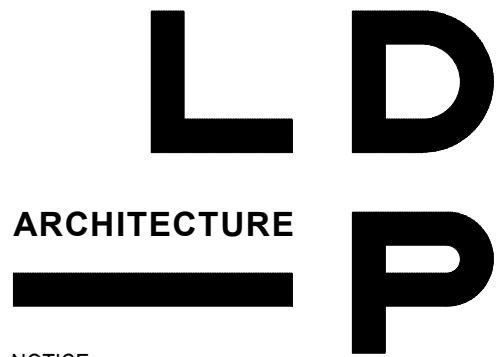





3705 HAVEN AVENUE

MENLO PARK, CA



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GENERAL NOTES	CONTACT LIST	DEFERRED SUBMITTALS	ELEVATION																																																										
<p>GENERAL CONDITIONS: AIA DOCUMENT A201, GENERAL CONDITIONS FOR THE PERFORMANCE OF THE CONTRACT IS HEREBY INCORPORATED INTO THESE DRAWINGS AND SHALL BE CONSIDERED AS PART OF THE REQUIREMENTS FOR THE COMPLETION OF THE WORK.</p> <p>EXISTING CONDITIONS: CONDITIONS SHOWN OF THE DRAWINGS ARE AS SHOWN ON THE ORIGINAL DRAWINGS AND AS OBSERVED ON THE SITE, BUT THEIR ACCURACY IS NOT GUARANTEED. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE. ANY DISCREPANCIES SHALL BE REPORTED TO ARCHITECT PRIOR TO PROCEEDING WITH THE WORK. NOTE: DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE OF THE DRAWINGS.</p> <p>PERMITS: THE CONTRACTOR SHALL OBTAIN AND PAY ALL CITY AND/OR COUNTY FEES RELATING TO PROJECT, EXCEPTING THE GENERAL PERMIT, WHICH IS THE RESPONSIBILITY OF THE OWNERS' AND IS REIMBURSABLE TO THE G.C.</p> <p>CODES: ALL WORK SHALL BE DONE IN COMPLIANCE WITH ALL APPLICABLE CODES, INCLUDING BUT NOT LIMITED TO: UNIFORM BUILDING CODES, NATIONAL ELECTRICAL, MECHANICAL, AND PLUMBING CODES, HEALTH DEPARTMENT REGULATIONS, FIRE AND SAFETY CODES, CITY AND/OR COUNTY ORDINANCES AND REGULATIONS AND OTHER CODES GOVERNING CONSTRUCTION.</p> <p>SITE RESPONSIBILITY: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING HEALTH AND SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. CONTRACTOR TO LIMIT TRAFFIC AND ACCESS TO THOSE AREAS WHERE WORK IS PERFORMED.</p> <p>CLEAN UP AND REPAIRS: THE CONSTRUCTION SITE SHALL BE MAINTAINED IN AN ORDERLY MANNER AT ALL TIMES WITH ALL DEBRIS REMOVED AT THE END OF THE EACH DAY. AT THE COMPLETION OF THE CONSTRUCTION REMOVE ALL EXCESS MATERIALS AND REFUSE FROM SITE. LEAVE ALL SURFACES WITHIN CONSTRUCTION SITE FREE FROM DUST, DIRT AND STAINS. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY SURFACES OR ITEMS DAMAGED BY CONSTRUCTION TO THE SATISFACTION OF THE ARCHITECT AND OWNER.</p> <p>PATCHING: PROPERLY PREPARE SURFACES FOR RECEIVING THE SPECIFIED FINISHES INCLUDING PATCHING OF SURFACES ALTERED BY CONSTRUCTION. ON PATCHED AREAS OR AREAS WHERE A FINISH IS NOT SPECIFIED, THE FINISH SHALL MATCH ADJACENT MATERIAL IN CONSTRUCTION, COLOR AND TEXTURE.</p> <p>ALL WORK NOTED "N.I.C." OR NOT IN CONTRACT IS TO BE PROVIDED BY A CONTRACTOR OTHER THAN THE GENERAL CONTRACTOR.</p> <p>"ALIGN" AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE FINISH FACES ON THE SAME PLANE.</p> <p>"TYPICAL" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS THE SAME OR REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, U.O.N.</p> <p>DETAILS ARE USUALLY KEYED AND NOTED "TYPICAL" ONLY ONCE, WHEN THEY FIRST OCCUR, AND ARE REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, U.O.N.</p> <p>SCHEDULE: UPON SUBMITTAL OF THE FINAL CONSTRUCTION COSTS, THE CONTRACTOR SHALL ALSO SUBMIT A CONSTRUCTION SCHEDULE INDICATING THE REQUIRED CONSTRUCTION TIME FOR ALL SUBCONTRACTOR'S AND CONTRACTOR'S WORK AND A COST-BY-TRADE BREAKDOWN FOR USE IN SCHEDULING AND EVALUATING PAY REQUESTS.</p> <p>SUBSTITUTIONS: SUBSTITUTIONS, REVISIONS, OR CHANGES MUST HAVE APPROVAL BY THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.</p> <p>DAMAGE: THE CONTRACTOR SHALL REPAIR OR REPLACE ANY SURFACES OR ITEMS DAMAGED BY CONSTRUCTION TO THE SATISFACTION OF THE ARCHITECT OR OWNER.</p> <p>GUARANTEES: THE CONTRACTOR SHALL GUARANTEE THAT THE PROJECT WILL BE FREE OF DEFECTS OF WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE BY THE OWNER. NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY DEFICIENT IN ANY REQUIREMENT OF THE DRAWINGS OR NOTES WILL BE ACCEPTABLE IN CONSEQUENCE OF THE OWNER'S OR ARCHITECT'S FAILURE TO POINT OUT DEFECTS OR DEFICIENCIES DURING CONSTRUCTION. DEFECTS OF WORKMANSHIP OR MATERIALS REVEALED WITHIN A PERIOD OF ONE YEAR FROM THE ACCEPTANCE SHALL BE REPLACED BY WORK CONFORMING WITH THE INTENT OF THE CONTRACT AT NO COST TO THE OWNER. NO PAYMENT, EITHER PARTIAL OR FINAL, SHALL BE CONSTRUED AS AN ACCEPTANCE OF DEFECTIVE WORK.</p> <p>COLUMN CENTERLINES (ALSO REFERRED TO AS GRIDLINES) ARE SHOWN FOR DIMENSIONAL PURPOSES. (REFER TO BASE BUILDING DRAWINGS FOR EXACT LOCATIONS).</p> <p>CONSTRUCTION HOURS: VERIFY WITH CITY OF MENLO PARK FOR CONSTRUCTION HOURS</p> <p>ANY HIDDEN CONDITIONS THAT REQUIRE WORK TO BE PERFORMED BEYOND THE SCOPE OF THE BUILDING PERMIT ISSUED FOR THESE PLANS MAY REQUIRE FURTHER CITY APPROVALS INCLUDING REVIEW BY THE PLANNING COMMISSION. THE BUILDING OWNER, PROJECT DESIGNER, AND/OR CONTRACTOR MUST SUBMIT A REVISION TO THE CITY FOR ANY WORK NOT GRAPHICALLY ILLUSTRATED ON THE JOB COPY OF THE PLANS PRIOR TO PERFORMING THE WORK.</p> <p>AN OSHA PERMIT TO BE OBTAINED FOR THE SHORING* AT THE EXCAVATION IN THE BASEMENT PER CAL/OSHA REQUIREMENTS. SEE CAL/OSHA HANDBOOK. *CONSTRUCTION SAFETY ORDERS: CHAPTER 4, SUBCHAPTER 4, ARTICLE 6, SECTION 1541.1.</p> <p>GRADING PERMIT, IF REQUIRED, TO BE OBTAINED FROM THE DEPARTMENT OF PUBLIC WORKS.</p> <p>WHEN PLANS ARE SUBMITTED FOR BUILDING CODE PLAN CHECK, THEY WILL INCLUDE A COMPLETE UNDERGROUND PLUMBING PLAN INCLUDING COMPLETE DETAILS FOR THE LOCATION OF ALL REQUIRED GREASE TRAPS AND CITY-REQUIRED BACKWATER PREVENTION DEVICES.</p> <p>ALL EARTHWORK AND SITE DRAINAGE, INCLUDING SITE CLEARING, EXCAVATION FOR THE LOWER LEVEL AND FOUNDATIONS, PREPARATION OF SUBGRADE BENEATH SLABS AND OTHER EXTERIOR HARDSCAPES, PLACEMENT AND COMPACTION OF ENGINEERED FILL BENEATH THE SLABS-ON-GRADE AND EXTERIOR HARDSCAPES, RETAINING WALL DRAINAGE AND BACKFILL, BACKFILL IN UTILITY TRENCHES, AND SURFACE DRAINAGE INSTALLATIONS SHOULD BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED BY ROCKRIDGE GEOTECHNICAL, DATED JULY 23, 2020.</p> <p>A CONSTRUCTION WASTE MANAGEMENT PLAN TO BE PROVIDED PER LOCAL ORDINANCE 12.18.010 OR 12.18.020, WHICHEVER IS APPLICABLE.</p> <p>DURING CONSTRUCTION - PEDESTRIAN PROTECTION ALONG THE PUBLIC RIGHT OF WAY WITH SIDEWALKS IS REQUIRED PER SECTION 3306 OF THE 2022 CBC.</p> <p>PROTECTION OF ADJOINING PROPERTY DURING CONSTRUCTION WILL BE REQUIRED PER SECTION 3307 OF THE 2022 CBC.</p> <p>THE BUILDINGS ARE REQUIRED TO MEET THE SOUND TRANSMISSION REQUIREMENTS OF SECTION 1206 OF THE 2022 CBC.</p> <p>NOTE A CONSTRUCTION WASTE MANAGEMENT PLAN WILL BE REQUIRED AS PER MENLO PARK LOCAL ORDINANCE 12.18.020.</p> <p>THE BUILDING IS LOCATED IN A FLOOD ZONE AND IS REQUIRED TO MEET ALL APPLICABLE FLOOD DESIGN CRITERIA AND FINAL CERTIFICATION, INCLUDING 2022 CBC 1612 AND THE MENLO PARK'S LOCAL ORDINANCE 12.42.</p> <p>ANY FRONTAGE IMPROVEMENTS WHICH ARE DAMAGED EITHER AS AN EXISTING CONDITION OR AS A RESULT OF CONSTRUCTION WILL BE REQUIRED TO BE REPLACED. ALL FRONTAGE IMPROVEMENT WORK SHALL BE IN ACCORDANCE WITH THE LATEST VERSION OF THE CITY STANDARD DETAILS.</p>	<p>OWNER MARCH CAPITAL MANAGEMENT 2040 WEBSTER STREET SAN FRANCISCO, CA 94115 TEL: 415/498-7575</p> <p>CONTACT: YOLA OZTURK</p> <p>ARCHITECT LEVY DESIGN PARTNERS PO BOX 2039 SAN FRANCISCO, CA 94126 TEL: 415/777-0561 FAX: 415/777-5117</p> <p>CONTACT: TOBY LEVY</p> <p>LANDSCAPE ARCHITECT JETT LANDSCAPE 2 THEATRE SQUARE, SUITE 218 ORINDA, CA 94563 TEL: 925/294-5422</p> <p>CONTACT: WHITNEY MILLER</p> <p>CIVIL ENGINEER LEA & BRAZE ENGINEERING, INC. 2495 INDUSTRIAL PRKWAY WEST HAYWARD, CA 94545 TEL: 510/887-4086</p> <p>CONTACT: JOHN HALBOM</p> <p>GEOTECHNICAL ENGINEER ROCKRIDGE GEOTECHNICAL 270 GRAND AVENUE OAKLAND, CA 94610 TEL: 510/420-5738 FAX: 510/652-3096</p> <p>CONTACT:</p> <p>JOINT TRENCH TARRAR 813 FIRST STREET BRENTWOOD, CA 94513 TEL: 925/240-2595 FAX: 925/240-7013</p> <p>CONTACT: ALFONSO REYES</p>	<p>SUBMITTAL OF THE FOLLOWING WORK IS DEFERRED TO A LATER DATE:</p> <ol style="list-style-type: none"> FIRE SUPPRESSION SYSTEM, NFPA 13 (2022 EDITION) <ol style="list-style-type: none"> BUILDING SHALL BE EQUIPPED WITH AN APPROVED CLASS 1 NFPA 14 (2019 ADDITION) STANDPIPE SYSTEM. SYSTEM SHALL BE SUBMITTED AND APPROVED BY THE FIRE DEPARTMENT PRIOR TO INSTALLATION. PRIVATE UNDERGROUND FIRE SERVICE MAIN, NFPA 24 (2019 EDITION). SHOP DRAWINGS FOR FIRE PROTECTION UNDERGROUND SHALL BE SUBMITTED UNDER SEPARATE PERMIT. SYSTEM SHALL BE APPROVED PRIOR TO INSTALLATION AND PRIOR TO APPROVAL OF THE FIRE SPRINKLER SYSTEM. FIRE ALARM SYSTEM, NFPA 72 (2022 EDITION), INCLUDING SMOKE AND CARBON MONOXIDE DETECTION, FOR APPROVAL THROUGH THE FIRE DEPARTMENT PRIOR TO INSTALLATION. PV SYSTEMS, CRC SECTION 1204 (2022 EDITION). EMERGENCY RESPONDER RADIO COVERAGE, CFC 510 (2022 EDITION). BUILDING SIGNAGE PACKAGE SHALL COMPLY WITH 2022 CBC - LOCATION OF PROPERTY - APPROVED NUMBERS OR ADDRESSES SHALL BE PROVIDED FOR ALL NEW BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. <p>POTENTIAL DEFERRED SUBMITTALS, TO BE CONFIRMED IF APPLICABLE:</p> <ul style="list-style-type: none"> FIRE PUMP, NFPA 20 (2019 ADDITION) GENERATOR - STATIONARY, CRC SECTION 1203 (2022 EDITION) <p>THESE DEFERRED SUBMITTALS SHALL FIRST BE SUBMITTED TO THE PROJECT ARCHITECT AND/OR ENGINEER FOR REVIEW AND COORDINATION; FOLLOWING THE COMPLETION OF PROJECT ARCHITECT/ENGINEER REVIEW AND COORDINATION, A SUBMITTAL TO THE CITY SHALL BE MADE (FOR CITY REVIEW AND APPROVAL), WHICH SHALL INCLUDE A LETTER STATING THIS REVIEW AND COORDINATION HAS BEEN PERFORMED AND COMPLETED AND PLANS AND CALCULATIONS FOR THE DEFERRED ITEMS ARE FOUND TO BE ACCEPTABLE (E.G. WITH REGARD TO GEOMETRY, LOAD CONDITIONS, ETC.), WITH NO EXCEPTIONS.</p> <p>APPLICABLE CODES, REGULATIONS AND STANDARDS</p> <p>2022 CBC CHAPTER 35, PROVIDE ALL THE APPLICABLE/ADOPTED STANDARDS, WHERE A PARTICULAR STANDARD IS REFERENCED IN THE CODE BUT DOES NOT APPEAR AS AN ADOPTED STANDARD IT STILL MAY BE USED, APPLY ONLY THE PORTION OF THE STANDARD THAT IS APPLICABLE TO THE CODE SECTION WHERE STANDARD IS REFERENCED, NOT THE ENTIRE SECTION.</p> <p>APPLICABLE CODES</p> <ul style="list-style-type: none"> 2022 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE, PART 1, TITLE 24, CCR 2022 CALIFORNIA BUILDING CODE, PART 2, TITLE 24, CCR 2022 CALIFORNIA ELECTRICAL CODE, PART 3, TITLE 24, CCR 2022 CALIFORNIA MECHANICAL CODE, PART 4, TITLE 24, CCR 2022 CALIFORNIA PLUMBING CODE, PART 5, TITLE 24, CCR 2022 CALIFORNIA ENERGY CODE, PART 6, TITLE 24, CCR 2022 SAFETY CODE FOR ELEVATORS AND ESCALATORS (ASME A17.1-2010) 2022 CALIFORNIA HISTORICAL BUILDING CODE, PART 8, TITLE 24, CCR 2022 CALIFORNIA FIRE CODE, PART 9, TITLE 24, CCR 2022 CALIFORNIA EXISTING BUILDING CODE, PART 10, TITLES 24 CCR 2022 CALIFORNIA "GREEN" BUILDING REQUIREMENTS, PART 11, TITLE 24 CCR 2022 CALIFORNIA REFERENCED STANDARDS, PART 12, TITLE 24 CCR TITLE 8 CCR CH. 4 SUB-CH. 6 - ELEVATOR SAFETY ORDERS TITLE 19 CCR, PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS THIS DESIGN IS IN COMPLIANCE WITH THE FAIR HOUSING ACT DESIGN REFERENCE MANUAL CALIFORNIA CODE OF REGULATIONS TITLE 8 ELEVATOR SAFETY ORDERS UNIFORM FEDERAL ACCESSIBILITY STANDARDS INCLUDING ANY AMENDMENTS AS ADOPTED IN ORDINANCE 1856-2010 AS WELL AS ANY OTHER APPLICABLE LOCAL AND STATE LAWS AND REGULATIONS <ul style="list-style-type: none"> 2022 MENLO PARK MUNICIPAL CODE (MPMC) 2016 GENERAL PLAN (GP) APPLICABLE LOCAL BUILDING ORDINANCES <p>APPLICABLE STANDARDS</p> <ul style="list-style-type: none"> NFPA 10 STANDARD FOR PORTABLE FIRE EXTINGUISHERS, 2022 EDITION NFPA 13 AUTOMATIC SPRINKLER SYSTEMS, 2022 EDITION NFPA 14 STANDPIPE SYSTEMS, 2022 EDITION NFPA 17 DRY CHEMICAL EXTINGUISHING SYSTEMS, 2021 EDITION NFPA 17a WET CHEMICAL SYSTEMS, 2021 EDITION NFPA 20 STATIONARY PUMPS, 2022 EDITION NFPA 24 PRIVATE FIRE MAINS, 2022 EDITION NFPA 72 NATIONAL FIRE ALARM CODE, 2022 EDITION NFPA 253 CRITICAL RADIANT FLUX OF FLOOR COVERING SYSTEMS, 2023 EDITION NFPA 2001 CLEAN AGENT FIRE EXTINGUISHING SYSTEMS, 2022 EDITION ASME 17.1 ELEVATOR STANDARD, 2019 EDITION ASME/ANSI A18.1 SAFETY STANDARD FOR PLATFORM LIFTS AND STAIRWAY CHAIR LIFTS ADA STANDARDS FOR ACCESSIBLE DESIGN; ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES (ADAAG), (28 CFR PART 36, APPENDIX A) 	 <p>SUMMARY/SCOPE OF WORK</p> <p>3705 HAVEN AVE IS A PROPOSED PRIVATELY FUNDED 8 STORY BUILDING TO INCLUDE (112) NEW RESIDENTIAL UNITS AND INTERIOR PARKING AT GROUND FLOOR AND SECOND FLOOR PODIUM LEVELS. PUBLICLY ACCESSIBLE OPEN SPACE IS PROVIDED ON THE GROUND FLOOR AND REQUIRED PRIVATE OPEN SPACE AT COURTYARD LEVEL.</p> <p>BUILDING DATA</p> <p>ADDRESS: 3705 HAVEN AVE, MENLO PARK, CA 94025 PARCEL NUMBER: 055170240 LOT SIZE: ±28,808 SQ. FT. 0.66 ± ACRES</p> <p>CONSTRUCTION TYPE: I-A & III-A</p> <table border="1"> <thead> <tr> <th colspan="2">FIRE RATINGS:</th> <th colspan="2">TYPE I-A</th> </tr> </thead> <tbody> <tr> <td>TYPE III-A</td> <td>PRIMARY STRUCTURAL FRAME: 1 HOUR (CBC TABLE 601)** BEARING EXTERIOR WALLS: 2 HOUR (CBC TABLE 601)** BEARING INTERIOR WALLS: 1 HOUR (CBC TABLE 601)** NON-BEARING EXTERIOR WALLS: VARIES (CBC TABLE 602)** NON-BEARING INTERIOR WALLS: NO RATING (CBC TABLE 601)** FLOOR CONSTRUCTION: 1 HOUR (CBC TABLE 601)** ROOF CONSTRUCTION: 1 HOUR (CBC TABLE 601)** EXIT ENCLOSURES: 2 HOURS (CBC 1022.1)</td> <td>TYPE I-A</td> <td>PRIMARY STRUCTURAL FRAME: 3 HOUR (CBC TABLE 601) BEARING EXTERIOR WALLS: 3 HOUR (CBC TABLE 601) BEARING INTERIOR WALLS: 3 HOUR (CBC TABLE 601) NON-BEARING EXTERIOR WALLS: VARIES (CBC TABLE 601) NON-BEARING INTERIOR WALLS: NO RATING (CBC TABLE 601) FLOOR CONSTRUCTION: 2 HOUR (CBC TABLE 601) ROOF CONSTRUCTION: 1.5 HOUR (CBC TABLE 601) EXIT ENCLOSURES: 2 HOURS (CBC 1022.1)</td> </tr> </tbody> </table> <p>* PER TABLE 601, NOTE D, AN APPROVED AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1 SHALL BE ALLOWED TO BE SUBSTITUTED FOR 1-HOUR FIRE RESISTANCE-RATED CONSTRUCTION, PROVIDED SUCH SYSTEM IS NOT OTHERWISE REQUIRED BY OTHER PROVISIONS OF THE CODE OR USED FOR AN ALLOWABLE AREA INCREASE IN ACCORDANCE WITH SECTION 506.3 OR ALLOWABLE HEIGHT INCREASE IN ACCORDANCE WITH SECTION 504.2. THE 1-HOUR SUBSTITUTION FOR THE FIRE RESISTANCE OF EXTERIOR WALLS SHALL NOT BE PERMITTED.</p> <p>** WALLS TO BE FRAMED WITH FIRE-RETARDANT-TREATED WOOD FRAMING COMPLYING WITH SECTION 2303.2</p> <table border="1"> <thead> <tr> <th>LOCATION</th> <th>BUILDING 01</th> <th>BUILDING 02</th> <th>BUILDING 03</th> </tr> </thead> <tbody> <tr> <td>LEVEL</td> <td>1-3</td> <td>4-8</td> <td>4-8</td> </tr> <tr> <td>PROPOSED OCCUPANCY</td> <td>S-2, R-2 (RESIDENTIAL)</td> <td>R-2 (RESIDENTIAL)</td> <td>R-2 (RESIDENTIAL)</td> </tr> <tr> <td>CONSTRUCTION*</td> <td>TYPE I-A</td> <td>TYPE III-A</td> <td>TYPE III-A</td> </tr> <tr> <td>SPRINKLERED</td> <td>YES</td> <td>YES</td> <td>YES</td> </tr> </tbody> </table> <table border="1"> <thead> <tr> <th>AREA</th> <th>ALLOWABLE AREA PER STORY (2022 CBC TABLE 506.2)</th> <th>UNLIMITED</th> <th>SEE SHEET G0.05A</th> <th>SEE SHEET G0.05A</th> </tr> </thead> <tbody> <tr> <td>TOTAL PROPOSED AREA</td> <td>SEE SHEET G0.05A</td> <td>SEE SHEET G0.05A</td> <td>SEE SHEET G0.05A</td> <td>SEE SHEET G0.05A</td> </tr> </tbody> </table> <table border="1"> <thead> <tr> <th>HEIGHT & STORIES</th> <th>ALLOWABLE HEIGHT (2022 CBC TABLE 504.3)</th> <th>UNLIMITED</th> <th>85'-0" (S WITHOUT AREA INCREASE)**</th> <th>85'-0" (S WITHOUT AREA INCREASE)**</th> </tr> </thead> <tbody> <tr> <td>PROPOSED HEIGHT</td> <td>UNLIMITED</td> <td>UNLIMITED</td> <td>84'-9" TO T.O. 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		<p>AREA MAP</p>  <p>TRUE NORTH PROJECT NORTH</p>	<p>FEMA REQUIREMENTS</p> <p>MENLO PARK - FEMA REQUIREMENTS & SEA LEVEL RISE</p> <ul style="list-style-type: none"> THE PROJECT IS BUILT IN COMPLIANCE WITH THE CITY'S FLOOD DAMAGE PREVENTION ORDINANCE, CHAPTER 12, SECTION 42. ALL MATERIALS BELOW DFE SHALL BE RESISTANT TO FLOOD DAMAGE. (I.E., CONCRETE, REDWOOD OR PRESSURE TREATED DOUGLAS FIR).* THE BOTTOM ELEVATION OF ALL APPLIANCES AND UTILITIES (METERS, AIR CONDITIONING UNITS, ETC) SHALL BE AT OR ABOVE DFE. STORM RUNOFF RESULTING FROM THE PROJECT'S GRADING AND DRAINAGE ACTIVITIES SHALL NOT ENCRONCH ONTO ANY NEIGHBORING LOT. RUNOFF MUST BE CONTAINED ON-SITE. NO BASEMENTS OR ANY HABITABLE ENCLOSURE BELOW THE DFE ARE ALLOWED FOR PROJECTS IN THE FLOOD ZONE. FLOOD VENTS SHALL BE INSTALLED FOR ALL NON-HABITABLE ENCLOSURES BELOW THE DFE CRAWLSPACE, GARAGE, ETC.) AT A RATE OF 1 SQUARE INCH OF NET OPENING TO 1 SQUARE FOOT OF ENCLOSURE. REFER TO THE ENGINEERING PLANS HEREIN FOR VENT LOCATIONS AND CALCULATIONS. <p>I CERTIFY THAT I AM THE ARCHITECT OF RECORD AND THE PLANS DATED SUBMITTED ON (DATE PER TITLE BLOCK) COMPLY WITH THE CITY'S FLOOD DAMAGE PREVENTION ORDINANCE (CHAPTER 12, SECTION 42).</p>  <p>APPROVALS</p>																																																										

3705 HAVEN AVE
MENLO PARK, CA



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PROJECT NO. 21-07
PARCEL NO. 055170240

REV	DATE	DESCRIPTION
	09-22-2023	PLANNING & SB330 REV 3
	03-20-2024	PLANNING & SB330 REV 4
	06-13-2024	PLANNING & SB330 REV 5
	07-26-2024	PLANNING & SB330 REV 6
	01-16-2025	PLANNING & SB330 REV 7

CONTACT: TOBY LEVY

(415) 777-0561 P
(415) 777-5117 F

SCALE:
AS NOTED

COVER SHEET

G0.00

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MENLO PARK, CA

PROJECT NO. 21-07
PARCEL NO. 05170240

REV	DATE	DESCRIPTION
	09-22-2023	PLANNING & SB330 REV 3
	03-20-2024	PLANNING & SB330 REV 4
	06-13-2024	PLANNING & SB330 REV 5
	07-26-2024	PLANNING & SB330 REV 6
	01-16-2024	PLANNING & SB330 REV 7

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SCALE:
AS NOTED

**DRAWING INDEX,
ABBREVIATIONS
& LEGEND**

G0.00B

ABBREVIATIONS	LEGEND	CALIFORNIA GREEN BUILDING CODE REQUIREMENTS	PLANNING DATA	DRAWING INDEX
<p>A/C AIR CONDITIONING ADJ. ADJUSTABLE A.F.F. ABOVE FINISH FLOOR</p> <p>ALUM. ALUMINUM ALT. ALTERNATE APPROX. APPROXIMATELY ARCH. ARCHITECT (URAL) A.C.T. ACOUSTIC CEILING TILE</p> <p>BFE BASE FLOOR ELEVATION BLDG. BUILDING BLKG. BLOCKING BOT. BOTTOM</p> <p>CL/C.L. CENTER LINE CAB. CABINET C.G. CORNER GUARD C.H.G. CHANGE CLG. CEILING CLOS. CLOSET CLR. CLEAR C.M.U. CONCRETE MASONRY UNIT COL. COLUMN CONC. CONCRETE CONJ. CONNECTION CONST. CONSTRUCTION CORR. CORRIDOR CTR. CERAMIC TILE CTR. CENTER</p> <p>DET. DETAIL DFE DESIGN FLOOR ELEVATION DIA/D. DIAMETER DIM. DIMENSION DN. DOWN DNC. DRAINING DS. DOWN SPOUT</p> <p>(E) EXISTING EA. EACH ELEV. ELEVATION ELEC. ELECTRICAL ELEV. ELEVATOR EQ. EQUIPMENT EXP. EXPANSION EXPOS. EXPOSED EXT. EXTERIOR</p> <p>F.D. FLOOR DRAIN F.F.E. FINISH FLOOR ELEVATION FIN. FINISH FL. FLOOR FLASH. FLASHING FLUOR. FLUORESCENT F.O.F. FACE OF FINISH F.O.S. FACE OF STUD FFRF. FIREPROOF FURR. FURRING</p> <p>GA. GAGE GALV. GALVANIZED G.C. GENERAL CONTRACTOR GL. GLASS GR. GRADE GYP. BD. GYPSUM BOARD</p> <p>H.B. HOSE BIB HC HANDICAPPED H.C. HOLLOW CORE HDWR. HARDWARE HGT. HEIGHT H.M. HOLLOW METAL H.P. HIGH POINT HR. HOUR H.W. HOT WATER INSUL. INSULATION/INSULATED INT. INTERIOR JAN. JANITOR JT. JOINT L.P. LOW POINT MAX. MAXIMUM M.C. MEDICINE CABINET M.D. MOTION DETECTOR MECH. MECHANICAL MIN. MINIMUM MTD. MOUNTED MTL. METAL</p> <p>(N) NEW N.I.C. NOT IN CONTRACT NO. NUMBER N.T.S. NOT TO SCALE O.C. ON CENTER OFF. OFFICE OPNG. OPENING OPP. OPPOSITE O.T.B. OPEN TO BELOW</p> <p>PR. PAIR P.LAM. PLASTIC LAMINATE PTD. PAINTED PLYWD. PLYWOOD P.O. PRIVATE OFFICE</p> <p>R. RISER R.D. ROOF DRAIN REQ. REQUIRED RM. ROOM R.O. ROUGH OPENING S.C. SOLID CORE STOR. STORAGE SHT. SHEET SIM. SIMILAR STR. STRUCTURAL T. TREAD T&G. TONGUE AND GROOVE TEL. TELEPHONE T.O. TOP OF TYP. TYPE, OTHERWISE NOTED U.O.N. VERIFY IN FIELD V.F. WOOD W.P. WATERPROOF</p>	<p># DETAIL REFERENCE #</p> <p>XXX SHEET #</p> <p># SECTION REFERENCE #</p> <p>XXV SHEET #</p> <p>X ELEVATION REFERENCE #</p> <p>XXX SHEET #</p> <p>DTL SHEET #</p> <p>REVISION CLOUD</p> <p>101 DOOR SYMBOL</p> <p>W.X WINDOW SYMBOL</p> <p>X-X CEILING HEIGHT</p> <p>X KEYNOTE TAG</p> <p>XX-X WALL/FLOOR TYPE SYMBOL</p> <p>ELEVATION DATUM</p> <p>XX-X SHEET NOTE</p> <p>ALIGN, FLUSH</p> <p>B.R.P. BUILDING REFERENCE POINT</p> <p>ROOF DRAIN</p> <p>FLOOR DRAIN</p> <p>HOSE BIB</p> <p>WALL-MOUNTED SCONCE LIGHT FIXTURE, S.E.D. FOR MORE INFORMATION</p> <p>WALL-MOUNTED COMPACT FLUORESCENT SCONCE LIGHT FIXTURE, S.E.D. FOR MORE INFORMATION</p> <p>RECESSED INCANDESCENT LIGHT FIXTURE AT CEILING, S.E.D. FOR MORE INFORMATION</p> <p>RECESSED COMPACT FLUORESCENT LIGHT FIXTURE AT CEILING, S.E.D. FOR MORE INFORMATION</p> <p>SURFACE-MOUNTED COMPACT FLUORESCENT LIGHT FIXTURE AT CEILING, S.E.D. FOR MORE INFORMATION</p> <p>COMBINATION EXHAUST FAN AND COMPACT FLUORESCENT LIGHT FIXTURE, RECESSED AT CEILING, S.E.D. FOR MORE INFORMATION</p> <p>SURFACE-MOUNTED FLUORESCENT STRIP LIGHT FIXTURE, CEILING-MOUNTED (WITH LENGTH AS INDICATED), S.E.D. FOR MORE INFORMATION</p> <p>SURFACE-MOUNTED TRACK LIGHT FIXTURE, CEILING-MOUNTED (WITH LENGTH AS INDICATED), S.E.D. FOR MORE INFORMATION</p> <p>EMERGENCY LIGHT FIXTURE WITH BATTERY PACK, CEILING OR WALL-MOUNTED, S.E.D. FOR MORE INFORMATION</p> <p>EXIT LIGHT FIXTURE WITH BATTERY BACK-UP, CEILING OR WALL-MOUNTED (WITH DIRECTIONAL ARROWS AS REQUIRED), S.E.D. FOR MORE INFORMATION</p> <p>ONE-WAY SWITCH, MOUNTED AT +48" A.F.F., U.O.N., S.E.D. FOR MORE INFORMATION</p> <p>TWO-WAY SWITCH, MOUNTED AT +48" A.F.F., U.O.N., S.E.D. FOR MORE INFORMATION</p> <p>THREE-WAY SWITCH, MOUNTED AT +48" A.F.F., U.O.N., S.E.D. FOR MORE INFORMATION</p>	<p>SEE COVER SHEET "GENERAL NOTES" FOR ADDITIONAL GREEN BUILDING REQUIREMENTS</p> <p>SEE CONSULTANT DRAWINGS FOR ADDITIONAL GREEN BUILDING REQUIREMENTS</p> <p>ENERGY EFFICIENCY 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CGC) 2022 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS 1. SECTIONS 160.0-160.9 MANDATORY REQUIREMENTS FOR DWELLING UNITS AND COMMON USE AREAS IN MULTIFAMILY BUILDINGS.</p> <p>ENHANCED DURABILITY AND REDUCED MAINTENANCE (2022 CGC 4.406) 1. ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE RODENT PROOFED BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY, OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY PER SECTION 4.406.1.</p> <p>POLLUTANT CONTROL (2022 CGC 4.504) 1. ADHESIVES, SEALANTS AND CAULKS, ADHESIVES, SEALANTS AND CAULKS USED ON THE PROJECT SHALL MEET THE REQUIREMENTS OF THE STANDARDS LISTED IN SECTION 5.504.2.1. 2. HARDWOOD PLYWOOD, PARTICLEBOARD, AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS SHALL COMPLY WITH THE LOW FORMALDEHYDE EMISSION STANDARDS (2022 CGC 4.504.5) 3. SEE FINISH SCHEDULE FOR ADDITIONAL REQUIREMENTS</p> <p>INTERIOR MOISTURE CONTROL (2022 CGC 4.505) 1. A CAPILLARY BREAK SHALL BE INSTALLED IF A SLAB ON GRADE FOUNDATION SYSTEM IS USED. THE USED OF A 4" THICK BASE OF 1/2" OR LARGER CLEAN AGGREGATE UNDER 6 MIL VAPOR RETARDER WITH JOINT LAPPED NOT LESS THAN 6" WILL BE PROVIDED PER SECTION 4.505.2</p> <p>INSTALLER SPECIAL INSPECTOR QUALIFICATION (2022 CGC 702) 1. HVAC SYSTEM INSTALLERS WILL BE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS AND EQUIPMENT BY A RECOGNIZED TRAINING/CERTIFICATION PROGRAM PER SECTION 702.1 2. WHEN REQUIRED BY THE ENFORCING AGENCY, SHALL EMPLOY SPECIAL INSPECTORS (2022 CGC 702.2)</p> <p>VERIFICATION (2022 CGC 703) 1. UPON REQUEST, VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE BUILDING OFFICIAL WHICH SHOW SUBSTANTIAL CONFORMANCE PER SECTION 703.1.</p> <p>PROJECT APPLICANT TO RETAIN A QUALIFIED AIR QUALITY CONSULTANT TO PREPARE A HEALTH RISK ASSESSMENT (HRA) IN ACCORDANCE WITH CALIFORNIA AIR RESOURCES BOARD (CARB) AND OFFICE OF ENVIRONMENTAL HEALTH AND HAZARD ASSESSMENT REQUIREMENTS TO DETERMINE THE HEALTH RISK OF EXPOSURE OF PROJECT RESIDENTS/OCCUPANTS/USERS TO AIR POLLUTANTS. THE HRA SHALL BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL. IF TECH HRA CONCLUDES THAT THE HEALTH RISK IS AT OR BELOW ACCEPTABLE LEVELS, THEN HEALTH RISK REDUCTION MEASURES ARE NOT REQUIRED. IF THE HRA CONCLUDES THAT THE HEALTH RISK EXCEEDS ACCEPTABLE LEVELS, HEALTH RISK REDUCTION MEASURES SHALL BE IDENTIFIED TO REDUCE THE HEALTH RISK TO ACCEPTABLE LEVELS. IDENTIFIED RISK REDUCTION MEASURES SHALL BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL AND BE INCLUDED ON THE PROJECT DRAWINGS SUBMITTED FOR THE CONSTRUCTION-RELATED PERMIT OR ON OTHER DOCUMENTATION SUBMITTED TO THE CITY. THE APPROVED RISK REDUCTION MEASURES SHALL BE IMPLEMENTED DURING CONSTRUCTION AND/OR OPERATIONS AS APPLICABLE.</p>	<p>ADDRESS 3705 HAVEN AVE, MENLO PARK CA 94025</p> <p>PARCEL NUMBER 55170240</p> <p>LOT SIZE ±28,808 SQ. FT., 0.66 ± ACRES</p> <p>ZONING DISTRICT R-MU-B, RESIDENTIAL MIXED USE</p> <p>DEVELOPMENT AND DESIGN STANDARDS PER MENLO PARK MUNICIPAL CODE SECTION 16.45.120</p> <p>REQUIRED PROPOSED</p> <p>DENSITY >30 DU / ACRE TO 100 DU / ACRE 170 DU / ACRE* 112 UNITS</p> <p>SETBACKS STREET SETBACKS: 0' SIDE SETBACKS: 10'-0" REAR SETBACKS: 10'-0"</p> <p>HEIGHT LIMIT PROPERTIES W/IN FLOOD ZONE ARE ALLOWED 10' INCREASE IN HEIGHT. MAXIMUM HEIGHT 70'-0" + 10'-0" = 80'-0" (SCREEN FOR MECH. EQUIP. +14', ELEVATOR TOWERS & EQUIP. +20')</p> <p>MAXIMUM RESIDENTIAL FLOOR AREA RATIO (FAR) >90%-225% (BONUS LEVEL) RESIDENTIAL 410%*</p> <p>OPEN SPACE 25% OF SITE: 7,202 SF 25% OPEN SPACE PUBLICLY ACCESSIBLE: 1,801 SF 100 SF / UNIT COMMON OPEN SPACE - OR - 80 SF / UNIT PRIVATE OPEN SPACE PRIVATE OPEN SPACE: MIN. DIMENSION 6' X 6' MIX OF OPEN SPACE: RATIO OF 1.25 SF COMMON OPEN SPACE FOR 1.0 PRIVATE OPEN SPACE COMMON OPEN SPACE: MIN. OF 1 SPACE, 40' MIN. DIMENSION; 1,600 SF TOTAL MIN. (101 OR MORE UNITS)</p> <p>BICYCLE PARKING RESIDENTIAL: 168 SPACES (1.5 LONG TERM/ UNIT) 17 SPACES (10% ADDITIONAL SHORT-TERM FOR GUESTS, MUST BE WITHIN 50' OF LOBBY)</p> <p>VEHICLE PARKING - RESIDENTIAL UNITS 1 SPACE/UNIT - 1.5 SPACES / UNIT MAX. (112-168 MAX.) 104 UNASSIGNED PARKING SPACES (5% ADA REQUIRED)* 6 ACCESSIBLE PARKING SPACES (INCLUDES 1 VAN PARKING SPACE) PARKING OCCURS AT FLOORS 1 & 2, 34 STANDARD SIZE SPACES AND 48 COMPACT SIZE SPACES UNLESS OTHERWISE NOTED.</p> <p>ELECTRIC VEHICLE PARKING PER 4.106.4.2.1, 15% SHALL BE EVCS / EVSE EQUIPPED WITH ELECTRIC VEHICLE SUPPLY EQUIPMENT WITH MINIMUM OF LEVEL 2 EV READY. 16 EVSE (ELECTRIC VEHICLE SUPPLY EQUIPMENT, INCLUDES 1 EVSE SPACE WITH 8' WIDE LOADING AISLE) ALL REMAINING PARKING SPACES SHALL HAVE A LOW POWER LEVEL 2 EV READY SPACE PER 4.106.4.2.1</p> <p>FRONTAGE LANDSCAPING 25% MIN OF SETBACK AREA BETWEEN PROP. LINE & FACE OF BUILDING (50% SHOULD PROVIDE ON-SITE INFILTRATION OF STORMWATER RUNOFF). SEE L-6 LANDSCAPE FRONTAGE CALCULATIONS FOR CLARITY</p> <p>BUILDING MASS & SCALE: BASE HEIGHT 55' MAX. AT SETBACK OR BEFORE HORIZONTAL DISTANCE SETBACK REQUIRED. MIN. SETBACK: 10' FOR A MIN. OF 75% OF THE BUILDING FACE ALONG PUBLIC STREETS (ABOVE 45'). MAX. 25% OF BUILDING FACE ALONG PUBLIC STREETS MAY BE EXCEPTED. ASSUME PROJECTIONS (I.E. BALCONIES) DO NOT COUNT TOWARDS THIS. BUILDING PROJECTIONS: 6' MAX. DEPTH (I.E. BALCONIES/BAY WINDOWS ABOVE GROUND FLR.) REQUIREMENTS MET, SEE PLANS ON A2.05-A2.09 & ELEVATIONS ON A3.01, AS WELL AS DIAGRAMS ON A3.05B AND A3.05C.</p> <p>BUILDING MASS & SCALE: MAJOR & MINOR BUILDING MODULATIONS MAJOR BUILDING MODULATIONS: MIN. ONE RECESS OF 15' WIDE X 10' DEEP PER 200' FACADE. MINOR BUILDING MODULATIONS: MIN. RECESS OF 5' WIDE X 5' DEEP PER 50' OF FACADE LENGTH. BUILDING PROJECTIONS SPACED NO MORE THAN 50' APART WITH MIN. 3' DEPTH & 5' WIDTH MAY SATISFY THIS IN LIEU OF A RECESS. REQUIREMENTS MET, SEE PLANS & ELEVATIONS.</p> <p>GROUND FLOOR EXTERIOR: BUILDING ENTRANCES BUILDING ENTRANCES REQUIREMENTS MET, ENTRY PROVIDED ON EACH FRONTAGE, SEE PLAN ON G0.02D & A2.01, AND ELEVATION DIAGRAM ON A3.05A.</p> <p>GROUND FLOOR EXTERIOR: TRANSPARENCY GROUND FLOOR TRANSPARENCY: 30% FOR RESIDENTIAL. SEEKING WAIVER FOR LESS THAN 30%, SEE PLAN ON A2.01 & ELEVATION DIAGRAM ON A3.05F. APPROX. 22% & 29% TRANSPARENCY PROVIDED.</p> <p>GROUND FLOOR EXTERIOR: GROUND FLOOR HEIGHT ALONG ST. FRONTAGE 10' RESIDENTIAL (GROUND FLOOR LEVEL TO CEILING ALONG STREET) SEEKING WAIVER FOR 10' FLOOR-TO-FLOOR HEIGHT, WITH APPROX. 9'-0" GROUND FLOOR LEVEL TO CEILING ALONG STREET</p> <p>GROUND FLOOR EXTERIOR: GARAGE ENTRANCES MAXIMUM 24-FOOT OPENING FOR TWO-WAY ENTRANCE. MAXIMUM 24-FOOT OPENING PROVIDED.</p> <p>GROUND FLOOR EXTERIOR: AWNINGS, SIGNS & CANOPIES 7' MAX. DEPTH. 8' MIN. VERTICAL CLR. TO GRADE; SHALL NOT EXTEND INTO PUBLIC RIGHT OF WAY. REQUIREMENTS MET, SEE PLANS & ELEVATIONS.</p> <p>BUILDING DESIGN ROOF LINES: 4' MIN. HEIGHT MODULATION TO BREAK VISUAL MONOTONY AND CREATE VISUALLY INTERESTING SKYLINE AT PUBLIC STREETS REQUIREMENTS MET, SEE PLANS & ELEVATIONS.</p> <p>*See requested density bonus and waivers pursuant to State Density Bonus Law (Gov. Code § 65915)</p>	<p>GENERAL G0.00 COVER SHEET G0.00B DRAWING INDEX, ABBREVIATIONS & LEGEND</p> <p>G0.01A GREEN BUILDING CHECKLIST G0.01B GREEN BUILDING CHECKLIST G0.01C GREEN BUILDING DOCUMENTS G0.01D GREEN BUILDING DOCUMENTS</p> <p>G0.02A EXISTING SITE CONDITIONS G0.02B AREA PLAN G0.02C STREETScape ELEVATIONS G0.02D CIRCULATION PLAN</p> <p>G0.03A FIRE DIAGRAM G0.03B FIRE CONDITIONS OF APPROVAL</p> <p>G0.05A BUILDING AREA CALCULATIONS G0.05B BUILDING AREA CALCULATIONS PLANNING G0.05C BUILDING AREA CALCULATIONS PLANNING G0.05D BUILDING AREA CALCULATIONS PLANNING G0.05E BUILDING AREA CALCULATIONS PLANNING G0.05F BUILDING AREA CALCULATIONS PLANNING</p> <p>G0.06A EGRESS G0.06B EGRESS G0.06C EGRESS G0.06D EGRESS</p> <p>G0.07A ACCESS</p> <p>ARCHITECTURAL A1.00 SITE PLAN: EXISTING / DEMOLITION A1.01 SITE PLAN: PROPOSED</p> <p>A2.01 FLOOR PLAN: FIRST FLOOR A2.02 FLOOR PLAN: SECOND FLOOR A2.03 FLOOR PLAN: THIRD FLOOR A2.04 FLOOR PLAN: FOURTH A2.05 FLOOR PLAN: FIFTH A2.06 FLOOR PLAN: SIXTH A2.07 FLOOR PLAN: SEVENTH A2.08 FLOOR PLAN: EIGHTH A2.09 FLOOR PLAN: ROOF PLAN</p> <p>A3.00A RENDERING A3.00B RENDERING A3.01 ELEVATIONS A3.02 ELEVATIONS A3.03 ELEVATIONS A3.04 MATERIALS A3.05A ZONING DIAGRAMS A3.05B ZONING DIAGRAMS A3.05C ZONING DIAGRAMS A3.05D ZONING DIAGRAMS A3.05E ZONING DIAGRAMS A3.05F ZONING DIAGRAMS</p> <p>A4.01 SECTIONS A4.02 SECTIONS</p> <p>CIVIL C1.0 TITLE SHEET C1.1 GRADING SPECIFICATIONS C2.0 DEMOLITION PLAN C3.0 PRELIMINARY GRADING & DRAINAGE PLAN C3.1 AVERAGE NATURAL GRADE EXHIBIT C4.0 PRELIMINARY UTILITIES PLAN C4.1 COLOR CODED UTILITIES PLAN C4.2 WATER MAIN CONNECTION DETAIL C4.3 PRELIMINARY UTILITIES PROFILE C4.4 WATER MAIN UTILITY PROFILE C-5.0 DRIVEWAY SAFETY TRIANGLES SCP-0 OFFSITE GREEN INFRASTRUCTURE PLAN SCP-1 PRELIMINARY IMPERVIOUS AREA EXHIBIT SCP-2 PRELIMINARY STORMWATER CONTROL PLAN SCP-3 STORMWATER CONTROL DETAILS SCP-4 GREEN INFRASTRUCTURE DETAILS C8.0 DETAILS C8.1 CITY DETAILS</p> <p>ER-1 EROSION CONTROL ER-2 EROSION CONTROL DETAILS</p> <p>SW-1 BEST MANAGEMENT PRACTICES SU-1 TOPOGRAPHICAL SURVEY</p> <p>LANDSCAPE L-1 OVERALL LANDSCAPE PLAN L-2 LANDSCAPE PLAN - GROUND FLOOR L-3 LANDSCAPE PLAN - PODIUM & ROOFS L-4 TREE REMOVAL & REPLACEMENT PLAN L-5 WELO CHECKLIST, PLANT PALETTE, AND NOTES L-6 LANDSCAPE FRONTAGE CALCULATIONS</p> <p>JOINT TRENCH JT1 JOINT TRENCH COMPOSITE TITLE SHEET JT2 JOINT TRENCH GENERAL NOTES AND DETAILS JT3 JOINT TRENCH DETAILS JT4 JOINT TRENCH SECTIONS AND DETAILS JT5 JOINT TRENCH COMPOSITE PLAN</p> <p>PH1 STREET LIGHTING PHOTOMETRICS - FOR REFERENCE</p> <p>SL1 STREET LIGHTING GENERAL NOTES AND DETAILS SL2 STREET LIGHTING GENERAL NOTES AND DETAILS SL3 STREET LIGHTING SITE PLAN</p>

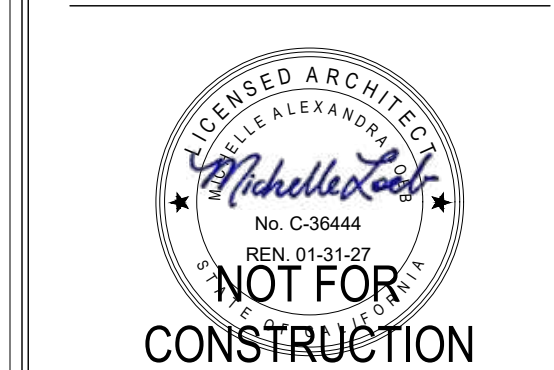
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)

LEGEND table with columns for ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR, LANDSCAPE ARCHITECT, and RESPONSIBLE PARTY.



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3705 HAVEN AVE MENLO PARK, CA



3705 HAVEN AVE MENLO PARK, CA PROJECT NO. 21-07 PARCEL NO. 055170240

Table with columns: REV, DATE, DESCRIPTION. Includes entries for 04-14-2023, 09-22-2023, 03-20-2024, 06-13-2024, and 07-26-2024.

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SCALE: AS NOTED

GREEN BUILDING CHECKLIST

G0.01A

Table with columns: Y, NA, RESPON. PARTY. Contains sections for CHAPTER 3 GREEN BUILDING, SECTION 301 GENERAL, 301.1 SCOPE, 301.1.1 Additions and alterations, 301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS, SECTION 302 MIXED OCCUPANCY BUILDINGS, 302.1 MIXED OCCUPANCY BUILDINGS, DIVISION 4.1 PLANNING AND DESIGN, ABBREVIATION DEFINITIONS, CHAPTER 4 RESIDENTIAL MANDATORY MEASURES, SECTION 4.102 DEFINITIONS, 4.102.1 DEFINITIONS, FRENCH DRAIN, WATTLES, 4.106 SITE DEVELOPMENT, 4.106.1 GENERAL, 4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION, 4.106.3 GRADING AND PAVING, 4.106.4 Electric vehicle (EV) charging for new construction, 4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages.

Table with columns: Y, NA, RESPON. PARTY. Contains sections for 4.106.4.2 New multifamily dwellings, hotels and motels and new residential parking facilities, 4.106.4.2.1 Multifamily development projects with less than 20 dwelling units, and hotels and motels with less than 20 sleeping units or guest rooms, 4.106.4.2.2 Multifamily development projects with 20 or more dwelling units, hotels and motels with 20 or more sleeping units or guest rooms, 4.106.4.2.3 Electric vehicle charging for additions and alterations of parking facilities serving existing multifamily buildings, 4.106.4.2.4 Electric vehicle charging stations (EVCS).

Table with columns: Y, NA, RESPON. PARTY. Contains sections for 4.106.4.2.4 Electric vehicle charging stations (EVCS), 4.106.4.2.5 Electric Vehicle Ready Space Signage, 4.106.4.3 Electric vehicle charging for additions and alterations of parking facilities serving existing multifamily buildings, 4.106.4.3.1 Water Closets, 4.106.4.3.2 Multiple showerheads serving one shower, 4.106.4.3.3 Showerheads, 4.106.4.3.4 Kitchen Faucets, 4.106.4.3.5 Metering Faucets, 4.106.4.4 Kitchen Faucets, 4.106.4.4.1 Residential Lavatory Faucets, 4.106.4.4.2 Lavatory Faucets in Common and Public Use Areas, 4.106.4.4.3 Metering Faucets, 4.106.4.4.4 Kitchen Faucets, 4.106.4.5 Pre-rinse spray valves, 4.106.4.5.1 Electric vehicle charging stations (EVCS), 4.106.4.5.2 Electric vehicle charging stations (EVCS) dimensions, 4.106.4.5.3 Accessible EV spaces, 4.106.4.5.4 EV space requirements, 4.106.4.5.5 Electric vehicle charging stations (EVCS) dimensions, 4.106.4.5.6 Accessible EV spaces, 4.106.4.5.7 EV space requirements, 4.106.4.5.8 Electric vehicle 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4.106.4.5.95 Electric vehicle charging stations (EVCS) dimensions, 4.106.4.5.96 Accessible EV spaces, 4.106.4.5.97 EV space requirements, 4.106.4.5.98 Electric vehicle charging stations (EVCS) dimensions, 4.106.4.5.99 Accessible EV spaces, 4.106.4.5.100 EV space requirements.

Table with columns: Y, NA, RESPON. PARTY. Contains sections for 4.304 OUTDOOR WATER USE, 4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS, DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY, 4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE, 4.406.1 RODENT PROOFING, 4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING, 4.408.1 CONSTRUCTION WASTE MANAGEMENT, 4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN, 4.408.3 WASTE MANAGEMENT COMPANY, 4.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR], 4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE, 4.408.5 DOCUMENTATION, 4.410 BUILDING MAINTENANCE AND OPERATION, 4.410.1 OPERATION AND MAINTENANCE MANUAL, 4.410.2 RECYCLING BY OCCUPANTS, DIVISION 4.5 ENVIRONMENTAL QUALITY, SECTION 4.501 GENERAL, 4.501.1 Scope, SECTION 4.502 DEFINITIONS, 5.102.1 DEFINITIONS, 5.102.2 DEFINITIONS, 5.102.3 DEFINITIONS, 5.102.4 DEFINITIONS, 5.102.5 DEFINITIONS, 5.102.6 DEFINITIONS, 5.102.7 DEFINITIONS, 5.102.8 DEFINITIONS, 5.102.9 DEFINITIONS, 5.102.10 DEFINITIONS, 5.102.11 DEFINITIONS, 5.102.12 DEFINITIONS, 5.102.13 DEFINITIONS, 5.102.14 DEFINITIONS, 5.102.15 DEFINITIONS, 5.102.16 DEFINITIONS, 5.102.17 DEFINITIONS, 5.102.18 DEFINITIONS, 5.102.19 DEFINITIONS, 5.102.20 DEFINITIONS, 5.102.21 DEFINITIONS, 5.102.22 DEFINITIONS, 5.102.23 DEFINITIONS, 5.102.24 DEFINITIONS, 5.102.25 DEFINITIONS, 5.102.26 DEFINITIONS, 5.102.27 DEFINITIONS, 5.102.28 DEFINITIONS, 5.102.29 DEFINITIONS, 5.102.30 DEFINITIONS, 5.102.31 DEFINITIONS, 5.102.32 DEFINITIONS, 5.102.33 DEFINITIONS, 5.102.34 DEFINITIONS, 5.102.35 DEFINITIONS, 5.102.36 DEFINITIONS, 5.102.37 DEFINITIONS, 5.102.38 DEFINITIONS, 5.102.39 DEFINITIONS, 5.102.40 DEFINITIONS, 5.102.41 DEFINITIONS, 5.102.42 DEFINITIONS, 5.102.43 DEFINITIONS, 5.102.44 DEFINITIONS, 5.102.45 DEFINITIONS, 5.102.46 DEFINITIONS, 5.102.47 DEFINITIONS, 5.102.48 DEFINITIONS, 5.102.49 DEFINITIONS, 5.102.50 DEFINITIONS, 5.102.51 DEFINITIONS, 5.102.52 DEFINITIONS, 5.102.53 DEFINITIONS, 5.102.54 DEFINITIONS, 5.102.55 DEFINITIONS, 5.102.56 DEFINITIONS, 5.102.57 DEFINITIONS, 5.102.58 DEFINITIONS, 5.102.59 DEFINITIONS, 5.102.60 DEFINITIONS, 5.102.61 DEFINITIONS, 5.102.62 DEFINITIONS, 5.102.63 DEFINITIONS, 5.102.64 DEFINITIONS, 5.102.65 DEFINITIONS, 5.102.66 DEFINITIONS, 5.102.67 DEFINITIONS, 5.102.68 DEFINITIONS, 5.102.69 DEFINITIONS, 5.102.70 DEFINITIONS, 5.102.71 DEFINITIONS, 5.102.72 DEFINITIONS, 5.102.73 DEFINITIONS, 5.102.74 DEFINITIONS, 5.102.75 DEFINITIONS, 5.102.76 DEFINITIONS, 5.102.77 DEFINITIONS, 5.102.78 DEFINITIONS, 5.102.79 DEFINITIONS, 5.102.80 DEFINITIONS, 5.102.81 DEFINITIONS, 5.102.82 DEFINITIONS, 5.102.83 DEFINITIONS, 5.102.84 DEFINITIONS, 5.102.85 DEFINITIONS, 5.102.86 DEFINITIONS, 5.102.87 DEFINITIONS, 5.102.88 DEFINITIONS, 5.102.89 DEFINITIONS, 5.102.90 DEFINITIONS, 5.102.91 DEFINITIONS, 5.102.92 DEFINITIONS, 5.102.93 DEFINITIONS, 5.102.94 DEFINITIONS, 5.102.95 DEFINITIONS, 5.102.96 DEFINITIONS, 5.102.97 DEFINITIONS, 5.102.98 DEFINITIONS, 5.102.99 DEFINITIONS, 5.102.100 DEFINITIONS.

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE RESIDENTIAL MANDATORY MEASURES, SHEET 2 (January 2023)

LEGEND ARCHITECT, ENGR, OWNER, CONTR., INSP., LANDS., ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR, LANDSCAPE ARCHITECT, Y, NA, RESPON. PARTY, = YES, = NOT APPLICABLE, RESPONSIBLE PARTY (= ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR ETC.)

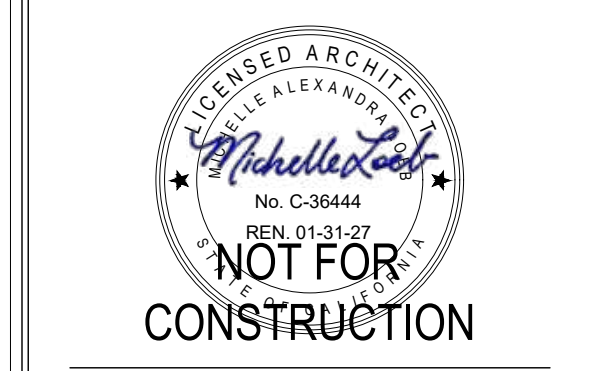


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CHAPTER 7 INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS
702 QUALIFICATIONS
702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program.

[BSC] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed.

703 VERIFICATIONS
703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance.



3705 HAVEN AVE MENLO PARK, CA
PROJECT NO. 21-07
PARCEL NO. 055170240

Table with columns: REV, DATE, DESCRIPTION. Contains revision history for planning and construction stages.

CONTACT: TOBY LEVY
(415) 777-0561 P
(415) 777-5117 F

SCALE: AS NOTED

GREEN BUILDING CHECKLIST

G0.01B

Table with columns: Y, NA, RESPON. PARTY. Contains compliance checkboxes for various sections including 4.503 FIREPLACES, 4.504 POLLUTANT CONTROL, 4.504.1 ADHESIVES, 4.504.2 FINISH MATERIAL, 4.504.2.1 Adhesives, Sealants and Caulks, 4.504.2.2 Paints and Coatings, 4.504.2.3 Aerosol Paints and Coatings, and 4.504.2.4 Verification.

TABLE 4.504.2 - SEALANT VOC LIMIT. Table with columns: SEALANTS, VOC LIMIT. Lists architectural, marine deck, nonmembrane roof, roadway, single-ply roof membrane, and other sealants.

TABLE 4.504.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS. Table with columns: COATING CATEGORY, VOC LIMIT. Lists flat, non-flat, nonflat-high gloss, and specialty coatings.

TABLE 4.504.1 - ADHESIVE VOC LIMIT. Table with columns: ARCHITECTURAL APPLICATIONS, VOC LIMIT. Lists indoor carpet, carpet pad, outdoor carpet, wood flooring, rubber floor, subfloor, ceramic tile, VCT & asphalt tile, drywall & panel, cove base, multipurpose construction, structural glazing, single-ply roof membrane, other adhesives, specialty applications, and substrate specific applications.

Table with columns: Y, NA, RESPON. PARTY. Contains compliance checkboxes for 4.504.5 FORMALDEHYDE LIMITS, DIVISION 4.5 ENVIRONMENTAL QUALITY (continued), 4.504.3 CARPET CUSHION, 4.504.3.2 Carpet adhesive, 4.504.4 RESILIENT FLOORING SYSTEMS, 4.504.5 COMPOSITE WOOD PRODUCTS, 4.504.5.1 Documentation, 4.505 INTERIOR MOISTURE CONTROL, 4.505.2 CONCRETE SLAB FOUNDATIONS, 4.505.2.1 Capillary break, 4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS, 4.506 INDOOR AIR QUALITY AND EXHAUST, 4.506.1 Bathroom exhaust fans, and 4.507 ENVIRONMENTAL COMFORT.

Homes 3705 Haven

3705 Haven
30003005 - LEED v4 BD+C: Multifamily Midrise

Summary Details Team Payments Setup Incomplete

All LEED v4 BD+C and ID+C projects (including residential adaptations of BD+C) registering after the system update scheduled for 9 pm ET on March 1, 2024, will be required to adhere to updated energy credit and prerequisite language. Learn more about this update.

Project details

Name	3705 Haven
Registration date	14 Jun 2022
Rating system	LEED v4 BD+C: Multifamily Midrise
Building type	Multi-Family Mid-Rise (4+ stories)
Country/Region	United States
Address 1	3705 Haven Avenue
City	Menlo Park
State/Province	California
Postal code	94025
Geo location	37.465322, -122.18229

Homes provider Bright Green Strategies Inc.
Green rater Sharon Block
Gross floor area 157418 sq ft
Conditioned area 118059 sq ft
Number of units 112
Number of stories 8
Market classification Market Rate
Builder name March Capital Management
Private Yes
Historic registry No

Owner March Capital Management
Owner's representative (Employee or Officer of Owner) Oliver Davis
Owner type Profit Organization
Owner Country/Region United States
Phone 415-874-9893
Email oliver@marchcapitalfund.com

If the Owner's representative, Owner type or owner email fields need to be edited, please Contact Us.

Terms and conditions
Certification Agreement

Did the owner sign the Certification agreement? If not, please submit the **Confirmation of agent's authority** form to confirm the agent's authority to accept the Certification agreement for the Owner. If the completed form indicates the name originally entered for the Owner was incorrect and needs to be revised, please Contact Us.
Confirmation of agent's authority Download
Upload agent's authority

Has the project owner changed? If so, please download, complete, and upload the **Change of owner agreement** to assign the project application or certification to the new owner. After you've uploaded the form, please Contact Us so that we can review and revise the Owner information accordingly.
Change of owner agreement Download
Upload change of owner agreement

Are there multiple owners for the Project? If so, please submit the **Confirmation of primary owner's authority** form to designate one owner to accept the Certification agreement and administer the application. If the completed form indicates the name originally entered for the Owner was incorrect and needs to be revised, please Contact Us.
Confirmation of primary owner's authority Download
Upload primary owner's authority

BRIGHT GREEN STRATEGIES

Mailing address: 1717 Seabright Ave, Suite 4, Santa Cruz, CA 95062
820 Delaware Street, Berkeley, CA 94710
831.454.9956 • www.brightgreenstrategies.com

July 28, 2022

Community Development Department, Planning Division
701 Laurel Street
Menlo Park, CA 94025
Attn: Ori Paz, oripaz@menlopark.org

RE: 3705 Haven Avenue, Menlo Park, CA 94025 – Planning Application

Dear Ori,

I am the LEED for Homes AP for the 3705 Haven Avenue Project. My qualifications include LEED for Homes QAD, (Quality Assurance Designee) (2018), LEED for Homes AP (2011) and LEED for Homes Green Rater (2008). My company, Bright Green Strategies is a LEED for Homes Provider. As a LEED for Homes Provider, we oversee the LEED certification process. We collect and submit all final documents to the Green Building Certification Institute (GBCI) for LEED certification. We also provide quality assurance overseeing over 10 other LEED for Homes Green Raters throughout California and Canada.

Bright Green Strategies consists of seven individuals trained specifically in LEED for Homes and GreenPoint Rated certification, HERS testing and energy modeling to exceed Title-24 energy efficiency standards. I have personally certified multi-family projects from 100 units to over 400 units.

I have prepared the LEED for Homes checklist for this project and have relayed pertinent information to the project team with regards to LEED for Home prerequisites and credits. The project has been registered with the LEED Online. The project will be LEED Gold certified with LEED for Homes Midrise being the intended path for compliance. The Preliminary LEED checklist estimates 60 points, which is a Gold rating. LEED for Homes Midrise is part of the LEED BD&C family of rating systems.

Let me know if you need any further information. Please contact me at 510-863-1109, ext. 1011 or at my email: sharon@brightgreenstrategies.com with any questions.

Sincerely,


Sharon Block, Director of Sustainability
Bright Green Strategies Inc.
sharon@brightgreenstrategies.com

Attachment: LEED for Homes scorecard/checklist



LEED BD+C: Multifamily Midrise v4 - LEED v4
3705 Haven Scorecard
Location: 3705 Haven Avenue, Menlo Park, CA 94025, United States

Note: The information on this tab is READ-ONLY. To edit this information, see the Credit Category title.

Category	Subcategory	Requirement	Preliminary	Y	M	V	Verified
Integrative Process	IPc	Integrative Process	2 of 2				Y
	Location and Transportation	LTP	Floodplain Avoidance	Required			Y
		LTS	LEED for Neighborhood Development	0 of 15			
	Sustainable Sites	SSc	Construction Activity Pollution Prevention	Required			
		SSp	No Invasive Plants	Required			
		SSc	Heat Island Reduction	1 of 2			Y
		SSc	Rainwater Management	0 of 3			Y
	Water Efficiency	WEp	Water Metering	Required			
		WEC	Total Water Use	0 of 12			
		WEC	Indoor Water Use	6 of 6			Y
WEC		Outdoor Water Use	4 of 4			Y	
Energy and Atmosphere	EAp	Minimum Energy Performance	Required				
	EAp	Energy Metering	Required				
	EAp	Education of the Homeowner, Tenant or Building Manager	Required				
	EAc	Annual Energy Use	11 of 30			Y	
	EAc	Efficient Hot Water Distribution System	0 of 5			Y	
	EAc	Advanced Utility Tracking	1 of 2			Y	
Materials and Resources	MRp	Certified Tropical Wood	Required				
	MRp	Durability Management	Required				
	MRc	Durability Management Verification	1 of 1			Y	
	MRc	Environmentally Preferable Products	3 of 5			Y	
MRc	Construction Waste Management	2 of 3			Y		

Page 1

Category	Subcategory	Requirement	Preliminary	Y	M	V	Verified
Indoor Environmental Quality	EQp	Ventilation	Required				
	EQp	Combustion Venting	Required				
	EQp	Garage Pollutant Protection	Required				
	EQp	Radon-Resistant Construction	Required				
	EQp	Air Filtration	Required				
	EQp	Environmental Tobacco Smoke	Required				
	EQp	Compartmentalization	Required				
	EQc	Enhanced Ventilation	1 of 3			Y	
	EQc	Contaminant Control	1 of 2			Y	
	EQc	Balancing of Heating and Cooling Distribution Systems	3 of 3			Y	
	EQc	Enhanced Compartmentalization	1 of 3			Y	
	EQc	Combustion Venting	2 of 2			Y	
	EQc	Enhanced Garage Pollutant Protection	1 of 1			Y	
EQc	Low-Emitting Products	2 of 3			Y		
EQc	No Environmental Tobacco Smoke	1 of 1			Y		
Innovation	INp	Preliminary Rating	Required				
	INc	Innovation	4 of 5			Y	
	INc	LEED Accredited Professional	1 of 1			Y	
Regional Priority	RPc	Regional Priority	4 of 4			Y	

Point Floors

The project earned at least 6 points total in Location and Transportation and Energy and Atmosphere

The project earned at least 3 points in Water Efficiency

The project earned at least 3 points in Indoor Environmental Quality

Total Preliminary Y 65 of 110 M V Verified 11

Certification Thresholds Certified: 40-49, Silver: 50-59, Gold: 60-79, Platinum: 80-110

Page 2

ENERGY STAR PortfolioManager®

3705 Haven
3705 Haven Avenue, Menlo Park, CA 94025
Parcel Manager Property ID: 21584332
Year Built: 2025

Weather Normalized Source EUI (kBtu/ft²) Current: N/A Baseline: N/A

Summary Details Energy Water Waste & Materials Goals Design

Refresh to see Source EUI Trend

Metrics Summary

Metric	Not Available Energy Source	Not Available Energy Current	Change
ASHRAE 90.1-2010	Not Available	Not Available	N/A
Source EUI (Electricity)	Not Available	Not Available	N/A
Source EUI (Gas)	Not Available	Not Available	N/A
Source EUI (Oil)	Not Available	Not Available	N/A
Source EUI (District Heating/Cooling)	Not Available	Not Available	N/A
Source EUI (Hot Water)	Not Available	Not Available	N/A
Source EUI (Cogeneration)	Not Available	Not Available	N/A
Water Use (Indoor and Outdoor)	Not Available	Not Available	N/A

Data Quality Checker

Check for Prerequisite Errors

Sharing this Property

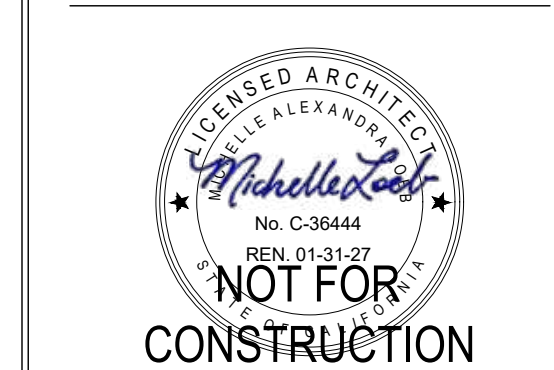
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3705 HAVEN AVE
MENLO PARK, CA



3705 HAVEN AVE
MENLO PARK, CA

PROJECT NO. 21-07
PARCEL NO. 055170240

REV	DATE	DESCRIPTION
04-14-2023	PLANNING & SB330 REV 2	
09-22-2023	PLANNING & SB330 REV 3	
03-20-2024	PLANNING & SB330 REV 4	
06-13-2024	PLANNING & SB330 REV 5	
07-26-2024	PLANNING & SB330 REV 6	

CONTACT: TOBY LEVY

(415) 777-0561 P
(415) 777-5117 F

SCALE:
AS NOTED

GREEN BUILDING DOCUMENTS

G0.01C

3705 HAVEN

MENLO PARK MUNICIPAL CODE 16.45.130

BUILDING TO COMPLY WITH MENLO PARK MUNICIPAL CODE CHAPTER 16.45.130

16.45.130 Green and sustainable building.

(1) Green Building.

(A) Any new construction to comply with Tables 16.45.130(1)(B) - Building designed to meet LEED Gold BD+C. Electric Vehicle Charging Spaces to meet requirements in Section 16.72.010. See LEED submittal documents for more information.

(2) Energy.

(A) For all new construction, the project will meet one hundred percent (100%) of energy demand (electricity and natural gas) through any combination of the following measures:

(i) On-site energy generation;

(ii) Purchase of one hundred percent (100%) renewable electricity through Peninsula Clean Energy or Pacific Gas and Electric Company in an amount equal to the annual energy demand of the project;

(iii) Purchase and installation of local renewable energy generation within the city of Menlo Park in an amount equal to the annual energy demand of the project;

(iv) Purchase of certified renewable energy credits and/or certified renewable energy offsets annually in an amount equal to the annual energy demand of the project.

Solar zone has been indicated on roof plan.

(3) Water Use Efficiency and Recycled Water.

(A) Single pass cooling systems shall be prohibited in all new buildings.

To be verified at the building permit stage.

(B) All new buildings shall be built and maintained without the use of well water.

Building will not use well water.

(C) Applicants for a new building more than one hundred thousand (100,000) square feet or more of gross floor area shall prepare and submit a proposed water budget and accompanying calculations following the methodology approved by the city.

Water budget has been provided.

(D) All new buildings shall be dual plumbed for the internal use of recycled water.

Applicant is seeking a concession/incentive per State Density Bonus Law to not be dual plumbed.

(E) All new buildings two hundred fifty thousand (250,000) square feet or more in gross floor area shall use an alternate water source for all city approved nonpotable applications. An alternate water source may include, but is not limited to, treated nonpotable water such as graywater. An alternate water source assessment shall be submitted that describes the alternative water source and proposed nonpotable application. Approval of the alternate water source assessment, the alternative water source and its proposed uses shall be approved by the city's public works director and community development director. If the Menlo Park Municipal Water District has not designated a recycled water purveyor and/or municipal recycled water source is not available prior to planning project approval, applicants may propose conservation measures to meet the requirements of this section subject to approval of the city council. The conservation measures shall achieve a reduction in potable water use equivalent to the projected demand of city approved nonpotable applications, but in no case shall the reduction be less than thirty percent

(30%) compared to the water budget in subsection (3)(C) of this section. The conservation measures may include on-site measures, off-site measures or a combination thereof.

N/A

(F) Potable water shall not be used for dust control on construction projects.

Noted.

(G) Potable water shall not be used for decorative features, unless the water recirculates.

No decorative features using water are proposed on this project.

(4) Hazard mitigation and sea level rise resiliency.

(A) The first floor elevation of all new buildings shall be twenty-four (24) inches above the Federal Emergency Management Agency base flood elevation (BFE) to account for sea level rise. Where no BFE exists, the first floor (bottom of floor beams) elevation shall be twenty-four (24) inches above the existing grade. ~~Notwithstanding the foregoing, for projects on sites of two (2) acres or less, the first floor elevation shall be the maximum height reasonably practicable as determined by the city, but in no case less than six (6) inches above BFE or existing grade where no BFE exists. The building design and protective measures shall not create adverse impacts on adjacent sites as determined by the city.~~

First floor elevation complies.

(B) Prior to building permit issuance, all new buildings shall pay any required fee or proportionate fair share for the funding of sea level rise projects, if applicable.

Noted.

(5) Waste Management.

(A) Applicants shall submit a zero-waste management plan to the city, which will cover how the applicant plans to minimize waste to landfill and incineration in accordance with all applicable state and local regulations. Applicants shall show in their zero-waste plan how they will reduce, recycle and compost wastes from the demolition, construction and occupancy phases of the building. For the purposes of this chapter, "zero waste" is defined as ninety percent (90%) overall diversion of nonhazardous materials from landfill and incineration, wherein discarded materials are reduced, reused, recycled, or composted. Zero-waste plan elements shall include the property owner's assessment of the types of waste to be generated during demolition, construction and occupancy, and a plan to collect, sort and transport materials to uses other than landfill and incineration.

Zero waste management plan provided.

(6) Bird-Friendly Design.

(A) No more than ten percent (10%) of facade surface area shall have non-bird-friendly glazing.

(B) Bird-friendly glazing includes, but is not limited to, opaque glass, covering the outside surface of clear glass with patterns, paned glass with fenestration, frit or etching patterns, and external screens over nonreflective glass. Highly reflective glass is not permitted.

(C) Occupancy sensors or other switch control devices shall be installed on nonemergency lights and shall be programmed to shut off during nonwork hours and between ten (10) p.m. and sunrise.

(D) Placement of buildings shall avoid the potential funneling of flight paths towards a building facade.

(E) Glass skyways or walkways, freestanding (see-through) glass walls and handrails, and transparent building corners shall not be allowed.

(F) Transparent glass shall not be allowed at the rooflines of buildings, including in conjunction with roof decks, patios and green roofs.

3705 HAVEN

REACH CODES

BUILDING TO COMPLY WITH REACH CODES & MENLO PARK MUNICIPAL CODE CHAPTER 12.16

BUILDING TO BE FULLY ELECTRIC

SOLAR READY ZONE, SEE A2.09. BUILDING TO COMPLY WITH ONE OF THE SOLAR ZONE OPTIONS NOTED BELOW:

SECTION 110.10 (a) (3) high-rise multifamily buildings with ten habitable stories or fewer shall comply with the requirements of Section 110.10(b) through 110.10(d) and Table 2.

SECTION 1010.10 Table 2: Solar panel requirements for all new nonresidential and high rise residential buildings Building greater than or equal to 10,000 SF to provide min. 5-kilowatt PV systems

b) Solar Zone.

1. Minimum Solar Zone Area. The solar zone shall have a minimum total area as described below. The solar zone shall comply with access, pathway, smoke ventilation, and spacing requirements as specified in Title 24, Part 9 or other Parts of Title 24 or in any requirements adopted by a local jurisdiction. The solar zone total area shall be comprised of areas that have no dimension less than five feet and are no less than 80 square feet each for buildings with roof areas less than or equal to 10,000 square feet or no less than 160 square feet each for buildings with roof areas greater than 10,000 square feet.

B. Low-rise and High-rise Multifamily Buildings, Hotel/Motel Occupancies, and Nonresidential Buildings. The solar zone shall be located on the roof or overhang of the building or on the roof or overhang of another structure located within 250 feet of the building or on covered parking installed with the building project, and shall have a total area no less than 15 percent of the total roof area of the building excluding any skylight area. The solar zone requirement is applicable to the entire building, including mixed occupancy.

EXCEPTION 1 to Section 110.10(b)1B: High-rise Multifamily Buildings, Hotel/Motel Occupancies, and Nonresidential Buildings with a permanently installed solar electric system having a nameplate DC power rating, measured under Standard Test Conditions, of no less than one watt per square foot of roof area.

EXCEPTION 2 to Section 110.10(b)1B: High-rise multifamily buildings, hotel/motel occupancies with a permanently installed domestic solar water-heating system complying with Section 150.1(c)8Biii and an additional collector area of 40 square feet.

EXCEPTION 3 to Section 110.10(b)1B: Buildings with a designated solar zone area that is no less than 50 percent of the potential solar zone area. The potential solar zone area is the total area of any low-sloped roofs where the annual solar access is 70 percent or greater and any steep-sloped roofs oriented between 90 degrees and 300 degrees of true north where the annual solar access is 70 percent or greater. Solar access is the ratio of solar insolation including shade to the solar insolation without shade. Shading from obstructions located on the roof or any other part of the building shall not be included in the determination of annual solar access.

EXCEPTION 4 to Section 110.10(b)1B: Low-rise and high-rise multifamily buildings with all thermostats in each dwelling unit are demand response controls that comply with Section 110.12(a), and are capable of receiving and responding to Demand Response Signals prior to granting of an occupancy permit by the enforcing agency. In addition, either A or B below:

A. In each dwelling unit, comply with one of the following measures:

a. Install a dishwasher that meets or exceeds the ENERGY STAR Program requirements with either a refrigerator that meets or exceeds the ENERGY STAR Program requirements or a whole house fan driven by an electronically commutated motor; or

b. Install a home automation system that complies with Section 110.12(a) and is capable of, at a minimum, controlling the appliances and lighting of the dwelling and responding to demand response signals; or

c. Install alternative plumbing piping to permit the discharge from the clothes washer and all showers and bathtubs to be used for an irrigation system in compliance with the California Plumbing Code and any applicable local ordinances; or

(G) Use of rodenticides shall not be allowed.

(H) A project may receive a waiver from one (1) or more of the items listed in subsections (6)(A) to (F) of this section, subject to the submittal of a site specific evaluation from a qualified biologist and review and approval by the planning commission. (Ord. 1050 § 10, 2018; Ord. 1026 § 3 (part), 2016).

Project shall comply with all items noted above per plans and elevations.

d. Install a rainwater catchment system designed to comply with the California Plumbing Code and any applicable local ordinances, and that uses rainwater flowing from at least 65 percent of the available roof area.

B. Meet the Title 24, Part 11, Section A4.106.8.2 requirements for electric vehicle charging spaces.

c) Interconnection Pathways.

1. The construction documents shall indicate a location reserved for inverters and metering equipment and a pathway reserved for routing of conduit from the solar zone to the point of interconnection with the electrical service.

2. For single family residences and central water-heating systems, the construction documents shall indicate a pathway for routing of plumbing from the solar zone to the water-heating system.

(b) Documentation. A copy of the construction documents or a comparable document indicating the information from Sections 110.10(b) through 110.10(c) shall be provided to the occupant.



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3705 HAVEN AVE
MENLO PARK, CA



3705 HAVEN AVE
MENLO PARK, CA

PROJECT NO. 21-07
PARCEL NO. 055170240

REV | DATE | DESCRIPTION

REV	DATE	DESCRIPTION
	04-14-2023	PLANNING & SB330 REV 2
	09-22-2023	PLANNING & SB330 REV 3
	03-20-2024	PLANNING & SB330 REV 4
	06-13-2024	PLANNING & SB330 REV 5
	07-26-2024	PLANNING & SB330 REV 6

CONTACT: TOBY LEVY

(415) 777-0561 P
(415) 777-5117 F

SCALE:
AS NOTED

GREEN BUILDING
DOCUMENTS

G0.01D

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1. VIEW FROM HAVEN AVENUE (SOUTH)



2. VIEW FROM HAVEN AVENUE (SOUTH)



3. VIEW FROM HAVEN AVENUE (SOUTH), SW CORNER OF SITE



4. VIEW FROM HAVEN AVENUE (EAST)



5. VIEW FROM HAVEN AVENUE (EAST)



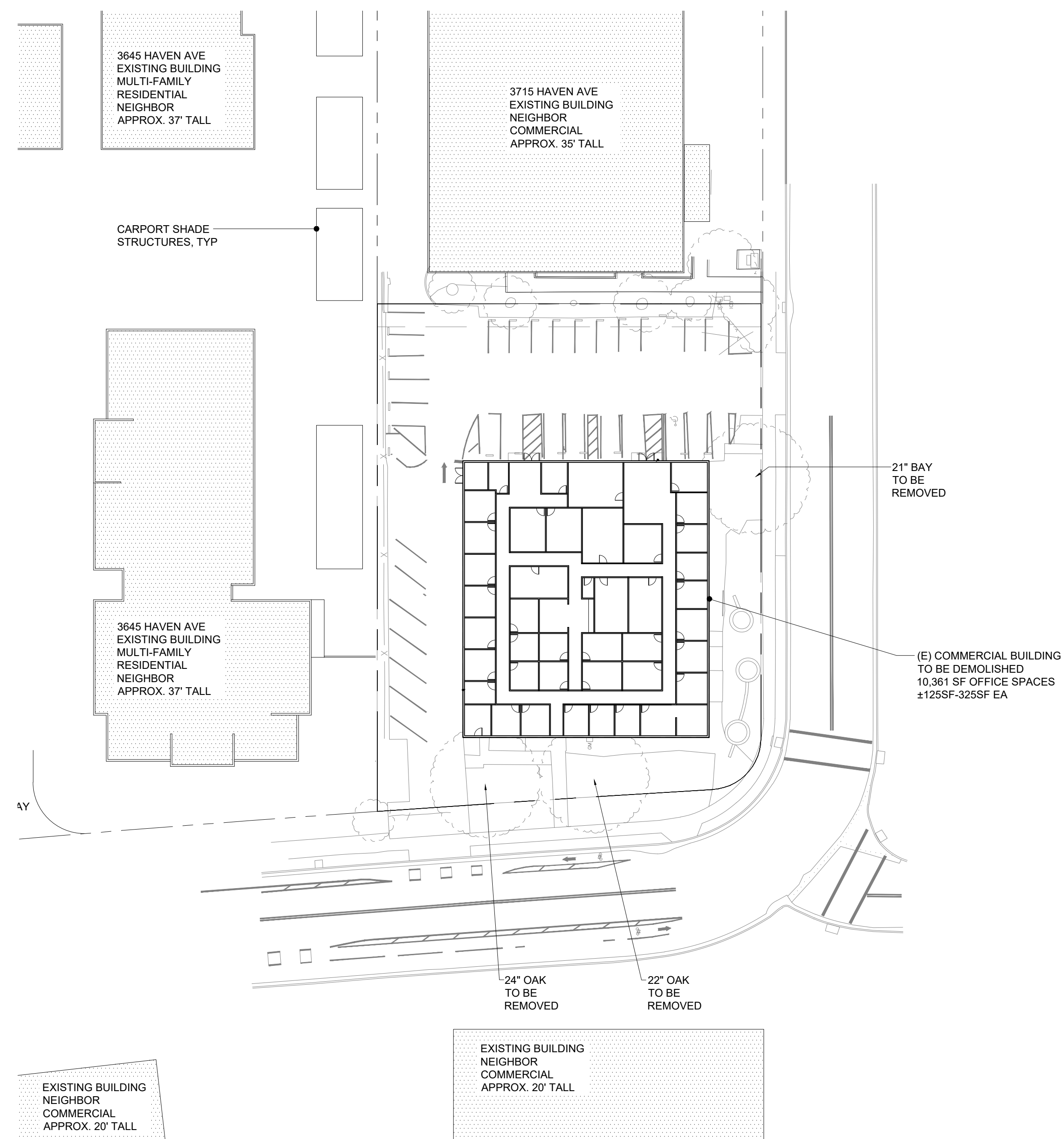
6. VIEW FROM HAVEN AVENUE (EAST), SE CORNER OF SITE



7. VIEW FROM NORTH PROPERTY LINE LOOKING SOUTH INTO SITE



8. VIEW FROM NW PORTION LOOKING SW



2 EXISTING PLAN
1/32" = 1'-0"

1 EXISTING SITE CONDITIONS
N.T.S.

**3705 HAVEN AVE
MENLO PARK, CA**



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PROJECT NO. 21-07
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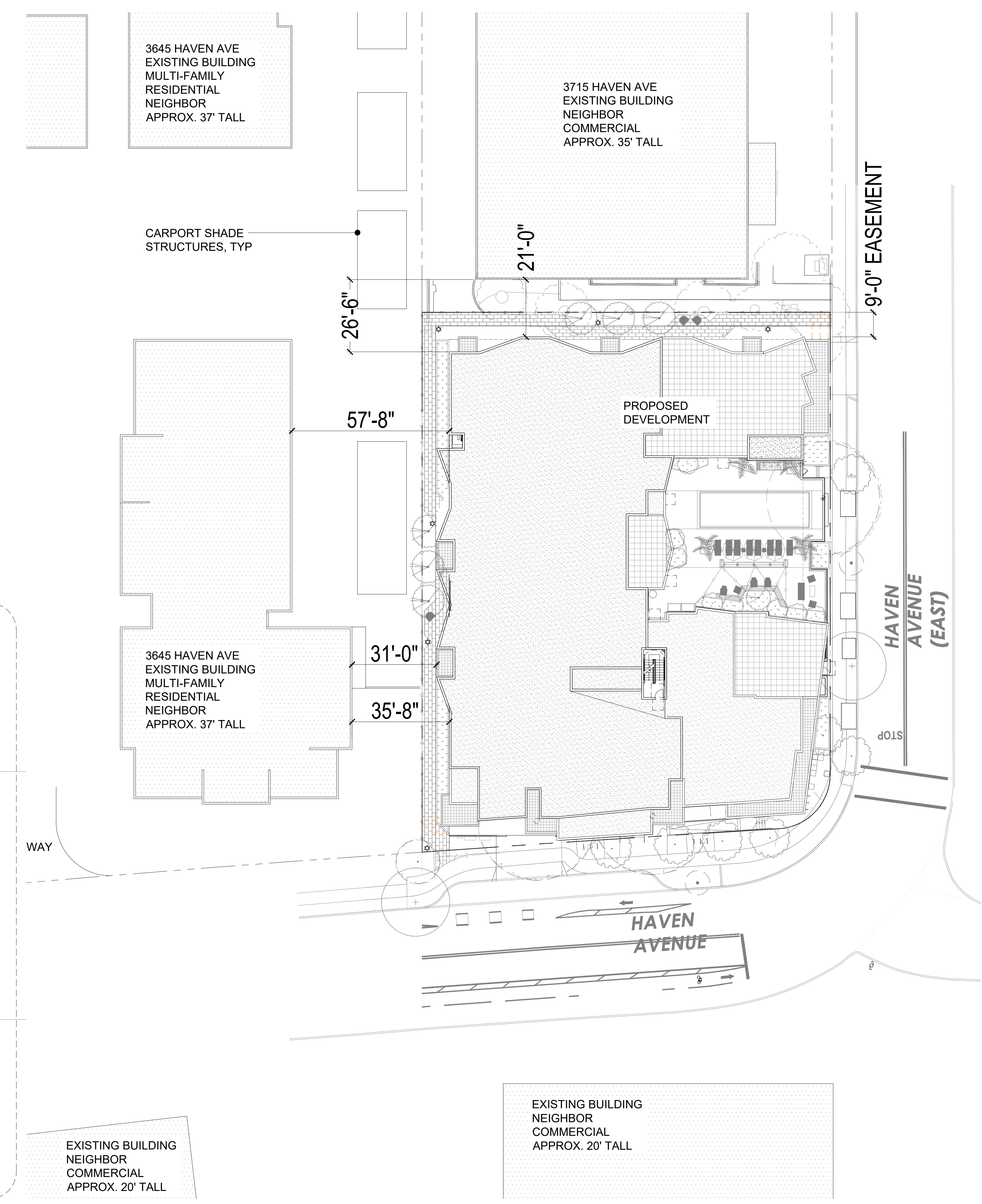
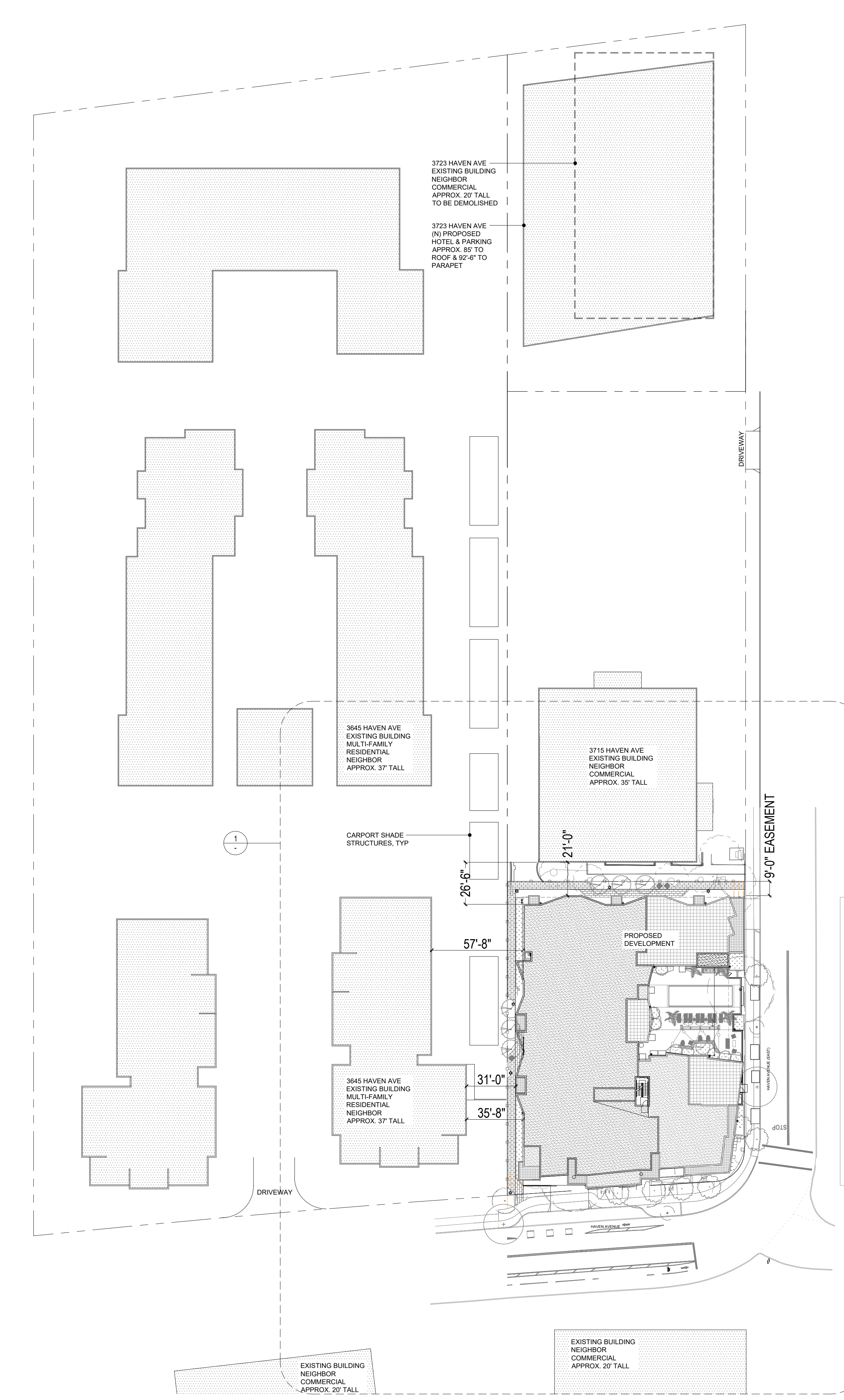
CONTACT: TOBY LEVY

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(415) 777-5117 F

SCALE:
AS NOTED

EXISTING
SITE CONDITIONS

G0.02A



2 AREA PLAN
1" = 40'-0"

1 AREA PLAN
1" = 20'-0"

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3705 HAVEN AVE
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PROJECT NO. 21-07
PARCEL NO. 055170240

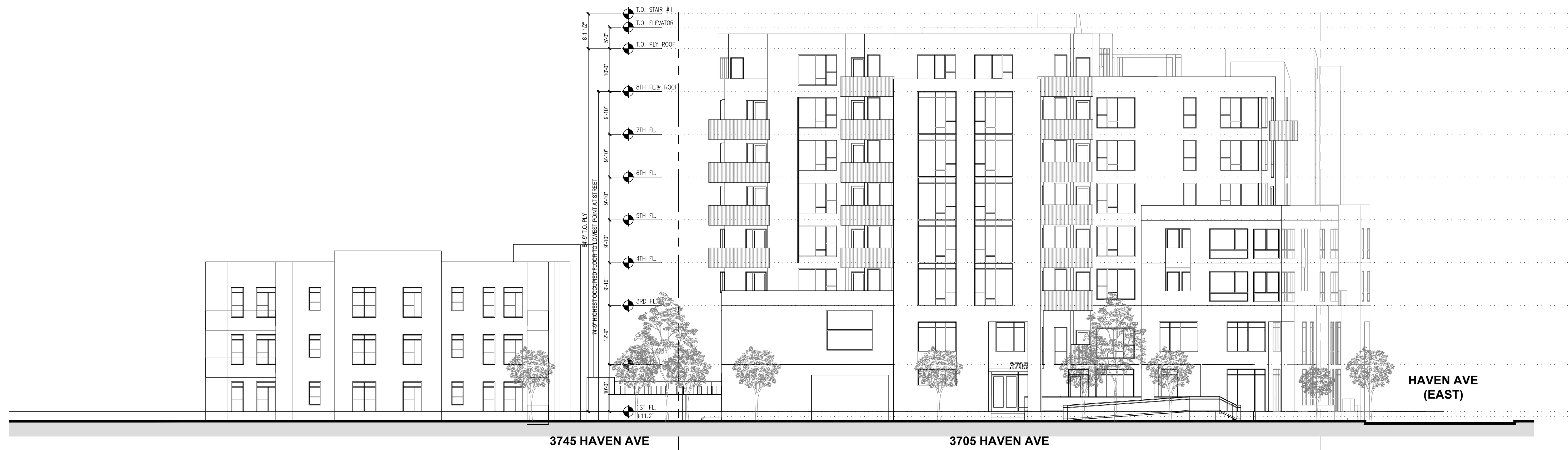
REV	DATE	DESCRIPTION
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	09-22-2023	PLANNING & SB330 REV 3
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	06-13-2024	PLANNING & SB330 REV 5
	07-26-2024	PLANNING & SB330 REV 6

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SCALE:
AS NOTED

AREA PLAN



2 STREETScape ELEVATION - HAVEN AVE - SOUTH ELEVATION
1/16" = 1'-0"



1 STREETScape ELEVATION - HAVEN AVE - EAST ELEVATION
1/16" = 1'-0"

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MENLO PARK, CA**



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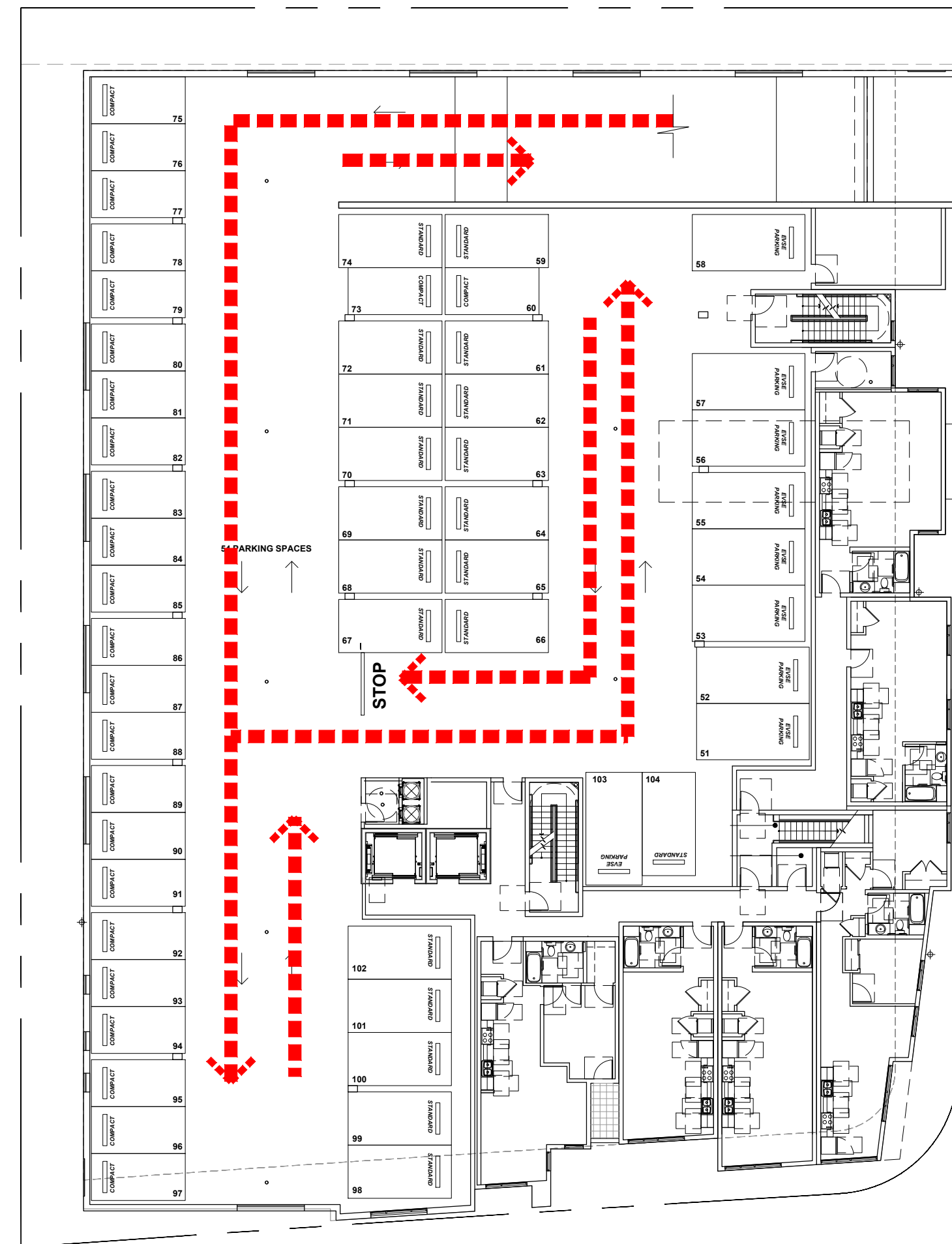
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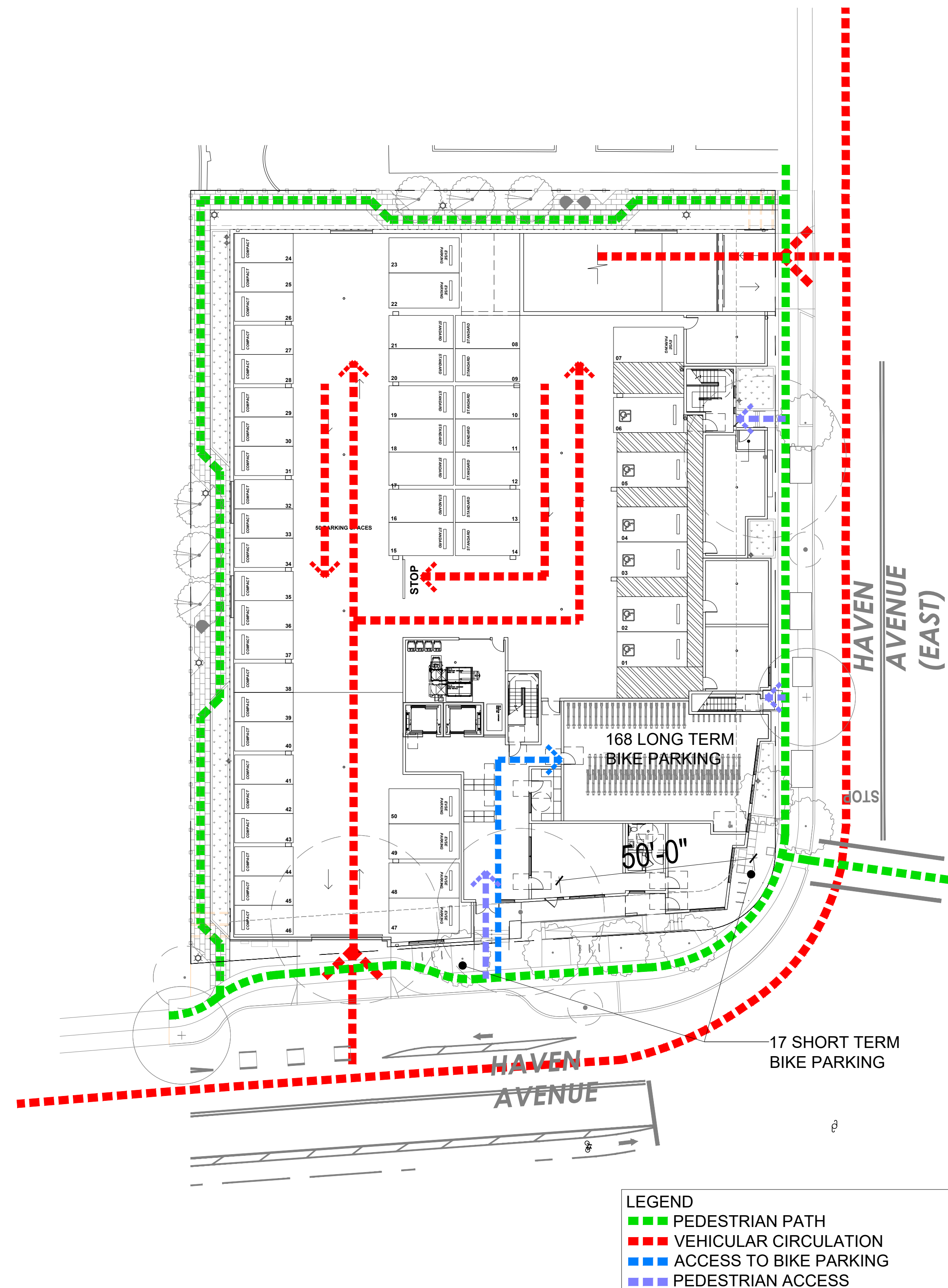
SCALE:
AS NOTED

STREETSCAPE
ELEVATIONS

G0.02C



2 CIRCULATION PLAN : FLOOR 2
1" = 20'-0"



1 CIRCULATION PLAN : FLOOR 1
1" = 20'-0"

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CONTACT: TOBY LEVY

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SCALE:
AS NOTED

**CIRCULATION
PLAN**

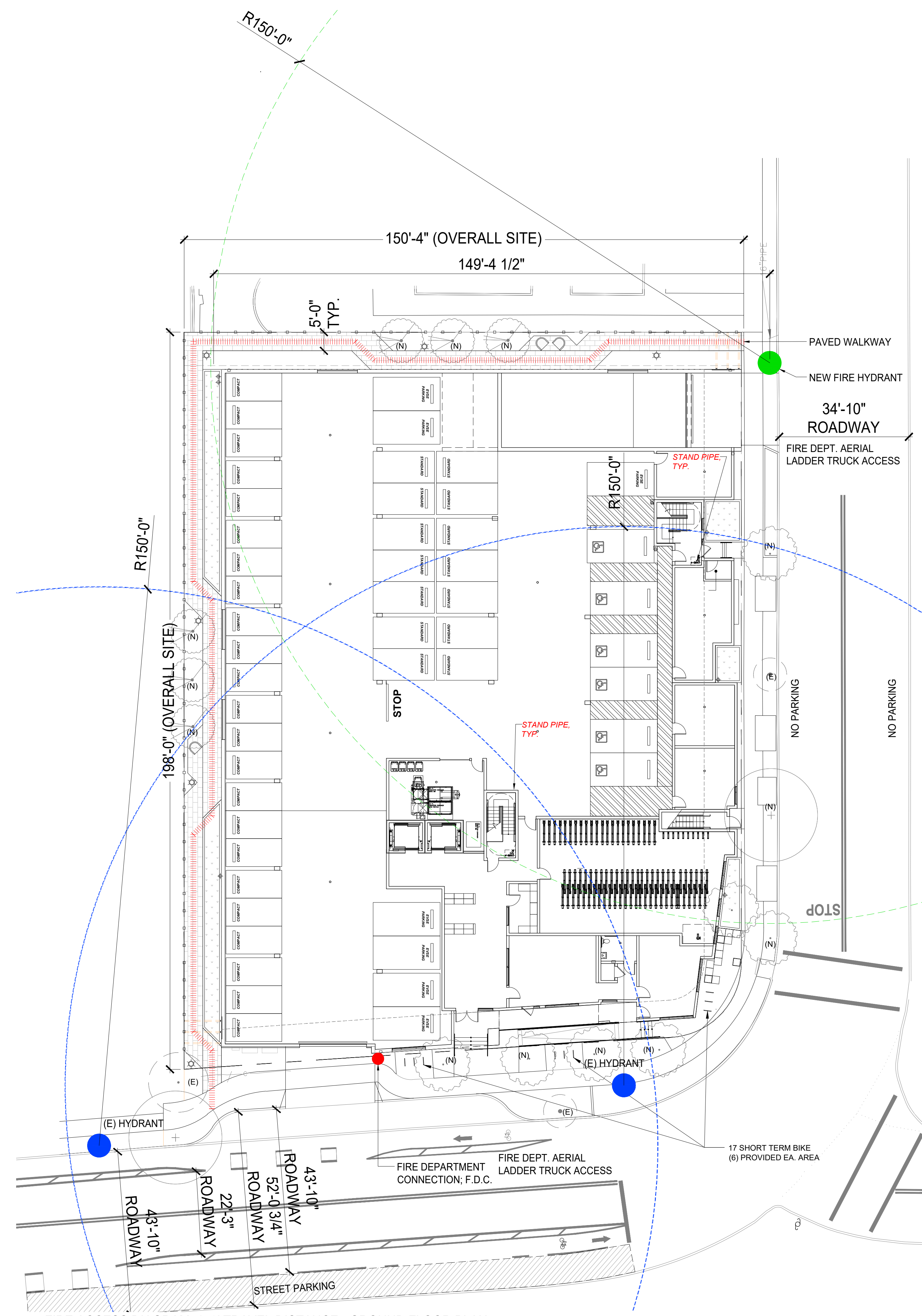
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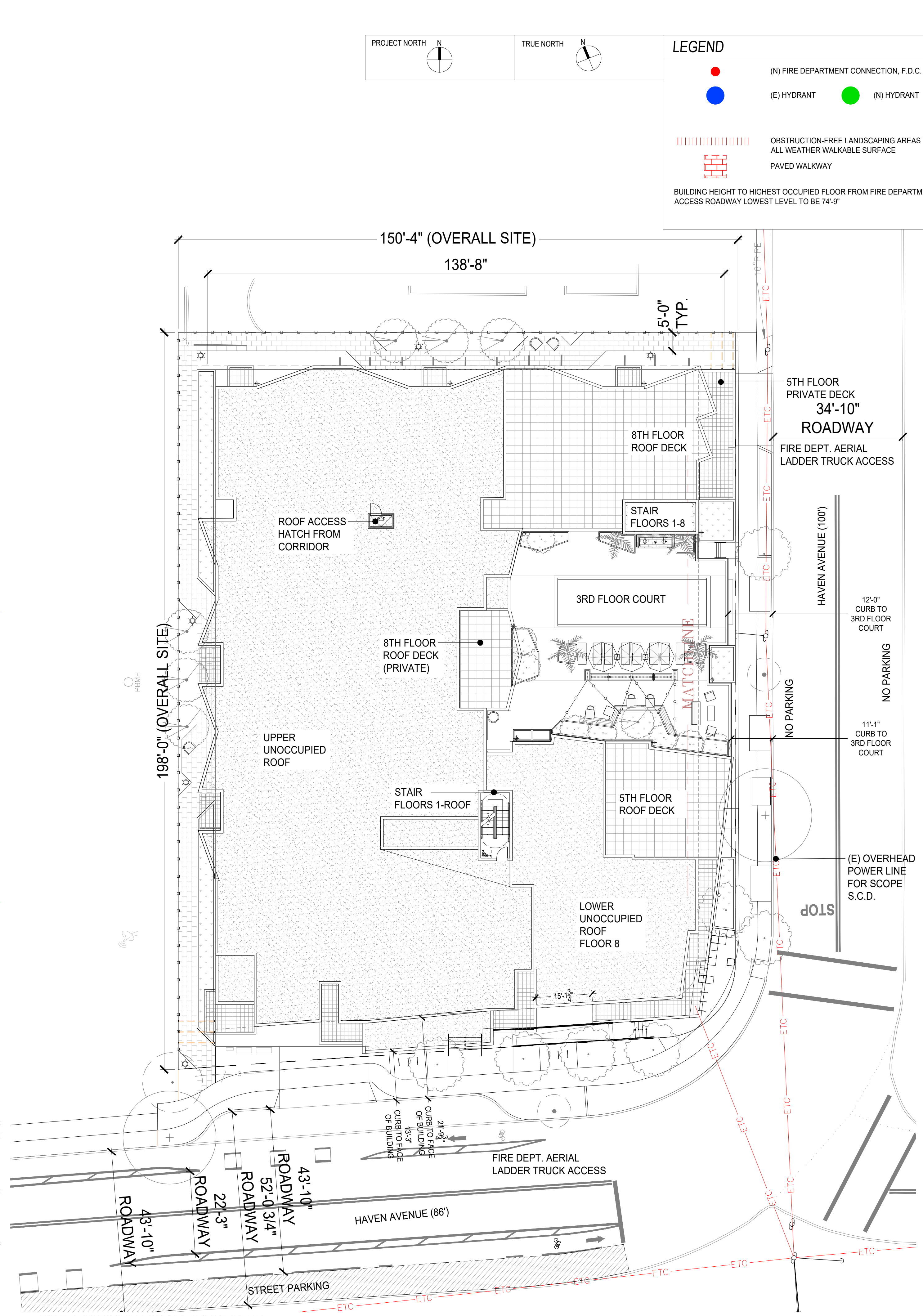
LEGEND

- (N) FIRE DEPARTMENT CONNECTION, F.D.C.
- (E) HYDRANT
- (N) HYDRANT
- OBSTRUCTION-FREE LANDSCAPING AREAS WITH ALL WEATHER WALKABLE SURFACE
- PAVED WALKWAY

BUILDING HEIGHT TO HIGHEST OCCUPIED FLOOR FROM FIRE DEPARTMENT ACCESS ROADWAY LOWEST LEVEL TO BE 74'-9"



1 FIRE ACCESS DIAGRAM: 150' TRAVEL DISTANCE - GROUND FLOOR PLAN
1/16" = 1'-0"



2 FIRE ACCESS DIAGRAM: ROOF PLAN
1/16" = 1'-0"

**3705 HAVEN AVE
MENLO PARK, CA**



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MENLO PARK, CA
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REV	DATE	DESCRIPTION
09-22-2023	PLANNING & SB330	REV 3
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06-13-2024	PLANNING & SB330	REV 5
07-26-2024	PLANNING & SB330	REV 6
08-28-2024	PLANNING & SB330	REV 7

CONTACT: TOBY LEVY

(415) 777-0561 P
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SCALE: AS NOTED

**FIRE
DIAGRAMS**

G0.03A



**Menlo Park Fire Protection District
Fire Prevention Bureau**
170 Middlefield Road
Menlo Park, CA 94025
Website: www.menlofire.org

Date: August 20, 2024

Applicant: March Capital
Phone: (415) 340-0998

Project: New 8 level (112 unit) Apartment Building
Address: 3705 Haven Ave
City: Menlo Park

Accepted_X_W/Conditions

Scope: Planning-Site Review – Multi-Family Residential Building

Reviewed by: William Saxton, Stuart Blakesley Permit#: MPR23-0110R2

Planning application for proposed construction of a new Multi-Family/Commercial building. The project is to comply with the 2022 CA Building / Fire Codes and local amendments. The following planning review comments are applicable to this submittal:

**Section 3303
Owners responsibility for fire protection**

3303.1 CFC: program development and maintenance. The owner or owner's authorized agent shall be responsible for the development implementation and maintenance of an approved, written site safety plan establishing a fire prevention program at the project site applicable at all phases of construction, repair, demolition, or alteration work. The plan shall address the requirements of this chapter and other applicable portions of this code, the duties of staff and staff training requirements. The plan shall be submitted and approved prior to Building Permit Issued. Any changes to the plan shall be submitted for approval.

3305.5 CFC: Fire safety requirements for buildings of Types IV-A IV-B and IV-C construction. Shall be met.

Access:

***All rights and remedies conveyed to Grantee under this Emergency Vehicle Access Agreement extend to and are enforceable by the Menlo Park Fire District as a Third-Party Beneficiary. These rights are in addition to, and do not limit, the Grantee's rights of enforcement**

Fire Apparatus Access is to be provided along Haven Ave and Haven Ave (East) these to meet public access for covered and open parking. Aerial Ladder Access to be established along Haven Ave and Haven Ave (East) fronting subject project where overhead electrical wiring shall not be located, the aerial ladder placement shall meet the prescriptive distance requirements outlined in CFC 2022, Appendix D105. The following are general access requirements that apply to subject project:

- Overhead Electrical Obstruction – Overhead Electrical Utility power lines shall not be located over the aerial fire apparatus access road or between the aerial fire apparatus road and the building.

Page 1 of 5

- For low-rise building, if the city main cannot provide the required flow at 20 psi, a primary water supply tank and fire pump must be provided. The capacity of the tank shall meet the above requirements and the requirements of NFPA 13 and 14.

- An approved (manual and automatic) fire alarm system is required. A minimum of two sets of plans, specifications and other information pertinent to the system must be submitted to the Menlo Park Fire Protection District for review and approval prior to installation. A separate plan review fee will be collected upon review of these plans:
 - Fire alarm systems shall be U.L. Certificated, Certificate of Completion and other documentation listed in the National Fire Alarm Code shall be provided for all new fire alarm system installations.

- Fire Control Room.** An approved fire control room shall be provided for all buildings protected by an automatic fire extinguishing system. Fire control rooms shall meet the following requirements:
 - Fire control rooms shall contain only fire system control valves, fire alarm control panels and other related fire system equipment.
 - The location of the fire control room shall be approved by the fire code official.
 - Fire control rooms shall have minimum dimensions of five feet by seven feet.
 - Fire control rooms shall be constructed with a one-hour fire rating.
 - Fire control rooms shall be provided with an exterior access door approved by the fire code official.
 - Durable signage shall be provided on the exterior side of the access door.
 - Storage of materials in fire control rooms is prohibited.

- Approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Said numbers shall contrast with their background. Individual suite numbers shall be permanently posted on the main entrance doors of tenant spaces. If rear outside doors to tenant spaces are installed, they shall include the installation of numerical address numbers corresponding to front addressing. Numbers on new occupancies shall comply with the following:
 - Structures over 50 feet (15240 mm) high shall have addresses with a min. 2.5-inch (63.5 mm) stroke wide by min. 12 inches (304.8 mm) high.

- CFC Section 510, Emergency Responder Radio Coverage.** When required by the fire code official, all new buildings shall have approved radio coverage for emergency responders within the building based upon the existing coverage levels of the public safety communication systems within MPFD at the exterior of the building. This section shall not require improvements of the existing public safety communication systems.

- Exceptions:**
- Where it is determined by the fire code official that the radio coverage system is not needed. MPFD requires a construction permit for the installation or modification to emergency responder radio coverage system as provisioned in CFC Section 105.7.5. A separate plan review fee will be collected upon review of these plans.
- Elevators shall conform to the provisions of listed in Section 607 of the CBC 2022 edition. At least one elevator shall be of a size that will accommodate one gurney (max 24 inches by 84 inches [610 mm by 2134 mm]) and three attendants.
 - Emergency Power Disconnect** - Provide an emergency power disconnect (EPO) at the building main entrance actuated by a "Knox Key Switch", location of the EPO to be positioned adjacent to the required Knox Box. A emergency power disconnect (EPO) shall also be located in the fire control room.
 - A minimum 2A 10BC rated fire extinguisher shall be located at or near exits and shall be placed so that the travel distance to a fire extinguisher shall not to exceed 75 feet. Verify with Fire Inspector at time of rough inspection to assist with placement of extinguisher(s).
 - Exit signs, emergency lighting, address posting, fire lane, marking, fire extinguishers and Knox Box

Page 4 of 5

- Fire apparatus roadways, including public and private streets and in some cases, driveways used for vehicle access, shall be capable of supporting the imposed weight of a 75,000-pound (34,050 kg) fire apparatus and shall be provided with an all-weather driving surface. Only paved or concrete surfaces are considered to be all weather driving surfaces. CFC 2022, Appendix D.
- NOTE ON FIELD PLAN: Fire apparatus roadways, including public or private streets or roads used for vehicle access shall be installed and in service prior to construction. Fire protection water serving all hydrants shall be provided as soon as combustible material arrives on the site:
 - PRIOR TO COMBUSTIBLE MATERIAL ARRIVING ON THE SITE, CONTACT THE MENLO PARK FIRE PROTECTION DISTRICT TO SCHEDULE AN INSPECTION OF ROADWAYS AND FIRE HYDRANTS. CFC 2022.
- For buildings 30 feet (9144 mm) and over in height (plan illustrates building height at 74'9" above fire apparatus access the required fire apparatus access roadway shall be a minimum of 26 feet (7925 mm) in width, and shall be positioned parallel to at least one entire side of the building, and the fire lane shall be located within a minimum of 15-feet (4572 mm) and a maximum of 30-feet (9144 mm) from the building. CFC 2022, Appendix D105:
 - Provided plans do not provide set back distances from building, or the required 70 degree climbing angle, this detail can be provided as part of a subsequent review but must be reviewed and approved by MPFD prior to issuance of building permit or grading permit.
 - Fire District staging areas to be located along Haven Ave and Haven Ave East for Aerial Ladder Truck Minimum and Maximum climbing angles. Note Aerial Ladder requires minimum 4' setback on any side to allow for outriggers.
- Traffic Opticom Signal Preemption System required for all traffic intersections controlled with a traffic signal. An encroachment permit shall accompany these installations.

