



PARKLINE MASTER PLAN

MENLO PARK, CA

MASTER PLAN CONDITIONAL DEVELOPMENT PERMIT PACKAGE

REV. JAN. 31ST, 2025

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**MENLO PARK, CA
SITE INFORMATION SUMMARY
PARKLINE MASTER PLAN PROJECT**

LOCATION: 333 RAVENSWOOD AVE.
EXISTING ZONING DESIGNATION: C1(X)
EXISTING USE: OFFICE / R&D
PROPOSED ZONING DESIGNATION: TBD
PROPOSED USE: RESIDENTIAL; OFFICE/R&D/LIFE SCIENCE

APPLICANT: LANE PARTNERS, LLC
PROPERTY OWNER(S): SRI INTERNATIONAL
APPLICATION(S): PLANNING SUBMISSION

SITE AREA SUMMARY	PROPOSED DEVELOPMENT			EXISTING DEVELOPMENT		
	SQUARE FEET	ACRES		SQUARE FEET	ACRES	
TOTAL SITE AREA	2,797,797	64.23		2,754,035	63.22	
SITE COVERAGE & FAR CALCULATIONS						
SITE COVERAGE CALCS	COVERAGE (SQ.FT.)	COVERAGE (ACRES)	PERCENTAGE OF COVERAGE	COVERAGE (SQ.FT.)	COVERAGE (ACRES)	
LANDSCAPING	1,064,320	24.43	38%	767,431	17.62	28%
PAVING	815,477	18.72	29%	1,351,341	31.02	49%
BUILDING COVERAGE	918,000 *	21.07	33%	635,263 **	14.58	23%
SITE FAR CALCULATIONS	SITE AREA	GROSS FLOOR AREA	FAR	SITE AREA	GROSS FLOOR AREA	FAR
OFFICE/R&D	2,797,797	1,378,330 *	0.49	2,754,035	1,380,332 **	0.50
RESIDENTIAL	2,797,797	1,096,000	0.39	N/A	N/A	N/A

RESIDENTIAL BUILDING AREA SUMMARY				
RESIDENTIAL BUILDING	BUILDING COVERAGE (SF)	GROSS FLOOR AREA (SF)	UNITS (DU)	PARKING SPACE
RESIDENTIAL 1	120,000	398,000	300	375
RESIDENTIAL 2	140,000	393,000	300	375
RESIDENTIAL 3 (INCL. PUBLIC AMENITY PROGRAM)	45,000	178,000	154	77
TOWN HOMES 1	35,000	72,000	19	38
TOWN HOMES 2	30,000	55,000	27	54
TOTAL RESIDENTIAL	370,000	1,096,000	800	919
PARKING RATIO	MARKET RATE: 1.25 SPACE / DU TOWN HOMES: 2.0 SPACE/ DU 100% AFFORDABLE: 0.5 SPACE/ DU (*ADDITIONAL SHARED PARKING AT 1.25)			

OFFICE/R&D BUILDING SUMMARY			
	BUILDING COVERAGE (SF)	GROSS FLOOR AREA (SF)	PARKING SPACES
OFFICE/R&D BUILDING			
NEW			SEE OFFICE/ R&D PARKING BELOW
OFFICE 1	52,000	184,000	
OFFICE 2	52,000	227,300	
OFFICE 3	51,400	227,300	
OFFICE 4	51,500	229,000	
OFFICE 5	52,000	184,000	
OFFICE AMENITY BUILDING	23,070	40,000	
SUB-TOTAL NEW BUILDINGS	281,970	1,091,600	
EXISTING			
BUILDING P	42,446	183,423	
BUILDING S	12,599	21,241	
BUILDING T	52,985	82,066	
SUB-TOTAL EXISTING BUILDINGS ***	108,030	286,730	
SUB-TOTAL BUILDINGS	390,000	1,378,330	
OFFICE/R&D PARKING			
PARKING GARAGE 1	46,500	EXCLUDED FROM FAR CALC	2,330
PARKING GARAGE 2	56,500		
PARKING GARAGE 3	55,000		
BASEMENT PARKING - OFFICE 1 ****	52,000		180
BASEMENT PARKING - OFFICE 5 ****	52,000		
SURFACE PARKING	N/A		290
SUB-TOTAL PARKING	262,000	0	2,800
TOTAL OFFICE/R&D AND PARKING ****	548,000	1,378,330	2,800
OFFICE / R&D FAR	0.49		
PARKING RATIO	APPROX. 2 SPACES / 1,000 SF		

TREES	EXISTING	EXISTING TO BE REMOVED	NEW
HERITAGE TREE	600	-264	
NON-HERITAGE TREE	742	-546	
NEW			860
TOTAL	1,342	-810	860
TOTAL TREES PROPOSED	1,392		

- NOTES:**
- ALL FIGURES ABOVE ARE APPROXIMATE.
 - THE COMMON UTILITY YARD (CUY) IS AN INDEPENDENT PROJECT THAT IS NOT A PART OF THE PARKLINE PROJECT.
- * CALCULATIONS OF PROPOSED DEVELOPMENT EXCLUDE PUMP STATION AND COMMON UTILITY YARD (CUY).
** CALCULATIONS OF EXISTING DEVELOPMENT EXCLUDE COMMON UTILITY YARD (CUY) AND CHURCH.
*** BUILDING P, S, AND T (TOTAL GFA OF 286,730 SF) TO REMAIN, OPERATED BY SRI.
**** TOTAL PARKING COVERAGE CALCULATIONS EXCLUDES O1 AND O5 BASEMENT PARKING AS THAT COVERAGE IS ALREADY ACCOUNTED FOR ABOVE IN BUILDING COVERAGE CALCULATIONS.

***FOR ILLUSTRATIVE PURPOSES ONLY**

Updated Variant (2024) – Residential Unit Mix Details

Table 1: Parkline Residential Units (Buildings R1, R2, TH1 and TH2)

Proposed Market Rate Dwelling Units	Area (SF)	Number of Units	Percent of Dwelling Units
Studio/1Bath	550-650	46	7.1%
1Bedroom/1Bath	700-900	253	39.2%
2Bedroom/2Bath	1,000-1,250	257	39.8%
3Bedroom/2Bath	1,300-1,450	44	6.8%
4Bedroom/3Bath (Townhouse)	2,000-3,000	46	7.1%
Total Market Rate Units	918,000	646	100%

Table 2: Affordable Housing Dedication (Building R3)

Proposed Affordable Dwelling Units	Area (SF)	Number of Units	Percent of Dwelling Units
1Bedroom/1Bath	500-600	70	45.5%
2Bedroom/1Bath	800-850	42	27.3%
3Bedroom/2Bath	1,000-1,200	42	27.3%
Total Affordable Units	178,000	154	100%

Table 3: Total Residential Units

Proposed Total Dwelling Units	Area (SF)	Number of Units	Percent of Dwelling Units
Studio	700-900	46	6%
1Bedroom	500-900	323	40%
2Bedroom	800-1,250	299	37%
3Bedroom	1,000-1,450	86	11%
4Bedroom (Townhouse)	2,000-3,000	46	6%
Total Units	1,096,000	800	100%

LOCATION MAP



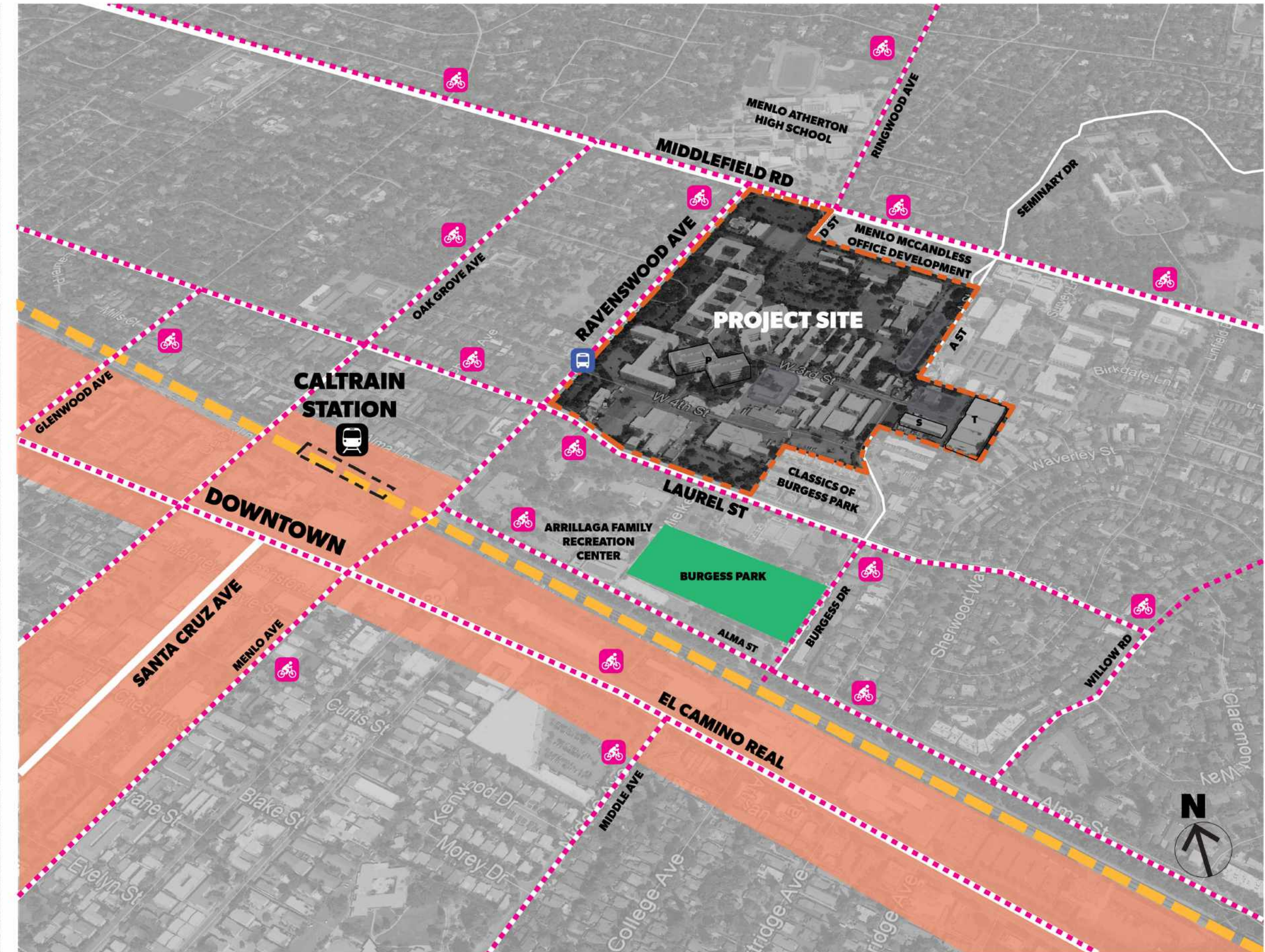
EXISTING PARCELIZATION MAP



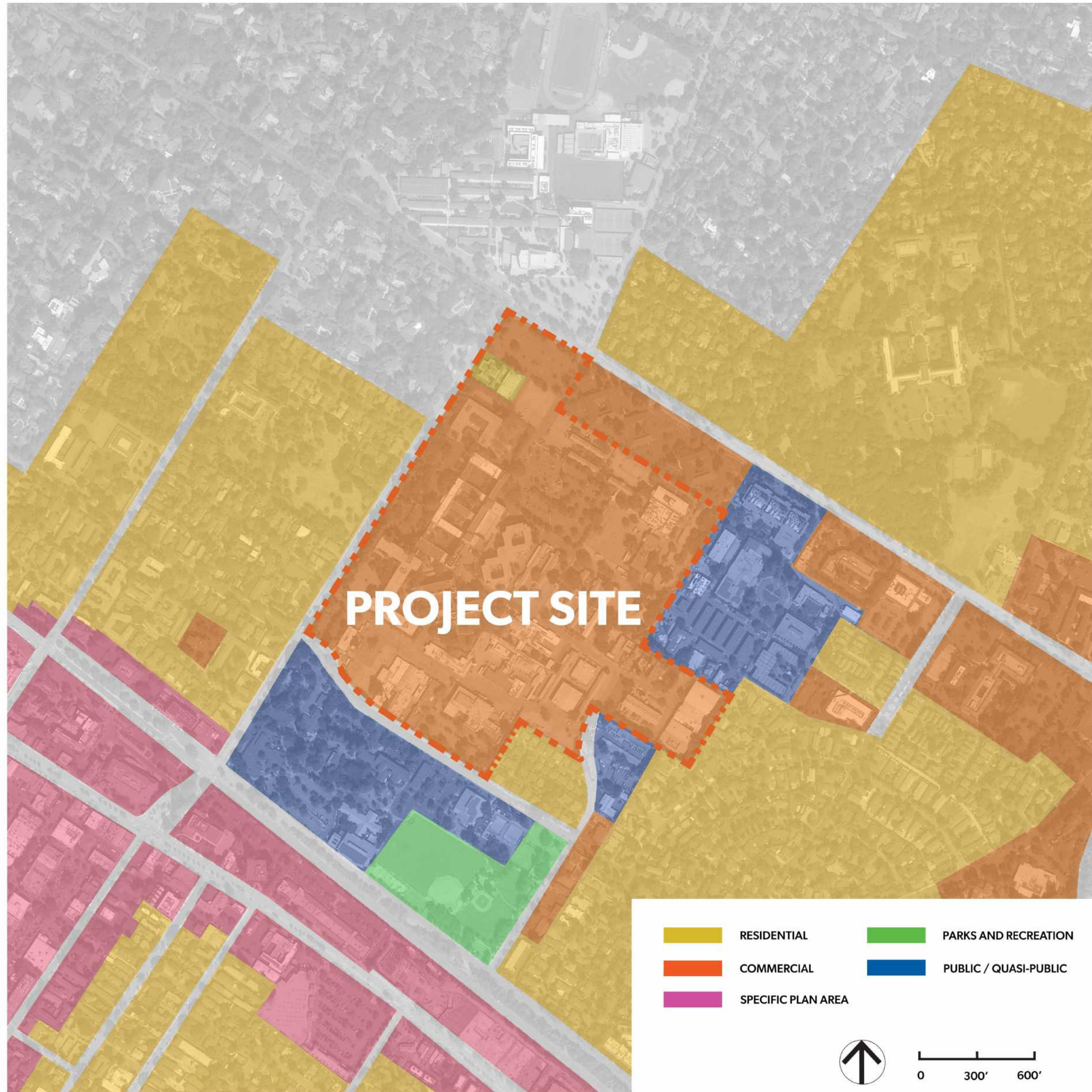
SITE MAP



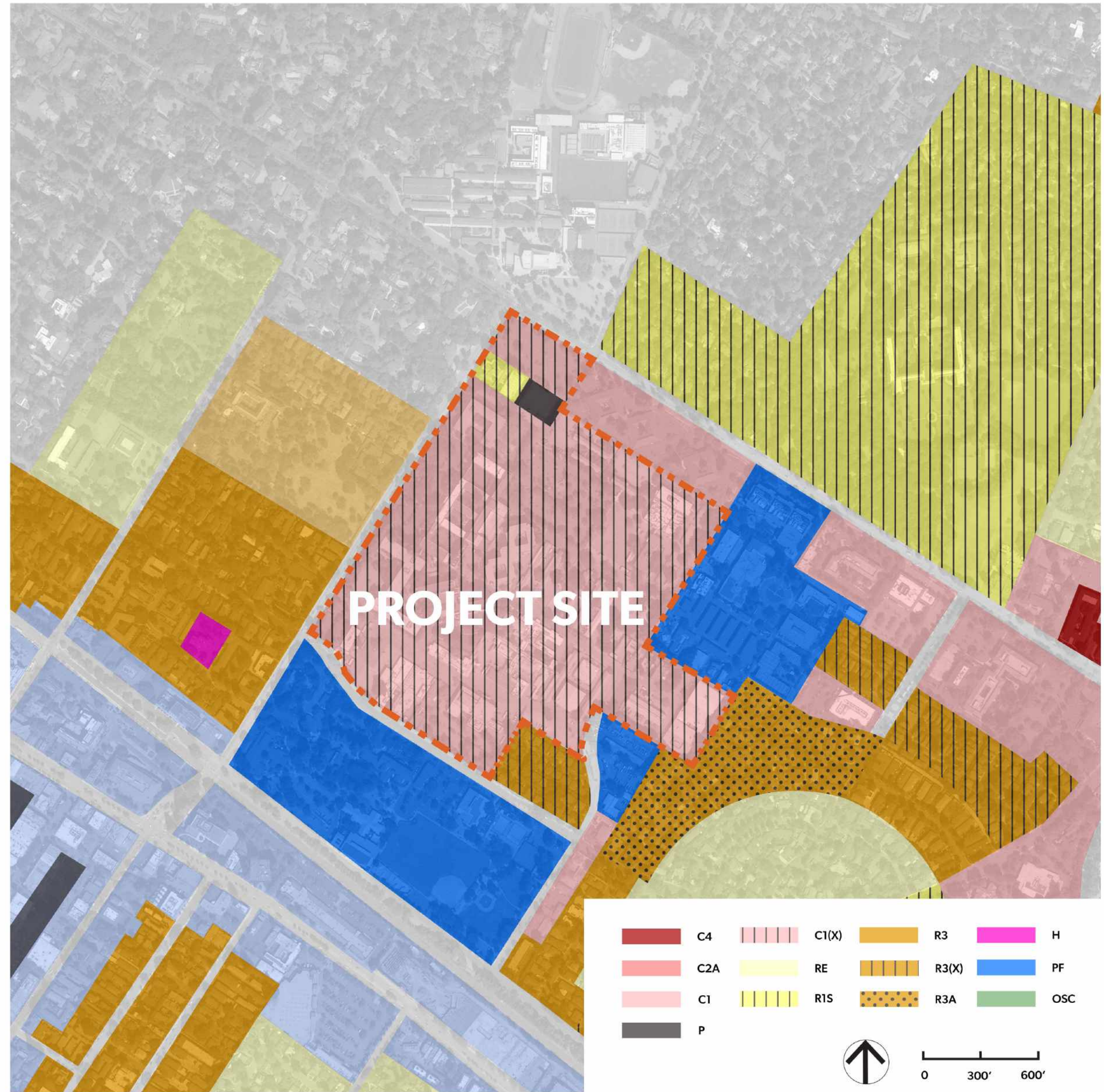
SITE DIAGRAM



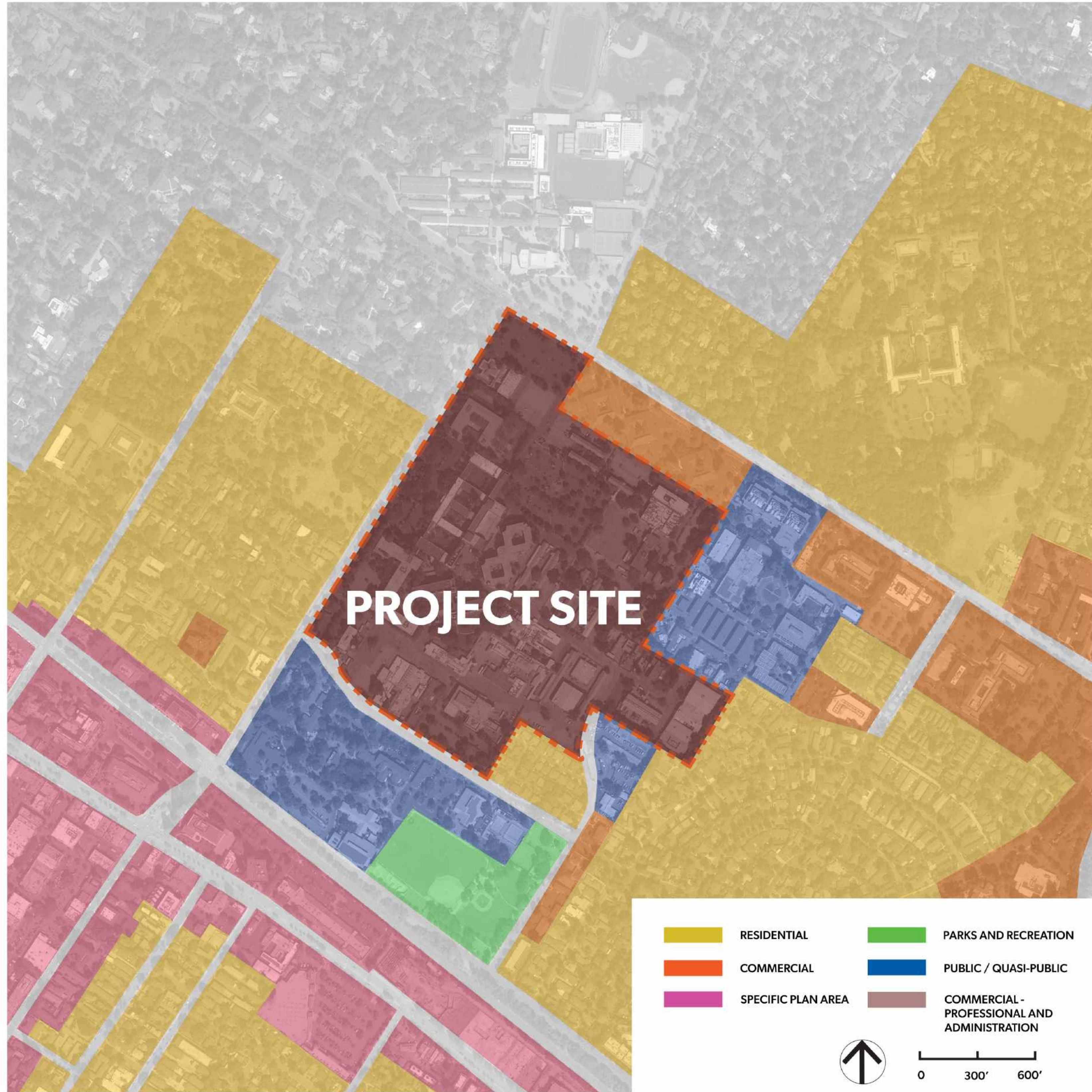
EXISTING GENERAL PLAN MAP



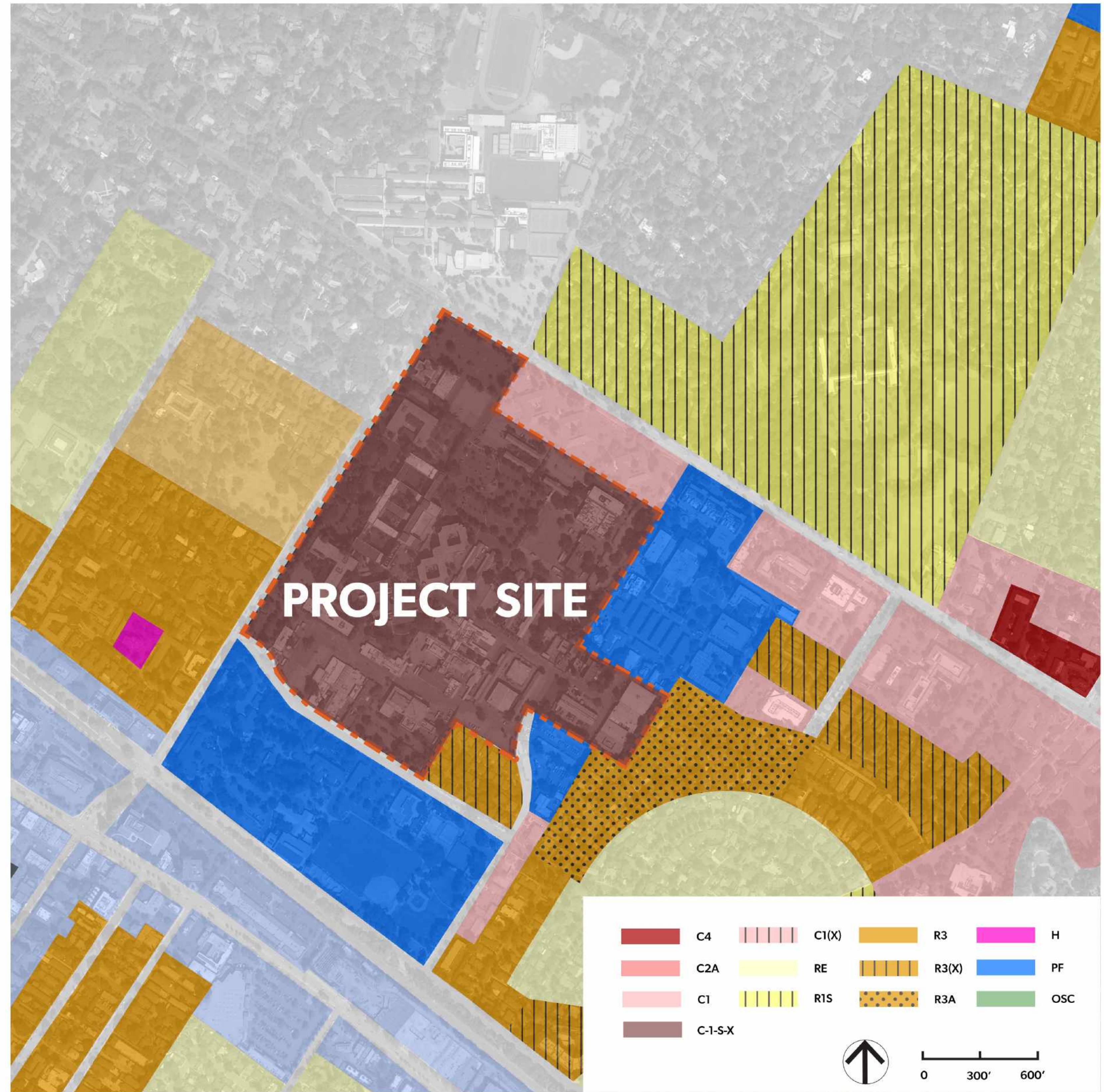
EXISTING ZONING MAP

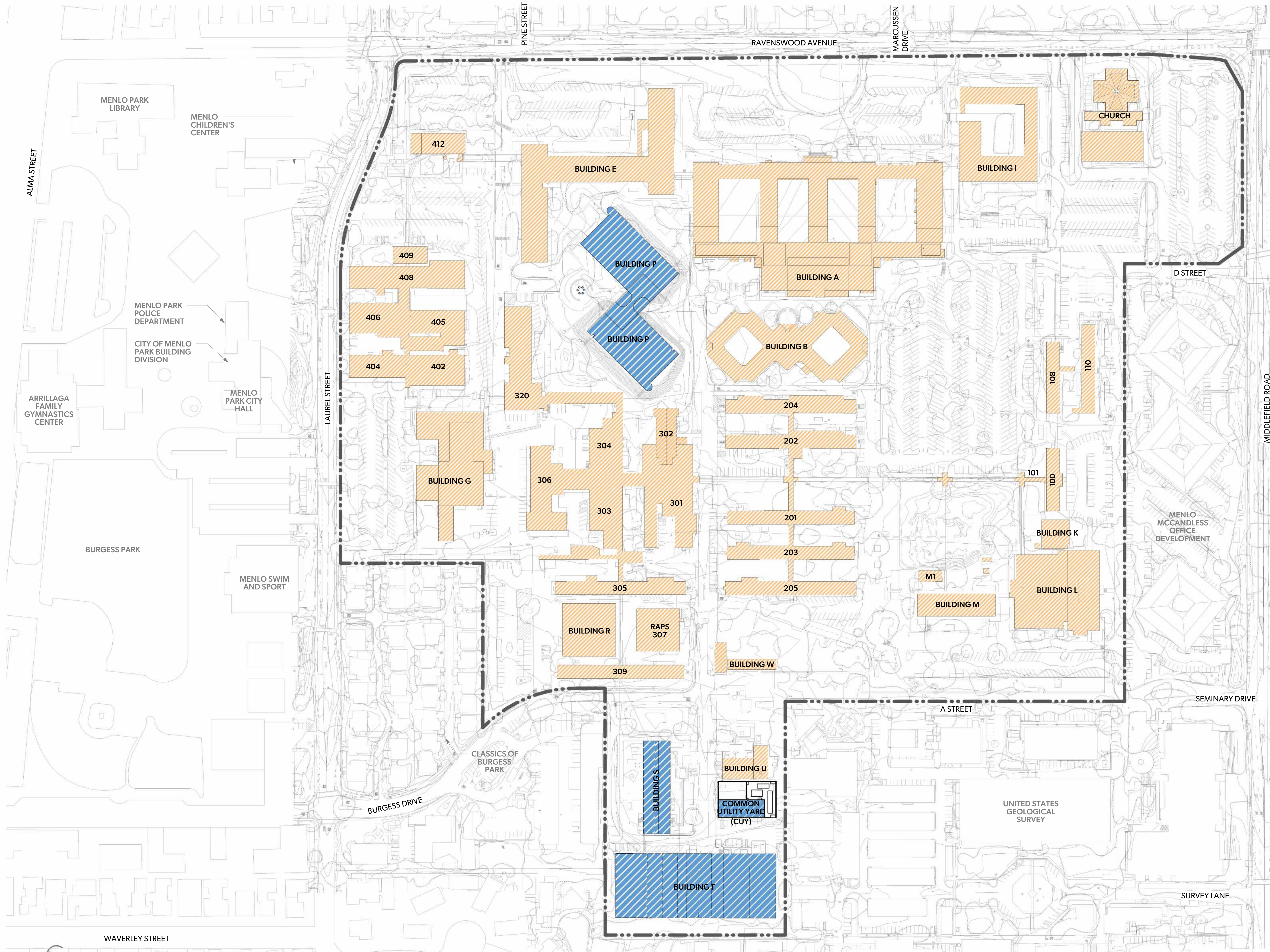


PROPOSED GENERAL PLAN MAP



PROPOSED ZONING MAP





BUILDING NUMBER	BUILDING COVERAGE (SF)	GROSS FLOOR AREA (SF)	HISTORIC USES
A	75,673	276,113	OFFICE
B	33,150	135,110	OFFICE
E	42,995	171,980	OFFICE
G	32,858	59,536	OFFICE
I	24,750	56,920	OFFICE/ AMENITY
K	4,101	4,101	RESEARCH
L	36,062	75,267	RESEARCH
M	12,822	25,772	RESEARCH
P	42,446	183,423	OFFICE/ RESEARCH
R	14,400	23,009	SUPPORT
S	12,599	21,241	RESEARCH
T	52,985	82,066	RESEARCH
U	5,400	5,400	SUPPORT
W	1,819	1,819	SUPPORT
100	4,503	9,006	OFFICE
108	5,047	10,093	OFFICE
110	6,418	12,836	OFFICE
201	9,128	9,128	OFFICE
202	10,514	10,514	OFFICE/ RESEARCH*
203	10,070	10,070	OFFICE
204	10,557	10,557	OFFICE
205	10,039	10,039	OFFICE
301	19,943	19,943	OFFICE/ RESEARCH
302 CAF	2,893	2,893	AMENITY**
303	4,267	4,267	OFFICE/ RESEARCH
304	22,978	22,978	OFFICE/ RESEARCH
305	9,982	9,982	OFFICE/ RESEARCH
306	14,331	14,331	OFFICE/ RESEARCH
307	9,600	9,600	OFFICE/ RESEARCH
309	9,236	9,236	SUPPORT***
320	19,440	19,440	OFFICE
402/404	16,867	16,867	OFFICE
405	2,055	2,055	OFFICE
406	16,520	16,520	OFFICE
408	15,395	15,395	RESEARCH
409	5,527	5,527	RESEARCH
412	5,858	5,858	SUPPORT
M1	1,440	1,440	OFFICE/ RESEARCH
SBSTN	595	-	SUPPORT
SUBTOTAL	635,263	1,380,332	
CUY	4,234	4,234	SUPPORT
CHURCH	12,700	12,700	WORSHIP
TOTAL	652,197	1,397,266	

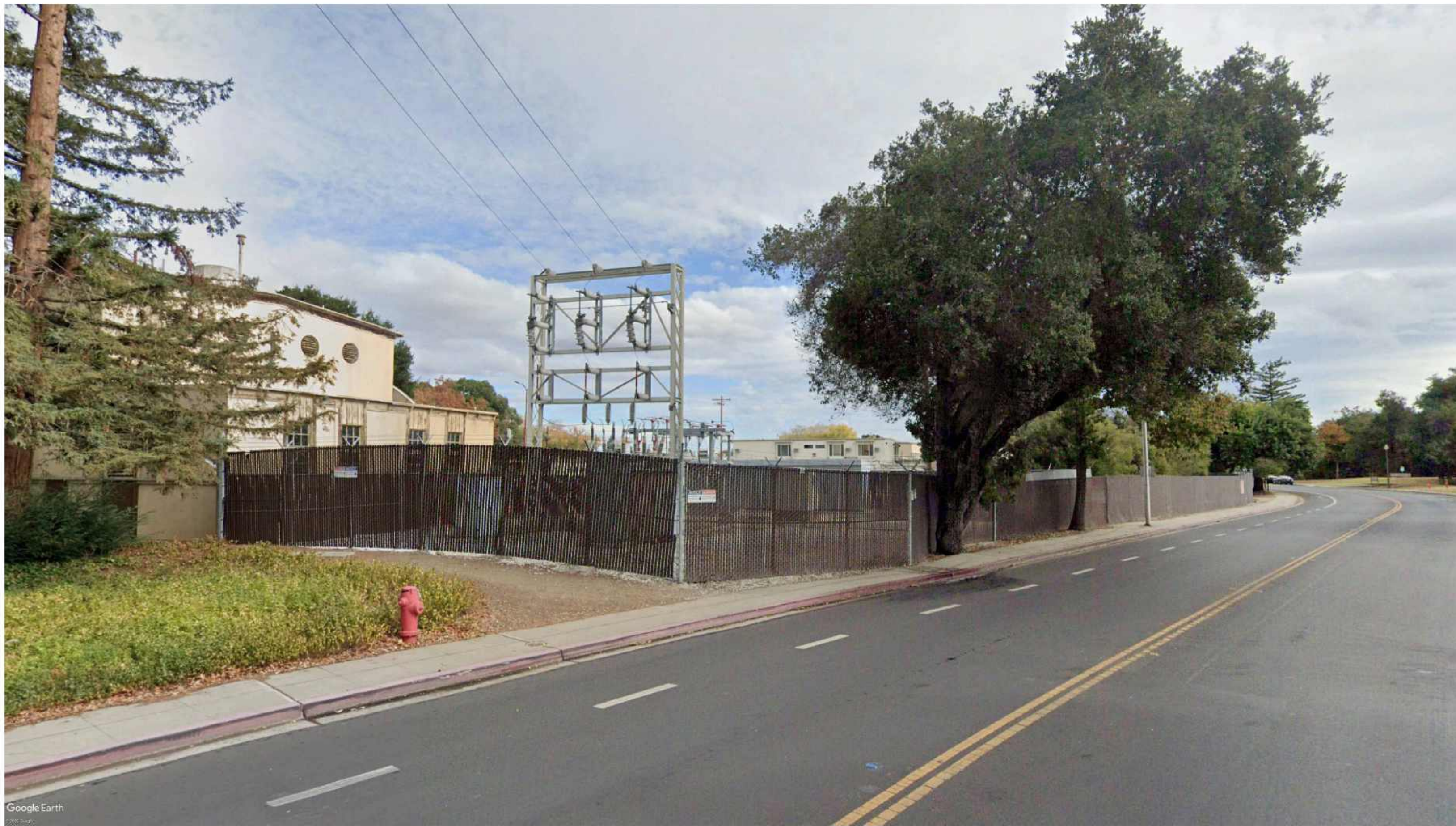
NOTE:
 * "OFFICE/RESEARCH" INDICATES A 50/50 SPLIT BETWEEN OFFICE AND R&D USES WITHIN A BUILDING.
 ** AMENITY USES INCLUDE EMPLOYEE FITNESS CENTERS, CAFETERIA SPACES, AND SIMILAR TENANT AMENITY USES.
 *** SUPPORT USES INVOLVE SHIPPING/RECEIVING FACILITIES AND STORAGE.

LEGEND

TO BE REMOVED

TO REMAIN

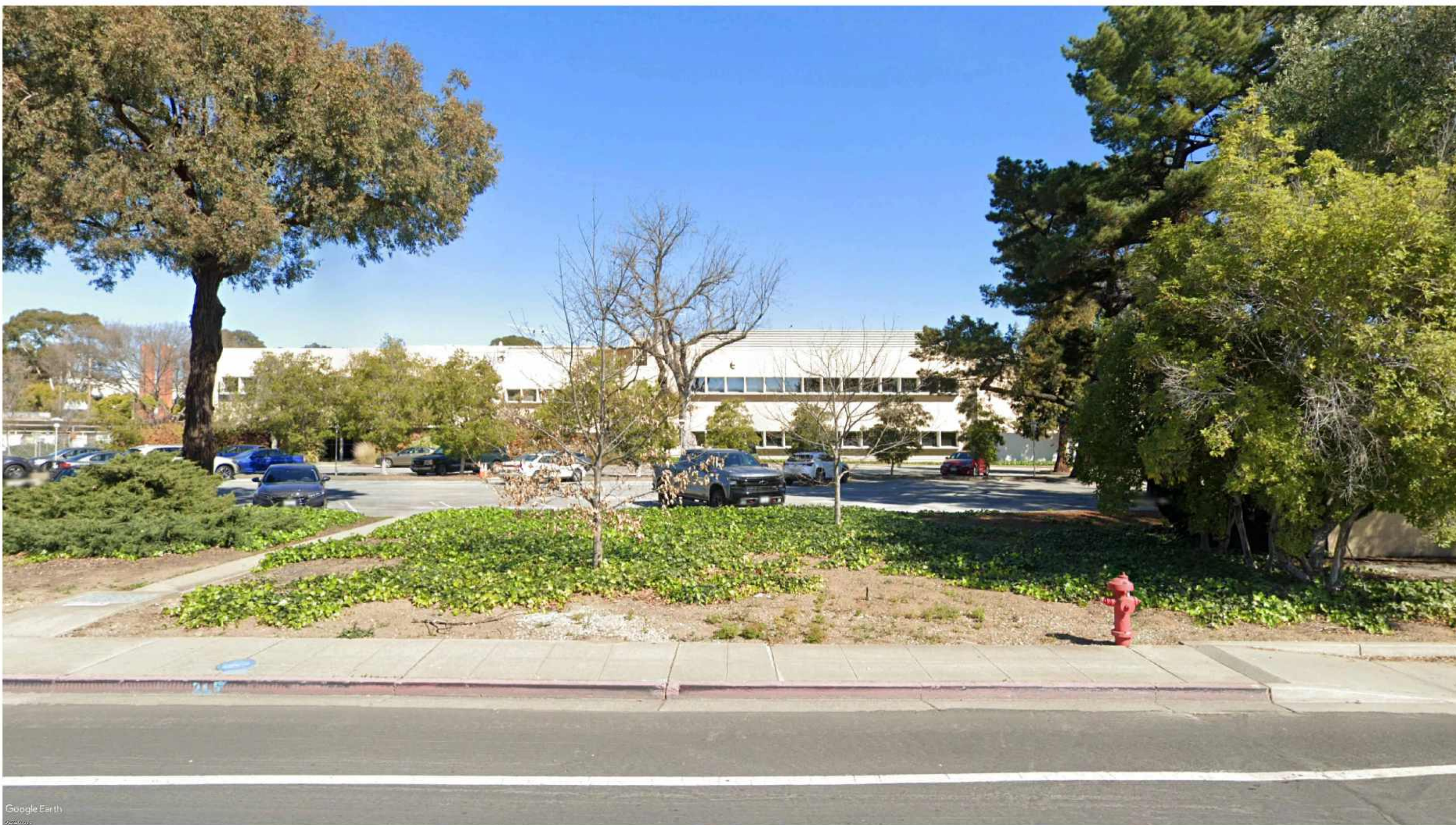
Scale: 1" = 100' -0"



VIEW ON LAUREL TOWARD SOUTH



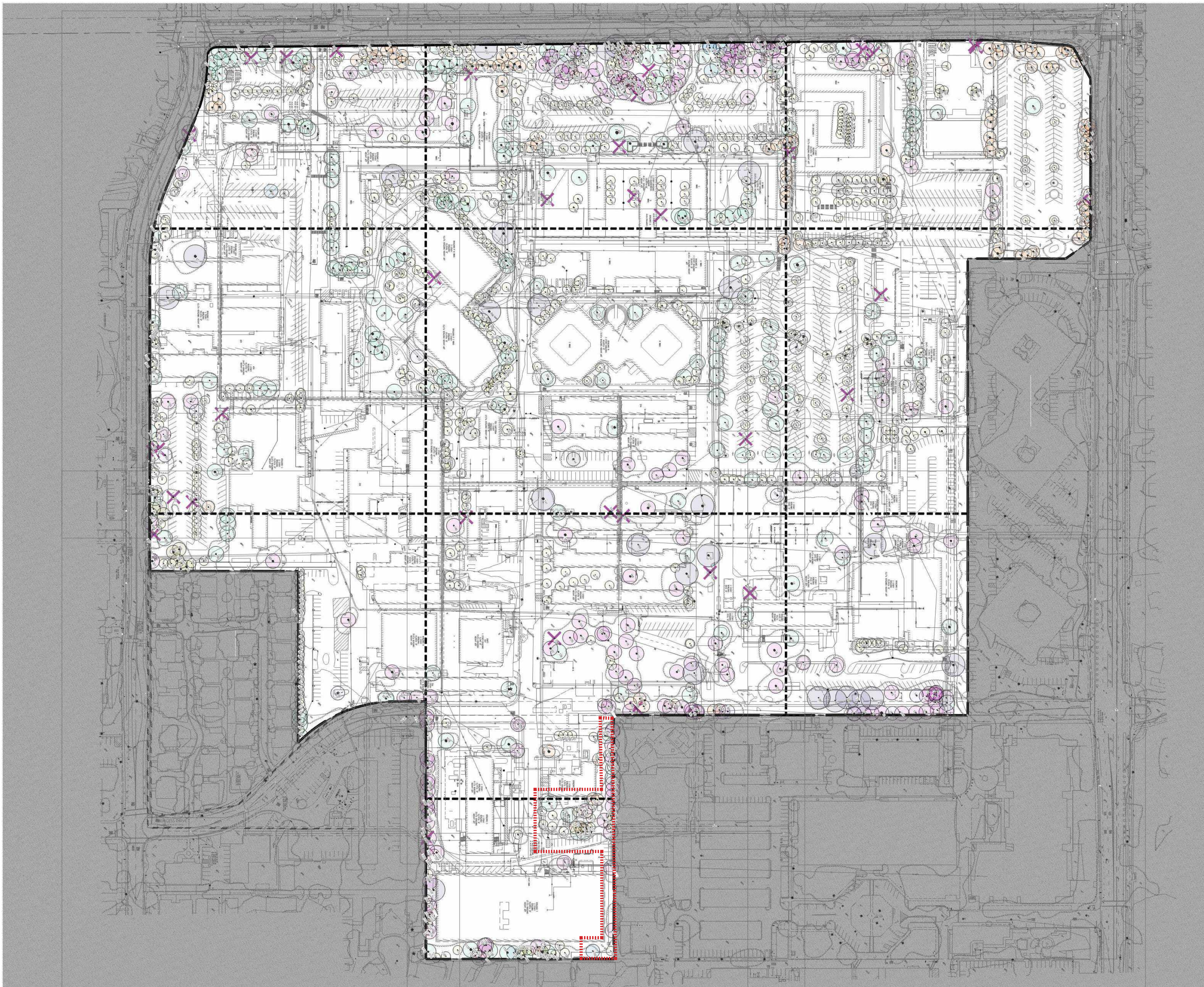
VIEW ON LAUREL TOWARD NORTH



VIEW ON LAUREL TOWARD EAST



VIEW ON MIDDLEFIELD TOWARD CHURCH



LEGEND

- HERITAGE QUERCUS AGRIFOLIA. / COAST LIVE
- HERITAGE QUERCUS LOBATA / VALLEY OAK
- HERITAGE QUERCUS ILEX / HOLLY OAK
- HERITAGE QUERCUS RUBRA / RED OAK
- HERITAGE SEQUOIA SEMPERVIRENS / REDWOOD
- HERITAGE PLATANUS RACEMOSA / CA SYCAMORE
- HERITAGE OLEA EUROPEA / OLIVE
- HERITAGE INVASIVE
- HERITAGE OTHERS
- NON HERITAGE

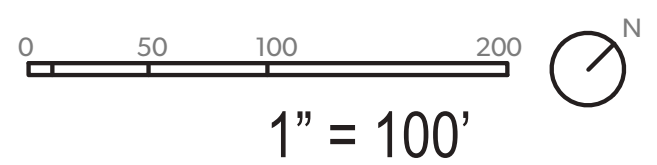
TREES ASSOCIATED WITH SEPARATE PERMIT PROCESS, PLN2023-0025, AND HERITAGE REMOVAL APPLICATION HTR2023-00195

- HERITAGE QUERCUS AGRIFOLIA
- HERITAGE QUERCUS LOBATA
- HERITAGE QUERCUS ILEX
- HERITAGE QUERCUS RUBRA
- HERITAGE SEQUOIA SEMPERVIRENS
- HERITAGE ALL OTHER SPECIES
- NON HERITAGE TREES
- NEW TREES
- - - - - BOUNDARY OF SEPARATE PER-
- X TREE REMOVED FROM 2021 TO 2024 SURVEY

EXISTING HERITAGE	600
QUERCUS AGRIFOLIA / COAST LIVE OAK	223
SEQUOIA SEMPERVIRENS / COAST REDWOOD	110
QUERCUS LOBATA / VALLEY OAK	28
LIQUIDAMBAR STYRACIFLUA / SWEET GUM	17
AFROCARPUS GRACILIOR / AFRICAN FERN PINE	16
PHOENIX CANARIENSIS / CANARY ISLAND PALM	4
OTHERS	202

EXISTING NON-HERITAGE 742

TOTAL EXISTING TREES 1,342

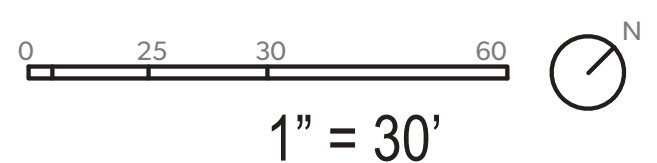


LEGEND

- HERITAGE QUERCUS AGRIFOLIA. / COAST LIVE
- HERITAGE QUERCUS LOBATA / VALLEY OAK
- HERITAGE QUERCUS ILEX / HOLLY OAK
- HERITAGE QUERCUS RUBRA / RED OAK
- HERITAGE SEQUOIA SEMPERVIRENS / REDWOOD
- HERITAGE PLATANUS RACEMOSA / CA SYCAMORE
- HERITAGE OLEA EUROPEA / OLIVE
- HERITAGE INVASIVE
- HERITAGE OTHERS
- NON HERITAGE

TREES ASSOCIATED WITH SEPARATE PERMIT PROCESS, PLN2023-0025, AND HERITAGE REMOVAL APPLICATION HTR2023-00195

- HERITAGE QUERCUS AGRIFOLIA
- HERITAGE QUERCUS LOBATA
- HERITAGE QUERCUS ILEX
- HERITAGE QUERCUS RUBRA
- HERITAGE SEQUOIA SEMPERVIRENS
- HERITAGE ALL OTHER SPECIES
- NON HERITAGE TREES
- NEW TREES
- BOUNDARY OF SEPARATE PER-
- X TREE REMOVED FROM 2021 TO 2024 SURVEY



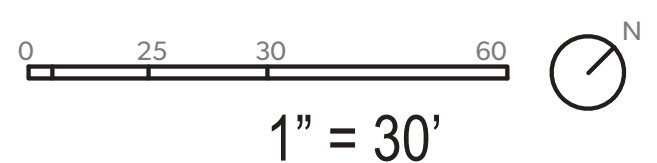


LEGEND

- HERITAGE QUERCUS AGRIFOLIA. / COAST LIVE
- HERITAGE QUERCUS LOBATA / VALLEY OAK
- HERITAGE QUERCUS ILEX / HOLLY OAK
- HERITAGE QUERCUS RUBRA / RED OAK
- HERITAGE SEQUOIA SEMPERVIRENS / REDWOOD
- HERITAGE PLATANUS RACEMOSA / CA SYCAMORE
- HERITAGE OLEA EUROPEA / OLIVE
- HERITAGE INVASIVE
- HERITAGE OTHERS
- NON HERITAGE

TREES ASSOCIATED WITH SEPARATE PERMIT PROCESS, PLN2023-0025, AND HERITAGE REMOVAL APPLICATION HTR2023-00195

- HERITAGE QUERCUS AGRIFOLIA
- HERITAGE QUERCUS LOBATA
- HERITAGE QUERCUS ILEX
- HERITAGE QUERCUS RUBRA
- HERITAGE SEQUOIA SEMPERVIRENS
- HERITAGE ALL OTHER SPECIES
- NON HERITAGE TREES
- NEW TREES
- BOUNDARY OF SEPARATE PER-
- X TREE REMOVED FROM 2021 TO 2024 SURVEY



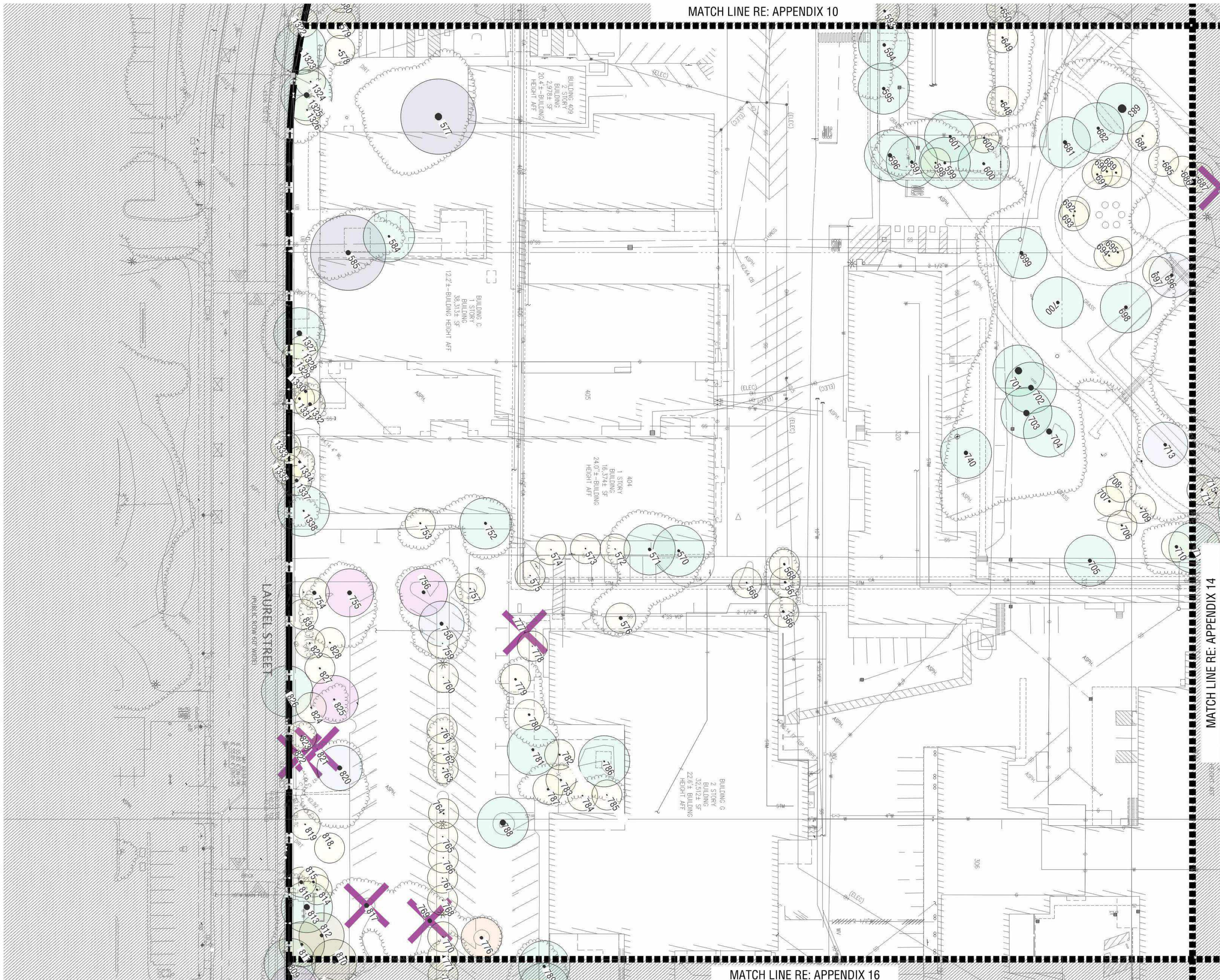
MATCH LINE RE: APPENDIX 10

LEGEND

- HERITAGE QUERCUS AGRIFOLIA. / COAST LIVE
- HERITAGE QUERCUS LOBATA / VALLEY OAK
- HERITAGE QUERCUS ILEX / HOLLY OAK
- HERITAGE QUERCUS RUBRA / RED OAK
- HERITAGE SEQUOIA SEMPERVIRENS / REDWOOD
- HERITAGE PLATANUS RACEMOSA / CA SYCAMORE
- HERITAGE OLEA EUROPEA / OLIVE
- HERITAGE INVASIVE
- HERITAGE OTHERS
- NON HERITAGE

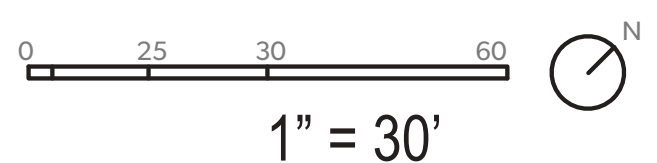
TREES ASSOCIATED WITH SEPARATE PERMIT PROCESS, PLN2023-0025, AND HERITAGE REMOVAL APPLICATION HTR2023-00195

- HERITAGE QUERCUS AGRIFOLIA
- HERITAGE QUERCUS LOBATA
- HERITAGE QUERCUS ILEX
- HERITAGE QUERCUS RUBRA
- HERITAGE SEQUOIA SEMPERVIRENS
- HERITAGE ALL OTHER SPECIES
- NON HERITAGE TREES
- NEW TREES
- - - - BOUNDARY OF SEPARATE PER-
- ✕ TREE REMOVED FROM 2021 TO 2024 SURVEY



MATCH LINE RE: APPENDIX 14

MATCH LINE RE: APPENDIX 16



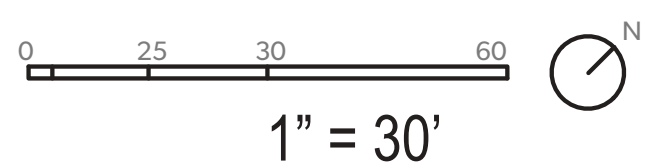
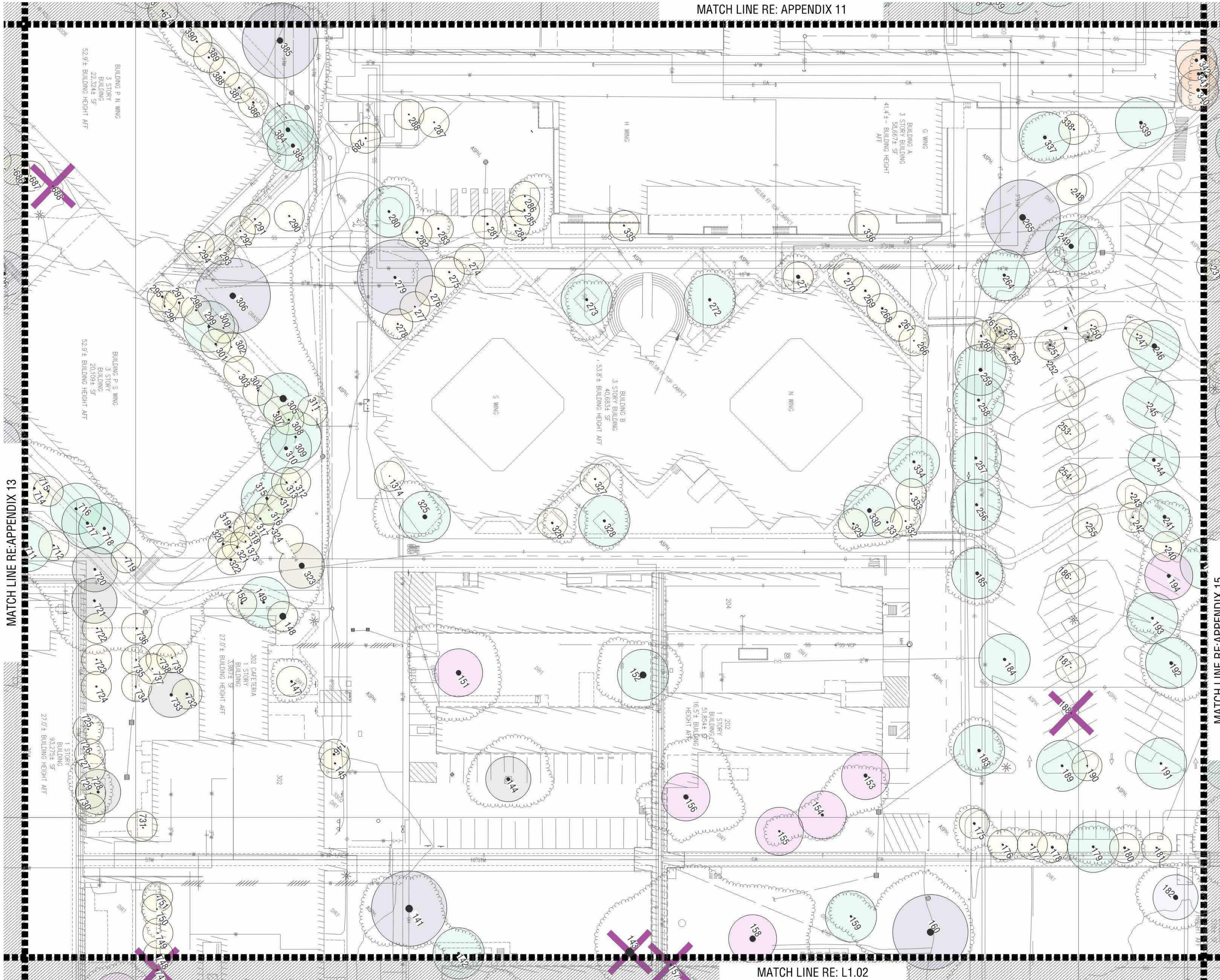
MATCH LINE RE: APPENDIX 11

LEGEND

- HERITAGE QUERCUS AGRIFOLIA. / COAST LIVE
- HERITAGE QUERCUS LOBATA / VALLEY OAK
- HERITAGE QUERCUS ILEX / HOLLY OAK
- HERITAGE QUERCUS RUBRA / RED OAK
- HERITAGE SEQUOIA SEMPERVIRENS / REDWOOD
- HERITAGE PLATANUS RACEMOSA / CA SYCAMORE
- HERITAGE OLEA EUROPEA / OLIVE
- HERITAGE INVASIVE
- HERITAGE OTHERS
- NON HERITAGE

TREES ASSOCIATED WITH SEPARATE PERMIT PROCESS, PLN2023-0025, AND HERITAGE REMOVAL APPLICATION HTR2023-00195

- HERITAGE QUERCUS AGRIFOLIA
- HERITAGE QUERCUS LOBATA
- HERITAGE QUERCUS ILEX
- HERITAGE QUERCUS RUBRA
- HERITAGE SEQUOIA SEMPERVIRENS
- HERITAGE ALL OTHER SPECIES
- NON HERITAGE TREES
- NEW TREES
- BOUNDARY OF SEPARATE PER-
- TREE REMOVED FROM 2021 TO 2024 SURVEY



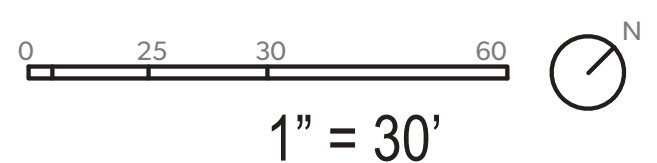


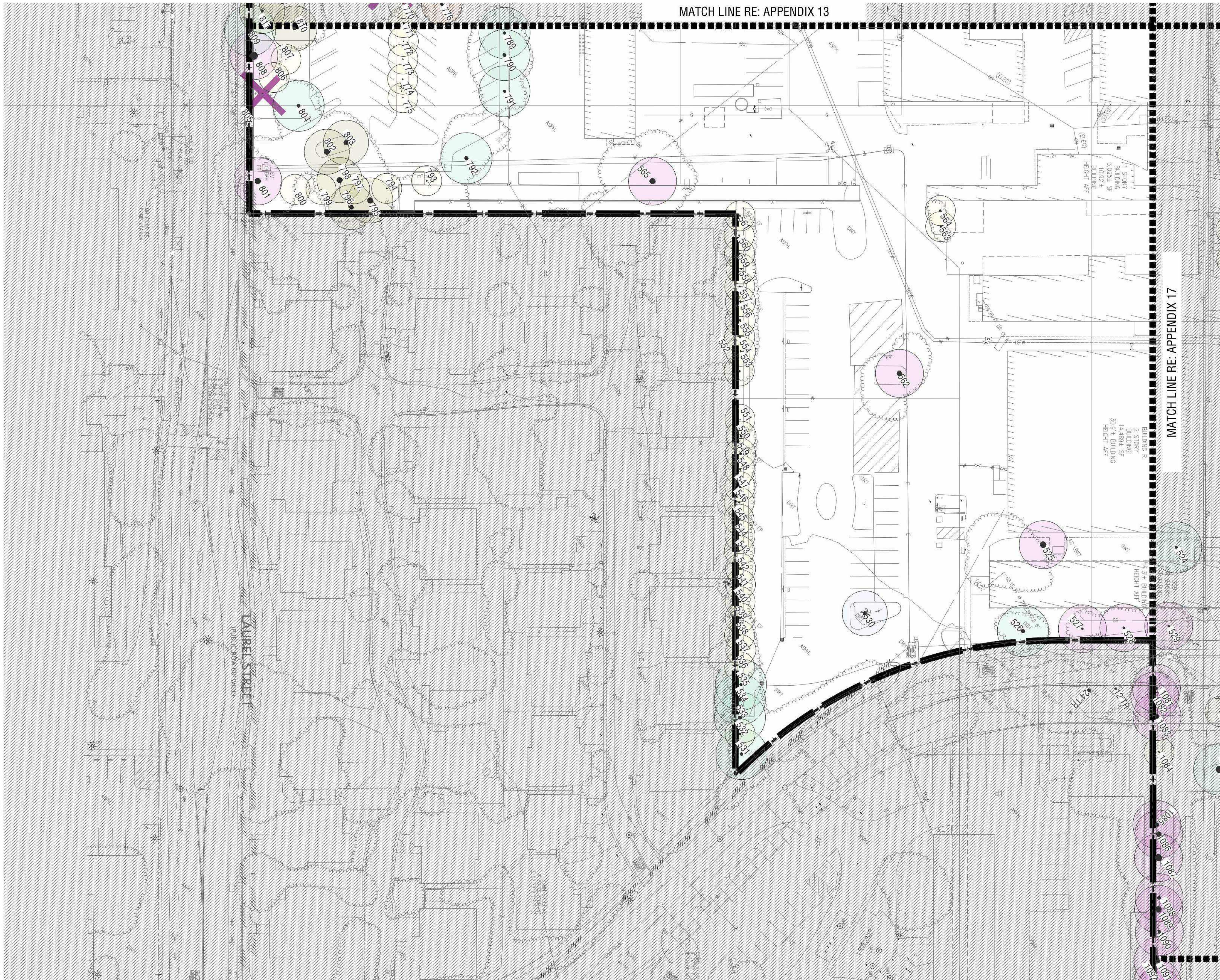
LEGEND

- HERITAGE QUERCUS AGRIFOLIA. / COAST LIVE
- HERITAGE QUERCUS LOBATA / VALLEY OAK
- HERITAGE QUERCUS ILEX / HOLLY OAK
- HERITAGE QUERCUS RUBRA / RED OAK
- HERITAGE SEQUOIA SEMPERVIRENS / REDWOOD
- HERITAGE PLATANUS RACEMOSA / CA SYCAMORE
- HERITAGE OLEA EUROPEA / OLIVE
- HERITAGE INVASIVE
- HERITAGE OTHERS
- NON HERITAGE

TREES ASSOCIATED WITH SEPARATE PERMIT PROCESS, PLN2023-0025, AND HERITAGE REMOVAL APPLICATION HTR2023-00195

- HERITAGE QUERCUS AGRIFOLIA
- HERITAGE QUERCUS LOBATA
- HERITAGE QUERCUS ILEX
- HERITAGE QUERCUS RUBRA
- HERITAGE SEQUOIA SEMPERVIRENS
- HERITAGE ALL OTHER SPECIES
- NON HERITAGE TREES
- NEW TREES
- - - - BOUNDARY OF SEPARATE PER-
- X TREE REMOVED FROM 2021 TO 2024 SURVEY



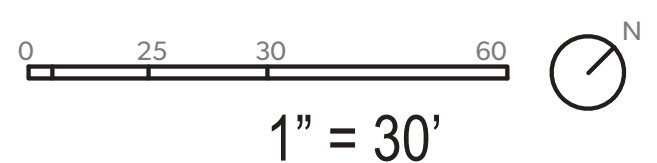


LEGEND

- HERITAGE QUERCUS AGRIFOLIA. / COAST LIVE
- HERITAGE QUERCUS LOBATA / VALLEY OAK
- HERITAGE QUERCUS ILEX / HOLLY OAK
- HERITAGE QUERCUS RUBRA / RED OAK
- HERITAGE SEQUOIA SEMPERVIRENS / REDWOOD
- HERITAGE PLATANUS RACEMOSA / CA SYCAMORE
- HERITAGE OLEA EUROPEA / OLIVE
- HERITAGE INVASIVE
- HERITAGE OTHERS
- NON HERITAGE

TREES ASSOCIATED WITH SEPARATE PERMIT PROCESS, PLN2023-0025, AND HERITAGE REMOVAL APPLICATION HTR2023-00195

- HERITAGE QUERCUS AGRIFOLIA
- HERITAGE QUERCUS LOBATA
- HERITAGE QUERCUS ILEX
- HERITAGE QUERCUS RUBRA
- HERITAGE SEQUOIA SEMPERVIRENS
- HERITAGE ALL OTHER SPECIES
- NON HERITAGE TREES
- NEW TREES
- ⋯ BOUNDARY OF SEPARATE PERMIT
- ✕ TREE REMOVED FROM 2021 TO 2024 SURVEY



MATCH LINE RE: APPENDIX 14

MATCH LINE RE: APPENDIX 16

MATCH LINE RE: APPENDIX 18

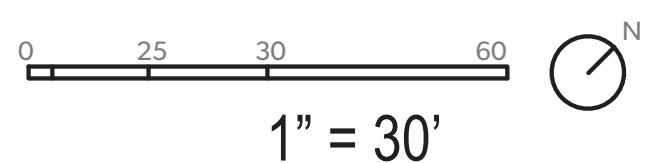
MATCH LINE RE: APPENDIX 19

LEGEND

- HERITAGE QUERCUS AGRIFOLIA. / COAST LIVE
- HERITAGE QUERCUS LOBATA / VALLEY OAK
- HERITAGE QUERCUS ILEX / HOLLY OAK
- HERITAGE QUERCUS RUBRA / RED OAK
- HERITAGE SEQUOIA SEMPERVIRENS / REDWOOD
- HERITAGE PLATANUS RACEMOSA / CA SYCAMORE
- HERITAGE OLEA EUROPEA / OLIVE
- HERITAGE INVASIVE
- HERITAGE OTHERS
- NON HERITAGE

TREES ASSOCIATED WITH SEPARATE PERMIT PROCESS, PLN2023-0025, AND HERITAGE REMOVAL APPLICATION HTR2023-00195

- HERITAGE QUERCUS AGRIFOLIA
- HERITAGE QUERCUS LOBATA
- HERITAGE QUERCUS ILEX
- HERITAGE QUERCUS RUBRA
- HERITAGE SEQUOIA SEMPERVIRENS
- HERITAGE ALL OTHER SPECIES
- NON HERITAGE TREES
- NEW TREES
- BOUNDARY OF SEPARATE PER-
- ✕ TREE REMOVED FROM 2021 TO 2024 SURVEY



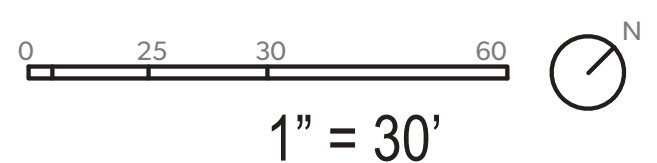


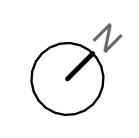
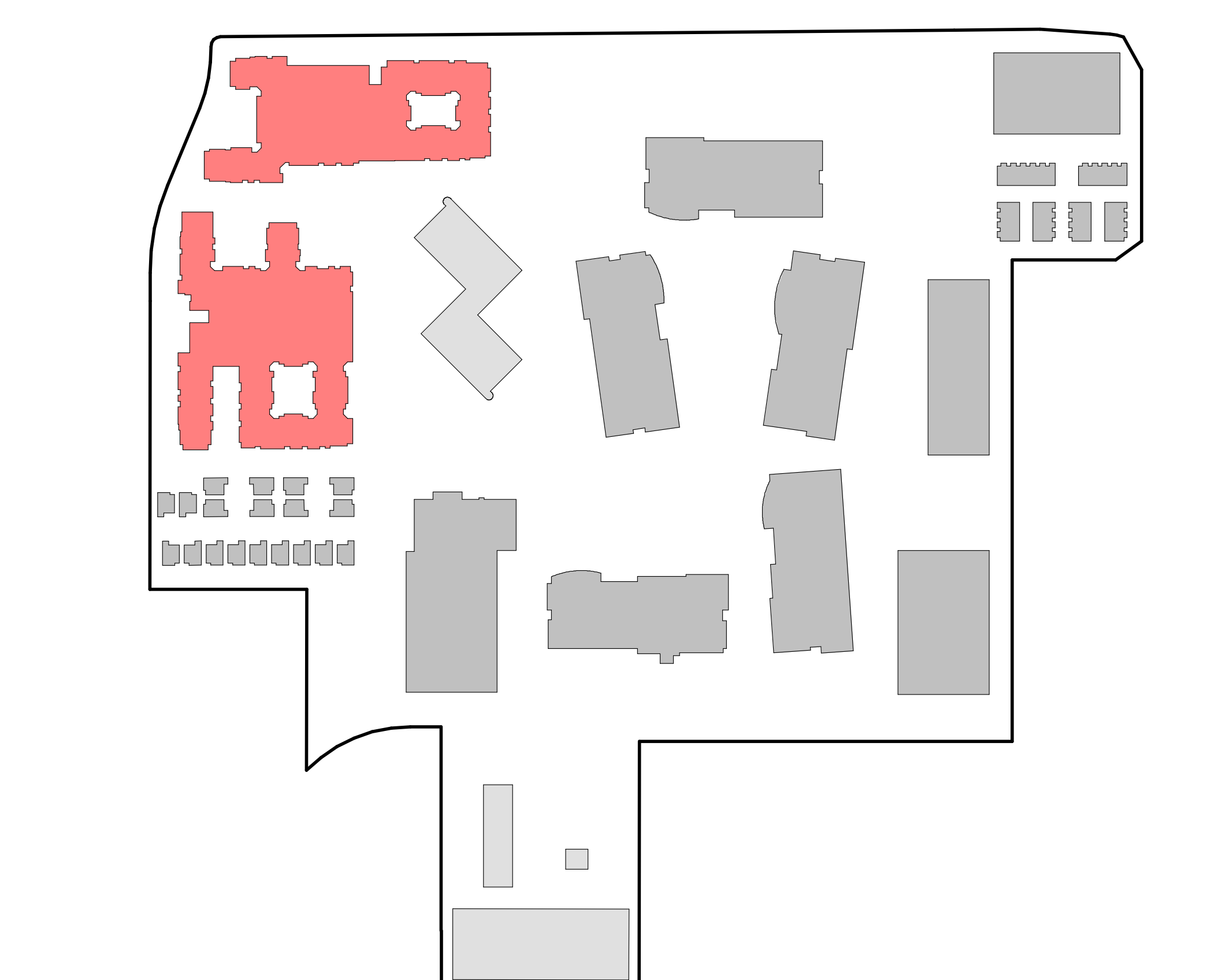
LEGEND

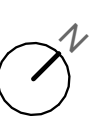
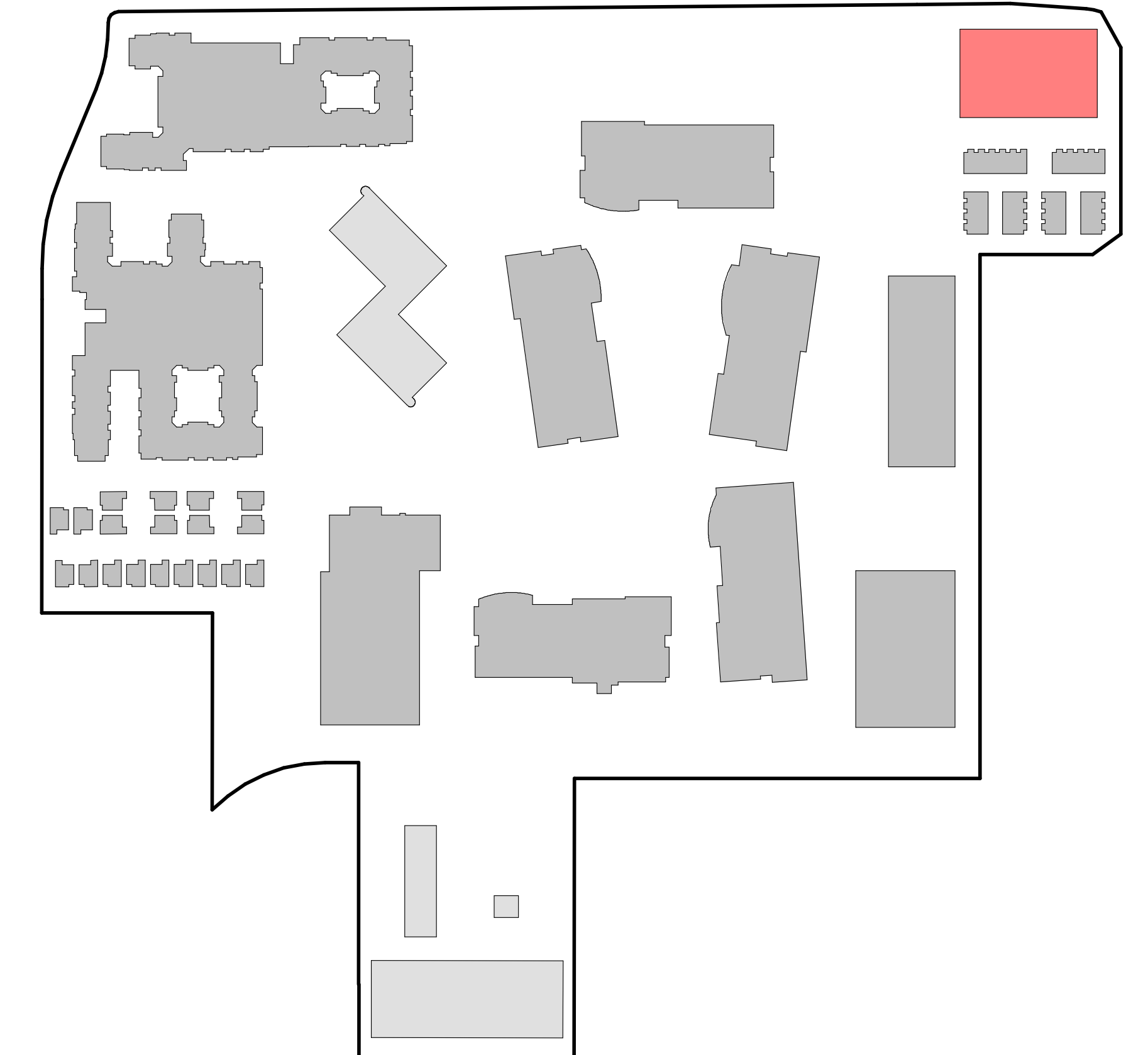
- HERITAGE QUERCUS AGRIFOLIA. / COAST LIVE
- HERITAGE QUERCUS LOBATA / VALLEY OAK
- HERITAGE QUERCUS ILEX / HOLLY OAK
- HERITAGE QUERCUS RUBRA / RED OAK
- HERITAGE SEQUOIA SEMPERVIRENS / REDWOOD
- HERITAGE PLATANUS RACEMOSA / CA SYCAMORE
- HERITAGE OLEA EUROPEA / OLIVE
- HERITAGE INVASIVE
- HERITAGE OTHERS
- NON HERITAGE

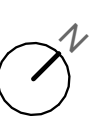
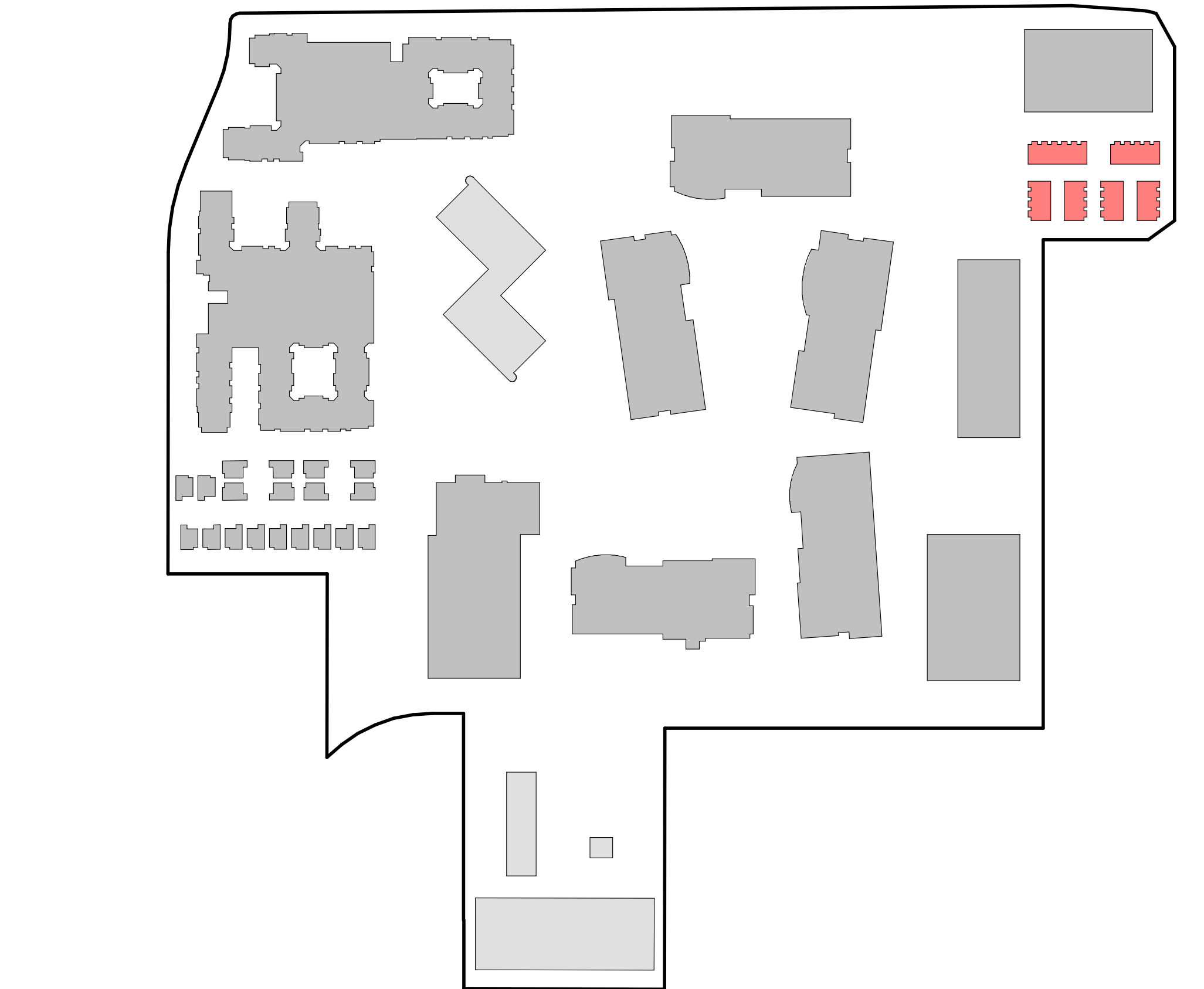
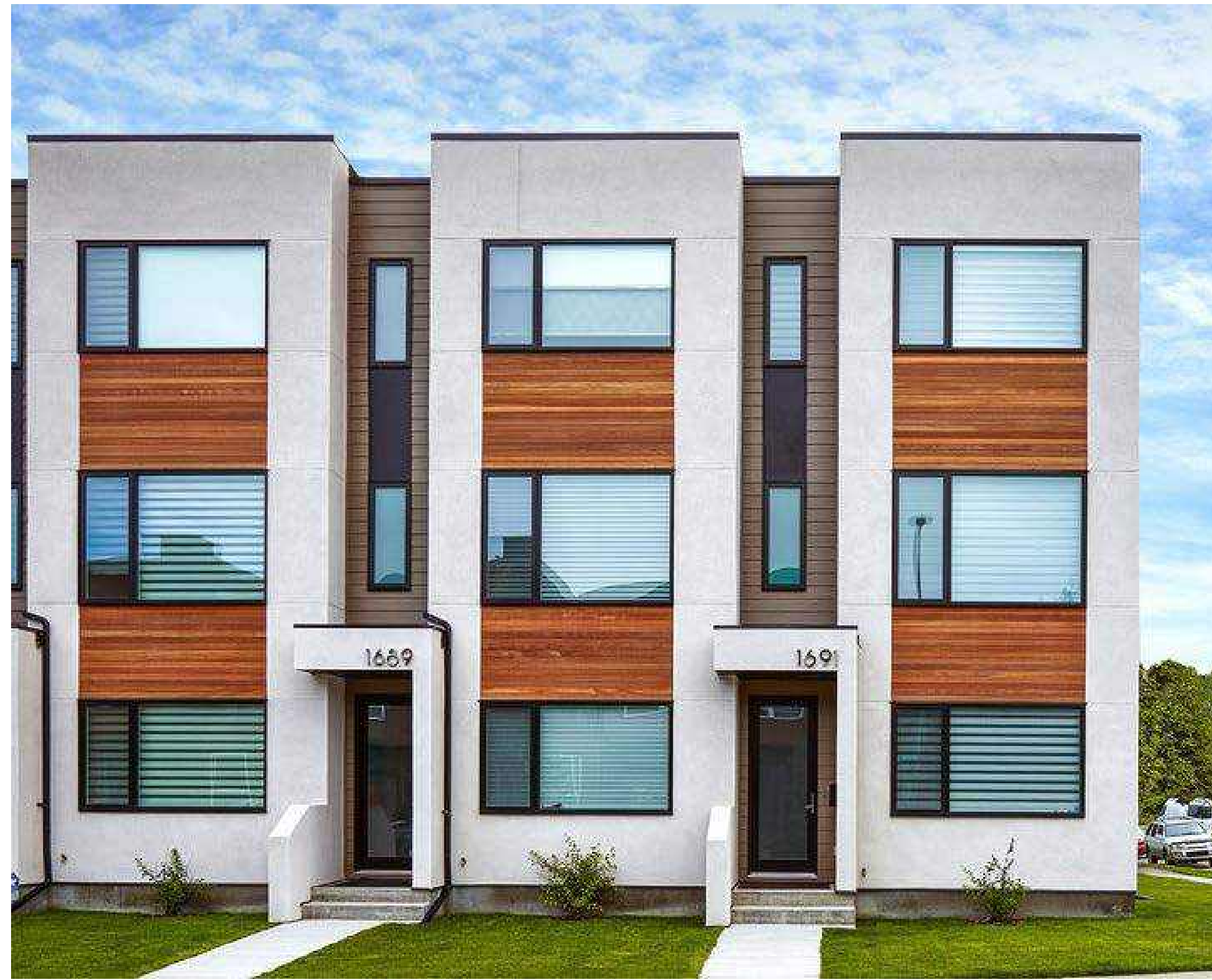
TREES ASSOCIATED WITH SEPARATE PERMIT PROCESS, PLN2023-0025, AND HERITAGE REMOVAL APPLICATION HTR2023-00195

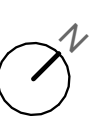
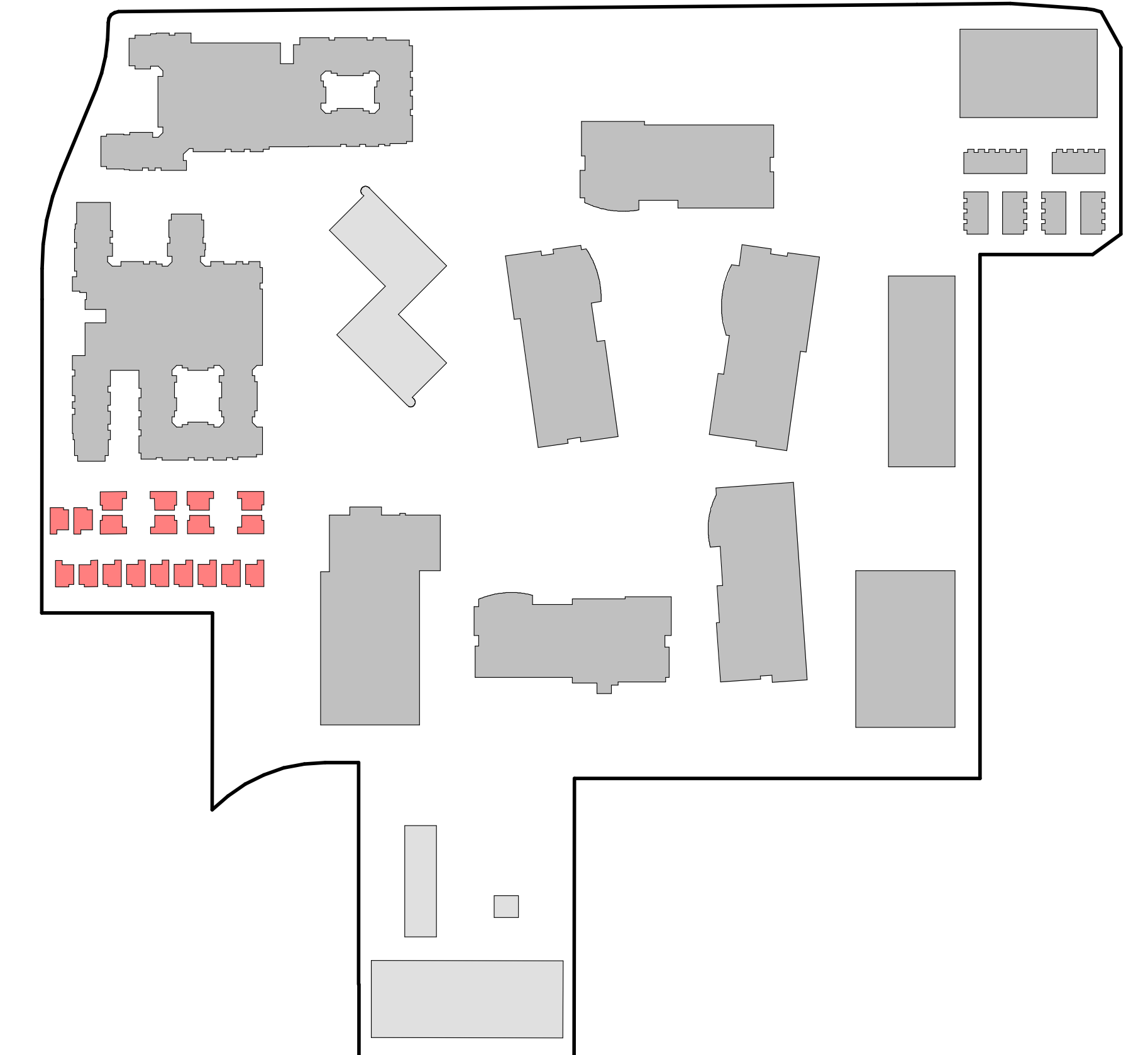
- HERITAGE QUERCUS AGRIFOLIA
- HERITAGE QUERCUS LOBATA
- HERITAGE QUERCUS ILEX
- HERITAGE QUERCUS RUBRA
- HERITAGE SEQUOIA SEMPERVIRENS
- HERITAGE ALL OTHER SPECIES
- NON HERITAGE TREES
- NEW TREES
- BOUNDARY OF SEPARATE PER-
- X TREE REMOVED FROM 2021 TO 2024 SURVEY







