
LEVEL 1

Job No. 20004
Date: 6/12/2023
Scale: 1/16" = 1'-0"
Drawn By: STS

Sheet No:
A201





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Sheet Title:
APARTMENT
BUILDING PLAN
LEVEL 2

Job No. 20004
Date: 6/12/2023
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Sheet Title:
APARTMENT BUILDING PLAN LEVEL 3

Job No. 20004
Date: 6/12/2023
Scale: 1/16" = 1'-0"
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Sheet Title:
**APARTMENT
BUILDING PLAN
LEVEL 4**

Job No. 20004
Date: 6/12/2023
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Drawn By: STS

Sheet No:

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Sheet Title:
APARTMENT
BUILDING PLAN
LEVEL 5

Job No. 20004
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Scale: 1/16" = 1'-0"
Drawn By: STS

Sheet No:

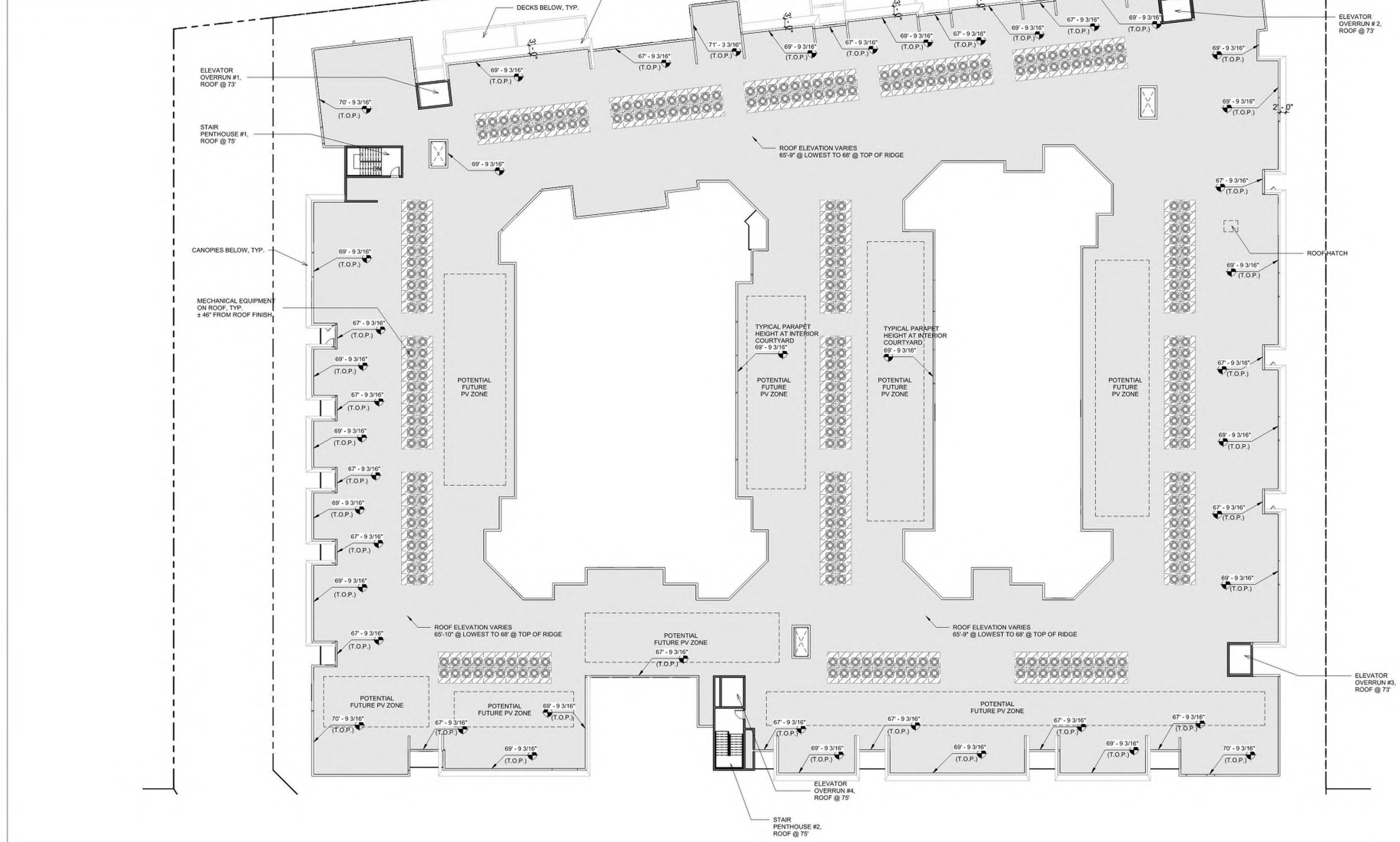
A205



ROOF HEIGHT CALCULATION				
	AREA	HEIGHT (FT)	AREA x HEIGHT	AVG. HEIGHT (FT)
TYPICAL ROOF	63,564	67'	4,258,788	
ELEVATOR OVERRUN #1	105	73	7,665	
ELEVATOR OVERRUN #2	105	73	7,665	
ELEVATOR OVERRUN #3	105	73	7,665	
ELEVATOR OVERRUN #4	120	75	9,000	
STAIR PENTHOUSE #1	225	75	16,875	
STAIR PENTHOUSE #2	293	75	21,975	
TOTAL	64,517		4,329,633	67.1**

* TYPICAL ROOF HEIGHT IS AN ESTIMATE OF THE AVERAGE OF LOW POINTS AND TOP OF RIDGES WHERE THE ELEVATION IS THE HIGHEST.

** HEIGHTS CALCULATED ARE MEASURED FROM SEA LEVEL (0'). AVERAGE NATURAL GRADE IS 8.9'. AVERAGE HEIGHT (67.1) MINUS THE AVERAGE NATURAL GRADE (8.9 FT) EQUALS AN AVERAGE BUILDING HEIGHT OF 58.2 FT.





PARKING PLAN - LEVEL 1 1" = 40'-0" 2



PARKING PLAN - LEVEL B1 1" = 40'-0" 1



TWO TIERED BICYCLE RACKS
6 BICYCLES PER RACK

LONG TERM BICYCLE STORAGE INFORMATION

ACCESSIBLE PARKING REQUIRED	RESIDENTIAL 2% OF UNIT	
	VAN ACCESSIBLE (1 IN 8)	1
	STANDARD ACCESSIBLE	6
	VISITOR/UNASSIGNED 5% OF PARKING	
	VAN ACCESSIBLE (1 IN 8)	1
	STANDARD ACCESSIBLE	0
	TOTAL	8
EV CHARGING SPACES *	MANDATORY 15%	48
	EV WITH 8' LOADING (1 IN 25 EV) ***	3
	TOTAL **	51

* ALL REQUIRED RESIDENTIAL EV (100%) TO BE 9' X 18'
 ** AT LEAST 1 EV SPACE IN COMMON USE AREA
 *** NOT REQUIRED UNTIL CHARGERS ARE INSTALLED

APARTMENT REQUIRED PARKING SUMMARY

		LEVEL B1	LEVEL 1	TOTAL
RESIDENTIAL/ ASSIGNED	ACCESSIBLE (9'-0" X 18'-0") 1	0	6	6
	VAN ACCESSIBLE (9'-0" X 18'-0") 2	0	1	1
	UNINSTALL (9'-0" X 18'-0")	127	98	225
	STALL IN MECH PALLET (9'-0" X 18'-0")	47	0	47
	STANDARD EVCS (9'-0" X 18'-0")	30	18	48
	EVCS WITH 8' LOADING (9'-0" X 18'-0")	0	3	3
VISITORS/ UNASSIGNED	VAN ACCESSIBLE (9'-0" X 18'-0")	0	1	1
	UNINSTALL (9'-0" X 18'-0")	0	5	5
	TOTAL	204	132	336

NOTES:
 15% OF EV STALLS ON DAY 1. 1 IN EVERY 25 EV SPACES IS PROVIDED WITH 8' WIDE AISLE.
 1 PER UNIT SPACES WILL BE EV READY SPACES. ALL STALLS ARE 9' X 18' TO ALLOW FOR 1 PER UNIT FUTURE CRITERIA. SOME STALL LOSS FROM THIS SUBMITTAL IS EXPECTED DURING FUTURE INSTALLATION AND INCREASE IN EV PERCENTAGE FOR ADDING 8' ACCESS AISLES.
 1 STANDARD ACCESSIBLE STALLS TO HAVE AN ADJACENT ACCESS AISLE OF 5' MINIMUM.
 2 VAN ACCESSIBLE STALLS TO HAVE AN ADJACENT ACCESS AISLE OF 8' MINIMUM.

APARTMENT PROVIDED PARKING SUMMARY



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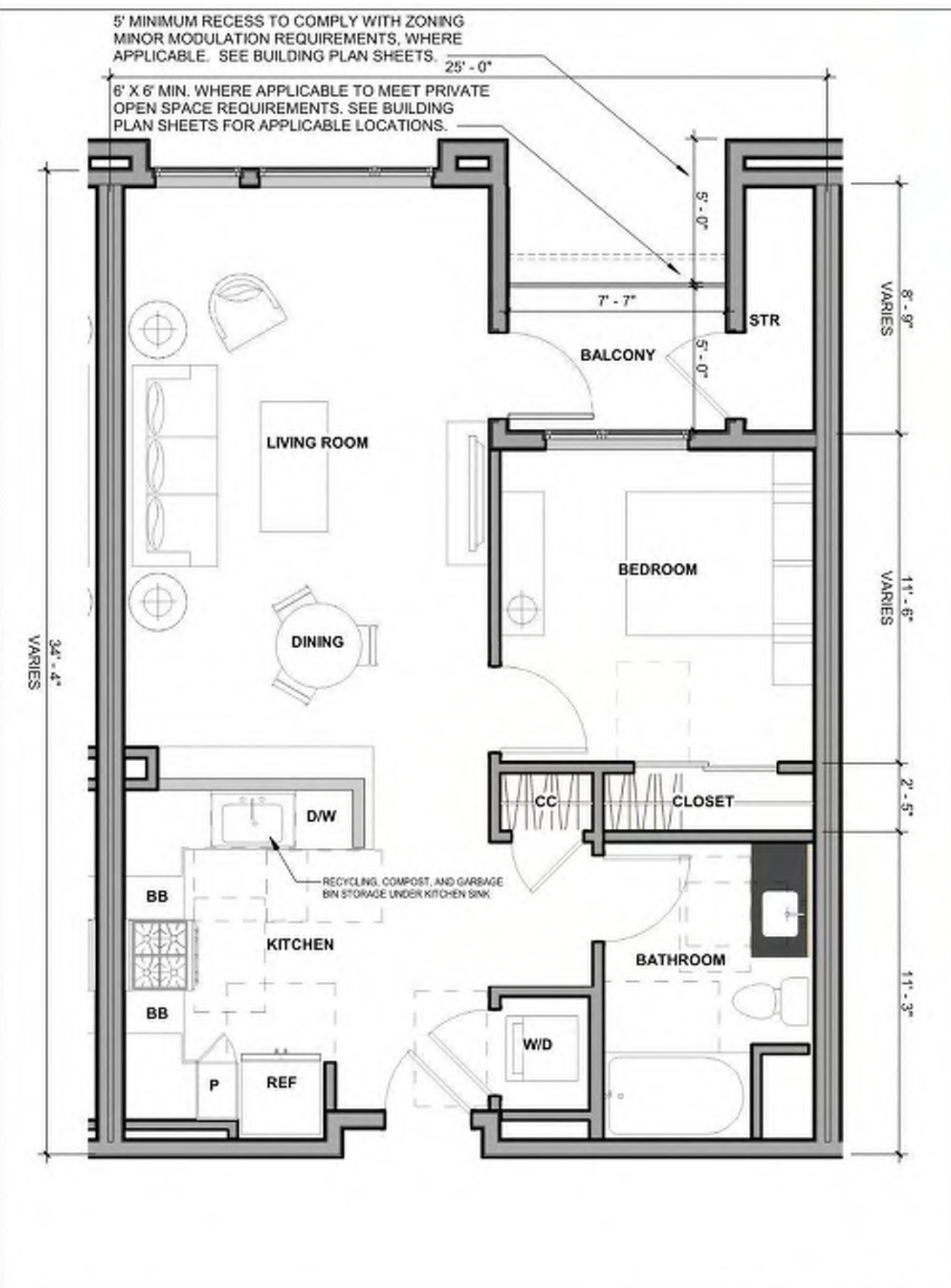
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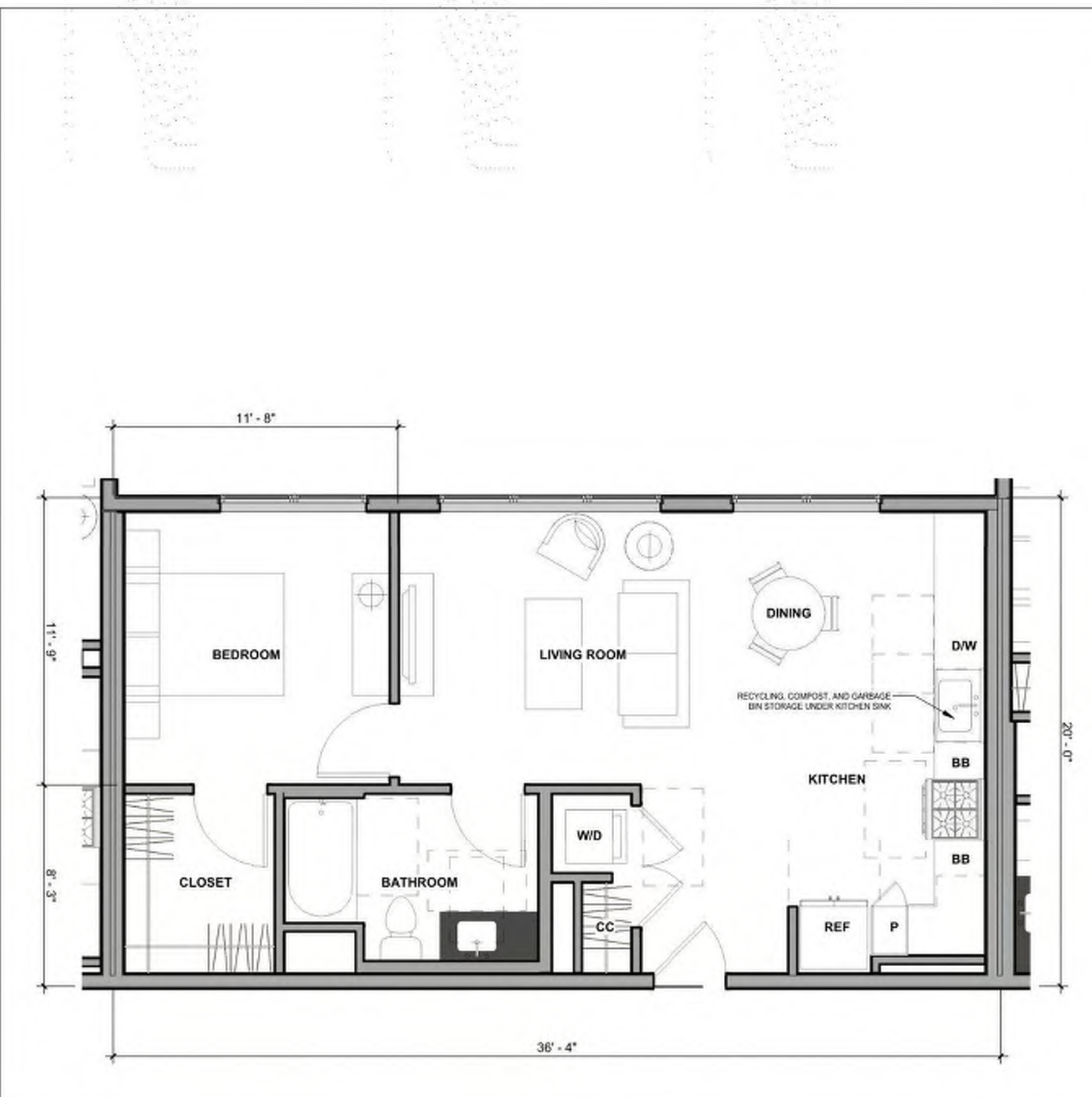
Sheet Title:
APARTMENT PARKING PLANS

Job No. 20004
 Date: 6/12/2023
 Scale: As indicated
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Sheet No:
A210



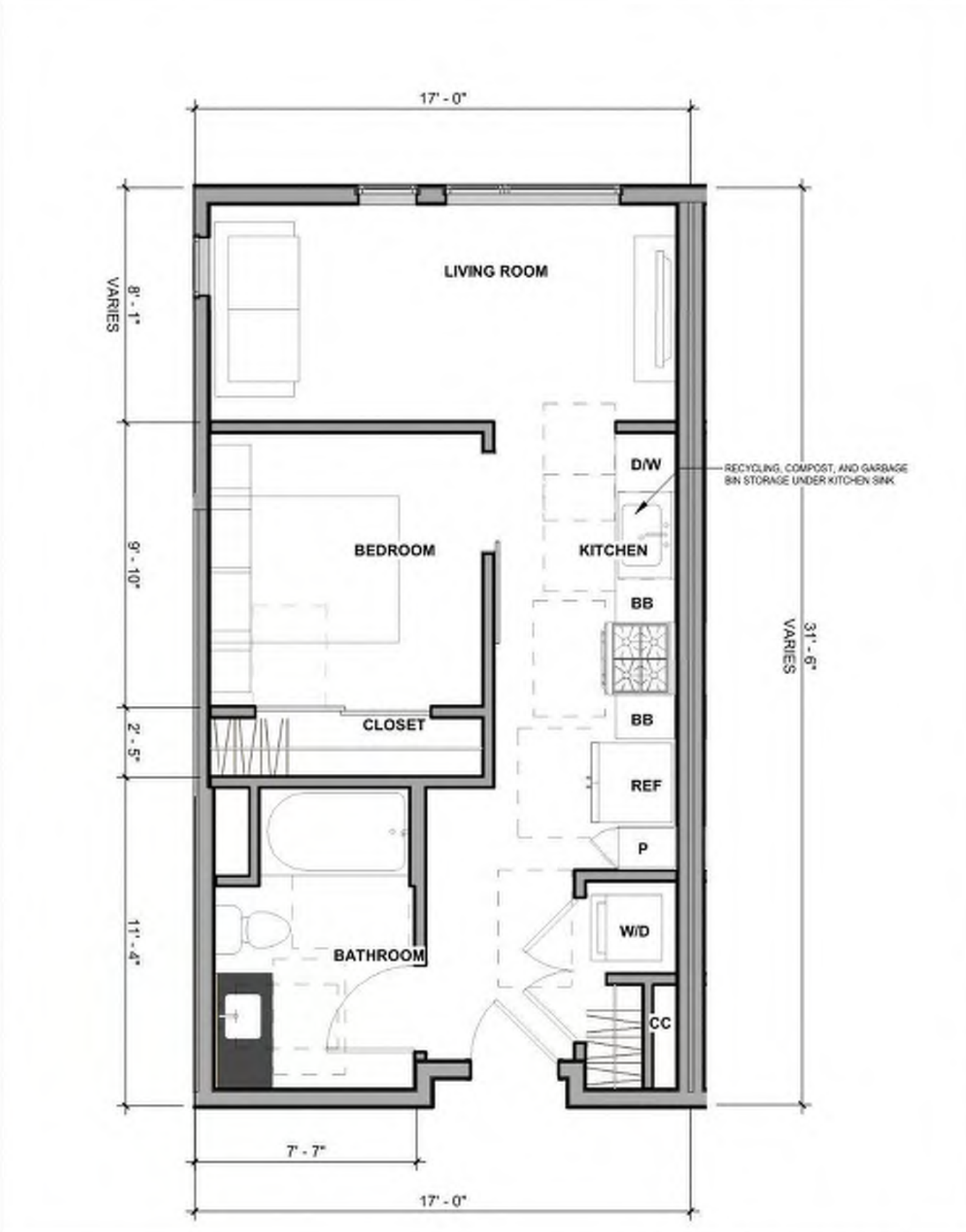
UNIT 1A 1/4" = 1'-0" 2



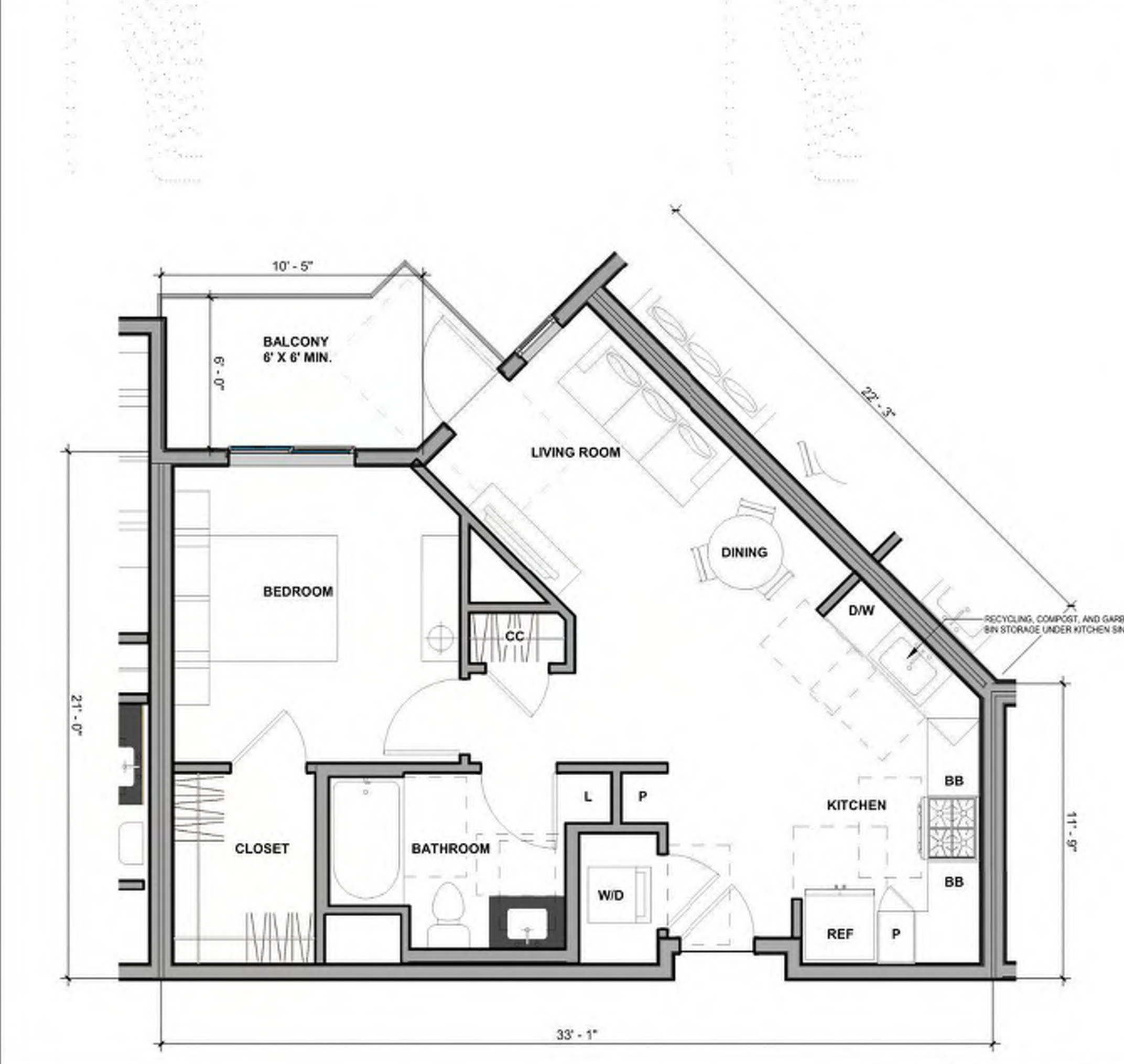
UNIT 1F 1/4" = 1'-0" 4



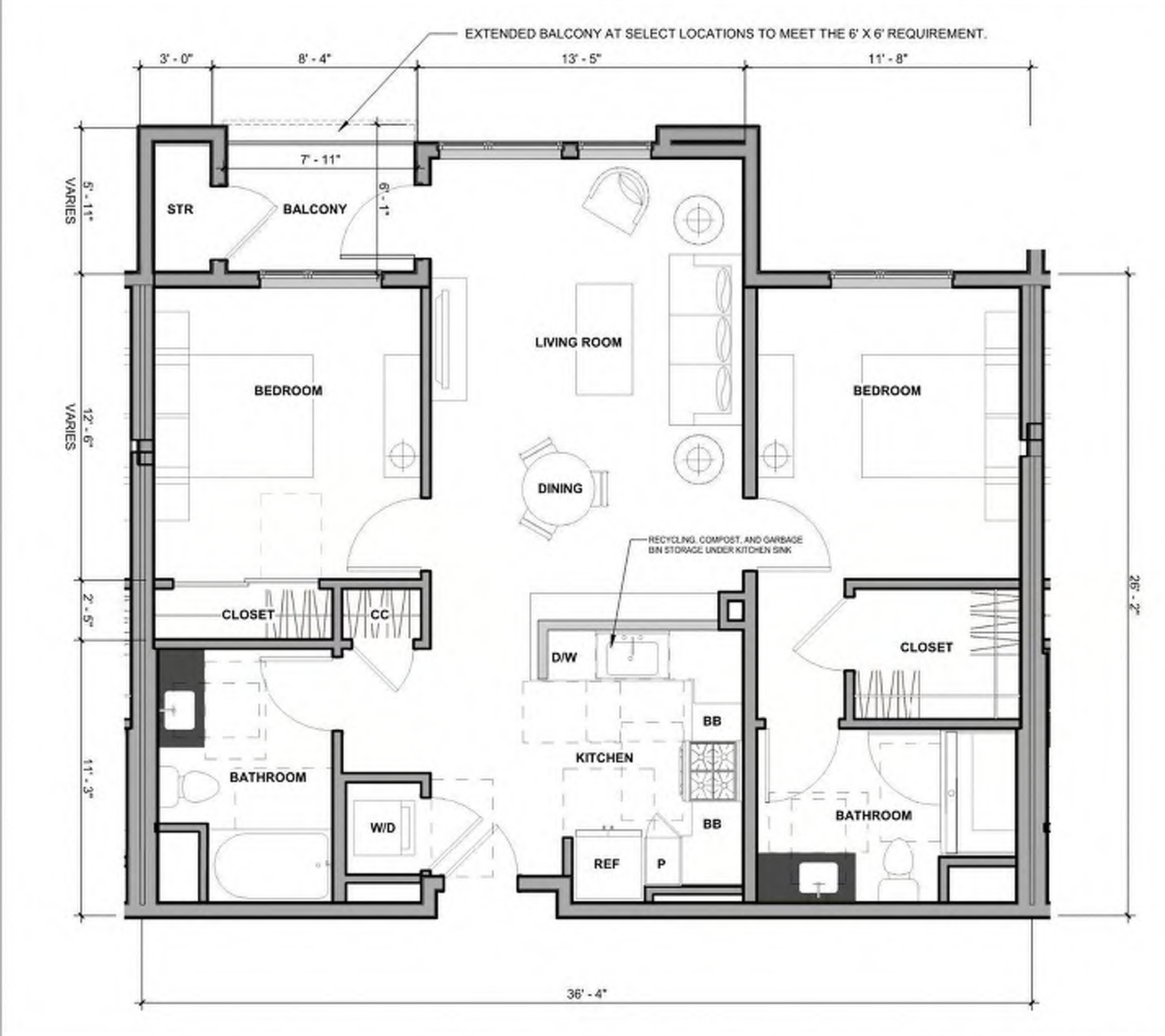
UNIT 2B 1/4" = 1'-0" 6



UNIT S 1/4" = 1'-0" 1



UNIT 1C 1/4" = 1'-0" 3



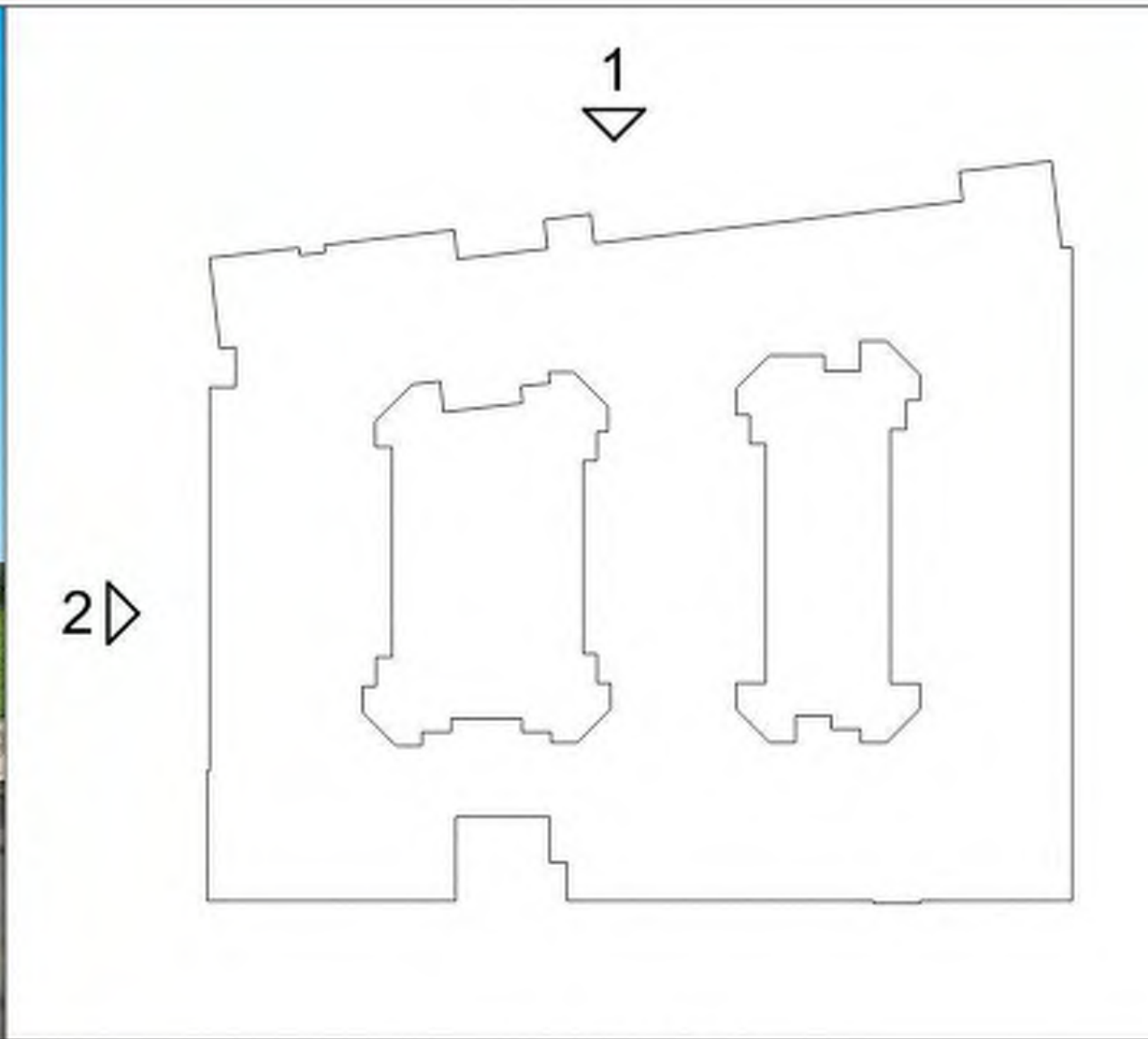
UNIT 2A 1/4" = 1'-0" 5



CONSTITUTION PERSPECTIVE



PASEO PERSPECTIVE



KEY MAP



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PASEO 1/16" = 1'-0" 2



CONSTITUTION DRIVE 1/16" = 1'-0" 1

LEGEND	
A1	CEMENT PLASTER - SMOKE
A2	CEMENT PLASTER - LIGHT GRAY
A3	CEMENT PLASTER - GRAY
A4	CEMENT PLASTER - DARK GRAY
A5	CEMENT PLASTER - YELLOW
B1	FIBER CEMENT PANEL - WHITE
B2	FIBER CEMENT PANEL - YELLOW
B3	FIBER CEMENT PANEL - GRAY
D1	PORCELAIN TILE
E1	FIBER CEMENT SIDING
W1	VINYL WINDOW, TYP.
W2	STOREFRONT, TYP.
R1	GLASS RAILING
R2	VERTICAL METAL RAILING
F1	GREENSCREEN

COLOR AND MATERIAL

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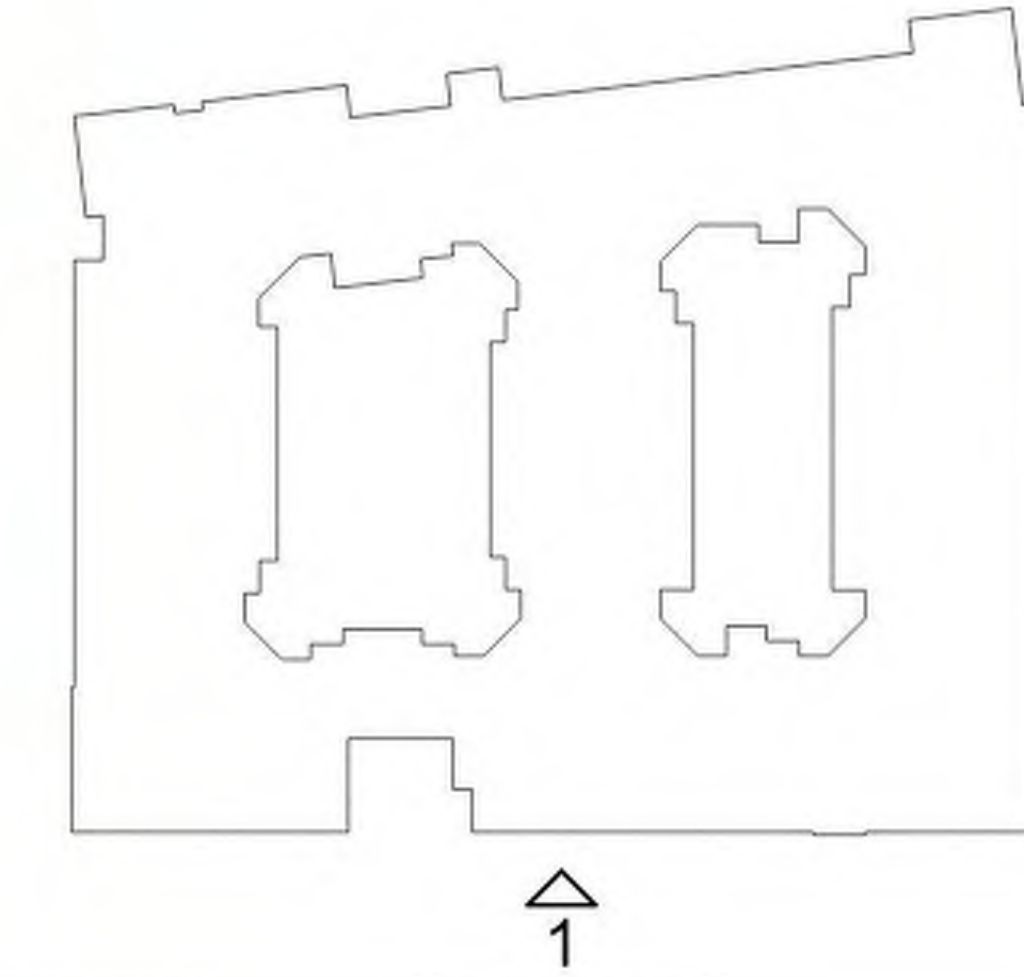
Sheet Title:
**APARTMENT
BUILDING
ELEVATIONS**

Job No. 20004
Date: 6/12/2023
Scale: As indicated
Drawn By: Author

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A301



PUBLIC OPEN SPACE PERSPECTIVE



KEY MAP



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EAST 1/16" = 1'-0" 2



PUBLIC OPEN SPACE / SOUTH 1/16" = 1'-0" 1

LEGEND	
A1	CEMENT PLASTER - SMOKE
A2	CEMENT PLASTER - LIGHT GRAY
A3	CEMENT PLASTER - GRAY
A4	CEMENT PLASTER - DARK GRAY
A5	CEMENT PLASTER - YELLOW
B1	FIBER CEMENT PANEL - WHITE
B2	FIBER CEMENT PANEL - YELLOW
B3	FIBER CEMENT PANEL - GRAY
D1	PORCELAIN TILE
E1	FIBER CEMENT SIDING
W1	VINYL WINDOW, TYP.
W2	STOREFRONT, TYP.
R1	GLASS RAILING
R2	VERTICAL METAL RAILING
F1	GREENSCREEN

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Sheet Title:
APARTMENT
BUILDING
ELEVATIONS

Job No. 20004
Date: 6/12/2023
Scale: As indicated
Drawn By: Author

Sheet No:

A302

COLOR AND MATERIAL

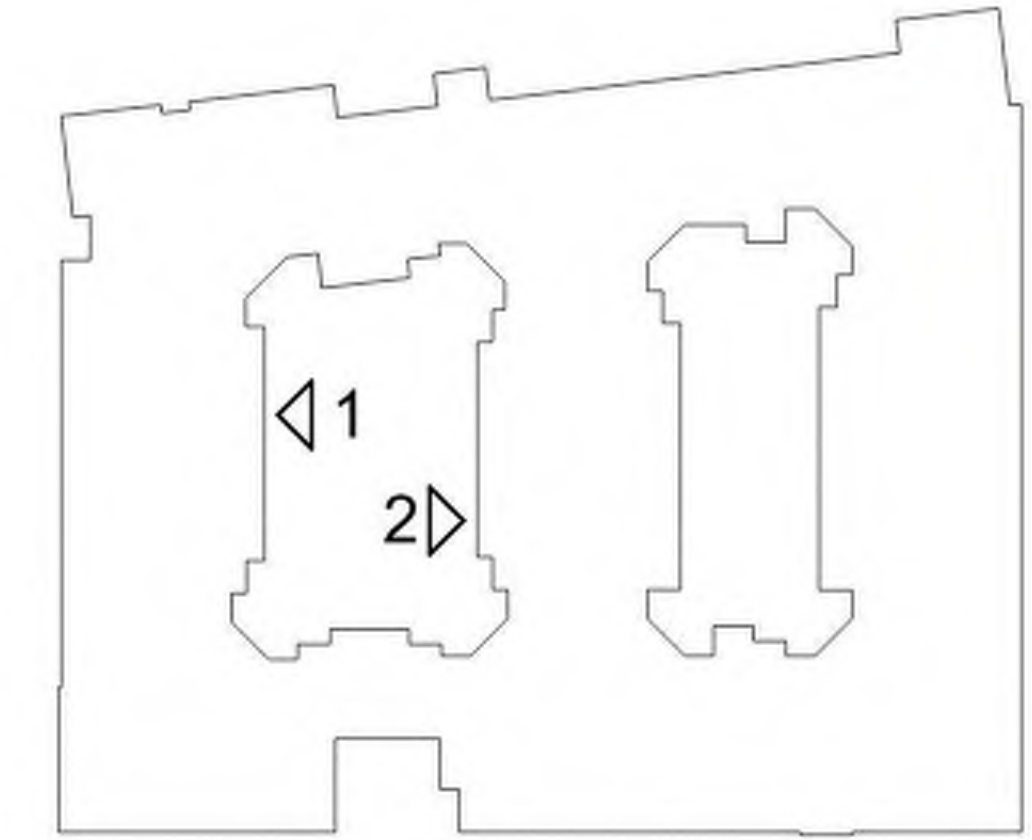


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KEY MAP



WEST COURTYARD - EAST 1/16" = 1'-0" 2



WEST COURTYARD - WEST 1/16" = 1'-0" 1

LEGEND	
A1	CEMENT PLASTER - SMOKE
A2	CEMENT PLASTER - LIGHT GRAY
A3	CEMENT PLASTER - GRAY
A4	CEMENT PLASTER - DARK GRAY
A5	CEMENT PLASTER - YELLOW
B1	FIBER CEMENT PANEL - WHITE
B2	FIBER CEMENT PANEL - YELLOW
B3	FIBER CEMENT PANEL - GRAY
D1	PORCELAIN TILE
E1	FIBER CEMENT SIDING
W1	VINYL WINDOW, TYP.
W2	STOREFRONT, TYP.
R1	GLASS RAILING
R2	VERTICAL METAL RAILING
F1	GREENSCREEN

COLOR AND MATERIAL

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Sheet Title:
**APARTMENT
BUILDING
ELEVATIONS
(COURTYARDS)**
Job No. 20004
Date: 6/12/2023
Scale: As indicated
Drawn By: Author

Sheet No:

A303

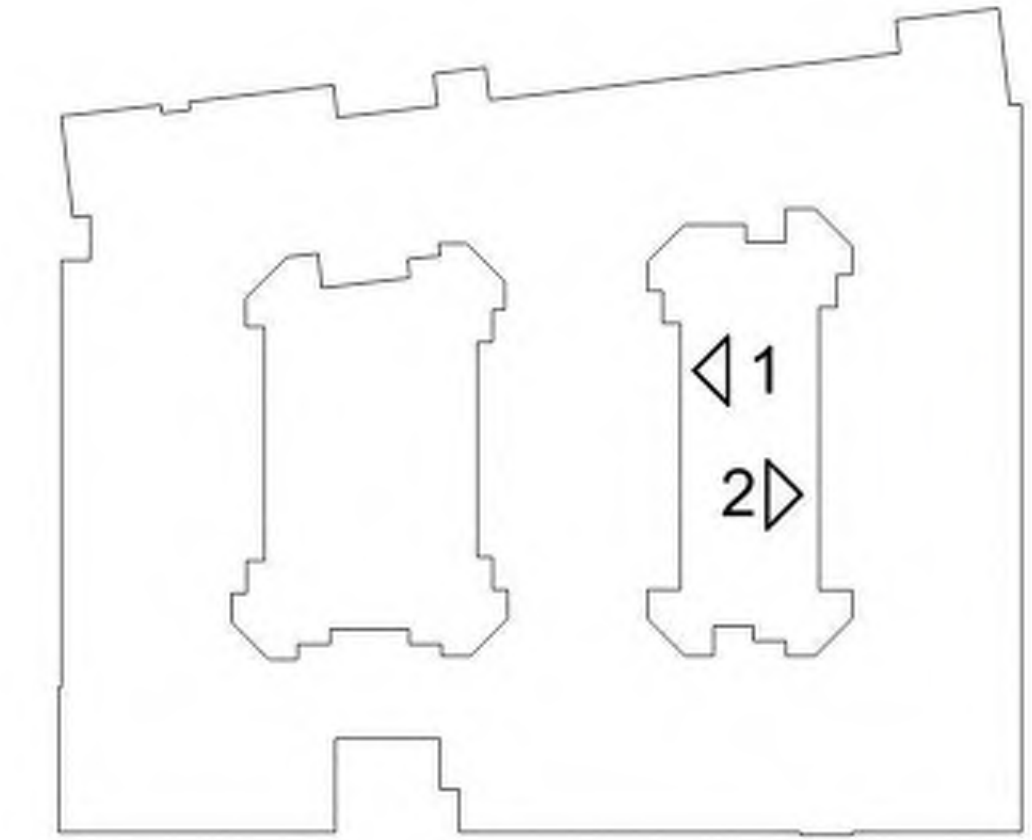


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KEY MAP



EAST COURTYARD - EAST

1/16" = 1'-0"

2



EAST COURTYARD - WEST

1/16" = 1'-0"

1

LEGEND	
A1	CEMENT PLASTER - SMOKE
A2	CEMENT PLASTER - LIGHT GRAY
A3	CEMENT PLASTER - GRAY
A4	CEMENT PLASTER - DARK GRAY
A5	CEMENT PLASTER - YELLOW
B1	FIBER CEMENT PANEL - WHITE
B2	FIBER CEMENT PANEL - YELLOW
B3	FIBER CEMENT PANEL - GRAY
D1	PORCELAIN TILE
E1	FIBER CEMENT SIDING
W1	VINYL WINDOW, TYP.
W2	STOREFRONT, TYP.
R1	GLASS RAILING
R2	VERTICAL METAL RAILING
F1	GREENSCREEN

COLOR AND MATERIAL

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Sheet Title:
APARTMENT
BUILDING
ELEVATIONS
(COURTYARDS)
Job No. 20004
Date: 6/12/2023
Scale: As indicated
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Sheet No:

A304

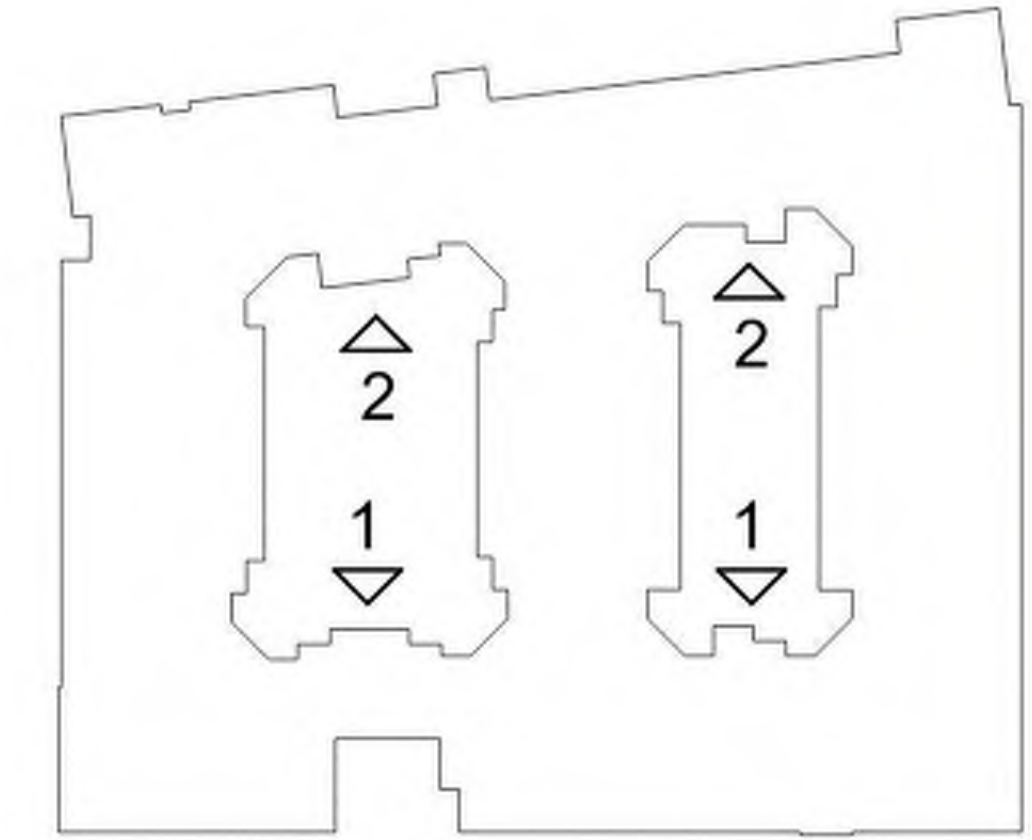


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KEY MAP



COURTYARD - NORTH 1/16" = 1'-0" 2



COURTYARD - SOUTH 1/16" = 1'-0" 1

LEGEND	
A1	CEMENT PLASTER - SMOKE
A2	CEMENT PLASTER - LIGHT GRAY
A3	CEMENT PLASTER - GRAY
A4	CEMENT PLASTER - DARK GRAY
A5	CEMENT PLASTER - YELLOW
B1	FIBER CEMENT PANEL - WHITE
B2	FIBER CEMENT PANEL - YELLOW
B3	FIBER CEMENT PANEL - GRAY
D1	PORCELAIN TILE
E1	FIBER CEMENT SIDING
W1	VINYL WINDOW, TYP.
W2	STOREFRONT, TYP.
R1	GLASS RAILING
R2	VERTICAL METAL RAILING
F1	GREENSCREEN

COLOR AND MATERIAL

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Sheet Title:
**APARTMENT
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ELEVATIONS
(COURTYARDS)**
Job No. 20004
Date: 6/12/2023
Scale: As indicated
Drawn By: Author

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A305

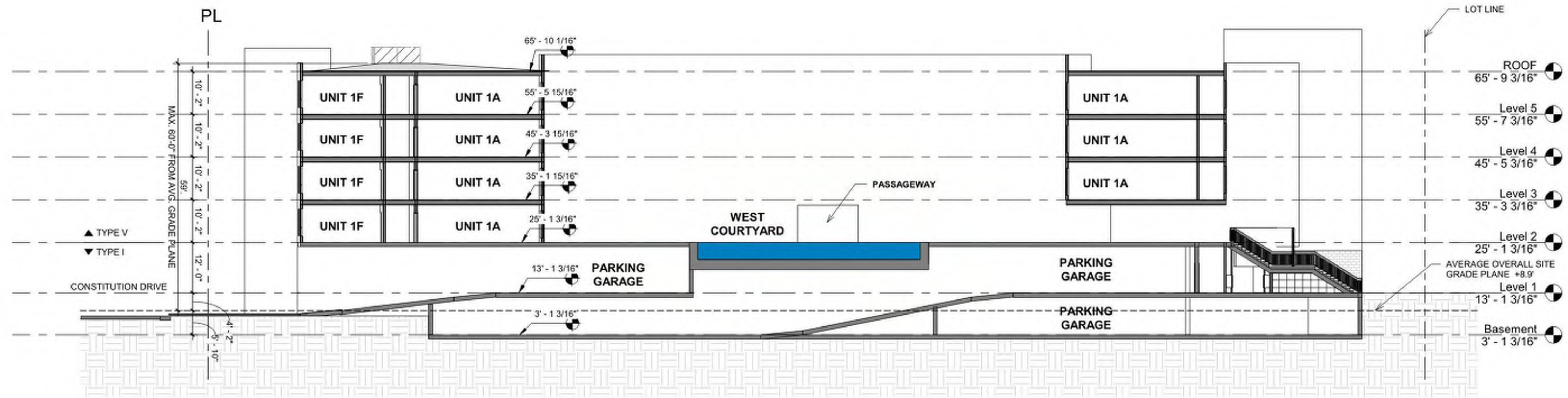
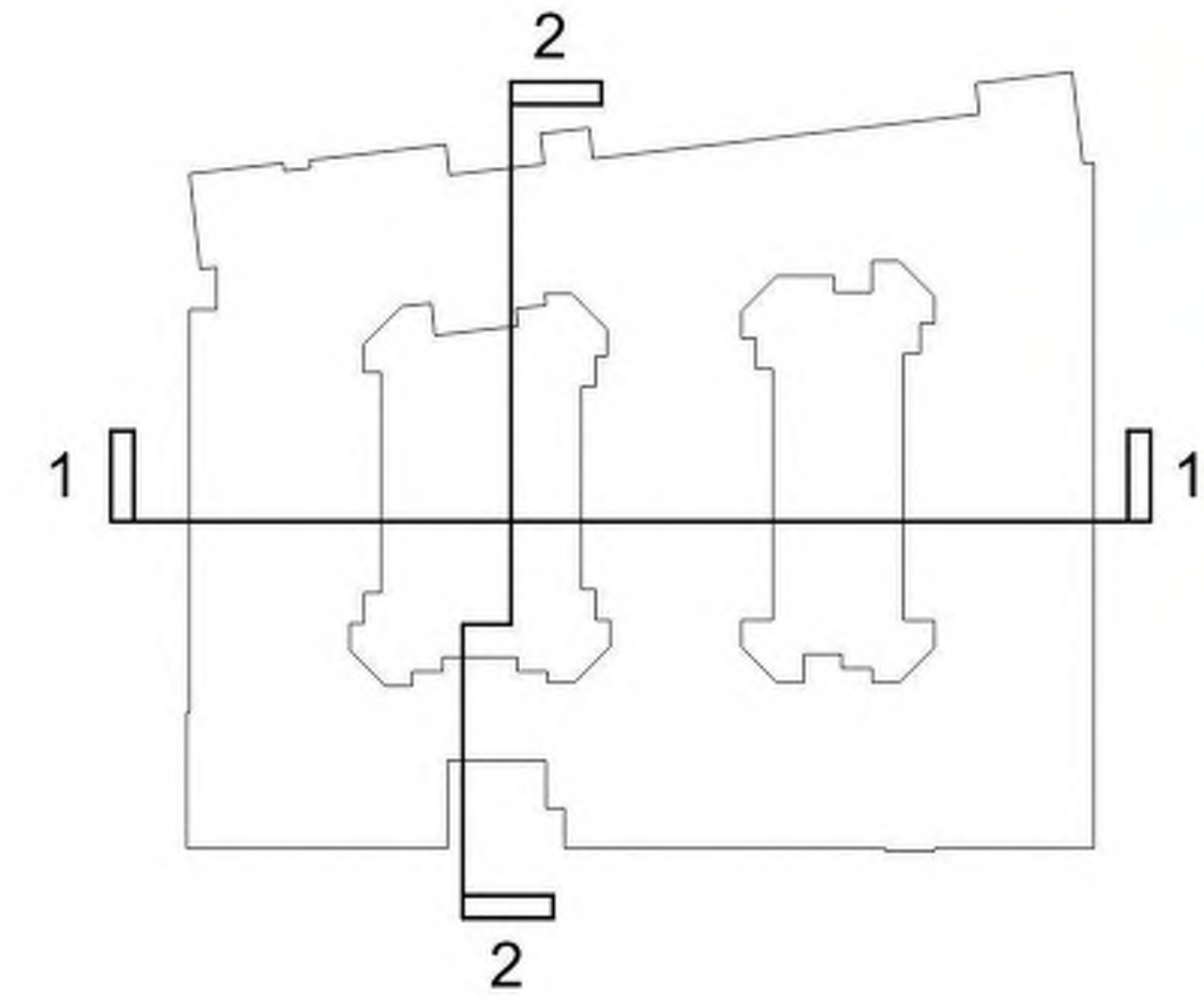


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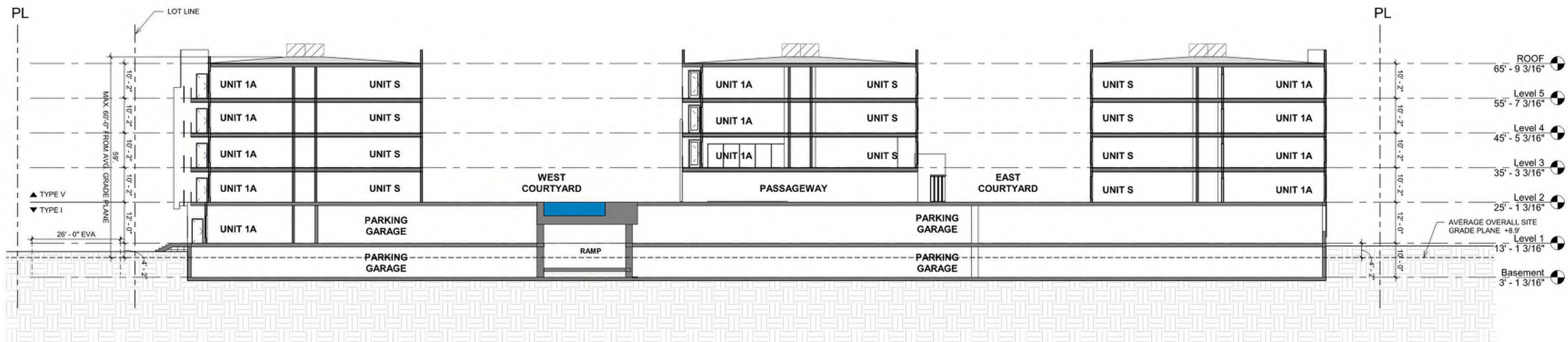
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NORTH TO SOUTH SECTION

1/16" = 1'-0"

2



WEST TO EAST SECTION

1/16" = 1'-0"

1

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Sheet Title:
APARTMENT
BUILDING SECTIONS

Job No. 20004
Date: 6/12/2023
Scale: As indicated
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Sheet No:

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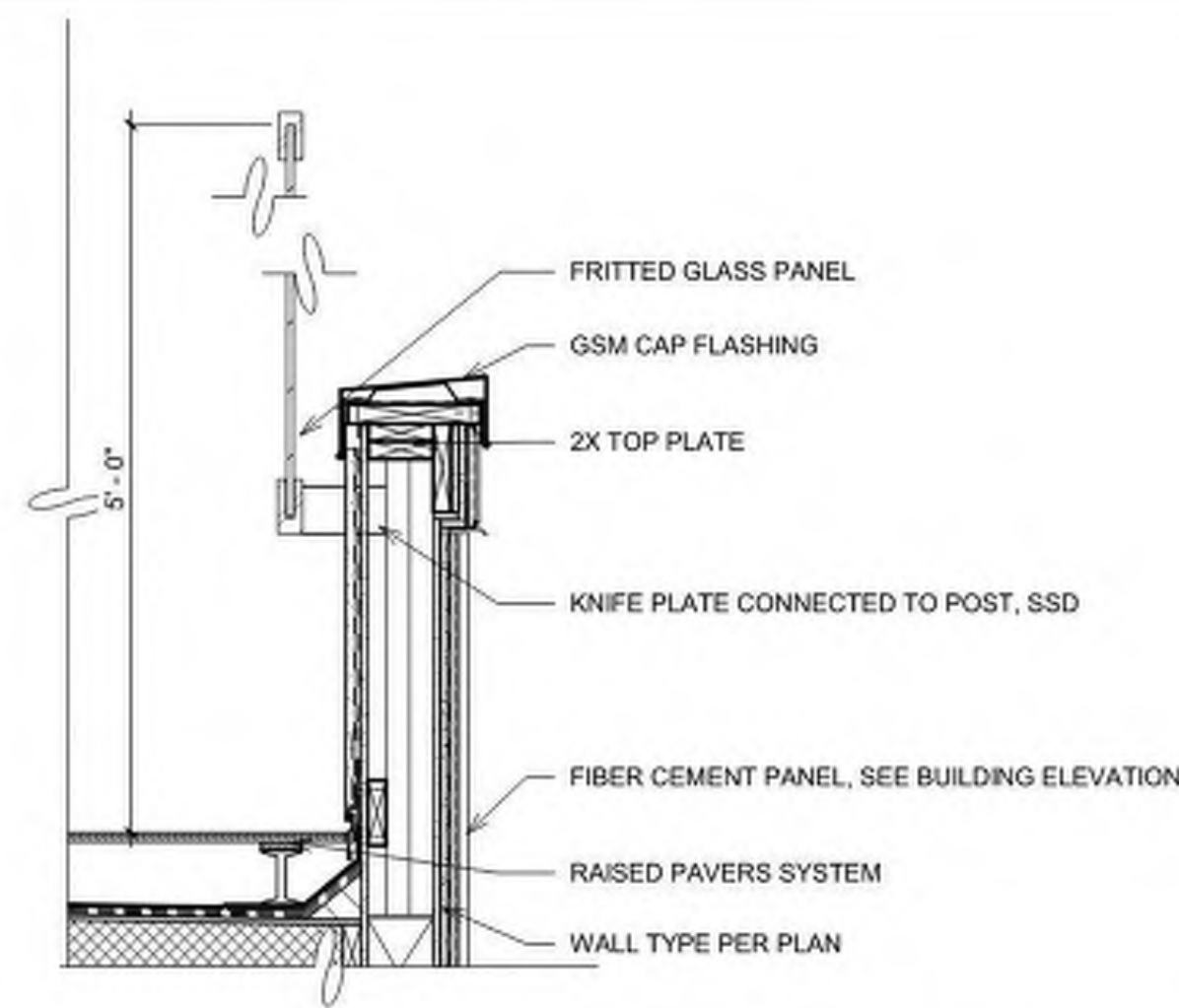


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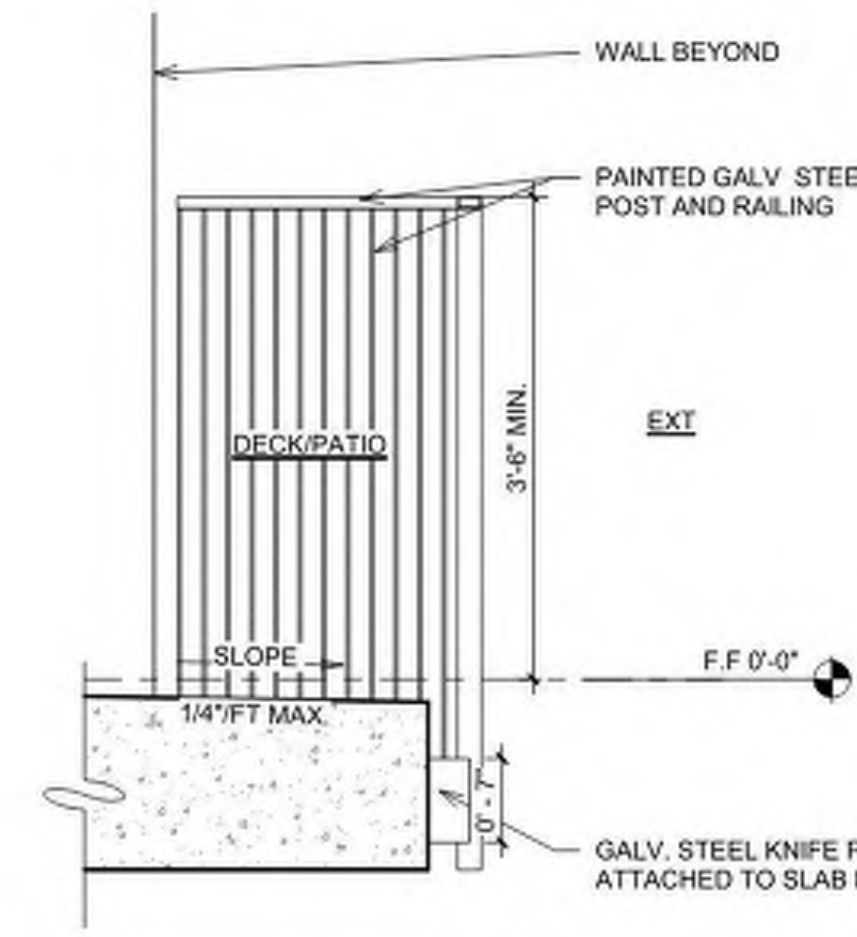
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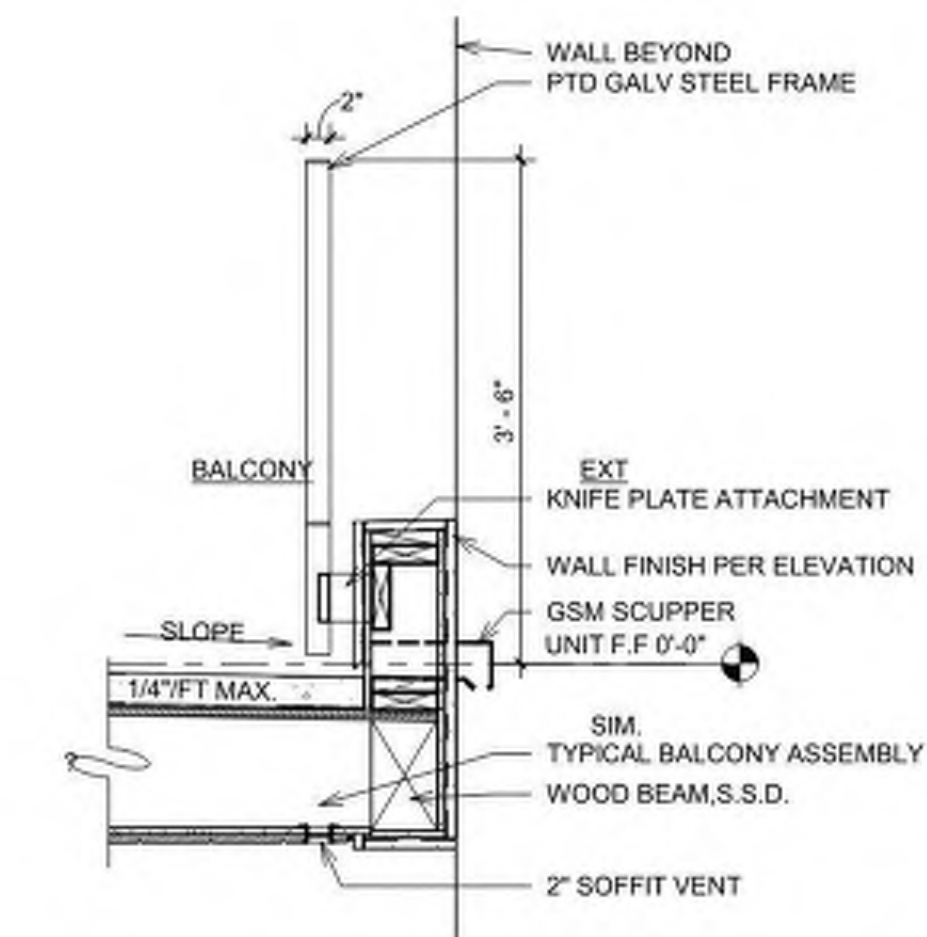
NOTE: DETAILS AND SECTIONS ARE FOR SCHEMATIC REPRESENTATION ONLY.

ROOF DECK GLASS RAILING SECTION 3/4" = 1'-0" 5



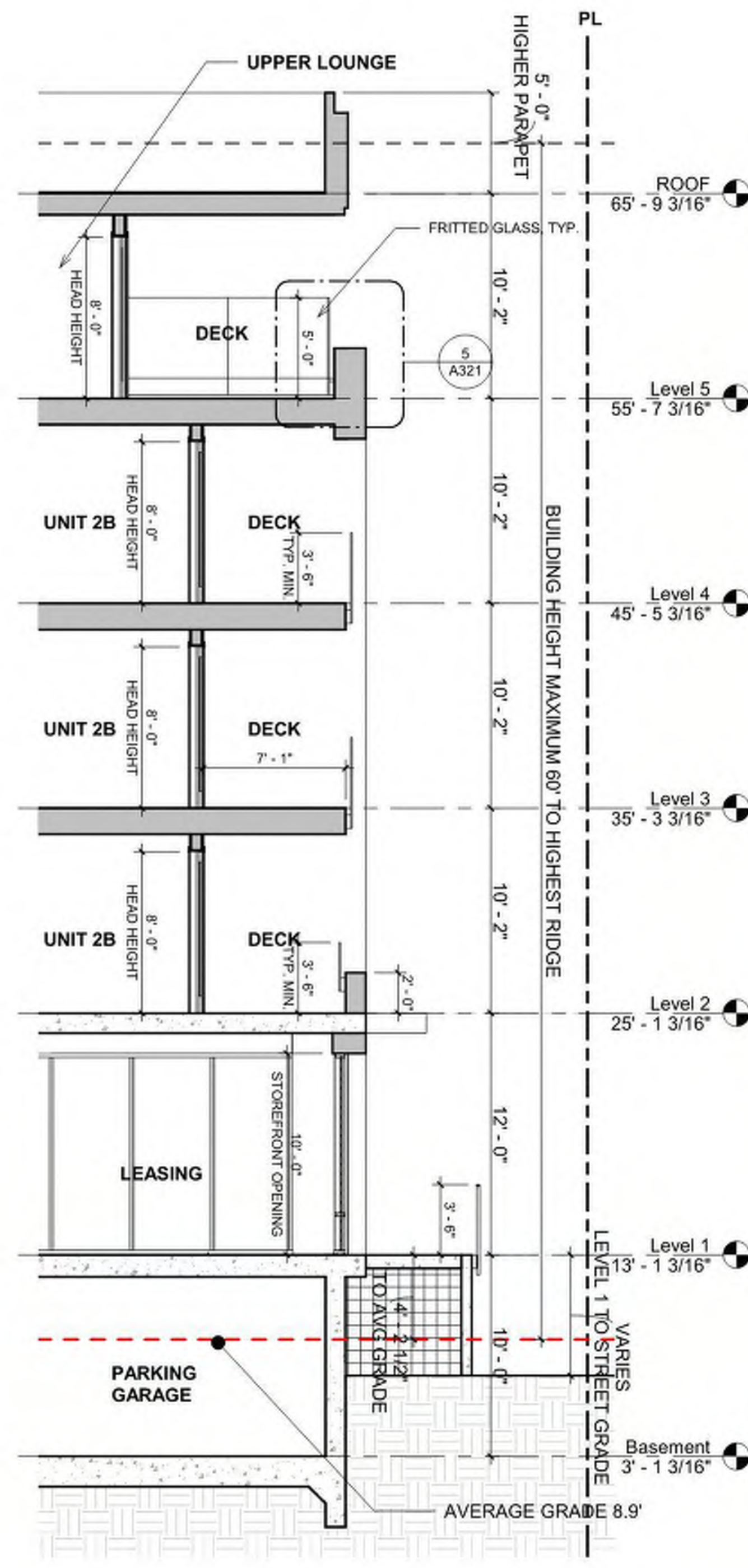
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VERTICAL RAILING @ CONCRETE SECTION 3/4" = 1'-0" 4

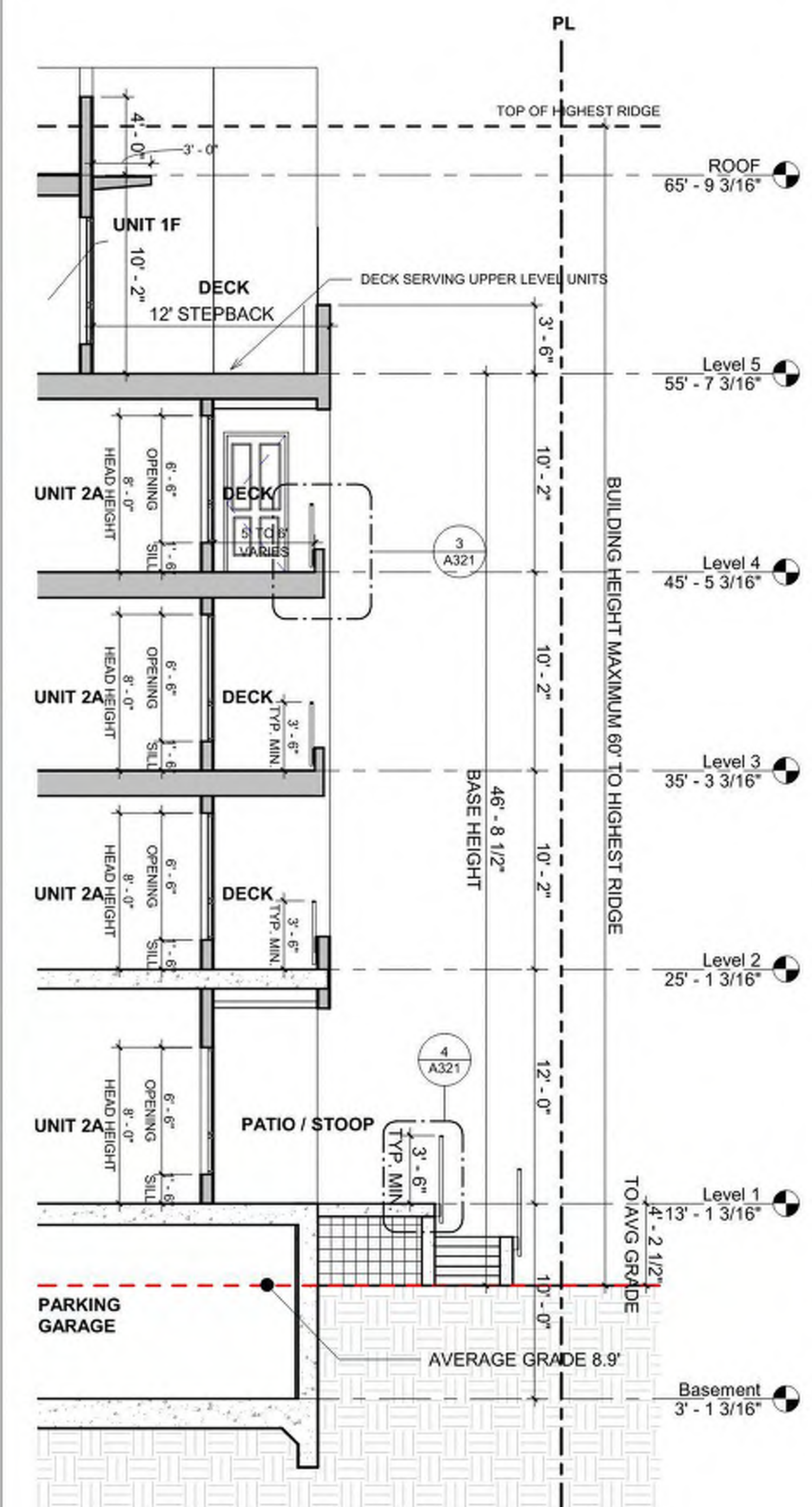


NOTE: DETAILS AND SECTIONS ARE FOR SCHEMATIC REPRESENTATION ONLY.

VERTICAL RAILING BALCONY LOW WALL SECTION 3/4" = 1'-0" 3



CONSTITUTION LEASING WALL SECTION 3/16" = 1'-0" 2



CONSTITUTION STEPBACK WALL SECTION 3/16" = 1'-0" 1

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Sheet Title:
APARTMENT
SCHEMATIC WALL
SECTIONS

Job No. 20004
Date: 6/12/2023
Scale: As indicated
Drawn By: Author

Sheet No:

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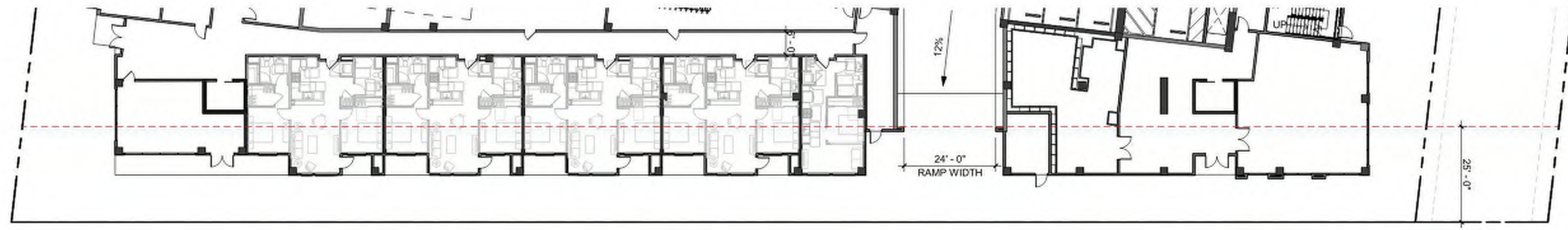
LENGTH OF BUILDING FRONTAGE: 330' - 5"
MIN. FRONTAGE ABOVE 55' - 0" : 330' - 5" X 75% = 247' - 10"
STEPBACKS MORE THAN 10' - 0" : 330' - 5" X 75% = 247' - 10"
PROPOSED STEPBACK ON UPPER STORY: 155' - 10" + 96' - 9" = 252' - 7"
 252' - 7" > 247' - 10"



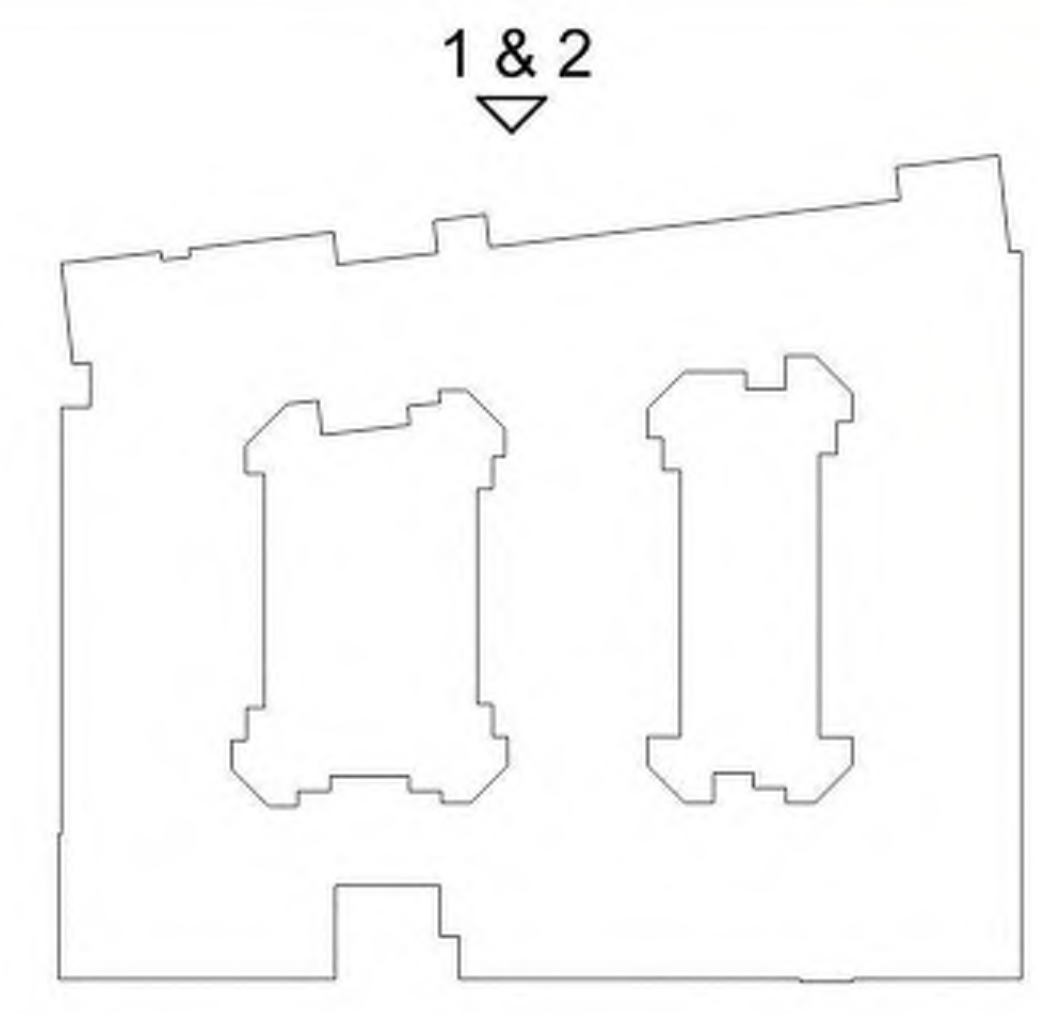
CONSTITUTION DRIVE 1" = 20'-0" 2



LENGTH OF BUILDING FRONTAGE: 328' - 8"
MIN. FRONTAGE WITHIN SETBACKS: 328' - 8" X 60% = 197' - 3"
PROPOSED FRONTAGE WITHIN SETBACKS: 196' - 9" + 96' - 0" = 292' - 9"
 292' - 0" > 197' - 3"



CONSTITUTION DRIVE 1" = 20'-0" 1



KEY MAP

Municipal Code 16.45.120 (1) - Build-to Area Requirement:
 Minimum 60% of building frontage at the ground floor, as a percentage of the street frontage length, must be located within the area of the lot between the minimum (0') and maximum (25') setback lines parallel to the street.

Project compliance:
 ✓ At least 60% of building frontage located between the minimum and maximum setback lines.

■ Portion of building frontage located between minimum and maximum setback lines
 --- Ground level height

Municipal Code 16.45.120 (2) - Minimum Stepback:
 10' for a minimum of 75% of the building face along public streets for the building's upper stories. A maximum of 25% of the building face along public streets may be expected from this standard in order to provide architectural variation.

Project compliance:
 ✓ Building steps back at least 10' for 75% of the building face on the upper stories.

■ Stepped back portion of the building
 --- 5th Level

Municipal Code 16.45.120 (2) - Building Projections:
 Maximum 6' from the required stepback for portions of the building above the ground floor.

Project compliance:
 ✓ All building projections above ground floor are within 6' from required stepback.



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 The Sobrato Organization
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Sheet Title:
 APT ZONING
 DIAGRAM
 BASE HEIGHT
 75% STEPBACK
 Job No. 20004
 Date: 6/12/2023
 Scale: As indicated
 Drawn By: Author

Sheet No:
 A401

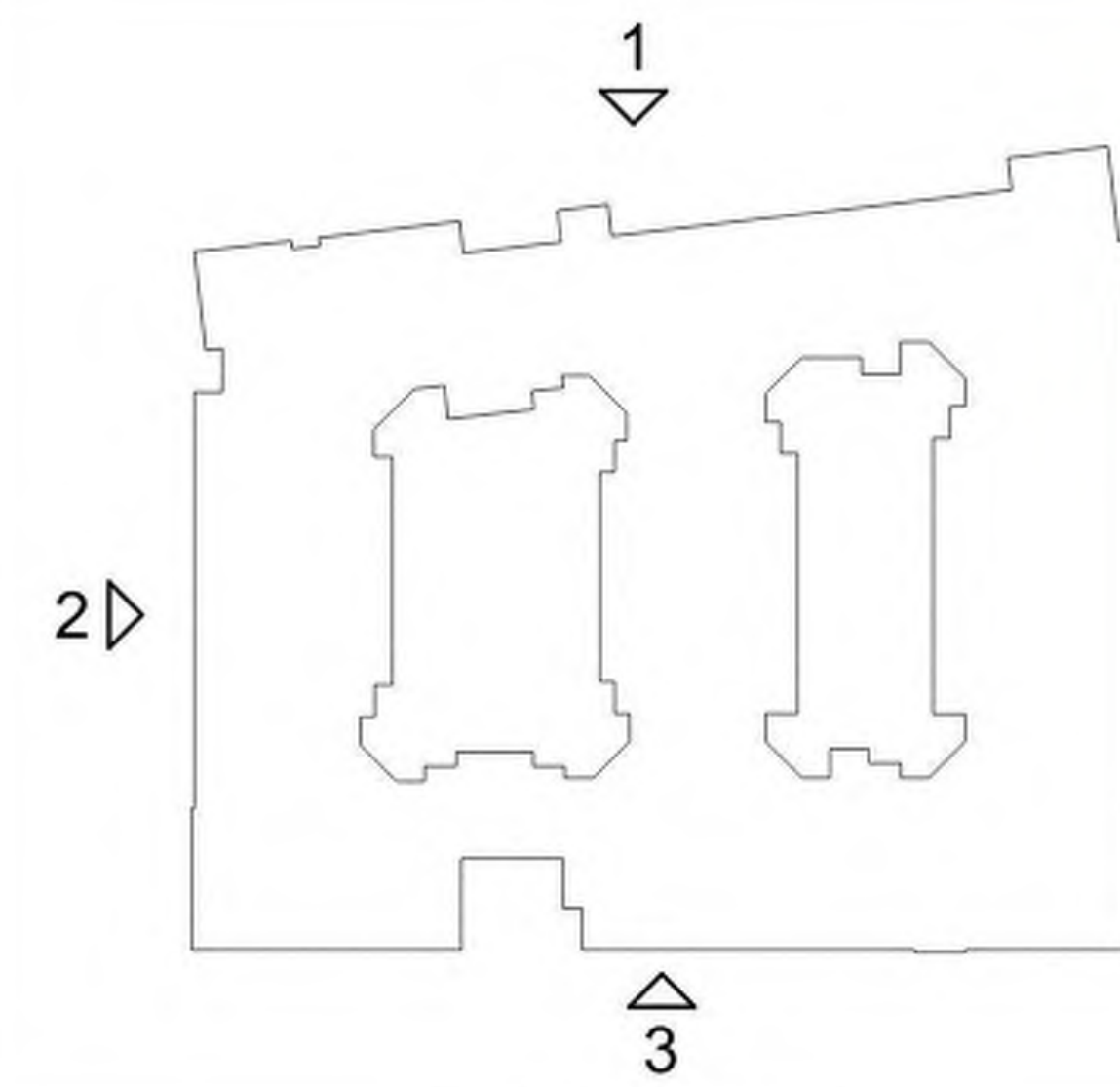


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KEY MAP

Municipal Code 16.45.120 (2) - Major Building Modulations:
Minimum one recess of 15' wide by 10' deep per 200' of facade length facing publicly accessible spaces (streets, open space, and paseo) applicable from the ground level to the top of the building's base height.

✓ **Project compliance:**
At least one major building recess provided every 200' of facade on Constitution elevation, west elevation, and south elevation.

▨ Major building recess

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APT ZONING
DIAGRAM MAJOR
BUILDING
MODULATIONS
Job No. 20004
Date: 6/12/2023
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A402



SOUTH SIDE 1" = 20'-0" 3



PASEO 1" = 20'-0" 2



CONSTITUTION DRIVE 1" = 20'-0" 1



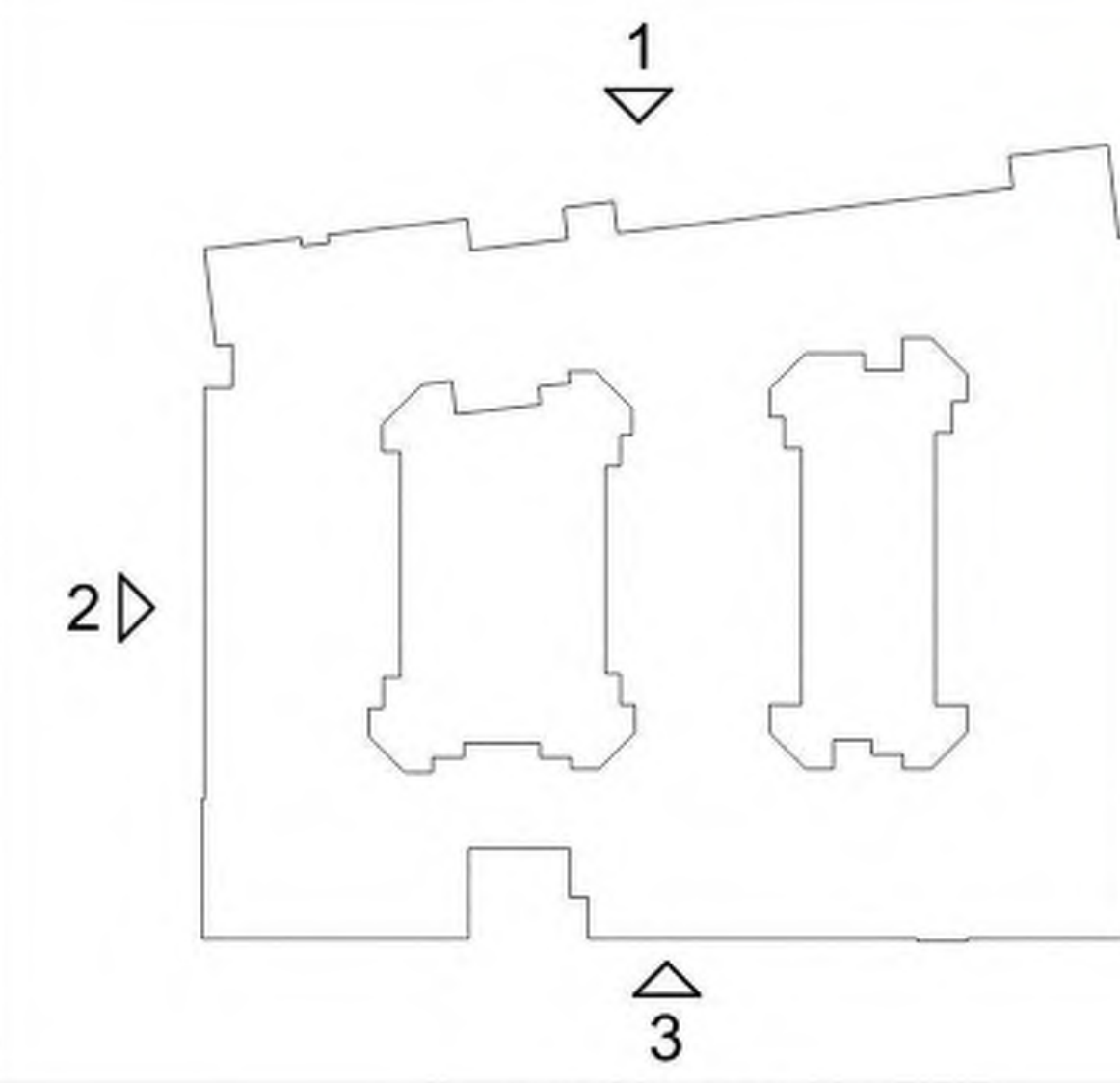
SOUTH SIDE 1" = 20'-0" 3



PASEO 1" = 20'-0" 2



CONSTITUTION DRIVE 1" = 20'-0" 1



KEY MAP

Municipal Code 16.45.120 (2) - Minor Building Modulations:
Minimum one recess of 5' wide by 5' deep per 50' of facade length facing publicly accessible spaces (streets, open space, and paseo).

Building projections spaced no more than 50' apart with a minimum of 3' depth and 5' width may satisfy this requirements in lieu of a recess.

✓ **Project compliance:**
At least one major building recess provided every 50' of facade.

▨ Minor building recess



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Sheet Title:
APT ZONING
DIAGRAM MINOR
BUILDING
MODULATIONS
Job No. 20004
Date: 6/12/2023
Scale: As indicated
Drawn By: Author

Sheet No:

A403

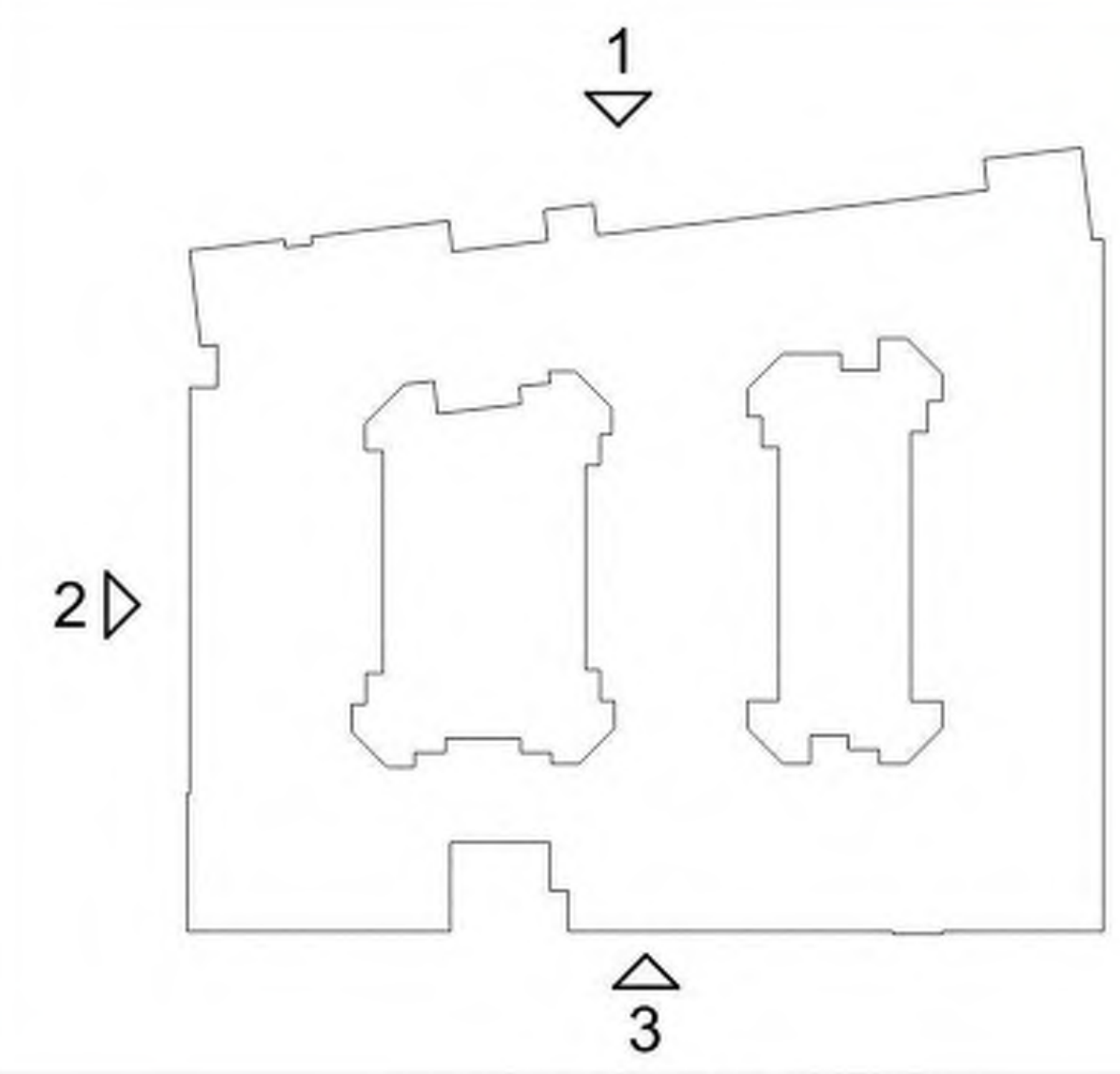


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KEY MAP

Municipal Code 16.45.120 (3) - Building Entrances:
One entrance every 100' of building length along a public street or paseo

✓ **Project compliance:**
At least one entrance is provided every 100'.

-  Building Entrance
-  Garage Opening



SOUTH SIDE 1" = 20'-0" 3



PASEO 1" = 20'-0" 2



CONSTITUTION DRIVE 1" = 20'-0" 1

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Sheet Title:
APT ZONING
DIAGRAM BUILDING
ENTRANCES

Job No. 20004
Date: 6/12/2023
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A404



MINIMUM REQUIRED GLAZING AREA: 4,080 SF X 30% = 1,224 SF
 TRANSPARENT GLAZING PROVIDED: 1,657 SF > 1,224 SF

SOUTH SIDE 1" = 20'-0" 3



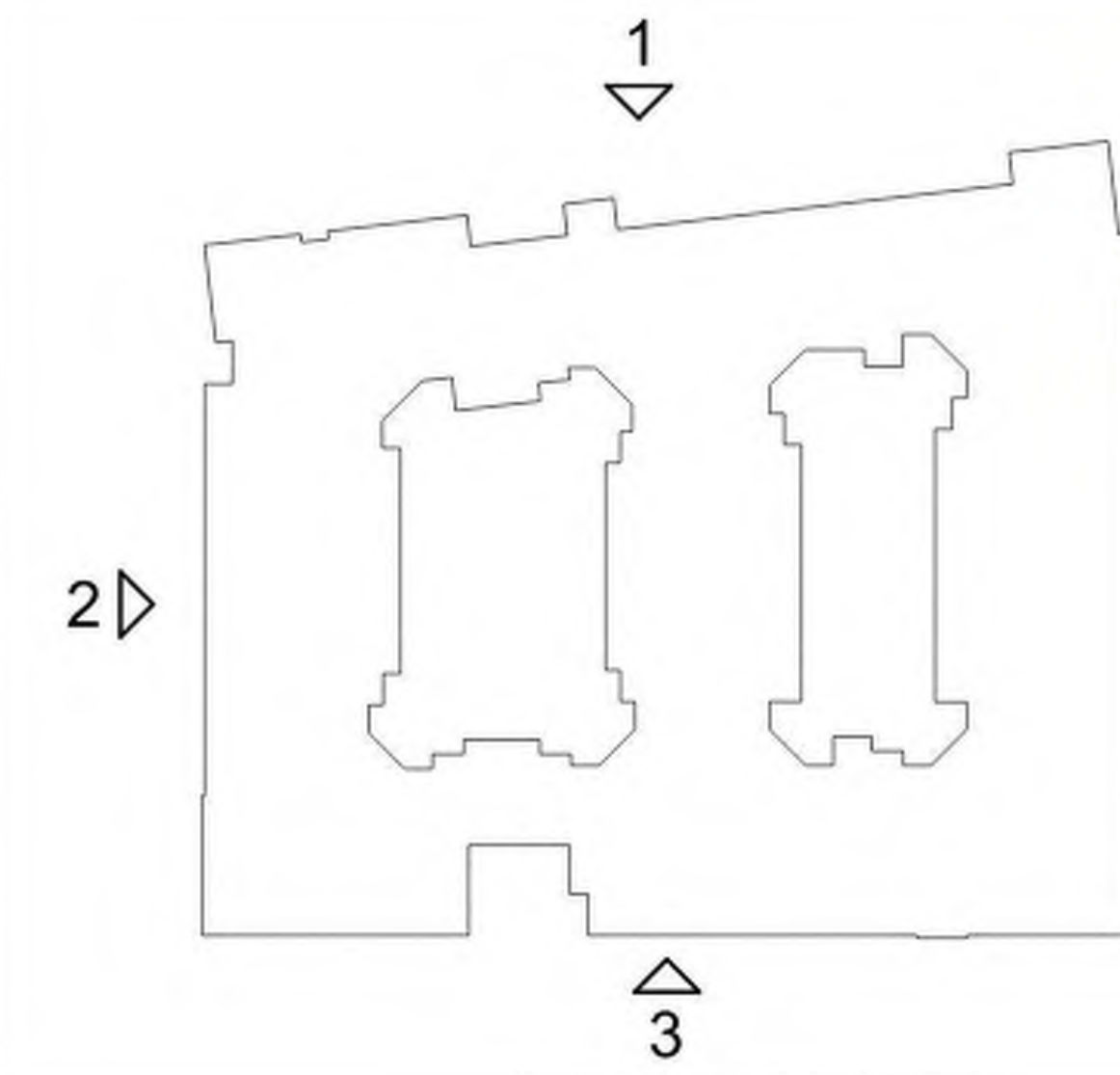
MINIMUM REQUIRED GLAZING AREA: 3,018 SF X 30% = 905 SF
 TRANSPARENT GLAZING PROVIDED: 1,245 SF > 905 SF

PASEO 1" = 20'-0" 2



MINIMUM REQUIRED GLAZING AREA: 3,966 SF X 30% = 1,190 SF
 TRANSPARENT GLAZING PROVIDED: 1,278 SF > 1,190 SF

CONSTITUTION DRIVE 1" = 20'-0" 1



KEY MAP

Municipal Code 16.45.120 (3) - Ground floor transparency:
 Minimum 30% for residential uses and 50% of commercial uses of the ground floor facade that must provide visual transparency

✓ **Project compliance:**
 Transparent glazing exceeds 30% of residential uses and 50% of commercial uses of the ground floor facade

□ Ground level transparent glazing surface

□ Ground level opaque surface

-- Ground level height

Municipal Code 16.45.120 (3) - Minimum ground floor height along street frontage:
 10' for residential uses

✓ **Project compliance:**
 The ground level is 10'-0".

-- Ground level height



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Sheet Title:
APT ZONING
DIAGRAM GLAZING

Job No. 20004
 Date: 6/12/2023
 Scale: As indicated
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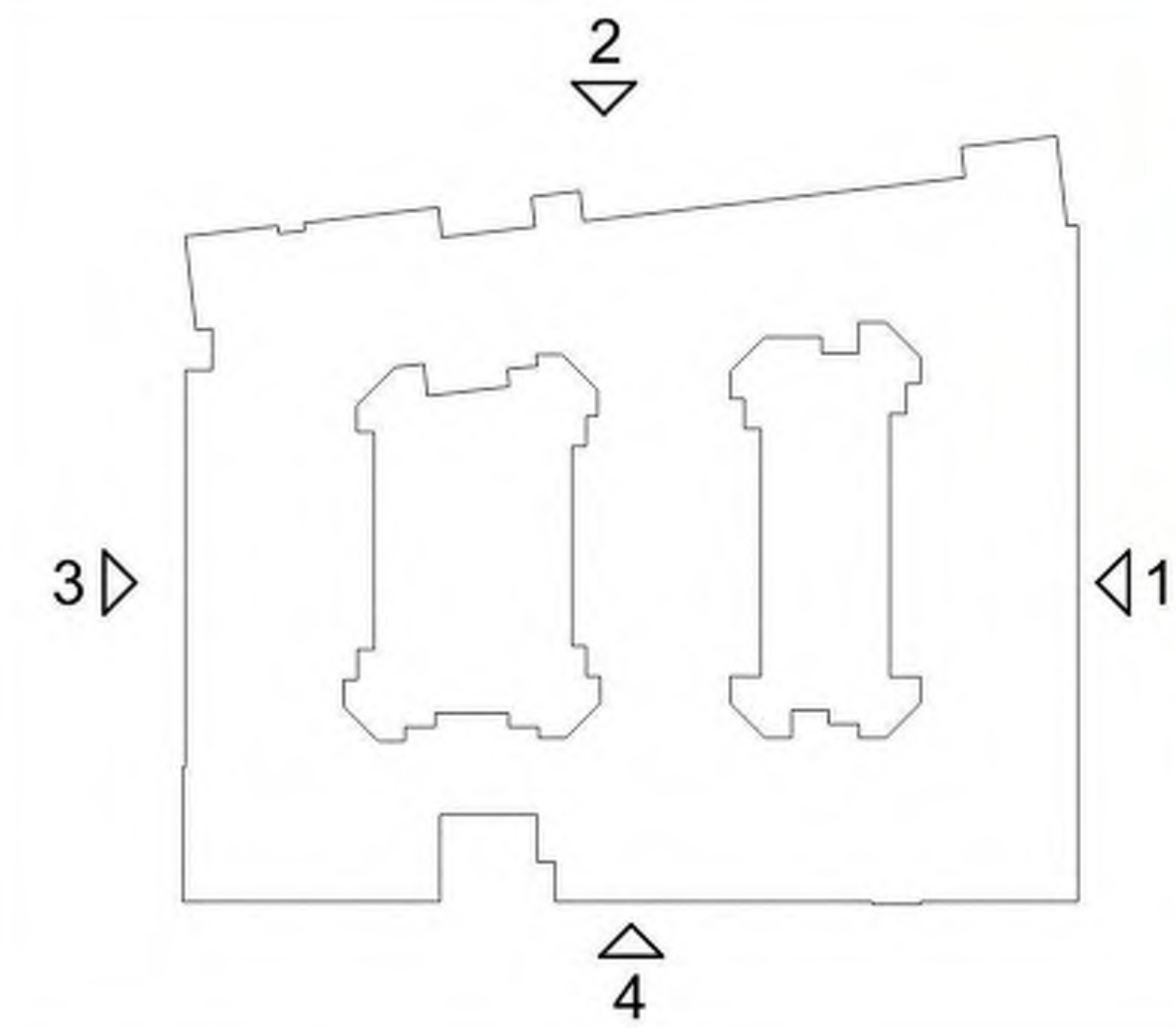
Sheet No:

A405



MAXIMUM WALL AREA OF STUCCO = 19,337 SF 19,337 SF X 50% = 9,669 SF
 WALL AREA OF STUCCO PROVIDED = 5,012 SF 5,012 SF < 9,669 SF

SOUTH SIDE 1" = 20'-0" 4



KEY MAP



MAXIMUM WALL AREA OF STUCCO = 14,649 SF 14,649 SF X 50% = 7,325 SF
 WALL AREA OF STUCCO PROVIDED = 4,376 SF 4,376 SF < 7,325 SF

PASEO 1" = 20'-0" 3

Municipal Code 16.45.120 (6) - Building Materials:
 Stucco shall not be used on more than 50% of the building facade.

✓ **Project compliance:**
 Use of stucco is less than 50% of the building facade.

- Stucco
- Edge of building



MAXIMUM WALL AREA OF STUCCO = 20,907 SF 20,907 SF X 50% = 10,454 SF
 WALL AREA OF STUCCO PROVIDED = 6,141 SF 6,141 SF < 10,454 SF

CONSTITUTION DRIVE 1" = 20'-0" 2



MAXIMUM WALL AREA OF STUCCO = 16,485 SF 16,485 SF X 50% = 8,243 SF
 WALL AREA OF STUCCO PROVIDED = 5,605 SF 5,605 SF < 8,243 SF

EAST SIDE 1" = 20'-0" 1



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Sheet Title:
APT ZONING
DIAGRAM
PERCENTAGE
STUCCO

Job No. 20004
 Date: 6/12/2023
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A406



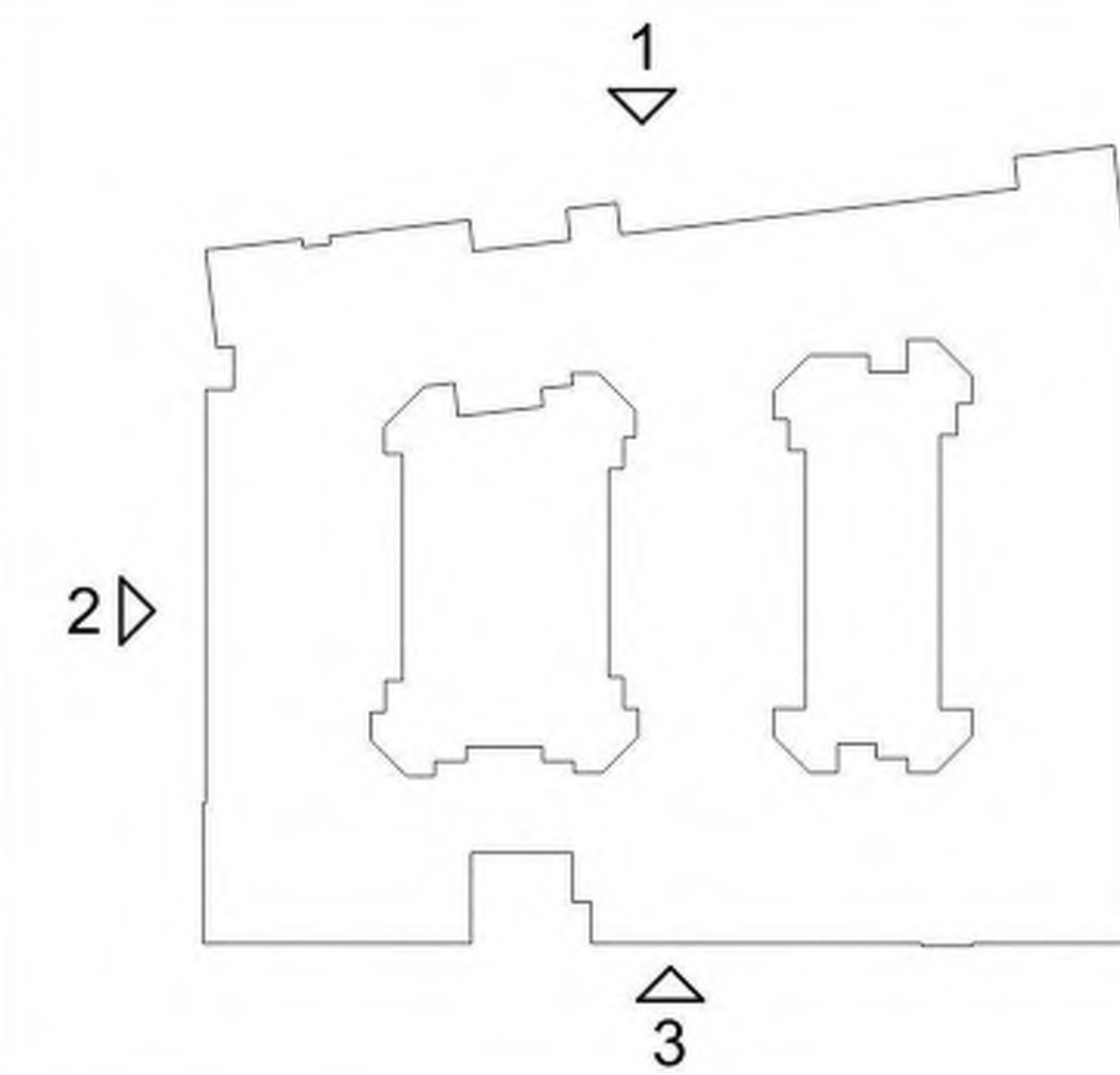
SOUTH SIDE 1" = 20'-0" 3



PASEO 1" = 20'-0" 2



CONSTITUTION DRIVE 1" = 20'-0" 1



KEY MAP

Municipal Code 16.45.120 (3) - Awnings, Signs and Canopies:
Maximum 7' horizontal projection

- ✓ **Project compliance:**
All awnings and canopies project less than 7' horizontally from face of building. A minimum vertical clearance of 8' from finished grade to the bottom of the projection is required.

Projecting awnings and canopies

Municipal Code 16.45.120 (6) - Roof Line:
Roof lines and eaves adjacent to street-facing facade shall vary across a building, including a four-foot minimum height modulation to break visual monotony and create a visually interesting skyline as seen from public streets.

- ✓ **Project compliance:**
Roof line varies across the building, including a four-foot minimum height modulation.

— Roof Line



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Sheet Title:
**APT ZONING
DIAGRAM ROOF LINE**

Job No. 20004
Date: 6/12/2023
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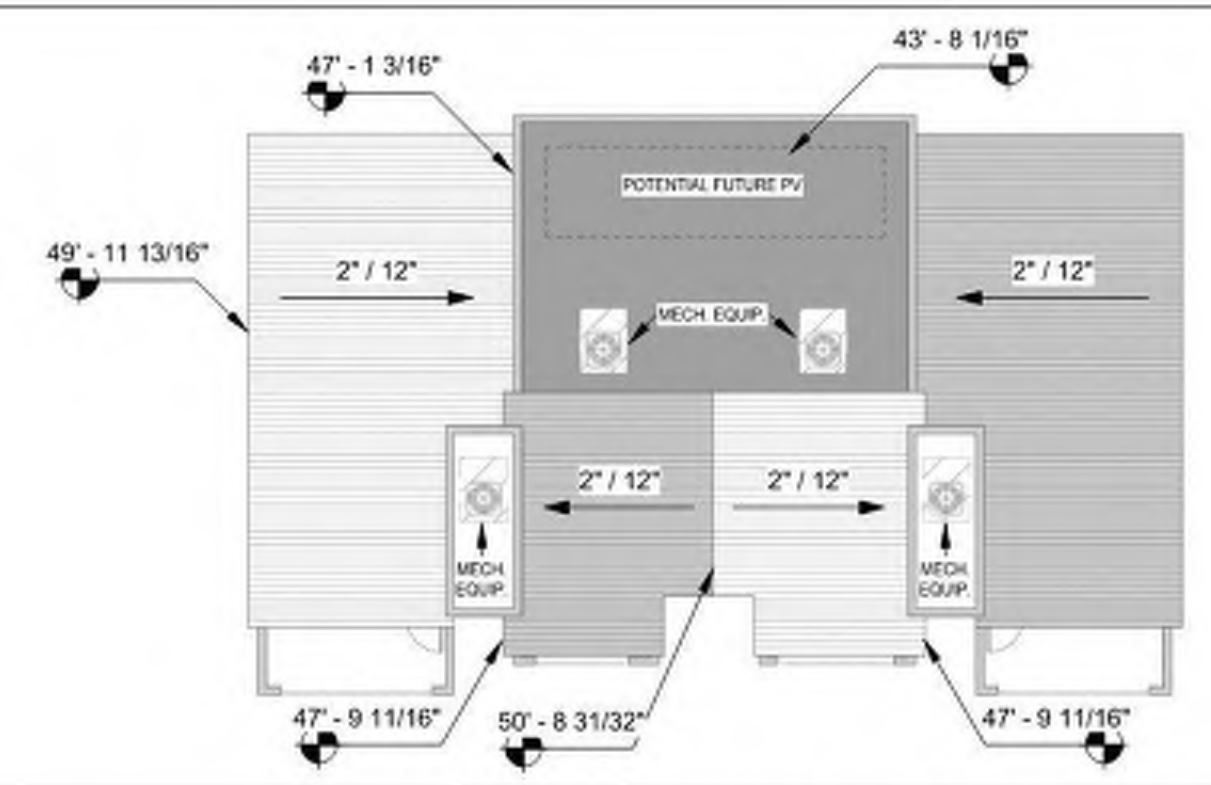


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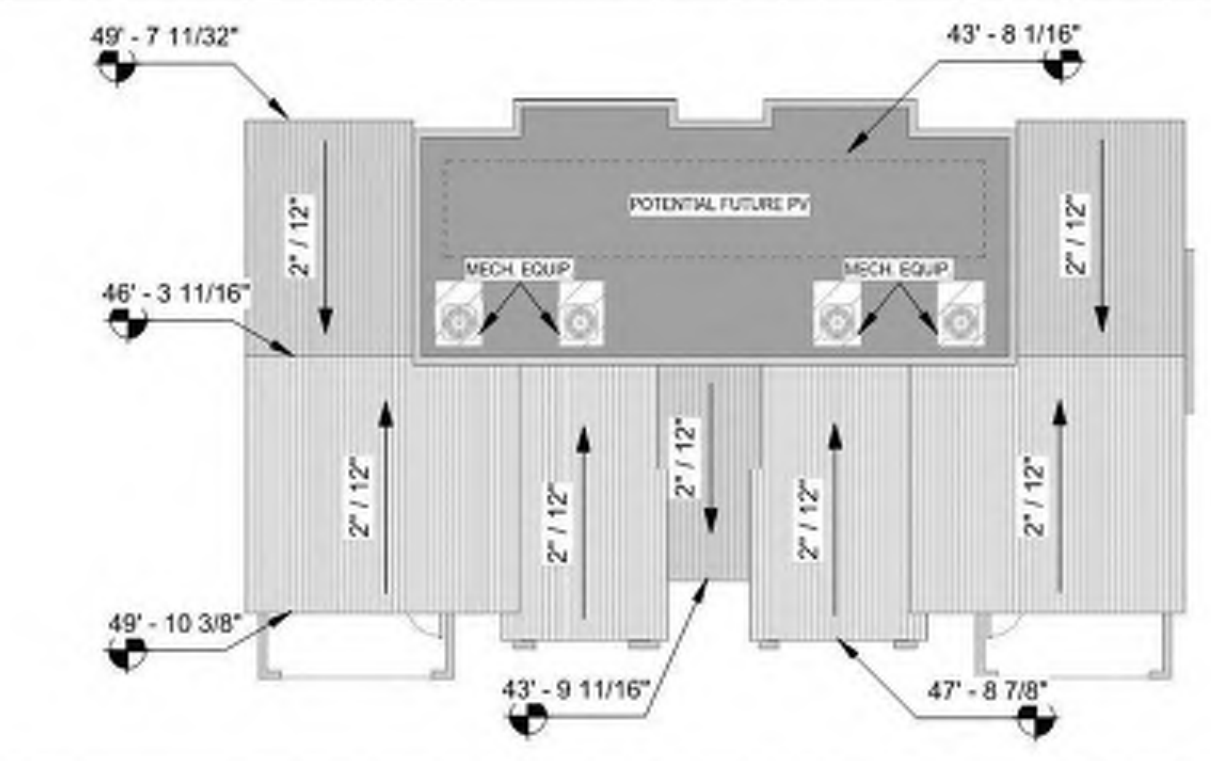
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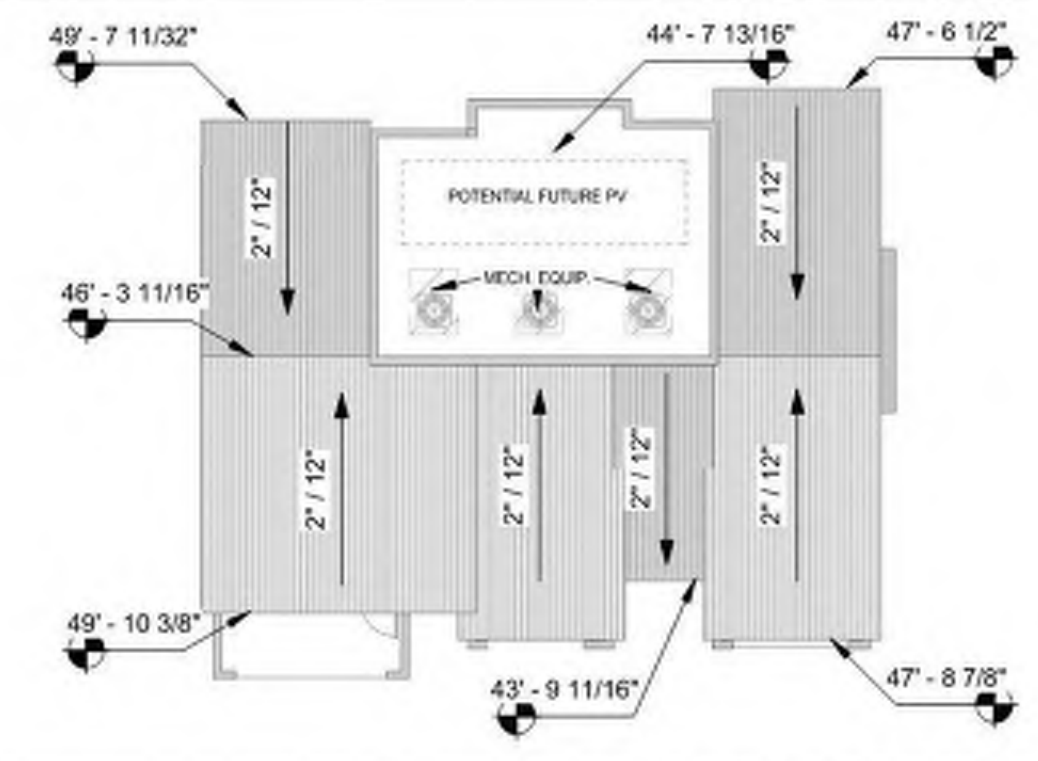
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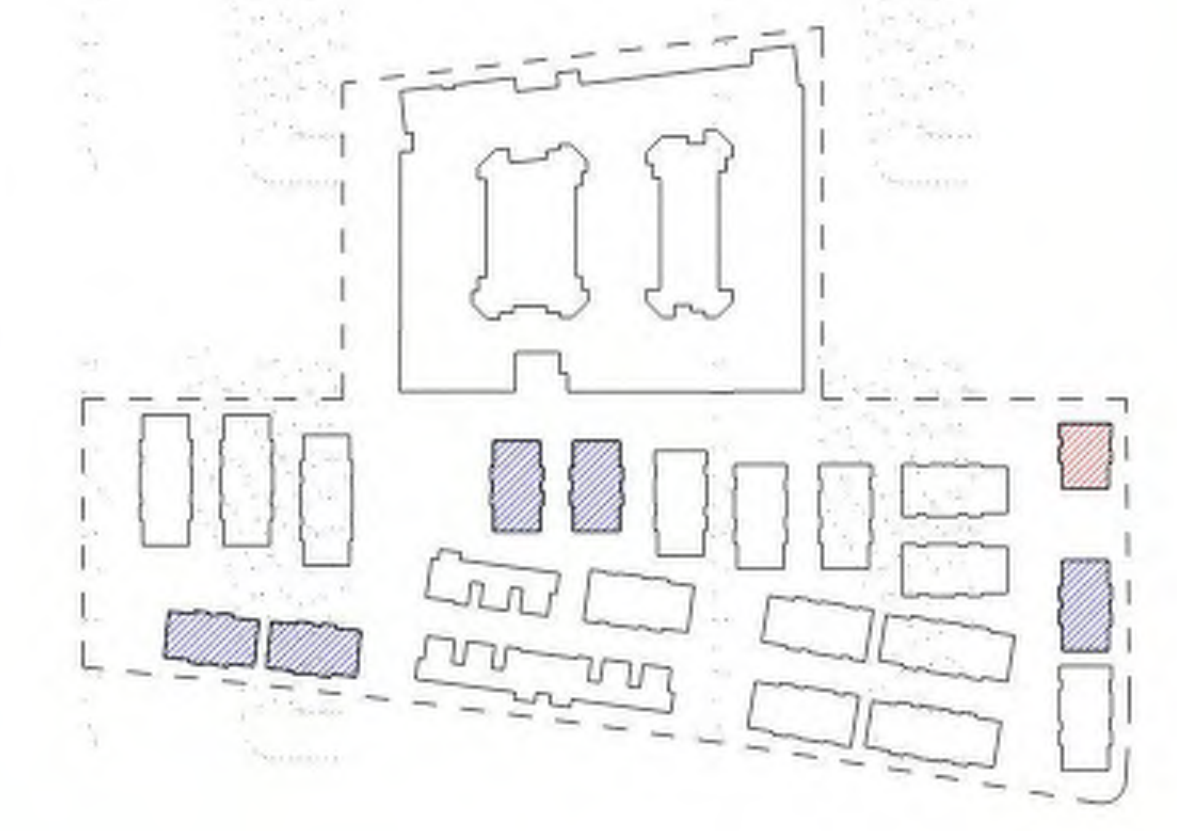
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4-PLEX MARKET-RATE TOWNHOME ROOF A 1/16" = 1'-0" 9

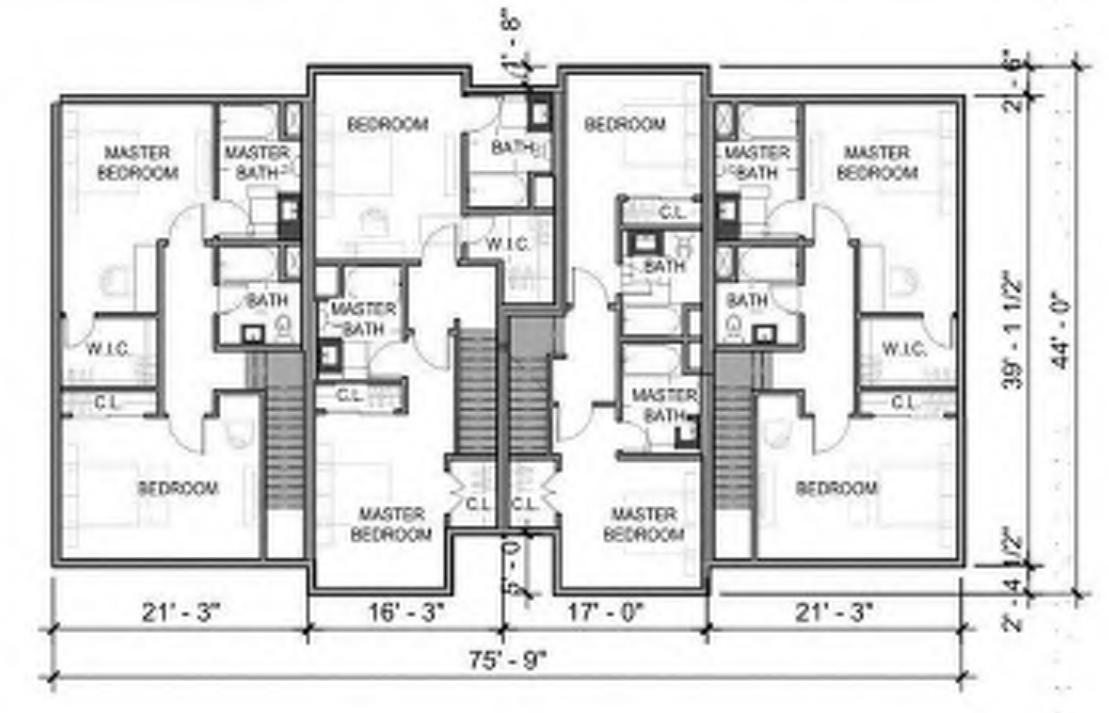


3-PLEX MARKET-RATE TOWNHOME ROOF A 1/16" = 1'-0" 4



3-PLEX TOWNHOME
4-PLEX TOWNHOME

KEY MAP



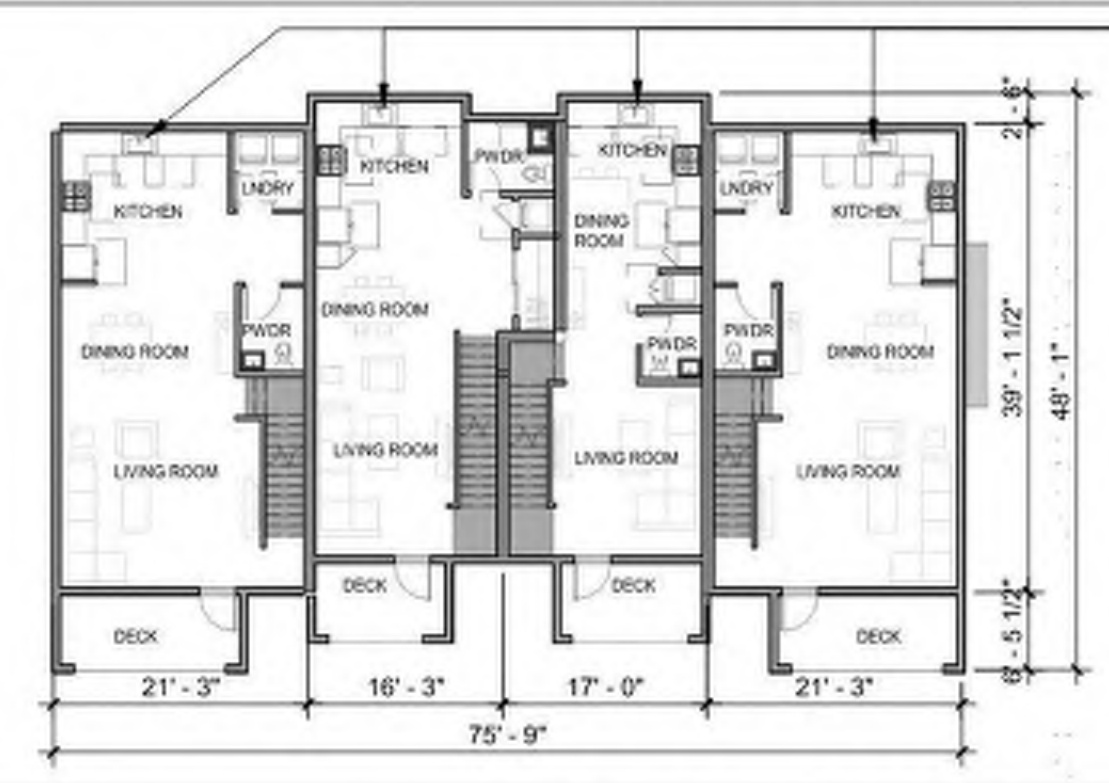
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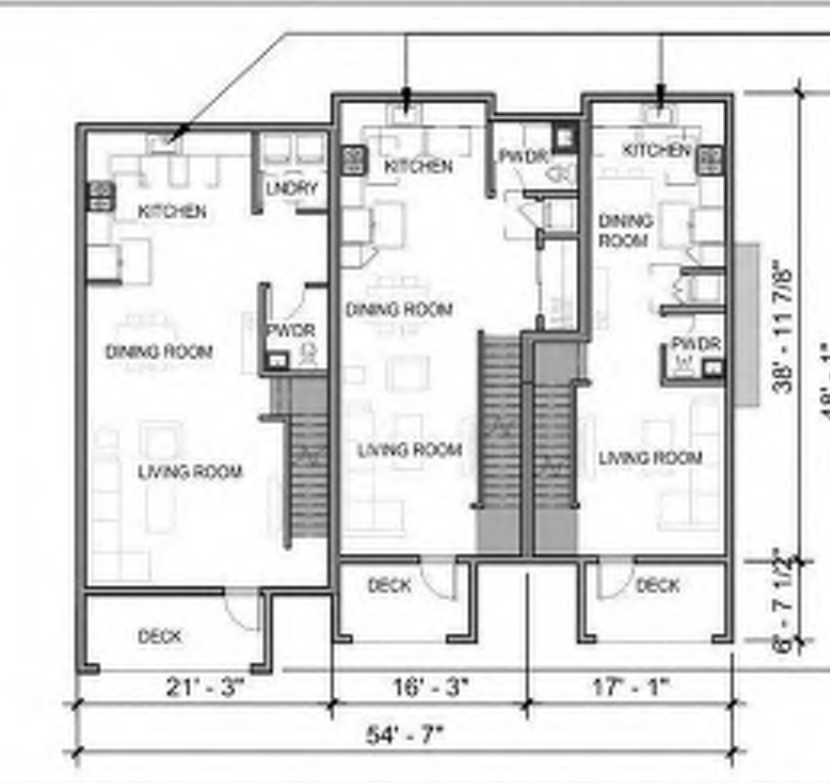
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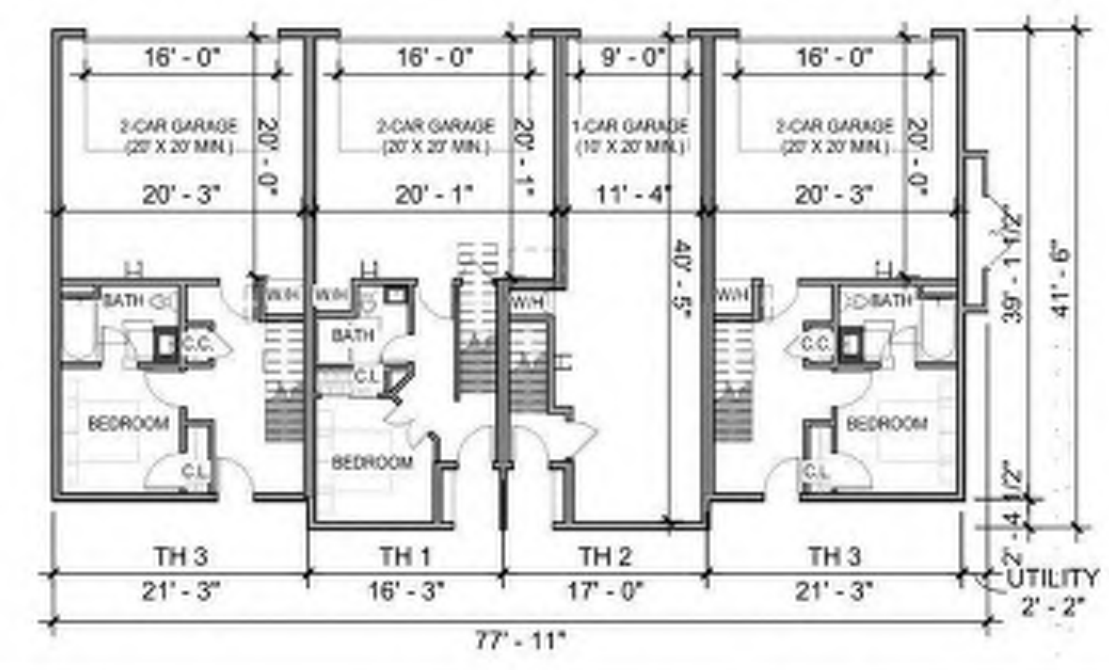
TOWNHOMES BIKE STORAGE:
DERO WALL RACK OR SIMILAR STORES UP TO (2) TWO BIKES AND IS FULLY U-LOCK COMPATIBLE.



