

# Willow Village

## Architectural Control Package - Parcel 2

May 22, 2023



Peninsula Innovation Partners  
Menlo Park, CA

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**1** ILLUSTRATIVE MASTER PLAN - CONTEXT PLAN  
 1" = 100'-0"

PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
 Architectural Control Package - Parcel 2  
 Menlo Park, CA

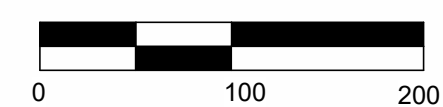
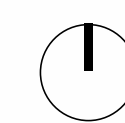
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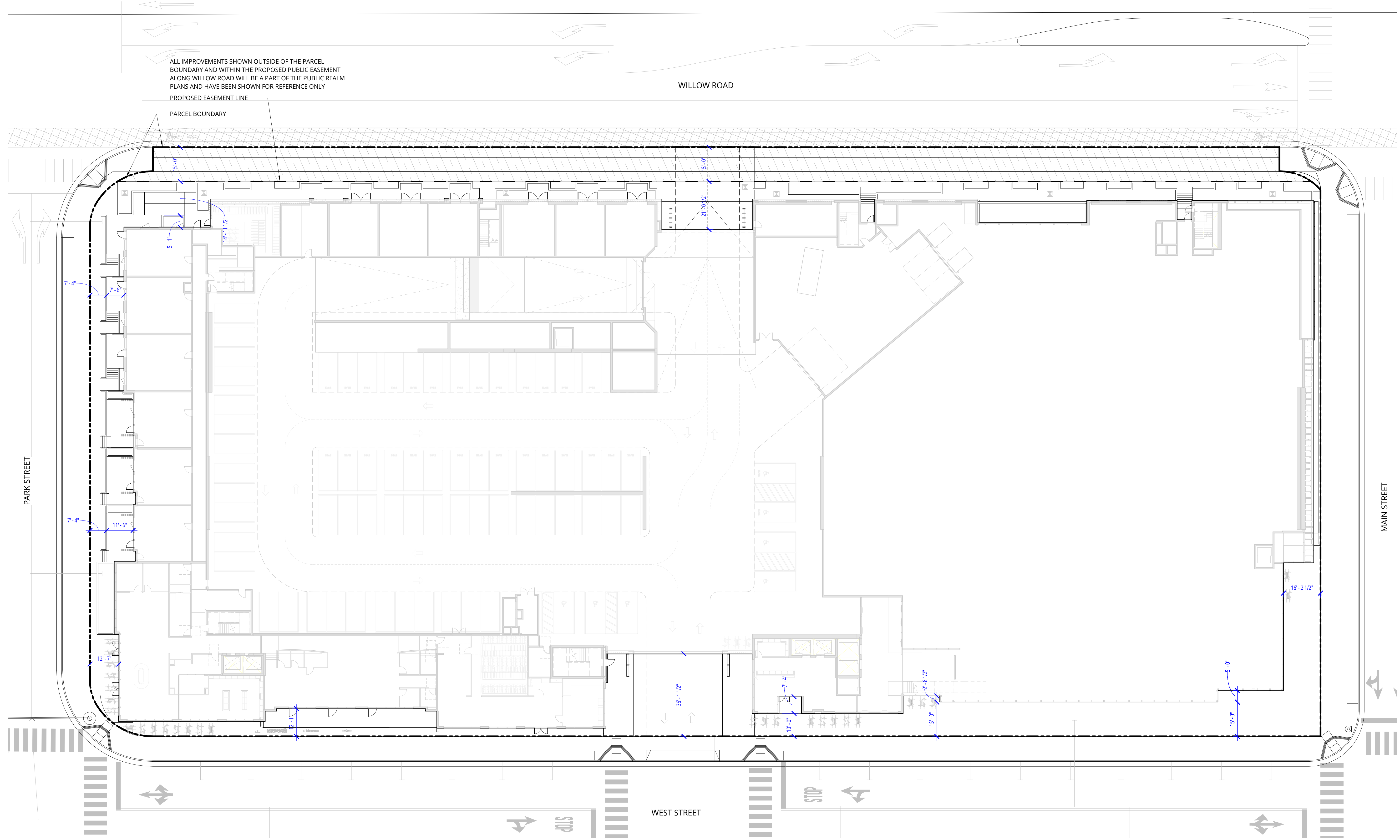
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 ILLUSTRATIVE  
 MASTERPLAN CONTEXT  
 PLAN

DRAWING NO:  
 \*A0.01





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1 SITE PLAN  
1" = 20'-0"