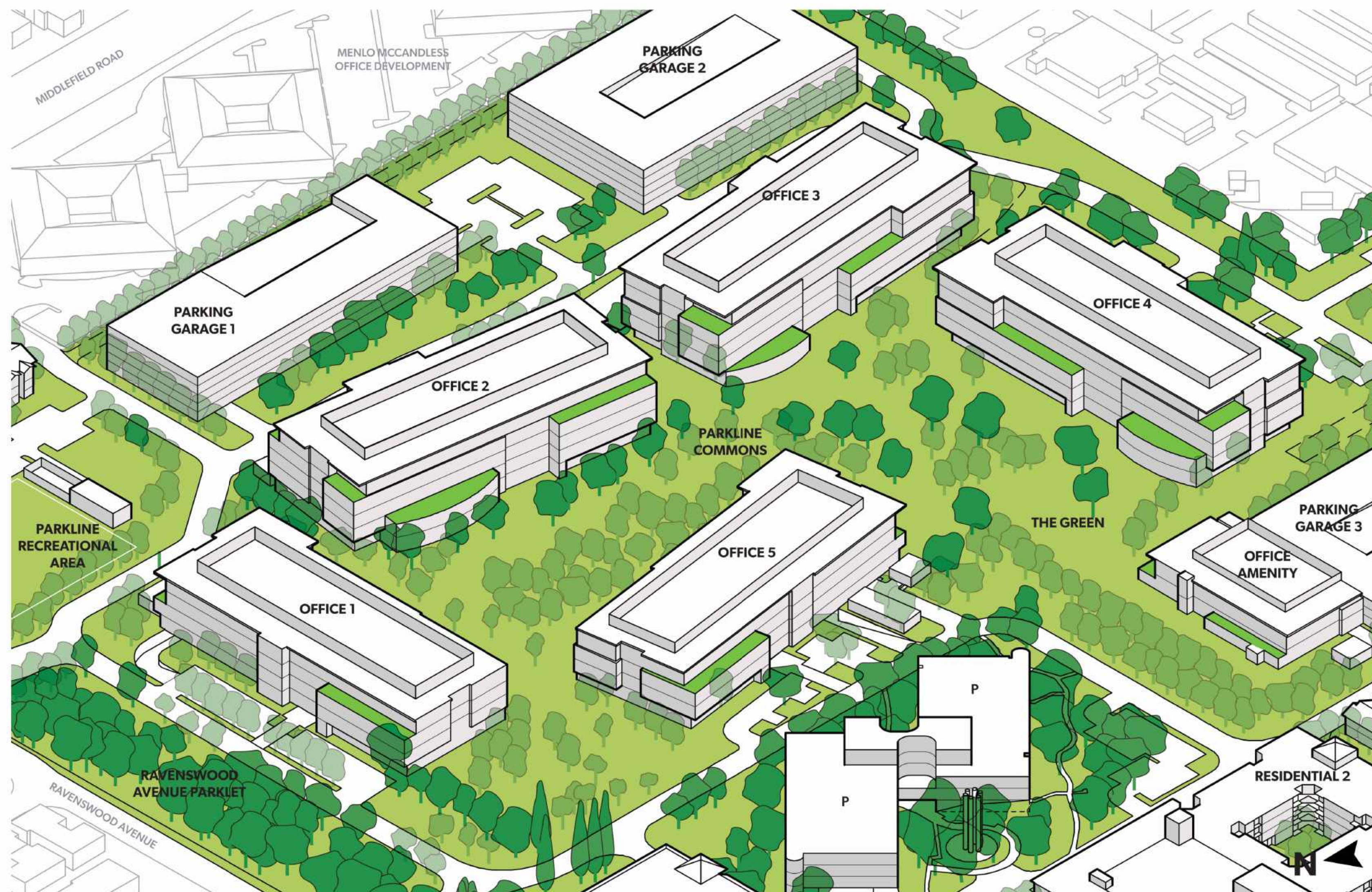




A PARK FOR CREATIVITY AND RESEARCH



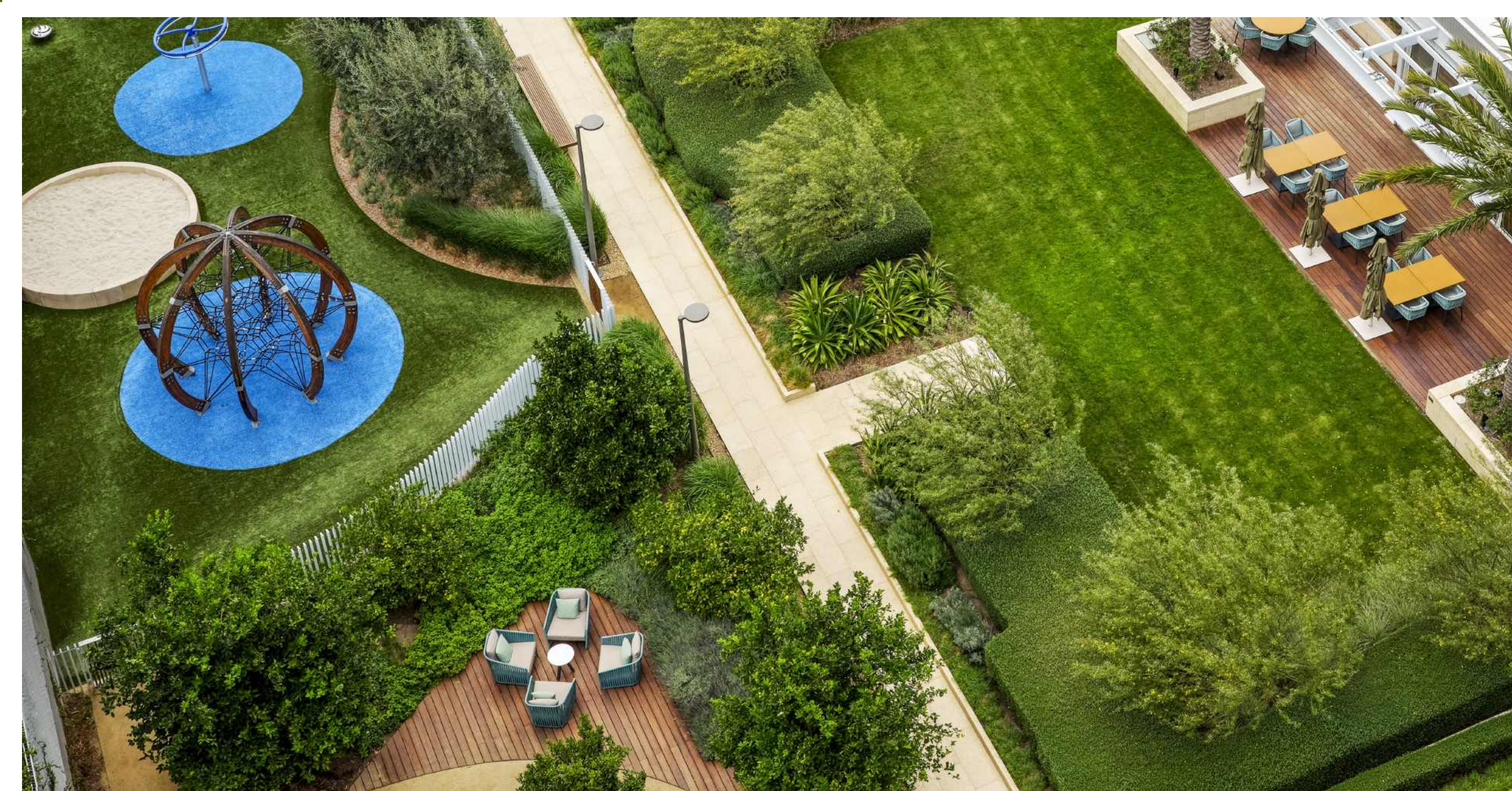
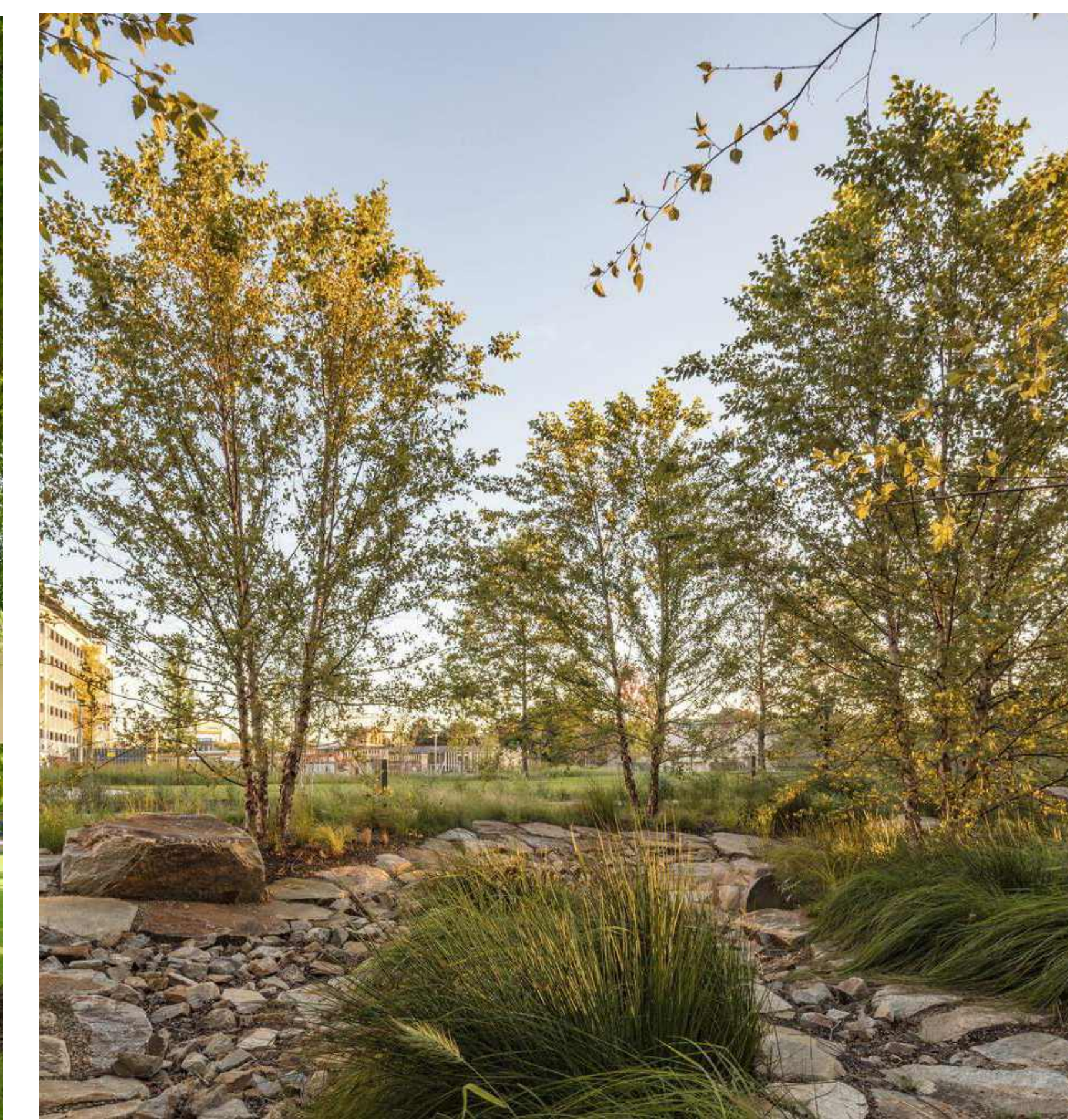
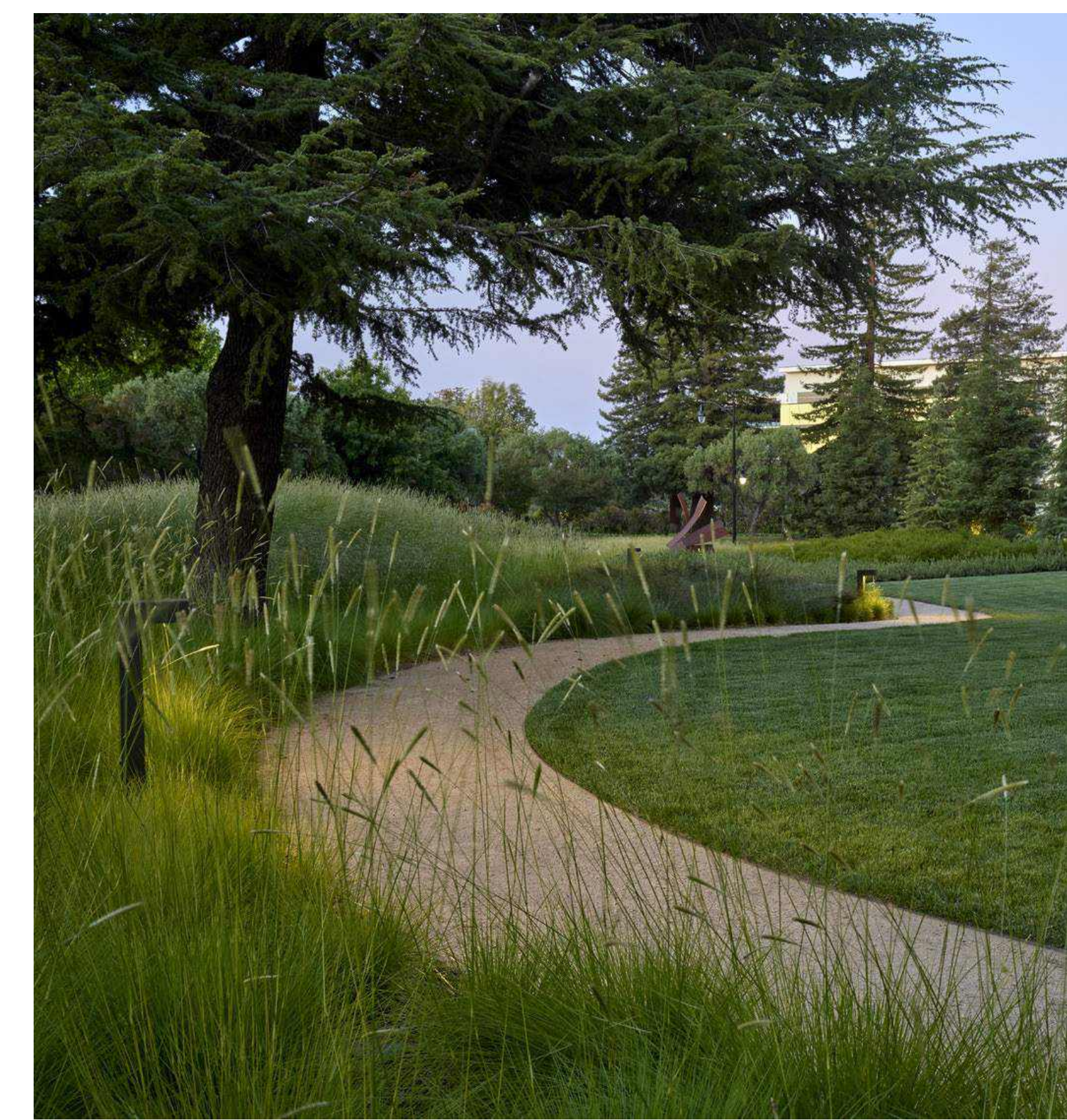
OFFICE/ R&D BUILDINGS ARE INSPIRED BY THE IDEA OF RE-CREATING A PLACE FOR RESEARCH AND CREATIVITY TO OCCUR WHILE ALSO CONNECTING TO THE EXISTING LANDSCAPE.

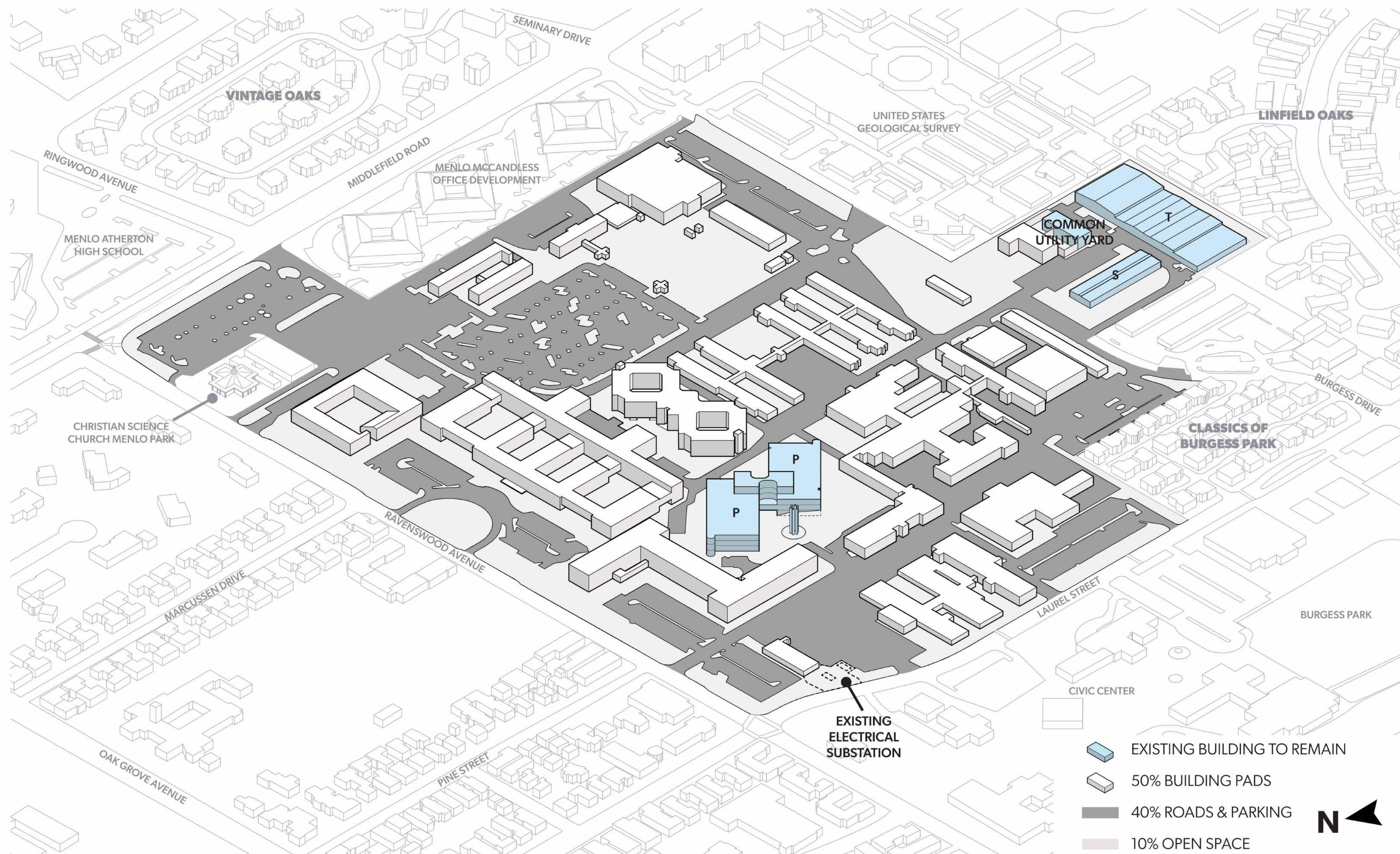


OFFICE/ R&D CONCEPTUAL DIAGRAMS - OUTDOOR TERRACES TO CENTRAL COMMONS CONNECTION



OFFICE/R&D CONCEPTUAL DIAGRAMS - LANTERN IN THE WOODS AS METAPHOR





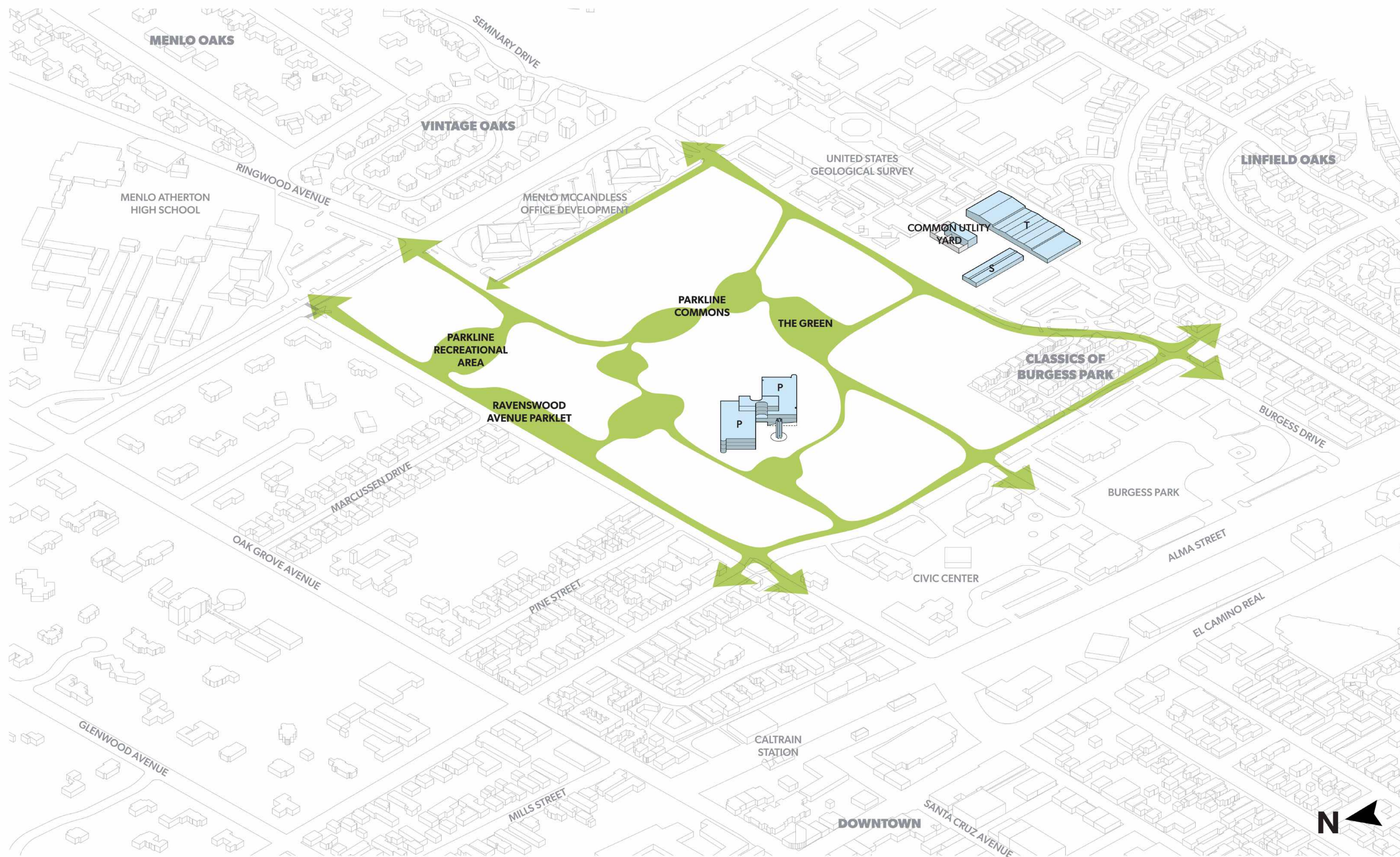
EXISTING SITE BUILDING & HARDSCAPE COVERAGE

DESIGN OPPORTUNITY/ OBJECTIVE: TO MINIMIZE HARDSCAPE AND INCORPORATE MORE GREEN OPEN SPACE



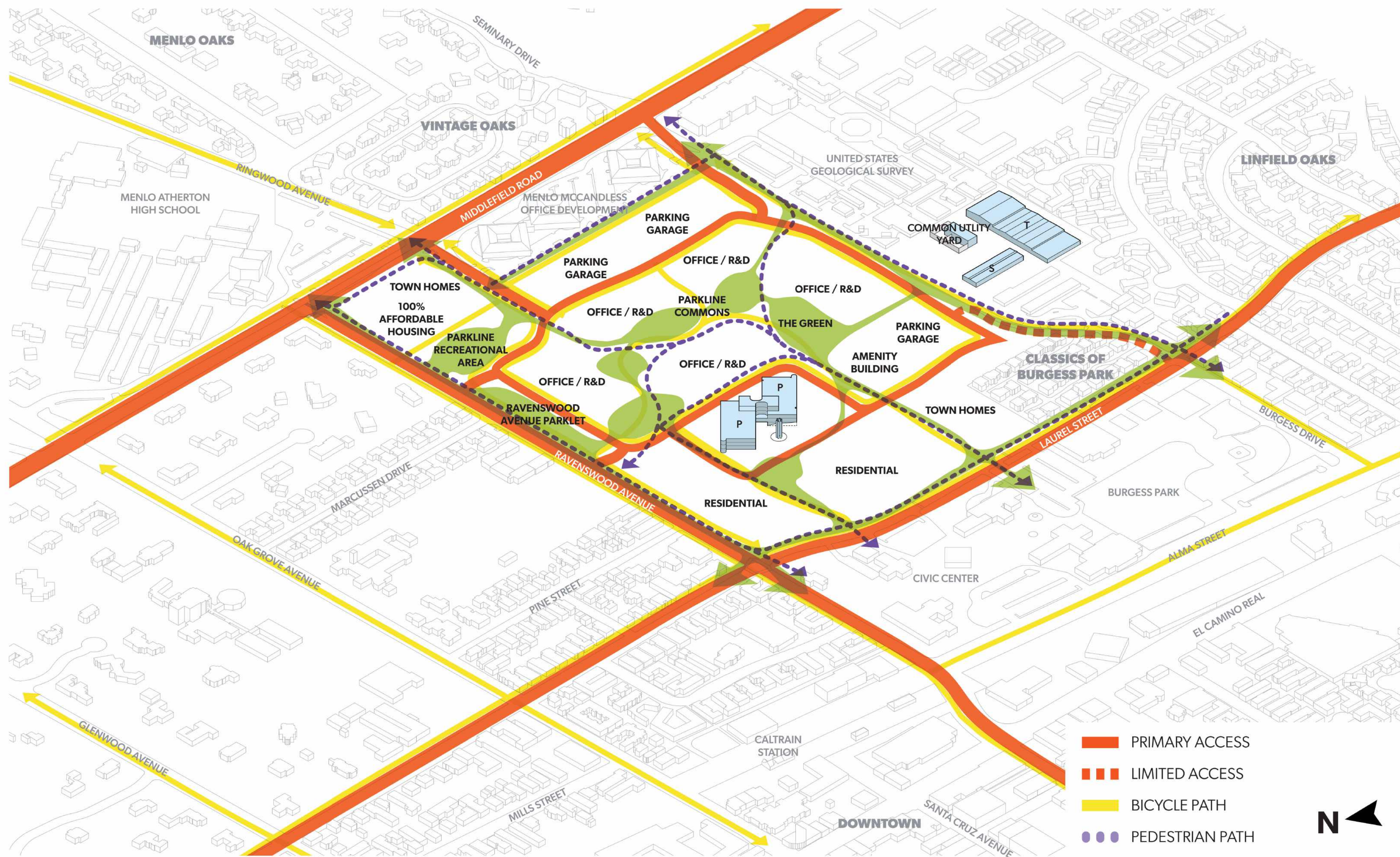
EXISTING SITE TREE LOCATIONS

DESIGN OPPORTUNITY/ OBJECTIVE: TO MINIMIZE DISTURBANCE TO EXISTING TREES AND TO RETAIN HUNDREDS OF MATURE EXISTING SCENIC TREES BY INCORPORATING THEM INTO THE OPEN SPACE AND SITE PLAN



CONCEPTUAL MAJOR OPEN SPACE NETWORK

DESIGN CONCEPT: CREATING MAJOR OPEN SPACE WITHIN THE LARGER PARKLINE COMMONS TO BETTER IMPLEMENT AND CELEBRATE THE EXISTING TREESCAPE/ NATIVE LANDSCAPE

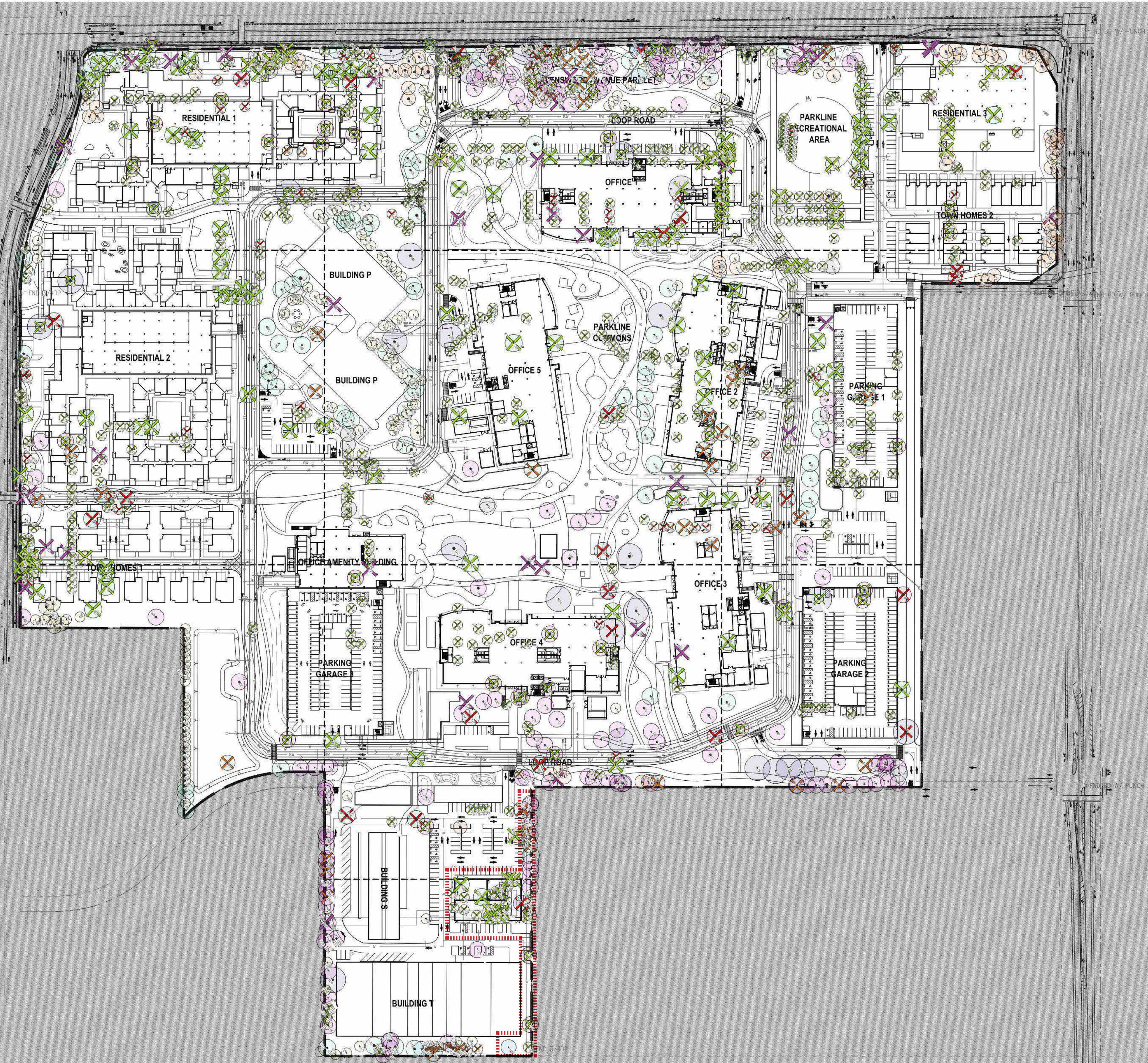


CONCEPTUAL CIRCULATION WEAVING THROUGH SITE
 DESIGN CONCEPT: CREATING A CIRCULATION NETWORK TO CONNECT PEOPLE INTO AND THROUGH THE SITE



CONCEPTUAL PARKLINE MASTER PLAN

DESIGN CONCEPT: THE RESULTING MASTER PLAN PROVIDES AN AMPLE TREESCAPE AND NATIVE LANDSCAPE ENVIRONMENT THAT WILL BE PUBLICLY ACCESSIBLE WITH NEW CONNECTIONS THROUGHOUT THE SITE TO THE SURROUNDING COMMUNITY



LEGEND

- HERITAGE QUERCUS AGRIFOLIA / COAST LIVE OAK
- HERITAGE QUERCUS LOBATA / VALLEY OAK
- HERITAGE QUERCUS ILEX / HOLLY OAK
- HERITAGE QUERCUS RUBRA / RED OAK
- HERITAGE SEQUOIA SEMPERVIRENS / REDWOOD
- HERITAGE PLATANUS RACEMOSA / CA SYCAMORE
- HERITAGE OLEA EUROPEA / OLIVE
- HERITAGE INVASIVE
- HERITAGE OTHERS

TREES ASSOCIATED WITH SEPARATE PERMIT PROCESS, PLN2023-0025, AND HERITAGE REMOVAL APPLICATION HTR2023-00195

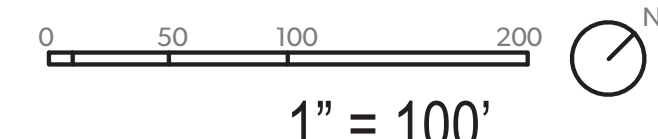
● HERITAGE QUERCUS AGRIFOLIA	EXISTING TREES IN SEPARATE PERMIT PACKAGE	24
● HERITAGE QUERCUS LOBATA	EXISTING HERITAGE TREES	38
● HERITAGE QUERCUS ILEX	EXISTING NON-HERITAGE TREES	62
● HERITAGE QUERCUS RUBRA	TOTAL EXISTING TREES	
● HERITAGE SEQUOIA SEMPERVIRENS	REMOVED HERITAGE TREES	
● HERITAGE ALL OTHER SPECIES	HERITAGE UNDESIRABLE/INVASIVE/POOR HEALTH	2
● NON-HERITAGE TREES	SCHEME CONFLICT HERITAGE OAK	3
● NEW TREES	SCHEME CONFLICT OTHER HERITAGE	9
● BOUNDARY OF SEPARATE PERMIT	TOTAL REMOVED HERITAGE TREES	14
	REMOVED NON-HERITAGE TREES	
	UNDESIRABLE/INVASIVE/POOR HEALTH	2
	SCHEME CONFLICT	15
	TOTAL REMOVED NON-HERITAGE TREES	17
	PROPOSED NEW TREES	3

EXISTING TREES		
EXISTING HERITAGE TREES		600
EXISTING NON-HERITAGE TREES		742
TOTAL EXISTING TREES		1,342

REMOVED HERITAGE TREES		
X HERITAGE HEALTH		25
X HERITAGE UNDESIRABLE/INVASIVE		37
X SCHEME CONFLICT HERITAGE OAK		65
X SCHEME CONFLICT OTHER HERITAGE		137
TOTAL REMOVED HERITAGE TREES		264

REMOVED NON-HERITAGE TREES		
X HEALTH		51
X UNDESIRABLE/INVASIVE		25
X SCHEME CONFLICT		470
TOTAL REMOVED NON-HERITAGE TREES		546

TOTAL TREES IN MASTERPLAN		
TOTAL PRESERVED HERITAGE TREES		336
TOTAL PRESERVED NON-HERITAGE TREES		196
TOTAL PROPOSED NEW TREES		860
TOTAL TREES ON PROPOSED MASTERPLAN		1,392



TREE PROTECTION LEGEND

TREE SPECIES

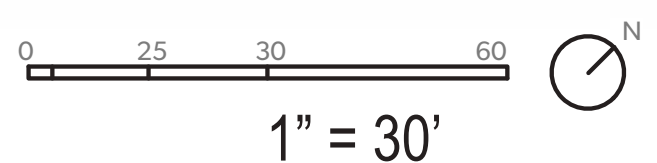
- HERITAGE QUERCUS AGRIFOLIA
- HERITAGE QUERCUS LOBATA
- HERITAGE QUERCUS ILEX
- HERITAGE QUERCUS RUBRA
- HERITAGE SEQUOIA SEMPERVIRENS
- HERITAGE PLATANUS RACEMOSA
- HERITAGE OLEA EUROPAEA
- HERITAGE HERITAGE INVASIVE
- HERITAGE ALL OTHER SPECIES
- NON HERITAGE TREES

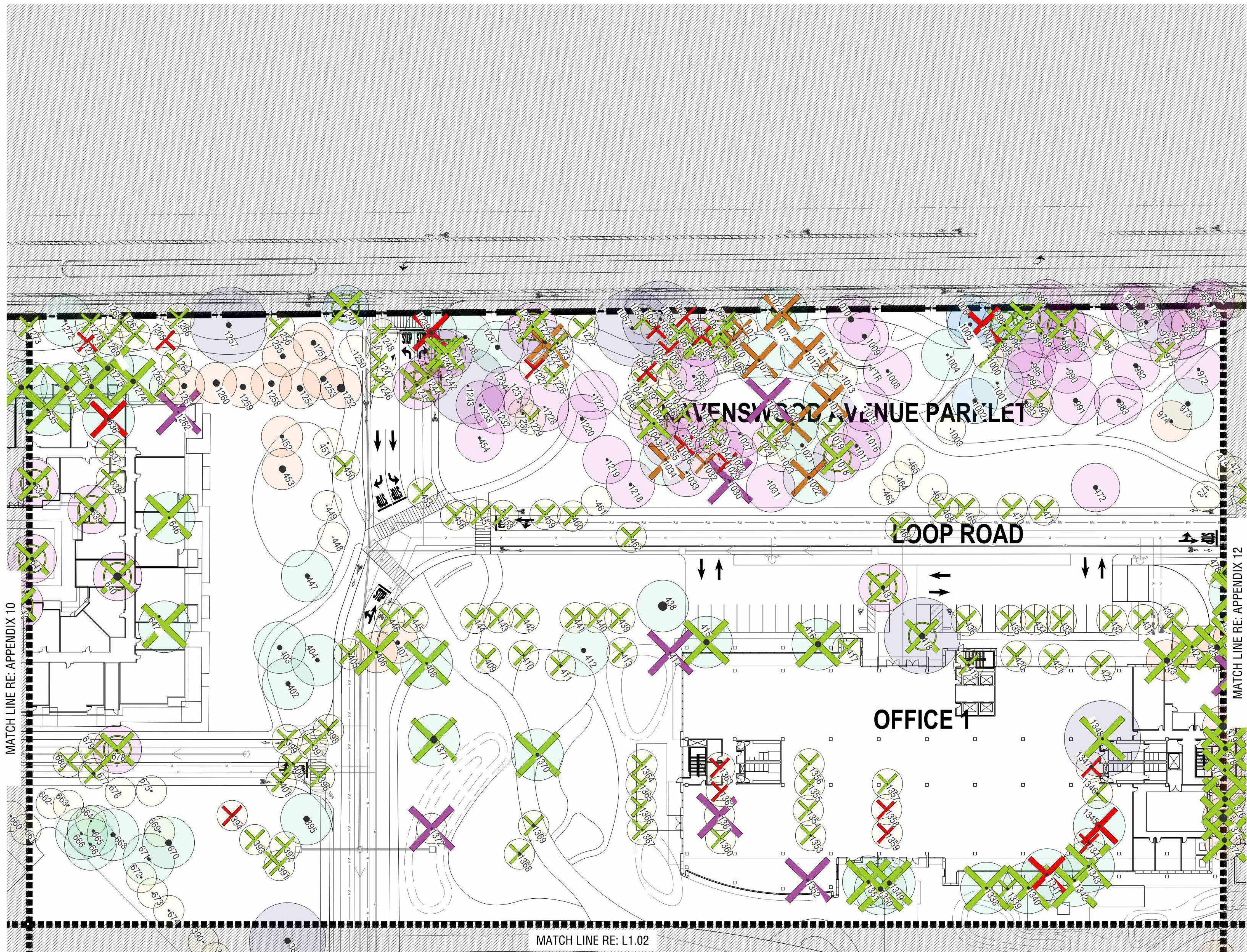
TREE REMOVAL SYMBOLS

- ✗ HERITAGE INVASIVE/LOW DESIRABLE SPECIES - REMOVE
- ✗ NON-HERITAGE INVASIVE/LOW DESIRABLE SPECIES - REMOVE
- ✗ HERITAGE POOR HEALTH - REMOVE
- ✗ NON-HERITAGE POOR HEALTH - REMOVE
- ✗ DESIGN CONFLICT - HERITAGE OAK - REMOVE
- ✗ DESIGN CONFLICT - OTHER HERITAGE - REMOVE
- ✗ DESIGN CONFLICT - NON HERITAGE - REMOVE
- ✗ TREE REMOVED FROM 2021 TO 2024 SURVEY

TREES ASSOCIATED WITH SEPARATE PERMIT PROCESS, PLN2023-0025, AND HERITAGE REMOVAL APPLICATION HTR2023-00195

- HERITAGE QUERCUS AGRIFOLIA
- HERITAGE QUERCUS LOBATA
- HERITAGE QUERCUS ILEX
- HERITAGE QUERCUS RUBRA
- HERITAGE SEQUOIA SEMPERVIRENS
- HERITAGE ALL OTHER SPECIES
- NON HERITAGE TREES
- NEW TREES





TREE PROTECTION LEGEND

TREE SPECIES

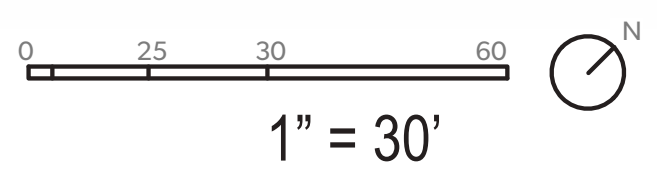
- HERITAGE QUERCUS AGRIFOLIA
- HERITAGE QUERCUS LOBATA
- HERITAGE QUERCUS ILEX
- HERITAGE QUERCUS RUBRA
- HERITAGE SEQUOIA SEMPERVIRENS
- HERITAGE PLATANUS RACEMOSA
- HERITAGE OLEA EUROPAEA
- HERITAGE HERITAGE INVASIVE
- HERITAGE ALL OTHER SPECIES
- NON HERITAGE TREES

TREE REMOVAL SYMBOLS

- X HERITAGE INVASIVE/LOW DESIRABLE SPECIES - REMOVE
- X NON-HERITAGE INVASIVE/LOW DESIRABLE SPECIES - REMOVE
- X HERITAGE POOR HEALTH - REMOVE
- X NON-HERITAGE POOR HEALTH - REMOVE
- X DESIGN CONFLICT - HERITAGE OAK - REMOVE
- X DESIGN CONFLICT - OTHER HERITAGE - REMOVE
- X DESIGN CONFLICT - NON HERITAGE - REMOVE
- X TREE REMOVED FROM 2021 TO 2024 SURVEY

TREES ASSOCIATED WITH SEPARATE PERMIT PROCESS, PLN2023-0025, AND HERITAGE REMOVAL APPLICATION HTR2023-00195

- HERITAGE QUERCUS AGRIFOLIA
- HERITAGE QUERCUS LOBATA
- HERITAGE QUERCUS ILEX
- HERITAGE QUERCUS RUBRA
- HERITAGE SEQUOIA SEMPERVIRENS
- HERITAGE ALL OTHER SPECIES
- NON HERITAGE TREES
- NEW TREES



TREE PROTECTION LEGEND

TREE SPECIES

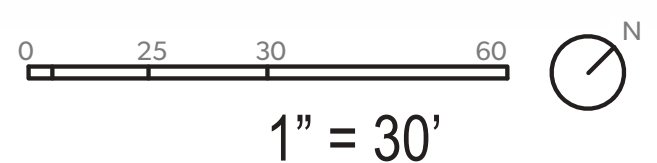
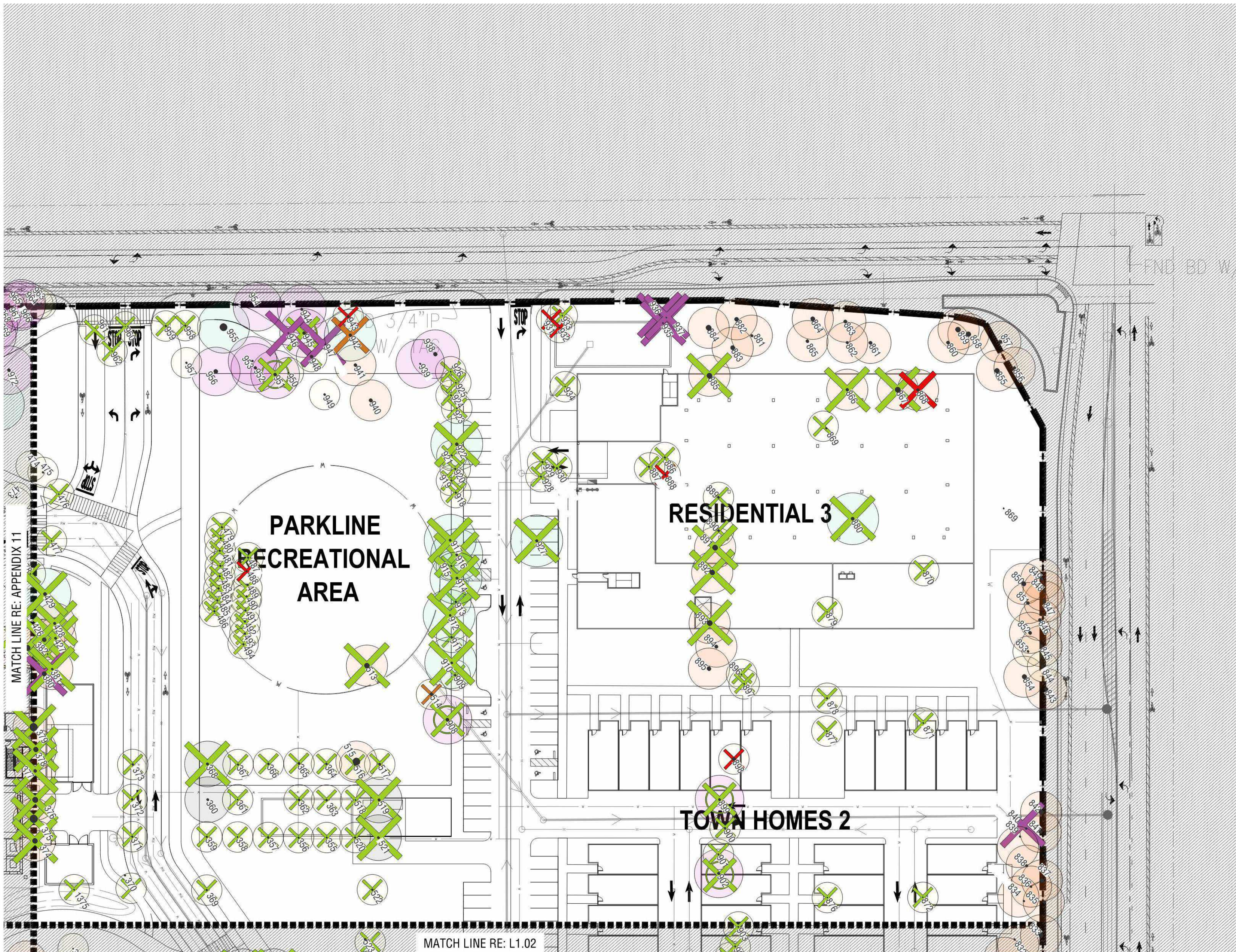
- HERITAGE QUERCUS AGRIFOLIA
- HERITAGE QUERCUS LOBATA
- HERITAGE QUERCUS ILEX
- HERITAGE QUERCUS RUBRA
- HERITAGE SEQUOIA SEMPERVIRENS
- HERITAGE PLATANUS RACEMOSA
- HERITAGE OLEA EUROPAEA
- HERITAGE HERITAGE INVASIVE
- HERITAGE ALL OTHER SPECIES
- NON HERITAGE TREES

TREE REMOVAL SYMBOLS

- ✕ HERITAGE INVASIVE/LOW DESIRABLE SPECIES - REMOVE
- ✕ NON-HERITAGE INVASIVE/LOW DESIRABLE SPECIES - REMOVE
- ✕ HERITAGE POOR HEALTH - REMOVE
- ✕ NON-HERITAGE POOR HEALTH - REMOVE
- ✕ DESIGN CONFLICT - HERITAGE OAK - REMOVE
- ✕ DESIGN CONFLICT - OTHER HERITAGE - REMOVE
- ✕ DESIGN CONFLICT - NON HERITAGE - REMOVE
- ✕ TREE REMOVED FROM 2021 TO 2024 SURVEY

TREES ASSOCIATED WITH SEPARATE PERMIT PROCESS, PLN2023-0025, AND HERITAGE REMOVAL APPLICATION HTR2023-00195

- HERITAGE QUERCUS AGRIFOLIA
- HERITAGE QUERCUS LOBATA
- HERITAGE QUERCUS ILEX
- HERITAGE QUERCUS RUBRA
- HERITAGE SEQUOIA SEMPERVIRENS
- HERITAGE ALL OTHER SPECIES
- NON HERITAGE TREES
- NEW TREES





TREE PROTECTION LEGEND

TREE SPECIES

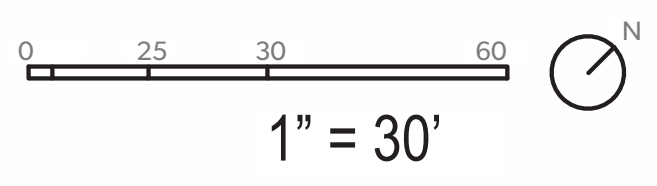
- HERITAGE QUERCUS AGRIFOLIA
- HERITAGE QUERCUS LOBATA
- HERITAGE QUERCUS ILEX
- HERITAGE QUERCUS RUBRA
- HERITAGE SEQUOIA SEMPERVIRENS
- HERITAGE PLATANUS RACEMOSA
- HERITAGE OLEA EUROPAEA
- HERITAGE HERITAGE INVASIVE
- HERITAGE ALL OTHER SPECIES
- NON HERITAGE TREES

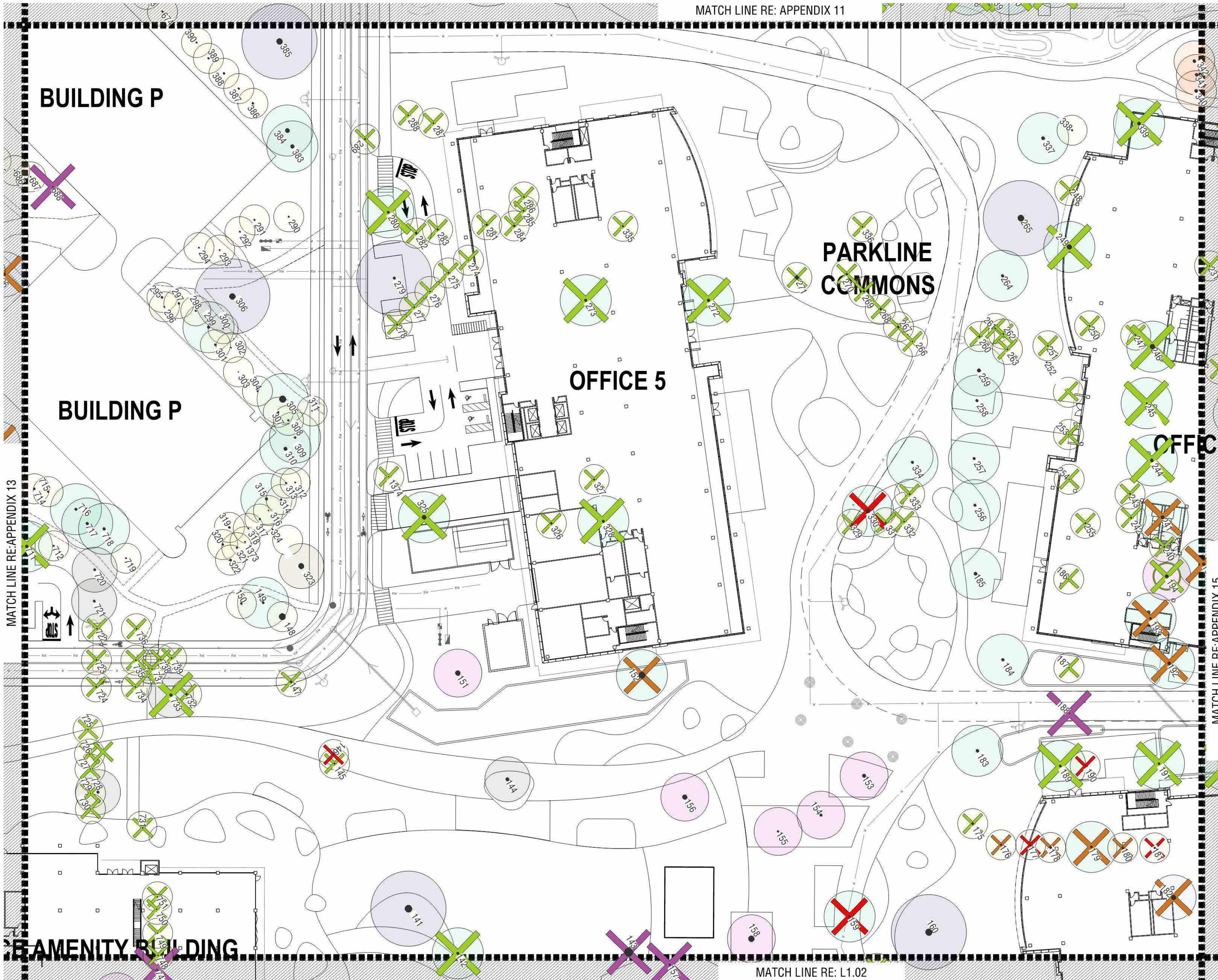
TREE REMOVAL SYMBOLS

- ✕ HERITAGE INVASIVE/LOW DESIRABLE SPECIES - REMOVE
- ✕ NON-HERITAGE INVASIVE/LOW DESIRABLE SPECIES - REMOVE
- ✕ HERITAGE POOR HEALTH - REMOVE
- ✕ NON-HERITAGE POOR HEALTH - REMOVE
- ✕ DESIGN CONFLICT - HERITAGE OAK - REMOVE
- ✕ DESIGN CONFLICT - OTHER HERITAGE - REMOVE
- ✕ DESIGN CONFLICT - NON HERITAGE - REMOVE
- ✕ TREE REMOVED FROM 2021 TO 2024 SURVEY

TREES ASSOCIATED WITH SEPARATE PERMIT PROCESS, PLN2023-0025, AND HERITAGE REMOVAL APPLICATION HTR2023-00195

- HERITAGE QUERCUS AGRIFOLIA
- HERITAGE QUERCUS LOBATA
- HERITAGE QUERCUS ILEX
- HERITAGE QUERCUS RUBRA
- HERITAGE SEQUOIA SEMPERVIRENS
- HERITAGE ALL OTHER SPECIES
- NON HERITAGE TREES
- NEW TREES





TREE PROTECTION LEGEND

TREE SPECIES

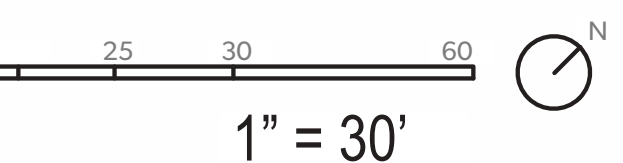
- HERITAGE QUERCUS AGRIFOLIA
- HERITAGE QUERCUS LOBATA
- HERITAGE QUERCUS ILEX
- HERITAGE QUERCUS RUBRA
- HERITAGE SEQUOIA SEMPERVIRENS
- HERITAGE PLATANUS RACEMOSA
- HERITAGE OLEA EUROPAEA
- HERITAGE HERITAGE INVASIVE
- HERITAGE ALL OTHER SPECIES
- NON HERITAGE TREES

TREE REMOVAL SYMBOLS

- X HERITAGE INVASIVE/LOW DESIRABLE SPECIES - REMOVE
- X NON-HERITAGE INVASIVE/LOW DESIRABLE SPECIES - REMOVE
- X HERITAGE POOR HEALTH - REMOVE
- X NON-HERITAGE POOR HEALTH - REMOVE
- X DESIGN CONFLICT - HERITAGE OAK - REMOVE
- X DESIGN CONFLICT - OTHER HERITAGE - REMOVE
- X DESIGN CONFLICT - NON HERITAGE - REMOVE
- X TREE REMOVED FROM 2021 TO 2024 SURVEY

TREES ASSOCIATED WITH SEPARATE PERMIT PROCESS, PLN2023-0025, AND HERITAGE REMOVAL APPLICATION HTR2023-00195

- HERITAGE QUERCUS AGRIFOLIA
- HERITAGE QUERCUS LOBATA
- HERITAGE QUERCUS ILEX
- HERITAGE QUERCUS RUBRA
- HERITAGE SEQUOIA SEMPERVIRENS
- HERITAGE ALL OTHER SPECIES
- NON HERITAGE TREES
- NEW TREES





TREE PROTECTION LEGEND

TREE SPECIES

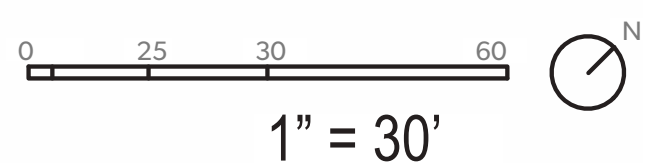
- HERITAGE QUERCUS AGRIFOLIA
- HERITAGE QUERCUS LOBATA
- HERITAGE QUERCUS ILEX
- HERITAGE QUERCUS RUBRA
- HERITAGE SEQUOIA SEMPERVIRENS
- HERITAGE PLATANUS RACEMOSA
- HERITAGE OLEA EUROPAEA
- HERITAGE HERITAGE INVASIVE
- HERITAGE ALL OTHER SPECIES
- NON HERITAGE TREES

TREE REMOVAL SYMBOLS

- ✗ HERITAGE INVASIVE/LOW DESIRABLE SPECIES - REMOVE
- ✗ NON-HERITAGE INVASIVE/LOW DESIRABLE SPECIES - REMOVE
- ✗ HERITAGE POOR HEALTH - REMOVE
- ✗ NON-HERITAGE POOR HEALTH - REMOVE
- ✗ DESIGN CONFLICT - HERITAGE OAK - REMOVE
- ✗ DESIGN CONFLICT - OTHER HERITAGE - REMOVE
- ✗ DESIGN CONFLICT - NON HERITAGE - REMOVE
- ✗ TREE REMOVED FROM 2021 TO 2024 SURVEY

TREES ASSOCIATED WITH SEPARATE PERMIT PROCESS, PLN2023-0025, AND HERITAGE REMOVAL APPLICATION HTR2023-00195

- HERITAGE QUERCUS AGRIFOLIA
- HERITAGE QUERCUS LOBATA
- HERITAGE QUERCUS ILEX
- HERITAGE QUERCUS RUBRA
- HERITAGE SEQUOIA SEMPERVIRENS
- HERITAGE ALL OTHER SPECIES
- NON HERITAGE TREES
- NEW TREES





TREE PROTECTION LEGEND

TREE SPECIES

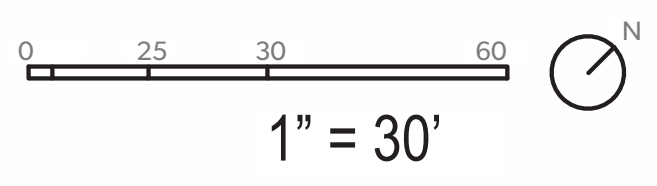
- HERITAGE QUERCUS AGRIFOLIA
- HERITAGE QUERCUS LOBATA
- HERITAGE QUERCUS ILEX
- HERITAGE QUERCUS RUBRA
- HERITAGE SEQUOIA SEMPERVIRENS
- HERITAGE PLATANUS RACEMOSA
- HERITAGE OLEA EUROPAEA
- HERITAGE HERITAGE INVASIVE
- HERITAGE ALL OTHER SPECIES
- NON HERITAGE TREES

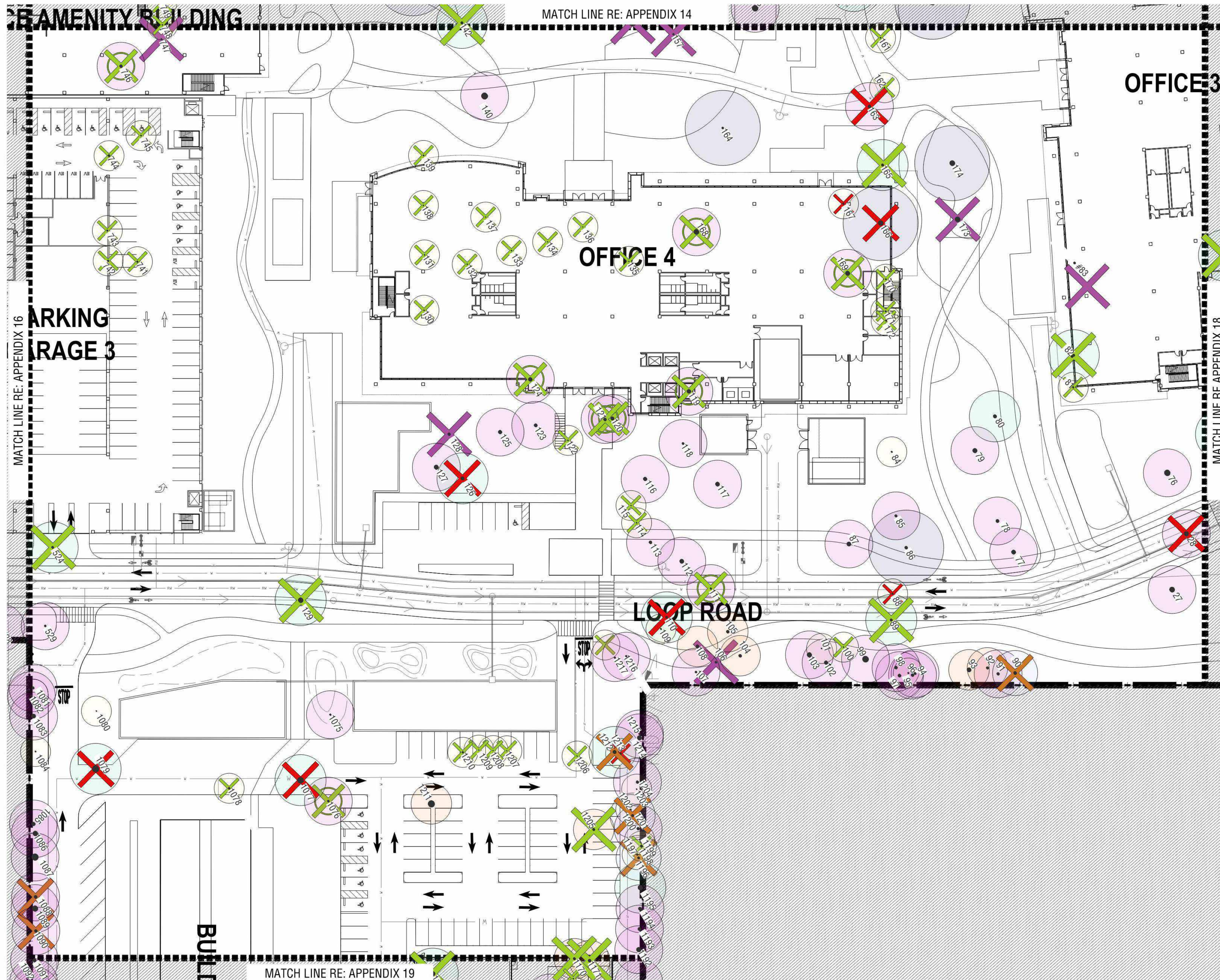
TREE REMOVAL SYMBOLS

- ✕ HERITAGE INVASIVE/LOW DESIRABLE SPECIES - REMOVE
- ✕ NON-HERITAGE INVASIVE/LOW DESIRABLE SPECIES - REMOVE
- ✕ HERITAGE POOR HEALTH - REMOVE
- ✕ NON-HERITAGE POOR HEALTH - REMOVE
- ✕ DESIGN CONFLICT - HERITAGE OAK - REMOVE
- ✕ DESIGN CONFLICT - OTHER HERITAGE - REMOVE
- ✕ DESIGN CONFLICT - NON HERITAGE - REMOVE
- ✕ TREE REMOVED FROM 2021 TO 2024 SURVEY

TREES ASSOCIATED WITH SEPARATE PERMIT PROCESS, PLN2023-0025, AND HERITAGE REMOVAL APPLICATION HTR2023-00195

- HERITAGE QUERCUS AGRIFOLIA
- HERITAGE QUERCUS LOBATA
- HERITAGE QUERCUS ILEX
- HERITAGE QUERCUS RUBRA
- HERITAGE SEQUOIA SEMPERVIRENS
- HERITAGE ALL OTHER SPECIES
- NON HERITAGE TREES
- NEW TREES





TREE PROTECTION LEGEND

TREE SPECIES

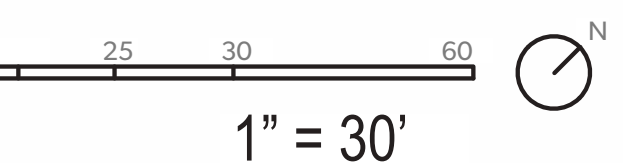
- HERITAGE QUERCUS AGRIFOLIA
- HERITAGE QUERCUS LOBATA
- HERITAGE QUERCUS ILEX
- HERITAGE QUERCUS RUBRA
- HERITAGE SEQUOIA SEMPERVIRENS
- HERITAGE PLATANUS RACEMOSA
- HERITAGE OLEA EUROPAEA
- HERITAGE HERITAGE INVASIVE
- HERITAGE ALL OTHER SPECIES
- NON HERITAGE TREES

TREE REMOVAL SYMBOLS

- ✗ HERITAGE INVASIVE/LOW DESIRABLE SPECIES - REMOVE
- ✗ NON-HERITAGE INVASIVE/LOW DESIRABLE SPECIES - REMOVE
- ✗ HERITAGE POOR HEALTH - REMOVE
- ✗ NON-HERITAGE POOR HEALTH - REMOVE
- ✗ DESIGN CONFLICT - HERITAGE OAK - REMOVE
- ✗ DESIGN CONFLICT - OTHER HERITAGE - REMOVE
- ✗ DESIGN CONFLICT - NON HERITAGE - REMOVE
- ✗ TREE REMOVED FROM 2021 TO 2024 SURVEY

TREES ASSOCIATED WITH SEPARATE PERMIT PROCESS, PLN2023-0025, AND HERITAGE REMOVAL APPLICATION HTR2023-00195

- HERITAGE QUERCUS AGRIFOLIA
- HERITAGE QUERCUS LOBATA
- HERITAGE QUERCUS ILEX
- HERITAGE QUERCUS RUBRA
- HERITAGE SEQUOIA SEMPERVIRENS
- HERITAGE ALL OTHER SPECIES
- NON HERITAGE TREES
- NEW TREES





TREE PROTECTION LEGEND

TREE SPECIES

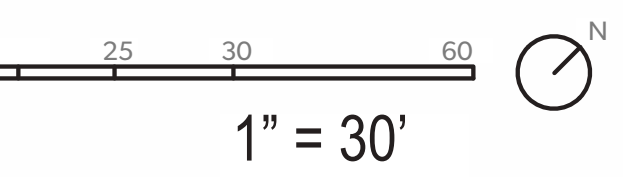
- HERITAGE QUERCUS AGRIFOLIA
- HERITAGE QUERCUS LOBATA
- HERITAGE QUERCUS ILEX
- HERITAGE QUERCUS RUBRA
- HERITAGE SEQUOIA SEMPERVIRENS
- HERITAGE PLATANUS RACEMOSA
- HERITAGE OLEA EUROPAEA
- HERITAGE HERITAGE INVASIVE
- HERITAGE ALL OTHER SPECIES
- NON HERITAGE TREES

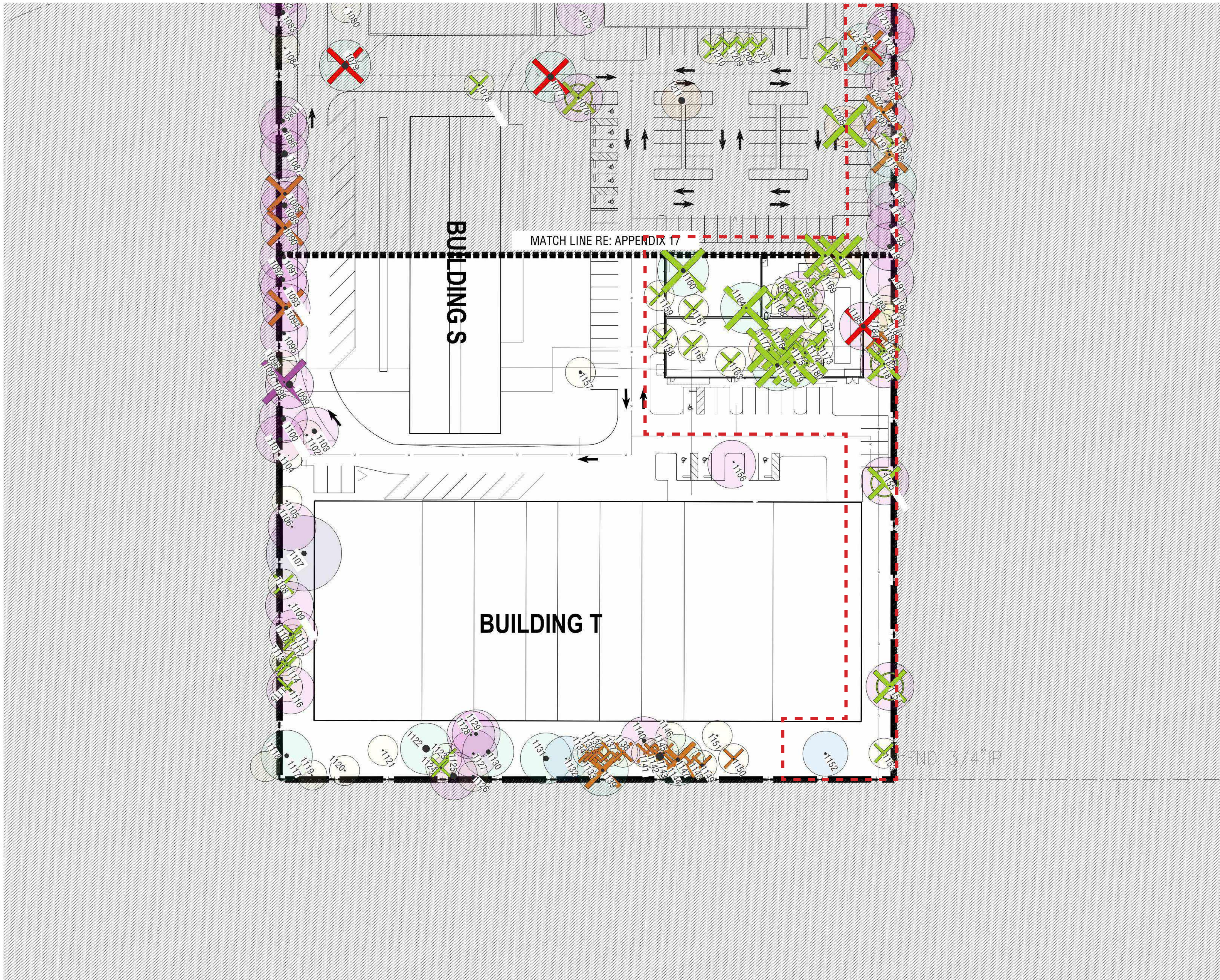
TREE REMOVAL SYMBOLS

- ✕ HERITAGE INVASIVE/LOW DESIRABLE SPECIES - REMOVE
- ✕ NON-HERITAGE INVASIVE/LOW DESIRABLE SPECIES - REMOVE
- ✕ HERITAGE POOR HEALTH - REMOVE
- ✕ NON-HERITAGE POOR HEALTH - REMOVE
- ✕ DESIGN CONFLICT - HERITAGE OAK - REMOVE
- ✕ DESIGN CONFLICT - OTHER HERITAGE - REMOVE
- ✕ DESIGN CONFLICT - NON HERITAGE - REMOVE
- ✕ TREE REMOVED FROM 2021 TO 2024 SURVEY

TREES ASSOCIATED WITH SEPARATE PERMIT PROCESS, PLN2023-0025, AND HERITAGE REMOVAL APPLICATION HTR2023-00195

- HERITAGE QUERCUS AGRIFOLIA
- HERITAGE QUERCUS LOBATA
- HERITAGE QUERCUS ILEX
- HERITAGE QUERCUS RUBRA
- HERITAGE SEQUOIA SEMPERVIRENS
- HERITAGE ALL OTHER SPECIES
- NON HERITAGE TREES
- NEW TREES





TREE PROTECTION LEGEND

TREE SPECIES

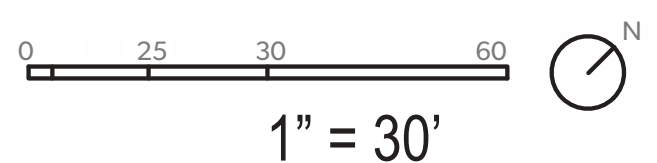
- HERITAGE QUERCUS AGRIFOLIA
- HERITAGE QUERCUS LOBATA
- HERITAGE QUERCUS ILEX
- HERITAGE QUERCUS RUBRA
- HERITAGE SEQUOIA SEMPERVIRENS
- HERITAGE PLATANUS RACEMOSA
- HERITAGE OLEA EUROPAEA
- HERITAGE HERITAGE INVASIVE
- HERITAGE ALL OTHER SPECIES
- NON HERITAGE TREES

TREE REMOVAL SYMBOLS

- ✕ HERITAGE INVASIVE/LOW DESIRABLE SPECIES - REMOVE
- ✕ NON-HERITAGE INVASIVE/LOW DESIRABLE SPECIES - REMOVE
- ✕ HERITAGE POOR HEALTH - REMOVE
- ✕ NON-HERITAGE POOR HEALTH - REMOVE
- ✕ DESIGN CONFLICT - HERITAGE OAK - REMOVE
- ✕ DESIGN CONFLICT - OTHER HERITAGE - REMOVE
- ✕ DESIGN CONFLICT - NON HERITAGE - REMOVE
- ✕ TREE REMOVED FROM 2021 TO 2024 SURVEY








TREES ASSOCIATED WITH SEPARATE PERMIT PROCESS, PLN2023-0025, AND HERITAGE REMOVAL APPLICATION HTR2023-00195

- HERITAGE QUERCUS AGRIFOLIA
- HERITAGE QUERCUS LOBATA
- HERITAGE QUERCUS ILEX
- HERITAGE QUERCUS RUBRA
- HERITAGE SEQUOIA SEMPERVIRENS
- BOUNDARY OF SEPARATE PER-
- NON HERITAGE TREES
- NEW TREES





LEGEND

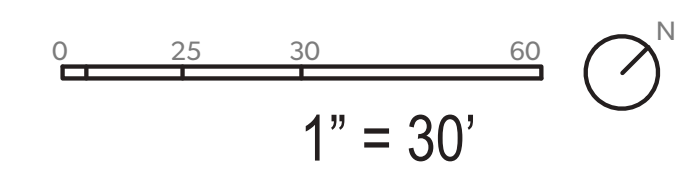
- 
PROPOSED TREE - 24" BOX
 PROPOSED TREE SPECIES:
 CHINESE PISTACHE (PISTACIA CHINENSIS)
 BRISBANE BOX (LOPHOSTEMON CONFERTUS)
 CALIFORNIA BAY LAUREL (UMBELLARIA CALIFORNICA)
- 
PROPOSED TREE - 36" BOX
 PROPOSED TREE SPECIES:
 CALIFORNIA SYCAMORE (PLANTANUS RACEMOSA)
 CHINESE PISTACHE (PISTACIA CHINENSIS)
 BRISBANE BOX (LOPHOSTEMON CONFERTUS)
 STRAWBERRY TREE (ARBUTUS X MARINA)
 FRONTIER ELM (ULMUS CARPINIFOLIA X PARVIFOLIA 'FRONTIER')
- 
PROPOSED TREE - 48" BOX
 PROPOSED TREE SPECIES:
 CALIFORNIA SYCAMORE (PLANTANUS RACEMOSA)
 CHINESE PISTACHE (PISTACIA CHINENSIS)
 FOREST GREEN OAK (QUERCUS FAINETTO 'FOREST GREEN')
 SILVER LINDEN (TILIA TOMENTOSA)
 MONTEREY CYPRESS (CUPRESSUS MACROCARPA)
 FRONTIER ELM (ULMUS CARPINIFOLIA X PARVIFOLIA 'FRONTIER')
- 
PROPOSED TREE - 60" BOX
 PROPOSED TREE SPECIES:
 CALIFORNIA SYCAMORE (PLANTANUS RACEMOSA)
 FOREST GREEN OAK (QUERCUS FAINETTO 'FOREST GREEN')
 COAST LIVE OAK (QUERCUS AGRIFOLIA)
 LIVE OAK (QUERCUS VIRGINIANA)
 TIPU TREE (TIPUANA)
 FOREST GREEN OAK (QUERCUS FAINETTO 'FOREST GREEN')
 NETLEAF OAK (QUERCUS RUGOSA)
- 
 EXISTING HERITAGE SEQUOIA SEMPERVIRENS / REDWOOD
- 
 EXISTING HERITAGE
- 
 EXISTING NON-HERITAGE

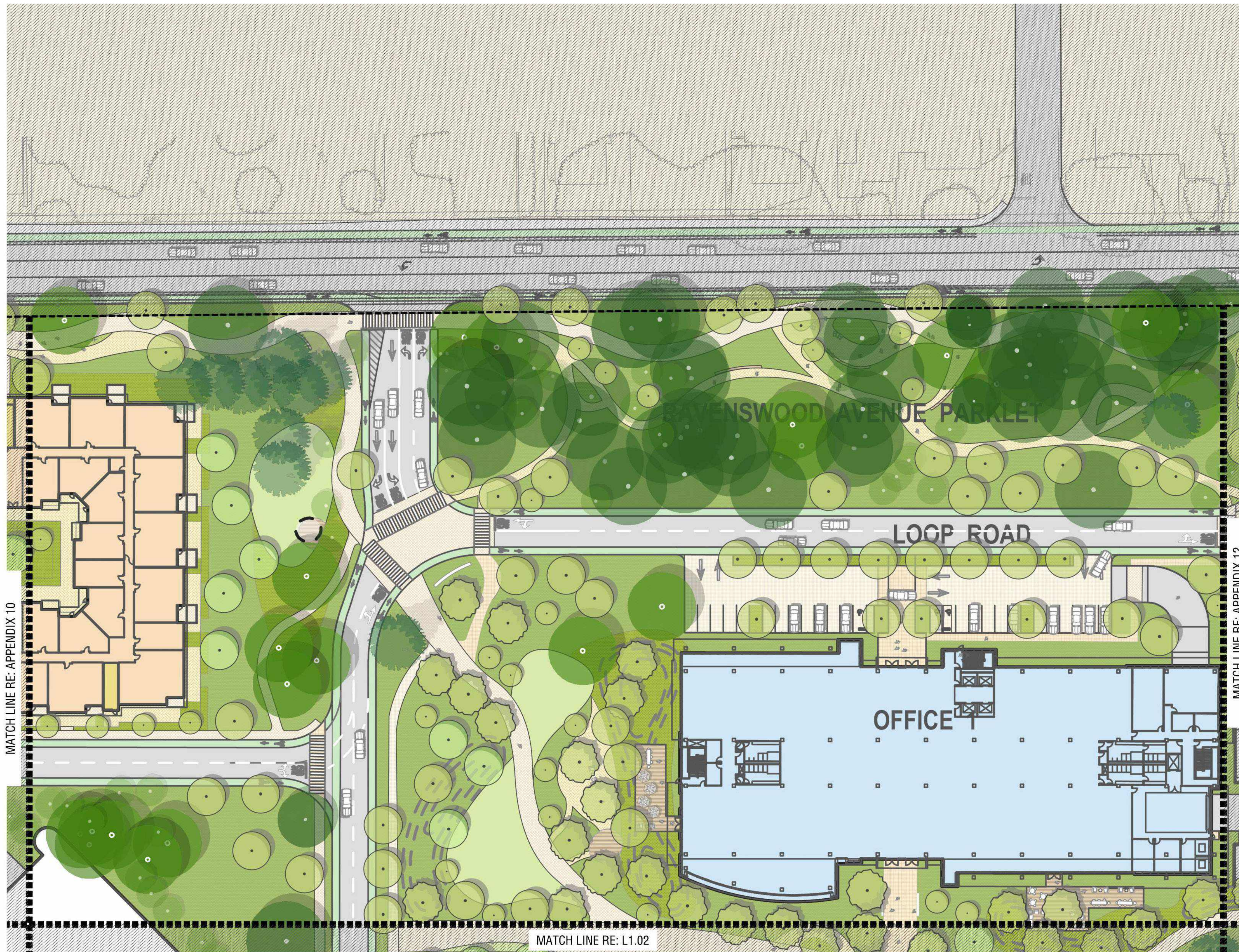
Tree Disposition	Total Trees	Estimated Value
Design Conflict	202	\$ 2,053,100
Health Reasons	25	\$ 17,100
Undesirable	37	\$ 15,200
Total Tree removal mitigation value		\$ 2,085,400

Tree Replacement Value Analysis			
Tree Size	Value	Total Trees	Total Value
24" Box	\$ 400	155	\$ 62,000
36" Box	\$ 1,200	355	\$ 426,000
48" Box	\$ 5,000	200	\$ 1,000,000
60" Box	\$ 7,000	150	\$ 1,050,000
		860	\$ 2,476,000


MATCH LINE RE: APPENDIX 13


MATCH LINE RE: L1.02








LEGEND


- 
PROPOSED TREE - 24" BOX
 PROPOSED TREE SPECIES:
 CHINESE PISTACHE (PISTACIA CHINENSIS)
 BRISBANE BOX (LOPHOSTEMON CONFERTUS)
 CALIFORNIA BAY LAUREL (UMBELLARIA CALIFORNICA)


- 
PROPOSED TREE - 36" BOX
 PROPOSED TREE SPECIES:
 CALIFORNIA SYCAMORE (PLANTANUS RACEMOSA)
 CHINESE PISTACHE (PISTACIA CHINENSIS)
 BRISBANE BOX (LOPHOSTEMON CONFERTUS)
 STRAWBERRY TREE (ARBUTUS X MARINA)
 FRONTIER ELM (ULMUS CARPINIFOLIA X PARVIFOLIA 'FRONTIER')

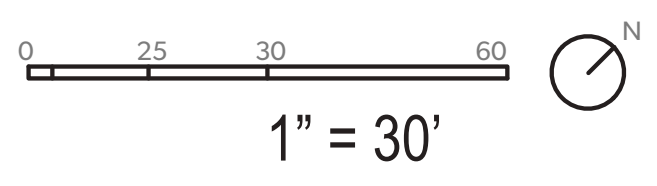
- 
PROPOSED TREE - 48" BOX
 PROPOSED TREE SPECIES:
 CALIFORNIA SYCAMORE (PLANTANUS RACEMOSA)
 CHINESE PISTACHE (PISTACIA CHINENSIS)
 FOREST GREEN OAK (QUERCUS FAINETTO 'FOREST GREEN')
 SILVER LINDEN (TILLA TOMENTOSA)
 MONTEREY CYPRESS (CUPRESSUS MACROCARPA)
 FRONTIER ELM (ULMUS CARPINIFOLIA X PARVIFOLIA 'FRONTIER')

- 
PROPOSED TREE - 60" BOX
 PROPOSED TREE SPECIES:
 CALIFORNIA SYCAMORE (PLANTANUS RACEMOSA)
 FOREST GREEN OAK (QUERCUS FAINETTO 'FOREST GREEN')
 COAST LIVE OAK (QUERCUS AGRIFOLIA)
 LIVE OAK (QUERCUS VIRGINIANA)
 TIPU TREE (TIPUANA)
 FOREST GREEN OAK (QUERCUS FAINETTO 'FOREST GREEN')
 NETLEAF OAK (QUERCUS RUGOSA)

- 
 EXISTING HERITAGE SEQUOIA SEMPERVIRENS / REDWOOD








- 
 EXISTING HERITAGE

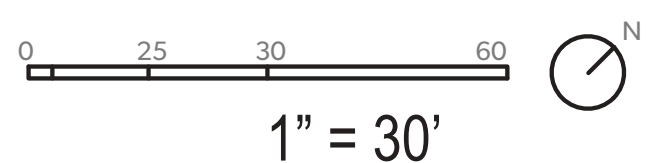
- 
 EXISTING NON-HERITAGE






LEGEND


- 
PROPOSED TREE - 24" BOX
 PROPOSED TREE SPECIES:
 CHINESE PISTACHE (PISTACIA CHINENSIS)
 BRISBANE BOX (LOPHOSTEMON CONFERTUS)
 CALIFORNIA BAY LAUREL (UMBELLARIA CALIFORNICA)
- 
PROPOSED TREE - 36" BOX
 PROPOSED TREE SPECIES:
 CALIFORNIA SYCAMORE (PLANTANUS RACEMOSA)
 CHINESE PISTACHE (PISTACIA CHINENSIS)
 BRISBANE BOX (LOPHOSTEMON CONFERTUS)
 STRAWBERRY TREE (ARBUTUS X MARINA)
 FRONTIER ELM (ULMUS CARPINIFOLIA X PARVIFOLIA 'FRONTIER')
- 
PROPOSED TREE - 48" BOX
 PROPOSED TREE SPECIES:
 CALIFORNIA SYCAMORE (PLANTANUS RACEMOSA)
 CHINESE PISTACHE (PISTACIA CHINENSIS)
 FOREST GREEN OAK (QUERCUS FAINETTO 'FOREST GREEN')
 SILVER LINDEN (TILLA TOMENTOSA)
 MONTEREY CYPRESS (CUPRESSUS MACROCARPA)
 FRONTIER ELM (ULMUS CARPINIFOLIA X PARVIFOLIA 'FRONTIER')
- 
PROPOSED TREE - 60" BOX
 PROPOSED TREE SPECIES:
 CALIFORNIA SYCAMORE (PLANTANUS RACEMOSA)
 FOREST GREEN OAK (QUERCUS FAINETTO 'FOREST GREEN')
 COAST LIVE OAK (QUERCUS AGRIFOLIA)
 LIVE OAK (QUERCUS VIRGINIANA)
 TIPU TREE (TIPUANA)
 FOREST GREEN OAK (QUERCUS FAINETTO 'FOREST GREEN')
 NETLEAF OAK (QUERCUS RUGOSA)
- 
 EXISTING HERITAGE SEQUOIA SEMPERVIRENS / REDWOOD
- 
 EXISTING HERITAGE
- 
 EXISTING NON-HERITAGE








LEGEND


- 
PROPOSED TREE - 24" BOX
 PROPOSED TREE SPECIES:
 CHINESE PISTACHE (PISTACIA CHINENSIS)
 BRISBANE BOX (LOPHOSTEMON CONFERTUS)
 CALIFORNIA BAY LAUREL (UMBELLARIA CALIFORNICA)


- 
PROPOSED TREE - 36" BOX
 PROPOSED TREE SPECIES:
 CALIFORNIA SYCAMORE (PLANTANUS RACEMOSA)
 CHINESE PISTACHE (PISTACIA CHINENSIS)
 BRISBANE BOX (LOPHOSTEMON CONFERTUS)
 STRAWBERRY TREE (ARBUTUS X MARINA)
 FRONTIER ELM (ULMUS CARPINIFOLIA X PARVIFOLIA 'FRONTIER')

- 
PROPOSED TREE - 48" BOX
 PROPOSED TREE SPECIES:
 CALIFORNIA SYCAMORE (PLANTANUS RACEMOSA)
 CHINESE PISTACHE (PISTACIA CHINENSIS)
 FOREST GREEN OAK (QUERCUS FAINETTO 'FOREST GREEN')
 SILVER LINDEN (TILLA TOMENTOSA)
 MONTEREY CYPRESS (CUPRESSUS MACROCARPA)
 FRONTIER ELM (ULMUS CARPINIFOLIA X PARVIFOLIA 'FRONTIER')

- 
PROPOSED TREE - 60" BOX
 PROPOSED TREE SPECIES:
 CALIFORNIA SYCAMORE (PLANTANUS RACEMOSA)
 FOREST GREEN OAK (QUERCUS FAINETTO 'FOREST GREEN')
 COAST LIVE OAK (QUERCUS AGRIFOLIA)
 LIVE OAK (QUERCUS VIRGINIANA)
 TIPU TREE (TIPUANA)
 FOREST GREEN OAK (QUERCUS FAINETTO 'FOREST GREEN')
 NETLEAF OAK (QUERCUS RUGOSA)

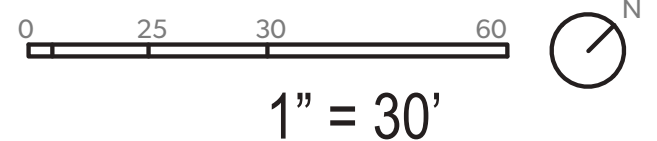
- 
 EXISTING HERITAGE SEQUOIA SEMPERVIRENS / REDWOOD