Water Supply:

- MPFD Guideline for Water Supply & Hydrants Access Point requires "An approved access is required for all new buildings and shall reach to a point (Access Point) within 150-feet of all exterior areas of each building. See also the 2022 edition California Fire Code, Appendix C Occupancy Type. The purpose for which a building or part thereof is used or intended to be used":**
 - MPFD 8-20-24: MPFD does not accept exterior standpipe outlets proposed for this building North side as a mitigating measures as illustrated on Sheet G0.03A and Civil Sheet C4, the proposed exterior standpipe outlets shall be removed.
 - MPFD 8-20-24: The applicant has noted "will coordinate with MPFD prior to building permit submission & provide revisions as required. Revised note to include this will be confirmed w/ MPFD prior to building permit". MPFD advises to proceed at own risk but shall be required to meet with MPFD to agree on mitigating measures for access point deficiency.
- Applicant to provide fire flow information this document shall be submitted to Menlo Park Fire Protection District for review and approval prior to issuance of grading and building permits. CFC 2022, Sec. 507.5.1 Appendix B Section 105.2 & Table 105.1:
 - The established fire flow for this project is as follows:
 - Type IA Construction, levels 1-3, 3 level enclosed parking at 68,369 sq ft
Type IA Construction, 4,000 gpm @ 4 hours based on 144,601 sq ft
4,000 gpm @ 47.2% = 1,888 gpm @ 2 hours
 - Type IIIA Construction, levels 4-8, 5 level apartment at 76,232 sq ft
Type IIIA Construction, 5,500 gpm @ 4 hours based on 144,601 sq ft
5,500 gpm @ 52.7% = 2,898.5 gpm @ 3 hours
 - Total Fire Flow: 1,888 gpm + 2,898.5 = 4,786.5 gpm @ 4 hour flow duration.
MPFD permits a 50% reduction = **2,393.25 gpm @ 2 hours flow duration.**

Page 2 of 5

- location to be field verified by Fire Inspector.
- Means of egress components to include exit pathway throughout use, exit stairwells, exit enclosure providing access to exit doors, door hardware, exit signs, exit illumination and emergency lighting shall comply to CFC/CBC Chapter Ten.
 - Signage** - The exterior door providing direct access to stairwell #1 where the fire sprinkler riser assembly serving each floor level is to be located. Required on the door's exterior will be signage stating "Riser Assembly", additionally since stairwell #1 provides access to the roof's penthouse signage stating "Roof Access" shall be required. Fire Control Room" signage required on door's exterior's door providing access to fire control room.
 - Approved plans and approval letter must be on site at the time of inspection.
 - Final acceptance of this project is subject to field inspection.

Deferred Submittal's shall include the following: (Note on Plans)

- Fire Suppression System, NFPA 13 (2022 edition).
 - Class I Standpipe System, NFPA 14 (2019 edition).
 - Fire Pump, NFPA 20 (2019 edition), (if applicable)
 - Water Tank(s), NFPA 22 (2018 edition), (if applicable)
 - Private Underground Fire Service Main, NFPA 24 (2019 edition).
 - Fire Alarm System, NFPA 72 (2022 edition).
 - Generator - Stationary, CFC Section 1203 (2022 edition).
 - PV Systems, CFC Section 1204 (2022 edition).
 - Emergency Responder Radio Coverage, CFC Section 510 (2022 edition).
- Note - Design and installation of these systems shall meet MPFD Standards and Guidelines.**

Nothing in this review is intended to authorize or approve any aspects of the design or installation which do not strictly comply with all applicable codes and standards. Menlo Park Fire Protection District is not responsible for inadvertent errors or omissions pertaining to his review and/or subsequent field inspection(s) i.e., additional comments may be added during subsequent drawing review or field inspection. Please call with any questions.

Page 5 of 5

- Provide the Fire Flow report from the water purveyor for any subsequent resubmittals. Please cut & paste this current report to a plan sheet.
 - Include pipe size for all new and existing water mains located on Haven Ave & Haven Ave (East) on subsequent submittals.
- The existing public hydrants illustrated on C-4.0 meet MPFD and CFC for location and spacing, all new and existing public fire hydrants to comply to the following:
 - All fire hydrants shall be wet barrel standard steamer type with 2-4 1/2" (114.3 mm) and 2-2 1/2" (63.5 mm) outlets. CFC 2022, Sec. 507.5.1 Appendix C and Menlo Park Fire Protection District Standards
 - Install a new public hydrant at the North driveway located on Haven Ave (East) at or near the property line and as so referenced on Sheet G0.03A, new public hydrant shall also be illustrated on Civil Utility Sheet C-4.0.
 - Fire hydrants and fire appliances (fire department connections and post indicator valves) shall be clearly accessible and free from obstruction.

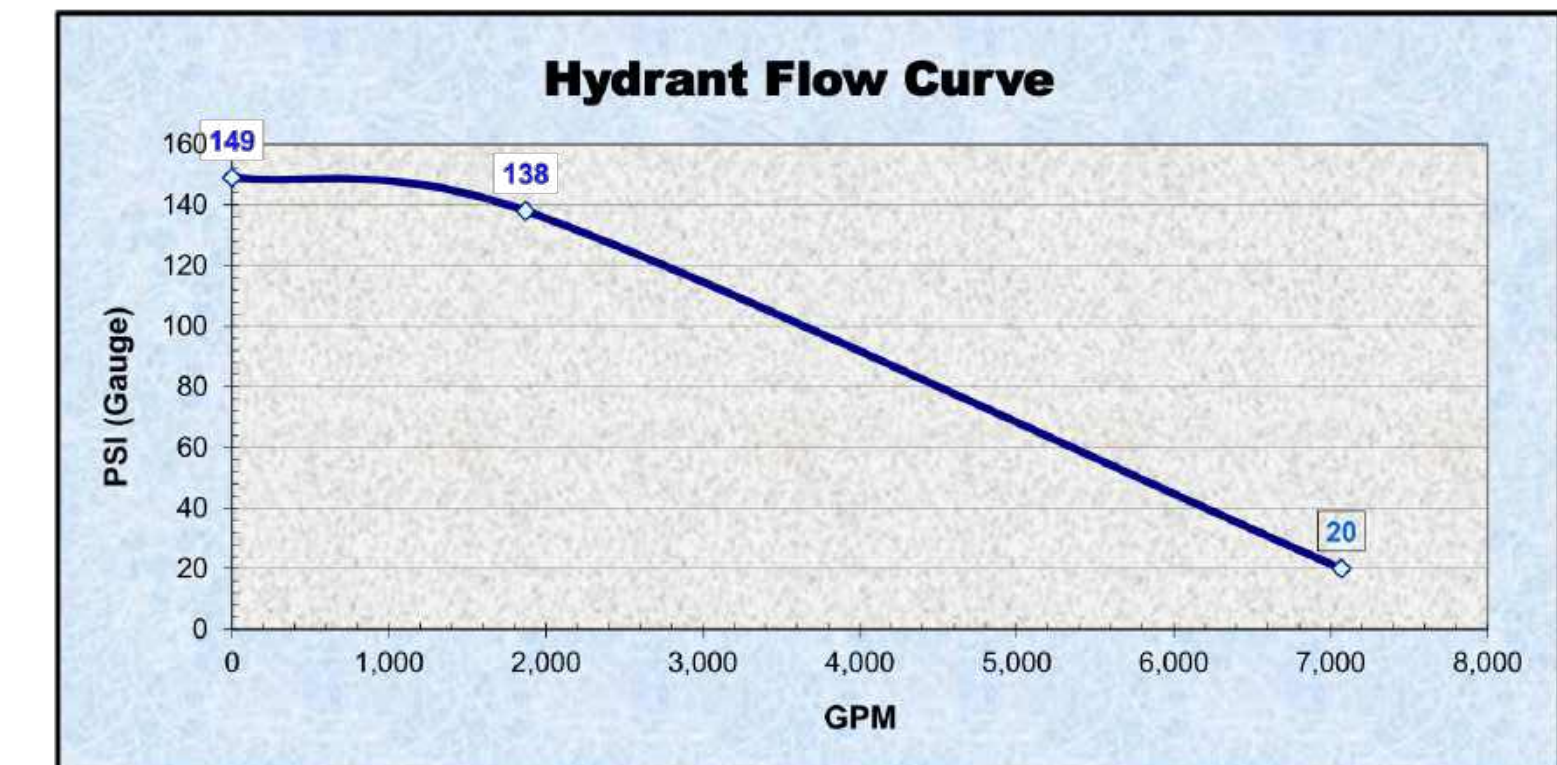
Commercial Building:

- An approved Combination Fire Sprinkler/ Class I Standpipe System shall be installed throughout each structure. Systems in new office buildings shall include a safety factor in the piping system, and plugged branch line piping allowing for future modifications. In new office buildings shell the sprinkler system shall be designed to .18 gpm/ 3,000 square foot of coverage area. In new garage area the automatic fire sprinkler system shall be designed to .20 gpm/ 2,000 square feet of coverage area. In multi-family buildings the sprinkler system shall be designed to .15gpm/1500 square feet of coverage area. Fire sprinkler system to comply with NFPA 13 2022 edition and Menlo Park Fire Protection District Standards. A separate plan review fee will be collected upon review of these plans:
 - Each floor level shall have a dedicated sprinkler riser assembly installed enabling fire department personnel direct access. The buildings 1st, 2nd, 3rd, 4th, 5th, 6th, 7th, & 8th floors sprinkler riser assembly to be located in stairwell #1. A 2-1/2" Standpipe Outlet required in each stairwell.
 - The Standpipe Outlet shall be located on main floor landing and shall reach all portions of the floor served at a 150-foot distance from the Outlet.
 - Roof access shall have two standpipe outlets, and most remote standpipe shall be calculated at 500gpm, and additional 250gpm added to outlet below totaling 750gpm. Include in fire flow calculation.
- To establish requirements for sprinkler protection of vehicle car stackers not specifically addressed in NFPA 13. The following shall apply; (if applicable)
 - Parking garage areas containing car stackers shall be protected by an automatic wet-pipe sprinkler system designed to Extra Hazard Group 1. In addition, non-extended coverage standard sidewall sprinklers listed for Ordinary Hazard shall be provided under each parking level, including the bottom level if the stacker is provided with a pit. Each sidewall sprinkler shall cover an area of 80 sq. ft or less.
 - The area of application may be reduced from the required 2500 sq. ft. to as low as 1500 sq. ft. if:
 - 1-hour fire rated walls are provided to separate the car stacker areas from the standard parking stalls,
 - The car stacker areas are divided up into 1500 sq. ft. areas via 1-hour fire rated walls, and
 - One-hour fire rated walls are provided to separate the car stacker areas from any other areas in the garage.
 - One-hour fire rated walls are not required in the driveway areas. For the hydraulic calculation, flow from all sprinklers, upright or pendant sprinklers at ceiling and all sidewall sprinklers at all levels, located in the area of application shall be included in the calculation.

Page 3 of 5

Fire Flow Test Report

City of Menlo Park - Fire Flow Test Data			
Test Crew Names	SM / DK	Test Date	05/10/22
Address	3705 Haven Ave.	Zone	HPZ
Residual Hydrant Location	3645 Haven Ave.	Hydrant No.	E5-FHH-227 Static: 149 PSI Residual: 138 PSI
Flow Hydrant #1 Location	3705 Haven Ave.	Hydrant No.	E5-FHH-229 Pitot: 130 PSI coefficient: 0.9 Flow: 1,871 GPM
Flow Hydrant #2 Location		Hydrant No.	Pitot: PSI coefficient: PSI Flow: GPM
Flow Hydrant #3 Location		Hydrant No.	Pitot: PSI coefficient: PSI Flow: GPM
Fire Flow Test Calculator		Total Flow	1,871 GPM
		Calculated Flow @ 20 PSI	7,069 GPM



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MENLO PARK, CA



3705 HAVEN AVE
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PROJECT NO. 21-07
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REV | DATE | DESCRIPTION

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01-16-2025	PLANNING & SB330 REV 7

CONTACT: TOBY LEVY

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(415) 777-5117 F

SCALE:
AS NOTED

FIRE
CONDITIONS
OF APPROVAL

G0.03B

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**3705 HAVEN AVE
MENLO PARK, CA**



3705 HAVEN AVE
MENLO PARK, CA
PROJECT NO. 21-07
PARCEL NO. 055170240

REV	DATE	DESCRIPTION
	09-22-2023	PLANNING & SB330 REV 3
	03-20-2024	PLANNING & SB330 REV 4
	06-13-2024	PLANNING & SB330 REV 5
	07-26-2024	PLANNING & SB330 REV 6
	08-28-2024	PLANNING & SB330 REV 7

CONTACT: TOBY LEVY

(415) 777-0561 P
(415) 777-5117 F

SCALE:
AS NOTED

**BUILDING AREA
CALCULATIONS**

G0.05A

3705 Haven Avenue, Menlo Park
Building Area Calculations
2019 CBC 506.2.3 Single-Occupancy, Multistory
Buildings

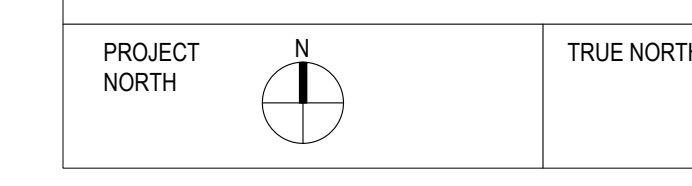
3705 Haven Ave (Type I-A) BLDG 01	
Allowed Area per 2019 CBC	
Unlimited area per floor (CBC T506.2)	
Proposed Area	GSF
1st Floor	24,619 SF
2nd Floor	23,835 SF
3rd Floor	21,122 SF
Total Bldg. Area	69,576 SF

3705 Haven Ave (Type IIIA) BLDG 02	
Allowed Area per 2019 CBC	
Frontage Increase	
Width (W)	30
Perimeter (P)	0
Street Frontage/Open Space (F)	0
If = [F/P - 0.25]W/30	0.000
Building Area Modification	
Area (At), SM w/o height (T506.2)	24,000 SF
NS (T506.2)	24,000 SF
Sprinkler Increase (Sa)	2
Aa=[At+(NSxIf)] x Sa	48,000 SF
Aa with Sa =1 per 506.2.3; No indiv. Story shall exceed this value	
	24,000 SF
Proposed Area	GSF
1st Floor	SEE BLDG 01
2nd Floor	SEE BLDG 01
3rd Floor	SEE BLDG 01
4th Floor	10,509 SF
5th Floor	10,264 SF
6th Floor	10,219 SF
7th Floor	10,119 SF
8th Floor	7,374 SF
Total Bldg. Area	48,487 SF
Building Area < Aa	NO

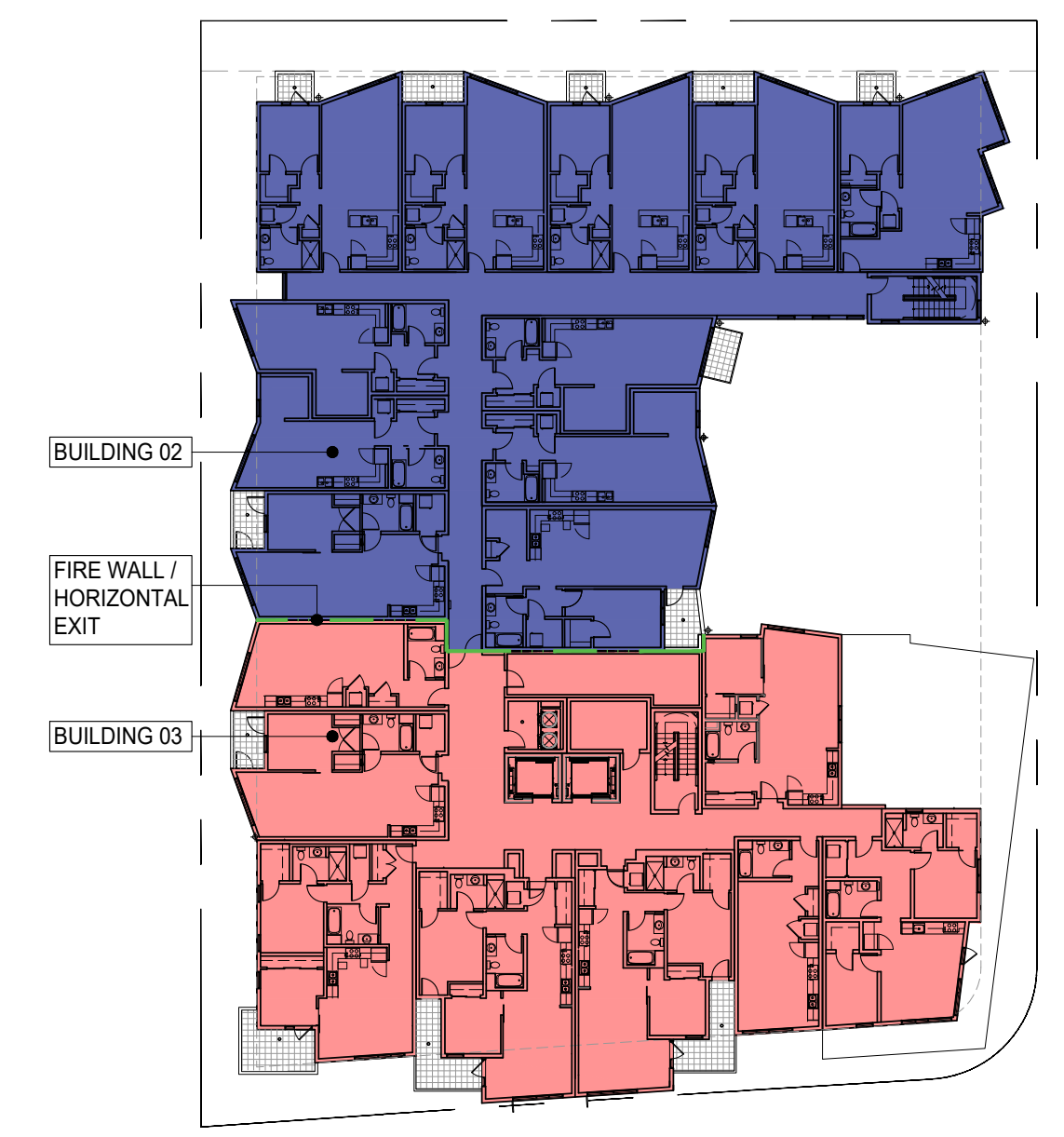
3705 Haven Ave (Type IIIA) BLDG 03	
Allowed Area per 2019 CBC	
Frontage Increase	
Width (W)	30
Perimeter (P)	0
Street Frontage/Open Space (F)	0
If = [F/P - 0.25]W/30	0.000
Building Area Modification	
Area (At), SM w/o height (T506.2)	24,000 SF
NS (T506.2)	24,000 SF
Sprinkler Increase (Sa)	2
Aa=[At+(NSxIf)] x Sa	48,000 SF
Aa with Sa =1 per 506.2.3; No indiv. Story shall exceed this value	
	24,000 SF
Proposed Area	GSF
1st Floor	SEE BLDG 01
2nd Floor	SEE BLDG 01
3rd Floor	SEE BLDG 01
4th Floor	10,517 SF
5th Floor	9,266 SF
6th Floor	9,266 SF
7th Floor	9,124 SF
8th Floor	5,898 SF
Total Bldg. Area	44,071 SF
Building Area < Aa	YES

LEGEND

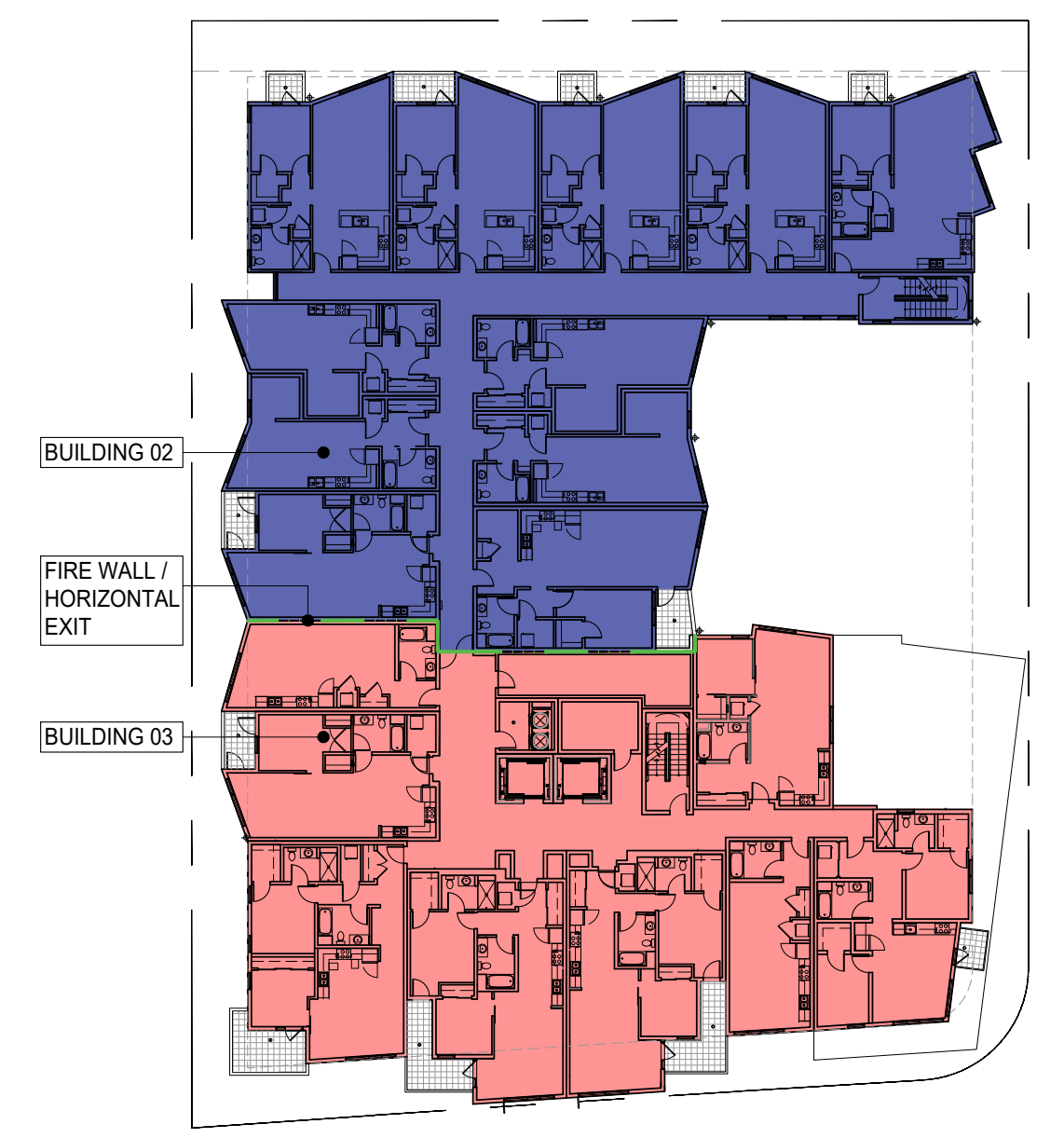
	BUILDING 01 (TYPE I-A)
	BUILDING 02 (TYPE III-A)
	BUILDING 03 (TYPE III-A)



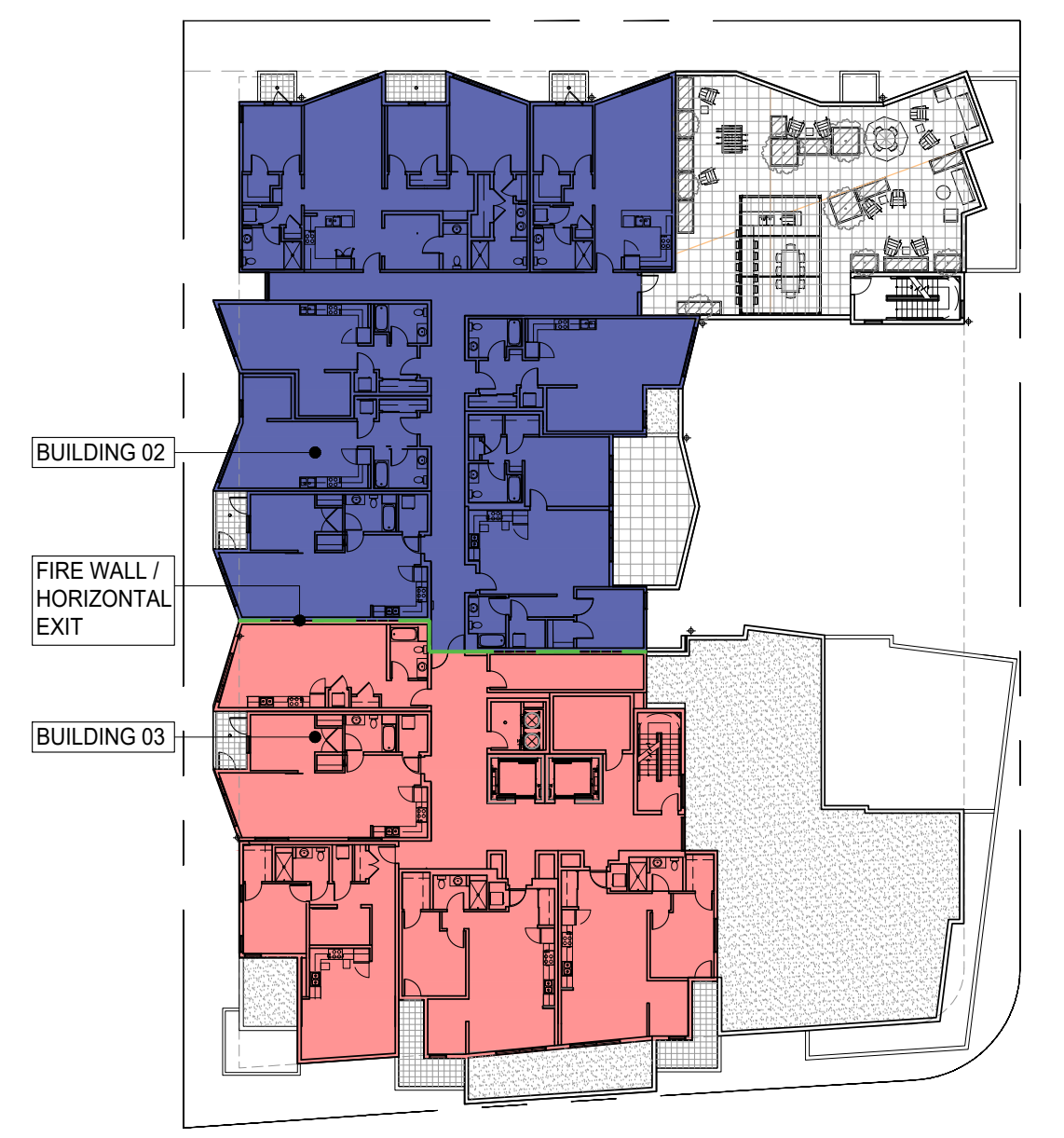
5 BUILDING AREA: FIFTH FLOOR
1/32" = 1'-0"



6 BUILDING AREA: SIXTH FLOOR
1/32" = 1'-0"



7 BUILDING AREA: SEVENTH FLOOR
1/32" = 1'-0"



8 BUILDING AREA: ROOF
1/32" = 1'-0"



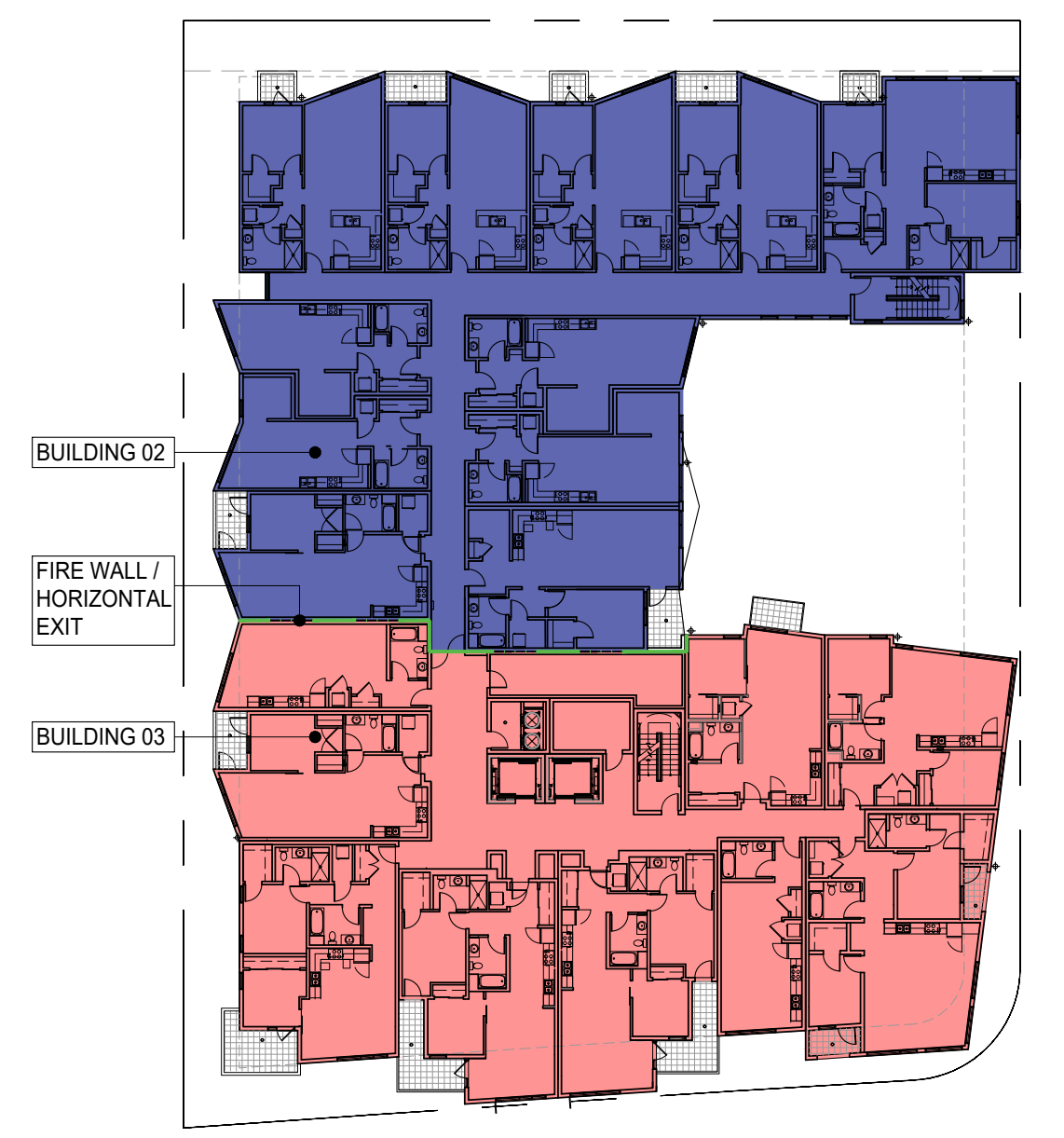
1 BUILDING AREA: GROUND FLOOR
1/32" = 1'-0"



2 BUILDING AREA: SECOND FLOOR
1/32" = 1'-0"



3 BUILDING AREA: THIRD FLOOR
1/32" = 1'-0"

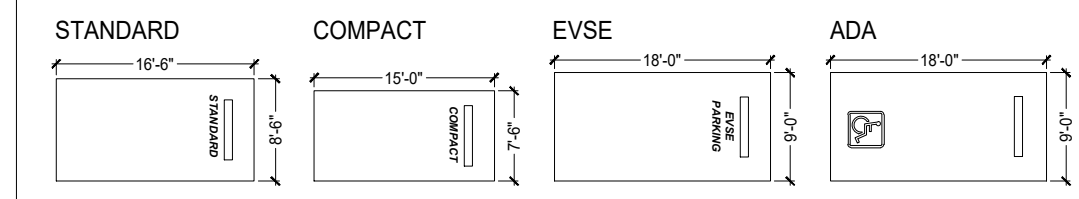


4 BUILDING AREA: FOURTH FLOOR
1/32" = 1'-0"

	REQUIRED	PROPOSED
BICYCLE PARKING	RESIDENTIAL: 168 SPACES (1.5 LONG TERM/ UNIT) 17 SPACES (10% ADDITIONAL SHORT-TERM FOR GUESTS, MUST BE WITHIN 50' OF LOBBY)	168 SPACES LONG TERM SPACES LOCATED AT THE GROUND FLOOR 17 SPACES SHORT-TERM FOR GUESTS LOCATED AT GROUND FLOOR WITHIN 50' OF THE LOBBY
VEHICLE PARKING - RESIDENTIAL UNITS	1 SPACE/UNIT - 1.5 SPACES / UNIT MAX. (112 - 168 MAX.)	104 UNASSIGNED PARKING SPACES (5% ADA REQUIRED)* 6 ACCESSIBLE PARKING SPACES (INCLUDES 1 VAN PARKING SPACE) PARKING OCCURS AT FLOORS 1 & 2, 34 STANDARD SIZE SPACES AND 48 COMPACT SIZE SPACES UNLESS OTHERWISE NOTED.
ELECTRIC VEHICLE PARKING	PER 4.106.4.2.1., 15% SHALL BE EVCS / EVSE EQUIPPED WITH ELECTRIC VEHICLE SUPPLY EQUIPMENT WITH MINIMUM OF LEVEL 2 EV READY. 15% OF 104 = 16 SPACES ELECTRIC VEHICLE SUPPLY EQUIPMENT (WHICH INCLUDES 1 EVSE SPACE WITH 8' AISLE)	16 EVSE (ELECTRIC VEHICLE SUPPLY EQUIPMENT, INCLUDES 1 EVSE SPACE WITH 8' WIDE LOADING AISLE) ALL REMAINING PARKING SPACES SHALL HAVE A LOW POWER LEVEL 2 EV READY SPACE PER 4.106.4.2.1

*See requested density bonus and waivers pursuant to State Density Bonus Law (Gov. Code § 65915)

LEGEND



	REQUIRED	PROPOSED
OPEN SPACE	25% OF SITE: 7,202 SF 25% OPEN SPACE PUBLICLY ACCESSIBLE: 1,801 SF 100 SF / UNIT COMMON OPEN SPACE - OR - 80 SF / UNIT PRIVATE OPEN SPACE PRIVATE OPEN SPACE: MIN. DIMENSION 6' X 6' MIX OF OPEN SPACE: RATIO OF 1.25 SF COMMON OPEN SPACE FOR 1.0 PRIVATE OPEN SPACE COMMON OPEN SPACE: MIN. OF 1 SPACE, 40' MIN. DIMENSION; 1,600 SF TOTAL MIN. (101 OR MORE UNITS)	PROJECT IS COMPLIANT & MEETS 25% OF REQ'D OPEN SPACE FOR RESIDENTIAL. 4,670 SF AT GRADE PUBLICLY ACCESSIBLE OCCURS ALONG NORTH AND WEST SIDES OF BUILDING WITH FEATURE GATEWAYS WITH LIGHTING, WALKWAYS ENHANCED WITH LIGHTING AND SCULPTURAL SEATING. CORNER PLAZA WITH MODULAR STACKED SEATING AND PLANTERS, DECORATIVE BIKE RACKS, AND PAVERS AT CORNER OF HAVEN. COMMON OPEN SPACE INCLUDES 3,200 SF AT COURTYARD, 895 AT 5TH FLOOR ROOF DECK, AND 1,995 AT ROOF DECK. ADDITIONAL PRIVATE DECKS PROVIDED, SEE G0.05B, C & D. PRIVATE DECKS INCLUDE: 36 - NON-COMPLIANT PRIVATE OPEN SPACE 16 - PARTIALLY COMPLIANT PRIVATE OPEN SPACE, MEETS 6'X6' MIN, BUT DOES NOT MEET 80 SF. 20 - COMPLIANT COMMON PRIVATE OPEN SPACE, 6'X6' MIN & 80 SF

Floor	Gross Floor Area Per Menlo Park Code 16.04.325 (outside face of exterior walls, centerline at interior walls)										
	Included in FAR	Not included in FAR									
	BMR Unit Resid. Unit	Common Area / Circulation	Lobby / Amenity	BOH/ Utilities Maint. / IT	Utilities (Excluded)	Trash/ Shafts	Parking (Bicycle)	Parking (Vehicle)	Outdoor Common	Deck - Private	Deck - Private Non-compliant
1	-	621	2,153	295	1,061	487	1,546	17,566	4,670	-	-
2	4,046	1,535	-	121	386	80	-	17,660	-	-	43
3	14,527	3,026	2,457	91	-	109	-	-	3,200	390	452
4	16,766	2,883	-	460	-	109	-	-	-	358	571
5	15,278	2,883	-	460	-	109	-	-	899	886	430
6	15,278	2,883	-	460	-	109	-	-	-	358	484
7	15,278	2,883	-	460	-	109	-	-	-	358	473
8	10,391	2,169	-	377	-	120	-	-	1,995	578	260
Roof	-	-	-	-	-	-	-	-	-	-	-
Total	91,564	18,883	4,610	2,724	1,447	1,232	1,546	35,226	10,764	2,928	2,713

AREA TO BE PUBLICLY ACCESSIBLE (LOCATED AT GRADE) *1% of 225% FAR = 28,808*2.25 = 64,818 * 1% = 648 SF *3% of 225% FAR = 28,808*2.25 = 64,818 * 3% = 1,945 SF

Floor	Unit Type	Unit #	Units/Floor	BOMA Unit Net Sq. Ft.	BOMA Total Net Sq. Ft.	
Floor 2	Studio	A.1	202	1	525	525
	Studio	A.1'	203	1	596	596
	Studio	A.7	205	1	508	508
	Studio	A.8	206	1	582	582
	2 Bed / 1 Ba	A.6	204	1	815	815
	1 Bedroom	B.4	201	1	750	750
Per Floor			6		3,776	

Floor 3	Studio	A.1	315	1	525	525
	Studio	A.1'	309	1	570	570
	Studio	A.2	306	1	581	581
	Studio	A.3	307	1	569	569
	1 Bedroom	B.1	302-5	4	802	3,208
	1 Bedroom	C	308, 310	2	769	1,538
	1 Bedroom	D	314	1	752	752
	2 Bed / 1 Ba	H	316	1	916	916
	2 Bed / 2 Ba	E.1	311	1	1,008	1,008
	2 Bed / 2 Ba	F.1	312	1	957	957

Floor 4	Studio	A.1	418	1	525	525
	Studio	A.1'	412	1	570	570
	Studio	A.2	406	1	581	581
	Studio	A.4	407	1	654	654
	Studio	A.3	408	1	569	569
	Studio	A.5'	409	1	625	625
	1 Bedroom	B.1	402-5	4	802	3,208
	1 Bedroom	C	410,413	2	769	1,538
	1 Bedroom	B.2	411	1	906	906
	1 Bedroom	D	417	1	752	752

Floors 5-7	Studio	A.1	X18	1	525	525
	Studio	A.1'	X12	1	570	570
	Studio	A.2	X06	1	581	581
	Studio	A.3	X07	1	596	596
	Studio	A.4	X08	1	654	654
	Studio	A.5	X09	1	642	642
	1 Bedroom	B.1	X02-5	4	802	3,208
	1 Bedroom	C	X10, 13	2	769	1,538
	1 Bedroom	G	X01	1	843	843
	1 Bedroom	B.3	X11	1	927	927

Floor 8	Studio	A.1'	808	1	570	570
	Studio	A.2	803	1	581	581
	Studio	A.3	805	1	569	569
	Studio	A.4'	804	1	686	686
	1 Bedroom	B.1	801	1	802	802
	1 Bedroom	F.3	811	1	820	820
	1 Bedroom	F.4	812	1	833	833
	1 Bedroom	C	806, 809	2	769	1,538
	1 Bedroom	E.2	810	1	870	870
	2 Bed / 2 Ba	M	807	1	1,104	1,104

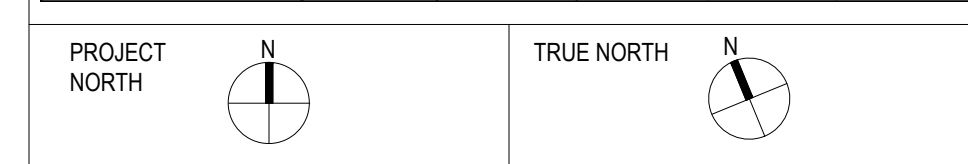
3 Bed / 2.5 Ba	L	802	1	1,583	1,583
Per Floor			12		9,956

Building Summary	# of Units	BOMA Total Net Sq. Ft.
	112	87,954

Floor	GSF (outside face of walls & ext. to ext. walls) (SF)	GFA (excl. non-FAR areas) (SF)
1	23,729	3,069
2	23,828	5,702
3	20,210	20,101
4	20,218	20,109
5	18,730	18,621
6	18,730	18,621
7	18,730	18,621
8	13,057	12,937
Total	157,232	117,781

Site Area	28,808
FAR	409%

Unit	Unit Type	Unit #	SF	FLOOR	BMR Cat.
Studio	A.1	202	525	2	Very Low
Studio	A.1	315	525	3	Very Low
Studio	A.1	418	525	4	Very Low
Studio	A.1	518	525	5	Moderate
Studio	A.1	618	525	6	Moderate
1 Bedroom	B.4	201	750	2	Very Low
1 Bedroom	C	513	769	5	Very Low
1 Bedroom	D	314	752	3	Very Low
1 Bedroom	D	417	752	4	Very Low
1 Bedroom	D	517	752	5	Very Low
1 Bedroom	D	617	752	6	Moderate
2-Bed / 1 Ba	A.6	204	815	2	Very Low
2 Bed / 2 Ba	F.1	312	957	3	Very Low
2 Bed / 2 Ba	F.2	416	1,001	4	Moderate
Total:		14	9,925		



1 BUILDING AREA: GROUND FLOOR
1/16" = 1'-0"



2 BUILDING AREA: SECOND FLOOR
1/16" = 1'-0"

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MENLO PARK, CA



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PROJECT NO. 21-07
PARCEL NO. 055170240

REV | DATE | DESCRIPTION

09-22-2023	PLANNING & SB330 REV 3
03-20-2024	PLANNING & SB330 REV 4
06-13-2024	PLANNING & SB330 REV 5
07-26-2024	PLANNING & SB330 REV 6
01-16-2025	PLANNING & SB330 REV 7

CONTACT: TOBY LEVY

(415) 777-0561 P
(415) 777-5117 F

SCALE: AS NOTED

BUILDING AREA
CALCULATIONS
PLANNING

G0.05C

Floor	BMR Unit Resid. Unit	Common Area / Circulation	Lobby / Amenity	BOH/ Utilities Maint. / IT	Utilities (Excluded)*	Trash/ Shafts	Parking (Bicycle)	Parking (Vehicle)	Outdoor Common	Deck - Private	Deck - Private Non-Compliant
1	-	621	2,153	295	1,061	487	1,546	17,566	4,670	-	-
2	4,046	1,535	-	121	386	80	-	17,660	-	-	43
3	14,527	3,026	2,457	91	-	109	-	-	3,200	390	452
4	16,766	2,883	-	460	-	109	-	-	-	358	571
5	15,278	2,883	-	460	-	109	-	-	899	886	430
6	15,278	2,883	-	460	-	109	-	-	-	358	473
7	15,278	2,883	-	460	-	109	-	-	-	358	260
8	10,391	2,169	-	377	-	120	-	-	1,995	578	-
Roof	-	-	-	-	-	-	-	-	-	-	-
Total	91,564	18,883	4,610	2,724	1,447	1,232	1,546	35,226	10,764	2,928	2,713

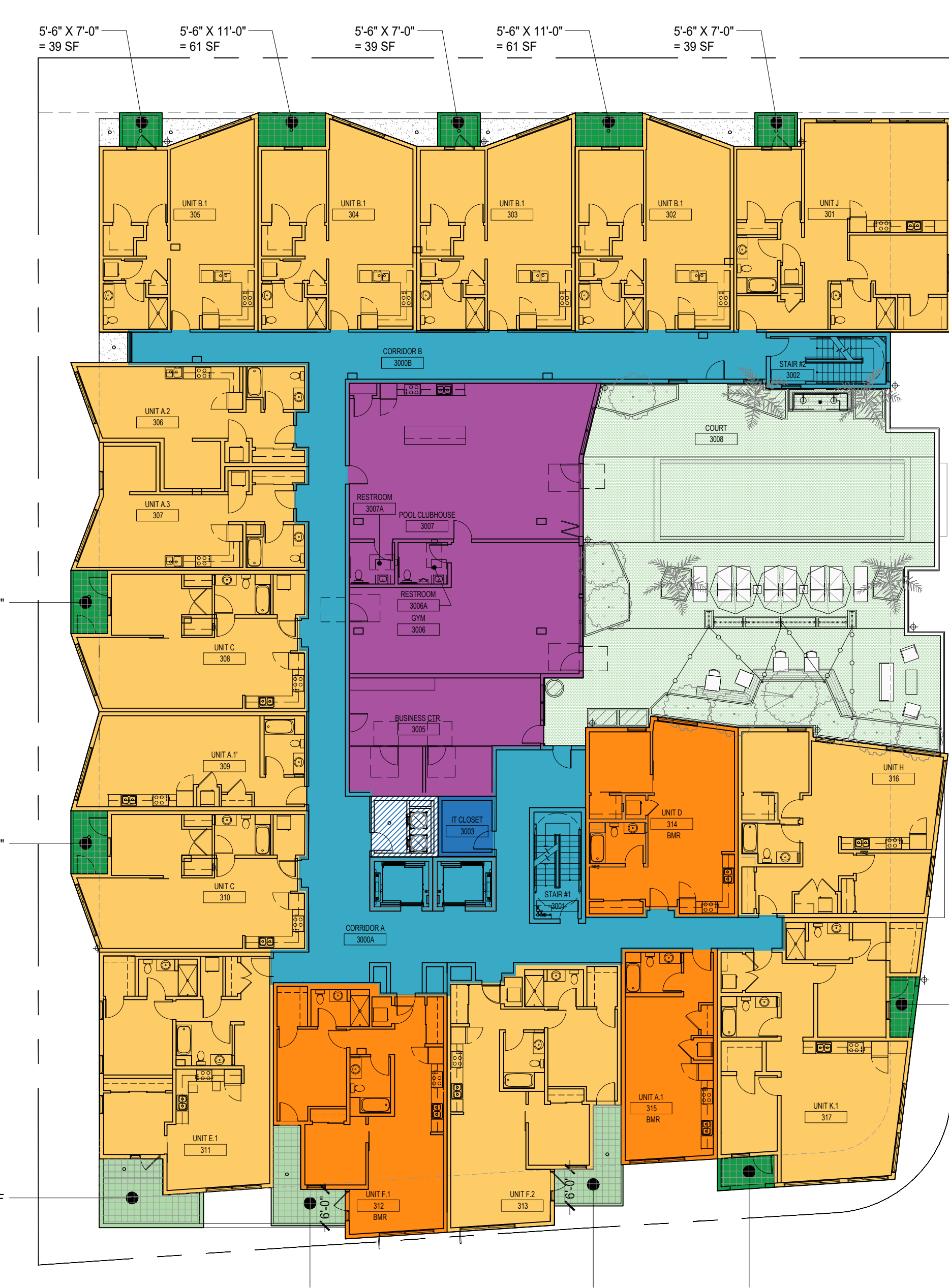
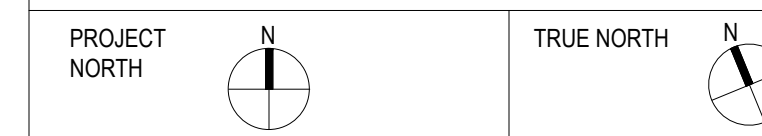
*1% of 225% FAR = 28,808*2.25 = 64,818 * 1% = 648 SF
*3% of 225% FAR = 28,808*2.25 = 64,818 * 3% = 1,945 SF

Floor	Unit Type	Unit #	Units/Floor	BOMA Unit Net Sq. Ft.	BOMA Total Net Sq. Ft.
Floor 2	Studio	A.1	202	1	525
	Studio	A.1*	203	1	596
	Studio	A.7	205	1	508
	Studio	A.8	206	1	582
	2 Bed / 1 Ba	A.6	204	1	815
	1 Bedroom	B.4	201	1	750
Per Floor			6		3,776
Floor 3	Studio	A.1	315	1	525
	Studio	A.1*	309	1	570
	Studio	A.2	306	1	581
	Studio	A.3	307	1	569
	1 Bedroom	B.1	302-5	4	802
	1 Bedroom	C	308, 310	2	769
	1 Bedroom	D	314	1	752
	2 Bed / 1 Ba	H	316	1	916
	2 Bed / 2 Ba	E.1	311	1	1,008
	2 Bed / 2 Ba	F.1	312	1	957
	2 Bed / 2 Ba	F.2	313	1	1,001
2 Bed / 2 Ba	J	301	1	1,144	
2 Bed / 2 Ba	K.1	317	1	1,177	
Per Floor			17		13,946
Floor 4	Studio	A.1	418	1	525
	Studio	A.1*	412	1	570
	Studio	A.2	406	1	581
	Studio	A.4	407	1	654
	Studio	A.3	408	1	569
	Studio	A.5*	409	1	625
	1 Bedroom	B.1	402-5	4	802
	1 Bedroom	C	410, 413	2	769
	1 Bedroom	B.2	411	1	906
	1 Bedroom	D	417	1	752
	2 Bed / 1 Ba	H	419	1	901
	2 Bed / 2 Ba	E.1	414	1	1,008
	2 Bed / 2 Ba	F.1	415	1	957
2 Bed / 2 Ba	F.2	416	1	1,001	
2 Bed / 2 Ba	J	401	1	1,144	
2 Bed / 2 Ba	K.1	420	1	1,177	
Per Floor			20		16,116
Floors 5-7	Studio	A.1	X18	1	525
	Studio	A.1*	X12	1	570
	Studio	A.2	X06	1	581
	Studio	A.3	X07	1	596
	Studio	A.4	X08	1	654
	Studio	A.5	X09	1	642
	1 Bedroom	B.1	X02-5	4	802
	1 Bedroom	C	X10, 13	2	769
	1 Bedroom	G	X01	1	843
	1 Bedroom	B.3	X11	1	927
	1 Bedroom	D	X17	1	752
	2 Bed / 2 Ba	E.1	X14	1	1,008
	2 Bed / 2 Ba	F.1	X15	1	957
	2 Bed / 2 Ba	F.2	X16	1	1,001
2 Bed / 2 Ba	K.2	X19	1	918	
Per Floor			19		14,720
Floor 8	Studio	A.1*	808	1	570
	Studio	A.2	803	1	581
	Studio	A.3	805	1	569
	Studio	A.4*	804	1	686
	1 Bedroom	B.1	801	1	802
	1 Bedroom	F.3	811	1	820
	1 Bedroom	F.4	812	1	833
	1 Bedroom	C	806, 809	2	769
	1 Bedroom	E.2	810	1	870
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3 Bed / 2.5 Ba	L	802	1	1,583	
Per Floor			12		9,956
Building Summary			# of Units		BOMA Total Net Sq. Ft.
			112		87,954

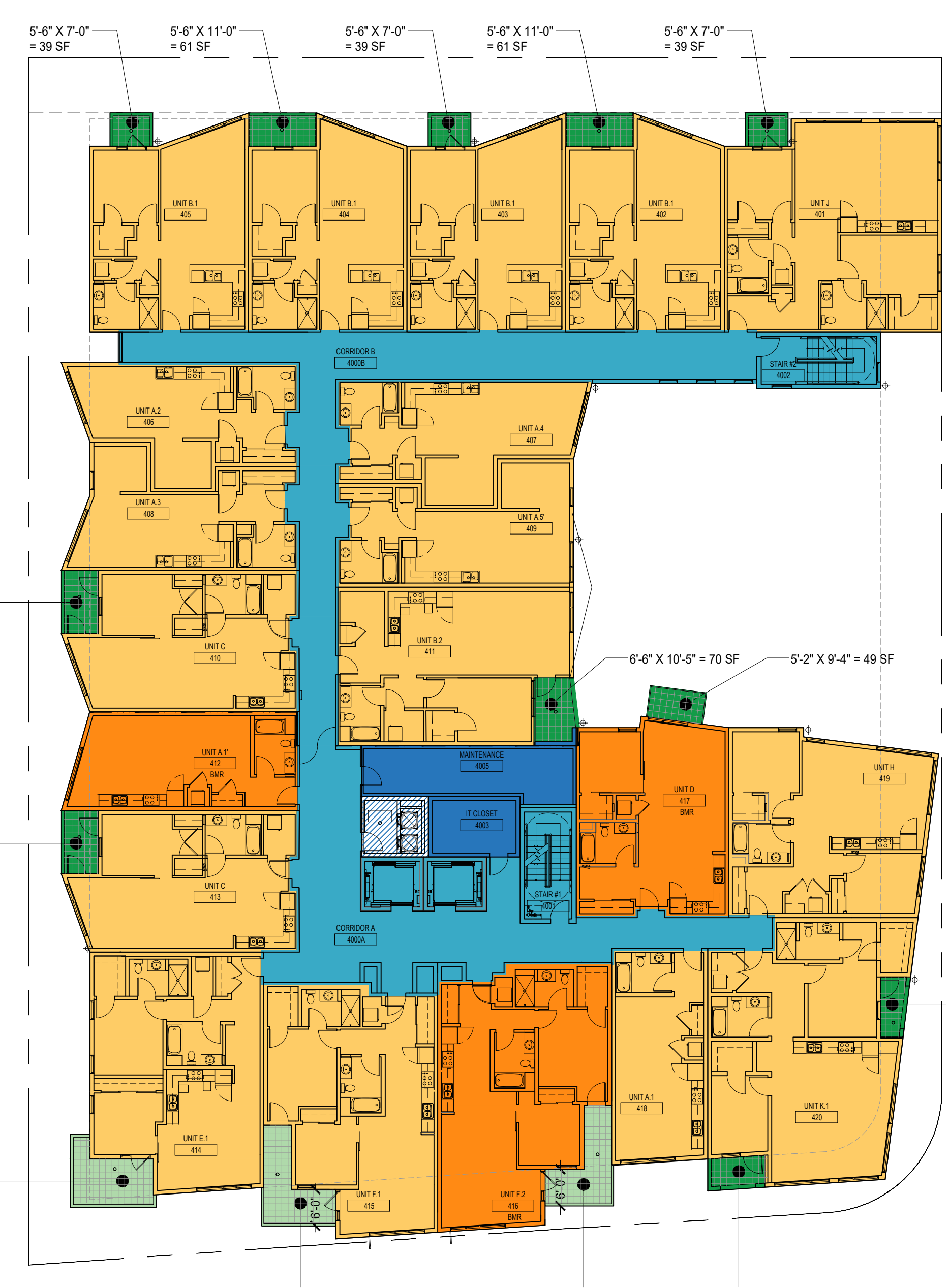
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8	13,057	12,937
Total	157,232	117,781

Site Area	28,808
FAR	409%

Unit	Below market rate units, dispersed throughout building	Unit Type	Unit #	SF	FLOOR	BMR Cat.
Studio	A.1	202	525	2	Very Low	
Studio	A.1	315	525	3	Very Low	
Studio	A.1	418	525	4	Very Low	
Studio	A.1	518	525	5	Moderate	
Studio	A.1	618	525	6	Moderate	
1 Bedroom	B.4	201	750	2	Very Low	
1 Bedroom	C	513	769	5	Very Low	
1 Bedroom	D	314	752	3	Very Low	
1 Bedroom	D	417	752	4	Very Low	
1 Bedroom	D	517	752	5	Very Low	
1 Bedroom	D	617	752	6	Moderate	
2-Bed / 1 Ba	A.6	204	815	2	Very Low	
2-Bed / 2 Ba	F.1	312	957	3	Very Low	
2-Bed / 2 Ba	F.2	416	1,001	4	Moderate	
Total:		14	9,925			



1 BUILDING AREA: THIRD FLOOR
1/16" = 1'-0"



2 BUILDING AREA: FOURTH FLOOR
1/16" = 1'-0"

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Gross Floor Area Per Menlo Park Code 16.04.325 (outside face of exterior walls, centerline at interior walls)												
Floor	Included in FAR						Not included in FAR					
	BMR Unit Resid. Unit	Common Area / Circulation	Lobby / Amenity	BOH/ Utilities Maint. / IT	Utilities (Excluded) *	Trash/ Shafts	Parking (Bicycle)	Parking (Vehicle)	Outdoor Common	Deck - Private	Deck - Private Non-Compliant	
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6	15,278	2,883	-	460	-	109	-	-	358	473	-	
7	15,278	2,883	-	460	-	109	-	-	358	260	-	
8	10,391	2,169	-	377	-	120	-	1,995	578	260	-	
Roof	-	-	-	-	-	-	-	-	-	-	-	
Total	91,564	18,883	4,610	2,724	1,447	1,232	1,546	35,226	10,764	2,928	2,713	

*1% of 225% FAR = 28,808*2.25 = 64,818 * 1% = 648 SF
*3% of 225% FAR = 28,808*2.25 = 64,818 * 3% = 1,945 SF

MINIMUM SETBACK - The horizontal distance a building's upper stories must be set back above the base height.
10 feet for a minimum of 75% of the building face along public streets. A maximum of 25% of building face along public streets may be excepted.

STEPPED BACK PORTION OF BUILDING

Floor	Unit Type	Unit Type	Unit #	Units/Floor	BOMA Unit Net Sq. Ft.	BOMA Total Net Sq. Ft.
Floor 2	Studio	A.1	202	1	525	525
	Studio	A.1'	203	1	596	596
	Studio	A.7	205	1	508	508
	Studio	A.8	206	1	582	582
	2 Bed / 1 Ba	A.6	204	1	815	815
	1 Bedroom	B.4	201	1	750	750
Per Floor			6		3,776	

Floor 3	Studio	A.1	315	1	525	525
	Studio	A.1'	309	1	570	570
	Studio	A.2	306	1	581	581
	Studio	A.3	307	1	569	569
	1 Bedroom	B.1	302-5	4	802	3,208
	1 Bedroom	C	308, 310	2	769	1,538
	1 Bed + Den	D	314	1	752	752
	2 Bed / 1 Ba	H	316	1	916	916
	2 Bed / 2 Ba	E.1	311	1	1,008	1,008
	2 Bed / 2 Ba	F.1	312	1	957	957
	2 Bed / 2 Ba	F.2	313	1	1,001	1,001
2 Bed / 2 Ba	J	301	1	1,144	1,144	
2 Bed / 2 Ba	K.1	317	1	1,177	1,177	
Per Floor			17		13,946	

Floor 4	Studio	A.1	418	1	525	525
	Studio	A.1'	412	1	570	570
	Studio	A.2	406	1	581	581
	Studio	A.4	407	1	654	654
	Studio	A.3	408	1	569	569
	Studio	A.5'	409	1	625	625
	1 Bedroom	B.1	402-5	4	802	3,208
	1 Bedroom	C	410, 413	2	769	1,538
	1 Bed + Den	B.2	411	1	906	906
	1 Bed + Den	D	417	1	752	752
	2 Bed / 1 Ba	H	419	1	901	901
	2 Bed / 2 Ba	E.1	414	1	1,008	1,008
	2 Bed / 2 Ba	F.1	415	1	957	957
	2 Bed / 2 Ba	F.2	416	1	1,001	1,001
2 Bed / 2 Ba	J	401	1	1,144	1,144	
2 Bed / 2 Ba	K.1	420	1	1,177	1,177	
Per Floor			20		16,116	

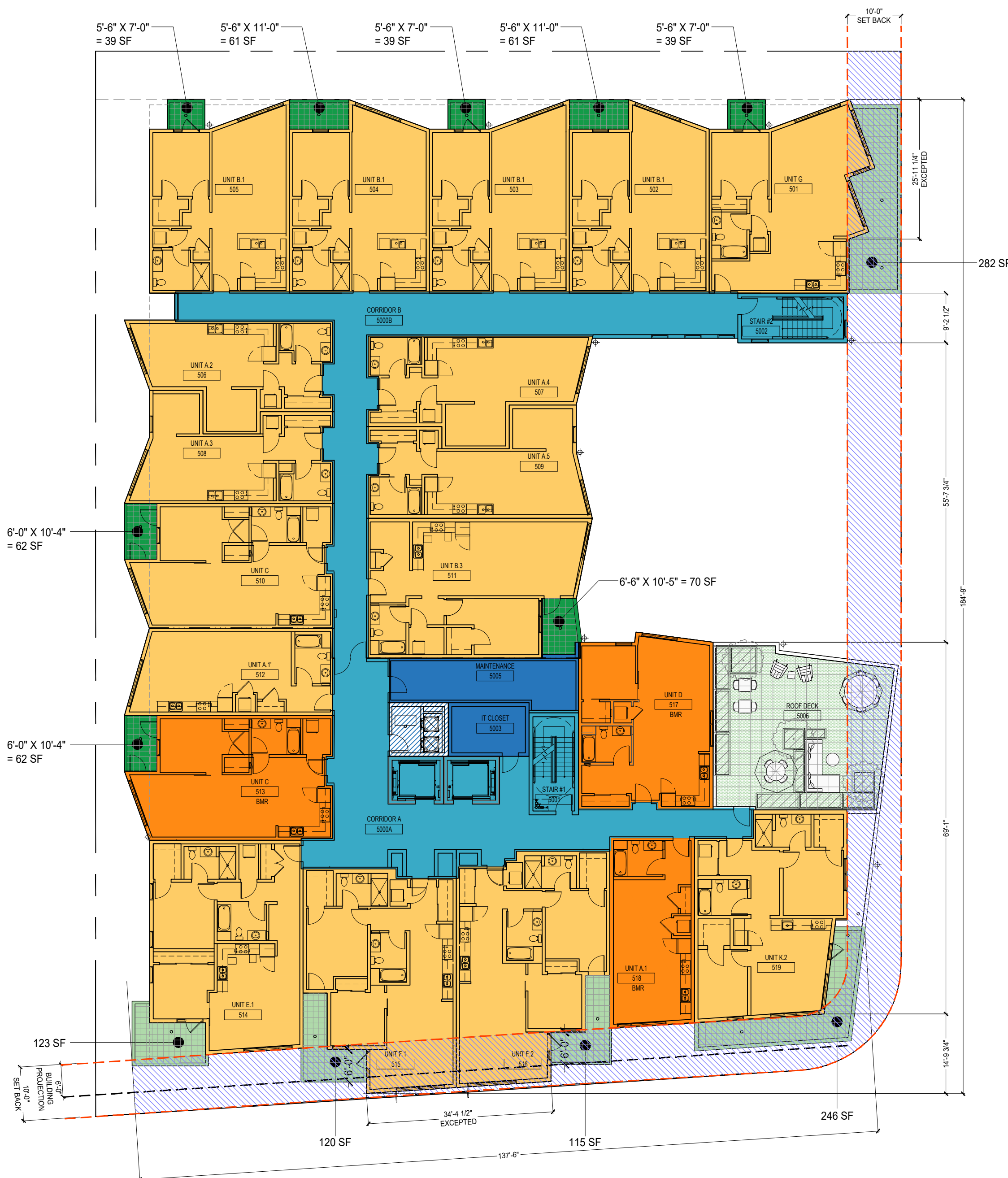
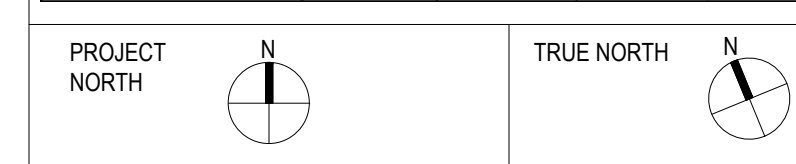
Floors 5-7	Studio	A.1	X18	1	525	525
	Studio	A.1'	X12	1	570	570
	Studio	A.2	X06	1	581	581
	Studio	A.3	X07	1	596	596
	Studio	A.4	X08	1	654	654
	Studio	A.5	X09	1	642	642
	1 Bedroom	B.1	X02-5	4	802	3,208
	1 Bedroom	C	X10, 13	2	769	1,538
	1 Bedroom	G	X01	1	843	843
	1 Bed + Den	B.3	X11	1	927	927
	1 Bed + Den	D	X17	1	752	752
	2 Bed / 2 Ba	E.1	X14	1	1,008	1,008
	2 Bed / 2 Ba	F.1	X15	1	957	957
	2 Bed / 2 Ba	F.2	X16	1	1,001	1,001
2 Bed / 2 Ba	K.2	X19	1	918	918	
Per Floor			19		14,720	

Floor	Unit Type	Unit #	Units/Floor	BOMA Unit Net Sq. Ft.	BOMA Total Net Sq. Ft.	
Floor 8	Studio	A.1'	808	1	570	570
	Studio	A.2	803	1	581	581
	Studio	A.3	805	1	569	569
	Studio	A.4'	804	1	686	686
	1 Bedroom	B.1	801	1	802	802
	1 Bedroom	F.3	811	1	820	820
	1 Bedroom	F.4	812	1	833	833
	1 Bedroom	C	806, 809	2	769	1,538
	1 Bed + Den	E.2	810	1	870	870
	2 Bed / 2 Ba	M	807	1	1,104	1,104
	3 Bed / 2.5 Ba	L	802	1	1,583	1,583
	Per Floor			12	9,966	9,966
	Building Summary			# of Units	BOMA Total Net Sq. Ft.	BOMA Total Net Sq. Ft.
				112	87,954	87,954

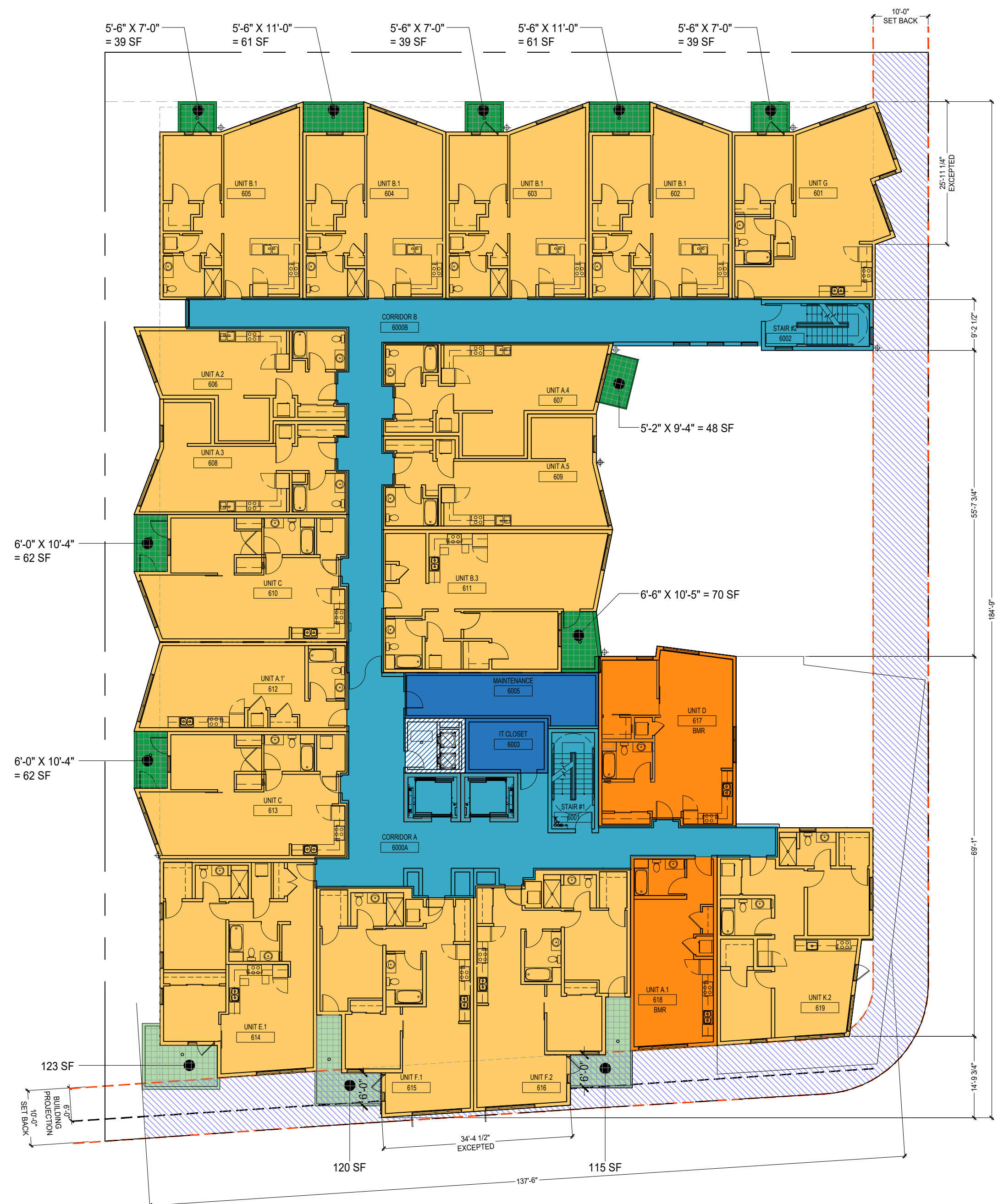
Floor	GSF (outside face of walls & ext. to ext. walls) (SF)	GFA (excl. non-FAR areas) (SF)
1	23,729	3,069
2	23,828	5,702
3	20,210	20,101
4	20,218	20,109
5	18,730	18,621
6	18,730	18,621
7	18,730	18,621
8	13,057	12,937
Total	157,232	117,781

Site Area	28,808
FAR	409%

Unit	Below market rate units, dispersed throughout building	Unit Type	Unit #	SF	FLOOR	BMR Cat.
Studio	A.1	202	525	2	Moderate	
Studio	A.1	315	525	3	Very Low	
Studio	A.1'	412	570	4	Very Low	
Studio	A.1	518	525	5	Moderate	
Studio	A.1	618	525	6	Very Low	
2-Bed / 1 Ba	A.6	204	815	2	Very Low	
1 Bedroom	B.4	201	750	2	Very Low	
1 Bedroom	C	513	769	5	Very Low	
1 Bed + Den	D	314	752	3	Very Low	
1 Bed + Den	D	417	752	4	Very Low	
1 Bed + Den	D	517	752	5	Very Low	
1 Bed + Den	D	617	752	6	Moderate	
2 Bed / 2 Ba	F.1	312	957	3	Very Low	
2 Bed / 2 Ba	F.2	416	1,001	4	Moderate	
Total:		14	9,970			



1 BUILDING AREA: FIFTH FLOOR
1/16" = 1'-0"



2 BUILDING AREA: SIXTH FLOOR
1/16" = 1'-0"

**3705 HAVEN AVE
MENLO PARK, CA**



3705 HAVEN AVE
MENLO PARK, CA

PROJECT NO. 21-07
PARCEL NO. 055170240

REV	DATE	DESCRIPTION
	09-22-2023	PLANNING & SB330 REV 3
	03-20-2024	PLANNING & SB330 REV 4
	06-13-2024	PLANNING & SB330 REV 5
	07-26-2024	PLANNING & SB330 REV 6
	01-16-2025	PLANNING & SB330 REV 7

CONTACT: TOBY LEVY

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(415) 777-5117 F

SCALE: AS NOTED

**BUILDING AREA
CALCULATIONS
PLANNING**

G0.05D

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Gross Floor Area Per Menlo Park Code 16.04.325 (outside face of exterior walls, centerline at interior walls)											
Floor	Included in FAR						Not included in FAR				
	BMR Unit Resid. Unit	Common Area / Circulation	Lobby / Amenity	BOH/ Utilities Maint. / IT	Utilities (Excluded) *	Trash/ Shafts	Parking (Bicycle)	Parking (Vehicle)	Outdoor Common	Deck - Private	Deck - Private Non-Compliant
1	-	621	2,153	295	1,061	487	1,546	17,566	4,670	-	-
2	4,046	1,535	-	121	386	80	-	17,660	-	-	43
3	14,527	3,026	2,457	91	-	109	-	-	3,200	390	452
4	16,766	2,883	-	460	-	109	-	-	-	358	571
5	15,278	2,883	-	460	-	109	-	-	899	886	430
6	15,278	2,883	-	460	-	109	-	-	-	358	473
7	15,278	2,883	-	460	-	109	-	-	-	358	260
8	10,391	2,169	-	377	-	120	-	-	1,995	578	260
Roof	-	-	-	-	-	-	-	-	-	-	-
Total	91,564	18,883	4,610	2,724	1,447	1,232	1,546	35,226	10,764	2,928	2,713

*1% of 225% FAR = 28,808*2.25 = 64,818 * 1% = 648 SF
*3% of 225% FAR = 28,808*2.25 = 64,818 * 3% = 1,945 SF

MINIMUM SETBACK - The horizontal distance a building's upper stories must be set back above the base height. 10 feet for a minimum of 75% of the building face along public streets. A maximum of 25% of building face along public streets may be excepted.

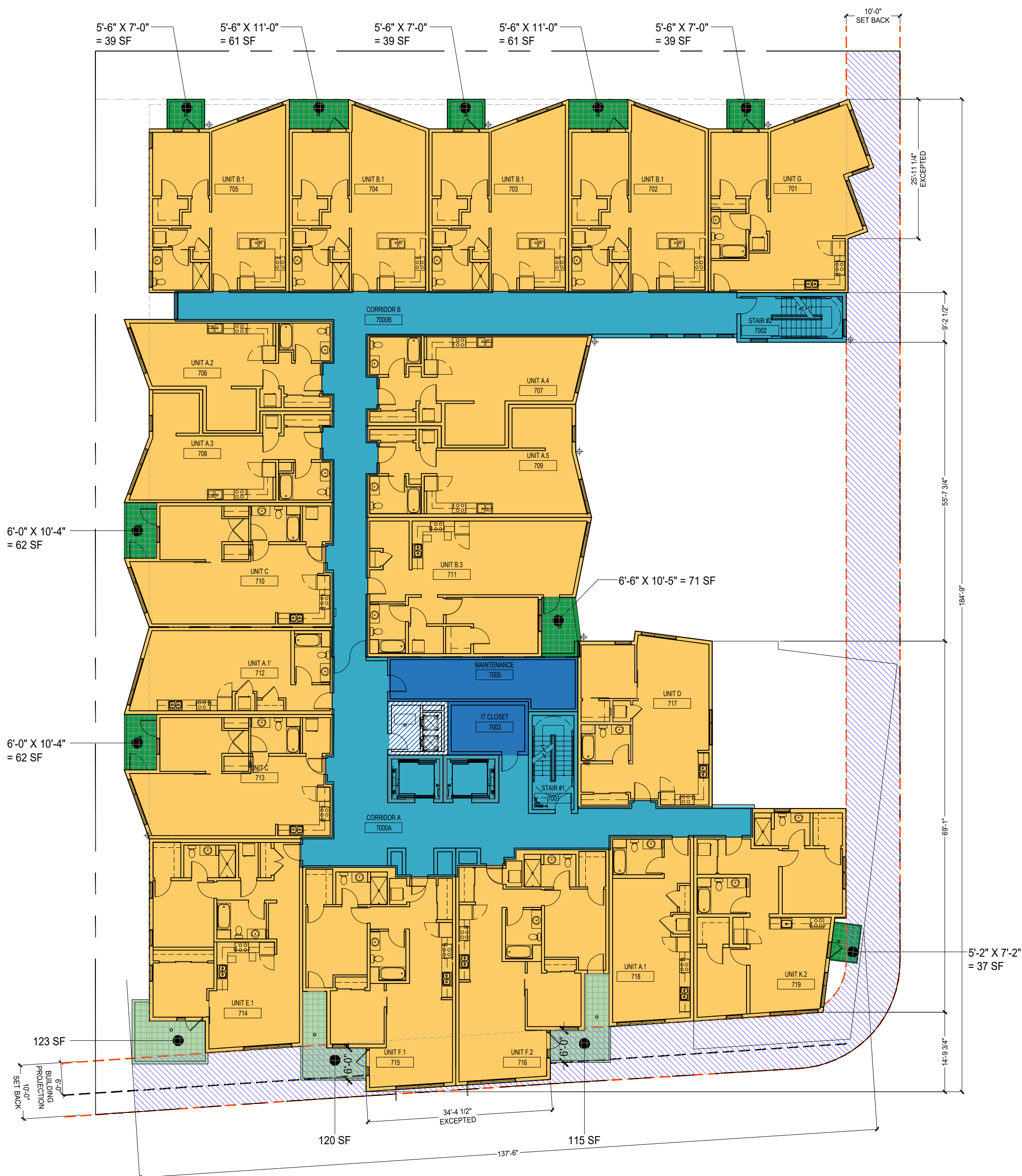
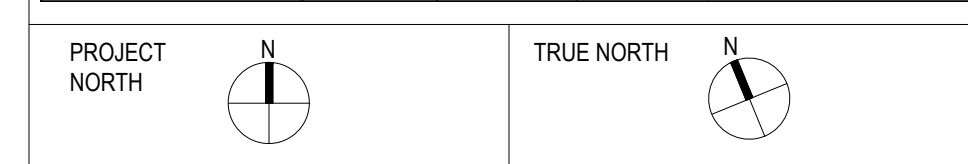
STEPPED BACK PORTION OF BUILDING

Floor	Unit Type	Unit #	Units/Floor	BOMA Unit Net Sq. Ft.	BOMA Total Net Sq. Ft.	
Floor 2	Studio	A.1	202	525	525	
	Studio	A.1'	203	596	596	
	Studio	A.7	205	508	508	
	Studio	A.8	206	582	582	
	2 Bed / 1 Ba	A.6	204	815	815	
	1 Bedroom	B.4	201	750	750	
Per Floor			6	3,776		
Floor 3	Studio	A.1	315	525	525	
	Studio	A.1'	309	570	570	
	Studio	A.2	306	581	581	
	Studio	A.3	307	569	569	
	1 Bedroom	B.1	302-5	4	802	3,208
	1 Bedroom	C	308, 310	2	769	1,538
	1 Bedroom	D	314	1	752	752
	2 Bed / 1 Ba	H	316	1	916	916
	2 Bed / 2 Ba	E.1	311	1	1,008	1,008
	2 Bed / 2 Ba	F.1	312	1	957	957
	2 Bed / 2 Ba	F.2	313	1	1,001	1,001
2 Bed / 2 Ba	J	301	1	1,144	1,144	
2 Bed / 2 Ba	K.1	317	1	1,177	1,177	
Per Floor			17	13,946		
Floor 4	Studio	A.1	418	525	525	
	Studio	A.1'	412	570	570	
	Studio	A.2	406	581	581	
	Studio	A.4	407	654	654	
	Studio	A.3	408	569	569	
	Studio	A.5'	409	625	625	
	1 Bedroom	B.1	402-5	4	802	3,208
	1 Bedroom	C	410, 413	2	769	1,538
	1 Bedroom	B.2	411	1	906	906
	1 Bedroom	D	417	1	752	752
	2 Bed / 1 Ba	H	419	1	901	901
	2 Bed / 2 Ba	E.1	414	1	1,008	1,008
	2 Bed / 2 Ba	F.1	415	1	957	957
	2 Bed / 2 Ba	F.2	416	1	1,001	1,001
2 Bed / 2 Ba	J	401	1	1,144	1,144	
2 Bed / 2 Ba	K.1	420	1	1,177	1,177	
Per Floor			20	16,116		
Floors 5-7	Studio	A.1	X18	525	525	
	Studio	A.1'	X12	570	570	
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	1 Bedroom	C	X10, 13	2	769	1,538
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	1 Bedroom	D	X17	1	752	752
	2 Bed / 2 Ba	E.1	X14	1	1,008	1,008
	2 Bed / 2 Ba	F.1	X15	1	957	957
	2 Bed / 2 Ba	F.2	X16	1	1,001	1,001
2 Bed / 2 Ba	K.2	X19	1	918	918	
Per Floor			19	14,720		
Floor 8	Studio	A.1'	808	570	570	
	Studio	A.2	803	581	581	
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	1 Bedroom	F.4	812	833	833	
	1 Bedroom	C	806, 809	2	769	1,538
	1 Bedroom	E.2	810	870	870	
	2 Bed / 2 Ba	M	807	1,104	1,104	
3 Bed / 2.5 Ba	L	802	1,583	1,583		
Per Floor			12	9,956		
Building Summary			# of Units	BOMA Total Net Sq. Ft.	BOMA Total Net Sq. Ft.	
			112	87,954	87,954	

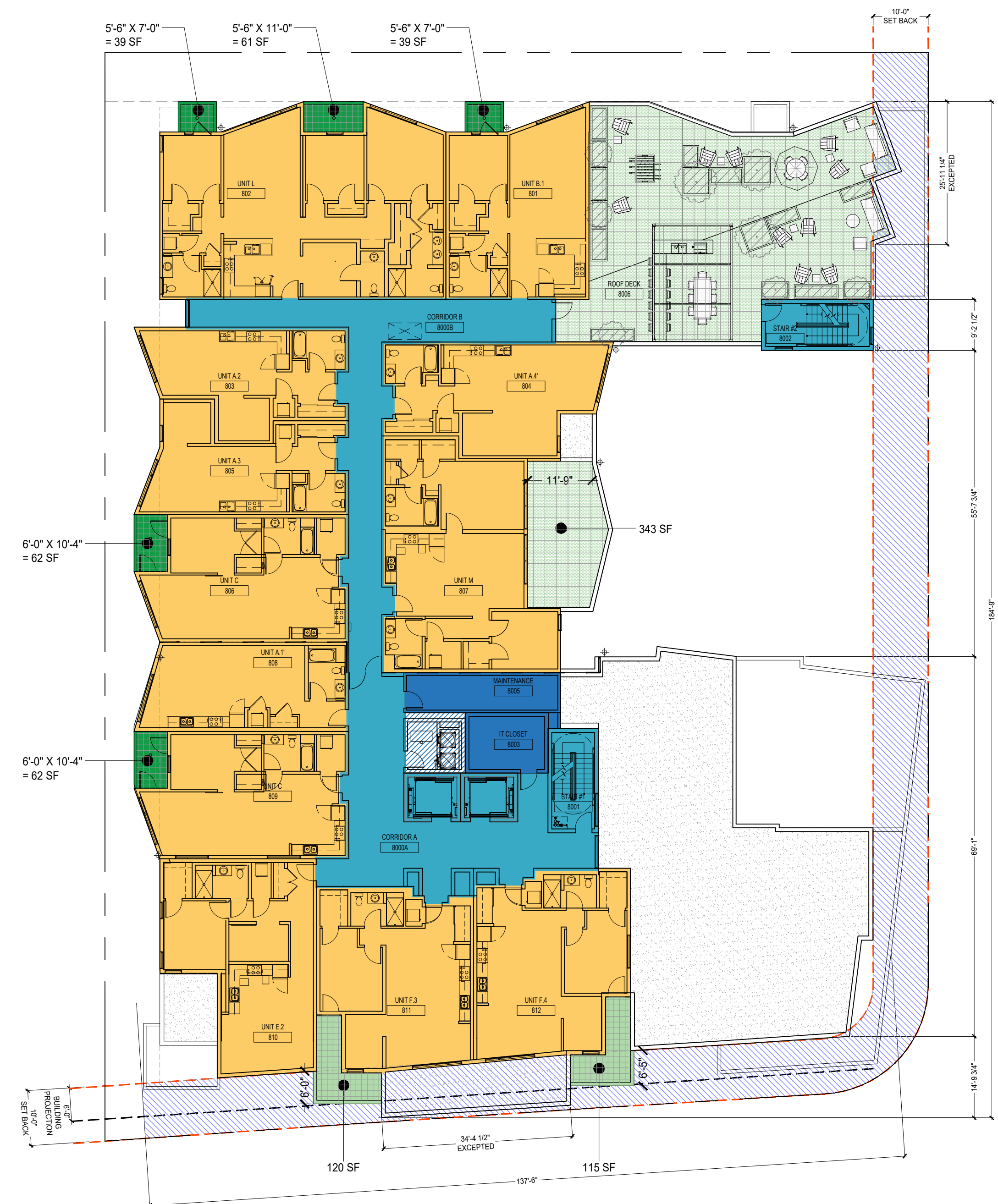
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8	13,057	12,937
Total	157,232	117,781

Site Area 28,808
FAR 409%

Unit	Unit Type	Unit #	SF	FLOOR	BMR Cat.
Studio	A.1	202	525	2	Very Low
Studio	A.1'	315	525	3	Very Low
Studio	A.1	418	525	4	Very Low
Studio	A.1	518	525	5	Moderate
Studio	A.1	618	525	6	Moderate
1 Bedroom	B.4	201	750	2	Very Low
1 Bedroom	C	513	769	5	Very Low
1 Bedroom	D	314	752	3	Very Low
1 Bedroom	D	417	752	4	Very Low
1 Bedroom	D	517	752	5	Very Low
1 Bedroom	D	617	752	6	Moderate
2-Bed / 1 Ba	A.6	204	815	2	Very Low
2 Bed / 2 Ba	F.1	312	957	3	Very Low
2 Bed / 2 Ba	F.2	416	1,001	4	Moderate
Total:		14	9,925		



1 BUILDING AREA: SEVENTH FLOOR
1/16" = 1'-0"



2 BUILDING AREA: EIGHTH FLOOR
1/16" = 1'-0"

**3705 HAVEN AVE
MENLO PARK, CA**



3705 HAVEN AVE
MENLO PARK, CA
PROJECT NO. 21-07
PARCEL NO. 055170240

REV	DATE	DESCRIPTION
	09-22-2023	PLANNING & SB330 REV 3
	03-20-2024	PLANNING & SB330 REV 4
	06-13-2024	PLANNING & SB330 REV 5
	07-26-2024	PLANNING & SB330 REV 6
	01-16-2025	PLANNING & SB330 REV 7

CONTACT: TOBY LEVY

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(415) 777-5117 F

SCALE: AS NOTED

**BUILDING AREA
CALCULATIONS
PLANNING**

G0.05E

LEGEND	DESCRIPTION	PORTION OF BUILDING	FOOTPRINT (SF)	BUILDING HEIGHT (FT)	FOOTPRINT X BUILDING HEIGHT
	STAIR PENTHOUSE	A	184	94.07	17,309
	UPPER ROOF	B	13,089	85.94	1,124,869
	LOWER ROOF, ROOF DECK, FLR 8 DECKS	C	5,989	73.11	437,856
	FLOOR 7 DECKS	D	265	63.27	16,767
	FLOOR 6 DECK	E	48	53.43	2,565
	FLOOR 5 ROOF DECK, DECKS	F	1,587	43.61	69,209
	FLOOR 4 DECK	G	48	35.77	1,717
	3RD FLOOR COURTYARD	H	3,332	23.94	79,768
FOOTPRINT X BUILDING HEIGHT TOTAL					1,750,059
FOOTPRINT TOTAL					24,630
AVERAGE HEIGHT					71.1

MUNICIPAL CODE 16.45.120 - Height Limit Required

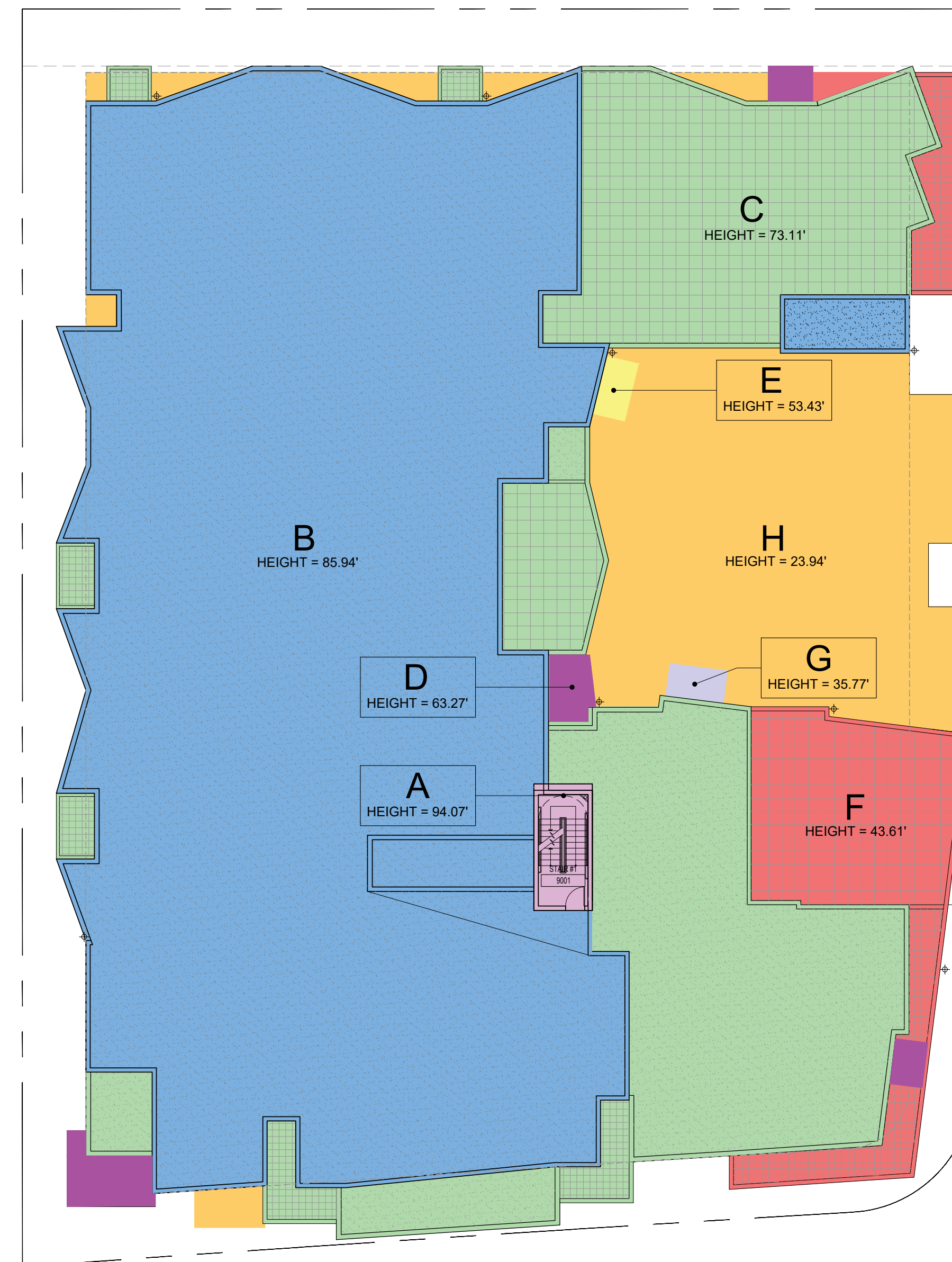
Properties w/ in floor zone are allowed 10' increase in height.
Maximum height 70'-0" + 10'-0" = 80'-0"
(Screen for mech. equip. +14', elevator towers & equip. +20')

Proposed
74'-9" Highest occupiable floor level
84'-9" Top of roof sheathing

Building height for this diagram measured from average natural grade: 10.01'



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1 BUILDING HEIGHT
1/16" = 1'-0"

3705 HAVEN AVE
MENLO PARK, CA



3705 HAVEN AVE
MENLO PARK, CA

PROJECT NO. 21-07
PARCEL NO. 055170240

REV	DATE	DESCRIPTION
	04-14-2023	PLANNING & SB330 REV 2
	09-22-2023	PLANNING & SB330 REV 3
	03-20-2024	PLANNING & SB330 REV 4
	06-13-2024	PLANNING & SB330 REV 5
	07-26-2024	PLANNING & SB330 REV 6

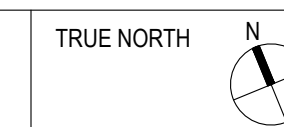
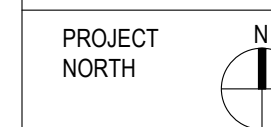
CONTACT: TOBY LEVY

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SCALE:
AS NOTED

BUILDING
HEIGHT

G0.05F



GROUND FLOOR						
OCCUPANT LOAD						
Building 01						
Zone	Room ID	Room Name	Area	Function	Load Factor	# of Occupants
A1.1	1000-1001, 1004	Lobby/Mail/Stair	1,356	Residential	200	7
A1.2	1003	Trash Rm.	488	Accessory Storage/Equipment	300	2
A1.3	1005	Resident Amenity	452	Unconcentrated Assembly	15	31
A1.4	1007	Bike Room	1,554	Accessory Storage/Equipment	300	6
A1.5	1005A-B, 1008	Office/Restroom	573	Business Areas	100	6
A1.6	1009	Utility	296	Accessory Storage/Equipment	300	1
A1.7	1010	Utility	295	Accessory Storage/Equipment	300	1
A1.8	1011, 1013	Utility & Fire Ctrl.	479	Accessory Storage/Equipment	300	2
A1.9	1012	Utility	320	Accessory Storage/Equipment	300	2
A1.10	1002, G-1000	Garage	16,715	Accessory Storage/Equipment	300	56
Total Occupant Load for Building 01						114
EXITING CALCULATIONS						
Building 01						
Occupant Load						114
Exits Required						2
Exits Provided						2
Egress Width Required (inch)						17.10
Corridor Width Required						36"
Corridor Width Provided						36"
Min Door Clr. Width Required						32"
Min Door Clr. Width Provided						32"
Stair Width Required (inch)						44"
Stair Width Provided						44"
Max. Building Diagonal						210'-10"
Required Dist. Between Exits						70'-4"
Provided Dist. Between Exits						132'-4"
Max. Allowed Common Path of Egress Travel (2022 CBC 1006.2)						125'-0"
Max. Provided Common Path of Egress Travel						N/A
Max. Allowed Exit Access Travel Distance (2022 CBC 1017.2)						250'-0"
Provided Travel Distance						207'-5"

SECOND FLOOR						
OCCUPANT LOAD						
Building 01						
Zone	Room ID	Room Name	Area	Function	Load Factor	# of Occupants
A2.1	204	Residential Units, Etc	3,913	Residential	200	20
A2.2	2000B, 2006, 205-206	Residential Units, Etc	1,642	Residential	200	9
A2.3	2008	Pool Equipment	90	Accessory Storage/Equipment	300	1
A2.4	2009	Utilities	326	Accessory Storage/Equipment	300	2
A2.5		Trash	81	Accessory Storage/Equipment	300	1
A2.6	G-2000	Garage	17,848	Accessory Storage/Equipment	300	60
Total Occupant Load for Building 01						93
EXITING CALCULATIONS						
Building 01						
Occupant Load						93
Exits Required						2
Exits Provided						3
Egress Width Required (inch)						13.95
Corridor Width Required						36"
Corridor Width Provided						38"
Min Door Clr. Width Required						32"
Min Door Clr. Width Provided						32"
Stair Width Required (inch)						44"
Stair Width Provided						44"
Max. Building Diagonal						211'-7"
Required Dist. Between Exits						70'-7"
Provided Dist. Between Exits						105'-0"
Max. Allowed Common Path of Egress Travel (2022 CBC 1006.2)						125'-0"
Max. Provided Common Path of Egress Travel						N/A
Max. Allowed Exit Access Travel Distance (2022 CBC 1017.2)						250'-0"
Provided Travel Distance						161'-0"

HORIZONTAL EXIT DESCRIPTION AND CALCULATION

HORIZONTAL EXITS: HORIZONTAL EXIT IS BEING USED AS AN ACCESSIBLE MEANS OF EGRESS FOR PERSONS WITH DISABILITIES IN LIEU OF PROVIDING AN ELEVATOR AS PERMITTED BY 2022 CBC 1009.2.1 EXCEPTION #1

- THE ARRANGEMENT OF EACH HORIZONTAL EXIT PROVIDES EXIT ENCLOSURES ON EACH SIDE OF THE HORIZONTAL EXIT THAT ARE CAPABLE OF ACCOMMODATING THE TOTAL OCCUPANT LOAD OF EACH FLOOR
 - THE HORIZONTAL EXIT WILL BE REQUIRED EXCLUSIVELY FOR DISABLED OCCUPANTS
 - EACH SIDE OF THE HORIZONTAL EXIT CONTAINS SPACE FOR MULTIPLE WHEEL CHAIR USERS WITH A CLEAR AREA OF 30"x42" ADJACENT TO THE 2-WAY EMERGENCY COMMUNICATION DEVICE.
- CALCULATIONS:
- FOR OCCUPANT LOAD PER FLOOR SEE MATRICES
 - FOR REQUIRED AND PROVIDED STAIR WIDTH SEE MATRICES FOR EACH FLOOR

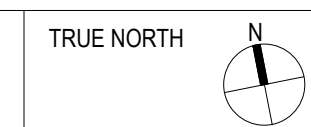
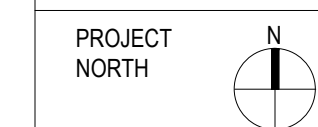
HORIZONTAL EXIT STANDPIPE

PER 2022 CBC 905.4 EXCEPTION #2 WHERE FLOOR AREAS ADJACENT TO A HORIZONTAL EXIT ARE REACHABLE FROM AN INTERIOR EXIT STAIR HOSE CONNECTION BY A 30-FOOT HOSE STREAM FROM A NOZZLE ATTACHED TO 100 FEET OF HOSE AS MEASURED ALONG THE PATH OF TRAVEL, A HOSE CONNECTION SHALL NOT BE REQUIRED AT THE HORIZONTAL EXIT.

PROPOSED PROJECT MEETS THAT EXCEPTION.

LEGEND

- TRAVEL DISTANCE BY BUILDING
- EGRESS PATH
- FIRE WALL / HORIZONTAL EXIT
- CORRIDOR BUILDING 02
- CORRIDOR BUILDING 03



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3705 HAVEN AVE
MENLO PARK, CA



3705 HAVEN AVE
MENLO PARK, CA

PROJECT NO. 21-07
PARCEL NO. 055170240

REV	DATE	DESCRIPTION
	04-14-2023	PLANNING & SB330 REV 2
	09-22-2023	PLANNING & SB330 REV 3
	03-20-2024	PLANNING & SB330 REV 4
	06-13-2024	PLANNING & SB330 REV 5
	07-26-2024	PLANNING & SB330 REV 6

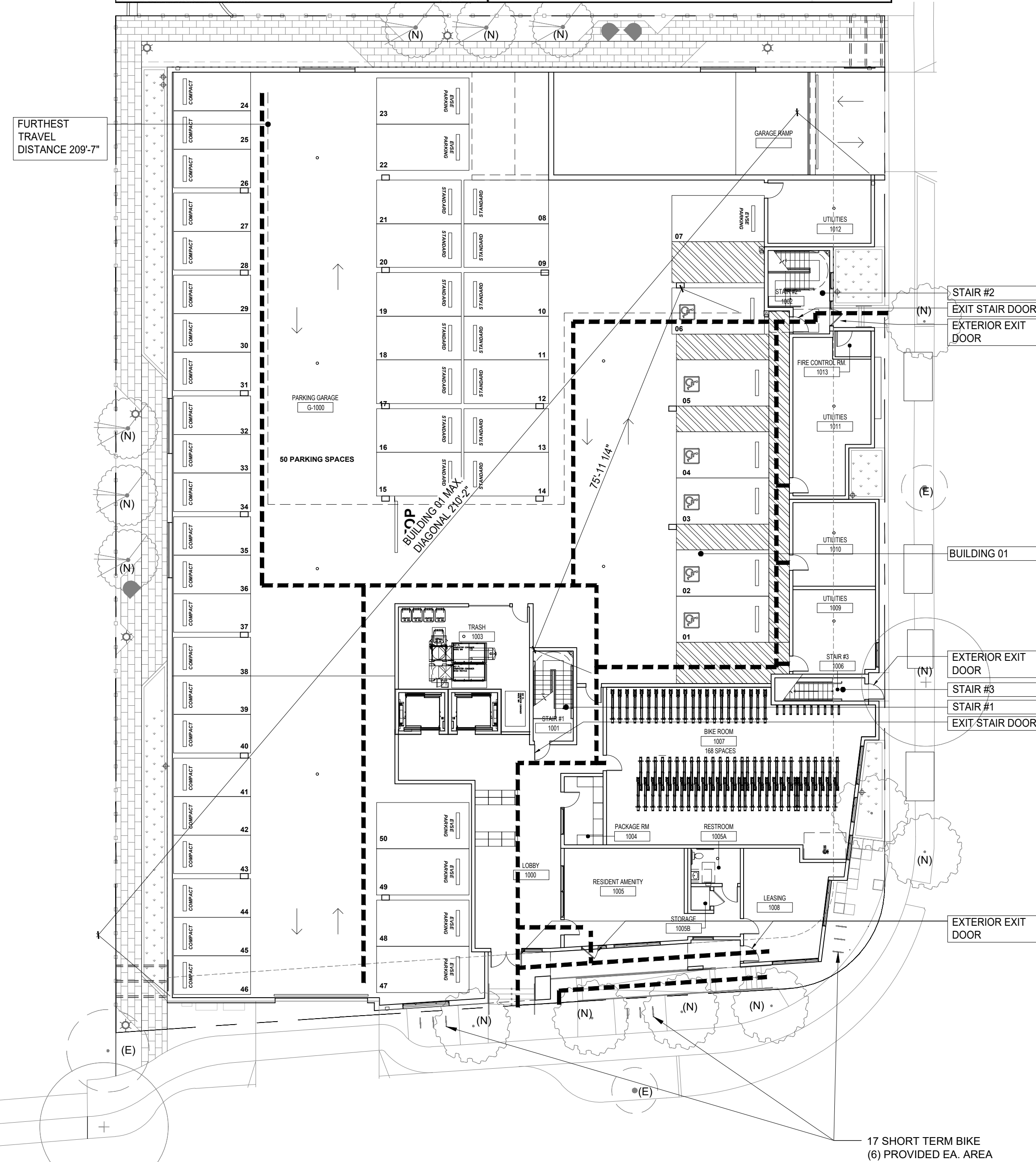
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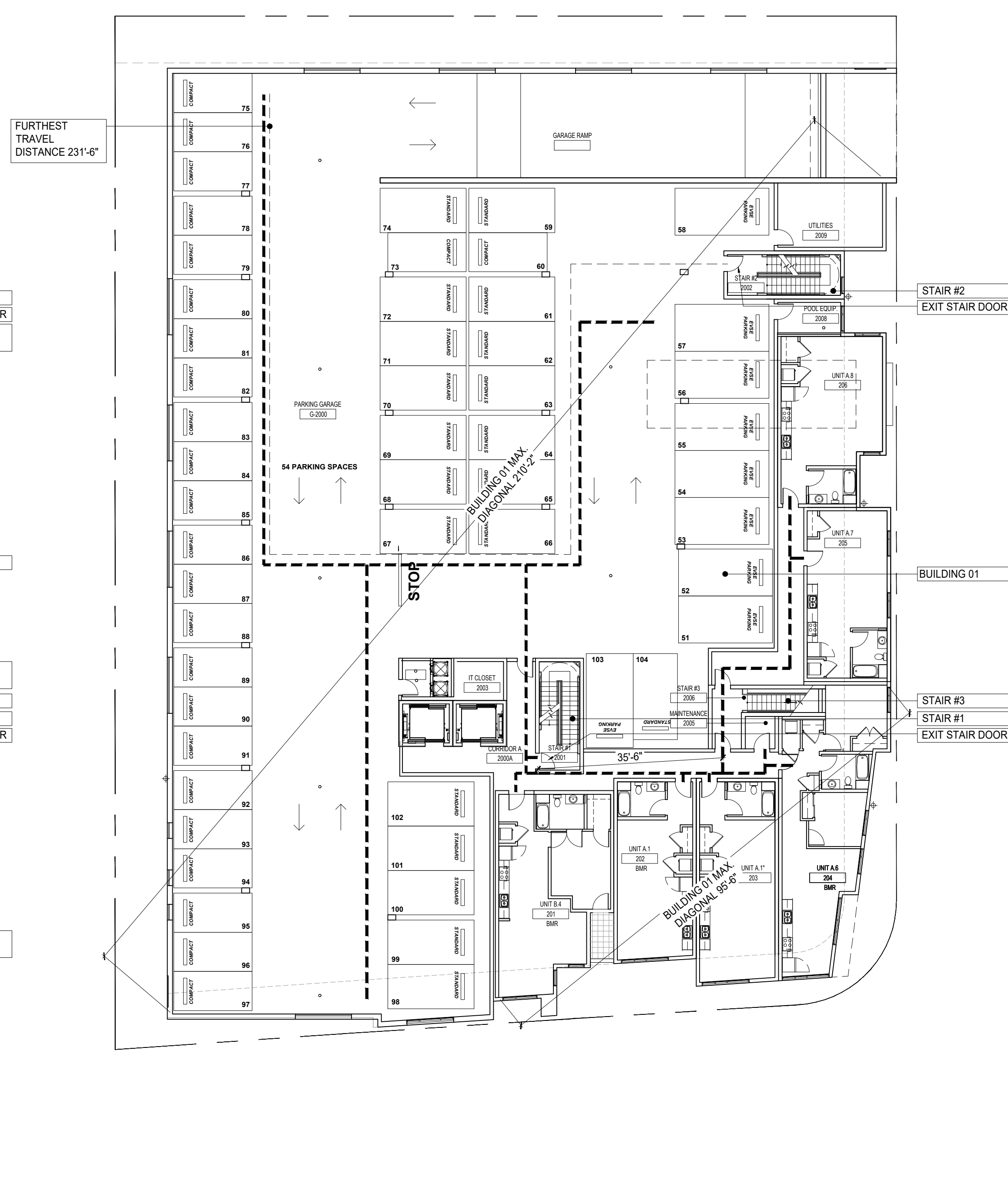
SCALE:
AS NOTED

EGRESS PLANS

G0.06A



1 EGRESS PLAN: GROUND FLOOR
1/16" = 1'-0"



2 EGRESS PLAN: SECOND FLOOR
1/16" = 1'-0"

THIRD FLOOR OCCUPANT LOAD						
Building 01						
Zone	Room ID	Room Name	Area	Function	Load Factor	# of Occupants
A3.1	3000A, 3001-3003, 301-317	Residential Units, Etc	18,576	Residential	200	93
A3.2	3005	Business Center	567	Business Area	150	4
A3.3	3006/A, 3007A	Gym & Restrooms	854	Exercise Room	50	18
A3.4	3007/A	Pool Clubhouse	906	Unconcentrated Assembly	15	61
A3.5	3008	Court	2,049	Unconcentrated Assembly	15	137
A3.6	3008	Pool	480	Pool	50	10
Total Occupant Load for Building 01						323
EXITING CALCULATIONS						
Building 01						
Occupant Load			323			
Exits Required			2			
Exits Provided			2			
Egress Width Required (inch)			48.45			
Corridor Width Required			44"			
Corridor Width Provided			48"			
Min Door Clr. Width Required			32"			
Min Door Clr. Width Provided			32"			
Stair Width Required (inch)			44"			
Stair Width Provided			44"			
Max. Building Diagonal			227'-9"			
Required Dist. Between Exits			75'-11"			
Provided Dist. Between Exits			192'-4"			
Max. Allowed Common Path of Egress Travel (2022 CBC 1006.2)			125'-0"			
Max. Provided Common Path of Egress Travel			86'-9"			
Max. Allowed Exit Access Travel Distance (2022 CBC 1017.2)			250'-0"			
Provided Travel Distance			133'-4"			

FOURTH FLOOR OCCUPANT LOAD						
Building 02						
Zone	Room ID	Room Name	Area	Function	Load Factor	# of Occupants
B4.1	4000B, 401-411	Residential Units, Etc	10,540	Residential	200	53
Total Occupant Load for Building 02						53
Building 03						
Zone	Room ID	Room Name	Area	Function	Load Factor	# of Occupants
C4.1	4000A, 4003, 4005, 412-420	Residential Units, Etc	10,611	Residential	200	54
Total Occupant Load for Building 03						54
Total Horizontal Exit Refuge Area Occupant Load for Buildings 02+03						107
EXITING CALCULATIONS						
Building 02				Building 03		
Occupant Load			53	Occupant Load		54
Exits Required			2	Exits Required		2
Exits Provided			2	Exits Provided		2
Egress Width Required (inch)			7.95	Egress Width Required (inch)		8.10
Corridor Width Required			44"	Corridor Width Required		44"
Corridor Width Provided			48"	Corridor Width Provided		48"
Min Door Clr. Width Required			32"	Min Door Clr. Width Required		32"
Min Door Clr. Width Provided			32"	Min Door Clr. Width Provided		32"
Stair Width Required (inch)			44"	Stair Width Required (inch)		44"
Stair Width Provided			44"	Stair Width Provided		44"
Max. Building Diagonal			168'-0"	Max. Building Diagonal		159'-3"
Required Dist. Between Exits			56'-0"	Required Dist. Between Exits		53'-1"
Provided Dist. Between Exits			129'-10"	Provided Dist. Between Exits		62'-2"
Max. Allowed Common Path of Egress Travel (2022 CBC 1006.2)			125'-0"	Max. Allowed Common Path of Egress Travel (2022 CBC 1006.2)		125'-0"
Max. Provided Common Path of Egress Travel			61'-5"	Max. Provided Common Path of Egress Travel		86'-9"
Max. Allowed Exit Access Travel Distance (2022 CBC 1017.2)			250'-0"	Max. Allowed Exit Access Travel Distance (2022 CBC 1017.2)		250'-0"
Provided Travel Distance			126'-4"	Provided Travel Distance		102'-4"

HORIZONTAL EXIT DESCRIPTION AND CALCULATION

HORIZONTAL EXITS: HORIZONTAL EXIT IS BEING USED AS AN ACCESSIBLE MEANS OF EGRESS FOR PERSONS WITH DISABILITIES IN LIEU OF PROVIDING AN ELEVATOR AS PERMITTED BY 2022 CBC 1009.2.1 EXCEPTION #1

- THE ARRANGEMENT OF EACH HORIZONTAL EXIT PROVIDES EXIT ENCLOSURES ON EACH SIDE OF THE HORIZONTAL EXIT THAT ARE CAPABLE OF ACCOMMODATING THE TOTAL OCCUPANT LOAD OF EACH FLOOR
 - THE HORIZONTAL EXIT WILL BE REQUIRED EXCLUSIVELY FOR DISABLED OCCUPANTS
 - A EACH SIDE OF THE HORIZONTAL EXIT CONTAINS SPACE FOR MULTIPLE WHEEL CHAIR USERS WITH A CLEAR AREA OF 30"x42" ADJACENT TO THE 2-WAY EMERGENCY COMMUNICATION DEVICE.
- CALCULATIONS:
- FOR OCCUPANT LOAD PER FLOOR SEE MATRICES
 - FOR REQUIRED AND PROVIDED STAIR WIDTH SEE MATRICES FOR EACH FLOOR

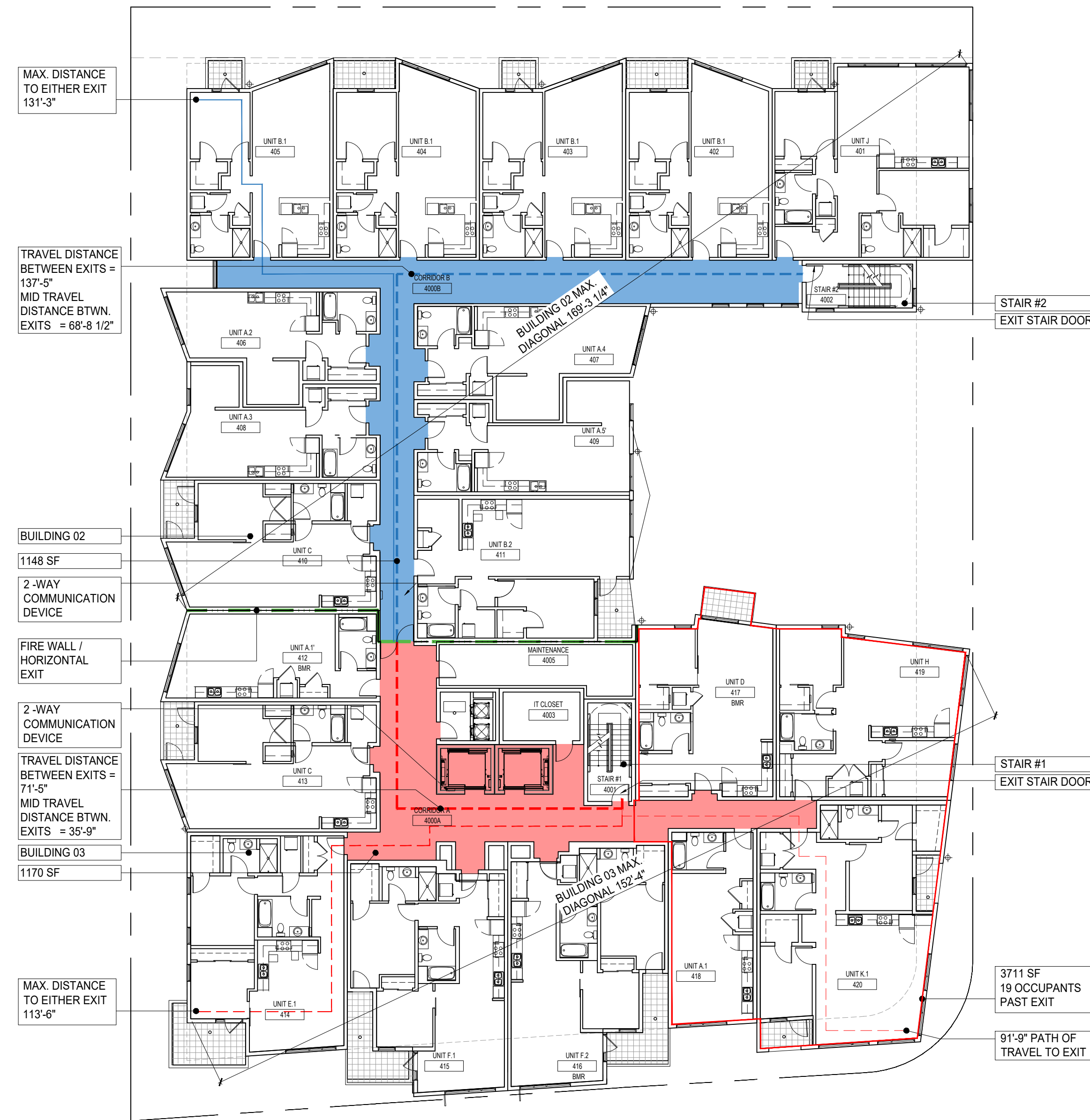
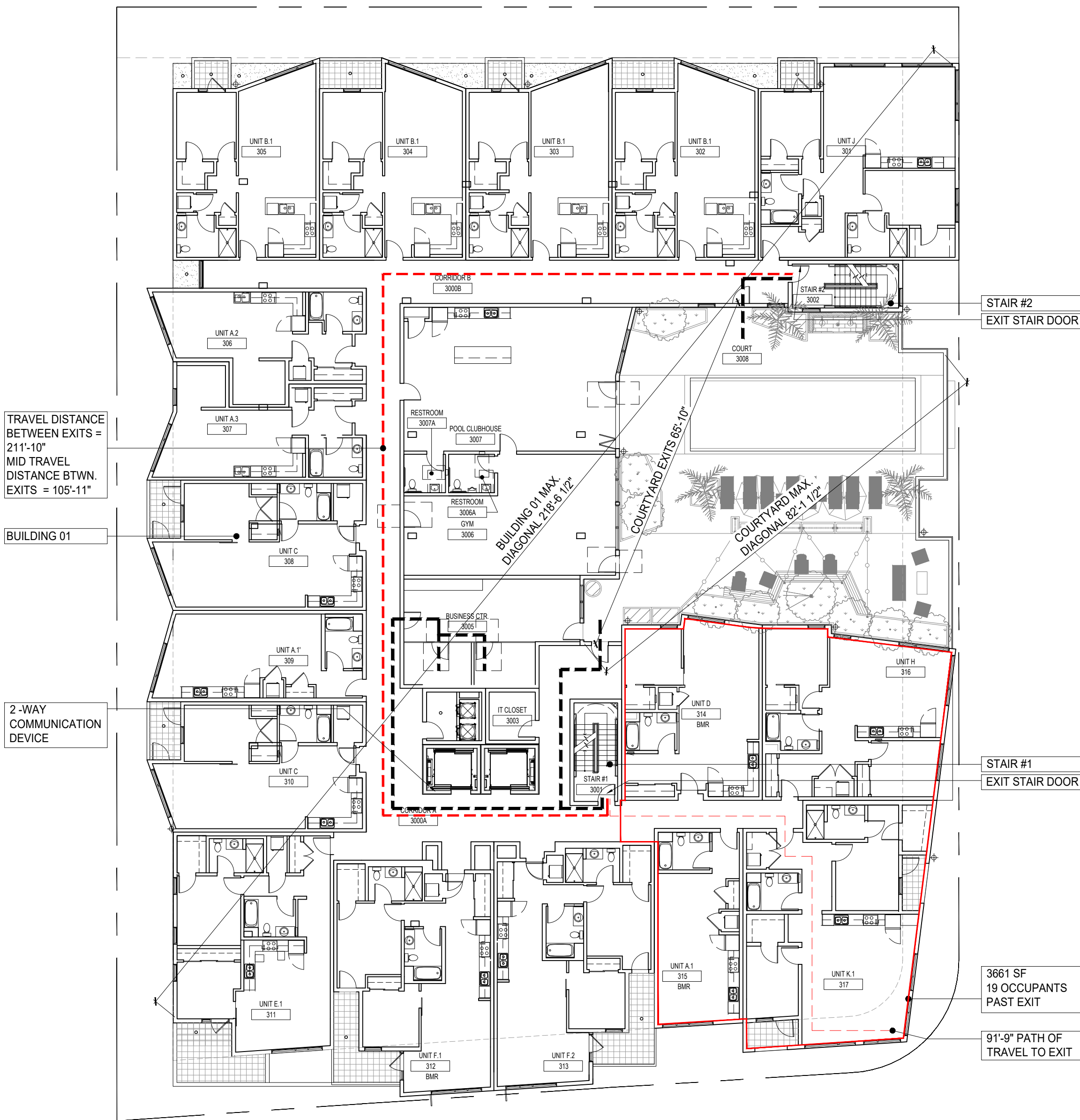
HORIZONTAL EXIT STANDPIPE

PER 2022 CBC 905.4 EXCEPTION #2 WHERE FLOOR AREAS ADJACENT TO A HORIZONTAL EXIT ARE REACHABLE FROM AN INTERIOR EXIT STAIR HOSE CONNECTION BY A 30-FOOT HOSE STREAM FROM A NOZZLE ATTACHED TO 100 FEET OF HOSE AS MEASURED ALONG THE PATH OF TRAVEL. A HOSE CONNECTION SHALL NOT BE REQUIRED AT THE HORIZONTAL EXIT.

PROPOSED PROJECT MEETS THAT EXCEPTION.