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SITE PLAN

DRAWING NO:  
**\*A1.01**

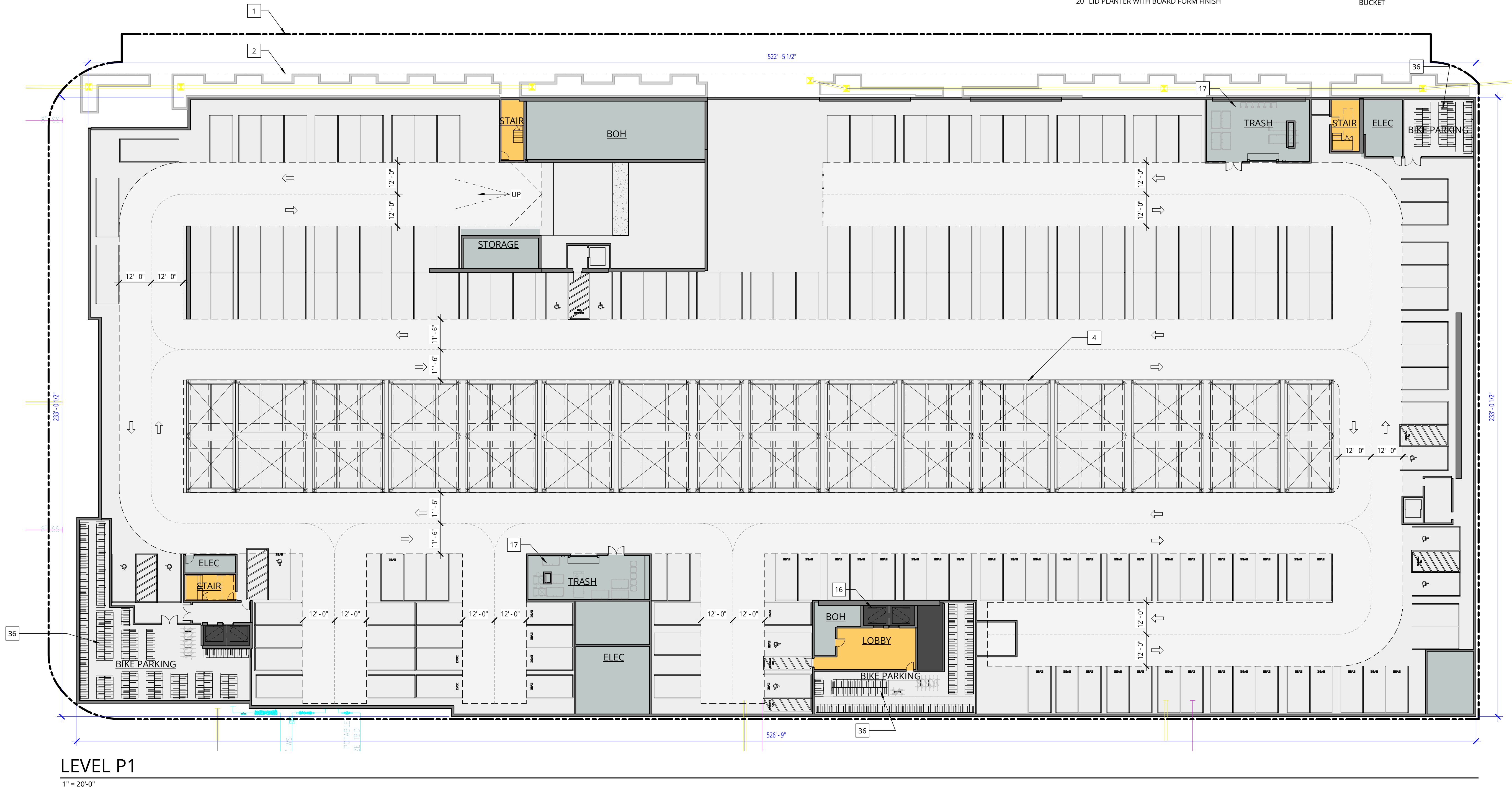


### LEGEND

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<span style="display:inline-block; width:15px; height:15px; background-color:lightcoral; border:1px solid black;"></span> RETAIL	<span style="display:inline-block; width:15px; height:15px; background-color:lightyellow; border:1px solid black;"></span> OUTDOOR
<span style="display:inline-block; width:15px; height:15px; background-color:orange; border:1px solid black;"></span> CIRCULATION	<span style="display:inline-block; width:15px; height:15px; background-color:lightblue; border:1px solid black;"></span> POOL
<span style="display:inline-block; width:15px; height:15px; background-color:black; border:1px solid black;"></span> ELEVATOR	<span style="display:inline-block; width:15px; height:15px; background-color:lightgreen; border:1px solid black;"></span> GREEN ROOF
<span style="display:inline-block; width:15px; height:15px; background-color:olive; border:1px solid black;"></span> RESIDENT COMMON AREA	
<span style="display:inline-block; width:15px; height:15px; background-color:lightgrey; border:1px solid black;"></span> SERVICE	

### KEY NOTES - PLANS

- |   |  |
|---|--|
| <ol style="list-style-type: none"> <li>1 PROPERTY LINE</li> <li>2 PROPOSED PUBLIC EASEMENT &amp; LIMIT OF PARCEL 2 WORK - FOR IMPROVEMENTS WITHIN THE EASEMENT SEE PUBLIC REALM PLANS</li> <li>3 LINE OF LANDSCAPE SETBACK PER MASTERPLAN</li> <li>4 MECHANIZED PARKING - PUZZLE SYSTEM</li> <li>5 MECHANICAL SCREENING PER MENLO PARK MUNICIPAL CODE 16.08.095, TYP. - SOLID METAL PANEL WHERE REQ. FOR ACOUSTIC PERFORMANCE, OTHERWISE PERFORATED METAL PANEL</li> <li>6 MECHANICAL EQUIPMENT - WILL COMPLY WITH MENLO PARK MUNICIPAL CODE 16.08.095, TYP.</li> <li>7 CURTAIN WALL WINDOW SYSTEM</li> <li>8 STOREFRONT WINDOW SYSTEM</li> <li>9 DECORATIVE SCREEN / PANELS TYPE-1</li> <li>10 WOOD RESIDENTIAL ENTRY STRUCTURE</li> <li>11 RESIDENT PARKING OVERHEAD DOOR</li> <li>12 RETAIL ELEVATOR L1-L2</li> <li>13 GROCERY CART STORAGE</li> <li>14 AUTOMATED GLAZED DOOR</li> <li>15 STOREFRONT WINDOW SYSTEM</li> <li>16 RESIDENTIAL ELEVATOR - NO STOP AT LEVEL 2</li> <li>17 TRASH CHUTE ENCLOSURE - WILL INCLUDE 3-BIN WASTE SYSTEM</li> <li>18 WOOD GARAGE ENTRY STRUCTURE</li> <li>19 CIP STOOPS WITH BOARD FORM FINISH</li> <li>20 LID PLANTER WITH BOARD FORM FINISH</li> </ol> | <ol style="list-style-type: none"> <li>21 CABLE RAIL</li> <li>22 CIP CONC STEPS</li> <li>23 PICKET RAILING</li> <li>24 WOOD SHUTTERS ON TRACKS, REF ELEVATIONS FOR LOCATIONS</li> <li>25 GLASS GUARDRAIL</li> <li>26 BOLT ON BALCONIES WITH GLASS GUARDRAIL, REF ELEVATIONS</li> <li>27 POOL, REF LANDSCAPE</li> <li>28 SPA, REF LANDSCAPE</li> <li>29 LINE OF BUILDING ABOVE</li> <li>30 RAISED DECKING AT OUTDOOR TERRACE</li> <li>31 GREEN ROOF OVER MEMBRANE ROOFING</li> <li>32 ROOF EXTENSION OVER TERRACE</li> <li>33 SUPPORTS FOR ROOF ABOVE</li> <li>35 LINE OF FLOOR ABOVE</li> <li>36 BIKE PARKING - REFER TO SHEET A9.14</li> <li>37 BACKFLOW, REF CIVIL. EQUIPMENT WILL BE SCREENED AS ALLOWED</li> <li>38 BOLT ON BALCONIES WITH PICKET RAIL, REF ELEVATIONS</li> <li>39 APPROX. PV PANEL LOCATION - WILL BE SCREENED BY PARAPET</li> <li>41 SCULPTURAL WOOD SCREENING</li> <li>42 RESIDENT COMMON AREAS WILL INCLUDE 3-BIN WASTE SYSTEM WITH PROPER SIGNAGE</li> <li>43 MAIL ROOM WILL INCLUDE RECYCLING BIN &amp; BATTERY DISPOSAL BUCKET</li> </ol> |
|---|--|