- 
 EXISTING HERITAGE

- 
 EXISTING NON-HERITAGE

MATCH LINE RE: APPENDIX 14








MATCH LINE RE: APPENDIX 16



MATCH LINE RE: APPENDIX 11



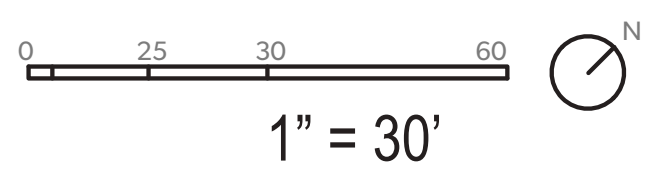
LEGEND

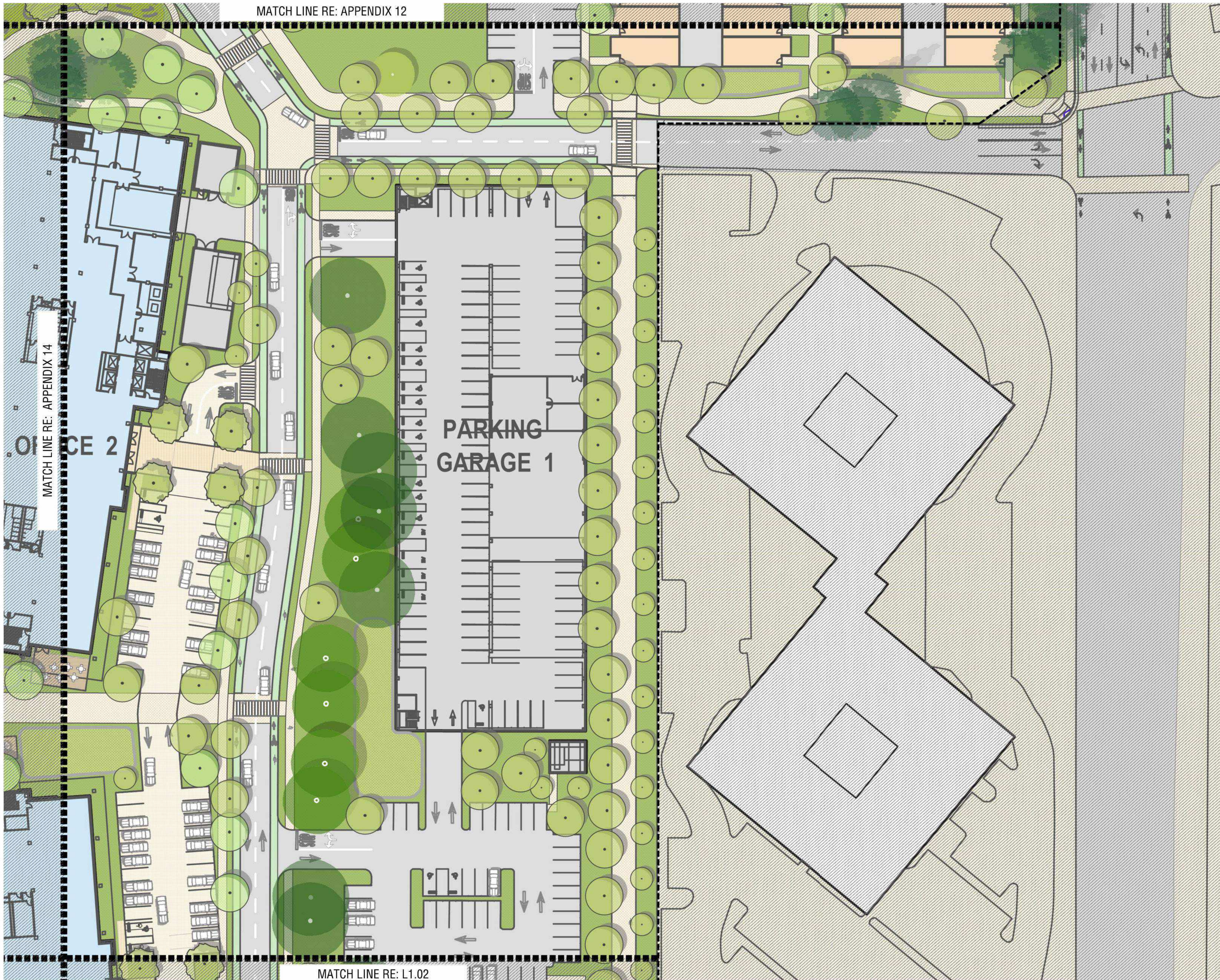
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 PROPOSED TREE - 24" BOX
 PROPOSED TREE SPECIES:
 CHINESE PISTACHE (PISTACIA CHINENSIS)
 BRISBANE BOX (LOPHOSTEMON CONFERTUS)
 CALIFORNIA BAY LAUREL (UMBELLARIA CALIFORNICA)
- 
 PROPOSED TREE - 36" BOX
 PROPOSED TREE SPECIES:
 CALIFORNIA SYCAMORE (PLANTANUS RACEMOSA)
 CHINESE PISTACHE (PISTACIA CHINENSIS)
 BRISBANE BOX (LOPHOSTEMON CONFERTUS)
 STRAWBERRY TREE (ARBUTUS X MARINA)
 FRONTIER ELM (ULMUS CARPINIFOLIA X PARVIFOLIA 'FRONTIER')
- 
 PROPOSED TREE - 48" BOX
 PROPOSED TREE SPECIES:
 CALIFORNIA SYCAMORE (PLANTANUS RACEMOSA)
 CHINESE PISTACHE (PISTACIA CHINENSIS)
 FOREST GREEN OAK (QUERCUS FAINETTO 'FOREST GREEN')
 SILVER LINDEN (TILLA TOMENTOSA)
 MONTEREY CYPRESS (CUPRESSUS MACROCARPA)
 FRONTIER ELM (ULMUS CARPINIFOLIA X PARVIFOLIA 'FRONTIER')
- 
 PROPOSED TREE - 60" BOX
 PROPOSED TREE SPECIES:
 CALIFORNIA SYCAMORE (PLANTANUS RACEMOSA)
 FOREST GREEN OAK (QUERCUS FAINETTO 'FOREST GREEN')
 COAST LIVE OAK (QUERCUS AGRIFOLIA)
 LIVE OAK (QUERCUS VIRGINIANA)
 TIPU TREE (TIPUANA)
 FOREST GREEN OAK (QUERCUS FAINETTO 'FOREST GREEN')
 NETLEAF OAK (QUERCUS RUGOSA)
- 
 EXISTING HERITAGE SEQUOIA SEMPERVIRENS / REDWOOD
- 
 EXISTING HERITAGE
- 
 EXISTING NON-HERITAGE

MATCH LINE RE: APPENDIX 13


MATCH LINE RE: APPENDIX 15


MATCH LINE RE: L1.02








LEGEND


- 
PROPOSED TREE - 24" BOX
 PROPOSED TREE SPECIES:
 CHINESE PISTACHE (PISTACIA CHINENSIS)
 BRISBANE BOX (LOPHOSTEMON CONFERTUS)
 CALIFORNIA BAY LAUREL (UMBELLARIA CALIFORNICA)


- 
PROPOSED TREE - 36" BOX
 PROPOSED TREE SPECIES:
 CALIFORNIA SYCAMORE (PLANTANUS RACEMOSA)
 CHINESE PISTACHE (PISTACIA CHINENSIS)
 BRISBANE BOX (LOPHOSTEMON CONFERTUS)
 STRAWBERRY TREE (ARBUTUS X MARINA)
 FRONTIER ELM (ULMUS CARPINIFOLIA X PARVIFOLIA 'FRONTIER')

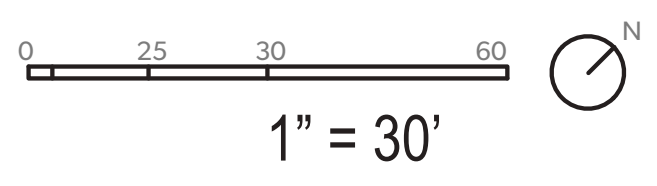
- 
PROPOSED TREE - 48" BOX
 PROPOSED TREE SPECIES:
 CALIFORNIA SYCAMORE (PLANTANUS RACEMOSA)
 CHINESE PISTACHE (PISTACIA CHINENSIS)
 FOREST GREEN OAK (QUERCUS FAINETTO 'FOREST GREEN')
 SILVER LINDEN (TILLA TOMENTOSA)
 MONTEREY CYPRESS (CUPRESSUS MACROCARPA)
 FRONTIER ELM (ULMUS CARPINIFOLIA X PARVIFOLIA 'FRONTIER')

- 
PROPOSED TREE - 60" BOX
 PROPOSED TREE SPECIES:
 CALIFORNIA SYCAMORE (PLANTANUS RACEMOSA)
 FOREST GREEN OAK (QUERCUS FAINETTO 'FOREST GREEN')
 COAST LIVE OAK (QUERCUS AGRIFOLIA)
 LIVE OAK (QUERCUS VIRGINIANA)
 TIPU TREE (TIPUANA)
 FOREST GREEN OAK (QUERCUS FAINETTO 'FOREST GREEN')
 NETLEAF OAK (QUERCUS RUGOSA)

- 
 EXISTING HERITAGE SEQUOIA SEMPERVIRENS / REDWOOD


- 
 EXISTING HERITAGE


- 
 EXISTING NON-HERITAGE








LEGEND


- 
PROPOSED TREE - 24" BOX
 PROPOSED TREE SPECIES:
 CHINESE PISTACHE (PISTACIA CHINENSIS)
 BRISBANE BOX (LOPHOSTEMON CONFERTUS)
 CALIFORNIA BAY LAUREL (UMBELLARIA CALIFORNICA)


- 
PROPOSED TREE - 36" BOX
 PROPOSED TREE SPECIES:
 CALIFORNIA SYCAMORE (PLANTANUS RACEMOSA)
 CHINESE PISTACHE (PISTACIA CHINENSIS)
 BRISBANE BOX (LOPHOSTEMON CONFERTUS)
 STRAWBERRY TREE (ARBUTUS X MARINA)
 FRONTIER ELM (ULMUS CARPINIFOLIA X PARVIFOLIA 'FRONTIER')

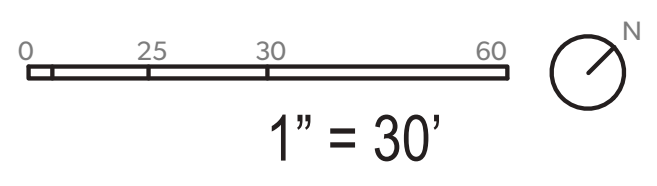
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PROPOSED TREE - 48" BOX
 PROPOSED TREE SPECIES:
 CALIFORNIA SYCAMORE (PLANTANUS RACEMOSA)
 CHINESE PISTACHE (PISTACIA CHINENSIS)
 FOREST GREEN OAK (QUERCUS FAINETTO 'FOREST GREEN')
 SILVER LINDEN (TILLA TOMENTOSA)
 MONTEREY CYPRESS (CUPRESSUS MACROCARPA)
 FRONTIER ELM (ULMUS CARPINIFOLIA X PARVIFOLIA 'FRONTIER')

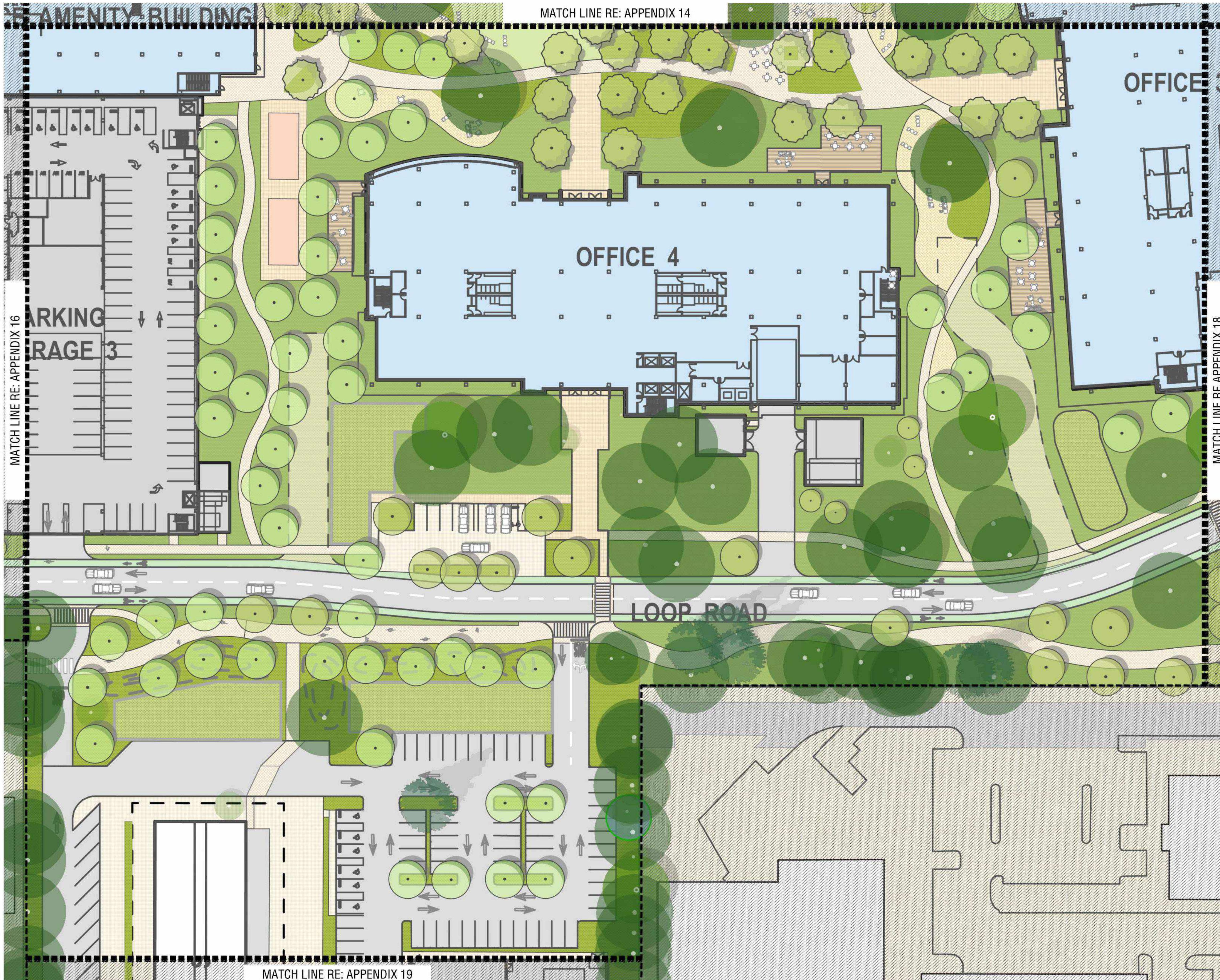
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PROPOSED TREE - 60" BOX
 PROPOSED TREE SPECIES:
 CALIFORNIA SYCAMORE (PLANTANUS RACEMOSA)
 FOREST GREEN OAK (QUERCUS FAINETTO 'FOREST GREEN')
 COAST LIVE OAK (QUERCUS AGRIFOLIA)
 LIVE OAK (QUERCUS VIRGINIANA)
 TIPU TREE (TIPUANA)
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- 
 EXISTING HERITAGE SEQUOIA SEMPERVIRENS / REDWOOD


- 
 EXISTING HERITAGE


- 
 EXISTING NON-HERITAGE








LEGEND


- 
PROPOSED TREE - 24" BOX
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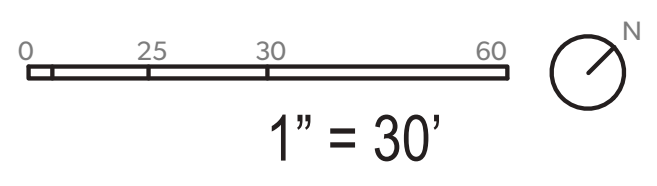
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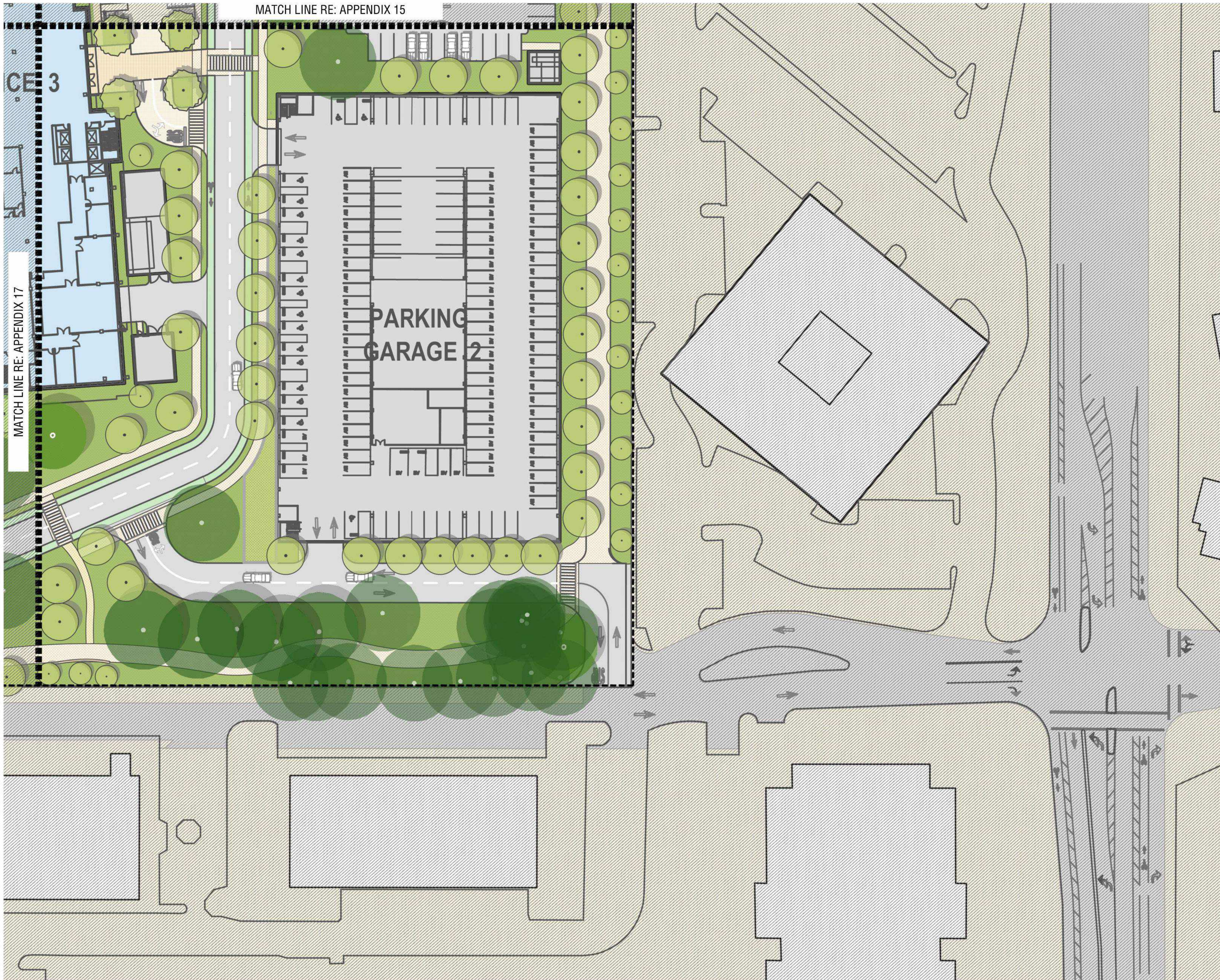
- 
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- 
 EXISTING HERITAGE SEQUOIA SEMPERVIRENS / REDWOOD

- 
 EXISTING HERITAGE

- 
 EXISTING NON-HERITAGE







MATCH LINE RE: APPENDIX 15


MATCH LINE RE: APPENDIX 17


PARKING GARAGE 2


LEGEND


- 
PROPOSED TREE - 24" BOX
 PROPOSED TREE SPECIES:
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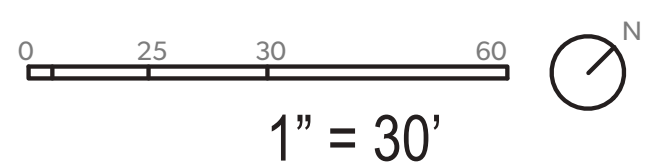
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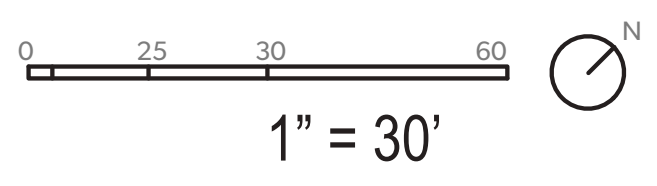
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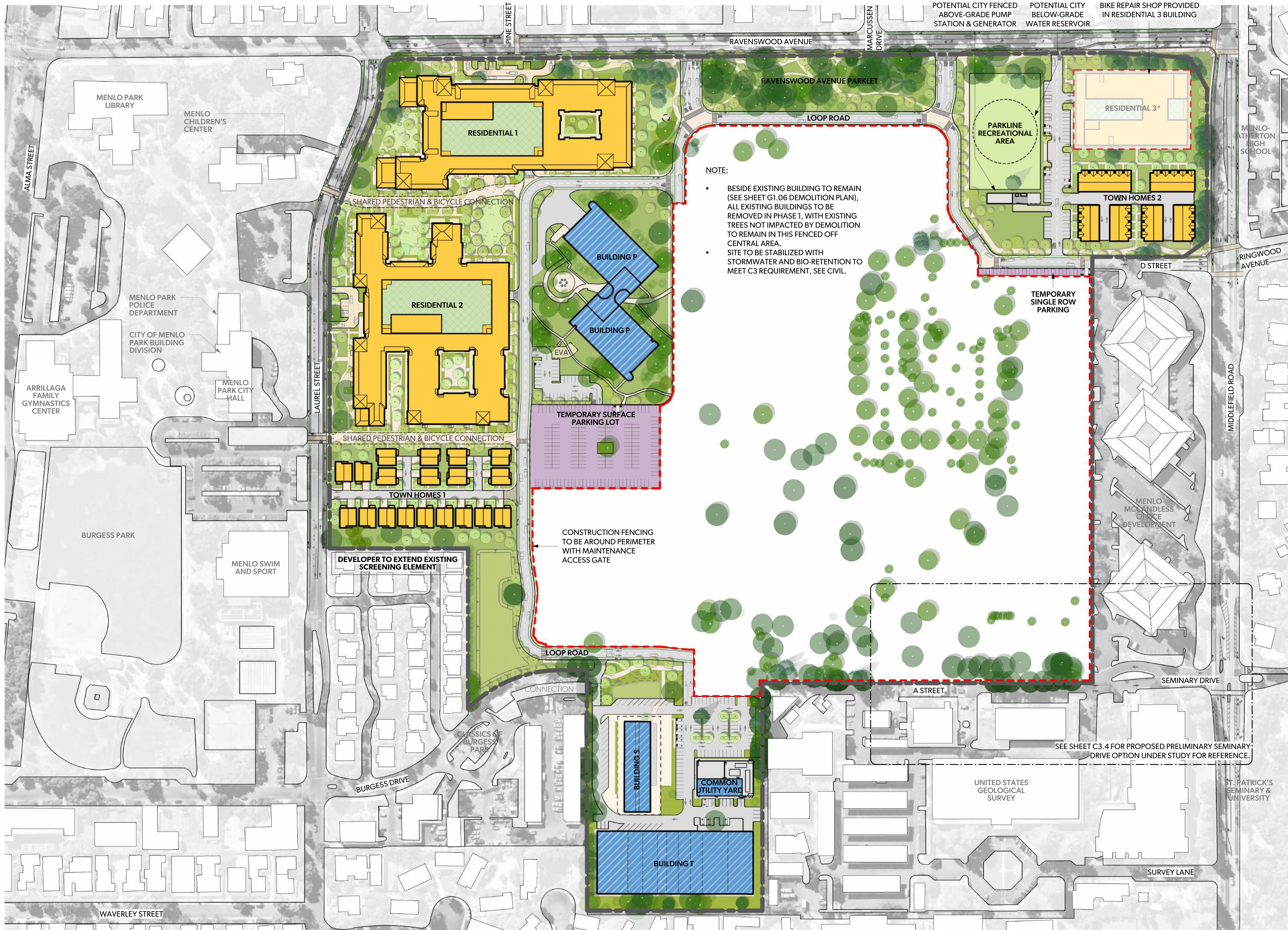
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 NETLEAF OAK (QUERCUS RUGOSA)

- 
 EXISTING HERITAGE SEQUOIA SEMPERVIRENS / REDWOOD

- 
 EXISTING HERITAGE

- 
 EXISTING NON-HERITAGE





NOTE:

- BESIDE EXISTING BUILDING TO REMAIN (SEE SHEET G1.06 DEMOLITION PLAN), ALL EXISTING BUILDINGS TO BE REMOVED IN PHASE 1, WITH EXISTING TREES NOT IMPACTED BY DEMOLITION TO REMAIN IN THIS FENCED OFF CENTRAL AREA.
- SITE TO BE STABILIZED WITH STORMWATER AND BIO-RETENTION TO MEET C3 REQUIREMENT, SEE CIVIL.

LEGEND

- RESIDENTIAL
- TEMPORARY PARKING
- TERRACE
- EXISTING BUILDINGS

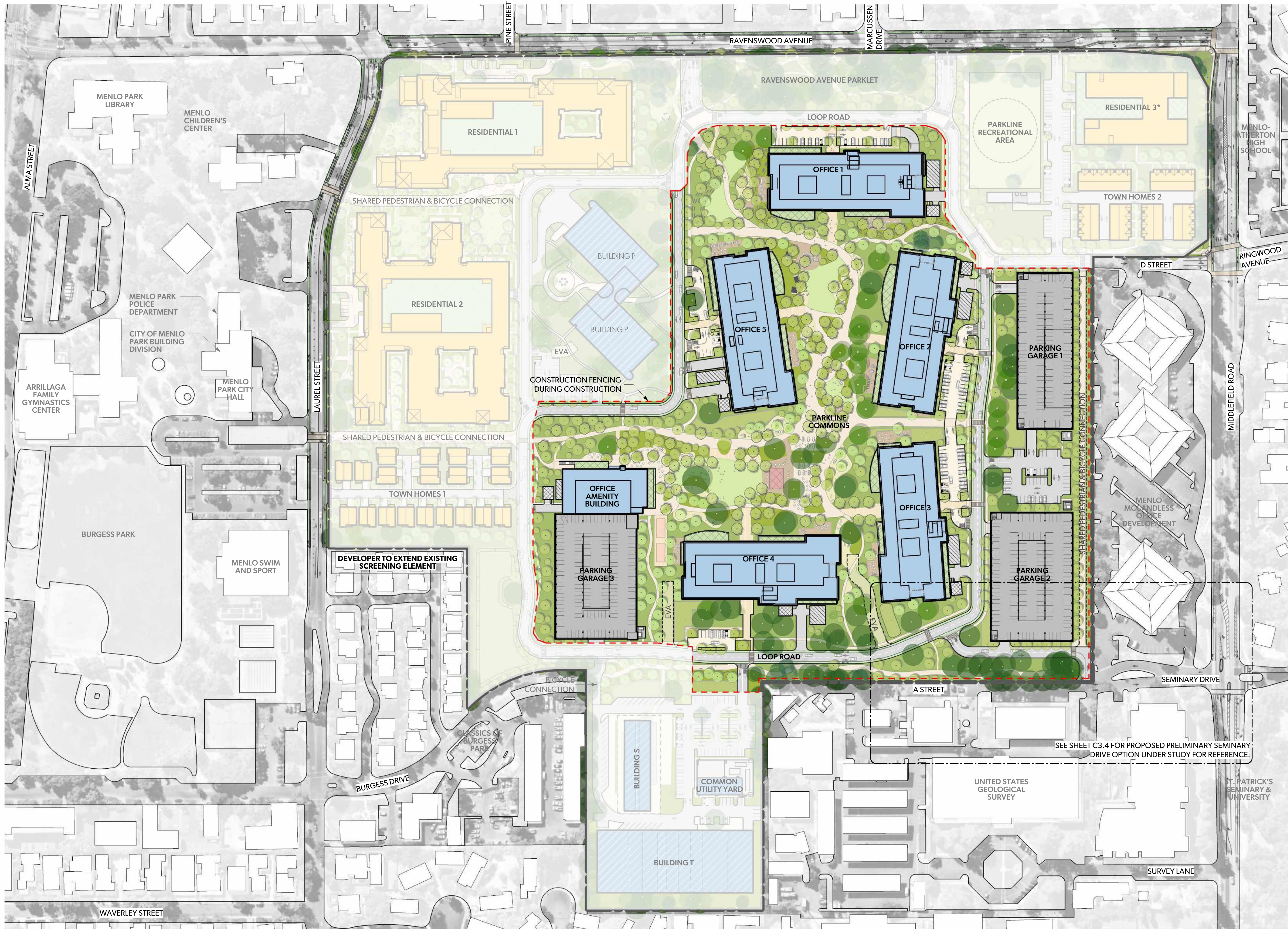
NOTE:

* RESIDENTIAL BUILDING R3 (RESIDENTIAL 3) WILL BE DEVELOPED SEPARATELY BY A 3RD PARTY AFFORDABLE HOUSING DEVELOPER. THE TIMING OF CONSTRUCTION IS DEPENDENT ON A VARIETY OF FACTORS THAT ARE UNKNOWN AT THIS TIME AND NOT UNDER THE APPLICANT'S CONTROL. R3 IS THEREFORE DEPICTED AS DEVELOPED UNDER PHASE 3, BUT IT COULD BE DEVELOPED AT AN EARLIER DATE.

1
C3.4

SEE SHEET C3.4 FOR PROPOSED PRELIMINARY SEMINARY DRIVE OPTION UNDER STUDY FOR REFERENCE.

Scale: 1" = 100' -0"



LEGEND

- RESIDENTIAL
- OFFICE / R&D
- TERRACE
- EXISTING BUILDINGS
- PARKING GARAGE
- UTILITY YARD
- UTILITY & TRASH ENCLOSURE FOOTPRINT / ROOF
- OUTDOOR PAVILION / EVENT SPACE

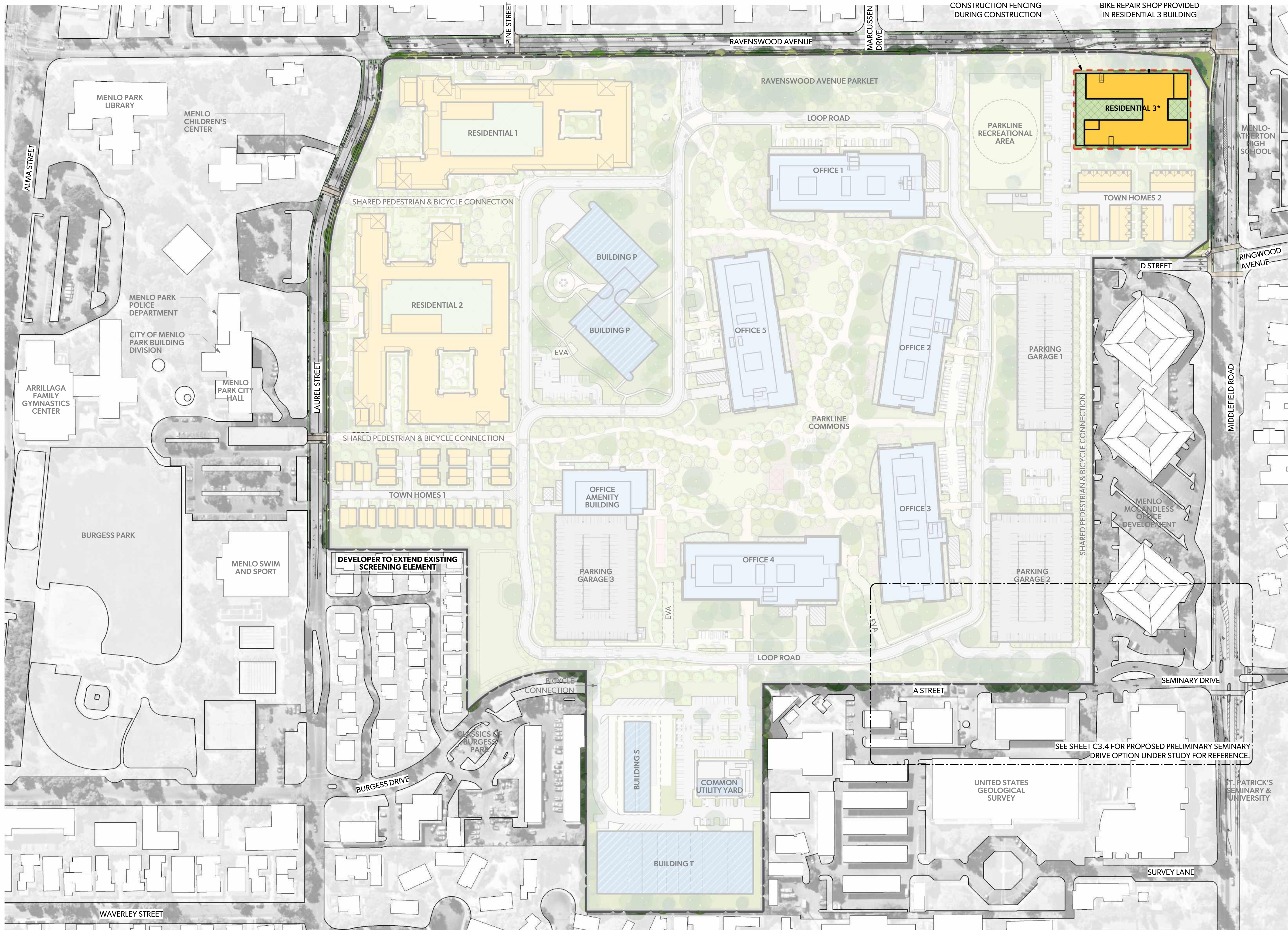
NOTE:

* RESIDENTIAL BUILDING R3 (RESIDENTIAL 3) WILL BE DEVELOPED SEPARATELY BY A 3RD PARTY AFFORDABLE HOUSING DEVELOPER. THE TIMING OF CONSTRUCTION IS DEPENDENT ON A VARIETY OF FACTORS THAT ARE UNKNOWN AT THIS TIME AND NOT UNDER THE APPLICANT'S CONTROL. R3 IS THEREFORE DEPICTED AS DEVELOPED UNDER PHASE 3, BUT IT COULD BE DEVELOPED AT AN EARLIER DATE.

SEE SHEET C3.4 FOR PROPOSED PRELIMINARY SEMINARY DRIVE OPTION UNDER STUDY FOR REFERENCE.

1
C3.4

Scale: 1" = 100' - 0"



LEGEND

- RESIDENTIAL
- OFFICE / R&D
- TERRACE
- EXISTING BUILDINGS
- PARKING GARAGE
- UTILITY YARD
- UTILITY & TRASH ENCLOSURE FOOTPRINT / ROOF
- OUTDOOR PAVILION / EVENT SPACE

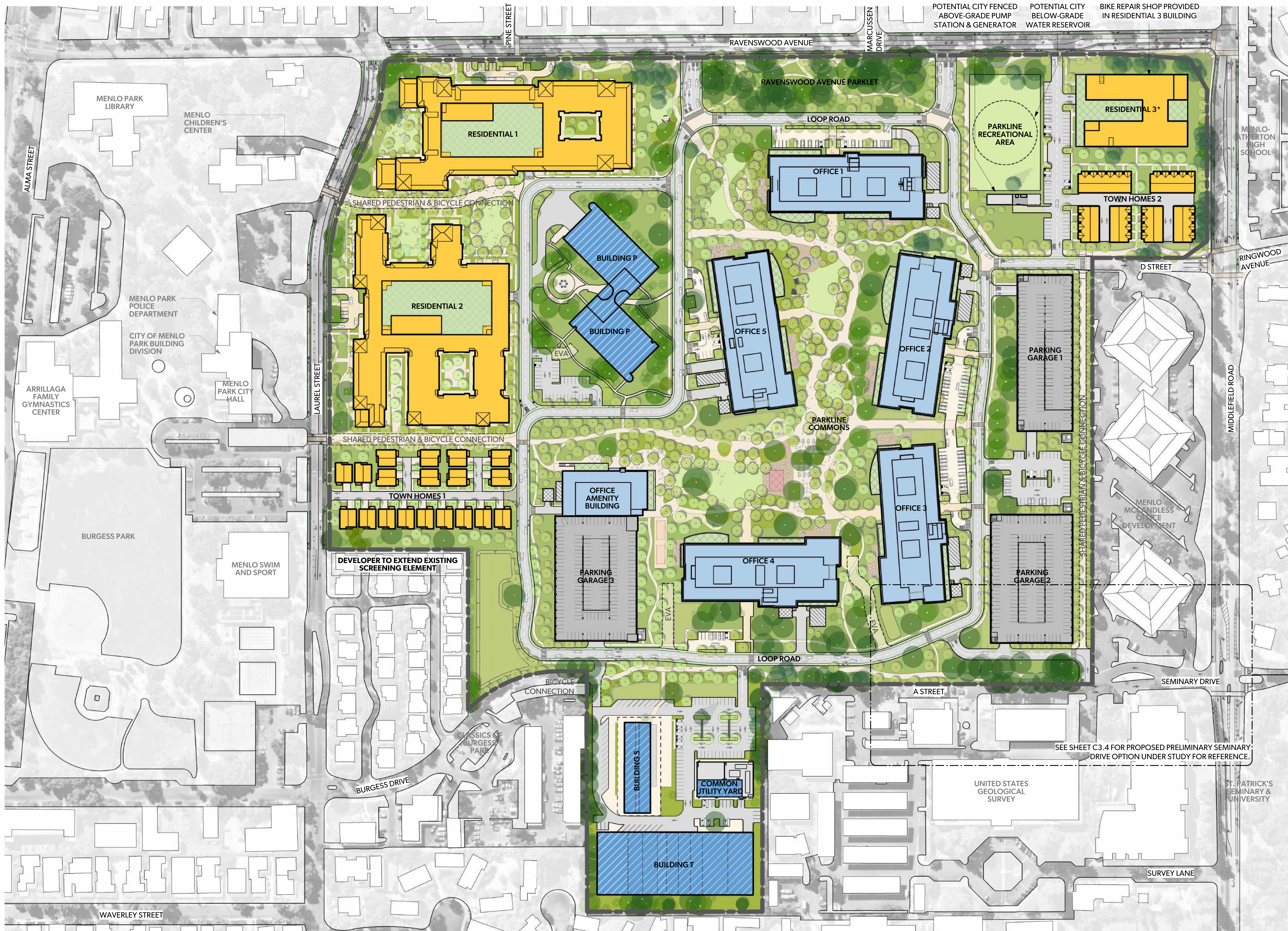
NOTE:

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1
C3.4

SEE SHEET C3.4 FOR PROPOSED PRELIMINARY SEMINARY DRIVE OPTION UNDER STUDY FOR REFERENCE.

Scale: 1" = 100' -0"



LEGEND

- RESIDENTIAL
- OFFICE / R&D
- TERRACE
- EXISTING BUILDINGS
- PARKING GARAGE
- UTILITY YARD
- UTILITY & TRASH ENCLOSURE FOOTPRINT / ROOF
- OUTDOOR PAVILION / EVENT SPACE

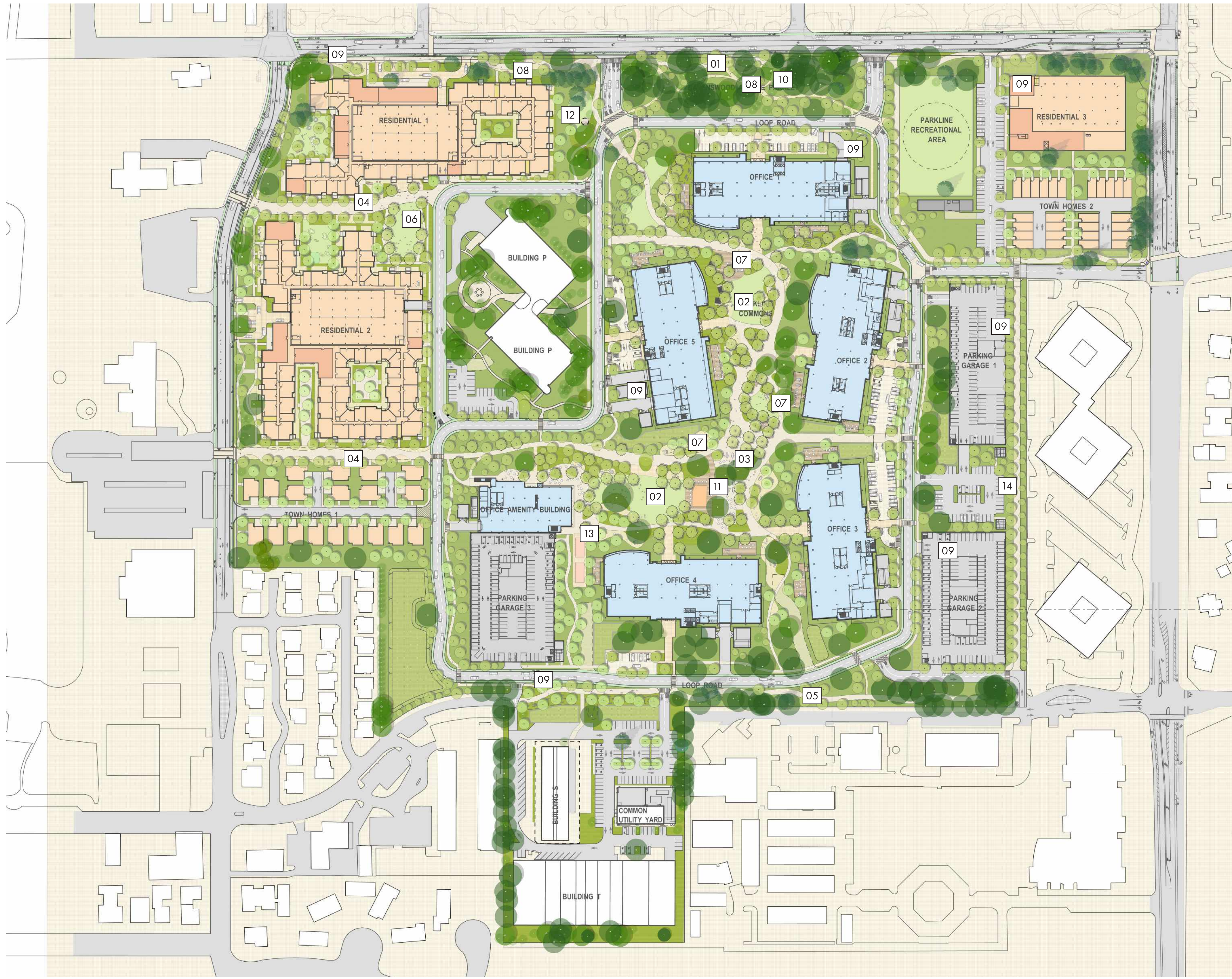
NOTE:

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1
C3.4

SEE SHEET C3.4 FOR PROPOSED PRELIMINARY SEMINARY DRIVE OPTION UNDER STUDY FOR REFERENCE.

Scale: 1" = 100' -0"

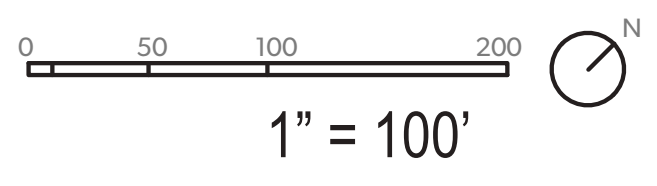


LEGEND

- 01 RAVENSWOOD CLASS I SHARED-USE PATH
- 02 THE GREEN - MULTI-USE LAWN
- 03 MULTI-USE PLAZA
- 04 PEDESTRIAN CONNECTION
- 05 SEMINARY/BURGESS CLASS I SHARED-USE PATH
- 06 DOG PARK
- 07 SHADED COURTS
- 08 EXERCISE STATION
- 09 BIKE REPAIR STATION
- 10 CHILDREN'S PLAYGROUND
- 11 PERFORMACE SPACE
- 12 BBQ/PICNIC AREA
- 13 PARK GAMES

1
C3.4

NOTE:
1 SEE SHEET C3.4 FOR PROPOSED PRELIMINARY SEMINARY DRIVE OPTION UNDER STUDY FOR REFERENCE.





01 RAVENSWOOD CLASS I SHARED-USE PATH



02 THE GREEN - MULTI-USE LAWN



03 MULTI-USE PLAZA



04 PEDESTRIAN CONNECTION



05 SEMINARY/BURGESS CLASS I SHARED-USE PATH



06 DOG PARK



07 SHADED COURTS



08 EXERCISE STATIONS



09 BIKE REPAIR STATION



10 CHILDREN'S PLAYGROUND



11 PERFORMANCE SPACE



12 BBQ/PICNIC AREA



13 PARK GAMES



14 FARMERS' MARKET



15 RECREATION AREA



16 FOOD TRUCKS

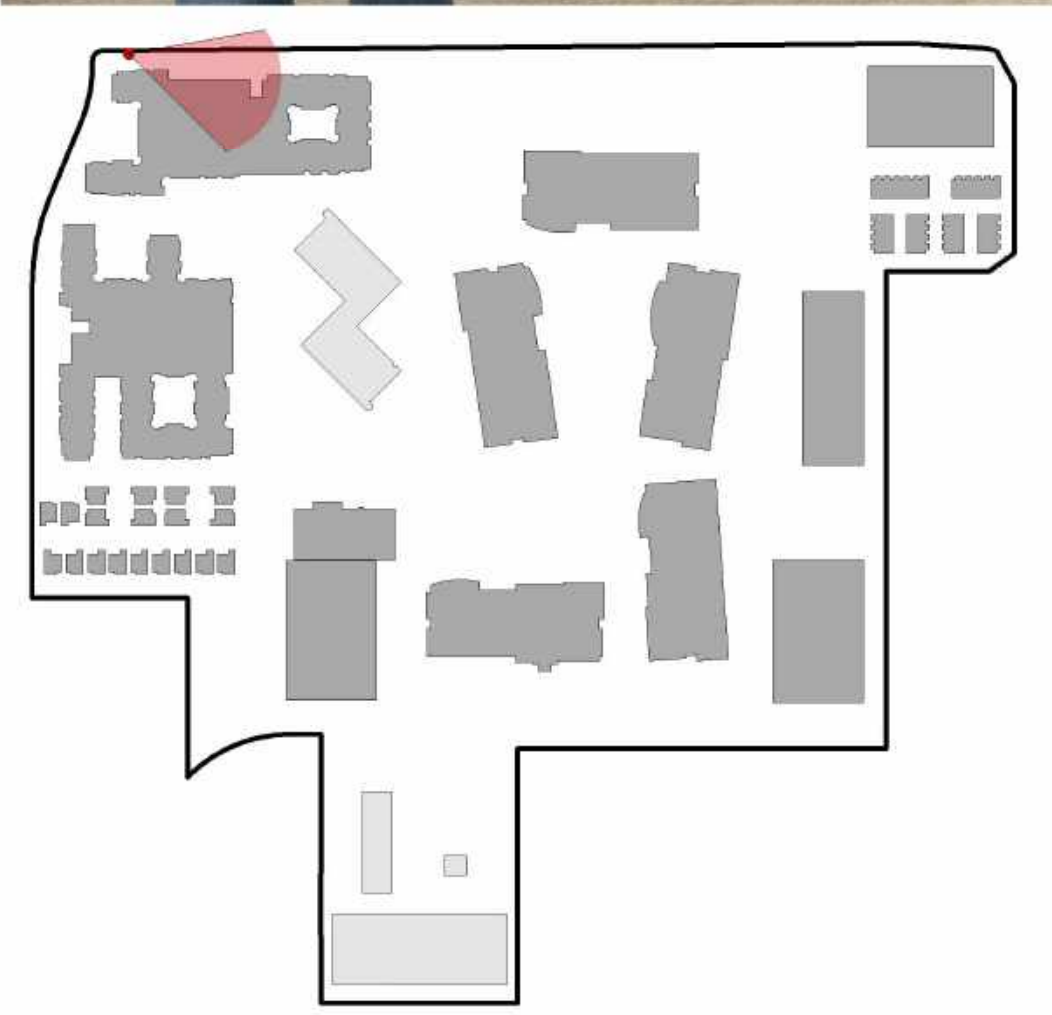


17 COMMUNITY FITNESS

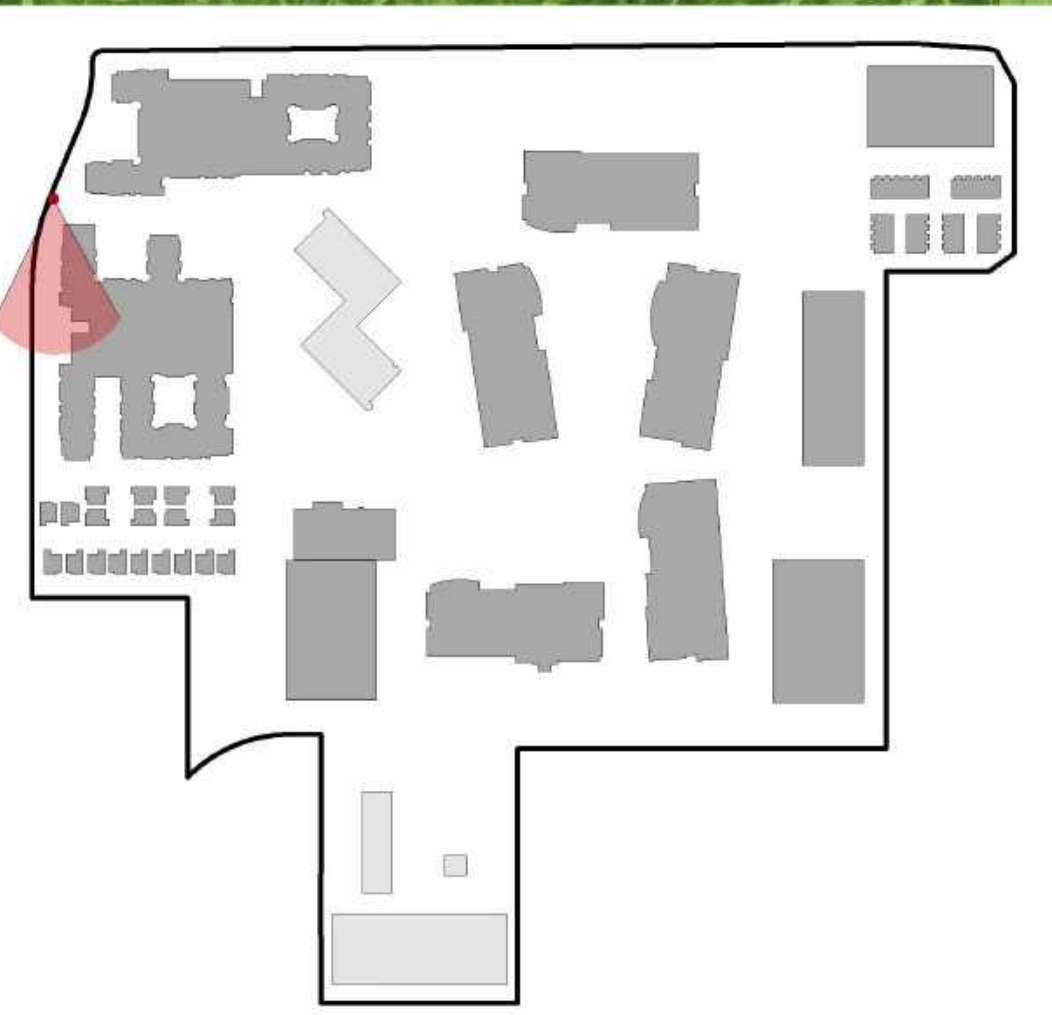


18 MOVIE NIGHT

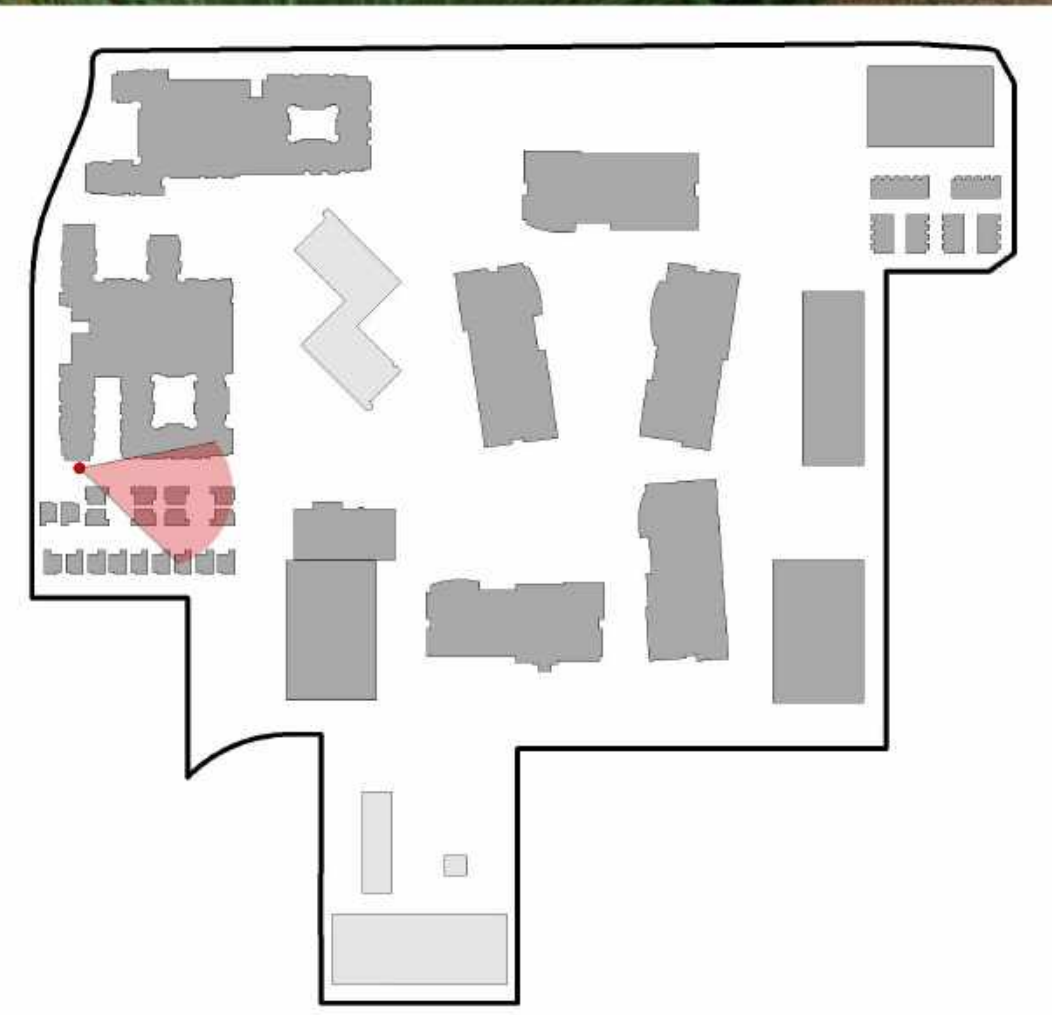
POTENTIAL AMENITY PROGRAMMING IMAGES ARE FOR ILLUSTRATIVE PURPOSES, ACTUAL AMENITY TYPE AND LOCATION WILL VARY



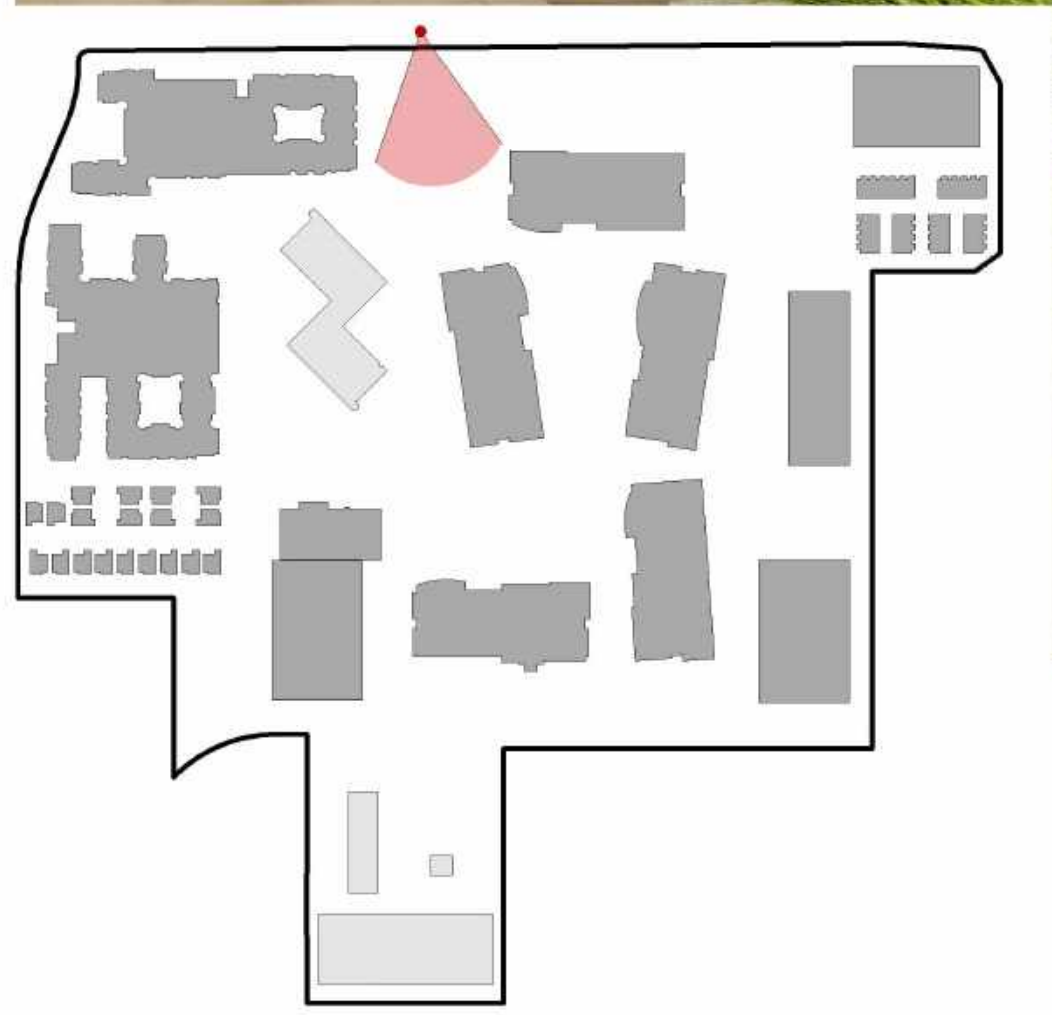
A PARKLET WITH SHARED BICYCLE AND PEDESTRIAN PATHS WILL STRETCH ALONG THE PROJECT AT RAVENSWOOD AVENUE. ('RESIDENTIAL 1' SHOWN AT BACKGROUND)



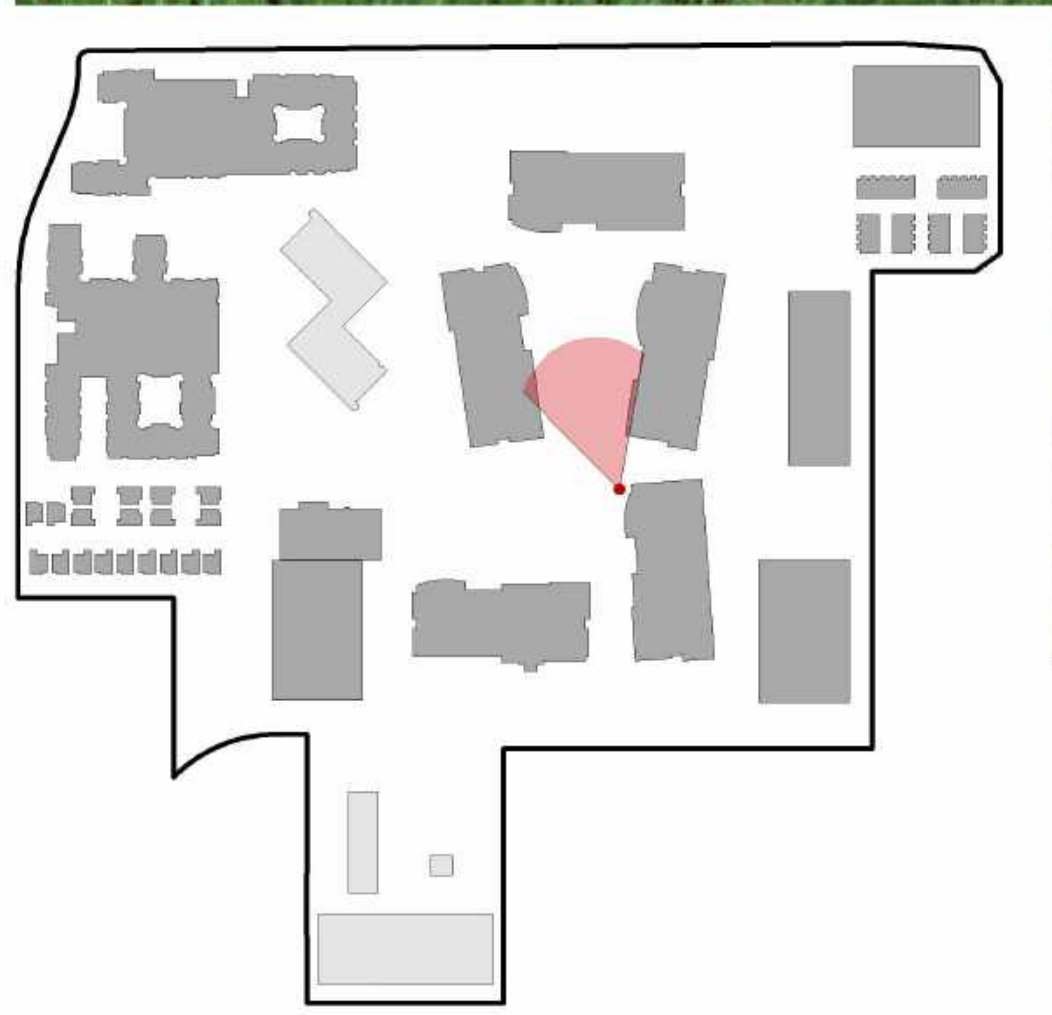
BICYCLES AND PEDESTRIANS TRAVEL ALONG LAUREL STREET WITH 'RESIDENTIAL 2' BUILDING AT LEFT.



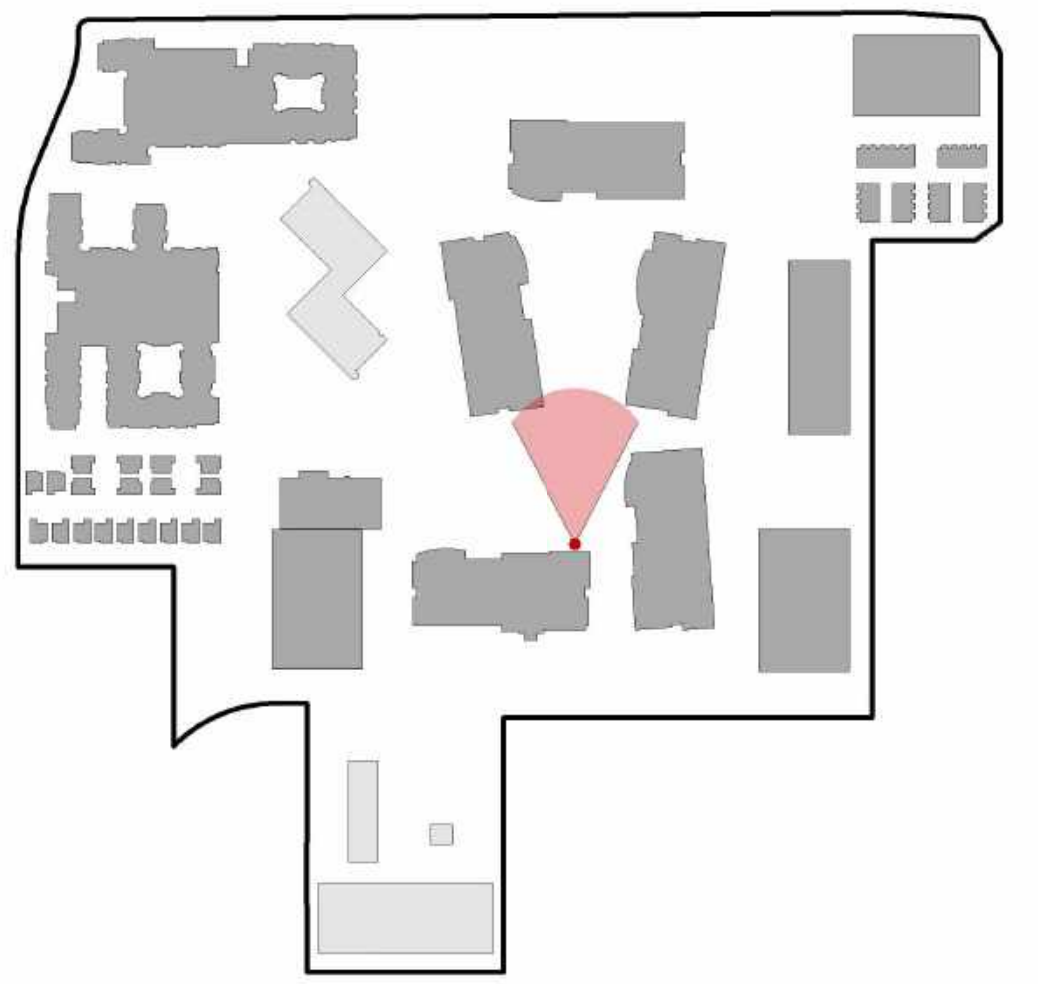
THE LAUREL STREET PEDESTRIAN CONNECTION, BETWEEN 'RESIDENTIAL 2' (LEFT) & 'TOWNHOMES 1' (RIGHT), PROVIDING ACCESS FROM LAUREL STREET TO THE PARKLINE COMMONS.



ONE OF TWO MAIN ENTRANCES TO PARKLINE ALONG RAVENSWOOD AVENUE, WITH 'OFFICE 1' (LEFT) AND 'OFFICE 5' (RIGHT) AT BACKGROUND.



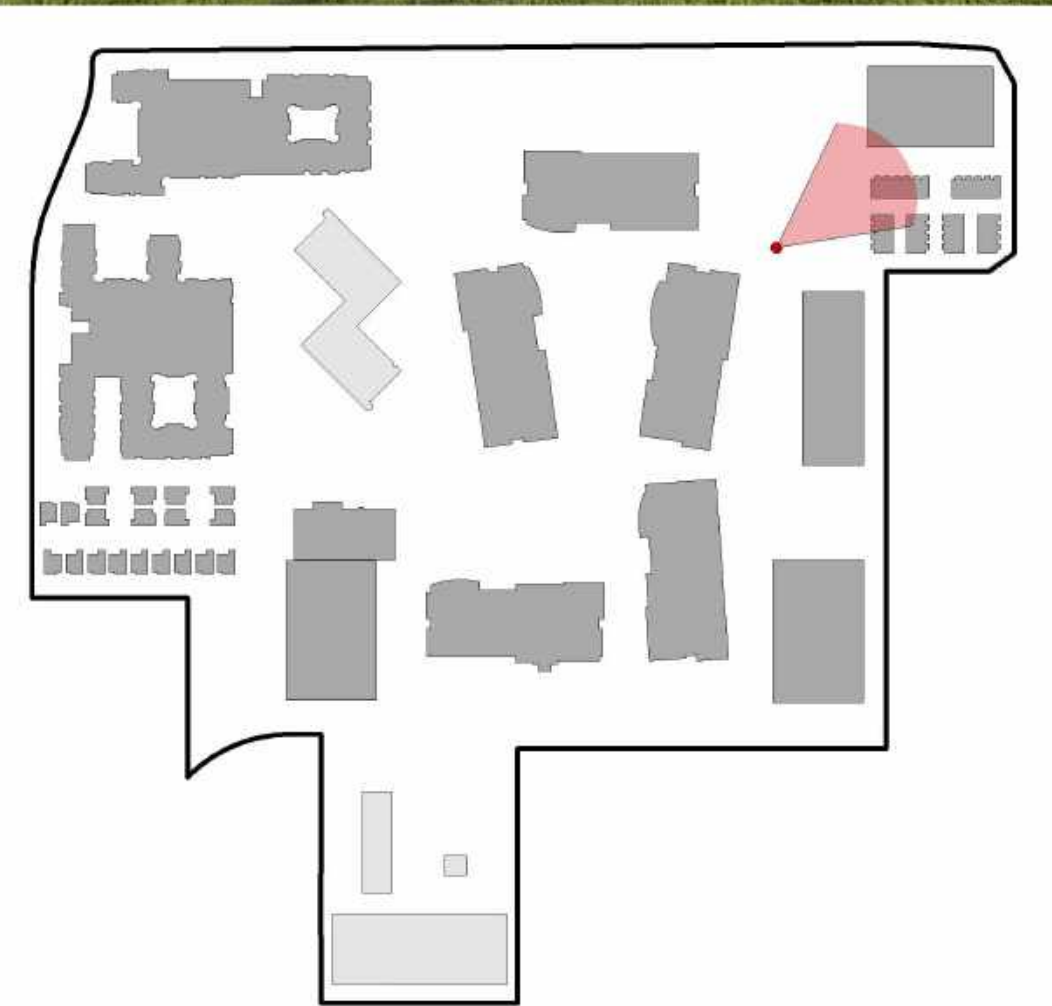
PARKLINE COMMONS, SURROUNDED WITH OFFICE/ R&D (FROM LEFT TO RIGHT - 'OFFICE 5' , 'OFFICE 1' , 'OFFICE 2').



PARKLINE COMMONS, LOOKING TOWARD THE NORTH, SURROUNDED WITH OFFICE/ R&D (FROM LEFT TO RIGHT - 'OFFICE 5', 'OFFICE 1', 'OFFICE 2', 'OFFICE 3').

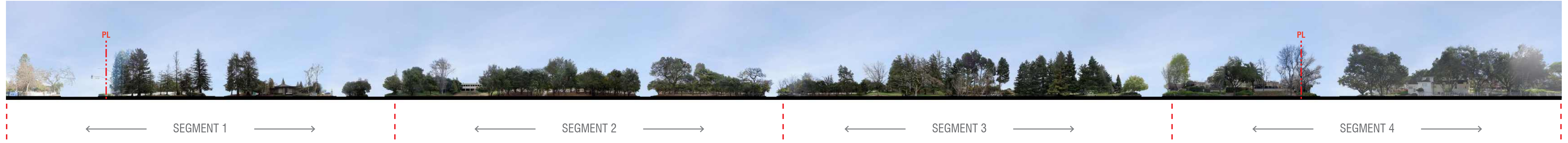


VIEW TOWARD "THE GREEN" IN THE PARKLINE COMMONS, WITH THE OFFICE AMENITY AT RIGHT, AND OFFICE/ R&D AT BACKGROUND (FROM LEFT TO RIGHT - 'OFFICE 5' , 'OFFICE 2' , 'OFFICE 3' , 'OFFICE 4').



PARKLINE RECREATIONAL AREA WITH '100% AFFORDABLE HOUSING - RESIDENTIAL 3' (LEFT) AND 'TOWNHOMES 2' (RIGHT) AT THE BACKGROUND

RAVENSWOOD AVENUE ELEVATION



SEGMENT 1



SEGMENT 2



RAVENSWOOD AVENUE ELEVATION



SEGMENT 3



SEGMENT 4



LAUREL STREET ELEVATION



SEGMENT 1



SEGMENT 2



SEGMENT 3



RAVENSWOOD AVENUE ELEVATION



SEGMENT 1



SEGMENT 2



RAVENSWOOD AVENUE ELEVATION



SEGMENT 3



SEGMENT 4



LAUREL STREET ELEVATION



SEGMENT 1

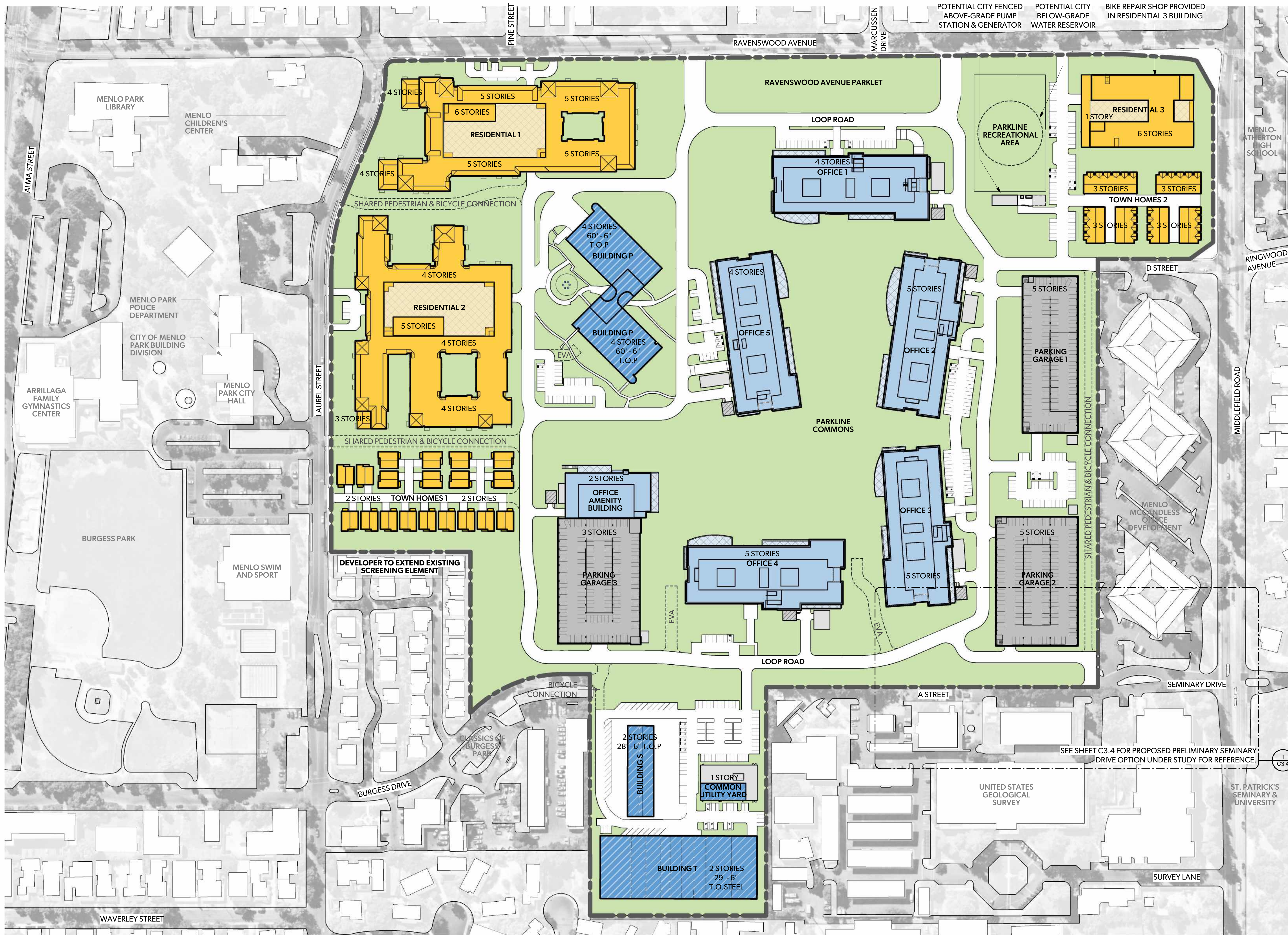


SEGMENT 2



SEGMENT 3



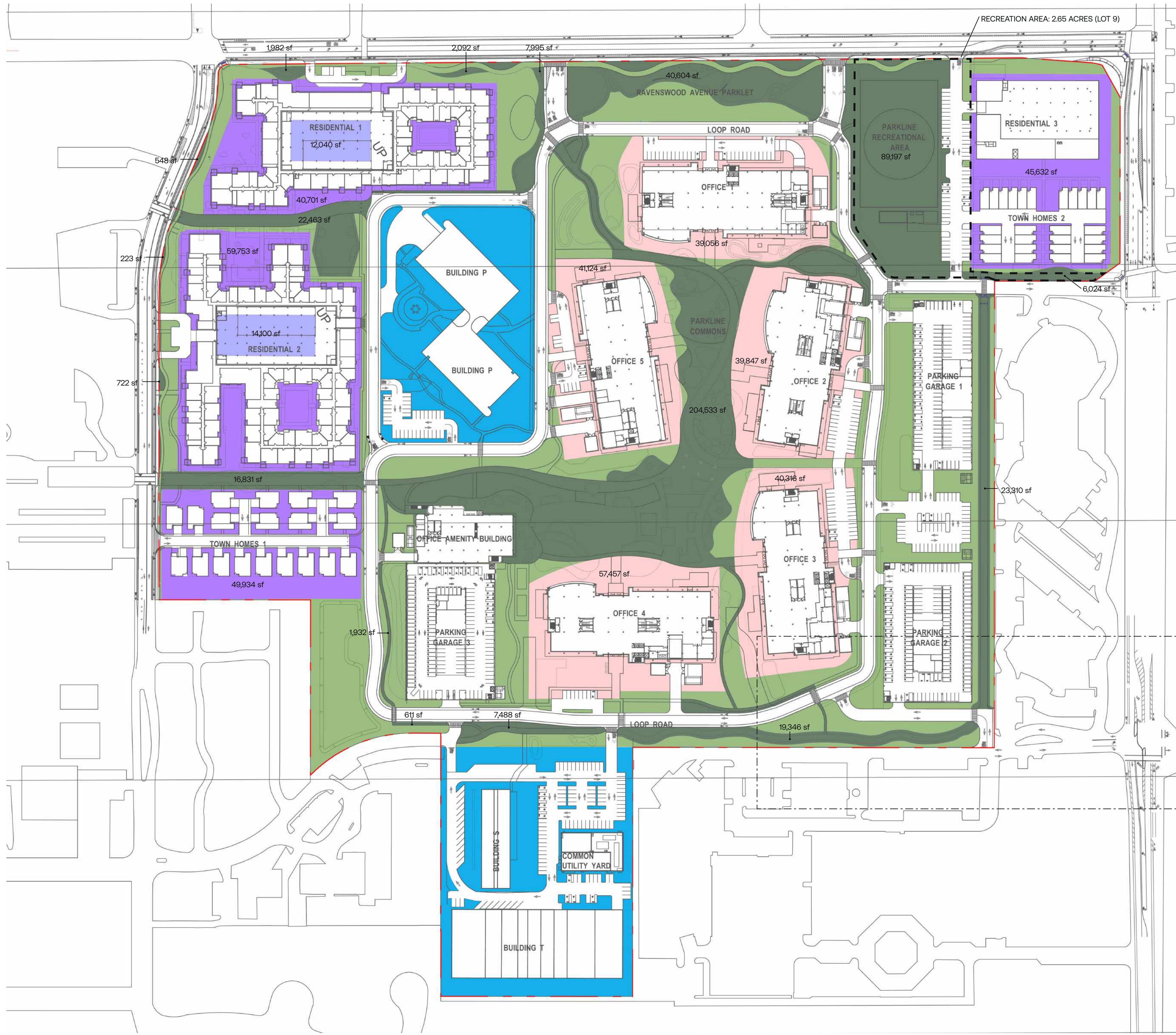


BUILDING HEIGHT	
BUILDING	APPROX. HEIGHT AT T.O. PARAPET (FT.), AS SHOWN
RESIDENTIAL 1	72'-0" (4-6 STORIES)
RESIDENTIAL 2	62'-0" (3-5 STORIES)
RESIDENTIAL 3	75'-0" (6 STORIES)
TOWN HOMES 1	35'-0" (2 STORIES)
TOWN HOMES 2	45'-0" (3 STORIES)
OFFICE 1	75'-0" (4 STORIES)
OFFICE 2	91'-0" (5 STORIES)
OFFICE 3	91'-0" (5 STORIES)
OFFICE 4	91'-0" (5 STORIES)
OFFICE 5	75'-0" (4 STORIES)
OFFICE AMENITY BUILDING	41'-0" (2 STORIES)
PARKING GARAGE 1*	65'-6" (5 STORIES)
PARKING GARAGE 2*	65'-6" (5 STORIES)
PARKING GARAGE 3*	44'-6" (3 STORIES)

- NOTES:
1. PROPOSED BUILDING HEIGHTS AS SHOWN ARE INTENDED TO PROVIDE AN ILLUSTRATIVE EXAMPLE. ACTUAL BUILDING HEIGHTS WOULD BE SUBJECT TO THE MAXIMUM HEIGHT LIMIT AND AVERAGE HEIGHT STANDARDS SPECIFIED BY ZONING AND THE CDP.
 2. PARKING GARAGE HEIGHTS ARE MEASURED TO TOP OF STAIR CORE.

LEGEND	
	RESIDENTIAL
	UPPER TERRACES
	OFFICE / R&D
	UPPER TERRACES
	PARKING GARAGE
	UTILITY YARD
	UTILITY & TRASH ENCLOSURE FOOTPRINT / ROOF
	EXISTING BUILDINGS

Scale: 1" = 100'-0"



OPEN SPACE LEGEND

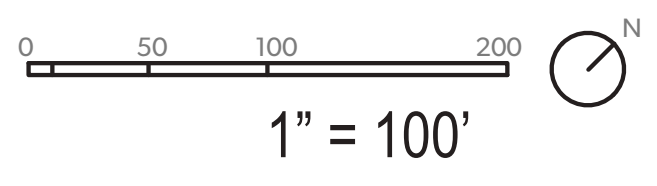
- EXISTING SRI OPEN SPACE
- PUBLICLY ACCESSIBLE OPEN SPACE (435,975 SF / 10 ACRES)
* MIN. REQUIRED = HALF OF 30% OF THE TOTAL SITE (64.23 AC X 30%)/2 = 9.64 ACRES, PER ZONING REQUIREMENT
** EXCLUDE PUBLIC PATHS ALONG LAUREL AND RAVENSWOOD PER CITY COMMENT
- OPEN SPACE (426,513 SF / 9.8 ACRES)
- PRIVATE OFFICE OPEN SPACE (217,800 SF / 5.0 ACRES)
- PRIVATE RESIDENTIAL OPEN SPACE, AT GRADE (196,020 SF, 4.5 ACRES)
- PRIVATE RESIDENTIAL OPEN SPACE, TERRACE (26,140 SF, .6 ACRES)
* EXCLUDES ABOVE-GRADE RESIDENTIAL AND COMMERCIAL BALCONIES

TOTAL PROPOSED NEW OPEN SPACE = 29.9 ACRES

TOTAL PROPOSED AT GRADE OPEN SPACE = 29.3 ACRES

FROM PROPOSED ZONING:
ALL DEVELOPMENT SHALL PROVIDE A MINIMUM AMOUNT OF OPEN SPACE EQUAL TO THIRTY PERCENT (30%) OF THE TOTAL LOT AREA, WITH A MINIMUM AMOUNT OF PUBLICLY ACCESSIBLE OPEN SPACE EQUAL TO FIFTY PERCENT (50%) OF THE TOTAL REQUIRED OPEN SPACE AREA.

NOTE:
SEE SHEET C3.4 FOR PROPOSED PRELIMINARY SEMINARY DRIVE OPTION UNDER STUDY FOR REFERENCE.