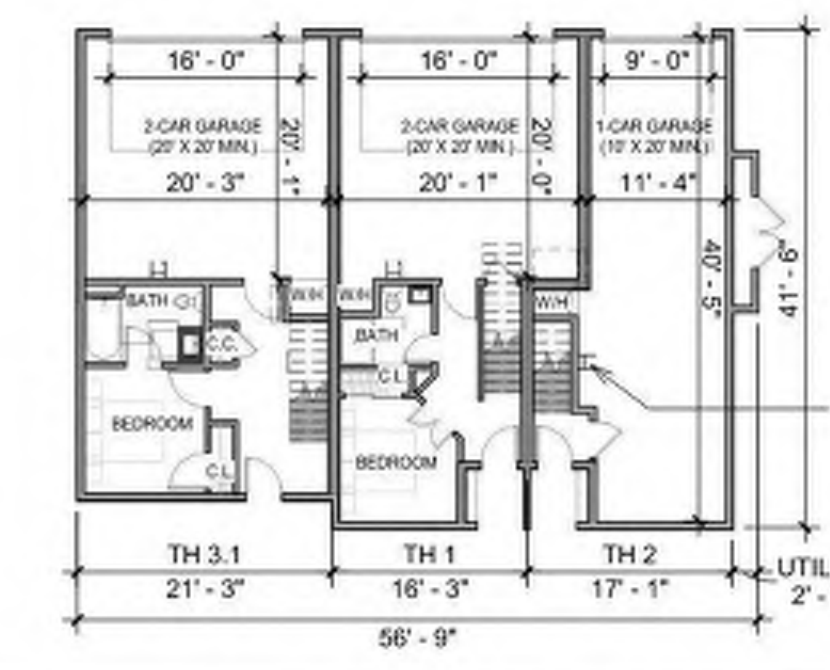
4-PLEX MARKET-RATE TOWNHOME L2 1/16" = 1'-0" 7



3-PLEX MARKET-RATE TOWNHOME L2 1/16" = 1'-0" 2



4-PLEX MARKET-RATE TOWNHOME L1 1/16" = 1'-0" 6



3-PLEX MARKET-RATE TOWNHOME L1 1/16" = 1'-0" 1

TOWNHOME AREA SUMMARY (GROSS FLOOR AREA CALCULATIONS)		
TOWNHOME TYPE	3-PLEX	4-PLEX
COUNT	1	5
LEVEL 1	755 SF	1,140 SF
LEVEL 2	2,118 SF	2,947 SF
LEVEL 3	2,125 SF	2,955 SF
UTILITY BOX	29 SF	29 SF
PER BUILDING	5,027 SF	7,072 SF
TOTAL (INCLUDED IN FAR)	5,027 SF	35,358 SF
DECK PER TYPE	267 SF	371 SF
DECK TOTAL	267 SF	1,854 SF
GARAGE (NOT IN FAR)	1,408 SF	1,850 SF
GARAGE TOTAL	1,408 SF	9,252 SF

AREA SUMMARY

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Sheet Title:
TOWNHOMES
BUILDING PLANS
3-PLEX AND 4-PLEX

Job No. 20004
Date: 6/12/2023
Scale: As indicated
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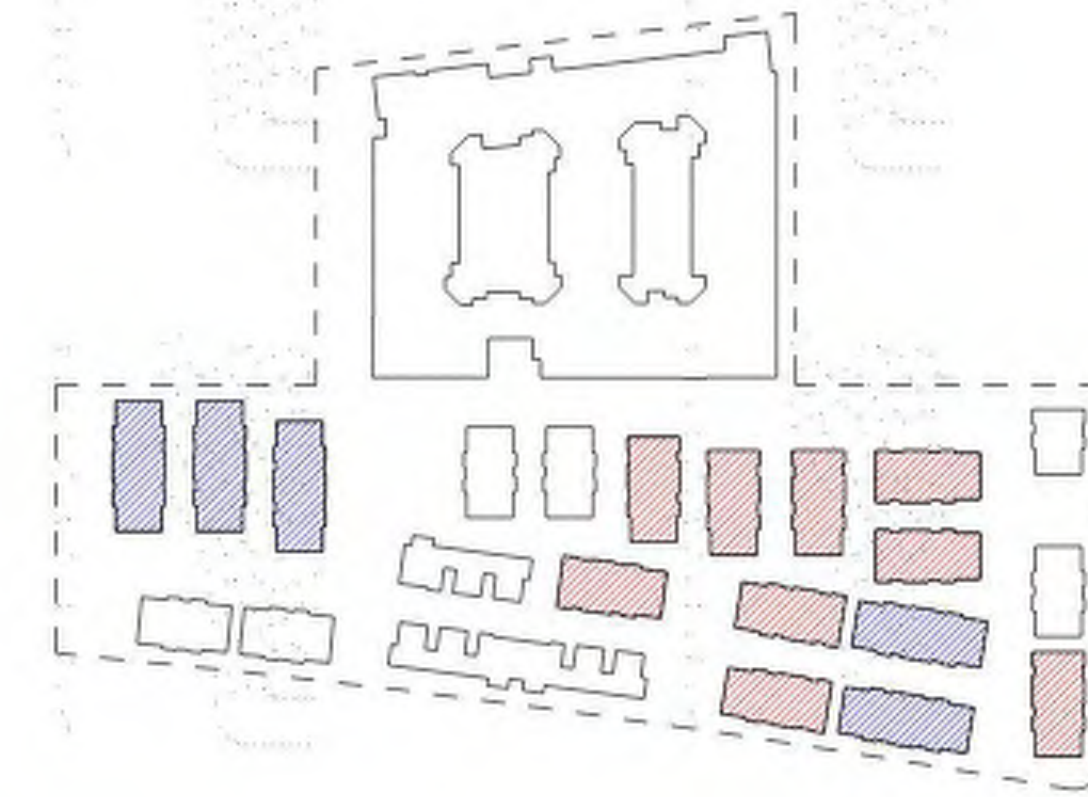


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5-PLEX TOWNHOME
6-PLEX TOWNHOME

KEY MAP

*SPOT ELEVATIONS ARE MEASURED TO 0' SEA LEVEL. AVERAGE NATURAL GRADE PLANE IS 8.9'. ACTUAL BUILDING HEIGHT IS 8.9' LESS THAN THE SPOT ELEVATIONS.



TOWNHOMES BIKE STORAGE:
DERO WALL RACK OR SIMILAR STORES UP TO (2) TWO BIKES AND IS FULLY U-LOCK COMPATIBLE.

TOWNHOME AREA SUMMARY (GROSS FLOOR AREA CALCULATIONS)		
TOWNHOME TYPE	5-PLEX	6-PLEX
COUNT	9	5
LEVEL 1	1,131 SF	1,520 SF
LEVEL 2	3,403 SF	4,231 SF
LEVEL 3	3,419 SF	4,248 SF
UTILITY BOX	29 SF	29 SF
PER BUILDING	7,982 SF	10,029 SF
TOTAL (INCLUDED IN FAR)	71,842 SF	50,143 SF
DECK PER TYPE	431 SF	534 SF
DECK TOTAL	3,876 SF	2,670 SF
GARAGE (NOT IN FAR)	2,359 SF	2,799 SF
GARAGE TOTAL	21,227 SF	13,993 SF

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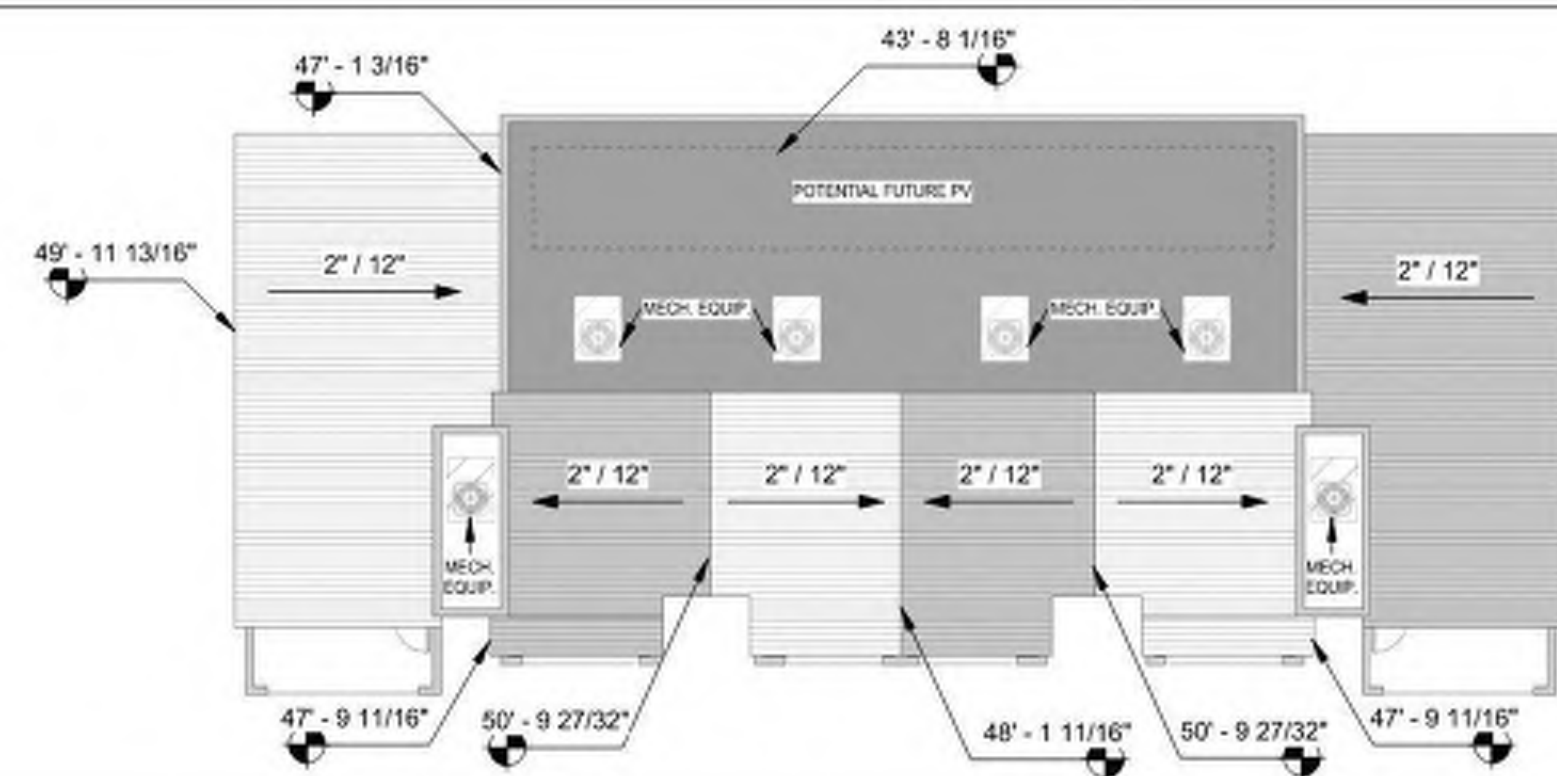
Sheet Title:
TOWNHOMES
BUILDING PLANS
5-PLEX AND 6-PLEX

Job No. 20004
Date: 6/12/2023
Scale: As indicated
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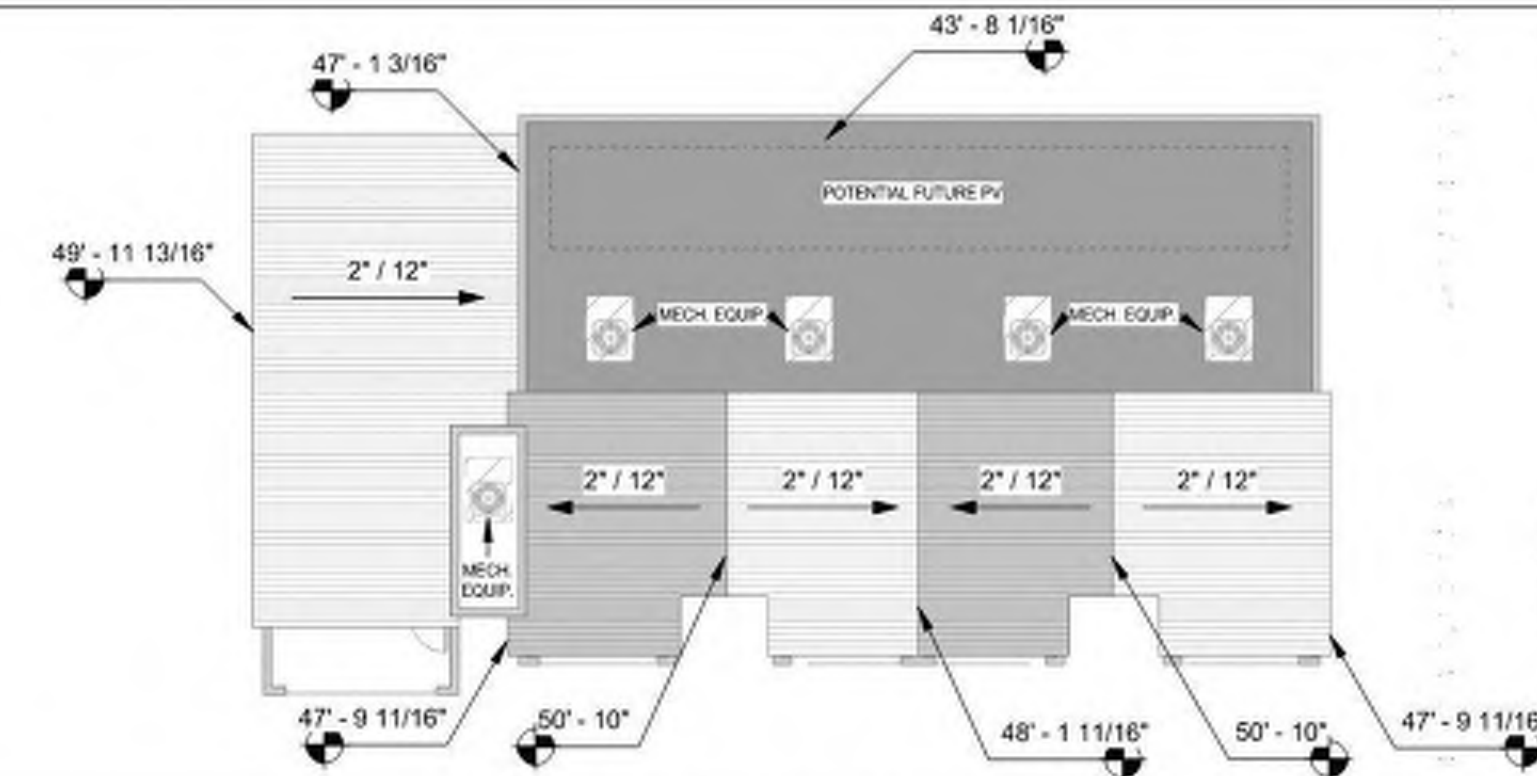
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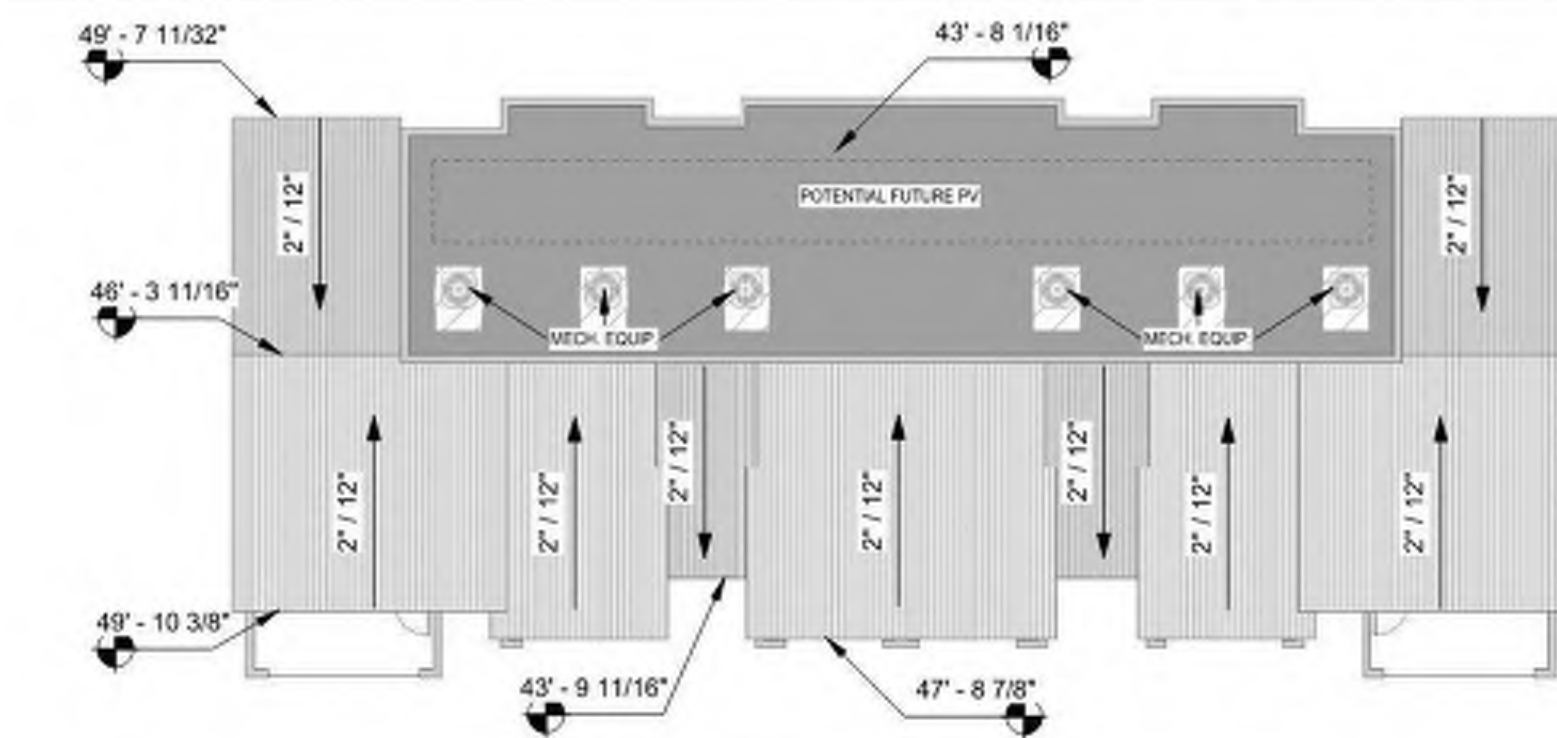
AREA SUMMARY



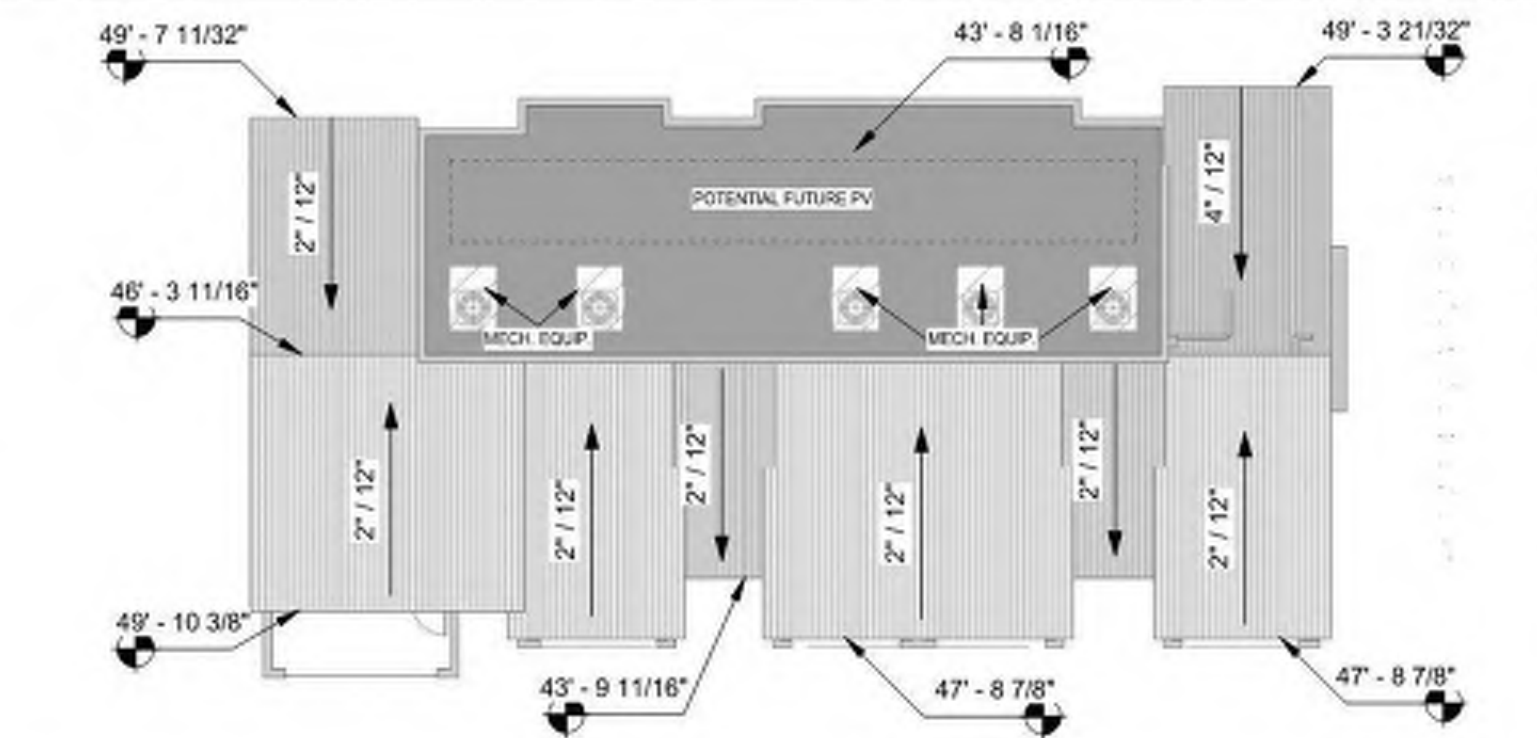
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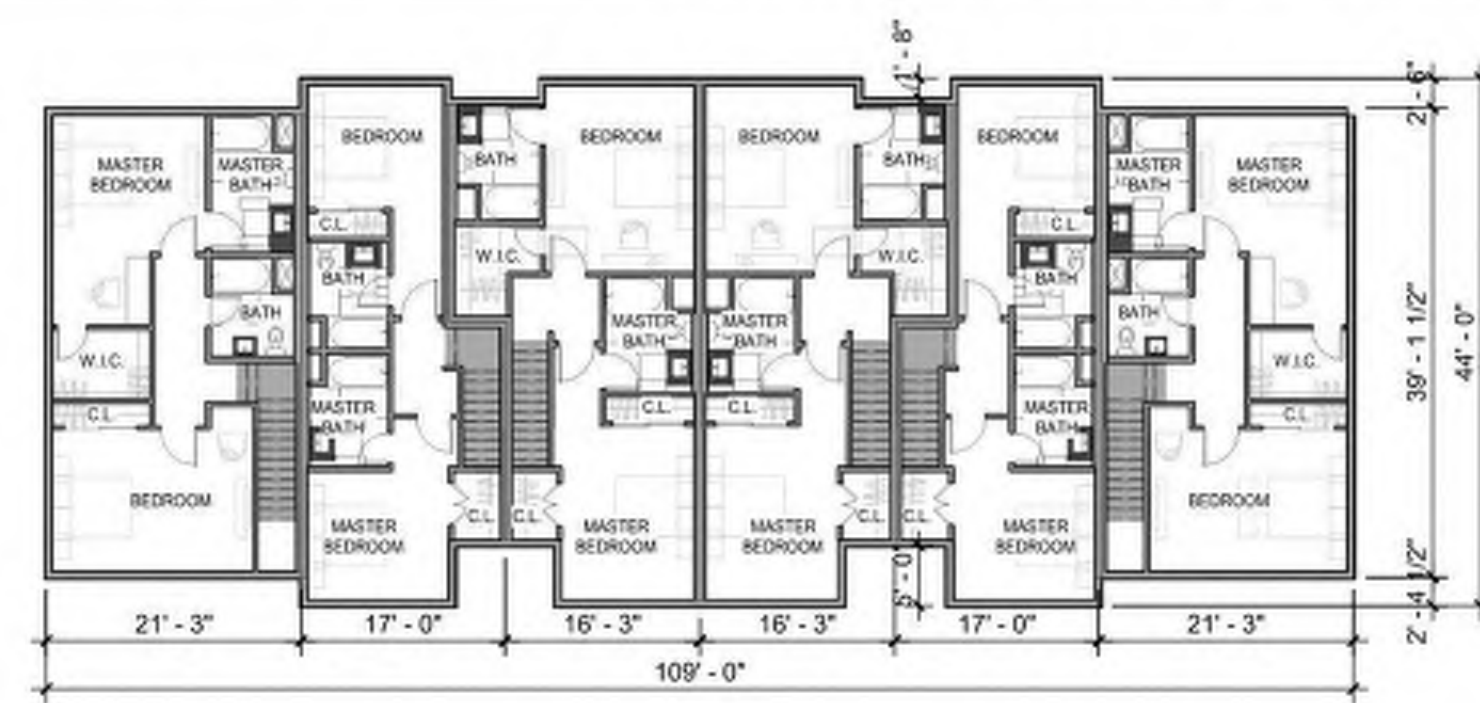
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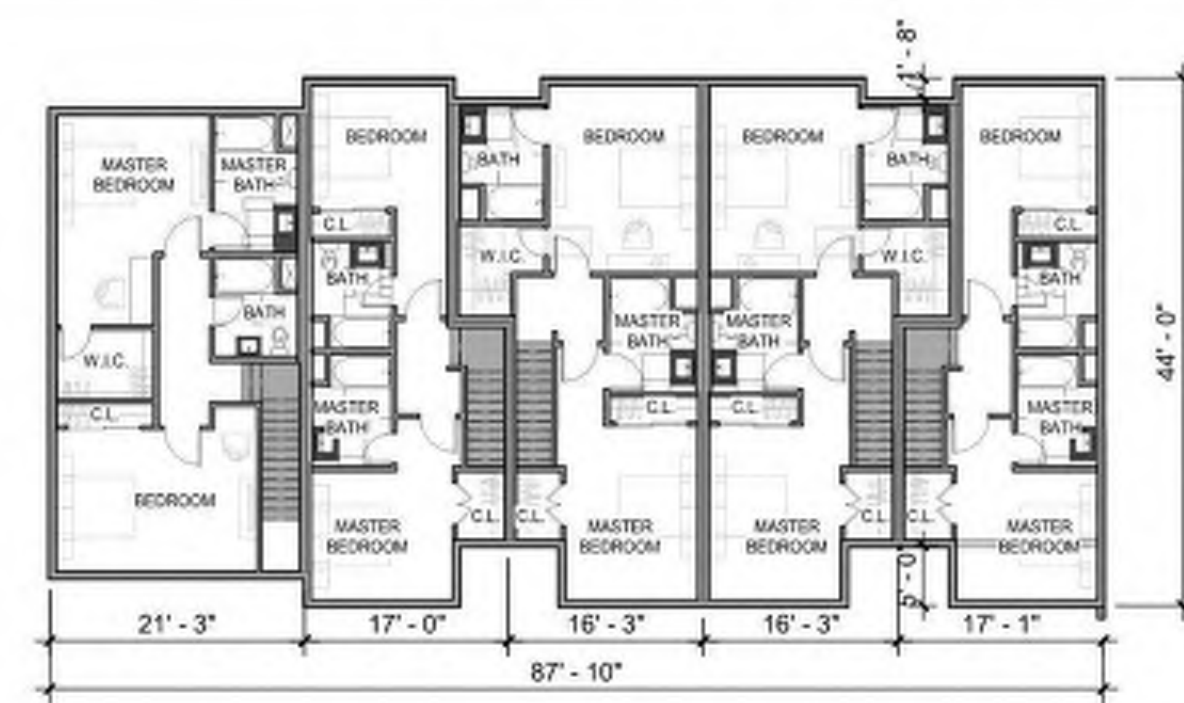
6-PLEX MARKET-RATE TOWNHOME ROOF A 1/16" = 1'-0" 9



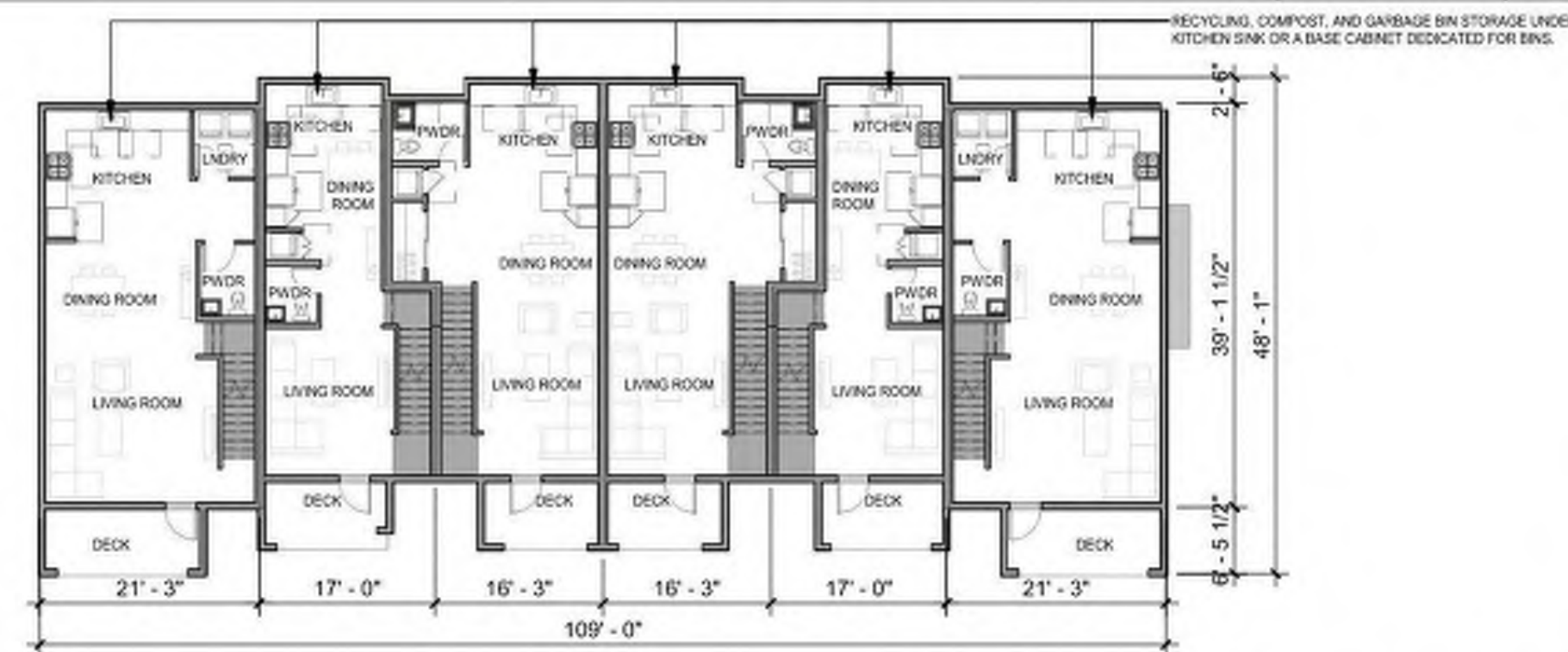
5-PLEX MARKET-RATE TOWNHOME ROOF A 1/16" = 1'-0" 4



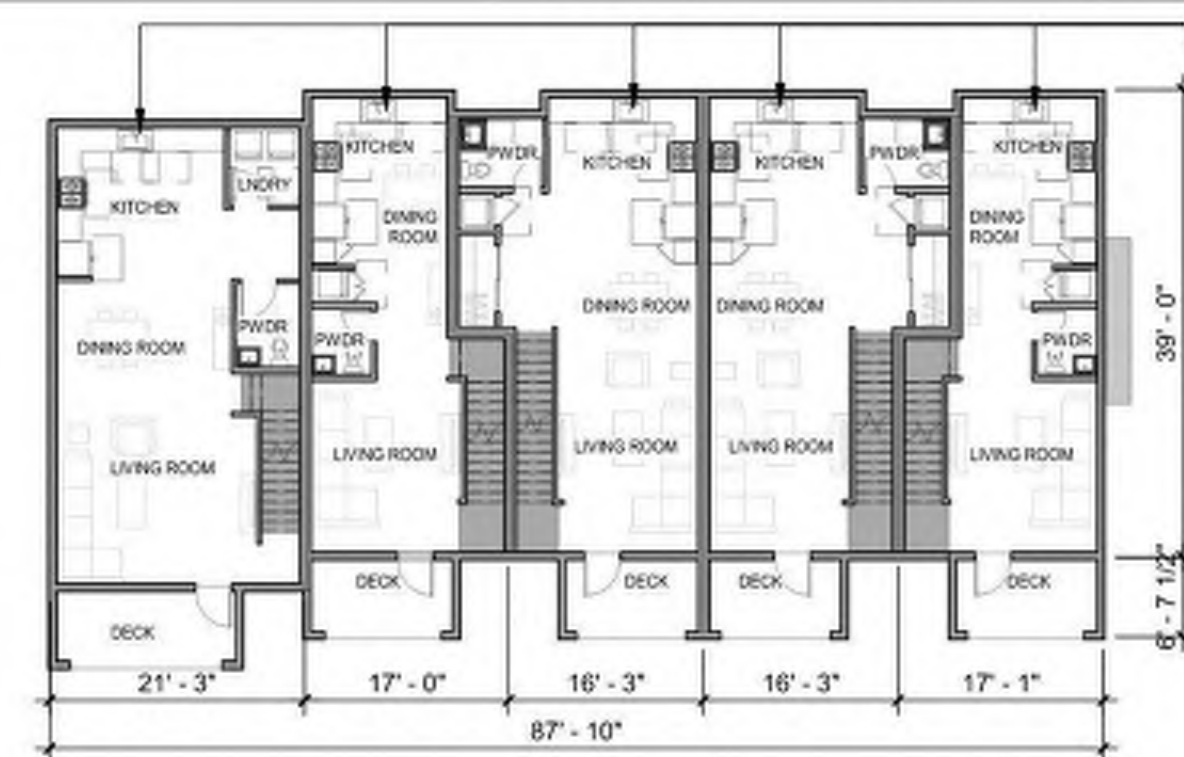
6-PLEX MARKET-RATE TOWNHOME L3 1/16" = 1'-0" 8



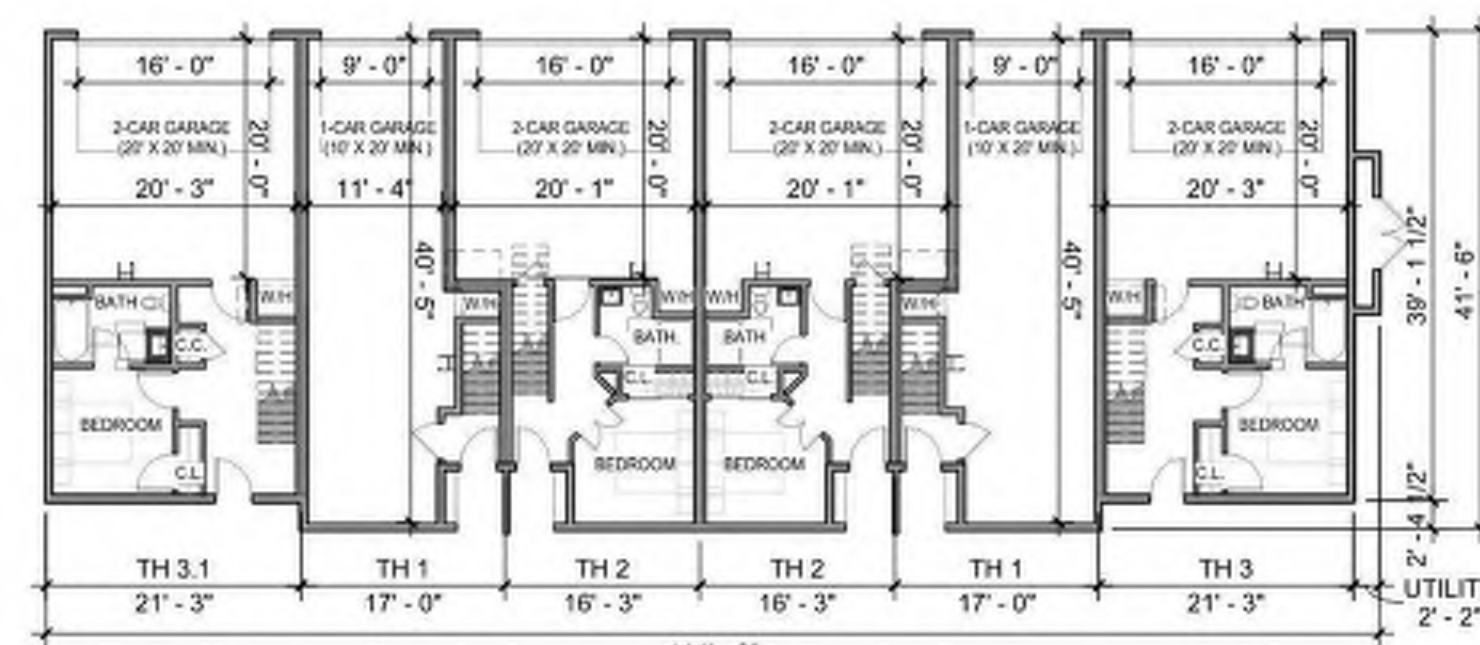
5-PLEX MARKET-RATE TOWNHOME L3 1/16" = 1'-0" 3



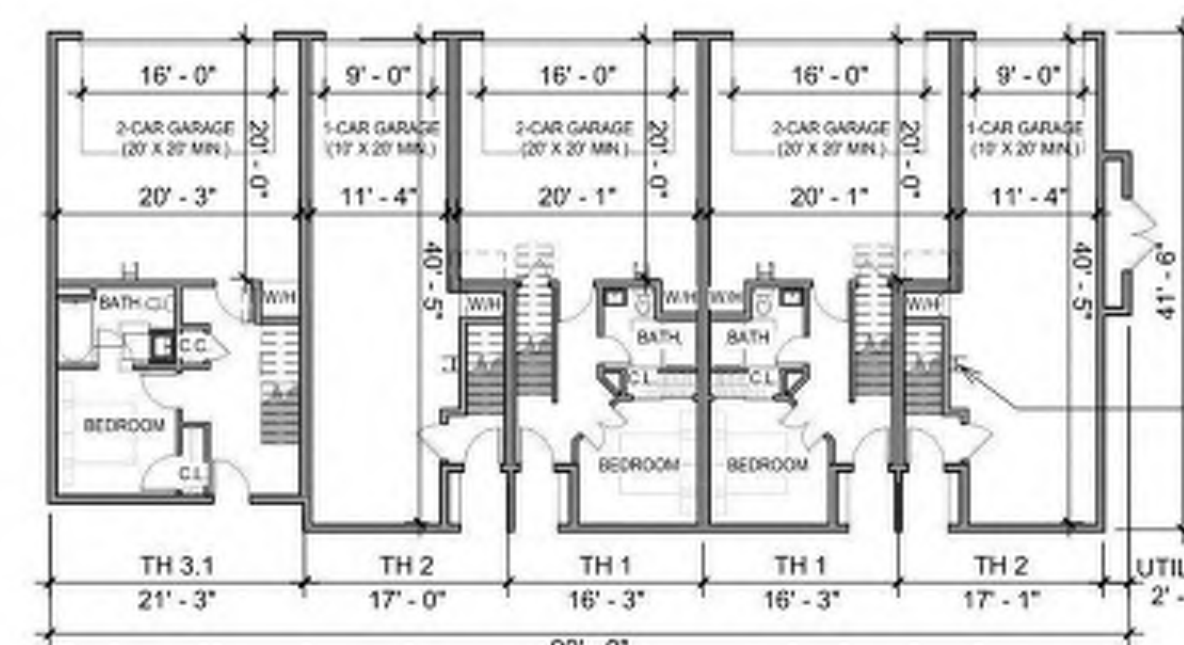
6-PLEX MARKET-RATE TOWNHOME L2 1/16" = 1'-0" 7



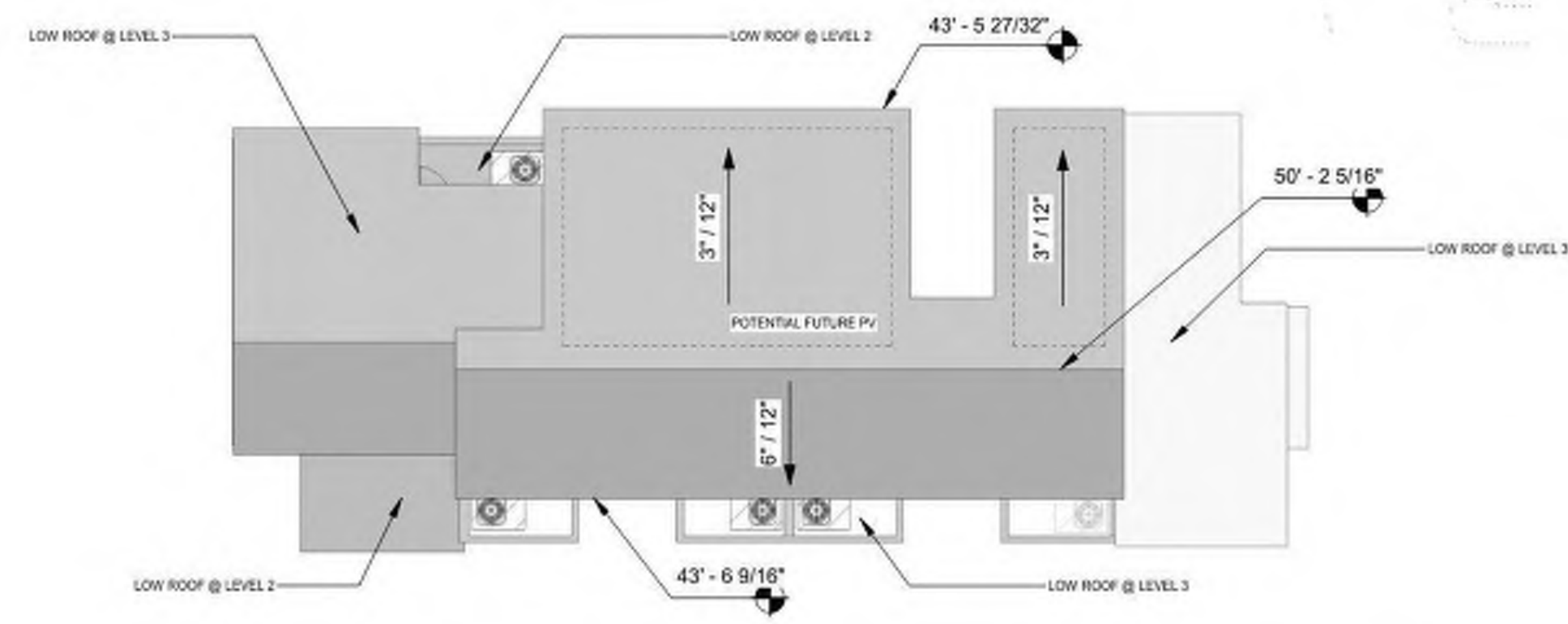
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6-PLEX MARKET-RATE TOWNHOME L1 1/16" = 1'-0" 6

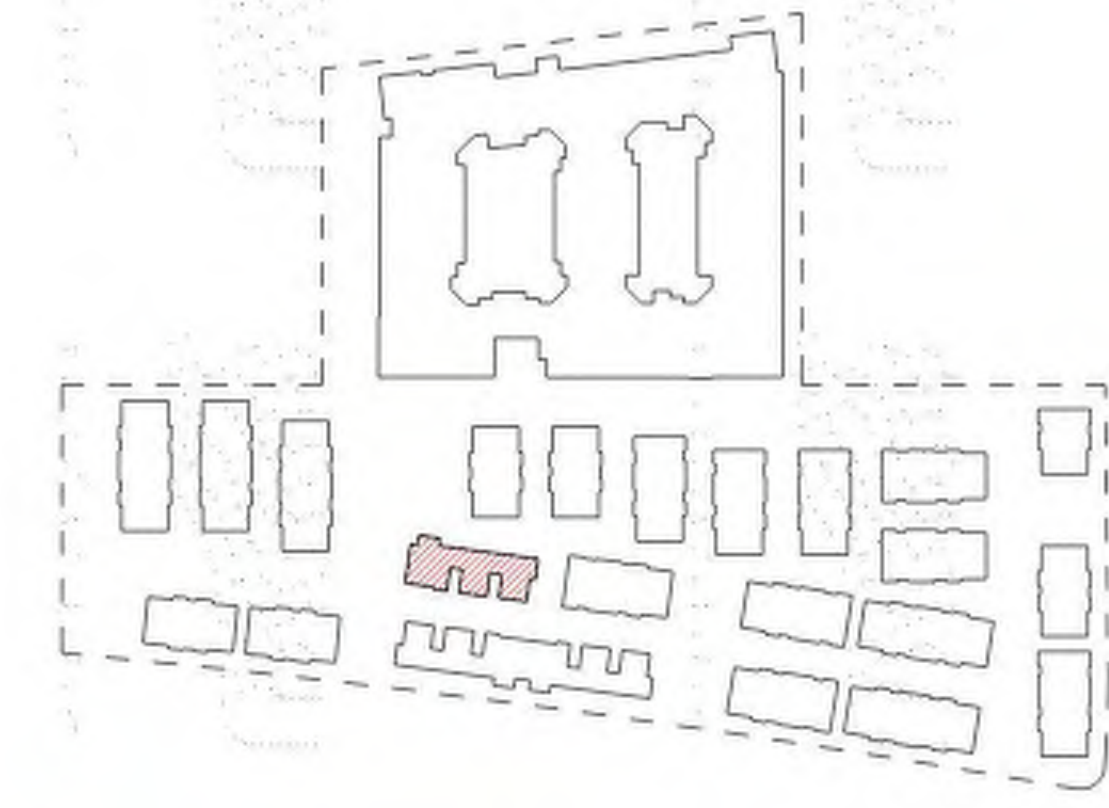


5-PLEX MARKET-RATE TOWNHOME L1 1/16" = 1'-0" 1



6-PLEX AFFORDABLE TOWNHOME ROOF A

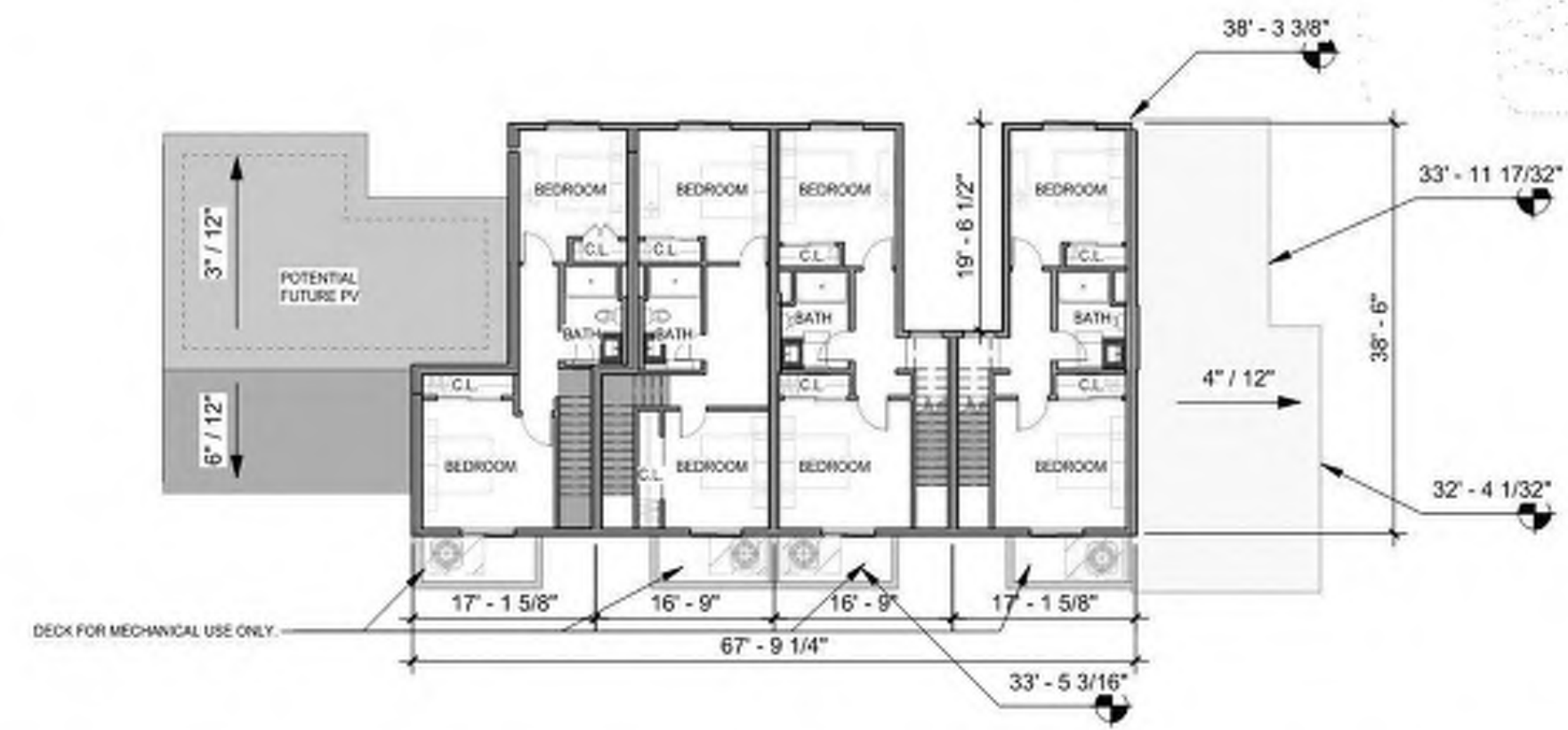
1/16" = 1'-0" 4



6-PLEX TOWNHOME

KEY MAP

*SPOT ELEVATIONS ARE MEASURED TO 0' SEA LEVEL. AVERAGE NATURAL GRADE PLANE IS 8.9'. ACTUAL BUILDING HEIGHT IS 8.9' LESS THAN THE SPOT ELEVATIONS.



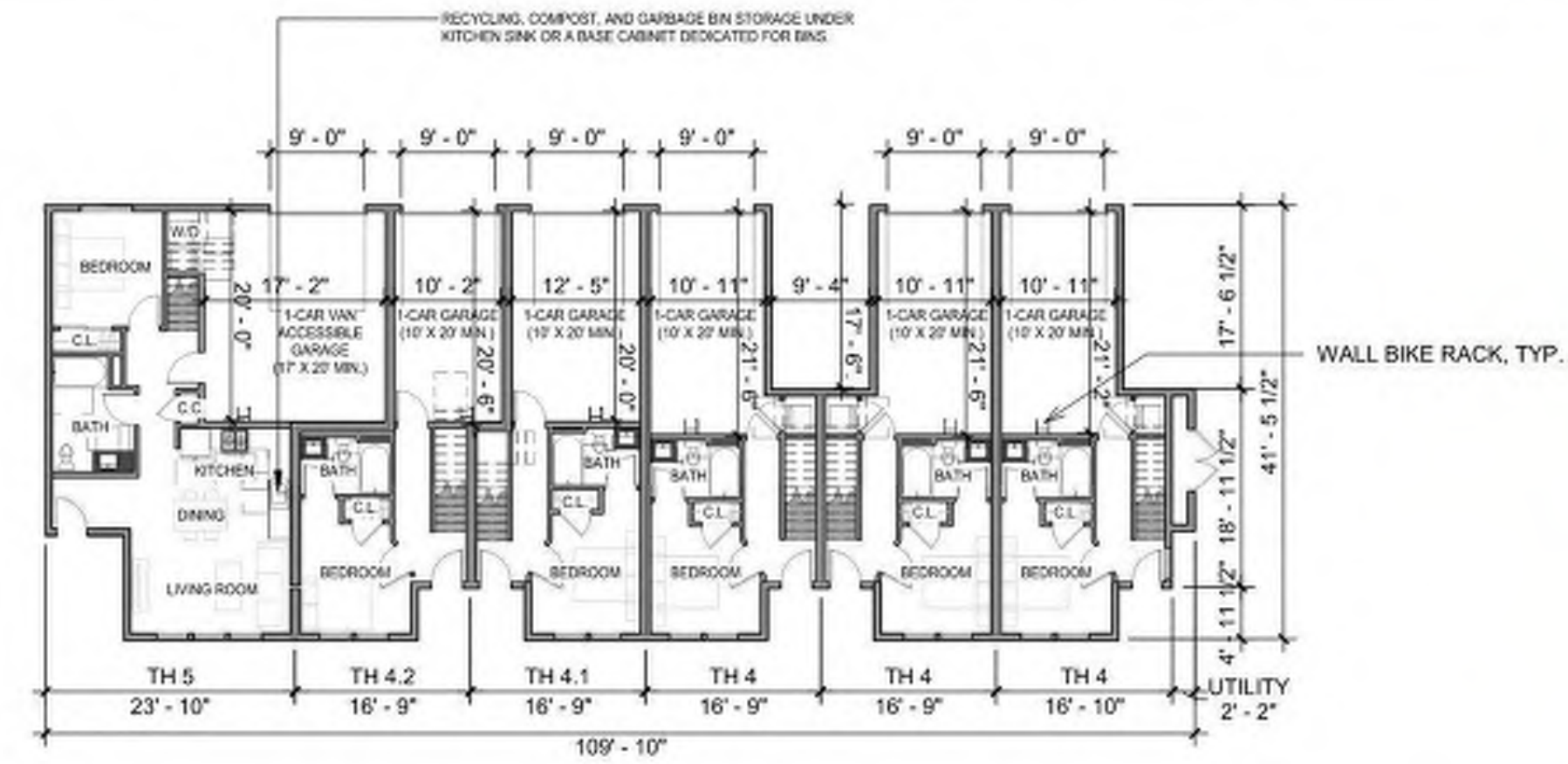
6-PLEX AFFORDABLE TOWNHOME L3

1/16" = 1'-0" 3



6-PLEX AFFORDABLE TOWNHOME L2

1/16" = 1'-0" 2



6-PLEX AFFORDABLE TOWNHOME L1

1/16" = 1'-0" 1



TOWNHOMES BIKE STORAGE:
DERO WALL RACK OR SIMILAR STORES UP TO (2) TWO BIKES AND IS FULLY U-LOCK COMPATIBLE.

TOWNHOME AREA SUMMARY (GROSS FLOOR AREA CALCULATIONS)	
TOWNHOME TYPE	6-PLEX AFFORDABLE
COUNT	1
LEVEL 1	2,338 SF
LEVEL 2	3,904 SF
LEVEL 3	2,188 SF
UTILITY BOX	29 SF
PER BUILDING	8,460 SF
TOTAL (INCLUDED IN FAR)	8,460 SF
DECK PER TYPE	159 SF
DECK TOTAL	159 SF
GARAGE (NOT IN FAR)	1,667 SF
GARAGE TOTAL	1,667 SF

AREA SUMMARY



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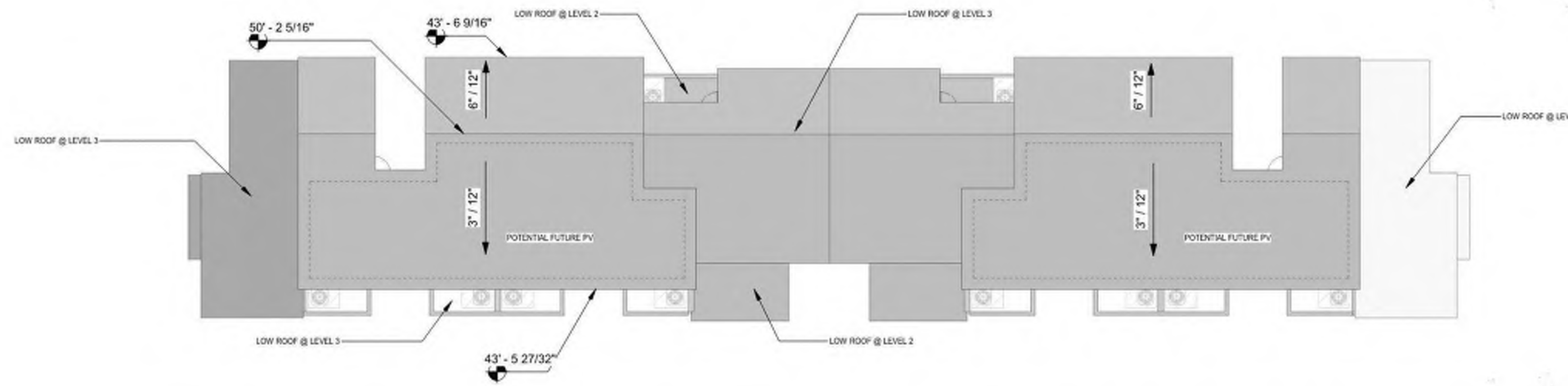
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Sheet Title:
**TOWNHOMES
BUILDING PLANS AFF
6-PLEX**

Job No. 20004
Date: 6/12/2023
Scale: As indicated
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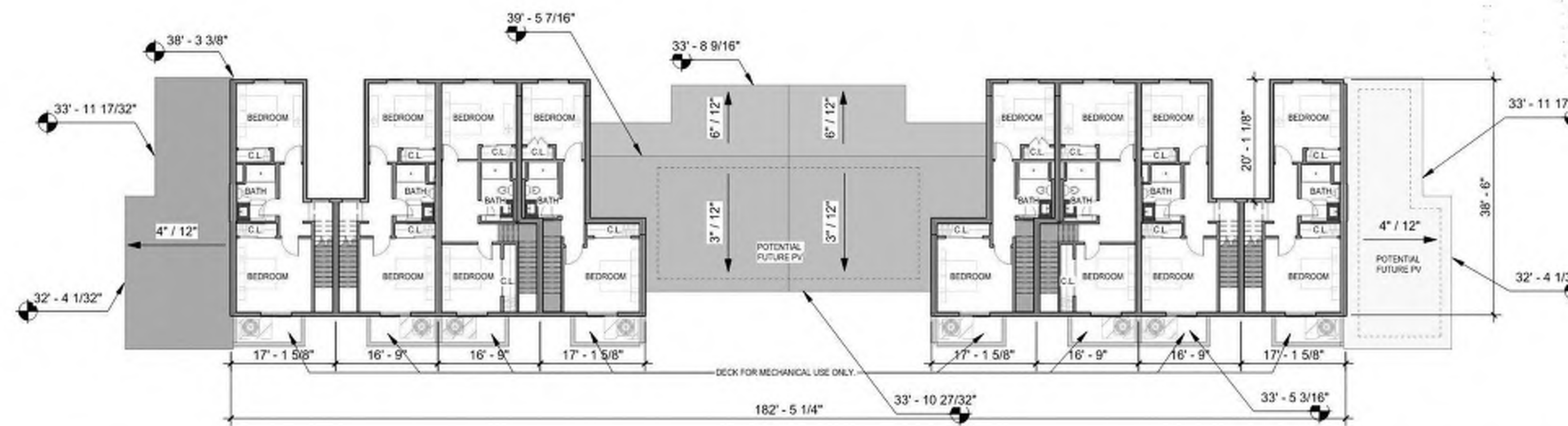
Sheet No:

A503



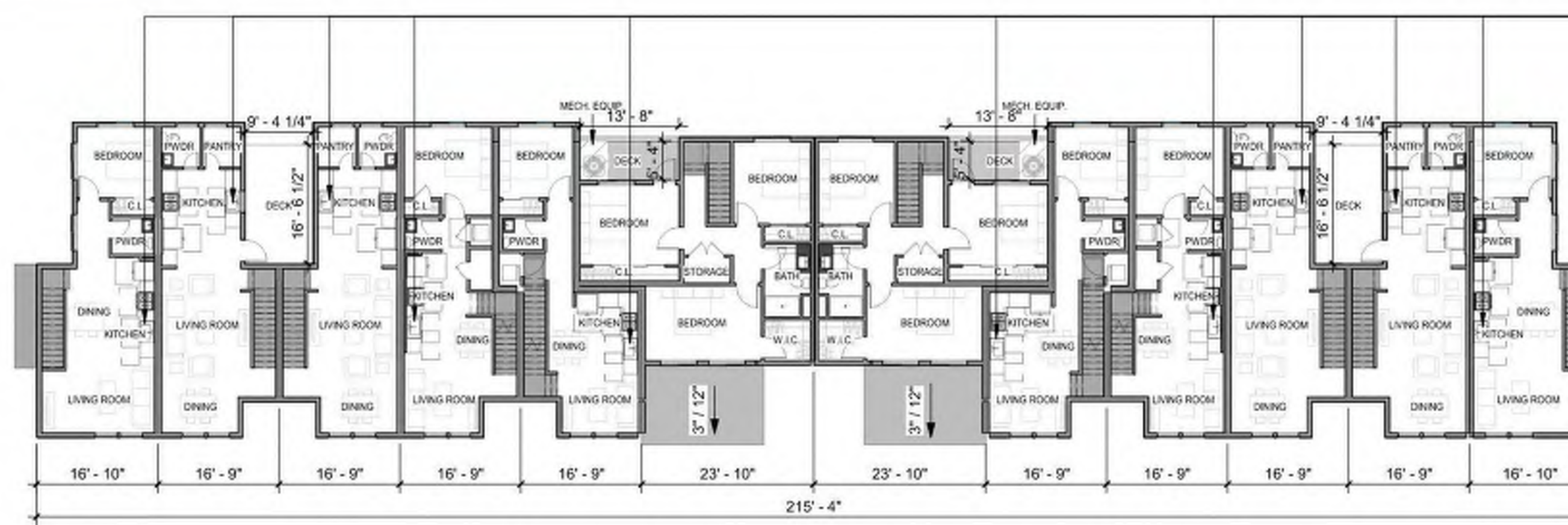
12-PLEX AFFORDABLE TOWNHOME ROOF

1/16" = 1'-0" 4



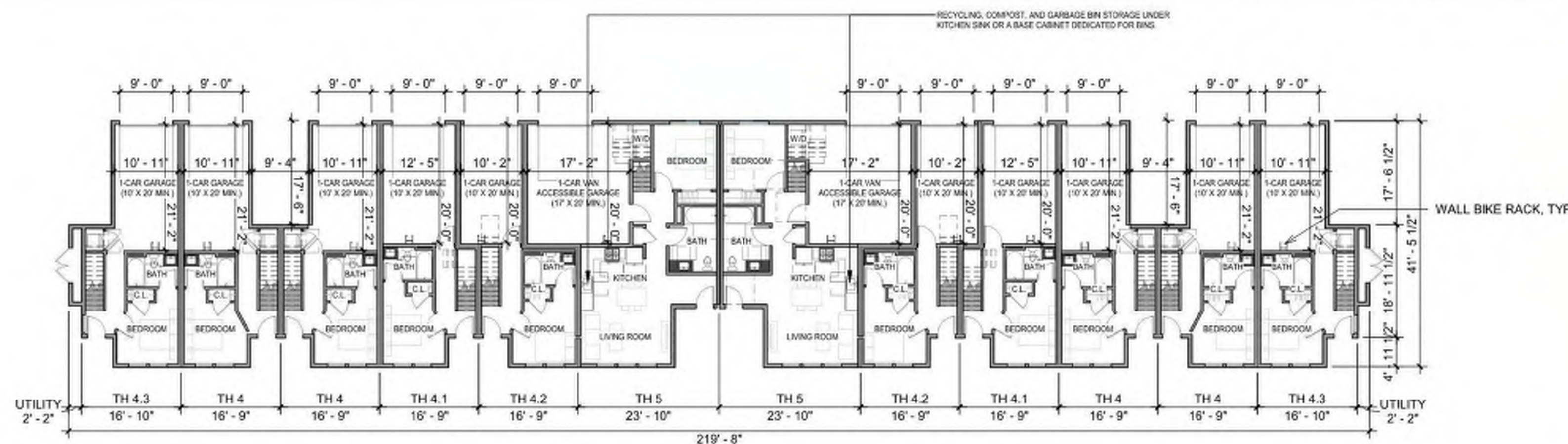
12-PLEX AFFORDABLE TOWNHOME L3

1/16" = 1'-0" 3



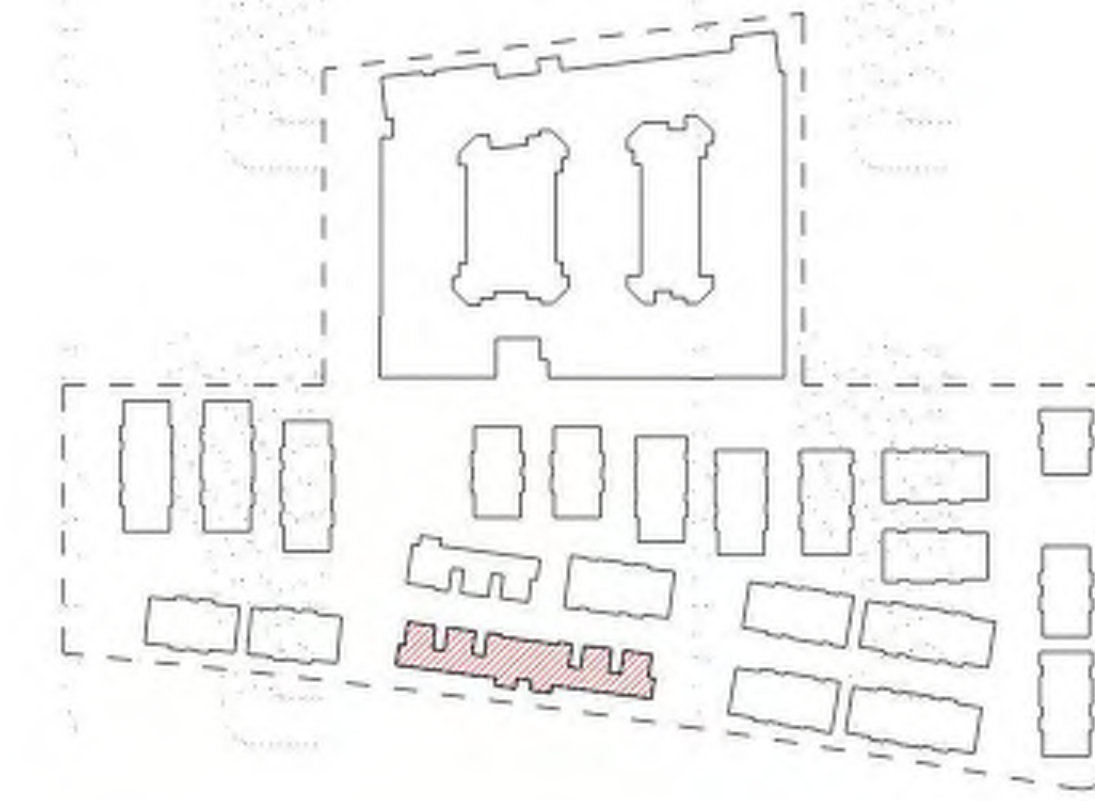
12-PLEX AFFORDABLE TOWNHOME L2

1/16" = 1'-0" 2



12-PLEX AFFORDABLE TOWNHOME L1

1/16" = 1'-0" 1



12-PLEX TOWNHOME

KEY MAP

*SPOT ELEVATIONS ARE MEASURED TO 0' SEA LEVEL. AVERAGE NATURAL GRADE PLANE IS 8.9'. ACTUAL BUILDING HEIGHT IS 8.9' LESS THAN THE SPOT ELEVATIONS.



TOWNHOMES BIKE STORAGE:

DERO WALL RACK OR SIMILAR STORES UP TO (2) TWO BIKES AND IS FULLY U-LOCK COMPATIBLE.

TOWNHOME AREA SUMMARY (GROSS FLOOR AREA CALCULATIONS)	
TOWNHOME TYPE	12-PLEX AFFORDABLE
COUNT	1
LEVEL 1	4,664 SF
LEVEL 2	7,809 SF
LEVEL 3	4,376 SF
UTILITY BOX	59 SF
PER BUILDING	16,909 SF
TOTAL (INCLUDED IN FAR)	16,909 SF
DECK PER TYPE	317 SF
DECK TOTAL	317 SF
GARAGE (NOT IN FAR)	3,346 SF
GARAGE TOTAL	3,346 SF

AREA SUMMARY



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Sheet Title:
TOWNHOMES
BUILDING PLANS AFF
12-PLEX

Job No. 20004
Date: 6/12/2023
Scale: As indicated
Drawn By: Author

Sheet No:

A504

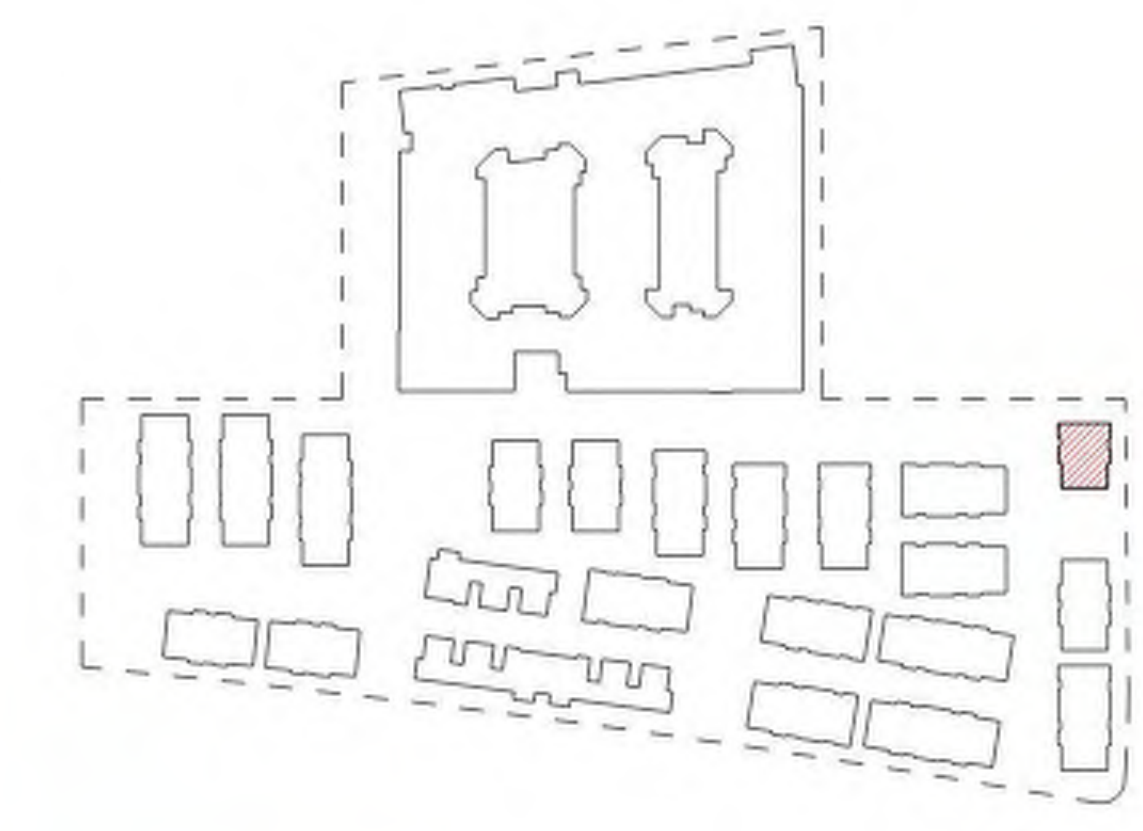


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TOWNHOME A

KEY MAP



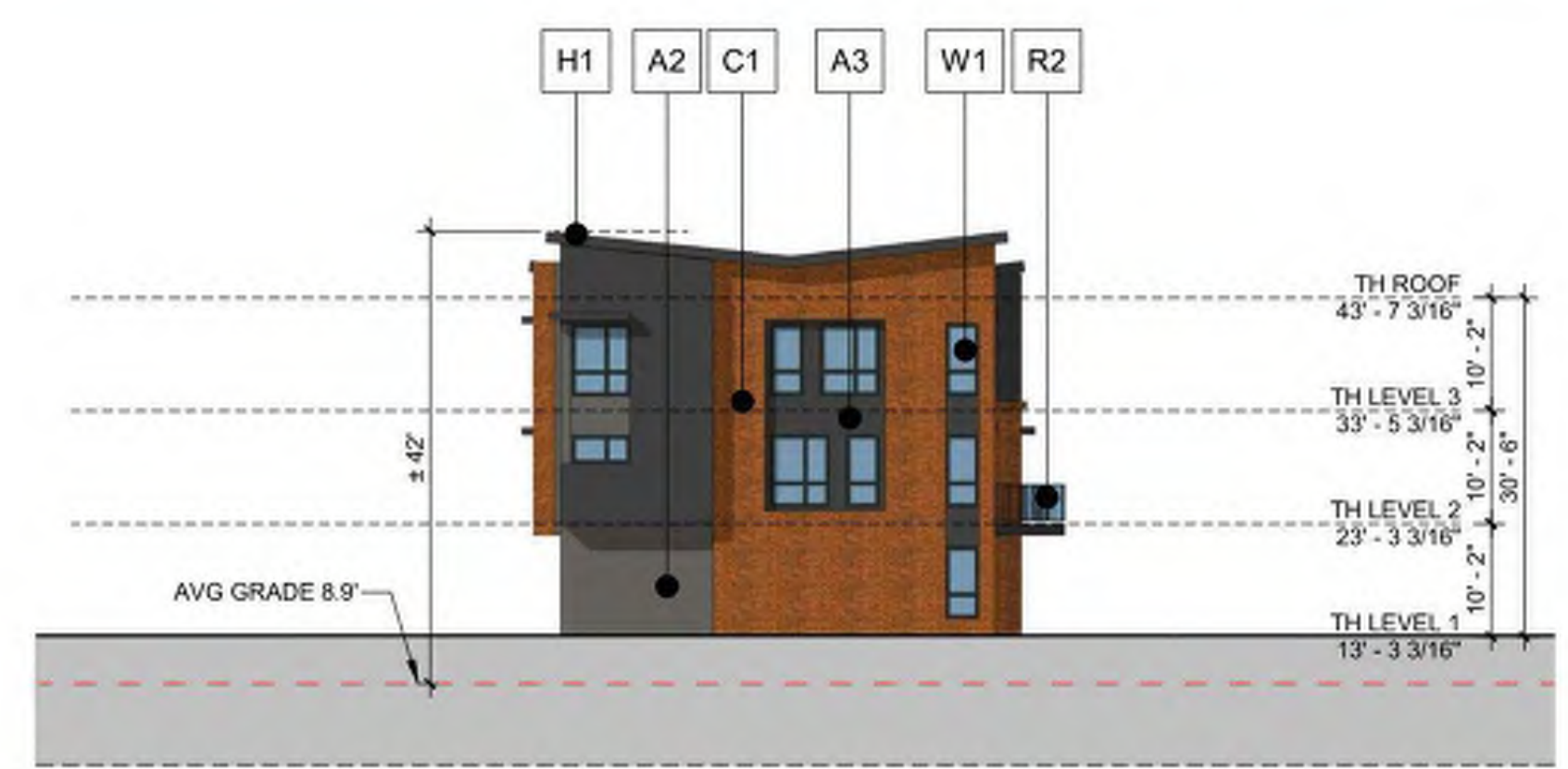
TOWNHOME A 3-PLEX - FRONT 1/16" = 1'-0" 4



TOWNHOME A 3-PLEX - REAR 1/16" = 1'-0" 3



TOWNHOME A 3-PLEX - SIDE 1 1/16" = 1'-0" 2



TOWNHOME A 3-PLEX - SIDE 2 1/16" = 1'-0" 1

LEGEND	
A2	CEMENT PLASTER - LIGHT GRAY
A3	CEMENT PLASTER - GRAY
B1	FIBER CEMENT PANEL - WHITE
B2	FIBER CEMENT PANEL - GRAY
E1	FIBER CEMENT SIDING - BROWN
E2	FIBER CEMENT SIDING - YELLOW
E3	FIBER CEMENT SIDING - LIGHT GRAY
E4	FIBER CEMENT SIDING - DARK GRAY
C1	BRICK VENEER
H1	METAL SEAMED ROOF
H2	ASPHALT SHINGLES ROOF
W1	VINYL WINDOW, TYP.
W3	PANELIZED GARAGE DOOR
R2	VERTICAL METAL RAILING

COLOR AND MATERIAL

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Sheet Title:
**TOWNHOMES
ELEVATIONS A
3-PLEX**

Job No. 20004
Date: 6/12/2023
Scale: As indicated
Drawn By: Author

Sheet No:

A601

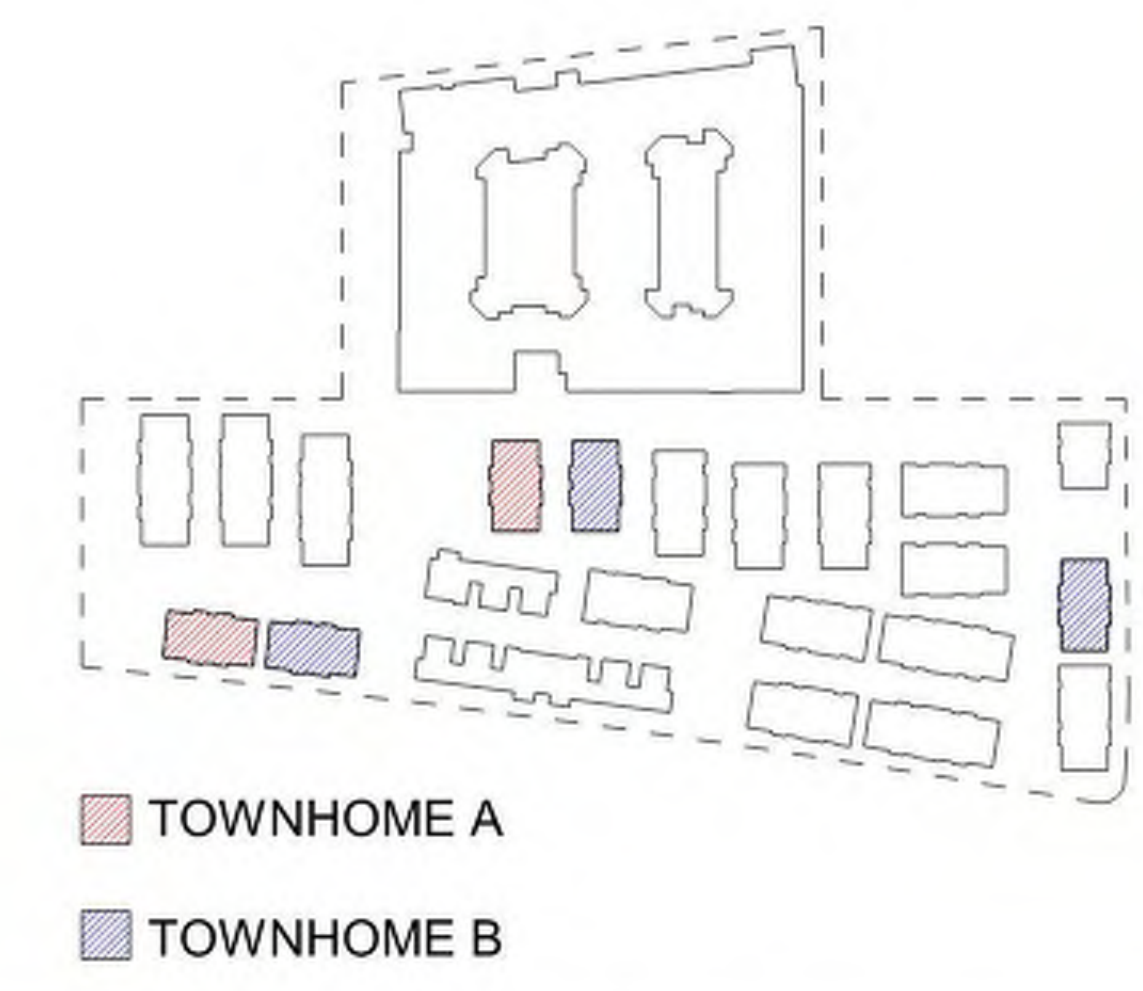


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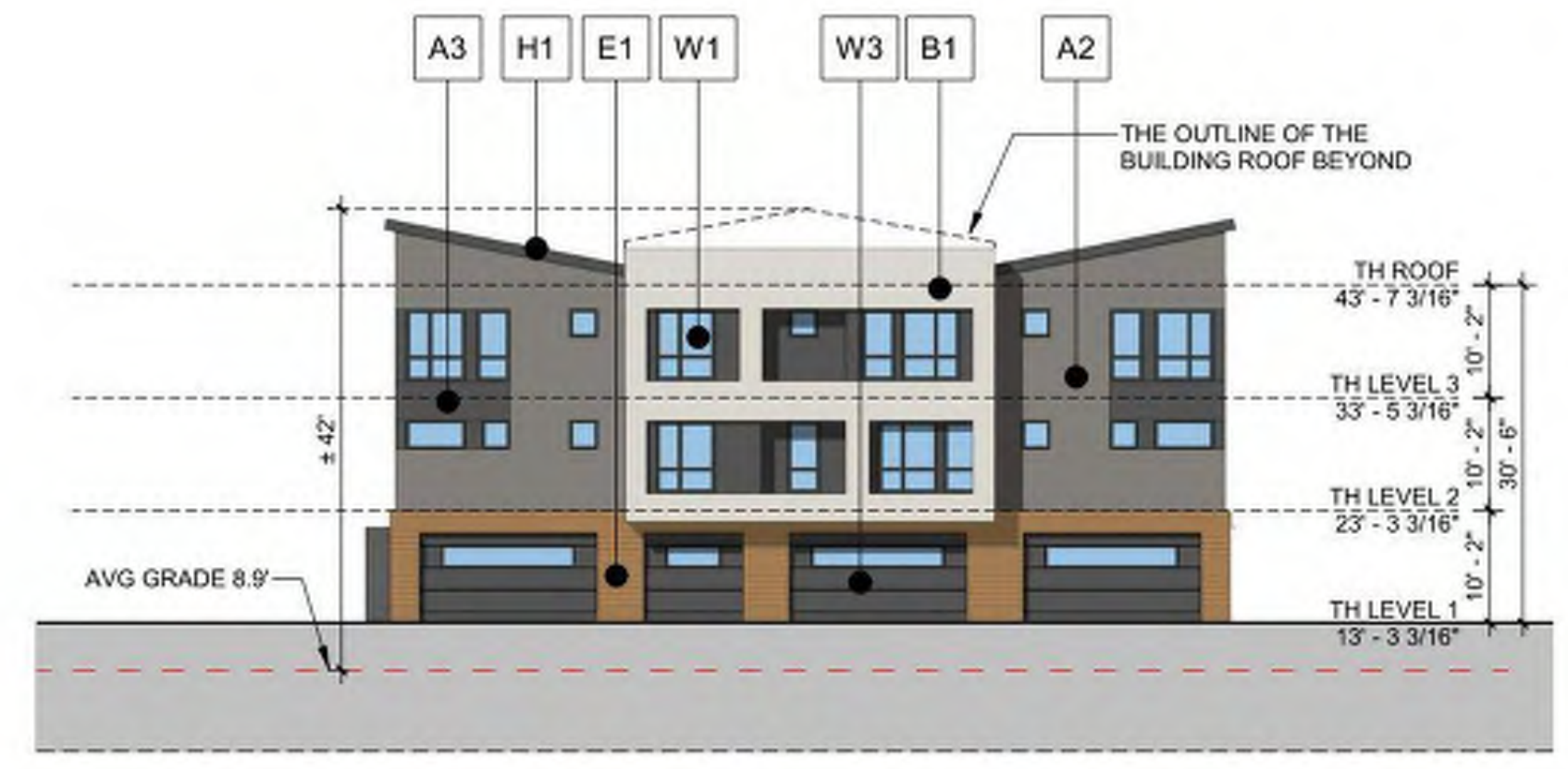
KEY MAP



TOWNHOME B 4-PLEX - FRONT 1/16" = 1'-0" 8



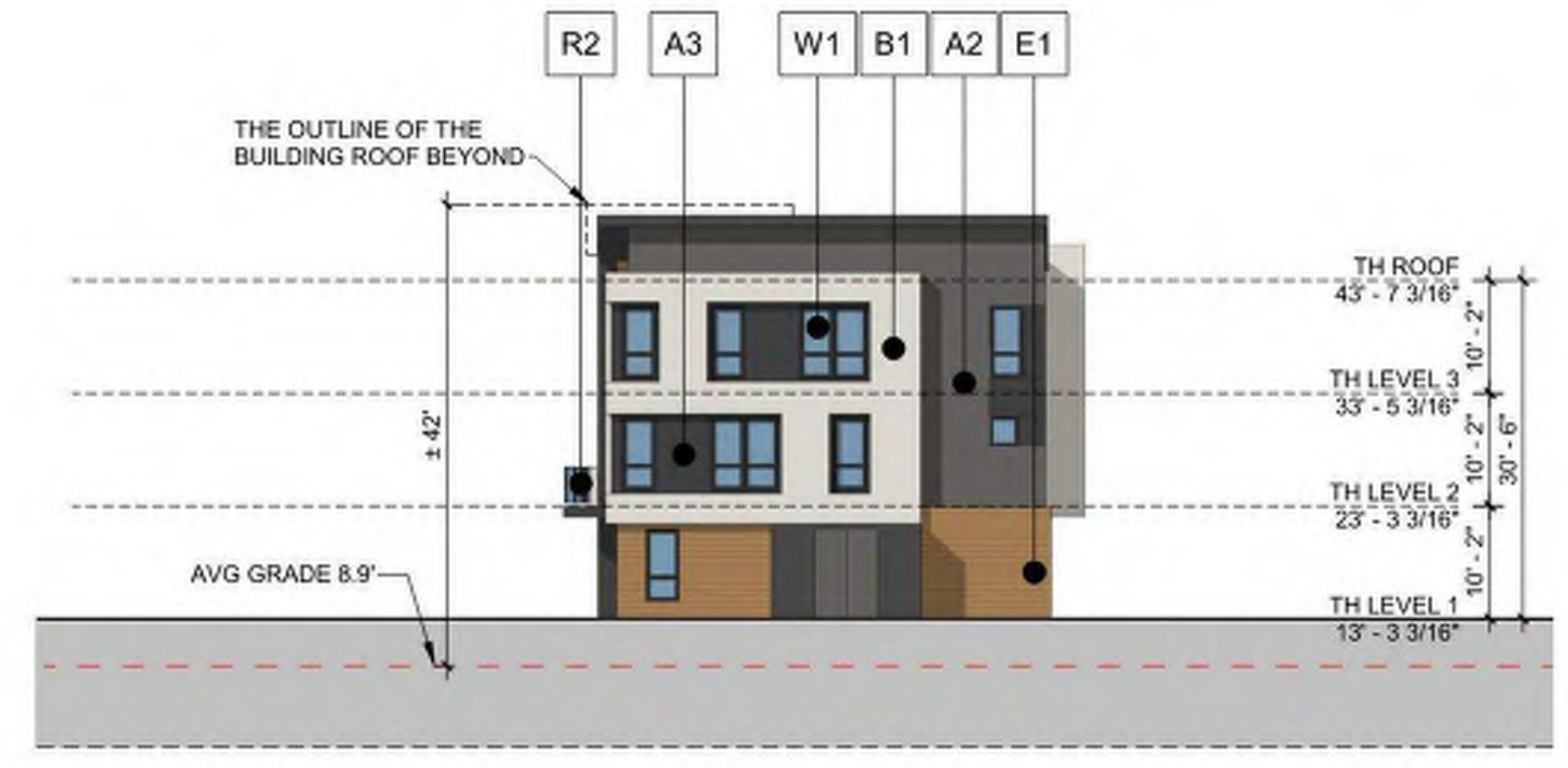
TOWNHOME A 4-PLEX - FRONT 1/16" = 1'-0" 4



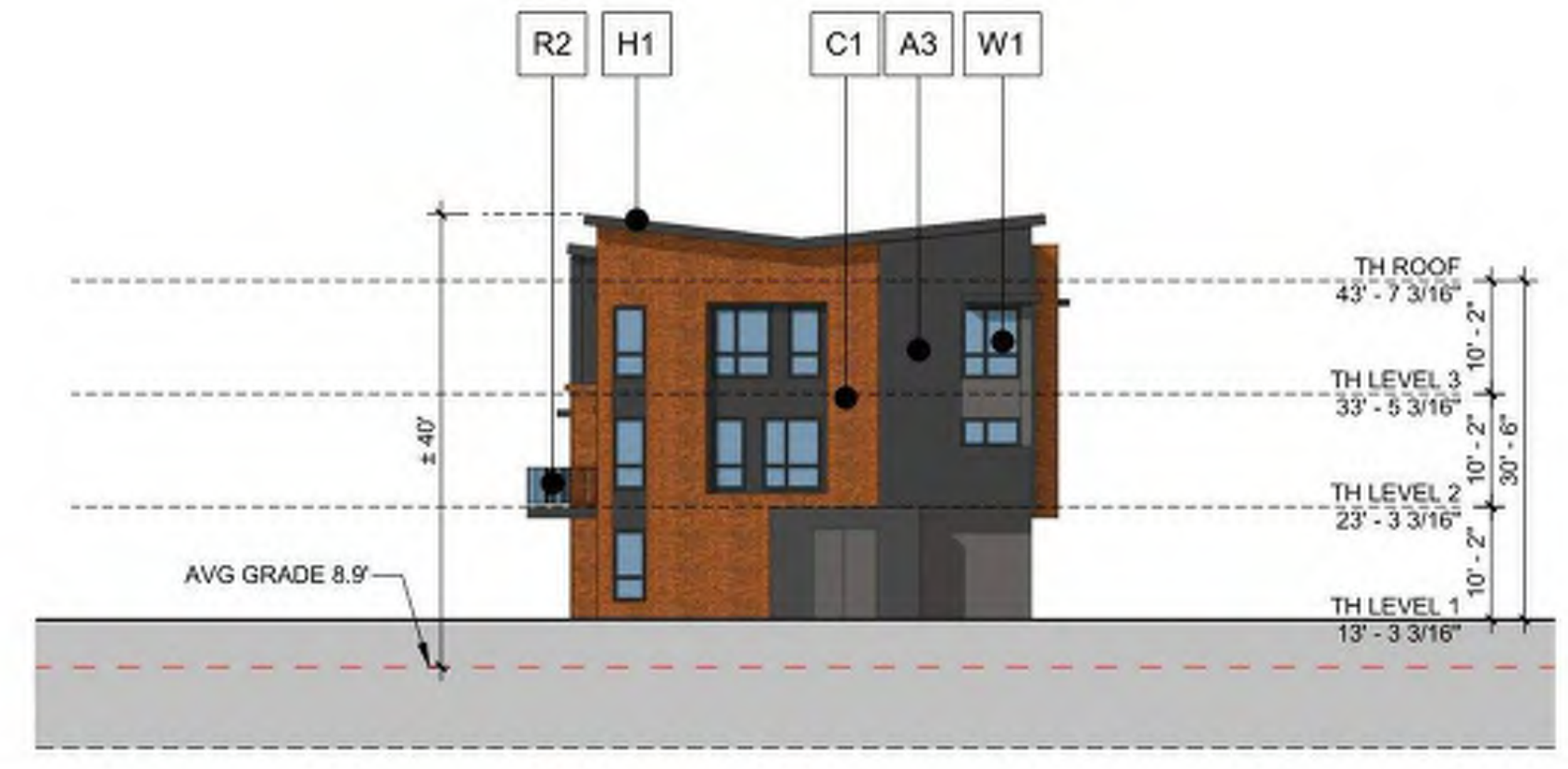
TOWNHOME B 4-PLEX - REAR 1/16" = 1'-0" 7



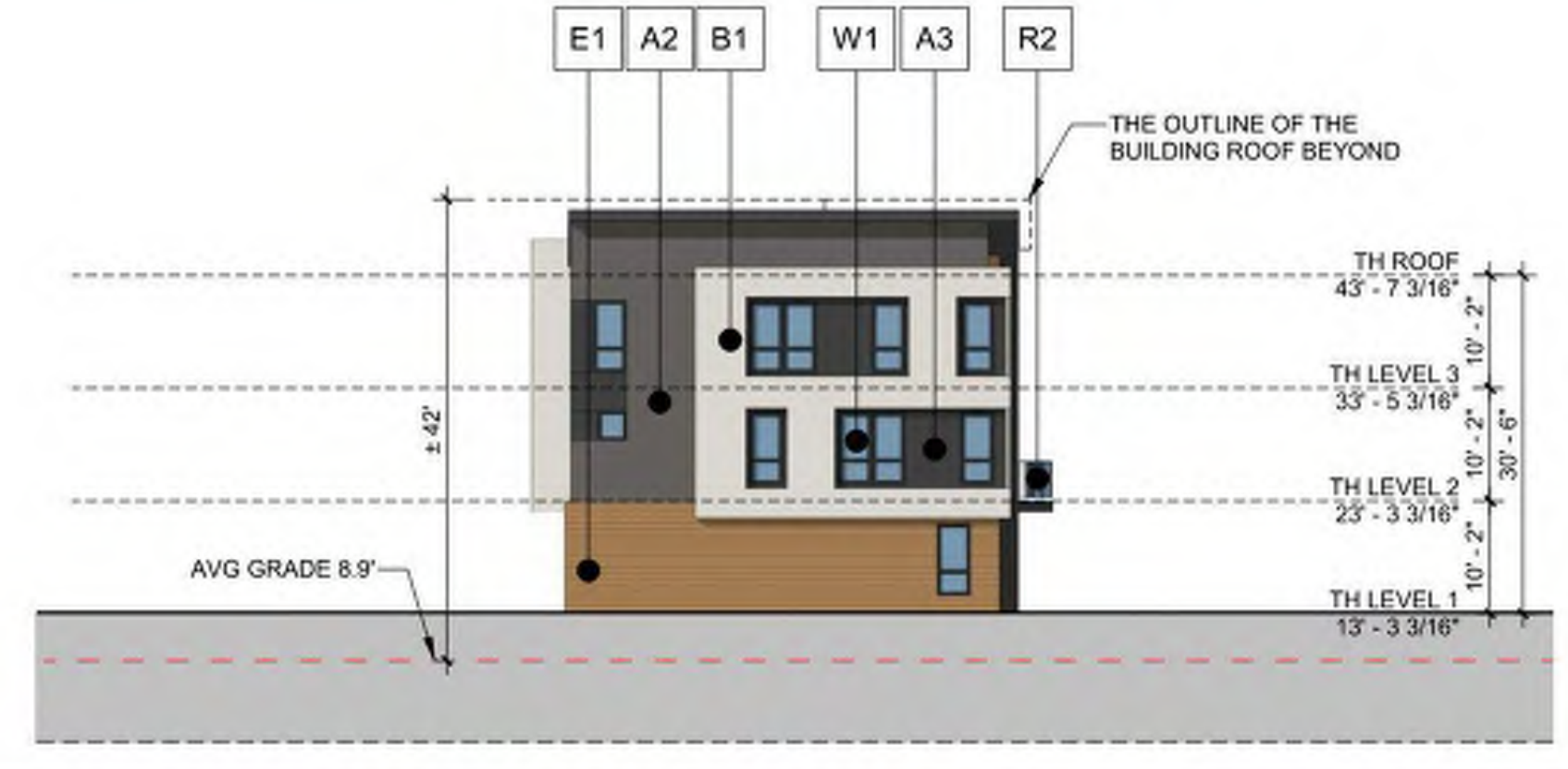
TOWNHOME A 4-PLEX - REAR 1/16" = 1'-0" 3



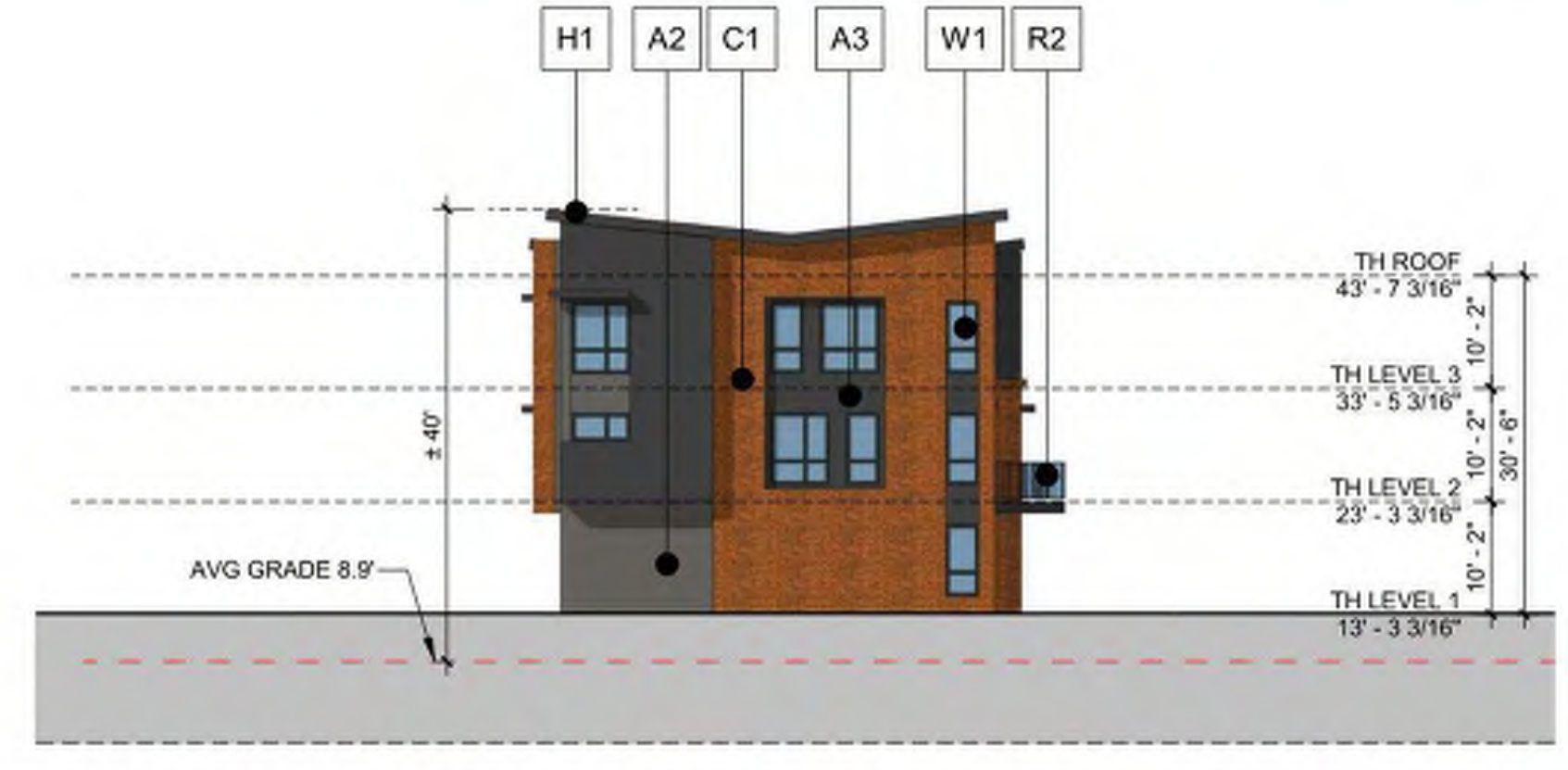
TOWNHOME B 4-PLEX - SIDE 1 1/16" = 1'-0" 6



TOWNHOME A 4-PLEX - SIDE 1 1/16" = 1'-0" 2



TOWNHOME B 4-PLEX - SIDE 2 1/16" = 1'-0" 5



TOWNHOME A 4-PLEX - SIDE 2 1/16" = 1'-0" 1

LEGEND	
A2	CEMENT PLASTER - LIGHT GRAY
A3	CEMENT PLASTER - GRAY
B1	FIBER CEMENT PANEL - WHITE
B2	FIBER CEMENT PANEL - GRAY
E1	FIBER CEMENT SIDING - BROWN
E2	FIBER CEMENT SIDING - YELLOW
E3	FIBER CEMENT SIDING - LIGHT GRAY
E4	FIBER CEMENT SIDING - DARK GRAY
C1	BRICK VENEER
H1	METAL SEAMED ROOF
H2	ASPHALT SHINGLES ROOF
W1	VINYL WINDOW, TYP.
W3	PANELIZED GARAGE DOOR
R2	VERTICAL METAL RAILING

COLOR AND MATERIAL

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Sheet Title:
**TOWNHOMES
ELEVATIONS A AND
B 4-PLEX**

Job No. 20004
Date: 6/12/2023
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Sheet No:

A602

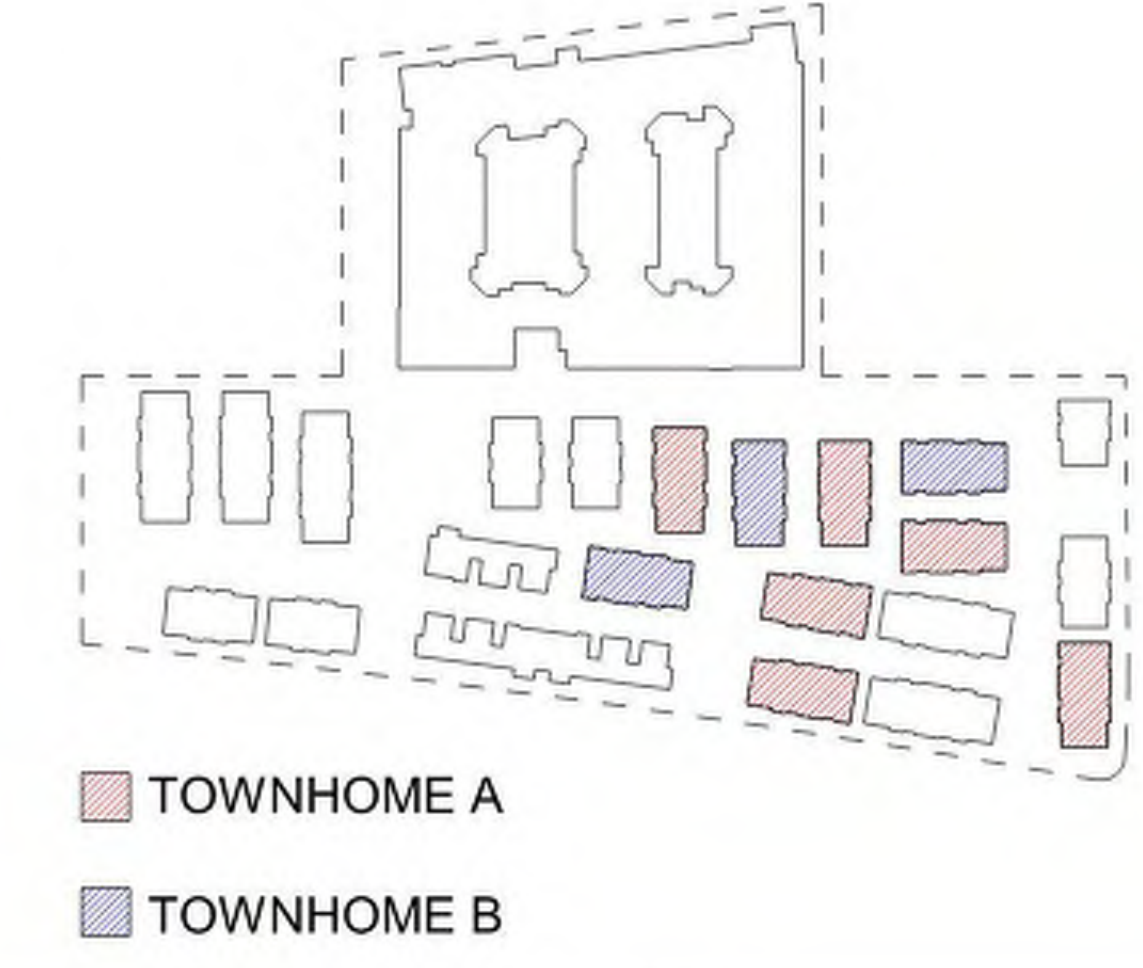


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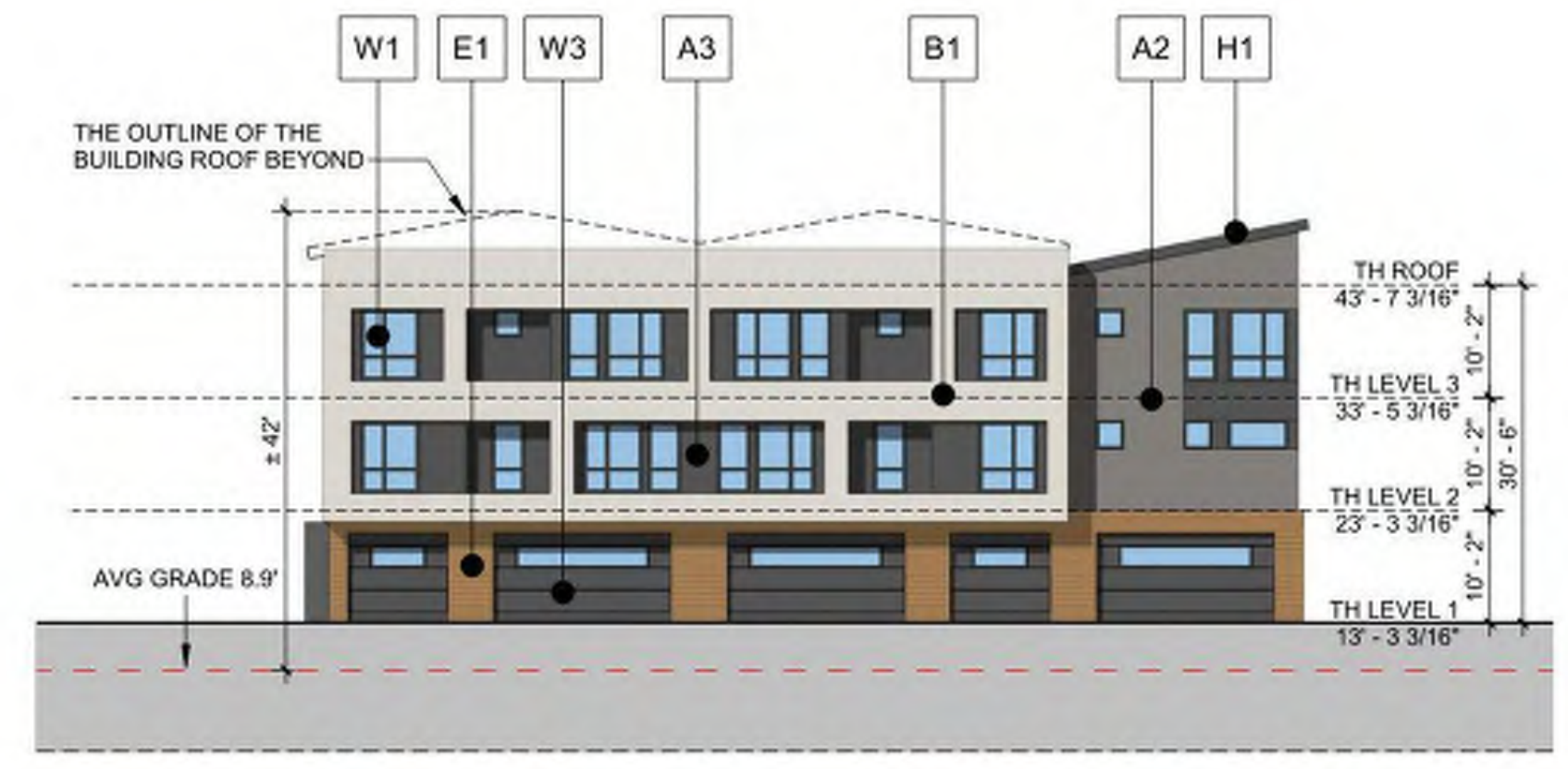
KEY MAP



TOWNHOME B 5-PLEX - FRONT 1/16" = 1'-0" 8



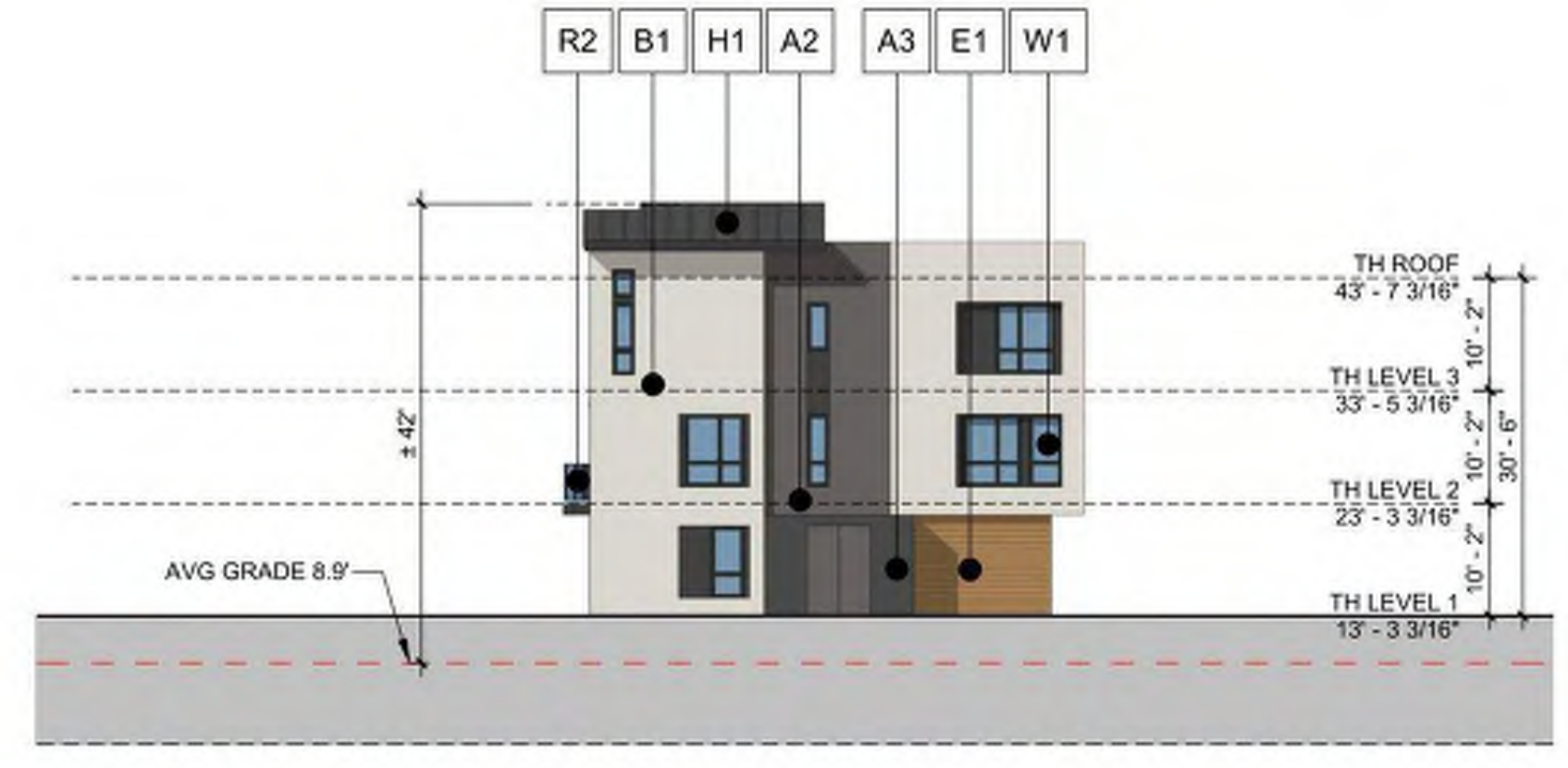
TOWNHOME A 5-PLEX - FRONT 1/16" = 1'-0" 4



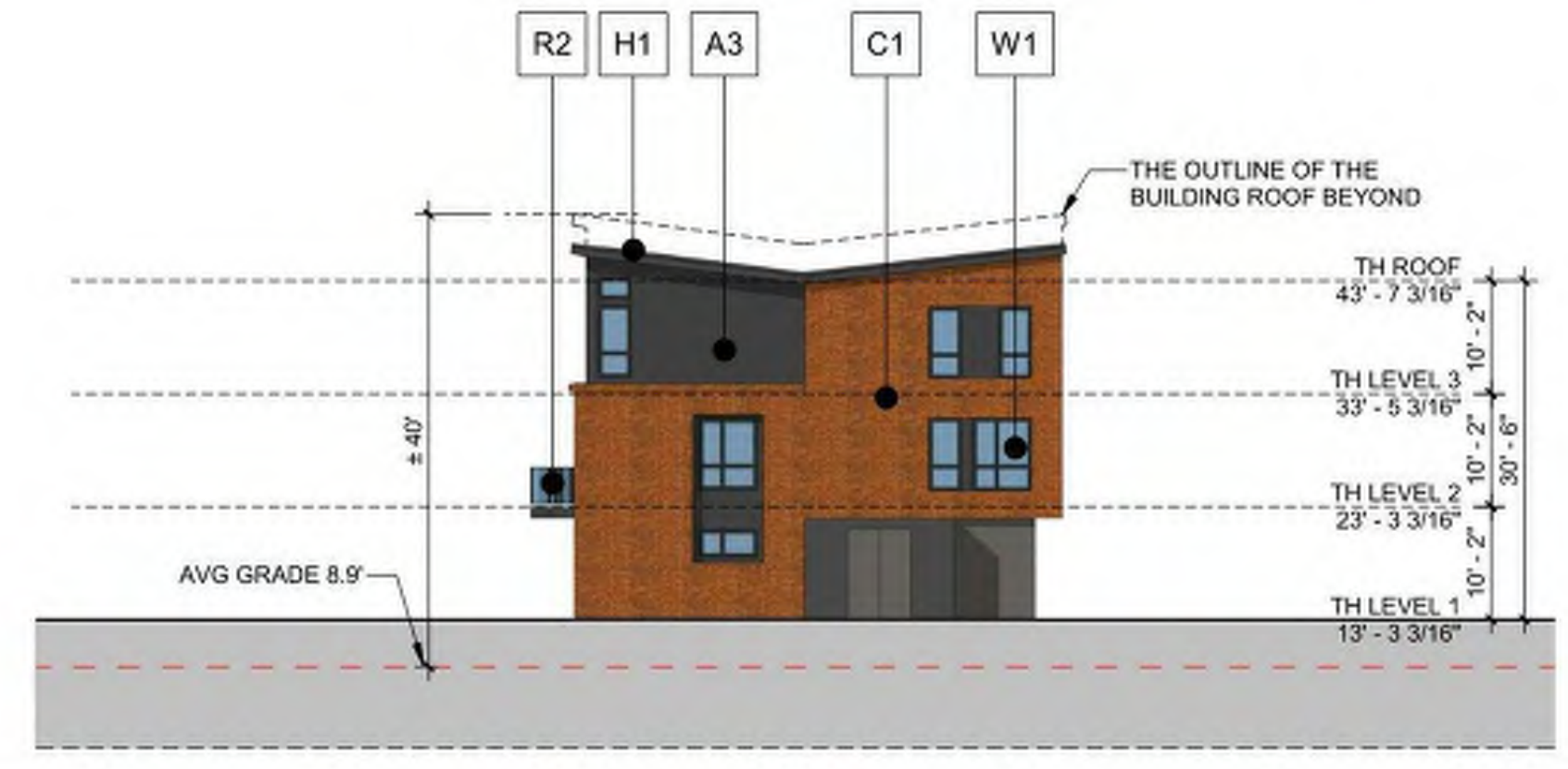
TOWNHOME B 5-PLEX - REAR 1/16" = 1'-0" 7



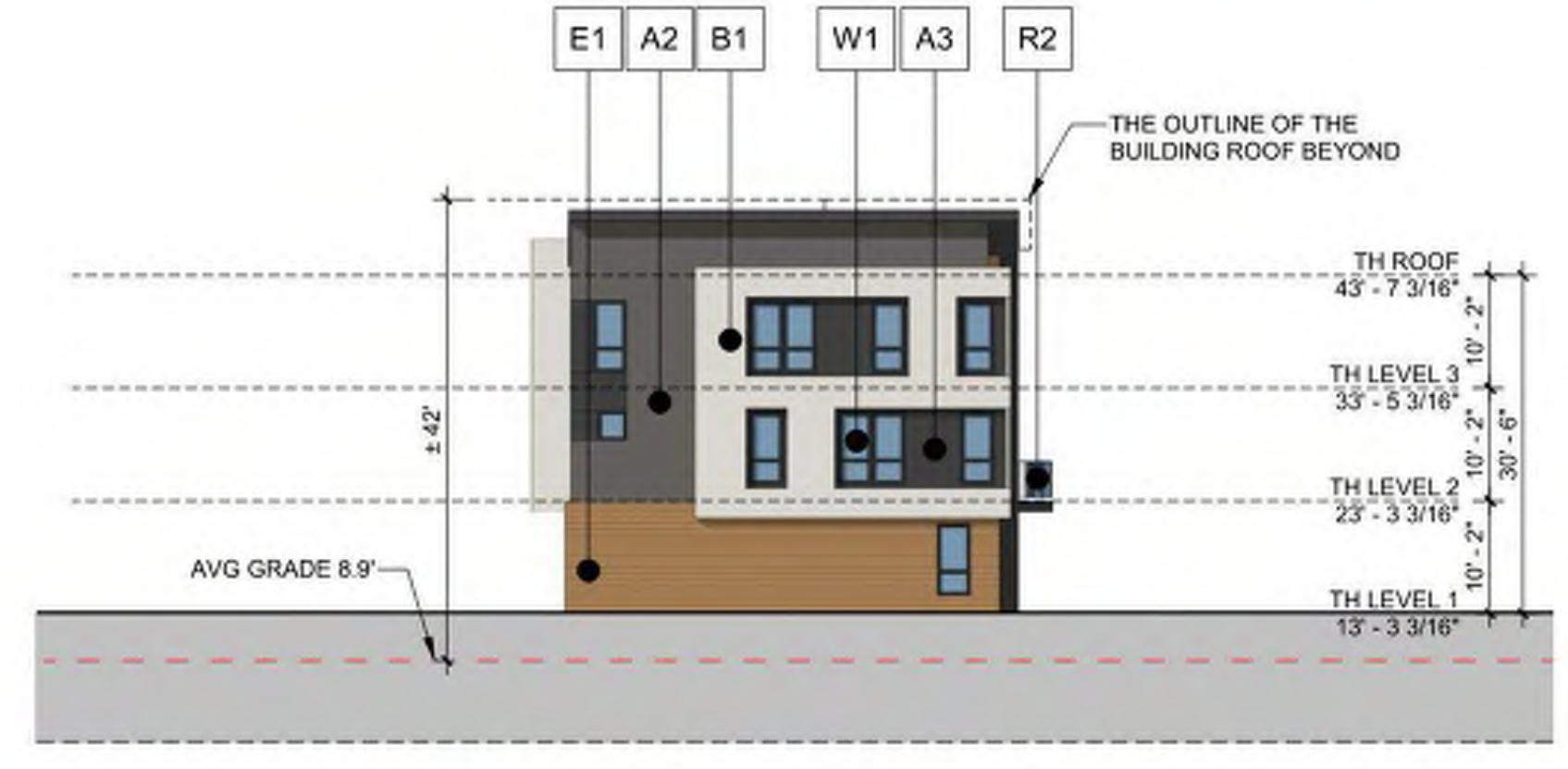
TOWNHOME A 5-PLEX - REAR 1/16" = 1'-0" 3



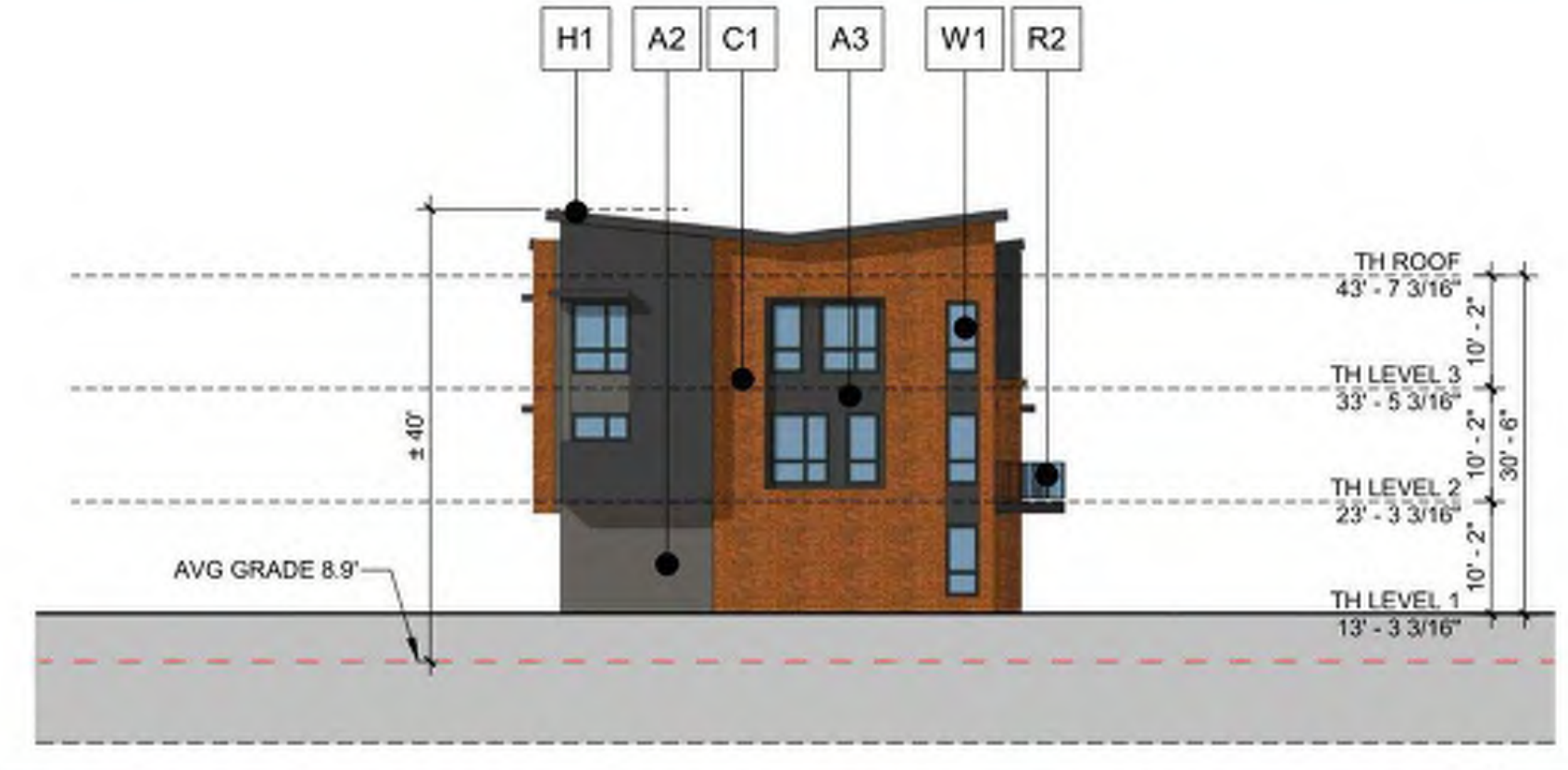
TOWNHOME B 5-PLEX - SIDE 1 1/16" = 1'-0" 6



TOWNHOME A 5-PLEX - SIDE 1 1/16" = 1'-0" 2



TOWNHOME B 5-PLEX - SIDE 2 1/16" = 1'-0" 5



TOWNHOME A 5-PLEX - SIDE 2 1/16" = 1'-0" 1

LEGEND	
A2	CEMENT PLASTER - LIGHT GRAY
A3	CEMENT PLASTER - GRAY
B1	FIBER CEMENT PANEL - WHITE
B2	FIBER CEMENT PANEL - GRAY
E1	FIBER CEMENT SIDING - BROWN
E2	FIBER CEMENT SIDING - YELLOW
E3	FIBER CEMENT SIDING - LIGHT GRAY
E4	FIBER CEMENT SIDING - DARK GRAY
C1	BRICK VENEER
H1	METAL SEAMED ROOF
H2	ASPHALT SHINGLES ROOF
W1	VINYL WINDOW, TYP.
W3	PANELIZED GARAGE DOOR
R2	VERTICAL METAL RAILING

COLOR AND MATERIAL

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Sheet Title:
TOWNHOMES
ELEVATIONS A AND
B 5-PLEX

Job No. 20004
Date: 6/12/2023
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Drawn By: Author

Sheet No:

A603



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TOWNHOME A
TOWNHOME B

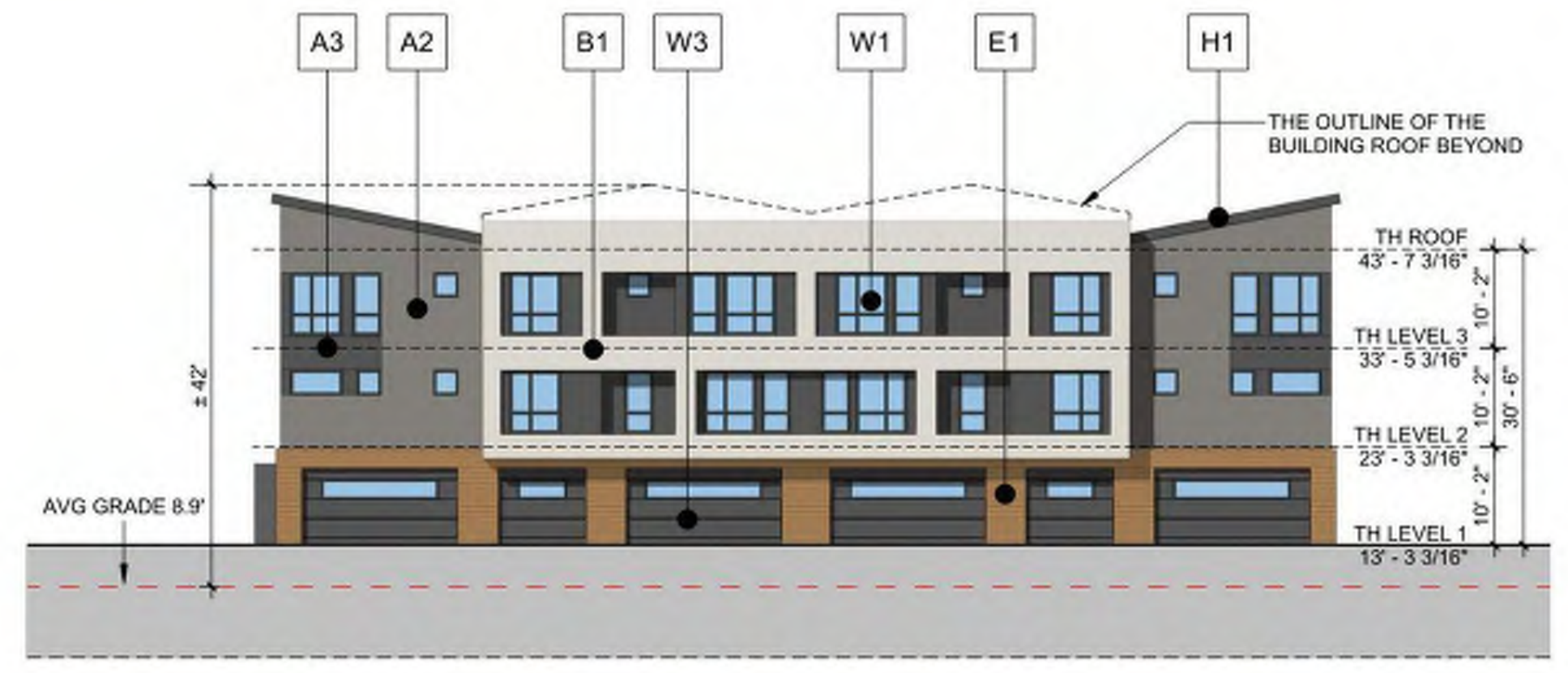
KEY MAP



TOWNHOME B 6-PLEX - FRONT 1/16" = 1'-0" 8



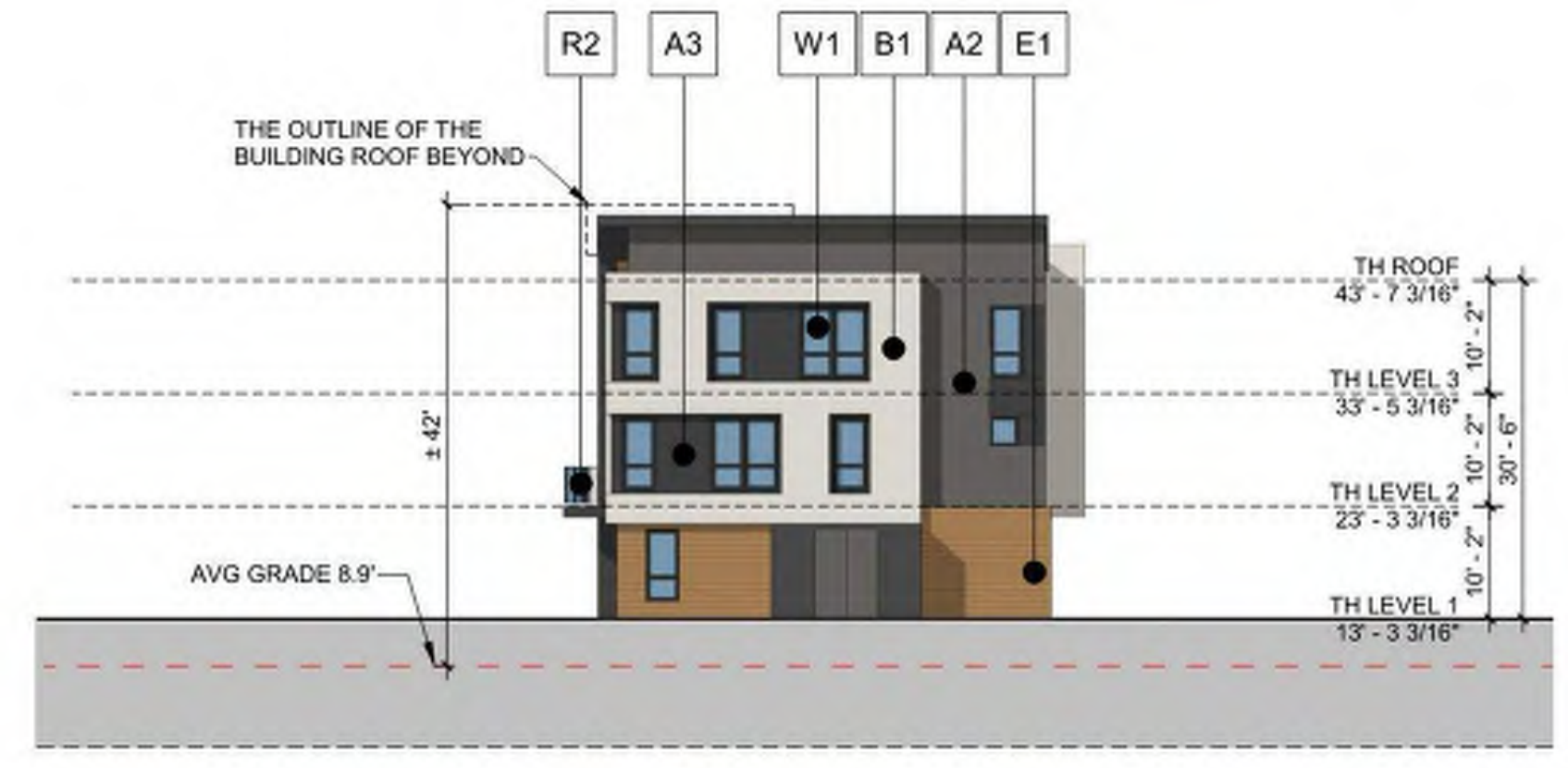
TOWNHOME A 6-PLEX - FRONT 1/16" = 1'-0" 4



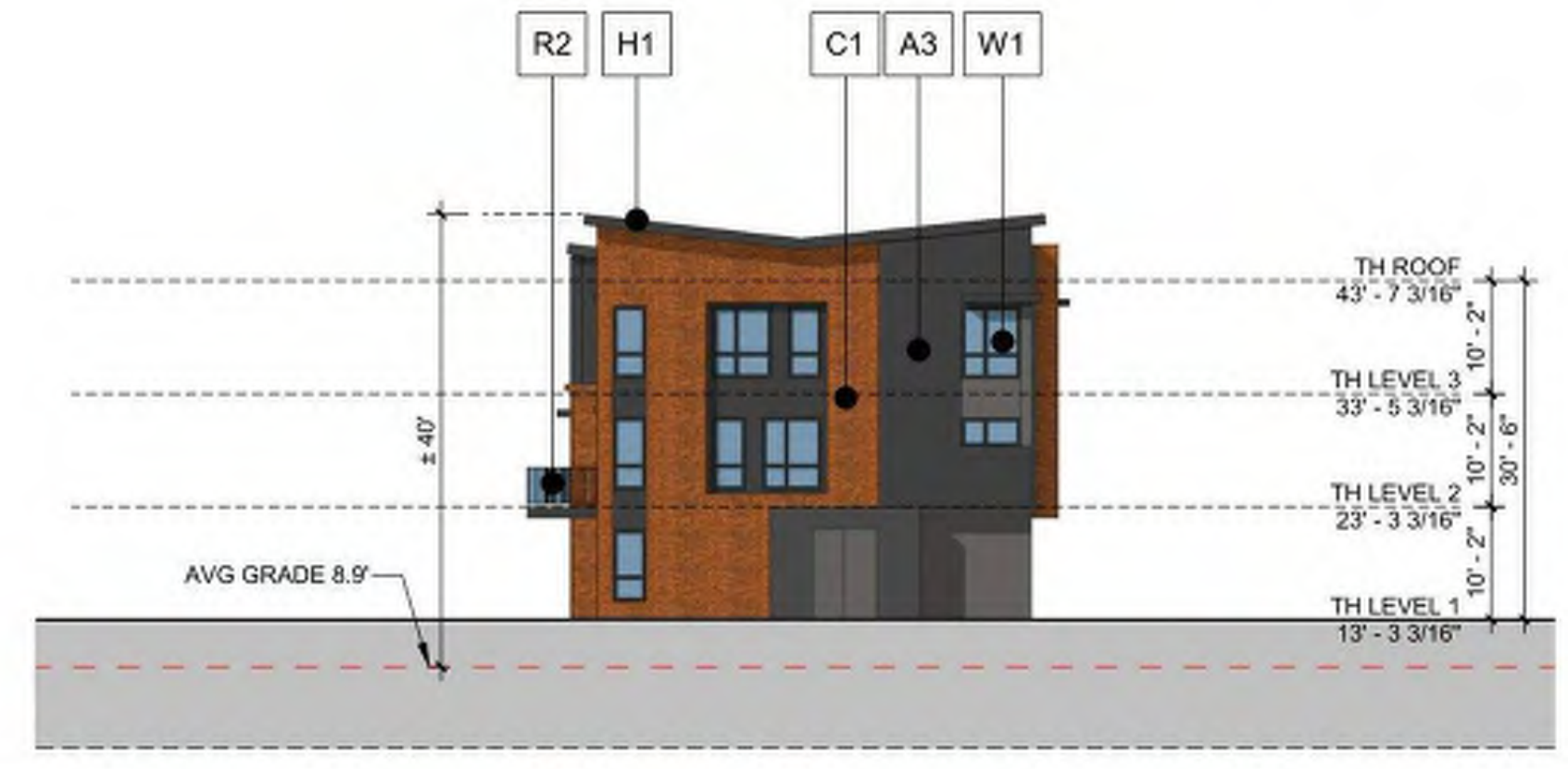
TOWNHOME B 6-PLEX - REAR 1/16" = 1'-0" 7



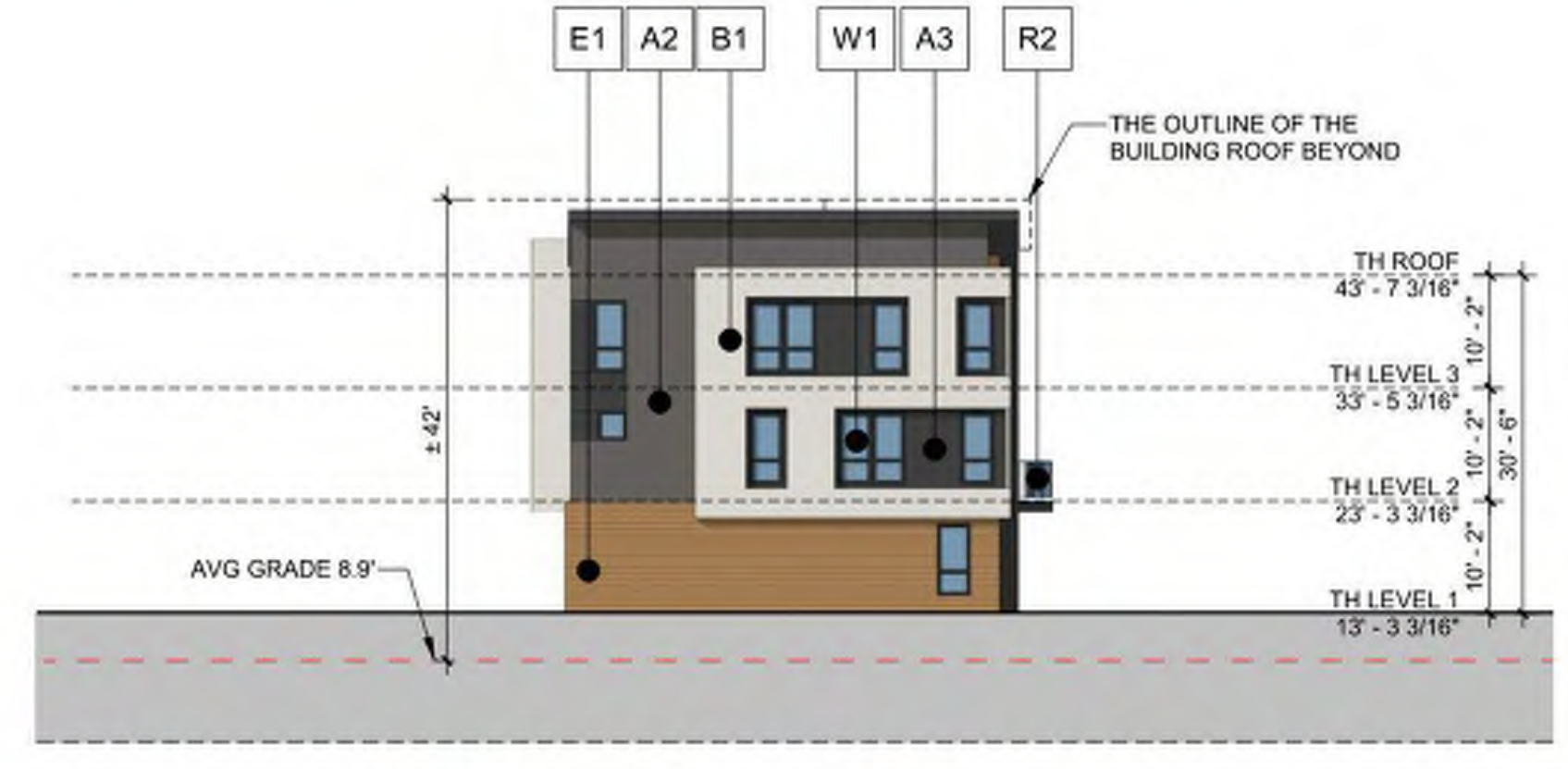
TOWNHOME A 6-PLEX - REAR 1/16" = 1'-0" 3



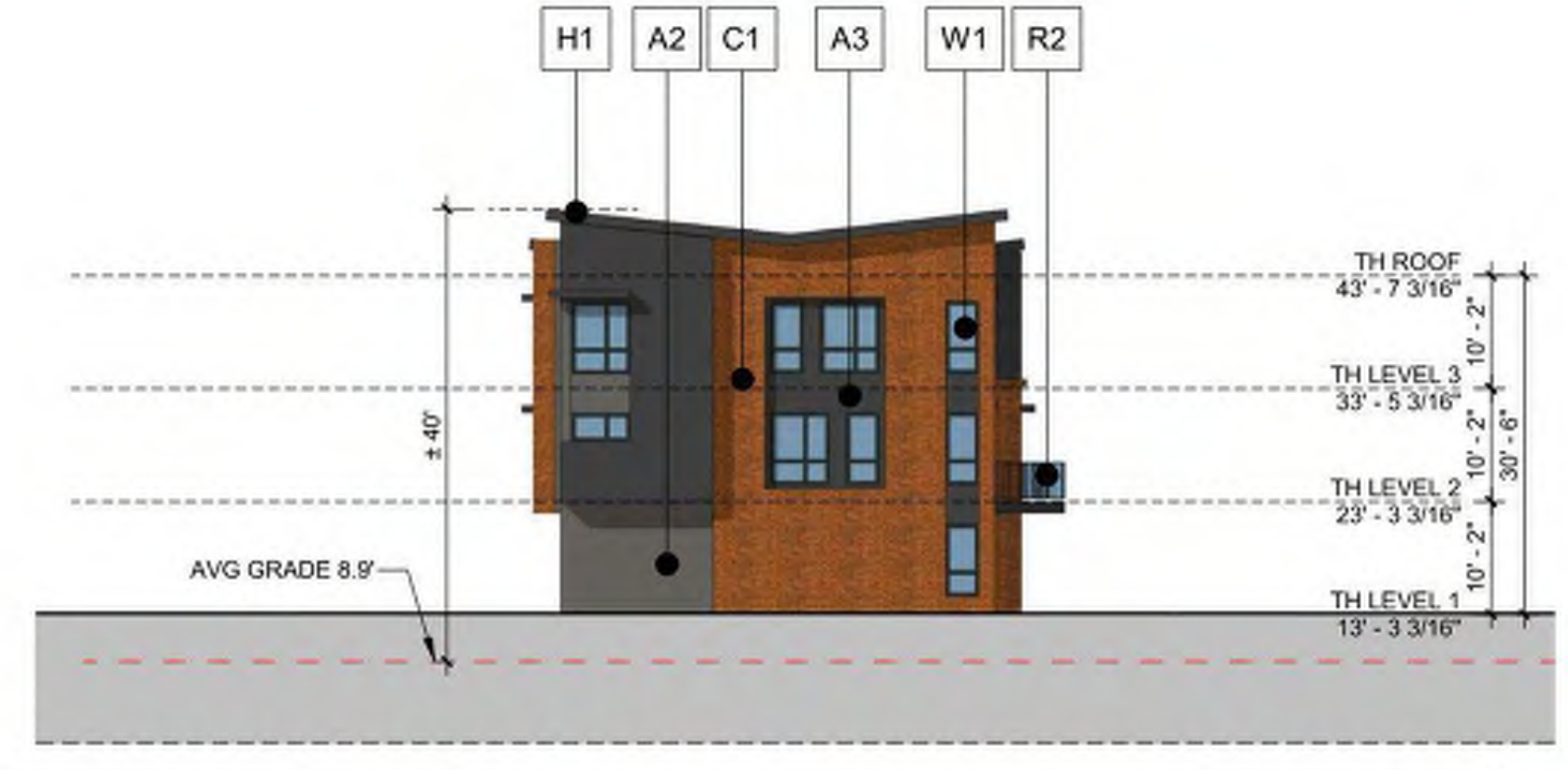
TOWNHOME B 6-PLEX - SIDE 1 1/16" = 1'-0" 6



TOWNHOME A 6-PLEX - SIDE 1 1/16" = 1'-0" 2



TOWNHOME B 6-PLEX - SIDE 2 1/16" = 1'-0" 5



TOWNHOME A 6-PLEX - SIDE 2 1/16" = 1'-0" 1

LEGEND	
A2	CEMENT PLASTER - LIGHT GRAY
A3	CEMENT PLASTER - GRAY
B1	FIBER CEMENT PANEL - WHITE
B2	FIBER CEMENT PANEL - GRAY
E1	FIBER CEMENT SIDING - BROWN
E2	FIBER CEMENT SIDING - YELLOW
E3	FIBER CEMENT SIDING - LIGHT GRAY
E4	FIBER CEMENT SIDING - DARK GRAY
C1	BRICK VENEER
H1	METAL SEAMED ROOF
H2	ASPHALT SHINGLES ROOF
W1	VINYL WINDOW, TYP.
W3	PANELIZED GARAGE DOOR
R2	VERTICAL METAL RAILING

COLOR AND MATERIAL

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Sheet Title:
TOWNHOMES
ELEVATIONS A AND
B 6-PLEX

Job No. 20004
Date: 6/12/2023
Scale: As indicated
Drawn By: Author

Sheet No:

A604

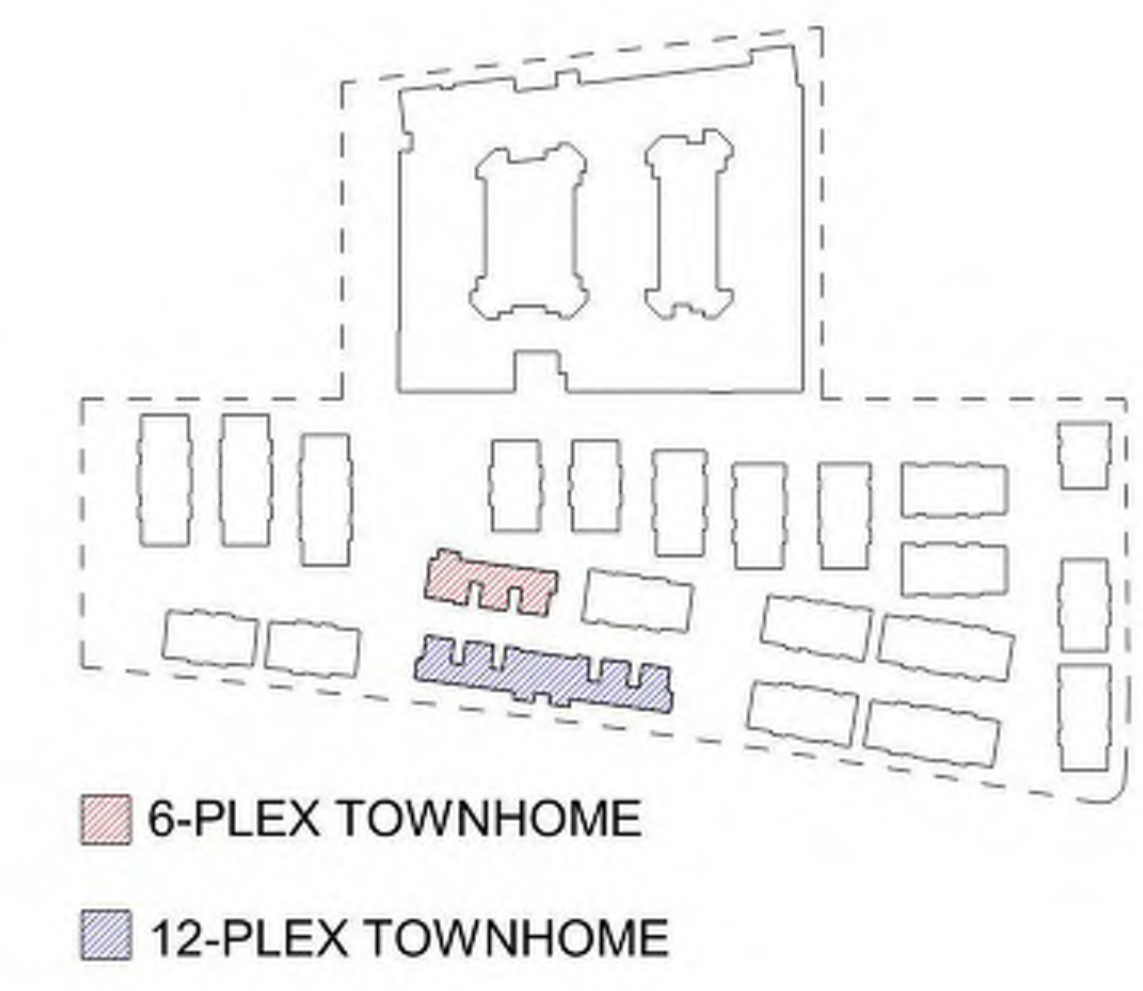


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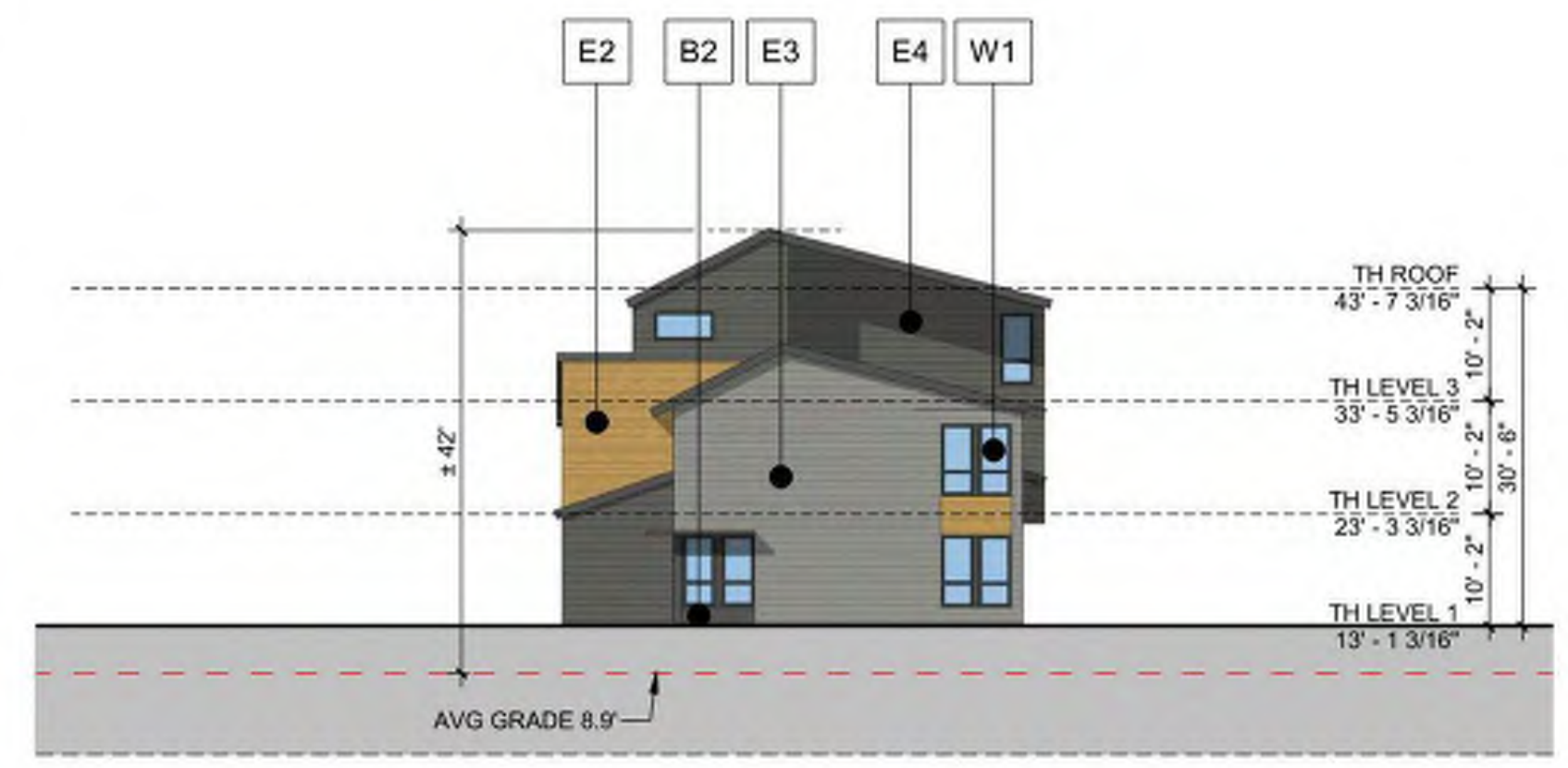
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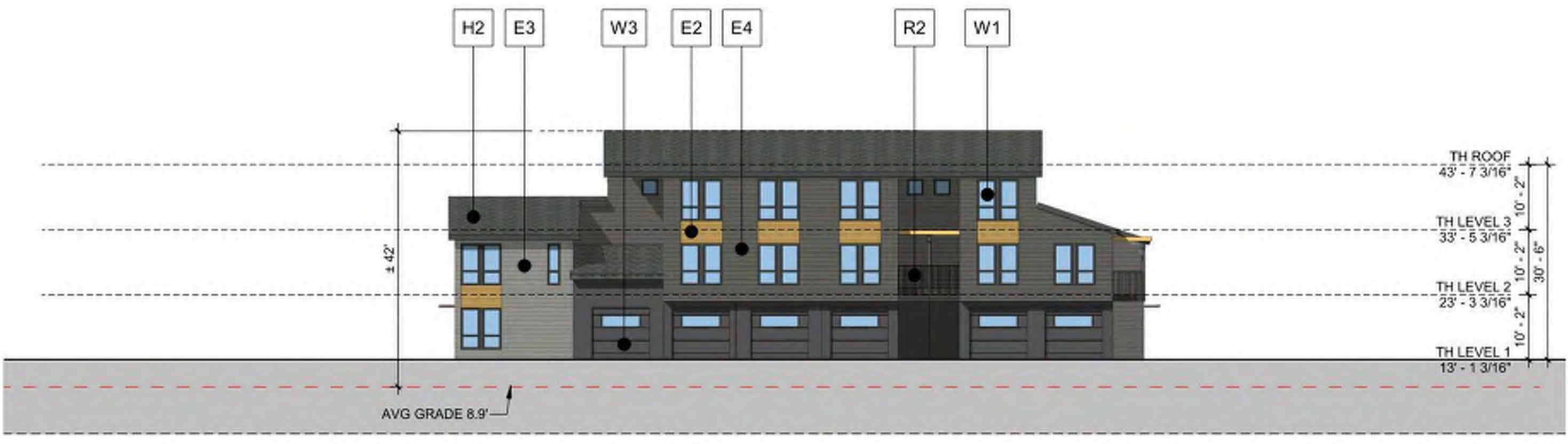
KEY MAP



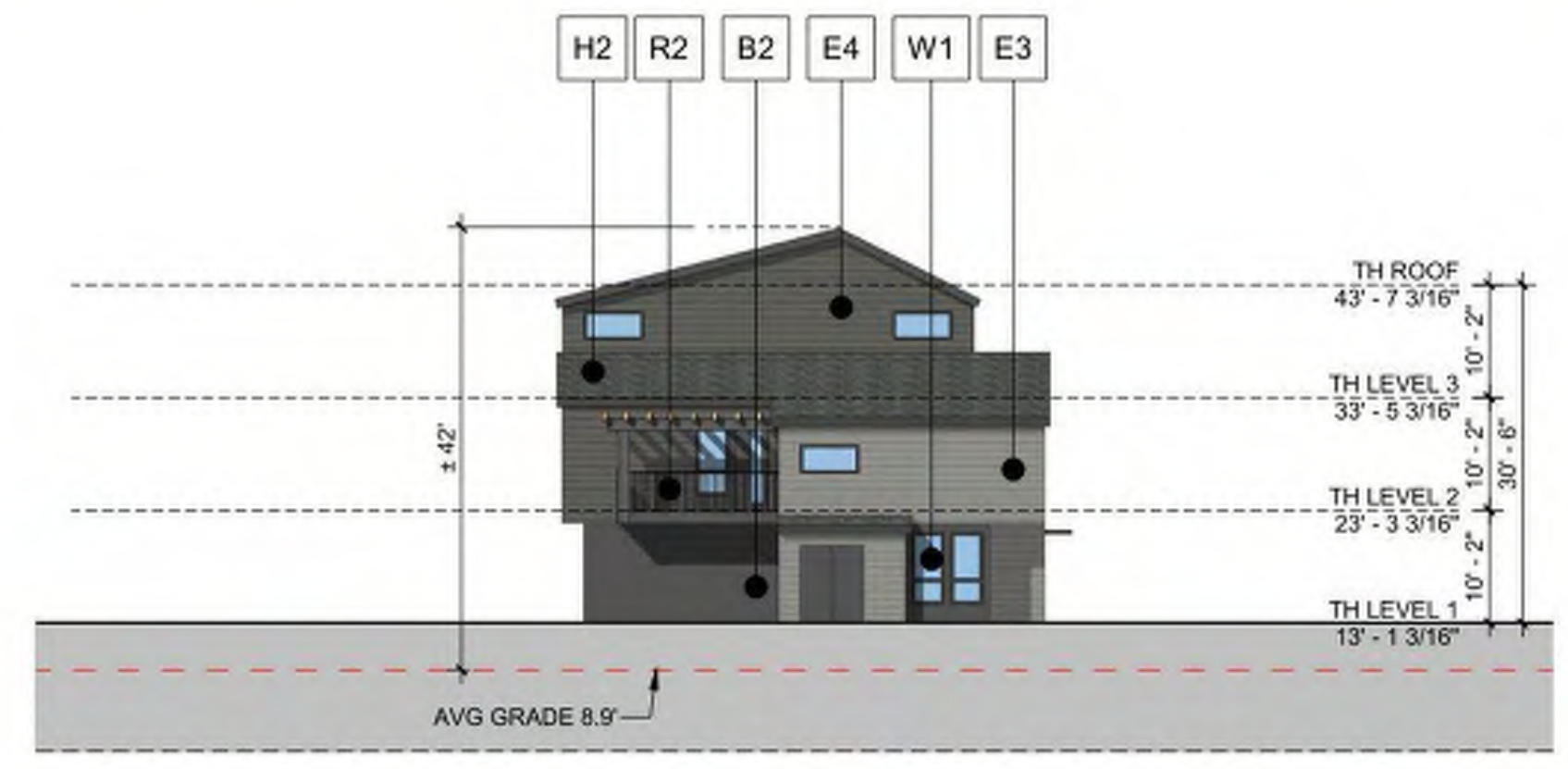
AFFORDABLE TOWNHOME C 6-PLEX - FRONT 1/16" = 1'-0" 8



AFFORDABLE TOWNHOME C 6-PLEX - SIDE 1 1/16" = 1'-0" 4



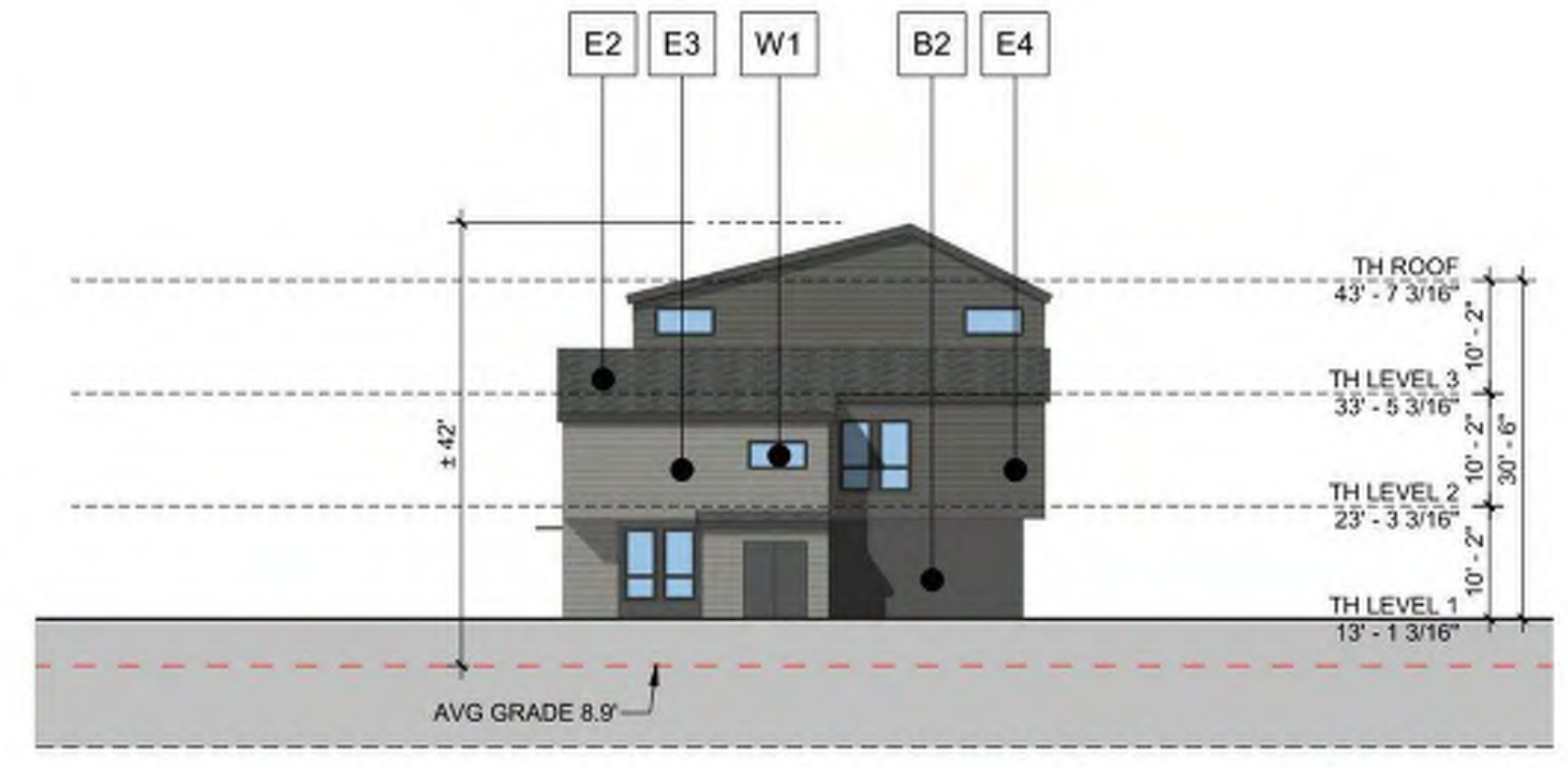
AFFORDABLE TOWNHOME C 6-PLEX - REAR 1/16" = 1'-0" 7



AFFORDABLE TOWNHOME C 6-PLEX - SIDE 2 1/16" = 1'-0" 3



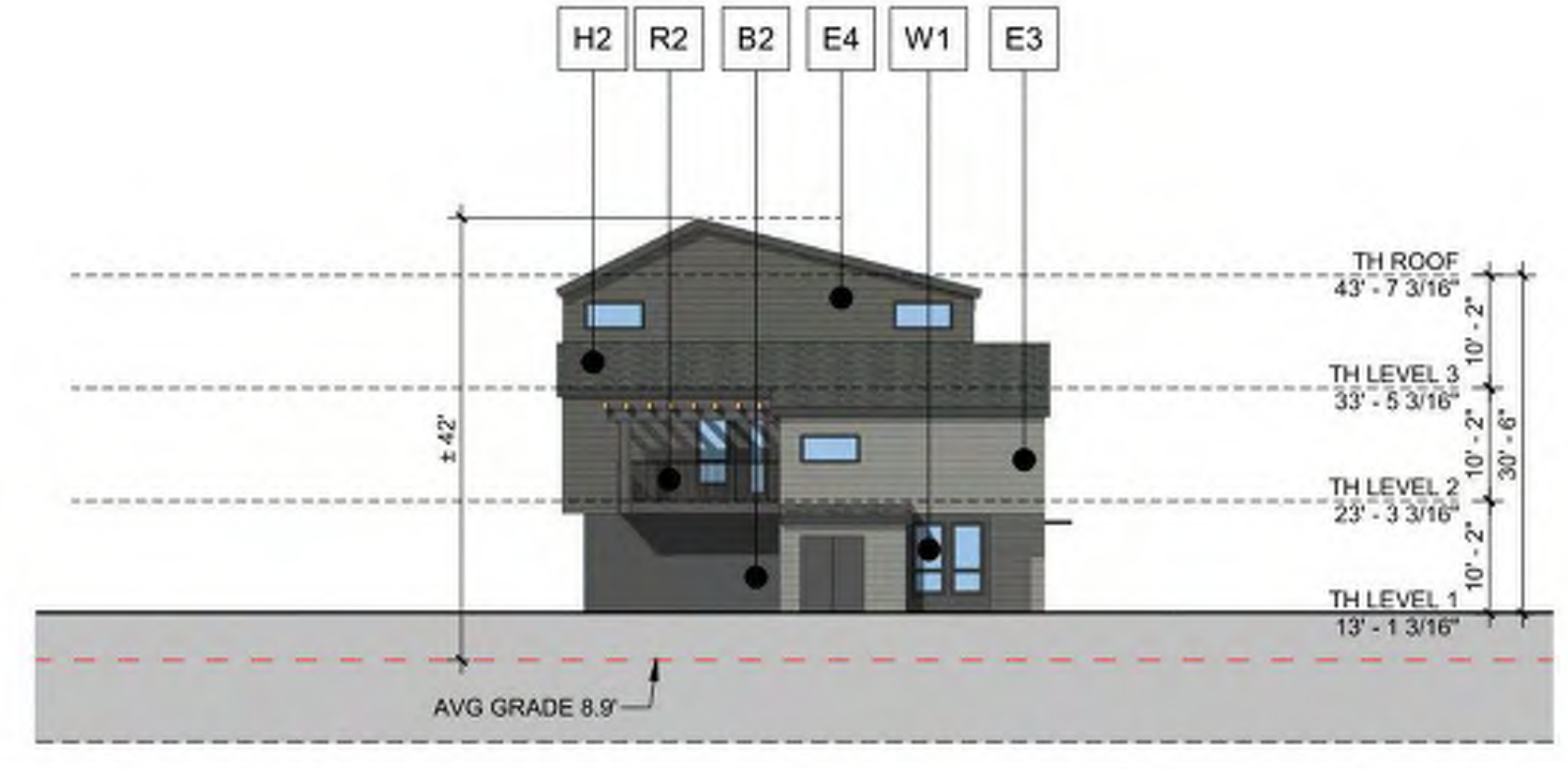
AFFORDABLE TOWNHOME C 12-PLEX - FRONT 1/16" = 1'-0" 6



AFFORDABLE TOWNHOME C 12-PLEX - SIDE 1 1/16" = 1'-0" 2



AFFORDABLE TOWNHOME C 12-PLEX - REAR 1/16" = 1'-0" 5



AFFORDABLE TOWNHOME C 12-PLEX - SIDE 2 1/16" = 1'-0" 1

LEGEND	
A2	CEMENT PLASTER - LIGHT GRAY
A3	CEMENT PLASTER - GRAY
B1	FIBER CEMENT PANEL - WHITE
B2	FIBER CEMENT PANEL - GRAY
E1	FIBER CEMENT SIDING - BROWN
E2	FIBER CEMENT SIDING - YELLOW
E3	FIBER CEMENT SIDING - LIGHT GRAY
E4	FIBER CEMENT SIDING - DARK GRAY
C1	BRICK VENEER
H1	METAL SEAMED ROOF
H2	ASPHALT SHINGLES ROOF
W1	VINYL WINDOW, TYP.
W3	PANELIZED GARAGE DOOR
R2	VERTICAL METAL RAILING

COLOR AND MATERIAL

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Sheet Title:
TOWNHOMES
ELEVATIONS C
6-PLEX AND 12-PLEX

Job No. 20004
Date: 6/12/2023
Scale: As indicated
Drawn By: Author

Sheet No:

A605

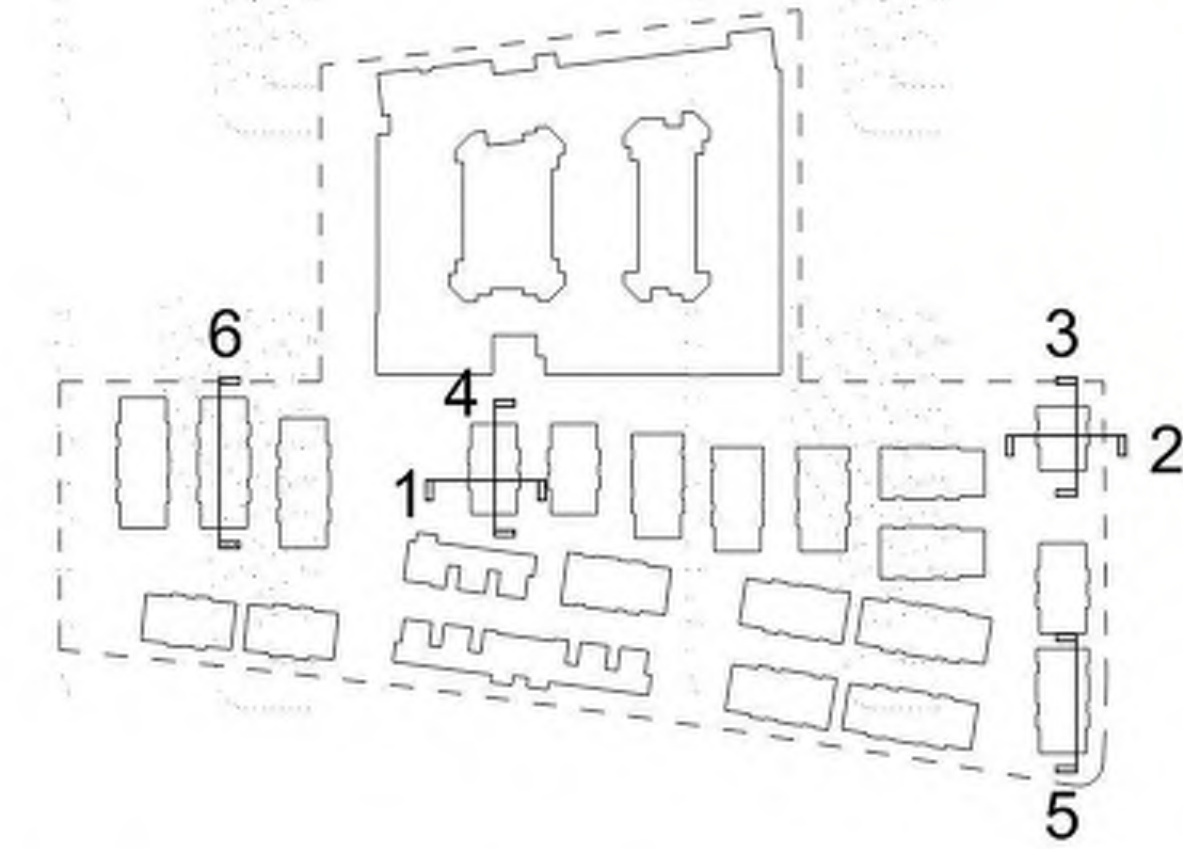


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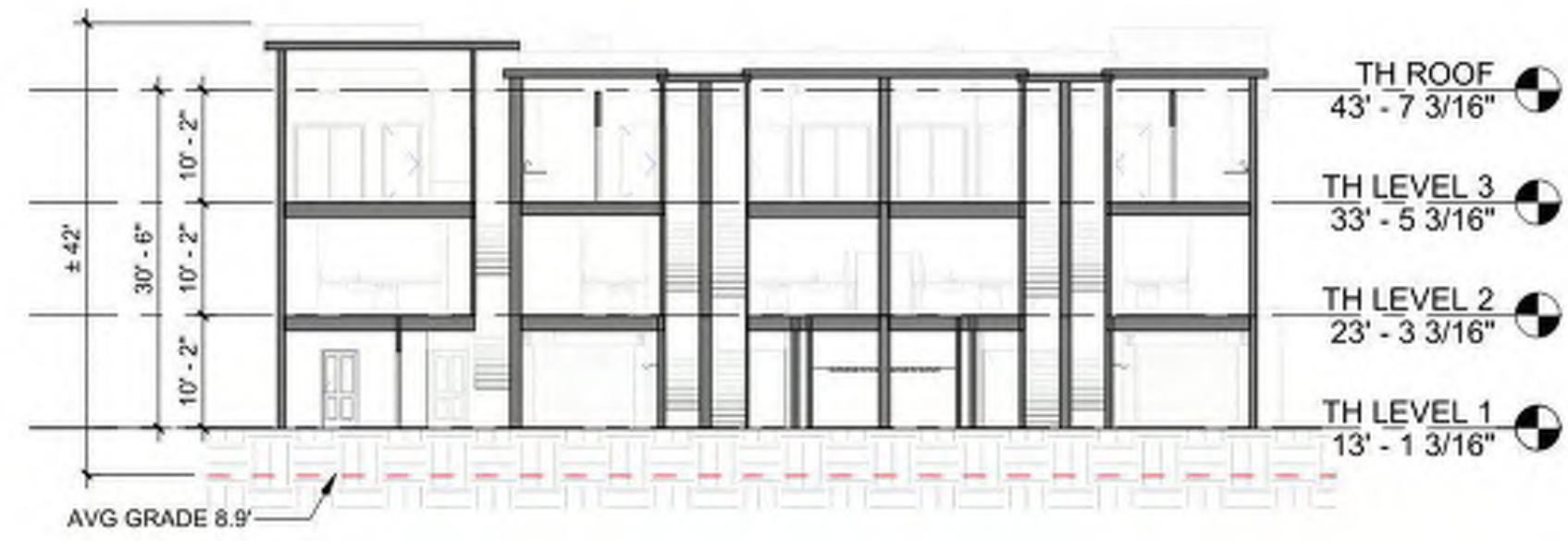
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KEY MAP



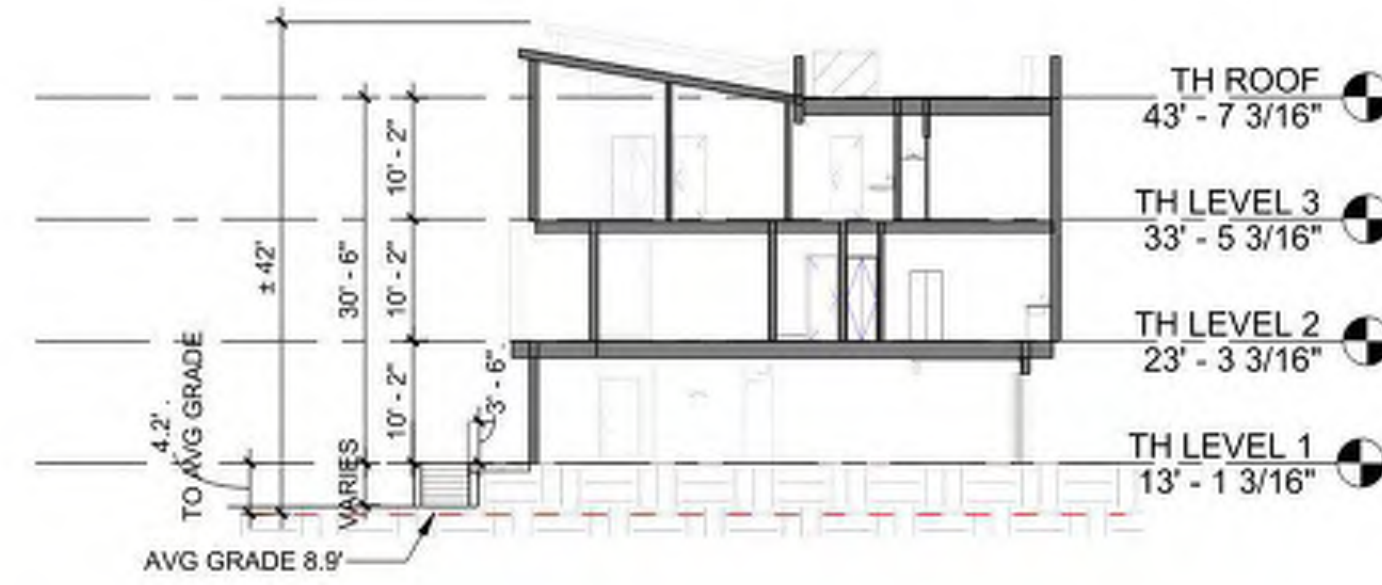
6-PLEX TOWNHOME A SECTION 1/16" = 1'-0" 6



5-PLEX TOWNHOME A SECTION 1/16" = 1'-0" 5



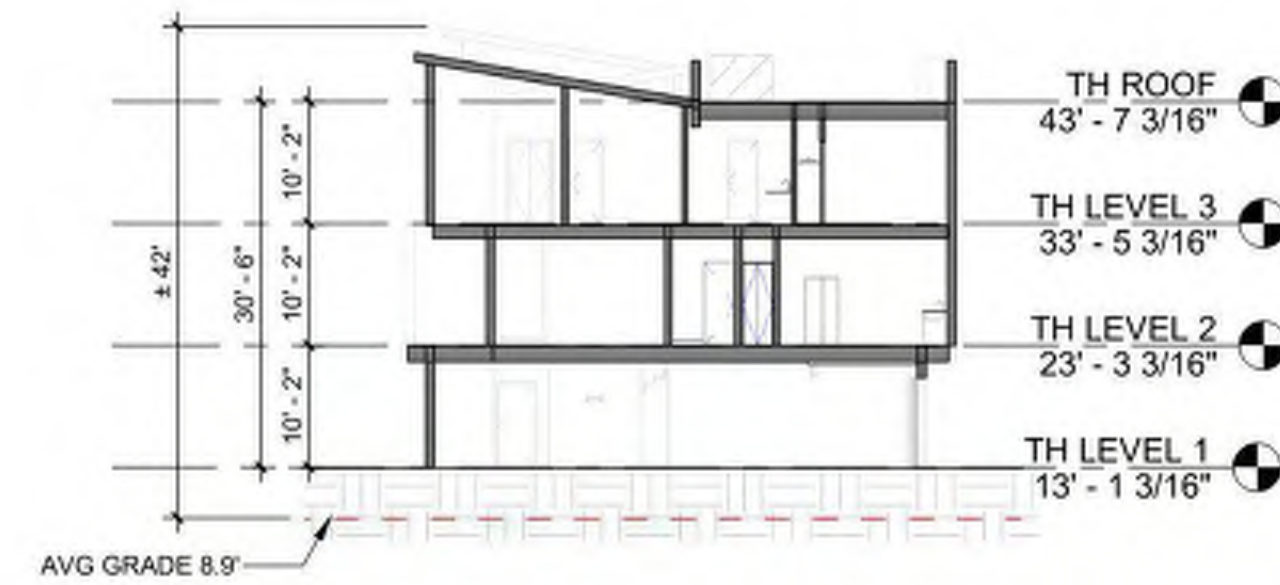
4-PLEX TOWNHOME A SECTION 1/16" = 1'-0" 4



TOWNHOME A SECTION WITH STOOP 1/16" = 1'-0" 2



3-PLEX TOWNHOME A SECTION 1/16" = 1'-0" 3



TOWNHOME A SECTION 1/16" = 1'-0" 1

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Sheet Title:
TOWNHOME
BUILDING A
SECTIONS

Job No. 20004
Date: 6/12/2023
Scale: As indicated
Drawn By: Author

Sheet No.:

A621

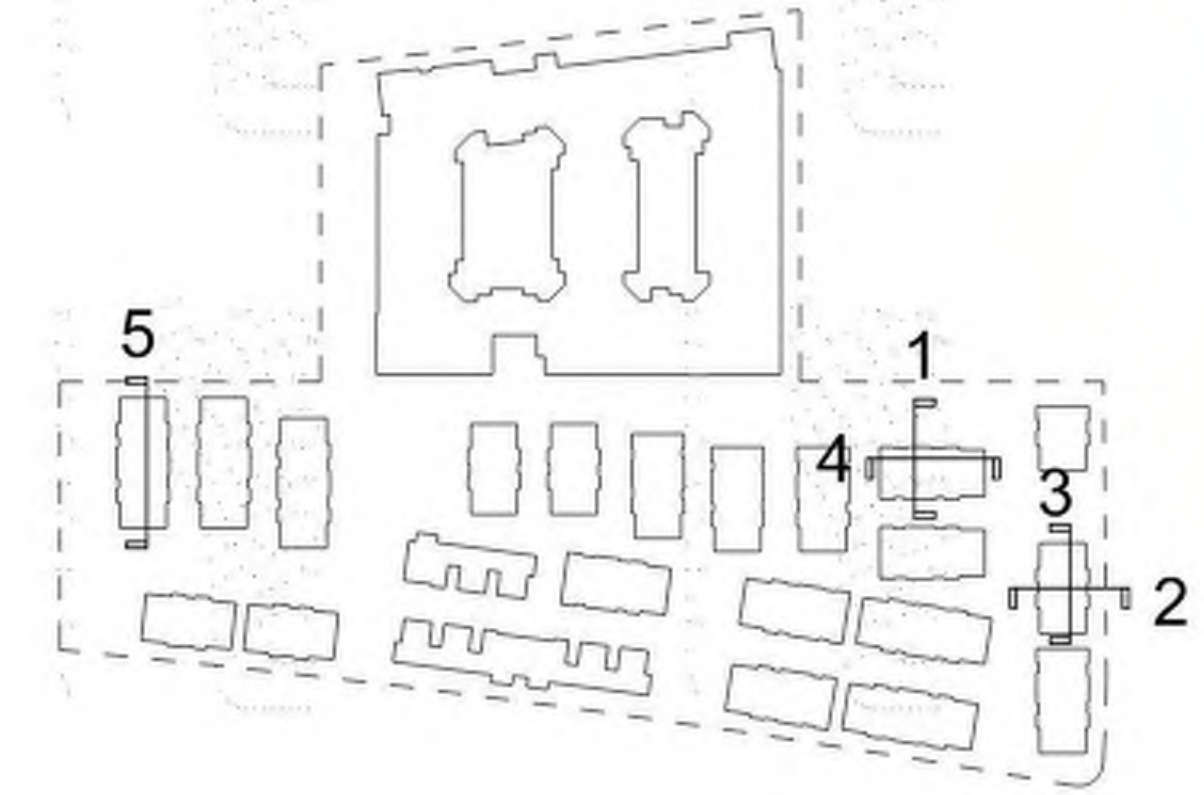


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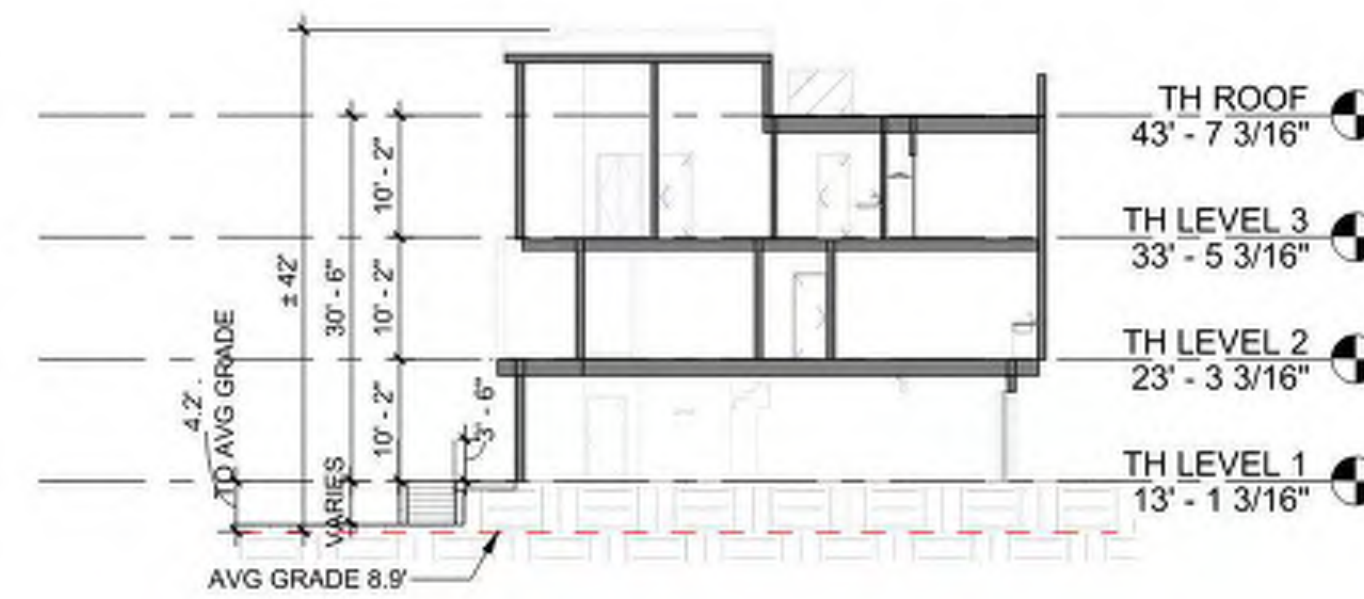
KEY MAP



6-PLEX TOWNHOME B SECTION 1/16" = 1'-0" 5



5-PLEX TOWNHOME B SECTION 1/16" = 1'-0" 4



TOWNHOME B SECTION WITH STOOP 1/16" = 1'-0" 2



4-PLEX TOWNHOME B SECTION 1/16" = 1'-0" 3



TOWNHOME B SECTION 1/16" = 1'-0" 1

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Sheet Title:
TOWNHOME
BUILDING B
SECTIONS

Job No. 20004
Date: 6/12/2023
Scale: As indicated
Drawn By: Author

Sheet No.:

A622

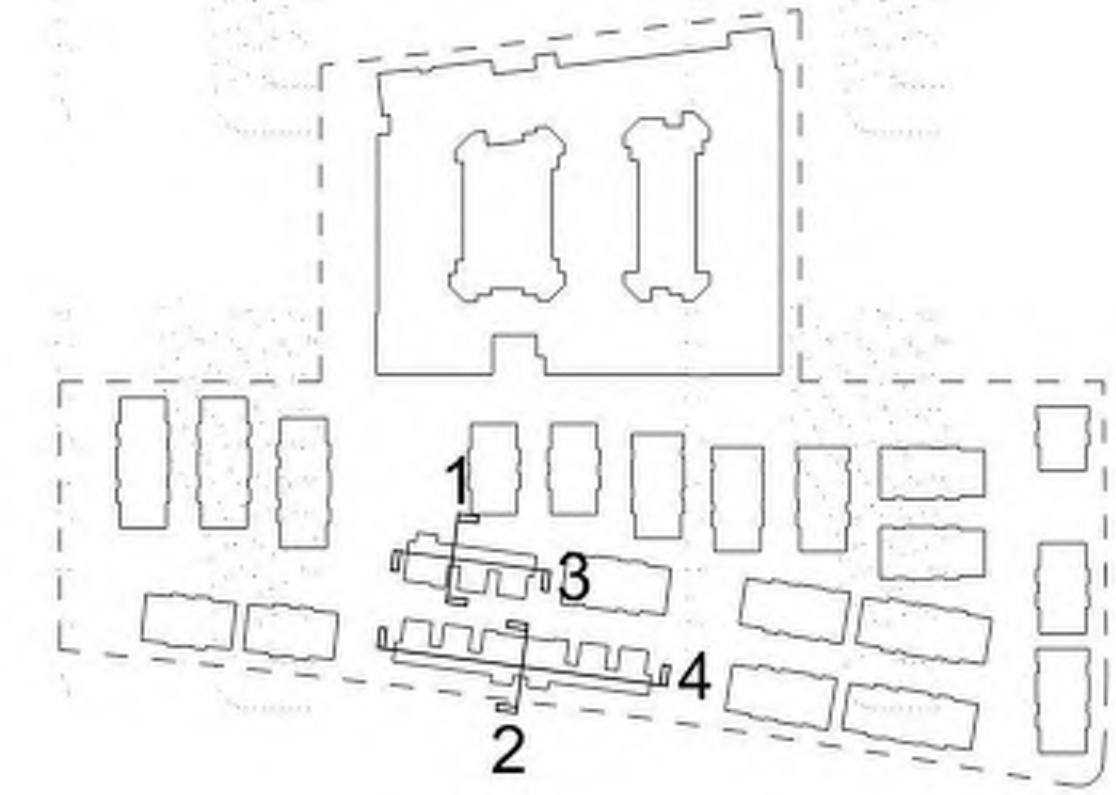


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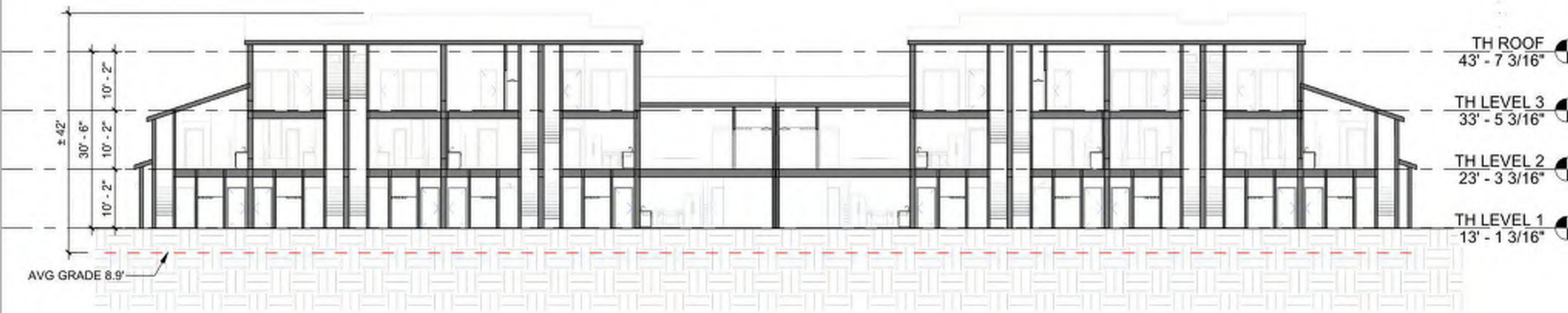
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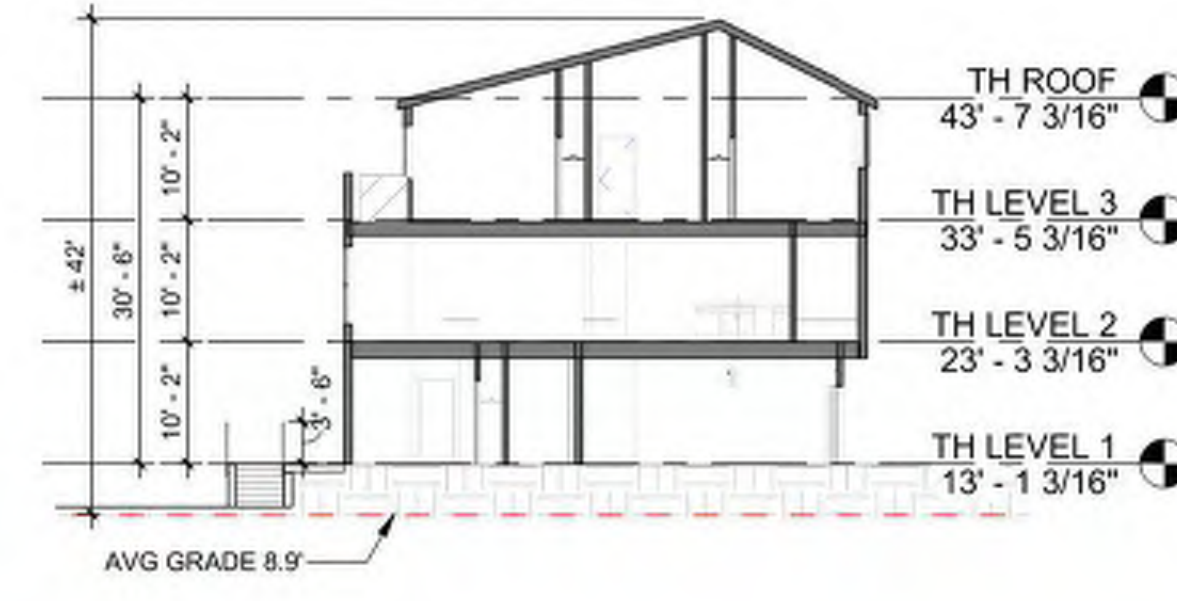
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KEY MAP



TH ROOF
43' - 7 3/16"
TH LEVEL 3
33' - 5 3/16"
TH LEVEL 2
23' - 3 3/16"
TH LEVEL 1
13' - 1 3/16"



TH ROOF
43' - 7 3/16"
TH LEVEL 3
33' - 5 3/16"
TH LEVEL 2
23' - 3 3/16"
TH LEVEL 1
13' - 1 3/16"

12-PLEX TOWNHOME C SECTION

1/16" = 1'-0"

4

12-PLEX TOWNHOME C SIDE SECTION WITH STOOP

1/16" = 1'-0"

2



TH ROOF
43' - 7 3/16"
TH LEVEL 3
33' - 5 3/16"
TH LEVEL 2
23' - 3 3/16"
TH LEVEL 1
13' - 1 3/16"



TH ROOF
43' - 7 3/16"
TH LEVEL 3
33' - 5 3/16"
TH LEVEL 2
23' - 3 3/16"
TH LEVEL 1
13' - 1 3/16"

6-PLEX TOWNHOME C SECTION

1/16" = 1'-0"

3

6-PLEX TOWNHOME C SIDE SECTION

1/16" = 1'-0"

1

123 Independence
Menlo Park, CA

The Sobrato Organization
599 Castro Street, Suite 400
Mountain View, CA

Sheet Title:
TOWNHOME
BUILDING C
SECTIONS

Job No. 20004
Date: 6/12/2023
Scale: As indicated
Drawn By: Author

Sheet No:

A623

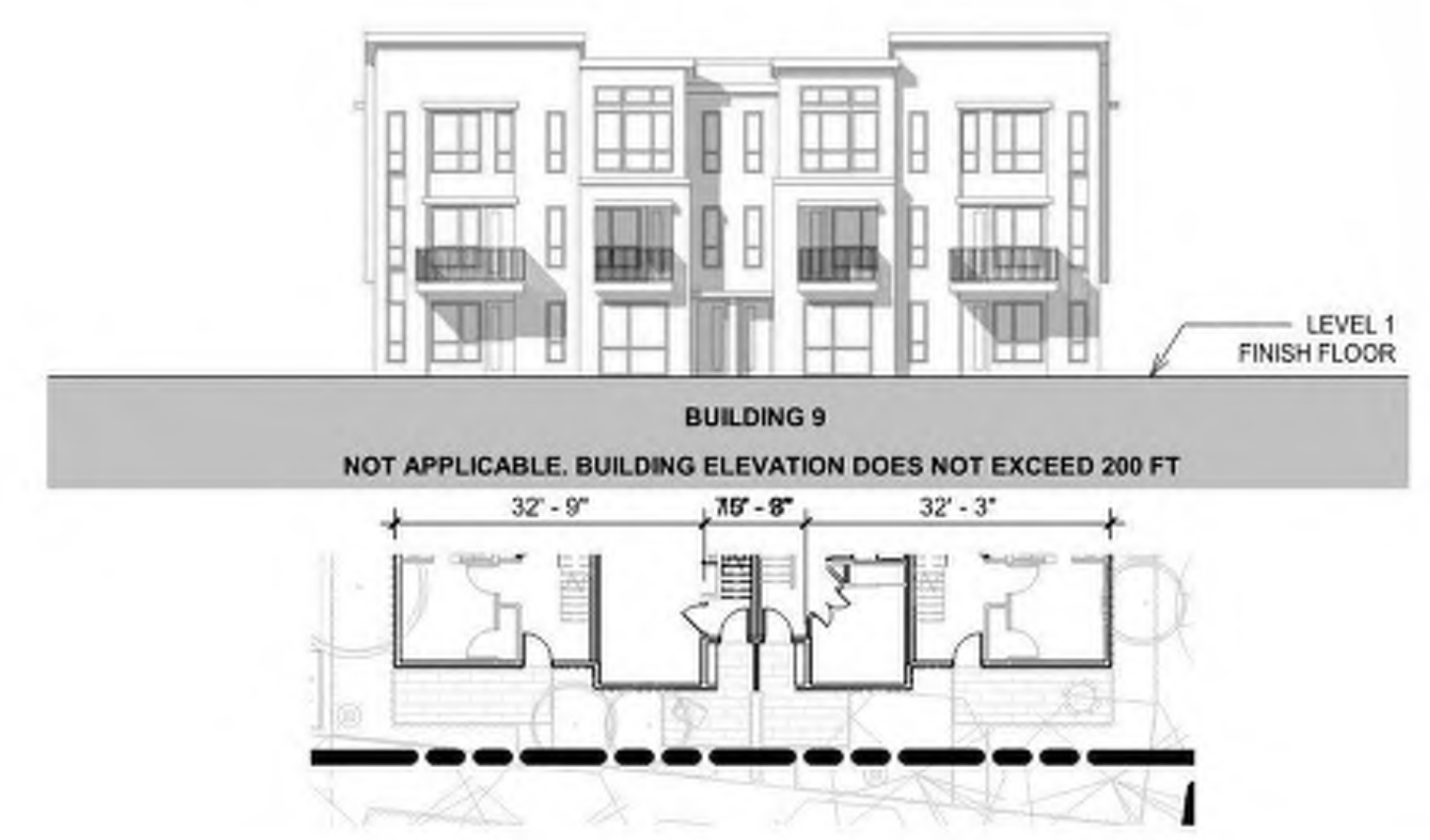
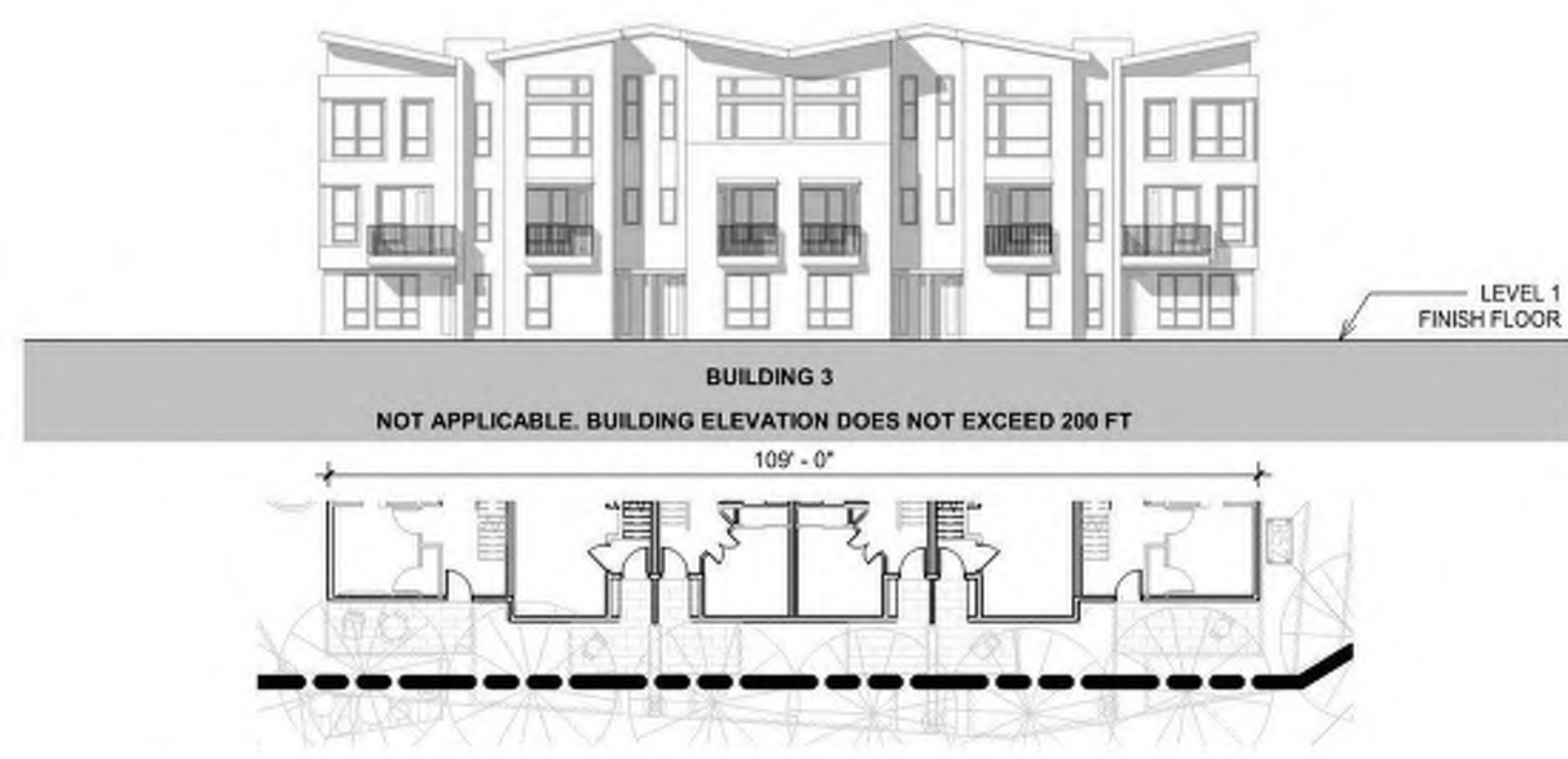
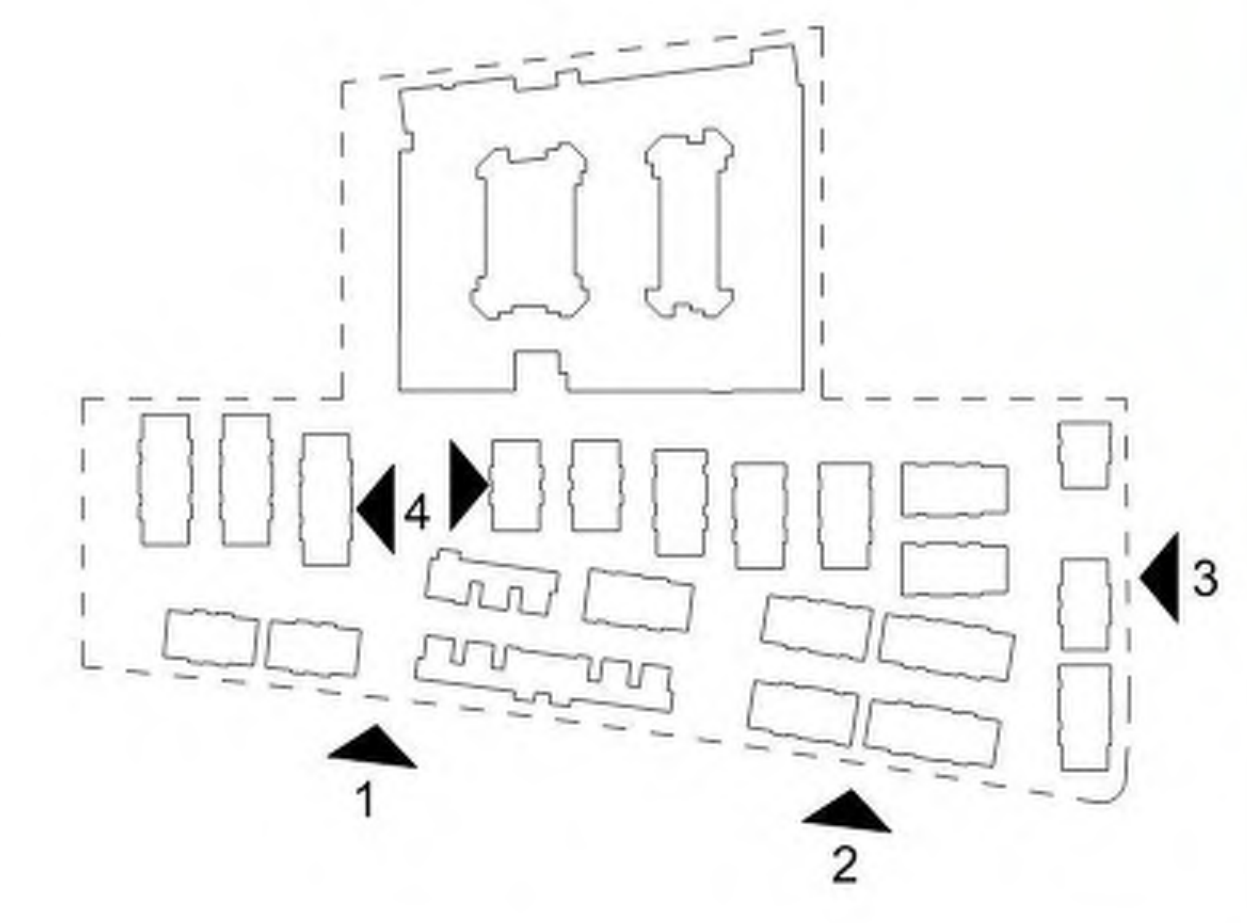


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: Planning
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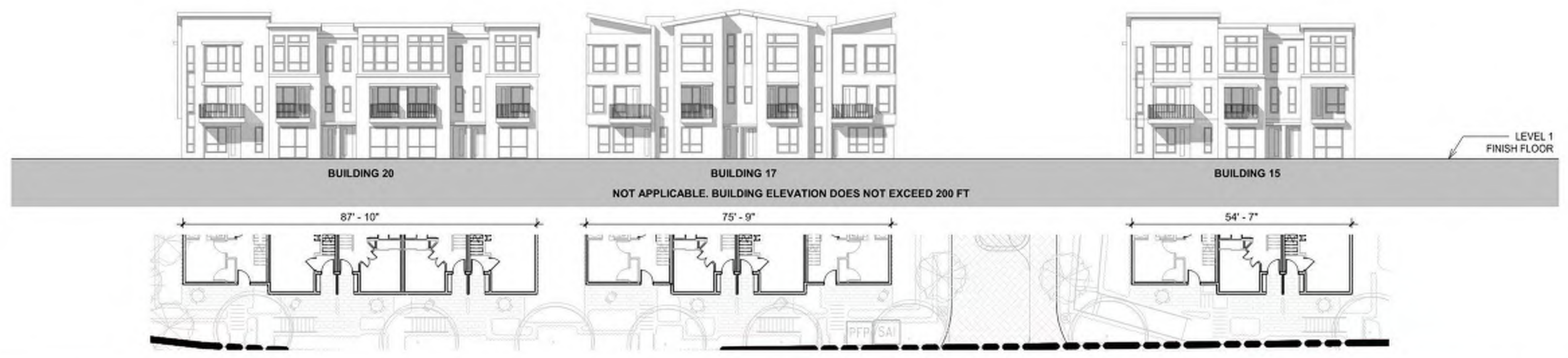
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PASEO 1" = 20'-0" 4

KEY MAP

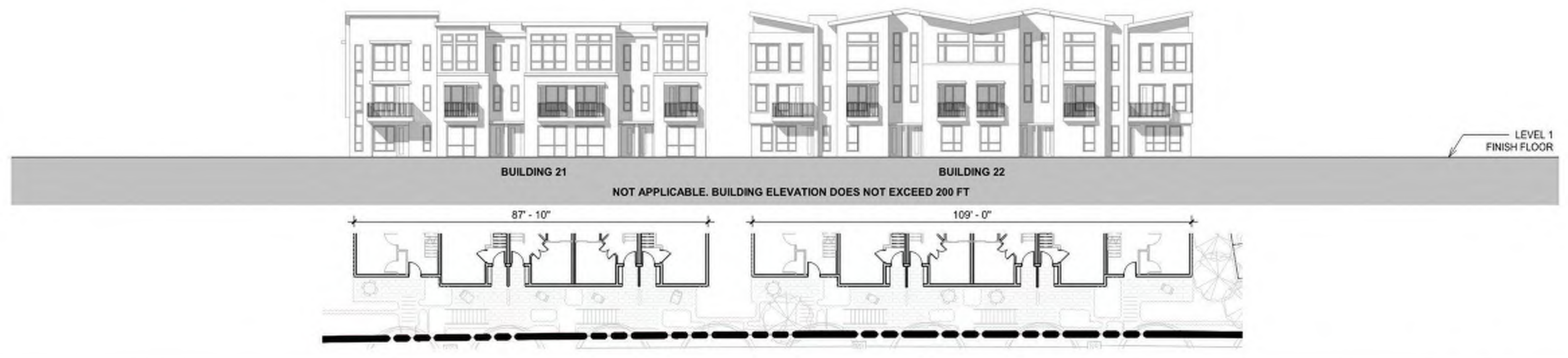


Municipal Code 16.45.120 (2) - Major Building Modulations:
Minimum one recess of 15' wide by 10' deep per 200' of facade length facing publicly accessible spaces (streets, open space, and paseo) applicable from the ground level to the top of the building's base height.

✓ **Project compliance:**
At least one major building recess provided every 200' of facade on Constitution elevation, west elevation, and south elevation.

▣ Major building recess

CHRYSLER DRIVE 1" = 20'-0" 3



E INDEPENDENCE DRIVE 1" = 20'-0" 2



W INDEPENDENCE DRIVE 1" = 20'-0" 1

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Mountain View, CA

Sheet Title:
**TH ZONING DIAGRAM
MAJOR BUILDING
MODULATIONS**

Job No. 20004
Date: 6/12/2023
Scale: As indicated
Drawn By: Author

Sheet No:
A701

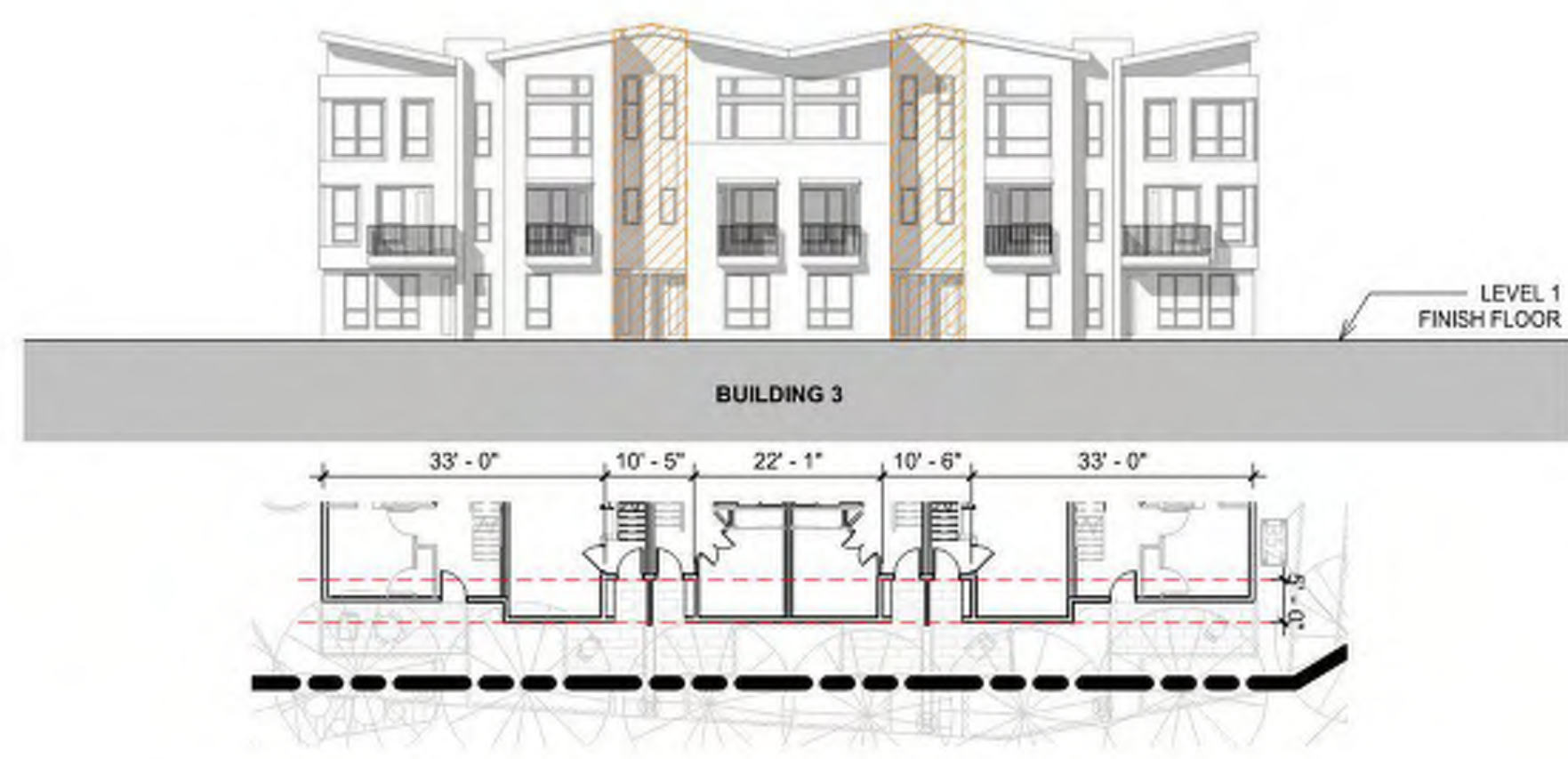
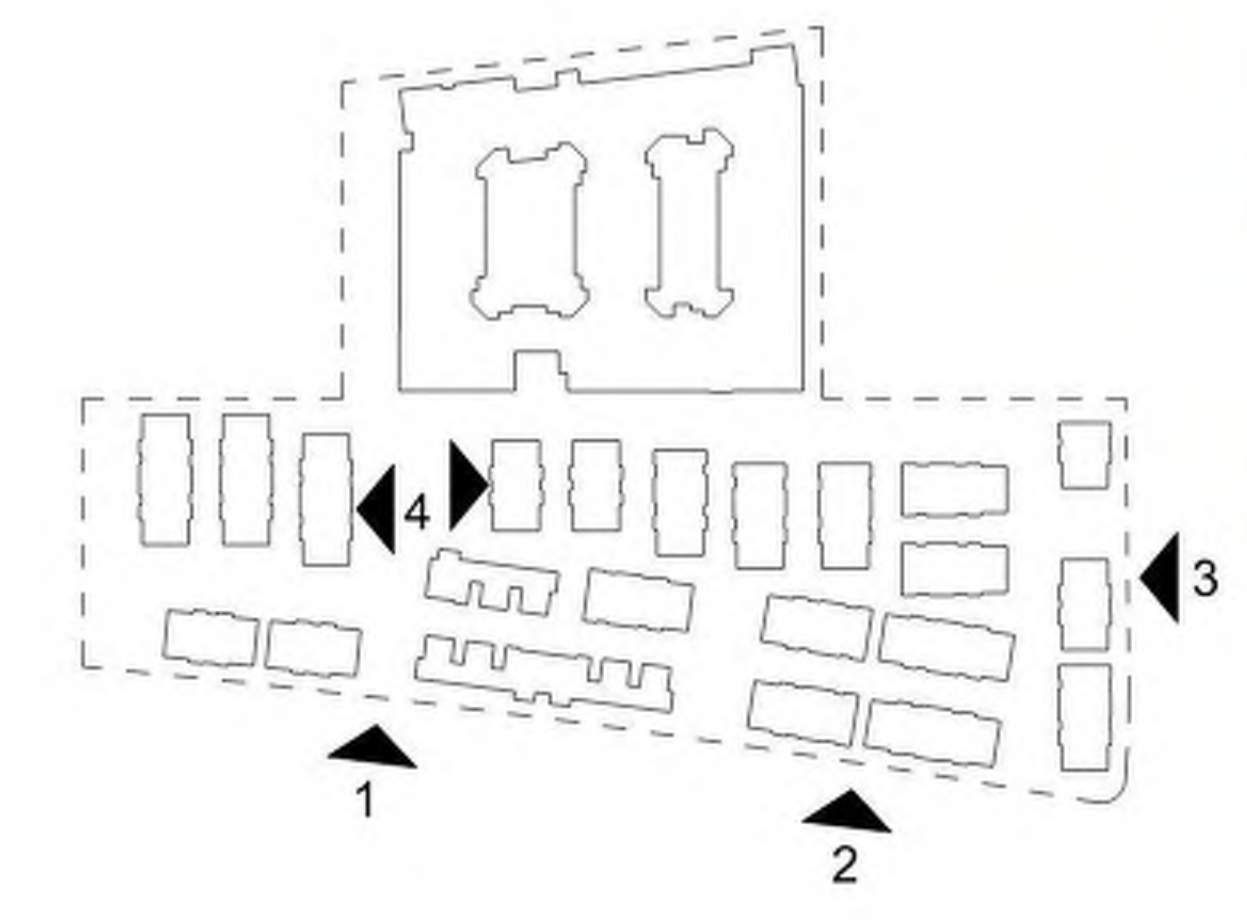


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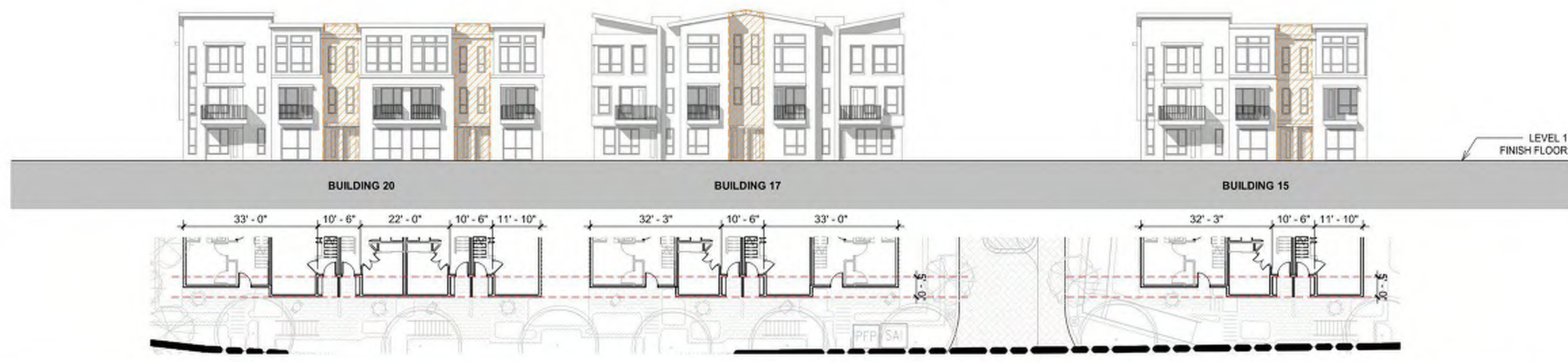
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PASEO 1" = 20'-0" 4

KEY MAP



Municipal Code 16.45.120 (2) - Minor Building Modulations:
Minimum one recess of 5' wide by 5' deep per 50' of facade length facing publicly accessible spaces (streets, open space, and paseo).

Building projections spaced no more than 50' apart with a minimum of 3' depth and 5' width may satisfy this requirements in-lieu of a recess.

✓ **Project compliance:**
At least one major building recess provided every 50' of facade.

■ Minor building recess

CHRYSLER DRIVE 1" = 20'-0" 3



E INDEPENDENCE DRIVE 1" = 20'-0" 2



W INDEPENDENCE DRIVE 1" = 20'-0" 1

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Sheet Title:
TH ZONING DIAGRAM
MINOR BUILDING
MODULATIONS

Job No. 20004
Date: 6/12/2023
Scale: As indicated
Drawn By: Author

Sheet No:

A702

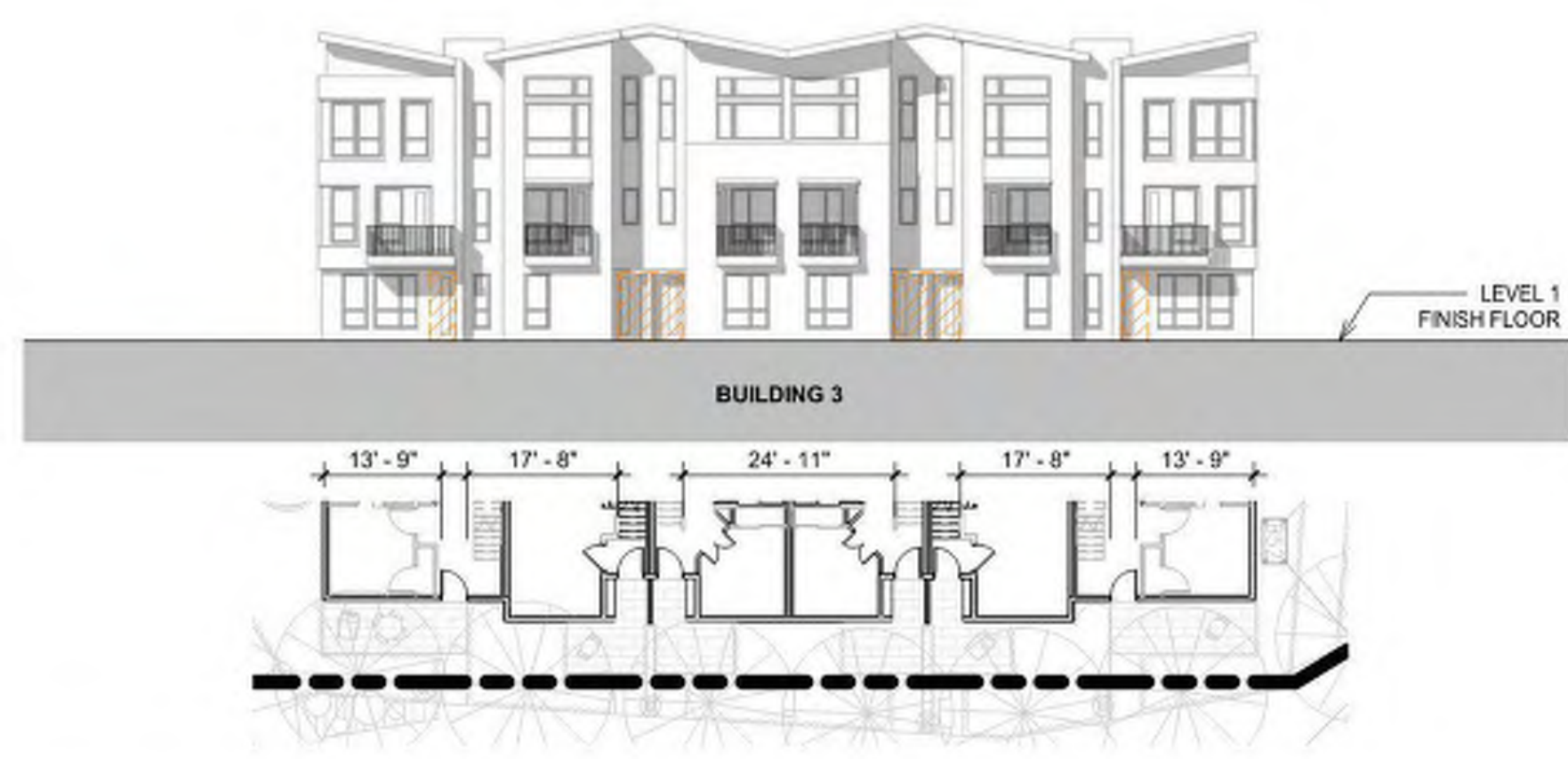
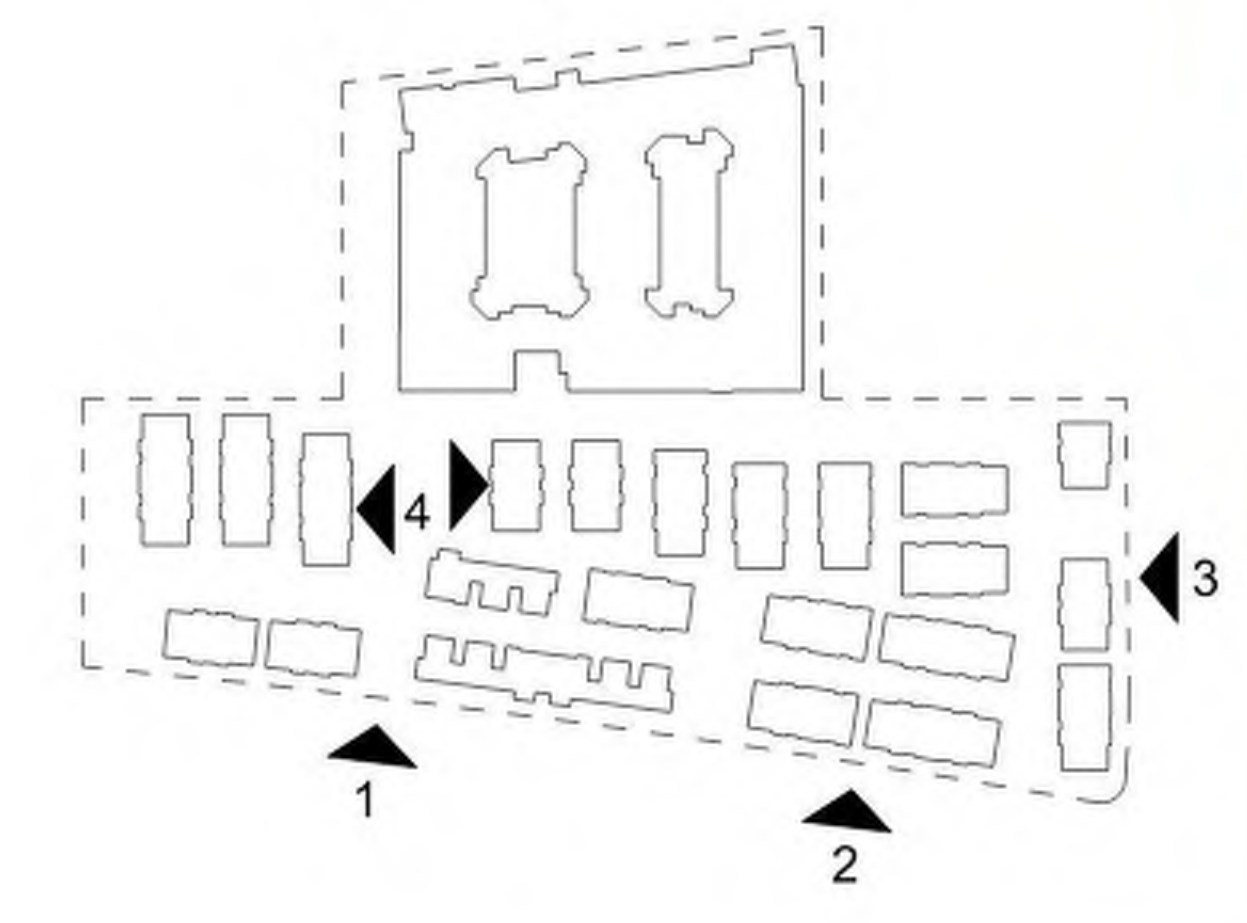


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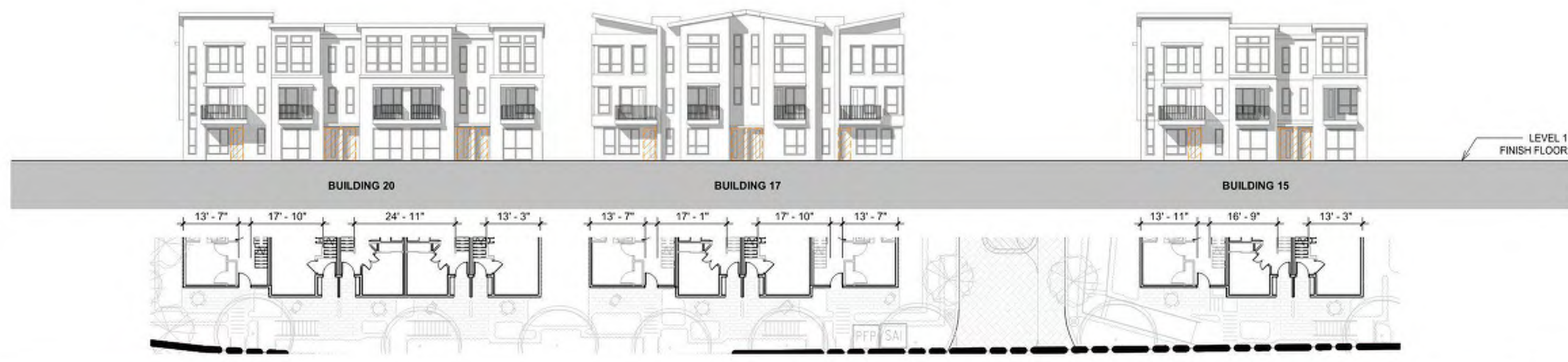
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PASEO 1" = 20'-0" 4

KEY MAP



Municipal Code 16.45.120 (3) - Building Entrances:
One entrance every 100' of building length along a public street or paseo

✓ **Project compliance:**
At least one entrance is provided every 100'.

■ Building Entrance

CHRYSLER DRIVE 1" = 20'-0" 3



E INDEPENDENCE DRIVE 1" = 20'-0" 2



W INDEPENDENCE DRIVE 1" = 20'-0" 1

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Menlo Park, CA

The Sobrato Organization
599 Castro Street, Suite 400
Mountain View, CA

Sheet Title:
**TH ZONING DIAGRAM
BUILDING ENTRANCE
MODULATIONS**

Job No. 20004
Date: 6/12/2023
Scale: As indicated
Drawn By: Author

Sheet No:
A703

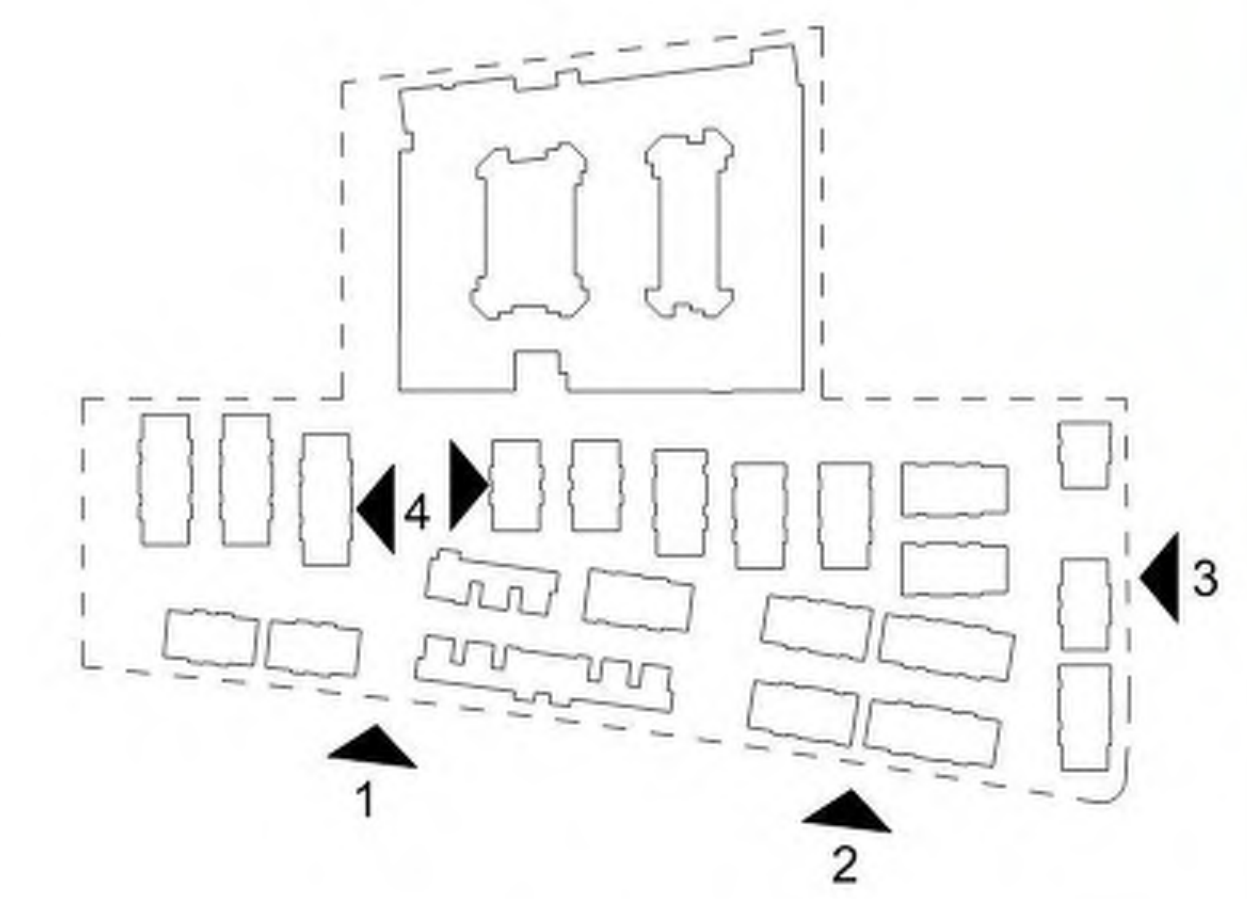


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TOTAL AREA OF GROUND FLOOR BUILDING FACADE = 1,088 SF
TRANSPARENT GLAZING PROVIDED:
 $1,088 \text{ SF} \times 30\% = 327 \text{ SF}$
 $382 \text{ SF} > 327 \text{ SF}$



TOTAL AREA OF GROUND FLOOR BUILDING FACADE = 765 SF
TRANSPARENT GLAZING PROVIDED:
 $765 \text{ SF} \times 30\% = 230 \text{ SF}$
 $332 \text{ SF} > 230 \text{ SF}$

PASEO 1" = 20'-0" 4

KEY MAP



TOTAL AREA OF GROUND FLOOR BUILDING FACADE = 2,190 SF
TRANSPARENT GLAZING PROVIDED:
 $2,190 \text{ SF} \times 30\% = 657 \text{ SF}$
 $958 \text{ SF} > 657 \text{ SF}$

Municipal Code 16.45.120 (3) - Ground floor transparency:
Minimum 30% for residential uses and 50% of commercial uses of the ground floor facade that must provide visual transparency

✓ **Project compliance:**
Transparent glazing exceeds 30% of residential uses and 50% of commercial uses of the ground floor facade

- Ground level transparent glazing surface
- Ground level opaque surface
- Ground level height

Municipal Code 16.45.120 (3) - Minimum ground floor height along street frontage:
10' for residential uses

✓ **Project compliance:**
The ground level is 10'-0".

- Ground level height

CHRYSLER DRIVE 1" = 20'-0" 3



TOTAL AREA OF GROUND FLOOR BUILDING FACADE = 1,970 SF
TRANSPARENT GLAZING PROVIDED:
 $1,970 \text{ SF} \times 30\% = 591 \text{ SF}$
 $795 \text{ SF} > 591 \text{ SF}$

E INDEPENDENCE DRIVE 1" = 20'-0" 2



TOTAL AREA OF GROUND FLOOR BUILDING FACADE = 3,675 SF
TRANSPARENT GLAZING PROVIDED:
 $3,675 \text{ SF} \times 30\% = 1,103 \text{ SF}$
 $1,405 \text{ SF} > 1,103 \text{ SF}$

W INDEPENDENCE DRIVE 1" = 20'-0" 1

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Menlo Park, CA

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599 Castro Street, Suite 400
Mountain View, CA

Sheet Title:
**TH ZONING DIAGRAM
GLAZING**

Job No. 20004
Date: 6/12/2023
Scale: As indicated
Drawn By: Author

Sheet No:

A704

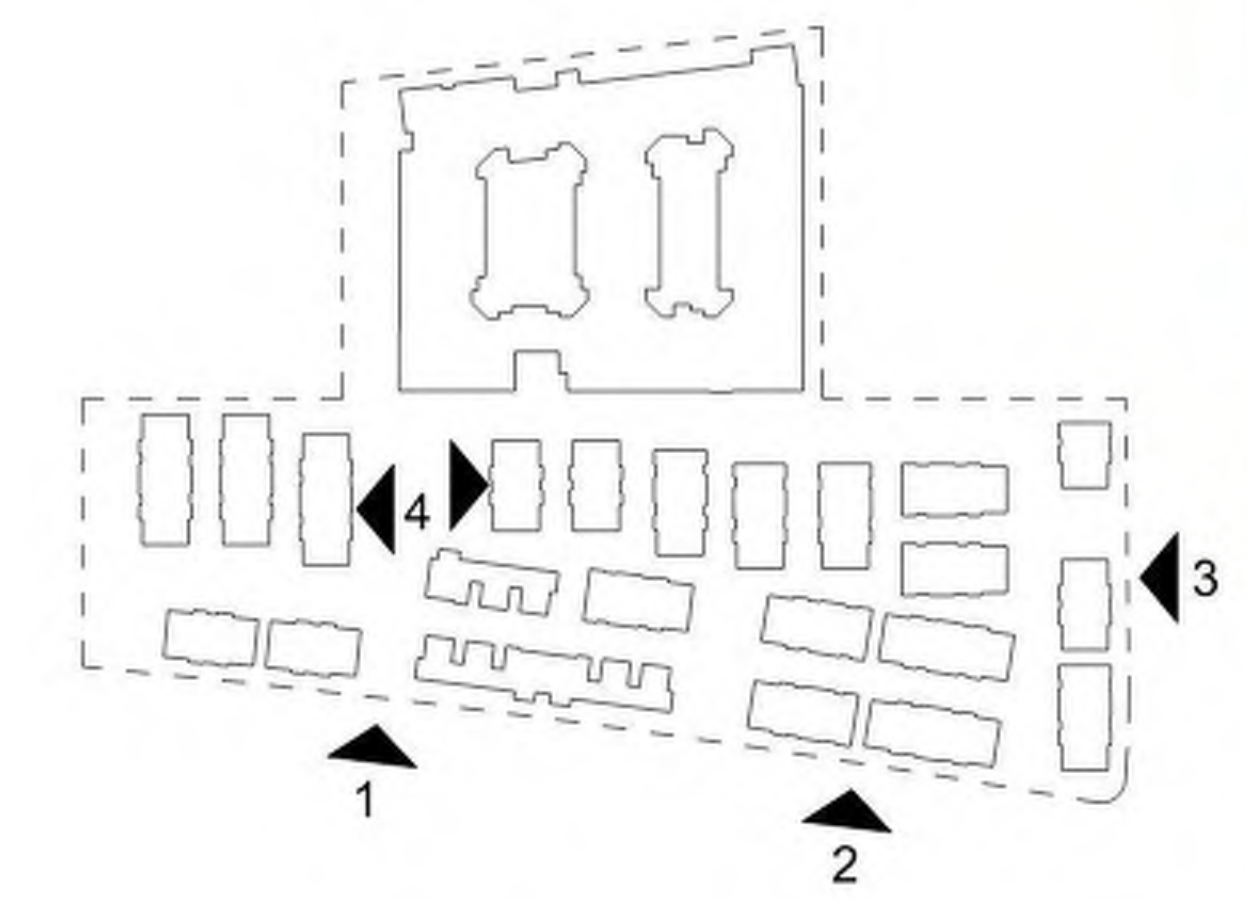


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TOTAL AREA OF BUILDING FACADE = 12,060 SF
WALL AREA OF STUCCO = 1,667 SF

12,060 SF X 50% = 6,030 SF
1,667 SF < 6,030 SF



TOTAL AREA OF BUILDING FACADE = 2,676 SF
WALL AREA OF STUCCO = 520 SF

2,676 SF X 50% = 1,338 SF
520 SF < 1,338 SF

PASEO 1" = 20'-0" 4

KEY MAP



TOTAL AREA OF BUILDING FACADE = 7,573 SF
WALL AREA OF STUCCO = 1,507 SF

7,573 SF X 50% = 3,787 SF
1,507 SF < 3,787 SF

Municipal Code 16.45.120 (6) - Building Materials:
Stucco shall not be used on more than 50% of the building facade.

✓ **Project compliance:**
Use of stucco is less than 50% of the building facade.

- Stucco
- Edge of building

CHRYSLER DRIVE 1" = 20'-0" 3



TOTAL AREA OF BUILDING FACADE = 6,843 SF
WALL AREA OF STUCCO = 1,344 SF

6,843 SF X 50% = 3,422 SF
1,344 SF < 3,422 SF

E INDEPENDENCE DRIVE 1" = 20'-0" 2



TOTAL AREA OF BUILDING FACADE = 12,060 SF
WALL AREA OF STUCCO = 1,667 SF

12,060 SF X 50% = 6,030 SF
1,667 SF < 6,030 SF

W INDEPENDENCE DRIVE 1" = 20'-0" 1

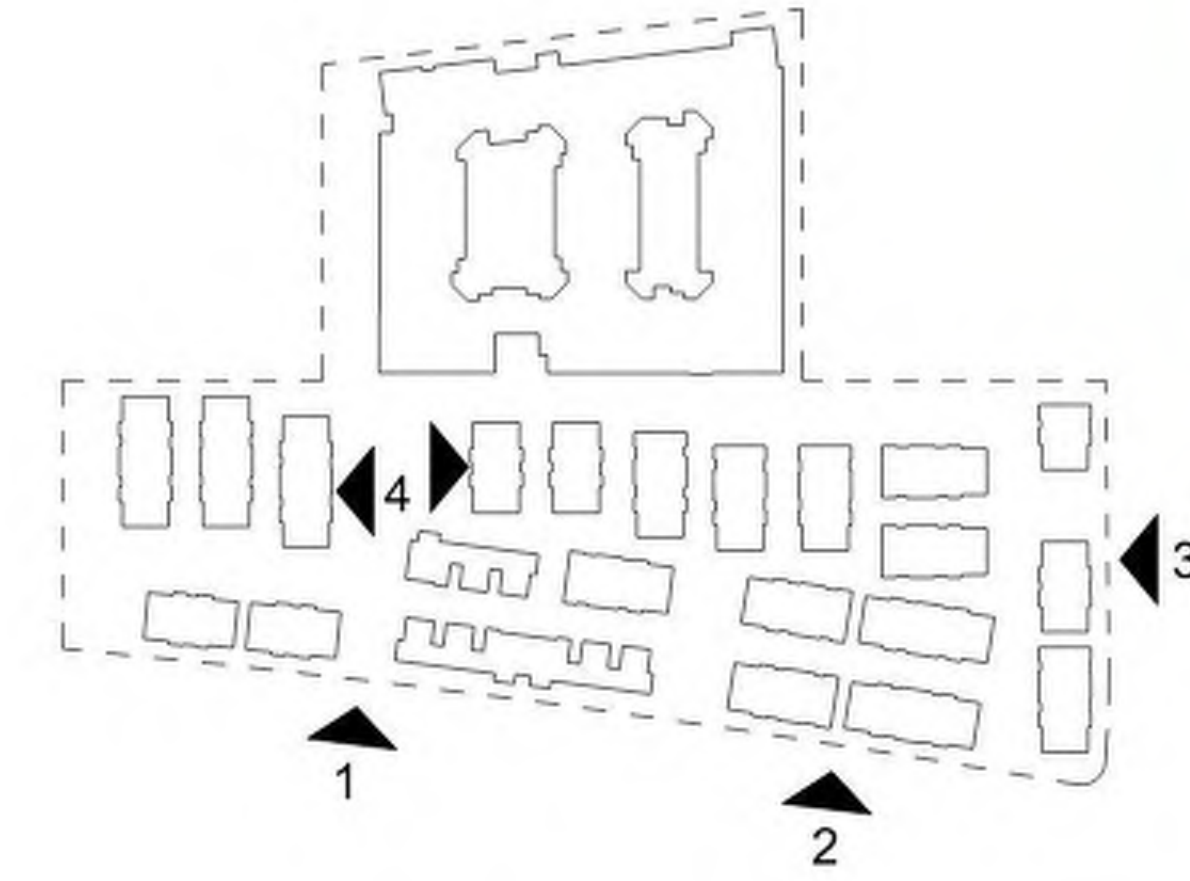
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Sheet Title:
TH ZONING DIAGRAM
PERCENTAGE
STUCCO

Job No. 20004
Date: 6/12/2023
Scale: As indicated
Drawn By: Author

Sheet No:
A705



PASEO 1" = 20'-0" 4

KEY MAP



Municipal Code 16.45.120 (3) - Awnings, signs, and canopies:
Maximum 7' horizontal projection

✓ **Project compliance:**
All awnings and canopies project less than 7' horizontally from face of building. A minimum vertical clearance of 8' from finished grade to the bottom of the projection is required.

Projecting awning and canopy

Municipal Code 16.45.120 (6) - Roof lines:
Roof lines and eaves adjacent to street-facing facade shall vary across a building, including a four-foot minimum height modulation to break visual monotony and create a visually interesting skyline as seen from public streets.

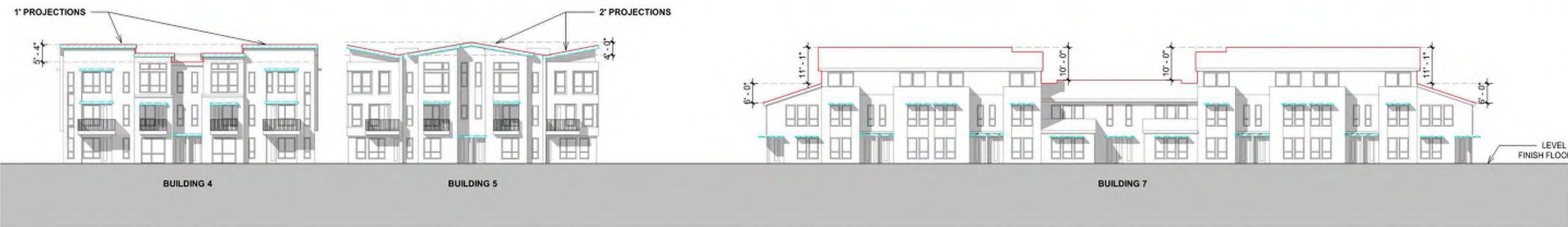
✓ **Project compliances:**
Roof lines varies across the building, including a four-foot minimum height modulation.

