

VESTING TENTATIVE MAP FOR PARKLINE 333 RAVENSWOOD AVENUE, MENLO PARK, CA



VICINITY MAP

NOT TO SCALE

PROJECT DATA

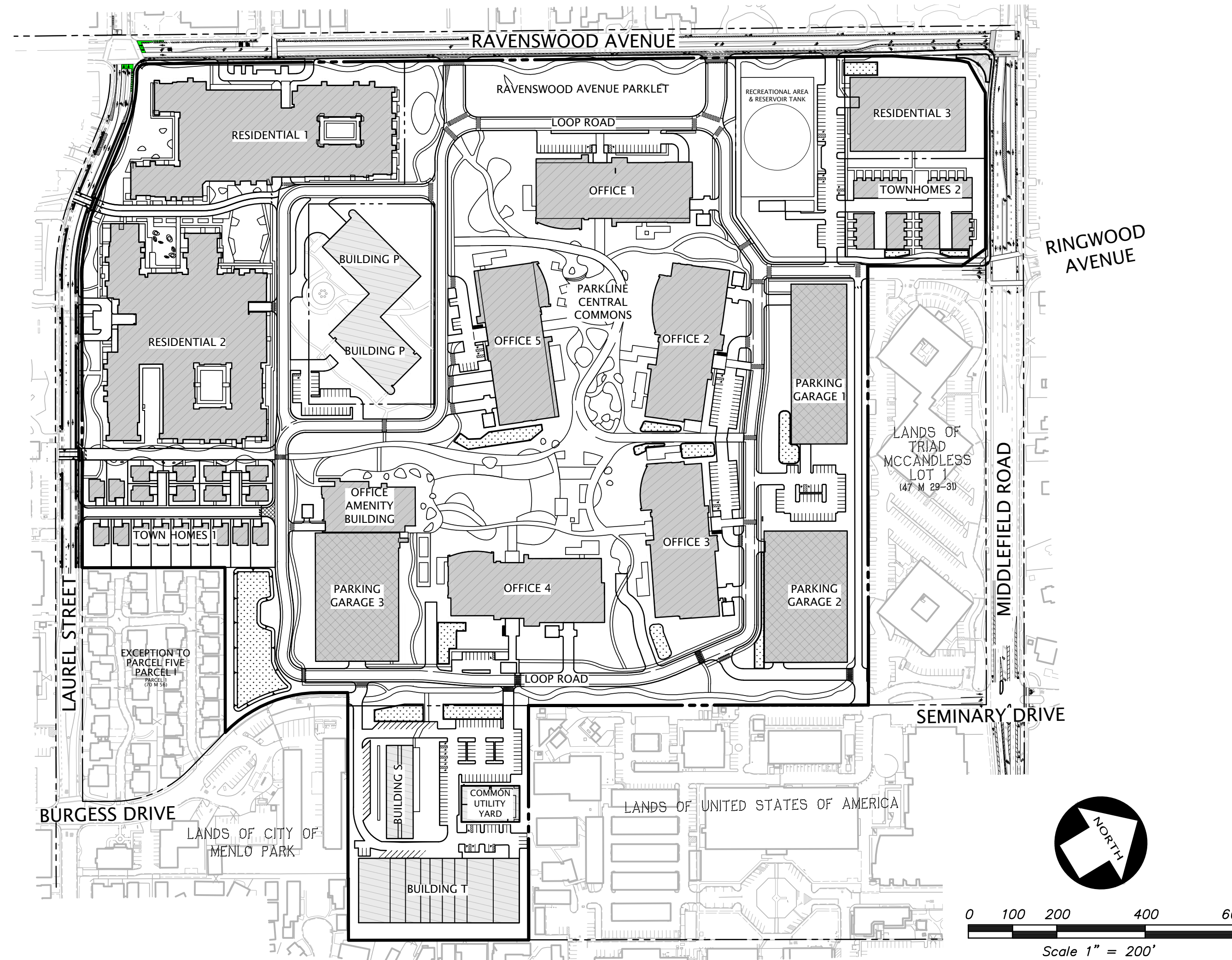
- 1A. OWNER: SRI INTERNATIONAL
333 RAVENSWOOD AVENUE
MENLO PARK, CA 94025
PHONE: (650) 859-5206
CONTACT: GREG RUSSON
- 1B. DEVELOPER: LPGS MENLO, LLC
644 MENLO AVENUE, 2ND FLOOR
MENLO PARK, CA 94025
PHONE: (650) 388-6508
CONTACT: MARK MURRAY
2. MAP PREPARED BY: KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS, INC.
3350 SCOTT BOULEVARD, BUILDING 22
SANTA CLARA, CA 95054
PHONE: (408) 727-6665
CONTACT: RODNEY A. STEWART II, LS 9225
3. APN: 062-390-050; 062-390-660; 062-390-670;
062-390-730; 062-390-760; 062-390-780
4. EXISTING USE: OFFICE / RESEARCH & DEVELOPMENT
5. PROPOSED USE: RESIDENTIAL
OFFICE/RESEARCH & DEVELOPMENT/LIFE SCIENCE
6. EXISTING ZONING: C-1-X
7. PROPOSED ZONING: PENDING FURTHER DISCUSSION WITH CITY STAFF
8. PROPOSED NUMBER OF LOTS: 37.
9. IN ACCORDANCE WITH THE AUTHORITY OF THE SUBDIVISION MAP ACT, AND AS PROVIDED UNDER CAL. GOV. CODE 66427(E), LOT 8, OF THE PARCEL MAP, MAY BE FURTHER SUBDIVIDED BY MEANS OF CONDOMINIUM PLAN OR PLANS WITHOUT THE NEED OF FURTHER CITY OR COUNTY APPROVALS PROVIDED THAT THE TOTAL NUMBER OF CONDOMINIUM UNITS DOES NOT EXCEED 27 UNITS.
10. MAXIMUM NUMBER OF CONDOMINIUM UNITS IS 27.
11. TOTAL ACREAGE: 64.228± ACRES (GROSS)
12. ALL DISTANCES ARE APPROXIMATE.
13. NO NEW STREET NAMES PROPOSED.
14. THIS TENTATIVE MAP WAS PREPARED FROM INFORMATION FURNISHED IN A PRELIMINARY TITLE REPORT, PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY DATED AS OF JANUARY 17, 2025, ORDER NUMBER NCS-1043479-SC. NO LIABILITY IS ASSUMED FOR MATTERS OF RECORD NOT STATED IN SAID REPORT THAT MAY AFFECT THE TITLE LINES, OR EXCEPTIONS, OR EASEMENTS OF THE PROPERTY.
15. FLOOD ZONE NOTE:
THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR SAN MATEO COUNTY, CALIFORNIA, MAP NUMBER 06081C0308E FOR COMMUNITY NUMBER 060321 (CITY OF MENLO PARK), WITH AN EFFECTIVE DATE OF OCTOBER 16, 2012, AS BEING LOCATED IN FLOOD ZONE "X (UNSHADED)".
ACCORDING TO FEMA THE DEFINITION OF ZONE "X (UNSHADED)" IS: AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
FEMA BASE FLOOD ELEVATIONS ARE BASED ON NAVD88 DATUM.
16. BENCHMARK: NGS BENCHMARK Y150
DESCRIPTION: BRASS DISK SET IN CONCRETE HEADWALL AT SAN FRANCISQUITO CREEK, STAMPED "Y150"
ELEVATION: 58.45 FEET (DATUM: NAVD88)
LOCATION: AT THE INTERSECTION OF MIDDLEFIELD ROAD, PALO ALTO AVENUE AND WOODLAND AVENUE; 18± NORTH OF THE NORTH EDGE OF MIDDLEFIELD ROAD AT THE SOUTHERLY ANGLE POINT OF THE CONCRETE HEADWALL.
17. BASIS OF BEARINGS:
THE BEARING OF SOUTH 58°15'42" EAST TAKEN ON THE MONUMENT LINE OF MIDDLEFIELD ROAD AS SHOWN ON THAT CERTAIN RECORD OF SURVEY NUMBER 2652 FILED FOR RECORD ON MARCH 12, 2015, IN BOOK 40 OF L.L.S. MAPS AT PAGE 81, OFFICIAL RECORDS OF SAN MATEO COUNTY, WAS TAKEN AS THE BASIS OF ALL BEARINGS SHOWN HEREON.
18. ADDITIONAL PRIVATE EASEMENT NEEDS MAY BE IDENTIFIED IN FURTHER STAGES OF DESIGN, AND WILL BE RECORDED THROUGH SEPARATE INSTRUMENTS. ALL EXISTING EASEMENTS ON-SITE ARE TO BE QUITCLAIMED OR VACATED, UNLESS NOTED OTHERWISE.
19. UTILITIES:
STORM DRAIN: CITY OF MENLO PARK
SANITARY SEWER: WEST BAY SANITARY DISTRICT
WATER SUPPLY: CITY OF MENLO PARK
GAS: PACIFIC GAS & ELECTRIC COMPANY
ELECTRIC: PACIFIC GAS & ELECTRIC COMPANY
TELEPHONE: AT&T
CABLE: CABLECOM
20. IN ACCORDANCE WITH THE SUBDIVISION MAP ACT, SECTION 66456.1, MULTIPLE FINAL MAPS MAY BE FILED UNDER THE APPROVAL OR CONDITIONAL APPROVAL OF THIS VESTING TENTATIVE MAP. PHASED FINAL MAPS MAY INCLUDE LOTS WHICH CORRESPOND TO PROPOSED BUILDINGS OR THOSE WHICH MAY EXIST IN A PARTICULAR PHASE. THE SUBDIVIDER RESERVES THE RIGHT TO IMPLEMENT THE ORDER OF PHASING AND THE NUMBER OF LOTS TO BE INCLUDED IN ANY SPECIFIC PHASE. LOT NUMBERING MAY DIFFER ON PHASED FINAL MAPS AS LONG AS THE RESPECTIVE LOT CONFIGURATIONS REMAIN SUBSTANTIALLY THE SAME AS SHOWN ON THIS MAP.

GENERAL NOTES

1. ANY FRONTAGE IMPROVEMENTS WHICH ARE DAMAGED EITHER AS AN EXISTING CONDITION OR AS A RESULT OF CONSTRUCTION WILL BE REQUIRED TO BE REPLACED. ALL FRONTAGE IMPROVEMENT WORK SHALL BE IN ACCORDANCE WITH THE LATEST VERSION OF THE CITY STANDARD DETAILS.
2. REMOVE AND REPLACE ANY CRACKED, DEPRESSED, UPLIFTED, OR OTHERWISE DAMAGED IMPROVEMENTS (I.E. VALLEY GUTTER, PARKING STRIP, CURB, GUTTER, SIDEWALK, ETC.) ALONG THE ENTIRE PROJECT FRONTAGE.
3. ANY FRONTAGE IMPROVEMENTS WHICH ARE DAMAGED AS A RESULT OF CONSTRUCTION WILL BE REQUIRED TO BE REPLACED.
4. IRRIGATION WITHIN PUBLIC RIGHT OF WAY SHALL COMPLY WITH CITY STANDARD DETAILS LS-1 THROUGH LS-19 AND SHALL BE CONNECTED TO THE ON-SITE WATER SYSTEM.

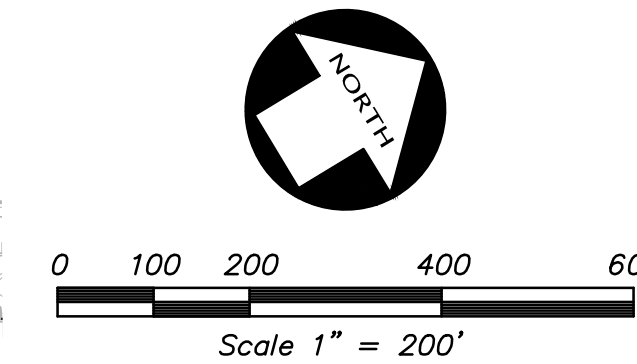
SHEET INDEX

SHEET	DESCRIPTION
CIVL	
C1.0	COVER SHEET
C2.0-C2.6	TOPOGRAPHIC SURVEY
C3.0	EXISTING PARCELS AND EASEMENTS
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C3.2	PROPOSED PARCEL MAP - PHASE 1
C3.3	PROPOSED PARCEL MAP - FULL BUILDOUT
C3.4	PROPOSED SEMINARY DRIVE OPTION
C3.5	ROAD STRIPING - PHASE 1
C3.6	ROAD STRIPING - FULL BUILDOUT
C4.0	EMERGENCY VEHICLE ACCESS PLAN - PHASE 1
C4.1	FIRE TRUCK AERIAL ACCESS PLAN - PHASE 1
C4.2	EMERGENCY VEHICLE ACCESS PLAN
C4.3	FIRE TRUCK AERIAL APPARATUS ACCESS PLAN
C5.0	UTILITY DEMOLITION PLAN
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C6.0	TYPICAL STREET SECTIONS
C7.0	PRELIMINARY GRADING & DRAINAGE PLAN - PHASE 1
C7.1	PRELIMINARY GRADING & DRAINAGE PLAN - PHASE 1
C7.2	PRELIMINARY GRADING & DRAINAGE PLAN - PHASE 1
C7.3	PRELIMINARY GRADING & DRAINAGE PLAN - PHASE 1
C7.4	PRELIMINARY GRADING & DRAINAGE PLAN - FULL BUILDOUT
C7.5	PRELIMINARY GRADING & DRAINAGE PLAN - FULL BUILDOUT
C7.6	PRELIMINARY GRADING & DRAINAGE PLAN - FULL BUILDOUT
C7.7	PRELIMINARY GRADING & DRAINAGE PLAN - FULL BUILDOUT
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C8.1	PRELIMINARY UTILITY PLAN - PHASE 1
C8.2	PRELIMINARY UTILITY PLAN - PHASE 1
C8.3	PRELIMINARY UTILITY PLAN - PHASE 1
C8.4	PRELIMINARY UTILITY PLAN - PHASE 1
C8.5	MASTER UTILITY PLAN - FULL BUILDOUT
C8.6	PRELIMINARY UTILITY PLAN - FULL BUILDOUT
C8.7	PRELIMINARY UTILITY PLAN - FULL BUILDOUT
C8.8	PRELIMINARY UTILITY PLAN - FULL BUILDOUT
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C11.1	EMERGENCY VEHICLE SECTIONS
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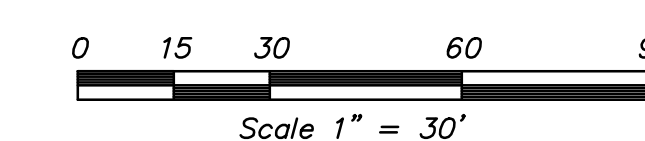
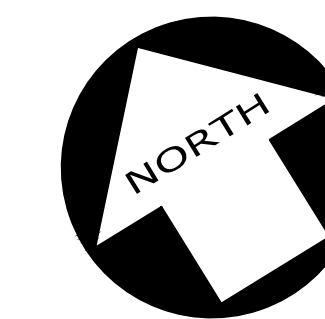


CIVIL ENGINEER

KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS, INC.
ATTN: NEKTARIOS MATHEOU, P.E.
3350 SCOTT BOULEVARD, BUILDING 22
SANTA CLARA, CA 95054
(P) (408) 727-6665



MIDDLEFIELD ROAD
(PUBLIC ROW 114' WIDTH)



NOTES

- THIS PLOT WAS PREPARED FROM INFORMATION FURNISHED IN A PRELIMINARY TITLE REPORT, PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY DATED AS OF DECEMBER 1, 2020, AMENDED JANUARY 25, 2021, ORDER NUMBER NCS-1043479-SC. NO LIABILITY IS ASSUMED FOR MATTERS OF RECORD NOT STATED IN SAID PRELIMINARY TITLE REPORT THAT MAY AFFECT THE TITLE LINES, OR EXCEPTIONS, OR EASEMENTS OF THE PROPERTY.
- ALL DISTANCES AND ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.
- THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. (A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES), HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS.
- PHYSICAL ITEMS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE ITEMS VISIBLE AS OF THE DATE OF THIS SURVEY. SUBSURFACE STRUCTURES, IF ANY, ARE NOT SHOWN. SAID SUBSURFACE OBJECTS MAY INCLUDE, BUT ARE NOT LIMITED TO, CONCRETE FOOTINGS, SLABS, SHORING, STRUCTURAL PILES, UTILITY VAULTS, PIPING, UNDERGROUND TANKS, AND ANY OTHER SUBSURFACE STRUCTURES NOT REVEALED BY A SURFACE INSPECTION.
- THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR SAN MATEO COUNTY, CALIFORNIA, MAP NUMBER 06081C0308E FOR COMMUNITY NUMBER 060321 (CITY OF MENLO PARK), WITH AN EFFECTIVE DATE OF OCTOBER 16, 2012, 2012, AS BEING LOCATED IN FLOOD ZONE "X". ACCORDING TO FEMA THE DEFINITION OF ZONE "X" IS: AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

FEMA BASE FLOOD ELEVATIONS ARE BASED ON NAVD88 DATUM. SEE BENCHMARK NOTE FOR DATUM CONVERSIONS.
- BENCHMARK:
BM Y150, ELEVATION = 58.45 (NAVD88)
ELEVATIONS SHOWN HEREON ARE BASED ON NAVD88.
- BASIS OF BEARINGS:
THE BEARING OF SOUTH 58° 15' 42" EAST TAKEN ON THE MONUMENT LINE OF MIDDLEFIELD ROAD AS SHOWN ON THAT CERTAIN RECORD OF SURVEY NUMBER 2652 FILED FOR RECORD ON MARCH 12, 2015, IN BOOK 44 OF L.L.S. MAPS AT PAGE 81, OFFICIAL RECORDS OF SAN MATEO COUNTY WAS TAKEN AS THE BASIS FOR ALL BEARINGS SHOWN HEREON.
- CORNER RECORD NOTE:
THE DEVELOPER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREPARATION AND FILING OF PRE-CONSTRUCTION AND POST-CONSTRUCTION CORNER RECORDS FOR ANY MONUMENTS OR PROPERTY CORNERS SHOWN HEREON THAT MAY BE DESTROYED DURING IMPROVEMENTS TO THE SUBJECT PROPERTY AS DEFINED IN SECTION 8771(B) OF THE PROFESSIONAL LAND SURVEYORS ACT.
- THE AERIAL MAPPING WAS PREPARED USING COMPUTER ASSISTED, PHOTOGRAMMETRIC METHODS BY COOPER AERIAL SURVEYS CO., IN PHOENIX ARIZONA, JOB NUMBER A20152. IN AREAS OF DENSE VEGETATION ACCURACY OF CONTOURS MAY DEVIATE FROM ACCEPTED ACCURACY STANDARDS. DATE OF PHOTOGRAPHY 01-11-21. ORIGINAL COMPILED MAP SCALE 1" = 30'. CONTOUR INTERVAL 1 FOOT. THE GRID IS BASED ON PHOTOGRAMMETRIC METHODS COMPILED ON DIGITAL STEREO WORKSTATIONS USING AERIAL PHOTOGRAPHY. CONTROL SURVEY PERFORMED BY KIER & WRIGHT, LIVERMORE, CA.

SEE SHEET 2.1

SEE SHEET 2.2

SEE SHEET 2.3

SEE SHEET 2.4

SEE SHEET 2.5

SEE SHEET 2.6

LEGEND

- ABANDONED UTILITY - PER PLAN
- ASPHALT BERM
- AREA DRAIN
- BARRICADE
- CAST IRON PIPE LINE
- CENTERLINE
- CHILLED WATER LINE
- COMMUNICATION LINE
- COMPRESSED AIR
- CONCRETE/BLOCK WALL
- CONCRETE CURB
- CONCRETE CURB & GUTTER
- DUCTILE IRON PIPE LINE
- DRIVEWAY
- EASEMENT LINE
- EDGE OF PAVEMENT
- EDGE OF WATER/FLOWLINE
- EDGE OF ROOF
- ELECTRIC LINE
- FENCE LINE
- FIRE ALARM LINE
- GAS LINE - VALVE & METER
- GUARD RAIL
- JOINT TRENCH LINE
- LOT LINE
- MONUMENT/MONUMENT LINE
- OVERHEAD POWER LINE
- RETAINING WALL
- PLANT WASTE LINE
- PROPERTY LINE
- RETAINING WALL
- RECLAIMED WATER LINE & VALVE
- SANITARY SEWER LINE - MANHOLE & CLEANOUT
-
- SANITARY SEWER FORCE MAIN LINE
- SIDEWALK
- SPOT ELEVATION
- STORM DRAIN LINE - MANHOLE & CATCH BASIN
-
- STREET LIGHT CONDUIT LINE
- STEAM LINE
- TELEPHONE LINE
- TRAFFIC SIGNAL CONDUIT LINE
- CABLE TELEVISION LINE
- UNKNOWN UTILITY LINE
- WATER LINE & VALVE
-
- ACCESSIBLE PARKING SYMBOL
- ANODE
- AREA DRAIN
- AUTOMATIC SPRINKLER RISER
- BACKFLOW PREVENTION DEVICE
- BENCHMARK/TEMPORARY BENCHMARK
- BLOCKOFF VALVE
- DOUBLE DETECTOR CHECK VALVE
- ELECTRODE
- FIRE DEPARTMENT CONNECTION
- FIRE HYDRANT
- FLAG POLE
- GAS METER
- GUY ANCHOR
- HOSEBOX
- MAIL BOX
- POST INDICATOR VALVE
- POWER POLE/JOINT POLE
- SURVEY CONTROL POINT
- TRANSFORMER
- TRAFFIC SIGNAL POLE
- TRAFFIC SIGN
- UTILITY BOX
- WALK-BOLLARD LIGHT
- WATER VALVE
- WELL

ABBREVIATIONS

AC	ASPHALTIC CONCRETE	HCR	HANDICAP RAMP
AD	AREA DRAIN	IB	IRRIGATION BOX
AFF	ABOVE FINISHED FLOOR	INTX	INTERSECTION
ASR	AUTOMATIC SPRINKLER RISER	L/S	LANDSCAPE
BEG	BEGINNING	LIP	LIP OF GUTTER
BFP	BACK FLOW PREVENTER	LI	LIGHT
BL	BUILDING	MH	MANHOLE
BLDG	BUILDING	MON	MONUMENT
BOL	BOLLARD	OH	OVERHEAD
BR	BOTTOM OF RAMP	PAVR	BRICK PAVERS
BS	BOTTOM OF STEP	PV	POST INDICATOR VALVE
BTM	BOTTOM	POC	POINT ON CURVE
BW	BACK OF WALK	PP	POWER POLE
C.	CONCRETE	PT	POINT
CAB	CABINET	RD	ROAD
CB	CATCH BASIN	RE	RISE ELEVATION
CL	CENTERLINE	ROW	RIGHT OF WAY
CLF	CHAIN LINK FENCE	RR	RAIL ROAD
CO	CLEAN OUT	SAT.	SATELLITE
CONC	CONCRETE	SD	STORM DRAIN
CONC.	CONCRETE	SDDC	STORM DRAIN CLEAN OUT
D/W	DRIVEWAY	SDMH	STORM DRAIN MANHOLE
DET	DETECTOR	SF	SQUARE FEET
DI	DRAIN INLET	SL	STREET LIGHT
DWY	DRIVEWAY	SS	STREET LIGHT BOX
EB	ELECTRIC BOX	SS	SANITARY SEWER
EL	ELECTRODER	SSCO	SANITARY SEWER CLEAN OUT
ELEC	ELECTRICAL	SSMH	SANITARY SEWER MANHOLE
EMH	ELECTRICAL MANHOLE	TE	TOP OF CURB
EP	EDGE OF PAVEMENT	TE	TRASH ENCLOSURE
EV	ELECTRIC VAULT	TEL	TELEPHONE
EW	EDGE OF WALK	TMH	TELEPHONE MANHOLE
FAB	FIRE ALARM BOX	TOP	TOP OF SLOPE
FC	FACE OF CURB	TR	TREE
FD	FOUND	TS	TOP OF SLAB
FDC	FIRE DEPARTMENT CONNECTION	TSB	TRAFFIC SIGNAL BOX
FF	FINISH FLOOR	TSP	TRAFFIC SIGNAL POLE
FH	FIRE HYDRANT	TW	TOP OF WALL
FL	FLOW LINE	UB	UTILITY BOX
FNC	FENCE	UG	UNDERGROUND
FND	FOUND	UP	UTILITY POLE
FP	FINISH PAVEMENT	VG	VALLEY GUTTER
FW	FACE OF WALL	WB	WATER BOX
GA	GAUGE	WO	WOOD
GB	GRADE BREAK	WM	WATER METER
GUY	GUY WIRE	WV	WATER VALVE
GV	GAS VALVE		

2025.01.31

W 4TH STREET
(A PRIVATE ROW 60' WID)

LAUREL STREET
(PUBLIC ROW 60' WID)

LAUREL STREET
(PUBLIC ROW 60' WID)

BURGESS DRIVE
(PUBLIC ROW 60' WID)

Ryan M. Amato
 PREPARED BY OR UNDER THE SUPERVISION OF
 RYAN M. AMATO P.L.S. 8134
 10/11/2024 DATE



TOPOGRAPHIC SURVEY
OF
333 RAVENSWOOD AVENUE
FOR
LANE PARTNERS

KIER+WRIGHT
3350 Scott Boulevard, Building 22
San Jose, California 95054
Phone: (408) 727-6665
www.kierwright.com

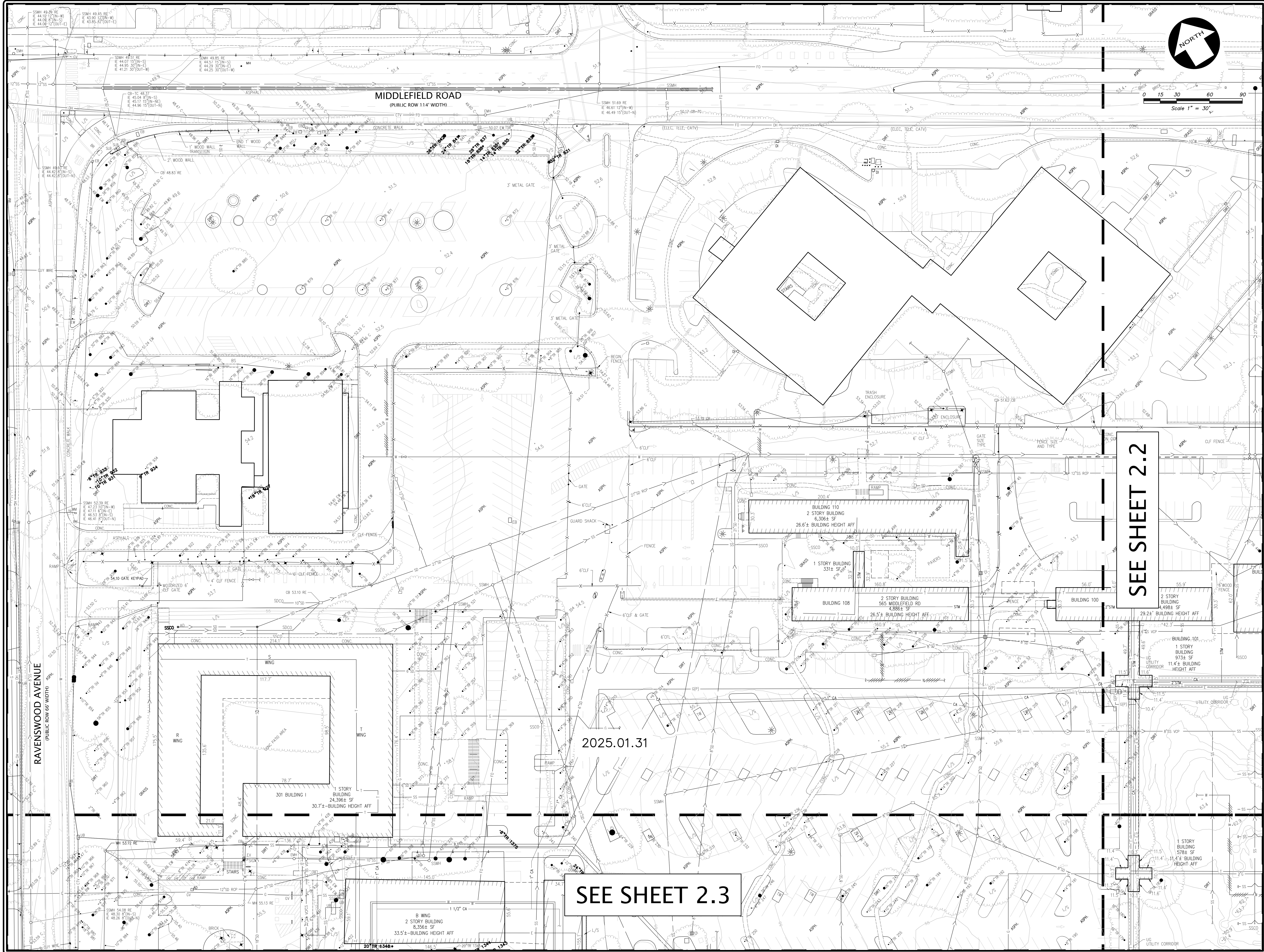
CALIFORNIA

NO.	REVISION	BY	DATE

DATE: OCTOBER, 2024
 SCALE: AS SHOWN
 SURVEYOR: MJA
 DRAWN BY: RLA
 JOB NO.: A20152
 SHEET: **C2.0**
 OF 44 SHEETS

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SEE SHEET 2.2

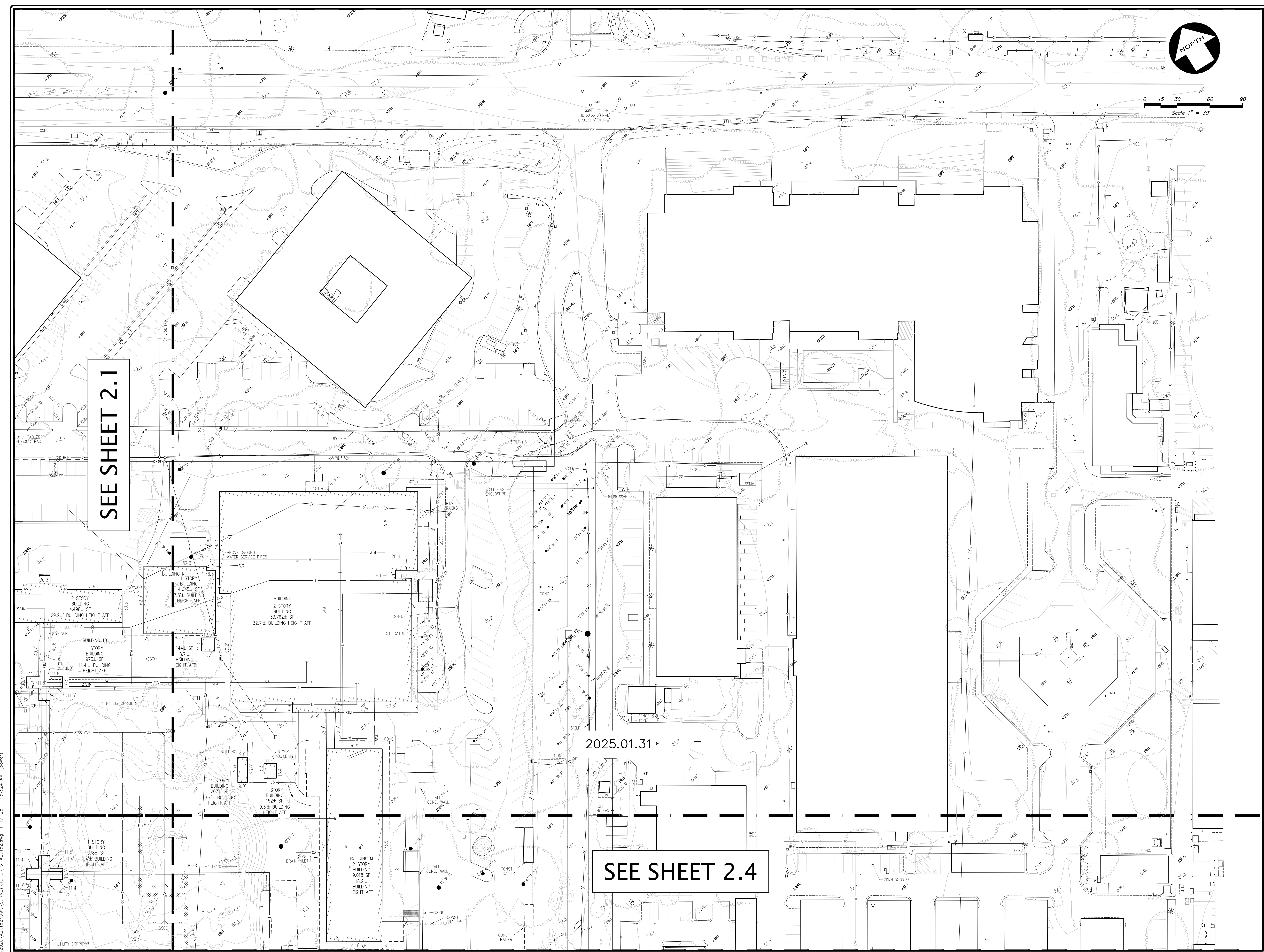
SEE SHEET 2.3

2025.01.31

DATE	OCTOBER, 2024
SCALE	AS SHOWN
SURVEYOR	MJA
DRAWN BY	RLA
JOB NO.	A20152
SHEET	C2.1
OF	44 SHEETS

BY	NO.	REVISION
BY	NO.	REVISION
BY	NO.	REVISION

KIER+WRIGHT		3350 Scott Boulevard, Building 22 San Diego, California 92161 Phone: (408) 727-6665 www.kierwright.com
TOPOGRAPHIC SURVEY		CALIFORNIA
OF		
333 RAVENWOOD AVENUE		
FOR		
LANE PARTNERS		
MENLO PARK		



Scale 1" = 30'

SEE SHEET 2.1

2025.01.31

SEE SHEET 2.4

DATE	OCTOBER, 2024
SCALE	AS SHOWN
SURVEYOR	MJA
DRAWN BY	RLA
JOB NO.	A20152
SHEET	C2.2
OF	44 SHEETS

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BY	NO.
BY	NO.
BY	NO.

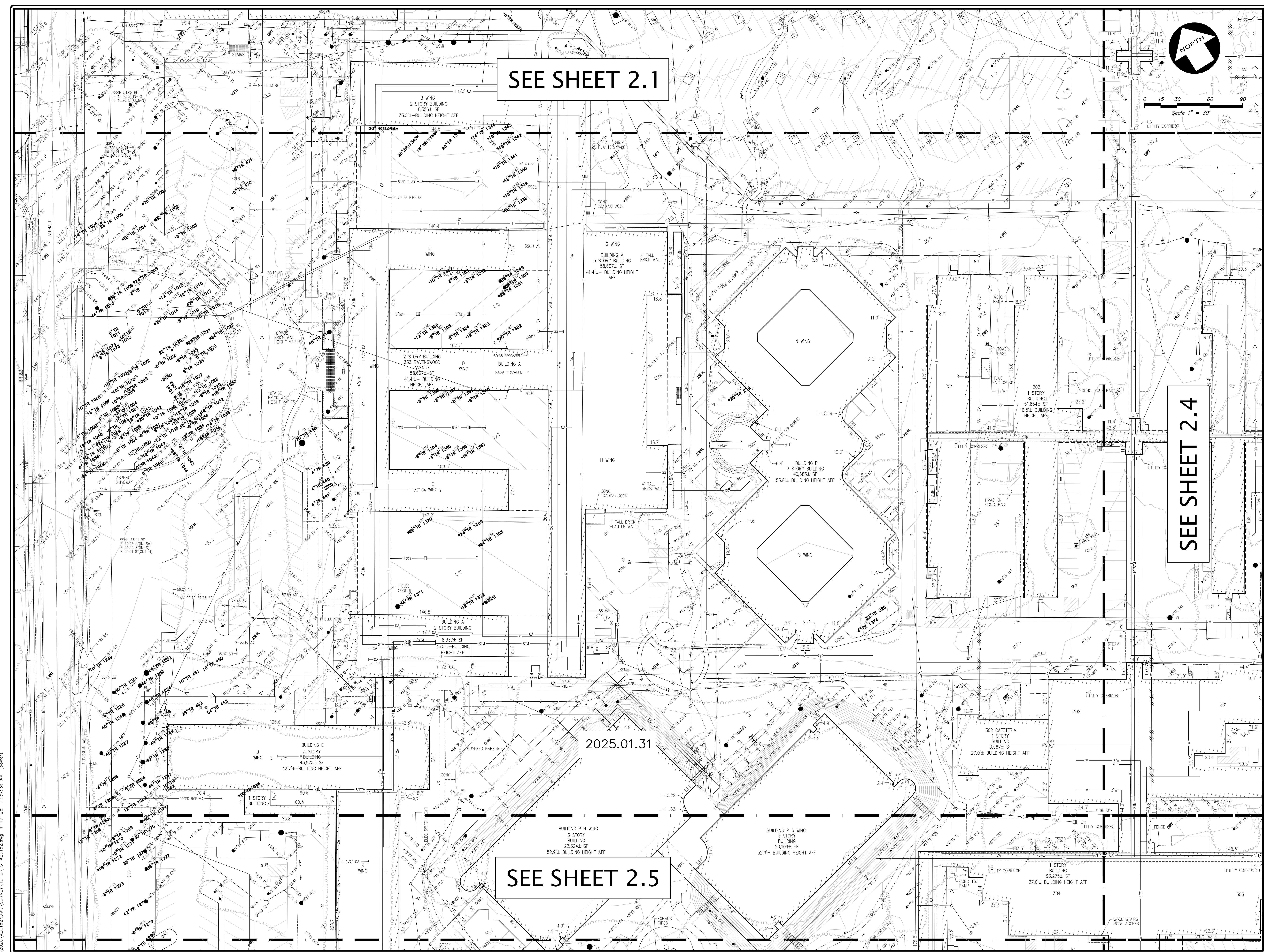
TOPOGRAPHIC SURVEY
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333 RAVENSWOOD AVENUE
FOR
LANE PARTNERS

KIER+WRIGHT

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CALIFORNIA

MENLO PARK



SEE SHEET 2.1

SEE SHEET 2.4

SEE SHEET 2.5



Scale 1" = 30'

2025.01.31

DATE	OCTOBER, 2024
SCALE	AS SHOWN
SURVEYOR	MJA
DRAWN BY	RLA
JOB NO.	A20152
SHEET	C2.3
OF	44 SHEETS

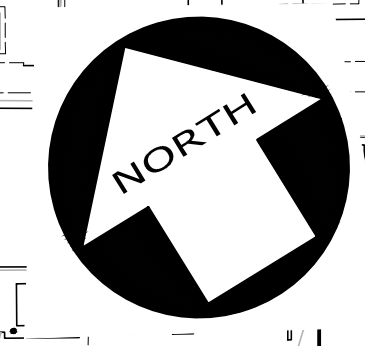
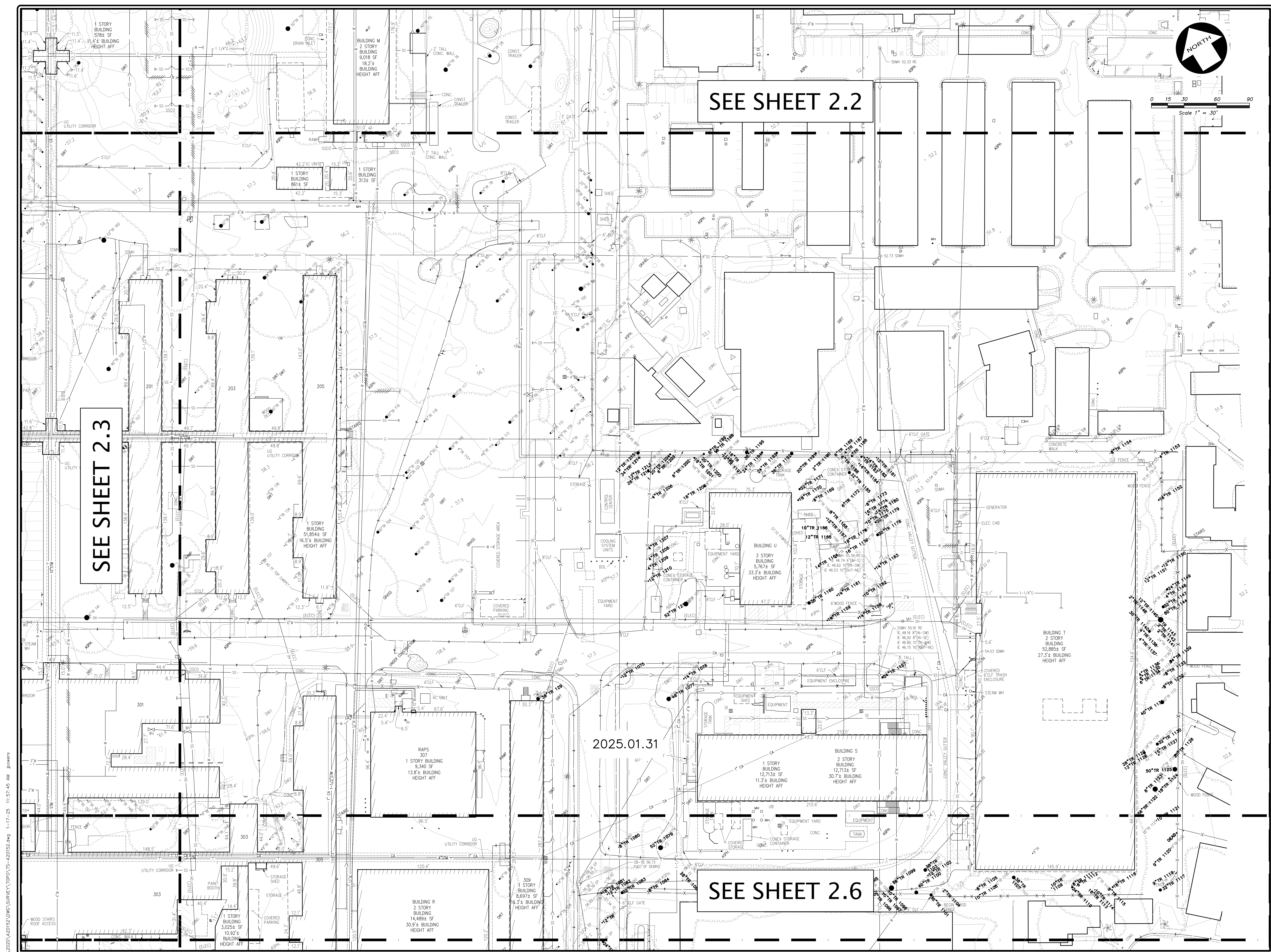
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REVISION	

TOPOGRAPHIC SURVEY
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CALIFORNIA

MENLO PARK



Scale 1" = 30'

NO.	REVISION

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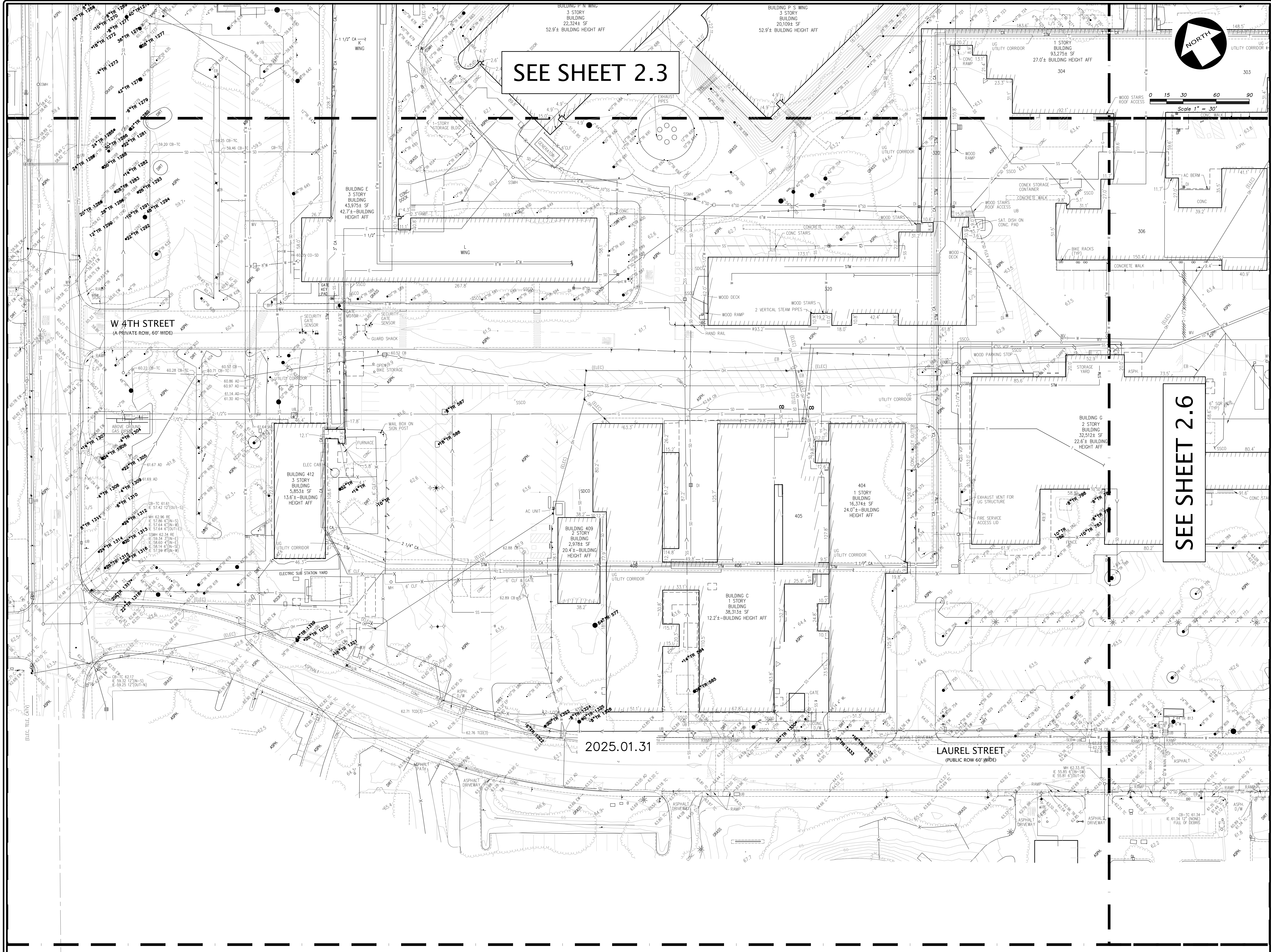
CALIFORNIA

MENLO PARK

DATE OCTOBER, 2024
SCALE AS SHOWN
SURVEYOR MJA
DRAWN BY RLA
JOB NO. A20152
SHEET **C2.4**
OF 44 SHEETS

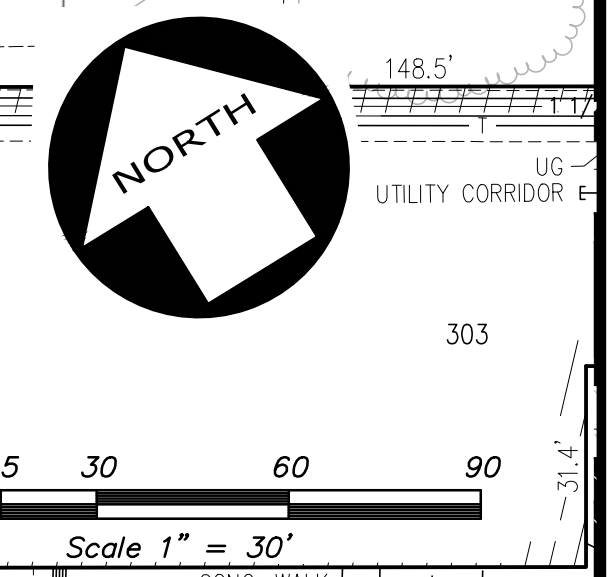
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SEE SHEET 2.3

SEE SHEET 2.6



2025.01.31

DATE	OCTOBER, 2024
SCALE	AS SHOWN
SURVEYOR	MJA
DRAWN BY	RLA
JOB NO.	A20152
SHEET	C2.5
OF	44 SHEETS

NO.	REVISION
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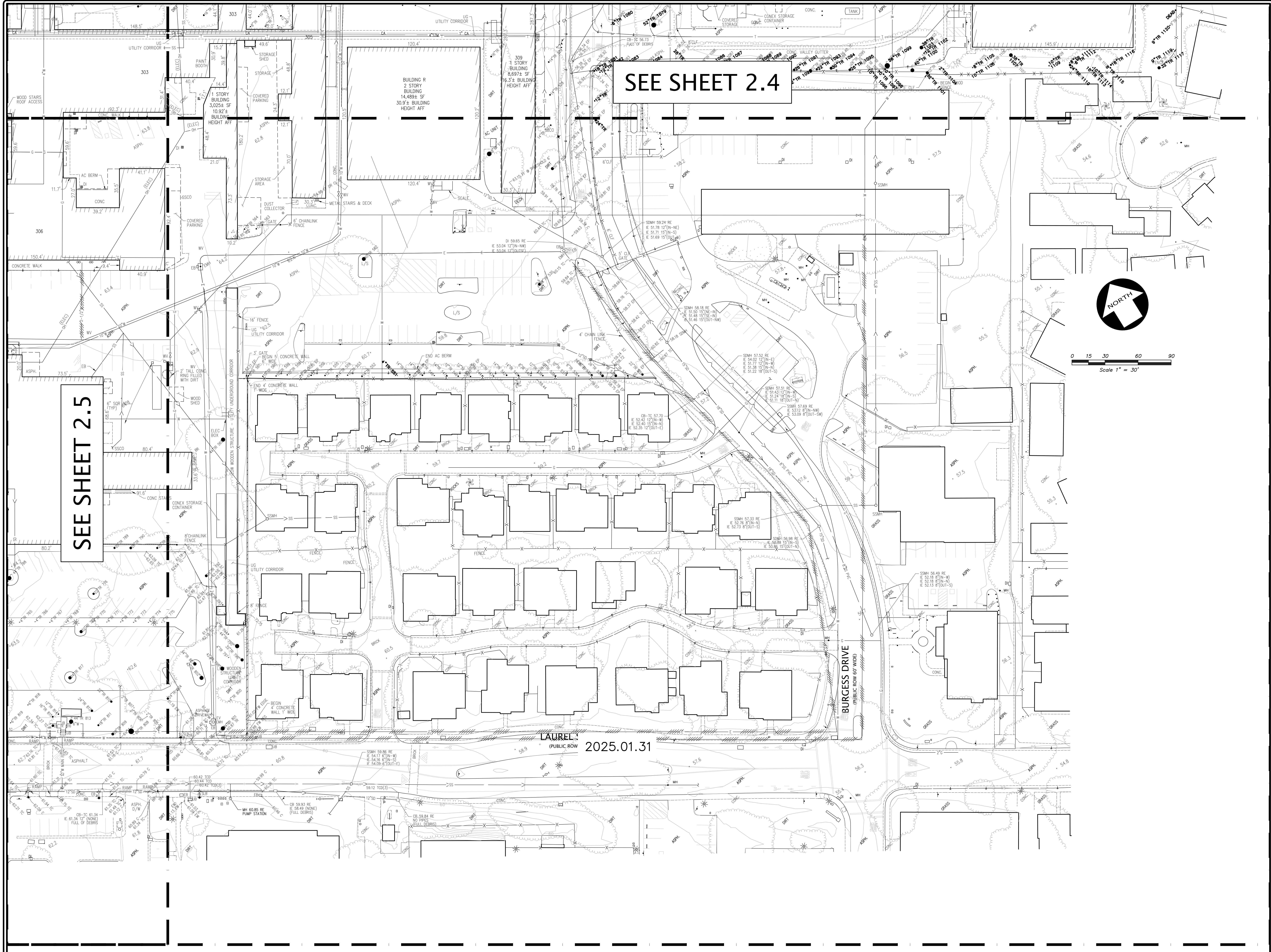
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333 RAVENSWOOD AVENUE
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CALIFORNIA