LEGEND

- TRAVEL DISTANCE BY BUILDING
- EGRESS PATH
- FIRE WALL / HORIZONTAL EXIT
- CORRIDOR BUILDING 02
- CORRIDOR BUILDING 03



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3705 HAVEN AVE
MENLO PARK, CA



3705 HAVEN AVE
MENLO PARK, CA

PROJECT NO. 21-07
PARCEL NO. 055170240

REV	DATE	DESCRIPTION
	04-14-2023	PLANNING & SB330 REV 2
	09-22-2023	PLANNING & SB330 REV 3
	03-20-2024	PLANNING & SB330 REV 4
	06-13-2024	PLANNING & SB330 REV 5
	07-26-2024	PLANNING & SB330 REV 6

CONTACT: TOBY LEVY

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SCALE: AS NOTED

EGRESS PLANS

G0.06B

1 EGRESS PLAN: THIRD FLOOR
1/16" = 1'-0"

2 EGRESS PLAN: FOURTH FLOOR
1/16" = 1'-0"



FIFTH FLOOR						
OCCUPANT LOAD						
Building 02						
Zone	Room ID	Room Name	Area	Function	Load Factor	# of Occupants
B5.1	5000B, 5002, 501-511	Residential Units, Etc	10,546	Residential	200	53
Total Occupant Load for Building 02						53
Building 03						
Zone	Room ID	Room Name	Area	Function	Load Factor	# of Occupants
CS.1	5000A, 5003, 5005, 512-519	Residential Units, Etc	9,616	Residential	200	49
CS.2	5006	Roof Deck	668	Unconcentrated Assembly	15	45
Total Occupant Load for Building 03						94
Total Horizontal Exit Refuge Area Occupant Load for Buildings 02+03						147
EXITING CALCULATIONS						
Building 02			Building 03			
Occupant Load			53	Occupant Load	94	
Exits Required			2	Exits Required	2	
Exits Provided			2	Exits Provided	2	
Egress Width Required (inch)			7.95	Egress Width Required (inch)	14.10	
Corridor Width Required			44"	Corridor Width Required	44"	
Corridor Width Provided			48"	Corridor Width Provided	48"	
Min Door Clr. Width Required			32"	Min Door Clr. Width Required	32"	
Min Door Clr. Width Provided			32"	Min Door Clr. Width Provided	32"	
Stair Width Required (inch)			44"	Stair Width Required (inch)	44"	
Stair Width Provided			44"	Stair Width Provided	44"	
Max. Building Diagonal			168'-4"	Max. Building Diagonal	159'-2"	
Required Dist. Between Exits			56'-2"	Required Dist. Between Exits	53'-1"	
Provided Dist. Between Exits			129'-10"	Provided Dist. Between Exits	62'-2"	
Max. Allowed Common Path of Egress Travel (2022 CBC 1006.2)			125'-0"	Max. Allowed Common Path of Egress Travel (2022 CBC 1006.2)	125'-0"	
Max. Provided Common Path of Egress Travel			61'-5"	Max. Provided Common Path of Egress Travel	76'-0"	
Max. Allowed Exit Access Travel Distance (2022 CBC 1017.2)			250'-0"	Max. Allowed Exit Access Travel Distance (2022 CBC 1017.2)	250'-0"	
Provided Travel Distance			126'-4"	Provided Travel Distance	102'-4"	

SIXTH FLOOR						
OCCUPANT LOAD						
Building 02						
Zone	Room ID	Room Name	Area	Function	Load Factor	# of Occupants
B6.1	6000B, 6002, 601-611	Residential Units, Etc	10,295	Residential	200	52
Total Occupant Load for Building 02						52
Building 03						
Zone	Room ID	Room Name	Area	Function	Load Factor	# of Occupants
C6.1	6000A, 6001, 6003, 6005, 612-619	Residential Units, Etc	9,264	Residential	200	47
Total Occupant Load for Building 03						47
Total Horizontal Exit Refuge Area Occupant Load for Buildings 02+03						99
EXITING CALCULATIONS						
Building 02			Building 03			
Occupant Load			52	Occupant Load	47	
Exits Required			2	Exits Required	2	
Exits Provided			2	Exits Provided	2	
Egress Width Required (inch)			7.80	Egress Width Required (inch)	7.05	
Corridor Width Required			44"	Corridor Width Required	44"	
Corridor Width Provided			48"	Corridor Width Provided	48"	
Min Door Clr. Width Required			32"	Min Door Clr. Width Required	32"	
Min Door Clr. Width Provided			32"	Min Door Clr. Width Provided	32"	
Stair Width Required (inch)			44"	Stair Width Required (inch)	44"	
Stair Width Provided			44"	Stair Width Provided	44"	
Max. Building Diagonal			160'-10"	Max. Building Diagonal	142'-5"	
Required Dist. Between Exits			53'-8"	Required Dist. Between Exits	47'-6"	
Provided Dist. Between Exits			129'-10"	Provided Dist. Between Exits	62'-2"	
Max. Allowed Common Path of Egress Travel (2022 CBC 1006.2)			125'-0"	Max. Allowed Common Path of Egress Travel (2022 CBC 1006.2)	125'-0"	
Max. Provided Common Path of Egress Travel			61'-5"	Max. Provided Common Path of Egress Travel	76'-0"	
Max. Allowed Exit Access Travel Distance (2022 CBC 1017.2)			250'-0"	Max. Allowed Exit Access Travel Distance (2022 CBC 1017.2)	250'-0"	
Provided Travel Distance			126'-4"	Provided Travel Distance	102'-4"	

HORIZONTAL EXIT DESCRIPTION AND CALCULATION

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- CALCULATIONS:
- FOR OCCUPANT LOAD PER FLOOR SEE MATRICES
 - FOR REQUIRED AND PROVIDED STAIR WIDTH SEE MATRICES FOR EACH FLOOR

HORIZONTAL EXIT STANDPIPE

PER 2022 CBC 905.4 EXCEPTION #2 WHERE FLOOR AREAS ADJACENT TO A HORIZONTAL EXIT ARE REACHABLE FROM AN INTERIOR EXIT STAIR HOSE CONNECTION BY A 30-FOOT HOSE STREAM FROM A NOZZLE ATTACHED TO 100 FEET OF HOSE AS MEASURED ALONG THE PATH OF TRAVEL, A HOSE CONNECTION SHALL NOT BE REQUIRED AT THE HORIZONTAL EXIT.

PROPOSED PROJECT MEETS THAT EXCEPTION.

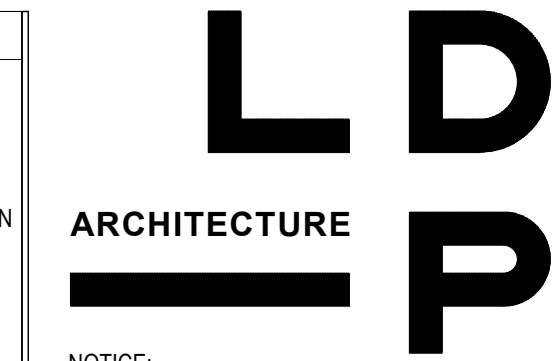
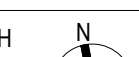
LEGEND

- TRAVEL DISTANCE BY BUILDING
- EGRESS PATH
- FIRE WALL / HORIZONTAL EXIT
- CORRIDOR BUILDING 02
- CORRIDOR BUILDING 03

PROJECT NORTH

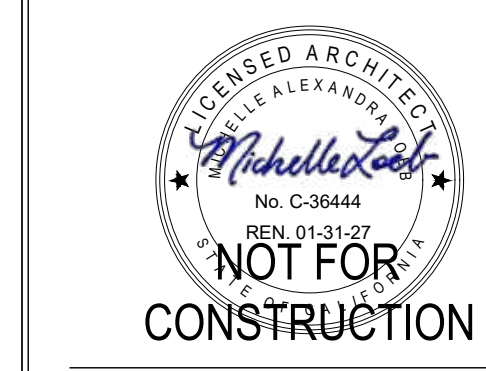


TRUE NORTH



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MENLO PARK, CA

PROJECT NO. 21-07
PARCEL NO. 055170240

REV	DATE	DESCRIPTION
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	07-26-2024	PLANNING & SB330 REV 6

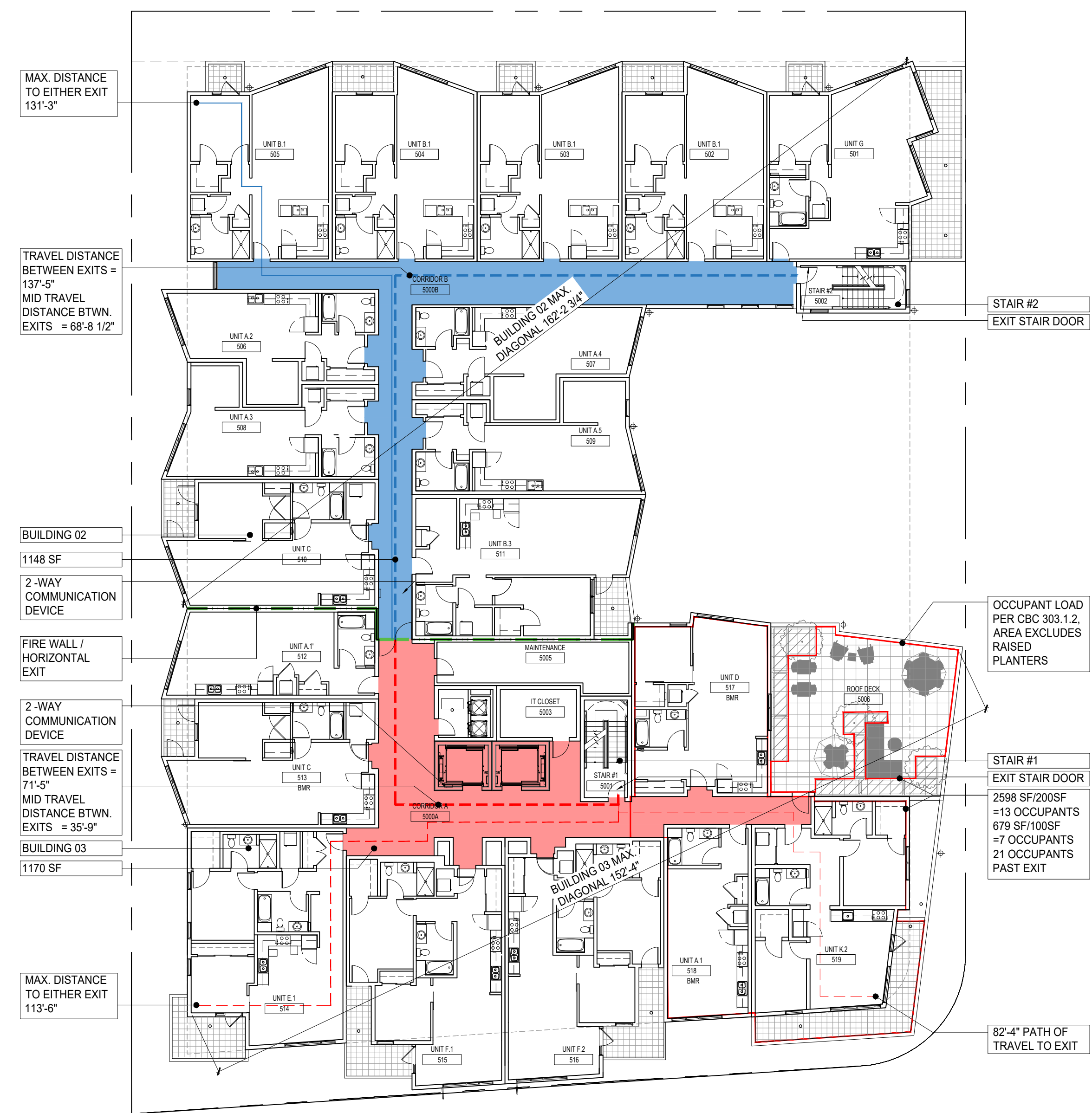
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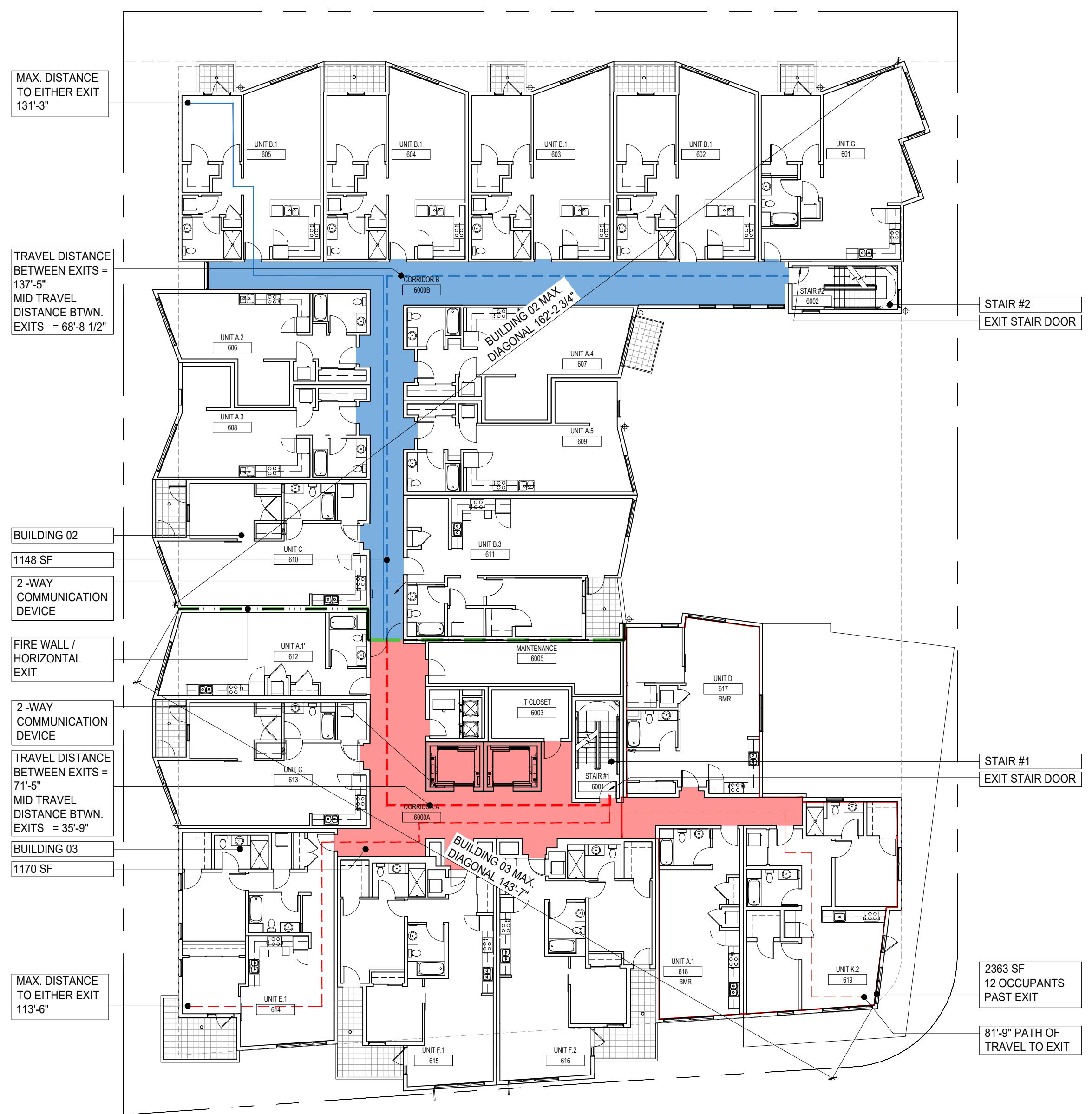
SCALE: AS NOTED

EGRESS PLANS

G0.06C



1 EGRESS PLAN: FIFTH FLOOR
1/16" = 1'-0"



2 EGRESS PLAN: SIXTH FLOOR
1/16" = 1'-0"

SEVENTH FLOOR						
OCCUPANT LOAD						
Building 02						
Zone	Room ID	Room Name	Area	Function	Load Factor	# of Occupants
B7.1	7000B, 7002, 701-711	Residential Units, Etc	10,250	Residential	200	52
Total Occupant Load for Building 02						52
Building 03						
Zone	Room ID	Room Name	Area	Function	Load Factor	# of Occupants
C7.1	7000A, 7001, 7003, 7005, 712-719	Residential Units, Etc	9,298	Residential	200	47
Total Occupant Load for Building 03						47
Total Horizontal Exit Refuge Area Occupant Load for Buildings 02+03						99
EXITING CALCULATIONS						
Building 02			Building 03			
Occupant Load			52	Occupant Load	47	
Exits Required			2	Exits Required	2	
Exits Provided			2	Exits Provided	2	
Egress Width Required (inch)			7.80	Egress Width Required (inch)	7.05	
Corridor Width Required			44"	Corridor Width Required	44"	
Corridor Width Provided			48"	Corridor Width Provided	48"	
Min Door Clr. Width Required			32"	Min Door Clr. Width Required	32"	
Min Door Clr. Width Provided			32"	Min Door Clr. Width Provided	32"	
Stair Width Required (inch)			44"	Stair Width Required (inch)	44"	
Stair Width Provided			44"	Stair Width Provided	44"	
Max. Building Diagonal			160'-7"	Max. Building Diagonal	144'-8"	
Required Dist. Between Exits			53'-7"	Required Dist. Between Exits	48'-3"	
Provided Dist. Between Exits			129'-10"	Provided Dist. Between Exits	62'-2"	
Max. Allowed Common Path of Egress Travel (2022 CBC 1006.2)			125'-0"	Max. Allowed Common Path of Egress Travel (2022 CBC 1006.2)	125'-0"	
Max. Provided Common Path of Egress Travel			61'-5"	Max. Provided Common Path of Egress Travel	76'-0"	
Max. Allowed Exit Access Travel Distance (2022 CBC 1017.2)			250'-0"	Max. Allowed Exit Access Travel Distance (2022 CBC 1017.2)	250'-0"	
Provided Travel Distance			126'-4"	Provided Travel Distance	102'-4"	

EIGHTH FLOOR						
OCCUPANT LOAD						
Building 02						
Zone	Room ID	Room Name	Area	Function	Load Factor	# of Occupants
B8.1	8000B, 801-807	Residential Units, Etc	7,837	Residential	200	40
B8.2	8006	Roof Deck	1,607	Unconcentrated Assembly	15	108
Total Occupant Load for Building 02						148
Building 03						
Zone	Room ID	Room Name	Area	Function	Load Factor	# of Occupants
C8.1	8000A, 8001, 8003, 8005, 808-812	Residential Units, Etc.	6,134	Residential	200	31
Total Occupant Load for Building 03						31
Total Horizontal Exit Refuge Area Occupant Load for Buildings 02+03						179
EXITING CALCULATIONS						
Building 02			Building 03			
Occupant Load			148	Occupant Load	31	
Exits Required			2	Exits Required	2	
Exits Provided			2	Exits Provided	2	
Egress Width Required (inch)			22.20	Egress Width Required (inch)	4.65	
Corridor Width Required			44"	Corridor Width Required	44"	
Corridor Width Provided			48"	Corridor Width Provided	48"	
Min Door Clr. Width Required			32"	Min Door Clr. Width Required	32"	
Min Door Clr. Width Provided			32"	Min Door Clr. Width Provided	32"	
Stair Width Required (inch)			44"	Stair Width Required (inch)	44"	
Stair Width Provided			44"	Stair Width Provided	44"	
Max. Building Diagonal			160'-7"	Max. Building Diagonal	117'-3"	
Required Dist. Between Exits			53'-7"	Required Dist. Between Exits	39'-1"	
Provided Dist. Between Exits			SEE PLN	Provided Dist. Between Exits	62'-2"	
Max. Allowed Common Path of Egress Travel (2022 CBC 1006.2)			125'-0"	Max. Allowed Common Path of Egress Travel (2022 CBC 1006.2)	125'-0"	
Max. Provided Common Path of Egress Travel			65'-3"	Max. Provided Common Path of Egress Travel	N/A	
Max. Allowed Exit Access Travel Distance (2022 CBC 1017.2)			250'-0"	Max. Allowed Exit Access Travel Distance (2022 CBC 1017.2)	250'-0"	
Provided Travel Distance			131'-1"	Provided Travel Distance	88'-11"	

HORIZONTAL EXIT DESCRIPTION AND CALCULATION

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- CALCULATIONS:
- FOR OCCUPANT LOAD PER FLOOR SEE MATRICES
 - FOR REQUIRED AND PROVIDED STAIR WIDTH SEE MATRICES FOR EACH FLOOR

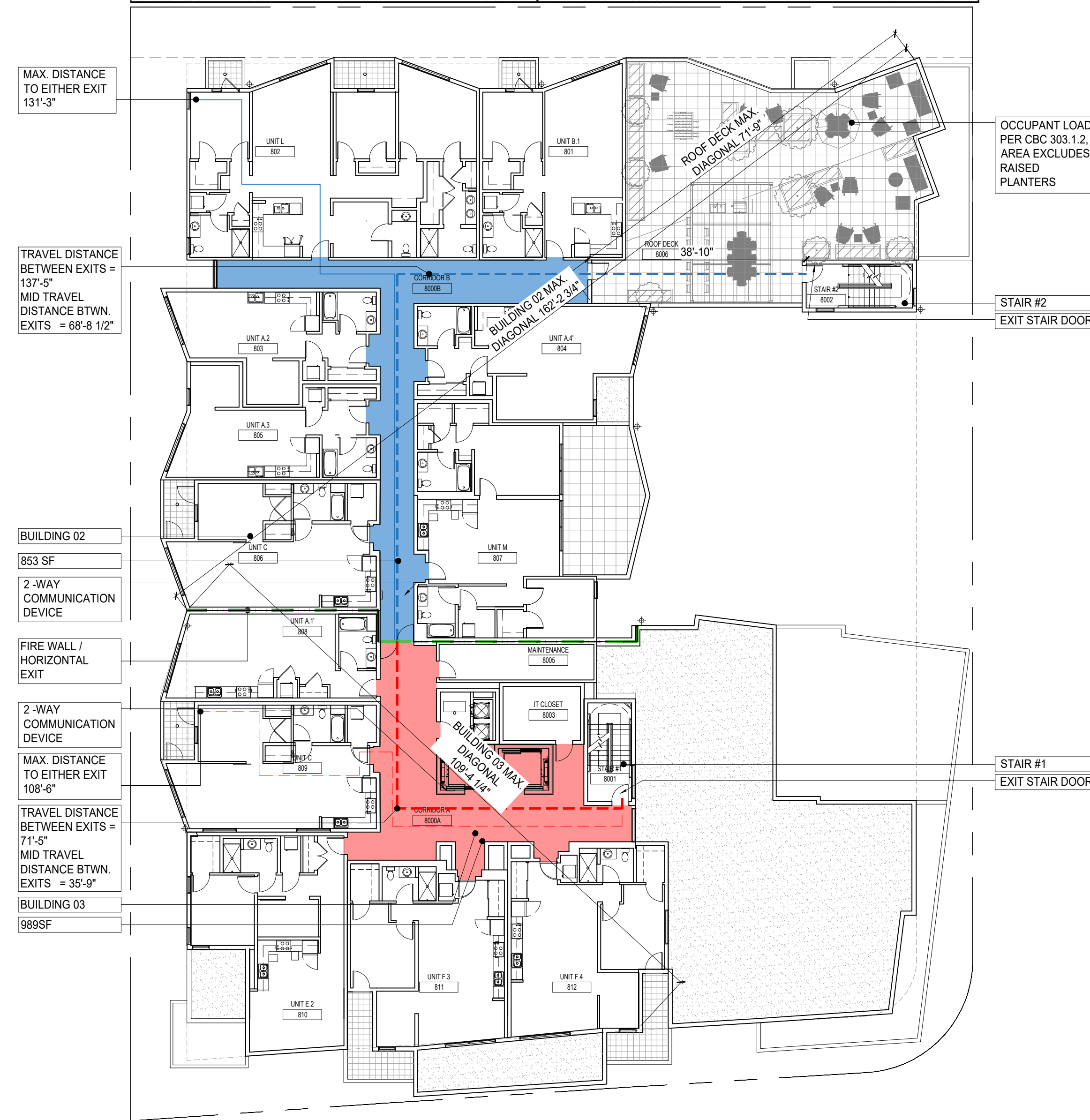
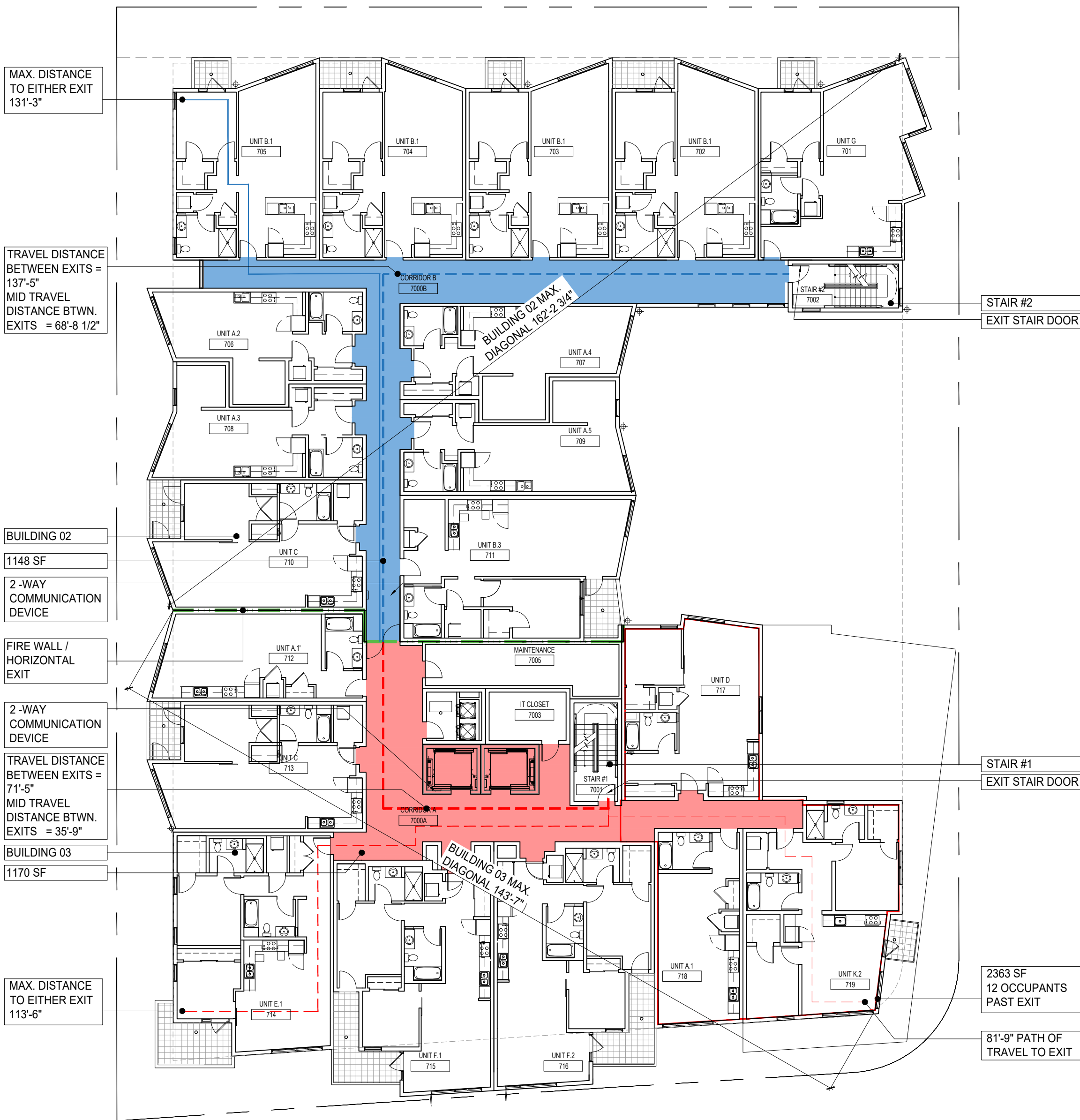
HORIZONTAL EXIT STANDPIPE

PER 2022 CBC 905.4 EXCEPTION #2 WHERE FLOOR AREAS ADJACENT TO A HORIZONTAL EXIT ARE REACHABLE FROM AN INTERIOR EXIT STAIR HOSE CONNECTION BY A 30-FOOT HOSE STREAM FROM A NOZZLE ATTACHED TO 100 FEET OF HOSE AS MEASURED ALONG THE PATH OF TRAVEL. A HOSE CONNECTION SHALL NOT BE REQUIRED AT THE HORIZONTAL EXIT.

PROPOSED PROJECT MEETS THAT EXCEPTION.

LEGEND

- TRAVEL DISTANCE BY BUILDING
- EGRESS PATH
- FIRE WALL / HORIZONTAL EXIT
- CORRIDOR BUILDING 02
- CORRIDOR BUILDING 03



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PROJECT NO. 21-07
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REV	DATE	DESCRIPTION
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	06-13-2024	PLANNING & SB330 REV 5
	07-26-2024	PLANNING & SB330 REV 6

CONTACT: TOBY LEVY

(415) 777-0561 P
(415) 777-5117 F

SCALE: AS NOTED

EGRESS PLANS

G0.06D

1 EGRESS PLAN: SEVENTH FLOOR
1/16" = 1'-0"

2 EGRESS PLAN: EIGHTH FLOOR
1/16" = 1'-0"



ACCESSIBILITY NOTES

1. ACCESSIBLE PATH OF TRAVEL (P.O.T.) AS INDICATED ON PLANS IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1/2" IF BEVELED AT 1:2 MAX. SLOPE, OR VERTICAL LEVEL CHANGES NOT EXCEEDING 1/4" MAX. ALL ACCESSIBLE ROUTES OF TRAVEL TO BE AT LEAST 44" WIDE. SURFACE IS STABLE, FIRM & SLIP RESISTANT. CROSS SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5% U.O.N.
2. WHEN THE SLOPE IN THE DIRECTION OF TRAVEL OF ANY WALK EXCEED 1:20, IT SHALL COMPLY WITH THE PROVISIONS FOR PEDESTRIAN RAMPS.
3. WALKS, SIDEWALKS AND PEDESTRIAN WAYS SHALL BE FREE OF GRATINGS WHERE EVER POSSIBLE. FOR GRATINGS LOCATED IN THE SURFACE OF THESE AREAS, GRID OPENINGS SHALL BE LIMITED TO 1/2" IN THE DIRECTION OF TRAVEL FLOW.
4. SURFACES WITH A SLOPE OF LESS THAN 6% GRADIENT SHALL BE AT LEAST AS SLIP RESISTANT AS THAT DESCRIBED AS A MEDIUM SALT FINISH AND HEAVY BROOM FINISH FOR SLOPES GREATER THAN 6%.
5. ACCESSIBLE ROUTES OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80".
6. SEE G1 SERIES FOR TYPICAL ACCESSIBILITY DETAILS.
7. ALL REQUIRED ACCESSIBLE DOORS TO HAVE A 32" CLEAR OPENING MEASURED WITH THE DOOR POSITIONED AT AN ANGLE OF 90 DEGREES FROM ITS CLOSED POSITION.

LEGEND

- PROPERTY LINE
- - - - - ACCESSIBLE PATH OF TRAVEL (P.O.T.)



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	06-13-2024	PLANNING & SB330 REV 5
	07-26-2024	PLANNING & SB330 REV 6

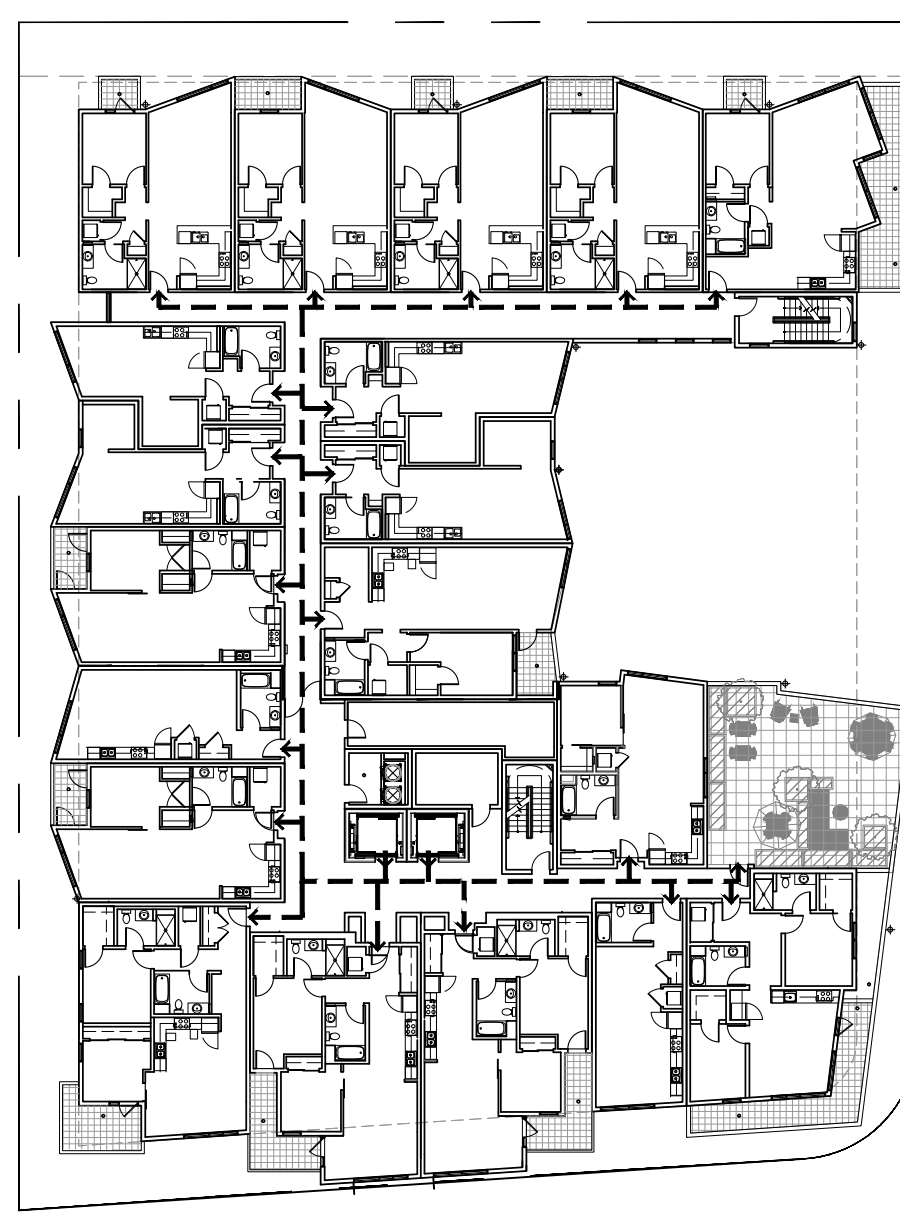
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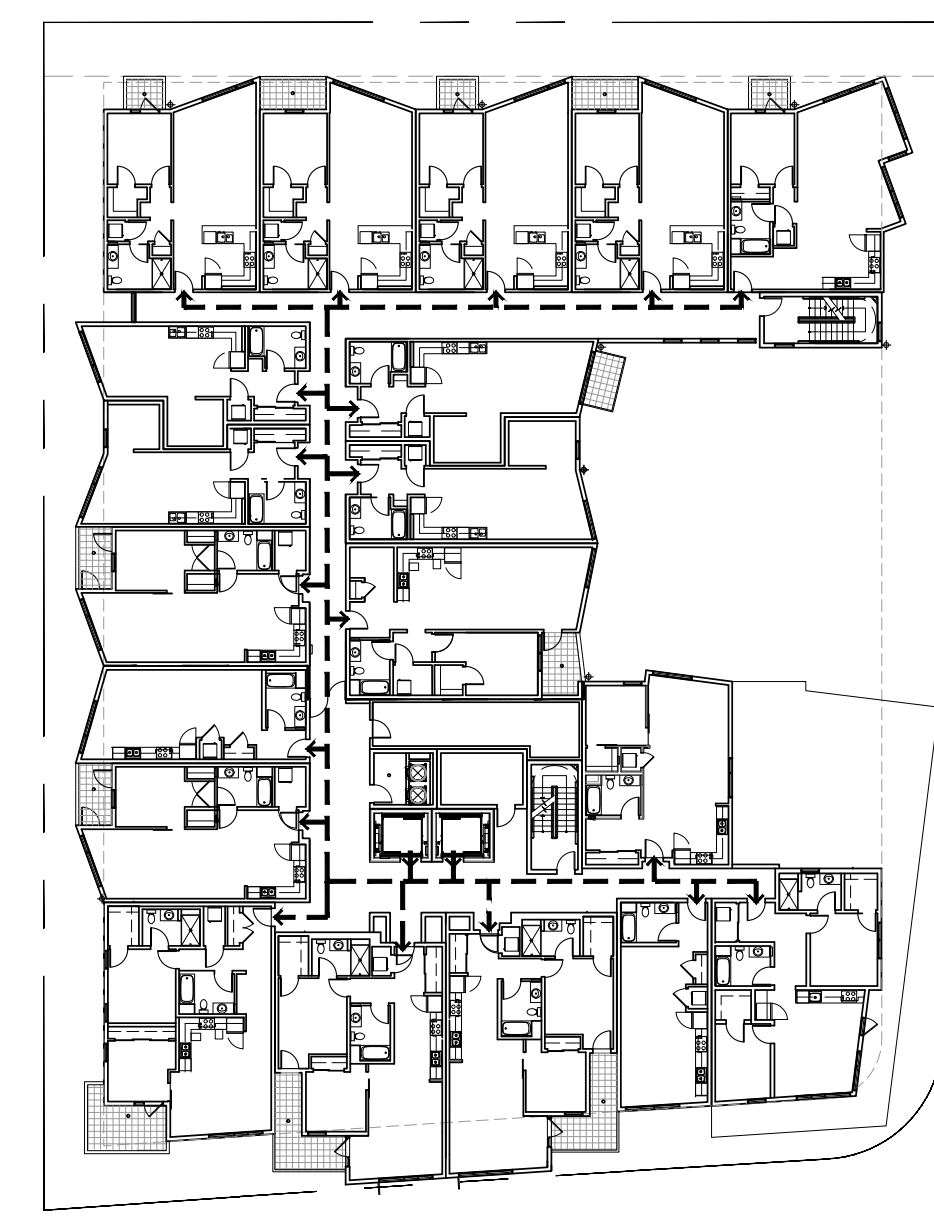
SCALE: AS NOTED

**ACCESS
PLANS**

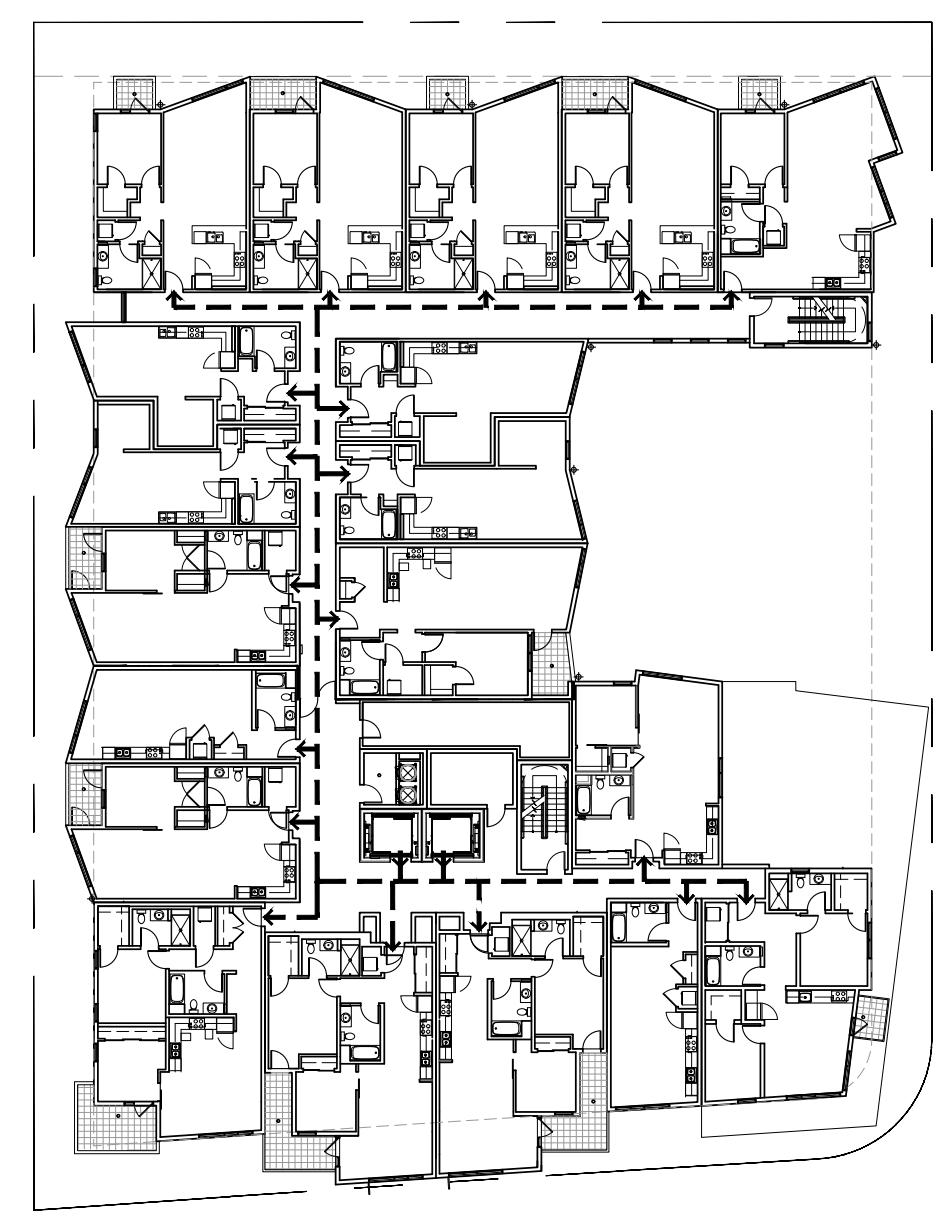
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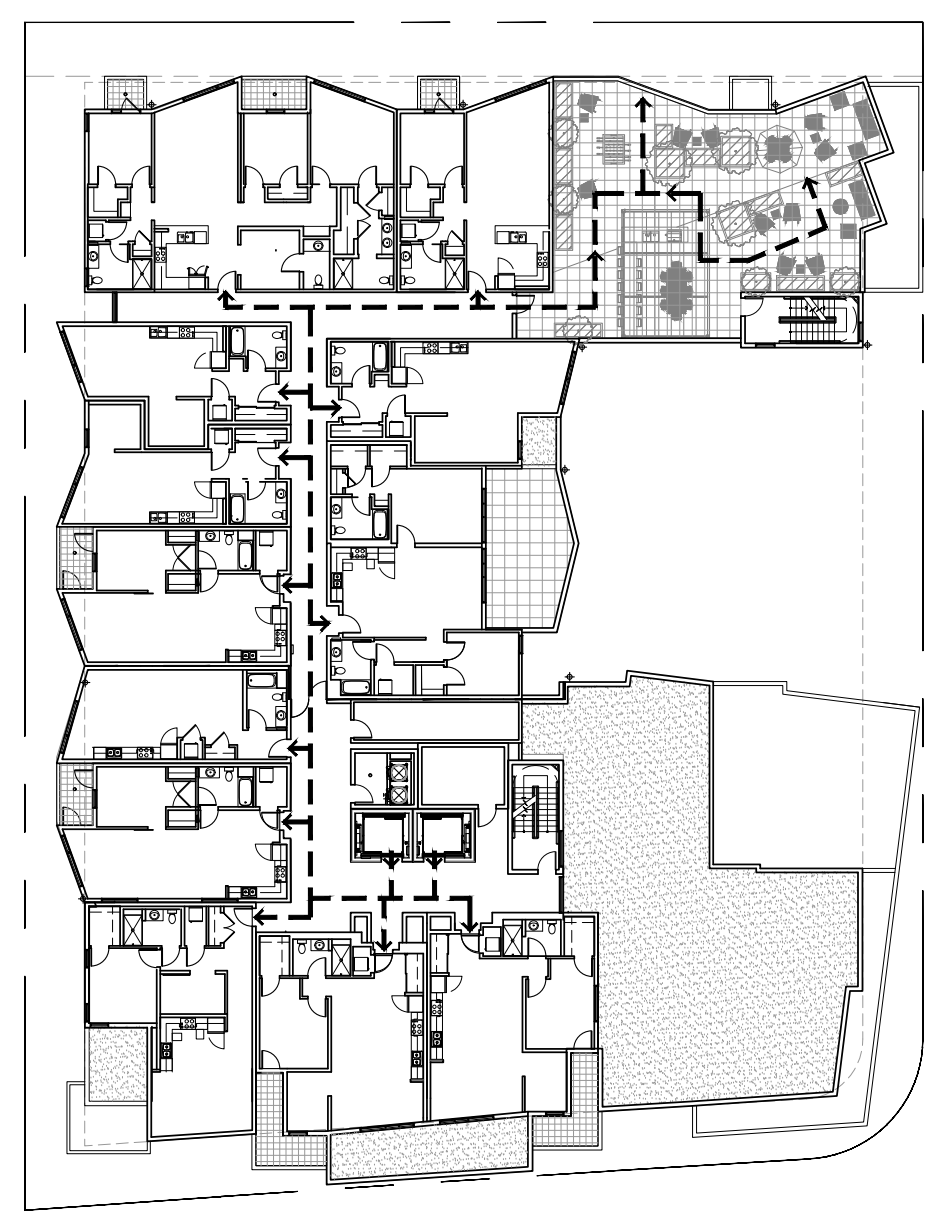
5 BUILDING AREA: FIFTH FLOOR
1/32" = 1'-0"



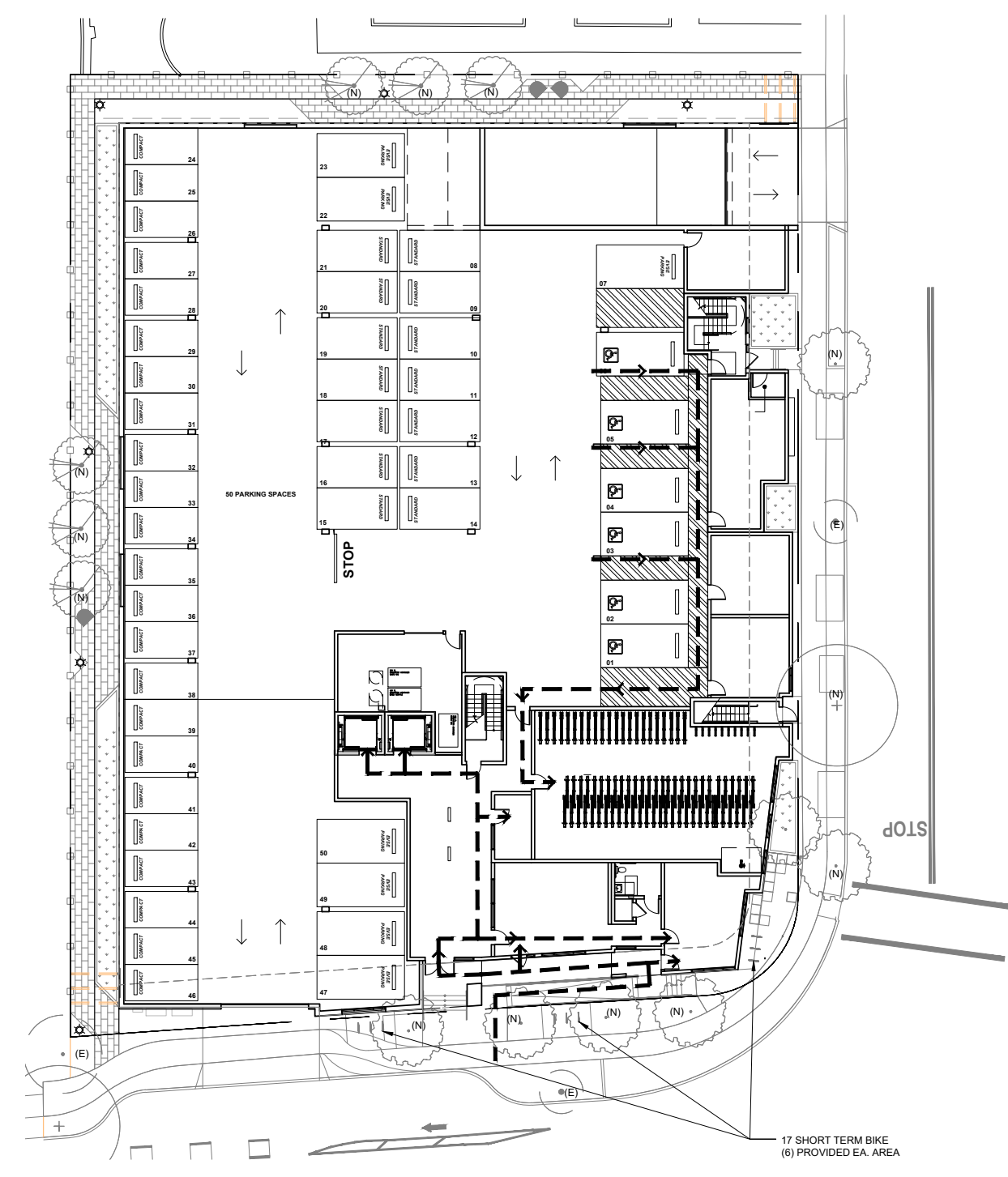
6 BUILDING AREA: SIXTH FLOOR
1/32" = 1'-0"



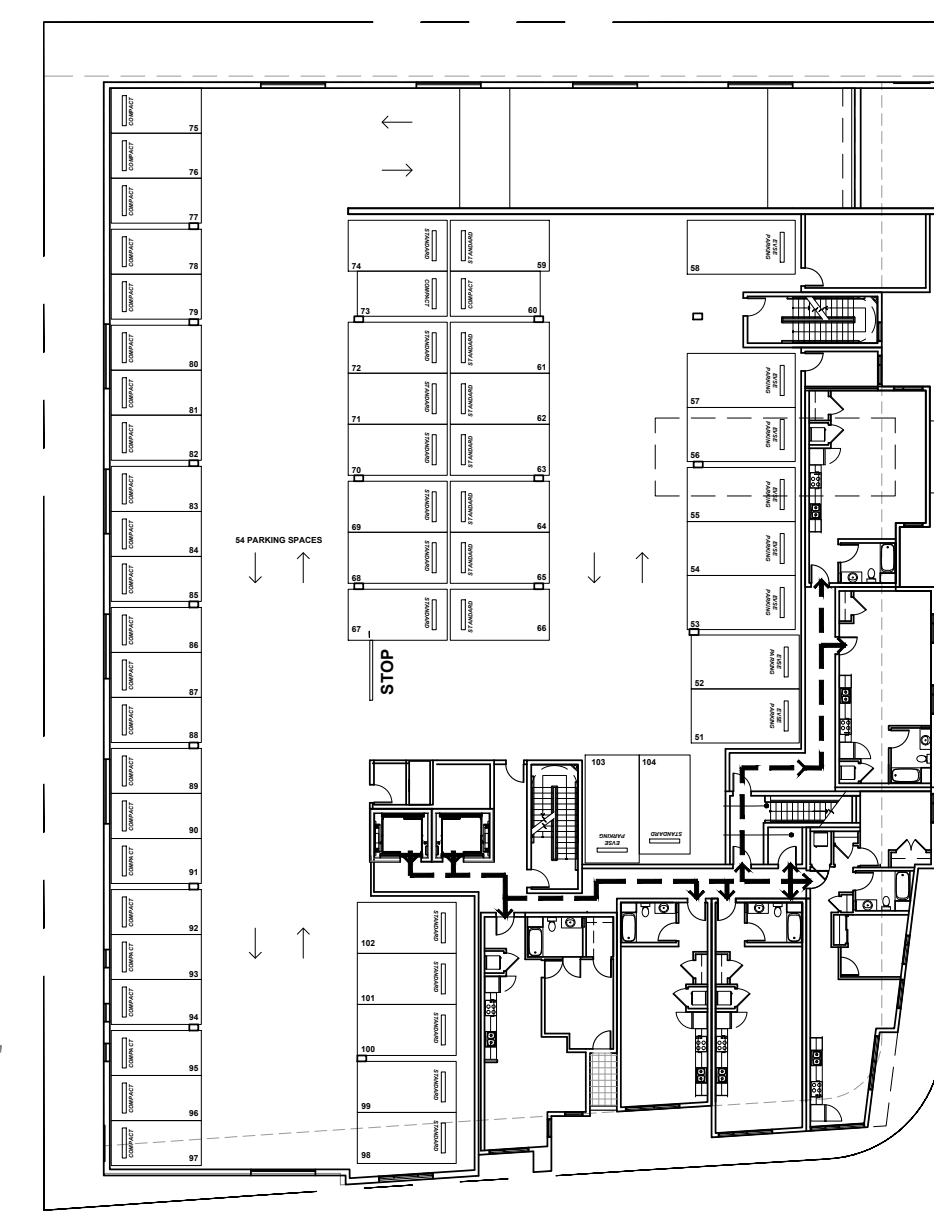
7 BUILDING AREA: SEVENTH FLOOR
1/32" = 1'-0"



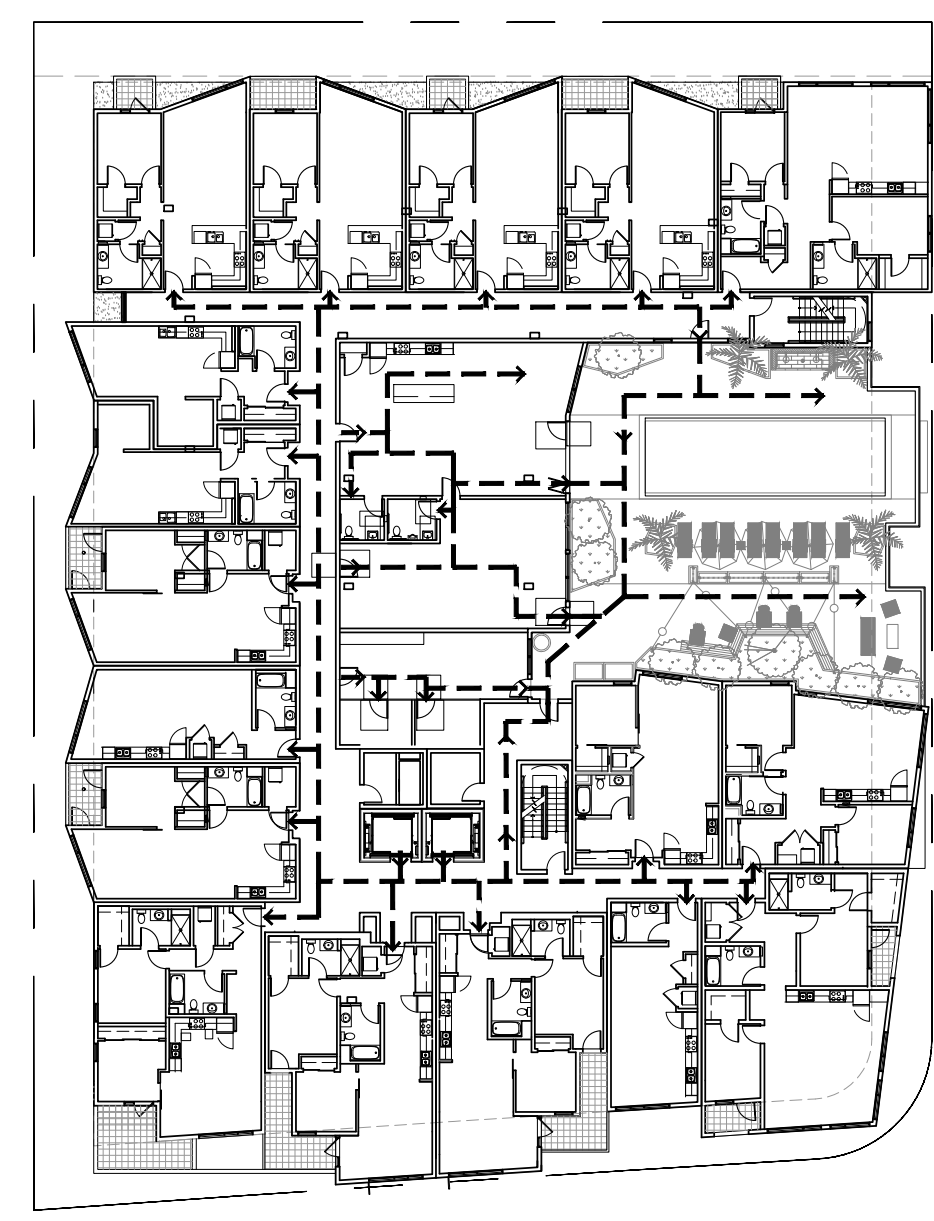
8 BUILDING AREA: ROOF
1/32" = 1'-0"



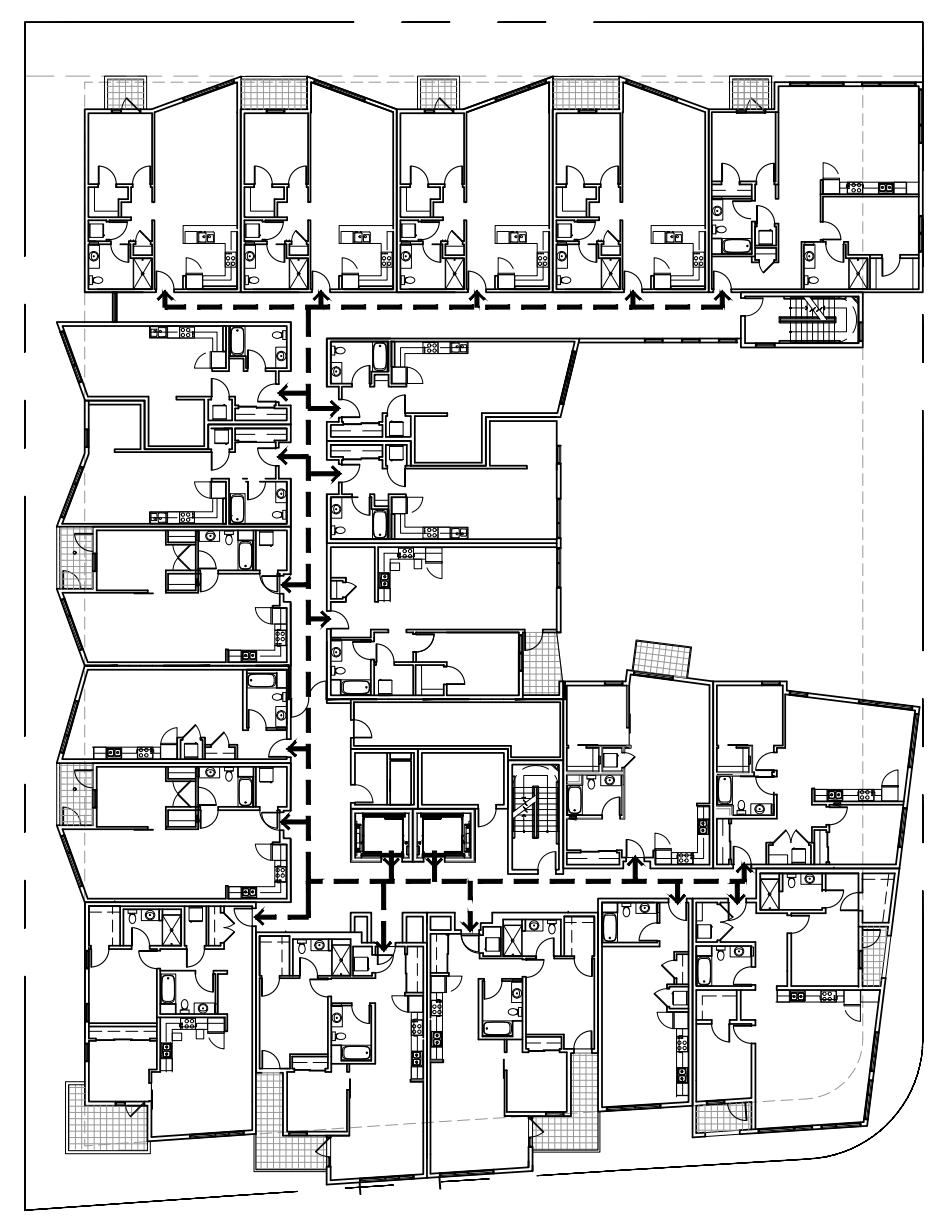
1 BUILDING AREA: GROUND FLOOR
1/32" = 1'-0"



2 BUILDING AREA: SECOND FLOOR
1/32" = 1'-0"



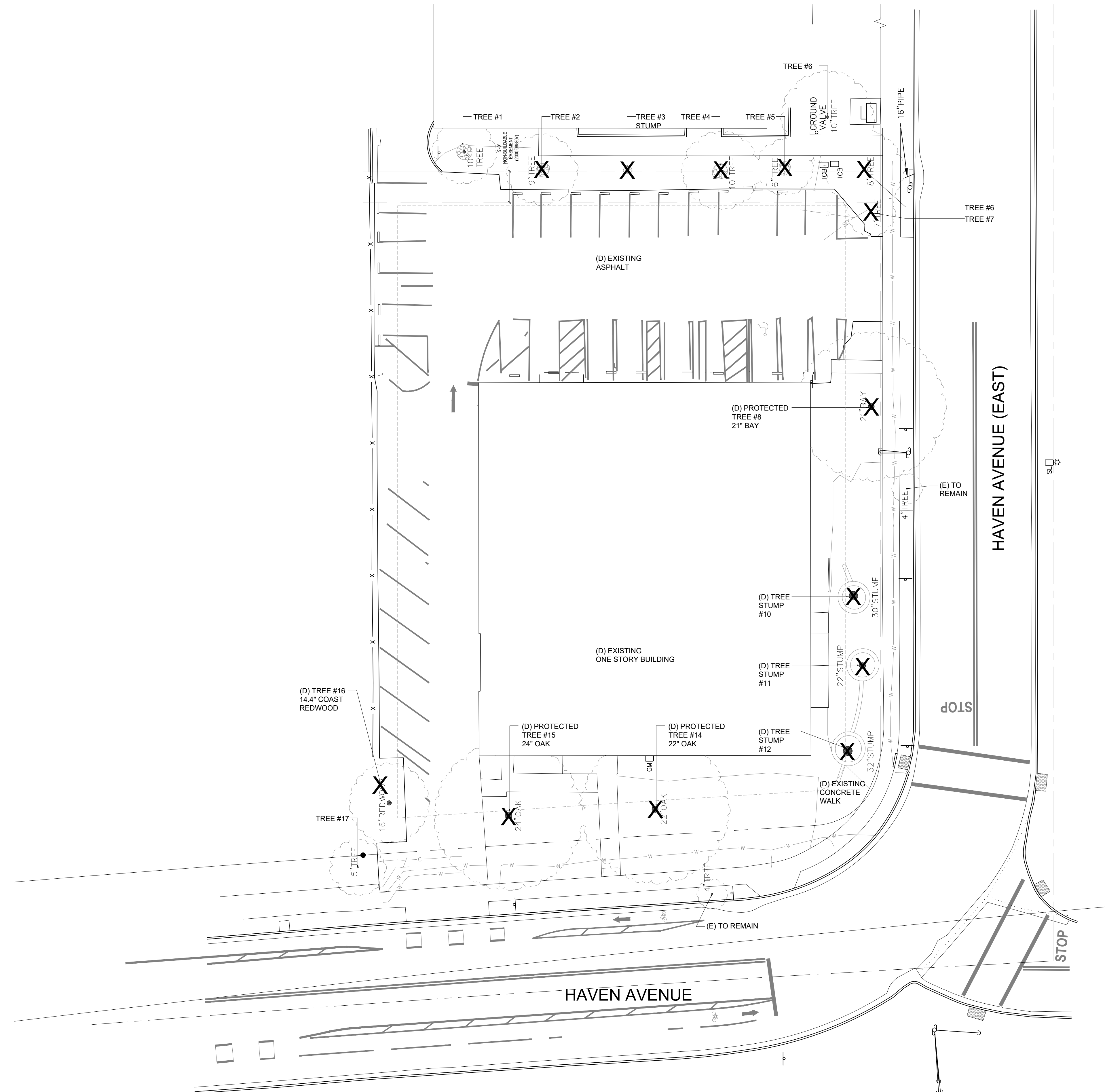
3 BUILDING AREA: THIRD FLOOR
1/32" = 1'-0"



4 BUILDING AREA: FOURTH FLOOR
1/32" = 1'-0"

GENERAL NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND/OR PROTECTION OF THE EXISTING ITEMS AS NOTED IN THIS PLAN.
2. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGES.
3. CONTRACTOR IS TO DISPOSE OF ALL MATERIAL RESULTING FROM PREVIOUS AND CURRENT DEMOLITION IN ACCORDANCE WITH ALL LOCAL, STATE, AND/OR FEDERAL LAWS.
4. THE CONTRACTOR IS CAUTIONED TO LOCATE ALL EXISTING UTILITIES AND CONFLICTS. CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY CONSTRUCTION ACTIVITY IN ORDER TO FIELD VERIFY EXISTING UTILITY INFORMATION.
5. LOCATION OF EXISTING ON-SITE UNDERGROUND UTILITIES HAVE NOT BEEN SURVEYED. EXACT LOCATIONS OF ALL UTILITIES MUST BE LOCATED IN THE FIELD BY THE CONTRACTOR. PROTECT ALL EXISTING UTILITIES IN PLACE.
6. CONTRACTOR TO CAP EXISTING WATER LINES AT THE PROPERTY LINE FOR FUTURE USE. CONTRACTOR TO VERIFY LOCATION, SIZE AND DEPTH AND PROVIDE TO ENGINEER.
7. CONTRACTOR TO PROTECT EXISTING STREET LIGHTS & POSTS, TRAFFIC SIGNALS & POSTS, TRAFFIC CONTROL DEVICES, SIGNS AND UTILITY BOXES IN THE SIDEWALK, UNLESS OTHERWISE NOTED.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING DEMOLITION PERMITS AS REQUIRED FROM THE CITY OF OAKLAND, OR ANY OTHER AGENCY HAVING JURISDICTION.
9. CONTRACTOR SHALL FOLLOW ALL JURISDICTIONAL AIR QUALITY AND WASTE/RECYCLING REQUIREMENTS.



**3705 HAVEN AVE
MENLO PARK, CA**



3705 HAVEN AVE
MENLO PARK, CA

PROJECT NO. 21-07
PARCEL NO. 055170240

REV	DATE	DESCRIPTION
	04-14-2023	PLANNING & SB330 REV 2
	09-22-2023	PLANNING & SB330 REV 3
	03-20-2024	PLANNING & SB330 REV 4
	06-13-2024	PLANNING & SB330 REV 5
	07-26-2024	PLANNING & SB330 REV 6

CONTACT: TOBY LEVY

(415) 777-0561 P
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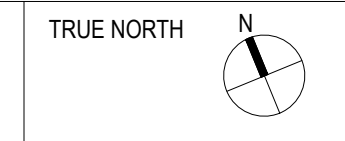
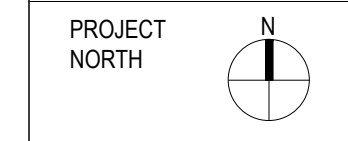
SCALE: AS NOTED

**SITE PLAN
EXISTING /
DEMOLITION**

A1.00

LEGEND

- x - x - x - x - x - FENCE
- - - - - PROPERTY LINE
- X TREE TO BE REMOVED, SEE L-4 FOR MORE INFORMATION





3705 HAVEN AVE
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CONTACT: TOBY LEVY

(415) 777-0561 P
(415) 777-5117 F

SCALE:
AS NOTED

**SITE PLAN
PROPOSED**

A1.01

GENERAL NOTES

- SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
- SEE G1 SERIES FOR ADDITIONAL CLEARANCES & DETAIL NOT SHOWN
- SEE A3 SERIES FOR LOCATION OF EXTERIOR WALL FINISH TRANSITIONS
- SEE A5 SERIES FOR UNIT DIMENSIONS, UNIT WALL TYPES, UNIT DOOR TAGS AND UNIT REFLECTED CEILING PLANS
- SEE A8 SERIES FOR WALL, FLOOR & ROOF ASSEMBLIES
- SEE A9 SERIES FOR DOOR, WINDOW & FINISH SCHEDULES
- SEE A10 SERIES FOR TYPICAL FOUNDATION DETAILS
- SEE A11 SERIES FOR GENERAL ACOUSTICAL DETAILS
- PROVIDE 1 HOUR CONSTRUCTION WITH SOUND INSULATION BETWEEN RESIDENTIAL UNITS AND BETWEEN RESIDENTIAL UNITS AND PUBLIC AREAS (50 STC MIN.) PER 2016 CBC SECTION 1206.
- CONTRACTOR TO PROVIDE SOLID & CONTINUOUS BACKING FOR ALL WALL MTD. FIXTURES, ACCESSORIES, MILLWORK, EQUIPMENT RACKS, SHELVING, ETC. ALL BLOCKING TO BE SAME GAUGE AS FRAMING OR GREATER.
- EXHAUST SHAFTS SHALL COMPLY WITH 2022 CBC SECTION 713, PROTECTED BY APPROVED FIRE DAMPERS, S.M.D. FOR MORE INFORMATION.
- ALL PENETRATIONS SHALL CONFORM PER 2022 CBC SECTION 714; SEE SHEET A11 SERIES FOR MORE INFORMATION
- ALL HABITABLE ROOMS SHALL BE HEATED PER 2022 CBC 1203
- ALL UNITS TO HAVE UNIT ENTRY SIGNAGE
- PROVIDE FLOOR DRAINS, SLOPE 1/4" FOOT.
- PAINT ALL EXPOSED MECHANICAL, PLUMBING, ELECTRICAL AND FIRE LINES THROUGHOUT
- ALL STRUCTURAL COLUMNS & POSTS, AND THEIR CONNECTION TO OTHER STRUCTURAL MEMBERS, ARE TO BE FIRE RATED. IF COLUMNS & POSTS ARE WITHIN WALLS, COLUMNS & POSTS TO BE INDIVIDUALLY ENCASED IN GYP. BD. IF COLUMN & POSTS ARE EXPOSED, COLUMNS & POSTS TO BE SPRAYED WITH INTUMESCENT PAINT. SEE A8 SERIES FOR ADDITIONAL DETAILS.
- 5 LB. CLASS ABC FIRE EXTINGUISHER SPACED SO THAT EVERY INTERIOR SPACE IS WITHIN 75' TO AN EXTINGUISHER. CABINET TO NOT PROTRUDE MORE THAN 4" INTO WALKWAYS. SEE A11 SERIES FOR RECESS CABINET INSTALLATION DETAIL
- BUILDING IS REQUIRED TO MEET 2022 CBC SECTION 1206 SOUND TRANSMISSION REQUIREMENTS.

SHEET NOTES

- REPLACE (E) SIDEWALK CONCRETE, CURB & GUTTER; S.C.D. & S.L.D.
- PROPERTY LINE; S.C.D.
- (N) CURB CUT; S.C.D.
- (A) (N) STREET TREE; S.L.D.
- (E) STREET TREE TO REMAIN; S.L.D.
- (N) PAVING; TYP. THROUGHOUT, S.L.D.
- (N) LANDSCAPING; TYP. THROUGHOUT, S.L.D.
- (N) FENCING; TYP. THROUGHOUT, S.L.D.
- BUILDING INTERCOM SYSTEM; S.E.D.
- (N) ENTRY STAIRS & RAMP; S.L.D.
- SHORT TERM BIKE PARKING; S.L.D.
- LONG TERM BIKE PARKING; S.L.D.
- 42" GUARD
- FLOOR/ROOF ABOVE, TYP.
- BUILDING EDGE BELOW, TYP.
- ROOF, SLOPE MIN. 1/4" PER FT TO DRAIN. SEE A8 SERIES
- NO ROOF OPENINGS WITHIN 4' OF FIREWALL. ALL ROOF SHEATHING WITHIN 4' OF FIREWALL TO BE FRT
- OCCUPIABLE DECK; S.L.D.
- NON-OCCUPIABLE ROOF
- MECHANICAL & PLUMBING EQUIPMENT; S.M.D. & S.P.D.
- ELECTRICAL METERS; S.E.D.
- GSM GUTTER, PAINT; S.P.D.
- GSM DOWNSPOUT, PAINT; S.P.D.
- RECESSED FIRE EXTINGUISHER 5LB. CLASS ABC. SEE DETAIL 19/A11.04
- 2-WAY EMERGENCY COMMUNICATION SYSTEM; WIRING IN 2 HR. RATED CONDUIT
- MAILBOX AND PACKAGE SYSTEM

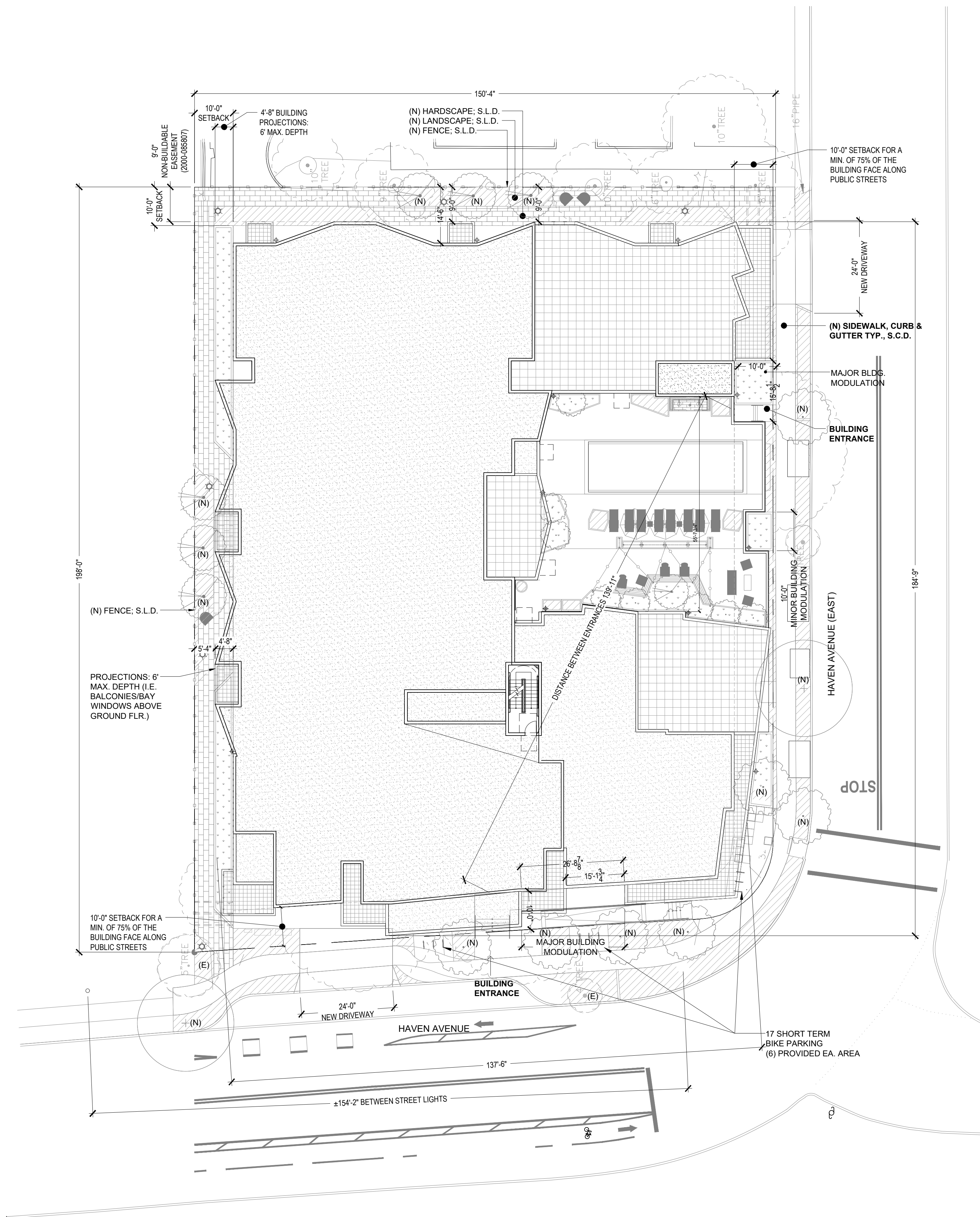
LEGEND

---	PROPERTY LINE	○	DRAIN
---	1-HR. FIRE RATED WALL	⊕	DOWNSPOUT
---	2-HR. FIRE RATED WALL	→	ROOF SLOPE
---	3-HR. FIRE RATED WALL	⊠	WALL ASSEMBLY, SEE A8 SERIES
---	NON-OCCUPIABLE ROOF		
---	ROOF PAVERS, OCCUPIED ROOF; SEE A2 SERIES		
---	HARDSCAPE AREA, S.L.D.	---	ACCESSIBLE DRIVE AISLE, 8'-2" MIN. VERTICAL CLR.
---	LANDSCAPE AREA, S.L.D.		

DIMENSION NOTES

- WALL FRAMING: ALL DIMENSIONS ARE TO FACE OF STUD, U.O.N.
- SEE ENLARGED PLANS/DETAILS FOR DIMENSIONS NOT SHOWN HERE.

PROJECT NORTH		TRUE NORTH	
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3705 HAVEN AVE
MENLO PARK, CA

PROJECT NO. 21-07
PARCEL NO. 055170240

REV | DATE | DESCRIPTION

04-14-2023	PLANNING & SB330 REV 2
09-22-2023	PLANNING & SB330 REV 3
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06-13-2024	PLANNING & SB330 REV 5
07-26-2024	PLANNING & SB330 REV 6

CONTACT: TOBY LEVY

(415) 777-0561 P
(415) 777-5117 F

SCALE:
AS NOTED

**GROUND
FLOOR PLAN**

A2.01

GENERAL NOTES

- SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
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SHEET NOTES

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- PROPERTY LINE; S.C.D.
- (N) CURB CUT; S.C.D.
- (N) STREET TREE; S.L.D.
- (E) STREET TREE TO REMAIN; S.L.D.
- (N) PAVING; TYP. THROUGHOUT, S.L.D.
- (N) LANDSCAPING; TYP. THROUGHOUT, S.L.D.
- (N) FENCING; TYP. THROUGHOUT, S.L.D.
- BUILDING INTERCOM SYSTEM; S.E.D.
- (N) ENTRY STAIRS & RAMP; S.L.D.
- SHORT TERM BIKE PARKING; S.L.D.
- LONG TERM BIKE PARKING; S.L.D.
- 42" GUARD
- FLOOR/ROOF ABOVE, TYP.
- BUILDING EDGE BELOW, TYP.
- ROOF, SLOPE MIN. 1/4" PER FT TO DRAIN; SEE A8 SERIES
- NO ROOF OPENINGS WITHIN 4' OF FIREWALL. ALL ROOF SHEATHING WITHIN 4' OF FIREWALL TO BE FR
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- NON-OCCUPIABLE ROOF
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- ELECTRICAL METERS; S.E.D.
- GSM GUTTER, PAINT; S.P.D.
- GSM DOWNSPOUT, PAINT; S.P.D.
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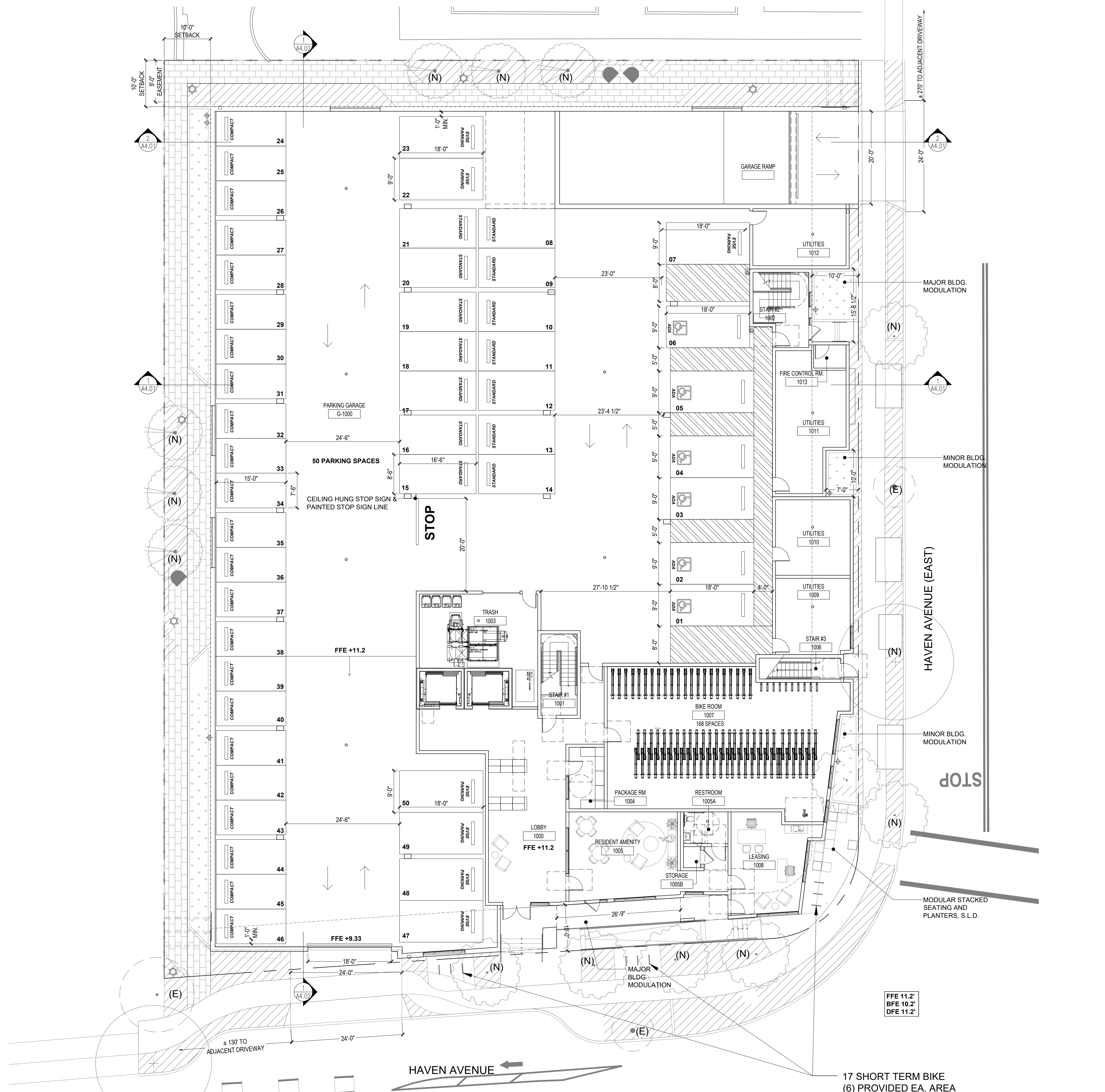
LEGEND

---	PROPERTY LINE	○	DRAIN
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DIMENSION NOTES

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- SEE ENLARGED PLANS/DETAILS FOR DIMENSIONS NOT SHOWN HERE.

PROJECT NORTH		TRUE NORTH	
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1 GROUND FLOOR PLAN
3/32" = 1'-0"



3705 HAVEN AVE
MENLO PARK, CA

PROJECT NO. 21-07
PARCEL NO. 055170240

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07-26-2024	PLANNING & SB330 REV 6

CONTACT: TOBY LEVY

(415) 777-0561 P
(415) 777-5117 F

SCALE:
AS NOTED

SECOND FLOOR PLAN

A2.02

GENERAL NOTES

- SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
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- (N) CURB CUT; S.C.D.
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- (N) PAVING; TYP. THROUGHOUT, S.L.D.
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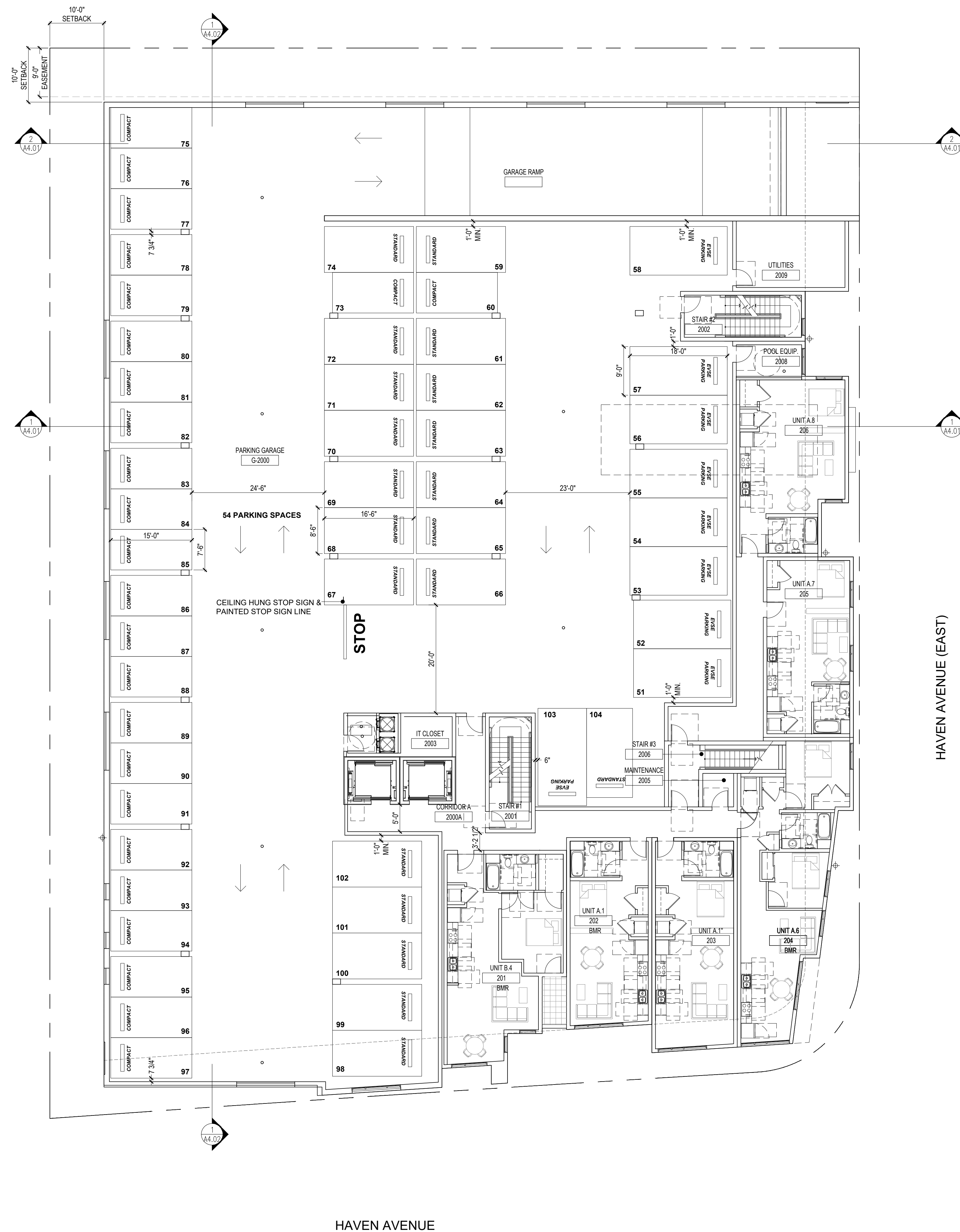
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---	ROOF PAVERS, OCCUPIED ROOF; SEE A2 SERIES		
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DIMENSION NOTES

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PROJECT NORTH		TRUE NORTH	
---------------	--	------------	--





3705 HAVEN AVE
MENLO PARK, CA

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CONTACT: TOBY LEVY

(415) 777-0561 P
(415) 777-5117 F

SCALE:
AS NOTED

**THIRD
FLOOR PLAN**

A2.03

GENERAL NOTES

- SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
- SEE G1 SERIES FOR ADDITIONAL CLEARANCES & DETAIL NOT SHOWN
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- 5 LB. CLASS ABC FIRE EXTINGUISHER SPACED SO THAT EVERY INTERIOR SPACE IS WITHIN 75' TO AN EXTINGUISHER. CABINET TO NOT PROTRUDE MORE THAN 4" INTO WALKWAYS. SEE A11 SERIES FOR RECESS CABINET INSTALLATION DETAIL
- BUILDING IS REQUIRED TO MEET 2022 CBC SECTION 1206 SOUND TRANSMISSION REQUIREMENTS.

SHEET NOTES

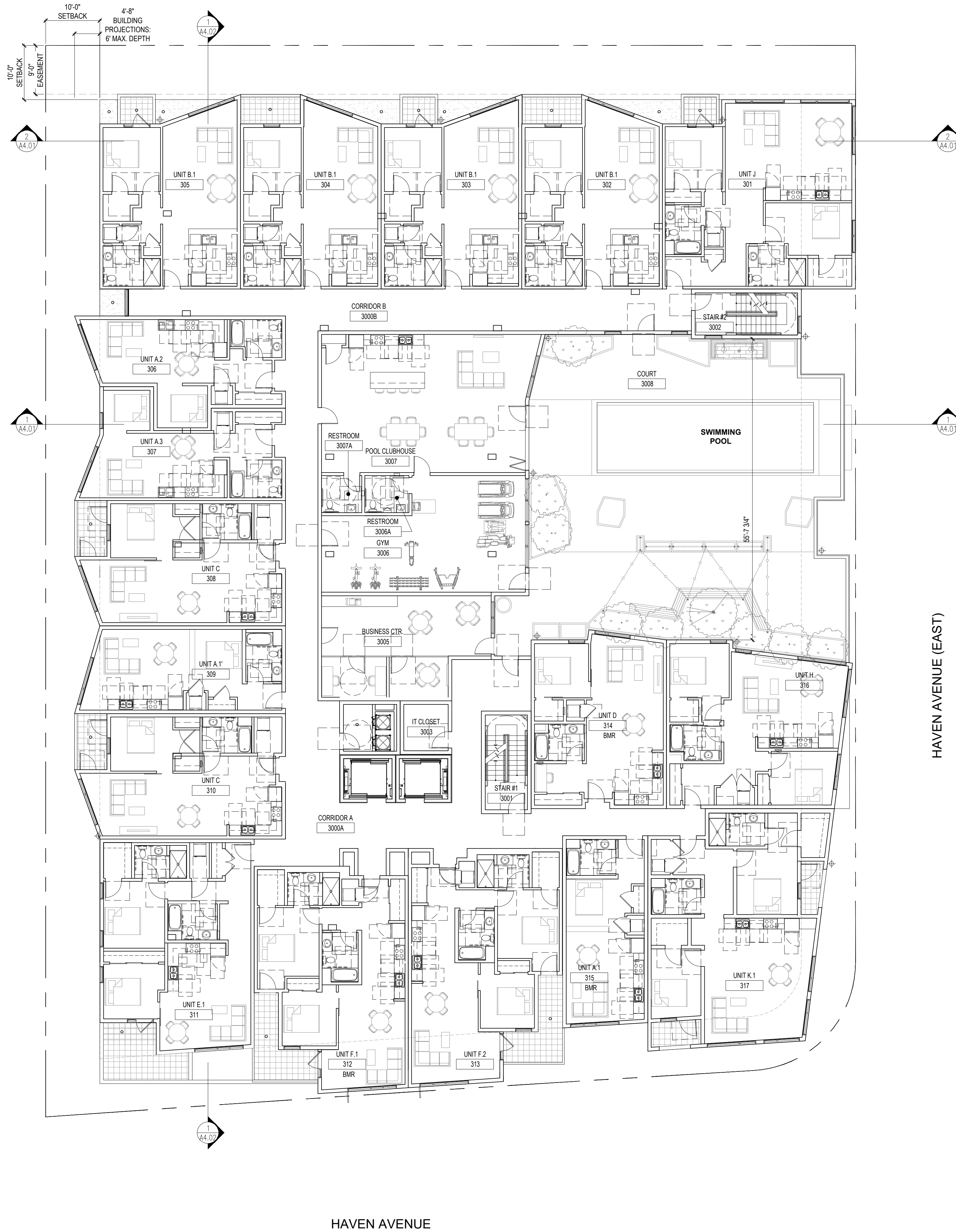
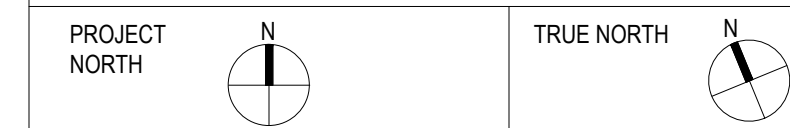
- REPLACE (E) SIDEWALK CONCRETE, CURB & GUTTER; S.C.D. & S.L.D.
- PROPERTY LINE; S.C.D.
- (N) CURB CUT; S.C.D.
- (N) STREET TREE; S.L.D.
- (E) STREET TREE TO REMAIN; S.L.D.
- (N) PAVING; TYP. THROUGHOUT, S.L.D.
- (N) LANDSCAPING; TYP. THROUGHOUT, S.L.D.
- (N) FENCING; TYP. THROUGHOUT, S.L.D.
- BUILDING INTERCOM SYSTEM; S.E.D.
- (N) ENTRY STAIRS & RAMP; S.L.D.
- SHORT TERM BIKE PARKING; S.L.D.
- LONG TERM BIKE PARKING; S.L.D.
- 42" GUARD
- FLOOR/ROOF ABOVE, TYP.
- BUILDING EDGE BELOW, TYP.
- ROOF, SLOPE MIN. 1/4" PER FT TO DRAIN; SEE A8 SERIES
- NO ROOF OPENINGS WITHIN 4' OF FIREWALL. ALL ROOF SHEATHING WITHIN 4' OF FIREWALL TO BE FR
- OCCUPIABLE DECK; S.L.D.
- NON-OCCUPIABLE ROOF
- MECHANICAL & PLUMBING EQUIPMENT; S.M.D. & S.P.D.
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- GSM GUTTER, PAINT; S.P.D.
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- RECESSED FIRE EXTINGUISHER 5LB, CLASS ABC, SEE DETAIL 19/A11.04
- 2-WAY EMERGENCY COMMUNICATION SYSTEM; WIRING IN 2 HR. RATED CONDUIT
- MAILBOX AND PACKAGE SYSTEM

LEGEND

---	PROPERTY LINE	○	DRAIN
---	1-HR. FIRE RATED WALL	⊕	DOWNSPOUT
---	2-HR. FIRE RATED WALL	→	ROOF SLOPE
---	3-HR. FIRE RATED WALL	⊠	WALL ASSEMBLY, SEE A8 SERIES
---	NON-OCCUPIABLE ROOF		
---	ROOF PAVERS, OCCUPIED ROOF; SEE A2 SERIES		
---	HARDSCAPE AREA, S.L.D.	---	ACCESSIBLE DRIVE AISLE, 8'-2" MIN. VERTICAL CLR.
---	LANDSCAPE AREA, S.L.D.		

DIMENSION NOTES

- WALL FRAMING: ALL DIMENSIONS ARE TO FACE OF STUD, U.O.N.
- SEE ENLARGED PLANS/DETAILS FOR DIMENSIONS NOT SHOWN HERE.





3705 HAVEN AVE
MENLO PARK, CA

PROJECT NO. 21-07
PARCEL NO. 055170240

REV | DATE | DESCRIPTION

04-14-2023	PLANNING & SB330 REV 2
09-22-2023	PLANNING & SB330 REV 3
03-20-2024	PLANNING & SB330 REV 4
06-13-2024	PLANNING & SB330 REV 5
07-26-2024	PLANNING & SB330 REV 6

CONTACT: TOBY LEVY

(415) 777-0561 P
(415) 777-5117 F

SCALE:
AS NOTED

FOURTH FLOOR PLAN

A2.04

GENERAL NOTES

- SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
- SEE G1 SERIES FOR ADDITIONAL CLEARANCES & DETAIL NOT SHOWN
- SEE A3 SERIES FOR LOCATION OF EXTERIOR WALL FINISH TRANSITIONS
- SEE A5 SERIES FOR UNIT DIMENSIONS, UNIT WALL TYPES, UNIT DOOR TAGS AND UNIT REFLECTED CEILING PLANS
- SEE A8 SERIES FOR WALL, FLOOR & ROOF ASSEMBLIES
- SEE A9 SERIES FOR DOOR, WINDOW & FINISH SCHEDULES
- SEE A10 SERIES FOR TYPICAL FOUNDATION DETAILS
- SEE A11 SERIES FOR GENERAL ACOUSTICAL DETAILS
- PROVIDE 1 HOUR CONSTRUCTION WITH SOUND INSULATION BETWEEN RESIDENTIAL UNITS AND BETWEEN RESIDENTIAL UNITS AND PUBLIC AREAS (50 STC MIN.) PER 2016 CBC SECTION 1206.
- CONTRACTOR TO PROVIDE SOLID & CONTINUOUS BACKING FOR ALL WALL MTD. FIXTURES, ACCESSORIES, MILLWORK, EQUIPMENT RACKS, SHELVING, ETC. ALL BLOCKING TO BE SAME GAUGE AS FRAMING OR GREATER.
- EXHAUST SHAFTS SHALL COMPLY WITH 2022 CBC SECTION 713, PROTECTED BY APPROVED FIRE DAMPERS. S.M.D. FOR MORE INFORMATION.
- ALL PENETRATIONS SHALL CONFORM PER 2022 CBC SECTION 714; SEE SHEET A11 SERIES FOR MORE INFORMATION
- ALL HABITABLE ROOMS SHALL BE HEATED PER 2022 CBC 1203
- ALL UNITS TO HAVE UNIT ENTRY SIGNAGE
- PROVIDE FLOOR DRAINS, SLOPE 1/4" FOOT.
- PAINT ALL EXPOSED MECHANICAL, PLUMBING, ELECTRICAL AND FIRE LINES THROUGHOUT
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- (N) LANDSCAPING; TYP. THROUGHOUT, S.L.D.
- (N) FENCING; TYP. THROUGHOUT, S.L.D.
- BUILDING INTERCOM SYSTEM; S.E.D.
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---	HARDSCAPE AREA, S.L.D.	---	ACCESSIBLE DRIVE AISLE, 8'-2" MIN. VERTICAL CLR.
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PROJECT NORTH		TRUE NORTH	
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3705 HAVEN AVE
MENLO PARK, CA



3705 HAVEN AVE
MENLO PARK, CA

PROJECT NO. 21-07
PARCEL NO. 055170240

REV	DATE	DESCRIPTION
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	03-20-2024	PLANNING & SB330 REV 4
	06-13-2024	PLANNING & SB330 REV 5
	07-26-2024	PLANNING & SB330 REV 6

CONTACT: TOBY LEVY

(415) 777-0561 P
(415) 777-5117 F

SCALE:
AS NOTED

FIFTH FLOOR PLAN

A2.05

GENERAL NOTES

- SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
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SHEET NOTES

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- PROPERTY LINE; S.C.D.
- (N) CURB CUT; S.C.D.
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- (N) FENCING; TYP. THROUGHOUT, S.L.D.
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PROJECT NORTH		TRUE NORTH	
---------------	--	------------	--



HAVEN AVENUE

HAVEN AVENUE (EAST)

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**3705 HAVEN AVE
MENLO PARK, CA**



3705 HAVEN AVE
MENLO PARK, CA
PROJECT NO. 21-07
PARCEL NO. 055170240

REV	DATE	DESCRIPTION
04-14-2023	PLANNING & SB330	REV 2
09-22-2023	PLANNING & SB330	REV 3
03-20-2024	PLANNING & SB330	REV 4
06-13-2024	PLANNING & SB330	REV 5
07-26-2024	PLANNING & SB330	REV 6

CONTACT: TOBY LEVY

(415) 777-0561 P
(415) 777-5117 F

SCALE: **AS NOTED**

SIXTH FLOOR PLAN

A2.06

GENERAL NOTES

- SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
- SEE G1 SERIES FOR ADDITIONAL CLEARANCES & DETAIL NOT SHOWN
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SHEET NOTES

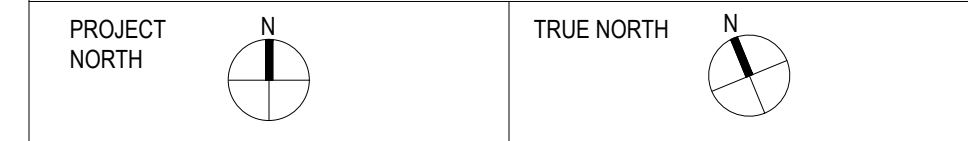
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HAVEN AVENUE

HAVEN AVENUE (EAST)



3705 HAVEN AVE
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PROJECT NO. 21-07
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REV | DATE | DESCRIPTION

04-14-2023	PLANNING & SB330 REV 2
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CONTACT: TOBY LEVY

(415) 777-0561 P
(415) 777-5117 F

SCALE:
AS NOTED

SEVENTH
FLOOR PLAN

A2.07

GENERAL NOTES

- SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
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- RECESSED FIRE EXTINGUISHER 5LB, CLASS ABC, SEE DETAIL 19/A11.04
- 2-WAY EMERGENCY COMMUNICATION SYSTEM; WIRING IN 2 HR. RATED CONDUIT
- MAILBOX AND PACKAGE SYSTEM

LEGEND

---	PROPERTY LINE	○	DRAIN
---	1-HR. FIRE RATED WALL	⊕	DOWNSPOUT
---	2-HR. FIRE RATED WALL	→	ROOF SLOPE
---	3-HR. FIRE RATED WALL	⊠	WALL ASSEMBLY, SEE A8 SERIES
---	NON-OCCUPIABLE ROOF		
---	ROOF PAVERS, OCCUPIED ROOF; SEE A2 SERIES		
---	HARDSCAPE AREA, S.L.D.	---	ACCESSIBLE DRIVE AISLE, 8'-2" MIN. VERTICAL CLR.
---	LANDSCAPE AREA, S.L.D.		

DIMENSION NOTES

- WALL FRAMING: ALL DIMENSIONS ARE TO FACE OF STUD, U.O.N.
- SEE ENLARGED PLANS/DETAILS FOR DIMENSIONS NOT SHOWN HERE.

PROJECT NORTH		TRUE NORTH	
---------------	--	------------	--





3705 HAVEN AVE
MENLO PARK, CA

PROJECT NO. 21-07
PARCEL NO. 055170240

REV | DATE | DESCRIPTION

04-14-2023	PLANNING & SB330 REV 2
09-22-2023	PLANNING & SB330 REV 3
03-20-2024	PLANNING & SB330 REV 4
06-13-2024	PLANNING & SB330 REV 5
07-26-2024	PLANNING & SB330 REV 6

CONTACT: TOBY LEVY

(415) 777-0561 P
(415) 777-5117 F

SCALE:
AS NOTED

**EIGHTH
FLOOR PLAN**

A2.08

GENERAL NOTES

- SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
- SEE G1 SERIES FOR ADDITIONAL CLEARANCES & DETAIL NOT SHOWN
- SEE A3 SERIES FOR LOCATION OF EXTERIOR WALL FINISH TRANSITIONS
- SEE A5 SERIES FOR UNIT DIMENSIONS, UNIT WALL TYPES, UNIT DOOR TAGS AND UNIT REFLECTED CEILING PLANS
- SEE A8 SERIES FOR WALL, FLOOR & ROOF ASSEMBLIES
- SEE A9 SERIES FOR DOOR, WINDOW & FINISH SCHEDULES
- SEE A10 SERIES FOR TYPICAL FOUNDATION DETAILS
- SEE A11 SERIES FOR GENERAL ACOUSTICAL DETAILS
- PROVIDE 1 HOUR CONSTRUCTION WITH SOUND INSULATION BETWEEN RESIDENTIAL UNITS AND BETWEEN RESIDENTIAL UNITS AND PUBLIC AREAS (50 STC MIN.) PER 2016 CBC SECTION 1206.
- CONTRACTOR TO PROVIDE SOLID & CONTINUOUS BACKING FOR ALL WALL MTD. FIXTURES, ACCESSORIES, MILLWORK, EQUIPMENT RACKS, SHELVING, ETC. ALL BLOCKING TO BE SAME GAUGE AS FRAMING OR GREATER.
- EXHAUST SHAFTS SHALL COMPLY WITH 2022 CBC SECTION 713, PROTECTED BY APPROVED FIRE DAMPERS. S.M.D. FOR MORE INFORMATION.
- ALL PENETRATIONS SHALL CONFORM PER 2022 CBC SECTION 714; SEE SHEET A11 SERIES FOR MORE INFORMATION
- ALL HABITABLE ROOMS SHALL BE HEATED PER 2022 CBC 1203
- ALL UNITS TO HAVE UNIT ENTRY SIGNAGE
- PROVIDE FLOOR DRAINS, SLOPE 1/4" FOOT.
- PAINT ALL EXPOSED MECHANICAL, PLUMBING, ELECTRICAL AND FIRE LINES THROUGHOUT
- ALL STRUCTURAL COLUMNS & POSTS, AND THEIR CONNECTION TO OTHER STRUCTURAL MEMBERS, ARE TO BE FIRE RATED. IF COLUMNS & POSTS ARE WITHIN WALLS, COLUMNS & POSTS TO BE INDIVIDUALLY ENCASED IN GYP. BD. IF COLUMN & POSTS ARE EXPOSED, COLUMNS & POSTS TO BE SPRAYED WITH INTUMESCENT PAINT. SEE A8 SERIES FOR ADDITIONAL DETAILS.
- 5 LB. CLASS ABC FIRE EXTINGUISHER SPACED SO THAT EVERY INTERIOR SPACE IS WITHIN 75' TO AN EXTINGUISHER. CABINET TO NOT PROTRUDE MORE THAN 4" INTO WALKWAYS. SEE A11 SERIES FOR RECESS CABINET INSTALLATION DETAIL
- BUILDING IS REQUIRED TO MEET 2022 CBC SECTION 1206 SOUND TRANSMISSION REQUIREMENTS.

SHEET NOTES

- REPLACE (E) SIDEWALK CONCRETE, CURB & GUTTER; S.C.D. & S.L.D.
- PROPERTY LINE; S.C.D.
- (N) CURB CUT; S.C.D.
- (N) STREET TREE; S.L.D.
- (E) STREET TREE TO REMAIN; S.L.D.
- (N) PAVING; TYP. THROUGHOUT, S.L.D.
- (N) LANDSCAPING; TYP. THROUGHOUT, S.L.D.
- (N) FENCING; TYP. THROUGHOUT, S.L.D.
- BUILDING INTERCOM SYSTEM; S.E.D.
- (N) ENTRY STAIRS & RAMP; S.L.D.
- SHORT TERM BIKE PARKING; S.L.D.
- LONG TERM BIKE PARKING; S.L.D.
- 42" GUARD
- FLOOR/ROOF ABOVE, TYP.
- BUILDING EDGE BELOW, TYP.
- ROOF, SLOPE MIN. 1/4" PER FT TO DRAIN; SEE A8 SERIES
- NO ROOF OPENINGS WITHIN 4' OF FIREWALL. ALL ROOF SHEATHING WITHIN 4' OF FIREWALL TO BE FR
- OCCUPIABLE DECK; S.L.D.
- NON-OCCUPIABLE ROOF
- MECHANICAL & PLUMBING EQUIPMENT; S.M.D. & S.P.D.
- ELECTRICAL METERS; S.E.D.
- GSM GUTTER, PAINT; S.P.D.
- GSM DOWNSPOUT, PAINT; S.P.D.
- RECESSED FIRE EXTINGUISHER 5LB, CLASS ABC, SEE DETAIL 19/A11.04
- 2-WAY EMERGENCY COMMUNICATION SYSTEM; WIRING IN 2 HR. RATED CONDUIT
- MAILBOX AND PACKAGE SYSTEM

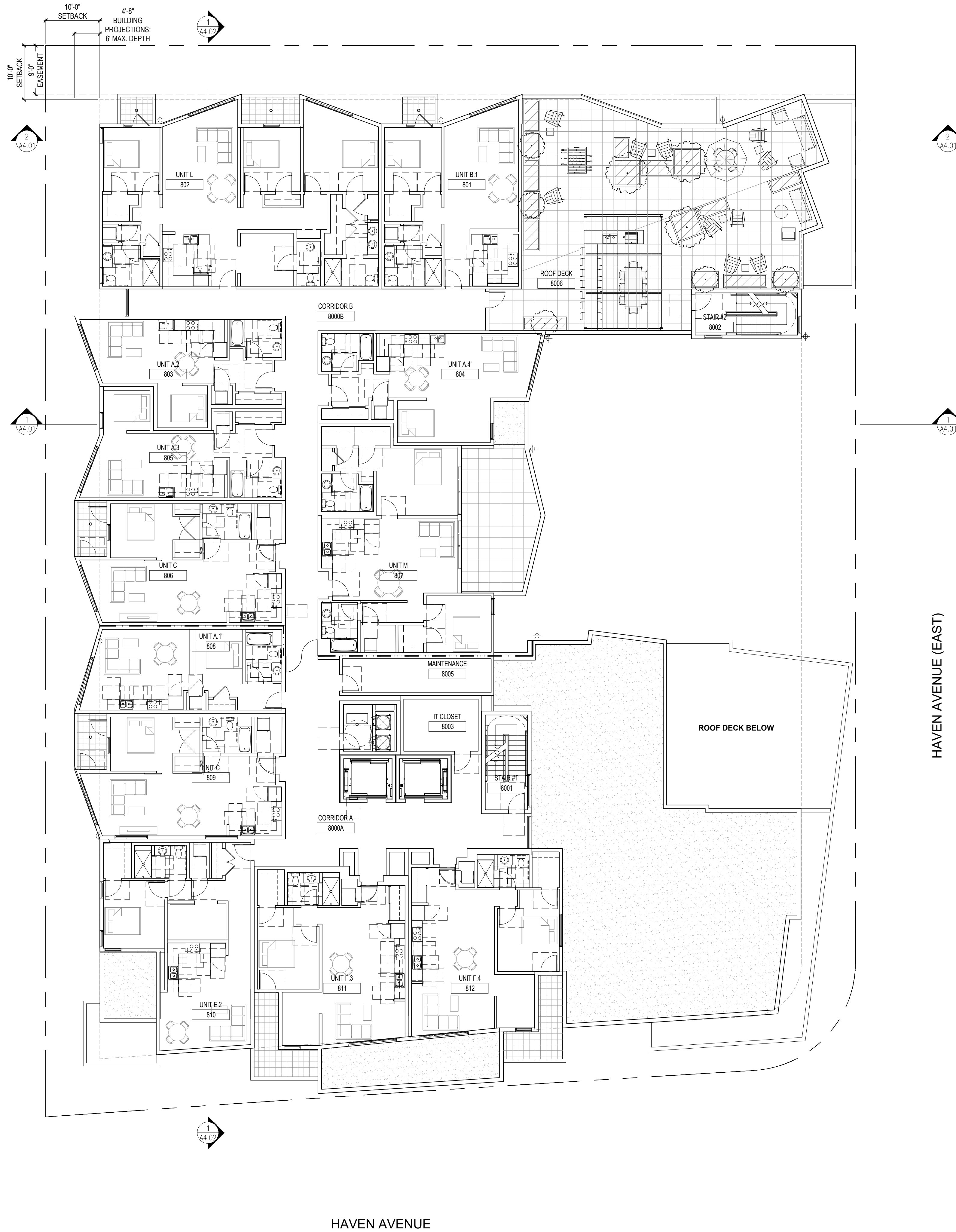
LEGEND

---	PROPERTY LINE	○	DRAIN
---	1-HR. FIRE RATED WALL	⊕	DOWNSPOUT
---	2-HR. FIRE RATED WALL	→	ROOF SLOPE
---	3-HR. FIRE RATED WALL	⊠	WALL ASSEMBLY, SEE A8 SERIES
□	NON-OCCUPIABLE ROOF		
▨	ROOF PAVERS, OCCUPIED ROOF; SEE A2 SERIES		
▩	HARDSCAPE AREA, S.L.D.	▨	ACCESSIBLE DRIVE AISLE, 8'-2" MIN. VERTICAL CLR.
▩	LANDSCAPE AREA, S.L.D.		

DIMENSION NOTES

- WALL FRAMING: ALL DIMENSIONS ARE TO FACE OF STUD, U.O.N.
- SEE ENLARGED PLANS/DETAILS FOR DIMENSIONS NOT SHOWN HERE.

PROJECT NORTH		TRUE NORTH	
---------------	--	------------	--





3705 HAVEN AVE
MENLO PARK, CA

PROJECT NO. 21-07
PARCEL NO. 055170240

REV	DATE	DESCRIPTION
	09-22-2023	PLANNING & SB330 REV 3
	03-20-2024	PLANNING & SB330 REV 4
	06-13-2024	PLANNING & SB330 REV 5
	07-26-2024	PLANNING & SB330 REV 6
	08-28-2024	PLANNING & SB330 REV 7

CONTACT: TOBY LEVY

(415) 777-0561 P
(415) 777-5117 F

SCALE:
AS NOTED

**ROOF
PLAN**

A2.09

GENERAL NOTES

- SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
- SEE G1 SERIES FOR ADDITIONAL CLEARANCES & DETAIL NOT SHOWN
- SEE A3 SERIES FOR LOCATION OF EXTERIOR WALL FINISH TRANSITIONS
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- BUILDING IS REQUIRED TO MEET 2022 CBC SECTION 1206 SOUND TRANSMISSION REQUIREMENTS.

SHEET NOTES

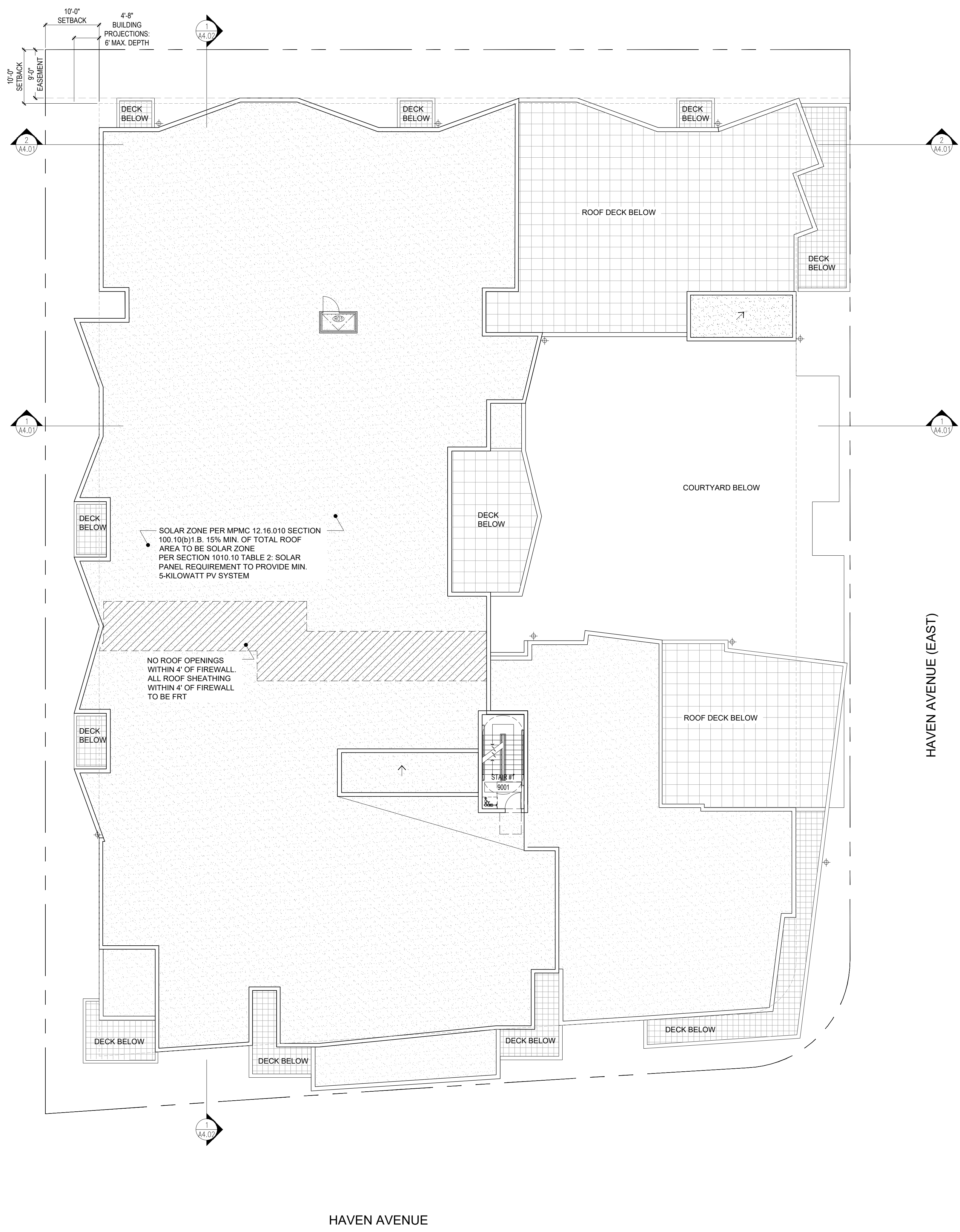
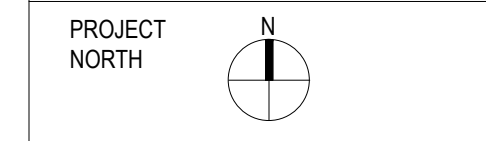
- REPLACE (E) SIDEWALK CONCRETE, CURB & GUTTER; S.C.D. & S.L.D.
- PROPERTY LINE; S.C.D.
- (N) CURB CUT; S.C.D.
- (N) STREET TREE; S.L.D.
- (E) STREET TREE TO REMAIN; S.L.D.
- (N) PAVING; TYP. THROUGHOUT, S.L.D.
- (N) LANDSCAPING; TYP. THROUGHOUT, S.L.D.
- (N) FENCING; TYP. THROUGHOUT, S.L.D.
- BUILDING INTERCOM SYSTEM; S.E.D.
- (N) ENTRY STAIRS & RAMP; S.L.D.
- SHORT TERM BIKE PARKING; S.L.D.
- LONG TERM BIKE PARKING; S.L.D.
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LEGEND

---	PROPERTY LINE	○	DRAIN
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---	3-HR. FIRE RATED WALL	⊠	WALL ASSEMBLY, SEE A8 SERIES
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▨	ROOF PAVERS, OCCUPIED ROOF; SEE A2 SERIES		
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DIMENSION NOTES

- WALL FRAMING: ALL DIMENSIONS ARE TO FACE OF STUD, U.O.N.
- SEE ENLARGED PLANS/DETAILS FOR DIMENSIONS NOT SHOWN HERE.





2 3D VIEW FROM CORNER OF HAVEN STREET
N.T.S.



1 3D VIEW FROM HAVEN STREET EAST
N.T.S.

LEGEND

- 1A CEMENT PLASTER, COLOR #1
- 1B CEMENT PLASTER, COLOR #2
- 1C CEMENT PLASTER, COLOR #2
- 2A FIBER CEMENT PANEL, CEMBRIT PATTERN #1
- 2B FIBER CEMENT PANEL, CEMBRIT PATTERN #2
- 3 FIBER CEMENT PANEL, JAMES HARDIE
- 4A METAL PANEL, AEP SPAN FLEX SERIES, PATTERN #1
- 4B METAL PANEL, AEP SPAN FLEX SERIES, PATTERN #2
- 5 WOOD LOOK ALUMINUM SLAT, KNOTWOOD SIDING
- 6 TILE PANEL
- 7 GUARDRAIL, VERTICAL RECTANGULAR METAL PICKET
- 7A GUARDRAIL, OPEN SQUARE METAL WIRE
- 8 SUNSHADE
- 9 FRAMED PERFORATED METAL PANEL
- 10 LANDSCAPING; S.L.D.
- 11 FENCING; S.L.D.
- 12 GARAGE DOOR
- 13 MURAL OR TILE MOSAIC
- 14 LANDSCAPE PORTAL, S.L.D.

LEGEND

--- PROPERTY LINE



3705 HAVEN AVE
MENLO PARK, CA

PROJECT NO. 21-07
PARCEL NO. 055170240

REV	DATE	DESCRIPTION
04-14-2023	PLANNING & SB330 REV 2	
09-22-2023	PLANNING & SB330 REV 3	
03-20-2024	PLANNING & SB330 REV 4	
06-13-2024	PLANNING & SB330 REV 5	
07-26-2024	PLANNING & SB330 REV 6	

CONTACT: TOBY LEVY

(415) 777-0561 P
(415) 777-5117 F

SCALE:
AS NOTED

RENDERING

**3705 HAVEN AVE
MENLO PARK, CA**



3705 HAVEN AVE
MENLO PARK, CA

PROJECT NO. 21-07
PARCEL NO. 055170240

REV	DATE	DESCRIPTION
04-14-2023	PLANNING & SB330 REV 2	
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07-26-2024	PLANNING & SB330 REV 6	

CONTACT: TOBY LEVY

(415) 777-0561 P
(415) 777-5117 F

SCALE:
AS NOTED

RENDERING

A3.00B

LEGEND

- 1A CEMENT PLASTER, COLOR #1
- 1B CEMENT PLASTER, COLOR #2
- 1C CEMENT PLASTER, COLOR #2
- 2A FIBER CEMENT PANEL, CEMBRIT PATTERN #1
- 2B FIBER CEMENT PANEL, CEMBRIT PATTERN #2
- 3 FIBER CEMENT PANEL, JAMES HARDIE
- 4A METAL PANEL, AEP SPAN FLEX SERIES, PATTERN #1
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- 5 WOOD LOOK ALUMINUM SLAT, KNOTWOOD SIDING
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- 7A GUARDRAIL, OPEN SQUARE METAL WIRE
- 8 SUNSHADE
- 9 FRAMED PERFORATED METAL PANEL
- 10 LANDSCAPING; S.L.D.
- 11 FENCING; S.L.D.
- 12 GARAGE DOOR
- 13 MURAL OR TILE MOSAIC
- 14 LANDSCAPE PORTAL, S.L.D.