**LEVEL P1**  
1" = 20'-0"



**WILLOW VILLAGE**  
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SCALE: As indicated  
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NO.	DATE	ISSUE

DRAWING TITLE:  
**PARKING LEVEL PLAN**

DRAWING NO:  
**\*A2.00**

PENINSULA INNOVATION PARTNERS

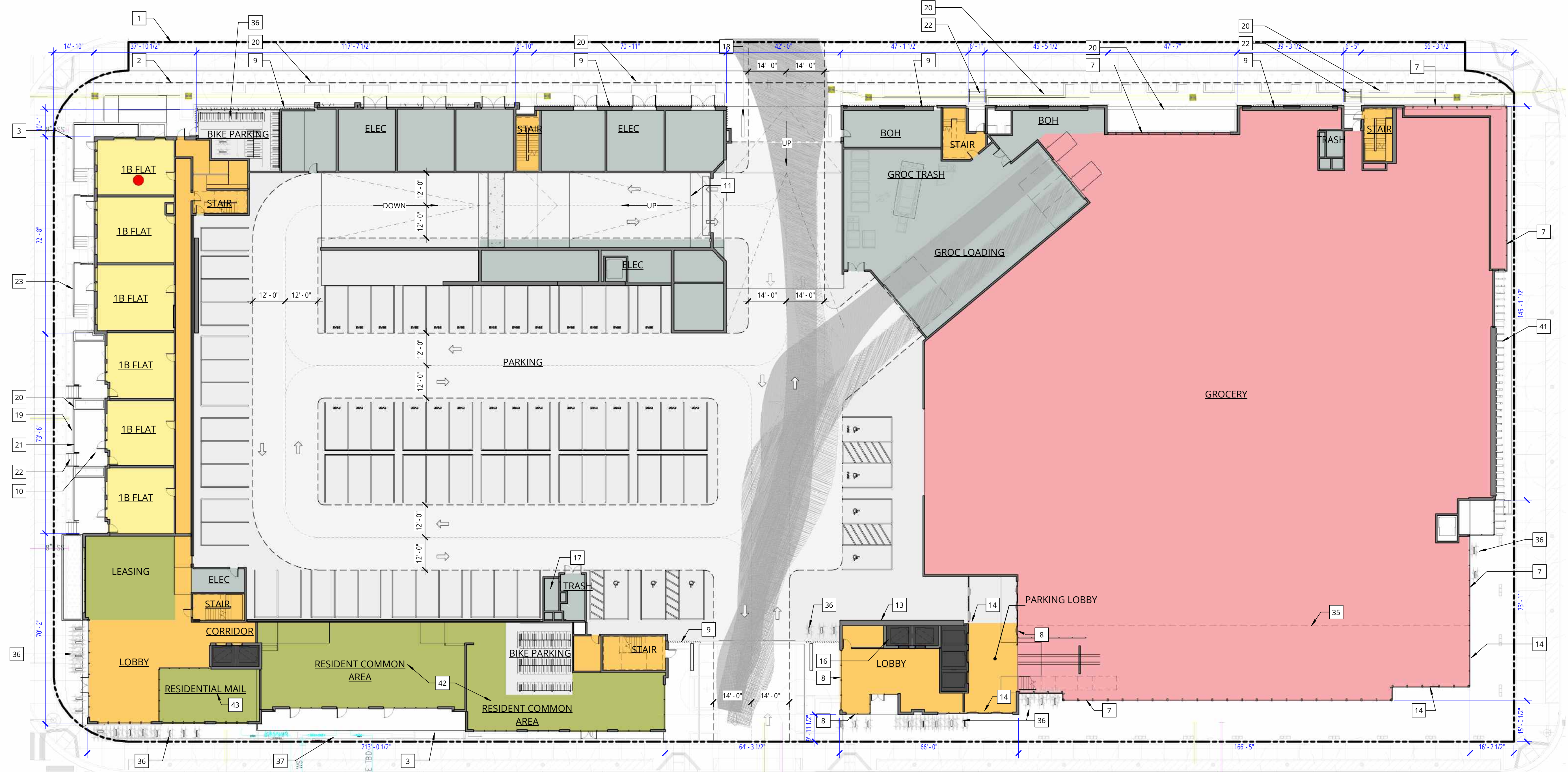


**LEGEND**

- RESIDENTIAL
- RETAIL
- CIRCULATION
- ELEVATOR
- RESIDENT COMMON AREA
- SERVICE
- PARKING
- OUTDOOR
- POOL
- GREEN ROOF
- PRELIMINARY BMR LOCATIONS