MENLO PARK

Z:\2020\420152\DWG\SURVEY\TOPO\TS-420152.dwg 1--17--25 11:58:05 AM jowers



SEE SHEET 2.5

SEE SHEET 2.4



0 15 30 60 90
Scale 1" = 30'

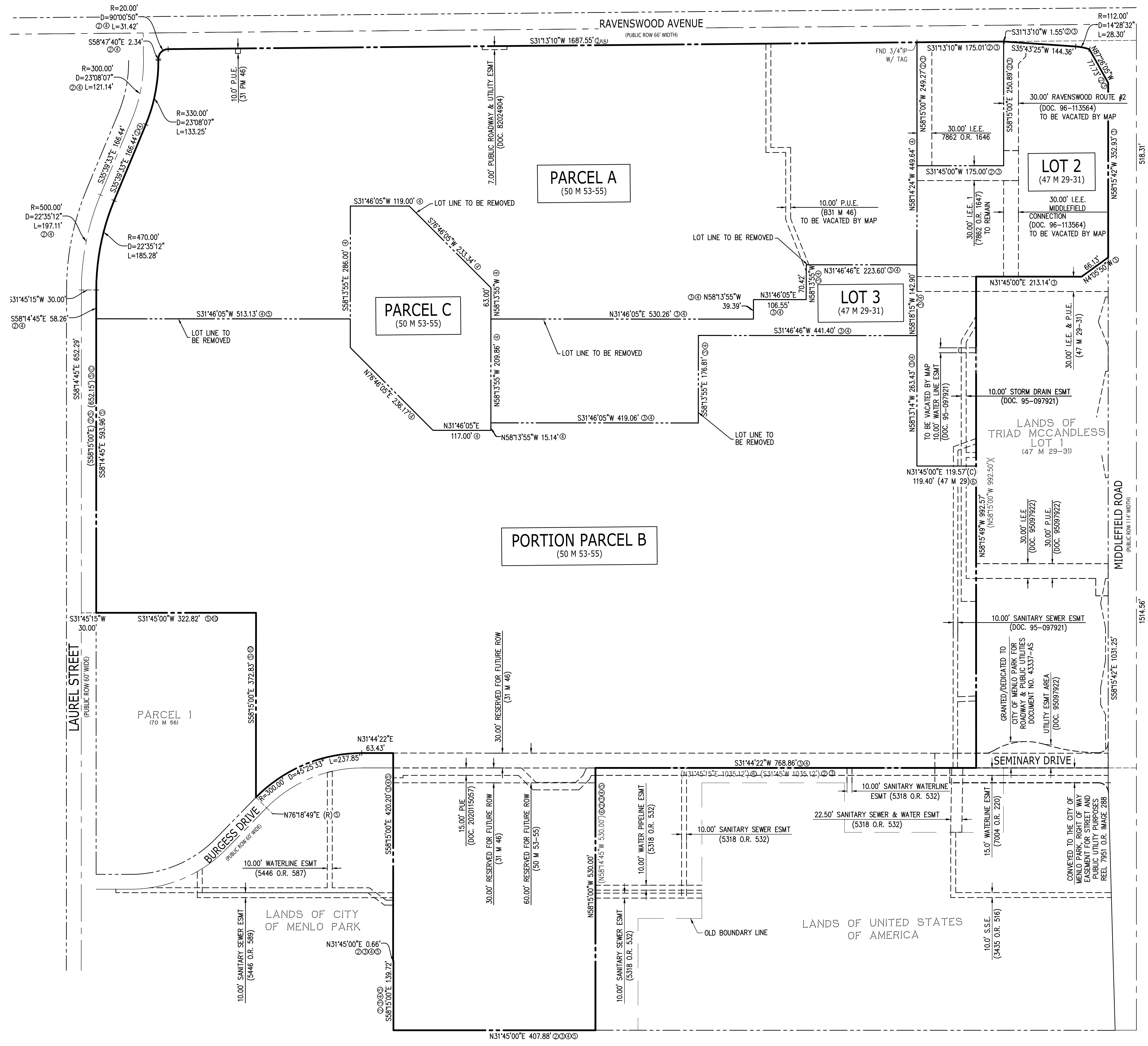
DATE	OCTOBER, 2024
SCALE	AS SHOWN
SURVEYOR	MJA
DRAWN BY	RLA
JOB NO.	A20152
SHEET	C2.6
OF	44 SHEETS

NO.	NO.	NO.	NO.
BY	BY	BY	BY
REVISION	REVISION	REVISION	REVISION

TOPOGRAPHIC SURVEY
OF
333 RAVENSWOOD AVENUE
FOR
LANE PARTNERS

MENLO PARK CALIFORNIA

KIER+WRIGHT
3350 Scott Boulevard, Building 22
San Diego, California 92161
Phone: (488) 727-6665
www.kierwright.com

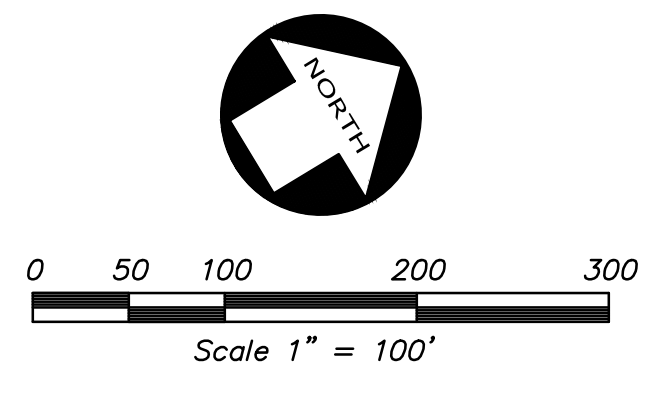


LEGEND & ABBREVIATIONS

	PROPERTY LINE
	ADJACENT PROPERTY LINE
	PROPERTY LINE TO BE REMOVED
	CENTERLINE/MONUMENT LINE, AS NOTED
	EASEMENT LINE
	OLD BOUNDARY LINE
	DOCUMENT NUMBER
	EASEMENT
	INGRESS EGRESS EASEMENT
	OFFICIAL RECORDS
	PUBLIC SERVICE EASEMENT
	PUBLIC UTILITY EASEMENT
	REFERENCE MAP NUMBER
	RIGHT OF WAY
	SIDEWALK EASEMENT
	TOTAL

REFERENCES

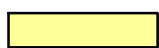


①	RECORD OF SURVEY	3 LLS 66
②	PARCEL MAP	31 PM 46
③	PARCEL MAP	47 PM 29-31
④	PARCEL MAP	50 PM 53-55
⑤	PARCEL MAP	70 PM 56-58
⑥	RECORD OF SURVEY	14 LLS 110
⑦	PARCEL MAP	80 PM 45-46
⑧	JUDGEMENT	1081 OR 75
⑨	RECORD OF SURVEY	36 LLS 84
⑩	SUBDIVISION MAP	128 M 50-52
⑪	SUBDIVISION MAP	126 M 35-420

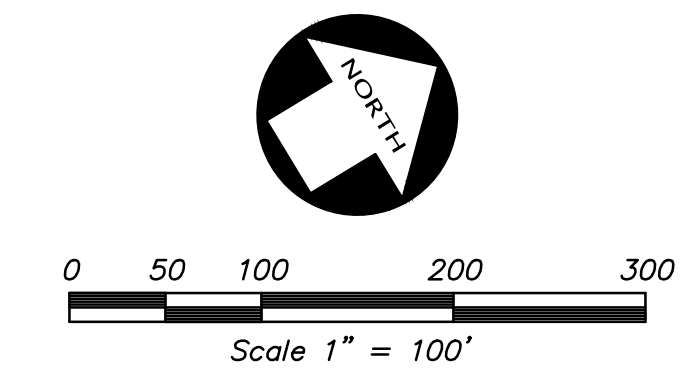
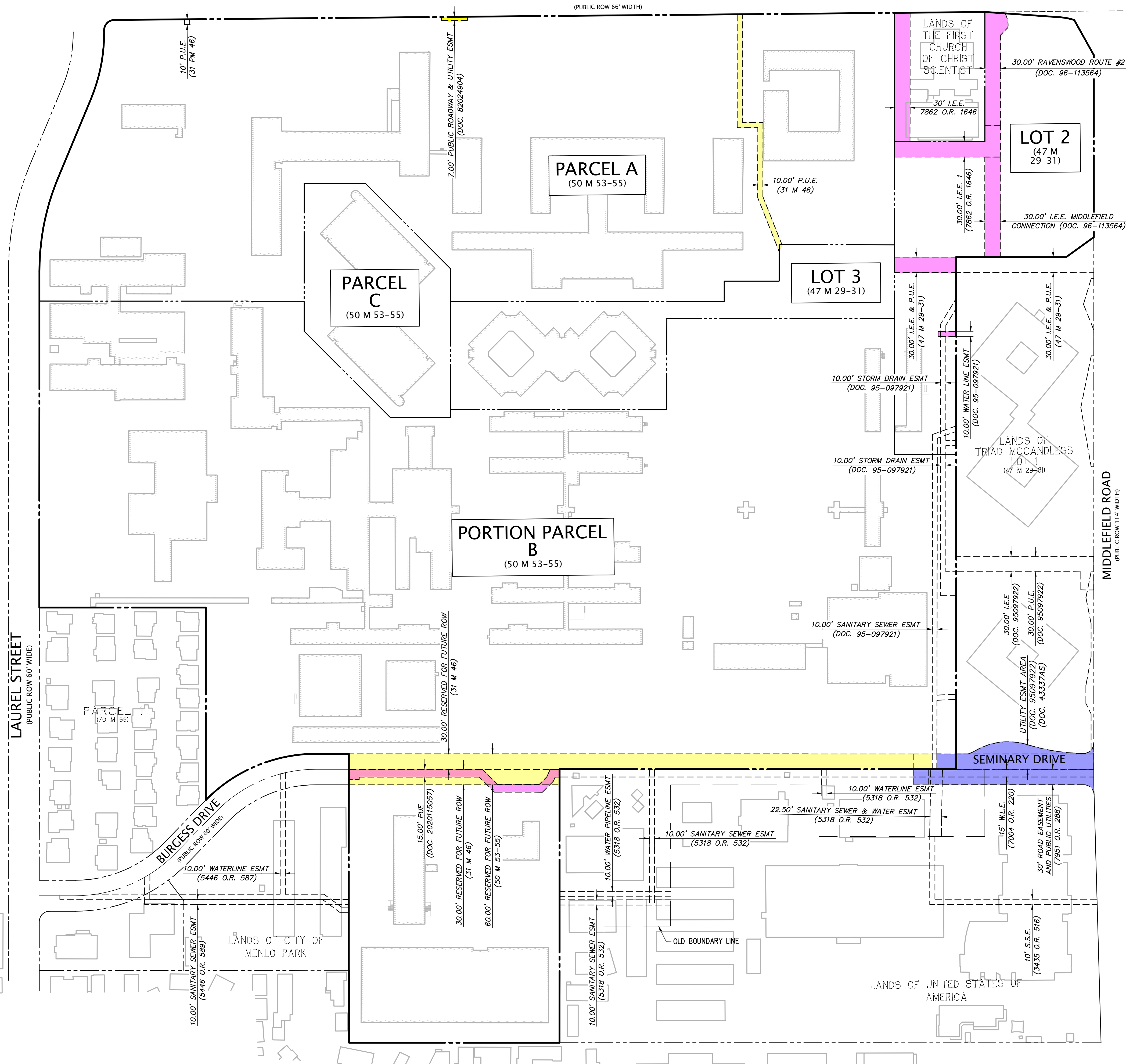


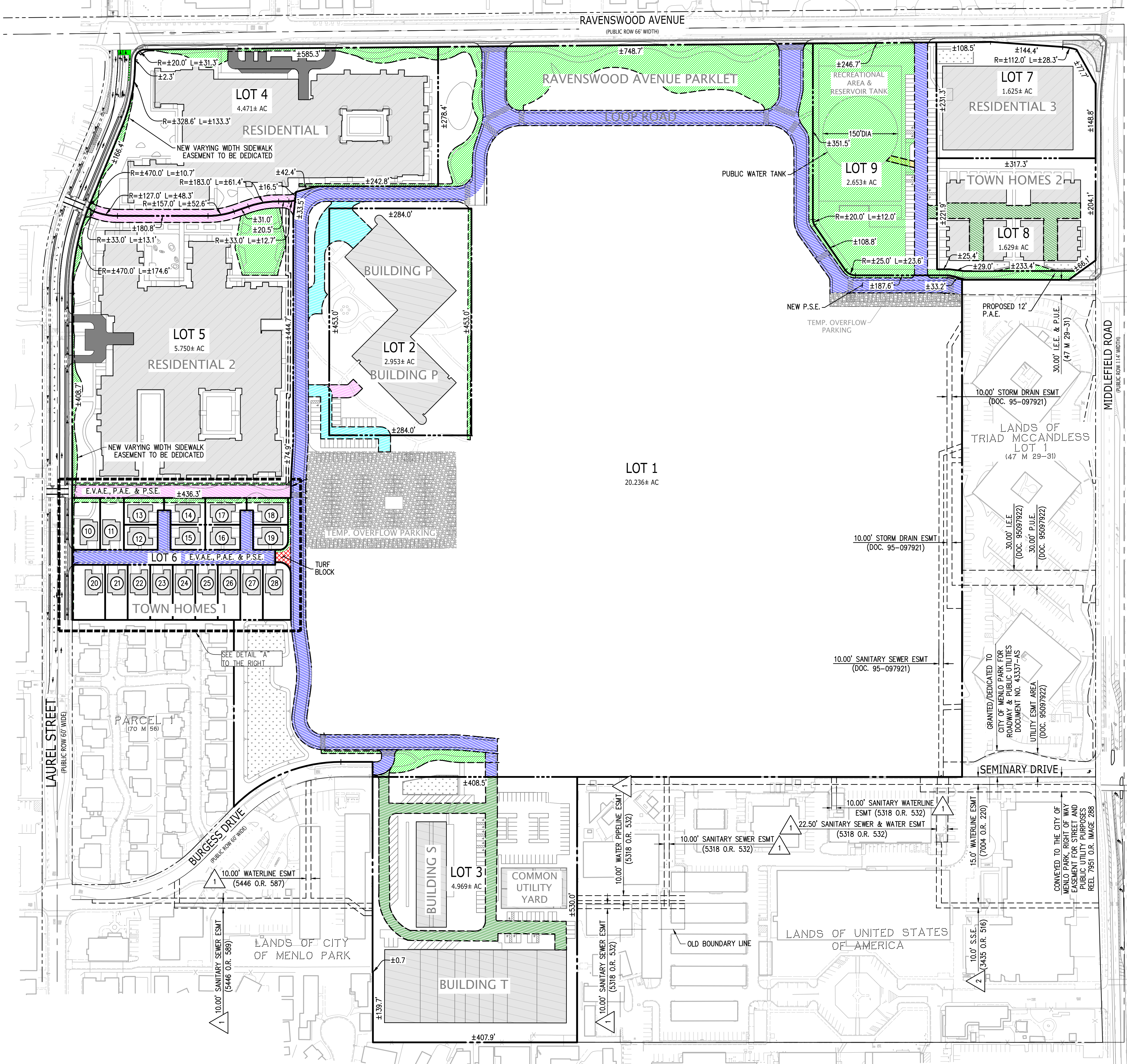
RAVENSWOOD AVENUE

(PUBLIC ROW 66' WIDTH)

LEGEND

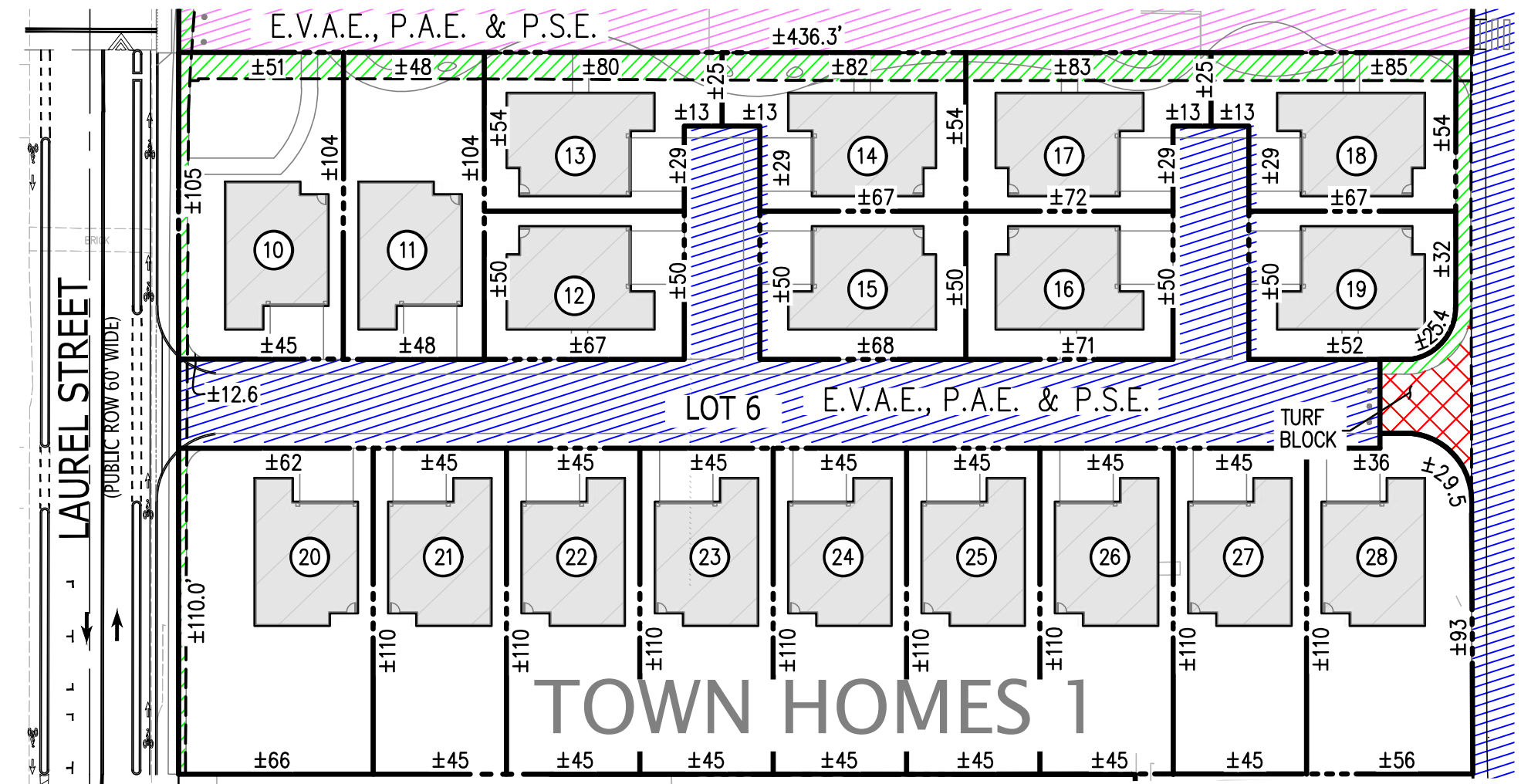
-  PUBLIC EASEMENT TO BE VACATED
-  SEMINARY DRIVE EASEMENTS TO REMAIN
-  PRIVATE EASEMENT TO BE QUITCLAIMED





LEGEND & ABBREVIATIONS

- PROPERTY LINE
- BOUNDARY LOT LINE
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- DOCUMENT NUMBER
- EASEMENT
- INGRESS EGRESS EASEMENT
- OFFICIAL RECORDS
- PUBLIC SERVICE EASEMENT
- REFERENCE MAP NUMBER
- RIGHT OF WAY
- SIDEWALK EASEMENT
- TOTAL
- PROPOSED PUBLIC SERVICE EASEMENT (P.S.E., P.A.E. & E.V.A.E.) AC PAVEMENT
- PROPOSED PUBLIC ACCESS EASEMENT (P.A.E.) PCC PAVEMENT FOR WALKWAYS
- PROPOSED EMERGENCY VEHICLE ACCESS EASEMENT (E.V.A.E.) AC PAVEMENT
- PROPOSED EMERGENCY VEHICLE ACCESS EASEMENT (E.V.A.E.) AND PUBLIC ACCESS EASEMENT (P.A.E.) AND PUBLIC SERVICE EASEMENT (P.S.E.) MATERIAL VARIES SURFACE TO COMPLY WITH H2O LOADING, (SEE LANDSCAPE PLANS)
- PROPOSED SHARED BIKE AND TRAIL ACCESS EASEMENT (B.T.A.E.) AC PAVEMENT
- PROPOSED PUBLIC SERVICE EASEMENT (P.S.E.) AND EMERGENCY ACCESS EASEMENT (E.V.A.E.) AC PAVEMENT
- PROPOSED 12' WIDE PUBLIC SERVICE EASEMENT (P.S.E.) AND (P.A.E.) PCC PAVEMENT FOR WALKWAYS
- PROPOSED TURF BLOCK
- PROPOSED AC PAVEMENT

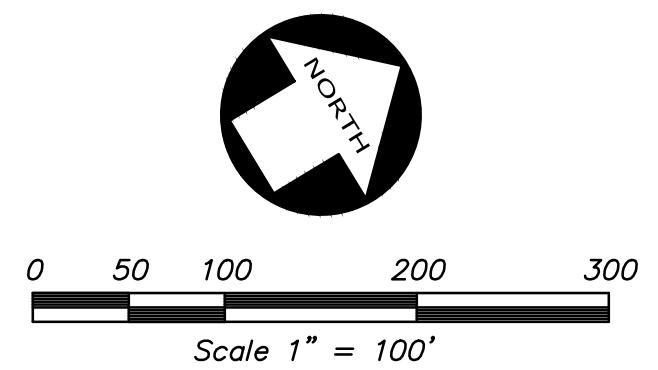


DETAIL "A"
SCALE: 1"=50'

PARCEL #	AREA (ACRES)
1	37.765
2	2.953
3	4.969
4	4.471
5	5.743
6	0.346
7	1.625
8	1.629
9	2.653
10	0.135
11	0.115
12	0.072
13	0.100
14	0.103

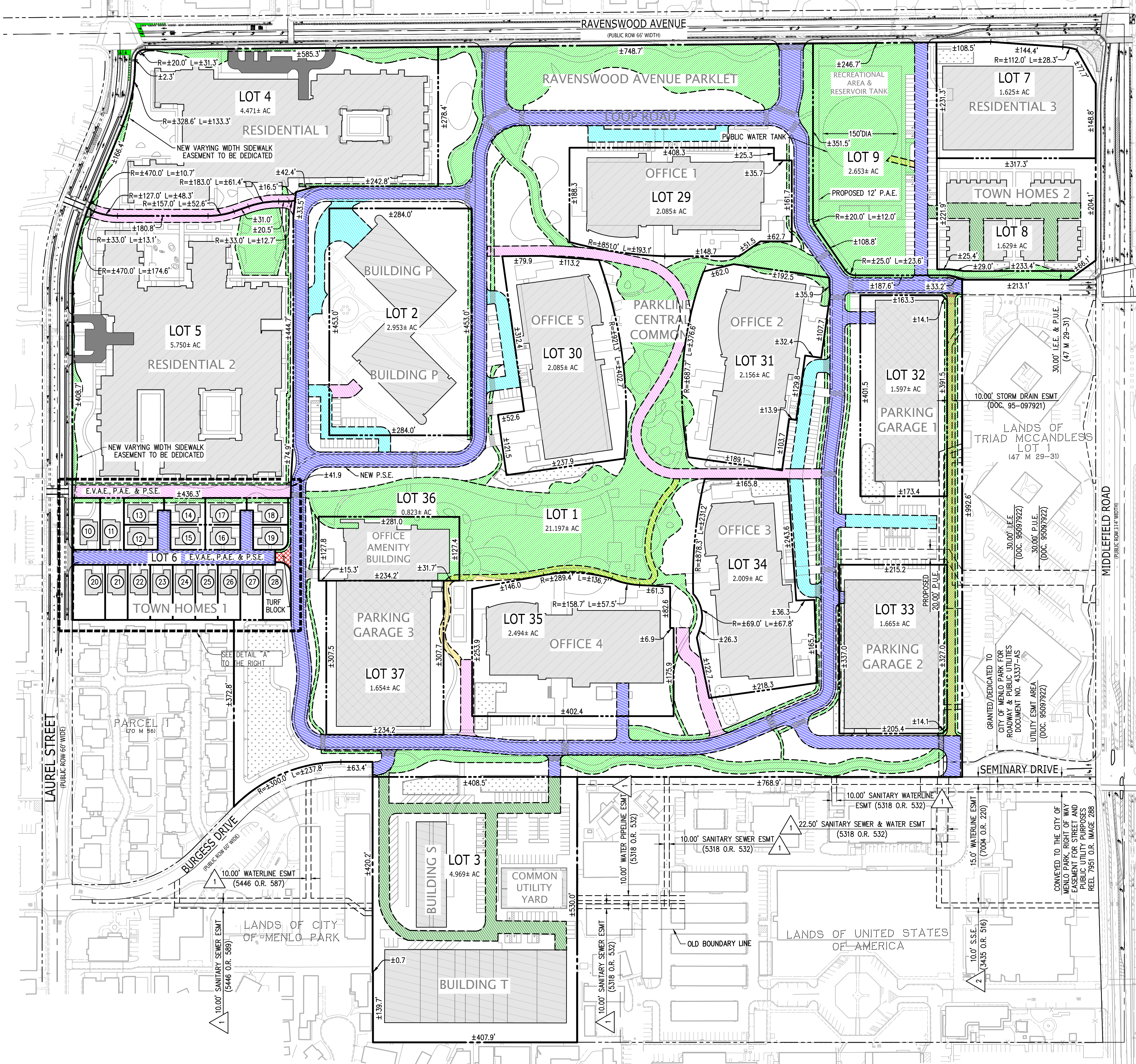
PARCEL #	AREA (ACRES)
15	0.075
16	0.075
17	0.103
18	0.106
19	0.076
20	0.169
21	0.116
22	0.116
23	0.116
24	0.116
25	0.116
26	0.116
27	0.116
28	0.133

AREA TOTAL	ACRES
1-28	46.699±



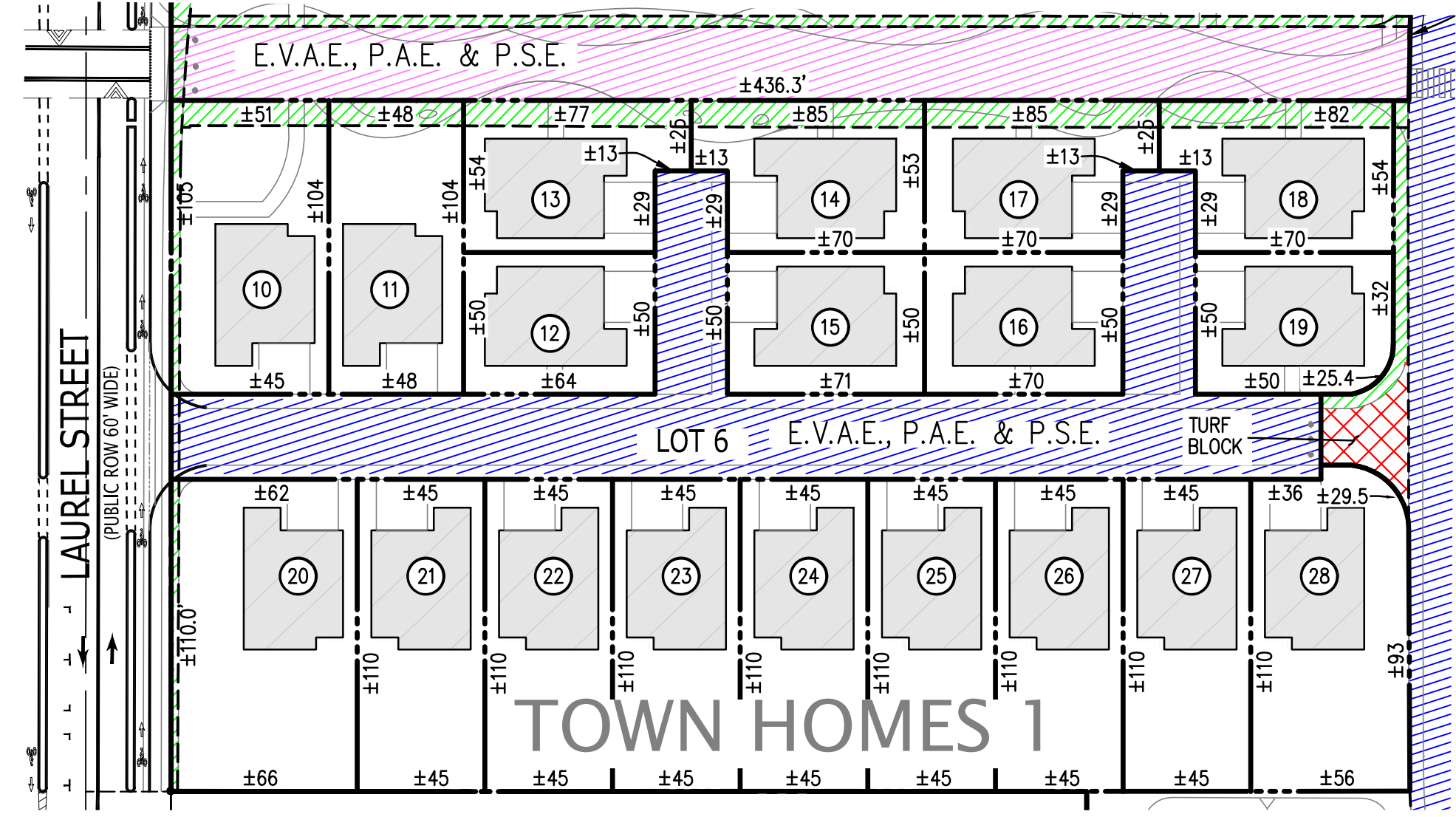
EASEMENT NOTE

- 1 EASEMENT IS GRANTED TO STANFORD RESEARCH INSTITUTE FOR PUBLIC SEWER
- 2 EASEMENT IS GRANTED TO THE BOARD OF TRUSTEES OF THE LELAND STANFORD JUNIOR UNIVERSITY FOR PUBLIC SEWER



LEGEND & ABBREVIATIONS

- PROPERTY LINE
- BOUNDARY LOT LINE
- ADJACENT PROPERTY LINE
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- EASEMENT
- INGRESS EGRESS EASEMENT
- OFFICIAL RECORDS
- PUBLIC SERVICE EASEMENT
- REFERENCE MAP NUMBER
- RIGHT OF WAY
- SIDEWALK EASEMENT
- TOTAL
- PROPOSED PUBLIC SERVICE EASEMENT (P.S.E., P.A.E. & E.V.A.E.) AC PAVEMENT
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- PROPOSED TURF BLOCK
- PROPOSED AC PAVEMENT

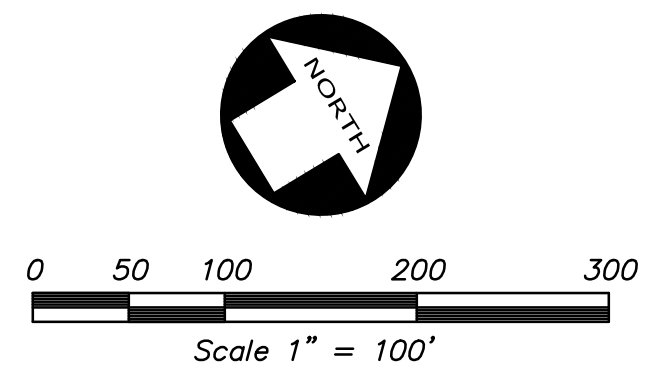


DETAIL "A"
SCALE: 1"=50'

PARCEL #	AREA (ACRES)
1	21.197
2	2.953
3	4.969
4	4.471
5	5.743
6	0.346
7	1.625
8	1.629
9	2.653
10	0.135
11	0.115
12	0.072
13	0.100
14	0.103
15	0.075
16	0.075
17	0.103
18	0.106
19	0.076
20	0.169

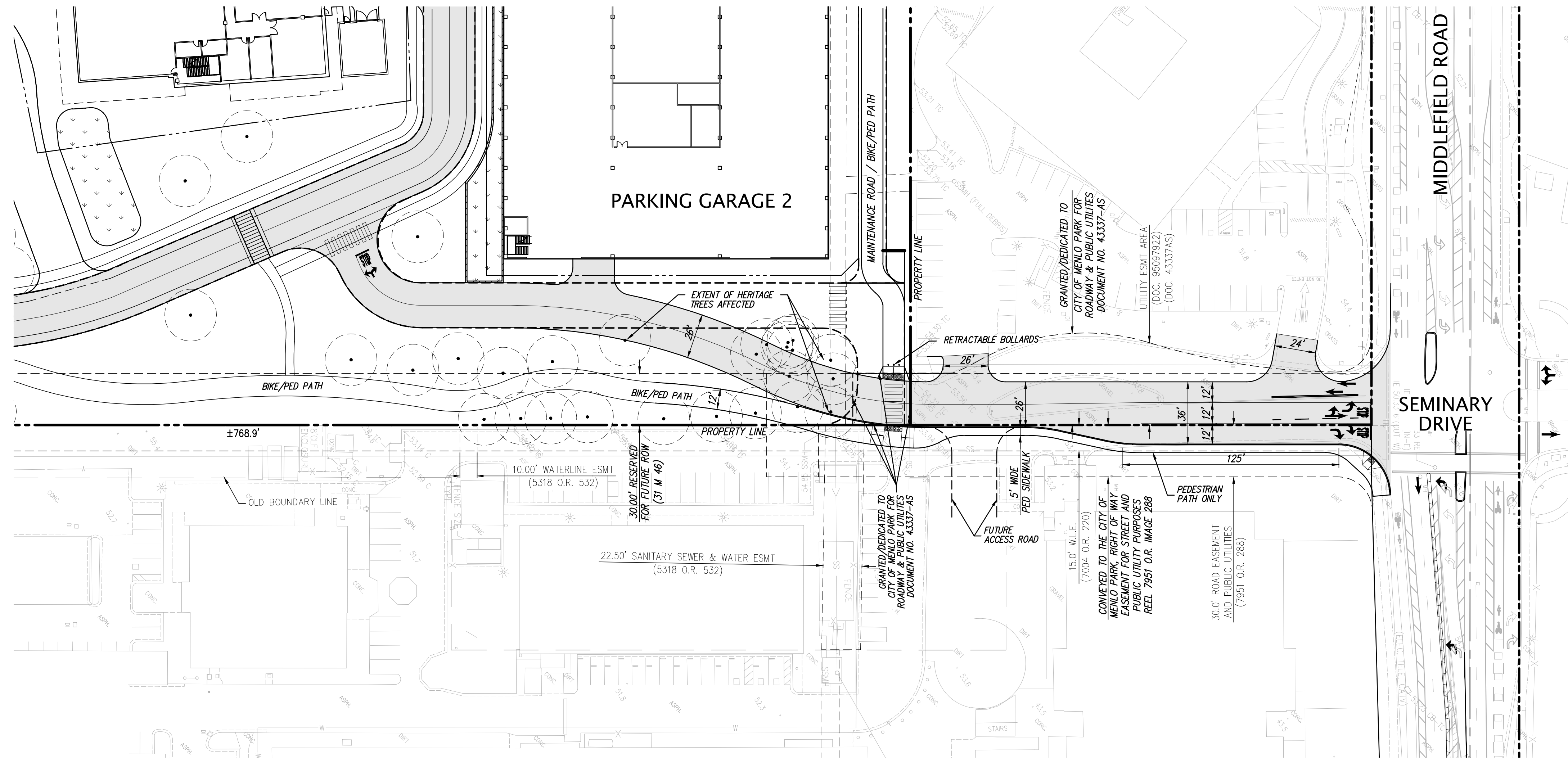
PARCEL #	AREA (ACRES)
21	0.116
22	0.116
23	0.116
24	0.116
25	0.116
26	0.116
27	0.116
28	0.133
29	2.085
30	2.085
31	2.156
32	1.597
33	1.665
34	2.009
35	2.494
36	0.823
37	1.654

AREA TOTAL	ACRES
1-37	64.277±

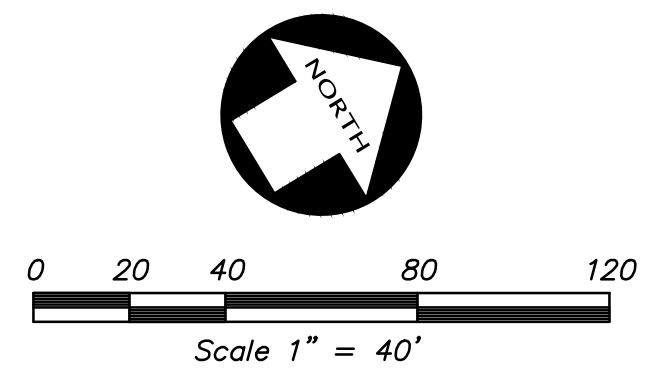


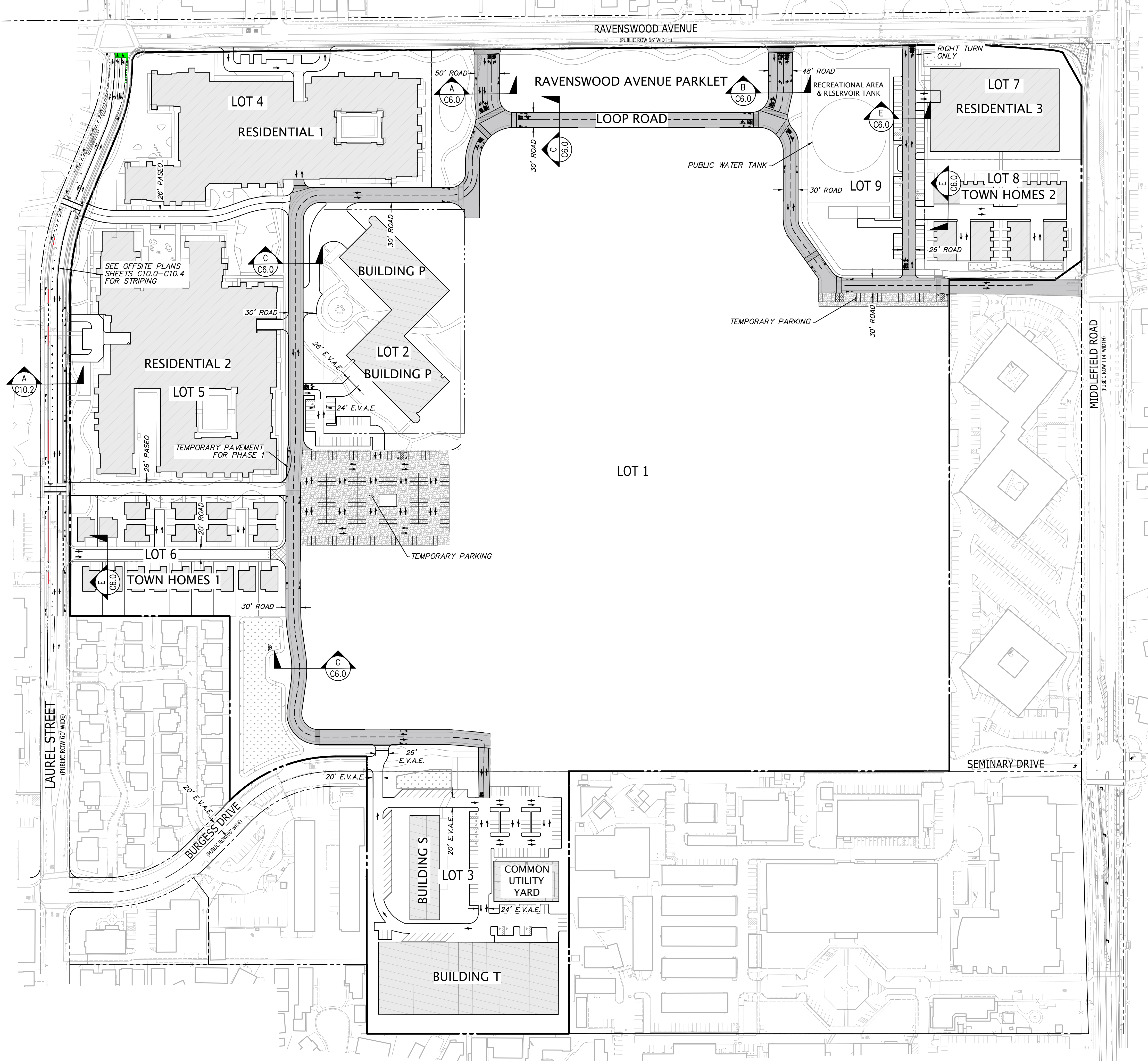
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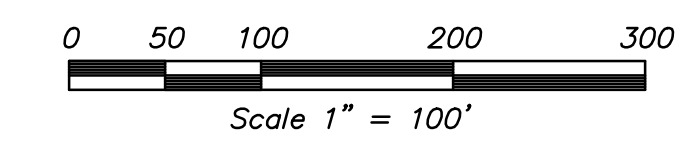
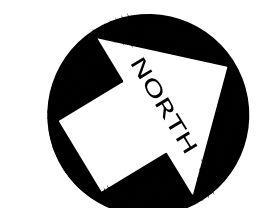
NOTE:
 THIS EXHIBIT IS A PRELIMINARY PROPOSED OPTION, WHICH IS STILL UNDER REVIEW.



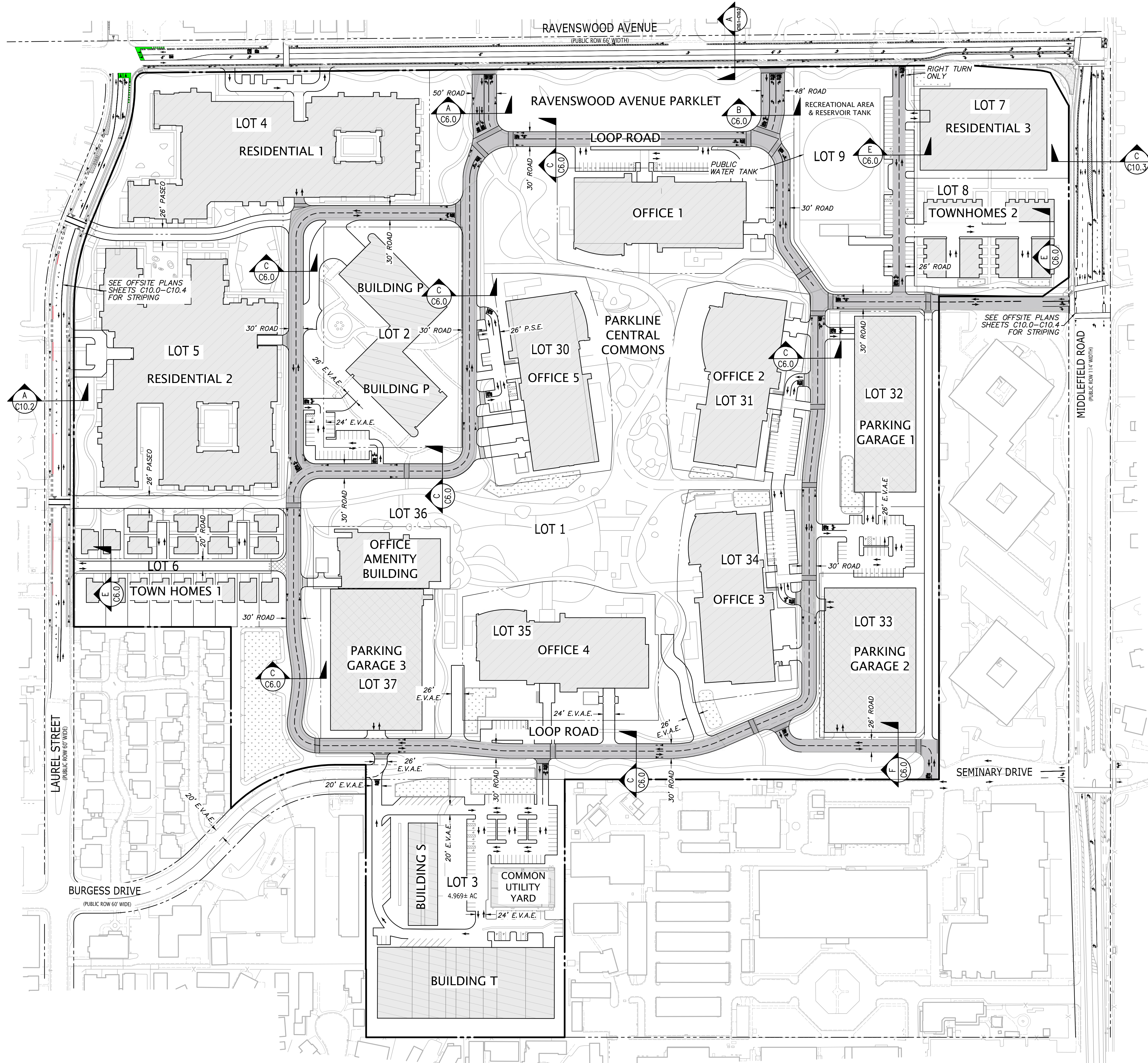


LEGEND & ABBREVIATIONS



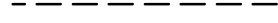










- RED CURB
- CENTERLINE
- EMERGENCY VEHICLE ACCESS EASEMENT
- SINGLE INBOUND LANE STRIPING
- VEHICULAR PATH OF TRAVEL FOR MAJOR ROADWAYS
- CROSSWALK
- STOP WITH 50' STOP BAR
- TRAFFIC ARROWS
- TRAFFIC ARROWS
- TRAFFIC ARROWS
- TRAFFIC ARROWS
- BIKE LEGEND

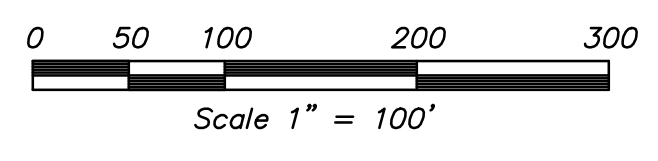
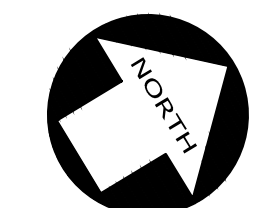


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LEGEND & ABBREVIATIONS

-  RED CURB
-  CENTERLINE
-  EMERGENCY VEHICLE ACCESS EASEMENT
-  SINGLE INBOUND LANE STRIPING
-  VEHICULAR PATH OF TRAVEL FOR MAJOR ROADWAYS
-  CROSSWALK
-  STOP WITH 50' STOP BAR
-  TRAFFIC ARROWS
-  TRAFFIC ARROWS
-  TRAFFIC ARROWS
-  TRAFFIC ARROWS
-  TRAFFIC ARROWS
-  BIKE LEGEND



RAVENSWOOD AVENUE

RAVENSWOOD AVENUE PARKLET
LOOP ROAD

RESIDENTIAL 1

RECREATIONAL AREA & RESERVOIR TANK
PUBLIC WATER TANK

RESIDENTIAL 3

TOWNHOMES 2

RINGWOOD AVENUE

BUILDING P

RESIDENTIAL 2

BUILDING P

TEMP. OVERFLOW PARKING

TOWN HOMES 1

RETRACTABLE BOLLARDS

MIDDLEFIELD ROAD

SEMINARY DRIVE

BURGESS DRIVE

BUILDING S

COMMON UTILITY YARD

BUILDING T

EMERGENCY VEHICLE ACCESS ONLY. NOT INTENDED FOR AERIAL APPARATUS ACCESS

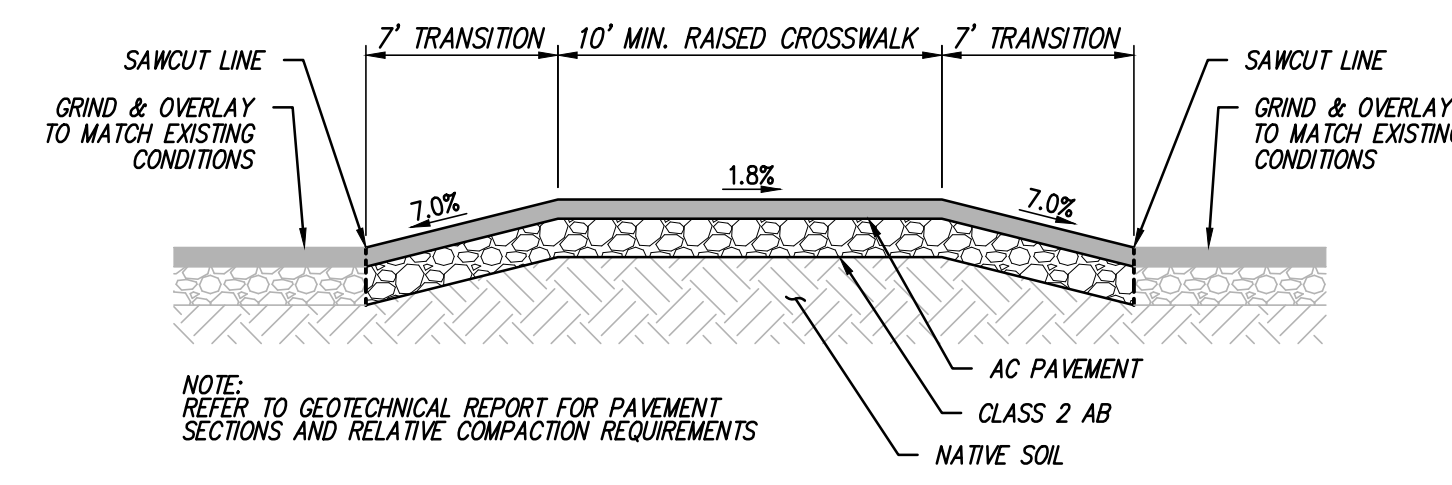
GRANTED DEDICATED TO CITY PARK FOR TRAILWAY & PUBLIC UTILITIES DOCUMENT NO. 43337-AS UTILITY ESMT AREA (DOC. 95097922)

CONVEYED TO THE CITY OF WINDY PARK RIGHT OF WAY EASEMENT FOR STREET AND PUBLIC UTILITY PURPOSES REEL 7951 O.R. IMAGE 288

15' WATERLINE ESMT (7004 O.R. 220)

LEGEND

- PROPOSED BUILDING
- PROPOSED GARAGE
- EXISTING BUILDING TO REMAIN
- PROPOSED AERIAL ACCESS ROAD
- FIRE ACCESS ROAD
- AC PAVEMENT
- 150' HOSE PULL
- FIRE HYDRANT