LEGEND

--- PROPERTY LINE



2 3D VIEW FROM REAR CORNER OF HAVEN STREET
N.T.S.



1 3D VIEW FROM HAVEN STREET SOUTH
N.T.S.



2 ELEVATION : HAVEN STREET SOUTH
3/32" = 1'-0"

ADDRESS SIGNAGE: <15SF TO COMPLY WITH MPMC 16.82 BRUSHED SS, 18" TALL ARIAL BOLD

MAJOR BUILDING MODULATIONS: MIN. ONE RECESS OF 15' WIDE X 10' DEEP PER 200' FACADE

LEGEND

- 1A CEMENT PLASTER, COLOR #1
- 1B CEMENT PLASTER, COLOR #2
- 1C CEMENT PLASTER, COLOR #2
- 2A FIBER CEMENT PANEL, CEMBRIT PATTERN #1
- 2B FIBER CEMENT PANEL, CEMBRIT PATTERN #2
- 3 FIBER CEMENT PANEL, JAMES HARDIE
- 4A METAL PANEL, AEP SPAN FLEX SERIES, PATTERN #1
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- 7 GUARDRAIL, VERTICAL RECTANGULAR METAL PICKET
- 7A GUARDRAIL, OPEN SQUARE METAL WIRE
- 8 SUNSHADE
- 9 FRAMED PERFORATED METAL PANEL
- 10 LANDSCAPING; S.L.D.
- 11 FENCING; S.L.D.
- 12 GARAGE DOOR
- 13 MURAL OR TILE MOSAIC
- 14 LANDSCAPE PORTAL, S.L.D.

**LD
ARCHITECTURE
IP**

NOTICE:
THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF LEVY DESIGN PARTNERS, INC. (LDP ARCHITECTURE) AND SHALL NOT BE USED EXCEPT BY WRITTEN AGREEMENT WITH LEVY DESIGN PARTNERS.

**3705 HAVEN AVE
MENLO PARK, CA**



3705 HAVEN AVE
MENLO PARK, CA

PROJECT NO. 21-07
PARCEL NO. 055170240

REV	DATE	DESCRIPTION
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	07-26-2024	PLANNING & SB330 REV 6

CONTACT: TOBY LEVY

(415) 777-0561 P
(415) 777-5117 F

SCALE:
AS NOTED

ELEVATIONS

A3.01



1 ELEVATION : HAVEN STREET EAST
3/32" = 1'-0"

MAJOR BUILDING MODULATIONS: MIN. ONE RECESS OF 15' WIDE X 10' DEEP PER 200' FACADE

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3705 HAVEN AVE
MENLO PARK, CA



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PROJECT NO. 21-07
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06-13-2024	PLANNING & SB330 REV 5
07-26-2024	PLANNING & SB330 REV 6

CONTACT: TOBY LEVY

(415) 777-0561 P
(415) 777-5117 F

SCALE:
AS NOTED

ELEVATIONS

A3.02

LEGEND

- 1A CEMENT PLASTER, COLOR #1
- 1B CEMENT PLASTER, COLOR #2
- 1C CEMENT PLASTER, COLOR #3
- 2A FIBER CEMENT PANEL, CEMBRIT PATTERN #1
- 2B FIBER CEMENT PANEL, CEMBRIT PATTERN #2
- 3 FIBER CEMENT PANEL, JAMES HARDIE
- 4A METAL PANEL, AEP SPAN FLEX SERIES, PATTERN #1
- 4B METAL PANEL, AEP SPAN FLEX SERIES, PATTERN #2
- 5 WOOD LOOK ALUMINUM SLAT, KNOTWOOD SIDING
- 6 TILE PANEL
- 7 GUARDRAIL, VERTICAL RECTANGULAR METAL PICKET
- 7A GUARDRAIL, OPEN SQUARE METAL WIRE
- 8 SUNSHADE
- 9 FRAMED PERFORATED METAL PANEL
- 10 LANDSCAPING; S.L.D.
- 11 FENCING; S.L.D.
- 12 GARAGE DOOR
- 13 MURAL OR TILE MOSAIC
- 14 LANDSCAPE PORTAL, S.L.D.



2 ELEVATION : WEST
3/32" = 1'-0"



1 ELEVATION : NORTH
3/32" = 1'-0"

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**3705 HAVEN AVE
MENLO PARK, CA**



3705 HAVEN AVE
MENLO PARK, CA

PROJECT NO. 21-07
PARCEL NO. 055170240

REV	DATE	DESCRIPTION
04-14-2023	PLANNING & SB330 REV 2	
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07-26-2024	PLANNING & SB330 REV 6	

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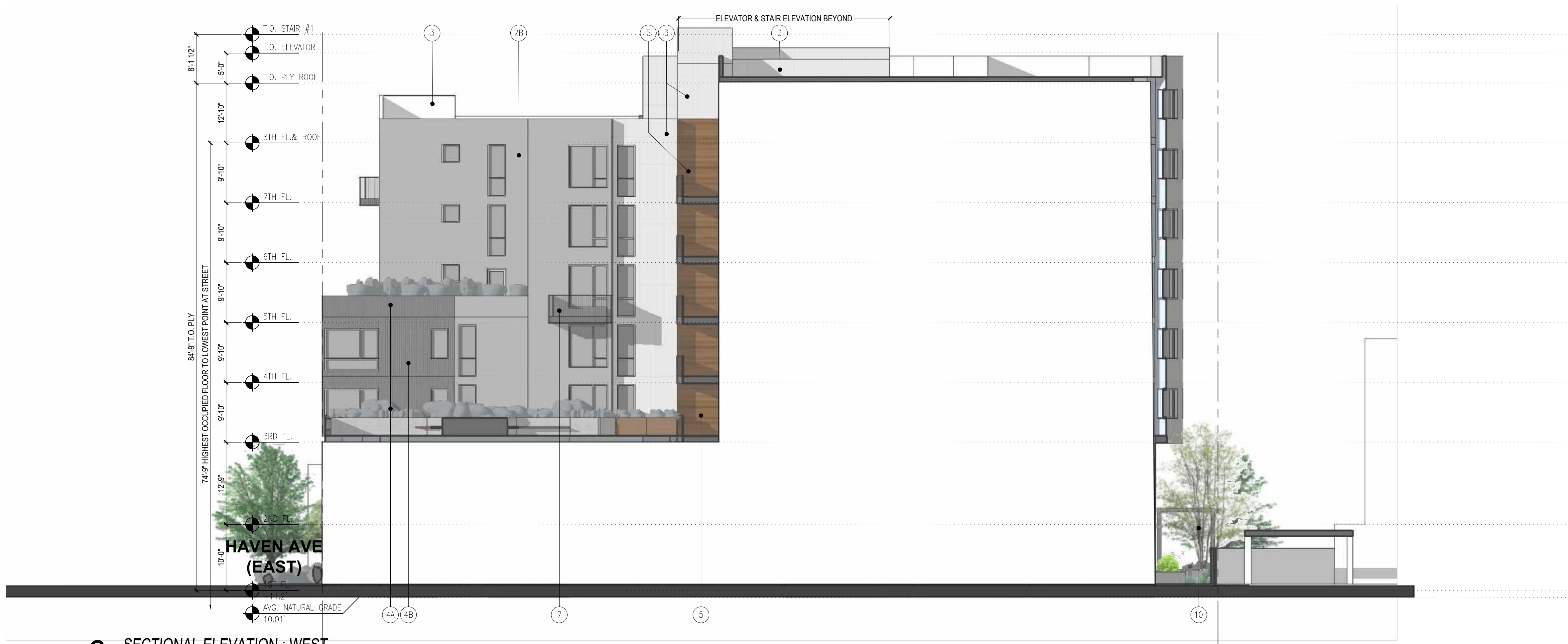
SCALE:
AS NOTED

ELEVATIONS

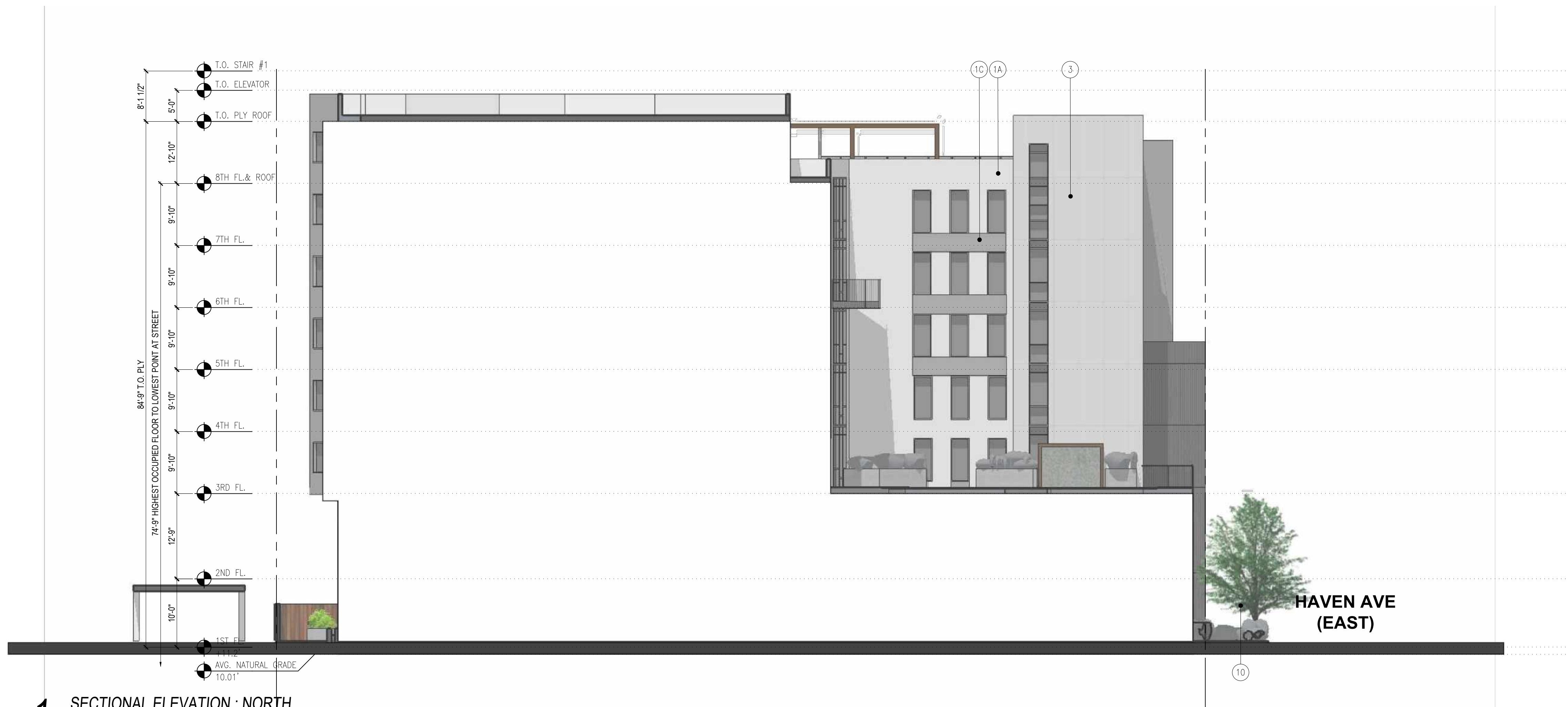
A3.03

LEGEND

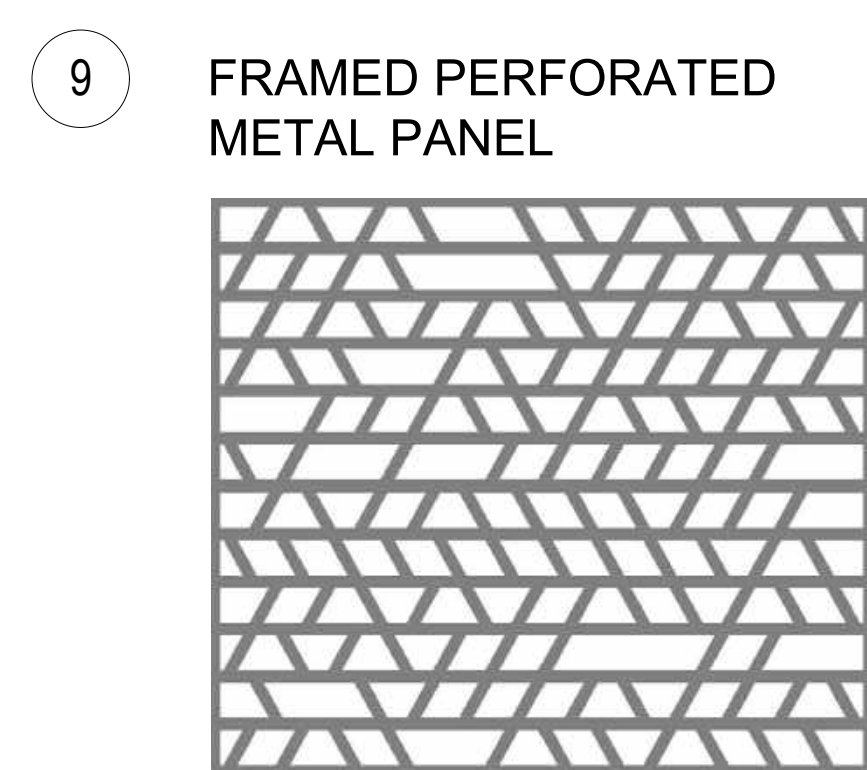
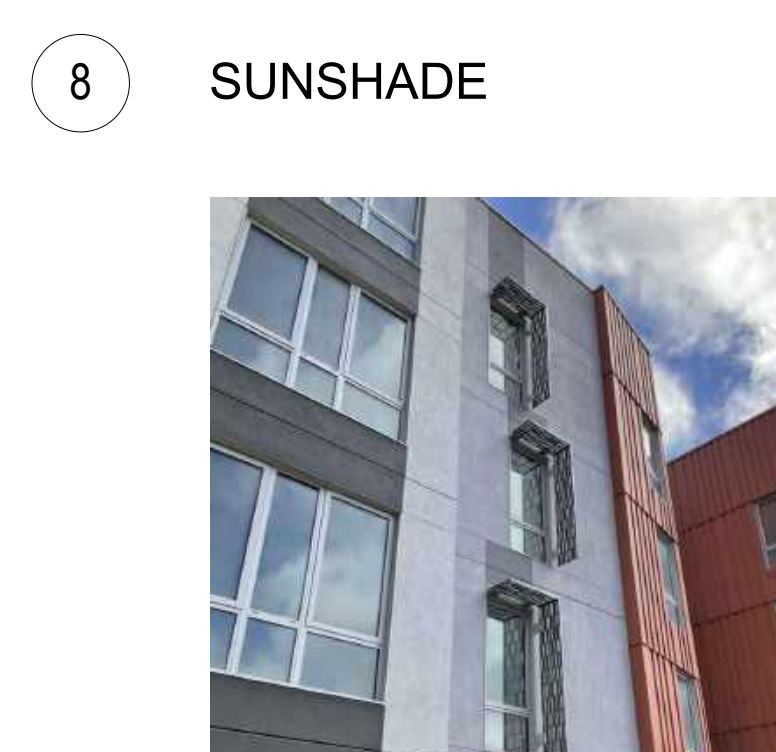
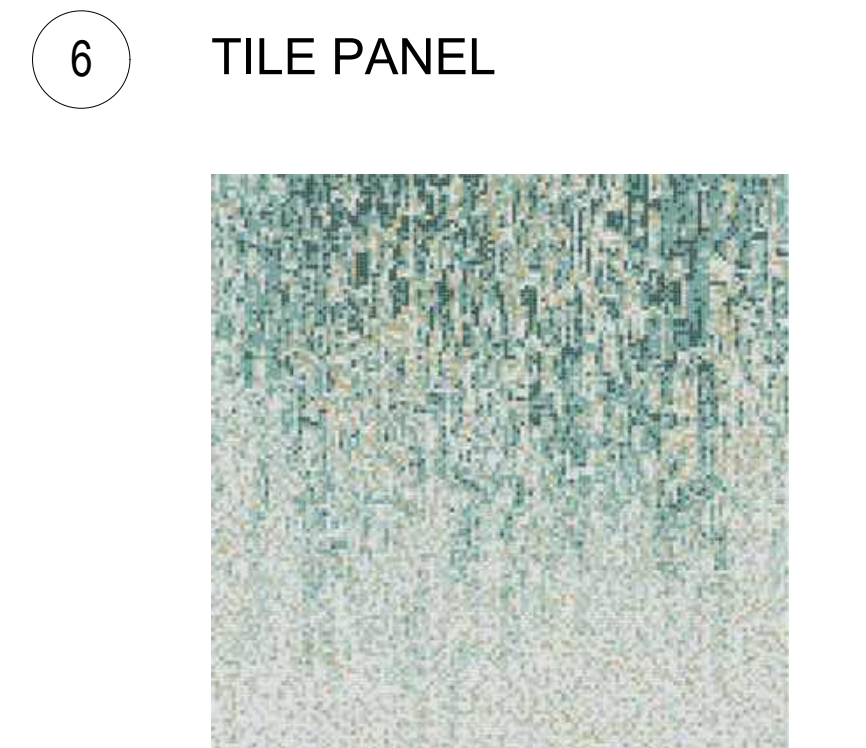
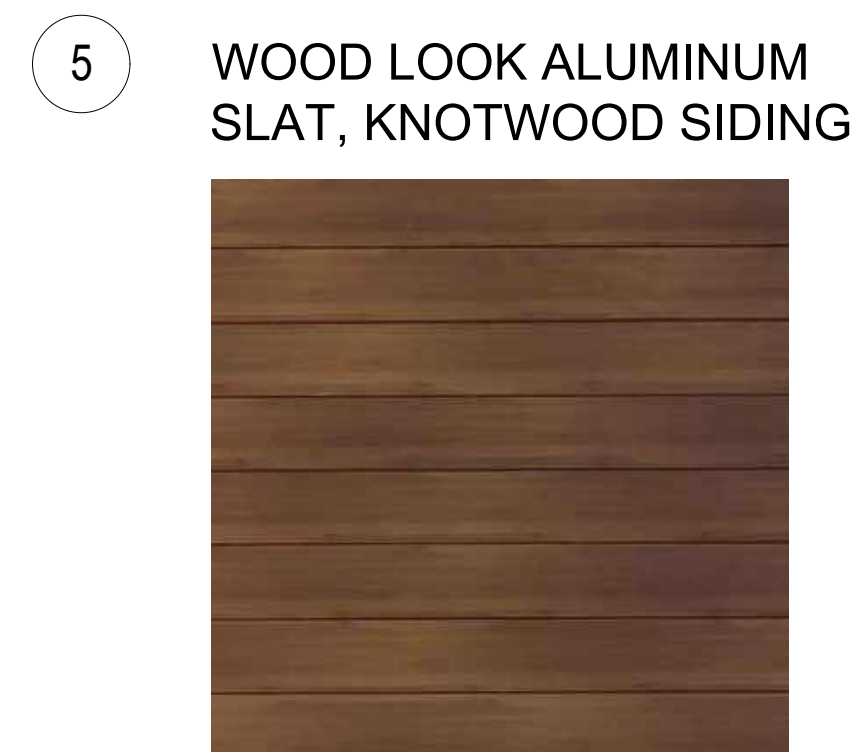
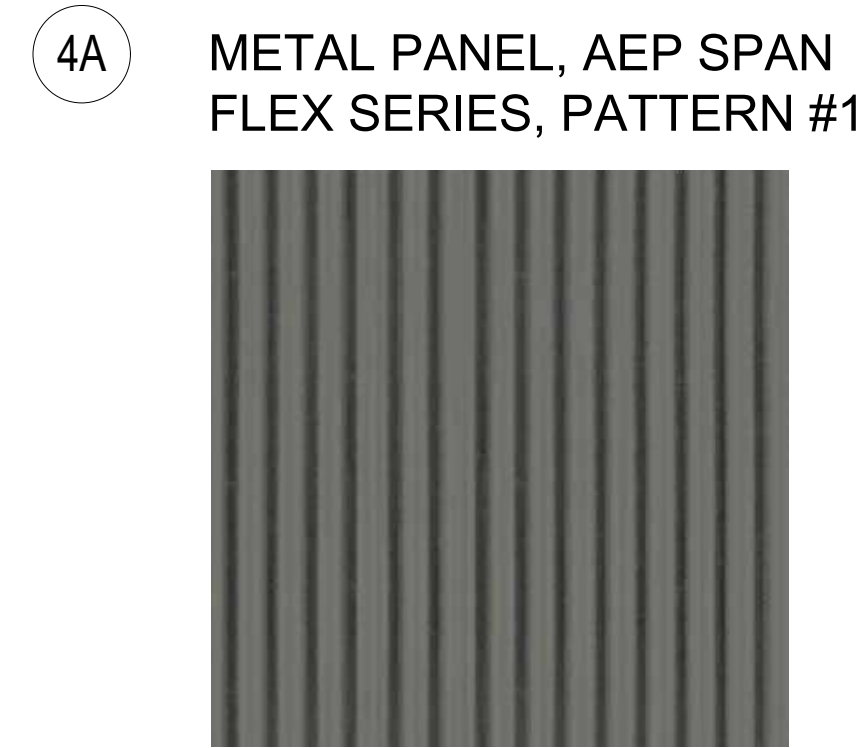
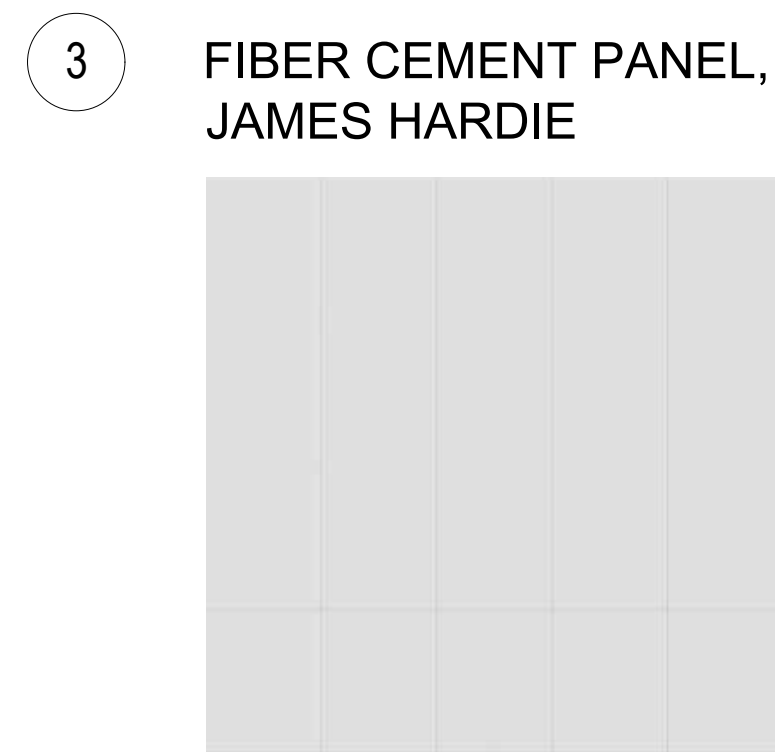
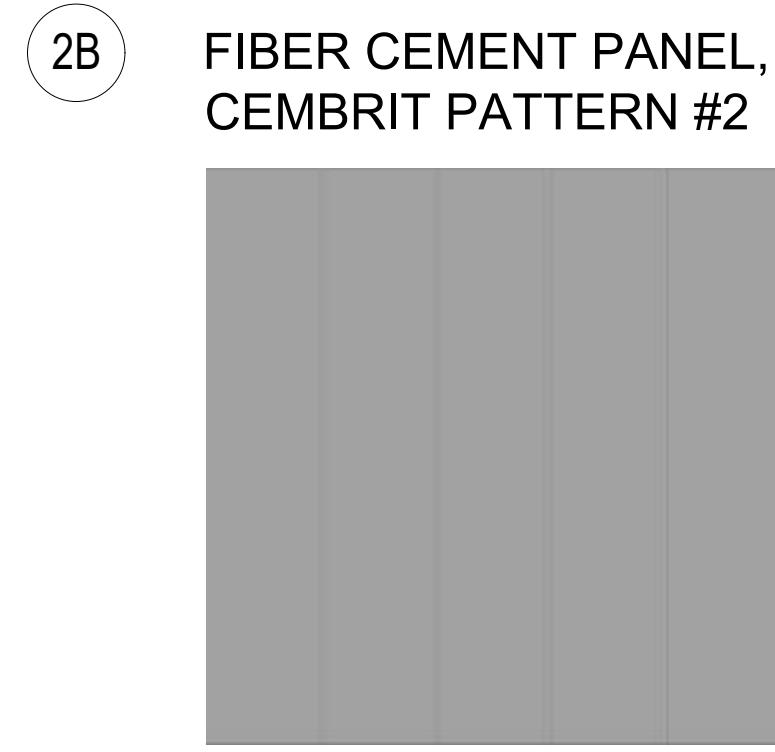
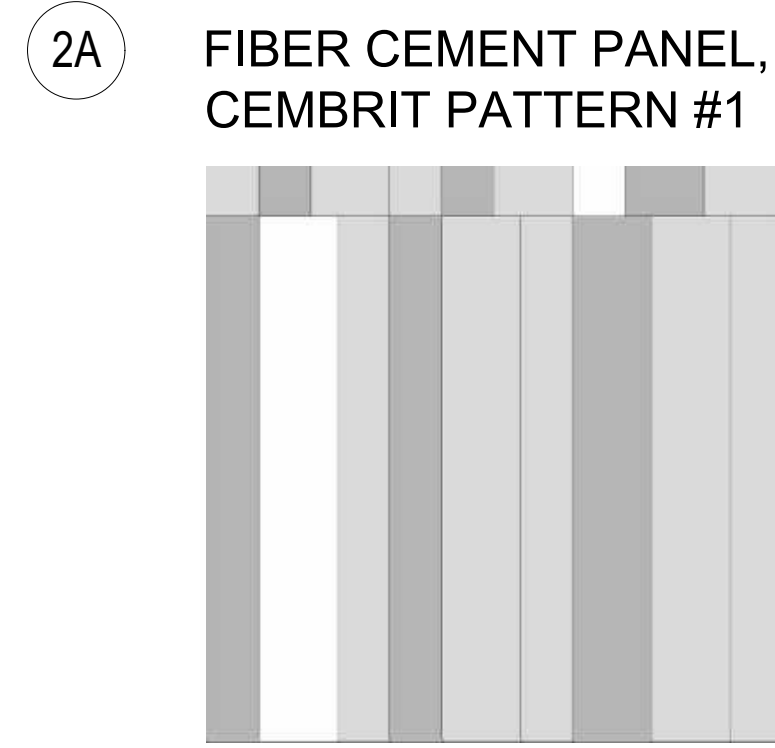
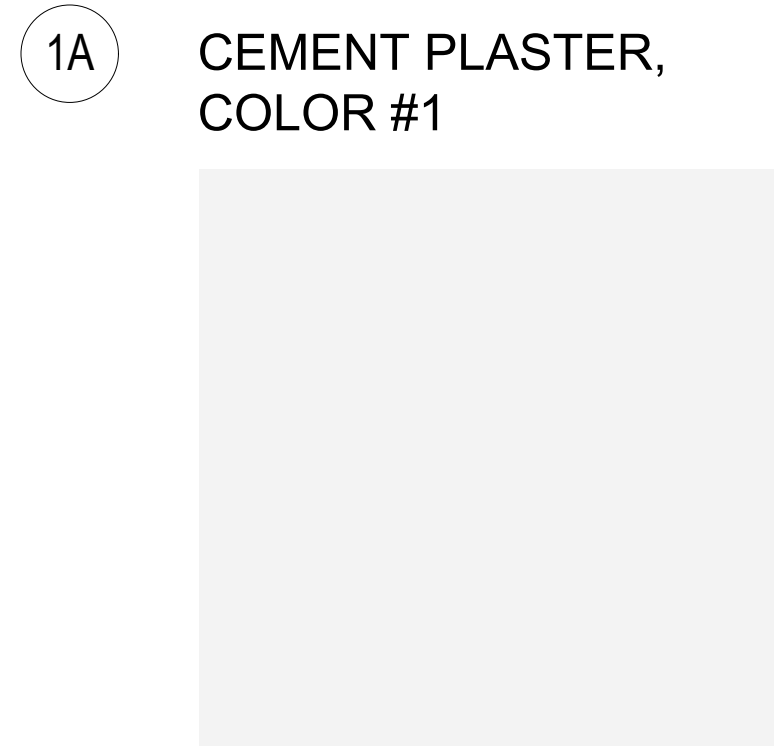
- (1A) CEMENT PLASTER, COLOR #1
- (1B) CEMENT PLASTER, COLOR #2
- (1C) CEMENT PLASTER, COLOR #2
- (2A) FIBER CEMENT PANEL, CEMBRIT PATTERN #1
- (2B) FIBER CEMENT PANEL, CEMBRIT PATTERN #2
- (3) FIBER CEMENT PANEL, JAMES HARDIE
- (4A) METAL PANEL, AEP SPAN FLEX SERIES, PATTERN #1
- (4B) METAL PANEL, AEP SPAN FLEX SERIES, PATTERN #2
- (5) WOOD LOOK ALUMINUM SLAT, KNOTWOOD SIDING
- (6) TILE PANEL
- (7) GUARDRAIL, VERTICAL RECTANGULAR METAL PICKET
- (7A) GUARDRAIL, OPEN SQUARE METAL WIRE
- (8) SUNSHADE
- (9) FRAMED PERFORATED METAL PANEL
- (10) LANDSCAPING; S.L.D.
- (11) FENCING; S.L.D.
- (12) GARAGE DOOR
- (13) MURAL OR TILE MOSAIC
- (14) LANDSCAPE PORTAL, S.L.D.



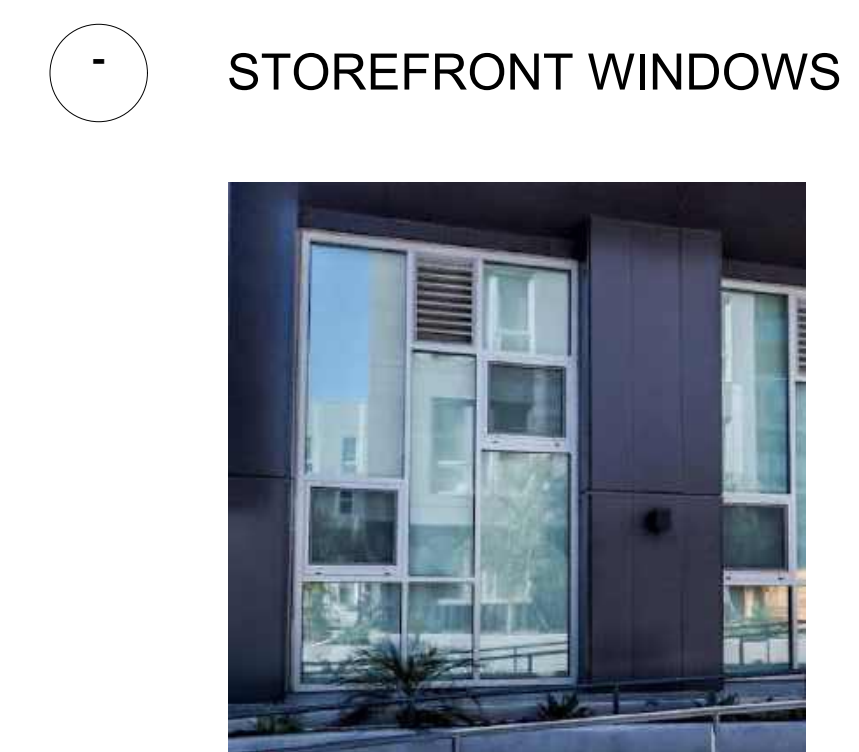
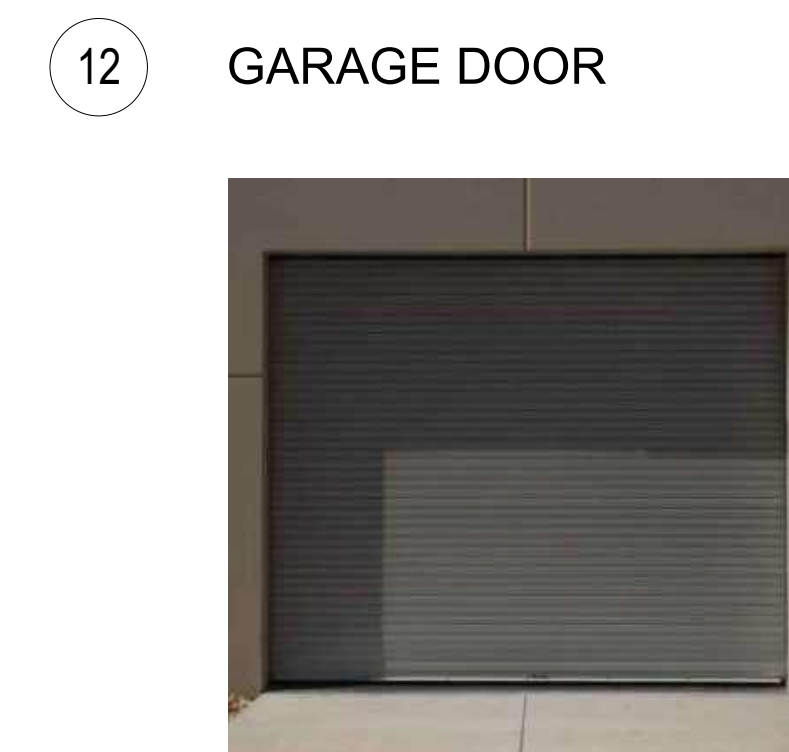
2 SECTIONAL ELEVATION : WEST
3/32" = 1'-0"



1 SECTIONAL ELEVATION : NORTH
3/32" = 1'-0"



10 LANDSCAPING; S.L.D.
11 FENCING; S.L.D.



REV	DATE	DESCRIPTION
04-14-2023	PLANNING & SB330 REV 2	
09-22-2023	PLANNING & SB330 REV 3	
03-20-2024	PLANNING & SB330 REV 4	
06-13-2024	PLANNING & SB330 REV 5	
07-26-2024	PLANNING & SB330 REV 6	

CONTACT: TOBY LEVY

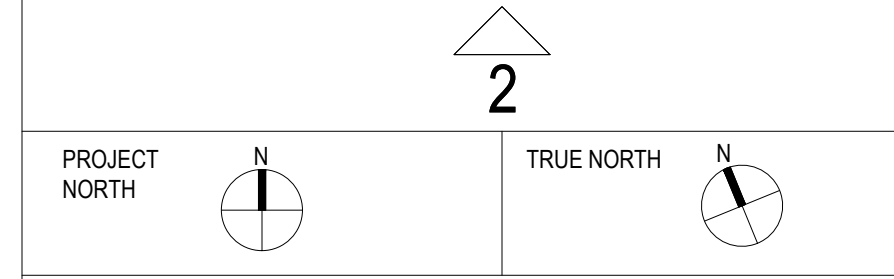
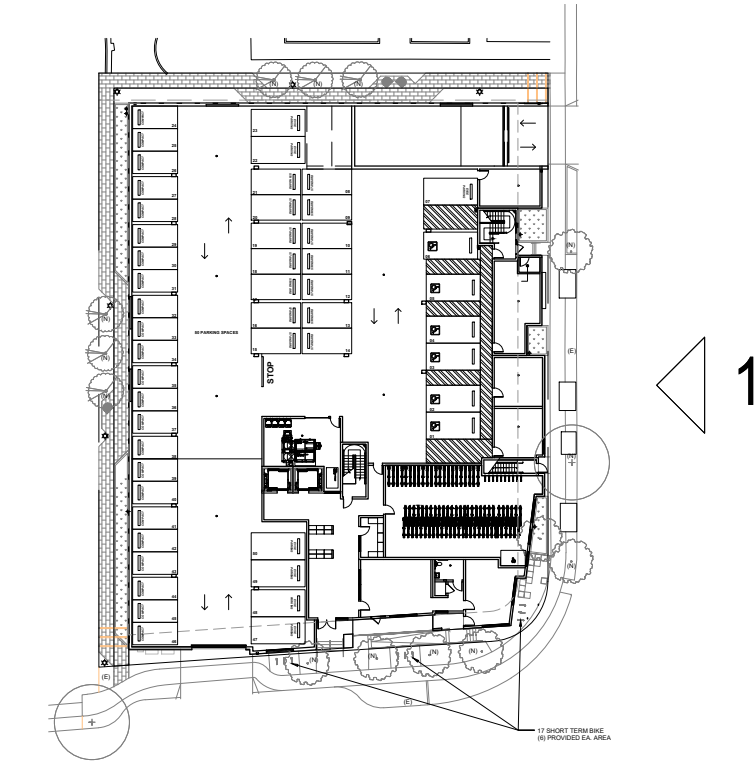
(415) 777-0561 P
(415) 777-5117 F

SCALE:
AS NOTED

MATERIALS

SEE RENDERINGS & ELEVATIONS FOR ADDITIONAL INFORMATION NOT SHOWN ON THIS SHEET

SHEET NOTES



PROPERTY LINE

MUNICIPAL CODE 16.45.120 (1) - Build-To Area Requirement
Minimum 60% of street frontage within 25'-0" of setback.
The minimum building frontage at the ground floor or podium level, as a percentage of the street frontage length, that must be located within the area of the lot between the minimum and maximum setback lines parallel to the street.

HAVEN EAST: LENGTH OF BUILDING FRONTAGE: 198'-0"
MIN. FRONTAGE WITHIN SETBACKS: 198'-0" X 60% = 118'-9"
PROPOSED FRONTAGE WITHIN SETBACKS: 174'-4" > 118'-9"
COMPLIES

HAVEN SOUTH LENGTH OF BUILDING FRONTAGE: 149'-8 3/4"
MIN. FRONTAGE WITHIN SETBACKS: 149'-8 3/4" X 60% = 89'-9"
PROPOSED FRONTAGE WITHIN SETBACKS: 138'-9 3/4" > 89'-9"
COMPLIES

MUNICIPAL CODE 16.45.120 (3) - BUILDING ENTRANCES
One entrance every 200 feet of building length along a public street or paseo. A minimum of one is required along each length.

BUILDING ENTRANCES

MUNICIPAL CODE 16.45.120 (3) - GARAGE ENTRANCES
Maximum 12-foot opening for one-way entrance; maximum 24-foot opening for two-way entrance

GARAGE ENTRANCES

MUNICIPAL CODE 16.45.120 (3) - AWNINGS, SIGNS & CANOPIES
The maximum depth of awnings, signs, and canopies that project horizontally from the face of the building is 7 feet.

AWNING

MUNICIPAL CODE 16.45.120 (6) (G) - Rooflines and eaves
adjacent to street-facing facades shall vary across a building, including a four (4) foot minimum height modulation to break visual monotony and create a visually interesting skyline as seen from public streets

ROOF LINE

MUNICIPAL CODE 16.45.120 (6) (F) - Stucco shall not be used on more than fifty percent (50%) of the building facade. When stucco is used, it must be smooth troweled.

Building Complies, no stucco is used at street frontages

**3705 HAVEN AVE
MENLO PARK, CA**



3705 HAVEN AVE
MENLO PARK, CA

PROJECT NO. 21-07
PARCEL NO. 055170240

REV | DATE | DESCRIPTION

04-14-2023	PLANNING & SB330 REV 2
09-22-2023	PLANNING & SB330 REV 3
03-20-2024	PLANNING & SB330 REV 4
06-13-2024	PLANNING & SB330 REV 5
07-26-2024	PLANNING & SB330 REV 6

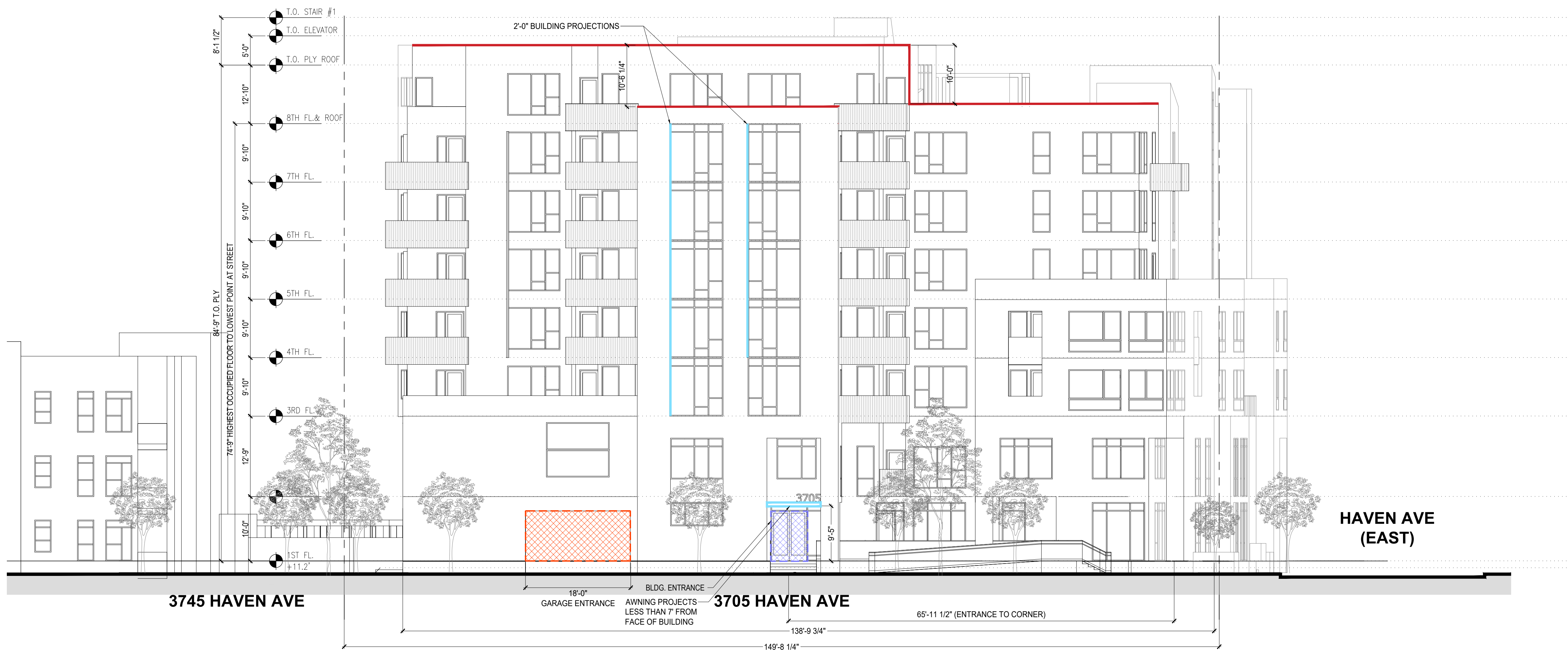
CONTACT: TOBY LEVY

(415) 777-0561 P
(415) 777-5117 F

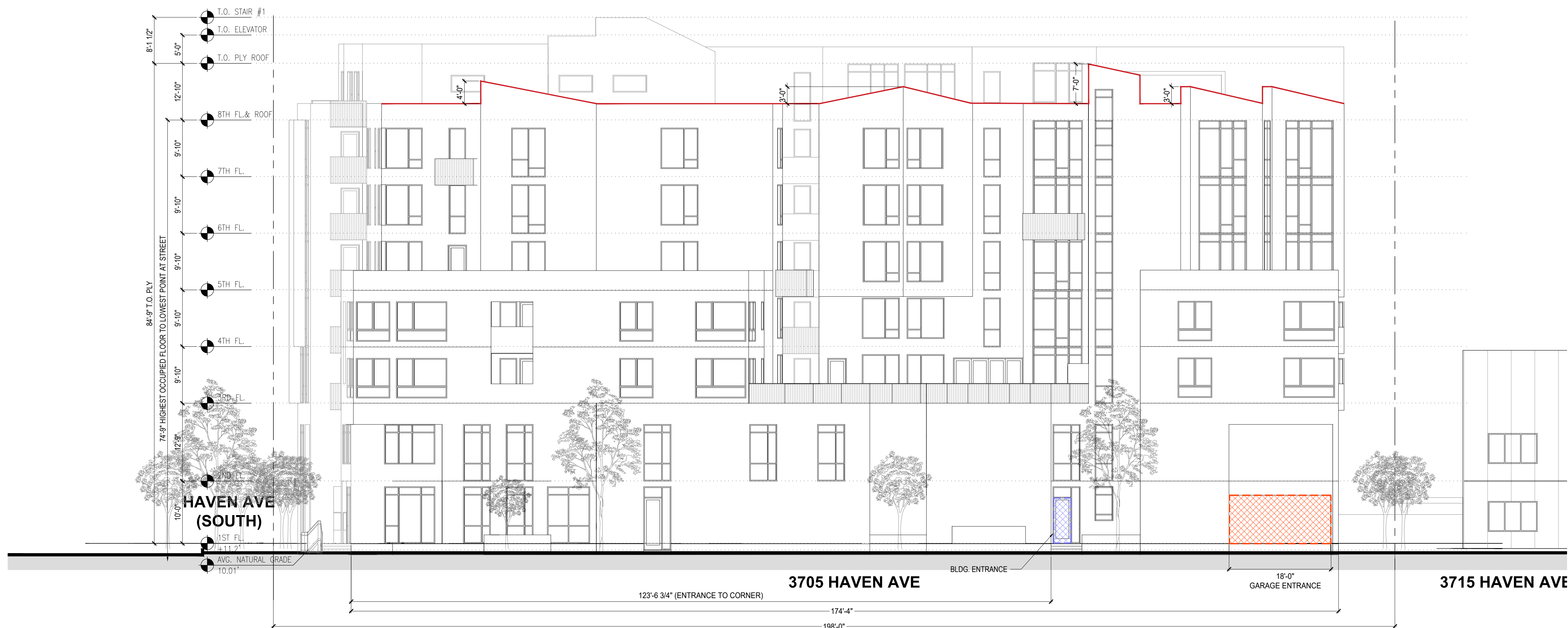
SCALE:
AS NOTED

ZONING
DIAGRAM

A3.05A



2 ELEVATION : HAVEN STREET SOUTH - STREET FRONTAGE
3/32" = 1'-0"



1 ELEVATION : HAVEN STREET EAST - STREET FRONTAGE
3/32" = 1'-0"

**3705 HAVEN AVE
MENLO PARK, CA**



3705 HAVEN AVE
MENLO PARK, CA

PROJECT NO. 21-07
PARCEL NO. 055170240

REV	DATE	DESCRIPTION
04-14-2023	PLANNING & SB330 REV 2	
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03-20-2024	PLANNING & SB330 REV 4	
06-13-2024	PLANNING & SB330 REV 5	
07-26-2024	PLANNING & SB330 REV 6	

CONTACT: TOBY LEVY

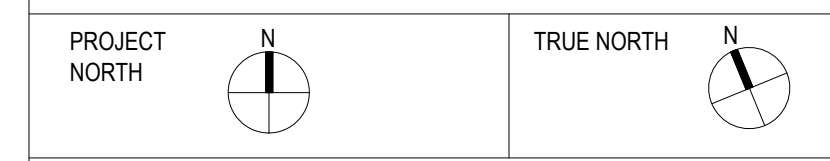
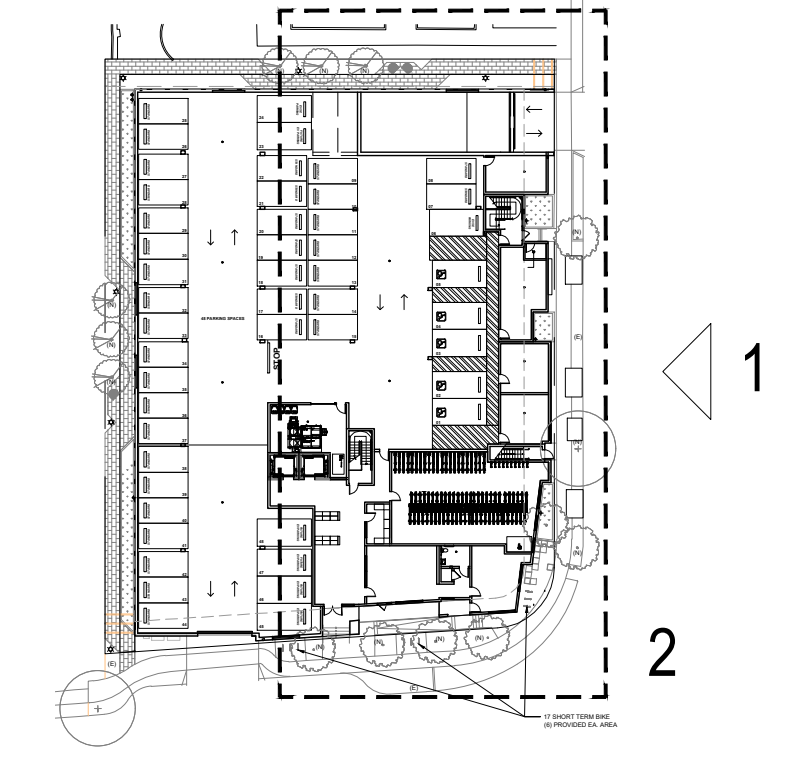
(415) 777-0561 P
(415) 777-5117 F

SCALE:
AS NOTED

ZONING
DIAGRAM

A3.05B

SHEET NOTES



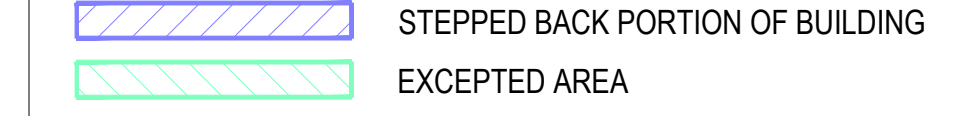
PROPERTY LINE

MUNICIPAL CODE 16.45.120 (2) -
BASE HEIGHT : 45' + 10' = 55'

The maximum height of a building at the minimum setback at street or before the building steps back the minimum horizontal distance required. Note: Properties within the flood zone or subject to flooding and sea level rise are allowed a 10-foot height increase : 55'

HEIGHT

MINIMUM SETBACK - The horizontal distance a building's upper stories must be set back above the base height.
10 feet for a minimum of 75% of the building face along public streets. A maximum of 25% of building face along public streets may be excepted.



BUILDING PROJECTIONS

The maximum depth of allowable building projections, such as balconies, or bay windows, from the required setback for portions of the building above the ground floor.
6' max. depth
LABELED IN ELEVATION & PLAN

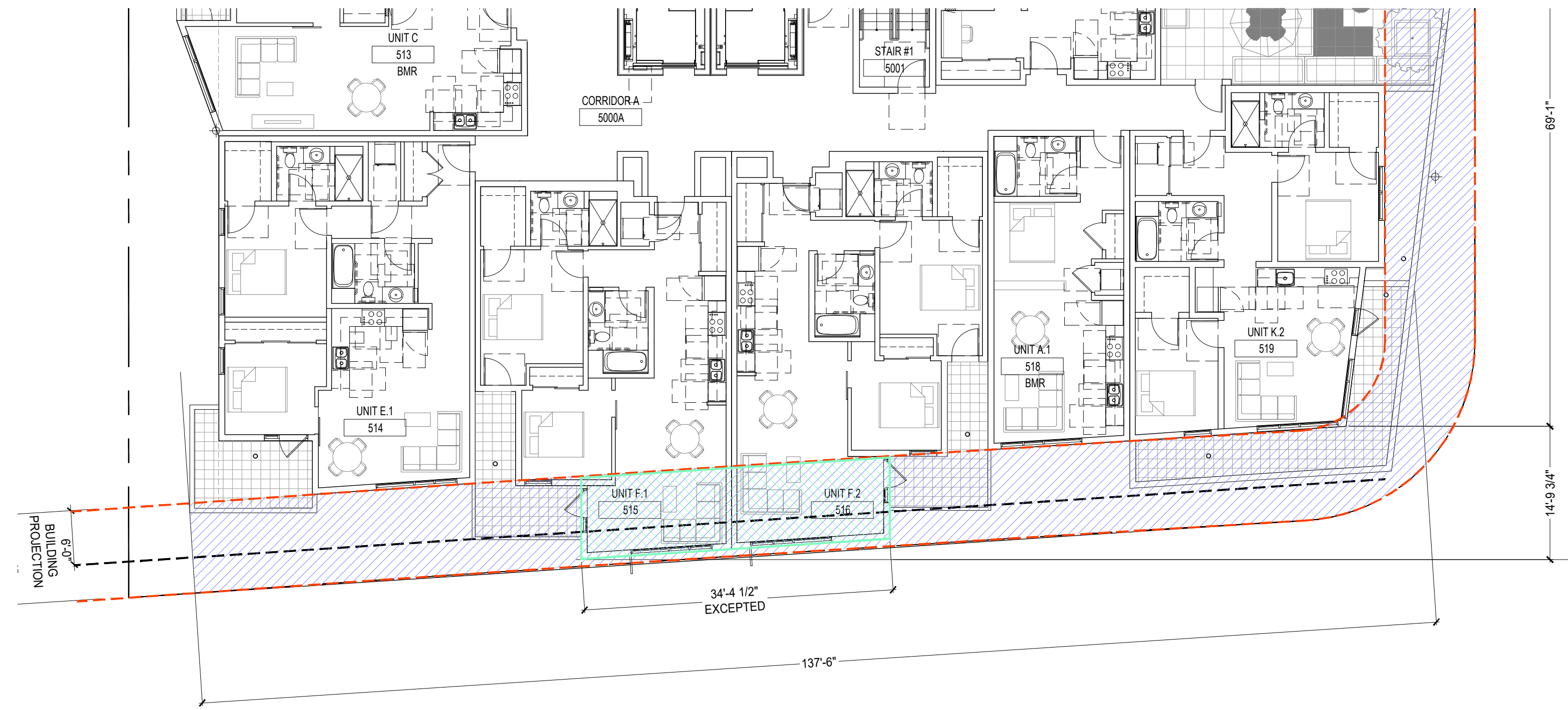
OVERALL LENGTH OF BUILDING FRONTAGE: 184'-9"
MIN. FRONTAGE ABOVE 45'-0" WITHIN SETBACKS:
184'-9" X 75% = 138'-6 3/4"
PROPOSED FRONTAGE WITHIN SETBACKS:
14'-9 1/2" + 69'-1" + 55'-7 1/2" + 9'-2 1/2" = 148'-9"
148'-9" > 138'-6 3/4"
75% OF BUILDING FACE STEPS BACK
AT LEAST 10'-0" ON THE UPPER STORIES
184'-9" X 25% = 46'-2 1/4" (MAX.)
PROPOSED: 25'-11 1/4" < 46'-2 1/4"



2 PLANS : HAVEN STREET EAST - SETBACK (FIFTH FLOOR PLAN SHOWN, SIXTH & SEVENTH SIM.)
3/32" = 1'-0"



1 ELEVATION : HAVEN STREET EAST - GROUND FLOOR SETBACK
3/32" = 1'-0"



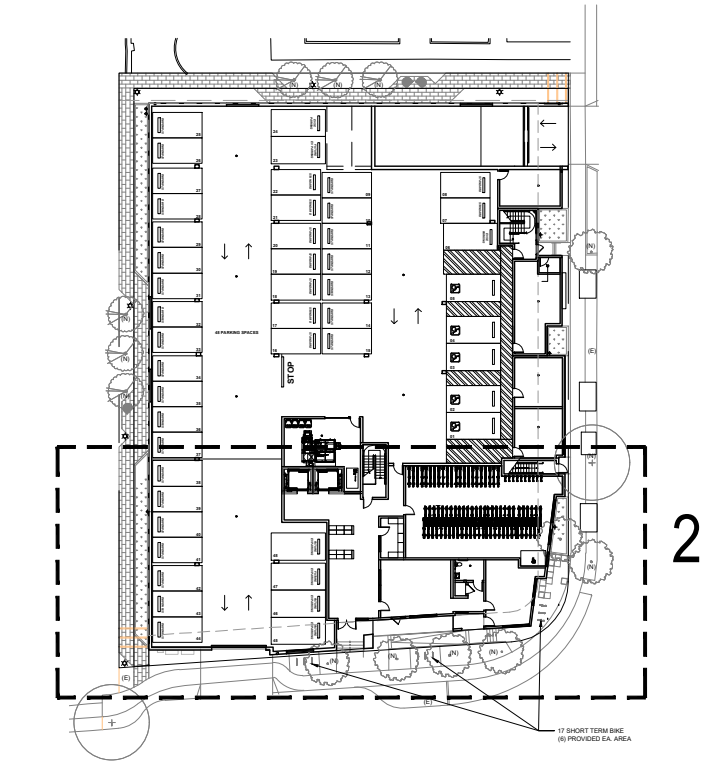
OVERALL LENGTH OF BUILDING FRONTAGE: 137'-6"
 MIN. FRONTAGE ABOVE 45'-0" WITHIN SETBACKS: 137'-6" X 75% = 103'-1 1/2"
 75% OF BUILDING STEPS BACK AT LEAST 10'-0" ON THE UPPER STORIES ABOVE 45'-0"
 25% MAY BE EXCEPTED WITHIN SETBACK: 137'-6" X 25% = 34'-4 1/2"
 25% MAX. EXCEPTED WITHIN SETBACK: 34'-4 1/2"

2 PLANS : HAVEN STREET SOUTH - SETBACK (FIFTH FLOOR PLAN SHOWN, SIXTH & SEVENTH SIM.)
 3/32" = 1'-0"



1 ELEVATION : HAVEN STREET SOUTH - SETBACK
 3/32" = 1'-0"

SHEET NOTES



PROPERTY LINE

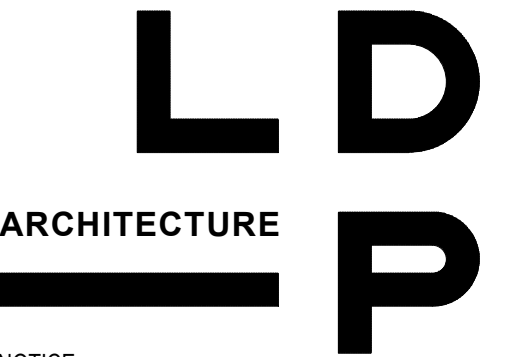
MUNICIPAL CODE 16.45.120 (2) -
 BASE HEIGHT : 45' + 10' = 55'
 The maximum height of a building at the minimum setback at street or before the building steps back the minimum horizontal distance required.
 Note: Properties within the flood zone or subject to flooding and sea level rise are allowed a 10-foot height increase : 55'

HEIGHT

MINIMUM SETBACK - The horizontal distance a building's upper stories must be set back above the base height.
 10 feet for a minimum of 75% of the building face along public streets. A maximum of 25% of building face along public streets may be excepted.

STEPPED BACK PORTION OF BUILDING
 EXCEPTED AREA

BUILDING PROJECTIONS
 The maximum depth of allowable building projections, such as balconies, or bay windows, from the required setback for portions of the building above the ground floor.
 6' max. depth
 LABELED IN ELEVATION & PLAN



NOTICE: THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF LEVY DESIGN PARTNERS, INC. (LDP ARCHITECTURE) AND SHALL NOT BE USED EXCEPT BY WRITTEN AGREEMENT WITH LEVY DESIGN PARTNERS.

**3705 HAVEN AVE
 MENLO PARK, CA**



3705 HAVEN AVE
 MENLO PARK, CA

PROJECT NO. 21-07
 PARCEL NO. 055170240

REV	DATE	DESCRIPTION
	04-14-2023	PLANNING & SB330 REV 2
	09-22-2023	PLANNING & SB330 REV 3
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	06-13-2024	PLANNING & SB330 REV 5
	07-26-2024	PLANNING & SB330 REV 6

CONTACT: TOBY LEVY

(415) 777-0561 P
 (415) 777-5117 F

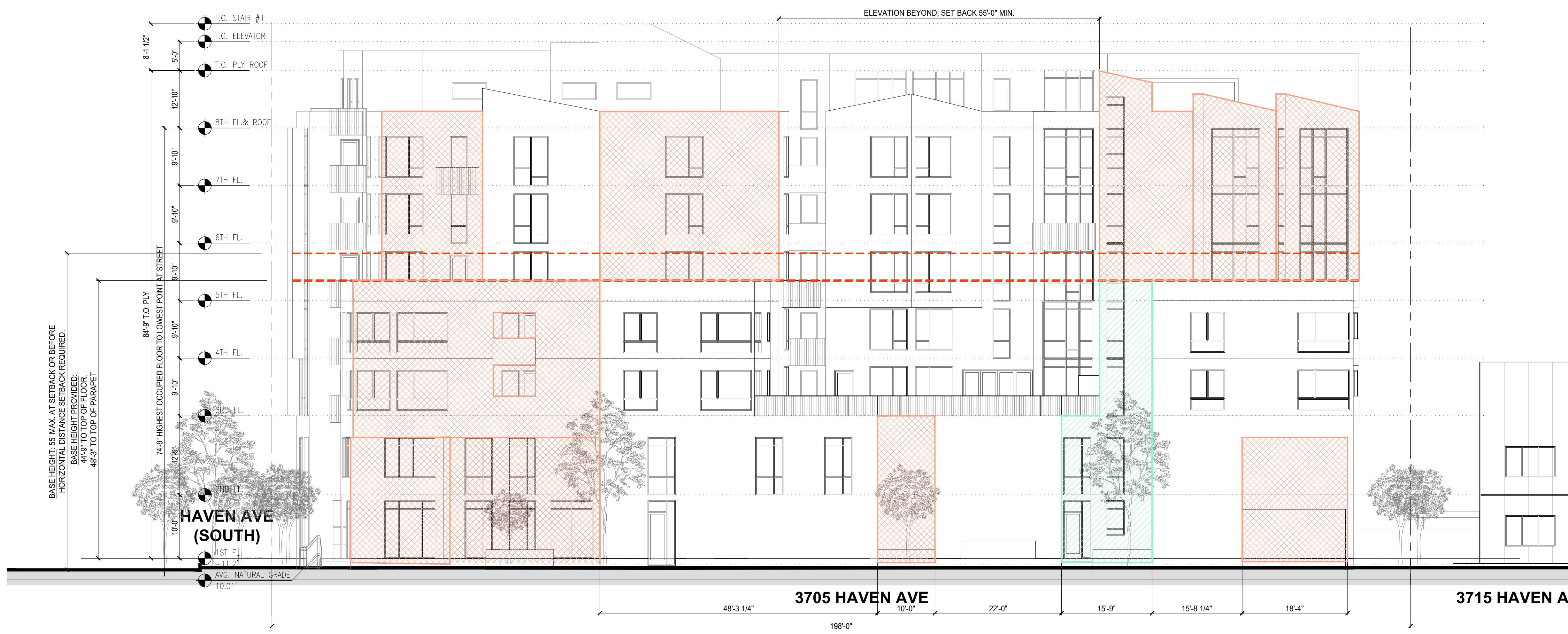
SCALE:
 AS NOTED

ZONING
 DIAGRAM

A3.05C

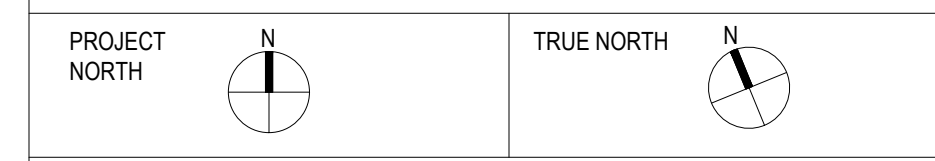
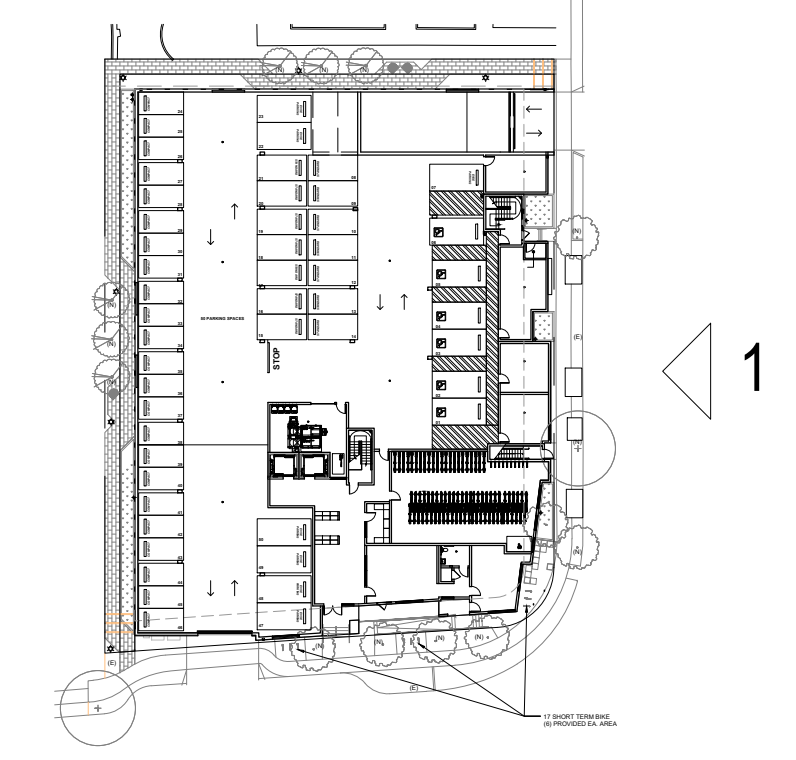


2 ELEVATION : HAVEN STREET SOUTH - MAJOR & MINOR BUILDING MODULATIONS
1/32" = 1'-0"



1 ELEVATION : HAVEN STREET EAST - MAJOR & MINOR BUILDING MODULATIONS
1/32" = 1'-0"

SHEET NOTES



PROPERTY LINE

MUNICIPAL CODE 16.45.120 (2) - MAJOR BUILDING MODULATIONS

A major modulation is a break in the building plane from the ground level to the top of the building's base height that provides visual variety, reduces large building volumes, and provides spaces for entryways and publicly accessible spaces.

- Minimum of one recess of 15 feet wide by 10 feet deep per 200 feet of facade length

MAJOR BUILDING RECESS

MINOR BUILDING MODULATIONS 16.45.120 (2) -

Modulation is required on the building facade(s) facing publicly accessible spaces (streets, open space, and paseos).

- Minimum recess of 5 feet wide by 5 feet deep per 50 feet of facade length
- Building projections spaced no more than 50' apart with min. 3' depth & 5' width may satisfy this in lieu of a recess.

MINOR BUILDING RECESS



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**3705 HAVEN AVE
MENLO PARK, CA**



3705 HAVEN AVE
MENLO PARK, CA
PROJECT NO. 21-07
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REV	DATE	DESCRIPTION
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06-13-2024	PLANNING & SB330 REV 5	
07-26-2024	PLANNING & SB330 REV 6	

CONTACT: TOBY LEVY

(415) 777-0561 P
(415) 777-5117 F

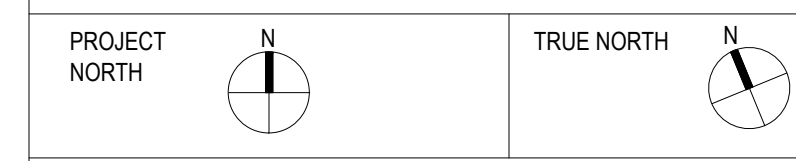
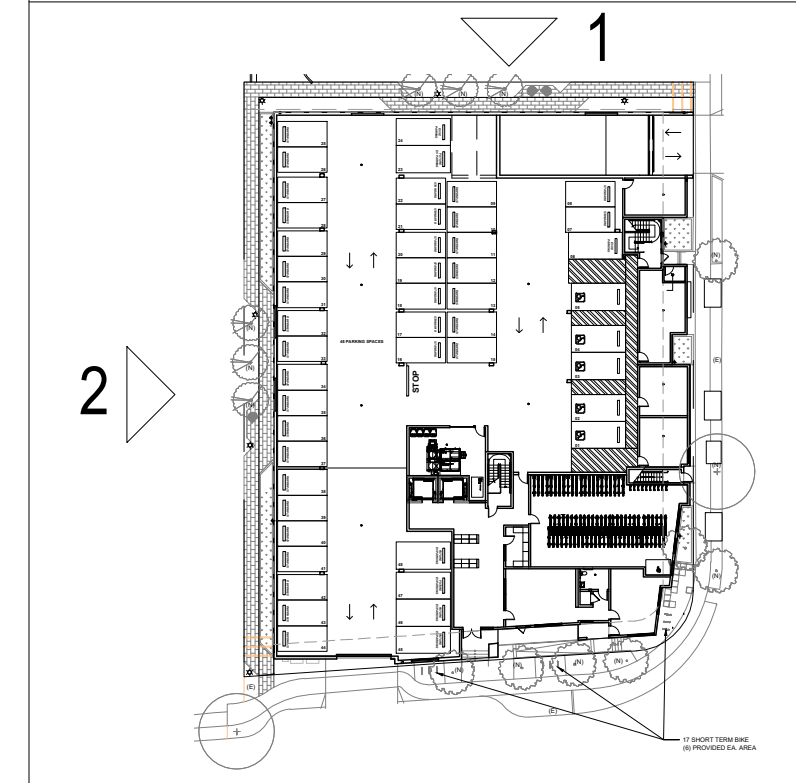
SCALE: AS NOTED

ZONING DIAGRAM

A3.05D

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AND SHALL NOT BE USED EXCEPT BY WRITTEN
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SHEET NOTES

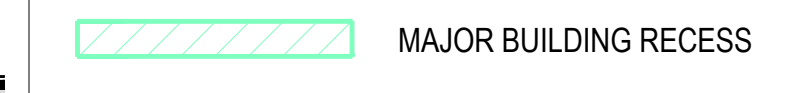


--- PROPERTY LINE

MUNICIPAL CODE 16.45.120 (2) - MAJOR BUILDING MODULATIONS

A major modulation is a break in the building plane from the ground level to the top of the building's base height that provides visual variety, reduces large building volumes, and provides spaces for entryways and publicly accessible spaces.

- Minimum of one recess of 15 feet wide by 10 feet deep per 200 feet of facade length



MINOR BUILDING MODULATIONS 16.45.120 (2) -

Modulation is required on the building facade(s) facing publicly accessible spaces (streets, open space, and paseos).

- Minimum recess of 5 feet wide by 5 feet deep per 50 feet of facade length
- Building projections spaced no more than 50' apart with min. 3' depth & 5' width may satisfy this in lieu of a recess.



2 ELEVATION : WEST
1/32" = 1'-0"



1 ELEVATION : NORTH
1/32" = 1'-0"

**3705 HAVEN AVE
MENLO PARK, CA**



3705 HAVEN AVE
MENLO PARK, CA

PROJECT NO. 21-07
PARCEL NO. 055170240

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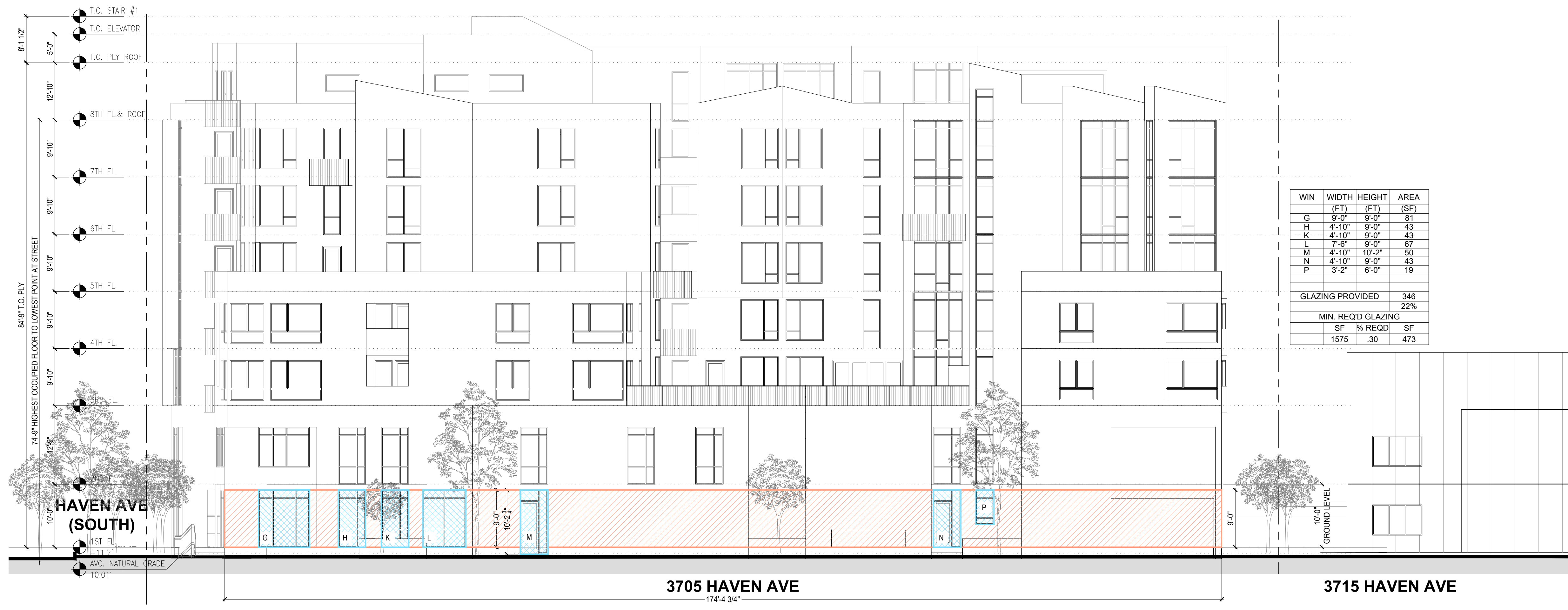
CONTACT: TOBY LEVY

(415) 777-0561 P
(415) 777-5117 F

SCALE:
AS NOTED

ZONING
DIAGRAM

A3.05E

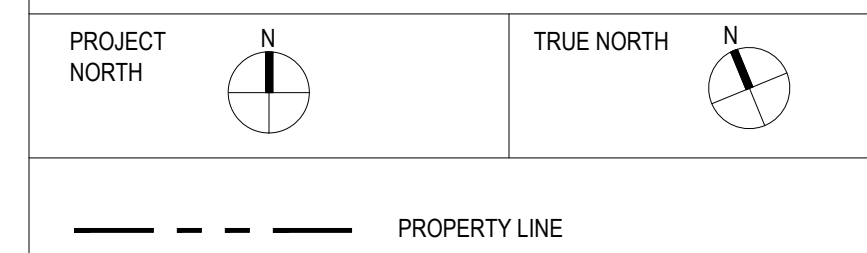
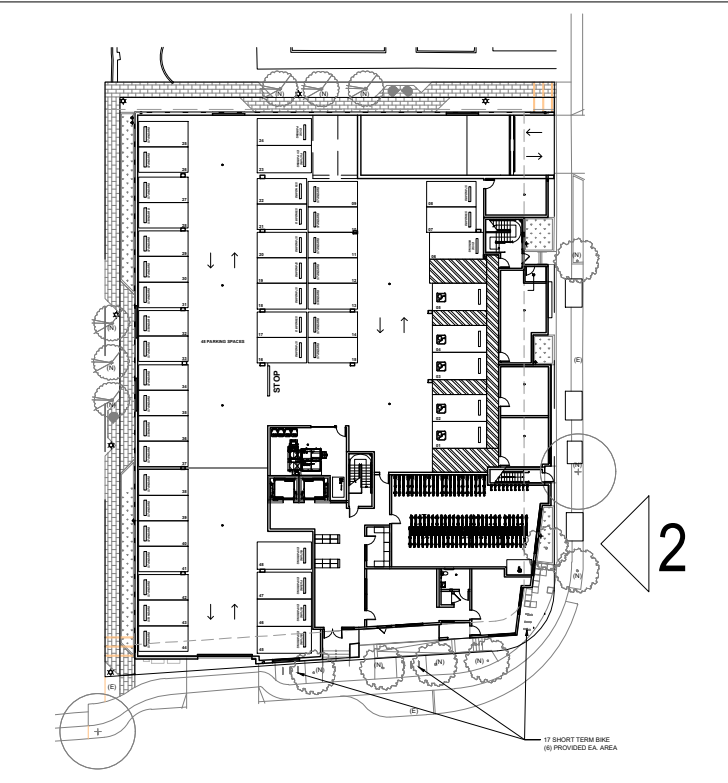


2 ELEVATION : HAVEN STREET EAST - GROUND FLOOR TRANSPARENCY
3/32" = 1'-0"



1 ELEVATION : HAVEN STREET SOUTH - GROUND FLOOR TRANSPARENCY
3/32" = 1'-0"

SHEET NOTES



MUNICIPAL CODE 16.45.120 (3) - Minimum Ground Floor Height
Along Street Frontage
10 feet for residential uses
15 feet for commercial uses
Project Complies: The ground level is 11'-0"
LABELED IN ELEVATION

MUNICIPAL CODE 16.45.120 (3) - GROUND FLOOR TRANSPARENCY
The minimum percentage of the ground floor facade (finished floor to ceiling) that must provide visual transparency, such as clear-glass windows, doors, etc.
30% for residential uses
50% for commercial uses (N/A)

Project complies, 30% min. provided.

- GROUND LEVEL TRANSPARENT GLAZING
- GROUND LEVEL OPAQUE SURFACE RESIDENTIAL



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CONTACT: TOBY LEVY

(415) 777-0561 P
(415) 777-5117 F

SCALE: AS NOTED

ZONING DIAGRAM

A3.05F

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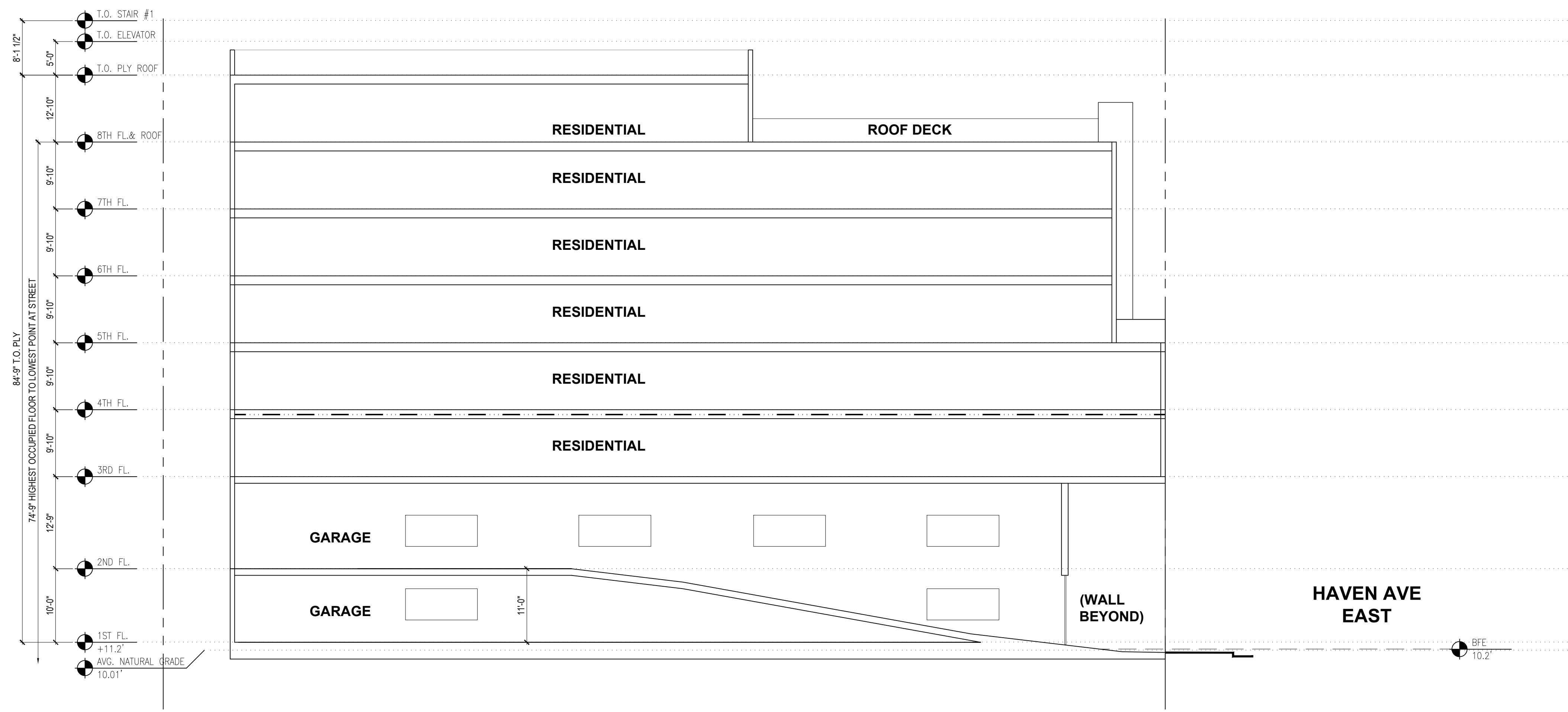
CONTACT: TOBY LEVY

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(415) 777-5117 F

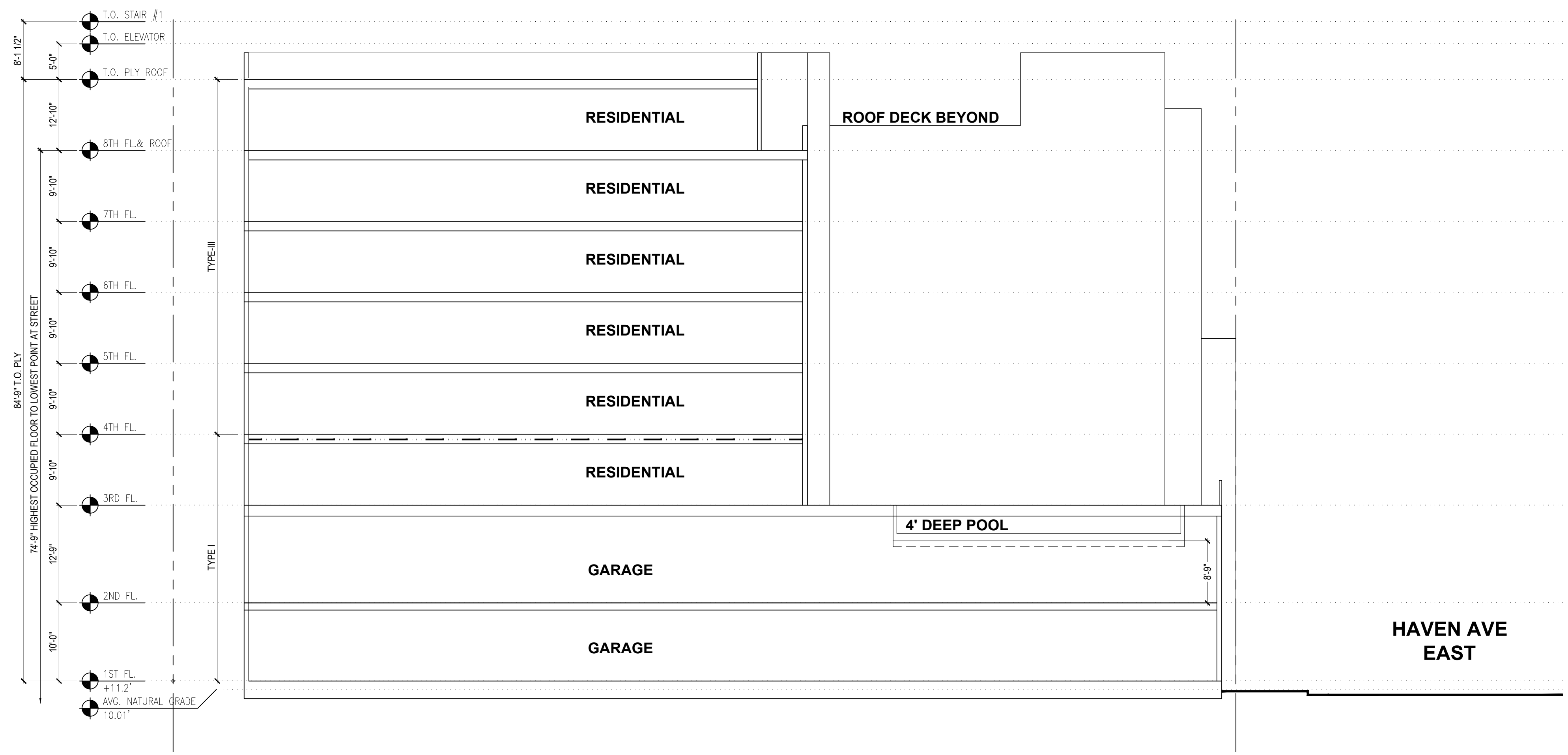
SCALE:
AS NOTED

SECTION

A4.01



2 SECTION
3/32" = 1'-0"



1 SECTION
3/32" = 1'-0"

**3705 HAVEN AVE
MENLO PARK, CA**



3705 HAVEN AVE
MENLO PARK, CA

PROJECT NO. 21-07
PARCEL NO. 055170240

REV | DATE | DESCRIPTION

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07-26-2024	PLANNING & SB330 REV 6

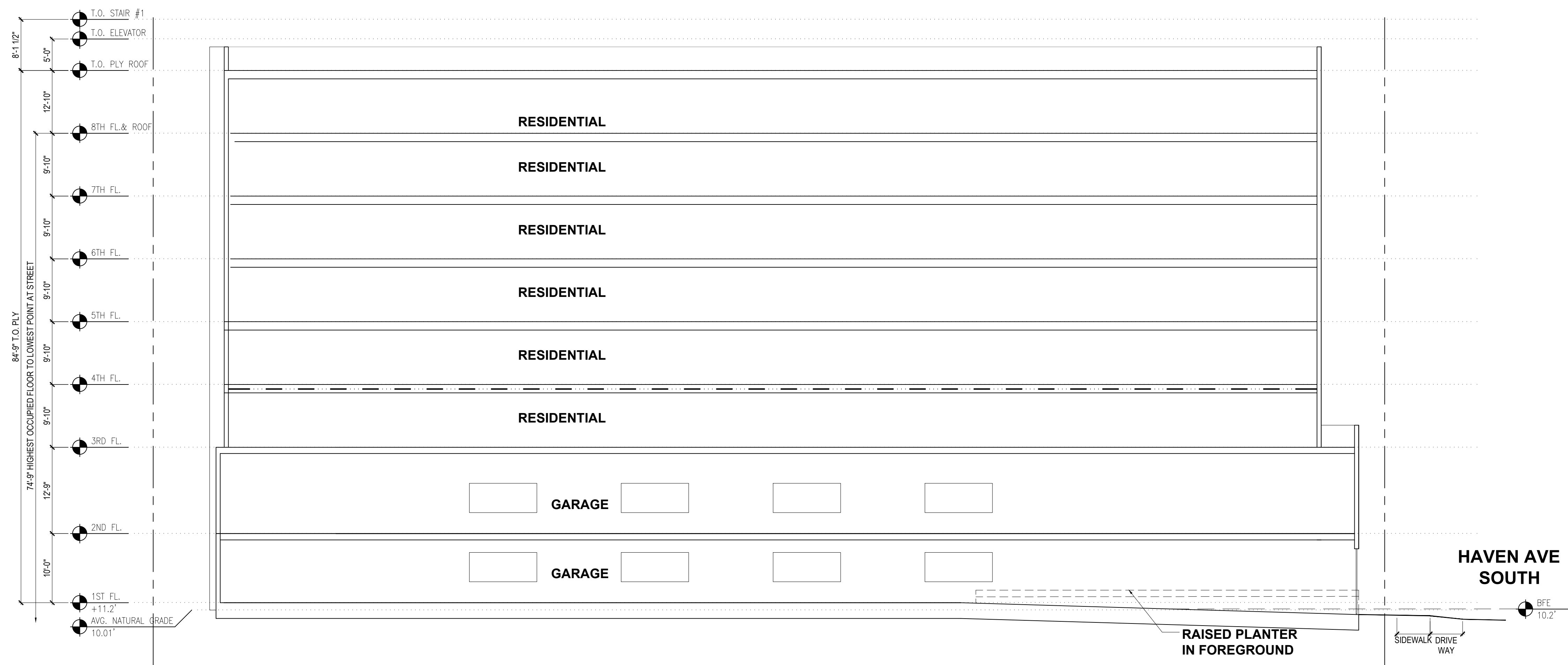
CONTACT: TOBY LEVY

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(415) 777-5117 F

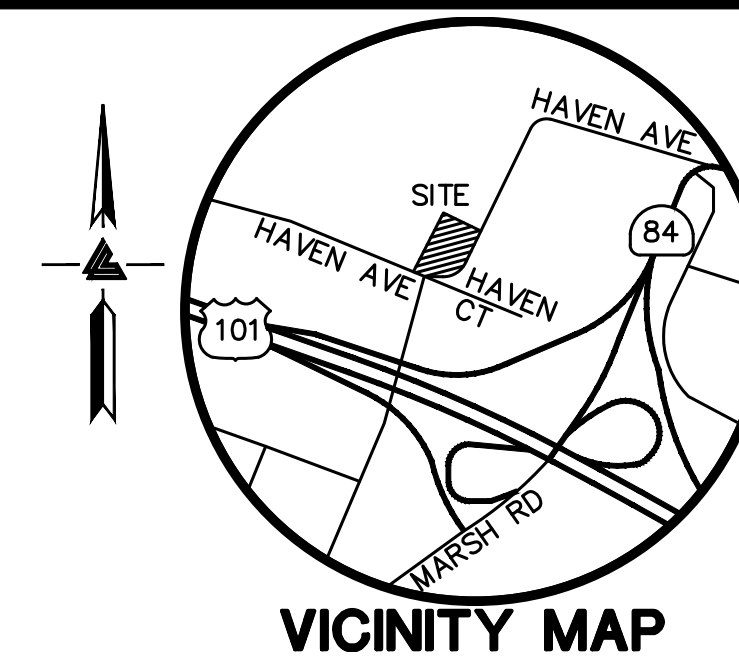
SCALE:
AS NOTED

SECTION

A4.02



3705 HAVEN AVENUE MENLO PARK, CALIFORNIA



VICINITY MAP

OWNER'S INFORMATION

OWNER:
3705 HAVEN LLC
2040 WEBSTER STREET
SAN FRANCISCO, CA 94115

APN: 055-170-240

REFERENCES

- THIS GRADING AND DRAINAGE PLAN IS SUPPLEMENTAL TO:
- TOPOGRAPHIC SURVEY BY LEA AND BRAZE ENGINEERING, ENTITLED: "BOUNDARY AND TOPOGRAPHICAL SURVEY" 3705 HAVEN AVENUE MENLO PARK, USA DATED: 2-11-22 JOB# 2212296
 - SITE PLAN BY LEVY DESIGN PARTNERS ENTITLED: "GROUND FLOOR PLAN" 3705 HAVEN AVENUE MENLO PARK, USA
 - LANDSCAPE PLANS BY JETT LANDSCAPE ENTITLED: "LANDSCAPE PLAN" 3705 HAVEN AVENUE MENLO PARK, USA
 - JOINT TRENCH PLANS BY TARRAR ENTITLED: "JOINT TRENCH COMPOSITE PLAN" 3705 HAVEN AVENUE MENLO PARK, USA

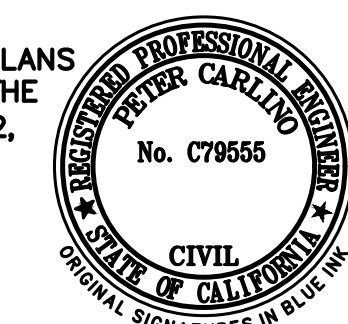
THE CONTRACTOR SHALL REFER TO THE ABOVE NOTED SURVEY AND PLAN, AND SHALL VERIFY BOTH EXISTING AND PROPOSED ITEMS ACCORDING TO THEM.

CITY FEMA NOTE:

- THE PROJECT IS BUILT IN COMPLIANCE WITH THE CITY'S FLOOD DAMAGE PREVENTION ORDINANCE, CHAPTER 12, SECTION 42
- ALL MATERIALS BELOW DFE SHALL BE RESISTANT TO FLOOD DAMAGE (I.E., CONCRETE, REDWOOD OR PRESSURE TREATED DOUGLAS FIR)
- THE BOTTOM ELEVATION OF ALL APPLIANCES AND UTILITIES (METERS, AIR CONDITIONING UNITS, ETC) SHALL BE AT OR ABOVE DFE.
- STORM RUNOFF RESULTING FROM THE PROJECT'S GRADING AND DRAINAGE ACTIVITIES SHALL NOT ENCROACH ONTO ANY NEIGHBORING LOT. RUNOFF MUST BE CONTAINED ON-SITE.
- NO BASEMENTS OR ANY HABITABLE ENCLOSURE BELOW THE DFE ARE ALLOWED FOR PROJECTS IN THE FLOOD ZONE.
- FLOOD VENTS SHALL BE INSTALLED FOR ALL NON-HABITABLE ENCLOSURES BELOW THE DFE (I.E. CRAWLSPACE, GARAGE, ETC.) AT A RATE OF 1 SQUARE INCH OF NET OPENING TO 1 SQUARE FOOT OF ENCLOSURE. REFER TO THE ENGINEERING PLANS HEREIN FOR VENT LOCATIONS AND CALCULATIONS.

I CERTIFY THAT I AM THE ENGINEER OF RECORD AND THE PLANS DATED 07-29-22 SUBMITTED ON 11-18-22 COMPLY WITH THE CITY'S FLOOD DAMAGE PREVENTION ORDINANCE (CHAPTER 12, SECTION 42).

SIGNED: PETER CARLINO
REGISTERED CIVIL ENGINEER NO. C79555 (EXP. 09-30-24)



FEMA FLOOD ELEVATIONS:

FFE: 11.2'
BFE: 10.2'
DFE: 11.2'

* BUILDING PAD NOTE:

ADJUST PAD LEVEL AS REQUIRED. REFER TO STRUCTURAL PLANS FOR SLAB SECTION OR CRAWL SPACE DEPTH TO ESTABLISH PAD LEVEL.

NOTE:

FOR CONSTRUCTION STAKING SCHEDULING OR QUOTATIONS PLEASE CONTACT ALEX ABAYA AT LEA & BRAZE ENGINEERING (510)887-4086 EXT 116. aabaya@leabraze.com

INSPECTION NOTE:

THE CONTRACTOR SHALL INFORM THE OWNER (IN WRITING) OF RECOMMENDED PERIODIC INSPECTION AND MAINTENANCE OF THE ON-SITE STORM DRAINAGE SYSTEM. THE REGULAR CLEARING OF SILT AND DEBRIS IS ESPECIALLY IMPORTANT PRIOR TO EACH RAINY SEASON.

SHEET INDEX

- C-1.0 TITLE SHEET
- C-1.1 GRADING SPECIFICATIONS
- C-2.0 DEMOLITION PLAN
- C-3.0 PRELIMINARY GRADING & DRAINAGE PLAN
- C-3.1 AVERAGE NATURAL GRADE EXHIBIT
- C-4.0 PRELIMINARY UTILITIES PLAN
- C-4.1 COLOR CODED UTILITIES PLAN
- C-4.2 WATER MAIN CONNECTION DETAIL
- C-4.3 PRELIMINARY UTILITIES PROFILE
- C-4.4 WATER MAIN UTILITY PROFILE
- C-5.0 DRIVEWAY SAFETY TRIANGLES
- SOP-0 OFFSITE GREEN INFRASTRUCTURE PLAN
- SOP-1 PRELIMINARY IMPERVIOUS AREA EXHIBIT
- SOP-2 PRELIMINARY STORMWATER CONTROL PLAN
- SOP-3 STORMWATER CONTROL DETAILS
- SOP-4 GREEN INFRASTRUCTURE DETAILS
- C-6.0 DETAILS
- C-6.1 CITY DETAILS
- ER-1 EROSION CONTROL
- ER-2 EROSION CONTROL DETAILS
- SM-1 BEST MANAGEMENT PRACTICES
- SU-1 TOPOGRAPHICAL SURVEY



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CIVIL ENGINEERS & LAND SURVEYORS
REGIONAL OFFICES:
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3705 HAVEN AVENUE
MENLO PARK, CALIFORNIA

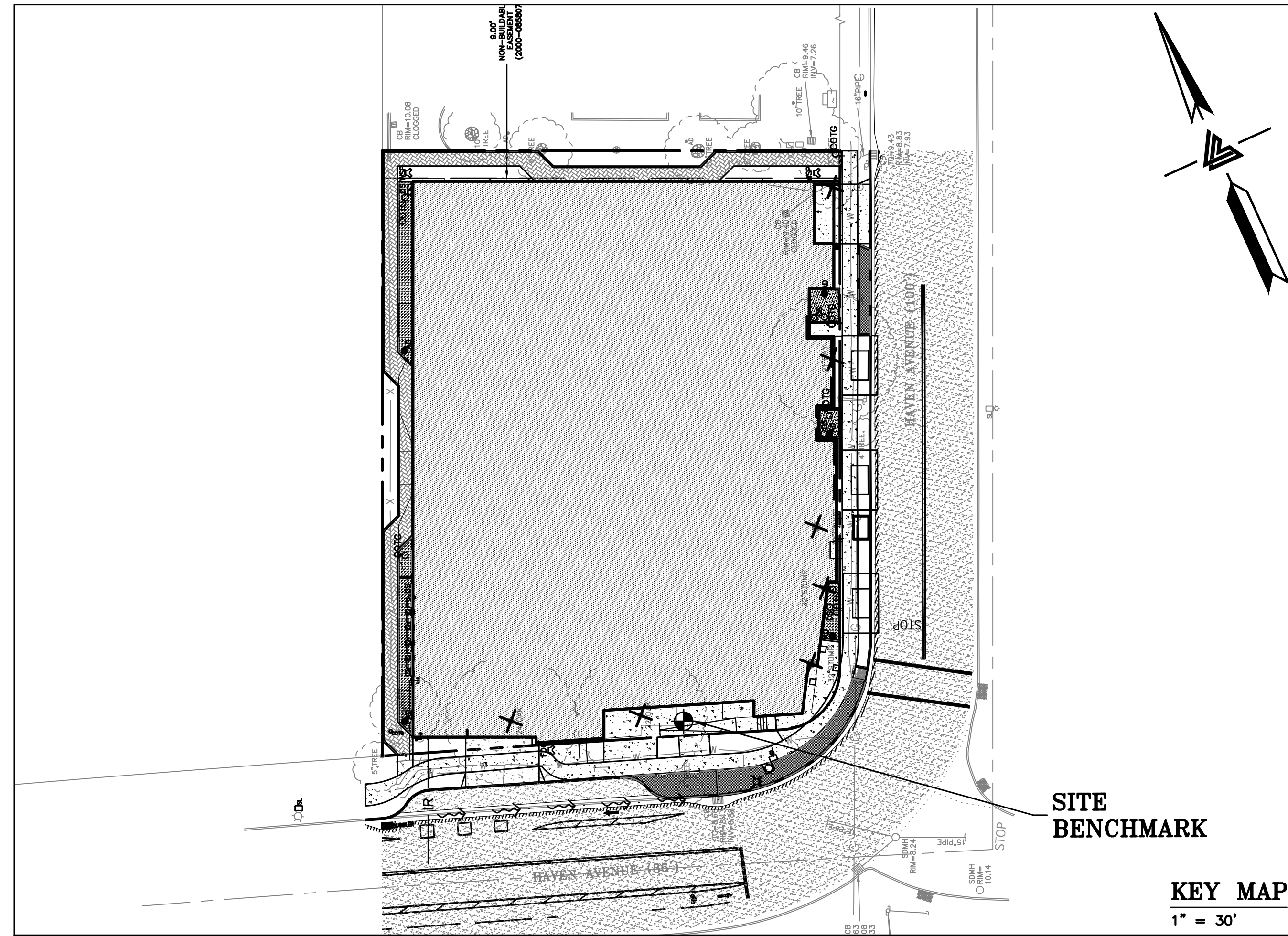
TITLE SHEET

9	COMP REVIEW	VA
8	07-16-24	VA
8	05-31-24	VA
8	COMP REVIEW	VA
6	03-21-24	VA
6	C3 PLN CHK	VA
6	10-17-23	VA
5	C3 PLN CHK	VA
5	10-04-23	VA
REVISIONS		BY
JOB NO: 2220759		
DATE: 11-18-22		
SCALE: AS NOTED		
DESIGN BY: VA		
CHECKED BY: JH/PC		
SHEET NO:		
C-1.0		
01 OF 22 SHEETS		

EXISTING	PROPOSED	DESCRIPTION
---	---	BOUNDARY
---	---	PROPERTY LINE
---	---	RETAINING WALL
---	---	LANDSCAPE RETAINING WALL
---	---	RAINWATER TIGHTLINE
---	---	SUBDRAIN LINE
---	---	TIGHTLINE
---	---	STORM DRAIN LINE
---	---	SANITARY SEWER LINE
---	---	WATER LINE
---	---	GAS LINE
---	---	STORM DRAIN PRESSURE LINE
---	---	SANITARY SEWER PRESSURE LINE
---	---	JOINT TRENCH
---	---	SET BACK LINE
---	---	CONCRETE VALLEY GUTTER
---	---	EARTHEN SWALE
---	---	CATCH BASIN
---	---	JUNCTION BOX
---	---	AREA DRAIN
---	---	CURB INLET
---	---	STORM DRAIN MANHOLE
---	---	FIRE HYDRANT
---	---	SANITARY SEWER MANHOLE
---	---	STREET SIGN
---	---	SPOT ELEVATION
---	---	FLOW DIRECTION
---	---	DEMOLISH/REMOVE
---	---	BENCHMARK
---	---	CONTOURS
---	---	TREE TO BE REMOVED
---	---	TREE PROTECTION FENCING

ABBREVIATIONS

AB	AGGREGATE BASE	LNDR	LANDING
AC	ASPHALT CONCRETE	LF	LINEAR FEET
ACC	ACCESSIBLE	MAX	MAXIMUM
AD	AREA DRAIN	MH	MANHOLE
BC	BEGINNING OF CURVE	MIN	MINIMUM
B & D	BEARING & DISTANCE	MON.	MONUMENT
BM	BENCHMARK	MRO	METERED RELEASE OUTLET
BFE	BASE FLOOD ELEVATION	(N)	NUMBER
BW/FG	BOTTOM OF WALL/FINISH GRADE	NTS	NOT TO SCALE
CB	CATCH BASIN	O.C.	ON CENTER
C & G	CURB AND GUTTER	O/	OVER
CL	CENTER LINE	(PA)	PLANTING AREA
CPP	CORRUGATED PLASTIC PIPE (SMOOTH INTERIOR)	PEP	PEDESTRIAN
CO	CLEANOUT	PIV	POST INDICATOR VALVE
COTG	CLEANOUT TO GRADE	PSS	PUBLIC SERVICES EASEMENT
CONC	CONCRETE	R	RADIUS
CONST	CONSTRUCT or -TION	PP	POWER POLE
CONC COR	CONCRETE CORNER	PVC	PUBLIC UTILITY EASEMENT
CY	CUBIC YARD	PVC	POLYVINYL CHLORIDE
D	DIAMETER	RCP	REINFORCED CONCRETE PIPE
DI	DROP INLET	RIM	RIM ELEVATION
DIP	DUCTILE IRON PIPE	RW	RAINWATER
DFE	DESIGN FLOOD ELEVATION	R/W	RIGHT OF WAY
EA	EACH	S	SLOPE
EC	END OF CURVE	S.A.D.	SEE ARCHITECTURAL DRAWINGS
EG	EXISTING GRADE	SAN	SANITARY
EL	ELEVATIONS	SD	STORM DRAIN
EP	EDGE OF PAVEMENT	SDMH	STORM DRAIN MANHOLE
EQ	EQUIPMENT	SHT	SHEET
EW	EACH WAY	S.L.D.	SEE LANDSCAPE DRAWINGS
(E)	EXISTING	SPEC	SPECIFICATION
FC	FACE OF CURB	SS	SANITARY SEWER
FFE	FINISHED FLOOR ELEVATION	SSCO	SANITARY SEWER CLEANOUT
FG	FINISHED GRADE	SSMH	SANITARY SEWER MANHOLE
FH	FIRE HYDRANT	ST	STREET
FL	FLOW LINE	STA	STATION
FS	FINISHED SURFACE	STD	STANDARD
G	GAS	STRUCT	STRUCTURAL
GA	GAGE OR GAUGE	T	TELEPHONE
GB	GRADE BREAK	TC	TOP OF CURB
HDPE	HIGH DENSITY CORRUGATED POLYETHYLENE PIPE	TOW	TOP OF WALL
HORIZ	HORIZONTAL	TEMP	TEMPORARY
HI PT	HIGH POINT	TW/FG	TOP OF PAVEMENT
H&T	HUB & TACK	TYP	TOP OF WALL/FINISH GRADE
ID	INSIDE DIAMETER	VCP	TYPICAL
INV	INVERT ELEVATION	VC	VERTICAL CURVE
JB	JUNCTION BOX	VCP	VERTIFIED CLAY PIPE
JT	JOINT TRENCH	VERT	VERTICAL
JP	JOINT UTILITY POLE	W/	WITH
L	LENGTH	W, WL	WATER LINE
		WM	WATER METER



KEY MAP
1" = 30'

BASIS OF BEARINGS

THE BEARING NORTH 24°13'00" EAST ALONG THE WESTERLY RIGHT OF WAY OF HAVEN AVENUE AS SHOWN ON THAT CERTAIN PARCEL MAP FILED IN BOOK 72 OF PARCEL MAPS AT PAGE 46, SAN MATEO COUNTY RECORDS, IS THE BASIS OF ALL BEARINGS SHOWN ON THIS MAP.

BENCHMARK

CITY OF MENLO PARK BM3 BRONZE DISK EPOXIED INTO THE TOP OF A CONCRETE CURB OF THE NORTHERLY CURB LINE OF HAVEN AVENUE AT #3585 HAVEN AVENUE AT THE WESTERLY SIDE OF A STORM WATER CATCH BASIN.
ELEVATION = 8.178'
(ADJUSTED TO NAVD 88 DATUM)

UTILITY NOTE

ALL UNDERGROUND PIPE TYPES, SIZES AND LOCATION SHOWN ON THIS SURVEY ARE BASED ON VISUAL OBSERVATION. ANY USE OF THIS INFORMATION SHOULD BE VERIFIED, BEFORE ITS USE, WITH THE CONTROLLING MUNICIPALITY OR UTILITY PROVIDER. THIS SURVEY MAKES NO GUARANTEE OF THE INSTALLED ACTUAL LOCATION, DEPTHS OR SIZE.

EASEMENT NOTE

EASEMENTS ARE SHOWN PER PRELIMINARY TITLE REPORT ISSUED BY OLD REPUBLIC TITLE COMPANY, ORDER NO 0227027166-RL, DATED AS OF NOVEMBER 22, 2021 EASEMENT TO PG&E FOR ELECTRIC TRANSMISSION LINES PER DOCUMENT RECORDED IN BOOK 127, PAGE 468, OFFICIAL RECORDS OF SAN MATEO COUNTY, IS NOT PLOTTABLE. EXACT LOCATION NOT DISCLOSED OF RECORD.

SITE BENCHMARK

SURVEY CONTROL POINT CUT CROSS IN CONCRETE
ELEVATION = 9.91'
(ADJUSTED TO NAVD 88 DATUM)

TREE NOTE

TREE SIZE, TYPE AND DRILLPILES ARE BASED ON A VISUAL OBSERVATION. FINAL DETERMINATION SHOULD BE MADE BY THE PROJECT ARBORIST.

FEMA FLOOD NOTE

FLOOD ZONE: AE
100-YEAR BASE FLOOD ELEVATION (BFE): 10.2' (NAVD88 DATUM)
PER FLOOD INSURANCE STUDY TABLE 11, SUMMARY OF NON-COASTAL STILLWATER ELEVATIONS
FEMA FLOOD INSURANCE RATE MAP NO.: 06081C0306F
EFFECTIVE DATE: APRIL 5, 2019
FEMA FLOOD INSURANCE STUDY FOR SAN MATEO COUNTY, CA NO.: 06081CV001D
REVISED: APRIL 5, 2019

NOTES

ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.
BUILDING FOOTPRINTS ARE SHOWN TO FINISHED MATERIAL (STUCCO/SIDING) AT GROUND LEVEL.
FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLD (EXTERIOR).
THE AREA OF THE SURVEYED LOT IS 28,808± SQUARE FEET / 0.66± ACRES

DEVELOPMENT AREA SUMMARY

PRE-DEVELOPMENT	(SQFT)
BUILDINGS	10,368
DRIVEWAY & PARKING	11,854
PATIOS, WALKWAYS & PADS	651
TOTAL	22,873
POST-DEVELOPMENT	(SQFT)
BUILDINGS	11,950
DRIVEWAY & PARKING	0
PATIOS, WALKWAYS & PADS	12,505
PERVIOUS PATIOS, WALKWAYS & PADS	1,624
TOTAL	24,455
DIFFERENCE (NET DECREASE)	1,582

PUBLIC WORKS NOTE:

THE STORM RUNOFF GENERATED BY THE NEW DEVELOPMENT SHALL NOT DRAIN ONTO ADJACENT PROPERTIES. THE EXISTING STORM DRAINAGE FROM THE ADJACENT PROPERTIES SHALL NOT BE BLOCKED BY THE NEW DEVELOPMENT.

THE APPLICANT/CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE CITY'S ENGINEERING DIVISION PRIOR TO START OF ANY WORK WITHIN THE CITY'S RIGHT-OF-WAY OR PUBLIC EASEMENT AREAS. THE APPLICANT SHALL OBTAIN PERMITS FROM UTILITY COMPANIES PRIOR TO APPLYING FOR CITY ENCROACHMENT PERMIT.

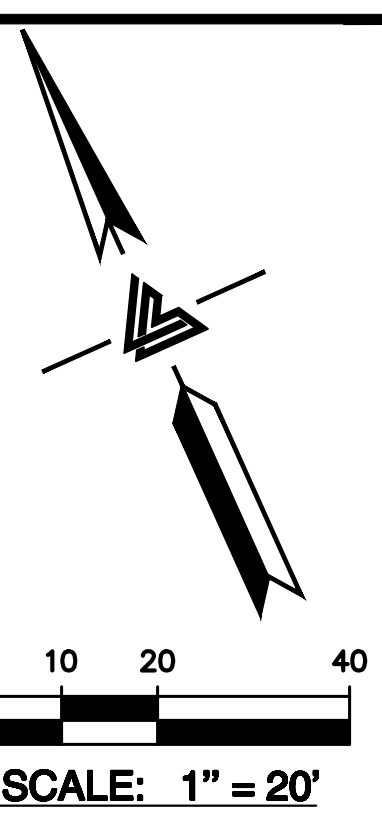
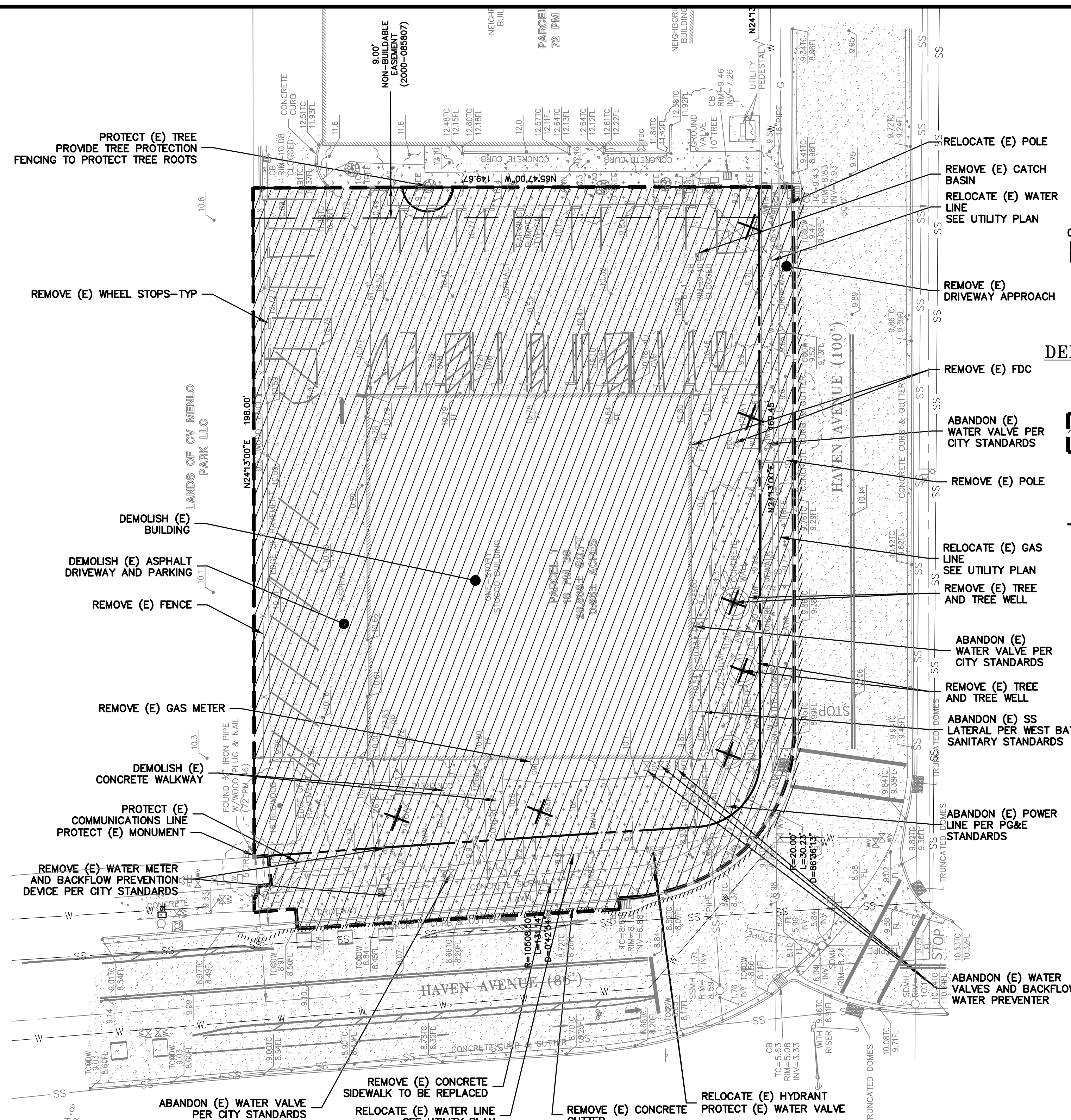
ALL TRENCHES IN THE CITY'S RIGHT-OF-WAY SHALL COMPLY WITH CITY STANDARD DETAILS ST-9A, ST-9B, AND ST-16.

ALL CONCRETE WORK IN THE CITY'S RIGHT-OF-WAY SHALL COMPLY WITH CITY STANDARD DETAIL G-3.

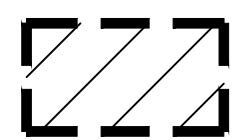


ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY STANDARDS AND TO THE SATISFACTION OF THE CITY ENGINEER.

EXISTING FRONTAGE IMPROVEMENTS (A.C., PARKING STRIPE, DRIVEWAY, AND VALLEY GUTTER) THAT ARE CRACKED, DAMAGED, ELEVATED, OR DEPRESSED OR THAT CAUSE SURFACE WATER PONDING SHALL BE REMOVED AND REPLACED BY THE APPLICANT PER CITY STANDARDS.

INSTALL STABILIZED CONSTRUCTION ENTRANCE (AS APPLICABLE) PER CITY STANDARD DETAIL CG-16.



DEMOLITION LEGEND

-  ALL ITEMS WITHIN LIMITS OF DEMOLITION TO BE REMOVED UNLESS OTHERWISE NOTED TO REMAIN ON PLANS. CONTRACTOR IS TO REMOVE ALL LAWN IRRIGATION SYSTEMS, PAVEMENT CONCRETE AND STRUCTURES UNLESS CALLED OUT TO REMAIN. NO DEMOLITION SHALL COMMENCE WITHOUT REQUIRED DEMOLITION PERMITS.
-  TREE PROTECTION FENCING PER ARBORIST RECOMMENDATIONS. REFER TO CITY OF MENLO PARK TREE PROTECTION SPECIFICATIONS AND ARBORIST REPORT.
-  REMOVE (E) TREE. CONTRACTOR SHALL OBTAIN THE PROPER TREE REMOVAL PERMITS AS REQUIRED.

NOTES

1. THE APPLICANT SHALL REMOVE AND REPLACE ALL CRACKED, DAMAGED, UPLIFTED OR DEPRESSED FRONTAGE IMPROVEMENTS LOCATED IN CITY'S RIGHT-OF-WAY, EXISTING OR DAMAGED BY THE CONSTRUCTION ACTIVITIES, PER CITY STANDARDS ALONG THE ENTIRE PROPERTY FRONTAGE.
2. CIVIL ENGINEER SHALL COORDINATE WITH PROJECT ARBORIST TO DETERMINE THE LOCATIONS OF EDGE OF PAVEMENT, STORM DRAIN LINES AND OTHER UTILITY LINES NEAR TREES. THE LOCATIONS OF IMPROVEMENTS NEAR CITY TREES SHALL BE APPROVED BY CITY ARBORIST.
3. CONTACT PUBLIC WORKS AT (650) 330-6740 TO SCHEDULE AN INSPECTION A MINIMUM OF 24 HOURS IN ADVANCE OF COMMENCEMENT OF PUBLIC IMPROVEMENT WORK. THE CONSTRUCTION SUPERVISOR WILL DISCUSS ANY REPAIR WORK TO FRONTAGE IMPROVEMENTS WHICH ARE NOT SHOWN ON THE PLANS.
4. PRIOR TO FINAL INSPECTION, THE APPLICANT SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE CITY'S ENGINEERING DIVISION FOR ALL EXISTING PRIVATE STRUCTURES, IMPROVEMENTS AND LANDSCAPING (IF ANY) LOCATED IN THE CITY'S RIGHT-OF-WAY ALONG THE PROPERTY FRONTAGE.
5. THE APPLICANT SHALL REMOVE AND REPLACE ALL CRACKED, DAMAGED UPLIFTED OR DEPRESSED FRONTAGE IMPROVEMENTS (CURB, GUTTER, SIDEWALK, DRIVEWAY, ETC.), EXISTING OR DAMAGED BY THE CONSTRUCTION ACTIVITIES, PER CITY STANDARDS ALONG THE ENTIRE PROPERTY FRONTAGE. IF FRONTAGE IMPROVEMENTS DO NOT CURRENTLY EXIST, THE APPLICANT IS REQUIRED TO INSTALL FRONTAGE IMPROVEMENTS PER CITY STANDARDS ALONG THE ENTIRE PROPERTY FRONTAGE. ALL IMPROVEMENTS ARE TO BE COMPLETED AND APPROVED BY THE CITY OF MENLO PARK'S PUBLIC WORKS INSPECTOR PRIOR TO THE FINAL INSPECTION BY THE BUILDING INSPECTOR.