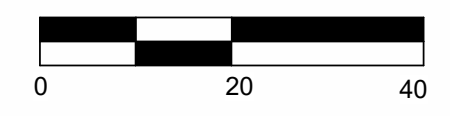
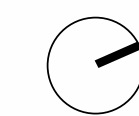
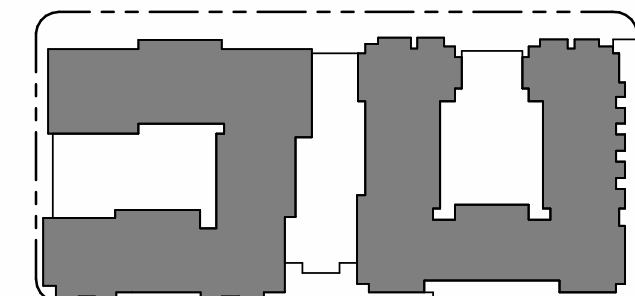
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**LEVEL 1**

1" = 20'-0"



PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
Architectural Control Package - Parcel 2  
Menlo Park, CA

SCALE: As indicated  
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**FLOOR PLAN - LEVEL 1**

DRAWING NO:  
**\*A2.01**

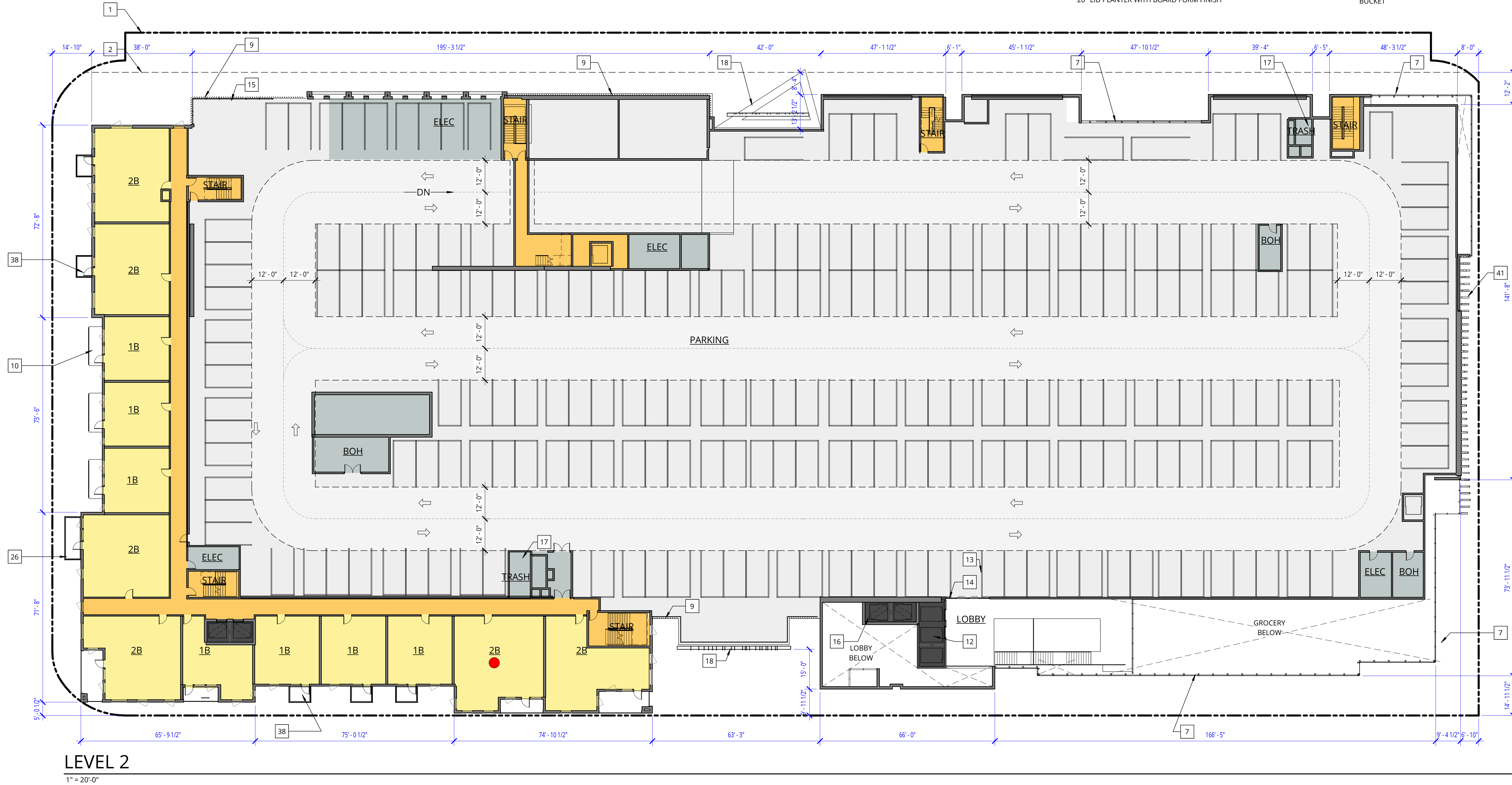


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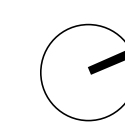
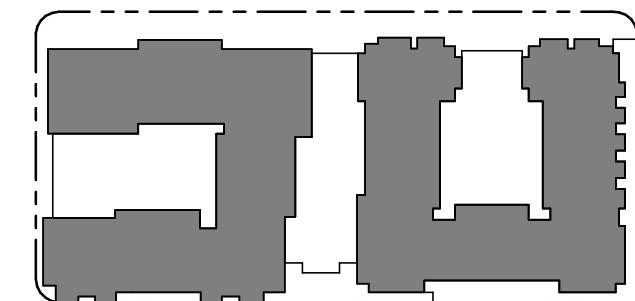
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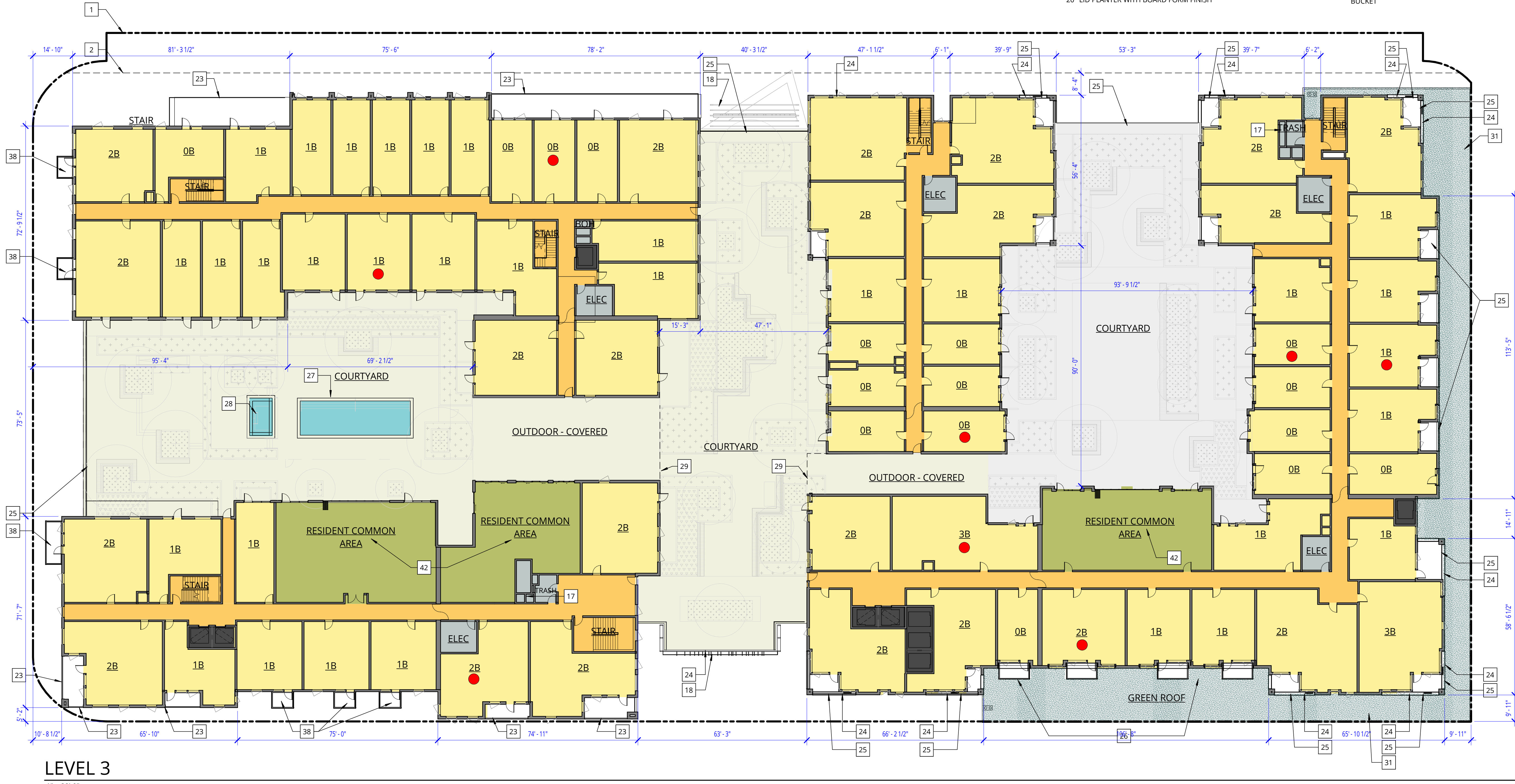


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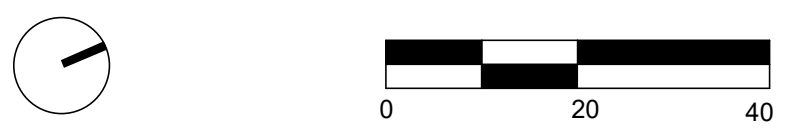
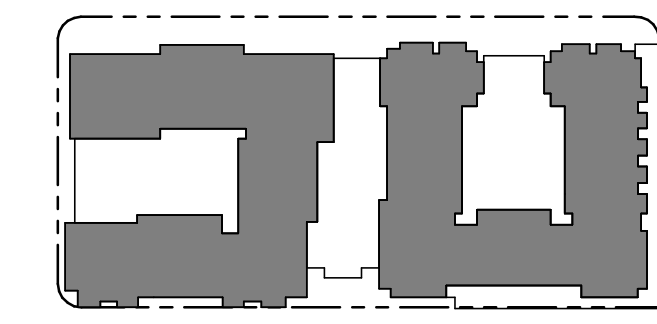
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DRAWING TITLE:  
**FLOOR PLAN - LEVEL 3**

DRAWING NO:  
