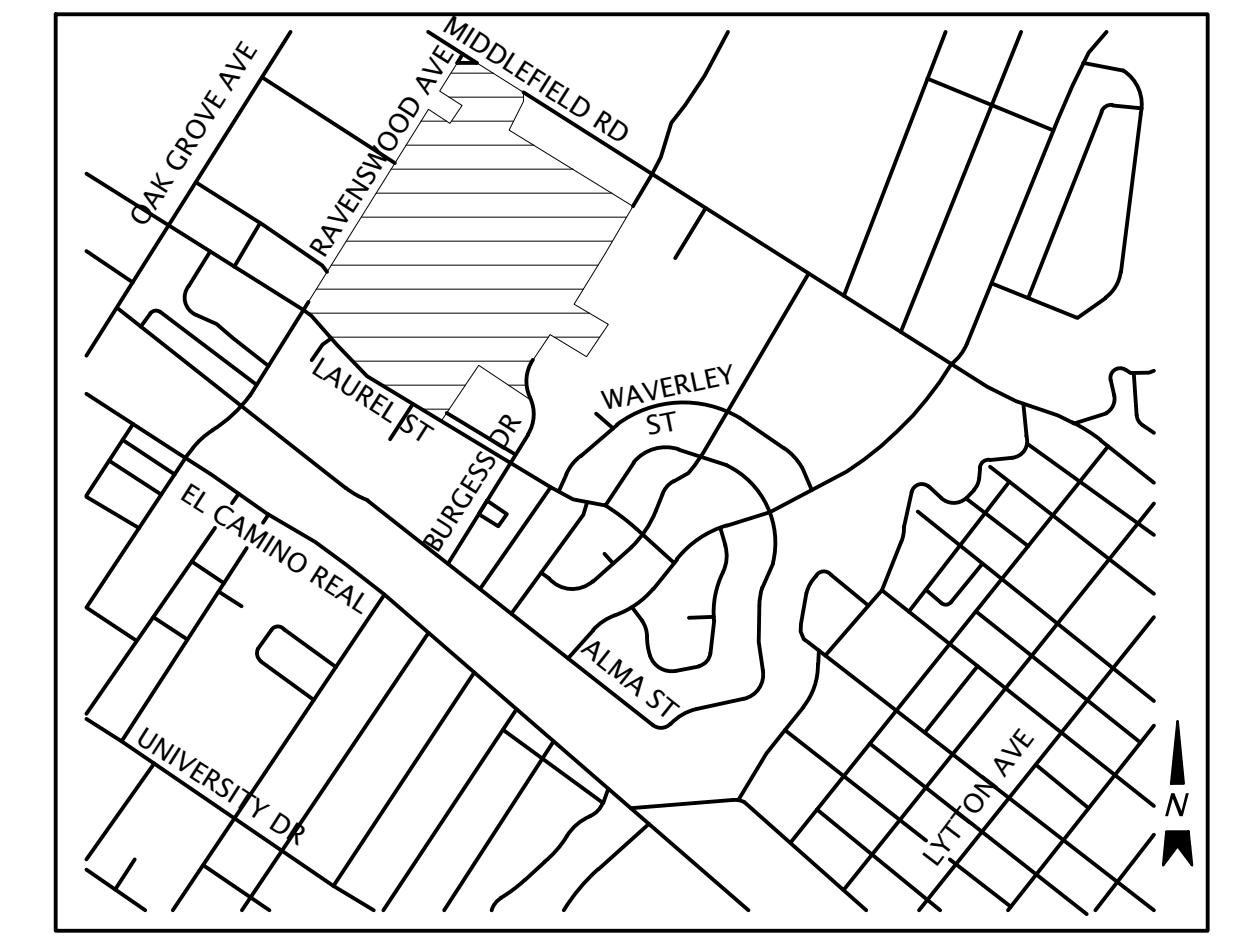


# VESTING TENTATIVE MAP FOR PARKLINE 333 RAVENSWOOD AVENUE, MENLO PARK, CA



VICINITY MAP

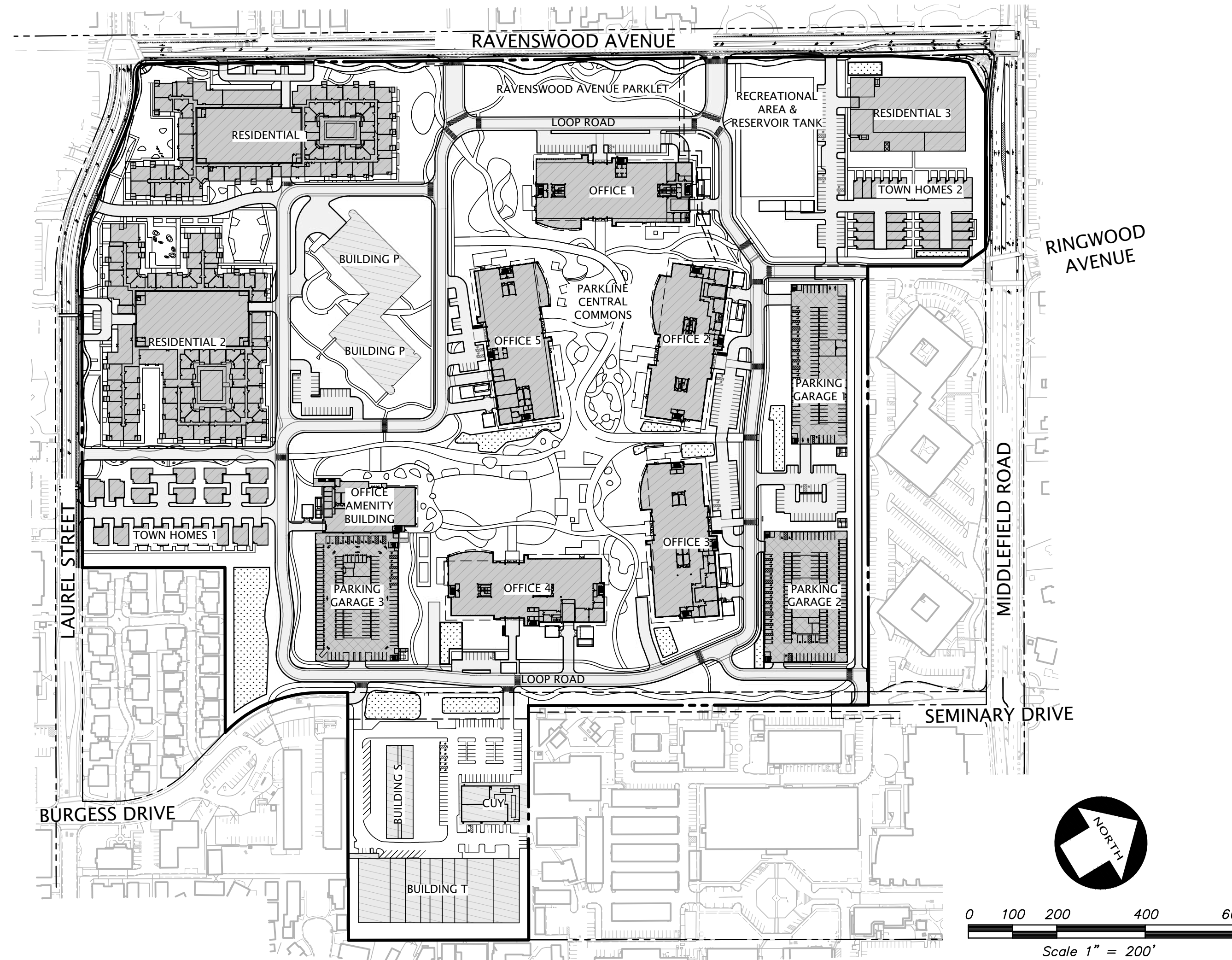
NOT TO SCALE

## PROJECT DATA

- 1A. OWNER: SRI INTERNATIONAL  
333 RAVENSWOOD AVENUE  
MENLO PARK, CA 94025  
PHONE: (650) 859-5206  
CONTACT: GREG RUSSON
- 1B. DEVELOPER: LANE PARTNERS, LLC  
644 MENLO AVENUE, 2ND FLOOR  
MENLO PARK, CA 94025  
PHONE: (650) 388-6508  
CONTACT: MARK MURRAY
2. MAP PREPARED BY: KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS, INC.  
3350 SCOTT BOULEVARD, BUILDING 22  
SANTA CLARA, CA 95054  
PHONE: (408) 727-6665  
CONTACT: RODNEY A. STEWART II, LS 9225
3. APN: 062-390-050; 062-390-660; 062-390-670;  
062-390-730; 062-390-760; 062-390-780
4. EXISTING USE: OFFICE / RESEARCH & DEVELOPMENT
5. PROPOSED USE: RESIDENTIAL  
OFFICE/RESEARCH & DEVELOPMENT/LIFE SCIENCE
6. EXISTING ZONING: C-1-X
7. PROPOSED ZONING: PENDING FURTHER DISCUSSION WITH CITY STAFF
8. PROPOSED NUMBER OF LOTS: 37
9. PROPOSED LOT 17 IS FOR CONDO PURPOSES.
10. MAXIMUM NUMBER OF CONDOMINIUM UNITS IS 27.
11. TOTAL ACREAGE: 64.228± ACRES (GROSS)
12. ALL DISTANCES ARE APPROXIMATE.
13. NO NEW STREET NAMES PROPOSED.
14. THIS TENTATIVE MAP WAS PREPARED FROM INFORMATION FURNISHED IN A PRELIMINARY TITLE REPORT, PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY DATED AS OF JANUARY 29, 2021, ORDER NUMBER NCS-1043479-SC. NO LIABILITY IS ASSUMED FOR MATTERS OF RECORD NOT STATED IN SAID REPORT THAT MAY AFFECT THE TITLE LINES, OR EXCEPTIONS, OR EASEMENTS OF THE PROPERTY.
15. FLOOD ZONE NOTE: THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR SAN MATEO COUNTY, CALIFORNIA, MAP NUMBER 06081C0308E FOR COMMUNITY NUMBER 060321 (CITY OF MENLO PARK), WITH AN EFFECTIVE DATE OF OCTOBER 16, 2012, AS BEING LOCATED IN FLOOD ZONE "X (UNSHADED)". ACCORDING TO FEMA THE DEFINITION OF ZONE "X (UNSHADED)" IS: AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN. FEMA BASE FLOOD ELEVATIONS ARE BASED ON NAVD88 DATUM.
16. BENCHMARK: NGS BENCHMARK Y150  
DESCRIPTION: BRASS DISK SET IN CONCRETE HEADWALL AT SAN FRANCISQUITO CREEK, STAMPED "Y150"  
ELEVATION: 58.45 FEET (DATUM: NAVD88)  
LOCATION: AT THE INTERSECTION OF MIDDLEFIELD ROAD, PALO ALTO AVENUE AND WOODLAND AVENUE; 18'± NORTH OF THE NORTH EDGE OF MIDDLEFIELD ROAD AT THE SOUTHERLY ANGLE POINT OF THE CONCRETE HEADWALL.
17. BASIS OF BEARINGS: THE BEARING OF SOUTH 58°15'42" EAST TAKEN ON THE MONUMENT LINE OF MIDDLEFIELD ROAD AS SHOWN ON THAT CERTAIN RECORD OF SURVEY NUMBER 2652 FILED FOR RECORD ON MARCH 12, 2018, IN BOOK 40 OF L.L.S. MAPS AT PAGE 81, OFFICIAL RECORDS OF SAN MATEO COUNTY, WAS TAKEN AS THE BASIS OF ALL BEARINGS SHOWN HEREON.
18. ADDITIONAL PRIVATE EASEMENT NEEDS MAY BE IDENTIFIED IN FURTHER STAGES OF DESIGN, AND WILL BE RECORDED THROUGH SEPARATE INSTRUMENTS. ALL EXISTING EASEMENTS ON-SITE ARE TO BE QUITCLAIMED OR VACATED, UNLESS NOTED OTHERWISE.
19. UTILITIES:  
STORM DRAIN: CITY OF MENLO PARK  
SANITARY SEWER: WEST BAY SANITARY DISTRICT  
WATER SUPPLY: CITY OF MENLO PARK  
GAS: PACIFIC GAS & ELECTRIC COMPANY  
ELECTRIC: PACIFIC GAS & ELECTRIC COMPANY  
TELEPHONE: AT&T  
CABLE: CABLECOM
20. IN ACCORDANCE WITH THE SUBDIVISION MAP ACT, SECTION 66456.1, MULTIPLE FINAL MAPS MAY BE FILED UNDER THE APPROVAL OR CONDITIONAL APPROVAL OF THIS VESTING TENTATIVE MAP. PHASED FINAL MAPS MAY INCLUDE LOTS WHICH CORRESPOND TO PROPOSED BUILDINGS OR THOSE WHICH MAY EXIST IN A PARTICULAR PHASE. THE SUBDIVIDER RESERVES THE RIGHT TO IMPLEMENT THE ORDER OF PHASING AND THE NUMBER OF LOTS TO BE INCLUDED IN ANY SPECIFIC PHASE. LOT NUMBERING MAY DIFFER ON PHASED FINAL MAPS AS LONG AS THE RESPECTIVE LOT CONFIGURATIONS REMAIN SUBSTANTIALLY THE SAME AS SHOWN ON THIS MAP.

## GENERAL NOTES

1. ANY FRONTAGE IMPROVEMENTS WHICH ARE DAMAGED EITHER AS AN EXISTING CONDITION OR AS A RESULT OF CONSTRUCTION WILL BE REQUIRED TO BE REPLACED. ALL FRONTAGE IMPROVEMENT WORK SHALL BE IN ACCORDANCE WITH THE LATEST VERSION OF THE CITY STANDARD DETAILS.
2. REMOVE AND REPLACE ANY CRACKED, DEPRESSED, UPLIFTED, OR OTHERWISE DAMAGED IMPROVEMENTS (I.E. VALLEY GUTTER, PARKING STRIP, CURB, GUTTER, SIDEWALK, ETC.) ALONG THE ENTIRE PROJECT FRONTAGE.
3. ANY FRONTAGE IMPROVEMENTS WHICH ARE DAMAGED AS A RESULT OF CONSTRUCTION WILL BE REQUIRED TO BE REPLACED.
4. IRRIGATION WITHIN PUBLIC RIGHT OF WAY SHALL COMPLY WITH CITY STANDARD DETAILS LS-1 THROUGH LS-19 AND SHALL BE CONNECTED TO THE ON-SITE WATER SYSTEM.

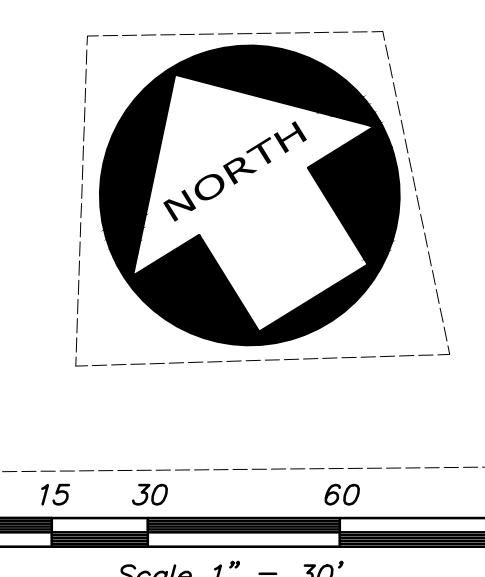
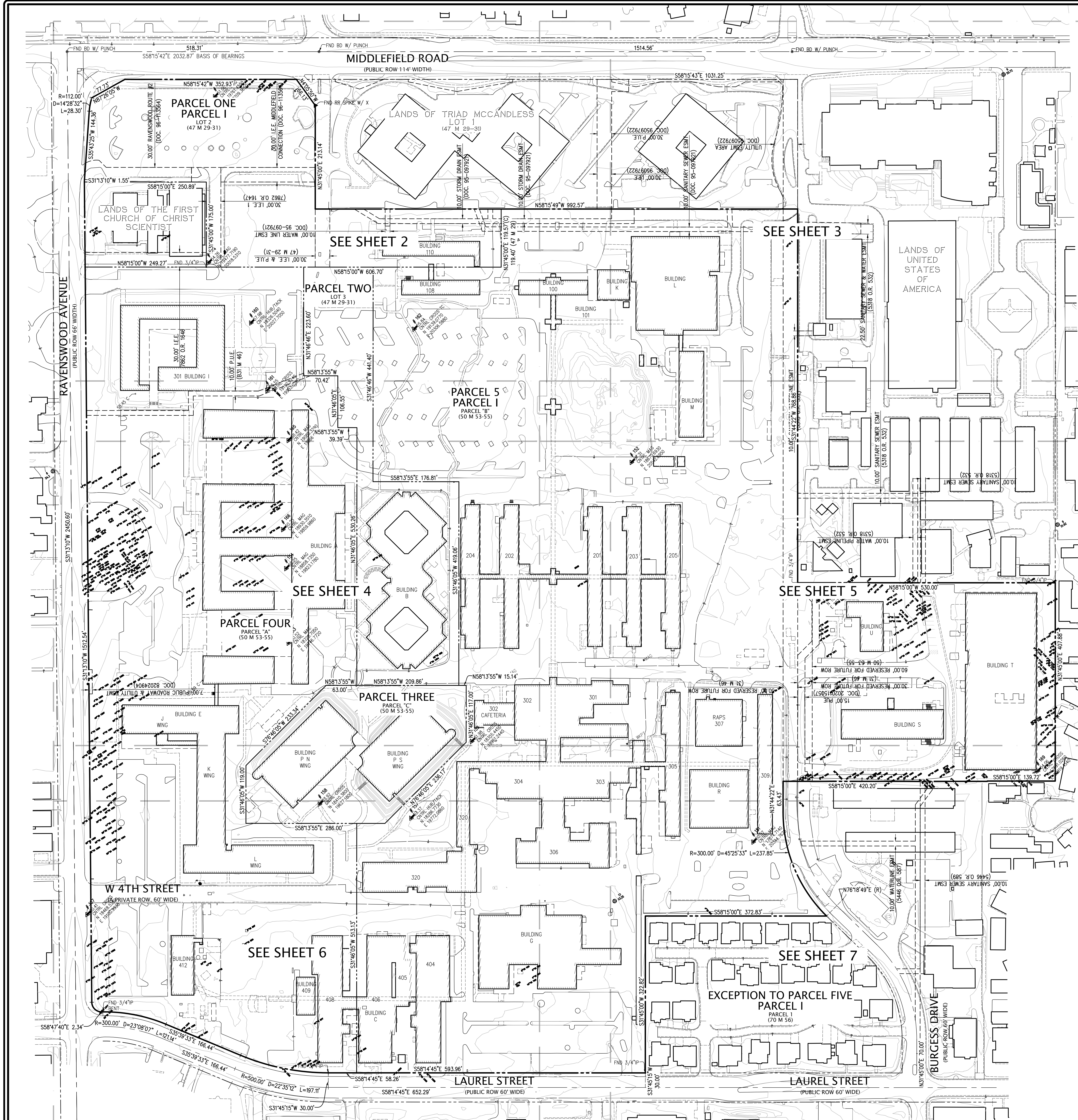


## CIVIL ENGINEER

KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS, INC.  
ATTN: NECTARIOS MATHEOU, P.E.  
3350 SCOTT BOULEVARD, BUILDING 22  
SANTA CLARA, CA 95054  
(P) (408) 727-6665

## SHEET INDEX

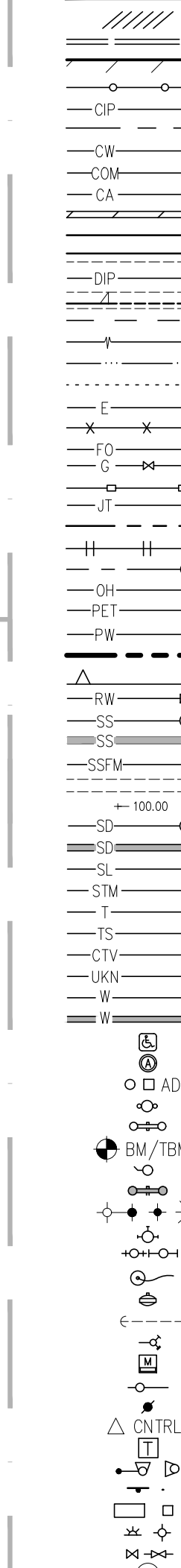
SHEET	DESCRIPTION
C1.0	COVER SHEET
C2.0-C2.6	TOPOGRAPHIC SURVEY
C3.0	EXISTING PARCELS AND EASEMENTS
C3.1	PUBLIC & PRIVATE EASEMENT DISPOSITION
C3.2	PROPOSED PARCEL MAP - PHASE 1
C3.3	PROPOSED PARCEL MAP - FULL BUILDOUT
C4.0	EMERGENCY VEHICLE ACCESS PLAN
C5.0	UTILITY DEMOLITION PLAN
C5.1	SURFACE IMPROVEMENT DEMOLITION PLAN
C6.0	TYPICAL STREET SECTIONS
C7.0	PRELIMINARY GRADING & DRAINAGE PLAN - PHASE 1
C7.1	PRELIMINARY GRADING & DRAINAGE PLAN - PHASE 1
C7.2	PRELIMINARY GRADING & DRAINAGE PLAN - PHASE 1
C7.3	PRELIMINARY GRADING & DRAINAGE PLAN - PHASE 1
C7.4	PRELIMINARY GRADING & DRAINAGE PLAN - FULL BUILDOUT
C7.5	PRELIMINARY GRADING & DRAINAGE PLAN - FULL BUILDOUT
C7.6	PRELIMINARY GRADING & DRAINAGE PLAN - FULL BUILDOUT
C7.7	PRELIMINARY GRADING & DRAINAGE PLAN - FULL BUILDOUT
C8.0	MASTER UTILITY PLAN - PHASE 1
C8.1	PRELIMINARY UTILITY PLAN - PHASE 1
C8.2	PRELIMINARY UTILITY PLAN - PHASE 1
C8.3	PRELIMINARY UTILITY PLAN - PHASE 1
C8.4	PRELIMINARY UTILITY PLAN - PHASE 1
C8.5	MASTER UTILITY PLAN - FULL BUILDOUT
C8.6	PRELIMINARY UTILITY PLAN - FULL BUILDOUT
C8.7	PRELIMINARY UTILITY PLAN - FULL BUILDOUT
C8.8	PRELIMINARY UTILITY PLAN - FULL BUILDOUT
C8.9	PRELIMINARY UTILITY PLAN - FULL BUILDOUT
C9.0	PRELIMINARY STORMWATER QUALITY CONTROL PLAN - PHASE 1
C9.1	PRELIMINARY STORMWATER QUALITY CONTROL PLAN - PHASE 1
C9.2	PRELIMINARY STORMWATER QUALITY CONTROL PLAN - OFF-SITE
C9.3	PRELIMINARY STORMWATER QUALITY CONTROL PLAN NOTES & DETAILS
C9.4	PRELIMINARY STORMWATER QUALITY CONTROL PLAN NOTES & DETAILS
C10.0	RAVENSWOOD AVE - STA 1+00 TO STA 11+50
C10.1	RAVENSWOOD AVE - STA 11+50 TO STA 21+00
C10.2	LAUREL ST - STA 12+50 TO STA 18+50
C10.3	MIDDLEFIELD RD - STA 16+00 TO STA 21+33
C10.4	INTERSECTION AT MIDDLETON RD & SEMINARY DR



**NOTES**


- THIS PLOT WAS PREPARED FROM INFORMATION FURNISHED IN A PRELIMINARY TITLE REPORT, PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY DATED AS OF DECEMBER 1, 2020, AMENDED JANUARY 25, 2021, ORDER NUMBER NCS-1043479-SC. NO LIABILITY IS ASSUMED FOR MATTERS OF RECORD NOT STATED IN SAID PRELIMINARY TITLE REPORT THAT MAY AFFECT THE TITLE LINES, OR EXCEPTIONS, OR EASEMENTS OF THE PROPERTY.
- ALL DISTANCES AND ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.
- THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. (A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES), HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS.
- PHYSICAL ITEMS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE ITEMS VISIBLE AS OF THE DATE OF THIS SURVEY. SUBSURFACE STRUCTURES, IF ANY, ARE NOT SHOWN. SAID SUBSURFACE OBJECTS MAY INCLUDE, BUT ARE NOT LIMITED TO, CONCRETE FOOTINGS, SLABS, SHORING, STRUCTURAL PILES, UTILITY VAULTS, PIPING, UNDERGROUND TANKS, AND ANY OTHER SUBSURFACE STRUCTURES NOT REVEALED BY A SURFACE INSPECTION.
- THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR SAN MATEO COUNTY, CALIFORNIA, MAP NUMBER 060803C030E FOR COMMUNITY NUMBER 060321 (CITY OF MENLO PARK), WITH AN EFFECTIVE DATE OF OCTOBER 16, 2012, 2012, AS BEING LOCATED IN FLOOD ZONE "X", ACCORDING TO FEMA THE DEFINITION OF ZONE "X" IS: AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.  
FEMA BASE FLOOD ELEVATIONS ARE BASED ON NAVD83 DATUM. SEE BENCHMARK NOTE FOR DATUM CONVERSIONS.
- BENCHMARK:  
BM Y150, ELEVATION = 58.45 (NAVD83)  
ELEVATIONS SHOWN HEREON ARE BASED ON NAVD83.
- BASIS OF BEARINGS:  
THE BEARING OF SOUTH 58° 15' 42" EAST TAKEN ON THE MONUMENT LINE OF MIDDLEFIELD ROAD AS SHOWN ON THAT CERTAIN RECORD OF SURVEY NUMBER 2652 FILED FOR RECORD ON MARCH 12, 2015, IN BOOK 44 OF L.L.S. MAPS AT PAGE 81, OFFICIAL RECORDS OF SAN MATEO COUNTY WAS TAKEN AS THE BASIS FOR ALL BEARINGS SHOWN HEREON.
- CORNER RECORD NOTE:  
THE DEVELOPER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREPARATION AND FILING OF PRE-CONSTRUCTION AND POST-CONSTRUCTION CORNER RECORDS FOR ANY MONUMENTS OR PROPERTY CORNERS SHOWN HEREON THAT MAY BE DESTROYED DURING IMPROVEMENTS TO THE SUBJECT PROPERTY AS DEFINED IN SECTION 8771(B) OF THE PROFESSIONAL LAND SURVEYORS ACT.
- THE AERIAL MAPPING WAS PREPARED USING COMPUTER ASSISTED, PHOTOGRAMMETRIC METHODS BY COOPER AERIAL SURVEYS CO., IN PHOENIX ARIZONA, JOB NUMBER A20152. IN AREAS OF DENSE VEGETATION ACCURACY OF CONTOURS MAY DEVIATE FROM ACCEPTED ACCURACY STANDARDS. DATE OF PHOTOGRAPHY 01-11-21, ORIGINAL COMPILED MAP SCALE 1" = 100', CONTOUR INTERVAL 1 FOOT. THE GRID IS BASED ON PHOTOGRAMMETRIC METHODS COMPILED ON DIGITAL STEREO WORKSTATIONS USING AERIAL PHOTOGRAPHY. CONTROL SURVEY PERFORMED BY KIER & WRIGHT, LIVERMORE, CA.

**LEGEND**



**ABBREVIATIONS**

AC	ASPHALTIC CONCRETE	HCR	HANDICAP RAMP
AD	AREA DRAIN	IB	IRRIGATION BOX
AFT	ABOVE FINISHED FLOOR	INTX	INTERSECTION
AS	AUTOMATIC SPRINKLER RISER	L/S	LANDSCAPE
BEG	BEGINNING	LIP	LIP OF GUTTER
BFP	BACK FLOW PREVENTER	LI	LIGHT
BL	BUILDING	MH	MANHOLE
BLDG	BUILDING	MON	MONUMENT
BOL	BOLLARD	OH	OVERHEAD
BR	BOTTOM OF RAMP	PAVR	BRICK PAVERS
BS	BOTTOM OF STEP	PV	POST ON CURVE
BTM	BOTTOM	POC	POINT ON DIRECTION
BW	BACK OF WALK	PP	POWER POLE
C.	CONCRETE	PT	POINT
CAB	CABINET	RD	ROAD
CBS </td <td>CATCH BASIN</td> <td>RE</td> <td>RAW ELEVATION</td>	CATCH BASIN	RE	RAW ELEVATION
CL	CENTERLINE	ROW	RIGHT OF WAY
CLF	CHAIN LINK FENCE	RR	RAIL ROAD
CO	CLEAN OUT	SAT.	SATELLITE
CONC	CONCRETE	SD	STORM DRAIN
CONC	CONCRETE	SODC	STORM DRAIN CLEAN OUT
CONSTR.	CONSTRUCT	SDMH	STORM DRAIN MANHOLE
D/W	DRIVEWAY	SF	SQUARE FEET
DET	DETECTOR	SL	STREET LIGHT
DI	DRAIN INLET	SS	SANITARY SEWER
DIV	DRIVEWAY	SSC	SANITARY SEWER CLEAN OUT
EB	ELECTRIC BOX	SSMH	SANITARY SEWER MANHOLE
ELEC	ELECTRIC	TE	TOP OF CURB
EL	ELECTRIC	TE	TRASH ENCLOSURE
EMH	ELECTRIC MANHOLE	TEL	TELEPHONE
EP	EDGE OF PAVEMENT	TMH	TELEPHONE MANHOLE
EPT	ELECTRIC VAULT	TOP	TOP OF SLOPE
EV	ELECTRIC VAULT	TR	TREE
EW	EDGE OF WALK	TS	TOP OF SLAB
FAB	FIRE ALARM BOX	TSB	TRAFFIC SIGNAL BOX
FC	FACE OF CURB	TSP	TRAFFIC SIGNAL POLE
FD	FOUND	TW	TOP OF WALL
FDC	FIRE DEPARTMENT CONNECTION	UB	UTILITY BOX
FF	FINISH FLOOR	UG	UNDERGROUND
FH	FIRE HYDRANT	UP	UTILITY POLE
FL	FLOW LINE	VG	VALLEY GUTTER
FNC	FENCE	WB	WATER BOX
FND	FOUND	WM	WOOD
FP	FINISH PAVEMENT	WM	WATER METER
FM	FACE OF WALL	WV	WATER VALVE
GA	GAUGE		
GB	GRADE BREAK		
GV	GUY WIRE		

  
 10/11/2024  
 PREPARED BY OR UNDER THE SUPERVISION OF  
 RYAN M. AMAYA P.L.S. 8134

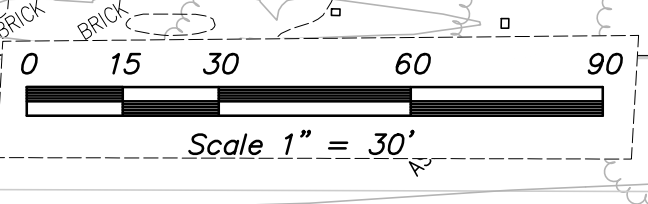
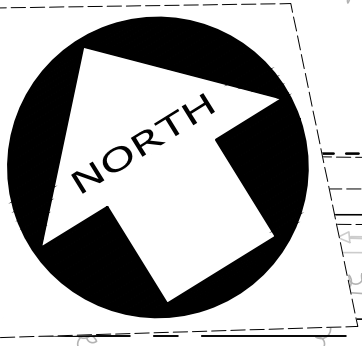
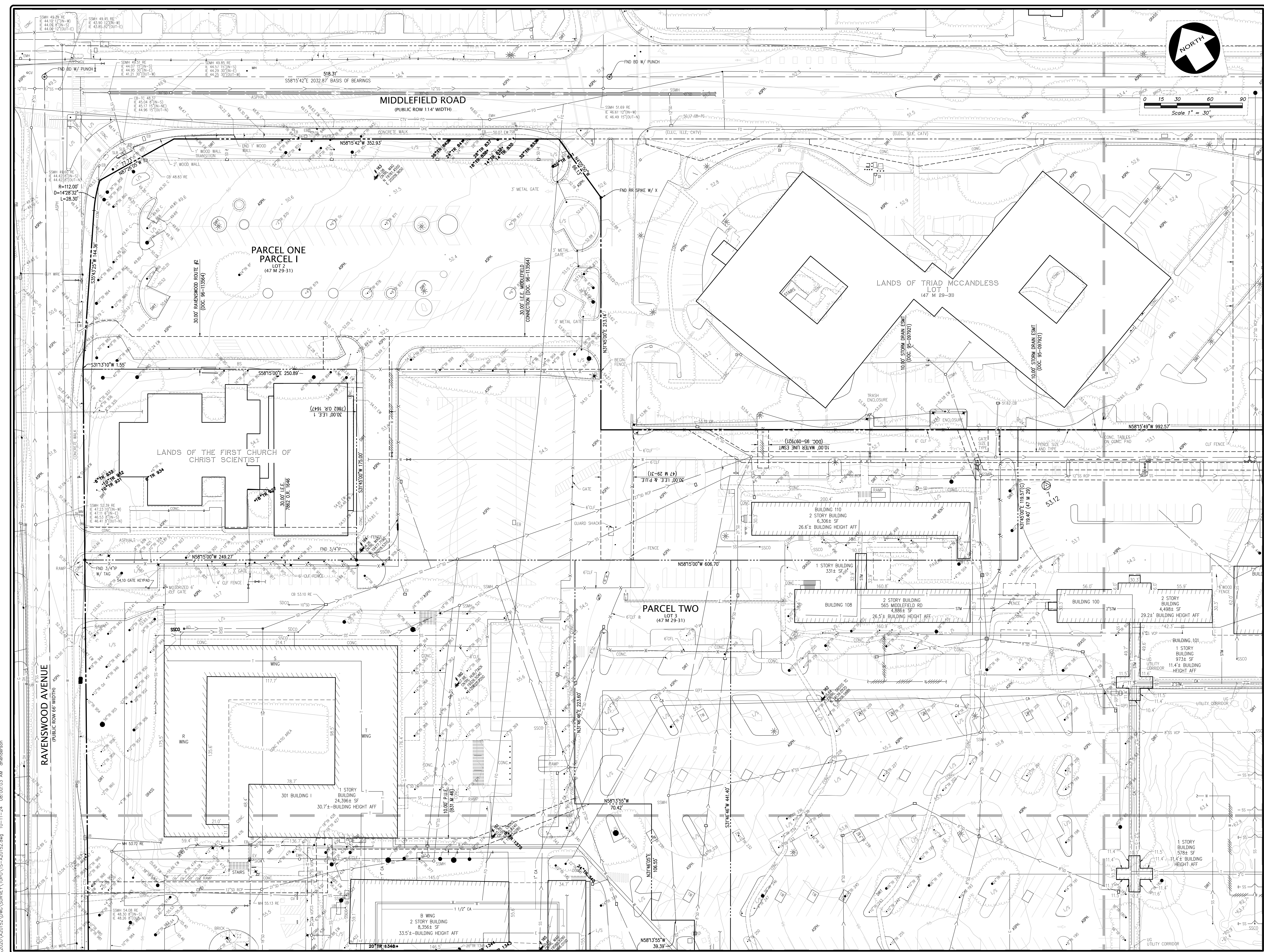


**TOPOGRAPHIC SURVEY**  
OF  
**333 RAVENSWOOD AVENUE**  
FOR  
**LANE PARTNERS**

MENLO PARK

DATE	OCTOBER, 2024
SCALE	AS SHOWN
SURVEYOR	MJA
DRAWN BY	RLA
JOB NO.	A20152
SHEET	C2.0
OF	44 SHEETS

KIER+WRIGHT  
 3350 Scott Boulevard, Building 22  
 San Diego, California 92154  
 Phone: (408) 727-6665  
 www.kierwright.com



MIDDLEFIELD ROAD  
(PUBLIC ROW 114' WIDTH)

PARCEL ONE  
PARCEL I  
LOT 2  
(47 M 29-31)

LANDS OF TRIAD MCCANDLESS  
LOT 1  
(47 M 29-31)

LANDS OF THE FIRST CHURCH OF  
CHRIST SCIENTIST

PARCEL TWO  
LOT 3  
(47 M 29-31)