PUBLICLY ACCESSIBLE OPEN SPACE VS PRIVATE RESIDENTIAL OPEN SPACE EXAMPLE

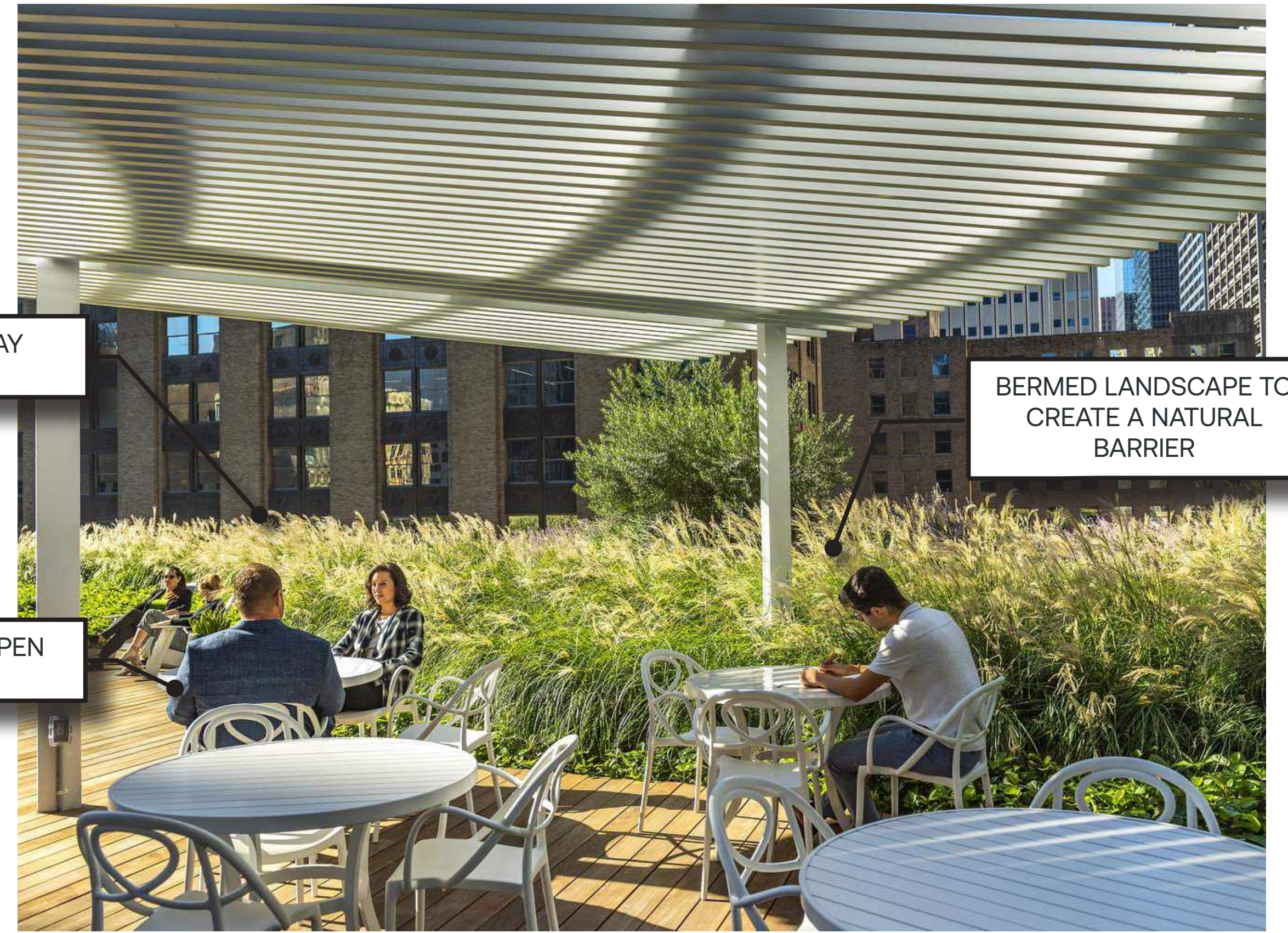


PRIVATE RESIDENTIAL OPEN SPACE

ALUMINUM FENCE WITH LANDSCAPING

PUBLICLY ACCESSIBLE OPEN SPACE

PUBLICLY ACCESSIBLE OPEN SPACE VS PRIVATE OFFICE OPEN SPACE EXAMPLE



PUBLIC WALKWAY (BEYOND)

PRIVATE OFFICE OPEN SPACE

BERMED LANDSCAPE TO CREATE A NATURAL BARRIER



PRIVATE RESIDENTIAL OPEN SPACE

STUCCO FENCE WITH LANDSCAPING

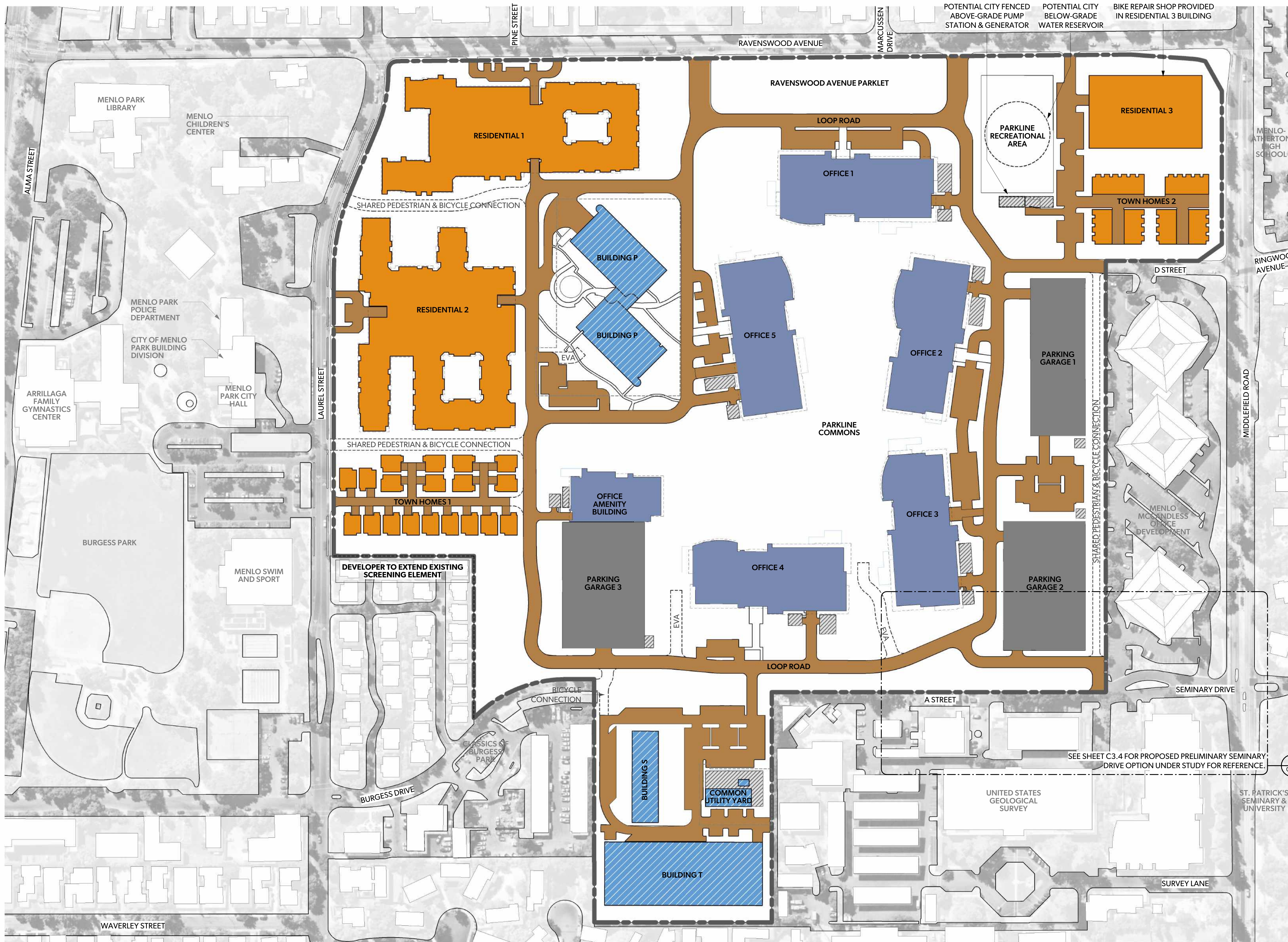
PUBLICLY ACCESSIBLE OPEN SPACE



PRIVATE OFFICE OPEN SPACE

LANDSCAPE TO CREATE A NATURAL BARRIER

PUBLICLY ACCESSIBLE OPEN SPACE



	FOOTPRINT (SF)	TOTAL (SF)
NEW RESIDENTIAL 1	120,000	370,000
NEW RESIDENTIAL 2	140,000	
NEW RESIDENTIAL 3	45,000	
NEW TOWN HOMES 1	35,000	
NEW TOWN HOMES 2	30,000	
TOTAL RESIDENTIAL		370,000

	FOOTPRINT (SF)	TOTAL (SF)
NEW OFFICE 1	52,000	281,970
NEW OFFICE 2	52,000	
NEW OFFICE 3	51,400	
NEW OFFICE 4	51,500	
NEW OFFICE 5	52,000	
NEW OFFICE AMENITY BUILDING	23,070	158,000
NEW PARKING GARAGE 1	46,500	
NEW PARKING GARAGE 2	56,500	
NEW PARKING GARAGE 3	55,000	108,030
EXISTING BUILDING P	42,446	
EXISTING BUILDING S	12,599	
EXISTING BUILDING T	52,985	
SUB-TOTAL OFFICE BUILDINGS		390,000
TOTAL OFFICE / R&D + PARKING		548,000

TOTAL BUILDING COVERAGE *	918,000
TOTAL SITE AREA	2,797,797
TOTAL BUILDING COVERAGE % *	33%

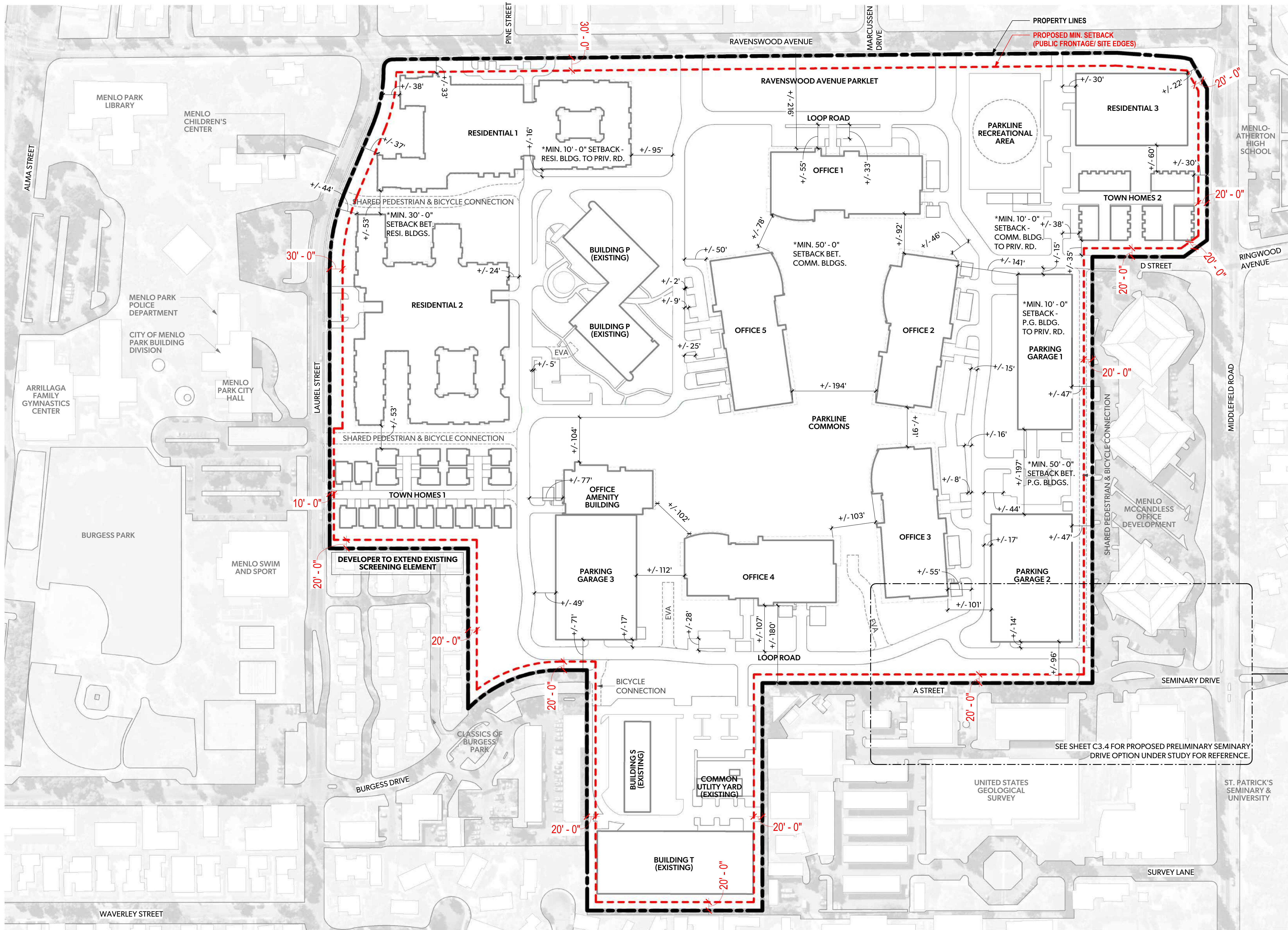
OTHERS *		
(N) PUMP STATION	1,500	1,500
(E) COMMON UTILITY YARD	4,200	4,200

- NOTES:
- PROPOSED BUILDING COVERAGE IS CONCEPTUAL AND MAY BE SUBJECT TO CHANGE.
 - ENCLOSED UTILITY AND TRASH AREA IS BELOW 3% OF BUILDING AREA AND HAS BEEN EXCLUDED FROM THE CALCULATION / TABULATION ABOVE.
- * PUMP STATION AND COMMON UTILITY YARD ARE NOT INCLUDED IN TOTAL BUILDING COVERAGE CALCULATION.

LEGEND

- BUILDING COVERAGE - RESIDENTIAL
- BUILDING COVERAGE - OFFICE / R&D
- BUILDING COVERAGE - EXISTING OFFICE / R&D TO REMAIN
- BUILDING COVERAGE - PARKING GARAGES
- UTILITY YARD
- PAVING FOR VEHICLES

Scale: 1" = 100' -0"

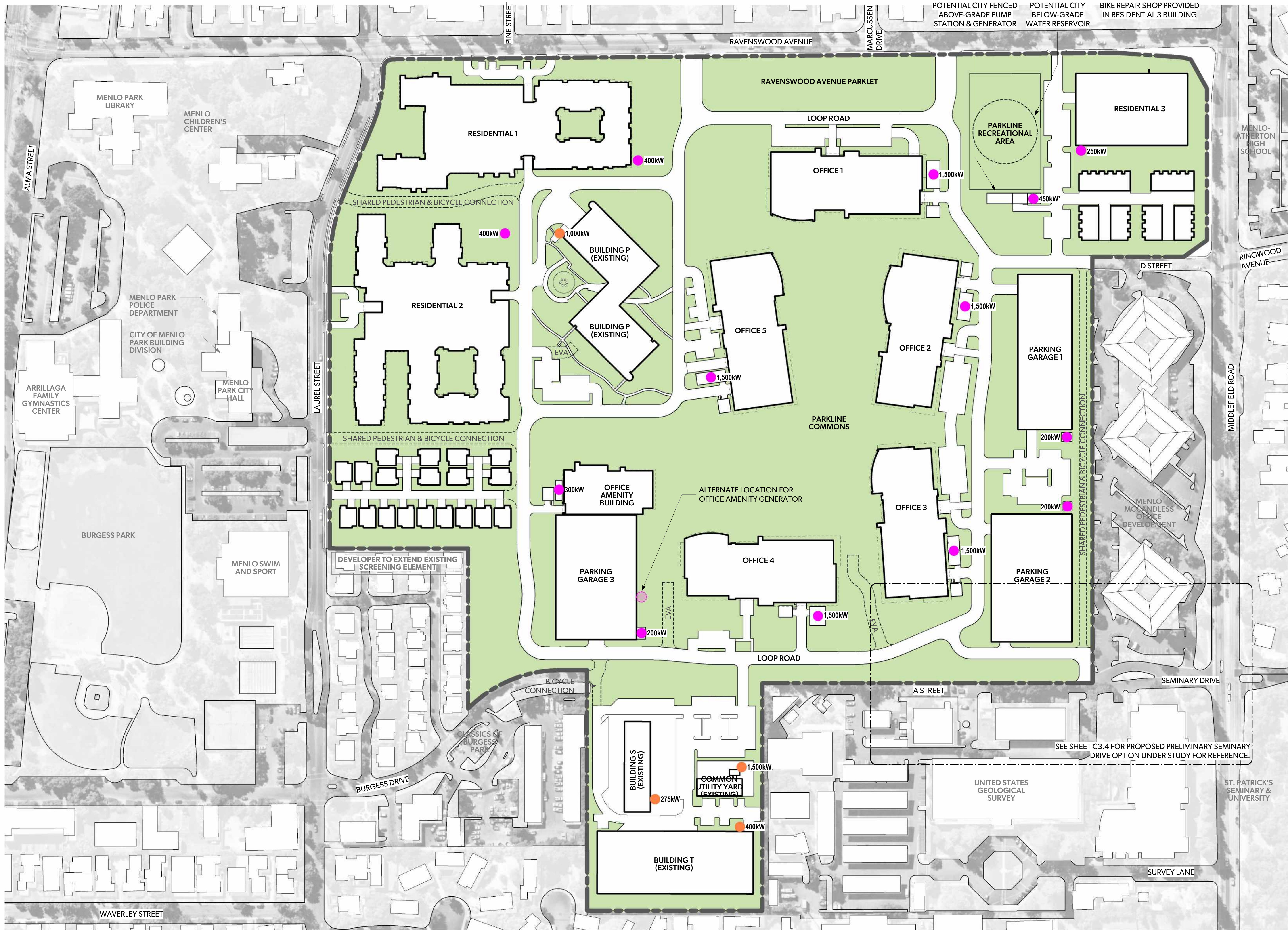


1
C3.4

SEE SHEET C3.4 FOR PROPOSED PRELIMINARY SEMINARY DRIVE OPTION UNDER STUDY FOR REFERENCE.

- NOTE:
- SEE DESIGN STANDARD FOR MORE INFORMATION ON SETBACKS REQUIREMENTS.

Scale: 1" = 100'-0"



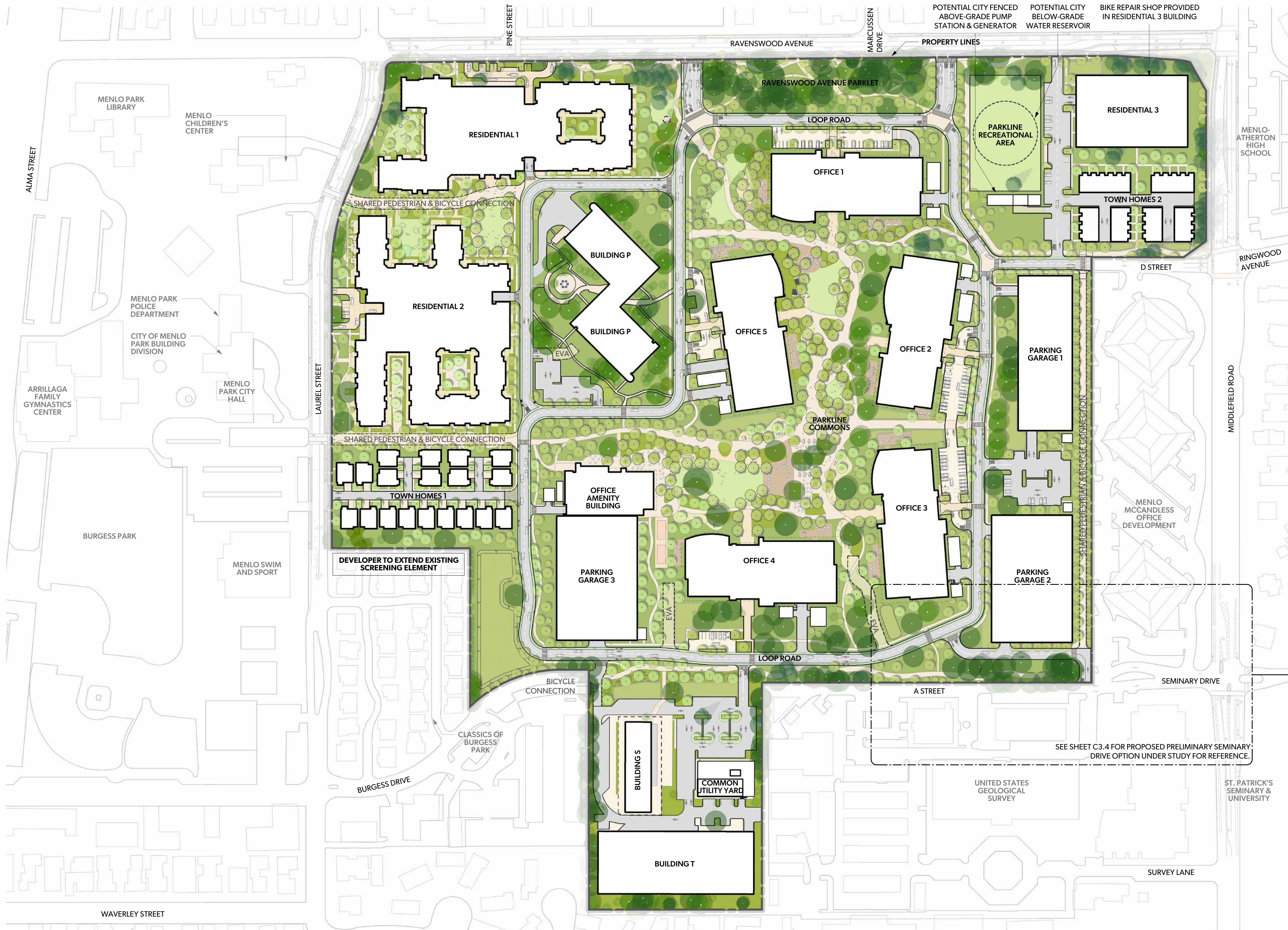
LEGEND

● ###kW	NEW EMERGENCY GENERATORS (SIZE)
● ###kW	EXISTING SRI EMERGENCY GENERATORS (SIZE)

- NOTES:**
- EMERGENCY GENERATOR LOCATIONS ARE PRELIMINARY. CITY ENGINEER TO CONFIRM GENERATOR LOCATION AND SIZING AT PUMP STATION.

1
C3.4

Scale: 1" = 100' -0"

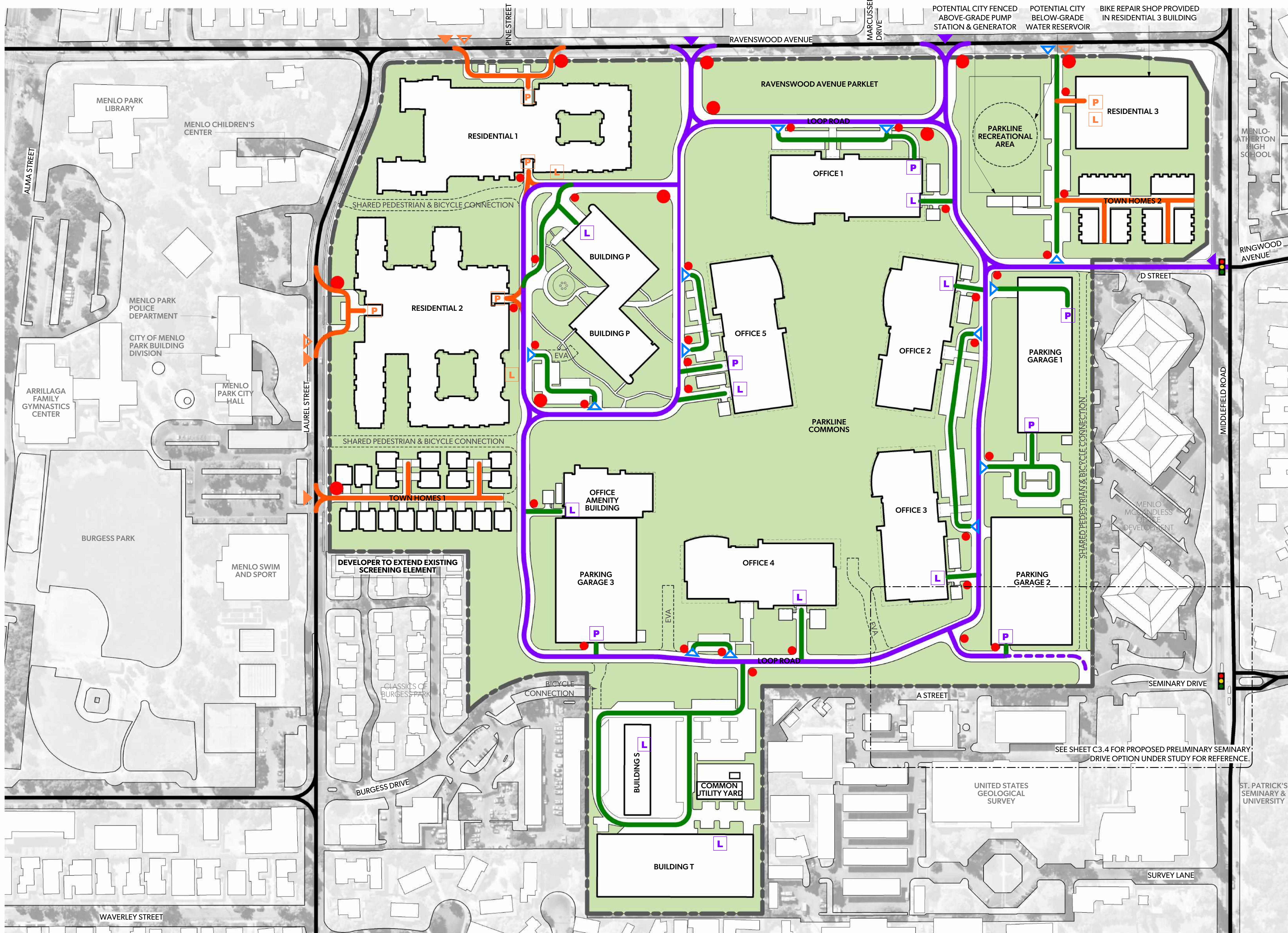


- NOTES:
- REFER TO SHEET:
 - G4.01 FOR CONCEPTUAL VEHICULAR CIRCULATION AND SITE ACCESS
 - G4.02 FOR CONCEPTUAL PARKING PLAN
 - G4.05 FOR CONCEPTUAL BICYCLE CIRCULATION
 - G4.06 FOR CONCEPTUAL PEDESTRIAN CIRCULATION

1
C3.4

SEE SHEET C3.4 FOR PROPOSED PRELIMINARY SEMINARY DRIVE OPTION UNDER STUDY FOR REFERENCE.

Scale: 1" = 100' -0"



LEGEND

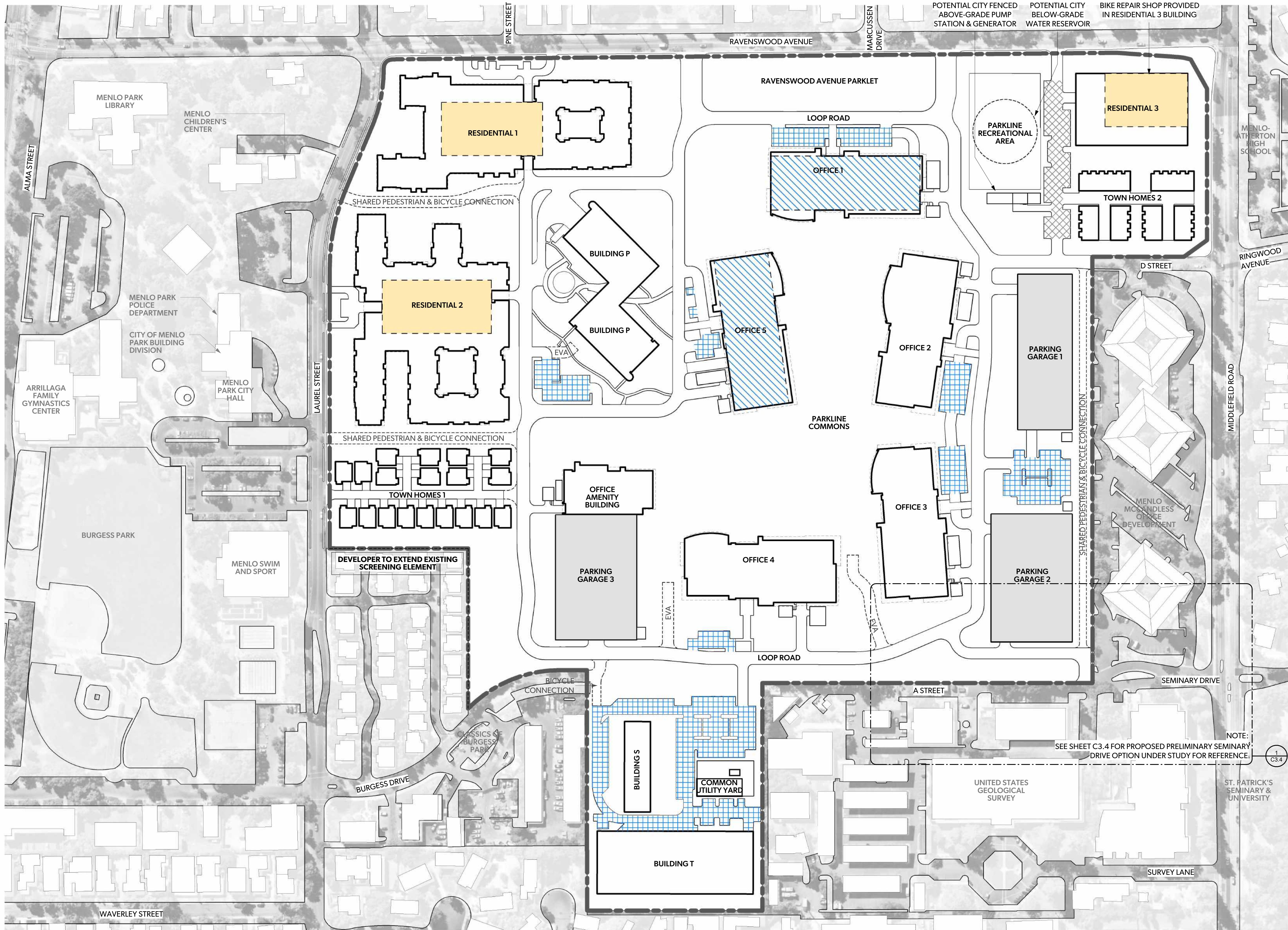
- EXISTING
- OFFICE / R&D / OTHER VEHICULAR ROUTE
- SEMINARY DRIVE CONNECTION DESIGN UNDER STUDY
- OFFICE / R&D / OTHER PARKING ROUTE
- RESIDENTIAL PARKING ROUTE
- ▲ OFFICE / R&D MAIN ENTRY
- ▲ RESIDENTIAL MAIN ENTRY
- ▲ OFFICE / R&D PASSENGER DROP-OFF / RIDESHARE / DELIVERY / SHORT-TERM PARKING ENTRY *
- ▲ RESIDENTIAL PASSENGER DROP-OFF / RIDESHARE / DELIVERY / SHORT-TERM PARKING ENTRY *
- L OFFICE / R&D LOADING DOCK
- L RESIDENTIAL SERVICE LOADING **
- P OFFICE / R&D STRUCTURED PARKING ENTRANCE
- P RESIDENTIAL PARKING ENTRANCE
- STOP SIGN
- ⬇ TRAFFIC LIGHT

- NOTES:**
1. SEE C5.0 FOR EMERGENCY VEHICLE ACCESS PLAN.
 2. SEE CIVIL AND LANDSCAPE DRAWINGS FOR PAVING INFORMATION.
- * PROPOSED WIDTHS MINIMUMS:
- PROPOSED WIDTHS OF THE PASSENGER LOADING / DROP-OFF TO BE MINIMUM 8'-0" (+ 5'-0" HATCH ZONE FOR ACCESSIBLE) X 20'-0".
 - PROPOSED WIDTHS FOR PARKING ENTRIES TO BE MINIMUM 12'-0" FOR ONE-WAY DRIVEWAY, AND MINIMUM 24'-0" FOR TWO-WAY DRIVEWAY.
- ** PROPOSED MINIMUM 10' X 50' TURNOUT SPACE BY LOOP ROAD, FOR RESIDENTIAL SERVICE LOADING, I.E. MOVE-IN/ MOVE-OUT.

SEE SHEET C3.4 FOR PROPOSED PRELIMINARY SEMINARY DRIVE OPTION UNDER STUDY FOR REFERENCE.

1
C3.4

Scale: 1" = 100' -0"



PARKING SPACES	
RESIDENTIAL (BASED ON 800 DUs)	
BUILDING	PROPOSED (MIN.)
RESIDENTIAL 1	375
RESIDENTIAL 2	375
RESIDENTIAL 3	77*
TOWN HOMES 1	38 (2 SPACES PER UNIT)
TOWN HOMES 2	54 (2 SPACES PER UNIT)
SURFACE PARKING	0
TOTAL RESIDENTIAL PARKING	919

* UP TO 116 ADDITIONAL SHARED SPACES MAY BE AVAILABLE IN PARKING GARAGE 1.

OFFICE / R&D (BASED ON 1,380,332 SF)	
BUILDING	PROPOSED (MIN.)
PARKING GARAGE 1	850
PARKING GARAGE 2	835
PARKING GARAGE 3	645
TOTAL STRUCTURED PARKING	2,330
STRUCTURED PARKING	2,330
OFFICE BASEMENT PARKING	180
SURFACE PARKING	290
TOTAL OFFICE / R&D PARKING	2,800
TOTAL PARKING	3,719

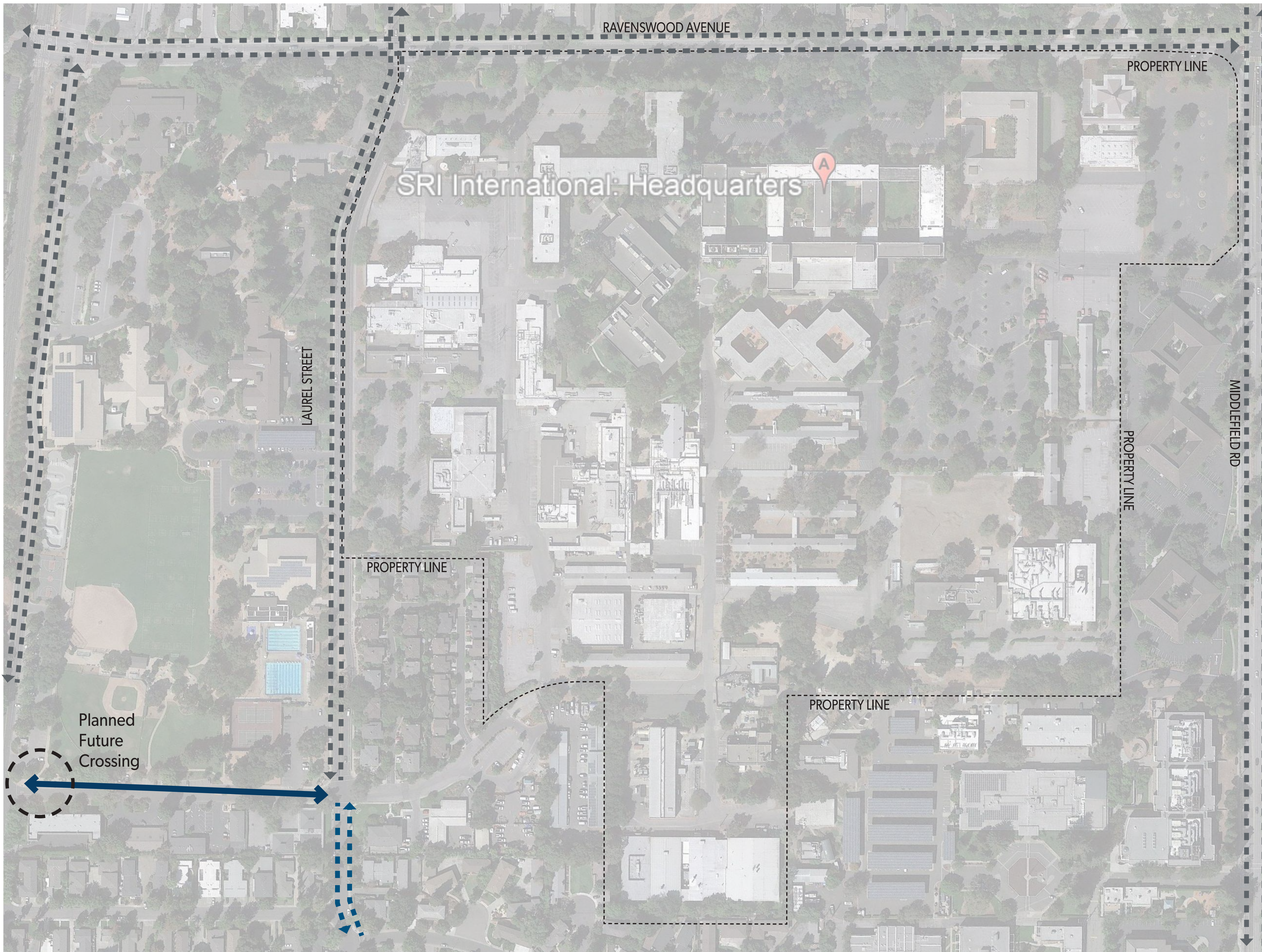
- NOTES:
- PROPOSED PARKING DISTRIBUTION IS CONCEPTUAL AND MAY BE SUBJECT TO CHANGE.
 - PARKING RATIO IS AS FOLLOWS:
 - OFFICE / R&D: 2 SPACES / 1,000 SF
 - RESIDENTIAL (EXCL. RESIDENTIAL 3): 1.25 SPACE / DU
 - RESIDENTIAL 3: 0.5 SPACE / DU (+ ADD'L SHARED PARKING AT 1.25)
 - TOWN HOMES: 2.0 SPACE / DU

LEGEND	
	RESIDENTIAL PODIUM PARKING
	OFFICE / R&D BELOW GRADE PARKING
	OFFICE / R&D SURFACE PARKING
	PARKING GARAGE
	OTHER SURFACE PARKING

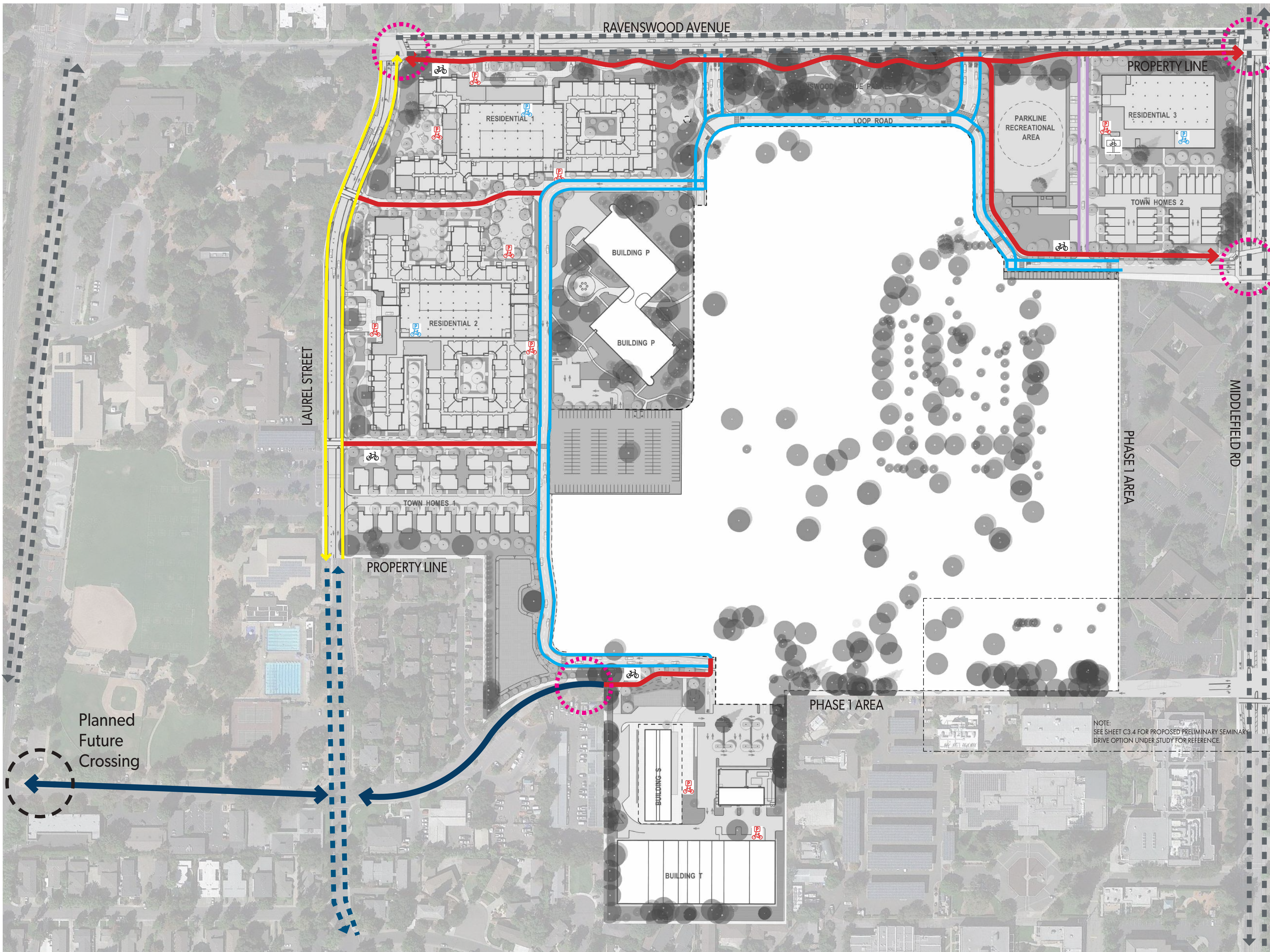
NOTE: SEE SHEET C3.4 FOR PROPOSED PRELIMINARY SEMINARY DRIVE OPTION UNDER STUDY FOR REFERENCE.

C3.4

Scale: 1" = 100' -0"



- LEGEND**
- ➡️ PLANNED FUTURE CROSSING - SEPARATE CITY IMPROVEMENT PROJECT NOT PART OF PARKLINE
 - ⚡️ EXISTING CLASS II BIKE LANES
 - ⚡️ EXISTING CLASS III BIKE LANES ("SHARROW")



LEGEND

- PROPOSED CLASS I - SHARED USE PATH - SHARED USE PATH IS FOR BOTH PEDESTRIAN AND BICYCLE (INTERNAL)
- PROPOSED CLASS II (LOOP ROAD - OFFICE AND RESIDENTIAL, EXTENDS OFF-SITE ON BURGESS)
- PROPOSED CLASS III (RESIDENTIAL 3 / RECREATION AREA)
- PROPOSED CLASS IV - SEPARATED BIKE LANE - LANE FROM RAVENSWOOD TO BURGESS PARK (CONVERT EXISTING CLASS II BIKELANE ON LAUREL TO CLASS IV)
- - - PLANNED FUTURE CROSSING - SEPARATE CITY IMPROVEMENT PROJECT (UNDER STUDY), NOT PART OF PARKLINE
- - - EXISTING CLASS II BIKE LANES
- - - EXISTING CLASS III BIKE LAKES ("SHARROW")
- - - PROPOSED CONNECTION TO EXISTING BICYCLE NETWORK, UNDER STUDY

 BICYCLE MAINTENANCE SERVICES



 BICYCLE REPAIR STATION



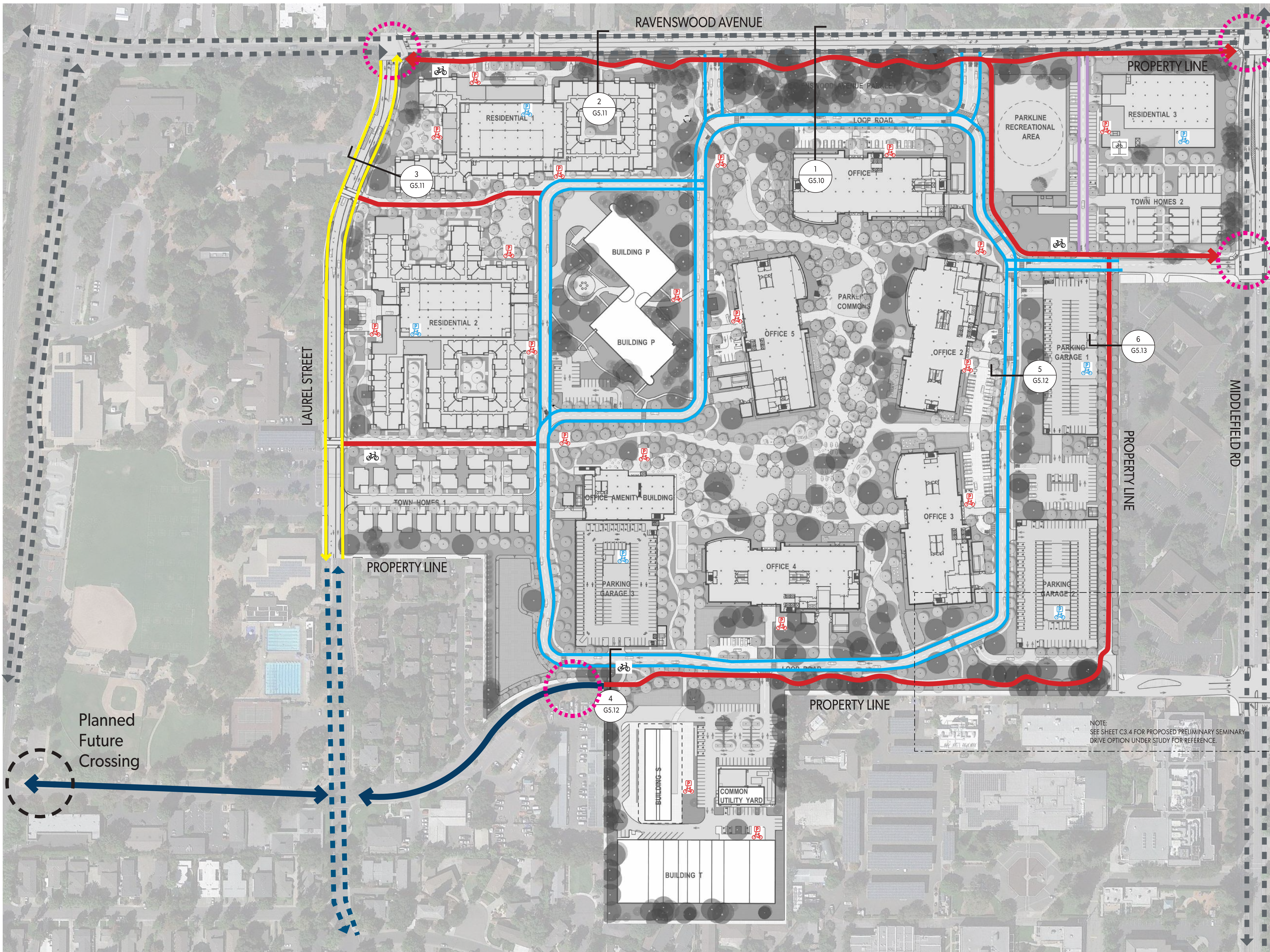
 LONG TERM BICYCLE PARKING



 SHORT TERM BICYCLE PARKING



NOTE: SEE SHEET C3.4 FOR PROPOSED PRELIMINARY SEMINARY DRIVE OPTION UNDER STUDY FOR REFERENCE.



LEGEND

- PROPOSED CLASS I - SHARED USE PATH - SHARED USE PATH IS FOR BOTH PEDESTRIAN AND BICYCLE* (INTERNAL)
- PROPOSED CLASS II** (LOOP ROAD - OFFICE AND RESIDENTIAL, EXTENDS OFF-SITE ON BURGESS)
- PROPOSED CLASS III** (RESIDENTIAL 3 / RECREATION AREA)
- PROPOSED CLASS IV - SEPARATED BIKE LANE - LANE FROM RAVENSWOOD TO BURGESS PARK** (CONVERT EXISTING CLASS II BIKELANE ON LAUREL TO CLASS IV)
- - - PLANNED FUTURE CROSSING - SEPARATE CITY IMPROVEMENT PROJECT (UNDER STUDY), NOT PART OF PARKLINE
- - - EXISTING CLASS II BIKE LANES
- - - EXISTING CLASS III BIKE LAKES ("SHARROW")
- ⊙ PROPOSED CONNECTION TO EXISTING BICYCLE NETWORK, UNDER STUDY

 BICYCLE MAINTENANCE SERVICES



 BICYCLE REPAIR STATION



OFFICE/R&D BICYCLE PARKING:
 • 1,378,330 SF. OFFICE / 5,000 SF. = 276 BICYCLES
 • 80% OF 276 = 221 LONG TERM BICYCLE PARKING AND 55 SHORT TERM BICYCLE PARKING

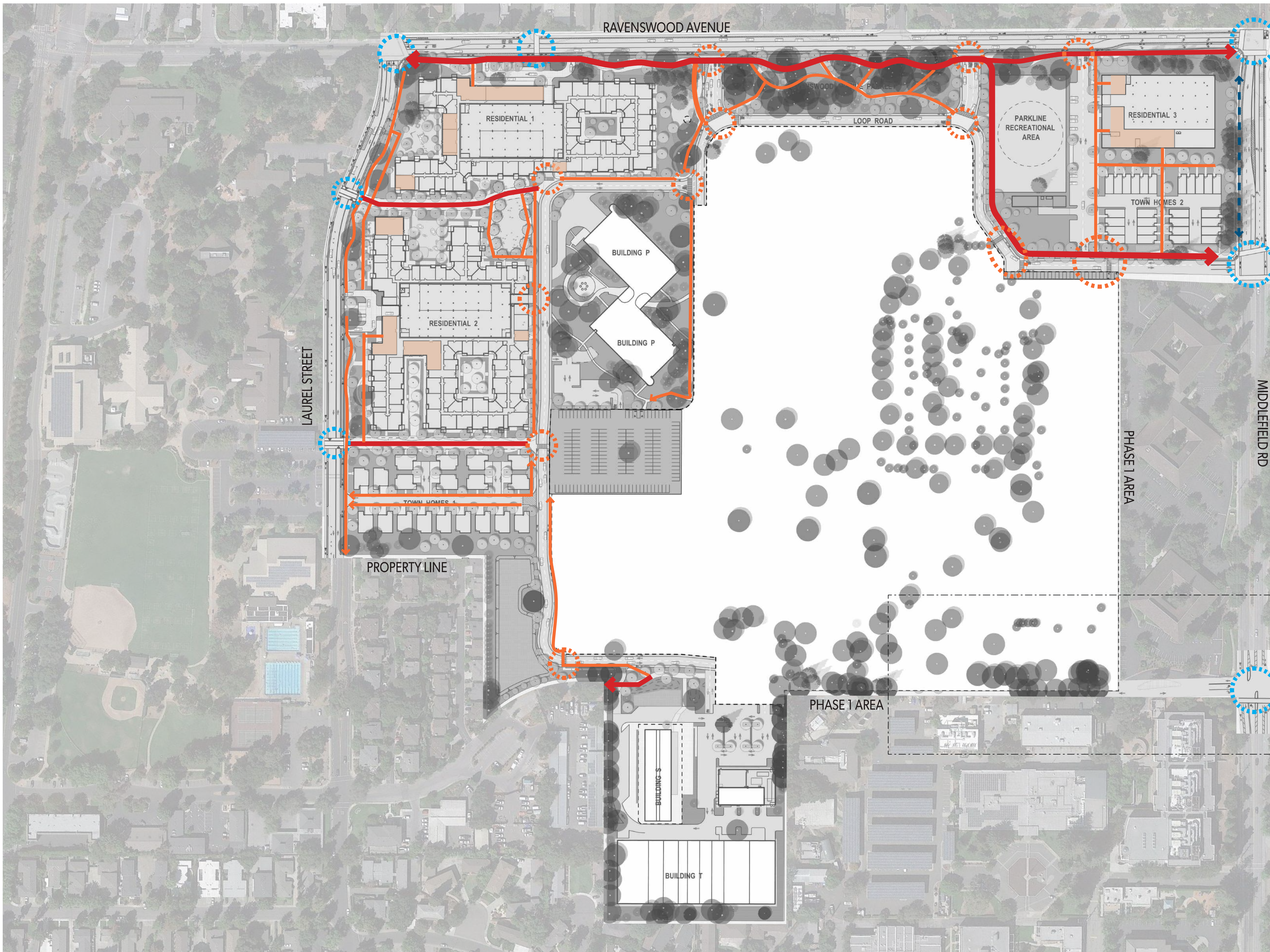
 LONG TERM BICYCLE PARKING

 SHORT TERM BICYCLE PARKING

RESIDENTIAL BICYCLE PARKING FOR MULTI-FAMILY BUILDINGS:
 • 1.5 SPACES PER UNIT = 900 BICYCLES (R1, R2)
 • 1.25 SPACES PER UNIT = 193 BICYCLE (R3)
 • 10% OF 1093 = 110 SHORT-TERM BICYCLE PARKING AND 1093 LONG TERM BICYCLE PARKING, 1203 TOTAL SPACES

*Proposed shared use path to be pour-in-place concrete
 **Proposed class II, III and IV bicycle paths to be asphalt

NOTE: SEE SHEET C3.4 FOR PROPOSED PRELIMINARY SEMINARY DRIVE OPTION UNDER STUDY FOR REFERENCE



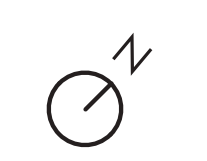
LEGEND

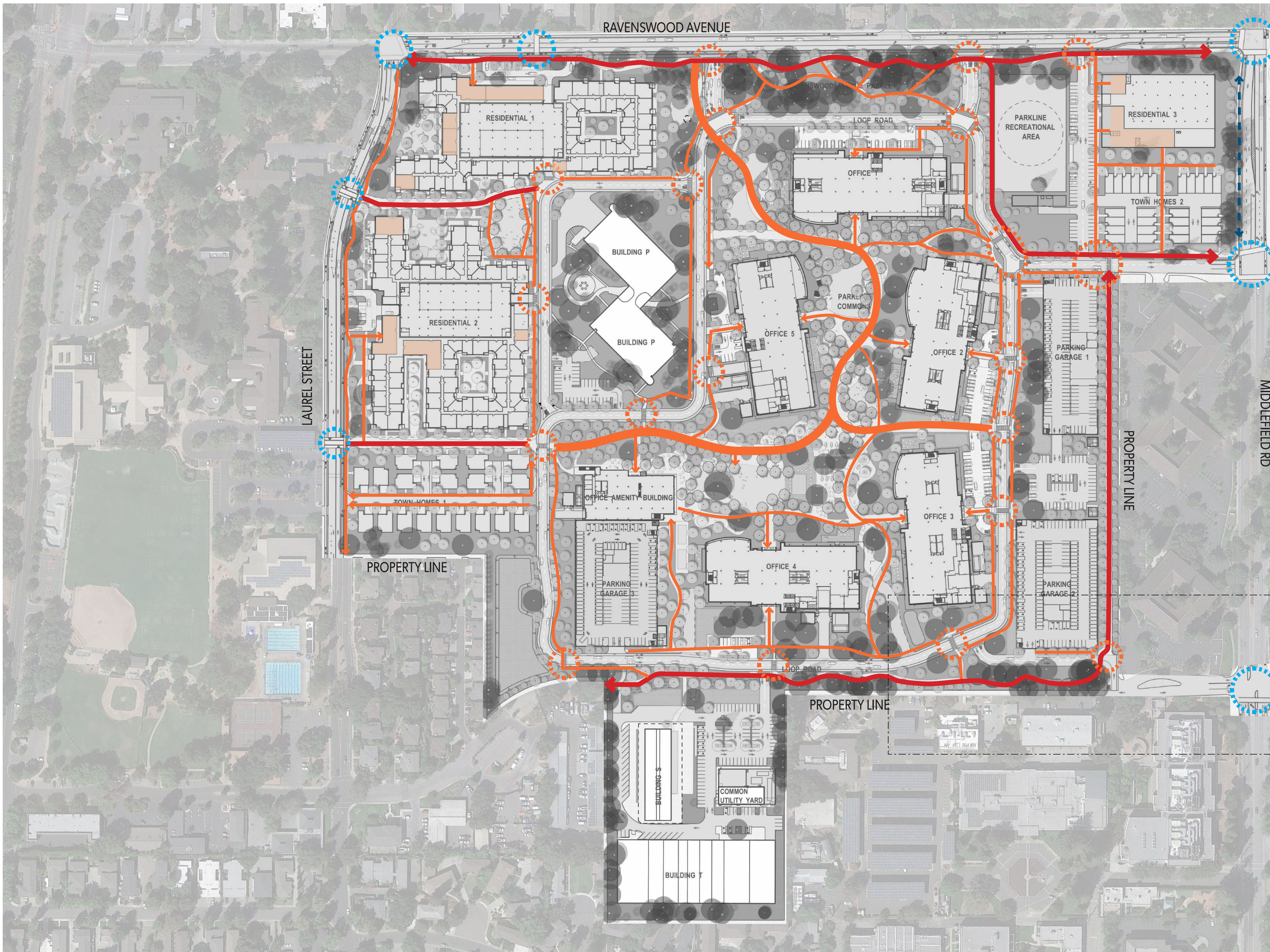
- PROPOSED CLASS I - SHARED USE PATH - SHARED USE PATH IS FOR BOTH PEDESTRIAN AND BICYCLE* (INTERNAL)
- PROPOSED PRIMARY PEDESTRIAN CIRCULATION*
- PROPOSED SECONDARY PEDESTRIAN CIRCULATION*
- EXISTING PEDESTRIAN CIRCULATION
- PEDESTRIAN CROSSWALK - ON-SITE
- PEDESTRIAN CROSSWALK - OFF-SITE
- RESIDENTIAL BUILDING LOBBY/AMENITY

*Proposed pedestrian and shared use path to be pour-in-place concrete

1
C3.4

NOTE:
1 SEE SHEET C3.4 FOR PROPOSED PRELIMINARY SEMINARY DRIVE OPTION UNDER STUDY FOR REFERENCE.





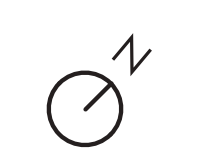
LEGEND

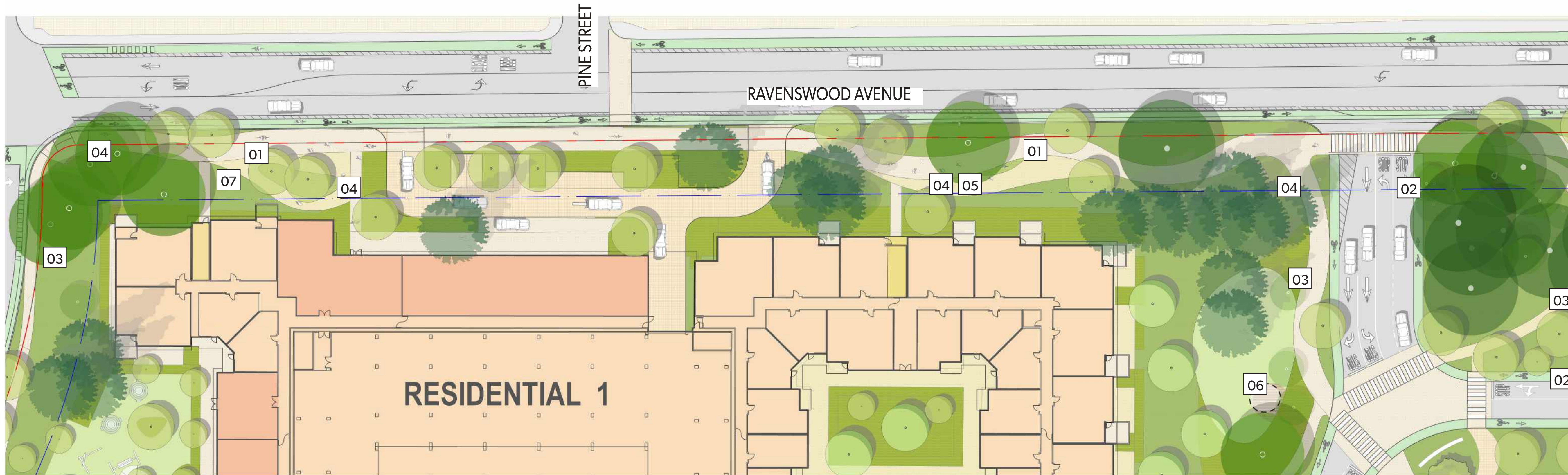
- PROPOSED CLASS I - SHARED USE PATH - SHARED USE PATH IS FOR BOTH PEDESTRIAN AND BICYCLE* (INTERNAL)
- PROPOSED PRIMARY PEDESTRIAN CIRCULATION*
- PROPOSED SECONDARY PEDESTRIAN CIRCULATION*
- EXISTING PEDESTRIAN CIRCULATION
- PEDESTRIAN CROSSWALK - ON-SITE
- PEDESTRIAN CROSSWALK - OFF-SITE
- RESIDENTIAL BUILDING LOBBY/AMENITY

*Proposed pedestrian and shared use path to be pour-in-place concrete

1
C3.4

NOTE:
1 SEE SHEET C3.4 FOR PROPOSED PRELIMINARY SEMINARY DRIVE OPTION UNDER STUDY FOR REFERENCE.





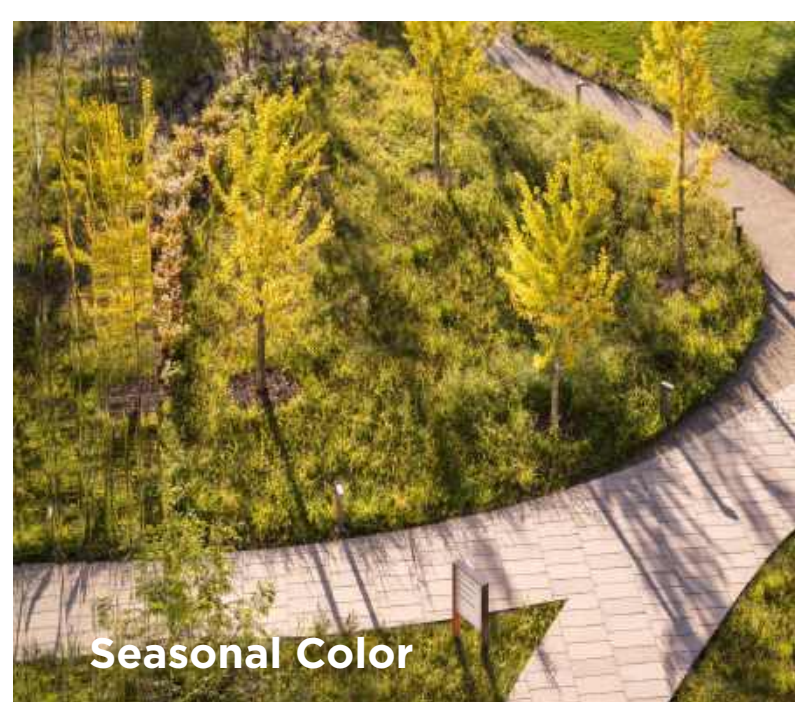
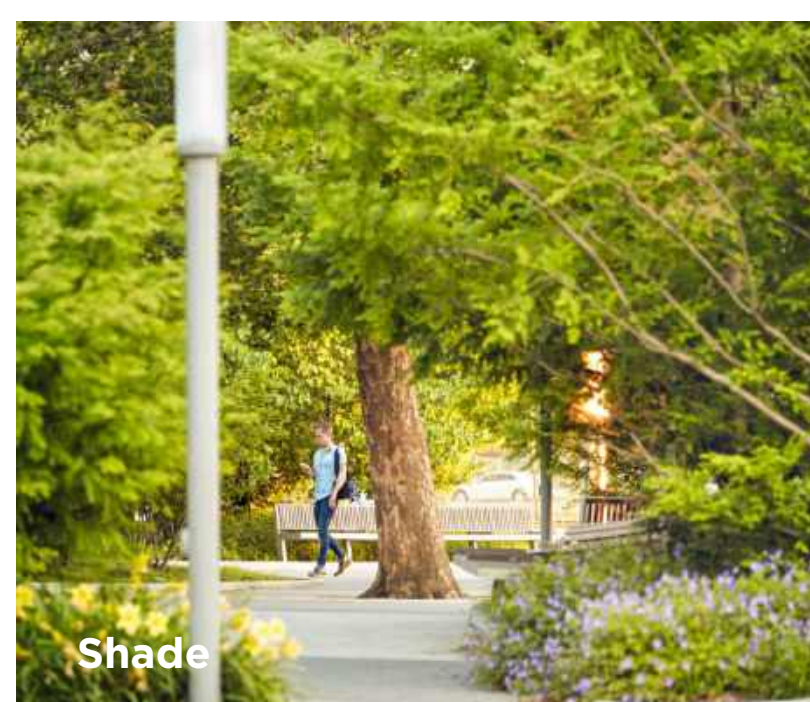
LEGEND

- 01 CLASS I - SHARED USE PATH
- 02 CLASS II - ON STREET BIKE LANE
- 03 PEDESTRIAN ONLY PATH
- 04 BENCH SEATING
- 05 EXERCISE STATION
- 06 BBQ/PICNIC AREA
- 07 BIKE REPAIR STATION



KEY PLAN

1 RAVENSWOOD AVENUE PARKLET WEST ENLARGEMENT



0 15 30 75
SCALE : 1" = 30'

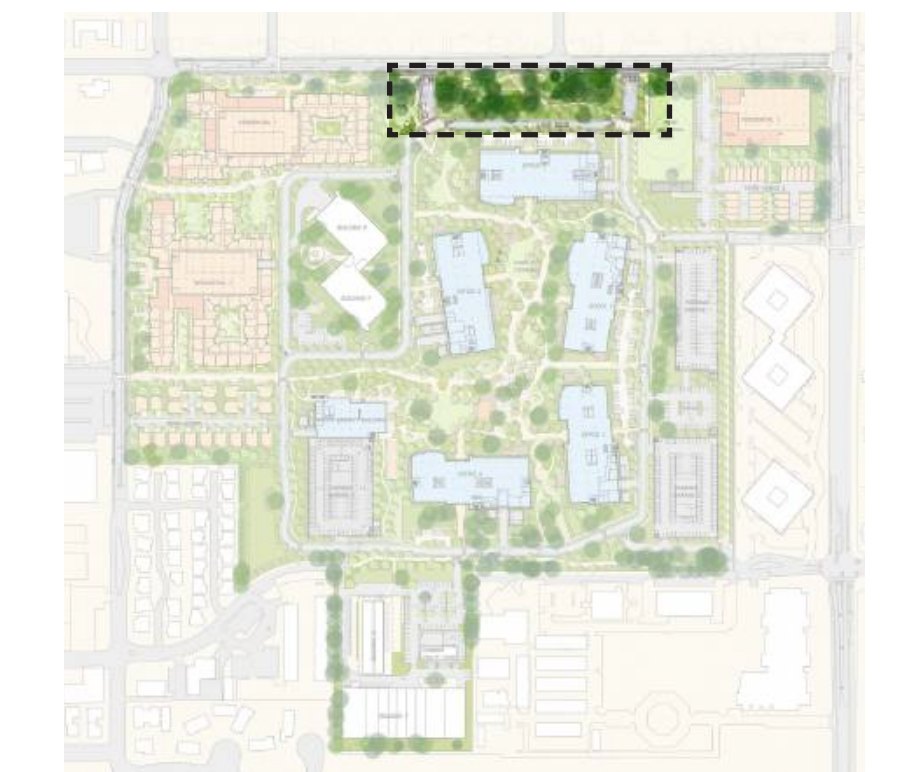
POTENTIAL AMENITY PROGRAMMING IMAGES ARE FOR ILLUSTRATIVE PURPOSES, ACTUAL AMENITY TYPE AND LOCATION WILL VARY



LEGEND

- 01 CLASS I - SHARED USE PATH
- 02 CLASS II - ON STREET BIKE LANE
- 03 PEDESTRIAN ONLY PATH
- 04 BENCH SEATING
- 05 EXERCISE STATION
- 06 CHILDREN'S PLAY AREA

KEY PLAN



1 RAVENSWOOD AVENUE PARKLET EAST ENLARGEMENT



Conceptual Rendering - Ravenswood Multi-Use Path

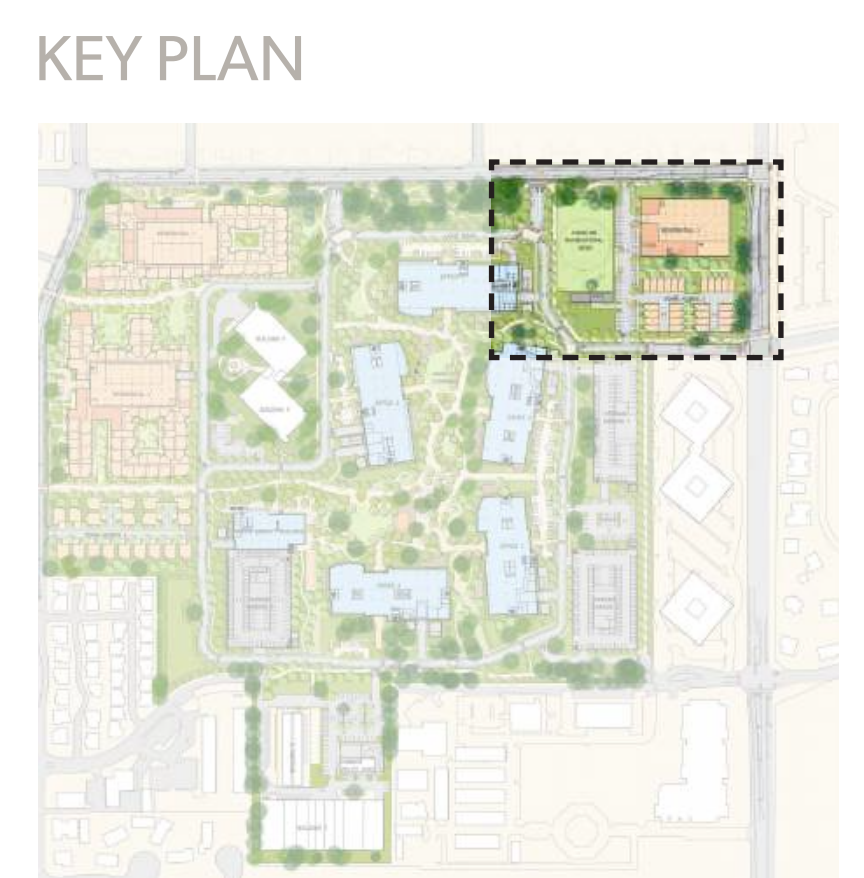


POTENTIAL AMENITY PROGRAMMING IMAGES ARE FOR ILLUSTRATIVE PURPOSES, ACTUAL AMENITY TYPE AND LOCATION WILL VARY

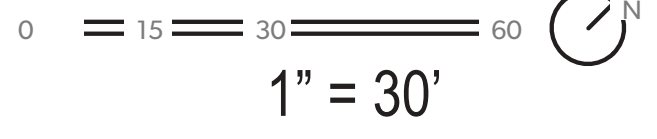
0 15 30 75
SCALE : 1" = 30'



- LEGEND**
- 01 CLASS I - SHARED USE PATH
 - 02 CLASS II - ON STREET BIKE LANE
 - 03 PEDESTRIAN ONLY PATH
 - 04 BENCH SEATING
 - 05 RECREATION AREA
 - 06 CHILDREN'S PLAY AREA
 - 07 BIKE REPAIR STATION



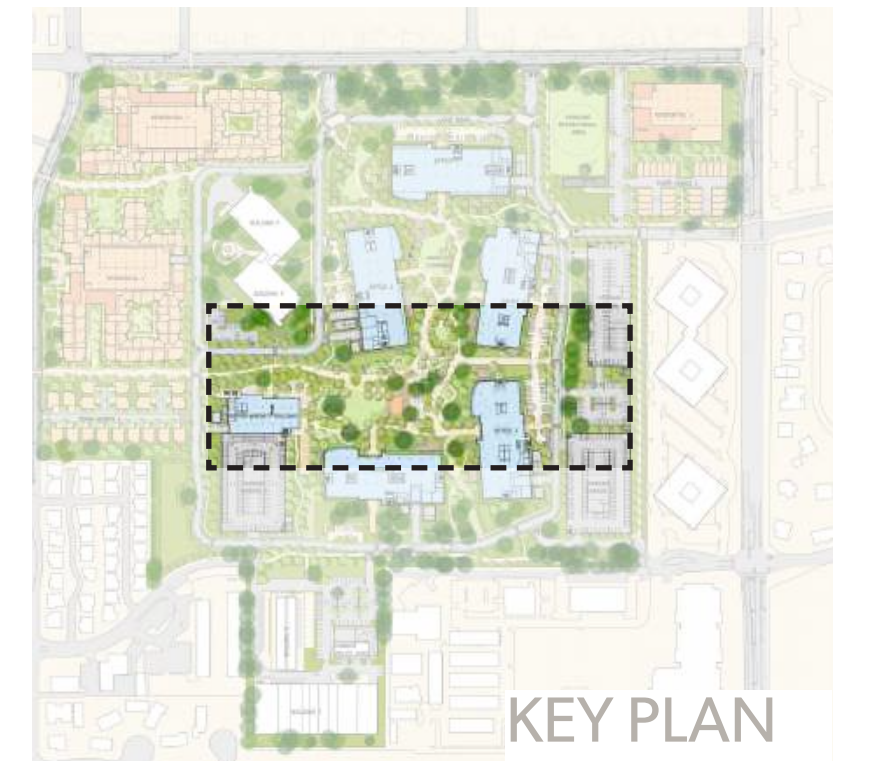
POTENTIAL AMENITY PROGRAMMING IMAGES ARE FOR ILLUSTRATIVE PURPOSES, ACTUAL AMENITY TYPE AND LOCATION WILL VARY





LEGEND

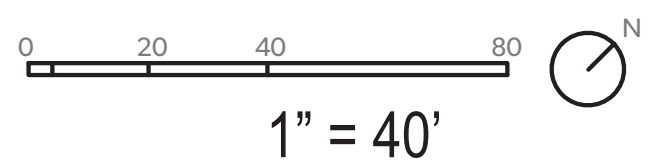
- 01 BUILDING ENTRY
- 02 CLASS II - ON STREET BIKE LANE
- 03 PEDESTRIAN ONLY PATH
- 04 BENCH SEATING
- 05 FLEXIBLE MULTI-USE LAWN
- 06 PRIVATE TENANT PATIO
- 07 CENTRAL PLAZA
- 08 OUTDOOR EVENT SPACE
- 09 THE GREEN - CENTRAL LAWN AREA
- 10 SHADED COURTYARD
- 11 OUTDOOR DINING

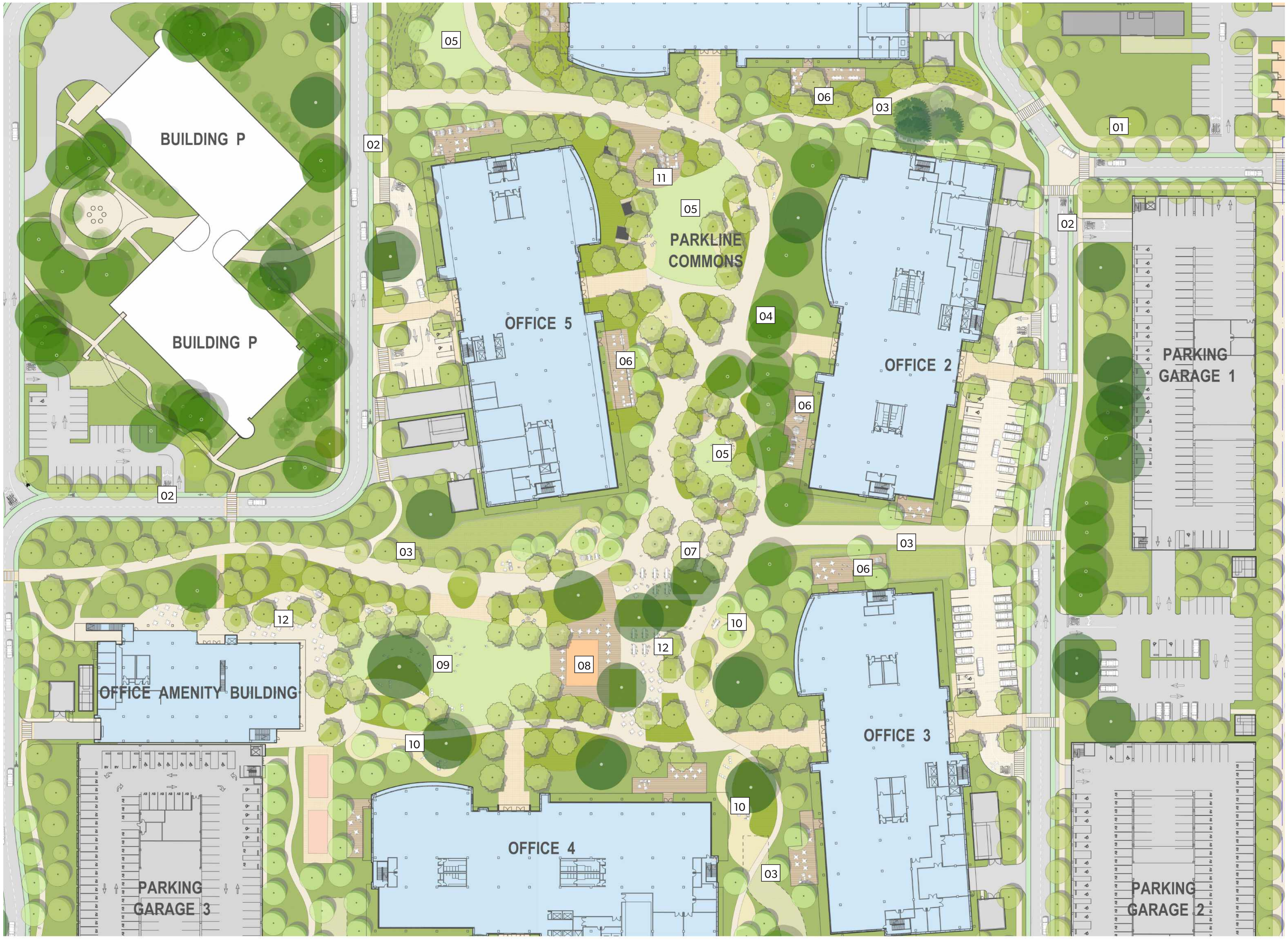


Outdoor Event Space

Flexible Multi-Use Lawn

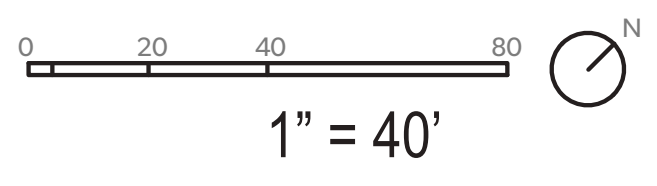
POTENTIAL AMENITY PROGRAMMING IMAGES ARE FOR ILLUSTRATIVE PURPOSES, ACTUAL AMENITY TYPE AND LOCATION WILL VARY





- LEGEND**
- 01 CLASS I - SHARED USE PATH
 - 02 CLASS II - ON STREET BIKE LANE
 - 03 PEDESTRIAN ONLY PATH
 - 04 BENCH SEATING
 - 05 FLEXIBLE MULTI-USE LAWN
 - 06 PRIVATE TENANT PATIO
 - 07 CENTRAL PLAZA
 - 08 OUTDOOR EVENT SPACE
 - 09 THE GREEN - CENTRAL LAWN AREA
 - 10 SHADED COURTYARD
 - 11 RAISED DECK
 - 12 OUTDOOR DINING

KEY PLAN





LEGEND

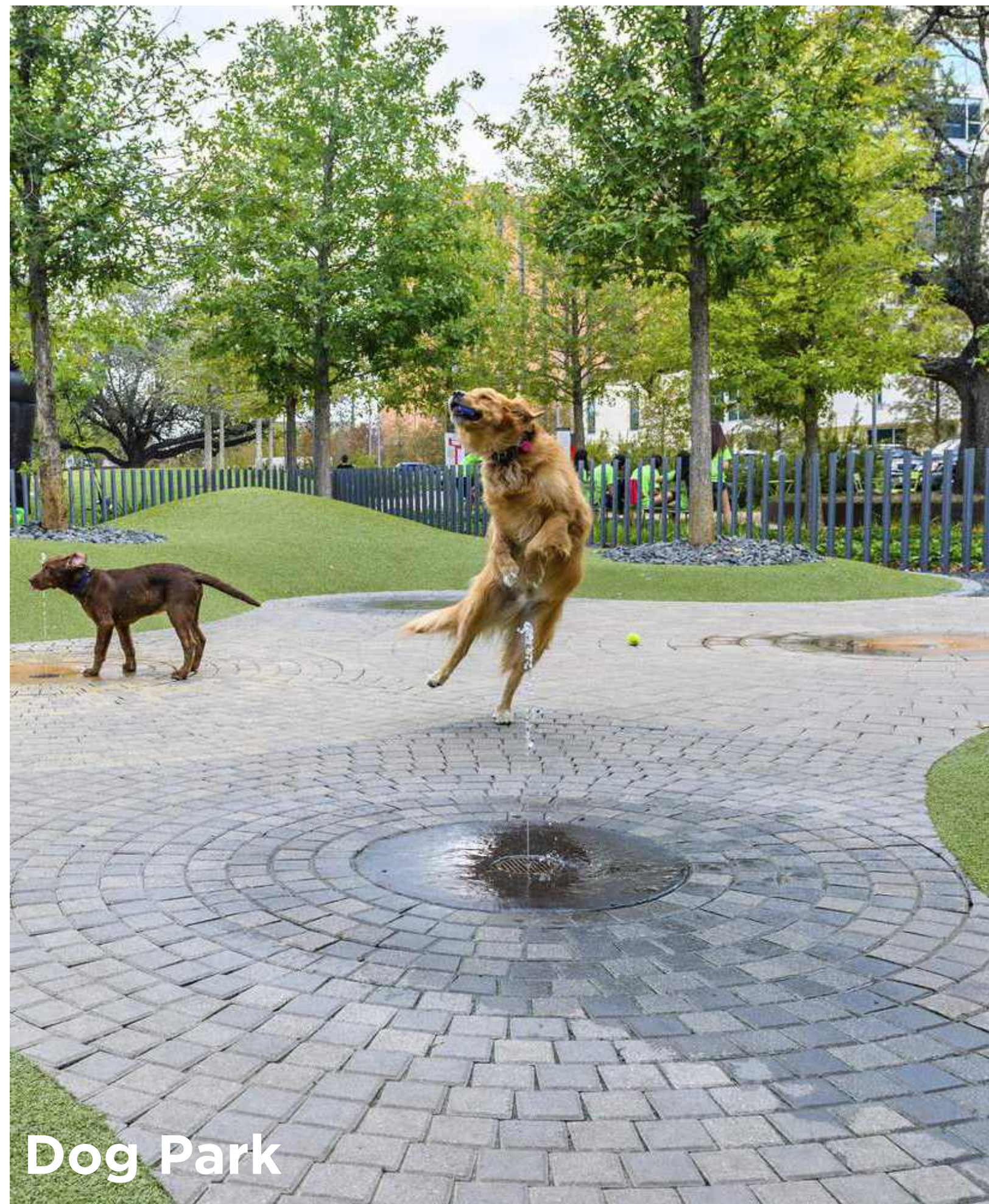
- 01 CLASS II - ON STREET BIKE LANE
- 02 PEDESTRIAN ONLY PATH
- 03 BENCH SEATING
- 04 FLEXIBLE MULTI-USE LAWN
- 05 RESIDENTIAL PATIO
- 06 BBQ/PICNIC AREA
- 07 DOG PARK
- 08 CLASS IV - BIKE LANE AT LAUREL ST.
- 09 PEDESTRIAN/BIKE CONNECTION

KEY PLAN

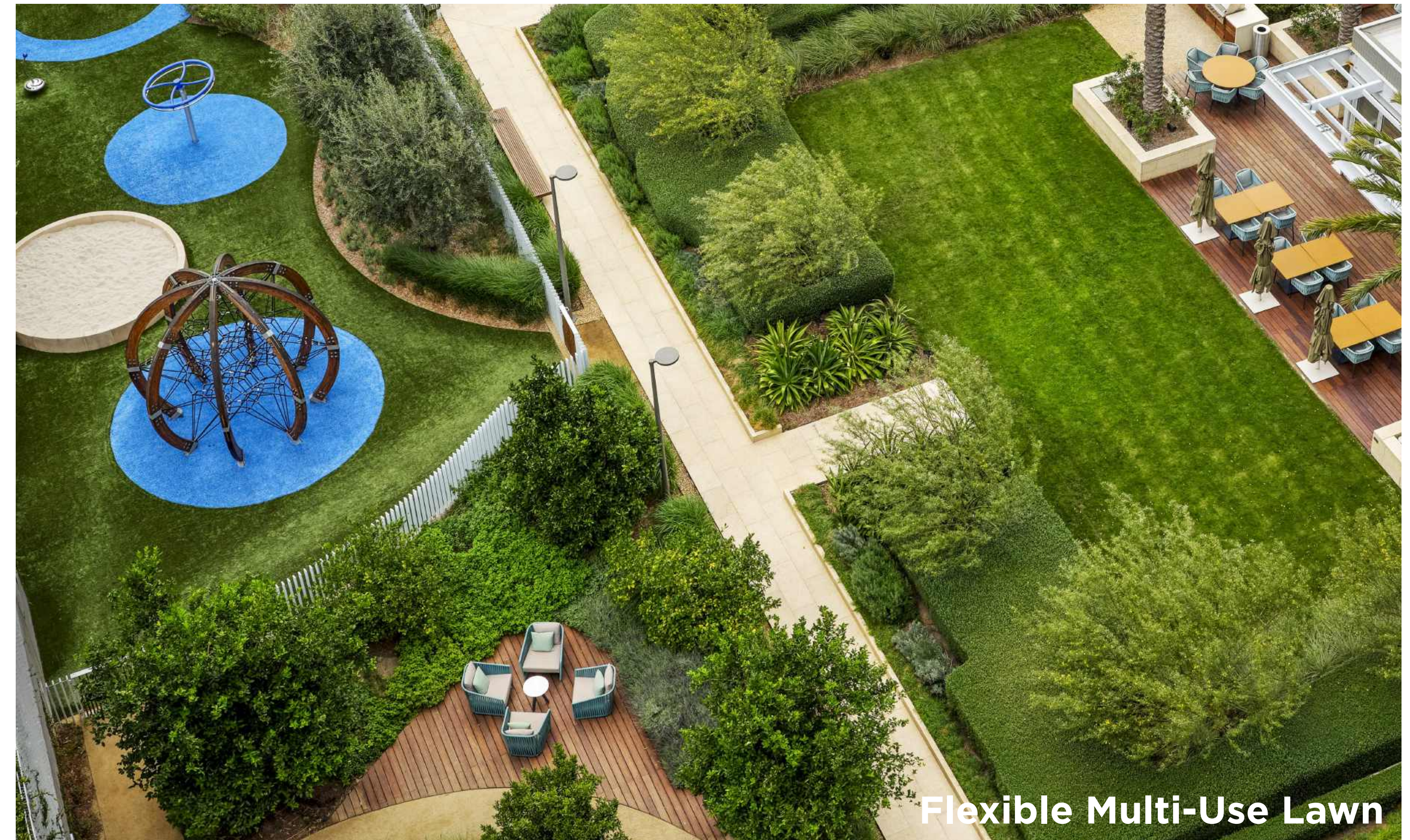
1 ENLARGEMENT PLAN: RESIDENTIAL OPEN SPACE



BBQ/Picnic Area

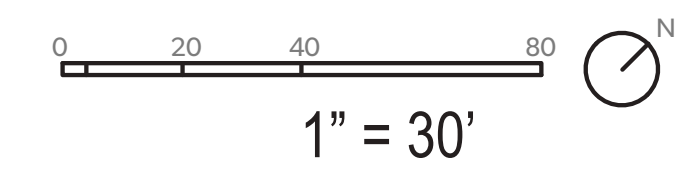


Dog Park



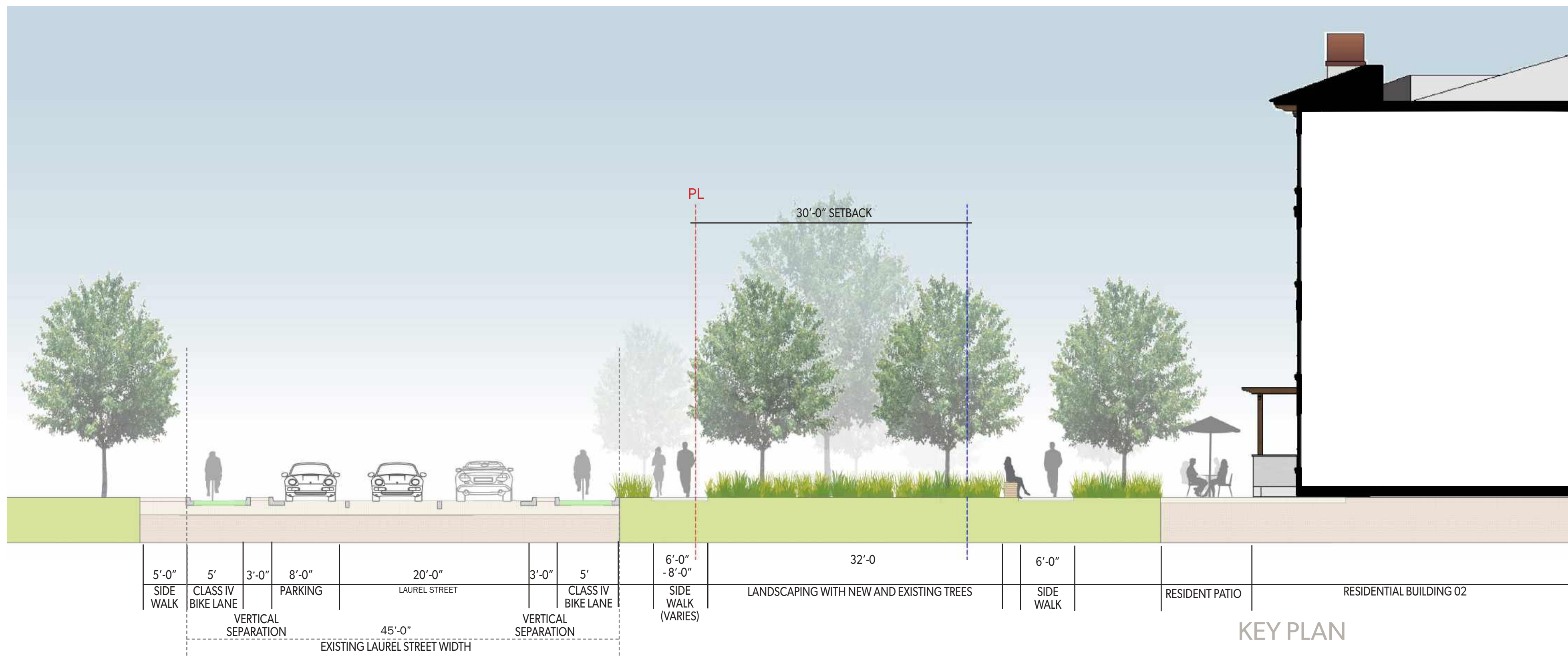
Flexible Multi-Use Lawn

POTENTIAL AMENITY PROGRAMMING IMAGES ARE FOR ILLUSTRATIVE PURPOSES, ACTUAL AMENITY TYPE AND LOCATION WILL VARY

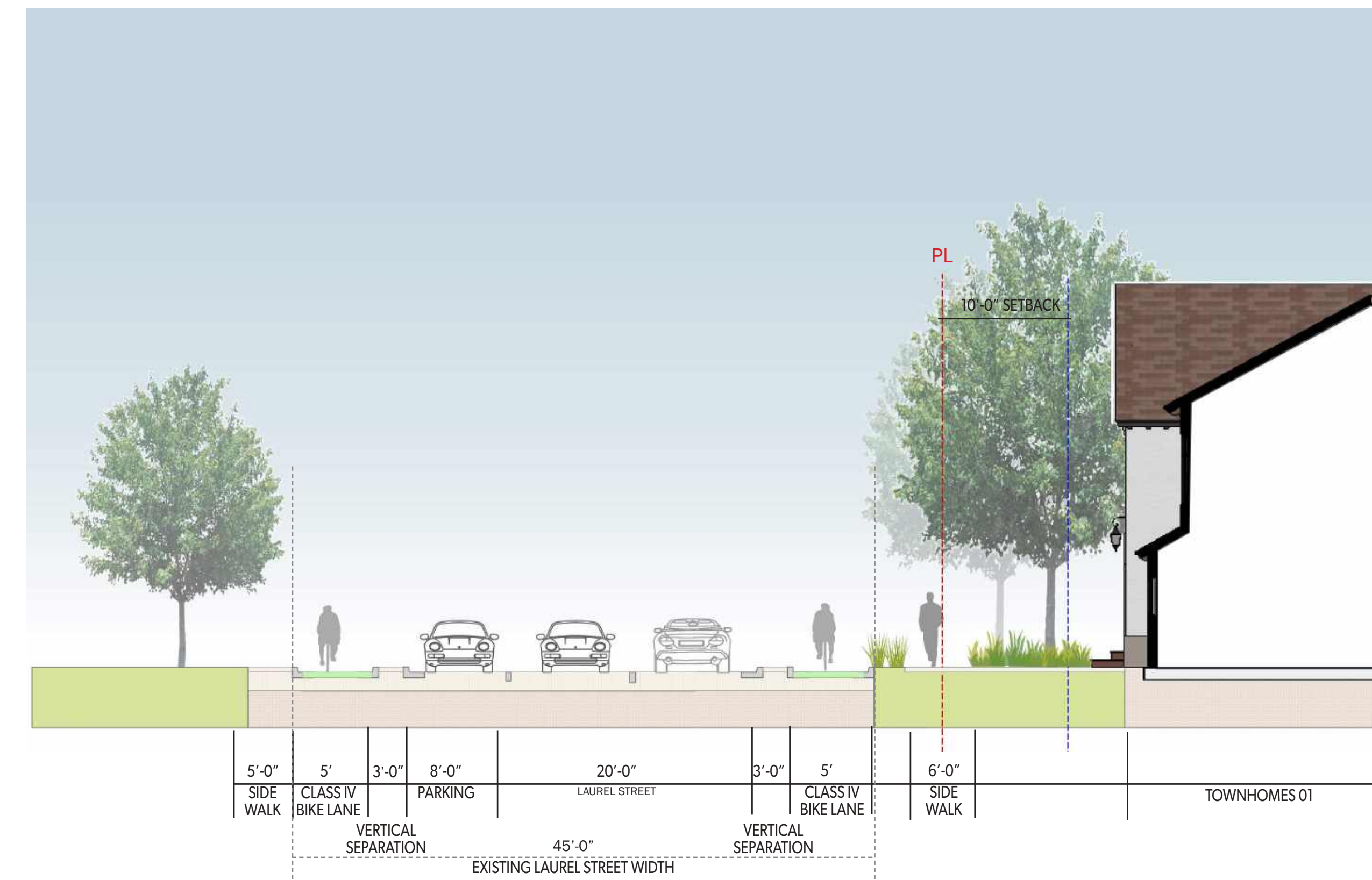




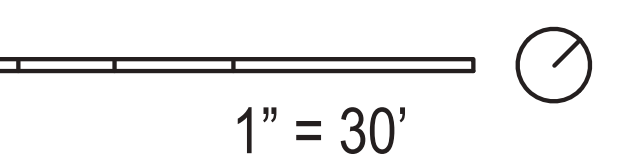
PLAN ENLARGEMENT: LAUREL STREET



1 LAUREL STREET SECTION 01
Laurel Street with Proposed 5.5' Class IV Bike Lanes and Landscaping at Residential Building 01