— Roof line

CHRYSLER DRIVE 1" = 20'-0" 3



E INDEPENDENCE DRIVE 1" = 20'-0" 2



W INDEPENDENCE DRIVE 1" = 20'-0" 1



A1 CEMENT PLASTER
 KELLY MOORE
 KM4724 WEDDED BLISS
 OR SIMILAR BY ALTERNATIVE
 MANUFACTURER
 SMOOTH TROWELED FINISH



A2 CEMENT PLASTER
 KELLY MOORE
 KM5789-3 SHADOW CLIFF
 OR SIMILAR BY ALTERNATIVE
 MANUFACTURER
 SMOOTH TROWELED FINISH



A3 CEMENT PLASTER
 KELLY MOORE
 KMA89-5 BLACK OAK
 OR SIMILAR BY ALTERNATIVE
 MANUFACTURER
 SMOOTH TROWELED FINISH



A4 CEMENT PLASTER
 KELLY MOORE
 KM4883 BLACK CAT
 OR SIMILAR BY ALTERNATIVE
 MANUFACTURER
 SMOOTH TROWELED FINISH



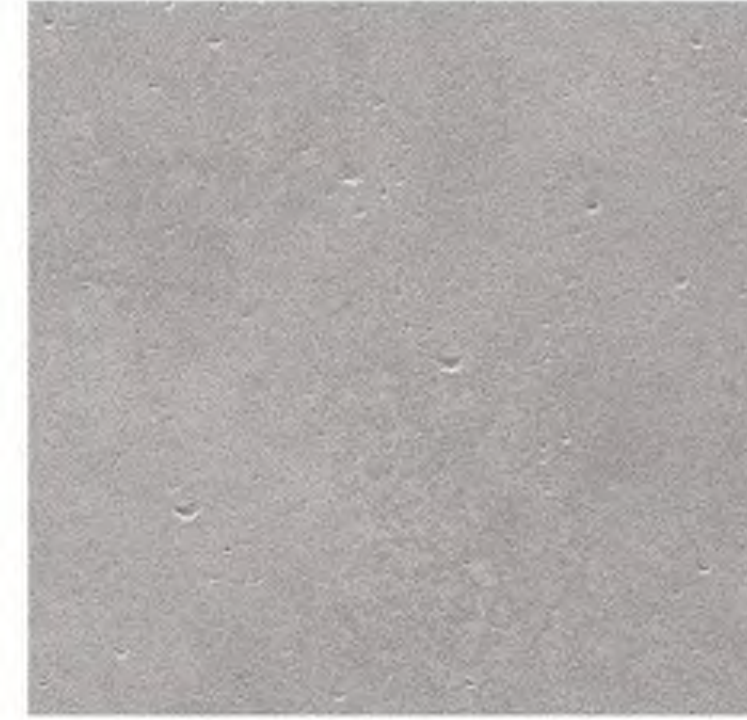
A5 CEMENT PLASTER
 KELLY MOORE
 KM5224 BANANA PEEL
 OR SIMILAR BY ALTERNATIVE
 MANUFACTURER
 SMOOTH TROWELED FINISH



B1 FIBER CEMENT PANEL
 JAMES HARDIE
 REVEAL PANEL SYSTEM
 KMW57-1 CLOUD WHITE
 OR SIMILAR BY ALTERNATIVE
 MANUFACTURER



B2 FIBER CEMENT PANEL
 JAMES HARDIE
 REVEAL PANEL SYSTEM
 HLS4205 CALIFORNIA CHAMOIS
 OR SIMILAR BY ALTERNATIVE
 MANUFACTURER



B3 FIBER CEMENT PANEL
 NICHIIHA INDUSTRIALBLOCK
 OR SIMILAR BY ALTERNATIVE
 MANUFACTURER



D1 PORCELAIN TILE
 COLOR 1



E1 FIBER CEMENT SIDING
 JAMES HARDIE
 ARTISAN V-GROOVE
 HLS4232 CROWN GOLD
 OR SIMILAR BY ALTERNATIVE
 MANUFACTURER



F1 GREEN SCREEN
 STEEL FRAMED PANEL WITH
 STEEL WIRE GRIDS
 24X 4' WIDE PANELS SPACED
 WITH 4" GAPS HORIZONTALLY



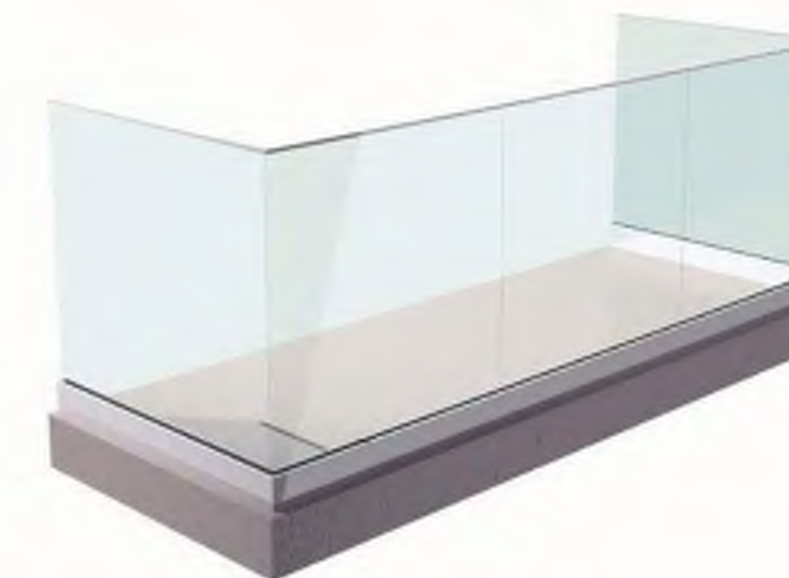
G1 GLASS PANEL FOR GLASS RAILINGS
 BIRD SAFE FRIT WITH HORIZONTAL
 LINES - 1/8" SILK-SCREENED
 CERAMIC FRIT LINES SPACED 2"
 APART HORIZONTALLY



W1 VINYL WINDOW
 VPI QUALITY WINDOWS
 BLACK FRAME FINISH
 OR SIMILAR BY ALTERNATIVE
 MANUFACTURER



W2 STOREFRONT
 ALUMINIUM STOREFRONT
 BLACK FRAME FINISH



R1 GLASS RAILING
 FRITTED COLORED GLASS
 SEE G1 FOR GLASS PANEL



R2 VERTICAL METAL RAILING
 GALVANIZED PAINTED BLACK FINISH



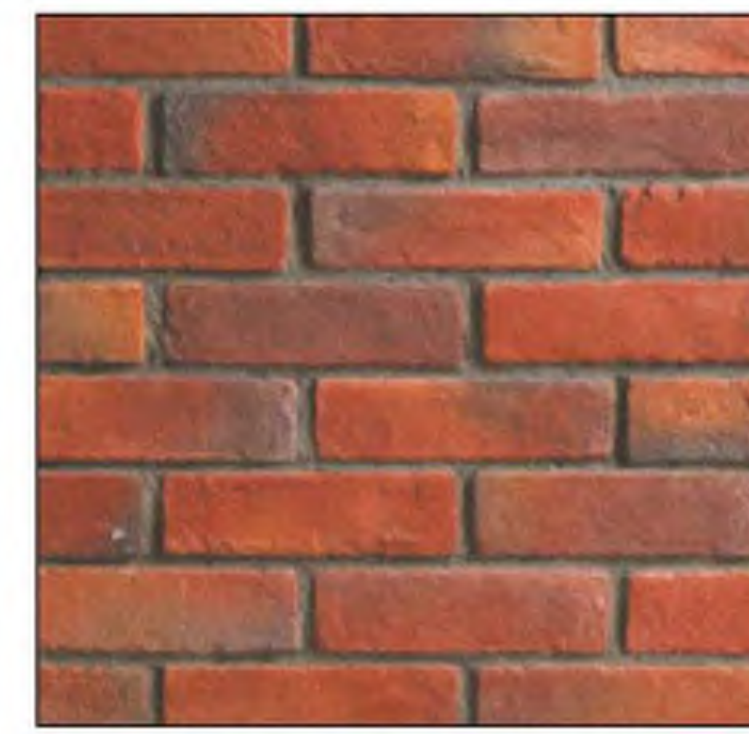
A2 CEMENT PLASTER
 KELLY MOORE
 KM5789-3 SHADOW CLIFF
 OR SIMILAR BY ALTERNATIVE
 MANUFACTURER
 SMOOTH TROWELED FINISH



A3 CEMENT PLASTER
 KELLY MOORE
 KMA89-5 BLACK OAK
 OR SIMILAR BY ALTERNATIVE
 MANUFACTURER
 SMOOTH TROWELED FINISH



B1 FIBER CEMENT PANEL
 JAMES HARDIE
 REVEAL PANEL SYSTEM
 KMW57-1 CLOUD WHITE
 OR SIMILAR BY ALTERNATIVE
 MANUFACTURER



C1 BRICK VENEER
 BELDEN BRICK
 HARVEST BLEND
 OR SIMILAR BY ALTERNATIVE
 MANUFACTURER



E1 FIBER CEMENT SIDING
 JAMES HARDIE
 ARTISAN V-GROOVE
 HLS4232 CROWN GOLD
 OR SIMILAR BY ALTERNATIVE
 MANUFACTURER



E2 FIBER CEMENT SIDING
 JAMES HARDIE
 ARTISAN V-GROOVE
 HLS4205 CALIFORNIA CHAMOIS
 OR SIMILAR BY ALTERNATIVE
 MANUFACTURER



E3 FIBER CEMENT SIDING
 JAMES HARDIE
 ARTISAN V-GROOVE
 KM5823 CITY TOWER
 OR SIMILAR BY ALTERNATIVE
 MANUFACTURER



E4 FIBER CEMENT SIDING
 JAMES HARDIE
 ARTISAN V-GROOVE
 KM5826 VOLANIC ROCK
 OR SIMILAR BY ALTERNATIVE
 MANUFACTURER



H1 METAL SEAMED ROOF



H2 ASPHALT SHINGLES ROOF



W1 VINYL WINDOW
 VPI QUALITY WINDOWS
 BLACK FRAME FINISH
 OR SIMILAR BY ALTERNATIVE
 MANUFACTURER



W3 PANELIZED GARAGE DOOR



R2 VERTICAL METAL RAILING
 GALVANIZED PAINTED BLACK FINISH



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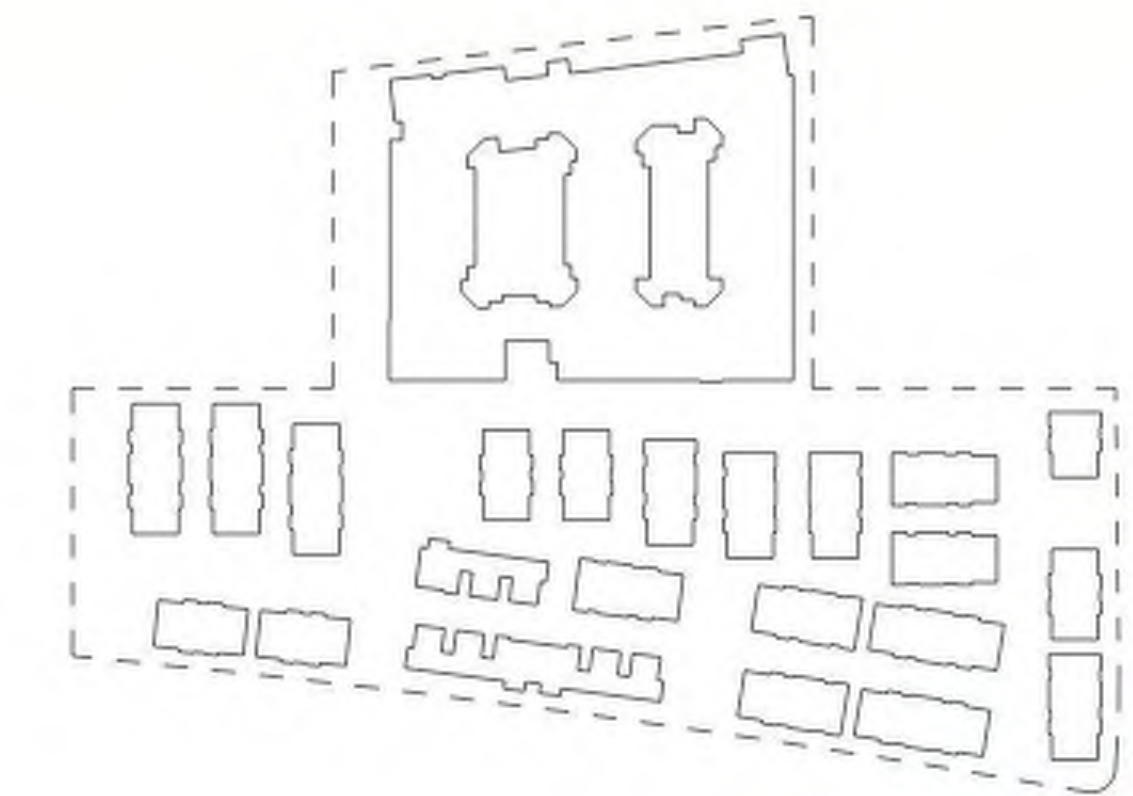
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PERSPECTIVE RENDERING

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KEY PLAN

Sheet Title:
PERSPECTIVE
TOWNHOMES ON
INDEPENDENCE
DRIVE

Job No. 20004
Date: 6/12/2023
Scale: 1" = 160'-0"
Drawn By: Author

Sheet No:

A901



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T SQUARE

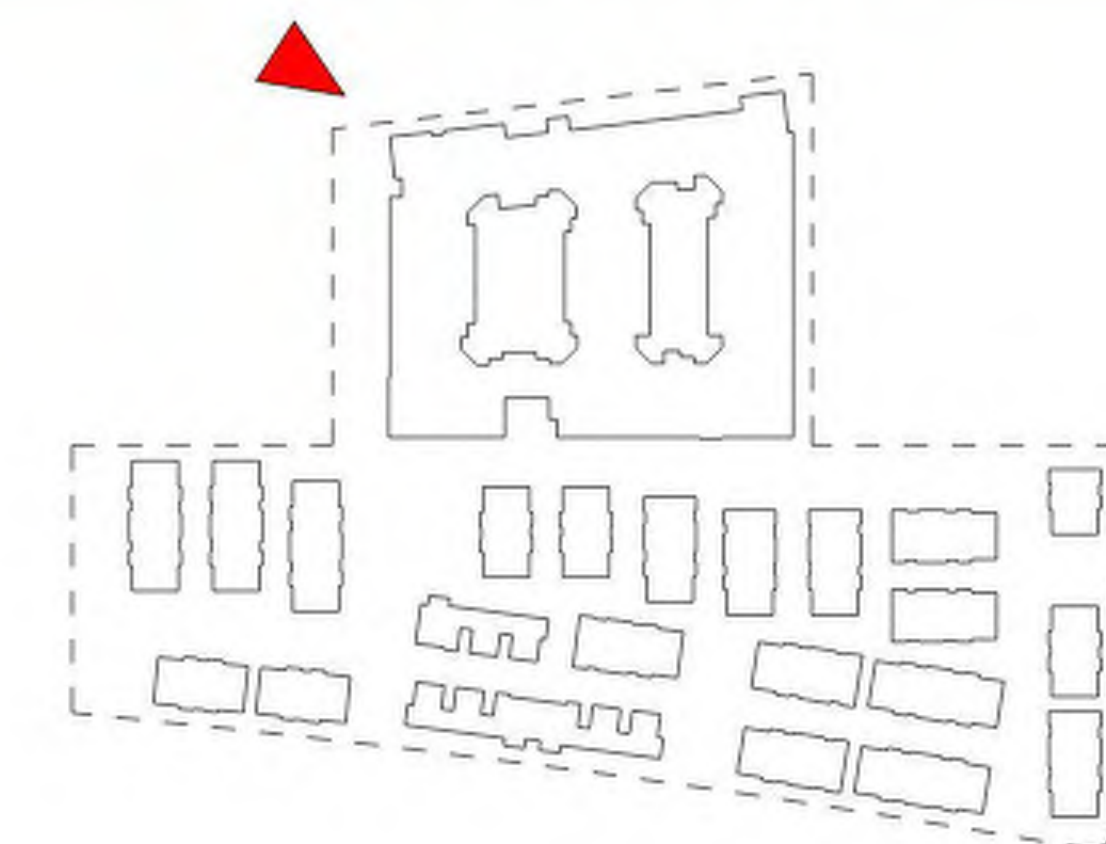
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PERSPECTIVE RENDERING



KEY PLAN

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Sheet Title:
**PERSPECTIVE
APARTMENT ON
CONSTITUTION
DRIVE**
Job No. 20004
Date: 6/12/2023
Scale: 1" = 160'-0"
Drawn By: Author

Sheet No:

A902



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T SQUARE

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: Planning
: Urban Design

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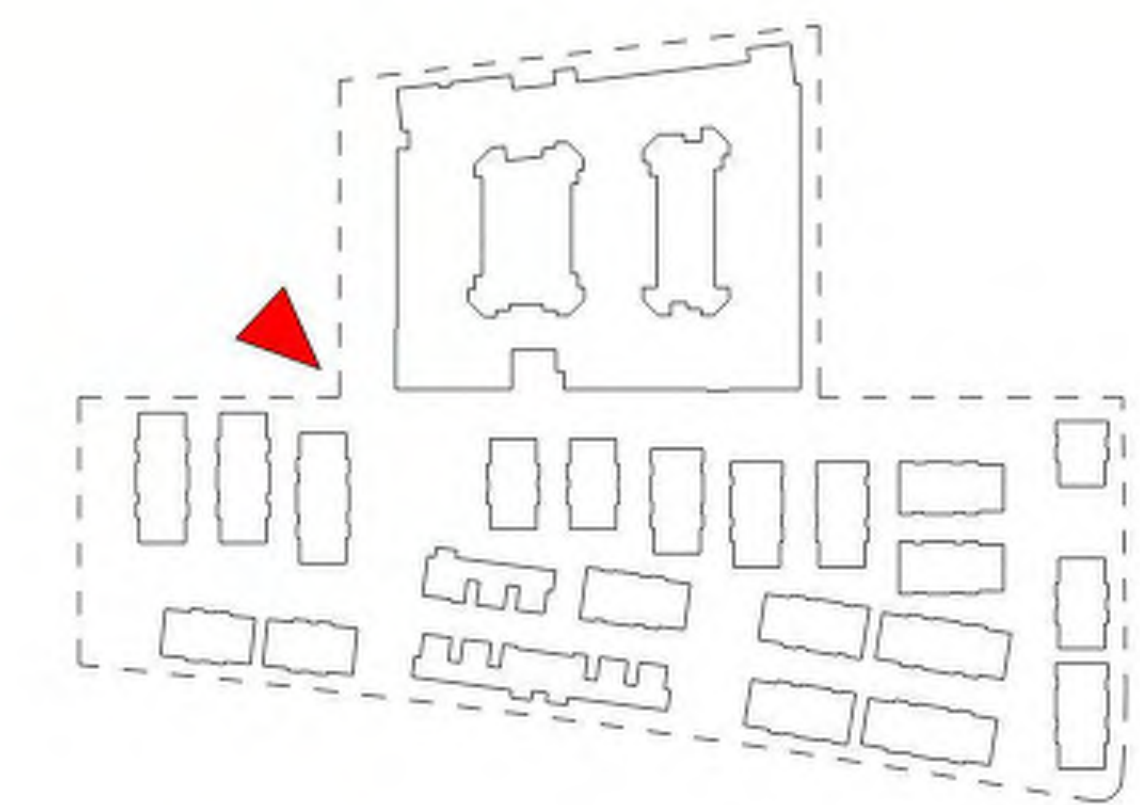
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PERSPECTIVE RENDERING

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KEY PLAN

Sheet Title:
PERSPECTIVE
PASEO / CENTRAL
OPEN SPACE

Job No. 20004
Date: 6/12/2023
Scale: 1" = 160'-0"
Drawn By: Author

Sheet No:

A903





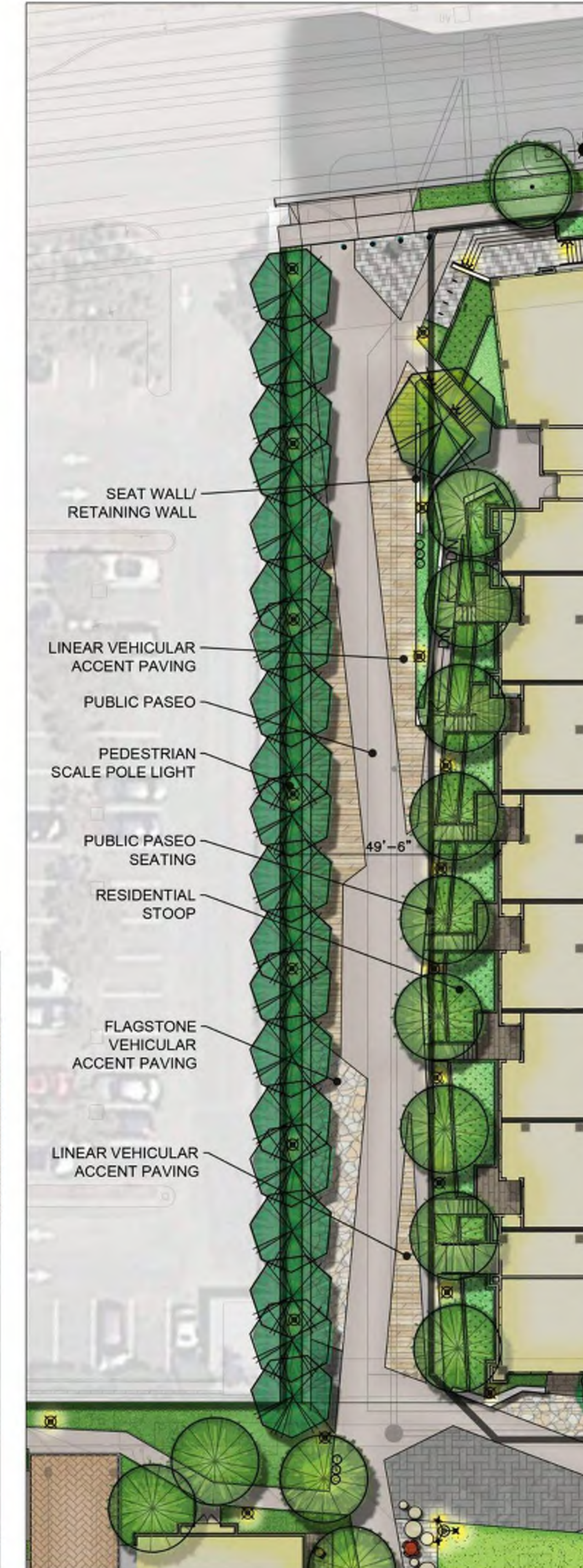
PAVING MATERIALS



PAVING PATTERN IDEAS



TOWNHOME PASEO



NORTH PASEO PLAN





NATIVE PLANTING



LAWN AREA



RAIN GARDEN/ STORM WATER TREATMENT



PICNIC AREA



PLAY AREA



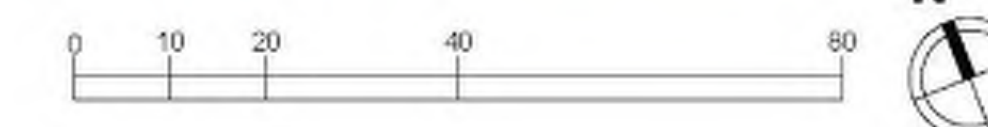
BIKE RACKS



BIKE REPAIR STATION



SCHEMATIC PARK PLAN





DINING AREA



POOL AREA



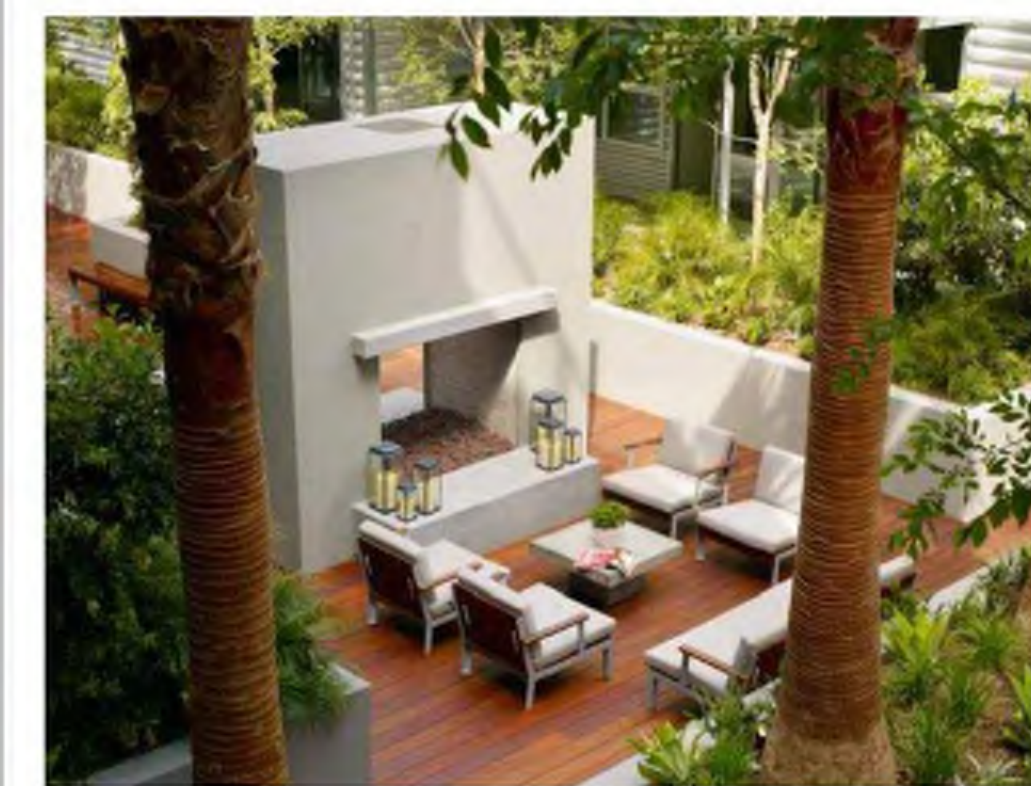
GAME AREA



BBQ AREA



SUN LOUNGE



FIRE PLACE



PLANTER



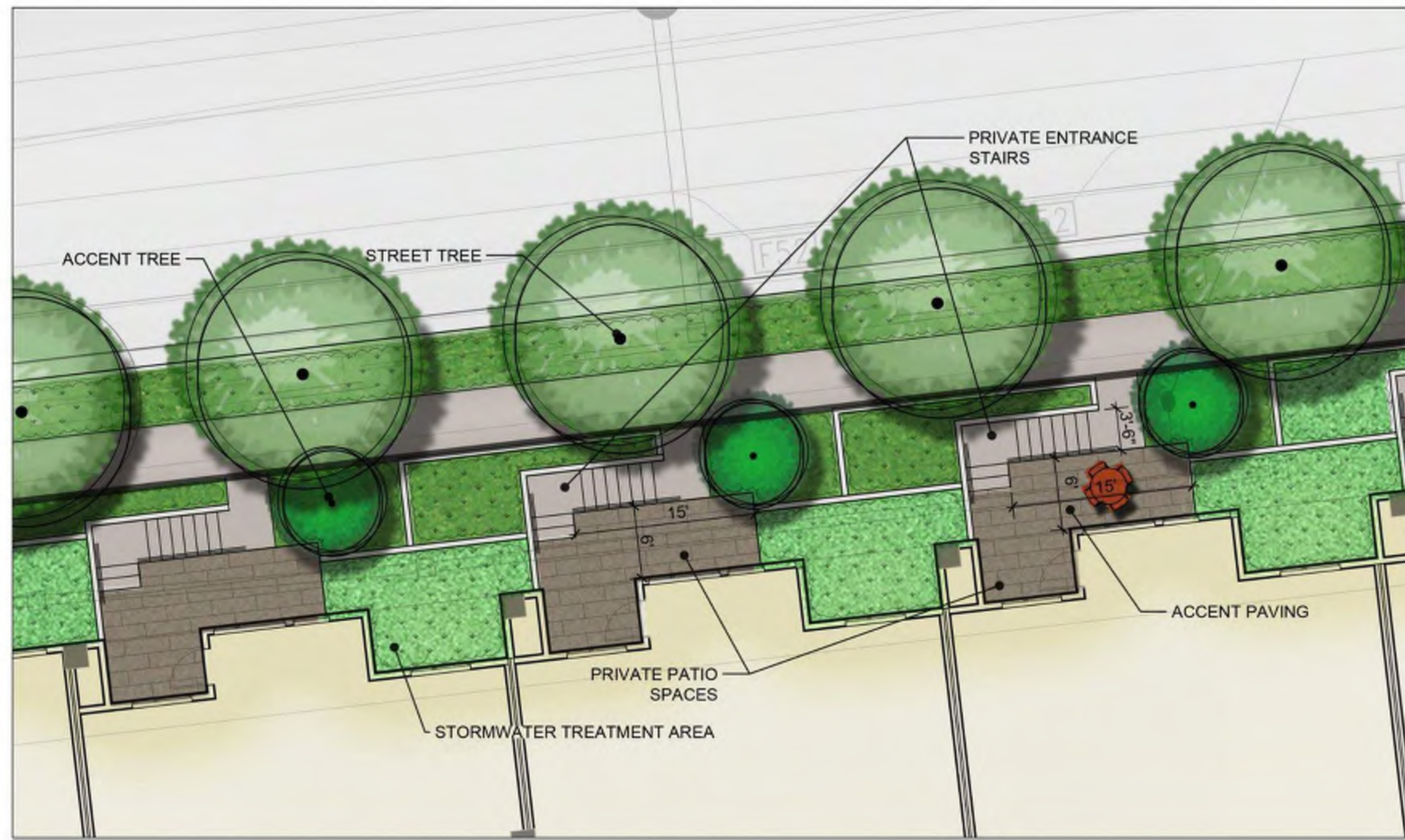
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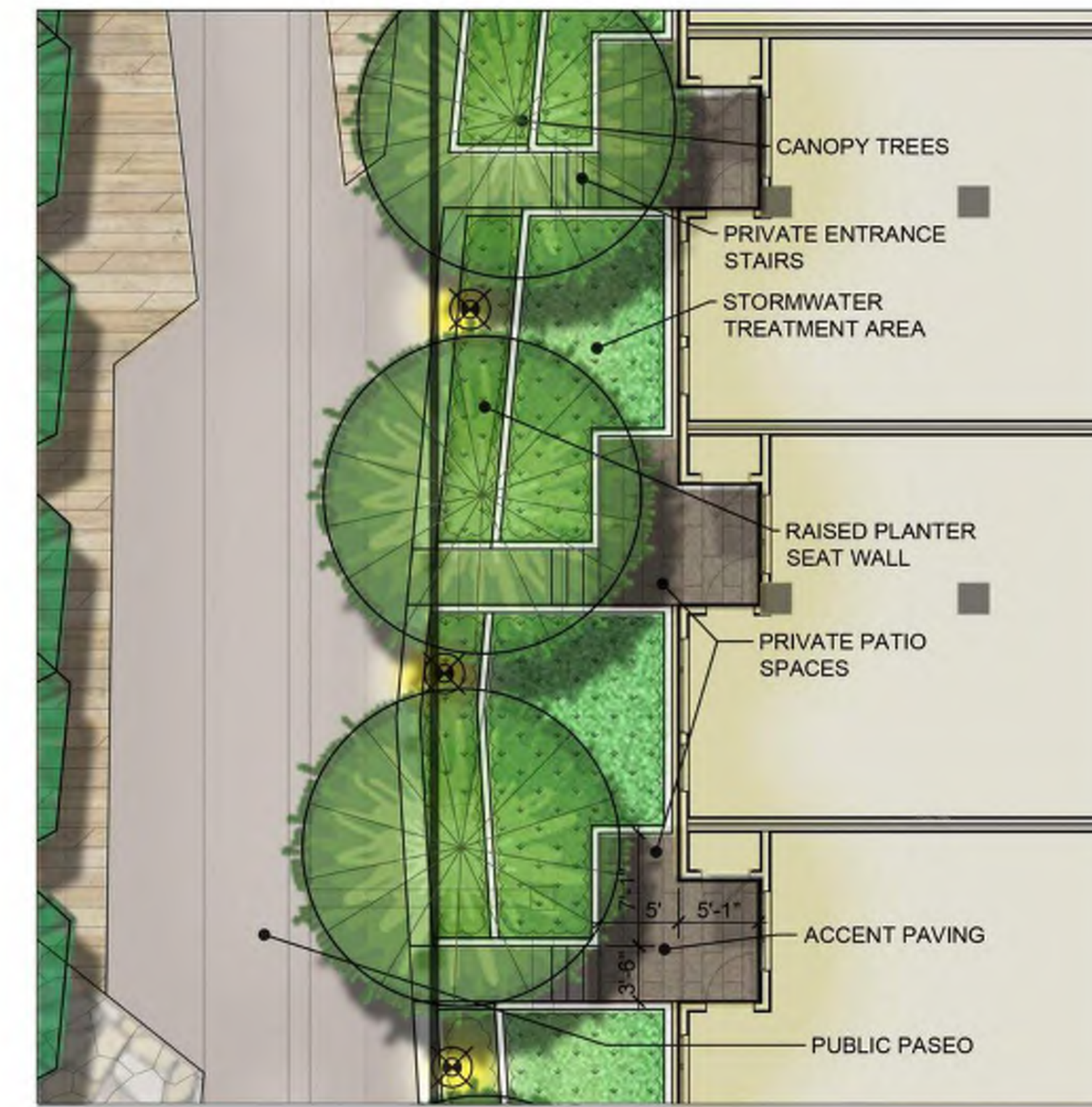
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 Job No. 20004
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Sheet No:
L2.31

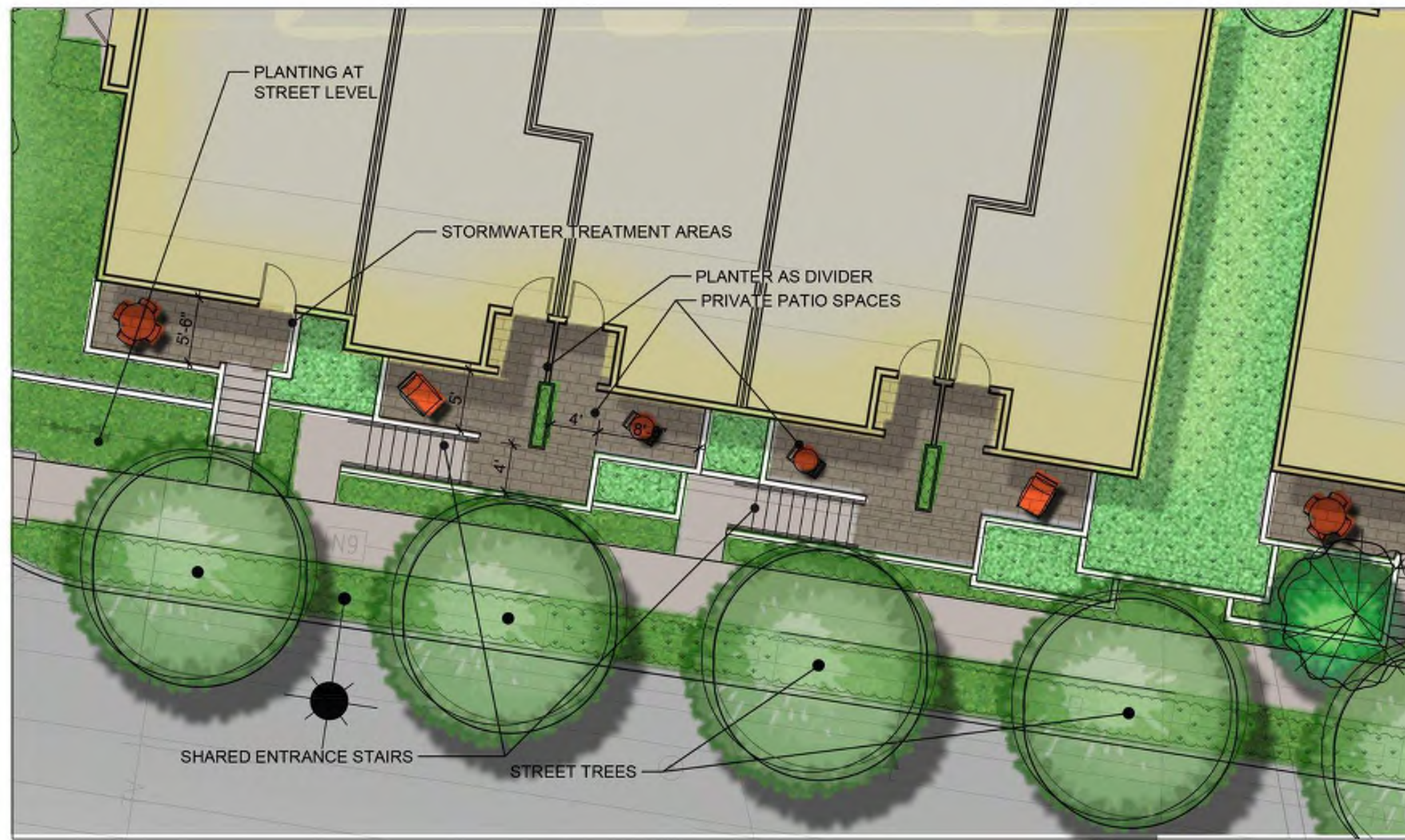




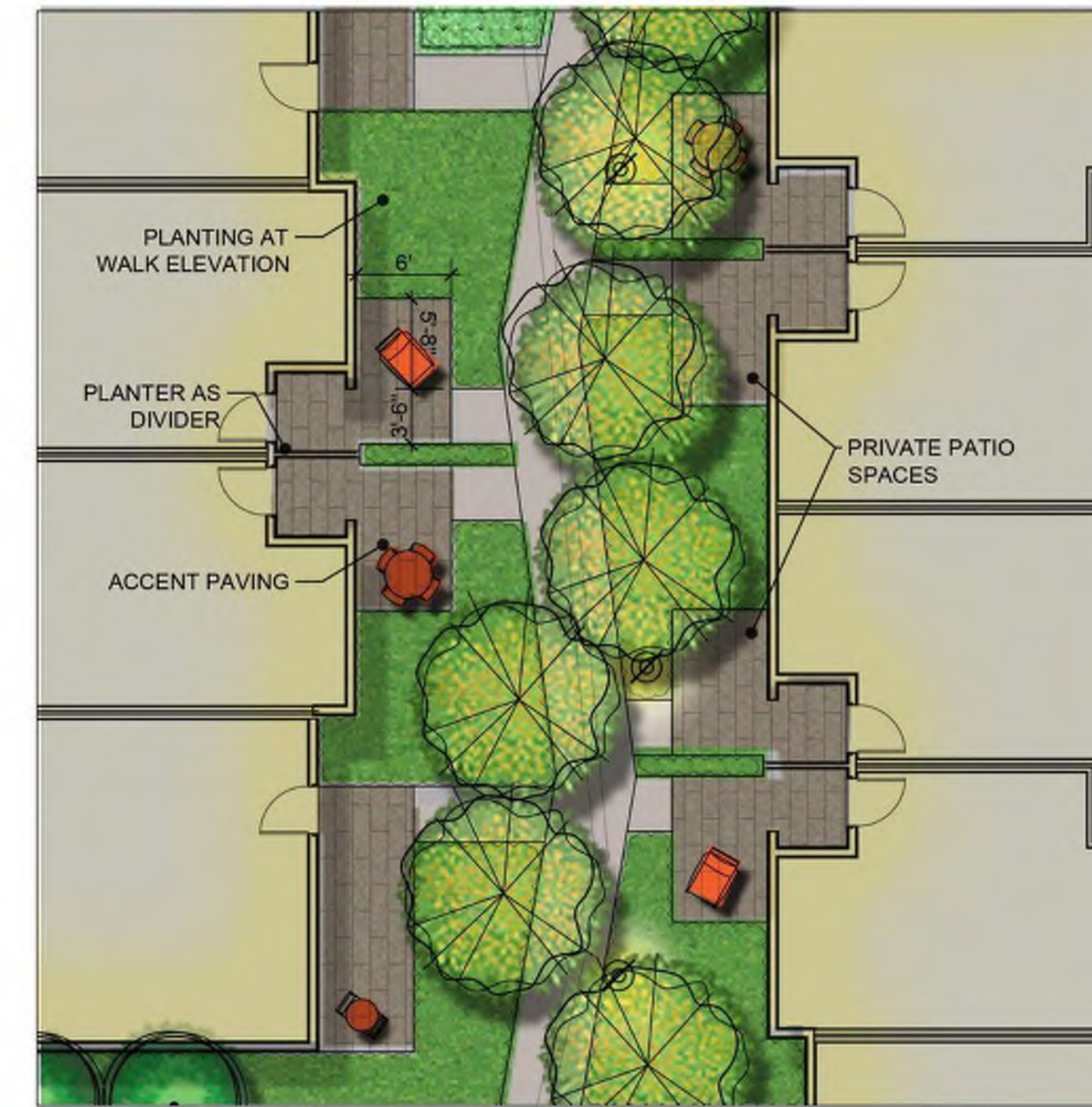
1 - APARTMENTS - CONSTITUTION DRIVE STOOPS



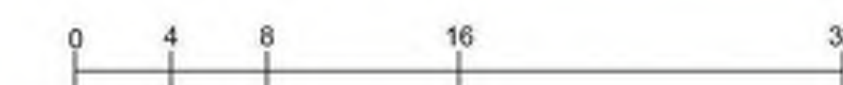
2 - APARTMENTS - NORTH PASEO STOOPS

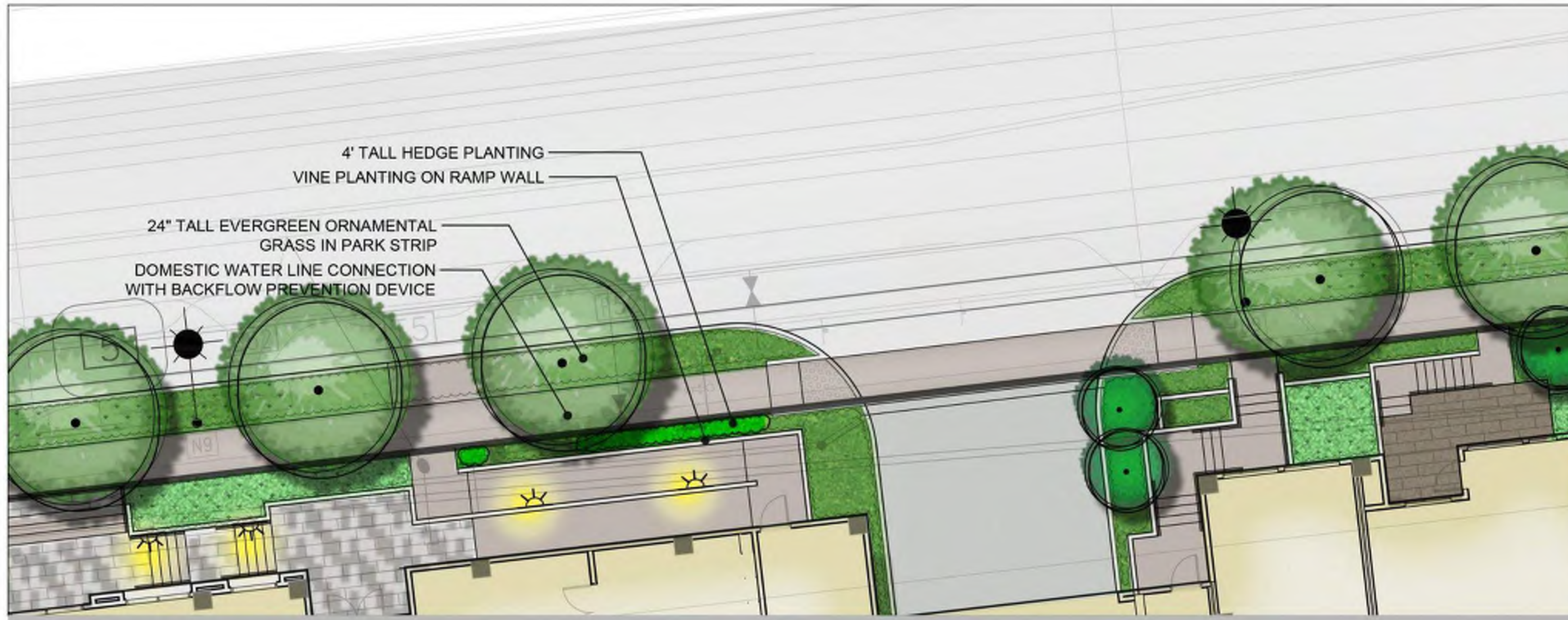


3 - TOWNHOMES - INDEPENDENCE DRIVE STOOPS

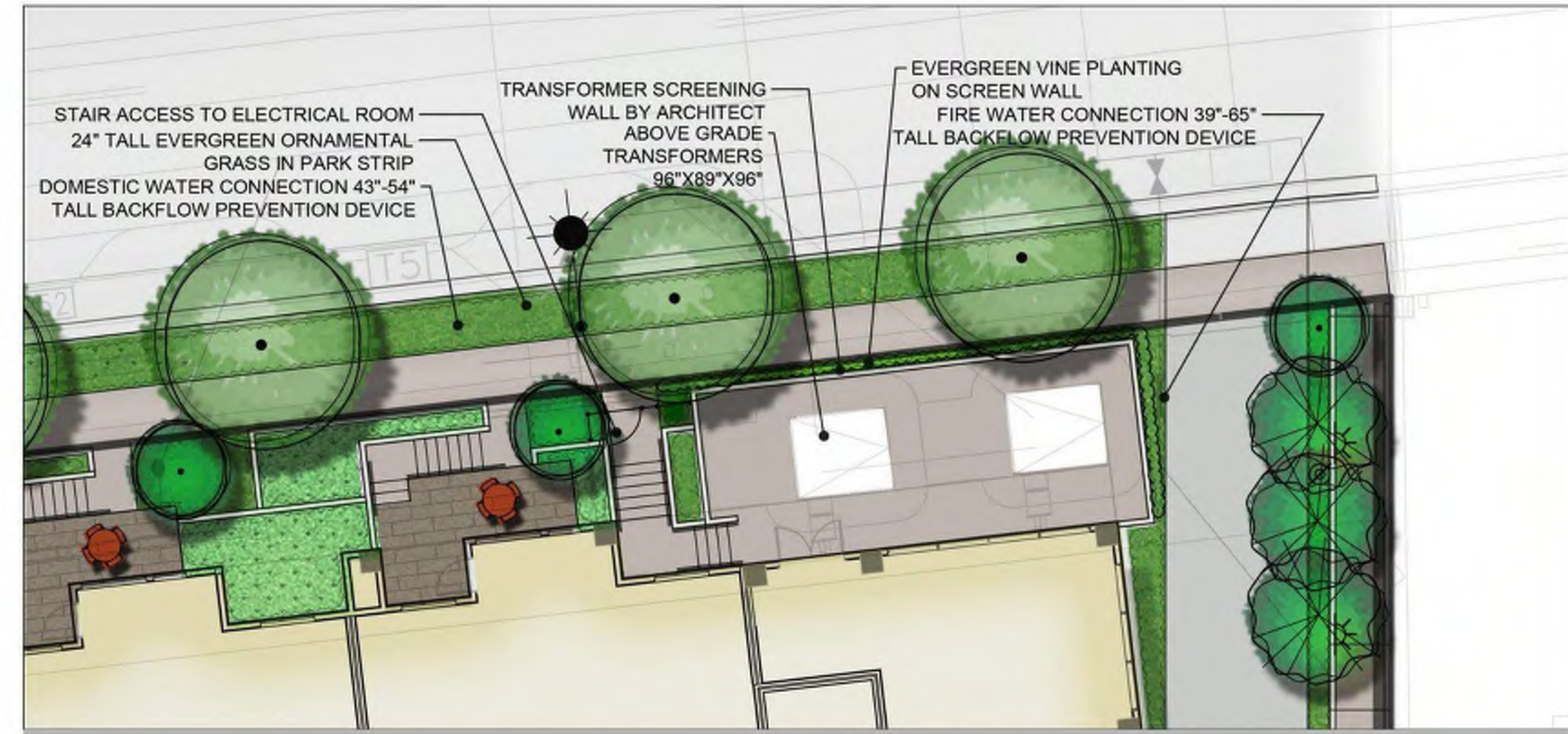


4 - TOWNHOMES - INDEPENDENCE DRIVE STOOPS

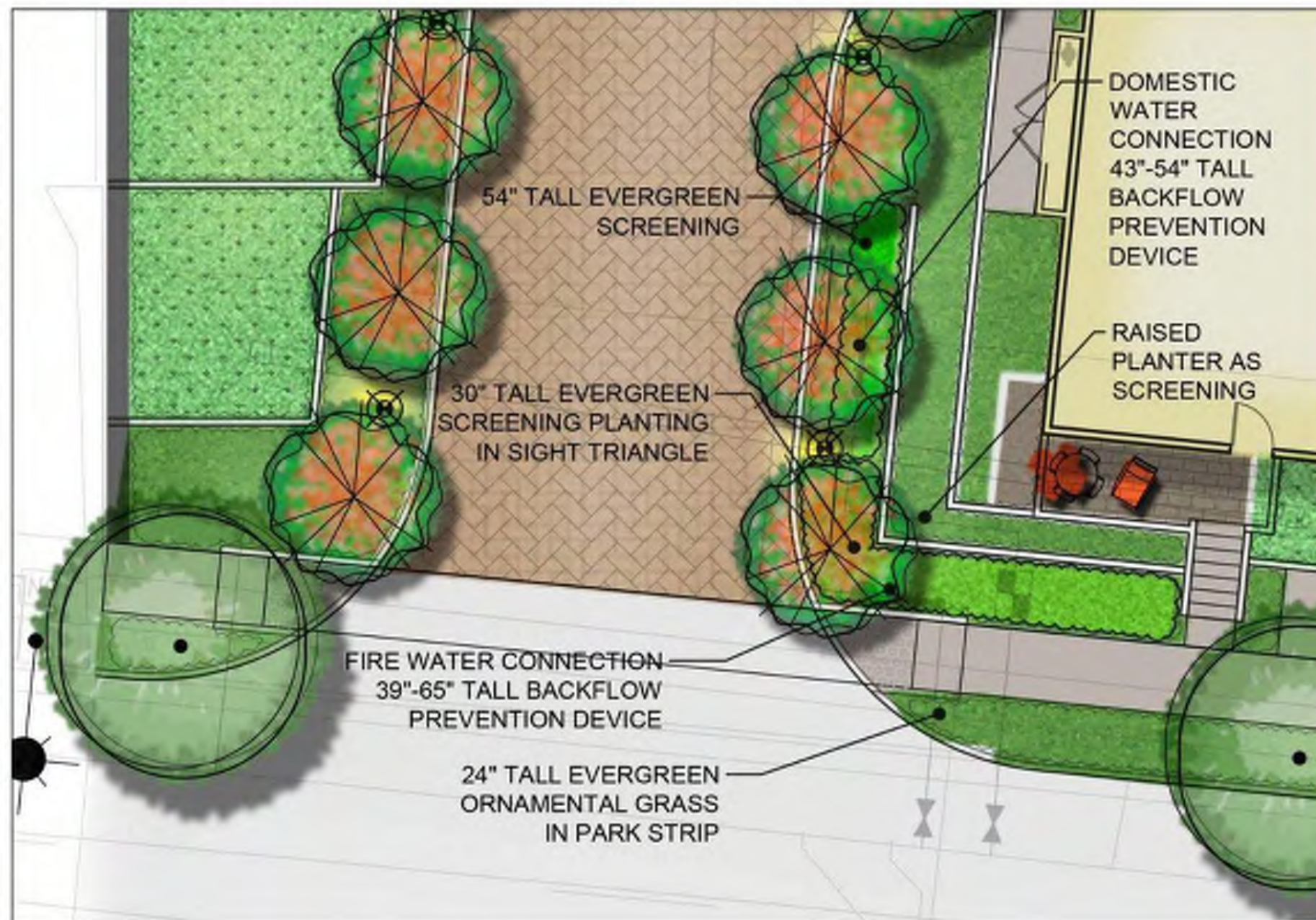




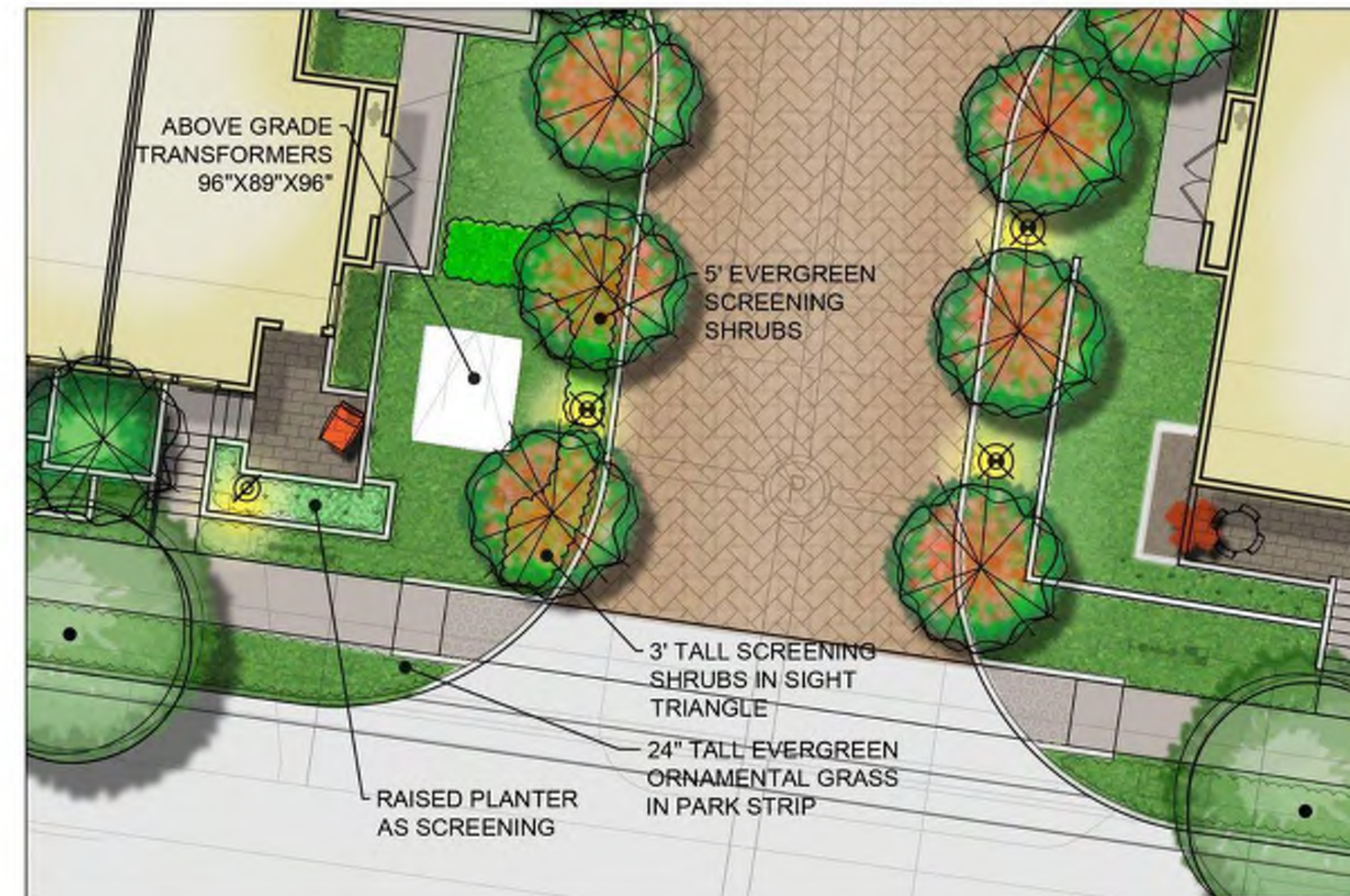
1 - CONSTITUTION DRIVE UTILITIES



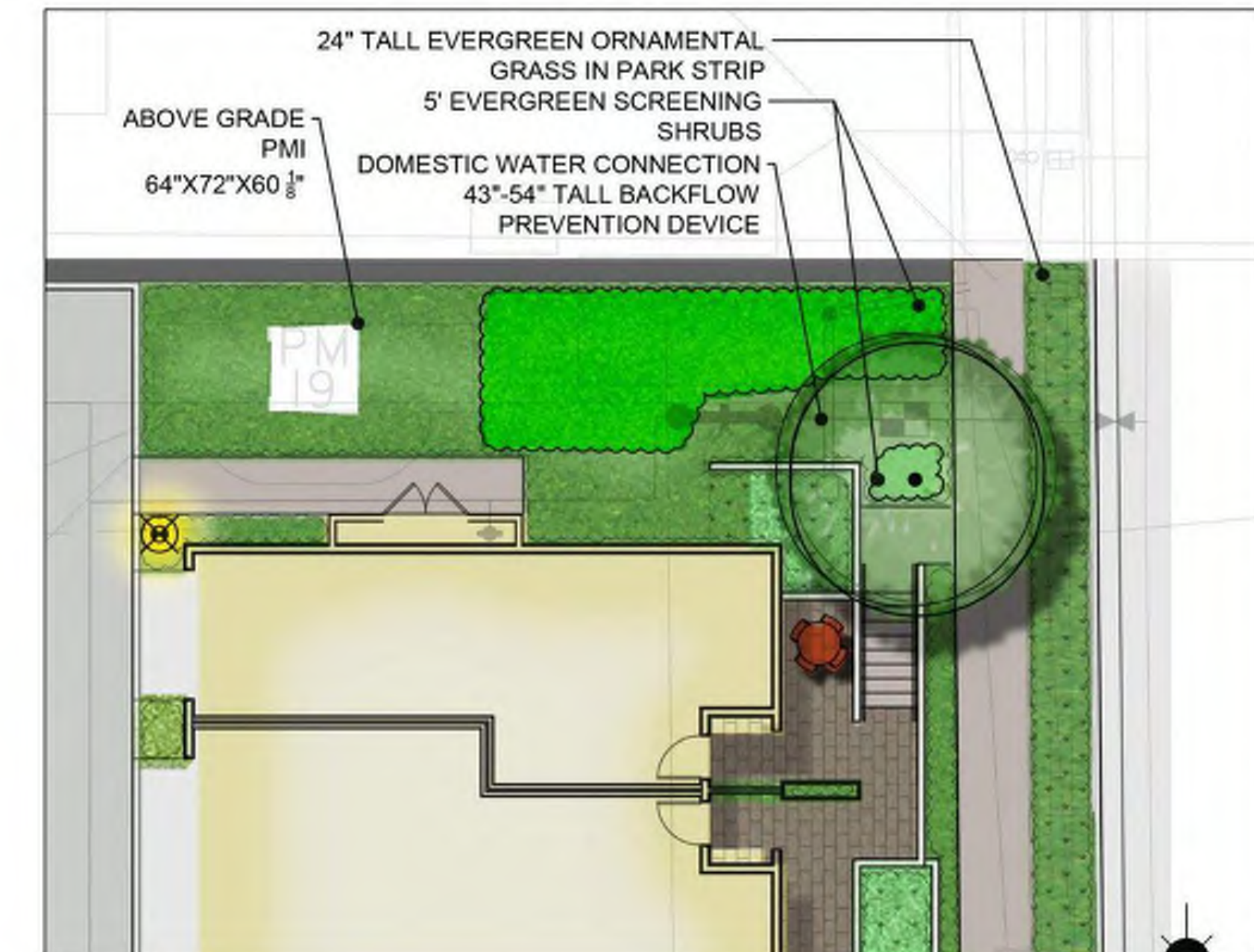
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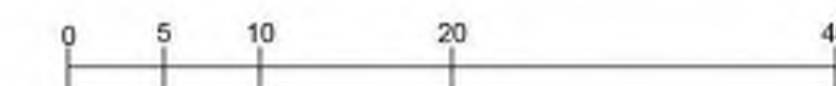
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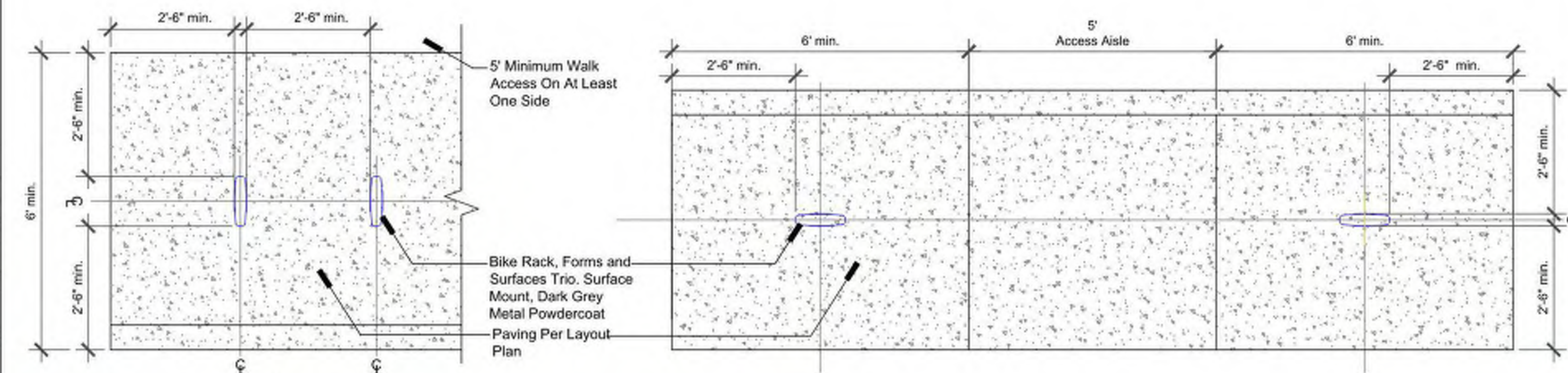


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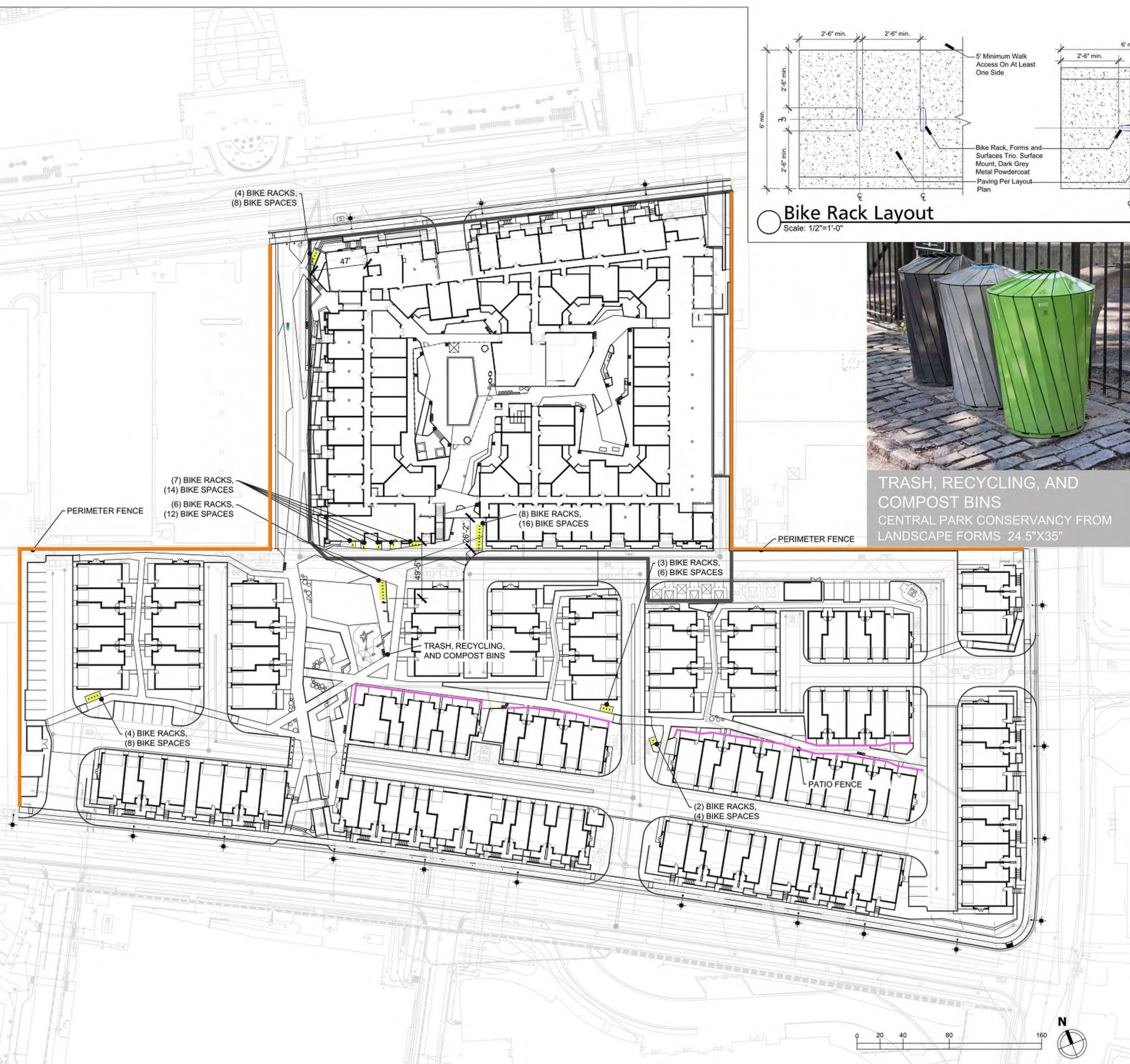


5 - CHRYSLER DRIVE UTILITIES





Bike Rack Layout
 Scale: 1/2"=1'-0"



TRASH, RECYCLING, AND COMPOST BINS
 CENTRAL PARK CONSERVANCY FROM LANDSCAPE FORMS 24.5"X35"

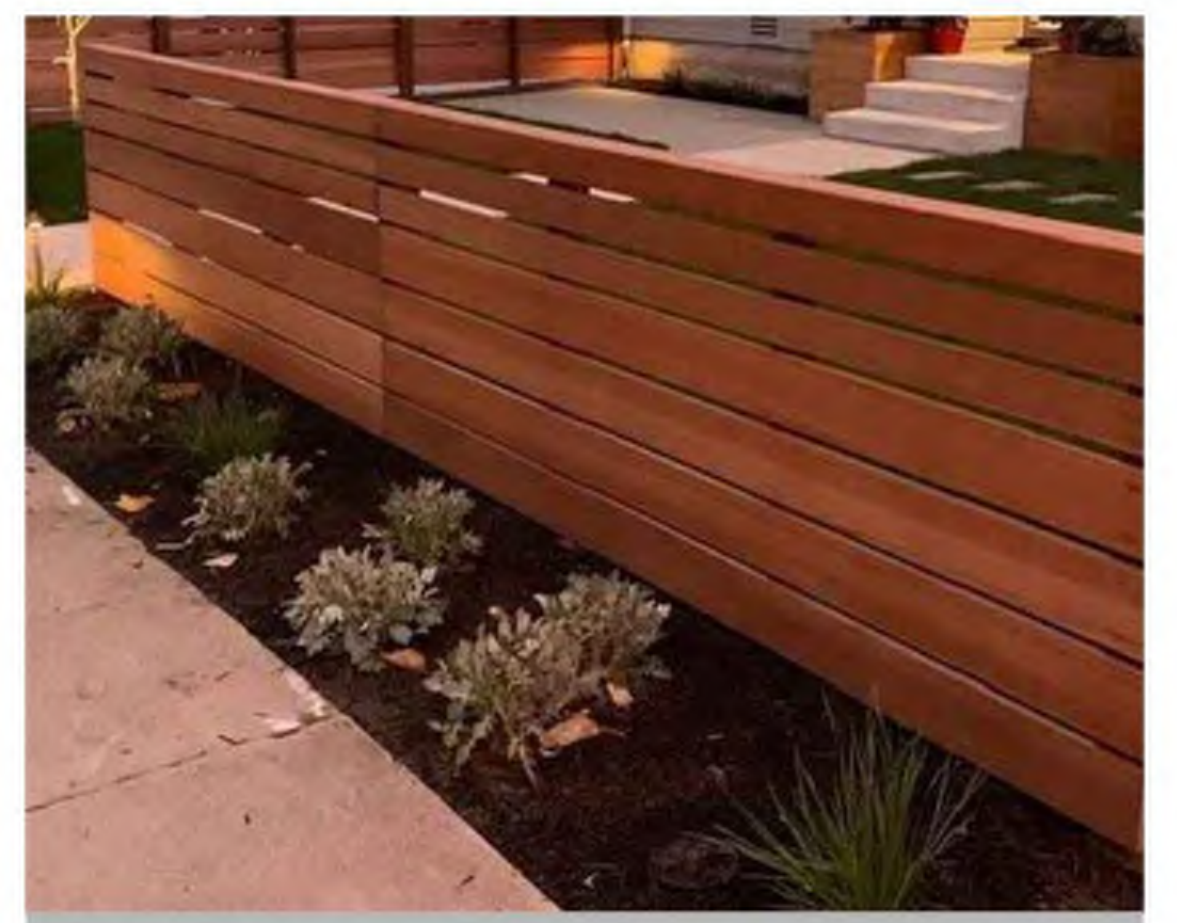
PROPOSED SITE ELEMENTS



BIKE RACKS
 BOLA RACK FROM LANDSCAPE FORMS
 30"X72" CLEARANCE ZONE PER RACK



PERIMETER FENCE
 72" TALL HORIZONTAL WOOD PLANKS



PATIO FENCE
 42" TALL HORIZONTAL WOOD PLANKS

123 Independence
 Menlo Park, CA

The Sobrato Organization
 599 Castro Street, Suite 400
 Mountain View, CA

Sheet Title:
SITE ELEMENTS

Job No. 20004
 Date: 07/18/2023
 Scale: 1" = 40'

Sheet No:
L3.01



AREA 1

COURTYARD GARDENS & RESIDENTIAL STREET FRONTAGE - HARDY, TOLERANT ORNAMENTAL TREES - LOW-MEDIUM WATER USE



AREA 2

PODIUM COURTYARD PALETTE - URBAN, HEAT TOLERANCE - LOW-MEDIUM WATER USE



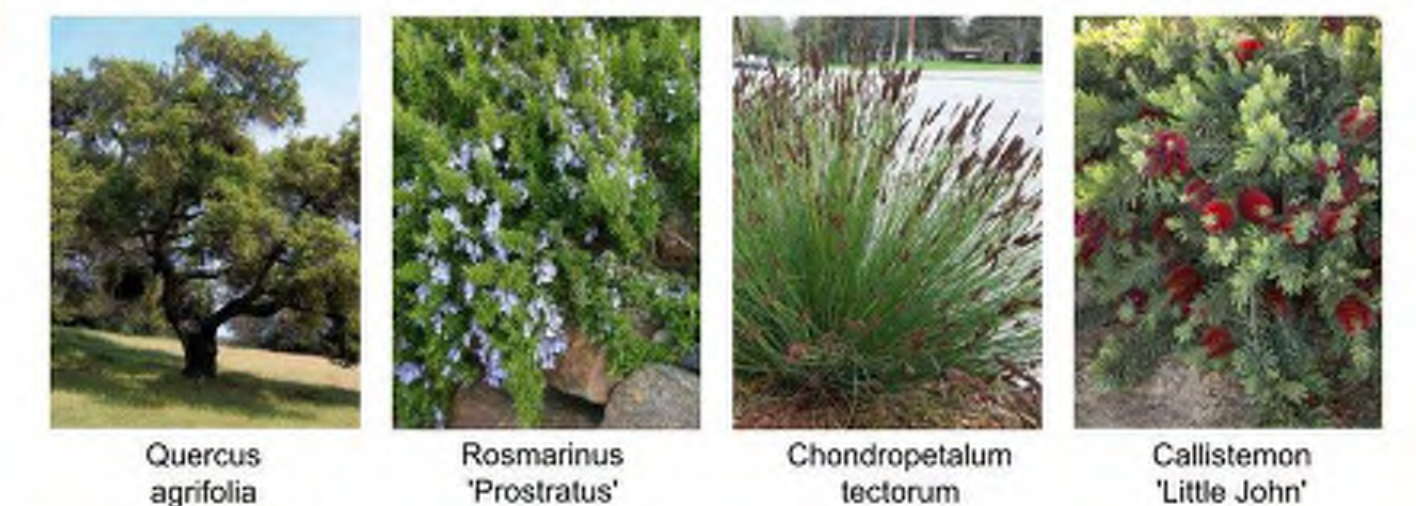
AREA 3

STREET, DRIVEWAY & PERIMETER PLANTING - HARDY/TOLERANT TO HARSHER, URBAN CONDITIONS - LOW WATER USAGE



AREA 4

PASEO AND EVA PLANTING - FULL SUN AND DRY SOIL - LOW WATER USAGE



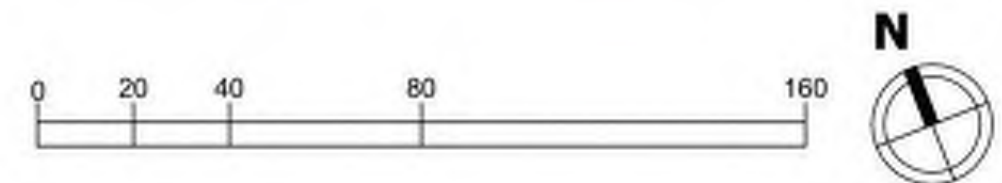
AREA 5

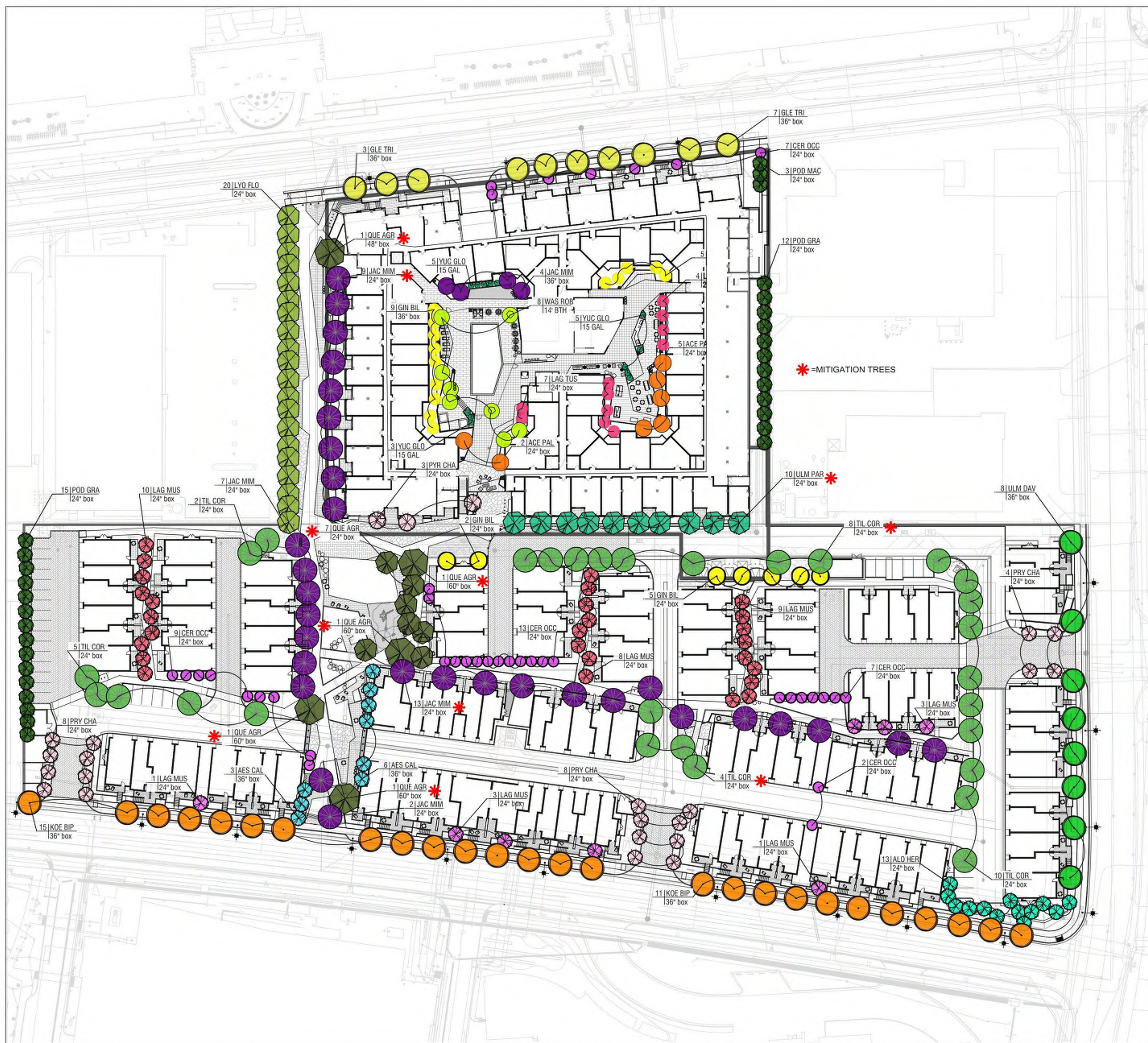
TURF - HIGH WATER USE



AREA 6

EAST APARTMENT GARAGE WALL - LOW WATER USE





PLANT PALETTE

TREES	KEY	SIZE	BOTANICAL NAME	COMMON NAME	SPACING/ COMMENTS	WUCOLS*	NATIVE (Y/N)
ACE PAL	See Plan	See Plan	Acer Palmatum 'Bloodgood'	Bloodgood Japanese Maple		Medium	N
AES CAL	See Plan	See Plan	Aesculus californica	California Buckeye		Very Low	Y
ALO HER	See Plan	See Plan	Aloe 'Hercules'	Hercules Aloe		Low	N
CER OCC	See Plan	See Plan	Cercis occidentalis	Western Redbud		Very Low	Y
GIN BIL	See Plan	See Plan	Ginkgo biloba 'Princeton Sentry'	Columnar Ginkgo		Medium	N
GLE TRI	See Plan	See Plan	Gleditsia triacanthos 'Shademaster'	Shademaster Honeylocust		Low	N
JAC MIM	See Plan	See Plan	Jacaranda mimosifolia	Jacaranda Tree		Medium	N
KOE BIP	See Plan	See Plan	Koeleruteria bipinnata	Chinese Flame Tree		Medium	N
LAG TUS	See Plan	See Plan	Lagerstroemia 'Tusagea'	Crape Myrtle		Low	N
LAG MUS	See Plan	See Plan	Lagerstroemia 'Musagea'	Crape Myrtle		Low	N
LYO FLO	See Plan	See Plan	Lyonothamnus floribundus	Catalina Ironwood		Low	Y
MEL NES	See Plan	See Plan	Melaleuca nesophila	Pink Melaleuca		Low	N
PLA ACE	See Plan	See Plan	Platanus acerifolia	London Plane		Medium	Y
POD GRA	See Plan	See Plan	Podocarpus gracilior	Fern Podocarpus		Medium	N
QUE AGR	See Plan	See Plan	Quercus agrifolia	Coast Live Oak		Very Low	Y
TIL COR	See Plan	See Plan	Tilia cordata 'June Bride'	Little Leaf Linden		Medium	N
ULM DAV	See Plan	See Plan	Ulmus davidiana var. japonica 'Morton'	Morton/ Accolade Elm		Medium	N
ULM PAR	See Plan	See Plan	Ulmus parvifolia 'Dynasty'	Evergreen Elm		Low	N
WAS ROB	See Plan	See Plan	Washingtonia robusta	Mexican Fan Palm		Low	N

SHRUBS	KEY	SIZE	BOTANICAL NAME	COMMON NAME	SPACING/ COMMENTS	WUCOLS*
ACC	5 Gal	5 Gal	Acacia c. 'Cousin Itt'	Little River Wattle	36" o.c.	Low Y
ARU	5 Gal	5 Gal	Arbutus unedo compacta	Strawberry Bush	36" o.c.	Low N
BAA	15 Gal	15 Gal	Bambusa m. 'Alphonse Karr'	Bamboo 'Alphonse Karr'	48" o.c.	Low N
BUF	5 Gal	5 Gal	Bulbine frutescens	Yellow Stalked Bulbine	30" o.c.	Low N
CAS	1 Gal	1 Gal	Calandrinia spectabilis	Rock Purslane	36" o.c.	Low N
CAL	5 Gal	5 Gal	Callistemon 'Little John'	Dwarf Callistemon	42" o.c.	Low N
CIS	5 gal	5 gal	Cistus x skanbergii	Pink Rockrose	36" oc	Low Y
DIV**	5 Gal	5 Gal	Dietsa vegeta	Fortnight Lily	30" o.c.	Low N
EPI	3 gal	3 gal	Epilobium canum 'Catalina'	California Fuchsia	24" oc	Low Y
ILV	5 Gal	5 Gal	Ilex vomitoria 'Nana'	Dwarf Yaupon	30" o.c.	Low N
IRD**	1 Gal	1 Gal	Iris douglasiana	Pacific Coast Iris	24" o.c.	Low Y
LAG**	1 Gal	1 Gal	Lavandula x intermedia 'Grosso'	Hedge Lavender	24" o.c.	Low N
LIM	1 Gal	1 Gal	Liriope muscari 'Majestic'	Lily Turf	18" o.c.	Medium N
LOR	5 Gal	5 Gal	Loropetalum chinense 'Rubrum'	Ruby Chinese Fringe	30" o.c.	Low N
PEH	3 gal	3 gal	Penstemon heterophyllus	Foothill Penstemon	36" o.c.	Low Y
PIT	5 Gal	5 Gal	Pittosporum tobira 'Wheeler's Dwarf'	Pittosporum 'Wheeler's Dwarf'	36" o.c.	Medium N
PHA	5 Gal	5 Gal	Phormium 'Amazing Red'	New Zealand Flax cvs	24" o.c.	Low N
POM	1 Gal	1 Gal	Polystichum munifolium	Western Sword Fern	24" o.c.	Medium Y
PRC	5 Gal	5 Gal	Prunus caroliniana 'Bright & Tight'	Carolina Laurel Cherry	60" o.c.	Low N
RHM	5 Gal	5 Gal	Rhamnus c. 'Mound San Bruno'	Coffeeberry	42" o.c.	Low Y
RHI	5 Gal	5 Gal	Rhaphiolepis indica 'Pink Lady'	Indian Hawthorn	36" o.c.	Low N
ROC	5 Gal	5 Gal	Rosa californica	California Rose	36" o.c.	Low Y
SAC	1 gal	1 gal	Salvia clevelandii 'Winnifred Gilman'	Cleveland Sage	30" oc	Low Y
SAL**	3 Gal	3 Gal	Salvia leucantha	Mexican Sage	36" o.c.	Low Y
SAS	1 gal	1 gal	Salvia leucantha 'Santa Barbara'	Compact Mexican Sage	36" oc	Low Y
SAR	5 Gal	5 Gal	Sarcococca ruscifolia	Sweet Box	36" o.c.	Low N

GRASSES	KEY	SIZE	BOTANICAL NAME	COMMON NAME	SPACING/ COMMENTS	WUCOLS*
CNU	1 gal	1 gal	Calamagrostis nutkaensis	Reed Grass	24" oc	Low Y
CAD**	1 Gal	1 Gal	Carex divulsa	Berkeley Sedge	24" o.c.	Low N
CHT**	1 Gal	1 Gal	Chandropetalum tectorum	Cape Rush	30" o.c.	Low N
DEC**	1 Gal	1 Gal	Deschampsia cespitosa	Tufted Hairgrass	24" o.c.	Low Y
FES**	1 Gal	1 Gal	Festuca californica 'Serpentine Blue'	California Fescue	18" o.c.	Low Y
JUP**	1 Gal	1 Gal	Juncus patens 'Elk Blue'	California Gray Rush	24" o.c.	Low Y
MUH**	1 Gal	1 Gal	Muhlenbergia 'Regal Mist'	Purple Deer Grass	24" o.c.	Low Y
MUR	1 gal	1 gal	Muhlenbergia rigens	Deer Grass	36" oc	Low Y
NAP**	1 Gal	1 Gal	Nassella pulchra	Purple Needlegrass	24" o.c.	Very Low Y

GROUNDCOVERS	KEY	SIZE	BOTANICAL NAME	COMMON NAME	SPACING/ COMMENTS	WUCOLS*
ACR	1 Gal	1 Gal	Acacia redolens	Acacia	48" o.c.	Very Low N
ARP	1 Gal	1 Gal	Arctostaphylos 'Pacific Mist'	Pacific Mist Manzanita	30" o.c.	Low Y
CEG	1 gal	1 gal	Ceanothus g. h. 'Yankee Point'	Yankee Point Ceanothus	48" oc	Low Y
COK	1 Gal	1 Gal	Coprosma kirkii 'Variegata'	Variegated Mirror Plant	36" o.c.	Low Y
GEI	1 Gal	1 Gal	Geranium incanum	Geranium	24" o.c.	Low N
MAA	5 gal	5 gal	Mahonia aquifolium	Oregon Grape	30" o.c.	Low Y
MAC	5 gal	5 gal	Mahonia aquifolium 'Compacta'	Oregon Grape	30" o.c.	Low Y
MYP**	1 Gal	1 Gal	Myoporum parvifolium 'Putah Creek'	Creeping Myoporum	36" o.c.	Low N
SES	4" pot	4" pot	Sedum spurium 'John Creech'	John Creech Stonecrop	9" o.c.	Low N

VINES	KEY	SIZE	BOTANICAL NAME	COMMON NAME	SPACING/ COMMENTS	WUCOLS*
BOS	1 Gal	1 Gal	Bougainvillea 'San Diego Red'	Violet Trumpet Vine	See Plan	Low N
CLA	5 Gal	5 Gal	Clematis armandii	Evergreen Clematis	See Plan	Medium N
FIP	1 Gal	1 Gal	Ficus pumila	Creeping Fig	See Plan	Medium N
MAU	1 Gal	1 Gal	Macfadyena unguis-cati	Cat's Claw	See Plan	Medium N

Native plant designation based on WUCOLS and Western Garden Book
 * WUCOLS (WATER USE CLASSIFICATION OF LANDSCAPE SPECIES) WATER USE RATING
 ** Stormwater Treatment Area Plant



WATER USE LEGEND

KEY	WUCOLS CATEGORY
■	Low: 75.2% (47,770 sf)
■	Medium: 21.5% (13,640 sf)
■	High: 3.3% (2,127 sf)

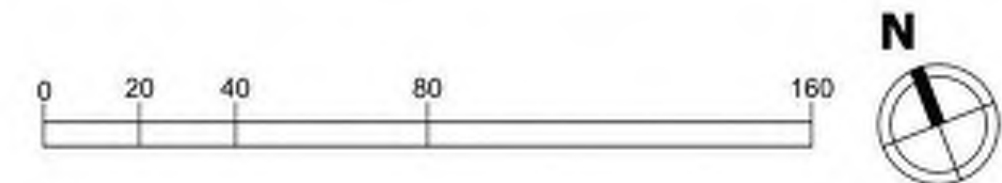
*Based upon total landscape area of 63,537 sf

All planted areas are to be watered with an approved automatic underground irrigation system. Potable irrigation water will be delivered by drip irrigation devices. The system shall be designed to make efficient use of water through conservation techniques, and be in compliance with resolution 6261, as required by the State of California.

An application and detailed landscape irrigation plan will be submitted with the building permit submittal package. All planting and irrigation will be in compliance with the city's Water Efficient Landscape Ordinance.

The final construction documents will provide the contractor with an understanding of the design intent for the maintenance of the planting areas regarding care and pruning of the site. The maintenance contractor shall furnish all labor, equipment, materials and supervision required to properly maintain the landscaped areas in an attractive condition and as described in the project maintenance specifications.

Note:
All irrigation within the public right of way shall comply with City Standard Details LS-1 through LS-19 and shall be connected to the on-site water system.





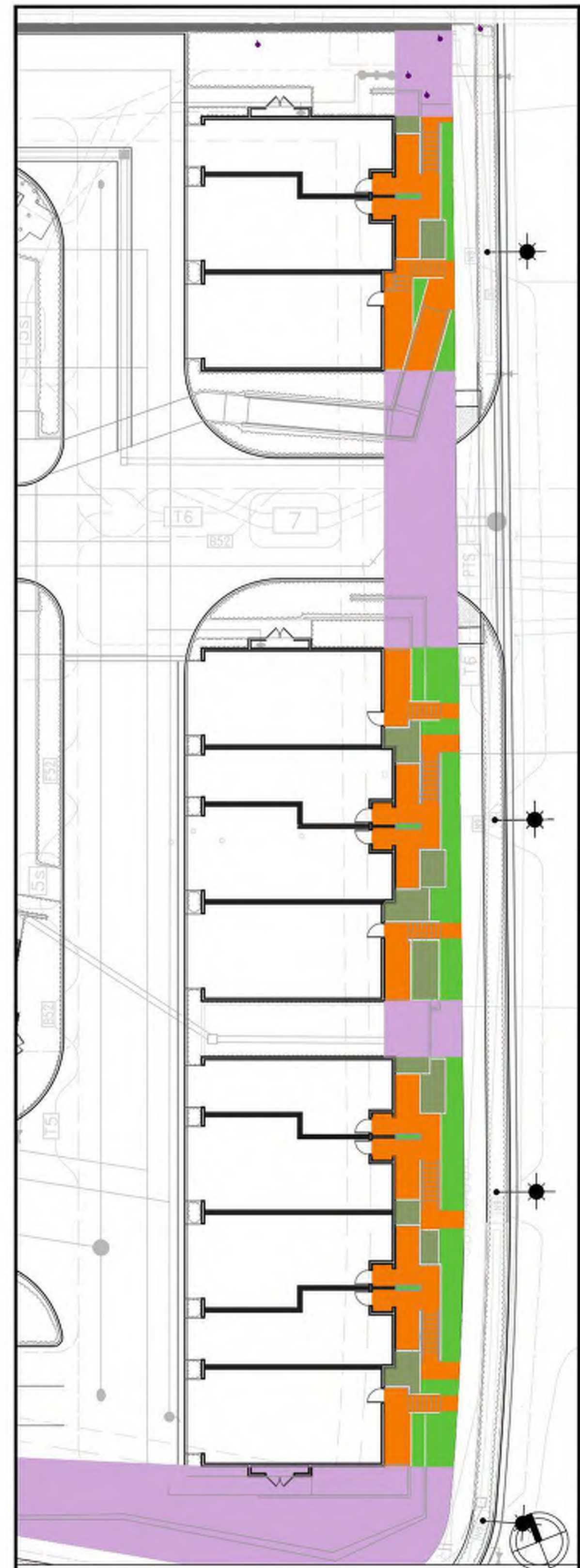
CONSTITUTION FRONTAGE



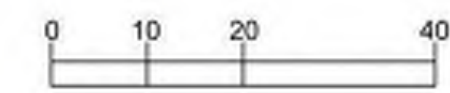
INDEPENDENCE FRONTAGE WEST END

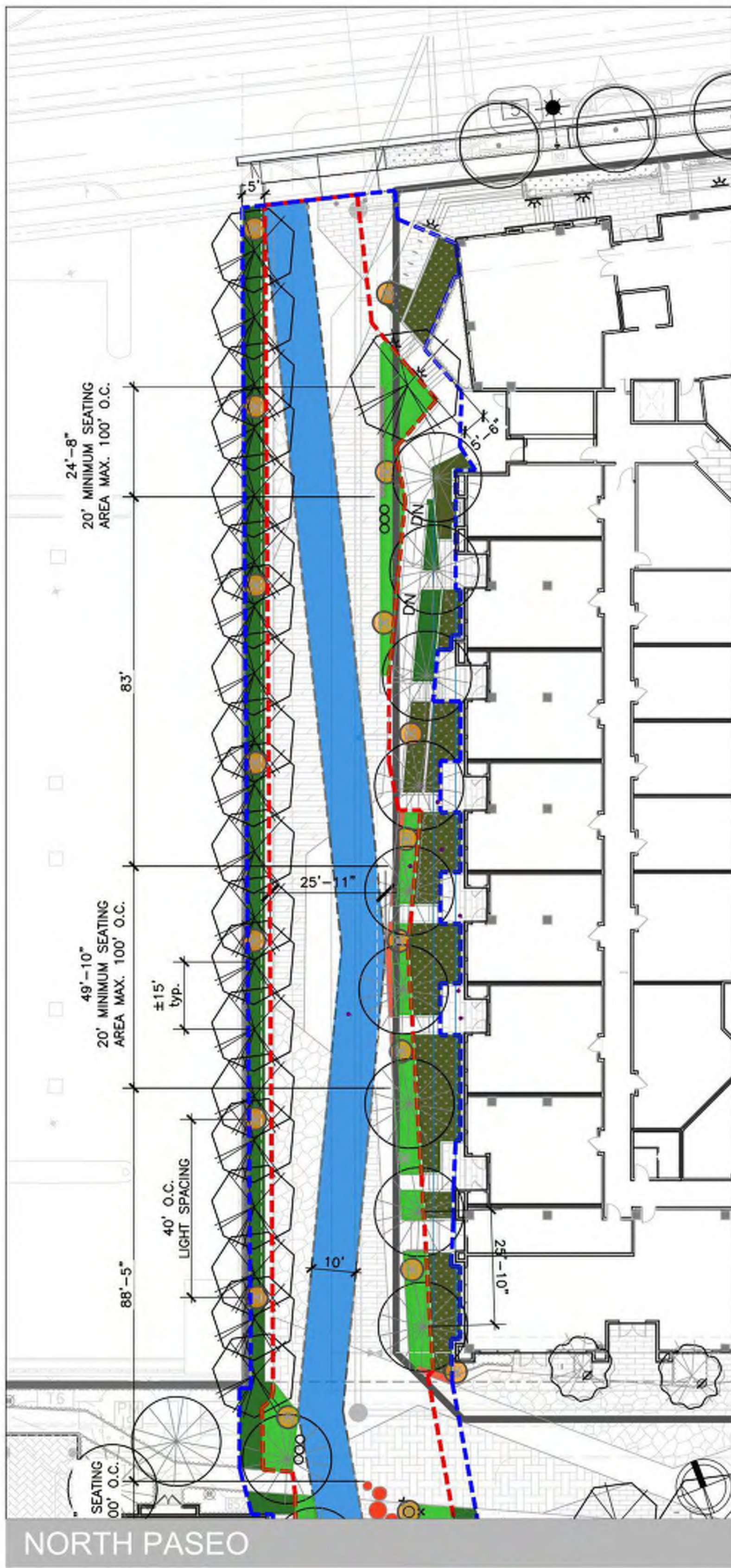


INDEPENDENCE FRONTAGE EAST END



CHRYSLER FRONTAGE





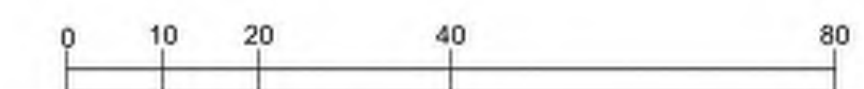
NORTH PASEO

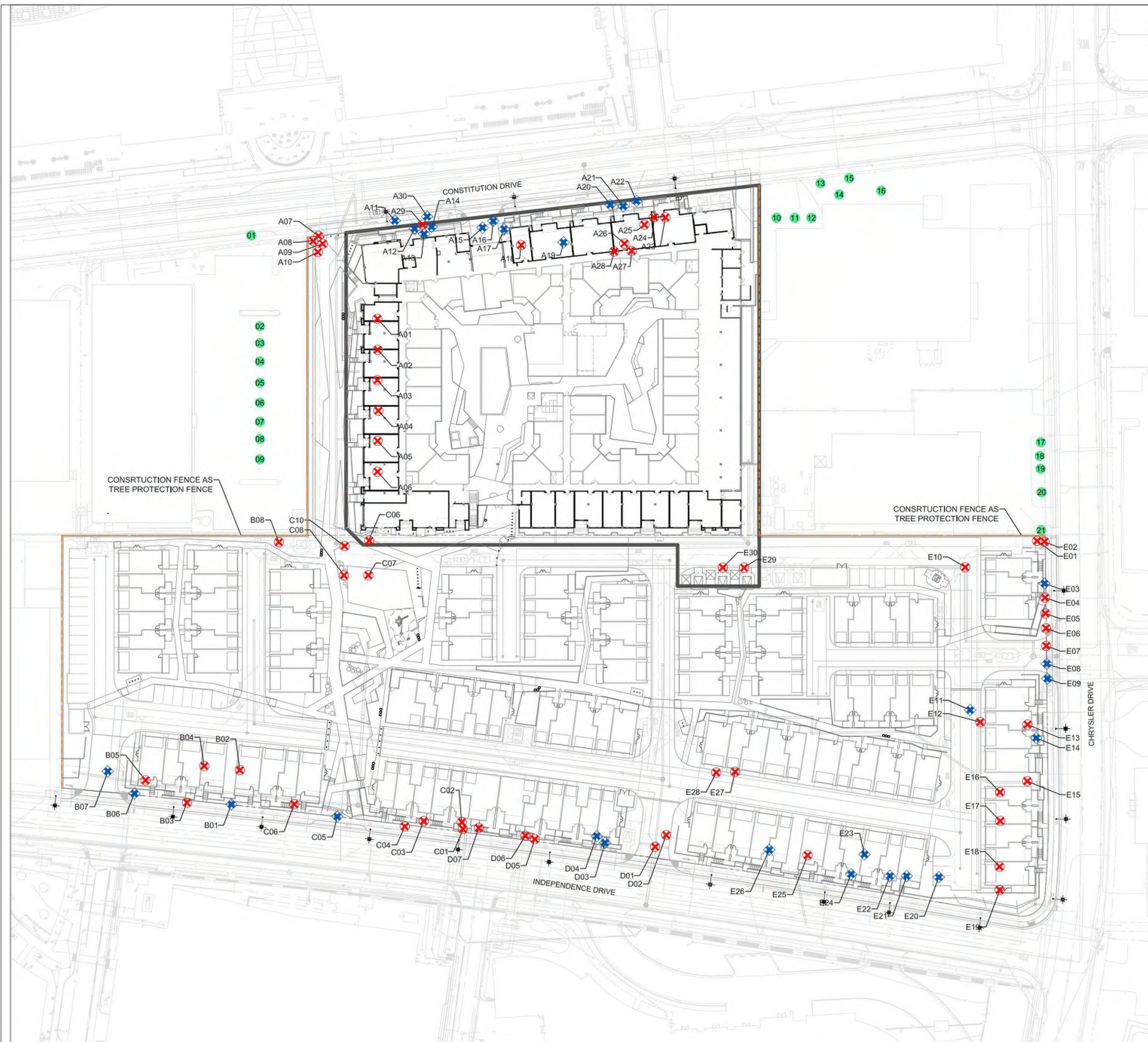


SOUTH PASEO

PROJECT NOTES	Standard	Definition	Base and Bonus Levels	Notes/Additional Requirements
Paseo width varies and is integrated with open spaces	Paseo Width Figure 5, label A	The minimum dimension in overall width of the paseo, including landscaping and hardscape components.	20 feet	
Pathway width is 10' with additional adjacent paving per fire access requirements	Pathway Width Figure 5, label B	The minimum and maximum width of the hardscape portion of the paseo.	10 feet minimum; 14 feet maximum	The paseo pathway shall be connected to building entrances with hardscape pathways. Pathways may be used for emergency vehicle access use and allowed a maximum paved width exemption to accommodate standards of the Menlo Park Fire Protection District with prior approval by Transportation Manager.
Seating has been provided as required with additional seating as part of the open spaces	Furnishing Zones Figure 5, label C	Requirements for pockets of hardscape areas dedicated to seating, adjacent to the main pedestrian pathway area.	Minimum dimension of 5 feet wide by 20 feet long provided at a minimum interval of 100 feet	Furnishing zones must include benches or other type of seating and pedestrian-scaled lighting.
Planting buffers have been provided. Treatment areas are integrated with adjacent open spaces.	Paseo Frontage Setback Figure 5, label D	The minimum setback for adjacent buildings from the edge of the paseo property line.	5 feet	A minimum of 50% of the setback area between the building and paseo shall be landscaped (50% of which should provide on-site infiltration of stormwater runoff.) Plants should be climate-adapted species, up to 3 feet in height.
Trees have been provided in excess of the requirement	Trees Figure 5, label E	The size and spacing of trees that are required along the paseo.	Small canopy trees with a maximum mature height of 40 feet and canopy diameter of 25 feet, planted at maximum intervals of 40 feet	Trees must be planted within the paseo width, with the tree canopy allowed to overhang into the setback.
20% of the paseo is planted	Landscaping	The minimum percentage of the paseo that is dedicated to vegetation.	20%	On-site infiltration of stormwater runoff is required.
Lighting has been provided at the spacing required with additional bollard lighting	Lighting	Pedestrian-oriented street lamps.	One light fixture every 40 feet.	Use energy efficient lighting per Title 24. Lights shall be located a minimum of 20 feet from trees.

CALCULATIONS
Total Area of Paseo Width: 15,367SF
Planted Area of Paseo Width: 3,084SF (20.0% of Total Width Area)
Total Area of Paseo Setback: 8,032SF
Planted Area of Paseo Setback: 4,193SF (52.2% of Total Setback Area)
Stormwater Treatment Planting Area of Paseo Setback: 2,164SF (51.6% of Planted Setback Area)





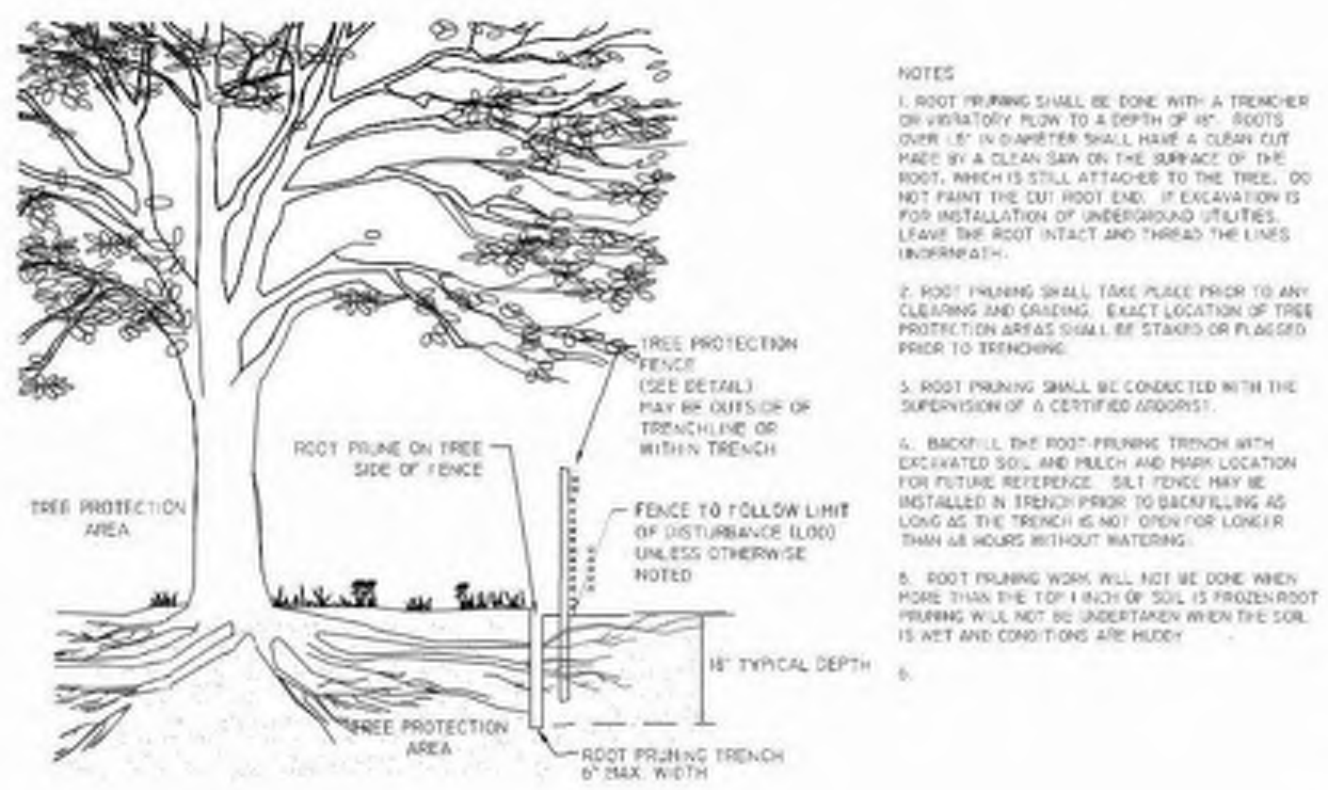
TREE DISPOSITION LEGEND

KEY	DESCRIPTION	QUANTITY
A07	EXISTING TREE TO BE REMOVED	56
A07	EXISTING HERITAGE TREE TO BE REMOVED	29
	OFF-SITE TREES TO REMAIN	21
29 HERITAGE TREES AND 56 NON-HERITAGE TREE PROPOSED FOR REMOVAL HERITAGE TREE MITIGATION RATIO 2:1 (15 GALLON BOX SIZE MINIMUM) (58) HERITAGE TREE REPLACEMENTS REQUIRED (358) NEW TREES PROPOSED AT MINIMUM 15 GALLON SIZE - MITIGATION REQUIREMENT EXCEEDED BY (300) SEE SHEET L4.01 TREE PLANTING PLAN		

Tree Disposition Plan Notes:

- See Arborist Report for full tree evaluation notes and data.
- Tree Disposition Plan has been prepared based on topographic survey provided by civil engineers. See Arborist Report prepared by FMA Landscape Services dated on October 19, 2021 for tree evaluation details. The Report has been updated as reflected in the Arborist Additional Comments Dated January 15, 2022 based on the site visit on December 30, 2021.
- Tree inventory in arborist report is divided by parcel address. See Key below for tree number in correspondence to arborist report.

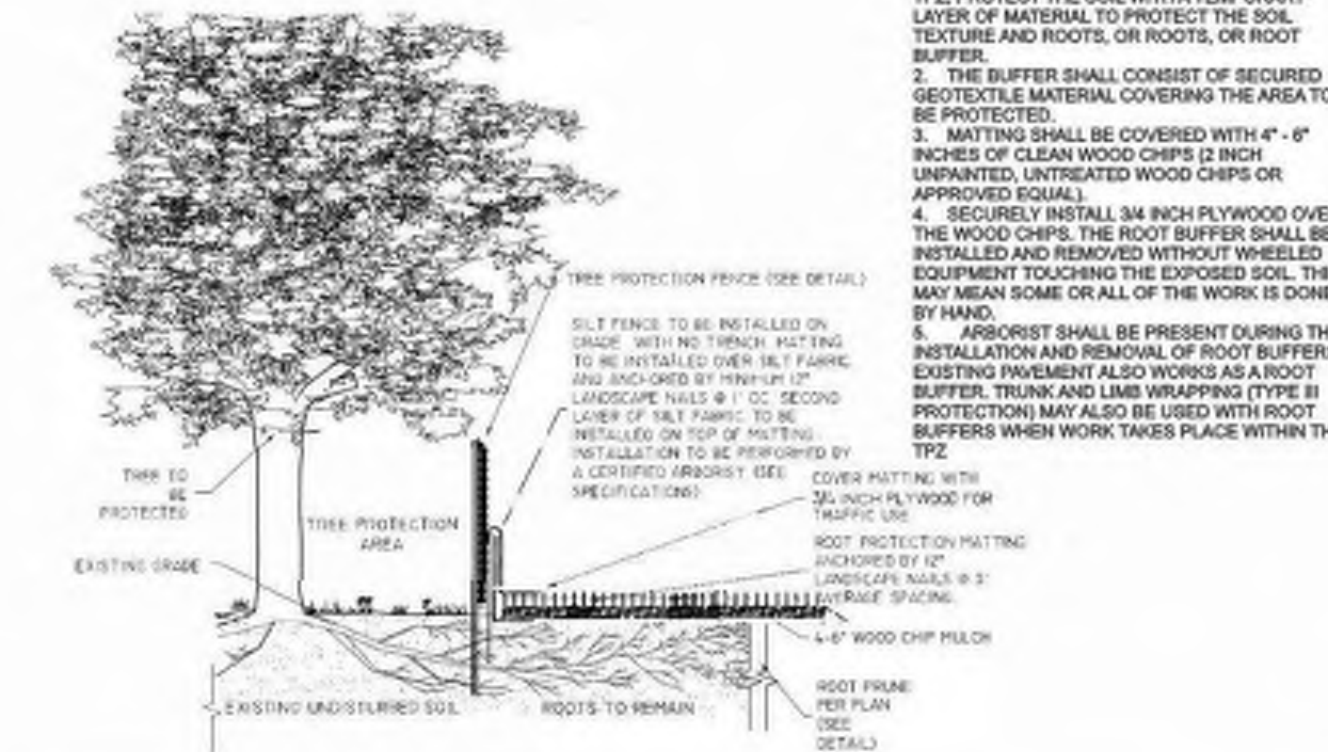
Tree # in Plan	Parcel Address
A01 - A28:	130 Constitution Dr. Menlo Park, CA 94025
B01 - B08:	119 Independence Dr. Menlo Park, CA 94025
C01 - C10:	123-125 Independence Dr. Menlo Park, CA 94025
D01 - D07:	127 Independence Dr. Menlo Park, CA 94025
E01 - E30:	1205 Chrysler Dr. Menlo Park, CA 94025



NOTES

1. ROOT PRUNING SHALL BE DONE WITH A TRENCHEER OR VIBRATORY TRENCHER TO A DEPTH OF 40\"/>

ROOT PRUNING SECTION 0223.5
NOT TO SCALE



NOTES

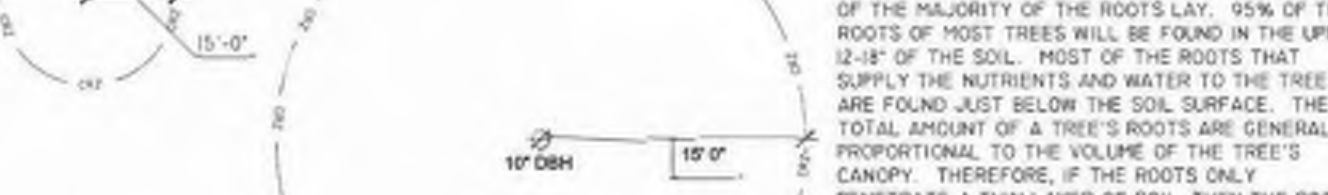
1. WHERE WORK MUST TAKE PLACE WITHIN THE TPZ, PROTECT THE SOIL WITH A TEMPORARY LAYER OF MATERIAL TO PROTECT THE SOIL TEXTURE AND ROOTS OR ROOTS OR ROOT BUFFER.
2. THE BUFFER SHALL CONSIST OF SECURED GEOTEXTILE MATERIAL COVERING THE AREA TO BE PROTECTED.
3. MATTING SHALL BE COVERED WITH 4\"/>

TEMPORARY ROOT PROTECTION MATTING ELEVATION 1103.7
NOT TO SCALE



NOTES

1. GRAPHICALLY, THE CRITICAL ROOT ZONE (CRZ) IS REPRESENTED AS A CIRCULAR REGION MEASURED OUTWARD FROM A TREE TRUNK REPRESENTING THE AREA OF ROOTS THAT MUST BE MAINTAINED OR PROTECTED FOR THE TREE'S SURVIVAL.
2. THE CRZ OF A TREE IS THE ZONE IN WHICH MOST OF THE MAJORITY OF THE ROOTS LAY. 95% OF THE ROOTS OF MOST TREES WILL BE FOUND IN THE UPPER 12-18\"/>



NOTES

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NOTES

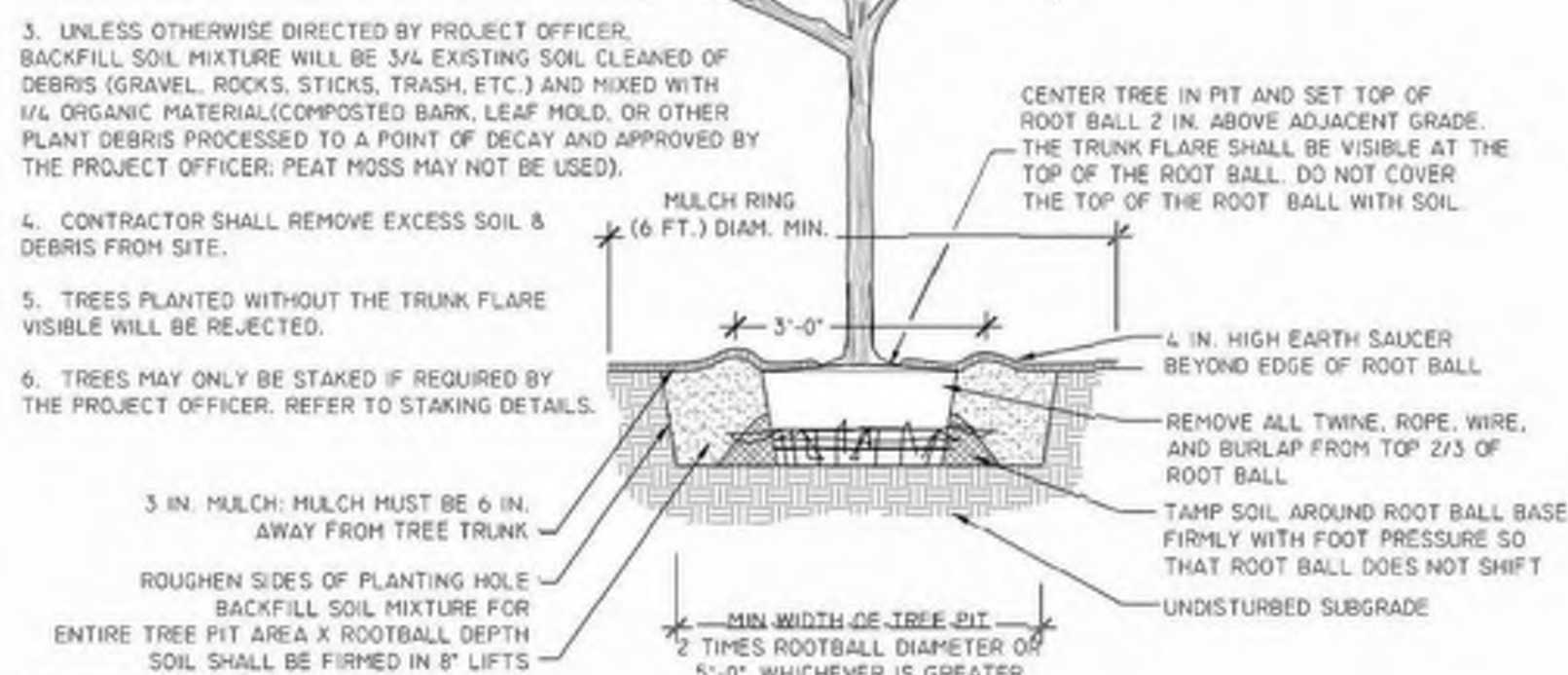
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TREE PROTECTION DETAIL FOR DETERMINING CRITICAL ROOT ZONE ELEVATION 0223.3
NOT TO SCALE

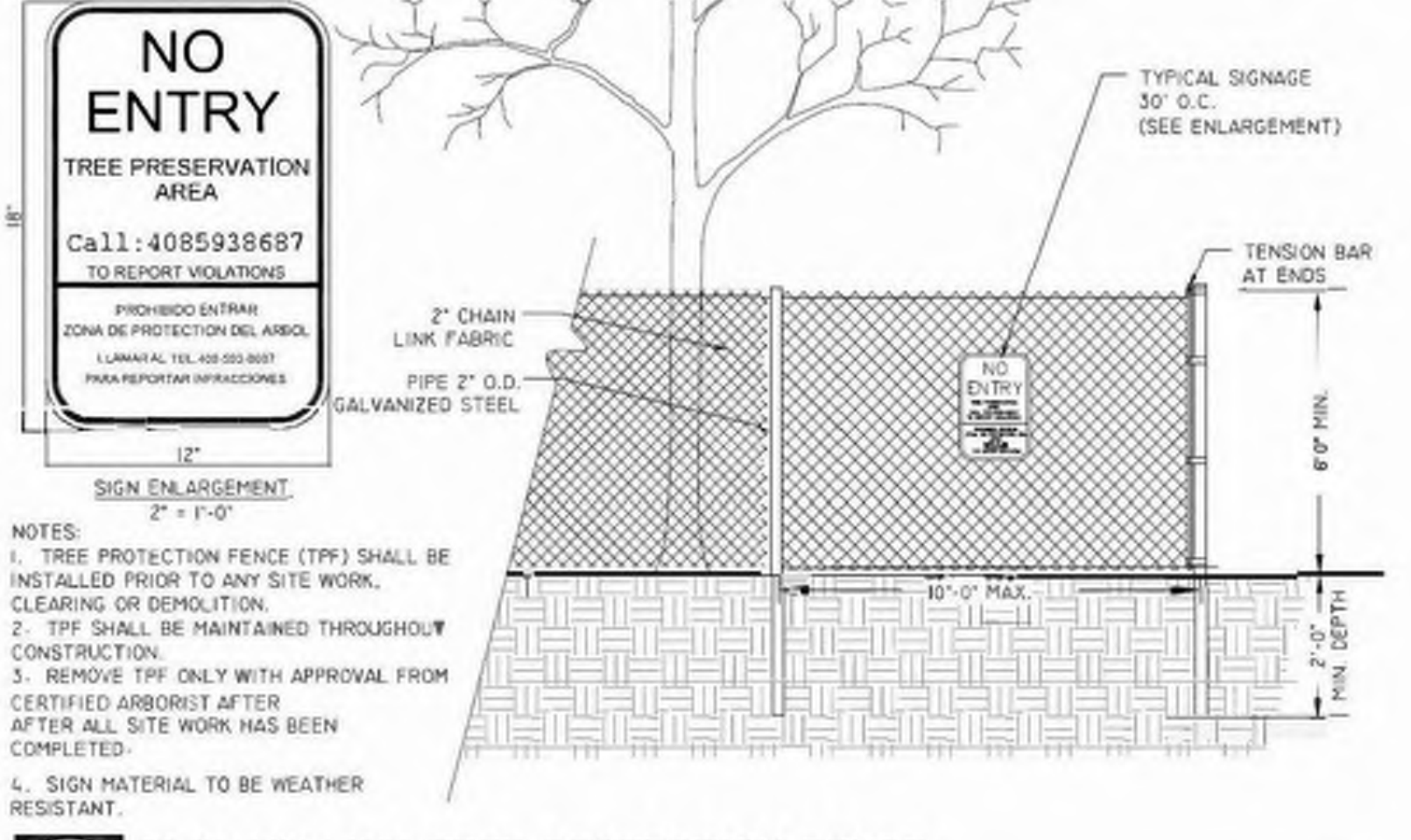
TREE PROTECTION DETAIL FOR DETERMINING CRITICAL ROOT ZONE ELEVATION 0223.3
NOT TO SCALE

NOTES

1. AT PLANTING PRUNE ONLY CROSSING LIMBS, BROKEN OR DEAD BRANCHES, AND ANY BRANCHES THAT POSE A HAZARD TO PEDESTRIANS. DO NOT PRUNE INTO OLD WOOD OR EVERGREENS.
2. CONTRACTOR SHALL MAXIMIZE EXCAVATED AREA FOR TREE PIT WITHOUT ADVERSELY IMPACTING ADJACENT SITE FEATURES.
3. UNLESS OTHERWISE DIRECTED BY PROJECT OFFICER, BACKFILL SOIL MIXTURE WILL BE 3/4 EXISTING SOIL CLEANED OF DEBRIS (GRAVEL, ROCKS, STICKS, TRASH, ETC.) AND MIXED WITH 1/4 ORGANIC MATERIAL (COMPOSTED BARK, LEAF MOULD, OR OTHER PLANT DEBRIS PROCESSED TO A POINT OF DECAY AND APPROVED BY THE PROJECT OFFICER. PEAT MOSS MAY NOT BE USED).



TREE PLANTING DETAIL FOR OPEN PLANTING AREAS FREE OF PAVING OR GRATES NOT TO SCALE



6' CHAIN LINK TREE PROTECTION FENCE ELEVATION 0223.2
1/2\"/>

ADDITIONAL FENCING DETAIL NOTES:

1. TREE PROTECTION FENCING SHALL BE INSTALLED AT THE DRIPLINE OR AS SPECIFIED BY THE PROJECT ARBORIST.
2. FENCING SHALL CONSIST OF SIX (6) FOOT HIGH CHAIN LINK FENCES MOUNTED ON TWO-INCH DIAMETER GALVANIZED IRON POSTS, DRIVEN INTO THE GROUND TO A DEPTH OF AT LEAST TWO FEET AT NO MORE THAN 10-FOOT SPACING.
3. TREE FENCING SHALL BE ERRECTED BEFORE DEMOLITION, GRADING OR CONSTRUCTION BEGINS AND WILL REMAIN IN PLACE UNTIL FINAL INSPECTION OF PROJECT WORK OR SOIL DISTURBANCE IN THE FENCED AREA REQUIRES APPROVAL BY THE PROJECT ARBORIST OR CITY MANAGING ARBORIST. WHEN APPROVED BY THE CITY, CHAIN LINK PANELS 5-8 FEET TALL, SECURELY MOUNTED ONTO STABLE FOOTING AND LOCATED BY THE PROJECT ARBORIST, MAY BE USED.
4. THE 3 TYPES OF TREE PROTECTION FENCING ALLOWED ARE:
 - TYPE I: THE FENCE SHALL ENCLOSE THE ENTIRE TPZ OF THE TREE(S) TO BE PROTECTED THROUGHOUT THE LIFE OF THE CONSTRUCTION PROJECT. IN SOME PARKING AREAS, IF FENCING IS LOCATED ON PAVING OR CONCRETE THAT WILL NOT BE DEMOLISHED, THEN THE POSTS MAY BE SUPPORTED BY AN APPROPRIATE GRADE LEVEL CONCRETE BASE, IF APPROVED BY THE PUBLIC WORKS DEPARTMENT.
 - TYPE II (TRUNK WRAP): TO BE USED ONLY WITH APPROVAL FROM CITY MANAGING ARBORIST. WRAP THE TRUNK WITH 2 INCHES OF ORANGE PLASTIC FENCING FOR BUFFERING OVERLAP WITH 3/4\"/>

TREE PROTECTION DETAIL FOR DETERMINING CRITICAL ROOT ZONE ELEVATION 0223.3
NOT TO SCALE

Tree protection and Preservation Plan

The objective of this plan is to reduce or eliminate the negative impacts of construction on Heritage trees.

This plan is prepared to assess impact to trees, recommend mitigation to reduce impacts to a less than significant level, and identify construction guidelines to be followed through all phases of the construction project.

Section I – Pre-Construction

- On the Tree Protection Plan for this project, plot accurate trunk locations and the dripline of Heritage trees. In addition, the plan shall accurately show the species, trunk diameter, dripline, and clearly indicate the tree protection zone (TPZ) to be enclosed with the specified tree fencing as a bold dashed line.
- For verification of tree protection, the Project Arborist (Miguel Medina, phone # (408)593-8687) shall verify that all pre-construction requirements have been met. Prior to demolition, grading, or building permit issuance.
- The demolition, grading, and general Contractor are required to meet with the Project Arborist (Miguel Medina, phone # (408)593-8687) at the site prior to beginning demolition, grading, or new construction to review tree protection measures and to establish haul routes, staging areas, etc.
- Protective Tree fencing enclosures shall be erected around trees to be protected to establish the TPZ in which no soil disturbance is permitted, and activities are restricted. For size and style of fence see Fence Detail #1 and #2. Duration: Tree fencing shall be erected before any demolition, grading, or construction begins and shall remain in place until the Project Arborist (Miguel Medina, phone # (408)593-8687) approved the removal.

Section II – Tree protection Zone (TPZ)

Heritage trees and street trees shall have a designated TPZ identifying the area sufficiently large enough to protect the trees and roots from disturbance. Any deviation in determining the TPZ will require approval by the Project Arborist (Miguel Medina, phone # (408)593-8687).

- Activities PROHIBITED within the TPZ include:
 - Storage or parking of vehicles, building materials, refuse, excavated spoils or dumping of poisonous materials, including but not limited to, paint, petroleum products, concrete, stucco mix, or dirty water.
 - The use of tree trunks as a winch support anchorage, as a temporary power pole, signpost, or other similar function.
 - Cutting of tree roots by utility trenching, foundation digging, placement of curbs & trenches and other miscellaneous excavation.
 - Soil disturbance, soil compaction, or grade changes.
 - Drainage changes.

Section IV – Inspection Schedule

The Project Arborist retained by the applicant shall conduct the following required inspections of construction site for Heritage trees:

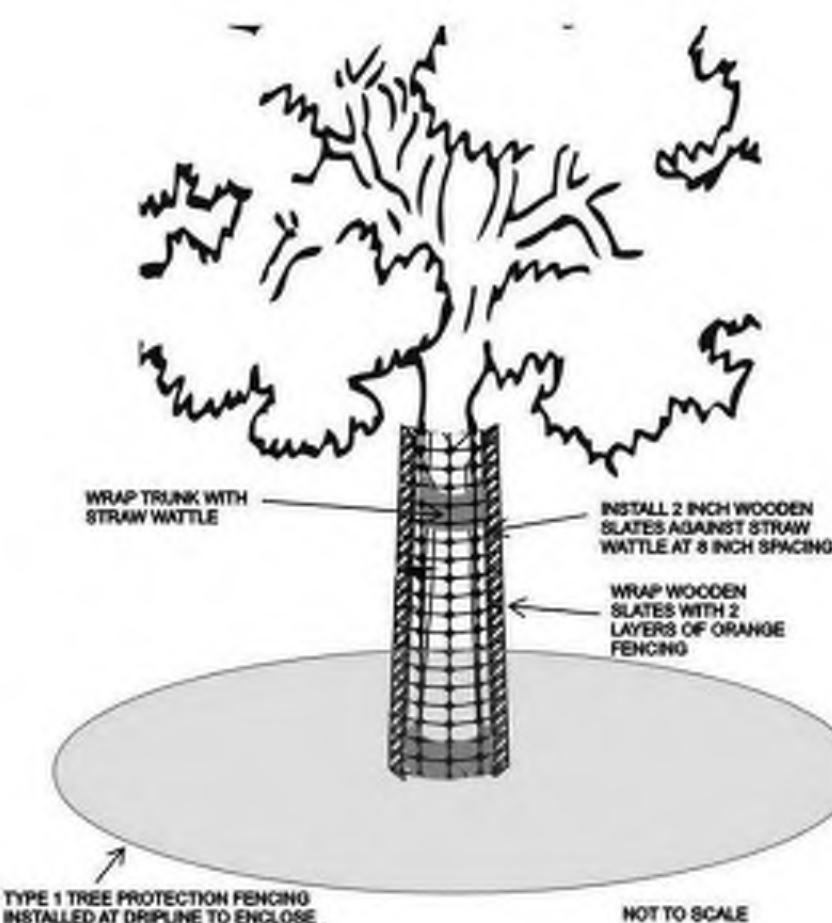
- Pre-Construction Meeting: Prior to commencement of construction, the Contractor shall conduct a Pre-construction meeting to discuss Heritage Tree Protection with the Job Superintendent, Grading Equipment Operators, Project Arborist (Miguel Medina, phone # (408)593-8687).
- Inspection of Protective Tree Fencing: Project Arborist (Miguel Medina, phone # (408)593-8687) shall conduct an inspection of the trees and verify that the protective tree fencing is in place prior to issuance of a demolition, grading, or building permit.
- Inspection of Rough Grading: The Project Arborist (Miguel Medina, phone # (408)593-8687) shall perform an inspection during rough grading adjacent to the TPZ to ensure that trees will not be injured by compaction, cut or fill, drainage & trenching.
- Special activities within the Tree Protection Zone: Work in this area (TPZ) requires the direct on-site supervision of the Project Arborist (Miguel Medina, phone # (408)593-8687).

- Activities permitted or required within the TPZ include:
 - Mulching. During construction, it is recommended that wood chips or similar materials be spread within the TPZ to a 4\"/>
- Irrigation, aeration, fertilizing, or other beneficial practice that have been specifically approved for use by the Project Arborist (Miguel Medina, phone # (408)593-8687) within the TPZ.
- Tunneling & Directional Drilling: If trenching or pipe installation has been approved by Project Arborist (Miguel Medina, phone # (408)593-8687), then the trench shall be cut by hand only.