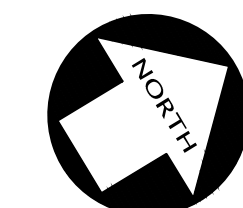


RAISED PEDESTRIAN CROSSWALK

1

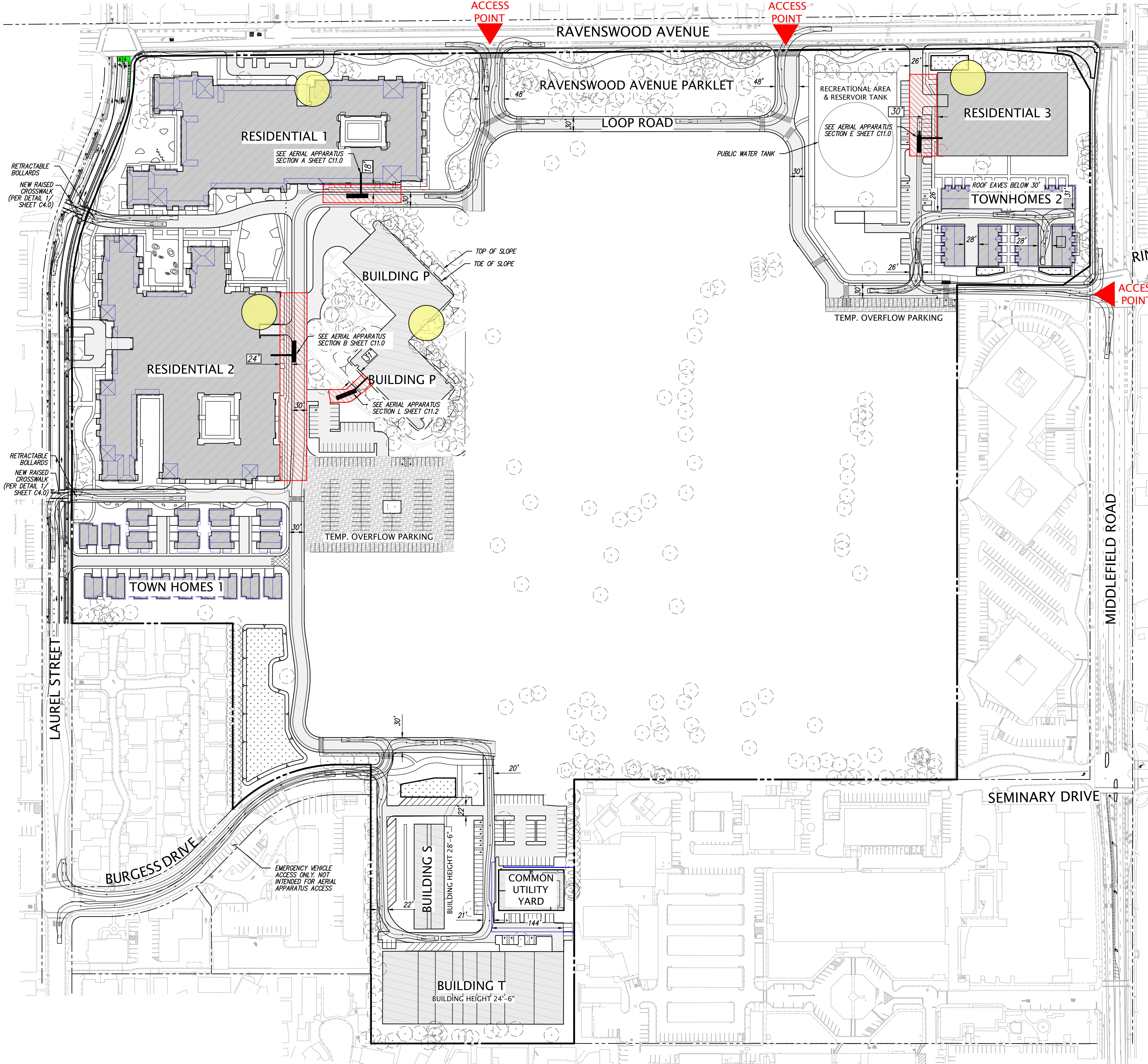


EXAMPLE OF RAISED CROSSWALK



0 50 100 200 300
Scale 1" = 100'

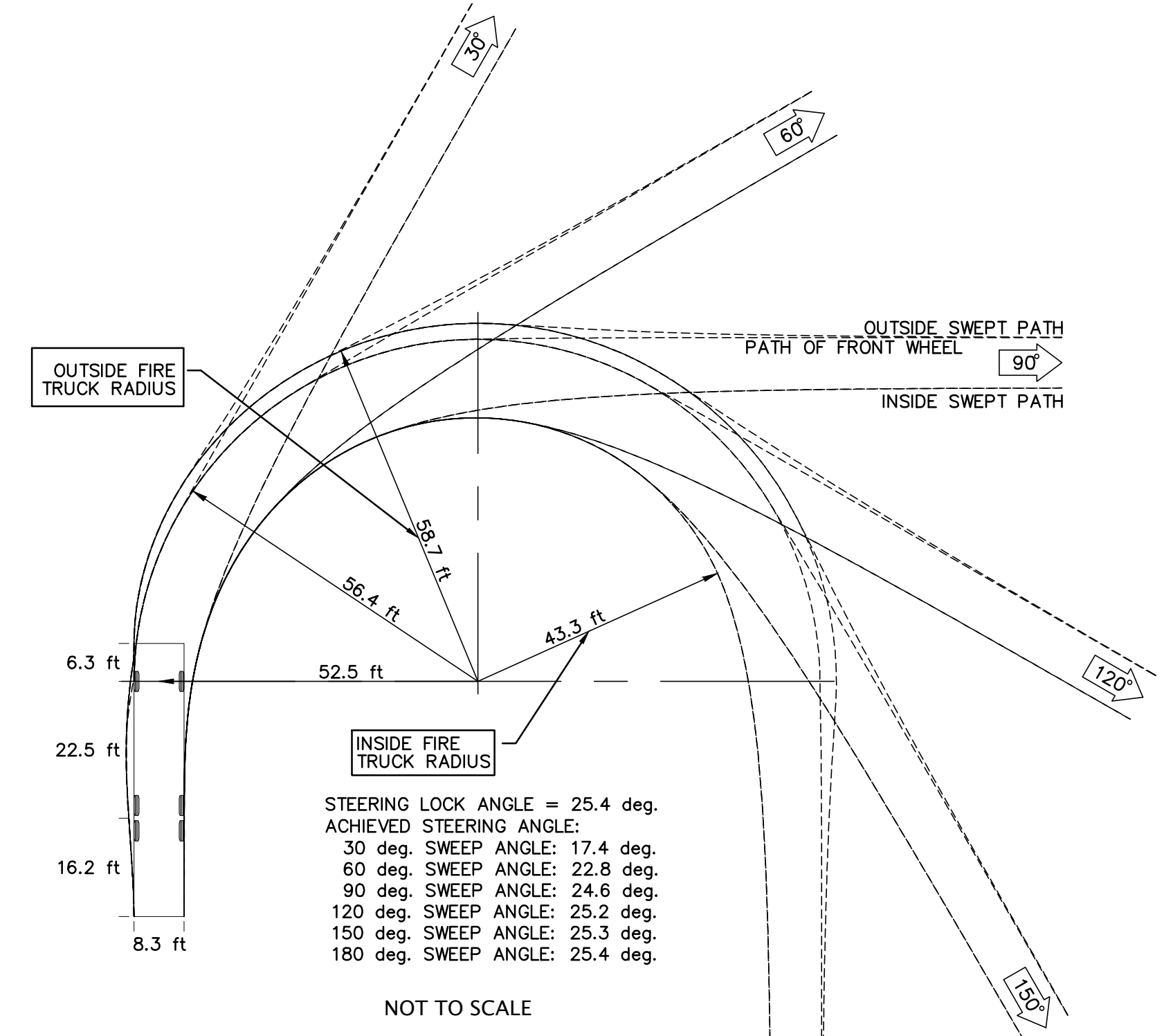
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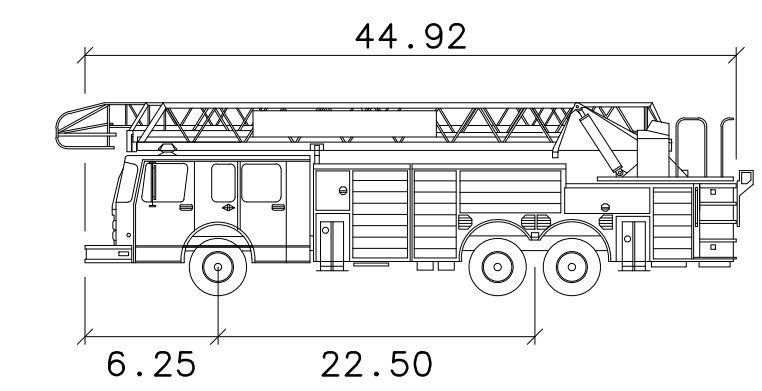
LEGEND

- PROPOSED BUILDING
- PROPOSED GARAGE
- EXISTING BUILDING TO REMAIN
- FIRE TRUCK AERIAL APPARATUS STAGING AREA
- BUILDING ROOF OVERHANG
- FIRE HYDRANT
- AERIAL APPARATUS FIRE TRUCK
- DIMENSION FOR AERIAL APPARATUS BETWEEN 15'-30', ANYTHING OUTSIDE THOSE DIMENSIONS REFER TO AERIAL APPARATUS CROSS SECTIONS SHEETS C11.0
- AERIAL APPARATUS ACCESS POINT
- STAIR TO ROOF WITH GROUND FLOOR EXTERIOR ACCESS

NOTE: SEE SHEET C4.0 FOR AERIAL ACCESS (26' WIDE ROADS) AND FIRE ACCESS ROAD (20' WIDE ROADS)



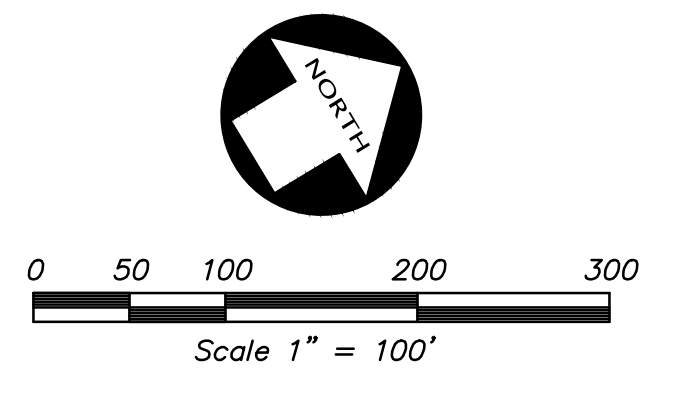
MENLO PARK
Emergency Vehicles
(ft)
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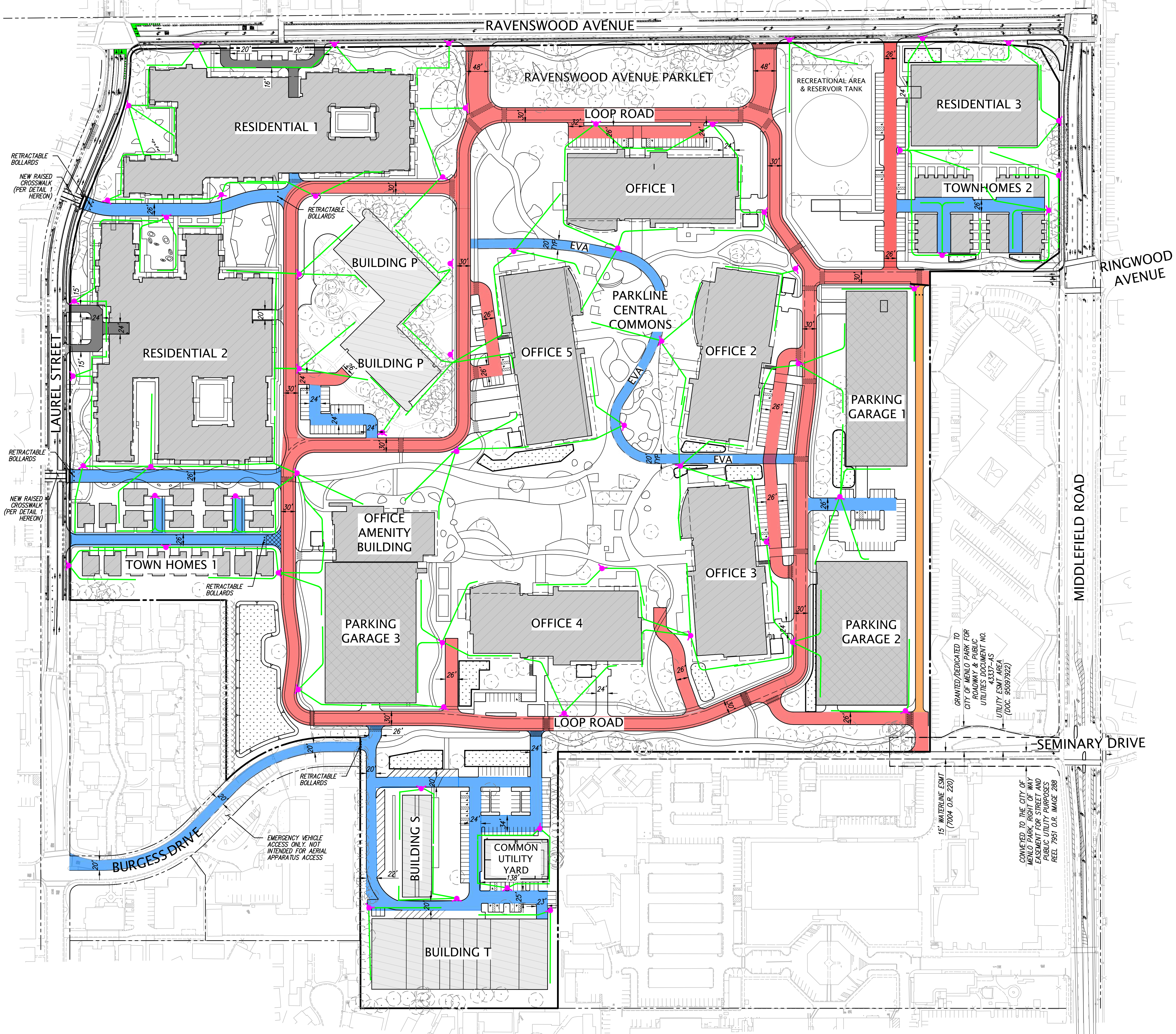


MENLO PARK

feet

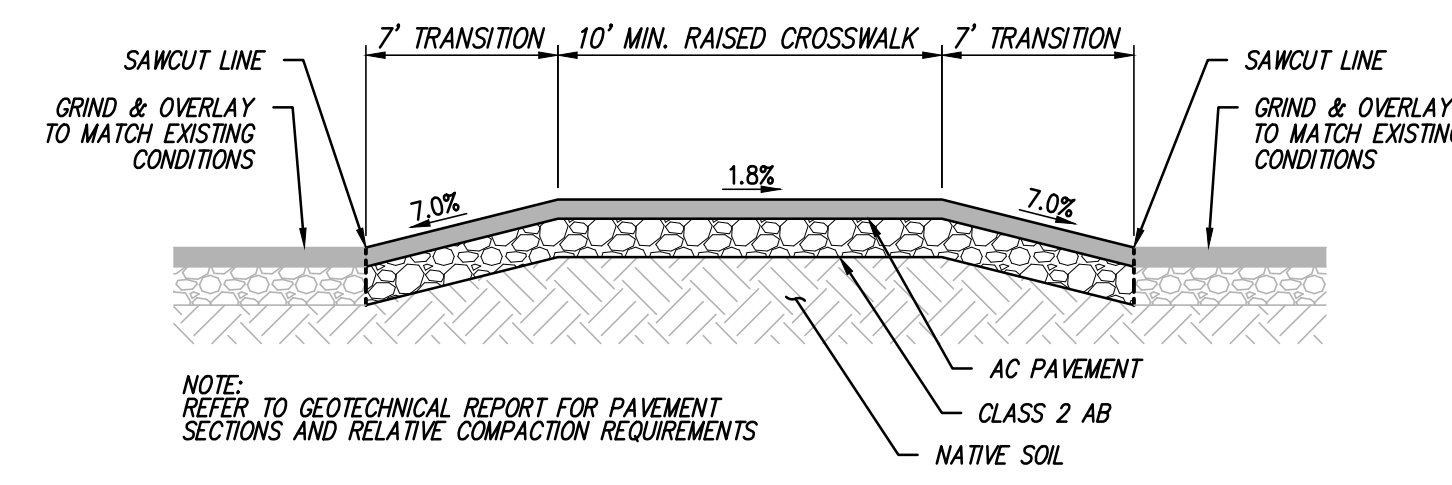
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 Track : 8.25
 Lock to Lock Time: 6.0
 Steering Angle : 25.4





LEGEND

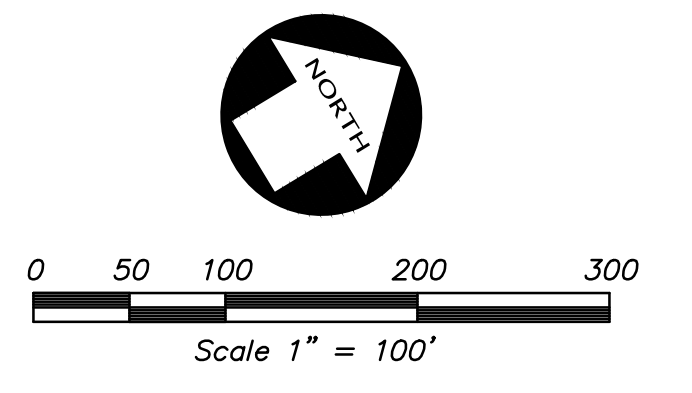
- PROPOSED BUILDING
- PROPOSED GARAGE
- EXISTING BUILDING TO REMAIN
- PROPOSED AERIAL ACCESS ROAD
- FIRE ACCESS ROAD
- MAINTENANCE ROAD
- AC PAVEMENT
- 150' HOSE PULL
- FIRE HYDRANT



RAISED PEDESTRIAN CROSSWALK ①

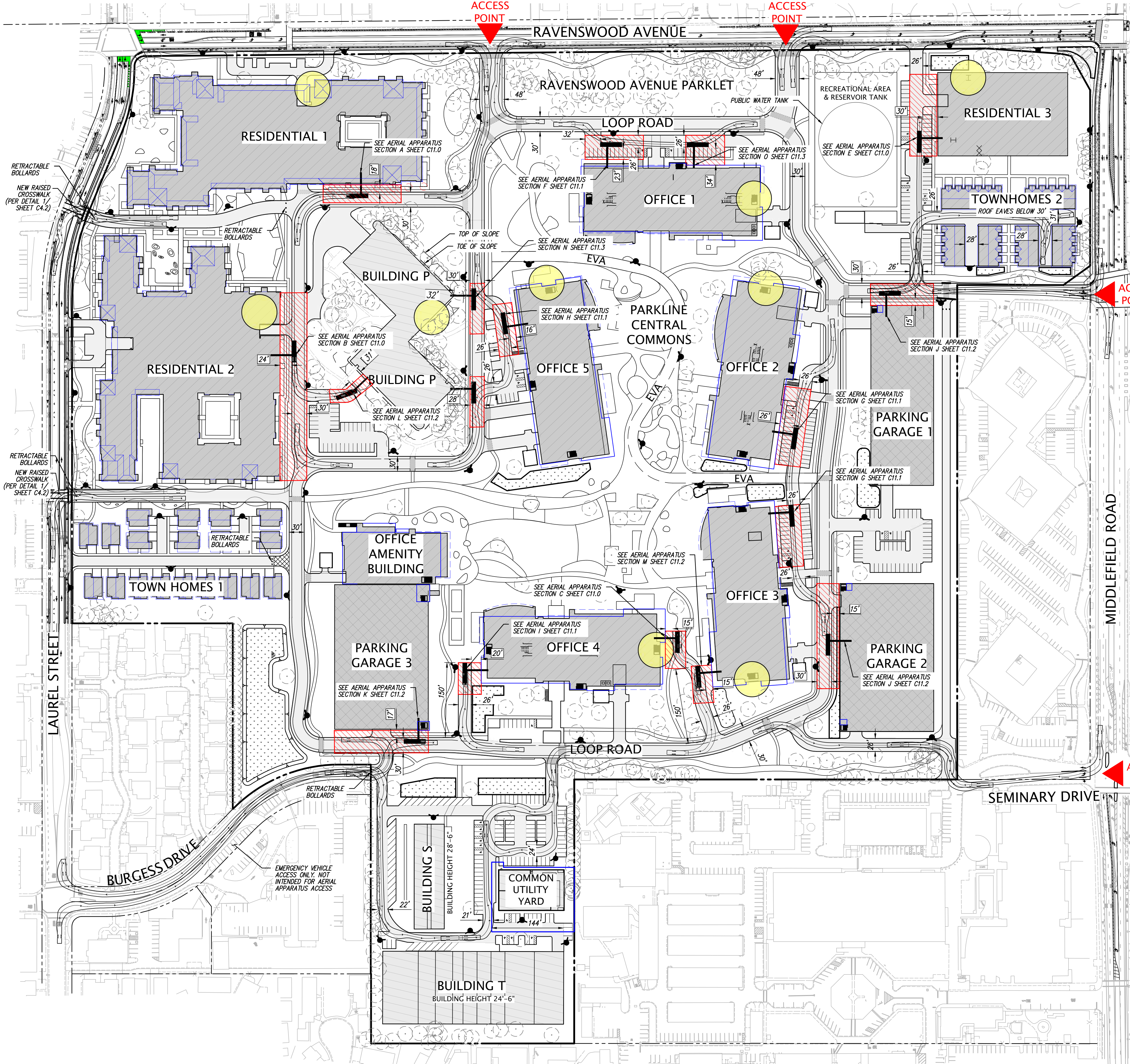


EXAMPLE OF RAISED CROSSWALK



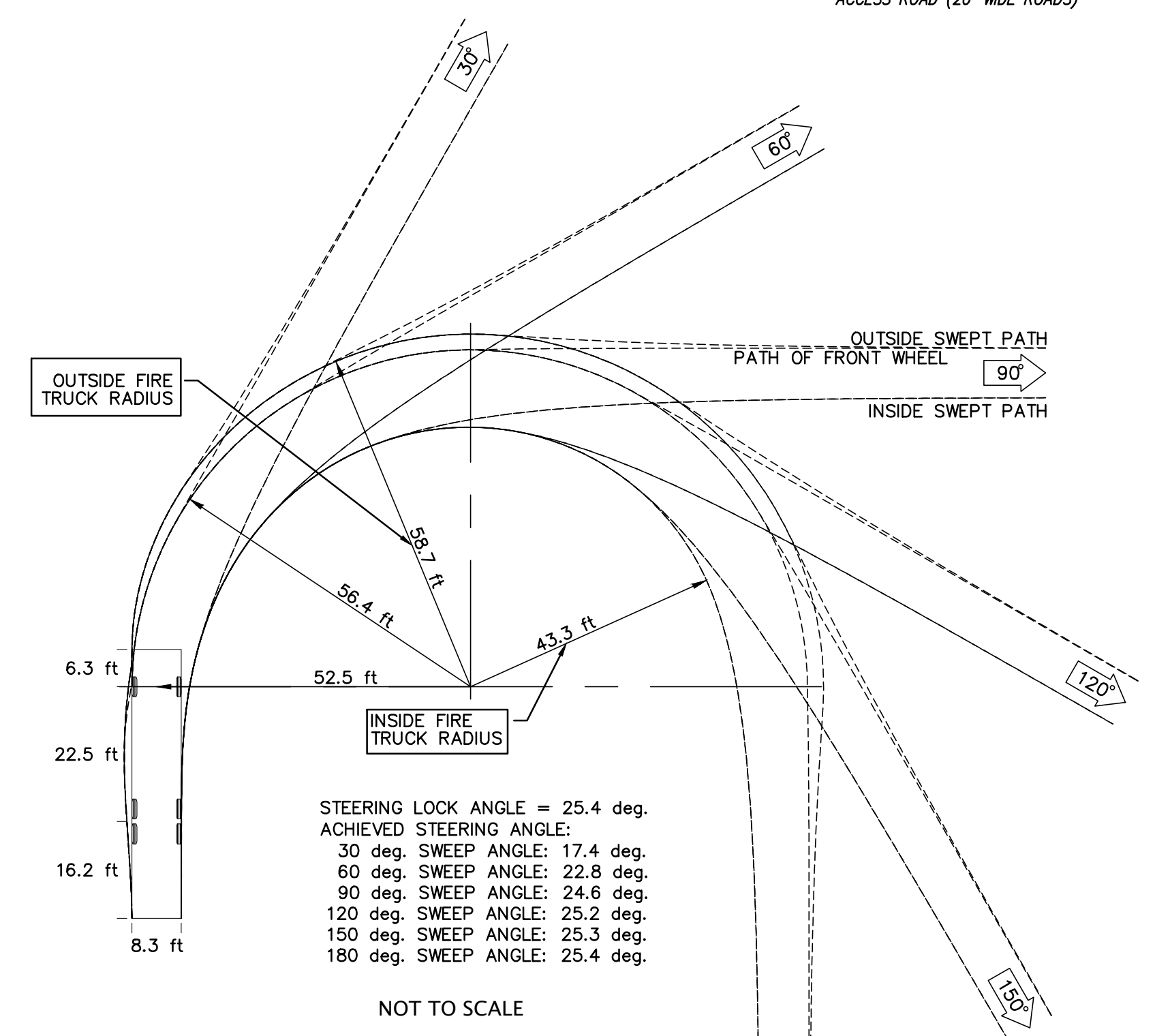
GRANTED DEDICATED TO
TOWNHOUSES PARK FOR
CITY PARKWAY & PUBLIC
UTILITIES DOCUMENT NO.
43337-AS
UTILITY ESMT AREA
(DOC. 95097922)

CONVEYED TO THE CITY OF
TOWNHOUSES PARK RIGHT OF WAY
EASEMENT FOR STREET AND
PUBLIC UTILITY PURPOSES
REEL 7951 O.R. IMAGE 288

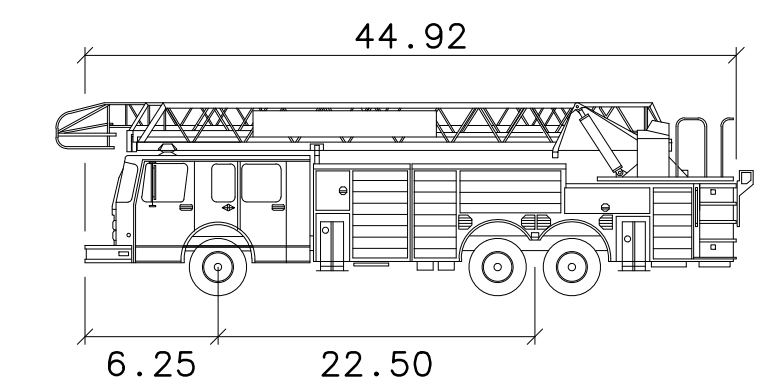


- ### LEGEND
- PROPOSED BUILDING
 - PROPOSED GARAGE
 - EXISTING BUILDING TO REMAIN
 - FIRE TRUCK AERIAL APPARATUS STAGING AREA
 - BUILDING ROOF OVERHANG
 - FIRE HYDRANT
 - AERIAL APPARATUS FIRE TRUCK
 - DIMENSION FOR AERIAL APPARATUS BETWEEN 15'-30', ANYTHING OUTSIDE THOSE DIMENSIONS REFER TO AERIAL APPARATUS CROSS SECTIONS SHEETS C11.0
 - ACCESS POINT
 - AERIAL APPARATUS ACCESS POINT
 - STAIR TO ROOF WITH GROUND FLOOR EXTERIOR ACCESS

NOTE: SEE SHEET C4.0 FOR AERIAL ACCESS (26' WIDE ROADS) AND FIRE ACCESS ROAD (20' WIDE ROADS)

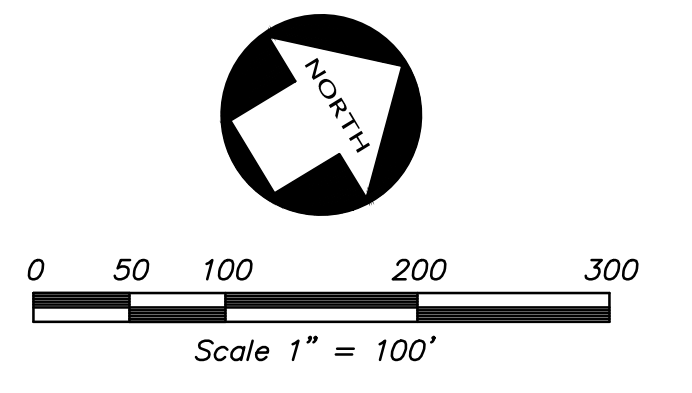


MENLO PARK
Emergency Vehicles
(ft)
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MENLO PARK

	feet
Width	: 8.25
Track	: 8.25
Lock to Lock Time	: 6.0
Steering Angle	: 25.4



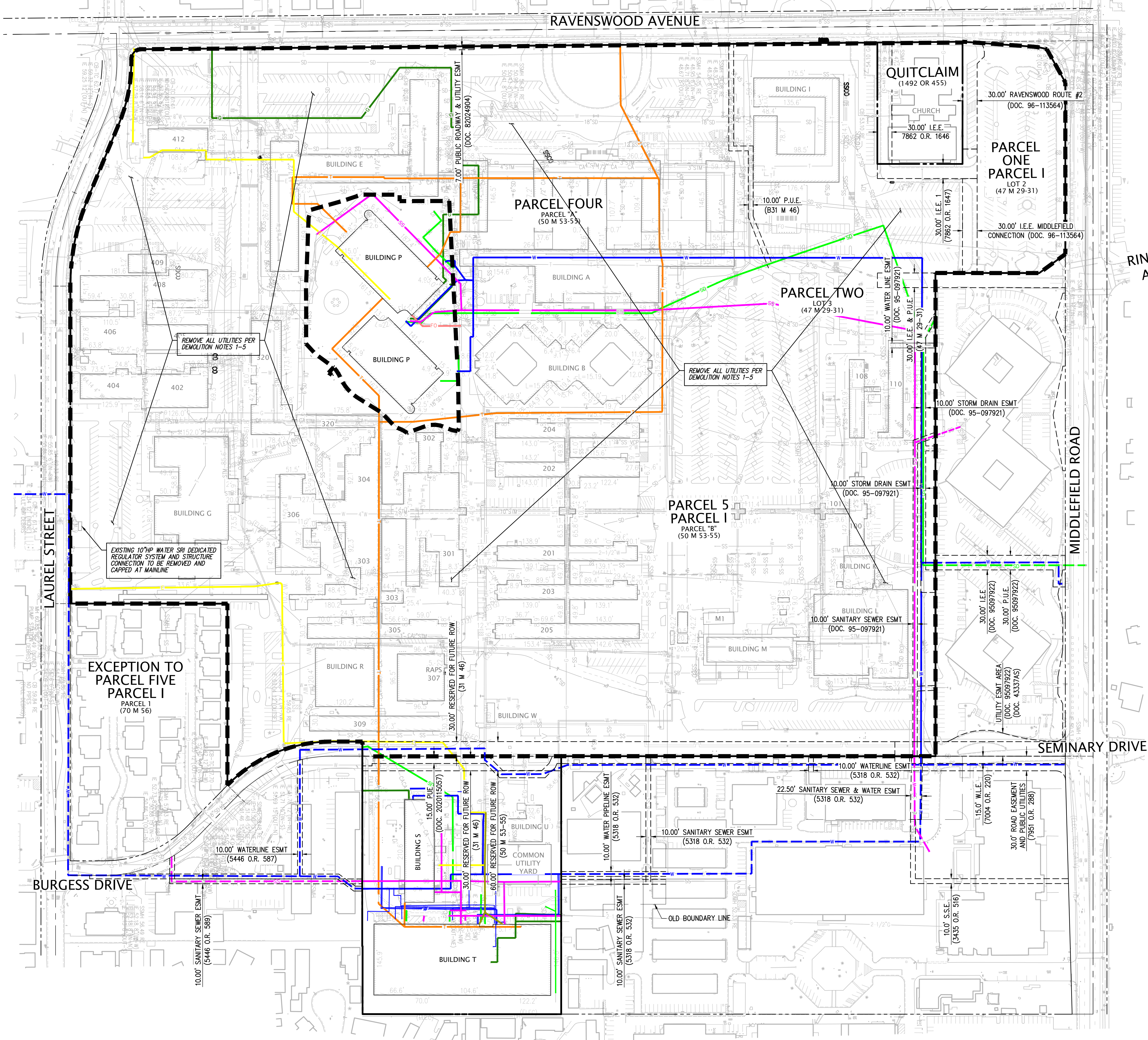
DEMOLITION LEGEND

- LIMIT OF WORK
- ELECTRICITY LINE TO REMAIN IN PLACE
- FIBER OPTIC LINE TO REMAIN IN PLACE
- GAS LINE TO REMAIN IN PLACE
- SANITARY SEWER TO REMAIN IN PLACE
- STORM DRAIN TO REMAIN IN PLACE
- WATER LINE TO REMAIN IN PLACE
- TELEPHONE LINE TO REMAIN IN PLACE




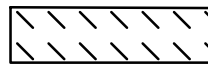
- *SS+ OFF-SITE SANITARY SEWER TO REMAIN IN PLACE
- *SD+ OFF-SITE STORM DRAIN TO REMAIN IN PLACE
- *W+ OFF-SITE WATER LINE TO REMAIN IN PLACE

DEMOLITION NOTES

1. DEMOLITION SHALL INCLUDE THE REMOVAL ALL UTILITIES NOT DESIGNATED FOR PROTECTION WITHIN PROJECT LIMITS. WORK SHALL INCLUDE REMOVAL OF ALL SURFACE AND SUBSURFACE APPURTENANCES PERTAINING TO THAT UTILITY.
2. REMOVE ALL IRRIGATION WITHIN LIMIT OF WORK.
3. ALL UNUSED PUBLIC UTILITY LATERALS WITHIN THE CITY RIGHT-OF-WAY SHALL BE REMOVED AND CAPPED AT THE MAIN. ALL UNUSED UTILITIES THAT TERMINATE AT THE LIMITS OF DEMOLITION SHALL BE CAPPED ACCORDINGLY.
4. ALL OVERHEAD LINES SHALL BE REMOVED INCLUDING POLES AND ALL APPURTENANCES PERTAINING TO THE OVERHEAD LINE.
5. ALL UTILITY SYSTEMS, INCLUDING OVERHEAD LINES, THAT CURRENTLY SERVE EXISTING BUILDINGS WITHIN THE HISTORICAL EASEMENT AREA WILL NEED TO BE EVALUATED FOR RELOCATION BEFORE BEING TAKEN OUT OF SERVICE AND REMOVED UNDER THE PROPOSED PROJECT SCOPE OF DEMOLITION WORK.

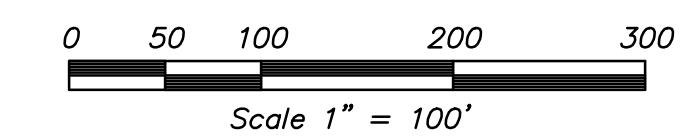
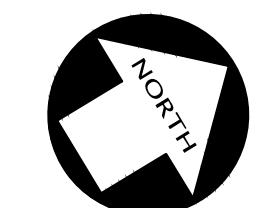
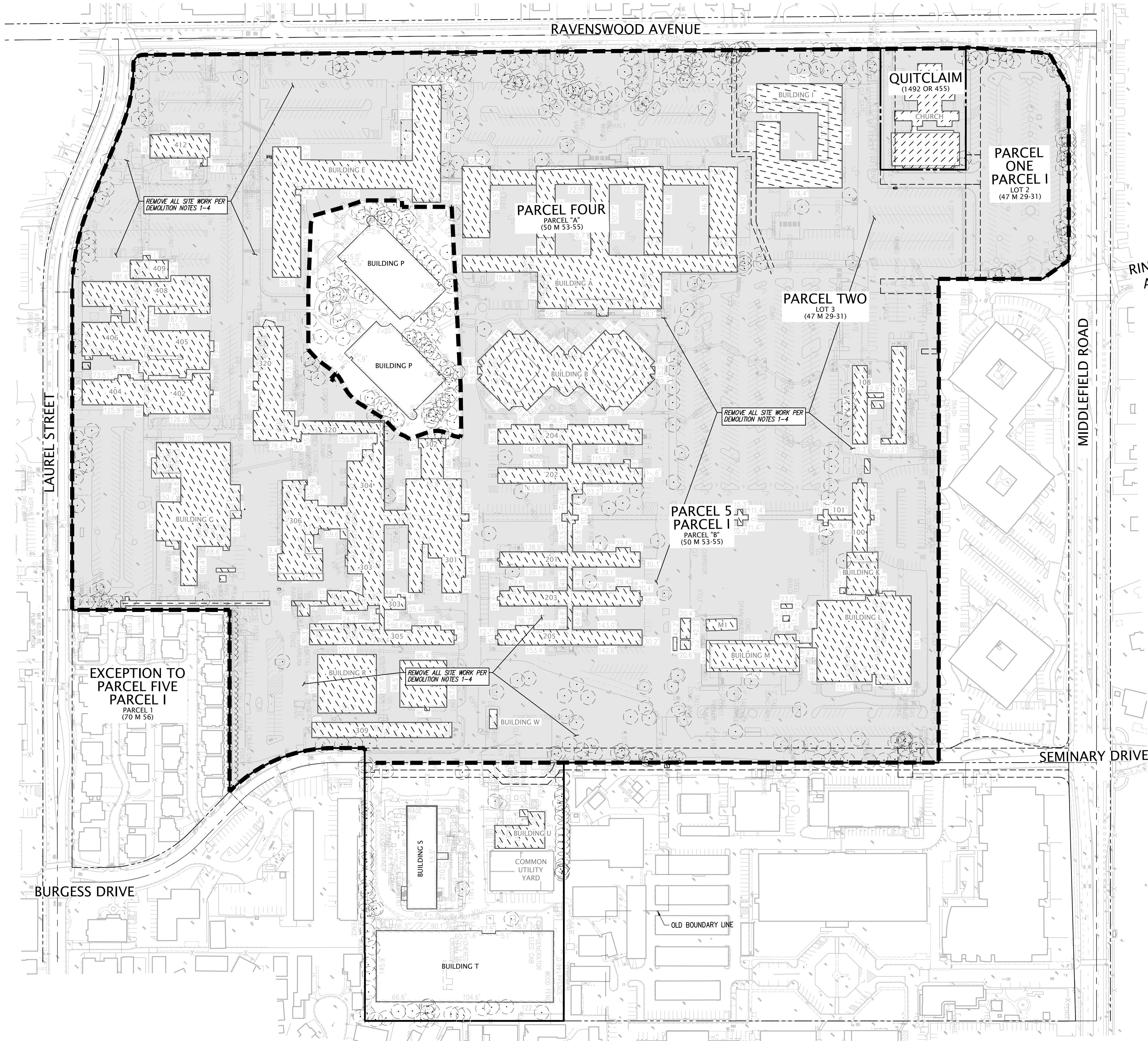


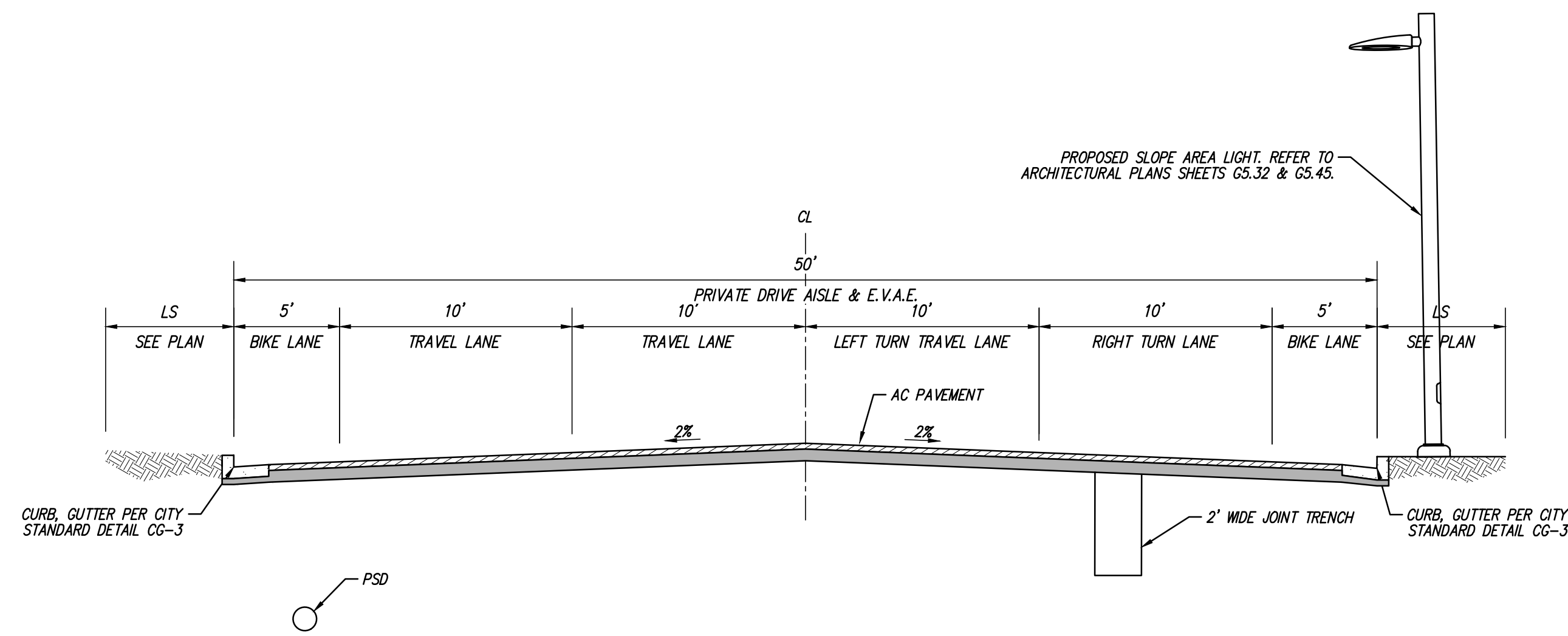
DEMOLITION LEGEND

-  EXISTING TREE TO REMAIN, PROTECT IN PLACE
-  LIMIT OF WORK
-  AREA OF SITEWORK DEMOLITION
-  REMOVE EXISTING BUILDING, UNDERSLAB UTILITIES AND FOUNDATION IN ENTIRETY. REFER TO ARCHITECTURAL BUILDING DEMOLITION PLAN

DEMOLITION NOTES

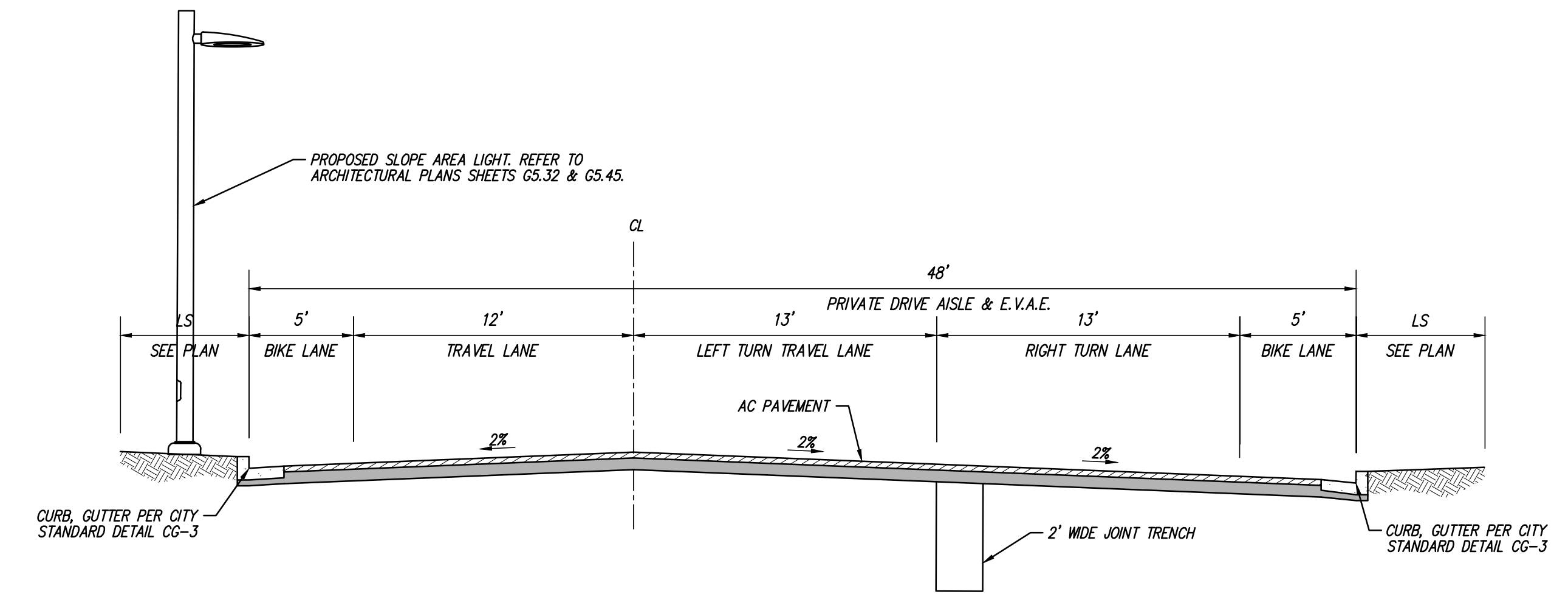
1. REMOVE ALL LANDSCAPE GROUND COVER AND SHRUBS WITHIN PROJECT LIMIT OF WORK.
2. REFER TO PLANS BY LANDSCAPE ARCHITECT FOR TREE DISPOSITION PLAN FOR TREES TO BE REMOVED, PROTECTED OR RELOCATED. TREE PROTECTION SHALL BE PROVIDED PER CITY OF MENLO PARK HERITAGE TREE AND CITY PROTECTION SPECIFICATIONS FOR CONSTRUCTION. DEMOLITION PLANS SHOWS APPROXIMATE LOCATION OF EXISTING TREES TO REMAIN.
3. REMOVE EXISTING BUILDING, UNDERSLAB UTILITIES AND FOUNDATION IN ENTIRETY. REFER TO ARCHITECTURAL BUILDING DEMOLITION PLAN.
4. SITEWORK DEMOLITION SHALL INCLUDE THE REMOVAL OF ALL CONCRETE, AC PAVEMENT, BASE ROCK SUBGRADE, AND SURFACE UTILITIES (NOT DESIGNATED FOR PROTECTION) WITHIN PROJECT LIMIT OF WORK.