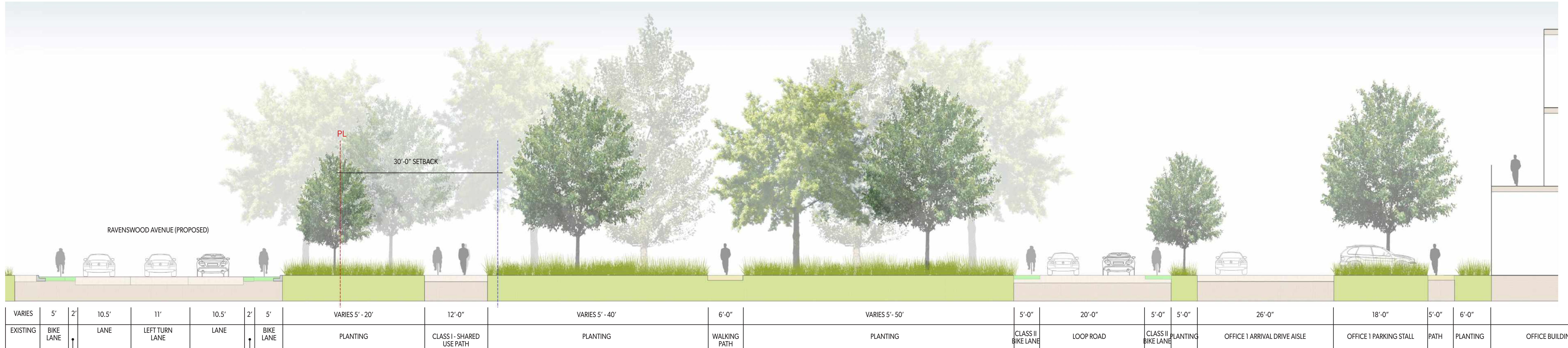


2 LAUREL STREET SECTION 02
Laurel Street with Proposed 5.5' Class IV Bike Lanes and Landscaping at Townhomes 01



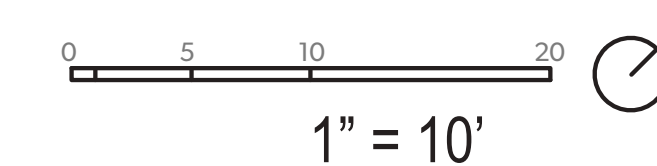
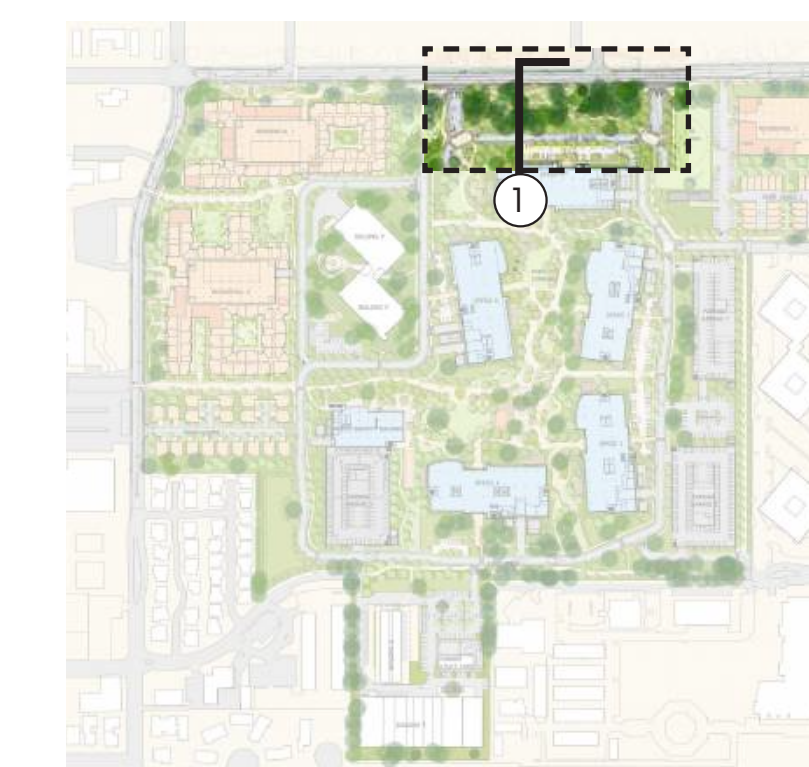


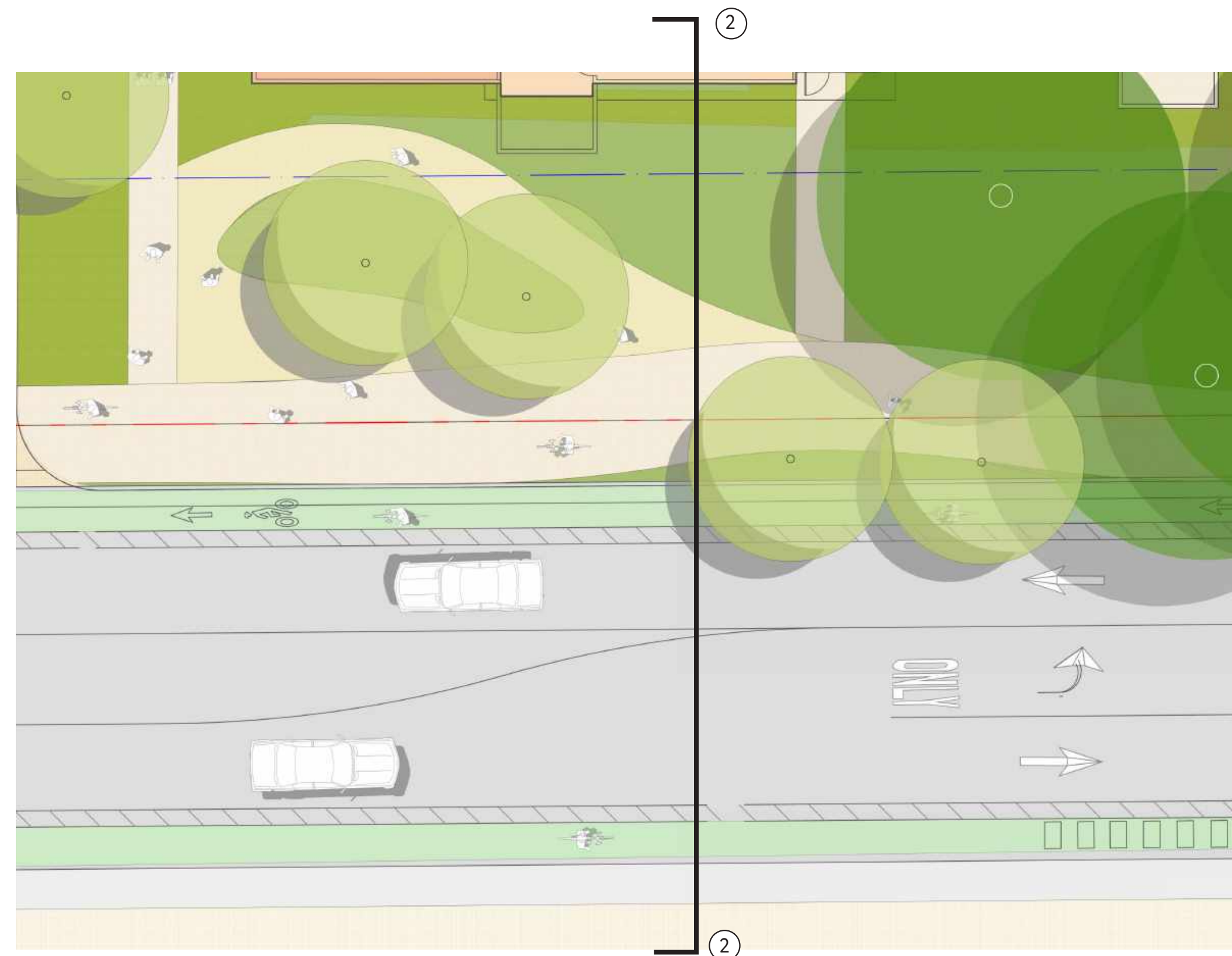
PLAN ENLARGEMENT: RAVENSWOOD AVENUE PARKLET



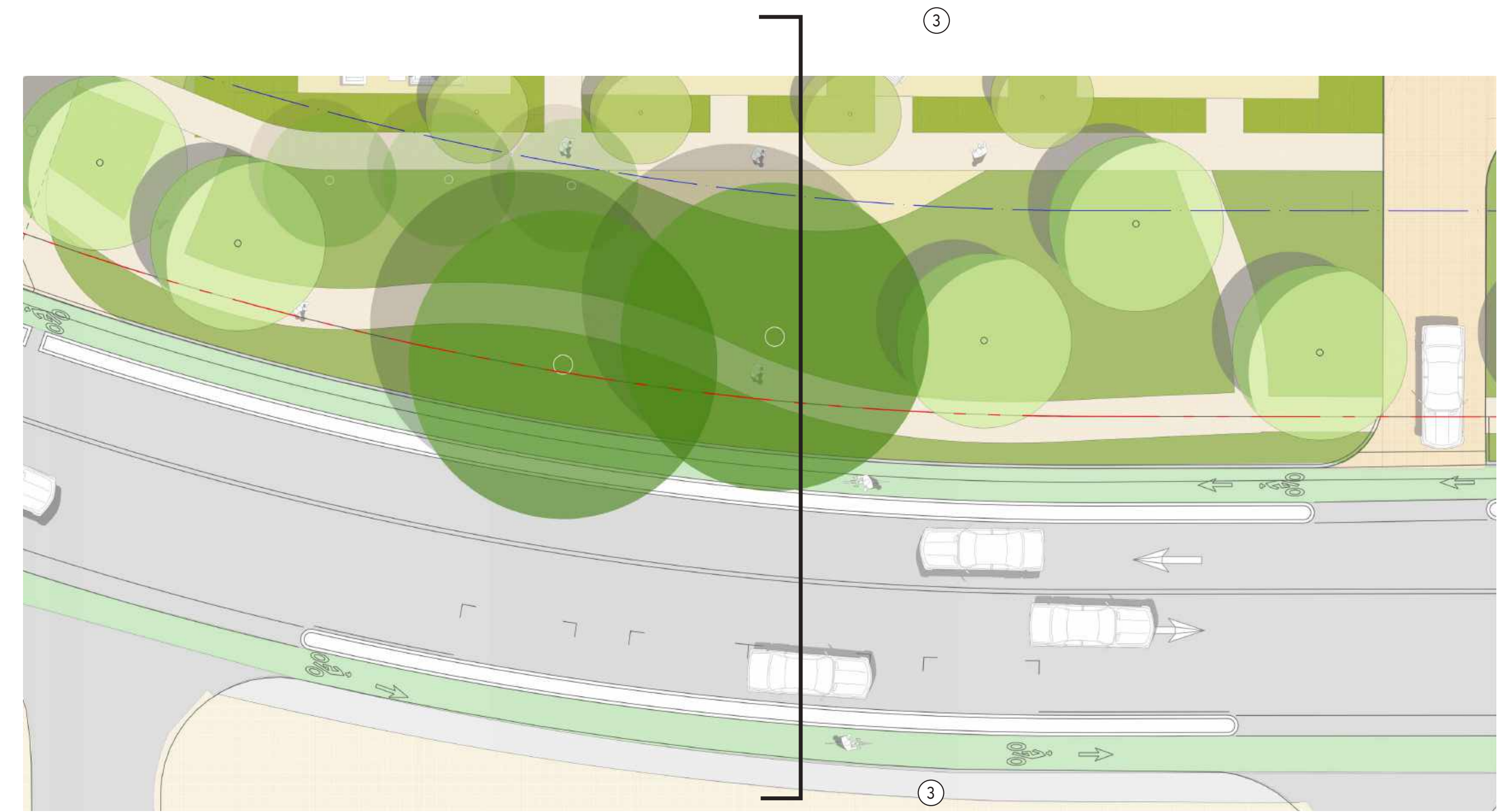
1 RAVENSWOOD AVENUE PARKLET - SECTION 01

KEY PLAN

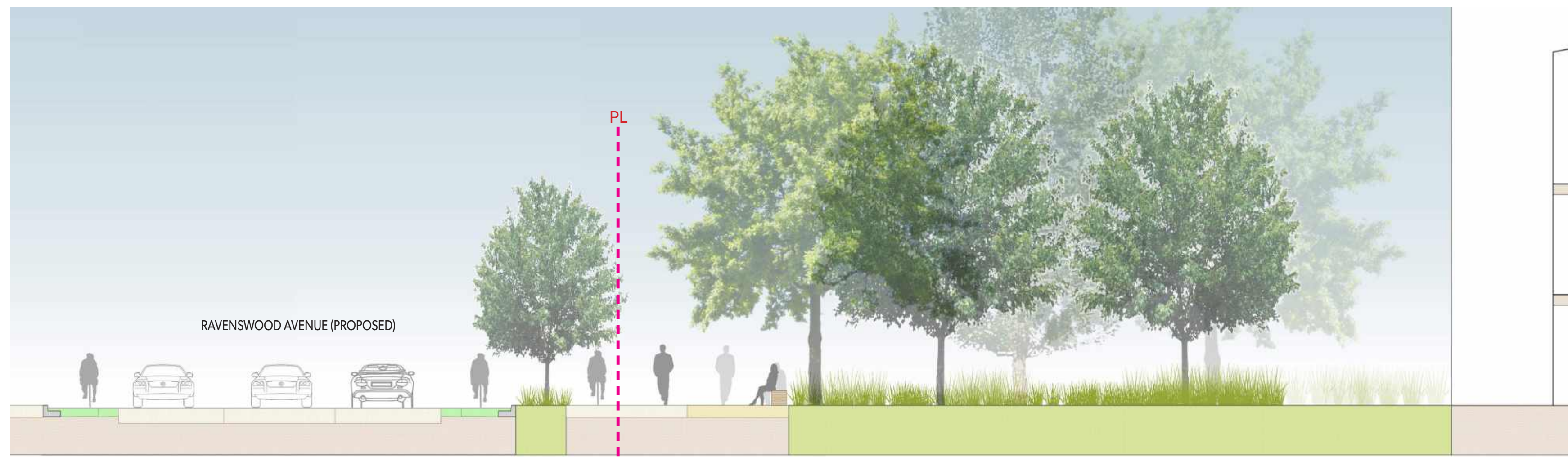




PLAN ENLARGEMENT: RAVENSWOOD AVENUE PARKLET

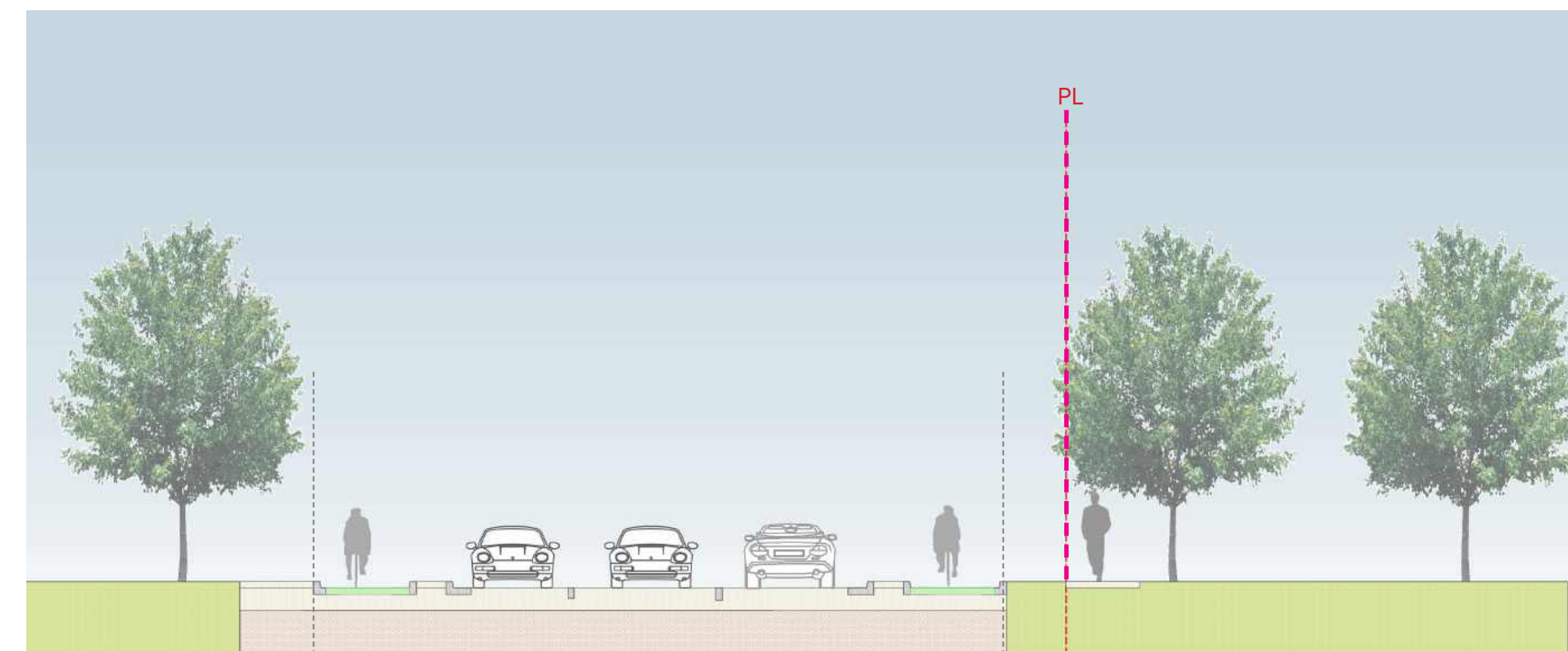


PLAN ENLARGEMENT: LAUREL STREET WITH CLASS IV BIKEWAYS



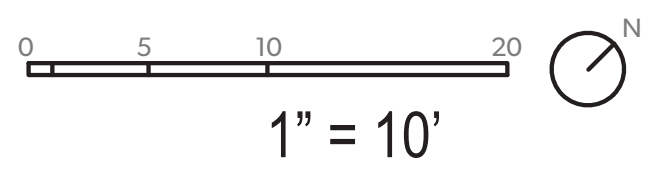
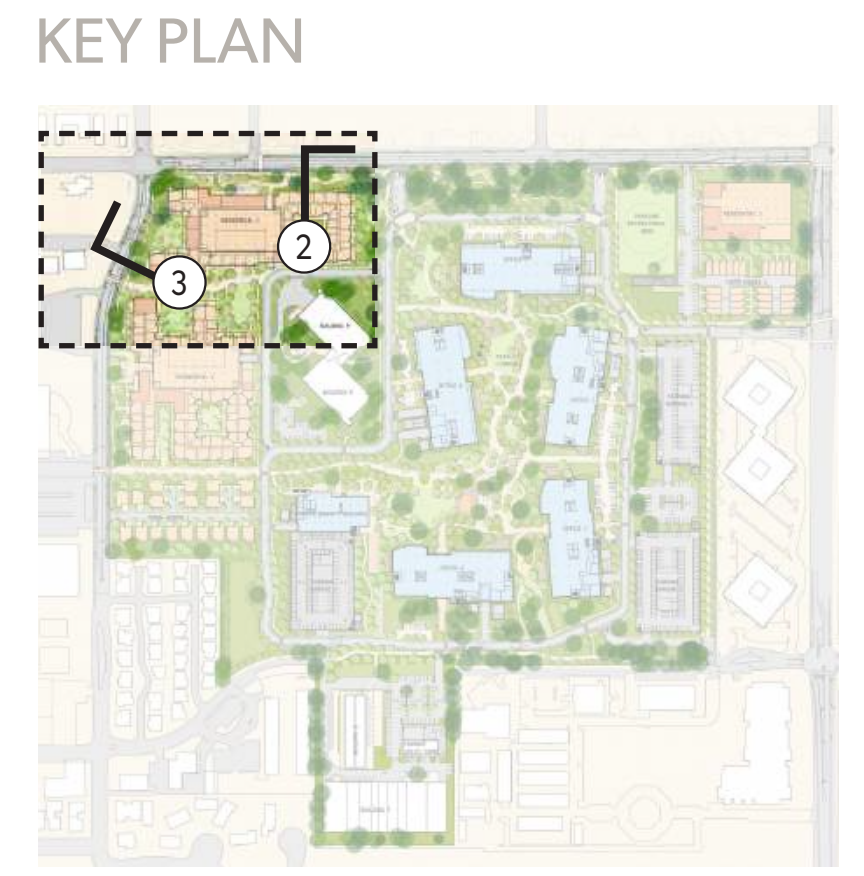
VARIES	5'	2'	10.5'	11'	10.5'	2'	5'	VARIES 5' - 20'	12'-0"	VARIES 5' - 10'	VARIES 50' - 80'
EXISTING	BIKE LANE	BUFFER	LANE	LEFT TURN LANE	LANE	BUFFER	BIKE LANE	PLANTING	BIKE/WALKING PATH	SECONDARY PATH	PLANTING

2 RAVENSWOOD AVENUE PARKLET - SECTION 02



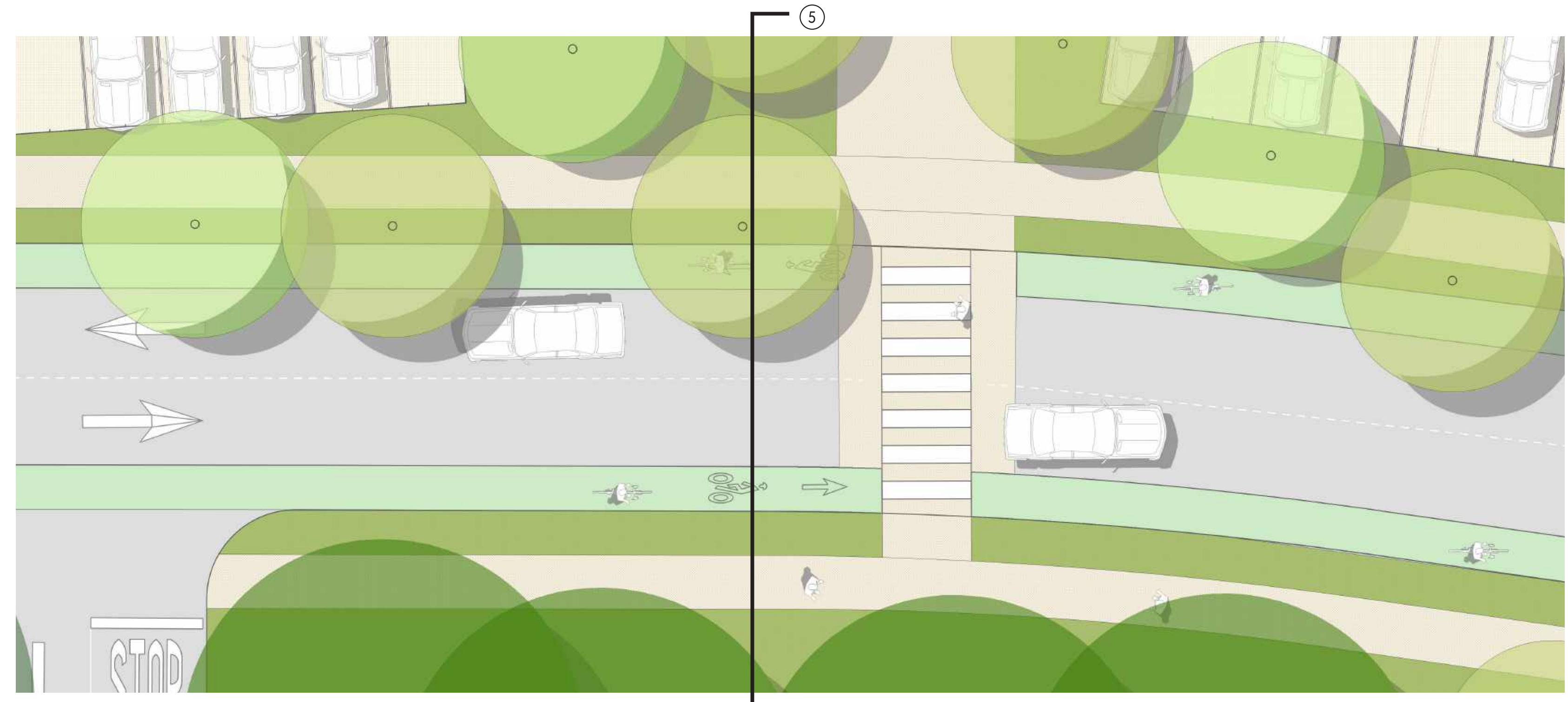
5'-0"	5'	3'-0"	8'-0"	20'-0"	3'-0"	5'	5'-0"
SIDE WALK	CLASS IV BIKE LANE	PARKING	LAUREL STREET	CLASS IV BIKE LANE	SIDE WALK		
VERTICAL SEPARATION		45'-0" EXISTING LAUREL STREET WIDTH			VERTICAL SEPARATION		

3 LAUREL STREET SECTION 03
Rebuild Street Orientation (5.5' Class IV Bike Lanes)





PLAN ENLARGEMENT: BURGESS MULTI USE PATH AT LOOP ROAD



PLAN ENLARGEMENT: LOOP ROAD WITH CLASS II BIKE LANES



LOOP ROAD	20'-0"	12'-0"	38'-0"	ADJACENT PROPERTY
	PLANTING	CLASS 1 SHARED USE PATH	PLANTING	

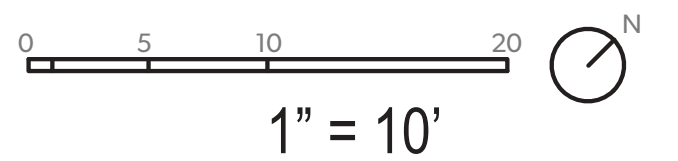
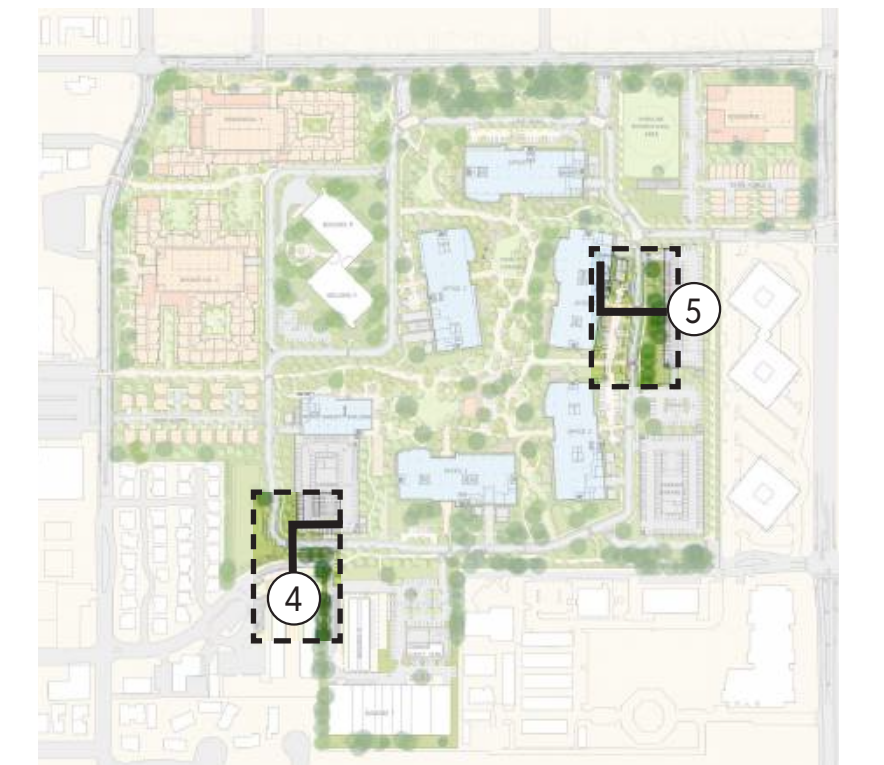
4 PROPOSED BURGESS MULTI-USE PATH AT LOOP ROAD SECTION

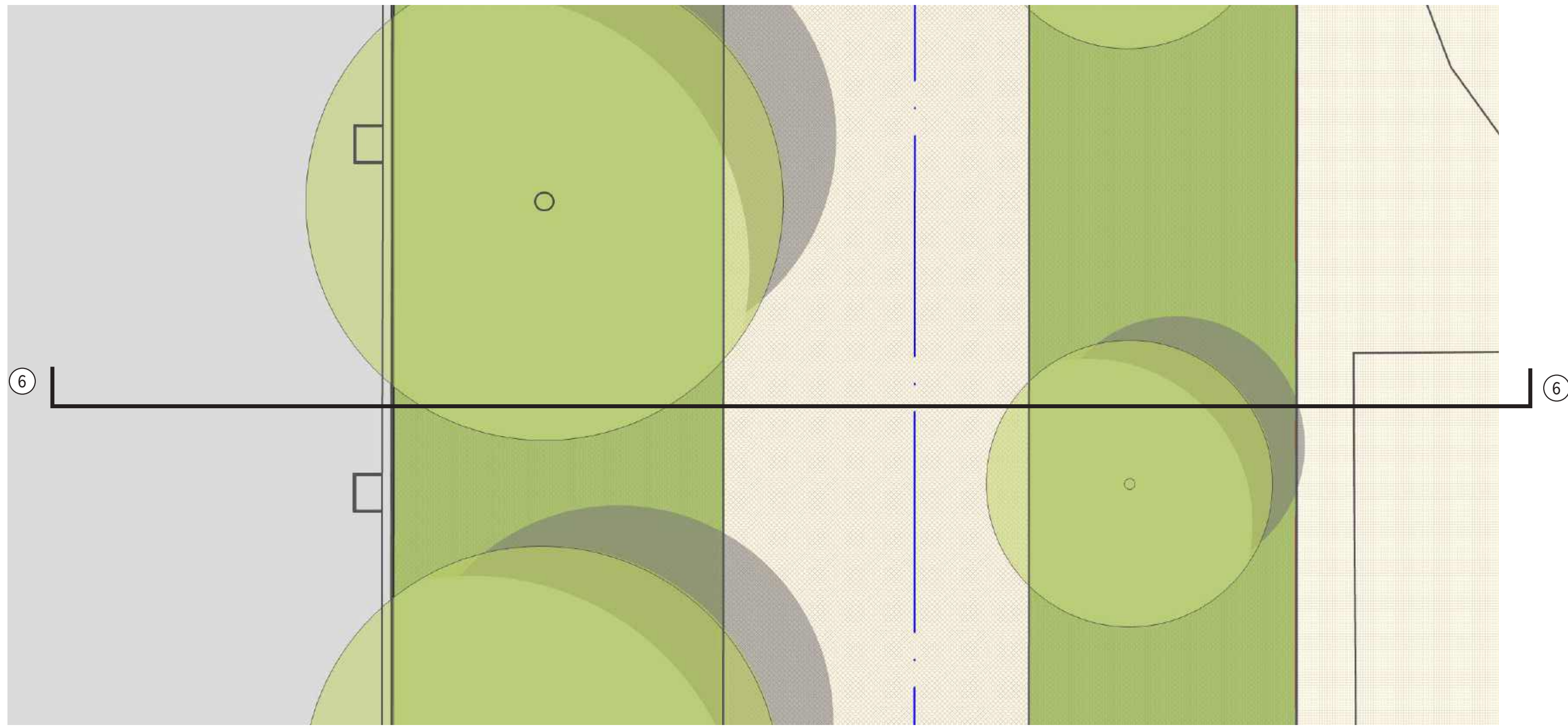


6'-0"	6'-0"	5'-0"	20'-0"	5'-0"	6'-0" (VARIES)	6'-0"
SIDEWALK	PLANTING	CLASS II	LOOP ROAD (PROPOSED)	CLASS II	PLANTING	SIDEWALK

5 LOOP ROAD SECTION - CLASS II BIKE LANE

KEY PLAN

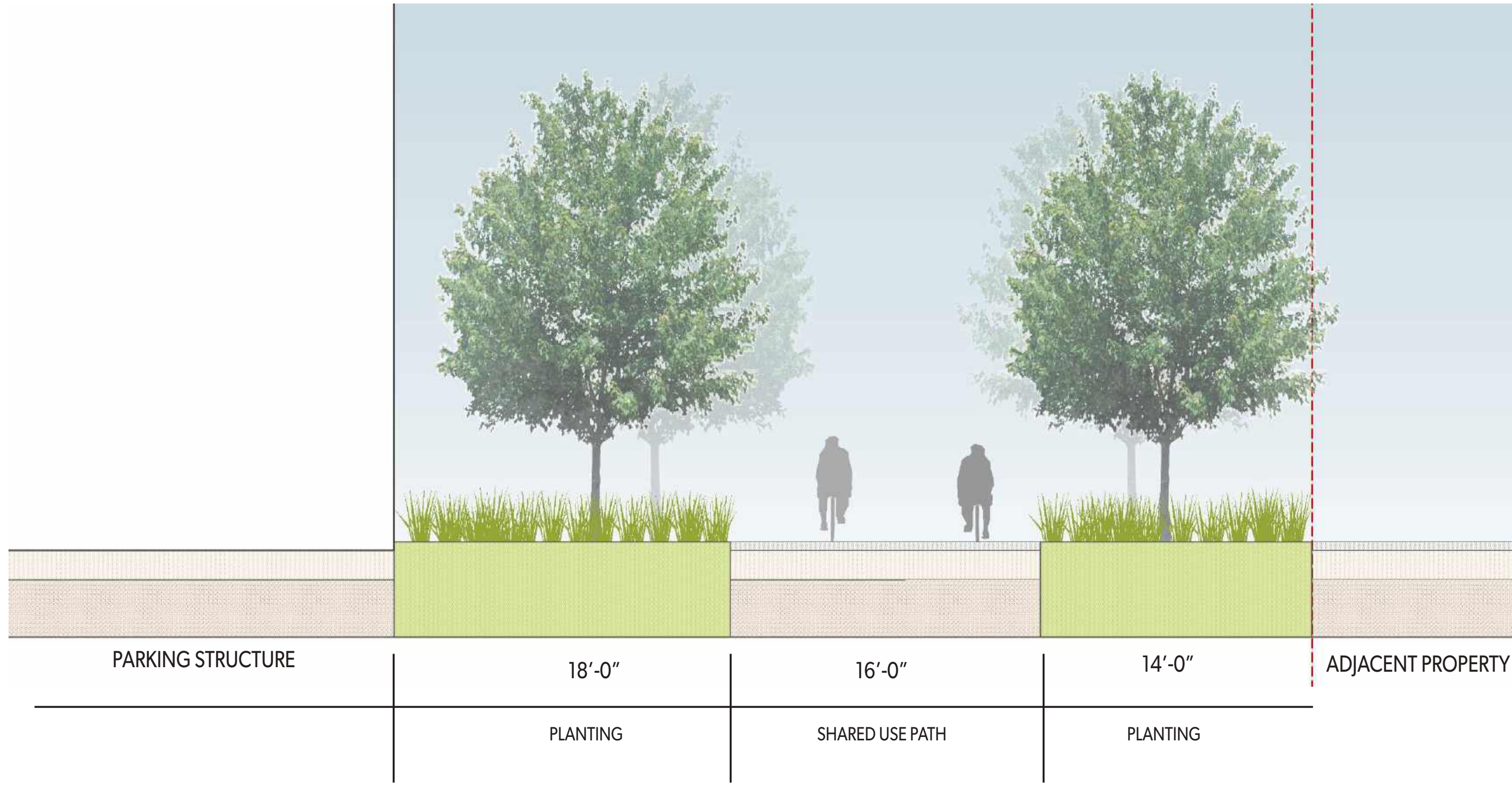




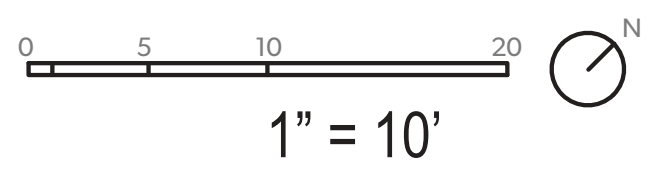
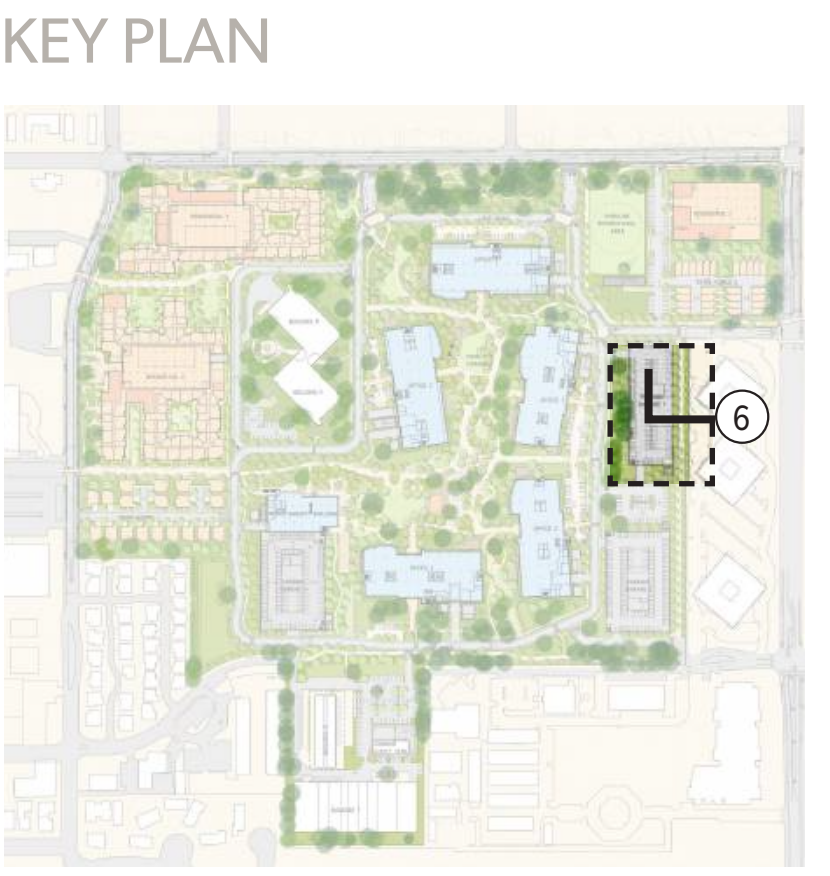
PLAN ENLARGEMENT: MULTI-USE PATH EAST OF PARKING STRUCTURES



PRECEDENT IMAGERY OF MULTI-USE PATH EAST OF PARKING STRUCTURES



6 PROPOSED MULTI-USE PATH EAST OF PARKING STRUCTURES



LARGE TREES: 50'+



Virginia Live Oak
Quercus virginiana



Exclamation Planetree
Platanus 'Exclamation'



Silver Linden
Tilia tomentosa

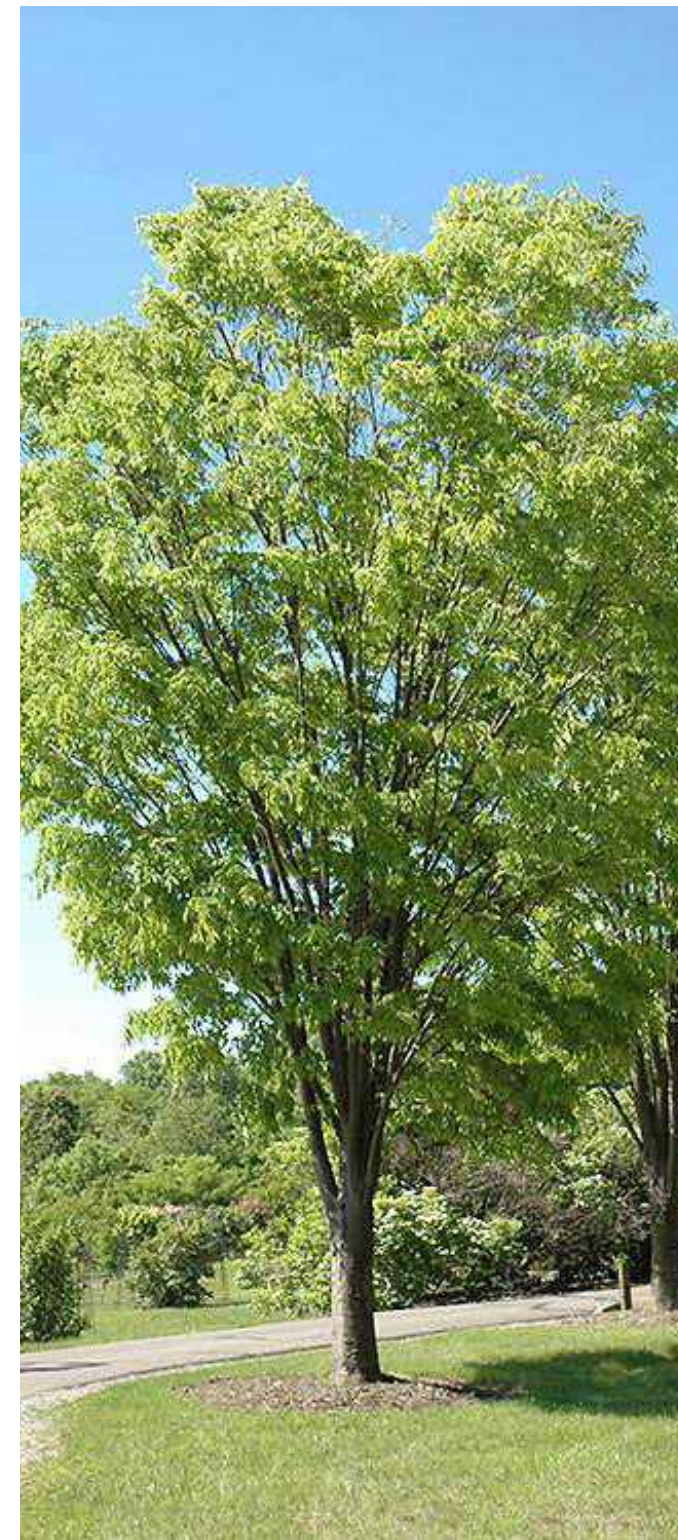


Monterey Cypress
Cupressus macrocarpa



Tipu Tree
Tipuana

SMALL AND MEDIUM TREES: 35' - 50'



Japanese Zelkova
Zelkova serrata 'Green Vase'



Forest Green Oak
Quercus frainetto 'Forest Green'



Street Spire Oak
Quercus 'Street Spire' (fastigate)



Netleaf Oak
Quercus rugosa



Red Plush Pistache
Pistacia atlantica x integerrima



Strawberry Tree
Arbutus x marina



Natchez Crape Myrtle
Lagerstroemia indica 'Natchez'



Brisbane Box
Lophostemon confertus



Emerald Sunshine Elm
Ulmus propinqua 'Emerald Sunshine'

ORNAMENTAL/FLOWERING PALETTE



Common Yarrow
Achillea millefolium
Water Usage: LOW



Grey Musk Sage
Salvia clevelandii 'Poza Blue'
Water Usage: LOW



California Poppy
Eschscholzia californica
Water Usage: VERY LOW



Butterfly Milkweed
Asclepias tuberosa
Water Usage: MODERATE



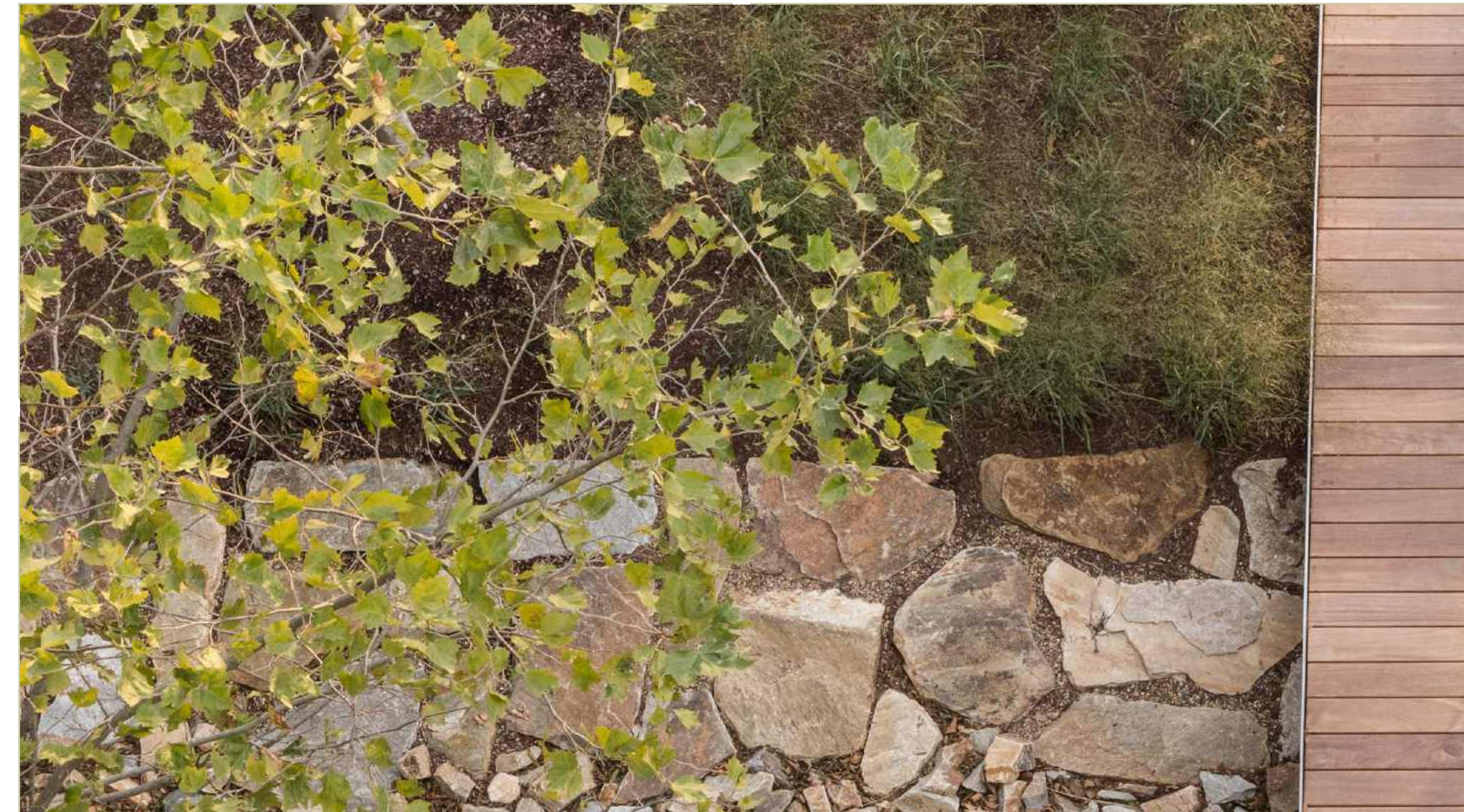
Wynyabbie Coast Rosemary
Westringia fruticosa 'Wynyabbie Gem'
Water Usage: LOW



Little Sur Coffeeberry
Rhamnus californica 'Little Sur'
Water Usage: LOW

SCREENING/HEDGING PALETTE

PLANTING CONCEPT



GRASSES



John Greenlee's Moor Grass
Sesleria 'Greenlee'
Water Usage: MODERATE



Clarity Blue Dianella
Dianella hybrid 'Clarity Blue'
Water Usage: MODERATE



Dwarf Mat Rush
Lomandra longifolia 'Breeze'
Water Usage: LOW



Fragrant Sumac
Rhus aromatica
Water Usage: LOW



Pacific Mist Manzanita
Arctostaphylos 'Pacific Mist'
Water Usage: LOW

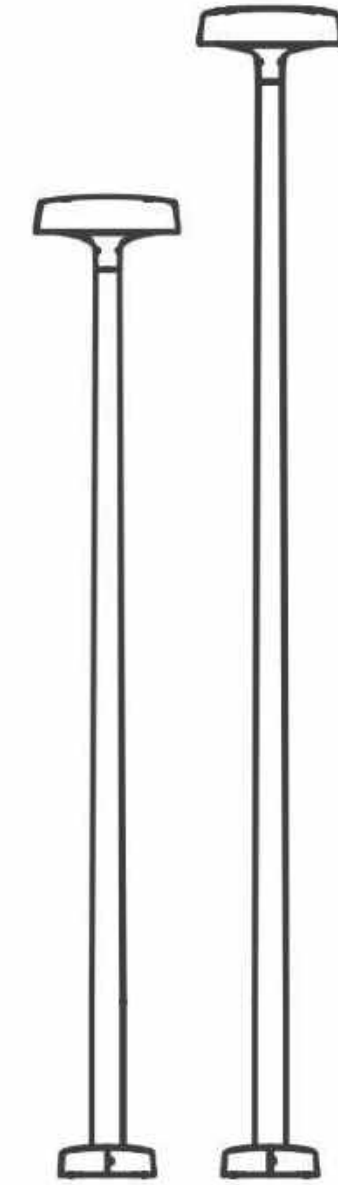
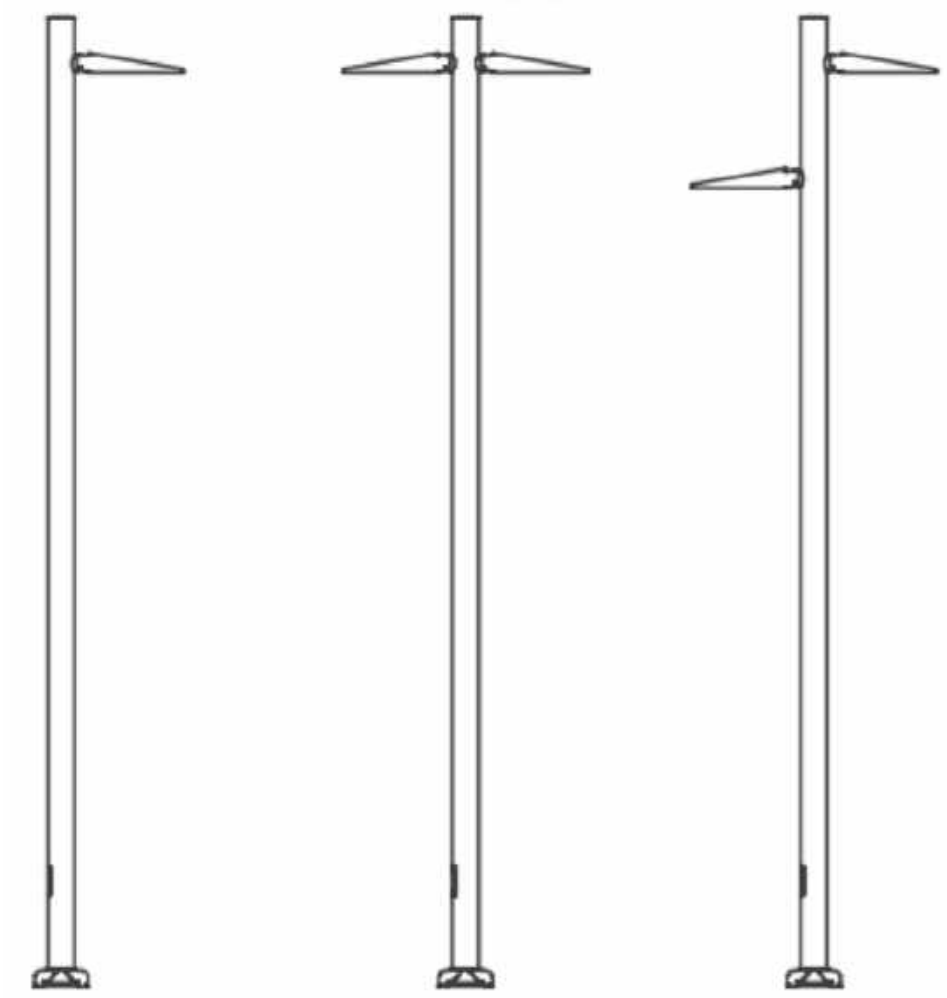


Lady Fern
Athyrium filix-feminina
Water Usage: MODERATE

GROUNDCOVER

SHADE





ROADWAY AND SECONDARY PATH

PRIMARY PATH

OPEN DESTINATIONS



-  **PUBLIC STREET POLE**
(PER EXISTING LOCATIONS & CITY STANDARDS BY OTHERS)
-  **PUBLIC PEDESTRIAN POLE**
-  **PRIVATE ROADWAY POLE**
-  **PRIMARY PATH POLE**
-  **SECONDARY PATH POLE**
-  **OPEN DESTINATIONS**
-  **POCKET DESTINATIONS**
-  **BUILDING DESTINATIONS**

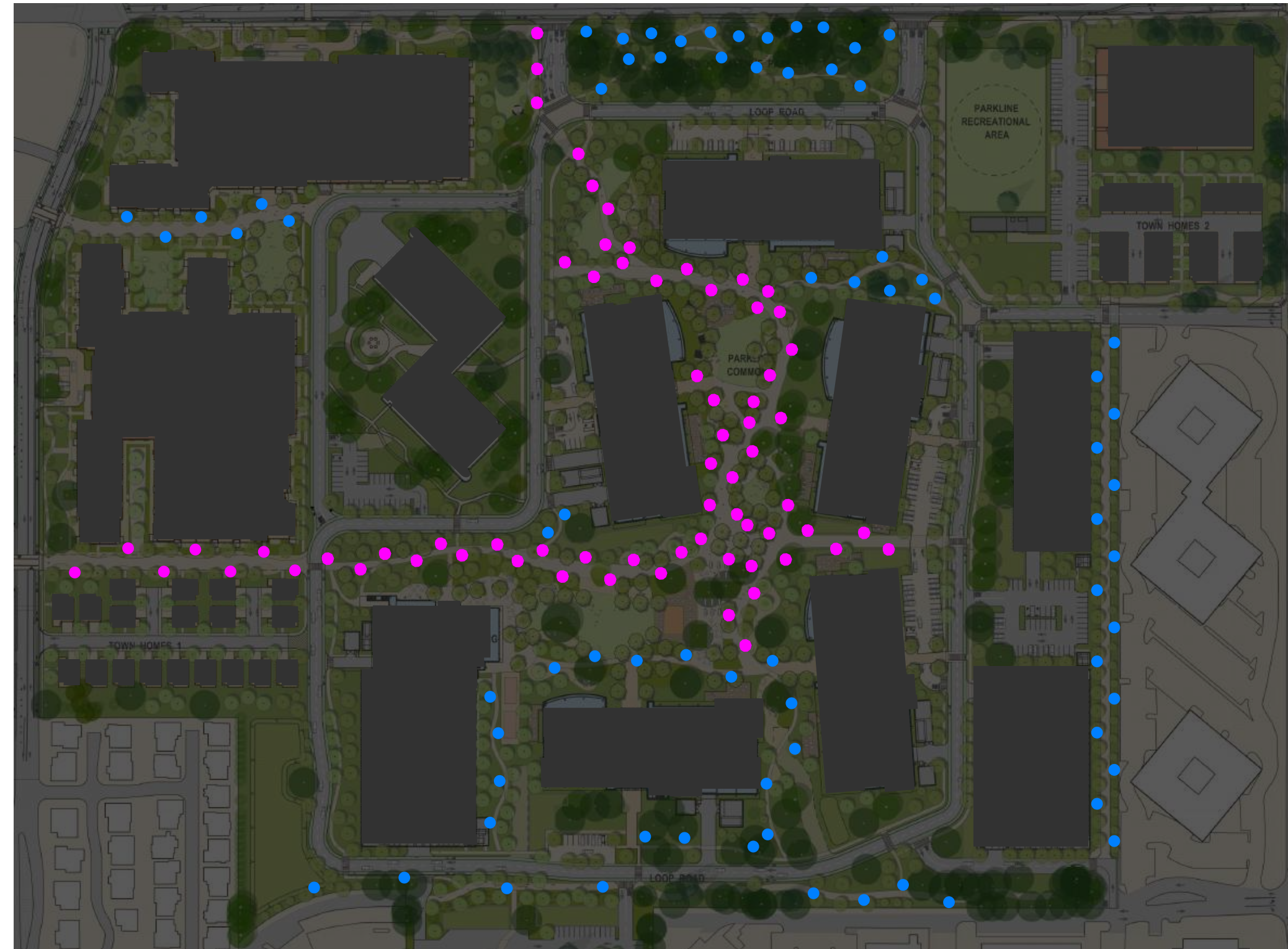
NOTE: PUBLIC STREET POLE LOCATIONS SHOWN ARE FOR ILLUSTRATIVE PURPOSES ONLY. PUBLIC STREET LIGHTING PROVIDED BY OTHERS REFER TO SHEET G5.60 THROUGH SHEET G5.68.

ROADWAY LIGHTING LAYER



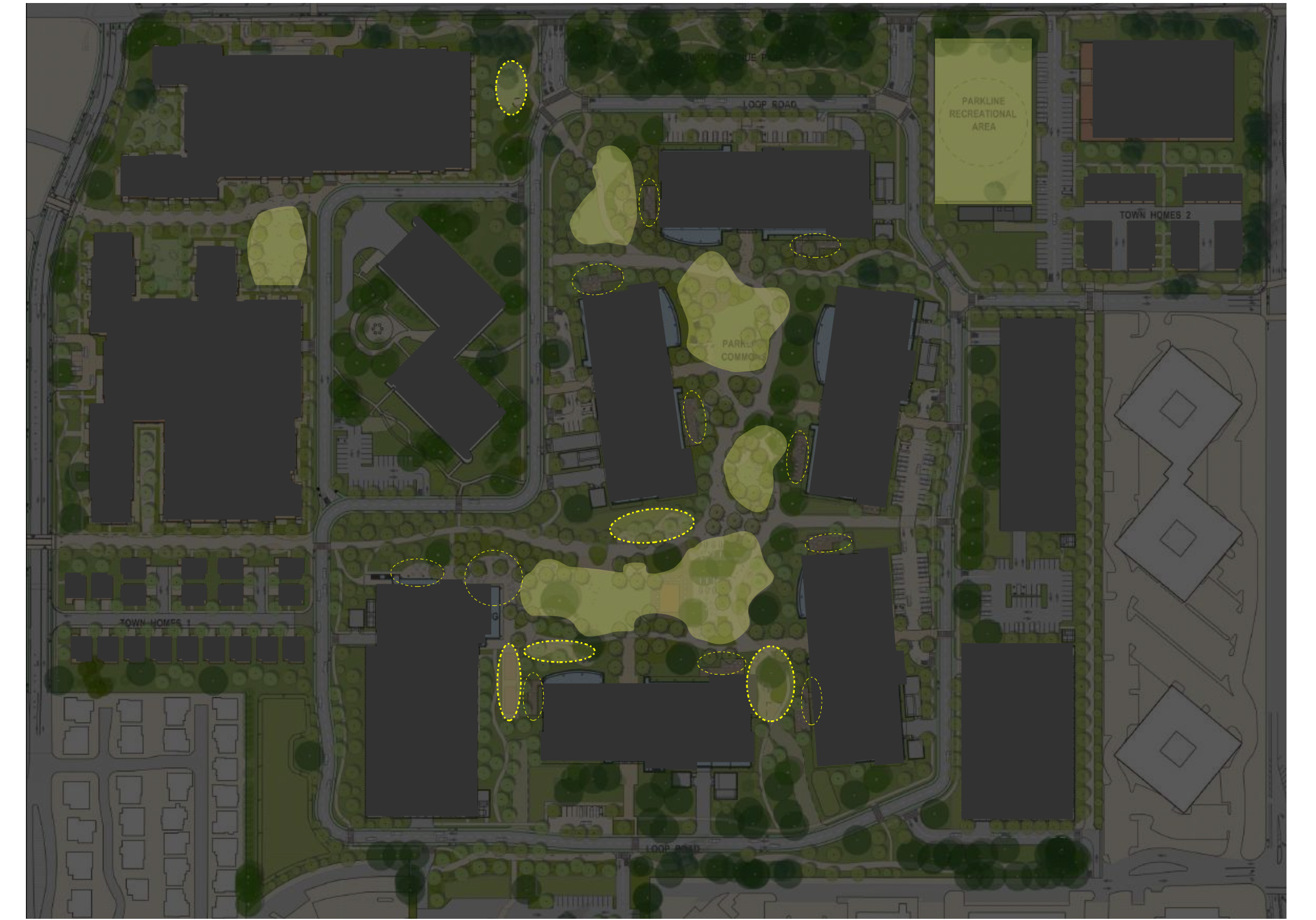
GRAPHIC OVERALL PLAN NTS

PEDESTRIAN PATH LIGHTING LAYER



GRAPHIC OVERALL PLAN NTS

DESTINATION LIGHTING LAYER



GRAPHIC OVERALL PLAN NTS

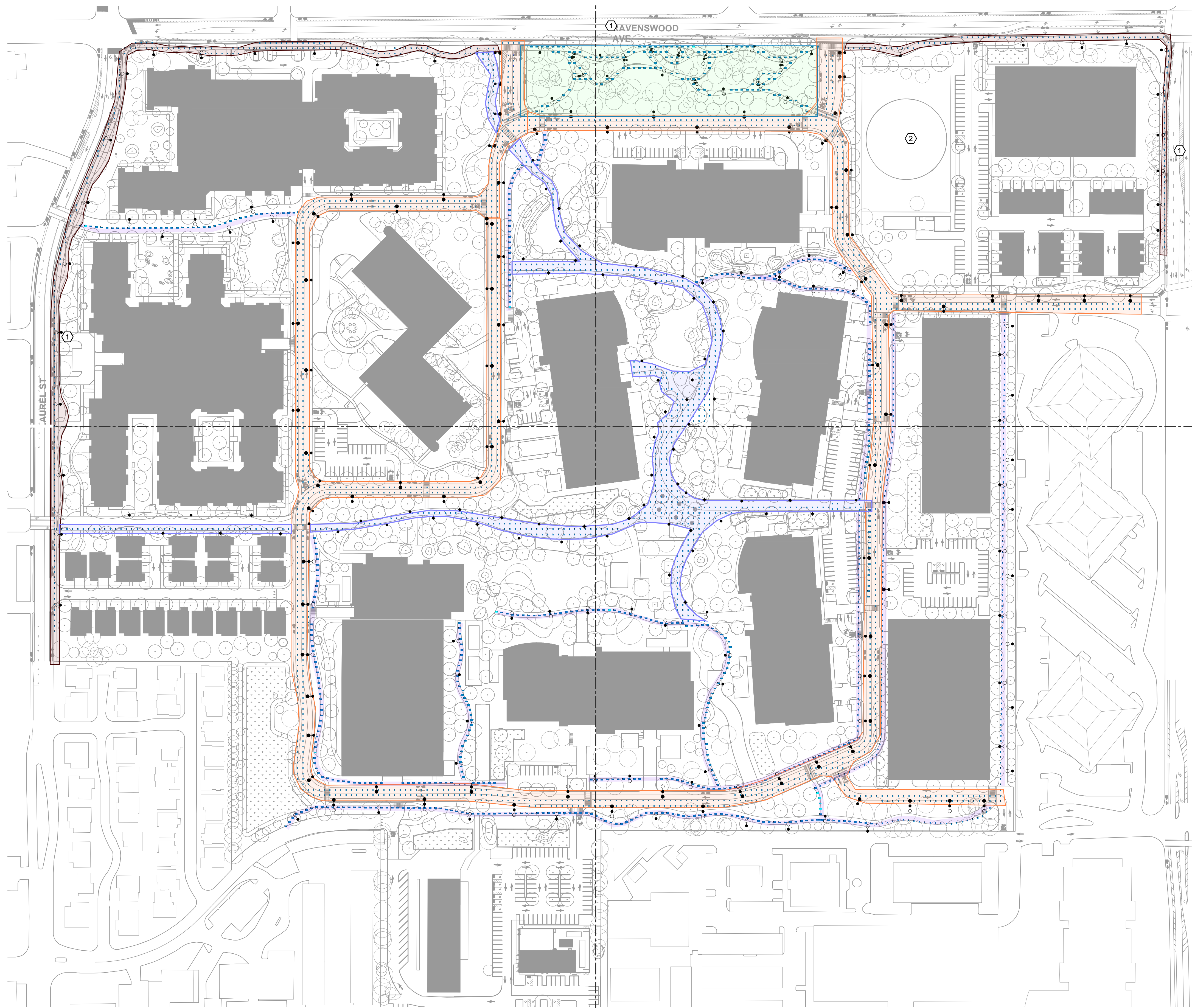
ALL LIGHTING LAYERS COMPILED

-  PUBLIC STREET POLE
(PER EXISTING LOCATIONS & CITY STANDARDS BY OTHERS)
-  PUBLIC PEDESTRIAN POLE
-  PRIVATE ROADWAY POLE
-  PRIMARY PATH POLE
-  SECONDARY PATH POLE
-  OPEN DESTINATIONS
-  POCKET DESTINATIONS
-  BUILDING DESTINATIONS

NOTE: PUBLIC STREET POLE LOCATIONS SHOWN ARE FOR ILLUSTRATIVE PURPOSES ONLY. PUBLIC STREET LIGHTING PROVIDED BY OTHERS REFER TO SHEET G5.60 THROUGH SHEET G5.68.



GRAPHIC OVERALL PLAN NTS



LUMINAIRE SYMBOL LEGEND

- 25' AREA LIGHT - DOUBLE HEAD
- 25' AREA LIGHT - SINGLE HEAD
- 25' AREA LIGHT - SINGLE HEAD + 16' PEDESTRIAN AREA LIGHT - SINGLE HEAD
- 16' PEDESTRIAN AREA LIGHT - SINGLE HEAD
- 16' PEDESTRIAN POLE

CALCULATION COLOR KEY

- ≤ 0.0 TO ≥ 0.4
- ≤ 0.5 TO ≥ 0.9
- ≤ 1.0 TO ≥ 5

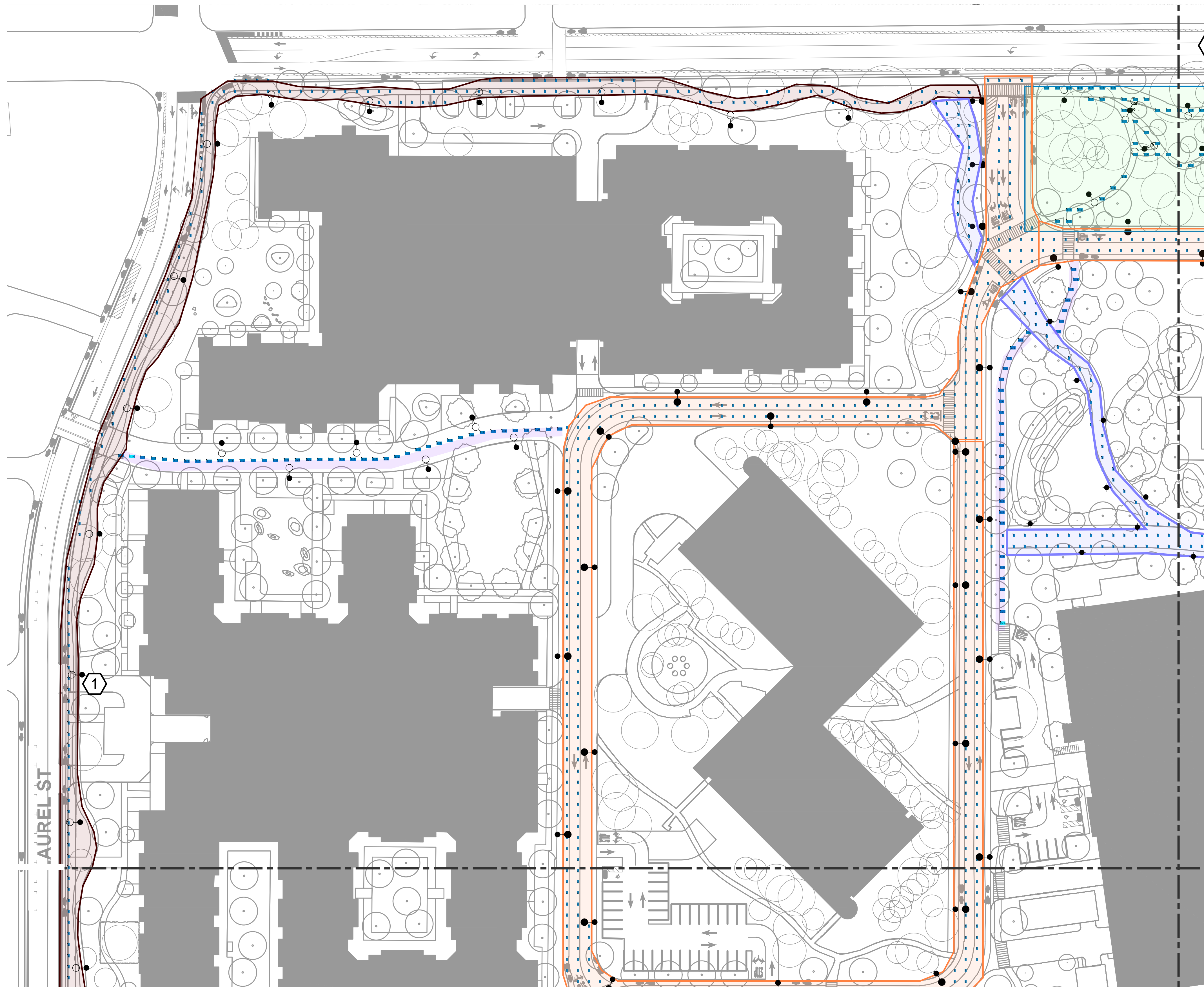
CALCULATION SUMMARY

Label	Avg	Max	Min	Avg/Min
Central Commons Primary Path	1.16	4	1	1.2
Private Road	1.79	4	1	1.8
Public Street Pedestrian Path	1.88	3	1	1.9
Ravenwood Ave Parklet	2.32	4.9	0.6	3.9
Secondary Paths	1.61	4	0.6	2.8

NOTES:

1. PUBLIC STREET LIGHTING PROVIDED BY OTHERS REFER TO SHEET G5.60 THROUGH SHEET G5.68.
2. PARK LIGHTING TO BE DETERMINED BASED ON FUTURE PROGRAMMING.

SCALE : 1" = 100'-0"



LUMINAIRE SYMBOL LEGEND

- 25' AREA LIGHT - DOUBLE HEAD
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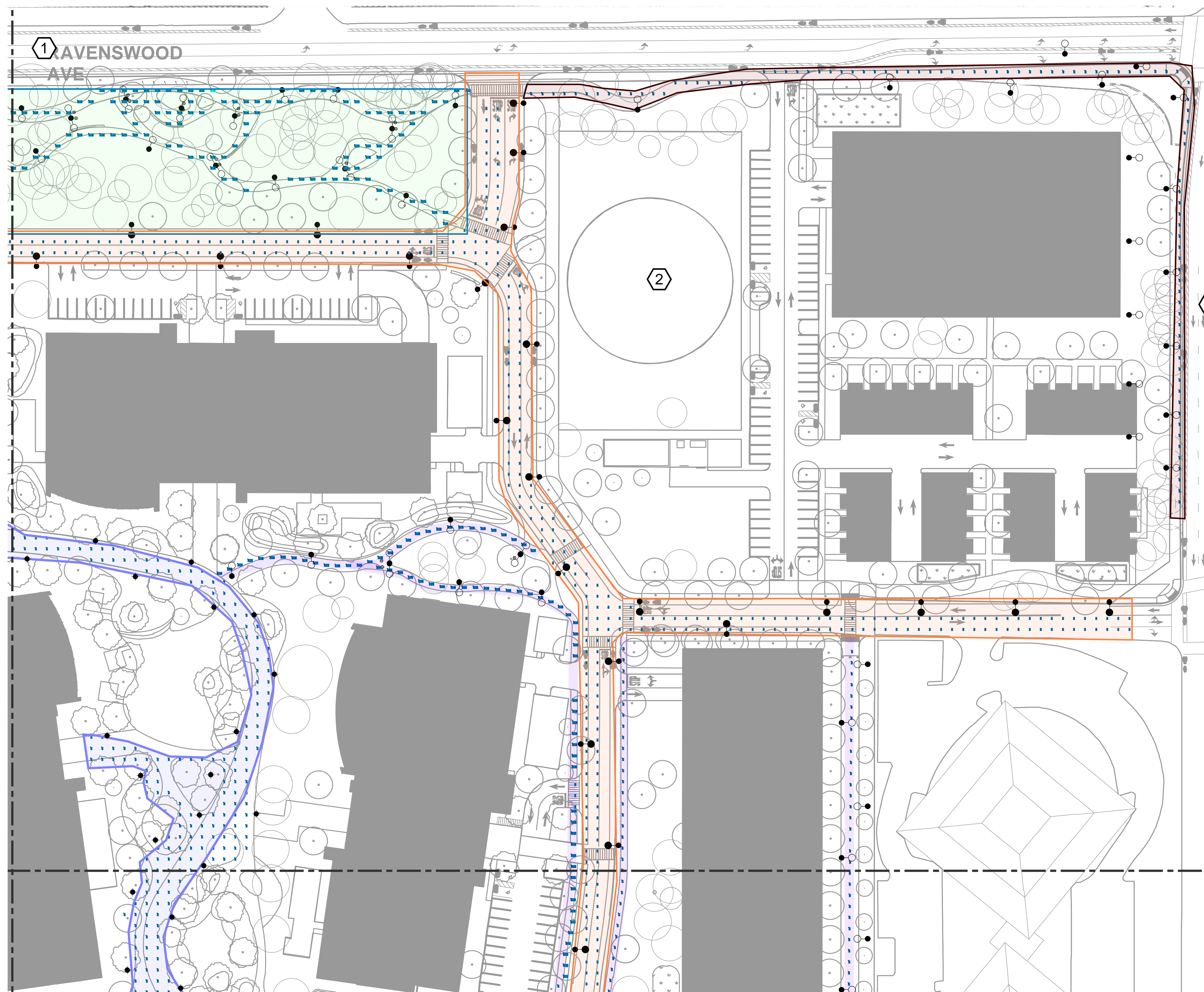
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NOTES:

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SCALE : 1" = 50'-0"



LUMINAIRE SYMBOL LEGEND

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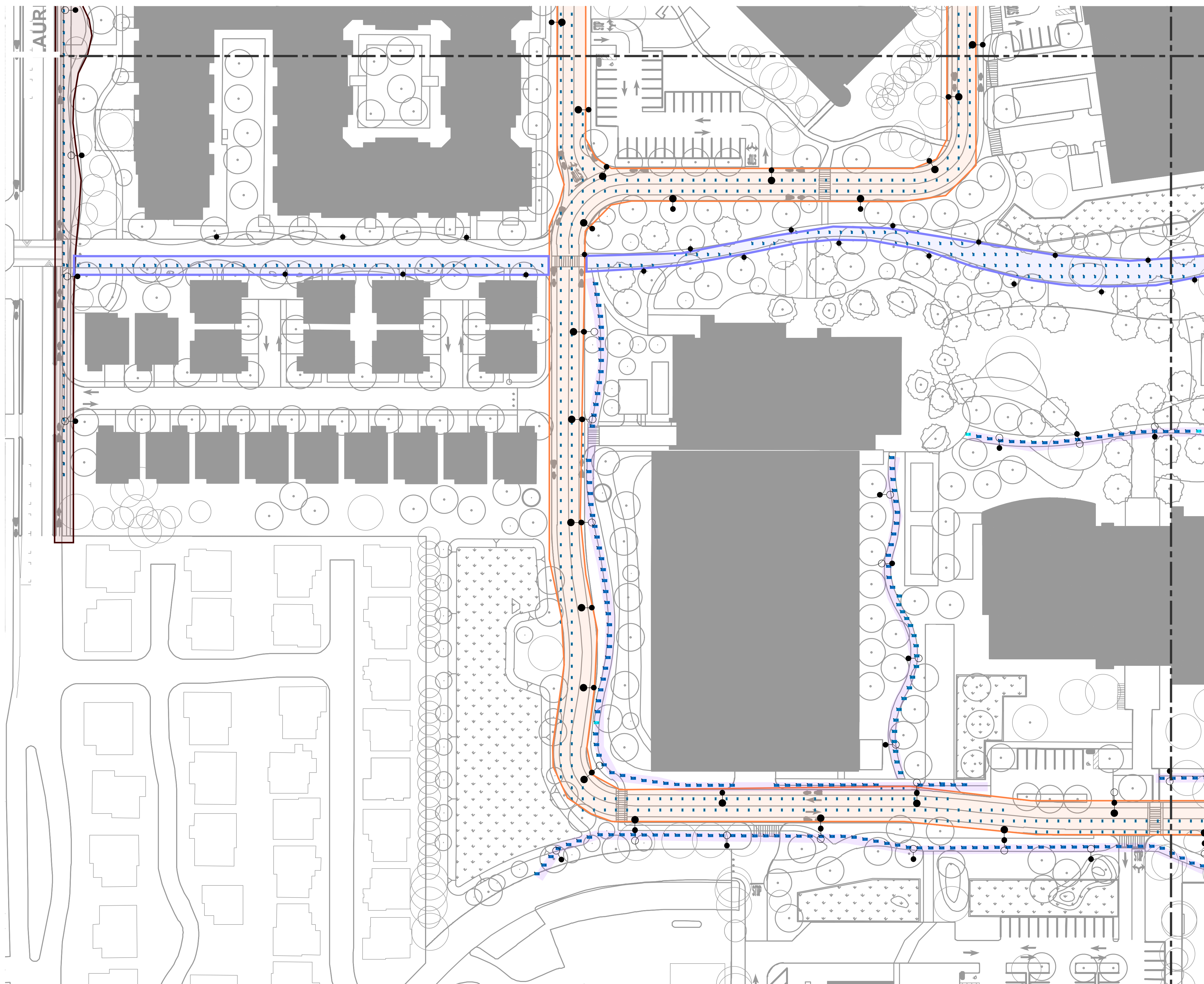
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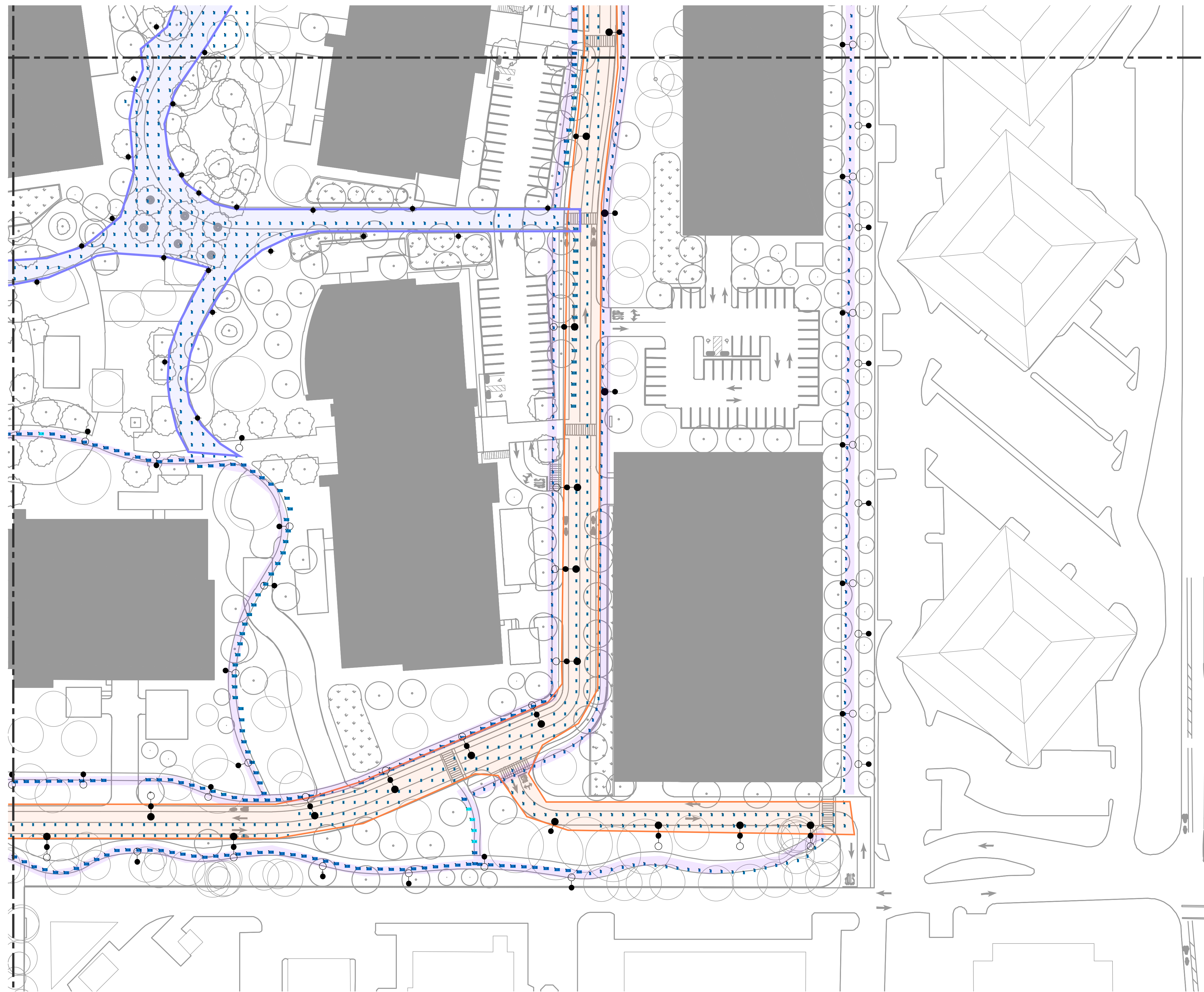
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NOTES:

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SCALE : 1" = 50'-0"



MANUFACTURER: LANDSCAPE FORMS
MODEL SERIES: SLOPE AREA LIGHT
POLE HEIGHT: 25'-0"
TYPICAL O.C. SPACING: 85'-0"
CONDITION: ROADWAY



MANUFACTURER: LANDSCAPE FORMS
MODEL SERIES: SLOPE AREA LIGHT
POLE HEIGHT: 25'-0"
TYPICAL O.C. SPACING: 85'-0"
CONDITION: ROADWAY



MANUFACTURER: LANDSCAPE FORMS
MODEL SERIES: SLOPE AREA LIGHT
POLE HEIGHT: 25'-0"
TYPICAL O.C. SPACING: 85'-0"
CONDITION: ROADWAY
 ADJACENT TO
 PEDESTRIAN PATH



MANUFACTURER: LANDSCAPE FORMS
MODEL SERIES: SLOPE AREA LIGHT
POLE HEIGHT: 16'-0"
TYPICAL O.C. SPACING: 65'-0"
CONDITION: SECONDARY
 PEDESTRIAN PATH



MANUFACTURER: LANDSCAPE FORMS
MODEL SERIES: MOTIVE AREA LIGHT
POLE HEIGHT: 16'-0"
TYPICAL O.C. SPACING: 55'-0"
CONDITION: PRIMARY
 PEDESTRIAN PATH



