

PLANNING COMMISSION RESOLUTION NO. 2024-010**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MENLO PARK APPROVING A USE PERMIT AND ARCHITECTURAL CONTROL FOR A PROPOSED OPERATIONS CENTER, ASSOCIATED ACCESS ROAD RECONFIGURATION, AND NEW PARKING LOT AT 2900 SAND HILL ROAD**

WHEREAS, the City of Menlo Park (“City”) received an application requesting a use permit and architectural control to construct a proposed operations center, construct an adjacent 46-parking space parking lot, and relocate a portion of an access road, at the existing Sharon Heights Golf and Country Club in the OSC (Open Space and Conservation) zoning district, at 2900 Sand Hill Road (collectively, the “Project”) from Sharon Heights Golf and Country Club (“Applicant” and “Owner”), located at 2900 Sand Hill Road (APNs 074-250-280, 074-250-270, 093-471-010, 074-220-330, 074-500-050, 074-232-130, 074-500-300, 074-160-070, 074-250-340, 074-160-050, 073-250-150, 074-250-250, 074-250-290, 093-471-020, 093-480-010, and 074-500-310) (“Property”). The Project use permit and architectural control permit requests are depicted in and subject to the development plans and project description letter, which are attached hereto as Exhibit A and Exhibit B, respectively, and incorporated herein by this reference; and

WHEREAS, the Property is located in the OSC (Open Space and Conservation) zoning district. The OSC zoning district supports private recreation facilities and the associated maintenance and office buildings servicing the private recreation facilities uses; and

WHEREAS, the proposed Project complies with all standards of the OSC zoning district; and

WHEREAS, the proposed Project would not generate any additional employees and is therefore exempt from the requirements of the Below Market Rate Housing Program requirements, pursuant to Section 16.96 of the Municipal Code; and

WHEREAS, the proposed Project was reviewed by the Engineering Division and found to be in compliance with City standards; and

WHEREAS, the proposed Project was reviewed by the Transportation Division and found to be in compliance with City standards, and the new parking and reconfigured access road would satisfy Transportation Division standards; and

WHEREAS, the Applicant submitted an arborist report prepared by California Tree and Landscape Consulting, Inc., which was reviewed by the City Arborist and found to be in compliance with the Heritage Tree Ordinance and proposes mitigation measures to adequately protect heritage trees in the vicinity of the project; and

WHEREAS, the use permit and architectural control permit will become effective after the heritage tree removal permits are final; and

WHEREAS, the Project requires discretionary actions by the City as summarized above, and therefore the California Environmental Quality Act ("CEQA," Public Resources Code Section §21000 et seq.) and CEQA Guidelines (Cal. Code of Regulations, Title 14, §15000 et seq.) require a determination regarding the Project's compliance with CEQA; and

WHEREAS, the City is the lead agency, as defined by CEQA and the CEQA Guidelines, and is therefore responsible for the preparation, consideration, certification, and approval of environmental documents for the Project; and

WHEREAS, the Project is exempt from environmental review pursuant to CEQA Guidelines §15183 (Projects Consistent with a Community Plan, General Plan, or Zoning); and

WHEREAS, all required public notices and public hearings were duly given and held according to law; and

WHEREAS, at a duly and properly noticed public hearing held on February 5, 2024, the Planning Commission fully reviewed, considered, and evaluated the whole of the record, including all public and written comments, pertinent information, documents and plans, prior to taking action regarding the proposed Project.

NOW, THEREFORE, THE MENLO PARK PLANNING COMMISSION HEREBY RESOLVES AS FOLLOWS:

Section 1. Recitals. The Planning Commission has considered the full record before it, which may include but is not limited to such things as the staff report, public testimony, and other materials and evidence submitted or provided, and the Planning Commission finds the foregoing recitals are true and correct, and they are hereby incorporated by reference into this Resolution.

Section 2. Conditional Use Permit Findings. The Planning Commission of the City of Menlo Park does hereby make the following Findings:

The approval of the use permit and architectural control permit to construct a proposed operations center building and associate parking and road access is granted based on the following findings, which are made pursuant to Menlo Park Municipal Code Section 16.82.030:

1. That the establishment, maintenance, or operation of the use applied for will, under the circumstance of the particular case, not be detrimental to the health, safety, morals, comfort, and general welfare of the persons residing in the neighborhood of such proposed use, or injurious or detrimental to property and improvements in the neighborhood or the general welfare of the city because:

- a. Consideration and due regard were given to the nature and condition of all adjacent uses and structures, and to general plans for the area in question and surrounding areas, and impact of the application hereon; in that, the proposed use permit is consistent with the OSC zoning district and the General Plan because maintenance facilities associated with private recreation facilities are allowed to be constructed and maintained subject to granting of a use permit.
- b. The proposed Project would include the required number of off-street parking spaces because no parking would be reduced from the previously approved parking space count for the site; further, there is no required parking for the OSC zoning district. However, an additional 46 parking spaces would be provided to serve the current needs of maintenance staff and guests.
- c. The proposed Project is designed to meet all the applicable codes and ordinances of the City of Menlo Park Municipal Code and the Commission concludes that the Project would not be detrimental to the health, safety, and welfare of the surrounding community as the Project would maintain the private recreation facility use and not expand the golf course footprint and functions, specifically employees, club members, or other activity on site.

Section 3. Architectural Control Permit. The Planning Commission of the City of Menlo Park does hereby make the following Findings:

The approval of the architectural control permit for the proposed operations center is granted based on the following findings, which are made pursuant to Menlo Park Municipal Code Section 16.82.020:

1. That the general appearance of the structures is in keeping with character of the neighborhood; in that, the proposed operations center and parking and access modifications are harmonious with the adjacent golf course and tennis amenities overall, and the architectural design and colors are generally consistent with other existing on-site buildings.
2. That the development will not be detrimental to the harmonious and orderly growth of the city; in that, the Project contains one new operations center building. The Project's design is generally consistent with all applicable requirements of the City of Menlo Park Municipal Code. The proposed Project is consistent with the development and population growth envisioned by ConnectMenlo, as the increase in gross floor area (GFA) resulting from the proposed Project would remain below the maximum allowable GFA for the site. The General Plan land use for the Property, Parks and Recreation, is consistent with the existing and proposed uses on the site. Therefore, the Project will not be detrimental to the harmonious and orderly growth of the city.
3. That the development will not impair the desirability of investment or occupation in the neighborhood; in that, the Project contains a new operations center

building and associated parking lot and access road relocation, which involve a use that is consistent with the applicable standards of the Zoning Ordinance for the project site. The proposed Project is designed in a manner consistent with all applicable codes and ordinances, as well as the ConnectMenlo goals and policies. Therefore, the proposed Project would not impair the desirability of investment or occupation in the neighborhood.

4. That the development provides adequate parking as required in all applicable city ordinances and has made adequate provisions for access to such parking; in that, the Project is designed to provide 46 additional parking spaces, and no parking standards exist within the OSC zoning district. Therefore, the proposed development provides sufficient on-site parking.
5. That the development is consistent with any applicable specific plan; in that, the Project is located in the Sharon Heights neighborhood, which is not subject to any specific plan. However, the proposed Project is designed in a manner consistent with all applicable codes and ordinances, as well as the General Plan goals and policies.

Section 4. Use Permit. The Planning Commission approves Use Permit No. PLN2023-00018, which use permit is depicted in and subject to the development plans and project description letter, which are attached hereto and incorporated herein by this reference as Exhibit A and Exhibit B, respectively. The Use Permit is conditioned in conformance with the conditions attached hereto and incorporated herein by this reference as Exhibit C.

Section 5. Architectural Control Permit. The Planning Commission approves Architectural Control Permit No. PLN2023-00018, which is depicted in and subject to the development plans and project description letter, which are attached hereto and incorporated herein by this reference as Exhibit A and Exhibit B, respectively. The Architectural Control Permit is conditioned in conformance with the conditions attached hereto and incorporated herein by this reference as Exhibit C.

Section 6. Environmental Review. The Planning Commission finds, based on its independent judgment after considering the Project, and having reviewed and taken into consideration all written and oral information submitted in this matter, that for the reasons set forth in Memorandum attached to this Resolution as Exhibit D and incorporated by this reference, the Project is exempt from environmental review pursuant to CEQA Guidelines §15183 (Projects Consistent with a Community Plan, General Plan, or Zoning), and none of the exceptions to the use of a categorical exemption as set forth in CEQA Guidelines §15300.2 apply to this Project.

Section 7. Severability. If any term, provision, or portion of these findings or the application of these findings to a particular situation is held by a court to be invalid, void or unenforceable, the remaining provisions of these findings, or their application to other actions related to the proposed Project, shall continue in full force and effect unless amended or modified by the City.

I, Kyle Perata, Assistant Community Development Director of the City of Menlo Park, do hereby certify that the above and foregoing Planning Commission Resolution was duly and regularly passed and adopted at a meeting by said Planning Commission on February 5, 2024, by the following votes:

AYES: Barnes, Do, Ehrich, Ferrick, Riggs, Schindler, Silverstein

NOES:

ABSENT:

ABSTAIN:

IN WITNESS THEREOF, I have hereunto set my hand and affixed the Official Seal of said City on this 9th day of February, 2024.

PC Liaison Signature

DocuSigned by:

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Kyle Perata
Assistant Community Development Director
City of Menlo Park

Exhibits

- A. Project plans
- B. Project description letter
- C. Conditions of approval
- D. CEQA Exemption Memorandum



RENDERINGS

The Sharon Heights Golf and Country Club (the "Club") is a membership club that has dining, golf, tennis, pickleball, gym and swimming facilities for its members and guests. The Club has been in existence since 1961 and is a large part of the Menlo Park community with 136 households out of 450 members living in Menlo Park. The Club is located on approximately 110.8 acres that is zoned Open Space and Conservation (OSC) District.

Over time, the Club has pursued various capital improvement projects designed to enhance, repair, and/or replace aging facilities that are outdated or insufficient for current operations. For example, in 2000, the Club obtained the City's approval to update the Clubhouse. In 2012, the City approved the Club's proposal to construct a new maintenance yard. And in 2015, the City approved an expansion of the Clubhouse along with a new pool building with indoor and outdoor dining areas, as well as a new building for fitness classes and wellness activities. In August 2023, the Club completed entry gates to the main parking lot. Most recently, the Club obtained the City's approval to renovate the golf course and construct new solar facilities, both of which are currently under construction.

The proposed Operations Center project furthers the Club's ongoing efforts to modernize its facilities, operations, and infrastructure by providing a new Operations Center building and associated circulation improvements. Consistent with the previous projects, the Club is respectfully requesting Architectural Control and a Use Permit Revision to construct these improvements.

Existing Conditions

Currently, approximately ten of the Club's administrative staff members (e.g., management, HR, finance, etc.) share overcrowded office spaces west and south of the Clubhouse main entry colonnade. The approximately 25 members of the maintenance staff do not have dedicated or adequate facilities for changing clothes, taking meal breaks, storing personal items, and so forth. Those maintenance staff members currently utilize an existing maintenance building that was built in 1962 without heat or modern amenities. The Club desires to create a new dedicated facility with modern administrative office space and upgraded facilities for its maintenance staff, as more fully described below. The Club presently has the equivalent of 106 full-time employees, and no increase in staffing is planned as a result of this project. The goal is to provide an adequate level of space for professionals.

The existing maintenance building, which is located to the north of the proposed location for the Operations Center building, would not be demolished or modified as part of the Project, but would instead be used for storing large equipment after the Operations Center building is completed. The equipment currently stored on the first floor of the existing maintenance building will be relocated to the new Operations Center, freeing up indoor storage space for large equipment that is currently stored outside such as large tractors, tractor attachments, rough mowers or infrequently used equipment. The second floor is not used due to lack of access with no changes proposed to its use or function.

As part of the Project, the Club also seeks to install a new surface parking area adjacent to the new Operations Center building which would provide parking for maintenance staff and the ten administrative staff members, in addition to overflow parking. These staff members currently park and operate out of the overcrowded existing maintenance building and Clubhouse as detailed above. There will be no change to the golf course maintenance activity, therefore, there will be no changes in activity level at the existing Wash and Fuel Station.

Proposed Project

1. New Operations Center

The Project proposes the construction of a new, two-story, approximately 15,000 square foot Operations Center building within an unimproved area located on the southern edge of the Club's property adjacent to the northbound Highway 280 onramp from Sand Hill Road. The Operations Center would be located between an existing practice green and tennis court facilities to the east and West Bay Sanitary District's recycled water treatment plant to the west.

The Operations Center will serve to consolidate and centralize the Club's operations and maintenance needs into one modern facility, with the goal of improving working conditions for employees. The Operations Center is designed to accommodate approximately ten staff members who will be relocated from the Clubhouse to the new facility, as well as provide dedicated facilities for around 25 maintenance workers, most of whom work outside all day, to change, eat lunch, take a break and socialize.

The approximately 9,500 square foot first floor includes offices and a work area for the maintenance staff, equipment and storage rooms, locker rooms with showers, a lunchroom, laundry room, and a mud room. The approximately 5,600 square foot second floor and mezzanine would provide private offices for our H.R., accounting, facilities and maintenance managers, a 12 person conference room for meetings, as well as accessory storage rooms.

The Project incorporates modular designed elements to allow for high bays on one end in the mechanics maintenance area with overhead lifts and storage. The exterior finish will be vinyl shake siding with dark green accents to match the existing Clubhouse. The maintenance work area will be equipped with charging stations, as required by new state ordinances, for zero-emission landscaping equipment and is sized to house equipment and golf carts when not in use. A solar array is planned to be installed on the roof as a future separate project.

The Project would result in the removal of existing trees along the freeway frontage, including some that qualify as heritage trees. The Club has already submitted an application for the removal of heritage trees (HTR2022-00111) which has been approved.

2. Parking and Circulation Improvements

The Club currently has two parking lots that provide 253 parking spaces. The main parking lot near the Clubhouse contains 218 spaces and a secondary parking lot near the tennis courts contains 35 parking spaces. Both lots are accessed through Sand Hill Road. In addition, the 25 maintenance workers currently park at the old maintenance center area in a small unlined parking area, or in spaces along the entry road.