SECTION A ENTRANCE (RAVENSWOOD AVENUE)

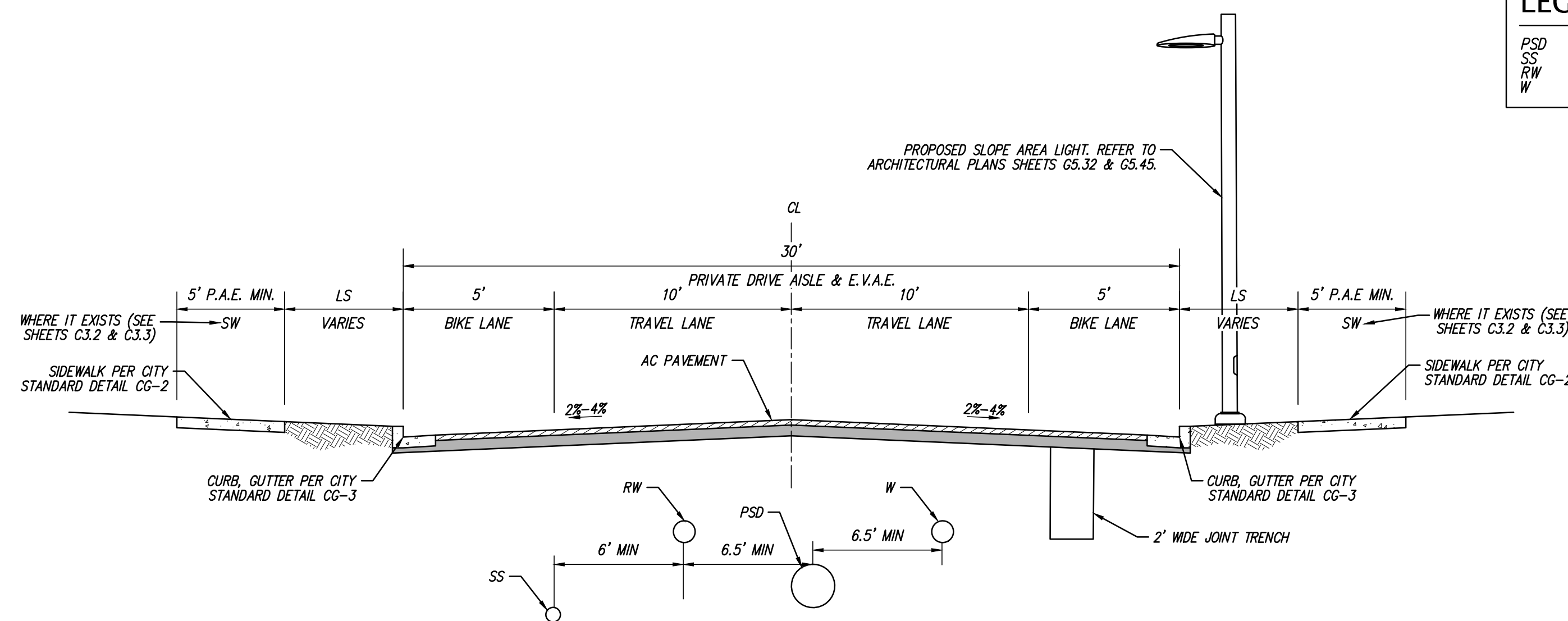
N.T.S.
MODIFIED CITY STANDARD LOCAL ACCESS STREET



SECTION B ENTRANCE (RAVENSWOOD AVENUE)

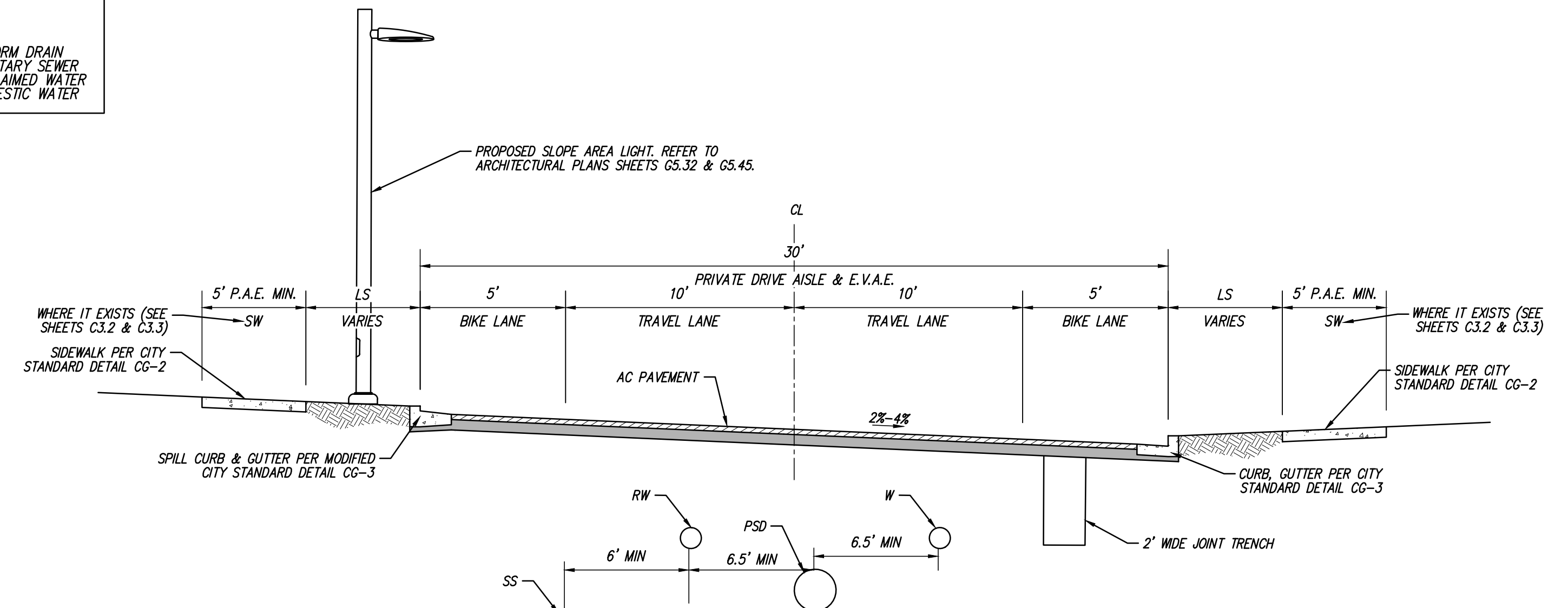
N.T.S.
MODIFIED CITY STANDARD LOCAL ACCESS STREET

LEGEND	
PSD	PRIVATE STORM DRAIN
SS	PUBLIC SANITARY SEWER
RW	PUBLIC RECLAIMED WATER
W	PUBLIC DOMESTIC WATER



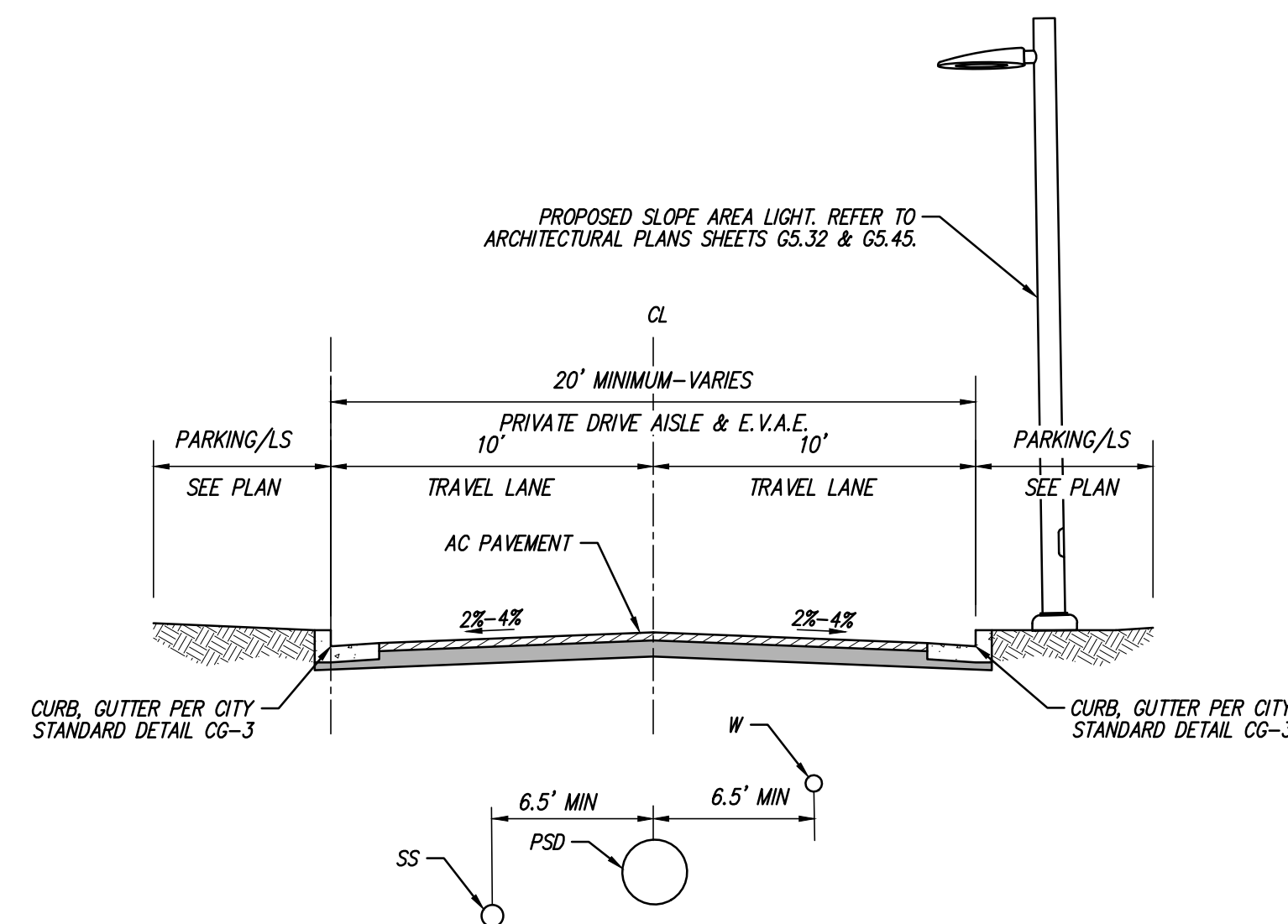
SECTION C PRIVATE TYPICAL LOOP STREET (CROWNED)

N.T.S.
MODIFIED CITY STANDARD LOCAL ACCESS STREET



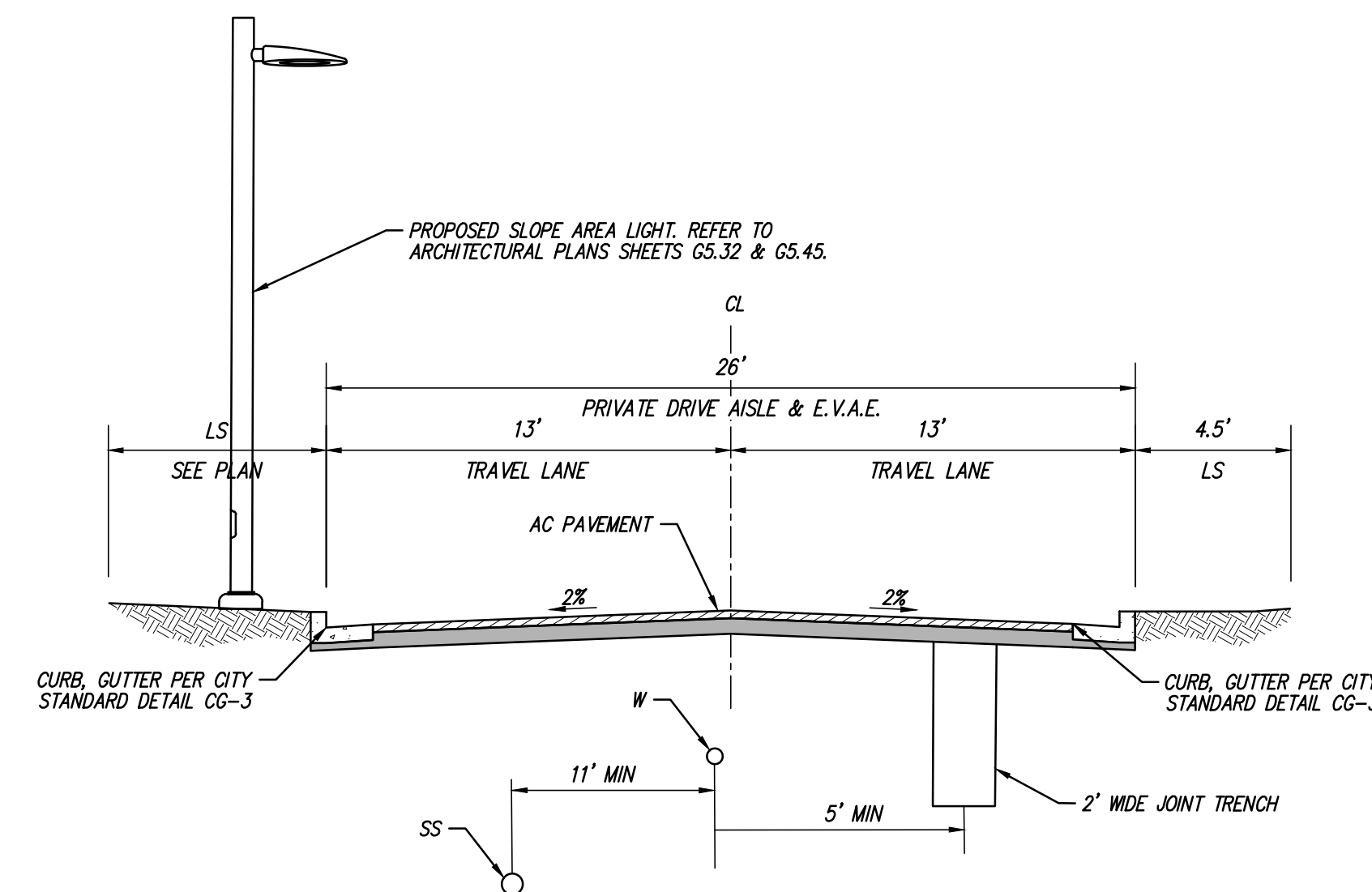
SECTION D PRIVATE TYPICAL LOOP STREET (SUPER ELEVATED)

N.T.S.
MODIFIED CITY STANDARD LOCAL ACCESS STREET



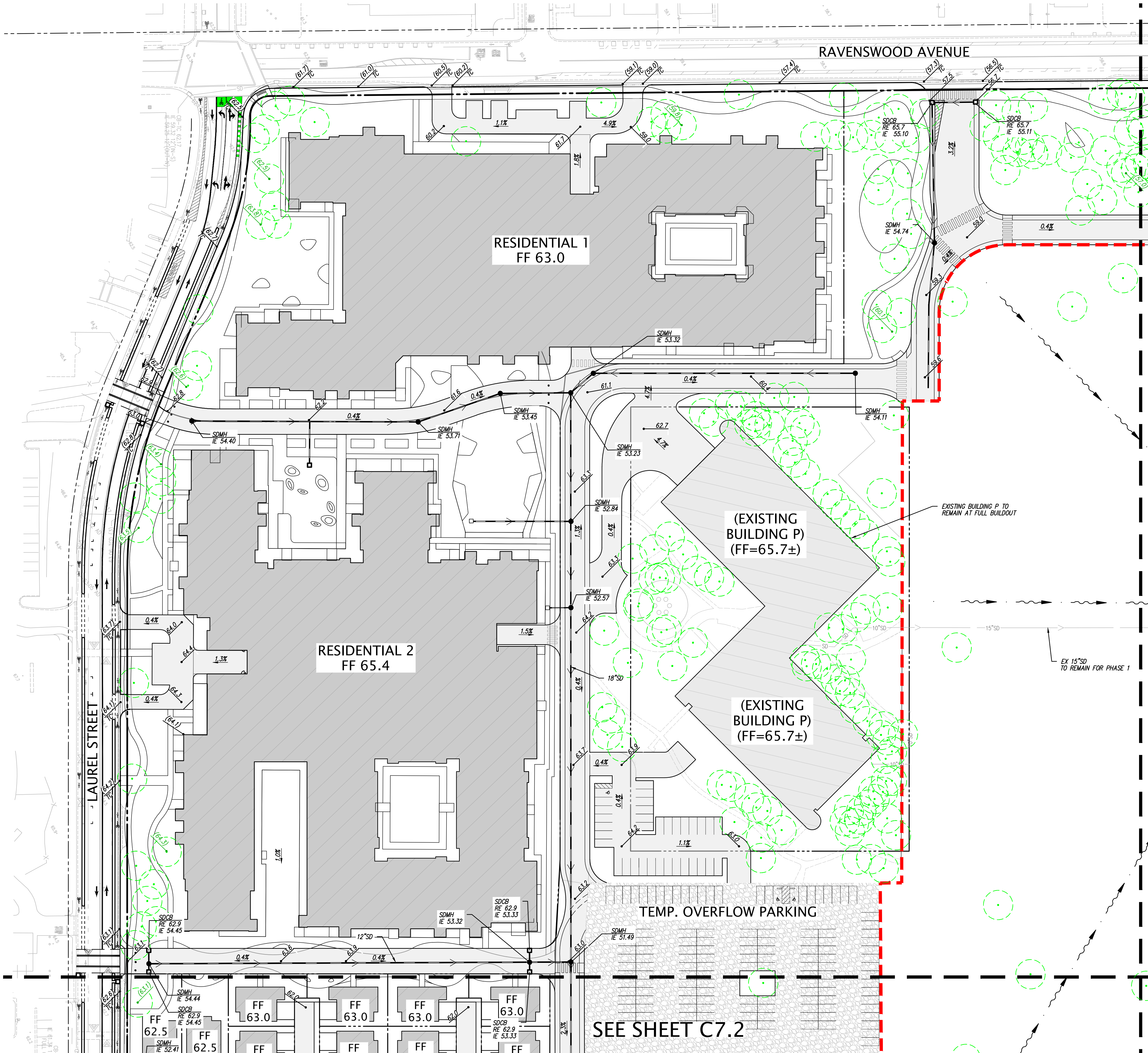
SECTION E RESIDENTIAL/FIRE ACCESS ROAD

N.T.S.
CITY STANDARD FIRE ACCESS



SECTION F ENTRANCE (SEMINARY DRIVE)

N.T.S.
CITY STANDARD FIRE ACCESS



SEE SHEET C7.1

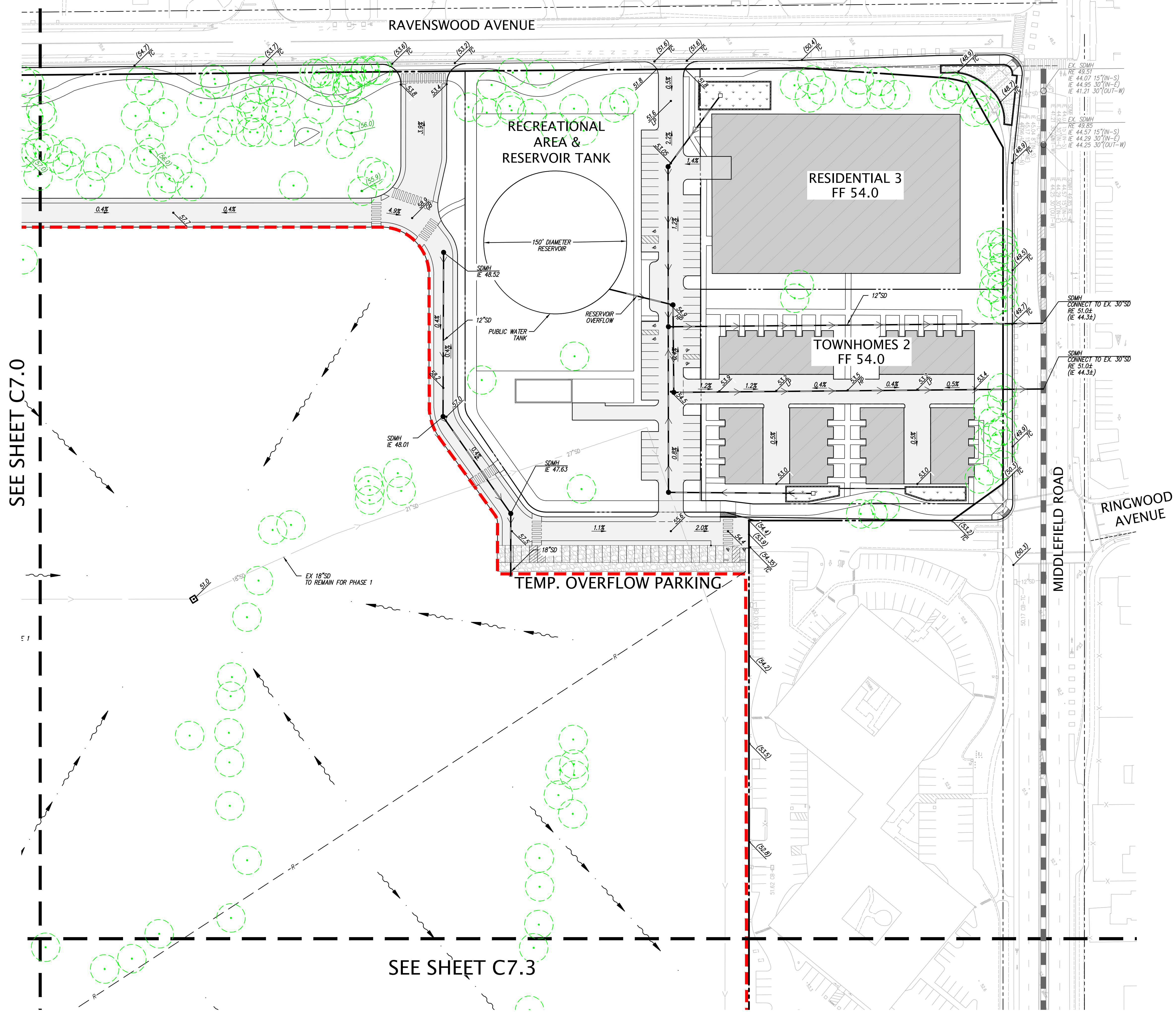
LEGEND

- ▲ AREA DRAIN
- STORM DRAIN CATCH BASIN
- STORM DRAIN JUNCTION BOX
- STORM DRAIN MANHOLE
- FL FLOW LINE
- PV FINISH FLOOR
- PV PAVEMENT
- RE RIM ELEVATION
- 23.8 SPOT ELEVATION
- (XX.X) ELEVATION OF EX. TREE TO REMAIN
- (XX.X) EXISTING GRADE
- X"SD STORM DRAIN LINE
- TC TOP OF CURB
- PROPOSED BUILDING
- PROPOSED GARAGE
- EXISTING BUILDING TO REMAIN
- TEMPORARY GRAVEL CLASS IIAB OVERFLOW PARKING
- BIO-RETENTION BASIN
- TREE
- PHASE LINE

NOTES

1. GRADES WITHIN THE FIRST 10 FEET ADJACENT TO A STRUCTURE MUST HAVE A 5% SLOPE ON PERVIOUS SURFACES, AND A 2% SLOPE ON IMPERVIOUS SURFACES PER §1604.4.3 OF THE CALIFORNIA BUILDING CODE (CBC).
2. UNDER NO CIRCUMSTANCE SHALL DRAINAGE RESULTING FROM THIS PROJECT, DURING OR POST CONSTRUCTION, DIRECTLY SHEETFLOW ACROSS AN ADJOINING PROPERTY. RUNOFF SHALL BE CONTAINED ON-SITE UP TO THE 10-YEAR STORM.

SEE SHEET C7.2



LEGEND

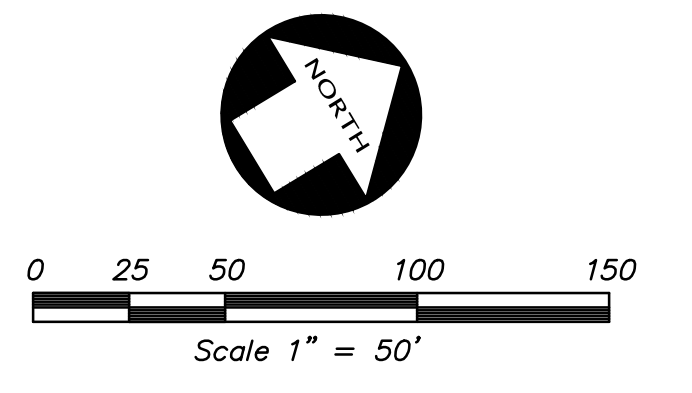
- ▲ AREA DRAIN
- STORM DRAIN CATCH BASIN
- STORM DRAIN JUNCTION BOX
- STORM DRAIN MANHOLE
- FL FLOW LINE
- FF FINISH FLOOR
- PV PAVEMENT
- RE RIM ELEVATION
- 23.8 SPOT ELEVATION
- (XX.X) ELEVATION OF EX. TREE TO REMAIN
- (XX.X) EXISTING GRADE
- X"SD STORM DRAIN LINE
- TC TOP OF CURB
- PROPOSED BUILDING
- PROPOSED GARAGE
- EXISTING BUILDING TO REMAIN
- TEMPORARY GRAVEL CLASS IIAB OVERFLOW PARKING
- BIO-RETENTION BASIN
- TREE
- PHASE LINE

NOTES

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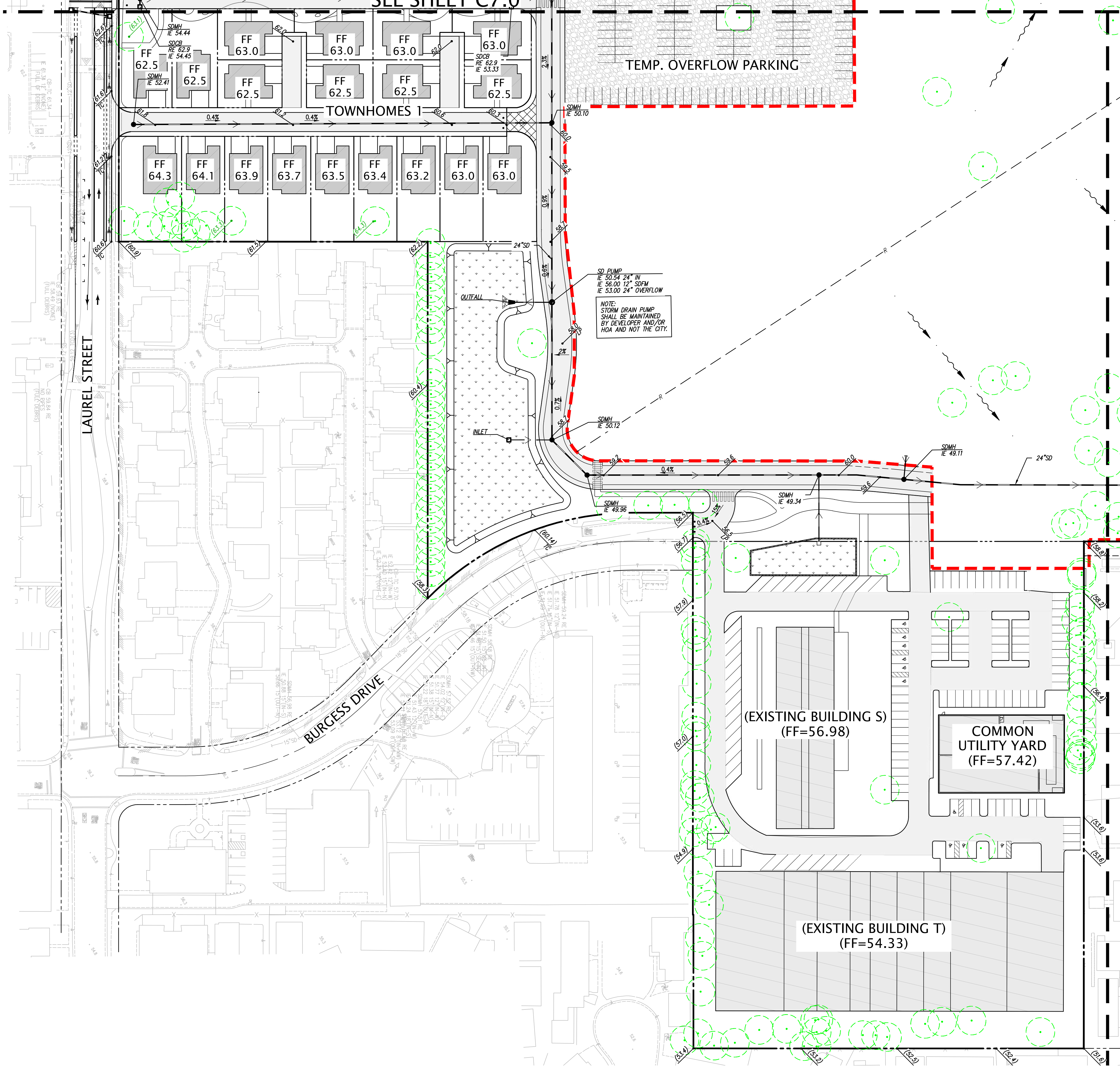
SEE SHEET C7.0

SEE SHEET C7.3



SEE SHEET C7.0

SEE SHEET C7.3

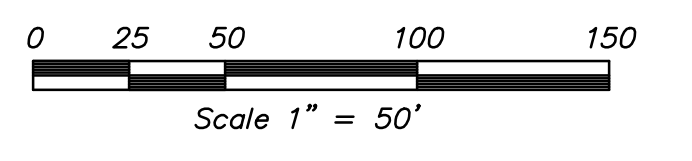
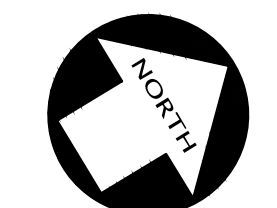


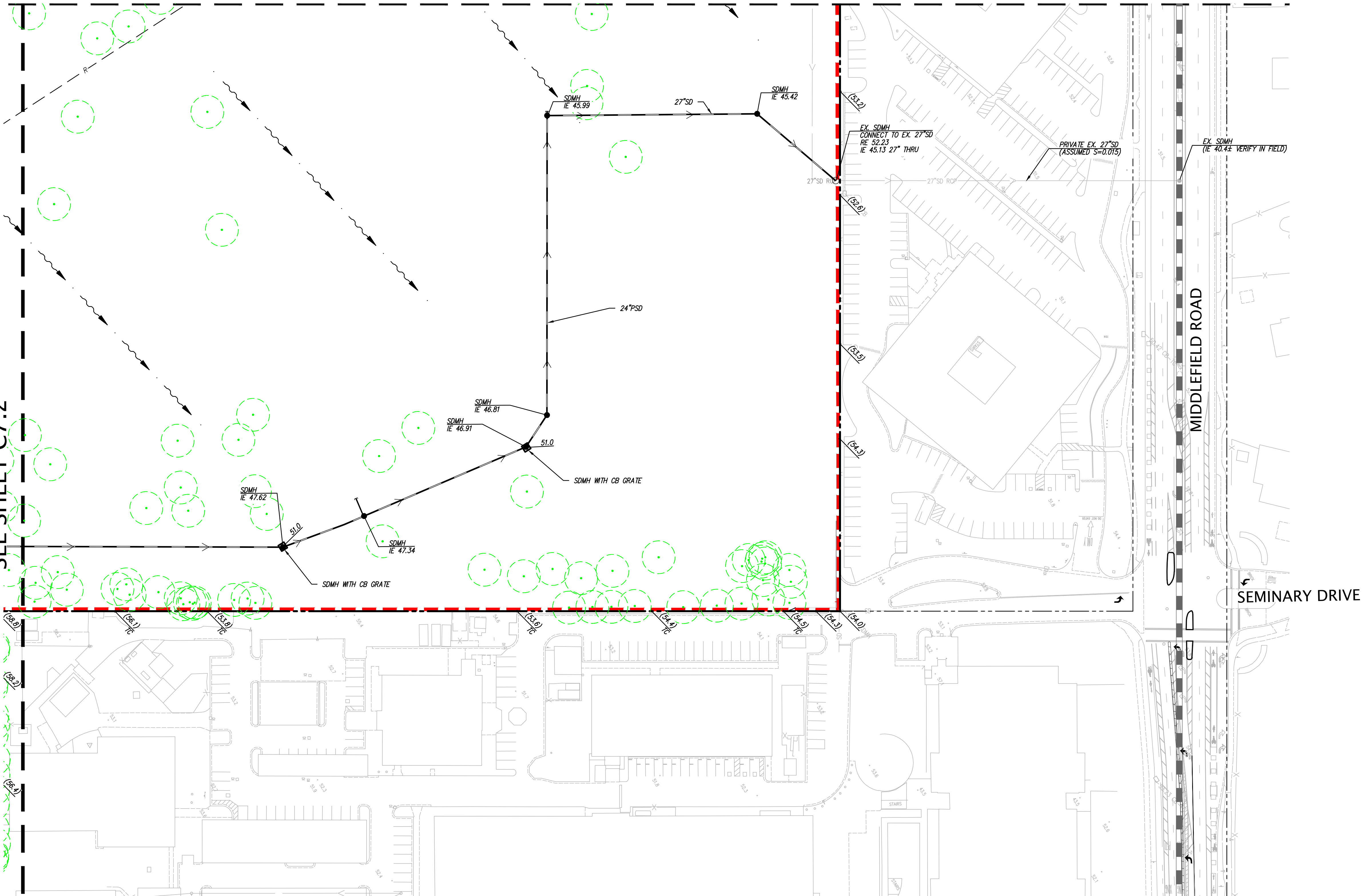
LEGEND

- ▲ AREA DRAIN
- STORM DRAIN CATCH BASIN
- STORM DRAIN JUNCTION BOX
- STORM DRAIN MANHOLE
- FL FLOW LINE
- FF FINISH FLOOR
- PV PAVEMENT
- RE RIM ELEVATION
- 23.8 SPOT ELEVATION
- (XX.X) ELEVATION OF EX. TREE TO REMAIN
- (XX.X) EXISTING GRADE
- X"SD STORM DRAIN LINE
- TC TOP OF CURB
- PROPOSED BUILDING
- PROPOSED GARAGE
- EXISTING BUILDING TO REMAIN
- TEMPORARY GRAVEL CLASS IIAB OVERFLOW PARKING
- BIO-RETENTION BASIN
- TREE
- PHASE LINE

NOTES

1. GRADES WITHIN THE FIRST 10 FEET ADJACENT TO A STRUCTURE MUST HAVE A 5% SLOPE ON PERVIOUS SURFACES, AND A 2% SLOPE ON IMPERVIOUS SURFACES PER §1804.4.3 OF THE CALIFORNIA BUILDING CODE (CBC).
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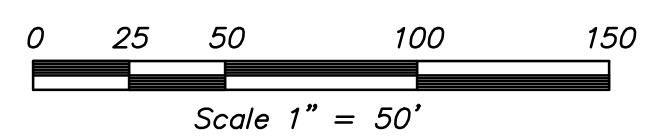
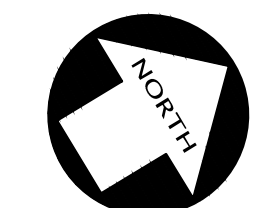
LEGEND

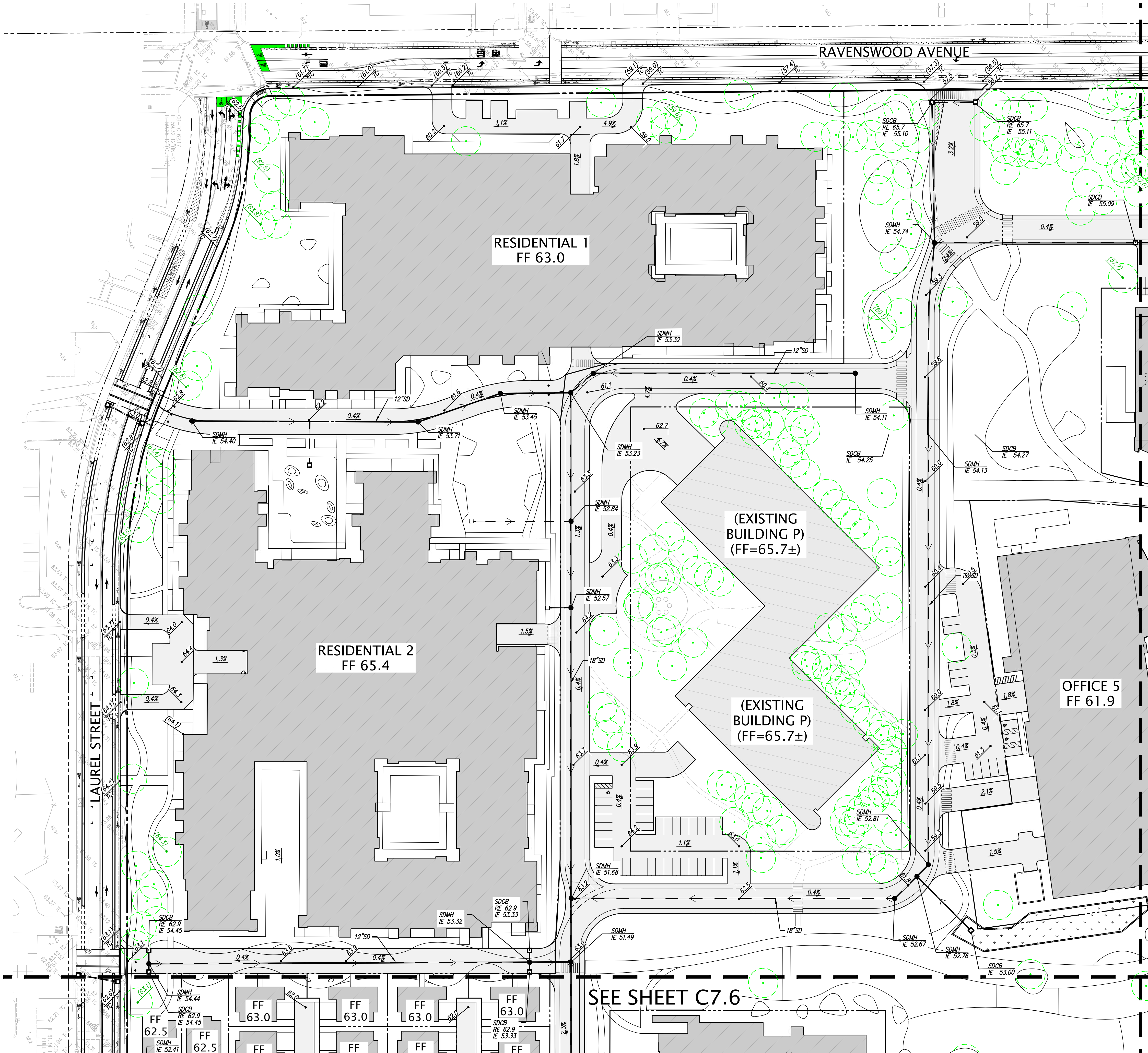
	AREA DRAIN
	STORM DRAIN CATCH BASIN
	STORM DRAIN JUNCTION BOX
	STORM DRAIN MANHOLE
	FLOW LINE
	FINISH FLOOR
	PAVEMENT
	RIM ELEVATION
	SPOT ELEVATION
	ELEVATION OF EX. TREE TO REMAIN
	EXISTING GRADE
	STORM DRAIN LINE
	TOP OF CURB
	PROPOSED BUILDING
	PROPOSED GARAGE
	EXISTING BUILDING TO REMAIN
	TEMPORARY GRAVEL CLASS IIAB OVERFLOW PARKING
	BIO-RETENTION BASIN
	TREE
	PHASE LINE

- ### NOTES
- GRADES WITHIN THE FIRST 10 FEET ADJACENT TO A STRUCTURE MUST HAVE A 5% SLOPE ON PERVIOUS SURFACES, AND A 2% SLOPE ON IMPERVIOUS SURFACES PER §1804.A.3 OF THE CALIFORNIA BUILDING CODE (CBC).
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SEMINARY DRIVE

MIDDLEFIELD ROAD





LEGEND

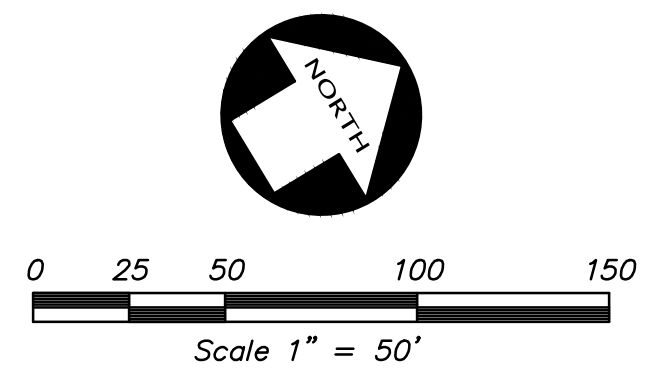
- ▲ AREA DRAIN
- STORM DRAIN CATCH BASIN
- STORM DRAIN JUNCTION BOX
- STORM DRAIN MANHOLE
- FL FLOW LINE
- FF FINISH FLOOR
- PV PAVEMENT
- RE RIM ELEVATION
- 23.8 SPOT ELEVATION
- (XX.X) ELEVATION OF EX. TREE TO REMAIN
- (XX.X) EXISTING GRADE
- X"SD STORM DRAIN LINE
- TC TOP OF CURB
- PROPOSED BUILDING
- PROPOSED GARAGE
- EXISTING BUILDING TO REMAIN
- BIO-RETENTION BASIN
- TREE

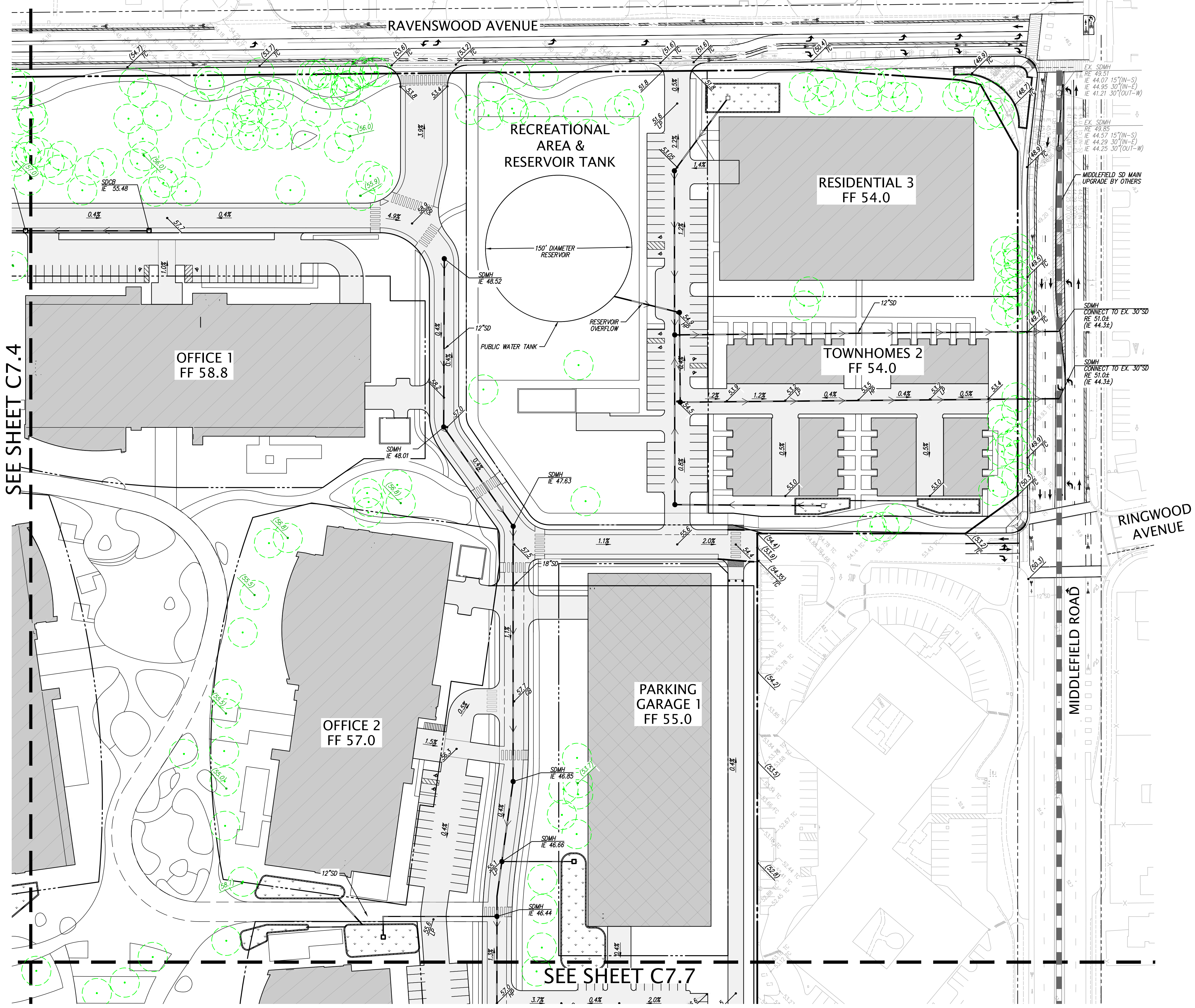
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SEE SHEET C7.5

SEE SHEET C7.6

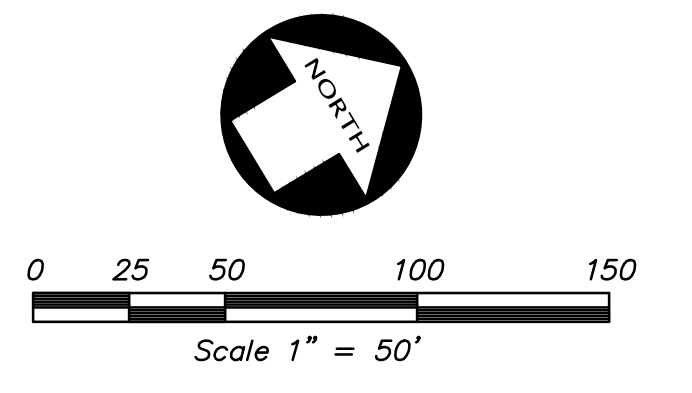




LEGEND

▲	AREA DRAIN
■	STORM DRAIN CATCH BASIN
□	STORM DRAIN JUNCTION BOX
●	STORM DRAIN MANHOLE
FL	FLOW LINE
FF	FINISH FLOOR
PV	PAVEMENT
RE	RIM ELEVATION
23.8	SPOT ELEVATION
(XX.X)	ELEVATION OF EX. TREE TO REMAIN
(XX.X)	EXISTING GRADE
X'SD	STORM DRAIN LINE
TC	TOP OF CURB
[Hatched Box]	PROPOSED BUILDING
[Hatched Box]	PROPOSED GARAGE
[Hatched Box]	EXISTING BUILDING TO REMAIN
[Dotted Box]	BIO-RETENTION BASIN
(Tree Symbol)	TREE

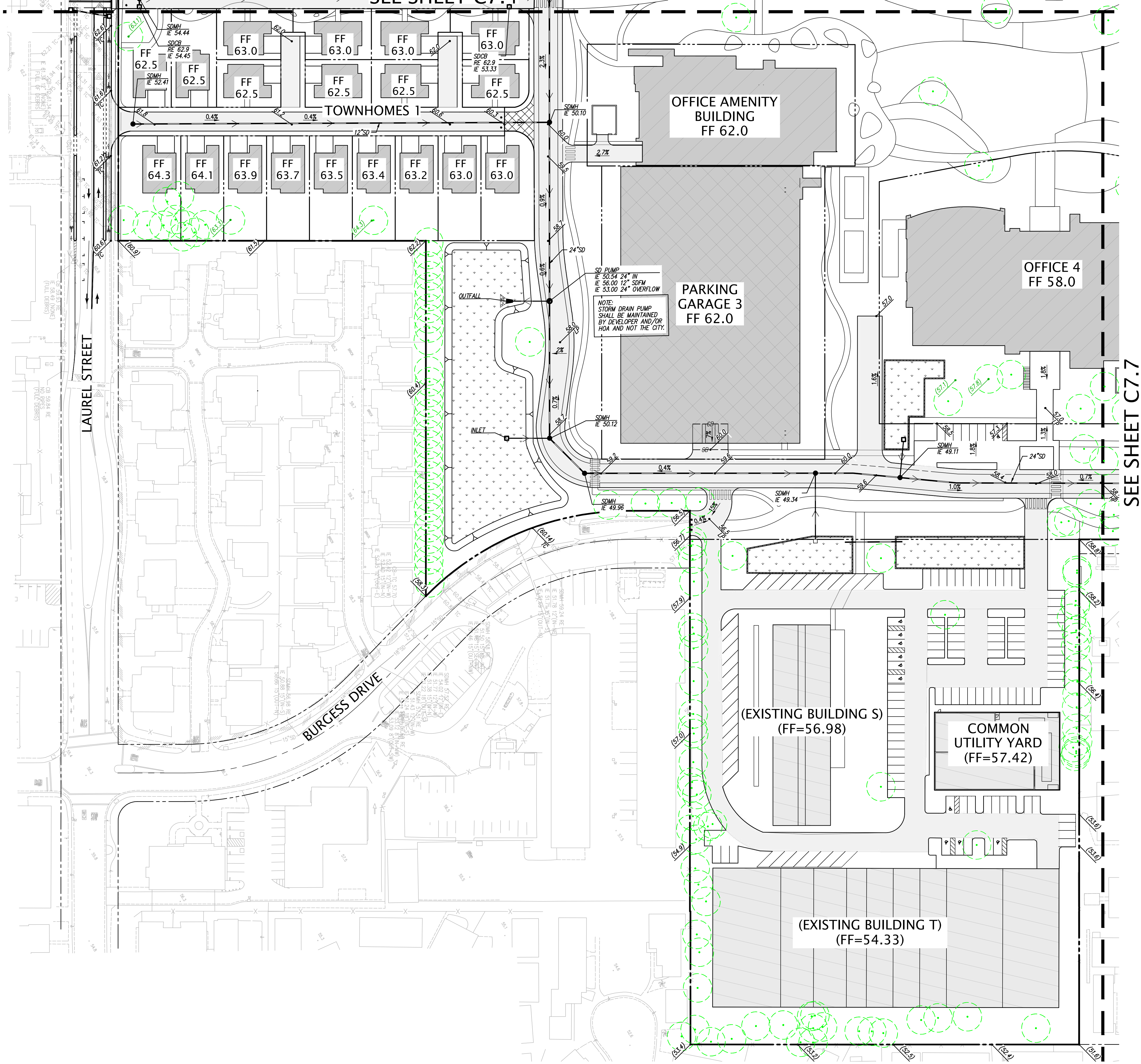
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SEE SHEET C7.4

SEE SHEET C7.7

SEE SHEET C7.4

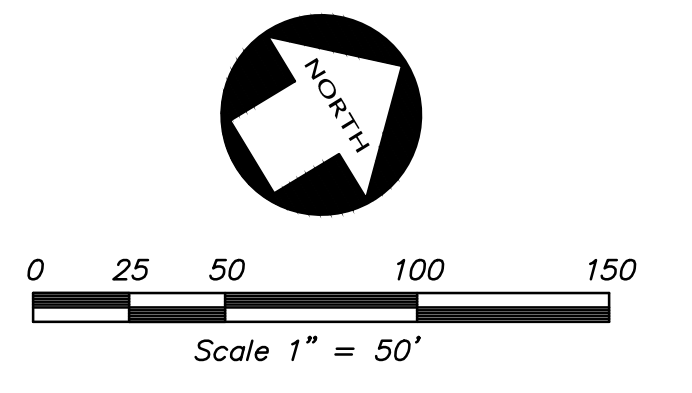


LEGEND

▲	AREA DRAIN
□	STORM DRAIN CATCH BASIN
■	STORM DRAIN JUNCTION BOX
●	STORM DRAIN MANHOLE
FL	FLOW LINE
FF	FINISH FLOOR
PV	PAVEMENT
RE	RIM ELEVATION
23.8	SPOT ELEVATION
(XX.X)	ELEVATION OF EX. TREE TO REMAIN
(XX.X)	EXISTING GRADE
X"SD	STORM DRAIN LINE
TC	TOP OF CURB
[Hatched Box]	PROPOSED BUILDING
[Dotted Box]	PROPOSED GARAGE
[Diagonal Lines Box]	EXISTING BUILDING TO REMAIN
[Dotted Box]	BIO-RETENTION BASIN
(Green Circle)	TREE

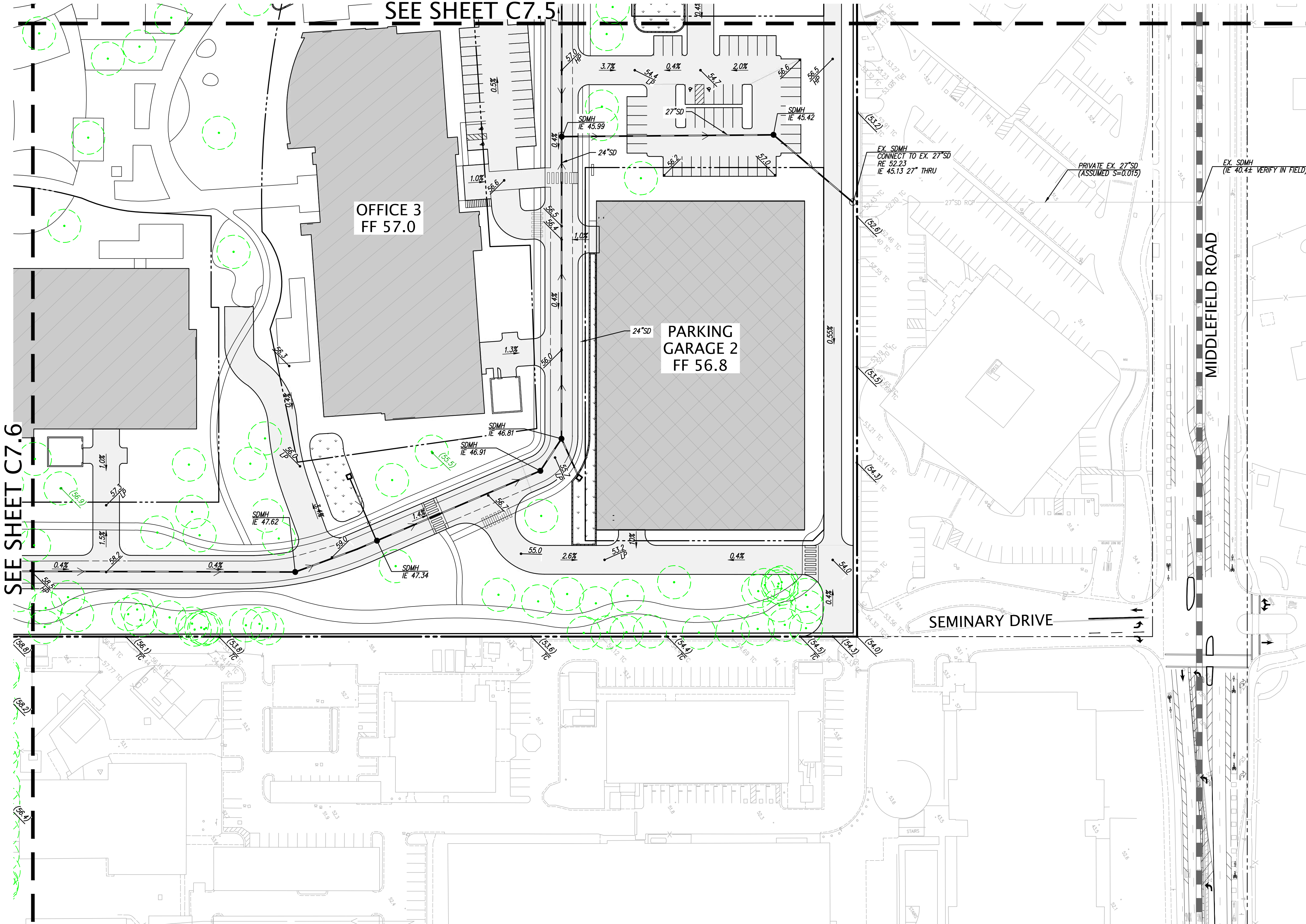
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- GRADES WITHIN THE FIRST 10 FEET ADJACENT TO A STRUCTURE MUST HAVE A 5% SLOPE ON PERVIOUS SURFACES, AND A 2% SLOPE ON IMPERVIOUS SURFACES PER §1604.4.3 OF THE CALIFORNIA BUILDING CODE (CBC).
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SEE SHEET C7.7



SEE SHEET C7.5

SEE SHEET C7.6

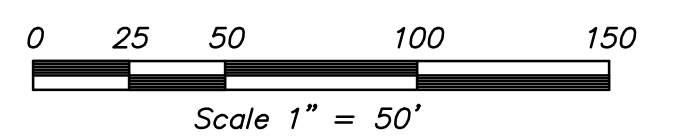
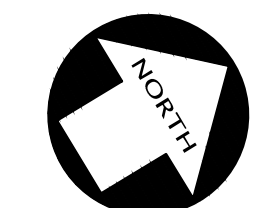