POLES WITH AIMMABLE FLOOD LIGHTS



UNDER BENCH ACCENT



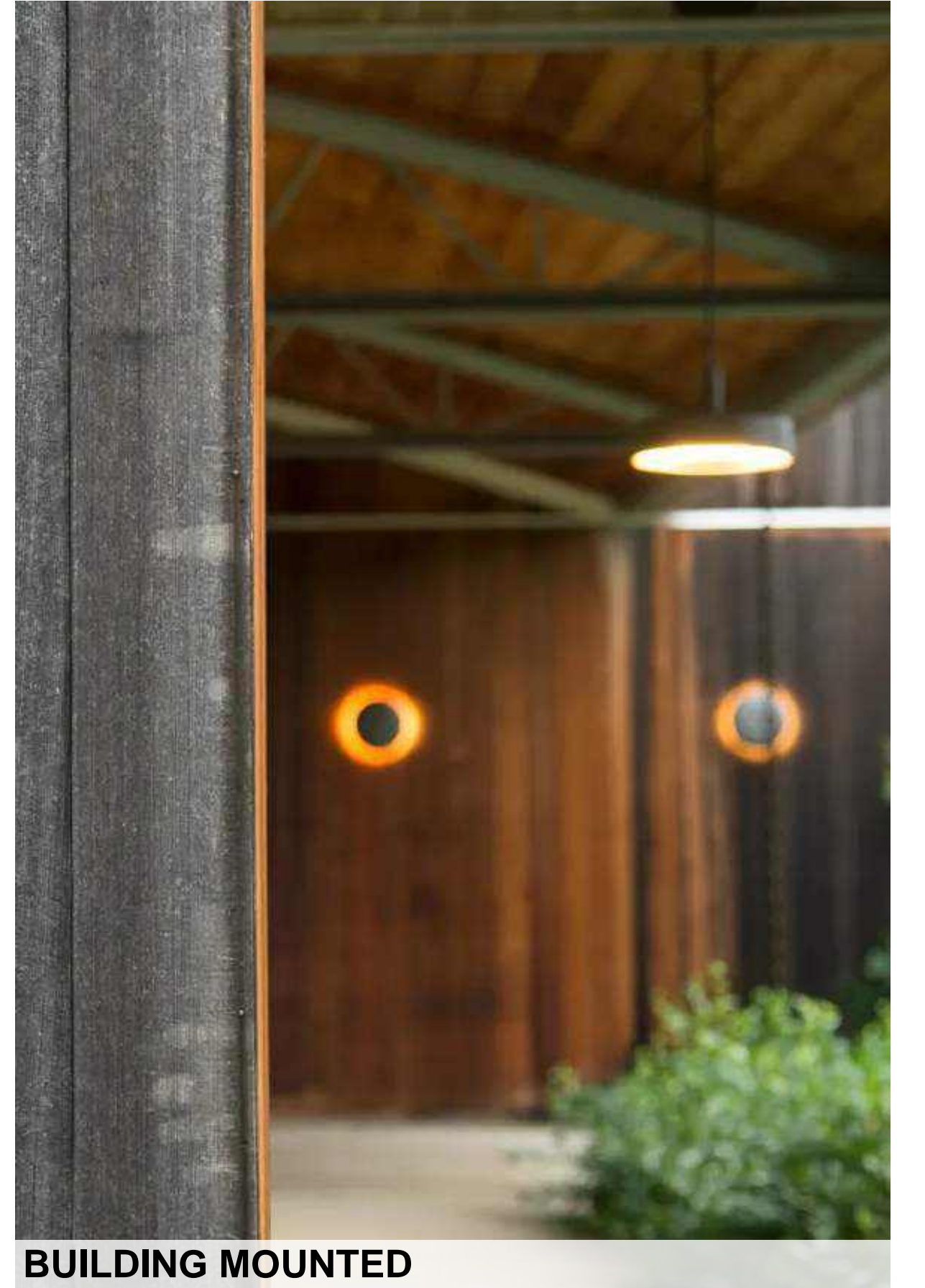
CATENARY



BOLLARD



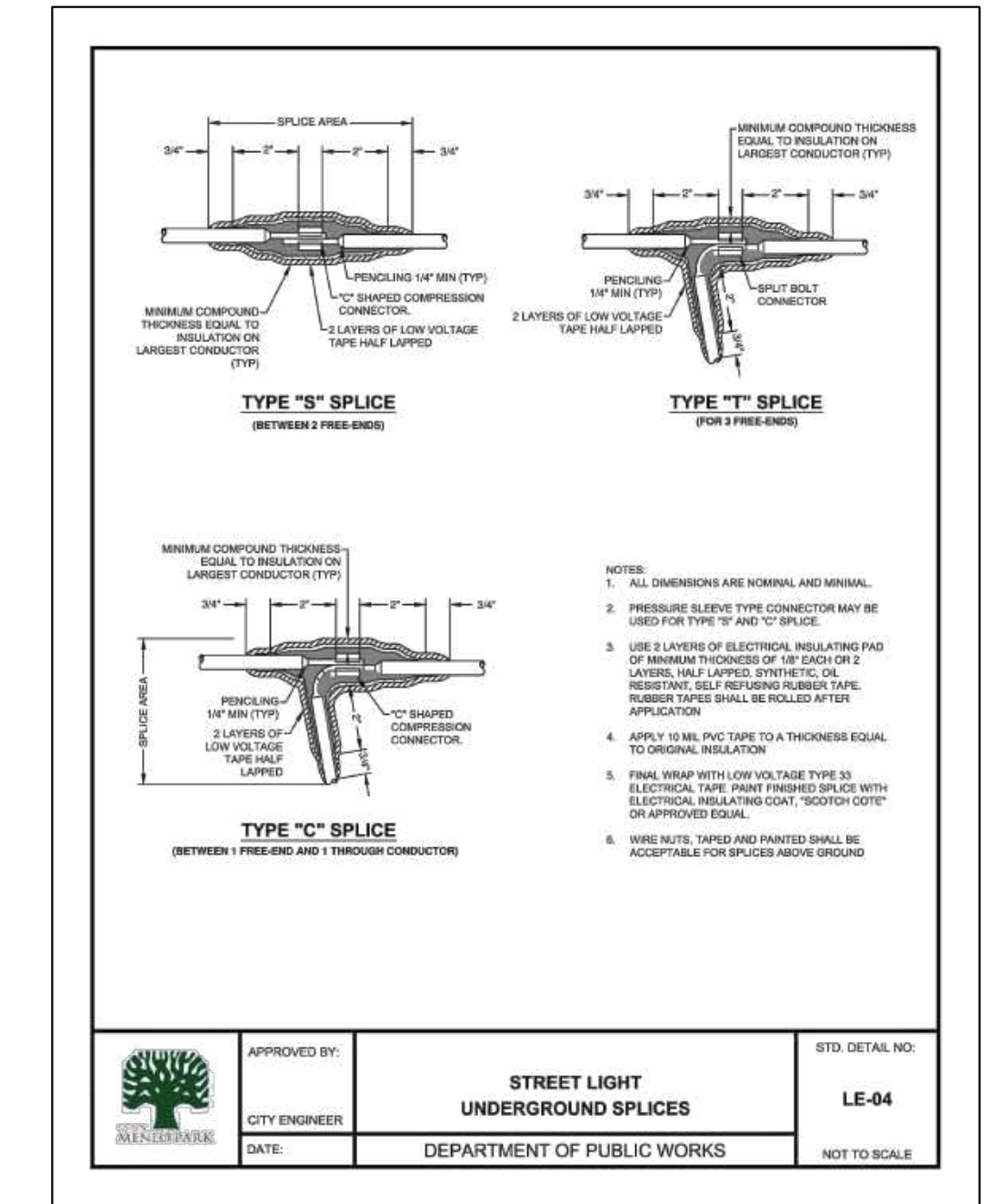
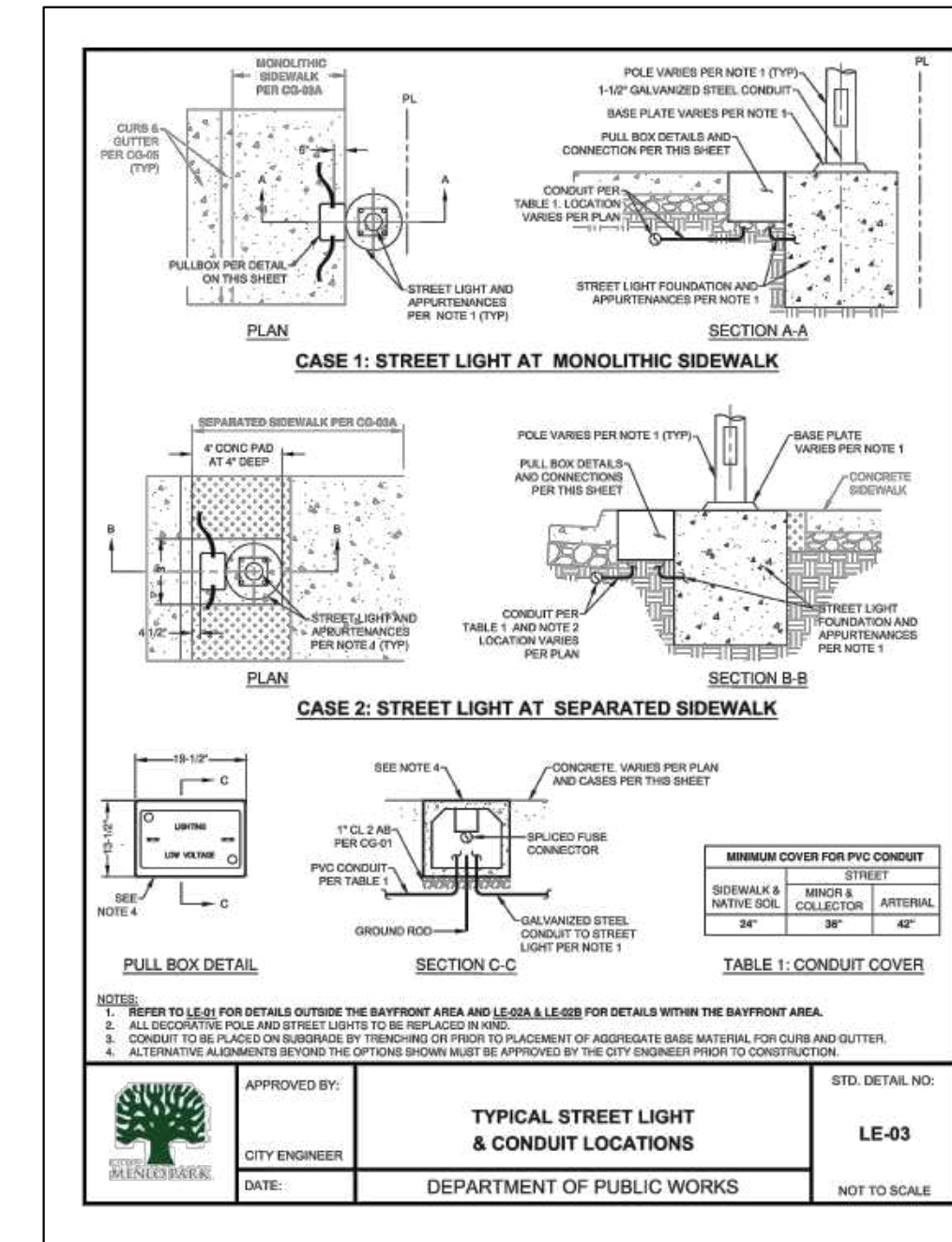
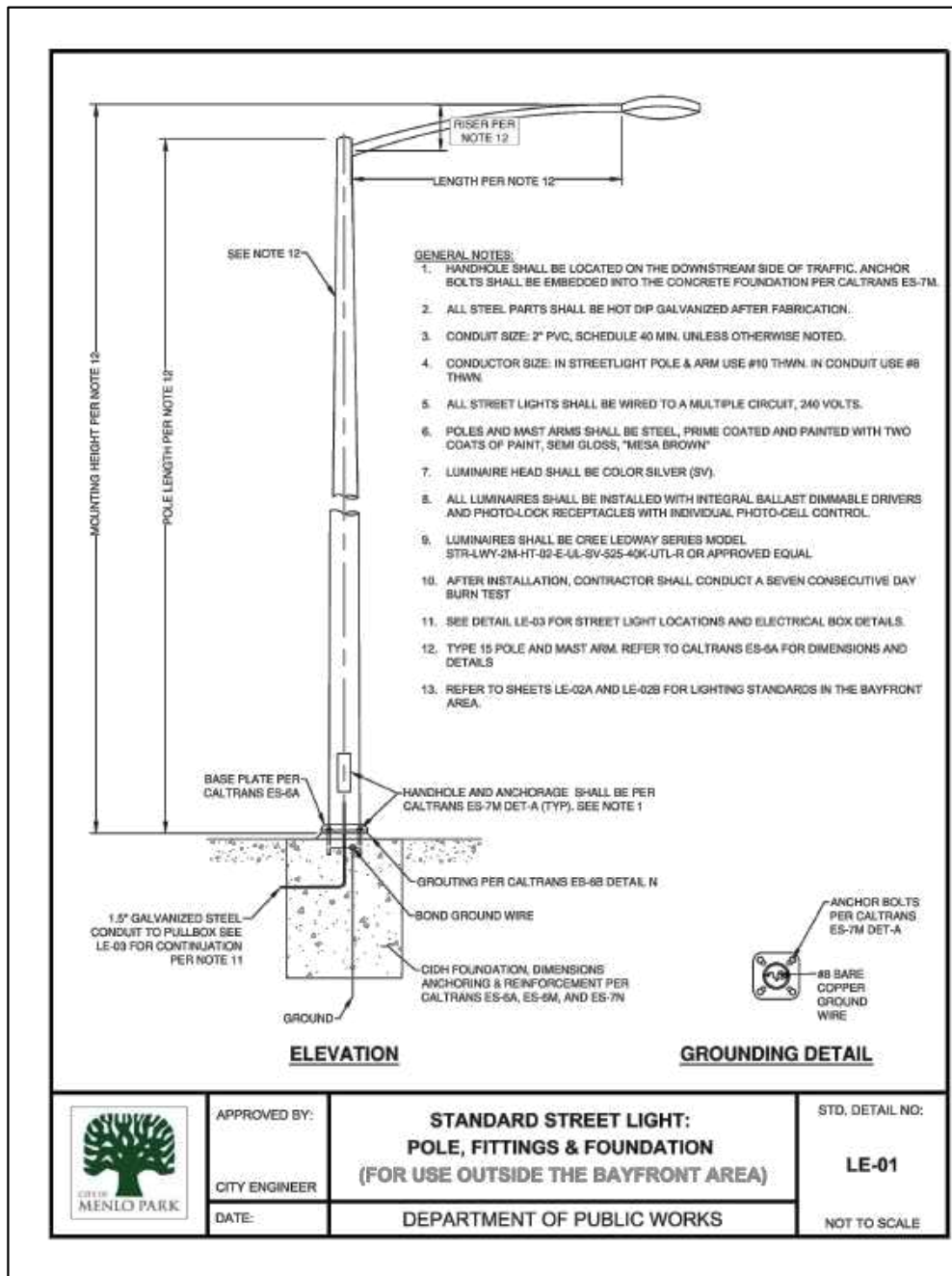
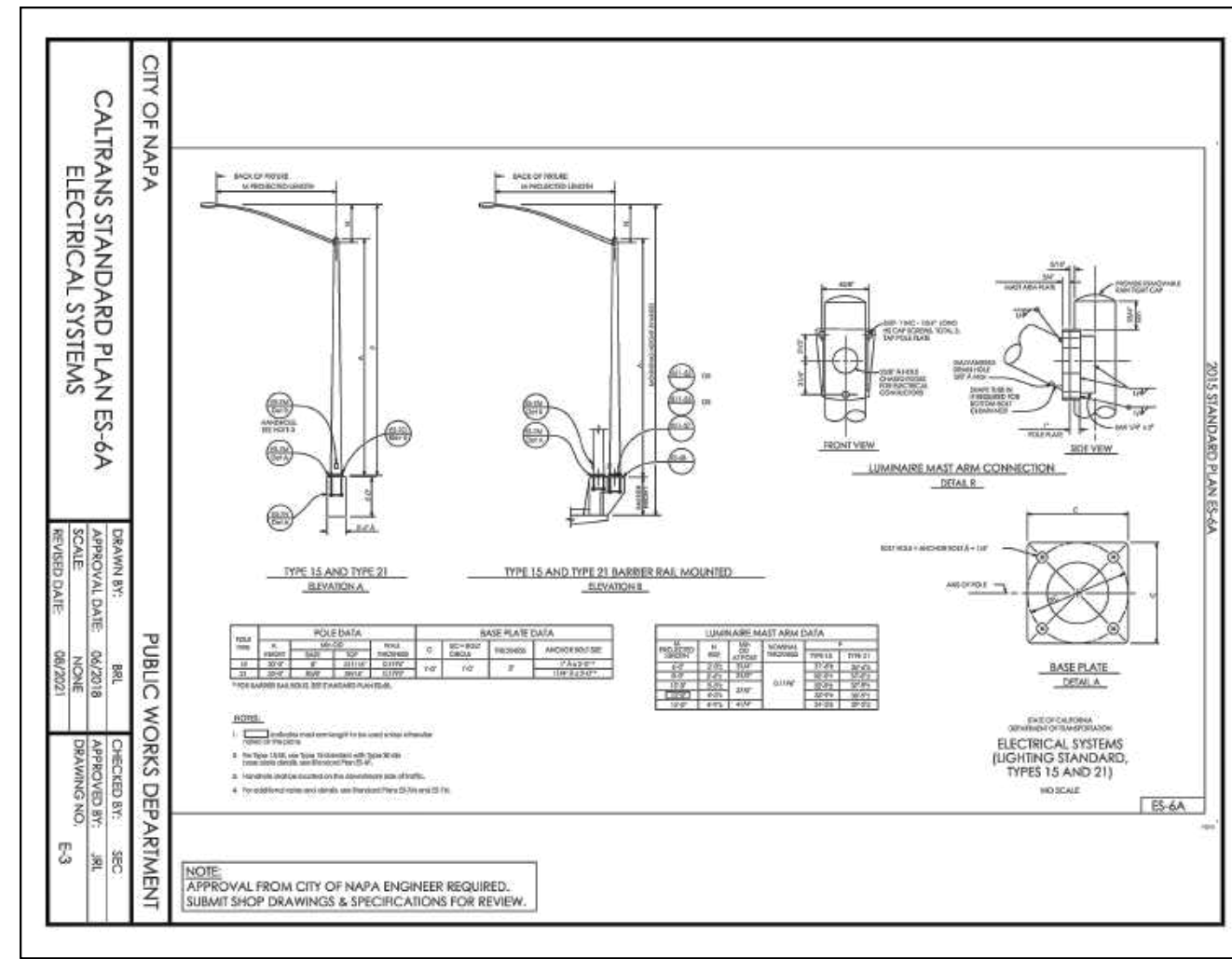
TREE UPLIGHTING



BUILDING MOUNTED



VICINITY MAP
N. T. S.



Specification Sheet Milenia™ M730 Large Mount

Product Name: Milenia™ M730 Large Mount

Type: Catalog / Part Number

7 Year Warranty

Description: The Milenia™ M730 Large Mount luminaire is a high-performance, long-life lighting fixture. It features a die-cast aluminum housing and a high-quality lens. The luminaire is designed for use in a variety of applications, including street lighting, parking lots, and industrial facilities.

Finish: Black, White, Silver, Bronze, Custom

Options: CCT (Color Temp), CCT (Color Temp), CCT (Color Temp), CCT (Color Temp), CCT (Color Temp)

Optical Data: Beam Spread, Illuminance, Footcandle

Physical Data: Height, Width, Depth, Weight

Warranty: 7 Year Limited Warranty

Specification Sheet Milenia™ M730 Large Mount

Certifications: UL Listed, ETL Listed, CE Marked

Light Source: LED, CCT (Color Temp), CCT (Color Temp), CCT (Color Temp)

Optical Data: Beam Spread, Illuminance, Footcandle

Physical Data: Height, Width, Depth, Weight

Warranty: 7 Year Limited Warranty

Specification Sheet Milenia™ M730 Large Mount

How to Order: Luminaire, Mount, Finish, Options

Notes: Luminaire, Mount, Finish, Options

Warranty: 7 Year Limited Warranty

Specification Sheet Milenia™ M730 Large Mount

How to Order: Luminaire, Mount, Finish, Options

Notes: Luminaire, Mount, Finish, Options

Warranty: 7 Year Limited Warranty

Specification Sheet Milenia™ M730 Large Mount

How to Order: Luminaire, Mount, Finish, Options

Notes: Luminaire, Mount, Finish, Options

Warranty: 7 Year Limited Warranty

LEDway® Series Cree Lighting, Cree Lighting, Cree Lighting

Product Description: LEDway Series luminaire is a high-performance, long-life lighting fixture. It features a die-cast aluminum housing and a high-quality lens. The luminaire is designed for use in a variety of applications, including street lighting, parking lots, and industrial facilities.

Performance Summary: Luminaire, Mount, Finish, Options

Physical Data: Height, Width, Depth, Weight

Warranty: 7 Year Limited Warranty

LEDway® Series Cree Lighting, Cree Lighting, Cree Lighting

Product Description: LEDway Series luminaire is a high-performance, long-life lighting fixture. It features a die-cast aluminum housing and a high-quality lens. The luminaire is designed for use in a variety of applications, including street lighting, parking lots, and industrial facilities.

Performance Summary: Luminaire, Mount, Finish, Options

Physical Data: Height, Width, Depth, Weight

Warranty: 7 Year Limited Warranty

UTILITIES PLEASE CONFIRM TIE IN LOCATIONS

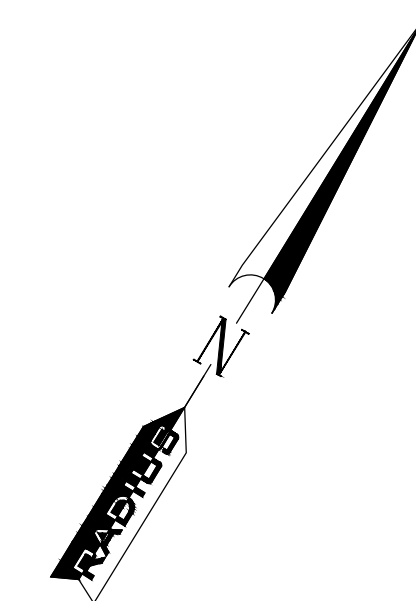
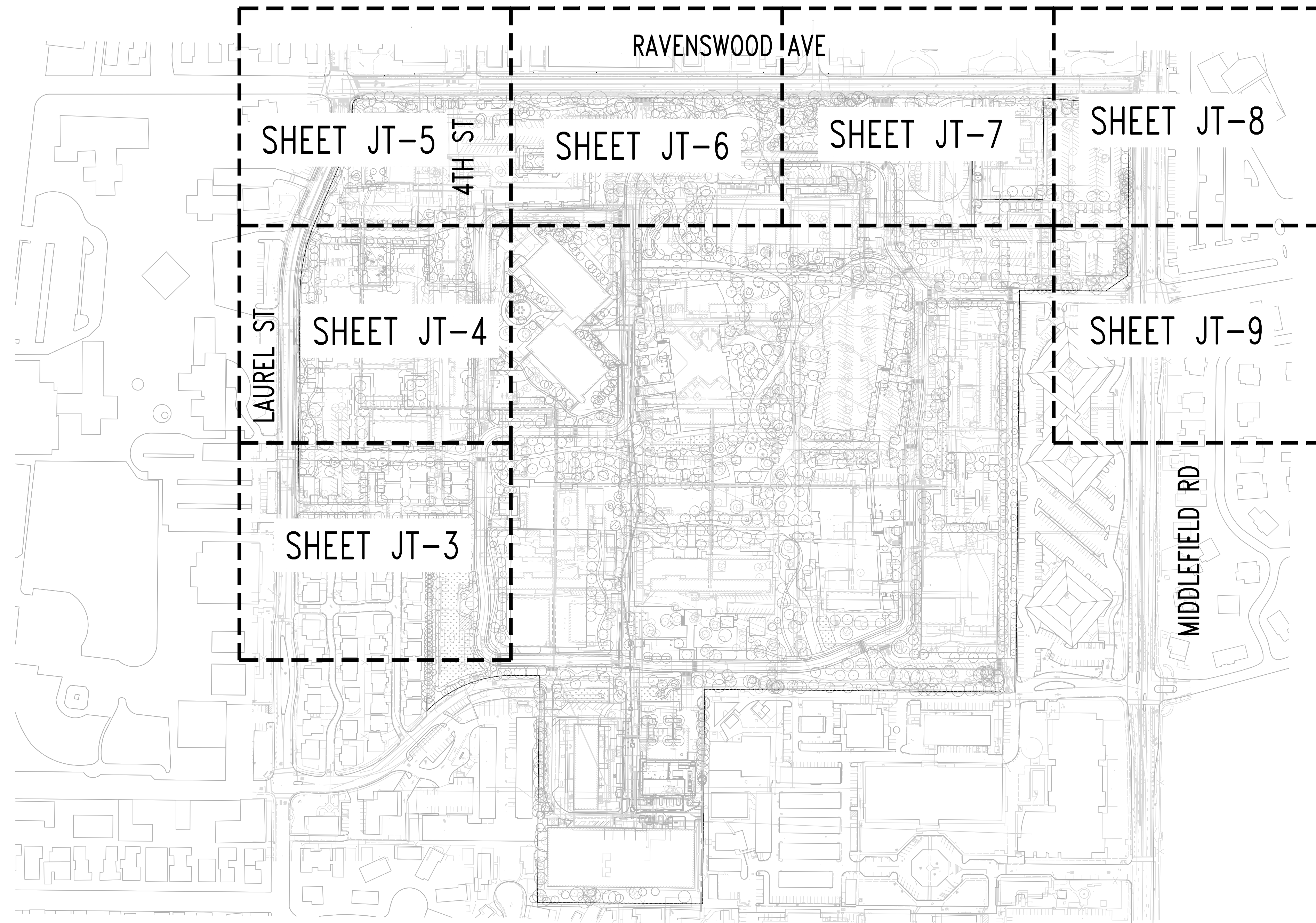
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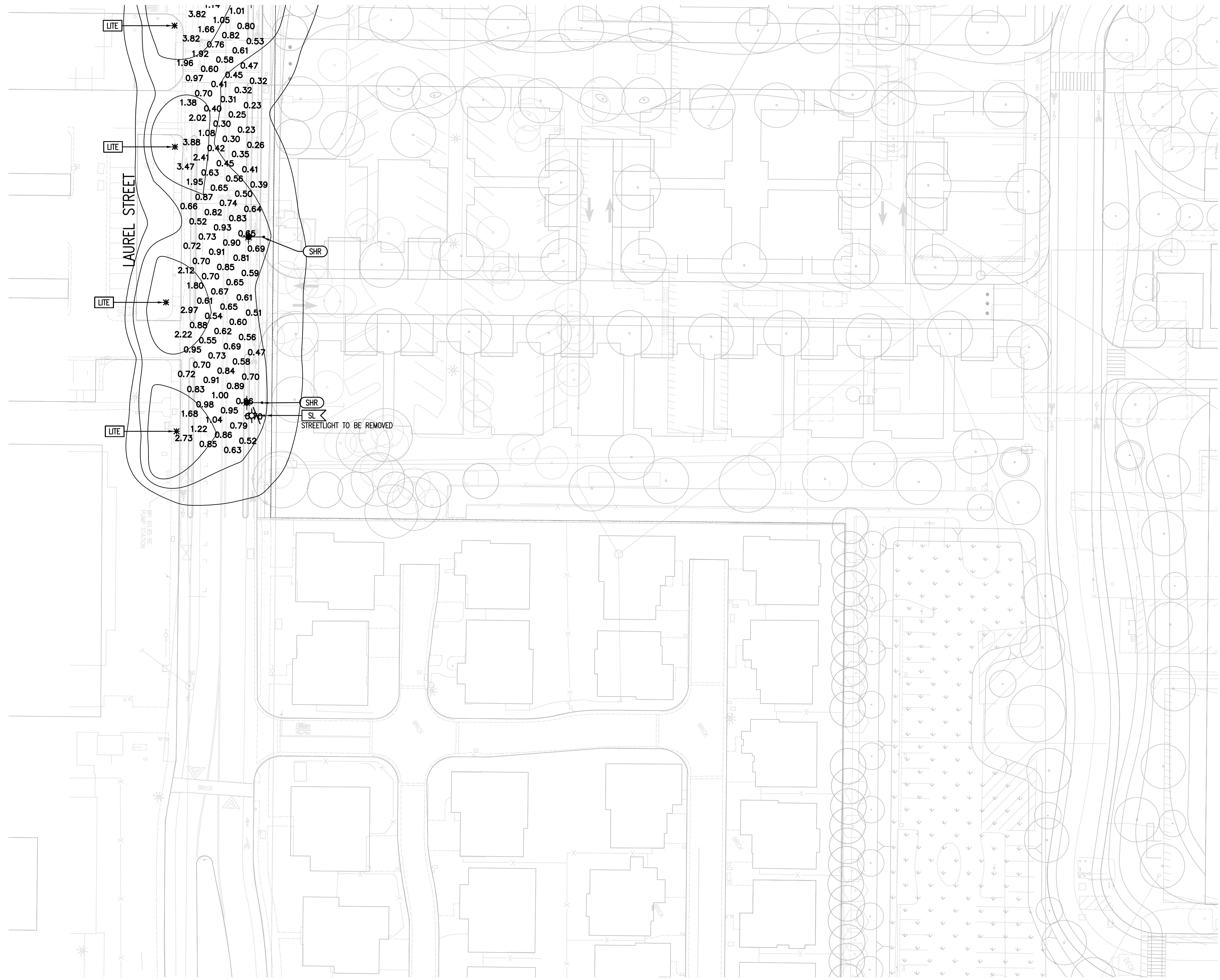


SHEET INDEX	
G5.60	PUBLIC STREET PHOTOMETRIC DETAILS
G5.61	PUBLIC STREET PHOTOMETRIC OVERALL
G5.62-8	PUBLIC STREET PHOTOMETRIC PLAN

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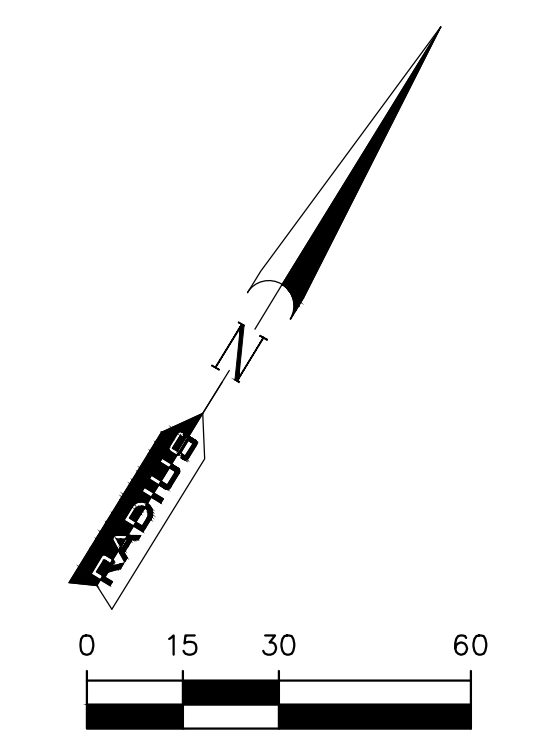


<i>LAUREL STREET</i>	
AVERAGE FOOT-CANDLES	0.84
MAXIMUM FOOT-CANDLES	5.00
MINIMUM FOOT-CANDLES	0.12
MINIMUM TO MAXIMUM FC RATIO	0.02
MAXIMUM TO MINIMUM FC RATIO	42.47
AVERAGE TO MINIMUM FC RATIO	7.15

LUMINAIRE SCHEDULE

CALLOUT	SYMBOL	DESCRIPTION	NEW/EXISTING	MODEL	VOLTS	NOTE 3	QUANTITY	DEFAULT ELEVATION	LAMP DEPRECIATION	ARM LENGTH
LITE	☼	CANDELA, 48 LED LUMINAIRE, 350mA, 3000K, TYPE 2, CLEAR LENS	ELECTRONIC	SANTACOLE, CLF-48-A-1-TII	120V 1P 2W		9	14'	0.7	0
SHR	☼	Ledway Ottica TS 20Led@700mA Gen F	ELECTRONIC	CREE Lighting International, LXD-TS-#-02-F-40_49W	120V 1P 2W	CREE Lighting International 29 Oct 2021 29 Oct 2021 0.004657 Absolute Photometry	40	31'-6"	0.7	2-5
SL	☼	CONFIGURED FROM 60 LED Type II Medium Optic, 700mA 4000K LEDway Streetlight	ELECTRONIC	CREE, INC., STR-LWY-2M-**-02-E-UL-700-40K (700mA) CONFIGURED FROM STR-LWY-2M-**-06-E-UL-700-40K or BXSL*206E-UD7 (700mA)	120V 1P 2W	INDEPENDENT TESTING LABORATORIES, INC. 05/14/13 3830	15	31'-6"	0.7	6

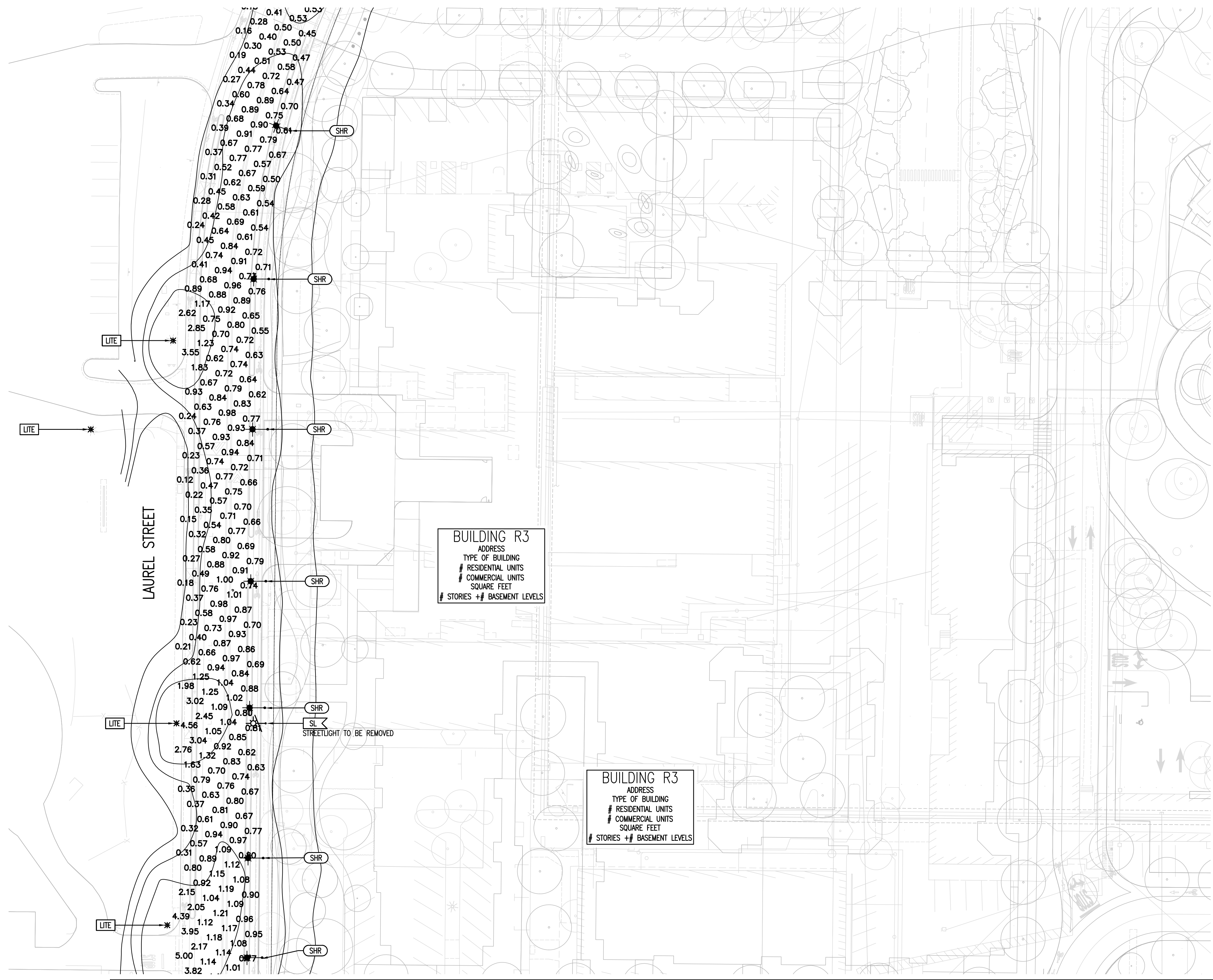
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LAUREL STREET

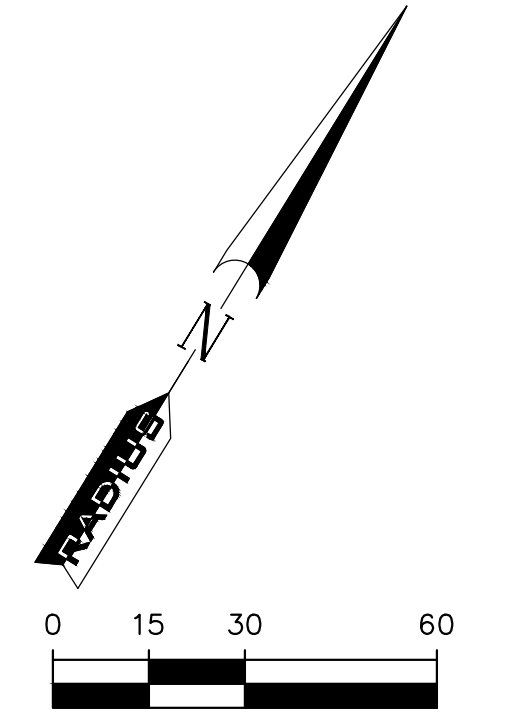
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LUMINAIRE SCHEDULE

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SHR	☼	Ledway Ottica TS 20Led@700mA Gen F	ELECTRONIC	CREE Lighting International, LXD-TS-#-02-F-40_49W	120V 1P 2W	CREE Lighting International 29 Oct 2021 29 Oct 2021 0.004657 Absolute Photometry	40	31'-6"	0.7	2-5
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SHEET INDEX

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G5.61	PUBLIC STREET PHOTOMETRIC OVERALL
G5.62-8	PUBLIC STREET PHOTOMETRIC PLAN

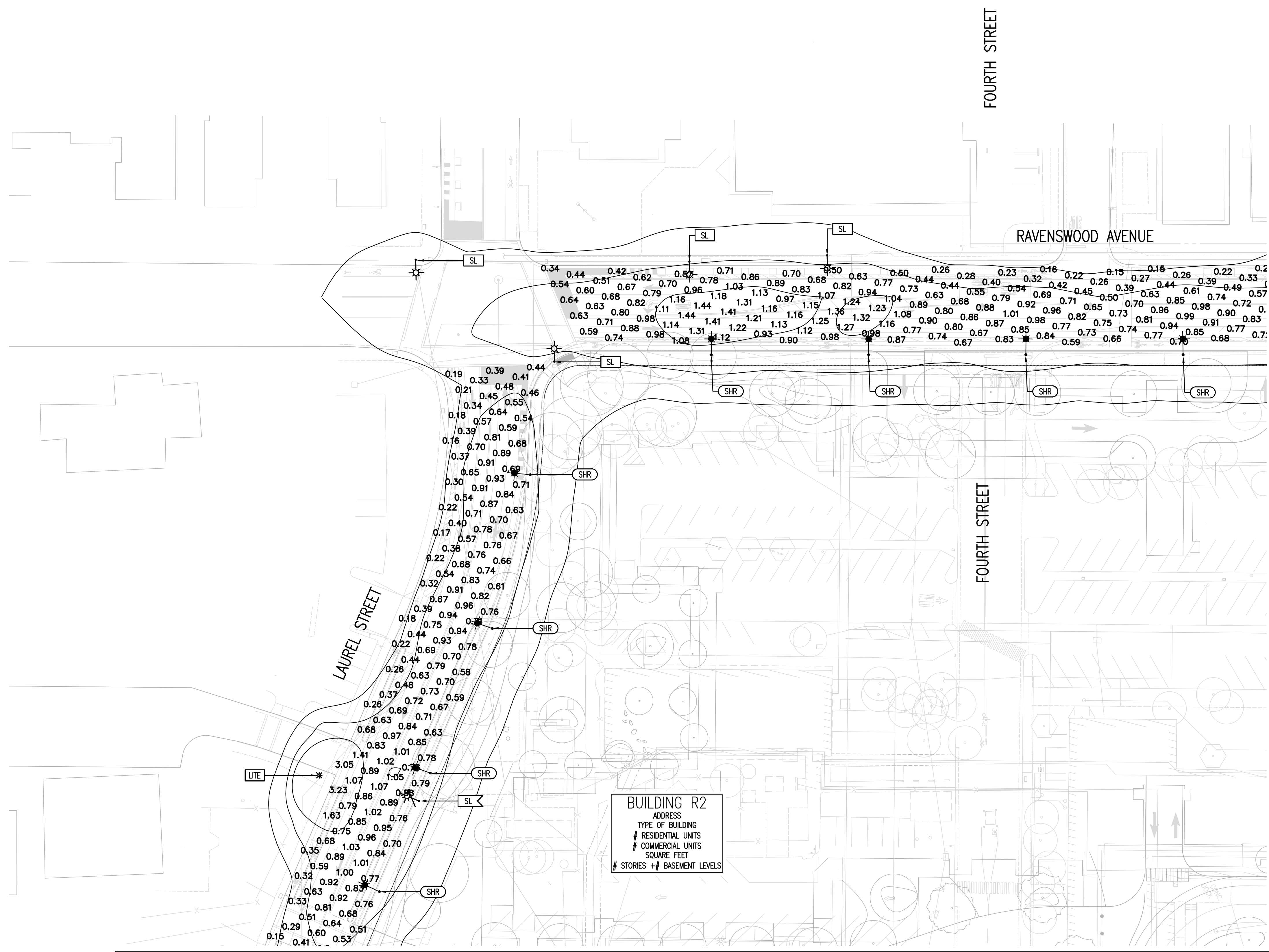


RADIUS DESIGN
UTILITY DESIGN CONSULTANTS & ENGINEERS
201 N CIVIC DRIVE, SUITE 135, WALNUT CREEK, CA 94596
Tel (925) 269-4575

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**UTILITIES
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LAUREL STREET

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MAXIMUM TO MINIMUM FC RATIO	42.47
AVERAGE TO MINIMUM FC RATIO	7.15

RAVENSWOOD AVE

AVERAGE FOOT-CANDLES	0.74
MAXIMUM FOOT-CANDLES	1.44
MINIMUM FOOT-CANDLES	0.09
MINIMUM TO MAXIMUM FC RATIO	0.06
MAXIMUM TO MINIMUM FC RATIO	16.48
AVERAGE TO MINIMUM FC RATIO	8.52

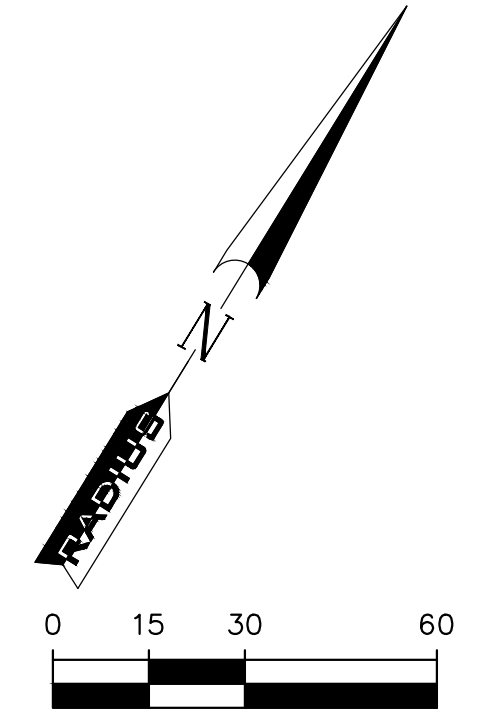
BUILDING R2
ADDRESS
TYPE OF BUILDING
RESIDENTIAL UNITS
COMMERCIAL UNITS
SQUARE FEET
STORIES + # BASEMENT LEVELS

LUMINAIRE SCHEDULE

CALLOUT	SYMBOL	DESCRIPTION	NEW/EXISTING	MODEL	VOLTS	NOTE 3	QUANTITY	DEFAULT ELEVATION	LAMP DEPRECIATION	ARM LENGTH
LITE	☼	CANDELA, 48 LED LUMINAIRE, 350mA, 3000K, TYPE 2, CLEAR LENS	ELECTRONIC	SANTACOLE, CLF-48-A-1-TII	120V 1P 2W		9	14'	0.7	0
SHR	☼	Ledway Ottica TS 20Led@700mA Gen F	ELECTRONIC	CREE Lighting International, LXD-TS-#-02-F-40_49W	120V 1P 2W	CREE Lighting International 29 Oct 2021 29 Oct 2021 0.004657 Absolute Photometry	40	31'-6"	0.7	2-5
SL	☼	CONFIGURED FROM 60 LED Type II Medium Optic, 700mA 4000K LEDway Streetlight	ELECTRONIC	CREE, INC., STR-LWY-2M-**-02-E-UL-700-40K (700mA) CONFIGURED FROM STR-LWY-2M-**-06-E-UL-700-40K or BXSL*206E-UD7 (700mA)	120V 1P 2W	INDEPENDENT TESTING LABORATORIES, INC. 05/14/13 3830	15	31'-6"	0.7	6

SHEET INDEX

G5.60	PUBLIC STREET PHOTOMETRIC DETAILS
G5.61	PUBLIC STREET PHOTOMETRIC OVERALL
G5.62-8	PUBLIC STREET PHOTOMETRIC PLAN

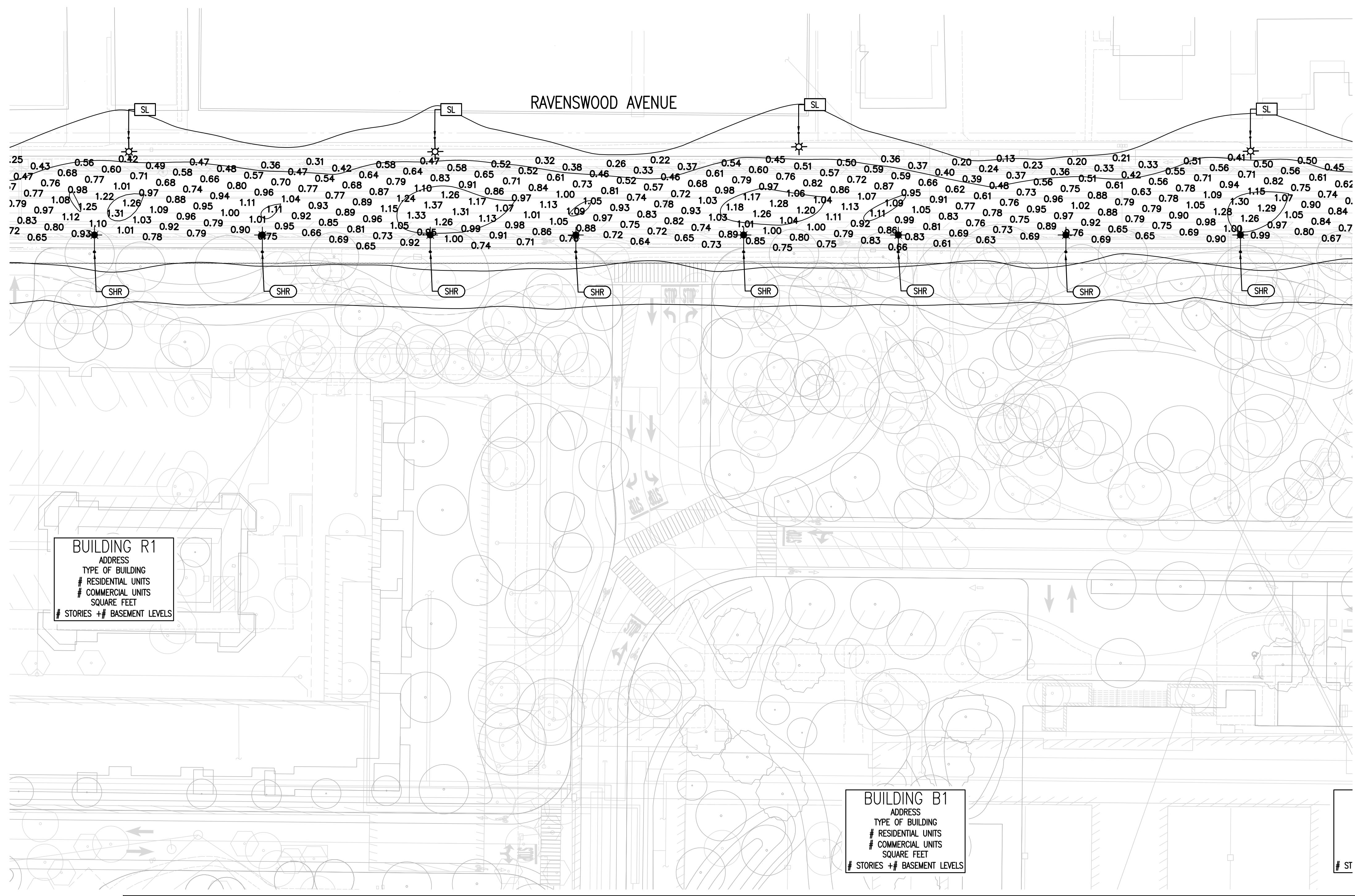


RADIUS DESIGN
UTILITY DESIGN CONSULTANTS & ENGINEERS
201 N CIVIC DRIVE, SUITE 135, WALNUT CREEK, CA 94596
Tel (925) 269-4575

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THIS DRAWING HAS NOT YET BEEN REVIEWED BY
UTILITY COMPANIES AND IS SUBJECT TO CHANGE.**

**UTILITIES
PLEASE CONFIRM
TIE IN LOCATIONS**



**RAVENSWOOD
AVE**

AVERAGE FOOT-CANDLES	0.74
MAXIMUM FOOT-CANDLES	1.44
MINIMUM FOOT-CANDLES	0.09
MINIMUM TO MAXIMUM FC RATIO	0.06
MAXIMUM TO MINIMUM FC RATIO	16.48
AVERAGE TO MINIMUM FC RATIO	8.52

BUILDING R1
ADDRESS
TYPE OF BUILDING
RESIDENTIAL UNITS
COMMERCIAL UNITS
SQUARE FEET
STORIES + # BASEMENT LEVELS

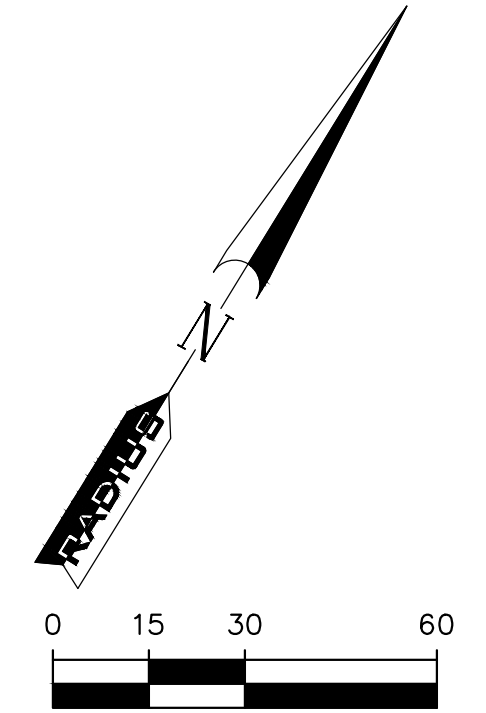
BUILDING B1
ADDRESS
TYPE OF BUILDING
RESIDENTIAL UNITS
COMMERCIAL UNITS
SQUARE FEET
STORIES + # BASEMENT LEVELS

LUMINAIRE SCHEDULE

CALLOUT	SYMBOL	DESCRIPTION	NEW/EXISTING	MODEL	VOLTS	NOTE 3	QUANTITY	DEFAULT ELEVATION	LAMP DEPRECIATION	ARM LENGTH
LITE	☼	CANDELA, 48 LED LUMINAIRE, 350mA, 3000K, TYPE 2, CLEAR LENS	ELECTRONIC	SANTACOLE, CLF-48-A-1-TII	120V 1P 2W		9	14'	0.7	0
SHR	☼	Ledway Ottica TS 20Led@700mA Gen F	ELECTRONIC	CREE Lighting International, LXD-TS-#-02-F-40_49W	120V 1P 2W	CREE Lighting International 29 Oct 2021 29 Oct 2021 0.004657 Absolute Photometry	40	31'-6"	0.7	2-5
SL	☼	CONFIGURED FROM 60 LED Type II Medium Optic, 700mA 4000K LEDway Streetlight	ELECTRONIC	CREE, INC., STR-LWY-2M-**-02-E-UL-700-40K (700mA) CONFIGURED FROM STR-LWY-2M-**-06-E-UL-700-40K or BXSL*206E-UD7 (700mA)	120V 1P 2W	INDEPENDENT TESTING LABORATORIES, INC. 05/14/13 3830	15	31'-6"	0.7	6

SHEET INDEX

G5.60	PUBLIC STREET PHOTOMETRIC DETAILS
G5.61	PUBLIC STREET PHOTOMETRIC OVERALL
G5.62-8	PUBLIC STREET PHOTOMETRIC PLAN

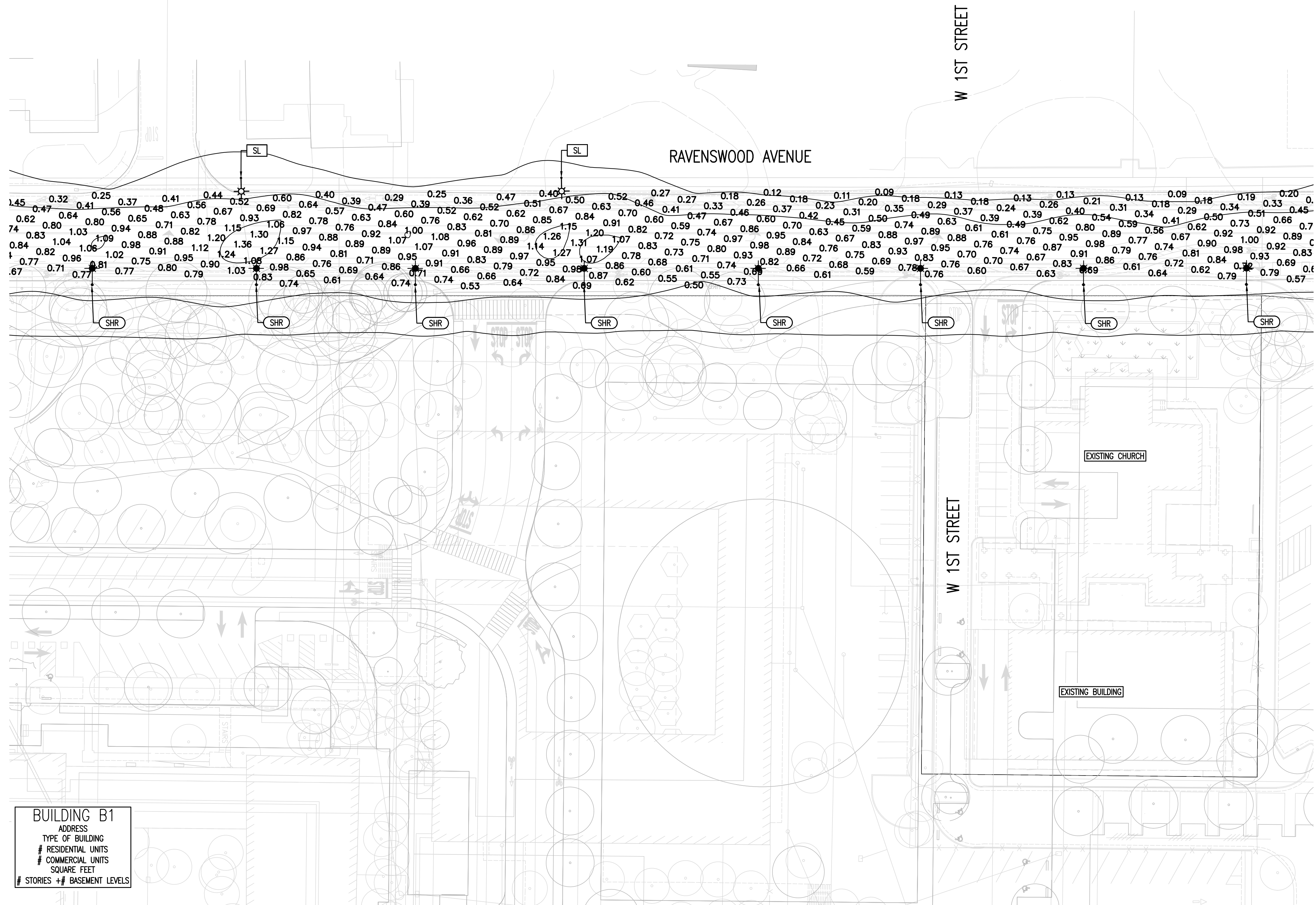


RADIUS DEBIGN
UTILITY DESIGN CONSULTANTS & ENGINEERS
201 N CIVIC DRIVE, SUITE 135, WALNUT CREEK, CA 94596
Tel (925) 269-4575

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**UTILITIES
PLEASE CONFIRM
TIE IN LOCATIONS**



RAVENSWOOD AVE	
AVERAGE FOOT-CANDLES	0.74
MAXIMUM FOOT-CANDLES	1.44
MINIMUM FOOT-CANDLES	0.09
MINIMUM TO MAXIMUM FC RATIO	0.06
MAXIMUM TO MINIMUM FC RATIO	16.48
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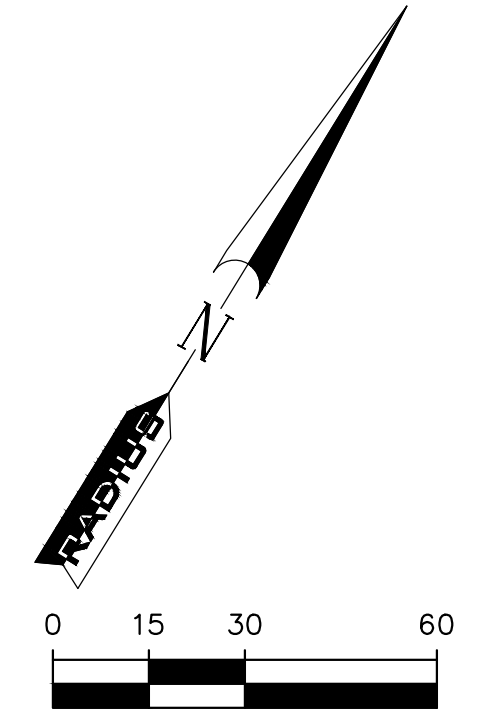
BUILDING B1
ADDRESS
TYPE OF BUILDING
RESIDENTIAL UNITS
COMMERCIAL UNITS
SQUARE FEET
STORIES + # BASEMENT LEVELS

LUMINAIRE SCHEDULE

CALLOUT	SYMBOL	DESCRIPTION	NEW/EXISTING	MODEL	VOLTS	NOTE 3	QUANTITY	DEFAULT ELEVATION	LAMP DEPRECIATION	ARM LENGTH
LITE	☼	CANDELA, 48 LED LUMINAIRE, 350mA, 3000K, TYPE 2, CLEAR LENS	ELECTRONIC	SANTACOLE, CLF-48-A-1-TII	120V 1P 2W		9	14'	0.7	0
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SHEET INDEX

G5.60	PUBLIC STREET PHOTOMETRIC DETAILS
G5.61	PUBLIC STREET PHOTOMETRIC OVERALL
G5.62-8	PUBLIC STREET PHOTOMETRIC PLAN

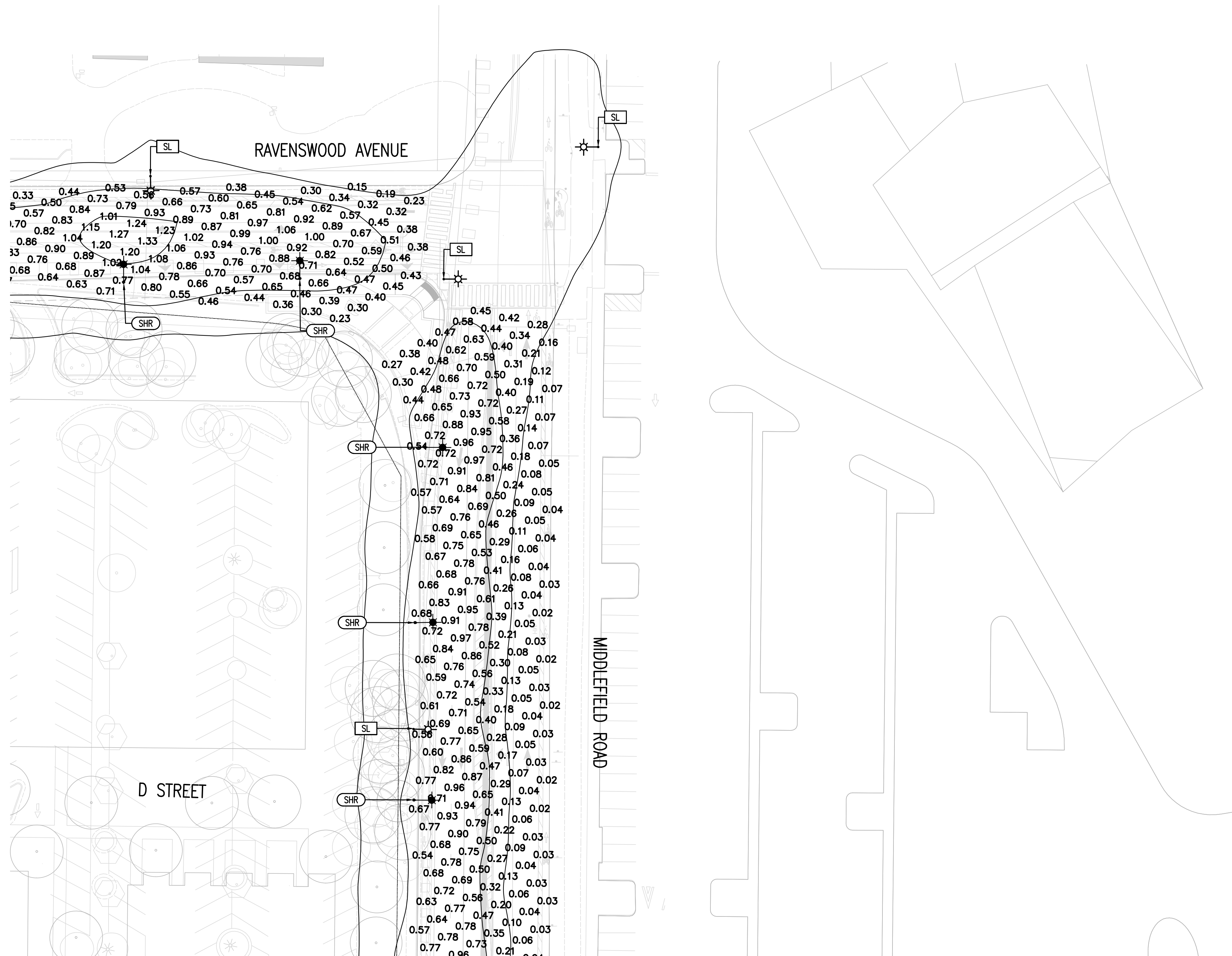


RADIUS DEBIEN
UTILITY DESIGN CONSULTANTS & ENGINEERS
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Tel (925) 269-4575

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TIE IN LOCATIONS**



**RAVENSWOOD
AVE**

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MAXIMUM TO MINIMUM FC RATIO	16.48
AVERAGE TO MINIMUM FC RATIO	8.52

**MIDDLEFIELD
RD**

AVERAGE FOOT-CANDLES	0.48
MAXIMUM FOOT-CANDLES	1.04
MINIMUM FOOT-CANDLES	0.02
MINIMUM TO MAXIMUM FC RATIO	0.02
MAXIMUM TO MINIMUM FC RATIO	56.61
AVERAGE TO MINIMUM FC RATIO	25.86

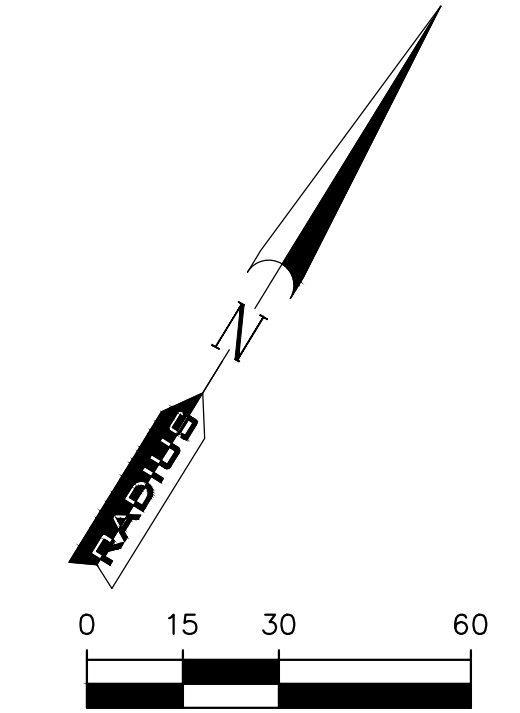
LUMINAIRE SCHEDULE

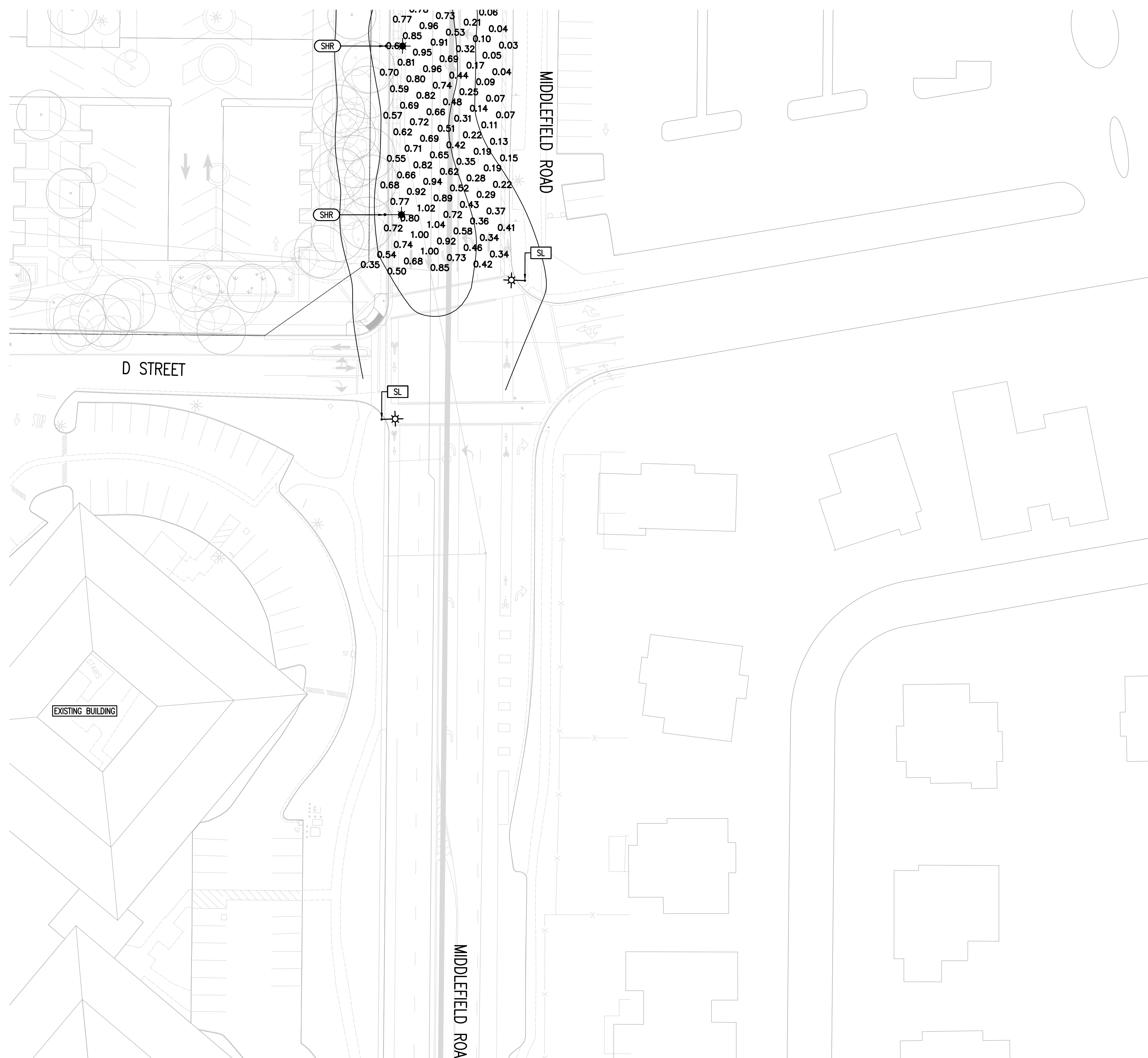
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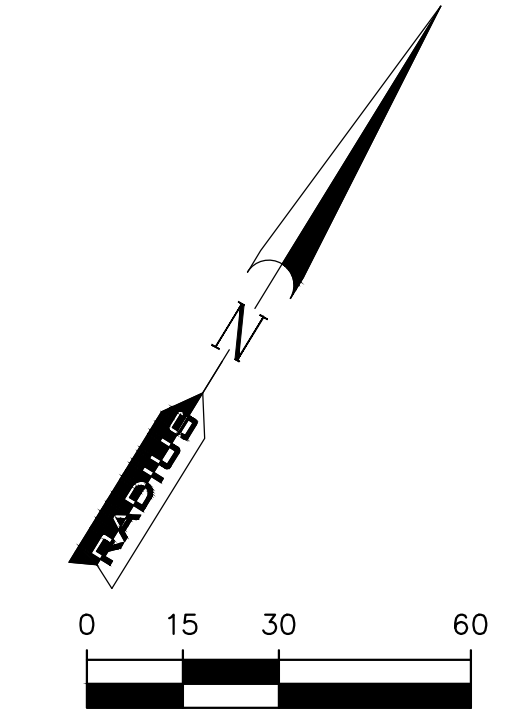
<i>MIDDLEFIELD RD</i>	
AVERAGE FOOT-CANDLES	0.48
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LUMINAIRE SCHEDULE

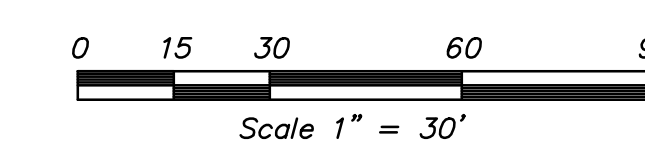
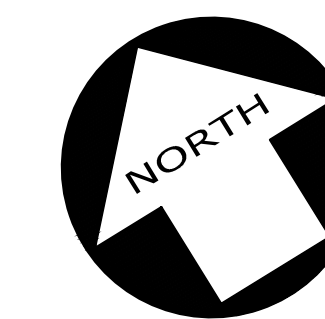
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MIDDLEFIELD ROAD
(PUBLIC ROW 114' WIDTH)



NOTES

- THIS PLOT WAS PREPARED FROM INFORMATION FURNISHED IN A PRELIMINARY TITLE REPORT, PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY DATED AS OF DECEMBER 1, 2020, AMENDED JANUARY 25, 2021, ORDER NUMBER NCS-1043479-SC. NO LIABILITY IS ASSUMED FOR MATTERS OF RECORD NOT STATED IN SAID PRELIMINARY TITLE REPORT THAT MAY AFFECT THE TITLE LINES, OR EXCEPTIONS, OR EASEMENTS OF THE PROPERTY.
- ALL DISTANCES AND ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.
- THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. (A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES), HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS.
- PHYSICAL ITEMS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE ITEMS VISIBLE AS OF THE DATE OF THIS SURVEY. SUBSURFACE STRUCTURES, IF ANY, ARE NOT SHOWN. SAID SUBSURFACE OBJECTS MAY INCLUDE, BUT ARE NOT LIMITED TO, CONCRETE FOOTINGS, SLABS, SHORING, STRUCTURAL PILES, UTILITY VAULTS, PIPING, UNDERGROUND TANKS, AND ANY OTHER SUBSURFACE STRUCTURES NOT REVEALED BY A SURFACE INSPECTION.
- THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR SAN MATEO COUNTY, CALIFORNIA, MAP NUMBER 06081C0308E FOR COMMUNITY NUMBER 060321 (CITY OF MENLO PARK), WITH AN EFFECTIVE DATE OF OCTOBER 16, 2012, 2012, AS BEING LOCATED IN FLOOD ZONE "X". ACCORDING TO FEMA THE DEFINITION OF ZONE "X" IS: AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

FEMA BASE FLOOD ELEVATIONS ARE BASED ON NAVD88 DATUM. SEE BENCHMARK NOTE FOR DATUM CONVERSIONS.
- BENCHMARK:
BM Y150, ELEVATION = 58.45 (NAVD88)
ELEVATIONS SHOWN HEREON ARE BASED ON NAVD88.
- BASIS OF BEARINGS:
THE BEARING OF SOUTH 58° 15' 42" EAST TAKEN ON THE MONUMENT LINE OF MIDDLEFIELD ROAD AS SHOWN ON THAT CERTAIN RECORD OF SURVEY NUMBER 2652 FILED FOR RECORD ON MARCH 12, 2015, IN BOOK 44 OF L.L.S. MAPS AT PAGE 81, OFFICIAL RECORDS OF SAN MATEO COUNTY WAS TAKEN AS THE BASIS FOR ALL BEARINGS SHOWN HEREON.
- CORNER RECORD NOTE:
THE DEVELOPER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREPARATION AND FILING OF PRE-CONSTRUCTION AND POST-CONSTRUCTION CORNER RECORDS FOR ANY MONUMENTS OR PROPERTY CORNERS SHOWN HEREON THAT MAY BE DESTROYED DURING IMPROVEMENTS TO THE SUBJECT PROPERTY AS DEFINED IN SECTION 8771(B) OF THE PROFESSIONAL LAND SURVEYORS ACT.
- THE AERIAL MAPPING WAS PREPARED USING COMPUTER ASSISTED, PHOTOGRAMMETRIC METHODS BY COOPER AERIAL SURVEYS CO., IN PHOENIX ARIZONA, JOB NUMBER A20152. IN AREAS OF DENSE VEGETATION ACCURACY OF CONTOURS MAY DEVIATE FROM ACCEPTED ACCURACY STANDARDS. DATE OF PHOTOGRAPHY 01-11-21. ORIGINAL COMPILED MAP SCALE 1" = 100'. CONTOUR INTERVAL 1 FOOT. THE GRID IS BASED ON PHOTOGRAMMETRIC METHODS COMPILED ON DIGITAL STEREO WORKSTATIONS USING AERIAL PHOTOGRAPHY. CONTROL SURVEY PERFORMED BY KIER & WRIGHT, LIVERMORE, CA.

SEE SHEET 2.1

SEE SHEET 2.2

SEE SHEET 2.3

SEE SHEET 2.4

SEE SHEET 2.5

SEE SHEET 2.6

LEGEND

- ABANDONED UTILITY - PER PLAN
- ASPHALT BERM
- BUILDING LINE
- BARRICADE
- CAST IRON PIPE LINE
- CENTERLINE
- CHILLED WATER LINE
- COMMUNICATION LINE
- COMPRESSED AIR
- CONCRETE/BLOCK WALL
- CONCRETE CURB
- CONCRETE CURB & GUTTER
- DUCTILE IRON PIPE LINE
- DRIVEWAY
- EASERTMENT LINE
- EDGE OF PAVEMENT
- EDGE OF WATER/FLOWLINE
- EDGE OF ROOF
- ELECTRIC LINE
- FENCE LINE
- FIBER OPTICS LINE
- GAS LINE-VALVE & METER
- GUARD RAIL
- JOINT TRENCH LINE
- LOT LINE
- PIPELINE
- MONUMENT/MONUMENT LINE
- OVERHEAD POWER LINE
- PETROLEUM LINE
- PLANT WASTE LINE
- PROPERTY LINE
- RETAINING WALL
- RECLAIMED WATER LINE & VALVE
- SANITARY SEWER LINE-MANHOLE & CLEANOUT
- SANITARY SEWER LINE OVER 24" DIAMETER
- SANITARY SEWER FORCE MAIN LINE
- SIDEWALK
- SPOT ELEVATION
- STORM DRAIN LINE-MANHOLE & CATCH BASIN
- STORM DRAIN LINE OVER 24" DIAMETER
- STREET LIGHT CONDUIT LINE
- STEAM LINE
- TELEPHONE LINE
- TRAFFIC SIGNAL CONDUIT LINE
- CABLE TELEVISION LINE
- UNKNOWN UTILITY LINE
- WATER LINE & VALVE
- WATER LINE OVER 24" DIAMETER
- ACCESSIBLE PARKING SYMBOL
- ANODE
- AREA
- AREA DRAIN
- AUTOMATIC SPRINKLER RISER
- BACKFLOW PREVENTION DEVICE
- BENCHMARK/TEMPORARY BENCHMARK
- BLOCKWALL VALVE
- DOUBLE DETECTOR CHECK VALVE
- ELECTRODE
- FIRE DEPARTMENT CONNECTION
- FIRE HYDRANT
- FLAG POLE
- GAS METER
- GUY ANCHOR
- HOSEBOX
- MAIL BOX
- POST INDICATOR VALVE
- POWER POLE/JUNCTION POLE
- SURVEY CONTROL POINT
- TRANSFORMER
- TRAFFIC SIGNAL POLE
- TRAFFIC SIGN
- UTILITY BOX
- WALK-BOLLARD LIGHT
- WATER VALVE
- WELL

ABBREVIATIONS

AC	ASPHALTIC CONCRETE	HCR	HANDICAP RAMP
AD	AREA DRAIN	IB	IRRIGATION BOX
AFT	ABOVE FINISHED FLOOR	INTX	INTERSECTION
ASR	AUTOMATIC SPRINKLER RISER	L/S	LANDSCAPE
BEG	BEGINNING	LIP	LIP OF GUTTER
BFP	BACK FLOW PREVENTER	LI	LIGHT
BL	BUILDING	MH	MANHOLE
BLDG	BUILDING	MON	MONUMENT
BOL	BOLLARD	OH	OVERHEAD
BR	BOTTOM OF RAMP	PAVR	BRICK PAVERS
BS	BOTTOM OF STEP	PV	POST INDICATOR VALVE
BTM	BOTTOM	POC	POINT ON CURVE
BW	BACK OF WALK	PP	POWER POLE
C.	CONCRETE	PT	POINT
CAB	CABINET	RD	ROAD
CB	CATCH BASIN	RE	RISE ELEVATION
CL	CENTERLINE	ROW	RIGHT OF WAY
CLF	CHAIN LINK FENCE	RR	RAIL ROAD
CO	CLEAN OUT	SAT.	SATELLITE
CONC	CONCRETE	SD	STORM DRAIN
CONC	CONCRETE	SDDC	STORM DRAIN CLEAN OUT
CONST.	CONSTRUCT	SDMH	STORM DRAIN MANHOLE
D/W	DRIVEWAY	SF	SQUARE FEET
DET	DETECTOR	SL	STREET LIGHT
DI	DRAIN INLET	SS	STREET LIGHT BOX
DWY	DRIVEWAY	SS	SANITARY SEWER
EB	ELECTRIC BOX	SSC	SANITARY SEWER CLEAN OUT
EL	ELECTRODE	SSMH	SANITARY SEWER MANHOLE
ELEC	ELECTRICAL	TE	TELEPHONE
EMH	ELECTRICAL MANHOLE	TE	TRASH ENCLOSURE
EP	EDGE OF PAVEMENT	TEL	TELEPHONE MANHOLE
EV	ELECTRIC VAULT	TOP	TOP OF SLOPE
EW	EDGE OF WALK	TR	TREE
FAB	FIRE ALARM BOX	TS	TOP OF SLAB
FC	FACE OF CURB	TSB	TRAFFIC SIGNAL BOX
FD	FOUND	TSP	TRAFFIC SIGNAL POLE
FDC	FIRE DEPARTMENT CONNECTION	TW	TOP OF WALL
FF	FINISH FLOOR	UB	UTILITY BOX
FH	FIRE HYDRANT	UG	UNDERGROUND
FL	FLOW LINE	UV	UTILITY POLE
FNC	FENCE	VG	VALLEY GUTTER
FND	FOUND	WB	WATER BOX
FP	FINISH PAVEMENT	WD	WOOD
FM	FACE OF WALL	WM	WATER METER
GA	GAUGE	WV	WATER VALVE
GB	GRADE BREAK		
GUY	GUY WIRE		
GV	GAS VALVE		

2025.01.31

W 4TH STREET
(A PRIVATE ROW 60' WID)

LAUREL STREET
(PUBLIC ROW 60' WID)

LAUREL STREET
(PUBLIC ROW 60' WID)

BURGESS DRIVE
(PUBLIC ROW 60' WID)

Ryan M. Amato
 PREPARED BY OR UNDER THE SUPERVISION OF
 RYAN M. AMATO P.L.S. 8134
 10/11/2024
 DATE



TOPOGRAPHIC SURVEY
OF
333 RAVENSWOOD AVENUE
FOR
LAND PARTNERS

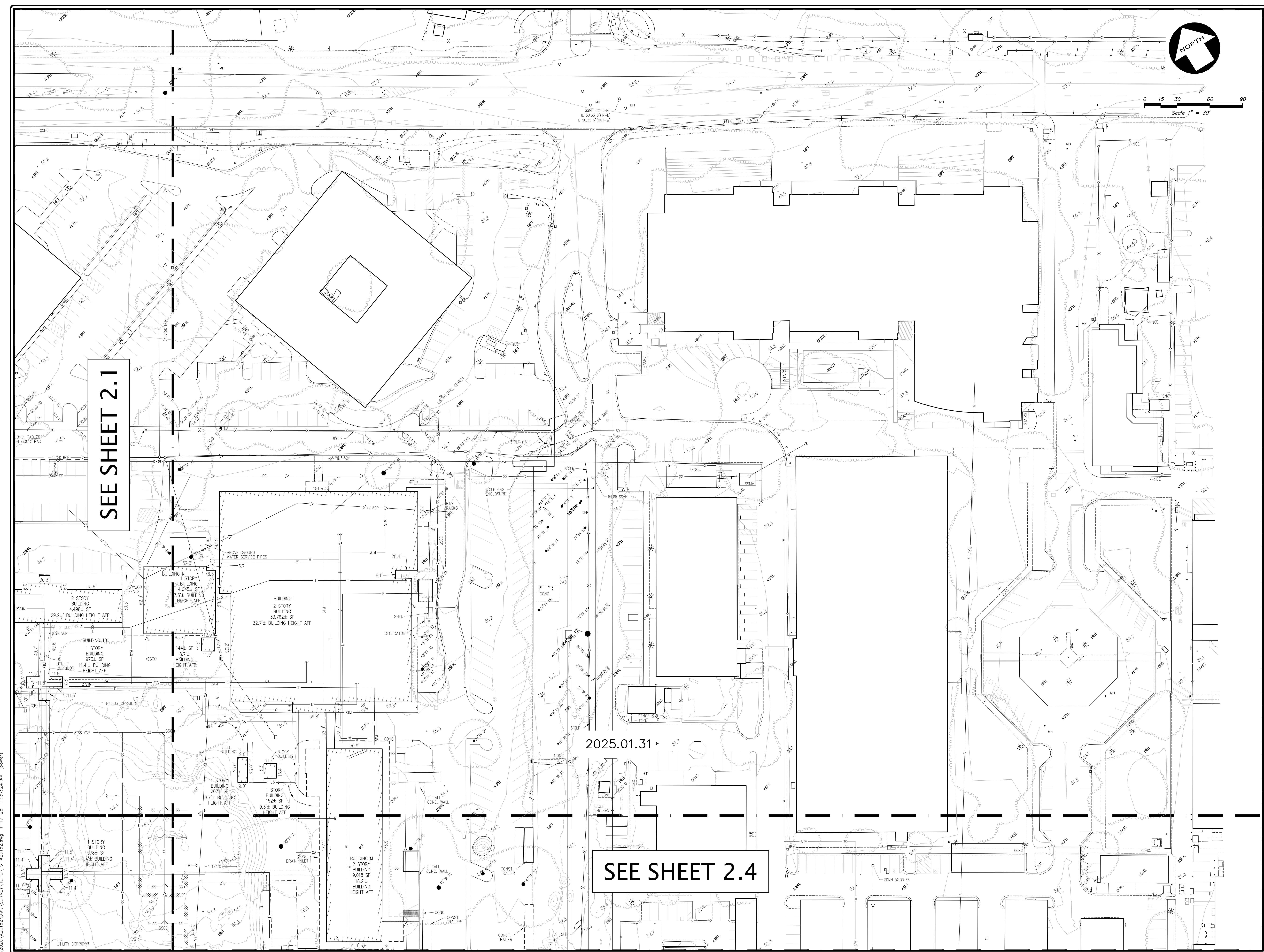
KIER+WRIGHT
3350 Scott Boulevard, Building 22
San Jose, California 95054
Phone: (408) 727-6665
www.kierwright.com

CALIFORNIA

NO.	REVISION	BY	DATE

DATE: OCTOBER, 2024
 SCALE: AS SHOWN
 SURVEYOR: MJA
 DRAWN BY: RLA
 JOB NO.: A20152
 SHEET: **C2.0**
 OF 44 SHEETS

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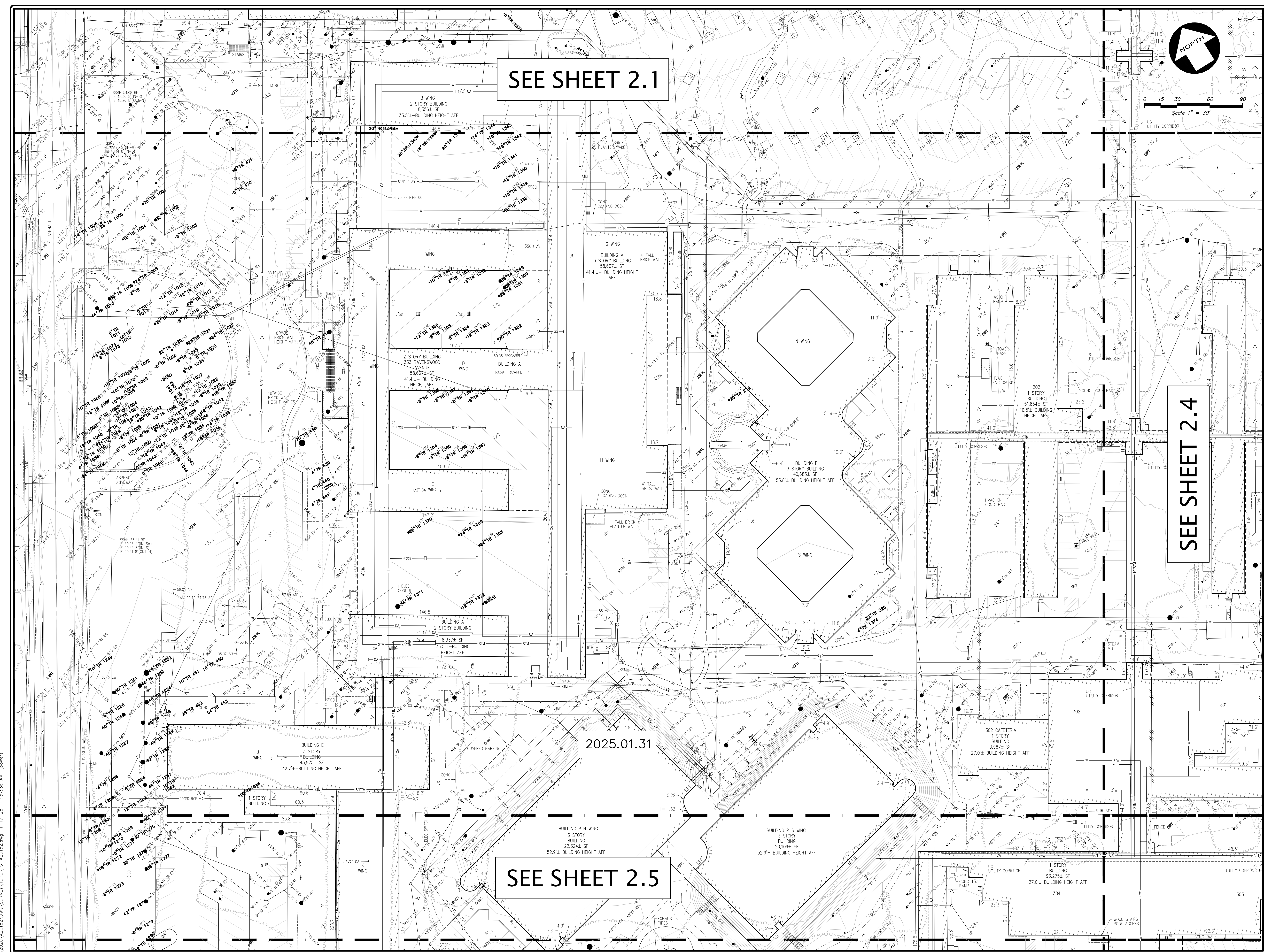
DATE	OCTOBER, 2024
SCALE	AS SHOWN
SURVEYOR	MJA
DRAWN BY	RLA
JOB NO.	A20152
SHEET	C2.2
OF	44 SHEETS

NO.	NO.	NO.	NO.
BY	BY	BY	BY
REVISION	REVISION	REVISION	REVISION

TOPOGRAPHIC SURVEY
 OF
 333 RAVENSWOOD AVENUE
 FOR
 LANE PARTNERS

KIER+WRIGHT
 3350 Scott Boulevard, Building 22
 San Diego, California 92161
 Phone: (488) 727-6665
 www.kierwright.com

CALIFORNIA
 MENLO PARK



SEE SHEET 2.1



Scale 1" = 30'

SEE SHEET 2.4

SEE SHEET 2.5

2025.01.31

DATE	OCTOBER, 2024
SCALE	AS SHOWN
SURVEYOR	MJA
DRAWN BY	RLA
JOB NO.	A20152
SHEET	C2.3
OF	44 SHEETS

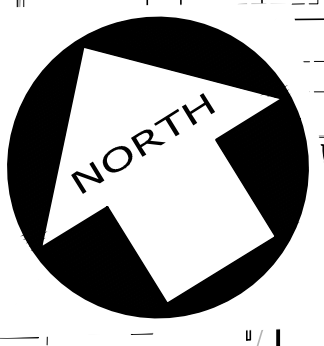
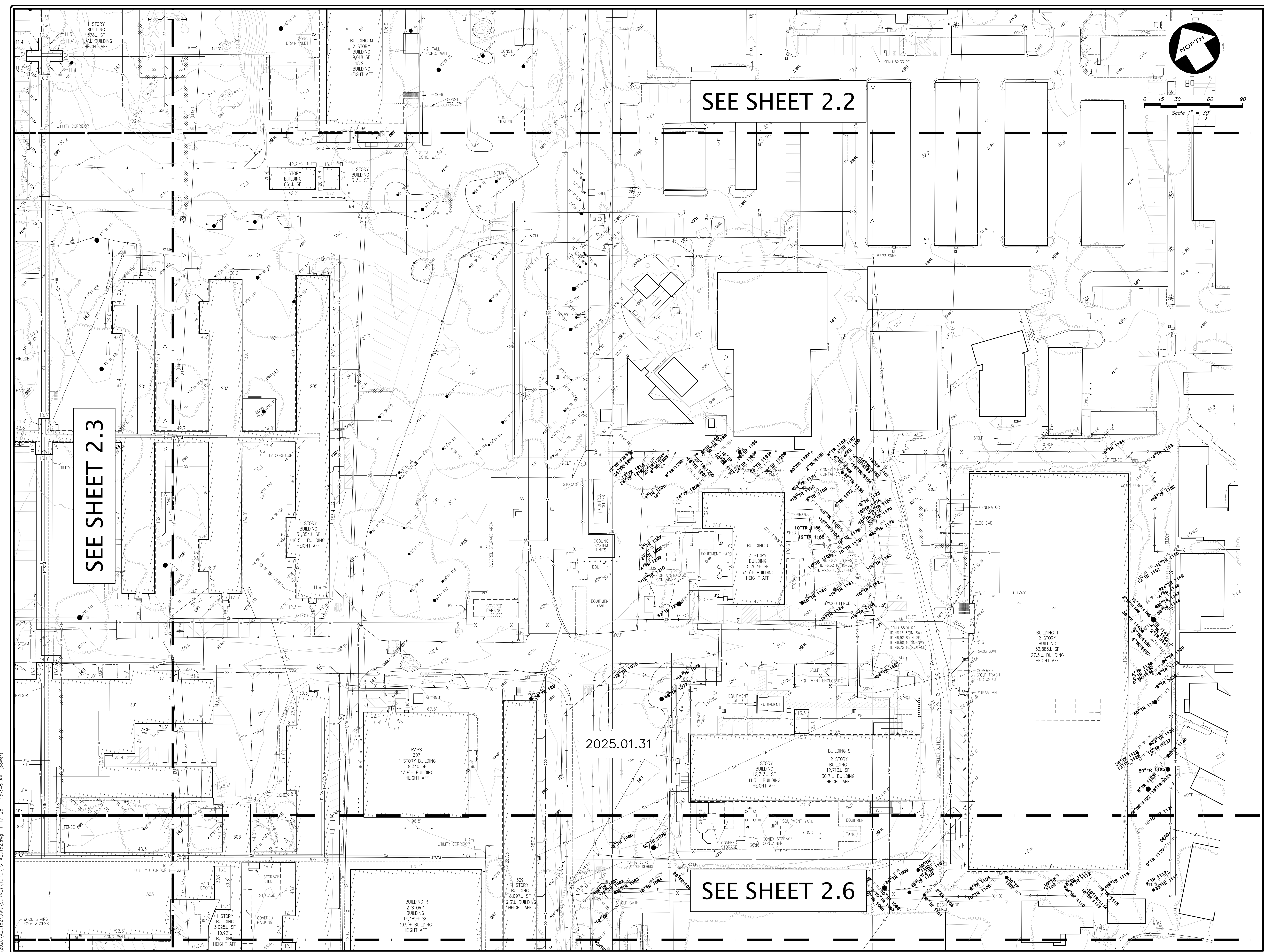
BY	
NO.	
REVISION	