NO.	REVISION

**KIER+WRIGHT**

3350 Scott Boulevard, Building 22  
San Diego, California 92161  
Phone: (488) 727-6665  
www.kierwright.com

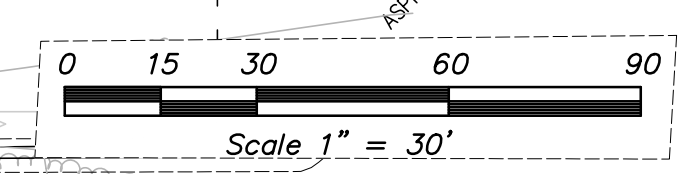
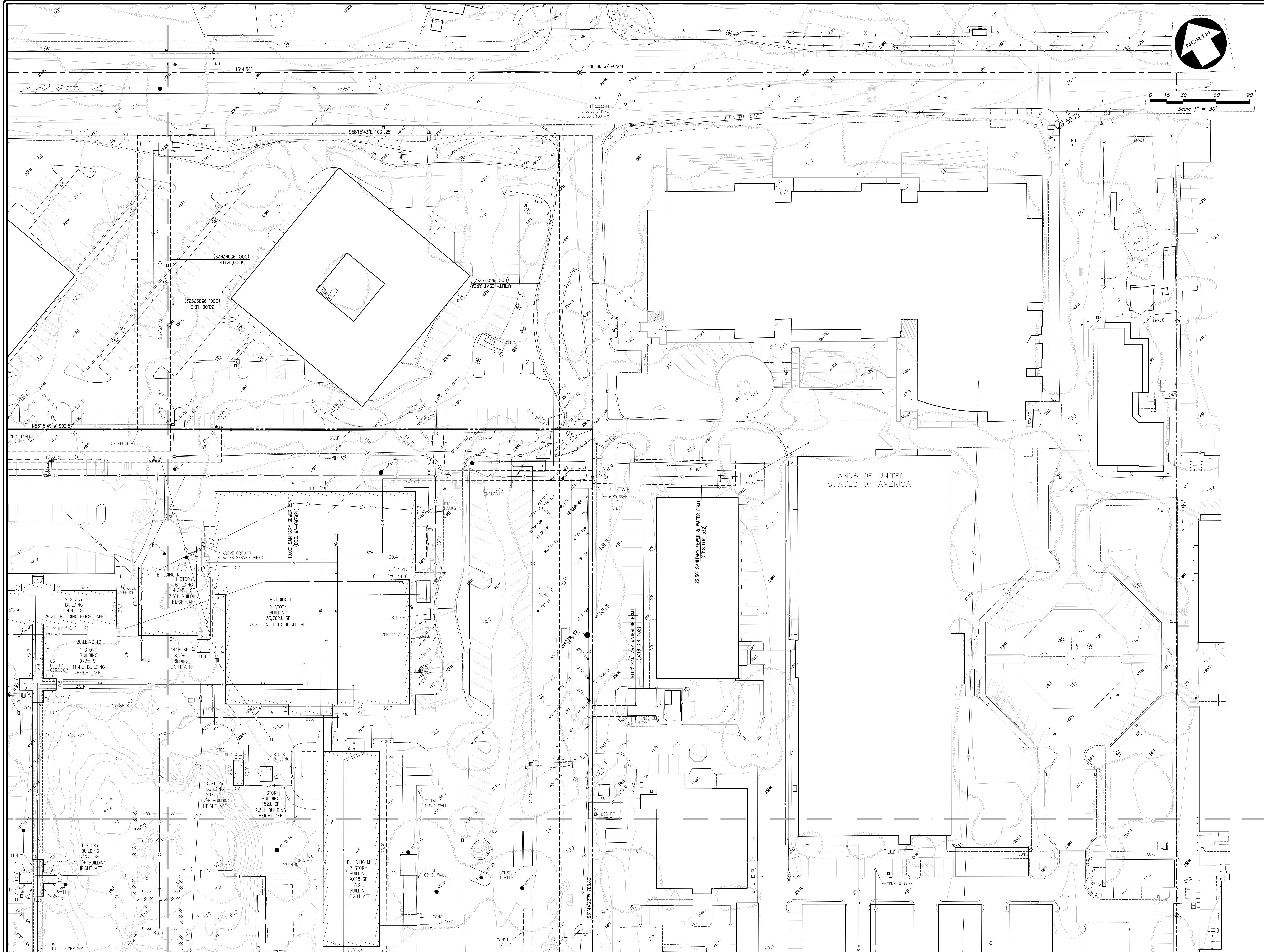
CALIFORNIA

**TOPOGRAPHIC SURVEY**  
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333 RAVENSWOOD AVENUE  
FOR  
LANE PARTNERS

MENLO PARK

DATE	OCTOBER, 2024
SCALE	AS SHOWN
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SHEET	<b>C2.1</b>
OF	44 SHEETS

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NO.	BY	REVISION

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 San Diego, California 92161  
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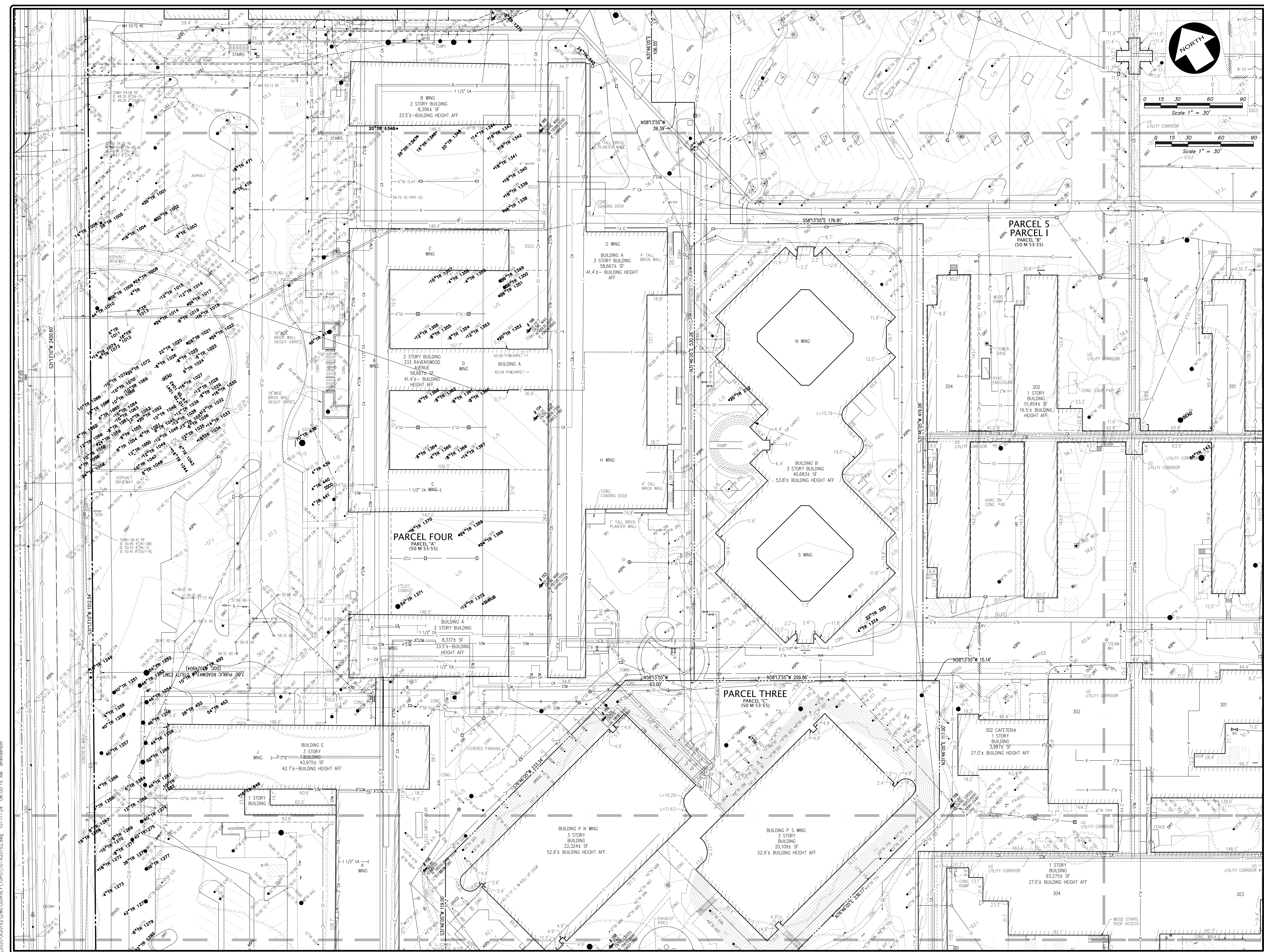
**TOPOGRAPHIC SURVEY**  
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**333 RAVENSWOOD AVENUE**  
 FOR  
**LANE PARTNERS**

CALIFORNIA

**MENLO PARK**

DATE: OCTOBER, 2024  
 SCALE: AS SHOWN  
 SURVEYOR: MJA  
 DRAWN BY: RLA  
 JOB NO.: A20152  
 SHEET: **C2.2**  
 OF 44 SHEETS

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Scale 1" = 30'

Scale 1" = 30'

DATE	OCTOBER, 2024
SCALE	AS SHOWN
SURVEYOR	MJA
DRAWN BY	RLA
JOB NO.	A20152
SHEET	C2.3
OF	44 SHEETS

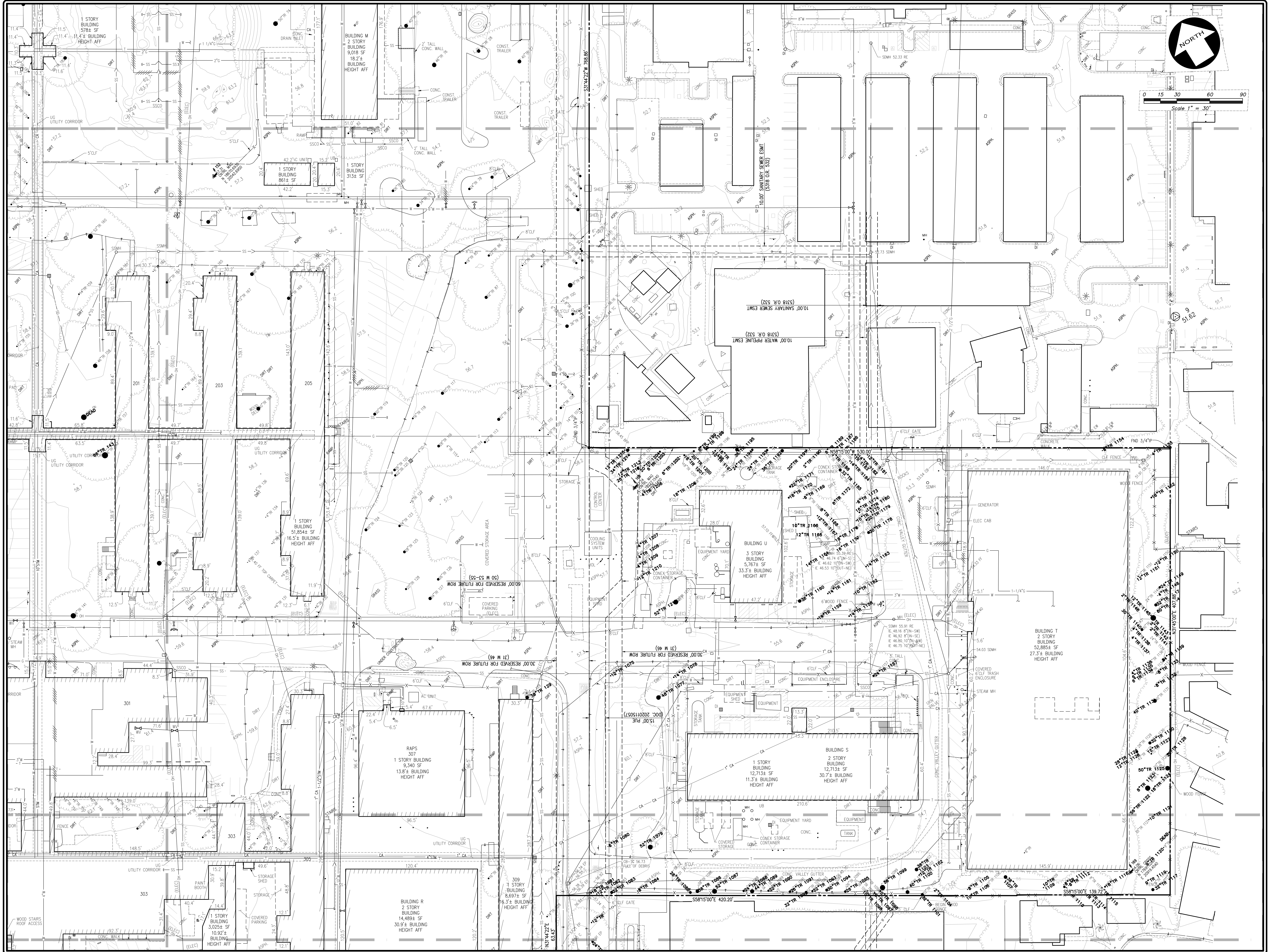
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 San Diego, California 92161  
 Phone: (619) 727-6665  
 www.kierwright.com

**TOPOGRAPHIC SURVEY**  
 OF  
**333 RAVENSWOOD AVENUE**  
 FOR  
**LANE PARTNERS**

**MENLO PARK**  
 CALIFORNIA

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DATE	OCTOBER, 2024
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DRAWN BY	RLA
JOB NO.	A20152
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OF	44 SHEETS

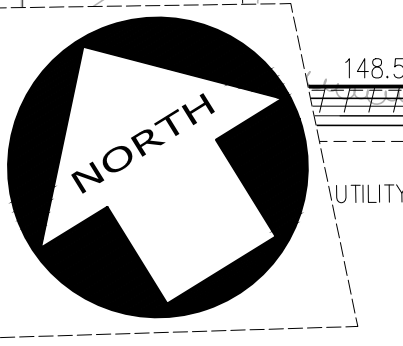
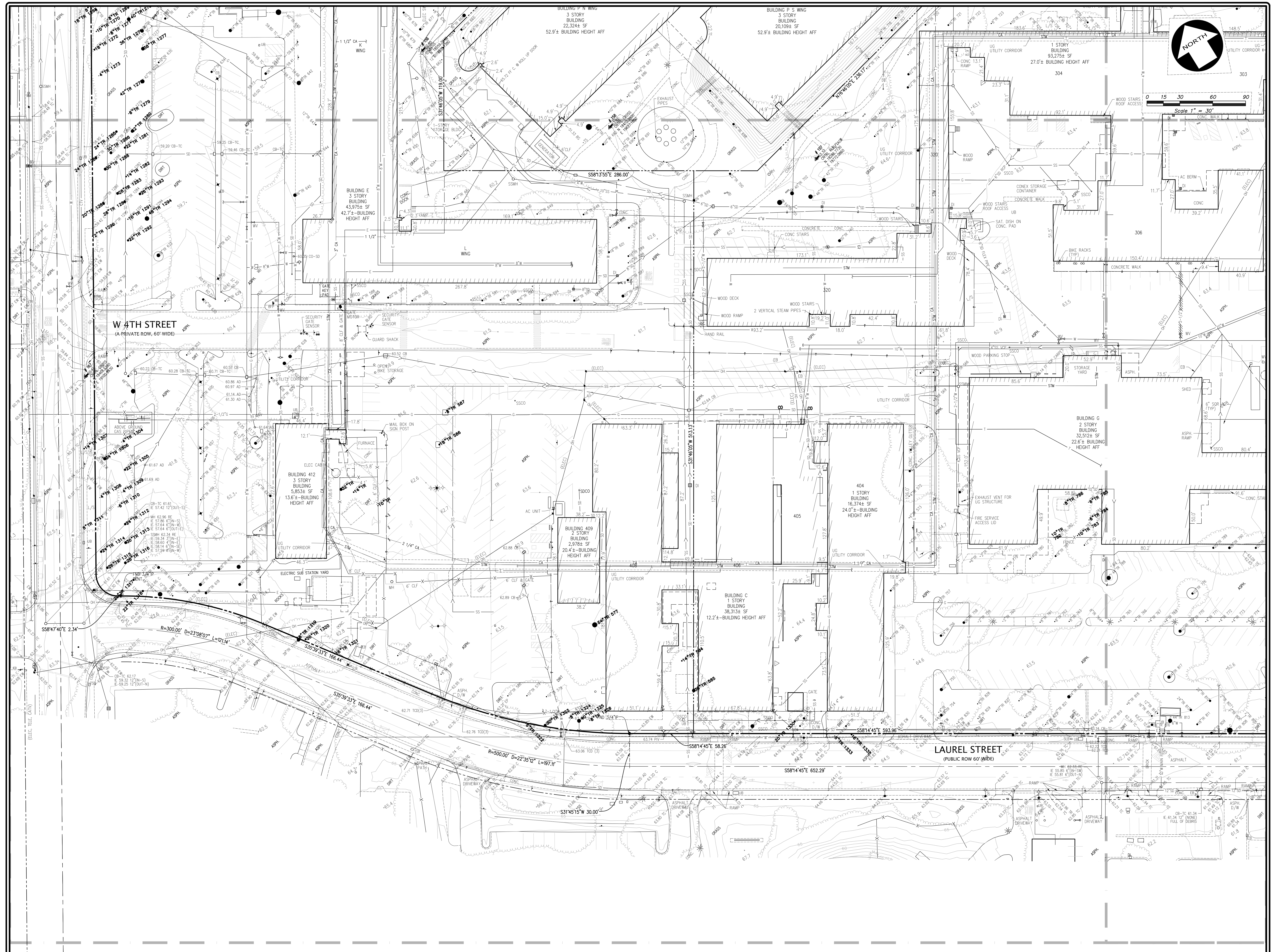
NO.	BY	NO.	REVISION

TOPOGRAPHIC SURVEY  
OF  
333 RAVENSWOOD AVENUE  
FOR  
LANE PARTNERS

MENLO PARK CALIFORNIA

KIER+WRIGHT  
3350 Scott Boulevard, Building 22  
San Diego, California 92154  
Phone: (408) 727-6665  
www.kierwright.com



Scale 1" = 30'  
0 15 30 60 90

NO.	REVISION

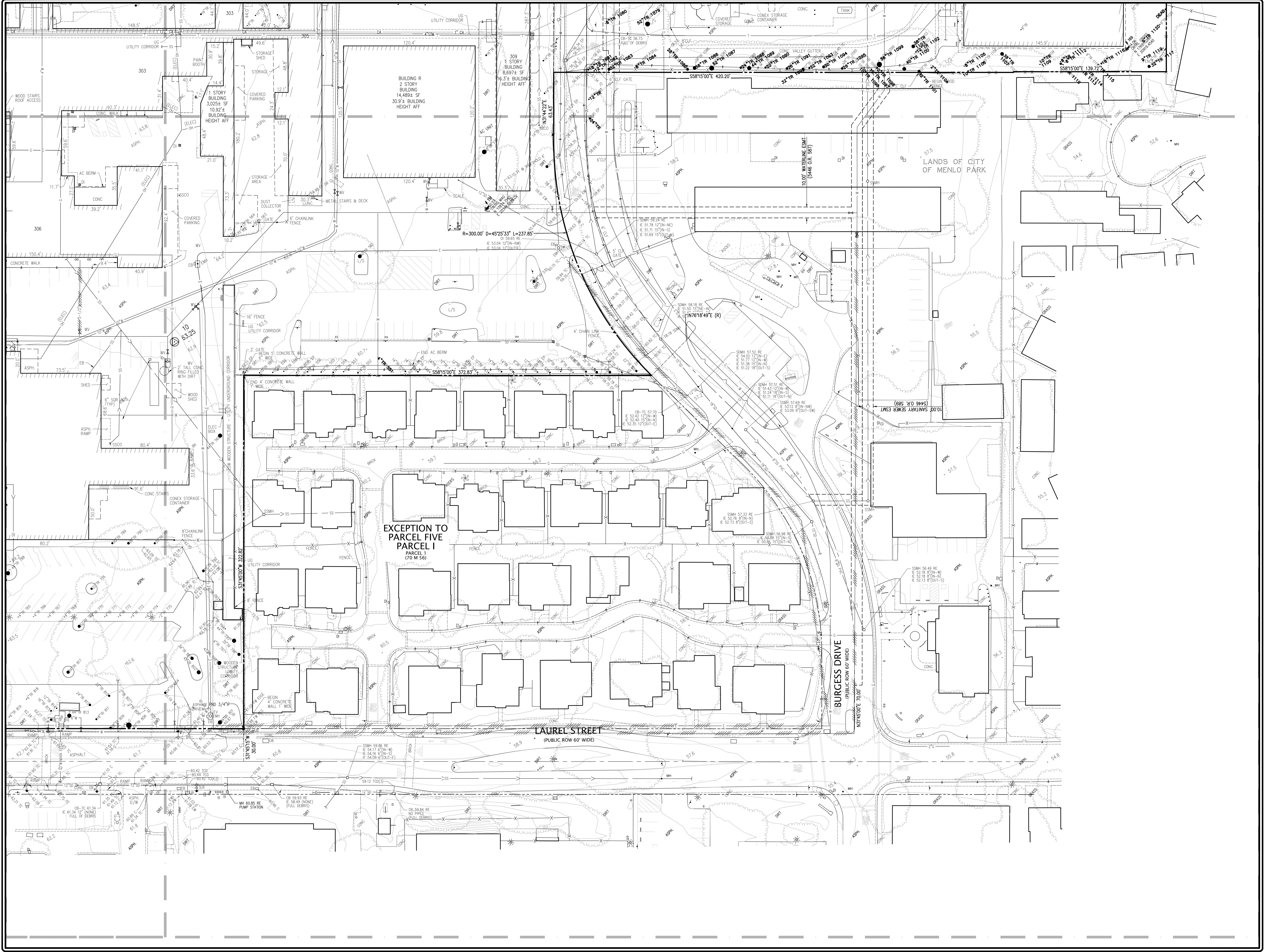
BY: \_\_\_\_\_  
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San Diego, California 92161  
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www.kierwright.com

CALIFORNIA  
TOPOGRAPHIC SURVEY  
OF  
333 RAVENSWOOD AVENUE  
FOR  
LANE PARTNERS

DATE	OCTOBER, 2024
SCALE	AS SHOWN
SURVEYOR	MJA
DRAWN BY	RLA
JOB NO.	A20152
SHEET	C2.5
OF	44 SHEETS

MENLO PARK

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DATE	OCTOBER, 2024
SCALE	AS SHOWN
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DRAWN BY	RLA
JOB NO.	A20152
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OF	44 SHEETS

NO.	NO.	NO.	NO.
BY	BY	BY	BY
REVISION	REVISION	REVISION	REVISION

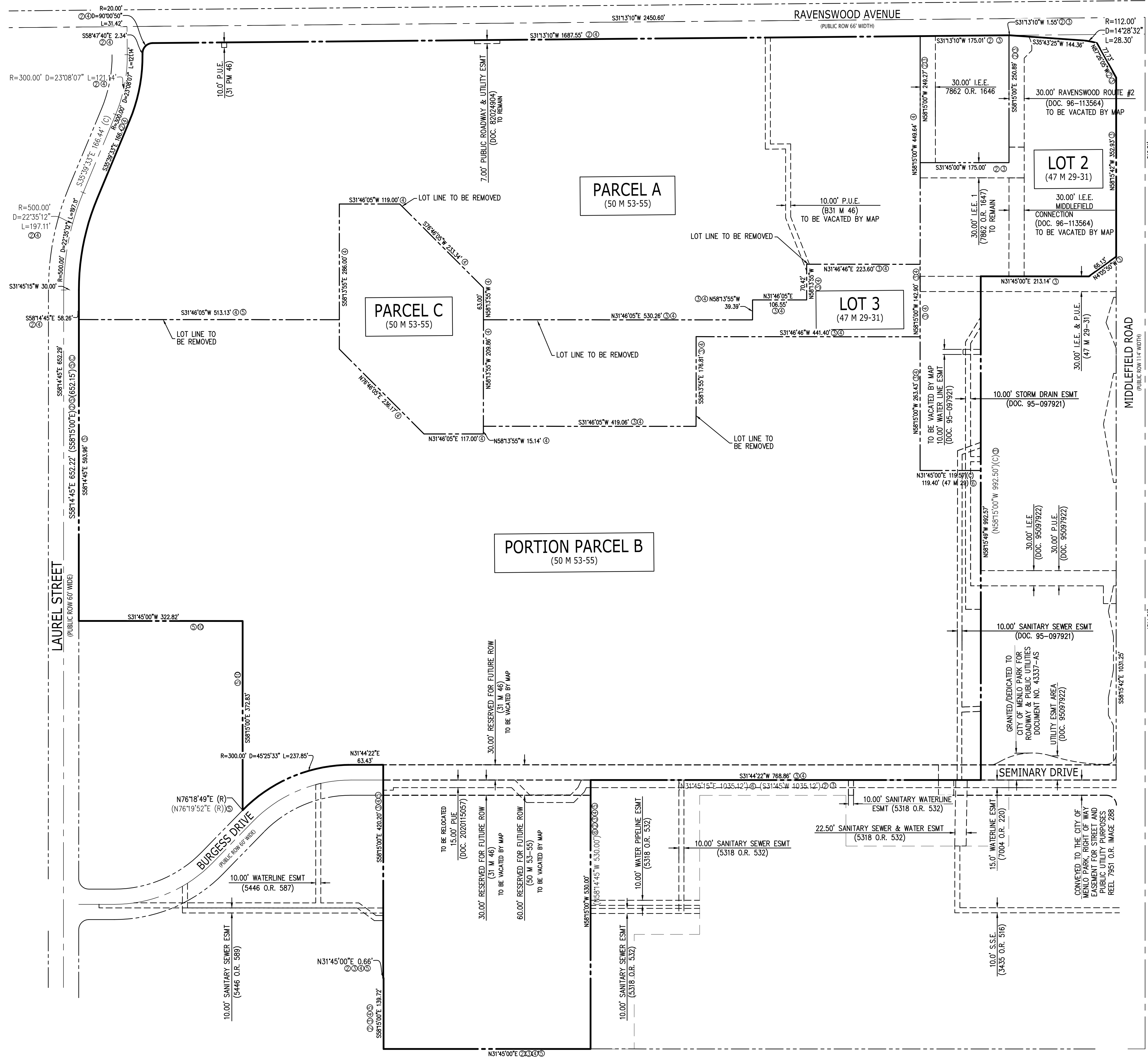
  

TOPOGRAPHIC SURVEY  
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333 RAVENSWOOD AVENUE  
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LANE PARTNERS

MENLO PARK  
CALIFORNIA

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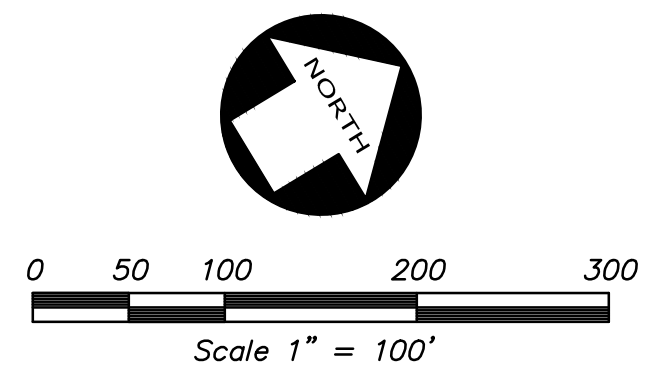


**LEGEND & ABBREVIATIONS**

---	PROPERTY LINE
---	ADJACENT PROPERTY LINE
---	PROPERTY LINE TO BE REMOVED
---	CENTERLINE/MONUMENT LINE, AS NOTED
---	EASEMENT LINE
---	DOCUMENT NUMBER
DOC.	EASEMENT
ESMT	INGRESS EGRESS EASEMENT
I.E.E.	OFFICIAL RECORDS
O.R.	PUBLIC SERVICE EASEMENT
P.S.E.	PUBLIC UTILITY EASEMENT
P.U.E.	REFERENCE MAP NUMBER
R1	RIGHT OF WAY
R/W	SIDEWALK EASEMENT
S.W.E.	TOTAL
(1)	

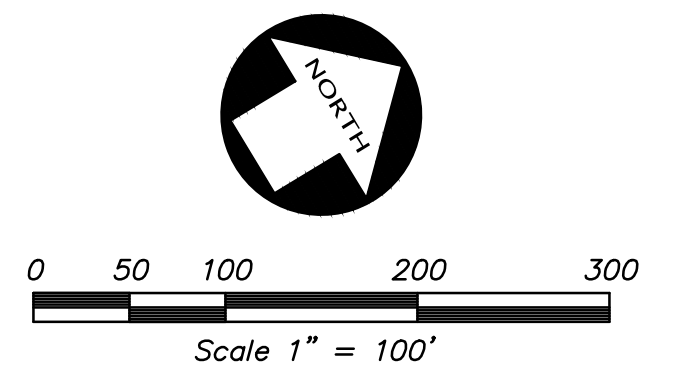
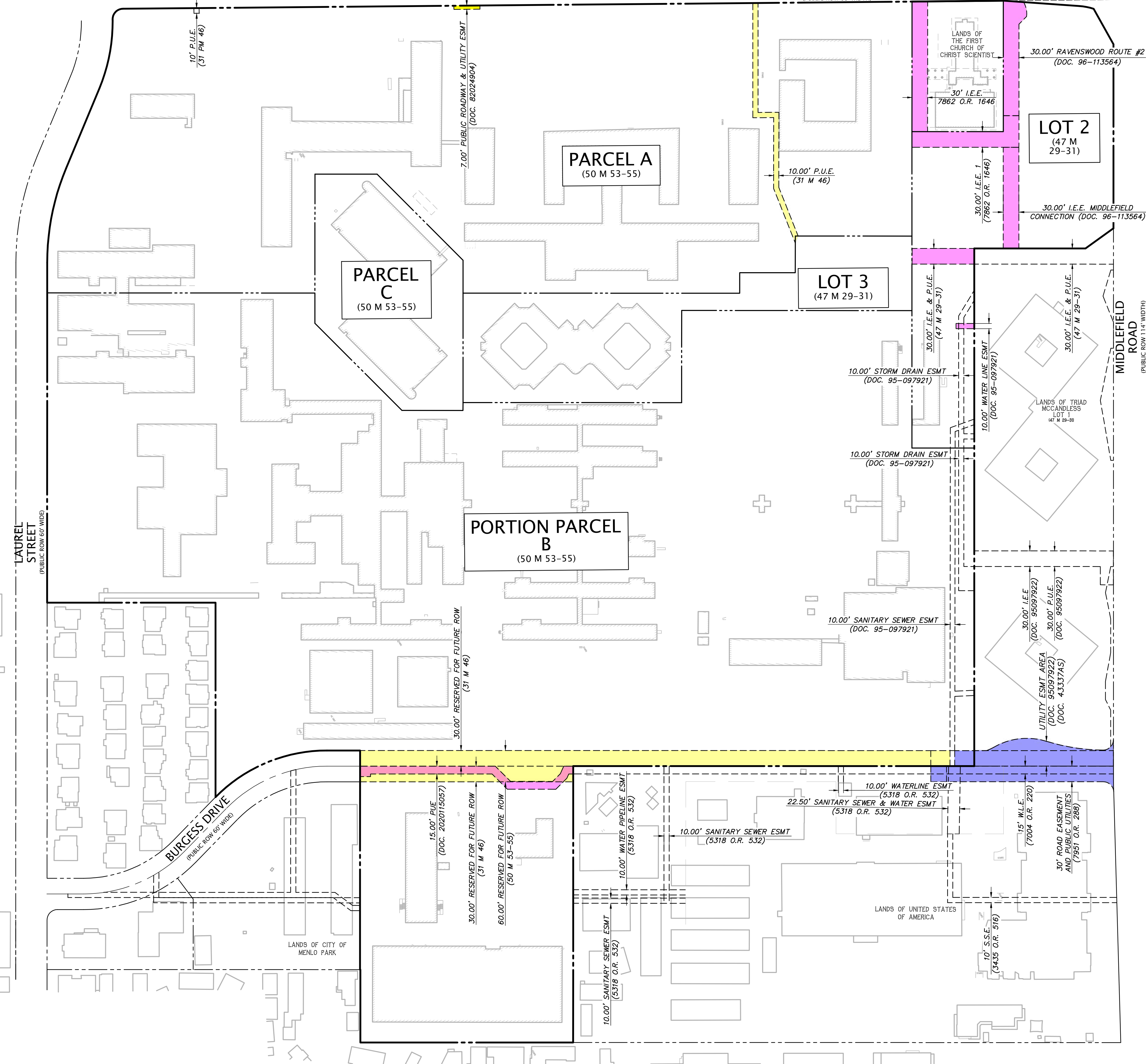
**REFERENCES**

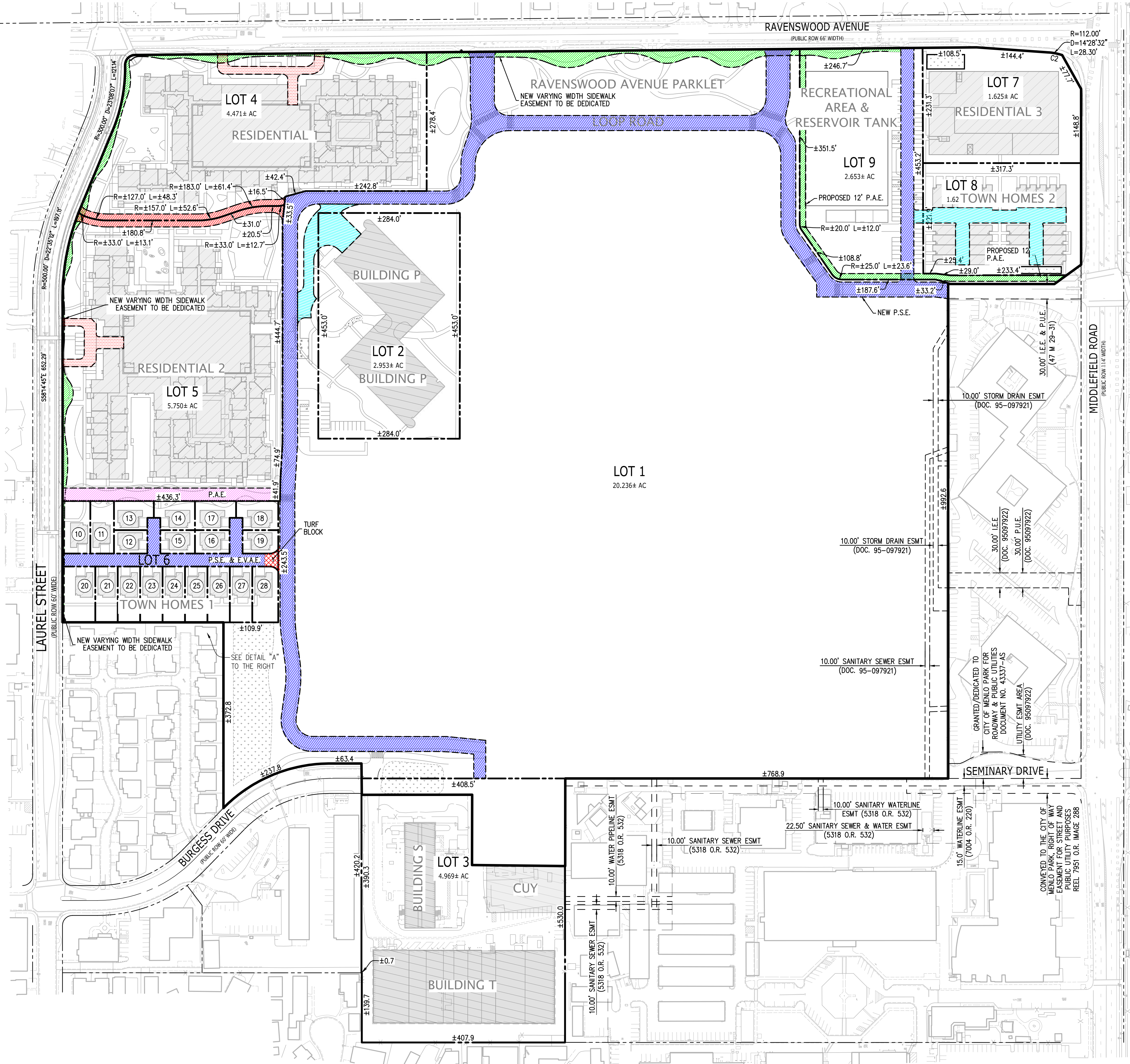
①	RECORD OF SURVEY	3 LLS 66
②	PARCEL MAP	31 PM 46
③	PARCEL MAP	47 PM 29-31
④	PARCEL MAP	50 PM 53-55
⑤	PARCEL MAP	70 PM 56-58
⑥	RECORD OF SURVEY	14 LLS 110
⑦	PARCEL MAP	80 PM 45-46
⑧	JUDGEMENT	1081 OR 75
⑨	RECORD OF SURVEY	36 LLS 84
⑩	SUBDIVISION MAP	128 M 50-52
⑪	SUBDIVISION MAP	126 M 35-420



LEGEND

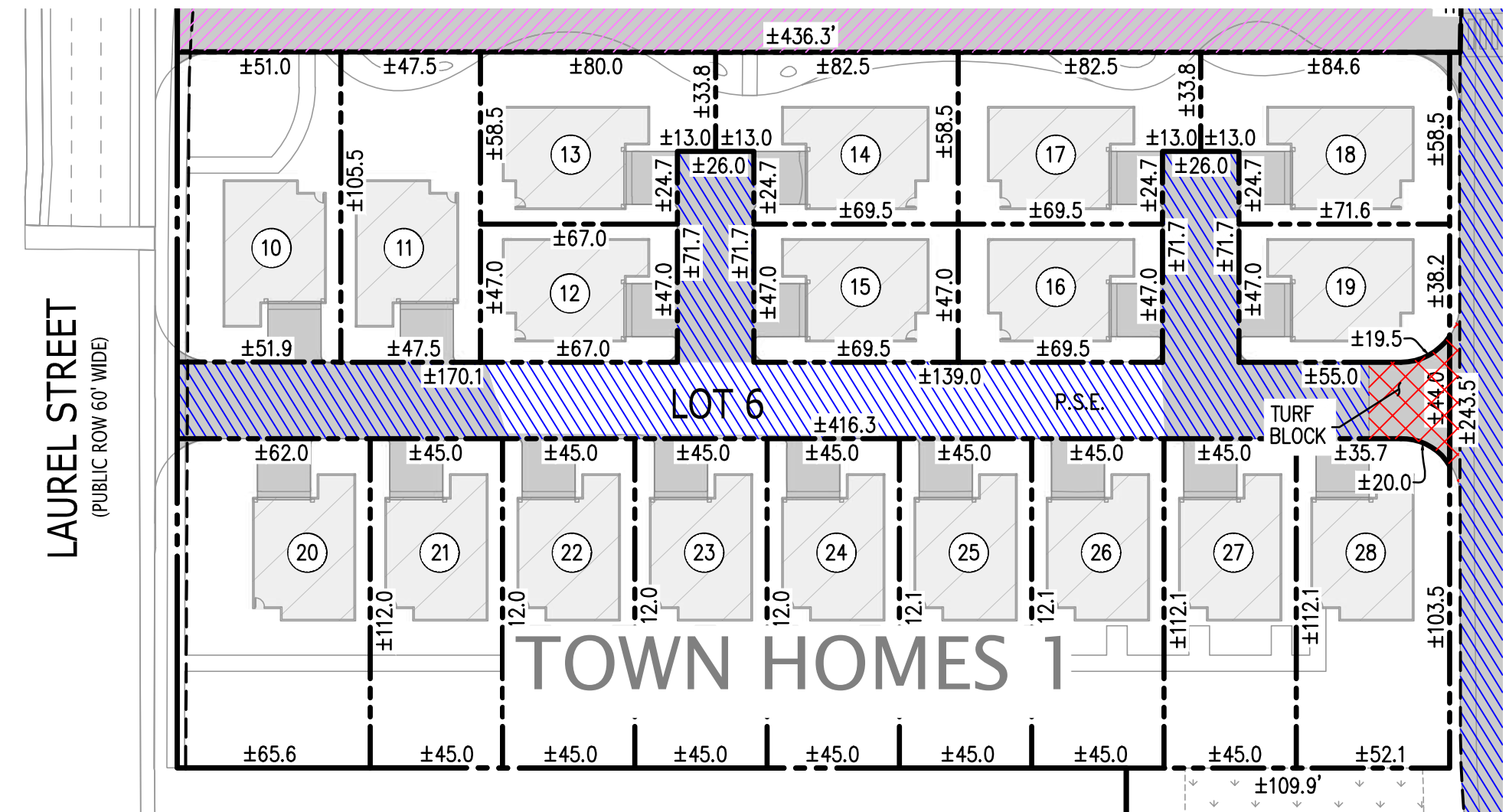
- PUBLIC EASEMENT TO BE VACATED
- SEMINARY DRIVE EASEMENTS TO REMAIN
- PRIVATE EASEMENT TO BE QUITCLAIMED