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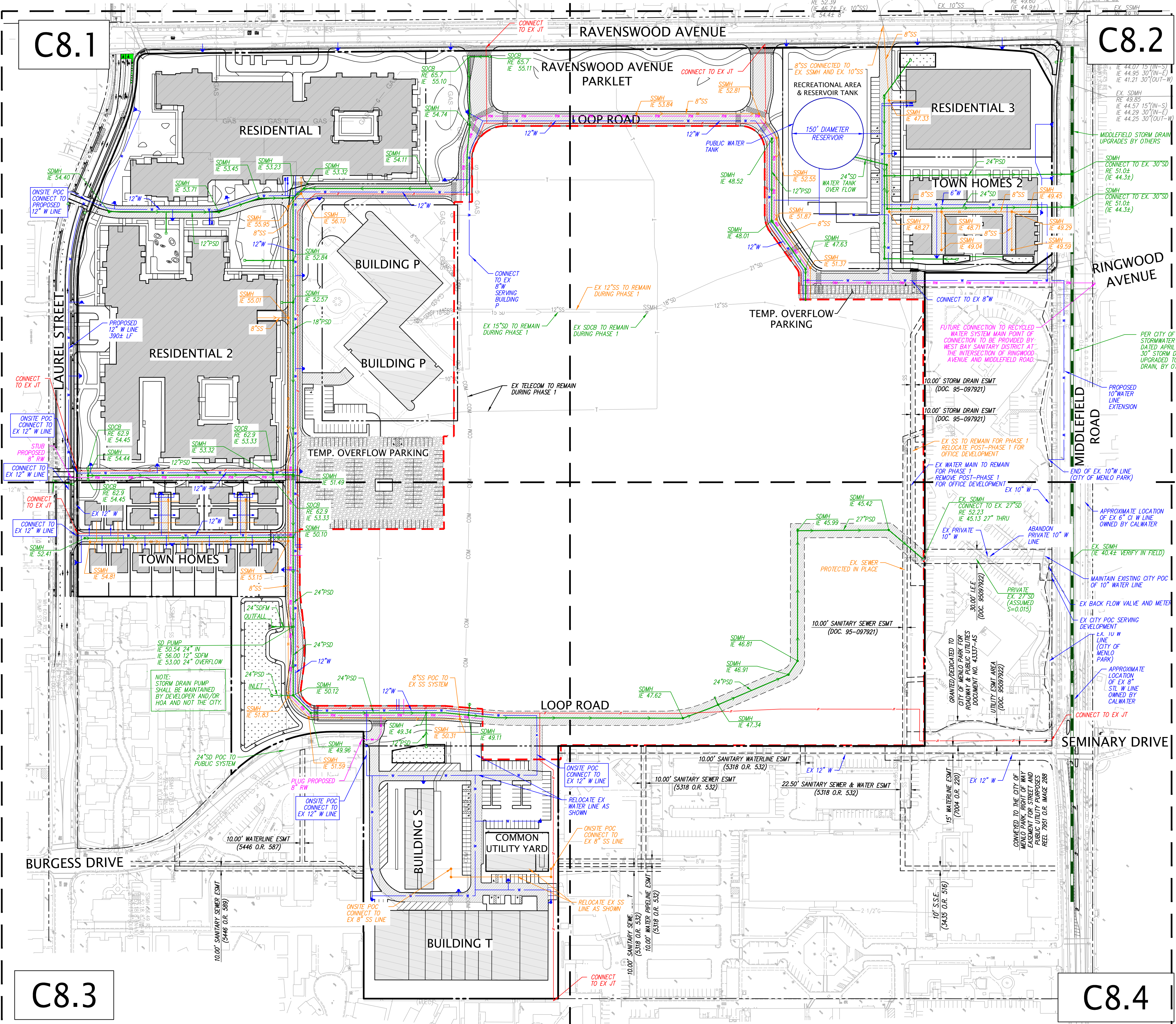
- ▲ AREA DRAIN
- STORM DRAIN CATCH BASIN
- STORM DRAIN JUNCTION BOX
- STORM DRAIN MANHOLE
- FL FLOW LINE
- FF FINISH FLOOR
- PV PAVEMENT
- RE RIM ELEVATION
- 23.8 SPOT ELEVATION
- (XX.X) ELEVATION OF EX. TREE TO REMAIN
- (XX.X) EXISTING GRADE
- X"SD STORM DRAIN LINE
- TC TOP OF CURB
- PROPOSED BUILDING
- PROPOSED GARAGE
- EXISTING BUILDING TO REMAIN
- BIO-RETENTION BASIN
- TREE

NOTES

1. GRADES WITHIN THE FIRST 10 FEET ADJACENT TO A STRUCTURE MUST HAVE A 5% SLOPE ON PERVIOUS SURFACES, AND A 2% SLOPE ON IMPERVIOUS SURFACES PER §1804.4.3 OF THE CALIFORNIA BUILDING CODE (CBC).
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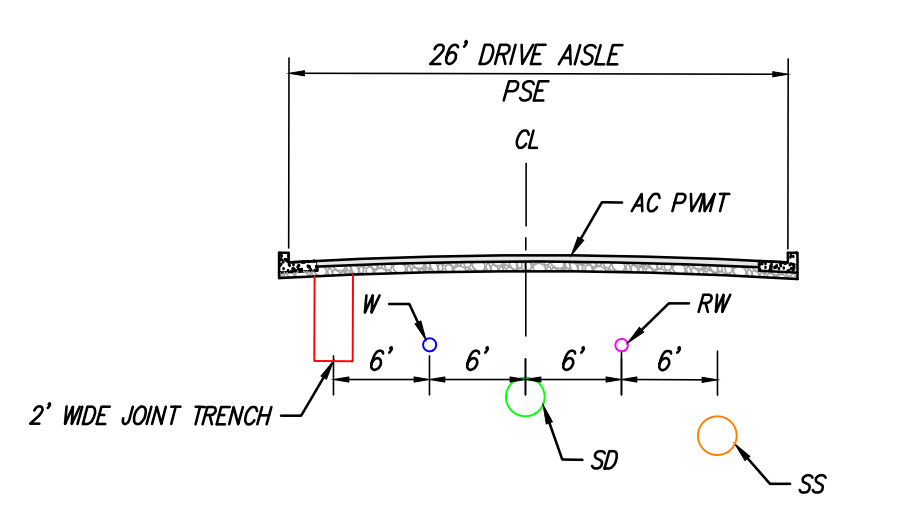
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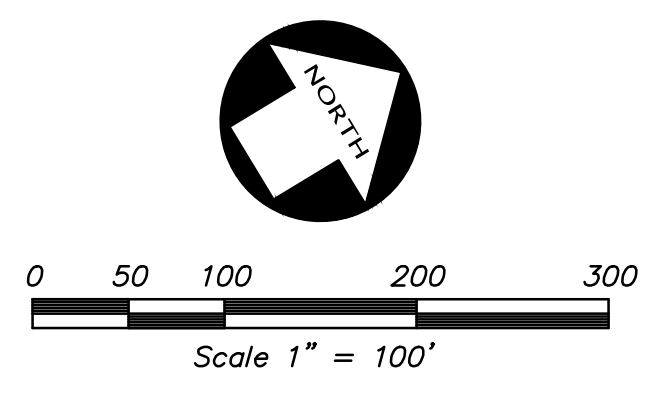
LEGEND

PROPOSED	EXISTING	DESCRIPTION
[Symbol]	[Symbol]	BUILDING LINE
[Symbol]	[Symbol]	CENTER LINE
[Symbol]	[Symbol]	CONCRETE CURB
[Symbol]	[Symbol]	CONCRETE CURB & GUTTER
[Symbol]	[Symbol]	CONTOUR LINE
[Symbol]	[Symbol]	DRIVEWAY
[Symbol]	[Symbol]	EDGE OF PAVEMENT
[Symbol]	[Symbol]	ELECTRIC LINE
[Symbol]	[Symbol]	FENCE LINE
[Symbol]	[Symbol]	FIRE SERVICE & VALVE
[Symbol]	[Symbol]	FIBER OPTICS LINE
[Symbol]	[Symbol]	GAS LINE-VALVE & METER
[Symbol]	[Symbol]	GUARD RAIL
[Symbol]	[Symbol]	LOT LINE
[Symbol]	[Symbol]	MONUMENT/MONUMENT LINE
[Symbol]	[Symbol]	OVERHEAD POWER LINE
[Symbol]	[Symbol]	JOINT TRENCH LINE
[Symbol]	[Symbol]	BOUNDARY LOT LINE
[Symbol]	[Symbol]	PROPERTY LINE
[Symbol]	[Symbol]	PRIVATE RECYCLED WATER LINE & VALVE (8" TYP)
[Symbol]	[Symbol]	PUBLIC RECYCLED WATER LINE & VALVE (8" TYP)
[Symbol]	[Symbol]	PRIVATE SANITARY SEWER-MANHOLE & CLEANOUT (8" TYP)
[Symbol]	[Symbol]	PUBLIC SANITARY SEWER-MANHOLE & CLEANOUT (8" TYP)
[Symbol]	[Symbol]	PRIVATE STORM DRAIN-MANHOLE & CATCH BASIN (SIZE PER PLAN)
[Symbol]	[Symbol]	PUBLIC STORM DRAIN-MANHOLE & CATCH BASIN (SIZE PER PLAN)
[Symbol]	[Symbol]	PRIVATE WATER LINE & VALVE (12" TYP)
[Symbol]	[Symbol]	PUBLIC WATER LINE & VALVE (12" TYP)
[Symbol]	[Symbol]	BACKFLOW PREVENTION DEVICE
[Symbol]	[Symbol]	ELECTROLIER
[Symbol]	[Symbol]	FIRE HYDRANT
[Symbol]	[Symbol]	WATER METER
[Symbol]	[Symbol]	PROPOSED PUBLIC SERVICE EASEMENT (PSE)
[Symbol]	[Symbol]	TEMPORARY GRAVEL CLASS IIAB OVERFLOW PARKING
[Symbol]	[Symbol]	PHASE LINE

- ### NOTES
- STORM DRAIN MINIMUM SLOPE: 0.003
 - SANITARY SEWER MINIMUM SLOPE: 0.004
 - ALL STORM DRAIN LINES ON-SITE ARE PRIVATE (PSD), WITH THE EXCEPTION OF THE PUBLIC WATER TANK OVERFLOW
 - ALL UTILITIES WITHIN THE PUBLIC SERVICE EASEMENT (P.S.E.) ARE PUBLIC, WITH THE EXCEPTION OF THE PRIVATE STORM DRAIN (PSD)
 - ALL OTHER UTILITIES NOT IN PUBLIC SERVICE EASEMENT (P.S.E.) ARE PRIVATE.
- DURING CONSTRUCTION DOCUMENT DESIGN THE UTILITY PLANS SHALL LOCATE ALL EMERGENCY SHUTOFF VALVES AND ISOLATION VALVES PER CITY RECOMMENDATIONS AND APPROVAL OF WATER SYSTEM DESIGN



TYPICAL UTILITY CORRIDOR
NOT TO SCALE



RAVENSWOOD AVENUE

RESIDENTIAL 1

RESIDENTIAL 2

BUILDING P

BUILDING P

TEMP. OVERFLOW PARKING

SEE SHEET C8.3

SEE SHEET C8.2

LEGEND

PROPOSED	EXISTING	
		BUILDING LINE
		CENTER LINE
		CONCRETE CURB
		CONCRETE CURB & GUTTER
		CONTOUR LINE
		DRIVEWAY
		EDGE OF PAVEMENT
		ELECTRIC LINE
		FENCE LINE
		FIRE SERVICE & VALVE
		FIBER OPTICS LINE
		GAS LINE-VALVE & METER
		GUARD RAIL
		JOINT TRENCH LINE
		LOT LINE
		MONUMENT/MONUMENT LINE
		OVERHEAD POWER LINE
		BOUNDARY LOT LINE
		PROPERTY LINE
		PRIVATE RECYCLED WATER LINE & VALVE (8\"/>
		PUBLIC RECYCLED WATER LINE & VALVE (8\"/>
		PRIVATE SANITARY SEWER-MANHOLE & CLEANOUT (8\"/>
		PUBLIC SANITARY SEWER-MANHOLE & CLEANOUT (8\"/>
		SIDEWALK
		PRIVATE STORM DRAIN-MANHOLE & CATCH BASIN (SIZE PER PLAN)
		PUBLIC STORM DRAIN-MANHOLE & CATCH BASIN (SIZE PER PLAN)
		PRIVATE WATER LINE & VALVE (12\"/>
		PUBLIC WATER LINE & VALVE (12\"/>
		BACKFLOW PREVENTION DEVICE
		ELECTROLINER
		FIRE HYDRANT
		WATER METER
		PROPOSED PUBLIC SERVICE EASEMENT (PSE)
		TEMPORARY GRAVEL CLASS IIAB OVERFLOW PARKING
		PHASE LINE
		POINTS OF CONNECTION OF PROPOSED ONSITE WATER SYSTEM

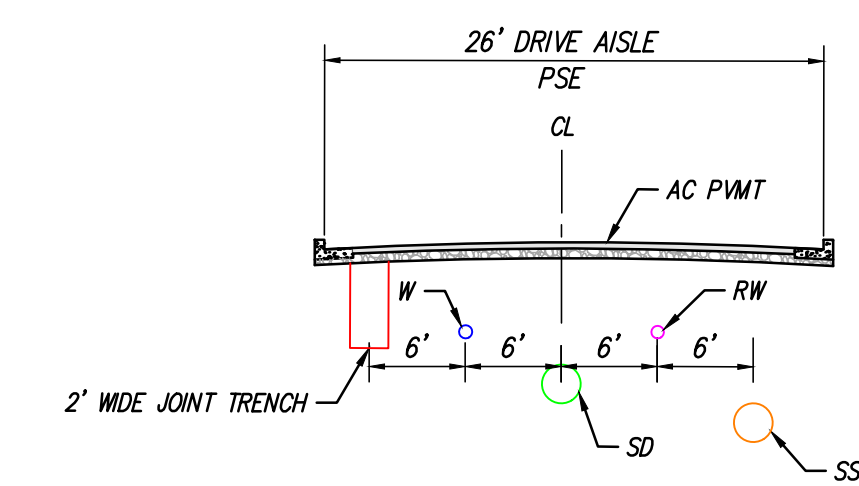
KEYNOTES

- ① STUB FOR FUTURE UTILITY (TYP)

NOTES

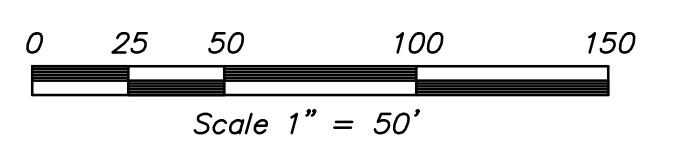
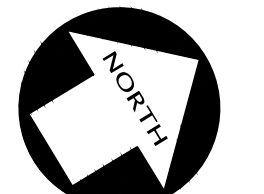
- STORM DRAIN MINIMUM SLOPE: 0.003
- SANITARY SEWER MINIMUM SLOPE: 0.004
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DURING CONSTRUCTION DOCUMENT DESIGN THE UTILITY PLANS SHALL LOCATE ALL EMERGENCY SHUTOFF VALVES AND ISOLATION VALVES PER CITY RECOMMENDATIONS AND APPROVAL OF WATER SYSTEM DESIGN



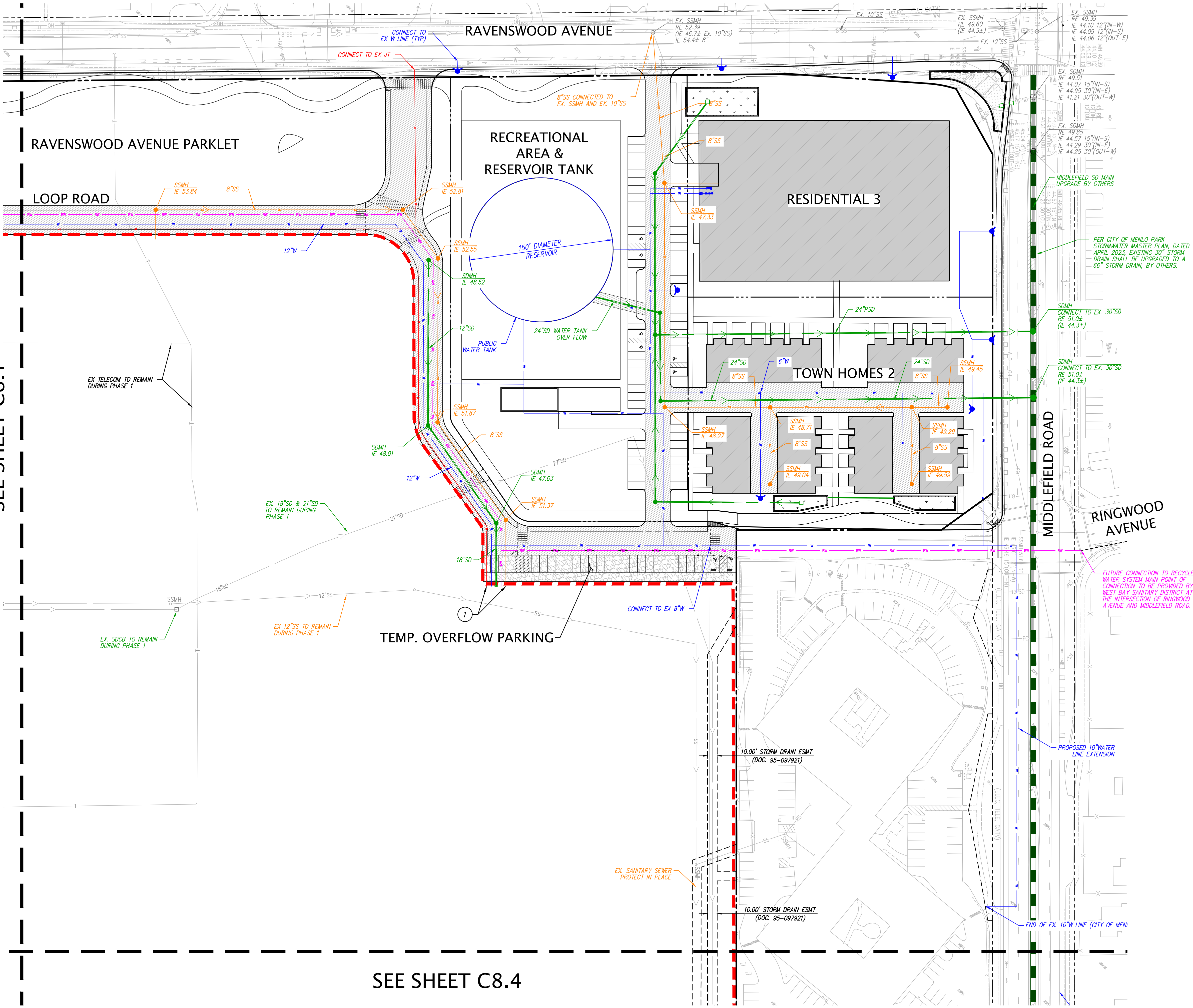
TYPICAL UTILITY CORRIDOR

NOT TO SCALE



SEE SHEET C8.1

SEE SHEET C8.4



LEGEND

PROPOSED	EXISTING	DESCRIPTION
		BUILDING LINE
		CENTER LINE
		CONCRETE CURB & GUTTER
		CONTOUR LINE
		DRIVEWAY
		EDGE OF PAVEMENT
		ELECTRIC LINE
		FENCE LINE
		FIRE SERVICE & VALVE
		FIBER OPTICS LINE
		GAS LINE - VALVE & METER
		GUARD RAIL
		JOINT TRENCH LINE
		LOT LINE
		MONUMENT/MONUMENT LINE
		OVERHEAD POWER LINE
		BOUNDARY LOT LINE
		PROPERTY LINE
		PRIVATE RECYCLED WATER LINE & VALVE (8" TYP)
		PUBLIC RECYCLED WATER LINE & VALVE (8" TYP)
		PRIVATE SANITARY SEWER - MANHOLE & CLEANOUT (8" TYP)
		PUBLIC SANITARY SEWER - MANHOLE & CLEANOUT (8" TYP)
		SIDEWALK
		PRIVATE STORM DRAIN - MANHOLE & CATCH BASIN (SIZE PER PLAN)
		PUBLIC STORM DRAIN - MANHOLE & CATCH BASIN (SIZE PER PLAN)
		PRIVATE WATER LINE & VALVE (12" TYP)
		PUBLIC WATER LINE & VALVE (12" TYP)
		BACKFLOW PREVENTION DEVICE
		ELECTROLIER
		FIRE HYDRANT
		WATER METER
		PROPOSED PUBLIC SERVICE EASEMENT (PSE)
		TEMPORARY GRAVEL CLASS IIAB OVERFLOW PARKING
		PHASE LINE
		POINTS OF CONNECTION OF PROPOSED ONSITE WATER SYSTEM
		ONSITE POC CONNECT TO EX. 12" W LINE

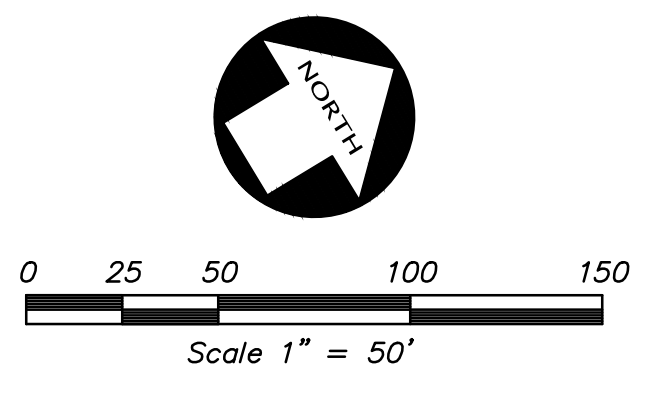
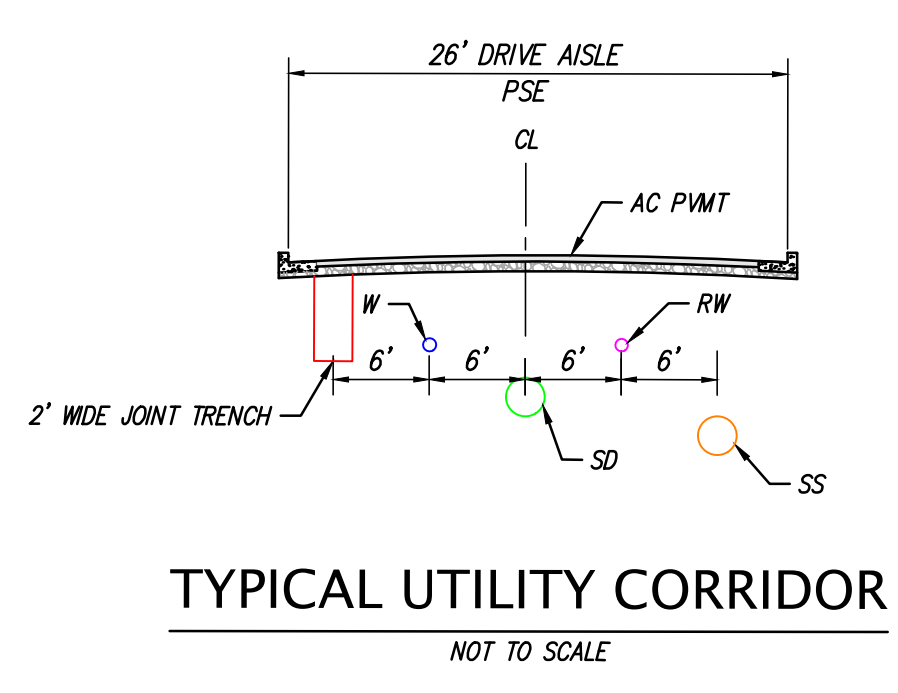
KEYNOTES

- 1. STUB FOR FUTURE UTILITY (TYP)

NOTES

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TEMP. OVERFLOW PARKING

TOWN HOMES 1

BUILDING S

COMMON UTILITY YARD

BUILDING T

LAUREL STREET

BURGESS DRIVE

SEE SHEET C8.4

LEGEND

PROPOSED	EXISTING	
		BUILDING LINE
		CENTER LINE
		CONCRETE CURB
		CONCRETE CURB & GUTTER
		CONTOUR LINE
		DRIVEWAY
		EDGE OF PAVEMENT
		ELECTRIC LINE
		FENCE LINE
		FIRE SERVICE & VALVE
		FIBER OPTICS LINE
		GAS LINE-VALVE & METER
		GUARD RAIL
		JOINT TRENCH LINE
		LOT LINE
		MONUMENT/MONUMENT LINE
		OVERHEAD POWER LINE
		BOUNDARY LOT LINE
		PROPERTY LINE
		PRIVATE RECYCLED WATER LINE & VALVE (8" TYP)
		PUBLIC RECYCLED WATER LINE & VALVE (8" TYP)
		PRIVATE SANITARY SEWER-MANHOLE & CLEANOUT (8" TYP)
		PUBLIC SANITARY SEWER-MANHOLE & CLEANOUT (8" TYP)
		SIDEWALK
		PRIVATE STORM DRAIN-MANHOLE & CATCH BASIN (SIZE PER PLAN)
		PUBLIC STORM DRAIN-MANHOLE & CATCH BASIN (SIZE PER PLAN)
		PRIVATE WATER LINE & VALVE (12" TYP)
		PUBLIC WATER LINE & VALVE (12" TYP)
		BACKFLOW PREVENTION DEVICE
		ELECTROLINER
		FIRE HYDRANT
		WATER METER
		PROPOSED PUBLIC SERVICE EASEMENT (PSE)
		TEMPORARY GRAVEL CLASS IIAB OVERFLOW PARKING
		PHASE LINE
		ONSITE POC CONNECT TO EX. 12" W LINE
		POINTS OF CONNECTION OF PROPOSED ONSITE WATER SYSTEM

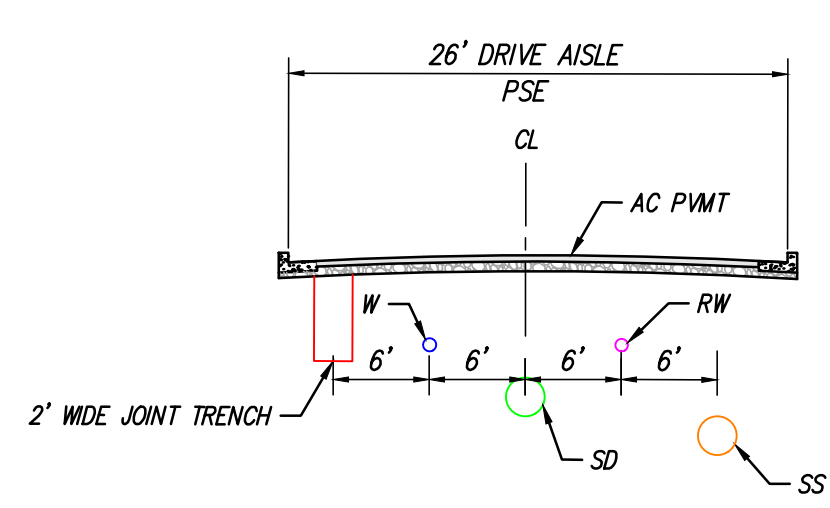
KEYNOTES

- ① STUB FOR FUTURE UTILITY (TYP)

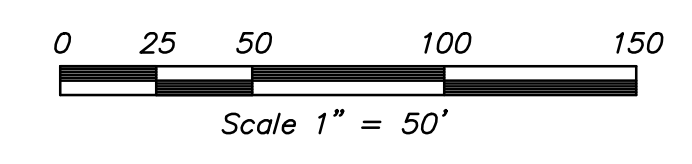
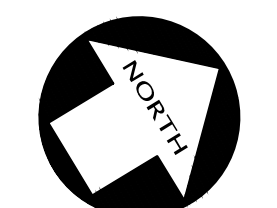
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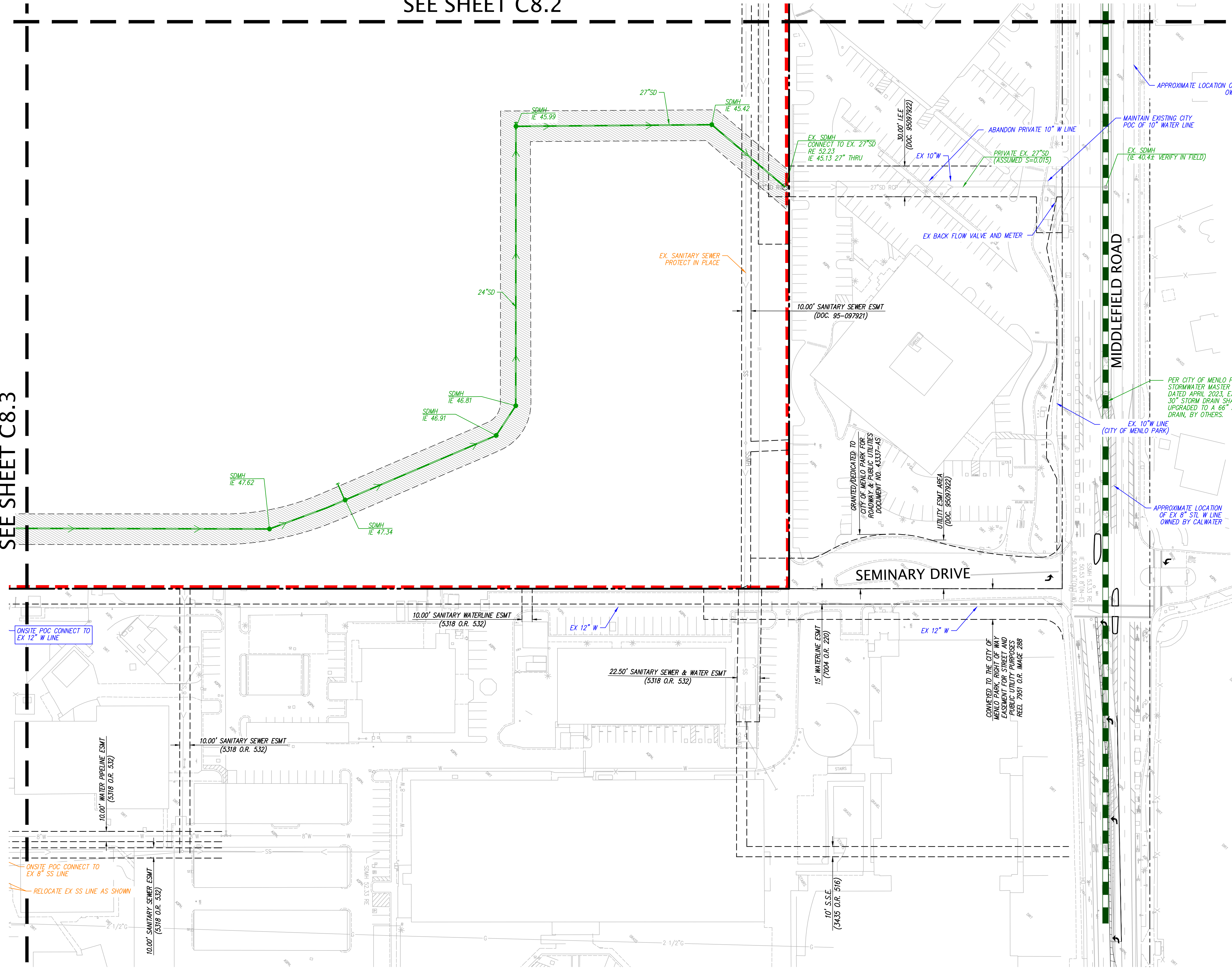
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TYPICAL UTILITY CORRIDOR NOT TO SCALE





LEGEND

PROPOSED	EXISTING	DESCRIPTION
		BUILDING LINE
		CENTER LINE
		CONCRETE CURB
		CONCRETE CURB & GUTTER
		CONTOUR LINE
		DRIVEWAY
		EDGE OF PAVEMENT
		ELECTRIC LINE
		FENCE LINE
		FIRE SERVICE & VALVE
		FIBER OPTICS LINE
		GAS LINE-VALVE & METER
		GUARD RAIL
		JOINT TRENCH LINE
		LOT LINE
		MONUMENT/MONUMENT LINE
		OVERHEAD POWER LINE
		BOUNDARY LOT LINE
		PROPERTY LINE
		PRIVATE RECYCLED WATER LINE & VALVE (8\"/>
		PUBLIC RECYCLED WATER LINE & VALVE (8\"/>
		PRIVATE SANITARY SEWER-MANHOLE & CLEANOUT (8\"/>
		PUBLIC SANITARY SEWER-MANHOLE & CLEANOUT (8\"/>
		SIDEWALK
		PRIVATE STORM DRAIN-MANHOLE & CATCH BASIN (SIZE PER PLAN)
		PUBLIC STORM DRAIN-MANHOLE & CATCH BASIN (SIZE PER PLAN)
		PRIVATE WATER LINE & VALVE (12\"/>
		PUBLIC WATER LINE & VALVE (12\"/>
		BACKFLOW PREVENTION DEVICE
		ELECTROLIER
		FIRE HYDRANT
		WATER METER
		PROPOSED PUBLIC SERVICE EASEMENT (PSE)
		TEMPORARY GRAVEL CLASS IIAB OVERFLOW PARKING
		PHASE LINE
		ONSITE POC CONNECT TO EX. 12\"/>
		POINTS OF CONNECTION OF PROPOSED ONSITE WATER SYSTEM

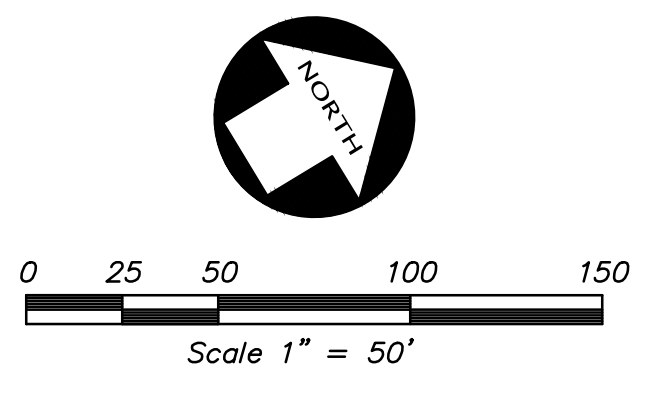
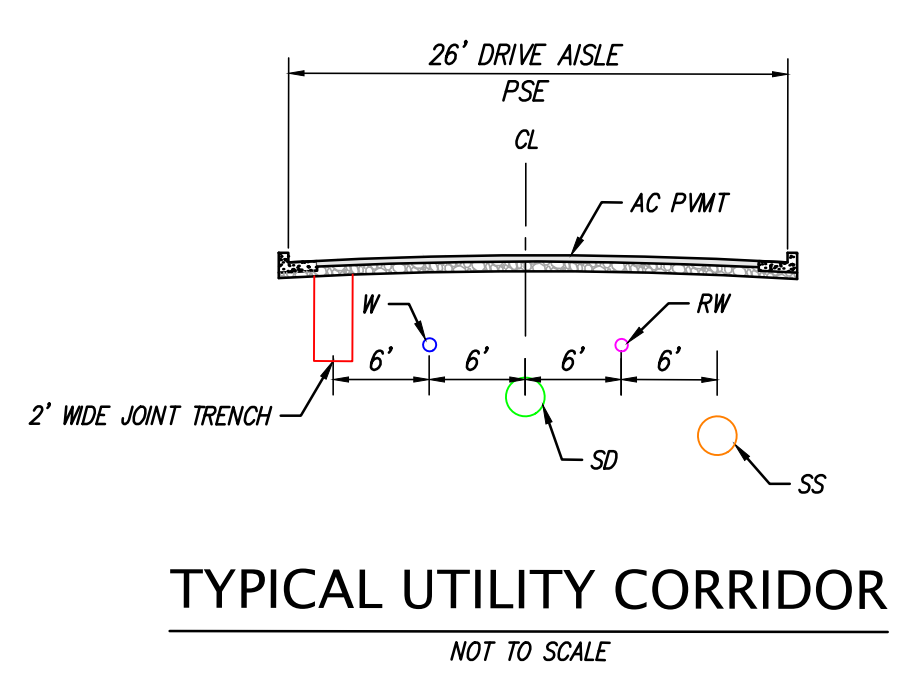
KEYNOTES

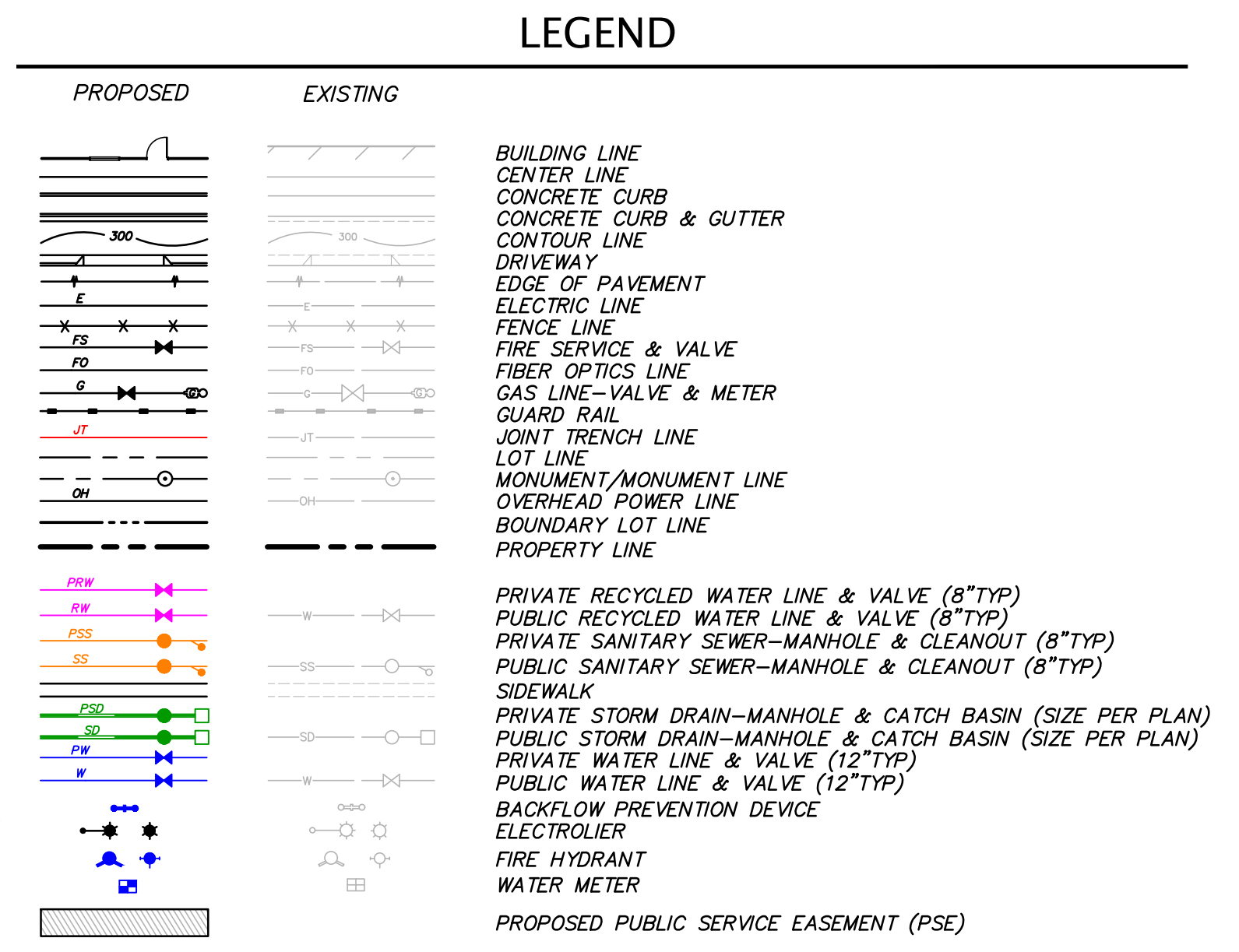
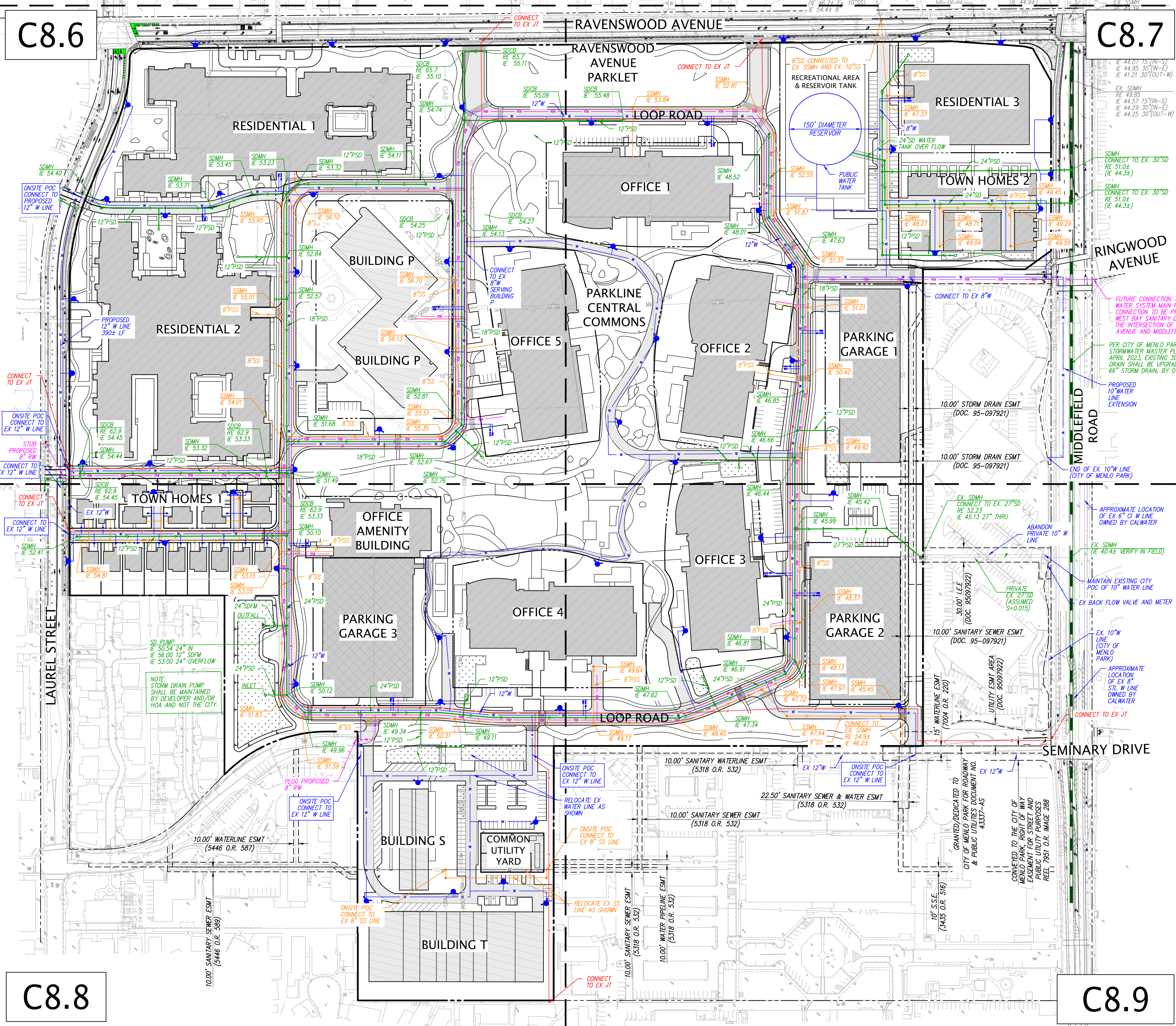
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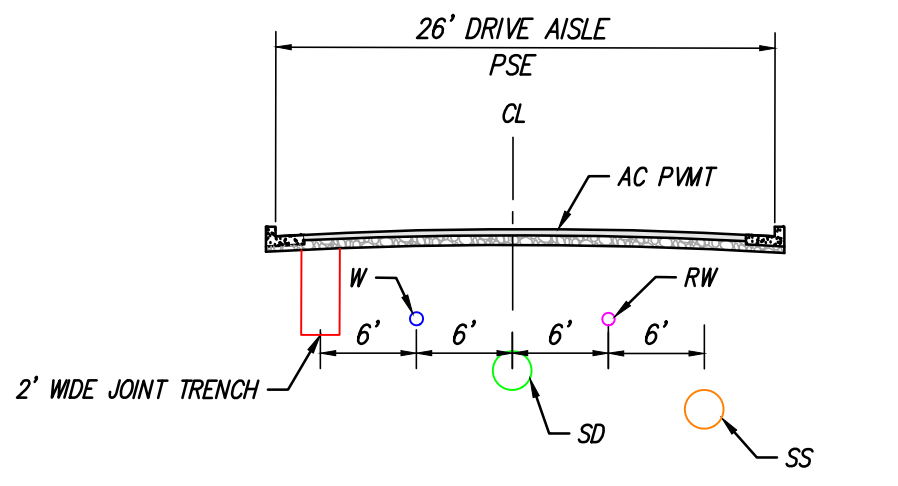
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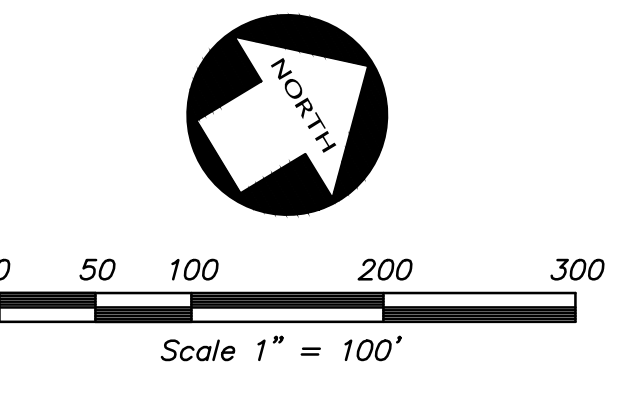


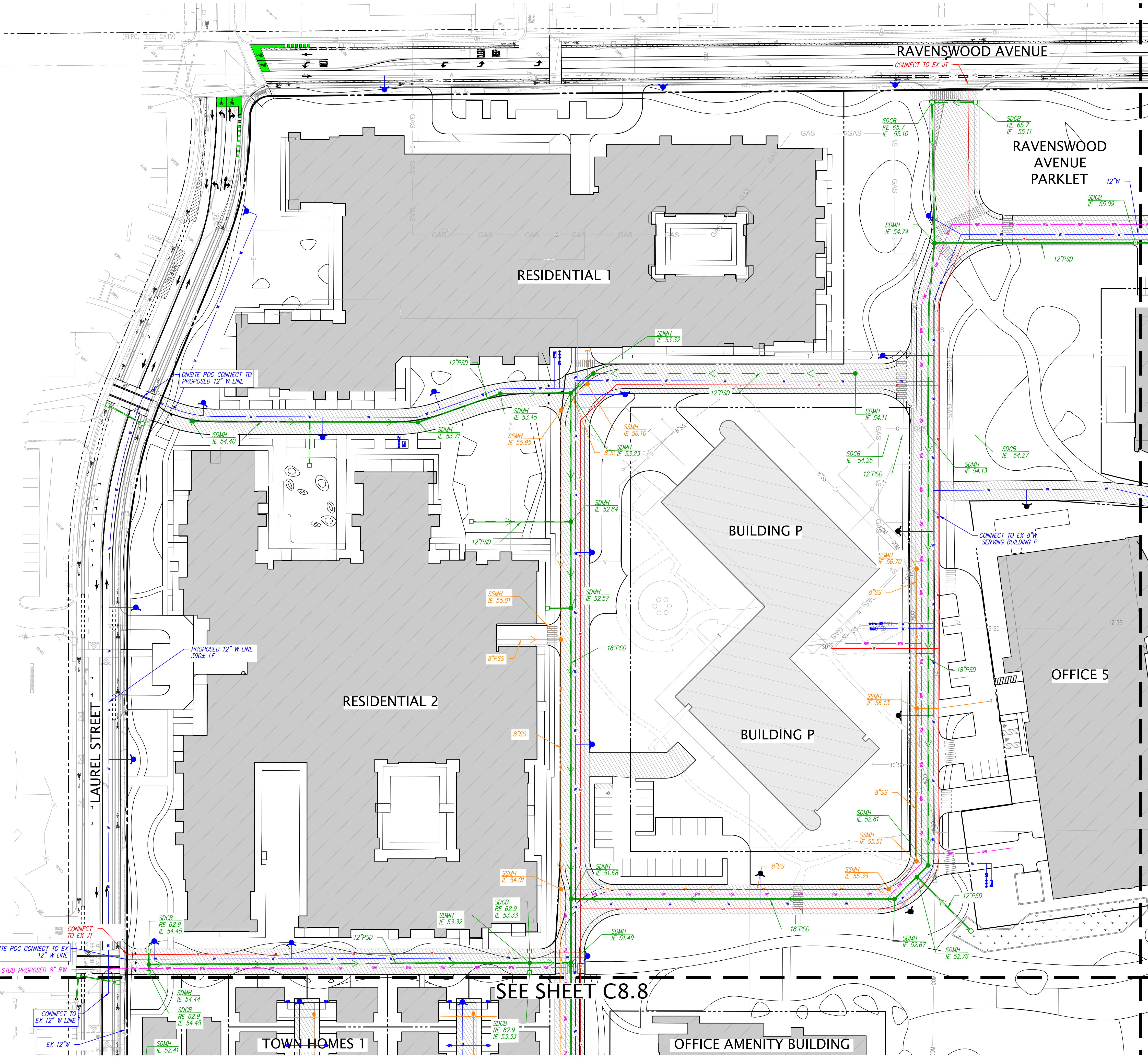
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TYPICAL UTILITY CORRIDOR
NOT TO SCALE



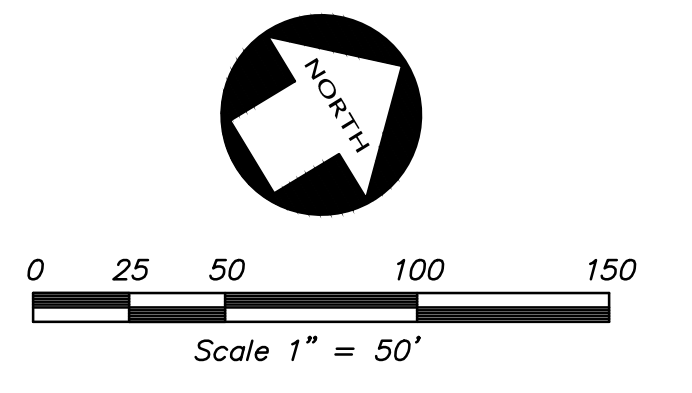
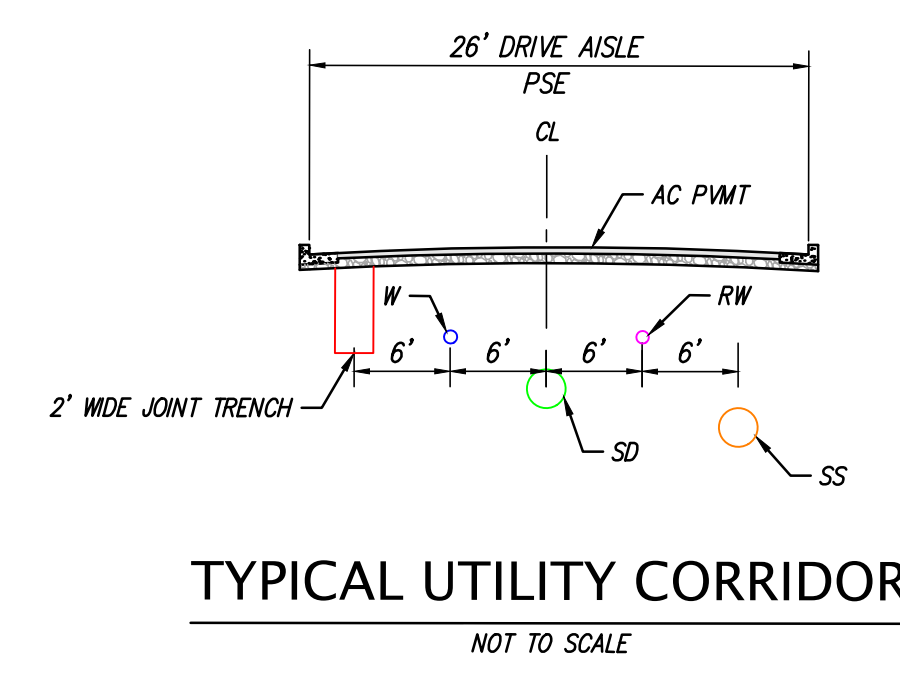