The Project would construct a new uncovered surface parking lot at the south end of the proposed Operations Center. The parking lot would accommodate 46 spaces, including 1 accessible van space, 1 accessible standard space, 1 accessible van EVCS, 1 accessible EVCS, and 4 standard EVCS for employee and overflow parking.

To improve circulation and provide safer access to the new facility, the Project would also relocate an existing 20-foot wide asphalt access road to the West Bay Sanitary District's sewer treatment plant and material storage and fueling yard for the golf course. Currently, the treatment plant is accessed via an access road that runs to the north of the tennis courts and practice facility, with vehicles driving through an existing parking lot. The new access road would provide a more direct connection for emergency vehicles and maintenance workers needing access to the sewer treatment plant, as well as for employees and others parking in the future parking area next to the Operations Center building, and thereby lessen the potential for vehicle conflicts and congestion within the existing parking area between the Club's tennis court facilities. There is a private 20-foot easement provided to PG&E gas service, over portions of the proposed facility access road. This access road location was anticipated during the granting of the easement, and the easement deed does allow the Sharon Heights Country Club to grade, pave, repair pavement and landscape within the easement area. Please note that the existing driveway from Sand Hill Road, access to the tennis facility, is also within this created easement. The existing access road to the north of the tennis courts would be demolished and replaced with landscaping, and the new access road would be installed south of the tennis courts connecting Sand Hill Road south to the new proposed employee and overflow parking area described above and the treatment plant.

3. Community Outreach

For over 60 years, the Sharon Heights Golf and Country Club has been a proud and privileged member of the Menlo Park community. The Club's current membership includes 157 Menlo Park households and 314 residents. In an effort to ensure that neighbors understand the scope of the golf course renovation and new Operations Center project and the benefits it will provide in terms of furthering the Club's sustainability goals, the Club has conducted extensive outreach to the surrounding community.

In-person information sessions were held at the Club on Sunday October 23, 2022, and Saturday October 29, 2022. All residents within 300 feet of the projects (and other interested parties) were invited to attend. Over 100 neighbors and interested parties were in attendance. Those in attendance were provided with a detailed overview of the projects, including an estimated construction timeline. They were also able to view renderings and architectural drawings and learn more about the Club's long-term goals with regard to sustainability. The session concluded with an opportunity for the audience to ask questions and provide feedback. They were provided contact information to follow up with additional questions as well.

With a substantial amount of time passing since those October 2022 sessions, the Club held an additional information session with the HOA and neighbors most directly affected by the Operations Center Project on Sand Hill Circle on September 21, 2023. Questions were asked regarding screening using trees and the schedule. Screening ideas will be incorporated into the placement of trees during the current golf course project.

The Club representatives will continue to communicate with the community member(s) to answer questions and explain the value of the Club's long-term goals with regard to sustainability and the new Operations Center project.

PROJECT DESCRIPTION

THE KASTROP GROUP, INC.
ARCHITECTS

160 BIRCH STREET, SUITE B
REDWOOD CITY, CA 94062
T: 650.998.0303
www.kastropgroup.com

OPERATIONS CENTER AND CLUB ENHANCEMENT PROJECT

SHARON HEIGHTS GOLF & COUNTRY CLUB

2900 SAND HILL ROAD,
MENLO PARK, CA 94025

ORIGINAL SIGNATURE IN BLUE INK

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NOT FOR
CONSTRUCTION**

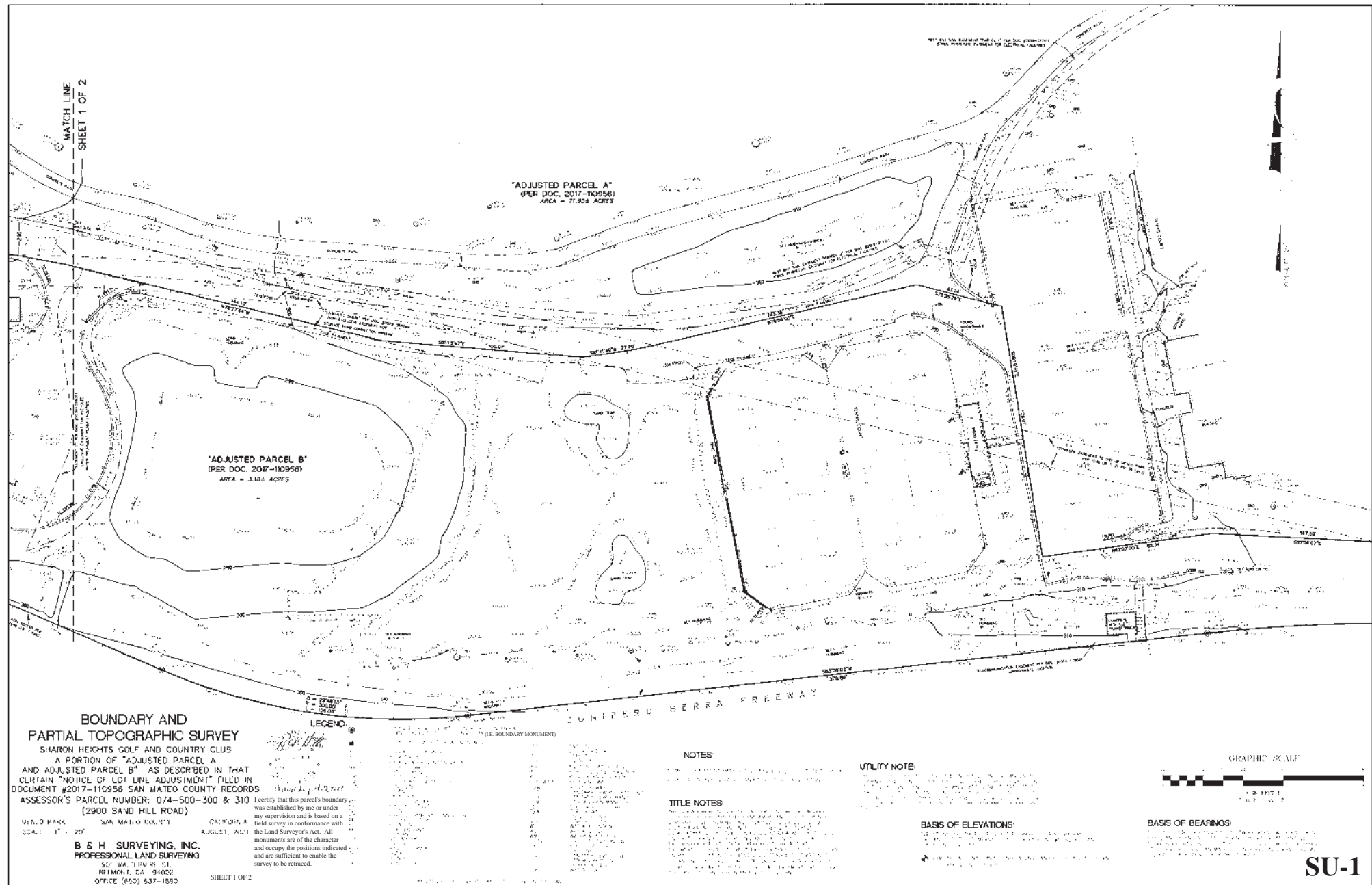
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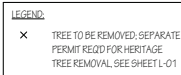
PROJECT DESCRIPTION:
RENDERINGS

REVISION SCHEDULE	
DATE	DESCRIPTION
8/15/23	SUBMIT FOR CLP
8/15/23	CLP RESUBMITTAL
10/12/23	CLP RESUBMITTAL
12/12/23	CLP RESUBMITTAL
1/17/24	CLP RESUBMITTAL

JOHN	2/7/24
DRAWN	LMC
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OPERATIONS CENTER AND CLUB ENHANCEMENT PROJECT

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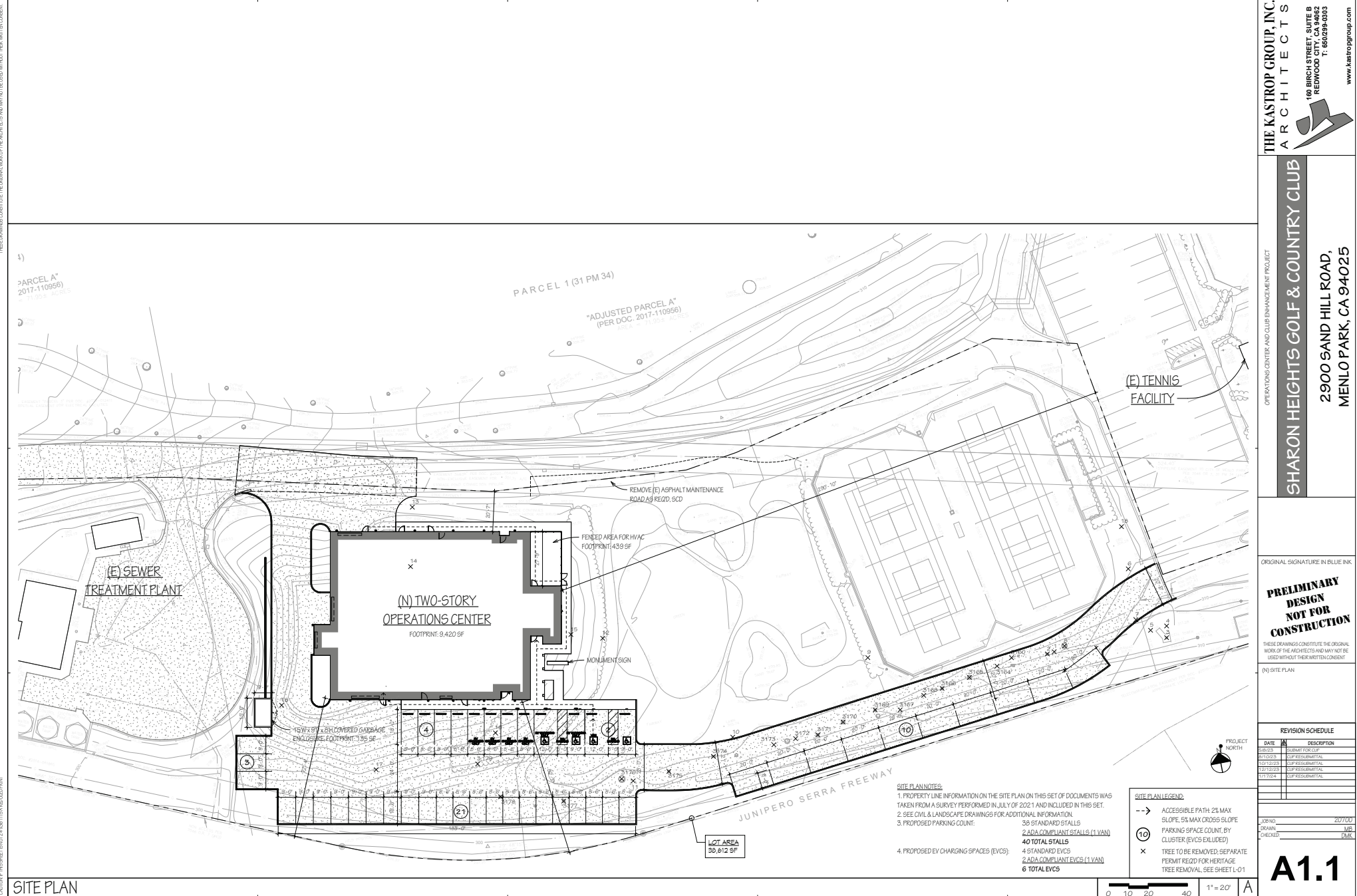
(E) SITE PLAN

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JOB NO.	20700
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20700, 644061 HEIGHTS ON E 300 INTERVIEW 2000 541011 0010 MENLO PARK CA 94025



THE KASTROP GROUP, INC.
ARCHITECTS
160 BIRCH STREET, SUITE B
REDWOOD CITY, CA 94062
T: 650/998-0303
www.kastropgroup.com

OPERATIONS CENTER AND CLUB ENHANCEMENT PROJECT
SHARON HEIGHTS GOLF & COUNTRY CLUB
2900 SAND HILL ROAD,
MENLO PARK, CA 94025

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PRELIMINARY DESIGN NOT FOR CONSTRUCTION
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(N) SITE PLAN

REVISION SCHEDULE

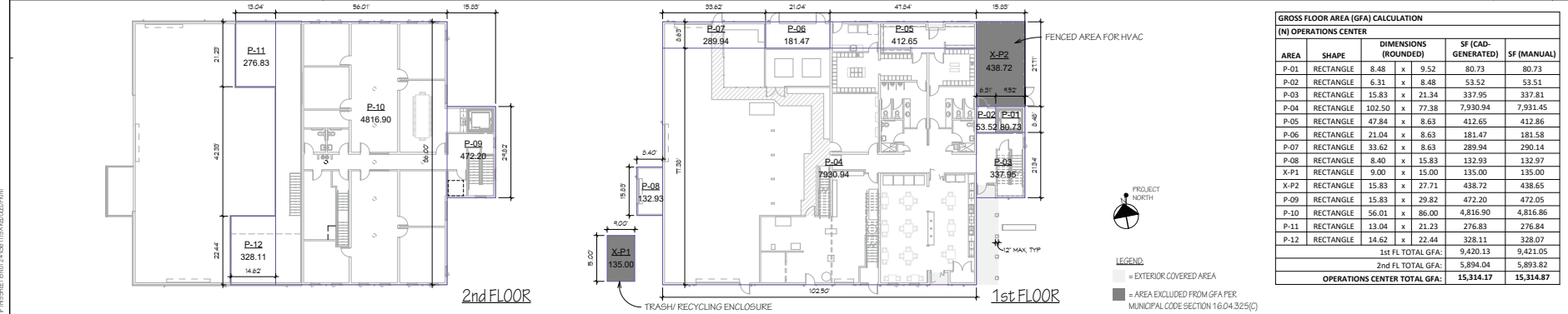
DATE	BY	DESCRIPTION
08/23/23	LMC	SUBMIT FOR CLIP
08/23/23	LMC	CLIP RECOMMENDATION
09/12/23	LMC	CLIP RECOMMENDATION
10/12/23	LMC	CLIP RECOMMENDATION
11/12/23	LMC	CLIP RECOMMENDATION

JOHN 207007
DRAWN LMC
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AREA PLAN



GFA DIAGRAMS & CALCS: (N) OPERATIONS CENTER

THE KASTROP GROUP, INC.
ARCHITECTS
160 BIRCH STREET, SUITE B
REDWOOD CITY, CA 94062
T: 650/998-0303
www.kastropgroup.com

OPERATIONS CENTER AND CLUB ENHANCEMENT PROJECT

SHARON HEIGHTS GOLF & COUNTRY CLUB
2900 SAND HILL ROAD,
MENLO PARK, CA 94025

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AREA PLAN
STREETSCAPE
GFA CALC - (N) OPERATIONS CENTER
GFA DIA DIAGRAMS - (N) OPERATIONS CENTER

REVISION SCHEDULE	
DATE	DESCRIPTION
8/14/23	SUBMIT FOR CLP
8/14/23	CLP REVISIONS
10/12/23	CLP REVISIONS
11/12/23	CLP REVISIONS
11/12/23	CLP REVISIONS

JOB NO. 20700
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CHECKED: DMK

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CAUTION: THESE DRAWINGS CONSTITUTE THE ORIGINAL WORK OF THE ARCHITECTS AND MAY NOT BE USED WITHOUT THEIR WRITTEN CONSENT.