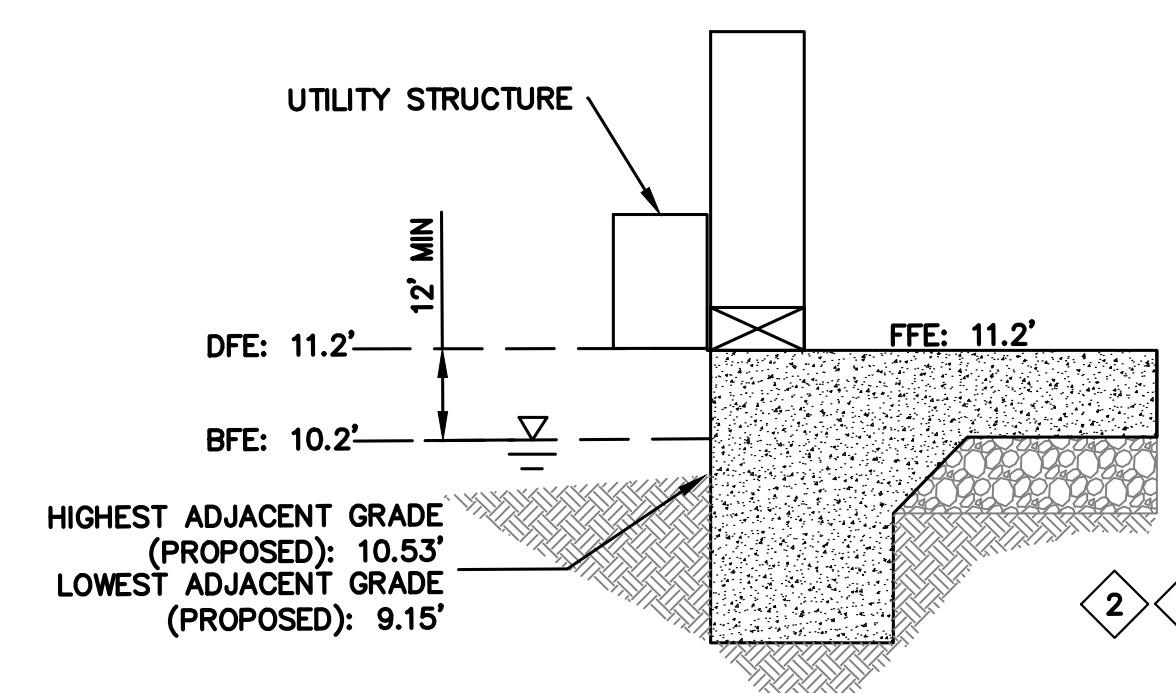
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MENLO PARK, CALIFORNIA
 SAN MATEO COUNTY
 APN: 055-170-240

DEMOLITION PLAN

NO.	REVISIONS	BY
9	COMP REVIEW 07-16-24	VA
8	COMP REVIEW 05-31-24	VA
7	COMP REVIEW 03-21-24	VA
6	C3 PLN CHK 10-17-23	VA
5	C3 PLN CHK 10-04-23	VA

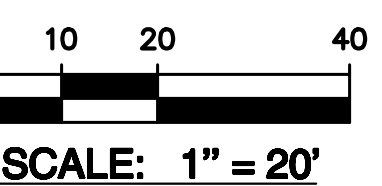
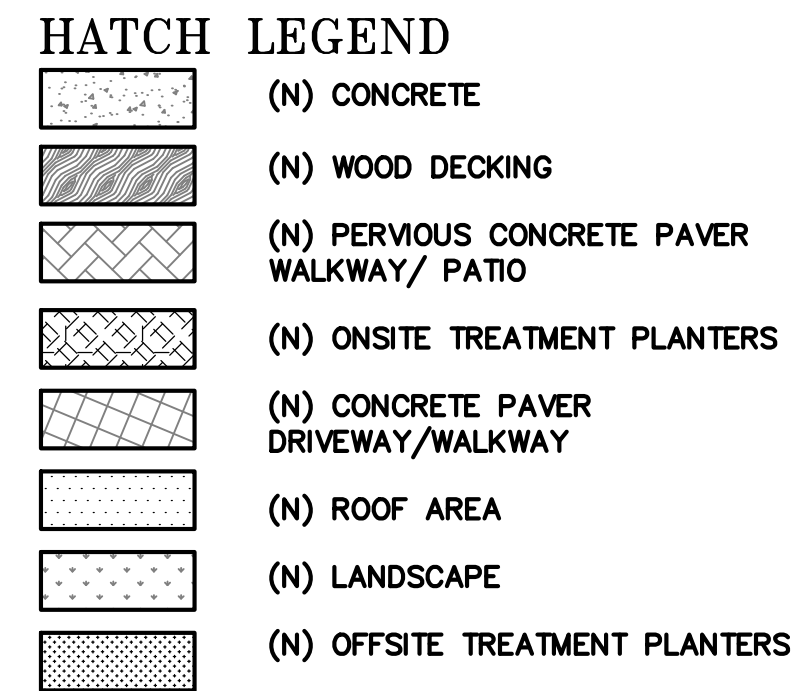
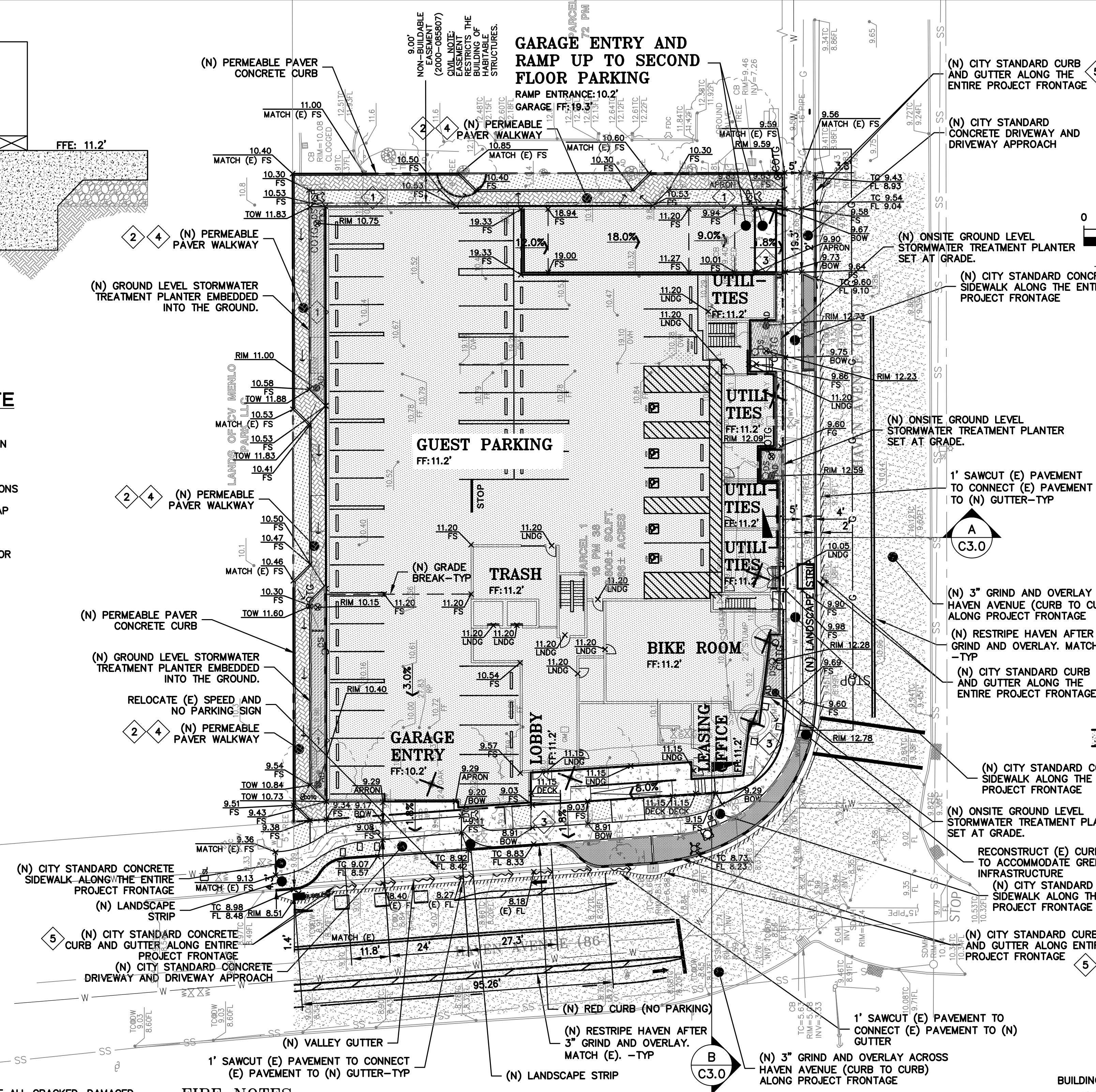
JOB NO: 2220759
 DATE: 11-18-22
 SCALE: AS NOTED
 DESIGN BY: VA
 CHECKED BY: JH/PC
 SHEET NO:



FEMA ELEVATIONS
NTS

FEMA FLOOD NOTE

FLOOD ZONE: AE
 100-YEAR BASE FLOOD ELEVATION (BFE): 10.2' (NAVD88 DATUM) PER FLOOD INSURANCE STUDY TABLE 11, SUMMARY OF NON-COASTAL STILLWATER ELEVATIONS
 FEMA FLOOD INSURANCE RATE MAP NO.: 06081C0306F EFFECTIVE DATE: APRIL 5, 2019
 FEMA FLOOD INSURANCE STUDY FOR SAN MATEO COUNTY, CA NO.: 06081C001D REVISED: APRIL 5, 2019



FLATWORK KEYNOTES 1 TO 5
 FINISHED GRADES AT BUILDING PERIMETER SHALL BE SLOPED AT A MINIMUM OF 5% FOR THE FIRST 10' AWAY FROM THE BUILDING PER CBC 1804.4 OR TO AN APPROVED DRAINAGE SWALE OR STRUCTURE. GRADES SHALL CONTINUE TO SLOPE TOWARDS POSITIVE DRAINAGE AND A POSITIVE OUTFALL. MAINTAIN 8" CLEARANCE BETWEEN FINISH EARTHEN GRADE AND BOTTOM OF MUD SILL AT ALL TIMES PER CBC 2304.12.1.2 UNLESS STRUCTURAL DETAILING ALLOWS LESS. REFER TO STRUCTURAL PLANS FOR FOUNDATION DESIGN AND DETAILS.
 1 PROVIDE 1.8% SLOPE ACROSS FLAT WORK AND/OR PAVING PER CBC 1804.4. SLOPE TOWARDS POSITIVE DRAINAGE AS SHOWN ON PLAN.
 2 (N) CONCRETE DRIVEWAY/PATIO/WALKWAY. SEE DETAIL ON SHEET C-6.0.
 3 (N) PERMEABLE PAVER WALKWAY-S.L.D.
 4 (N) CITY STANDARD CURB AND GUTTER ALONG ENTIRE PROJECT FRONTAGE. USE GREEN INFRASTRUCTURE EDGE TREATMENT WITH DRAINAGE NOTCHES WHERE APPLICABLE. SEE SCP-4 FOR DETAILS.
 5

- NOTES**
- THE APPLICANT SHALL REMOVE AND REPLACE ALL CRACKED, DAMAGED, UPLIFTED OR DEPRESSED FRONTAGE IMPROVEMENTS LOCATED IN CITY'S RIGHT-OF-WAY, EXISTING OR DAMAGED BY THE CONSTRUCTION ACTIVITIES, PER CITY STANDARDS ALONG THE ENTIRE PROPERTY FRONTAGE.
 - CIVIL ENGINEER SHALL COORDINATE WITH PROJECT ARBORIST TO DETERMINE THE LOCATIONS OF EDGE OF PAVEMENT, STORM DRAIN LINES AND OTHER UTILITY LINES NEAR TREES. THE LOCATIONS OF IMPROVEMENTS NEAR CITY TREES SHALL BE APPROVED BY CITY ARBORIST.
 - CONTACT PUBLIC WORKS AT (650) 330-6740 TO SCHEDULE AN INSPECTION A MINIMUM OF 24 HOURS IN ADVANCE OF COMMENCEMENT OF PUBLIC IMPROVEMENT WORK. THE CONSTRUCTION SUPERVISOR WILL DISCUSS ANY REPAIR WORK TO FRONTAGE IMPROVEMENTS WHICH ARE NOT SHOWN ON THE PLANS.
 - PRIOR TO FINAL INSPECTION, THE APPLICANT SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE CITY'S ENGINEERING DIVISION FOR ALL EXISTING PRIVATE STRUCTURES, IMPROVEMENTS AND LANDSCAPING (IF ANY) LOCATED IN THE CITY'S RIGHT-OF-WAY ALONG THE PROPERTY FRONTAGE.
 - THE APPLICANT SHALL REMOVE AND REPLACE ALL CRACKED, DAMAGED UPLIFTED OR DEPRESSED FRONTAGE IMPROVEMENTS (CURB, GUTTER, SIDEWALK, DRIVEWAY, ETC.), EXISTING OR DAMAGED BY THE CONSTRUCTION ACTIVITIES, PER CITY STANDARDS ALONG THE ENTIRE PROPERTY FRONTAGE. IF FRONTAGE IMPROVEMENTS DO NOT CURRENTLY EXIST, THE APPLICANT IS REQUIRED TO INSTALL FRONTAGE IMPROVEMENTS PER CITY STANDARDS ALONG THE ENTIRE PROPERTY FRONTAGE. ALL IMPROVEMENTS ARE TO BE COMPLETED AND APPROVED BY THE CITY OF MENLO PARK'S PUBLIC WORKS INSPECTOR PRIOR TO THE FINAL INSPECTION BY THE BUILDING INSPECTOR.

- FIRE NOTES**
- FIRE APPARATUS ROADWAYS, INCLUDING PUBLIC AND PRIVATE STREETS AND IN SOME CASES DRIVEWAYS USED FOR VEHICLE ACCESS, SHALL BE CAPABLE OF SUPPORTING THE IMPOSED WEIGHT OF A 75,000 POUND (34,050 KG) FIRE APPARATUS AND SHALL BE PROVIDED WITH AN ALL-WEATHER DRIVING SURFACE. ONLY PAVED OR CONCRETE SURFACES ARE CONSIDERED TO BE ALL WEATHER DRIVING SURFACES. CFC 2016, APPENDIX D.
 - CURBING LOCATED WITHIN THE COMPLEX THAT HAS NOT BEEN ASSIGNED AS ONSITE PARKING SHALL BE DESIGNATED AS "NO PARKING FIRE LANE". ALL FIRE LANES TO COMPLY WITH MPFD STANDARD FOR "DESIGNATION AND MARKING OF FIRE LANE", SINCE THERE ARE ONLY TO POINTS OF ACCESS TO THE COMPLEX "ENTRANCE SIGN B" MAY BE USED AT EACH POINT OF ACCESS TO COMPLEX. PROVIDE A COMPLETE NO PARKING-FIRE LANE STRIPPING PLAN WITH NO PARKING SIGNAGE IN ACCORDANCE TO MPFD STANDARD ON SUBSEQUENT SUBMITTAL.
 - ROADWAY WIDTH FOR PROJECT SHALL BE NO LESS THAN 26 FEET WIDE AND SHALL REQUIRE CURB STRIPPING WITH NO PARKING SIGNAGE AS PER MPFD STANDARD.
 - REQUIRED NO PARKING SIGNAGE INSTALLED AT AN APPROVED LOCATION AT ENTRANCES.
 - FIRE APPARATUS ROADWAYS, INCLUDING PUBLIC OR PRIVATE STREETS OR ROADS USED FOR VEHICLE ACCESS SHALL BE INSTALLED AND IN SERVICE PRIOR TO CONSTRUCTION. FIRE PROTECTION WATER SERVING ALL HYDRANTS SHALL BE PROVIDED AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON THE SITE.
 - PRIOR TO COMBUSTIBLE MATERIAL ARRIVING ON THE SITE, CONTACT THE MENLO PARK FIRE DISTRICT TO SCHEDULE AN INSPECTION OF ROADWAYS AND FIRE HYDRANTS. CFC 2013.

INSPECTION NOTE:
 THE CONTRACTOR SHALL INFORM THE OWNER (IN WRITING) OF RECOMMENDED PERIODIC INSPECTION AND MAINTENANCE OF THE ON-SITE STORM DRAINAGE SYSTEM. THE REGULAR CLEARING OF SILT AND DEBRIS IS ESPECIALLY IMPORTANT PRIOR TO EACH RAINY SEASON.

NOTE:
 CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND DEPTHS OF EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY CONFLICTS IN ANY EXIST.

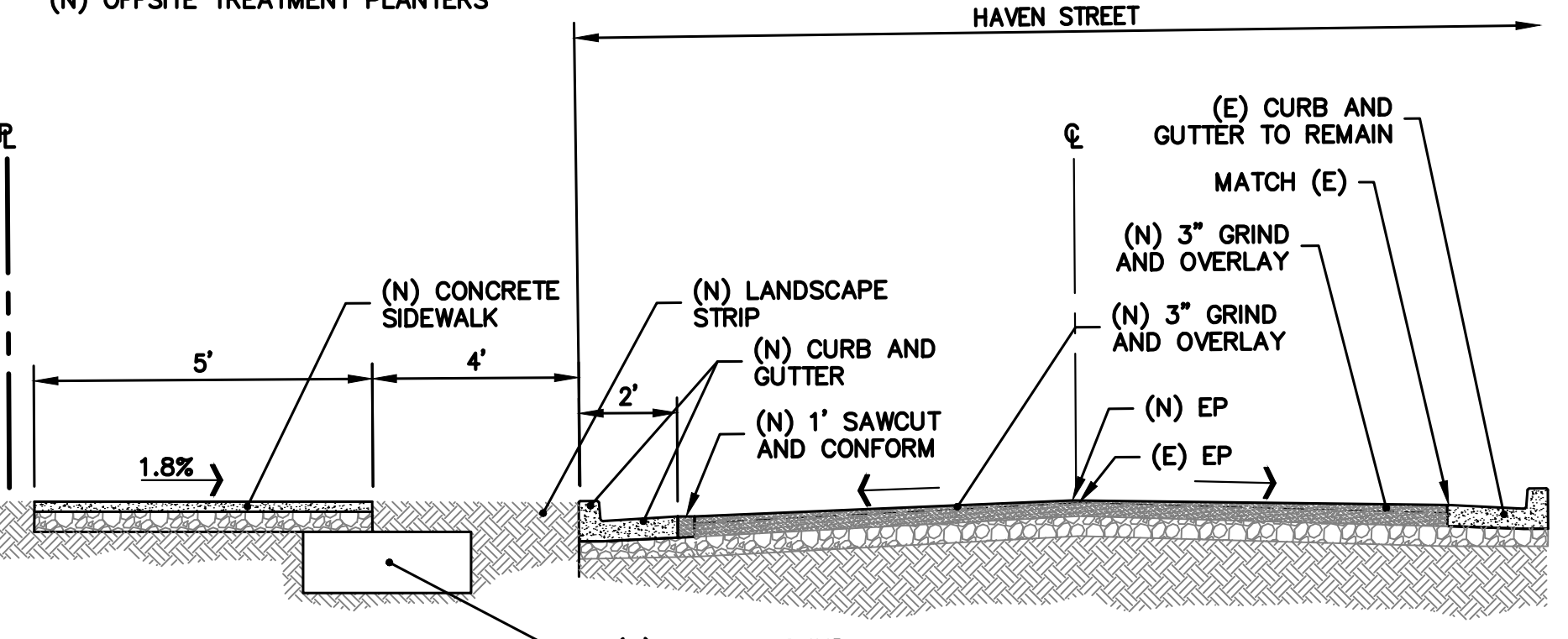
NOTE:
 ALL UTILITIES SHALL BE PLACED UNDERGROUND IF REQUIRED BY THE UTILITY COMPANY.

NOTE:
 SITE GRADING SHALL NOT IMPEDE EXISTING DRAINAGE FROM ADJACENT PROPERTIES AND SHALL NOT GENERATE SURFACE RUN-OFF FLOW ONTO ADJACENT PROPERTIES.

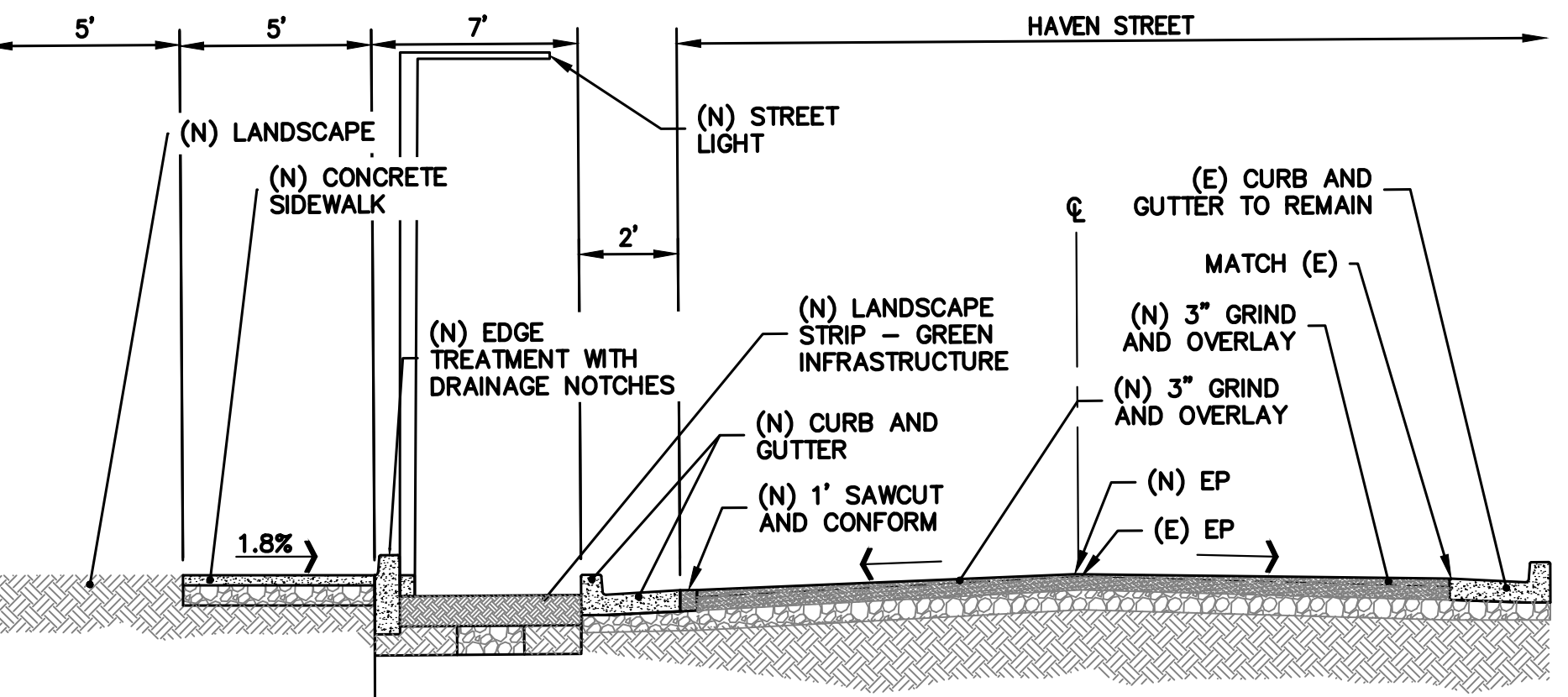
NOTE:
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BUILDING PAD NOTE:
 ADJUST PAD LEVEL AS REQUIRED. REFER TO STRUCTURAL PLANS FOR SLAB SECTION OR CRAWL SPACE DEPTH TO ESTABLISH PAD LEVEL.

NOTE:
 TOPOGRAPHIC INFORMATION HAS BEEN REMOVED FOR CLARITY. SEE ORIGINAL SURVEY FOR EXISTING SITE CONDITIONS.



OFFSITE SECTION A
NTS



OFFSITE SECTION B
NTS



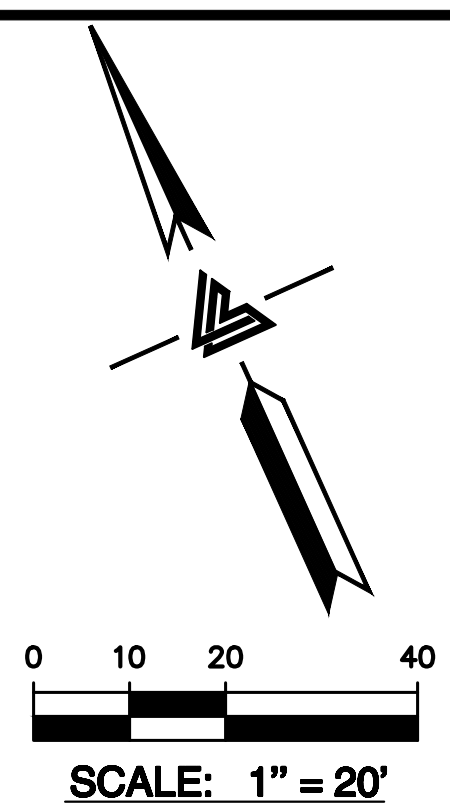
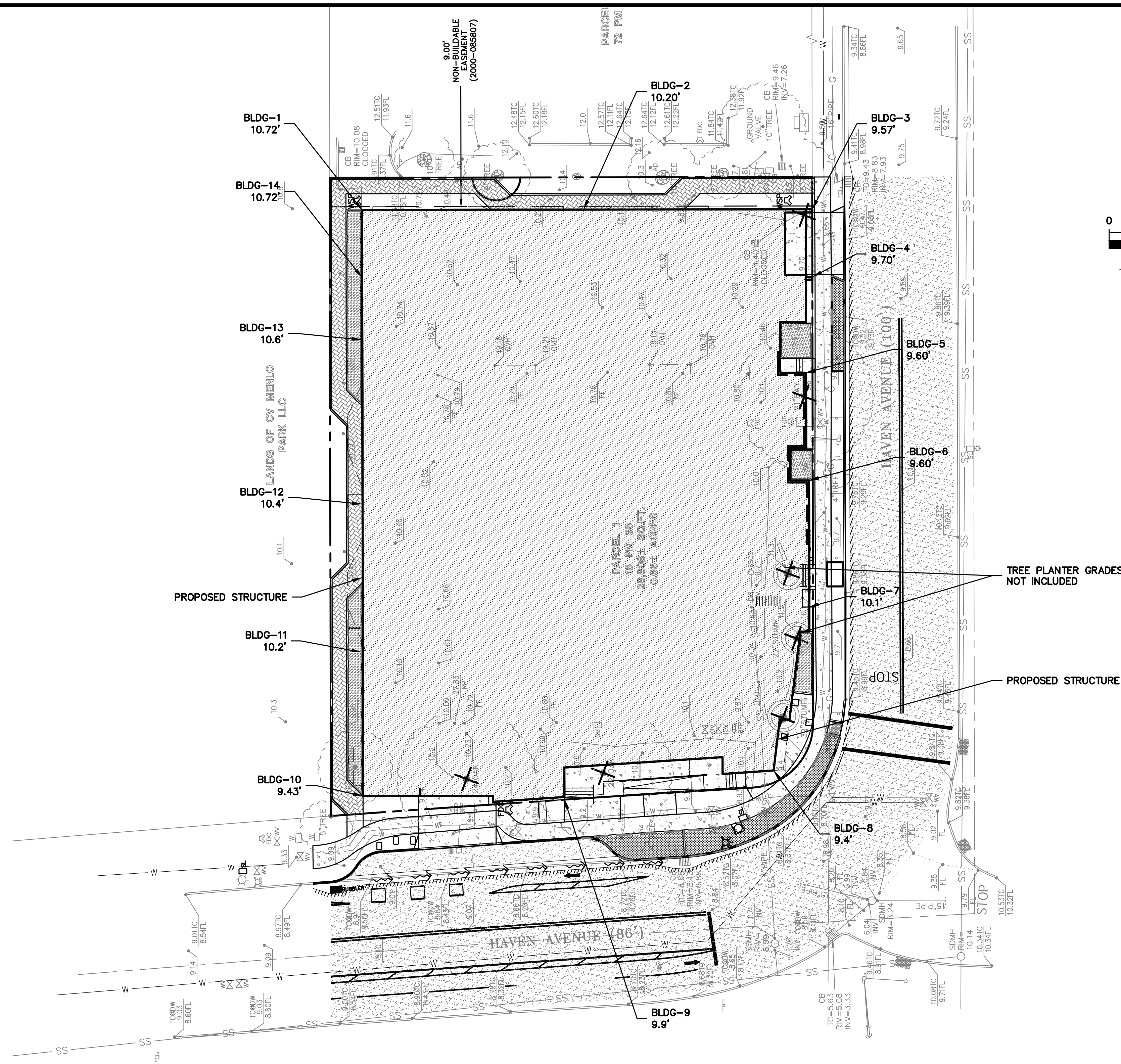
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 APN: 055-170-240

PRELIMINARY GRADING AND DRAINAGE PLAN

NO.	DESCRIPTION	DATE	BY
9	COMP REVIEW	07-16-24	VA
8	COMP REVIEW	05-31-24	VA
7	COMP REVIEW	03-21-24	VA
6	C3-PLN CHK	10-17-23	VA
5	C3-PLN CHK	10-04-23	VA
	REVISIONS		BY

JOB NO: 2220759
 DATE: 11-18-22
 SCALE: AS NOTED
 DESIGN BY: VA
 CHECKED BY: JH/PC
 SHEET NO:



HATCH LEGEND

- (N) CONCRETE
- (N) WOOD DECKING
- (N) PERVIOUS CONCRETE PAVER WALKWAY/ PATIO
- (N) ONSITE TREATMENT PLANTERS
- (N) CONCRETE PAVER DRIVEWAY/WALKWAY
- (N) ROOF AREA
- (N) LANDSCAPE
- (N) OFFSITE TREATMENT PLANTERS

PROJECT	3705 HAVEN STREET	DATE	March 13, 2024
JOB NO.	2220759	BY	V ANDA
Proposed Building			
Point #	Elevation		
	BLDG-1	10.72	
	BLDG-2	10.20	
	BLDG-3	9.57	
	BLDG-4	9.70	
	BLDG-5	9.60	
	BLDG-6	9.60	
	BLDG-7	10.10	
	BLDG-8	9.40	
	BLDG-9	9.90	
	BLDG-10	9.43	
	BLDG-11	10.20	
	BLDG-12	10.40	
	BLDG-13	10.60	
	BLDG-14	10.72	
	Average Natural Grade	10.01	

INSPECTION NOTE:
 THE CONTRACTOR SHALL INFORM THE OWNER (IN WRITING) OF RECOMMENDED PERIODIC INSPECTION AND MAINTENANCE OF THE ON-SITE STORM DRAINAGE SYSTEM. THE REGULAR CLEARING OF SILT AND DEBRIS IS ESPECIALLY IMPORTANT PRIOR TO EACH RAINY SEASON.

NOTE:
 CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND DEPTHS OF EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY CONFLICTS IN ANY EXIST.

NOTE:
 ALL UTILITIES SHALL BE PLACED UNDERGROUND IF REQUIRED BY THE UTILITY COMPANY.

NOTE:
 SITE GRADING SHALL NOT IMPEDE EXISTING DRAINAGE FROM ADJACENT PROPERTIES AND SHALL NOT GENERATE SURFACE RUN-OFF FLOW ONTO ADJACENT PROPERTIES.

NOTE:
 FOR CONSTRUCTION STAKING SCHEDULING OR QUOTATIONS PLEASE CONTACT ALEX ABAYA AT LEA & BRAZE ENGINEERING (510)887-4086 EXT 116. aabaya@leabraze.com

*** BUILDING PAD NOTE:**
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NOTE: TOPOGRAPHIC INFORMATION HAS BEEN REMOVED FOR CLARITY. SEE ORIGINAL SURVEY FOR EXISTING SITE CONDITIONS.



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3705 HAVEN AVENUE
MENLO PARK, CALIFORNIA
 SAN MATEO COUNTY
 APN: 055-170-240

AVERAGE NATURAL GRADE EXHIBIT

9	COMP REVIEW	07-16-24	VA
8	COMP REVIEW	05-31-24	VA
7	COMP REVIEW	03-21-24	VA
6	C3 PLN CHK	10-17-23	VA
5	C3 PLN CHK	10-04-23	VA
	REVISIONS		BY

JOB NO: 2220759
 DATE: 11-18-22
 SCALE: AS NOTED
 DESIGN BY: VA
 CHECKED BY: JH/PC
 SHEET NO:

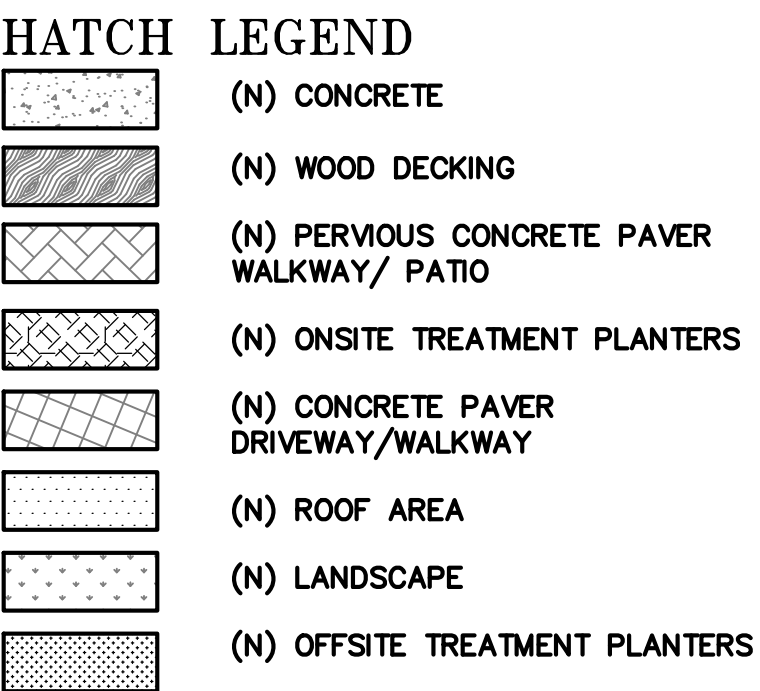
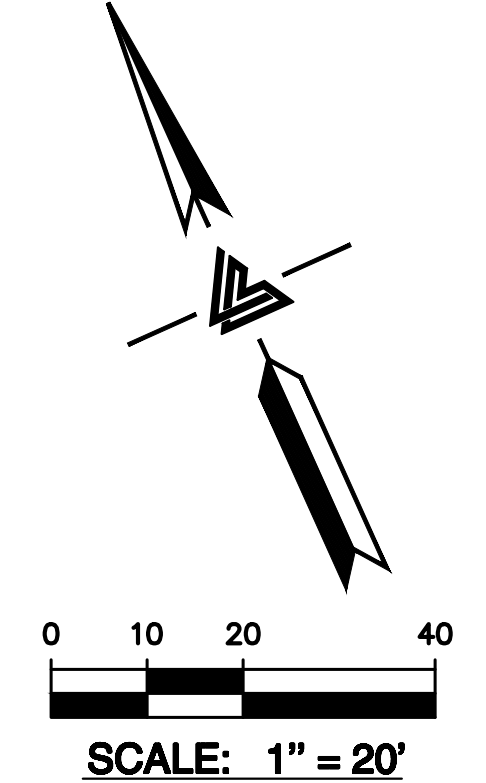
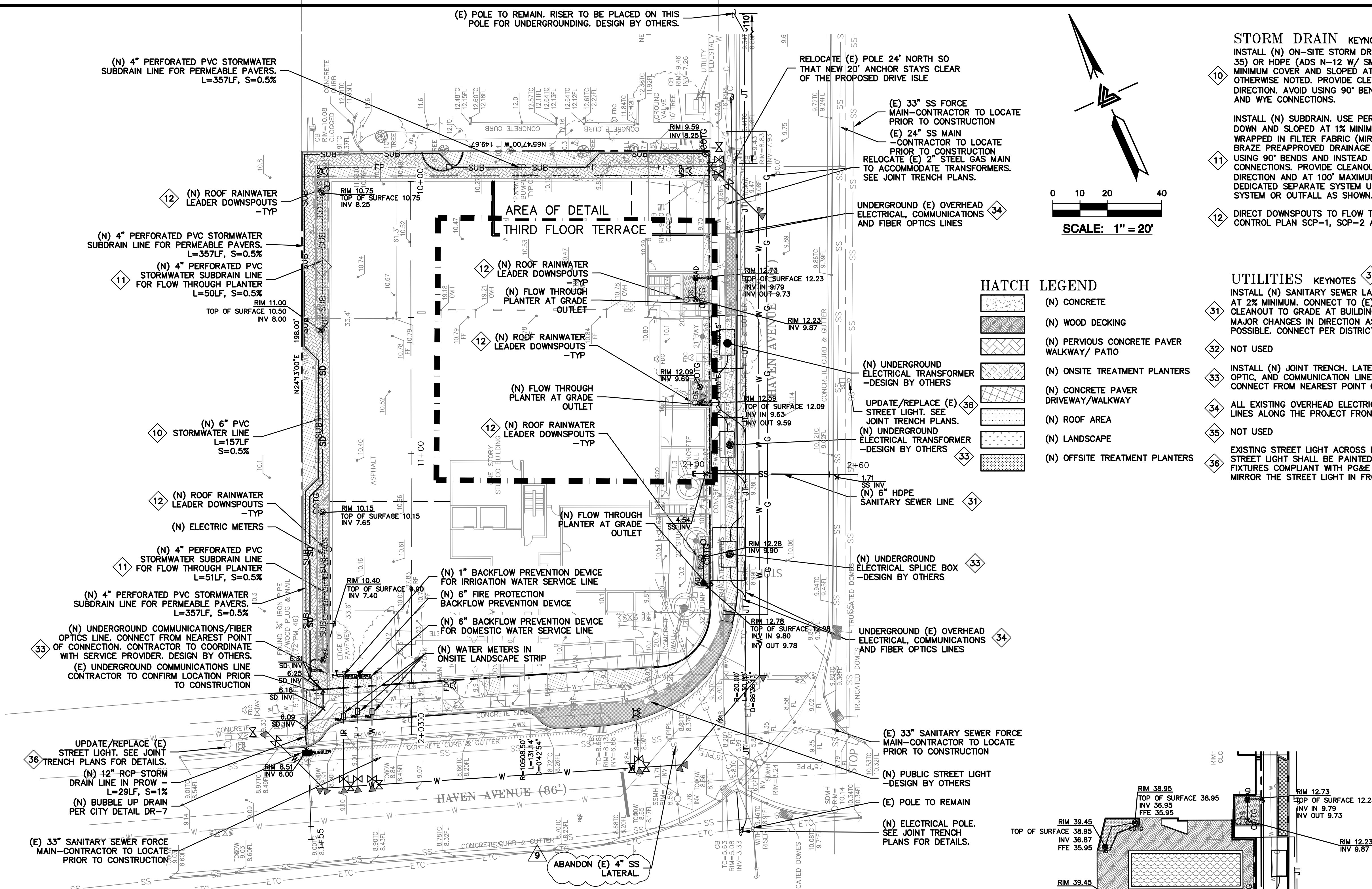


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**PRELIMINARY
 UTILITIES PLAN**

NO.	DESCRIPTION	DATE	BY
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REVISIONS		BY	
JOB NO: 2220759		DATE: 11-18-22	
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CHECKED BY: JH/PC		SHEET NO:	



- NOTES**
- THE APPLICANT SHALL REMOVE AND REPLACE ALL CRACKED, DAMAGED, UPLIFTED OR DEPRESSED FRONTAGE IMPROVEMENTS LOCATED IN CITY'S RIGHT-OF-WAY, EXISTING OR DAMAGED BY THE CONSTRUCTION ACTIVITIES, PER CITY STANDARDS ALONG THE ENTIRE PROPERTY FRONTAGE.
 - CIVIL ENGINEER SHALL COORDINATE WITH PROJECT ARBORIST TO DETERMINE THE LOCATIONS OF EDGE OF PAVEMENT, STORM DRAIN LINES AND OTHER UTILITY LINES NEAR TREES. THE LOCATIONS OF IMPROVEMENTS NEAR CITY TREES SHALL BE APPROVED BY CITY ARBORIST.
 - CONTACT PUBLIC WORKS AT (650) 330-6740 TO SCHEDULE AN INSPECTION A MINIMUM OF 24 HOURS IN ADVANCE OF COMMENCEMENT OF PUBLIC IMPROVEMENT WORK. THE CONSTRUCTION SUPERVISOR WILL DISCUSS ANY REPAIR WORK TO FRONTAGE IMPROVEMENTS WHICH ARE NOT SHOWN ON THE PLANS.
 - PRIOR TO FINAL INSPECTION, THE APPLICANT SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE CITY'S ENGINEERING DIVISION FOR ALL EXISTING PRIVATE STRUCTURES, IMPROVEMENTS AND LANDSCAPING (IF ANY) LOCATED IN THE CITY'S RIGHT-OF-WAY ALONG THE PROPERTY FRONTAGE.
 - THE APPLICANT SHALL REMOVE AND REPLACE ALL CRACKED, DAMAGED UPLIFTED OR DEPRESSED FRONTAGE IMPROVEMENTS (CURB, GUTTER, SIDEWALK, DRIVEWAY, ETC.), EXISTING OR DAMAGED BY THE CONSTRUCTION ACTIVITIES, PER CITY STANDARDS ALONG THE ENTIRE PROPERTY FRONTAGE. IF FRONTAGE IMPROVEMENTS DO NOT CURRENTLY EXIST, THE APPLICANT IS REQUIRED TO INSTALL FRONTAGE IMPROVEMENTS PER CITY STANDARDS ALONG THE ENTIRE PROPERTY FRONTAGE. ALL IMPROVEMENTS ARE TO BE COMPLETED AND APPROVED BY THE CITY OF MENLO PARK'S PUBLIC WORKS INSPECTOR PRIOR TO THE FINAL INSPECTION BY THE BUILDING INSPECTOR.

- FIRE NOTES**
- FIRE APPARATUS ROADWAYS, INCLUDING PUBLIC AND PRIVATE STREETS AND IN SOME CASES DRIVEWAYS USED FOR VEHICLE ACCESS, SHALL BE CAPABLE OF SUPPORTING THE IMPOSED WEIGHT OF A 75,000 POUND (34,050 KG) FIRE APPARATUS AND SHALL BE PROVIDED WITH AN ALL-WEATHER DRIVING SURFACE. ONLY PAVED OR CONCRETE SURFACES ARE CONSIDERED TO BE ALL WEATHER DRIVING SURFACES. CFC 2016, APPENDIX D.
 - CURBING LOCATED WITHIN THE COMPLEX THAT HAS NOT BEEN ASSIGNED AS ONSITE PARKING SHALL BE DESIGNATED AS "NO PARKING FIRE LANE". ALL FIRE LANES TO COMPLY WITH MPFD STANDARD FOR "DESIGNATION AND MARKING OF FIRE LANE", SINCE THERE ARE ONLY TO POINTS OF ACCESS TO THE COMPLEX "ENTRANCE SIGN B" MAY BE USED AT EACH POINT OF ACCESS TO COMPLEX. PROVIDE A COMPLETE NO PARKING-FIRE LANE STRIPPING PLAN WITH NO PARKING SIGNAGE IN ACCORDANCE TO MPFD STANDARD ON SUBSEQUENT SUBMITTAL.
 - ROADWAY WIDTH FOR PROJECT SHALL BE NO LESS THAN 26 FEET WIDE AND SHALL REQUIRE CURB STRIPPING WITH NO PARKING SIGNAGE AS PER MPFD STANDARD.
 - REQUIRED NO PARKING SIGNAGE INSTALLED AT AN APPROVED LOCATION AT ENTRANCES.
 - FIRE APPARATUS ROADWAYS, INCLUDING PUBLIC OR PRIVATE STREETS OR ROADS USED FOR VEHICLE ACCESS SHALL BE INSTALLED AND IN SERVICE PRIOR TO CONSTRUCTION. FIRE PROTECTION WATER SERVING ALL HYDRANTS SHALL BE PROVIDED AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON THE SITE.
 - PRIOR TO COMBUSTIBLE MATERIAL ARRIVING ON THE SITE, CONTACT THE MENLO PARK FIRE DISTRICT TO SCHEDULE AN INSPECTION OF ROADWAYS AND FIRE HYDRANTS. CFC 2013.

INSPECTION NOTE:
 THE CONTRACTOR SHALL INFORM THE OWNER (IN WRITING) OF RECOMMENDED PERIODIC INSPECTION AND MAINTENANCE OF THE ON-SITE STORM DRAINAGE SYSTEM. THE REGULAR CLEARING OF SILT AND DEBRIS IS ESPECIALLY IMPORTANT PRIOR TO EACH RAINY SEASON.

NOTE:
 CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND DEPTHS OF EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY CONFLICTS IN ANY EXIST.

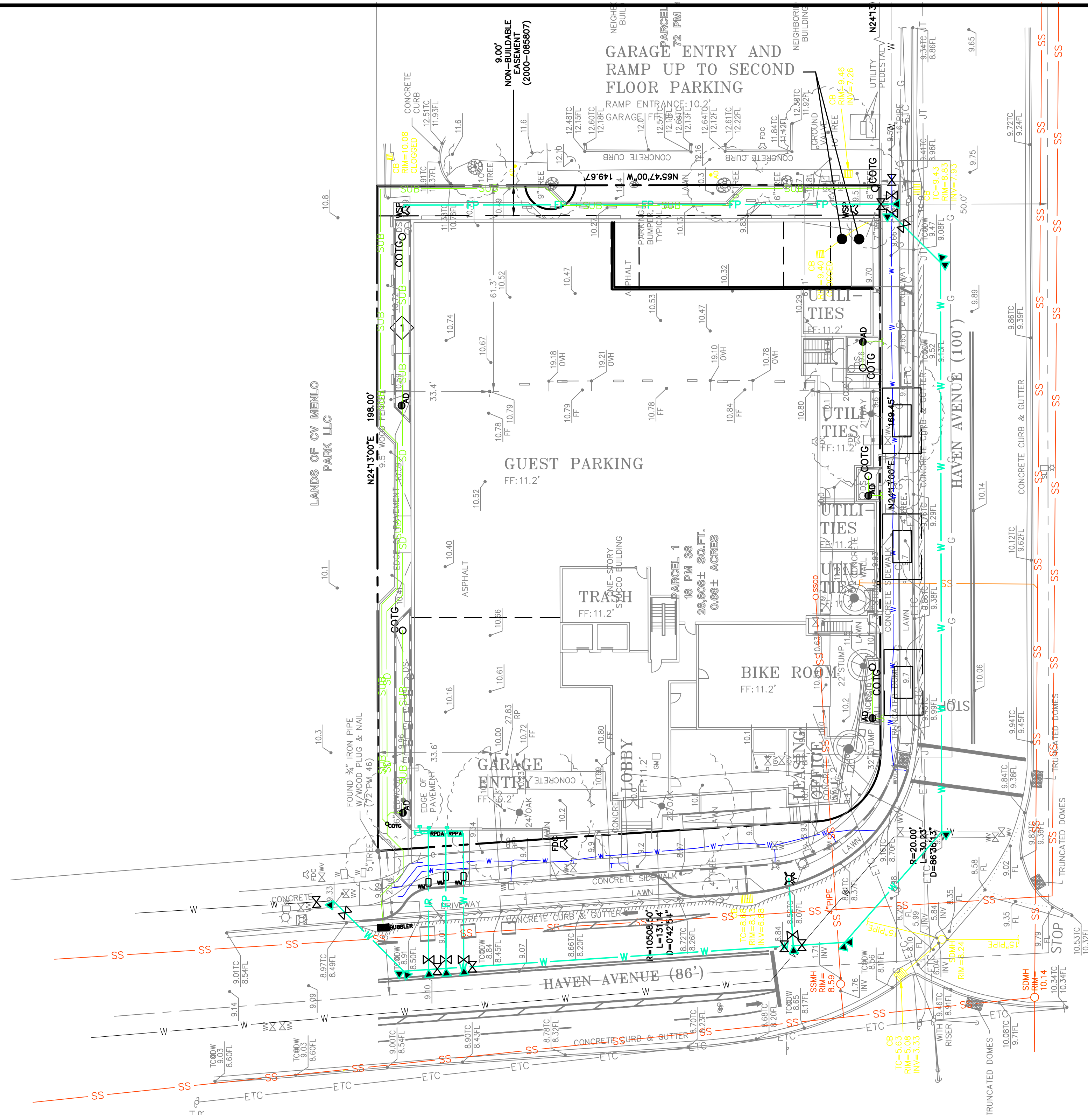
NOTE:
 ALL UTILITIES SHALL BE PLACED UNDERGROUND IF REQUIRED BY THE UTILITY COMPANY.

NOTE:
 SITE GRADING SHALL NOT IMPEDE EXISTING DRAINAGE FROM ADJACENT PROPERTIES AND SHALL NOT GENERATE SURFACE RUN-OFF FLOW ONTO ADJACENT PROPERTIES.

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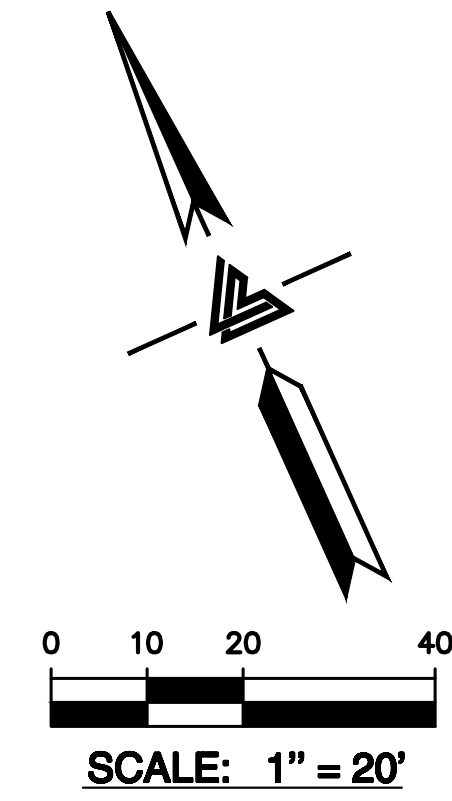
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COLOR LEGEND

W	(E) WATER MAIN
W	(N) WATER LATERAL
SS	(E) SEWER MAIN/MANHOLES
SS	(N) SEWER LATERAL
SD	(E) STORM DRAIN MAIN/INLETS/MANHOLES
SD	(N) STORM DRAIN LATERAL



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 SAN MATEO COUNTY

**COLOR CODED
 UTILITIES PLAN**

NO.	REVISIONS	BY
9	COMP REVIEW 07-16-24	VA
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7	COMP REVIEW 03-21-24	VA
6	C3 PLN CHK 10-17-23	VA
5	C3 PLN CHK 10-04-23	VA

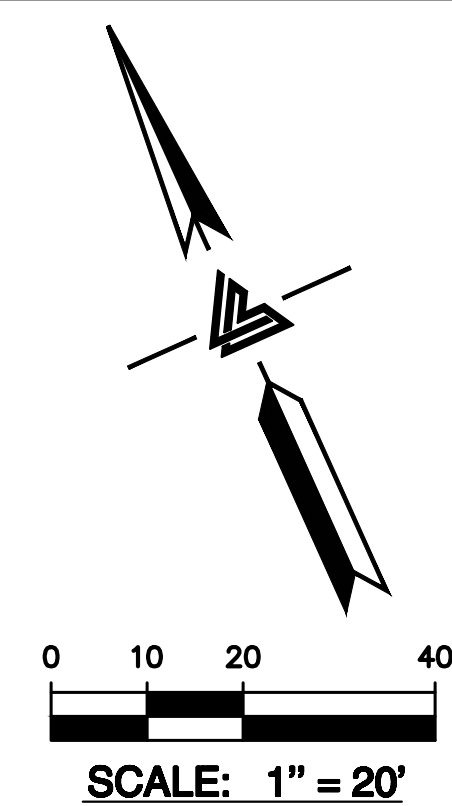
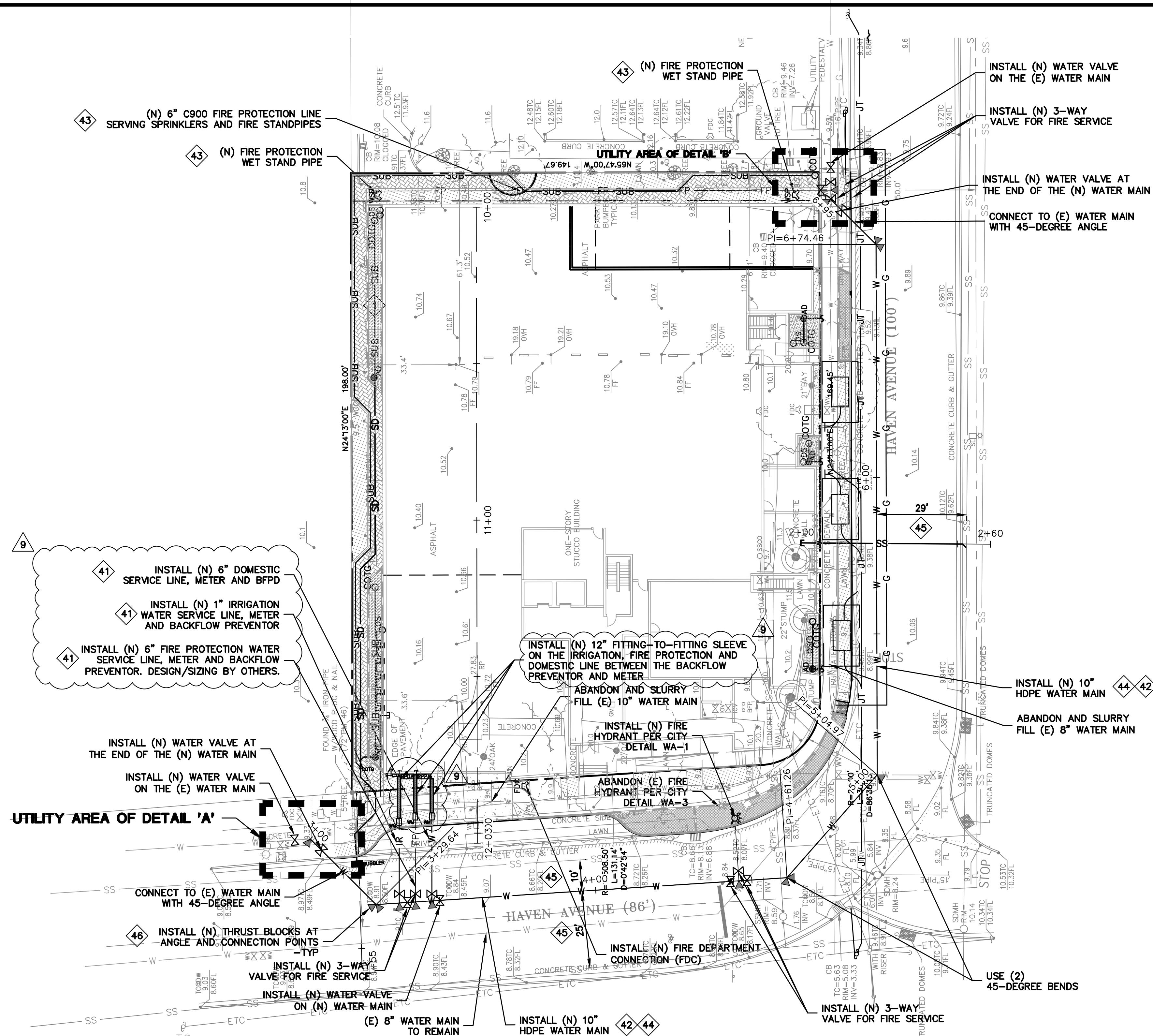
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 SHEET NO:

C-4.1
 07 OF 22 SHEETS

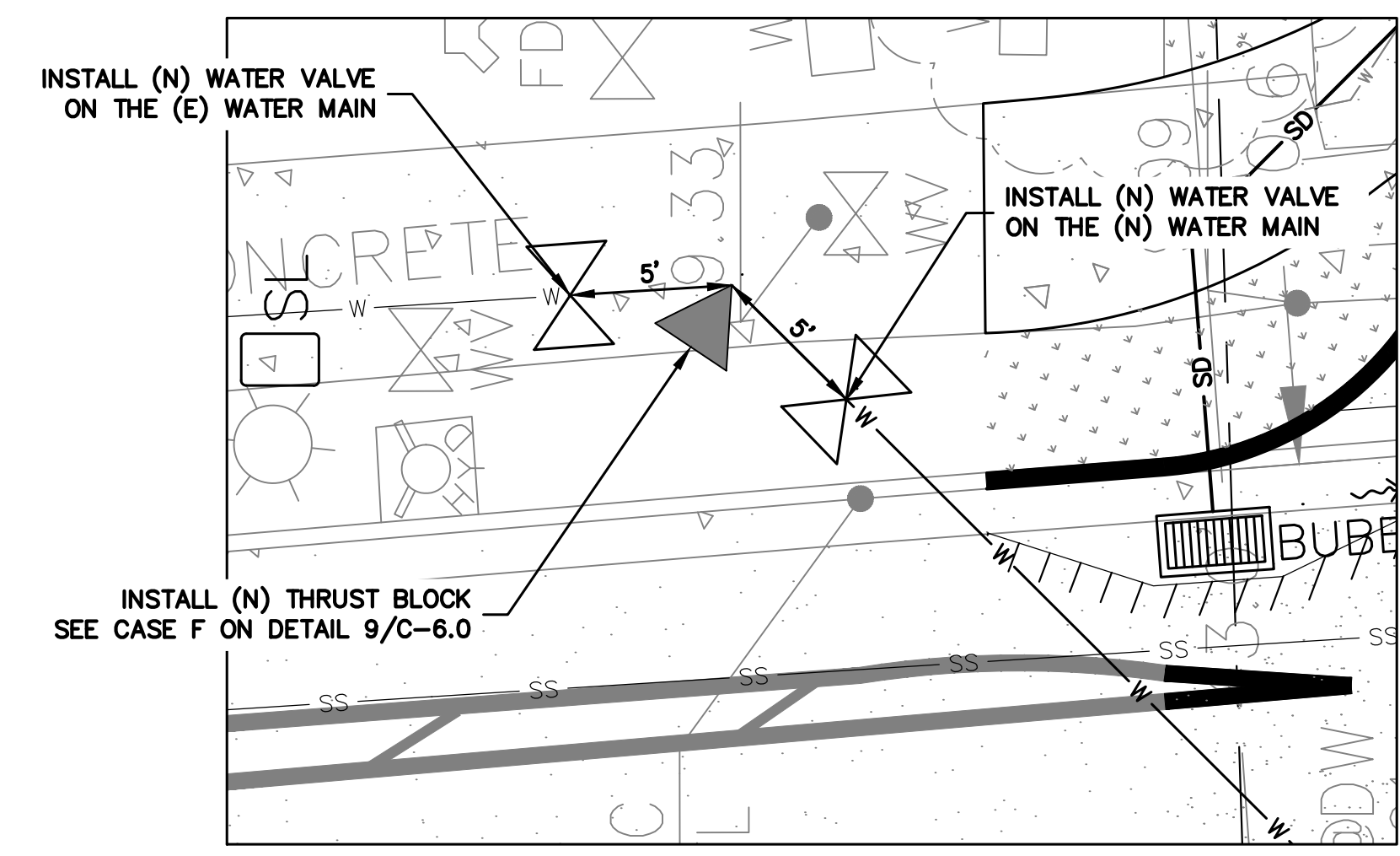
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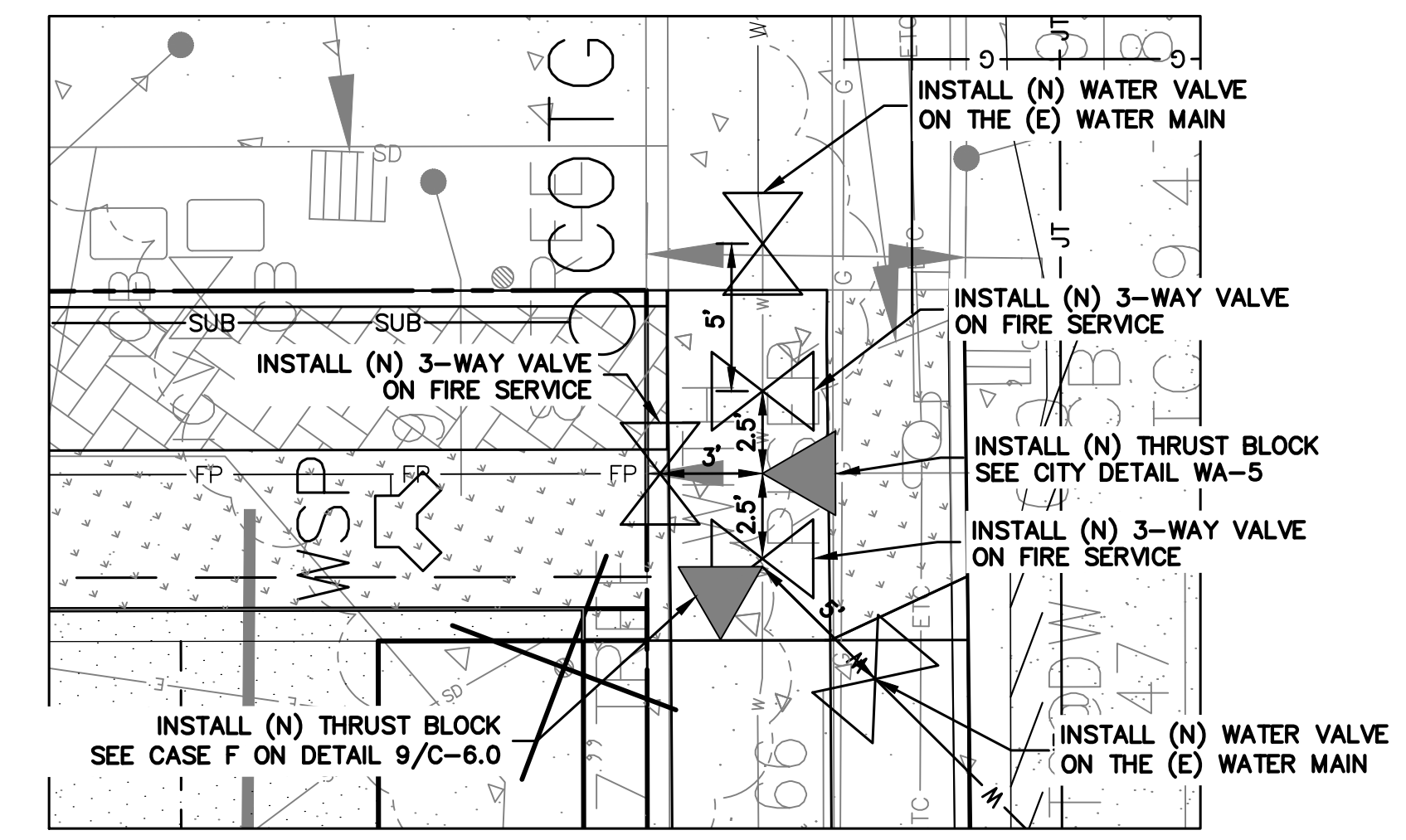
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- WATER MAIN AND LATERALS KEYNOTES 41 TO 46**
- 41 CONNECT (N) WATER SERVICE PER WATER DISTRICT STANDARDS. WATER SERVICE LINES THAT ARE 3" AND ABOVE REQUIRE A GATE VALVE. WATER SERVICE LINES THAT ARE 2" AND SMALLER REQUIRE A CORPORATION STOP AT THE MAIN AND A CURB STOP AT THE METER.
 - 42 INSTALL (N) 10" HDPE WATER MAIN. CONTRACTOR TO COORDINATE WITH CITY OF MENLO PARK, VERIFY INVERTS AND LOCATION PRIOR TO CONSTRUCTION.
 - 43 (N) FIRE PROTECTION SERVICE LINE SERVING FIRE PROTECTION WET STANDPIPES AND BUILDING FIRE SPRINKLER NEEDS. INSTALL (N) 6" SERVICE LINE TO (N) BUILDING OR AS DIRECTED BY FIRE SPRINKLER DESIGNER.
 - 44 WATER MAINS SHALL BE HDPE.
 - 45 MAINTAIN HORIZONTAL AND VERTICAL REQUIRED CLEARANCES FROM WATER MAIN (EDGE OF PIPE TO EDGE OF PIPE). MAIN SHALL BE 10' (MIN) FROM SEWER MAINS AND 4' (MIN) FROM STORM DRAIN MAINS. WATER MAIN SHALL BE 1' (MIN) VERTICALLY ABOVE STORM DRAIN MAINS AND SEWER MAINS.
 - 46 INSTALL (N) THRUST BLOCK. SEE C-6.0 FOR DETAILS.



CONNECTION DETAIL 'A'
CONNECTION OF (N) WATER MAIN TO (E) WATER MAIN
 SCALE: 1"=20'



CONNECTION DETAIL 'B'
CONNECTION OF (N) WATER MAIN TO (E) WATER MAIN
 SCALE: 1"=20'

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APN: 055-170-240
 SAN MATEO COUNTY

WATER MAIN
CONNECTION DETAIL

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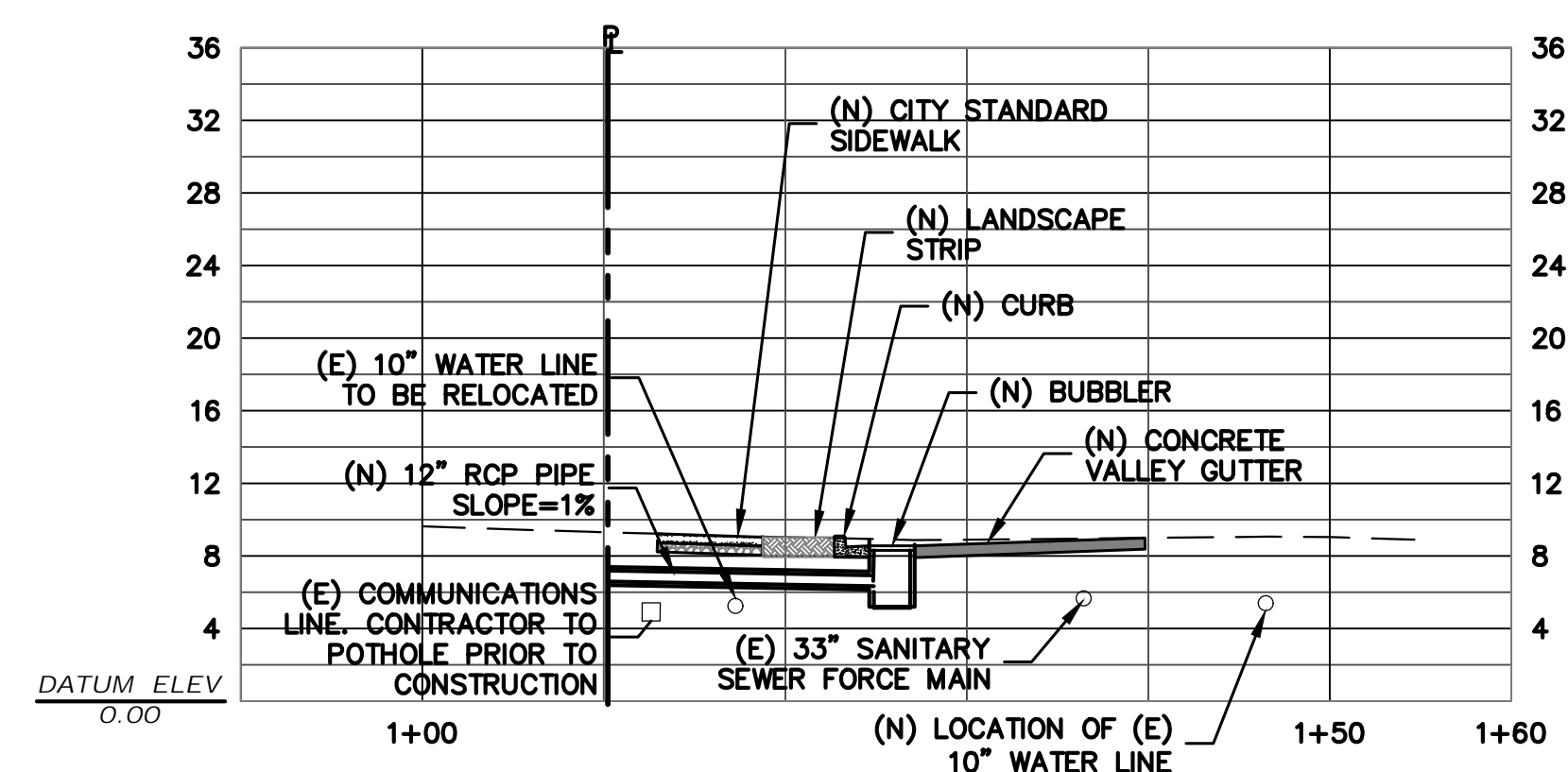
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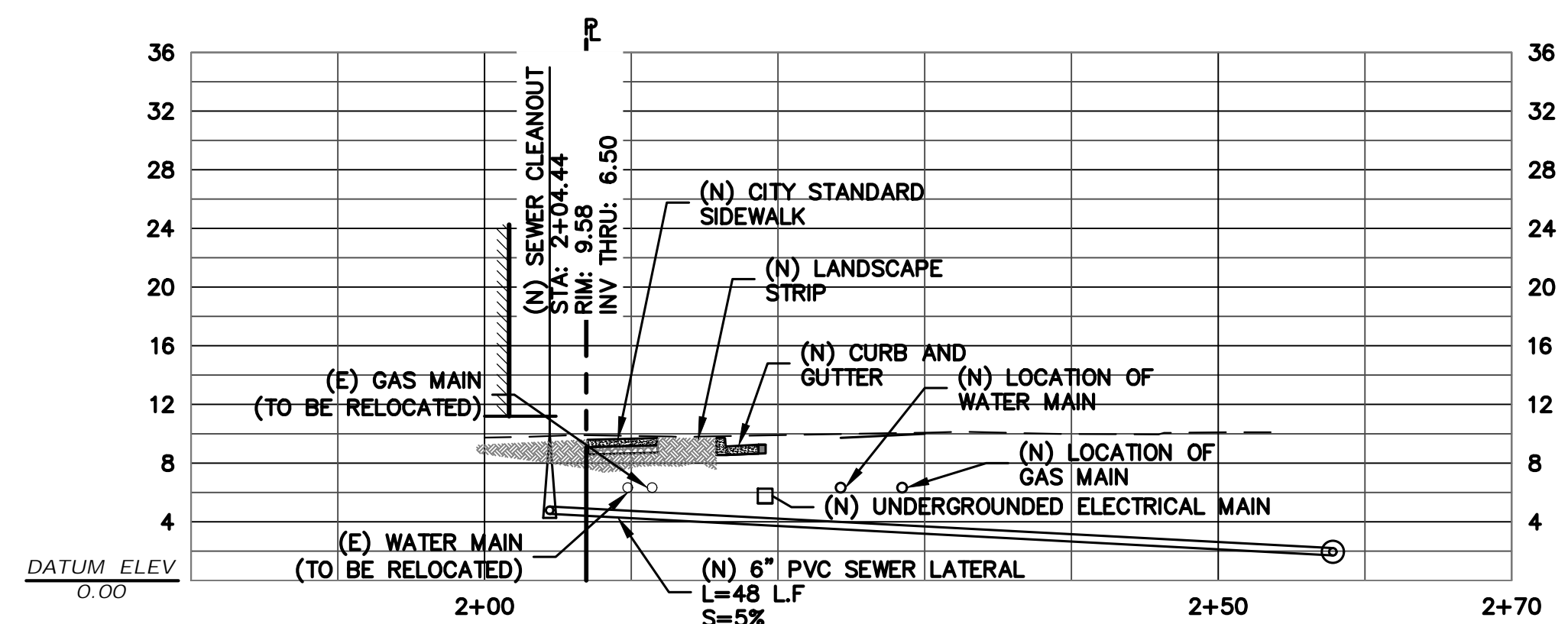
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PRELIMINARY
 UTILITIES PROFILES



STORM DRAIN (HAVEN SOUTH) UTILITY PROFILE

SCALE: 1" = 10' HORIZ & VERT



SANITARY SEWER LATERAL UTILITY PROFILE

SCALE: 1" = 10' HORIZ & VERT

9	COMP REVIEW	VA
8	07-16-24	
8	COMP REVIEW	VA
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7	COMP REVIEW	VA
6	03-21-24	
6	C3 PLN CHK	VA
5	10-17-23	
5	C3 PLN CHK	VA
	10-04-23	
	REVISIONS	BY

JOB NO: 2220759
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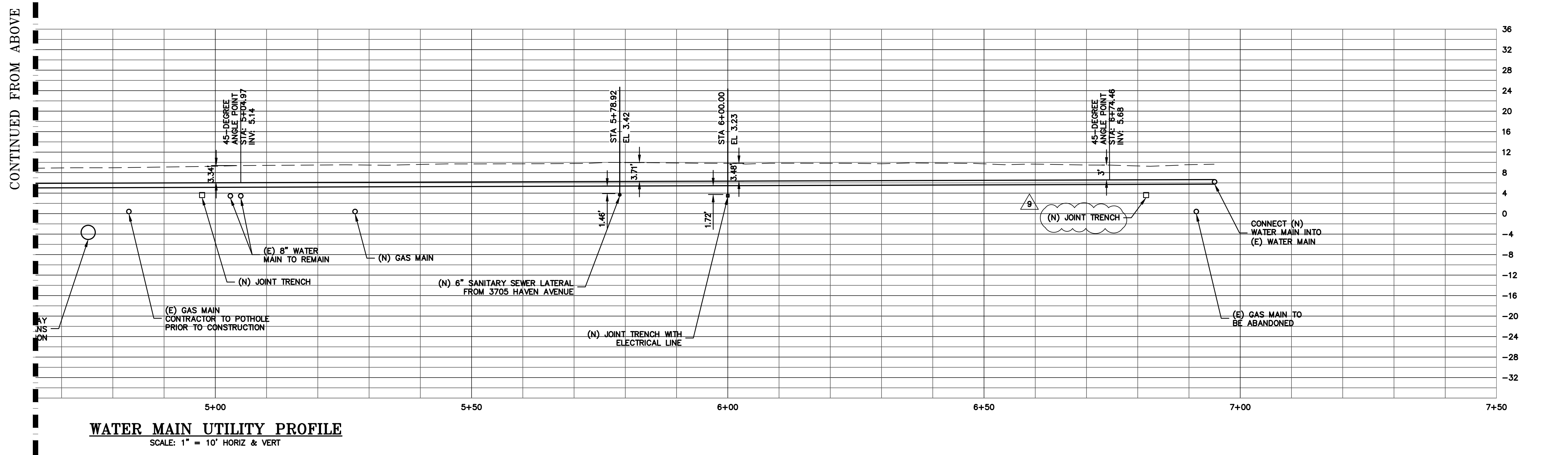
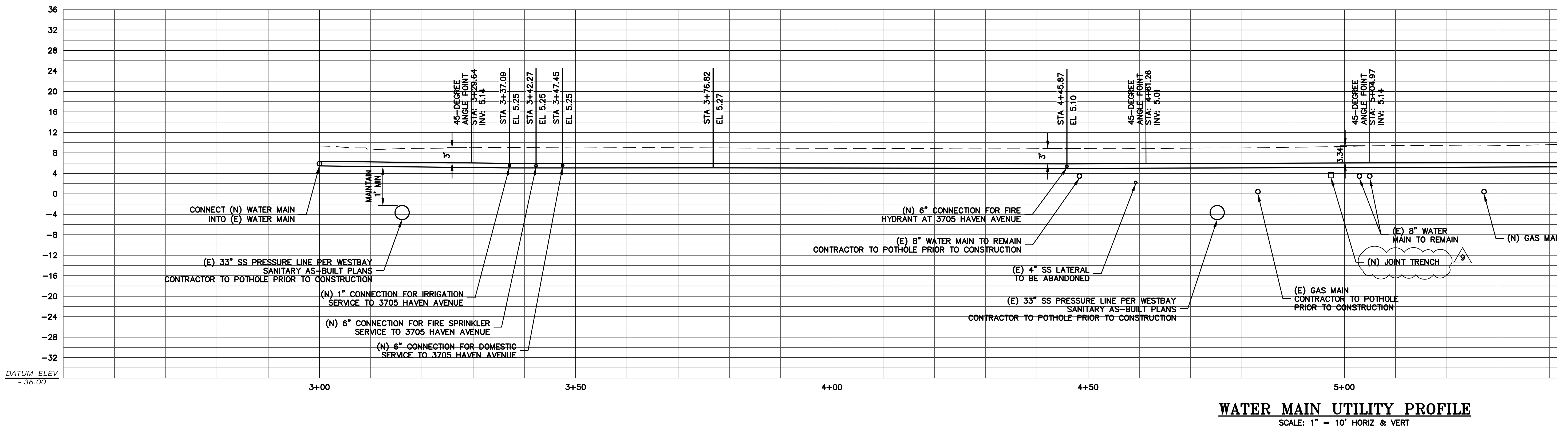
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**WATER MAIN
 UTILITY PROFILE**

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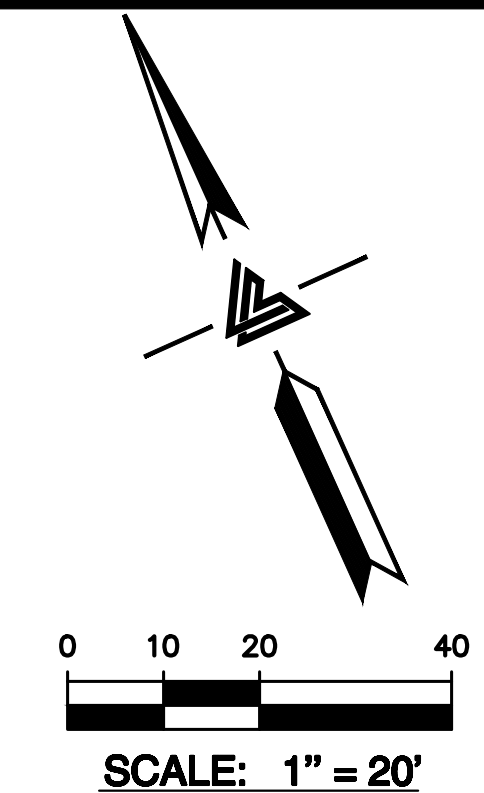
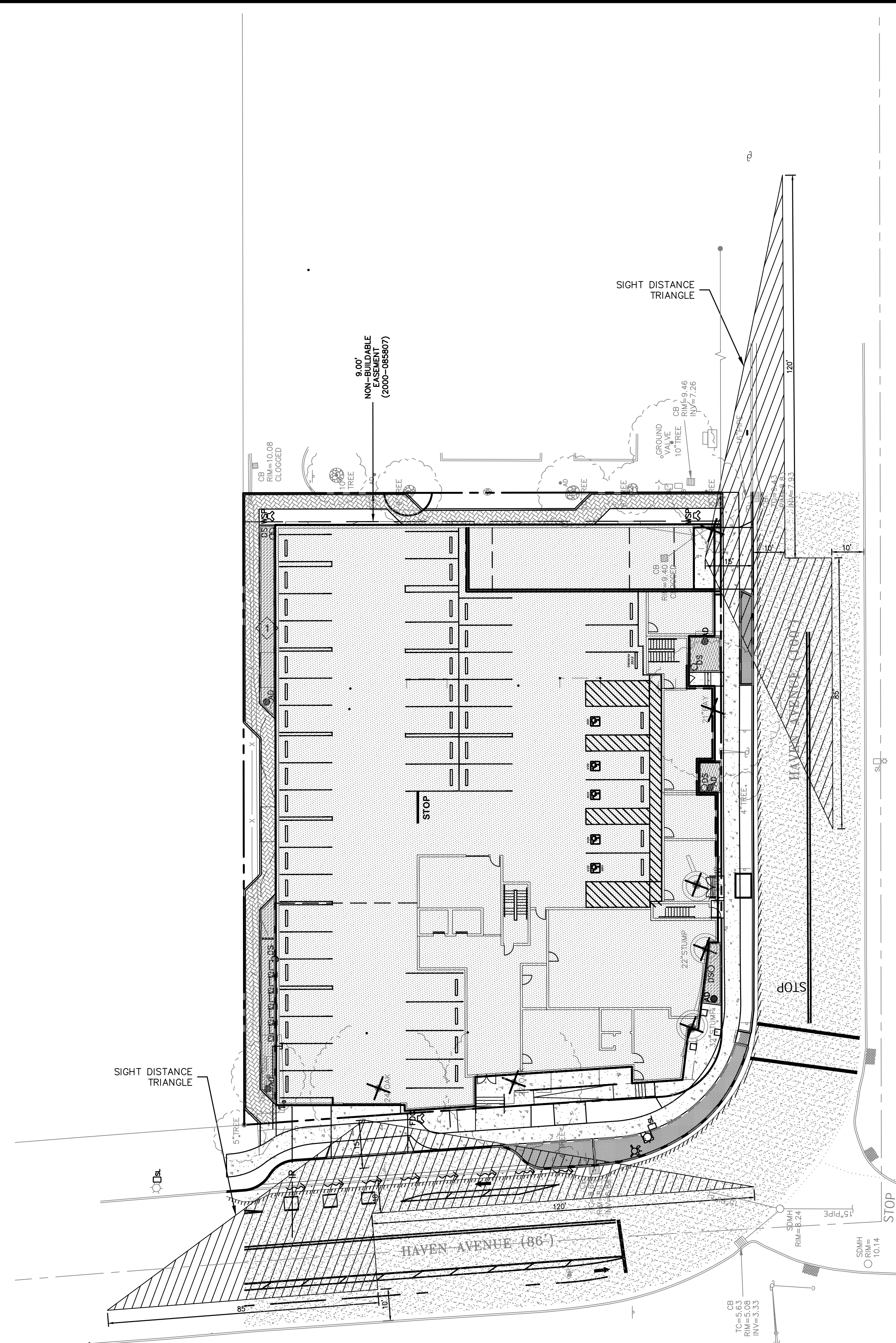
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 10 OF 22 SHEETS



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3.3.1. Sight Distance

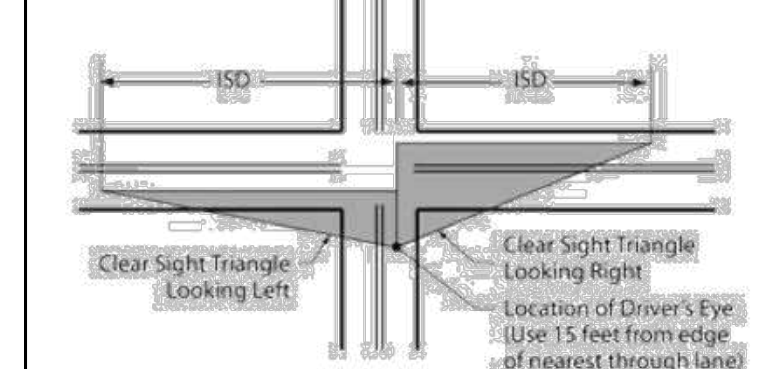
ATTACHMENT B

Insufficient sight distance can be a contributing factor in intersection traffic crashes. Intersection sight distance is typically defined as the distance a motorist can see approaching vehicles before their line of sight is blocked by an obstruction near the intersection. The driver of a vehicle approaching or departing from a stopped position at an intersection should have an unobstructed view of the intersection, including any traffic control devices, and sufficient lengths along the intersecting roadway to permit the driver to anticipate and avoid potential collisions. Examples of obstructions include crops, hedges, trees, parked vehicles, utility poles, or buildings. In addition, the horizontal and vertical alignment of the roadway approaching the intersection can reduce the sight triangle of vehicles navigating the intersection.

It is important for approaching motorists on the major road to see side street vehicles approaching the Stop sign, and for minor road motorists to see approaching major road vehicles before entering the intersection. Poor sight distance can lead to rear-end crashes on the approaches and to angle crashes within the intersection because motorists may be unable to see and react to traffic control devices or approaching vehicles.

The area needed for provision of this unobstructed view is called the Clear Sight Triangle (see Figure 3).

Figure 3. Sight Distance Triangles for 4-Leg Stop-controlled Intersections⁹



The Intersection Sight Distance (ISD) is measured along the major road beginning at a point that coincides with the location of the minor road vehicle. Table 3 provides the recommended values for ISD, based on the following assumptions:

- Stop control of the minor road approaches;
- Using driver eye and object heights associated with passenger cars;
- Both minor and major roads are considered at level grade;
- Considers a left-turn from the minor road as the worst-case scenario (i.e., requiring the most sight distance); and
- The major road is an undivided, two-way, two-lane roadway with no turn lanes.

If conditions at the intersection being evaluated differ from these assumptions, an experienced traffic engineer or highway designer should be consulted to determine whether different ISD values should be used.

Speed (mph) *	Stopping Sight Distance (ft.)	Design Intersection Sight Distance (ft.)
25	155	280
30	200	335
35	250	390
40	305	445
45	360	500
50	425	555
55	495	610
60	570	665
65	645	720

Source : A Policy on Geometric Design of Highway and Streets, 5th Edition, American Association of State Highway and Transportation Officials (AASHTO), 2004.



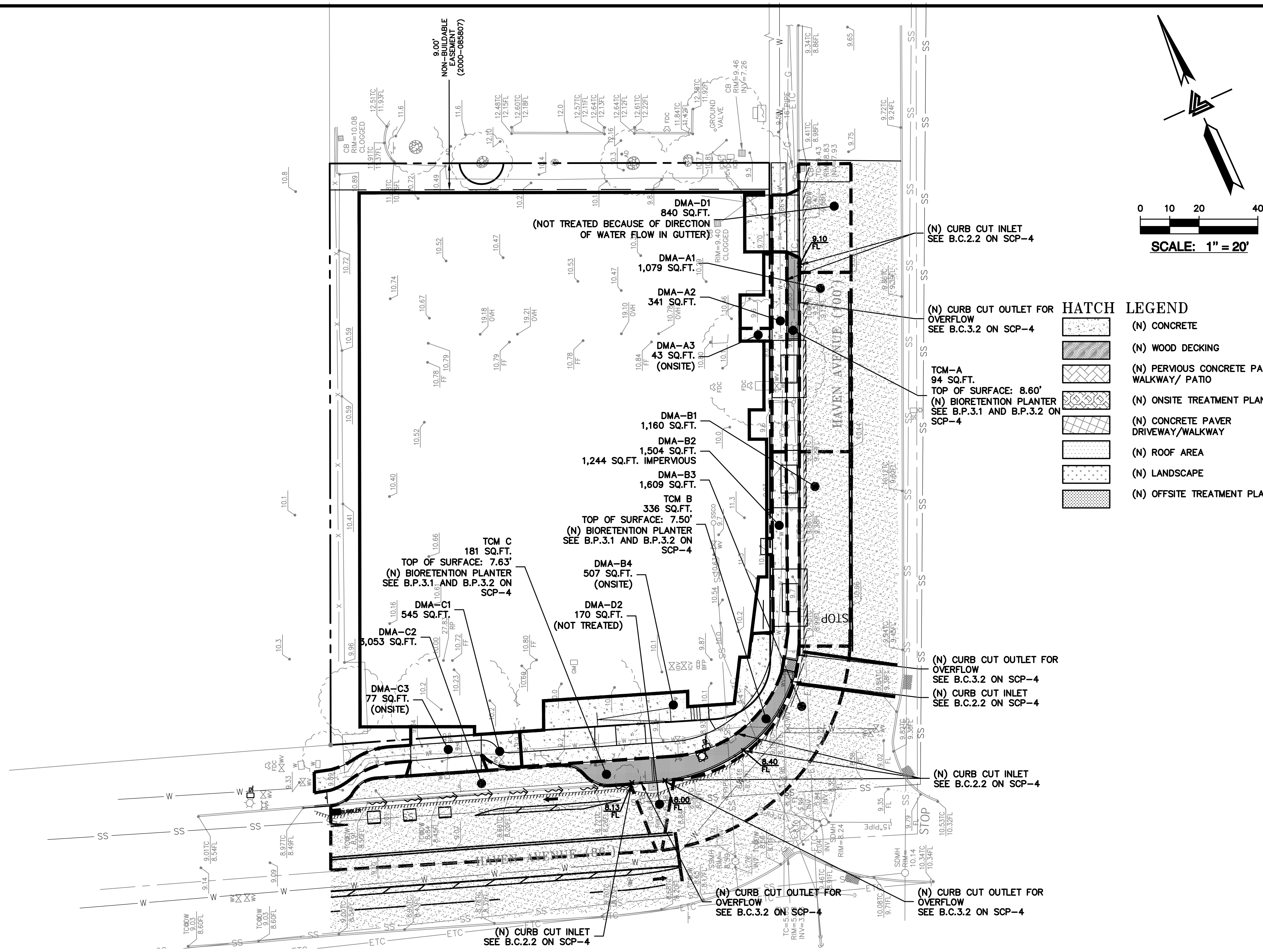
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DRIVEWAY SAFETY
 TRIANGLES

NO.	DESCRIPTION	DATE	BY
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HATCH LEGEND

[Hatched pattern]	(N) CONCRETE
[Hatched pattern]	(N) WOOD DECKING
[Hatched pattern]	(N) PEROUS CONCRETE PAVER WALKWAY/ PATIO
[Hatched pattern]	(N) ONSITE TREATMENT PLANTERS
[Hatched pattern]	(N) CONCRETE PAVER DRIVEWAY/WALKWAY
[Hatched pattern]	(N) ROOF AREA
[Hatched pattern]	(N) LANDSCAPE
[Hatched pattern]	(N) OFFSITE TREATMENT PLANTERS

TREATMENT CONTROL MEASURE SUMMARY TABLE

TCM	TREATS DMA #	IMPERVIOUS AREA (SQ.FT)	TREATMENT AREA REQUIRED* (SQ.FT)	TOTAL TREATMENT AREA REQUIRED* (SQ.FT.)	TREATMENT AREA PROVIDED (SQ.FT)	SURPLUS (SQ.FT)
TCM-A	A1	1,079	43	59	94	35
	A2	341	14			
	A3 (ONSITE)	43	2			
TCM-B	B1	1,160	46	181	336	155
	B2	1,244	50			
	B3	1,609	64			
	B4 (ONSITE)	507	20			
TCM-C	C1	545	22	147	181	34
	C2	3,053	122			
	C3 (ONSITE)	77	3			
DMAs (NOT TREATED)	-	1,010	40	40	-	-
TOTAL	A-D	10,668	427	427	611	225

*TREATMENT AREA REQUIRED IS CALCULATED AS 4% OF IMPERVIOUS AREA



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OFFSITE GREEN INFRASTRUCTURE

9	COMP REVIEW	VA
8	07-16-24	
8	COMP REVIEW	VA
7	05-31-24	
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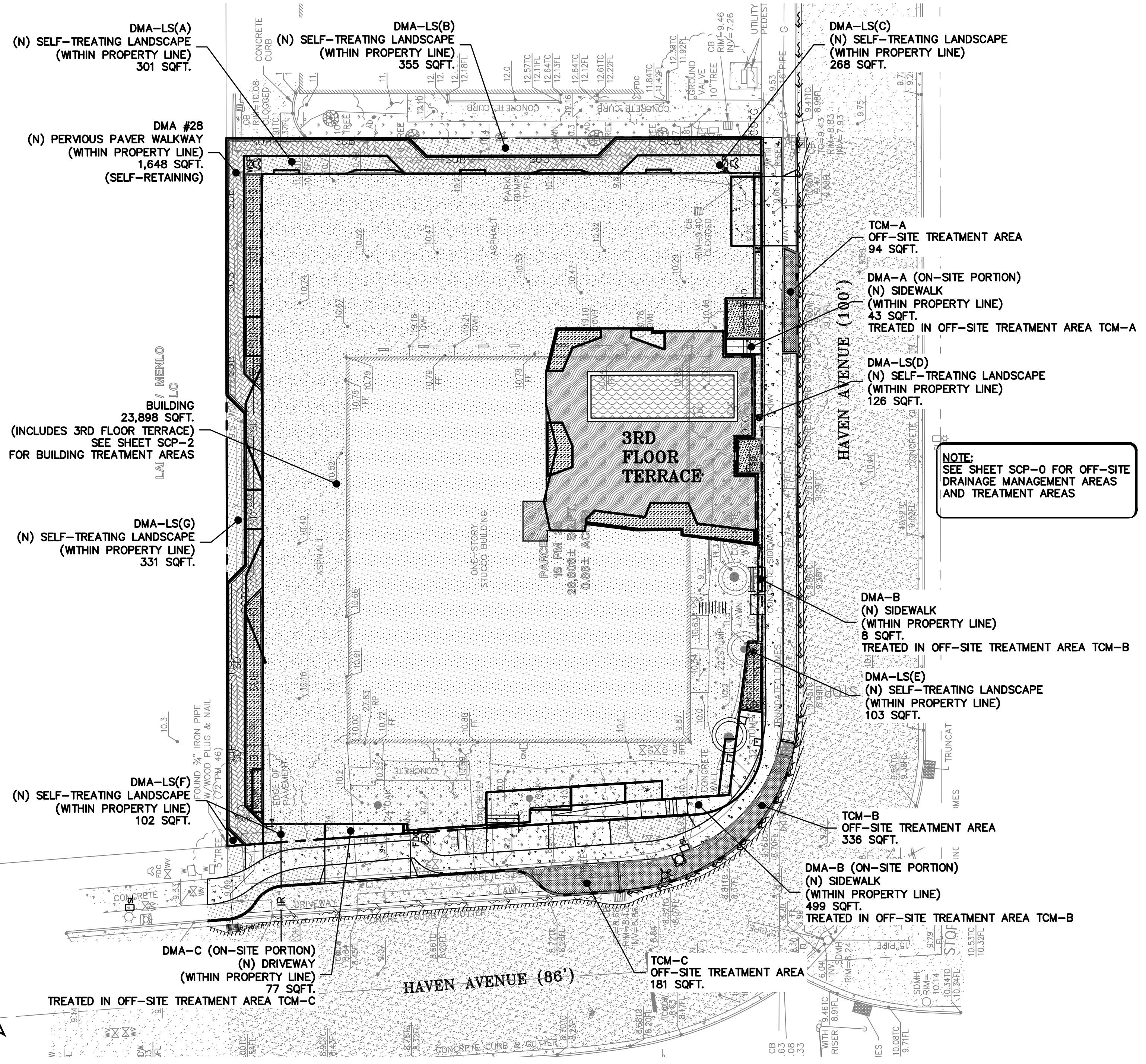
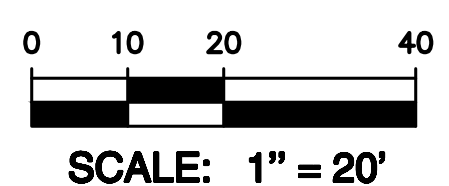
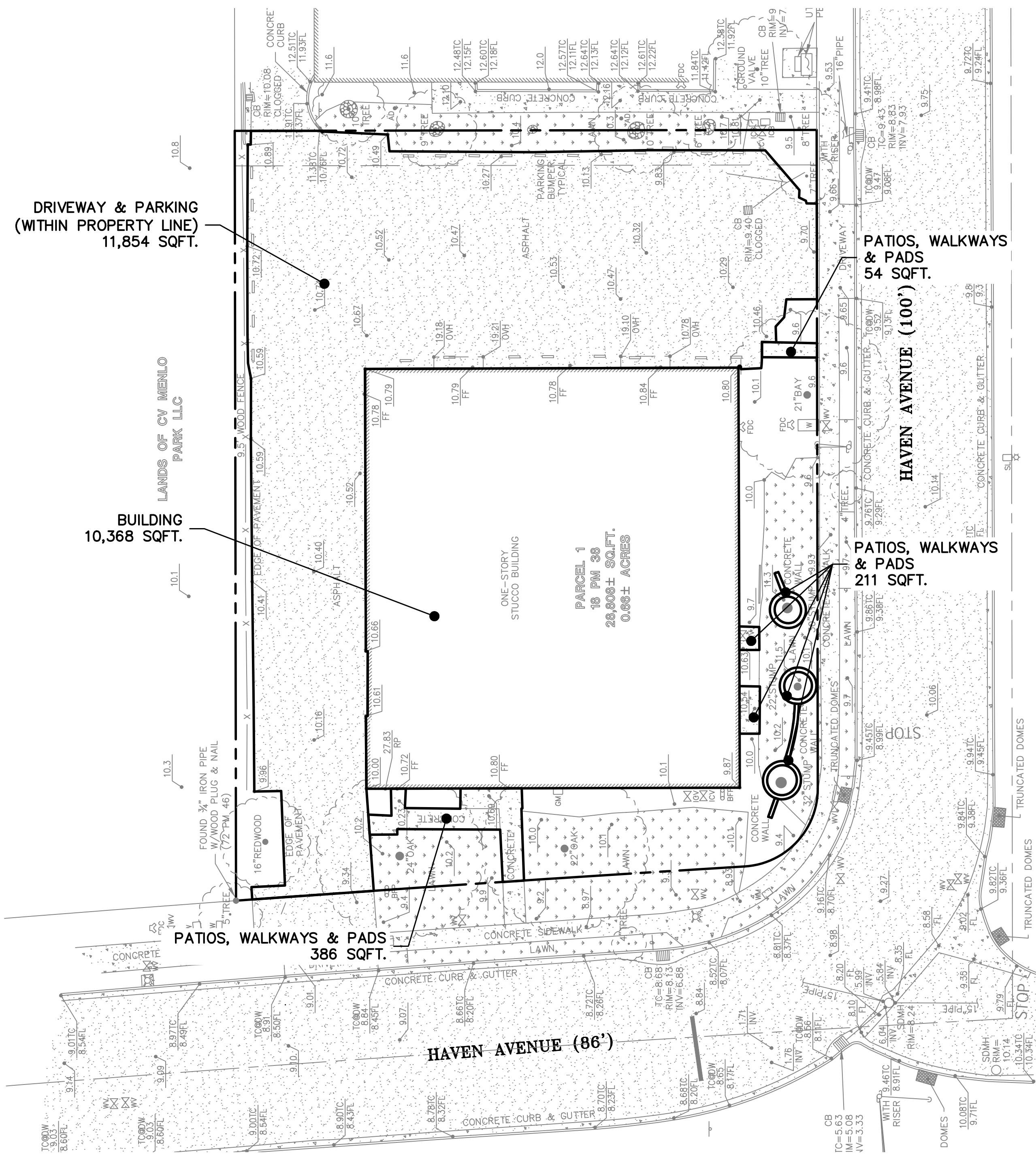


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3705 HAVEN AVENUE
MENLO PARK, CALIFORNIA

IMPERVIOUS SURFACE
EXHIBIT

SAN MATEO COUNTY APN: 055-170-240



NOTE:
 SEE SHEET SCP-0 FOR OFF-SITE DRAINAGE MANAGEMENT AREAS AND TREATMENT AREAS

HATCH LEGEND

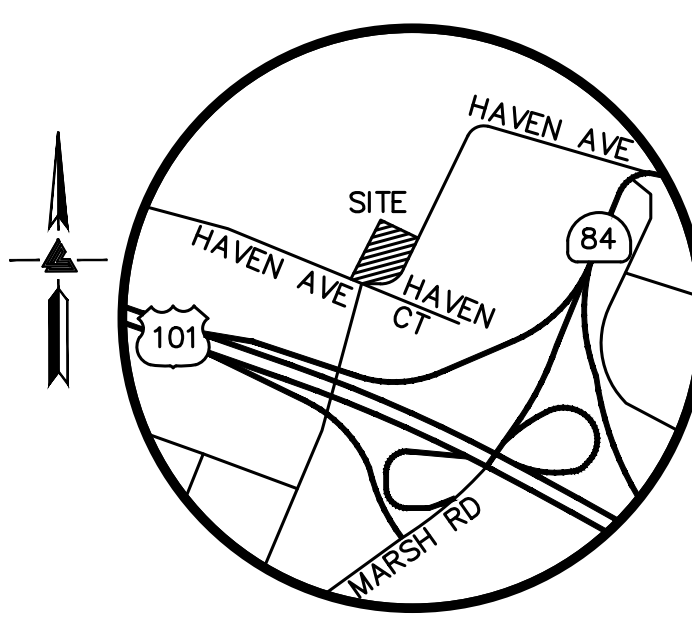
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[Hatch Pattern]	(N) CONCRETE
[Hatch Pattern]	(N) PERVIOUS PAVERS
[Hatch Pattern]	(N) TREATMENT PLANTER

SITE DEVELOPMENT CALCULATIONS

	I.B.1.a	I.B.1.b	I.B.1.c	I.B.1.d	I.B.1.e
Type of Impervious Surface	Existing	Proposed	Existing	Proposed	New
Roof area(s)	10,368	0	10,368	1,652	12,020
Impervious ² sidewalks, patios, paths, driveways, streets	651	0	12,505	0	12,505
Impervious ² uncovered parking ²	11,854	0	0	0	0
Totals:	22,873	0	22,873	1,652	24,525
I.B.1.f - Total Impervious Surface Replaced and Created:					24,525 sqft.
<i>(sum of totals for columns I.B.1.c and I.B.1.d):</i>					
Type of Pervious Surface	Pre-Project	Post-Project			
	Surface (sq.ft.)	Surface (sq.ft.)			
Landscaping	5,935	2,635			
Pervious Paving	0	1,648	I.B.1.e.1		
Green Roof	0	0			
Totals:	5,935	4,283			
Total Site Area (Total Impervious + Total Pervious)	28,808	28,808			

Total Area of Parcel	A	28,808	SF
Existing Pervious Area	B	5,935	SF
Existing Impervious Area	C	22,873	SF
Existing % Impervious	$C / A * 100 =$	D	79.4 %
Existing Impervious Area to be replaced w/new impervious area	E	22,873	SF
Existing pervious area to be replaced w/new impervious area	F	1,652	SF
New Impervious Area (Creating and/or Replacing)	$E + F =$	G	24,525
If G is greater than 10,000 SF, a hydrology report shall be submitted to Engineering.			
Existing Impervious Area to be replaced w/new pervious area	H	0	SF
Net change in Impervious Area	$F - H =$	I	1,652
Input negative (-) number if the F (net change) is negative			
Proposed Pervious Area	$B - I =$	J	4,283
Proposed Impervious Area	$C + I =$	K	24,525
Verify that $J + K = A$			28,808
Proposed % Impervious	$K / A * 100 =$	L	85.1 %

*Pervious Paver Sidewalk Counted as Pervious



NOTE:
 ALL HARDSCAPE BELOW UPPER FLOOR OVERHANGS IS INCLUDED IN THE UNIT BUILDING AREA.

NO.	REVISIONS	BY
9	COMP REVIEW 07-16-24	VA
8	COMP REVIEW 05-31-24	VA
7	COMP REVIEW 03-21-24	VA
6	C3 PLN CHK 10-17-23	VA
5	C3 PLN CHK 10-04-23	VA

JOB NO: 2220759
 DATE: 11-18-22
 SCALE: AS NOTED
 DESIGN BY: VA
 CHECKED BY: JH/PC
 SHEET NO:

STORMWATER TREATMENT SUMMARY TABLES

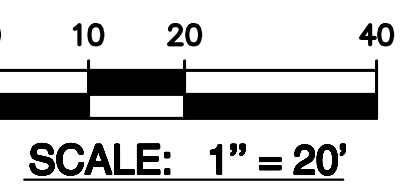
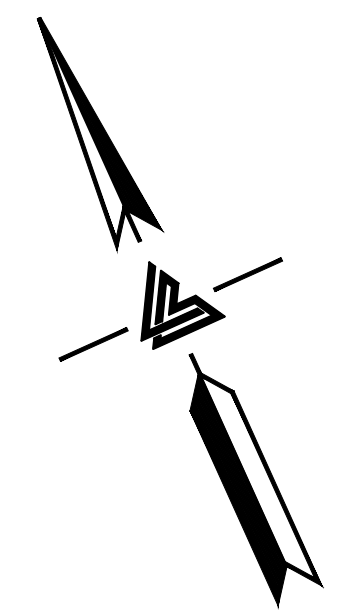
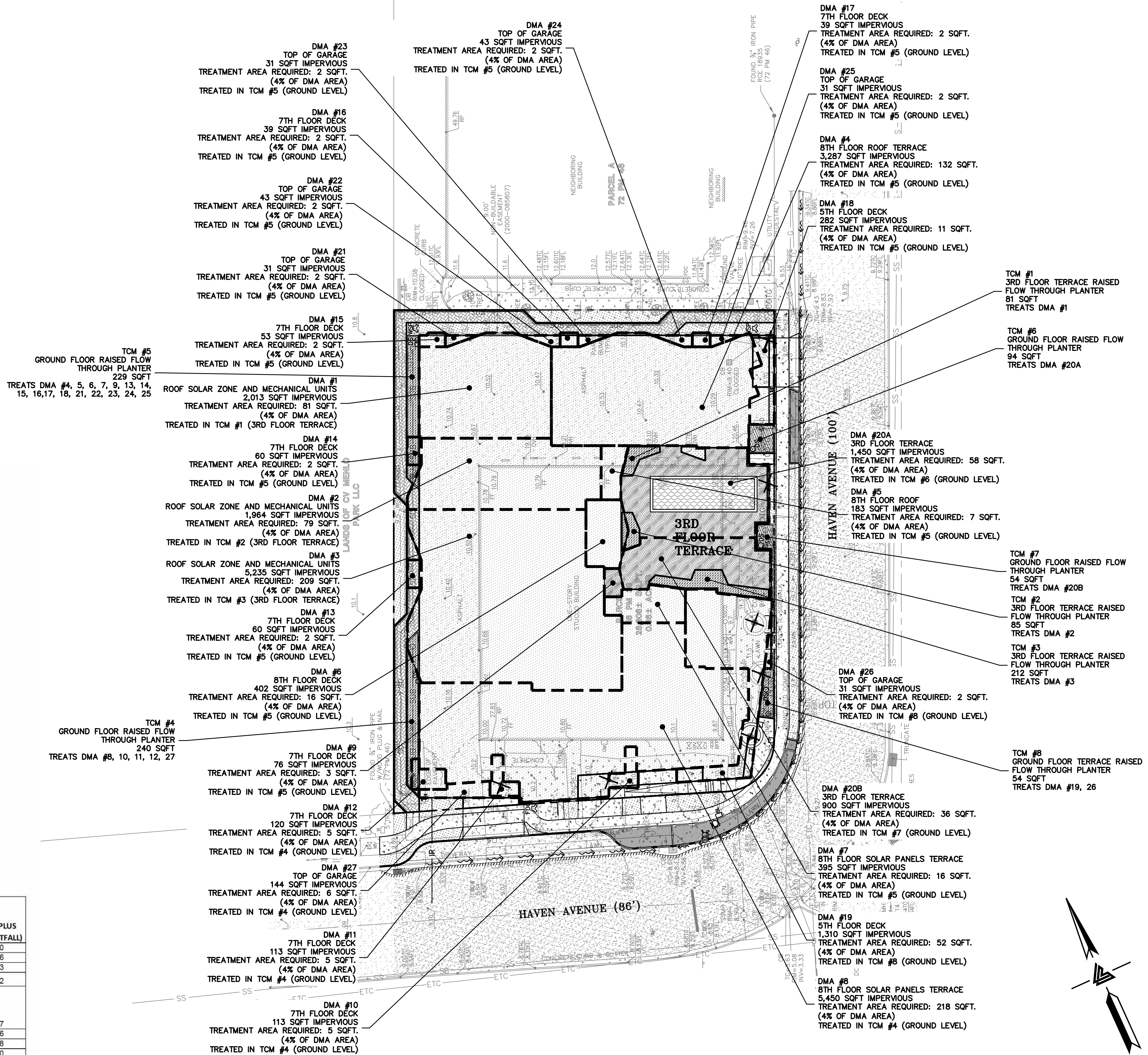
DRAINAGE MANAGEMENT AREA SUMMARY TABLE

DMA	LOCATION	IMPERVIOUS AREA (SQ.FT)	TREATED BY TCM
DMA 1	ROOF	2,013	1
DMA 2	ROOF	1,964	2
DMA 3	ROOF	5,235	3
DMA 4	8TH FLOOR ROOF TERRACE	3,287	5
DMA 5	8TH FLOOR ROOF	183	5
DMA 6	8TH FLOOR DECK	402	5
DMA 7	8TH FLOOR SOLAR PANELS TERRACE	395	5
DMA 8	8TH FLOOR SOLAR PANELS TERRACE	5,450	4
DMA 9	7TH FLOOR DECK	76	5
DMA 10	7TH FLOOR DECK	113	4
DMA 11	7TH FLOOR DECK	113	4
DMA 12	7TH FLOOR DECK	120	4
DMA 13	7TH FLOOR DECK	60	5
DMA 14	7TH FLOOR DECK	60	5
DMA 15	7TH FLOOR DECK	53	5
DMA 16	7TH FLOOR DECK	39	5
DMA 17	7TH FLOOR DECK	39	5
DMA 18	5TH FLOOR DECK	282	5
DMA 19	5TH FLOOR DECK	1,310	8
DMA 20A	3RD FLOOR TERRACE (AREA DOES NOT INCLUDE TREATMENT PLANTERS)	1,450	6
DMA 20B	3RD FLOOR TERRACE (AREA DOES NOT INCLUDE TREATMENT PLANTERS)	900	7
DMA 21	TOP OF GARAGE	31	5
DMA 22	TOP OF GARAGE	43	5
DMA 23	TOP OF GARAGE	31	5
DMA 24	TOP OF GARAGE	43	5
DMA 25	TOP OF GARAGE	31	5
DMA 26	TOP OF GARAGE	31	8
DMA 27	TOP OF GARAGE	144	4
DMA - A	AT GRADE SIDEWALK (On-Site Portion)	43	A (Off-Site Treatment)
DMA - B	AT GRADE SIDEWALK (On-Site Portion)	507	B (Off-Site Treatment)
DMA - C	AT GRADE DRIVEWAY (On-Site Portion)	77	C (Off-Site Treatment)
TOTAL IMPERVIOUS		24,525	

TREATMENT CONTROL MEASURE SUMMARY TABLE

TCM	LOCATION	TREATS DMA #	IMPERVIOUS AREA (SQ.FT)	TREATMENT AREA REQUIRED (SQ.FT)	TREATMENT AREA PROVIDED (SQ.FT)	SURPLUS (SHORTFALL)
TCM 1	3RD FLOOR TERRACE	1	2,013	81	81	0
TCM 2	3RD FLOOR TERRACE	2	1,964	79	85	6
TCM 3	3RD FLOOR TERRACE	3	5,235	209	212	3
TCM 4	GROUND FLOOR	8, 10, 11, 12, 27	5,940	238	240	2
TCM 5	GROUND FLOOR	4, 5, 6, 7, 9, 13, 14, 15, 16, 17, 18, 21, 22, 23,	5,055	202	229	27
TCM 6	GROUND FLOOR	20A	1,450	58	94	36
TCM 7	GROUND FLOOR	20B	900	36	54	18
TCM 8	GROUND FLOOR	19, 26	1,341	54	54	0
TCM A	OFF-SITE	A	43	2	2	0
TCM B	OFF-SITE	B	507	20	20	0
TCM C	OFF-SITE	C	77	3	3	0
TOTAL			24,525	981	1,074	93

*Listed treatment area provided for TCM- A, B, & C excludes additional treatment area provided for off-site hardscape treatment



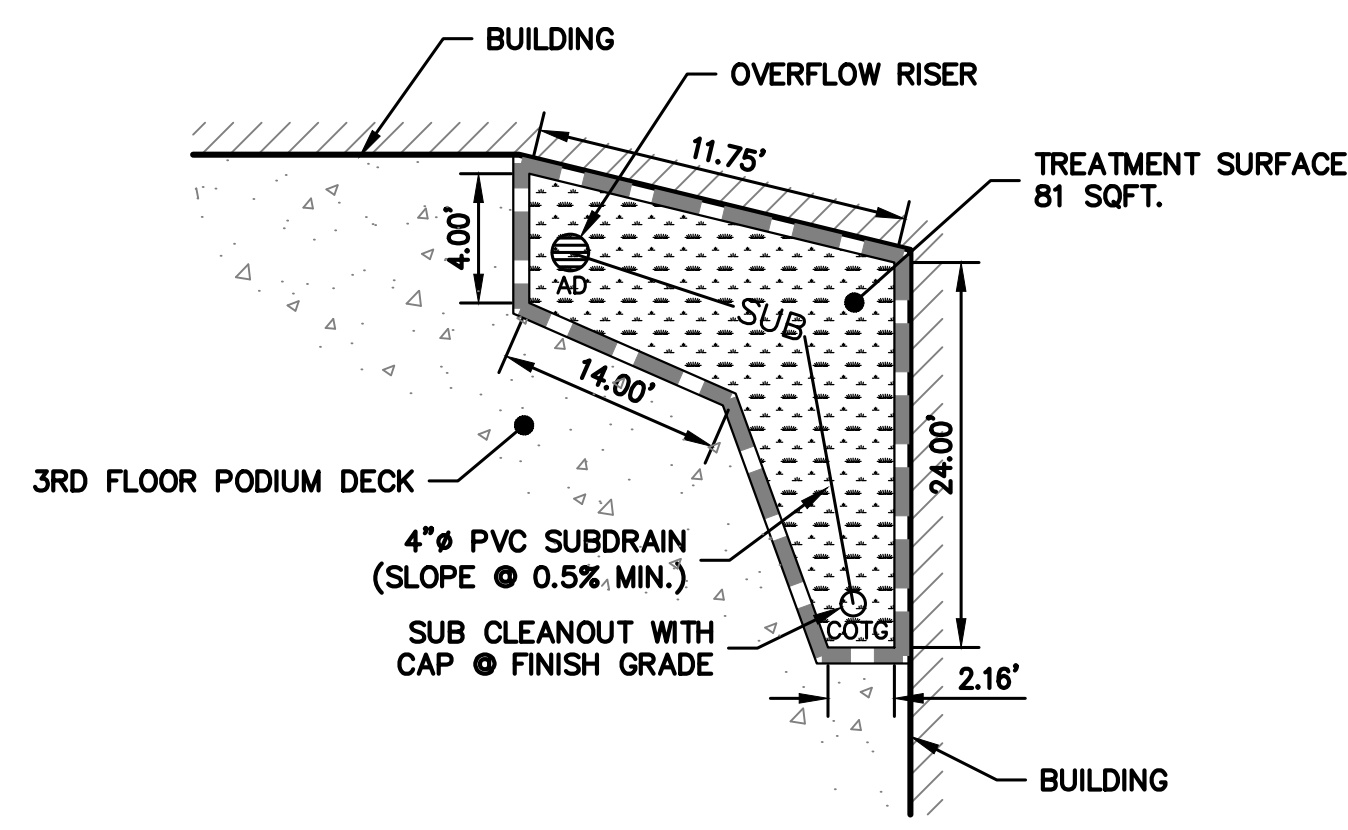
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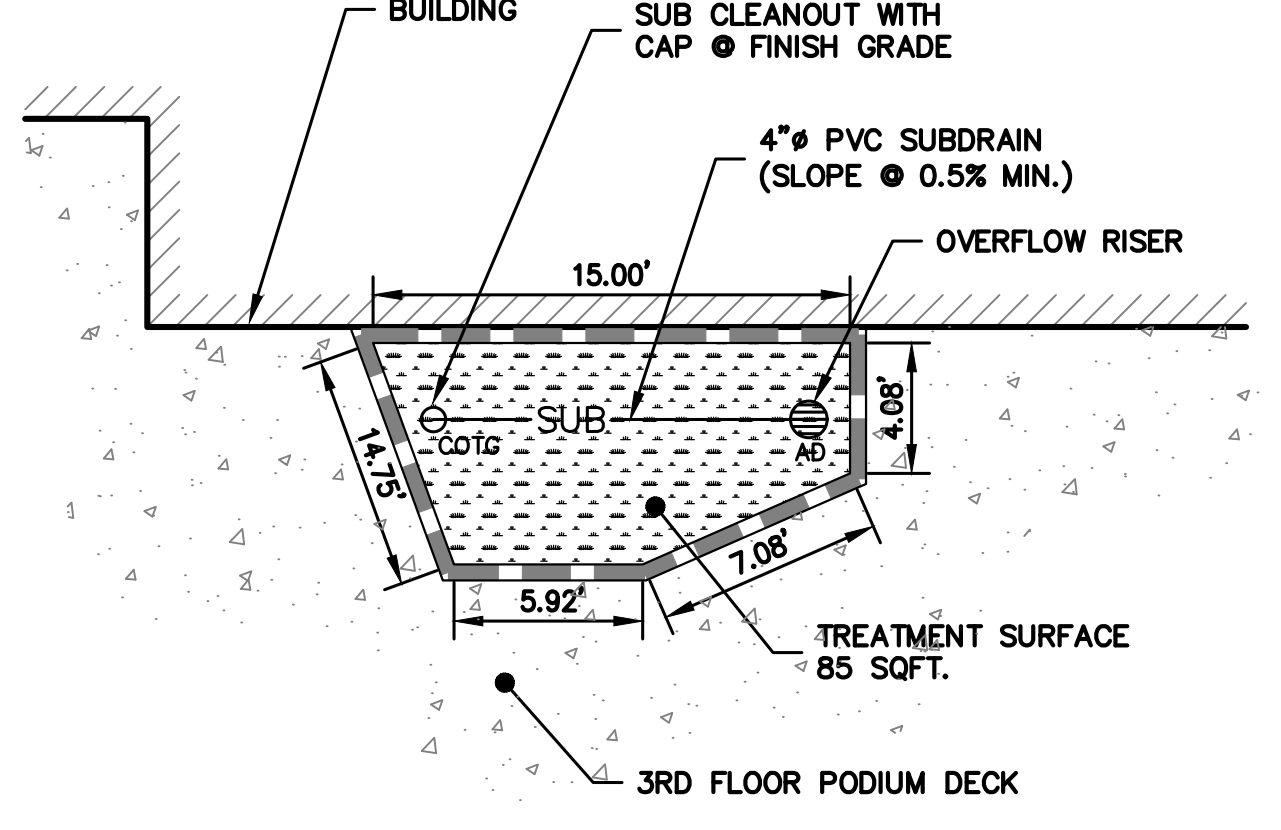
STORMWATER CONTROL
 PLAN