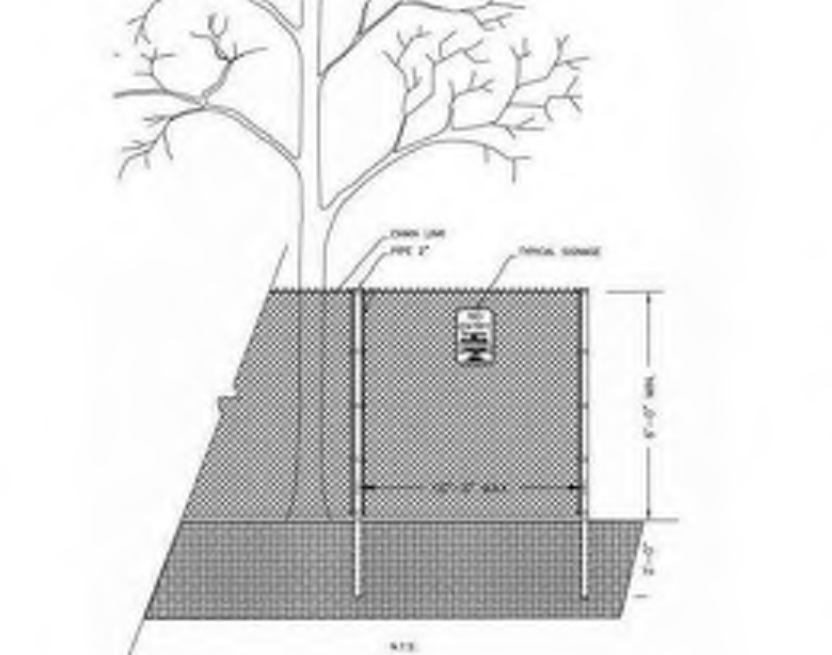
Section III – Injury Mitigation

A Mitigation Program is required if the approved development will cause drought stress, dust accumulation, or soil compaction. To help reduce impact injury, one or more of the following mitigation measures shall be implemented and supervised by the Project Arborist (Miguel Medina, phone # (408)593-8687)

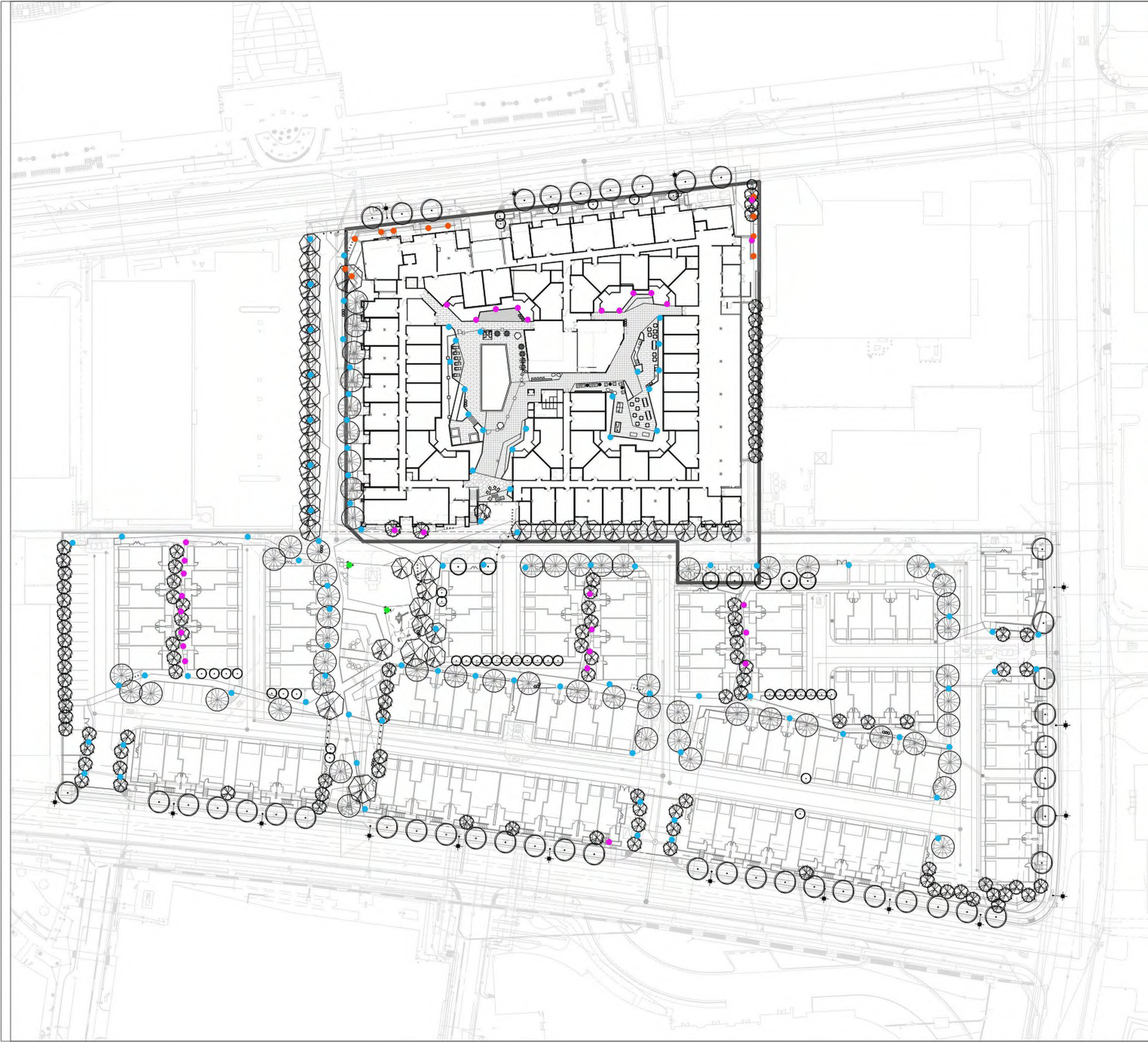
- Irrigation Program: Irrigate to wet the soil within the TPZ during the dry season as specified by the Project Arborist (Miguel Medina, phone # (408)593-8687)
- Dust Control Program: During periods of extended drought, spray trunk, limbs, and foliage to remove accumulated construction dust.
- Mitigation:
 - Root Injury: Hand trenching shall avoid cutting any roots, but if tree roots 2\"/>
- Bark or trunk wounding: Current bark tracing and treatment methods shall be performed or supervised by the Project Arborist (Miguel Medina, phone # (408)593-8687) within two days.
- Scaffold branch or leaf canopy injury: Remove broken or torn branches back to an appropriate branch capable of resuming terminal growth within five days. If leaves are heat scorched from equipment exhaust pipes, consult the Project Arborist (Miguel Medina, phone # (408)593-8687).
- New plant material at the TPZ area: Holes shall be dug by hand only to prevent the minimum root cut. The Project Arborist must be present to set up or relocate plant material.
- NO SOIL RIPPING WITHIN TREE PROTECTION FENCING**



TYPE I TREE PROTECTION FENCING NOT TO SCALE



TYPE II TREE PROTECTION FENCING NOT TO SCALE





WALL LIGHT
BEGA 33 058 LED RECESSED WALL LIGHT



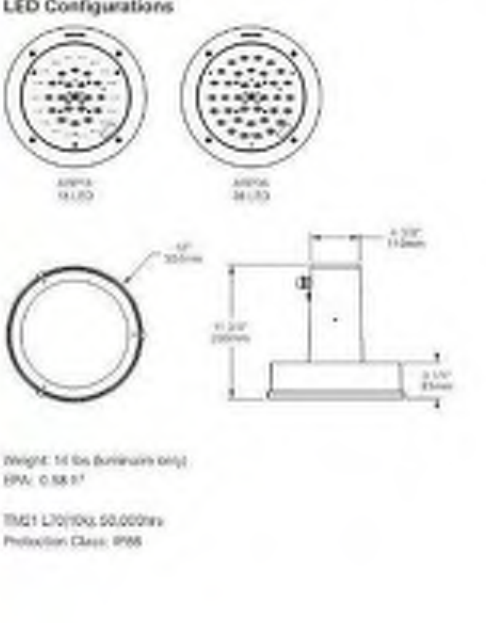
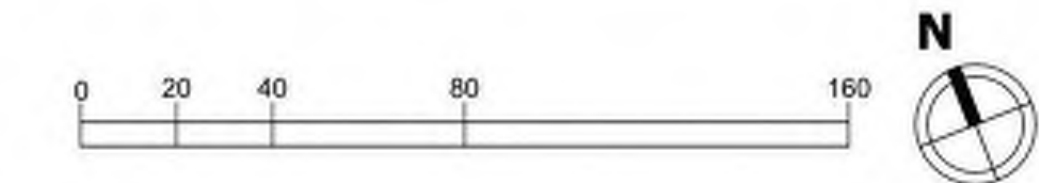

POLE LIGHT
BEGA 88 16 LED POLE TOP LUMINARIES

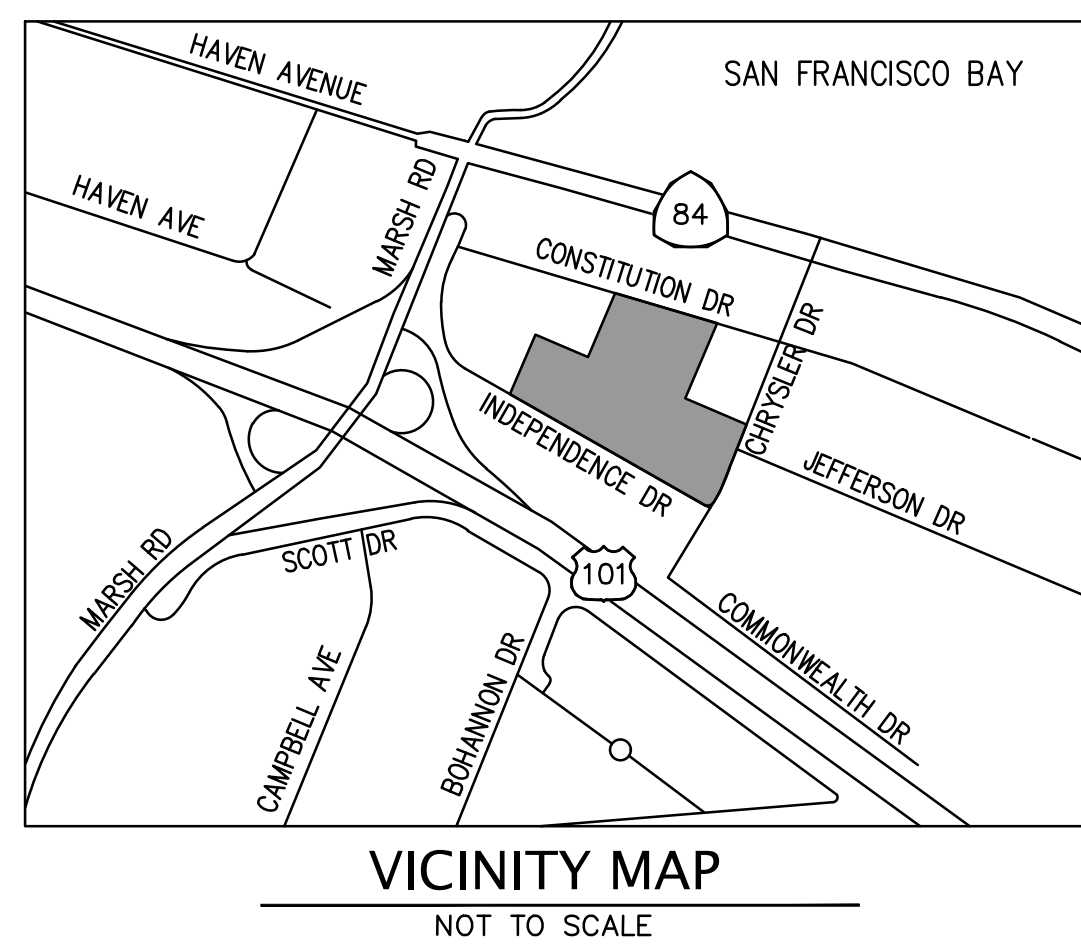



BOLLARD LIGHT
BEGA 77 752/753/787 LED BOLLARDS (VARIOUS HEIGHTS)

PARK AREA LIGHT
ARNE ARC41 SINGLE COLUMN SPIRAL 24.9ft POLE



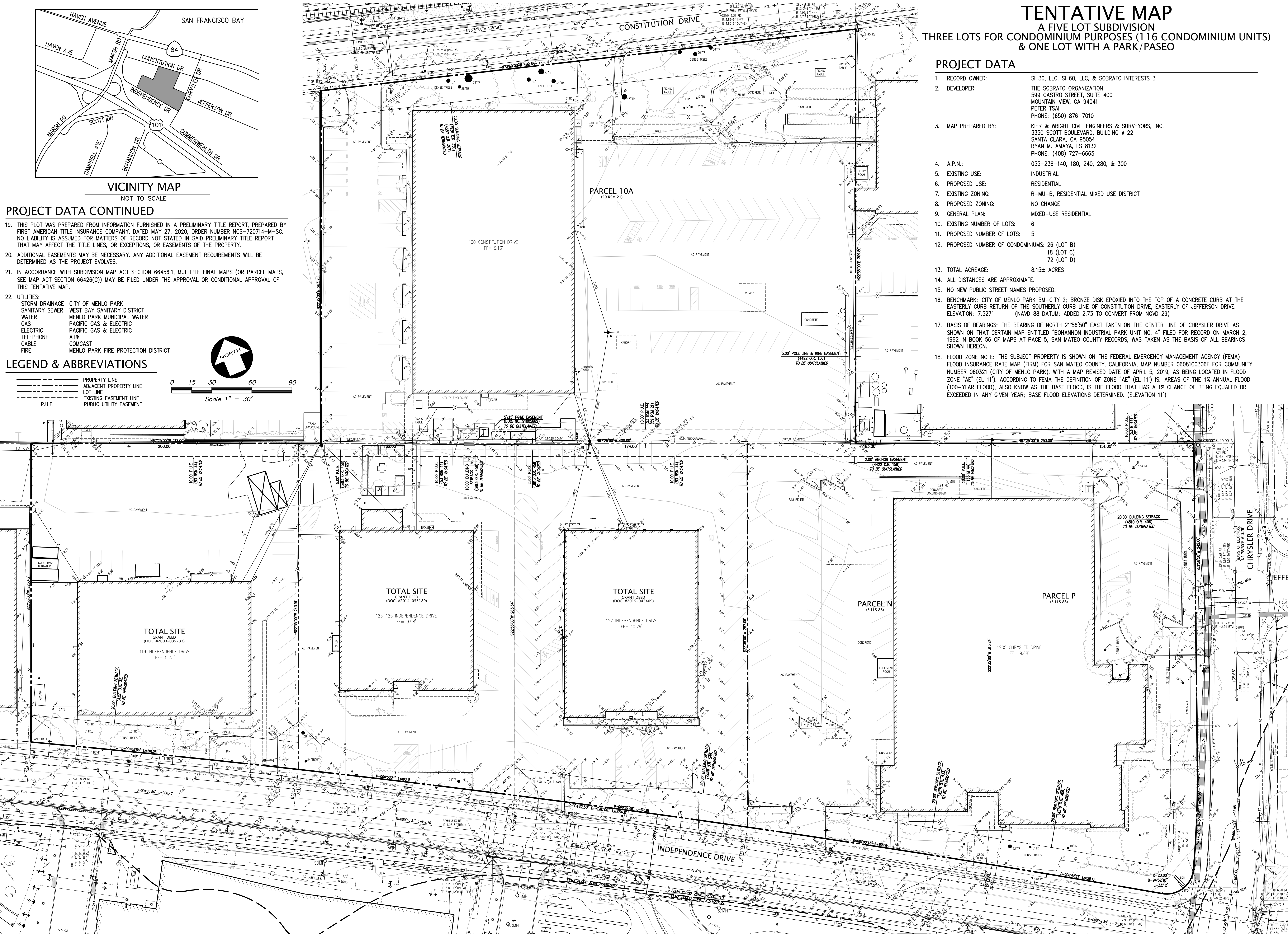
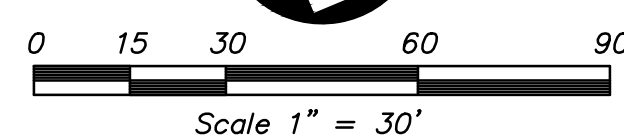
VICINITY MAP
NOT TO SCALE

PROJECT DATA CONTINUED

- THIS PLOT WAS PREPARED FROM INFORMATION FURNISHED IN A PRELIMINARY TITLE REPORT, PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, DATED MAY 27, 2020, ORDER NUMBER NCS-720714-M-SC. NO LIABILITY IS ASSUMED FOR MATTERS OF RECORD NOT STATED IN SAID PRELIMINARY TITLE REPORT THAT MAY AFFECT THE TITLE LINES, OR EXCEPTIONS, OR EASEMENTS OF THE PROPERTY.
- ADDITIONAL EASEMENTS MAY BE NECESSARY. ANY ADDITIONAL EASEMENT REQUIREMENTS WILL BE DETERMINED AS THE PROJECT EVOLVES.
- IN ACCORDANCE WITH SUBDIVISION MAP ACT SECTION 66456.1, MULTIPLE FINAL MAPS (OR PARCEL MAPS, SEE MAP ACT SECTION 66426(C)) MAY BE FILED UNDER THE APPROVAL OR CONDITIONAL APPROVAL OF THIS TENTATIVE MAP.
- UTILITIES:
 STORM DRAINAGE CITY OF MENLO PARK
 SANITARY SEWER WEST BAY SANITARY DISTRICT
 WATER MENLO PARK MUNICIPAL WATER
 GAS PACIFIC GAS & ELECTRIC
 ELECTRIC PACIFIC GAS & ELECTRIC
 TELEPHONE AT&T
 CABLE COMCAST
 FIRE MENLO PARK FIRE PROTECTION DISTRICT

LEGEND & ABBREVIATIONS

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- LOT LINE
- EXISTING EASEMENT LINE
- PUBLIC UTILITY EASEMENT



TENTATIVE MAP
A FIVE LOT SUBDIVISION
THREE LOTS FOR CONDOMINIUM PURPOSES (116 CONDOMINIUM UNITS)
& ONE LOT WITH A PARK/PASEO

PROJECT DATA

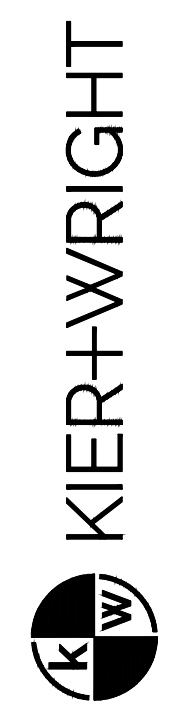
- RECORD OWNER: SI 30, LLC, SI 60, LLC, & SOBRATO INTERESTS 3
- DEVELOPER: THE SOBRATO ORGANIZATION
599 CASTRO STREET, SUITE 400
MOUNTAIN VIEW, CA 94041
PETER TSAI
PHONE: (650) 876-7010
- MAP PREPARED BY: KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS, INC.
3350 SCOTT BOULEVARD, BUILDING # 22
SANTA CLARA, CA 95054
RYAN M. AMAYA, LS 8132
PHONE: (408) 727-6665
- A.P.N.: 055-236-140, 180, 240, 280, & 300
- EXISTING USE: INDUSTRIAL
- PROPOSED USE: RESIDENTIAL
- EXISTING ZONING: R-MU-B, RESIDENTIAL MIXED USE DISTRICT
- PROPOSED ZONING: NO CHANGE
- GENERAL PLAN: MIXED-USE RESIDENTIAL
- EXISTING NUMBER OF LOTS: 6
- PROPOSED NUMBER OF LOTS: 5
- PROPOSED NUMBER OF CONDOMINIUMS: 26 (LOT B)
18 (LOT C)
72 (LOT D)
- TOTAL ACREAGE: 8.15± ACRES
- ALL DISTANCES ARE APPROXIMATE.
- NO NEW PUBLIC STREET NAMES PROPOSED.
- BENCHMARK: CITY OF MENLO PARK BM-CITY 2: BRONZE DISK EPOXIED INTO THE TOP OF A CONCRETE CURB AT THE EASTERLY CURB RETURN OF THE SOUTHERLY CURB LINE OF CONSTITUTION DRIVE, EASTERLY OF JEFFERSON DRIVE. ELEVATION: 7.527' (NAVD 88 DATUM; ADDED 2.73' TO CONVERT FROM NGVD 29)
- BASIS OF BEARINGS: THE BEARING OF NORTH 21°56'50" EAST TAKEN ON THE CENTER LINE OF CHRYSLER DRIVE AS SHOWN ON THAT CERTAIN MAP ENTITLED "BOHANNON INDUSTRIAL PARK UNIT NO. 4" FILED FOR RECORD ON MARCH 2, 1962 IN BOOK 56 OF MAPS AT PAGE 5, SAN MATEO COUNTY RECORDS, WAS TAKEN AS THE BASIS OF ALL BEARINGS SHOWN HEREON.
- FLOOD ZONE NOTE: THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR SAN MATEO COUNTY, CALIFORNIA, MAP NUMBER 060810306F FOR COMMUNITY NUMBER 060321 (CITY OF MENLO PARK), WITH A MAP REVISED DATE OF APRIL 5, 2019, AS BEING LOCATED IN FLOOD ZONE "AE" (EL 11'). ACCORDING TO FEMA THE DEFINITION OF ZONE "AE" (EL 11') IS: AREAS OF THE 1% ANNUAL FLOOD (100-YEAR FLOOD), ALSO KNOWN AS THE BASE FLOOD, IS THE FLOOD THAT HAS A 1% CHANCE OF BEING EQUALED OR EXCEEDED IN ANY GIVEN YEAR; BASE FLOOD ELEVATIONS DETERMINED. (ELEVATION 11')

123 Independence
Menlo Park, CA

The Sobrato Organization
599 Castro Street, Suite 400
Mountain View, CA

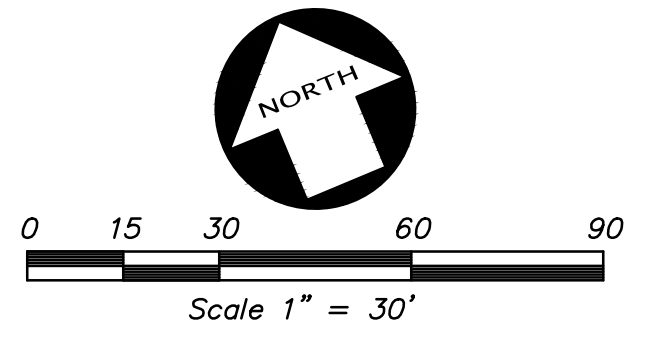
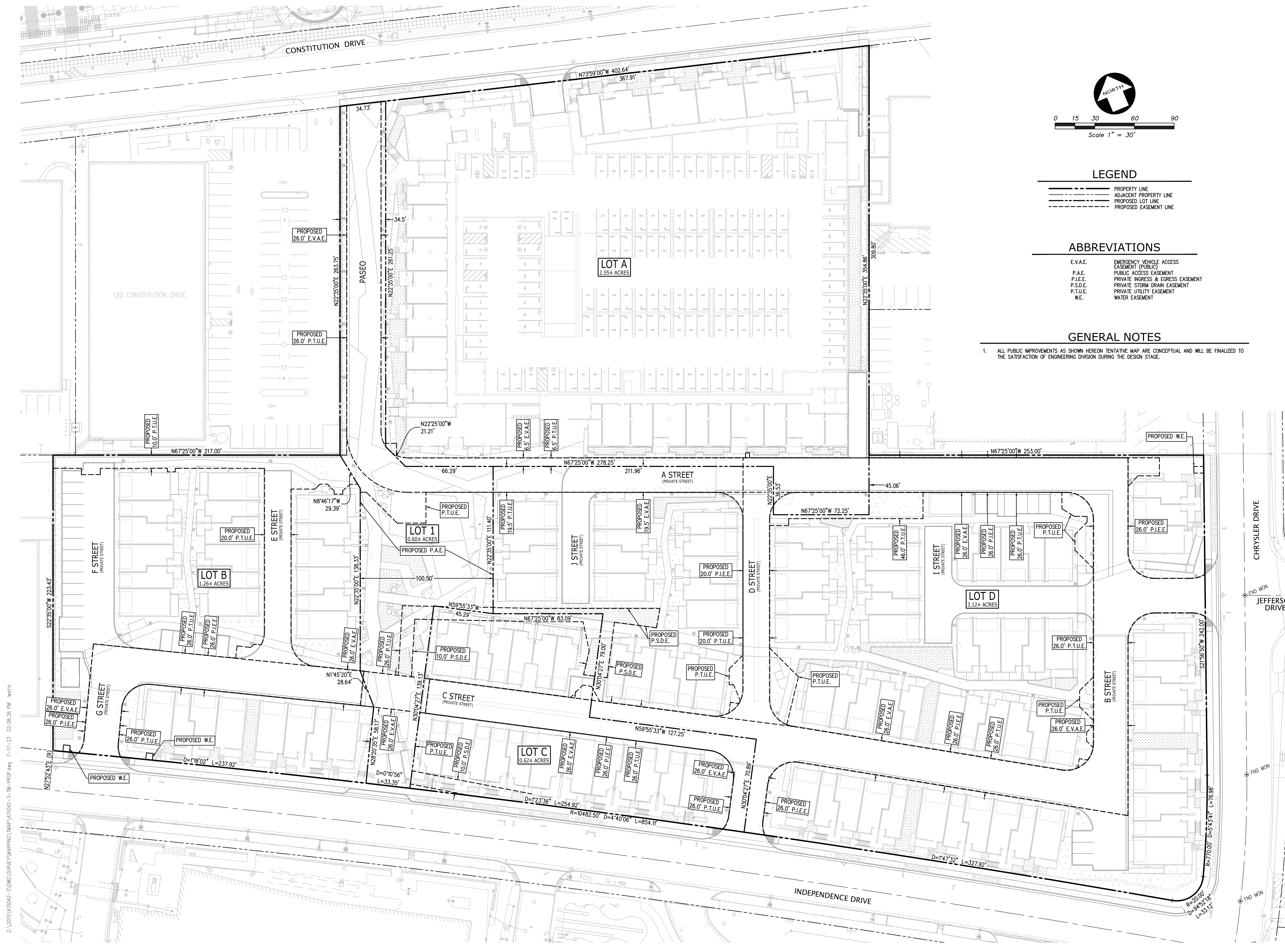
Sheet Title:
EXISTING CONDITIONS
Job No. 20004
Date: 02/03/2023
Scale: AS SHOWN
Drawn By: MC

Sheet No:
TM1



3350 Scott Boulevard, Building 22
Santa Clara, California 95054
Phone: (408) 727-6665
www.kierwright.com

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LEGEND

	PROPERTY LINE
	ADJACENT PROPERTY LINE
	PROPOSED LOT LINE
	PROPOSED EASEMENT LINE

ABBREVIATIONS

E.V.A.E.	EMERGENCY VEHICLE ACCESS EASEMENT (PUBLIC)
P.A.E.	PUBLIC ACCESS EASEMENT
P.I.E.E.	PRIVATE INGRESS & EGRESS EASEMENT
P.S.D.E.	PRIVATE STORM DRAIN EASEMENT
P.T.U.E.	PRIVATE UTILITY EASEMENT
W.E.	WATER EASEMENT

GENERAL NOTES

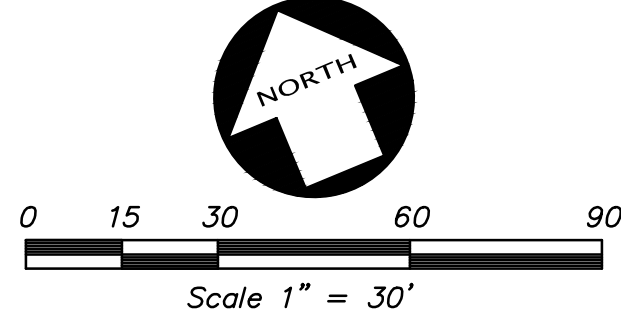
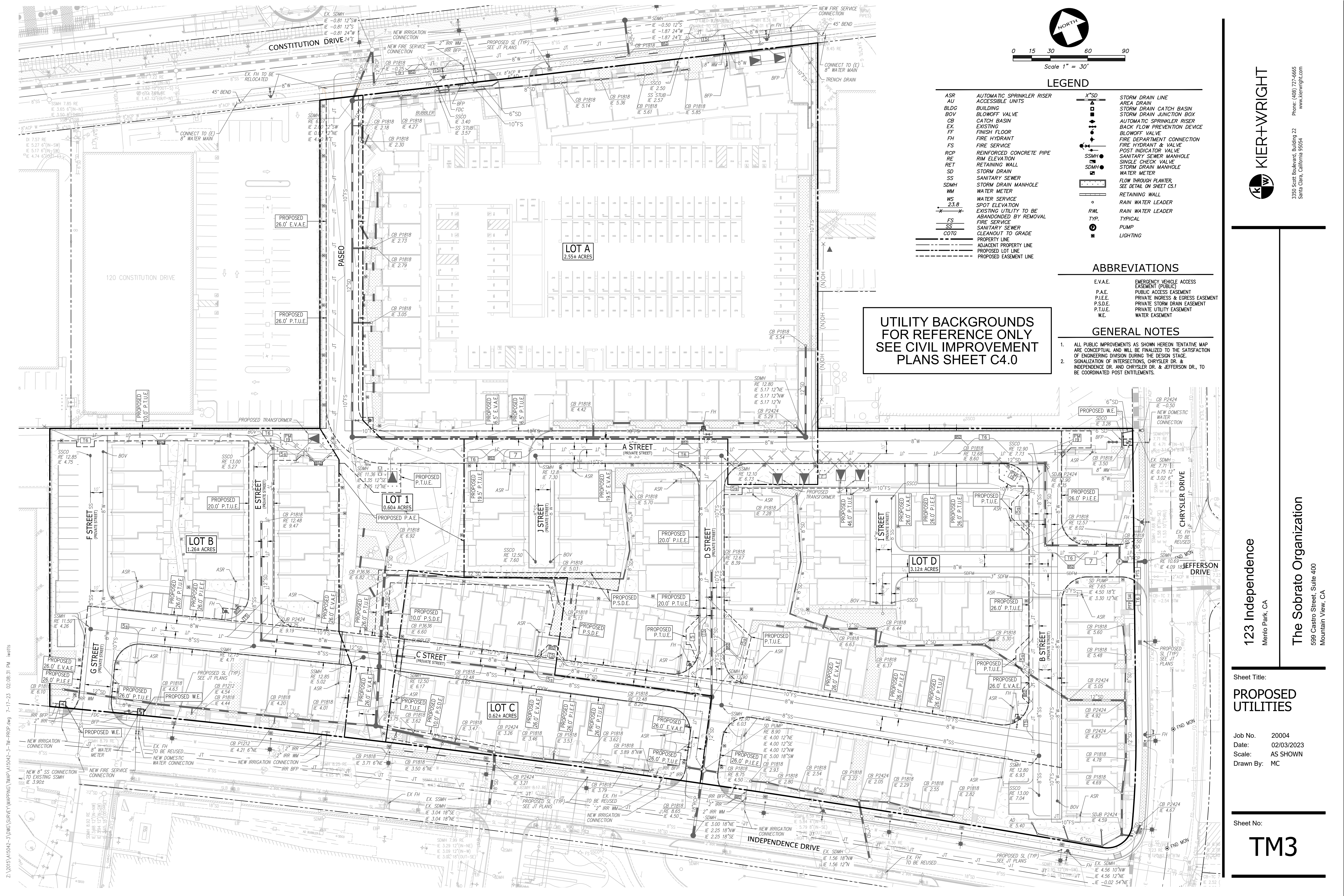
- ALL PUBLIC IMPROVEMENTS AS SHOWN HEREON TENTATIVE MAP ARE CONCEPTUAL AND WILL BE FINALIZED TO THE SATISFACTION OF ENGINEERING DIVISION DURING THE DESIGN STAGE.

Sheet Title:
PROPOSED CONDITIONS

Job No. 20004
 Date: 02/03/2023
 Scale: AS SHOWN
 Drawn By: MC

Sheet No:
TM2

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LEGEND

ASR	AUTOMATIC SPRINKLER RISER	X"SD	STORM DRAIN LINE
AU	ACCESSIBLE UNITS	▲	AREA DRAIN
BLDG	BUILDING	■	STORM DRAIN CATCH BASIN
BOV	BLOWOFF VALVE	□	STORM DRAIN JUNCTION BOX
CB	CATCH BASIN	○	AUTOMATIC SPRINKLER RISER
CB	EXISTING	○	BACK FLOW PREVENTION DEVICE
FF	FINISH FLOOR	○	BLOWOFF VALVE
FH	FIRE HYDRANT	○	FIRE DEPARTMENT CONNECTION
FS	FIRE SERVICE	○	FIRE HYDRANT & VALVE
RCP	REINFORCED CONCRETE PIPE	○	POST INDICATOR VALVE
RE	RIM ELEVATION	○	SANITARY SEWER MANHOLE
RET	RETAINING WALL	○	SINGLE CHECK VALVE
SD	STORM DRAIN	○	STORM DRAIN MANHOLE
SS	SANITARY SEWER	○	WATER METER
SDMH	STORM DRAIN MANHOLE	○	FLOW THROUGH PLANTER, SEE DETAIL ON SHEET C5.1
WM	WATER METER	○	RETAINING WALL
WS	WATER SERVICE	○	RAIN WATER LEADER
23.8	SPOT ELEVATION	○	RAIN WATER LEADER
X	EXISTING UTILITY TO BE ABANDONED BY REMOVAL	○	TYPICAL
FS	FIRE SERVICE	○	PUMP
SS	SANITARY SEWER	○	LIGHTING
COTG	CLEANOUT TO GRADE	○	
---	PROPERTY LINE		
---	ADJACENT PROPERTY LINE		
---	PROPOSED LOT LINE		
---	PROPOSED EASEMENT LINE		

ABBREVIATIONS

E.V.A.E.	EMERGENCY VEHICLE ACCESS EASEMENT (PUBLIC)
P.A.E.	PUBLIC ACCESS EASEMENT
P.I.E.E.	PRIVATE INGRESS & EGRESS EASEMENT
P.S.D.E.	PRIVATE STORM DRAIN EASEMENT
P.T.U.E.	PRIVATE UTILITY EASEMENT
W.E.	WATER EASEMENT

GENERAL NOTES

1. ALL PUBLIC IMPROVEMENTS AS SHOWN HEREON TENTATIVE MAP ARE CONCEPTUAL AND WILL BE FINALIZED TO THE SATISFACTION OF ENGINEERING DIVISION DURING THE DESIGN STAGE.
2. SIGNALIZATION OF INTERSECTIONS, CHRYSLER DR. & INDEPENDENCE DR. AND CHRYSLER DR. & JEFFERSON DR., TO BE COORDINATED POST ENTITLEMENTS.

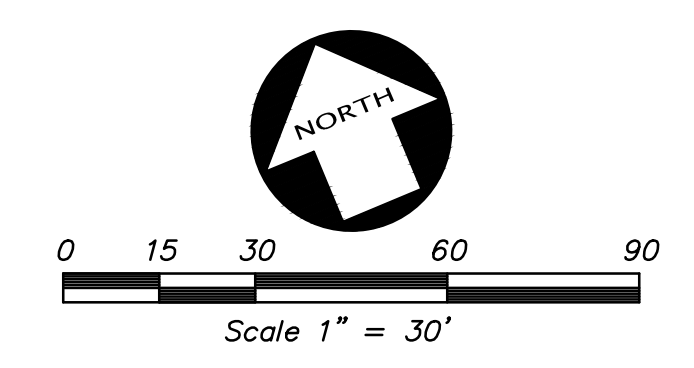
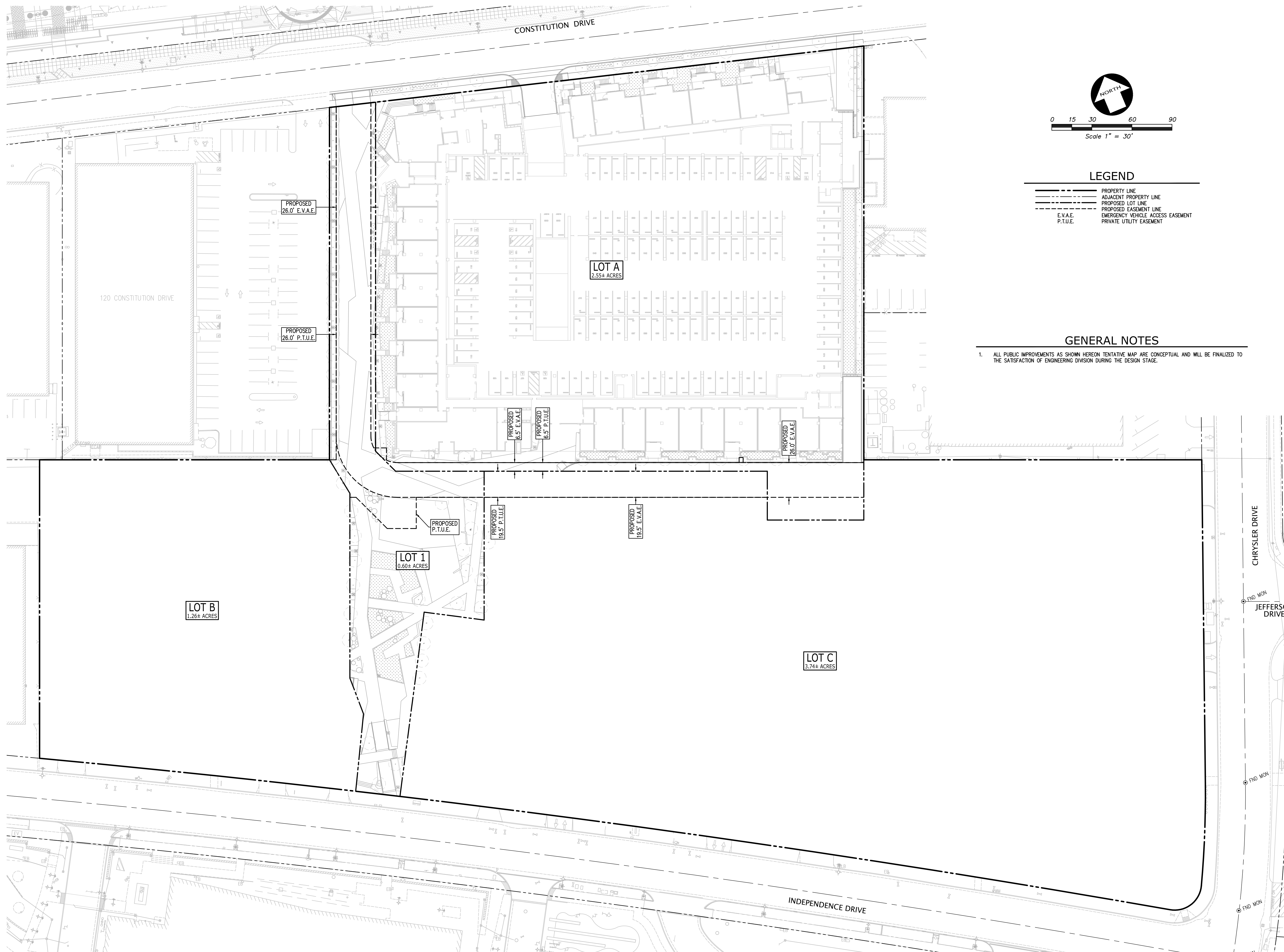
UTILITY BACKGROUNDS FOR REFERENCE ONLY SEE CIVIL IMPROVEMENT PLANS SHEET C4.0

Sheet Title:
PROPOSED UTILITIES

Job No. 20004
Date: 02/03/2023
Scale: AS SHOWN
Drawn By: MC

Sheet No:
TM3

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LEGEND

	PROPERTY LINE
	ADJACENT PROPERTY LINE
	PROPOSED LOT LINE
	PROPOSED EASEMENT LINE
	EMERGENCY VEHICLE ACCESS EASEMENT
	E.V.A.E.
	P.T.U.E.
	PRIVATE UTILITY EASEMENT

GENERAL NOTES

1. ALL PUBLIC IMPROVEMENTS AS SHOWN HEREON TENTATIVE MAP ARE CONCEPTUAL AND WILL BE FINALIZED TO THE SATISFACTION OF ENGINEERING DIVISION DURING THE DESIGN STAGE.

123 Independence
Menlo Park, CA

The Sobrato Organization
599 Castro Street, Suite 400
Mountain View, CA

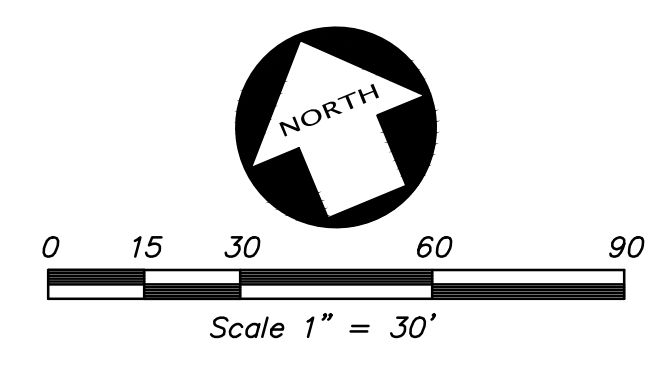
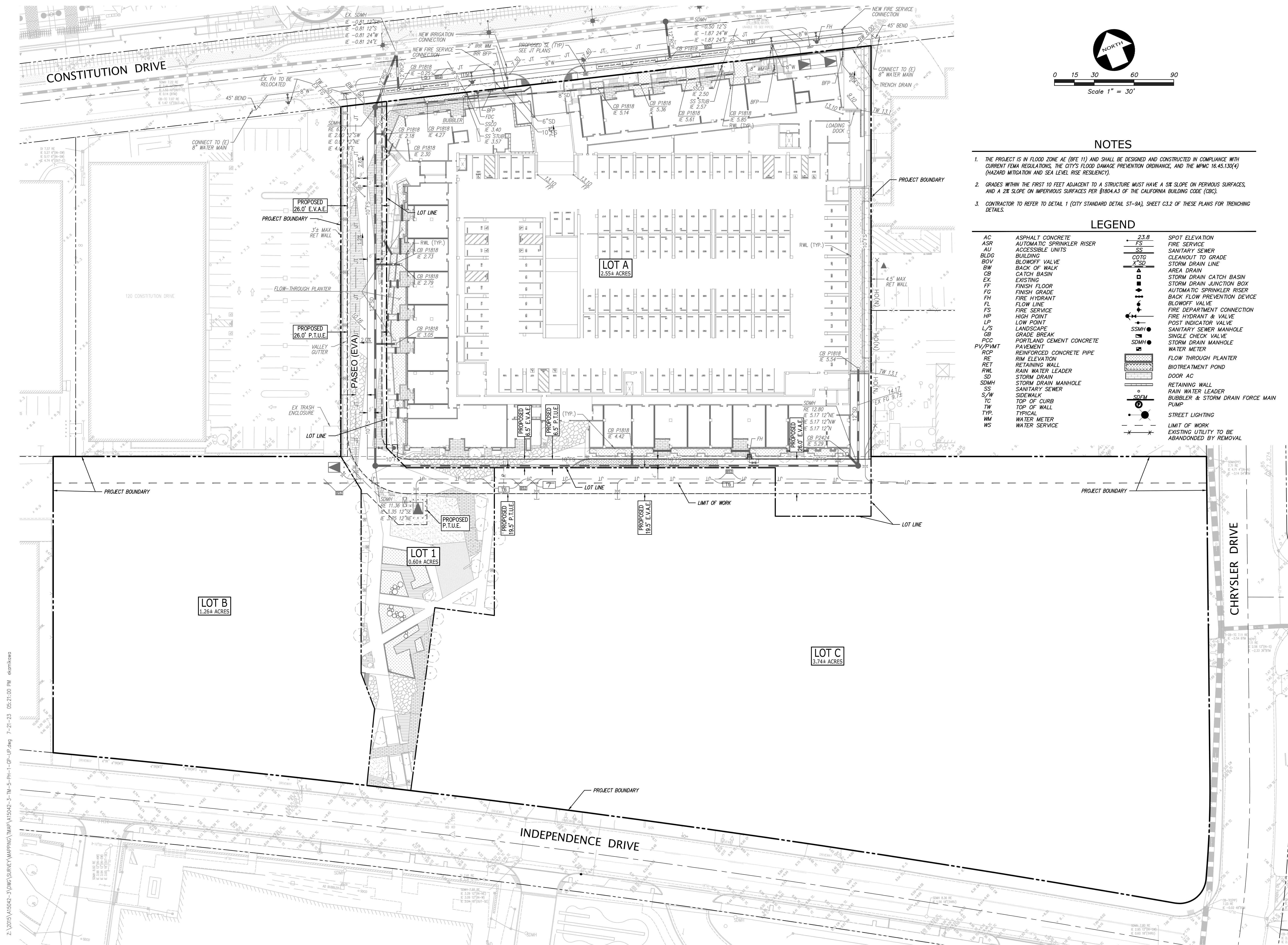
Sheet Title:
PHASE 1

Job No. 20004
Date: 02/03/2023
Scale: AS SHOWN
Drawn By: MC

Sheet No:
TM4

KIER+WRIGHT

3550 Scott Boulevard, Building 22
Santa Clara, California 95054
Phone: (408) 727-6665
www.kierwright.com



NOTES

1. THE PROJECT IS IN FLOOD ZONE AE (BFE 11) AND SHALL BE DESIGNED AND CONSTRUCTED IN COMPLIANCE WITH CURRENT FEMA REGULATIONS, THE CITY'S FLOOD DAMAGE PREVENTION ORDINANCE, AND THE MPMC 16.45.130(4) (HAZARD MITIGATION AND SEA LEVEL RISE RESILIENCY).
2. GRADES WITHIN THE FIRST 10 FEET ADJACENT TO A STRUCTURE MUST HAVE A 5% SLOPE ON PERVIOUS SURFACES, AND A 2% SLOPE ON IMPERVIOUS SURFACES PER §1804.A3 OF THE CALIFORNIA BUILDING CODE (CBC).
3. CONTRACTOR TO REFER TO DETAIL 1 (CITY STANDARD DETAIL ST-9A), SHEET C3.2 OF THESE PLANS FOR TRENCHING DETAILS.

LEGEND

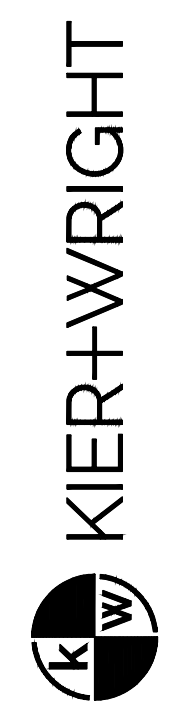
AC	ASPHALT CONCRETE	23.8	SPOT ELEVATION
ASR	AUTOMATIC SPRINKLER RISER	FS	FIRE SERVICE
AU	ACCESSIBLE UNITS	SS	SANITARY SEWER
BLDG	BUILDING	COTG	CLEANOUT TO GRADE
BOV	BLOWOFF VALVE	X*SD	STORM DRAIN LINE
BW	BACK OF WALK	▲	AREA DRAIN
CB	CATCH BASIN	▲	STORM DRAIN CATCH BASIN
EX	EXISTING	□	STORM DRAIN JUNCTION BOX
FF	FINISH FLOOR	▲	AUTOMATIC SPRINKLER RISER
FG	FINISH GRADE	▲	BACK FLOW PREVENTION DEVICE
FH	FIRE HYDRANT	▲	BLOWOFF VALVE
FL	FLOW LINE	▲	FIRE DEPARTMENT CONNECTION
FS	FIRE SERVICE	▲	FIRE HYDRANT & VALVE
HP	HIGH POINT	▲	POST INDICATOR VALVE
LP	LANDSCAPE	▲	SANITARY SEWER MANHOLE
L/S	LANDSCAPE	▲	SINGLE CHECK VALVE
GB	GRADE BREAK	▲	STORM DRAIN MANHOLE
PCC	PORTLAND CEMENT CONCRETE	▲	WATER METER
PV/PVMT	PAVEMENT	▲	FLOW THROUGH PLANTER
RCP	REINFORCED CONCRETE PIPE	▲	BIOTREATMENT POND
RE	RIM ELEVATION	▲	DOOR AC
RET	RETAINING WALL	▲	RETAINING WALL
RWL	RAIN WATER LEADER	▲	RAIN WATER LEADER
SD	STORM DRAIN	▲	BUBBLER & STORM DRAIN FORCE MAIN
SDMH	STORM DRAIN MANHOLE	▲	PUMP
SS	SANITARY SEWER	▲	STREET LIGHTING
S/W	SIDEWALK	▲	LIMIT OF WORK
TC	TOP OF CURB	▲	EXISTING UTILITY TO BE ABANDONED BY REMOVAL
TW	TOP OF WALL	▲	
TYP.	TYPICAL	▲	
WM	WATER METER	▲	
WS	WATER SERVICE	▲	

123 Independence Phase 1
Menlo Park, CA

The Sobrato Organization
599 Castro Street, Suite 400
Mountain View, CA

Sheet Title:
GRADING & UTILITY PLAN PHASE 1
Job No. 20004
Date: 02/03/2023
Scale: AS SHOWN
Drawn By: MC

Sheet No:
TM5



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Santa Clara, California 95054
Phone: (408) 727-6665
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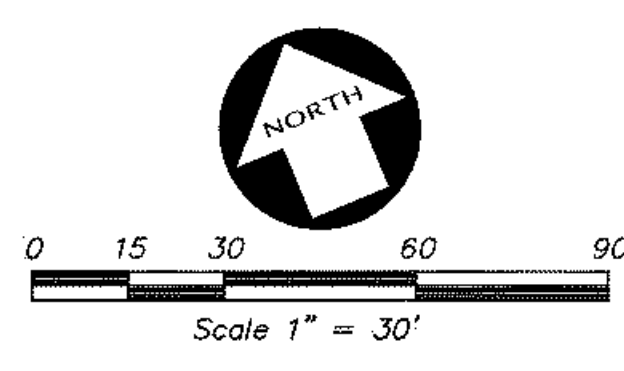
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NOTES

- THIS PLOT WAS PREPARED FROM INFORMATION FURNISHED IN A PRELIMINARY TITLE REPORT, PREPARED BY FIRST AMERICAN TITLE COMPANY, DATED OCTOBER 09, 2015, ORDER NUMBER NCS-763122-SC, A PRELIMINARY TITLE REPORT, PREPARED BY FIRST AMERICAN TITLE COMPANY, DATED SEPTEMBER 24, 2015, ORDER NUMBER NCS-757552-1-SC, A PRELIMINARY TITLE REPORT, PREPARED BY FIRST AMERICAN TITLE COMPANY, DATED APRIL 17, 2015, ORDER NUMBER NCS-732109-SC, A PRELIMINARY TITLE REPORT, PREPARED BY FIRST AMERICAN TITLE COMPANY, DATED APRIL 17, 2015, ORDER NUMBER NCS-732093-SC, AND IN A PRELIMINARY TITLE REPORT, PREPARED BY FIRST AMERICAN TITLE, DATED FEBRUARY 18, 2015, ORDER NUMBER NCS-720714-SC. NO LIABILITY IS ASSUMED FOR MATTERS OF RECORD NOT STATED IN SAID PRELIMINARY TITLE REPORT THAT MAY AFFECT THE TITLE LINES, OR EXCEPTIONS, OR EASEMENTS OF THE PROPERTY.
- ALL DISTANCES AND ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.
- THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. (A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES). HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS.
- BENCHMARK: CITY OF MENLO PARK BM-CITY 2; BRONZE DISK EPOXIED INTO THE TOP OF A CONCRETE CURB AT THE EASTERLY CURB RETURN OF THE SOUTHERLY CURB LINE OF CONSTITUTION DRIVE, EASTERLY OF JEFFERSON DRIVE. ELEVATION: 7.527' (NAVD 88 DATUM; ADDED 2.73 TO CONVERT FROM NGVD 29)
- FLOOD ZONE NOTE: THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR SAN MATEO COUNTY, CALIFORNIA, MAP NUMBER 06081C0306F FOR COMMUNITY NUMBER 060321 (CITY OF MENLO PARK), WITH A MAP REVISED DATE OF APRIL 5, 2019, AS BEING LOCATED IN FLOOD ZONE "AE"(EL 11').

ACCORDING TO FEMA THE DEFINITION OF ZONE "AE"(EL 11') IS: AREAS OF THE 1% ANNUAL FLOOD (100-YEAR FLOOD), ALSO KNOWN AS THE BASE FLOOD, IS THE FLOOD THAT HAS A 1% CHANCE OF BEING EQUALLED OR EXCEEDED IN ANY GIVEN YEAR; BASE FLOOD ELEVATIONS DETERMINED. (ELEVATION 11')

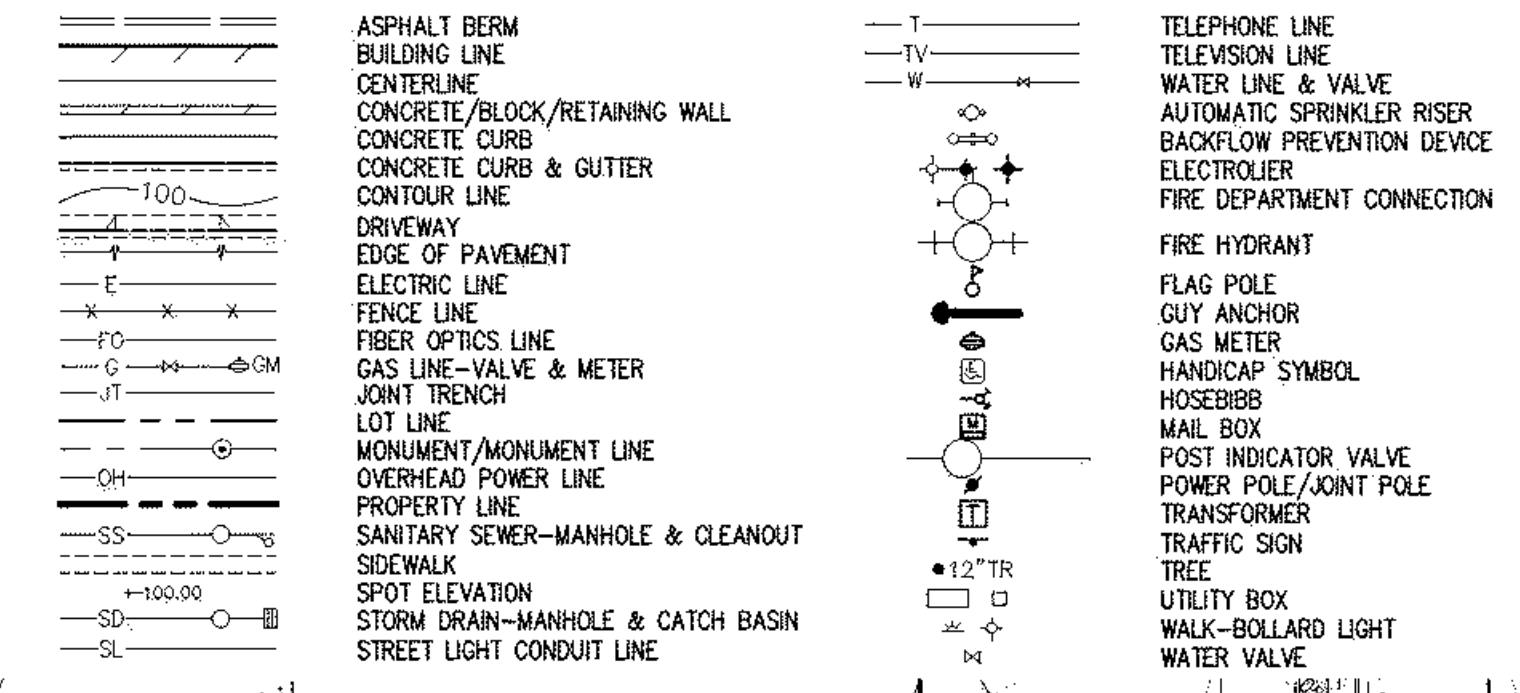
- BASIS OF BEARINGS: THE BEARING OF NORTH 21°56'50" EAST TAKEN ON THE CENTERLINE OF CHRYSLER DRIVE AS SHOWN ON THAT CERTAIN MAP ENTITLED "BOHANNAN INDUSTRIAL PARK UNIT NO.4" FILED FOR RECORD ON MARCH 2, 1962 IN BOOK 56 OF MAPS AT PAGE 5, SAN MATEO COUNTY RECORDS WAS TAKEN AS THE BASIS OF ALL BEARINGS SHOWN HEREON.



ABBREVIATIONS

AC	ASPHALTIC CONCRETE	EW	EDGE OF WALK	RND	ROUND
ACP	ASBESTOS CONCRETE PIPE	FF	FINISH FLOOR	RSM	RECORDED SUBDIVISION MAP
AD	AREA DRAIN	FL	FLOW LINE	RWL	RAIN WATER LEADER
ASPH	ASPHALT	FND	FOUND	S	SOUTH
BR	BOTTOM OF RAMP	FOB	FIBER OPTIC BOX	SDCO	STORM DRAIN CLEAN OUT
BS	BOTTOM OF STEP	FOMH	FIBER OPTIC MANHOLE	SDMH	STORM DRAIN MANHOLE
BTM	BOTTOM	GV	GAS VALVE	SLB	STREET LIGHT BOX
BW	BACK OF WALK	IB	IRRIGATION BOX	SQRE	SQUARE
C/CONC	CONCRETE	ICB	IRRIGATION CONTROL BOX	SSB	SANITARY SEWER BOX
CATV	CABLE TELEVISION	IE	INVERT ELEVATION	SSCO	SANITARY SEWER CLEAN OUT
CB	CATCH BASIN	I.P.	IRON PIPE	SSMH	SANITARY SEWER MANHOLE
CO	CLEAN OUT TO GRADE	L/S	LANDSCAPE	STL	STEEL
COND	CONDUIT	LIP	LIP OF GUTTER	TB	TELEPHONE BOX
CP	CATHODIC PROTECTION	M	MAPS	TC	TOP OF CURB
DOC.	DOCUMENT	MH	MANHOLE	TCAB	TELEPHONE CABINET
DI	DROP INLET	MON	MONUMENT	TE	TRASH ENCLOSURE
DIP	DUCTILE IRON PIPE	N	NORTH	TELE	TELEPHONE
DWY	DRIVEWAY	NO.	NUMBER	TMH	TELEPHONE MANHOLE
E	EAST	O.R.	OFFICIAL RECORD	TS	TOP OF STEP
EB	ELECTRIC BOX	PED	PEDESTAL	UB	UTILITY BOX
ECAB	ELECTRIC CABINET	PL	PLASTIC	UV	UTILITY VAULT
ELEC	ELECTRICAL	PP	PER PLAN	VG	VALLEY GUTTER
EM	ELECTRIC METER	PT&T	PACIFIC TELEPHONE & TELEGRAPH	W	WEST
EO	ELECTRIC OUTLET	P.U.E.	PUBLIC UTILITY EASEMENT	W/	WITH
EP	EDGE OF PAVEMENT	RCE	REGISTERED CIVIL ENGINEER	WB	WATER BOX
EV	ELECTRIC VAULT	RE	RIM ELEVATION	WM	WATER METER

LEGEND



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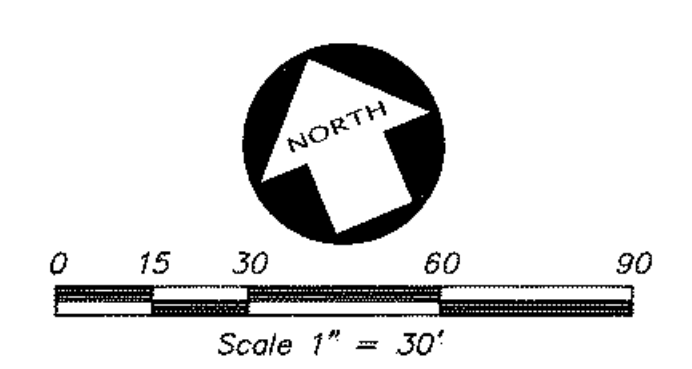
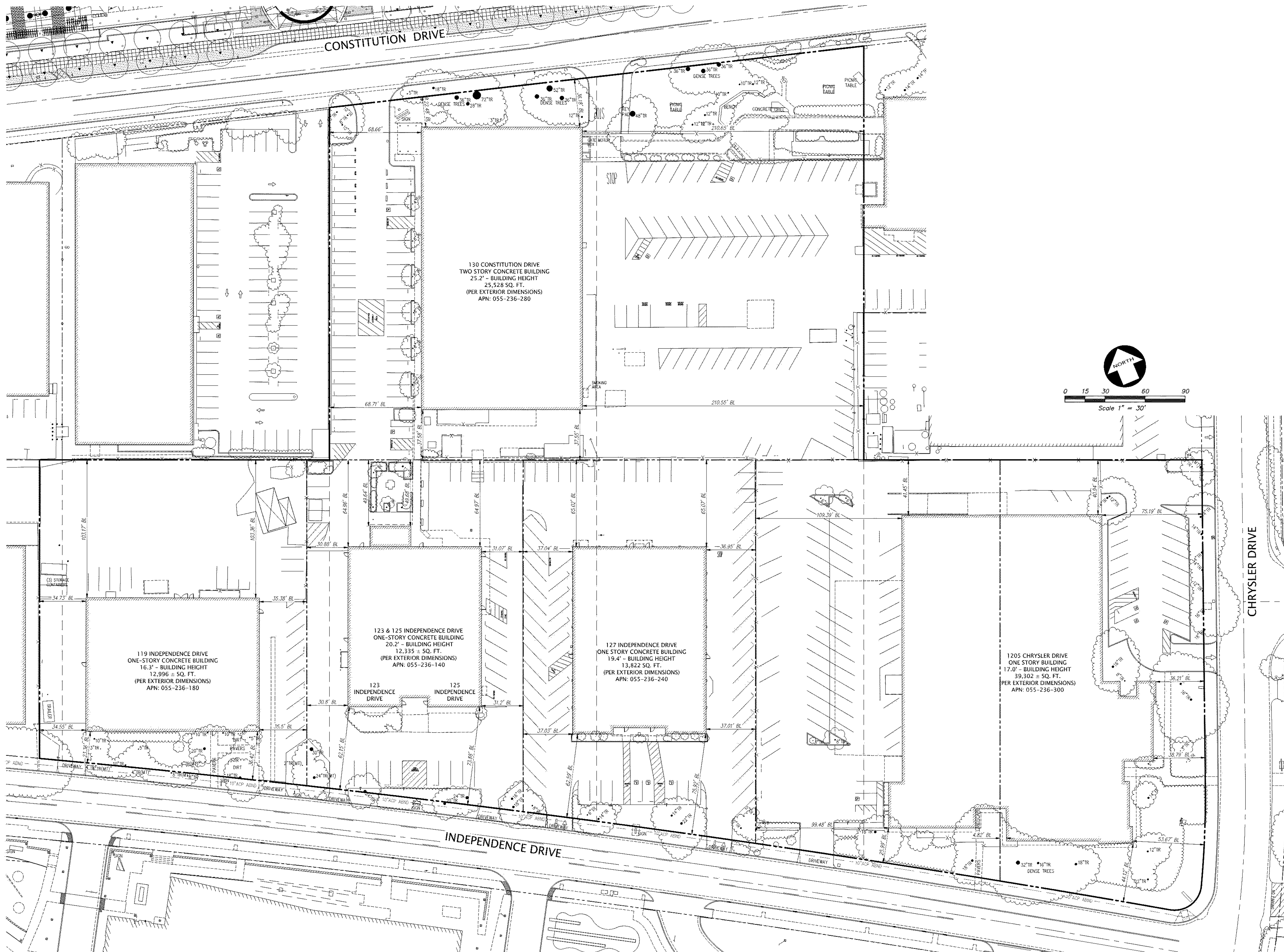
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Job No. 20004
Date: 02/03/2023
Scale: AS SHOWN
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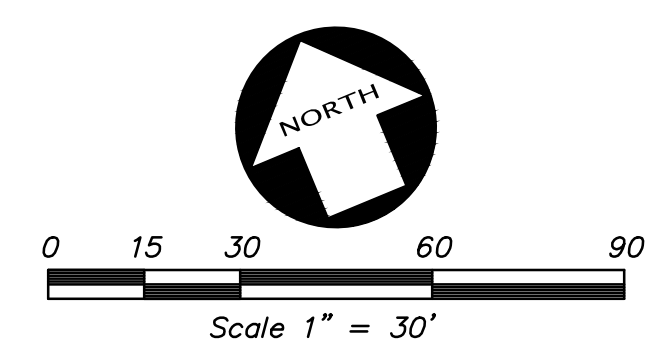
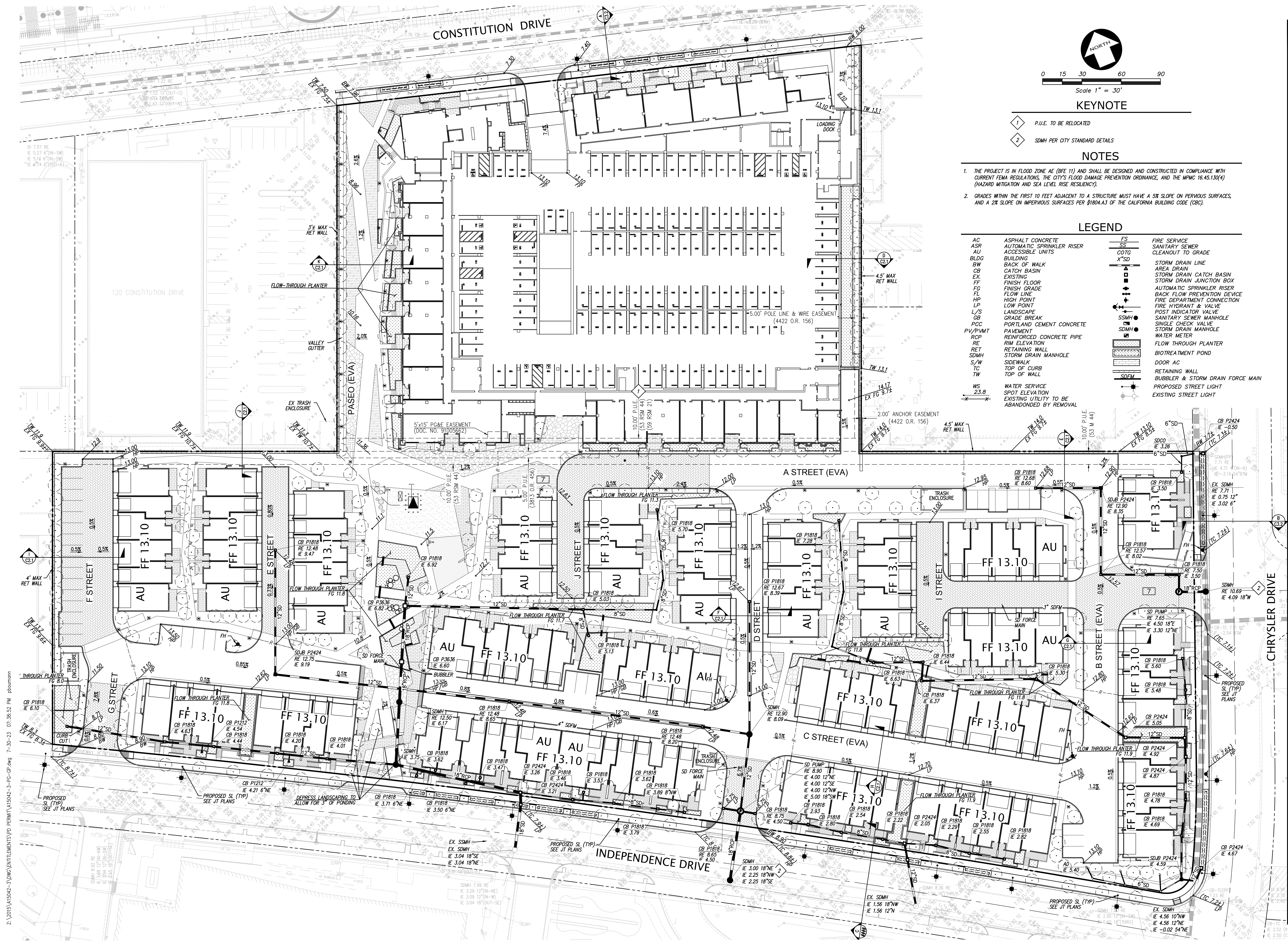
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KEYNOTE

- 1 P.U.E. TO BE RELOCATED
- 2 SDMH PER CITY STANDARD DETAILS

NOTES

1. THE PROJECT IS IN FLOOD ZONE AE (BFE 11) AND SHALL BE DESIGNED AND CONSTRUCTED IN COMPLIANCE WITH CURRENT FEMA REGULATIONS, THE CITY'S FLOOD DAMAGE PREVENTION ORDINANCE, AND THE MPC 16.45.130(4) (HAZARD MITIGATION AND SEA LEVEL RISE RESILIENCY).
2. GRADES WITHIN THE FIRST 10 FEET ADJACENT TO A STRUCTURE MUST HAVE A 5% SLOPE ON PEROUS SURFACES, AND A 2% SLOPE ON IMPERVIOUS SURFACES PER §1804.A.3 OF THE CALIFORNIA BUILDING CODE (CBC).

LEGEND

AC	ASPHALT CONCRETE	FS	FIRE SERVICE
ASR	AUTOMATIC SPRINKLER RISER	SS	SANITARY SEWER
AU	ACCESSIBLE UNITS	COTG	CLEANOUT TO GRADE
BUDG	BUILDING	X"SD	STORM DRAIN LINE
BW	BACK OF WALK	AREA DRAIN	AREA DRAIN
CB	CATCH BASIN	STORM DRAIN CATCH BASIN	STORM DRAIN CATCH BASIN
EX	EXISTING	STORM DRAIN JUNCTION BOX	STORM DRAIN JUNCTION BOX
FF	FINISH FLOOR	AUTOMATIC SPRINKLER RISER	AUTOMATIC SPRINKLER RISER
FG	FINISH GRADE	BACK FLOW PREVENTION DEVICE	BACK FLOW PREVENTION DEVICE
FL	FLOW LINE	FIRE DEPARTMENT CONNECTION	FIRE DEPARTMENT CONNECTION
HP	HIGH POINT	FIRE HYDRANT & VALVE	FIRE HYDRANT & VALVE
LP	LOW POINT	POST INDICATOR VALVE	POST INDICATOR VALVE
L/S	LANDSCAPE	SANITARY SEWER MANHOLE	SANITARY SEWER MANHOLE
GB	GRADE BREAK	SINGLE CHECK VALVE	SINGLE CHECK VALVE
PCC	PORTLAND CEMENT CONCRETE	SDMH	STORM DRAIN MANHOLE
PV/PVMT	PAVEMENT	WATER METER	WATER METER
RCP	REINFORCED CONCRETE PIPE	FLOW THROUGH PLANTER	FLOW THROUGH PLANTER
RE	RIM ELEVATION	BIOTREATMENT POND	BIOTREATMENT POND
RET	RETAINING WALL	DOOR AC	DOOR AC
SDMH	STORM DRAIN MANHOLE	RETAINING WALL	RETAINING WALL
S/W	SIDEWALK	BUBBLER & STORM DRAIN FORCE MAIN	BUBBLER & STORM DRAIN FORCE MAIN
TC	TOP OF CURB	PROPOSED STREET LIGHT	PROPOSED STREET LIGHT
TW	TOP OF WALL	EXISTING STREET LIGHT	EXISTING STREET LIGHT
WS	WATER SERVICE		
23.8	SPOT ELEVATION		
X	EXISTING UTILITY TO BE ABANDONED BY REMOVAL		

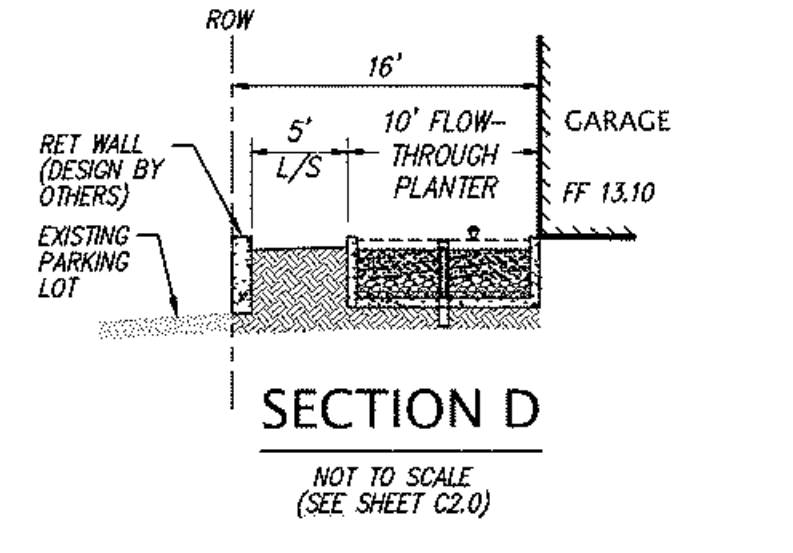
123 Independence
Menlo Park, CA

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Mountain View, CA

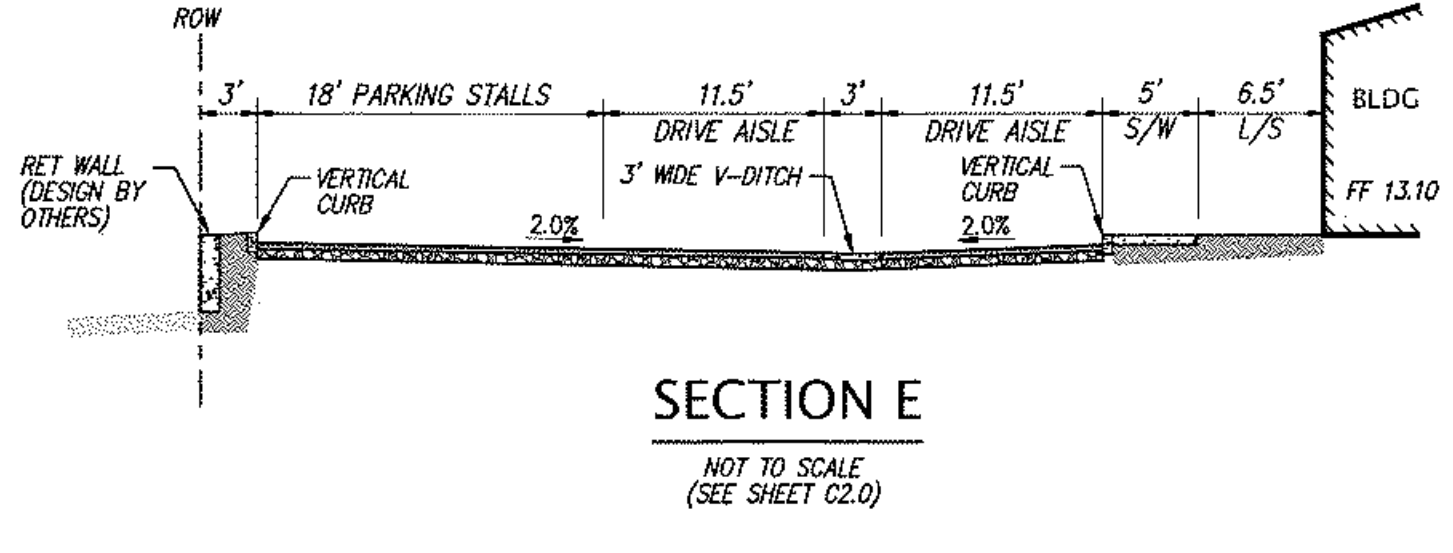
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Job No. 20004
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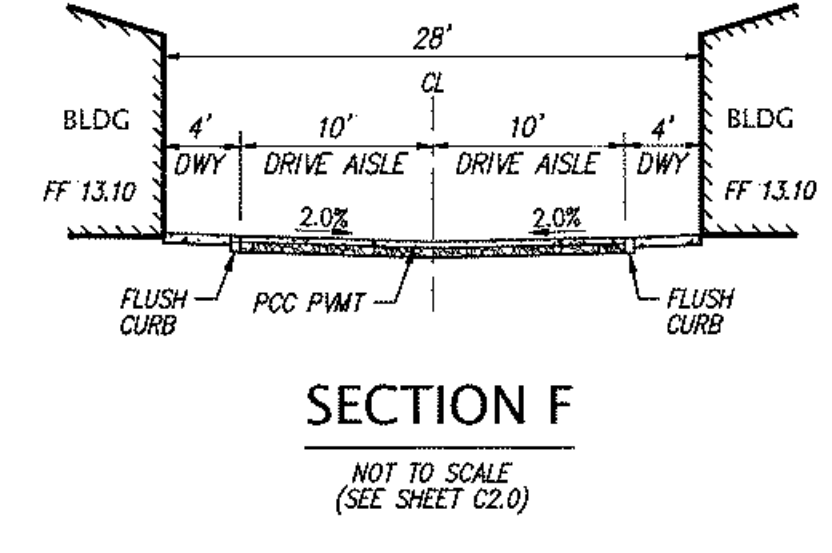
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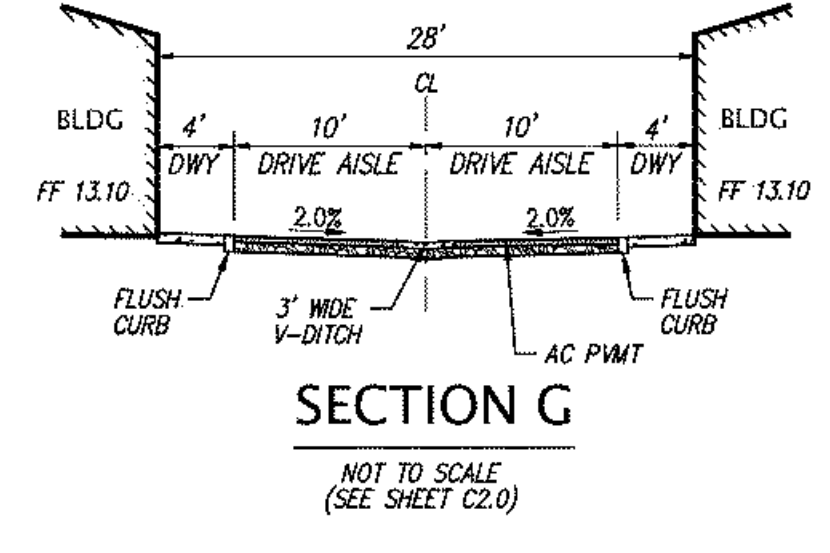
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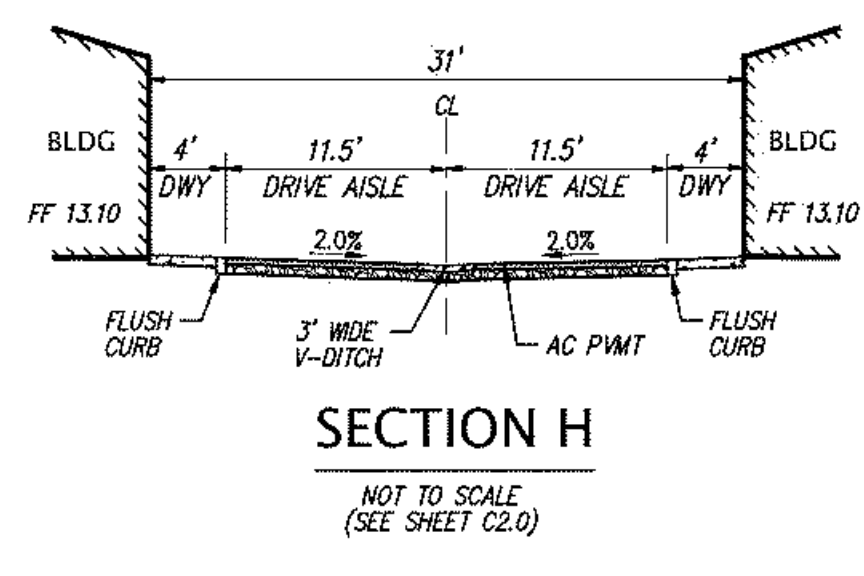
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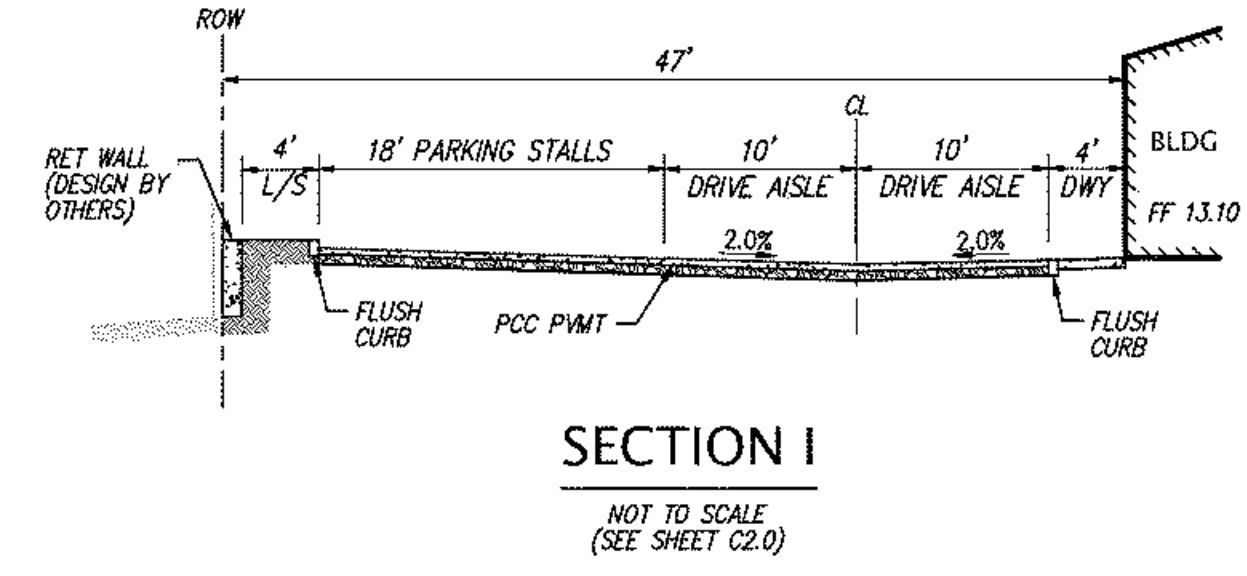
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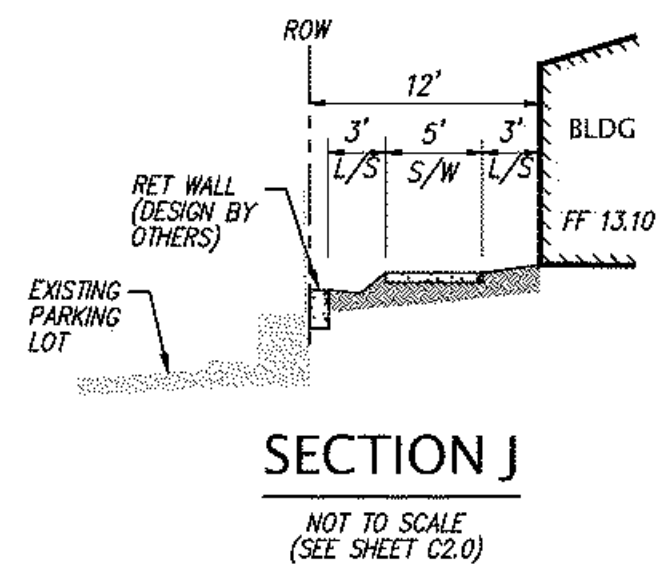
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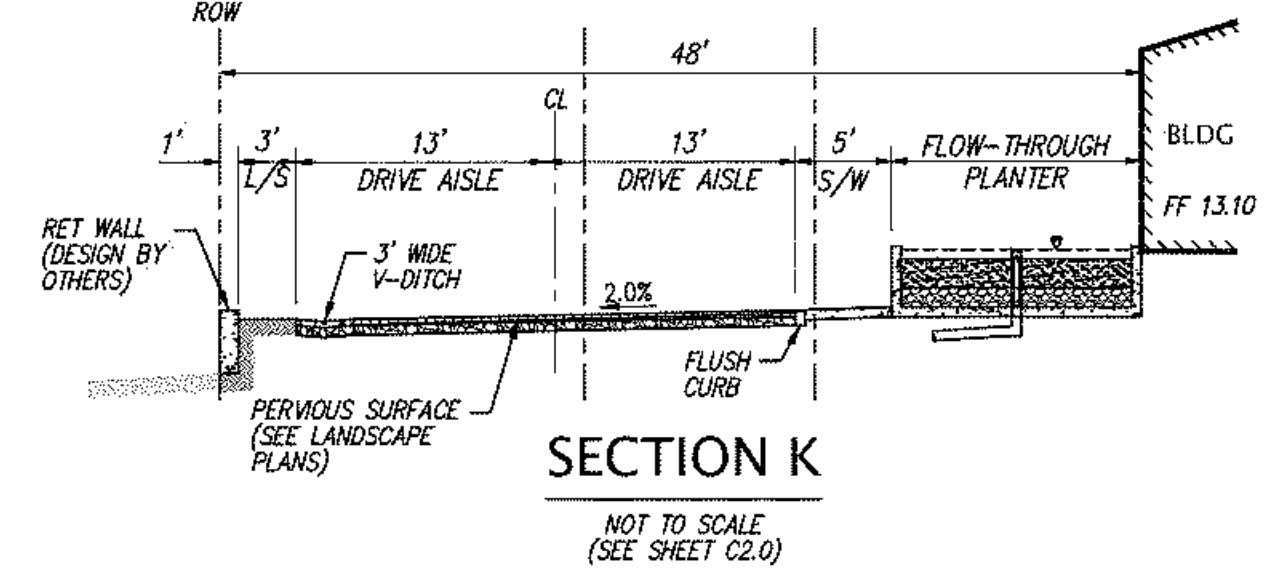
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SECTION I
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(SEE SHEET C2.0)



SECTION J
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(SEE SHEET C2.0)



SECTION K
NOT TO SCALE
(SEE SHEET C2.0)



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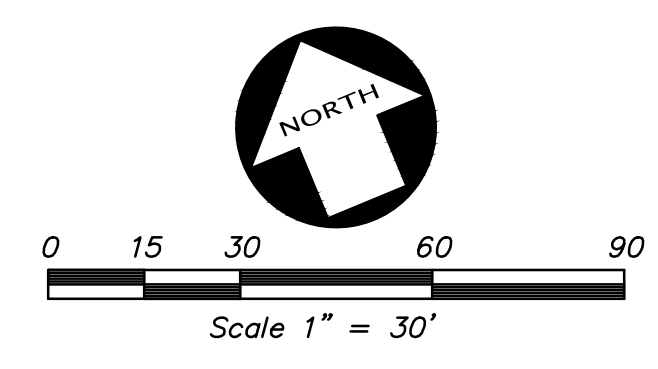
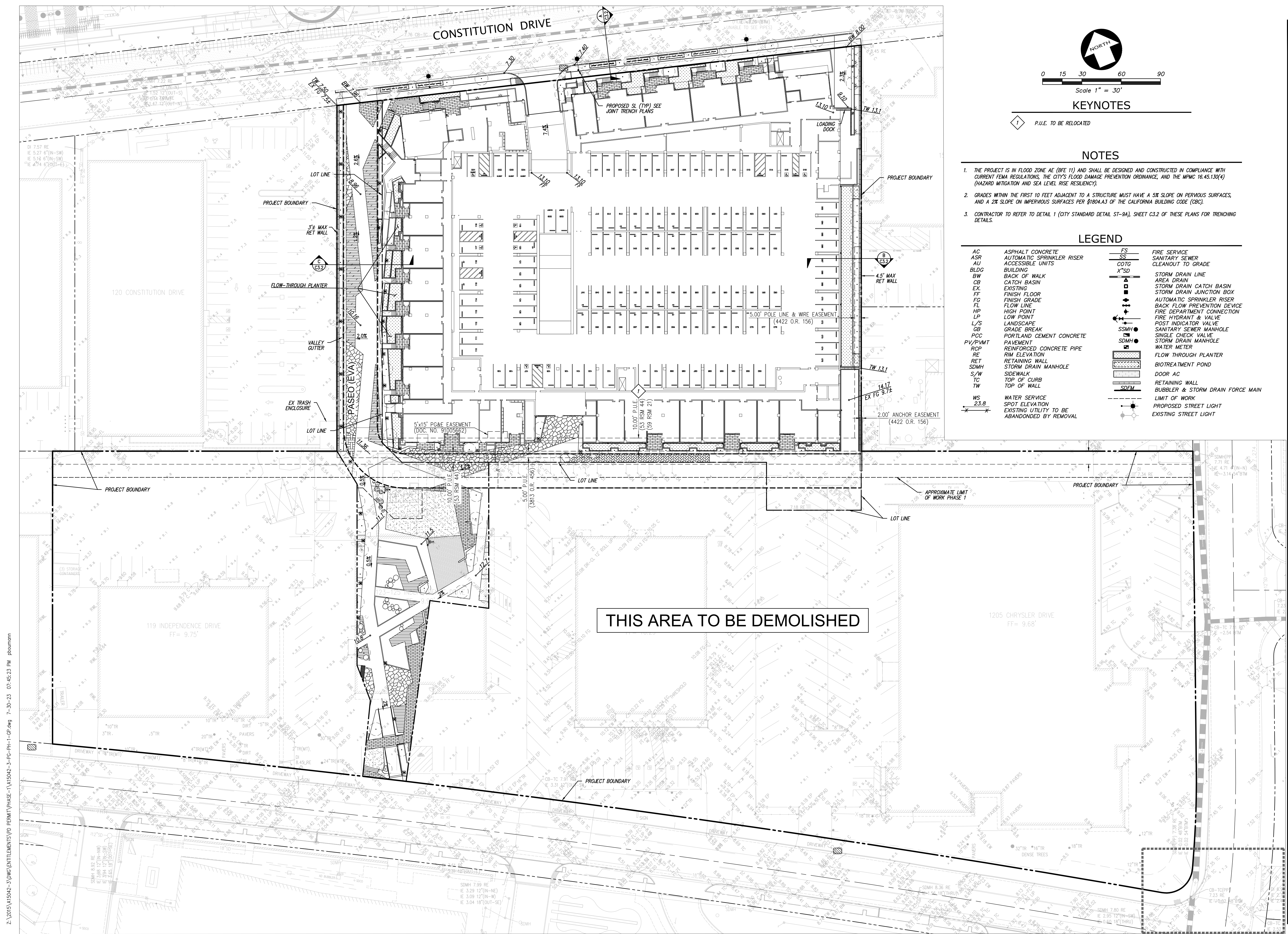
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Sheet Title:
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Job No. 20004
Date: 02/03/2023
Scale: AS SHOWN
Drawn By: MC

Sheet No:
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KEYNOTES

1 P.U.E. TO BE RELOCATED

NOTES

1. THE PROJECT IS IN FLOOD ZONE AE (DFE 11) AND SHALL BE DESIGNED AND CONSTRUCTED IN COMPLIANCE WITH CURRENT FEMA REGULATIONS, THE CITY'S FLOOD DAMAGE PREVENTION ORDINANCE, AND THE MPMC 16.45.130(4) (HAZARD MITIGATION AND SEA LEVEL RISE RESILIENCY).
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3. CONTRACTOR TO REFER TO DETAIL 1 (CITY STANDARD DETAIL ST-9A), SHEET C3.2 OF THESE PLANS FOR TRENCHING DETAILS.

LEGEND

AC	ASPHALT CONCRETE	FS	FIRE SERVICE
ASR	AUTOMATIC SPRINKLER RISER	SS	SANITARY SEWER
AU	ACCESSIBLE UNITS	COTG	CLEANOUT TO GRADE
BLDG	BUILDING	X"SD	STORM DRAIN LINE
BW	BACK OF WALK	▲	AREA DRAIN
CB	CATCH BASIN	□	STORM DRAIN CATCH BASIN
EX.	EXISTING	□	STORM DRAIN JUNCTION BOX
FF	FINISH FLOOR	▲	AUTOMATIC SPRINKLER RISER
FG	FINISH GRADE	▲	BACK FLOW PREVENTION DEVICE
FL	FLOW LINE	▲	FIRE DEPARTMENT CONNECTION
HP	HIGH POINT	▲	FIRE HYDRANT & VALVE
LP	LOW POINT	▲	POST INDICATOR VALVE
L/S	LANDSCAPE	●	SANITARY SEWER MANHOLE
GB	GRADE BREAK	●	SINGLE CHECK VALVE
PCC	PORTLAND CEMENT CONCRETE	●	STORM DRAIN MANHOLE
PV/PVMT	PAVEMENT	●	WATER METER
RCP	REINFORCED CONCRETE PIPE	■	FLOW THROUGH PLANTER
RE	RIM ELEVATION	■	BIOTREATMENT POND
RET	RETAINING WALL	■	DOOR AC
SDMH	STORM DRAIN MANHOLE	■	RETAINING WALL
S/W	SIDEWALK	■	BUBBLER & STORM DRAIN FORCE MAIN
TC	TOP OF CURB	■	LIMIT OF WORK
TW	TOP OF WALL	■	PROPOSED STREET LIGHT
WS	WATER SERVICE	■	EXISTING STREET LIGHT
23.8	SPOT ELEVATION		
X	EXISTING UTILITY TO BE ABANDONED BY REMOVAL		

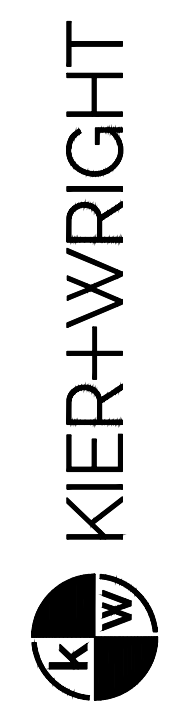
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Sheet Title:
**GRADING PLAN
PHASE 1**

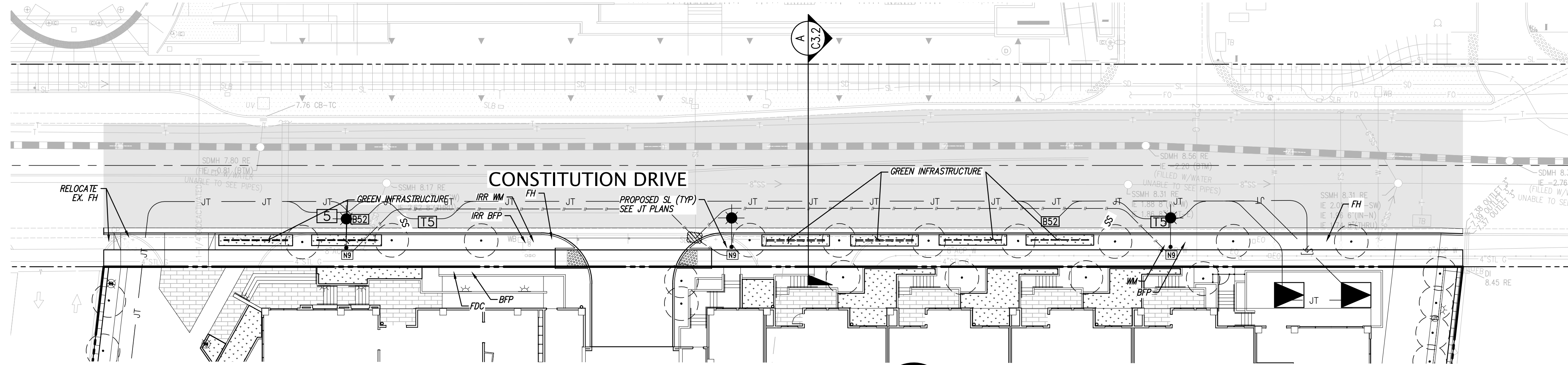
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C2.2

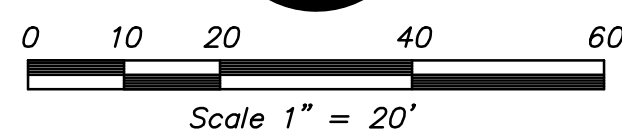


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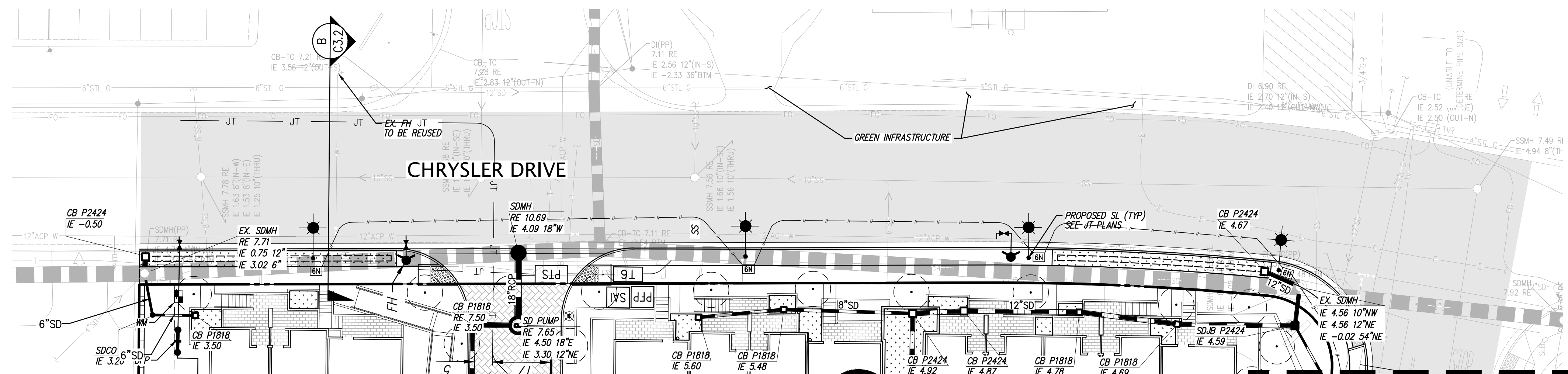


CONSTITUTION DRIVE

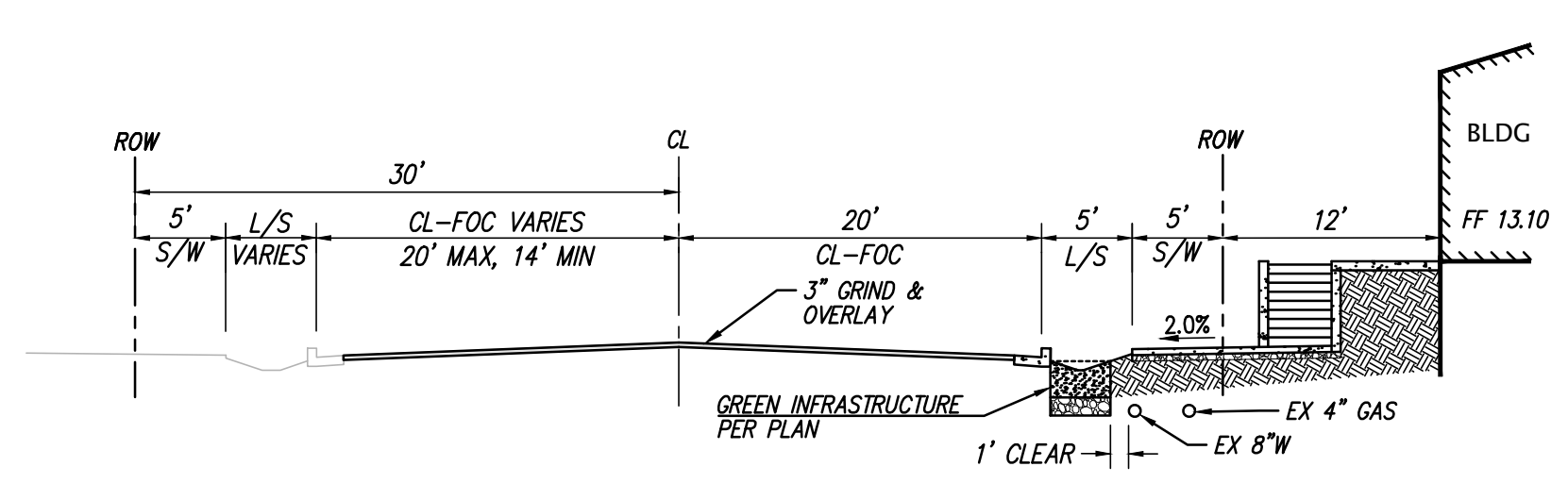
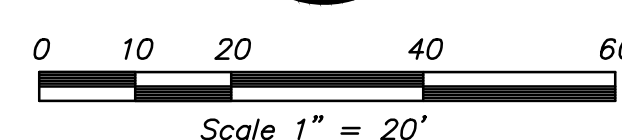


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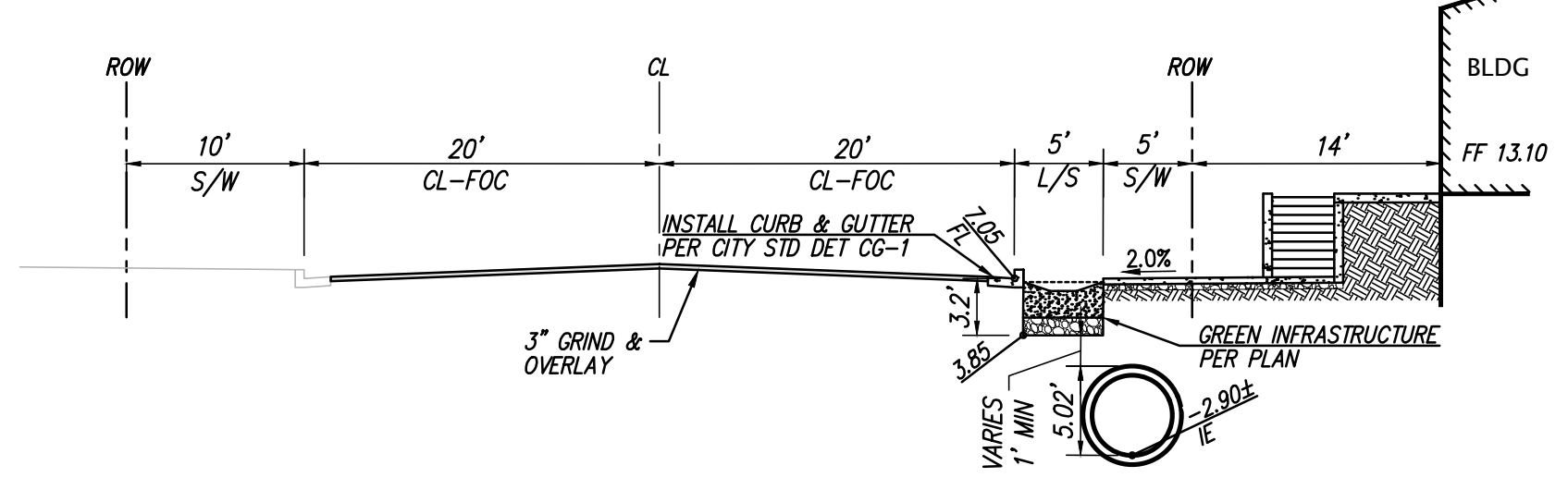
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	FIRE SERVICE
	SANITARY SEWER
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	AREA DRAIN
	STORM DRAIN CATCH BASIN
	STORM DRAIN JUNCTION BOX
	AUTOMATIC SPRINKLER RISER
	BACK FLOW PREVENTION DEVICE
	FIRE DEPARTMENT CONNECTION
	FIRE HYDRANT & VALVE
	POST INDICATOR VALVE
	SANITARY SEWER MANHOLE
	SINGLE CHECK VALVE
	STORM DRAIN MANHOLE
	WATER METER
	PROPOSED STREET LIGHT



CHRYSLER DRIVE



SECTION A (CONSTITUTION DRIVE)
NOT TO SCALE



SECTION B (CHRYSLER DRIVE)
NOT TO SCALE

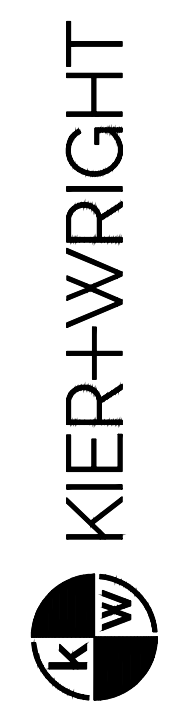
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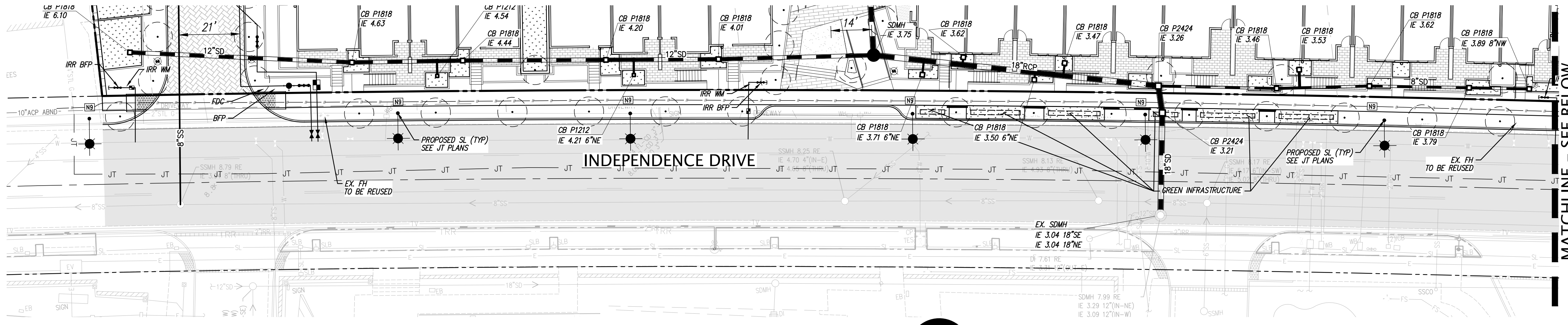
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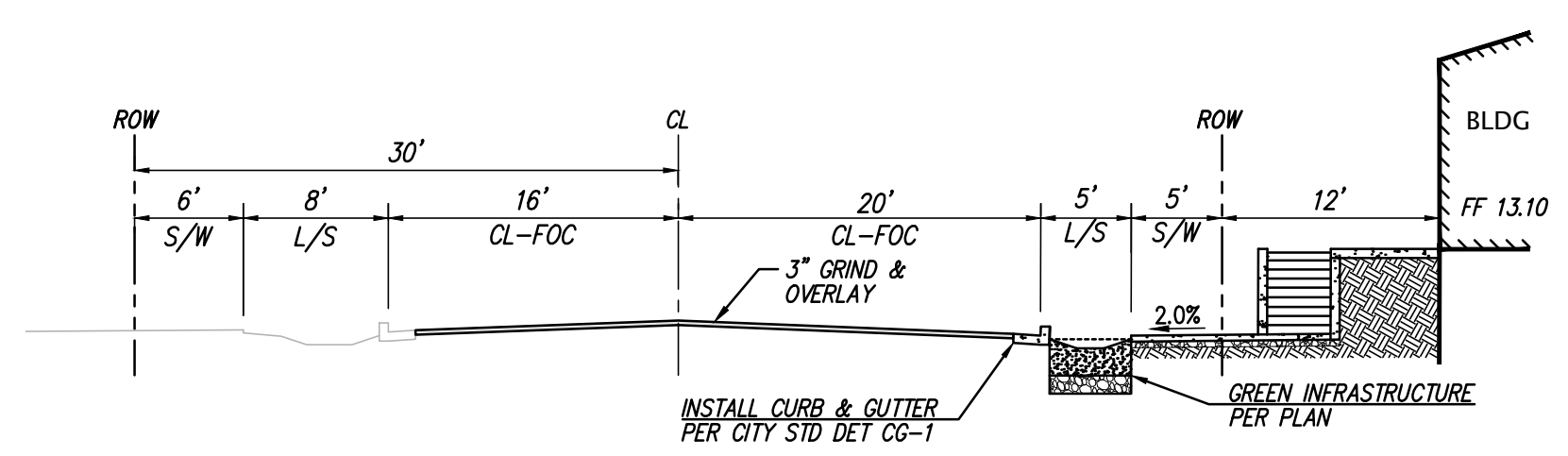
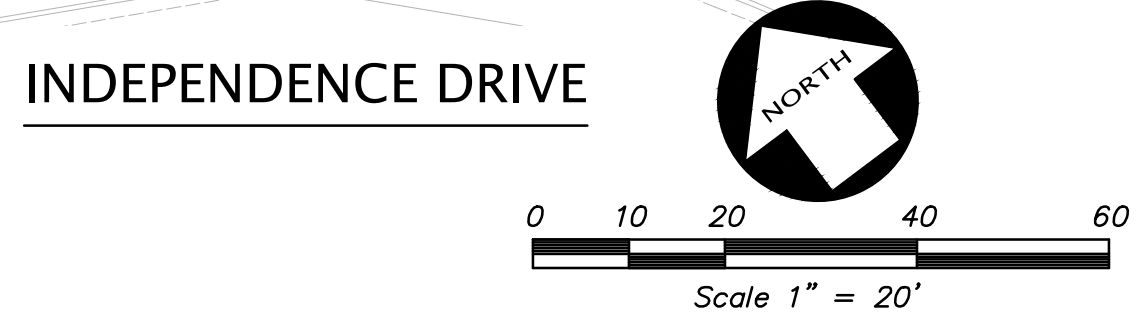
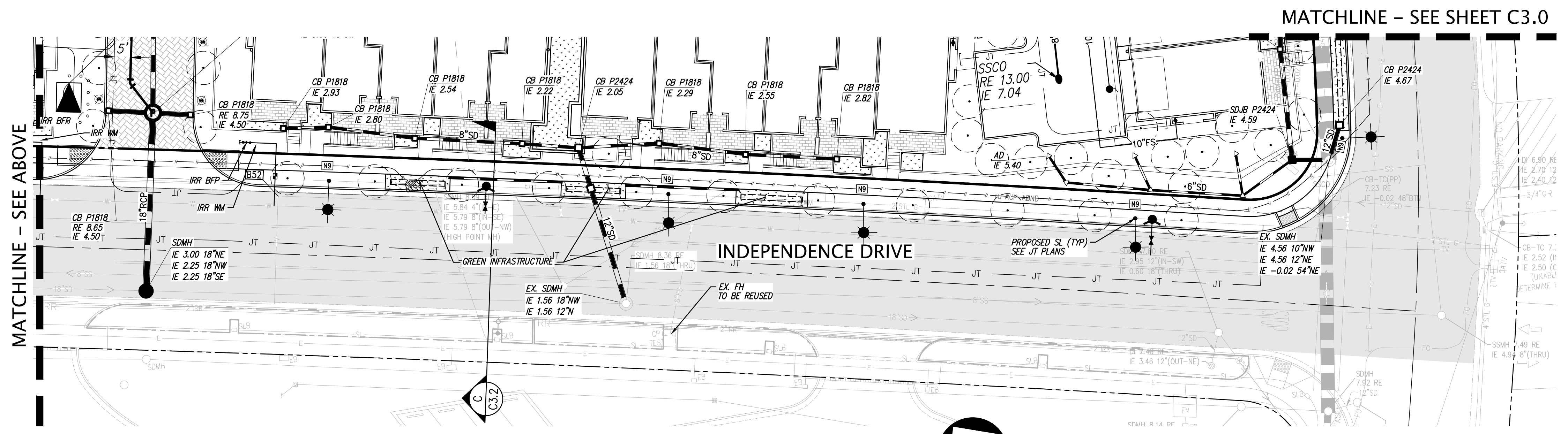
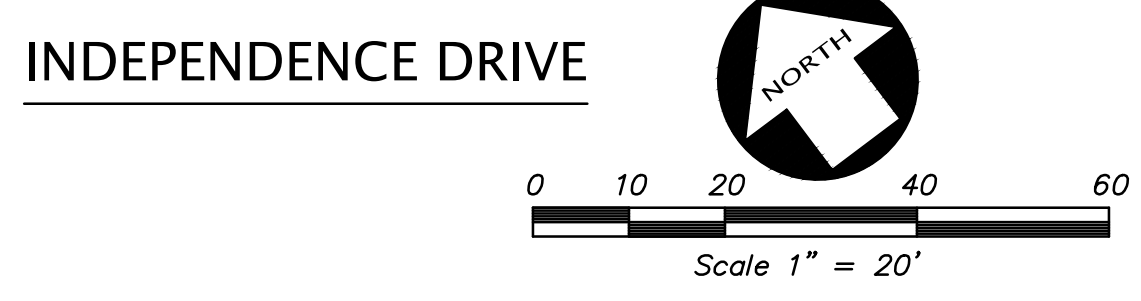
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LEGEND

	BIOTREATMENT POND
	3" GRIND & OVERLAY
	WATER SERVICE
	FIRE SERVICE
	SANITARY SEWER
	CLEANOUT TO GRADE
	STORM DRAIN LINE
	AREA DRAIN
	STORM DRAIN CATCH BASIN
	STORM DRAIN JUNCTION BOX
	AUTOMATIC SPRINKLER RISER
	BACK FLOW PREVENTION DEVICE
	FIRE DEPARTMENT CONNECTION
	FIRE HYDRANT & VALVE
	POST INDICATOR VALVE
	SANITARY SEWER MANHOLE
	SINGLE CHECK VALVE
	STORM DRAIN MANHOLE
	WATER METER
	PROPOSED STREET LIGHT



SECTION C (INDEPENDENCE DRIVE)
NOT TO SCALE

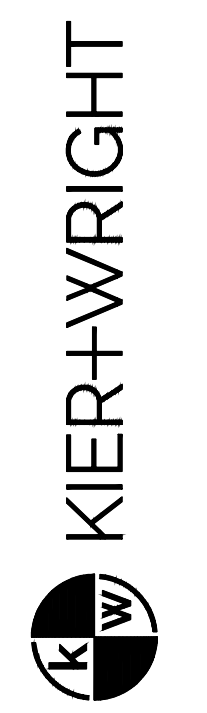
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Sheet Title:
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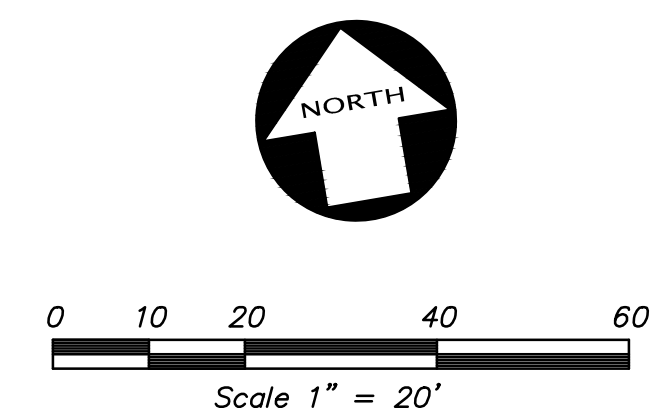
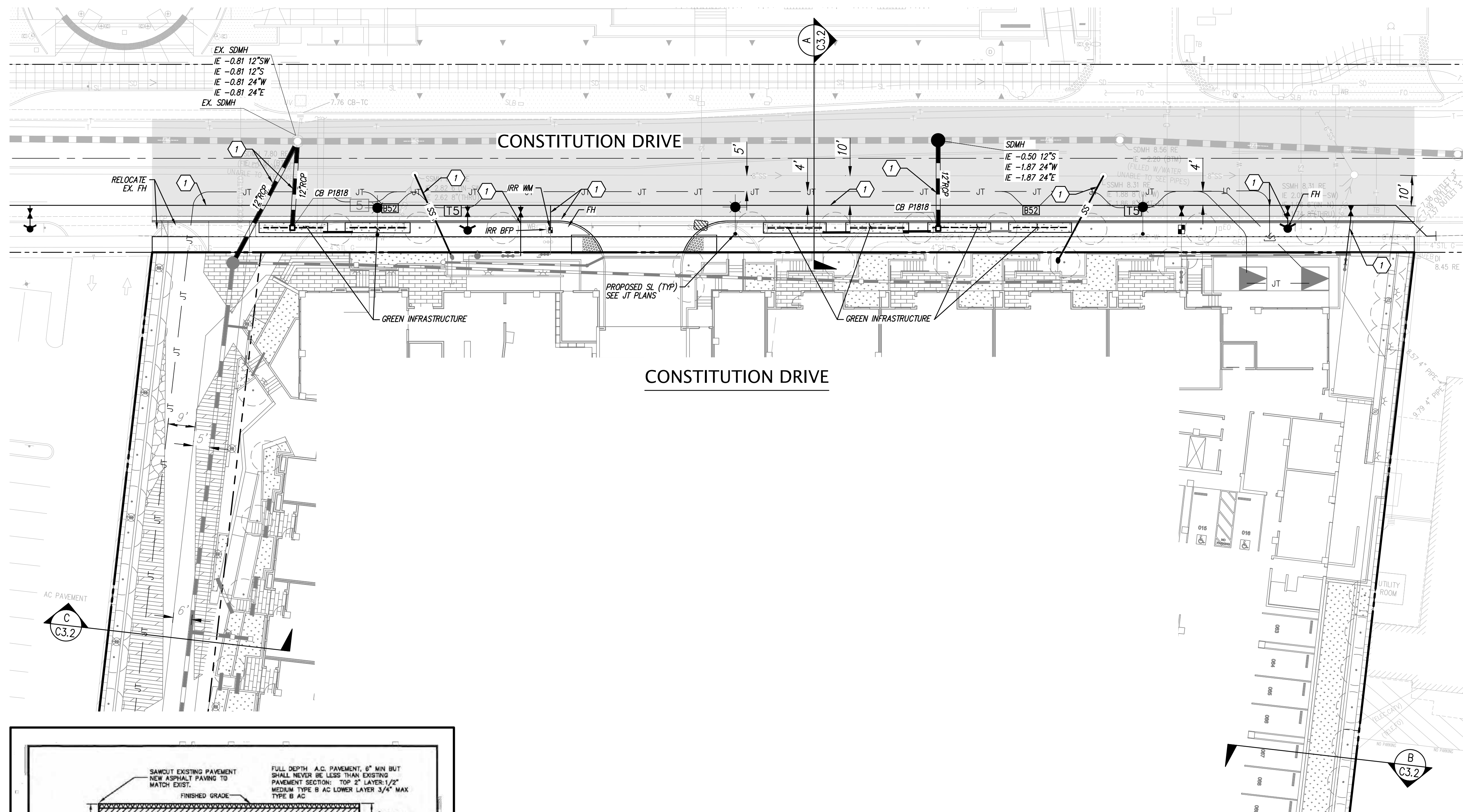
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Sheet No:
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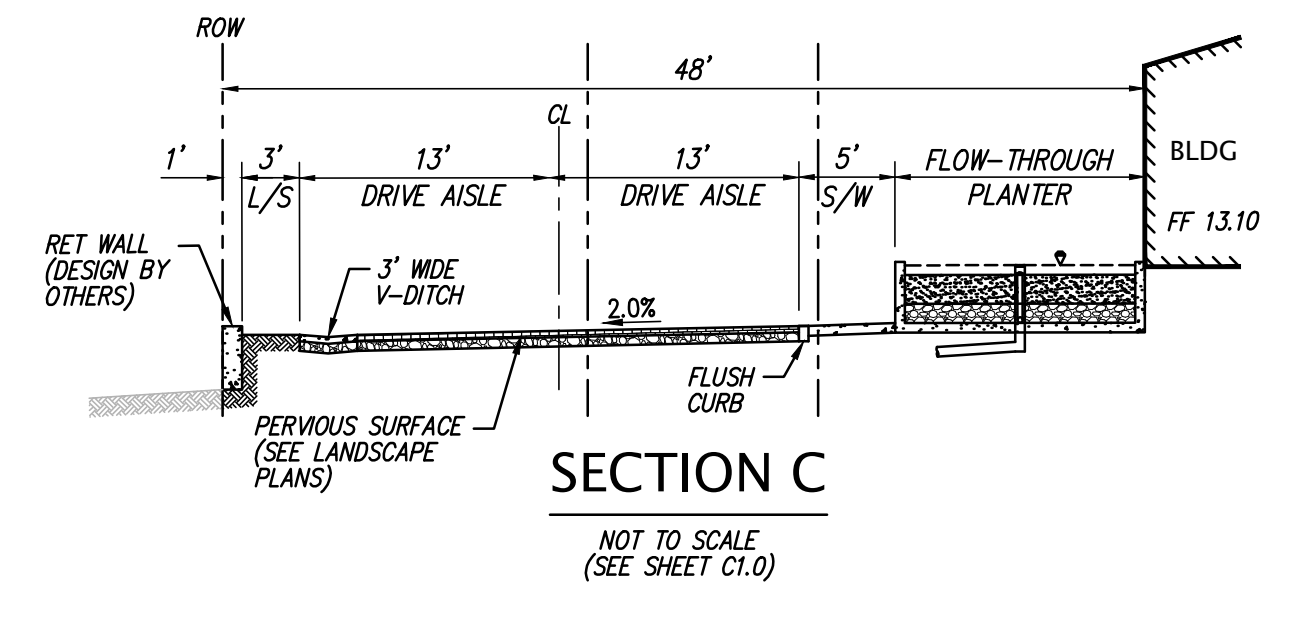
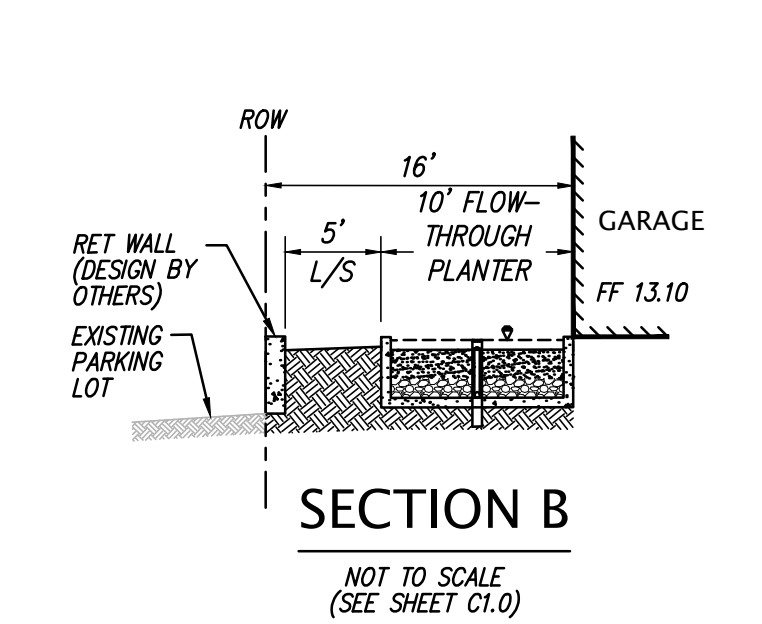
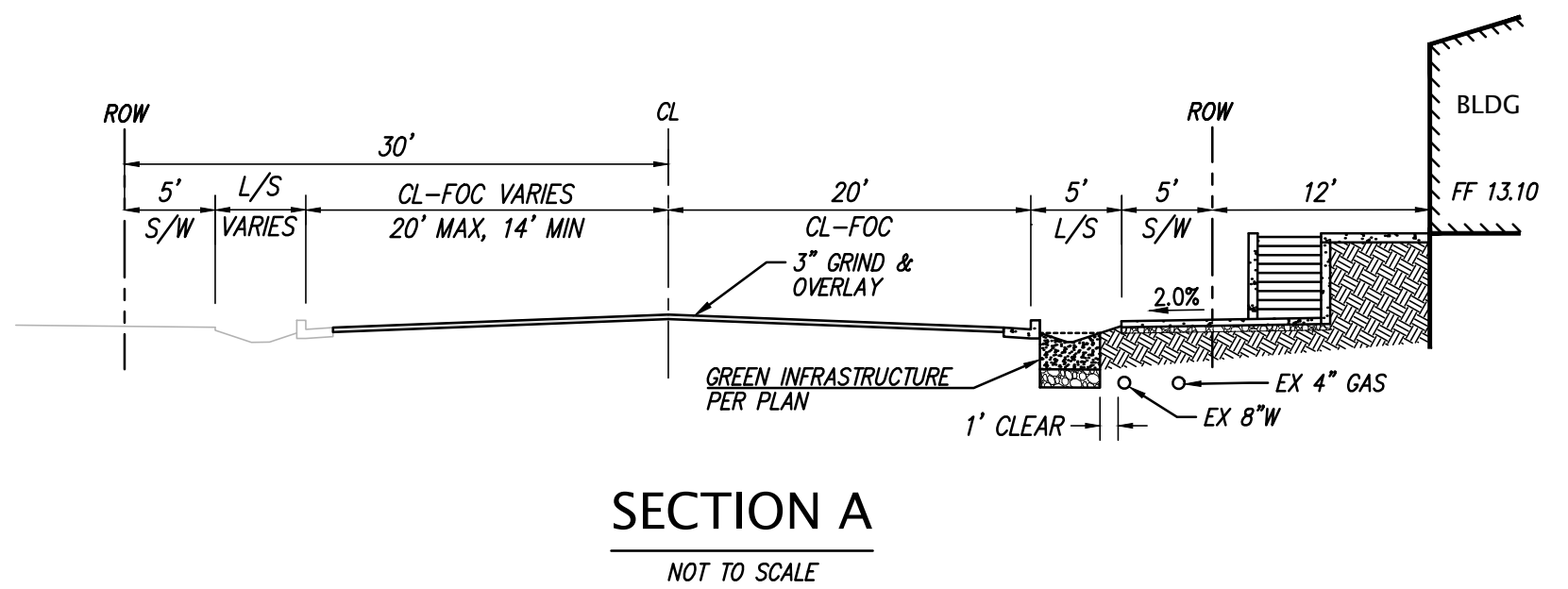
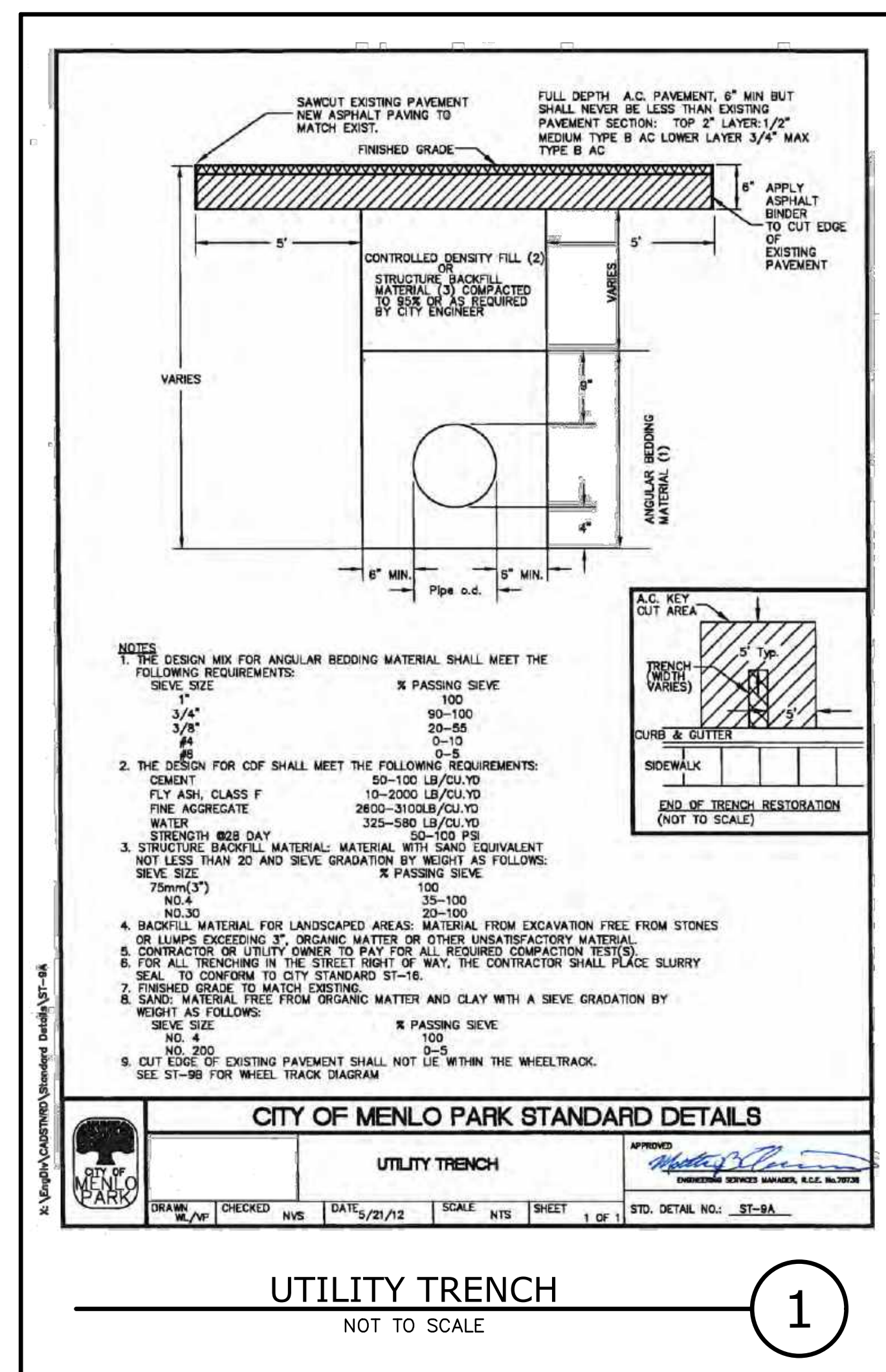


LEGEND

	BIOTREATMENT POND
	3" GRIND & OVERLAY
	WATER SERVICE
	FIRE SERVICE
	SANITARY SEWER
	CLEANOUT TO GRADE
	STORM DRAIN LINE
	AREA DRAIN
	STORM DRAIN CATCH BASIN
	STORM DRAIN JUNCTION BOX
	AUTOMATIC SPRINKLER RISER
	BACKFLOW PREVENTION DEVICE
	FIRE DEPARTMENT CONNECTION
	FIRE HYDRANT & VALVE
	POST INDICATOR VALVE
	SANITARY SEWER MANHOLE
	SINGLE CHECK VALVE
	STORM DRAIN MANHOLE
	WATER METER
	PROPOSED STREET LIGHT

KEYNOTES

(1) CONTRACTOR TO REFER TO DETAIL 1 (CITY STANDARD DETAIL ST-9A), HEREON, FOR TRENCHING DETAILS.

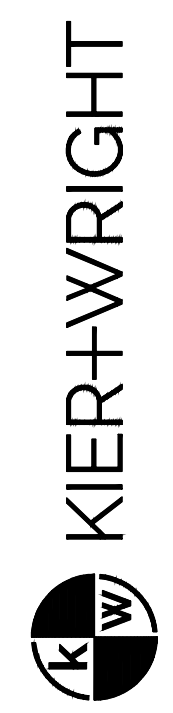


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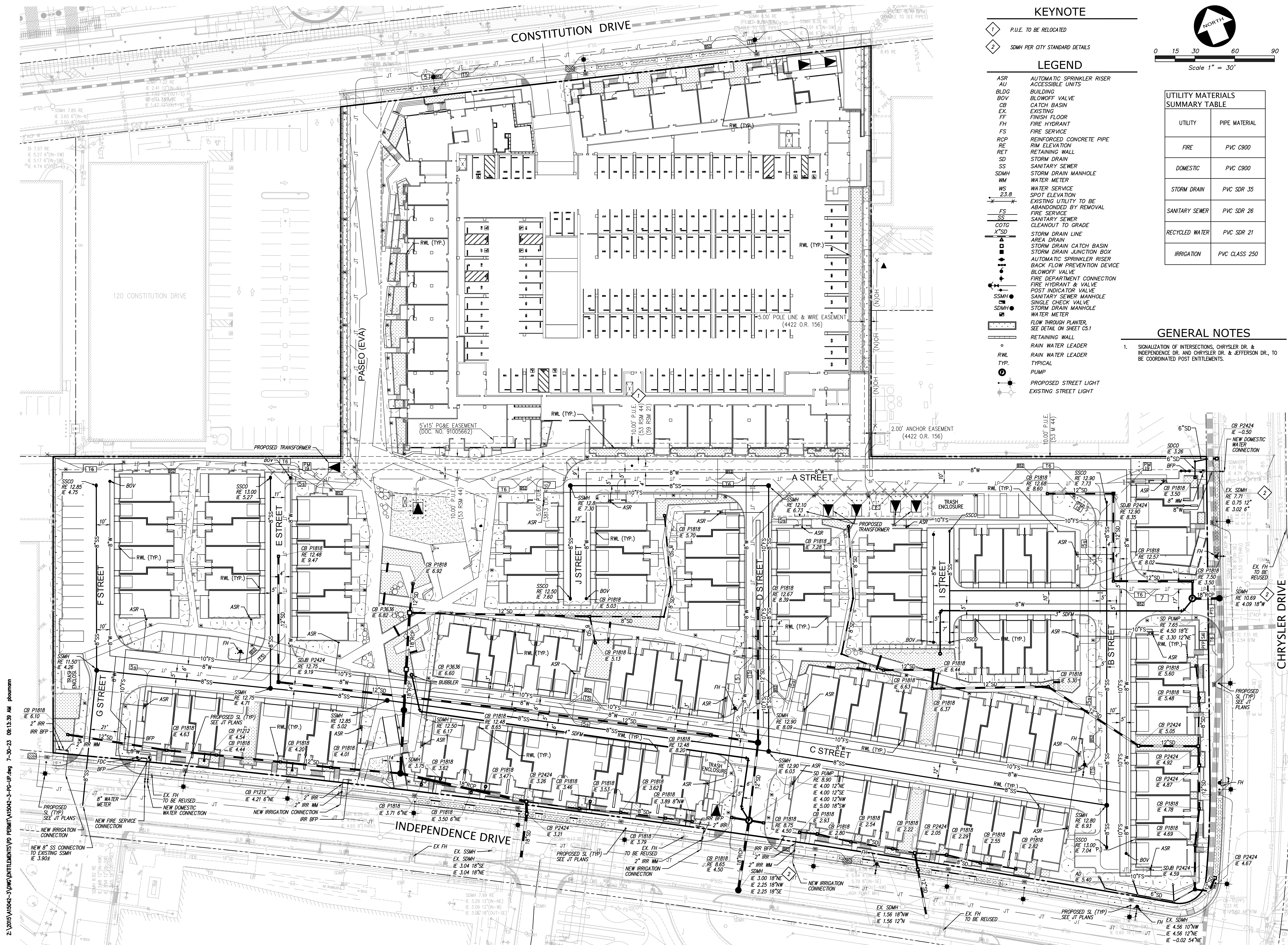
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PHASE 1
Job No. 20004
Date: 02/03/2023
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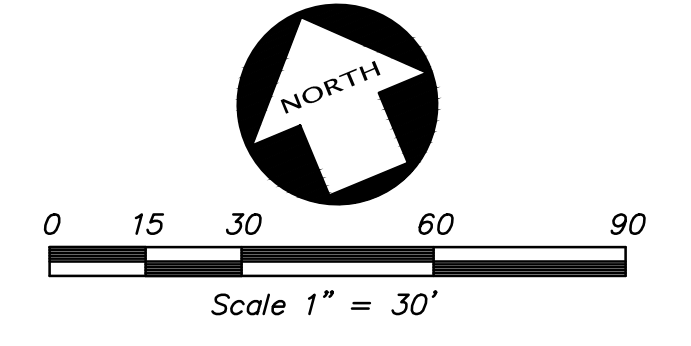


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KEYNOTE

- 1 P.U.E. TO BE RELOCATED
- 2 SDMH PER CITY STANDARD DETAILS



LEGEND

- ASR AUTOMATIC SPRINKLER RISER
- AU ACCESSIBLE UNITS
- BLDG BUILDING
- BOV BLOWOFF VALVE
- CB CATCH BASIN
- EX EXISTING
- FF FINISH FLOOR
- FH FIRE HYDRANT
- FS FIRE SERVICE
- RCP REINFORCED CONCRETE PIPE
- RE RIM ELEVATION
- RET RETAINING WALL
- SD STORM DRAIN
- SS SANITARY SEWER
- SDMH STORM DRAIN MANHOLE
- WM WATER METER
- WS WATER SERVICE
- 23.8 SPOT ELEVATION
- FS EXISTING UTILITY TO BE ABANDONED BY REMOVAL
- SS FIRE SERVICE
- COTG SANITARY SEWER CLEANOUT TO GRADE
- X"SD STORM DRAIN LINE
- AREA DRAIN
- STORM DRAIN CATCH BASIN
- STORM DRAIN JUNCTION BOX
- AUTOMATIC SPRINKLER RISER
- BACK FLOW PREVENTION DEVICE
- BLOWOFF VALVE
- FIRE DEPARTMENT CONNECTION
- FIRE HYDRANT & VALVE
- POST INDICATOR VALVE
- SANITARY SEWER MANHOLE
- SINGLE CHECK VALVE
- STORM DRAIN MANHOLE
- WATER METER
- FLOW THROUGH PLANTER, SEE DETAIL ON SHEET C3.1
- RETAINING WALL
- RAIN WATER LEADER
- RAIN WATER LEADER
- TYP. TYPICAL
- PUMP
- PROPOSED STREET LIGHT
- EXISTING STREET LIGHT

UTILITY MATERIALS SUMMARY TABLE

UTILITY	PIPE MATERIAL
FIRE	PVC C900
DOMESTIC	PVC C900
STORM DRAIN	PVC SDR 35
SANITARY SEWER	PVC SDR 26
RECYCLED WATER	PVC SDR 21
IRRIGATION	PVC CLASS 250

GENERAL NOTES

- SIGNALIZATION OF INTERSECTIONS, CHRYSLER DR. & INDEPENDENCE DR. AND CHRYSLER DR. & JEFFERSON DR., TO BE COORDINATED POST ENTITLEMENTS.

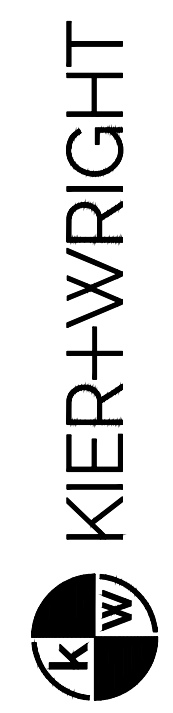
123 Independence
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599 Castro Street, Suite 400
Mountain View, CA

Sheet Title:
UTILITY PLAN

Job No. 20004
Date: 02/03/2023
Scale: AS SHOWN
Drawn By: MC

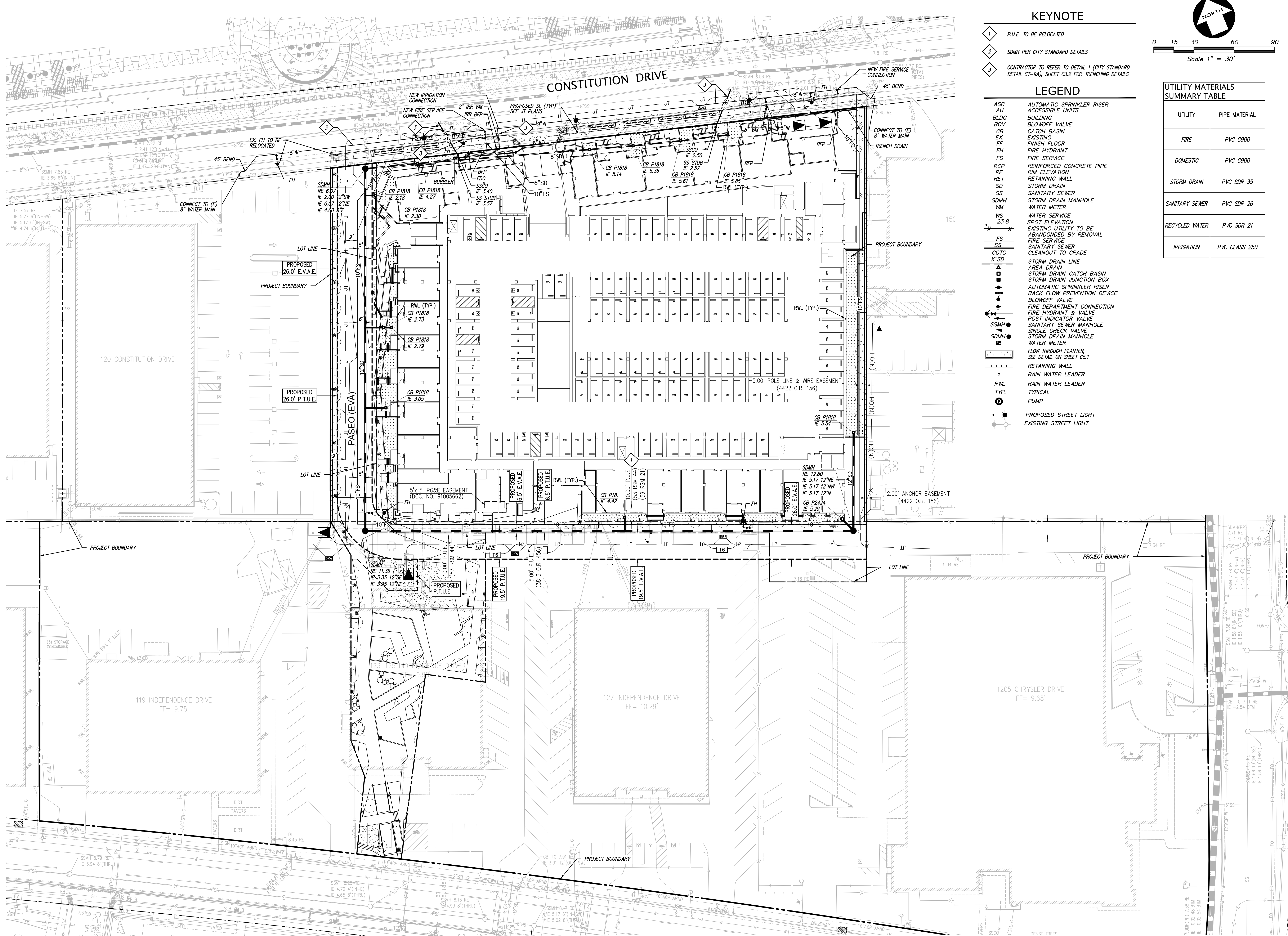
Sheet No:
C4.0



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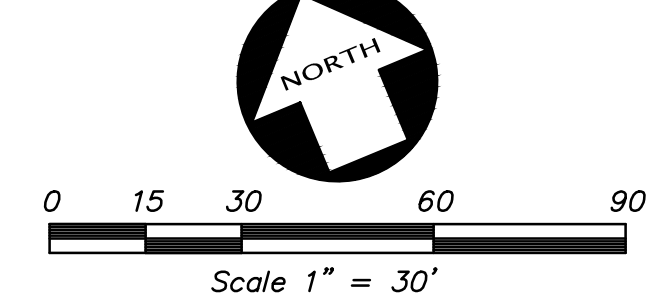
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KEYNOTE

- 1 P.U.E. TO BE RELOCATED
- 2 SDMH PER CITY STANDARD DETAILS
- 3 CONTRACTOR TO REFER TO DETAIL 1 (CITY STANDARD DETAIL ST-94), SHEET C3.2 FOR TRENCHING DETAILS.