**\*A2.03**



### LEGEND

- RESIDENTIAL
- PARKING
- RETAIL
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- 22 CIP CONC STEPS
- 23 PICKET RAILING
- 24 WOOD SHUTTERS ON TRACKS, REF ELEVATIONS FOR LOCATIONS
- 25 GLASS GUARDRAIL
- 26 BOLT ON BALCONIES WITH GLASS GUARDRAIL, REF ELEVATIONS
- 27 POOL, REF LANDSCAPE
- 28 SPA, REF LANDSCAPE
- 29 LINE OF BUILDING ABOVE
- 30 RAISED DECKING AT OUTDOOR TERRACE
- 31 GREEN ROOF OVER MEMBRANE ROOFING
- 32 ROOF EXTENSION OVER TERRACE
- 33 SUPPORTS FOR ROOF ABOVE
- 34 LINE OF FLOOR ABOVE
- 35 BIKE PARKING - REFER TO SHEET A9.14
- 36 BACKFLOW, REF CIVIL. EQUIPMENT WILL BE SCREENED AS ALLOWED
- 37 BOLT ON BALCONIES WITH PICKET RAIL, REF ELEVATIONS
- 38 APPROX. PV PANEL LOCATION - WILL BE SCREENED BY PARAPET
- 39 SCULPTURAL WOOD SCREENING
- 40 RESIDENT COMMON AREAS WILL INCLUDE 3-BIN WASTE SYSTEM WITH PROPER SIGNAGE
- 41 MAIL ROOM WILL INCLUDE RECYCLING BIN & BATTERY DISPOSAL BUCKET