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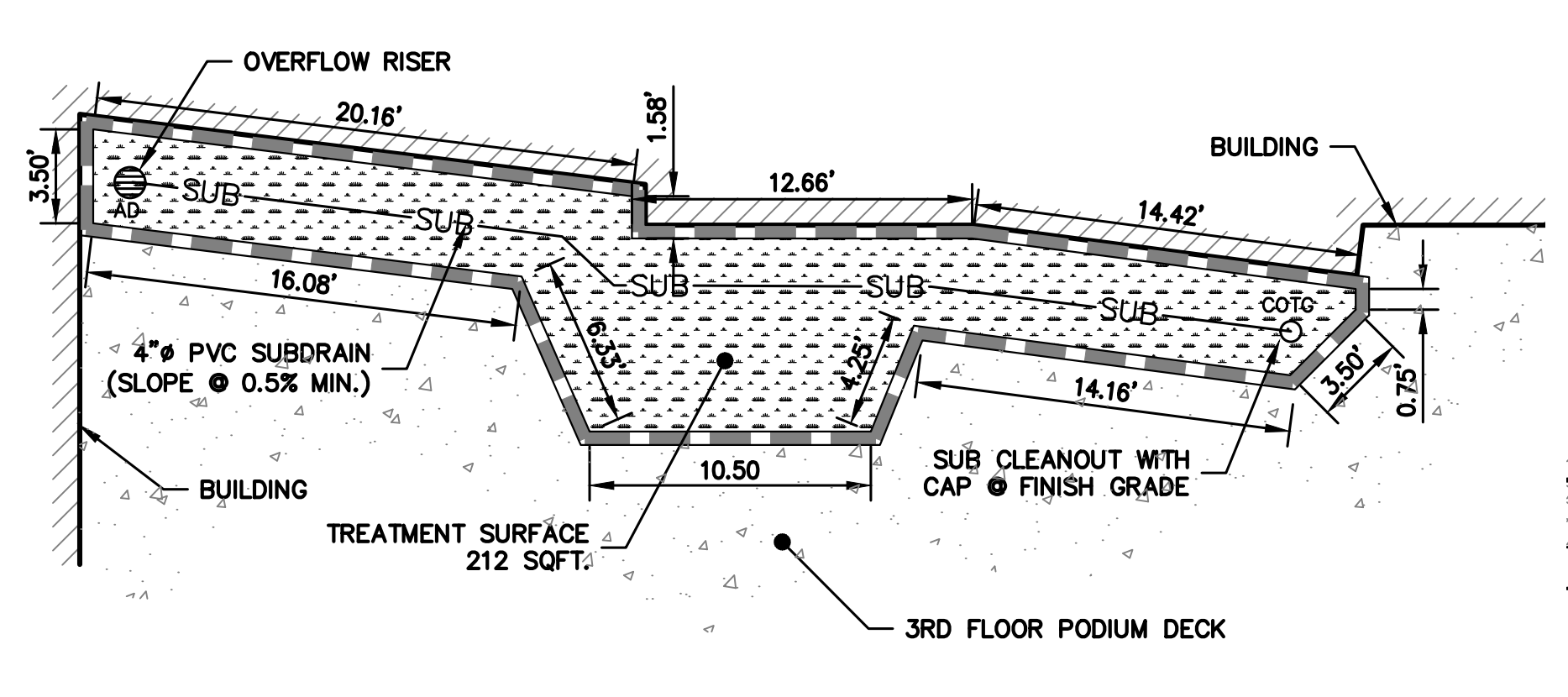
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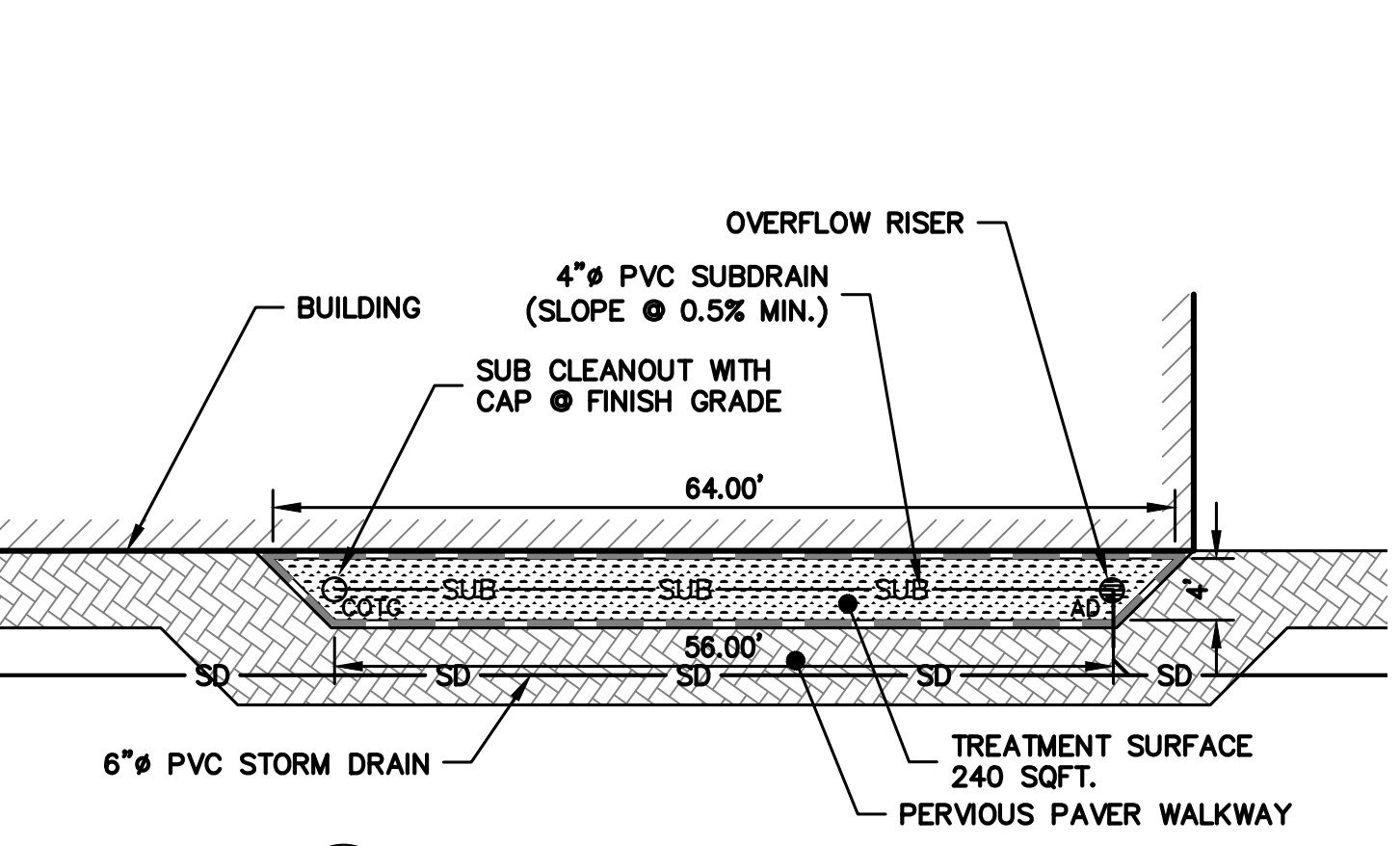
1 FLOW THROUGH PLANTER #1
SCP-3 NTS



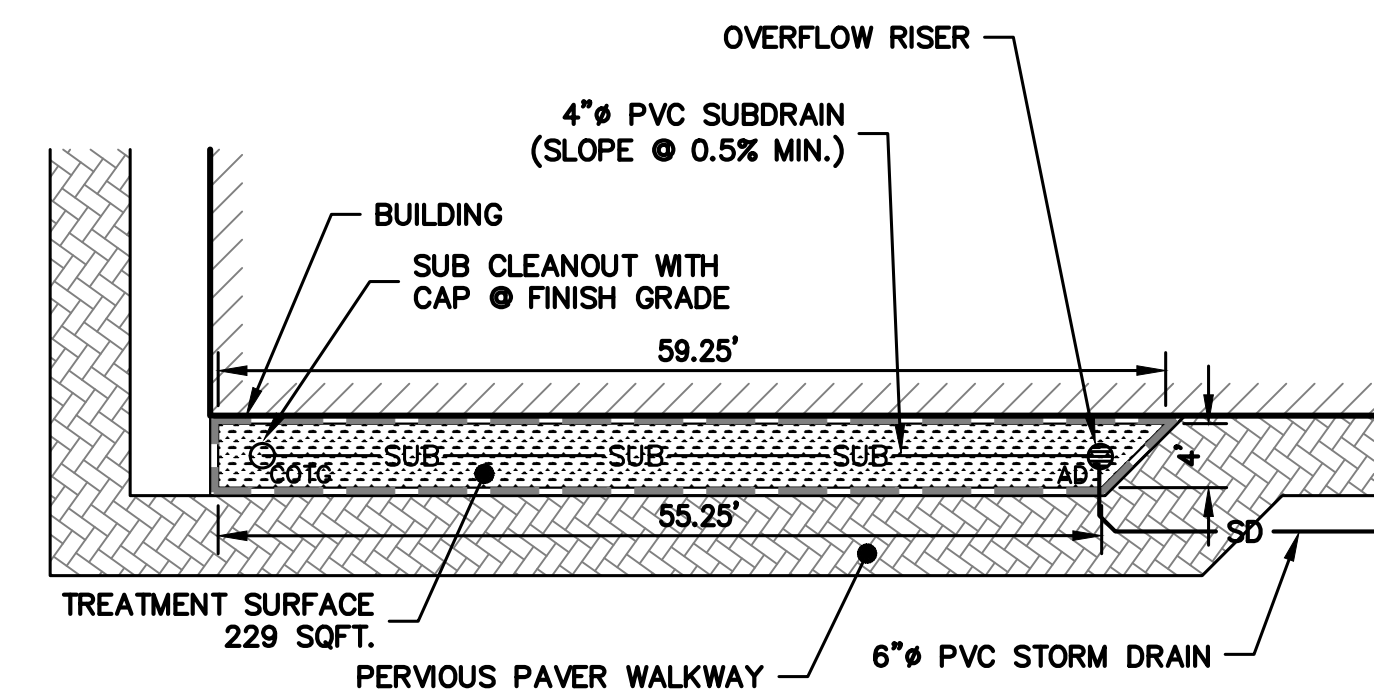
2 FLOW THROUGH PLANTER #2
SCP-3 NTS



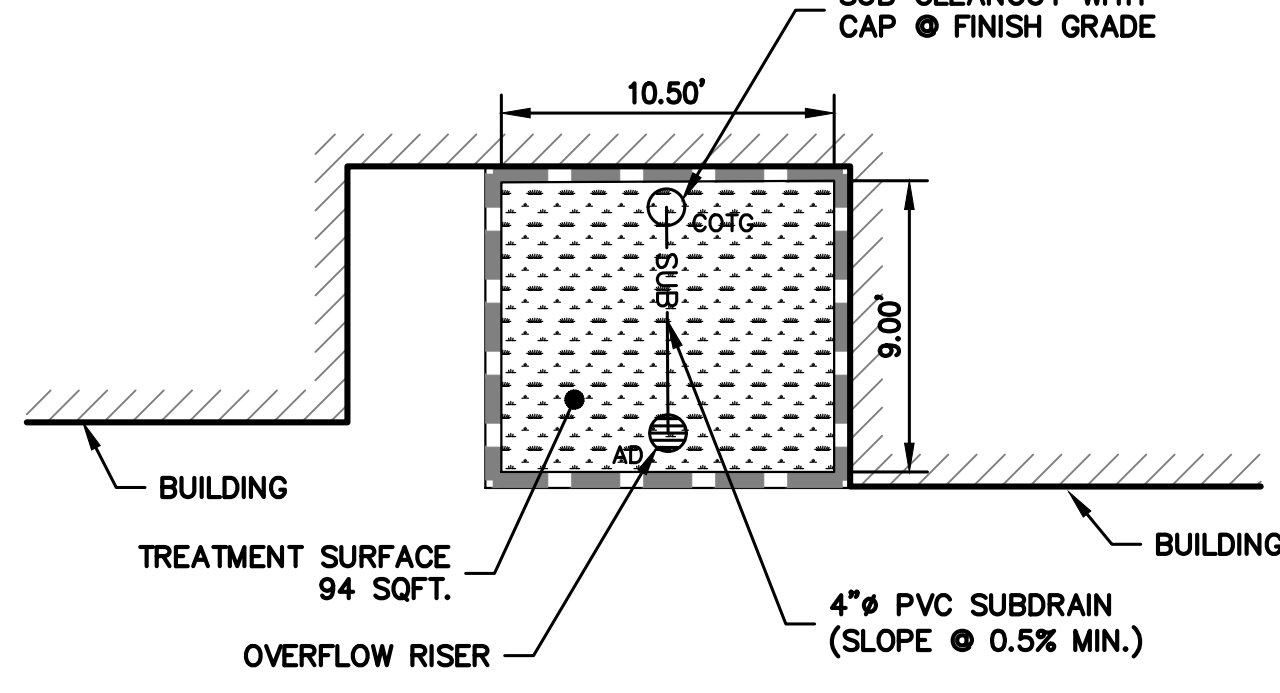
3 FLOW THROUGH PLANTER #3
SCP-3 NTS



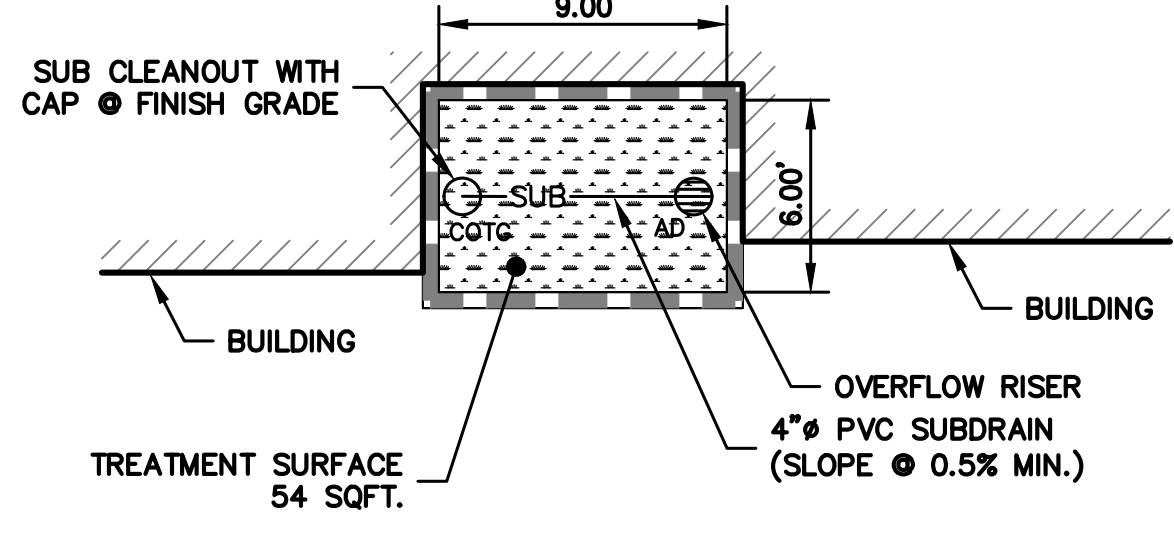
4 FLOW THROUGH PLANTER #4
SCP-3 NTS



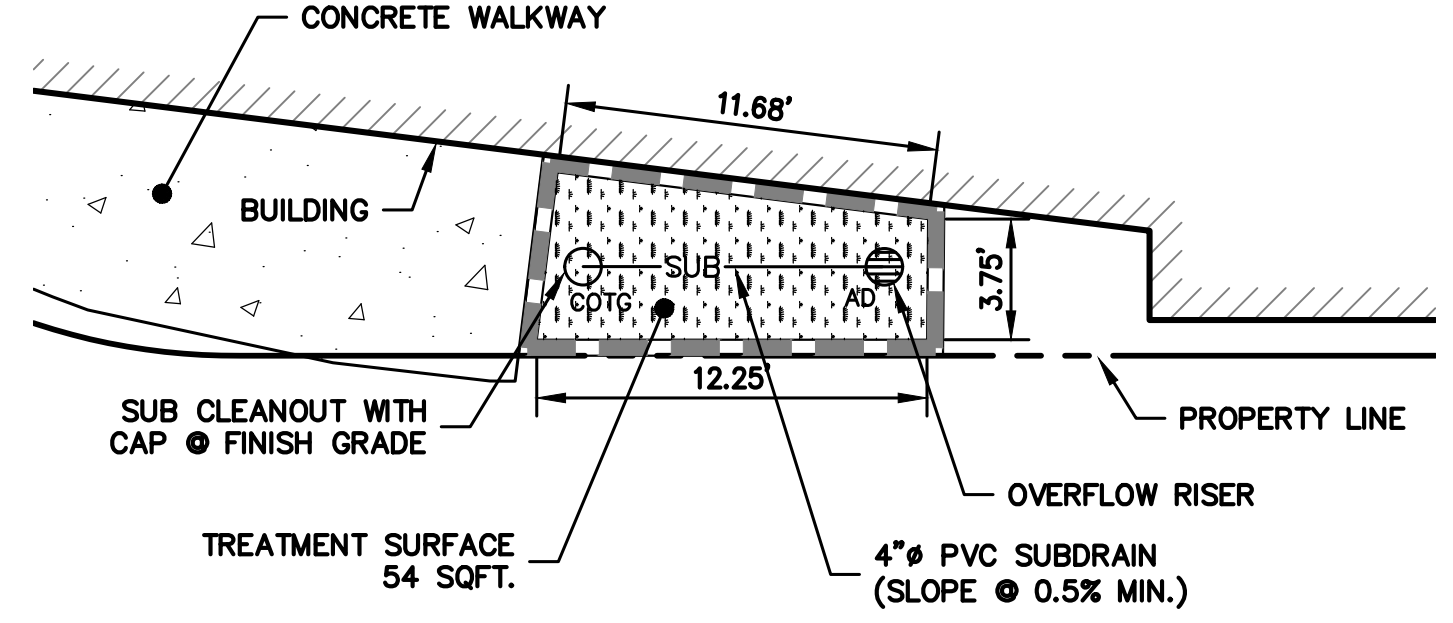
5 FLOW THROUGH PLANTER #5
SCP-3 NTS



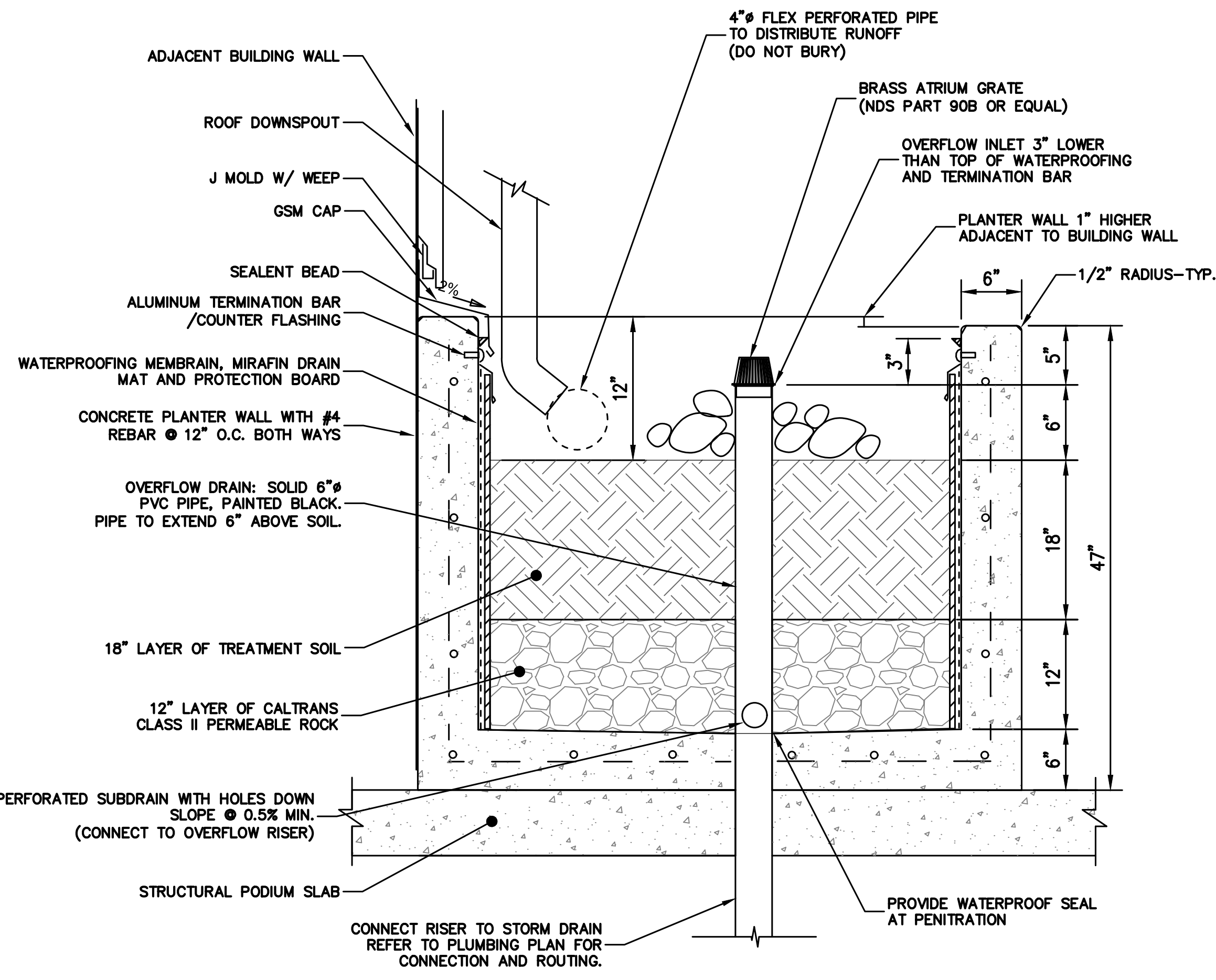
6 FLOW THROUGH PLANTER #6
SCP-3 NTS



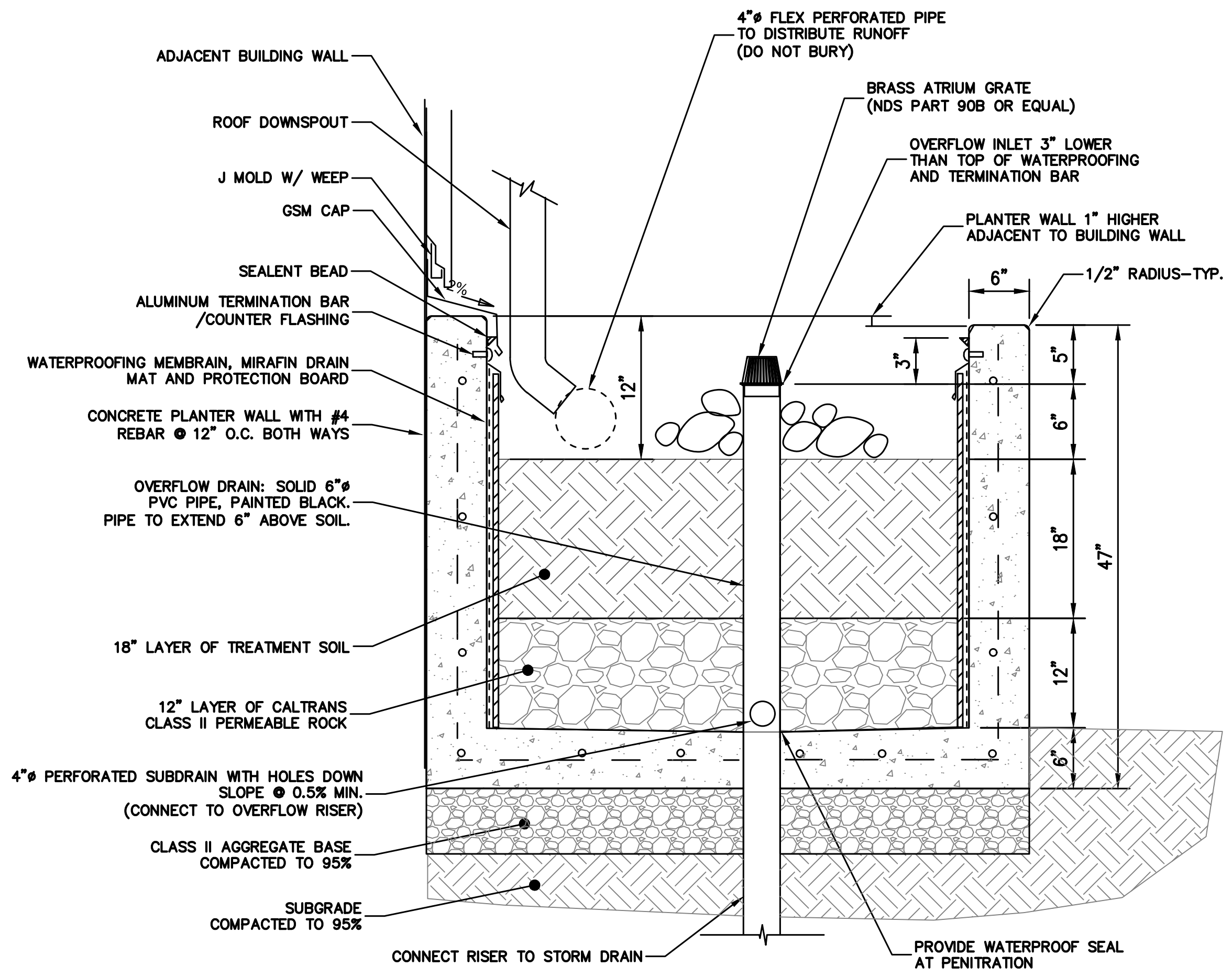
7 FLOW THROUGH PLANTER #7
SCP-3 NTS



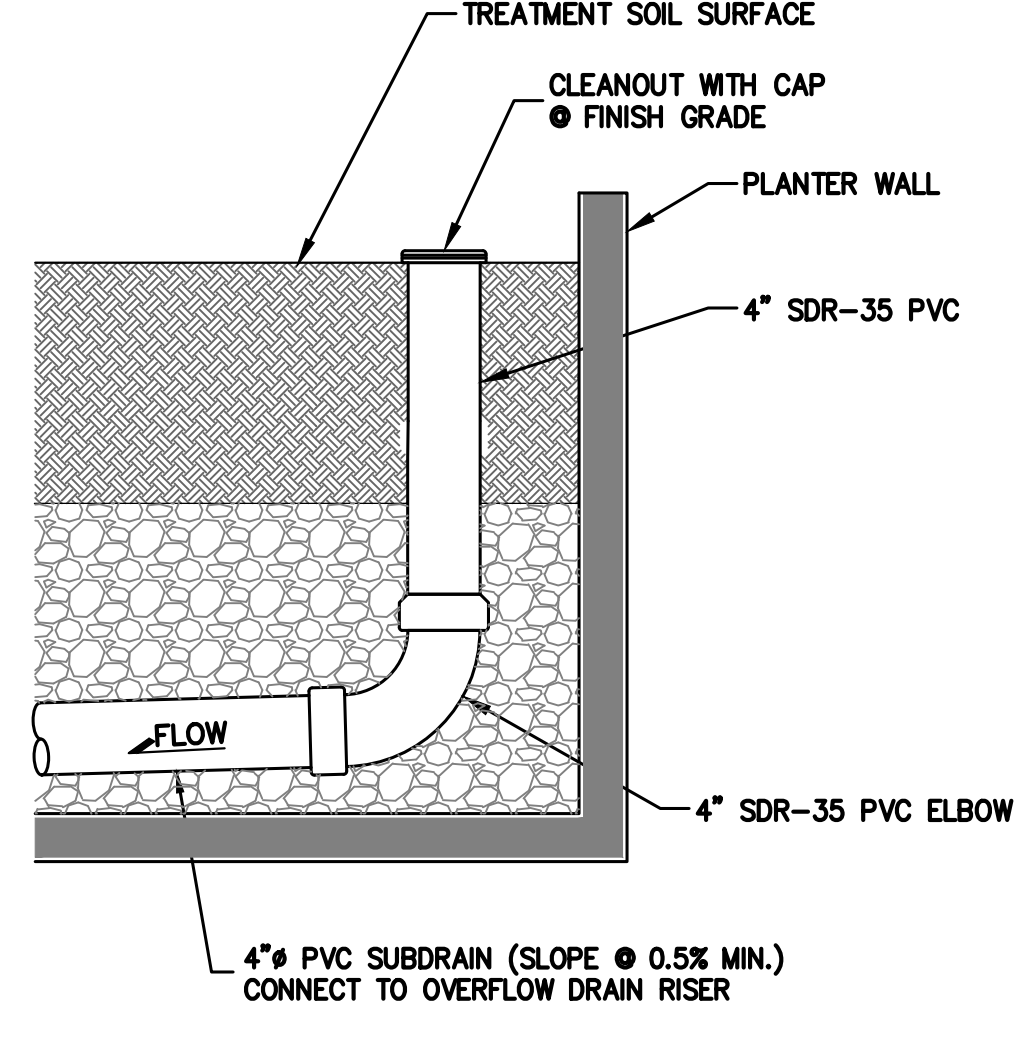
8 FLOW THROUGH PLANTER #8
SCP-3 NTS



8 PODIUM DECK FLOW-THROUGH TREATMENT PLANTERS
FLOW-THROUGH TREATMENT PLANTERS 1, 2, & 3
SCP-3 NTS



9 GROUND FLOOR FLOW-THROUGH TREATMENT PLANTERS
FLOW-THROUGH TREATMENT PLANTERS 4, 5, 6, 7 & 8
SCP-3 NTS



10 PLANTER SUBDRAIN CLEANOUT
SCP-3 NTS

BIO-RETENTION SOIL CONSIDERATIONS
 THE BIO-RETENTION PLANTING SOIL SHALL MEET THE REQUIREMENTS SET FORTH IN APPENDIX K OF THE SAN MATEO COUNTY CLEANWATER PROGRAM C.3 STORMWATER TECHNICAL GUIDANCE HANDBOOK.
 BIO-RETENTION SOIL SHALL HAVE A MINIMUM PERCOLATION RATE OF 5" PER HOUR AND MAXIMUM PERCOLATION RATE OF 10" PER HOUR. IF NATIVE SOILS DO NOT MEET THIS PERCOLATION REQUIREMENT, AN ADMIXTURE SHALL BE MIXED INTO PLANTING SOIL TO ALLOW FOR A 5" PER HOUR PERCOLATION RATE. IN-SITU TESTING SHALL BE CONDUCTED TO VERIFY THAT THE MATERIAL MEETS THE PERCOLATION REQUIREMENTS.
 NO BARK MULCH SHALL BE PLACED IN THE VEGETATED AREA.
 IF IMPORT SOIL IS USED, IT SHALL HAVE THE FOLLOWING PROPERTIES FOR SANDY LOAM. A TYPICAL SOIL MIX COMPRISES 60-70% SAND AND 30%-40% COMPOST.



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 SAN MATEO COUNTY
 APN: 055-170-240

STORMWATER CONTROL
 DETAILS

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SCP-3
 15 OF 22 SHEETS



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GREEN INFRASTRUCTURE
 DETAILS

PURPOSE:
 ROADSIDE BIORETENTION PLANTERS IN:
 • CSS AREAS: CONTROL PEAK FLOWS AND VOLUMES OF STORMWATER RUNOFF BY PROVIDING SURFACE, SUBSURFACE STORAGE AND INFILTRATION INTO NATIVE SOIL.
 • MSA AREAS: REMOVE POLLUTANTS OF CONCERN AS WATER FILTERS THROUGH BIORETENTION SOIL.

DESIGNER NOTES & GUIDELINES:

- THE DESIGNER MUST ADAPT PLAN AND SECTION DRAWINGS TO ADDRESS SITE-SPECIFIC CONDITIONS.
- PLANTER AREA, PONDING DEPTH, BIORETENTION SOIL DEPTH, AND AGGREGATE STORAGE DEPTH MUST BE SIZED TO MEET PROJECT HYDROLOGIC PERFORMANCE GOALS.
- PONDING AND BIORETENTION SOIL DRAWDOWN TIME (I.E., TIME FOR MAXIMUM SURFACE PONDING TO DRAIN THROUGH THE BIORETENTION SOIL AFTER THE END OF A STORM) RECOMMENDATIONS:
 • 3-12 HOUR PONDING AND BIORETENTION SOIL DRAWDOWN (TYPICAL)
 • 24 HOUR MAXIMUM PONDING AND BIORETENTION SOIL DRAWDOWN
- FACILITY DRAWDOWN TIME (I.E., TIME FOR SURFACE PONDING TO DRAIN THROUGH THE ENTIRE SECTION INCLUDING AGGREGATE STORAGE AFTER THE END OF A STORM) REQUIREMENTS:
 • 48 HOUR MAXIMUM FACILITY DRAWDOWN (I.E. ORIFICE CONTROLLED SYSTEM OR EXTENDED STORAGE DEPTH WITHIN INFILTRATION SYSTEM)
- AN AGGREGATE COURSE UNDER THE BIORETENTION SOIL IS REQUIRED FOR BIORETENTION IN SEPARATE SEWER SYSTEM AREAS. USE AGGREGATE COURSE WHERE REQUIRED (E.G. WITH UNDERDRAIN, FOR STORAGE, ETC.) FOR FACILITIES IN COMBINED SEWER SYSTEM AREAS.
- THE PLANTER WALL SLOPE IS TYPICALLY DESIGNED TO MATCH THE LONGITUDINAL SLOPE OF THE ADJACENT ROADWAYSIDEWALK. CHECK DAMS MAY BE USED FOR HIGHER-SLOPED INSTALLATIONS TO TERRACE FACILITIES TO PROVIDE SUFFICIENT PONDING AND TO MINIMIZE LARGE ELEVATION DROPS FROM ADJACENT SURFACES. DESIGNER MUST SPECIFY CHECK DAM HEIGHT AND SPACING. REFER TO BC 6.1 AND BC 6.2 FOR GUIDANCE ON CHECK DAM DESIGN.
- THE DESIGN SHALL MINIMIZE THE HEIGHT OF EXPOSED PLANTER WALLS BETWEEN THE TOP OF SOIL AND TOP OF CURB WALL AND CONSIDER PEDESTRIAN AND VEHICLE SAFETY, ACCESSIBILITY REQUIREMENTS, AND OVERALL AESTHETICS. DEPENDING ON THE HEIGHT OF THE PROPOSED PLANTER WALL, ADDITIONAL STRUCTURAL CONSIDERATIONS MAY BE REQUIRED TO ADDRESS WALL LOADING. REFER TO BC 1.1 THROUGH BC 1.7 FOR GUIDANCE ON EDGE TREATMENTS.
- WHEN FACILITY CONSTRUCTION IMPACTS EXISTING SIDEWALK, ALL SAW CUTS MUST ADHERE TO SFPUC REQUIREMENTS. SAW CUTS SHOULD BE ALONG SCORE LINES AND ANY DISTURBED SIDEWALK FLAGS SHOULD BE REPLACED IN THEIR ENTIRETY.
- BIORETENTION PLANTERS LOCATED IN PUBLIC ROW SHOULD BE DESIGNED WITH AN OFFLINE CONFIGURATION (I.E. NO OVERFLOW STRUCTURE TO SD LATERAL CURB CUTS SERVE AS INLET AND OVERFLOW TO GUTTER FLOW LINE). ONLINE BIORETENTION CONFIGURATION (I.E. OVERFLOW STRUCTURE WITHIN PLANTER TO SD LATERAL) REQUIRES SFPUC APPROVAL. HAND-PIPED DISCHARGE INTO ROW BIORETENTION PLANTERS MAY REQUIRE AN ONLINE CONFIGURATION.
- FOR APPROVED ONLINE CONFIGURATIONS, OVERFLOW STRUCTURE (MATERIAL AND WORKMANSHIP) SHALL CONFORM TO APPLICABLE CODES AND REQUIREMENTS. SEE AND MODEL OF AT-RISK ORATE AT OVERFLOW TO BE DETERMINED BY ENGINEER TO ENSURE CONVEYANCE OF PEAK FLOW.
- PLANTER VEGETATION MUST BE SPECIFIED BY DESIGN PROFESSIONAL PER SFPUC VEGETATION PALLETTE.
- THE DESIGNER MUST EVALUATE UTILITY SURVEYS FOR POTENTIAL UTILITY CROSSINGS OR CONFLICTS. REFER TO GC 2.1 - GC 2.12 FOR UTILITY CROSSING DETAILS AND GC 3.1 - GC 3.4 FOR UTILITY CROSSING CONFLICT DETAILS.
- MINIMUM UTILITY SETBACKS AND PROTECTION MEASURES MUST CONFORM TO CURRENT SFPUC ASSET PROTECTION STANDARDS AND OTHER UTILITY PROVIDER REQUIREMENTS.

RELATED COMPONENTS

EDGE TREATMENTS:	BC 1.1	BC 1.7
INLETS:	BC 2.1	BC 2.4
OUTLETS:	BC 3.1	BC 3.4
AGGREGATE STORAGE:	BC 4.1	
UNDERDRAINS:	BC 5.1	BC 5.2
CHECK DAMS:	BC 6.1	BC 6.2
LINEAS:	GC 1.1	GC 1.2
UTILITY CROSSINGS:	GC 2.1	GC 2.12
UTILITY CONFLICTS:	GC 3.1	GC 3.4
OBSERVATION PORTS:	GC 4.1	GC 4.3
CLEANOUTS:	GC 5.1	

RELATED SPECIFICATIONS

BIORETENTION:	CSH NO. 33-47-27
BIORETENTION SOIL MIX:	
AGGREGATE STORAGE:	
MULCH:	
STREAMBED COBBLES:	

NOT FOR CONSTRUCTION - REFER TO USER GUIDE

GREEN INFRASTRUCTURE TYPICAL DETAILS
 SAN FRANCISCO PUBLIC UTILITIES COMMISSION
 ROADSIDE PLANTER DESIGNER NOTES (1 OF 2)
 BP 1.1

LAYOUT REQUIREMENTS:

- REFER TO THE SAN FRANCISCO STANDARD ACCESSIBILITY REQUIREMENTS IN THE SAN FRANCISCO PUBLIC WORKS SIDEWALK LANDSCAPING REFERENCE DRAWINGS AND SPECIFICATIONS FOR COURTESY STRIP, THROUGHWAY, PARKING SPACE AND ACCESSIBLE PATH REQUIREMENTS.
- LOCATE CURB CUTS AND GUTTER MODIFICATIONS TO AVOID CONFLICTS WITH ACCESSIBILITY REQUIREMENTS (E.G. OVERFLOWS SHALL DISCHARGE TO CR OR INLET PRIOR TO CROSSING A CURB RAMP OR CROSSWALK).
- REFER TO SHEET GEN 6.2 AND APPENDIX C OF THE STORMWATER MANAGEMENT REQUIREMENTS FOR MORE DETAILED INFORMATION ON SITING AND DESIGN REQUIREMENTS FOR INFILTRATION-BASED BMPs.

DESIGNER CHECKLIST (MUST SPECIFY, AS APPLICABLE):

- PLANTER WIDTH AND LENGTH
- DEPTH OF PONDING
- DEPTH OF FREEBOARD
- DEPTH OF BIORETENTION SOIL
- DEPTH AND TYPE OF AGGREGATE STORAGE, IF ANY
- PLANTER SURFACE ELEVATION (TOP OF BIORETENTION SOIL) AT UPSLOPE AND DOWNSLOPE ENDS OF FACILITY (I.E., PROVIDE SPOTS AND/OR CONTOURS AS NEEDED).
- DEFINED SURVEY POINTS AT EVERY PLANTER WALL CORNER AND POINT OF TANGENCY
- HORIZONTAL CONTROL, DIMENSIONS AND DISTANCE TO EVERY INLET, OUTLET, CHECK DAM, SIDEWALK NOTCH, ETC.
- VERTICAL CONTROL, ELEVATIONS OF EVERY INLET, OUTLET, STRUCTURE RIM AND INVERT, CHECK DAM, PLANTER WALL CORNER, AND SIDEWALK NOTCH
- TYPE AND DESIGN OF PLANTER COMPONENTS (E.G. EDGE TREATMENTS, INLETS/GUTTER MODIFICATIONS, UTILITY CROSSINGS, LINER, AND PLANTING DETAILS)

NOT FOR CONSTRUCTION - REFER TO USER GUIDE

GREEN INFRASTRUCTURE TYPICAL DETAILS
 SAN FRANCISCO PUBLIC UTILITIES COMMISSION
 ROADSIDE PLANTER DESIGNER NOTES (2 OF 2)
 BP 1.2

CONSTRUCTION NOTES:

- CHECK DAMS SHALL BE SPACED TO PROVIDE PONDING PER SITE SPECIFIC DESIGN.
- LAY OUT DRAINAGE NOTICES TO PREVENT PONDING BEHIND PLANTER WALL WITH 5' MAXIMUM SPACING BETWEEN NOTICES.
- PROVIDE ONE CLEANOUT PER PLANTER (MIN) FOR FACILITIES WITH UNDERDRAINS.
- MINIMUM UTILITY SETBACKS AND PROTECTION MEASURES MUST CONFORM TO CURRENT SFPUC ASSET PROTECTION STANDARDS. COORDINATE WITH ENGINEER IN THE EVENT OF UTILITY CROSSING AND UTILITY CONFLICTS.
- PUBLIC ROW/SFPUC ASSETS SHALL BE OFFLINE CONFIGURATION, SEE BP 1.1.
- PRIVATE PARCEL: OFFLINE OR ONLINE CONFIGURATION ALLOWED.
- PRIOR TO PLACEMENT OF IMPERMEABLE LINER, THE SUBGRADE SHALL BE PREPARED AND CONTOURED AS NECESSARY TO PROVIDE A SMOOTH SURFACE. VOID OF SHARP ROCK/CORNERS. NO VOID SPACES SHALL BE PRESENT BETWEEN THE LINER AND THE SUBGRADE. GEOTEXTILE FABRIC MAY BE INSTALLED BETWEEN THE SUBGRADE AND THE LINER TO PROTECT THE LINER FROM SHARP AGGREGATE PRESENT IN THE SUBGRADE. ENGINEER SHALL INSPECT/APPROVE THE PREPARED BASIN SUBGRADE PRIOR TO THE INSTALLATION OF ANY OVERLYING GEOTEXTILE MATERIAL. SEE BIORETENTION SPECIFICATION.

PLAN - OFFLINE CONFIGURATION 1

PLAN - ONLINE CONFIGURATION 2

NOT FOR CONSTRUCTION - REFER TO USER GUIDE

GREEN INFRASTRUCTURE TYPICAL DETAILS
 SAN FRANCISCO PUBLIC UTILITIES COMMISSION
 BIORETENTION PLANTER ROADSIDE PLANTER WITHOUT PARKING PLAN
 BP 3.1

CONSTRUCTION NOTES:

- AVOID COMPACTION OF EXISTING SUBGRADE BELOW PLANTER DURING CONSTRUCTION.
- SCARIFY SUBGRADE TO A DEPTH OF 3 INCHES (MIN) IMMEDIATELY PRIOR TO PLACEMENT OF AGGREGATE STORAGE AND BIORETENTION SOIL MATERIAL.
- MAXIMUM DROP FROM TOP OF CURB/WALL TO TOP OF BIORETENTION SOIL SHALL INCLUDE CONSIDERATIONS FOR BIORETENTION SOIL SETTLEMENT, 30" DROP REQUIRES GUARD RAIL.
- SLOPE OF PLANTER WALL TO MATCH LONGITUDINAL SLOPE OF ADJACENT SURFACES.
- SEE BC 3.4 FOR ONLINE CONFIGURATIONS WITH OVERFLOW STRUCTURE.
- MAXIMUM DROP FROM TOP OF WALKING SURFACE TO TOP OF MULCH SHALL INCLUDE CONSIDERATIONS FOR SOIL SETTLEMENT.

NOT FOR CONSTRUCTION - REFER TO USER GUIDE

GREEN INFRASTRUCTURE TYPICAL DETAILS
 SAN FRANCISCO PUBLIC UTILITIES COMMISSION
 BIORETENTION PLANTER ROADSIDE PLANTER WITHOUT PARKING SECTIONS
 BP 3.2

CONSTRUCTION NOTES:

- ALL MATERIAL AND WORKMANSHIP FOR CURB CUTS SHALL CONFORM TO SAN FRANCISCO STANDARD SPECIFICATIONS AND APPLICABLE CODES PER SAN FRANCISCO DBI AND PUBLIC WORKS.
- BOND NEW CURB AND GUTTER TO EXISTING CURB AND GUTTER WITH EPOXY AND DOWEL CONNECTION.
- INLET CURB CUT WIDTH SHALL BE 18" ON GUTTER SLOPES ≥ 5%.
- MODIFIED FLOW LINE (MFL) TO BE 2" BELOW CONNECLOSURE UNMODIFIED FLOWLINE (FL).

NOT FOR CONSTRUCTION - REFER TO USER GUIDE

GREEN INFRASTRUCTURE TYPICAL DETAILS
 SAN FRANCISCO PUBLIC UTILITIES COMMISSION
 BIORETENTION COMPONENTS INLETS CURB CUT WITH GUTTER MODIFICATION
 BC 2.2

CONSTRUCTION NOTES:

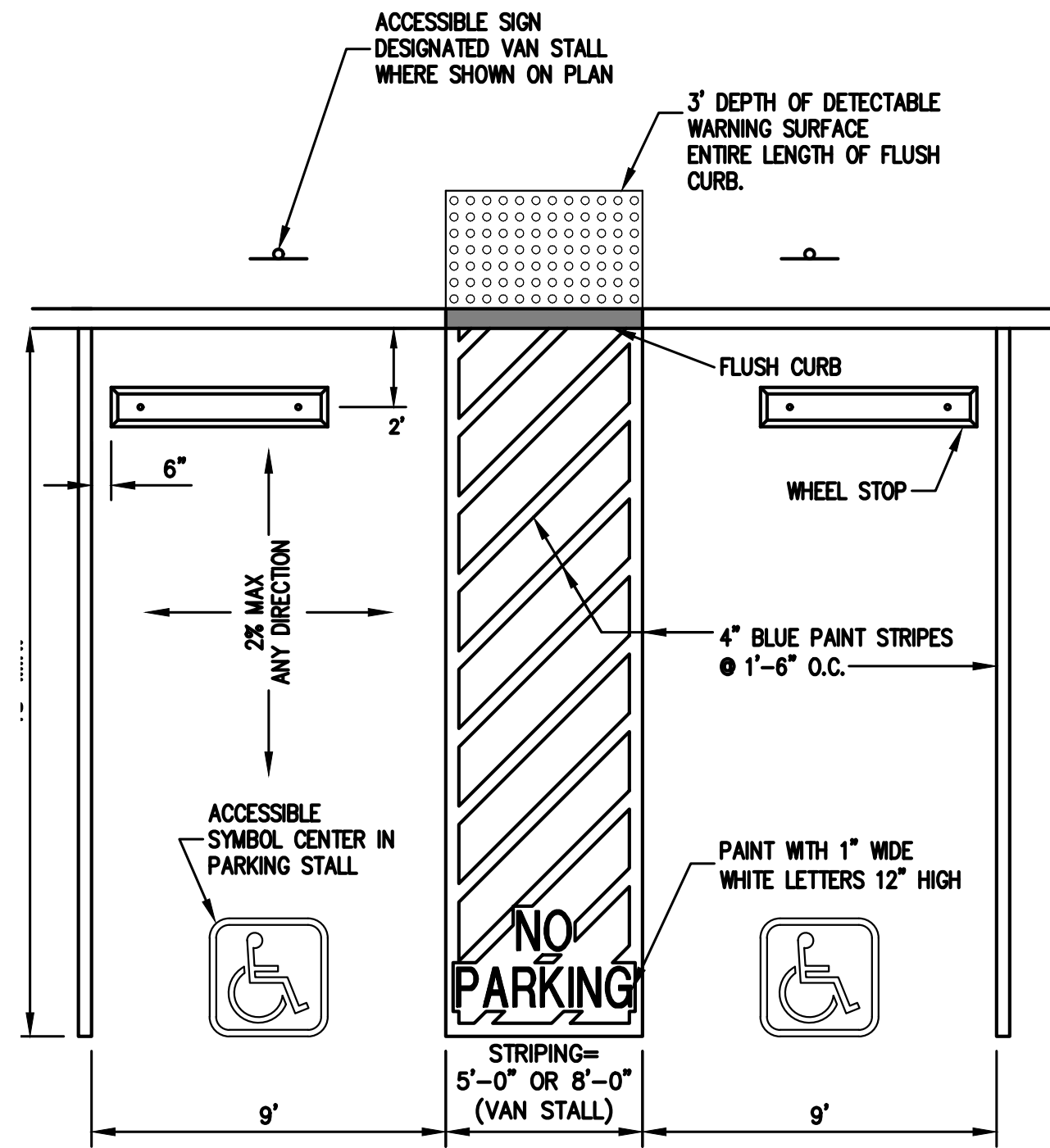
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- BOND NEW CURB AND GUTTER TO EXISTING CURB AND GUTTER WITH EPOXY AND DOWEL CONNECTION.
- MATCH GUTTER SLOPE UP AND DOWNSLOPE OF CURB CUT SLOPE SIMILAR TO INLET DETAIL UNLESS MODIFYING GUTTER.
- OUTLET CURB CUT WIDTH SHALL BE 18" ON GUTTER SLOPES ≥ 5%.

NOT FOR CONSTRUCTION - REFER TO USER GUIDE

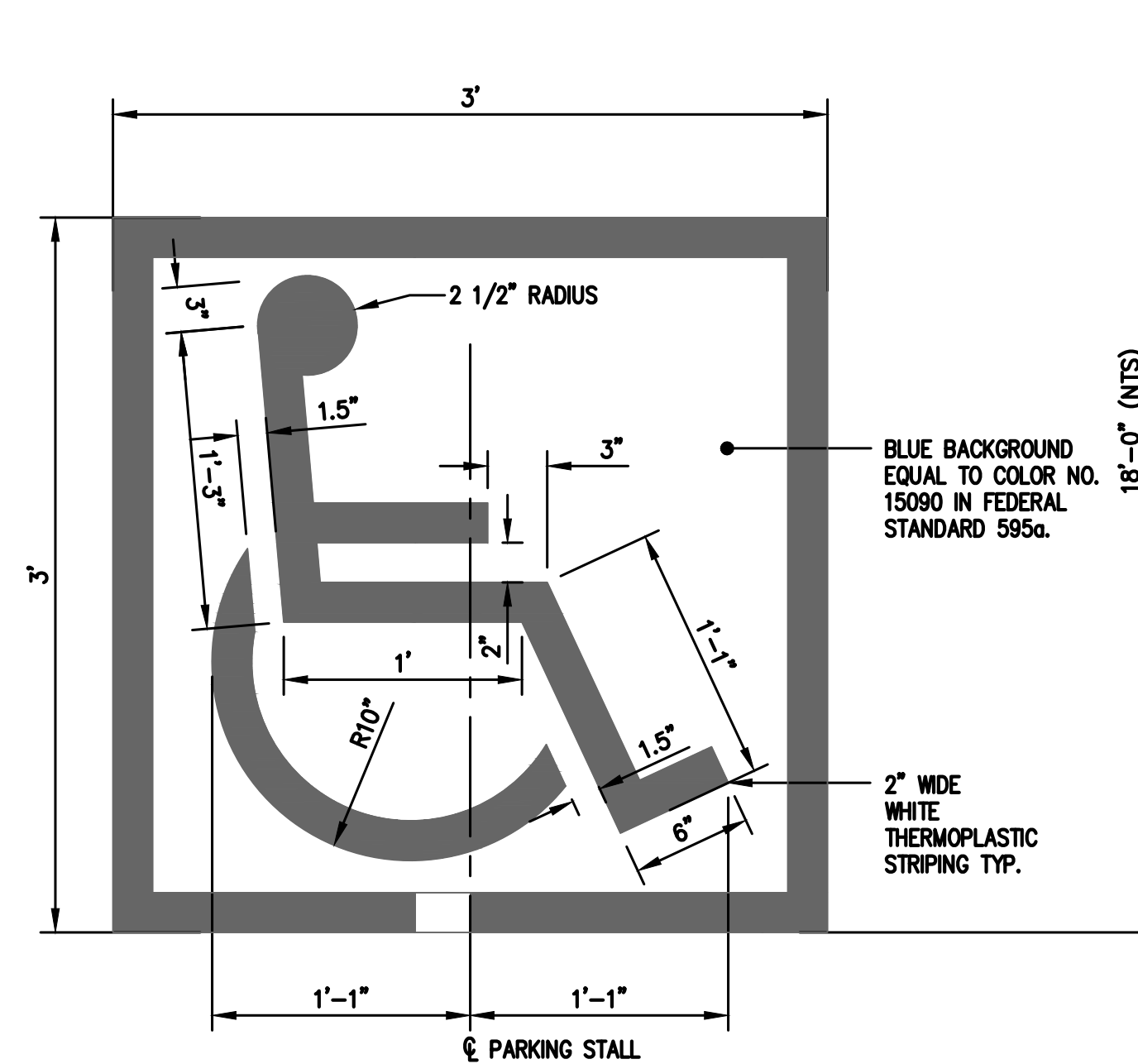
GREEN INFRASTRUCTURE TYPICAL DETAILS
 SAN FRANCISCO PUBLIC UTILITIES COMMISSION
 BIORETENTION COMPONENTS OUTLETS CURB CUT
 BC 3.2

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7	COMP REVIEW	03-21-24	VA
6	C3 PLN CHK	10-17-23	VA
5	C3 PLN CHK	10-04-23	VA
	REVISIONS		BY

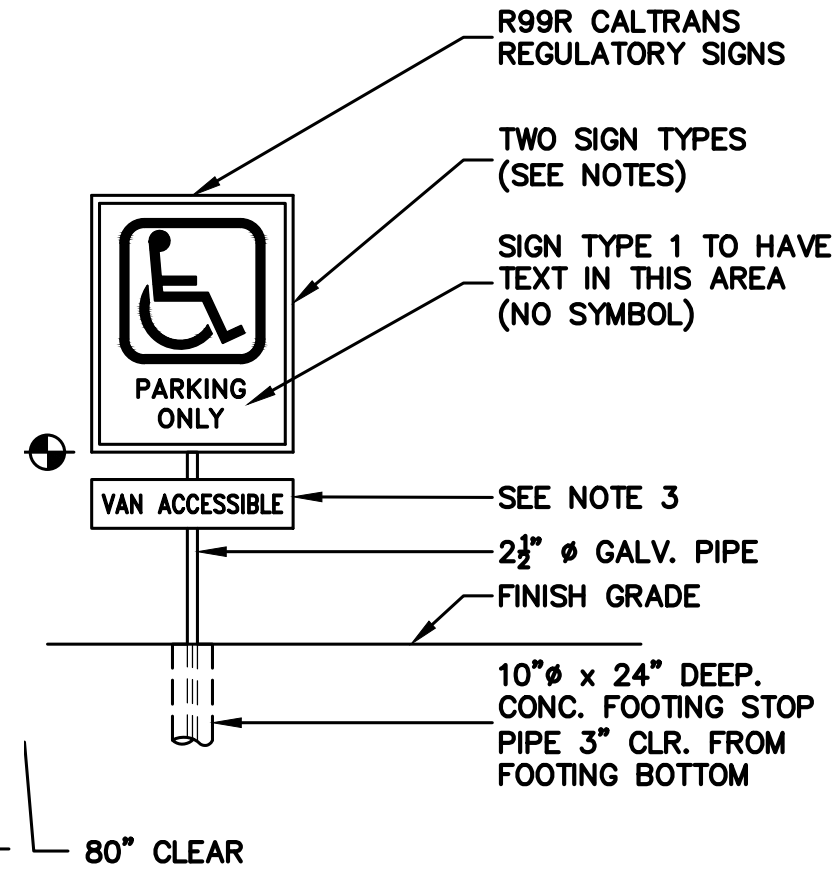
JOB NO: 2220759
 DATE: 11-18-22
 SCALE: AS NOTED
 DESIGN BY: VA
 CHECKED BY: JH/PC
 SHEET NO:



1 ACCESSIBLE STALL
C-6.0 NTS



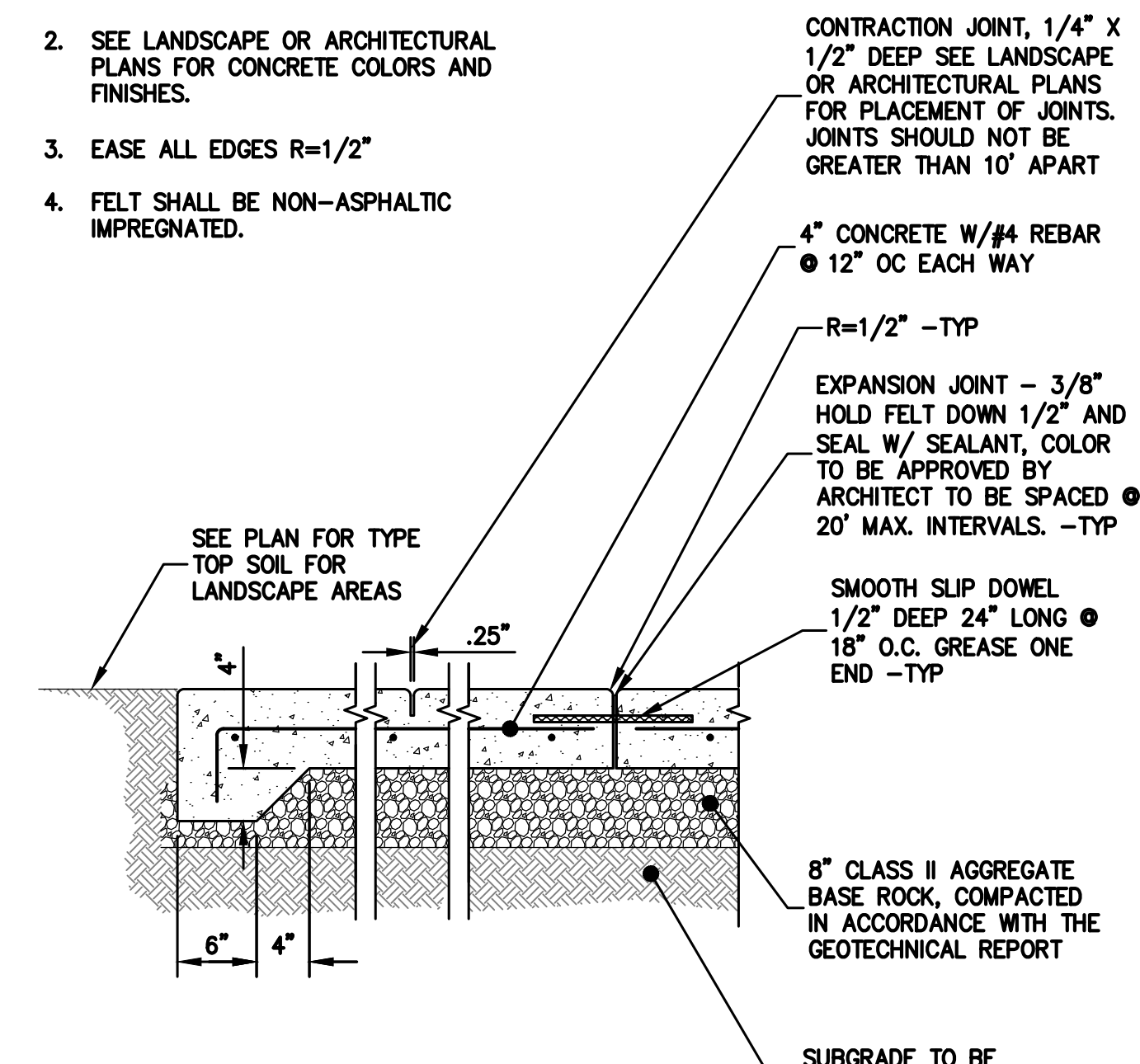
2 ACCESSIBLE PARKING SYMBOLS
C-6.0 NTS



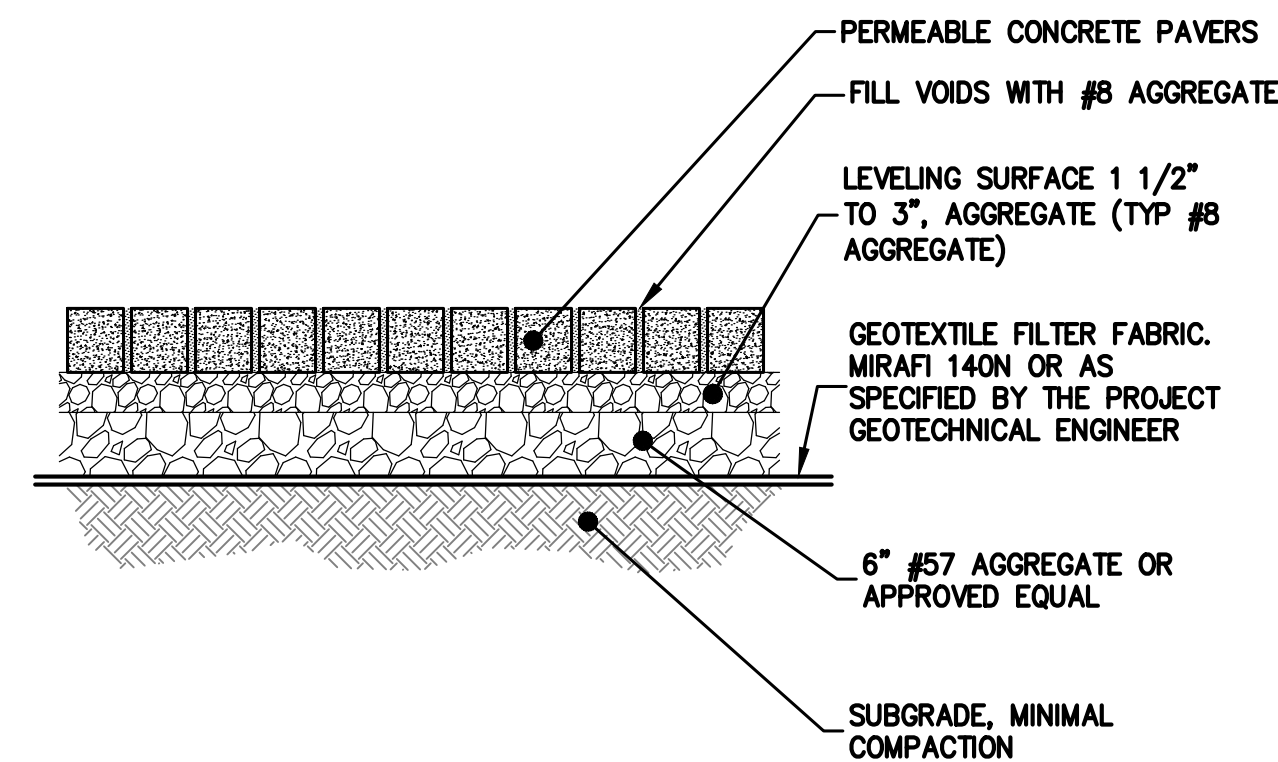
3 ACCESSIBLE PARKING SIGNAGE
C-6.0 NTS

NOTES:

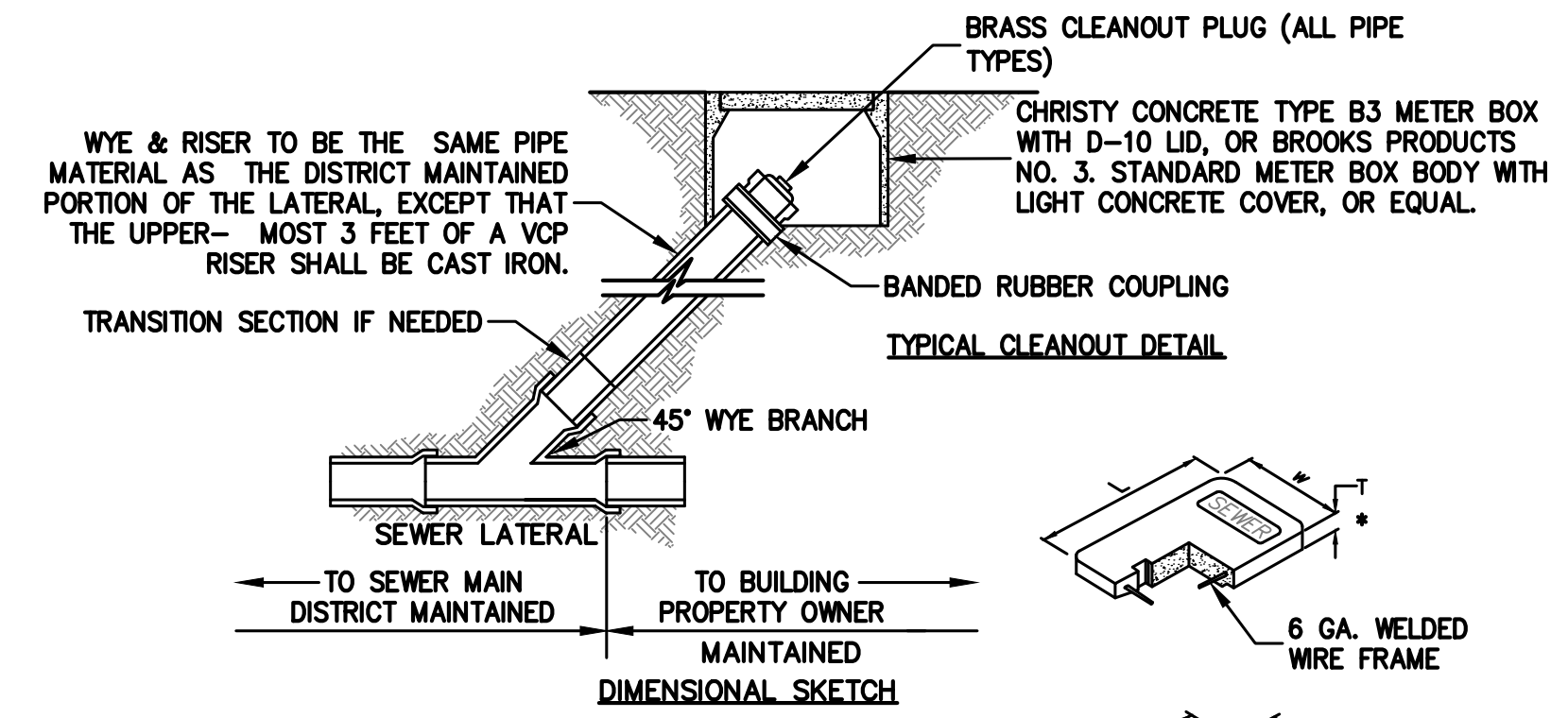
- SLOPE ALL CONCRETE TO DRAIN 1% MIN.
- SEE LANDSCAPE OR ARCHITECTURAL PLANS FOR CONCRETE COLORS AND FINISHES.
- EASE ALL EDGES R=1/2"
- FELT SHALL BE NON-ASPHALTIC IMPREGNATED.



4 CONCRETE PAVING
C-6.0 NTS



5 PERMEABLE PAVERS
C-6.0 NTS



LID DIMENSIONS

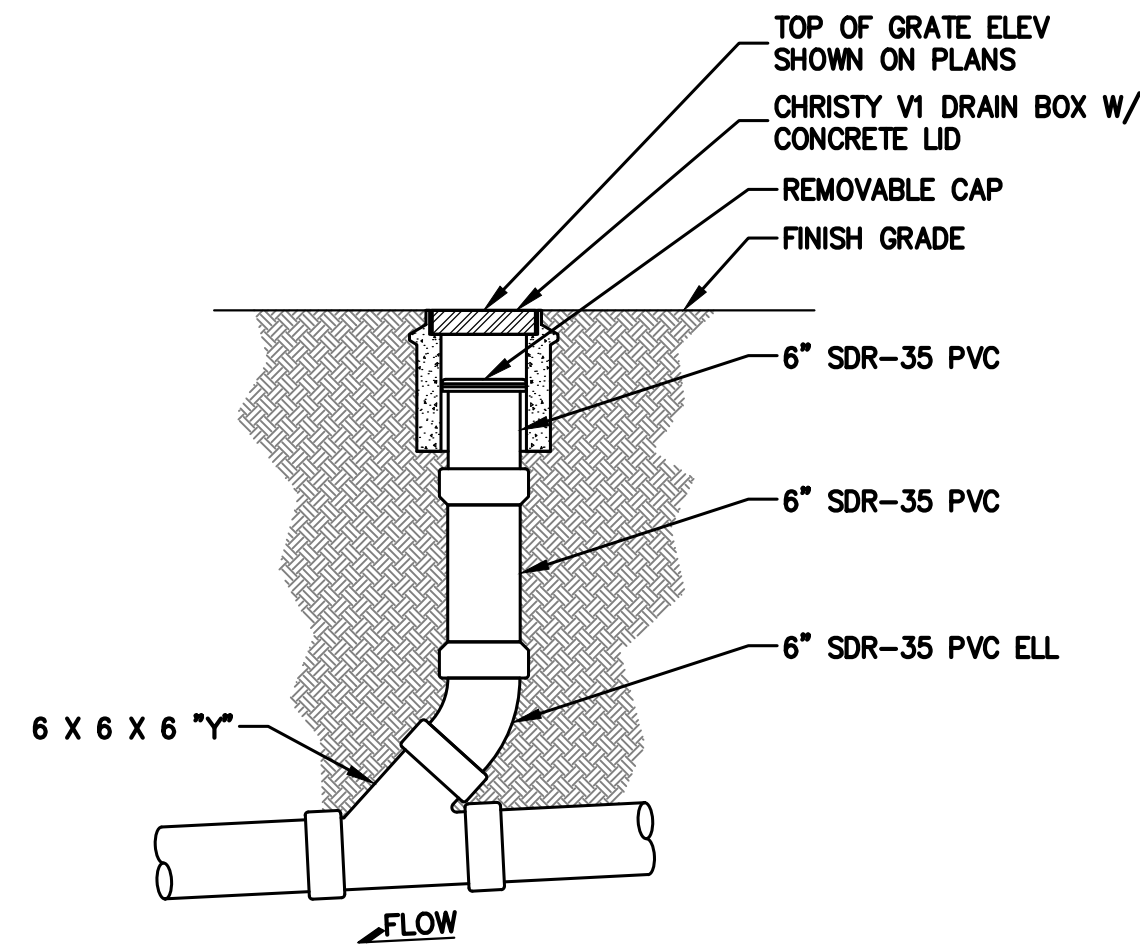
	L	W	T	WT
CHRISTY D-10	14 1/2"	8 11/16"	11/16"	7 LB
BROOKS #3 NS	14 1/2"	8 3/4"	1"	13 LB

* PROVIDE STEEL TRAFFIC COVER FOR BOX WHEN INSTALLED IN LOCATION SUBJECT TO VEHICULAR LOADING

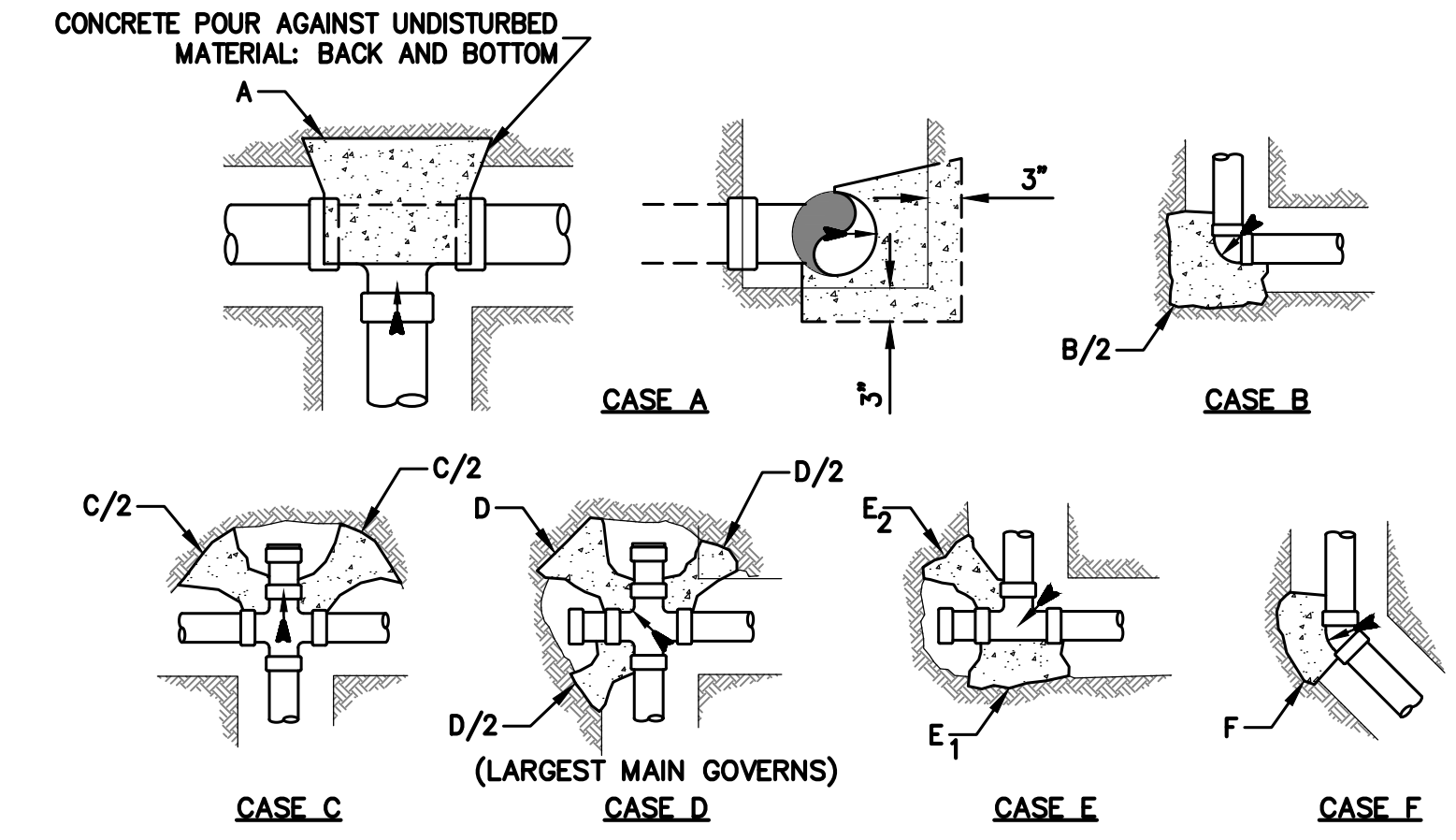
BOX DIMENSIONS

	A	B	C	D	E	F	G	H	I	APPROX WT. LBS.
CHRISTY B3	19"	14 13/16"	16 1/4"	13 1/4"	9"	9 7/8"	1"	12"	10 15/16"	59
BROOKS #3	19 1/8"	13 1/2"	16"	13 1/4"	7 5/8"	9 1/2"	1"	11"	N.A.	68

7 TYPICAL SEWER CLEANOUT BOX
C-6.0 NTS



8 ON-SITE CLEANOUT
C-6.0 NTS



NOTES:

- CASE "A" IS TYPICAL FOR ALL.
- ALL BLOCKS TO BE KEPT CLEAR OF LUGS.
- UNSUPPORTED SURFACES TO BE FORMED.
- ARROWS ON CASE "A", "C" & "E" INDICATE MAINS WHICH DETERMINE BEARING AREA.
- BASED ON 150 PSI PRESSURE, 1,000 PSF SOIL BEARING.
- CONCRETE SHALL BE CLASS B PER STANDARD SPECIFICATIONS.

REQUIRED BEARING AREAS-SQ.FT.

	A	B	C	D	E ₁	E ₂	F
4"	2	3	3	3	2	3	2
6"	5	6	7	7	5	7	4
8"	8	12	11	11	8	11	6
10"	12	18	17	17	12	17	8
12"	17	24	24	24	17	24	12

9 THRUST BLOCK DETAIL
C-6.0 NTS



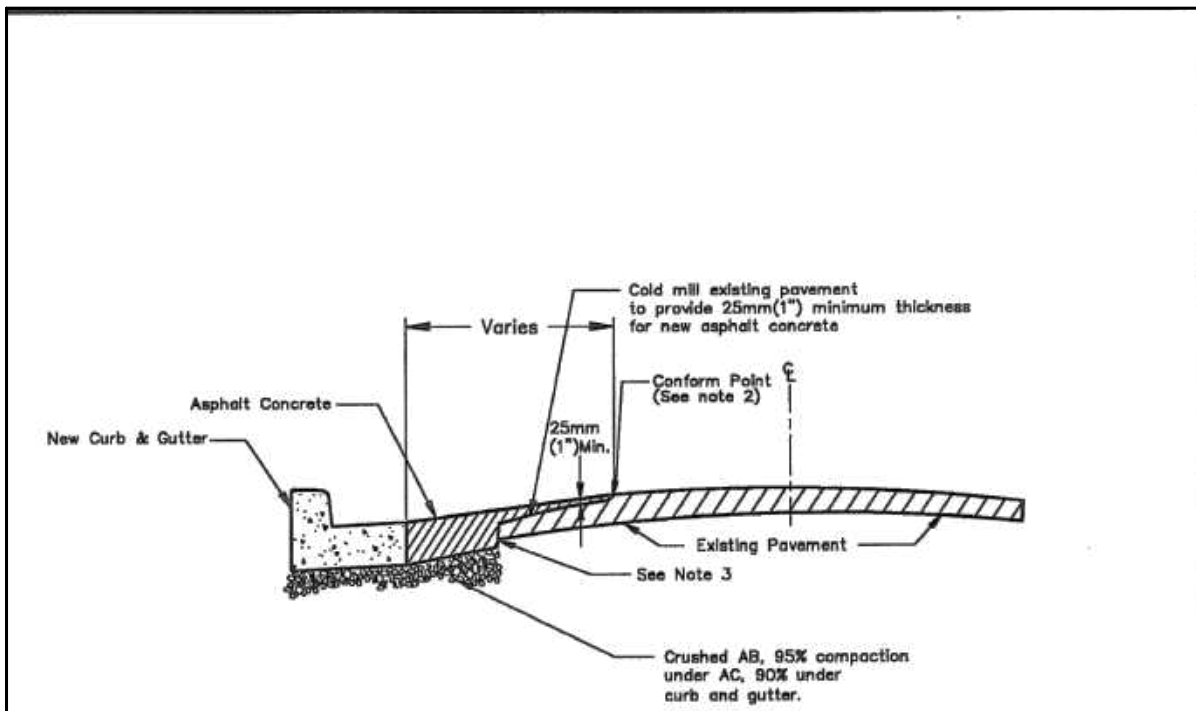
LEA & BRAZE ENGINEERING, INC.
CIVIL ENGINEERS & LAND SURVEYORS
REGIONAL OFFICES:
DUBLIN, CA
DUBLIN, CA
HAYWARD, CA
SAN JOSE, CA
WWW.LEABRAZE.COM
APN: 055-170-240

3705 HAVEN AVENUE
MENLO PARK, CALIFORNIA

DETAILS

NO.	REVISIONS	BY
9	COMP REVIEW 07-16-24	VA
8	COMP REVIEW 05-31-24	VA
7	COMP REVIEW 03-21-24	VA
6	C3 PLN CHK 10-17-23	VA
5	C3 PLN CHK 10-04-23	VA

JOB NO: 2220759
DATE: 11-18-22
SCALE: NTS
DESIGN BY: VA
CHECKED BY: JH/PC
SHEET NO:



- NOTES:**
1. Tie-in pavement section shall be approved by the City Engineer.
 2. Conform point shall be determined by the City Engineer and may occur anywhere between the edge of pavement and the centerline.
 3. Tie-in asphalt concrete shall extend to at least the bottom of existing asphalt concrete unless otherwise approved by the City Engineer.
 4. Cross section slopes shall be per plans and specifications.
 5. AC mix shall be per plans and specifications.

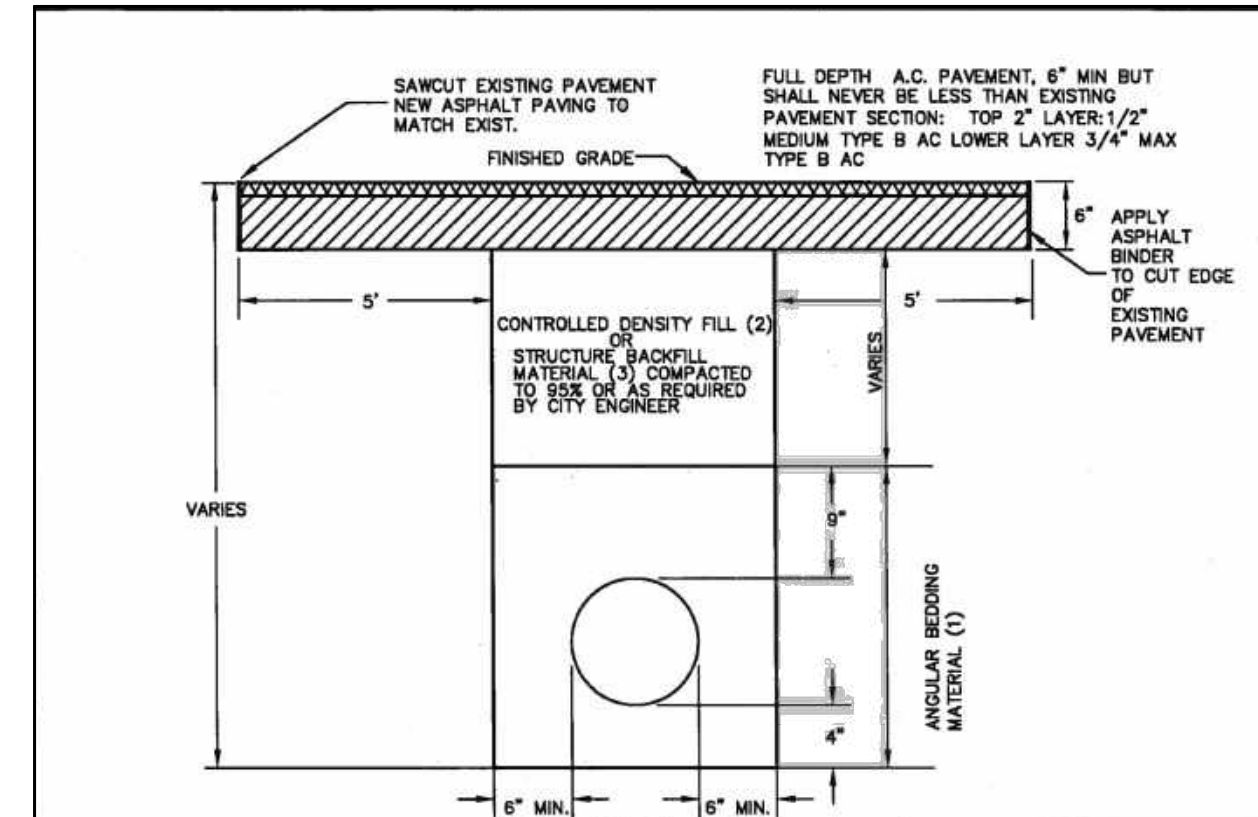
All units are in metric
Non-metric units in brackets

CITY OF MENLO PARK STANDARD DETAILS

NO. REVISIONS DATE APPROVED

PAVEMENT TIE-IN

DRAWN: [Signature] CHECKED: [Signature] DATE: 1-1-97 SCALE: NTS SHEET: 1 OF 1 STD. DETAIL No.: ST-1



- NOTES:**
1. THE DESIGN MIX FOR ANGLAR BEDDING MATERIAL SHALL MEET THE FOLLOWING REQUIREMENTS:

SEIVE SIZE	% PASSING SEIVE
1"	100
3/4"	90-100
3/8"	20-55
#4	0-10
#8	0-5
 2. THE DESIGN FOR CDF SHALL MEET THE FOLLOWING REQUIREMENTS:

FLY ASH CLASS	CEMENT	FINE AGGREGATE	WATER	STRENGTH @28 DAY
NO. 1	50-100 LB/CU.YD	2800-3100LB/CU.YD	325-580 LB/CU.YD	30-100 PSI
 3. STRUCTURE BACKFILL MATERIAL: MATERIAL WITH SAND EQUIVALENT NOT LESS THAN 20 AND SIEVE GRADATION BY WEIGHT AS FOLLOWS:

SEIVE SIZE	% PASSING SEIVE
NO. 4	100
NO. 10	100
NO. 20	100
 4. BACKFILL MATERIAL FOR LANDSCAPED AREAS: MATERIAL FROM EXCAVATION FREE FROM STONES OR LUMPS EXCEEDING 3", ORGANIC MATTER OR OTHER UNSATISFACTORY MATERIAL.
 5. CONTRACTOR OR UTILITY OWNER TO PAY FOR ALL REQUIRED COMPACTION TESTS.
 6. FOR ALL TRENCHING IN THE STREET RIGHT OF WAY, THE CONTRACTOR SHALL PLACE SLURRY SEAL TO CONFORM TO CITY STANDARD ST-16.
 7. FINISHED GRADE TO MATCH EXISTING.
 8. SAND MATERIAL FREE FROM ORGANIC MATTER AND CLAY WITH A SIEVE GRADATION BY WEIGHT AS FOLLOWS:

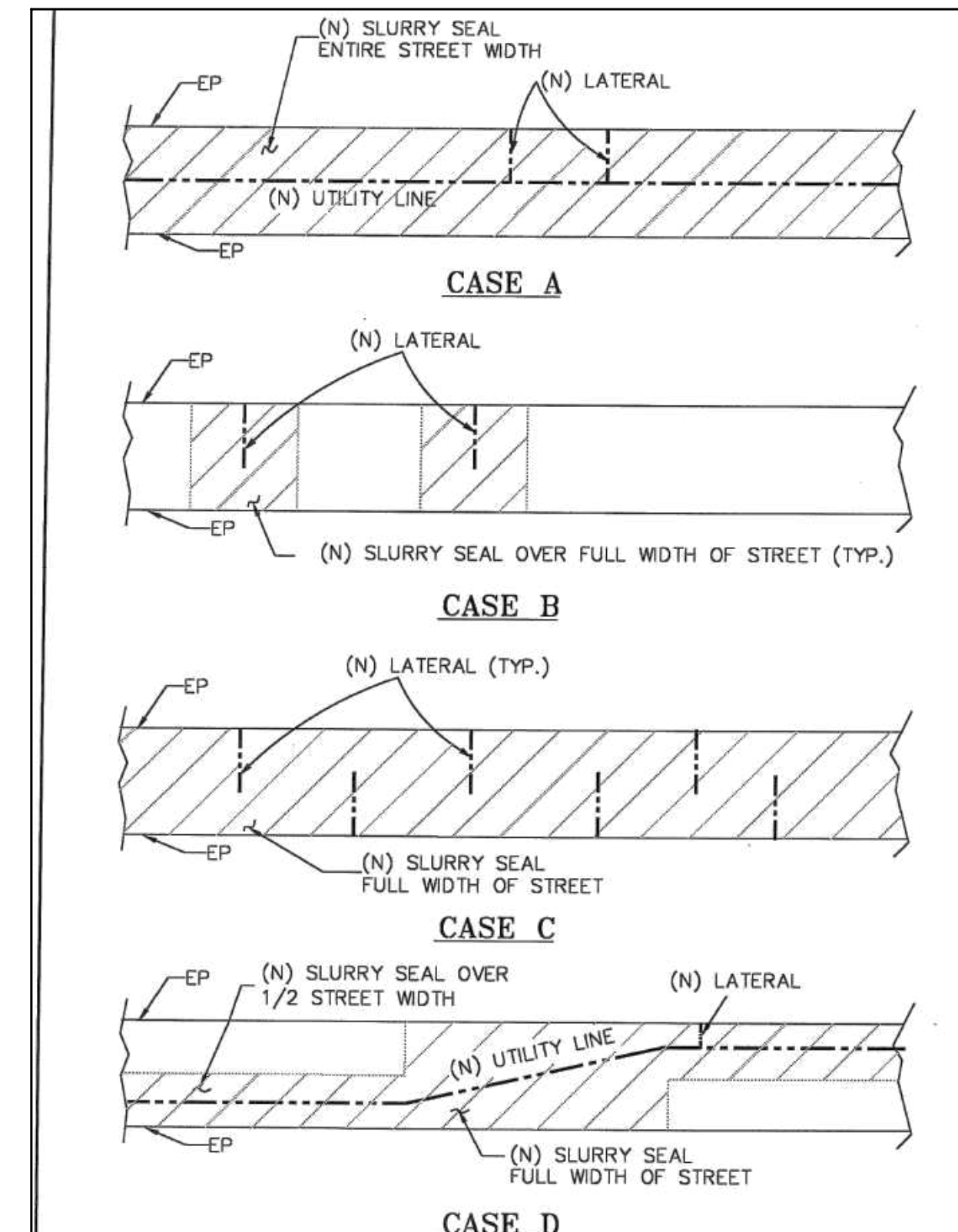
SEIVE SIZE	% PASSING SEIVE
NO. 4	100
NO. 10	100
NO. 20	100
 9. OUT EDGE OF EXISTING PAVEMENT SHALL NOT BE WITHIN THE WHEELTRACK. SEE ST-89 FOR WHEEL TRACK DIAGRAM.

CITY OF MENLO PARK STANDARD DETAILS

NO. REVISIONS DATE APPROVED

UTILITY TRENCH

DRAWN: [Signature] CHECKED: [Signature] DATE: 5/21/12 SCALE: NTS SHEET: 1 OF 1 STD. DETAIL No.: ST-8A



CITY OF MENLO PARK STANDARD DETAILS

NO. REVISIONS DATE APPROVED

STANDARDS FOR TRENCH CONSTRUCTION SEAL COAT

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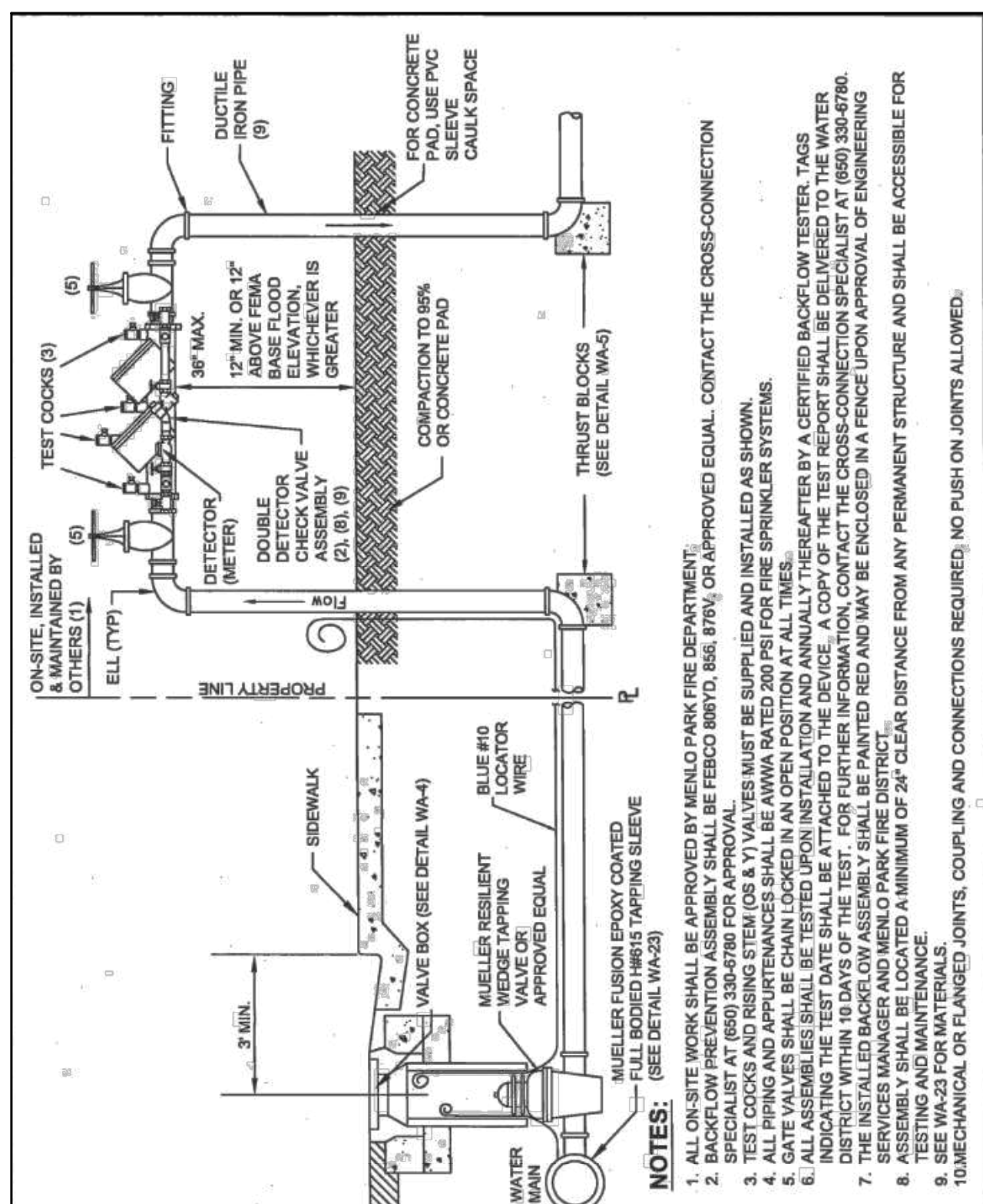
- STANDARDS FOR SYSTEM AND ALL SERVICE CONNECTIONS:**
1. NO DIRECT TAP. SERVICE CONNECTION SHALL BE WET TAP ONLY USING DOUBLE STRAPPED BRONZE SADDLE; WORK TO BE PERFORMED BY CONTRACTOR PRE-APPROVED BY THE CITY.
 2. FOR 3/4" AND 1" SERVICES, POLYETHYLENE TUBING (PE 3406) WITH MUELLER INSTA-TITE FITTINGS IS ALLOWED. SEE WA-17.
 3. FOR 3/4" TO 2" SERVICES, TYPE "K" SOFT COPPER TUBING (ASTM B-88-82) IS REQUIRED WITH FLARED OR PACKED JOINT COUPLING OR FLANGED COMPRESSION FITTINGS (NO SOLDERED JOINTS ARE ALLOWED).
 4. FOR 3" AND 4" SERVICES, USE C-900 PIPE WITH MEGALUG MECHANICAL JOINTS (SEE ITEM 8 BELOW) OR DUCTILE IRON PIPE WITH MECHANICAL OR FLANGED JOINTS. NO PUSH ON JOINTS ALLOWED. SEE WA-22.
 5. FOR FIRE SERVICE AND HYDRANT CONNECTIONS, CONTACT MENLO PARK FIRE PROTECTION DISTRICT FOR UNDERGROUND STANDARDS AND APPROVAL OF ONSITE DESIGN. SEE WA-6.
 6. RESURFACING AND BACKFILL IN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF MENLO PARK STANDARD DETAILS ST-8A, ST-8B, AND ST-16 OR AS DIRECTED BY ENGINEERING SERVICE MANAGER.
 7. USE FUSION EPOXY COATED (EXTERIOR AND INTERIOR) MUELLER FULL BODIED TAPPING SLEEVE #H-515. USE STAINLESS STEEL BOLTS, TRIM, AND SLEEVES. FOR AC PIPES USE STAINLESS STEEL SLEEVES.
 8. ALL BURIED FERROUS (IRON) FITTINGS AND VALVES SHALL BE FUSION EPOXY COATED (EXTERIOR AND INTERIOR) AND WRAPPED WITH SINGLE LAYER OF 8 MIL POLYETHYLENE COVERING, WITH ENDS TAPED.
 9. JOINTS SHALL BE MECHANICAL, FLANGED OR FLEX (NO PUSH ON JOINTS ALLOWED), JOINTS SHALL BE FUSION EPOXY COATED (EXTERIOR AND INTERIOR).
 10. 2" NUT MUELLER A-2360 RESILIENT WEDGE GATE VALVES SHALL BE FUSION EPOXY COATED (EXTERIOR AND INTERIOR).
- SPECIFIC STANDARDS FOR AREAS NORTH AND EAST (BAY SIDE) OF HIGHWAY 101 (CORROSIVE SOIL CONDITIONS):**
11. USE # 316 STAINLESS STEEL BOLTS, TRIM, AND SLEEVES, BOTH ABOVE AND BELOW GRADE.
 12. USE C-900, OR APPROVED EQUAL PVC (POLYVINYL CHLORIDE) PIPE, WITH #8 BLUE LOCATOR WIRE, SINGLE LENGTH WITH INSULATION INTACT.
- SPECIFIC STANDARDS FOR AREAS SOUTH AND WEST (UP-HILL SIDE) OF HIGHWAY 101:**
13. USE #304 STAINLESS STEEL BOLTS, TRIM, AND SLEEVES BOTH ABOVE AND BELOW GRADE.
 14. USE DUCTILE IRON PIPE, WITH SINGLE LAYER OF 8 MIL POLYETHYLENE COVERING. (SEE CALIFORNIA CODE OF REGULATIONS, TITLE 22, § 64622 FOR MATERIAL STANDARDS).
 15. MASTIC COATING WITH DOUBLE WRAPPED 8 MIL POLYETHYLENE COVERING MAY BE USED UPON APPROVAL OF ENGINEERING SERVICE MANAGER.

CITY OF MENLO PARK STANDARD DETAILS

NO. REVISIONS DATE APPROVED

WATER SERVICE AND SYSTEM STANDARDS

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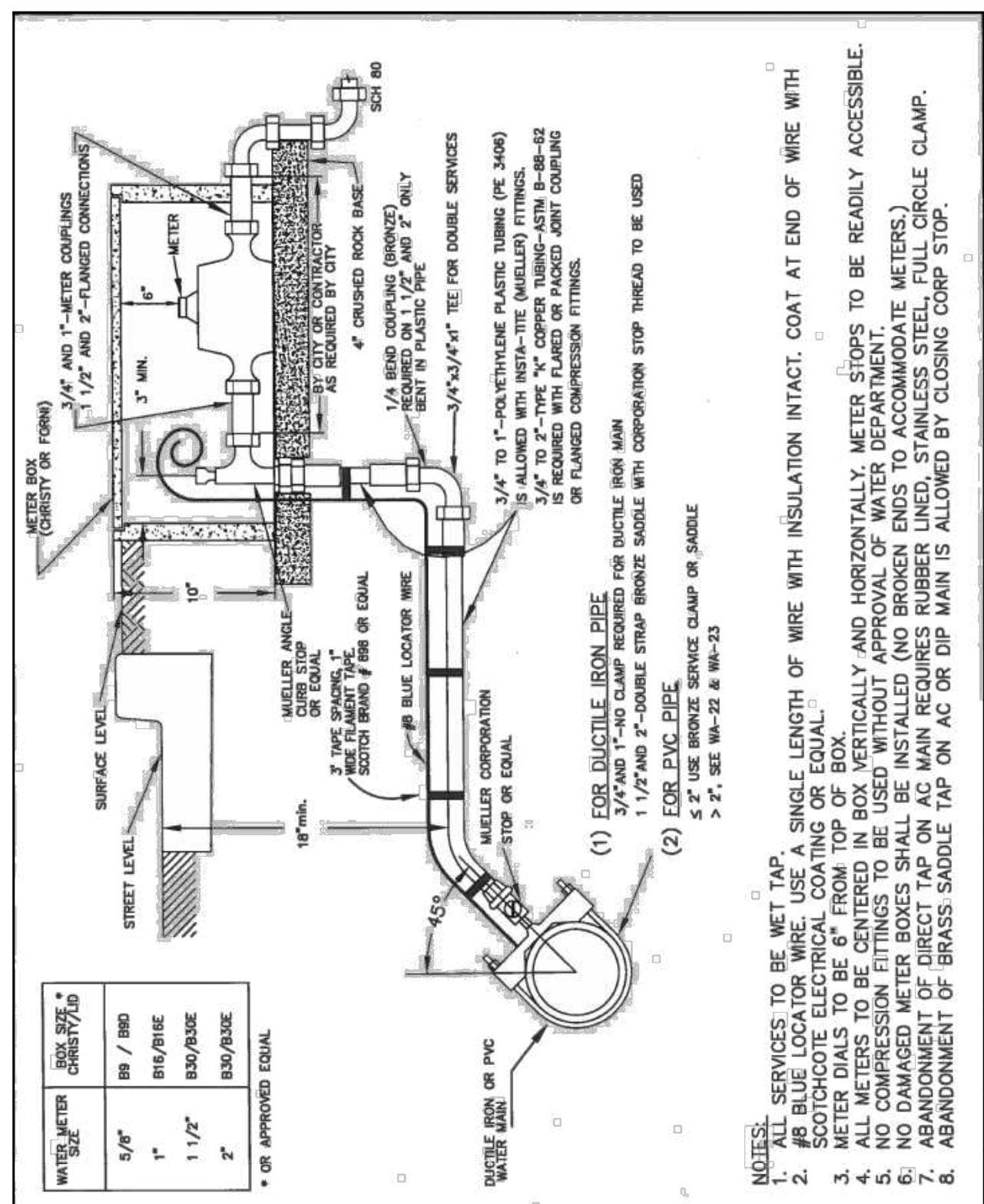


CITY OF MENLO PARK STANDARD DETAILS

NO. REVISIONS DATE APPROVED

BACKFLOW PREVENTION INSTALLATION FOR ON-SITE FIRE SERVICE

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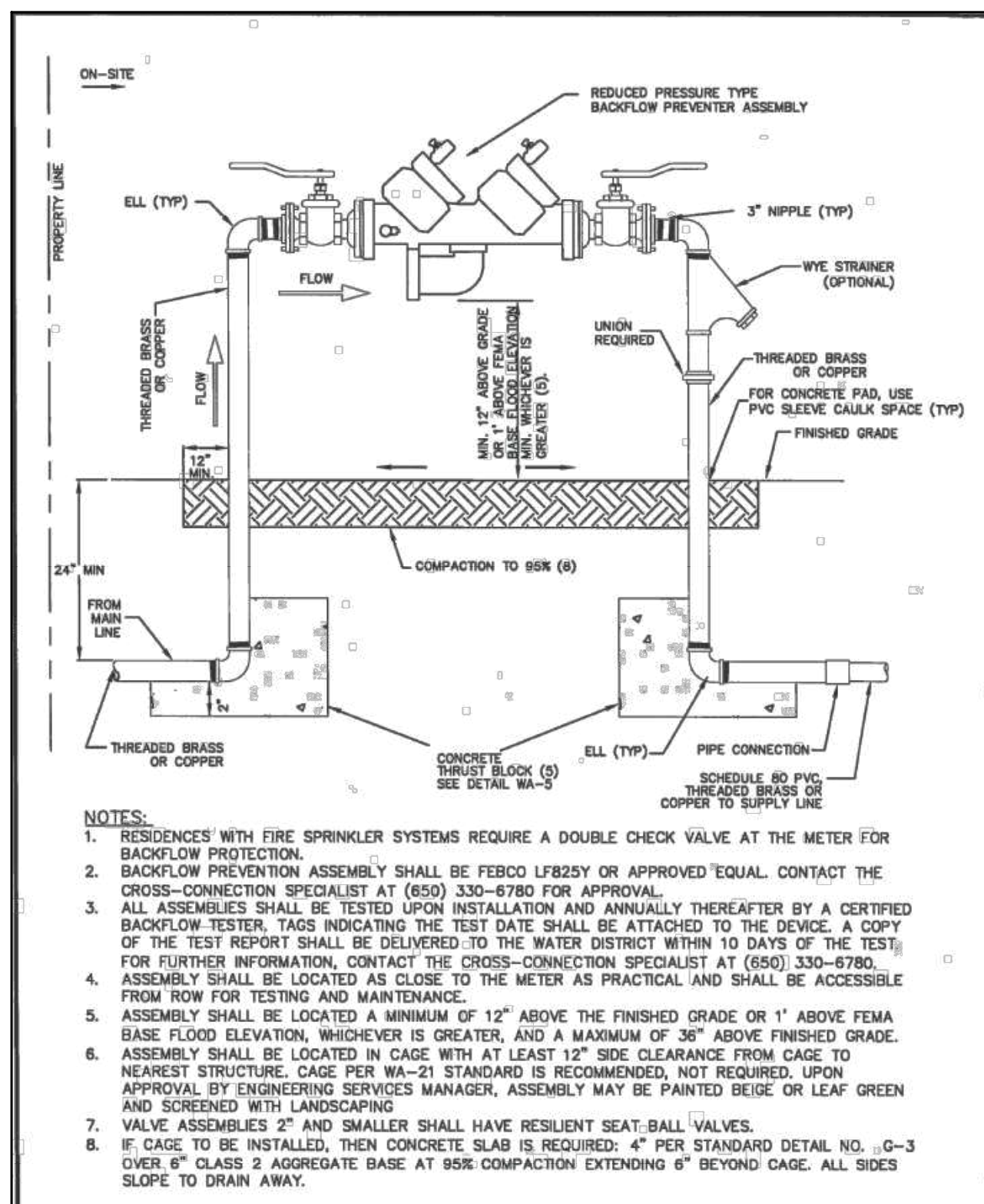


CITY OF MENLO PARK STANDARD DETAILS

NO. REVISIONS DATE APPROVED

1", 1 1/2", AND 2" STANDARD WATER SERVICE

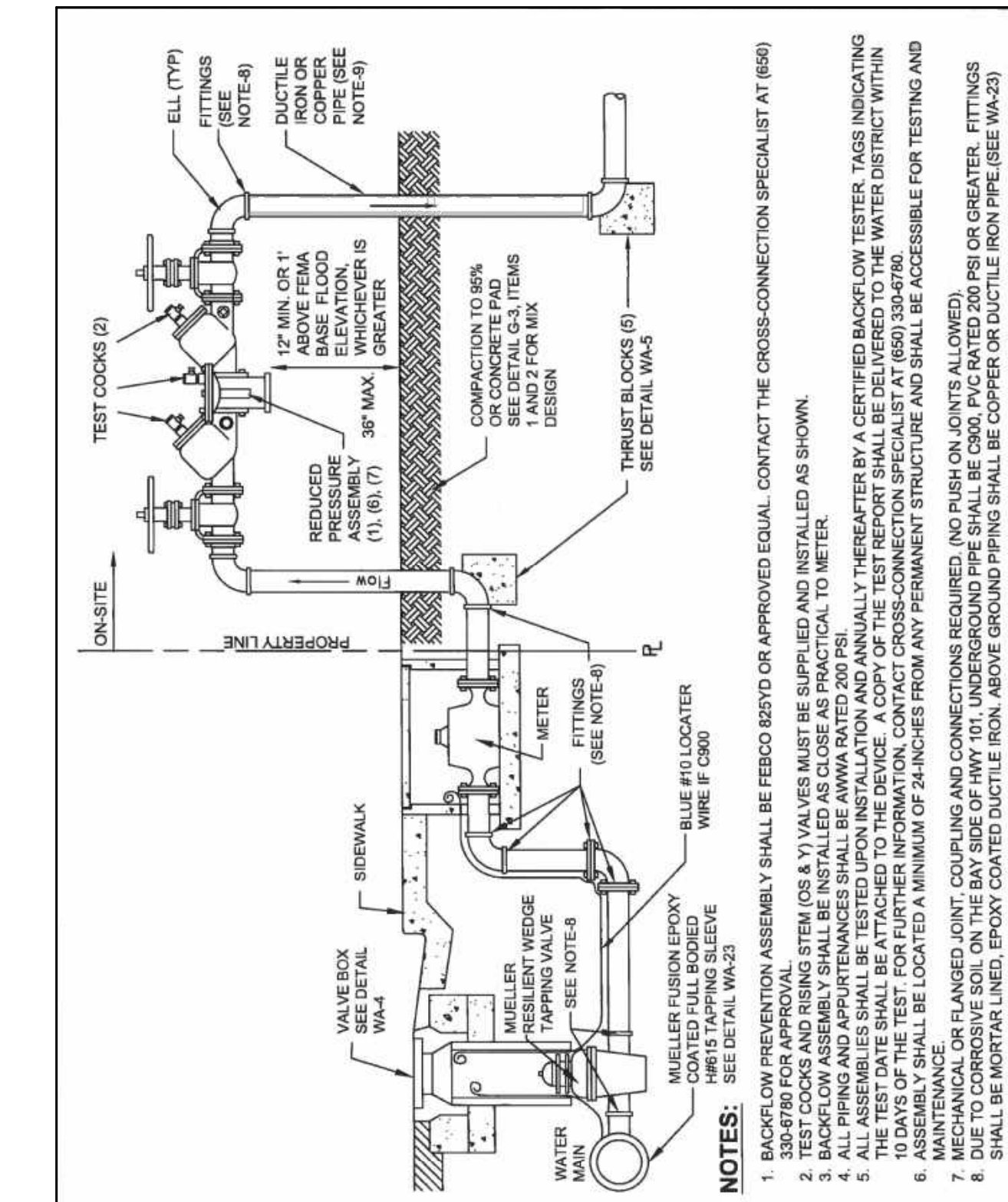
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CITY OF MENLO PARK STANDARD DETAILS

NO. REVISIONS DATE APPROVED

BACKFLOW PREVENTION ASSEMBLY INSTALLATION AT THE METER FOR 2\"/>



CITY OF MENLO PARK STANDARD DETAILS

NO. REVISIONS DATE APPROVED

2\"/>



LEA & BRAZE ENGINEERING, INC.
 CIVIL ENGINEERS & LAND SURVEYORS
 REGIONAL OFFICES:
 DUBLIN OFFICE: 1800 RAVENWOOD DRIVE, DUBLIN, CA 94568
 HAYWARD OFFICE: 15000 CALIFORNIA AVE, HAYWARD, CA 94545
 SAN JOSE OFFICE: 1000 S. BASCOM AVE., SAN JOSE, CA 95128
 (510) 887-4066
 WWW.LEA-BRAZE.COM

3705 HAVEN AVENUE
MENLO PARK, CALIFORNIA
 APN: 055-170-240
 SAN MATEO COUNTY

CITY DETAILS

NO.	REVISIONS	BY
9	07-16-24	VA
8	05-31-24	VA
7	03-21-24	VA
6	10-17-23	VA
5	10-04-23	VA

REVISIONS BY

JOB NO: 2220759
 DATE: 11-18-22
 SCALE: NTS
 DESIGN BY: VA
 CHECKED BY: JH/PC
 SHEET NO:

PURPOSE:

THE PURPOSE OF THIS PLAN IS TO STABILIZE THE SITE TO PREVENT EROSION OF GRADED AREAS AND TO PREVENT SEDIMENTATION FROM LEAVING THE CONSTRUCTION AREA AND AFFECTING NEIGHBORING SITES, NATURAL AREAS, PUBLIC FACILITIES OR ANY OTHER AREA THAT MIGHT BE AFFECTED BY SEDIMENTATION. ALL MEASURES SHOWN ON THIS PLAN SHOULD BE CONSIDERED THE MINIMUM REQUIREMENTS NECESSARY. SHOULD FIELD CONDITIONS DICTATE ADDITIONAL MEASURES, SUCH MEASURES SHALL BE PER CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL AND THE CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION. LEA & BRAZE ENGINEERING SHOULD BE NOTIFIED IMMEDIATELY SHOULD CONDITIONS CHANGE.

EROSION CONTROL NOTES:

- IT SHALL BE THE OWNER'S/CONTRACTOR'S RESPONSIBILITY TO MAINTAIN CONTROL OF THE ENTIRE CONSTRUCTION OPERATION AND TO KEEP THE ENTIRE SITE IN COMPLIANCE WITH THIS EROSION CONTROL PLAN.
- THE INTENTION OF THIS PLAN IS FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY. ALL EROSION CONTROL MEASURES SHALL CONFORM TO CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL, THE CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION, AND THE LOCAL GOVERNING AGENCY FOR THIS PROJECT.
- OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO, DURING, AND AFTER STORM EVENTS. PERSON IN CHARGE OF MAINTAINING EROSION CONTROL MEASURES SHOULD WATCH LOCAL WEATHER REPORTS AND ACT APPROPRIATELY TO MAKE SURE ALL NECESSARY MEASURES ARE IN PLACE.
- SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
- DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT-LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM, INCLUDING EXISTING DRAINAGE SWALES AND WATERCOURSES.
- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. COMPLIANCE WITH FEDERAL, STATE AND LOCAL LAWS CONCERNING POLLUTION SHALL BE MAINTAINED AT ALL TIMES.
- CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE AND LOCAL AGENCY REQUIREMENTS.
- ALL MATERIALS NECESSARY FOR THE APPROVED EROSION CONTROL MEASURES SHALL BE IN PLACE BY OCTOBER 15TH.
- EROSION CONTROL SYSTEMS SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE RAINY SEASON, OR FROM OCTOBER 15TH THROUGH APRIL 15TH, WHICHEVER IS LONGER.
- IN THE EVENT OF RAIN, ALL GRADING WORK IS TO CEASE IMMEDIATELY AND THE SITE IS TO BE SEALED IN ACCORDANCE WITH THE APPROVAL EROSION CONTROL MEASURES AND APPROVED EROSION CONTROL PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING AND REPAIRING EROSION CONTROL SYSTEMS AFTER EACH STORM.
- ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY LOCAL JURISDICTION'S ENGINEERING DEPARTMENT OR BUILDING OFFICIALS.
- MEASURES SHALL BE TAKEN TO COLLECT OR CLEAN ANY ACCUMULATION OR DEPOSIT OF DIRT, MUD, SAND, ROCKS, GRAVEL OR DEBRIS ON THE SURFACE OF ANY STREET, ALLEY OR PUBLIC PLACE OR IN ANY PUBLIC STORM DRAIN SYSTEMS. THE REMOVAL OF AFORESAID SHALL BE DONE BY STREET SWEEPING OR HAND SWEEPING. WATER SHALL NOT BE USED TO WASH SEDIMENTS INTO PUBLIC OR PRIVATE DRAINAGE FACILITIES.
- EROSION CONTROL MEASURES SHALL BE ON-SITE FROM SEPTEMBER 15TH THRU APRIL 15TH.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE RAINY SEASON OR FROM OCTOBER 15 THROUGH APRIL 15, WHICHEVER IS GREATER.
- PLANS SHALL BE DESIGNED TO MEET C3 REQUIREMENTS OF THE MUNICIPAL STORMWATER REGIONAL PERMIT("MRP") NPDES PERMIT CAS 612008.
- THE CONTRACTOR TO NPDES (NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM) BEST MANAGEMENT PRACTICES (BMP) FOR SEDIMENTATION PREVENTION AND EROSION CONTROL TO PREVENT DELETERIOUS MATERIALS OR POLLUTANTS FROM ENTERING THE TOWN OR COUNTY STORM DRAIN SYSTEMS.
- THE CONTRACTOR MUST INSTALL ALL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO THE INCEPTION OF ANY WORK ONSITE AND MAINTAIN THE MEASURES UNTIL THE COMPLETION OF ALL LANDSCAPING.
- THE CONTRACTOR SHALL MAINTAIN ADJACENT STREETS IN A NEAT, CLEAN DUST FREE AND SANITARY CONDITION AT ALL TIMES AND TO THE SATISFACTION OF THE TOWN INSPECTOR. THE ADJACENT STREET SHALL AT ALL TIMES BE KEPT CLEAN OF DEBRIS, WITH DUST AND OTHER NUISANCE BEING CONTROLLED AT ALL TIMES. THE CONTRACTOR BE RESPONSIBLE FOR ANY CLEAN UP ON ADJACENT STREETS AFFECTED BY THE BY THEIR CONSTRUCTION, METHOD OF STREET CLEANING SHALL BE BY DRY SWEEPING OF ALL PAVED AREAS. NO STOCKPILING OF BUILDING MATERIALS WITHIN THE TOWN RIGHT-OF-WAY.
- SEDIMENTS AND OTHER MATERIALS SHALL NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONTRACTOR SHALL INSTALL A STABILIZED CONSTRUCTION ENTRANCE PRIOR TO THE INSPECTION OF ANY WORK ONSITE AND MAINTAIN IT FOR THE DURATION OF THE CONSTRUCTION PROCESS SO AS TO NOT INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC RIGHT-OF-WAY UNTIL THE COMPLETION OF ALL LANDSCAPING.
- THE CONTRACTOR SHALL PROTECT DOWN SLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH ROCK FILLED SAND BAGS, TEMPORARY SWALES, SILT FENCES, AND EARTH PERMS IN CONJUNCTION OF ALL LANDSCAPING.
- STOCKPILED MATERIALS SHALL BE COVERED WITH VISQUEEN OR A TARPULIN UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKPILE HAS BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT IS SEEDED OR PLANTED TO PROVIDE GROUND COVER PRIOR TO THE FALL RAINY SEASON.
- EXCESS OR WASTE CONCRETE MUST NOT BE WASHED INTO THE PUBLIC RIGHT-OF-WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION AND DISPERSAL BY WIND

EROSION CONTROL NOTES CONTINUED:

- FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MUST NOT BE WASHED INTO THE DRAINAGE SYSTEM,
- DUST CONTROL SHALL BE DONE BY WATERING AND AS OFTEN AS REQUIRED BY THE TOWN INSPECTOR.
- SILT FENCE(S) AND/OR FIBER ROLL(S) SHALL BE INSTALLED PRIOR TO SEPTEMBER 15TH AND SHALL REMAIN IN PLACE UNTIL THE LANDSCAPING GROUND COVER IS INSTALLED. CONTRACTOR SHALL CONTINUOUSLY MONITOR THESE MEASURES, FOLLOWING AND DURING ALL RAIN EVENTS, TO PUBLIC OWNED FACILITIES.

EROSION CONTROL MEASURES:

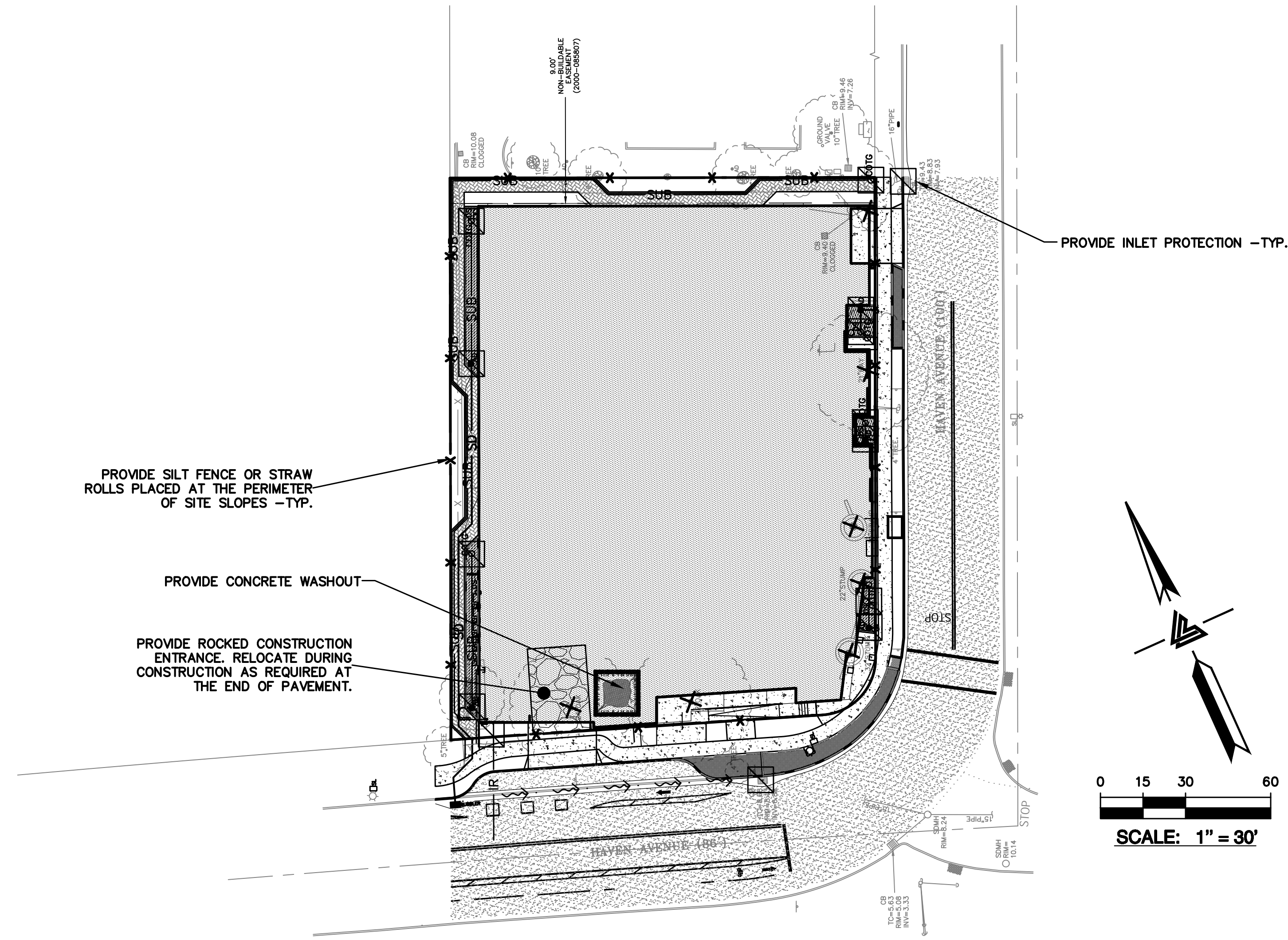
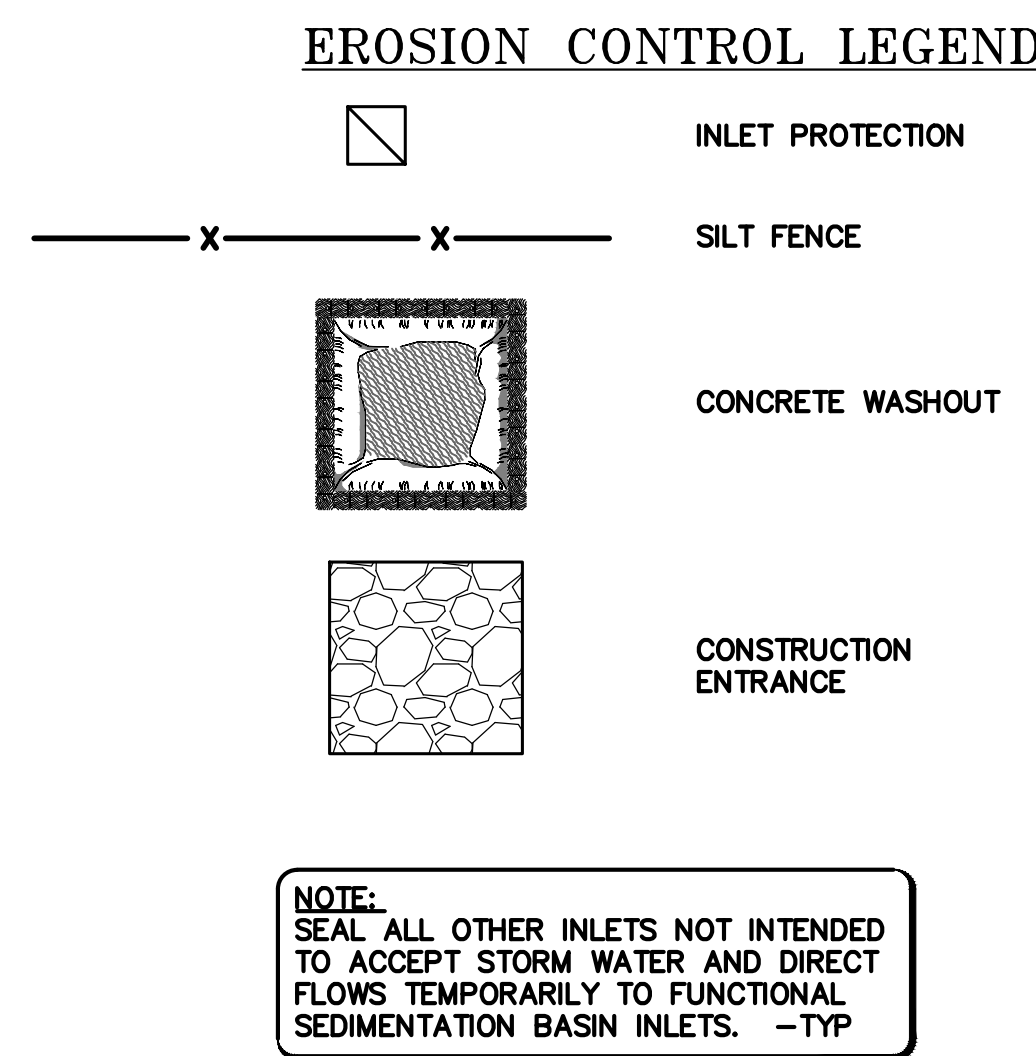
- THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15TH TO APRIL 15. EROSION CONTROL FACILITIES SHALL BE IN PLACE PRIOR TO OCTOBER 15TH OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDED SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
- SITE CONDITIONS AT TIME OF PLACEMENT OF EROSION CONTROL MEASURES WILL VARY. APPROPRIATE ACTION INCLUDING TEMPORARY SWALES, INLETS, HYDROSEEDING, STRAW BALES, ROCK SACKS, ETC. SHALL BE TAKEN TO PREVENT EROSION AND SEDIMENTATION FROM LEAVING SITE. EROSION CONTROL MEASURES SHALL BE ADJUSTED AS THE CONDITIONS CHANGE AND THE NEED OF CONSTRUCTION SHIFT.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCES. CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE GOVERNING AGENCY.
- ALL EXPOSED SLOPES THAT ARE NOT VEGETATED SHALL BE HYDROSEEDED. IF HYDROSEEDING IS NOT USED OR IS NOT EFFECTIVE BY OCTOBER 15, THEN OTHER IMMEDIATE METHODS SHALL BE IMPLEMENTED, SUCH AS EROSION CONTROL BLANKETS, OR A THREE-STEP APPLICATION OF 1) SEED, MULCH, FERTILIZER 2) BLOWN STRAW 3) TACKIFIER AND MULCH. HYDROSEEDING SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF SECTION 20" EROSION CONTROL AND HIGHWAY PLANTING" OF THE STANDARD SPECIFICATION OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION, AS LAST REVISED. REFER TO THE EROSION CONTROL SECTION OF THE GRADING SPECIFICATIONS THAT ARE A PART OF THIS PLAN SET FOR FURTHER INFORMATION.
- INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT. MINIMUM INLET PROTECTION SHALL CONSIST OF A ROCK SACKS OR AS SHOWN ON THIS PLAN
- THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. A REPRESENTATIVE OF LEA & BRAZE ENGINEERING SHALL PERFORM A FIELD REVIEW AND MAKE RECOMMENDATIONS AS NEEDED. CONTRACTOR IS RESPONSIBLE TO NOTIFY LEA & BRAZE ENGINEERING AND THE GOVERNING AGENCY OF ANY CHANGES.
- THE EROSION CONTROL MEASURES SHALL CONFORM TO THE LOCAL JURISDICTION'S STANDARDS AND THE APPROVAL OF THE LOCAL JURISDICTION'S ENGINEERING DEPARTMENT.
- STRAW ROLLS SHALL BE PLACED AT THE TOE OF SLOPES AND ALONG THE DOWN SLOPE PERIMETER OF THE PROJECT. THEY SHALL BE PLACED AT 25 FOOT INTERVALS ON GRADED SLOPES. PLACEMENT SHALL RUN WITH THE CONTOURS AND ROLLS SHALL BE TIGHTLY END BUTTED. CONTRACTOR SHALL REFER TO MANUFACTURERS SPECIFICATIONS FOR PLACEMENT AND INSTALLATION INSTRUCTIONS.