**LEGEND & ABBREVIATIONS**

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- PROPERTY LINE TO BE REMOVED
- CENTERLINE/MONUMENT LINE, AS NOTED
- EASEMENT LINE
- OLD BOUNDARY LINE
- DOC. DOCUMENT NUMBER
- ESMT EASEMENT
- I.E.E. INGRESS EGRESS EASEMENT
- O.R. OFFICIAL RECORDS
- P.S.E. PUBLIC SERVICE EASEMENT
- RI REFERENCE MAP NUMBER
- R/W RIGHT OF WAY
- S.W.E. SIDEWALK EASEMENT
- (T) TOTAL
- [Blue Hatched] PROPOSED PUBLIC SERVICE EASEMENT (P.S.E., P.A.E. & E.V.A.E.) AC PAVEMENT
- [Green Hatched] PROPOSED PUBLIC ACCESS EASEMENT (P.A.E.) PCC PAVEMENT
- [Red Hatched] PROPOSED EMERGENCY VEHICLE ACCESS EASEMENT (E.V.A.E.) AC PAVEMENT
- [Orange Hatched] PROPOSED EMERGENCY VEHICLE ACCESS EASEMENT (E.V.A.E.) MATERIAL VARIES SURFACE TO COMPLY WITH H2O LOADING. (SEE LANDSCAPE PLANS)
- [Yellow Hatched] PROPOSED PUBLIC SERVICE EASEMENT (P.S.E., P.A.E. & E.V.A.E.) MATERIAL VARIES SURFACE TO COMPLY WITH H2O LOADING. (SEE LANDSCAPE PLANS)
- [Pink Hatched] PROPOSED SHARED BIKE AND TRAIL ACCESS EASEMENT (B.T.A.E.) AC PAVEMENT
- [Purple Hatched] PROPOSED AC PAVEMENT

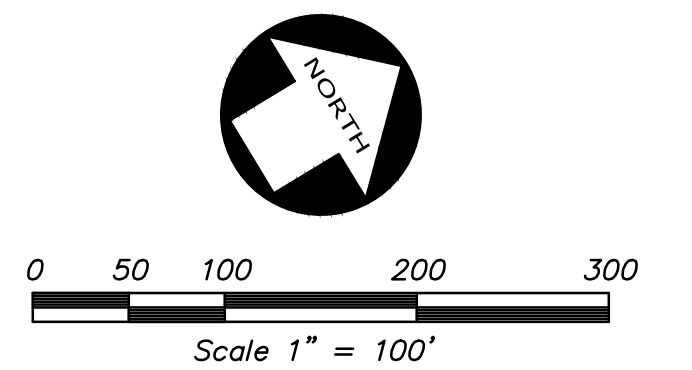


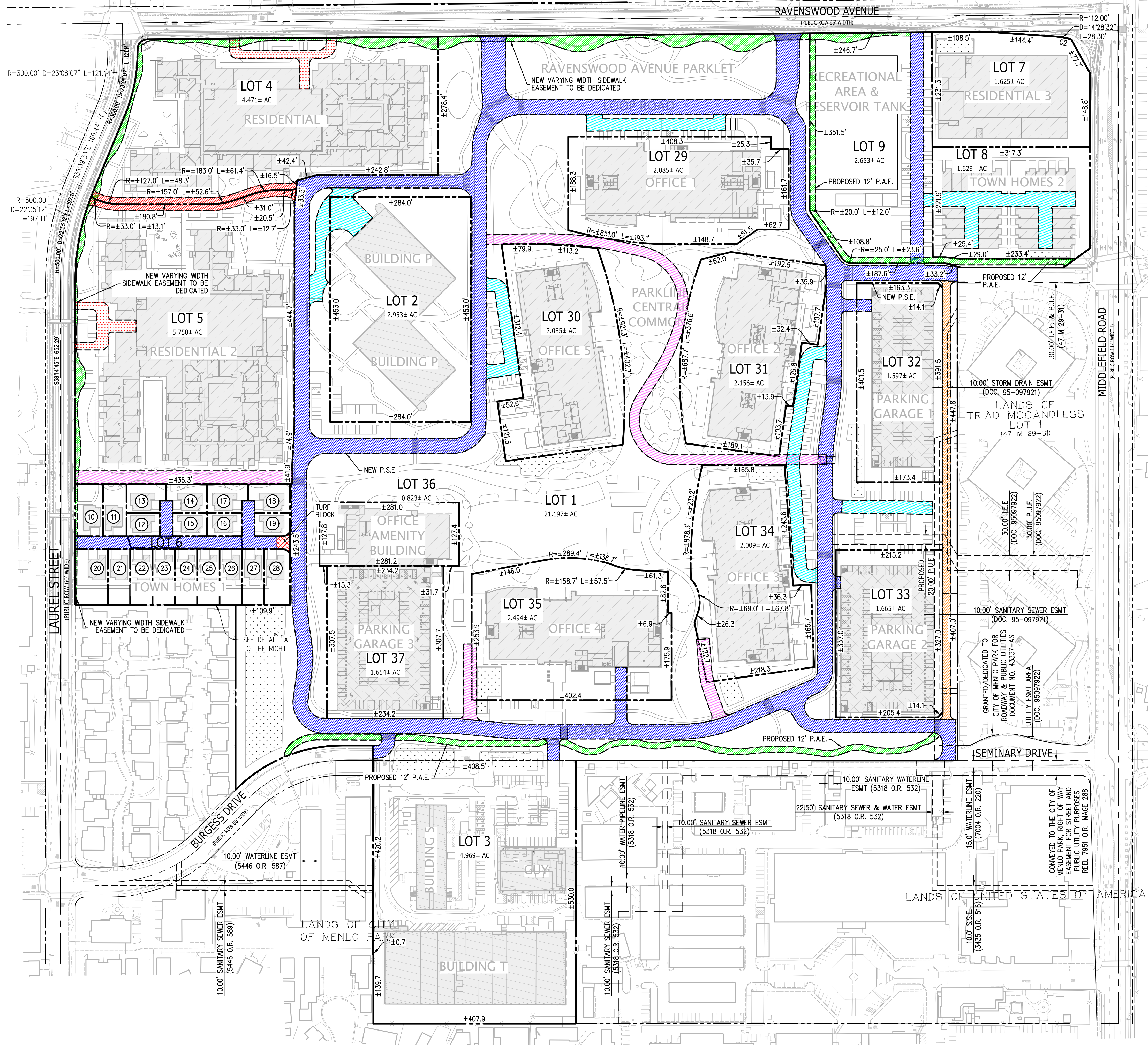
DETAIL "A"  
SCALE: 1"=50'

PARCEL #	AREA (ACRES)
1	37.765
2	2.953
3	4.969
4	4.471
5	5.743
6	0.346
7	1.625
8	1.629
9	2.653
10	0.135
11	0.115
12	0.072
13	0.100
14	0.103

PARCEL #	AREA (ACRES)
15	0.075
16	0.075
17	0.103
18	0.106
19	0.076
20	0.169
21	0.116
22	0.116
23	0.116
24	0.116
25	0.116
26	0.116
27	0.116
28	0.133

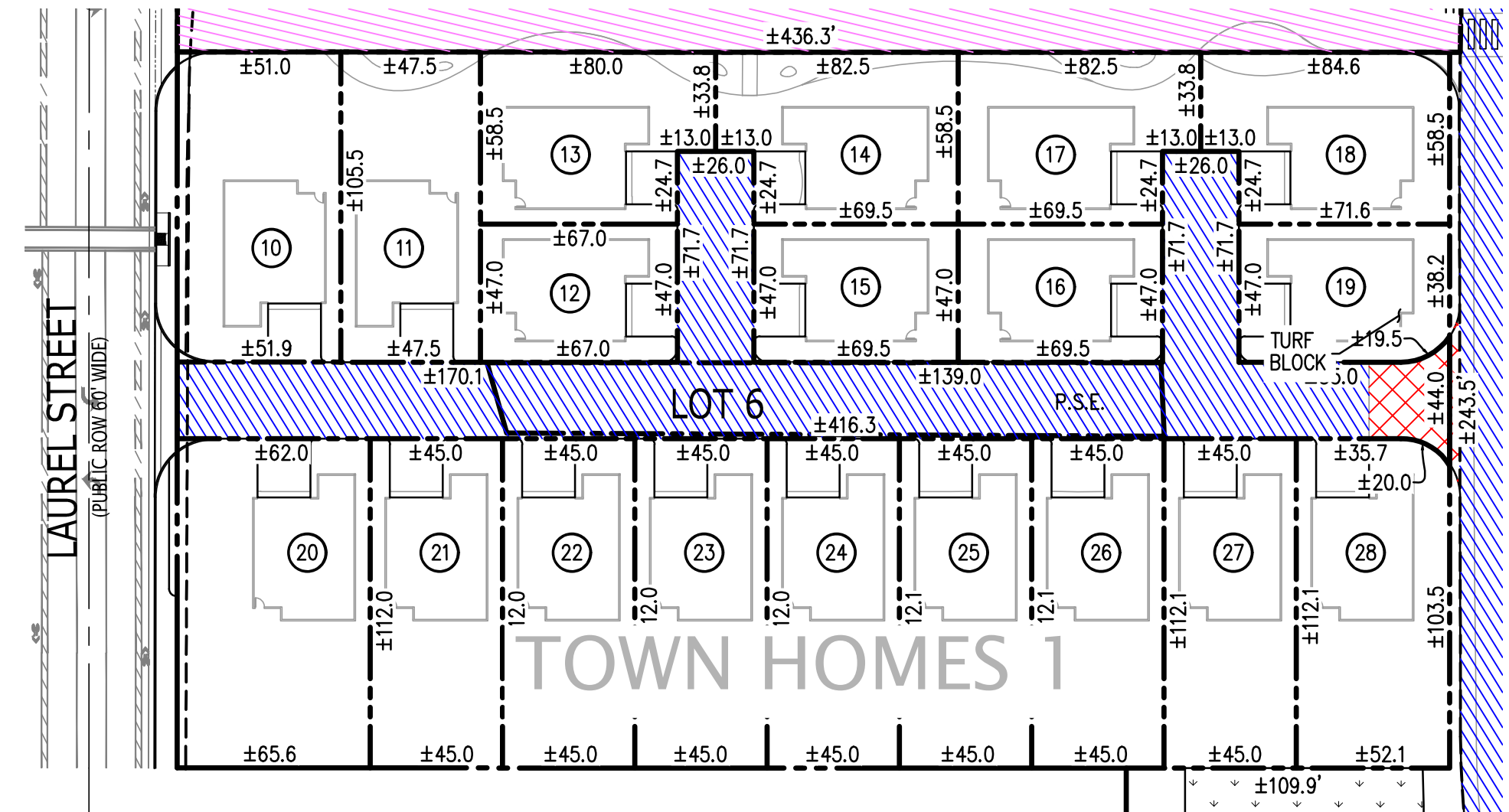
AREA TOTAL	ACRES
1-28	46.699±





**LEGEND & ABBREVIATIONS**

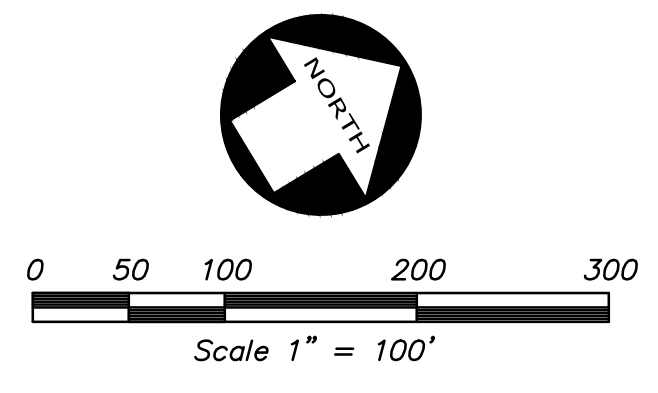
- PROPERTY LINE
- ADJACENT PROPERTY LINE
- PROPERTY LINE TO BE REMOVED
- CENTERLINE/MONUMENT LINE, AS NOTED
- EASEMENT LINE
- OLD BOUNDARY LINE
- DOC. DOCUMENT NUMBER
- ESMT EASEMENT
- I.E.E. INGRESS EGRESS EASEMENT
- O.R. OFFICIAL RECORDS
- P.S.E. PUBLIC SERVICE EASEMENT
- R1 REFERENCE MAP NUMBER
- R/W RIGHT OF WAY
- S.W.E. SIDEWALK EASEMENT
- (T) TOTAL
- PROPOSED PUBLIC SERVICE EASEMENT (P.S.E., P.A.E. & E.V.A.E.) AC PAVEMENT
- PROPOSED PUBLIC ACCESS EASEMENT (P.A.E.) PCC PAVEMENT
- PROPOSED EMERGENCY VEHICLE ACCESS EASEMENT (E.V.A.E.) AC PAVEMENT
- PROPOSED EMERGENCY VEHICLE ACCESS EASEMENT (E.V.A.E.) MATERIAL VARIES SURFACE TO COMPLY WITH H2O LOADING. (SEE LANDSCAPE PLANS)
- PROPOSED PUBLIC SERVICE EASEMENT (P.S.E., P.A.E. & E.V.A.E.) MATERIAL VARIES SURFACE TO COMPLY WITH H2O LOADING. (SEE LANDSCAPE PLANS)
- PROPOSED SHARED BIKE AND TRAIL ACCESS EASEMENT (B.T.A.E.) AC PAVEMENT
- PROPOSED AC PAVEMENT



DETAIL "A"  
SCALE: 1"=50'

PARCEL #	AREA (ACRES)
1	21.197
2	2.953
3	4.969
4	4.471
5	5.743
6	0.346
7	1.625
8	1.629
9	2.653
10	0.135
11	0.115
12	0.072
13	0.100
14	0.103
15	0.075
16	0.075
17	0.103
18	0.106
19	0.076
20	0.169

PARCEL #	AREA (ACRES)
21	0.116
22	0.116
23	0.116
24	0.116
25	0.116
26	0.116
27	0.116
28	0.133
29	2.085
30	2.085
31	2.156
32	1.597
33	1.665
34	2.009
35	2.494
36	0.823
37	1.654
<b>AREA TOTAL</b>	<b>ACRES</b>
1-37	64.277±



RAVENSWOOD AVENUE

RAVENSWOOD AVENUE PARKLET

RECREATIONAL AREA & RESERVOIR TANK

RESIDENTIAL 3

RESIDENTIAL

LOOP ROAD

OFFICE 1

TOWN HOMES 2

BUILDING P

PARKLINE CENTRAL COMMONS

OFFICE 5

OFFICE 2

RESIDENTIAL 2

BUILDING P

OFFICE AMENITY BUILDING

OFFICE 3

TOWN HOMES 1

PARKING GARAGE 3

OFFICE 4

PARKING GARAGE 2

MIDDLEFIELD ROAD

LOOP ROAD

SEMINARY DRIVE

BURGESS DRIVE

BUILDING S

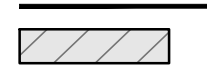
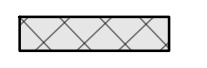



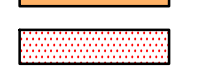



CUY

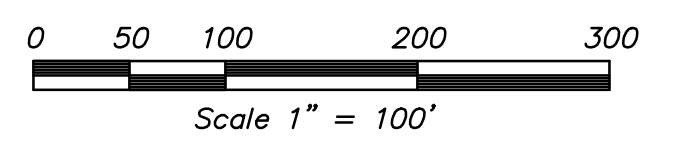
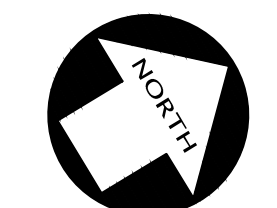
BUILDING T

15' WATERLINE ESMT (7004 O.R. 220)

CONVEYED TO THE CITY OF LINDEN PARK RIGHT OF WAY EASEMENT FOR STREET AND PUBLIC UTILITY PURPOSES REEL 7951 O.R. IMAGE 288












LEGEND

-  PROPOSED BUILDING
-  PROPOSED GARAGE
-  EXISTING BUILDING TO REMAIN
-  PROPOSED AERIAL ACCESS ROAD
-  FIRE ACCESS ROAD
-  MAINTENANCE ROAD
-  AC PAVEMENT
-  150' HOSE PULL
-  FIRE HYDRANT



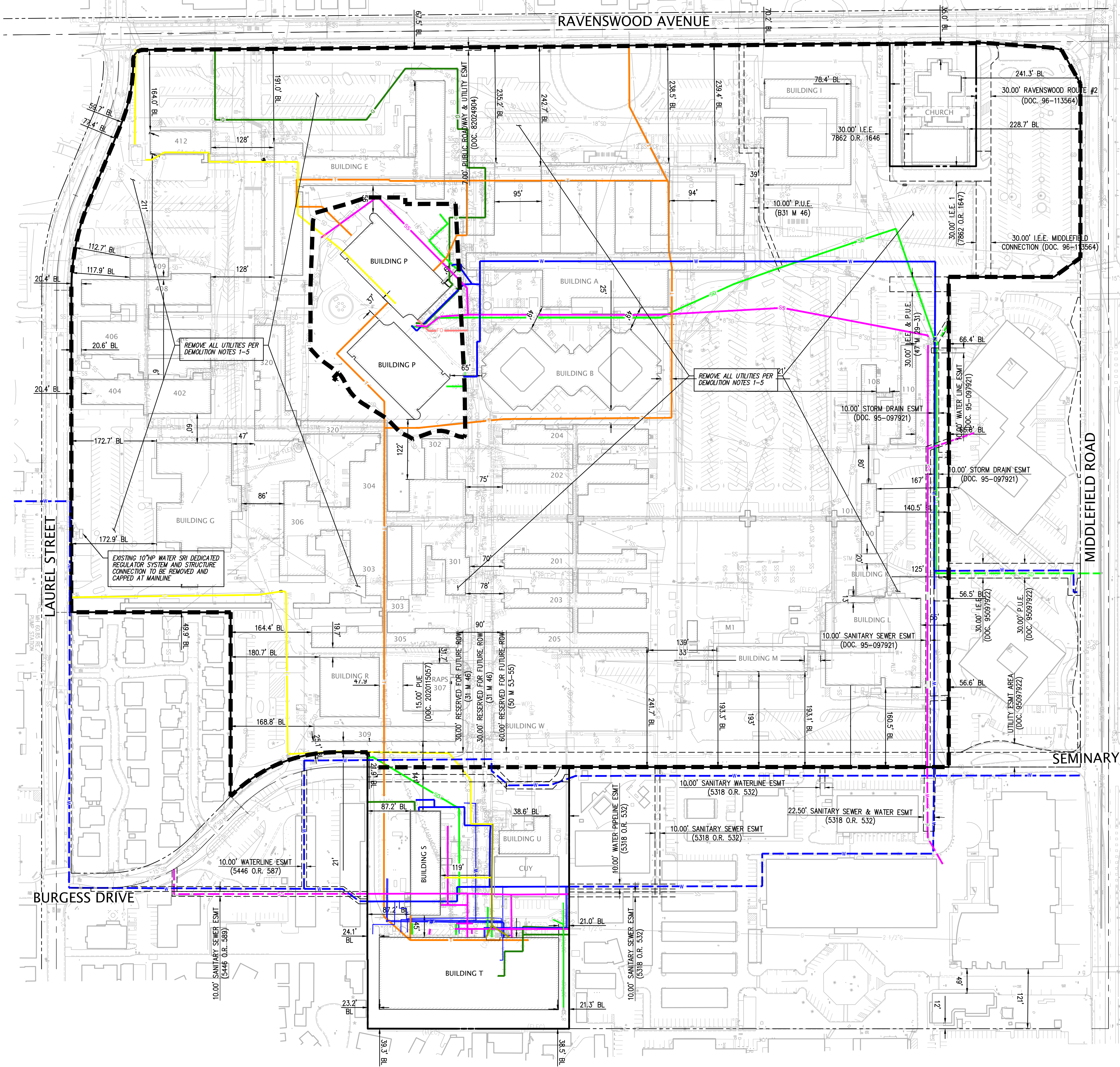
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**DEMOLITION LEGEND**

-  LIMIT OF WORK
-  ELECTRICITY LINE TO REMAIN IN PLACE
-  FIBER OPTIC LINE TO REMAIN IN PLACE
-  GAS LINE TO REMAIN IN PLACE
-  SANITARY SEWER TO REMAIN IN PLACE
-  STORM DRAIN TO REMAIN IN PLACE
-  WATER LINE TO REMAIN IN PLACE
-  TELEPHONE LINE TO REMAIN IN PLACE
  
-  OFF-SITE SANITARY SEWER TO REMAIN IN PLACE
-  OFF-SITE STORM DRAIN TO REMAIN IN PLACE
-  OFF-SITE WATER LINE TO REMAIN IN PLACE

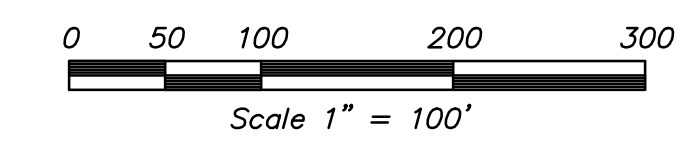
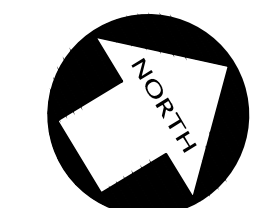
**DEMOLITION NOTES**

1. DEMOLITION SHALL INCLUDE THE REMOVAL ALL UTILITIES NOT DESIGNATED FOR PROTECTION WITHIN PROJECT LIMITS. WORK SHALL INCLUDE REMOVAL OF ALL SURFACE AND SUBSURFACE APPURTENANCES PERTAINING TO THAT UTILITY.
2. REMOVE ALL IRRIGATION WITHIN LIMIT OF WORK.
3. ALL UNUSED PUBLIC UTILITY LATERALS WITHIN THE CITY RIGHT-OF-WAY SHALL BE REMOVED AND CAPPED AT THE MAIN. ALL UNUSED UTILITIES THAT TERMINATE AT THE LIMITS OF DEMOLITION SHALL BE CAPPED ACCORDINGLY.
4. ALL OVERHEAD LINES SHALL BE REMOVED INCLUDING POLES AND ALL APPURTENANCES PERTAINING TO THE OVERHEAD LINE.
5. ALL UTILITY SYSTEMS, INCLUDING OVERHEAD LINES, THAT CURRENTLY SERVE EXISTING BUILDINGS WITHIN THE HISTORICAL EASEMENT AREA WILL NEED TO BE EVALUATED FOR RELOCATION BEFORE BEING TAKEN OUT OF SERVICE AND REMOVED UNDER THE PROPOSED PROJECT SCOPE OF DEMOLITION WORK.



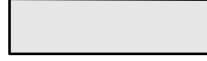
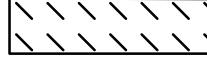


RINGWOOD AVENUE

SEMINARY DRIVE

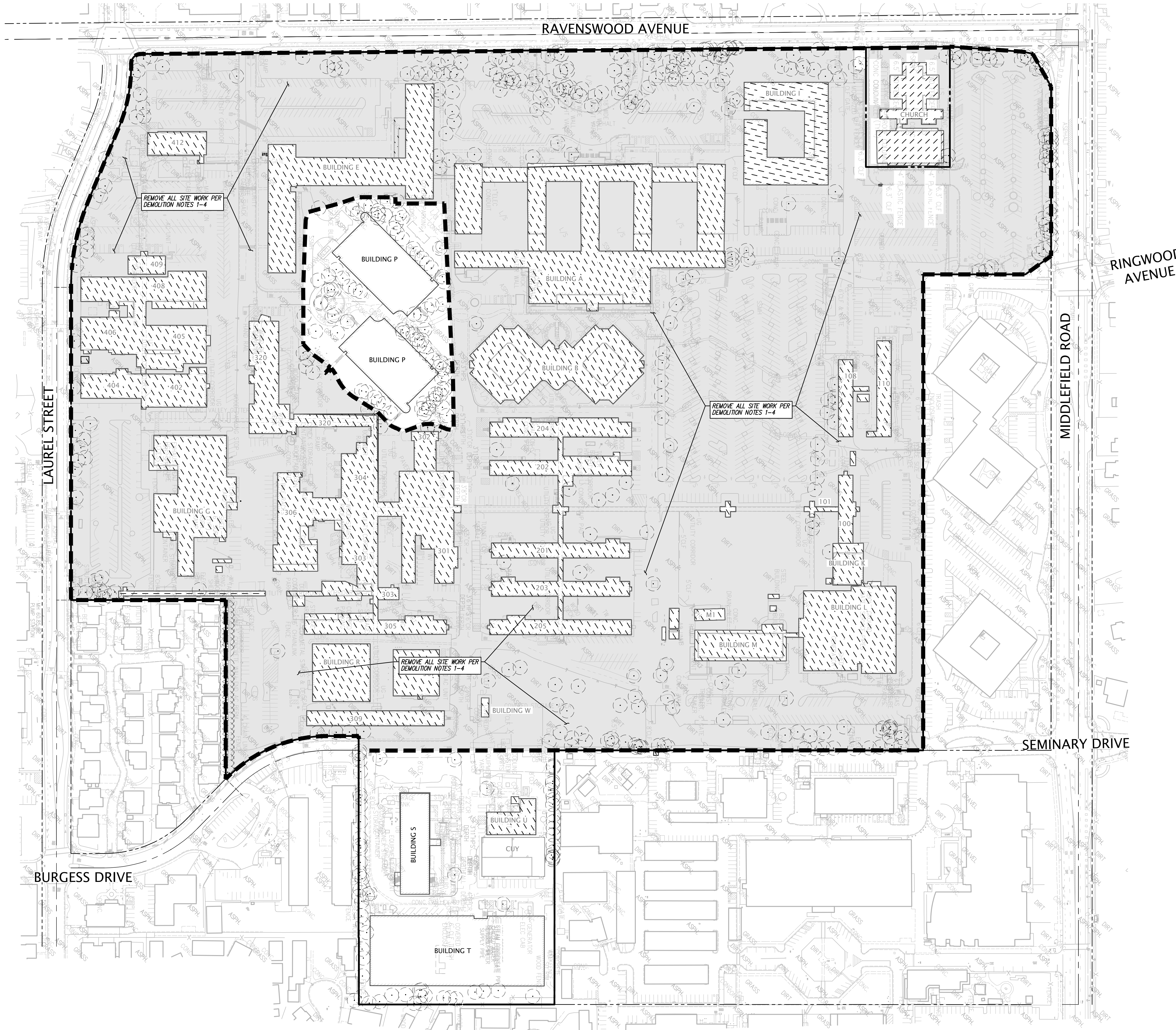


**DEMOLITION LEGEND**

-  EXISTING TREE TO REMAIN, PROTECT IN PLACE
-  LIMIT OF WORK
-  AREA OF SITEWORK DEMOLITION
-  REMOVE EXISTING BUILDING, UNDERSLAB UTILITIES AND FOUNDATION IN ENTIRETY. REFER TO ARCHITECTURAL BUILDING DEMOLITION PLAN

**DEMOLITION NOTES**

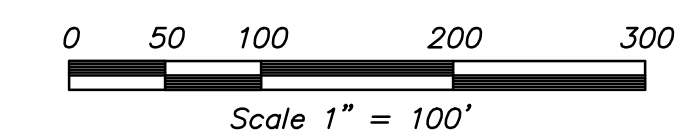
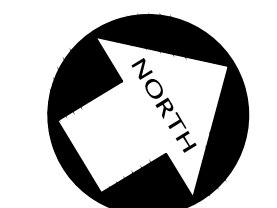
1. REMOVE ALL LANDSCAPE GROUND COVER AND SHRUBS WITHIN PROJECT LIMIT OF WORK.
2. REFER TO PLANS BY LANDSCAPE ARCHITECT FOR TREE DISPOSITION PLAN FOR TREES TO BE REMOVED, PROTECTED OR RELOCATED. TREE PROTECTION SHALL BE PROVIDED PER CITY OF MENLO PARK HERITAGE TREE AND CITY PROTECTION SPECIFICATIONS FOR CONSTRUCTION. DEMOLITION PLANS SHOWS APPROXIMATE LOCATION OF EXISTING TREES TO REMAIN.
3. REMOVE EXISTING BUILDING, UNDERSLAB UTILITIES AND FOUNDATION IN ENTIRETY. REFER TO ARCHITECTURAL BUILDING DEMOLITION PLAN.
4. SITEWORK DEMOLITION SHALL INCLUDE THE REMOVAL OF ALL CONCRETE, AC PAVEMENT, BASE ROCK SUBGRADE, AND SURFACE UTILITIES (NOT DESIGNATED FOR PROTECTION) WITHIN PROJECT LIMIT OF WORK.

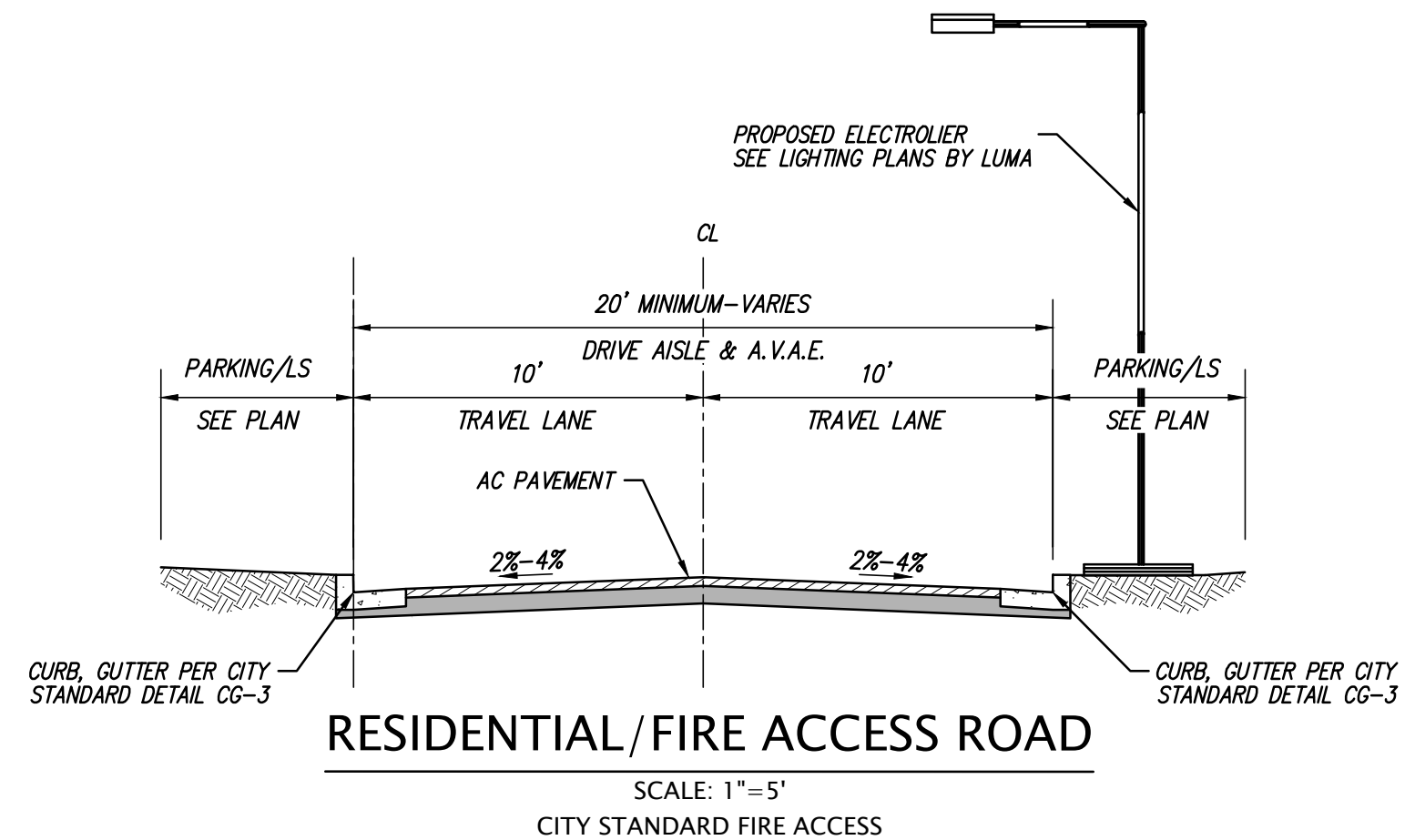
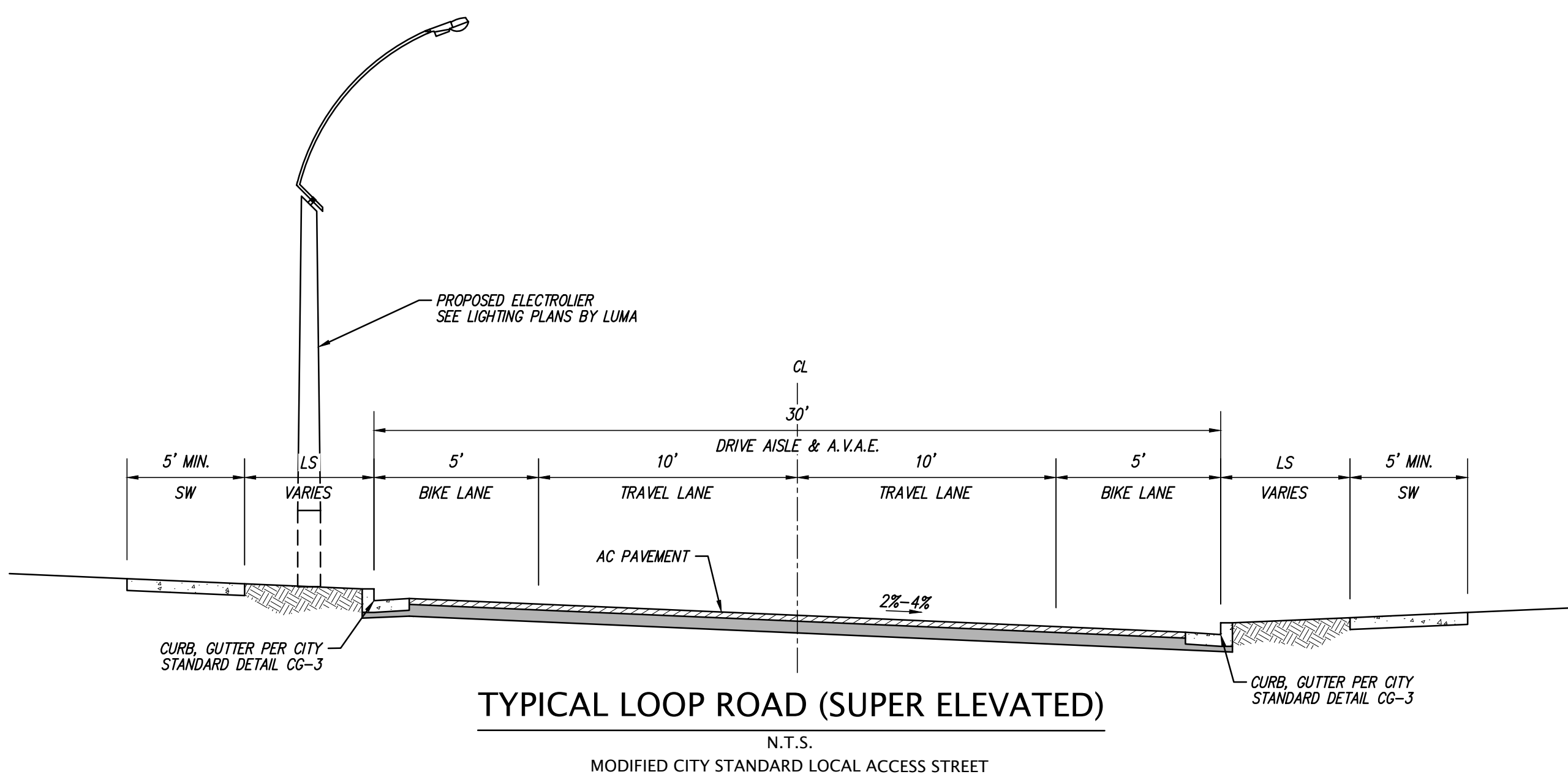
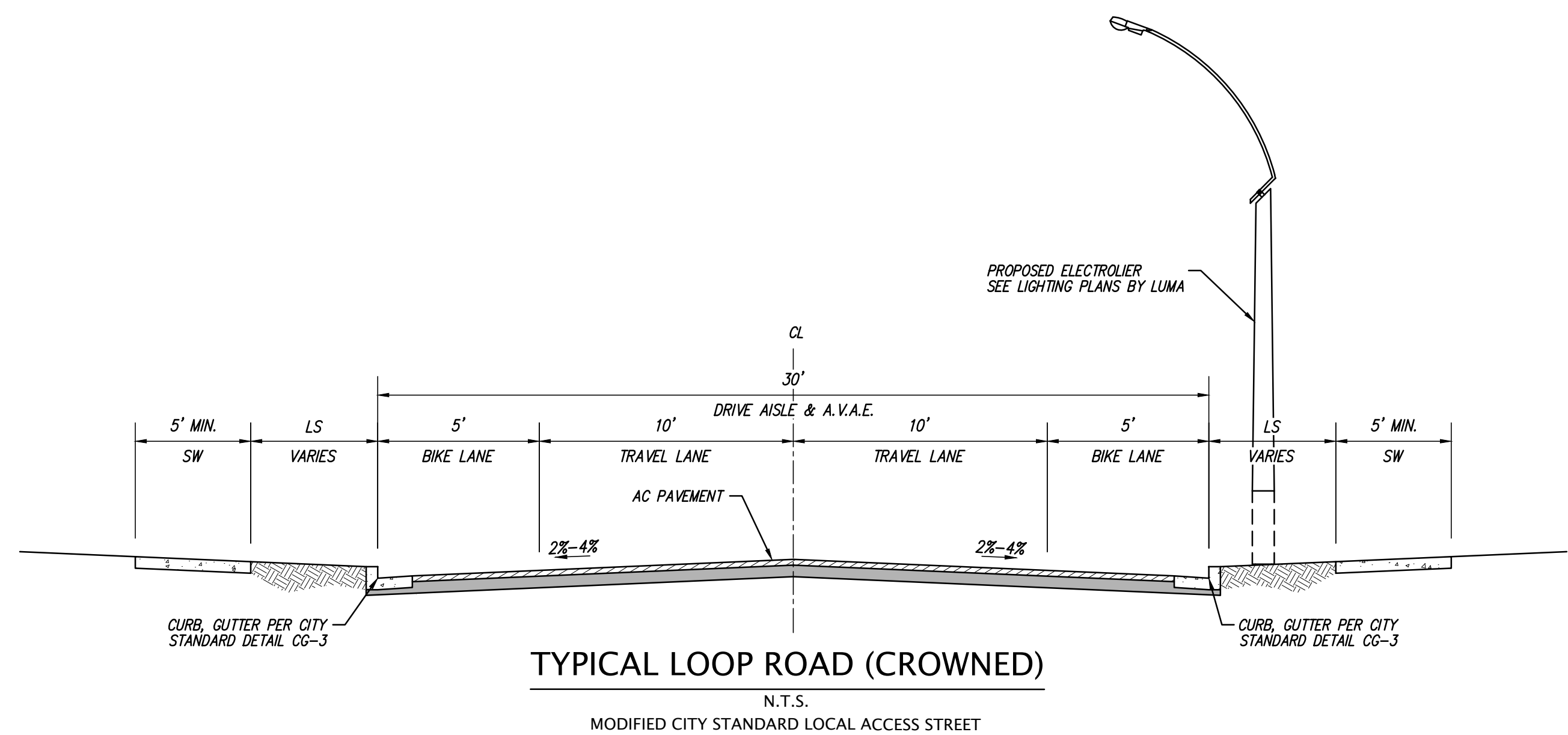