**WILLOW VILLAGE**  
 Architectural Control Package - Parcel 2  
 Menlo Park, CA

SCALE: As indicated  
 NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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DRAWING TITLE:  
**FLOOR PLAN - LEVEL 4**

DRAWING NO:  
**\*A2.04**

PENINSULA INNOVATION PARTNERS



**LEGEND**

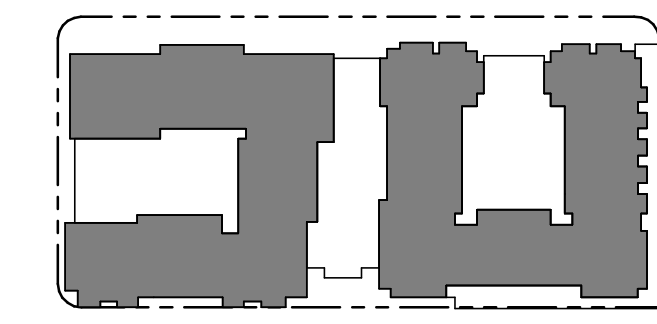
- RESIDENTIAL
- PARKING
- RETAIL
- OUTDOOR
- CIRCULATION
- POOL
- ELEVATOR
- GREEN ROOF
- RESIDENT COMMON AREA
- SERVICE
- PRELIMINARY BMR LOCATIONS

**KEY NOTES - PLANS**

- 1 PROPERTY LINE
- 2 PROPOSED PUBLIC EASEMENT & LIMIT OF PARCEL 2 WORK - FOR IMPROVEMENTS WITHIN THE EASEMENT SEE PUBLIC REALM PLANS
- 3 LINE OF LANDSCAPE SETBACK PER MASTERPLAN
- 4 MECHANIZED PARKING - PUZZLE SYSTEM
- 5 MECHANICAL SCREENING PER MENLO PARK MUNICIPAL CODE 16.08.095, TYP. - SOLID METAL PANEL WHERE REQ. FOR ACOUSTIC PERFORMANCE, OTHERWISE PERFORATED METAL PANEL
- 6 MECHANICAL EQUIPMENT - WILL COMPLY WITH MENLO PARK MUNICIPAL CODE 16.08.095, TYP.
- 7 CURTAIN WALL WINDOW SYSTEM
- 8 STOREFRONT WINDOW SYSTEM
- 9 DECORATIVE SCREEN / PANELS TYPE-1
- 10 WOOD RESIDENTIAL ENTRY STRUCTURE
- 11 RESIDENT PARKING OVERHEAD DOOR
- 12 RETAIL ELEVATOR L1-L2
- 13 GROCERY CART STORAGE
- 14 AUTOMATED GLAZED DOOR
- 15 STOREFRONT WINDOW SYSTEM
- 16 RESIDENTIAL ELEVATOR - NO STOP AT LEVEL 2
- 17 TRASH CHUTE ENCLOSURE - WILL INCLUDE 3-BIN WASTE SYSTEM
- 18 WOOD GARAGE ENTRY STRUCTURE
- 19 CIP STOOPS WITH BOARD FORM FINISH
- 20 LID PLANTER WITH BOARD FORM FINISH
- 21 CABLE RAIL
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- 25 GLASS GUARDRAIL
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- 27 POOL, REF LANDSCAPE
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- 33 SUPPORTS FOR ROOF ABOVE
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- 39 SCULPTURAL WOOD SCREENING
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- 41 MAIL ROOM WILL INCLUDE RECYCLING BIN & BATTERY DISPOSAL BUCKET



**LEVEL 5**  
1" = 20'-0"



**WILLOW VILLAGE**  
 Architectural Control Package - Parcel 2  
 Menlo Park, CA

SCALE: As indicated  
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NO.	DATE	ISSUE

DRAWING TITLE:  
**FLOOR PLAN - LEVEL 5**

DRAWING NO:  
**\*A2.05**



**LEGEND**

- RESIDENTIAL
- PARKING
- RETAIL
- OUTDOOR
- CIRCULATION
- POOL
- ELEVATOR
- GREEN ROOF
- RESIDENT COMMON AREA
- SERVICE
- PRELIMINARY BMR LOCATIONS

**KEY NOTES - PLANS**

- 1 PROPERTY LINE
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- 3 LINE OF LANDSCAPE SETBACK PER MASTERPLAN
- 4 MECHANIZED PARKING - PUZZLE SYSTEM
- 5 MECHANICAL SCREENING PER MENLO PARK MUNICIPAL CODE 16.08.095, TYP. - SOLID METAL PANEL WHERE REQ. FOR ACOUSTIC PERFORMANCE, OTHERWISE PERFORATED METAL PANEL
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- 7 CURTAIN WALL WINDOW SYSTEM
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- 9 DECORATIVE SCREEN / PANELS TYPE-1
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- 12 RETAIL ELEVATOR L1-L2
- 13 GROCERY CART STORAGE
- 14 AUTOMATED GLAZED DOOR
- 15 STOREFRONT WINDOW SYSTEM
- 16 RESIDENTIAL ELEVATOR - NO STOP AT LEVEL 2
- 17 TRASH CHUTE ENCLOSURE - WILL INCLUDE 3-BIN WASTE SYSTEM
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- 19 CIP STOOPS WITH BOARD FORM FINISH
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**LEVEL 6**

1" = 20'-0"



**WILLOW VILLAGE**  
 Architectural Control Package - Parcel 2  
 Menlo Park, CA

SCALE: As indicated  
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NO.	DATE	ISSUE