TOPOGRAPHIC SURVEY
OF
333 RAVENSWOOD AVENUE
FOR
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3350 Scott Boulevard, Building 22
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Phone: (408) 727-6665
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CALIFORNIA

MENLO PARK



Scale 1" = 30'

SEE SHEET 2.2

SEE SHEET 2.3

SEE SHEET 2.6

2025.01.31

DATE	OCTOBER, 2024
SCALE	AS SHOWN
SURVEYOR	MJA
DRAWN BY	RLA
JOB NO.	A20152
SHEET	C2.4
OF	44 SHEETS

NO.	REVISION
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NO.	REVISION
NO.	REVISION
NO.	REVISION
NO.	REVISION
NO.	REVISION
NO.	REVISION
NO.	REVISION
NO.	REVISION

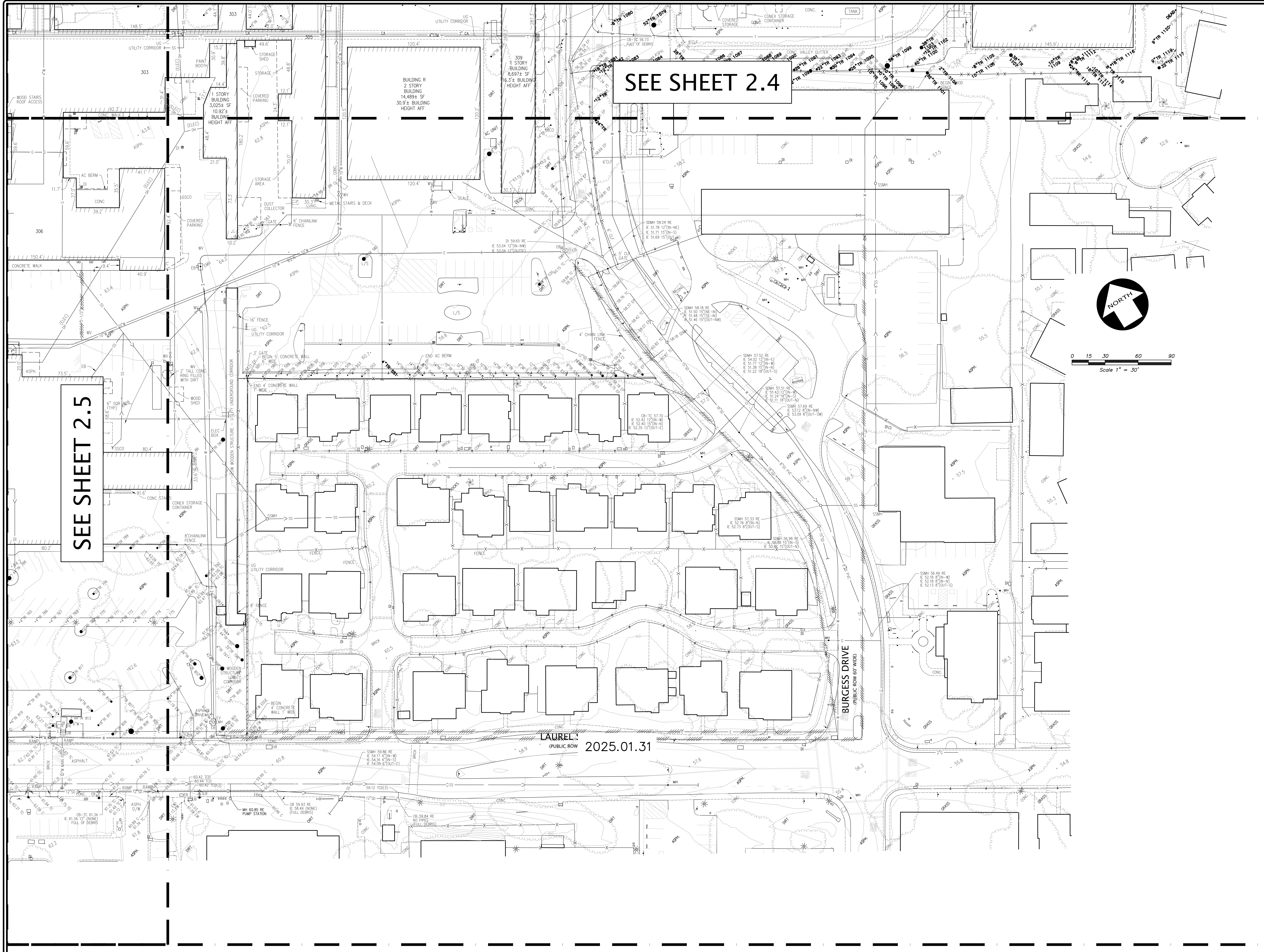
BY	
BY	
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BY	

TOPOGRAPHIC SURVEY
OF
333 RAVENSWOOD AVENUE
FOR
LANE PARTNERS

MENLO PARK CALIFORNIA

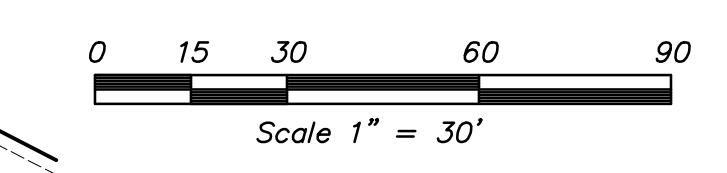
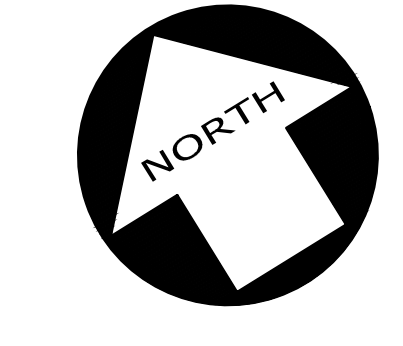
KIER+WRIGHT
3350 Scott Boulevard, Building 22
San Diego, California 92161
Phone: (408) 727-6665
www.kierwright.com

Z:\2020\420152\DWG\SURVEY\TOPO\TS-420152.dwg 1--17--25 11:58:05 AM jowers



SEE SHEET 2.4

SEE SHEET 2.5



LAUREL
(PUBLIC ROW) 2025.01.31

BURGESS DRIVE
(PUBLIC ROW 60' WIDE)

DATE	OCTOBER, 2024
SCALE	AS SHOWN
SURVEYOR	MJA
DRAWN BY	RLA
JOB NO.	A20152
SHEET	C2.6
OF	44 SHEETS

NO.	NO.	NO.	NO.
REVISION	REVISION	REVISION	REVISION

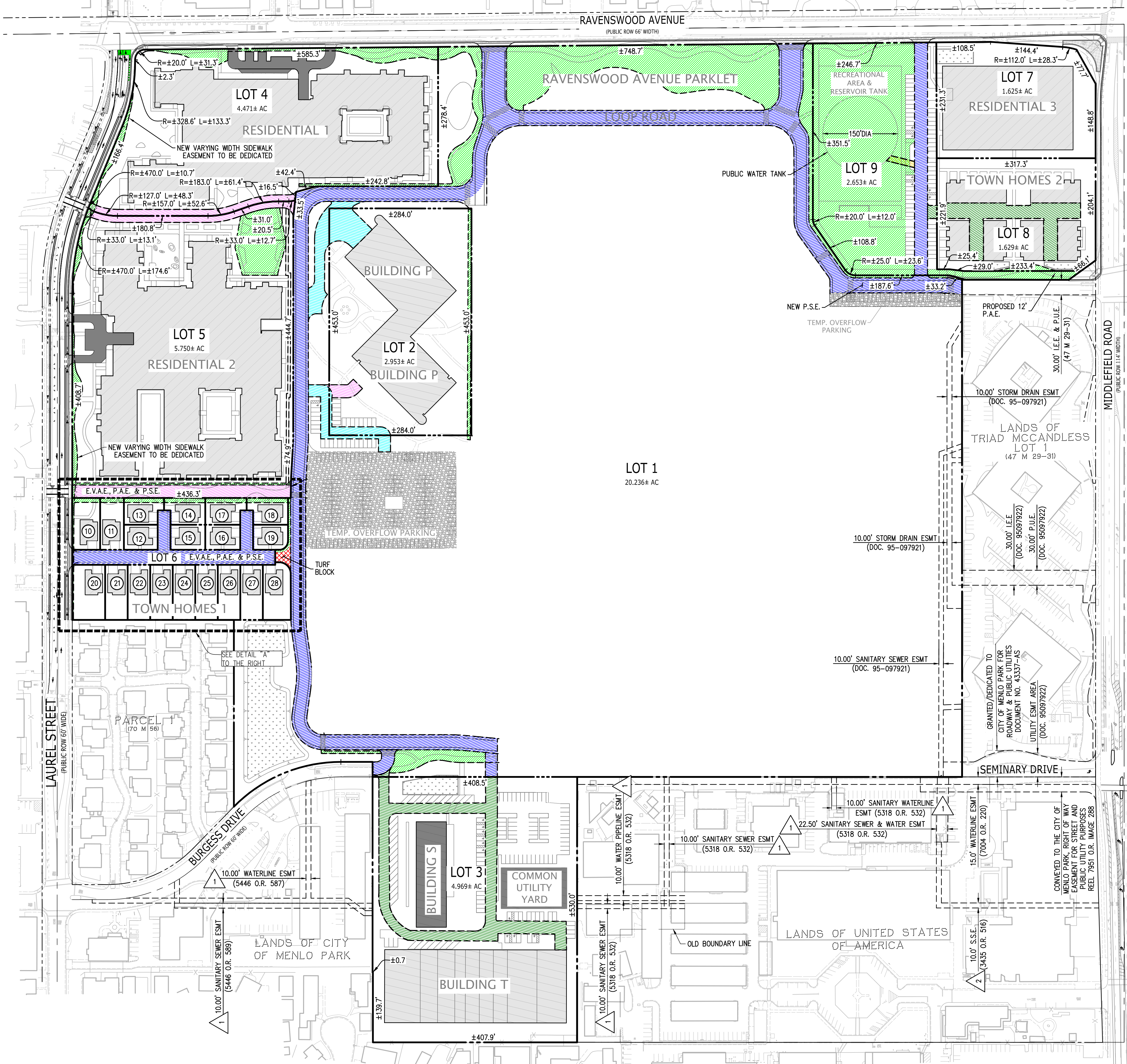
BY	NO.	NO.	NO.	NO.
REVISION	REVISION	REVISION	REVISION	REVISION

TOPOGRAPHIC SURVEY
OF
333 RAVENSWOOD AVENUE
FOR
LANE PARTNERS

KIER+WRIGHT
3330 Scott Boulevard, Building 22
Sand City, California 95554
Phone: (408) 737-6665
www.kierwright.com

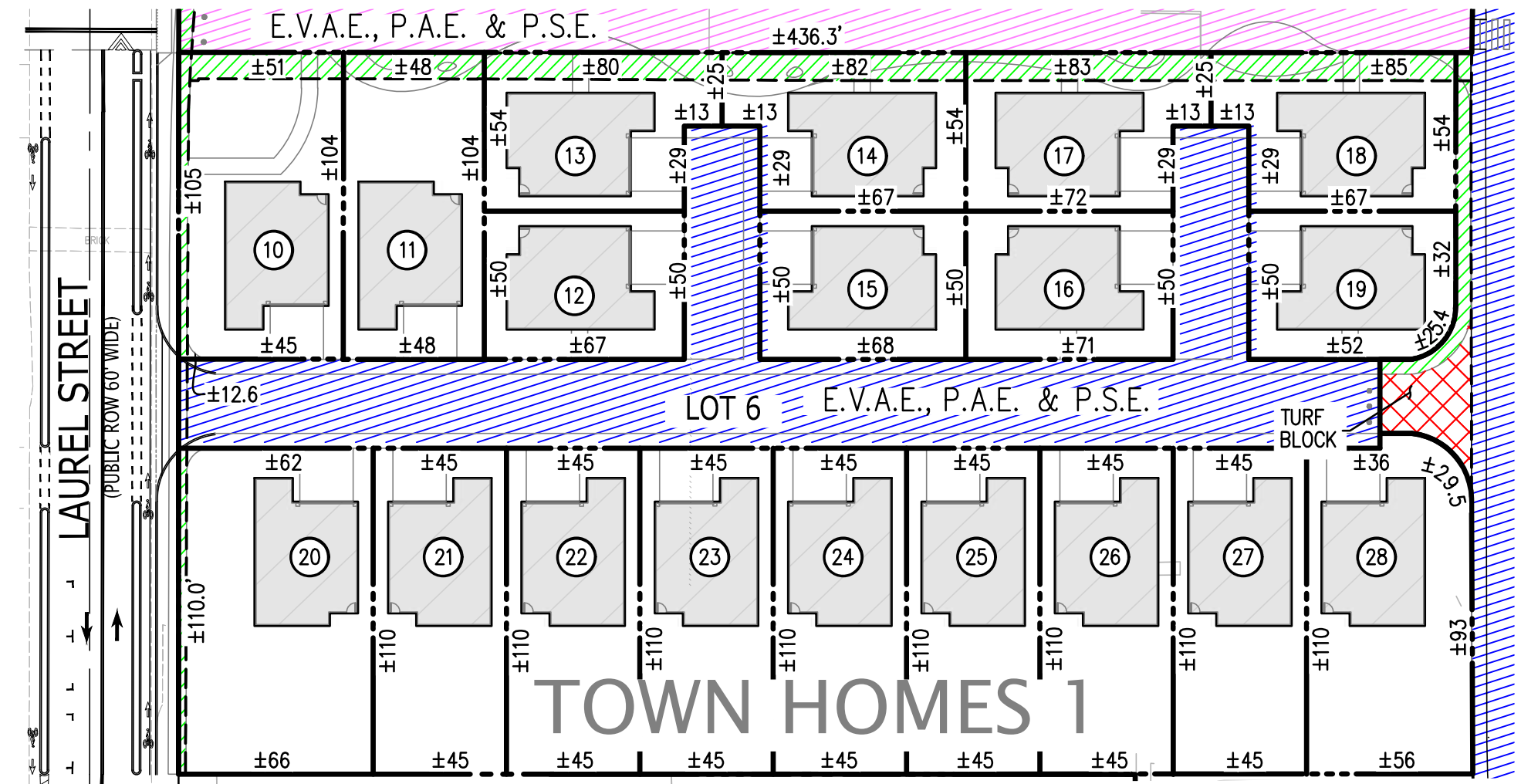
CALIFORNIA

MENLO PARK



LEGEND & ABBREVIATIONS

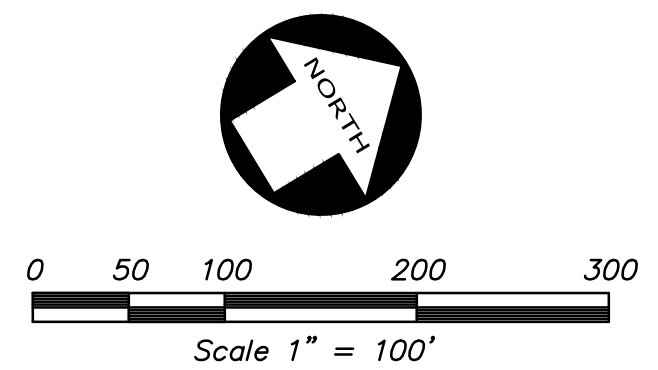
- PROPERTY LINE
- BOUNDARY LOT LINE
- ADJACENT PROPERTY LINE
- CENTERLINE/MONUMENT LINE, AS NOTED
- EASEMENT LINE
- OLD BOUNDARY LINE
- DOCUMENT NUMBER
- EASEMENT
- INGRESS EGRESS EASEMENT
- OFFICIAL RECORDS
- PUBLIC SERVICE EASEMENT
- REFERENCE MAP NUMBER
- RIGHT OF WAY
- SIDEWALK EASEMENT
- TOTAL
- PROPOSED PUBLIC SERVICE EASEMENT (P.S.E., P.A.E. & E.V.A.E.) AC PAVEMENT
- PROPOSED PUBLIC ACCESS EASEMENT (P.A.E.) PCC PAVEMENT FOR WALKWAYS
- PROPOSED EMERGENCY VEHICLE ACCESS EASEMENT (E.V.A.E.) AC PAVEMENT
- PROPOSED EMERGENCY VEHICLE ACCESS EASEMENT (E.V.A.E.) AND PUBLIC ACCESS EASEMENT (P.A.E.) AND PUBLIC SERVICE EASEMENT (P.S.E.) MATERIAL VARIES SURFACE TO COMPLY WITH H2O LOADING, (SEE LANDSCAPE PLANS)
- PROPOSED SHARED BIKE AND TRAIL ACCESS EASEMENT (B.T.A.E.) AC PAVEMENT
- PROPOSED PUBLIC SERVICE EASEMENT (P.S.E.) AND EMERGENCY ACCESS EASEMENT (E.V.A.E.) AC PAVEMENT
- PROPOSED 12' WIDE PUBLIC SERVICE EASEMENT (P.S.E.) AND (P.A.E.) PCC PAVEMENT FOR WALKWAYS
- PROPOSED TURF BLOCK
- PROPOSED AC PAVEMENT



PARCEL #	AREA (ACRES)
1	37.765
2	2.953
3	4.969
4	4.471
5	5.743
6	0.346
7	1.625
8	1.629
9	2.653
10	0.135
11	0.115
12	0.072
13	0.100
14	0.103

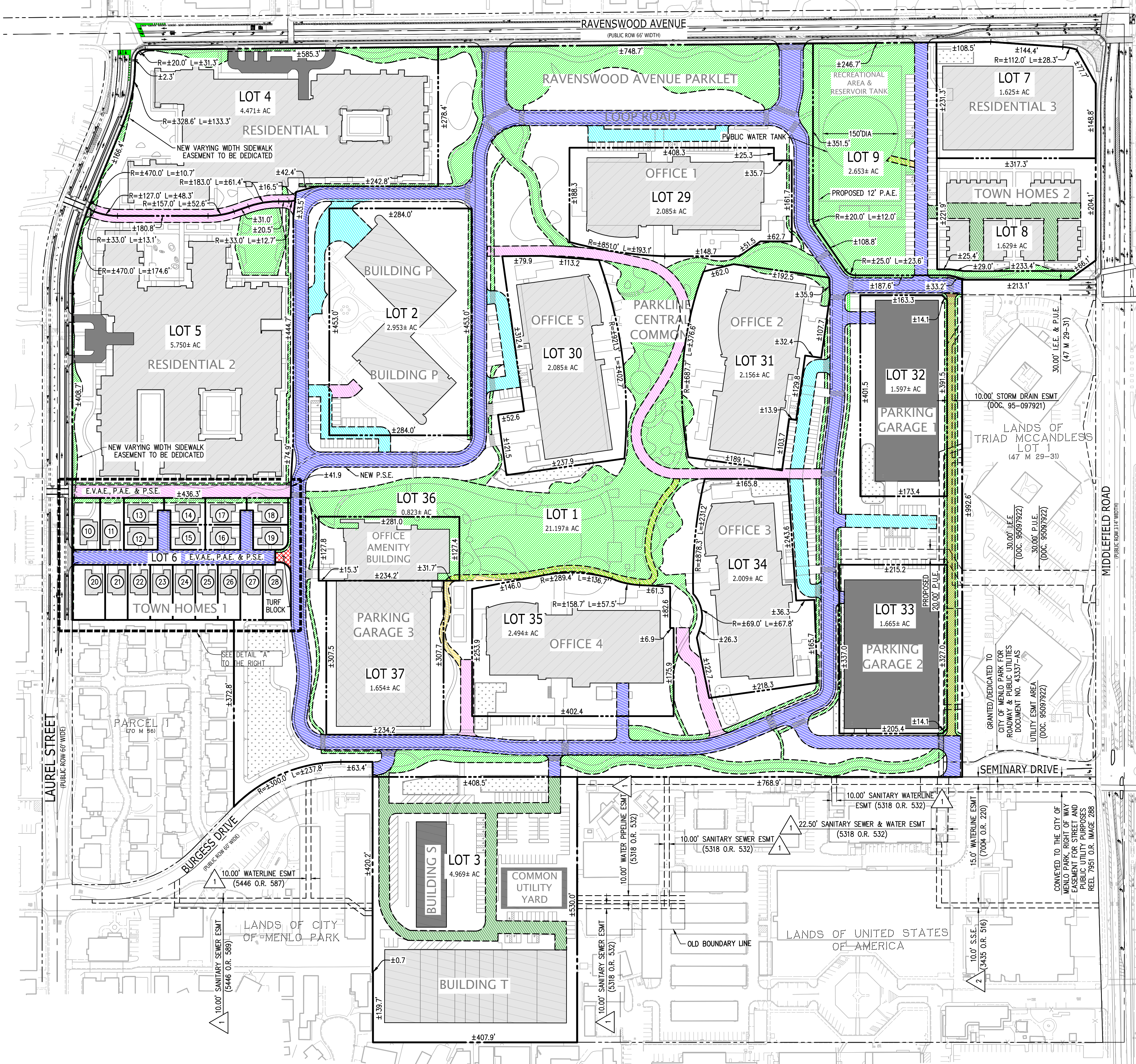
PARCEL #	AREA (ACRES)
15	0.075
16	0.075
17	0.103
18	0.106
19	0.076
20	0.169
21	0.116
22	0.116
23	0.116
24	0.116
25	0.116
26	0.116
27	0.116
28	0.133

AREA TOTAL	ACRES
1-28	46.699±



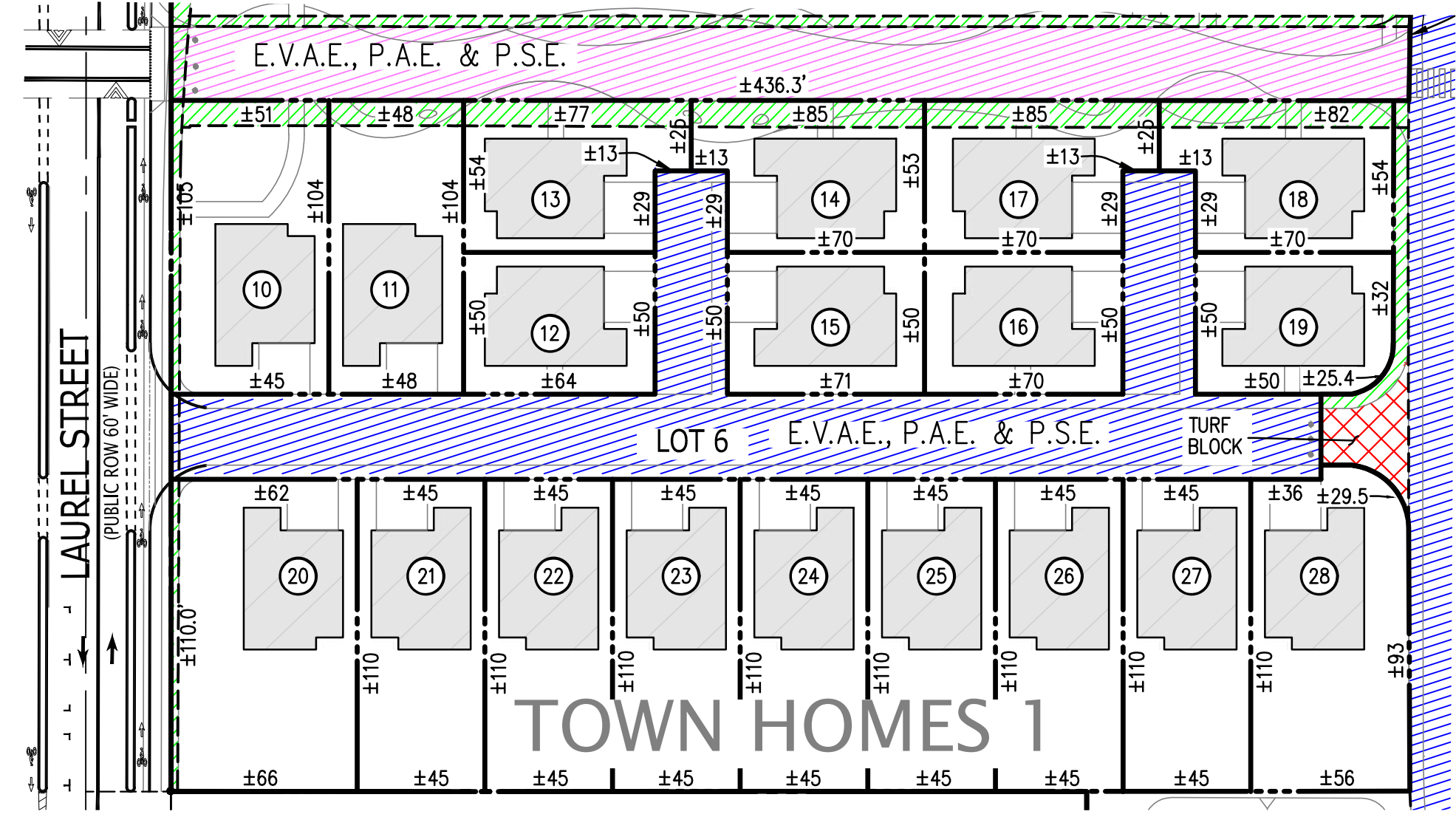
EASEMENT NOTE

- 1 EASEMENT IS GRANTED TO STANFORD RESEARCH INSTITUTE FOR PUBLIC SEWER
- 2 EASEMENT IS GRANTED TO THE BOARD OF TRUSTEES OF THE LELAND STANFORD JUNIOR UNIVERSITY FOR PUBLIC SEWER



LEGEND & ABBREVIATIONS

- PROPERTY LINE
- BOUNDARY LOT LINE
- ADJACENT PROPERTY LINE
- CENTERLINE/MONUMENT LINE, AS NOTED
- EASEMENT LINE
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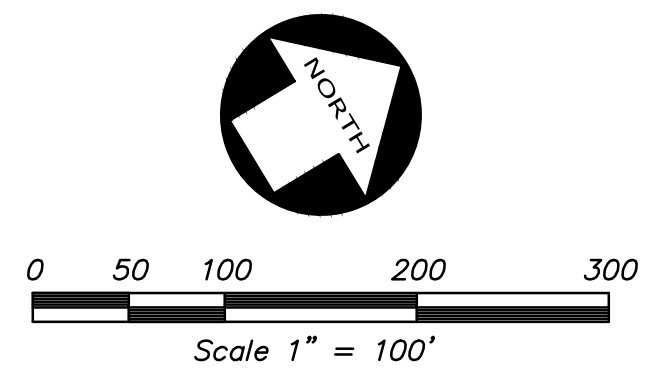


DETAIL "A"
SCALE: 1"=50'

PARCEL #	AREA (ACRES)
1	21.197
2	2.953
3	4.969
4	4.471
5	5.743
6	0.346
7	1.625
8	1.629
9	2.653
10	0.135
11	0.115
12	0.072
13	0.100
14	0.103
15	0.075
16	0.075
17	0.103
18	0.106
19	0.076
20	0.169

PARCEL #	AREA (ACRES)
21	0.116
22	0.116
23	0.116
24	0.116
25	0.116
26	0.116
27	0.116
28	0.133
29	2.085
30	2.085
31	2.156
32	1.597
33	1.665
34	2.009
35	2.494
36	0.823
37	1.654

AREA TOTAL	ACRES
1-37	64.277±



EASEMENT NOTE

- 1 EASEMENT IS GRANTED TO STANFORD RESEARCH INSTITUTE FOR PUBLIC SEWER
- 2 EASEMENT IS GRANTED TO THE BOARD OF TRUSTEES OF THE LELAND STANFORD JUNIOR UNIVERSITY FOR PUBLIC SEWER

RAVENSWOOD AVENUE

RAVENSWOOD AVENUE PARKLET
LOOP ROAD

RESIDENTIAL 3

TOWNHOMES 2

RINGWOOD AVENUE

MIDDLEFIELD ROAD

SEMINARY DRIVE

RESIDENTIAL 1

BUILDING P

RESIDENTIAL 2

BUILDING P

TOWN HOMES 1

BUILDING S

COMMON UTILITY YARD

BUILDING T

PUBLIC WATER TANK

RECREATIONAL AREA & RESERVOIR TANK

TEMP. OVERFLOW PARKING

TEMP. OVERFLOW PARKING

EMERGENCY VEHICLE ACCESS ONLY. NOT INTENDED FOR AERIAL APPARATUS ACCESS

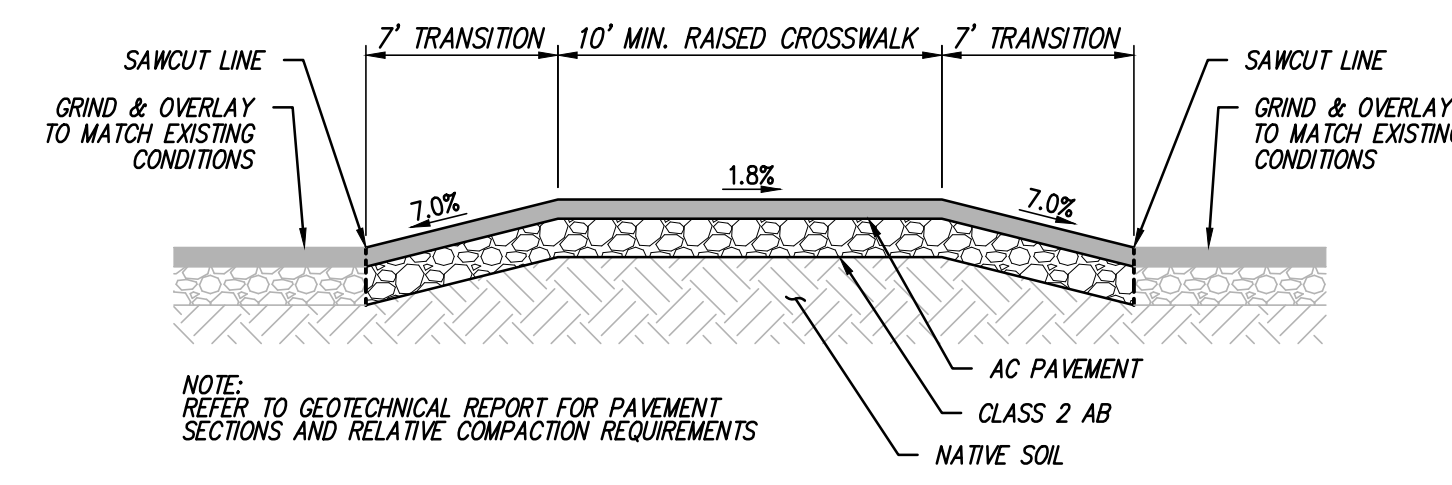
GRANTED DEDICATED TO CITY PARK FOR UTILITY PARK & PUBLIC UTILITIES DOCUMENT NO. 43337-AS UTILITY ESMT AREA (DOC. 95097922)

CONVEYED TO THE CITY OF WINDY PARK RIGHT OF WAY EASEMENT FOR STREET AND PUBLIC UTILITY PURPOSES REEL 7951 O.R. IMAGE 288

15' WATERLINE ESMT (7004 O.R. 220)

LEGEND

	PROPOSED BUILDING
	PROPOSED GARAGE
	EXISTING BUILDING TO REMAIN
	PROPOSED AERIAL ACCESS ROAD
	FIRE ACCESS ROAD
	AC PAVEMENT
	150' HOSE PULL
	FIRE HYDRANT

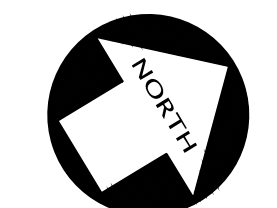


RAISED PEDESTRIAN CROSSWALK

1

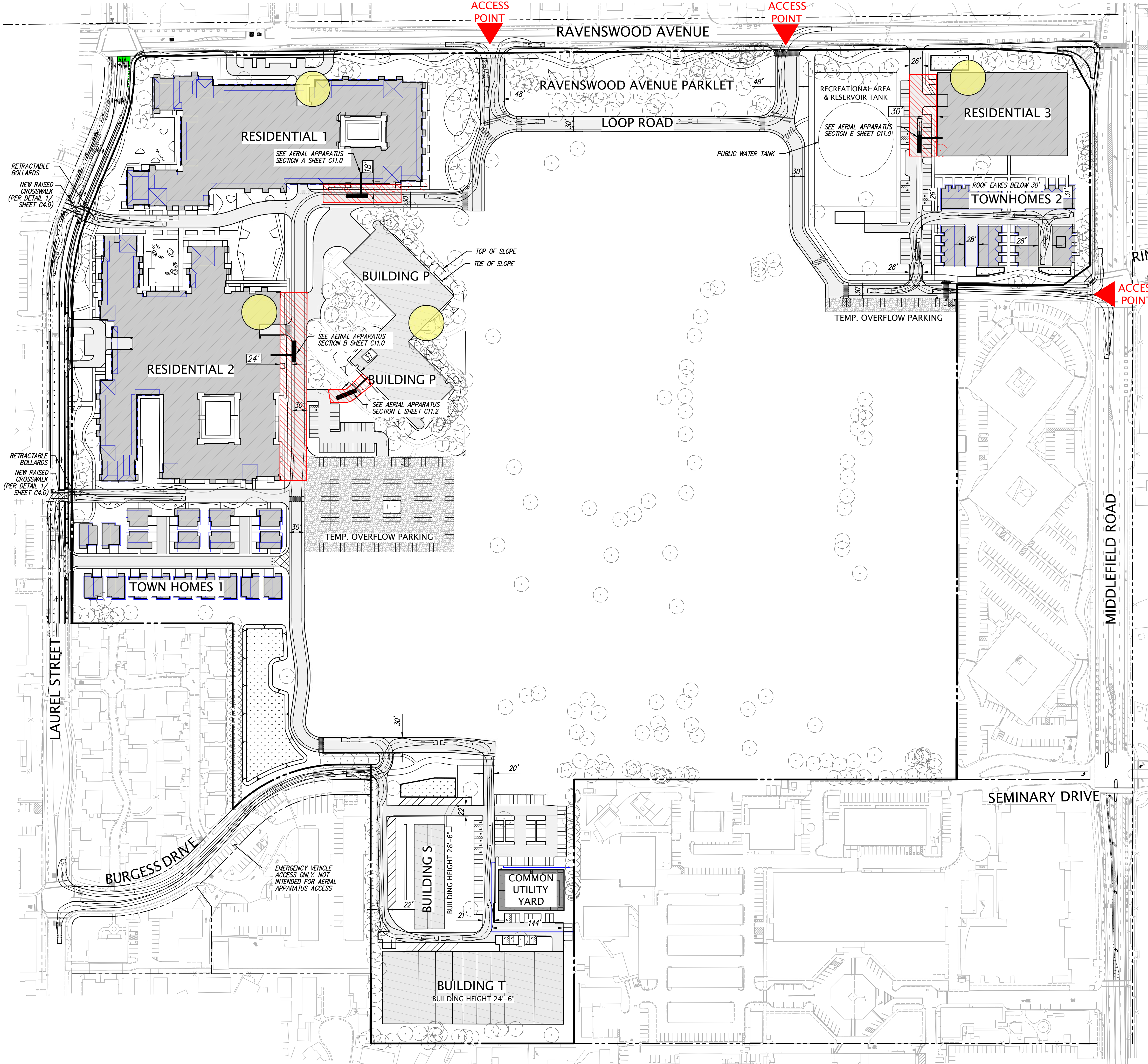


EXAMPLE OF RAISED CROSSWALK



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Scale 1" = 100'

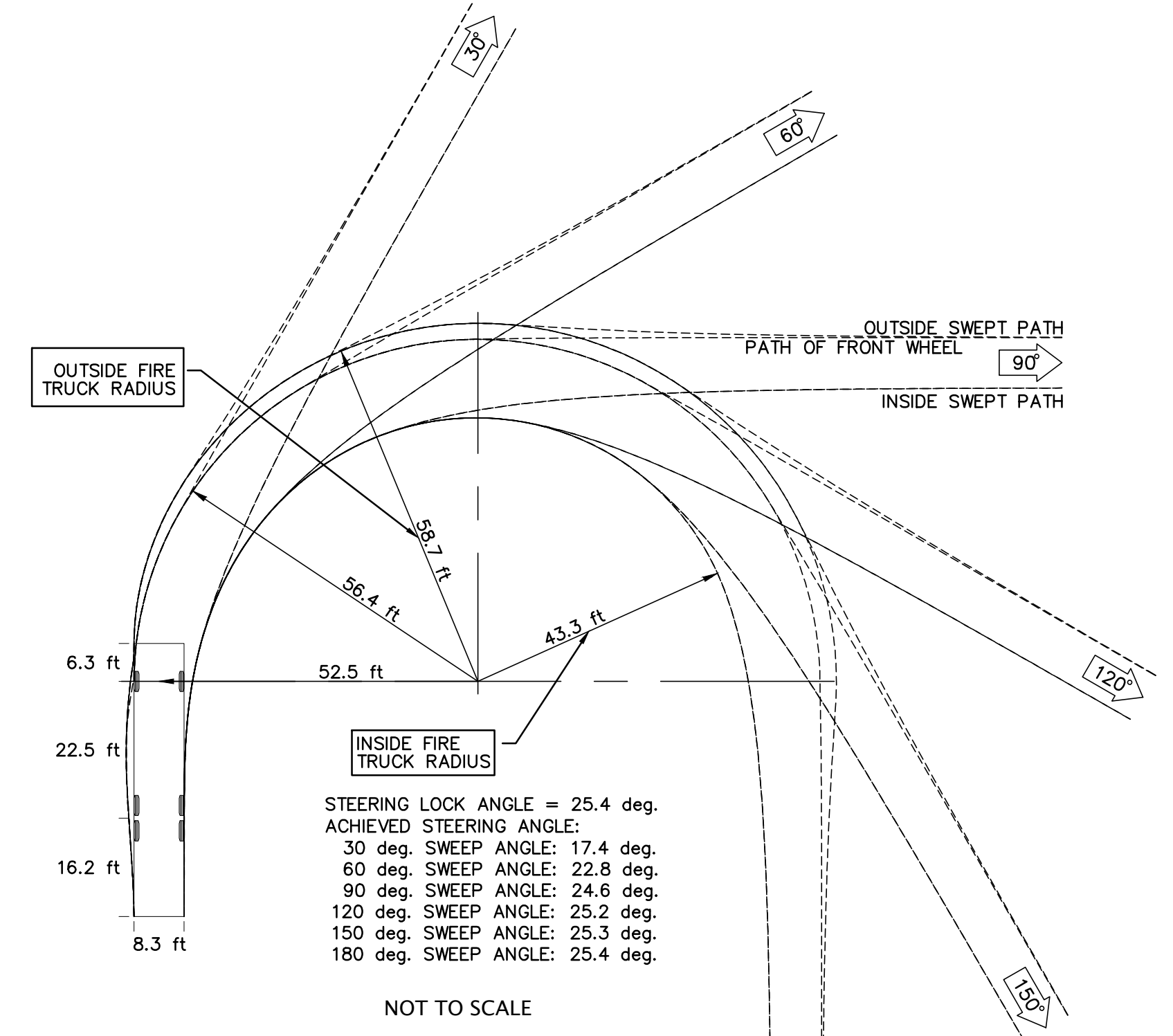
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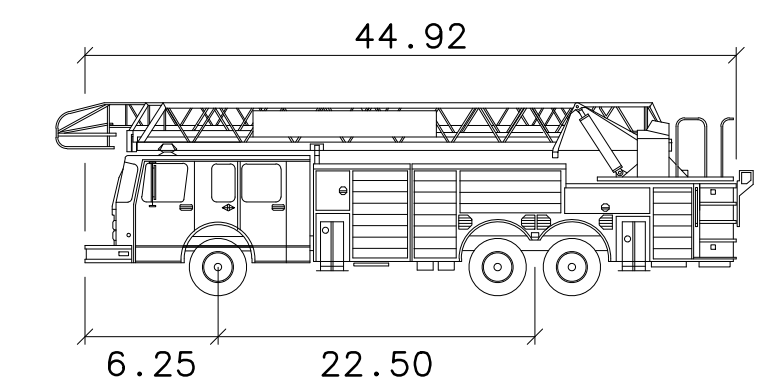
LEGEND

- PROPOSED BUILDING
- PROPOSED GARAGE
- EXISTING BUILDING TO REMAIN
- FIRE TRUCK AERIAL APPARATUS STAGING AREA
- BUILDING ROOF OVERHANG
- FIRE HYDRANT
- AERIAL APPARATUS FIRE TRUCK
- DIMENSION FOR AERIAL APPARATUS BETWEEN 15'-30', ANYTHING OUTSIDE THOSE DIMENSIONS REFER TO AERIAL APPARATUS CROSS SECTIONS SHEETS C11.0
- AERIAL APPARATUS ACCESS POINT
- STAIR TO ROOF WITH GROUND FLOOR EXTERIOR ACCESS

NOTE: SEE SHEET C4.0 FOR AERIAL ACCESS (26' WIDE ROADS) AND FIRE ACCESS ROAD (20' WIDE ROADS)

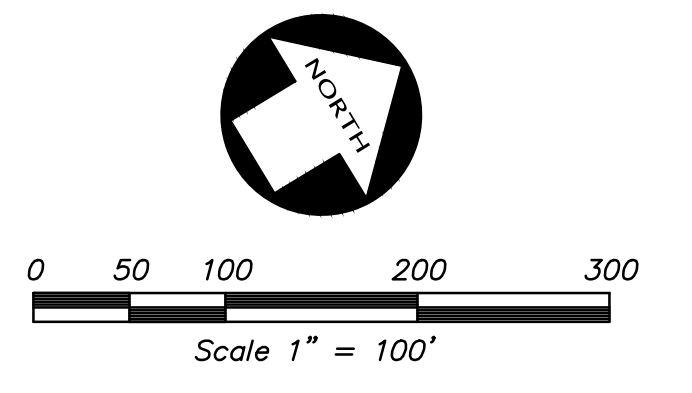


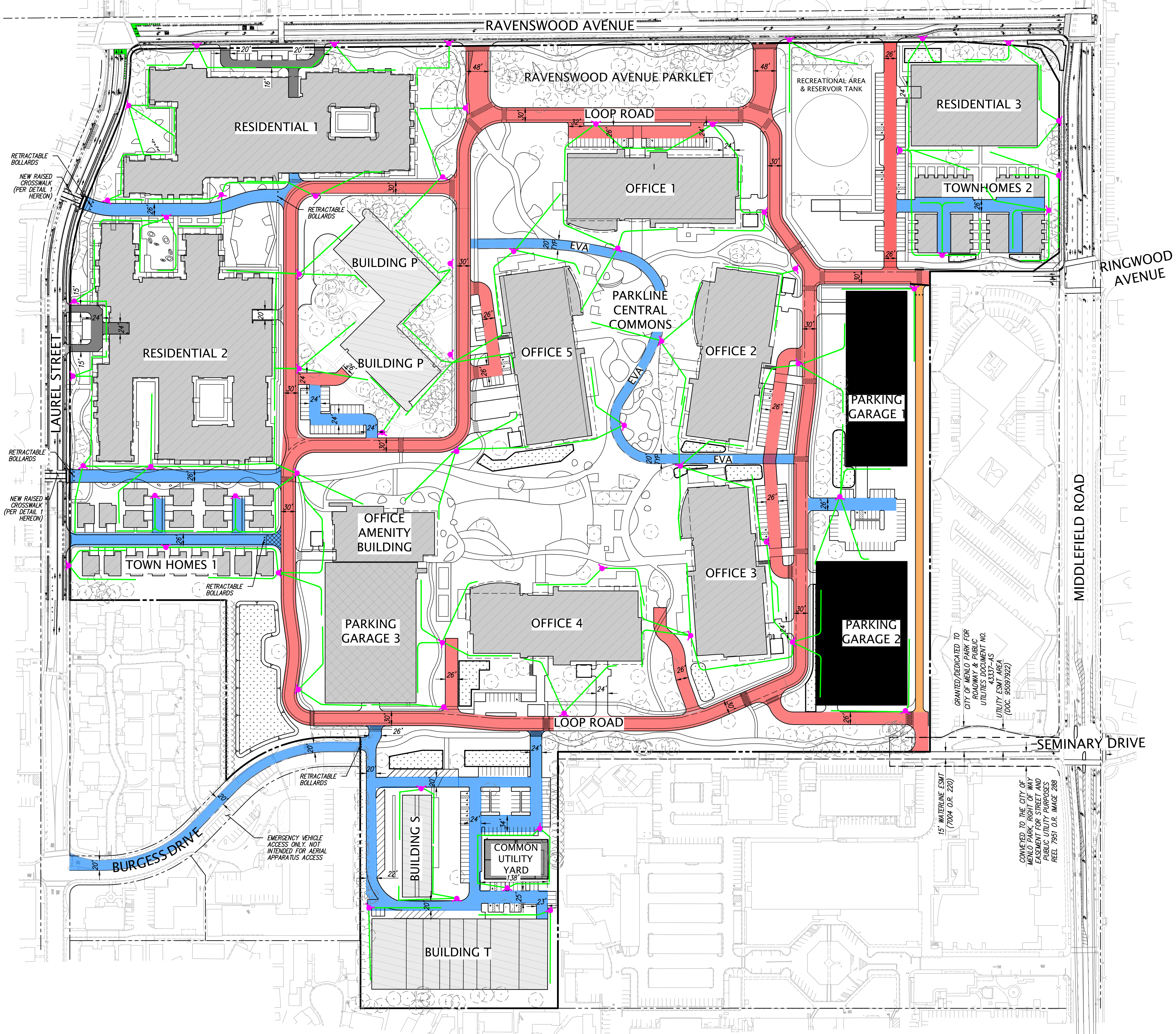
MENLO PARK
Emergency Vehicles
(ft)
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MENLO PARK

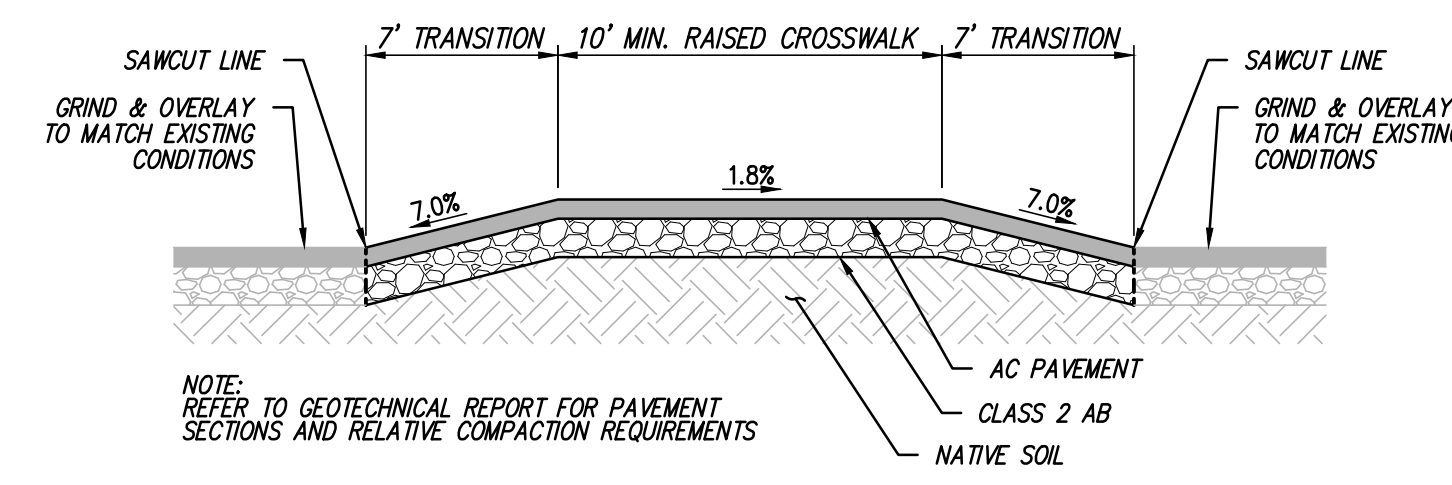
	feet
Width	: 8.25
Track	: 8.25
Lock to Lock Time	: 6.0
Steering Angle	: 25.4





LEGEND

- PROPOSED BUILDING
- PROPOSED GARAGE
- EXISTING BUILDING TO REMAIN
- PROPOSED AERIAL ACCESS ROAD
- FIRE ACCESS ROAD
- MAINTENANCE ROAD
- AC PAVEMENT
- 150' HOSE PULL
- FIRE HYDRANT



RAISED PEDESTRIAN CROSSWALK ①

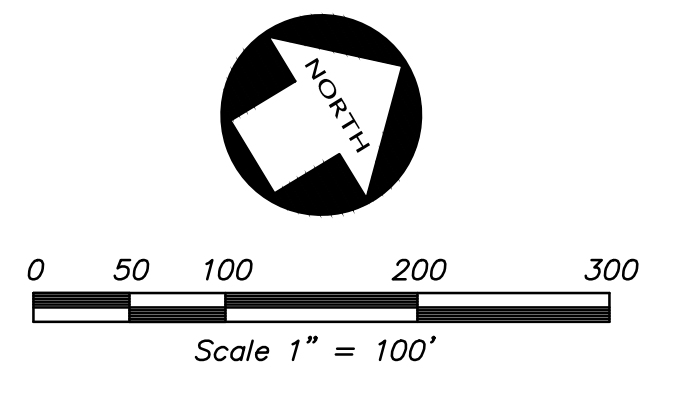


EXAMPLE OF RAISED CROSSWALK

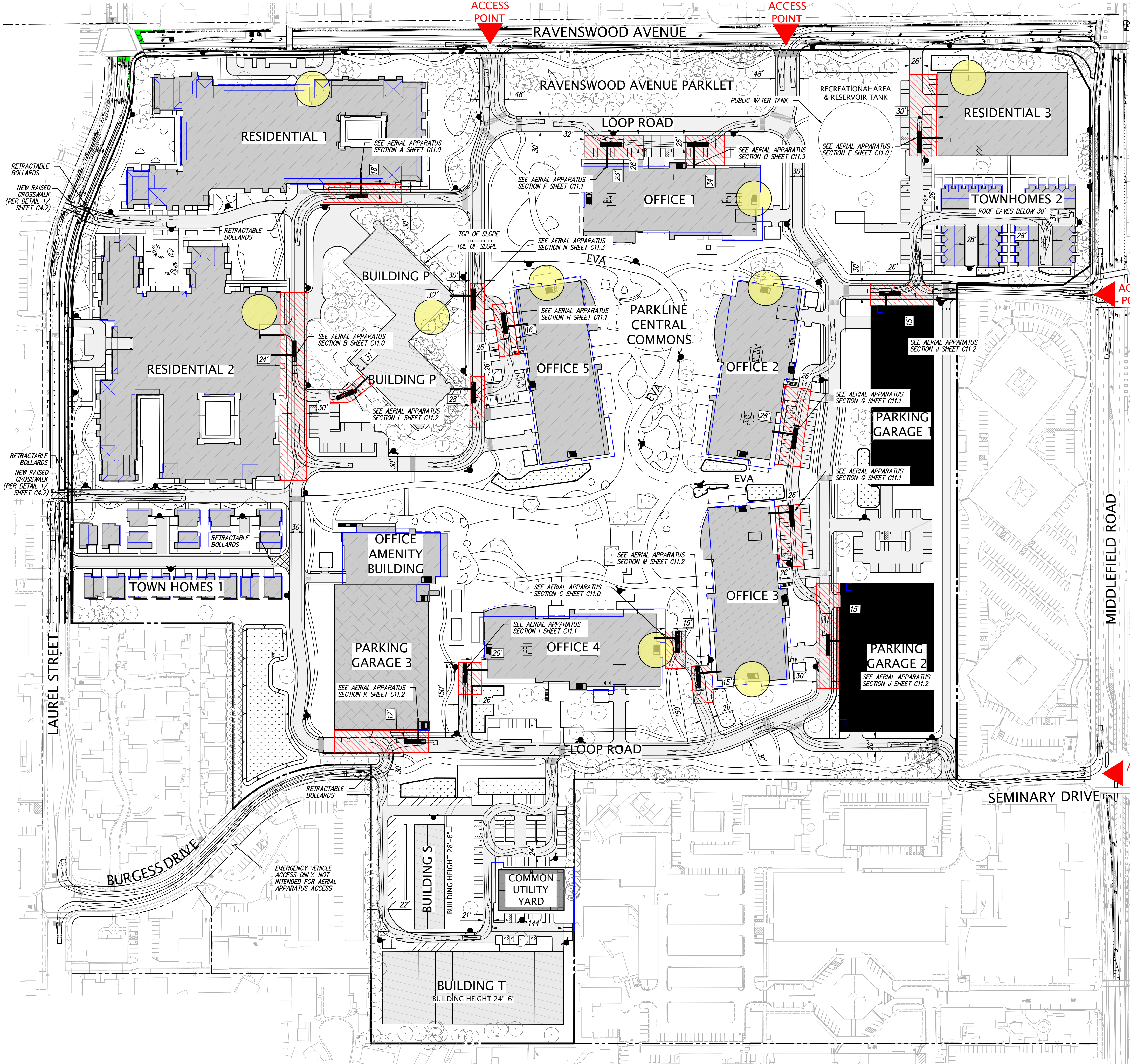
GRANTED DEDICATED TO
CITY PARK FOR
UTILITY DOCUMENT NO.
43337-AS
UTILITY ESMT AREA
(DOC. 95097922)

CONVEYED TO THE CITY OF
TOWN OF PARK FOR STREET AND
EASEMENT FOR STREET PURPOSES
PUBLIC UTILITY PURPOSES
REEL 7951 O.R. IMAGE 288

15' WATERLINE ESMT
(7004 O.R. 220)

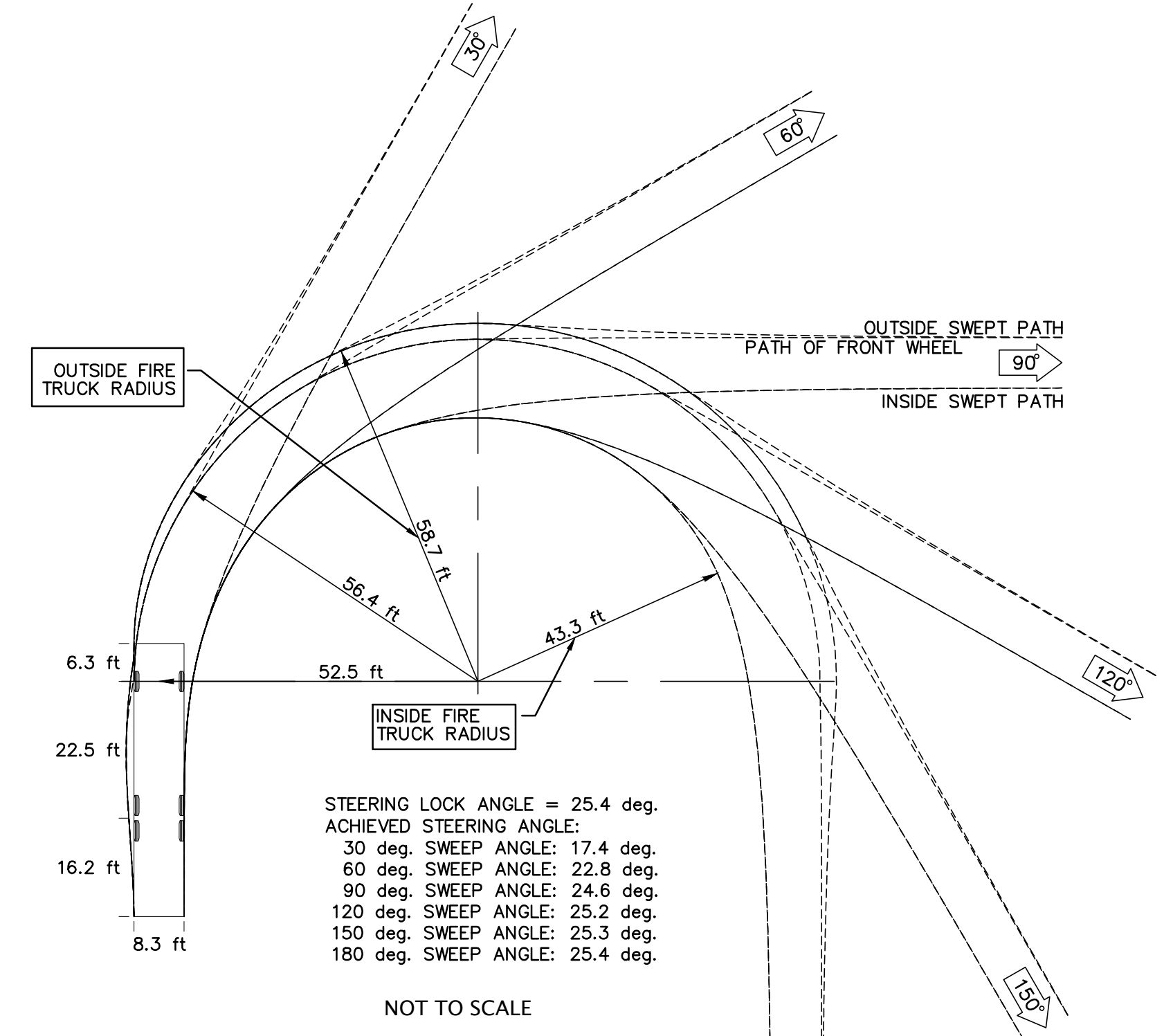


21, 2020 10:52 - 10:53 DATE TIME: 2025.01.31 10:52 AM

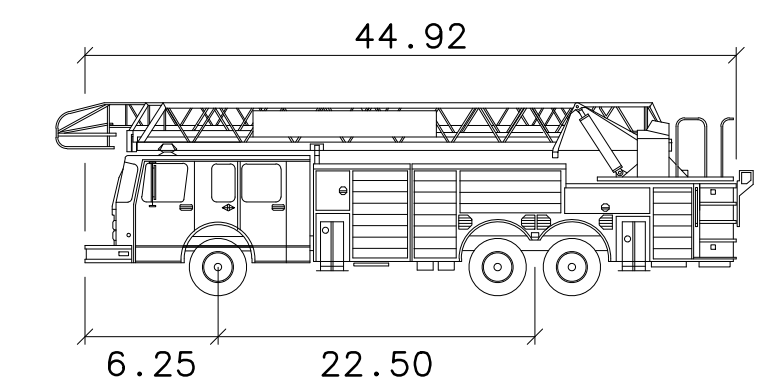


- ### LEGEND
- PROPOSED BUILDING
 - PROPOSED GARAGE
 - EXISTING BUILDING TO REMAIN
 - FIRE TRUCK AERIAL APPARATUS STAGING AREA
 - BUILDING ROOF OVERHANG
 - FIRE HYDRANT
 - AERIAL APPARATUS FIRE TRUCK
 - DIMENSION FOR AERIAL APPARATUS BETWEEN 15'-30', ANYTHING OUTSIDE THOSE DIMENSIONS REFER TO AERIAL APPARATUS CROSS SECTIONS SHEETS C11.0
 - ACCESS POINT
 - AERIAL APPARATUS ACCESS POINT
 - STAIR TO ROOF WITH GROUND FLOOR EXTERIOR ACCESS

NOTE: SEE SHEET C4.0 FOR AERIAL ACCESS (26' WIDE ROADS) AND FIRE ACCESS ROAD (20' WIDE ROADS)

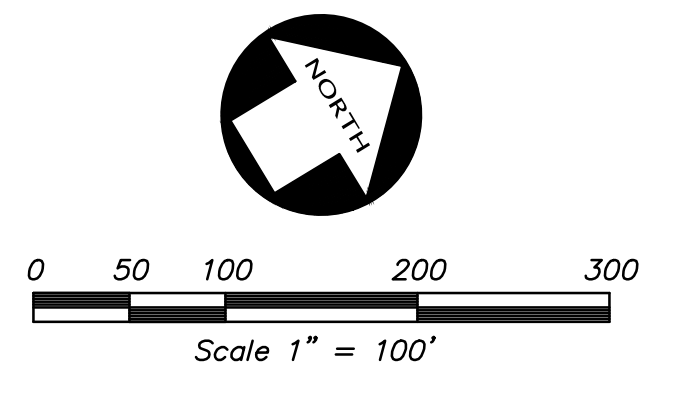


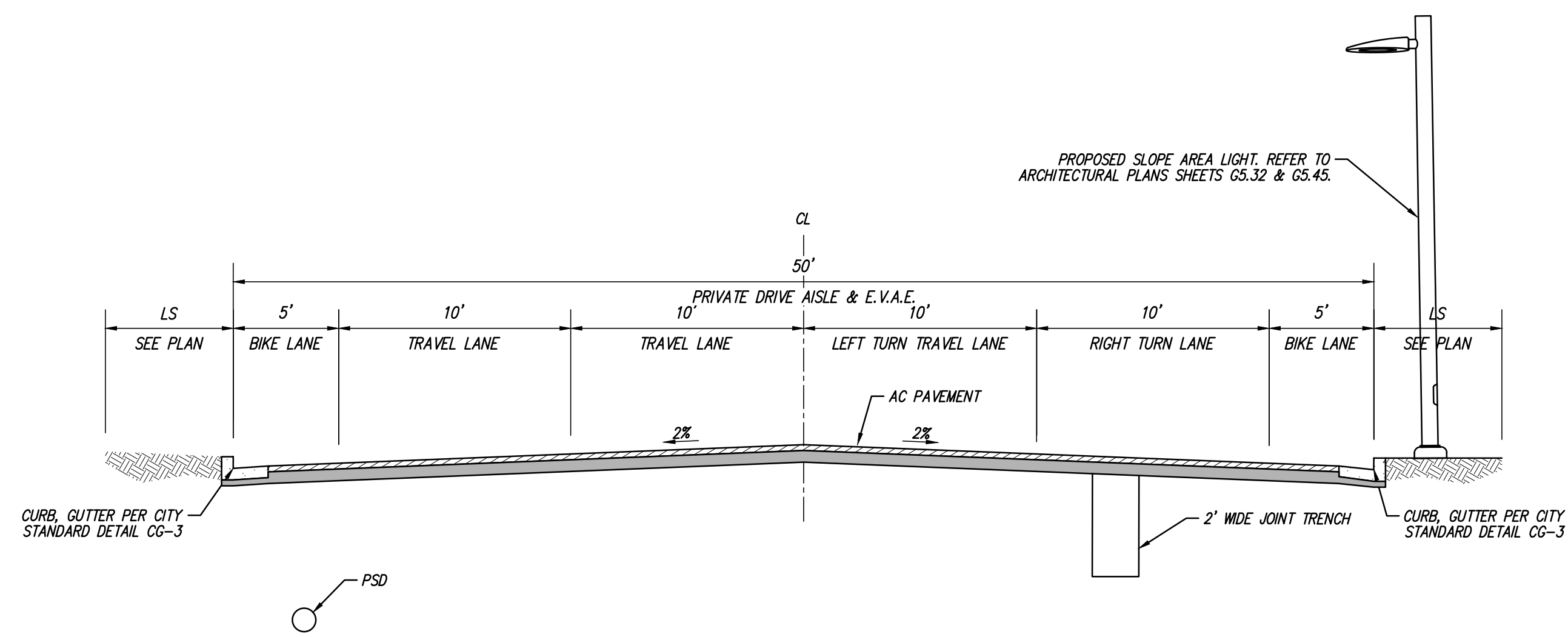
MENLO PARK
Emergency Vehicles
(ft)
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MENLO PARK

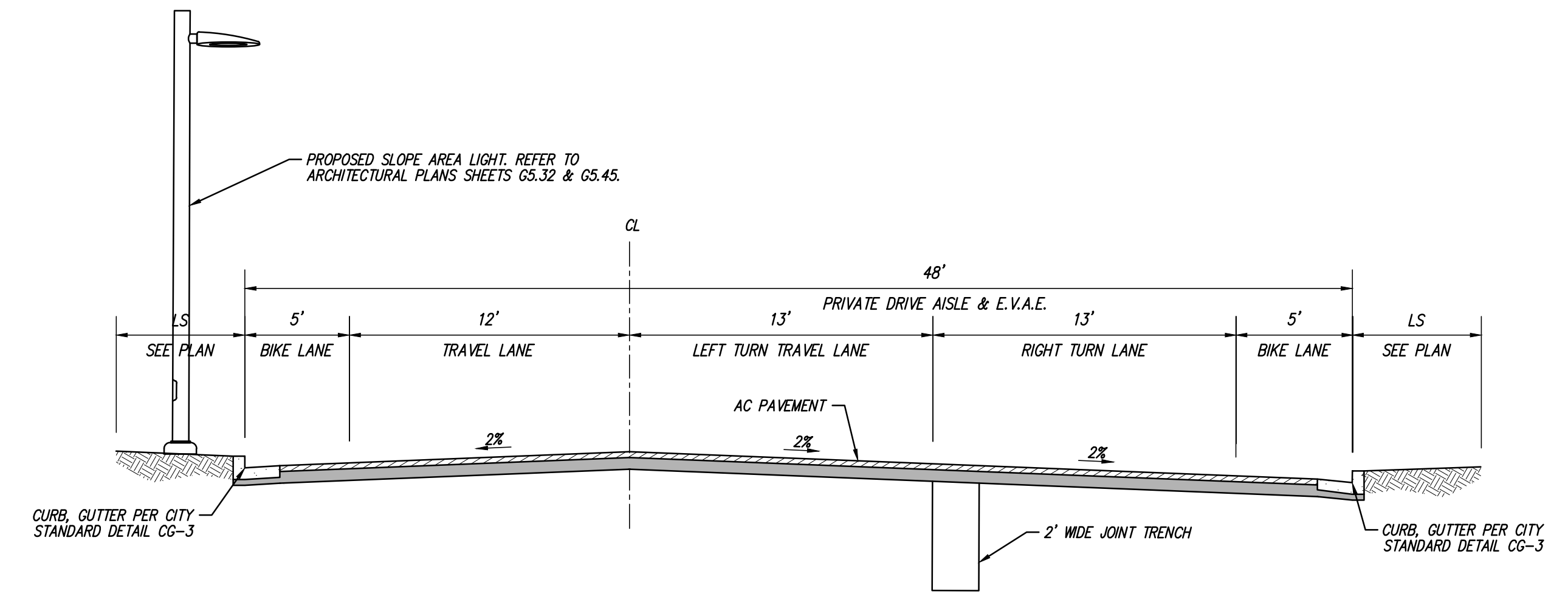
	feet
Width	: 8.25
Track	: 8.25
Lock to Lock Time	: 6.0
Steering Angle	: 25.4





SECTION A ENTRANCE (RAVENSWOOD AVENUE)

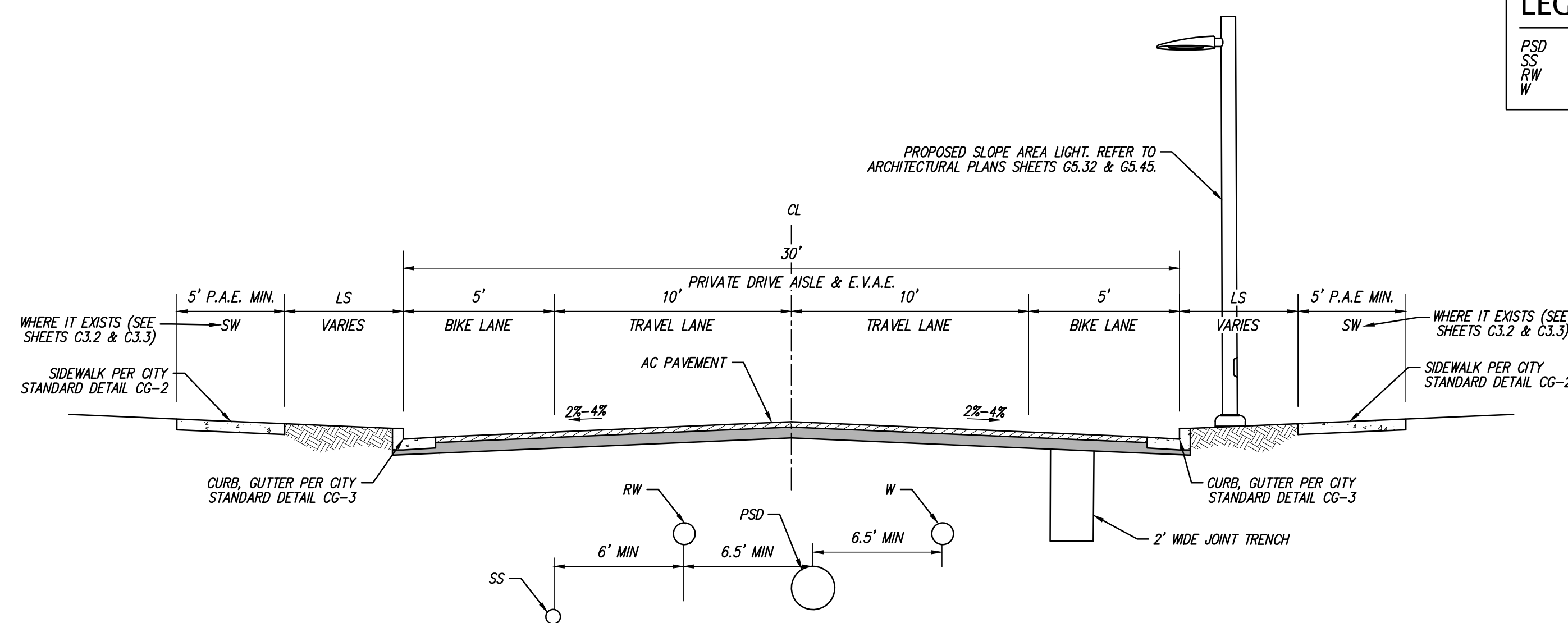
N.T.S.
MODIFIED CITY STANDARD LOCAL ACCESS STREET



SECTION B ENTRANCE (RAVENSWOOD AVENUE)

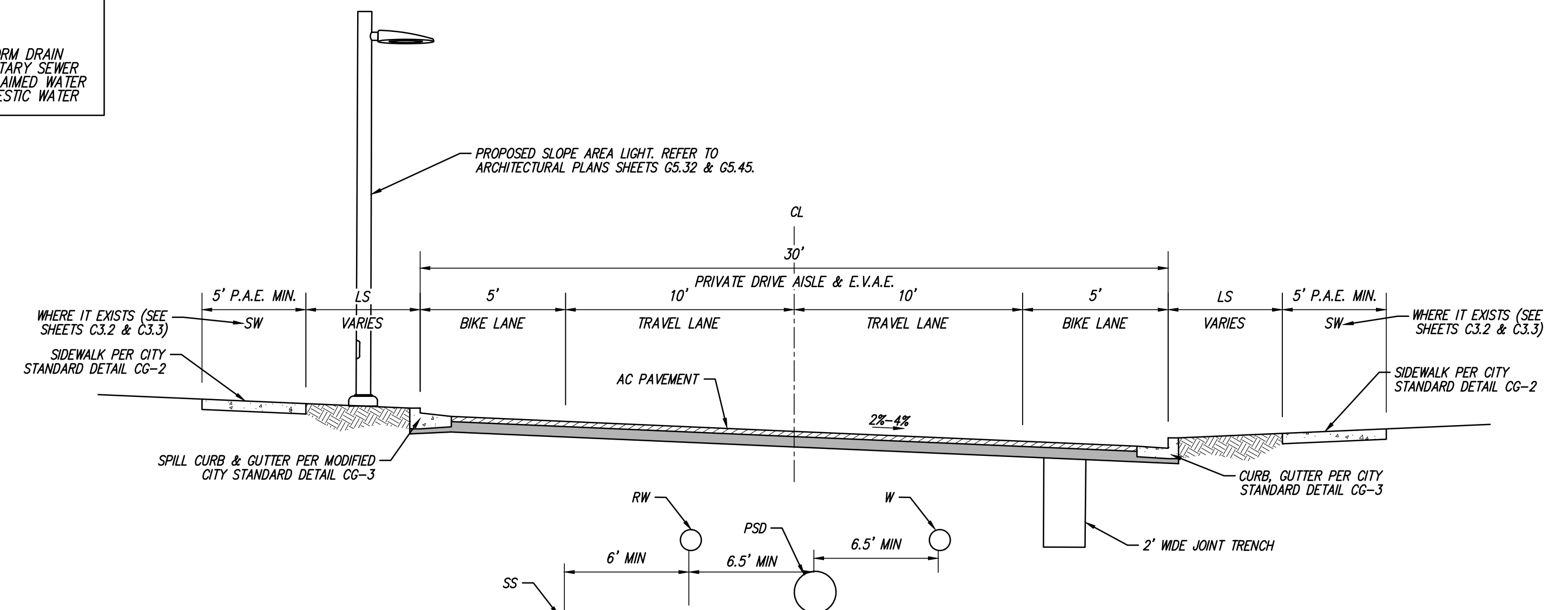
N.T.S.
MODIFIED CITY STANDARD LOCAL ACCESS STREET

LEGEND	
PSD	PRIVATE STORM DRAIN
SS	PUBLIC SANITARY SEWER
RW	PUBLIC RECLAIMED WATER
W	PUBLIC DOMESTIC WATER



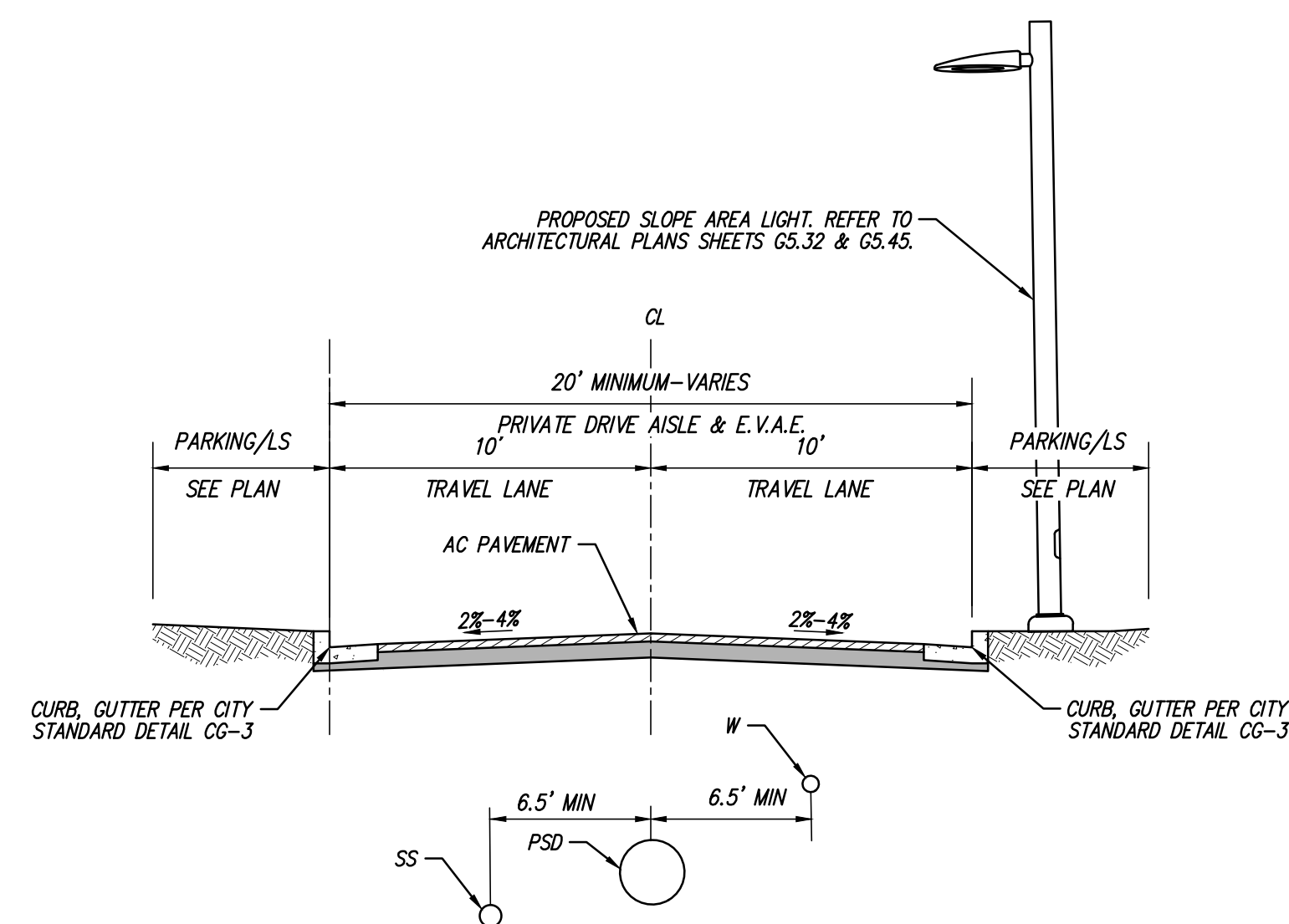
SECTION C PRIVATE TYPICAL LOOP STREET (CROWNED)

N.T.S.
MODIFIED CITY STANDARD LOCAL ACCESS STREET



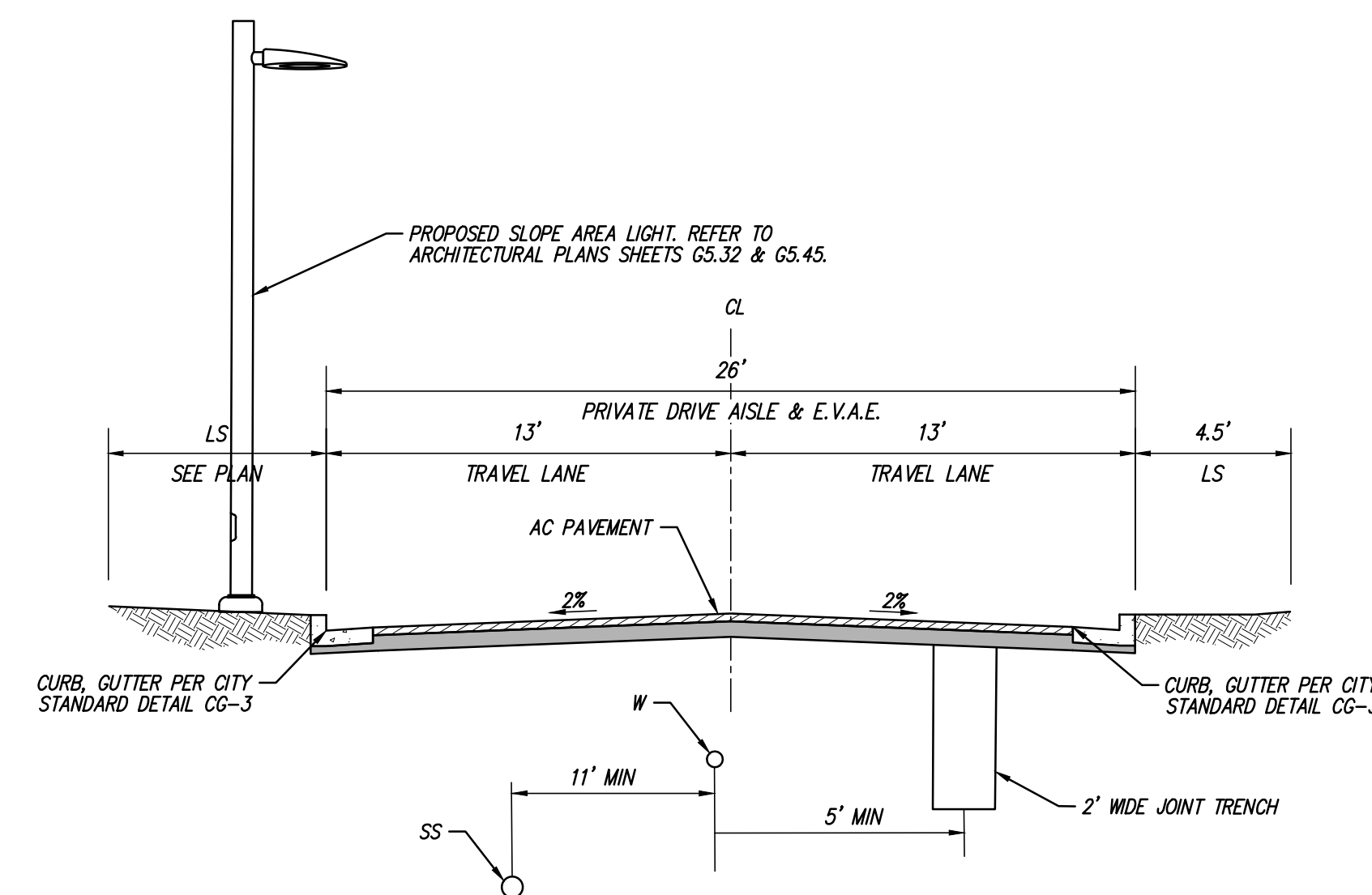
SECTION D PRIVATE TYPICAL LOOP STREET (SUPER ELEVATED)

N.T.S.
MODIFIED CITY STANDARD LOCAL ACCESS STREET



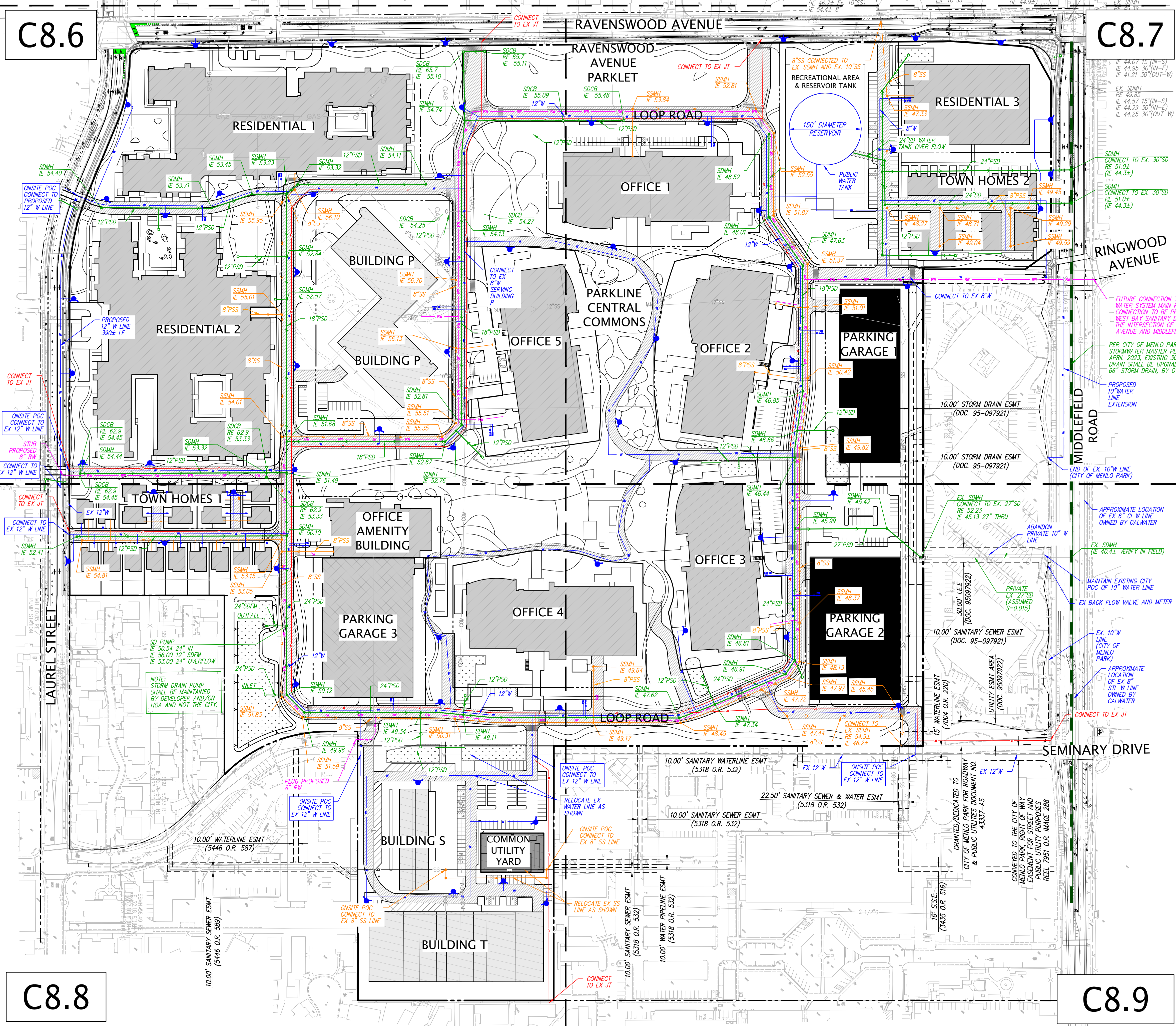
SECTION E RESIDENTIAL/FIRE ACCESS ROAD

N.T.S.
CITY STANDARD FIRE ACCESS



SECTION F ENTRANCE (SEMINARY DRIVE)

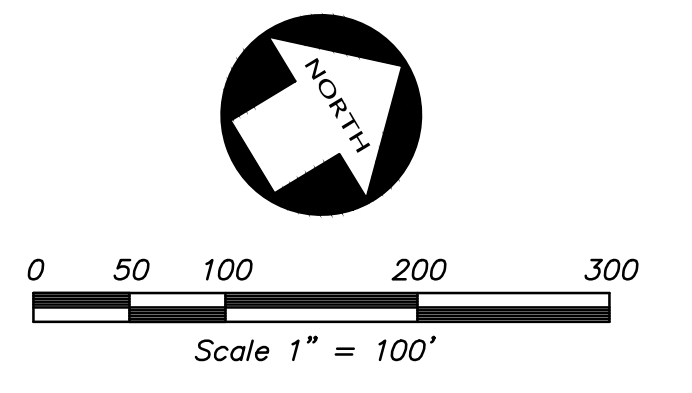
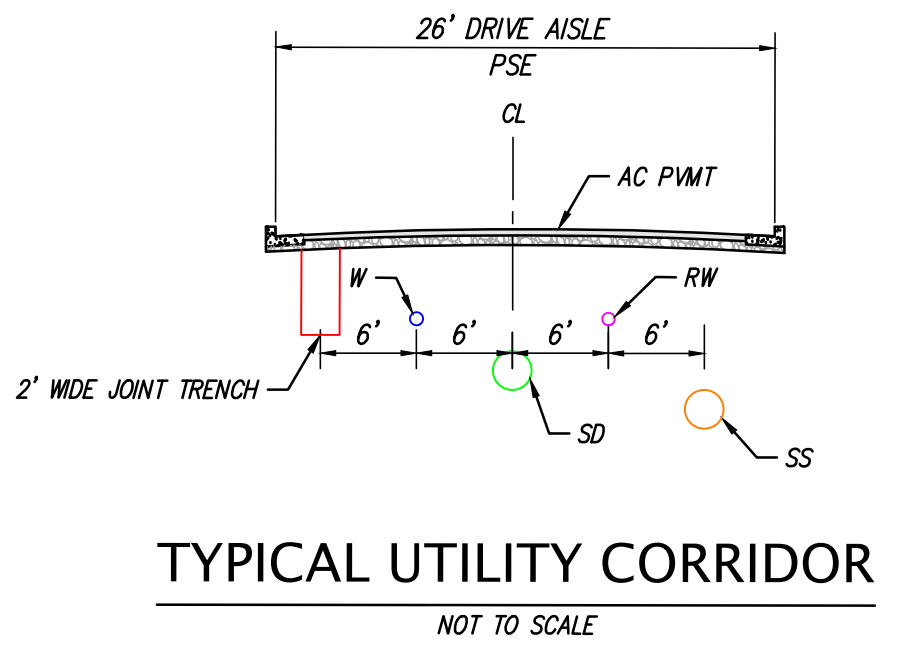
N.T.S.
CITY STANDARD FIRE ACCESS

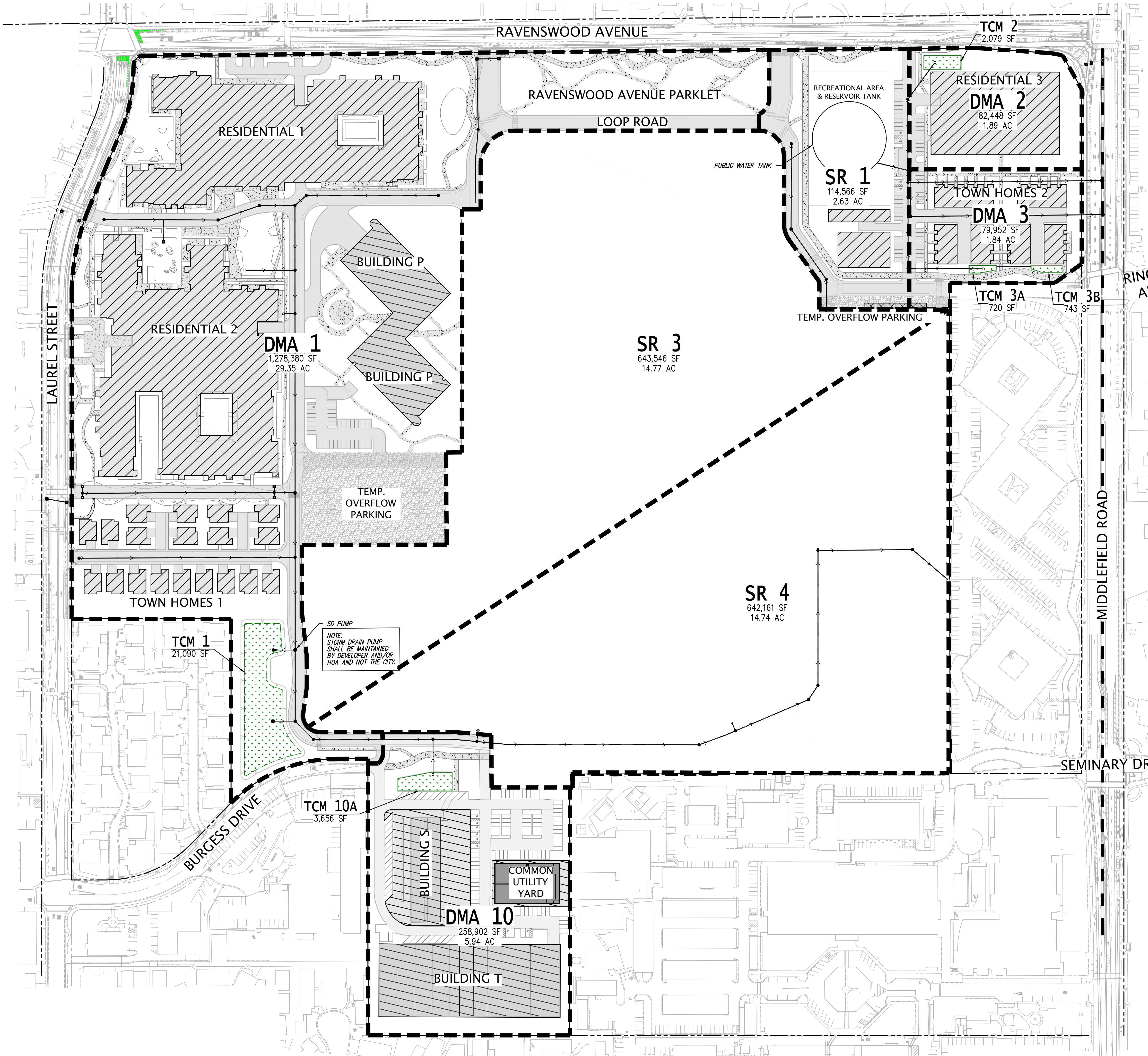


LEGEND

PROPOSED	EXISTING	DESCRIPTION
[Symbol]	[Symbol]	BUILDING LINE
[Symbol]	[Symbol]	CENTER LINE
[Symbol]	[Symbol]	CONCRETE CURB
[Symbol]	[Symbol]	CONCRETE CURB & GUTTER
[Symbol]	[Symbol]	CONTOUR LINE
[Symbol]	[Symbol]	DRIVEWAY
[Symbol]	[Symbol]	EDGE OF PAVEMENT
[Symbol]	[Symbol]	ELECTRIC LINE
[Symbol]	[Symbol]	FENCE LINE
[Symbol]	[Symbol]	FIRE SERVICE & VALVE
[Symbol]	[Symbol]	FIBER OPTICS LINE
[Symbol]	[Symbol]	GAS LINE-VALVE & METER
[Symbol]	[Symbol]	GUARD RAIL
[Symbol]	[Symbol]	JOINT TRENCH LINE
[Symbol]	[Symbol]	LOT LINE
[Symbol]	[Symbol]	MONUMENT/MONUMENT LINE
[Symbol]	[Symbol]	OVERHEAD POWER LINE
[Symbol]	[Symbol]	BOUNDARY LOT LINE
[Symbol]	[Symbol]	PROPERTY LINE
[Symbol]	[Symbol]	PRIVATE RECYCLED WATER LINE & VALVE (8" TYP)
[Symbol]	[Symbol]	PUBLIC RECYCLED WATER LINE & VALVE (8" TYP)
[Symbol]	[Symbol]	PRIVATE SANITARY SEWER-MANHOLE & CLEANOUT (8" TYP)
[Symbol]	[Symbol]	PUBLIC SANITARY SEWER-MANHOLE & CLEANOUT (8" TYP)
[Symbol]	[Symbol]	SIDEWALK
[Symbol]	[Symbol]	PRIVATE STORM DRAIN-MANHOLE & CATCH BASIN (SIZE PER PLAN)
[Symbol]	[Symbol]	PUBLIC STORM DRAIN-MANHOLE & CATCH BASIN (SIZE PER PLAN)
[Symbol]	[Symbol]	PRIVATE WATER LINE & VALVE (12" TYP)
[Symbol]	[Symbol]	PUBLIC WATER LINE & VALVE (12" TYP)
[Symbol]	[Symbol]	BACKFLOW PREVENTION DEVICE
[Symbol]	[Symbol]	ELECTROLIER
[Symbol]	[Symbol]	FIRE HYDRANT
[Symbol]	[Symbol]	WATER METER
[Symbol]	[Symbol]	PROPOSED PUBLIC SERVICE EASEMENT (P.S.E.)