LEGEND

PROPOSED	EXISTING	
		BUILDING LINE
		CENTER LINE
		CONCRETE CURB & GUTTER
		CONTOUR LINE
		DRIVEWAY
		EDGE OF PAVEMENT
		ELECTRIC LINE
		FENCE LINE
		FIRE SERVICE & VALVE
		FIBER OPTICS LINE
		GAS LINE-VALVE & METER
		GUARD RAIL
		JOINT TRENCH LINE
		LOT LINE
		MONUMENT/MONUMENT LINE
		OVERHEAD POWER LINE
		BOUNDARY LOT LINE
		PROPERTY LINE
		PRIVATE RECYCLED WATER LINE & VALVE (8" TYP)
		PUBLIC RECYCLED WATER LINE & VALVE (8" TYP)
		PRIVATE SANITARY SEWER-MANHOLE & CLEANOUT (8" TYP)
		PUBLIC SANITARY SEWER-MANHOLE & CLEANOUT (8" TYP)
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		PUBLIC STORM DRAIN-MANHOLE & CATCH BASIN (SIZE PER PLAN)
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		BACKFLOW PREVENTION DEVICE
		ELECTROLINER
		FIRE HYDRANT
		WATER METER
		PROPOSED PUBLIC SERVICE EASEMENT (PSE)

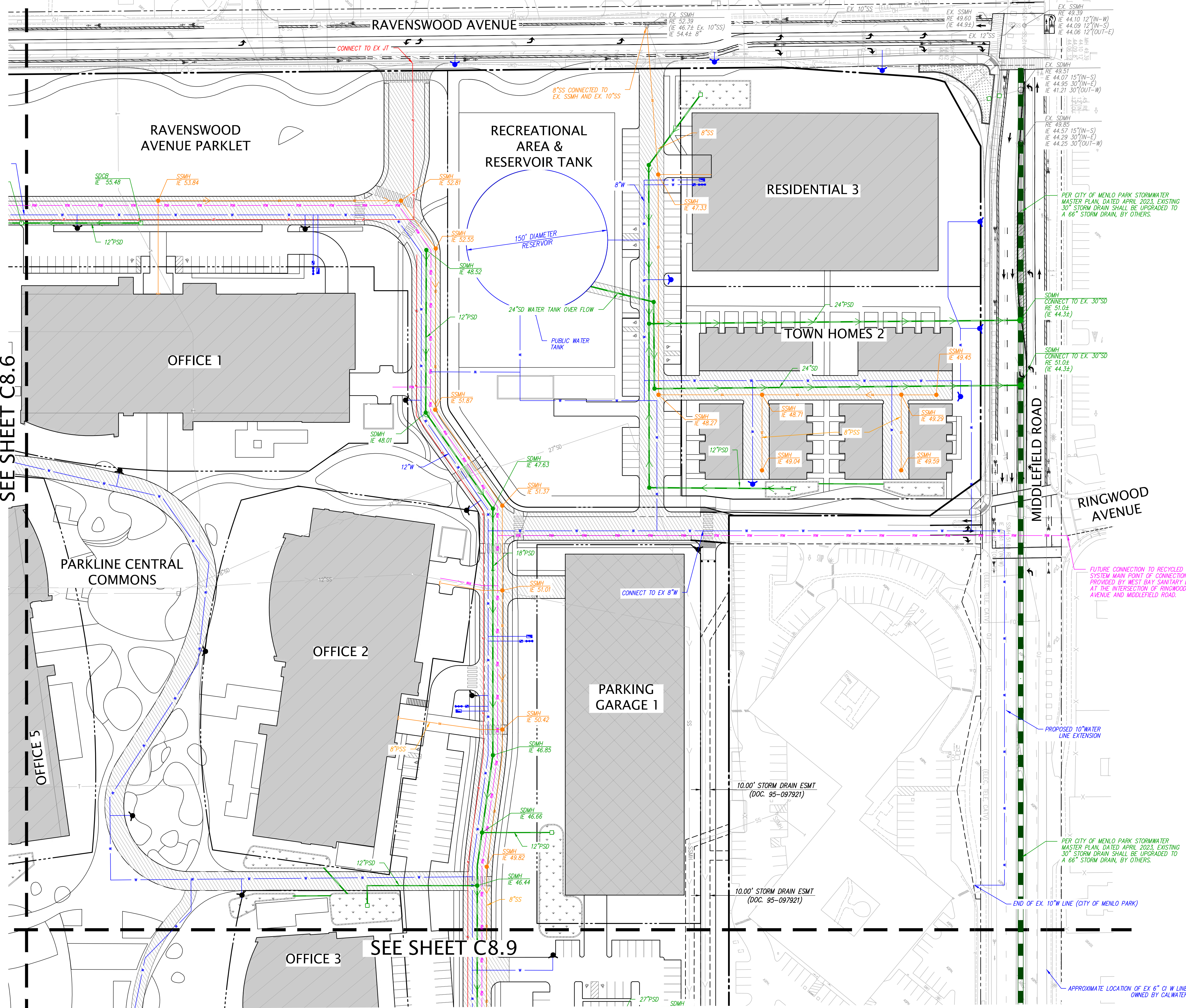
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SEE SHEET C8.7

SEE SHEET C8.8



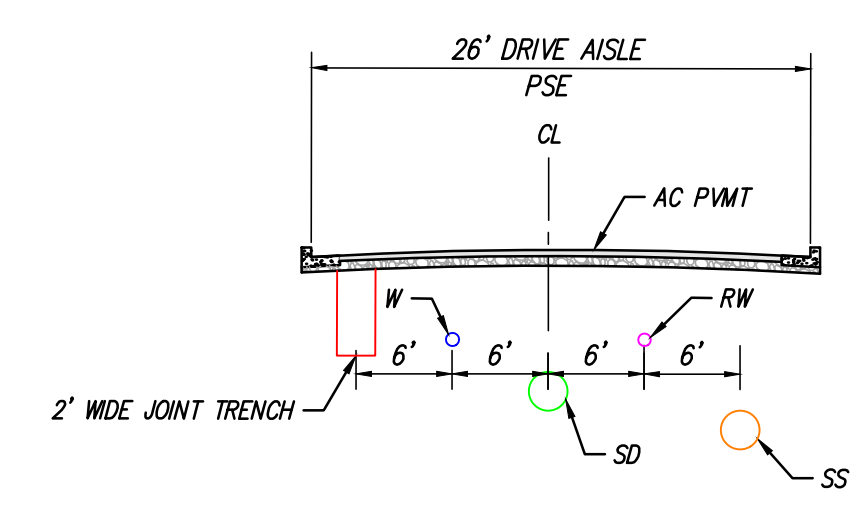
LEGEND

PROPOSED	EXISTING	DESCRIPTION
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[Symbol]	[Symbol]	CENTER LINE
[Symbol]	[Symbol]	CONCRETE CURB & GUTTER
[Symbol]	[Symbol]	CONTOUR LINE
[Symbol]	[Symbol]	DRIVEWAY
[Symbol]	[Symbol]	EDGE OF PAVEMENT
[Symbol]	[Symbol]	ELECTRIC LINE
[Symbol]	[Symbol]	FENCE LINE
[Symbol]	[Symbol]	FIRE SERVICE & VALVE
[Symbol]	[Symbol]	FIBER OPTICS LINE
[Symbol]	[Symbol]	GAS LINE-VALVE & METER
[Symbol]	[Symbol]	GUARD RAIL
[Symbol]	[Symbol]	JOINT TRENCH LINE
[Symbol]	[Symbol]	LOT LINE
[Symbol]	[Symbol]	MONUMENT/MONUMENT LINE
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[Symbol]	[Symbol]	BOUNDARY LOT LINE
[Symbol]	[Symbol]	PROPERTY LINE
[Symbol]	[Symbol]	PRIVATE RECYCLED WATER LINE & VALVE (8" TYP)
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[Symbol]	[Symbol]	PRIVATE SANITARY SEWER-MANHOLE & CLEANOUT (8" TYP)
[Symbol]	[Symbol]	PUBLIC SANITARY SEWER-MANHOLE & CLEANOUT (8" TYP)
[Symbol]	[Symbol]	SIDEWALK
[Symbol]	[Symbol]	PRIVATE STORM DRAIN-MANHOLE & CATCH BASIN (SIZE PER PLAN)
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[Symbol]	[Symbol]	BACKFLOW PREVENTION DEVICE
[Symbol]	[Symbol]	ELECTROLIER
[Symbol]	[Symbol]	FIRE HYDRANT
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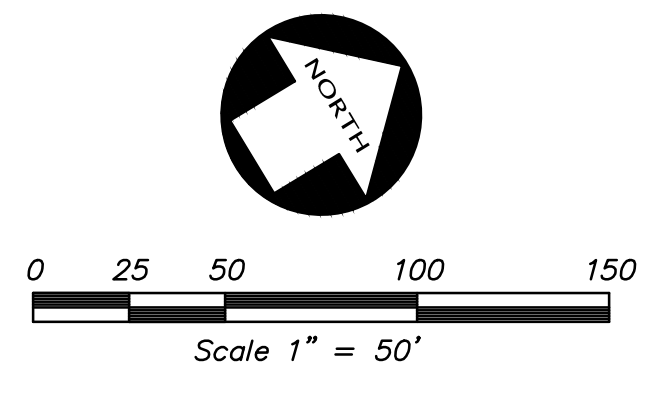
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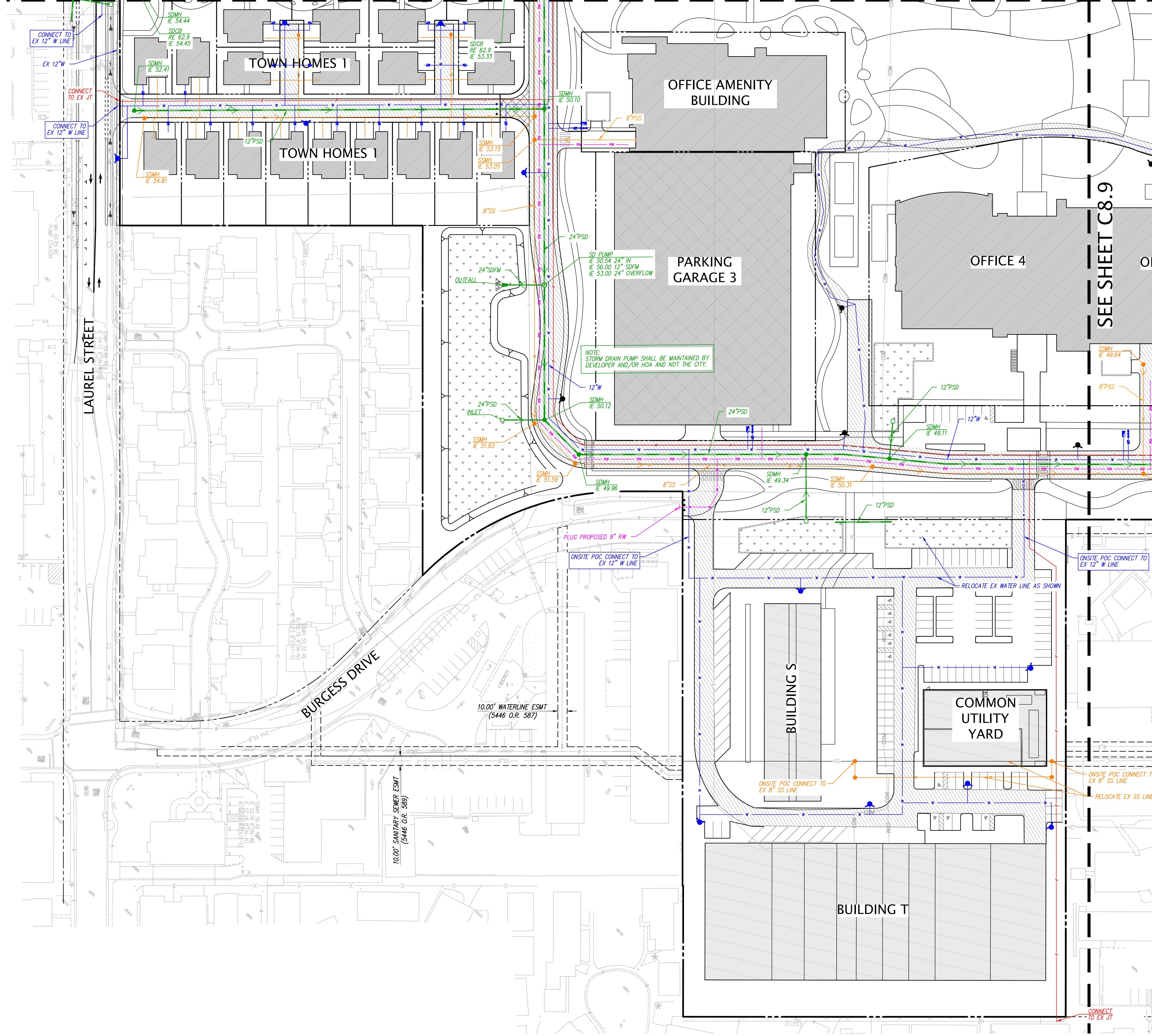


TYPICAL UTILITY CORRIDOR
NOT TO SCALE



SEE SHEET C8.6

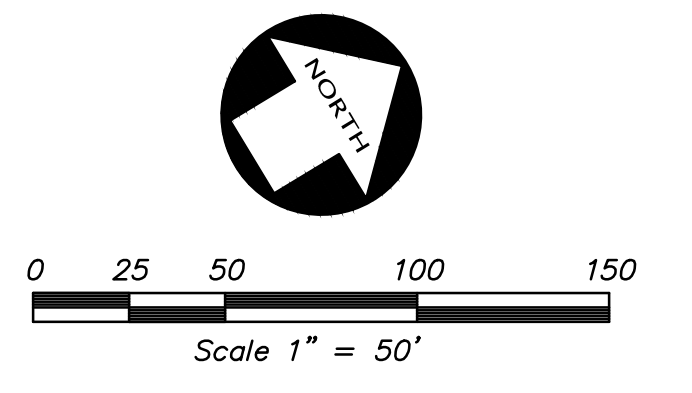
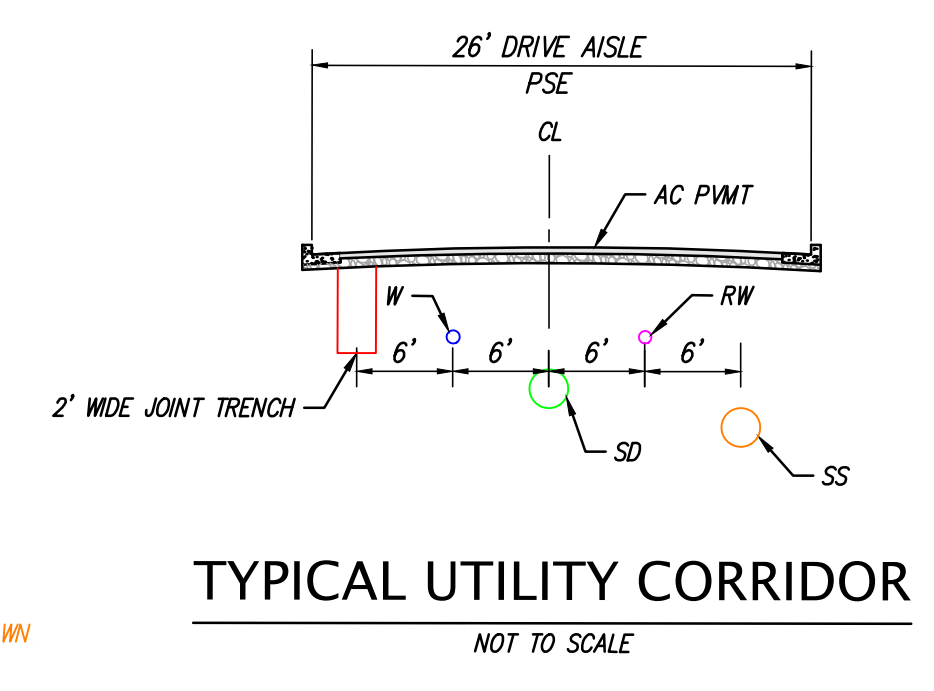
SEE SHEET C8.9

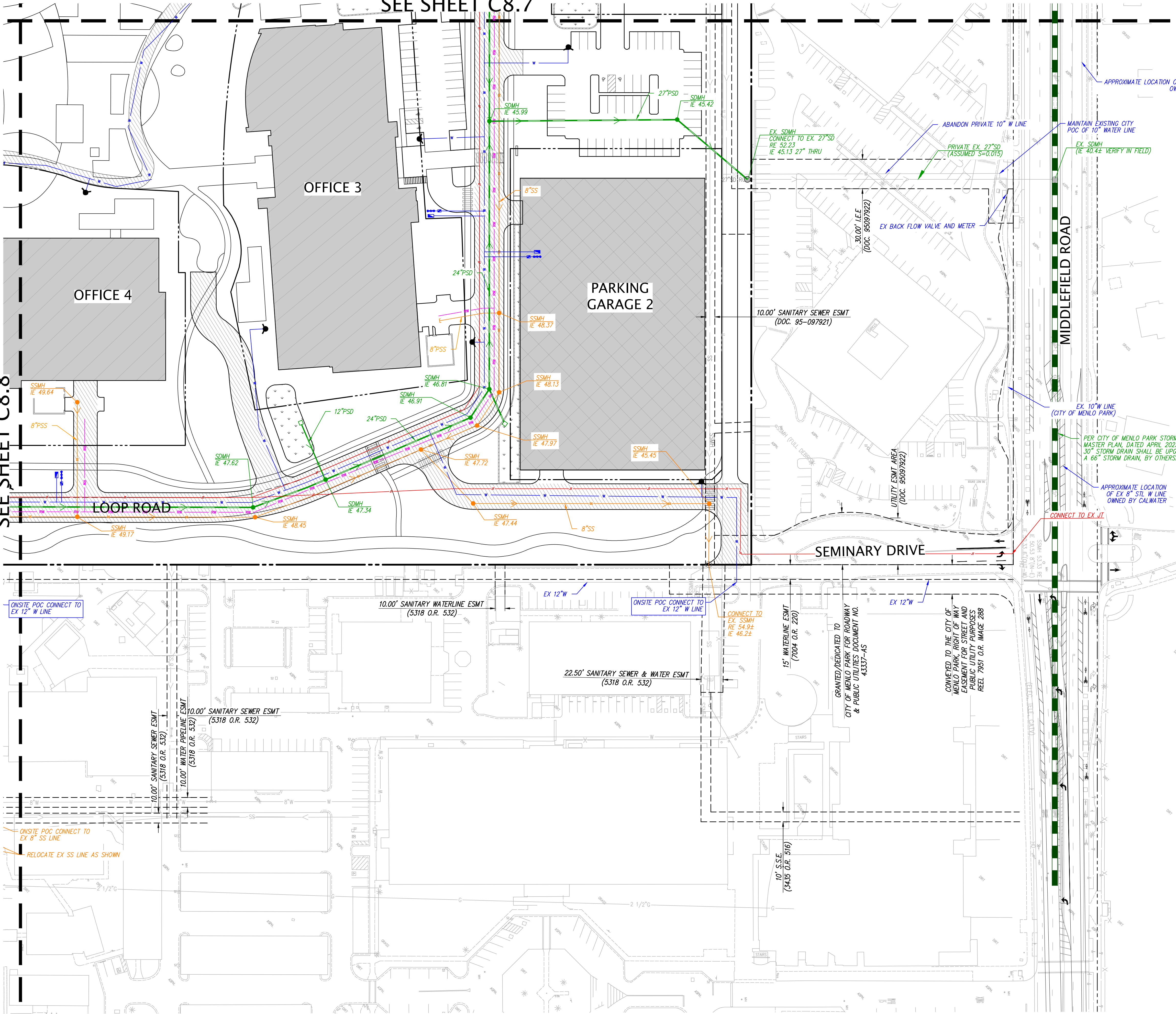


LEGEND

PROPOSED	EXISTING	DESCRIPTION
[Symbol]	[Symbol]	BUILDING LINE
[Symbol]	[Symbol]	CENTER LINE
[Symbol]	[Symbol]	CONCRETE CURB & GUTTER
[Symbol]	[Symbol]	CONTOUR LINE
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[Symbol]	[Symbol]	EDGE OF PAVEMENT
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[Symbol]	[Symbol]	GUARD RAIL
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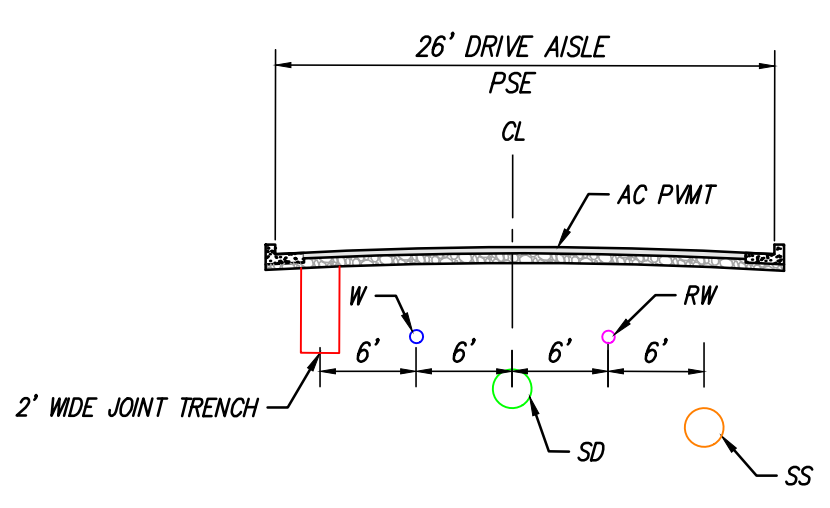
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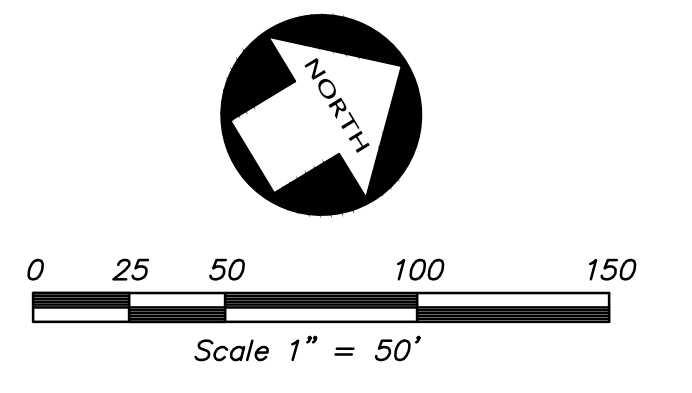
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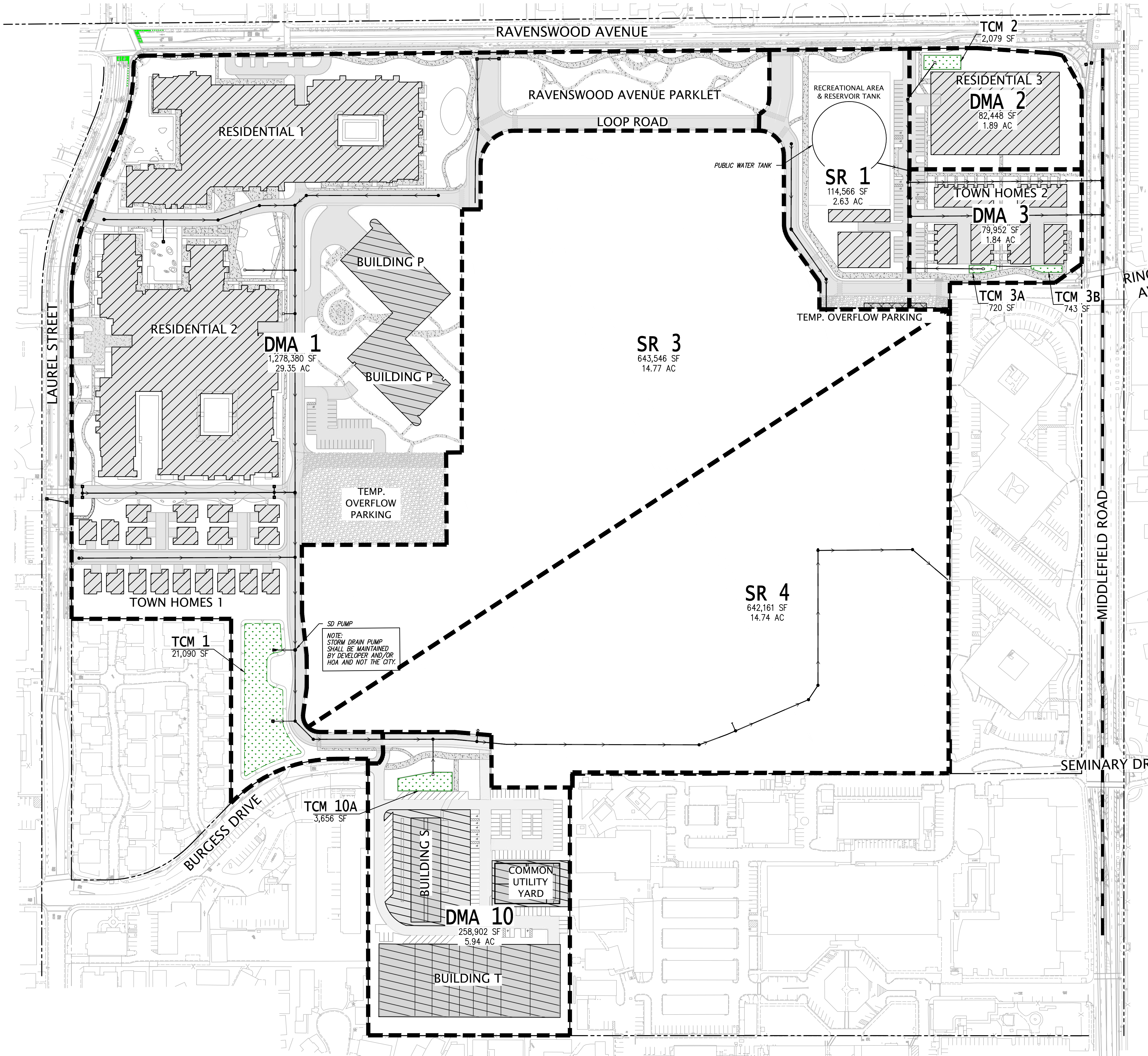
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TYPICAL UTILITY CORRIDOR NOT TO SCALE





LEGEND

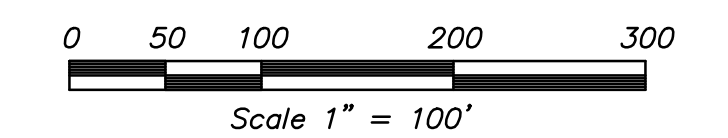
- IMPERVIOUS ROOF AREA - PROPOSED BUILDING
- IMPERVIOUS ROOF AREA - PROPOSED GARAGE
- IMPERVIOUS ROOF AREA - EXISTING BUILDING TO REMAIN
- IMPERVIOUS AC PAVEMENT AREA
- IMPERVIOUS PCC PAVEMENT AREA
- IMPERVIOUS WOOD DECK
- PERVIOUS AREA
- FLOW THROUGH PLANTER SEE DETAIL 2 SHEET C9.4
- BIORETENTION PLANTER SEE DETAIL 1 SHEET C9.4
- EQUALIZING PIPE BETWEEN PLANTERS
- TRIBUTARY AREA LIMITS
- DRAINAGE MANAGEMENT AREA
- TREATMENT CONTROL MEASURE
- SELF RETAINING AREA

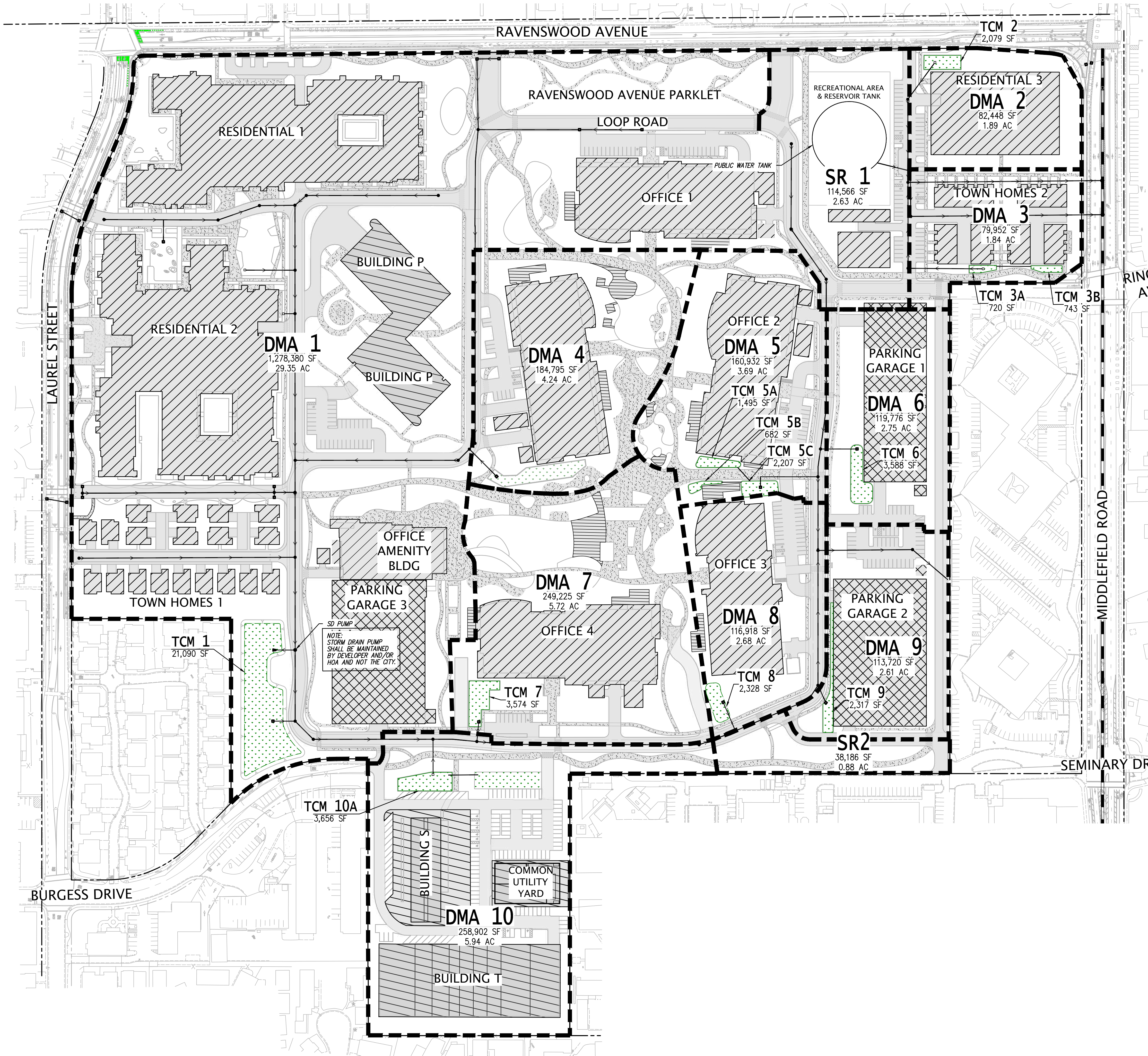
	PERVIOUS AREA	AC PAVEMENT AREA	PCC PAVEMENT AREA	ROOF AREA	TOTAL AREA
EXISTING	±784,300 SF	±1,375,000	-	±638,500 SF	±2,797,800 SF
PHASE 1	±2,014,900 SF	±187,400 SF	±168,400 SF	±427,100 SF	±2,797,800 SF

NOTE: TOTAL AREAS ROUNDED TO THE NEAREST HUNDRED SEE STORMWATER MANAGEMENT PLAN

NOTE:
ALL BIORETENTION BASINS, WITHIN PHASE 1, WILL BE REQUIRED TO BE INSTALLED AND FUNCTIONING DURING PHASE 1

SD PUMP
NOTE: STORM DRAIN PUMP SHALL BE MAINTAINED BY DEVELOPER AND/OR HOA AND NOT THE CITY.



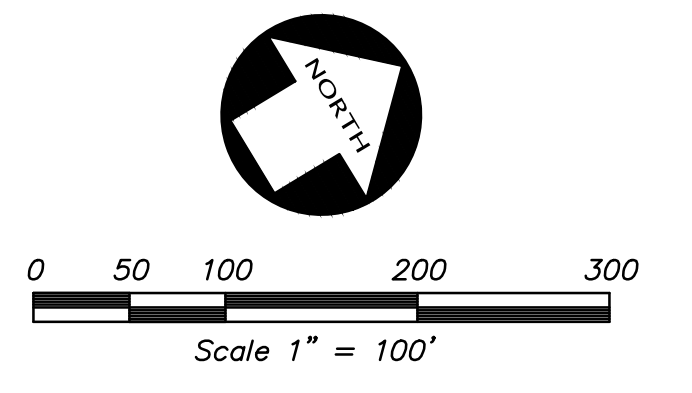


LEGEND

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- IMPERVIOUS ROOF AREA - PROPOSED GARAGE
- IMPERVIOUS ROOF AREA - EXISTING BUILDING TO REMAIN
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- FLOW THROUGH PLANTER SEE DETAIL 2 SHEET C9.4
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- EQUALIZING PIPE BETWEEN PLANTERS
- TRIBUTARY AREA LIMITS
- DRAINAGE MANAGEMENT AREA
- TREATMENT CONTROL MEASURE
- SELF RETAINING AREA

	PERVIOUS AREA	AC PAVEMENT AREA	PCC PAVEMENT AREA	ROOF AREA	DECK AREA	TOTAL AREA
EXISTING	±784,300 SF	±1,375,000	-	±638,500 SF	-	±2,797,800 SF
FULL BUILDOUT	±1,032,900 SF	±478,500 SF	±311,600 SF	±950,000 SF	±24,800 SF	±2,797,800 SF

NOTES: TOTAL AREAS ROUNDED TO THE NEAREST HUNDRED
SEE STORMWATER MANAGEMENT PLAN



EX. CB #2
DA = 0.50 AC

CB #4
DA = 0.59 AC

DA 2
26,903 SF

DMA 1
68,093 SF

CB #1
DA = 0.50 AC

TCM 1
1,646 SF

DA 3
5,737 SF

DA 1
13,275 SF

HIGHPOINT

RINGWOOD AVENUE

LAUREL STREET





MIDDLEFIELD ROAD

SEMINARY DRIVE

BURGESS DRIVE

POC #3
DA = 0.29 AC

LEGEND

-  BIORETENTION TREATMENT AREA
-  DISTURBED AREA
-  EXISTING RETAINED AC PAVEMENT TREATED IN LIEU OF DA 1 & 3
-  TRIBUTARY AREA LIMITS
- AC ACRES
- DMA DRAINAGE MANAGEMENT AREA
- TCM TREATMENT CONTROL MEASURE
- IL IN-LIEU
- DA DISTURBED AREA
- POC POINT OF CONCENTRATION

	PERVIOUS AREA	AC PAVEMENT AREA	PCC PAVEMENT AREA	TOTAL AREA
EXISTING	±13,700 SF	±90,900 SF	±23,600 SF	±128,200 SF
PROPOSED	±22,900 SF	±90,700 SF	±14,600 SF	±128,200 SF

NOTE: TOTAL AREAS ROUNDED TO THE NEAREST HUNDRED

Worksheet for Calculating the Combination Flow and Volume Method

1.0 Project Information

1.1 Project Name:

1.2 City application ID:

1.3 Site Address or APN:

1.4 Tract or Parcel Map No.:

1.5 Site Mean Annual Precip. (MAP): 20.1 Inches

1.6 Applicable Rain Gauge: San Francisco Airport (SMCWPPP)

MAP adjustment factor is automatically calculated as: 1.00

(The "Site Mean Annual Precipitation (MAP)" is divided by the MAP for the applicable rain gauge, shown in Table 5.2, below.)

2.0 Calculate Percentage of Impervious Surface for Drainage Management Area (DMA)

Name of DMA: DMA 1

For items 2 and 2.3, enter the areas in square feet for each type of surface within the DMA.

Type of Surface	Area of surface type within DMA (Sq. Ft)	Adjust Pervious Surface	Effective Impervious Area
2.2 Impervious Surface	59,487	1.0	59,487
2.3 Pervious Surface*	8,605	0.1	861
Total DMA Area (square feet) = 68,092			
			Total Effective Impervious Area (EIA) = 60,348 Square feet

3.0 Calculate Unit Basin Storage Volume in Inches

Table 5-2: Unit Basin Storage Volumes (in inches) for 80 Percent Capture Using 48-Hour Drawdowns

Applicable Rain Gauge	Mean Annual Precipitation (in)	Unit Basin Storage Volume (in) for Applicable Runoff Coefficients
San Jose Airport (SCURPPP)	33.9	0.58
Palo Alto (SCWPPP)	33.7	0.62
Palo Alto (SMCWPPP)	24.6	0.64
Willoughby (SCWPPP)	38.2	1.00
Morgan Hill (SCWPPP)	39.5	1.00
Boulder Creek (SMCWPPP)	55.9	2.04
La Honda (SMCWPPP)	24.4	0.66
Half Moon Bay (SMCWPPP)	23.92	0.62
San Francisco (SMCWPPP)	21	0.59
San Francisco Airport (SMCWPPP)	30.1	0.65
San Francisco Ocean View (SMCWPPP)	35.3	0.72
Oakland Airport (OWAC)	18.95	1.00

3.1 Unit basin storage volume from Table 5.2: 0.85 Inches

(The coefficient for this method is 1.00, due to the conversion of any landscaping to effective impervious area.)

3.2 Adjusted unit basin storage volume: 0.85 Inches

(The unit basin storage volume is adjusted by applying the MAP adjustment factor.)

3.3 Required Capture Volume (in cubic feet): 4,275 Cubic feet

(The adjusted unit basin storage volume (inches) is multiplied by the size of the DMA and converted to feet.)

4.0 Calculate the Duration of the Rain Event

4.1 Rainfall intensity: 0.2 Inches per hour

4.2 Divide Item 3.2 by Item 4.1: 4.25 Hours of Rain Event Duration

5.0 Preliminary Estimate of Surface Area of Treatment Measure

5.1 4% of DMA impervious surface: 2,414 Square feet

5.2 3% of DMA impervious surface: 1,810 Square feet

5.3 Volume of treated runoff for area in Item 5.2: 3,206 Cubic feet (Item 5.2 * 5 inches per hour * 1/12 * Item 4.2)

6.0 Initial Adjustment of Depth of Surface Ponding Area

6.1 Subtract Item 5.3 from Item 3.3: 1,069 Cubic feet (Amount of runoff to be stored in ponding area)

6.2 Divide Item 6.1 by Item 5.2: 0.6 Feet (depth of stored runoff in surface ponding area)

6.3 Convert Item 6.2 from ft to inches: 7.1 Inches (depth of stored runoff in surface ponding area)

6.4 If ponding depth in Item 6.3 meets your target depth of 6"-12", then Item 7.1 is equal to Item 5.2. If not, continue to Step 7.1.

7.0 Optimize Size of Treatment Measure

7.1 Enter actual treatment area larger or smaller than Item 5.2 based off plans: 1543 Sq. ft. (enter larger area if you need less ponding depth; smaller for more depth.)

7.2 Volume of treated runoff for area in Item 7.1: 2,732 Cubic feet (Item 7.1 * 5 inches per hour * 1/12 * Item 4.2)

7.3 Subtract Item 7.2 from Item 3.3: 1,542 Cubic feet (Amount of runoff to be stored in ponding area)

7.4 Divide Item 7.3 by Item 7.1: 1.00 Feet (depth of stored runoff in surface ponding area)

7.5 Convert Item 7.4 from feet to inches: 12.0 Inches (depth of stored runoff in surface ponding area)

If the ponding depth in Item 7.5 meets target, stop here. If not, repeat Steps 7.1 through 7.5 until you obtain target depth. If the slope of the drainage area > 1%, then 11" will be the max ponding depth (slopes > 1% will increase the ponding depth by 0.2 inches).

IN-LIEU TREATMENT SUMMARY TABLES

DISTURBED AREA	TOTAL AREA (SQ. FT.)	IMPERVIOUS AREA (SQ. FT.)	PERVIOUS AREA (SQ. FT.)	EFFECTIVE IMPERVIOUS AREA (SQ. FT.)
DA 1	13,275	9,095	4,180	9,513
DA 2	26,900	18,295	8,605	19,156
DA 3	5,736	3,436	2,300	3,666
TOTAL	45,911	30,826	15,085	32,335

EFFECTIVE IMPERVIOUS AREA = (0.1xPERVIOUS AREA)+IMPERVIOUS AREA

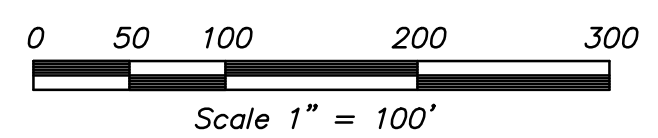
IN-LIEU TREATMENT AREA	TOTAL AREA (SQ. FT.)	IMPERVIOUS AREA (SQ. FT.)	PERVIOUS AREA (SQ. FT.)	EFFECTIVE IMPERVIOUS AREA (SQ. FT.)
DMA 1	68,092	59,487	8,605	60,348
TOTAL	68,092	59,487	8,605	60,348

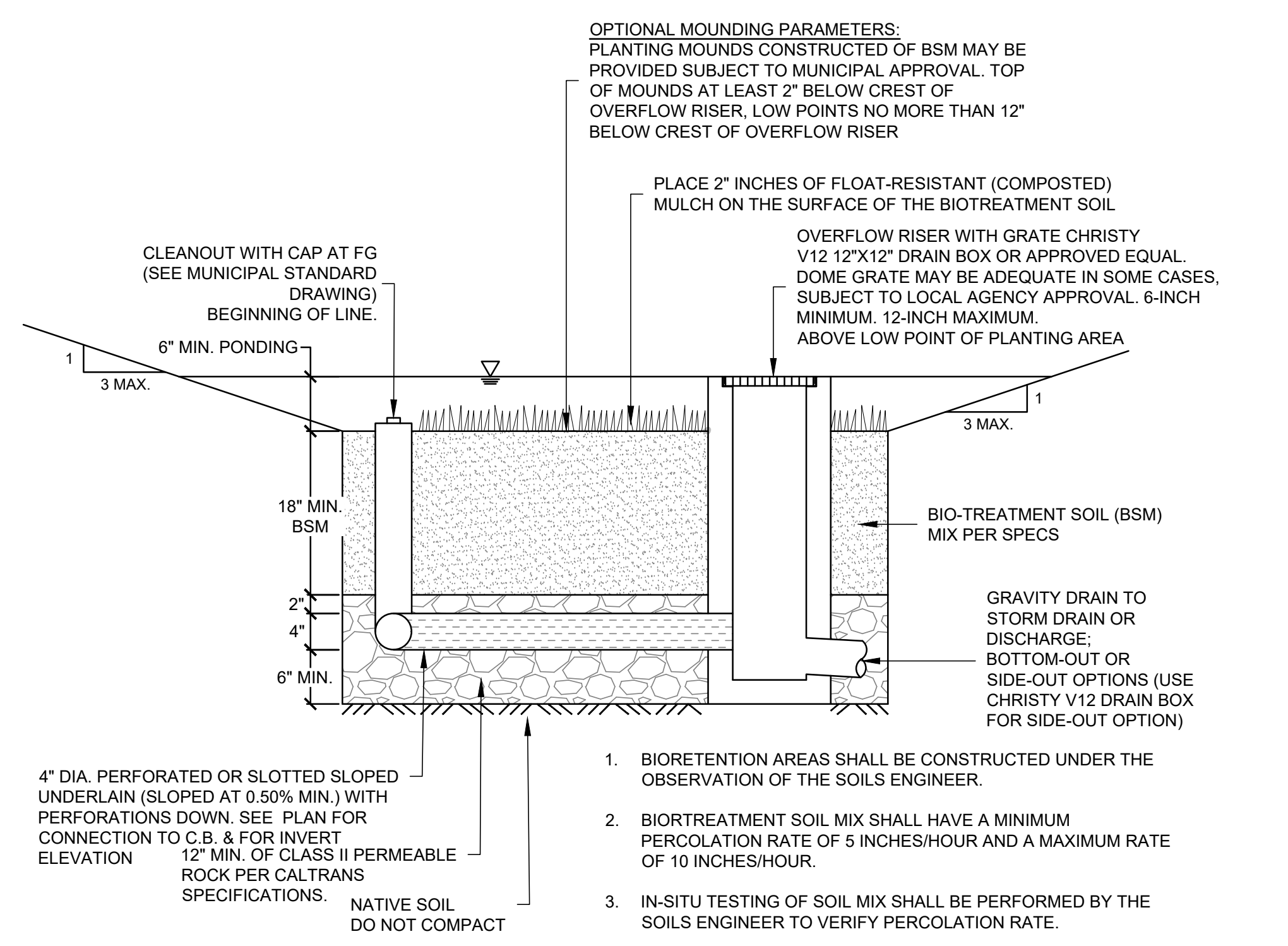
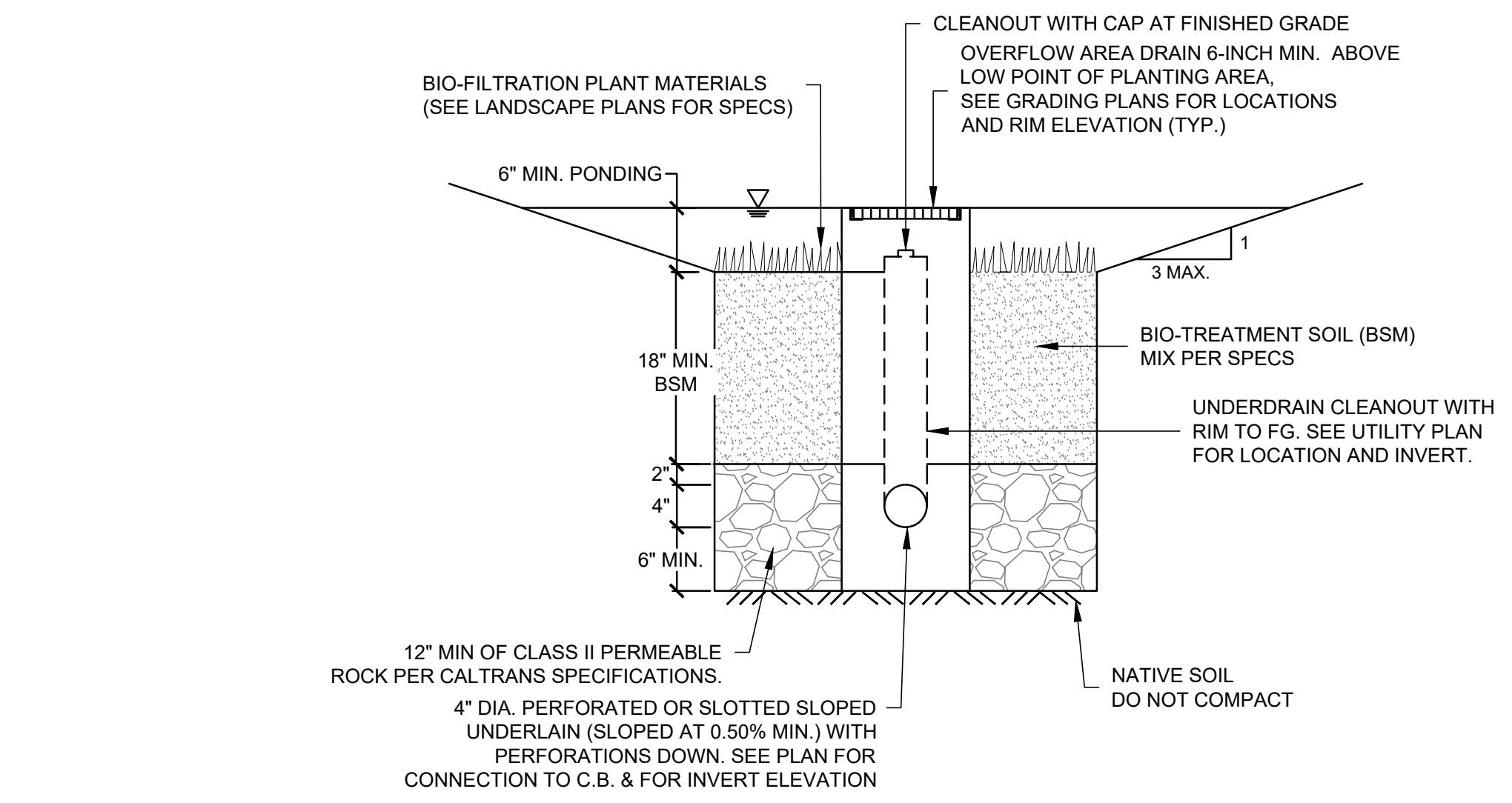
NOTE: DMAs 1, 2, & 3 ARE NOT BEING TREATED, BUT WILL BE TREATED IN-LIEU BY IL-15 AREA, ALONG WITH DMA 11, BY TREATMENT AREA TCM 11. AREA IL-15 IS GREATER THAN THE AREAS OF DMAs 12, 13, & 14 COMBINED.

BIORETENTION SUMMARY TABLE

AREA	TCM	TREATMENT TYPE	TOTAL AREA (SQ. FT.)	IMPERVIOUS AREA (SQ. FT.)	PONDING DEPTH (IN.)	TREATMENT AREA REQ. (SQ. FT.)	TREATMENT AREA PROVIDED (SQ. FT.)
DMA 1	1	FLOW-THRU PLANTER	68,092	59,487	12	1,543	1,646

BIOTREATMENT SIZING BASED ON COMBO CALC METHOD.