REMOVE ALL SITE WORK PER DEMOLITION NOTES 1-4

REMOVE ALL SITE WORK PER DEMOLITION NOTES 1-4

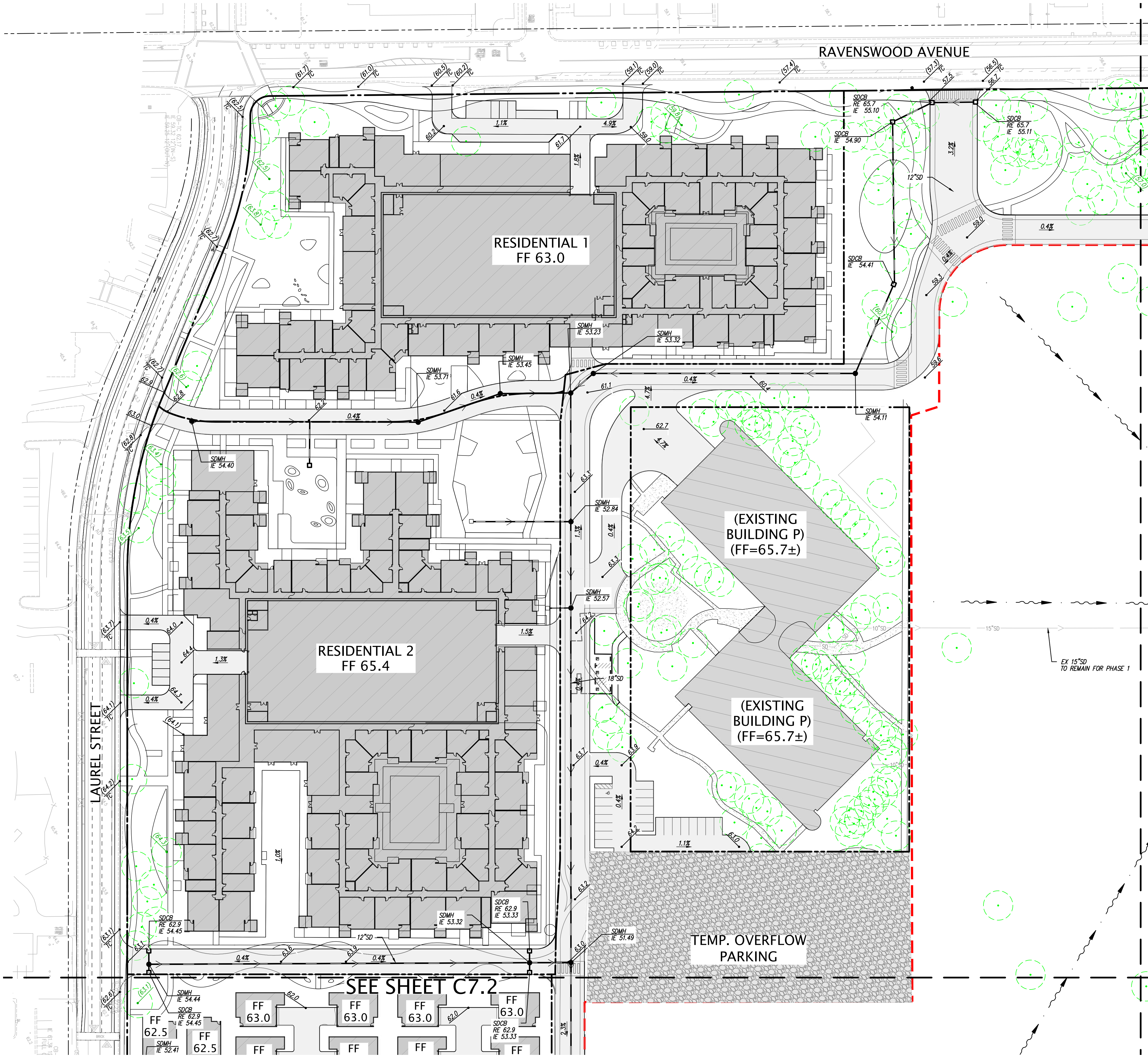
REMOVE ALL SITE WORK PER DEMOLITION NOTES 1-4





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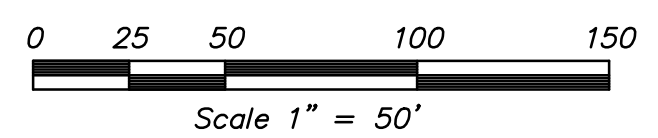
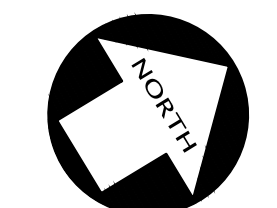
SEE SHEET C7.1

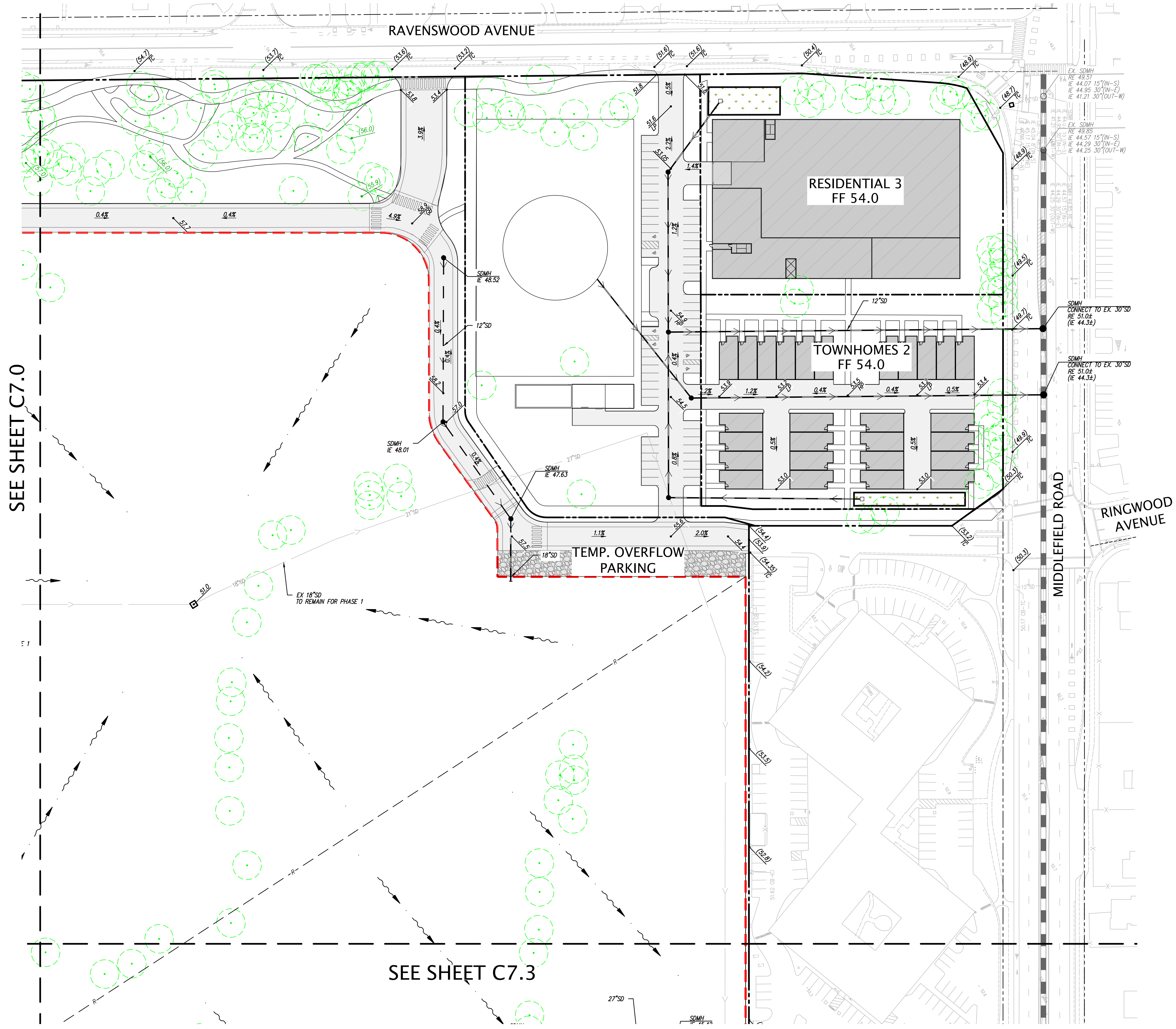
**LEGEND**

▲	AREA DRAIN
□	STORM DRAIN CATCH BASIN
●	STORM DRAIN JUNCTION BOX
○	STORM DRAIN MANHOLE
FL	FLOW LINE
FF	FINISH FLOOR
PV	PAVEMENT
RE	RIM ELEVATION
23.8	SPOT ELEVATION
(XX.X)	ELEVATION OF EX. TREE TO REMAIN
(XX.X)	EXISTING GRADE
X"SD	STORM DRAIN LINE
TC	TOP OF CURB
[Hatched Box]	PROPOSED BUILDING
[Dotted Box]	PROPOSED GARAGE
[Diagonal Lines Box]	EXISTING BUILDING TO REMAIN
[Cross-hatched Box]	TEMPORARY GRAVEL CLASS IIAB OVERFLOW PARKING
[Stippled Box]	BIO-RETENTION BASIN
(Green Circle)	TREE
- - - - -	PHASE LINE

**NOTES**

1. GRADES WITHIN THE FIRST 10 FEET ADJACENT TO A STRUCTURE MUST HAVE A 5% SLOPE ON PERVIOUS SURFACES, AND A 2% SLOPE ON IMPERVIOUS SURFACES PER §1804.43 OF THE CALIFORNIA BUILDING CODE (CBC).
2. UNDER NO CIRCUMSTANCE SHALL DRAINAGE RESULTING FROM THIS PROJECT, DURING OR POST CONSTRUCTION, DIRECTLY SHEETFLOW ACROSS AN ADJOINING PROPERTY. RUNOFF SHALL BE CONTAINED ON-SITE UP TO THE 10-YEAR STORM.





**LEGEND**

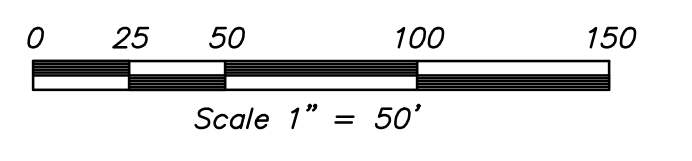
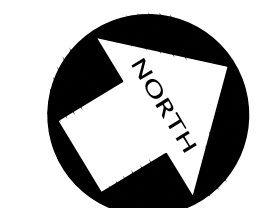
- ▲ AREA DRAIN
- STORM DRAIN CATCH BASIN
- STORM DRAIN JUNCTION BOX
- STORM DRAIN MANHOLE
- FL FLOW LINE
- FF FINISH FLOOR
- PV PAVEMENT
- RE RIM ELEVATION
- 23.8 SPOT ELEVATION
- (XX.X) ELEVATION OF EX. TREE TO REMAIN
- (XX.X) EXISTING GRADE
- X"SD STORM DRAIN LINE
- TC TOP OF CURB
- PROPOSED BUILDING
- PROPOSED GARAGE
- EXISTING BUILDING TO REMAIN
- TEMPORARY GRAVEL CLASS IIAB OVERFLOW PARKING
- BIO-RETENTION BASIN
- TREE
- PHASE LINE

**NOTES**

1. GRADES WITHIN THE FIRST 10 FEET ADJACENT TO A STRUCTURE MUST HAVE A 5% SLOPE ON PERVIOUS SURFACES, AND A 2% SLOPE ON IMPERVIOUS SURFACES PER §1804.4.3 OF THE CALIFORNIA BUILDING CODE (CBC).
2. UNDER NO CIRCUMSTANCE SHALL DRAINAGE RESULTING FROM THIS PROJECT, DURING OR POST CONSTRUCTION, DIRECTLY SHEETFLOW ACROSS AN ADJOINING PROPERTY. RUNOFF SHALL BE CONTAINED ON-SITE UP TO THE 10-YEAR STORM.

SEE SHEET C7.0

SEE SHEET C7.3



SEE SHEET C7.0

TEMP. OVERFLOW  
PARKING

TOWNHOMES 1

LAUREL STREET

BURGESS DRIVE

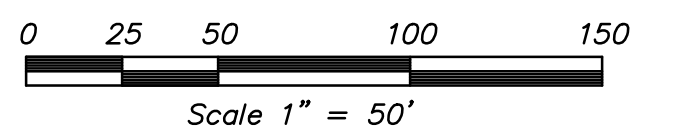
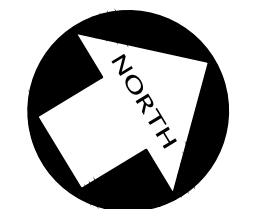
SEE SHEET C7.3

LEGEND

- ▲ AREA DRAIN
- STORM DRAIN CATCH BASIN
- STORM DRAIN JUNCTION BOX
- STORM DRAIN MANHOLE
- FL FLOW LINE
- FF FINISH FLOOR
- PV PAVEMENT
- RE RIM ELEVATION
- 23.8 SPOT ELEVATION
- (XX.X) ELEVATION OF EX. TREE TO REMAIN
- (XX.X) EXISTING GRADE
- X"SD STORM DRAIN LINE
- TC TOP OF CURB
- PROPOSED BUILDING
- PROPOSED GARAGE
- EXISTING BUILDING TO REMAIN
- TEMPORARY GRAVEL CLASS IIAB OVERFLOW PARKING
- BIO-RETENTION BASIN
- TREE
- PHASE LINE

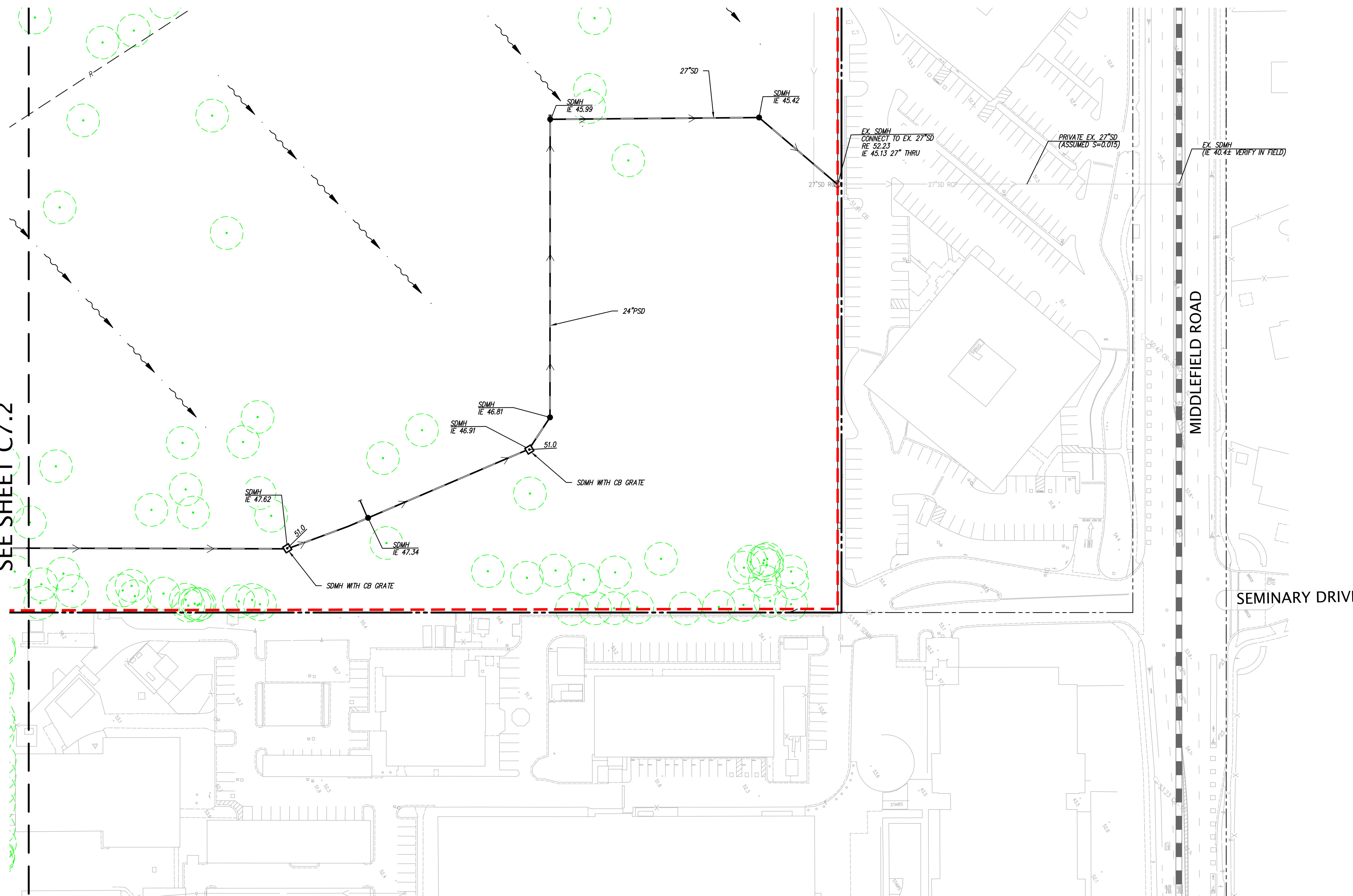
NOTES

1. GRADES WITHIN THE FIRST 10 FEET ADJACENT TO A STRUCTURE MUST HAVE A 5% SLOPE ON PERVIOUS SURFACES, AND A 2% SLOPE ON IMPERVIOUS SURFACES PER §1804.4.3 OF THE CALIFORNIA BUILDING CODE (CBC).
2. UNDER NO CIRCUMSTANCE SHALL DRAINAGE RESULTING FROM THIS PROJECT, DURING OR POST CONSTRUCTION, DIRECTLY SHEETFLOW ACROSS AN ADJOINING PROPERTY. RUNOFF SHALL BE CONTAINED ON-SITE UP TO THE 10-YEAR STORM.



SEE SHEET C7.1

SEE SHEET C7.2

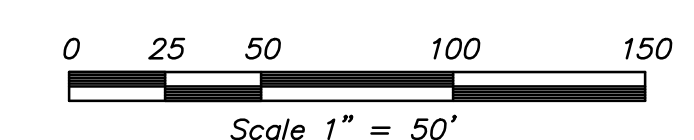
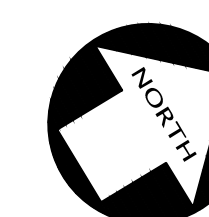


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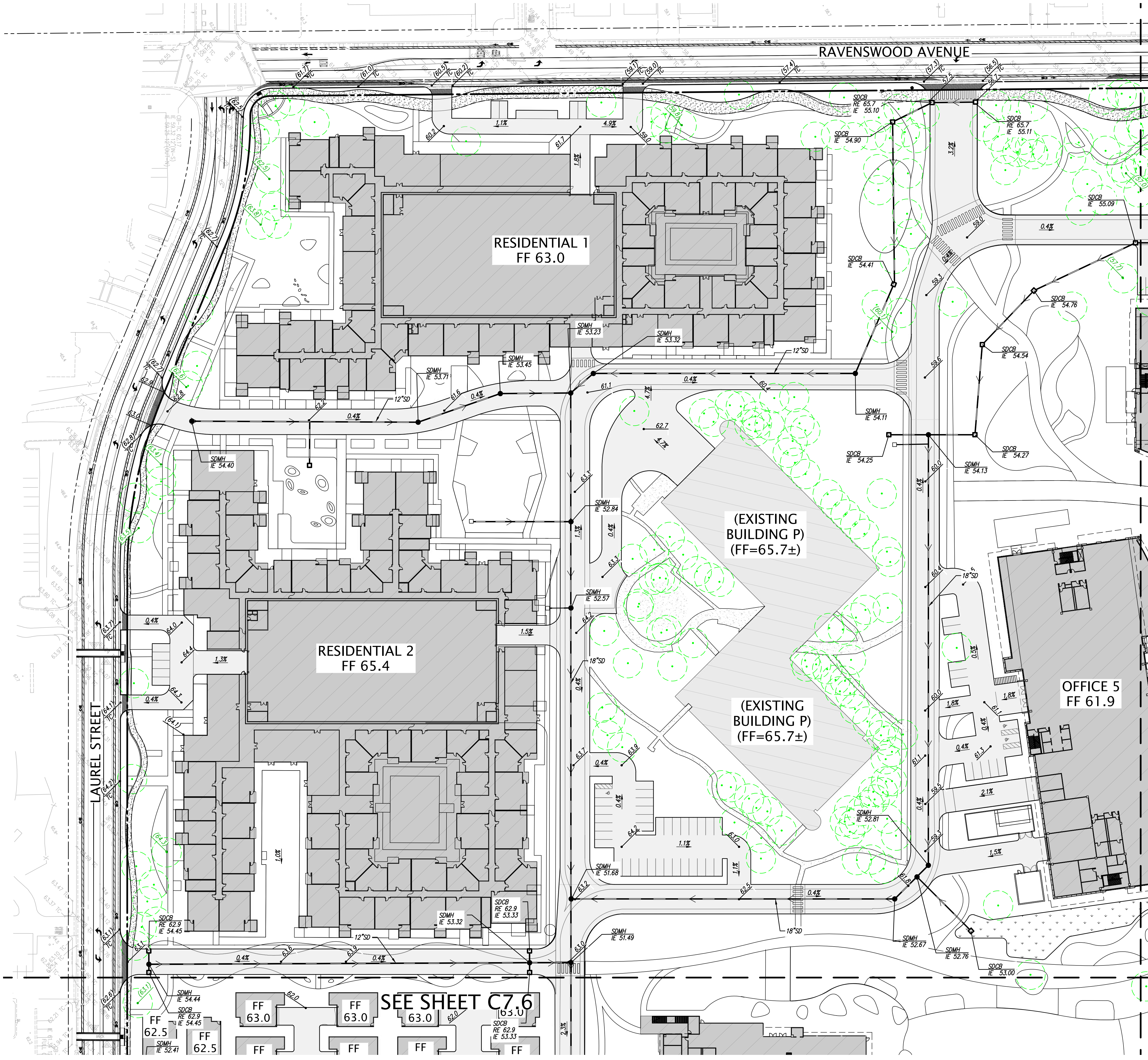
▲	AREA DRAIN
□	STORM DRAIN CATCH BASIN
●	STORM DRAIN JUNCTION BOX
○	STORM DRAIN MANHOLE
FL	FLOW LINE
FF	FINISH FLOOR
PV	PAVEMENT
RE	RIM ELEVATION
23.8	SPOT ELEVATION
(XX.X)	ELEVATION OF EX. TREE TO REMAIN
(XX.X)	EXISTING GRADE
X"SD	STORM DRAIN LINE
TC	TOP OF CURB
[Hatched Box]	PROPOSED BUILDING
[Dotted Box]	PROPOSED GARAGE
[Diagonal Lines Box]	EXISTING BUILDING TO REMAIN
[Cross-hatched Box]	TEMPORARY GRAVEL CLASS IIAB OVERFLOW PARKING
[Dotted Box]	BIO-RETENTION BASIN
(X)	TREE
- - -	PHASE LINE

NOTES

1. GRADES WITHIN THE FIRST 10 FEET ADJACENT TO A STRUCTURE MUST HAVE A 5% SLOPE ON PERVIOUS SURFACES, AND A 2% SLOPE ON IMPERVIOUS SURFACES PER §1804.4.3 OF THE CALIFORNIA BUILDING CODE (CBC).
2. UNDER NO CIRCUMSTANCE SHALL DRAINAGE RESULTING FROM THIS PROJECT, DURING OR POST CONSTRUCTION, DIRECTLY SHEETFLOW ACROSS AN ADJOINING PROPERTY. RUNOFF SHALL BE CONTAINED ON-SITE UP TO THE 10-YEAR STORM.



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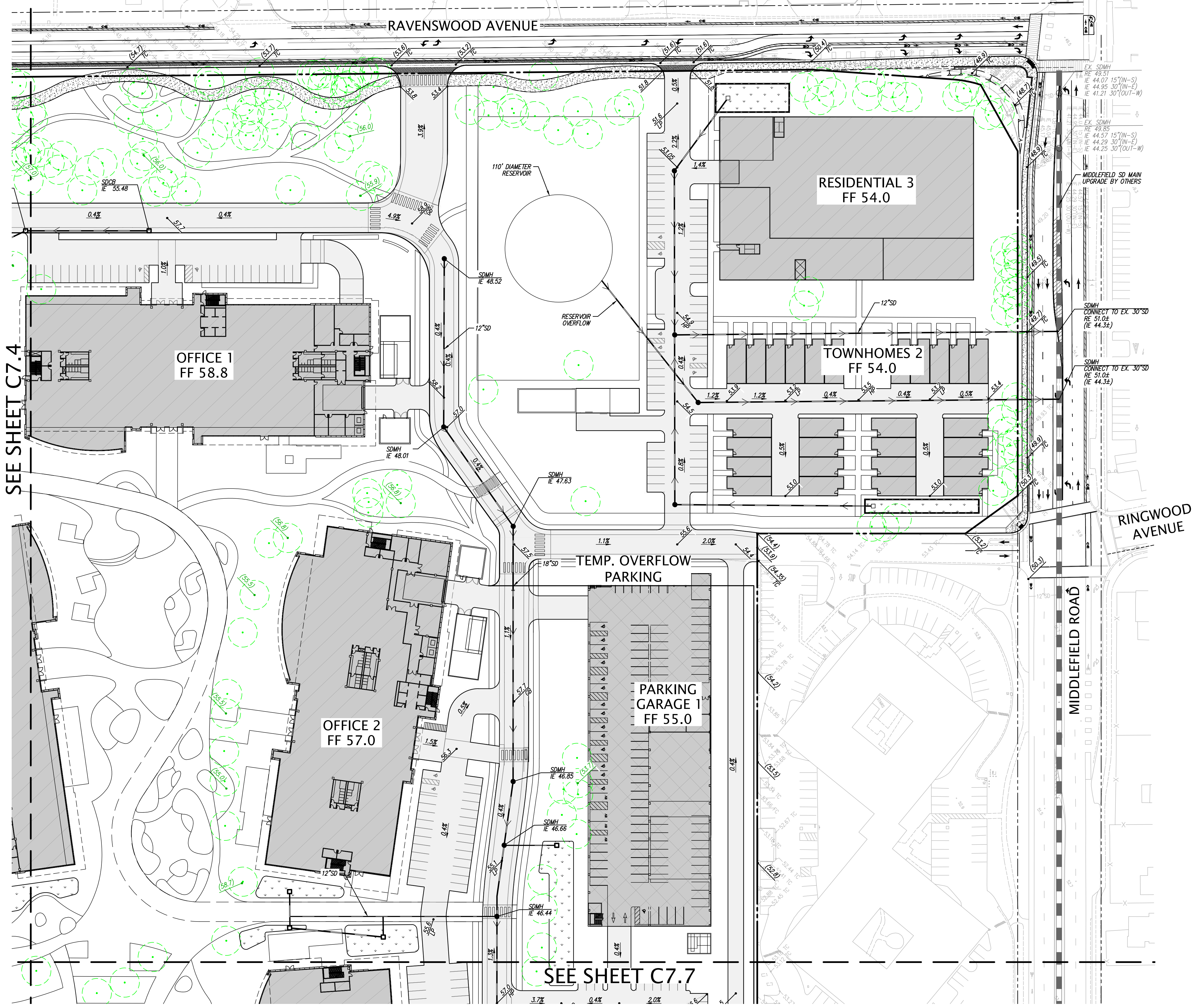
SEE SHEET C7.5

**LEGEND**

▲	AREA DRAIN
□	STORM DRAIN CATCH BASIN
●	STORM DRAIN JUNCTION BOX
○	STORM DRAIN MANHOLE
FL	FLOW LINE
FF	FINISH FLOOR
PV	PAVEMENT
RE	RIM ELEVATION
23.8	SPOT ELEVATION
(XX.X)	ELEVATION OF EX. TREE TO REMAIN
(XX.X)	EXISTING GRADE
X"SD	STORM DRAIN LINE
TC	TOP OF CURB
[Hatched Box]	PROPOSED BUILDING
[Diagonal Lines Box]	PROPOSED GARAGE
[Dotted Box]	EXISTING BUILDING TO REMAIN
[Stippled Box]	TEMPORARY GRAVEL OVERFLOW PARKING
[Dotted Box]	BIO-RETENTION BASIN
(Green Circle)	TREE

**NOTES**

- GRADES WITHIN THE FIRST 10 FEET ADJACENT TO A STRUCTURE MUST HAVE A 5% SLOPE ON PERVIOUS SURFACES, AND A 2% SLOPE ON IMPERVIOUS SURFACES PER §1804.4.3 OF THE CALIFORNIA BUILDING CODE (CBC).
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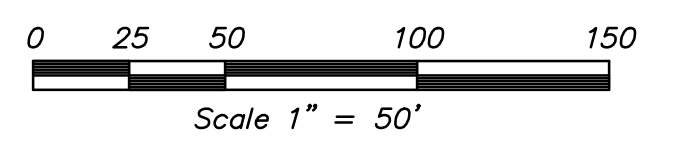
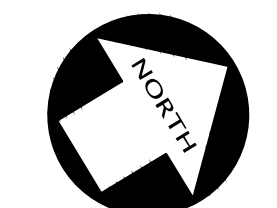


**LEGEND**

▲	AREA DRAIN
□	STORM DRAIN CATCH BASIN
●	STORM DRAIN JUNCTION BOX
○	STORM DRAIN MANHOLE
FL	FLOW LINE
FF	FINISH FLOOR
PV	PAVEMENT
RE	RIM ELEVATION
23.8	SPOT ELEVATION
(XX.X)	ELEVATION OF EX. TREE TO REMAIN
(XX.X)	EXISTING GRADE
X"SD	STORM DRAIN LINE
TC	TOP OF CURB
[Hatched Box]	PROPOSED BUILDING
[Dotted Box]	PROPOSED GARAGE
[Diagonal Lines Box]	EXISTING BUILDING TO REMAIN
[Cross-hatched Box]	TEMPORARY GRAVEL OVERFLOW PARKING
[Stippled Box]	BIO-RETENTION BASIN
(X)	TREE

**NOTES**

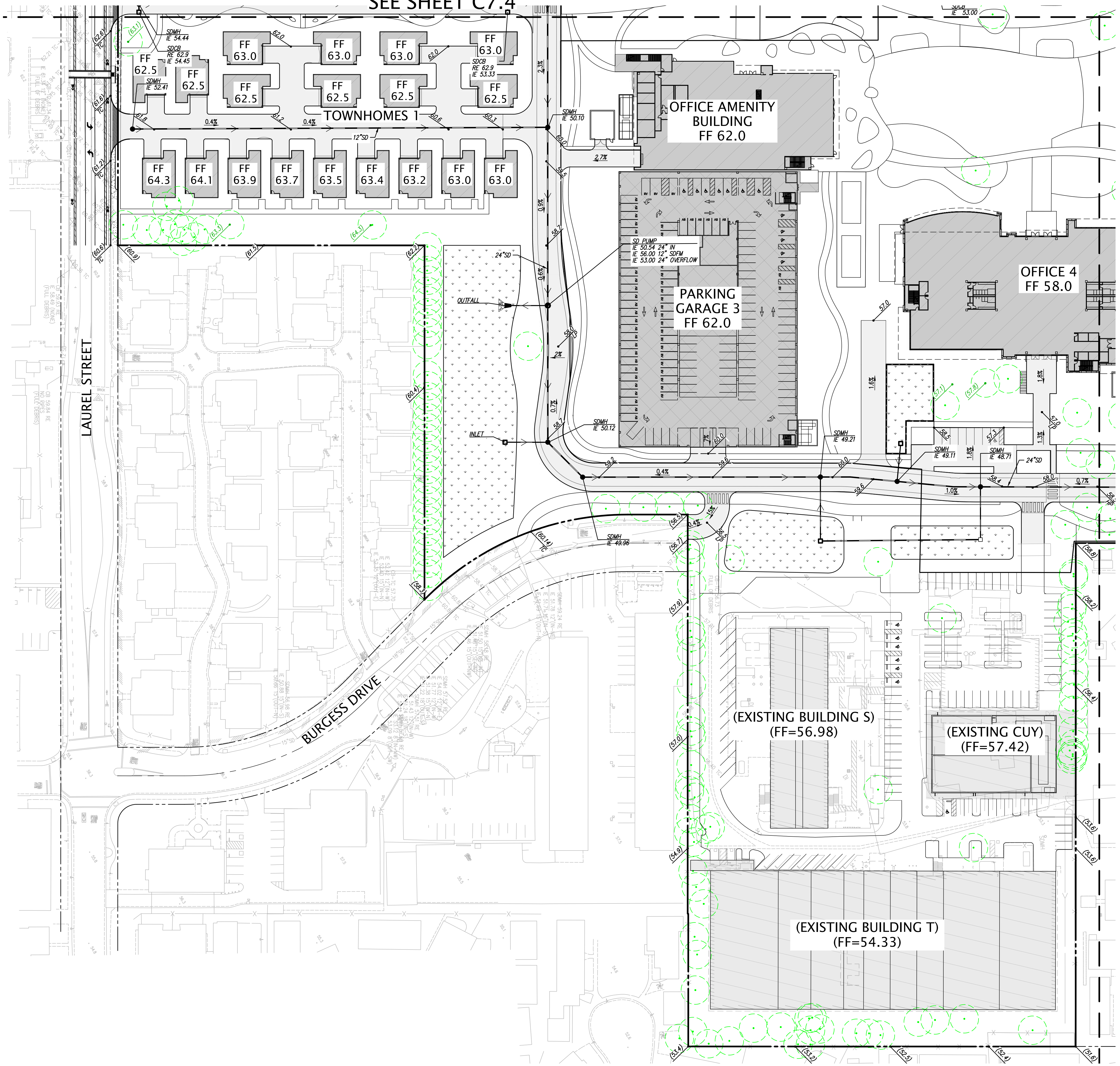
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SEE SHEET C7.4

SEE SHEET C7.7

SEE SHEET C7.4



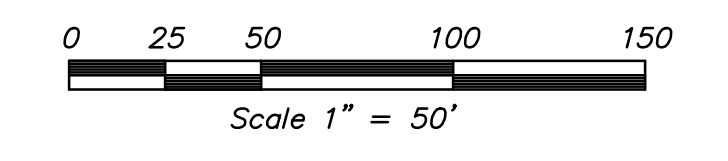
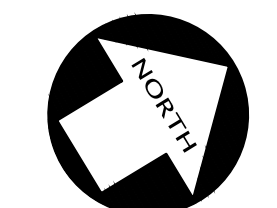
LEGEND