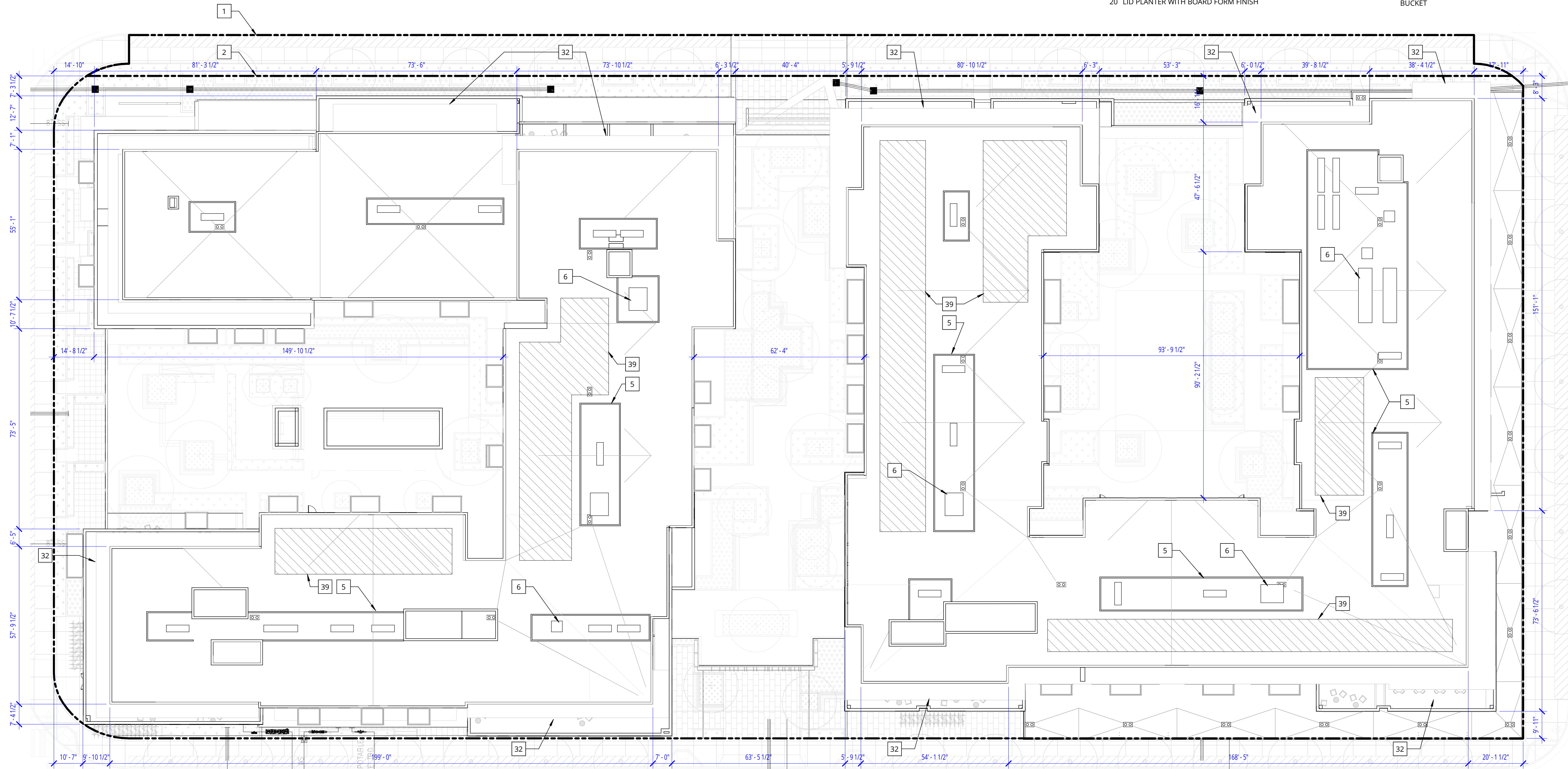
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DRAWING NO:  
**\*A2.06**

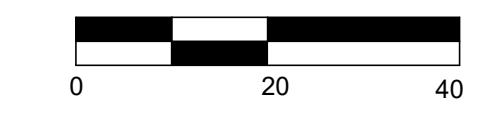
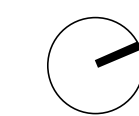


# KEY NOTES - PLANS

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ROOF  
1" = 20'-0"