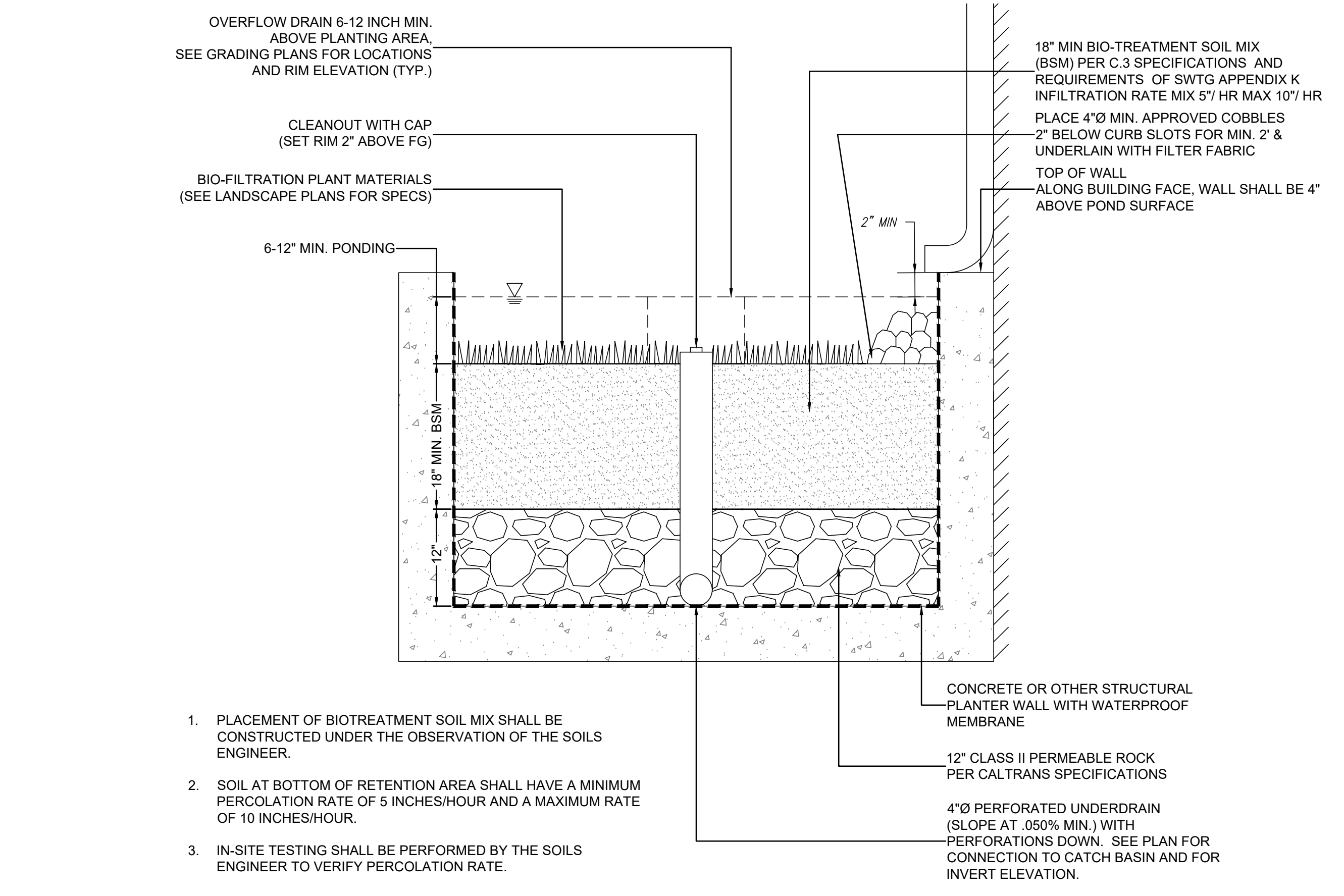
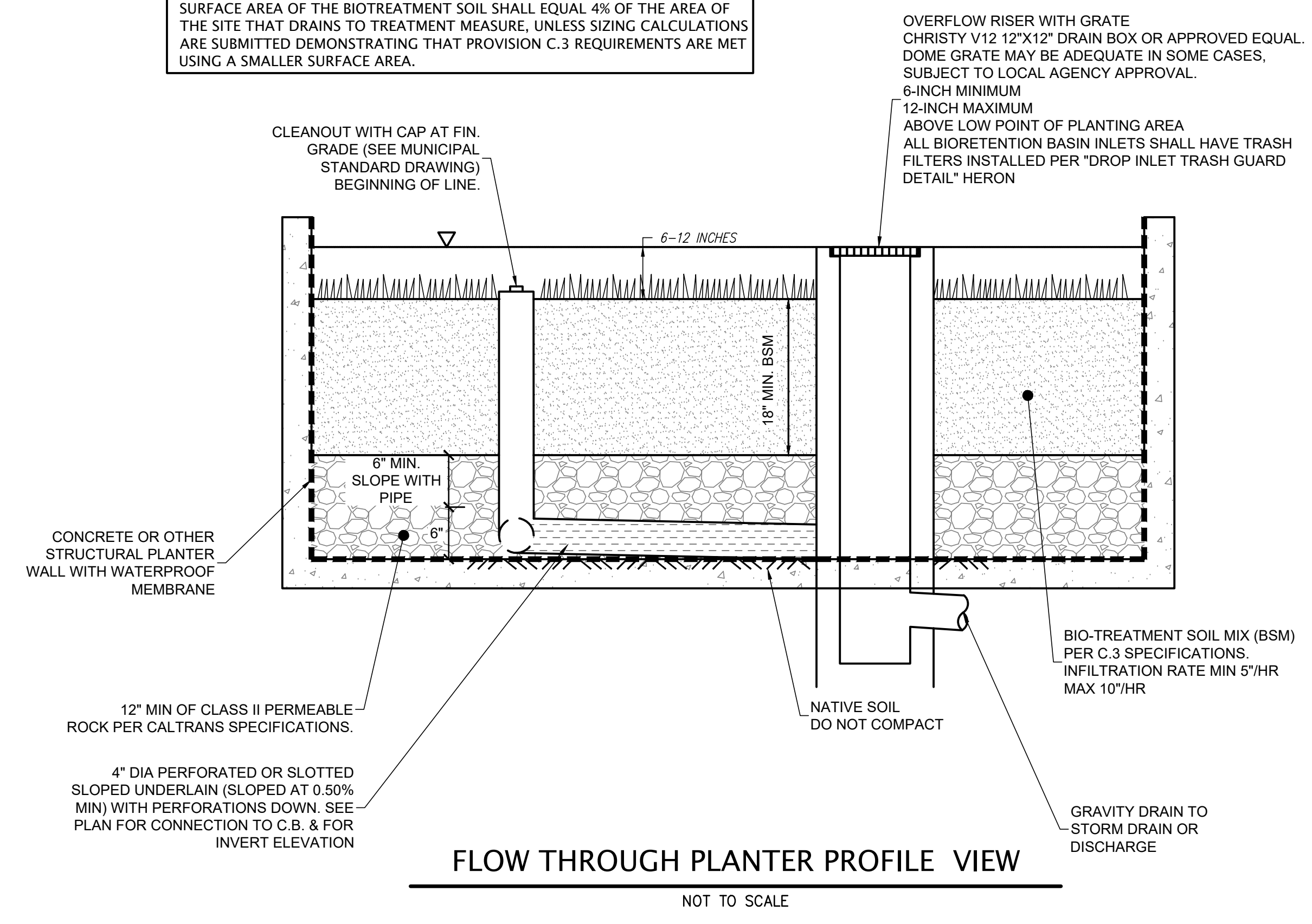




BIORETENTION PLANTER
NOT TO SCALE

1. BIORETENTION AREAS SHALL BE CONSTRUCTED UNDER THE OBSERVATION OF THE SOILS ENGINEER.
2. BIORTREATMENT SOIL MIX SHALL HAVE A MINIMUM PERCOLATION RATE OF 5 INCHES/HOUR AND A MAXIMUM RATE OF 10 INCHES/HOUR.
3. IN-SITU TESTING OF SOIL MIX SHALL BE PERFORMED BY THE SOILS ENGINEER TO VERIFY PERCOLATION RATE.

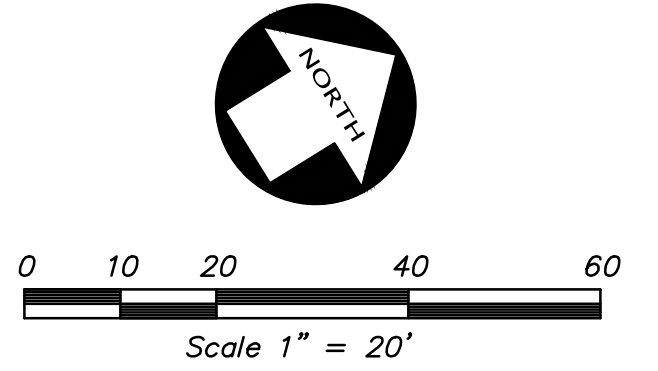
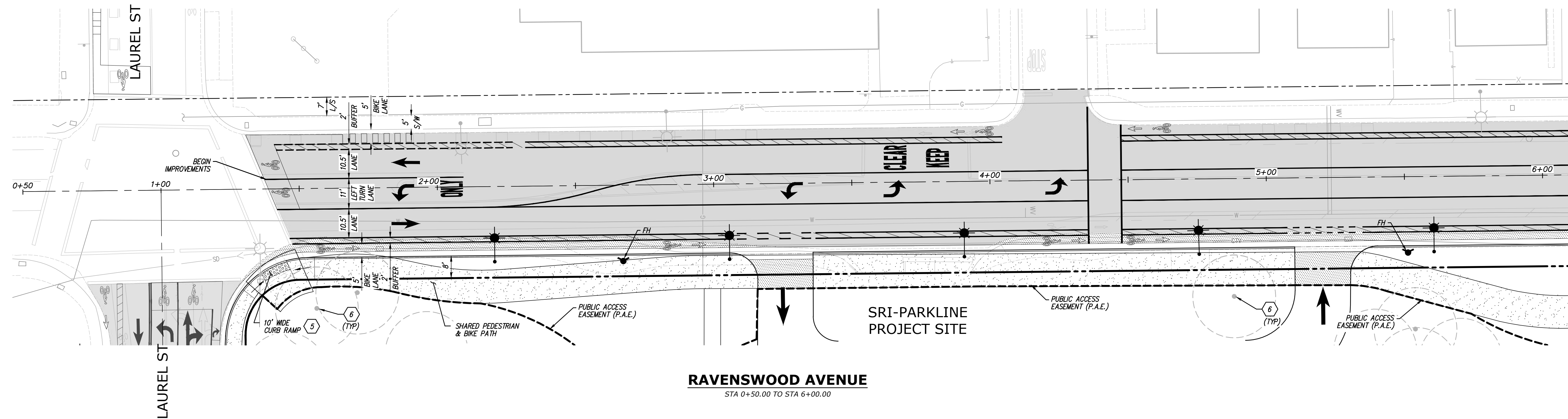
NOTE:
SURFACE AREA OF THE BIOTREATMENT SOIL SHALL EQUAL 4% OF THE AREA OF THE SITE THAT DRAINS TO TREATMENT MEASURE, UNLESS SIZING CALCULATIONS ARE SUBMITTED DEMONSTRATING THAT PROVISION C.3 REQUIREMENTS ARE MET USING A SMALLER SURFACE AREA.



FLOW-THROUGH PLANTER
NOT TO SCALE

1. PLACEMENT OF BIOTREATMENT SOIL MIX SHALL BE CONSTRUCTED UNDER THE OBSERVATION OF THE SOILS ENGINEER.
2. SOIL AT BOTTOM OF RETENTION AREA SHALL HAVE A MINIMUM PERCOLATION RATE OF 5 INCHES/HOUR AND A MAXIMUM RATE OF 10 INCHES/HOUR.
3. IN-SITU TESTING SHALL BE PERFORMED BY THE SOILS ENGINEER TO VERIFY PERCOLATION RATE.

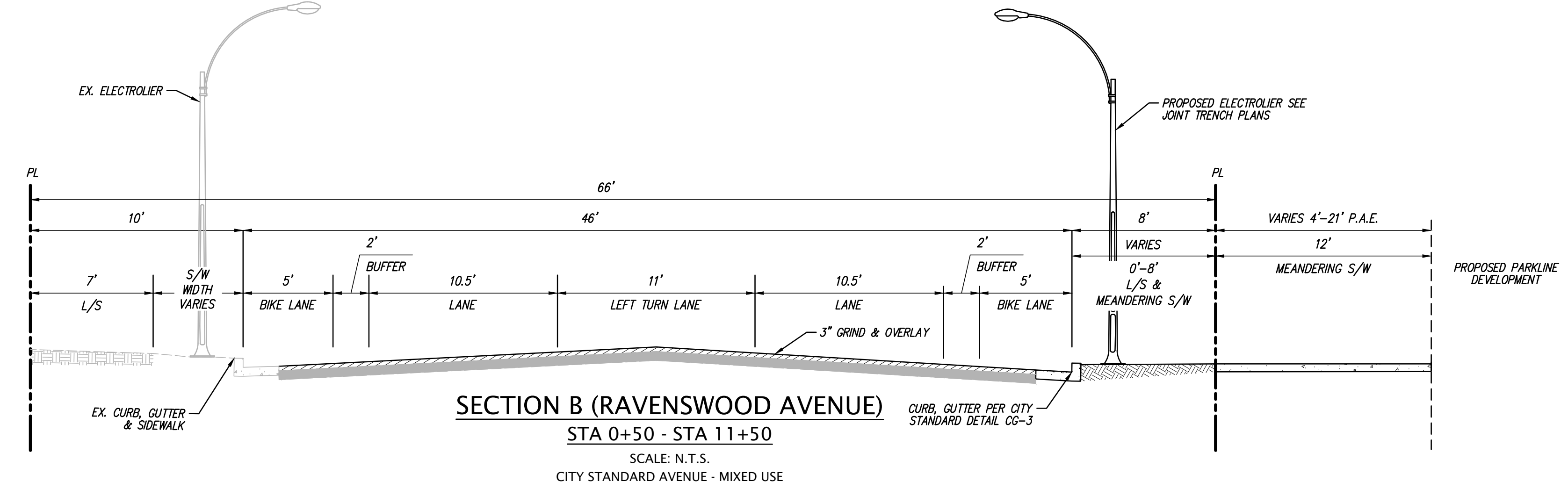
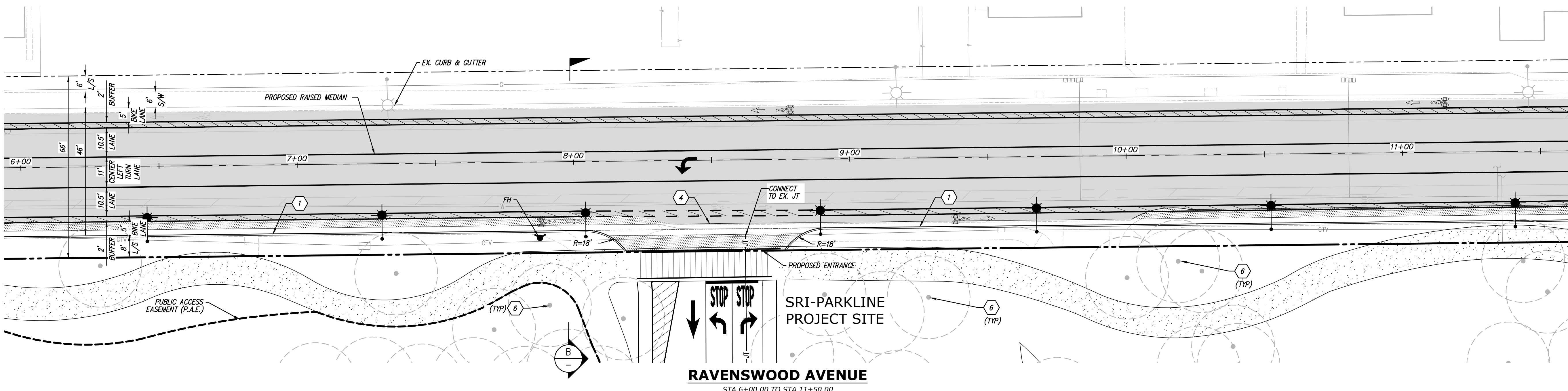
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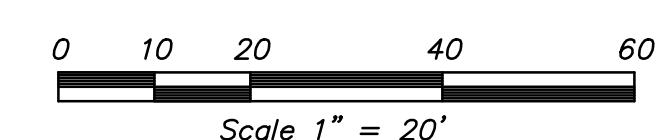
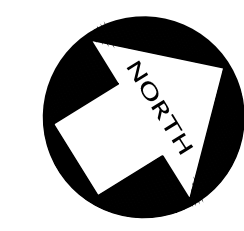


LEGEND

PROPOSED	EXISTING	ELECTROLIER
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[Pattern]	[Symbol]	[Symbol]
[Pattern]	[Symbol]	[Symbol]
[Pattern]	[Symbol]	[Symbol]
[Pattern]	[Symbol]	[Symbol]
[Pattern]	[Symbol]	[Symbol]

- KEY NOTES**
- 1 CITY STANDARD CURB & GUTTER
 - 2 CITY STANDARD SIDEWALK
 - 3 CITY STANDARD FIRE HYDRANT
 - 4 VALLEY GUTTER
 - 5 NEW CURB RAMPS TO MEET CURRENT ADA REQUIREMENTS
 - 6 EXISTING TREES TO BE REMAIN AND PROTECTED IN PLACE
 - 7 RETAINING WALL
 - 8 EXISTING RETAINING WALL TO BE PROTECTED IN PLACE
 - 9 CONVERT EXISTING CATCH BASIN TO JUNCTION BOX.

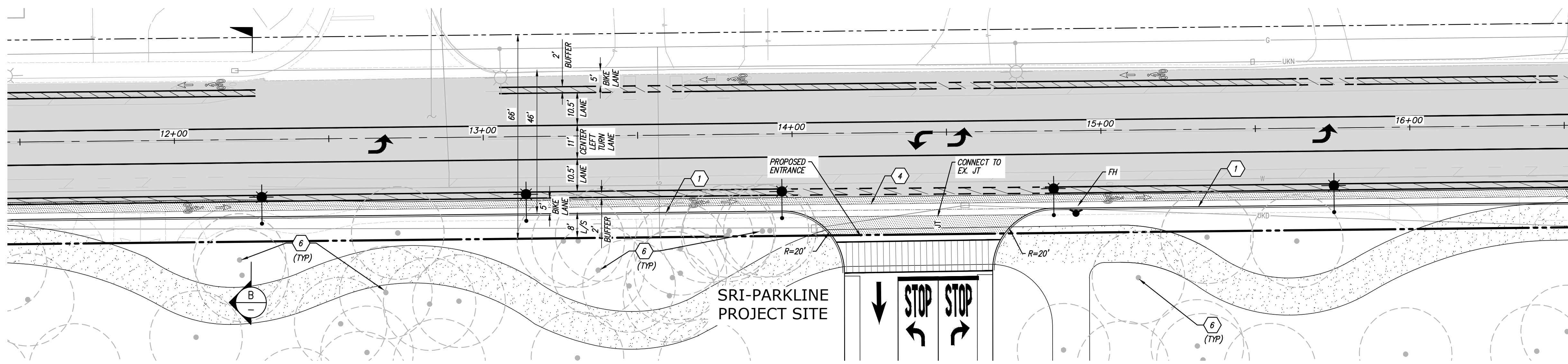




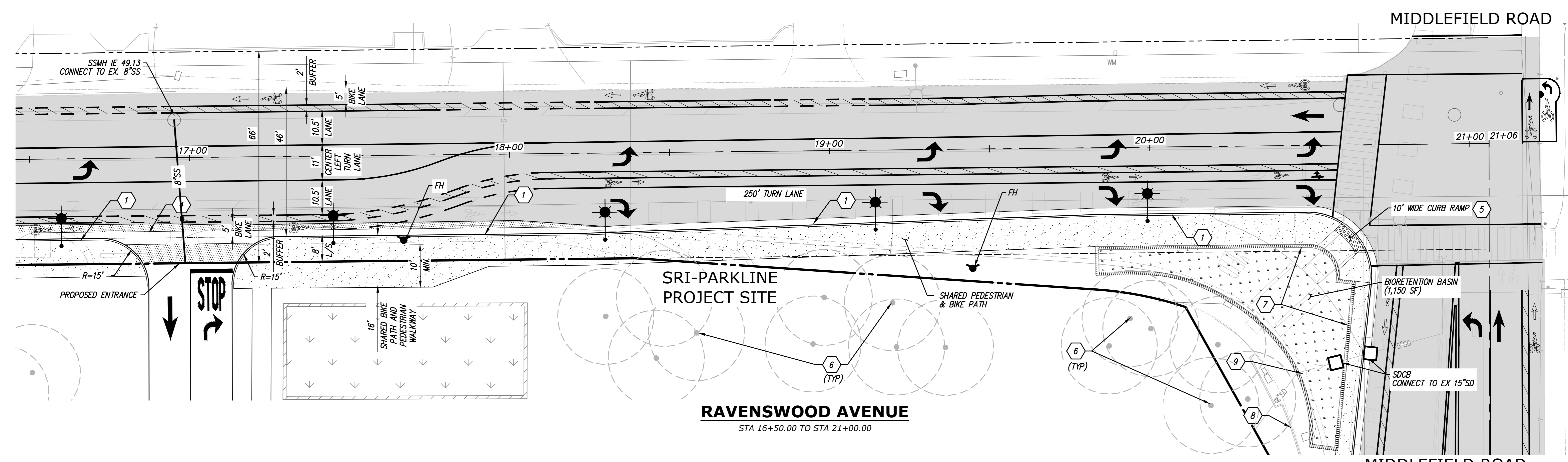
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KEY NOTES

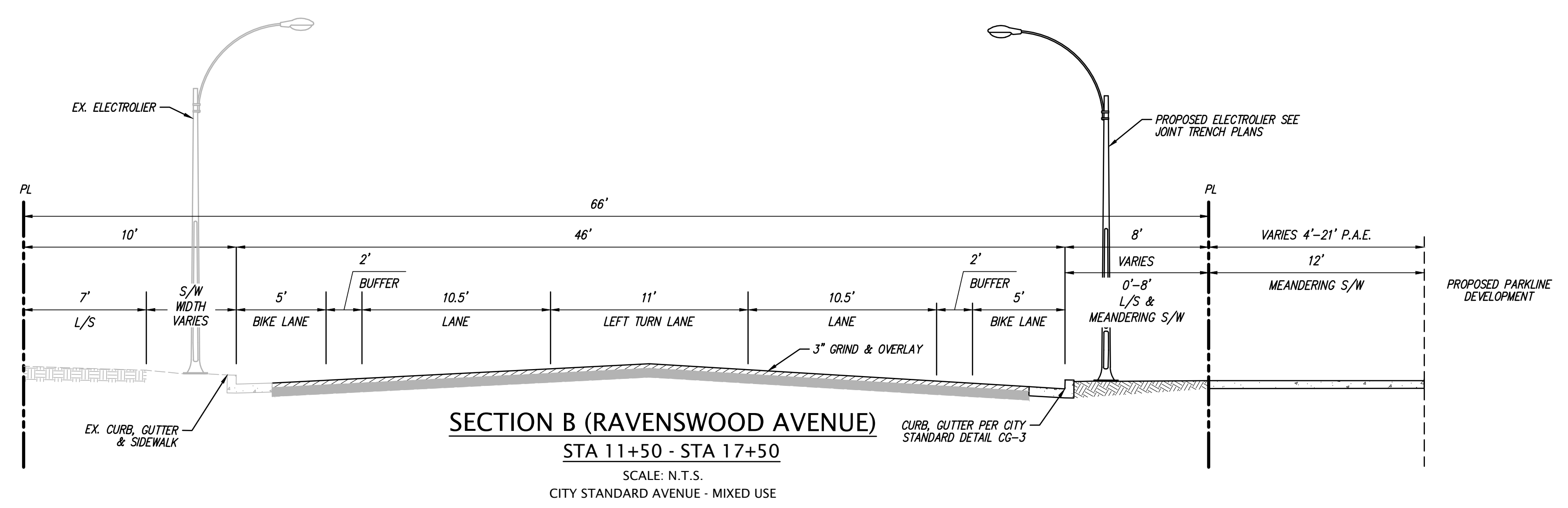
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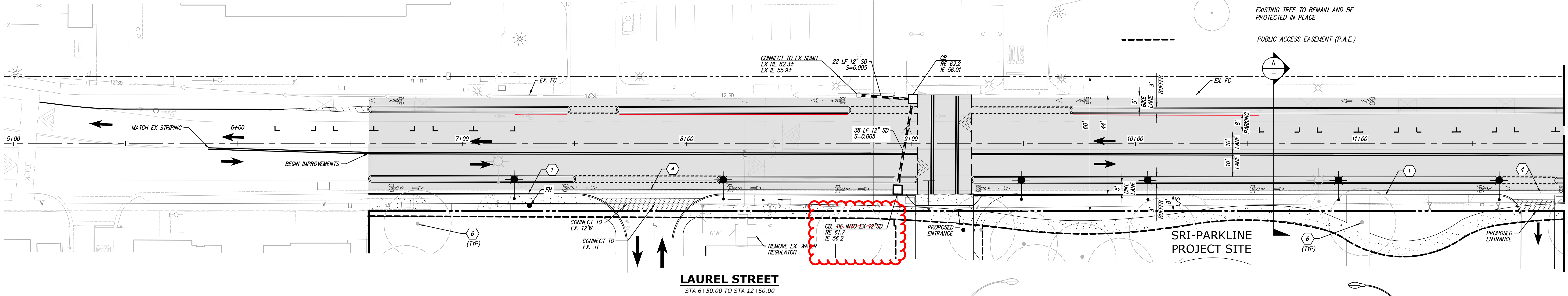
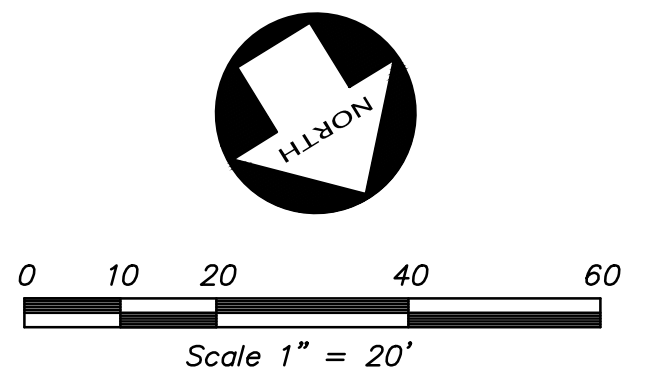
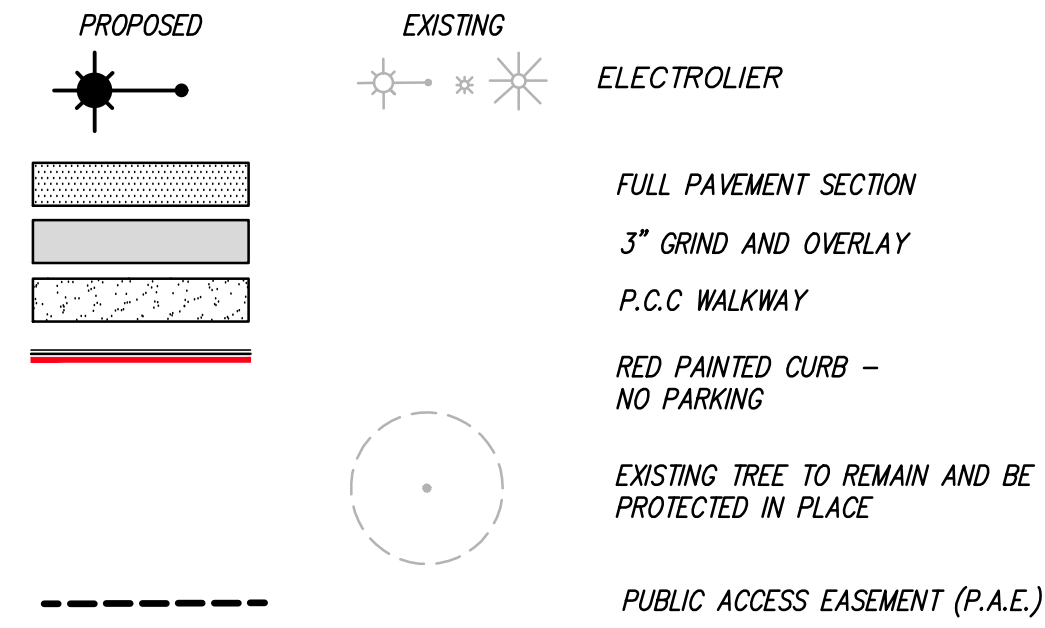
RAVENSWOOD AVENUE
STA 11+50.00 TO STA 16+50.00



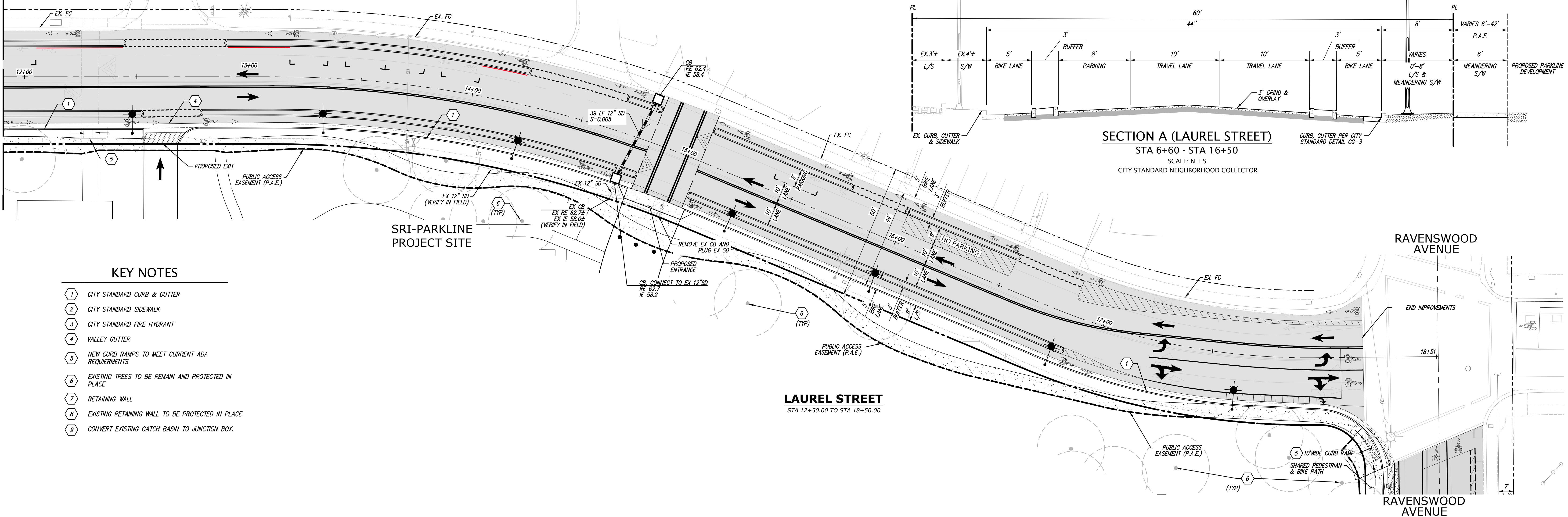
RAVENSWOOD AVENUE
STA 16+50.00 TO STA 21+00.00



LEGEND



LAUREL STREET
STA 6+50.00 TO STA 12+50.00

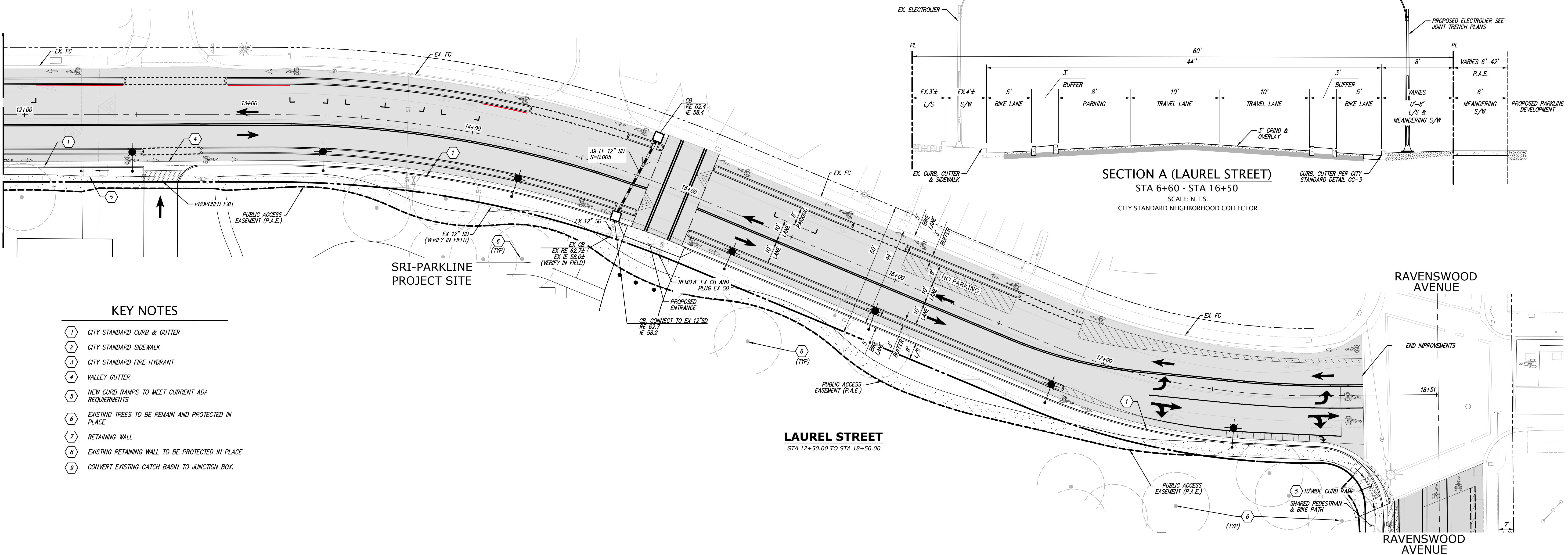
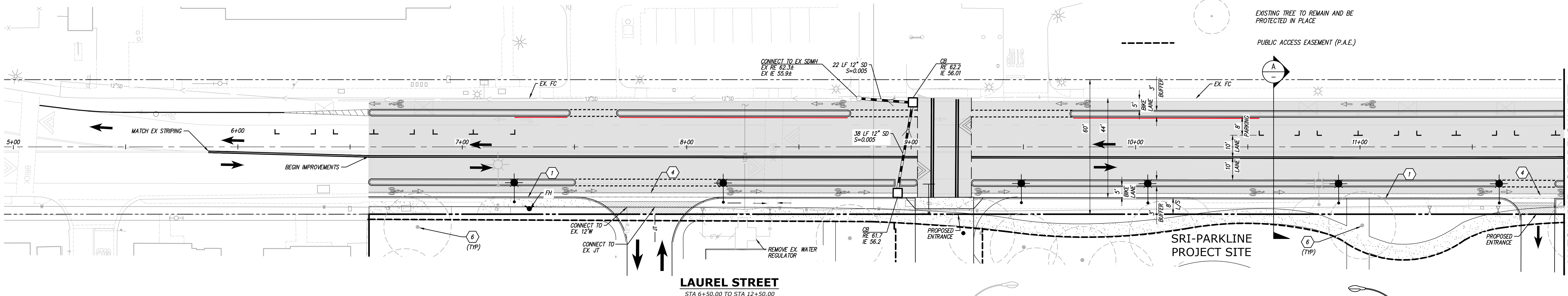
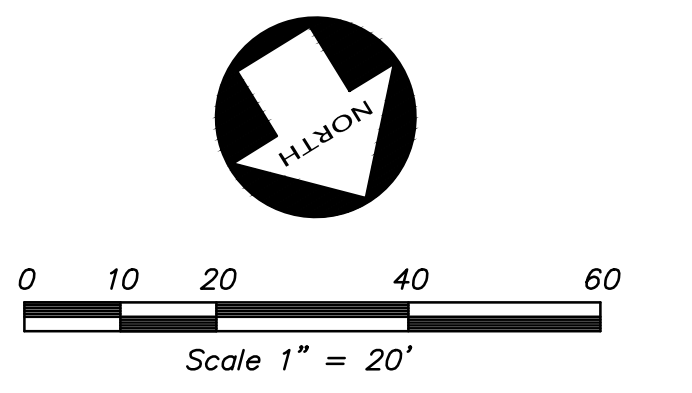
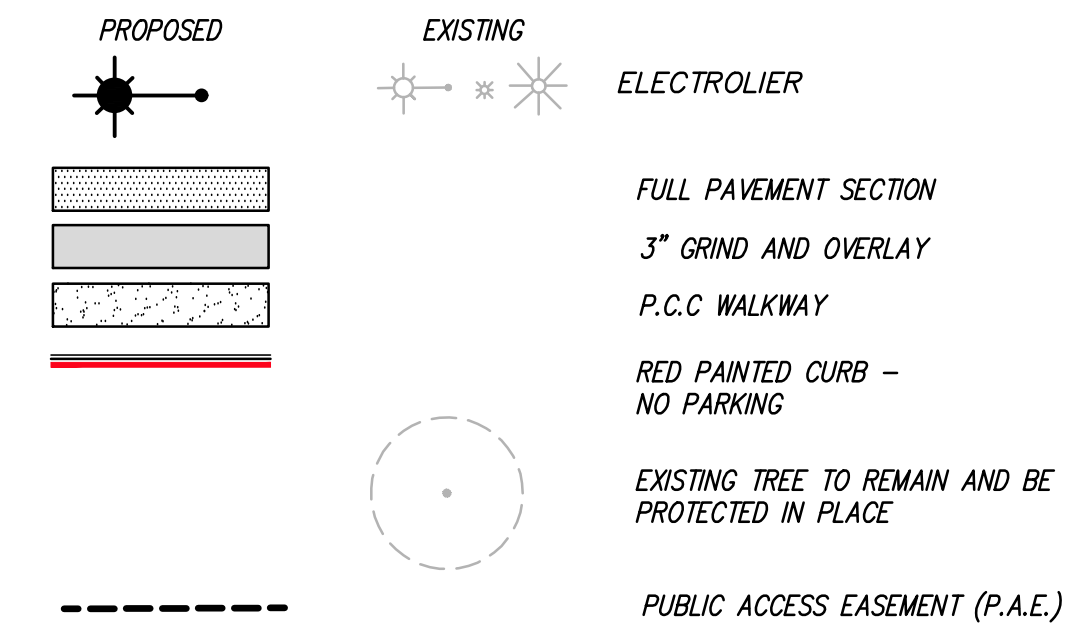


SECTION A (LAUREL STREET)
STA 6+60 - STA 16+50
SCALE: N.T.S.
CITY STANDARD NEIGHBORHOOD COLLECTOR

KEY NOTES

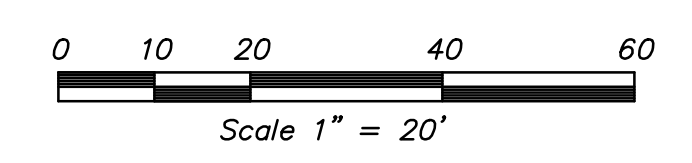
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- 2 CITY STANDARD SIDEWALK
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LEGEND



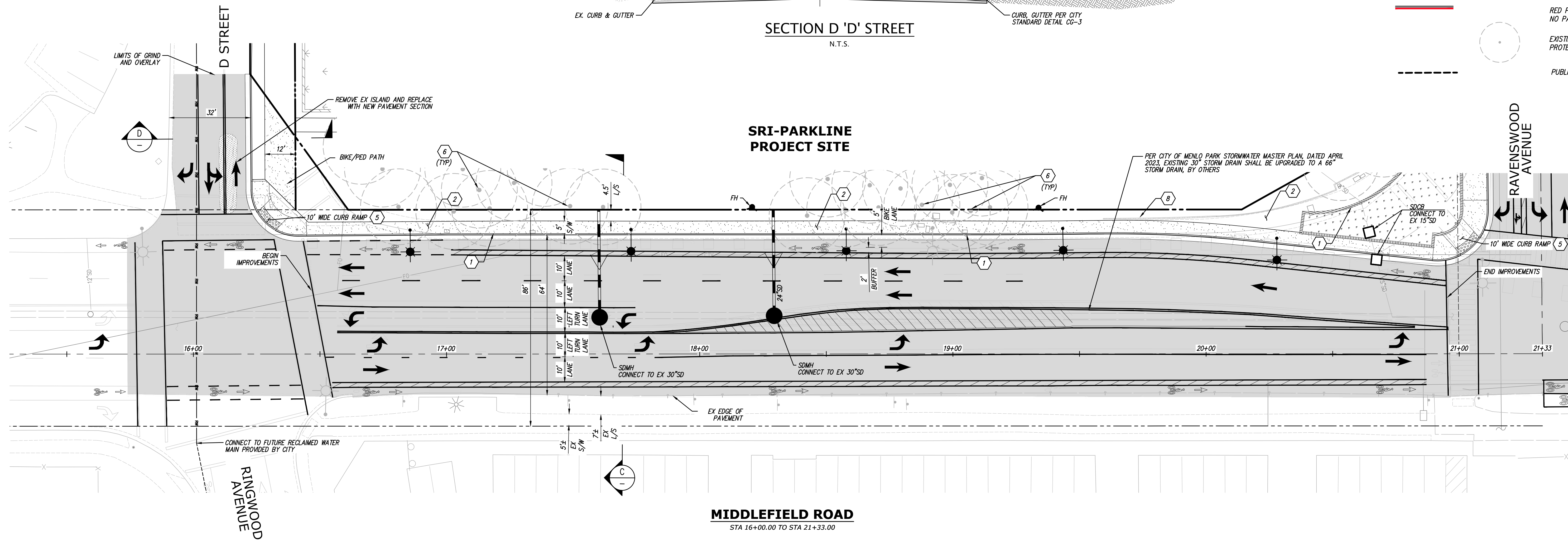
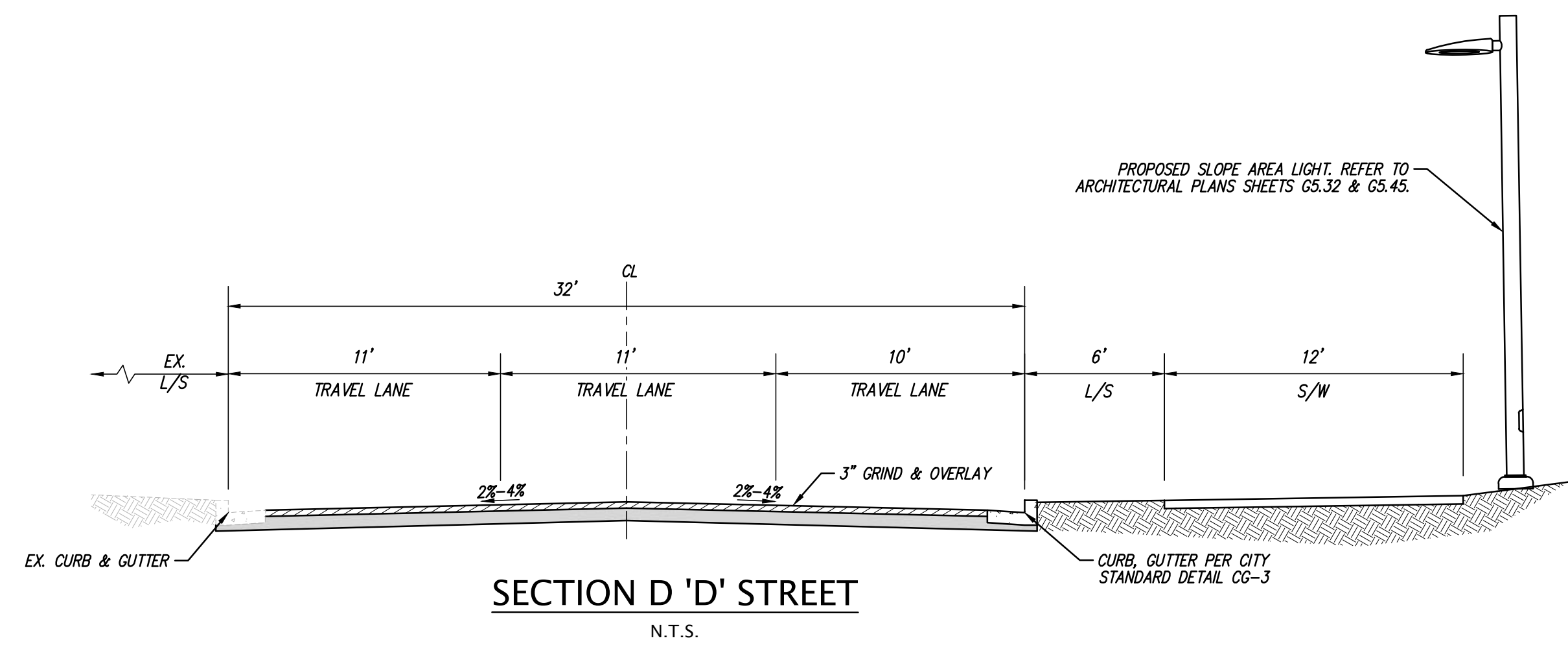
KEY NOTES

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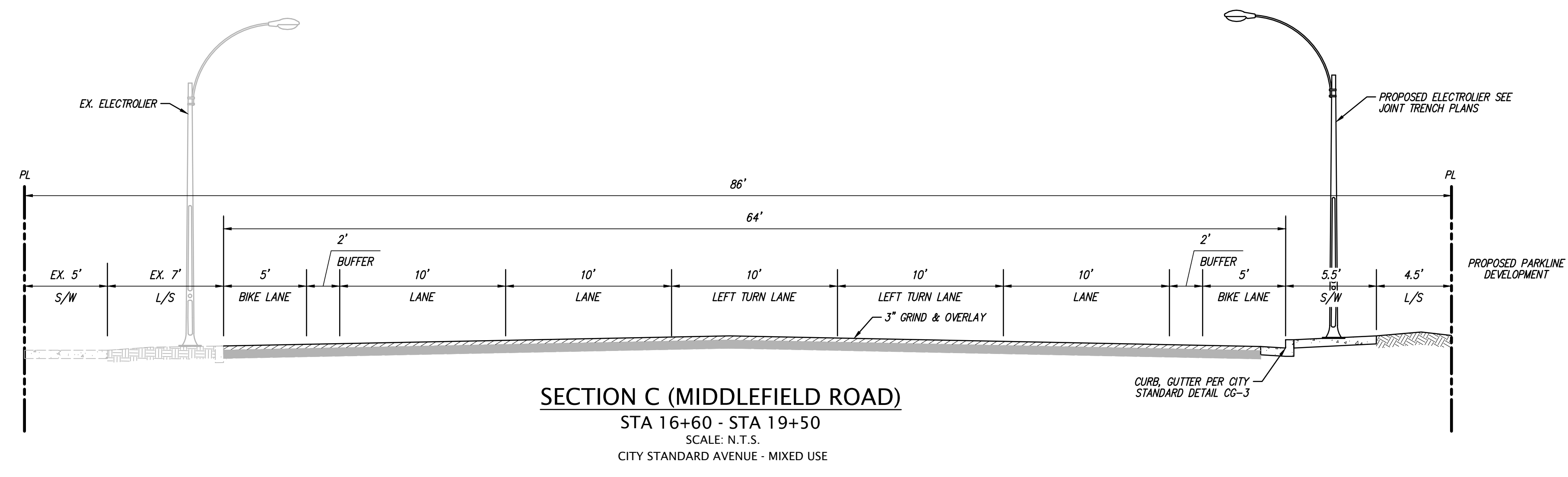


LEGEND

PROPOSED	EXISTING	ELECTROLIER

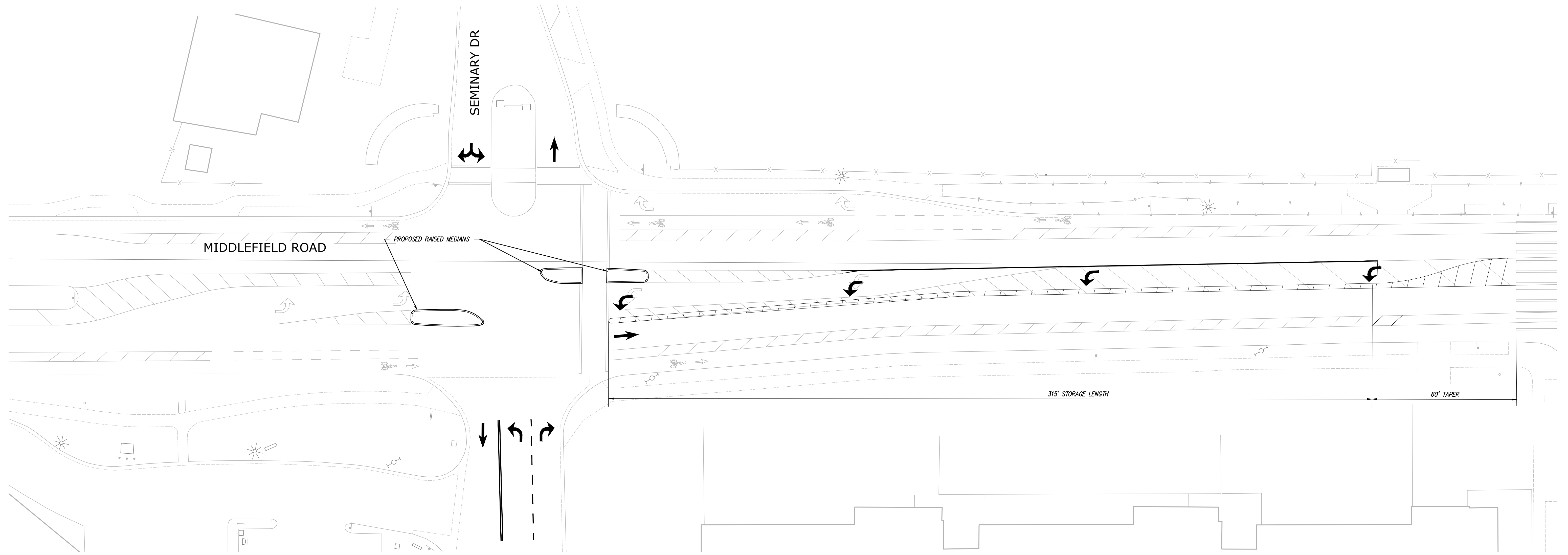
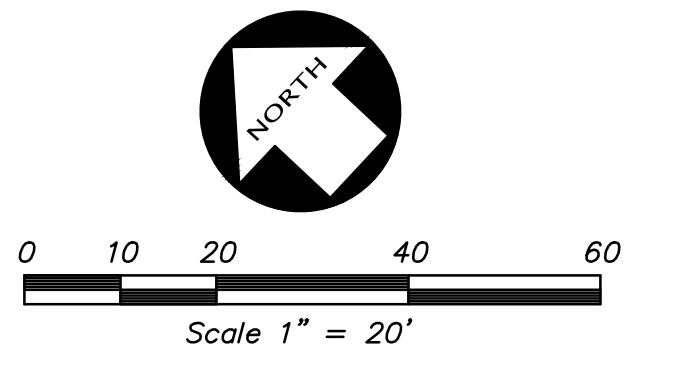