- ### NOTES
- STORM DRAIN MINIMUM SLOPE: 0.003
 - SANITARY SEWER MINIMUM SLOPE: 0.004
 - ALL STORM DRAIN LINES ON-SITE ARE PRIVATE (PSD), WITH THE EXCEPTION OF THE PUBLIC WATER TANK OVERFLOW
 - ALL UTILITIES WITHIN THE PUBLIC SERVICE EASEMENT (P.S.E.) ARE PUBLIC, WITH THE EXCEPTION OF THE PRIVATE STORM DRAIN (PSD)
 - ALL OTHER UTILITIES NOT IN PUBLIC SERVICE EASEMENT (P.S.E.) ARE PRIVATE.
- DURING CONSTRUCTION DOCUMENT DESIGN THE UTILITY PLANS SHALL LOCATE ALL EMERGENCY SHUTOFF VALVES AND ISOLATION VALVES PER CITY RECOMMENDATIONS AND APPROVAL OF WATER SYSTEM DESIGN





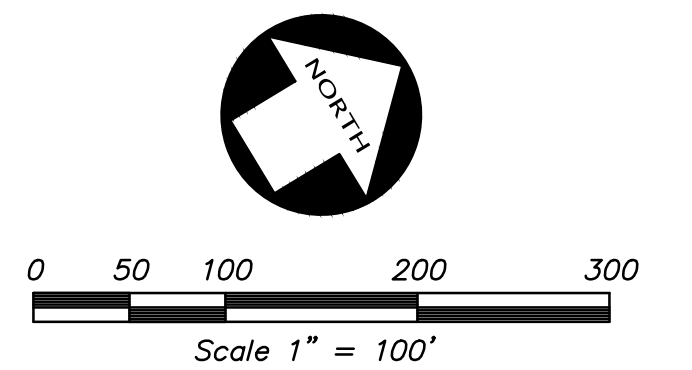
LEGEND

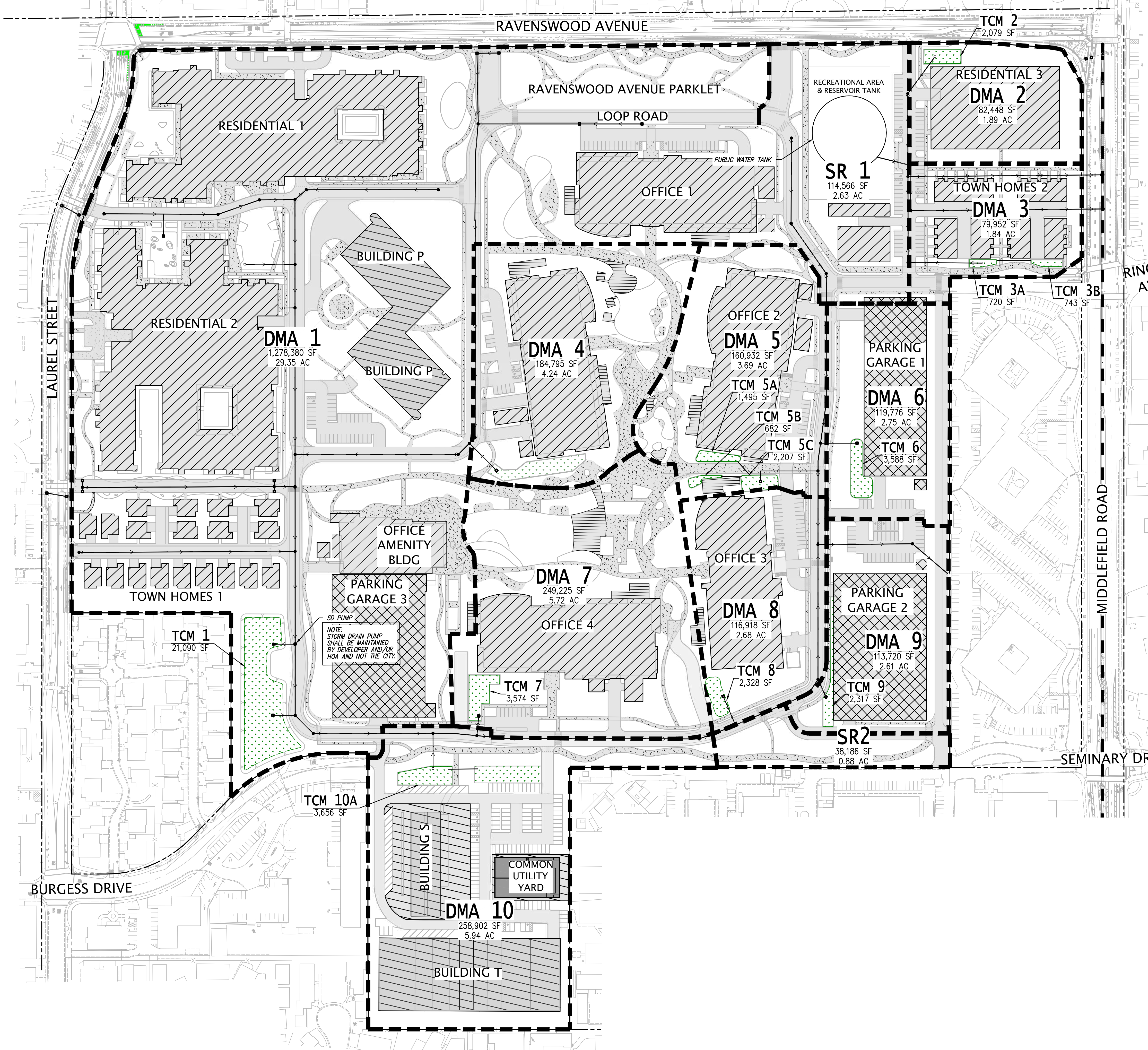
- IMPERVIOUS ROOF AREA - PROPOSED BUILDING
- IMPERVIOUS ROOF AREA - PROPOSED GARAGE
- IMPERVIOUS ROOF AREA - EXISTING BUILDING TO REMAIN
- IMPERVIOUS AC PAVEMENT AREA
- IMPERVIOUS PCC PAVEMENT AREA
- IMPERVIOUS WOOD DECK
- PERVIOUS AREA
- FLOW THROUGH PLANTER SEE DETAIL 2 SHEET C9.4
- BIORETENTION PLANTER SEE DETAIL 1 SHEET C9.4
- EQUALIZING PIPE BETWEEN PLANTERS
- TRIBUTARY AREA LIMITS
- DRAINAGE MANAGEMENT AREA
- TREATMENT CONTROL MEASURE
- SELF RETAINING AREA

	PERVIOUS AREA	AC PAVEMENT AREA	PCC PAVEMENT AREA	ROOF AREA	TOTAL AREA
EXISTING	±784,300 SF	±1,375,000	-	±638,500 SF	±2,797,800 SF
PHASE 1	±2,014,900 SF	±187,400 SF	±168,400 SF	±427,100 SF	±2,797,800 SF

NOTE: TOTAL AREAS ROUNDED TO THE NEAREST HUNDRED
SEE STORMWATER MANAGEMENT PLAN

NOTE:
ALL BIORETENTION BASINS, WITHIN PHASE 1, WILL
BE REQUIRED TO BE INSTALLED AND FUNCTIONING
DURING PHASE 1



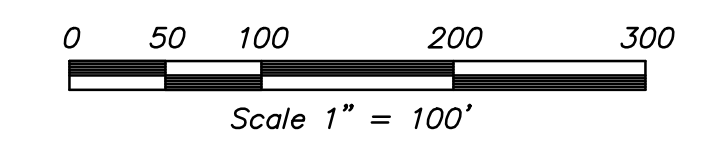
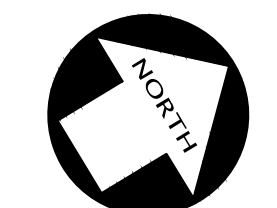


LEGEND

- IMPERVIOUS ROOF AREA - PROPOSED BUILDING
- IMPERVIOUS ROOF AREA - PROPOSED GARAGE
- IMPERVIOUS ROOF AREA - EXISTING BUILDING TO REMAIN
- IMPERVIOUS AC PAVEMENT AREA
- IMPERVIOUS PCC PAVEMENT AREA
- IMPERVIOUS WOOD DECK
- PERVIOUS AREA
- FLOW THROUGH PLANTER SEE DETAIL 2 SHEET C9.4
- BIORETENTION PLANTER SEE DETAIL 1 SHEET C9.4
- EQUALIZING PIPE BETWEEN PLANTERS
- TRIBUTARY AREA LIMITS
- DRAINAGE MANAGEMENT AREA
- TREATMENT CONTROL MEASURE
- SELF RETAINING AREA

	PERVIOUS AREA	AC PAVEMENT AREA	PCC PAVEMENT AREA	ROOF AREA	DECK AREA	TOTAL AREA
EXISTING	±784,300 SF	±1,375,000	-	±638,500 SF	-	±2,797,800 SF
FULL BUILDOUT	±1,032,900 SF	±478,500 SF	±311,600 SF	±950,000 SF	±24,800 SF	±2,797,800 SF

NOTES: TOTAL AREAS ROUNDED TO THE NEAREST HUNDRED
SEE STORMWATER MANAGEMENT PLAN



EX. CB #2
DA = 0.50 AC

CB #4
DA = 0.59 AC

DA 2
26,903 SF

DMA 1
68,093 SF

CB #1
DA = 0.50 AC

TCM 1
1,646 SF

DA 3
5,737 SF

DA 1
13,275 SF

HIGHPOINT

RINGWOOD AVENUE

LAUREL STREET

MIDDLEFIELD ROAD

SEMINARY DRIVE

BURGESS DRIVE

POC #3
DA = 0.29 AC

LEGEND

- BIORETENTION TREATMENT AREA
- DISTURBED AREA
- EXISTING RETAINED AC PAVEMENT TREATED IN LIEU OF DA 1 & 3
- TRIBUTARY AREA LIMITS
- AC ACRES
- DMA DRAINAGE MANAGEMENT AREA
- TCM TREATMENT CONTROL MEASURE
- IL IN-LIEU
- DA DISTURBED AREA
- POC POINT OF CONCENTRATION

	PERVIOUS AREA	AC PAVEMENT AREA	PCC PAVEMENT AREA	TOTAL AREA
EXISTING	±13,700 SF	±90,900 SF	±23,600 SF	±128,200 SF
PROPOSED	±22,900 SF	±90,700 SF	±14,600 SF	±128,200 SF

NOTE: TOTAL AREAS ROUNDED TO THE NEAREST HUNDRED

Worksheet for Calculating the Combination Flow and Volume Method

1.0 Project Information

1.1 Project Name:

1.2 City application ID:

1.3 Site Address or APN:

1.4 Tract or Parcel Map No.:

1.5 Site Mean Annual Precip. (MAP): 20.1 Inches

1.6 Applicable Rain Gauge: San Francisco Airport (SMOWPPP)

MAP adjustment factor is automatically calculated as: 1.00

(The "Site Mean Annual Precipitation (MAP)" is divided by the MAP for the applicable rain gauge, shown in Table 5.2, below.)

2.0 Calculate Percentage of Impervious Surface for Drainage Management Area (DMA)

Name of DMA: DMA 1

For items 2 and 2.3, enter the areas in square feet for each type of surface within the DMA.

Type of Surface	Area of surface type within DMA (Sq. Ft)	Adjust Pervious Surface	Effective Impervious Area
2.2 Impervious Surface	59,487	1.0	59,487
2.3 Pervious Surface*	8,605	0.1	861
Total DMA Area (square feet) =			60,348

*Self-Treating and Self-Retaining not included

3.0 Calculate Unit Basin Storage Volume in Inches

Table 5-2: Unit Basin Storage Volumes (in inches) for 80 Percent Capture Using 48-Hour Drawdowns

Applicable Rain Gauge	Mean Annual Precipitation (in)	Unit Basin Storage Volume (in) for Applicable Runoff Coefficients
San Jose Airport (SCURPPP)	33.9	0.58
Palo Alto (SCURPPP)	33.7	0.62
Palo Alto (SMOWPPP)	24.6	0.64
Walnut Creek (SCURPPP)	38.2	1.00
Walnut Creek (SMOWPPP)	39.9	1.00
San Francisco (SMOWPPP)	55.9	2.04
San Francisco (SCURPPP)	24.4	0.66
Half Moon Bay (SMOWPPP)	23.92	0.62
San Francisco (SMOWPPP)	30.1	0.79
San Francisco Airport (SMOWPPP)	30.3	0.85
Oakland Airport (SMOWPPP)	38.93	1.00

3.1 Unit basin storage volume from Table 5.2: 0.85 Inches

(The coefficient for this method is 1.00, due to the conversion of any landscaping to effective impervious area.)

3.2 Adjusted unit basin storage volume: 0.85 Inches

(The unit basin storage volume is adjusted by applying the MAP adjustment factor.)

3.3 Required Capture Volume (in cubic feet): 4,275 Cubic feet

(The adjusted unit basin storage volume (inches) is multiplied by the size of the DMA and converted to feet.)

4.0 Calculate the Duration of the Rain Event

4.1 Rainfall intensity: 0.2 Inches per hour

4.2 Divide Item 3.2 by Item 4.1: 4.25 Hours of Rain Event Duration

5.0 Preliminary Estimate of Surface Area of Treatment Measure

5.1 4% of DMA impervious surface: 2,414 Square feet

5.2 3% of DMA impervious surface: 1,810 Square feet

5.3 Volume of treated runoff for area in Item 5.2: 3,206 Cubic feet (Item 5.2 * 5 inches per hour * 1/12 * Item 4.2)

6.0 Initial Adjustment of Depth of Surface Ponding Area

6.1 Subtract Item 5.3 from Item 3.3: 1,069 Cubic feet (Amount of runoff to be stored in ponding area)

6.2 Divide Item 6.1 by Item 5.2: 0.6 Feet (depth of stored runoff in surface ponding area)

6.3 Convert Item 6.2 from ft to inches: 7.1 Inches (Depth of stored runoff in surface ponding area)

6.4 If ponding depth in Item 6.3 meets your target depth of 6"-12", then Item 7.1 is equal to Item 5.2. If not, continue to Step 7.1.

7.0 Optimize Size of Treatment Measure

7.1 Enter actual treatment area larger or smaller than Item 5.2 based off plans: 1543 Sq. ft. (Enter larger area if you need less ponding depth; smaller for more depth.)

7.2 Volume of treated runoff for area in Item 7.1: 2,732 Cubic feet (Item 7.1 * 5 inches per hour * 1/12 * Item 4.2)

7.3 Subtract Item 7.2 from Item 3.3: 1,542 Cubic feet (Amount of runoff to be stored in ponding area)

7.4 Divide Item 7.3 by Item 7.1: 1.00 Feet (Depth of stored runoff in surface ponding area)

7.5 Convert Item 7.4 from feet to inches: 12.0 Inches (Depth of stored runoff in surface ponding area)

If the ponding depth in Item 7.5 meets target, stop here. If not, repeat Steps 7.1 through 7.5 until you obtain target depth. If the slope of the drainage area > 1%, then 11" will be the max ponding depth (slopes > 1% will increase the ponding depth by 0.2 inches).

IN-LIEU TREATMENT SUMMARY TABLES

DISTURBED AREA	TOTAL AREA (SQ. FT.)	IMPERVIOUS AREA (SQ. FT.)	PERVIOUS AREA (SQ. FT.)	EFFECTIVE IMPERVIOUS AREA (SQ. FT.)
DA 1	13,275	9,095	4,180	9,513
DA 2	26,900	18,295	8,605	19,156
DA 3	5,736	3,436	2,300	3,666
TOTAL	45,911	30,826	15,085	32,335

EFFECTIVE IMPERVIOUS AREA = (0.1xPERVIOUS AREA)+IMPERVIOUS AREA

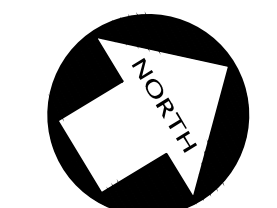
IN-LIEU TREATMENT AREA	TOTAL AREA (SQ. FT.)	IMPERVIOUS AREA (SQ. FT.)	PERVIOUS AREA (SQ. FT.)	EFFECTIVE IMPERVIOUS AREA (SQ. FT.)
DMA 1	68,092	59,487	8,605	60,348
TOTAL	68,092	59,487	8,605	60,348

NOTE: DMAs 1, 2, & 3 ARE NOT BEING TREATED, BUT WILL BE TREATED IN-LIEU BY IL-15 AREA, ALONG WITH DMA 11, BY TREATMENT AREA TCM 11. AREA IL-15 IS GREATER THAN THE AREAS OF DMAs 12, 13, & 14 COMBINED.

BIORETENTION SUMMARY TABLE

AREA	TCM	TREATMENT TYPE	TOTAL AREA (SQ. FT.)	IMPERVIOUS AREA (SQ. FT.)	PONDING DEPTH (IN.)	TREATMENT AREA REQ. (SQ. FT.)	TREATMENT AREA PROVIDED (SQ. FT.)
DMA 1	1	FLOW-THRU PLANTER	68,092	59,487	12	1,543	1,646

BIOTREATMENT SIZING BASED ON COMBO CALC METHOD.



0 50 100 200 300
Scale 1" = 100'

BIOTREATMENT SUMMARY TABLE ONSITE

AREA	TCM	TREATMENT TYPE	TOTAL AREA (SQ. FT.)	IMPERVIOUS AREA (SQ. FT.)	PERVIOUS AREA (SQ. FT.)	EFFECTIVE IMPERVIOUS AREA (EIA) (SQ. FT.)	SIZING METHOD*	TREATMENT AREA REQ. (SQ. FT.)	TREATMENT AREA PROVIDED (SQ. FT.)	PONDING DEPTH (IN.)
DMA 1	1	BIORETENTION PLANTER	1,278,380	804,013	474,367	851,450	FLOW-VOLUME COMBO	20,955	21,000	12
DMA 2	2	FLOW-THROUGH PLANTER	82,448	48,244	34,204	51,664	4% METHOD	2,067	2,079	6
DMA 3	3	FLOW-THROUGH PLANTER	79,952	54,828	25,124	57,340	FLOW-VOLUME COMBO	1,411	1,450	12
DMA 4	4	FLOW-THROUGH PLANTER	184,795	116,863	67,932	123,656	4% METHOD	4,946	6,254	6
DMA 5	5	FLOW-THROUGH PLANTER	160,932	100,455	60,477	106,503	4% METHOD	4,260	4,384	6
DMA 6	6	FLOW-THROUGH PLANTER	119,776	81,776	38,000	85,576	4% METHOD	3,423	3,600	6
DMA 7	7	FLOW-THROUGH PLANTER	249,225	131,200	118,025	143,003	FLOW-VOLUME COMBO	3,519	3,520	12
DMA 8	8	BIORETENTION PLANTER	116,918	85,968	30,950	89,063	FLOW-VOLUME COMBO	2,192	2,220	12
DMA 9	9	FLOW-THROUGH PLANTER	113,720	90,590	23,130	92,903	FLOW-VOLUME COMBO	2,286	2,300	12
DMA 10	10	FLOW-THROUGH PLANTER	258,902	191,962	66,940	198,656	4% METHOD	7,946	7,970	6
TOTAL	-	-	2,645,048	1,705,899	939,149	1,799,814		53,005	54,777	

* 4 % METHOD = (EFFECTIVE IMPERVIOUS AREA X 0.04)
FLOW-VOLUME COMBO METHOD, SEE THIS SHEET FOR DETAILED WORKSHEETS

SELF RETAINING AREA

AREA	TREATMENT TYPE	TOTAL AREA (SQ. FT.)	IMPERVIOUS AREA (SQ. FT.)	TREATMENT AREA REQ. (SQ. FT.)
SR 1	SELF-RETAINING AREA	114,566	45,276	—
SR 2	SELF-RETAINING AREA	38,186	13,732	—
TOTAL	-	152,752	59,008	—

Worksheet for Calculating the Combination Flow and Volume Method

Instructions: After completing Section 1, make a copy of this Excel file for each Drainage Management Area within the project. Enter information specific to the project and DMA in the cells shaded in yellow. Cells shaded in light blue contain formulas and values that will be automatically calculated.

1.0 Project Information

1-1 Project Name: **555 Ravenswood Ave**

1-2 City Application ID: **555 Ravenswood Ave**

1-3 Site Address or APR: **555 Ravenswood Ave**

1-4 Tract or Parcel Map No: **4**

1-5 Rational Region: **4**

1-6 Region Mean Annual Precipitation (MAP): **14.60**

1-7 Site Mean Annual Precipitation (MAP): **18**

1-8 **MAP adjustment factor is automatically calculated as: 1.20**
(The "Site Mean Annual Precipitation (MAP)" is divided by the MAP for the applicable rain group, shown in Table 3.3, below.)
Right-click the map in Appendix C of the C.3 Technical Guidance to identify the Rational Region for the site.

2.0 Calculate Percentage of Impervious Surface for Drainage Management Area (DMA)

2-1 Name of DMA: **DMA 1**

For items 2-2 and 2-3, enter the areas in square feet for each type of surface within the DMA.

Type of Surface	Area of surface type within DMA (Sq. Ft.)	Adjust Pervious Surface	Effective Impervious Area
2-2 Impervious surface	804,013	1.0	804,013
2-3 Pervious surface	474,367	0.1	47,437
Total DMA Area (square feet) =			1,278,380
		Total Effective Impervious Area (EIA)	851,450 Square feet

3.0 Calculate Unit Basin Storage Volume in Inches

Table 5-3: Unit Basin Storage Volumes in Inches for 80 Percent Capture Using 48-Hour Drawdowns, based on runoff coefficient

Region	Station and Mean Annual Precipitation (Inches)	Runoff Coefficient of 1.0
1	Region 1A, 14.6"	0.67
2	Region 2A, 14.6"	0.67
3	Region 3A, 14.6"	0.67
4	Region 4A, 14.6"	0.67
5	Region 5A, 14.6"	0.67
6	Region 6A, 14.6"	0.67
7	Region 7A, 14.6"	0.67

3-1 Unit basin storage volume from Table 5-3: **0.64**

3-2 (The coefficient for this method is always 1.0, due to the conversion of any landscaping to effective impervious area.)
Adjusted unit basin storage volume: **0.77** inches

3-3 (The unit basin storage volume from 3-2 is adjusted by applying the MAP adjustment factor from 1-8.)
Required Capture Volume (in cubic feet): **54,431** Cubic feet

4.0 Calculate the Duration of the Rain Event

4-1 Rational intensity: **0.2** Inches per hour

4-2 Divide Item 3-2 by Item 4-1: **3.84** Hours of Rain Event Duration

5.0 Preliminary Estimate of Surface Area of Treatment Measure

5-1 4% of DMA EIA (Item 2-4): **34052.988** Square feet

5-2 Area 20% smaller than Item 5-1 (i.e., 8% of DMA EIA): **25543.491** Square feet

5-3 Volume of treated runoff for area in Item 5-2: **40822.98** Cubic feet (Item 5-2 * 5 inches per hour * 1/12 * Item 4-2)

6.0 Initial Adjustment of Depth of Surface Ponding Area

6-1 Subtract Item 5-3 from Item 3-3: **13607.54** Cubic feet (Amount of runoff to be stored in ponding area)

6-2 Divide Item 6-1 by Item 5-2: **0.53** Feet (Depth of stored runoff in surface ponding area)

6-3 Convert Item 6-2 from feet to inches: **6.39** Inches (Depth of stored runoff in surface ponding area)

6-4 If ponding depth in Item 6-3 meets your target depth (recommended 7.5" up to Item 6-1. If not, continue to Step 7-1. (Note: Overflow water elevation should be set based on the calculated ponding depth.)

7.0 Optimize Size of Treatment Measure

7-1 Enter an area larger than Item 5-2: **23955** Sq. Ft. (enter larger area if you need less ponding depth.)

7-2 Volume of treated runoff for area in Item 7-1: **33489.75** Cubic feet (Item 7-1 * 5 inches per hour * 1/12 * Item 4-2)

7-3 Subtract Item 7-2 from Item 3-3: **20940.80** Cubic feet (Amount of runoff to be stored in ponding area)

7-4 Divide Item 7-3 by Item 7-1: **1.00** Feet (Depth of stored runoff in surface ponding area)

7-5 Convert Item 7-4 from feet to inches: **12.00** Inches (Depth of stored runoff in surface ponding area)

7-6 If the ponding depth in Item 7-5 meets target, stop here. If not, repeat Steps 7-1 through 7-5 until you obtain target depth.

8.0 Surface Area of Treatment Measure for DMA

8-1 Final surface area of treatment: **20,955** Square feet (Either Item 5-2 or final amount in Item 7-1)

Worksheet for Calculating the Combination Flow and Volume Method

Instructions: After completing Section 1, make a copy of this Excel file for each Drainage Management Area within the project. Enter information specific to the project and DMA in the cells shaded in yellow. Cells shaded in light blue contain formulas and values that will be automatically calculated.

1.0 Project Information

1-1 Project Name: **555 Ravenswood Ave**

1-2 City Application ID: **555 Ravenswood Ave**

1-3 Site Address or APR: **555 Ravenswood Ave**

1-4 Tract or Parcel Map No: **4**

1-5 Rational Region: **4**

1-6 Region Mean Annual Precipitation (MAP): **14.60**

1-7 Site Mean Annual Precipitation (MAP): **18**

1-8 **MAP adjustment factor is automatically calculated as: 1.20**
(The "Site Mean Annual Precipitation (MAP)" is divided by the MAP for the applicable rain group, shown in Table 3.3, below.)
Right-click the map in Appendix C of the C.3 Technical Guidance to identify the Rational Region for the site.

2.0 Calculate Percentage of Impervious Surface for Drainage Management Area (DMA)

2-1 Name of DMA: **DMA 3**

For items 2-2 and 2-3, enter the areas in square feet for each type of surface within the DMA.

Type of Surface	Area of surface type within DMA (Sq. Ft.)	Adjust Pervious Surface	Effective Impervious Area
2-2 Impervious surface	54,828	1.0	54,828
2-3 Pervious surface	25,124	0.1	2,512
Total DMA Area (square feet) =			79,952
		Total Effective Impervious Area (EIA)	57,340 Square feet

3.0 Calculate Unit Basin Storage Volume in Inches

Table 5-3: Unit Basin Storage Volumes in Inches for 80 Percent Capture Using 48-Hour Drawdowns, based on runoff coefficient

Region	Station and Mean Annual Precipitation (Inches)	Runoff Coefficient of 1.0
1	Region 1A, 14.6"	0.67
2	Region 2A, 14.6"	0.67
3	Region 3A, 14.6"	0.67
4	Region 4A, 14.6"	0.67
5	Region 5A, 14.6"	0.67
6	Region 6A, 14.6"	0.67
7	Region 7A, 14.6"	0.67

3-1 Unit basin storage volume from Table 5-3: **0.64**

3-2 (The coefficient for this method is always 1.0, due to the conversion of any landscaping to effective impervious area.)
Adjusted unit basin storage volume: **0.77** inches

3-3 (The unit basin storage volume from 3-2 is adjusted by applying the MAP adjustment factor from 1-8.)
Required Capture Volume (in cubic feet): **3,666** Cubic feet

4.0 Calculate the Duration of the Rain Event

4-1 Rational intensity: **0.2** Inches per hour

4-2 Divide Item 3-2 by Item 4-1: **3.84** Hours of Rain Event Duration

5.0 Preliminary Estimate of Surface Area of Treatment Measure

5-1 4% of DMA EIA (Item 2-4): **2293.616** Square feet

5-2 Area 20% smaller than Item 5-1 (i.e., 8% of DMA EIA): **1720.212** Square feet

5-3 Volume of treated runoff for area in Item 5-2: **2745.20** Cubic feet (Item 5-2 * 5 inches per hour * 1/12 * Item 4-2)

6.0 Initial Adjustment of Depth of Surface Ponding Area

6-1 Subtract Item 5-3 from Item 3-3: **916.40** Cubic feet (Amount of runoff to be stored in ponding area)

6-2 Divide Item 6-1 by Item 5-2: **0.53** Feet (Depth of stored runoff in surface ponding area)

6-3 Convert Item 6-2 from feet to inches: **6.39** Inches (Depth of stored runoff in surface ponding area)

6-4 If ponding depth in Item 6-3 meets your target depth (recommended 7.5" up to Item 6-1. If not, continue to Step 7-1. (Note: Overflow water elevation should be set based on the calculated ponding depth.)

7.0 Optimize Size of Treatment Measure

7-1 Enter an area larger than Item 5-2: **1411** Sq. Ft. (enter larger area if you need less ponding depth.)

7-2 Volume of treated runoff for area in Item 7-1: **2255.02** Cubic feet (Item 7-1 * 5 inches per hour * 1/12 * Item 4-2)

7-3 Subtract Item 7-2 from Item 3-3: **1410.37** Cubic feet (Amount of runoff to be stored in ponding area)

7-4 Divide Item 7-3 by Item 7-1: **1.00** Feet (Depth of stored runoff in surface ponding area)

7-5 Convert Item 7-4 from feet to inches: **12.00** Inches (Depth of stored runoff in surface ponding area)

7-6 If the ponding depth in Item 7-5 meets target, stop here. If not, repeat Steps 7-1 through 7-5 until you obtain target depth.

8.0 Surface Area of Treatment Measure for DMA

8-1 Final surface area of treatment: **1,411** Square feet (Either Item 5-2 or final amount in Item 7-1)

OVERALL TREATMENT AREA TOTALS ONSITE

PROJECT PHASE NUMBER: (N/A, 1, 2, 3)				N/A
TOTAL SITE (ACRES):	64.23 [2,797,800 SF]	TOTAL AREA OF SITE DISTURBED (ACRES):	61.75	
IMPERVIOUS SURFACES	EXISTING CONDITION OF DISTURBED AREA (SQUARE FEET):	PROPOSED CONDITION OF SITE AREA DISTURBED (SQUARE FEET):	REPLACED	NEW
	TOTAL IMPERVIOUS SURFACES (E.G., SIDEWALKS, DRIVEWAYS, PARKING AREAS, PATIOS, ROADS, ROOFTOPS, POOLS, PATHWAYS, ETC.)	2,013,500	774,572	882,304
PERVIOUS SURFACES	LANDSCAPED AREAS	784,300	0	1,032,893
	PERVIOUS PAVING	0	0	0
	OTHER PERVIOUS SURFACES (GREEN ROOF, ETC.)	0	0	0
	TOTAL PERVIOUS SURFACES:	784,300	0	1,032,893
	TOTAL PROPOSED REPLACED + NEW IMPERVIOUS SURFACES:			1,656,876
	TOTAL PROPOSED REPLACED + NEW PERVIOUS SURFACES:			1,032,893

Worksheet for Calculating the Combination Flow and Volume Method

Instructions: After completing Section 1, make a copy of this Excel file for each Drainage Management Area within the project. Enter information specific to the project and DMA in the cells shaded in yellow. Cells shaded in light blue contain formulas and values that will be automatically calculated.

1.0 Project Information

1-1 Project Name: **555 Ravenswood Ave**

1-2 City Application ID: **555 Ravenswood Ave**

1-3 Site Address or APR: **555 Ravenswood Ave**

1-4 Tract or Parcel Map No: **4**

1-5 Rational Region: **4**

1-6 Region Mean Annual Precipitation (MAP): **14.60**

1-7 Site Mean Annual Precipitation (MAP): **18**

1-8 **MAP adjustment factor is automatically calculated as: 1.20**
(The "Site Mean Annual Precipitation (MAP)" is divided by the MAP for the applicable rain group, shown in Table 3.3, below.)
Right-click the map in Appendix C of the C.3 Technical Guidance to identify the Rational Region for the site.

2.0 Calculate Percentage of Impervious Surface for Drainage Management Area (DMA)

2-1 Name of DMA: **DMA 7**

For items 2-2 and 2-3, enter the areas in square feet for each type of surface within the DMA.

Type of Surface	Area of surface type within DMA (Sq. Ft.)	Adjust Pervious Surface	Effective Impervious Area
2-2 Impervious surface	131,200	1.0	131,200
2-3 Pervious surface	118,025	0.1	11,803
Total DMA Area (square feet) =			249,225
		Total Effective Impervious Area (EIA)	143,003 Square feet

3.0 Calculate Unit Basin Storage Volume in Inches

Table 5-3: Unit Basin Storage Volumes in Inches for 80 Percent Capture Using 48-Hour Drawdowns, based on runoff coefficient

Region	Station and Mean Annual Precipitation (Inches)	Runoff Coefficient of 1.0
1	Region 1A, 14.6"	0.67
2	Region 2A, 14.6"	0.67
3	Region 3A, 14.6"	0.67
4	Region 4A, 14.6"	0.67
5	Region 5A, 14.6"	0.67
6	Region 6A, 14.6"	0.67
7	Region 7A, 14.6"	0.67

3-1 Unit basin storage volume from Table 5-3: **0.64**

3-2 (The coefficient for this method is always 1.0, due to the conversion of any landscaping to effective impervious area.)
Adjusted unit basin storage volume: **0.77** inches

3-3 (The unit basin storage volume from 3-2 is adjusted by applying the MAP adjustment factor from 1-8.)
Required Capture Volume (in cubic feet): **9,142** Cubic feet

4.0 Calculate the Duration of the Rain Event

4-1 Rational intensity: **0.2** Inches per hour

4-2 Divide Item 3-2 by Item 4-1: **3.84** Hours of Rain Event Duration

5.0 Preliminary Estimate of Surface Area of Treatment Measure

5-1 4% of DMA EIA (Item 2-4): **5720.1** Square feet

5-2 Area 20% smaller than Item 5-1 (i.e., 8% of DMA EIA): **4290.075** Square feet

5-3 Volume of treated runoff for area in Item 5-2: **6856.28** Cubic feet (Item 5-2 * 5 inches per hour * 1/12 * Item 4-2)

6.0 Initial Adjustment of Depth of Surface Ponding Area

6-1 Subtract Item 5-3 from Item 3-3: **2283.83** Cubic feet (Amount of runoff to be stored in ponding area)

6-2 Divide Item 6-1 by Item 5-2: **0.53** Feet (Depth of stored runoff in surface ponding area)

6-3 Convert Item 6-2 from feet to inches: **6.39** Inches (Depth of stored runoff in surface ponding area)

6-4 If ponding depth in Item 6-3 meets your target depth (recommended 7.5" up to Item 6-1. If not, continue to Step 7-1. (Note: Overflow water elevation should be set based on the calculated ponding depth.)

7.0 Optimize Size of Treatment Measure

7-1 Enter an area larger than Item 5-2: **3519** Sq. Ft. (enter larger area if you need less ponding depth.)

7-2 Volume of treated runoff for area in Item 7-1: **5622.97** Cubic feet (Item 7-1 * 5 inches per hour * 1/12 * Item 4-2)

7-3 Subtract Item 7-2 from Item 3-3: **140** Cubic feet (Amount of runoff to be stored in ponding area)

7-4 Divide Item 7-3 by Item 7-1: **1.00** Feet (Depth of stored runoff in surface ponding area)

7-5 Convert Item 7-4 from feet to inches: **12.00** Inches (Depth of stored runoff in surface ponding area)

7-6 If the ponding depth in Item 7-5 meets target, stop here. If not, repeat Steps 7-1 through 7-5 until you obtain target depth.

8.0 Surface Area of Treatment Measure for DMA

8-1 Final surface area of treatment: **3,519** Square feet (Either Item 5-2 or final amount in Item 7-1)

Worksheet for Calculating the Combination Flow and Volume Method

Instructions: After completing Section 1, make a copy of this Excel file for each Drainage Management Area within the project. Enter information specific to the project and DMA in the cells shaded in yellow. Cells shaded in light blue contain formulas and values that will be automatically calculated.

1.0 Project Information

1-1 Project Name: **555 Ravenswood Ave**

1-2 City Application ID: **555 Ravenswood Ave**

1-3 Site Address or APR: **555 Ravenswood Ave**

1-4 Tract or Parcel Map No: **4**

1-5 Rational Region: **4**

1-6 Region Mean Annual Precipitation (MAP): **14.60**

1-7 Site Mean Annual Precipitation (MAP): **18**

1-8 **MAP adjustment factor is automatically calculated as: 1.20**
(The "Site Mean Annual Precipitation (MAP)" is divided by the MAP for the applicable rain group, shown in Table 3.3, below.)
Right-click the map in Appendix C of the C.3 Technical Guidance to identify the Rational Region for the site.

2.0 Calculate Percentage of Impervious Surface for Drainage Management Area (DMA)

2-1 Name of DMA: **DMA 8**

For items 2-2 and 2-3, enter the areas in square feet for each type of surface within the DMA.

Type of Surface	Area of surface type within DMA (Sq. Ft.)	Adjust Pervious Surface	Effective Impervious Area
2-2 Impervious surface	85,968	1.0	85,968
2-3 Pervious surface	30,950	0.1	3,095
Total DMA Area (square feet) =			116,918
		Total Effective Impervious Area (EIA)	89,063 Square feet

3.0 Calculate Unit Basin Storage Volume in Inches

Table 5-3: Unit Basin Storage Volumes in Inches for 80 Percent Capture Using 48-Hour Drawdowns, based on runoff coefficient

Region	Station and Mean Annual Precipitation (Inches)	Runoff Coefficient of 1.0
1	Region 1A, 14.6"	0.67
2	Region 2A, 14.6"	0.67
3	Region 3A, 14.6"	0.67
4	Region 4A, 14.6"	0.67
5	Region 5A, 14.6"	0.67
6	Region 6A, 14.6"	0.67
7	Region 7A, 14.6"	0.67

3-1 Unit basin storage volume from Table 5-3: **0.64**

3-2 (The coefficient for this method is always 1.0, due to the conversion of any landscaping to effective impervious area.)
Adjusted unit basin storage volume: **0.77** inches

3-3 (The unit basin storage volume from 3-2 is adjusted by applying the MAP adjustment factor from 1-8.)
Required Capture Volume (in cubic feet): **5,604** Cubic feet

4.0 Calculate the Duration of the Rain Event

4-1 Rational intensity: **0.2** Inches per hour

4-2 Divide Item 3-2 by Item 4-1: **3.84** Hours of Rain Event Duration

5.0 Preliminary Estimate of Surface Area of Treatment Measure

5-1 4% of DMA EIA (Item 2-4): **3542.72** Square feet

5-2 Area 20% smaller than Item 5-1 (i.e., 8% of DMA EIA): **2571.89** Square feet

5-3 Volume of treated runoff for area in Item 5-2: **4270.14** Cubic feet (Item 5-2 * 5 inches per hour * 1/12 * Item 4-2)

6.0 Initial Adjustment of Depth of Surface Ponding Area

6-1 Subtract Item 5-3 from Item 3-3: **1423.30** Cubic feet (Amount of runoff to be stored in ponding area)

6-2 Divide Item 6-1 by Item 5-2: **0.53** Feet (Depth of stored runoff in surface ponding area)

6-3 Convert Item 6-2 from feet to inches: **6.39** Inches (Depth of stored runoff in surface ponding area)

6-4 If ponding depth in Item 6-3 meets your target depth (recommended 7.5" up to Item 6-1. If not, continue to Step 7-1. (Note: Overflow water elevation should be set based on the calculated ponding depth.)

7.0 Optimize Size of Treatment Measure

7-1 Enter an area larger than Item 5-2: **2192** Sq. Ft. (enter larger area if you need less ponding depth.)

7-2 Volume of treated runoff for area in Item 7-1: **3503.20** Cubic feet (Item 7-1 * 5 inches per hour * 1/12 * Item 4-2)

7-3 Subtract Item 7-2 from Item 3-3: **2190.33** Cubic feet (Amount of runoff to be stored in ponding area)

7-4 Divide Item 7-3 by Item 7-1: **1.00** Feet (Depth of stored runoff in surface ponding area)

7-5 Convert Item 7-4 from feet to inches: **12.00** Inches (Depth of stored runoff in surface ponding area)

7-6 If the ponding depth in Item 7-5 meets target, stop here. If not, repeat Steps 7-1 through 7-5 until you obtain target depth.

8.0 Surface Area of Treatment Measure for DMA

8-1 Final surface area of treatment: **2,192** Square feet (Either Item 5-2 or final amount in Item 7-1)

Worksheet for Calculating the Combination Flow and Volume Method

Instructions: After completing Section 1, make a copy of this Excel file for each Drainage Management Area within the project. Enter information specific to the project and DMA in the cells shaded in yellow. Cells shaded in light blue contain formulas and values that will be automatically calculated.

1.0 Project Information

1-1 Project Name: **555 Ravenswood Ave**

1-2 City Application ID: **555 Ravenswood Ave**

1-3 Site Address or APR: **555 Ravenswood Ave**

1-4 Tract or Parcel Map No: **4**

1-5 Rational Region: **4**

1-6 Region Mean Annual Precipitation (MAP): **14.60**

1-7 Site Mean Annual Precipitation (MAP): **18**

1-8 **MAP adjustment factor is automatically calculated as: 1.20**
(The "Site Mean Annual Precipitation (MAP)" is divided by the MAP for the applicable rain group, shown in Table 3.3, below.)
Right-click the map in Appendix C of the C.3 Technical Guidance to identify the Rational Region for the site.

2.0 Calculate Percentage of Impervious Surface for Drainage Management Area (DMA)

2-1 Name of DMA: **DMA 5**

For items 2-2 and 2-3, enter the areas in square feet for each type of surface within the DMA.

Type of Surface	Area of surface type within DMA (Sq. Ft.)	Adjust Pervious Surface	Effective Impervious Area
2-2 Impervious surface	100,455	1.0	50,590
2-3 Pervious surface	79,952	0.1	7,913
Total DMA Area (square feet) =			180,407
		Total Effective Impervious Area (EIA)	93,003 Square feet

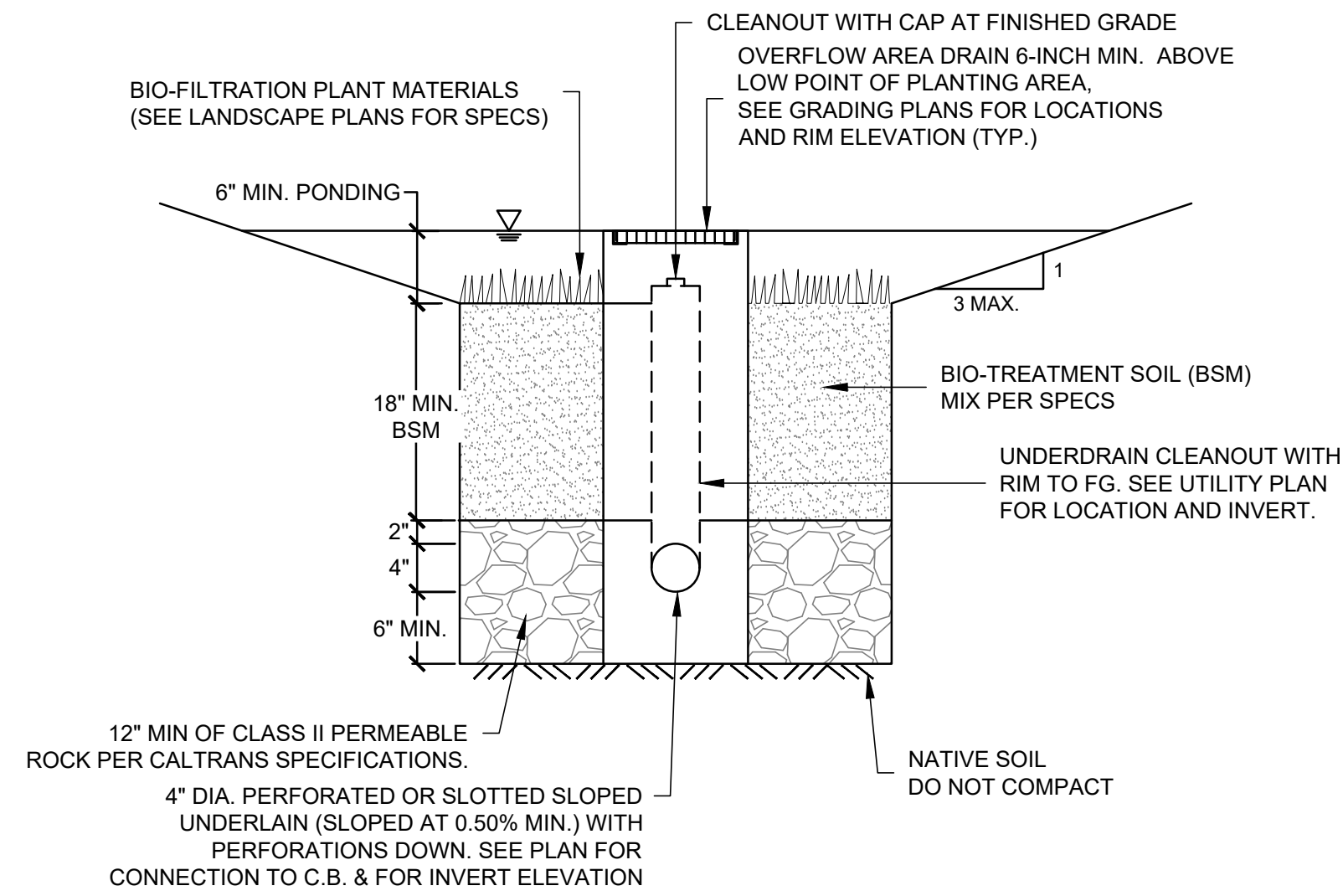
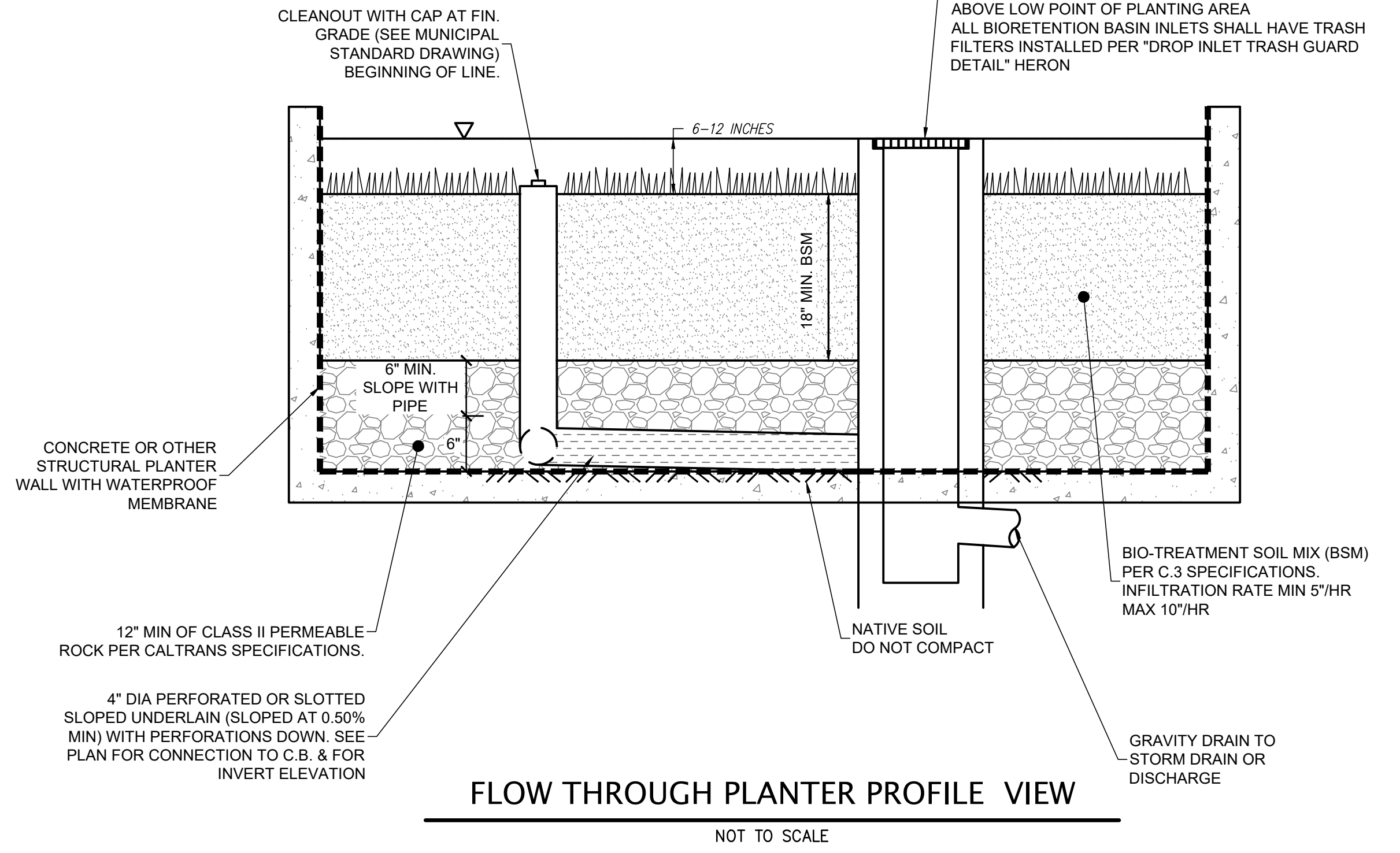
3.0 Calculate Unit Basin Storage Volume in Inches

Table 5-3: Unit Basin Storage Volumes in Inches for 80 Percent Capture Using 48-Hour Drawdowns, based on runoff coefficient

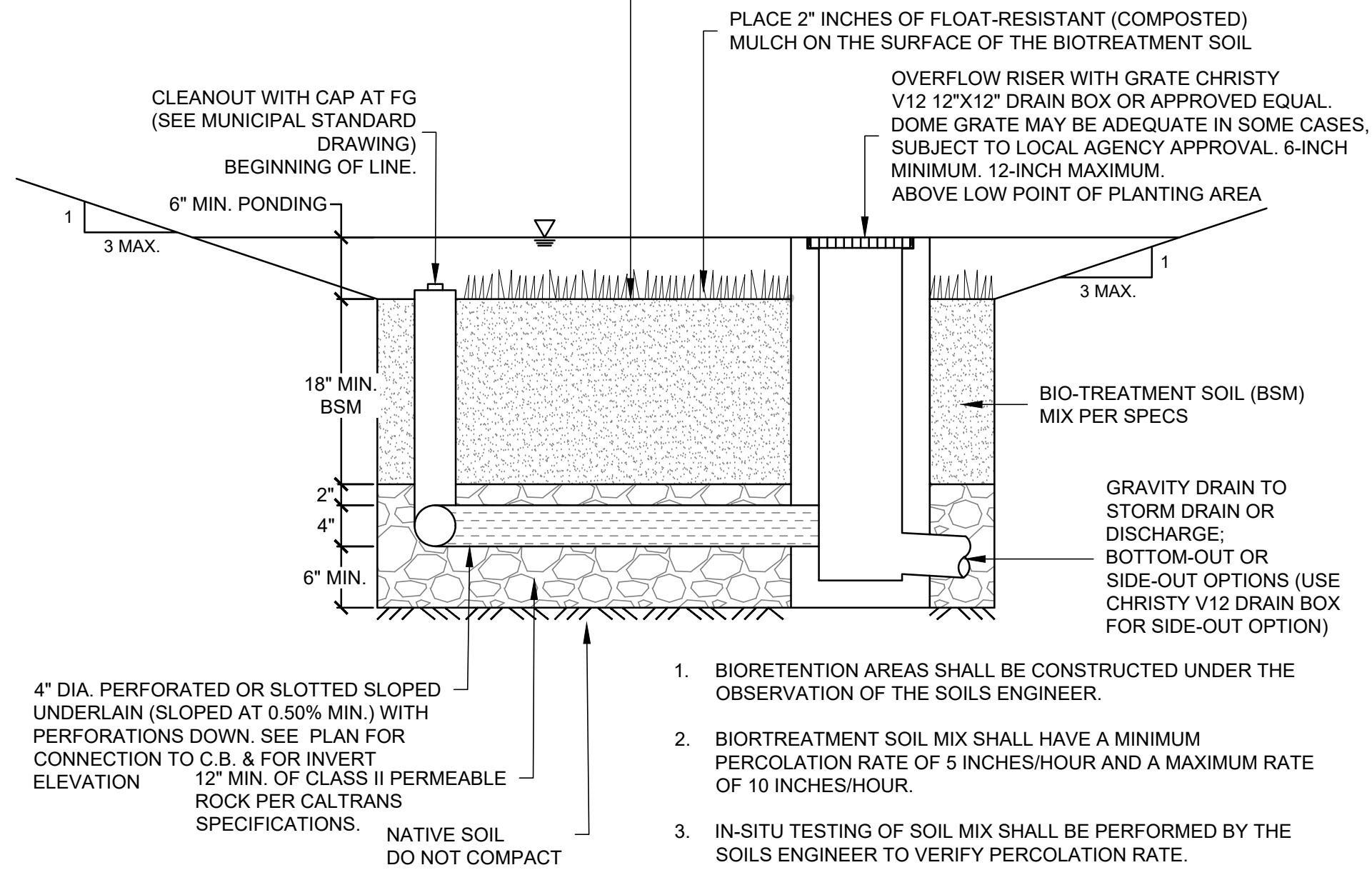
Region	Station and Mean Annual Precipitation (Inches)	Runoff Coefficient of 1.0
1	Region 1A, 14.6"	0.67
2	Region 2A, 14.6"	0.67
3	Region 3A, 14.6"	0.67
4	Region 4A, 14.6"	0.67
5	Region 5A, 14.6"	0.

NOTE:
SURFACE AREA OF THE BIOTREATMENT SOIL SHALL EQUAL 4% OF THE AREA OF THE SITE THAT DRAINS TO TREATMENT MEASURE, UNLESS SIZING CALCULATIONS ARE SUBMITTED DEMONSTRATING THAT PROVISION C.3 REQUIREMENTS ARE MET USING A SMALLER SURFACE AREA.

OVERFLOW RISER WITH GRATE
CHRISTY V12 12"x12" DRAIN BOX OR APPROVED EQUAL.
DOME GRATE MAY BE ADEQUATE IN SOME CASES,
SUBJECT TO LOCAL AGENCY APPROVAL.
6-INCH MINIMUM
12-INCH MAXIMUM
ABOVE LOW POINT OF PLANTING AREA
ALL BIORETENTION BASIN INLETS SHALL HAVE TRASH
FILTERS INSTALLED PER "DROP INLET TRASH GUARD
DETAIL" HERON



OPTIONAL MOUNDING PARAMETERS:
PLANTING MOUNDS CONSTRUCTED OF BSM MAY BE PROVIDED SUBJECT TO MUNICIPAL APPROVAL. TOP OF MOUNDS AT LEAST 2" BELOW CREST OF OVERFLOW RISER. LOW POINTS NO MORE THAN 12" BELOW CREST OF OVERFLOW RISER

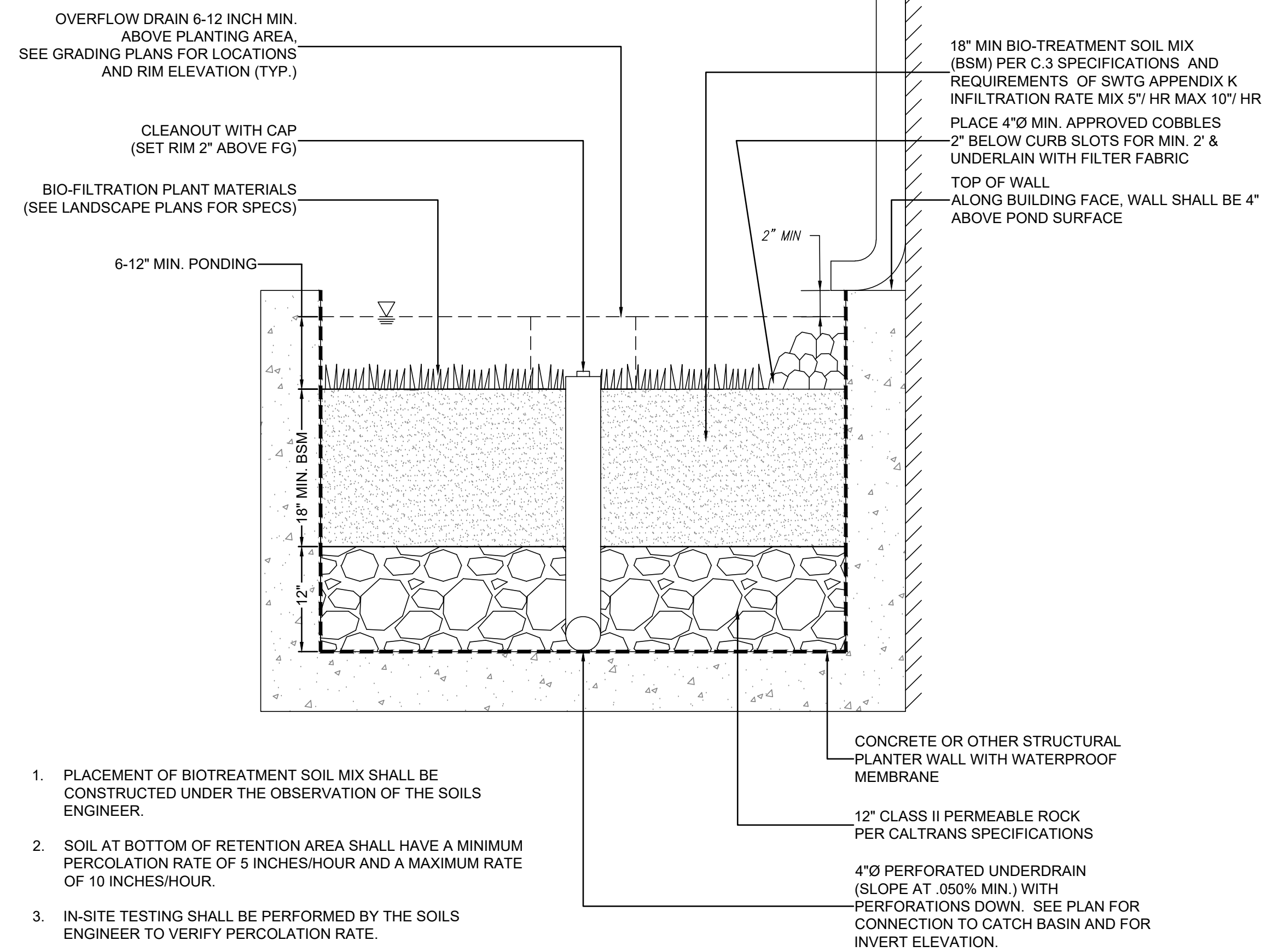


1. BIORETENTION AREAS SHALL BE CONSTRUCTED UNDER THE OBSERVATION OF THE SOILS ENGINEER.
2. BIOTREATMENT SOIL MIX SHALL HAVE A MINIMUM PERCOLATION RATE OF 5 INCHES/HOUR AND A MAXIMUM RATE OF 10 INCHES/HOUR.
3. IN-SITU TESTING OF SOIL MIX SHALL BE PERFORMED BY THE SOILS ENGINEER TO VERIFY PERCOLATION RATE.

BIORETENTION PLANTER

NOT TO SCALE

1

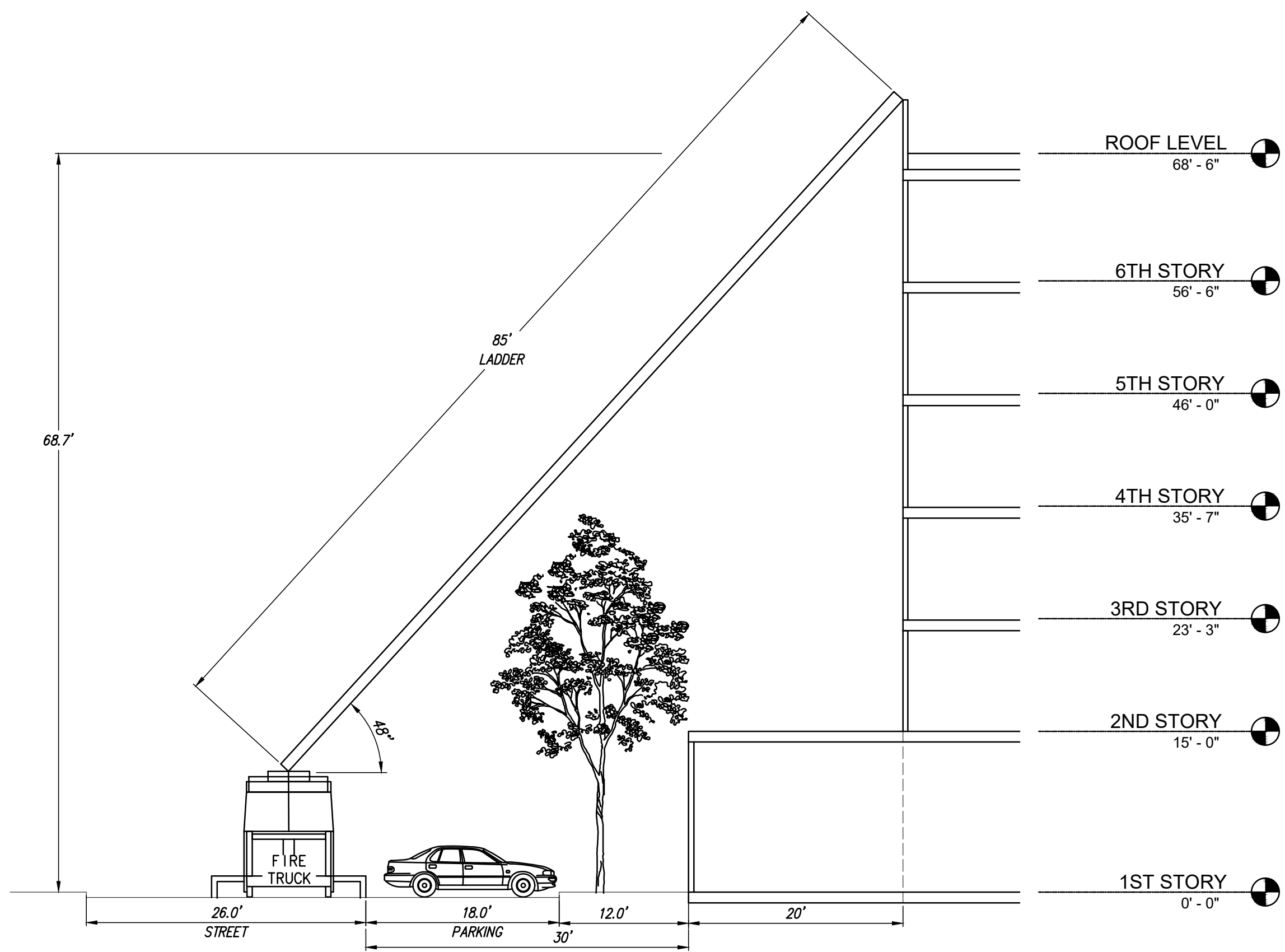


1. PLACEMENT OF BIOTREATMENT SOIL MIX SHALL BE CONSTRUCTED UNDER THE OBSERVATION OF THE SOILS ENGINEER.
2. SOIL AT BOTTOM OF RETENTION AREA SHALL HAVE A MINIMUM PERCOLATION RATE OF 5 INCHES/HOUR AND A MAXIMUM RATE OF 10 INCHES/HOUR.
3. IN-SITU TESTING SHALL BE PERFORMED BY THE SOILS ENGINEER TO VERIFY PERCOLATION RATE.

FLOW-THROUGH PLANTER

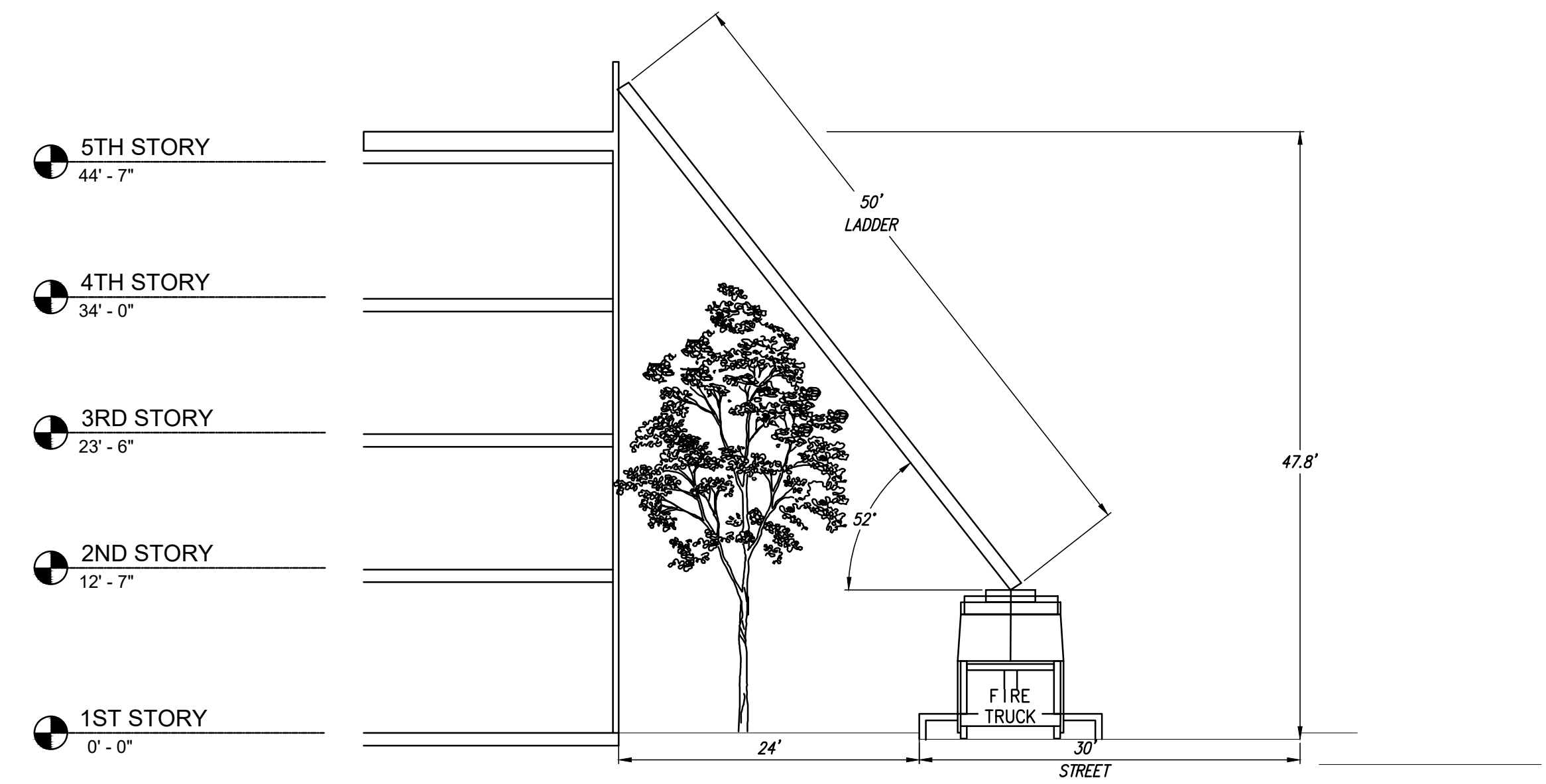
NOT TO SCALE

2



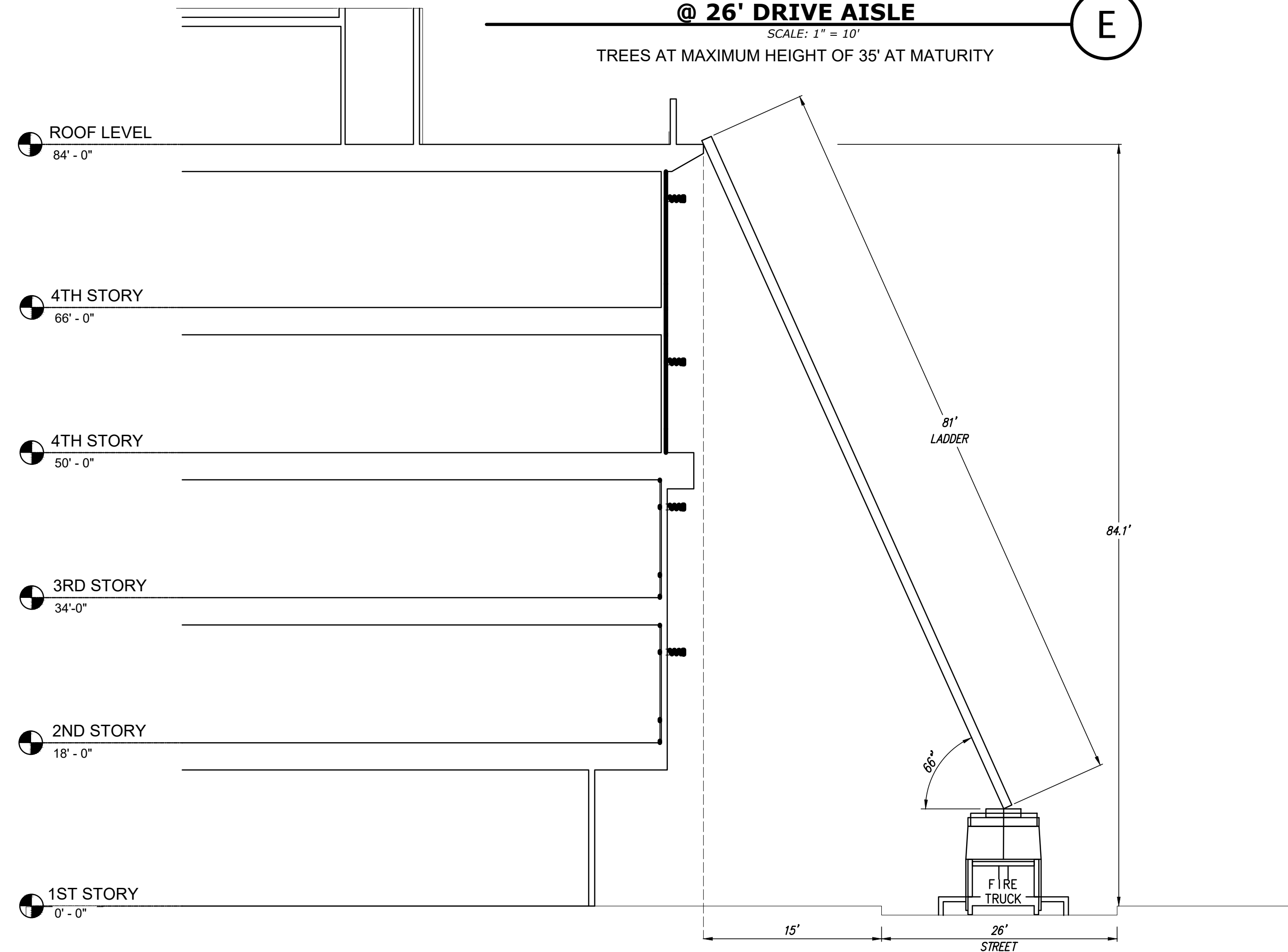
BUILDING R3
30' AERIAL ACCESS CLEARANCE
@ 26' DRIVE AISLE
 SCALE: 1" = 10'
 TREES AT MAXIMUM HEIGHT OF 35' AT MATURITY

E



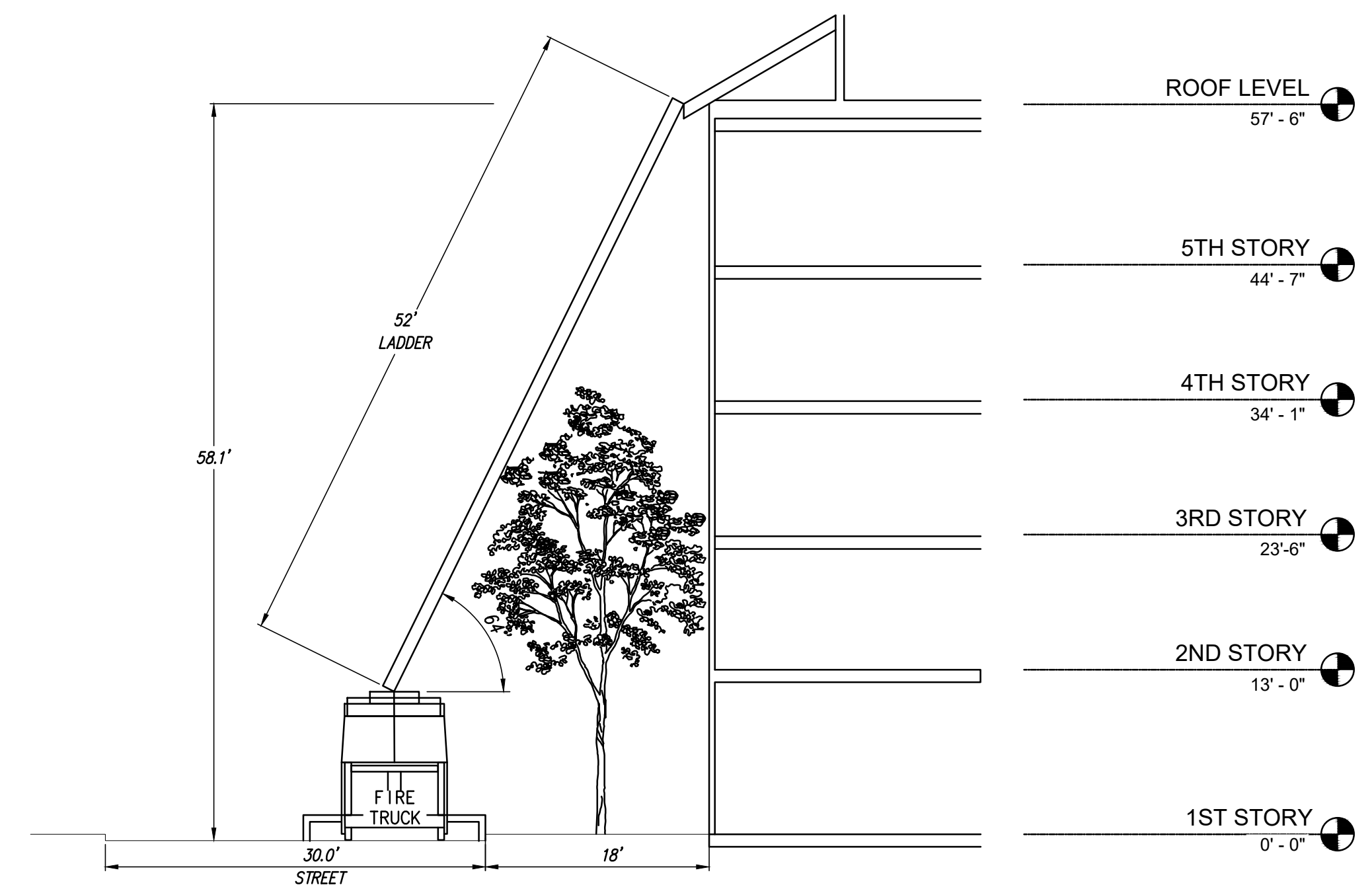
BUILDING R2
24' AERIAL ACCESS CLEARANCE
@ 30' DRIVE AISLE
 SCALE: 1" = 10'
 TREES AT MAXIMUM HEIGHT OF 35' AT MATURITY

B



OFFICE 4
15' AERIAL ACCESS CLEARANCE
@ 26' DRIVE AISLE
 SCALE: 1" = 10'

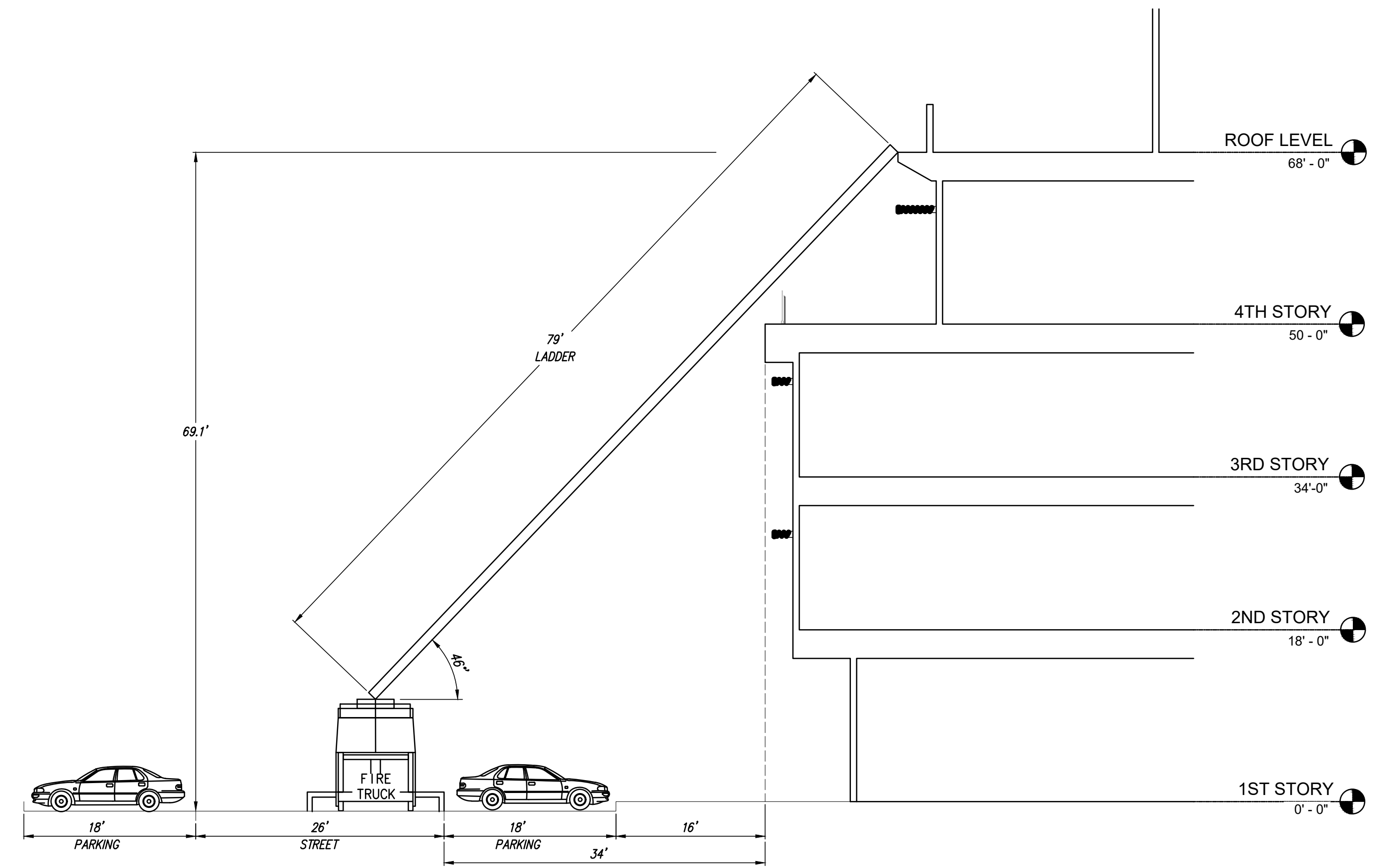
C



BUILDING R1
18' AERIAL ACCESS CLEARANCE
@ 30' DRIVE AISLE
 SCALE: 1" = 10'
 TREES AT MAXIMUM HEIGHT OF 35' AT MATURITY

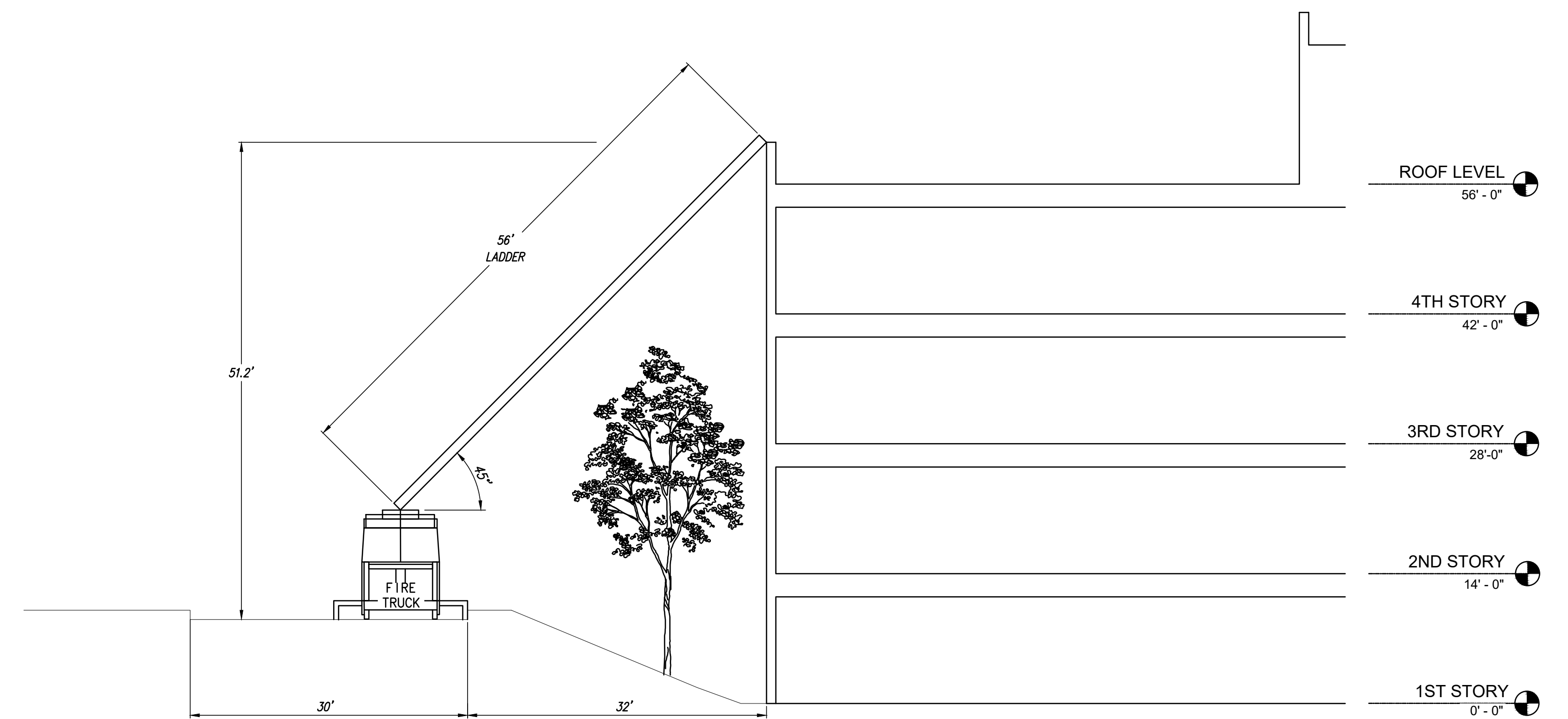
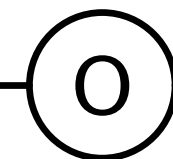
A

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OFFICE 1
34' AERIAL ACCESS CLEARANCE
@ 26' DRIVE AISLE

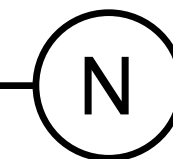
SCALE: 1" = 10'



BUILDING P
32' AERIAL ACCESS CLEARANCE
@ 30' DRIVE AISLE

SCALE: 1" = 10'

TREES AT MAXIMUM HEIGHT OF 35' AT MATURITY



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