(E) BUILDINGS GFA DIAGRAMS (NO WORK)

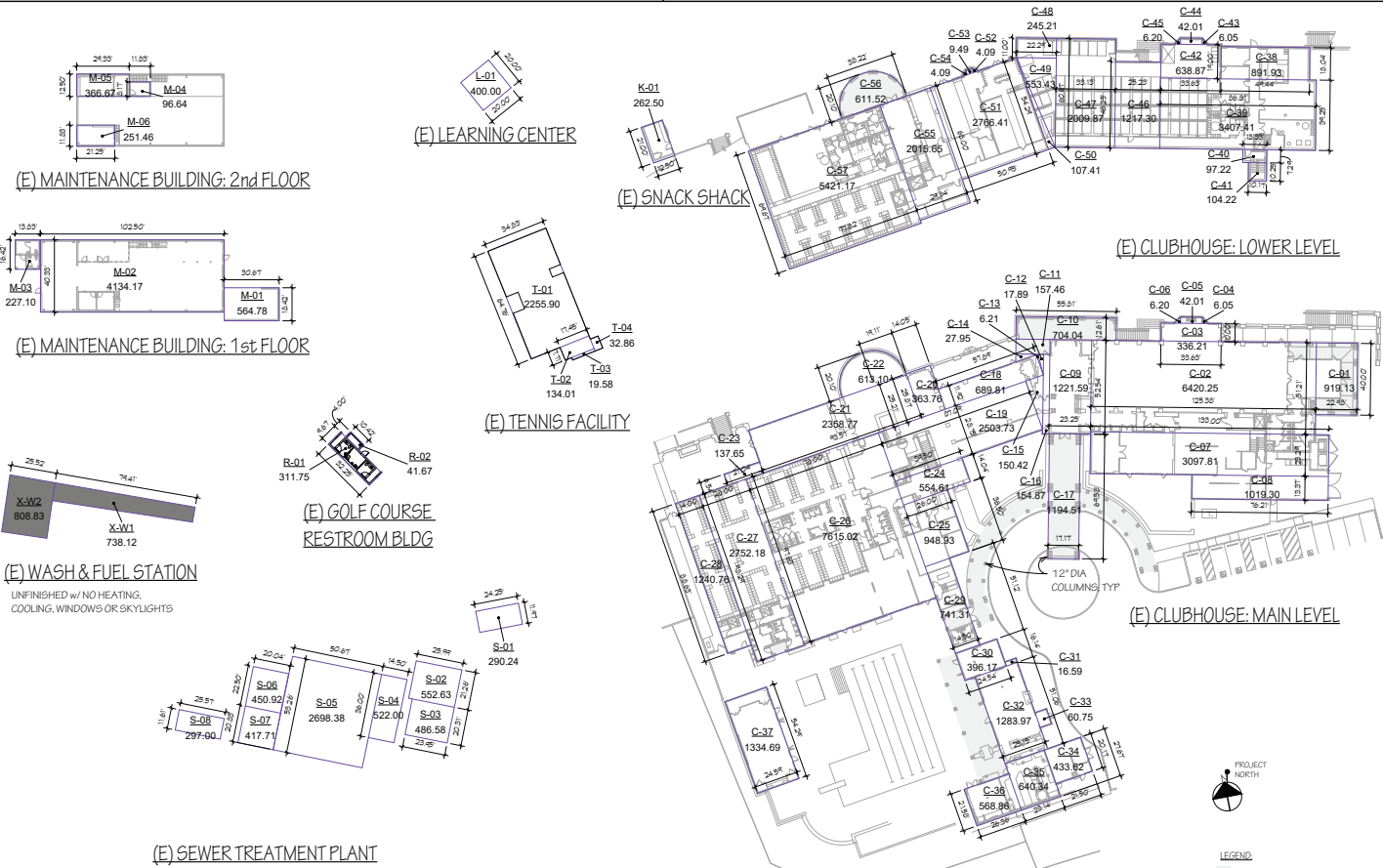
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GROSS FLOOR AREA (GFA) CALCULATION				
(E) TENNIS FACILITY				
AREA	SHAPE	DIMENSIONS (ROUNDED)	SF (CAD-GENERATED)	SF (MANUAL)
T-01	RECTANGLE	34.83 x 64.76	2,255.90	2,255.59
T-02	RECTANGLE	17.45 x 7.71	134.01	134.54
T-03	RECTANGLE	13.50 x 1.45	19.58	19.58
T-04	RECTANGLE	4.58 x 7.17	32.86	32.84
TENNIS FACILITY TOTAL GFA:			2,442.35	2,442.54
(E) MAINTENANCE BUILDING				
AREA	SHAPE	DIMENSIONS (ROUNDED)	SF (CAD-GENERATED)	SF (MANUAL)
M-01	RECTANGLE	30.67 x 18.42	564.78	564.94
M-02	RECTANGLE	102.50 x 40.33	4,134.17	4,133.83
M-03	RECTANGLE	13.83 x 16.42	227.10	227.09
M-04	RECTANGLE	11.83 x 8.17	96.64	96.65
M-05	RECTANGLE	29.33 x 12.50	366.67	366.63
M-06	RECTANGLE	21.25 x 11.83	251.46	251.39
1st FL TOTAL GFA:			4,926.05	4,925.86
2nd FL TOTAL GFA:			714.77	714.66
MAINTENANCE BUILDING TOTAL GFA:			5,640.82	5,640.52

GROSS FLOOR AREA (GFA) CALCULATION				
(E) WASH & FUEL STATION				
AREA	SHAPE	DIMENSIONS (ROUNDED)	SF (CAD-GENERATED)	SF (MANUAL)
X-W1	RECTANGLE	79.41 x 9.29	738.12	737.72
X-W2	RECTANGLE	25.52 x 31.70	808.83	808.98
WASH & FUEL STATION TOTAL GFA:			0.00	0.00
(E) SEWER TREATMENT PLANT				
AREA	SHAPE	DIMENSIONS (ROUNDED)	SF (CAD-GENERATED)	SF (MANUAL)
S-01	RECTANGLE	11.97 x 24.25	290.24	290.27
S-02	RECTANGLE	25.99 x 21.26	552.63	552.55
S-03	RECTANGLE	23.95 x 20.31	486.58	486.42
S-04	RECTANGLE	14.50 x 36.00	522.00	522.00
S-05	RECTANGLE	50.67 x 53.26	2,698.38	2,698.68
S-06	RECTANGLE	20.04 x 22.50	450.92	450.90
S-07	RECTANGLE	20.04 x 20.83	417.71	417.43
S-08	RECTANGLE	25.57 x 11.61	297.00	296.87
SEWER TREATMENT PLANT TOTAL GFA:			5,715.46	5,715.13

GROSS FLOOR AREA (GFA) CALCULATION				
(E) CLUBHOUSE				
AREA	SHAPE	DIMENSIONS (ROUNDED)	SF (CAD-GENERATED)	SF (MANUAL)
C-01	RECTANGLE	22.98 x 40.00	919.13	919.20
C-02	RECTANGLE	125.38 x 51.21	6,420.25	6,420.71
C-03	RECTANGLE	33.63 x 10.00	336.21	336.30
C-04	TRIANGLE	3.46 x 3.50	6.05	6.06
C-05	RECTANGLE	12.00 x 3.50	42.01	42.00
C-06	TRIANGLE	3.54 x 3.50	6.20	6.20
C-07	RECTANGLE	133.00 x 23.29	3,097.81	3,097.57
C-08	RECTANGLE	76.21 x 13.37	1,019.30	1,018.93
C-09	RECTANGLE	23.25 x 52.54	1,221.59	1,221.56
C-10	RECTANGLE	55.81 x 12.61	704.04	703.76
C-11	RECTANGLE	18.99 x 8.29	157.46	157.43
C-12	TRIANGLE	3.10 x 11.55	17.89	17.90
C-13	TRIANGLE	1.04 x 11.92	6.21	6.20
C-14	TRIANGLE	12.39 x 4.51	27.95	27.94
C-15	TRIANGLE	10.46 x 28.75	150.42	150.36
C-16	RECTANGLE	3.50 x 44.25	154.87	154.88
C-17	RECTANGLE	17.17 x 69.58	1,194.51	1,194.69
C-18	RECTANGLE	57.89 x 11.92	689.81	690.05
C-19	RECTANGLE	87.09 x 28.75	2,503.73	2,503.84
C-20	RECTANGLE	14.05 x 25.87	363.76	363.47
C-21	RECTANGLE	93.57 x 25.21	2,358.77	2,358.90
C-22	SEMI ELLIPSE	N/A	613.10	613.10
C-23	RECTANGLE	21.04 x 6.54	137.65	137.60
C-24	RECTANGLE	39.50 x 14.04	554.61	554.58
C-25	RECTANGLE	26.00 x 36.50	948.93	949.00
C-26	RECTANGLE	78.00 x 97.63	7,615.02	7,615.14
C-27	RECTANGLE	28.00 x 98.29	2,752.18	2,752.12
C-28	RECTANGLE	14.00 x 88.63	1,240.76	1,240.82
C-29	RECTANGLE	14.50 x 51.12	741.31	741.24
C-30	RECTANGLE	24.54 x 16.14	396.17	396.08
C-31	RECTANGLE	6.46 x 2.57	16.59	16.60
C-32	RECTANGLE	25.15 x 51.06	1,283.97	1,284.16
C-33	RECTANGLE	6.75 x 9.00	60.75	60.75
C-34	RECTANGLE	21.50 x 20.17	433.62	433.66
C-35	RECTANGLE	23.14 x 27.67	640.34	640.28
C-36	RECTANGLE	26.36 x 21.58	568.86	568.85
C-37	RECTANGLE	24.59 x 54.29	1,334.69	1,334.99
C-38	RECTANGLE	49.44 x 18.04	891.93	891.90
C-39	RECTANGLE	86.81 x 39.25	3,407.41	3,407.29
C-40	RECTANGLE	13.33 x 7.29	97.22	97.18
C-41	RECTANGLE	10.17 x 10.25	104.22	104.24
C-42	RECTANGLE	33.63 x 19.00	638.87	638.97
C-43	TRIANGLE	3.46 x 3.50	6.05	6.06
C-44	RECTANGLE	12.00 x 3.50	42.01	42.00
C-45	TRIANGLE	3.54 x 3.50	6.20	6.20
C-46	RECTANGLE	25.23 x 48.25	1,217.30	1,217.35
C-47	RECTANGLE	33.13 x 60.67	2,009.87	2,010.00
C-48	RECTANGLE	22.29 x 11.00	245.21	245.19
C-49	TRIANGLE	22.29 x 49.66	553.43	553.46
C-50	TRIANGLE	3.96 x 54.29	107.41	107.49
C-51	RECTANGLE	50.95 x 54.29	2,766.41	2,766.08
C-52	TRIANGLE	2.90 x 2.70	4.09	3.92
C-53	RECTANGLE	3.52 x 2.70	9.49	9.50
C-54	TRIANGLE	2.90 x 2.70	4.09	3.92
C-55	RECTANGLE	29.64 x 68.00	2,015.65	2,015.52
C-56	SEMI ELLIPSE	N/A	611.52	611.52
C-57	RECTANGLE	77.82 x 69.67	5,421.17	5,421.72
1st FL TOTAL GFA:			40,736.52	40,736.90
2nd FL TOTAL GFA:			20,159.55	20,159.49
CLUBHOUSE TOTAL GFA:			60,896.07	60,896.38

(E) SNACK SHACK				
AREA	SHAPE	DIMENSIONS (ROUNDED)	SF (CAD-GENERATED)	SF (MANUAL)
K-01	RECTANGLE	12.50 x 21.00	262.50	262.50
SNACK SHACK TOTAL GFA:			262.50	262.50
(E) LEARNING CENTER				
AREA	SHAPE	DIMENSIONS (ROUNDED)	SF (CAD-GENERATED)	SF (MANUAL)
L-01	RECTANGLE	20.00 x 20.00	400.00	400.00
LEARNING CENTER TOTAL GFA:			400.00	400.00
(E) GOLF COURSE RESTROOM BLDG				
AREA	SHAPE	DIMENSIONS (ROUNDED)	SF (CAD-GENERATED)	SF (MANUAL)
R-01	RECTANGLE	9.67 x 32.25	311.75	311.86
R-02	RECTANGLE	4.00 x 10.42	41.67	41.68
COURSE RESTROOMS TOTAL GFA:			353.42	353.54