LEGEND

- ASR AUTOMATIC SPRINKLER RISER
- AU ACCESSIBLE UNITS
- BLDG BUILDING
- BOV BLOWOFF VALVE
- CB CATCH BASIN
- EX EXISTING
- FF FINISH FLOOR
- FH FIRE HYDRANT
- FS FIRE SERVICE
- RCP REINFORCED CONCRETE PIPE
- RE RIM ELEVATION
- RET RETAINING WALL
- SD STORM DRAIN
- SS SANITARY SEWER
- SDMH STORM DRAIN MANHOLE
- WM WATER METER
- WS WATER SERVICE
- 23.8 SPOT ELEVATION
- X"SD EXISTING UTILITY TO BE ABANDONED BY REMOVAL
- FS FIRE SERVICE
- SS SANITARY SEWER
- COTG CLEANOUT TO GRADE
- X"SD STORM DRAIN LINE
- ▲ AREA DRAIN
- ▲ STORM DRAIN CATCH BASIN
- ▲ STORM DRAIN JUNCTION BOX
- ▲ AUTOMATIC SPRINKLER RISER
- ▲ BACK FLOW PREVENTION DEVICE
- ▲ BLOWOFF VALVE
- ▲ FIRE DEPARTMENT CONNECTION
- ▲ FIRE HYDRANT & VALVE
- ▲ POST INDICATOR VALVE
- SS MH SANITARY SEWER MANHOLE
- SCV SINGLE CHECK VALVE
- SD MH STORM DRAIN MANHOLE
- WM WATER METER
- FLOW THROUGH PLANTER, SEE DETAIL ON SHEET C5.1
- RETAINING WALL
- RWL RAIN WATER LEADER
- RWL TYP. RAIN WATER LEADER TYPICAL
- PUMP
- PROPOSED STREET LIGHT
- EXISTING STREET LIGHT

UTILITY MATERIALS SUMMARY TABLE

UTILITY	PIPE MATERIAL
FIRE	PVC C900
DOMESTIC	PVC C900
STORM DRAIN	PVC SDR 35
SANITARY SEWER	PVC SDR 26
RECYCLED WATER	PVC SDR 21
IRRIGATION	PVC CLASS 250

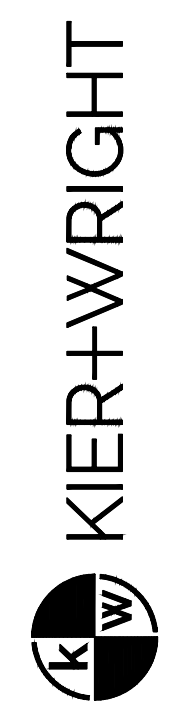
123 Independence
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Sheet Title:
**UTILITY PLAN
PHASE 1**

Job No. 20004
Date: 02/03/2023
Scale: AS SHOWN
Drawn By: MC

Sheet No:
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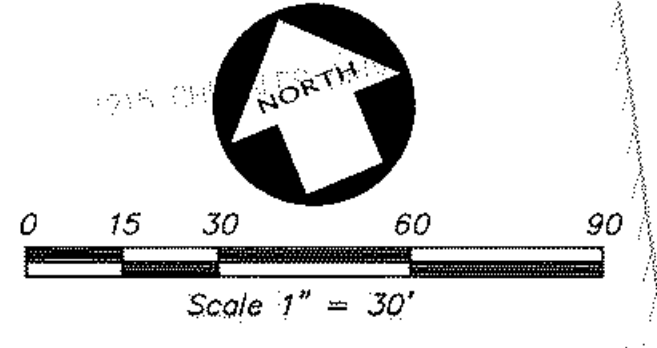


LEGEND

- ▲ AREA DRAIN
- ▭ STORM DRAIN CATCH BASIN
- ▭ STORM DRAIN JUNCTION BOX
- STORM DRAIN MANHOLE
- ▭ TRIBUTARY AREA LIMITS
- ▭ TREATMENT AREA
- ▭ OVERLAND RELEASE
- ▭ STORM DRAIN LINE
- TCM
- RWL (TYP.)
- TYPICAL DRAINAGE MANAGEMENT AREA

NOTE

ALL TCMS WITHIN A SINGLE DMA SHALL BE HYDRAULICALLY CONNECTED



Sheet Title:
STORMWATER CONTROL PLAN

Job No. 20004
 Date: 02/03/2023
 Scale: AS SHOWN
 Drawn By: MC

Sheet No:
C5.0

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REM-1 Triton Bioflex Drop Inlet Trash Guard
Catchbasin filter insert

Company Contact:
Revel Environmental Manufacturing, Inc.,
Concord, CA
Sales contact: Marcel Sloane, (925)-676-4736
Marcel@remfilters.com
http://remfilters.com

Meets San Francisco Bay Water Board full capture specifications

Storage capacity: Depends on each catchbasin's configuration, size of filter, etc.

Replacement Parts: Available, Replacement Filters

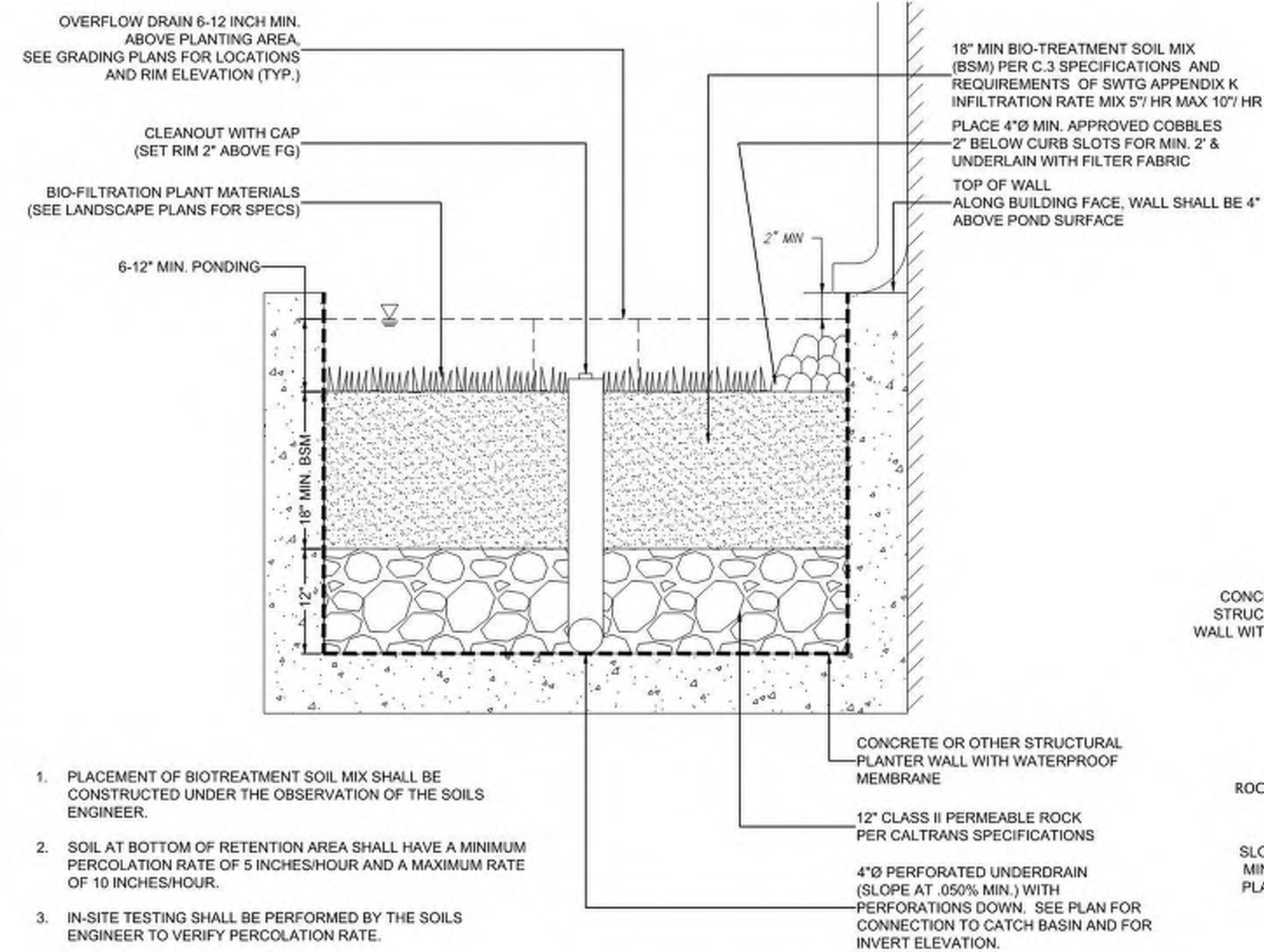
Vendor's maintenance estimate: The filter cleaning process and Bioflex media replacement should take no more than 15 minutes per filter. Maintained when debris accumulates up to 80% of the filter's capacity. Minimum 3 times per year.

Warranty: 1 yr. or 6 if REM contracts to do maintenance

Material: High density polyethylene, 304 stainless steel, polyester fiber mesh, coil fibers, water-based latex

Delivery Time: Within three weeks from receipt of order

DROP INLET TRASH GUARD DETAIL
SCALE: NTS



FLOW THROUGH PLANTER
NOT TO SCALE

FLOW THROUGH PLANTER PROFILE VIEW
NOT TO SCALE

BIOTREATMENT SUMMARY TABLE ONSITE

AREA	TCM	TREATMENT TYPE	TOTAL AREA (SQ. FT.)	IMPERVIOUS AREA (SQ. FT.)	TREATMENT AREA REQ. (SQ. FT.)	TREATMENT AREA PROVIDED (SQ. FT.)	PONDING DEPTH (IN.)
*DMA 01	1	FLOW THROUGH PLANTER	17,865	13,197	528	580	6
*DMA 02	2	FLOW THROUGH PLANTER	3,334	2,638	106	140	6
*DMA 03	3	FLOW THROUGH PLANTER	3,331	3,048	122	140	6
*DMA 04	4	FLOW THROUGH PLANTER	3,991	3,690	148	174	6
*DMA 05	5	FLOW THROUGH PLANTER	5,613	5,196	208	238	6
*DMA 06	6	FLOW THROUGH PLANTER	4,764	4,164	167	182	6
*DMA 07	7	FLOW THROUGH PLANTER	5,390	4,980	199	240	6
*DMA 08	8	FLOW THROUGH PLANTER	3,995	3,328	133	145	6
*DMA 09	9	FLOW THROUGH PLANTER	11,909	11,198	448	539	6
*DMA 10	10	FLOW THROUGH PLANTER	11,662	9,240	370	448	6
*DMA 11	11	FLOW THROUGH PLANTER	54,603	39,899	1,596	1,914	6
*DMA 12	12	FLOW THROUGH PLANTER	9,117	8,441	338	379	6
*DMA 13	13	FLOW THROUGH PLANTER	34,674	30,032	1,201	1,547	6
*DMA 14	14	FLOW THROUGH PLANTER	40,840	33,994	1,360	1,417	6
*DMA 15	15	FLOW THROUGH PLANTER	5,248	4,573	183	211	6
*DMA 16	16	FLOW THROUGH PLANTER	3,902	3,142	126	140	6
*DMA 17	17	FLOW THROUGH PLANTER	3,583	2,429	97	108	6
*DMA 18	18	FLOW THROUGH PLANTER	3,885	2,593	104	127	6
*DMA 19	19	FLOW THROUGH PLANTER	7,859	7,131	285	313	6
*DMA 20	20	FLOW THROUGH PLANTER	19,055	18,344	734	764	6
*DMA 21	21	FLOW THROUGH PLANTER	31,273	30,105	1,204	1,271	6
*DMA 22	22	FLOW THROUGH PLANTER	18,202	17,120	685	741	6
*DMA 23	23	FLOW THROUGH PLANTER	3,302	3,045	122	139	6
*DMA 24	24	FLOW THROUGH PLANTER	30,668	28,286	1,131	1,232	6
*DMA 25	25	FLOW THROUGH PLANTER	7,078	5,615	225	243	6
*DMA 26	26	FLOW THROUGH PLANTER	4,642	3,564	143	156	6
TOTAL	-	-	350,279	298,990	12,334	13,508	-

*BIOTREATMENT SIZING BASED ON C3 SIZING UNIFORM INTENSITY METHOD.
**BIOTREATMENT SIZING BASED ON FLOW-VOLUME COMBO CALCULATIONS.

SELF RETAINING AREA

AREA	TREATMENT TYPE	TOTAL AREA (SQ. FT.)	IMPERVIOUS AREA (SQ. FT.)	TREATMENT AREA REQ. (SQ. FT.)
SR 1	SELF-RETAINING AREA	2,689	1,478	-
SR 2	SELF-RETAINING AREA	2,217	119	-
TOTAL	-	4,907	1,597	-

GREEN INFRASTRUCTURE SUMMARY TABLE

AREA	TCM	TREATMENT TYPE	TOTAL AREA (SQ. FT.)	IMPERVIOUS AREA (SQ. FT.)	TREATMENT AREA REQ. (SQ. FT.)	TREATMENT AREA PROVIDED (SQ. FT.)	PONDING DEPTH (IN.)
**DMA 27	27	FLOW THROUGH PLANTER	12,079	10,572	315	399	6
**DMA 28	28	FLOW THROUGH PLANTER	7,252	6,366	189	326	6
**DMA 29	29	FLOW THROUGH PLANTER	13,749	11,882	355	548	6
**DMA 30	30	FLOW THROUGH PLANTER	17,189	15,308	455	477	6

*BIOTREATMENT SIZING BASED ON C3 SIZING UNIFORM INTENSITY METHOD.
**BIOTREATMENT SIZING BASED ON FLOW-VOLUME COMBO CALCULATIONS.

OVERALL TREATMENT AREA TOTALS ONSITE

PERVIOUS AND IMPERVIOUS SURFACES COMPARISON TABLE			
PROJECT PHASE NUMBER: (N/A, 1, 2, 3)			N/A
TOTAL SITE (ACRES):	8.15 [355,185 SF]	TOTAL AREA OF SITE DISTURBED (ACRES):	8.15
IMPERVIOUS SURFACES	EXISTING CONDITION OF DISTURBED AREA (SQUARE FEET):	PROPOSED CONDITION OF SITE AREA DISTURBED (SQUARE FEET):	
		REPLACED	NEW
BUILDING FOOTPRINT	103,983	103,983	47,571
STREETS & PARKING	193,784	61,454	0
S/W, PATIOS, PATHS ETC.	9,559	9,559	78,020
STREETS (PUBLIC)	0	0	0
STREETS (PRIVATE)	0	0	0
TOTAL IMPERVIOUS SURFACES:	307,326	174,996	125,591
PERVIOUS SURFACES			
LANDSCAPED AREAS	47,859	47,859	4,614
PERVIOUS PAVING	0	0	2,125
OTHER PERVIOUS SURFACES (GREEN ROOF, ETC.)	0	0	0
TOTAL PERVIOUS SURFACES:	47,859	47,859	6,739
TOTAL PROPOSED REPLACED + NEW IMPERVIOUS SURFACES:			300,587
TOTAL PROPOSED REPLACED + NEW PERVIOUS SURFACES:			54,598

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Sheet Title:

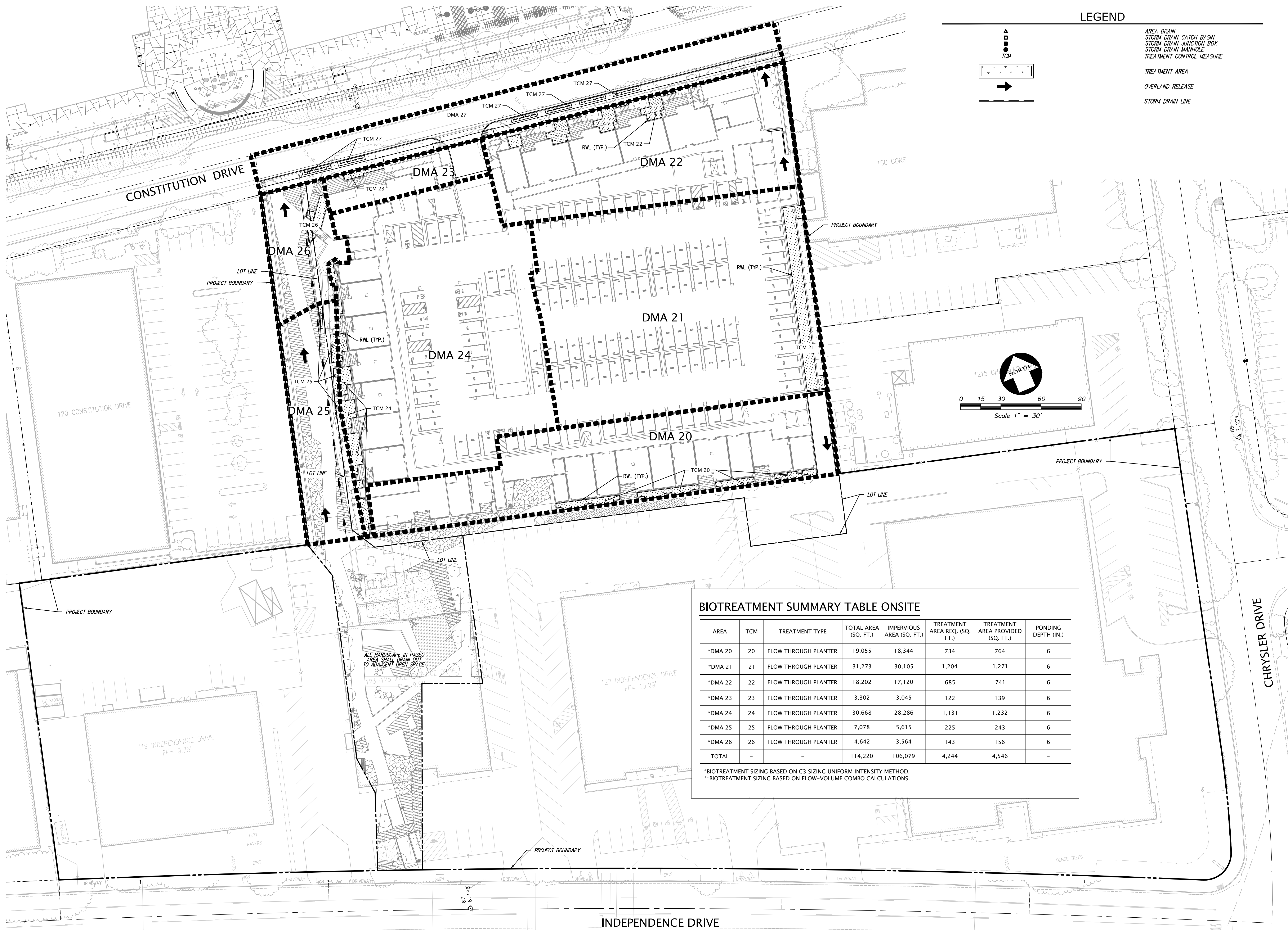
STORMWATER CONTROL DETAILS

Job No. 20004
Date: 02/03/2023
Scale: AS SHOWN
Drawn By: MC

Sheet No:

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LEGEND

- ▲ AREA DRAIN
- STORM DRAIN CATCH BASIN
- STORM DRAIN JUNCTION BOX
- STORM DRAIN MANHOLE
- TREATMENT CONTROL MEASURE
- ▨ TREATMENT AREA
- OVERLAND RELEASE
- STORM DRAIN LINE

BIOTREATMENT SUMMARY TABLE ONSITE

AREA	TCM	TREATMENT TYPE	TOTAL AREA (SQ. FT.)	IMPERVIOUS AREA (SQ. FT.)	TREATMENT AREA REQ. (SQ. FT.)	TREATMENT AREA PROVIDED (SQ. FT.)	PONDING DEPTH (IN.)
*DMA 20	20	FLOW THROUGH PLANTER	19,055	18,344	734	764	6
*DMA 21	21	FLOW THROUGH PLANTER	31,273	30,105	1,204	1,271	6
*DMA 22	22	FLOW THROUGH PLANTER	18,202	17,120	685	741	6
*DMA 23	23	FLOW THROUGH PLANTER	3,302	3,045	122	139	6
*DMA 24	24	FLOW THROUGH PLANTER	30,668	28,286	1,131	1,232	6
*DMA 25	25	FLOW THROUGH PLANTER	7,078	5,615	225	243	6
*DMA 26	26	FLOW THROUGH PLANTER	4,642	3,564	143	156	6
TOTAL	-	-	114,220	106,079	4,244	4,546	-

*BIOTREATMENT SIZING BASED ON C3 SIZING UNIFORM INTENSITY METHOD.
 **BIOTREATMENT SIZING BASED ON FLOW-VOLUME COMBO CALCULATIONS.

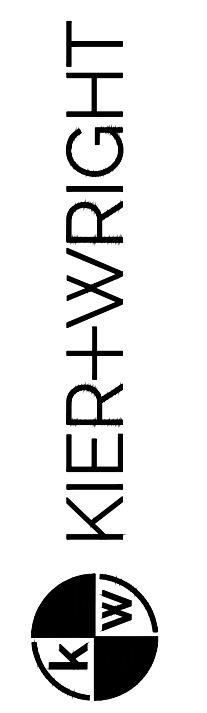
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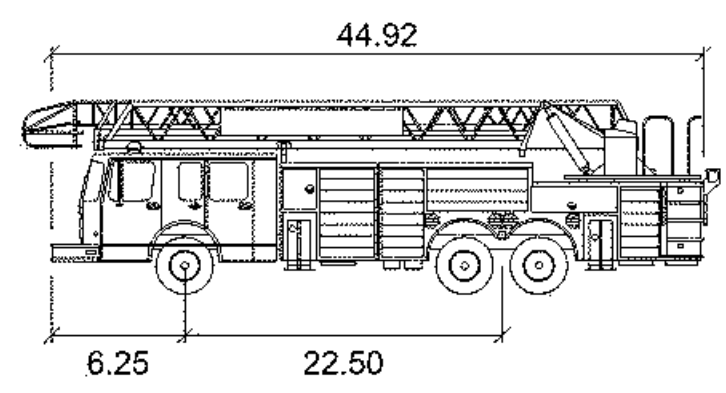
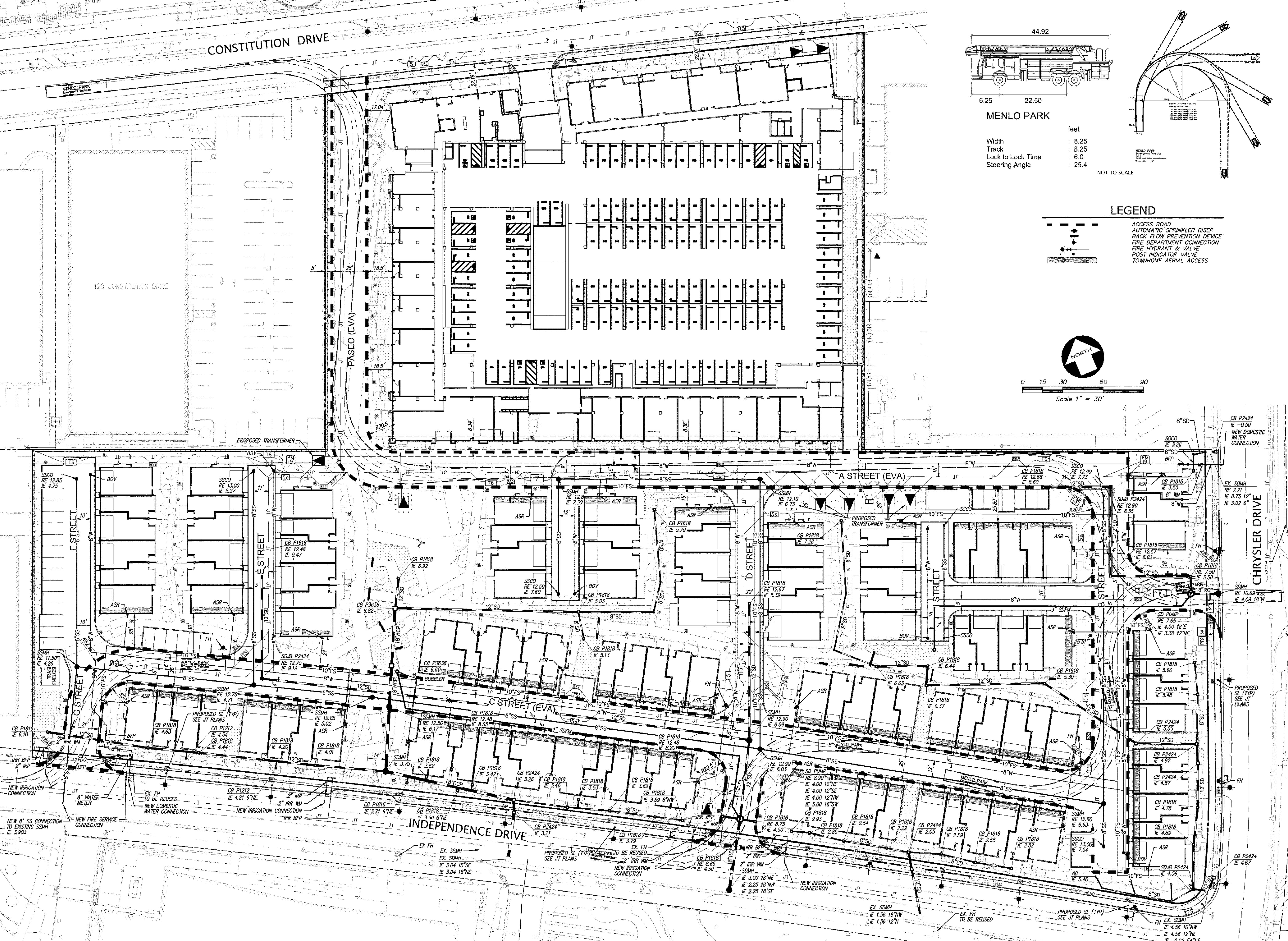
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STORMWATER CONTROL PLAN PHASE 1

Job No: 20004
 Date: 02/03/2023
 Scale: AS SHOWN
 Drawn By: MC

Sheet No:
C5.2

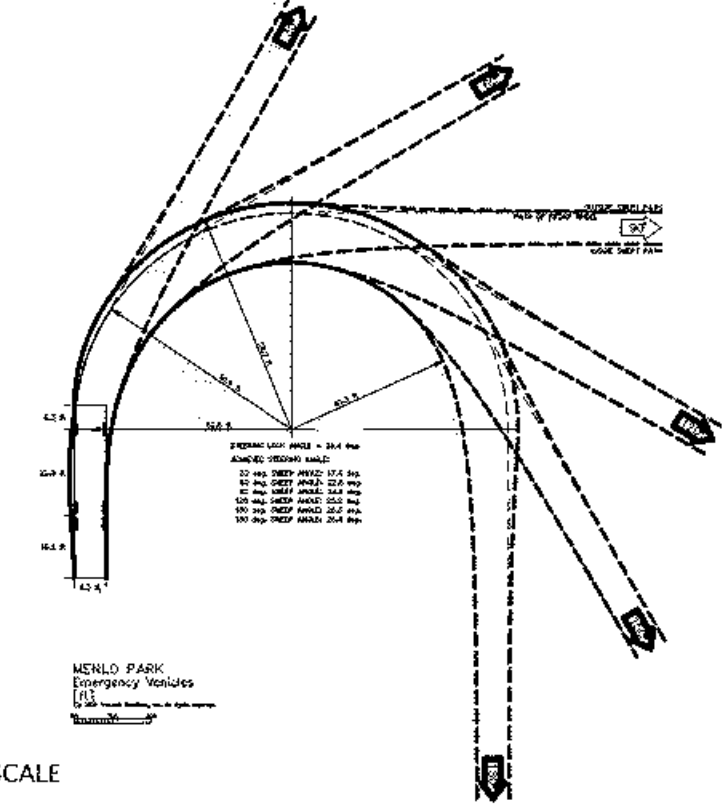


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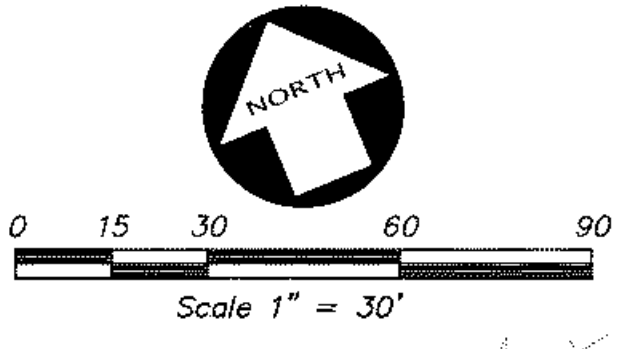
MENLO PARK

Width	: 8.25
Track	: 8.25
Lock to Lock Time	: 6.0
Steering Angle	: 25.4



LEGEND

- ACCESS ROAD
- AUTOMATIC SPRINKLER RISER
- BACK FLOW PREVENTION DEVICE
- FIRE DEPARTMENT CONNECTION
- FIRE HYDRANT & VALVE
- POST INDICATOR VALVE
- TOWNHOME AERIAL ACCESS



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Sheet Title:
FIRE ACCESS PLAN

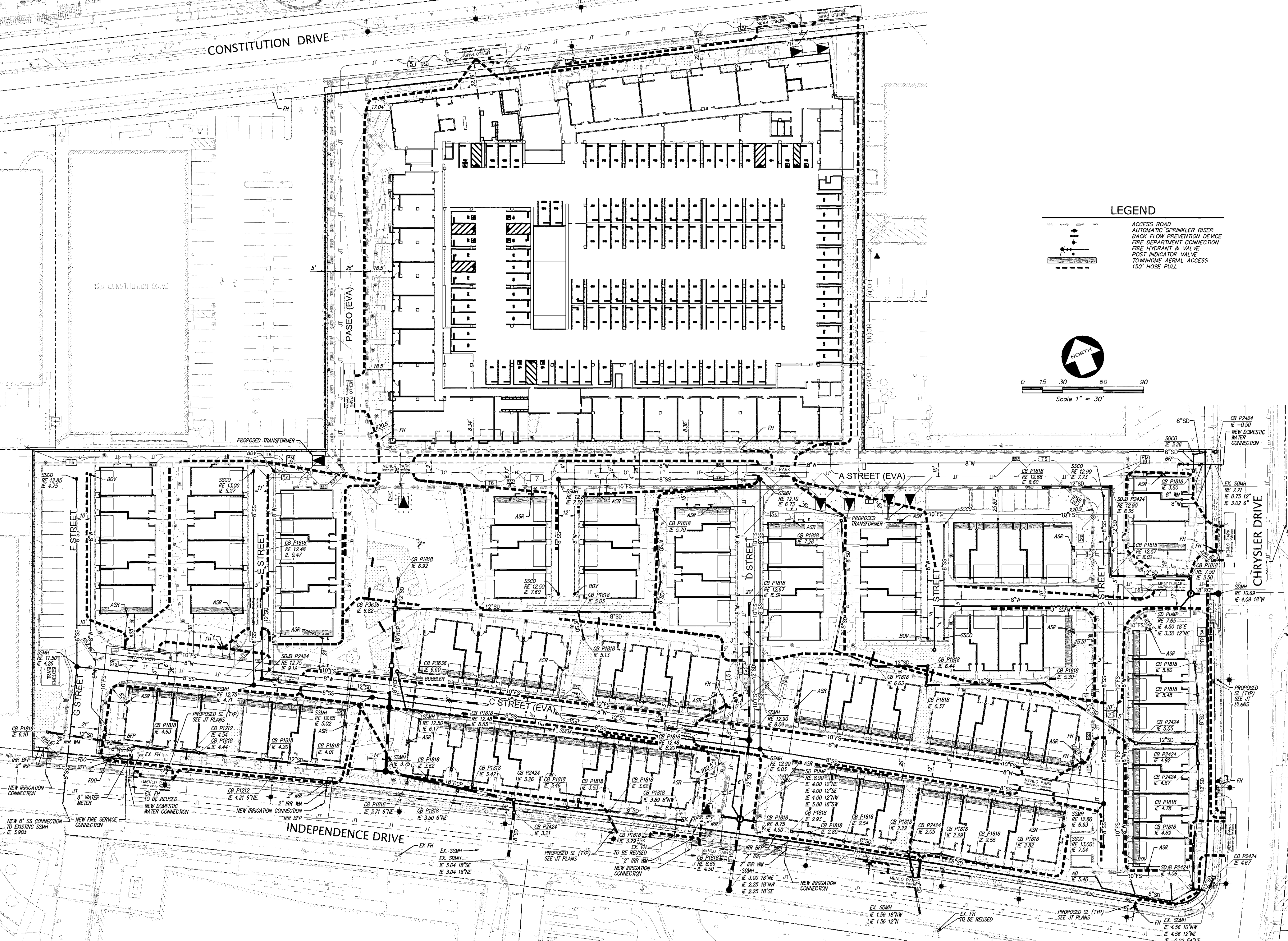
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Date: 02/03/2023
Scale: AS SHOWN
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Sheet No:
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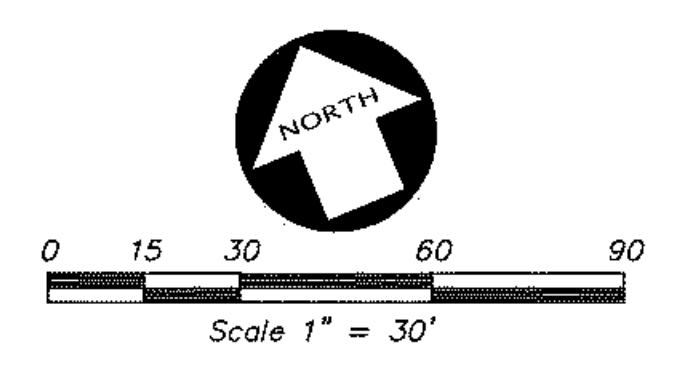
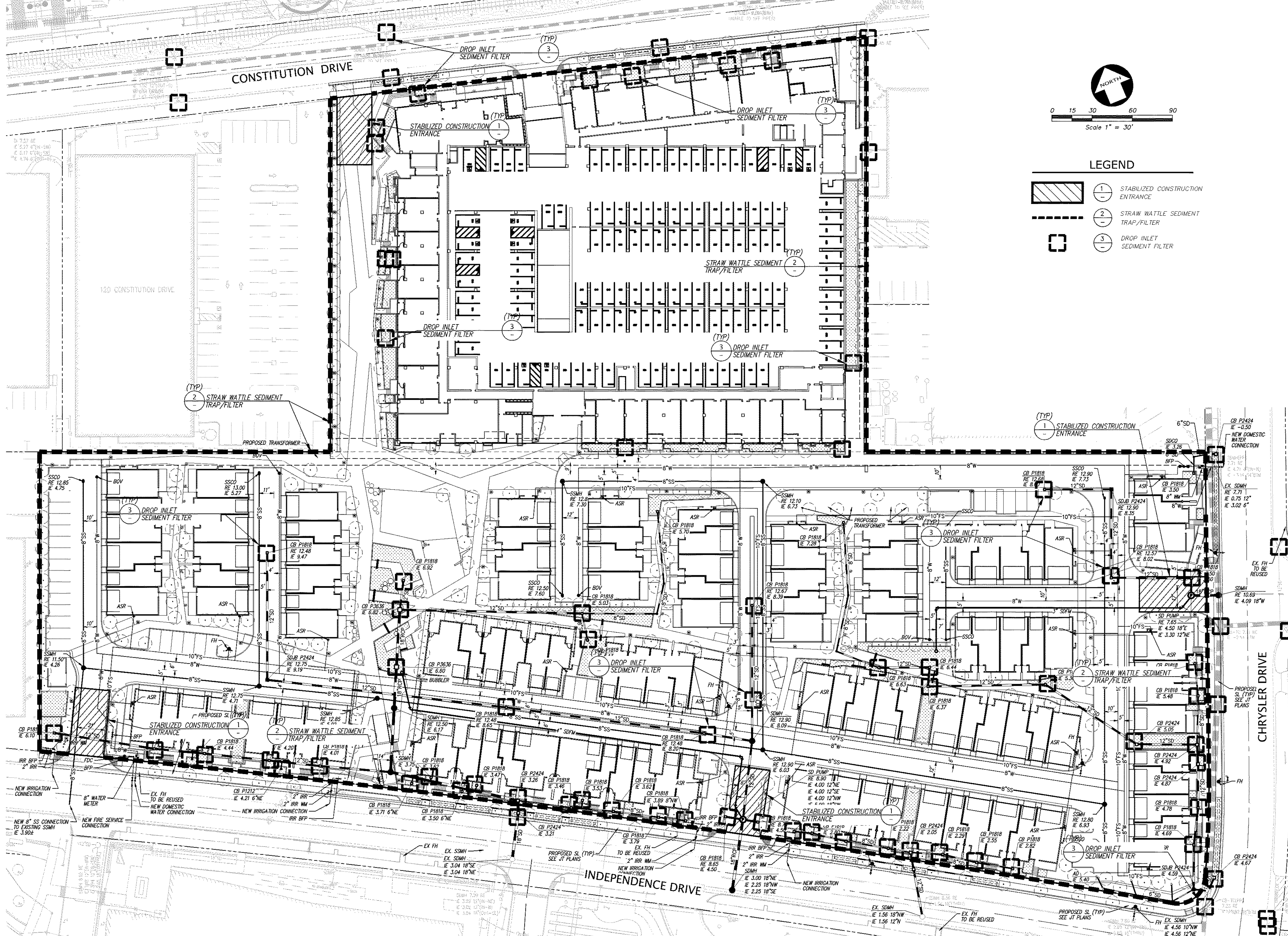


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LEGEND

- 1 STABILIZED CONSTRUCTION ENTRANCE
- 2 STRAW WATTLE SEDIMENT TRAP/FILTER
- 3 DROP INLET SEDIMENT FILTER

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Sheet Title:
EROSION CONTROL PLAN

Job No. 20004
Date: 02/03/2023
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C7.0



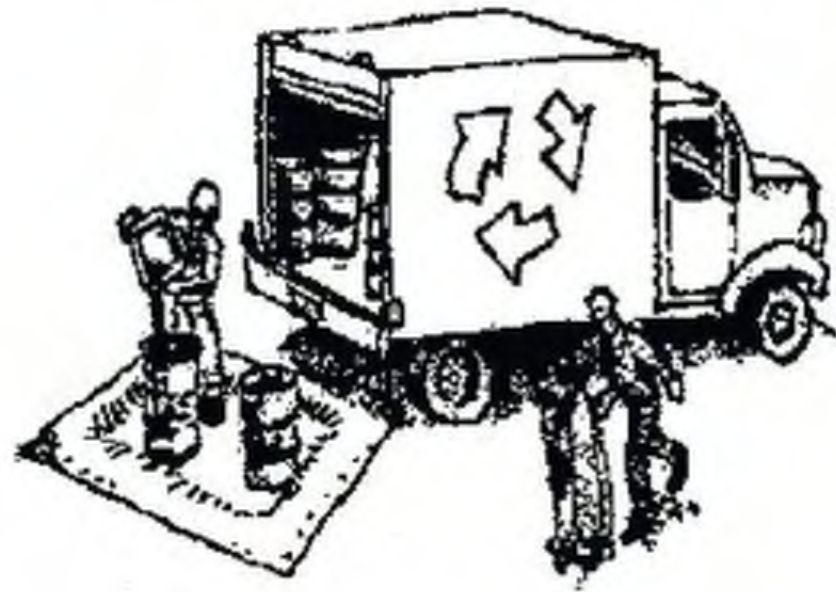
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Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



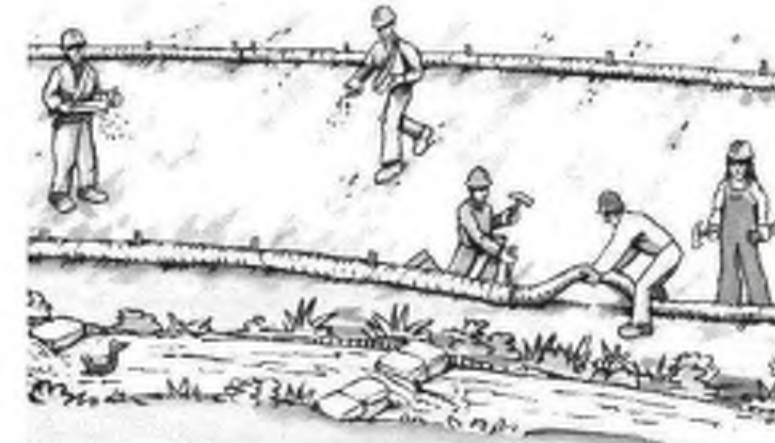
Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



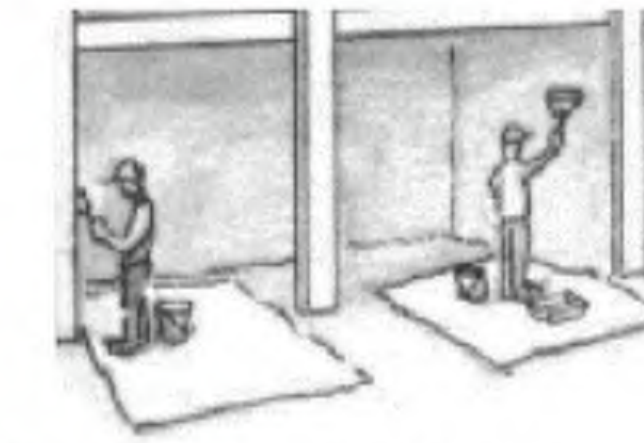
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

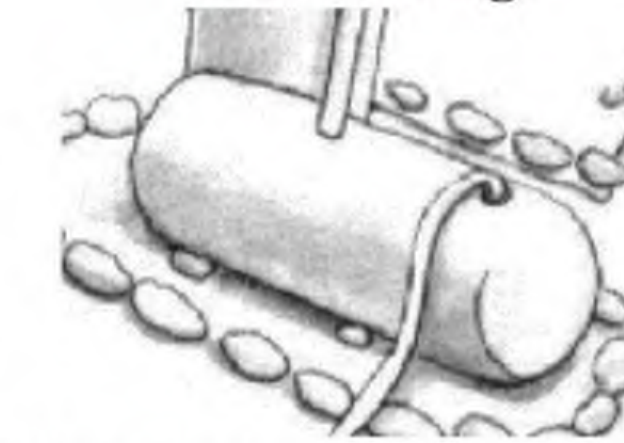
Painting & Paint Removal



Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

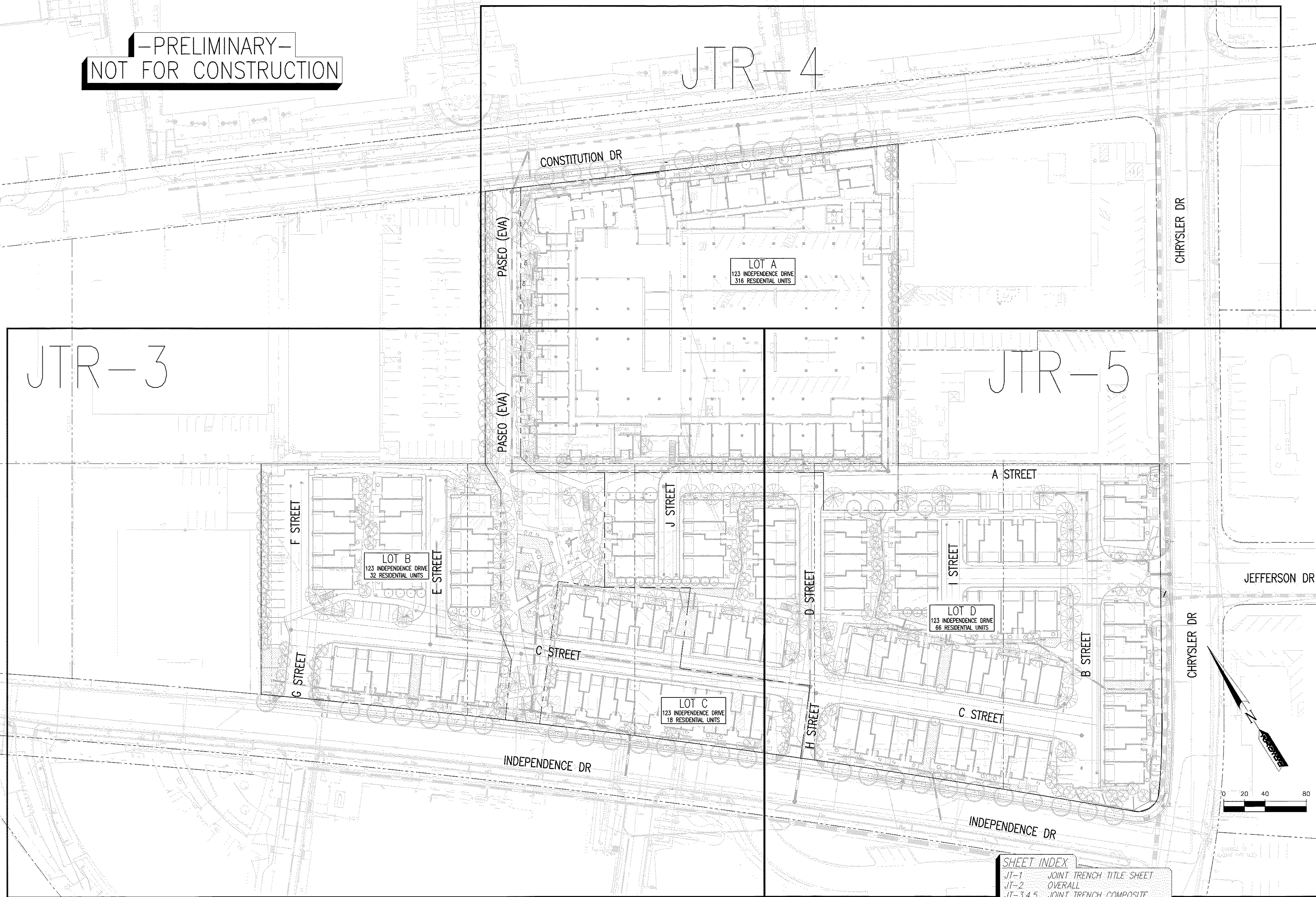
Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!

**-PRELIMINARY-
NOT FOR CONSTRUCTION**



SHEET INDEX	
JT-1	JOINT TRENCH TITLE SHEET
JT-2	OVERALL
JT-3,4,5	JOINT TRENCH COMPOSITE
JT-6	JOINT TRENCH SECTIONS

Sheet Title:
OVERALL

Job No. 20004
Date: 06/13/2023
Scale: AS SHOWN
Drawn By: ME

Sheet No:
JT-2

**-PRELIMINARY-
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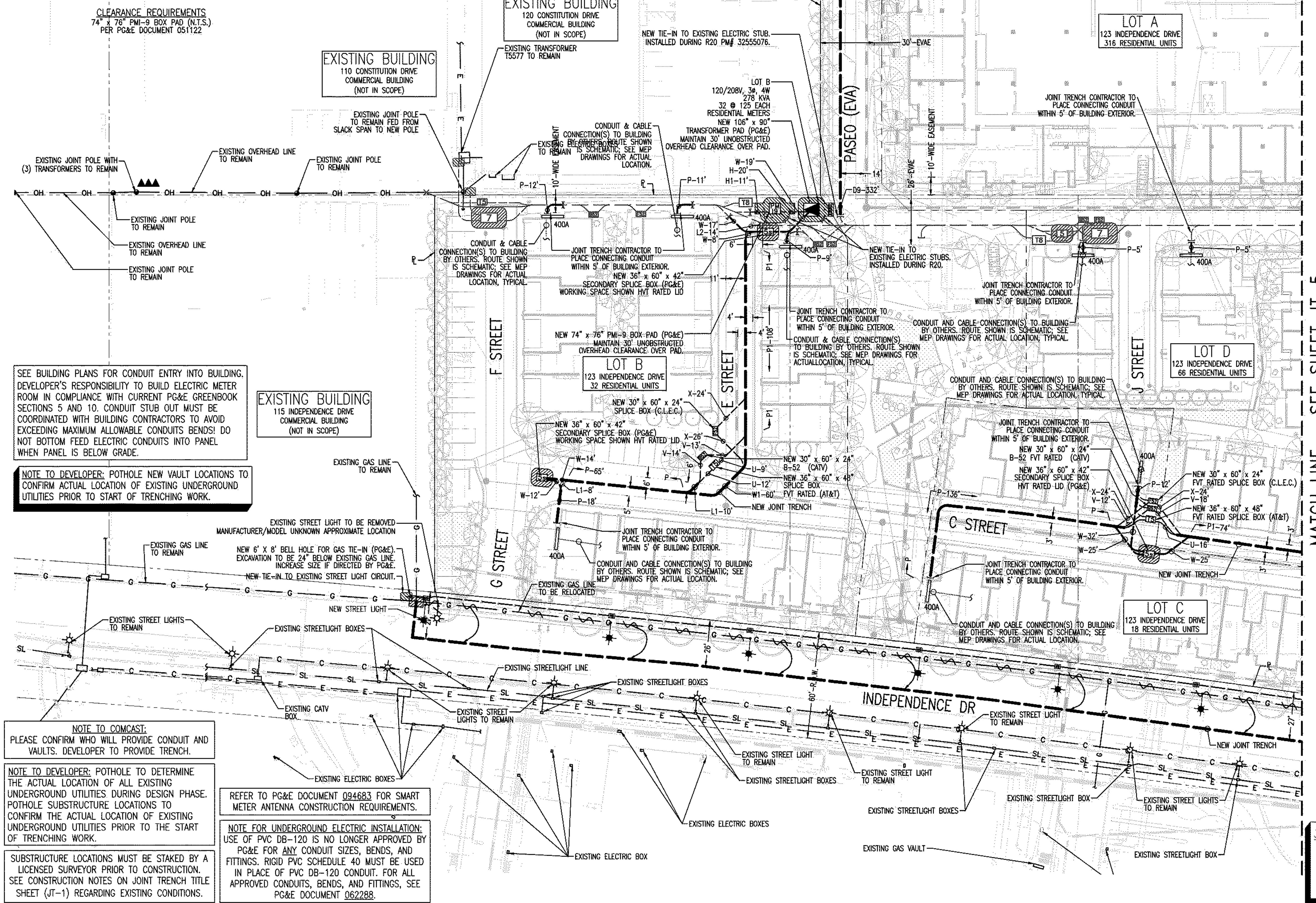
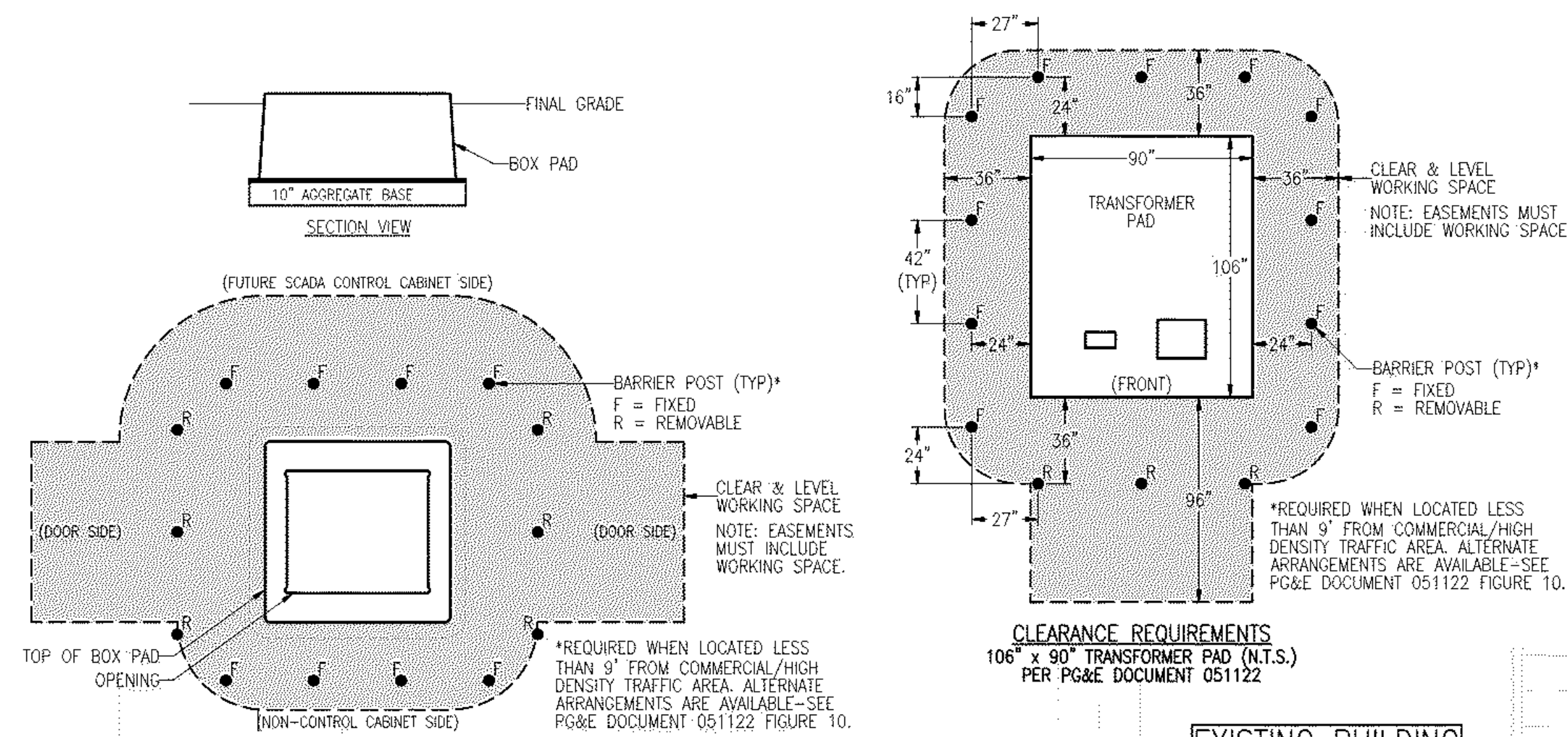
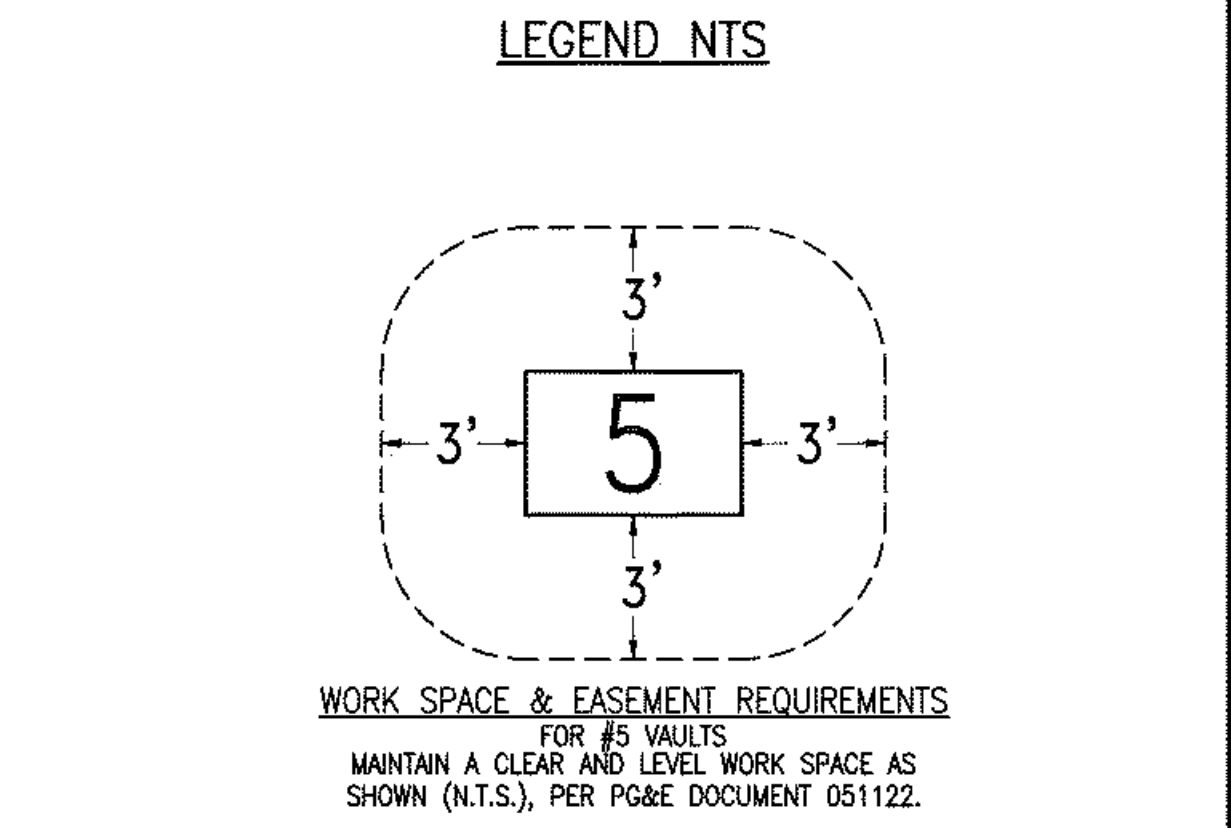
**THIS IS NOT A BID DOCUMENT
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**UTILITIES
PLEASE CONFIRM
TIE IN LOCATIONS**

**NOTE TO CONTRACTOR:
FOR CONTRACTOR'S WORK RESPONSIBILITY,
REFER TO JOINT TRENCH TITLE SHEET (JT-1)**

LEGEND:

NEW	DESCRIPTION
	JOINT TRENCH
	106" x 90" TRANSFORMER PAD (PG&E) WITH BARRIER POSTS, WORKING SPACE SHOWN. MAINTAIN 30' UNOBSTRUCTED OVERHEAD CLEARANCE OVER PAD.
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	(N)OH OVERHEAD LINE
	X POLE
	36" x 60" x 48" SPLICE BOX (AT&T)
	30" x 60" x 24" B-52 (CATV)
	30" x 60" x 24" SPLICE BOX (C.L.E.C.)
	STREET LIGHT
	SPLICE BOX 3-1/2 PULL BOX 10" x 17" x 12" NS
EXISTING	DESCRIPTION
	OH OVERHEAD LINE
	E ELECTRIC LINE
	G GAS LINE
	T PHONE LINE
	C CATV LINE
	FO FIBER OPTIC LINE
	JOINT POLE
	OH OVERHEAD LINE TO BE REMOVED
	JOINT POLE TO BE REMOVED
	OH OVERHEAD LINE TO BE RELOCATED
	JOINT POLE TO BE RELOCATED



SEE BUILDING PLANS FOR CONDUIT ENTRY INTO BUILDING. DEVELOPER'S RESPONSIBILITY TO BUILD ELECTRIC METER ROOM IN COMPLIANCE WITH CURRENT PG&E GREENBOOK SECTIONS 5 AND 10. CONDUIT STUB OUT MUST BE COORDINATED WITH BUILDING CONTRACTORS TO AVOID EXCEEDING MAXIMUM ALLOWABLE CONDUITS BENDS! DO NOT BOTTOM FEED ELECTRIC CONDUITS INTO PANEL WHEN PANEL IS BELOW GRADE.

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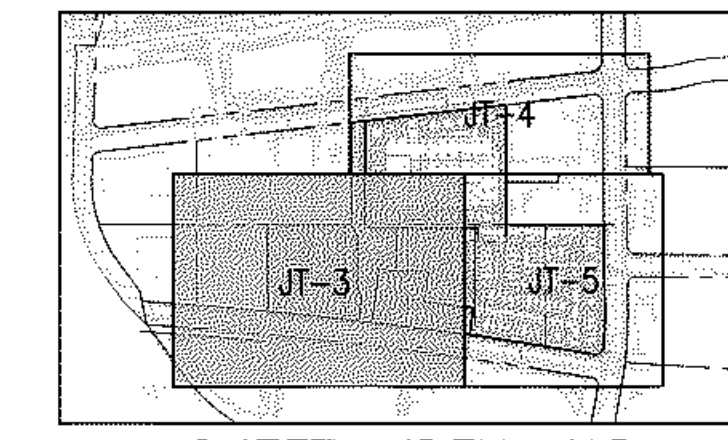
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REFER TO PG&E DOCUMENT 094683 FOR SMART METER ANTENNA CONSTRUCTION REQUIREMENTS.

NOTE FOR UNDERGROUND ELECTRIC INSTALLATION: USE OF PVC DB-120 IS NO LONGER APPROVED BY PG&E FOR ANY CONDUIT SIZES, BENDS, AND FITTINGS. RIGID PVC SCHEDULE 40 MUST BE USED IN PLACE OF PVC DB-120 CONDUIT. FOR ALL APPROVED CONDUITS, BENDS, AND FITTINGS, SEE PG&E DOCUMENT 062288.

SUBSTRUCTURE LOCATIONS MUST BE STAKED BY A LICENSED SURVEYOR PRIOR TO CONSTRUCTION. SEE CONSTRUCTION NOTES ON JOINT TRENCH TITLE SHEET (JT-1) REGARDING EXISTING CONDITIONS.



SHEET INDEX

JT-1	JOINT TRENCH TITLE SHEET
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599 Castro Street, Suite 400
Mountain View, CA

Sheet Title:
JOINT TRENCH INTENT

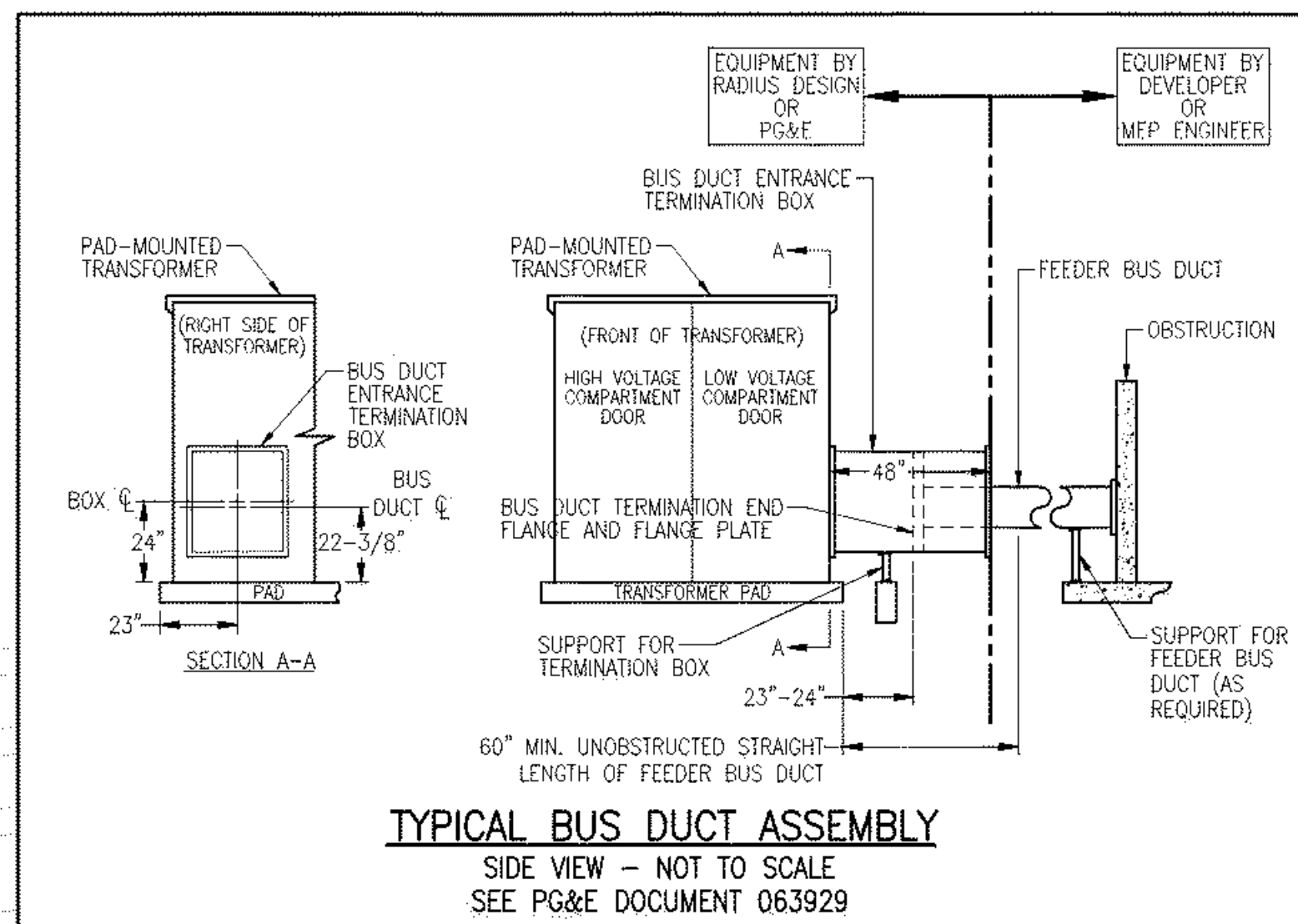
Job No. 20004
Date: 06/13/2023
Scale: AS SHOWN
Drawn By: ME

Sheet No:
JT-3

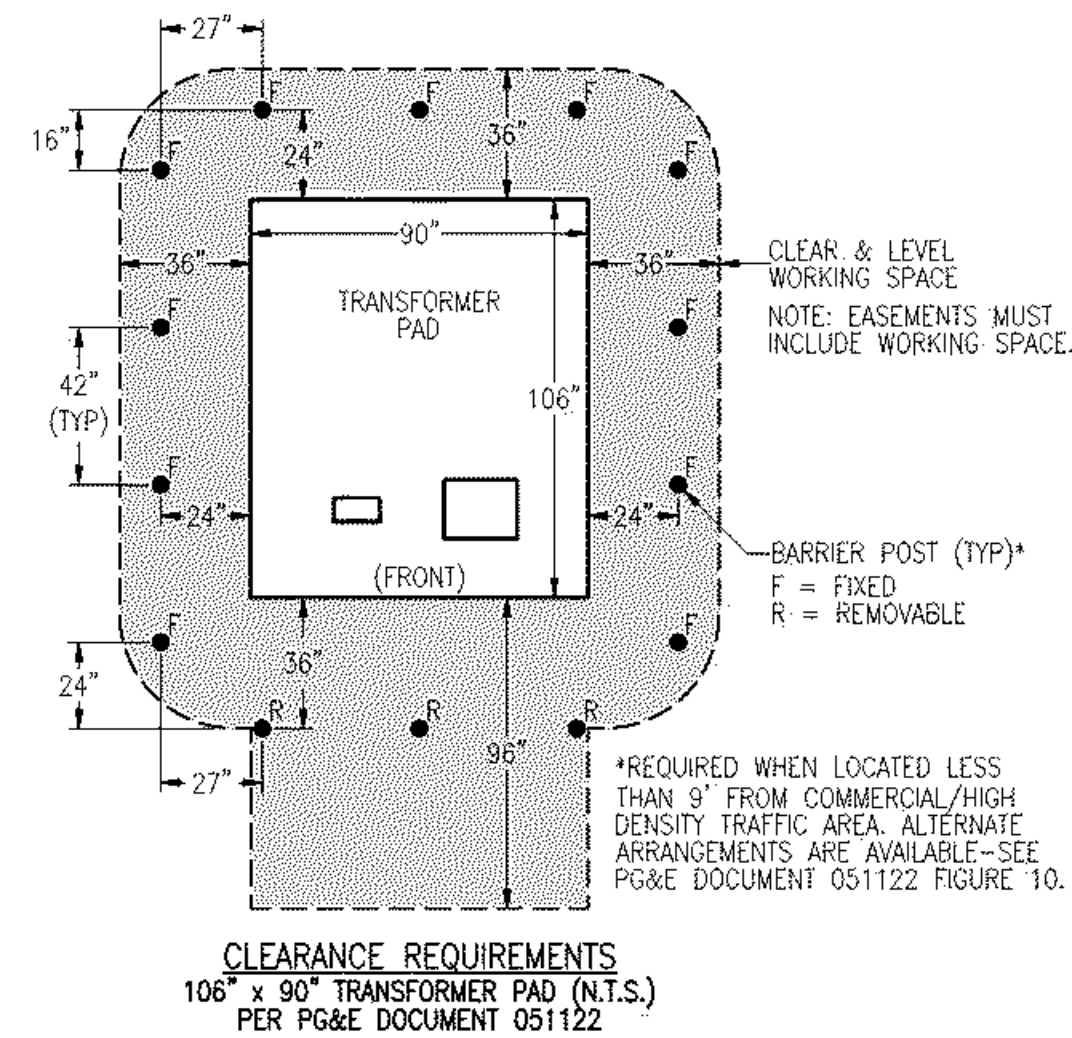
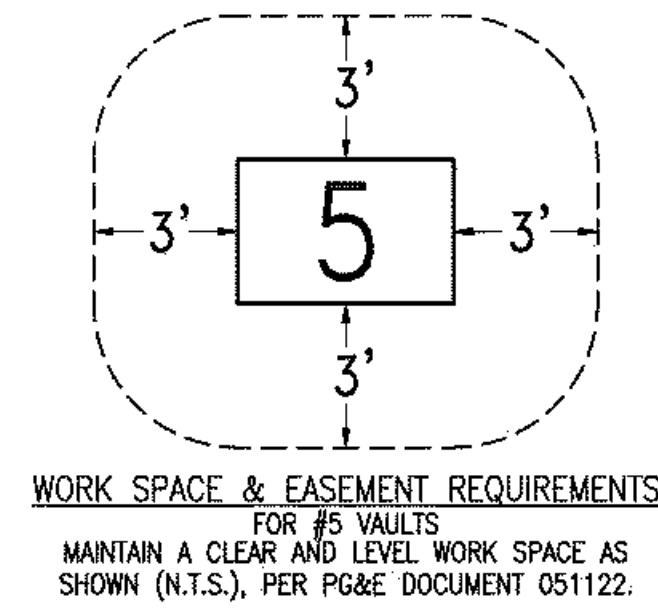
UTILITIES
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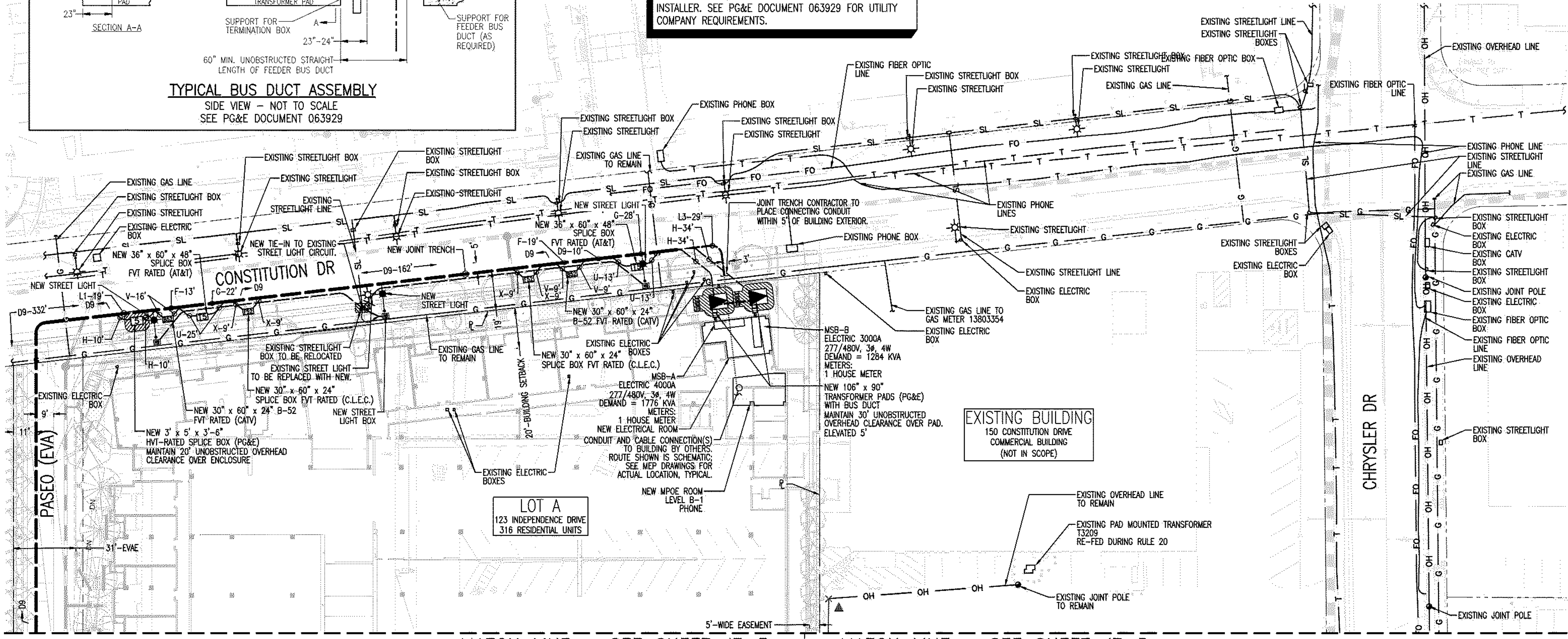
TRANSFORMER BUS DUCT TERMINATION: CAUTION!
DO NOT INSTALL TRANSFORMER PAD UNTIL BUS DUCT
ALIGNMENT IS CONFIRMED WITH ELECTRIC PANEL
INSTALLER. SEE PG&E DOCUMENT 063929 FOR UTILITY
COMPANY REQUIREMENTS.



NOTE TO CONTRACTOR:
FOR CONTRACTOR'S WORK RESPONSIBILITY,
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LEGEND:

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LEGEND NTS

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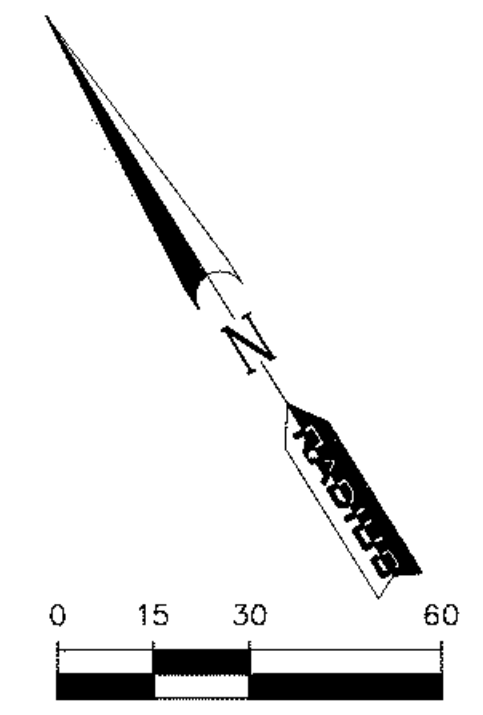
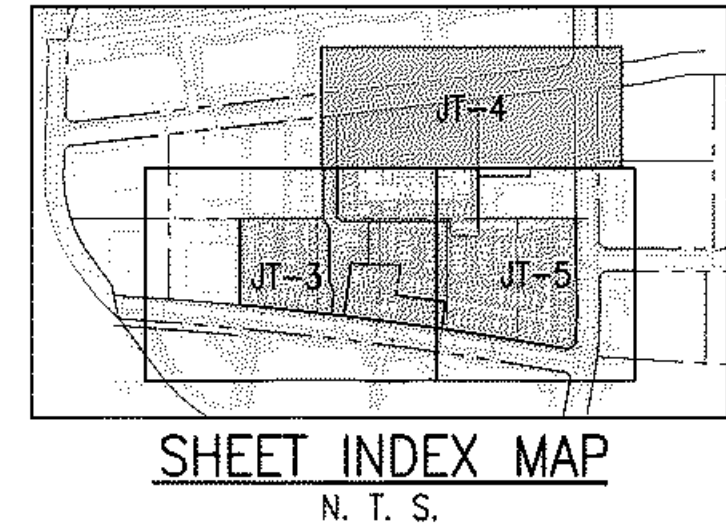
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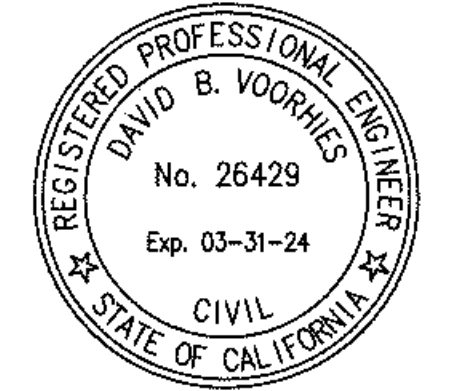
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SEE BUILDING PLANS FOR CONDUIT ENTRY INTO BUILDING. DEVELOPER'S RESPONSIBILITY TO BUILD ELECTRIC METER ROOM IN COMPLIANCE WITH CURRENT PG&E GREENBOOK SECTIONS 5 AND 10. CONDUIT STUB OUT MUST BE COORDINATED WITH BUILDING CONTRACTORS TO AVOID EXCEEDING MAXIMUM ALLOWABLE CONDUITS BENDS! DO NOT BOTTOM FEED ELECTRIC CONDUITS INTO PANEL WHEN PANEL IS BELOW GRADE.



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JT-6	JOINT TRENCH SECTIONS



123 Independence
Menlo Park, CA

The Sobrato Organization
599 Castro Street, Suite 400
Mountain View, CA

Sheet Title:
JOINT TRENCH INTENT

Job No. 20004
Date: 06/13/2023
Scale: AS SHOWN
Drawn By: ME

Sheet No:
JT-4

UTILITIES
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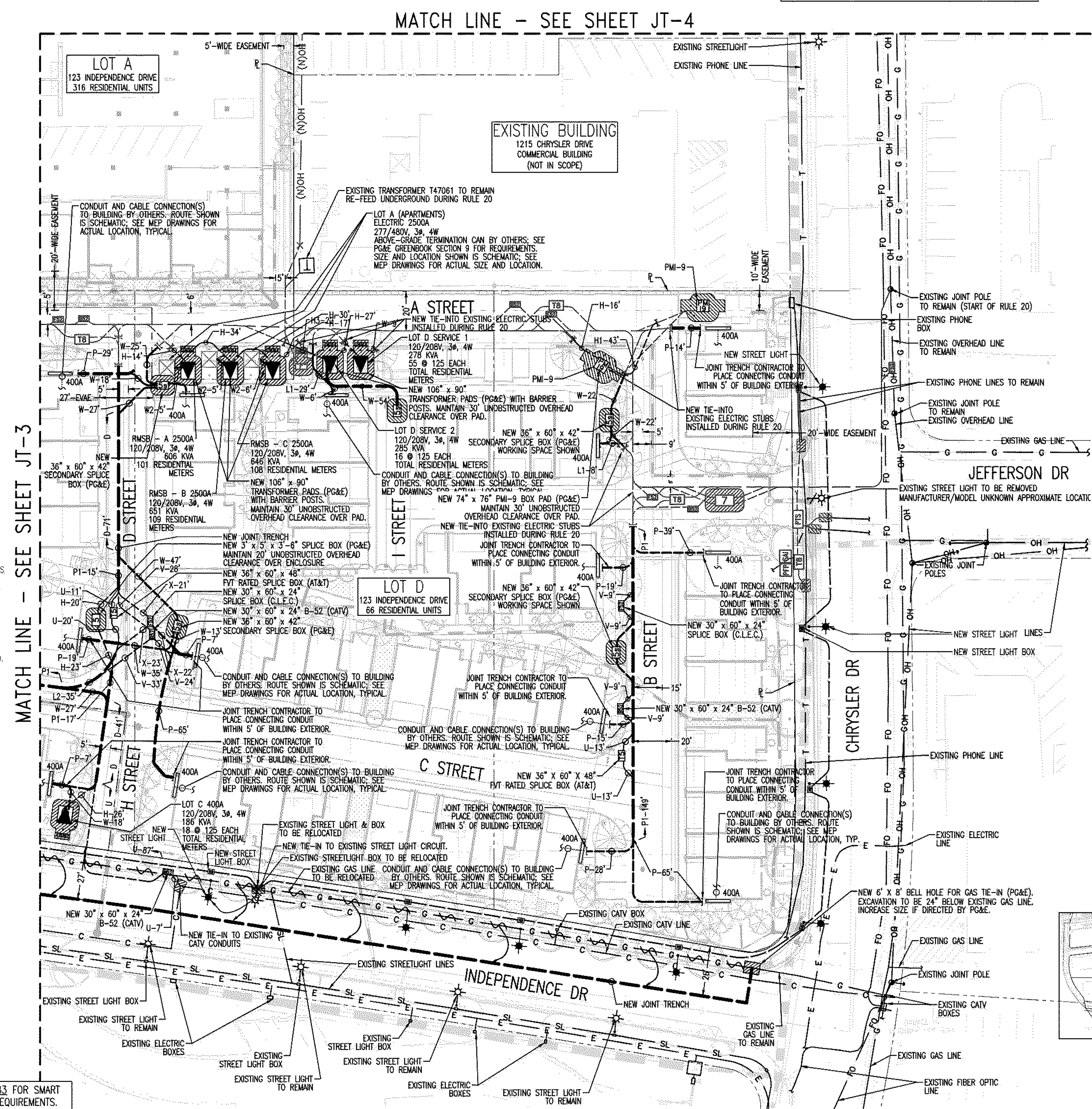
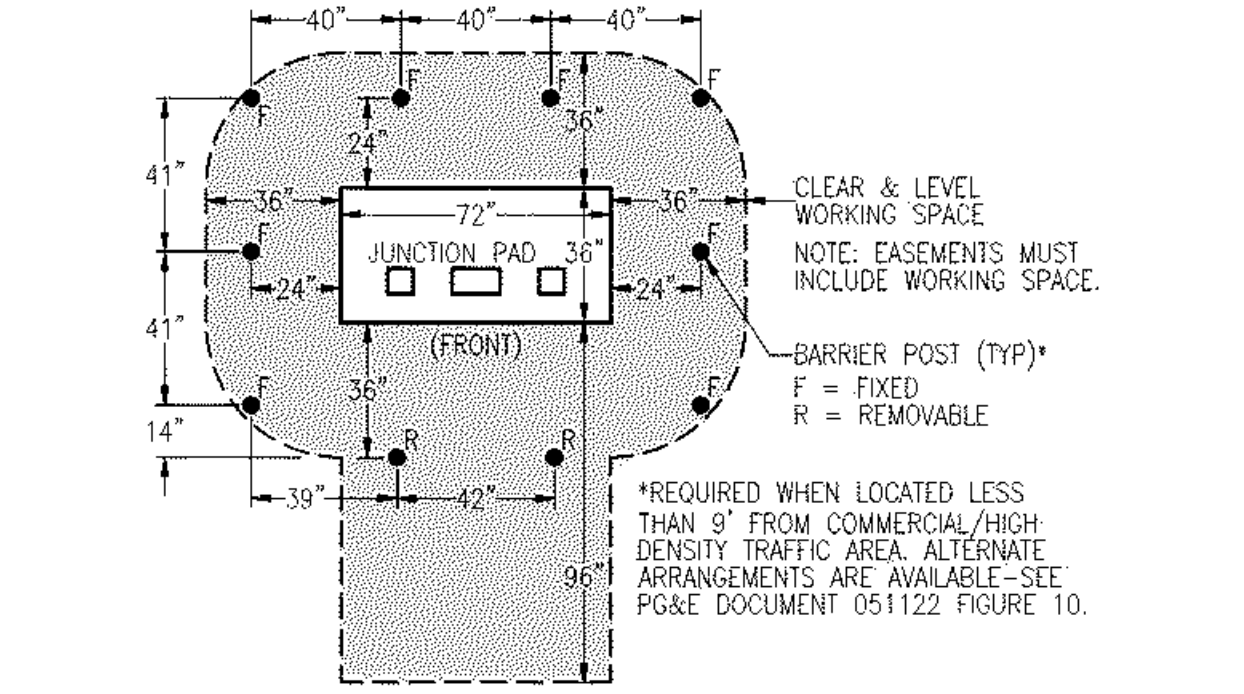
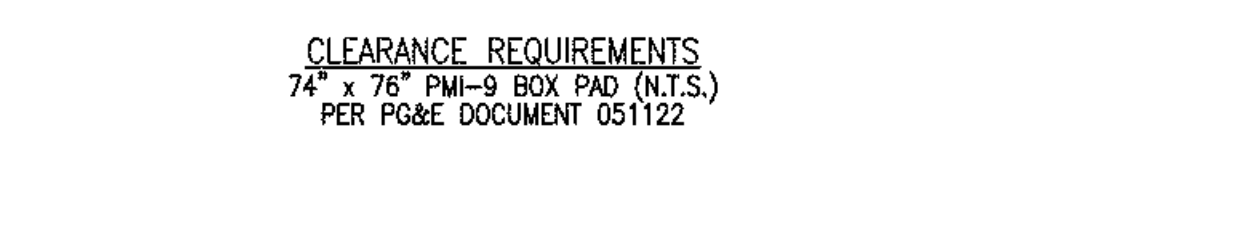
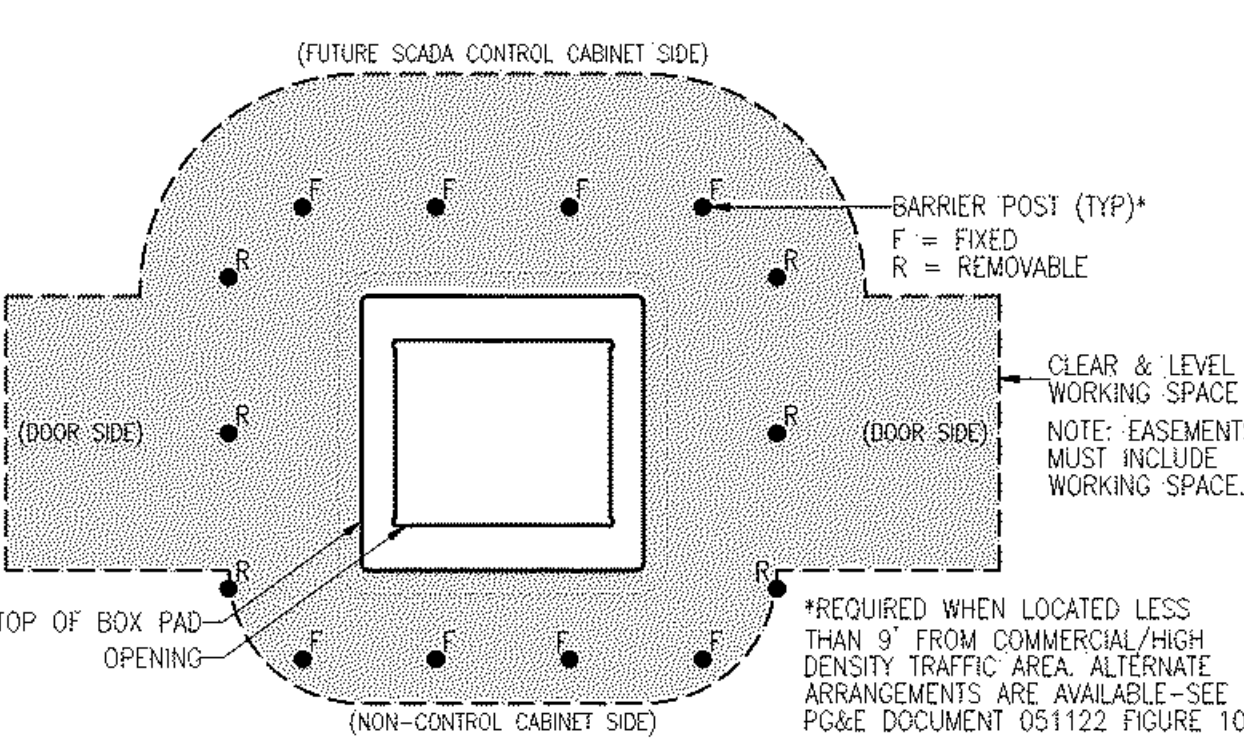
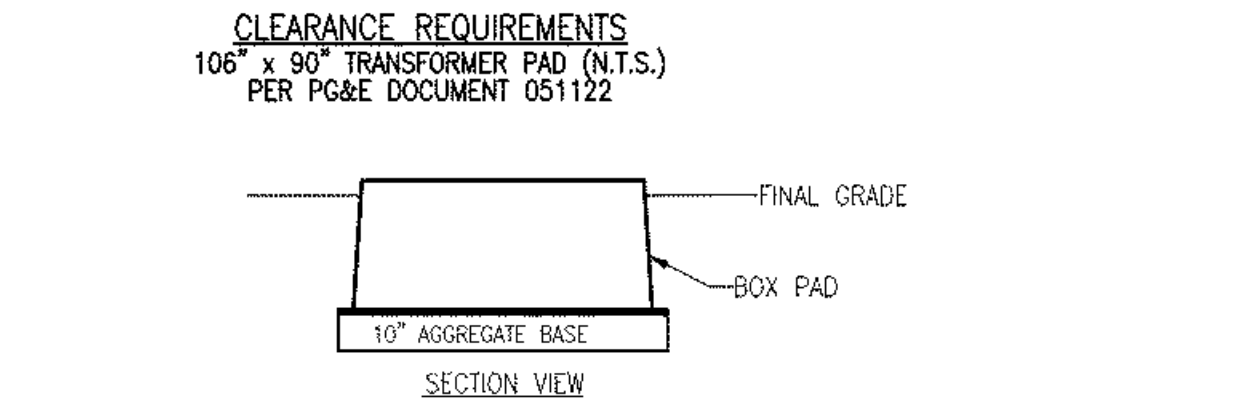
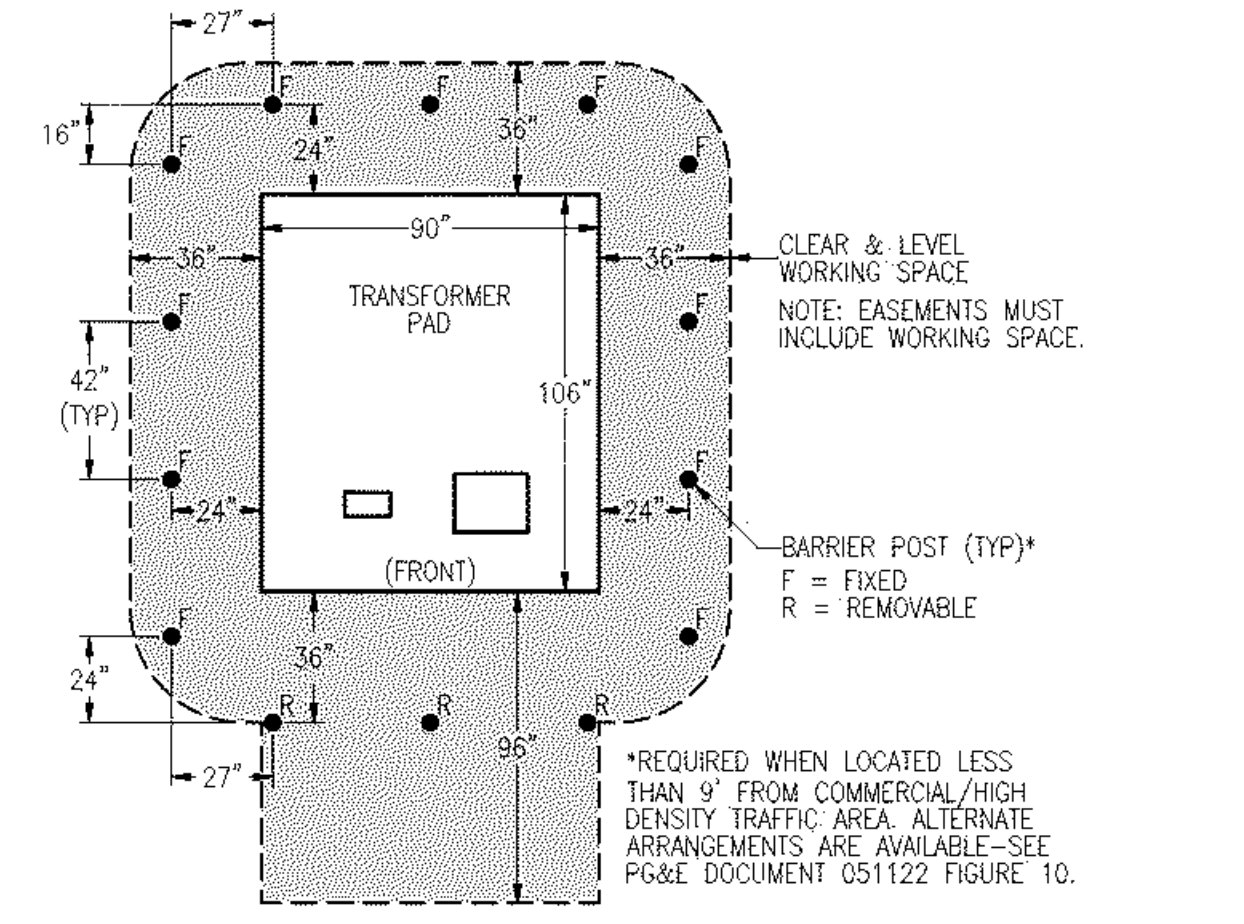
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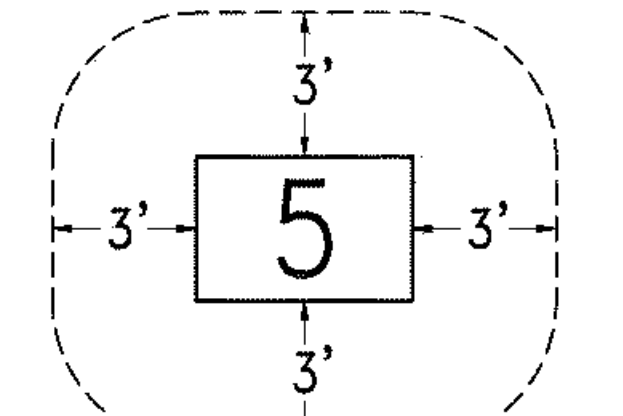
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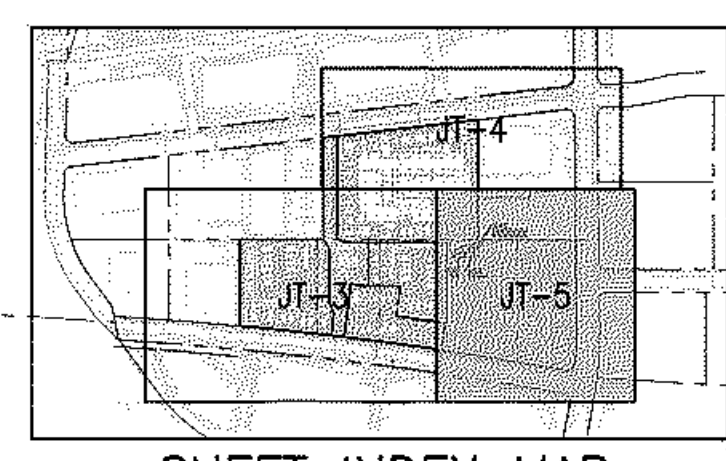
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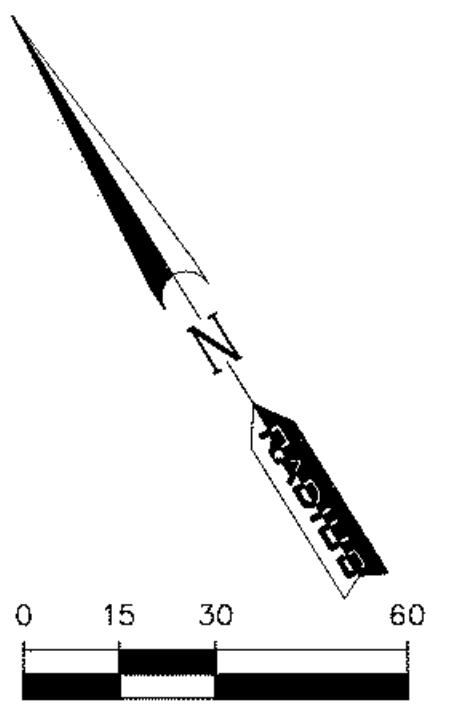
LEGEND NTS



WORK SPACE & EASEMENT REQUIREMENTS
FOR #5 VAULTS
MAINTAIN A CLEAR AND LEVEL WORK SPACE AS SHOWN (N.T.S.), PER PG&E DOCUMENT 051122.



SHEET INDEX MAP
N. T. S.



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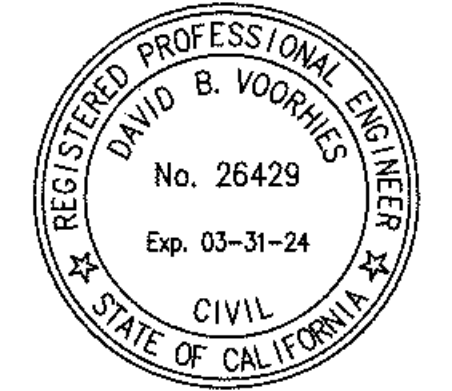
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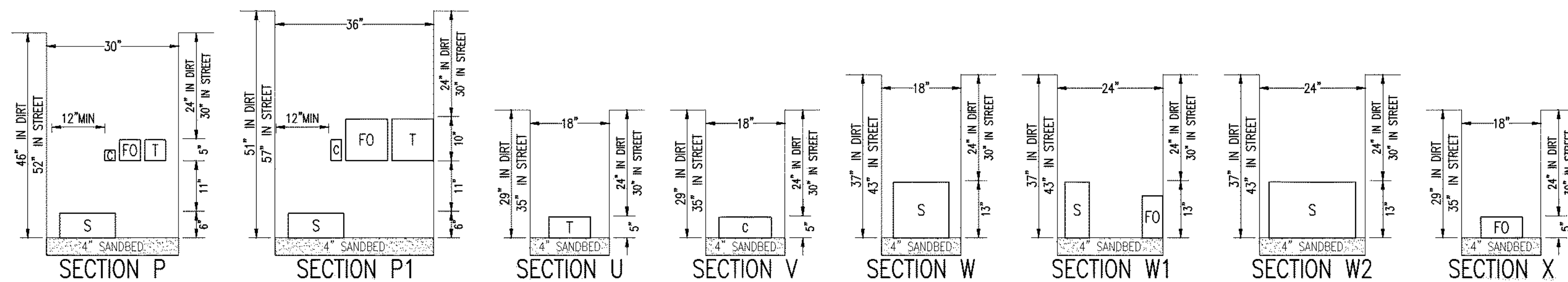
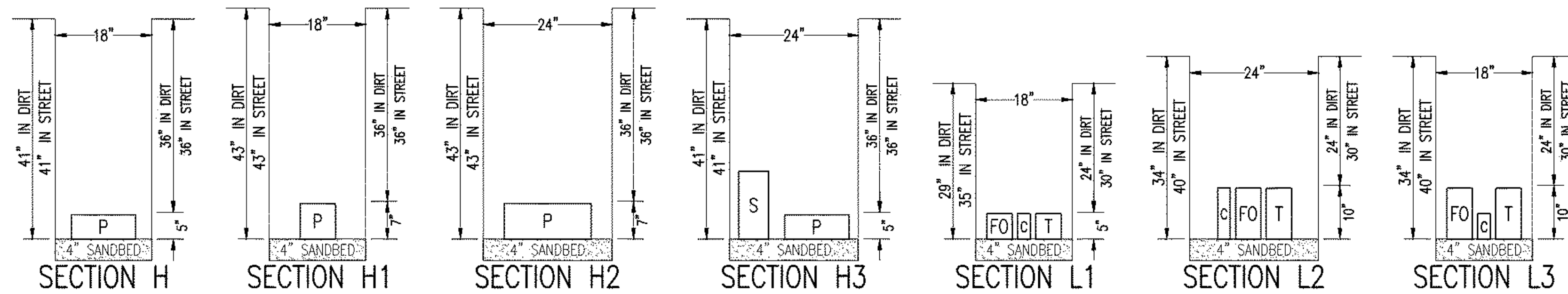
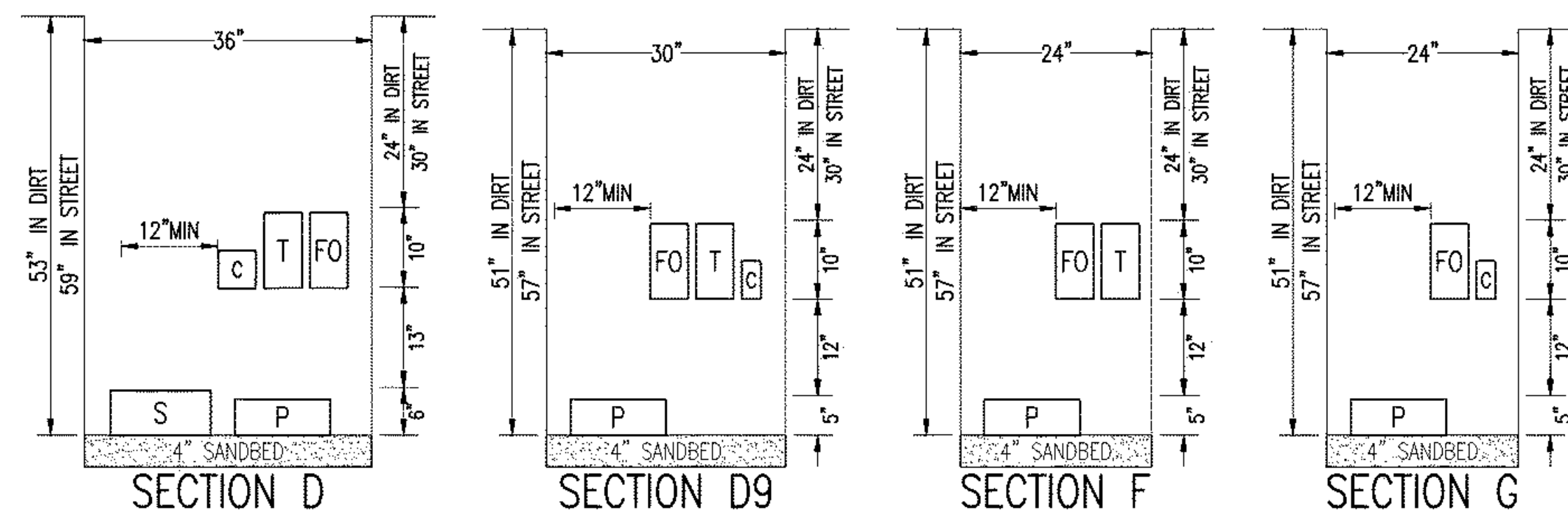
Sheet No:
JT-5



SHEET INDEX

JT-1	JOINT TRENCH TITLE SHEET
JT-2	OVERALL
JT-3,4,5	JOINT TRENCH COMPOSITE
JT-6	JOINT TRENCH SECTIONS

**-PRELIMINARY-
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TRENCH OCCUPANCY GUIDE						
SECTION	G	T	C	S	P	OTHER
A**	X	X	X	X	X	
B**	X	X	X	X	X	
C*	X		X	X	X	
D**	X	X	X	X	X	
E*	X		X	X	X	
F**	X		X	X	X	
G*			X	X	X	
H*			X	X	X	
I†	X	X	X			
J†	X	X				
K	X					
L†		X	X			
M1	X	X	X	X		
N†	X	X	X			
O	X		X			
P†	X	X	X			
Q	X		X			
R†		X	X			
S			X	X		
T	X					
U†		X				
V			X			
W				X		
X†						X

*THESE SECTIONS MAY OR MAY NOT CONTAIN SECONDARY CONDUIT
†THESE SECTIONS MAY OR MAY NOT CONTAIN C.L.E.C. FIBER CONDUIT

CONTRACTOR NOTES:

- THE SYMBOLS [P] [S] [T] [C] [FO] INDICATE OCCUPANCY ONLY. SEE ELECTRIC, GAS, CATV, TELEPHONE, AND FIBER OPTIC PLANS FOR EXACT SIZE AND NUMBER OF CONDUITS.
- THIS PLAN IS TO BE USED AS A GUIDE FOR TRENCHING WIDTH AND DEPTH AND NOT CONDUIT INSTALLATION.
- CONTRACTOR TO PROVIDE SEPARATION FROM TRENCH WALL AND OTHER FACILITIES SUFFICIENT TO ENSURE PROPER COMPACTION.
- CONTRACTOR TO INCLUDE INCIDENTAL TRENCHING IN SPlice BOX, VAULT, OR TRANSFORMER EXCAVATION IN AREAS WHERE NO ENTRANCE OR EXIT OF TRENCH IS SHOWN.
- UTILITY COMPANIES RESERVE THE RIGHT TO MAKE FIELD ADJUSTMENTS AS NECESSARY.

SOILS NOTES:

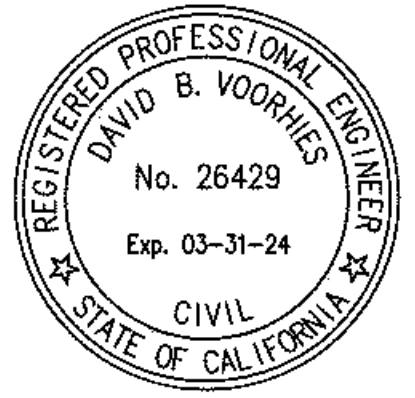
- RADIUS IS NOT RESPONSIBLE FOR ANY SOILS ENGINEERING TO DETERMINE THE ABILITY TO CONSTRUCT OR THE PROJECT CONDITIONS.
- RADIUS ASSUMES NO RESPONSIBILITY FOR ADDITIONAL WORK DUE TO ADVERSE JOB SITE CONDITIONS.
- PG&E WILL REQUIRE SOILS ANALYSIS FOR SUBSURFACE TRANSFORMER (IF APPLICABLE).

	MINIMUM SEPARATION AND CLEARANCE REQUIREMENTS FOR JOINT TRENCHES					
	G	T	C	S	P	FO
G GAS	0"	12"	12"	12"	6"	12"
T TELEPHONE (DUCT)	12"	0"	1"	12"	12"	1"
T TELEPHONE (DIRECT BURY)	12"	1"	0"	12"	12"	1"
C CATV	12"	1"	0"	12"	12"	1"
S ELECTRIC SECONDARY	6"	12"	12"	1.5"	3"	12"
P ELECTRIC PRIMARY	12"	12"	12"	3"	3"	12"
FO FIBER OPTIC	12"	1"	1"	12"	12"	0"

ABBREVIATIONS:

[P] PRIMARY (PG&E)
[S] SECONDARY (PG&E)
[C] CATV (COMCAST)
[T] PHONE (AT&T)
[FO] FIBER OPTIC (C.L.E.C.)

SHEET INDEX	
JT-1	JOINT TRENCH TITLE SHEET
JT-2	OVERALL
JT-3,4,5	JOINT TRENCH COMPOSITE
JT-6	JOINT TRENCH SECTIONS



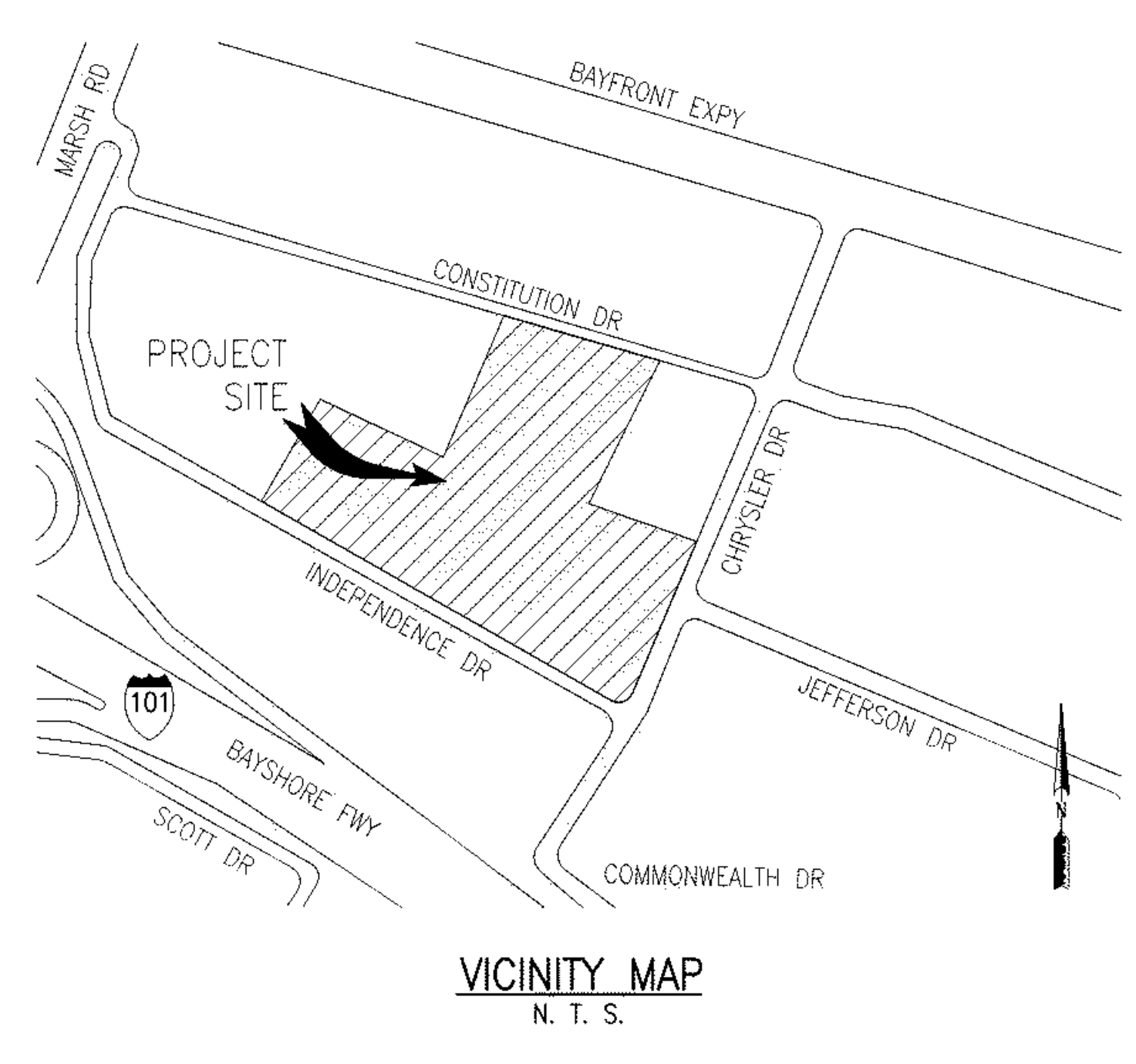
123 Independence
Menlo Park, CA

The Sobrato Organization
599 Castro Street, Suite 400
Mountain View, CA

Sheet Title:
JOINT TRENCH INTENT

Job No. 20004
Date: 06/13/2023
Scale: AS SHOWN
Drawn By: ME

Sheet No:
JT-6



WORK RESPONSIBILITY JOINT TRENCH

Activity	PG&E	ELECTRIC	TELEPHONE	C.A.T.V.	CONTRACTOR
TRENCHING (Excavate & Backfill)	●	○	○	○	○
PG&E ELECTRIC CABLE (Supply & Install)	●	○	○	○	○
ELECTRIC CONDUIT (Supply & Install)	○	○	○	○	●
ELECTRIC BOXES (Supply & Install, Excavation)	○	○	○	○	●
ELECTRIC PADS (Supply & Install, Excavation)	○	○	○	○	●
ELECTRIC TRANSFORMERS (Supply & Install)	○	○	○	○	●
ELECTRIC INTERRUPTERS (Supply & Install)	○	○	○	○	●
PG&E ELECTRIC SWITCHES (Supply & Install)	○	○	○	○	●
TELEPHONE CONDUIT (Supply & Install)	○	○	○	○	●
TELEPHONE CABLE (Supply & Install)	○	○	○	○	●
TELEPHONE SPLICE BOXES (Supply & Install, Excavation)	○	○	○	○	●
TELEPHONE S.A.I. PADS (Supply & Install, Excavation)	○	○	○	○	●
C.A.T.V. CONDUIT (Supply & Install)	○	○	○	○	●
C.A.T.V. SPLICE BOXES (Supply & Install, Excavation)	○	○	○	○	●
C.L.E.C. FIBER CONDUIT (X ACCEPTED / DECLINED) (Supply & Install)	○	○	○	○	●
C.L.E.C. FIBER SPLICE BOXES (X ACCEPTED / DECLINED) (Supply & Install, Excavation)	○	○	○	○	●

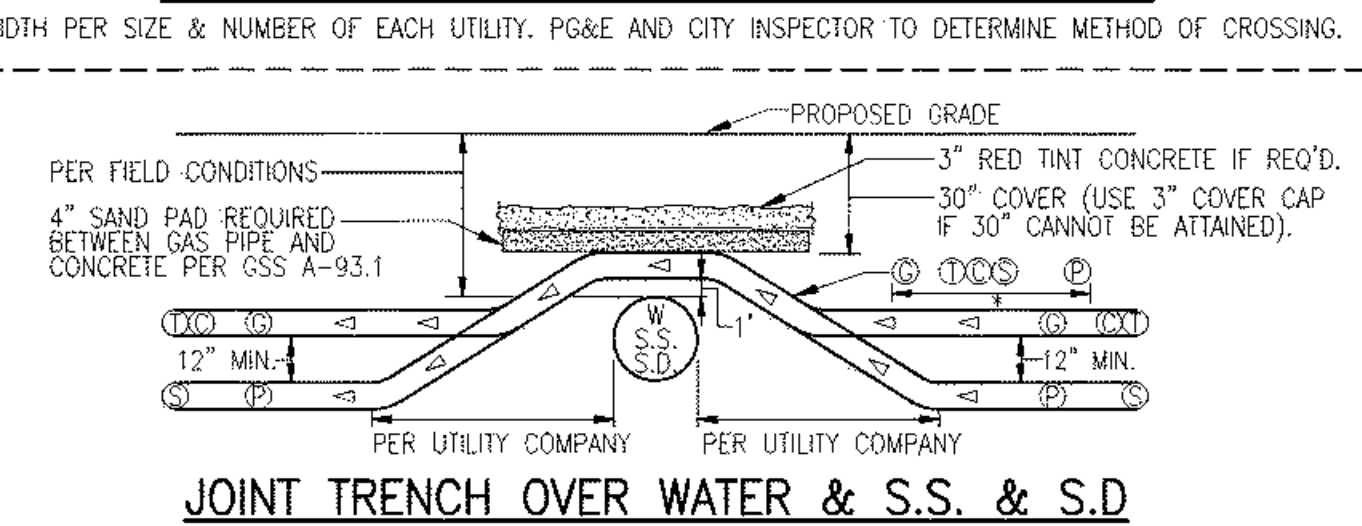
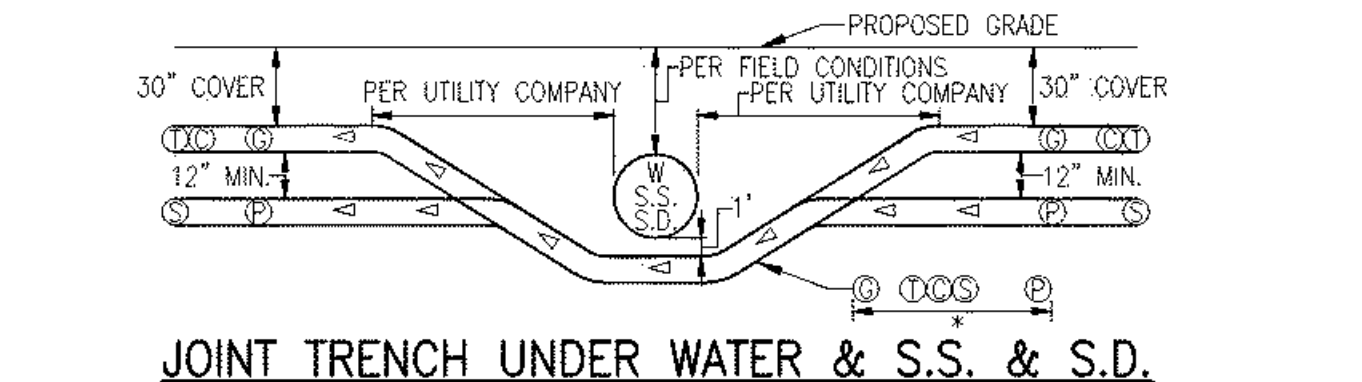
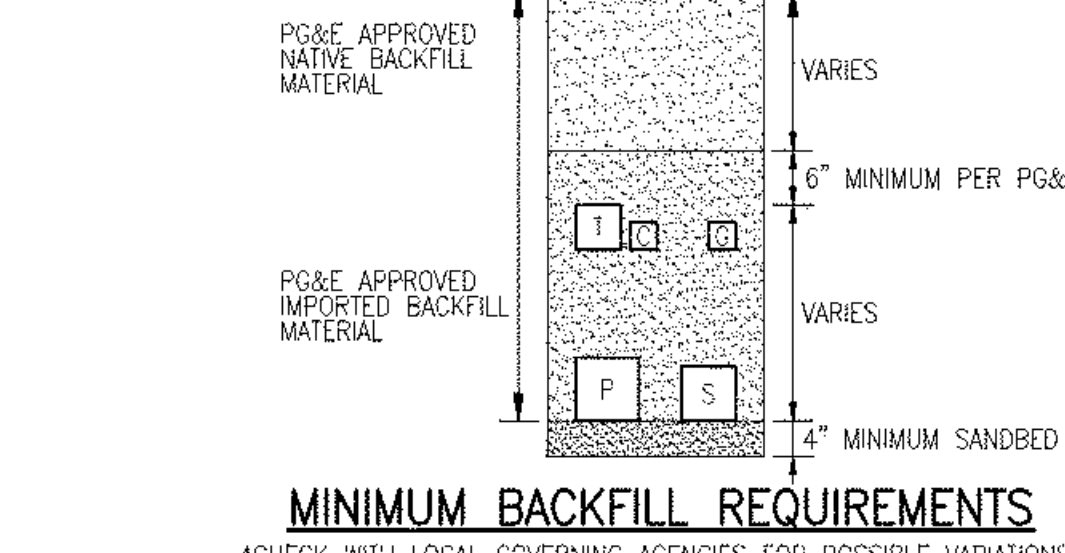
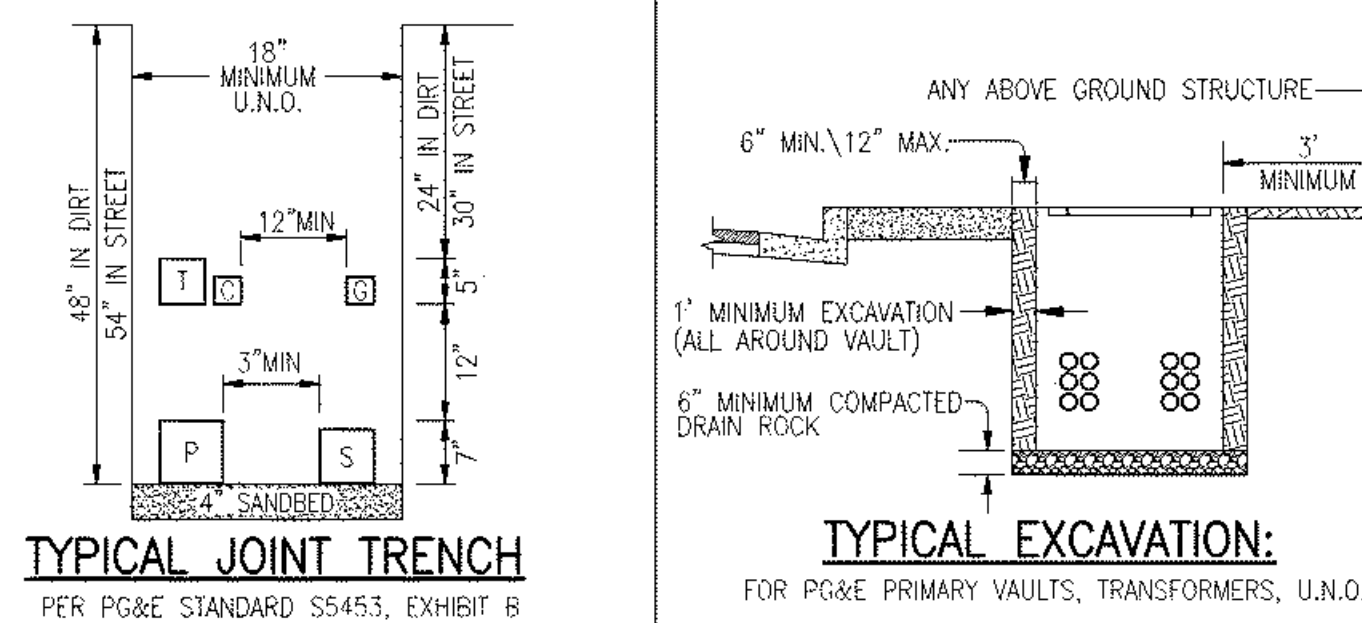
- WORK TO BE PERFORMED BY THE RESPECTIVE CONTRACTOR & UTILITY COMPANIES
- ASSUME CONTRACTOR RESPONSIBILITY UNLESS OTHERWISE SPECIFIED
- NOT APPLICABLE UNLESS OTHERWISE SPECIFIED
- * PG&E TO PULL CABLE INTO ENERGIZED ENCLOSURES
- NOTE: FOR A MORE DETAILED WORK RESPONSIBILITY BREAKDOWN, SEE CORRESPONDING MATERIAL LIST.

THESE PLANS WERE PREPARED IN CONJUNCTION WITH THE FOLLOWING PLANS:

DESCRIPTION	DATE	RECEIVED	APPROVED
CIVIL IMPROVEMENT PLANS/GRADING PLANS	01-11-2022	PRELIMINARY	
ARCHITECTURAL/ELECTRONIC FILE	06-08-2023	PRELIMINARY	
APPLICANT DESIGN (GAS)	N/A	N/A	
APPLICANT DESIGN (ELECTRIC)	07-01-2022	PRELIMINARY	
TELEPHONE	07-06-2022	PRELIMINARY	
C.A.T.V.	07-06-2022	PRELIMINARY	
C.L.E.C.	07-05-2022	PRELIMINARY	
LANDSCAPE	03-17-2022	PRELIMINARY	
LIGHT LOCATIONS	08-25-2022	PRELIMINARY	

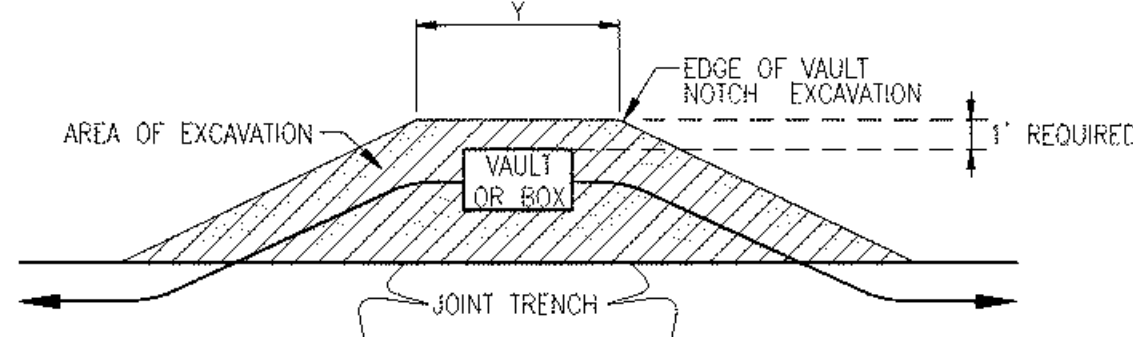
RADIUS DESIGN is not responsible for any subsequent changes or revisions.

OTHER UTILITIES SHOWN ARE APPROXIMATE AND BASED ON FIELD SURVEY AND AVAILABLE UTILITY INFORMATION. IT IS THE CONTRACTORS' RESPONSIBILITY TO VERIFY THE ACTUAL LOCATION AND EXTENT OF UTILITIES PRIOR TO THE COMMENCEMENT OF WORK. PHYSICAL VERIFICATION OF UTILITY LOCATIONS SHALL BE PERFORMED BY CAREFUL PROBING OR HAND DIGGING IN ACCORDANCE WITH ARTICLE 6 OF THE CAL/OSHA CONSTRUCTION SAFETY ORDERS.



NOTE: TRENCH DEPTH NOT TO EXCEED 5' UNLESS APPROVED BY PG&E INSPECTOR. IN NO CASE SHOULD PLASTIC GAS PIPE BE INSTALLED AT A DEPTH GREATER THAN 10' UNLESS APPROVED BY PG&E SENIOR GAS ENGINEER.

TRENCHING CONTRACTOR SHALL NOT ASSUME THAT EITHER OF THE ABOVE DETAILS WILL BE ACCEPTABLE TO PG&E. YOU ARE REQUIRED TO CONTACT THE LOCAL PG&E ENGINEERING OFFICE WITH ANY ISSUE RELATING TO COVERS LESS THAN MINIMUM OR COVERS REQUIRING SHORING. CONCRETE CAPPING IS ONLY ACCEPTABLE WHERE NO OTHER SOLUTION IS POSSIBLE AND ONLY WHEN CERTAIN CRITERIA ARE MET AND ONLY WITH PG&E APPROVAL.



PRIMARY BOX SIZE	NOTE:
3' x 5'	
4'-6" x 8'-6"	DISTANCE VARIES PER FIELD CONDITIONS

CONDUIT DIAMETER	VERTICAL RADIUS	HORIZONTAL RADIUS
2"	24"	36"
3"	24"	36"
4"	36"	36"
5"	36"	60"

NOTE: 315' MAX BENDS IN ANY SECONDARY CONDUIT RUN 200' OR LESS. 300' MAX BENDS IN ANY PRIMARY CONDUIT RUN.

TYPICAL GAS METER REQUIREMENTS*

METER TYPE	LOAD (SCFH)	DELIVERY PRESSURE** (PSIG)	PAD SIZE (INCHES)	MIN. WIDTH REQUIRED FOR METER "X" (INCHES)	DISTANCE FROM RISER TO FINISHED WALL (INCHES)	MIN. HOUSELINE STUB OUT (INCHES)
TYPICAL RESIDENTIAL	0-350	0.25	N/A UNLESS USING FLEX-HOSE METER	24	6 TO 9	4
400 TO 1000 CLASS	351-1,400	0.25	N/A UNLESS USING FLEX-HOSE METER	30	6 TO 9	6
1.5M OR 3M ROTARY	1,401-3,000	APPROVED BY PG&E	40 x 36 x 4	52	20	VARIES
5M OR 7M ROTARY	3,001-7,000	APPROVED BY PG&E	78 x 36 x 4	90	20	VARIES
11M OR 16M ROTARY	7,001-16,000	APPROVED BY PG&E	94 x 36 x 4	106	20	VARIES

*ACTUAL METER-SET CONFIGURATIONS MAY DIFFER DEPENDING ON FIELD CONDITIONS AND RESTRICTIONS. FOR GAS METER DETAILS, SEE SECTION 2 OF CURRENT ELECTRIC & GAS SERVICE REQUIREMENTS GREENBOOK BY PG&E. PG&E STANDARD METER SPACING REQUIREMENTS DO NOT INCLUDE CLEARANCE FOR EARTHQUAKE VALVES OR OTHER ADDITIONAL SAFETY EQUIPMENT. SEE NOTE 17 UNDER GENERAL NOTES ON SHEET JT-1.