▲	AREA DRAIN
□	STORM DRAIN CATCH BASIN
●	STORM DRAIN JUNCTION BOX
○	STORM DRAIN MANHOLE
FL	FLOW LINE
FF	FINISH FLOOR
PV	PAVEMENT
RE	RIM ELEVATION
23.8	SPOT ELEVATION
(XX.X)	ELEVATION OF EX. TREE TO REMAIN
(XX.X)	EXISTING GRADE
X"SD	STORM DRAIN LINE
TC	TOP OF CURB
[Hatched Box]	PROPOSED BUILDING
[Dotted Box]	PROPOSED GARAGE
[Diagonal Lines Box]	EXISTING BUILDING TO REMAIN
[Cross-hatched Box]	TEMPORARY GRAVEL OVERFLOW PARKING
[Stippled Box]	BIO-RETENTION BASIN
○	TREE

NOTES

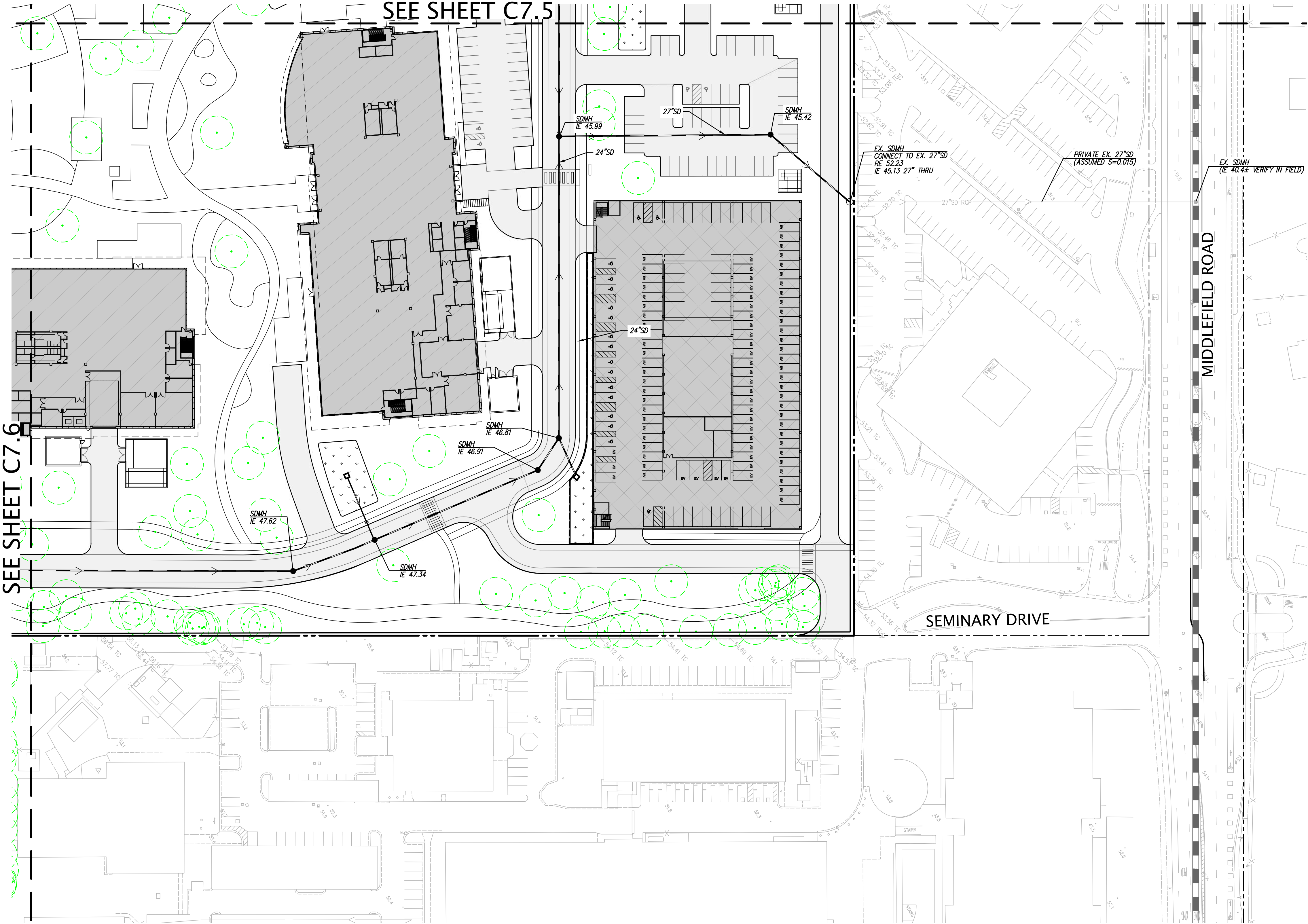
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SEE SHEET C7.7



SEE SHEET C7.5

SEE SHEET C7.6

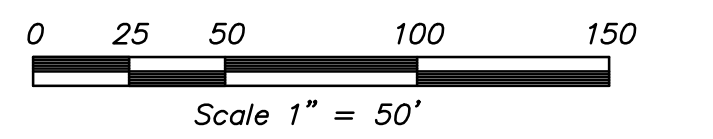
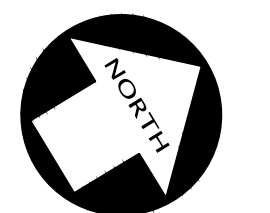


LEGEND

▲	AREA DRAIN
□	STORM DRAIN CATCH BASIN
●	STORM DRAIN JUNCTION BOX
○	STORM DRAIN MANHOLE
FL	FLOW LINE
FF	FINISH FLOOR
PV	PAVEMENT
RE	RIM ELEVATION
23.8	SPOT ELEVATION
(XX.X)	ELEVATION OF EX. TREE TO REMAIN
(XX.X)	EXISTING GRADE
X"SD	STORM DRAIN LINE
TC	TOP OF CURB
[Hatched Box]	PROPOSED BUILDING
[Diagonal Lines Box]	PROPOSED GARAGE
[Dotted Box]	EXISTING BUILDING TO REMAIN
[Cross-hatched Box]	TEMPORARY GRAVEL OVERFLOW PARKING
[Stippled Box]	BIO-RETENTION BASIN
○	TREE

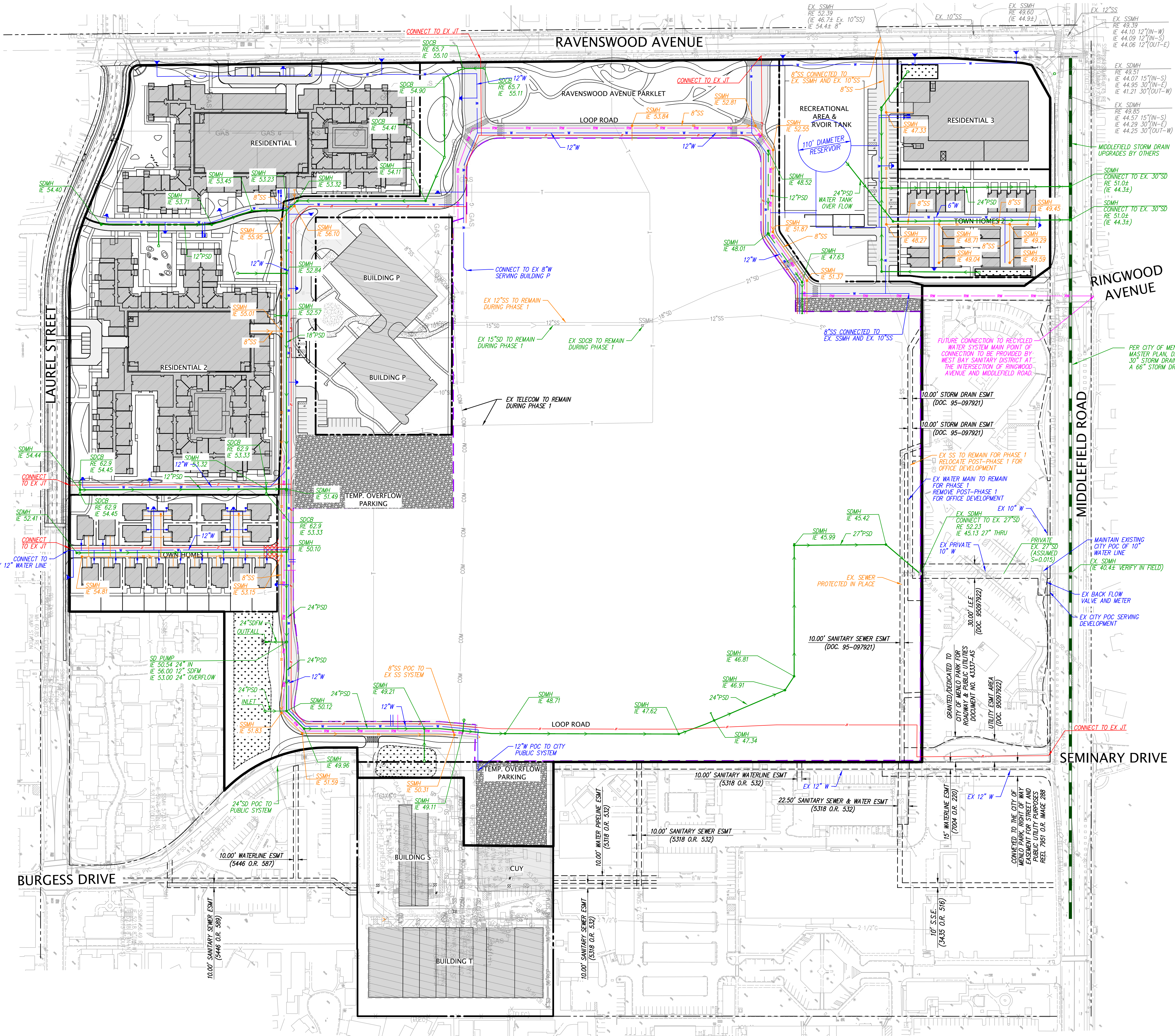
NOTES

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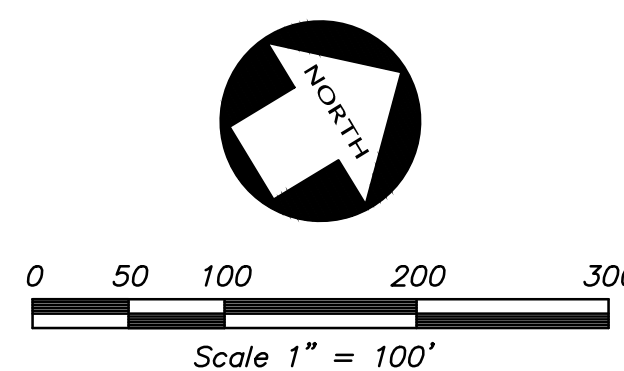
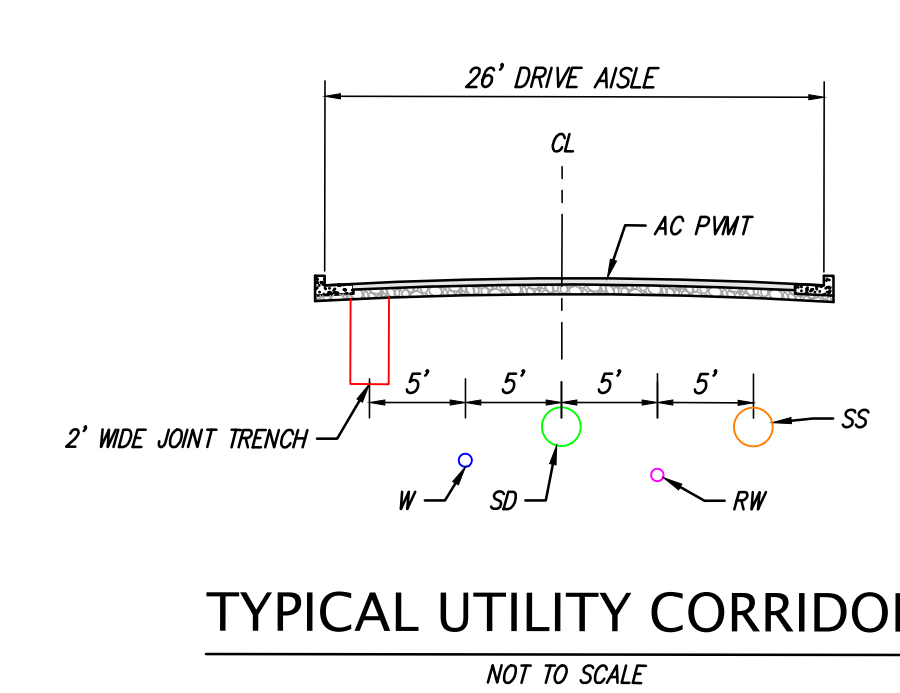


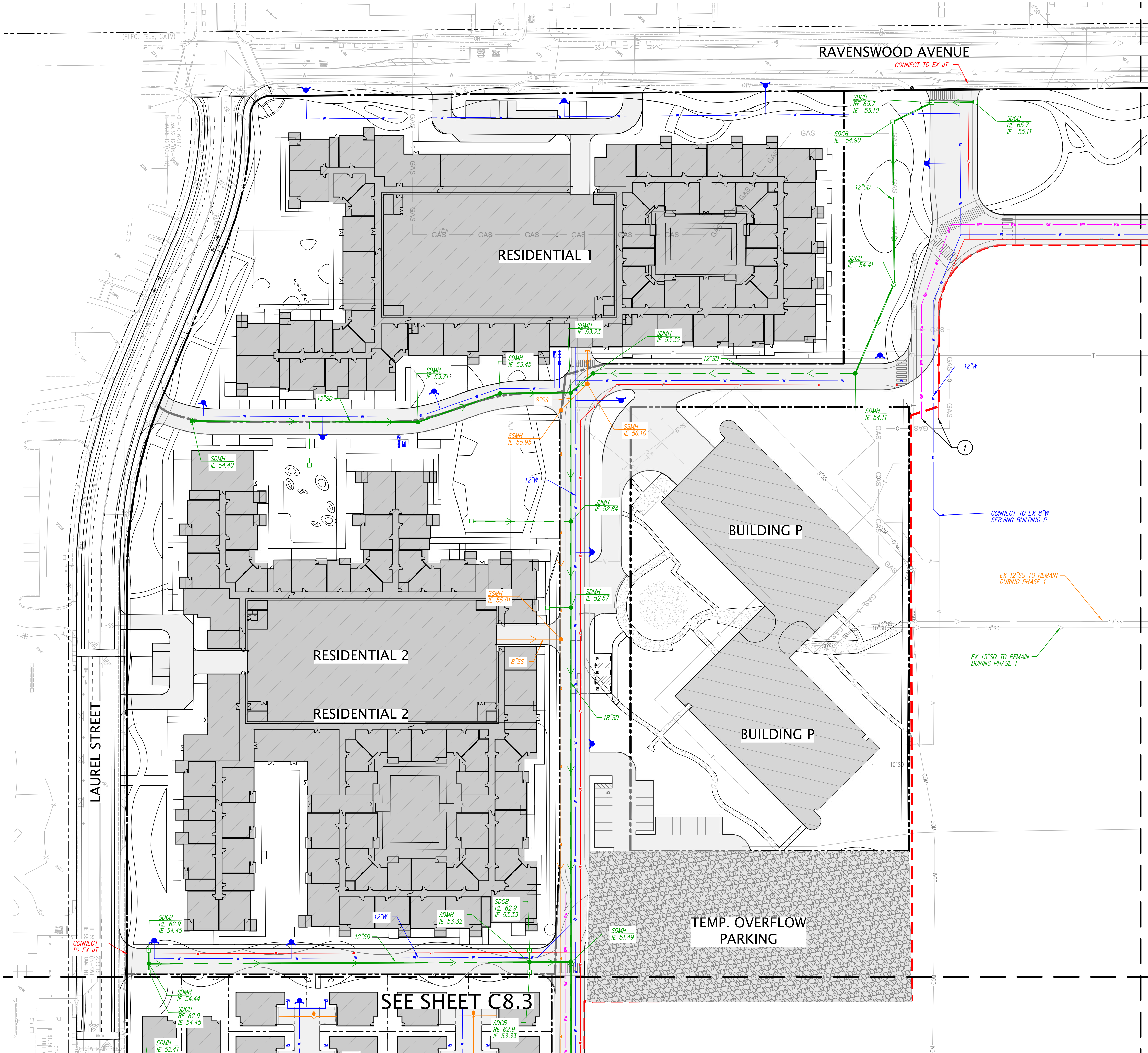
### LEGEND

PROPOSED	EXISTING	DESCRIPTION
		BUILDING LINE
		CENTER LINE
		CONCRETE CURB & GUTTER
		CONTOUR LINE
		DRIVEWAY
		EDGE OF PAVEMENT
		ELECTRIC LINE
		FENCE LINE
		FIRE SERVICE & VALVE
		FIBER OPTICS LINE
		GAS LINE-VALVE & METER
		GUARD RAIL
		LOT LINE
		MONUMENT/MONUMENT LINE
		OVERHEAD POWER LINE
		JOINT TRENCH LINE
		PROPERTY LINE
		PARCEL LINE
		RECYCLED WATER LINE & VALVE
		SANITARY SEWER-MANHOLE & CLEANOUT
		SIDEWALK
		STORM DRAIN-MANHOLE & CATCH BASIN
		WATER LINE & VALVE
		BACKFLOW PREVENTION DEVICE
		ELECTROLINER
		FIRE HYDRANT

### NOTES

- STORM DRAIN MINIMUM SLOPE: 0.003
- SANITARY SEWER MINIMUM SLOPE: 0.004
- ALL STORM DRAIN LINES ON-SITE ARE PRIVATE (PSD).
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RAVENSWOOD AVENUE

LAUREL STREET

RESIDENTIAL 1

RESIDENTIAL 2

RESIDENTIAL 2

BUILDING P

BUILDING P

TEMP. OVERFLOW PARKING

SEE SHEET C8.3

SEE SHEET C8.2

LEGEND

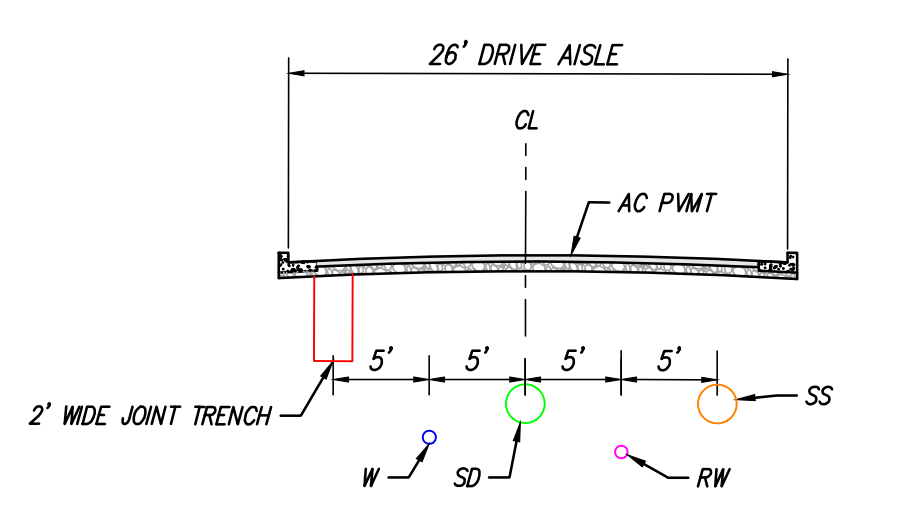
PROPOSED	EXISTING	
		BUILDING LINE
		CENTER LINE
		CONCRETE CURB & GUTTER
		CONTOUR LINE
		DRIVEWAY
		EDGE OF PAVEMENT
		ELECTRIC LINE
		FENCE LINE
		FIRE SERVICE & VALVE
		FIBER OPTICS LINE
		GAS LINE-VALVE & METER
		GUARD RAIL
		LOT LINE
		MONUMENT/MONUMENT LINE
		OVERHEAD POWER LINE
		JOINT TRENCH LINE
		PROPERTY LINE
		PARCEL LINE
		PHASE LINE
		RECYCLED WATER LINE & VALVE
		SANITARY SEWER-MANHOLE & CLEANOUT
		SIDEWALK
		STORM DRAIN-MANHOLE & CATCH BASIN
		WATER LINE & VALVE
		BACKFLOW PREVENTION DEVICE
		ELECTROLINER
		FIRE HYDRANT
		WATER METER
		TEMPORARY GRAVEL CLASS IIAB OVERFLOW PARKING

KEYNOTES

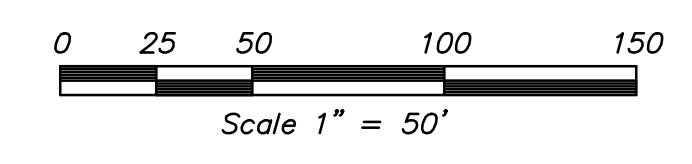
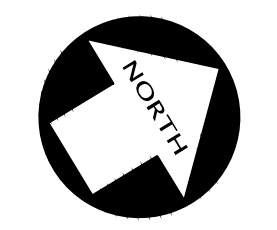
- ① STUB FOR FUTURE UTILITY (TYP)

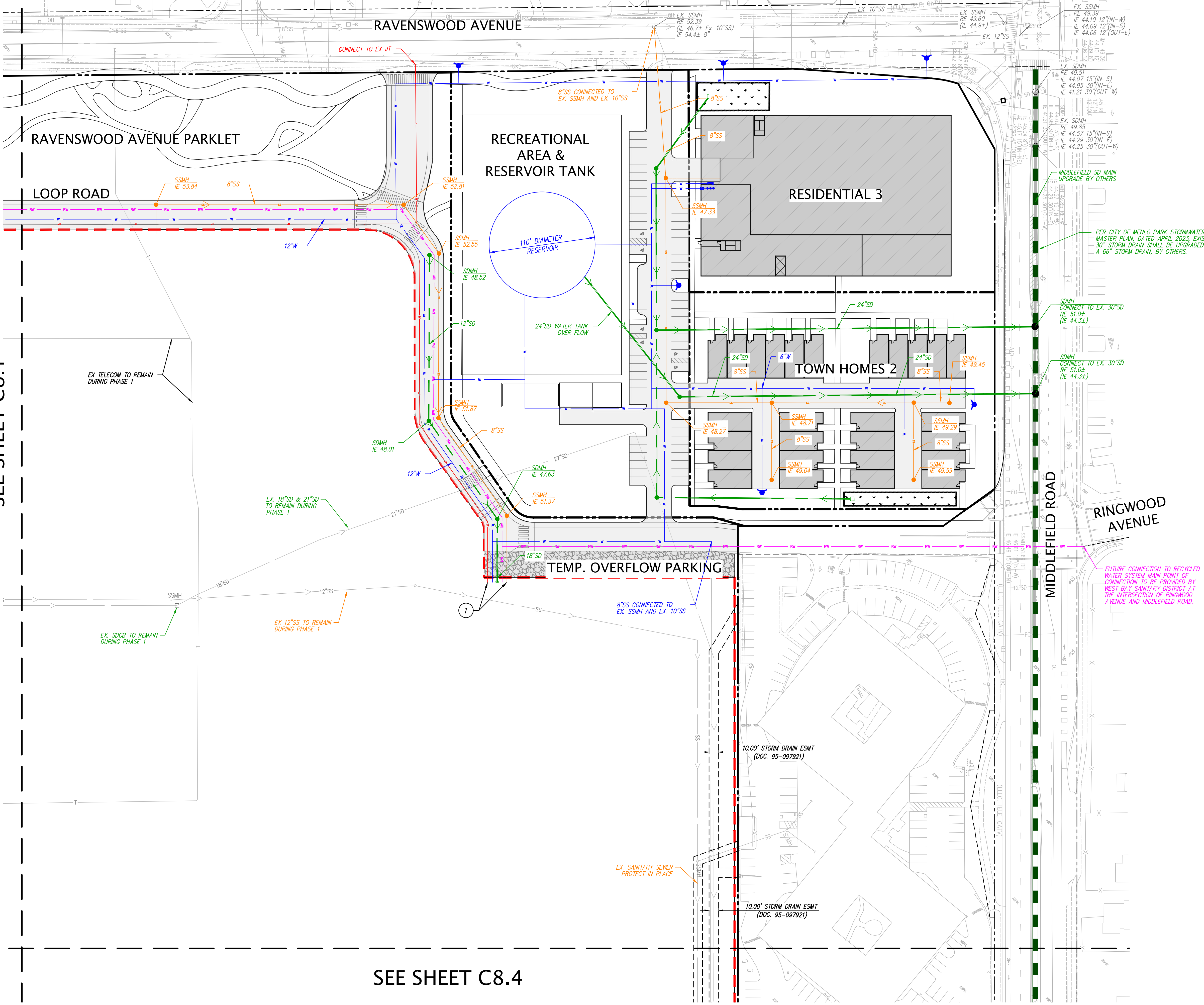
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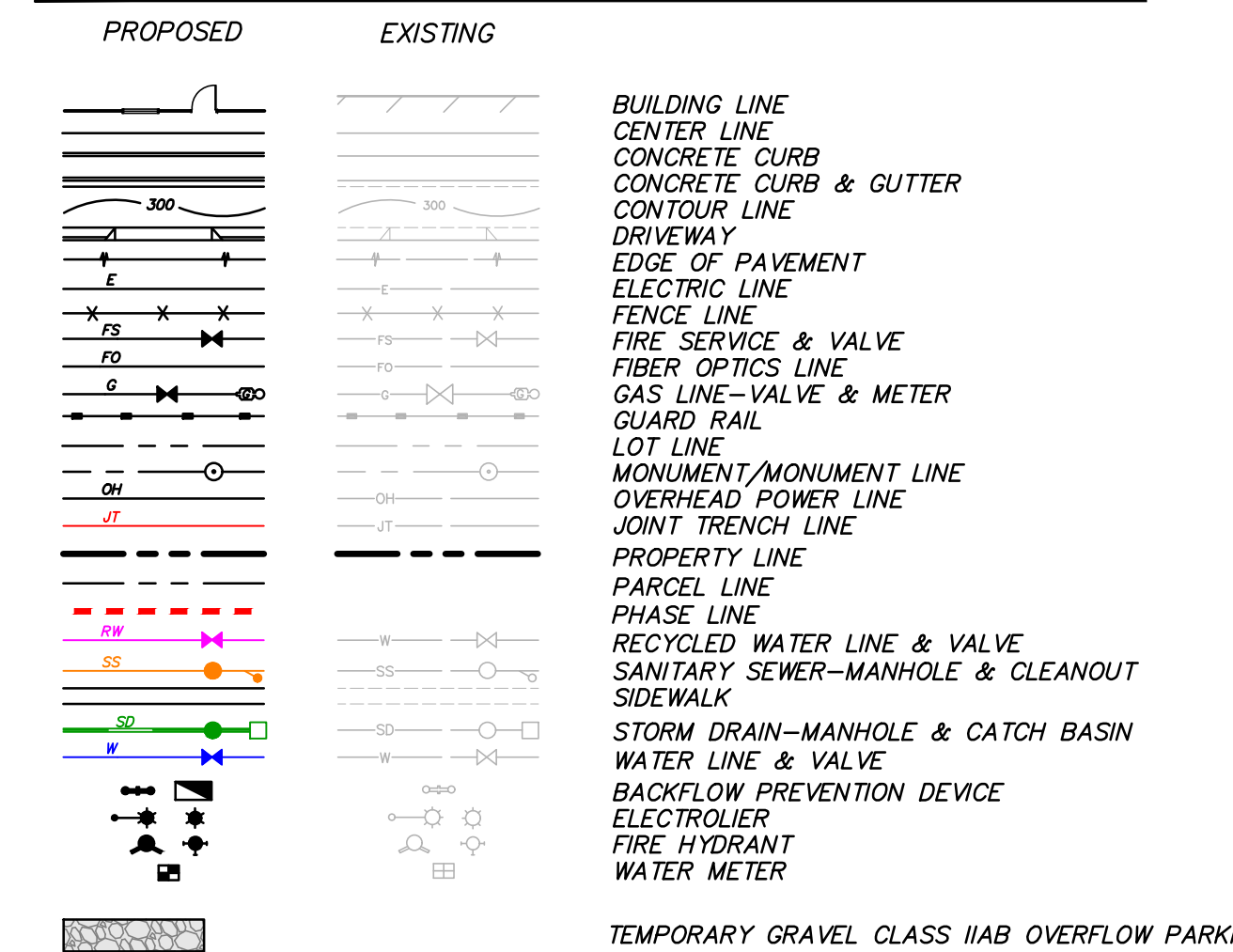


TYPICAL UTILITY CORRIDOR  
NOT TO SCALE





### LEGEND

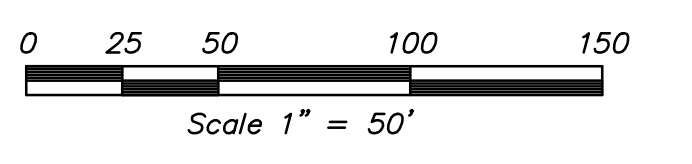
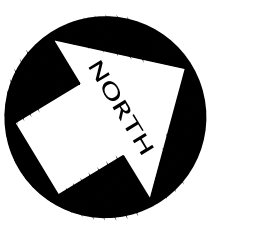
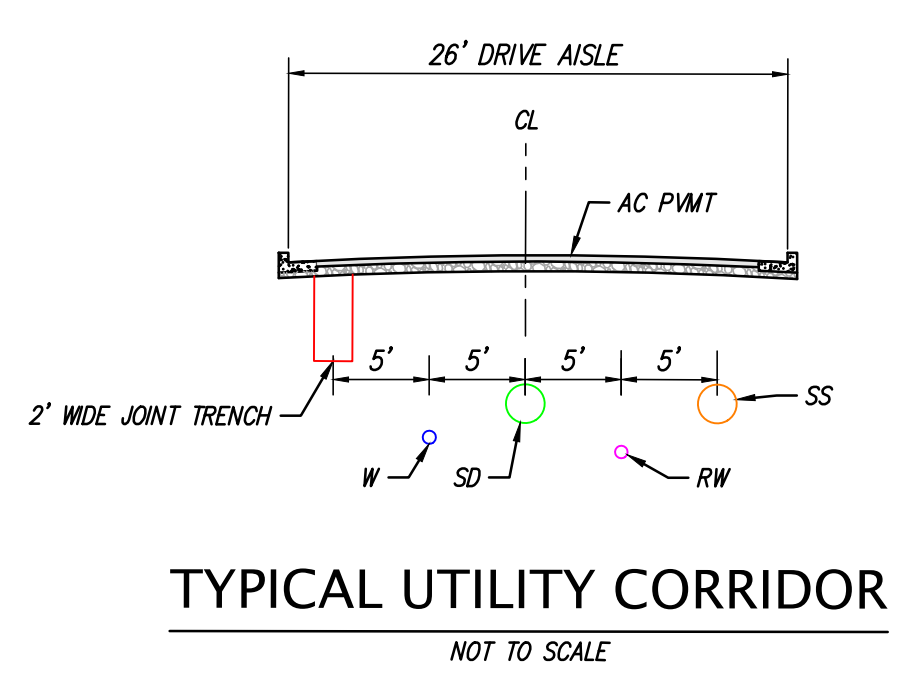


### KEYNOTES

1 STUB FOR FUTURE UTILITY (TYP)

### NOTES

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LEGEND

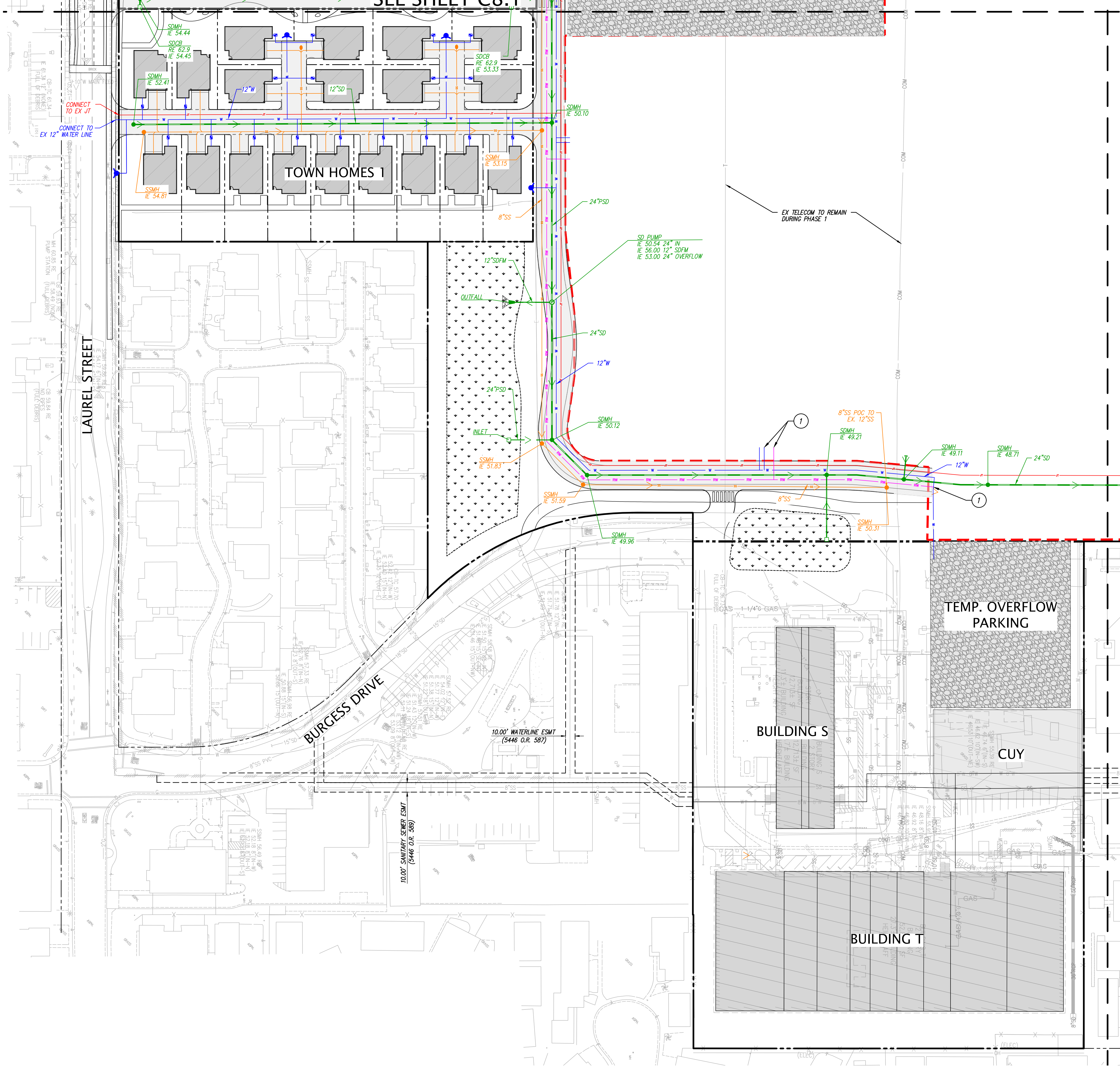
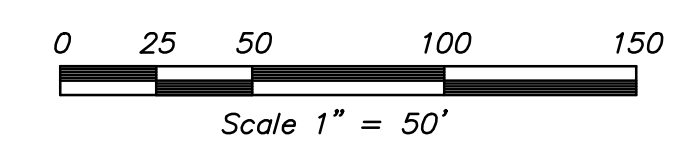
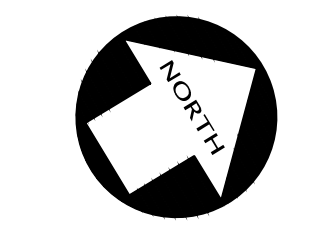
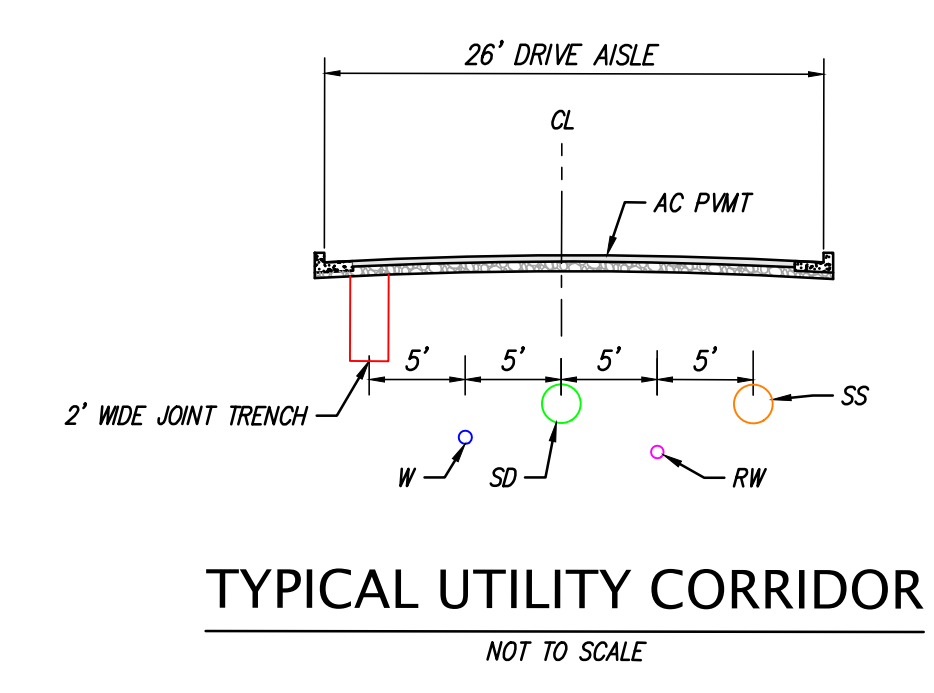
PROPOSED	EXISTING	
		BUILDING LINE
		CENTER LINE
		CONCRETE CURB & GUTTER
		CONTOUR LINE
		DRIVEWAY
		EDGE OF PAVEMENT
		ELECTRIC LINE
		FENCE LINE
		FIRE SERVICE & VALVE
		FIBER OPTICS LINE
		GAS LINE-VALVE & METER
		GUARD RAIL
		LOT LINE
		MONUMENT/MONUMENT LINE
		OVERHEAD POWER LINE
		JOINT TRENCH LINE
		PROPERTY LINE
		PARCEL LINE
		PHASE LINE
		RECYCLED WATER LINE & VALVE
		SANITARY SEWER-MANHOLE & CLEANOUT
		SIDEWALK
		STORM DRAIN-MANHOLE & CATCH BASIN
		WATER LINE & VALVE
		BACKFLOW PREVENTION DEVICE
		ELECTROLINER
		FIRE HYDRANT
		WATER METER
		TEMPORARY GRAVEL CLASS IIAB OVERFLOW PARKING