MIDDLEFIELD ROAD STA 16+00.00 TO STA 21+33.00

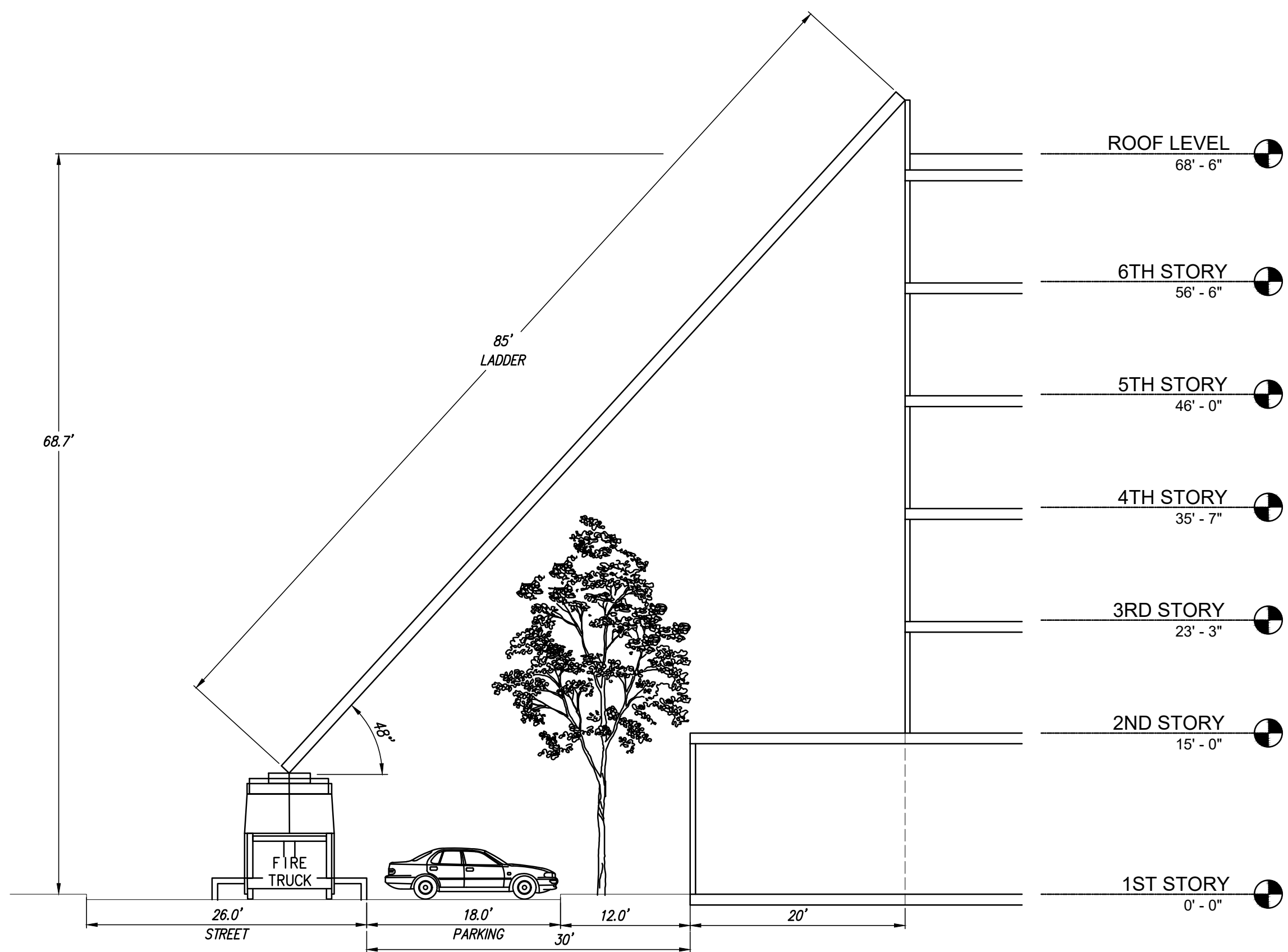


KEY NOTES

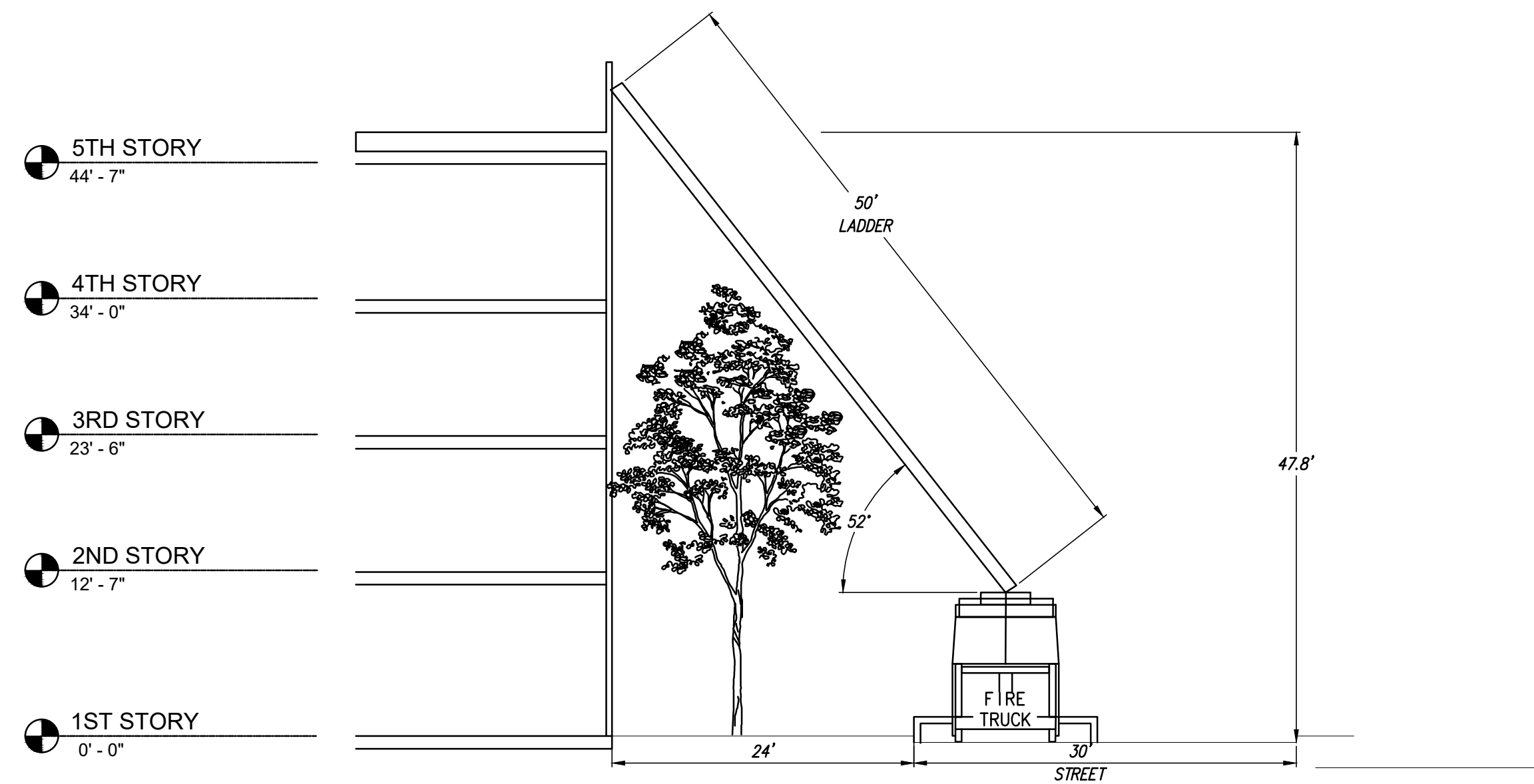
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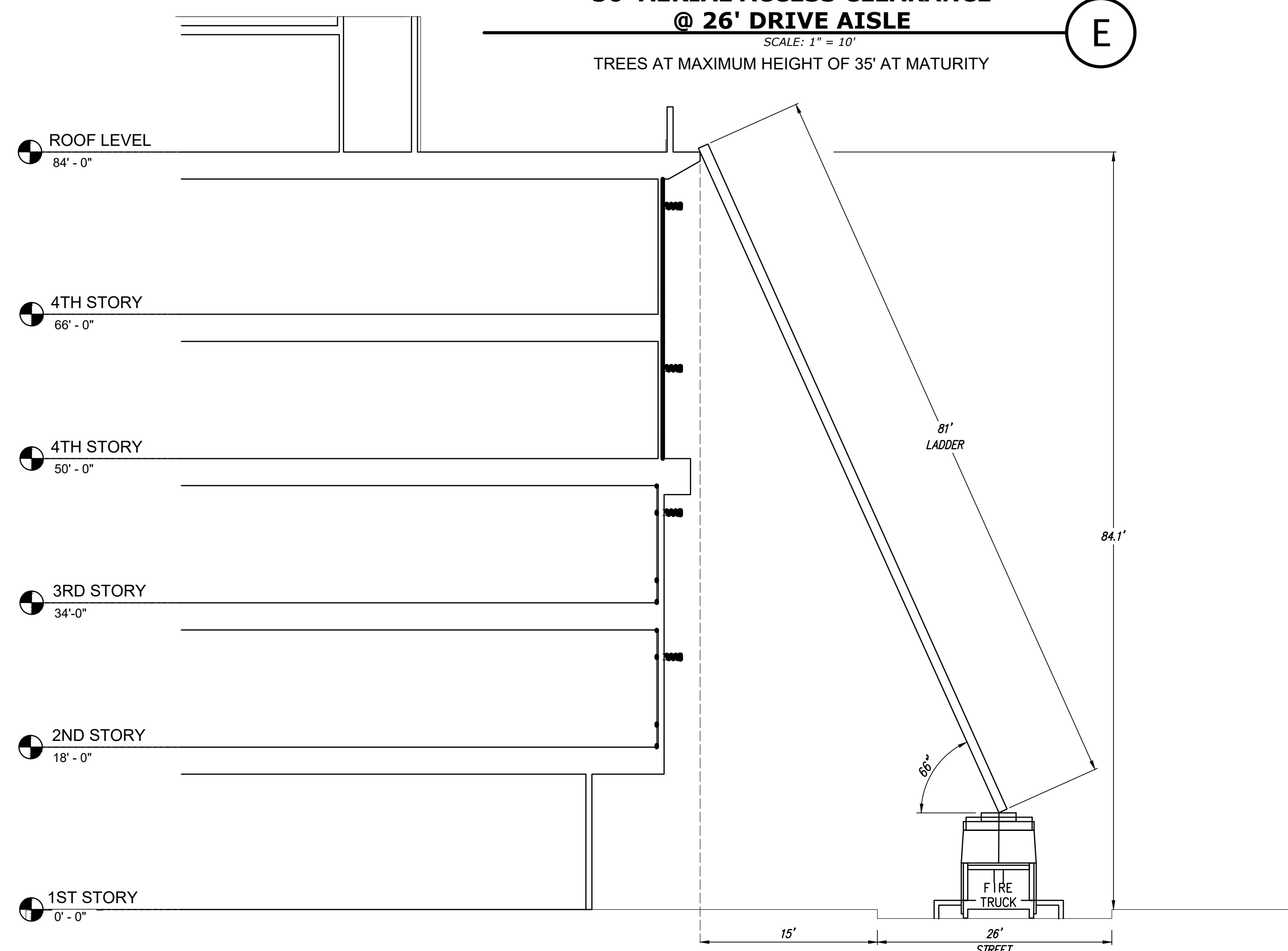
**INTERSECTION AT
MIDDLEFIELD ROAD & SEMINARY DRIVE**



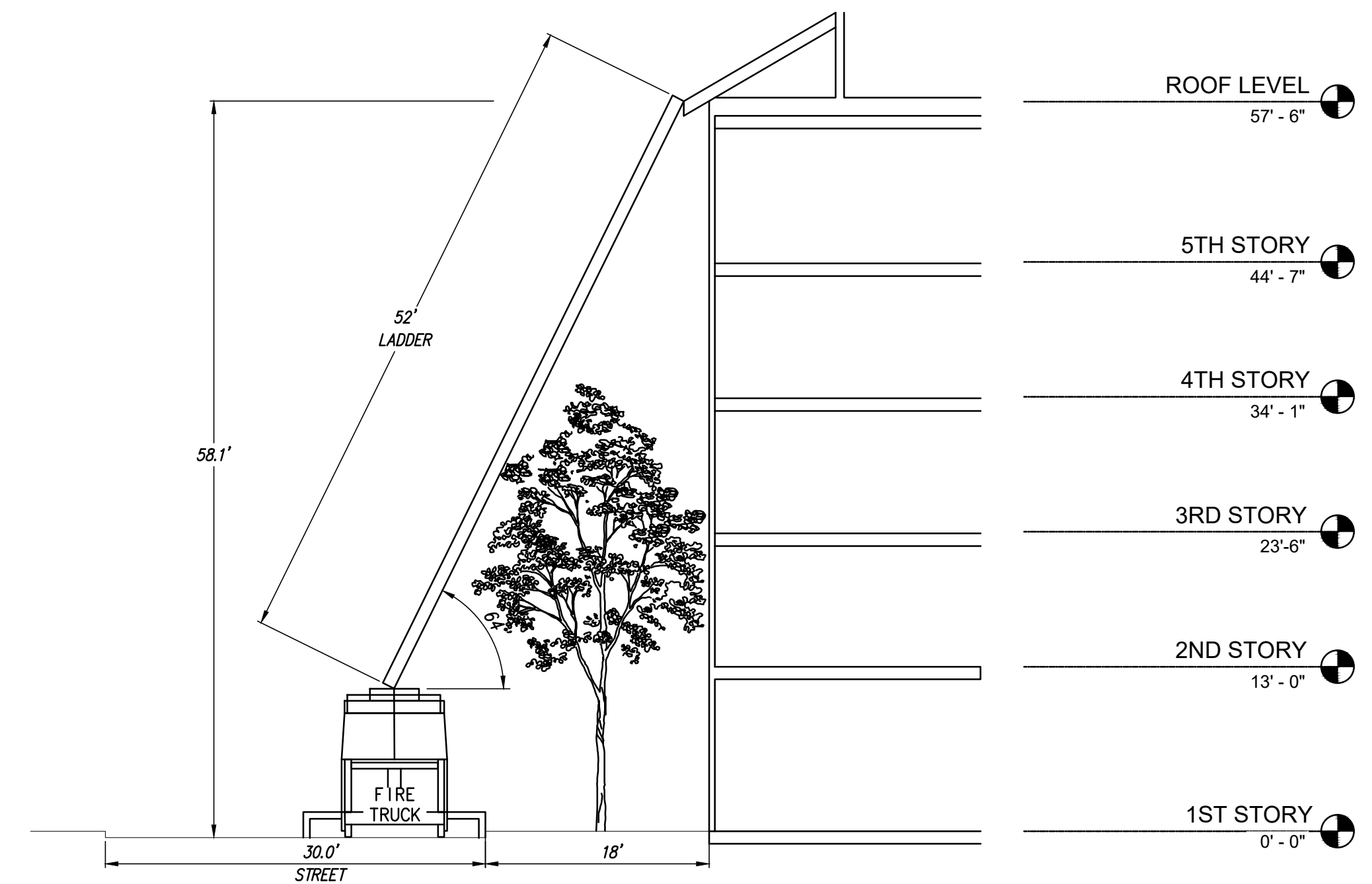
BUILDING R3
30' AERIAL ACCESS CLEARANCE
@ 26' DRIVE AISLE
 SCALE: 1" = 10'
 TREES AT MAXIMUM HEIGHT OF 35' AT MATURITY



BUILDING R2
24' AERIAL ACCESS CLEARANCE
@ 30' DRIVE AISLE
 SCALE: 1" = 10'
 TREES AT MAXIMUM HEIGHT OF 35' AT MATURITY

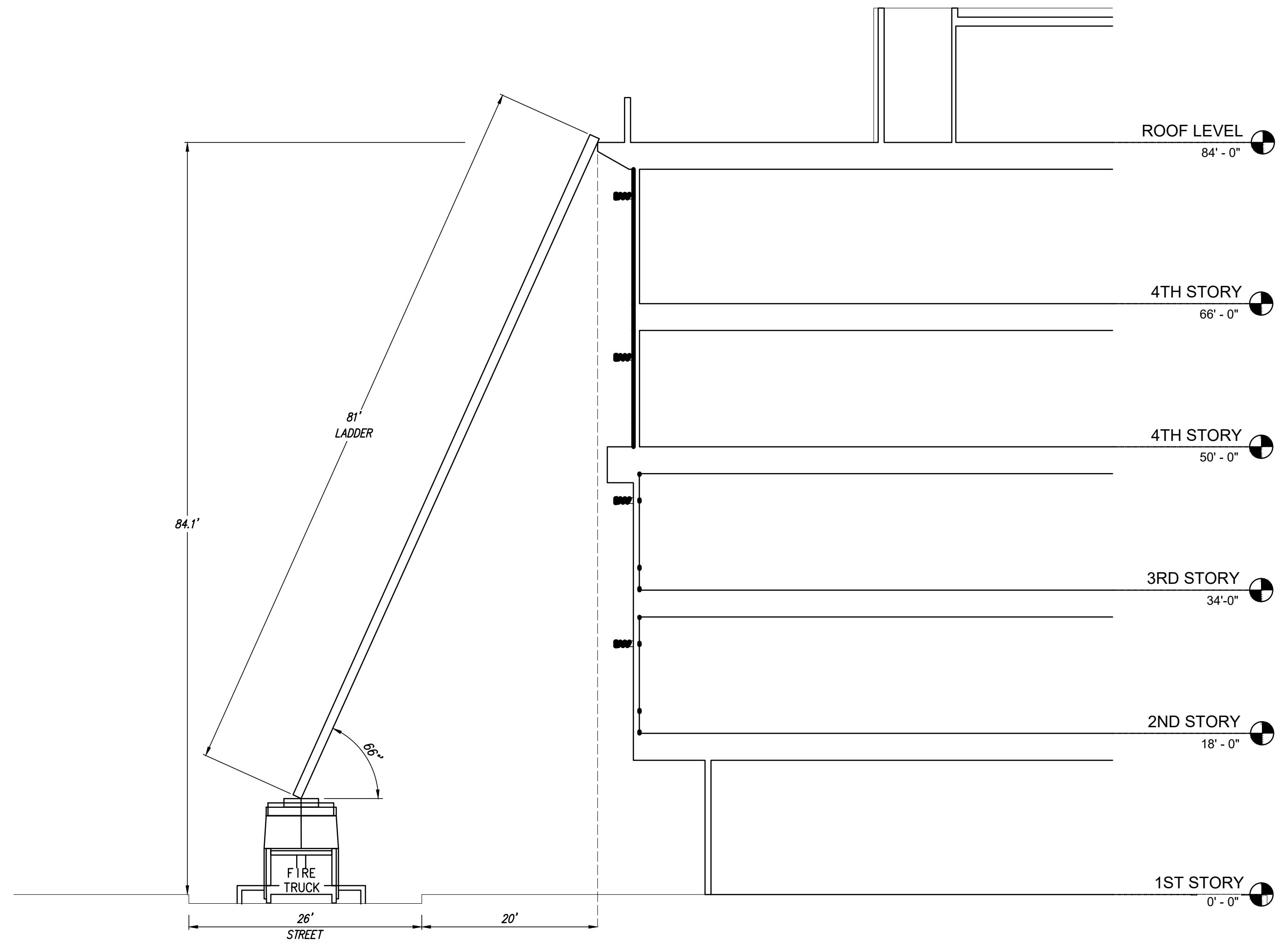


OFFICE 4
15' AERIAL ACCESS CLEARANCE
@ 26' DRIVE AISLE
 SCALE: 1" = 10'



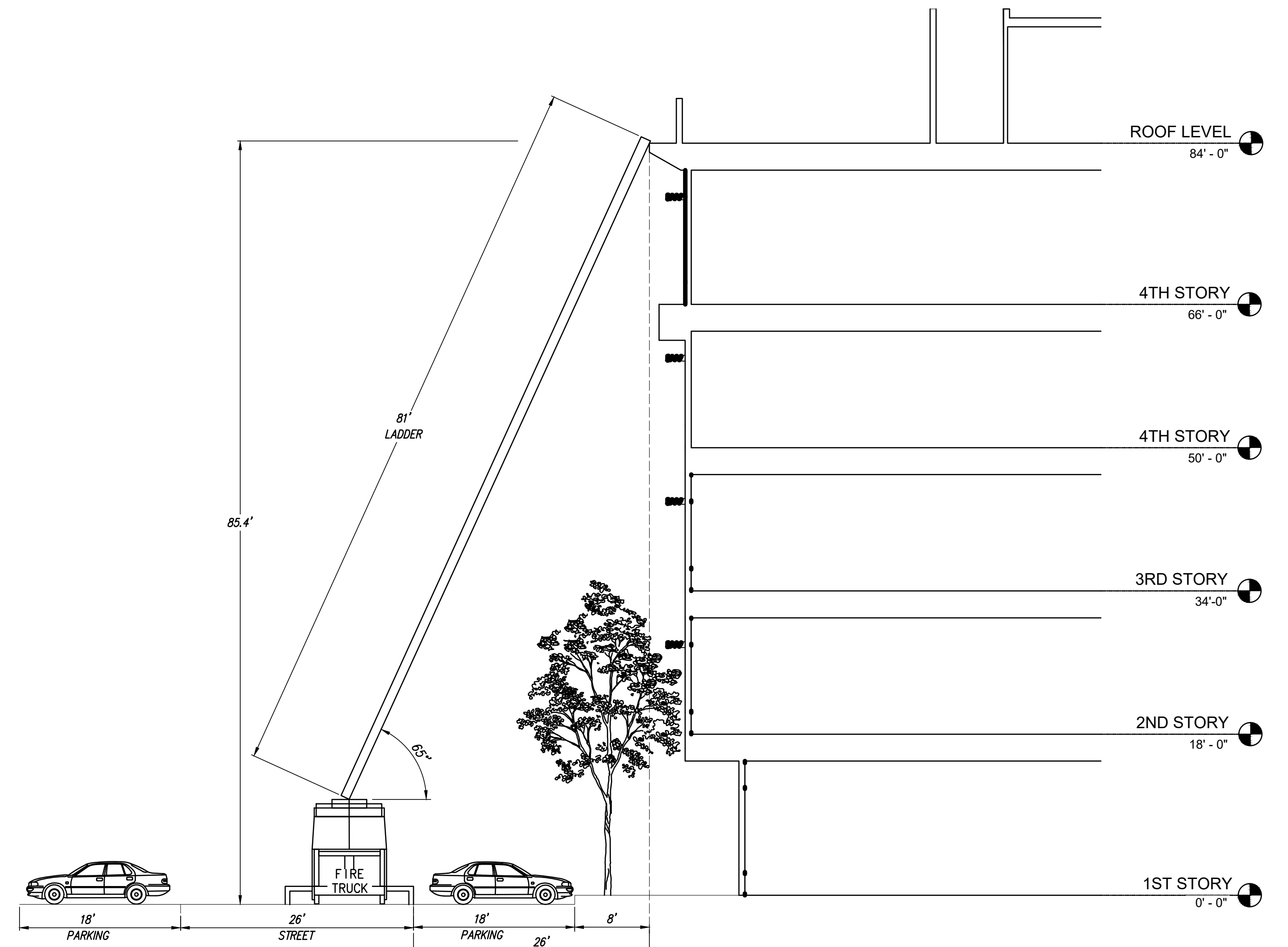
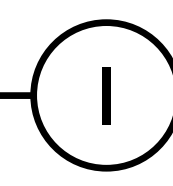
BUILDING R1
18' AERIAL ACCESS CLEARANCE
@ 30' DRIVE AISLE
 SCALE: 1" = 10'
 TREES AT MAXIMUM HEIGHT OF 35' AT MATURITY

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OFFICE 4
20' AERIAL ACCESS CLEARANCE
@ 26' DRIVE AISLE

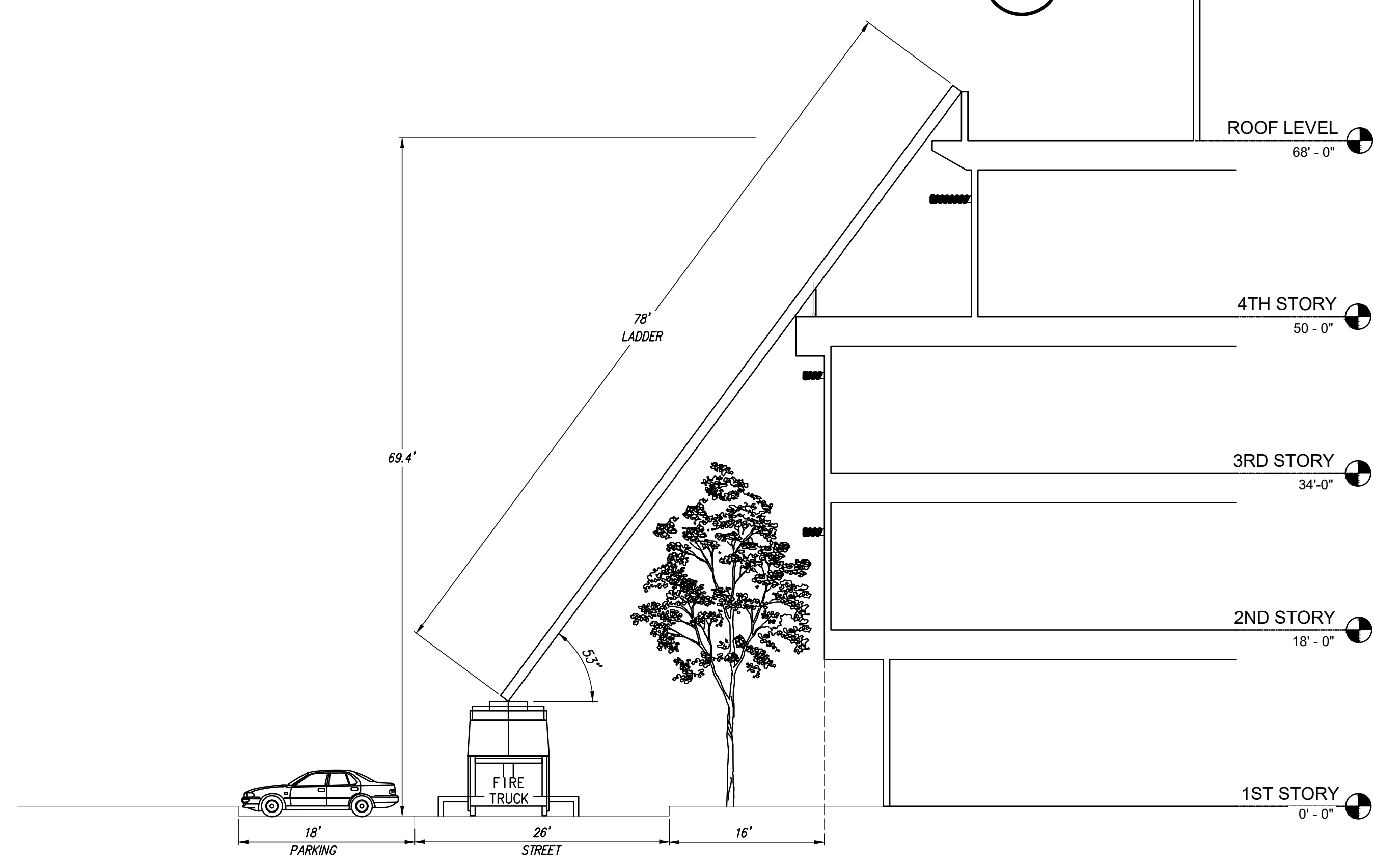
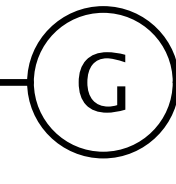
SCALE: 1" = 10'



OFFICE 2 & 3
26' AERIAL ACCESS CLEARANCE
@ 26' DRIVE AISLE

SCALE: 1" = 10'

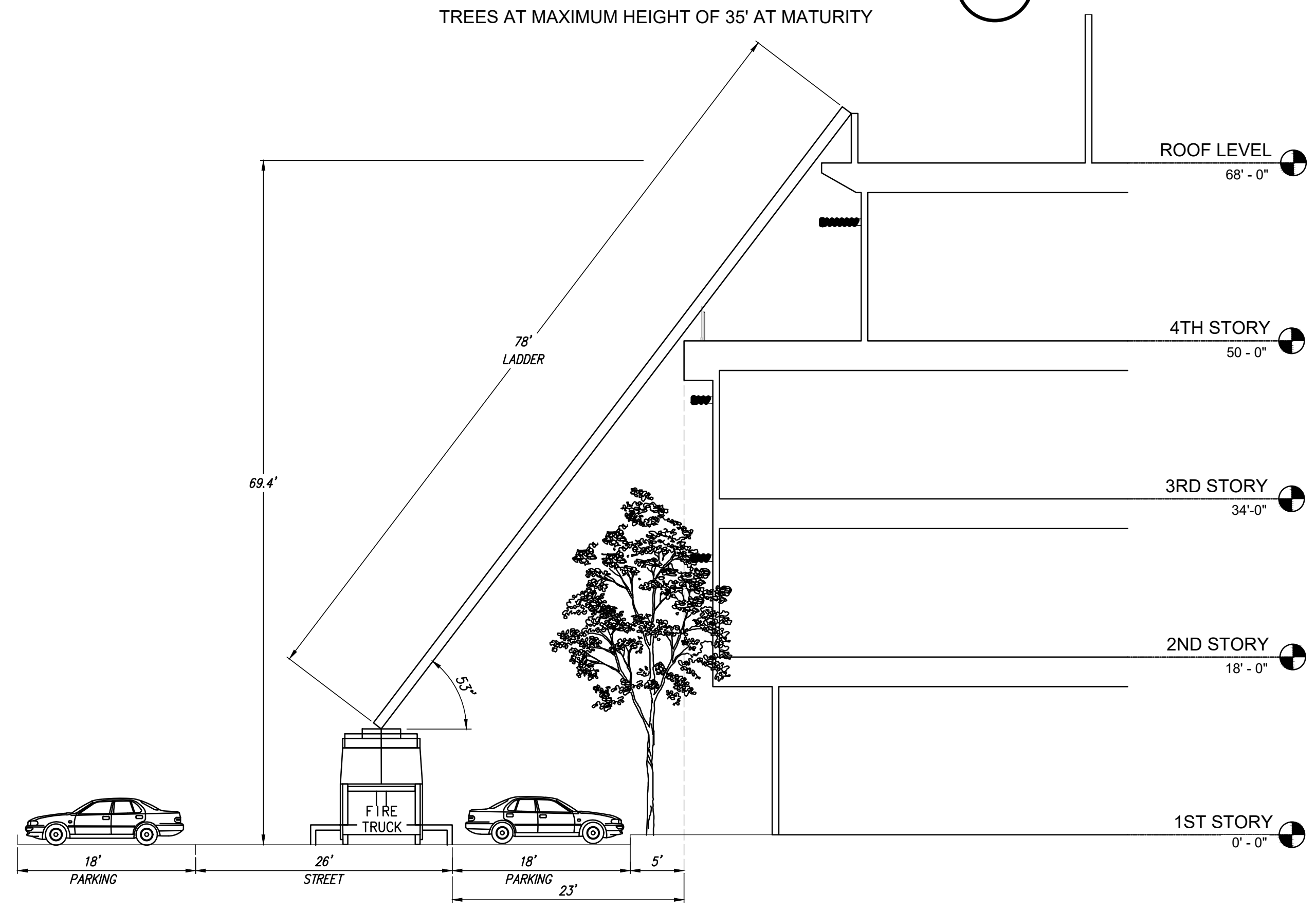
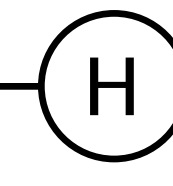
TREES AT MAXIMUM HEIGHT OF 35' AT MATURITY



OFFICE 5
16' AERIAL ACCESS CLEARANCE
@ 26' DRIVE AISLE

SCALE: 1" = 10'

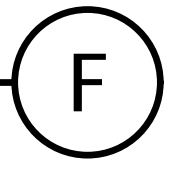
TREES AT MAXIMUM HEIGHT OF 35' AT MATURITY

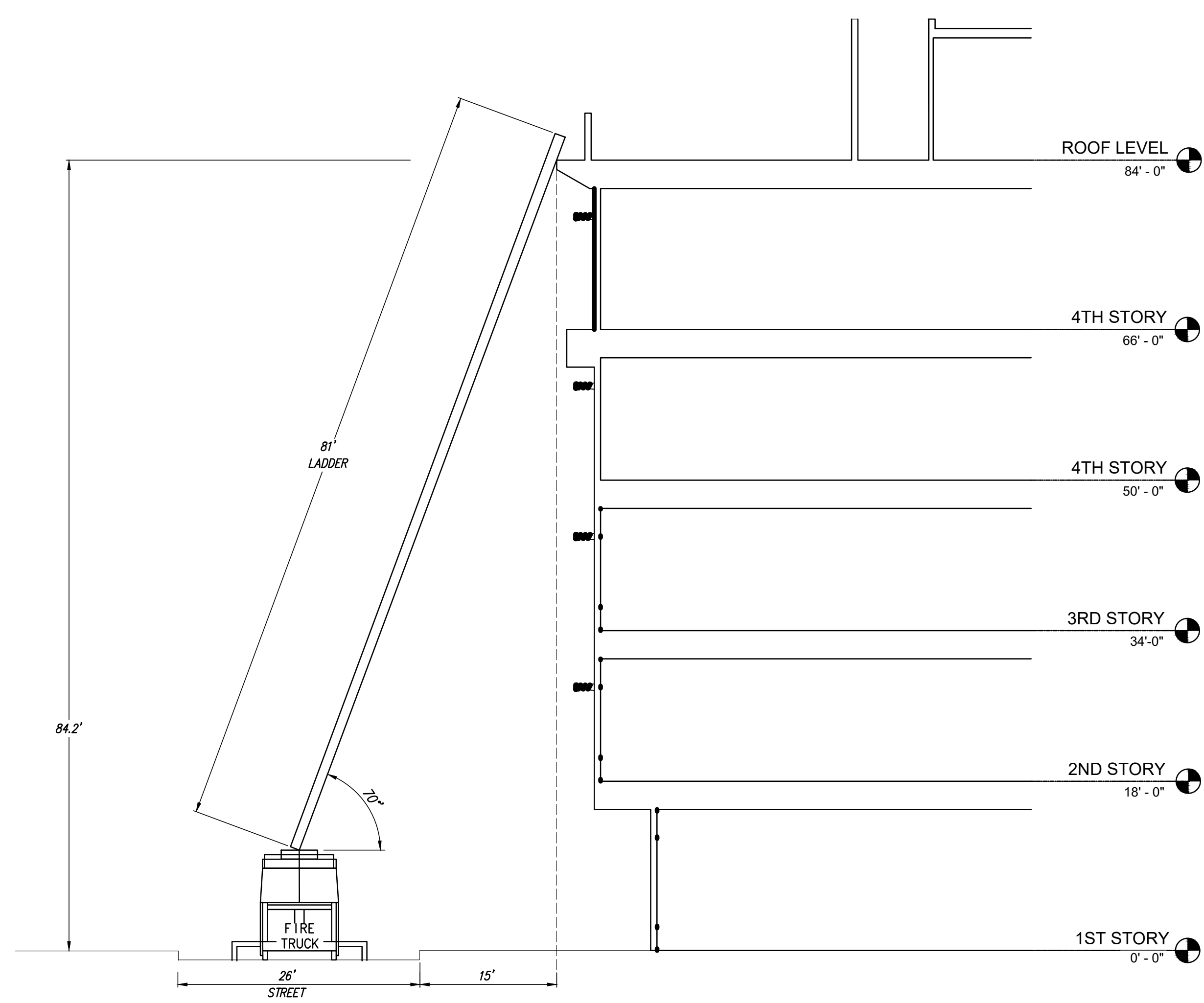


OFFICE 1
23' AERIAL ACCESS CLEARANCE
@ 26' DRIVE AISLE

SCALE: 1" = 10'

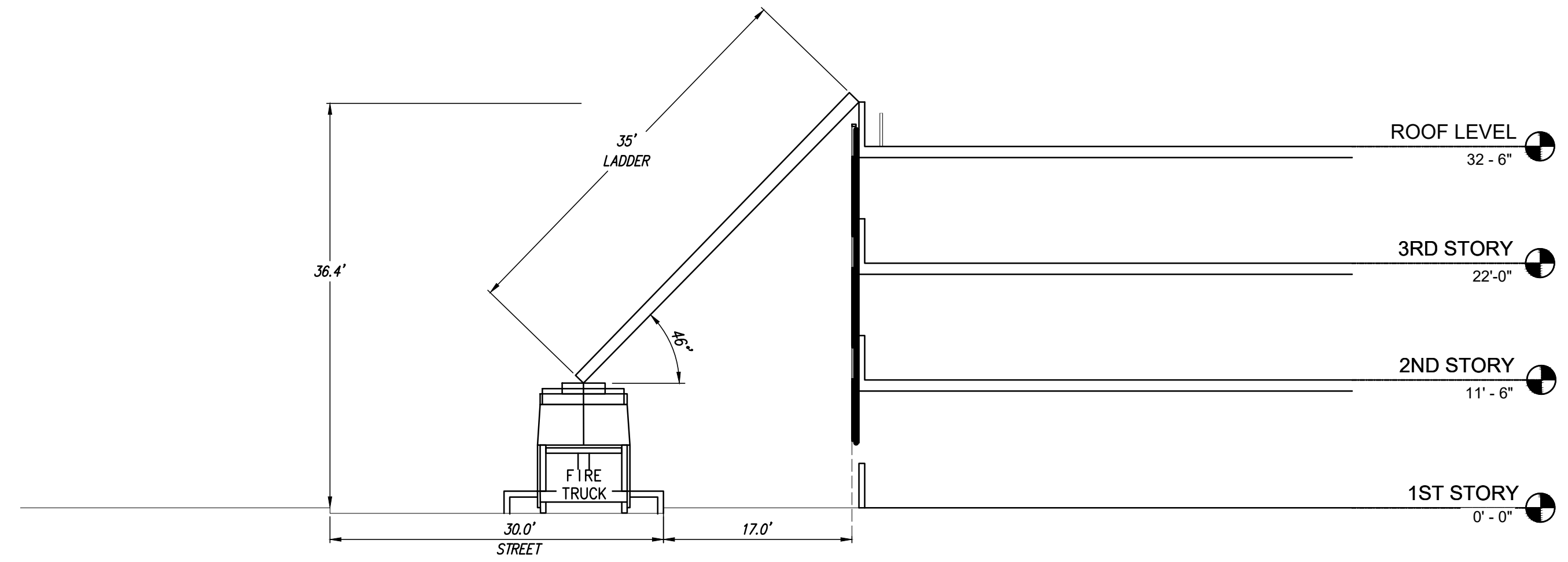
TREES AT MAXIMUM HEIGHT OF 35' AT MATURITY





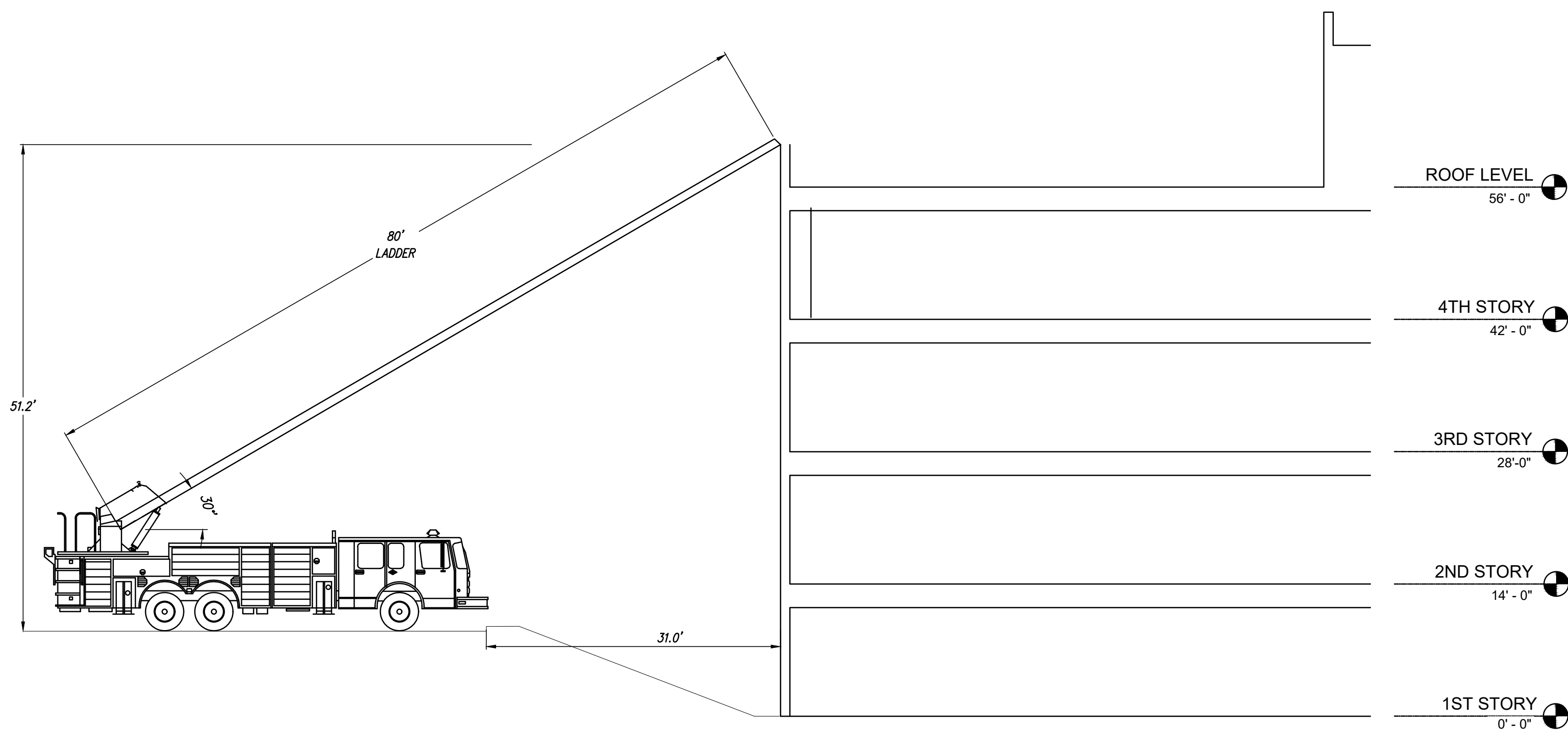
OFFICE 3
15' AERIAL ACCESS CLEARANCE
@ 26' DRIVE AISLE
 SCALE: 1" = 10'

(M)



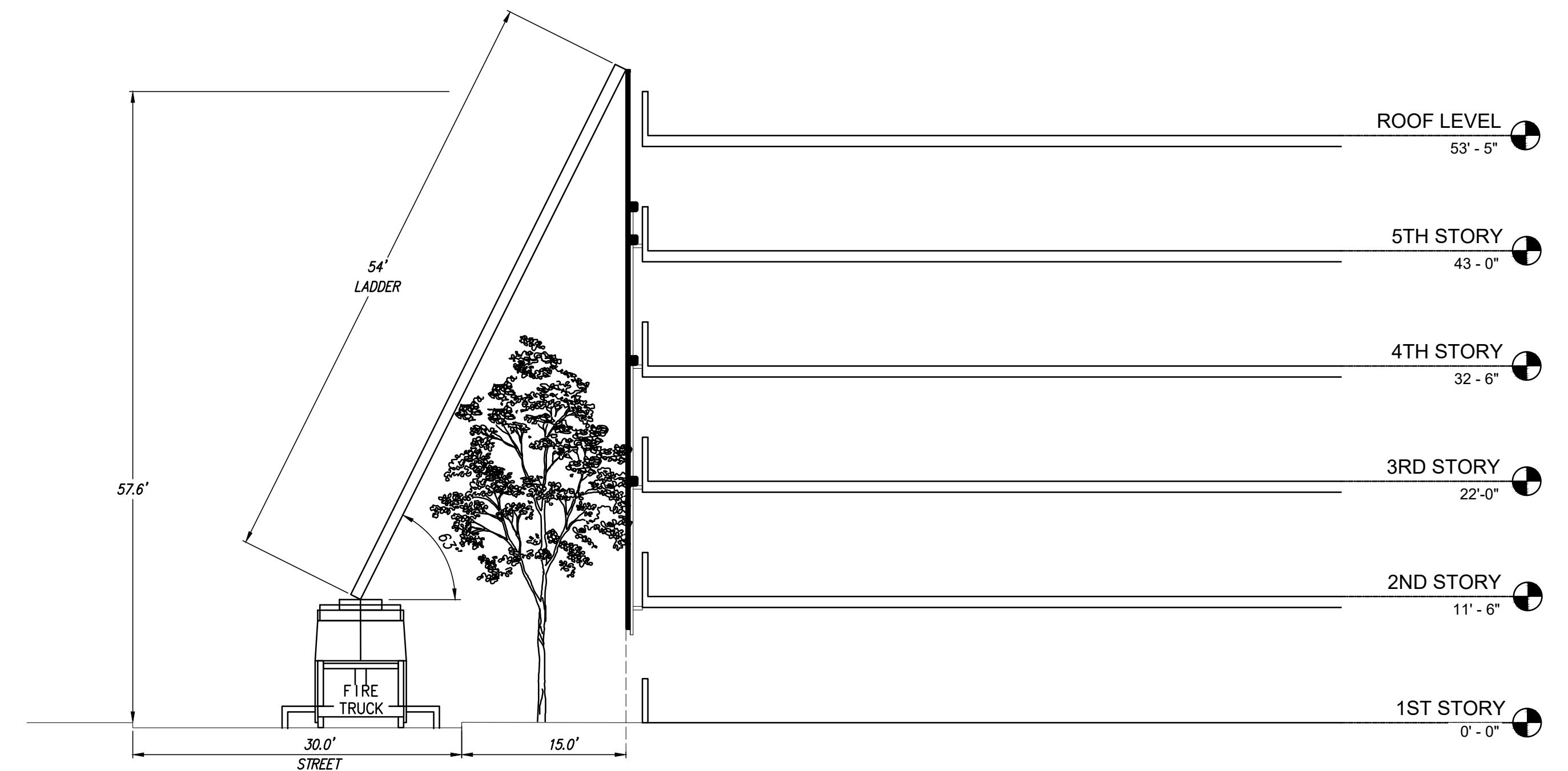
PARKING GARAGE 3
17' AERIAL ACCESS CLEARANCE
@ 30' DRIVE AISLE
 SCALE: 1" = 10'

(K)



BUILDING P
31' AERIAL ACCESS CLEARANCE
@ 26' DRIVE AISLE
 SCALE: 1" = 10'

(L)

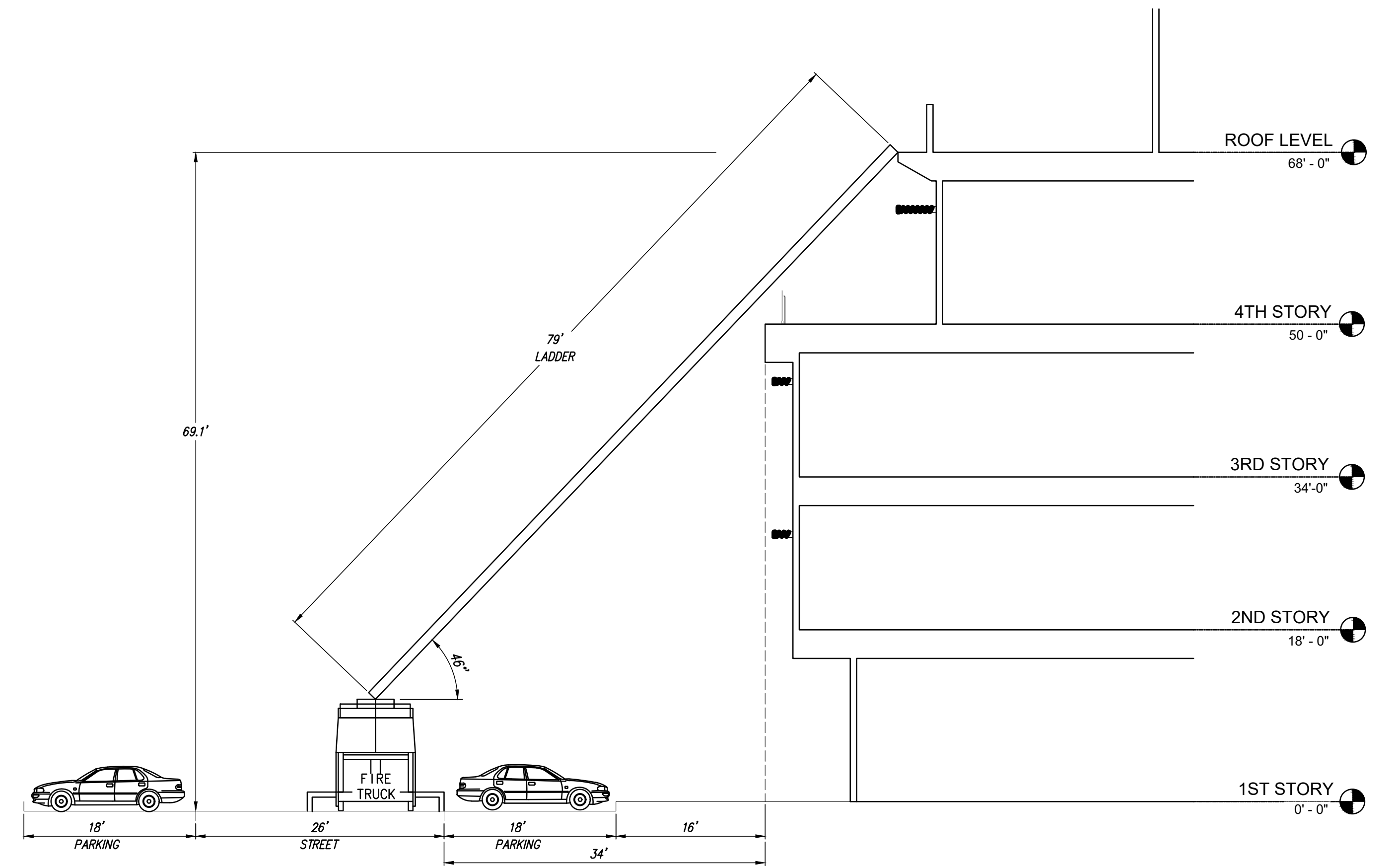


PARKING GARAGE 1 & 2
15' AERIAL ACCESS CLEARANCE
@ 26' DRIVE AISLE
 SCALE: 1" = 10'

TREES AT MAXIMUM HEIGHT OF 35' AT MATURITY

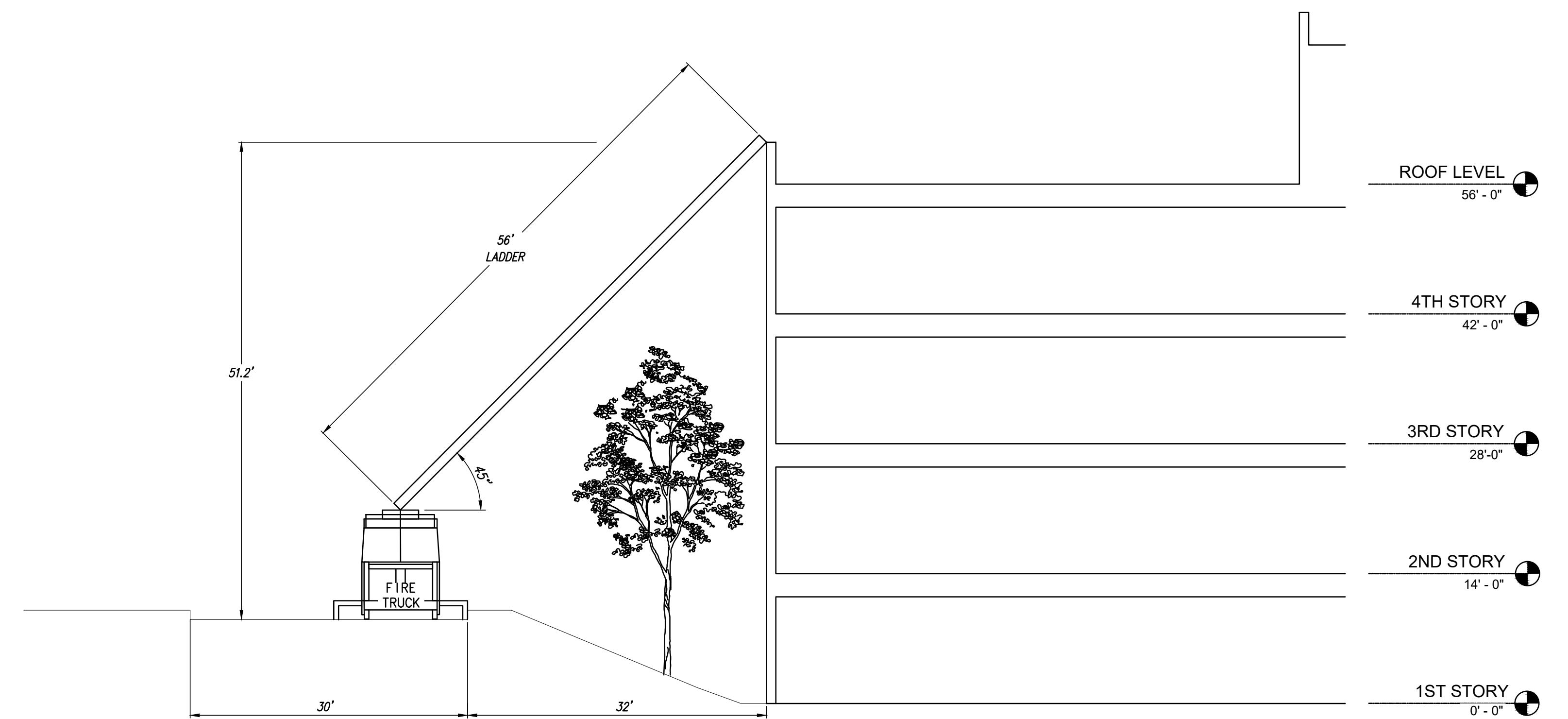
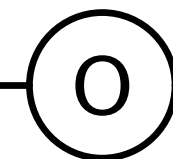
(J)

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OFFICE 1
34' AERIAL ACCESS CLEARANCE
@ 26' DRIVE AISLE

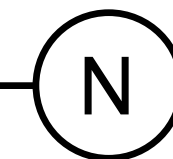
SCALE: 1" = 10'



BUILDING P
32' AERIAL ACCESS CLEARANCE
@ 30' DRIVE AISLE

SCALE: 1" = 10'

TREES AT MAXIMUM HEIGHT OF 35' AT MATURITY



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