THE KASTROP GROUP, INC.
ARCHITECTS

160 BIRCH STREET, SUITE B
REDWOOD CITY, CA 94062
T: 650/998-0303
www.kastropgroup.com

SHARON HEIGHTS GOLF & COUNTRY CLUB

2900 SAND HILL ROAD,
MENLO PARK, CA 94025

OPERATIONS CENTER AND CLUB ENHANCEMENT PROJECT

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GFA DIAGRAMS - (E) BUILDINGS
GFA CALC - (E) BUILDINGS

REVISION SCHEDULE

DATE	BY	DESCRIPTION
8/14/23	MM	ISSUED FOR CLP
8/15/23	MM	CLP REVISIONS
10/12/23	MM	CLP REVISIONS
12/12/23	MM	CLP REVISIONS
1/17/24	MM	CLP REVISIONS

JOB NO. 20700
DRAWN: JMS
CHECKED: DMK

A1.4

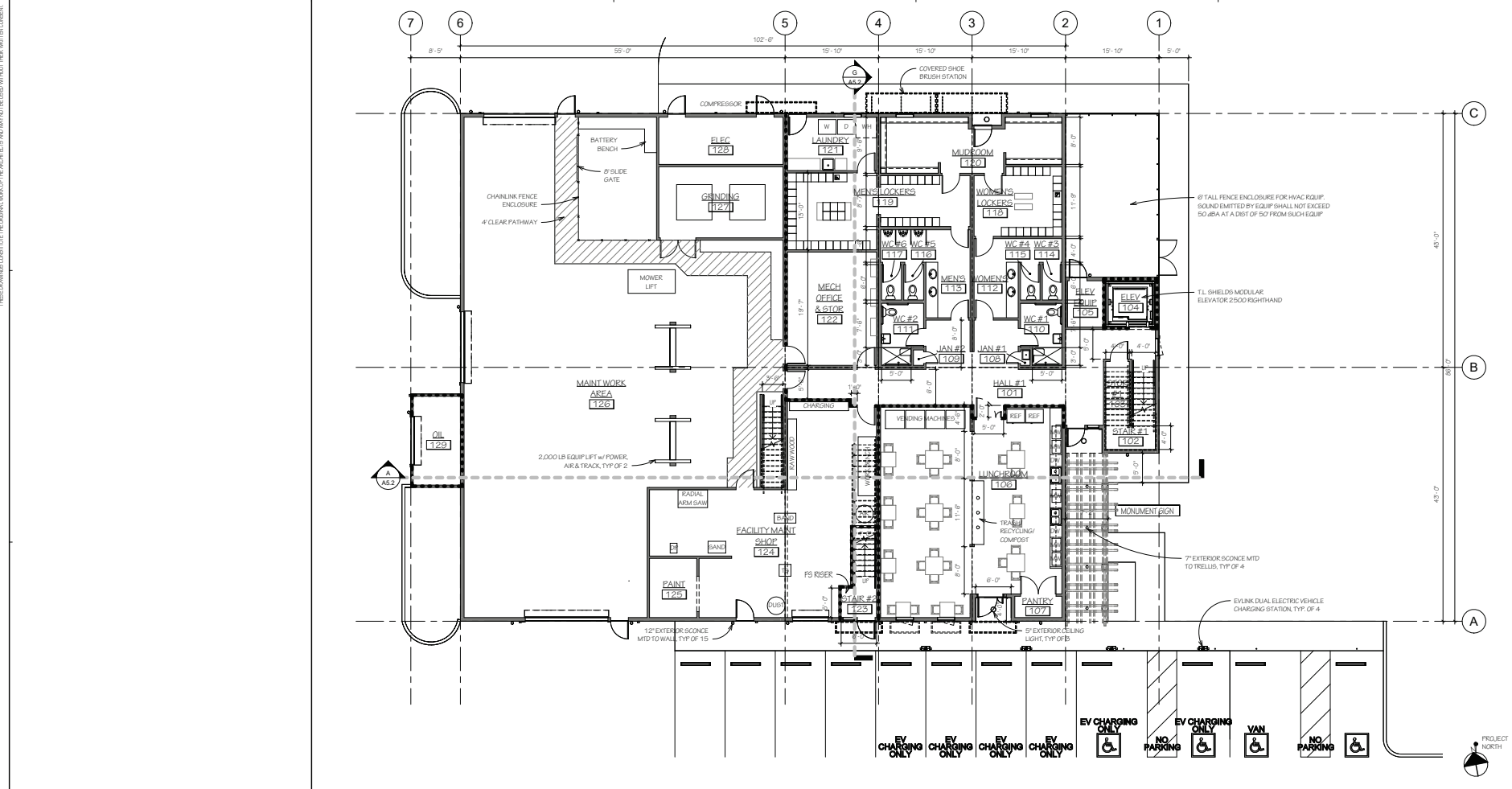
(E) BUILDINGS GFA CALCS

A

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CAUTION: THIS SHEET IS NOT A PART OF THE PROJECT'S RECORD SET.

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1st FLOOR PLAN

KEY NOTES

KEY NOTES & LEGEND

LEGEND

- (X) KEY NOTE THIS SHEET
- (E) WALLS TO REMAIN
- NEW WALLS, 1/2-HOUR FIRE RATED, PROVIDE SOUND INSULATION AND 5/8" GYP BD BOTH SIDES (CBC 708.3.2)
- ONE-HOUR FIRE RATED WALL, 5/8" TYPE-X GYP BD, MUD & FIRE TAPE (CBC TABLE 1020.1)
- TWO-HOUR FIRE RATED WALL
- DOOR TAGS - SEE DOOR & HARDWARE SCHEDULE, SHEET A9.0
- WINDOW TAGS - SEE WINDOW SCHEDULE
- WALL TYPE - SEE SHEET A8.1
- FINISHED CEILING HEIGHT
- EQUIPMENT TAG - SEE EQUIPMENT SCHEDULE, A/A6.0
- FIRE EXTINGUISHER CABINET, SEE A9.0. SHALL BE LOCATED WITHIN 30 FT OF ANY COMMERCIAL COOKING EQUIP

1/8" = 1'-0"

THE KASTROP GROUP, INC.
ARCHITECTS
160 BIRCH STREET, SUITE B
REDWOOD CITY, CA 94062
T: 650.998.0303
www.kastropgroup.com

OPERATIONS CENTER AND CLUB ENHANCEMENT PROJECT

SHARON HEIGHTS GOLF & COUNTRY CLUB

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(N) 1st FLOOR PLAN

REVISION SCHEDULE	
DATE	DESCRIPTION
01/24/23	DESIGN FOR CLIP
01/24/23	CLIP REVISIONS
01/24/23	CLIP REVISIONS
01/24/23	CLIP REVISIONS
01/24/23	CLIP REVISIONS
01/24/23	CLIP REVISIONS

JOB NO. 20700
DRAWN: JMC
CHECKED: DMK

A2.0

20700: SHARON HEIGHTS GOLF & COUNTRY CLUB 2900 SAND HILL ROAD, MENLO PARK, CA 94025



	$1/8" = 1'-0"$
--	----------------

LEGEND:

- | | |
|--|------------------|
| | $1/8'' = 1'-0''$ |
|--|------------------|



THE KASTROP GROUP, INC.
ARCHITECTS
160 BIRCH STREET, SUITE B
REDWOOD CITY, CA 94062
T: 650299-0303
www.kastropgroup.com

OPERATIONS CENTER AND CLUB ENHANCEMENT PROJECT

SHARON HEIGHTS GOLF & COUNTRY CLUB

2900 SAND HILL ROAD,
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(N) 2nd FLOOR PLAN

REVISION SCHEDULE	
DATE	DESCRIPTION
5/8/23	SUBMIT FOR CUP
8/10/23	CUP RESUBMITTAL
10/12/23	CUP RESUBMITTAL
12/12/23	CUP RESUBMITTAL
1/17/24	CUP RESUBMITTAL

JOB NO:	20700
DRAWN:	MB
CHECKED:	DMK

A2.1

10



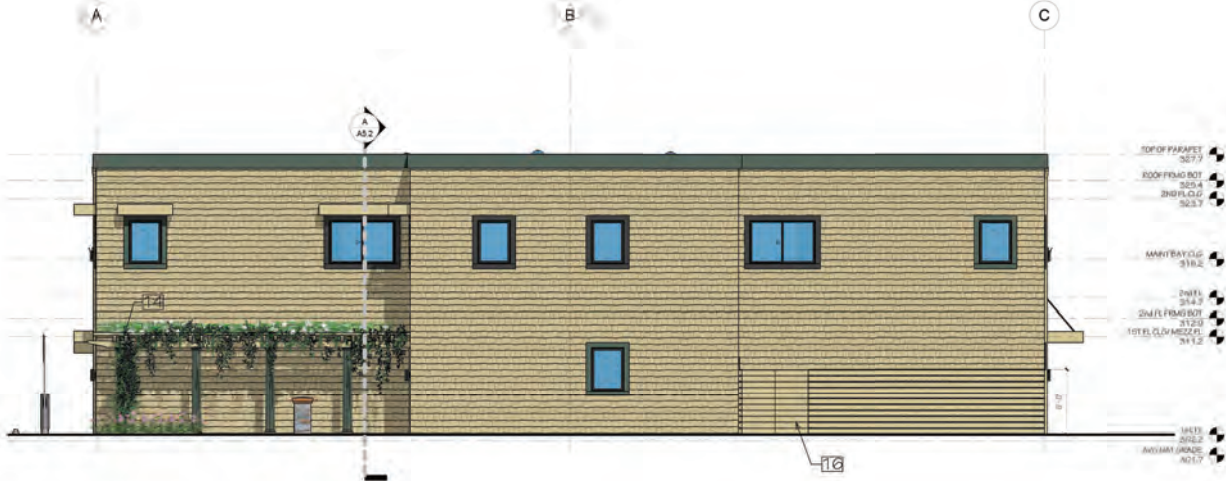
	$1/8" = 1'-0"$
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LEGEND:

-  KEY NOTE THIS SHEET

	$1/8'' = 1'-0''$
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A4.0



KEYNOTES

1. FOAMRY SPLIT SHAKE EXTERIOR SIDING, TYP.
2. METAL FASOA, TYP.
3. METAL DOOR & WINDOW TRIMS, TYP.
4. METAL DOORS & STOREFRONT DOORS, TYP.
5. METAL ROLL-UP DOORS, TYP.
6. MONUMENT SIGN
7. SOLARUSE, TYP OF 7
8. 1"U RAMP, TYP.
9. METAL GUTTER, TYP OF 5
10. METAL DOWNSPOUT, TYP OF 13, SEE CIVIL
11. GOLD METAL AWNING, TYP OF 5
12. LOUVERED METAL AWNING, TYP OF 11
13. 12" EXTERIOR DOWNCAST SCIENCE, TYP OF 15
14. 7" EXTERIOR DOWNCAST SCIENCE, TYP OF 4
15. WOOD TRELLIS & COLUMNS
16. WOOD FENCE & GATE TO CONCEAL HYAC EQUIP

DATE: 08.18.2020

KEYNOTES

EAST EXTERIOR ELEVATION



1. TOP OF PARAPET 507.7
2. ROOF FLOOR BOT 505.4
3. 2ND FLOOR BOT 503.7
4. MAIN FLOOR 518.2
5. 2ND FLOOR BOT 514.7
6. 2ND FLOOR BOT 512.9
7. 1ST FLOOR BOT 511.2
8. 1"U RAMP 507.7
9. 1"U RAMP 507.7

DATE: 08.18.2020

KEYNOTES

SOUTH EXTERIOR ELEVATION

THE KASTROP GROUP, INC.
ARCHITECTS
160 BIRCH STREET, SUITE B
REDWOOD CITY, CA 94062
T: 650.998.0303
www.kastropgroup.com

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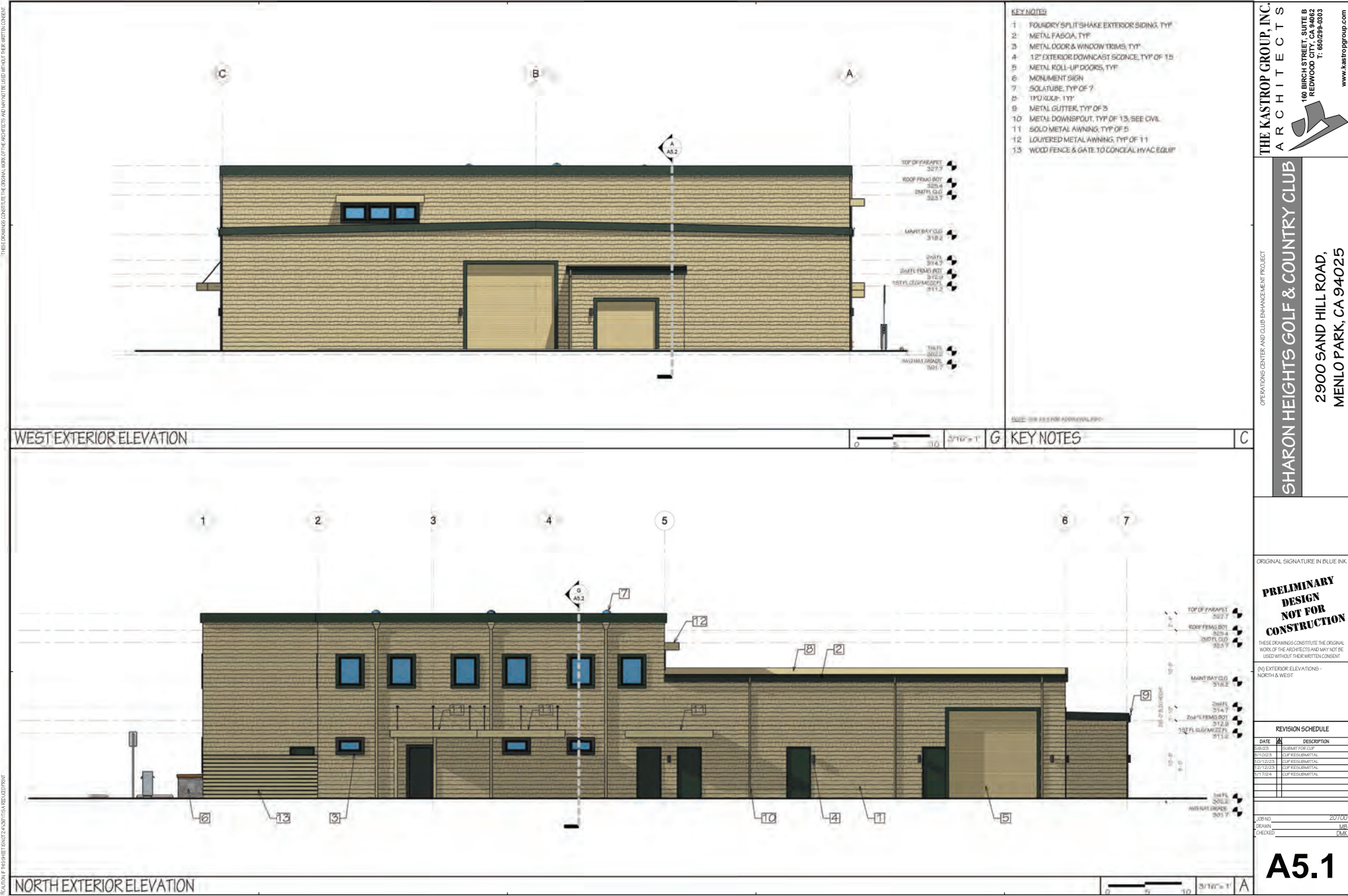
(N) EXTERIOR ELEVATIONS -
SOUTH & EAST