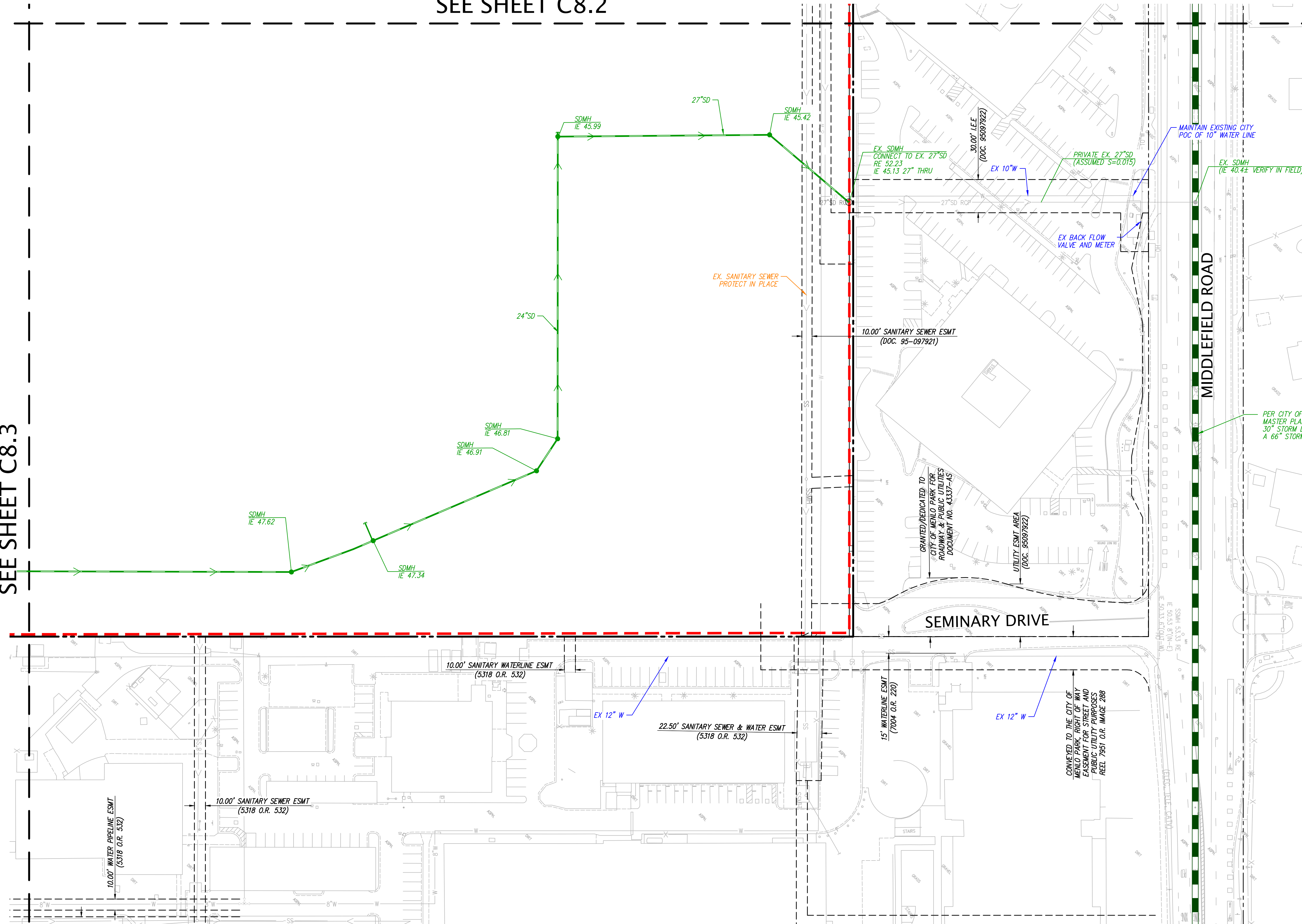
KEYNOTES

- ① STUB FOR FUTURE UTILITY (TYP)

NOTES

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LEGEND

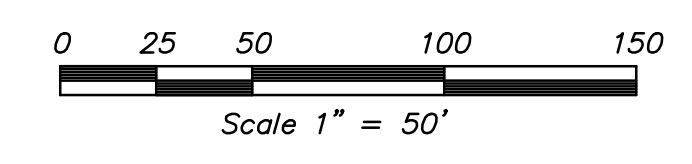
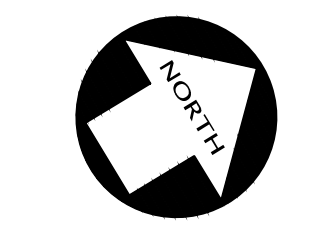
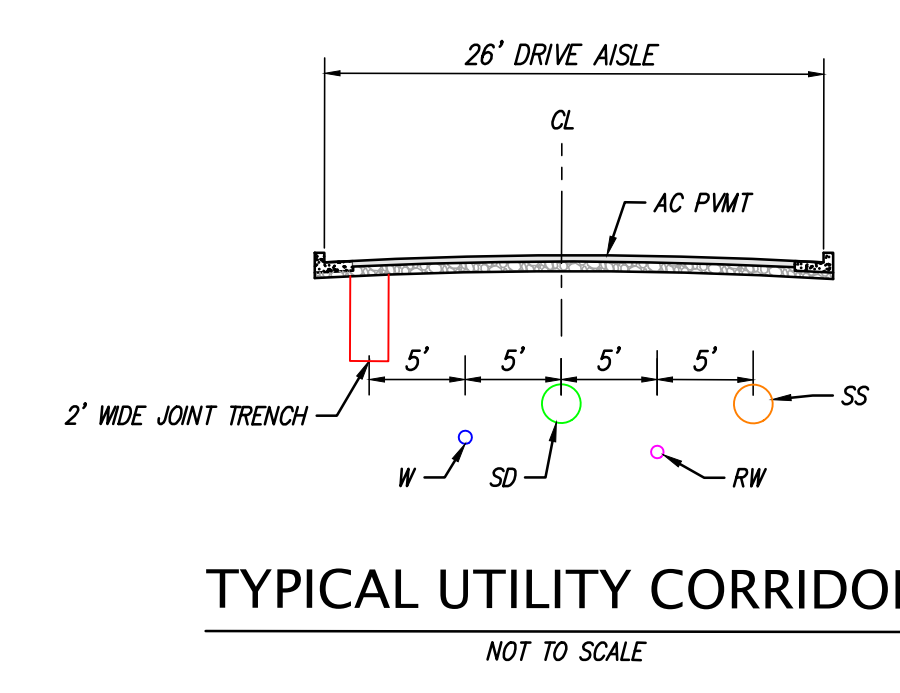
PROPOSED	EXISTING	
		BUILDING LINE
		CENTER LINE
		CONCRETE CURB & GUTTER
		CONTOUR LINE
		DRIVEWAY
		EDGE OF PAVEMENT
		ELECTRIC LINE
		FENCE LINE
		FIRE SERVICE & VALVE
		FIBER OPTICS LINE
		GAS LINE-VALVE & METER
		GUARD RAIL
		LOT LINE
		MONUMENT/MONUMENT LINE
		OVERHEAD POWER LINE
		JOINT TRENCH LINE
		PROPERTY LINE
		PARCEL LINE
		PHASE LINE
		RECYCLED WATER LINE & VALVE
		SANITARY SEWER-MANHOLE & CLEANOUT
		SIDEWALK
		STORM DRAIN-MANHOLE & CATCH BASIN
		WATER LINE & VALVE
		BACKFLOW PREVENTION DEVICE
		ELECTROLINER
		FIRE HYDRANT
		WATER METER
		TEMPORARY GRAVEL CLASS IIAB OVERFLOW PARKING

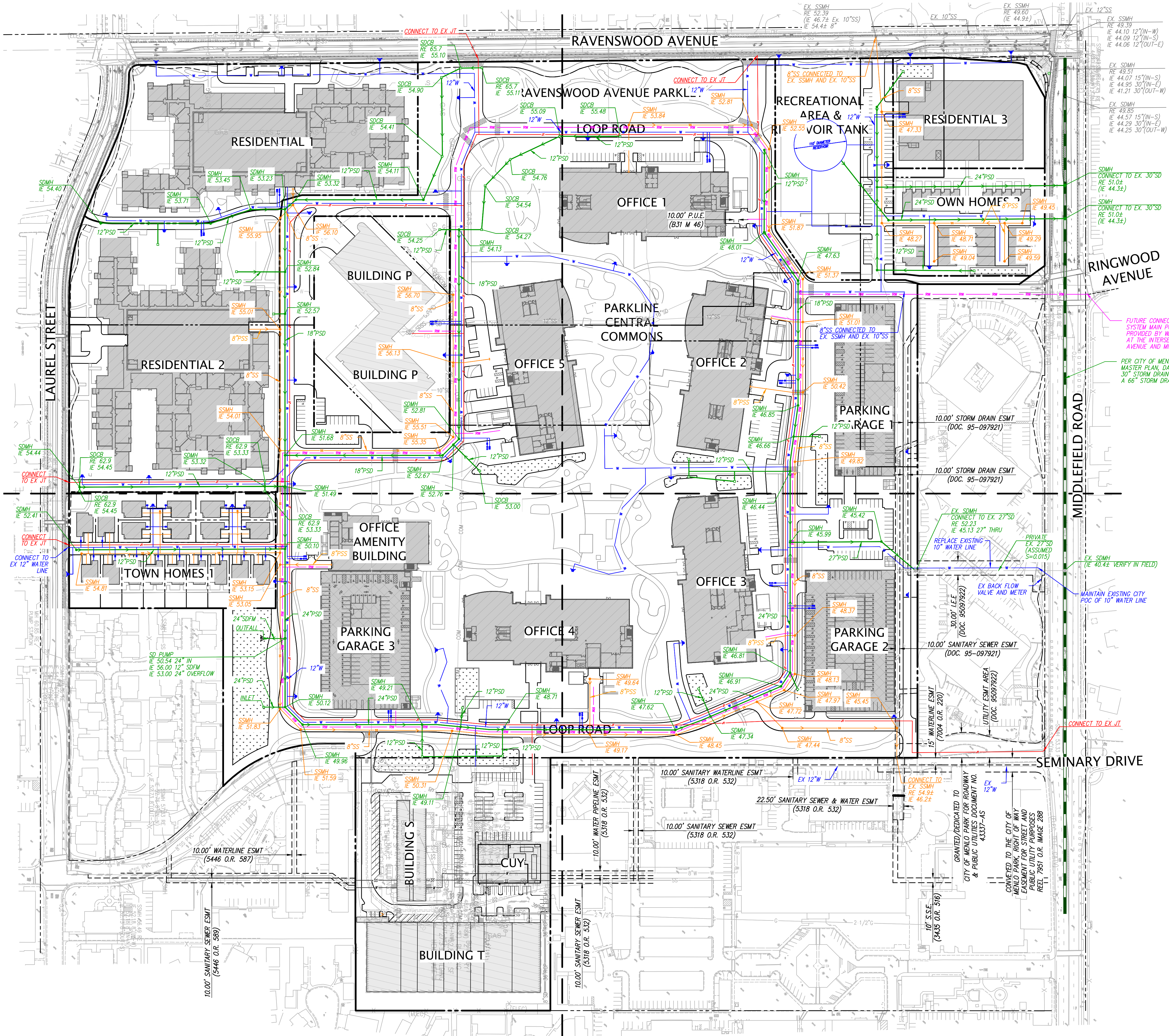
KEYNOTES

- 1 STUB FOR FUTURE UTILITY (TYP)

NOTES

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### LEGEND

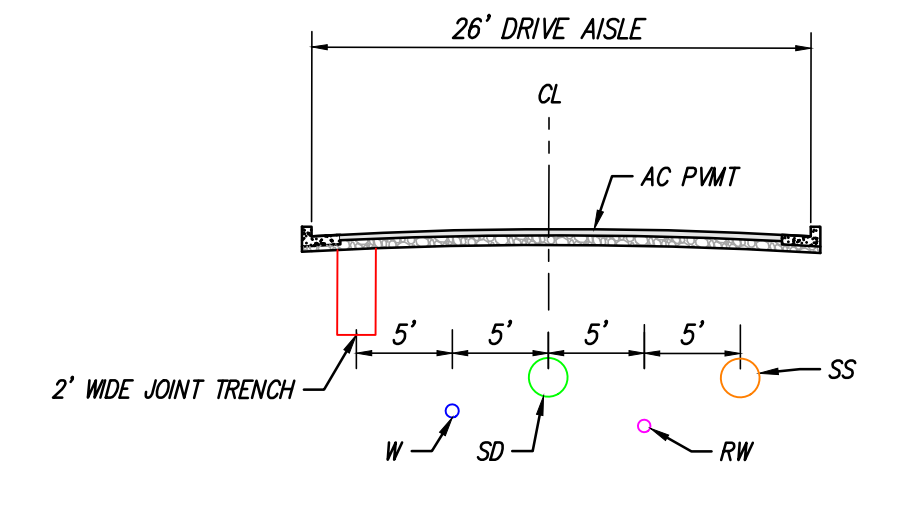
PROPOSED	EXISTING	DESCRIPTION
		BUILDING LINE
		CENTER LINE
		CONCRETE CURB & GUTTER
		CONTOUR LINE
		DRIVEWAY
		EDGE OF PAVEMENT
		ELECTRIC LINE
		FENCE LINE
		FIRE SERVICE & VALVE
		FIBER OPTICS LINE
		GAS LINE-VALVE & METER
		GUARD RAIL
		LOT LINE
		MONUMENT/MONUMENT LINE
		OVERHEAD POWER LINE
		JOINT TRENCH LINE
		PROPERTY LINE
		PRIVATE RECYCLED WATER LINE & VALVE
		PUBLIC RECYCLED WATER LINE & VALVE
		PRIVATE SANITARY SEWER-MANHOLE & CLEANOUT
		PUBLIC SANITARY SEWER-MANHOLE & CLEANOUT
		SIDEWALK
		PRIVATE STORM DRAIN-MANHOLE & CATCH BASIN
		PUBLIC STORM DRAIN-MANHOLE & CATCH BASIN
		PRIVATE WATER LINE & VALVE
		PUBLIC WATER LINE & VALVE
		BACKFLOW PREVENTION DEVICE
		ELECTROLINER
		FIRE HYDRANT
		PROPOSED PUBLIC SERVICE EASEMENT (P.S.E.)

### NOTES

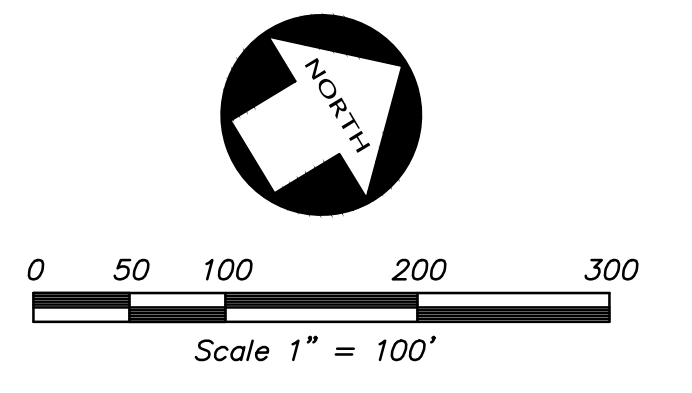
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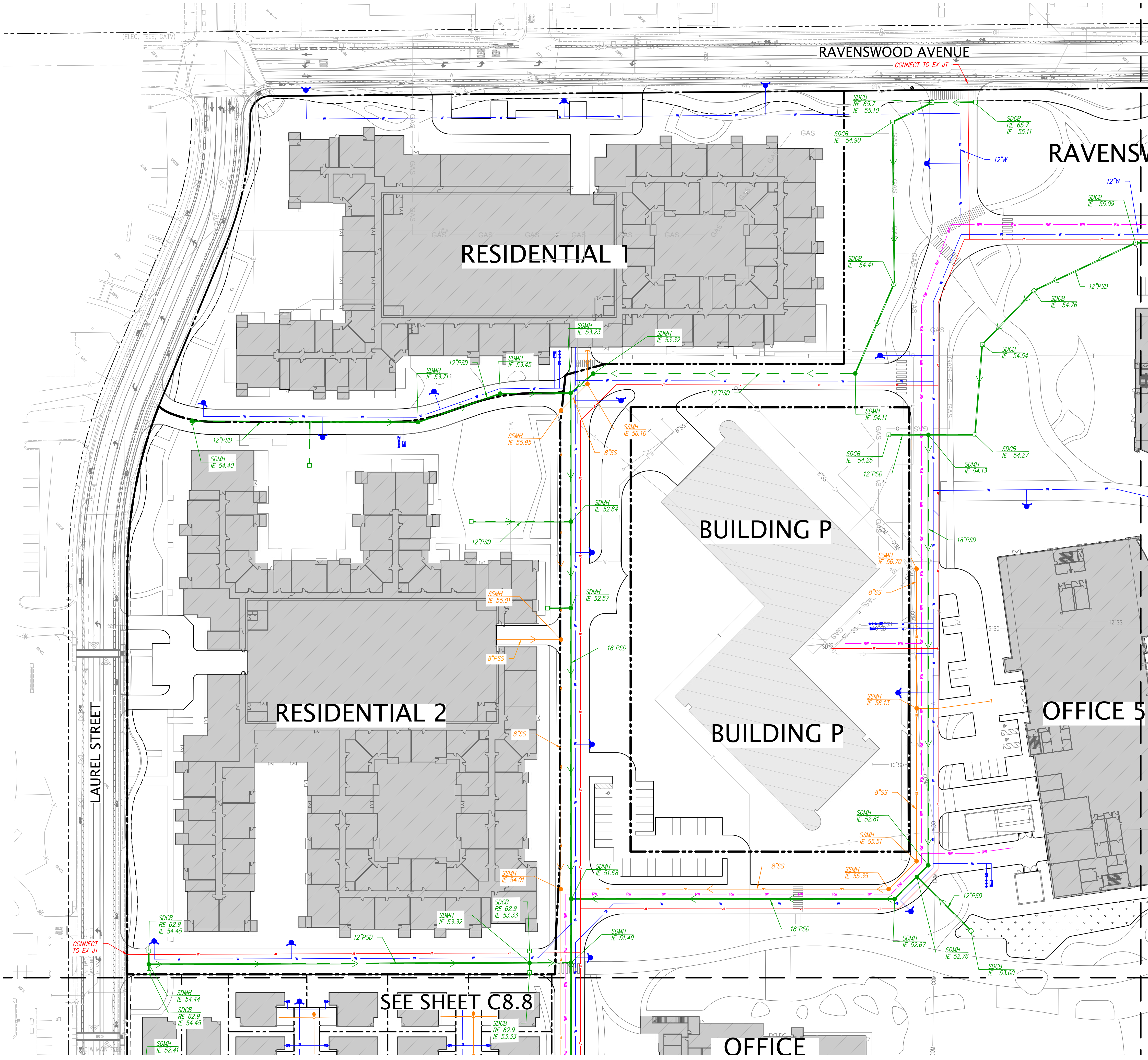
FUTURE CONNECTION TO RECYCLED WATER SYSTEM MAIN POINT OF CONNECTION TO BE PROVIDED BY WEST BAY SANITARY DISTRICT AT THE INTERSECTION OF RINGWOOD AVENUE AND MIDDLEFIELD ROAD.

PER CITY OF MENLO PARK STORMWATER MASTER PLAN, DATED APRIL 2023, EXISTING 30" STORM DRAIN SHALL BE UPGRADED TO A 66" STORM DRAIN, BY OTHERS.



TYPICAL UTILITY CORRIDOR  
NOT TO SCALE



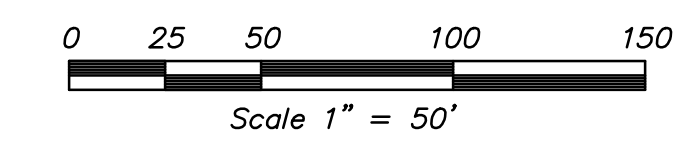
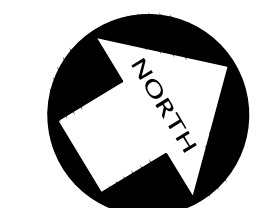
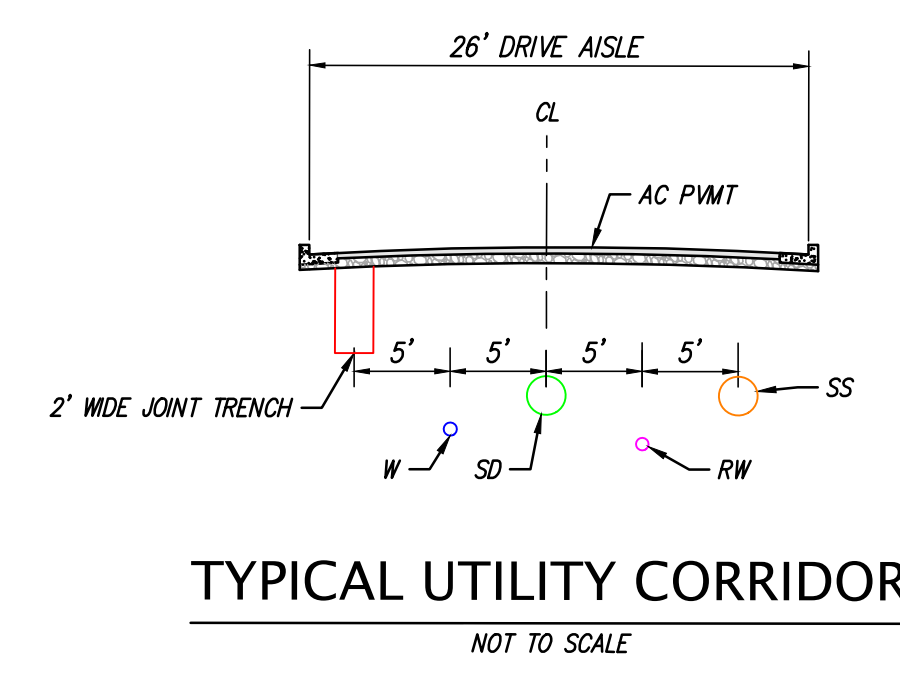


**LEGEND**

PROPOSED	EXISTING	
		BUILDING LINE
		CENTER LINE
		CONCRETE CURB & GUTTER
		CONTOUR LINE
		DRIVEWAY
		EDGE OF PAVEMENT
		ELECTRIC LINE
		FENCE LINE
		FIRE SERVICE & VALVE
		FIBER OPTICS LINE
		GAS LINE-VALVE & METER
		GUARD RAIL
		LOT LINE
		MONUMENT/MONUMENT LINE
		OVERHEAD POWER LINE
		JOINT TRENCH LINE
		PROPERTY LINE
		PARCEL LINE
		RECYCLED WATER LINE & VALVE (8" TYP)
		SANITARY SEWER-MANHOLE & CLEANOUT
		SIDEWALK
		STORM DRAIN-MANHOLE & CATCH BASIN
		WATER LINE & VALVE
		BACKFLOW PREVENTION DEVICE
		ELECTROLINER
		FIRE HYDRANT
		WATER METER

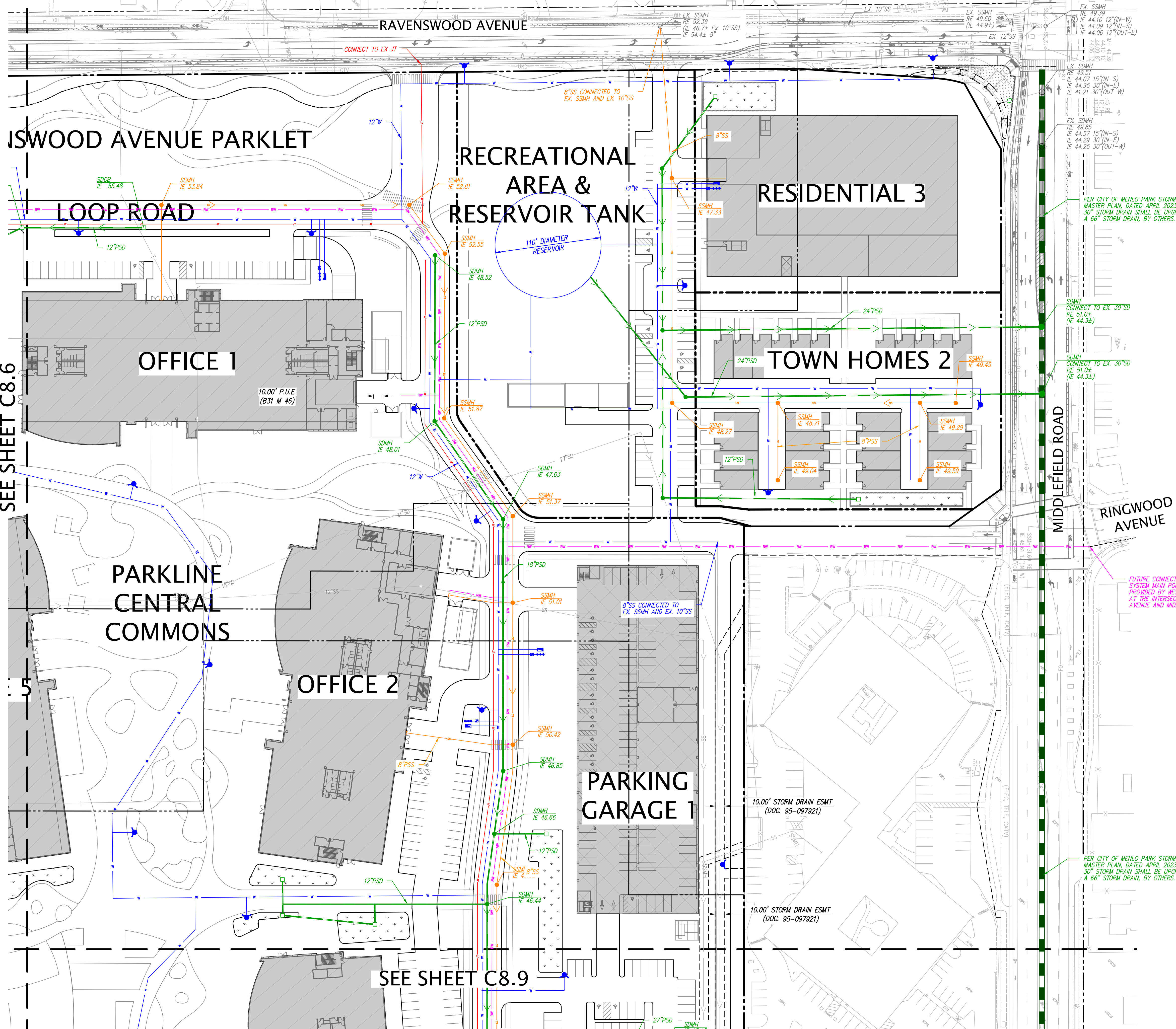
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SEE SHEET C8.7

SEE SHEET C8.8

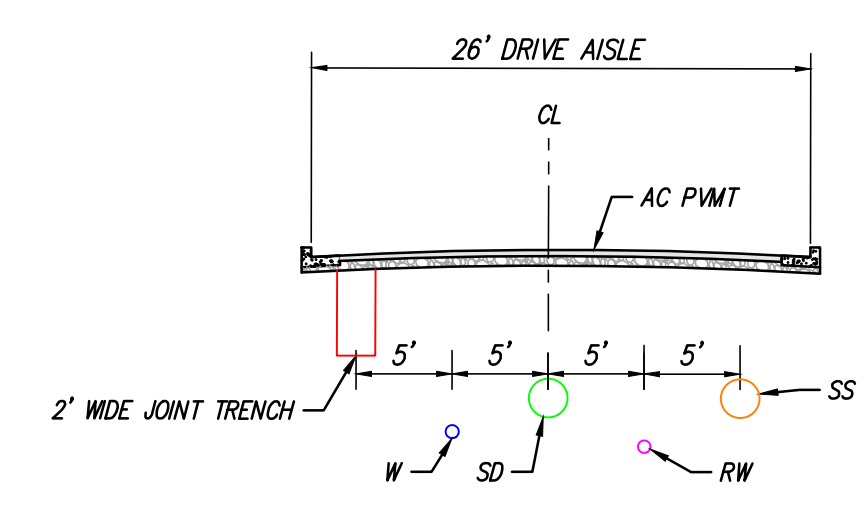


LEGEND

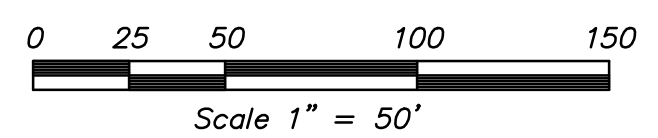
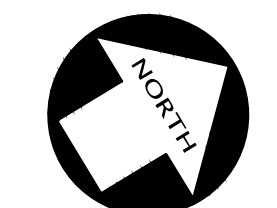
PROPOSED	EXISTING	
		BUILDING LINE
		CENTER LINE
		CONCRETE CURB & GUTTER
		CONTOUR LINE
		DRIVEWAY
		EDGE OF PAVEMENT
		ELECTRIC LINE
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		FIRE SERVICE & VALVE
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		GAS LINE-VALVE & METER
		GUARD RAIL
		LOT LINE
		MONUMENT/MONUMENT LINE
		JOINT TRENCH LINE
		PROPERTY LINE
		PARCEL LINE
		RECYCLED WATER LINE & VALVE (8" TYP)
		SANITARY SEWER-MANHOLE & CLEANOUT
		SIDEWALK
		STORM DRAIN-MANHOLE & CATCH BASIN
		WATER LINE & VALVE
		BACKFLOW PREVENTION DEVICE
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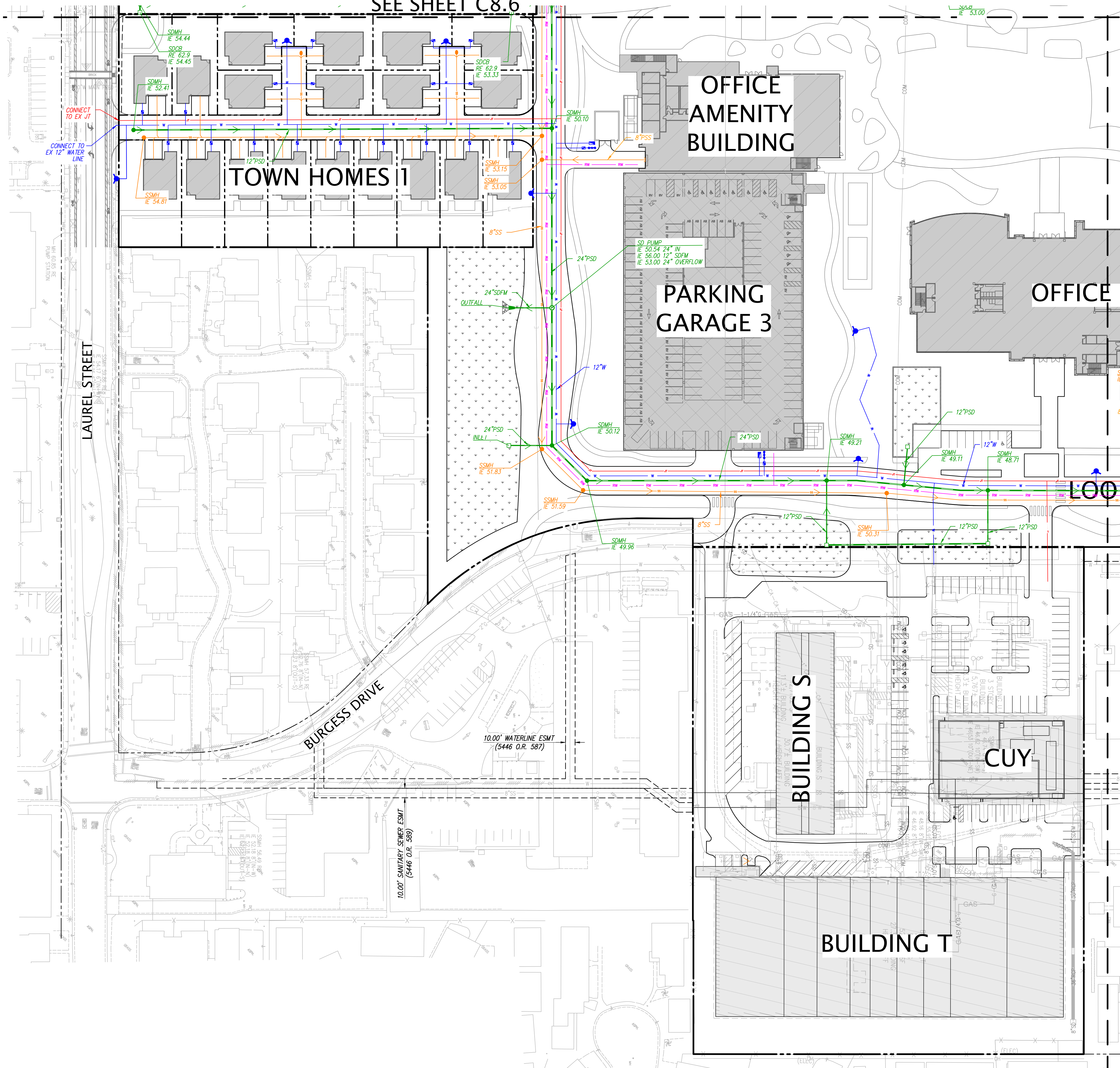


TYPICAL UTILITY CORRIDOR  
NOT TO SCALE





SEE SHEET C8.6

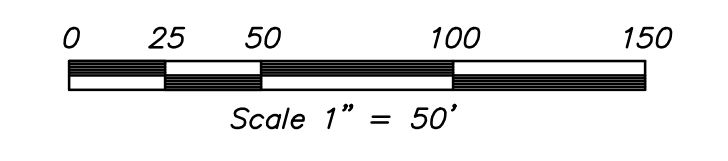
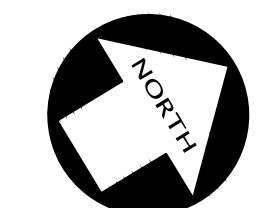
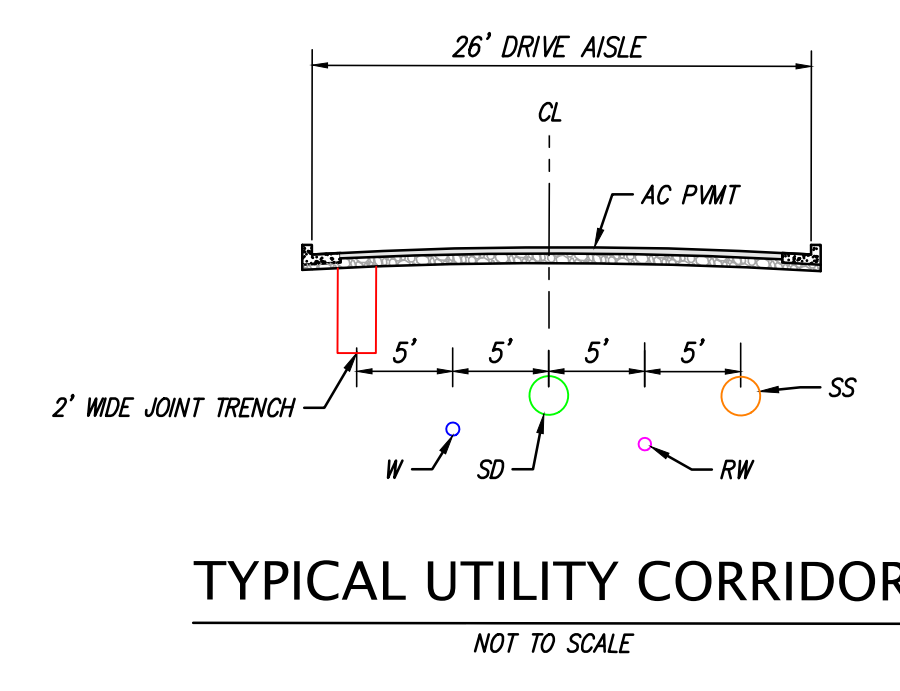


LEGEND

PROPOSED	EXISTING	
		BUILDING LINE
		CONCRETE CURB & GUTTER
		CONTOUR LINE
		DRIVEWAY
		EDGE OF PAVEMENT
		ELECTRIC LINE
		FENCE LINE
		FIRE SERVICE & VALVE
		FIBER OPTICS LINE
		GAS LINE-VALVE & METER
		GUARD RAIL
		LOT LINE
		MONUMENT/MONUMENT LINE
		OVERHEAD POWER LINE
		JOINT TRENCH LINE
		PROPERTY LINE
		PARCEL LINE
		RECYCLED WATER LINE & VALVE (8" TYP)
		SANITARY SEWER-MANHOLE & CLEANOUT
		SIDEWALK
		STORM DRAIN-MANHOLE & CATCH BASIN
		WATER LINE & VALVE
		BACKFLOW PREVENTION DEVICE
		ELECTROLINER
		FIRE HYDRANT
		WATER METER

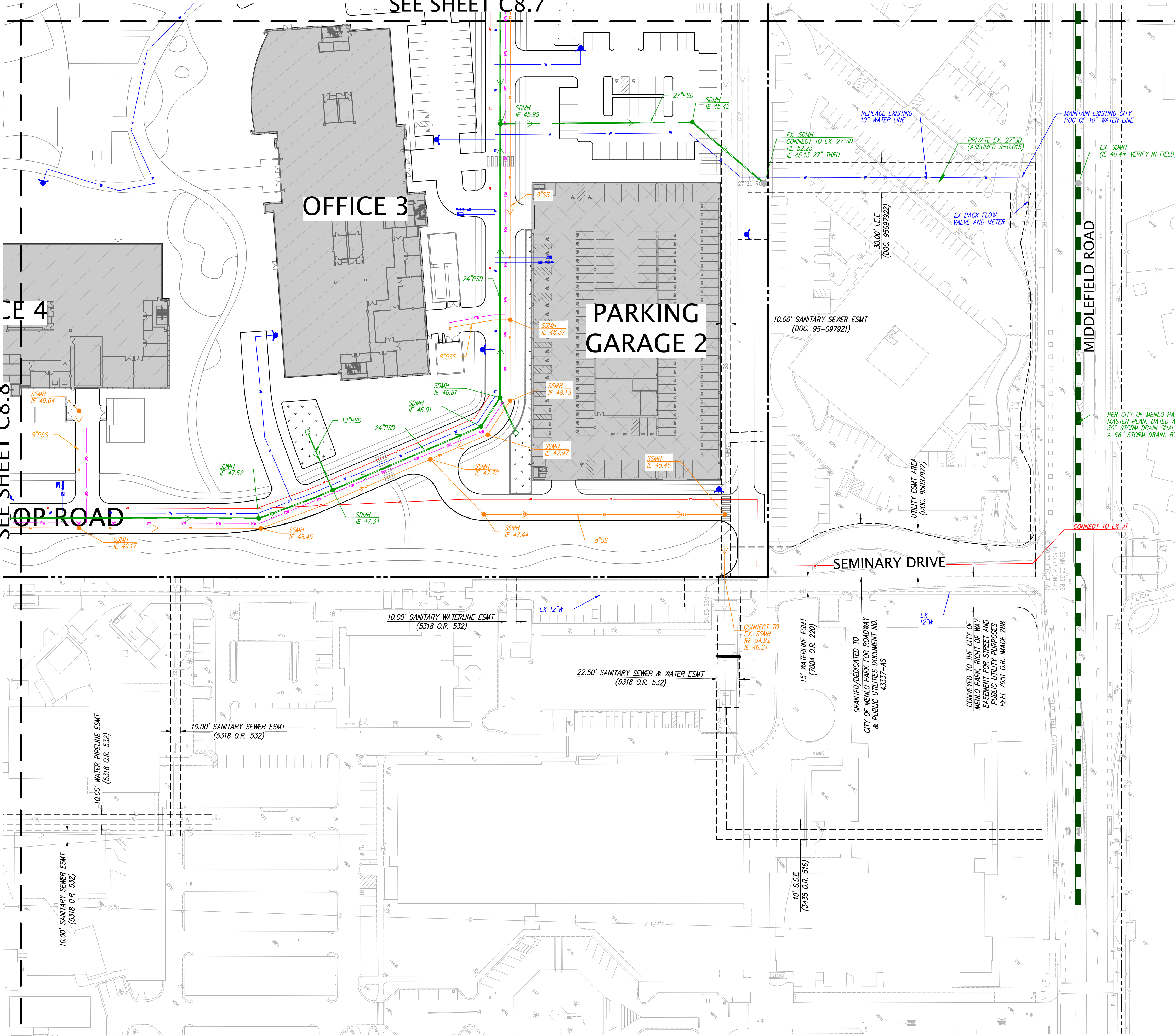
NOTES

- STORM DRAIN MINIMUM SLOPE: 0.003
- SANITARY SEWER MINIMUM SLOPE: 0.004
- ALL STORM DRAIN LINES ON-SITE ARE PRIVATE (PSD).
- ALL OTHER UTILITIES WITHIN THE PUBLIC SERVICE EASEMENT (P.S.E.) ARE PUBLIC.
- ALL OTHER UTILITIES NOT IN PUBLIC SERVICE EASEMENT (P.S.E.) ARE PRIVATE.