**DELIVERY PRESSURE TO BE CONFIRMED VIA BUILDING PLUMBING AND MECHANICAL PLANS. PG&E MAINTAINS SOLE AUTHORITY TO DETERMINE IF THE ELEVATED DELIVERY-PRESSURE SERVICE IS AVAILABLE AT A SPECIFIC LOCATION.

GENERAL NOTES:

- JOINT TRENCH MUST BE INSTALLED ENTIRELY WITHIN AN EASEMENT. EASEMENTS FOR JOINT TRENCH SERVICE LATERALS WITHIN PROJECT ON PRIVATE PROPERTY ARE AT THE DISCRETION OF THE UTILITY COMPANIES.
- ALL DEPTHS AND RESULTING COVER REQUIREMENTS ARE MEASURED FROM FINAL GRADE.
- COVER, CLEARANCES, AND SEPARATION SHALL BE AS GREAT AS PRACTICABLE UNDER THE CIRCUMSTANCES, BUT UNDER NO CIRCUMSTANCES SHALL BE LESS THAN THE MINIMUM COVER, CLEARANCE, AND SEPARATION REQUIREMENTS SET FORTH IN GENERAL ORDER 128 AND 48CFR 192.321, 48CFR 192.325, AND 48CFR 192.327. ALL FACILITIES SHALL BE ANCHORED IN PLACE PRIOR TO COMPACTION. OTHER MEANS SHALL BE TAKEN TO ENSURE NO MOTION OF THE FACILITIES. DIMENSIONAL REQUIREMENTS FOR SHADING, LEVELING, AND BACKFILLING SHALL BE DETERMINED SUBSEQUENT TO COMPACTION.
- TRENCH DIMENSIONS SHOWN ARE TYPICAL. TRENCH SIZES AND CONFIGURATIONS MAY VARY DEPENDING UPON OCCUPANCY AND/OR FIELD CONDITIONS. TRENCH SIZE AND CONFIGURATION MUST AT ALL TIMES BE CONSTRUCTED IN A MANNER THAT ENSURES PROPER CLEARANCES AND COVER REQUIREMENTS ARE MET. ANY "CHANGE" TO THE TRENCH WIDTH AND CONFIGURATIONS AS SHOWN IN THIS EXHIBIT MUST BE DESIGNED TO ENSURE THIS REQUIREMENT.
- IT IS PREFERRED TO HAVE NON-PG&E OWNED STREETLIGHTS AT A LEVEL OTHER THAN THE GAS OR ELECTRIC LEVEL. NON-PG&E OWNED STREETLIGHTS MAY BE AT THE ELECTRIC LEVEL OF THE TRENCH AS LONG AS MINIMUM CLEARANCES ARE PROVIDED AND COMPLY WITH ALL SPECIAL NOTES FOR A JOINT TRENCH WITH A SECOND ELECTRIC UTILITY.
- NON-UTILITY FACILITIES ARE NOT ALLOWED IN ANY JOINT UTILITY TRENCH, E.G., IRRIGATION CONTROL LINES, BUILDING FIRE ALARM SYSTEMS, PRIVATE TELEPHONE SYSTEMS, OUTDOOR ELECTRICAL CABLE, ETC.
- WHEN COMMUNICATION DUCTS ARE INSTALLED, A MINIMUM OF 12" RADIAL SEPARATION SHALL BE MAINTAINED FROM GAS FACILITIES. EXCEPTION: WITH MUTUAL AGREEMENT OF ALL UTILITIES, IF A 3" DIAMETER OR SMALLER GAS PIPE IS INSTALLED, THE SEPARATION MAY BE REDUCED TO NOT LESS THAN 6 INCHES.
- PROVIDE SEPARATION FROM TRENCH WALL AND OTHER FACILITIES SUFFICIENT TO ENSURE PROPER COMPACTION.
- MAINTAIN PROPER SEPARATION BETWEEN PG&E FACILITIES AND "WET" UTILITY LINES AS DESCRIBED IN UO STANDARD 55453. THE MINIMUM ALLOWABLE HORIZONTAL SEPARATION BETWEEN COMPANY FACILITIES AND "WET" FACILITIES IS 3' WITH A MINIMUM 1' OF UNDISTURBED EARTH OR THE INSTALLATION OF A SUITABLE BARRIER BETWEEN THE FACILITIES. IF A 3' HORIZONTAL SEPARATION CANNOT BE ATTAINED BETWEEN "WET" UTILITIES AND COMPANY DRY FACILITIES, A VARIANCE MAY BE APPROVED BY THE LOCAL INSPECTION SUPERVISOR AND SUBMITTED TO THE SERVICE PLANNING SUPPORT PROGRAM MANAGER FOR APPROVAL. SEPARATIONS OF 1' OR LESS ARE NOT PERMISSIBLE AND WILL NOT BE ALLOWED. THE COMPANY MAY AGREE TO WAIVE THE MINIMUM 3' SEPARATION REQUIREMENT AT THE REQUEST OF AN APPLICANT IF WARRANTED AND THE NEED IS JUSTIFIED. THE REQUEST FOR A WAIVER MUST:
 - BE MADE IN WRITING AND SUBMITTED TO THE COMPANY ADE DURING THE PLANNING AND DESIGN PHASE OF THE PROJECT.
 - CLEARLY DESCRIBE THE CONDITIONS NECESSITATING THE WAIVER.
 - INCLUDE A PROPOSED DESIGN, AND INCLUDE A DESIGN FOR A BARRIER BETWEEN THE "WET" UTILITIES AND COMPANY DRY FACILITIES IN THE EVENT 1' OF UNDISTURBED EARTH CANNOT BE MAINTAINED. NOTE: DRAIN LINES CONNECTED TO DOWNSPOUTS ON BUILDINGS ARE CONSIDERED A "WET" UTILITY FOR THE PURPOSES OF THIS STANDARD.
- SEPARATIONS SHALL BE MAINTAINED AT ABOVE GROUND TERMINATION POINTS.
- PROCEDURES FOR APPROVING NATIVE BACKFILL FOR SHADING AT PG&E GAS FACILITIES:
 - RANDOM SOIL SAMPLES SHALL BE TAKEN FROM A MINIMUM OF 3 LOCATIONS PER 1,000' OF TRENCH. 100% OF THE SAMPLE MUST PASS THROUGH A 1/2" SIEVE AND 75% MUST PASS THROUGH A #4 SCREEN. ADDITIONAL SAMPLES MUST BE TAKEN IF EXISTING SOIL CONDITIONS CHANGE AND ARE TO BE TAKEN AT THE DISCRETION OF THE PG&E REPRESENTATIVE ON SITE.
 - THE SOILS MUST NOT CONTAIN ANY ROCKS THAT HAVE SHARP EDGES OR THAT MAY OTHERWISE BE ABRASIVE.
 - THE SOILS MUST NOT CONTAIN CLODS LARGER THAN 1 1/2" IF TO BE USED AS SHADING, BEDDING, OR LEVELING MATERIALS.
 - COMPACTION REQUIREMENTS MUST MEET ANY APPLICABLE PG&E, FEDERAL, STATE, COUNTY, OR LOCAL REQUIREMENTS.
 - AT NO TIME SHALL THE OVER SATURATION OF NATIVE SOILS BE USED TO ACHIEVE THESE REQUIREMENTS.
 - THE SIEVES AND SCREENS SHALL BE:
 - 1/2" SIEVE: 8" DIAMETER BY 2" DEEP, STAINLESS STEEL MESH SCREEN.
 - #4 SCREEN: 8" DIAMETER BY 2" DEEP, STAINLESS STEEL MESH SCREEN.
- PROCEDURES FOR APPROVING NATIVE BACKFILL FOR SHADING AT PG&E ELECTRIC FACILITIES:
 - RANDOM SOIL SAMPLES SHALL BE TAKEN FROM A MINIMUM OF 3 LOCATIONS PER 1,000' OF TRENCH. 100% OF THE SAMPLES MUST BE TAKEN IF EXISTING SOIL CONDITIONS CHANGE AND ARE TO BE TAKEN AT THE DISCRETION OF THE PG&E REPRESENTATIVE ON SITE.
 - SHADING MATERIAL CONTAINING LARGE ROCK, PAVING MATERIAL, CINDERS, SHARPLY ANGULAR SUBSTANCES, OR CORROSIVE MATERIAL SHALL NOT BE PLACED IN THE TRENCH WHERE SUCH MATERIAL MAY DAMAGE THE CONDUITS AND/OR PREVENT PROPER COMPACTION OVER OR AROUND THE CONDUITS.
 - NATIVE SOILS CONTAINING CLODS NOT TO EXCEED 6" IN DIAMETER MAY BE INCLUDED IN THE SHADING MATERIAL PROVIDED THE CLODS ARE READILY BREAKABLE BY HAND. NOTE: SOILS CONSISTING PRIMARILY OF ADOBE, HARD COMPACT (DENSE) CLAY, AND BAY MUDS SHALL NOT BE USED AS SHADING MATERIAL.
 - AT NO TIME SHALL THE OVER SATURATION OF NATIVE SOILS BE USED TO ACHIEVE THESE REQUIREMENTS.
 - REFER TO ENGINEERING DOCUMENT 962286, ITEM 13 ON PAGE 2.
- COMPETENT NATIVE SOILS ARE PREFERRED TO BE USED FOR SHADING, BEDDING, AND BACKFILLING THROUGHOUT THE TRENCH.
- WHERE NATIVE SOILS EXCEED 1/2" MINUS AND/OR WHERE GAS IS TO BE PLACED AT THE BOTTOM OF A TRENCH IN AREAS THAT EXCEED 1/2" MINUS SOIL CONDITIONS, OR WHERE THE BOTTOM OF A TRENCH IS CONSIDERED TO CONSIST OF HARD PAN, PG&E APPROVED 1/2" MINUS IMPORT MATERIAL SHALL BE USED FOR SHADING AND/OR BEDDING OF GAS FACILITIES.
- PG&E APPROVED IMPORT MATERIAL IS PER CGT ENGINEERING GUIDELINE 4123.
- IF A LEVELING COURSE IS REQUIRED FOR GAS FACILITIES, THE USE OF NATIVE SOILS IS PREFERRED, BUT IF 1/2" MINUS CONDITIONS ARE NOT ATTAINABLE WITH THE NATIVE SOILS, THEN THE USE OF PG&E APPROVED IMPORT MATERIALS IS REQUIRED. BEDDING UNDER GAS FACILITIES WILL BE A MINIMUM OF 2" OF COMPACTED 1/2" MINUS NATIVE SOILS OR PG&E APPROVED IMPORT MATERIAL.
- FOR ELECTRIC FACILITIES, REFER TO NOTE 12. THIS APPLIES TO LEVELING COURSES AS WELL AS SHADING.
- THE MINIMUM PG&E APPROVED BEDDING MATERIAL MAY BE INCREASED AT THE DISCRETION OF PG&E WHEN WARRANTED BY EXISTING FIELD CONDITIONS (E.G., ROCKY SOILS, HARD PAN, ETC.).
- THE USE OF ANY IMPORTED MATERIAL FOR BACKFILLING PURPOSES SHALL BE LIMITED TO THOSE SITUATIONS WHEN NATIVE SOILS DO NOT ALLOW FOR REQUIRED COMPACTION.
- THE APPLICANT IS RESPONSIBLE FOR THE REMOVAL OF EXCESS SPOIL AND ASSOCIATED COSTS.
- SEPARATION BETWEEN GAS FACILITIES AND ELECTRIC FACILITIES MAY BE REDUCED TO 6" WHEN CROSSING.
- SERVICE SADDLES ARE THE PREFERRED SERVICE FITTINGS FOR USE THROUGHOUT THE JOINT TRENCH PROJECT. ALL PROJECTS WILL BE DESIGNED AND ESTIMATED USING SERVICE SADDLES. HOWEVER, SERVICE TEES MAY BE USED IF ALL CLEARANCES, SEPARATION, AND COVERAGE REQUIREMENTS ARE MAINTAINED.
- CONTRACTOR TO INCREASE METER SPACING AS NECESSARY WHEN EARTHQUAKE VALVES OR OTHER ADDITIONAL SAFETY EQUIPMENT ARE REQUIRED. EARTHQUAKE VALVES ARE REQUIRED IN SOME AREAS AND ARE NOT PART OF PG&E/RADIUS SCOPE. THIS INFORMATION CAN BE FOUND ON BUILDING MECHANICAL ENGINEER'S PLANS. PG&E STANDARD METER SPACING REQUIREMENTS DO NOT INCLUDE CLEARANCE FOR EARTHQUAKE VALVES.

TRANSFORMER CLEARANCE REQUIREMENTS:

- ABOVE ANY THREE PHASE PAD-MOUNTED TRANSFORMER LOCATION (EXCEPT MINI THREE PHASE), MAINTAIN 30' MINIMUM UNOBSTRUCTED OVERHEAD CLEARANCE OVER TRANSFORMER PAD.
- ABOVE ANY OTHER TRANSFORMER LOCATION, MAINTAIN 20' MINIMUM UNOBSTRUCTED OVERHEAD CLEARANCE OVER TRANSFORMER VAULT/PAD.

GAS PIPELINE UNDERGROUND WARNING TAPE NOTES:

- A WARNING TAPE IS TO BE INSTALLED IN OPEN TRENCH INSTALLATION OVER GAS PIPELINES IN BOTH TRANSMISSION AND DISTRIBUTION FACILITIES. THIS INCLUDES TRENCHES, BELL HOLES, EXCAVATIONS FOR REPAIR PURPOSES AND RISER REPLACEMENTS. THE WARNING TAPE IS INTENDED FOR EXCAVATOR DIGGING IN THE "TOLERANCE ZONE" TO STRIKE THE WARNING TAPE PRIOR THAN THE PIPELINE. WHEN THE WARNING TAPE IS STRUCK AND GRABBED WITH EXCAVATING EQUIPMENT, IT STRETCHES WITHOUT BREAKING, THUS ALERTING THE EXCAVATOR OF THE GAS FACILITY BELOW.
- INSTALL 6" WIDE WARNING TAPE ABOVE THE GAS PIPELINE AT LEAST 12" BELOW GRADE AND NO CLOSER THAN 12" FROM THE PIPE. INSTALLATION SHOULD PROVIDE THE GREATEST DISTANCE BETWEEN THE PIPELINE AND THE TAPE AS POSSIBLE. INSTALL THE TAPE ALONG THE LENGTH OF THE EXCAVATION. ENSURE THAT THE TAPE OVERLAPS WHEN TWO OR MORE PIECES OF TAPE ARE USED. EXCEPTION: WHEN A JOINT TRENCH DESIGN DOES NOT ALLOW FOR INSTALLATION OF WARNING TAPE WITHIN THE "WARNING TAPE INSTALLATION ZONE", INSTALL THE WARNING TAPE A MINIMUM OF 6" ABOVE THE GAS PIPELINE, AND BELOW THE FACILITY ABOVE THE PIPE.
- WARNING TAPE SHALL BE BRIGHTLY COLORED YELLOW AND MARKED "CAUTION: GAS LINE BURIED BELOW" OR MARKED WITH A SIMILAR NOTIFICATION.
- WARNING TAPE SHALL BE STORED IN SUCH A MANNER THAT LIMITS ULTRAVIOLET (UV) EXPOSURE.

TYPICAL DETAIL
GAS PIPELINE UNDERGROUND WARNING TAPE INSTALLATION (N.T.S.)

PG&E PM#S:
ELECTRIC: 32555076
ASSOCIATED WITH NEW BUSINESS PM#S
35299547 (TOWNHOMES)
35299689 (APARTMENTS)

DESIGN CHANGE COMPONENT
ANY CHANGES TO THIS DESIGN MUST BE APPROVED BY
PG&E ADE

CONSTRUCTION NOTES:

- ALL TRENCHING, BACKFILLING AND INSTALLATION BY CONTRACTOR MUST COMPLY WITH PG&E UO STANDARD 55453 (EFFECTIVE DATE 7-5-2006).
- ALL WORK MUST COMPLY WITH P.E., TELEPHONE, C.A.T.V. STANDARDS AND PRACTICES. ALL WORK MUST BE INSPECTED AND APPROVED BY RESPECTIVE INSPECTORS. RANDOM SOIL SAMPLES SHALL BE TAKEN FROM A MINIMUM OF THREE LOCATIONS PER 1,000' OF TRENCH. 100% OF THE SAMPLE MUST PASS THROUGH A 1/2" SIEVE AND 75% MUST PASS THROUGH A #4 SCREEN. ADDITIONAL SAMPLES MUST BE TAKEN IF EXISTING SOIL CONDITIONS CHANGE AND IS TO BE AT THE DISCRETION OF THE PG&E REPRESENTATIVE ON SITE. THE SOILS MUST NOT CONTAIN ANY ROCKS THAT HAVE SHARP EDGES OR THAT MAY OTHERWISE BE ABRASIVE. THE SOILS MUST NOT CONTAIN CLODS LARGER THAN 1 1/2" IF TO BE USED AS SHADING, BEDDING OR LEVELING MATERIALS. COMPACTION REQUIREMENTS MUST MEET ANY APPLICABLE PG&E, FEDERAL, STATE, COUNTY OR LOCAL REQUIREMENTS. ANY NATIVE SOILS OR IMPORT MATERIALS USED MUST NOT HINDER THOSE EFFORTS.
- BACKFILL SHALL BE APPROVED BY THE UTILITY COMPANIES AND THE CITY. COMPACTION WILL BE TESTED AND PASSED BY THE SOILS ENGINEER.
- IF SOIL IS NOT ROCK FREE, ADD 4" DEPTH OF TRENCH FOR SAND BEDDING.
- VERIFY SPLICE BOX EXCAVATION SIZES WITH SUPPLIER(S).
- THE TRENCHING CONTRACTOR SHALL COORDINATE THE UTILITY COMPANIES' INSTALLATION. THE TRENCHING CONTRACTOR TO PLACE CONNECTING CONDUIT WITHIN 5' OF BUILDING EXTERIOR WALL.
- CONTRACTOR SHALL MAKE HIMSELF FAMILIAR WITH THE PROJECT IMPROVEMENT PLANS AND CONDUCT HIS WORK ACCORDINGLY.
- IT IS THE TRENCHING CONTRACTOR'S RESPONSIBILITY TO PROTECT IN PLACE ALL EXISTING FACILITIES. NO EXTRA PAYMENT WILL BE CONSIDERED FOR CROSSING OTHER SYSTEMS.
- RADIUS DESIGN ASSUMES NO RESPONSIBILITY FOR THE PROJECT CONDITIONS. THESE DRAWINGS WERE PREPARED USING DATA SUPPLIED BY PG&E, TELEPHONE, C.A.T.V., IMPROVEMENT PLANS AND THE CITY'S VARIOUS "AS BUILT" INFORMATION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PHYSICALLY REVIEW THE PROJECT PRIOR TO SUBMITTING HIS BID.
- CONTRACTOR WILL COMPLY WITH ALL LAWS, ORDINANCES AND REGULATIONS. CONTRACTOR SHALL BE FAMILIAR WITH O.S.H.A., INDUSTRIAL SAFETY ORDERS AND SHALL CONDUCT HIS WORK ACCORDINGLY. WHEN WORKING NEAR ENERGIZED OR "HOT" EQUIPMENT, THE UTILITY OWNER SHALL BE NOTIFIED TO SUPPLY THE APPROPRIATE MAN POWER. PUBLIC SAFETY AND TRAFFIC CONTROL MEASURES ARE THE CONTRACTOR'S RESPONSIBILITY.
- THE CONTRACTOR SHALL PROTECT CONSTRUCTION STAKING. HE SHALL COORDINATE STAKING WITH THE PROJECT'S CIVIL ENGINEER.
- CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT (USA) TWO WORKING DAYS PRIOR TO START OF WORK.
- CONTRACTOR SHALL NOTIFY INSPECTORS OF ANY POTENTIAL CONFLICTS PRIOR TO START OF WORK.
- THIS PLAN IS TO BE USED FOR SOLE PURPOSE OF DIGGING THE JOINT TRENCH. SEE PG&E, AT&T, AND COMCAST PLANS FOR EXACT SIZE AND NUMBER OF CONDUITS INSTALLED IN THE JOINT TRENCH. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THE CORRECT NUMBER, SIZE AND TYPES OF CONDUITS ARE INSTALLED PER THE ENGINEERED PLANS BY EACH UTILITY COMPANY.
- NOTE: PLANS ISSUED AT THE PRE-CONSTRUCTION MEETING MAY BE SUBJECT TO REVISIONS, IF FINAL PLANS FROM EACH UTILITY COMPANY WERE NOT AVAILABLE AT THE START OF CONSTRUCTION.
- WATER, SEWER, DRAINS, SANITARY WASTE, FUELS (INCLUDING DIESEL AND GASOLINE), OIL, PROPANE AND OTHER VOLATILE HEAVIER THAN AIR GASES, SPRINKLER, IRRIGATION, STEAM AND OTHER "WET" FACILITIES SHALL MAINTAIN A MINIMUM OF THREE FEET FROM THE NEAREST OUTER SURFACE OF PG&E FACILITIES WITH NO LESS THAN ONE FOOT OF EARTH (SOIL BARRIER) BETWEEN THE ADJACENT SIDES OF THE INDIVIDUAL TRENCHES.
- IN THE EXTRAORDINARY CASE THAT THE MINIMUM THREE FOOT HORIZONTAL SEPARATION CANNOT BE ATTAINED BETWEEN "WET" UTILITIES AND COMPANY DRY FACILITIES, A VARIANCE MAY APPROVED BY THE LOCAL INSPECTION SUPERVISOR AND SUBMITTED TO SERVICE PLANNING SUPPORT PROGRAM MANAGER FOR APPROVAL.
- ALL METER PANELS: INDIVIDUAL RESIDENTIAL OR NONRESIDENTIAL APPLICANTS WITH A METER PANEL RATING OF ANY SIZE, INSTALLED INSIDE A METER ROOM OR OTHER STRUCTURE, MUST FOLLOW ALL OF THE REQUIREMENTS DESCRIBED BELOW.
 - INSTALL, OWN, AND MAINTAIN A SEPARATE, NOMINAL 2-INCH DIAMETER CONDUIT WITH PULL TAPE INSIDE THE CONDUIT AND PULL TAPE MUST EXTEND FROM THE OUTSIDE SURFACE OF THE BUILDING AND TERMINATE OUTSIDE THE METER PANEL OR SWITCHBOARD AT THE TOP OF THE METER SECTION.
 - ENSURE THE 2-INCH DIAMETER CONDUIT AND PULL TAPE EXIT THE OUTSIDE OF THE BUILDING A MINIMUM OF 8 FEET AND A MAXIMUM OF 10 FEET ABOVE GROUND. THE OPEN END OF THE CONDUIT THAT IS EXPOSED TO THE OUTSIDE MUST HAVE A REMOVABLE, TEMPORARY CAP OR PLUG.
 - DO NOT USE THE CONDUIT. THE CONDUIT IS FOR PG&E'S METERING EQUIPMENT ONLY.
- THIS JOINT TRENCH PLAN WAS PREPARED BASED ON TOPOGRAPHICAL SURVEY AS PROVIDED BY A CIVIL ENGINEER. THE CONTRACTOR IS CAUTIONED THAT EXPLORATORY WORK IS NECESSARY TO DETERMINE THE ACTUAL LOCATION OF ANY EXISTING UTILITY. RADIUS STRONGLY RECOMMENDS THAT ALL UTILITIES BE PHYSICALLY LOCATED ON THE SITE BEFORE THE ONSET OF SITE WORK. SUBSTRUCTURE LOCATIONS MAY REQUIRE FIELD ADJUSTMENT TO COMPENSATE FOR ACTUAL EXISTING UTILITY LOCATIONS.

SUBSTRUCTURE VERIFICATION STAMP

DEVELOPER
PLEASE NOTE AND SIGN

ALL PG&E ENCLOSURES AND BOXES HAVE BEEN SET TO GRADE ACCORDING TO GRADE STAKES PROVIDED BY DEVELOPERS ENGINEER. ALL COSTS TO RELOCATE OR RE-ADJUST BOXES AT A LATER DATE WILL BE BILLED TO THE DEVELOPER. PLEASE HAVE YOUR SUFFICIENT VERIFY THE CORRECT GRADE OF ALL ENCLOSURES OR BOXES, AND SIGN AND DATE DRAWING.

THANK YOU

SIGNED _____
DATE _____

UTILITY APPROVALS

UTILITY	APPROVED BY	DATE
PG&E ELECTRIC		
PG&E GAS		
AT&T (PHONE)		
COMCAST (CATV)		
CITY ENGINEER		

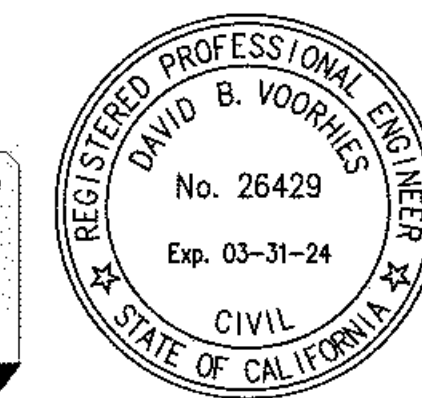
FOR RADIUS USE ONLY
QA REVIEW

INTENT	KTS	REVIEW DATE
COMPOSITE		06-22-2021
PRE-CON		
PRE-CON		

DEVELOPER:
THE SOBRATO ORGANIZATION
599 CASTRO ST, SUITE 400
MOUNTAIN VIEW, CA 94041
PETER TSAI
T: 650-695-1067
E: PTSAI@SOBRATO.COM

SHEET INDEX

JTR-1	JOINT TRENCH TITLE SHEET (R20)
JTR-2	OVERALL
JTR-3,4,5	JOINT TRENCH COMPOSITE (R20)
JTR-6	JOINT TRENCH SECTIONS (R20)



RADIUS DESIGN LLC
UTILITY DESIGN CONSULTANTS & ENGINEERS
1460 MARIA LANE, SUITE 400, WALKER CREEK, CA 94596
Tel (925) 268-4975

123 Independence
Menlo Park, CA
The Sobrato Organization
599 Castro Street, Suite 400
Mountain View, CA

Sheet Title:
JOINT TRENCH
TITLE SHEET (R20)

Job No. 20004
Date: 06/13/2023
Scale: AS SHOWN
Drawn By: ME

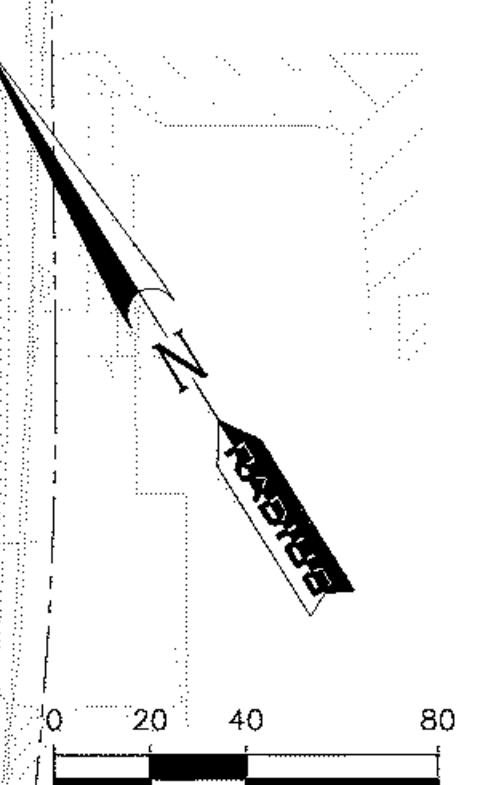
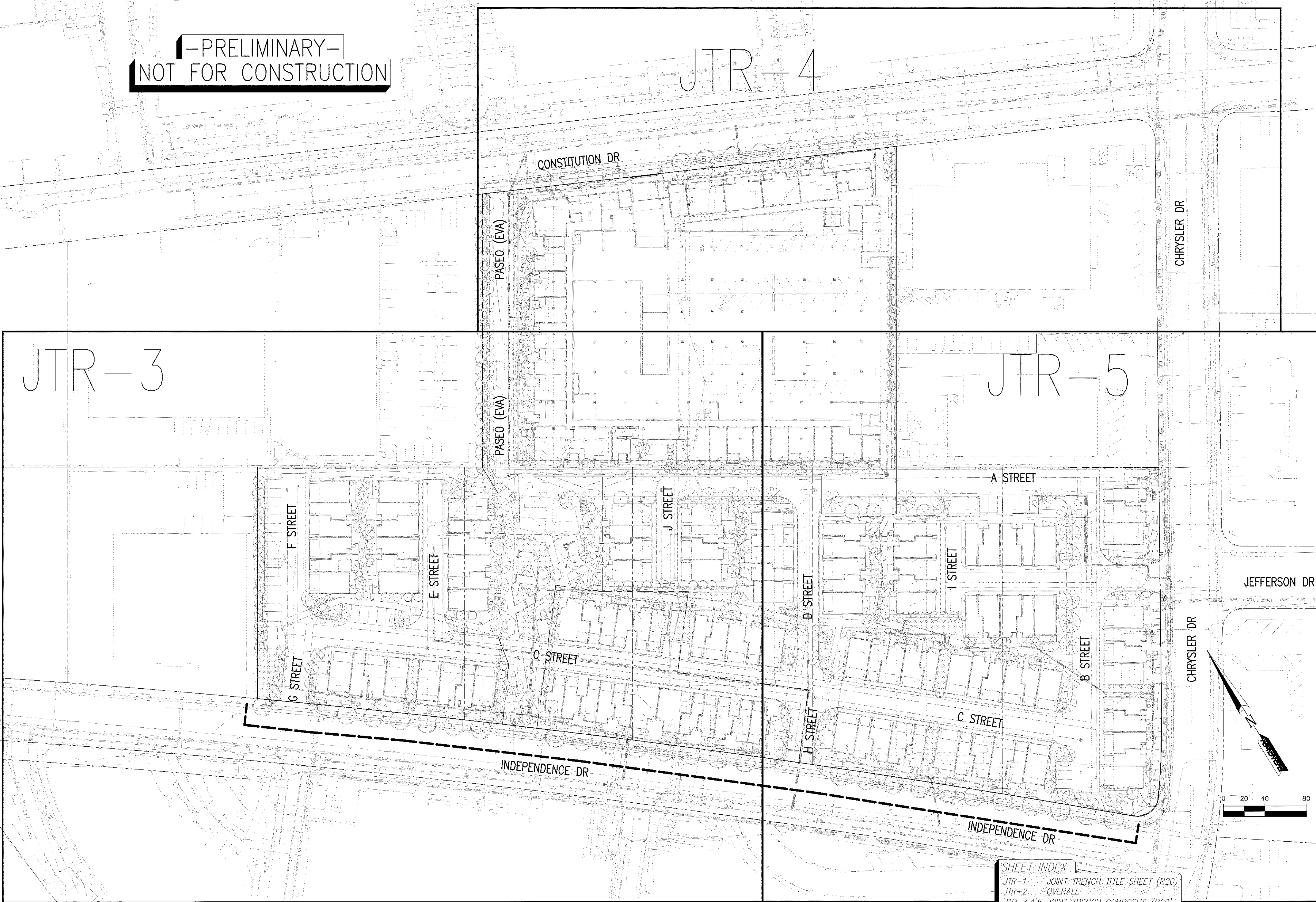
Sheet No:
JTR-1

-PRELIMINARY-
NOT FOR CONSTRUCTION

JTR-4

JTR-3

JTR-5



SHEET INDEX	
JTR-1	JOINT TRENCH TITLE SHEET (R20)
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JTR-6	JOINT TRENCH SECTIONS (R20)

UTILITIES
PLEASE CONFIRM
TIE IN LOCATIONS

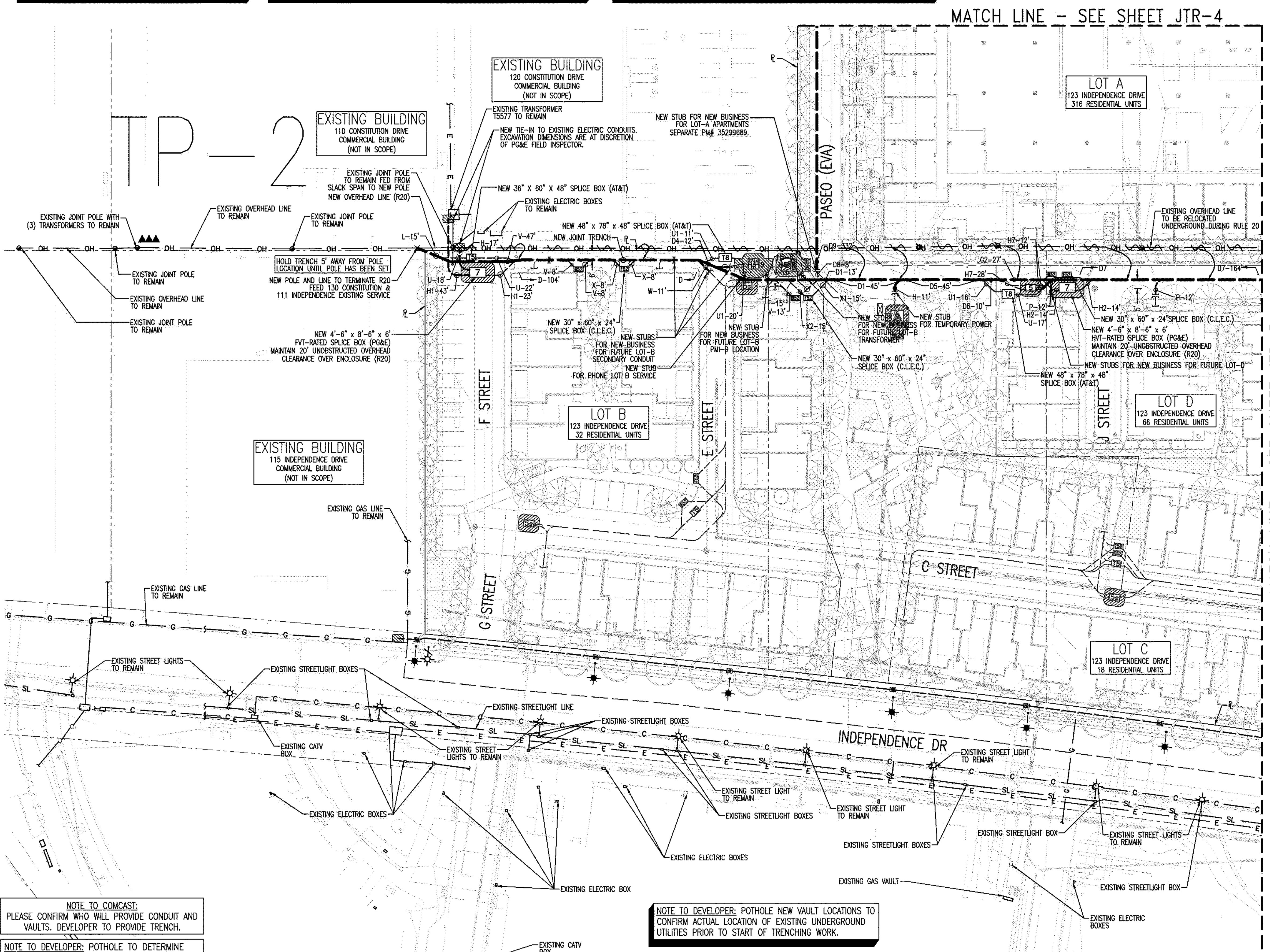
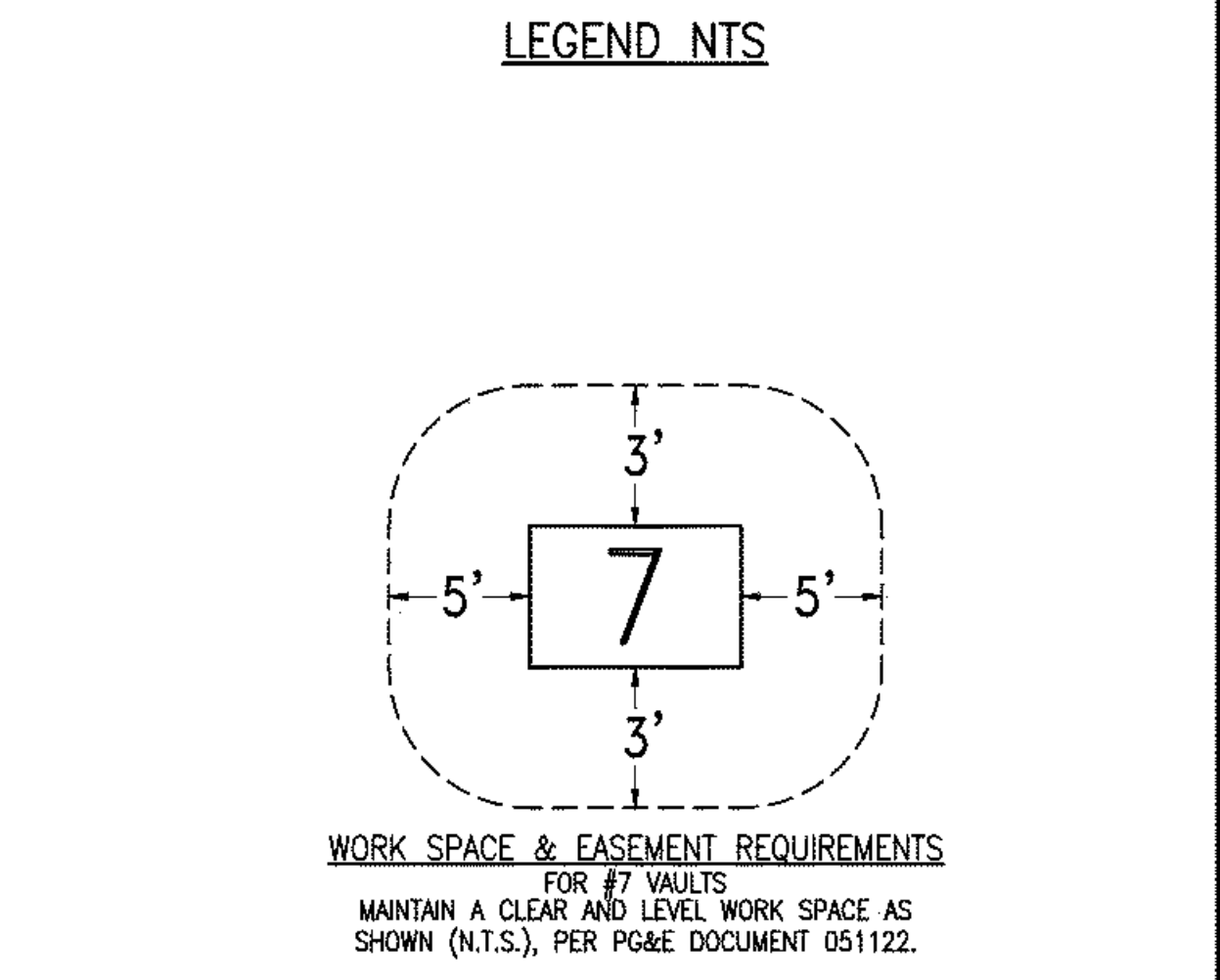
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THIS DRAWING HAS NOT YET BEEN REVIEWED BY
UTILITY COMPANIES AND IS SUBJECT TO CHANGE.

NOTE TO CONTRACTOR:
FOR CONTRACTOR'S WORK RESPONSIBILITY,
REFER TO JOINT TRENCH TITLE SHEET (JTR-1)

LEGEND:

NEW	DESCRIPTION
	JOINT TRENCH
	4'-6" x 8'-6" x 6" SPLICE BOX (PG&E) WORKING SPACE SHOWN MAINTAIN 20' UNOBSTRUCTED OVERHEAD CLEARANCE OVER ENCLOSURE
	74" x 76" PMI-9 BOX PAD (PG&E) WITH BARRIER POSTS, WORKING SPACE SHOWN. MAINTAIN 30' UNOBSTRUCTED OVERHEAD CLEARANCE OVER PAD.
	72" x 36" JUNCTION PAD (PG&E) WITH BARRIER POSTS, WORKING SPACE SHOWN. MAINTAIN 30' UNOBSTRUCTED OVERHEAD CLEARANCE OVER PAD.
	3' x 5' x 3'-6" SPLICE BOX (PG&E) WORKING SPACE SHOWN MAINTAIN 20' UNOBSTRUCTED OVERHEAD CLEARANCE OVER ENCLOSURE (SEE PM# 35299689)
(N)OH	OVERHEAD LINE
X	POLE
	48" x 96" x 48" SPLICE BOX (AT&T)
	4'-6" x 8'-6" x 6" MANHOLE (AT&T)
	6'-6" x 6' x 4" S.A.I. PAD (AT&T)
	72" x 78" x 6" P.F.P. FIBER PAD (AT&T)
	30" x 60" x 24" B-52 (CATV)
	30" x 60" x 24" SPLICE BOX (C.L.E.C.)
	STREET LIGHT
	SPLICE BOX 3-1/2 PULL BOX 10" x 17" x 12" N9
EXISTING	DESCRIPTION
OH	OVERHEAD LINE
E	ELECTRIC LINE
G	GAS LINE
T	PHONE LINE
C	CATV LINE



NOTE TO COMCAST:
PLEASE CONFIRM WHO WILL PROVIDE CONDUIT AND VAULTS. DEVELOPER TO PROVIDE TRENCH.

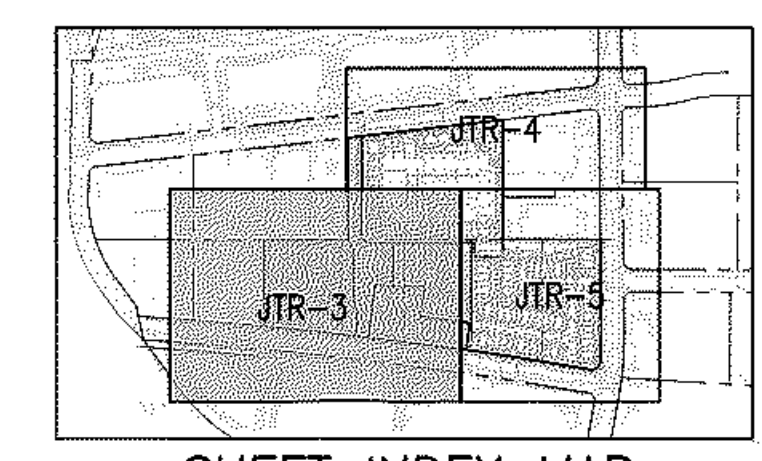
NOTE TO DEVELOPER: POTHOLE TO DETERMINE THE ACTUAL LOCATION OF ALL EXISTING UNDERGROUND UTILITIES DURING DESIGN PHASE. POTHOLE SUBSTRUCTURE LOCATIONS TO CONFIRM THE ACTUAL LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO THE START OF TRENCHING WORK.

SUBSTRUCTURE LOCATIONS MUST BE STAKED BY A LICENSED SURVEYOR PRIOR TO CONSTRUCTION. SEE CONSTRUCTION NOTES ON JOINT TRENCH TITLE SHEET (JT-1) REGARDING EXISTING CONDITIONS.

REFER TO PG&E DOCUMENT 094683 FOR SMART METER ANTENNA CONSTRUCTION REQUIREMENTS.

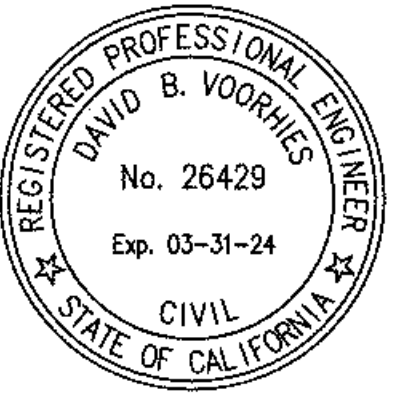
NOTE FOR UNDERGROUND ELECTRIC INSTALLATION:
USE OF PVC DB-120 IS NO LONGER APPROVED BY PG&E FOR ANY CONDUIT SIZES, BENDS, AND FITTINGS. RIGID PVC SCHEDULE 40 MUST BE USED IN PLACE OF PVC DB-120 CONDUIT. FOR ALL APPROVED CONDUITS, BENDS, AND FITTINGS, SEE PG&E DOCUMENT 062288.

NOTE TO DEVELOPER: POTHOLE NEW VAULT LOCATIONS TO CONFIRM ACTUAL LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO START OF TRENCHING WORK.



SHEET INDEX

JTR-1	JOINT TRENCH TITLE SHEET (R20)
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JTR-3,4,5	JOINT TRENCH COMPOSITE (R20)
JTR-6	JOINT TRENCH SECTIONS (R20)



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599 Castro Street, Suite 400
Mountain View, CA

Sheet Title:
JOINT TRENCH COMPOSITE (R20)
Job No. 20004
Date: 06/13/2023
Scale: AS SHOWN
Drawn By: ME

Sheet No:
JTR-3

UTILITIES
PLEASE CONFIRM
TIE IN LOCATIONS

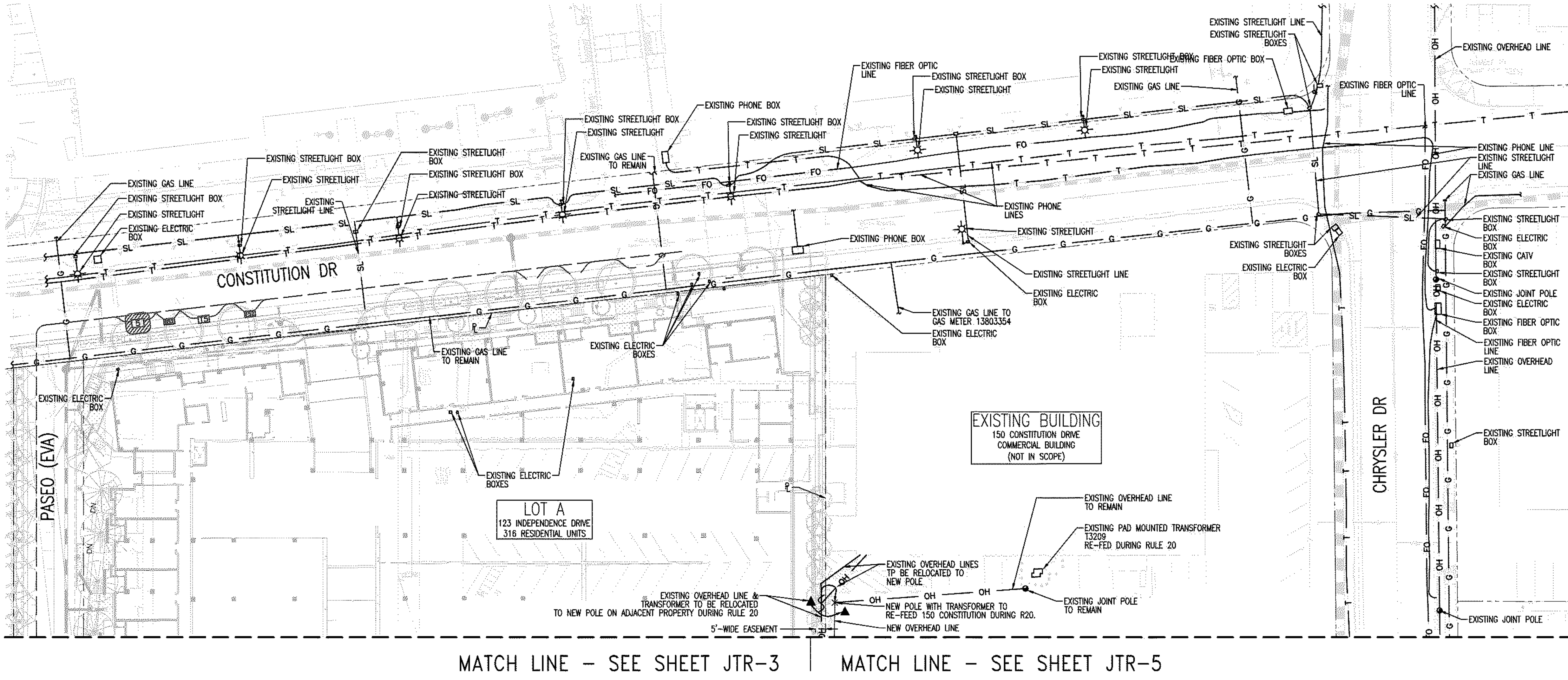
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NOTE TO CONTRACTOR:
FOR CONTRACTOR'S WORK RESPONSIBILITY,
REFER TO JOINT TRENCH TITLE SHEET (JTR-1)

LEGEND:

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(N)OH	OVERHEAD LINE
X	POLE
	48" X 96" X 48" SPUCE BOX (AT&T)
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	6'-6" X 6' X 4" S.A.I. PAD (AT&T)
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	SPUCE BOX 3-1/2 PULL BOX 10" X 17" X 12" N9
EXISTING	DESCRIPTION
OH	OVERHEAD LINE
E	ELECTRIC LINE
G	GAS LINE
T	PHONE LINE
C	CATV LINE



LEGEND NTS

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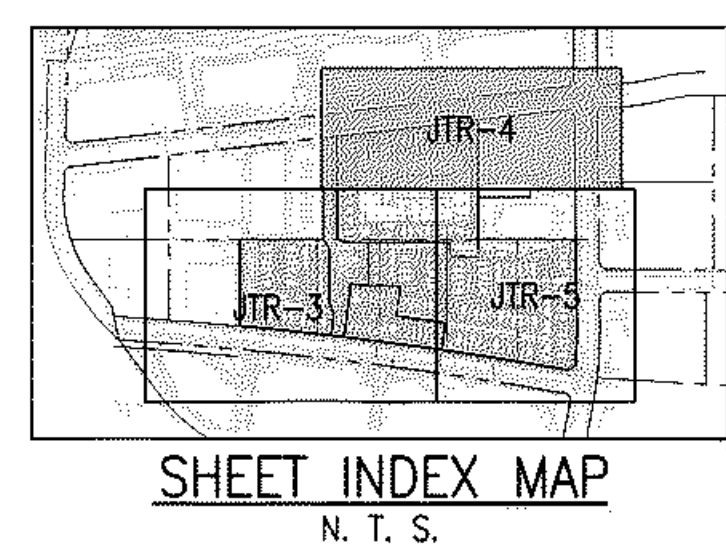
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JTR-6	JOINT TRENCH SECTIONS (R20)



Sheet Title:
JOINT TRENCH COMPOSITE (R20)

Job No. 20004
Date: 06/13/2023
Scale: AS SHOWN
Drawn By: ME

Sheet No:
JTR-4

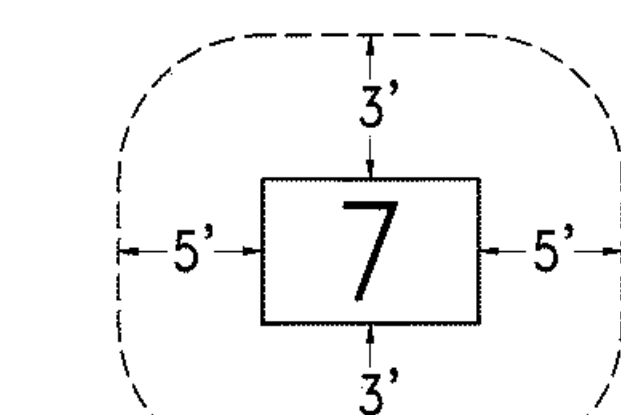
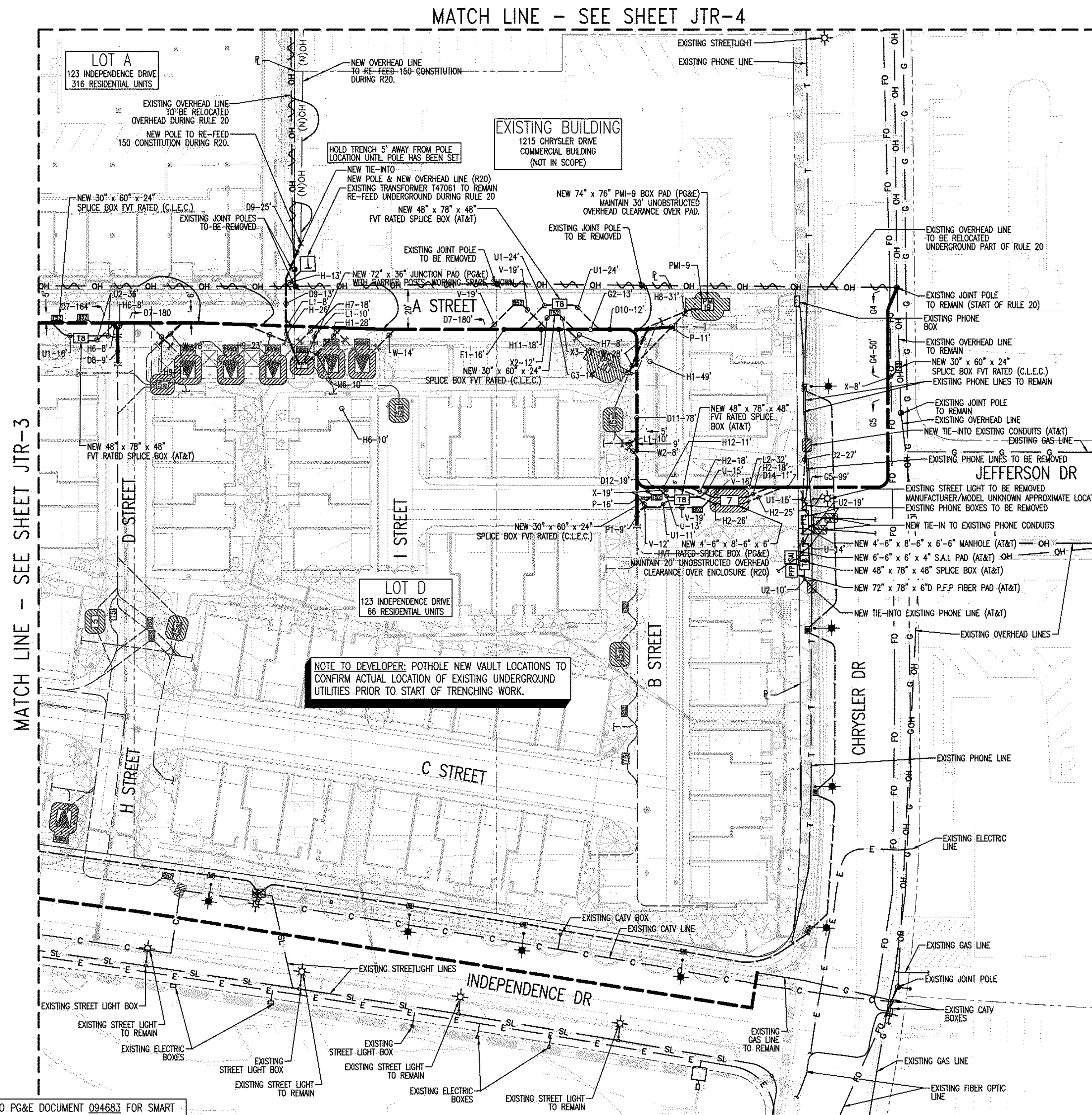
UTILITIES
PLEASE CONFIRM
TIE IN LOCATIONS

-PRELIMINARY-
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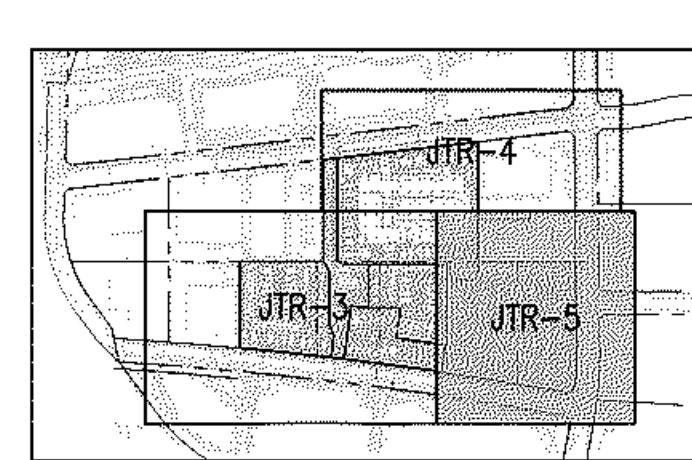
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NOTE TO CONTRACTOR:
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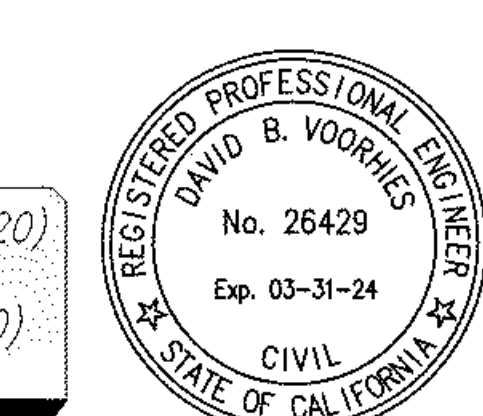
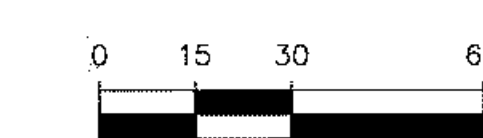
LEGEND:	
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	STREET LIGHT
	SPURCE BOX 3-1/2 PULL BOX 10" X 17" X 12" N9
EXISTING	DESCRIPTION
OH	OVERHEAD LINE
E	ELECTRIC LINE
G	GAS LINE
T	PHONE LINE
C	CATV LINE



WORK SPACE & EASEMENT REQUIREMENTS
FOR #7 VAULTS
MAINTAIN A CLEAR AND LEVEL WORK SPACE AS
SHOWN (N.T.S.), PER PG&E DOCUMENT 051122.



SHEET INDEX MAP
N. T. S.



NOTE TO COMCAST:
PLEASE CONFIRM WHO WILL PROVIDE CONDUIT AND
VAULTS. DEVELOPER TO PROVIDE TRENCH.

NOTE TO DEVELOPER: POTHOLE TO DETERMINE
THE ACTUAL LOCATION OF ALL EXISTING
UNDERGROUND UTILITIES DURING DESIGN PHASE.
POTHOLE SUBSTRUCTURE LOCATIONS TO
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SEE CONSTRUCTION NOTES ON JOINT TRENCH TITLE
SHEET (JT-1) REGARDING EXISTING CONDITIONS.

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JTR-6	JOINT TRENCH SECTIONS (R20)

123 Independence
Menlo Park, CA

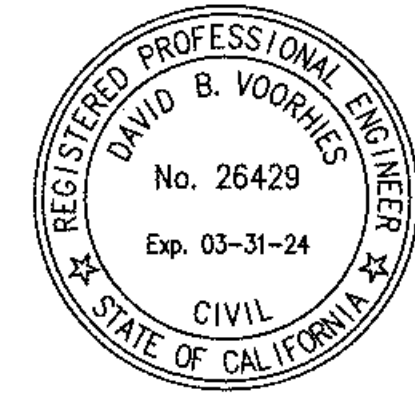
The Sobrato Organization
599 Castro Street, Suite 400
Mountain View, CA

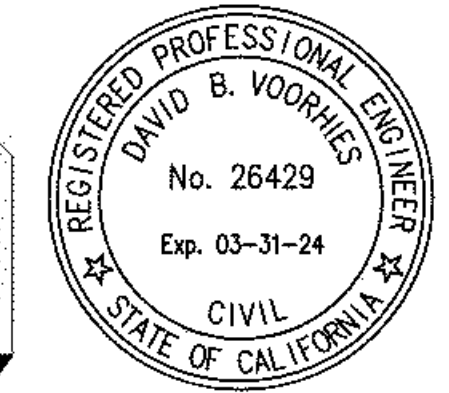
Sheet Title:
**JOINT TRENCH
COMPOSITE (R20)**

Job No. 20004
Date: 06/13/2023
Scale: AS SHOWN
Drawn By: ME

Sheet No:
JTR-5

RADIUS DESIGN, LLC
UTILITY DESIGN CONSULTANTS & ENGINEERS
1460 MARIA LANE, SUITE 400, WALNUT CREEK, CA 94596
Tel: (925) 268-4575





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- ABBREVIATIONS:**
- [P] PRIMARY (PG&E)
 - [S] SECONDARY (PG&E)
 - [C] CATV (COMCAST)
 - [T] PHONE (AT&T)
 - [FO] FIBER OPTIC (C.L.E.C.)

	MINIMUM SEPARATION AND CLEARANCE REQUIREMENTS FOR JOINT TRENCHES						
	G	T	C	S	P	FO	
G GAS	0'	12"	12"	12"	6"	12"	24", 30" IN STREET
T TELEPHONE (DUCT)	12"	0'	1'	12"	12"	12"	24", 30" IN STREET
T TELEPHONE (DIRECT BURY)	12"	1'	0'	12"	12"	12"	24", 30" IN STREET
C CATV	12"	1'	1'	0'	12"	12"	24", 30" IN STREET
S ELECTRIC SECONDARY	6"	12"	12"	12"	1.5'	3'	12", 24", 30" IN STREET
P ELECTRIC PRIMARY	12"	12"	12"	12"	3'	3'	12", 36", 36" IN STREET
FO FIBER OPTIC	12"	1'	1'	12"	12"	0'	24", 30" IN STREET

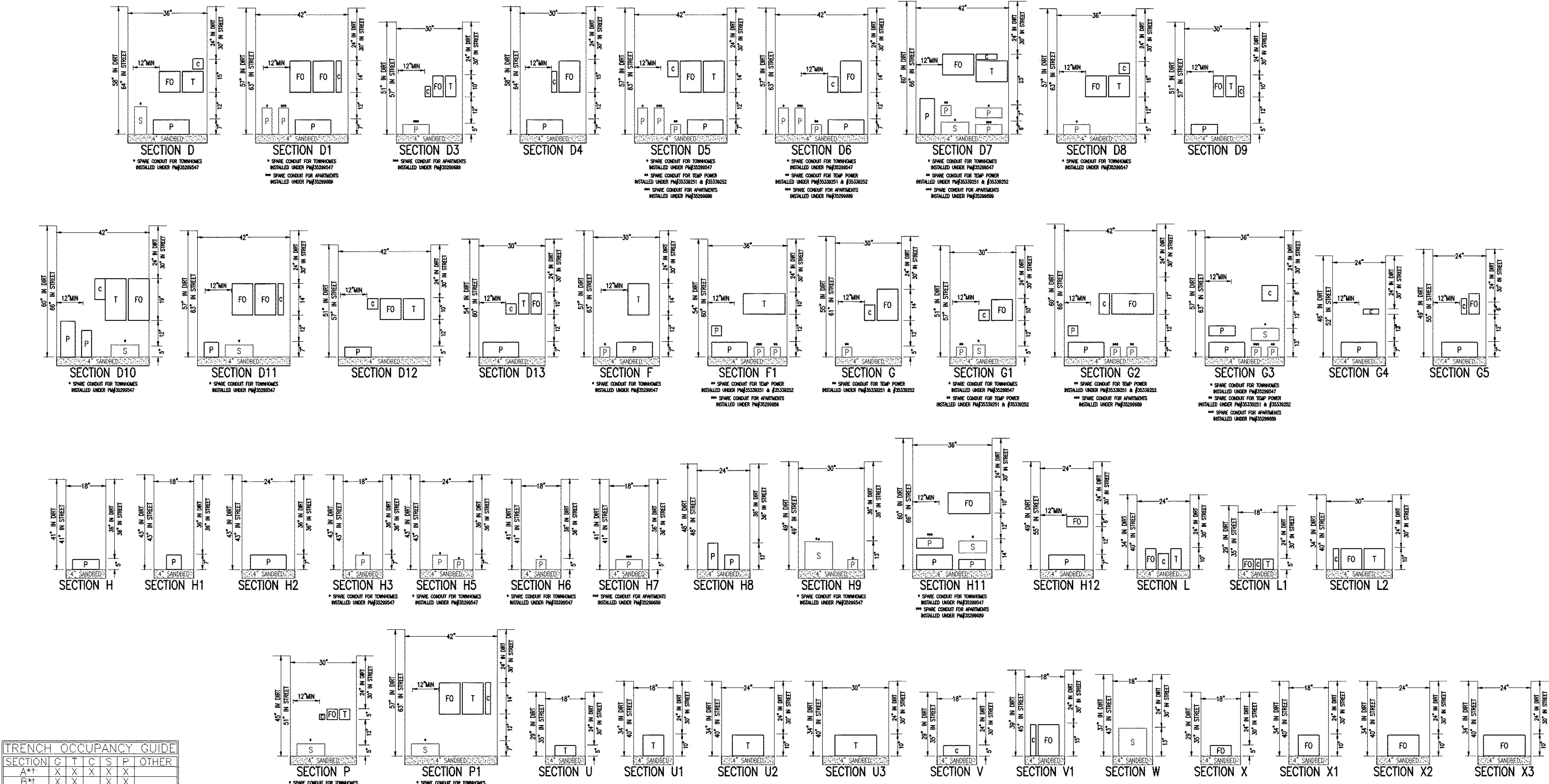
- SOILS NOTES:**
- RADIUS IS NOT RESPONSIBLE FOR ANY SOILS ENGINEERING TO DETERMINE THE ABILITY TO CONSTRUCT OR THE PROJECT CONDITIONS.
 - RADIUS ASSUMES NO RESPONSIBILITY FOR ADDITIONAL WORK DUE TO ADVERSE JOB SITE CONDITIONS.
 - PG&E WILL REQUIRE SOILS ANALYSIS FOR SUBSURFACE TRANSFORMER (IF APPLICABLE).

- CONTRACTOR NOTES:**
- THE SYMBOLS [P][S][C][T][FO] INDICATE OCCUPANCY ONLY. SEE ELECTRIC, CATV, TELEPHONE, AND FIBER OPTIC PLANS FOR EXACT SIZE AND NUMBER OF CONDUITS.
 - THIS PLAN IS TO BE USED AS A GUIDE FOR TRENCHING WIDTH AND DEPTH AND NOT CONDUIT INSTALLATION.
 - CONTRACTOR TO PROVIDE SEPARATION FROM TRENCH WALL AND OTHER FACILITIES SUFFICIENT TO ENSURE PROPER COMPACTION.
 - CONTRACTOR TO INCLUDE INCIDENTAL TRENCHING IN SPLICE BOX, VAULT, OR TRANSFORMER EXCAVATION IN AREAS WHERE NO ENTRANCE OR EXIT OF TRENCH IS SHOWN.
 - UTILITY COMPANIES RESERVE THE RIGHT TO MAKE FIELD ADJUSTMENTS AS NECESSARY.

TRENCH OCCUPANCY GUIDE

SECTION	G	T	C	S	P	OTHER
A**	X	X	X	X	X	X
B**	X	X	X	X	X	X
C*	X	X	X	X	X	X
D**	X	X	X	X	X	X
E*	X	X	X	X	X	X
F**	X	X	X	X	X	X
G*	X	X	X	X	X	X
H*	X	X	X	X	X	X
I*	X	X	X	X	X	X
J*	X	X	X	X	X	X
K	X	X	X	X	X	X
L	X	X	X	X	X	X
M1	X	X	X	X	X	X
N1	X	X	X	X	X	X
O	X	X	X	X	X	X
R*	X	X	X	X	X	X
S	X	X	X	X	X	X
T	X	X	X	X	X	X
U+	X	X	X	X	X	X
V	X	X	X	X	X	X
W	X	X	X	X	X	X
X+	X	X	X	X	X	X

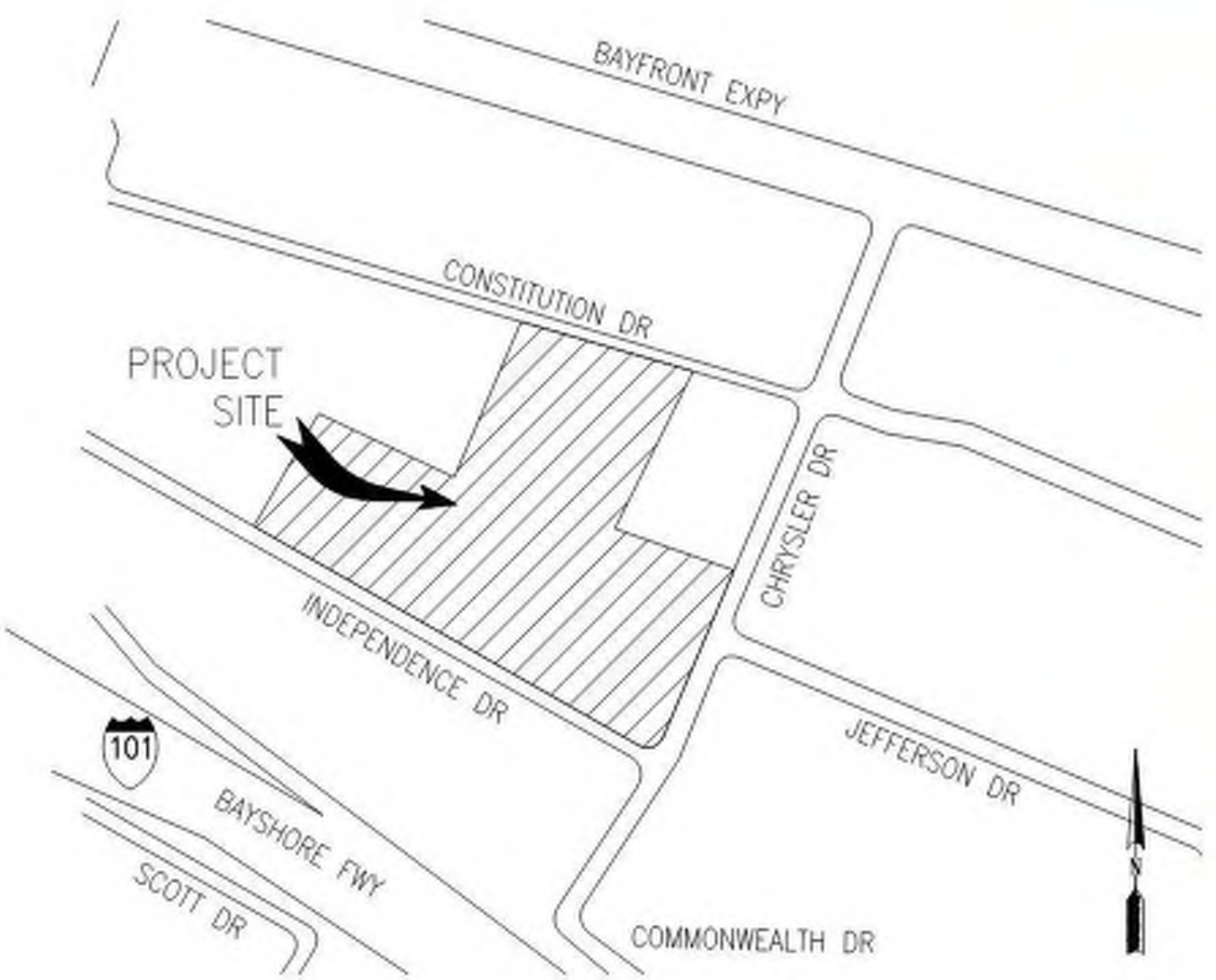
* THESE SECTIONS MAY OR MAY NOT CONTAIN SECONDARY CONDUIT
 † THESE SECTIONS MAY OR MAY NOT CONTAIN C.L.E.C. FIBER CONDUIT



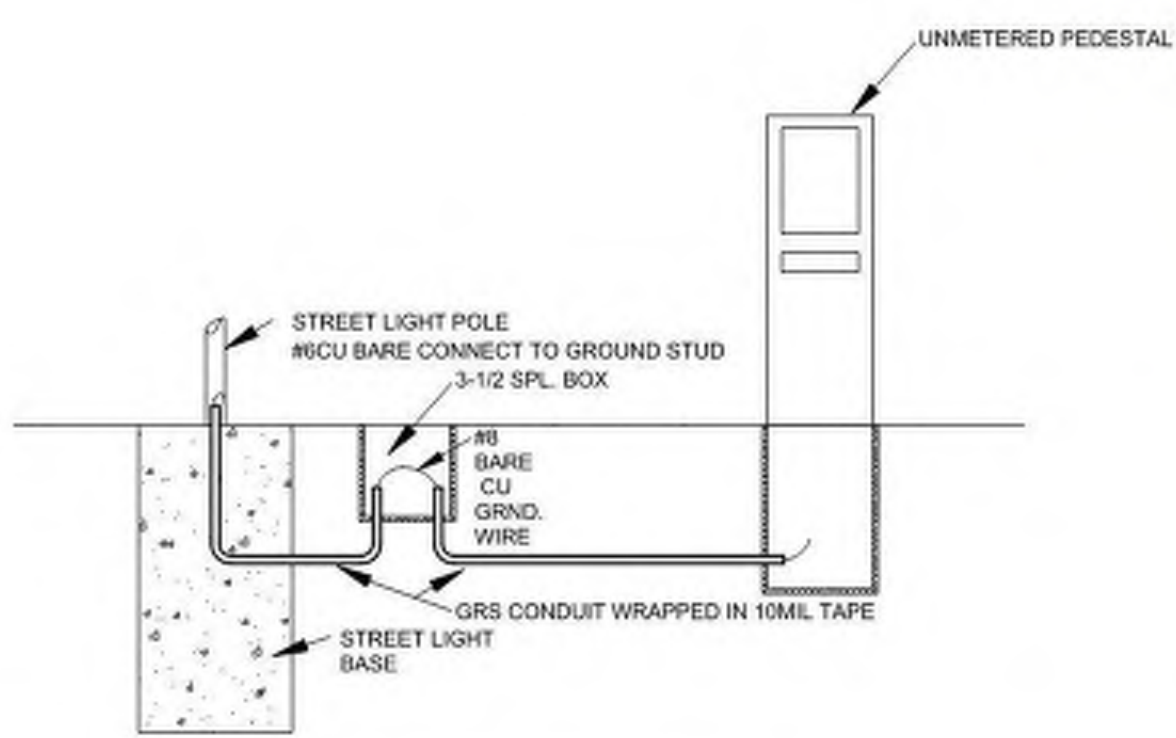
TRENCH OCCUPANCY GUIDE

SECTION	G	T	C	S	P	OTHER
A**	X	X	X	X	X	X
B**	X	X	X	X	X	X
C*	X	X	X	X	X	X
D**	X	X	X	X	X	X
E*	X	X	X	X	X	X
F**	X	X	X	X	X	X
G*	X	X	X	X	X	X
H*	X	X	X	X	X	X
I*	X	X	X	X	X	X
J*	X	X	X	X	X	X
K	X	X	X	X	X	X
L	X	X	X	X	X	X
M1	X	X	X	X	X	X
N1	X	X	X	X	X	X
O	X	X	X	X	X	X
R*	X	X	X	X	X	X
S	X	X	X	X	X	X
T	X	X	X	X	X	X
U+	X	X	X	X	X	X
V	X	X	X	X	X	X
W	X	X	X	X	X	X
X+	X	X	X	X	X	X

* THESE SECTIONS MAY OR MAY NOT CONTAIN SECONDARY CONDUIT
 † THESE SECTIONS MAY OR MAY NOT CONTAIN C.L.E.C. FIBER CONDUIT



VICINITY MAP
N. T. S.



GROUNDING DETAIL
TYPICAL

WORK RESPONSIBILITY
STREET LIGHTING SYSTEM

- WIRE: SUPPLY & INSTALL
- CONDUIT: SUPPLY & INSTALL
- BASES: SUPPLY & INSTALL
- LUMINAIRES: SUPPLY & INSTALL
- SPLICE BOX: SUPPLY & INSTALL
- POLE RATE SCHEDULE
- INSTALL IN JOINT TRENCH
- INSTALL IN SEPARATE TRENCH

THESE PLANS WERE PREPARED IN CONJUNCTION WITH THE FOLLOWING PLANS:

	DATE RECEIVED	DATE APPROVED
CIVIL IMPROVEMENT PLANS/GRADING PLANS.	03-22-2022	PRELIM.
LANDSCAPE ARCHITECTURAL PLANS	03-18-2022	PRELIM.
SERVICE POINTS	PRELIM.	PRELIM.
STREET LIGHT LOCATIONS BY: RADIUS DESIGN	08-25-2022	PRELIM.

RADIUS Design is not responsible for any subsequent changes or revisions.

ML730 MILLENIA SERIES

LED

ORDERING EXAMPLE: 1A-ML730-32L407R-MOL04-CA-47-PE-4HD-8L0C050PS-18-188-RC04UG

Meaning Configuration:

- 1A: 1 Pole
- ML730: LED Luminaire
- 32L407R: 32" Length, 407mm Depth
- MOL04: MOL04 Luminaire
- CA-47: CA-47 Luminaire
- PE-4HD: PE-4HD Luminaire
- 8L0C050PS: 8 Luminaire, 0.050 Power Factor, 50 Luminaire
- 18-188-RC04UG: 18 Luminaire, 188 Luminaire, RC04UG Luminaire

LED: 30W, 30W, 30W

Dimensions: 32" Length, 407mm Depth

Options: 18 Luminaire, 188 Luminaire, RC04UG Luminaire

Specifications:

- LED: 30W, 30W, 30W
- Beam Angle: 120°
- Color Temperature: 4000K
- Life Span: 50,000 Hours
- Power Factor: 0.95
- Temperature: -40°C to 50°C

StenbergLighting

ML730 MILLENIA SERIES

LED

Performance (Based on CA Lens)

Beam Angle	Beam Diameter	Beam Area	Beam Area	Beam Area	Beam Area	Beam Area	Beam Area	Beam Area	Beam Area	Beam Area
120°	32"	804	804	804	804	804	804	804	804	804
120°	32"	804	804	804	804	804	804	804	804	804
120°	32"	804	804	804	804	804	804	804	804	804

StenbergLighting

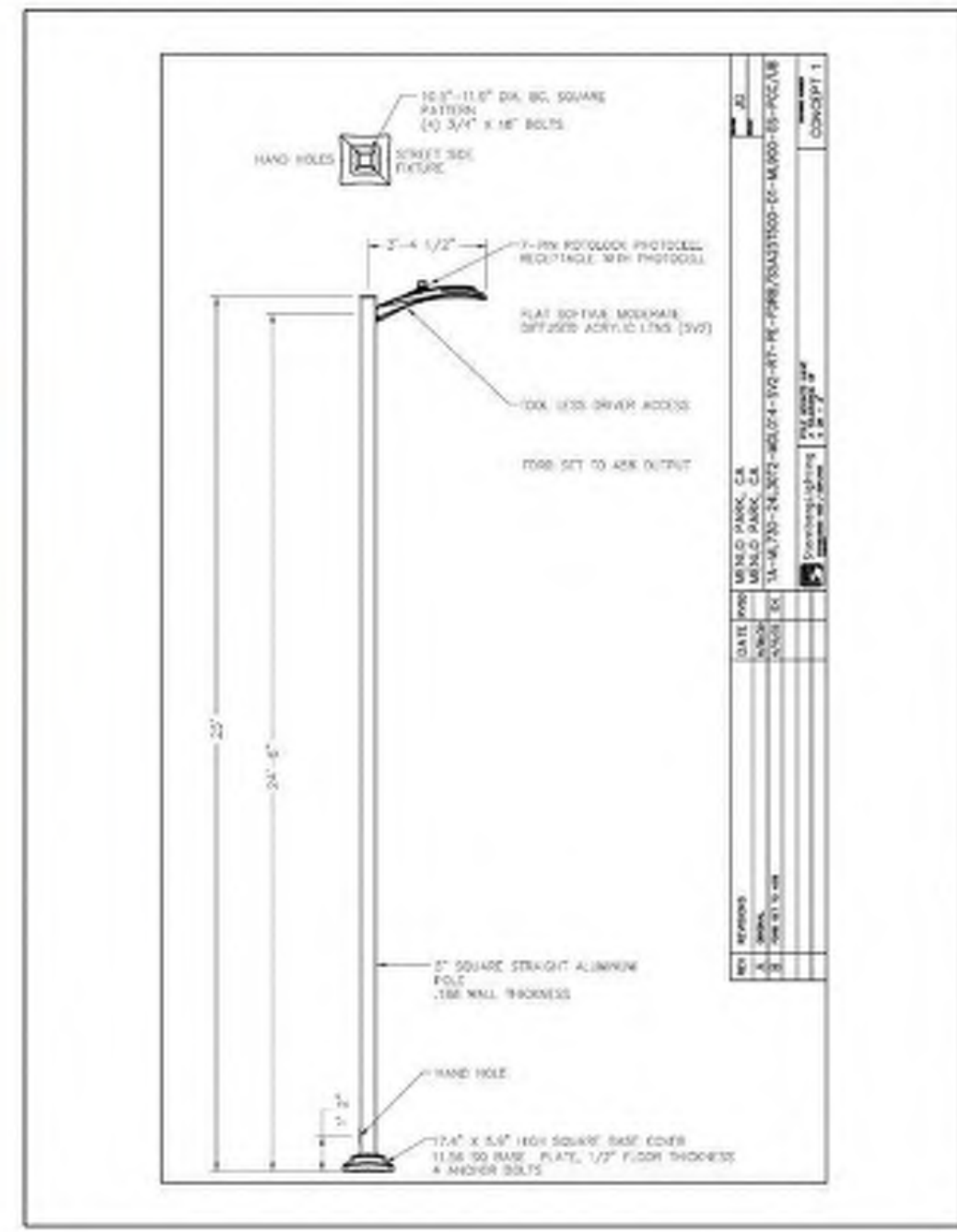
ML730 MILLENIA SERIES

LED

Performance (Based on CA Lens)

Beam Angle	Beam Diameter	Beam Area	Beam Area	Beam Area	Beam Area	Beam Area	Beam Area	Beam Area	Beam Area	Beam Area
120°	32"	804	804	804	804	804	804	804	804	804
120°	32"	804	804	804	804	804	804	804	804	804
120°	32"	804	804	804	804	804	804	804	804	804

StenbergLighting



StenbergLighting

ESTABLISHED 1928 / EMPLOYEE OWNED

Installation Instructions Product: Rotary Dimmer Kit (81194)
Effective Date: 02/04/2020 Part Description: Field Installation Kit

WARNING: To avoid fire, shock or death, turn off and lockout power before performing any maintenance.

CAUTION: This Luminaire must be wired in accordance with the National Electric Code (NEC) and all applicable local codes. Proper grounding is required. A qualified electrician must do all work. Dimmer kit to be used in only class 2 circuit.

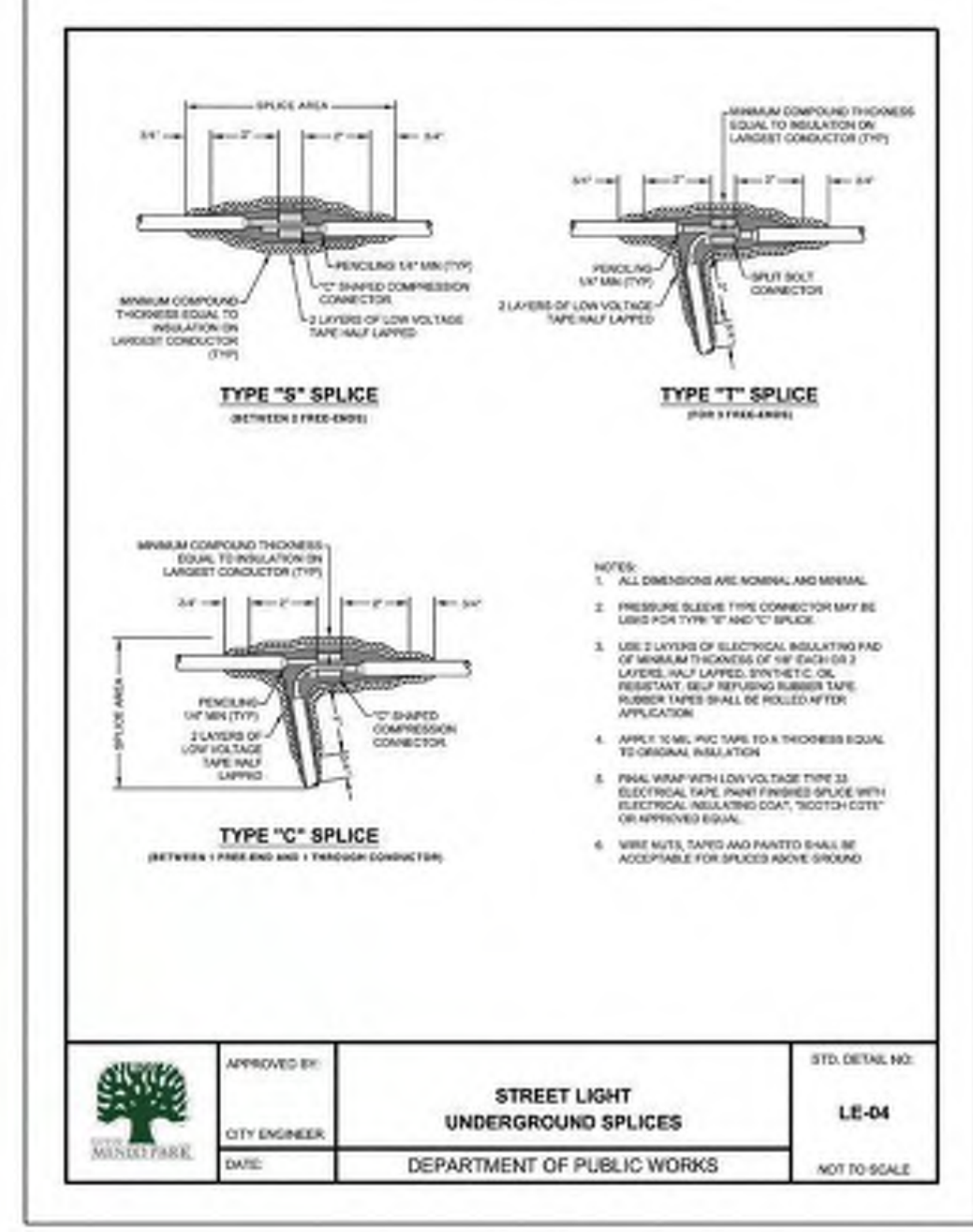
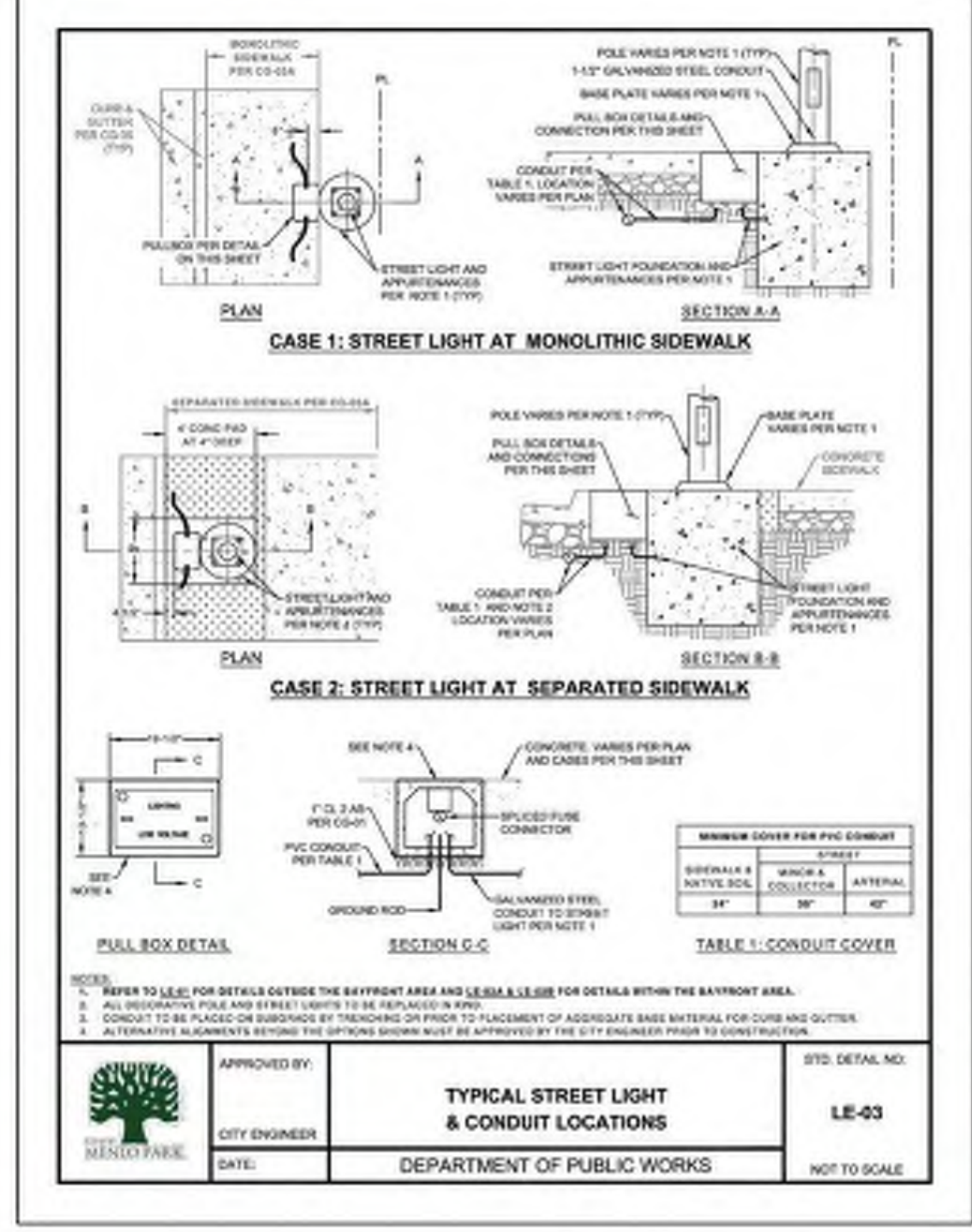
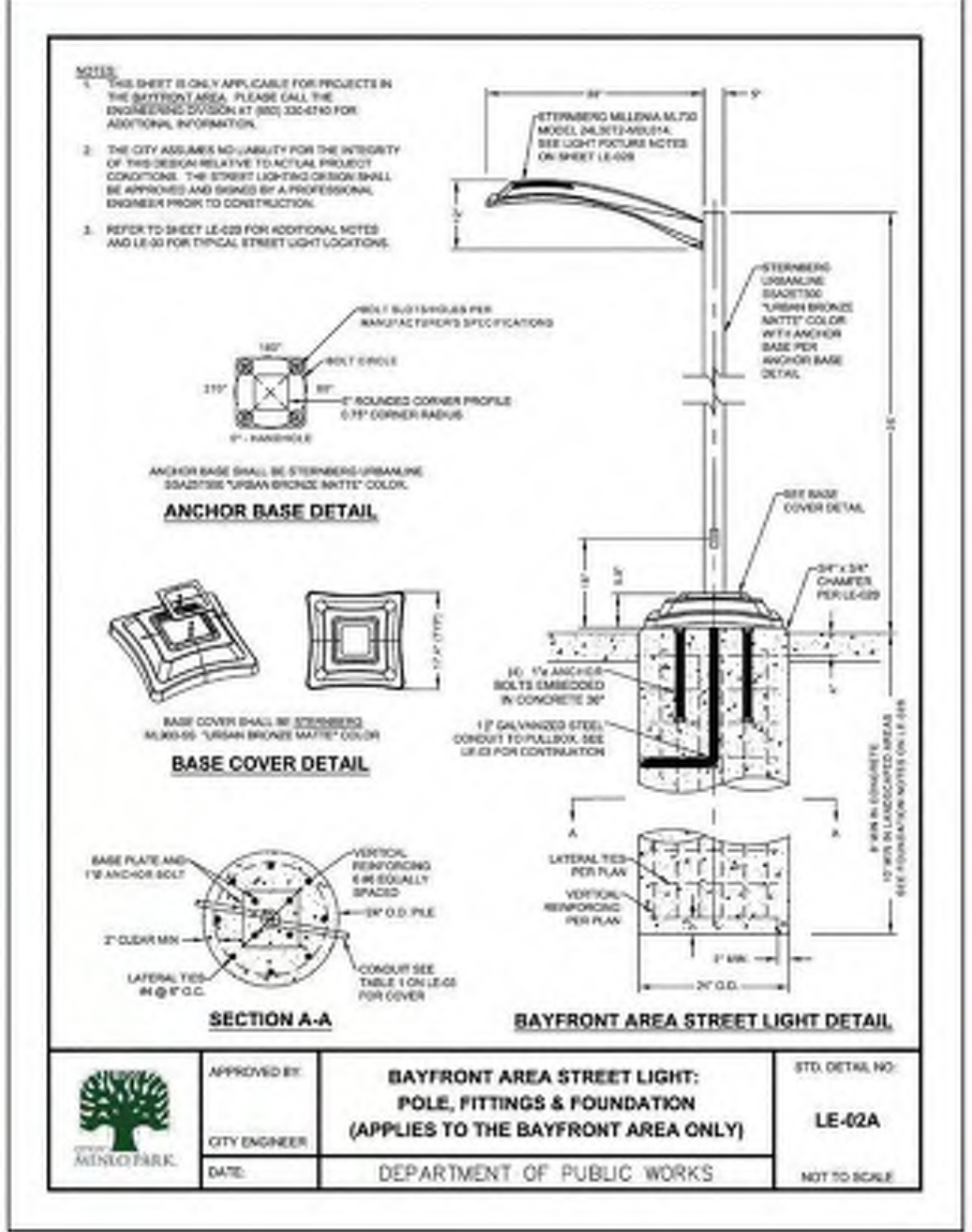
A. Installing Dimming Leads

Note: 1. Dimmer Kit instructions are for luminaires installed on pole or arm.

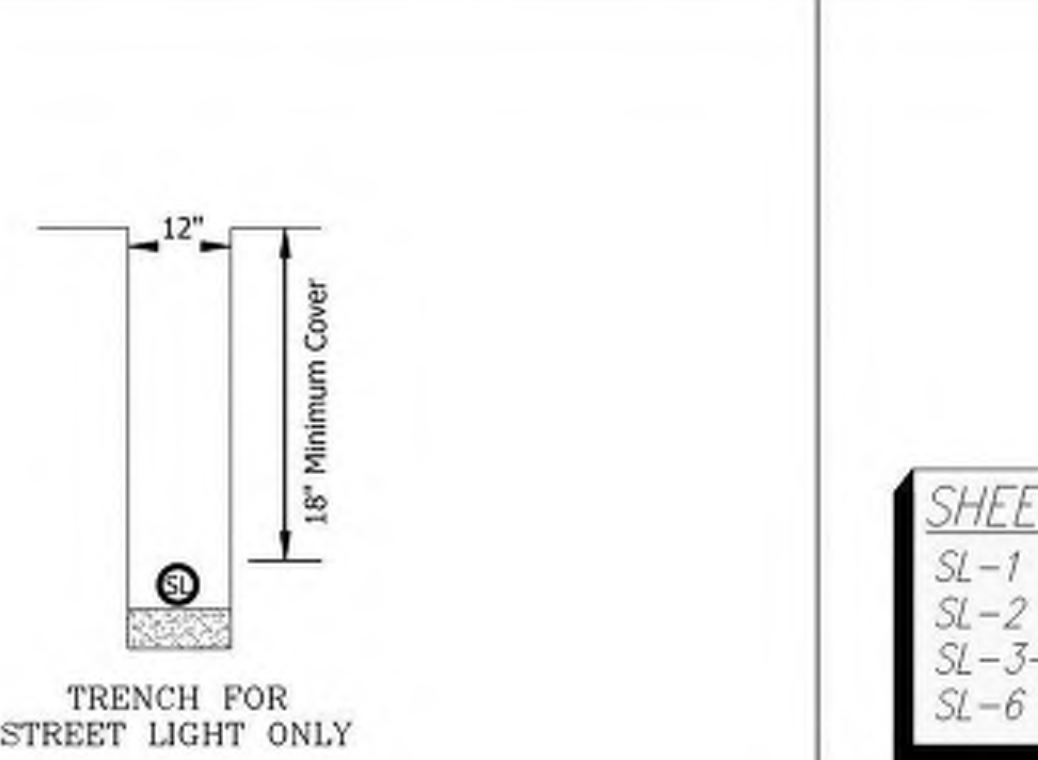
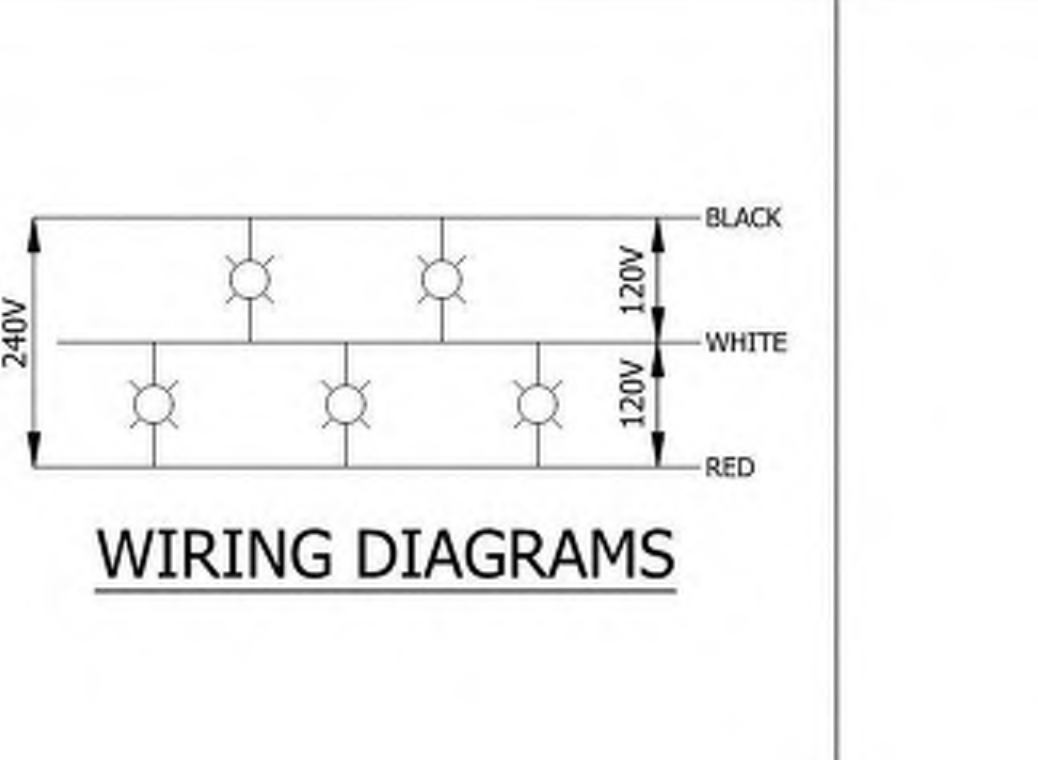
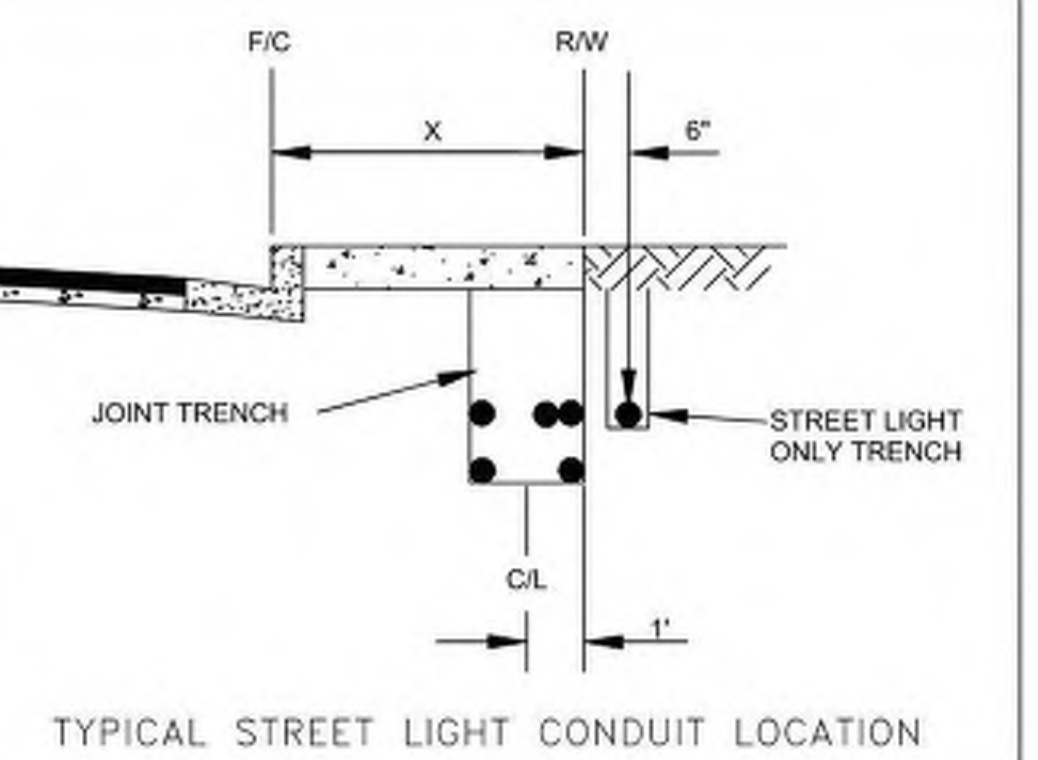
Note 2: If the dimmer assembly is for an address door, the pole cap related elements (highlighted) will not be present.

ITEM	QTY	PART NUMBER	DESCRIPTION
1	1	188	POLE CAP (81194)
2	1	81184	DIMMER, 16-STEP RESISTIVE MODULE
3	2	82508	SCREW, PH SS SELF-TAP 6-32 X .50
4	4	80300	SCREW, SET SOC SS 1/4-20 X .58 (81194)
5	1	87895	BRACKET, DIMMER, POLE MOUNTED
6	1	82188	SCREW, 8-32 X .58 PH PAN ZN
7	-20 FT	80150 & 80151	COIL OF WIRE, 2-CONDUCTOR, 600V
8	4	80957	CONNECTOR, COMPACT 2-COND TERMINAL BLOCK

Rotary Dimmer Kit (81194), Field Installation Instructions, Revision D Page 1 of 6



- NOTE CITY IS NOW REQUESTING ALL PROJECTS:**
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 - 2.) UPGRADE EXISTING STERNBERG LIGHTS ACROSS THE PROJECT FRONTAGE WITH A DIMMER KIT TO ADD ROTARY DIMMER OPTION. FOR SPECIFICATIONS AND INSTALLATION/USAGE INSTRUCTION (SEE SL-6).
 - 3.) LIGHTING OUTPUT ON BOTH SIDES OF CONSTITUTION DRIVE AND INDEPENDENCE DRIVE TO CHANGE TO 45% OF CAPACITY.



SHEET INDEX

SL-1	ELECTROLIER TITLE SHEET
SL-2	ELECTROLIER OVERALL
SL-3-5	ELECTROLIER PLAN
SL-6	ELECTROLIER SPECIFICATIONS



RADIUS DESIGN

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123 Independence
Menlo Park, CA

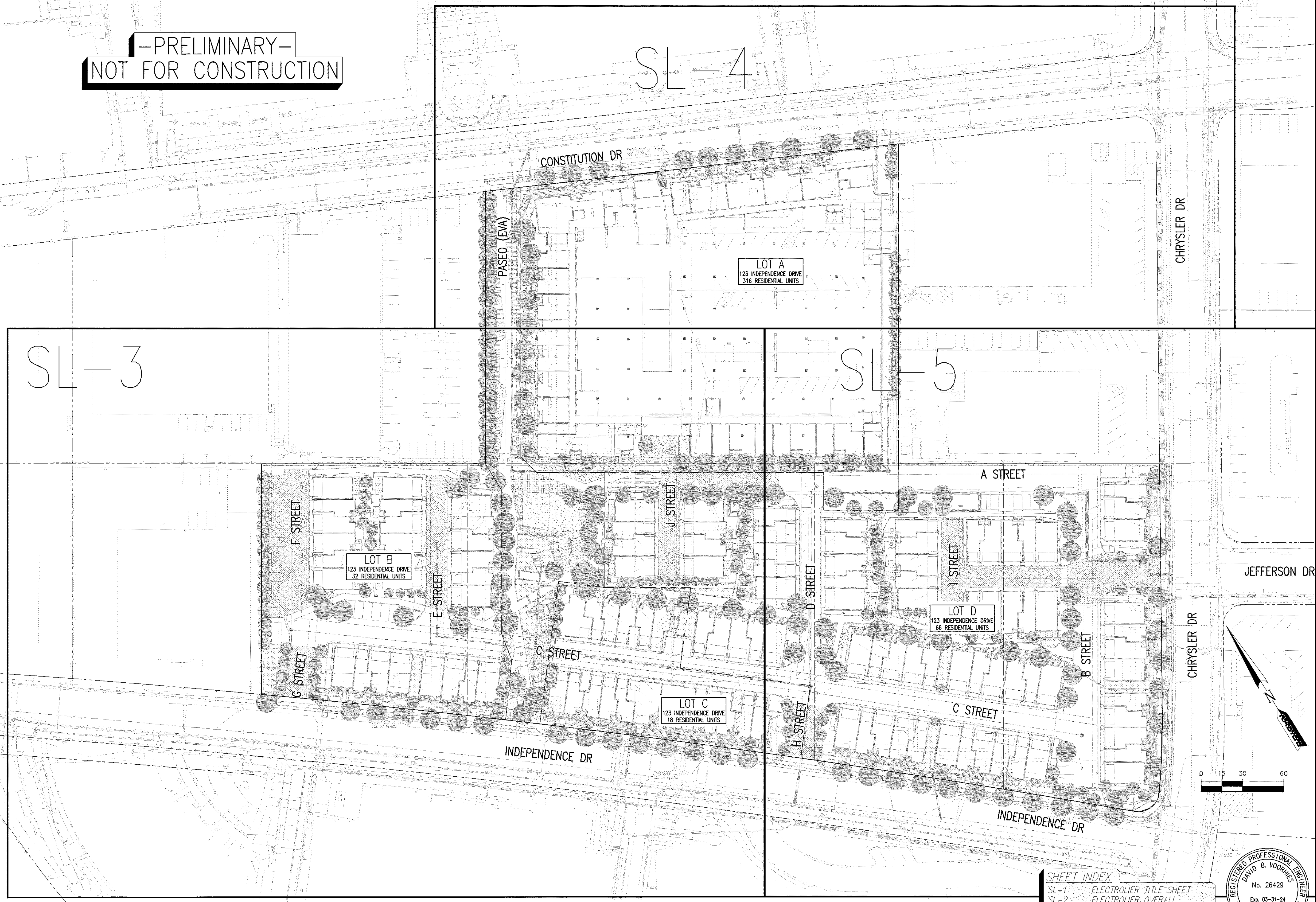
The Sobrato Organization
599 Castro Street, Suite 400
Mountain View, CA

Sheet Title:
ELECTROLIER TITLE SHEET

Job No. 20004
Date: 06/13/2023
Scale: AS SHOWN
Drawn By: ME

Sheet No:
SL-1

**-PRELIMINARY-
NOT FOR CONSTRUCTION**



SL-3

SL-4

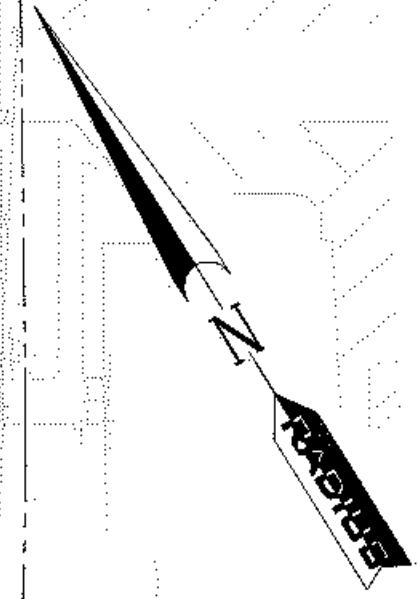
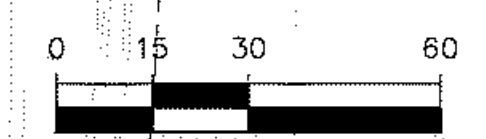
SL-5

LOT B
123 INDEPENDENCE DRIVE
32 RESIDENTIAL UNITS

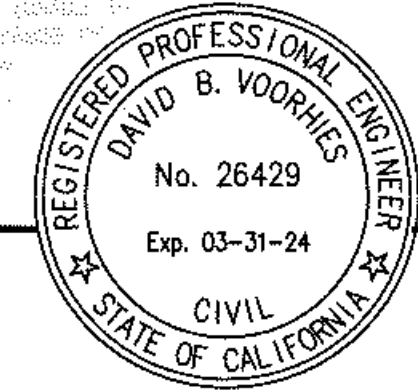
LOT A
123 INDEPENDENCE DRIVE
316 RESIDENTIAL UNITS

LOT C
123 INDEPENDENCE DRIVE
18 RESIDENTIAL UNITS

LOT D
123 INDEPENDENCE DRIVE
66 RESIDENTIAL UNITS



SHEET INDEX	
SL-1	ELECTROLIER TITLE SHEET
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SL-6	ELECTROLIER SPECIFICATIONS



UTILITIES
PLEASE CONFIRM
TIE IN LOCATIONS

—PRELIMINARY—
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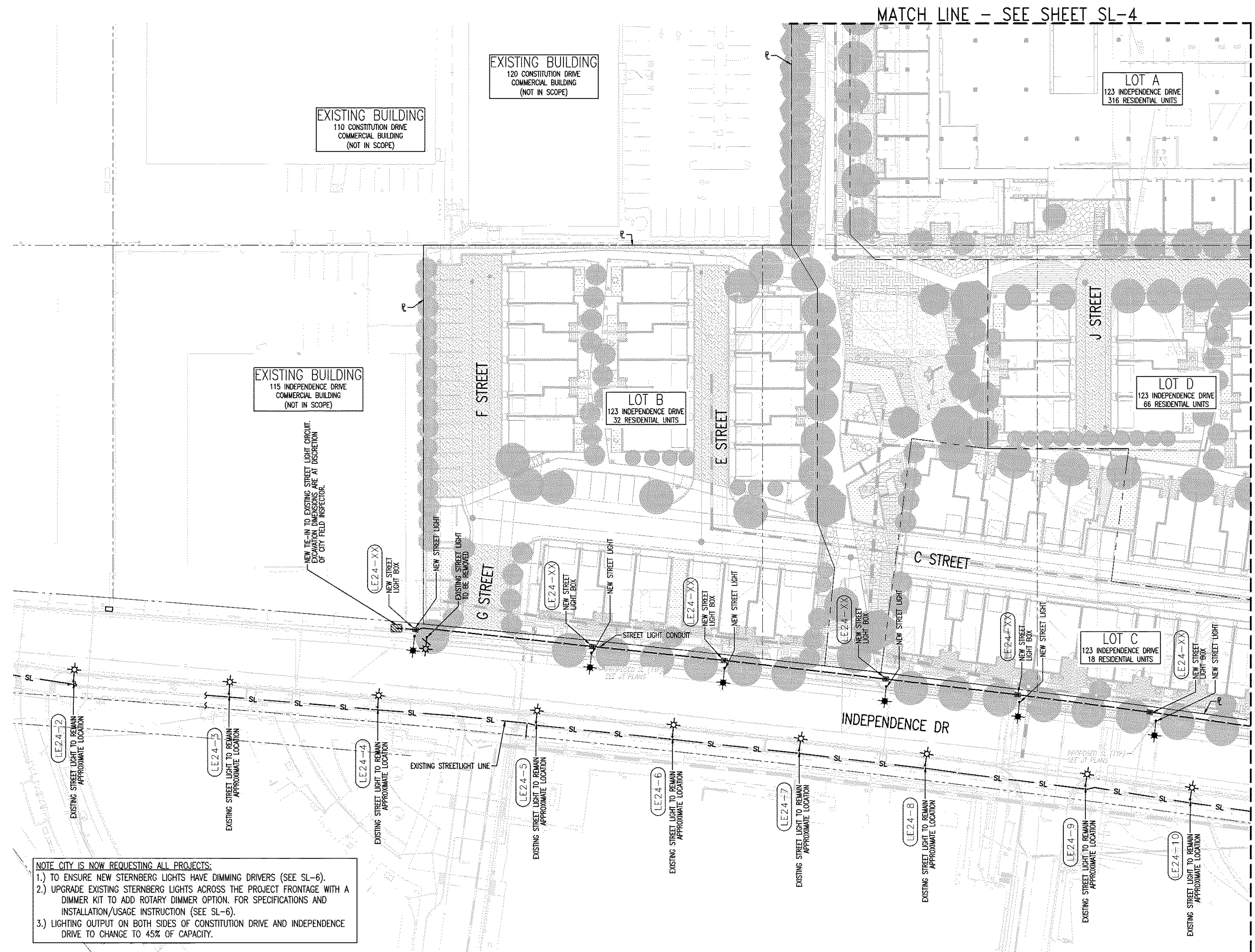
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UTILITY COMPANIES AND IS SUBJECT TO CHANGE.

LEGEND:

NEW	DESCRIPTION
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★	STREET LIGHT

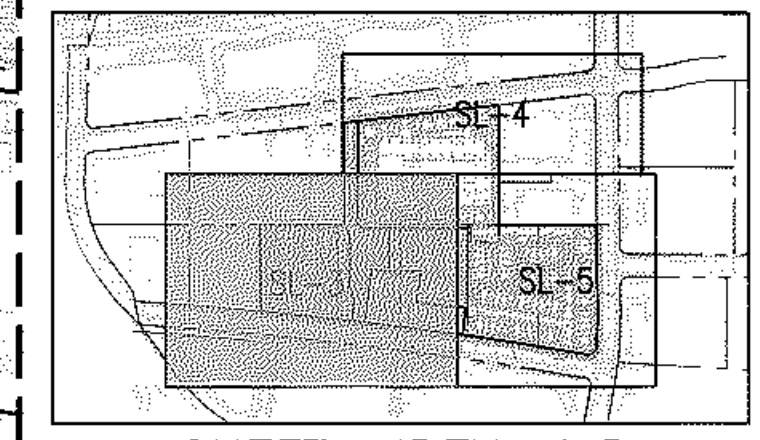
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(1234)	STREET LIGHT POLE NUMBER
★	STREET LIGHT TO REMAIN
★	STREET LIGHT TO BE REMOVED

LEGEND NTS



MATCH LINE - SEE SHEET SL-4

MATCH LINE - SEE SHEET SL-5

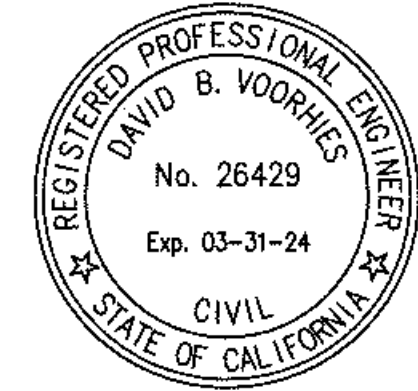
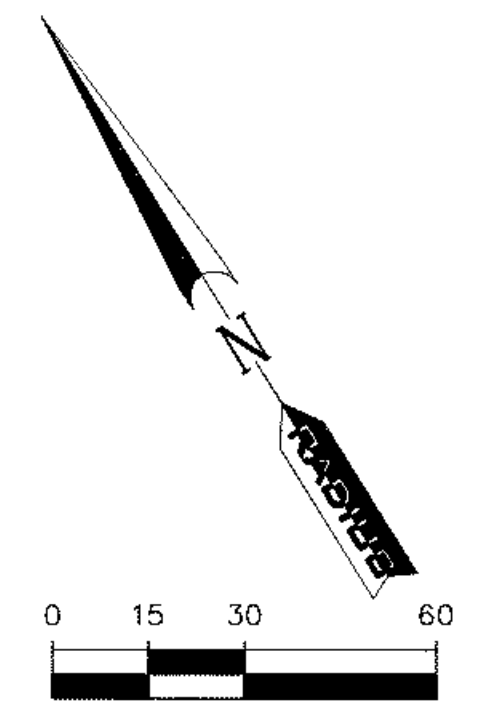


SHEET INDEX MAP
N. T. S.

SHEET INDEX

SL-1	ELECTROLIER TITLE SHEET
SL-2	ELECTROLIER OVERALL
SL-3-5	ELECTROLIER PLAN
SL-6	ELECTROLIER SPECIFICATIONS

NOTE: CITY IS NOW REQUESTING ALL PROJECTS:
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2.) UPGRADE EXISTING STERNBERG LIGHTS ACROSS THE PROJECT FRONTAGE WITH A DIMMER KIT TO ADD ROTARY DIMMER OPTION. FOR SPECIFICATIONS AND INSTALLATION/USAGE INSTRUCTION (SEE SL-6).
3.) LIGHTING OUTPUT ON BOTH SIDES OF CONSTITUTION DRIVE AND INDEPENDENCE DRIVE TO CHANGE TO 45% OF CAPACITY.



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The Sobrato Organization
599 Castro Street, Suite 400
Mountain View, CA

Sheet Title:
ELECTROLIER PLAN

Job No. 20004
Date: 06/13/2023
Scale: AS SHOWN
Drawn By: ME

Sheet No:
SL-3

UTILITIES
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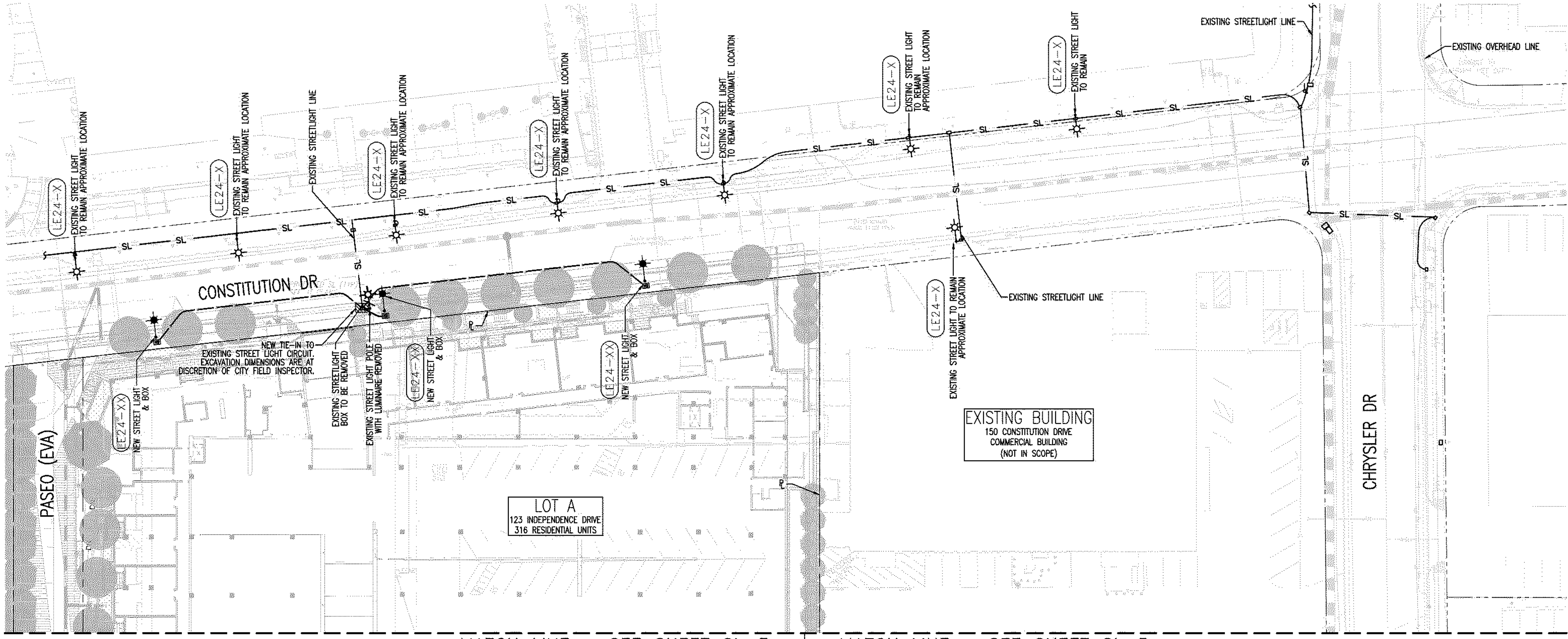
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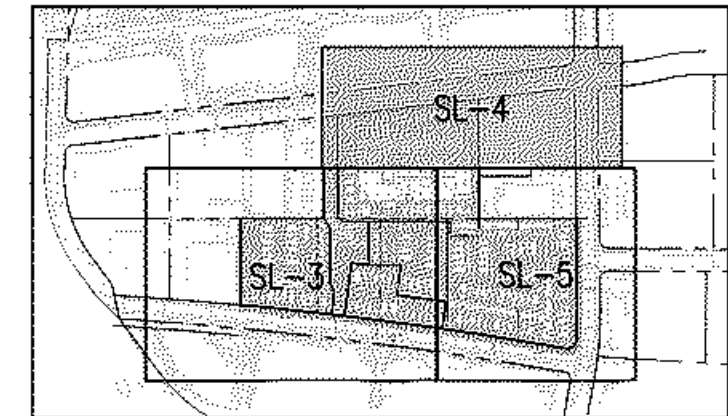
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1234	POLE NUMBER
⊛	STREET LIGHT
EXISTING	DESCRIPTION
— SL —	STREET LIGHT CONDUIT
1234	STREET LIGHT POLE NUMBER
⊛	STREET LIGHT TO REMAIN
⊛	STREET LIGHT TO BE REMOVED

NOTE CITY IS NOW REQUESTING ALL PROJECTS:
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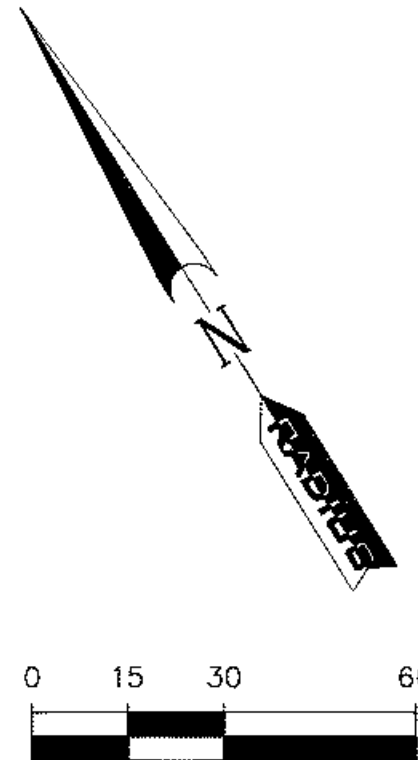
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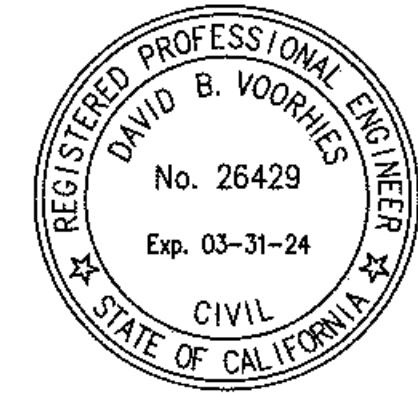
MATCH LINE - SEE SHEET SL-3 | MATCH LINE - SEE SHEET SL-5



SHEET INDEX MAP
N. T. S.



SHEET INDEX	
SL-1	ELECTROLIER TITLE SHEET
SL-2	ELECTROLIER OVERALL
SL-3-5	ELECTROLIER PLAN
SL-6	ELECTROLIER SPECIFICATIONS

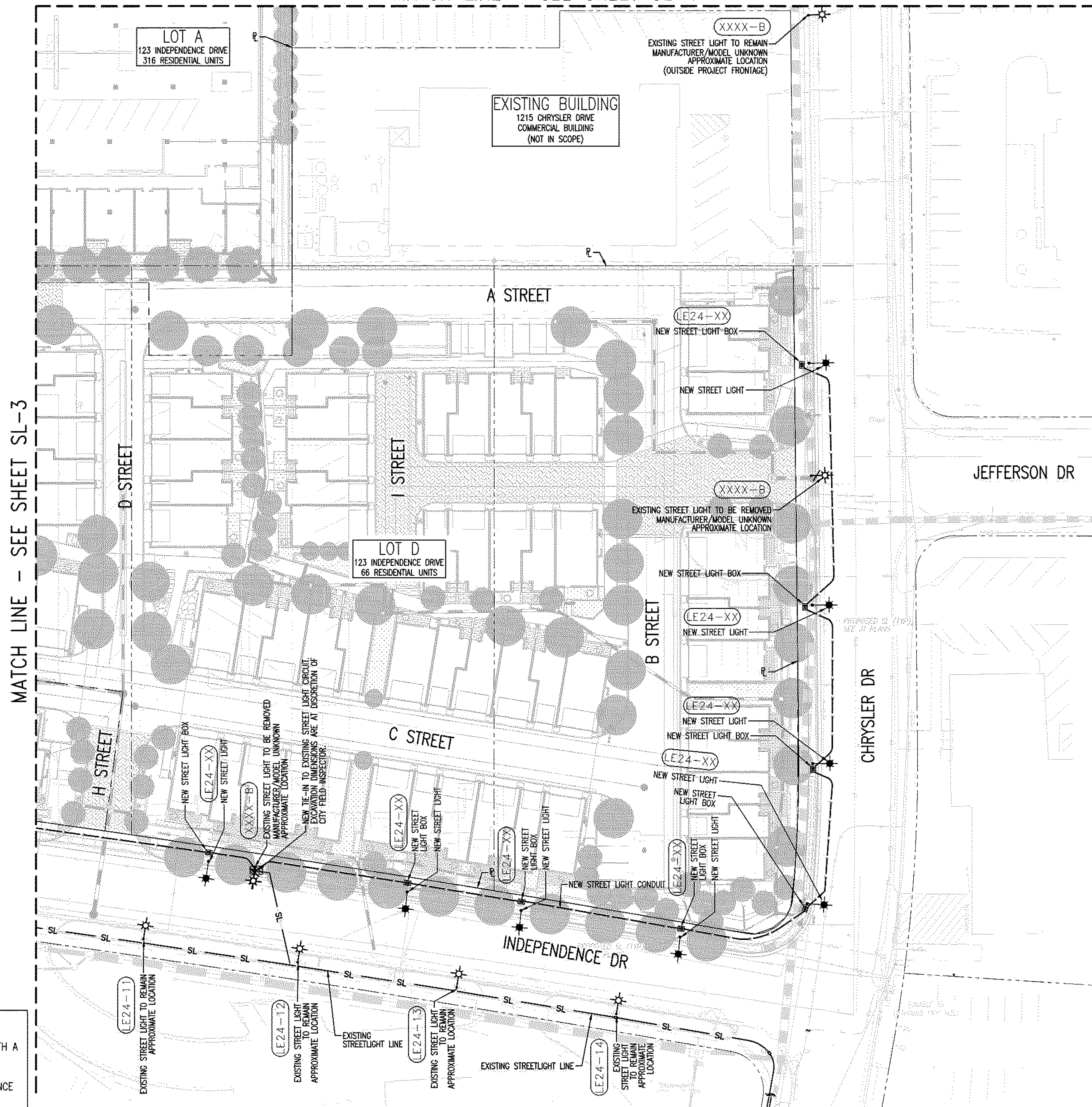


UTILITIES
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MATCH LINE - SEE SHEET SL-4



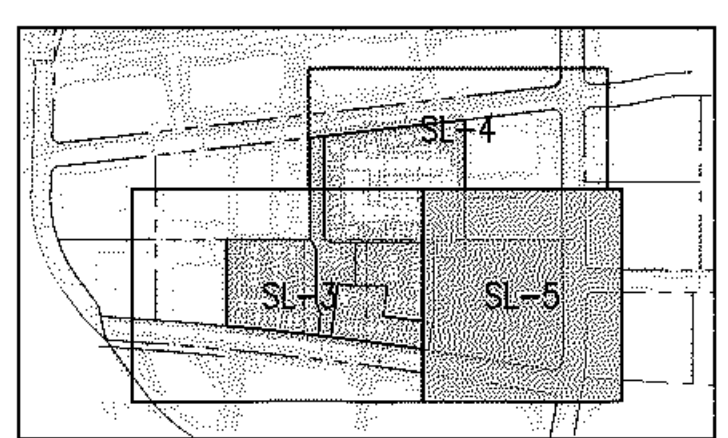
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NEW	DESCRIPTION
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1234	POLE NUMBER
*	STREET LIGHT

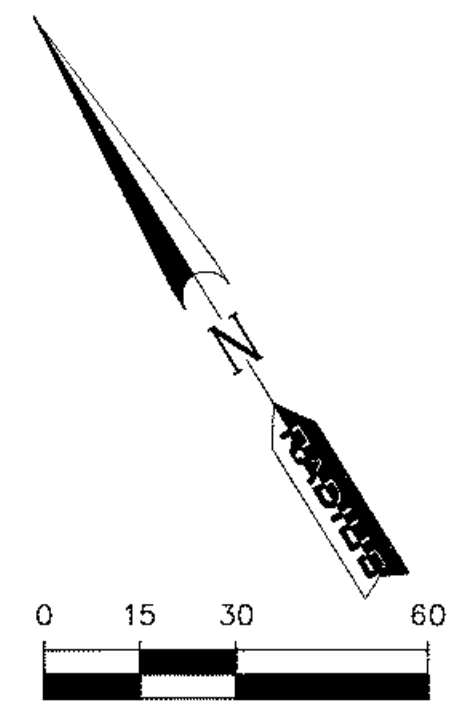
EXISTING	DESCRIPTION
SL	STREET LIGHT CONDUIT
(1234)	STREET LIGHT POLE NUMBER
*	STREET LIGHT TO REMAIN
*	STREET LIGHT TO BE REMOVED

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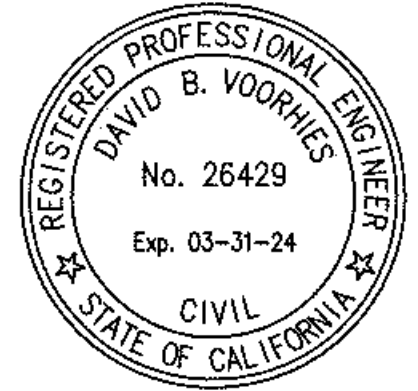


SHEET INDEX MAP
N. T. S.