REVISION SCHEDULE

DATE	DESCRIPTION
08/18/20	DESIGN FOR CLIP
08/18/20	CLIP FOR PRESENTATION
08/18/20	CLIP FOR PRESENTATION
08/18/20	CLIP FOR PRESENTATION
08/18/20	CLIP FOR PRESENTATION

DATE: 08.18.2020
DRAWN: JMC
CHECKED: DMK

A5.0



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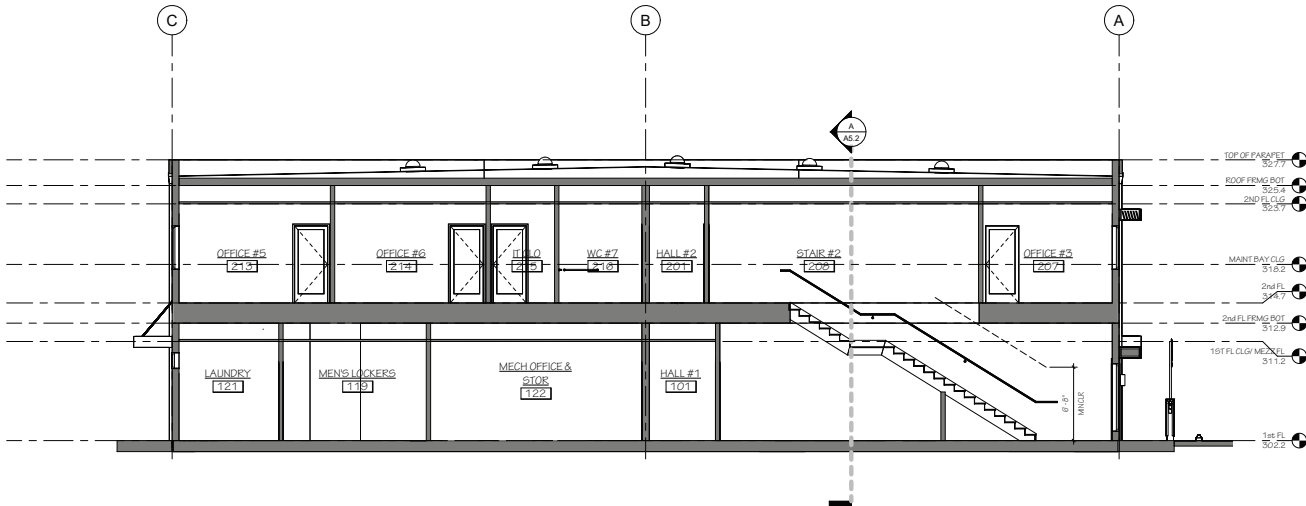
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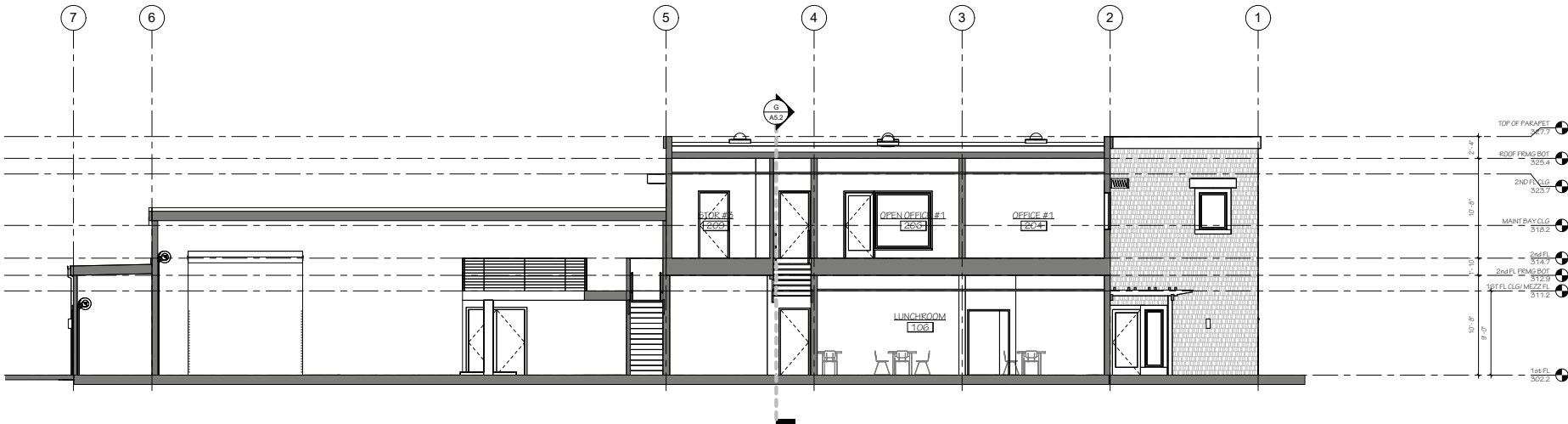
2900 SAND HILL ROAD,
MENLO PARK, CA 94025

OPERATIONS CENTER AND CLUB ENHANCEMENT PROJECT



BLDG CROSS SECTION (NORTH-SOUTH)

0 5 10 3/16" = 1' G KEY NOTES



BLDG CROSS SECTION (WEST-EAST)

0 5 10 1/4" = 1'-0" A

KEY NOTES

KEY NOTES

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ARCHITECTS
160 BIRCH STREET, SUITE B
REDWOOD CITY, CA 94062
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www.kastropgroup.com

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BLDG CROSS SECTION (WEST-EAST)
BLDG CROSS SECTION (NORTH-SOUTH)

REVISION SCHEDULE	
DATE	DESCRIPTION
01/10/23	CLIP FOR SUBMITTAL
01/10/23	CLIP FOR SUBMITTAL
01/10/23	CLIP FOR SUBMITTAL
01/10/23	CLIP FOR SUBMITTAL
01/10/23	CLIP FOR SUBMITTAL

DATE 01/10/23
DRAWN JMC
CHECKED DMK

A5.2

www.progresslighting.com Rev. 12/19

The online information and materials for www.humanwellbeing.com Received 1 October 2008; revised 16 November 2008; accepted 16 November 2008



A5.3

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WASH & FUEL STATION, SOUTH



MAINTENANCE BUILDING, NORTH



LEARNING CENTER, EAST



SEWER TREATMENT PLANT, EAST



MAINTENANCE BUILDING, SOUTH



CLUBHOUSE, NORTH



SEWER TREATMENT PLANT, WEST



TENNIS FACILITY, WEST



CLUBHOUSE, SOUTH

EXISTING BUILDING REFERENCE PHOTOS

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ARCHITECTS
160 BIRCH STREET, SUITE B
REDWOOD CITY, CA 94062
T: 650/998-0303
www.kastropgroup.com

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2900 SAND HILL ROAD,
MENLO PARK, CA 94025

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EXISTING BUILDING REF PHOTOS

REVISION SCHEDULE	
DATE	DESCRIPTION
08/14/23	SUBMIT FOR CLIP
08/15/23	CLIP RESUBMITTAL
08/16/23	CLIP RESUBMITTAL
08/17/23	CLIP RESUBMITTAL
08/18/23	CLIP RESUBMITTAL

JOB NO. 207001
DRAWN JMS
CHECKED DMK

A5.4

CAUTION: THIS SHEET MUST BE USED WITH ALL OTHER SHEETS.

207001: SHARON HEIGHTS GOLF & COUNTRY CLUB, 2900 SAND HILL ROAD, MENLO PARK, CA 94025



SHEET TITLE: LINE OF SIGHT EXHIBIT

PROJECT: OPERATIONS CENTER

SHARON HEIGHTS GOLF & COUNTRY CLUB
MENLO PARK, CA

SPECIFICATIONS

SHEET ☐ BOOK ☐

PROJ. MGR. KA

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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DATE: 12.11.23


SCALE: 1" = 20'-0"

REVISIONS:

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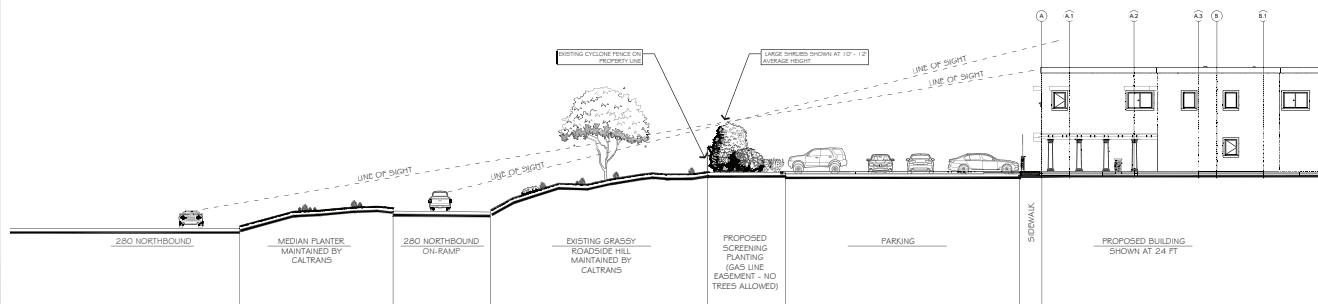
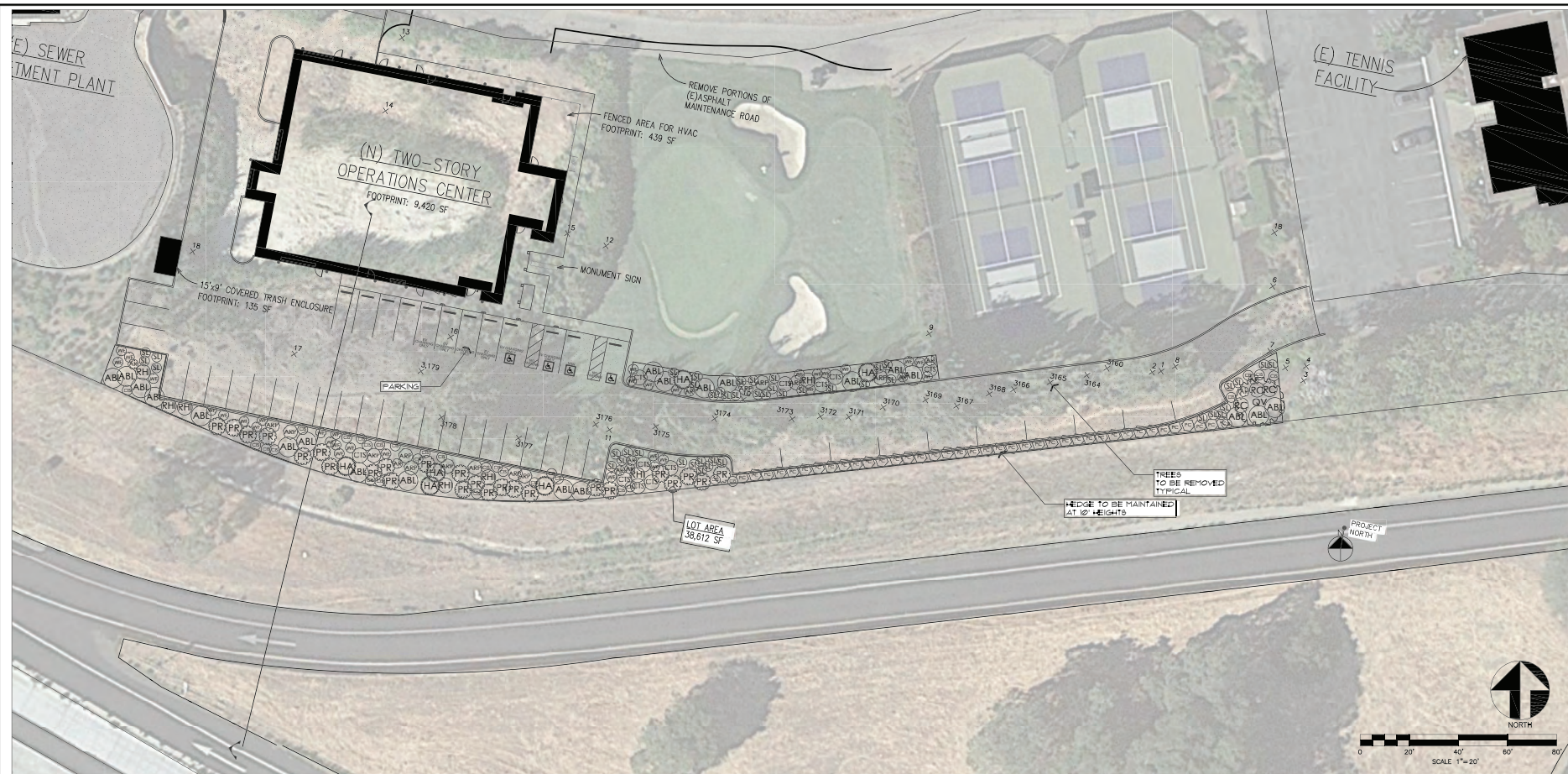
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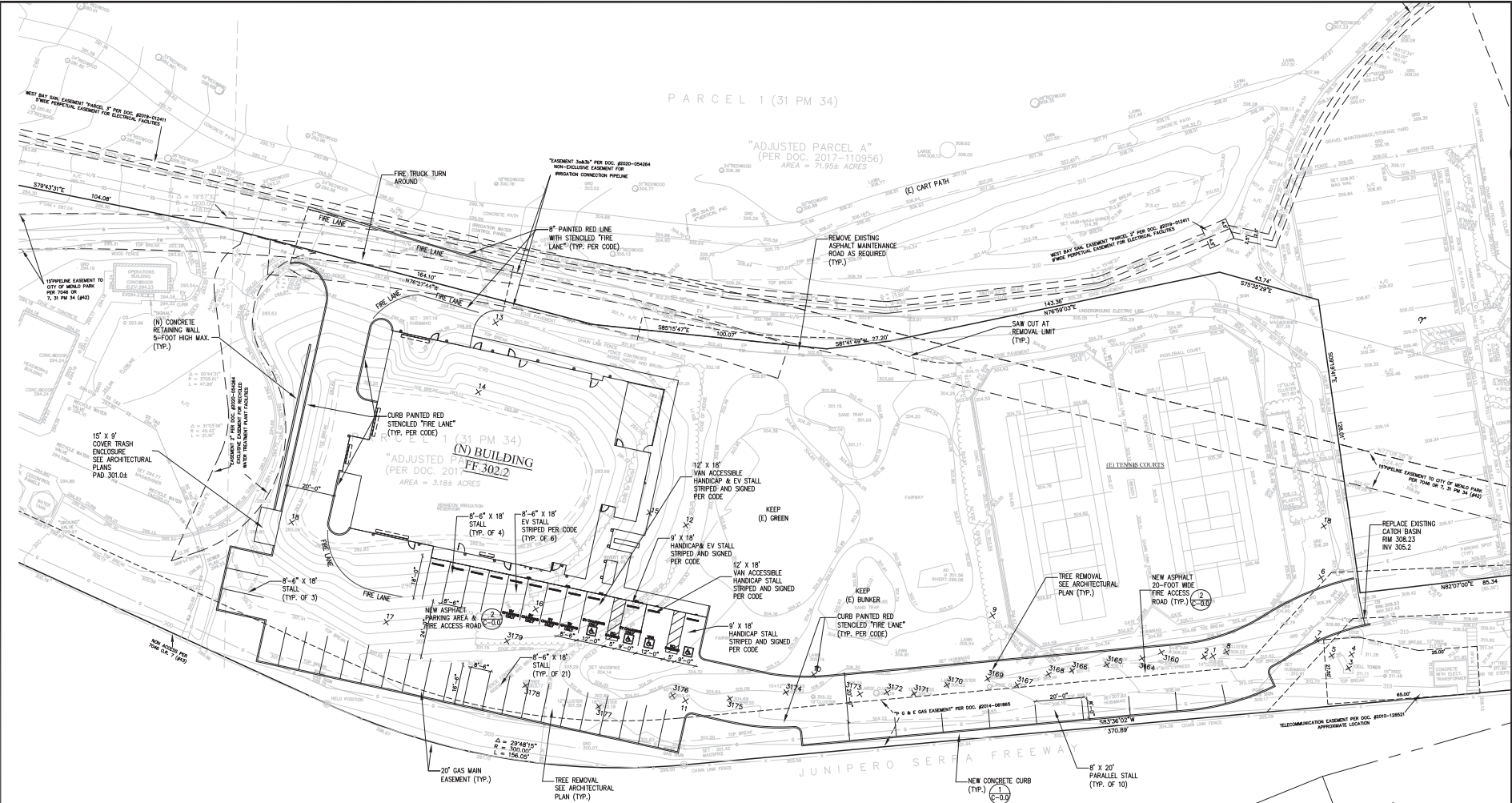
L-01



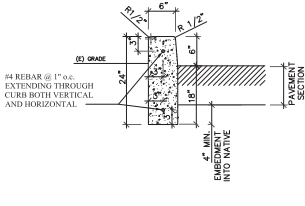
CROSS SECTION FROM FREEWAY TO BUILDING

PLANT SPECIES		COLLECTOR	DATE	LOCALITY / COMMON NAME	HEIGHT	QTY	WUCCLOS
							
							
							
							
							
							
							
							
							
							
							
							
							
							
							
							
							
							
							
							
							
							
							
							
							
							
							
							
							
							
							
							
							
							
							
							
							
							
							
							
							
							
							
							
							
							
							
							
							
							
							
							
							
							

SEE ARBORIST REPORT FOR MORE INFO ON TREE REMOVAL

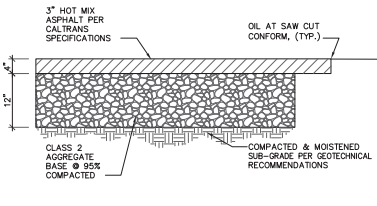


CIVIL LAYOUT, STRIPING AND DETAILS 1"=20'-0"



CONCRETE CURB

1



PAVEMENT SECTION

2

CLIFF BECHTEL
AND ASSOCIATES
CLIFFORD BECHTEL, PE
1302 SOUTH PLAZA
SUNAMOCO, CA 94070
cliffbechtel@comcast.net

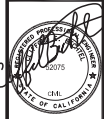
SHARON HEIGHTS GOLF & COUNTRY CLUB
OPERATIONS BUILDING
2900 SAND HILL ROAD
SAN MATEO COUNTY
California

Menlo Park

CONTENTS:
LAYOUT &
STRIPING
PLAN
AND
DETAILS

DATE 12/12/23
SCALE AS NOTED
REVISIONS:

DRAWN J.G.
CHECKED C.B.
JOB No. 2019693
SHEET NO.
C-0.0
OF 5 SHEETS



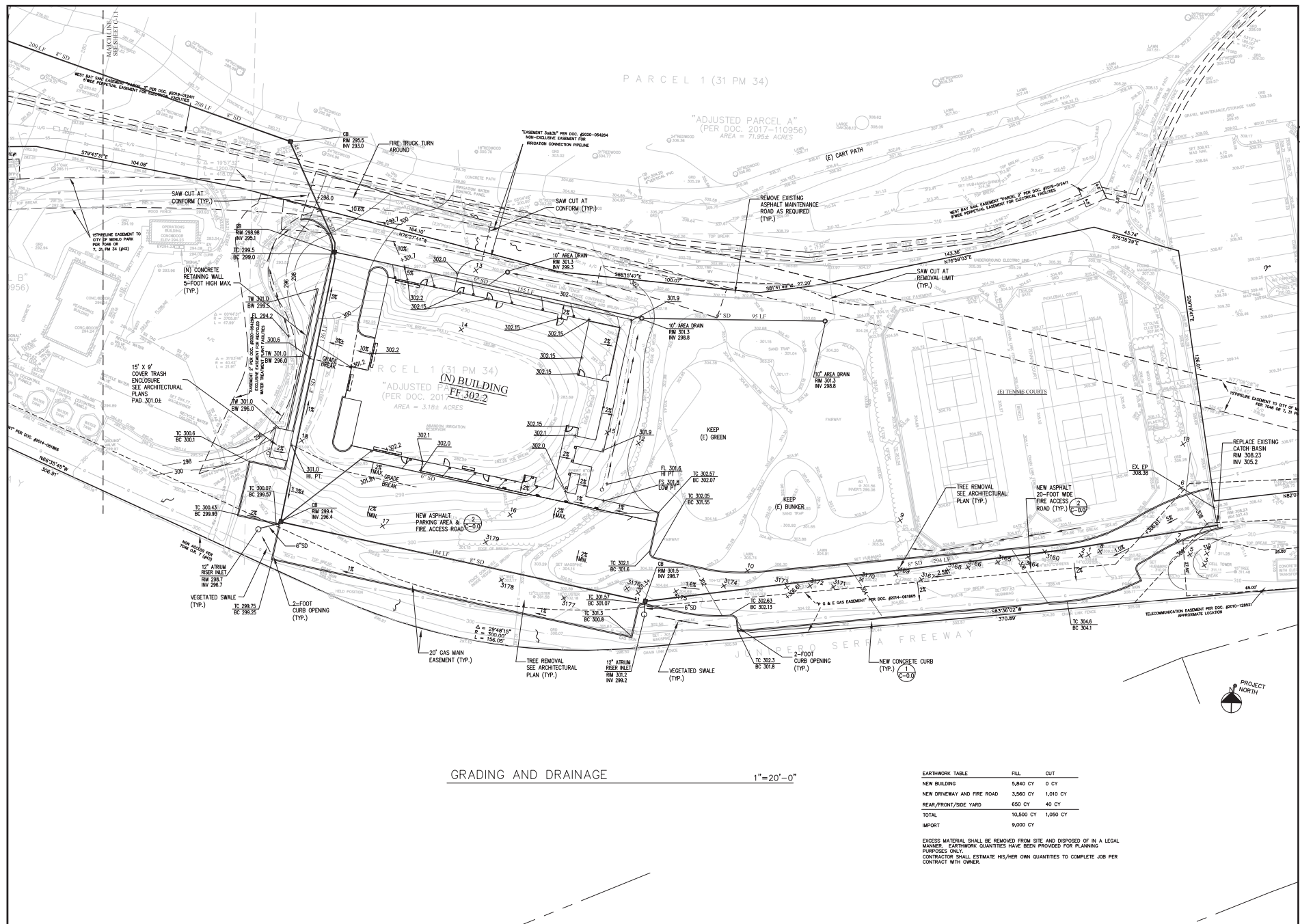
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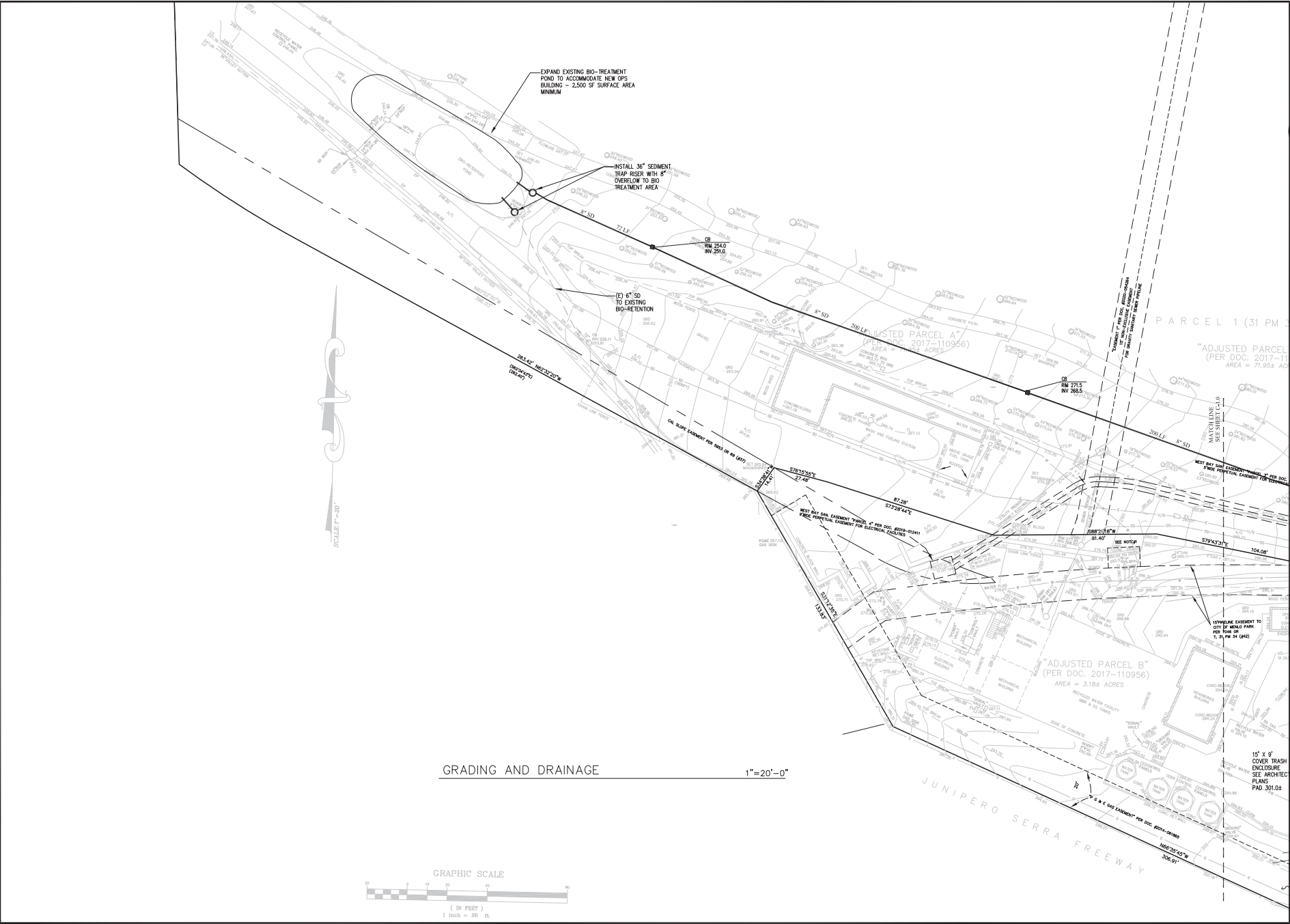
GRADING &
DRAINAGE
PLAN

DATE	12/12/23
SCALE	AS NOTED
REVISIONS:	

DRAWN	J.G.
CHECKED	C.B.
JOB No.	2019693
SHEET NO.	