SEE SHEET C8.7

SEE SHEET C8.8

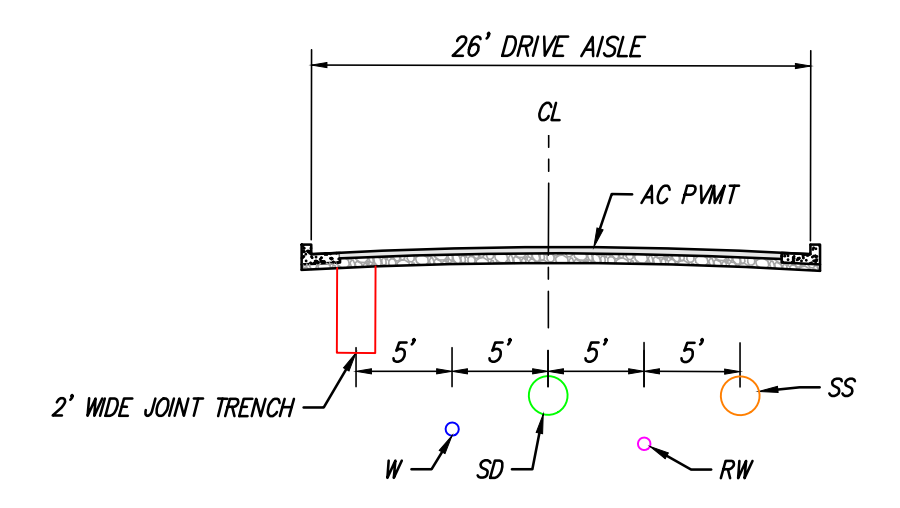


LEGEND

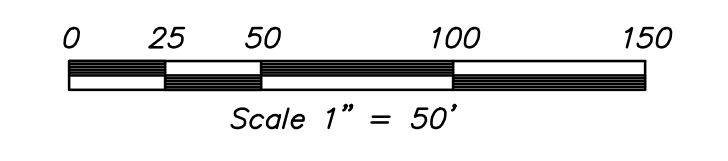
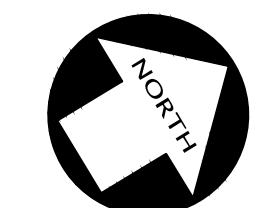
PROPOSED	EXISTING	
		BUILDING LINE
		CENTER LINE
		CONCRETE CURB & GUTTER
		CONTOUR LINE
		DRIVEWAY
		EDGE OF PAVEMENT
		ELECTRIC LINE
		FENCE LINE
		FIRE SERVICE & VALVE
		FIBER OPTICS LINE
		GAS LINE-VALVE & METER
		GUARD RAIL
		LOT LINE
		MONUMENT/MONUMENT LINE
		OVERHEAD POWER LINE
		JOINT TRENCH LINE
		PROPERTY LINE
		PARCEL LINE
		RECYCLED WATER LINE & VALVE (8" TYP)
		SANITARY SEWER-MANHOLE & CLEANOUT
		SIDEWALK
		STORM DRAIN-MANHOLE & CATCH BASIN
		WATER LINE & VALVE
		BACKFLOW PREVENTION DEVICE
		ELECTROLINER
		FIRE HYDRANT
		WATER METER

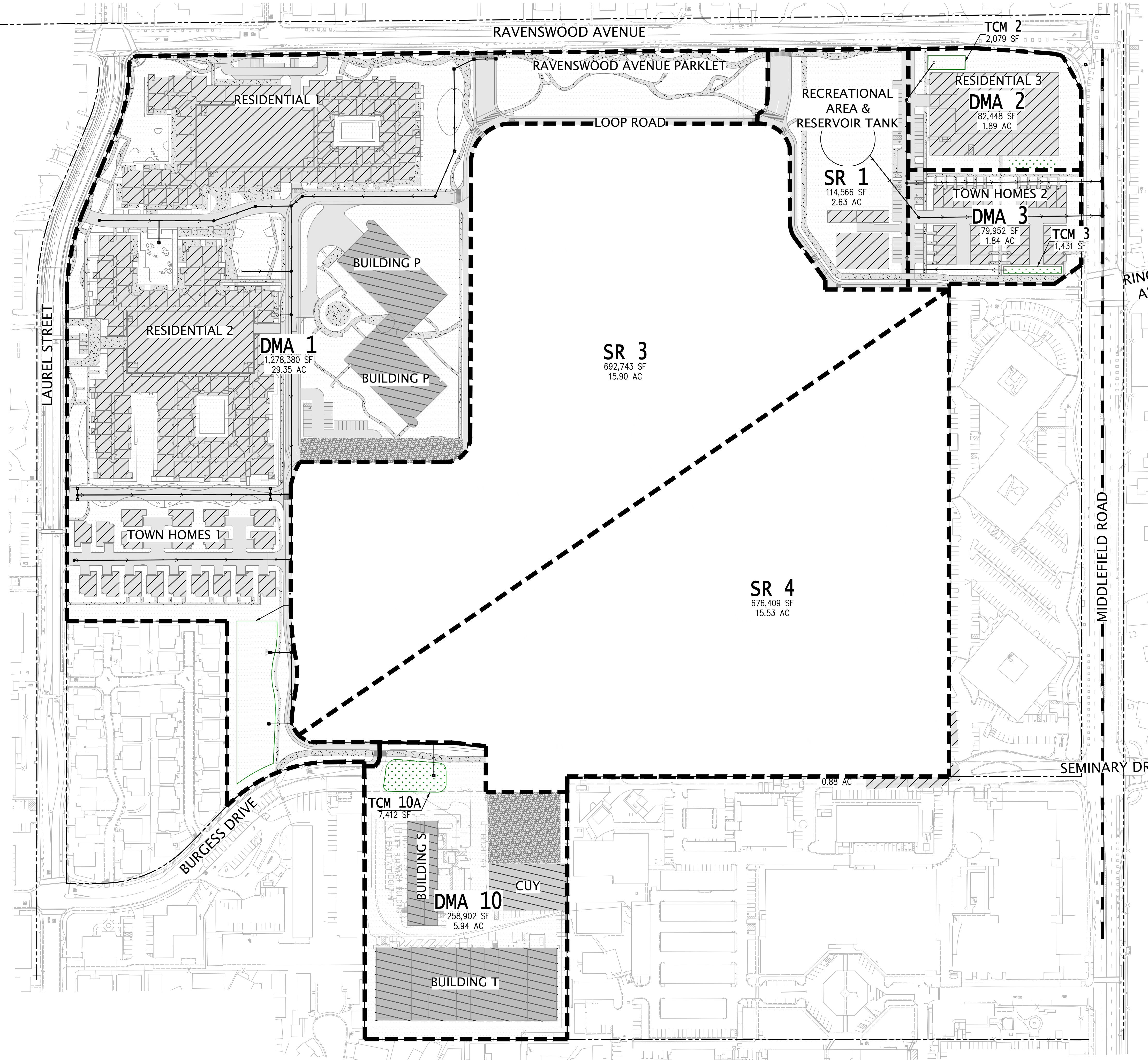
NOTES

- STORM DRAIN MINIMUM SLOPE: 0.003
- SANITARY SEWER MINIMUM SLOPE: 0.004
- ALL STORM DRAIN LINES ON-SITE ARE PRIVATE (PSD).
- ALL OTHER UTILITIES WITHIN THE PUBLIC SERVICE EASEMENT (P.S.E.) ARE PUBLIC.
- ALL OTHER UTILITIES NOT IN PUBLIC SERVICE EASEMENT (P.S.E.) ARE PRIVATE.



TYPICAL UTILITY CORRIDOR  
NOT TO SCALE



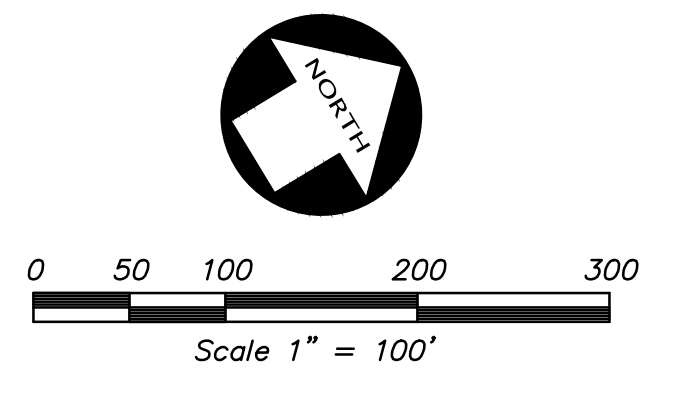


**LEGEND**

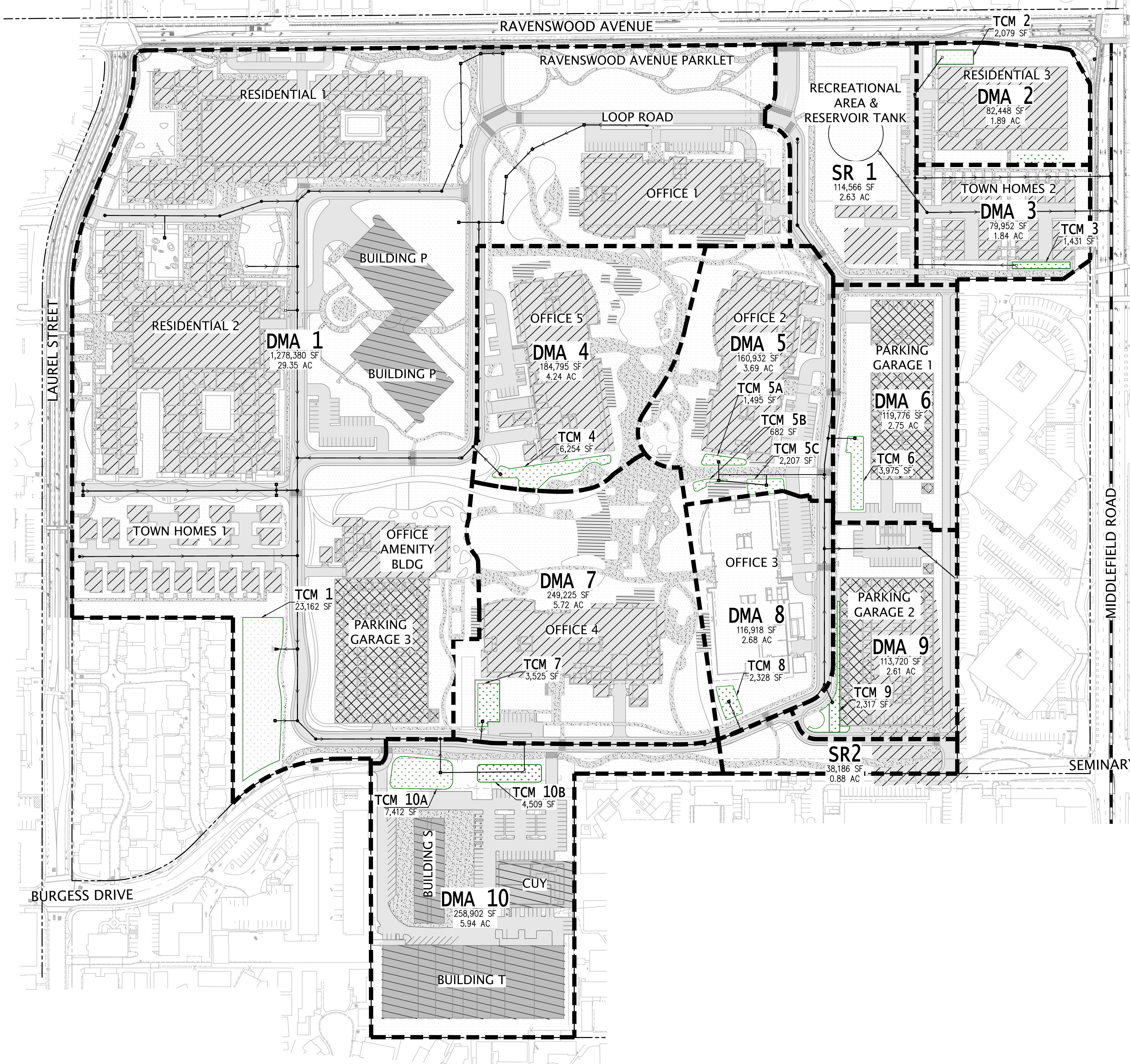
- IMPERVIOUS ROOF AREA - PROPOSED BUILDING
- IMPERVIOUS ROOF AREA - PROPOSED GARAGE
- IMPERVIOUS ROOF AREA - EXISTING BUILDING TO REMAIN
- IMPERVIOUS AC PAVEMENT AREA
- IMPERVIOUS PCC PAVEMENT AREA
- IMPERVIOUS WOOD DECK
- PERVIOUS AREA
- BIORETENTION TREATMENT AREA
- TEMPORARY GRAVEL CLASS II/AB OVERFLOW PARKING
- TRIBUTARY AREA LIMITS
- DRAINAGE MANAGEMENT AREA
- TREATMENT CONTROL MEASURE
- SELF RETAINING AREA

	PERVIOUS AREA	AC PAVEMENT AREA	PCC PAVEMENT AREA	ROOF AREA	TOTAL AREA
EXISTING	±784,300 SF	±1,375,000	-	±638,500 SF	±2,797,800 SF
PHASE 1	±2,014,900 SF	±187,400 SF	±168,400 SF	±427,100 SF	±2,797,800 SF

NOTE: TOTAL AREAS ROUNDED TO THE NEAREST HUNDRED



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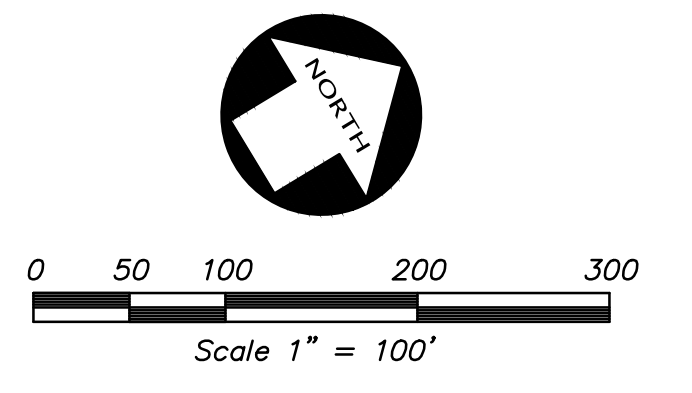


**LEGEND**

- IMPERVIOUS ROOF AREA - PROPOSED BUILDING
- IMPERVIOUS ROOF AREA - PROPOSED GARAGE
- IMPERVIOUS ROOF AREA - EXISTING BUILDING TO REMAIN
- IMPERVIOUS AC PAVEMENT AREA
- IMPERVIOUS PCC PAVEMENT AREA
- IMPERVIOUS WOOD DECK
- PERVIOUS AREA
- BIORETENTION TREATMENT AREA
- EQUALIZING PIPE BETWEEN PLANTERS
- TRIBUTARY AREA LIMITS
- DRAINAGE MANAGEMENT AREA
- TREATMENT CONTROL MEASURE
- SELF RETAINING AREA

	PERVIOUS AREA	AC PAVEMENT AREA	PCC PAVEMENT AREA	ROOF AREA	DECK AREA	TOTAL AREA
EXISTING	±784,300 SF	±1,375,000	-	±638,500 SF	-	±2,797,800 SF
FULL BUILDOUT	±1,032,900 SF	±478,500 SF	±311,600 SF	±950,000 SF	±24,800 SF	±2,797,800 SF

NOTES: TOTAL AREAS ROUNDED TO THE NEAREST HUNDRED  
SEE STORMWATER MANAGEMENT PLAN



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LEGEND

- BIORETENTION TREATMENT AREA
- NEW AC PAVEMENT
- NEW PCC PAVEMENT
- EXISTING RETAINED AC PAVEMENT TREATED IN LIEU OF DMA 12, 13 & 14
- EXISTING RETAINED AC PAVEMENT (DOES NOT NEED TO BE TREATED)
- TRIBUTARY AREA LIMITS
- DMA DRAINAGE MANAGEMENT AREA
- TCM TREATMENT CONTROL MEASURE
- IL IN-LIEU
- OS OFF-SITE

	PERVIOUS AREA	AC PAVEMENT AREA	PCC PAVEMENT AREA	TOTAL AREA
EXISTING	±13,700 SF	±90,900 SF	±23,600 SF	±128,200 SF
PROPOSED	±22,900 SF	±90,700 SF	±14,600 SF	±128,200 SF

NOTE: TOTAL AREAS ROUNDED TO THE NEAREST HUNDRED

BIORETENTION SUMMARY TABLE

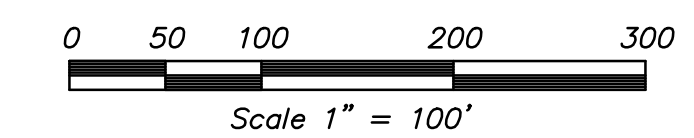
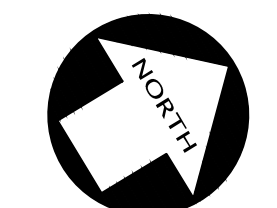
DISTURBED AREA	AREA (SQ. FT.)	IMPERVIOUS AREA (SQ. FT.)	PERVIOUS AREA (SQ. FT.)	EFFECTIVE IMPERVIOUS AREA (SQ. FT.)
DMA 11	26,992	13,729	13,263	15,055
TOTAL	26,992	13,729	13,263	15,055

IN-LIEU TREATMENT SUMMARY TABLES

DISTURBED AREA	NEW OR REPLACED IMPERVIOUS AREA (SQ. FT.)	IMPERVIOUS AREA (SQ. FT.)	PERVIOUS AREA (SQ. FT.)	EFFECTIVE IMPERVIOUS AREA (SQ. FT.)
DMA 12	6,787	1,924	4,863	2,410
DMA 13	4,399	2,411	1,988	2,610
DMA 14	5,736	2,920	2,816	3,202
TOTAL	16,922	7,255	9,667	8,222

IN-LIEU TREATMENT AREA	AREA (SQ. FT.)	IMPERVIOUS AREA (SQ. FT.)	PERVIOUS AREA (SQ. FT.)	EFFECTIVE IMPERVIOUS AREA (SQ. FT.)
IL 15	41,101	41,101	0	41,101
TOTAL	41,101	41,101	0	41,101

NOTE: DMAs 12, 13, & 14 ARE NOT BEING TREATED, BUT WILL BE TREATED IN-LIEU BY IL-15 AREA, ALONG WITH DMA 11, BY TREATMENT AREA TCM 11. AREA IL-15 IS GREATER THAN THE AREAS OF DMAs 12, 13, & 14 COMBINED.



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BIOTREATMENT SUMMARY TABLE ONSITE

Summary table with 9 columns: AREA, TCM, TREATMENT TYPE, TOTAL AREA (SQ. FT.), IMPERVIOUS AREA (SQ. FT.), PERVIOUS AREA (SQ. FT.), EFFECTIVE IMPERVIOUS AREA (EIA) (SQ. FT.), SIZING METHOD, TREATMENT AREA REQ. (SQ. FT.), TREATMENT AREA PROVIDED (SQ. FT.), PONDING DEPTH (IN.).

\* 4 % METHOD = (EFFECTIVE IMPERVIOUS AREA X 0.04) FLOW-VOLUME COMBO METHOD, SEE THIS SHEET FOR DETAILED WORKSHEETS

SELF RETAINING AREA

Table with 5 columns: AREA, TREATMENT TYPE, TOTAL AREA (SQ. FT.), IMPERVIOUS AREA (SQ. FT.), TREATMENT AREA REQ. (SQ. FT.).

Worksheet for Calculating the Combination Flow and Volume Method. Includes sections for 1.0 Project Information, 2.0 Calculate Percentage of Impervious Surface for Drainage Management Area (DMA), 3.0 Calculate Unit Basin Storage Volume in Inches, 4.0 Calculate the Duration of the Rain Event, 5.0 Preliminary Estimate of Surface Area of Treatment Measure, 6.0 Initial Adjustment of Depth of Surface Ponding Area, 7.0 Optimize Size of Treatment Measure, and 8.0 Surface Area of Treatment Measure for DMA.

Worksheet for Calculating the Combination Flow and Volume Method. Includes sections for 1.0 Project Information, 2.0 Calculate Percentage of Impervious Surface for Drainage Management Area (DMA), 3.0 Calculate Unit Basin Storage Volume in Inches, 4.0 Calculate the Duration of the Rain Event, 5.0 Preliminary Estimate of Surface Area of Treatment Measure, 6.0 Initial Adjustment of Depth of Surface Ponding Area, 7.0 Optimize Size of Treatment Measure, and 8.0 Surface Area of Treatment Measure for DMA.

OVERALL TREATMENT AREA TOTALS ONSITE

Pervious and Impervious Surfaces Comparison Table. Includes columns for Project Phase Number, Total Site Acres, Existing Condition of Disturbed Area, Proposed Condition of Site Area, Pervious Surfaces, and Proposed Replaced + New Pervious Surfaces.

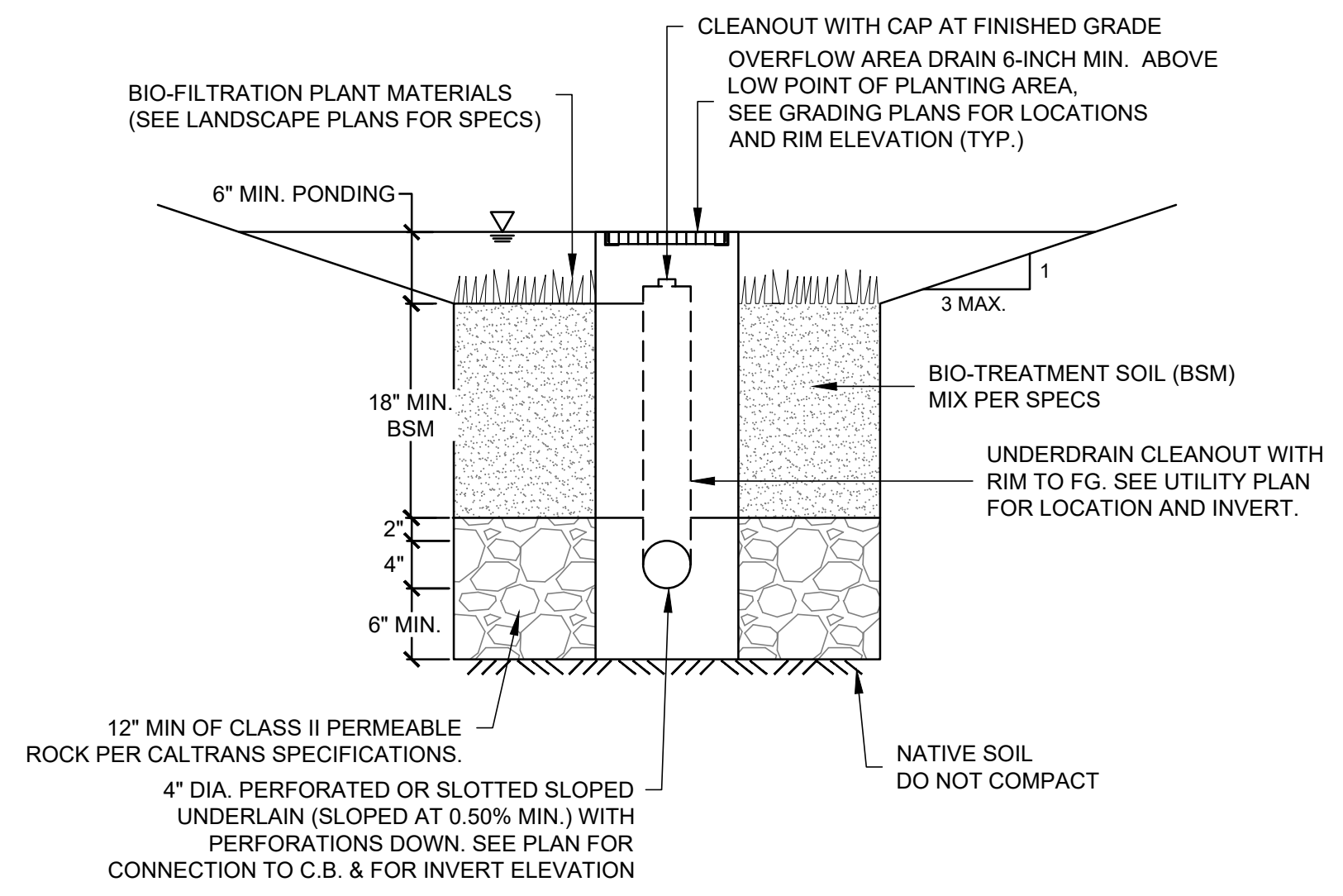
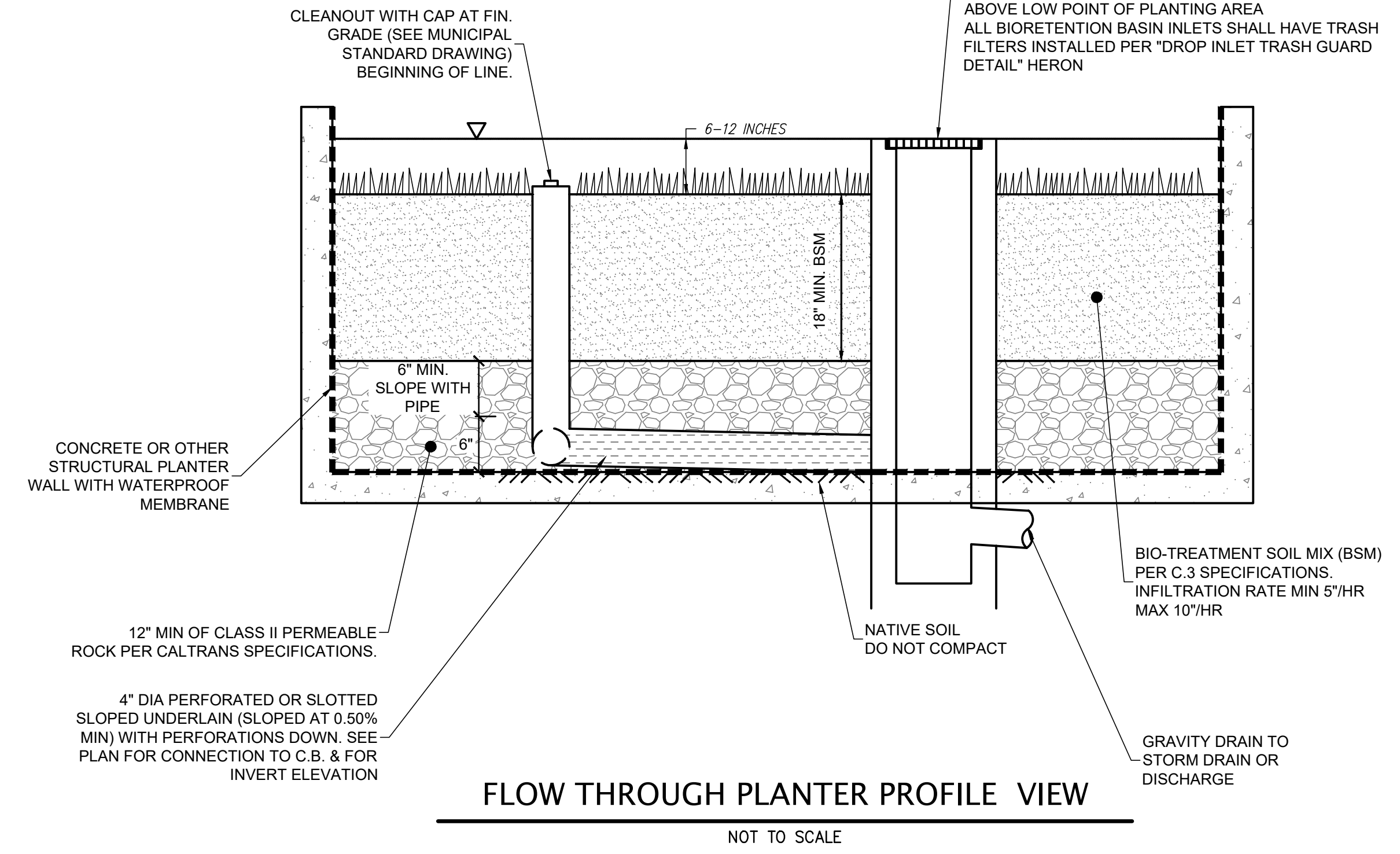
Worksheet for Calculating the Combination Flow and Volume Method. Includes sections for 1.0 Project Information, 2.0 Calculate Percentage of Impervious Surface for Drainage Management Area (DMA), 3.0 Calculate Unit Basin Storage Volume in Inches, 4.0 Calculate the Duration of the Rain Event, 5.0 Preliminary Estimate of Surface Area of Treatment Measure, 6.0 Initial Adjustment of Depth of Surface Ponding Area, 7.0 Optimize Size of Treatment Measure, and 8.0 Surface Area of Treatment Measure for DMA.

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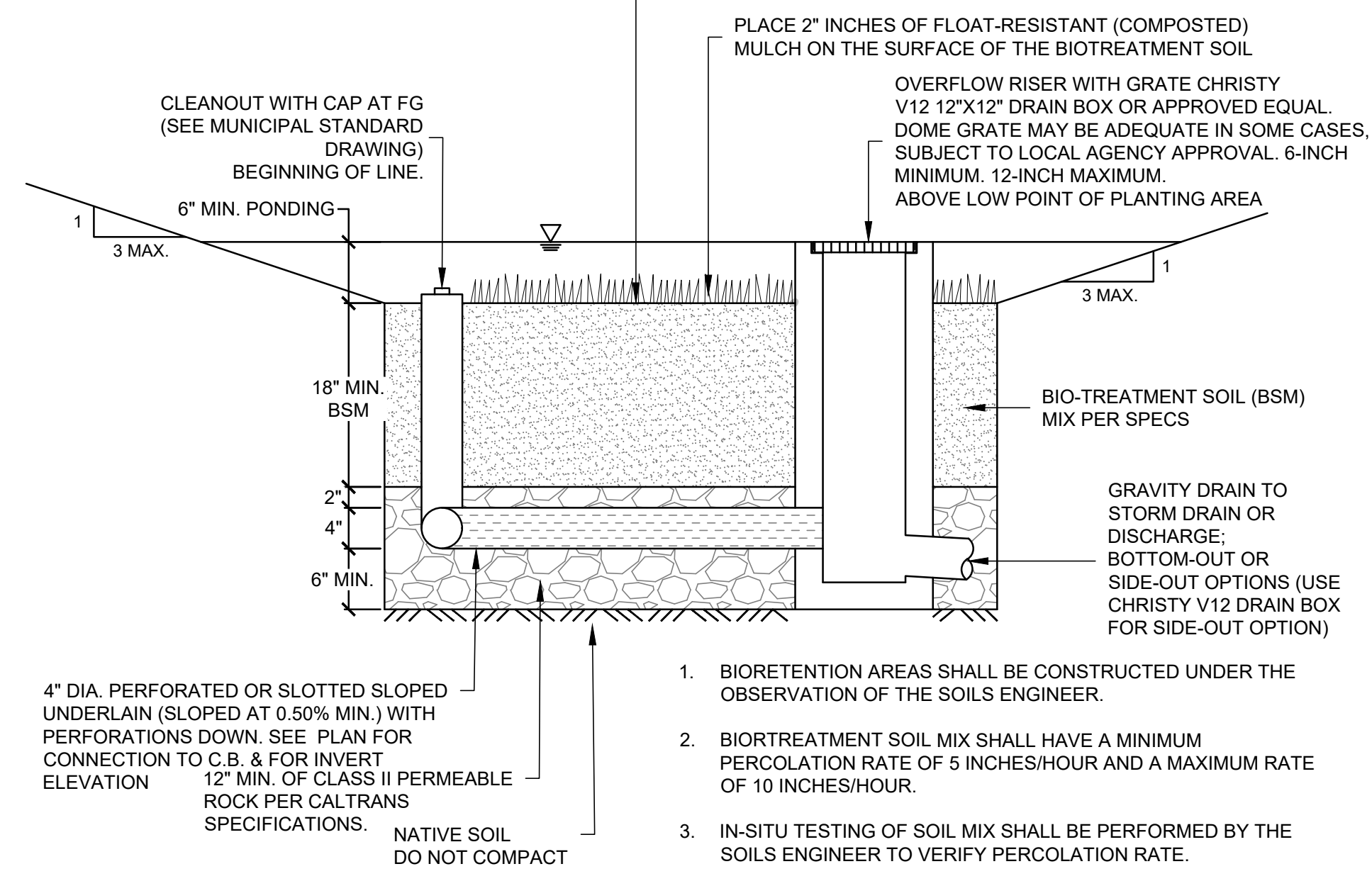
Worksheet for Calculating the Combination Flow and Volume Method. Includes sections for 1.0 Project Information, 2.0 Calculate Percentage of Impervious Surface for Drainage Management Area (DMA), 3.0 Calculate Unit Basin Storage Volume in Inches, 4.0 Calculate the Duration of the Rain Event, 5.0 Preliminary Estimate of Surface Area of Treatment Measure, 6.0 Initial Adjustment of Depth of Surface Ponding Area, 7.0 Optimize Size of Treatment Measure, and 8.0 Surface Area of Treatment Measure for DMA.

NOTE:  
SURFACE AREA OF THE BIOTREATMENT SOIL SHALL EQUAL 4% OF THE AREA OF THE SITE THAT DRAINS TO TREATMENT MEASURE, UNLESS SIZING CALCULATIONS ARE SUBMITTED DEMONSTRATING THAT PROVISION C.3 REQUIREMENTS ARE MET USING A SMALLER SURFACE AREA.