REFERENCES:

- CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL
- CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION

PERIODIC MAINTENANCE:

- MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
 - DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION SHALL BE REPAIRED AT THE END OF EACH WORKING DAY.
 - SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
 - SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
 - SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1" FOOT.
 - SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
 - RILLS AND GULLIES MUST BE REPAIRED.
- GRAVEL BAG INLET PROTECTION SHALL BE CLEANED OUT WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE GRAVEL BAG.
- STRAW ROLLS SHALL BE PERIODICALLY CHECKED TO ASSURE PROPER FUNCTION AND CLEANED OUT WHENEVER THE SEDIMENT DEPTH REACHED HALF THE HEIGHT OF THE ROLL.
- SILT FENCE SHALL BE PERIODICALLY CHECKED TO ASSURE PROPER FUNCTION AND CLEANED OUT WHENEVER THE SEDIMENT DEPTH REACHES ONE FOOT IN HEIGHT.
- CONSTRUCTION ENTRANCE SHALL BE REGRAVELED AS NECESSARY FOLLOWING SILT/SOIL BUILDUP.
- ANY OTHER EROSION CONTROL MEASURES SHOULD BE CHECKED AT REGULAR INTERVALS TO ASSURE PROPER FUNCTION



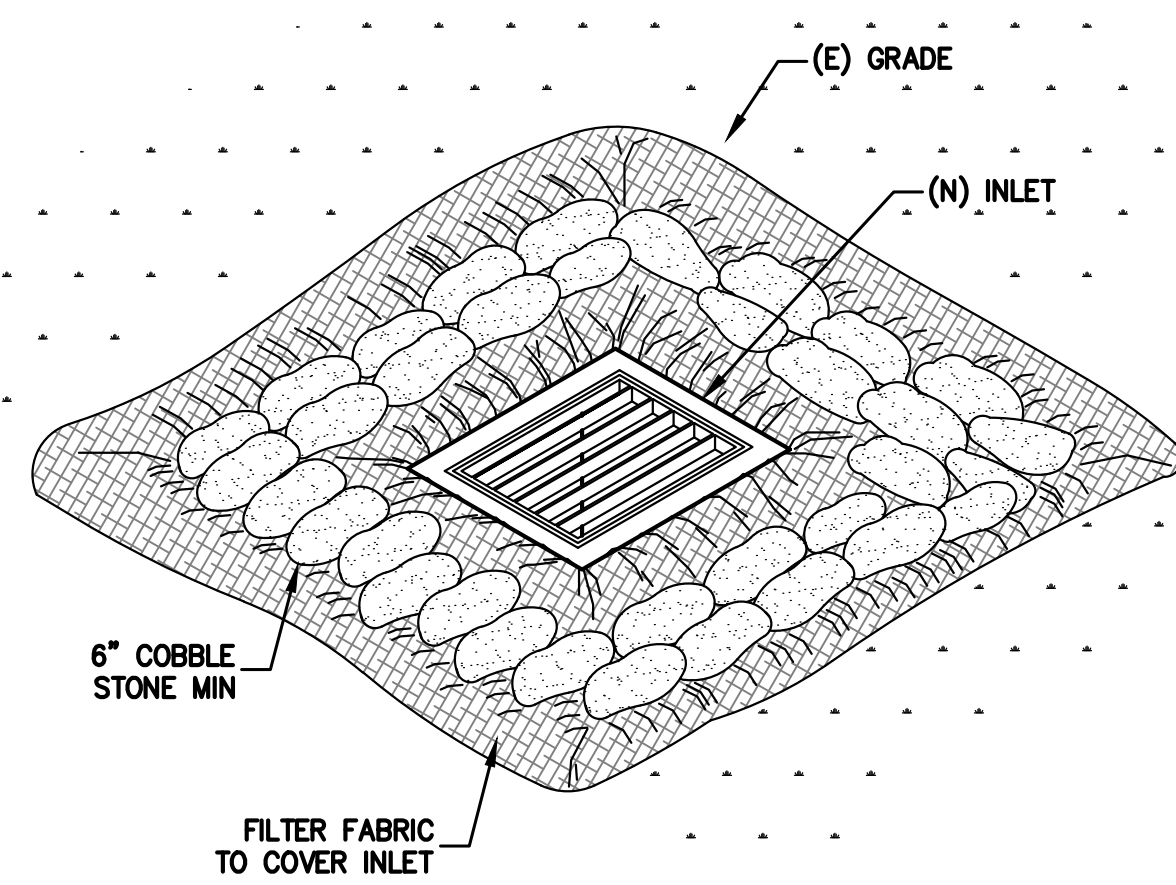
LEA & BRAZE ENGINEERING, INC.
 CIVIL ENGINEERS & LAND SURVEYORS
 REGIONAL OFFICES:
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 HAYWARD OFFICE: 94545
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 SAN MATEO COUNTY APN: 055-170-240

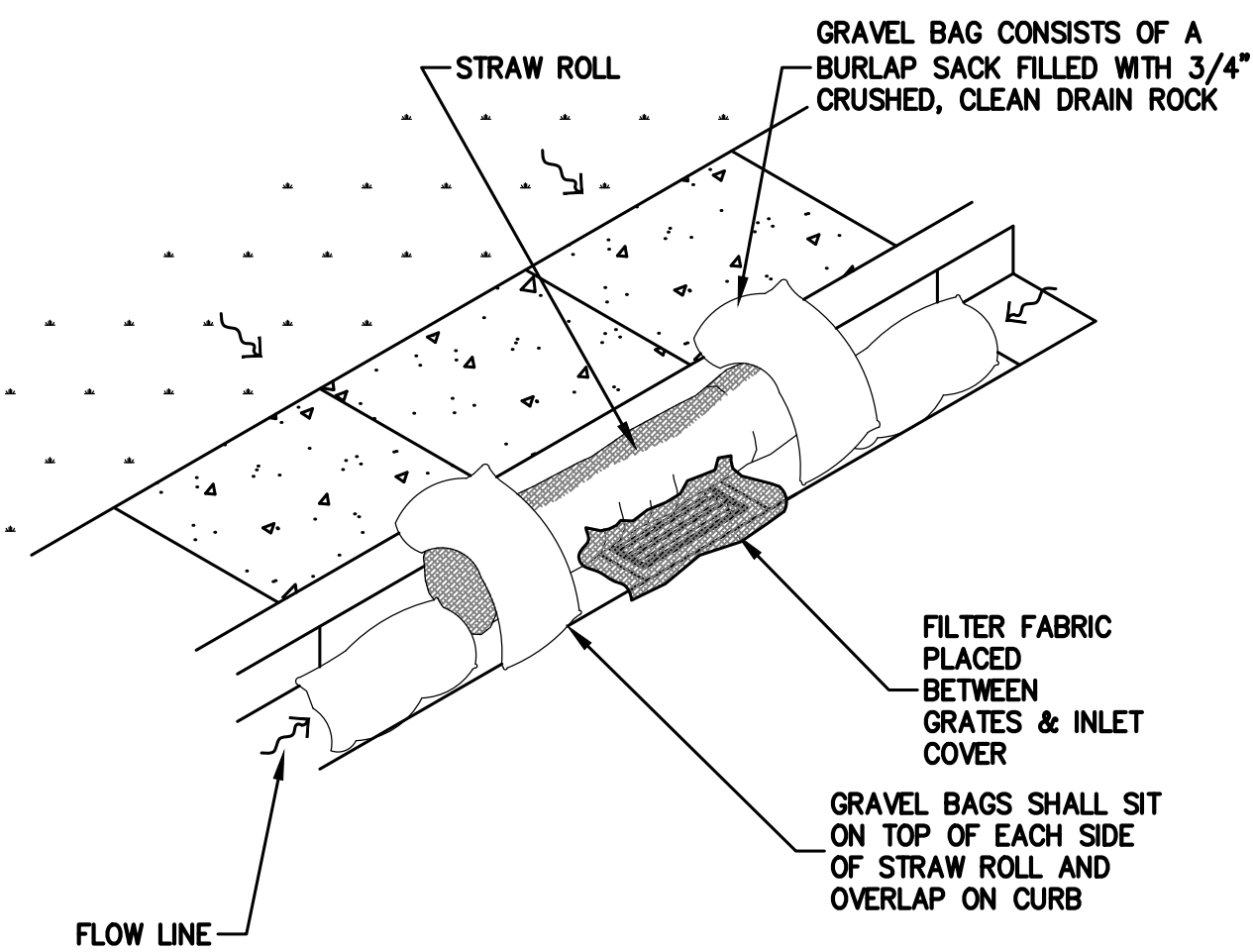
EROSION CONTROL PLAN

9	COMP REVIEW	VA
8	07-16-24	VA
8	05-31-24	VA
7	COMP REVIEW	VA
6	03-21-24	VA
6	C3 PLAN CHK	VA
6	10-17-23	VA
5	C3 PLAN CHK	VA
5	10-04-23	VA
	REVISIONS	BY

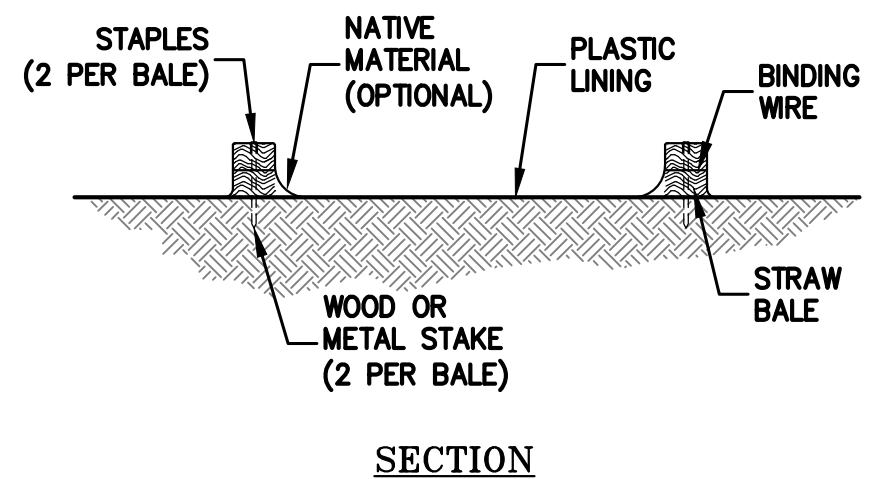
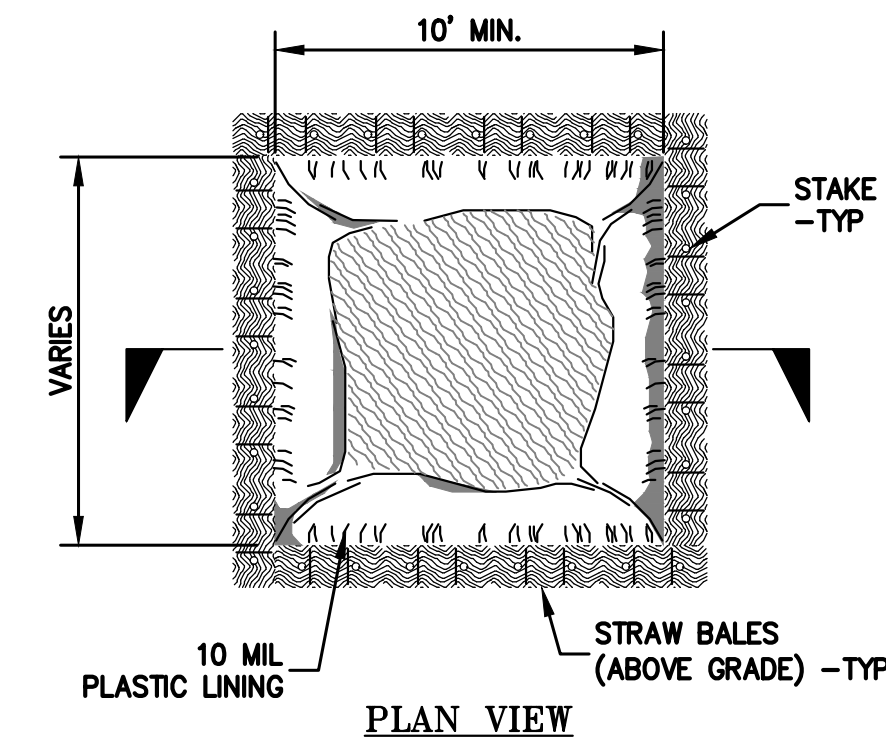
JOB NO: 2220759
 DATE: 11-18-22
 SCALE: AS NOTED
 DESIGN BY: VA
 CHECKED BY: JH/PC
 SHEET NO:



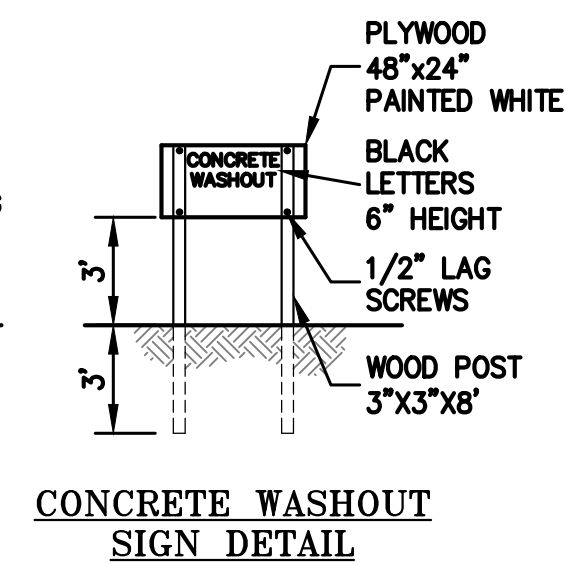
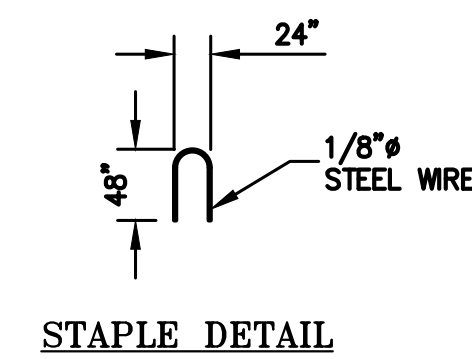
1 INLET PROTECTION
ER-2 NTS



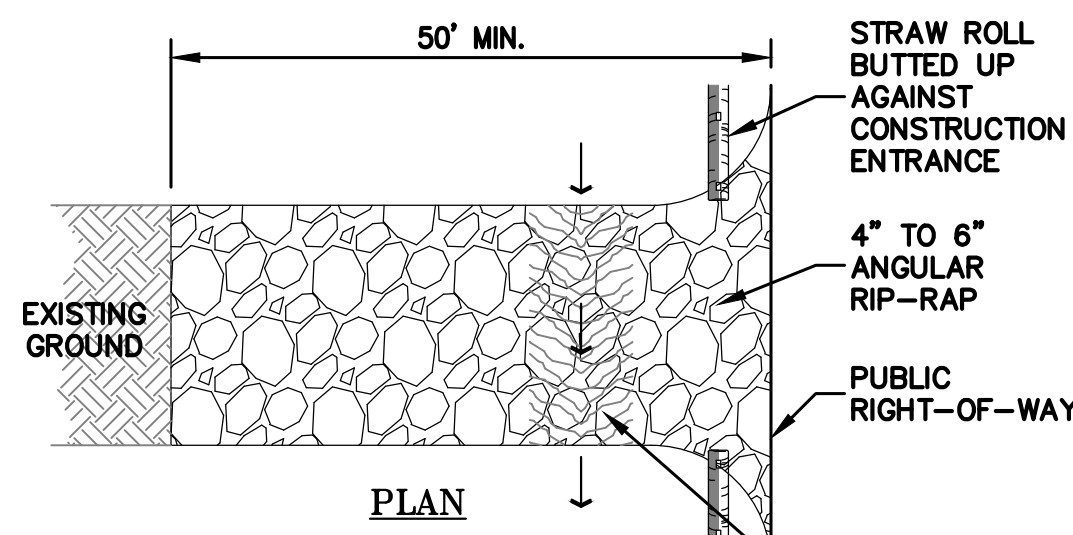
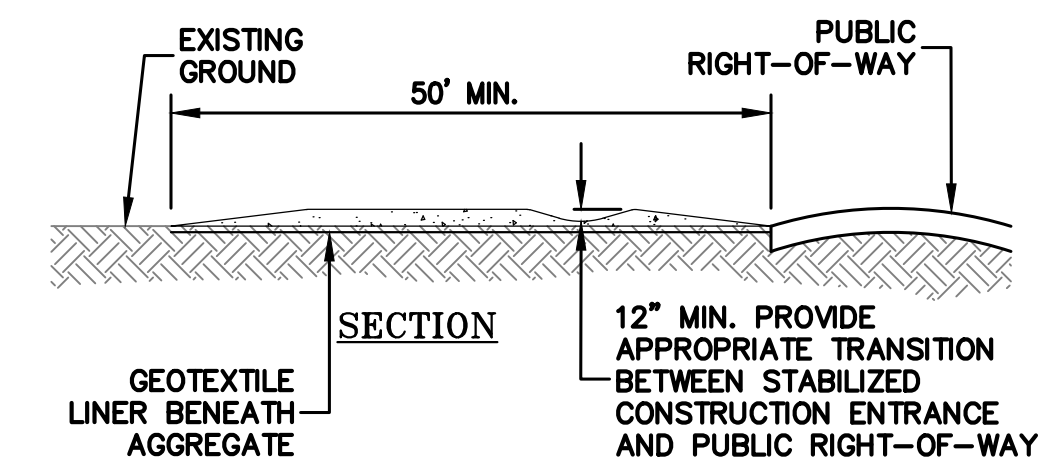
2 STREET INLET PROTECTION
ER-2 NTS



3 CONCRETE WASHOUT
ER-2 NTS

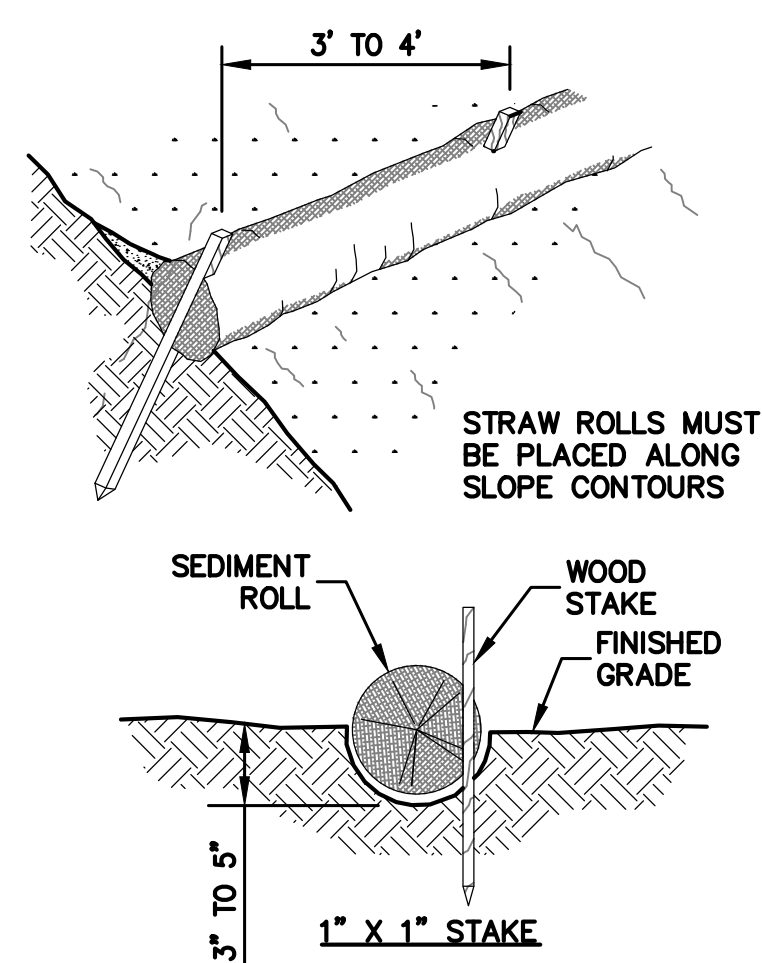


NOTES:
ACTUAL LAYOUT DETERMINED IN FIELD.
THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 10' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.



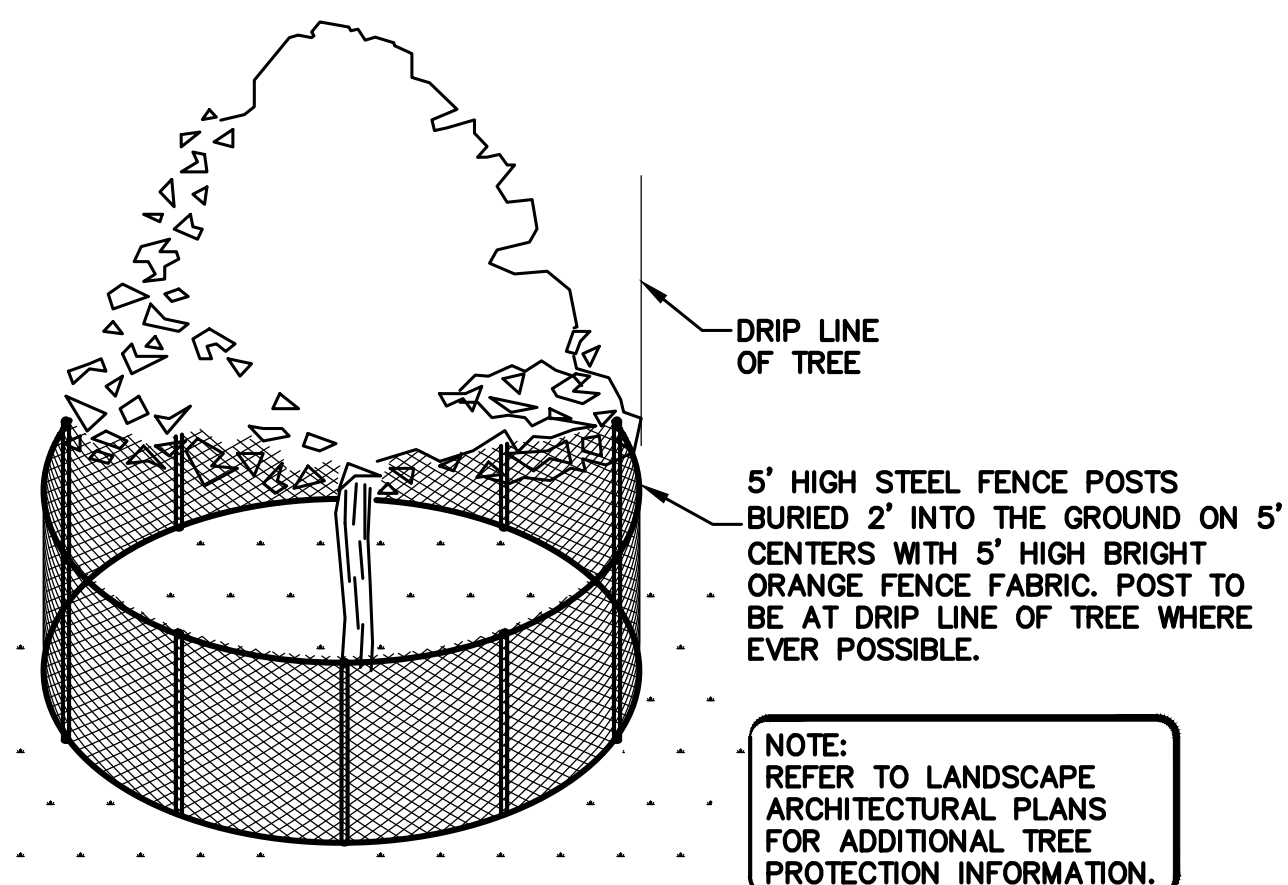
4 CONSTRUCTION ENTRANCE
ER-2 NTS

NOTES:
STABILIZED CONSTRUCTION SITE ACCESS SHALL BE CONSTRUCTED OF 3" TO 4" WASHED, FRACTURED STONE AGGREGATE.
MATERIAL SHALL BE PLACED TO A MINIMUM THICKNESS OF 12". LENGTH OF ENTRANCE SHALL BE A MINIMUM OF 50'.
WIDTH SHALL BE A MIN. OF 15' OR GREATER IF NECESSARY TO COVER ALL VEHICULAR INGRESS AND EGRESS. PROVIDE AMPLE TURNING RADIUS.
THE ENTRANCE SHALL BE KEPT IN GOOD CONDITION BY OCCASIONAL TOP DRESSING WITH MATERIAL AS SPECIFIED IN ABOVE NOTE.
ACCESSES SHALL BE INSPECTED WEEKLY DURING PERIODS OF HEAVY USAGE, MONTHLY DURING NORMAL USAGE, AND AFTER EACH RAINFALL, WITH MAINTENANCE PROVIDED AS NECESSARY.
PERIODIC TOP DRESSING SHALL BE DONE AS NEEDED.



NOTE:
1. STRAW ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE ROLL IN A TRENCH, 3" TO 5" DEEP, DUG ON CONTOUR. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND ROLL.
2. CONTRACTOR IS RESPONSIBLE FOR REGULAR MAINTENANCE AND INSPECTION. THE SILT SHALL BE CLEANED OUT WHEN IT REACHES HALF THE HEIGHT OF THE ROLL.

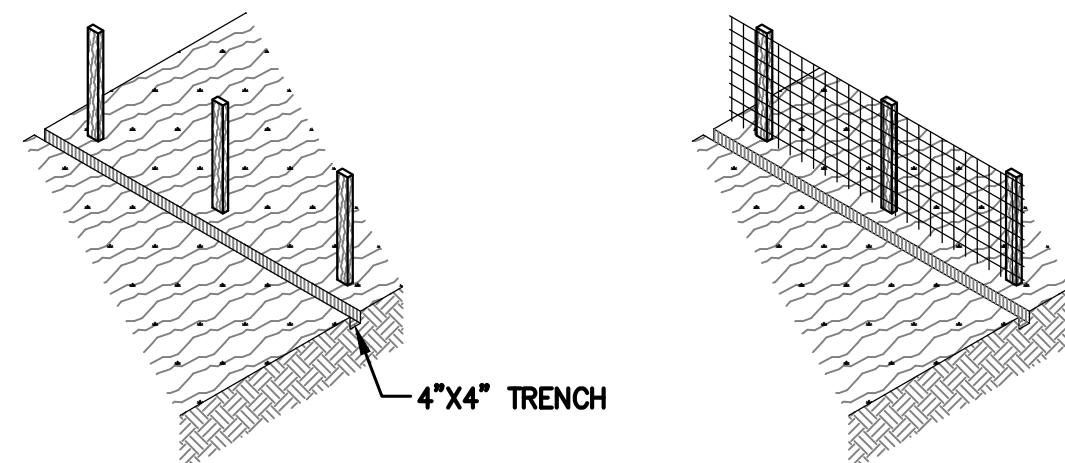
5 STRAW ROLLS FLAT LOT
ER-2 NTS



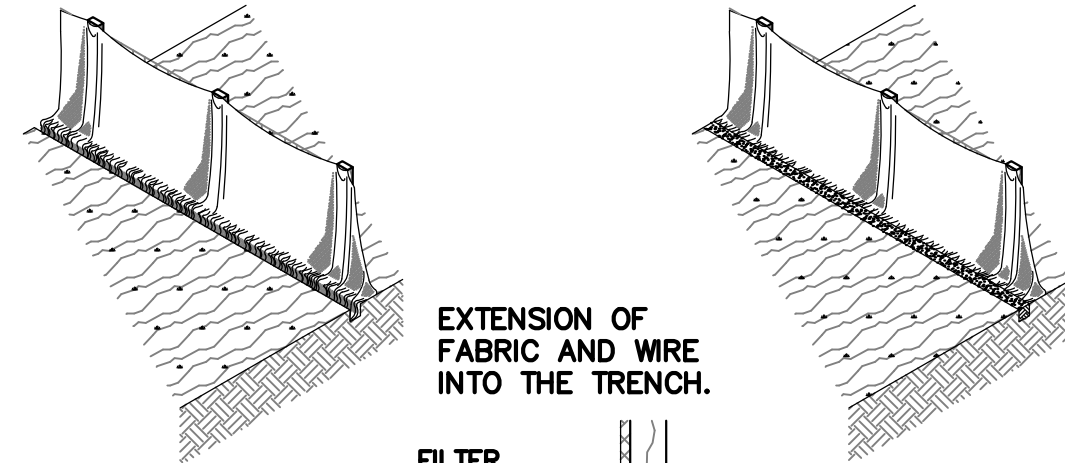
NOTE:
REFER TO LANDSCAPE ARCHITECTURAL PLANS FOR ADDITIONAL TREE PROTECTION INFORMATION.
NOTE:
LOCAL JURISDICTION MIGHT HAVE MORE STRINGENT REQUIREMENTS. CONTRACTOR IS RESPONSIBLE FOR COORDINATING W/ INSPECTOR TO ENSURE PROPER PROCEDURES ARE BEING FOLLOWED.

6 EXISTING TREE PROTECTION DETAIL
ER-2 NTS

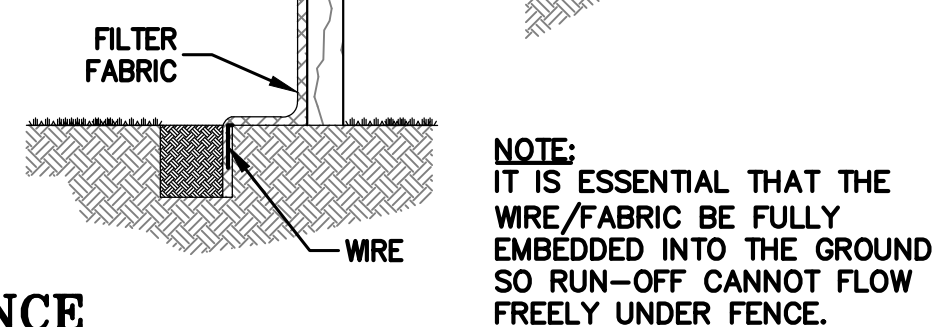
1. SET POSTS AND EXCAVATE A 4"x4" TRENCH UP SLOPE ALONG THE LINE OF POSTS.
2. STAPLE WIRE FENCE TO THE POSTS.



3. ATTACH THE FILTER FABRIC TO THE WIRE FENCE AND EXTEND IT INTO THE TRENCH.
4. BACKFILL AND COMPACT THE EXCAVATED SOIL.



NOTE:
PREMANUFACTURED SILT FENCE PRODUCTS MAY BE USED IN LIEU OF WIRE FENCE. INSTALL PER MANUFACTURER'S RECOMMENDATIONS AND MAINTAIN KEYING OF FABRIC PER THIS DETAIL.



NOTE:
IT IS ESSENTIAL THAT THE WIRE/FABRIC BE FULLY EMBEDDED INTO THE GROUND SO RUN-OFF CANNOT FLOW FREELY UNDER FENCE.

7 SILT FENCE
ER-2 NTS



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SAN MATEO COUNTY

EROSION CONTROL
DETAILS

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6	C3 PLN CHK	10-17-23	VA
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	REVISIONS		BY

JOB NO: 2220759

DATE: 11-18-22

SCALE: AS NOTED

DESIGN BY: VA

CHECKED BY: JH/PC

SHEET NO:

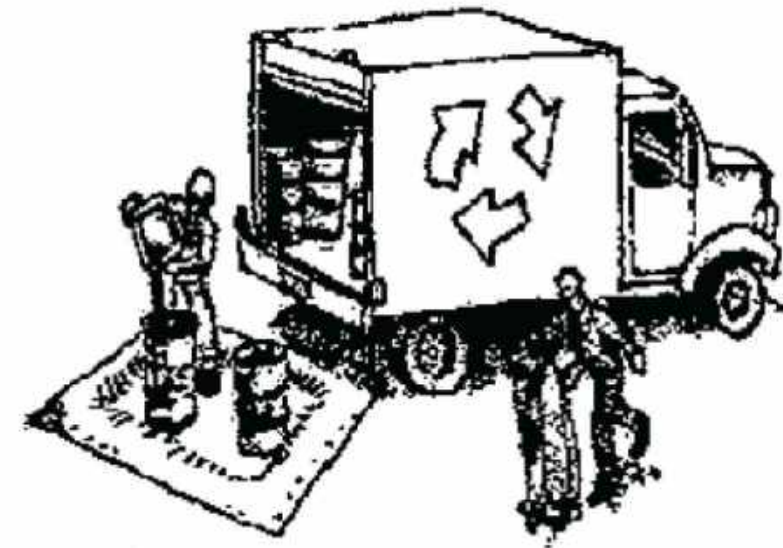
ER-2

20 OF 22 SHEETS

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



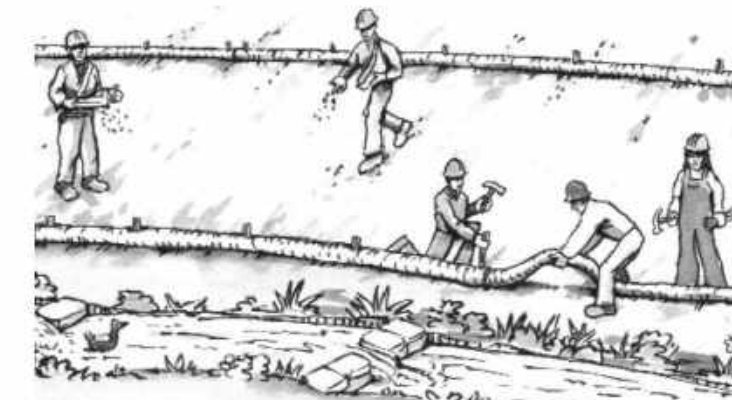
Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



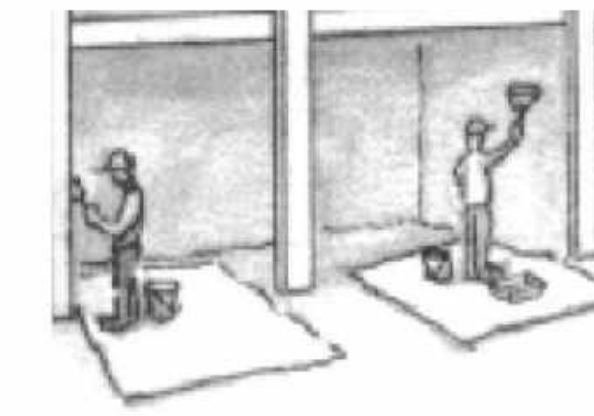
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

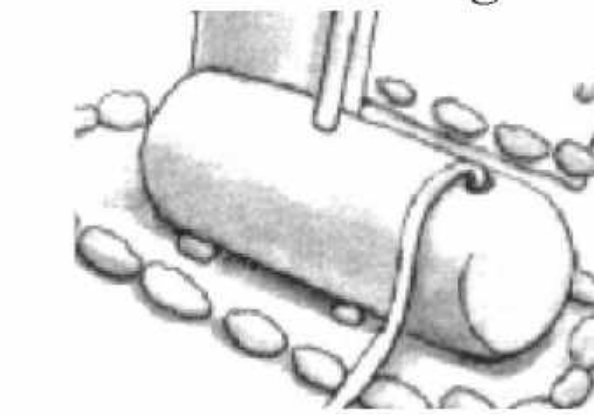
Painting & Paint Removal



Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!



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SAN MATEO COUNTY

BEST MANAGEMENT
PRACTICES

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8	COMP REVIEW	05-31-24	VA
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6	C3 PLN CHK	10-17-23	VA
5	C3 PLN CHK	10-04-23	VA
	REVISIONS		BY

JOB NO: 2220759

DATE: 11-18-22

SCALE: AS NOTED

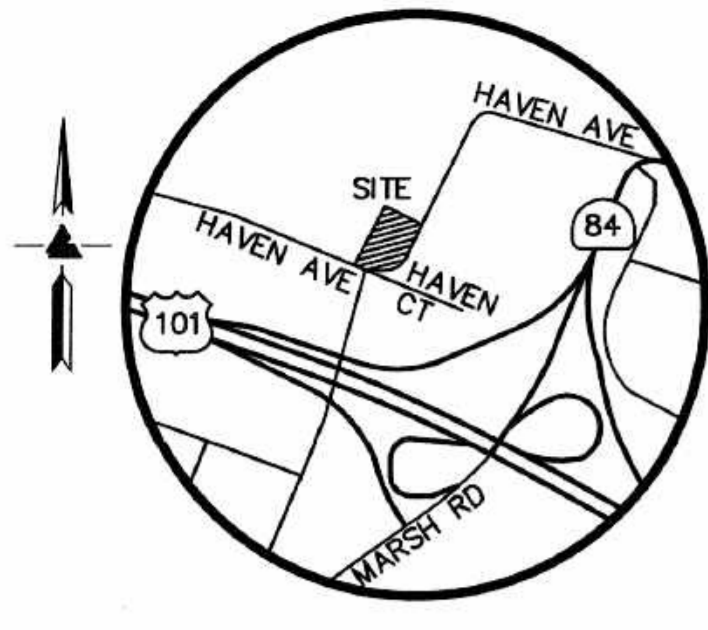
DESIGN BY: VA

CHECKED BY: JH/PC

SHEET NO:

SW-1

21 OF 22 SHEETS



VICINITY MAP
NO SCALE

LEGEND AND NOTES

- BOUNDARY LINE
- BUILDING OVERHANG LINE
- ETC ELECTRICAL/TELEPHONE/CABLE TV OVERHEAD LINE
- EASEMENT
- x- FENCE LINE
- FLOW LINE
- SS SANITARY SEWER LINE
- SD STORM DRAIN LINE
- C COMMUNICATION LINE (PAINT MARKINGS)
- E ELECTRICAL LINE (PAINT MARKINGS)
- SD STORM DRAIN LINE (PAINT MARKINGS)
- W WATER LINE (PAINT MARKINGS)

- AD ACCESSIBILITY PARKING
- AD AREA DRAIN
- BFP BACK FLOW PREVENTER
- BM BENCHMARK
- CB CATCH BASIN
- DW DRIVEWAY
- FF FINISH FLOOR
- FDC FIRE DEPARTMENT CONNECTION
- FD FIRE HYDRANT
- FL FLOW LINE
- GM GAS METER
- GA GUY ANCHOR
- INV INVERT
- ICB IRRIGATION CONTROL BOX
- ICV IRRIGATION CONTROL VALVE
- JP JOINT POLE
- OVH OVERHEAD
- RP ROOF PEAK
- SSCO SANITARY SEWER CLEAN-OUT
- SSMH SANITARY SEWER MAINTENANCE HOLE
- SDMH STORM DRAIN MAINTENANCE HOLE
- SL STREET LIGHT
- SLB STREET LIGHT BOX
- SS SIGN
- TC TOP OF CURB
- WM WATER METER
- WV WATER VALVE
- W WATER VAULT
- XXX.XX SPOTGRADE

NOTES

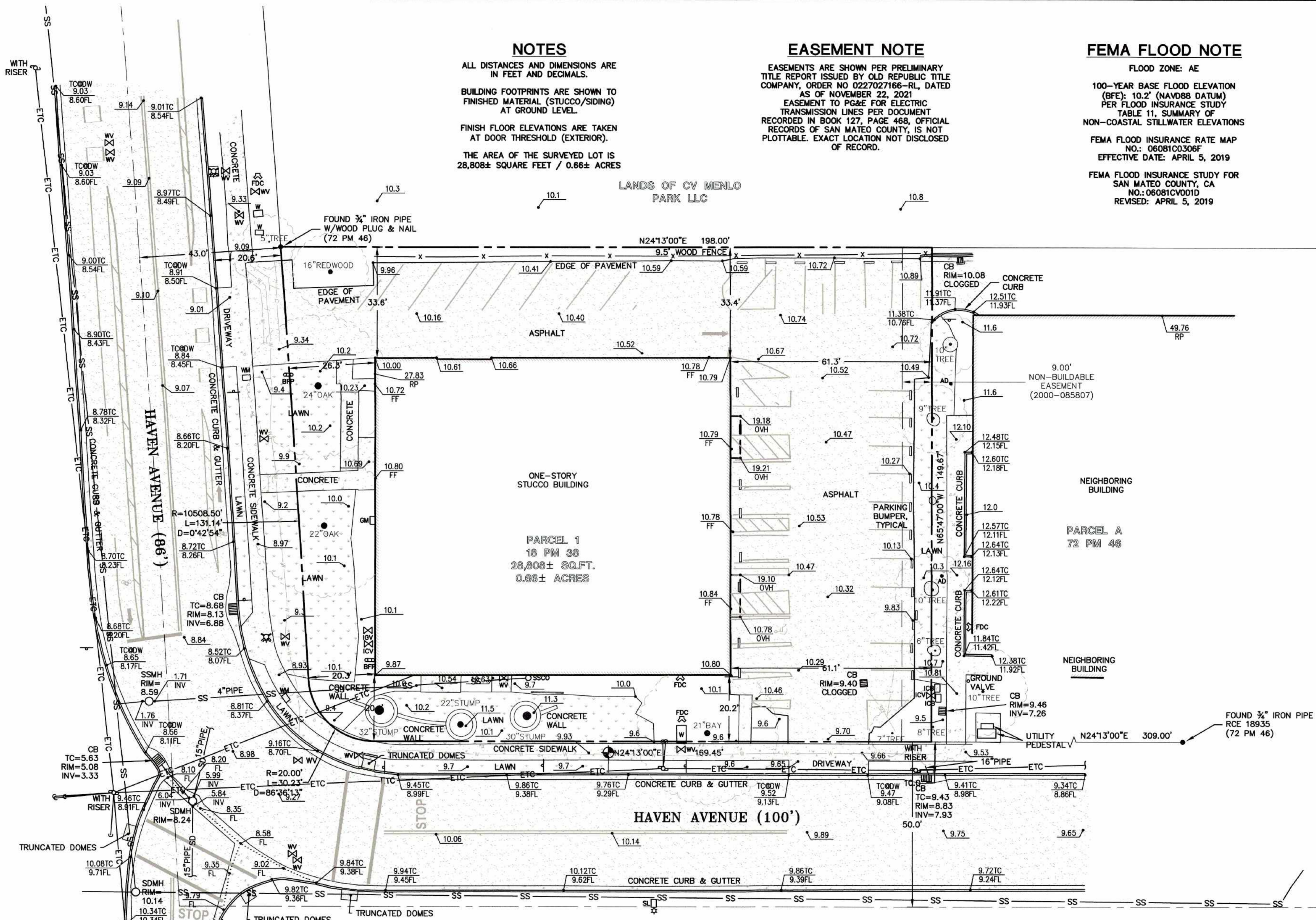
ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.
 BUILDING FOOTPRINTS ARE SHOWN TO FINISHED MATERIAL (STUCCO/SIDING) AT GROUND LEVEL.
 FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLD (EXTERIOR).
 THE AREA OF THE SURVEYED LOT IS 28,808± SQUARE FEET / 0.66± ACRES

EASEMENT NOTE

EASEMENTS ARE SHOWN PER PRELIMINARY TITLE REPORT ISSUED BY OLD REPUBLIC TITLE COMPANY, ORDER NO 0227027166-RL, DATED AS OF NOVEMBER 22, 2021
 EASEMENT TO PG&E FOR ELECTRIC TRANSMISSION LINES PER DOCUMENT RECORDED IN BOOK 127, PAGE 468, OFFICIAL RECORDS OF SAN MATEO COUNTY, IS NOT PLOTTABLE. EXACT LOCATION NOT DISCLOSED OF RECORD.

FEMA FLOOD NOTE

FLOOD ZONE: AE
 100-YEAR BASE FLOOD ELEVATION (BFE): 10.2' (NAVD88 DATUM)
 PER FLOOD INSURANCE STUDY TABLE 11, SUMMARY OF NON-COASTAL STILLWATER ELEVATIONS
 FEMA FLOOD INSURANCE RATE MAP NO.: 06081C0306F
 EFFECTIVE DATE: APRIL 5, 2019
 FEMA FLOOD INSURANCE STUDY FOR SAN MATEO COUNTY, CA NO.: 06081C0010D
 REVISED: APRIL 5, 2019



PARCEL 1
16 PM 38
28,808± SQ.FT.
0.66± ACRES

PARCEL A
72 PM 48

BENCHMARK

CITY OF MENLO PARK BM3 BRONZE DISK EPOXIED INTO THE TOP OF A CONCRETE CURB OF THE NORTHERLY CURB LINE OF HAVEN AVENUE AT #3585 HAVEN AVENUE AT THE WESTERLY SIDE OF A STORM WATER CATCH BASIN.
 ELEVATION = 8.178'
 (ADJUSTED TO NAVD 88 DATUM)

SITE BENCHMARK

SURVEY CONTROL POINT CUT CROSS IN CONCRETE
 ELEVATION = 9.91'
 (ADJUSTED TO NAVD 88 DATUM)

UTILITY NOTE

ALL UNDERGROUND PIPE TYPES, SIZES AND LOCATION SHOWN ON THIS SURVEY ARE BASED ON VISUAL OBSERVATION. ANY USE OF THIS INFORMATION SHOULD BE VERIFIED, BEFORE ITS USE, WITH THE CONTROLLING MUNICIPALITY OR UTILITY PROVIDER. THIS SURVEY MAKES NO GUARANTEE OF THE INSTALLED ACTUAL LOCATION, DEPTHS OR SIZE.

TREE NOTE

TREE SIZE, TYPE AND DRUPLINES ARE BASED ON A VISUAL OBSERVATION. FINAL DETERMINATION SHOULD BE MADE BY THE PROJECT ARBORIST.

SURVEYOR'S STATEMENT

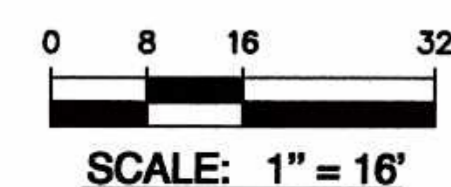
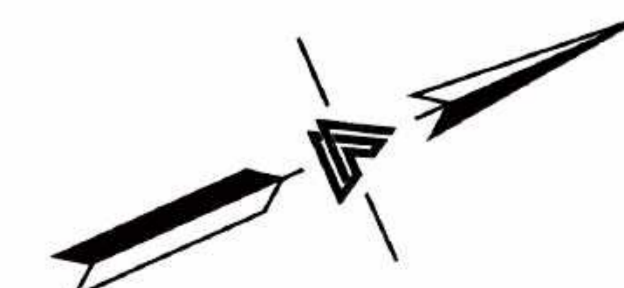
I CERTIFY THAT THIS PARCEL'S BOUNDARY WAS ESTABLISHED BY ME OR UNDER MY SUPERVISION AND IS BASED ON A FIELD SURVEY IN CONFORMANCE WITH THE LAND SURVEYOR'S ACT. ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

Michael W. Thompson 8-21-23
 MICHAEL W. THOMPSON DATE
 L.S. NO. 9023



BASIS OF BEARINGS

THE BEARING NORTH 24°13'00" EAST ALONG THE WESTERLY RIGHT OF WAY OF HAVEN AVENUE AS SHOWN ON THAT CERTAIN PARCEL MAP FILED IN BOOK 72 OF PARCEL MAPS AT PAGE 46, SAN MATEO COUNTY RECORDS, IS THE BASIS OF ALL BEARINGS SHOWN ON THIS MAP.



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3705 HAVEN AVENUE
 MENLO PARK
 CALIFORNIA

BOUNDARY AND
 TOPOGRAPHIC SURVEY

PLANNING COMMENTS	DB
8-29-23	
REVISIONS	BY
JOB NO:	22122996
DATE:	2-11-22
SCALE:	1" = 16'
BNDY BY:	RM
FIELD BY:	BC
DRAWN BY:	JN
SHEET NO:	



- SHEET LIST**
- L-1 OVERALL LANDSCAPE PLAN
 - L-2 LANDSCAPE PLAN - GROUND FLOOR
 - L-3 LANDSCAPE PLAN - PODIUM & ROOFS
 - L-4 TREE REMOVAL & REPLACEMENT PLAN
 - L-5 WELO CHECKLIST, PLANT PALETTE, AND NOTES
 - L-6 LANDSCAPE FRONTAGE CALCULATIONS

3705 HAVEN AVE
MENLO PARK, CA

3705 HAVEN AVE
 MENLO PARK, CA

PROJECT NO. 21-07
 PARCEL NO. 055170240

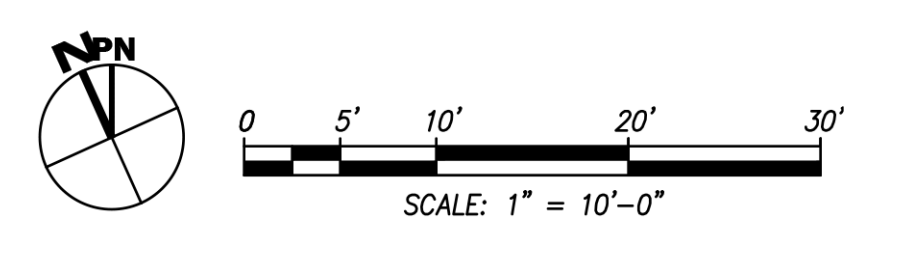
REV	DATE	DESCRIPTION
04-29-2022	SB330 PRELIM APPLICATION	
11-17-2022	PLANNING APPLICATION	
05-12-2023	PLANNING RESUBMITTAL	
09-01-2023	PLANNING RESUBMITTAL DRAFT	
09-21-2023	PLANNING RESUBMITTAL	

CONTACT:

(415) 777-0561 P
 (415) 777-5117 F

SCALE: 1" = 10'-0"

OVERALL
 LANDSCAPE PLAN





LEGEND

- 1 CLASS II BIKE RACKS, TYP. TOTAL 18 SHORT TERM PARKING SPACES PROVIDED
- 2 UNDERGROUND TRANSFORMER/UTILITY
- 3 BACKFLOWS WITH PLANT SCREENING
- 4 STORMWATER FLOW-THROUGH PLANTER, TYP
- 5 NEW SIDEWALK, SEE CIVIL DRAWINGS
- 6 PUBLICLY ACCESSIBLE OPEN SPACE
- 7 FENCE ALONG PROPERTY LINE
- 8 MAIN ENTRY WITH STAIRCASE
- 9 ACCESSIBLE RAMP
- 10 STAIRS
- 11 SCULPTURAL PRECAST CONCRETE SEATING
- 12 BOLLARD LIGHTS, TYP
- 13 CORNER PLAZA WITH MODULAR STACKED SEATING AND PLANTERS, DECORATIVE PAVERS, BIKE RACKS NEAR THE PLAZA WILL HAVE A UNIQUE DESIGN TO COMPLIMENT THE PLAZA.
- 14 FEATURE GATEWAY WITH LIGHTING
- 15 MURAL OR DECORATIVE ARCHITECTURAL PANEL, TYP. SEE ARCHITECTURAL DRAWINGS AND ELEVATIONS.

NOTE: REFER TO SHEET L-5 FOR PLANT PALETTE AND IMAGERY, IRRIGATION AND PLANTING DESIGN INTENT NOTES.

TREE LEGEND

BOTANICAL NAME	COMMON NAME	CONT. SIZE
A AFROCARPUS GRACILIOR	AFRICAN FERN PINE	36" BOX SIZE
L LAURUS NOBILIS 'SARATOGA'	SARATOGA LAUREL	36" BOX SIZE
C LAGERSTROEMIA X 'MUSKOGEE'	MUSKOGEE CRAPE MYRTLE	48" BOX SIZE
T TILIA TOMENTOSA	SILVER LEAF LINDEN	48" BOX SIZE
EX EXISTING TREE		

NOTE: REFER TO SHEET L-4 FOR TREE REMOVAL & REPLACEMENT PLAN.

PUBLICLY ACCESSIBLE OPEN SPACE: WALKWAY VIEWS



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**3705 HAVEN AVE
MENLO PARK, CA**

3705 HAVEN AVE
MENLO PARK, CA

PROJECT NO. 21-07
PARCEL NO. 055170240

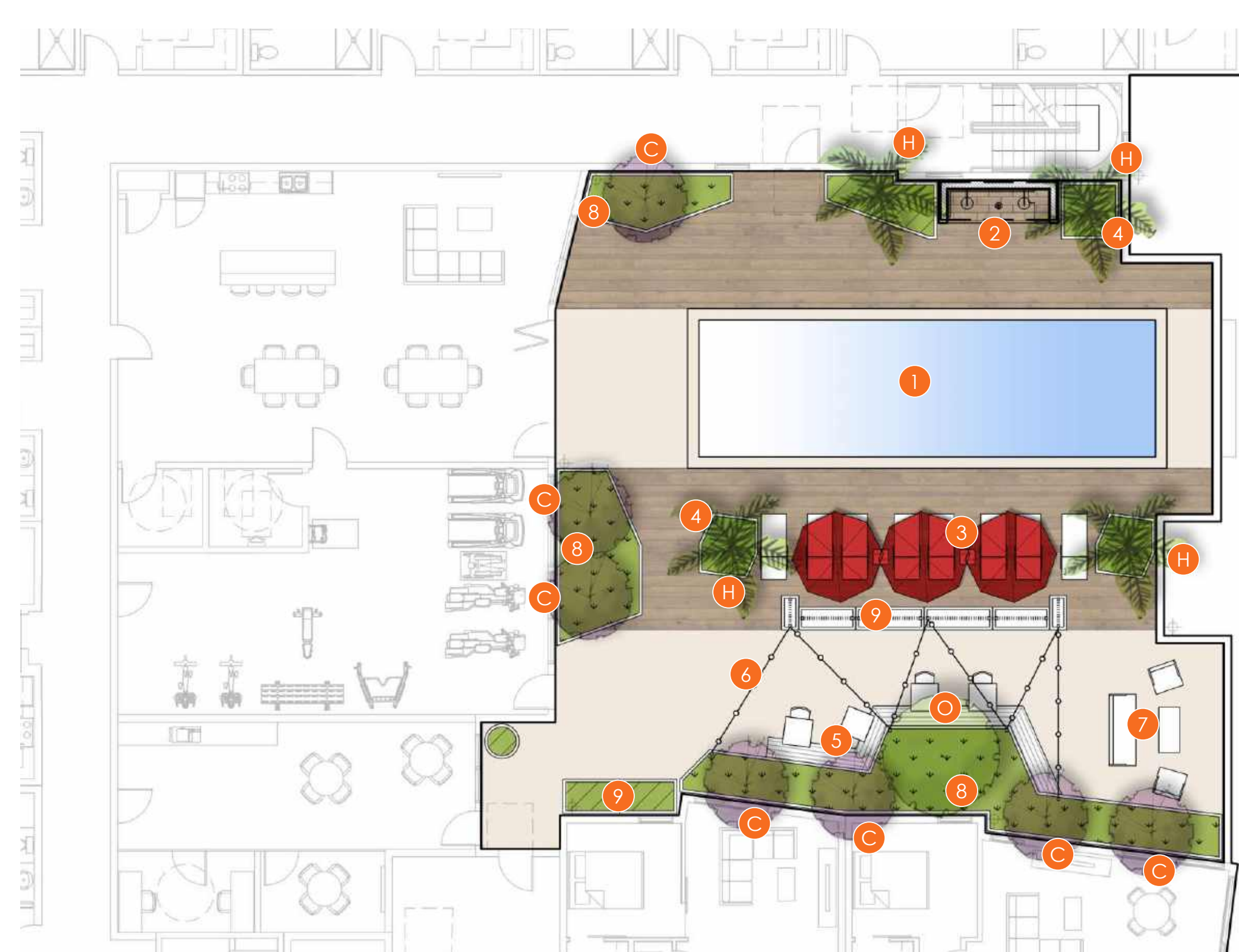
REV	DATE	DESCRIPTION
04-29-2022		SB330 PRELIM APPLICATION
11-17-2022		PLANNING APPLICATION
05-12-2023		PLANNING RESUBMITTAL
09-01-2023		PLANNING RESUBMITTAL DRAFT
09-21-2023		PLANNING RESUBMITTAL

CONTACT:

(415) 777-0561 P
(415) 777-5117 F

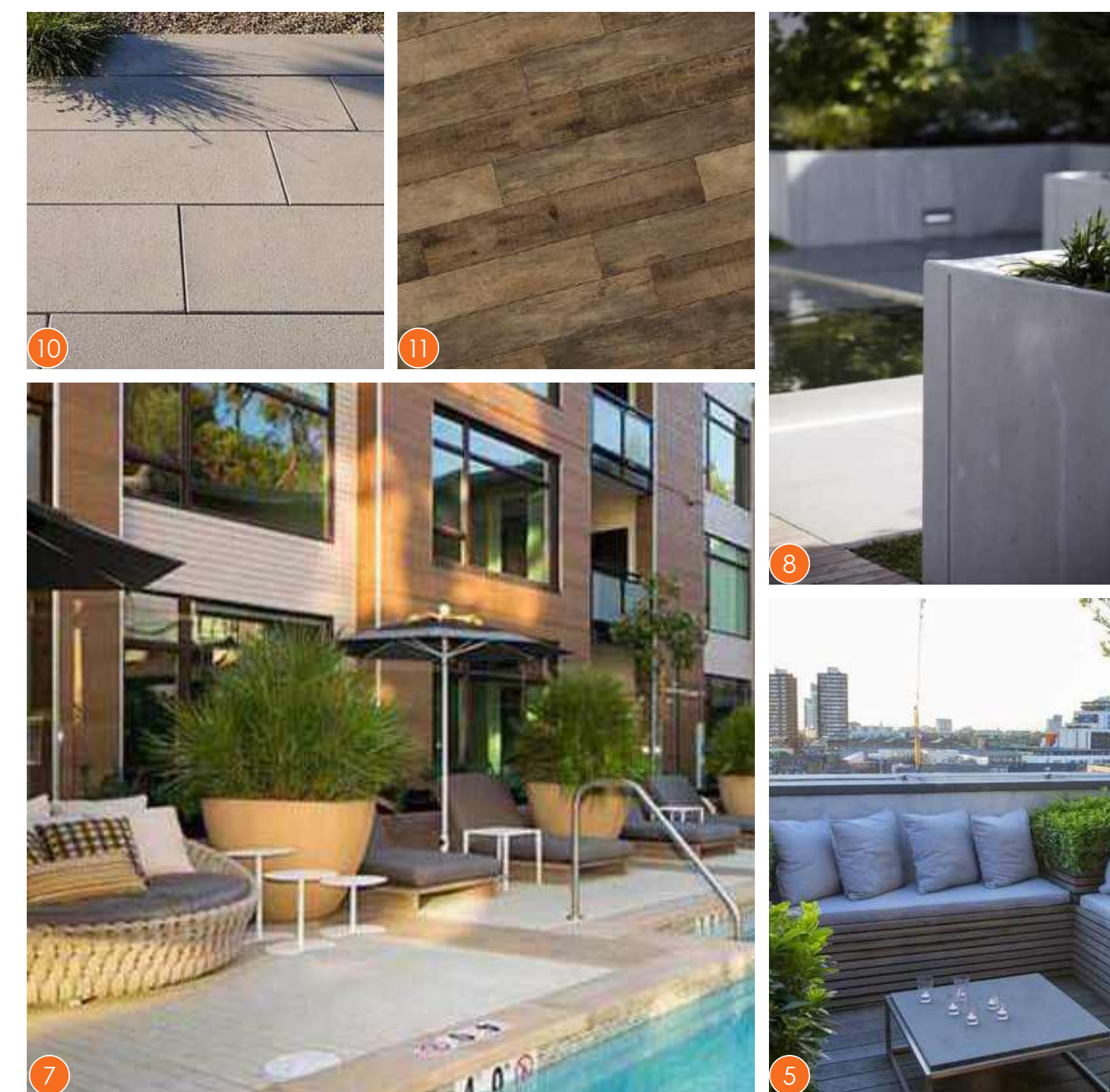
SCALE: 1" = 10'-0"

LANDSCAPE PLAN -
GROUND FLOOR



LEGEND

- 1 12X40 POOL
- 2 COVERED OUTDOOR SHOWER
- 3 POOL CHAISE LOUNGE SEATING WITH UMBRELLAS
- 4 PALMS IN RAISED PLANTERS, TYP
- 5 BUILT-IN SEATING
- 6 STRING LIGHTS
- 7 LOUNGE SEATING, TYP
- 8 STORMWATER PLANTERS
- 9 PREFABRICATED PLANTERS, TYP
- 10 PAVER: CONCRETE
- 11 PAVER: WOOD GRAIN



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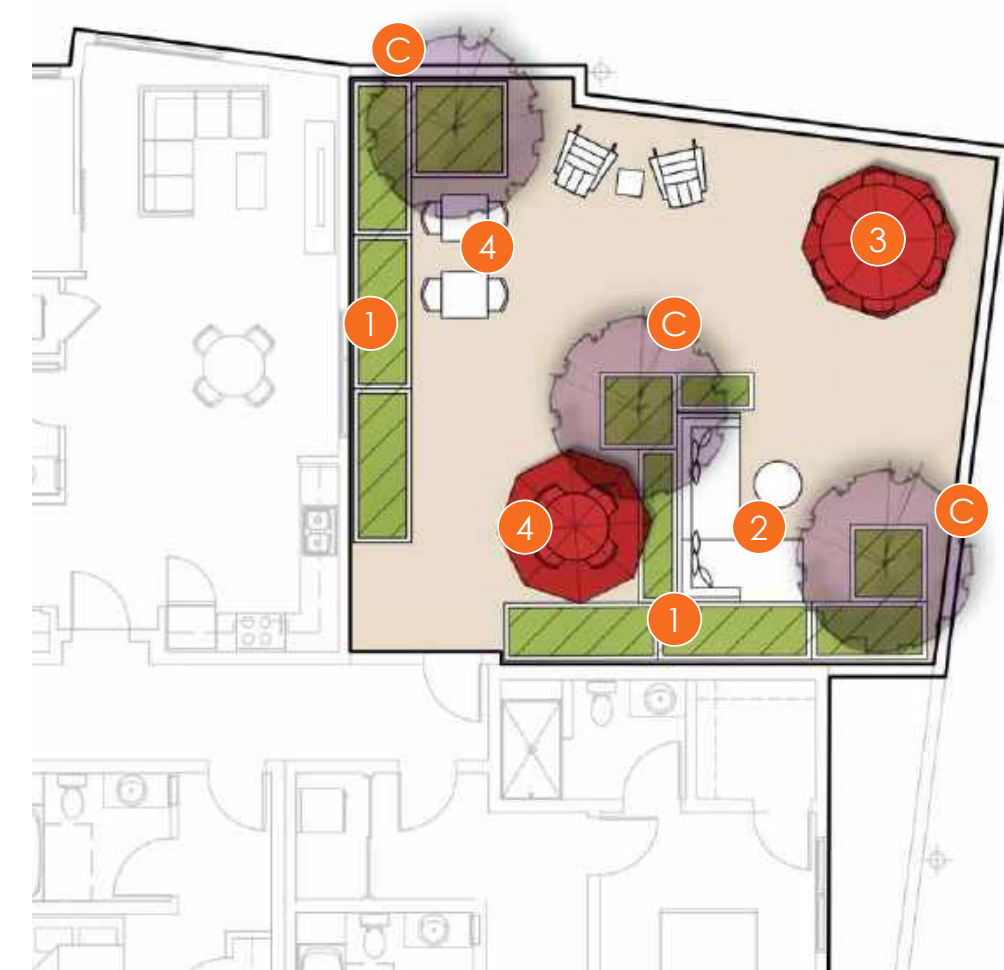
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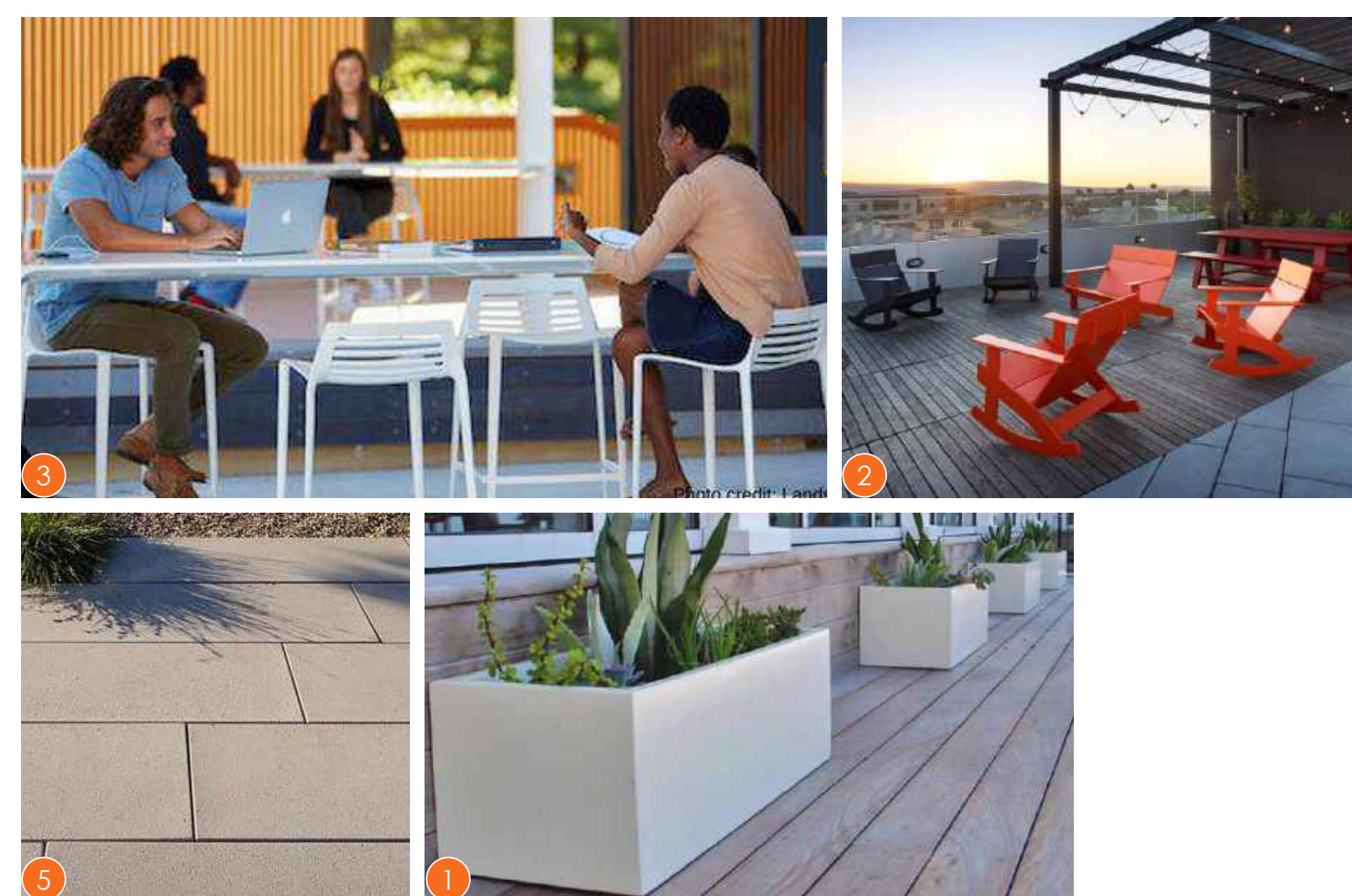
SCALE: 1"=10'-0"

1 LEVEL 3 PODIUM COURTYARD
SCALE: 1"=10'-0"



LEGEND

- 1 PREFABRICATED PLANTERS, TYP
- 2 LOUNGE SEATING
- 3 COMMUNAL WORK TABLE
- 4 SMALLER WORK AREA, TYP
- 5 PAVER: CONCRETE



TREE LEGEND

BOTANICAL NAME	COMMON NAME	CONT. SIZE
C *X CHITALPA 'PINK DAWN'	PINK CHITALPTA	24" BOX
H HOWEA FORESTRIANA	KENTIA PALM	24" BOX
M *MAGNOLIA 'LITTLE GEM'	LITTLE GEM MAGNOLIA	24" BOX
O *OLEA 'SWAN HILL'	SWAN HILL OLIVE	24" BOX

*OR SIMILAR, SEE PLANT PALETTE ON SHEET L-5

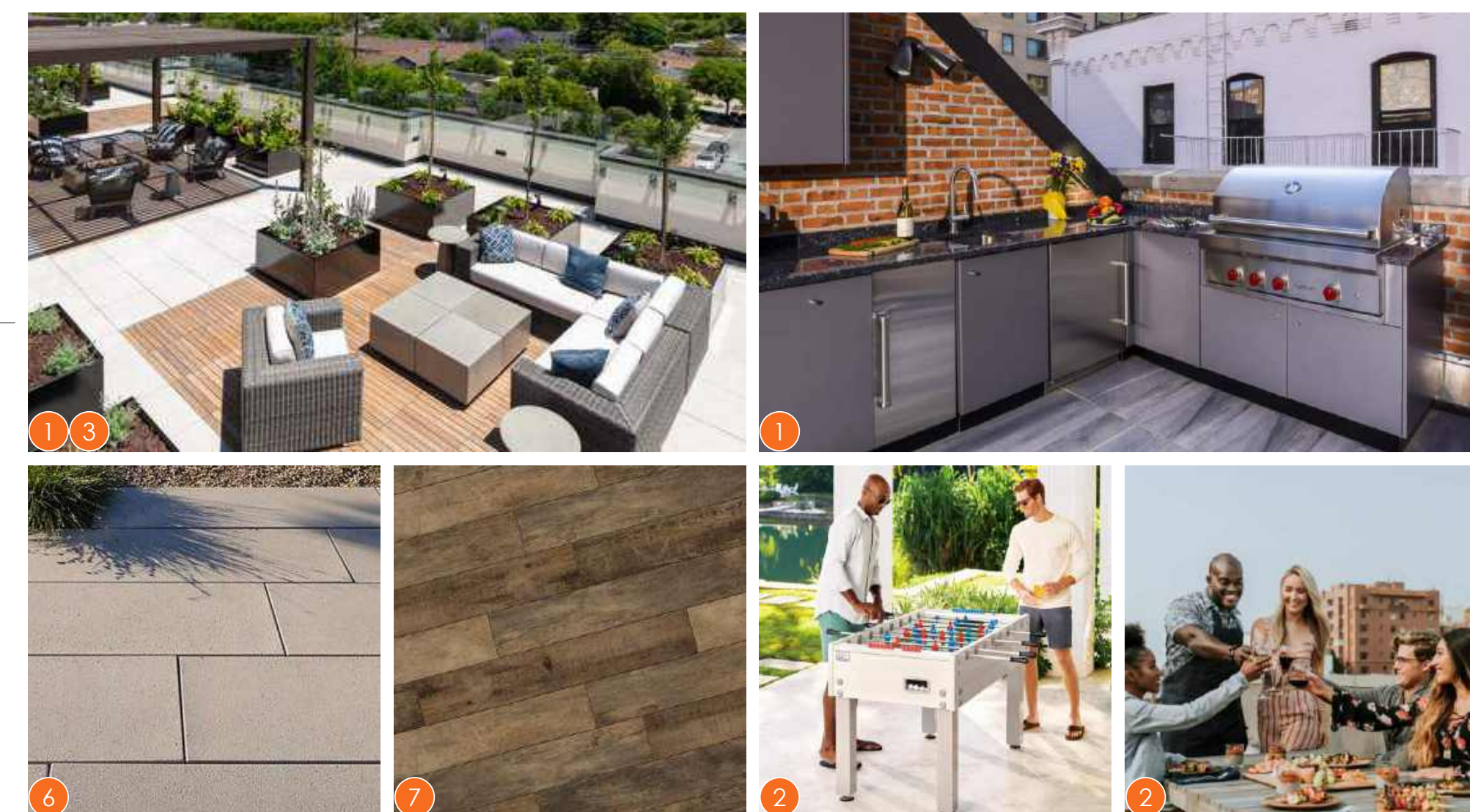
NOTES: REFER TO SHEET L-4 FOR TREE REMOVAL & REPLACEMENT PLAN.

2 LEVEL 5 ROOF DECK
SCALE: 1"=10'-0"

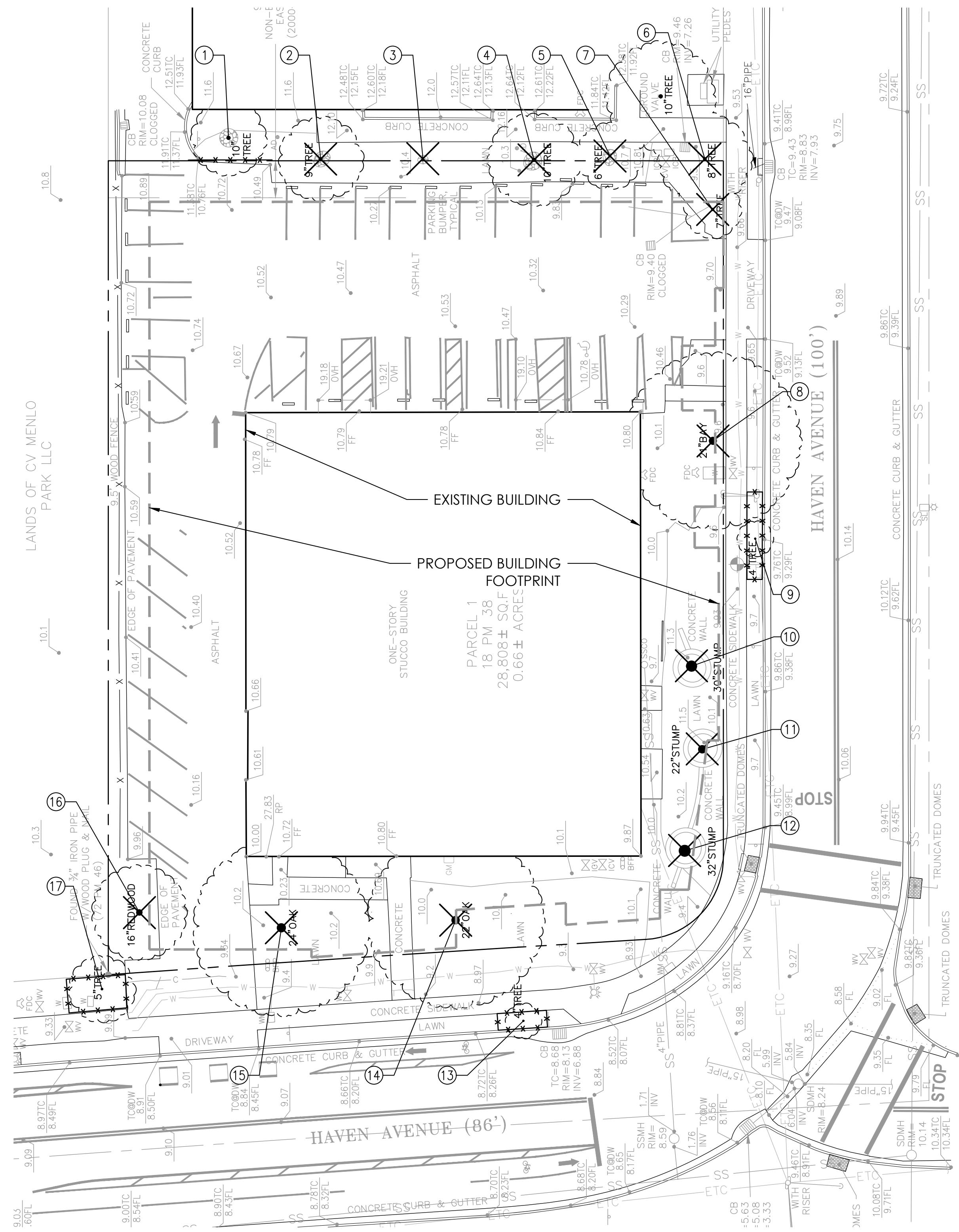


LEGEND

- 1 SHADE STRUCTURE WITH OUTDOOR KITCHEN, DINING SPACE, SPACE HEATERS, TV LOUNGE, WITH OVERHEAD LIGHTING
- 2 GAME TABLE
- 3 LOUNGE SEATING, TYP
- 4 PREFABRICATED PLANTERS, TYP
- 5 COMMUNAL DINING TABLE, TYP
- 6 PAVER: CONCRETE
- 7 PAVER: WOOD GRAIN



3 LEVEL 8 ROOF DECK
SCALE: 1"=10'-0"



TREE PROTECTION NOTES:

- 6" LAYER OF COARSE MULCH OR WOODCHIPS IS TO BE PLACED BENEATH THE DRIPLINE OF THE PROTECTED TREES. MULCH IS TO BE KEPT 12" FROM THE TRUNK.
- A PROTECTIVE BARRIER OF 6' CHAIN LINK FENCING SHALL BE INSTALLED AROUND THE DRIPLINE OF PROTECTED TREE(S), "TPZ".
- AVOID THE FOLLOWING CONDITIONS:
DO NOT:
 - ALLOW RUN OFF OF SPILLAGE OF DAMAGING MATERIALS INTO THE AREA BELOW ANY TREE CANOPY.
 - STORE MATERIALS, STOCKPILE SOIL, OR PARK OR DRIVE VEHICLES WITHIN THE TPZ.
 - CUT, BREAK, SKIN, OR BRUISE ROOTS, BRANCHES, OR TRUNKS WITHOUT FIRST OBTAINING AUTHORIZATION FROM THE CITY ARBORIST.
 - ALLOW FIRES UNDER AND ADJACENT TO TREES.
 - DISCHARGE EXHAUST INTO FOLIAGE.
 - SECURE CABLE, CHAIN, OR ROPE TO TREES OR SHRUBS.
 - TRENCH, DIG, OR OTHERWISE EXCAVATE WITHIN THE DRIPLINE OR TPZ OF THE TREE(S) WITHOUT FIRST OBTAINING AUTHORIZATION FROM THE CITY ARBORIST.
 - APPLY SOIL STERILANTS UNDER PAVEMENT NEAR EXISTING TREES.
- ONLY EXCAVATION BY HAND OR COMPRESSED AIR SHALL BE ALLOWED WITHIN THE DRIPLINE OF TREES. MACHINE TRENCHING SHALL NOT BE ALLOWED.
- AVOID INJURY TO TREE ROOTS.
- ROUTE PIPES OUTSIDE OF THE AREA THAT IS 10 TIMES THE DIAMETER OF A PROTECTED TREE TO AVOID CONFLICT WITH ROOTS.
- ANY DAMAGE DUE TO CONSTRUCTION ACTIVITIES SHALL BE REPORTED TO THE PROJECT ARBORIST OR CITY ARBORIST WITHIN SIX HOURS SO THAT REMEDIAL ACTION CAN BE TAKEN.
- AN ISA CERTIFIED ARBORIST OR ASCA REGISTERED CONSULTING ARBORIST SHALL BE RETAINED AS THE PROJECT ARBORIST TO MONITOR THE TREE PROTECTION SPECIFICATIONS.

LEGEND

- EXISTING TREE TO BE REMOVE
- EXISTING TREE TO REMAIN & PROTECTED
- TEMPORARY 6' CHAIN-LINK FENCE AT (TPZ), TEMPORARY TREE PROTECTION ZONE

EXISTING TREES

TREE NO	TREE SPECIES	STATUS	REASON FOR REMOVAL	SIZE DBH (INCH)	HERITAGE OR PROTECTED TREE	APPRAISED VALVE
1	CALLERY PEAR, PYRUS CALLERYANA	SAVE	-	11.5	NO	-
2	CALLERY PEAR, PYRUS CALLERYANA	REMOVE	IN PROPOSED BUILDING	9.1	NO	-
3	STUMP	REMOVE	-	-	NO	-
4	CALLERY PEAR, PYRUS CALLERYANA	REMOVE	IN PROPOSED BUILDING	10.0	NO	-
5	CALLERY PEAR, PYRUS CALLERYANA	REMOVE	IN PROPOSED BUILDING	7.0	NO	-
6	CALLERY PEAR, PYRUS CALLERYANA	REMOVE	IN PROPOSED BUILDING	10.0	NO	-
7	JAPANESE MAPLE, ACER PALMATUM	REMOVE	IN PROPOSED BUILDING	6.9	NO	-
8	EUCALYPTUS SPP.	REMOVE	STRUCTURAL ISSUES	24.0	HERITAGE	\$12,500.00
9	CRAPE MYRTLE, LAGERSTROEMIA INDICA	SAVE	-	4.0	NO	-
10	STUMP	REMOVE	-	-	NO	-
11	STUMP	REMOVE	-	-	NO	-
12	STUMP	REMOVE	-	-	NO	-
13	LINDEN, TILIA SPP.	SAVE	-	4.0	NO	-
14	COAST LIVE OAK, QUERCUS AGRIFOLIA	REMOVE	IN PROPOSED BUILDING	20.5	HERITAGE	\$10,800.00
15	COAST LIVE OAK, QUERCUS AGRIFOLIA	REMOVE	IN PROPOSED BUILDING	23.7	HERITAGE	\$14,400.00
16	COAST REDWOOD, SEQUOIA SEMPERVIRENS	REMOVE	IN PROPOSED GRADING	14.4	NO	-
17	ZELKOVA, ZELKOVA SERRATA	SAVE	-	5.0	NO	-
TOTAL NUMBER OF (E) TREES					17	
TOTAL NUMBER OF (E) TREES TO BE REMOVED					13	
TOTAL NUMBER OF HERITAGE TREES TO BE REMOVED					4	
TOTAL APPRAISED VALVE						\$37,700.00

REFER TO FULL ARBORIST REPORT AS PREPARED BY KATHERINE NAEGELE AT AESCULUS ARBORCULTURAL CONSULTING (AACARBOR.COM), DATED 05-30-2022.

REPLACEMENT TREE

BOTANICAL NAME	COMMON NAME	CONT SIZE	MONETARY VALUE	QTY	VALUE PER TREE
STREET TREE					
LAGERSTROEMIA x 'MUSKOGEE'	'MUSKOGEE' CRAPE MYRTLE	48" BOX	\$5,000.00	3	\$15,000.00
TILIA TOMENTOSA	SILVER LINDEN	48" BOX	\$5,000.00	1	\$5,000.00
TREE ON GROUND LEVEL					
AFROCARPUS GRACILIOR	AFRICAN FERN PINE	36" BOX	\$1,200.00	6	\$7,200.00
LAURUS NOBILIS 'SARATOGA'	SARATOGA LAUREL	36" BOX	\$1,200.00	4	\$4,800.00
TREE ON PODIUM AND ROOF TERRACE					
x CHITALPA 'PINK DAWN'	PINK CHITALPA	24" BOX	\$400.00	13	\$5,200.00
HOWEA FORESTRIANA	KENTIA PALM	24" BOX	\$400.00	4	\$1,600.00
MAGNOLIA 'LITTLE GEM'	LITTLE GEM MAGNOLIA	24" BOX	\$400.00	5	\$2,000.00
OLEA 'SWAN HILL'	SWAN HILL OLIVE	24" BOX	\$400.00	1	\$400.00
TOTAL VALVE					\$41,200.00

APPROVED HERITAGE REPLACEMENT TREES & MONETARY VALUE PER SIZES REFER TO CITY ORDINANCE SECTION 13.24.090. ALSO SEE SHEET L-1 LANDSCAPE PLANS.

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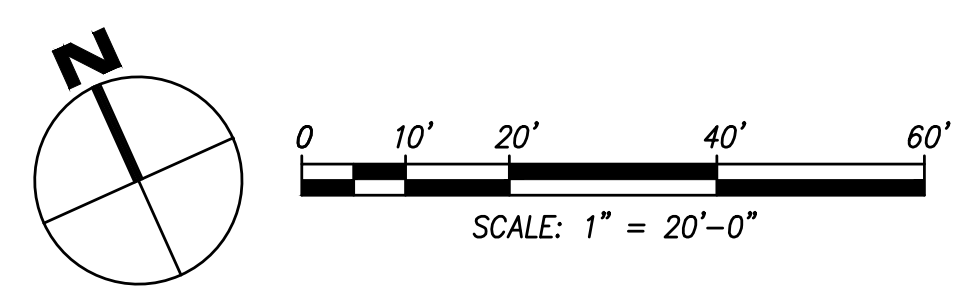
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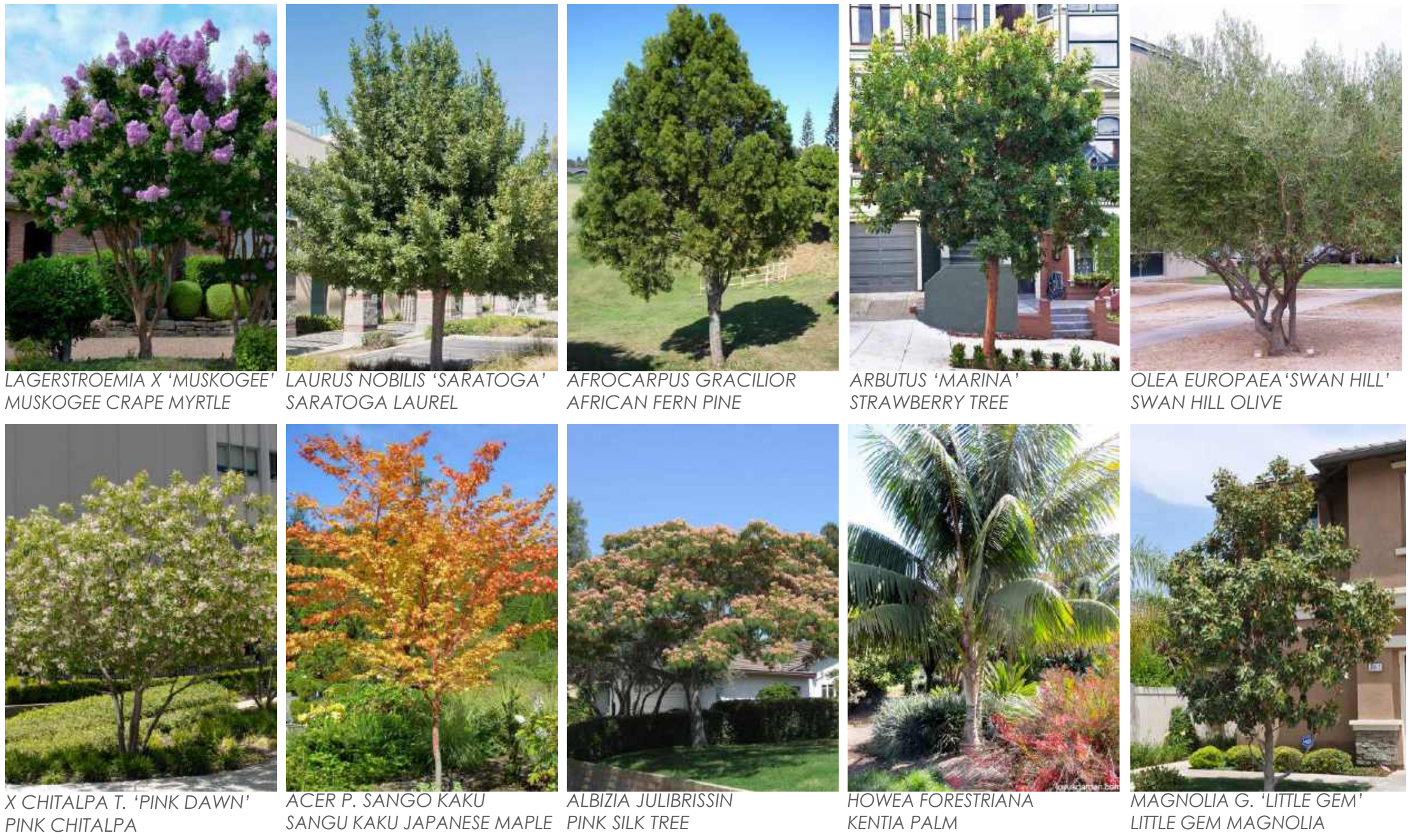
SCALE: 1" = 10'-0"

TREE REMOVAL & REPLACEMENT PLAN



PRELIMINARY PLANT PALETTE						
SYMBOL	BOTANICAL NAME	COMMON NAME	CONT SIZE	SPACING	WTR USE	
STREET TREES						
	LAGERSTROEMIA x 'MUSKOGEE'	'MUSKOGEE' CRAPE MYRTLE	48" BOX	PER PLAN	L	
	TILIA TOMENTOSA	SILVER LINDEN	48" BOX	PER PLAN	L	
TREES ON GROUND LEVEL						
	AFROCARPUS GRACILIOR	AFRICAN FERN PINE	36" BOX	PER PLAN	M	
	LAURUS NOBILIS 'SARATOGA'	SWEET BAY	36" BOX	PER PLAN	L	
PODIUM AND ROOF TERRACE TREES						
	X CHITALPA TASHKENTENSIS 'PINK DAWN'	PINK CHITALPA	24" BOX	PER PLAN	L	
	ACER PALMATUM 'SANGU KAKU'	JAPANESE MAPLE	24" BOX	PER PLAN	M	
	ALBIZIA JULIBRISSIN 'ROSEA'	MIMOSA TREE	24" BOX	PER PLAN	L	
	ARBUTUS 'MARINA'	'MARINA' STRAWBERRY TREE	24" BOX	PER PLAN	L	
	HOWEA FORSTERIANA	KENTIA PALM	24" BOX	PER PLAN	M	
	KOELREUTERIA BIPINNATA	CHINESE FLAME TREE	24" BOX	PER PLAN	M	
	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	LITTLE GEM MAGNOLIA	24" BOX	PER PLAN	M	
	OLEA EUROPAEA 'SWAN HILL'	SWAN HILL FRUITLESS OLIVE	24" BOX	PER PLAN	L	
SHRUBS, GRASSES & PERENNIALS						
	ACACIA COGNATA 'COUSIN ITT'	LITTLE RIVER WATTLE	5 GAL	4'-0" OC	L	
	AEONIUM 'MINT SAUCER'	SAUCER PLANT	1 GAL	2'-0" OC	L	
	AGAVE ATTENUATA 'NOVA'	BLUE FOXTAIL AGAVE	1 GAL	5'-0" OC	L	
	ARCTOSTAPHYLOS 'JOHN DOURLEY'	JOHN DOURLEY MANZANITA	5 GAL	4'-0" OC	L	
	ASPIDISTRA ELATIOR	CAST IRON PLANT	1 GAL	2'-0" OC	L	
	CEANOETHUS 'DARK STAR'	DARK STAR CEANOETHUS	1 GAL/♀	8'-0" OC	L	
	CHONDROPETALUM TECTORUM 'EL CAMPO'	EL CAMPO CAPE RUSH	5 GAL/♀	4'-0" OC	L	
	CISTUS X HYBRIDUS	ROCK ROSE	5 GAL/♀	1'-0" OC	L	
	DIANELLA REVOLUTA 'LITTLE REV'	LITTLE REV FLAX LILY	5 GAL	2'-0" OC	L	
	DIETES BICOLOR	FORTNIGHT LILY	5 GAL	3'-0" OC	L	
	EUPHORBIA X MARTINII 'RED MARTIN'	SPURGE	1 GAL/♀	2'-0" OC	L	
	FESTUCA MAIREI	MT ATLAS FESCUE	1 GAL/♀	3'-0" OC	L	
	HELICHO TRICHON SEMPERVIRENS	BLUE OAT GRASS	1 GAL/♀	2'-0" OC	L	
	HEPERALOE PARVIFOLIA 'BREAKLIGHT'	RED YUCCA	5 GAL	4'-0" OC	L	
	NANDINA 'LEMON LIME'	HEAVENLY BAMBOO	5 GAL/♀	2'-0" OC	L	
	LOMANDRA L. 'BREEZE'	DWARF MAT RUSH	1 GAL	3'-0" OC	L	
	MAHONIA AQUIFOLIUM	OREGON GRAPE	♀	2'-0" OC	L	
	MUHLENBERGIA DUBIA	PINE MUHLY	5 GAL	2'-6" OC	L	
	PITOSPORIUM 'CREME DE MINT'	DWARF MOCK ORANGE	5 GAL	3'-0" OC	L	
	PITOSPORIUM TENUIFOLIUM 'SILVER SHEEN'	SILVER SHEEN KOHUU	5 OR **1.5 GAL/♀	3'-0" OC	L	
	POLYSTICHUM MUNIUM	WESTERN SWORD FERN	1 GAL	3'-0" OC	M	
	SARCOCOCCA HOOKERIANA VAR HUMILIS	SWEET BOX	1 GAL/♀	3'-0" OC	L	
	SOLLYA HETEROPHYLLA	AUSTRALIAN BLUEBELL	5 GAL	3'-0" OC	L	
	LOROPETALUM CHINENSE 'SHANG-WHITE'	EMERALD SNOW FRINGE FLOWER	5 GAL	4'-0" OC	L	
	PHORMIUM SPECIES	NEW ZEALAND FLAX	5 GAL	VARIABLE	L	
	PITOSPORIUM TOBIRA 'VARIEGATA'	VARIEGATED MOCK ORANGE	5 GAL	4'-0" OC	L	
	ROSMARINUS TUSCAN BLUE	ROSEMARY	5 GAL	4'-0" OC	L	
	SALVIA LEUCANTHA 'SANTA BARBARA'	MEXICAN BUSH SAGE	5 GAL	4'-0" OC	L	
	SANTOLINA CHAMAECYPARISSUS	GRAY LAVENDER COTTON	1 GAL	3'-0" OC	L	
GROUNDCOVER						
	CAREX TUMULICOLA	BERKELEY SEDGE	1 GAL	3'-0" OC	L	
	CISTUS S. 'PROSTRATUS'	SAGELEAF ROCKROSE	1 GAL	4'-0" OC	L	
	SATUREJA DOUGLASII	YERBA BUENA	1 GAL	2'-0" OC	L	
	SASA VEITCHII	NAGASA BAMBOO	1 GAL	3'-0" OC	L	
	SENECIO SERPENS	BLUE CHALK STICK	1 GAL	2'-0" OC	L	
	STACHYS BYZANTINA	LAMB'S EAR	1 GAL	1'-6" OC	L	
STORMWATER						
	CAREX TUMULICOLA	BERKELEY SEDGE	5 GAL	2'-0" OC	L	
	CHONDROPETALUM ELEPHANTINUM	LARGE CAPE RUSH	5 GAL	6'-0" OC	L	
	FESTUCA MAIREI	ATLAS FESCUE	5 GAL	3'-0" OC	L	
	IRIS DOUGLASIANA	DOUGLAS IRIS	5 GAL	2'-0" OC	L	
	JUNCUS PATENS	CALIFORNIA GRAY RUSH	5 GAL	2'-6" OC	L	
	SALVIA ULIGINOSA	BLUE SPIKE SAGE	5 GAL	2'-0" OC	L	
	SYRSINCHIUM BELLUM 'NORTH COAST'	BLUE-EYED GRASS	5 GAL	1'-0" OC	L	

PLANT IMAGERY



SHRUBS, GRASSES & PERENNIALS



IRRIGATION DESIGN INTENT

- THESE PLAN SHALL COMPLY WITH THE REQUIREMENTS OF THE STATE OF CALIFORNIA'S MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO), AND THE CITY OF MENLO PARK DESIGN GUIDELINES.
- IRRIGATION WITHIN PUBLIC RIGHT OF WAY SHALL COMPLY WITH CITY STANDARD DETAILS LS-1 THROUGH LS-19 AND SHALL BE CONNECTED TO THE ON-SITE WATER SYSTEM.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE THE MINIMUM AMOUNT OF WATER NECESSARY TO SUSTAIN GOOD PLANT HEALTH.
- THE IRRIGATION SYSTEM IS TO BE A FULLY AUTOMATIC, WEATHER-BASED SYSTEM USING RAIN SENSOR, LOW FLOW DRIP AND BUBBLER DISTRIBUTION, AND SPRINKLERS WITH MATCHED PRECIPITATION RATE NOZZLES DESIGNED FOR HEAD-TO-HEAD COVERAGE.
- IRRIGATION CONTROLLER DO NOT LOSE PROGRAMMING DATA WHEN POWER SOURCE IS INTERRUPTED.
- ALL SELECTED COMPONENTS SHALL BE PERMANENT, COMMERCIAL GRADE, SELECTED FOR DURABILITY, VANDAL RESISTANCE, AND MINIMUM MAINTENANCE REQUIREMENT.
- THE SYSTEM SHALL INCLUDE A MANUAL SHUT-OFF VALVE, PRESSURE REGULATOR, MASTER CONTROL VALVE, AND FLOW SENSING CAPABILITY WHICH WILL SHUT DOWN ALL OR PART OF THE SYSTEM IF LEAKS ARE DETECTED.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED TO DELIVER WATER TO HYDROZONES BASED ON MOISTURE REQUIREMENTS OF THE PLANT GROUPING.

PLANTING DESIGN INTENT

- ALL TREES WITHIN 5' OF PAVEMENT SHALL USE TREE ROOT BARRIERS.
- ALL TREES, EXISTING AND PROPOSED, SHALL BE A MINIMUM OF FIVE (5) FEET FROM ANY EXISTING OR PROPOSED ELECTRIC DEPARTMENT FACILITIES. EXISTING TREES IN CONFLICT WILL HAVE TO BE REMOVED. TREES SHALL NOT BE PLANTED IN PUE'S OR ELECTRIC EASEMENTS.
- THE PLANTING DESIGN SHALL UTILIZE A VARIETY OF MEDITERRANEAN-STYLE, NATIVE, AND DROUGHT-TOLERANT PLANT SPECIES TO CREATE LAYERS OF COLOR AND TEXTURE TO COMPLEMENT THE ARCHITECTURE AND SETTING.
- PLANT SPECIES SHALL BE SELECTED BASED ON LOCAL CLIMATE SUITABILITY, DISEASE AND PEST RESISTANCE, AND WATER-USE AS LISTED IN THE STATE OF CALIFORNIA'S MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO) PLANT LIST, WUCOLS IV.
- 80% OF PLANT MATERIAL TO BE NATIVE OR LOW WATER USE AND FOLLOW MWELO GUIDELINES.
- TURF/LAWN SHALL NOT EXCEED 10% OF THE LANDSCAPE AREA. TURF SPECIES, IF INCLUDED, SHALL BE A FESCUE-BLEND TURF GRASS TO MINIMIZE WATER CONSUMPTION.
- NO PLANT CONSIDERED INVASIVE IN THE REGION AS LISTED BY THE CAL-IPC WILL BE USED.
- THE PLANTING DESIGN SHALL ALLOW FOR THE PLANTS TO REACH THEIR NATURAL, FULL-GROWN SIZE TO ELIMINATE THE NEED FOR EXCESSIVE PRUNING OR HEDGING.
- PLANTS SHALL BE GROUPED IN HYDROZONES BASED ON WATER USE AND EXPOSURE.
- TREE LOCATIONS SHALL BE DESIGNED FOR MAXIMUM AESTHETIC EFFECTS AND PASSIVE SOLAR BENEFITS, CREATING SUMMER SHADE AND WINTER SUN EXPOSURE.
- ALL PLANTING AREAS SHALL RECEIVE A 3-INCH LAYER OF MULCH.

City of Menlo Park - Water Efficient Landscape Ordinance (WELO)

Landscape Application Checklist

Page 1 of 2

I certify that the subject project meets the specified requirements of the Water Conservation in Landscaping Ordinance.

Signature: [Signature] Date: 7/29/2022

Project Information

New Construction Rehabilitated Other:
 Single Family Multi-Family Institutional Irrigation only Industrial Other:

Applicant Name (print): March Capital Fund Contact Phone #: (310) 498-7575

Project Site Address: 3705 Haven Avenue

Project Area (sq. ft. or acre): <u>28,808sf</u>	# of Units: <u>112</u>	# of Meters: <u>2 (dom+irr)</u>	Agency Review (Pass) (Fail)
For a single-family project, or a single-family development project, enter this information on an average, per unit basis. For all other projects, input an aggregate value for the entire project.	Total Landscape Area (sq. ft.): <u>4,102</u>	<input type="checkbox"/> <input type="checkbox"/>	
	Turf Irrigated Area (sq. ft.): <u>0</u>	<input type="checkbox"/> <input type="checkbox"/>	
	Non-Turf Irrigated Area (sq. ft.): <u>4,102</u>	<input type="checkbox"/> <input type="checkbox"/>	
	Irrigated Special Landscape Area (SLA) (sq. ft.): <u>0</u>	<input type="checkbox"/> <input type="checkbox"/>	
	Water Feature Surface Area (sq. ft.): <u>480 (pool)</u>	<input type="checkbox"/> <input type="checkbox"/>	

Compliance (Choose One)

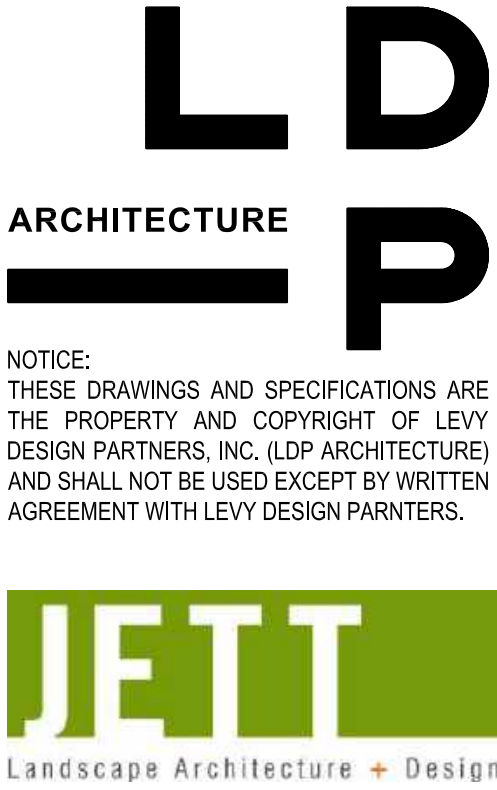
Requirements	Project Compliance (Must be Yes)	Agency Review
<input type="checkbox"/> Prescriptive A (Residential under 2,500 SF) Impacted landscape is ≤ 2,500 sf Project has 25% max turf Project has 75% low WUCOLS (0.3 avg)	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> <input type="checkbox"/>
<input type="checkbox"/> Prescriptive B (Commercial under 2,500 SF) Impacted landscape is ≤ 2,500 sf Project has 0% turf Project has 100% low WUCOLS (0.3 avg)	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No	
<input type="checkbox"/> Prescriptive C (All Projects over 2,500 SF) Impacted landscape is ≥ 2,500 sf Project has 0% turf and 0% High WUCOLS Project has 80% low WUCOLS	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No	
<input checked="" type="checkbox"/> Water Budget Worksheet is from City's WELO webpage ETWU < MAWA	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Documentation to be provided in Improvement Plans <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	

Landscape Parameter	Requirements	Project Compliance	Agency Review
Turf	There is no turf in parkways < 10 feet wide All turf is planted on slopes ≥ 25%	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No, if adjacent to a parking strip <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> <input type="checkbox"/>
Hydrozones	Plants are grouped by Hydrozones	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> <input type="checkbox"/>
Compost	At least 4 cubic yards per 1,000 sq ft to a depth of 6 inches	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No, See Soil Test	<input type="checkbox"/> <input type="checkbox"/>
Mulch	At least 3-inches of mulch on exposed soil surfaces	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> <input type="checkbox"/>
Irrigation System	Use of automatic irrigation controllers that use evapotranspiration or soil moisture sensor data and utilize a rain sensor	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> <input type="checkbox"/>
	Irrigation controllers do not lose programming data when power source is interrupted	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> <input type="checkbox"/>
	Irrigation system includes pressure regulators	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> <input type="checkbox"/>
	Manual shut-off valves are installed near the connection to the water supply All sprinkler heads installed in the landscape must document a distribution uniformity low quarter of 0.65 or higher Areas < 10 feet shall be irrigated with subsurface irrigation	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No, but there is no runoff or overspray	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>

Page 2 of 2

Metering	Separate irrigation meter (Residential ONLY) Separate irrigation submeters for landscape areas ≥ 1,000 sq ft (Commercial ONLY)	<input type="checkbox"/> Yes <input type="checkbox"/> No, not required if < 5,000 sq ft <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
Swimming Pools / Spas	Cover required for new pools and spas	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No, no new pool or spa	<input type="checkbox"/> <input type="checkbox"/>
Water Features	Recirculating	<input type="checkbox"/> Yes NA	<input type="checkbox"/> <input type="checkbox"/>
Documentation (per section 492.3)	Project Information	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> <input type="checkbox"/>
	Water Budget Calculation Worksheet (optional if Prescriptive Option is chosen)	<input type="checkbox"/> Prepared by professional	<input type="checkbox"/> <input type="checkbox"/>
	Landscape Design Plan (optional if < 1,000 sq ft of landscape area) Irrigation Design Plan (optional if < 1,000 sq ft of landscape area) Grading Design Plan (optional if < 1,000 sq ft of landscape area)	<input type="checkbox"/> Prepared by professional <input type="checkbox"/> Prepared by professional <input type="checkbox"/> Prepared by professional	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
Audit	Landscape Audit Report completed	<input type="checkbox"/> Completed by professional	<input type="checkbox"/> <input type="checkbox"/>

Auditor:	Material Distributed to Applicant
Materials Received and Reviewed: <input type="checkbox"/> Project Information <input type="checkbox"/> Water Budget Calculation Worksheet <input type="checkbox"/> Landscape Application Checklist <input type="checkbox"/> Certificate of Completion <input type="checkbox"/> Landscape Audit Report <input type="checkbox"/> Landscape Design Plan w/ WUCOLS Listing <input type="checkbox"/> Soil Management Report <input type="checkbox"/> Irrigation Design Plan <input type="checkbox"/> Grading Design Plan	<input type="checkbox"/> Regional Water Efficient Landscape Ordinance <input type="checkbox"/> Landscape Application Checklist <input type="checkbox"/> Water Budget Calculation Worksheet <input type="checkbox"/> WUCOLS Listing <input type="checkbox"/> Other:
Date Reviewed: <input type="checkbox"/> Follow up required (explain):	Measures Recommended to Applicant <input type="checkbox"/> Drip irrigation <input type="checkbox"/> Plant palette <input type="checkbox"/> Grading <input type="checkbox"/> Pool and/or spa cover <input type="checkbox"/> Dedicated irrigation meter <input type="checkbox"/> Other:
Date Resubmitted: Date Approved:	
Dedicated Irrigation Meter Required: Meter sizing:	
Comments:	



3705 HAVEN AVE
MENLO PARK, CA

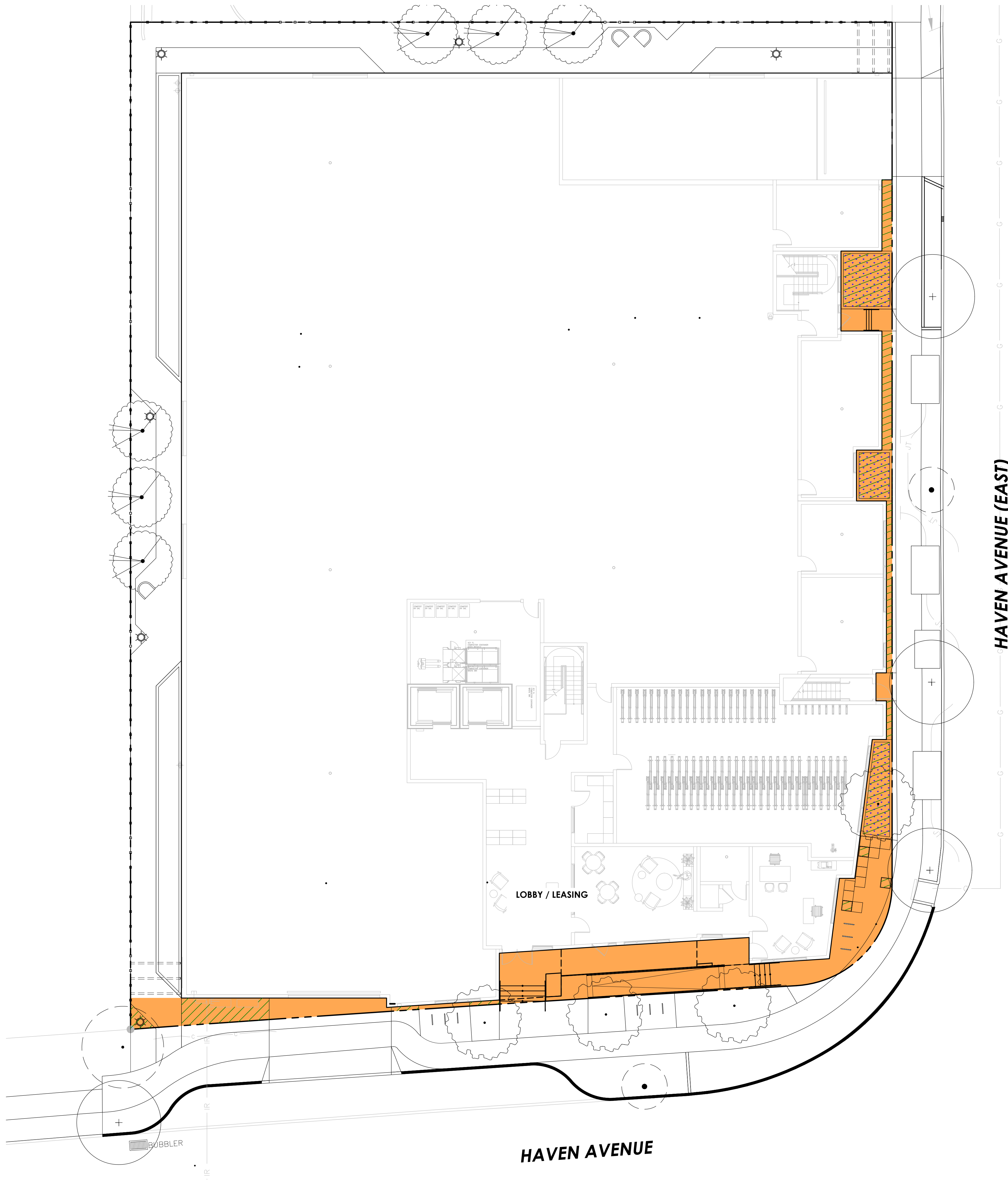
REV	DATE	DESCRIPTION
04-29-2022	SB330 PRELIM APPLICATION	
11-17-2022	PLANNING APPLICATION	
05-12-2023	PLANNING RESUBMITTAL	
09-01-2023	PLANNING RESUBMITTAL DRAFT	
09-21-2023	PLANNING RESUBMITTAL	

CONTACT:

(415) 777-0561 P
(415) 777-5117 F

SCALE: N/A

WELO CHECKLIST,
PLANT PALETTE,
AND NOTES



LANDSCAPE FRONTAGE CALCULATIONS

FRONTAGE AREA/SETBACK (AREA BETWEEN PROPERTY LINE AND FACE OF BUILDING)	1484 SF				
	REQUIRED AREA (SF)	REQUIRED %	PROVIDED AREA (SF)	PROVIDED %	
FRONTAGE LANDSCAPING (AREA OF FRONTAGE DEDICATED TO VEGETATION)	371 SF	25%	438 SF	30%	
STORMWATER TREATMENT WITHIN FRONTAGE LANDSCAPING	186 SF	50%	223 SF	60%	

**3705 HAVEN AVE
MENLO PARK, CA**

3705 HAVEN AVE
MENLO PARK, CA

PROJECT NO. 21-07
PARCEL NO. 055170240

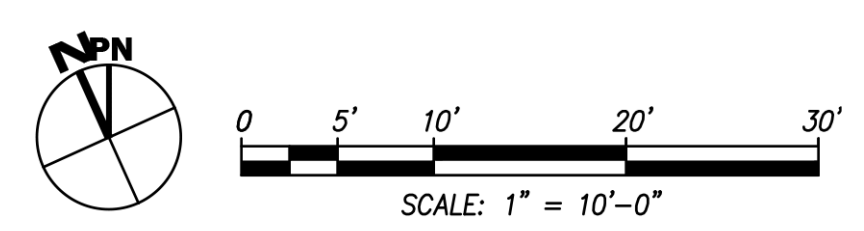
REV	DATE	DESCRIPTION
04-29-2022		SB330 PRELIM APPLICATION
11-17-2022		PLANNING APPLICATION
05-12-2023		PLANNING RESUBMITTAL
09-01-2023		PLANNING RESUBMITTAL DRAFT
09-21-2023		PLANNING RESUBMITTAL

CONTACT:

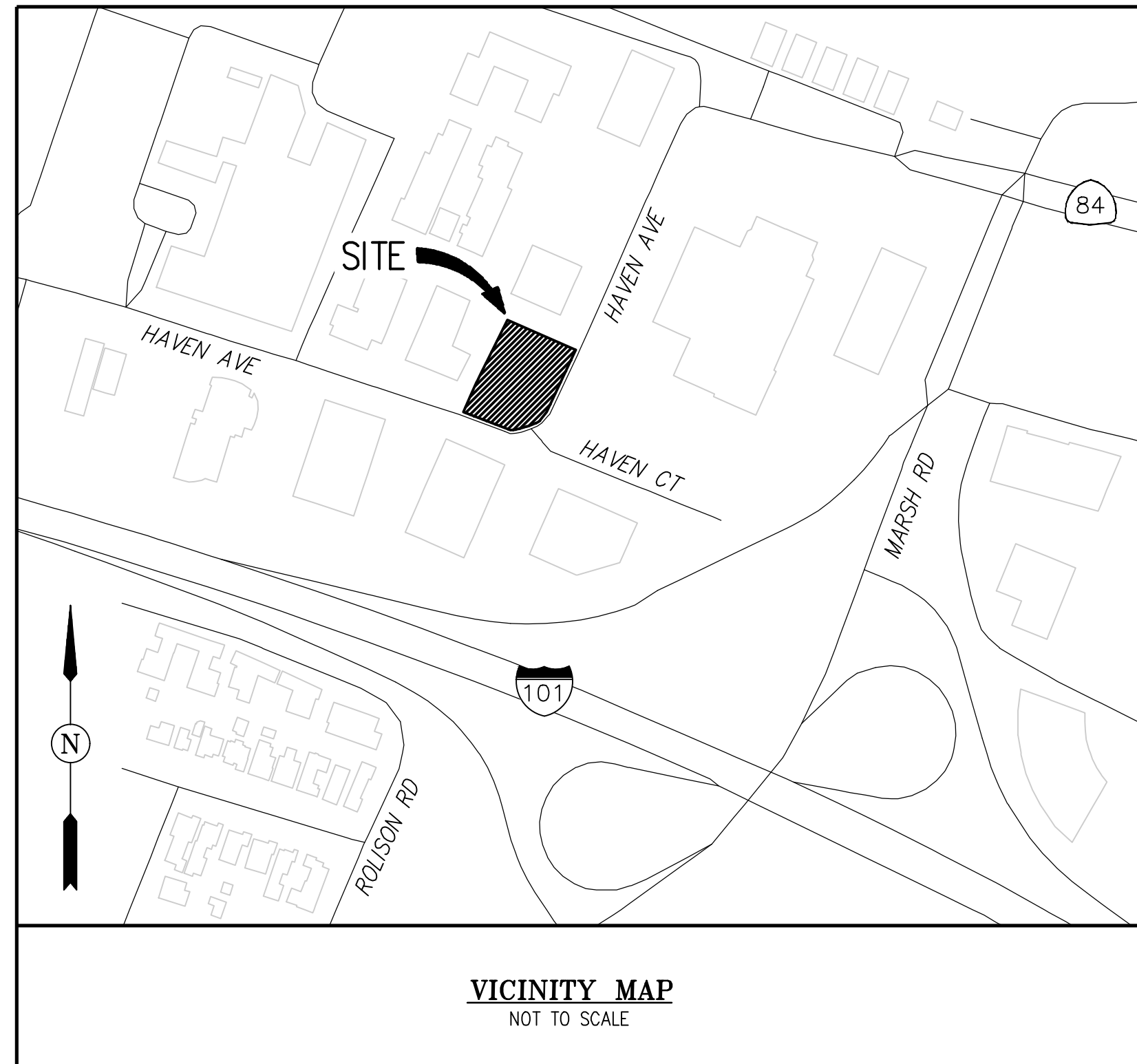
(415) 777-0561 P
(415) 777-5117 F

SCALE: 1" = 10'-0"

**LANDSCAPE
FRONTAGE
CALCULATIONS**

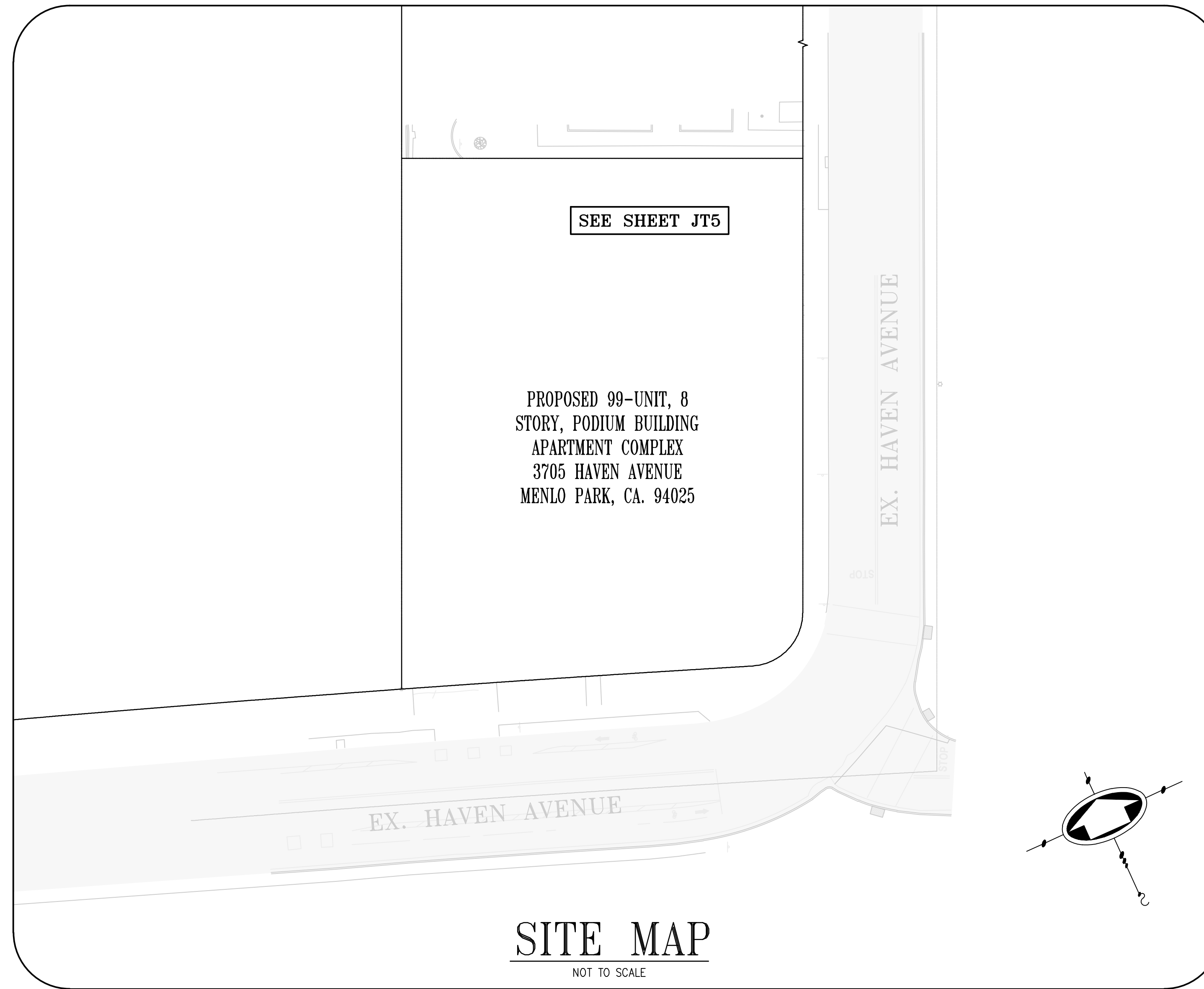


MARCH CAPITAL MANAGEMENT
 3705 HAVEN AVENUE
 MENLO PARK SAN MATEO COUNTY CALIFORNIA



SHEET INDEX

SHEET NO.	DESCRIPTION
JT1	JOINT TRENCH COMPOSITE TITLE SHEET
JT2	JOINT TRENCH GENERAL NOTES AND DETAILS
JT3	JOINT TRENCH DETAILS
JT4	JOINT TRENCH SECTIONS AND DETAILS
JT5	JOINT TRENCH COMPOSITE PLAN



LEGEND

— JT —	PROPOSED JOINT TRENCH
— JTX —	PROPOSED JOINT TRENCH CROSSING
— SVC —	PROPOSED JOINT TRENCH SERVICE
— EX-JT —	EXISTING JOINT TRENCH
— EX-GAS —	EXISTING GAS
— ESL —	EXISTING STREET LIGHT CONDUIT
— EEUG —	EXISTING UNDERGROUND ELECTRIC LINES
— EUUG —	EXISTING UNDERGROUND UTILITY LINES
— EUOH —	EXISTING OVERHEAD UTILITY LINES
— EEOH —	EXISTING OVERHEAD ELECTRIC LINES
— CUG —	PROPOSED UNDERGROUND CATV LINES
— EUG —	PROPOSED UNDERGROUND ELECTRIC LINES
— TUG —	PROPOSED UNDERGROUND TELEPHONE LINES
—	DESIGNATES UTILITY LINES TO BE REMOVED
□	EXISTING PRIMARY SPLICE BOX
□	EXISTING SECONDARY SPLICE BOX
7	PG&E SPLICE BOX, 4'6" x 8'6" x 6" (LID DIMENSIONS) 5'6" x 9'6" x 6'7" (OVERALL DIMENSIONS)
PG&E 3ø, UCD	PG&E 3ø, UCD, SUBSURFACE TRANSFORMER, 4'6" x 8'6" x 7'6" 5'6" x 9'6" x 6'7" (OVERALL DIMENSIONS)
T8	TELEPHONE SERVICE BOX, 48" x 72" x 48"
●	JOINT/UTILITY POLE
●	EXISTING JOINT/UTILITY POLE
⚡	ELECTROLIER, SINGLE ARM

TARRAR UTILITY REP.:	KARA PEDERSEN	JOB NO.	222068	PHONE NO.	(925) 240-2595
DEVELOPER:	EDUARDO SAGUES	JOB NO.	222068	PHONE NO.	(310) 498-7575
PG&E ELECTRIC COORDINATOR:	JASON KWAN	JOB NO.	127555781	PHONE NO.	(650) 830-1475
PG&E GAS COORDINATOR:	-	JOB NO.	-	PHONE NO.	-
TELEPHONE REP.:	DAVID CLARK	JOB NO.	-	PHONE NO.	(408) 635-8824
CABLE T.V. REP.:	COMCAST CALIFORNIA INTENTS	JOB NO.	-	PHONE NO.	-

TARRAR UTILITY CONSULTANTS
 APPROVED FOR SUBMITTAL
 KARA PEDERSEM
 QUALIFIED APPLICANT DESIGNER

DESIGN CHANGE COMPONENT
 ANY CHANGES TO THIS DESIGN
 MUST BE APPROVED BY

 PG&E GAS ADE

COMPOSITE DRAWING BY DEVELOPER

Estimate # _____

Approved _____ Gas ADE _____ Date _____

Approved _____ Electric ADE _____ Date _____

PG & E is not responsible for the accuracy of the specifications shown on this drawing.