C-1.0
OF 5 SHEETS





CLIFFORD BECHTEL AND ASSOCIATES
CLIFFORD BECHTEL, PE
1301 254TH PLACE
SAN DIEGO, CA 92107
cbe@cliffordbechtel.com

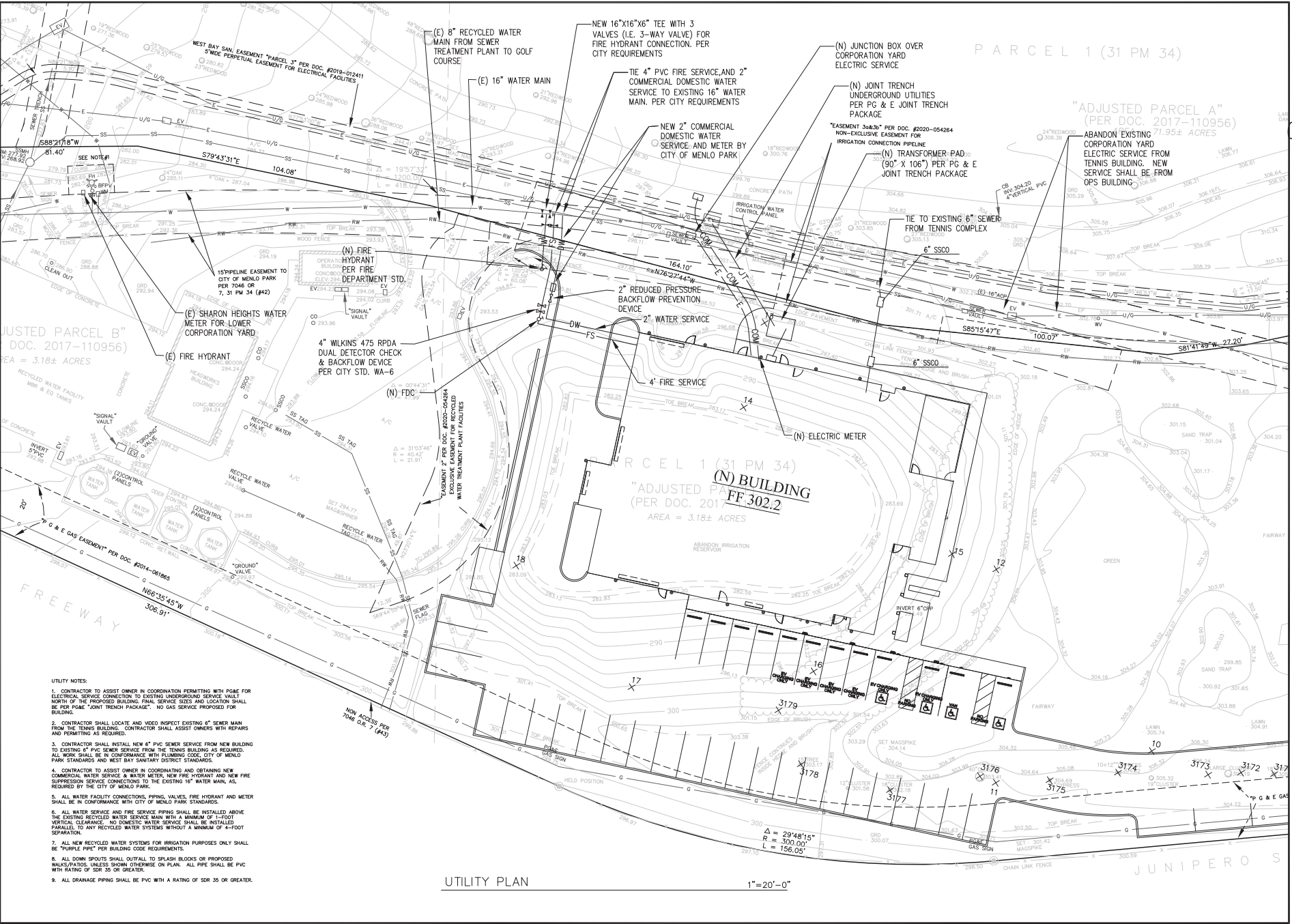
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OPERATIONS BUILDING
2900 SAND HILL ROAD
SAN MATEO COUNTY
California

Menlo Park

CONTENTS:
GRADING & DRAINAGE
PLAN

DATE 12/12/23
SCALE AS NOTED
REVISIONS:

DRAWN J.G.
CHECKED C.B.
JOB No. 2019693
SHEET NO.
C-1.1
OF 5 SHEETS



CLIFF BECHTEL AND ASSOCIATES
CLIFFORD BECHTEL, PE
1302 SOUTH PLAZA
SUNAMOUNT, CA 94067
cbe@cliffbechtel.com

California

SHARON HEIGHTS GOLF & COUNTRY CLUB
OPERATIONS BUILDING
2900 SAND HILL ROAD
SAN MATEO COUNTY

Menlo Park

CONTENTS:

UTILITY PLAN

DATE: 12/12/23

SCALE: AS NOTED

REVISIONS:

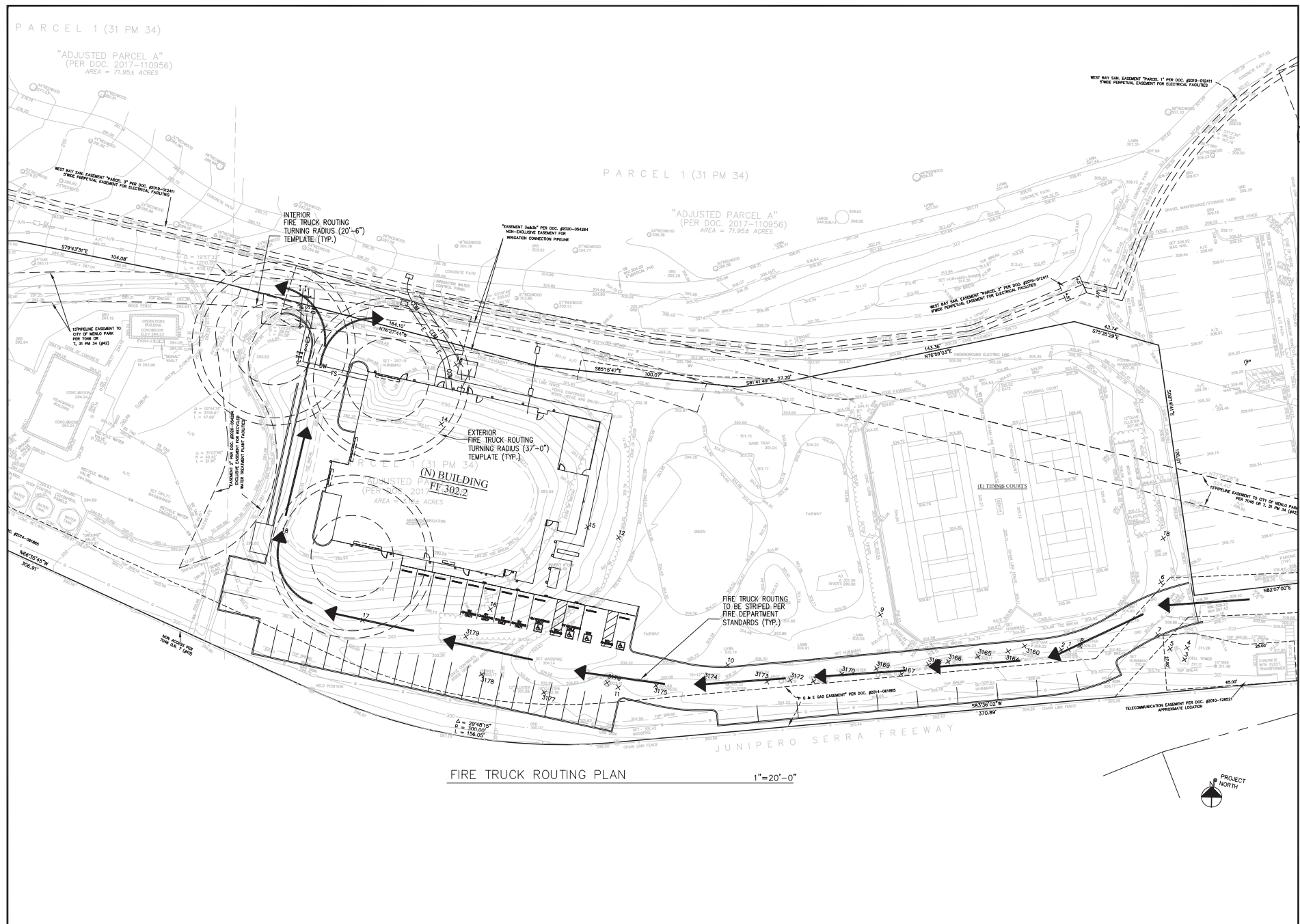
DRAWN: J.G.

CHECKED: C.B.

JOB NO.: 2019693

SHEET NO.: C-2.0

OF 5 SHEETS





Sharon Heights Golf & Country Club: Operations Center Project

Project Description

The Sharon Heights Golf and Country Club (the “Club”) is a membership club that has dining, golf, tennis, pickleball, gym and swimming facilities for its members and guests. The Club has been in existence since 1961 and is a large part of the Menlo Park community with 136 households out of 450 members living in Menlo Park. The Club is located on approximately 110.8 acres that is zoned Open Space and Conservation (OSC) District.

Over time, the Club has pursued various capital improvements projects designed to enhance, repair, and/or replace aging facilities that are outdated or insufficient for current operations. For example, in 2000, the Club obtained the City’s approval to update the Clubhouse. In 2012, the City approved the Club’s proposal to construct a new maintenance yard. And in 2015, the City approved an expansion of the Clubhouse along with a new pool building with indoor and outdoor dining areas, as well as a new building for fitness classes and wellness activities. In August 2023, the Club completed entry gates to the main parking lot. Most recently, the Club obtained the City’s approval to renovate the golf course and construct new solar facilities, both of which are currently under construction.

The proposed Operations Center project furthers the Club’s ongoing efforts to modernize its facilities, operations, and infrastructure by providing a new Operations Center building and associated circulation improvements. Consistent with the previous projects, the Club is respectfully requesting Architectural Control and a Use Permit Revision to construct these improvements.

Existing Conditions

Currently, approximately ten of the Club’s administrative staff members (e.g., management, HR, finance, etc.) share overcrowded office spaces west and south of the Clubhouse main entry colonnade. The approximately 25 members of the maintenance staff do not have dedicated or adequate facilities for changing clothes, taking meal breaks, storing personal items, and so forth. Those maintenance staff members currently utilize an existing maintenance building that was built in 1962 without heat or modern amenities. The Club desires to create a new dedicated facility with modern administrative office space and upgraded facilities for its maintenance staff, as more fully described below. The Club presently has the equivalent of 106 full-time employees, and no increase in staffing is planned as a result of this project. The goal is to provide an adequate level of space for professionals.

The existing maintenance building, which is located to the north of the proposed location for the Operations Center building, would not be demolished or modified as part of the Project, but would

instead be used for storing large equipment after the Operations Center building is completed. The equipment currently stored on the first floor of the existing maintenance building will be relocated to the new Operations Center, freeing up indoor storage space for large equipment that is currently stored outside such as large tractors, tractor attachments, rough mowers or infrequently used equipment. The second floor is not used due to lack of access with no changes proposed to its use or function.

As part of the Project, the Club also seeks to install a new surface parking area adjacent to the new Operations Center building which would provide parking for maintenance staff and the ten administrative staff members, in addition to overflow parking. These staff members currently park and operate out of the overcrowded existing maintenance building and Clubhouse as detailed above. There will be no change to the golf course maintenance activity, therefore, there will be no changes in activity level at the existing Wash and Fuel Station.

Proposed Project

1. New Operations Center

The Project proposes the construction of a new, two-story, approximately 15,000 square foot Operations Center building within an unimproved area located on the southern edge of the Club's property adjacent to the northbound Highway 280 onramp from Sand Hill Road. The Operations Center would be located between an existing practice green and tennis court facilities to the east and West Bay Sanitary District's recycled water treatment plant to the west.

The Operations Center will serve to consolidate and centralize the Club's operations and maintenance needs into one modern facility, with the goal of improving working conditions for employees. The Operations Center is designed to accommodate approximately ten staff members who will be relocated from the Clubhouse to the new facility, as well as provide dedicated facilities for around 25 maintenance workers, most of whom work outside all day, to change, eat lunch, take a break and socialize.

The approximately 9,300 square foot first floor includes offices and a work area for the maintenance staff, equipment and storage rooms, locker rooms with showers, a lunchroom, laundry room, and a mud room. The approximately 5,600 square foot second floor and mezzanine would provide private offices for our H.R., accounting, facilities and maintenance managers, a 12 person conference room for meetings, as well as accessory storage rooms.

The Project incorporates modular designed elements to allow for high bays on one end in the mechanics maintenance area with overhead lifts and storage. The exterior finish will be vinyl shake siding with dark green accents to match the existing Clubhouse. The maintenance work area will be equipped with charging stations, as required by new state ordinances, for zero-emission landscaping equipment and is sized to house equipment and golf carts when not in use. A solar array is planned to be installed on the roof as a future separate project.

The Project would result in the removal of existing trees along the freeway frontage, including some that qualify as heritage trees. The Club has already submitted an application for the removal of heritage trees (HTR2022-00111) which has been approved.

2. Parking and Circulation Improvements

The Club currently has two parking lots that provide 253 parking spaces. The main parking lot near the Clubhouse contains 218 spaces and a secondary parking lot near the tennis courts contains 35 parking spaces. Both lots are accessed through Sand Hill Road. In addition, the 25

maintenance workers currently park at the old maintenance center area in a small unlined parking area, or in spaces along the entry road.