SHEET INDEX

SL-1	ELECTROLIER TITLE SHEET
SL-2	ELECTROLIER OVERALL
SL-3-5	ELECTROLIER PLAN
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599 Castro Street, Suite 400
Mountain View, CA

Sheet Title:
ELECTROLIER PLAN

Job No. 20004
Date: 06/13/2023
Scale: AS SHOWN
Drawn By: ME

Sheet No:
SL-5

NOTE CITY IS NOW REQUESTING ALL PROJECTS:
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 3.) LIGHTING OUTPUT ON BOTH SIDES OF CONSTITUTION DRIVE AND INDEPENDENCE DRIVE TO CHANGE TO 45% OF CAPACITY.

SternbergLighting
 ESTABLISHED 1928 / EMPLOYEE OWNED

Installation Instructions Product: Rotary Dimmer Kit (81184)
 Effective Date: 02/04/2020 Part Description: Field Installation of kit

WARNING: To avoid fire, shock or death, turn off and lockout power before performing any maintenance.
CAUTION: This Luminaire must be wired in accordance with the National Electric Code (NEC) and all applicable local codes. Proper grounding is required. A qualified electrician must do all work. Dimmer kit to be used in only class 2 circuit.

A. Installing Dimming Leads
 Note 1: Dimmer Kit instructions are for luminaires installed on pole or arm.
 Note 2: If the dimmer assembly is for an access door, the pole cap related elements (highlighted) will not be present.

ITEM	QTY	PART NUMBER	DESCRIPTION
1	1	81184	DIMMER, 15-STEP RESISTIVE MODULE
2	1	62528	SCREW, PH PH SS SELF-TAP-5-32 X 5/16
3	2	62528	SCREW, PH PH SS SELF-TAP-5-32 X 5/16
4	4	46340	SCREW, SET SSC SS 14-20 X 3/8 (MAY VARY)
5	1	57855	BRACKET, DIMMER, POLE MOUNTED
6	1	62184	SCREW, 8-32 X 5/8 PH PAN FN
7	-25 FT	82150 & 83157	COIL OF WIRE, 2-CONDUCTOR, 800V
8	4	86567	CONNECTOR, COMPACT 2-COND TERMINAL BLOCK

Rotary Dimmer Kit (81184), Field Installation Instructions, Revision D Page 1 of 6

Step 2: De-energize luminaire.
Step 3: Remove filter set screws to access driver compartment of luminaire.
Step 4: Carefully lift acorn assembly from filter.
Step 5: To fully separate acorn assembly from filter, open power quick connector.

Step 6: Access driver dimming leads: purple (1) and gray (2). (Only driver assembly shown for clarity.)

Rotary Dimmer Kit (81184), Field Installation Instructions, Revision D Page 2 of 6

Step 7: Connect driver dimming leads to 2-conductor coil of wire per luminaire (see).

Step 8: Route 2-conductor wire to dimmer location. (Driver assembly not shown for clarity.)
Step 9: Reconnect power quick connect if opened.
Step 10: Reinstall acorn assembly into filter.
Step 11: Install set screws into filter to secure luminaire.
Step 12: Once dimmer is mounted, attach coil of dimming wire to dimmer leads, per diagram schematic in Step 7.

Rotary Dimmer Kit (81184), Field Installation Instructions, Revision D Page 3 of 6

B. Installing and Adjusting Dimmer
 Note 1: For pole cap mounted dimmers, proceed to Step B1. For access door mounted dimmer, go to Step B10.
 Note 2: Dimmers are supplied pre-mounted to brackets. For pole cap mounted units, dimmer assemblies are pre-mounted to pole caps.

Step 1: Remove set screws from pole cap.
Step 2: Remove cap from pole top.

Step 3: If dimmer leads are not attached to coil of dimming wire, connect leads per Step A12.
Step 4: Energize luminaire.
Step 5: Rotate knob on dimmer to adjust the light intensity as desired. The higher dimmer settings correspond to brighter light levels for the luminaire.

Step 6: Place dimmer assembly onto pole top.
Step 7: Secure set screws.
Step 8: De-energize luminaire as desired.
Step 9: For pole top mounted dimmers, installation is complete.

Step 10: For access door mounted dimmers, remove screw holding access door.
Step 11: Remove access door and door bar.
Step 12: Slip dimmer assembly over door bar.
Step 13: Secure assembly to bar with set screw.

Rotary Dimmer Kit (81184), Field Installation Instructions, Revision D Page 4 of 6

Step 14: If dimmer leads are not attached to coil of dimming wire, connect leads per Step A11.
Step 15: Energize luminaire.
Step 16: Rotate knob on dimmer to adjust the light intensity as desired. The higher dimmer settings correspond to brighter light levels for the luminaire.

Step 17: Insert screw into door. Thread screw into bar to minimal depth.
Step 18: Insert dimmer assembly and bar into access opening in pole.
Step 19: Tighten door screw until door is secure to pole.
Step 20: De-energize luminaire as desired.
Step 21: Access door mounted dimmer installation is complete.

Rotary Dimmer Kit (81184), Field Installation Instructions, Revision D Page 5 of 6

Appendix: Further UL Instructions

- Intended for Luminaires Sternberg Lighting LED pole or Post-mounted Luminaires.
- Warning:** Risk of fire or electrical shock. LED Retrofit Kit installation requires knowledge of luminaire electrical systems. If not qualified, do not attempt installation. Contact a qualified electrician.
- Install this kit only in luminaires that have the construction features and dimensions shown in the photographs and/or drawings and where the input rating of the retrofit kit does not exceed the input rating of the dimming circuit.
- Use in Class 2 circuits or circuits of lower voltage.
- The retrofit kit is accepted as a component of the luminaire where the suitability of the combination shall be determined by authorities having jurisdiction. Product must be installed by a qualified electrician in accordance with the applicable and appropriate electrical codes. The installation guide does not supersede local or national regulations for electrical installations.

Rev	Description of Revision	Release Date	Design Engineer Author	UL Compliance Approval
A	Initial Release	12/30/2019	D. Chowski	J. Seibel
B	Revised per UL comments	01/08/2020	D. Chowski	J. Seibel
C	Adding Appendix per UL requirement	1/15/2020	D. Chowski	J. Seibel
D	REV C issued old version, Re-adding REV D items	02/04/2020	D. Chowski	NA

Rotary Dimmer Kit (81184), Field Installation Instructions, Revision D Page 6 of 6

SternbergLighting
 ESTABLISHED 1928 / EMPLOYEE OWNED

Dimmer Usage Instructions Product: Dimmer (81184)
 Effective Date: 01-24-2020 Part Description: How to use dimmer

WARNING: To avoid fire, shock or death, turn off and lockout power before performing any maintenance.
CAUTION: This Fixture must be wired in accordance with the National Electric Code (NEC) and all applicable local codes. Proper grounding is required. A qualified electrician must do all work.

A. Access Dimmer
 Note 1: For the purposes of this instruction, the dimmer and driver are properly and electrically connected.
Step 1: Locate dimmer, it can be located under pole cap, behind access door in base of pole, under 1/8" pole covered box, or in driver compartment area of fixture.
Step 2: If opening the fixture to access the dimmer, de-energize prior to opening.
Step 3: Loosen access door screw, fixture or pole cap set screws, or open cover (as needed) to access dimmer.

Dimmer (81184) Usage Instructions, Revision A Page 1 of 2

B. Setting the Fixture Light Level
Step 1: Rotate knob on dimmer to adjust the light intensity as desired. The higher dimmer settings correspond to brighter light levels for the fixture.
Note 1: If a desired reduction in current/power is needed please use the table as a guide to set the proper rotary position. The levels listed are approximate values, since results can vary between drivers of different wattage and manufacture.
Note 2: Small changes in light level are not easily discernible to the human eye.

Setting	Light Level % (Reduction)	Setting	Light Level % (Reduction)
10	100% (none)	5	75% (25%)
9	85% (15%)	4	70% (30%)
8	90% (10%)	3	50% (50%)
7	85% (15%)	2	45% (55%)
6	80% (20%)	1	25% (75%)

Step 2: Energize fixture.
Step 3: Reverse light level to determine suitability.
Step 4: If needed, de-energize fixture and readjust dimmer setting.
Note 3: De-energizing the luminaire between dimmer settings is only recommended for the case when the dimmer is in the fixture driver area. It may be dangerous to lift and lower luminaires while energized. User should follow all appropriate safety and work codes in such cases.
Step 5: Repeat steps 2-4 as needed.
Step 6: Once the light level is suitable, re-install dimmer into its original location.
Step 7: Secure pole cap, box cover, access door and/or fixture as needed.
Step 8: Procedure is complete.

Rev	Description of Revision	Release Date	Design Engineer Author	Manufacturing Engineer Approval
A	Initial Release	1/24/2020	D. Chowski	G. Burton

Dimmer (81184) Usage Instructions, Revision A Page 2 of 2

SHEET INDEX
 SL-1 ELECTROLIER TITLE SHEET
 SL-2 ELECTROLIER OVERALL
 SL-3-5 ELECTROLIER PLAN
 SL-6 ELECTROLIER SPECIFICATIONS



123 Independence
 Menlo Park, CA

The Sobrato Organization
 599 Castro Street, Suite 400
 Mountain View, CA

Sheet Title:
ELECTROLIER SPECIFICATIONS

Job No. 20004
 Date: 06/13/2023
 Scale: AS SHOWN
 Drawn By: ME

Sheet No:
SL-6

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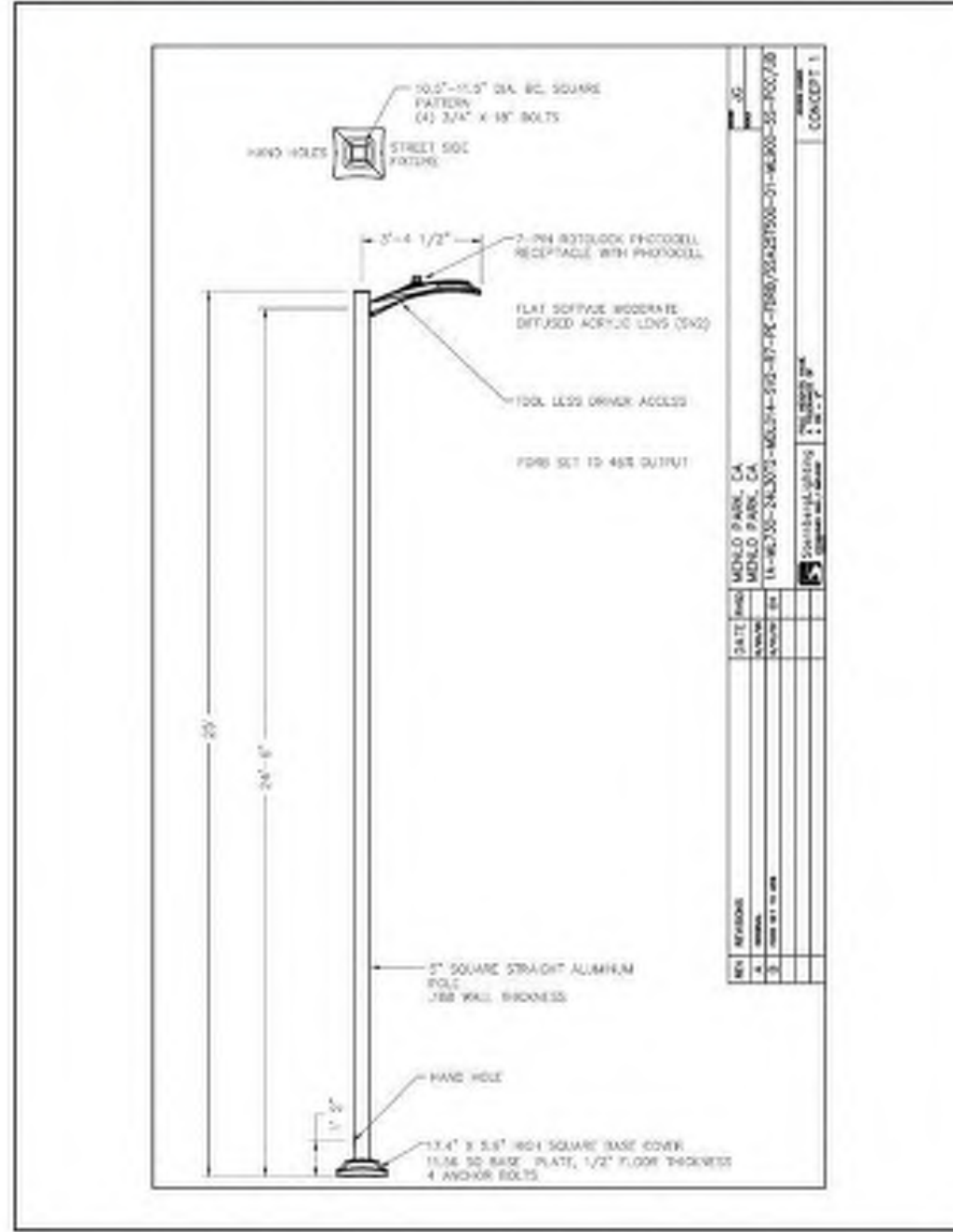
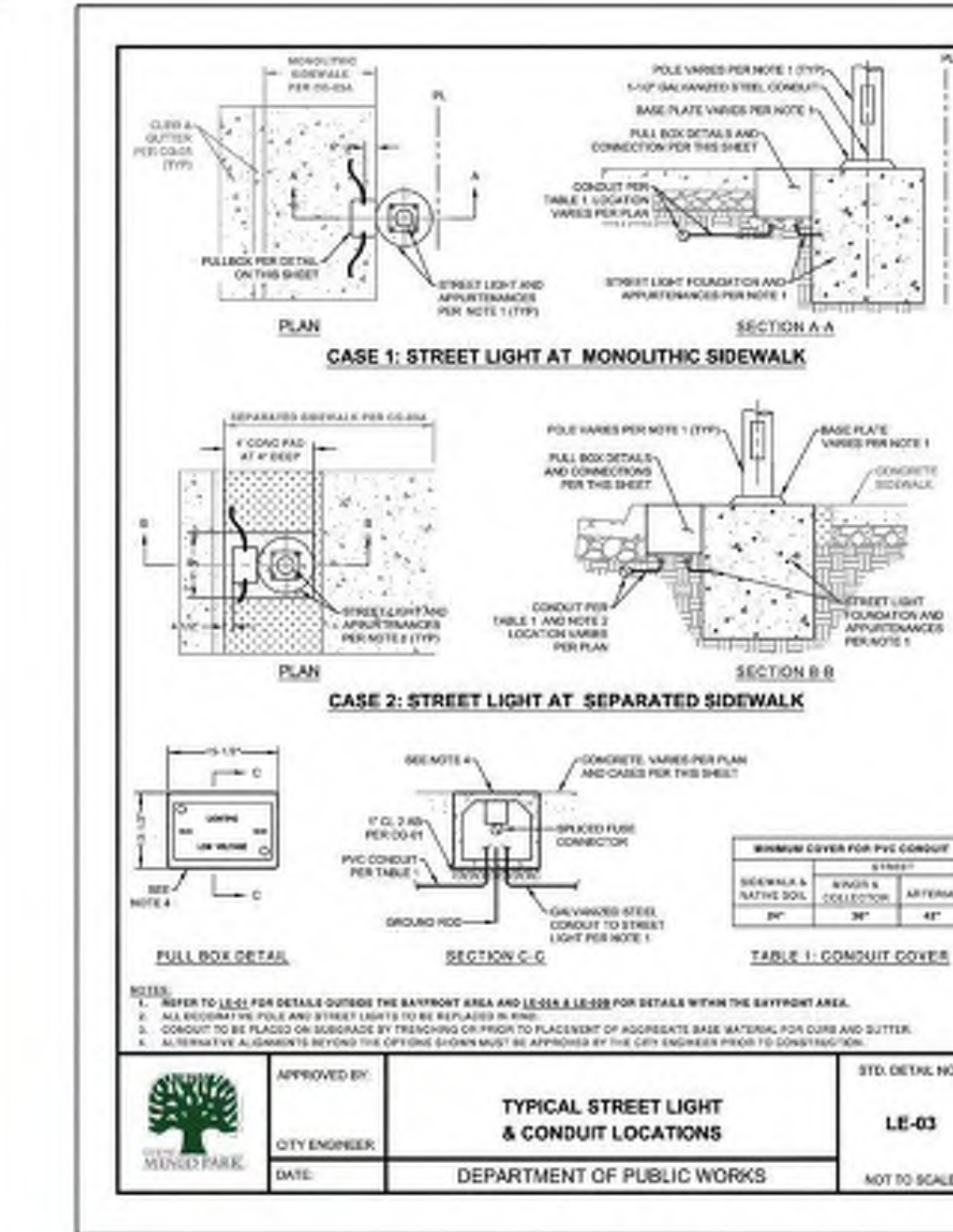
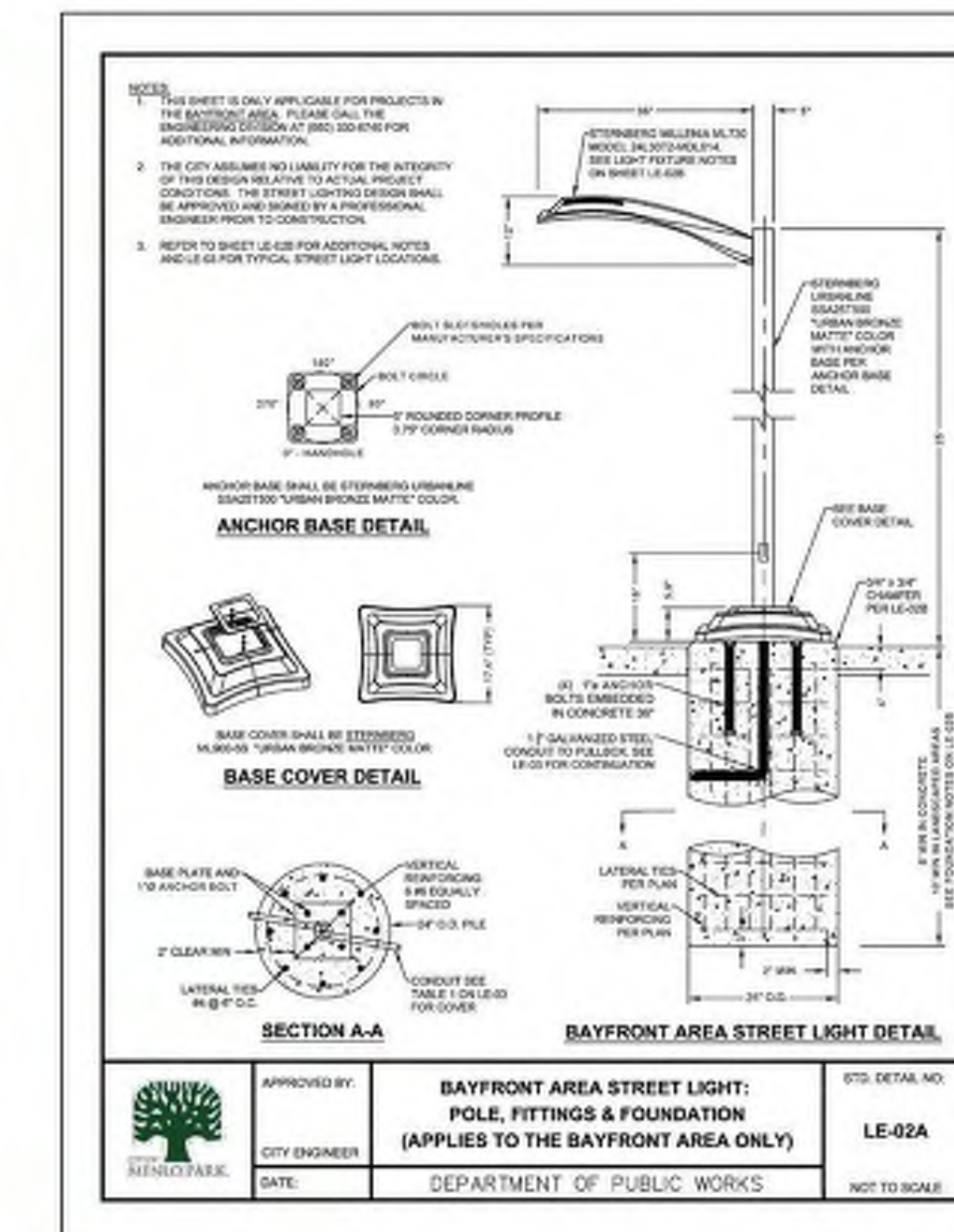
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MODEL #	BAL	SPARK	FLA	100	SPARK	FLA	100	SPARK	FLA	100	SPARK	FLA
40.00-40.00-100	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000

MODEL #	BAL	SPARK	FLA	100	SPARK	FLA	100	SPARK	FLA	100	SPARK	FLA
40.00-40.00-100	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000

MODEL #	BAL	SPARK	FLA	100	SPARK	FLA	100	SPARK	FLA	100	SPARK	FLA
40.00-40.00-100	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000



LUMINAIRE SCHEDULE									
CALLOUT	SYMBOL	LAMP	DESCRIPTION	BALLAST	MOUNTING	MODEL	VOLTS	QUANTITY	ARM LENGTH
A		Luxeon 50-50, 40K LED's (4x per boar)	ML730 Large Milenia Fixture, Arm Mount, T2, Soft Vue 2 Flat	ELECTRONIC	POLE	Sternberg Lighting ML730-24L4012-MDL014-SV2	120V 1P 2W	17	4
B		Luxeon 50-50, 40K, LED's	ML730 LARGE MILLENIA FIXTURE, ARM MOUNT, T2, SOFT VUE 2 FLAT (Outside of Project Frontage)	ELECTRONIC	POLE	Sternberg Lighting ML730-40L4015-MDL016-SV2	120V 1P 2W	21	4

INDEPENDENCE DRIVE	
AVERAGE FOOT-CANDLES	1.28
MAXIMUM FOOT-CANDLES	2.9
MINIMUM FOOT-CANDLES	0.1
MINIMUM TO MAXIMUM FC RATIO	0.04
MAXIMUM TO MINIMUM FC RATIO	28.15
AVERAGE TO MINIMUM FC RATIO	12.26

S. CHRYSLER DRIVE	
AVERAGE FOOT-CANDLES	0.60
MAXIMUM FOOT-CANDLES	2.6
MINIMUM FOOT-CANDLES	0.1
MINIMUM TO MAXIMUM FC RATIO	0.03
MAXIMUM TO MINIMUM FC RATIO	34.83
AVERAGE TO MINIMUM FC RATIO	8.00

CONSTITUTION DRIVE	
AVERAGE FOOT-CANDLES	1.25
MAXIMUM FOOT-CANDLES	7.1
MINIMUM FOOT-CANDLES	0.1
MINIMUM TO MAXIMUM FC RATIO	0.01
MAXIMUM TO MINIMUM FC RATIO	90.94
AVERAGE TO MINIMUM FC RATIO	16.05

N. CHRYSLER DRIVE	
AVERAGE FOOT-CANDLES	1.65
MAXIMUM FOOT-CANDLES	6.7
MINIMUM FOOT-CANDLES	0.1
MINIMUM TO MAXIMUM FC RATIO	0.01
MAXIMUM TO MINIMUM FC RATIO	73.04
AVERAGE TO MINIMUM FC RATIO	17.83

NOTE CITY IS NOW REQUESTING ALL PROJECTS:

- 1.) TO ENSURE NEW STERNBERG LIGHTS HAVE DIMMING DRIVERS (SEE SL-6).
- 2.) UPGRADE EXISTING STERNBERG LIGHTS ACROSS THE PROJECT FRONTAGE WITH A DIMMER KIT TO ADD ROTARY DIMMER OPTION. FOR SPECIFICATIONS AND INSTALLATION/USAGE INSTRUCTION (SEE SL-6).
- 3.) LIGHTING OUTPUT ON BOTH SIDES OF CONSTITUTION DRIVE AND INDEPENDENCE DRIVE TO CHANGE TO 45% OF CAPACITY.

Table 11C-1.01: Illuminance Method - Recommended Values

Street and Pedestrian Conflict Area	Pavement Classification (Minimum Maintained Average Values)	Uniformity Ratio E_{min}/E_{max}			Veiling Luminance Ratio L_{max}/L_{avg}
		R1	R2 and R3	R4	
Freeway Class A	N/A	0.6	0.9	0.8	3.0
Freeway Class B	N/A	0.4	0.6	0.5	3.0
Expressway	High	1.0	1.4	1.3	3.0
	Medium	0.8	1.2	1.0	3.0
	Low	0.6	0.9	0.8	3.0
Major (Arterial)	High	1.2	1.7	1.5	3.0
	Medium	0.9	1.3	1.1	3.0
	Low	0.6	0.9	0.8	3.0
Collector	High	0.8	1.2	1.0	4.0
	Medium	0.6	0.9	0.8	4.0
	Low	0.4	0.6	0.5	4.0
Local	High	0.6	0.9	0.8	6.0
	Medium	0.5	0.7	0.6	6.0
	Low	0.3	0.4	0.4	6.0

Pedestrian Conflict Area Classifications:

- High - Areas with significant numbers of pedestrians expected to be on the sidewalks or crossing the streets during daytime. Examples are downtown retail areas, near theaters, concert halls, stadiums, and transit terminals.
- Medium - Areas where lesser numbers of pedestrians utilize the streets at night. Typical are downtown office areas, blocks with libraries, apartments, neighborhood shopping, industrial, older city areas, and streets with transit lines.
- Low - Areas with very low volumes of night pedestrian usage. These can occur in any of the cited street classifications but may be typified by sub-urban single family streets, very low density residential developments, and rural or semi-rural areas.

Source: Adapted from ANSI / IES RP-8-00 (R2005)

Table 11C-1.02: Street Surface Classifications

Class	Q_s *	Description	Mode of Reflectance
R1	0.10	PCC street surface. Asphalt street surface with a minimum of 12% of the aggregates composed of artificial brightener (e.g., Synopal aggregates (e.g., labradorite, quartzite).	Mostly diffuse
R2	0.07	Asphalt street surface with an aggregate composed of minimum 60 percent gravel [size greater than 1 cm (0.4 in.)]. Asphalt street surface with 10% to 15% artificial brightener in aggregate mix. (Not normally used in North America.)	Mixed (diffuse and specular)
R3	0.07	Asphalt street surface (regular and carpet seal) with dark aggregates (e.g., trap rock, blast furnace slag), rough texture after some months of use (typical highways).	Slightly specular
R4	0.08	Asphalt street surface with very smooth texture.	Mostly specular

* Q_s = representative mean luminance coefficient
Source: ANSI / IES RP-8-00 (R2005)



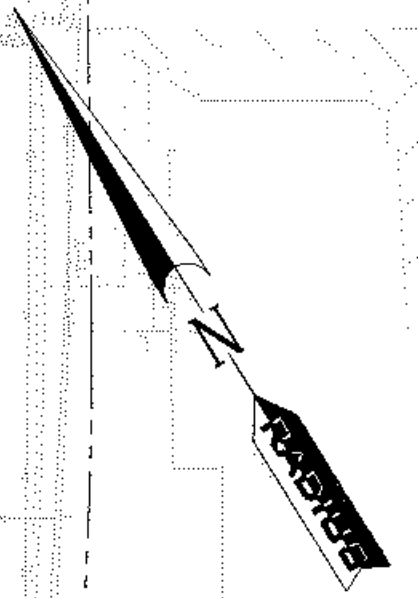
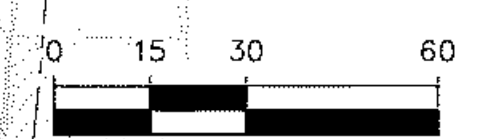
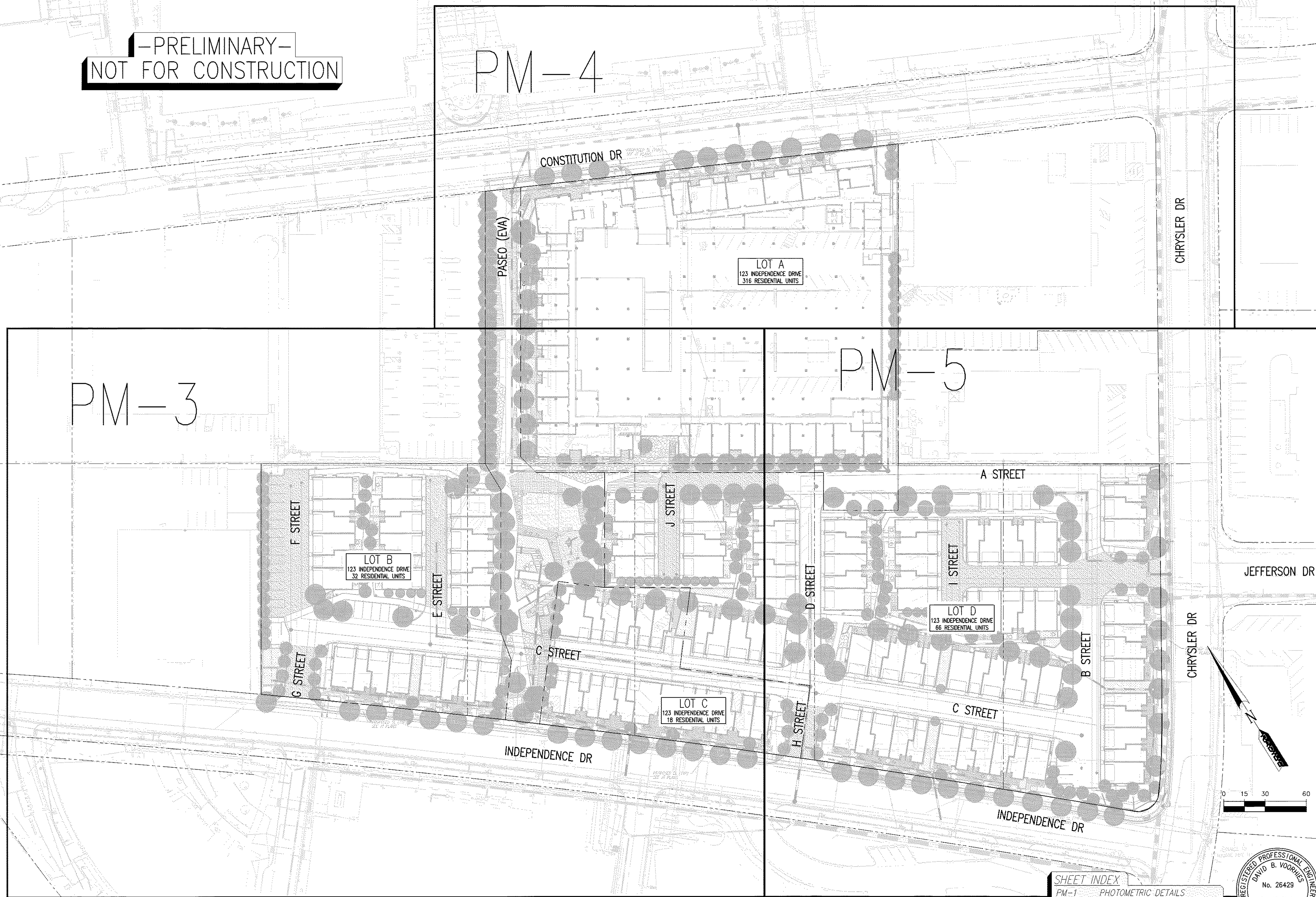
SHEET INDEX	
PM-1	PHOTOMETRIC DETAILS
PM-2	PHOTOMETRIC OVERALL
PM-3-5	PHOTOMETRICS PLAN

**-PRELIMINARY-
NOT FOR CONSTRUCTION**

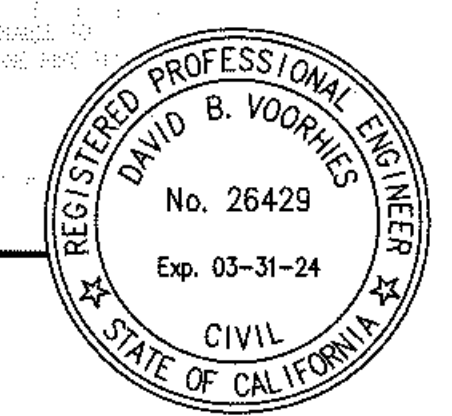
PM-4

PM-5

PM-3



SHEET INDEX	
PM-1	PHOTOMETRIC DETAILS
PM-2	PHOTOMETRIC OVERALL
PM-3-5	PHOTOMETRICS PLAN



UTILITIES
PLEASE CONFIRM
TIE IN LOCATIONS

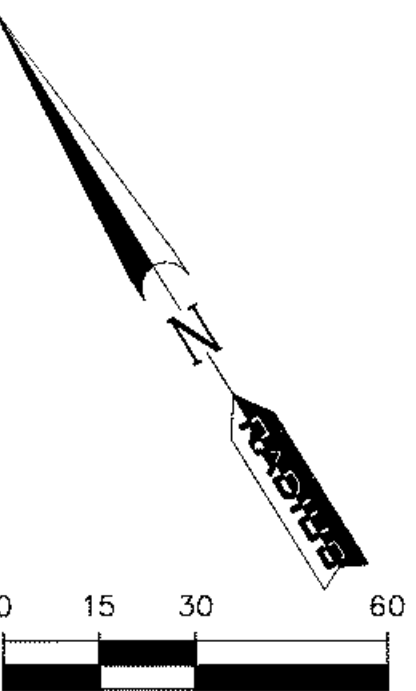
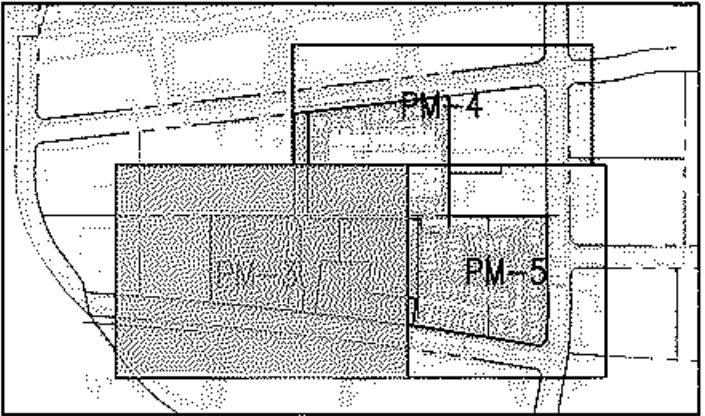
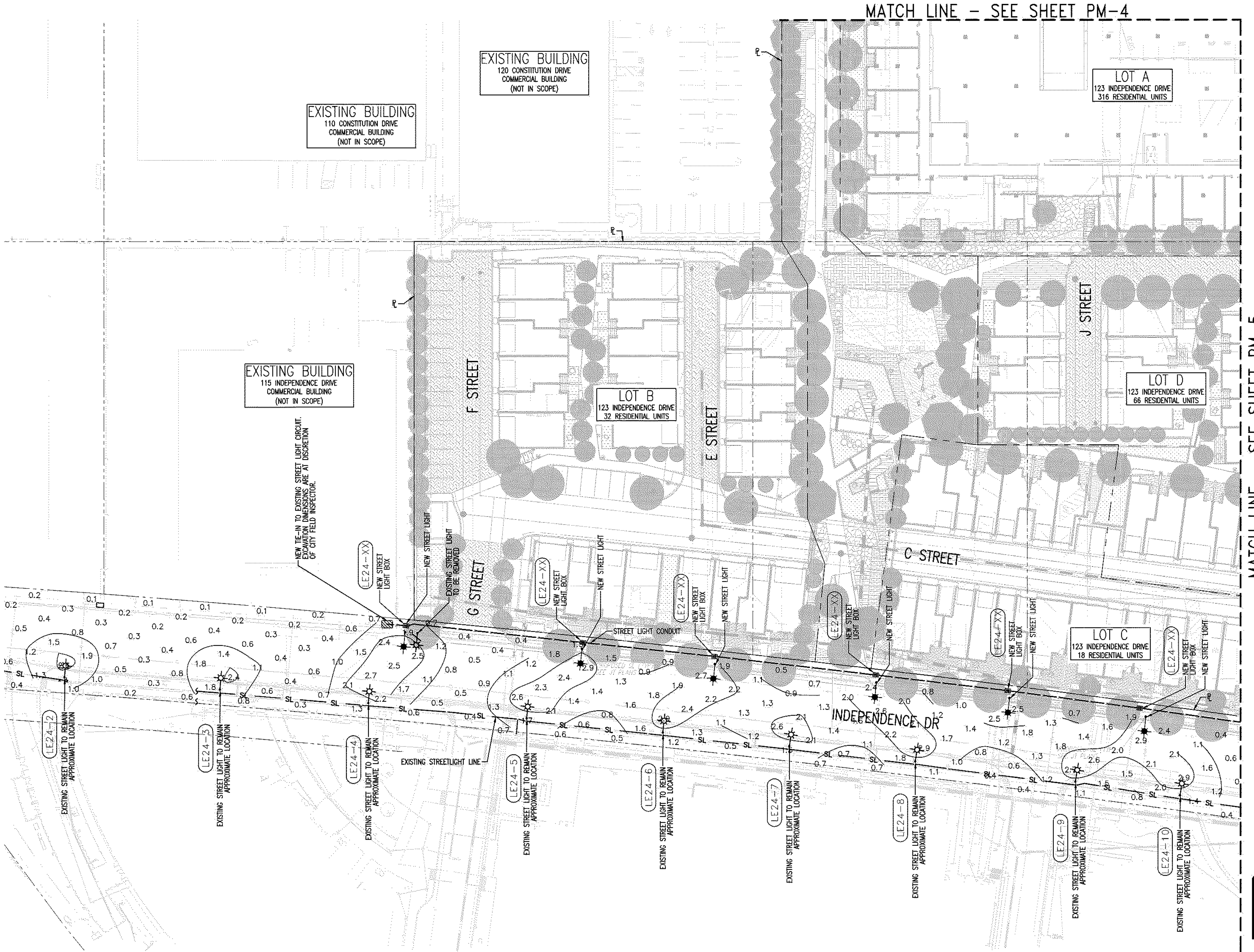
-PRELIMINARY-
NOT FOR CONSTRUCTION

THIS IS NOT A BID DOCUMENT
THIS DRAWING HAS NOT YET BEEN REVIEWED BY
UTILITY COMPANIES AND IS SUBJECT TO CHANGE.

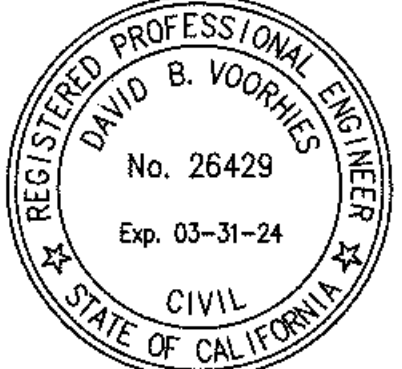
INDEPENDENCE DRIVE	
AVERAGE FOOT-CANDLES	1.28
MAXIMUM FOOT-CANDLES	2.9
MINIMUM FOOT-CANDLES	0.1
MINIMUM TO MAXIMUM FC RATIO	0.04
MAXIMUM TO MINIMUM FC RATIO	28.15
AVERAGE TO MINIMUM FC RATIO	12.26

LEGEND:	
NEW	DESCRIPTION
(1234)	STREET LIGHT CONDUIT
1234	POLE NUMBER
*	STREET LIGHT
EXISTING	DESCRIPTION
SL	STREET LIGHT CONDUIT
(1234)	STREET LIGHT POLE NUMBER
*	STREET LIGHT TO REMAIN
*	STREET LIGHT TO BE REMOVED

LEGEND NTS



SHEET INDEX	
PM-1	PHOTOMETRIC DETAILS
PM-2	PHOTOMETRIC OVERALL
PM-3-5	PHOTOMETRICS PLAN



123 Independence
Menlo Park, CA

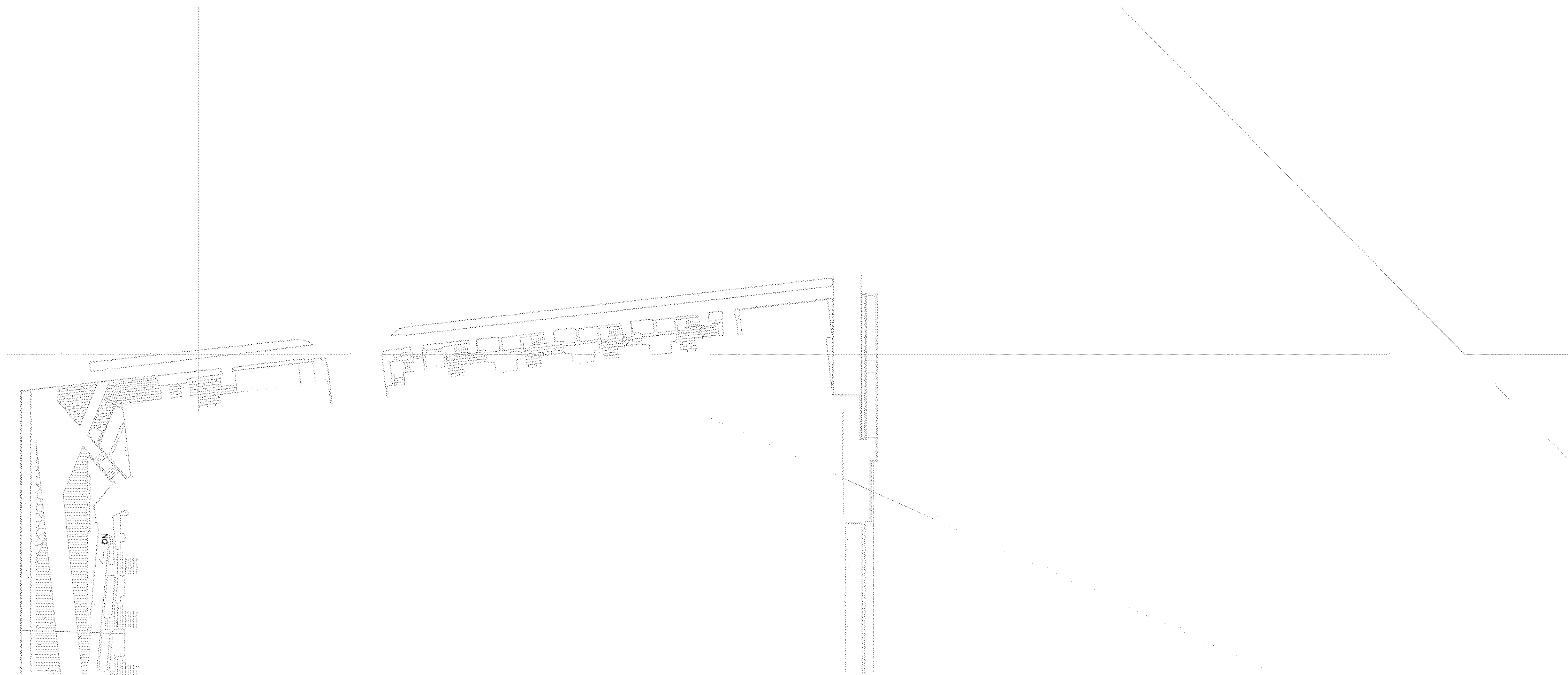
The Sobrato Organization
599 Castro Street, Suite 400
Mountain View, CA

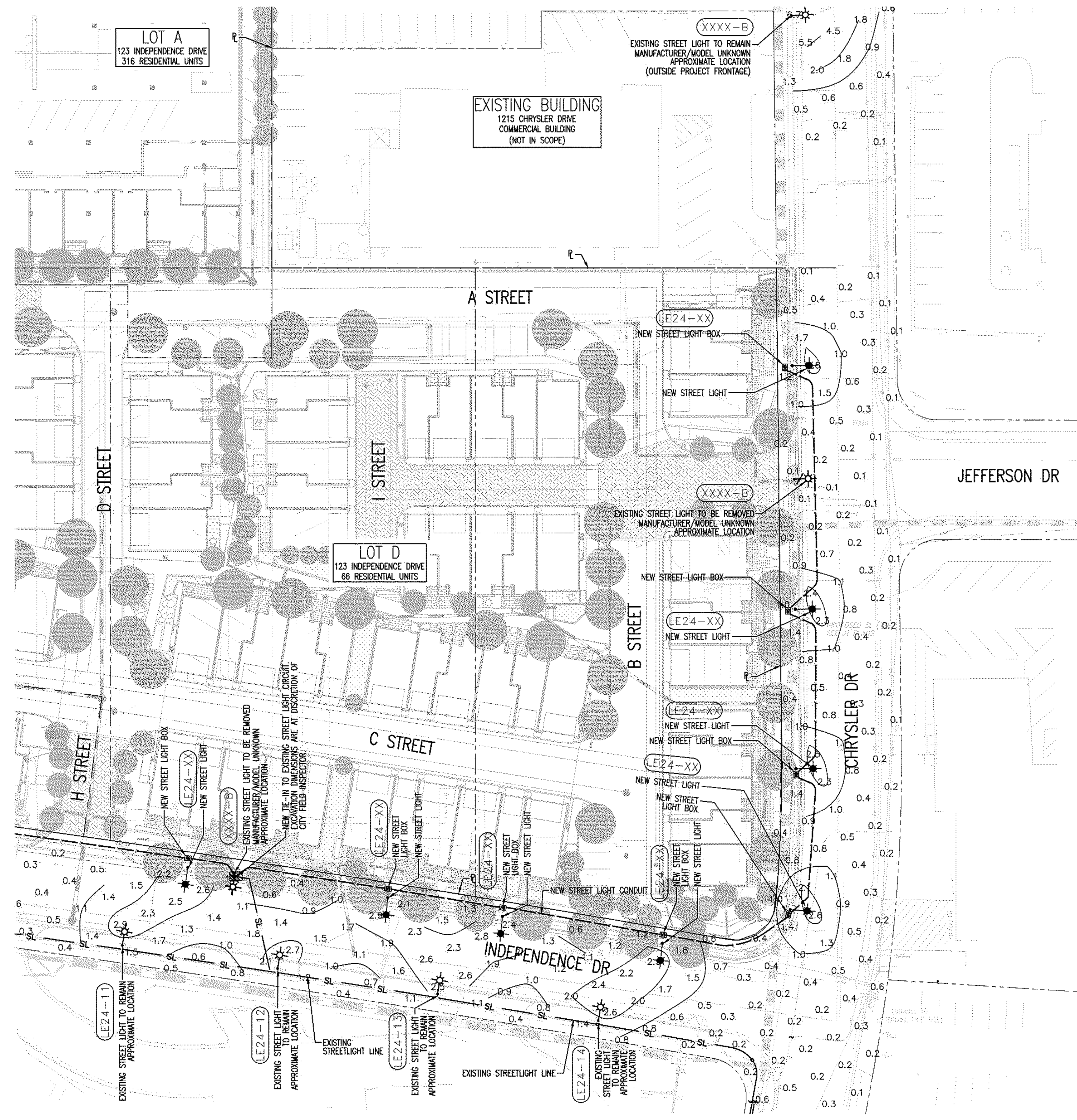
Sheet Title:
PHOTOMETRICS PLAN

Job No. 20004
Date: 06/13/2023
Scale: AS SHOWN
Drawn By: ME

Sheet No:
PM-3

RADIUS DESIGN, LLC
UTILITY DESIGN CONSULTANTS & ENGINEERS
1460 MARIA LANE, SUITE 400, WALNUT CREEK, CA 94596
Tel: (925) 268-4575





PROJECTED COLLECTION SCHEDULE: WEST APARTMENT TRASH		
SERVICE:	CONTAINER VOL / TYPE:	FREQUENCY:
WASTE	(1) 3CY FL COMPACTED CONTAINER	2x/wk
RECYCLING	(1) 4CY FL COMPACTED CONTAINER	3x/wk
COMPOST	(5) 96-GALLON TOTER CARTS	3x/wk

PROJECTED COLLECTION SCHEDULE: EAST APARTMENT TRASH		
SERVICE:	CONTAINER VOL / TYPE:	FREQUENCY:
WASTE	(1) 3CY FL COMPACTED CONTAINER	2x/wk
RECYCLING	(1) 4CY FL COMPACTED CONTAINER	3x/wk
COMPOST	(5) 96-GALLON TOTER CARTS	3x/wk

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3. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO START OF CONSTRUCTION. THE ARCHITECT SHALL BE PROMPTLY NOTIFIED OF ANY INCONSISTENCIES AND/OR DISCREPANCIES.

PLAN CHECK NOTES.

1. MANAGEMENT STAFF SHALL PROVIDE DESIGNATED RECYCLING RECEPTACLE IN MAIL ROOM FOR RESIDENTIAL DISPOSAL OF UNWANTED MAIL, AS WELL AS A DESIGNATED WASTE RECEPTACLE FOR BATTERIES, PAINT, FLUORESCENT BULBS, OR ANY OTHER HAZARDOUS MATERIAL BANNED FROM LANDFILL THAT REQUIRES SPECIAL HANDLING.
2. MANAGEMENT STAFF SHALL PROVIDE SIGNAGE IN ALL TRASH VESTIBULES THAT EXPLICITLY DETAILS PROPER DISPOSAL OF WASTE, RECYCLING, AND COMPOST.

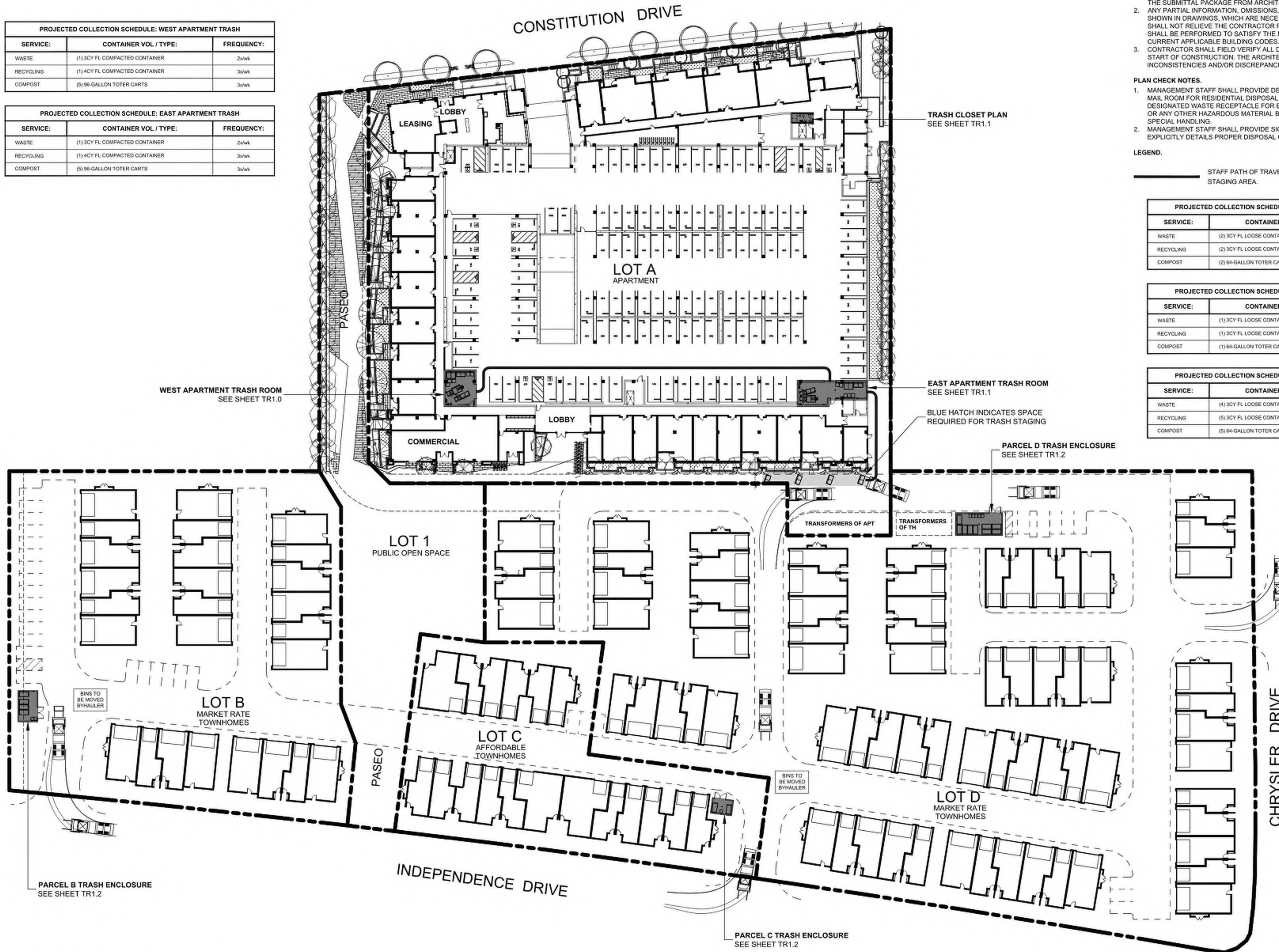
LEGEND.

STAFF PATH OF TRAVEL FROM TRASH ROOMS TO TRASH STAGING AREA.

PROJECTED COLLECTION SCHEDULE: PARCEL B TRASH ENCLOSURE		
SERVICE:	CONTAINER VOL / TYPE:	FREQUENCY:
WASTE	(2) 3CY FL LOOSE CONTAINERS	1x/wk
RECYCLING	(2) 3CY FL LOOSE CONTAINERS	2x/wk
COMPOST	(2) 64-GALLON TOTER CARTS	2x/wk

PROJECTED COLLECTION SCHEDULE: PARCEL C TRASH ENCLOSURE		
SERVICE:	CONTAINER VOL / TYPE:	FREQUENCY:
WASTE	(1) 3CY FL LOOSE CONTAINER	1x/wk
RECYCLING	(1) 3CY FL LOOSE CONTAINER	3x/wk
COMPOST	(1) 64-GALLON TOTER CART	3x/wk

PROJECTED COLLECTION SCHEDULE: PARCEL D TRASH ENCLOSURE		
SERVICE:	CONTAINER VOL / TYPE:	FREQUENCY:
WASTE	(4) 3CY FL LOOSE CONTAINERS	1x/wk
RECYCLING	(5) 3CY FL LOOSE CONTAINERS	2x/wk
COMPOST	(5) 64-GALLON TOTER CARTS	2x/wk



TRASH ROUTE / STAGING PLAN

LEVEL 1

SCALE: 1/2" = 1'-0"



Architecture
Planning
Urban Design

1970 Broadway, Suite 500
Oakland, California 94612
(510) 451-2850

123 Independence
Menlo Park, CA

The Sobrato Organization
599 Castro Street, Suite 400
Mountain View, CA

Sheet Title:
TRASH ROUTE STAGING PLAN

Job No. 20004
Date: 06/13/23
Scale: As Indicated
BM

Sheet No:
TR0.1

PROJECTED COLLECTION SCHEDULE: WEST APARTMENT TRASH		
SERVICE:	CONTAINER VOL / TYPE:	FREQUENCY:
WASTE	(1) 3CY FL COMPACTED CONTAINER	2x/wk
RECYCLING	(1) 4CY FL COMPACTED CONTAINER	3x/wk
COMPOST	(5) 96-GALLON TOTES	3x/wk

SHEET NOTES:

WEST APARTMENT TRASH ROOM - LEVEL 1:

- TRASH COLLECTION ROOM IS PART OF 2HR FIRE-RATED TRASH CHUTE SHAFT - RESTRICTED ACCESS.
- FLOOR SHALL BE FINISHED WITH WATERPROOF DECK COATING. FLOOR TO HAVE MINIMAL SLOPE (1" MAX) AND FLOOR DRAIN. FLOOR LEVEL UNDER COMPACTOR.
- WALLS SHALL BE FINISHED WITH WASHABLE WATERPROOF SURFACE SUCH AS FRP OR HIGH-GLOSS ENAMEL PAINT, 8'-0" AFF.
- INSTALL WALL PROTECTION: 12"Hx6"W CONCRETE CURB AT BASE OF ALL NON-CONCRETE WALLS. DO NOT INSTALL THE CURB AROUND THE COMPACTOR OR POWER PACKS.
- 8'-0" ROLL UP DOOR AND 3FT EXIT DOOR.
- ROOM SHALL BE MECHANICALLY VENTILATED WITH (1) CFM/FT PER 2019 CBC.
- (2) 30"Ø GRAVITY CHUTES WITH (2) COMPACTOR FOR WASTE AND RECYCLING. PROVIDE 2CY FL COMPACTOR CONTAINERS FOR WASTE AND RECYCLING. CHUTES SHALL TERMINATE AT 5'-9" AFF.
- PP: COMPACTOR POWER PACK SHALL BE FLOOR-MOUNTED. (2) 5HP 3-PHASE, 208/230/460V. (2) 30A DISCONNECTS 60" AFF.
- MCP: CHUTE MASTER CONTROL PANEL SHALL BE WALL-MOUNTED 60" AFF. MUST ALLOW LOCK DOWN OF CHUTE INTAKES FOR EXCHANGING CONTAINERS AND WASHING CHUTES. REQUIRES 120V 15A DEDICATED SERVICE.
- AC: 2HP CHUTE AIR COMPRESSOR SHALL BE FLOOR-MOUNTED. REQUIRES 120V 15A SERVICE OUTLETS.
- OC: ODOR CONTROL UNIT SHALL BE WALL-MOUNTED 60" AFF. REQUIRES 120V 15A SERVICE OUTLETS.
- HB: HOT AND COLD HOSE BIB SHALL BE WALL-MOUNTED 60" AFF.
- PROVIDE ELECTRIC PALLET TRUCK FOR TRANSFERRING CONTAINERS. 4000lb CAPACITY; TURNING RADIUS: 45.5". REQUIRES 120V 15A SERVICE OUTLETS.
- CHUTE DISCHARGE DOOR: TYPE-A, HORIZONTALLY INSULATED SLIDING-STEEL DOOR, HELD OPEN BY 165" F FUSIBLE LINK.
- (1) UNDEDICATED 120V 15A SERVICE OUTLET REQUIRED FOR STAFF MAINTENANCE PURPOSE.

CHUTE INTAKE VESTIBULES - LEVELS 2 - 5:

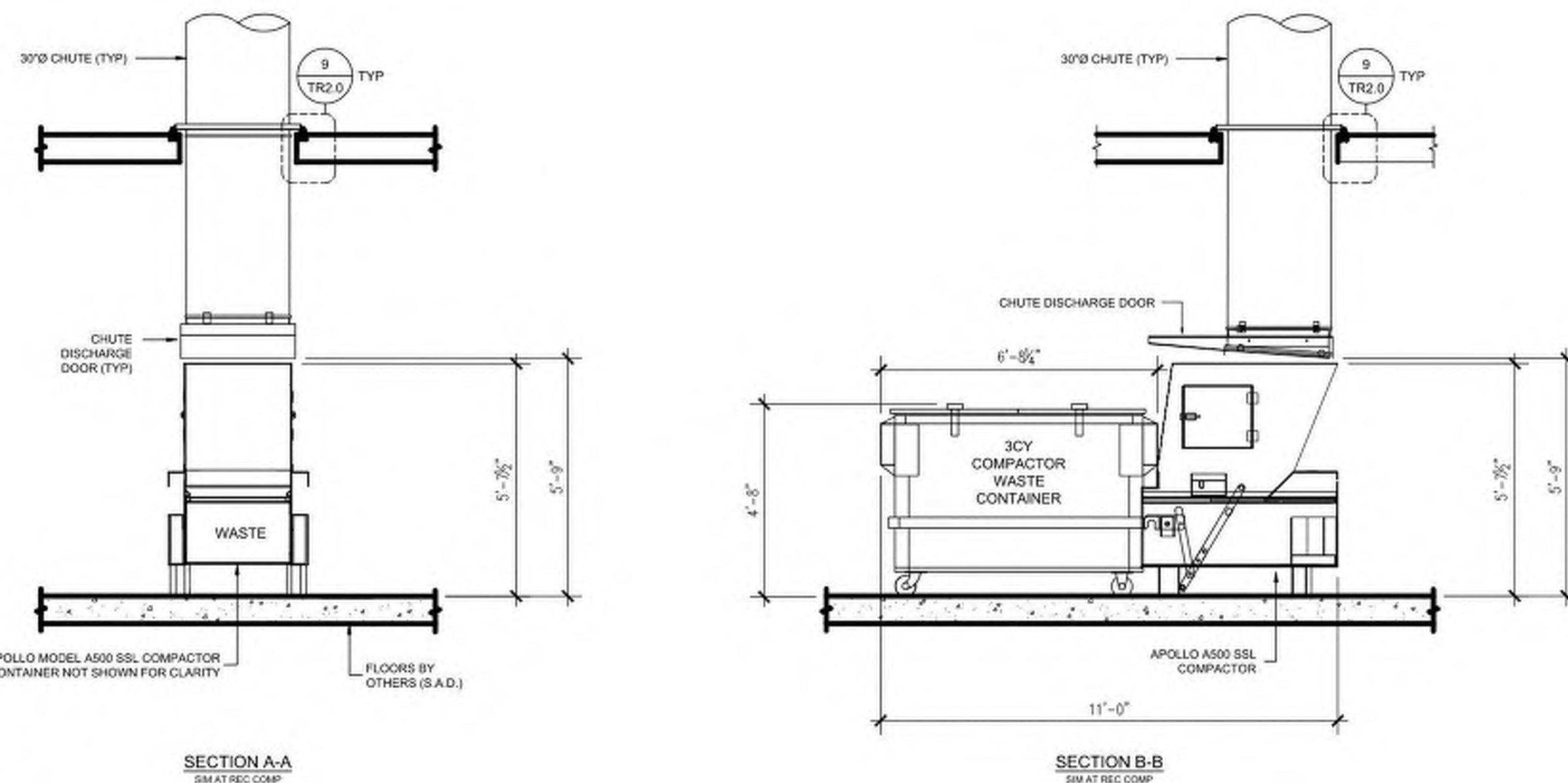
- CHUTE INTAKE VESTIBULES SHALL BE 1HR FIRE-RATED WITH 45-MINUTE FIRE-RATED DOOR; 5'-0" MIN REQUIRED PER ADA STANDARDS - RESIDENTIAL ACCESS. PROVIDE (2) SELF CLOSING, 15x18 BOTTOM HINGED, ELECTRICALLY INTERLOCKED, AUTOMATIC OPENING INTAKE DOORS TO DISPOSE TRASH AND RECYCLING INTO COMPACTORS PER CBC 713.13.1. POWER TO INTAKE DOORS SUPPLIED BY MCP. SEE DETAIL 2/TR2.0.
- CHUTE SHAFT SHALL NOT BE ERECTED UNTIL CHUTE HAS BEEN INSTALLED. FOR SOUND PROOFING PURPOSES, DOUBLE STUD-WALLS ARE REQUIRED ADJACENT TO OCCUPIED SPACES. INTERIOR OF SHAFT SHALL BE TAPED TO PREVENT ODOROUS AIR LEAKING INTO OCCUPIED SPACES.
- PROVIDE ROUND FLOOR OPENINGS AT CONCRETE FLOORS AND SQUARED FLOOR OPENINGS AT WOOD-FRAME CONSTRUCTION. INSTALL FLOOR SUPPORT FRAME AT EACH FLOOR PENETRATION TO SECURE CHUTE. SEE DETAIL 9/TR2.0 FOR ANCHORING AND MASON BRA-RED SOUND ISOLATION PAD ASSEMBLY. POUR RINGS WILL VARY BASED ON THICKNESS OF FLOOR SLAB AND SHALL BE PROVIDED BY MANUFACTURER.

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- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO START OF CONSTRUCTION. THE ARCHITECT SHALL BE PROMPTLY NOTIFIED OF ANY INCONSISTENCIES AND/OR DISCREPANCIES.

DESIGN ISSUES:

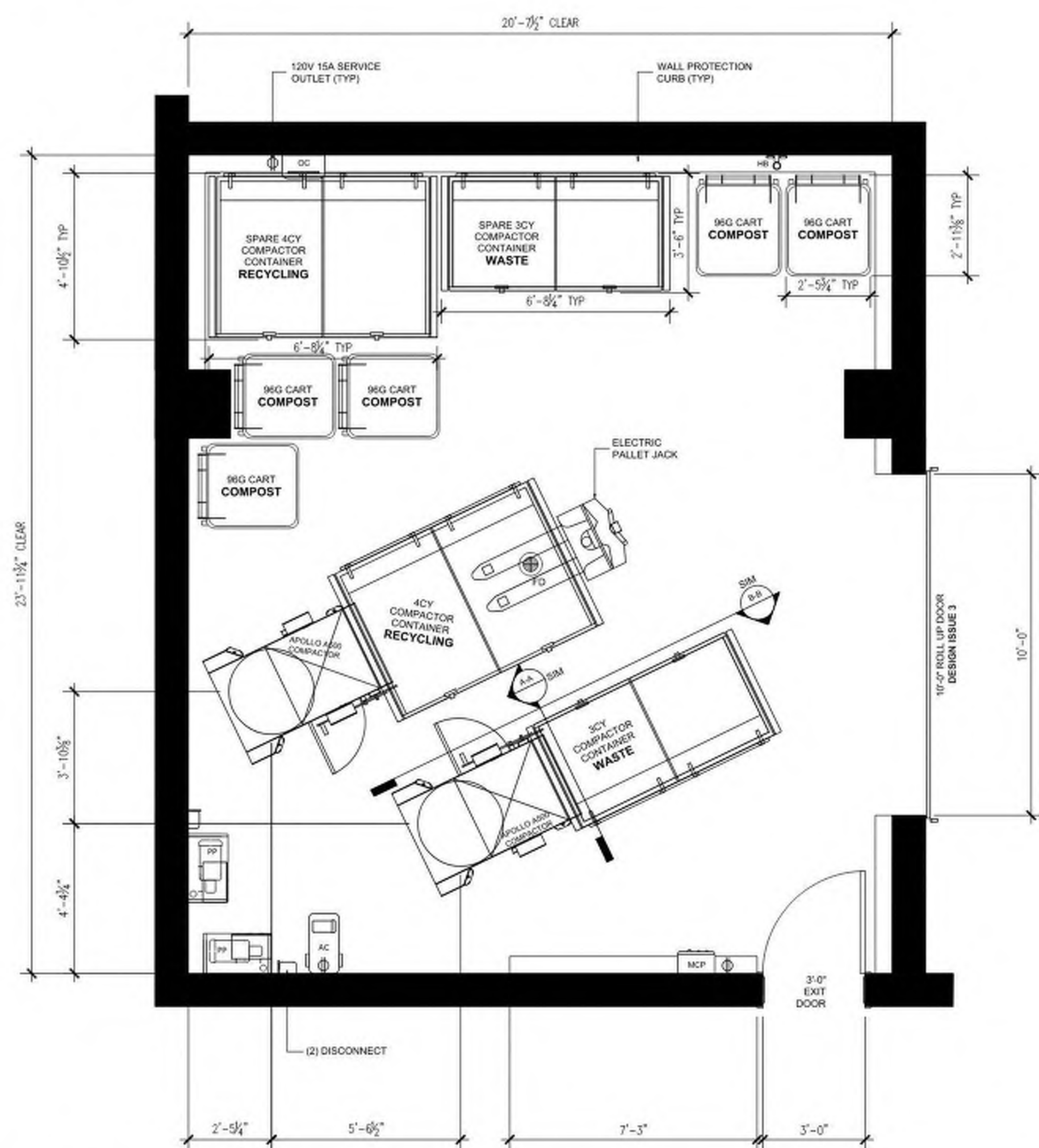
- RELOCATE CHUTES PER PLAN TO STACK VERTICALLY THROUGHOUT BUILDING.
- AT UPPER LEVELS: REVISE VESTIBULE PER PLAN TO MATCH RELOCATED CHUTES.
- INSTALL 10'-0" WIDE ROLL-UP DOOR AND OMIT SECOND 3'-0" ACCESS DOOR.



SECTIONS

AT WEST APARTMENT TRASH ROOM

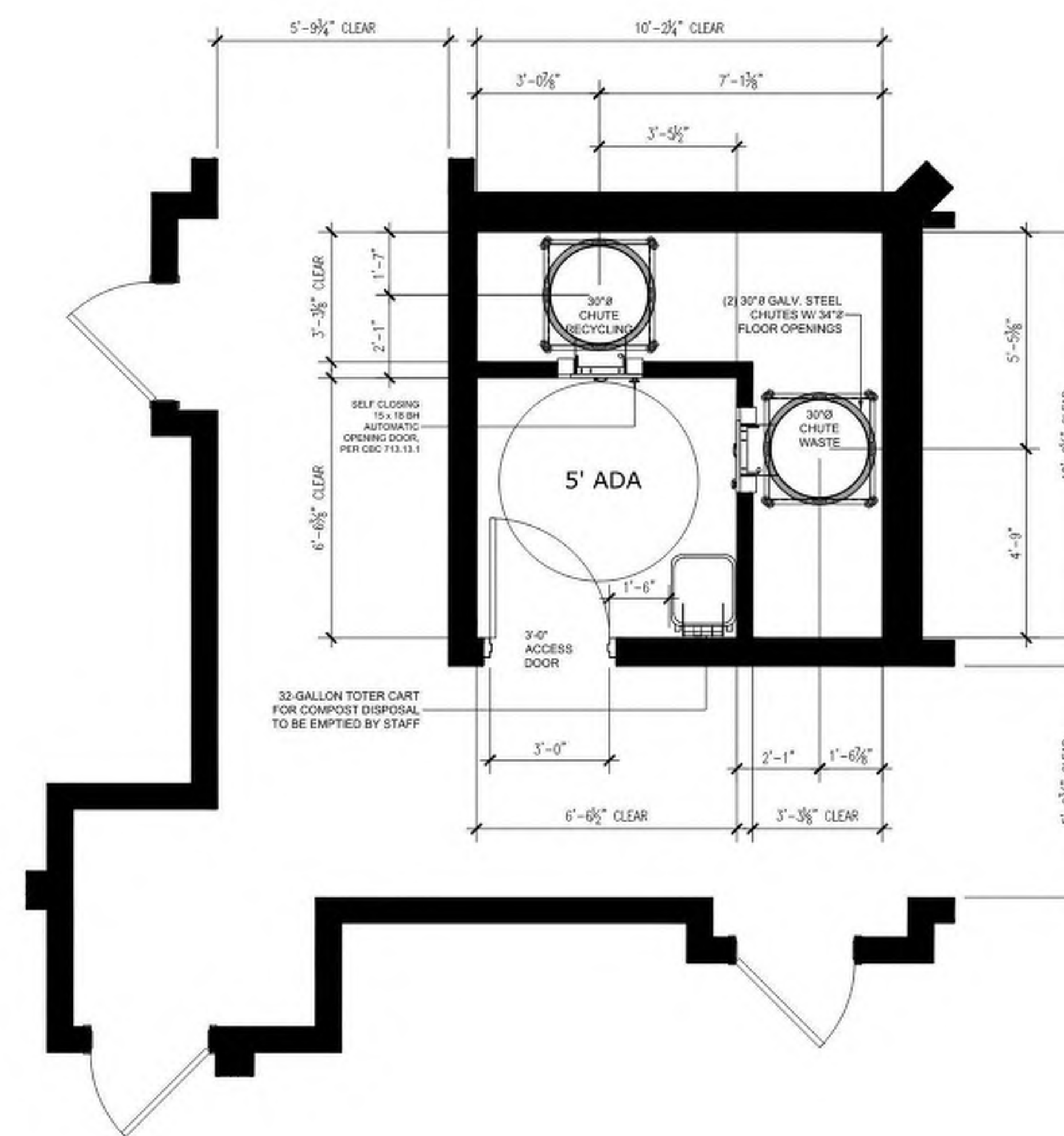
SCALE: 3/8" = 1'-0"



WEST APARTMENT TRASH ROOM PLAN

LEVEL 1

SCALE: 3/8" = 1'-0"



WEST CHUTE INTAKE VESTIBULE

TYPICAL AT LEVELS 2-5

SCALE: 3/8" = 1'-0"

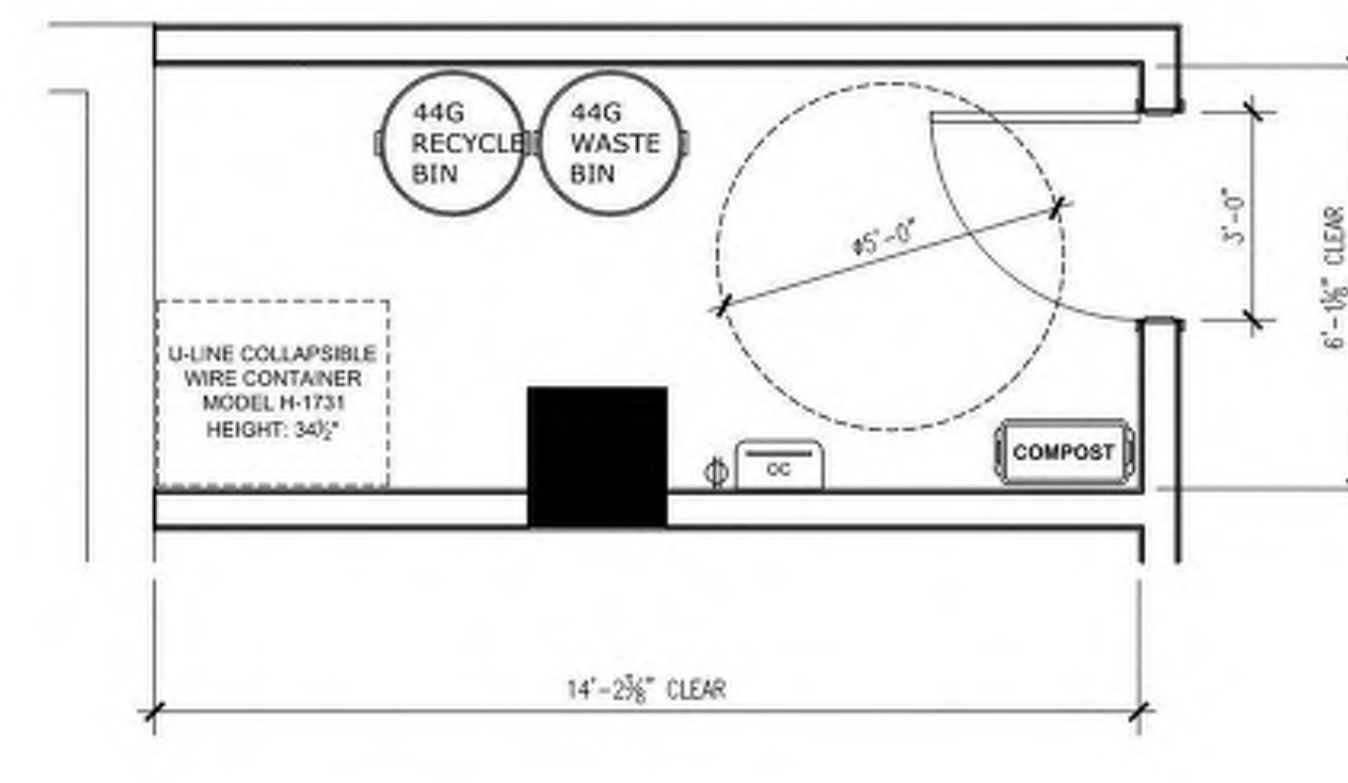
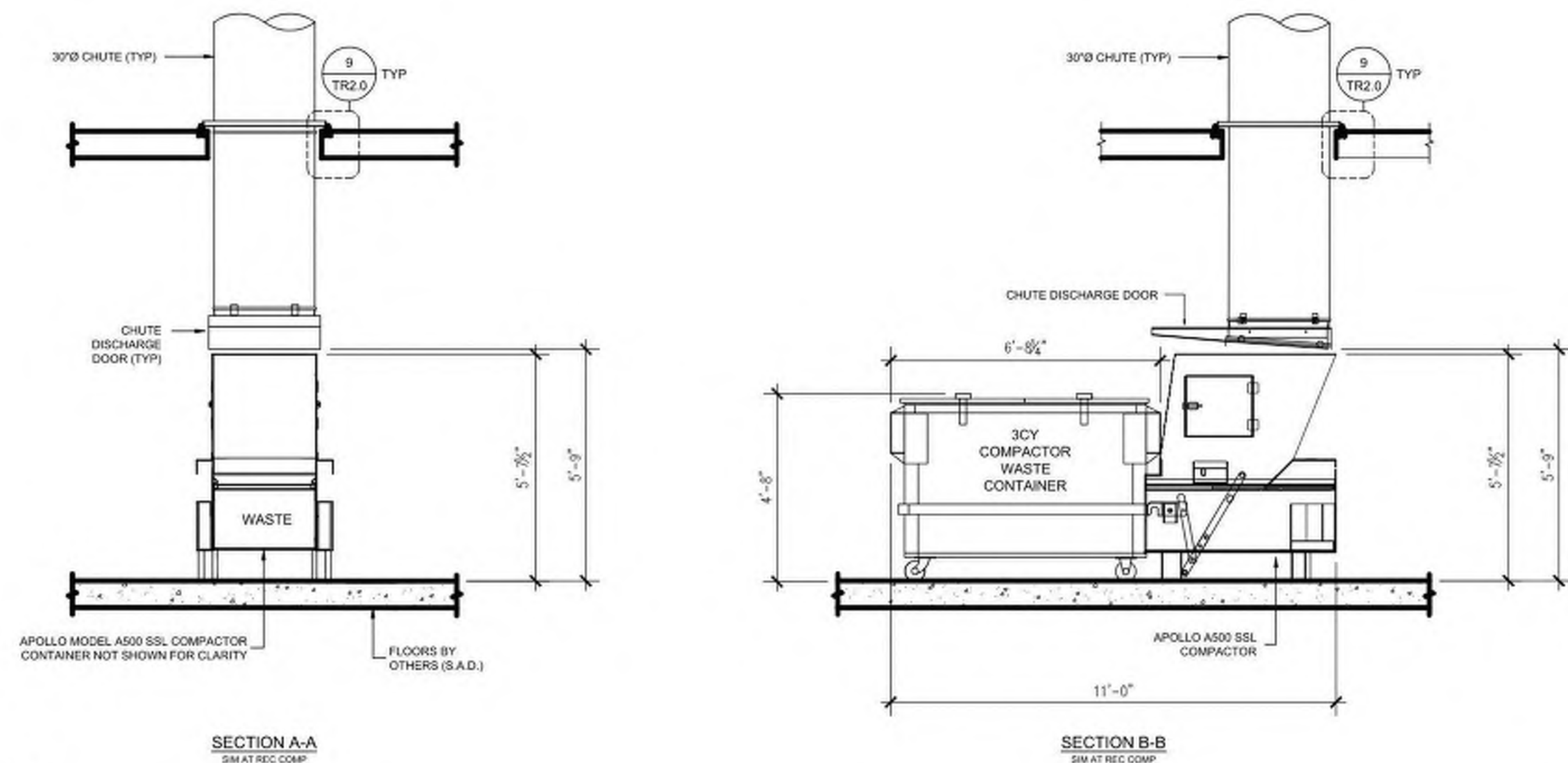
PROJECTED COLLECTION SCHEDULE: EAST APARTMENT TRASH		
SERVICE:	CONTAINER VOL / TYPE:	FREQUENCY:
WASTE	(1) 3CY FL COMPACTED CONTAINER	2x/wk
RECYCLING	(1) 4CY FL COMPACTED CONTAINER	3x/wk
COMPOST	(5) 96-GALLON TOTES	3x/wk

- SHEET NOTES:**
- EAST APARTMENT TRASH ROOM - LEVEL 1:**
- TRASH COLLECTION ROOM IS PART OF 2HR FIRE-RATED TRASH CHUTE SHAFT - RESTRICTED ACCESS.
 - FLOOR SHALL BE FINISHED WITH WATERPROOF DECK COATING. FLOOR TO HAVE MINIMAL SLOPE (1" MAX) AND FLOOR DRAIN. FLOOR LEVEL UNDER COMPACTOR.
 - WALLS SHALL BE FINISHED WITH WASHABLE WATERPROOF SURFACE SUCH AS FRP OR HIGH-GLOSS ENAMEL PAINT, 8'-0" AFF.
 - INSTALL WALL PROTECTION: 12"Hx6"W CONCRETE CURB AT BASE OF ALL NON-CONCRETE WALLS. DO NOT INSTALL THE CURB AROUND THE COMPACTOR OR POWER PACKS.
 - (2) 8'-0" ROLL UP DOORS AND 3FT EXIT DOOR.
 - ROOM SHALL BE MECHANICALLY VENTILATED WITH (1) CFM/FT PER 2019 CBC.
 - (2) 30"Ø GRAVITY CHUTES WITH (2) COMPACTOR FOR WASTE AND RECYCLING. PROVIDE 2CY FL COMPACTOR CONTAINERS FOR WASTE AND RECYCLING. CHUTES SHALL TERMINATE AT 5'-9" AFF.
 - PP: COMPACTOR POWER PACK SHALL BE FLOOR-MOUNTED. (2) 5HP 3-PHASE, 208/230/460V. (2) 30A DISCONNECTS 60" AFF.
 - MCP: CHUTE MASTER CONTROL PANEL SHALL BE WALL-MOUNTED 60" AFF. MUST ALLOW LOCK DOWN OF CHUTE INTAKES FOR EXCHANGING CONTAINERS AND WASHING CHUTES. REQUIRES 120V 15A DEDICATED SERVICE.
 - AC: 2HP CHUTE AIR COMPRESSOR SHALL BE FLOOR-MOUNTED. REQUIRES 120V 15A SERVICE OUTLETS.
 - OC: ODOR CONTROL UNIT SHALL BE WALL-MOUNTED 60" AFF. REQUIRES 120V 15A SERVICE OUTLETS.
 - HB: HOT AND COLD HOSE BIB SHALL BE WALL-MOUNTED 60" AFF.
 - PROVIDE ELECTRIC PALLET TRUCK FOR TRANSFERRING CONTAINERS. 4000LB CAPACITY; TURNING RADIUS: 45.5". REQUIRES 120V 15A SERVICE OUTLETS.
 - CHUTE DISCHARGE DOOR: TYPE-A, HORIZONTALLY INSULATED SLIDING-STEEL DOOR, HELD OPEN BY 165" F FUSIBLE LINK.
 - (1) UNDEDICATED 120V 15A SERVICE OUTLET REQUIRED FOR STAFF MAINTENANCE PURPOSE.

- CHUTE INTAKE VESTIBULES - LEVELS 2-5:**
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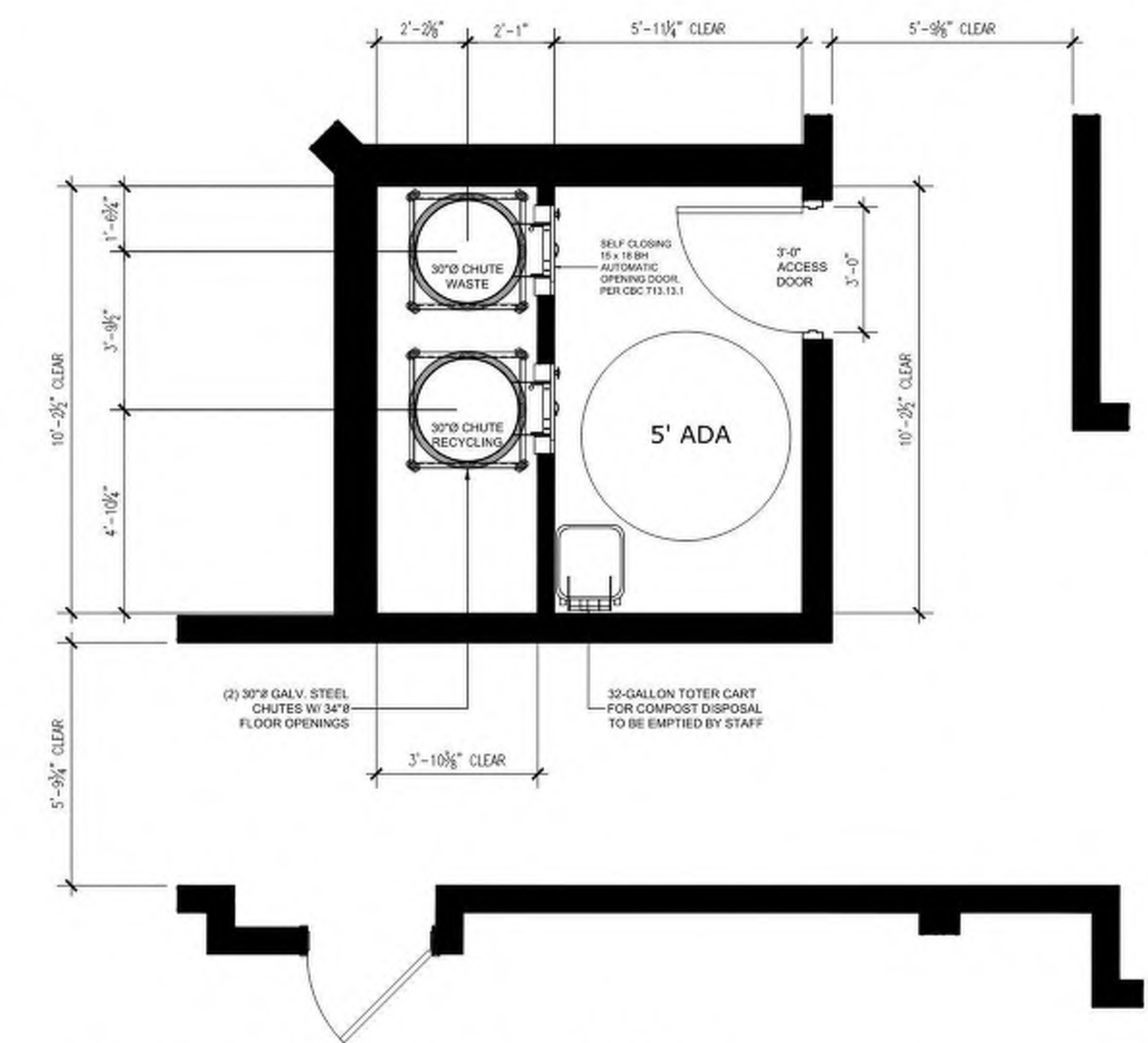
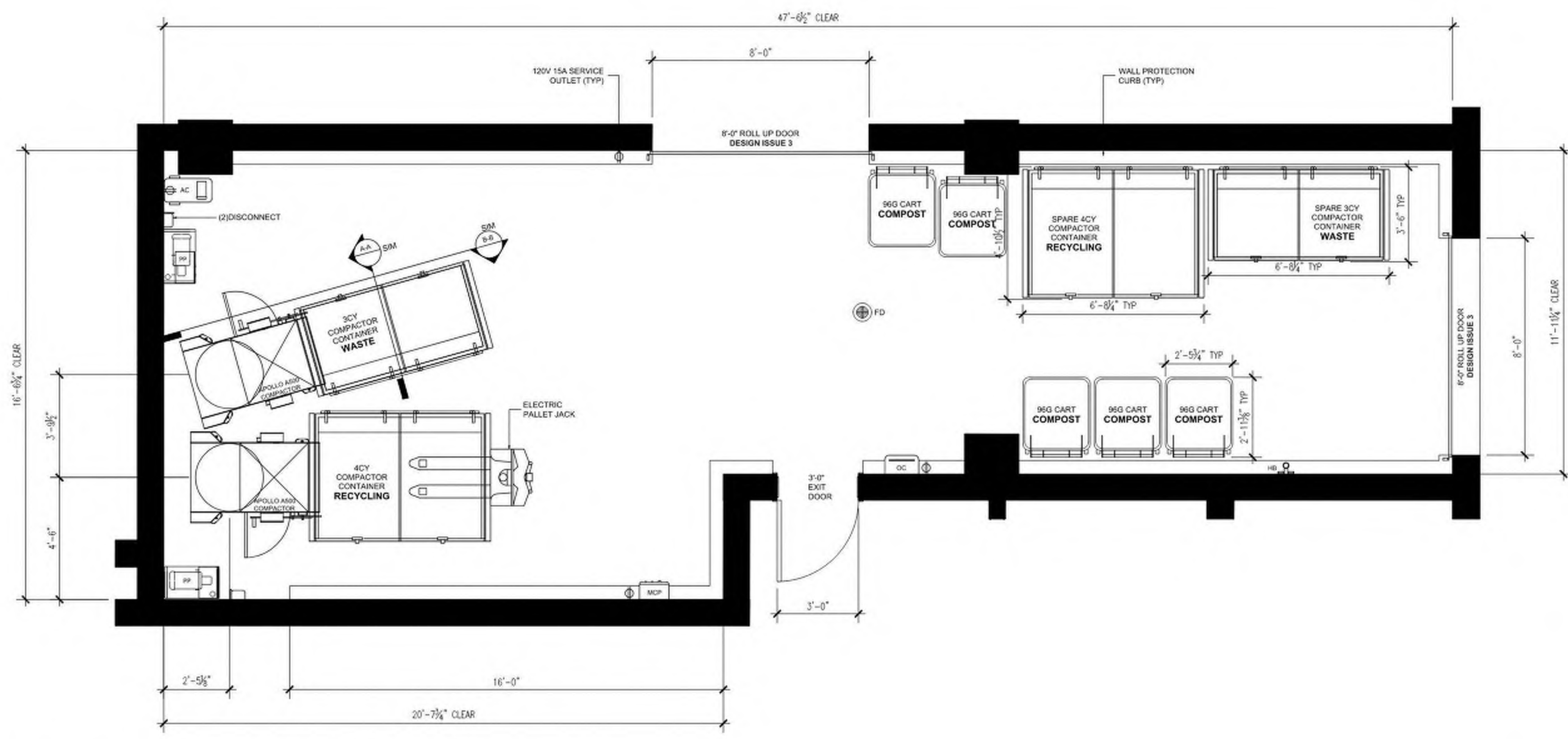
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- DESIGN ISSUES:**
- RELOCATE CHUTES PER PLAN TO STACK VERTICALLY THROUGHOUT BUILDING.
 - AT UPPER LEVELS: REVISE VESTIBULE PER PLAN TO MATCH RELOCATED CHUTES.
 - INSTALL (2) 8'-0" WIDE ROLL-UP DOORS AND OMIT SECOND 3'-0" ACCESS DOOR.



SECTIONS
AT EAST APARTMENT TRASH ROOM

TRASH CLOSET PLAN
LEVEL 1



EAST APARTMENT TRASH ROOM PLAN
LEVEL 1

EAST CHUTE INTAKE VESTIBULE
TYPICAL AT LEVELS 2-5



Architecture
Planning
Urban Design

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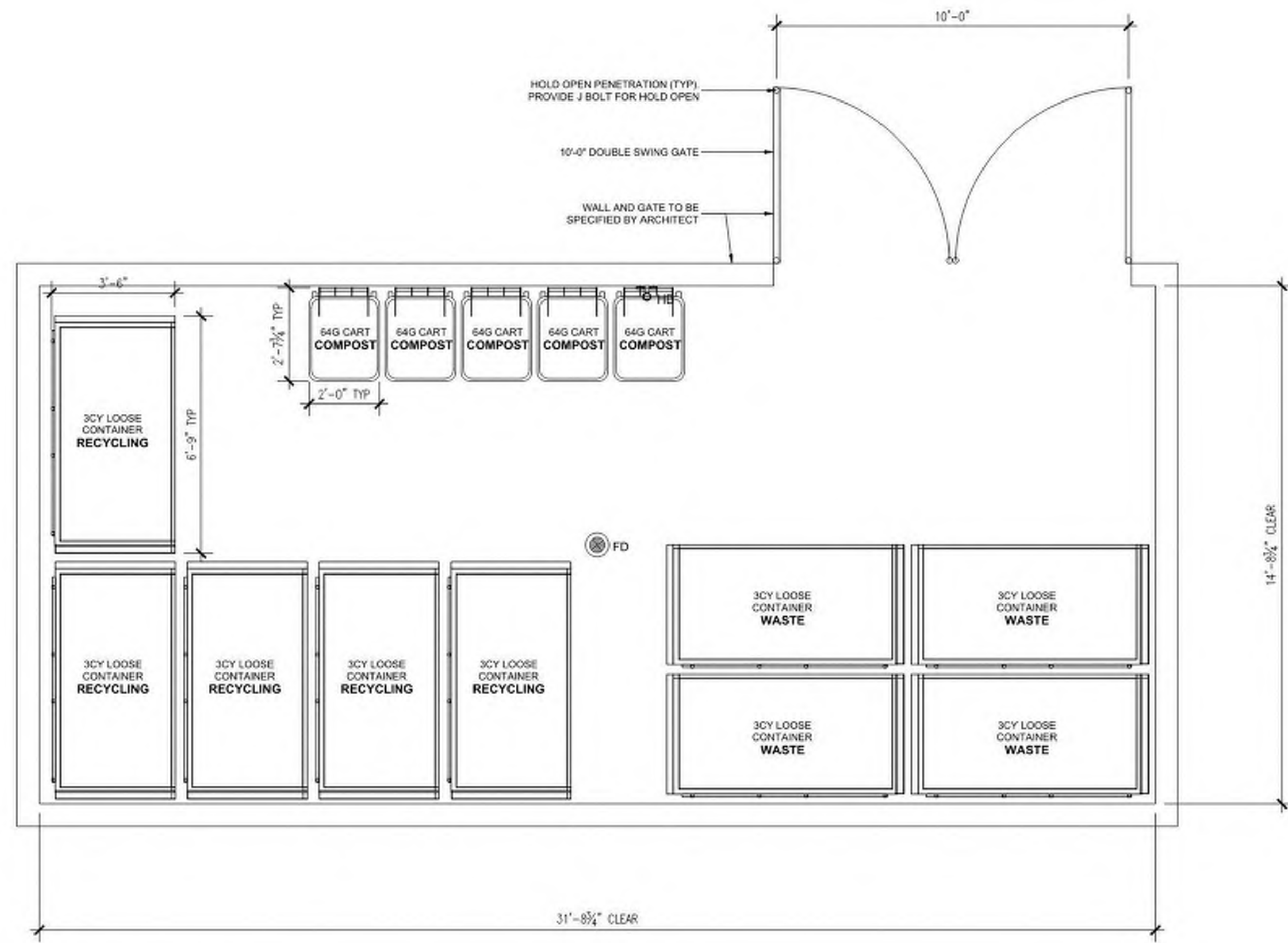
123 Independence
Menlo Park, CA

The Sobrato Organization
599 Castro Street, Suite 400
Mountain View, CA

Sheet Title:
EAST APARTMENT TRASH ROOM PLAN

Job No. 20004
Date: 06/13/23
Scale: As Indicated
BM

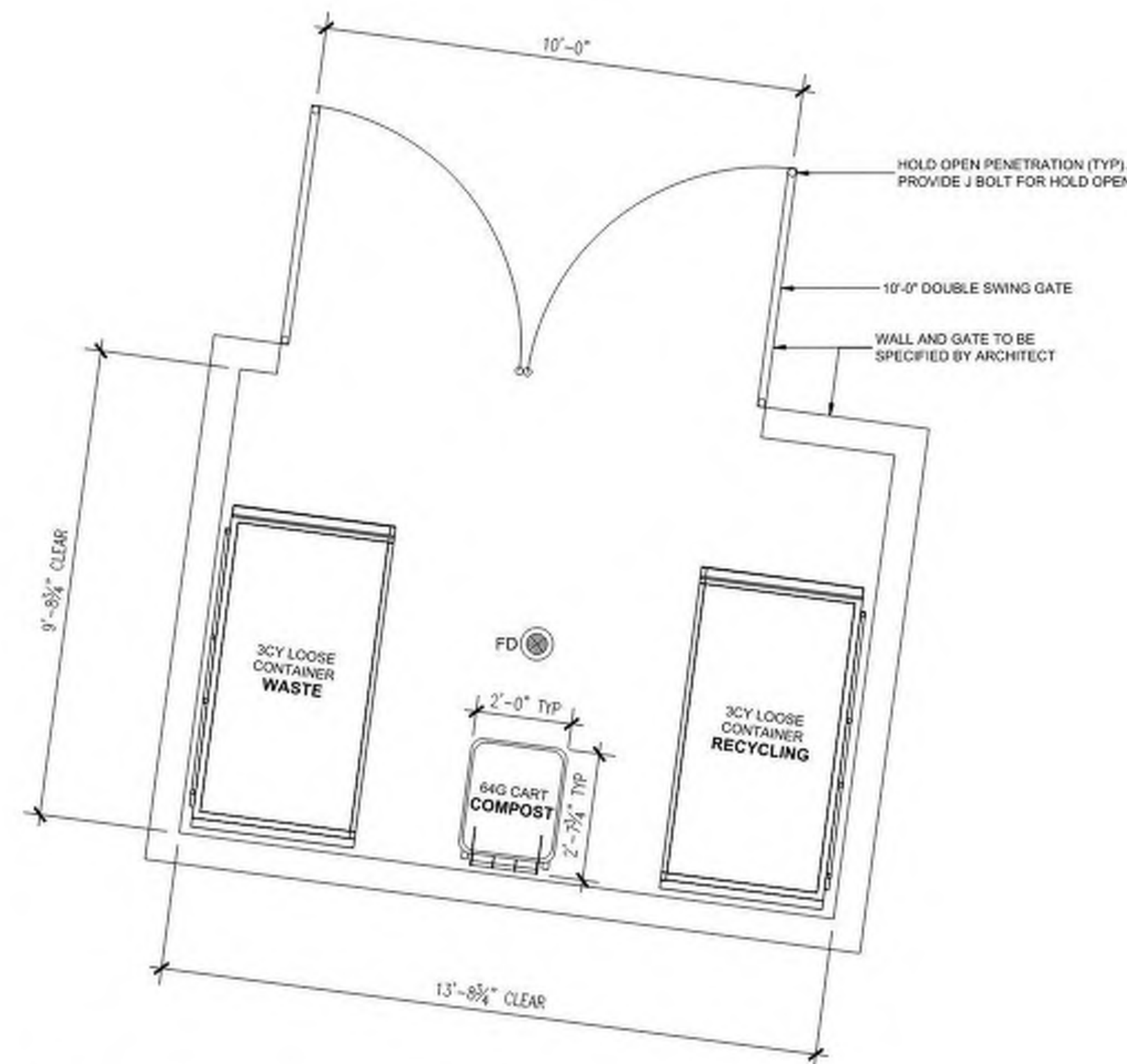
Sheet No:
TR1.1



PARCEL D TRASH ENCLOSURE PLAN

LEVEL 1

SCALE: 3/8" = 1'-0"



PARCEL C TRASH ENCLOSURE PLAN

LEVEL 1

SCALE: 3/8" = 1'-0"

PROJECTED COLLECTION SCHEDULE: PARCEL B TRASH ENCLOSURE		
SERVICE:	CONTAINER VOL / TYPE:	FREQUENCY:
WASTE	(2) 3CY FL LOOSE CONTAINERS	1x/wk
RECYCLING	(2) 3CY FL LOOSE CONTAINERS	2x/wk
COMPOST	(2) 64-GALLON TOTES CARTS	2x/wk

PROJECTED COLLECTION SCHEDULE: PARCEL C TRASH ENCLOSURE		
SERVICE:	CONTAINER VOL / TYPE:	FREQUENCY:
WASTE	(1) 3CY FL LOOSE CONTAINER	1x/wk
RECYCLING	(1) 3CY FL LOOSE CONTAINER	3x/wk
COMPOST	(1) 64-GALLON TOTES CART	3x/wk

PROJECTED COLLECTION SCHEDULE: PARCEL D TRASH ENCLOSURE		
SERVICE:	CONTAINER VOL / TYPE:	FREQUENCY:
WASTE	(4) 3CY FL LOOSE CONTAINERS	1x/wk
RECYCLING	(5) 3CY FL LOOSE CONTAINERS	2x/wk
COMPOST	(5) 64-GALLON TOTES CARTS	2x/wk

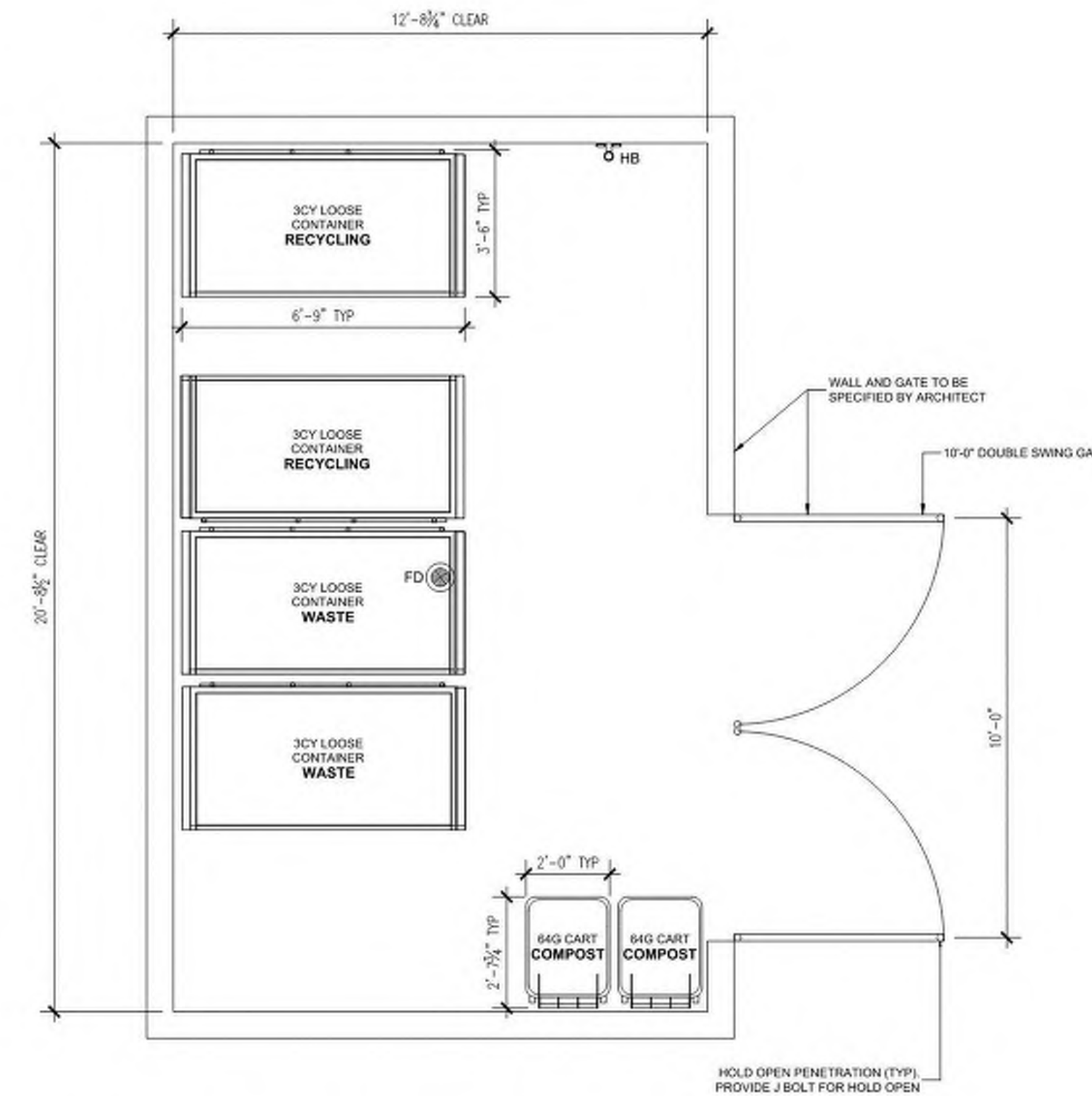
SHEET NOTES:

TOWNHOME TRASH ENCLOSURES

- (3) 10'-0" WIDE SWING GATES.
- HB: HOT AND COLD HOSE BIB SHALL BE WALL-MOUNTED 60" AFF.

GENERAL NOTES:

- ANY DESIGNS OR SOLUTIONS SHOWN IN DRAWING, EITHER DIRECT OR IMPLIED, ARE HEREBY CLARIFIED AS EXAMPLES AND SHALL NOT BE CONSIDERED COMPLETE DESIGNS FOR CONSTRUCTION. THESE DRAWINGS ARE INTENDED TO SUPPLEMENT THE SUBMITTAL PACKAGE FROM ARCHITECT.
- ANY PARTIAL INFORMATION, OMISSIONS, OR INACCURATE DESCRIPTIONS OF WORK SHOWN IN DRAWINGS, WHICH ARE NECESSARY TO PERFORM THE SCOPE OF WORK, SHALL NOT RELIEVE THE CONTRACTOR FROM COMPLETION OF WORK. ALL WORK SHALL BE PERFORMED TO SATISFY THE MINIMUM REQUIREMENTS OF THE CURRENT APPLICABLE BUILDING CODES.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO START OF CONSTRUCTION. THE ARCHITECT SHALL BE PROMPTLY NOTIFIED OF ANY INCONSISTENCIES AND/OR DISCREPANCIES.



PARCEL B TRASH ENCLOSURE PLAN

LEVEL 1

SCALE: 3/8" = 1'-0"



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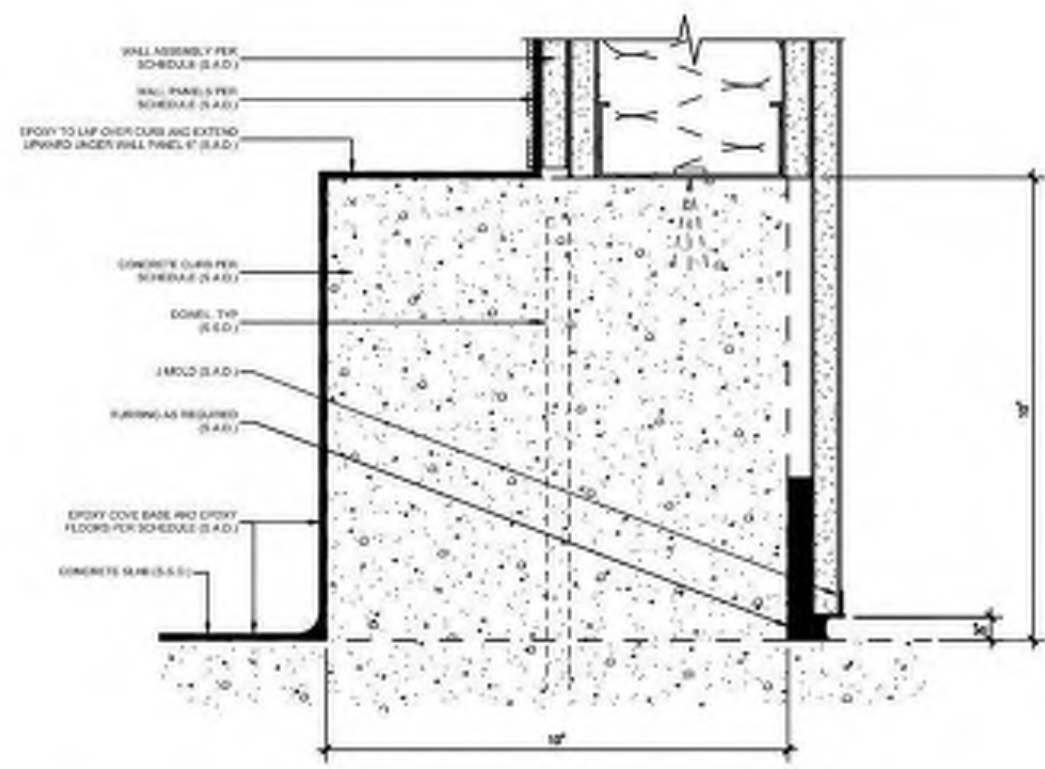
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TOWNHOME TRASH ENCLOSURES

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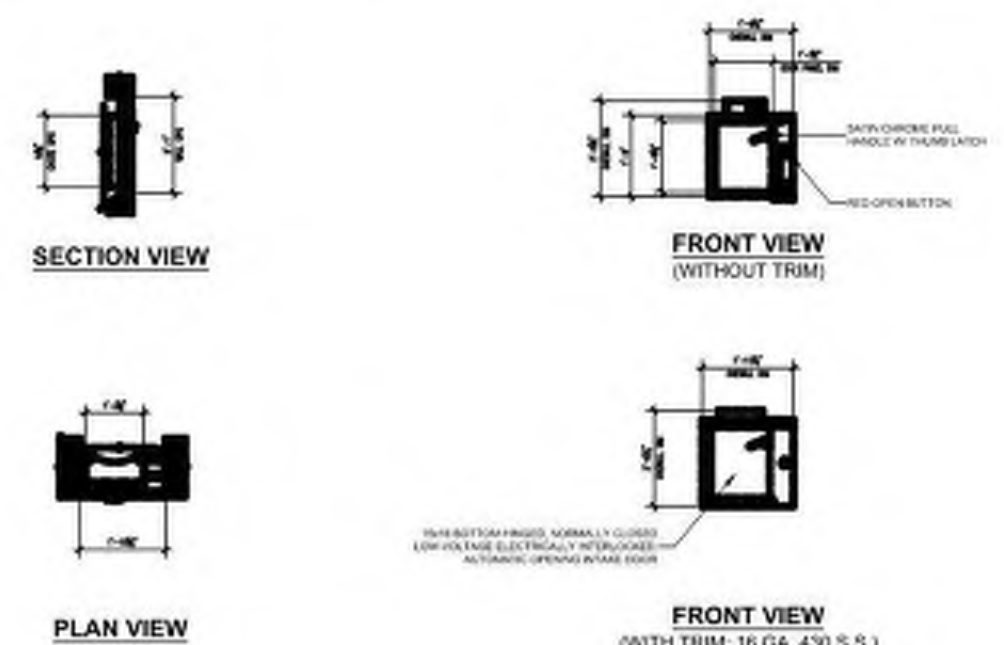
TR1.2



1 WALL PROTECTION CONCRETE CURB

SCALE: NTS

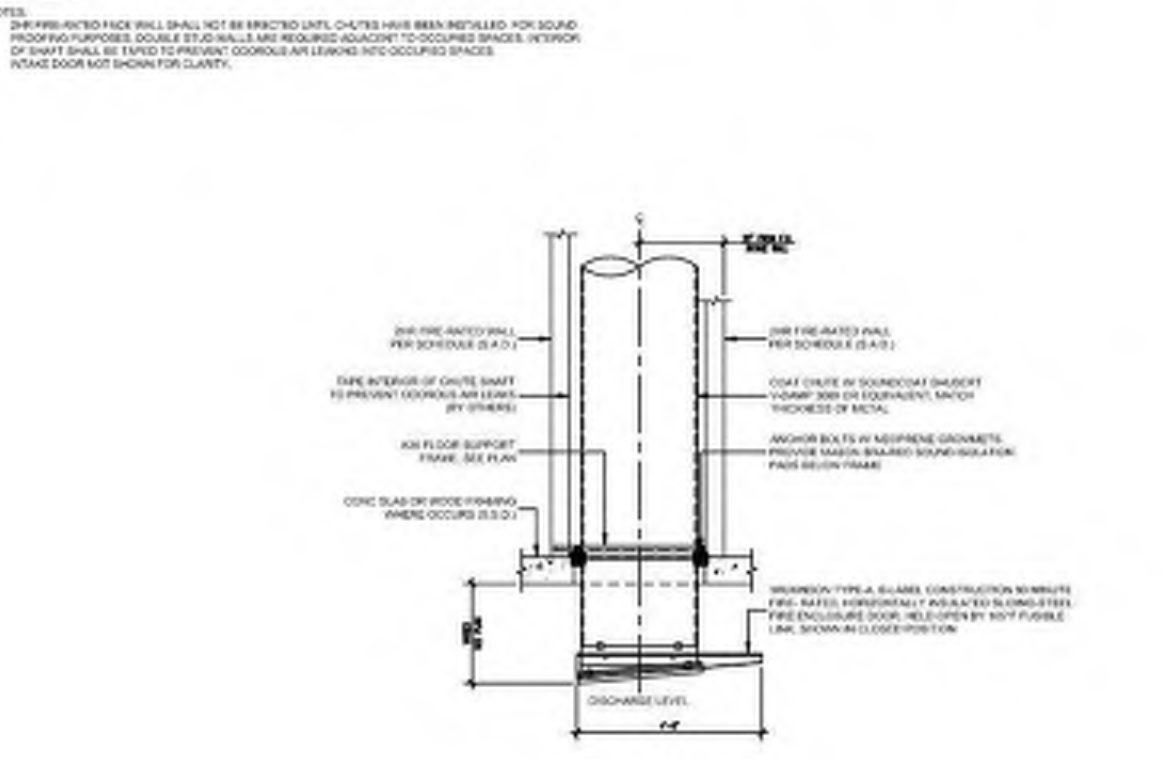
- NOTES:
1. CHUTE DOOR AND TRIM SHALL BE DESIGNED FOR DOOR WEIGHTS.
 2. CHUTE DOOR SHALL BE 1 1/2" MINIMUM CLEARANCE FROM THE CHUTE.
 3. CHUTE DOOR SHALL BE 1 1/2" MINIMUM CLEARANCE FROM THE CHUTE.
 4. CHUTE DOOR SHALL BE 1 1/2" MINIMUM CLEARANCE FROM THE CHUTE.
 5. CHUTE DOOR SHALL BE 1 1/2" MINIMUM CLEARANCE FROM THE CHUTE.
 6. CHUTE DOOR SHALL BE 1 1/2" MINIMUM CLEARANCE FROM THE CHUTE.
 7. CHUTE DOOR SHALL BE 1 1/2" MINIMUM CLEARANCE FROM THE CHUTE.



2 CHUTE INTAKE DOOR UPPER LEVELS

SCALE: 1/2" = 1'-0"

- NOTES:
1. PROVIDE A PRESSURE-TIGHT WINDSTOP SOLUTION.
 2. ALL WINDSTOPPING SHALL BE DESIGNED TO WITHSTAND THE DESIGN WIND SPEED.
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5 CHUTE AIR AND SOUND ISOLATION

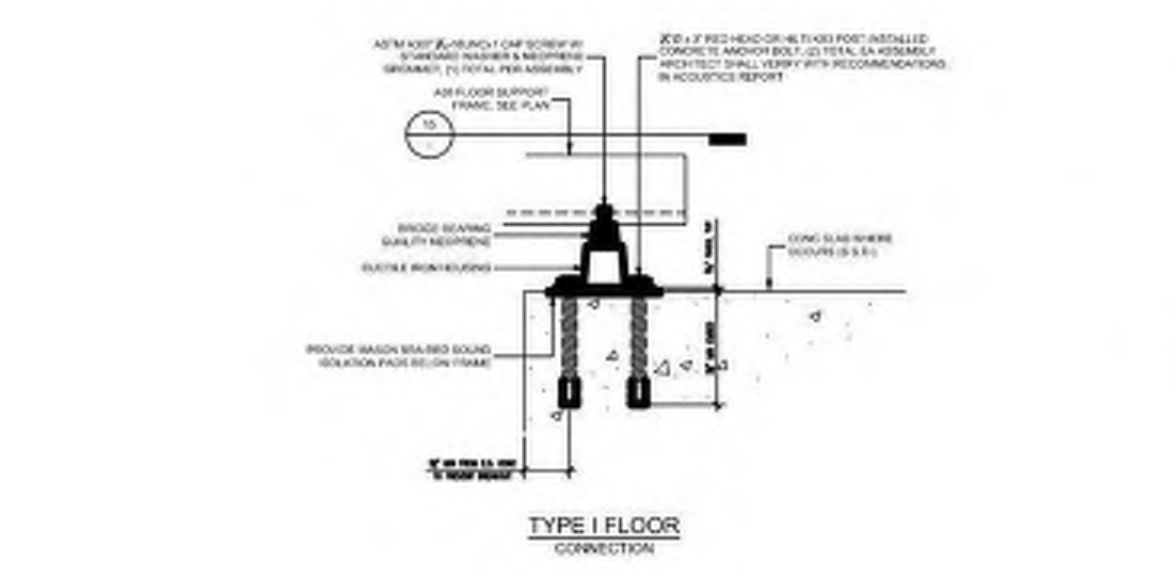
SCALE: 1/2" = 1'-0"

- NOTES:
1. REFER TO MANUFACTURER SPECIFICATIONS FOR ALL OTHER INFORMATION NOT LISTED.
 2. PROVIDE SOUND ISOLATION FOR ALL FLOOR SUPPORT FRAME.

6 DISINFECTING AND SANITATION UNIT W/ FIRE SPRINKLER NOZZLE AT HIGHEST INTAKE

SCALE: 1/2" = 1'-0"

- NOTES:
1. THE FLOOR TO PREVENT CONCRETE SEEP OFF, VERIFY MASON DETAIL ARCHITECTURAL DESIGNER.
 2. VERIFY ALL FLOOR SUPPORT FRAME ANCHORING CONNECTIONS WITH RECOMMENDATIONS IN ADDITIVES REPORT.



9 FLOOR SUPPORT FRAME ANCHORING TYPE I AND TYPE III CONSTRUCTION

SCALE: 3/4" = 1'-0"

- NOTES:
1. PROVIDE ALL BLOCKING, CLAMP AND OTHER ROOF COMPONENTS SHALL BE DESIGNED AND INSTALLED TO WITHSTAND THE DESIGN WIND SPEED.
 2. PROVIDE ALL BLOCKING, CLAMP AND OTHER ROOF COMPONENTS SHALL BE DESIGNED AND INSTALLED TO WITHSTAND THE DESIGN WIND SPEED.
 3. PROVIDE ALL BLOCKING, CLAMP AND OTHER ROOF COMPONENTS SHALL BE DESIGNED AND INSTALLED TO WITHSTAND THE DESIGN WIND SPEED.

- NOTES:
1. POUR RING SHALL BE 1 1/2" MINIMUM THICKNESS OF FLOOR SLAB.
 2. REFER TO MANUFACTURER SPECIFICATIONS FOR ALL OTHER INFORMATION NOT LISTED.

13 CHUTE VENT AT ROOF LEVEL

SCALE: 1/2" = 1'-0"

- NOTES:
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14 POUR RING DETAIL

SCALE: 1/2" = 1'-0"

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15 MINIMUM CHUTE SHAFT DETAILS PLAN VIEWS

SCALE: NTS

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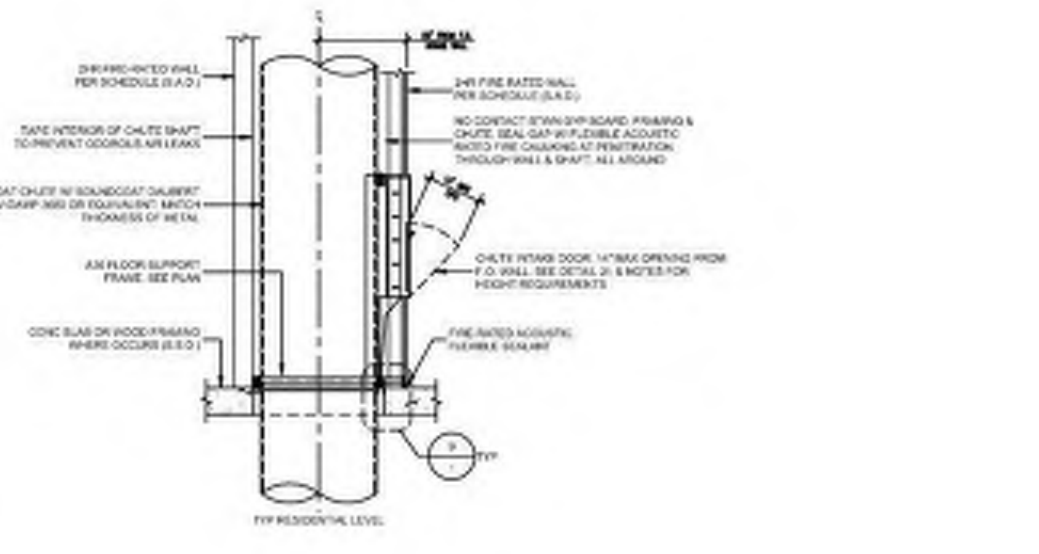
SHEET NOTES. 30" DIA CHUTE DETAILS.

1. CHUTE MATERIAL: GALVANIZED OR GALVANEAL 16-GAUGE STEEL.
2. 2HR FIRE-RATED WALL ASSEMBLIES ENCASING CHUTE SHAFT. FACE WALL SHALL NOT BE ERECTED UNTIL CHUTES HAVE BEEN INSTALLED.
3. SEE ARCHITECTURAL AND/OR STRUCTURAL DRAWINGS TO VERIFY ALL INFORMATION NOT RELATED TO ATM'S SCOPE OF WORK PER AGREEMENT.
4. POUR RINGS WILL VARY BASED ON THICKNESS OF FLOOR SLAB AND SHALL BE PROVIDED BY MANUFACTURER.

GENERAL NOTES:

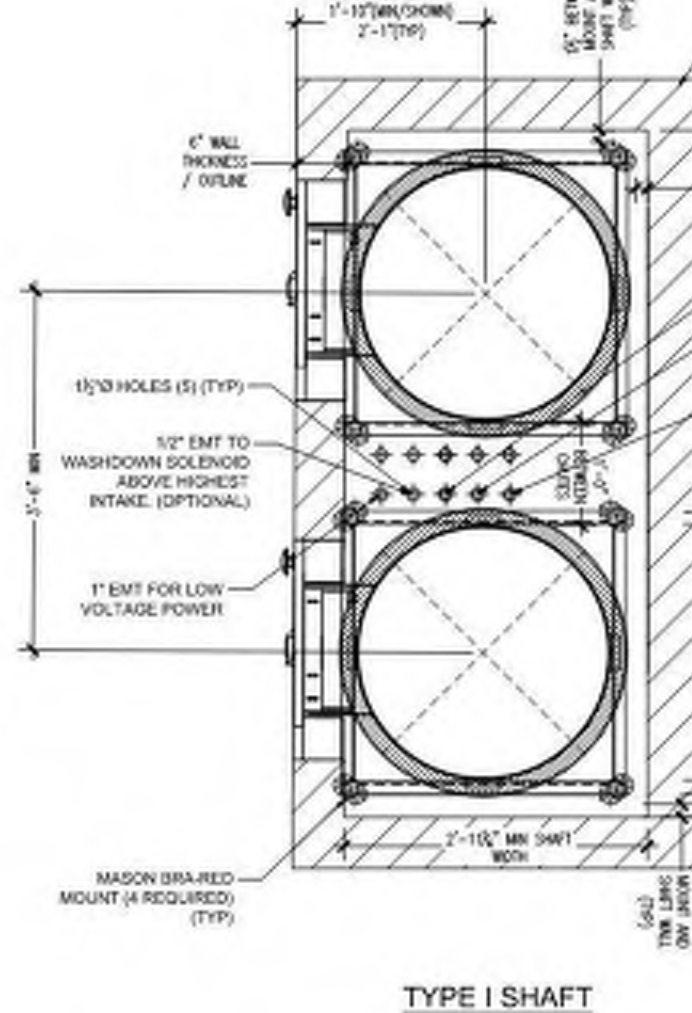
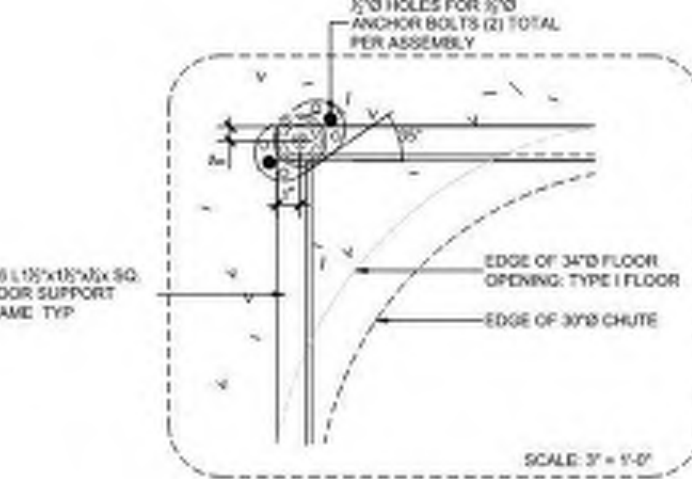
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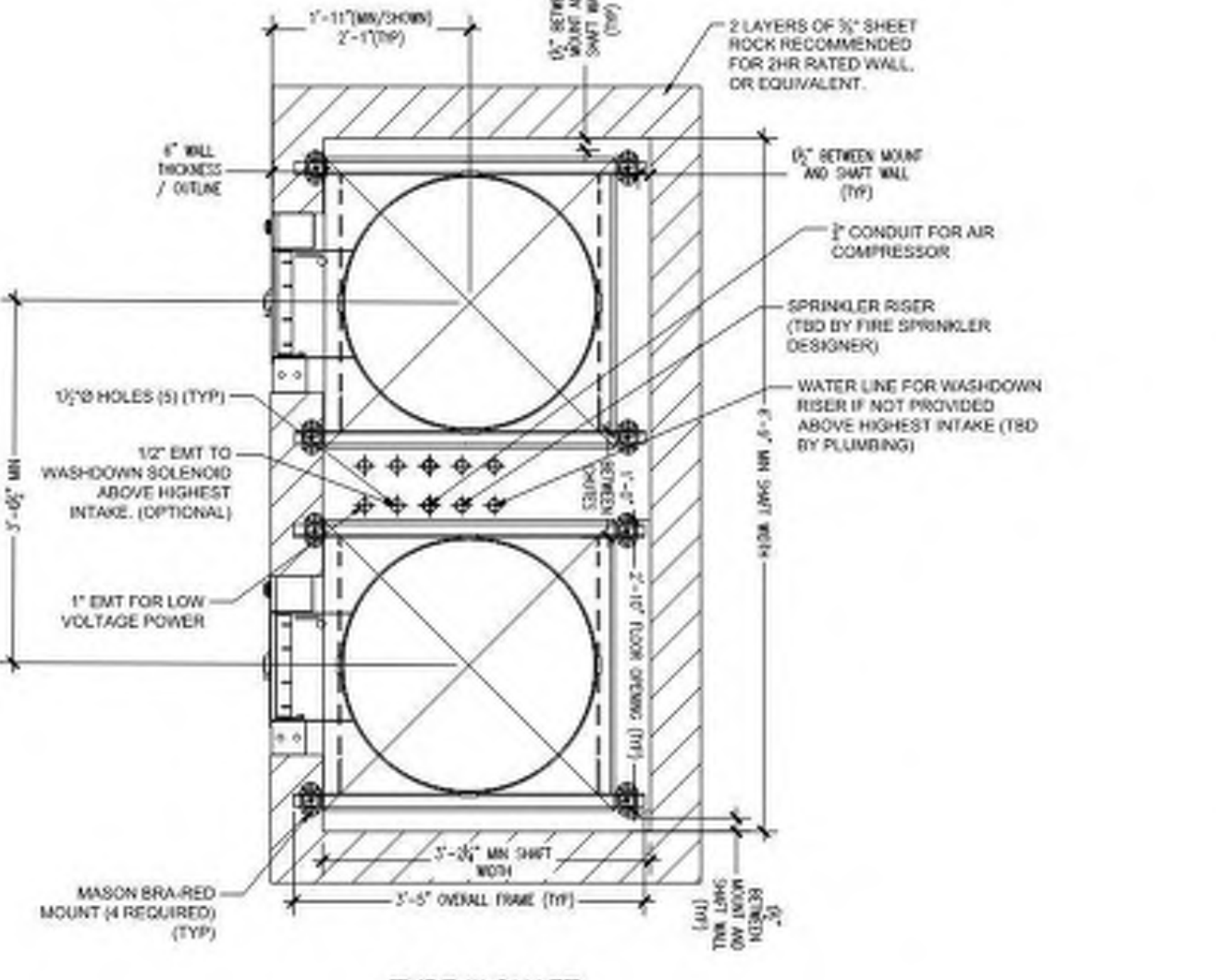


8 CHUTE SHAFT AT INTAKE UPPER LEVELS

SCALE: 1/2" = 1'-0"



TYPE I SHAFT



TYPE III SHAFT



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CHUTE DETAILS
30" DIAM

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TR2.0