OVERFLOW RISER WITH GRATE CHRISTY V12 12"x12" DRAIN BOX OR APPROVED EQUAL. DOME GRATE MAY BE ADEQUATE IN SOME CASES, SUBJECT TO LOCAL AGENCY APPROVAL. 6-INCH MINIMUM 12-INCH MAXIMUM ABOVE LOW POINT OF PLANTING AREA ALL BIORETENTION BASIN INLETS SHALL HAVE TRASH FILTERS INSTALLED PER "DROP INLET TRASH GUARD DETAIL" HERON



OPTIONAL MOUNDING PARAMETERS:  
PLANTING MOUNDS CONSTRUCTED OF BSM MAY BE PROVIDED SUBJECT TO MUNICIPAL APPROVAL. TOP OF MOUNDS AT LEAST 2" BELOW CREST OF OVERFLOW RISER. LOW POINTS NO MORE THAN 12" BELOW CREST OF OVERFLOW RISER

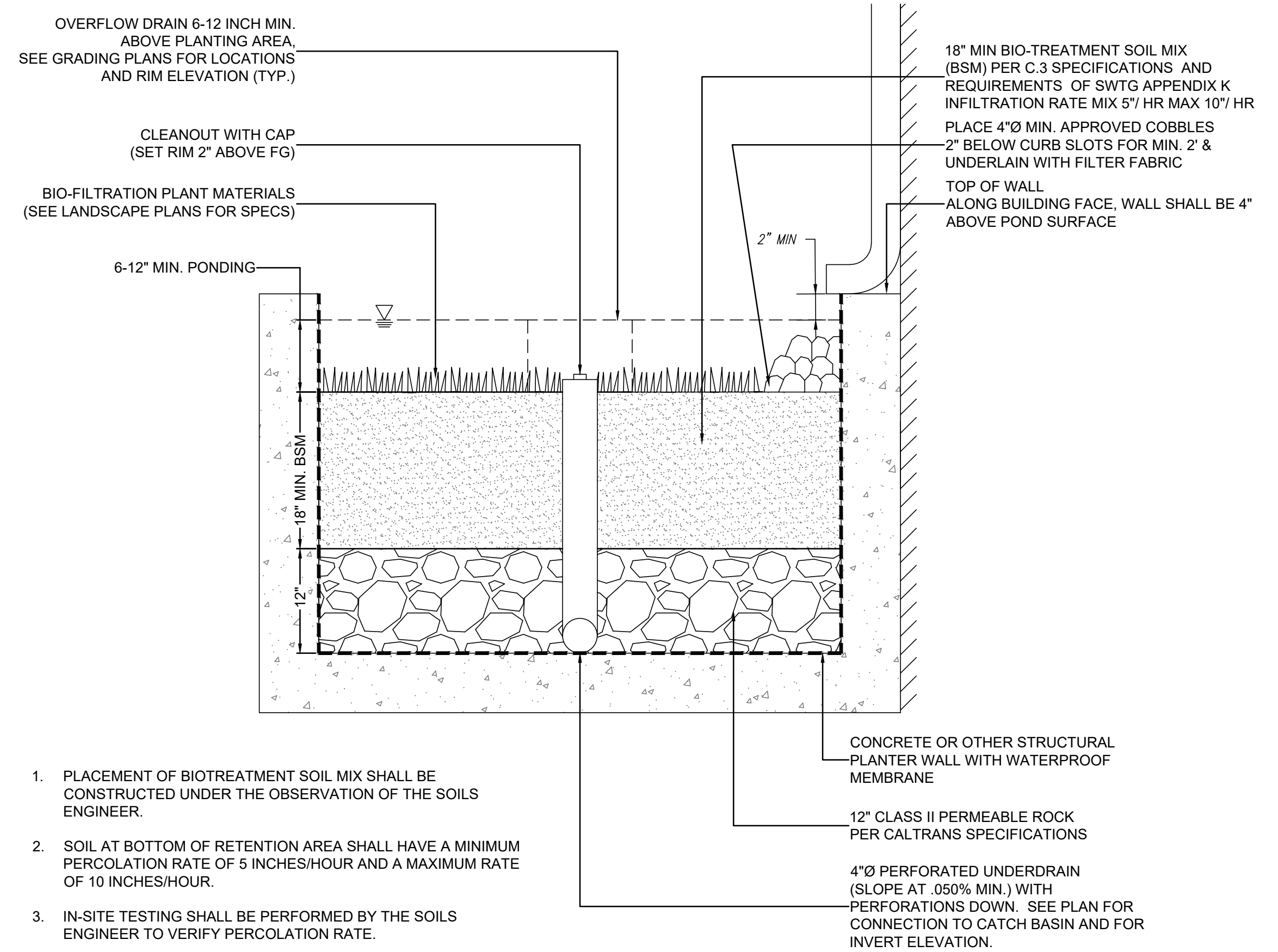


1. BIORETENTION AREAS SHALL BE CONSTRUCTED UNDER THE OBSERVATION OF THE SOILS ENGINEER.
2. BIOTREATMENT SOIL MIX SHALL HAVE A MINIMUM PERCOLATION RATE OF 5 INCHES/HOUR AND A MAXIMUM RATE OF 10 INCHES/HOUR.
3. IN-SITU TESTING OF SOIL MIX SHALL BE PERFORMED BY THE SOILS ENGINEER TO VERIFY PERCOLATION RATE.

**BIORETENTION PLANTER**

NOT TO SCALE

1

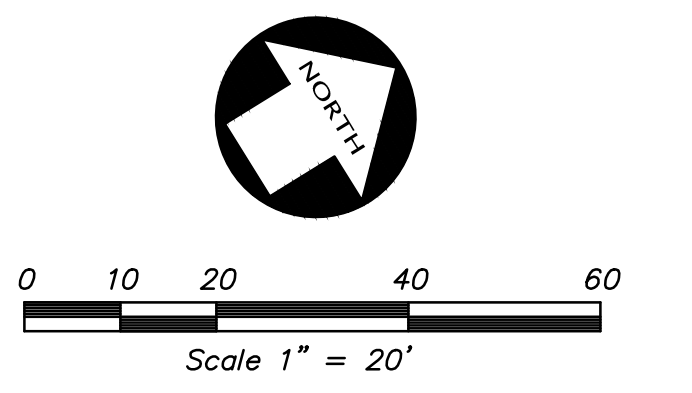
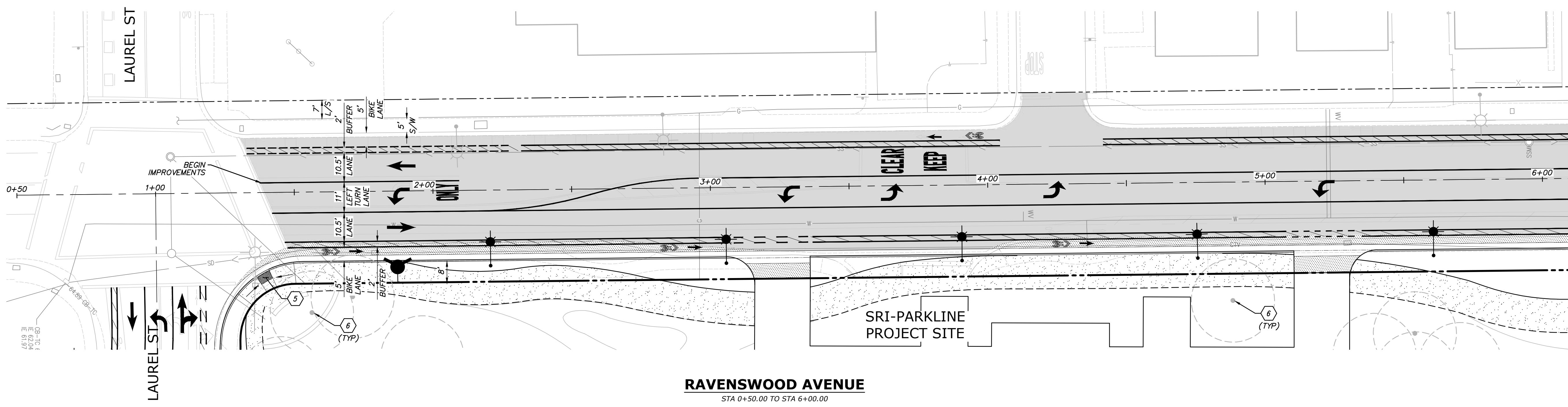


1. PLACEMENT OF BIOTREATMENT SOIL MIX SHALL BE CONSTRUCTED UNDER THE OBSERVATION OF THE SOILS ENGINEER.
2. SOIL AT BOTTOM OF RETENTION AREA SHALL HAVE A MINIMUM PERCOLATION RATE OF 5 INCHES/HOUR AND A MAXIMUM RATE OF 10 INCHES/HOUR.
3. IN-SITU TESTING SHALL BE PERFORMED BY THE SOILS ENGINEER TO VERIFY PERCOLATION RATE.

**FLOW-THROUGH PLANTER**

NOT TO SCALE

2



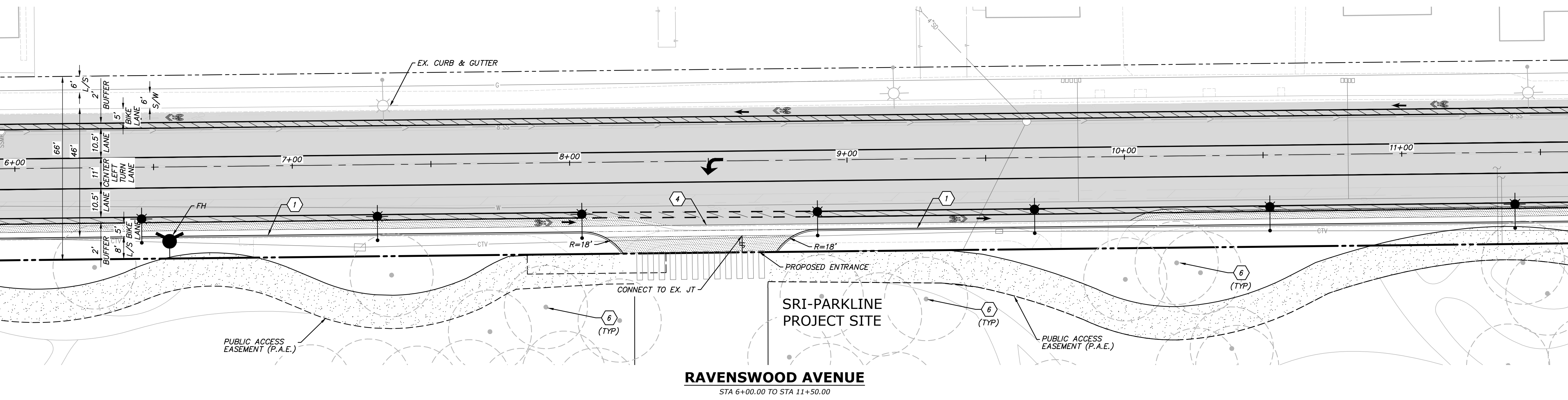
**LEGEND**

PROPOSED	EXISTING	ELECTROLIER

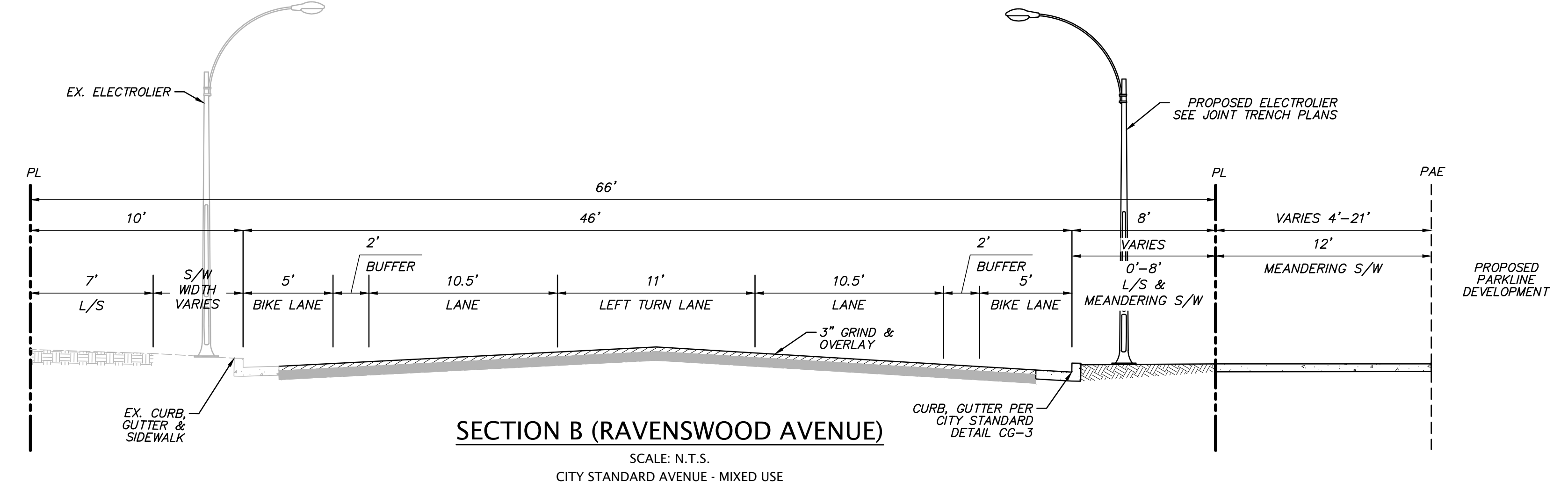
**KEY NOTES**

- 1 CITY STANDARD CURB & GUTTER
- 2 CITY STANDARD SIDEWALK
- 3 CITY STANDARD FIRE HYDRANT
- 4 VALLEY GUTTER
- 5 NEW CURB RAMPS TO MEET CURRENT ADA REQUIREMENTS
- 6 EXISTING TREES TO BE REMAIN AND PROTECTED IN PLACE
- 7 RETAINING WALL
- 8 EXISTING RETAINING WALL TO BE PROTECTED IN PLACE
- 9 CONVERT EXISTING CATCH BASIN TO JUNCTION BOX.

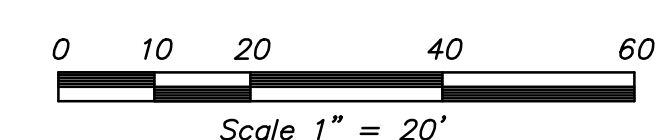
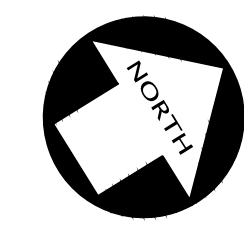
**RAVENSWOOD AVENUE**  
STA 0+50.00 TO STA 6+00.00



**RAVENSWOOD AVENUE**  
STA 6+00.00 TO STA 11+50.00





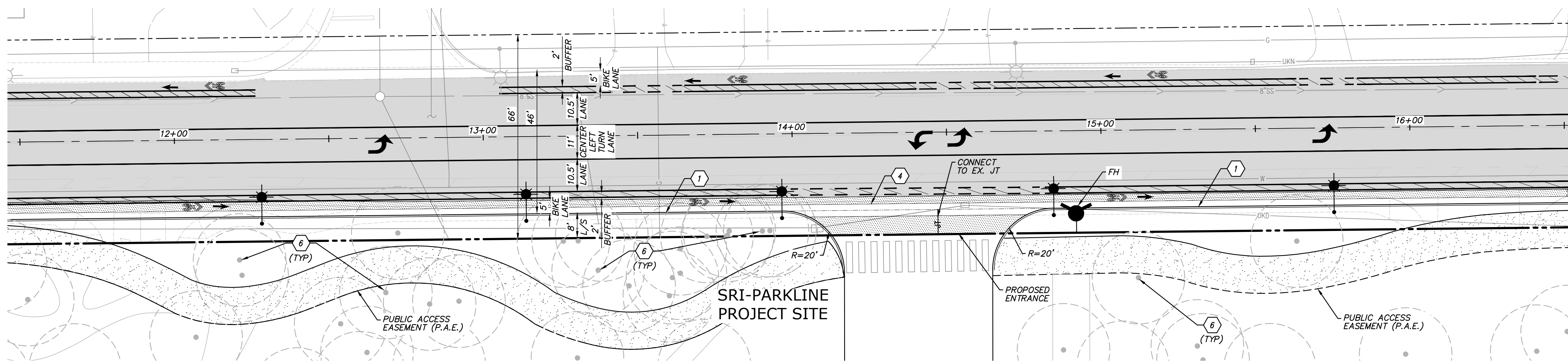


### LEGEND

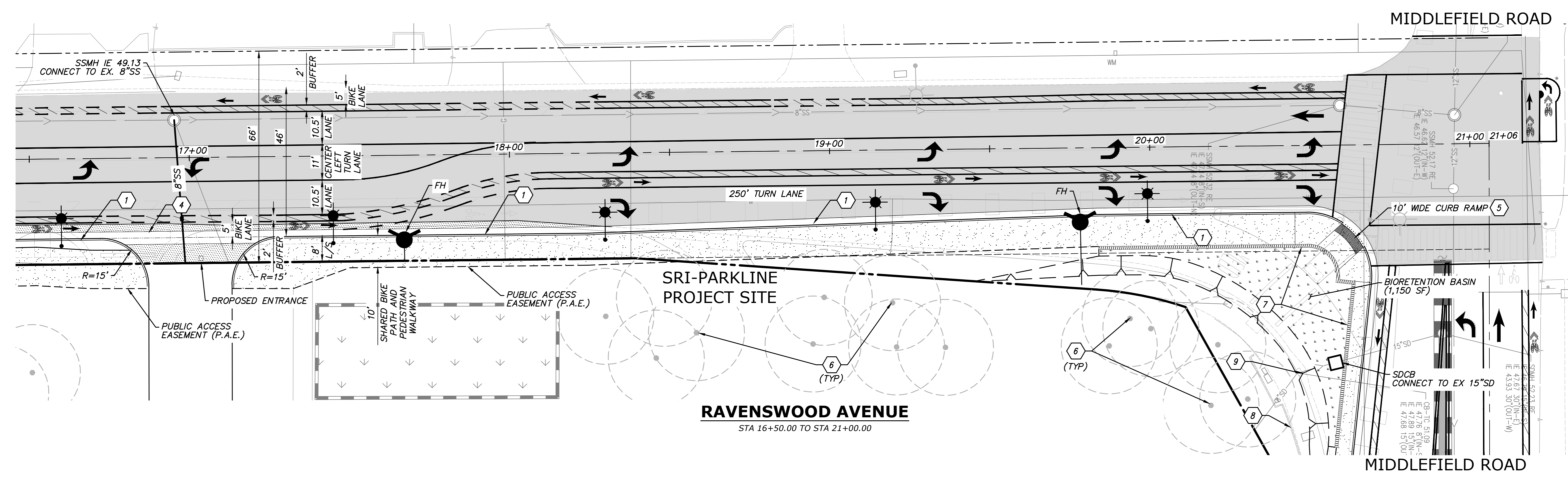
	<b>PROPOSED</b>		<b>EXISTING</b>		<b>ELECTROLIER</b>
					<b>EXISTING TREE TO REMAIN AND BE PROTECTED IN PLACE</b>

### KEY NOTES

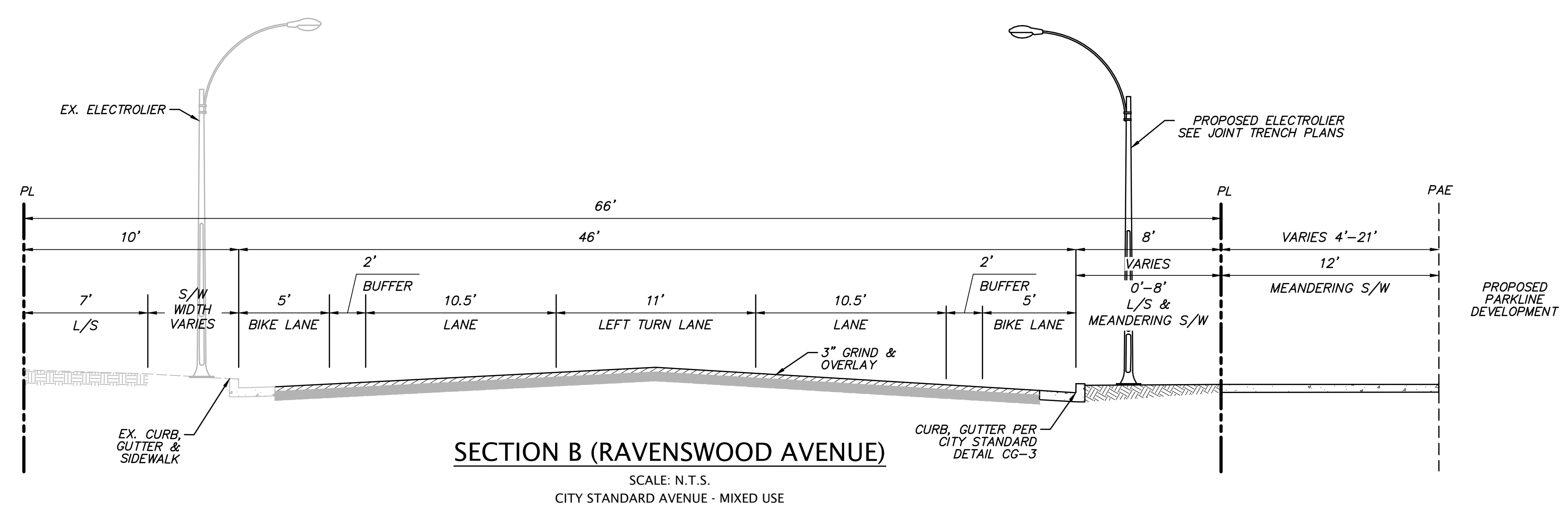
- 1 CITY STANDARD CURB & GUTTER
- 2 CITY STANDARD SIDEWALK
- 3 CITY STANDARD FIRE HYDRANT
- 4 VALLEY GUTTER
- 5 NEW CURB RAMP TO MEET CURRENT ADA REQUIREMENTS
- 6 EXISTING TREES TO BE REMAIN AND PROTECTED IN PLACE
- 7 RETAINING WALL
- 8 EXISTING RETAINING WALL TO BE PROTECTED IN PLACE
- 9 CONVERT EXISTING CATCH BASIN TO JUNCTION BOX.

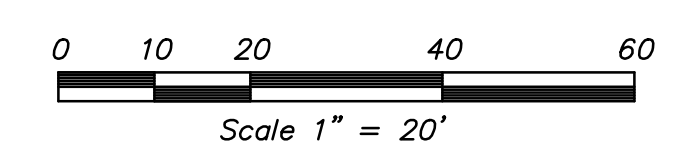


**RAVENSWOOD AVENUE**  
STA 11+50.00 TO STA 16+50.00



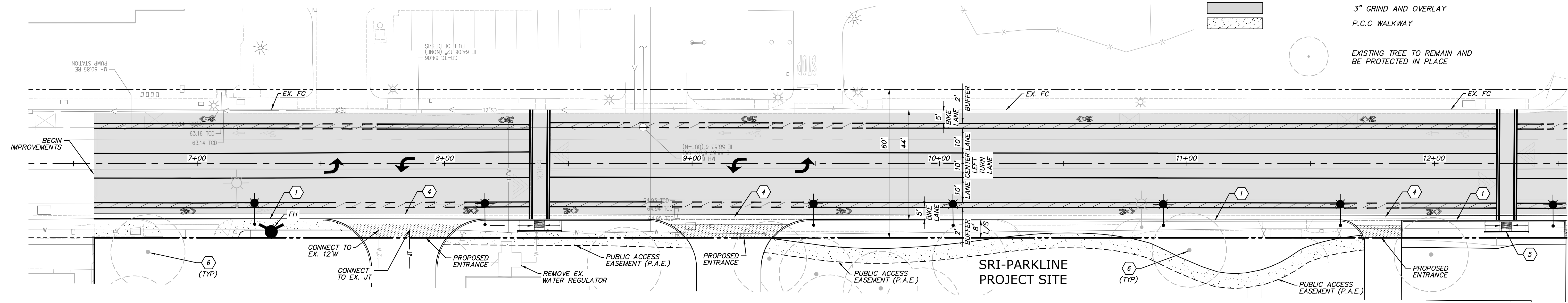
**RAVENSWOOD AVENUE**  
STA 16+50.00 TO STA 21+00.00



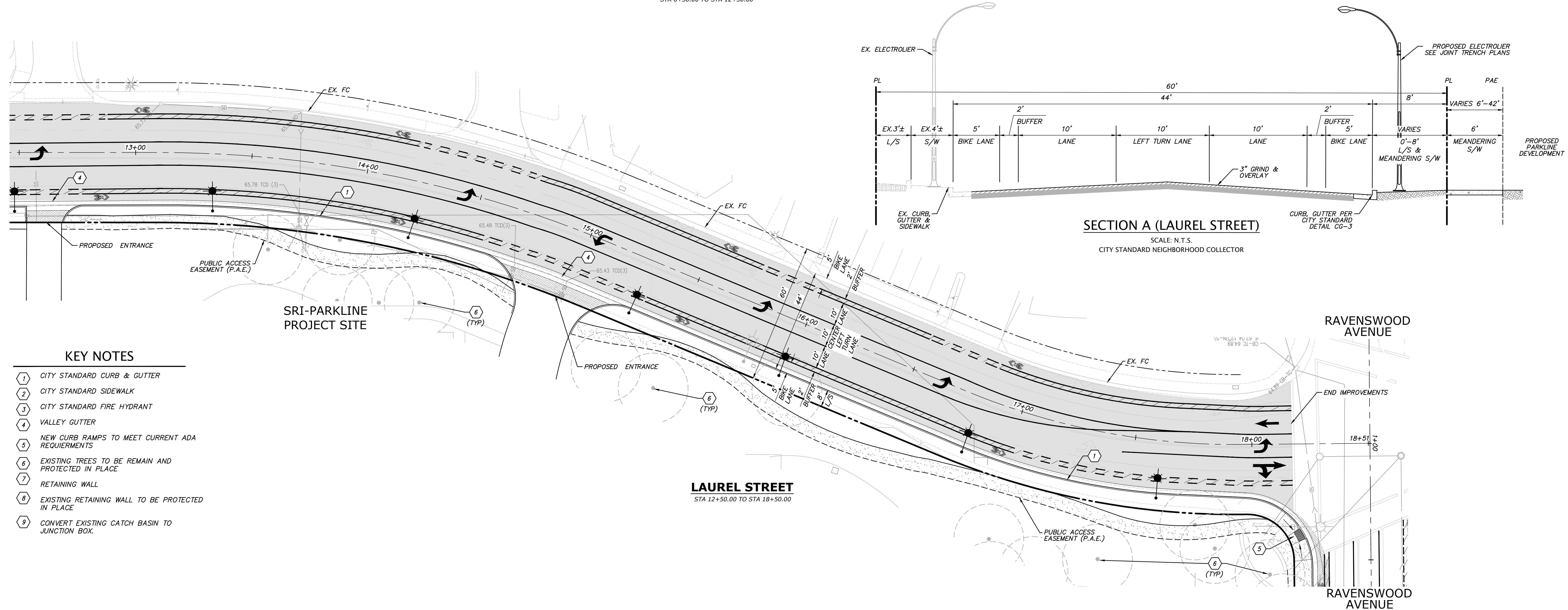


### LEGEND

- PROPOSED**
- EXISTING**
- ELECTROLIER**
- FULL PAVEMENT SECTION**
- 3" GRIND AND OVERLAY**
- P.C.C. WALKWAY**
- EXISTING TREE TO REMAIN AND BE PROTECTED IN PLACE**



**LAUREL STREET**  
STA 6+50.00 TO STA 12+50.00

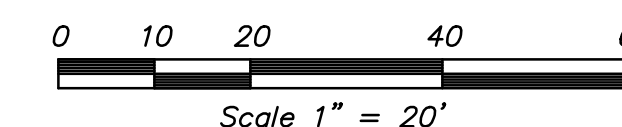


**SECTION A (LAUREL STREET)**  
SCALE: N.T.S.  
CITY STANDARD NEIGHBORHOOD COLLECTOR

**LAUREL STREET**  
STA 12+50.00 TO STA 18+50.00

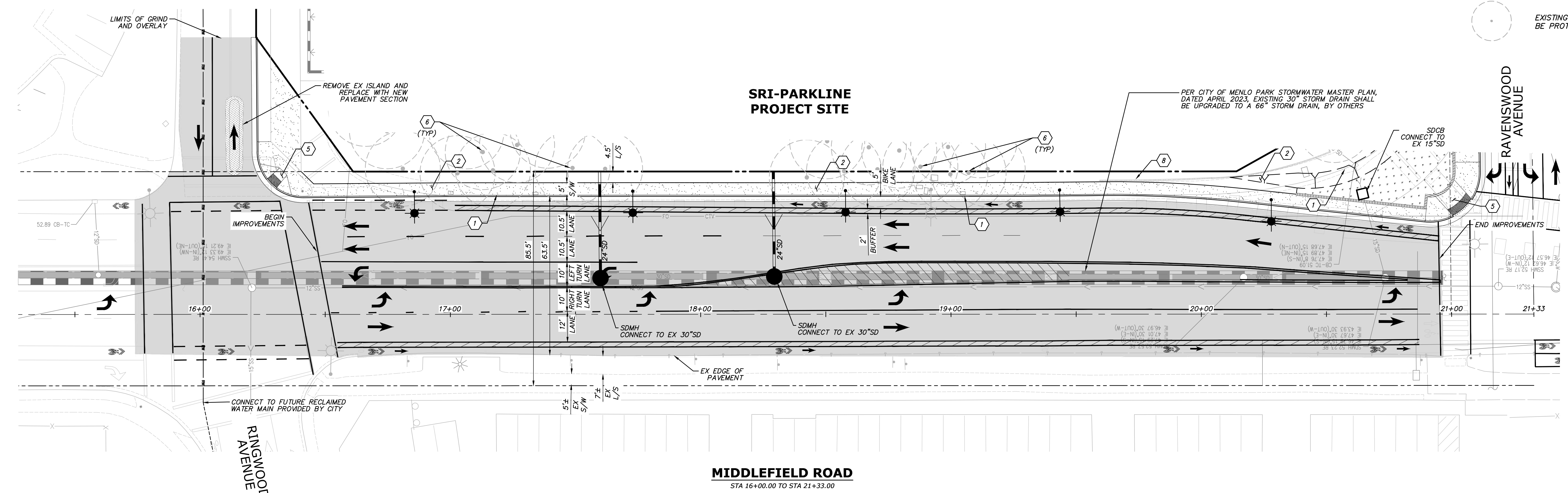
### KEY NOTES

- 1 CITY STANDARD CURB & GUTTER
- 2 CITY STANDARD SIDEWALK
- 3 CITY STANDARD FIRE HYDRANT
- 4 VALLEY GUTTER
- 5 NEW CURB RAMPS TO MEET CURRENT ADA REQUIREMENTS
- 6 EXISTING TREES TO BE REMAIN AND PROTECTED IN PLACE
- 7 RETAINING WALL
- 8 EXISTING RETAINING WALL TO BE PROTECTED IN PLACE
- 9 CONVERT EXISTING CATCH BASIN TO JUNCTION BOX.



### LEGEND

PROPOSED	EXISTING	ELECTROLIER
		FULL PAVEMENT SECTION
		3" GRIND AND OVERLAY
		P.C.C. WALKWAY
		EXISTING TREE TO REMAIN AND BE PROTECTED IN PLACE

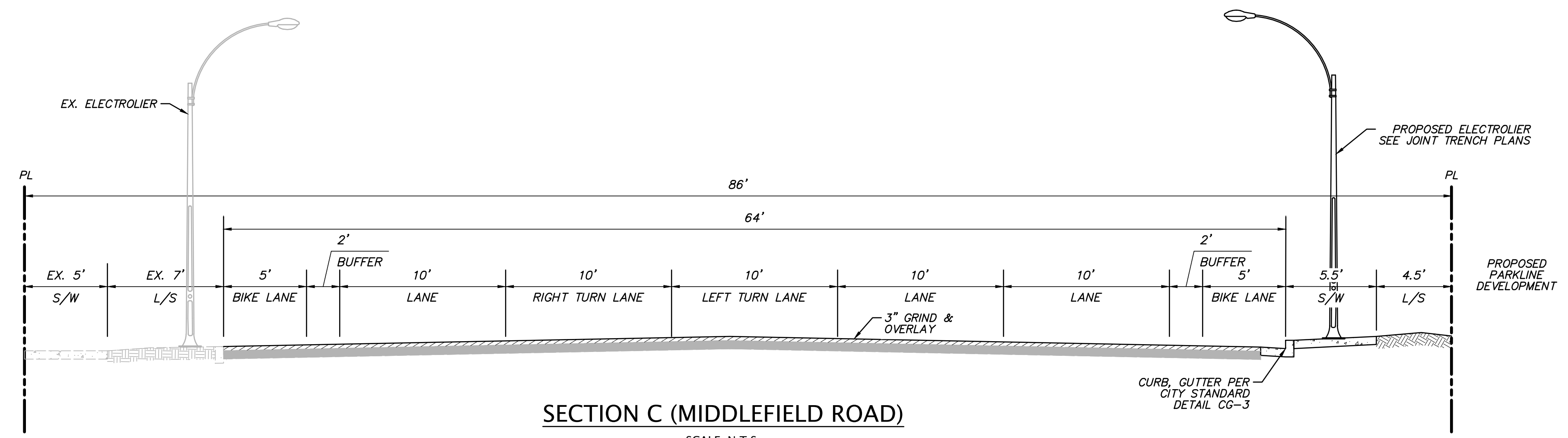


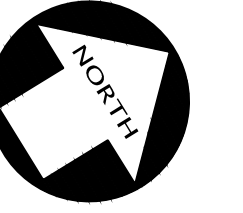
### MIDDLEFIELD ROAD

STA 16+00.00 TO STA 21+33.00

### KEY NOTES

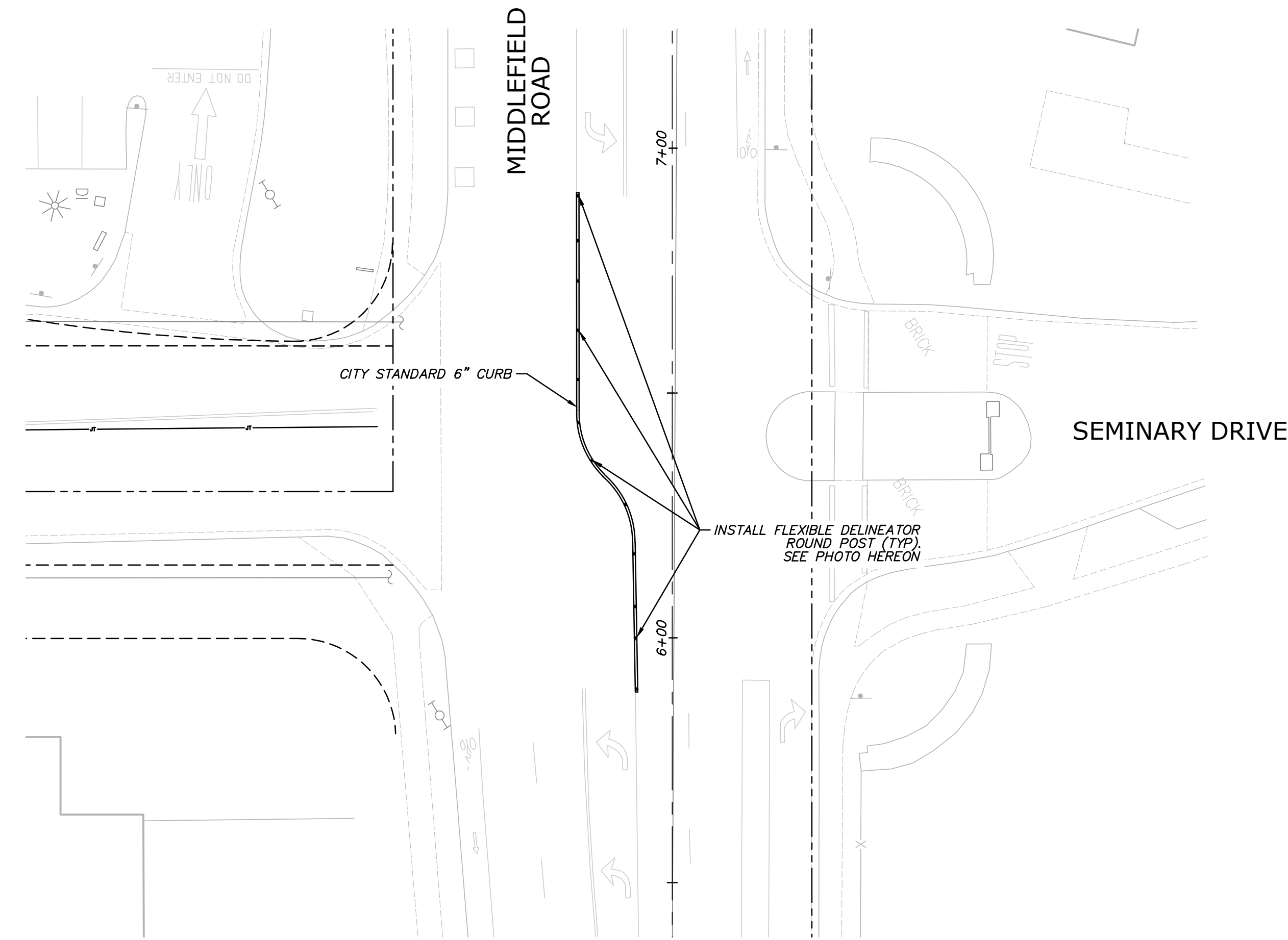
- 1 CITY STANDARD CURB & GUTTER
- 2 CITY STANDARD SIDEWALK
- 3 CITY STANDARD FIRE HYDRANT
- 4 VALLEY GUTTER
- 5 NEW CURB RAMPS TO MEET CURRENT ADA REQUIREMENTS
- 6 EXISTING TREES TO BE REMAIN AND PROTECTED IN PLACE
- 7 RETAINING WALL
- 8 EXISTING RETAINING WALL TO BE PROTECTED IN PLACE
- 9 CONVERT EXISTING CATCH BASIN TO JUNCTION BOX.





0 10 20 40 60

Scale 1" = 20'



**INTERSECTION AT  
MIDDLEFIELD ROAD & SEMINARY DRIVE**



FLEXIBLE DELINEATORS

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