485 L.F. OF JOINT TRENCH AND ONE PUBLIC STREET LIGHT SHALL BE INSTALLED WITH THIS JOINT TRENCH PLAN SET

- 1 NEW PODIUM APARTMENTS (99 UNITS)
- 1 NEW SERVICE COMPLETIONS (ELECTRIC, TELEPHONE, CATV)

FILES STATUS

DESCRIPTION:	BY:	DATE:	STATUS:
CIVIL PLANS (ELECTRONIC FILE)	LEA & BRAZE ENGINEERING, INC.	05-12-2022	R
ARCHITECTURAL PLANS (ELECTRONIC FILE)	LDP ARCHITECTURE	05-12-2022	R
LANDSCAPE PLANS (ELECTRONIC FILE)	JETT LANDSCAPE	05-12-2022	R
GAS DESIGN	-	-	-
ELECTRIC DESIGN	BROWN ELECTRIC ESTIMATING	XX-XX-XXXX	XXXX
TELEPHONE INTENT REPLY	AT&T	XX-XX-XXXX	XXXX
CATV INTENT REPLY	COMCAST	XX-XX-XXXX	XXXX
STREET LIGHT PLANS - PUBLIC	-	-	-
STREET LIGHT PLANS - PRIVATE	-	-	-
SOILS REPORT	XXXX	XX-XX-XXXX	XXXX

A = APPROVED • ANS = APPROVED NOT SIGNED • NA = NOT APPROVED • F = FIRST SUBMITTAL • SS = SECOND SUBMITTAL • R = RECEIVED

SUBSTRUCTURE VERIFICATION STAMP
 DEVELOPER NOTE AND SIGN
 ALL PG&E ENCLOSURES AND BOXES HAVE BEEN SET TO GRADE ACCORDING TO GRADE STAKES PROVIDED BY DEVELOPERS ENGINEER. ALL COSTS TO RELOCATE OR READJUST BOXES AT A LATER DATE WILL BE BILLED TO THE DEVELOPER. PLEASE HAVE YOUR JOB SUPT. VERIFY THE CORRECT GRADE OF ALL ENCLOSURES AND BOXES, AND SIGN AND DATE DRAWING.
 THANK YOU
 SIGNED _____
 DATE: _____

COMPOSITE DRAWING BY DEVELOPER

Approved _____ Telephone representative _____ Date _____

Approved _____ CATV representative _____ Date _____

813 First Street
 Brentwood, CA 94513
 (925) 240-2595
 (925) 240-7013 fax
 www.tarrar.com

TARRAR
 UTILITY CONSULTANTS

- Planning
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- Estimating
- Joint Trench
- Street Lighting
- Fiber Optic
- T-24
- PG&E Gas Design
- PG&E Elec Design
- M.E.P. Design
- Cost Analysis
- Due Diligence

JOINT TRENCH COMPOSITE TITLE SHEET
 MARCH CAPITAL MANAGEMENT
 3705 HAVEN AVENUE
 MENLO PARK CALIFORNIA

NO.	REVISIONS	BY	DATE

DATE: MAY 2022 DATE LAST WORKED ON: 3/20/2024
 SCALE: NOT TO SCALE DRAWN: HK CHECKED: AR
 JOB NO.: 222068

INTENT TO CONSTRUCT

811
 CALL BEFORE YOU DIG
 UNDERGROUND SERVICE ALERT

REGISTERED PROFESSIONAL ENGINEER
 KARLA LAFAY ZARZA
 C 59346
 Exp. 06/30/23
 CIVIL
 STATE OF CALIFORNIA

SHEET
 JT1
 OF
 JT5
 SHEETS

PROJECT NOTES:

1. FIELD ADJUST SERVICES TO MINIMIZE INTERFERENCE WITH EXISTING FACILITIES (TYPICAL).
2. CONTRACTOR SHALL PERFORM ALL TRENCHING, EXCAVATING, BACKFILLING AND OTHER WORK AS SHOWN OR NOTED ON PLANS, AND AS SPECIFIED ON UTILITY BID DOCUMENTS.
3. FIELD ADJUST SPLICE BOXES TO KEEP CLEAR OF SIDEWALK, DRIVEWAYS AND EXISTING FACILITIES (TYPICAL).
4. A 3 FOOT LEVEL WORKING AREA MUST BE MAINTAINED AROUND ALL ELECTRIC ENCLOSURES. PRIOR TO ENERGIZING THE SYSTEM, THE ELECTRIC UTILITY COMPANY INSPECTOR WILL DETERMINE IF RETAINING WALLS ARE REQUIRED TO MEET MINIMUM CLEARANCE BETWEEN ENCLOSURES AND THE TOPS OR TOES OF SLOPES. IF RETAINING WALLS ARE REQUIRED, THE DEVELOPER AND/OR CONTRACTOR SHALL OBTAIN THE NECESSARY PERMITS FROM THE CITY/COUNTY BUILDING DEPARTMENT PRIOR TO WALL CONSTRUCTION.
5. TRANSITION TO VAULTS FROM TRENCH NOT SHOWN, SEE TRANSITION DETAIL SHEET JT3 (TYPICAL).
6. CONTRACTOR SHALL PLACE ALL UTILITY SPLICE BOXES, ENCLOSURES & CONDUIT IN PROPER RELATIONSHIP TO FINAL GRADE (SHOWN SCHEMATICALLY).
7. ALL PG&E, TELEPHONE, CABLE T.V. AND FIBER OPTIC BOXES AND JOINT TRENCH FACILITIES ARE TO MAINTAIN A MINIMUM OF 3' SEPARATION FROM SEWER, WATER LATERALS AND DRIVEWAYS.
8. CONTRACTOR SHALL COORDINATE ALL CONNECTIONS BETWEEN PROPOSED AND EXISTING FACILITIES AS DIRECTED BY THE RESPECTIVE UTILITY COMPANY INSPECTOR. UTILITY COMPANY PERSONNEL SHALL MAKE ALL "HOT TIE-INS"; THE CONTRACTOR IS PROHIBITED FROM WORKING IN ANY ENERGIZED FACILITIES.
9. THE CONTRACTOR SHALL OBTAIN THE APPROPRIATE STREET EXCAVATION AND ENCROACHMENT PERMIT(S) FROM THE CITY/COUNTY PRIOR TO STARTING WORK IN THE PUBLIC STREET AREA.
10. FIELD LOCATE JOINT TRENCH FACILITIES TO KEEP CLEAR OF SERVICE LATERALS. SERVICE LATERALS TO BE ROUTED TO AVOID SPLICE BOX (ADDITIONAL P.U.E MAY BE REQUIRED).
11. RESPECTIVE UTILITY COMPANY TO OBTAIN CITY APPROVAL OF ALL ABOVE GROUND EQUIPMENT.
12. UNLESS OTHERWISE SHOWN ON THE PLANS, NATURAL BENDS SHALL BE USED FOR ALL CONDUIT EXCEPT STREET LIGHT CONDUIT.
13. INCIDENTAL TRENCHING TO SPLICE BOXES NOT SHOWN (TYPICAL). CONTRACTOR TO PROVIDE ADDITIONAL TRENCHING AS REQUIRED FOR CONDUIT ROUTING TO SPLICE BOXES AND CABINETS (TYPICAL).
14. ALL CONDUITS SHALL ENTER OR EXIT PERPENDICULAR TO BOX WALLS.
15. ALL CONDUITS MUST BE MANDREL TESTED AND APPROVED.
16. OFFSET SPLICE BOXES TO ROUTE TELEPHONE/FIBER OPTIC CONDUIT AS NEEDED (TYPICAL).
17. PULL ROPES SHALL BE PLACED IN ALL EMPTY CONDUITS AS REQUIRED BY EACH UTILITY COMPANY.
18. ALL PG&E SPLICE BOXES ADJACENT TO TRANSFORMER SHALL BE 26" IN DEPTH (TYPICAL).
19. ALL CONDUITS NOT ENTERING SPLICE BOXES OR ENCLOSURES SHALL BE CAPPED.
20. COORDINATE TIE-IN WITH UTILITY COMPANY AS REQUIRED.
21. THE STREET LIGHT SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE "MATERIAL AND LABOR RECAP" AND LIGHT SCHEDULE AS SHOWN ON THESE PLANS.
22. ALL EXISTING DUCTS TO BE USED IN THESE PLANS SHALL BE "VERIFIED" BY PULLING A MANDREL THROUGH THE ENTIRE EXISTING LENGTH PRIOR TO CONNECTION.
23. EDGE OF SPLICE BOXES & PEDESTALS SHALL BE 5' FROM EDGE OF FIRE HYDRANT AND 3' FROM STREET LIGHT (TYPICAL). CONTRACTOR TO AVOID DISTURBING FIRE HYDRANT THRUST BLOCK.
24. ALL UTILITY SUBSTRUCTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE "MATERIAL AND LABOR RECAP" SHOWN ON THESE PLANS.
25. MAINTAIN 3' CLEARANCE AND LEVEL AREA AROUND PRIMARY SPLICE BOXES & XFMRs.
26. DUE TO UNCERTAINTIES OF THE EXACT LOCATION OF EXISTING FACILITIES, FIELD LOCATION OF PROPOSED FACILITIES MAY BE REQUIRED. CONFIRM WITH VARIOUS UTILITIES FOR EXACT PLACEMENT.
27. FOR CLARITY - BOXES/PEDESTALS ARE SHOWN AT LARGER SIZE THAN ACTUAL. FIELD ADJUST TO KEEP CLEAR OF DRIVEWAYS (TYPICAL).
28. ALL SERVICE FACILITIES SHALL BE EXTENDED TO EITHER THE PROPERTY LINE OR TO POSITION SHOWN ON THE PLANS, AND THEN CAPPED, BURIED AND LOCATION STAKED.
29. THESE PLANS WERE PREPARED UTILIZING PLANS RECEIVED FROM LDP ARCHITECTURE (415) 777-0561.

GENERAL NOTES:

1. ALL JOINT TRENCH CONSTRUCTION WORK SHALL BE IN ACCORDANCE WITH PG&E UTILITY OPERATIONS UO STANDARD 55453.
2. ALL WORK SHALL BE SUBJECT TO THE INSPECTION AND SATISFACTION OF ALL PARTICIPATING UTILITIES AND CITY INSPECTORS.
3. BACKFILL SELECTION SHALL BE SUBJECT TO THE APPROVAL OF THE RESPECTIVE UTILITY COMPANIES, THE SOILS ENGINEER AND THE CITY AND/OR COUNTY WHERE THE PROJECT IS LOCATED. CONSULT PARTICIPATING UTILITIES, SOILS ENGINEER, AND THE CITY FOR APPROVED BACKFILL MATERIAL. COMPACTION TO MEET LOCAL AGENCIES REQUIREMENTS.
4. THE BOTTOM OF THE TRENCH SHALL BE CLEARED OF ROCKS AND OTHER HARD SURFACES. DISTRIBUTION TRENCHES WITHOUT TELEPHONE CONDUIT DO NOT REQUIRE BEDDING MATERIAL. SERVICE TRENCHES WITHOUT TELEPHONE CONDUIT REQUIRE 2" SAND BEDDING AS A PAD ON WHICH UTILITY FACILITIES CAN REST. SERVICE TRENCHES CONTAINING TELEPHONE CONDUIT ONLY REQUIRE A 1" SAND BEDDING. ALL OTHER TRENCHES CONTAINING TELEPHONE CONDUIT REQUIRE A 3" SAND BEDDING. REFER TO PG&E GREEN BOOK PUBLICATION 55453, EXHIBIT B AND AT&T SPEC95 "AT&T SPECIFICATIONS" TRENCHING AND CONDUIT GUIDE FOR FURTHER INFORMATION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE TO REPLACE PAVEMENT AND/OR SIDEWALK WHERE REMOVED OR DAMAGED AS A RESULT OF ITS OPERATION (UNLESS OTHERWISE NOTED). REPLACEMENT OF PAVEMENT AND/OR SIDEWALK TO BE PER CITY SPECIFICATIONS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND NOTIFY ALL PARTICIPATING UTILITY INSTALLATIONS.
7. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT FIRST NOTIFYING TARRAR UTILITY CONSULTANTS.
8. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE EXISTENCE AND/OR PRECISE LOCATION OF ALL UNDERGROUND FACILITIES PRIOR TO THE START OF CONSTRUCTION. TARRAR UTILITY CONSULTANTS MAKES NO WARRANTY WHATSOEVER THAT THE EXISTING UNDERGROUND UTILITIES AND/OR STRUCTURES DEPICTED ON THE PLANS HAVE BEEN ACCURATELY LOCATED OR THAT THERE ARE NO OTHER UNDERGROUND UTILITIES AND STRUCTURES IN ADDITION TO WHAT HAS BEEN SHOWN. CALL U.S.A. A MINIMUM OF 48 HOURS PRIOR TO STARTING CONSTRUCTION. FOR CALIFORNIA NORTH, (KERN COUNTY AND NORTHERLY, AND NEVADA) CALL (800)227-2600. FOR CALIFORNIA SOUTH, (SAN BERNARDINO COUNTY AND SOUTHERLY) CALL (800)422-4133.
9. CONTRACTOR SHALL COMPLY WITH ALL STATE, COUNTY AND CITY LAWS AND ORDINANCES AND WITH THE REGULATIONS OF THE DEPARTMENT OF INDUSTRIAL RELATIONS, O.S.H.A. AND ANY OTHER GOVERNMENTAL AGENCY RELATING TO THE SAFETY AND CHARACTER OF WORK, EQUIPMENT AND LABOR PERSONNEL.
10. THE DRAWINGS AND SPECIFICATIONS SHALL BE CONSIDERED TO BE COMPLEMENTARY TO EACH OTHER. ANYTHING SHOWN ON THE DRAWINGS AND NOT MENTIONED IN THE SPECIFICATIONS, OR MENTIONED IN THE SPECIFICATIONS AND NOT SHOWN ON THE DRAWINGS, SHALL BE OF LIKE EFFECT AS IF SHOWN ON OR MENTIONED IN BOTH. IF DISCREPANCY IS FOUND, NOTIFY TARRAR UTILITY CONSULTANTS PRIOR TO STARTING WORK.
11. TRENCH AND CONDUIT LAYOUTS ARE SHOWN SCHEMATICALLY.
12. TRENCHING OR SUBSTRUCTURE EXCAVATION MAY NECESSITATE OPERATION OVER, UNDER, OR ADJACENT TO OTHER UNDERGROUND UTILITIES (STORM, SEWER, WATER, ETC...). THE CONTRACTOR IS RESPONSIBLE TO LOCATE, PROSPECT, EXPOSE AND PROTECT ALL ADJACENT OR CROSSING UNDERGROUND UTILITIES. THIS WORK TO PROTECT THOSE UTILITIES IS NOT CONSIDERED AS EXTRA WORK. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW IMPROVEMENT PLANS, IN CONJUNCTION WITH THIS PLAN, AND BID THE WORK ACCORDINGLY.
13. THE QUANTITIES SHOWN ON THESE PLANS ARE ONLY ESTIMATES OF WHAT WILL ACTUALLY BE REQUIRED FOR THE CONSTRUCTION OF THE OVERALL PROJECT. FINAL QUANTITIES MAY VARY ACCORDING TO CHANGES, ADDITIONS, DELETIONS OR OMISSIONS ON THE ORIGINAL PLAN.
14. VERIFY ALL SUBSTRUCTURE EXCAVATION DIMENSIONS WITH SUPPLIER(S) BEFORE BIDDING.
15. TARRAR UTILITY CONSULTANTS ASSUMES NO RESPONSIBILITY FOR ANY VARIANCE BETWEEN THESE PLANS AND THE ACTUAL FIELD CONDITIONS. THE CONTRACTOR SHOULD REVIEW THE PROJECT SITE PRIOR TO SUBMITTING ITS BID.
16. THE CONTRACTOR IS REQUIRED TO EXCAVATE BELL HOLE(S) AT TIE-IN LOCATIONS AS DIRECTED BY PARTICIPATING UTILITY.
17. CONTRACTOR WILL COMPLY WITH ALL LAWS, ORDINANCES AND REGULATIONS. CONTRACTOR SHALL BE FAMILIAR WITH O.S.H.A. INDUSTRIAL ORDERS AND SHALL CONDUCT HIS WORK ACCORDINGLY. WHEN WORKING ENERGIZED EQUIPMENT, THE UTILITY OWNER SHALL BE NOTIFIED TO SUPPLY THE APPROPRIATE MAN POWER AND SAFETY PRECAUTIONS AS NEEDED. THE CONTRACTOR IS RESPONSIBLE FOR PUBLIC SAFETY AND TRAFFIC CONTROL MEASURES.
18. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE AS-BUILT DRAWINGS AFTER INSTALLATION OF PG&E'S GAS AND ELECTRIC SYSTEMS (PRIOR TO "HOT TIE-INS").
19. THE CITY INSPECTOR SHALL BE NOTIFIED TWO WORKING DAYS PRIOR TO COMMENCEMENT OF WORK. COORDINATE WITH THE INSPECTOR ANY SERVICES TO BE ABANDONED.
20. THE CONTRACTOR IS TO VERIFY THE RIGHT OF WAY, PUBLIC UTILITY EASEMENT AND/OR PUBLIC SERVICE EASEMENT ACQUISITION WITH THE APPLICANT PRIOR TO CONSTRUCTION WITHIN AREAS OF QUESTION.
21. PG&E'S GENERAL TERM AND CONDITIONS FOR GAS AND ELECTRIC EXTENSION AND SERVICE CONSTRUCTION BY "APPLICANT" (EFFECTIVE 07/1/95) TO BE UTILIZED FOR ALL TRENCHING, BACKFILLING, AND INSTALLATION WORK.
22. IN THE EVENT OF DISPUTES OR DISAGREEMENT OVER ANY INSTALLATIONS, DESIGNS, PLANS OR DRAWINGS, THE SPECIFICATIONS AND REQUIREMENTS OF THE INDIVIDUAL UTILITY COMPANIES AND THEIR INSPECTORS SHALL TAKE PRECEDENCE. IN CASE OF DISCREPANCIES WITHIN THE DRAWINGS AND SPECIFICATIONS HEREIN, THE CONTRACTOR SHALL CONSULT TARRAR UTILITY CONSULTANTS FOR INTERPRETATION BEFORE WORK IS STARTED.
23. TARRAR UTILITY CONSULTANTS HEREIN, ASSUMES NO RESPONSIBILITY WHATSOEVER FOR THE QUALITY, QUANTITY OR TIMING OF WORK TO BE PERFORMED BY THE CONTRACTOR, UTILITY COMPANY CONSTRUCTION CREWS, OR OTHER SUB-CONTRACTOR OF DEVELOPER.
24. ALL TRENCHING, BACKFILLING AND INSTALLATION WORK IS TO BE IN ACCORDANCE WITH THE STANDARD PRACTICES AND SPECIFICATIONS OF EACH UTILITY COMPANY PARTICIPATING IN THE UTILITY TRENCHES WITHIN THE PROJECT.
25. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING POINTS OF ACCESS THAT ARE AGREEABLE TO ADJACENT LAND USES AND TENANTS AT ALL TIMES.
26. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ASCERTAINING WHAT INSPECTIONS WILL BE REQUIRED FOR APPROVAL OF THE WORK AND FOR COORDINATING ALL SUCH INSPECTIONS. THE CONTRACTOR SHALL GIVE AT LEAST 48 HOURS PRIOR NOTICE TO THE CITY, SOILS ENGINEER, UTILITY COMPANIES OR ANY OTHER INDIVIDUALS OR PUBLIC AGENCIES, THAT THE WORK IS READY FOR INSPECTION.
27. THE CONTRACTOR SHALL NOTIFY DEVELOPER 48 HOURS PRIOR TO THE NEED FOR SURVEY STAKING. THE CONTRACTOR IS RESPONSIBLE FOR THE PRESERVATION OF ALL CONSTRUCTION STAKING SET BY THE DEVELOPER'S SURVEYORS AND WILL BE BACK CHARGED FOR ANY RE-STAKING THAT IS REQUIRED. ANY EXTRA CONSTRUCTION STAKING NECESSITATED SOLELY BY THE CONTRACTOR'S NEGLIGENCE WILL BE CHARGED TO AND PAID FOR BY THE CONTRACTOR.
28. ALL TRANSFORMERS AND TRANSFORMER PADS ARE TO BE INSTALLED PER PG&E SPECIFICATIONS. PROTECTIVE BOLLARDS ARE TO BE PLACED WHERE NEEDED.
29. THE CONTRACTOR SHALL MAKE HIMSELF FAMILIAR WITH THE PROJECT IMPROVEMENT PLANS AND CONDUCT HIS WORK ACCORDINGLY.
30. KEEP ALL BOXES AND PEDESTALS WITHIN PUBLIC UTILITY EASEMENTS OR RIGHT OF WAY. AS SHOWN.
31. ALL SAND BACKFILL MUST HAVE TESTING OF PH LEVEL AS WELL AS SAND EQUIVALENT. SEE CITY OF MENLO PARK REQUIREMENTS.
32. THE PROPOSED CONSTRUCTION OPERATION MAY TAKE PLACE AT OR NEAR FENCE LINES, PROPERTY LINES AND PROPERTY IMPROVEMENTS PRIOR TO CONSTRUCTION, CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING THESE AREAS AND FOR MAINTAINING THESE AREAS AND FACILITIES AT ALL TIMES DURING THE CONSTRUCTION OPERATION.
33. THE CONTRACTOR ASSUMES SOLE AND COMPLETE RESPONSIBILITY FOR THE SITE CONDITION AND SHALL DEFEND AND HOLD THE DEVELOPER AND TARRAR UTILITY CONSULTANTS HARMLESS FROM ANY ALLEGED CLAIMS OR LIABILITIES, EXCEPT THOSE ARISING FROM SOLE NEGLIGENCE OF THE DEVELOPER OR TARRAR UTILITY CONSULTANTS.
34. THE APPROXIMATE LOCATIONS OF ALL EXISTING UTILITY COMPANY UNDERGROUND LINES, POLES BOXES, ETC., WERE OBTAINED FROM A REVIEW OF AVAILABLE UTILITY COMPANY RECORDS, REPRESENTATIONS OF UTILITY COMPANY PERSONAL, OR FIELD OBSERVATIONS. NEITHER THE DEVELOPER NOR TARRAR UTILITY CONSULTANTS ASSUME ANY RESPONSIBILITY FOR VARIANCES BETWEEN THESE PLANS AND THE ACTUAL FIELD CONDITIONS. NO EXTRA PAYMENT WILL BE MADE TO THE CONTRACTOR FOR ANY ADDITIONAL TRENCHING, BOX EXCAVATIONS, MATERIALS, ETC., THAT MAY BE REQUIRED TO COMPLETE THIS PROJECT IN THE EVENT AN EXISTING TIE-IN POINT SUBSTRUCTURE IS EITHER NON-EXISTING OR IS NOT SHOWN ON THE PLANS IN ITS ACTUAL FIELD POSITION. IT IS THE CONTRACTOR'S OBLIGATION AND RESPONSIBILITY TO SAFELY LOCATE ALL EXISTING UNDERGROUND FACILITIES BY SURFACE MARKING AND/OR HAND EXCAVATION PRIOR TO STARTING CONSTRUCTION.
35. "DEVELOPER AND/OR CONTRACTOR IS RESPONSIBLE TO OBTAIN A CITY OF MENLO PARK ENCROACHMENT PERMIT FOR ALL WORK DONE IN THE PUBLIC RIGHT OF WAY. DEVELOPER AND/OR CONTRACTOR IS ALSO RESPONSIBLE TO PROVIDE JOINT TRENCH PLANS TO THE CITY OF MENLO PARK AT THE TIME OF APPLICATION FOR THE ENCROACHMENT PERMIT."

ABBREVIATION LIST

B/C	BACK OF CURB	H.P.S.	HIGH PRESSURE SODIUM	RT	RETAINING WALL	
B/W	BACK OF WALK	IRR.	IRRIGATION CONTROLLER	R/W	RIGHT OF WAY	
BT	BRITISH TERM UNITS	J.T.	JOINT TRENCH	SCH.	SCHEDULE	
CB	CATCH BASIN	KV	KILO-VOLTS	SD	STORM DRAIN	
℄	CENTERLINE	LE	LANDSCAPE EASEMENT	SHT.	SHEET	
CAT.	CATALOG	LF	LINEAR FOOT/FEET	S/W	SIDE WALK	
C OR CATV	CABLE TELEVISION	MH	MANHOLE	SS	SANITARY SEWER	
CFH	CUBIC FEET PER HOUR	MIN.	MINIMUM	SSE	SANITARY SEWER EASEMENT	
C.I.P.	CAPITOL IMPROVEMENT PROJECT	MPGE	MINIMUM POINT OF ENTRY	ST. LT.-S/L	STREET LIGHT	
CL	CENTER LINE	N.T.S.	NOT TO SCALE	SUBD'V	SUBDIVISION	
CU	COPPER	O.D.	OUTER DIAMETER	Sqft.	SQUARE FOOTAGE	
E	ELECTRIC	O.H.	OVER HEAD	T	TELEPHONE	
EDGE OF PAVEMENT	PIEUE	PRIVATE INGRESS, EGRESS, AND UTILITY EASEMENT	TUC	TARRAR UTILITY CONSULTANTS	TYP.	TYPICAL
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT	℄	PROPERTY LINE	T/S	TRAFFIC SIGNAL	
EX	EXISTING	P.S.	POWER SUPPLY	U.G.	UNDERGROUND	
F/C	FACE OF CURB	PROJ.	PROJECT	U.O.N.	UNLESS OTHERWISE NOTED	
FH	FIRE HYDRANT	PSDE	PRIVATE STORM DRAIN EASEMENT	V	VOLT	
FUT.	FUTURE	PSE	PUBLIC SERVICE EASEMENT	W	WATT	
F.O.	FIBER OPTIC	PVAW	PRIVATE VEHICLE ACCESS WAY	WT	WATER	
G	GAS	P.V.C.	POLY VINYL CHLORIDE	W/	WITH	
GALV.	GALVANIZE	PwE	PUBLIC WATER LINE EASEMENT	W/O	WITHOUT	
G.E.	GENERAL ELECTRIC	PWR	POWER	WLE	WATER LINE EASEMENT	
GRD.	GROUND	PUE	PUBLIC UTILITY EASEMENT	XFMR	TRANSFORMER	
H.O.A.	HOME OWNERS ASSOCIATION					

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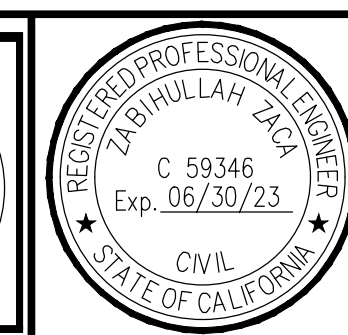
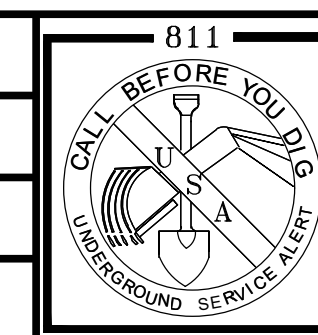


- Planning
- Design
- Estimating
- Joint Trench
- Street Lighting
- Fiber Optic
- T-24
- PG&E Gas Design
- PG&E Elec Design
- M.E.P. Design
- Cost Analysis
- Due Diligence

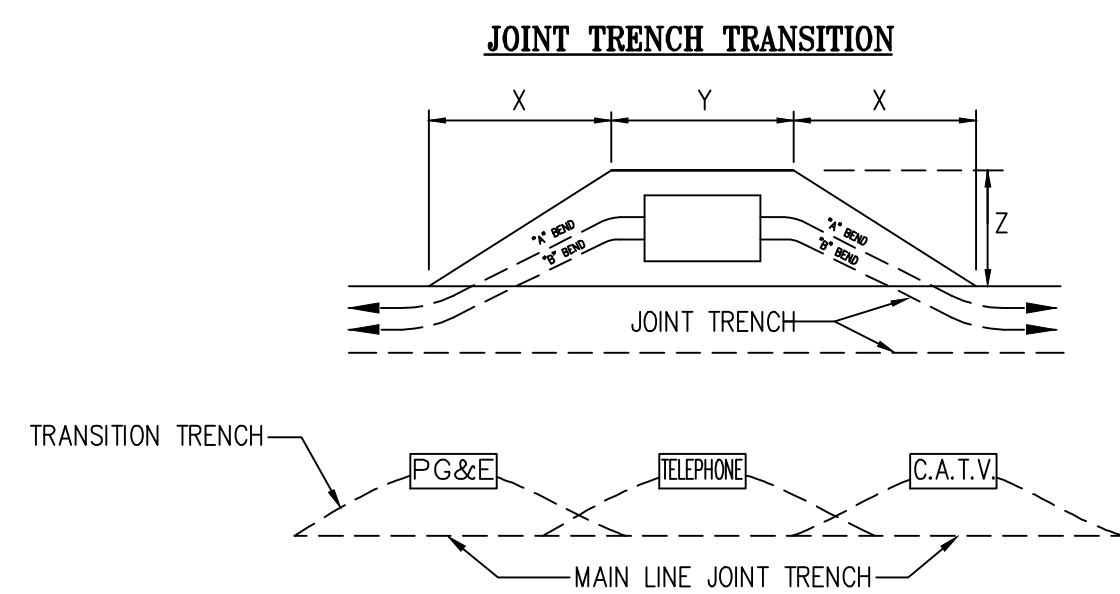
JOINT TRENCH GENERAL NOTES AND DETAILS
MARCH CAPITAL MANAGEMENT
3705 HAVEN AVENUE
MENLO PARK CALIFORNIA

NO.	REVISIONS	BY	DATE

DATE: MAY 2022	DATE LAST WORKED ON: 3/20/2024
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JOB NO.: 222068	
INTENT TO CONSTRUCT	



SHEET
JT2
OF
JT5
SHEETS



BEND	PRIMARY BOX SIZE	DISTANCE (when conduit enters box)			NOTES
		"X"	"Y"	"Z"	
"A"	3' x 5'	24"	7'	5'	BEND IS 60° RADIUS WITH AN ANGLE OF 10 DEG. USE 2-5 COUPLINGS WITH 1-5' CONDUIT SECTION FOR EACH BEND SHOWN.
	4'-6" x 8'-6"	24"	11'	7'	
"B"	3' x 5'	32"	7'	5'	BEND IS 30° RADIUS WITH AN ANGLE OF 15 DEG. USE 3-5 COUPLINGS WITH 2-2 1/2' CONDUIT SECTION FOR EACH BEND SHOWN.
	4'-6" x 8'-6"	32"	11'	7'	

- NOTE:**
- CONTRACTOR TO EXCAVATE TRANSITIONS FROM MAIN-LINE TRENCH TO VAULTS AS REQUIRED BY EACH UTILITY.
 - TRANSITIONS NOT SHOWN ON COMPOSITE DRAWING FOR CLARITY.
 - CONTRACTOR TO INCLUDE COST OF TRANSITIONS IN VAULT EXCAVATION COST.

DETAIL 1 TYPICAL PRIMARY BOX EXCAVATION USING CONDUIT
N.T.S. JT3

CONSTRUCTION LABOR AND MATERIAL RESPONSIBILITY

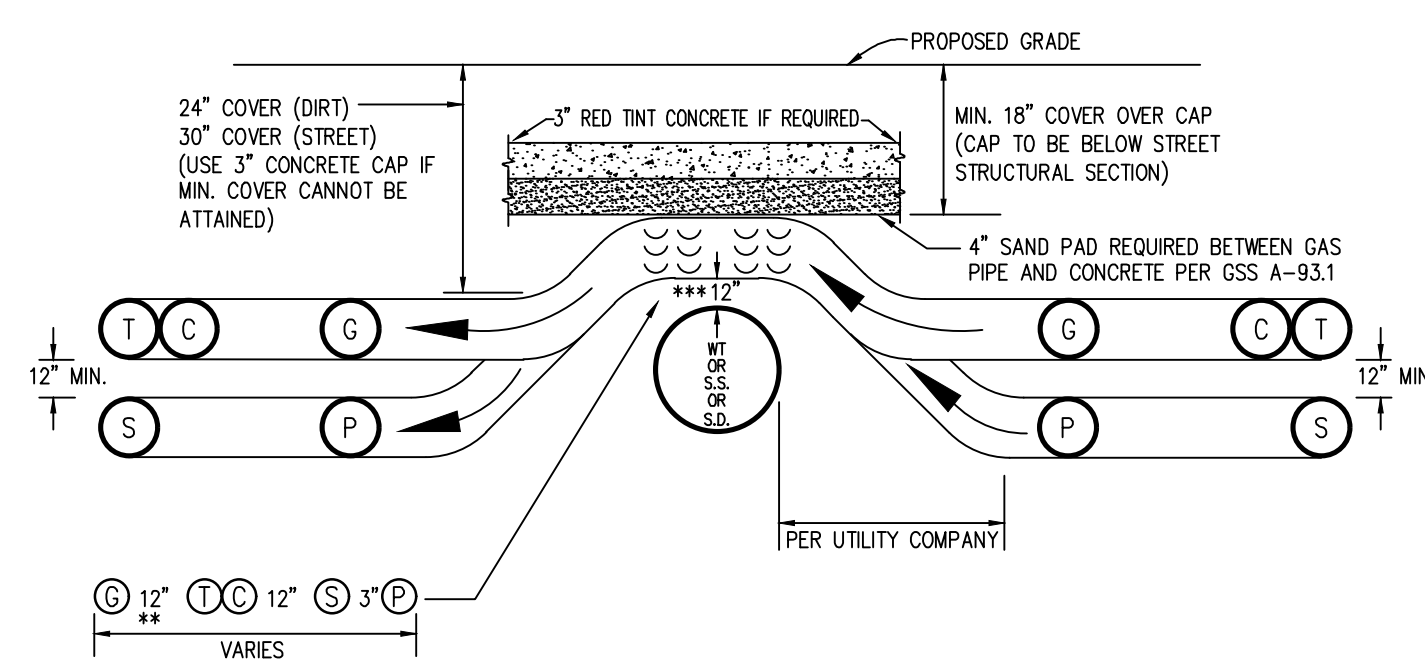
PUBLIC UTILITY SYSTEM (JOINT TRENCH)

- TRENCHING: EXCAVATE, BACKFILL AND COMPACT. ○
- GAS MATERIAL: FURNISH ○
- ELECTRIC CABLE: FURNISH ○
- ELECTRIC CONDUIT: FURNISH ○
- ELECTRIC SPLICE BOXES: EXCAVATE ○
- ELECTRIC TMFR ENCLS.: EXCAVATE ○
- ELECTRIC TMFR PADS: EXCAVATE ○
- ELECTRIC SWITCH PADS: EXCAVATE ○
- TELEPHONE CONDUIT: FURNISH ○
- TELEPHONE CABLE: FURNISH ○
- TELEPHONE SPLICE BOX: EXCAVATE ○
- TELEPHONE INTER. PADS: EXCAVATE ○
- C.A.T.V. CONDUITS: FURNISH ○
- C.A.T.V. SPLICE BOXES: EXCAVATE ○

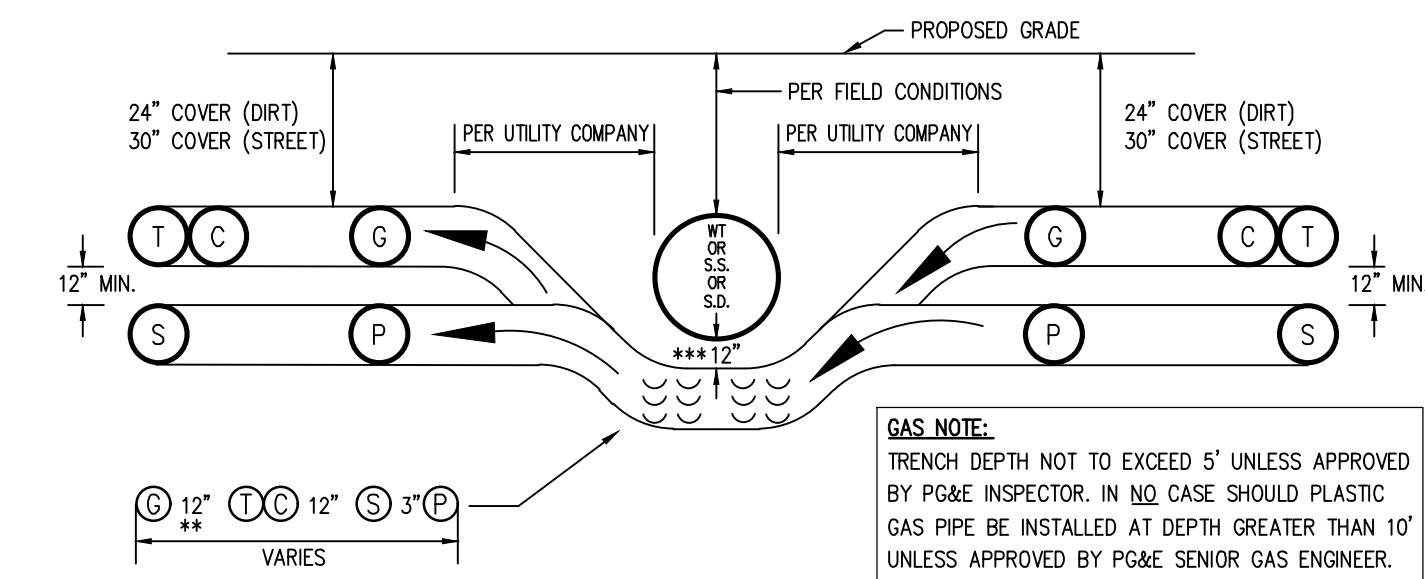
STREET LIGHTING SYSTEM (N/A)

- WIRE: FURNISH ○
 - CONDUIT: FURNISH ○
 - BASES: FURNISH ○
 - LUMINAIRES: FURNISH ○
 - SPLICE BOXES: EXCAVATE ○
 - POLES & ARMS: EXCAVATE ○
- SCHEDULE:
 INSTALL IN JOINT TRENCH: _____
 INSTALL IN SEPARATE TRENCH: _____
 CONDUIT SIZE: _____
 CONDUIT TYPE: _____
 WIRE SIZE: _____ TYPE: _____
- ADDITIONAL NOTES:
 DEVELOPER TO SUPPLY AND INSTALL GAS & ELECTRIC FACILITIES UNDER THE COMPETITIVE BIDDING PROVISIONS OF PG&E GREEN BOOK RULES 15, 16 AND 20.

● DESIGNATES THE WORK TO BE PERFORMED BY THE CONTRACTOR AND EACH UTILITY COMPANY.



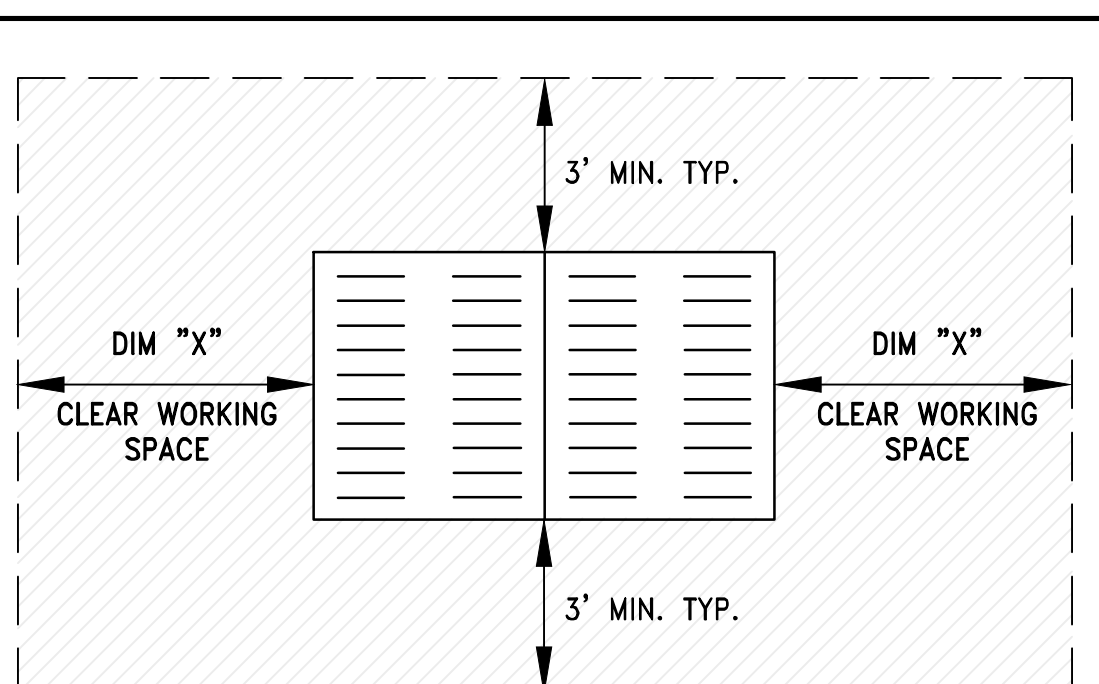
JOINT TRENCH OVER WATER, SANITARY SEWER OR STORM DRAIN CHOICE 1 (PREFERRED METHOD)



JOINT TRENCH UNDER WATER, SANITARY SEWER OR STORM DRAIN CHOICE 2 (OPTIONAL METHOD)

- * SEE MINIMUM COVER & CLEARANCE CHART
- ** WITH MUTUAL AGREEMENT, WHEN 4" O.D. OR SMALLER GAS PIPE IS INSTALLED SEPARATION MAY BE REDUCED TO NOT LESS THAN 6" BETWEEN GAS AND COMMUNICATION DUCTS (TELEPHONE & CATV).
- *** 6" MINIMUM REQUIRED BY PG&E-ADDITIONAL CLEARANCE MAYBE REQUIRED BY CITY OR COUNTY

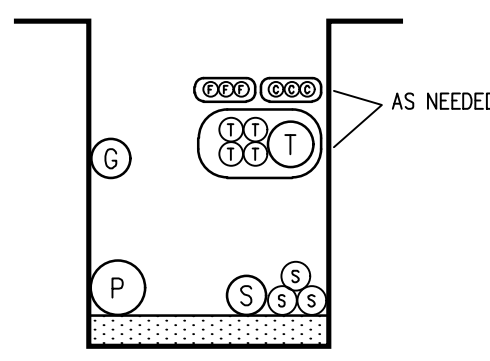
DETAIL 2 OVER UNDER DETAILS
N.T.S. JT3



- 3' MIN. 3'0" x 5'0" ENCLOSURES
- 4' MIN. 4' x 6'6" x 5'0" ENCLOSURES
- 5' MIN. 4'6" x 8'6" x 6'0" ENCLOSURES (OR EASEMENT REQUIRED)

DETAIL 3 PG&E ENCLOSURE CLEARANCES
N.T.S. JT3

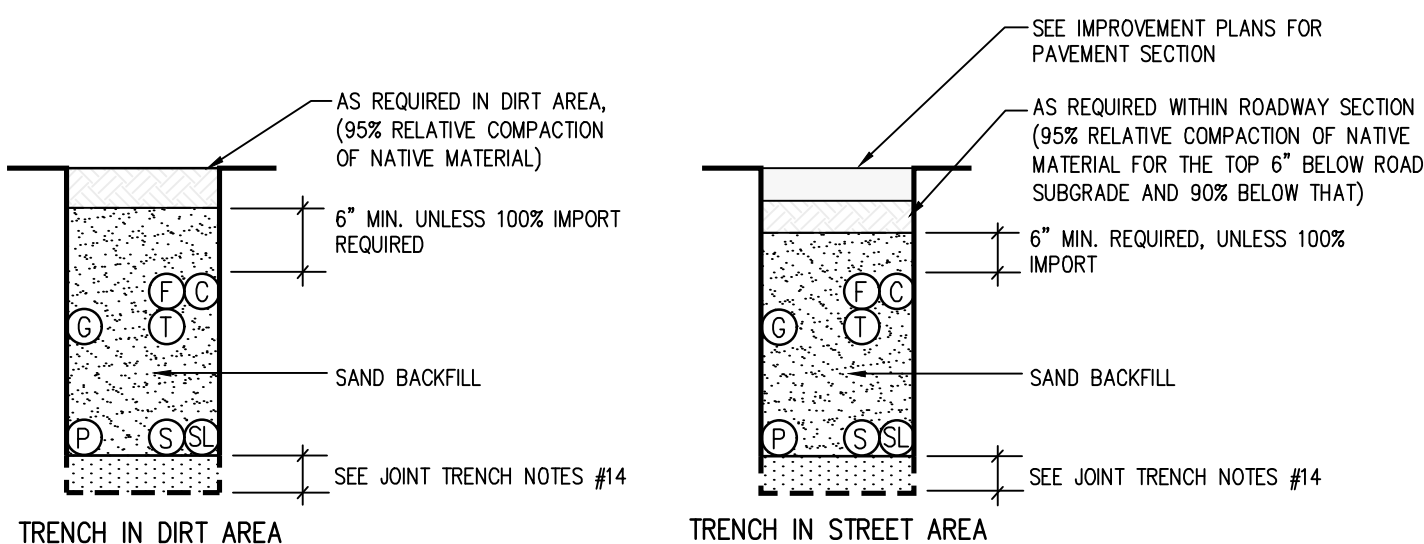
JOINT TRENCH MINIMUM COVER AND CLEARANCES												
MINIMUM SEPARATION FROM												
UTILITY	G	T	TD	C	S	P	SLP	F	FE	MINIMUM COVER		
G (GAS)*	-	12"	12"	12"	6"	12"	12"	6"	12"	12"	24"; 30" IN STREET	
T (TELEPHONE) DUCT	12"	-	1"	12"	12"	12"	12"	12"	1"	12"	24"; 30" IN STREET	
TD (TELEPHONE) DIRECT BURY	12"	1"	-	1"	12"	12"	12"	12"	1"	12"	24"; 30" IN STREET	
C (CABLE T.V.)	12"	1"	1"	-	12"	12"	12"	12"	1"	12"	24"; 30" IN STREET	
S (ELECT. SECONDARY)	6"	12"	12"	12"	1.5"	3"	12"	1.5"	12"	12"	24"; 30" IN STREET	
P (ELECT. PRIMARY)	12"	12"	12"	12"	3"	3"	3"	3"	12"	12"	36"; 36" IN STREET	
SL (PUBLIC AND PRIVATE-STREET LIGHT)**	12"	12"	12"	12"	12"	-	12"	12"	12"	12"	24"; 30" IN STREET	
SLP (P.G.E.-STREET LIGHT)	6"	12"	12"	12"	1.5"	3"	12"	1.5"	12"	12"	24"; 30" IN STREET	
FE (FOREIGN ELECTRIC SOURCES, NON PG&E)	12"	12"	12"	12"	12"	12"	12"	12"	-	12"	24"; 30" IN STREET	
F (FIBER OPTIC)	12"	1"	1"	1"	12"	12"	12"	12"	-	12"	24"; 30" IN STREET	



TYPICAL EXAMPLE OF STACKING FACILITIES IN JOINT TRENCH

LEGEND

- MEETS UTILITY TRENCH ALLOTMENT
- EXCEEDS UTILITY TRENCH ALLOTMENT
- GAS
- ELECTRIC PRIMARY
- ELECTRIC SECONDARY
- TELEPHONE (DUCT OR DIRECT BURY)
- CATV
- STREET LIGHT (PUBLIC OR PRIVATE)
- STREET LIGHT (PG&E)
- FOREIGN ELECTRIC
- FIBER OPTIC



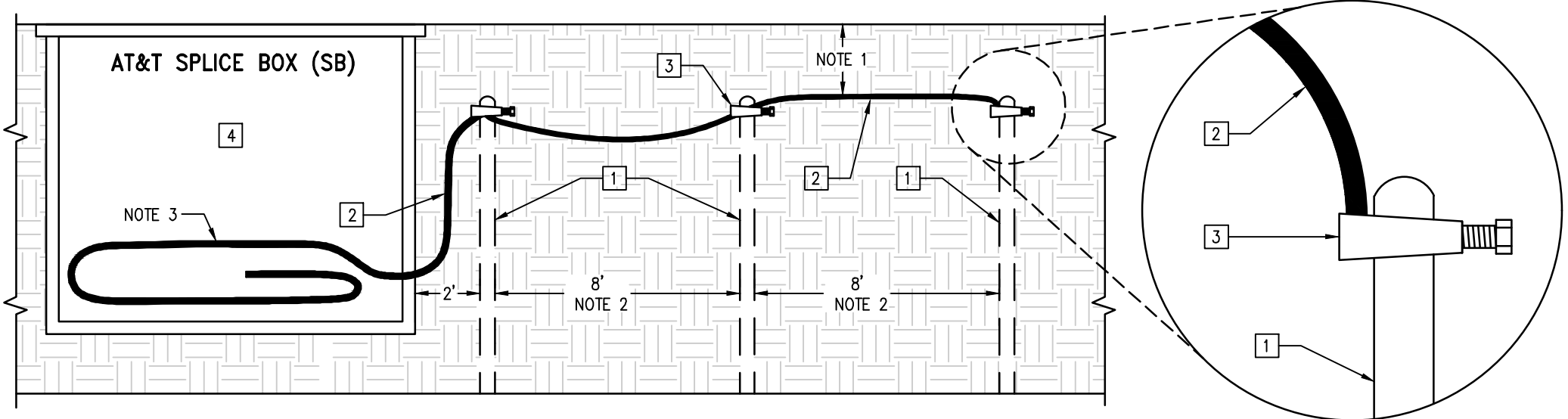
JOINT TRENCH NOTES:

- TRENCH COVER & CLEARANCES SHOWN ARE MINIMUMS ONLY AND MAY REQUIRE ALTERATIONS TO SUIT FIELD CONDITIONS.
- IT IS RECOMMENDED THAT ALL FACILITIES ARE TO BE A MINIMUM OF 12" BELOW SUB-BASE DISTURBANCE.
- * WITH MUTUAL AGREEMENT FROM PARTICIPATING UTILITIES, WHEN 4" O.D. OR SMALLER GAS PIPE IS INSTALLED, SEPARATION MAY BE REDUCED TO NOT LESS THAN 6" BETWEEN GAS AND COMMUNICATION DUCTS (TELEPHONE, C.A.T.V. & FIBER OPTIC).
- * WHERE 6" GAS MAIN IS LOCATED IN THE JOINT TRENCH A 18" MINIMUM SEPARATION FROM GAS MAIN TO ALL UTILITIES WILL BE REQUIRED.
- ** WITH MUTUAL AGREEMENT FROM PARTICIPATING UTILITIES, STREET LIGHT SEPARATION MAY BE REDUCED TO 0" BETWEEN STREET LIGHT AND COMMUNICATION DUCTS (TELEPHONE, C.A.T.V. & FIBER OPTIC).
- TRENCH CONFIGURATIONS SHOWN ARE FOR INSTALLATION WHERE EACH OCCUPANT IS UTILIZING HIS ENTIRE SPACE ALLOCATION. OTHER CONFIGURATIONS OR REDUCED DIMENSIONS MAY BE USED, PROVIDED THAT MINIMUM COVER AND CLEARANCES ARE MAINTAINED.
- THE CONTRACTOR IS TO ADJUST TRENCH DEPTHS AT ALL JOINT TRENCH LATERAL CROSSINGS TO MAINTAIN REQUIRED CLEARANCES BETWEEN ALL PARTICIPATING UTILITIES.
- TRENCH SECTIONS ARE SHOWN SCHEMATICALLY AND INDICATE AREAS OF OCCUPANCY ONLY; THEY DO NOT REFLECT SIZE OR QUANTITY OF FACILITIES TO BE INSTALLED.
- TRENCH FOOTAGES PER SECTION ARE APPROXIMATE. SECTIONS ARE DESIGNED TO ACCOMMODATE ALL REQUIRED FACILITIES AS INDICATED ON EACH TRENCH PARTICIPANT'S CONSTRUCTION DRAWINGS.
- THE CONTRACTOR SHALL VERIFY TRENCH FOOTAGES FOR ACCURACY PRIOR TO EXCAVATION AND TAKE NECESSARY PRECAUTION CROSSING WATER AND SEWER FACILITIES.
- THE CONTRACTOR SHALL REFER TO THE COMPOSITE, CONDUIT, AND/OR EACH RESPECTIVE UTILITY INSTALLATION PLAN FOR THE NECESSARY CONDUIT CABLE AND/OR PIPE TO BE INSTALLED IN THIS PROJECT.
- TYPE "M2" TRENCH SHALL BE INSTALLED AFTER CURB AND GUTTER INSTALLATION. CONTRACTOR SHALL COORDINATE ADDITIONAL MOVE-INS NECESSARY TO COMPLETE THE SERVICES TO THE DWELLING UNITS WITH THE DEVELOPER, ALL AGENCIES AND THE UTILITY COMPANIES. THE COST OF THESE MOVE-INS SHALL BE INCLUDED IN THE CONTRACTOR'S UNIT PRICE FOR TRENCHING.
- THE AVERAGE TRENCH DEPTHS SHOWN ARE BASED ON THE MINIMUM UTILITY COMPANY REQUIREMENTS FOR DEPTH AND SEPARATION. CONTRACTOR SHALL ADJUST TRENCH WIDTH & DEPTH AS REQUIRED TO ADEQUATELY CLEAR EXISTING UNDERGROUND FACILITIES AND MAINTAIN MINIMUM UTILITY CLEARANCES. ALL TRENCHES OVER 60" DEEP MUST COMPLY WITH OSHA REQUIREMENTS. (SEE THE JOINT TRENCH MINIMUM COVER AND CLEARANCE TABLE)
- CONTRACTOR SHALL USE SAND BEDDING AND SHADING AS REQUIRED BY THE UTILITY COMPANIES. THE BOTTOM OF THE TRENCH SHALL BE CLEARED OF ROCKS AND OTHER HARD SURFACES. DISTRIBUTION TRENCHES WITHOUT TELEPHONE CONDUIT DO NOT REQUIRE BEDDING MATERIAL. SERVICE TRENCHES WITHOUT TELEPHONE CONDUIT REQUIRE 2" SAND BEDDING AS A PAD ON WHICH UTILITY FACILITIES CAN REST. SERVICE TRENCHES CONTAINING TELEPHONE CONDUIT ONLY REQUIRE A 1" SAND BEDDING. ALL OTHER TRENCHES CONTAINING TELEPHONE CONDUIT REQUIRE A 3" SAND BEDDING. REFER TO PG&E GREEN BOOK PUBLICATION S5453, EXHIBIT B AND AT&T SPEC95 "AT&T SPECIFICATIONS" TRENCHING AND CONDUIT GUIDE FOR FURTHER INFORMATION.
- ALL TRENCHING AND BACKFILLING TO BE DONE IN ACCORDANCE WITH THE CITY OF MENLO PARK ENGINEERING STANDARDS AND SPECIFICATIONS.
- ALL PG&E, TELEPHONE, CABLE, AND FIBER OPTIC BOXES AND JOINT TRENCH FACILITIES ARE TO MAINTAIN A MINIMUM OF 3" SEPARATION FROM SEWER AND WATER LATERALS AND DRIVEWAYS. ALL UTILITY VAULTS, BOXES, PEDESTALS, ETC. MUST MAINTAIN A 5' MINIMUM CLEARANCE FROM FIRE HYDRANTS, AND 3' MINIMUM FROM STREETLIGHTS.

JOINT TRENCH OCCUPANCY GUIDE

TRENCH SECTION	A*	B*	C*	D*	E*	F*	G*	H*	I	J	K	L	M	N	O	P	Q	R	S	T	U	V	W
GAS	X	X	X	X					X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
TELEPHONE	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
CABLE T.V.	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
ELECTRIC SEC.	X	X	X	X	X	X	X	X								X	X	X	X	X	X	X	X
ELECTRIC PRI.	X	X	X	X	X	X	X	X								X	X	X	X	X	X	X	X
FIBER OPTICS	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X

*THESE SECTIONS MAY OR MAY NOT CONTAIN SECONDARY



LEGEND

- 8' LENGTH x 5/8" DIAMETER GROUND ROD POLES
- BARE CONTINUOUS SOLID NUMBER 6 AWG. WIRE
- GROUND CLAMP
- TELEPHONE SPLICE BOX

NOTES

- MINIMUM DEPTH = 12 INCHES
- GROUND BEDS MAY BE PLACED IN ANY CONFIGURATION AS LONG AS THE 8 FOOT SEPARATION BETWEEN GROUND RODS IS MAINTAINED AND THE 2 FOOT SEPARATION FROM THE SB WALL IS NOT ENCRUCED UPON.
- BARE #6 GROUND WIRE TO ENTER THROUGH SIDEWALL OR BOTTOM OF SB AND WRAP SB ONCE.

DETAIL 1 AT&T AERIAL AND BURIED
N.T.S. JT4 GROUND BED DESIGN

THIS AREA RESERVED FOR JOINT TRENCH SECTIONS
TO BE PLACED AT A LATER TIME

NO.	REVISIONS	BY	DATE

DATE: MAY 2022	DATE LAST WORKED ON: 3/21/2024
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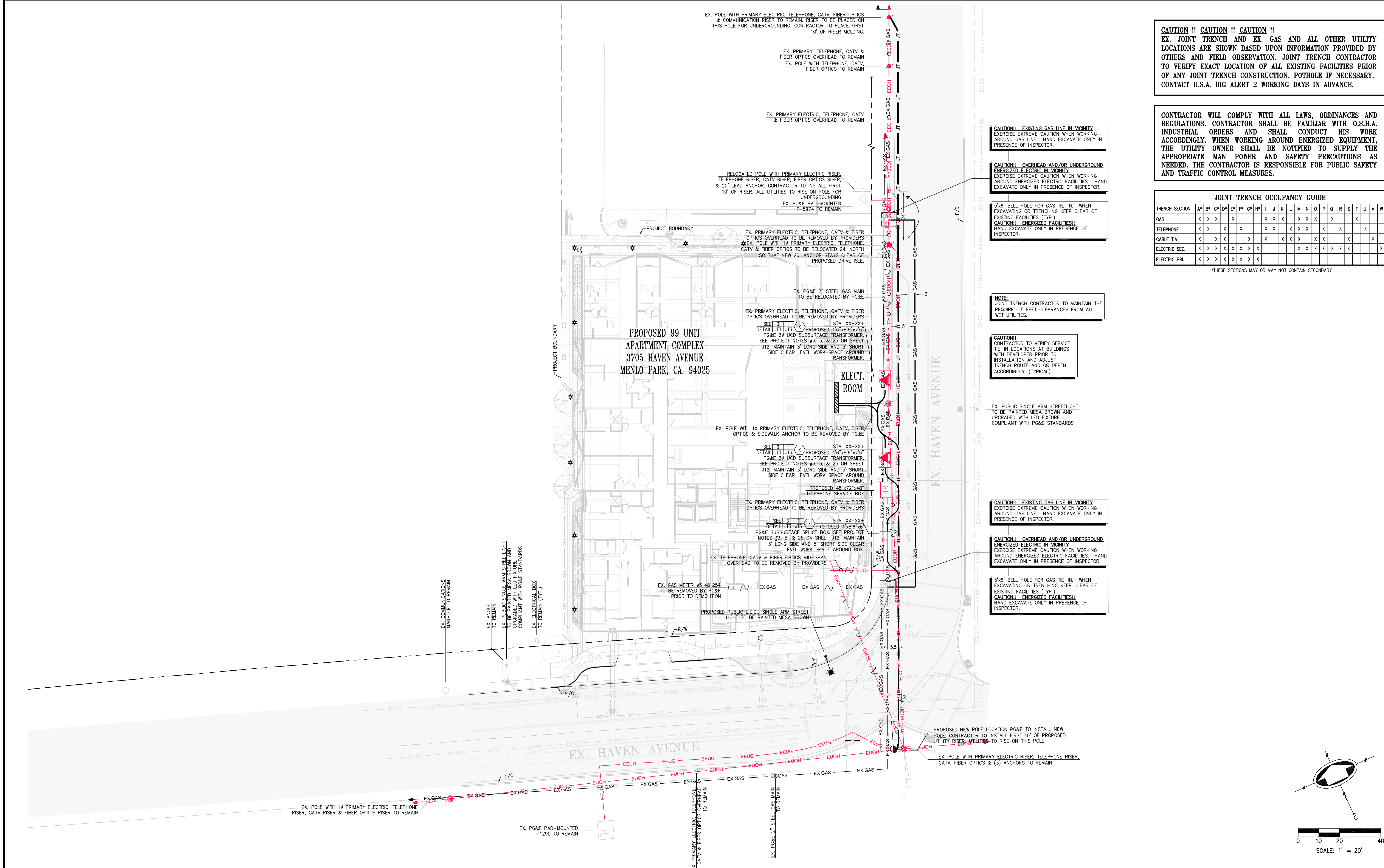
CAUTION !! CAUTION !! CAUTION !!
 EX. JOINT TRENCH AND EX. GAS AND ALL OTHER UTILITY LOCATIONS ARE SHOWN BASED UPON INFORMATION PROVIDED BY OTHERS AND FIELD OBSERVATION. JOINT TRENCH CONTRACTOR TO VERIFY EXACT LOCATION OF ALL EXISTING FACILITIES PRIOR TO ANY JOINT TRENCH CONSTRUCTION. POTHOLE IF NECESSARY. CONTACT U.S.A. DIG ALERT 2 WORKING DAYS IN ADVANCE.

CONTRACTOR WILL COMPLY WITH ALL LAWS, ORDINANCES AND REGULATIONS. CONTRACTOR SHALL BE FAMILIAR WITH O.S.H.A. INDUSTRIAL ORDERS AND SHALL CONDUCT HIS WORK ACCORDINGLY. WHEN WORKING AROUND ENERGIZED EQUIPMENT, THE UTILITY OWNER SHALL BE NOTIFIED TO SUPPLY THE APPROPRIATE MAN POWER AND SAFETY PRECAUTIONS AS NEEDED. THE CONTRACTOR IS RESPONSIBLE FOR PUBLIC SAFETY AND TRAFFIC CONTROL MEASURES.

JOINT TRENCH OCCUPANCY GUIDE

TRENCH SECTION	A*	B*	C*	D*	E*	F*	G*	H*	I	J	K	L	M	N	O	P	Q	R	S	T	U	V	W
GAS	X	X	X	X	X				X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
TELEPHONE	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
CABLE T.V.	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
ELECTRIC SEC.	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
ELECTRIC PRI.	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X

*THESE SECTIONS MAY OR MAY NOT CONTAIN SECONDARY



CAUTION!! EXISTING GAS LINE IN VICINITY
 EXERCISE EXTREME CAUTION WHEN WORKING AROUND GAS LINE. HAND EXCAVATE ONLY IN PRESENCE OF INSPECTOR.

CAUTION!! OVERHEAD AND/OR UNDERGROUND ENERGIZED ELECTRIC IN VICINITY
 EXERCISE EXTREME CAUTION WHEN WORKING AROUND ENERGIZED ELECTRIC FACILITIES. HAND EXCAVATE ONLY IN PRESENCE OF INSPECTOR.

5'x6\"/>

NOTE:
 JOINT TRENCH CONTRACTOR TO MAINTAIN THE REQUIRED 3' FEET CLEARANCES FROM ALL WET UTILITIES.

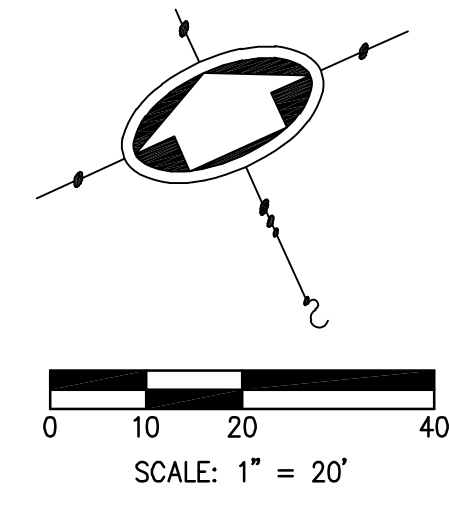
CAUTION!!
 CONTRACTOR TO VERIFY SERVICE TIE-IN LOCATIONS AT BUILDINGS WITH DEVELOPER PRIOR TO INSTALLATION AND ADJUST TRENCH ROUTE AND OR DEPTH ACCORDINGLY. (TYPICAL)

EX. PUBLIC SINGLE ARM STREETLIGHT
 TO BE PAINTED MESA BROWN AND UPGRADED WITH LED FIXTURE COMPLIANT WITH PG&E STANDARDS

CAUTION!! EXISTING GAS LINE IN VICINITY
 EXERCISE EXTREME CAUTION WHEN WORKING AROUND GAS LINE. HAND EXCAVATE ONLY IN PRESENCE OF INSPECTOR.

CAUTION!! OVERHEAD AND/OR UNDERGROUND ENERGIZED ELECTRIC IN VICINITY
 EXERCISE EXTREME CAUTION WHEN WORKING AROUND ENERGIZED ELECTRIC FACILITIES. HAND EXCAVATE ONLY IN PRESENCE OF INSPECTOR.

5'x6\"/>



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- Cost Analysis
- Due Diligence

JOINT TRENCH COMPOSITE PLAN
 MARCH CAPITAL MANAGEMENT
 3705 HAVEN AVENUE
 MENLO PARK CALIFORNIA

NO.	REVISIONS	BY	DATE

DATE: MAY 2022
 DATE LAST WORKED ON: 3/21/2024
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811
 CALL BEFORE YOU DIG
 UNDERGROUND SERVICE ALERT

C 59346
 Exp. 06/30/25
 CIVIL
 STATE OF CALIFORNIA

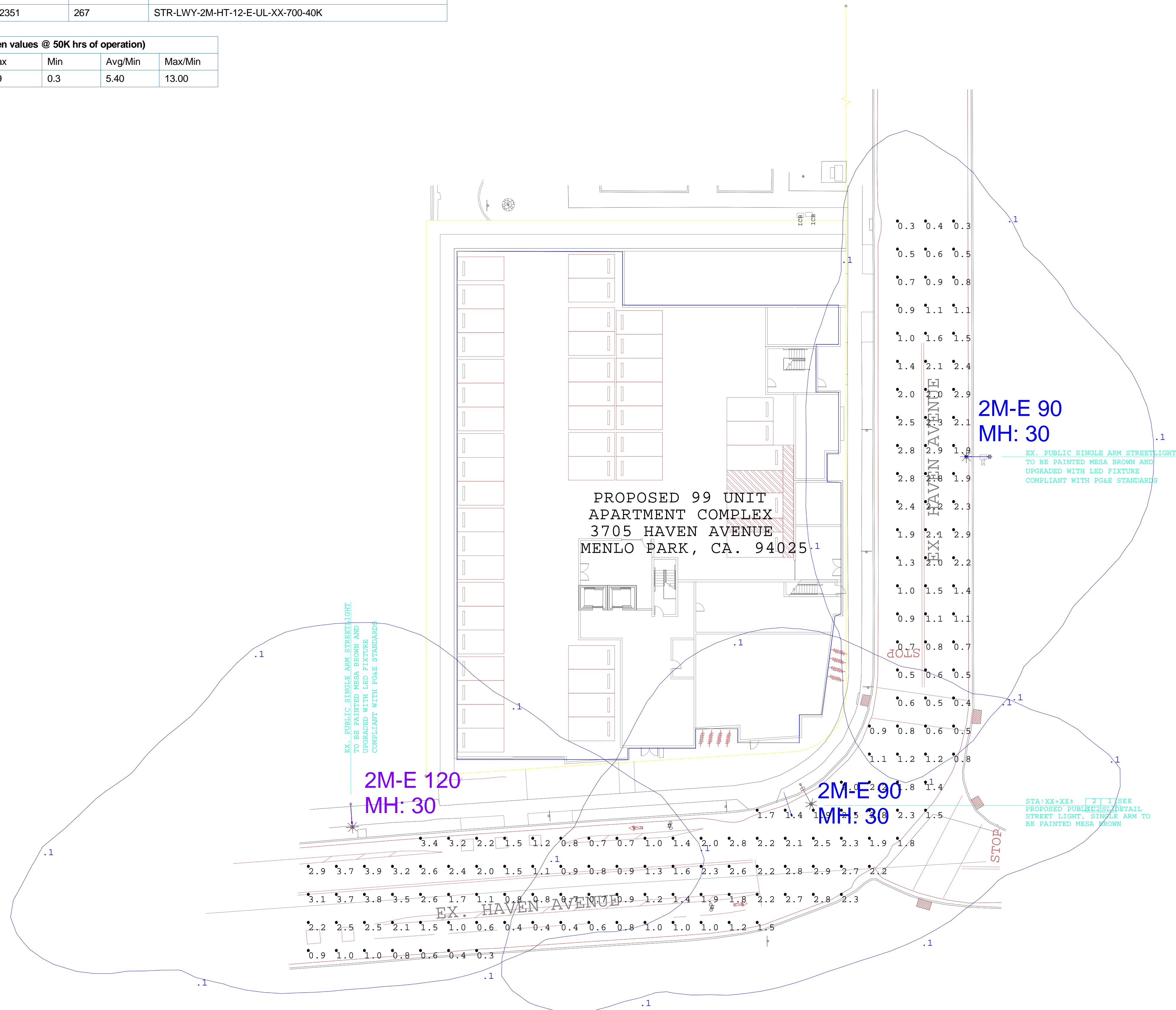
SHEET
JT5
 OF
JT5
 SHEETS

Luminaire Schedule							
Symbol	Qty	Label	Arrangement	LMF	Lum. Lumens	Lum. Watts	Part Number
→	2	2M-E 90	SINGLE	0.970	16774	203	STR-LWY-2M-HT-09-E-UL-XX-700-40K
→	1	2M-E 120	SINGLE	0.970	22351	267	STR-LWY-2M-HT-12-E-UL-XX-700-40K

Calculation Summary (Footcandles calculated using predicted lumen values @ 50K hrs of operation)						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
ROADWAY	Fc	1.62	3.9	0.3	5.40	13.00

NOTE: EXISTING POLES AND FIXTURES

*** CUSTOMER TO VERIFY ORDERING INFORMATION AND CATALOGUE NUMBER PRIOR TO PLACING ORDER ***



MARCH CAPITAL MANAGEMENT 3705 HAVEN AVENUE MENLO PARK SAN MATEO COUNTY CALIFORNIA

PUBLIC STREET LIGHTING NOTES

1. ALL MATERIAL AND WORKMANSHIP SHALL FULLY CONFORM WITH THE NATIONAL ELECTRIC CODE AND STANDARD SPECIFICATIONS AND DETAILS OF THE CITY OF MENLO PARK.
2. THE ELECTRICAL CONTRACTOR SHALL INSTALL THE UNDERGROUND SERVICE FROM THE LUMINAIRE TO PG&E SERVICE POINT AND TERMINATE CONDUIT AND WIRES AT BOX AS DIRECTED BY THE CITY.
3. KEEP STREET LIGHTS A MINIMUM OF 3 FEET AWAY FROM THE EDGE OF DRIVEWAYS, SEWER AND WATER LATERALS, AND 5 FEET AWAY FROM FIRE HYDRANTS & CATCH BASINS.
4. TWO OR MORE STREET LIGHTS ON THE SAME CIRCUIT SHALL BE WIRED TO BALANCE THE LOAD. (SEE WIRING DIAGRAM), UNLESS OTHERWISE NOTED.
5. **CONDUIT AND FITTINGS:** ALL CONDUIT AND FITTINGS SHALL BE U.L. APPROVED SCHEDULE 40 P.V.C., USE MINIMUM 1-1/2" SCH. 40 P.V.C. CONDUIT AND FITTINGS BELOW GRADE, UNLESS OTHERWISE NOTED OR REQUIRED. MINIMUM RADIUS BENDS SHALL BE 18". FOR ABOVE GROUND INSTALLATION USE METALLIC RIGID STEEL CONDUIT. PROVIDE PULL WIRE IN EMPTY CONDUITS. ALL CROSSINGS TO BE PERPENDICULAR TO STREET.
6. **CONDUIT DEPTH:** 24" UNDER SIDEWALK; 24" UNDER PLANTER STRIP; 30" UNDER PAVEMENT.
7. **CABLE:** CABLE SHALL BE U.L. A.W.G. NO. 8, 7-STRAND SOFT COPPER, TYPE THW OR THWN WITH MINIMUM OF 3/64" (40 MIL) POLYVINYLCHLORIDE INSULATION, UNLESS OTHERWISE NOTED. U.L. LISTED 600 VOLT, NO. 10 IN POLE MAY BE USED (40 MIL INSULATION).
8. **SPlice BOXES:** SPlice BOXES SHALL BE NO. 3-1/2 STATE TYPE WITH LID AND BRASS HOLD DOWN BOLTS, UNLESS OTHERWISE NOTED. LIDS TO BE INSCRIBED "STREET LIGHTING". SPlice BOXES SHALL NOT BE MORE THAN 200 FEET APART ON LONG RUNS. SPlice BOXES TO BE SET ON A CONCRETE FOOTING WHEN SUBJECT TO TRAFFIC LOAD.
9. **FUSES:** EACH POLE SHALL BE FUSED WITH WATERPROOF IN-LINE FUSE HOLDERS AT EACH ADJACENT BOX WITH 5 AMP FUSE. FOR DUPLEX LIGHTS, EACH LUMINAIRE SHALL BE FUSED SEPARATELY.
10. **SPlicing:** ALL SPlicing SHALL BE MADE IN HAND HOLES OR SPlice BOXES ONLY. SPlicing SHALL BE MADE WITH "STACK-ON" CRIMP JOINTS, "SCOTCH LOCK" FASTENERS, OR APPROVED EQUAL. ON SPlicing MADE BELOW GRADE, WRAP WITH MOISTURE PROOF INSULATION THICKNESS.
11. **POLE NUMBERS:** OBTAIN AND PLACE POLE NUMBERS ON ALL STREET LIGHT STANDARDS AS REQUIRED. COORDINATE WITH PG&E AND/OR CITY FOR THEIR REQUIREMENTS.
12. **TRENCH:** CONDUIT CANNOT BE PLACED IN JOINT TRENCH. THE CONDUIT LAYOUT IS SHOWN SCHEMATICALLY. SEE COMPOSITE DRAWING FOR TRENCH AND BOX LOCATIONS. ANY INCIDENTAL TRENCHING NOT PROVIDED BY TRENCHING AGENT IS CONTRACTOR'S RESPONSIBILITY.
13. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT FIRST NOTIFYING TARRAR UTILITY CONSULTANTS.
14. TARRAR UTILITY CONSULTANTS ASSUMES NO RESPONSIBILITY FOR ANY VARIANCE BETWEEN THESE PLANS AND THE ACTUAL FIELD CONDITIONS. CONTRACTOR SHOULD REVIEW PROJECT SITE PRIOR TO SUBMITTING ITS BID.
15. CONTRACTOR TO CONSULT WITH LOCAL AGENCIES FOR THEIR CIRCUIT GROUNDING REQUIREMENTS. IF GROUND WIRE IS REQUIRED IN CONDUIT, INSTALL ACCORDINGLY.
16. LEGEND SYMBOLS ARE SHOWN IN STREET AREA FOR CLARITY. INSTALL BEHIND CURB AND/OR SIDEWALK PER THE CITY SPECIFICATIONS KEEP CLEAR OF DRIVEWAYS AND PATHWAYS (TYPICAL).
17. CENTERLINE OF STREET LIGHTS SHALL BE LOCATED ON THE LOT LINE UNLESS OTHERWISE NOTED ON THESE PLANS.
18. ANY CHANGES OR MODIFICATIONS TO PROPOSED STREET LIGHT LOCATIONS SHALL BE APPROVED, IN WRITING, BY THE CITY PRIOR TO INSTALLATION.
19. SET ALL STREET LIGHTS TO ULTIMATE FINISHED GRADE. CONSULT WITH CITY FOR PROPER PHYSICAL PROTECTION AND/OR SIGNING AND STRIPING ADJACENT TO ANY STREET LIGHTS INSTALLED IN THEIR ULTIMATE LOCATIONS THAT ARE NOT PROTECTED BY A VERTICAL CURB. BERM AND COMPACT EARTH TO FINISHED GRADE A MINIMUM OF 5' AROUND STREET LIGHT BASES AT THESE LOCATIONS.
20. CONTACT U.S.A. (2) FULL WORKING DAYS PRIOR TO STARTING WORK IF EXISTING UTILITIES CONFLICT WITH POLE LOCATION, FIELD ADJUST TO CLEAR EXISTING UTILITIES A MINIMUM OF 3'-0".
21. STREET LIGHT CONDUIT BENDS SHALL HAVE A MINIMUM 2 FOOT RADIUS. UNLESS OTHERWISE SHOWN ON THE PLANS, NO BEND SHALL BE INSTALLED IN THE STREET LIGHT SYSTEM WITHOUT PRIOR APPROVAL OF THE CITY INSPECTOR.
22. ALL BOXES ARE TO BE INSTALLED WITHIN THE R/W AND/OR P.U.E. AREA.

CONSTRUCTION LABOR AND MATERIAL RESPONSIBILITY STREET LIGHTING SYSTEM (PUBLIC)

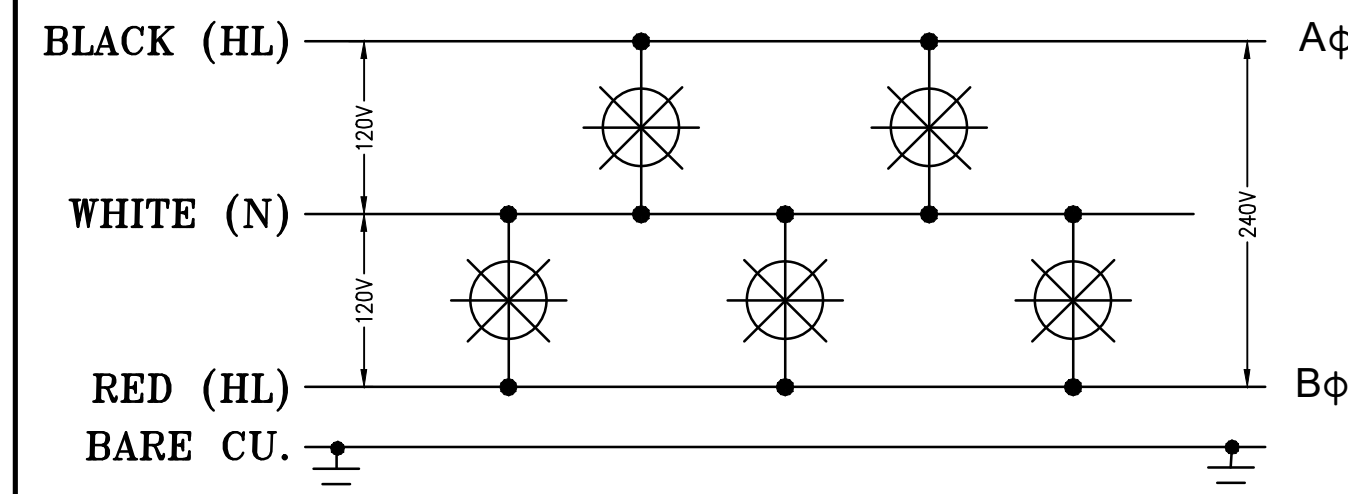
WIRE:	FURNISH:	INSTALL:
CONDUIT:	FURNISH	INSTALL
BASES:	FURNISH	INSTALL
LUMINAIRES:	FURNISH	INSTALL
SPlicing BOXES:	FURNISH	INSTALL
EXCAVATE:	FURNISH	INSTALL
POLES & ARMS:	FURNISH	INSTALL

SCHEDULE:	LSZA
INSTALL IN JOINT TRENCH:	NO
INSTALL IN SEPARATE TRENCH:	YES
CONDUIT SIZE:	1 1/2"
CONDUIT TYPE:	SCH. 40
WIRE SIZE:	#8
TYPE:	CU

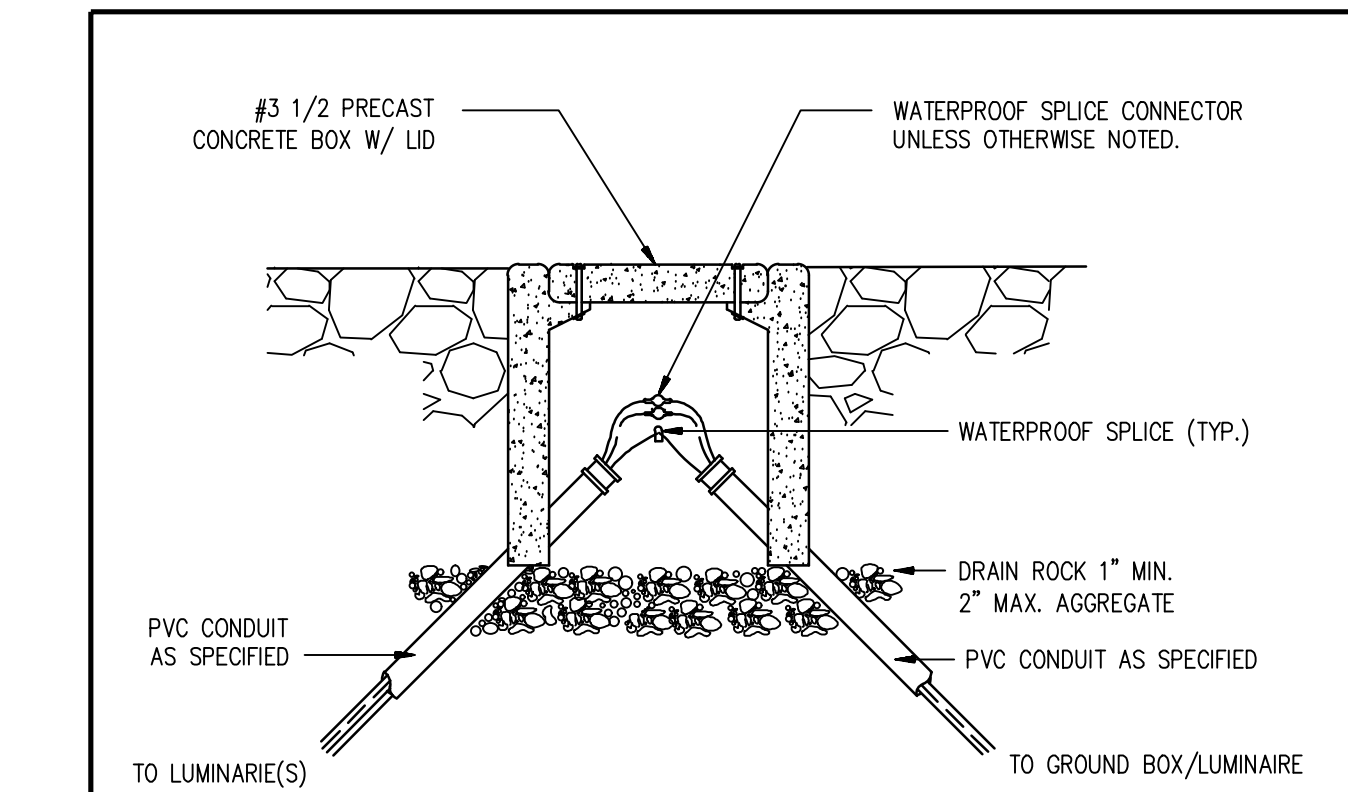
ADDITIONAL NOTES:
 -DEVELOPER TO SUPPLY AND INSTALL ELECTRIC FACILITIES UNDER THE COMPETITIVE BIDDING PROVISIONS OF PG&E GREEN BOOK RULES 15, 16 AND 20.
 -STREET LIGHTS TO BE MAINTAINED BY LANDSCAPING DISTRICT #X-X, UPON TRACT ACCEPTANCE.
 -SEE JOINT TRENCH COMPOSITE FOR TRENCH.

LEGEND

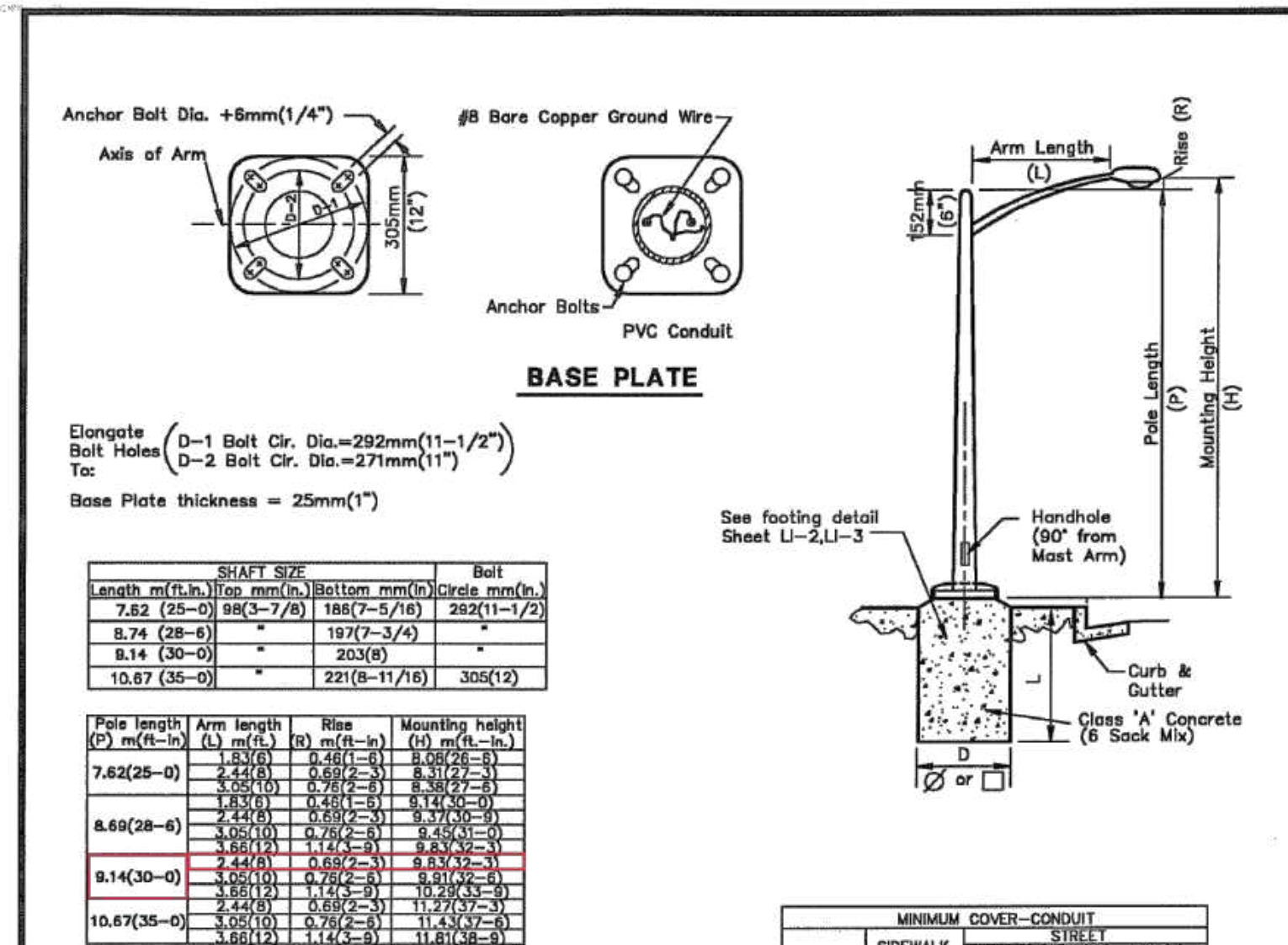
- ESL — EXISTING STREET LIGHT CONDUIT
- SL — PROPOSED STREET LIGHT CONDUIT
- X'(XX)'S.L. COND.) STREET LIGHTING CONDUIT LABEL, X' INDICATES CONDUIT LENGTH, (XX)'S.L. COND.) INDICATES CONDUIT SIZE
- X'(XX) STREET LIGHTING WIRE LABEL, X' INDICATES WIRE LENGTH, (XX) INDICATES WIRE TYPE.
- (2W) 2-#8 CU. WIRE (SEE NOTE 15)
- (3W) 3-#8 CU. WIRE (SEE NOTE 15)
- (3WG) 2-#8 CU. WIRE & 1-#8 BARE CU. GROUND (UNLESS OTHERWISE NOTED); SEE NOTE 15 & GROUNDING DETAIL
- (4WG) 3-#8 CU. WIRE & 1-#8 BARE CU. GROUND (UNLESS OTHERWISE NOTED); SEE NOTE 15 & GROUNDING DETAIL
- STREET LIGHTING PULL BOX STATE TYPE #3 1/2, 10" x 17" x 12"
- ⊠ STREET LIGHTING GROUND BOX STATE TYPE #5, 13" x 24" x 12"
- PROPOSED PUBLIC STREET LIGHT, SINGLE ARM
- EXISTING STREET LIGHT, SINGLE ARM
- (X) CIRCUIT NUMBER/PHASE (SEE ELECTRIC SOURCE DETAILS)
- (XXXX) POLE NUMBER
- ⊕ STREET LIGHT POINT OF SERVICE
- F/C FACE OF CURB



2 STREET LIGHTING PULL BOX DETAIL
SL1 NOT TO SCALE



4 PUBLIC STREET LIGHT GROUND BOX DETAIL
SL1 NOT TO SCALE



- GENERAL NOTES:**
1. Anchor bolts - 25x91x102mm(1"x 3 6/8" x 4") (4 ea.)
 2. All steel parts shall be hot dip galvanized after fabrication.
 3. Base cover required.
 4. Pole shall be 401 (10 ga).
 5. Conduit size: 32mm(1-1/4") min. unless otherwise noted.
 6. Conductor size: In streetlight pole & arm use #10 THWN. In conduit use #8 THWN.
 7. Handhole reinforcement ring to be 6x38mm(1/4" x 1-1/2").
 8. Luminaire shall be high pressure sodium vapor (HPSV) manufactured by General Electric or approved equal.
 9. The wattage and distribution as shown on approved plans.
 10. All street lights shall be wired to a multiple circuit, 240 volts.
 11. Poles and mast arms shall be steel, prime coated and painted with two coats of paint, semi gloss, "Kelly Moore # 183," "Mesa Brown."
 12. All luminaires shall be installed with integral ballasts and individual photo-electric control.
 13. Luminaires shall be Semi-Cut-Off and housing shall be provided with a slip-fitter capable of mounting on two inch pipe tenon and of being adjusted ±5 degrees from the axis of the tenon.

ELEVATION

FOOTING DIMENSIONS	ARM DIMENSIONS
D: 782mm (30")	ARM: 782mm (30")
L: 1,520mm (60")	L: 63mm (2 1/2")

*Except 10.67m(35') Pole
L=1.63m(5'-4")

CITY OF MENLO PARK STANDARD DETAILS

STREET LIGHT POLE AND FITTINGS

APPROVED: *[Signature]*
Director of Engineering Services, P.E., No. 10208

STD. DETAIL No.: LL-1

1 PUBLIC STREET LIGHT CITY DETAIL
SL1 NOT TO SCALE

FOR REVIEW ONLY

813 First Street
Brentwood, CA 94513
(925) 240-2595
(925) 240-7013 fax
www.tarrar.com

TARRAR

UTILITY CONSULTANTS

- Planning
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- PG&E Elec Design
- Joint Trench
- H. E. P. Design
- Street Lighting
- Cost Analysis
- Fiber Optic
- Due Diligence

STREET LIGHTING GENERAL NOTES AND DETAILS

MARCH CAPITAL MANAGEMENT
3705 HAVEN AVENUE
MENLO PARK CALIFORNIA

NO.	REVISIONS	BY	DATE

DATE: MAY 2022 DATE LAST WORKED ON: 4/21/2023

SCALE: NOT TO SCALE DRAWN: SM CHECKED: AR

JOB NO.: 222068 PRELIMINARY NOT FOR CONSTRUCTION

INTENT TO CONSTRUCT

811
CALL BEFORE YOU DIG
UNDERGROUND SERVICE ALERT

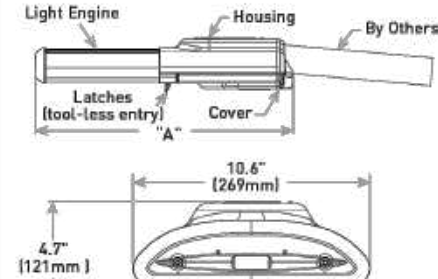
SHEET
SL1
SL3
OF SHEETS

LEDway® Series

LEDway® LED Street Light

Rev. Date: V5.06/26/2020

Product Description
Luminaire housing is all aluminum construction. Standard luminaire utilizes terminal block for power input suitable for #2-#14 AWG wire. Luminaire is designed to mount on a 2" (51mm) (P: 2.375" (60mm)) O.D. horizontal tendon and/or a 1.25" (32mm) (P: 1.44" (37mm)) O.D. horizontal tendon (minimum 8" (203mm) in length) and is adjustable +/- 3° to allow for luminaire leveling (see note 1-level included).
Applications: Roadway, parking lots, walkways and general areas spaces



LED Count (x16)	Dim. 2"	Weight
02	17.5" (443mm)	13.9 lbs. (6.3kg)
03	17.8" (452mm)	13.9 lbs. (6.3kg)
04	22.8" (580mm)	16.3 lbs. (7.4kg)
05	22.8" (580mm)	17.9 lbs. (8.1kg)
06	22.8" (580mm)	17.9 lbs. (8.1kg)
07	26.8" (680mm)	22.9 lbs. (10.4kg)
08	26.8" (680mm)	22.9 lbs. (10.4kg)
09	26.8" (680mm)	22.9 lbs. (10.4kg)
10	33.1" (842mm)	28.9 lbs. (13.1kg)
11	33.1" (842mm)	28.9 lbs. (13.1kg)
12	33.1" (842mm)	28.9 lbs. (13.1kg)

Performance Summary

Patented NanoOptic® Product Technology

Assembled in the U.S.A. of U.S. and imported parts

CRI: Minimum 90 CRI

CEC: 4000K (4'-300K), 5700K (4'-500K) standard

3 Year Limited Warranty: 10 years on luminaire/10 years on Colorfast DeluxGuard® finish

[www.creeledlighting.com](#) for warranty terms

Accessories

Part Number	Part Name	Part Number	Part Name
3A-8952P02	3rd Side for Light Engine	3A-8952P03	3rd Side for Housing
3A-8952P03	3rd Side for Housing	3A-8952P04	3rd Side for Mounting
3A-8952P04	3rd Side for Mounting	3A-8952P05	3rd Side for Shipping
3A-8952P05	3rd Side for Shipping	3A-8952P06	3rd Side for Storage
3A-8952P06	3rd Side for Storage	3A-8952P07	3rd Side for Transport
3A-8952P07	3rd Side for Transport	3A-8952P08	3rd Side for Distribution
3A-8952P08	3rd Side for Distribution	3A-8952P09	3rd Side for Retail
3A-8952P09	3rd Side for Retail	3A-8952P10	3rd Side for Installation
3A-8952P10	3rd Side for Installation	3A-8952P11	3rd Side for Maintenance
3A-8952P11	3rd Side for Maintenance	3A-8952P12	3rd Side for Replacement
3A-8952P12	3rd Side for Replacement	3A-8952P13	3rd Side for Repair
3A-8952P13	3rd Side for Repair	3A-8952P14	3rd Side for Recycling

Ordering Information

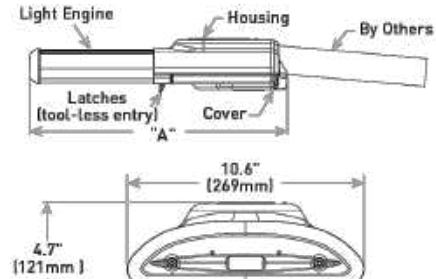
STL-WV	2M	HT	LED Count (x16)	Series	Voltage	Color Options	Drive Current	Options
STL-WV	HT	HT	02	UL	120V	Black	825	12
			03	UL	120V	Black	825	12
			04	UL	120V	Black	825	12
			05	UL	120V	Black	825	12
			06	UL	120V	Black	825	12
			07	UL	120V	Black	825	12
			08	UL	120V	Black	825	12
			09	UL	120V	Black	825	12
			10	UL	120V	Black	825	12
			11	UL	120V	Black	825	12
			12	UL	120V	Black	825	12

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LEDway® LED Street Light

Rev. Date: V5.06/26/2020

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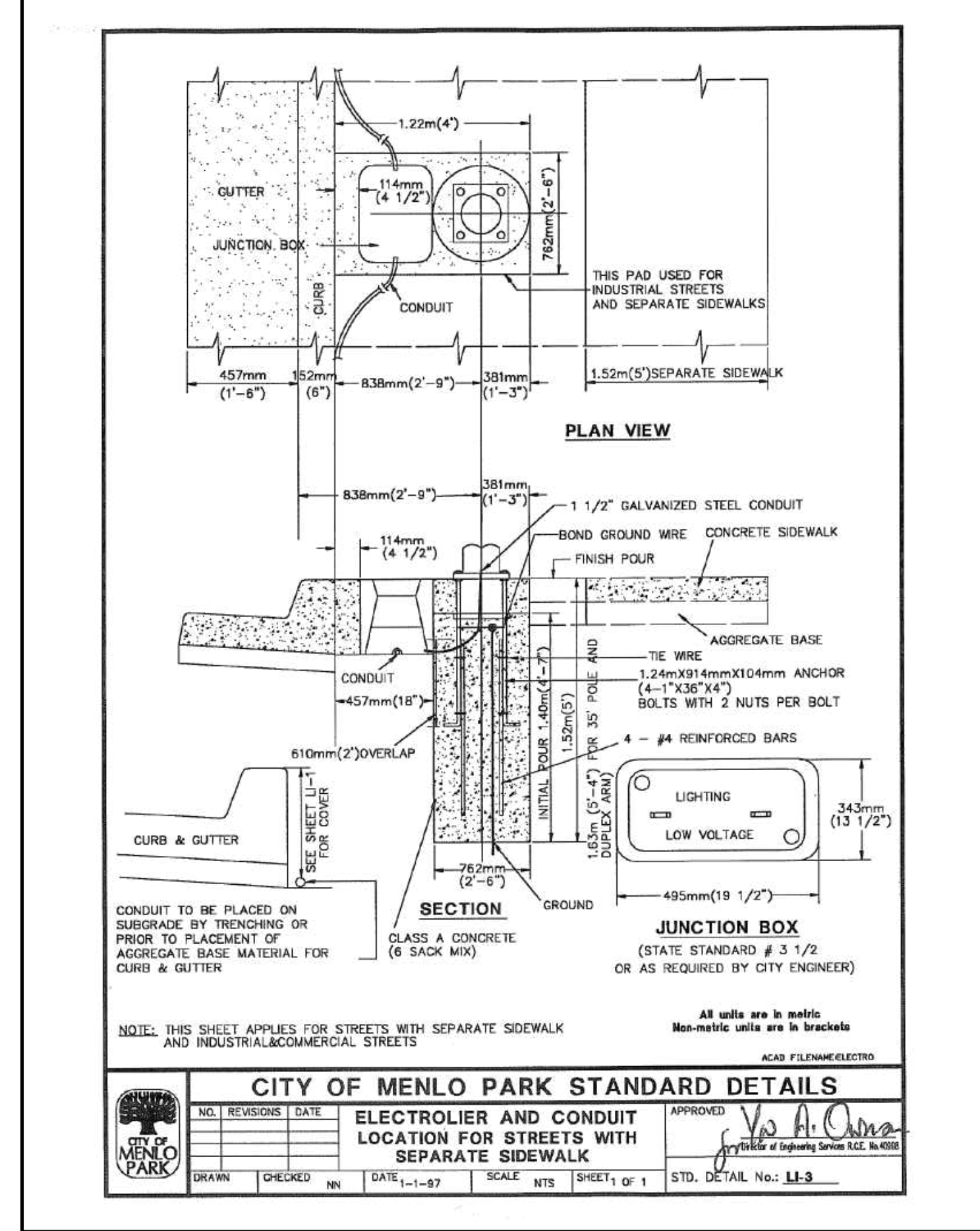
[www.creeledlighting.com](#) for warranty terms

Accessories

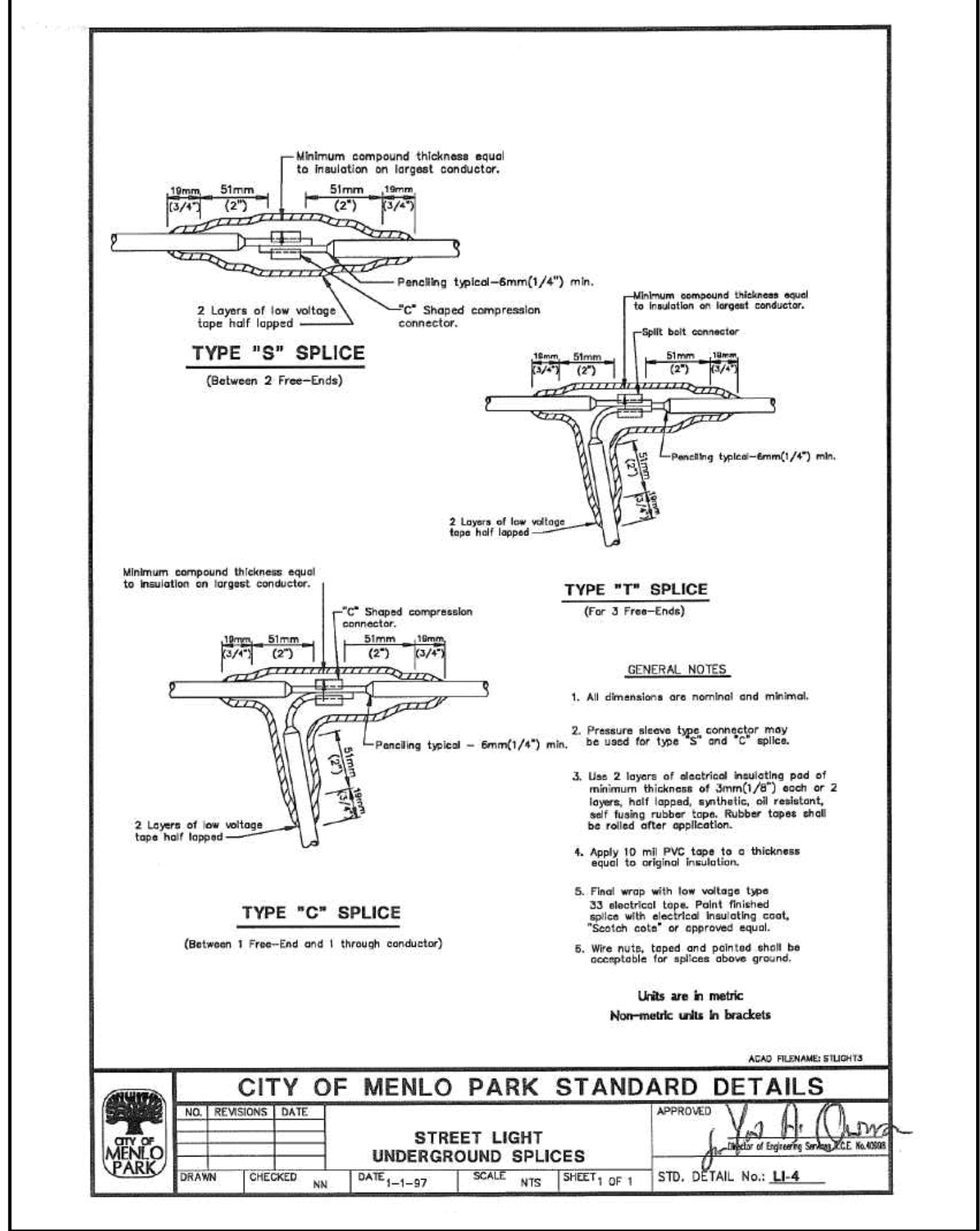
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3A-8952P03	3rd Side for Housing	3A-8952P04	3rd Side for Mounting
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3A-8952P11	3rd Side for Maintenance	3A-8952P12	3rd Side for Replacement
3A-8952P12	3rd Side for Replacement	3A-8952P13	3rd Side for Repair
3A-8952P13	3rd Side for Repair	3A-8952P14	3rd Side for Recycling

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STL-WV	2M	HT	LED Count (x16)	Series	Voltage	Color Options	Drive Current	Options
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			05	UL	120V	Black	825	12
			06	UL	120V	Black	825	12
			07	UL	120V	Black	825	12
			08	UL	120V	Black	825	12
			09	UL	120V	Black	825	12
			10	UL	120V	Black	825	12
			11	UL	120V	Black	825	12
			12	UL	120V	Black	825	12



3 CITY OF MENLO PARK ELECTROLIER AND CONDUIT DETAIL
NOT TO SCALE



4 CITY OF MENLO PARK UNDERGROUND SPICES DETAIL
NOT TO SCALE

LEDway® LED Street Light

Product Specifications

CONSTRUCTION & MATERIALS

- Housing is all aluminum construction
- Terminal block for power input suitable for #2-#14 AWG wire
- HT Mount is designed to mount on a 2" (51mm) (P: 2.375" (60mm)) O.D. horizontal tendon and/or a 1.25" (32mm) (P: 1.44" (37mm)) O.D. horizontal tendon (minimum 8" (203mm) in length) and is adjustable +/- 3° to allow for luminaire leveling (see note 1-level included)
- Excludes Colorfast DeluxGuard® finish features an E-Coat epoxy primer with an ultra-durable powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. Black, bronze, and silver are available

Weight: See Dimensions and Weight chart on page 1

ELECTRICAL SYSTEM

- Input Voltage: 120-277V or 347-480V, 50/60Hz, Class 1 drivers
- Power Factor: > 0.9 at full load
- Total Harmonic Distortion: < 20% at full load
- Quick disconnect harness suitable for mate and break under load provided on power lead to driver for ease of maintenance
- Integral 10KV surge suppression protection standard
- To address inrush current, slow blow fuse or type CO breaker should be used
- 10V Source Current: 20-40 LED: 0.15mA, 80-120 LED: 0.30mA

REGULATORY & VOLUNTARY QUALIFICATIONS

- cULus Listed
- Suitable for wet locations
- Meets CAL-Tier 1 Vibration testing and GR-43-CORE Section 4.4.10.4.2 Earthquake Zone 4
- Certified to ANSI C136.31-2001, 30 bridge and overpass vibration standards
- ANSI C136.2 10KV surge protection, tested in accordance with IEEE/ANSI C42.41.2
- Luminaire and finish are endurance tested to withstand 5,000 hours of simulated ambient salt fog as defined in ASTM Standard B 117
- Meets Bay Area requirements within ARRA
- Meets FCC Part 15, Subpart B, Class A limits for conducted and radiated emissions

CA RESIDENTS WARNING: Cancer and Reproductive Harm - www.P669698.ca.gov

LEDway® LED Street Light

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CA RESIDENTS WARNING: Cancer and Reproductive Harm - www.P669698.ca.gov

1 PUBLIC LUMINAIRE DETAIL
NOT TO SCALE

2 PUBLIC LUMINAIRE DETAIL
NOT TO SCALE

FOR REVIEW ONLY

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(925) 240-7013 fax
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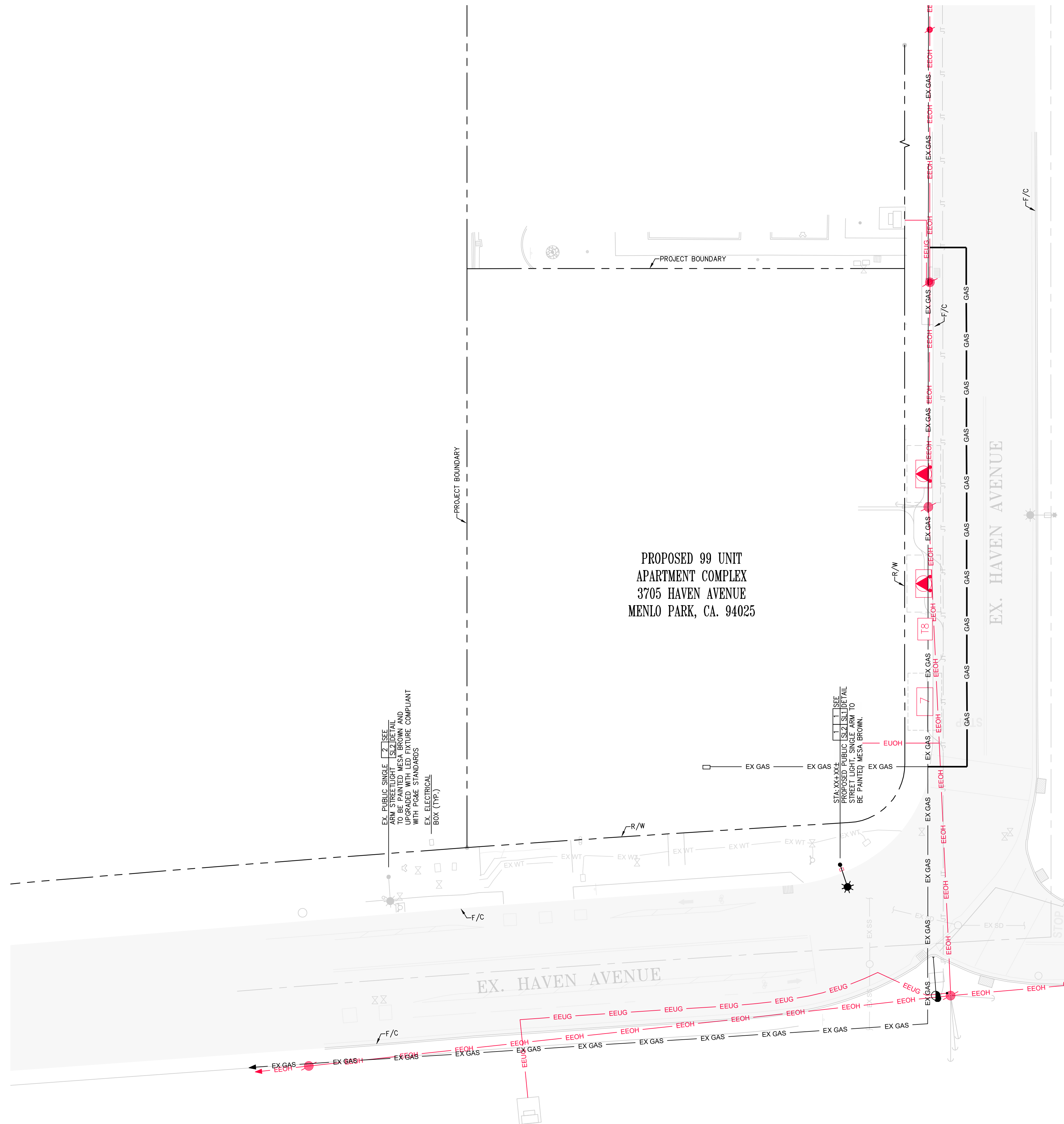
- Planning
- Design
- Estimating
- Joint Trench
- Street Lighting
- Fiber Optic
- T-24
- PG&E Gas Design
- PG&E Elec Design
- H. E. P. Design
- Cost Analysis
- Due Diligence

STREET LIGHTING GENERAL NOTES AND DETAILS
MARCH CAPITAL MANAGEMENT
3705 HAVEN AVENUE
MENLO PARK CALIFORNIA

NO.	REVISIONS	BY	DATE	DATE: MAY 2022	DATE LAST WORKED ON: 4/21/2023
				SCALE: NOT TO SCALE	DRAWN: SM CHECKED: AR
				JOB NO.: 222068	PRELIMINARY NOT FOR CONSTRUCTION
				INTENT TO CONSTRUCT	

SHEET
SL2
SL3
OF
SHEETS

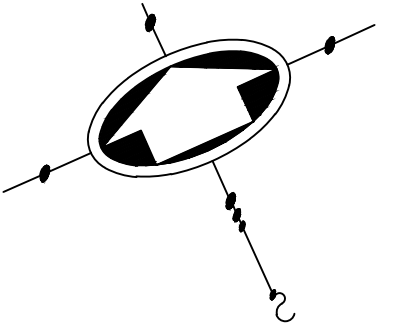
PROPOSED 99 UNIT
APARTMENT COMPLEX
3705 HAVEN AVENUE
MENLO PARK, CA. 94025



EX. PUBLIC SINGLE ARM STREETLIGHT SEE DETAIL TO BE PAINTED MESA BROWN AND UPGRADED WITH LED FIXTURE COMPLIANT WITH PG&E STANDARDS

EX. PUBLIC SINGLE ARM STREETLIGHT SEE DETAIL TO BE PAINTED MESA BROWN AND UPGRADED WITH LED FIXTURE COMPLIANT WITH PG&E STANDARDS
EX. ELECTRICAL BOX (TOP)

EX. PUBLIC SINGLE ARM STREETLIGHT SEE DETAIL TO BE PAINTED MESA BROWN.



SCALE: 1" = 20'

FOR REVIEW ONLY

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Brentwood, CA 94513
(925) 240-2595
(925) 240-7013 fax
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- Planning
- Design
- Estimating
- Joint Trench
- Street Lighting
- Fiber Optic
- T-24
- PG&E Gas Design
- PG&E Elec Design
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STREET LIGHTING SITE PLAN
MARCH CAPITAL MANAGEMENT
3705 HAVEN AVENUE
MENLO PARK CALIFORNIA

NO.	REVISIONS	BY	DATE

DATE: MAY 2022	DATE LAST WORKED ON: 4/21/2023
SCALE: 1" = 20'	DRAWN: HK CHECKED: AR
JOB NO: 222068	PRELIMINARY NOT FOR CONSTRUCTION
INTENT TO CONSTRUCT	



SHEET
SL3
OF
SL3
SHEETS