The Project would construct a new uncovered surface parking lot at the south end of the proposed Operations Center. The parking lot would accommodate 46 spaces, including 1 accessible van space, 1 accessible standard space, 1 accessible van EVCS, 1 accessible EVCS, and 4 standard EVCS for employee and overflow parking.

To improve circulation and provide safer access to the new facility, the Project would also relocate an existing 20-foot wide asphalt access road to the West Bay Sanitary District's sewer treatment plant and material storage and fueling yard for the golf course. Currently, the treatment plant is accessed via an access road that runs to the north of the tennis courts and practice facility, with vehicles driving through an existing parking lot. The new access road would provide a more direct connection for emergency vehicles and maintenance workers needing access to the sewer treatment plant, as well as for employees and others parking in the future parking area next to the Operations Center building, and thereby lessen the potential for vehicle conflicts and congestion within the existing parking area between the Club's tennis court facilities. There is a private 20-foot easement provided to PG&E gas service, over portions of the proposed facility access road. This access road location was anticipated during the granting of the easement and the easement deed does allow the Sharon Heights Country Club to grade, pave, repair pavement and landscape within the easement area. Please note that the existing driveway from Sand Hill Road, access to the tennis facility, is also within this created easement. The existing access road to the north of the tennis courts would be demolished and replaced with landscaping, and the new access road would be installed south of the tennis courts connecting Sand Hill Road south to the new proposed employee and overflow parking area described above and the treatment plant.

3. Community Outreach

For over 60 years, the Sharon Heights Golf and Country Club has been a proud and privileged member of the Menlo Park community. The Club's current membership includes 157 Menlo Park households and 314 residents. In an effort to ensure that neighbors understand the scope of the golf course renovation and new Operations Center projects and the benefits it will provide in terms of furthering the Club's sustainability goals, the Club has conducted extensive outreach to the surrounding community.

In-person information sessions were held at the Club on Sunday October 23, 2022, and Saturday October 29, 2022. All residents within 300 feet of the projects (and other interested parties) were invited to attend. Over 100 neighbors and interested parties were in attendance. Those in attendance were provided with a detailed overview of the projects, including an estimated construction timeline. They were also able to view renderings and architectural drawings and learn more about the Club's long-term goals with regard to sustainability. The session concluded with an opportunity for the audience to ask questions and provide feedback. They were provided contact information to follow up with additional questions as well.

With a substantial amount of time passing since those October 2022 sessions, the Club held an additional information session with the HOA and neighbors most directly affected by the Operations Center Project on Sand Hill Circle on September 21, 2023. Questions were asked regarding screening using trees and the schedule. Screening ideas will be incorporated into the placement of trees during the current golf course project.

The Club representatives will continue to communicate with the community member(s) to answer questions and explain the value of the Club's long-term goals with regard to sustainability and the new Operations Center project.

2900 Sand Hill Road – Exhibit C

LOCATION: 2900 Sand Hill Road	PROJECT NUMBER: PLN2023-00018	APPLICANT: Sharon Heights Golf and Country Club	OWNER: Sharon Heights Golf and Country Club
<p>PROJECT CONDITIONS:</p> <ol style="list-style-type: none"> 1. The use permit and architectural control permit shall be subject to the following standard conditions: <ol style="list-style-type: none"> a. Development of the project shall be substantially in conformance with the plans prepared by The Kastrop Group, Inc. Architects, consisting of 23 plan sheets, dated received January 17, 2024 and approved by the Planning Commission on February 5, 2024, except as modified by the conditions contained herein, subject to review and approval of the Planning Division. b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project. c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project. d. Prior to building permit issuance, if applicable, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes. e. Simultaneous with the submittal of a complete building permit application, if applicable, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division. f. Simultaneous with the submittal of a complete building permit application, if applicable, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits. g. Prior to building permit issuance, the applicant shall pay all fees incurred through staff time spent reviewing the application. h. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the arborist reports prepared by California Tree and Landscape Consulting, Inc., dated received August 18, 2023. i. The applicant or permittee shall defend, indemnify, and hold harmless the City of Menlo Park or its agents, officers, and employees from any claim, action, or proceeding against the City of Menlo Park or its agents, officers, or employees to attack, set aside, void, or annul an approval of the Planning Commission, City Council, Community Development Director, or any other department, committee, or agency of the City concerning a development, variance, permit, or land use approval which action is brought within the time period provided for in any applicable statute; provided, however, that the applicant's or permittee's duty to so defend, indemnify, and hold harmless shall be subject to the City's promptly notifying the applicant or permittee of any said claim, action, or proceeding and the City's full cooperation in the applicant's or permittee's defense of said claims, actions, or proceedings. 			

2900 Sand Hill Road – Exhibit C

LOCATION: 2900 Sand Hill Road	PROJECT NUMBER: PLN2023-00018	APPLICANT: Sharon Heights Golf and Country Club	OWNER: Sharon Heights Golf and Country Club
PROJECT CONDITIONS: j. Notice of Fees Protest – The applicant may protest any fees, dedications, reservations, or other exactions imposed by the City as part of the approval or as a condition of approval of this development. Per California Government Code 66020, this 90-day protest period has begun as of the date of the approval of this application.			

CITY OF MENLO PARK

**MEMORANDUM REGARDING CALIFORNIA ENVIRONMENTAL QUALITY ACT
(CEQA) EXEMPTIONS FOR SHARON HEIGHTS GOLF AND COUNTRY CLUB
OPERATIONS CENTER AT 2900 SAND HILL ROAD**

Prepared by the City of Menlo Park Community Development Department

January 2024

I. PROJECT DESCRIPTION

The Sharon Heights Golf and Country Club (the “**Club**”) is a membership club that has dining, golf, tennis, pickleball, gym and swimming facilities for its members and guests. The Club has been in operation since 1962 and sits on approximately 95.8 acres of its approximately 110.8-acre property, which is located at 2900 Sand Hill Road (the “**Project Site**”). The Club’s golf course has been modified several times since its opening, including in renovation in the early 1990s, construction of a new maintenance yard in 2012 and expansion of the Clubhouse in 2015. In August 2023, the Club received Planning Commission approval to modernize the golf course and added new solar canopies at the main parking lot. These components are currently under construction.

As part of the Club's continued efforts to modernize its facilities, operations and infrastructure, the Club has applied for a use permit and architectural control to build a new Operations Center building and associated circulation improvements (the "Project,"). Presently, administrative staff members share overcrowded office spaces, and a maintenance staff of approximately 25 members lack dedicated facilities for changing clothes, taking breaks, and storing items. The existing maintenance building, built in 1962, lacks modern amenities and heating. The Project aims to create a new facility with modern administrative office space and upgraded facilities for maintenance staff without demolishing or modifying the existing maintenance building. Specifically, the Project consists of the following:

- Construct a new, two-story, approximately 15,000 square foot Operations Center along the southern edge of the Club's property, adjacent to the northbound Highway 280 on-ramp from Sand Hill Road;
 - First Floor: Approximately 9,400 sq ft; includes maintenance staff offices and work area; equipment and storage rooms; locker rooms with showers; lunchroom, laundry room and mudroom;
 - Second floor and Mezzanine: Approximately 5,900 sq ft; includes private offices for HR, accounting, facilities, and maintenance managers; 12-person conference room and accessory storage room;
- Construct a new uncovered surface parking lot at the south end of the proposed Operations Center accommodating 46 spaces, including 1 accessible van space, 1 accessible standard space, 1 accessible van electric vehicle supply equipment (EVCS), 1 accessible EVCS, and 4 standard EVCS for employee and overflow parking
- Remove and replace 19 trees, including 14 heritage trees and five non-heritage trees, with 1 new tree and other trees planted following previous removals;
- Create new access road connecting Sand Hill Road south to the proposed employee and overflow parking area and West Bay Sanitary treatment plant; and
- Demolish existing access road north of the tennis court and replace with landscaping to enhance aesthetics and traffic flow.

The construction of a new Operations Center and parking lot, along with the creation of a new access road, will advance the Club's modernization efforts. The new Operations Center will improve working conditions for the Club's administrative and maintenance staff. The relocation and expansion of parking areas, including designated spaces for employees, will contribute to improved accessibility, efficiency, and safety for both members and staff. The relocation of the access road to West Bay Sanitary District's facilities will further enhance circulation, providing a more direct route for emergency vehicles, maintenance workers, and employees.

II. APPLICABLE CEQA EXEMPTIONS

Upon a determination that a project application is complete, CEQA directs a lead agency to determine if the activity is subject to CEQA. (CEQA Guidelines Section 15060(c).) If an activity is subject to CEQA, then the lead agency shall determine if the activity is exempt from CEQA. (CEQA Guidelines Section 15061.) CEQA Guidelines Sections 15300 through 15331 list classes of projects that are categorically exempt from CEQA because they are generally considered not to have potential impacts on the environment.

Here, the Club has applied for a use permit and architectural control approval from the City, which are discretionary actions subject to CEQA. Given that the Project is consistent with the General Plan and Zoning, this Project is exempt under Public Resources Code Section 21083.3 and CEQA Guidelines Section 15183, discussed in detail below.

A. Section 15183 Projects Consistent with Community Plan or Zoning

Public Resources Code Section 21083.3 and California Environmental Quality Act ("CEQA") Guidelines Section 15183 provide that proposed projects that are consistent with a "community plan" (including the General Plan and specific plans) and/or existing zoning for which an EIR was certified are exempt from CEQA, "except as might be necessary to examine whether there are project-specific significant effects which are peculiar to the Project or its site." CEQA Guidelines Section 15183(c) specifies that "if an impact is not peculiar to the parcel or to the proposed Project, has been addressed as a significant effect in the prior EIR, or can be substantially mitigated by the imposition of uniformly applied development policies or standards..., then an EIR need not be prepared for the project solely on the basis of that impact." Any examination of a project's environmental effects is properly limited to impacts that are peculiar to the project or the parcel where the project would be located; were not analyzed as a significance effect in a prior EIR, are potentially significant off-site and cumulative impacts that were not discussed in a prior EIR; or previously identified significant effects that would have a more severe impact as a result of substantial new information that what not known when the prior EIR was certified. (CEQA Guidelines § 15183(b).)

In other words, projects consistent with the City's General Plan, are exempt from subsequent CEQA review unless they would result in project-specific impacts based on peculiarities associated with the project. If a project's impacts are within the universe of effects previously covered in the General Plan EIR, no new CEQA document is required based on the Project's consistency with the General Plan.

On November 29, 2016, the City of Menlo Park certified the EIR and approved the ConnectMenlo General Plan Update including modifications to the Land Use and Circulation elements of the General Plan. The General Plan Update EIR evaluated the potential environmental effects from implementation of the General Plan and development pursuant to the General Plan subject to mitigation measures identified in the General Plan EIR's Mitigation Monitoring and Reporting Plan. A project is consistent with the General Plan if the development density does not exceed what was contemplated and analyzed in the General Plan Update EIR and complies with the associated standards applicable to that development. Development density standards can include the number of dwelling units per acre, floor area ratio (FAR) and other measures of building intensity including building height, size limitations and use restrictions.

The proposed Project is exempt from CEQA under Section 15183 Exemption because the Project is consistent with the land uses identified for the site in the General Plan Update. The Project site has a General Plan land use designation of Parks and Recreation, the Project seeks to redevelop this site, but does not increase density or intensity of use on-site and is consistent with applicable development standards. As such, the General Plan EIR adequately anticipated and analyzed the impacts of this Project and identified applicable mitigation measures necessary to reduce impacts of the Project.

As noted in the project application, the purpose of the Project is to modernize decades-old infrastructure by constructing a new office building to create better work conditions for existing staff. The Project does not plan to add new staff, and therefore, the Project is not intensifying the use of the land. No new employees will be added, as the new building will merely provide more adequate space and facilities for its administrative and maintenance staff. With no new employees, the Project is primarily focused on improving the existing facilities and operations rather than expanding or altering the scale and scope of activities on the site. Moreover, with no new employees, the Project will not increase traffic or the demand for parking and will not alter resource usage, ensuring the Project is consistent with the site's current use. Furthermore, even with the addition of a 15,315 sq. ft. Operations Center, the Gross Floor Area would remain below the maximum 2.5% of the lot area, guaranteeing the Project is consistent with the applicable Zoning, and that it is not intensifying the site's use.

The Project will also add a parking lot with 46 parking spots to allow the 25 maintenance workers, who currently park in unlined parking spots around the old maintenance center or in spaces along the entry road, to park on the site. The new parking lot is designed to enhance existing conditions by addressing parking shortages and congestion issues along the entryway, confirming the Project is consistent with the site's current use. A new lot designed to address parking shortages among staff and maintenance workers shows the Project's focus is on creating a parking solution tailored to the specific needs of the Club, rather than introducing a broad change affecting the entire community.

Similarly, demolishing the existing access road and creating a new one connecting Sand Hill Road to the new employee parking lot will have a project-specific effect that does not introduce a change affecting the surrounding community. The new access road is designed to improve traffic flow and reduce congestion on the site and will enhance safety by making it

easier for emergency vehicles to access the site. Finally, while the Project will result in the removal of some trees, including some that are heritage trees, the Project applicants have submitted and received approval for a tree replacement plan.

The Project does not propose any peculiar impacts. The Project site is located in the heart of Menlo Park, has been previously developed and is surrounded by urban uses. There are no facts suggesting that the Operations Center will trigger any new impacts that the General Plan EIR has not disclosed or anticipated. The General Plan EIR has disclosed significant and unavoidable impacts related to air quality and transportation, however this Project does not propose any additional traffic or unusual air emission sources because it is not intensifying land use, and without more staff or membership, it will not result in additional traffic. Therefore, Project does not include any potential cumulative impacts that were not discussed in the previously certified General Plan EIR. Finally, no new information of substantial importance has been identified that was not included at the time of the General Plan EIR and which would result in new or more severe environmental impact; therefore, the Project does not trigger the need for additional environmental review.