**WILLOW VILLAGE**  
 Architectural Control Package - Parcel 2  
 Menlo Park, CA

SCALE: As indicated  
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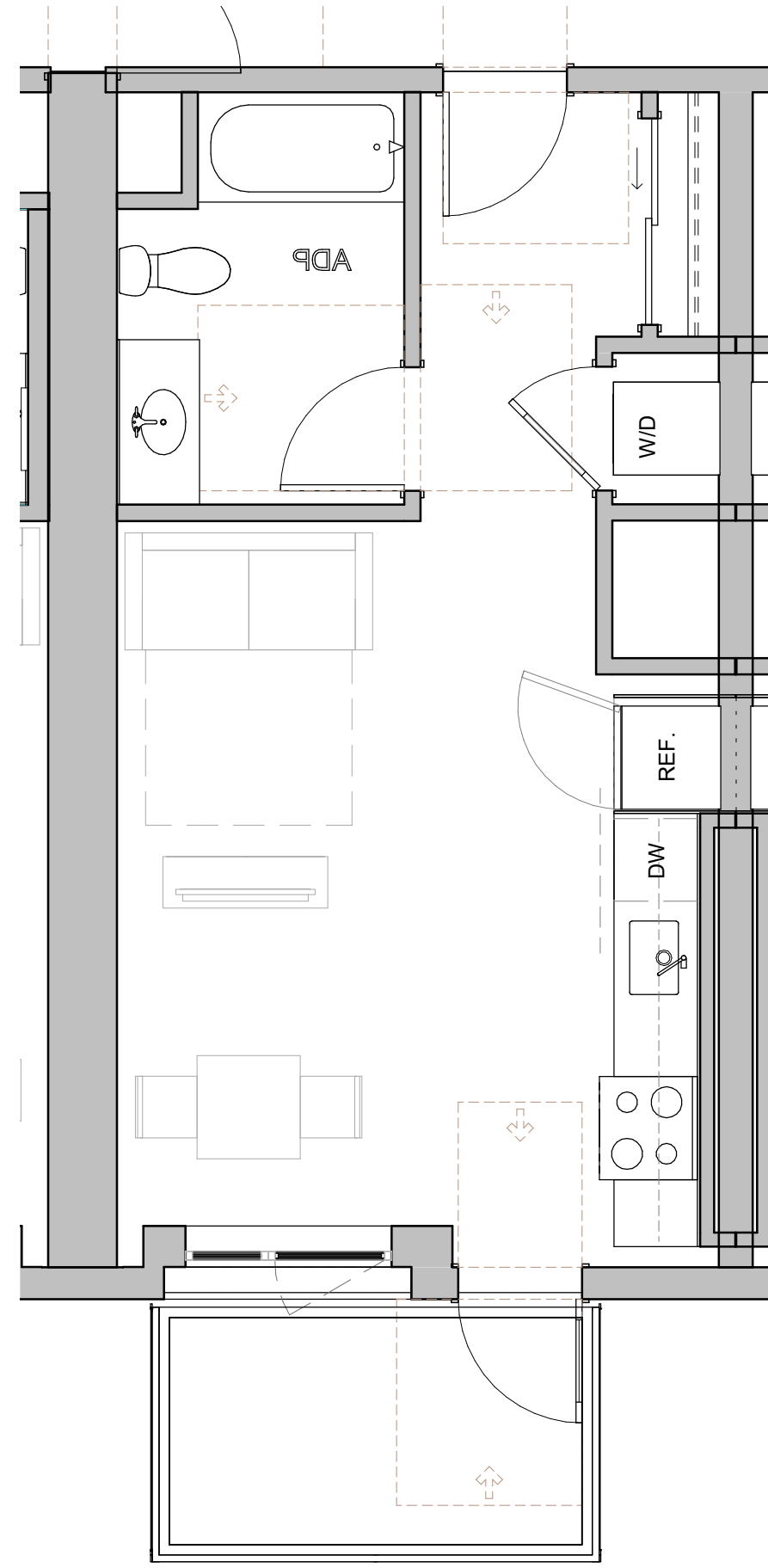
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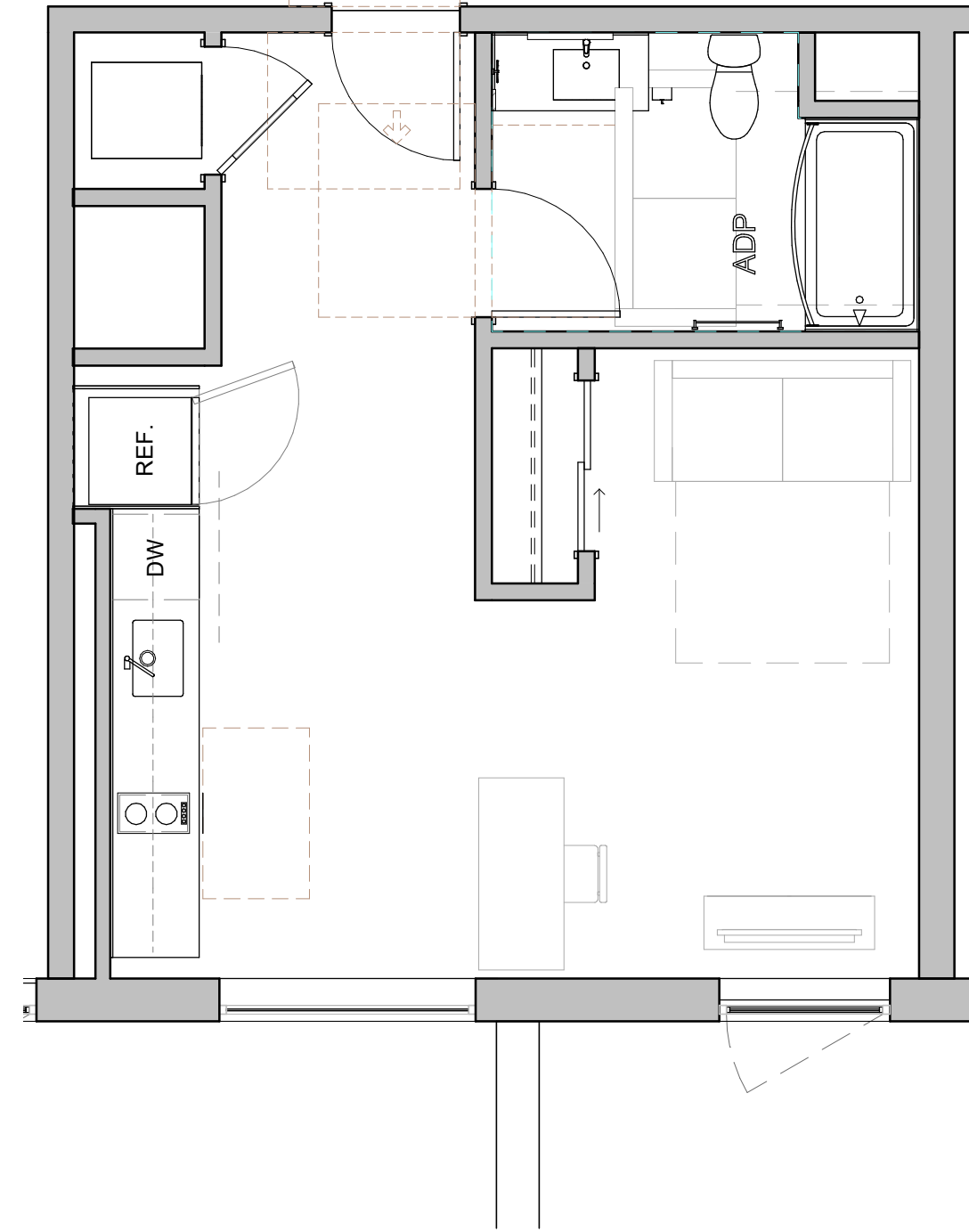
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**ROOF PLAN**

DRAWING NO:  
**\*A2.07**

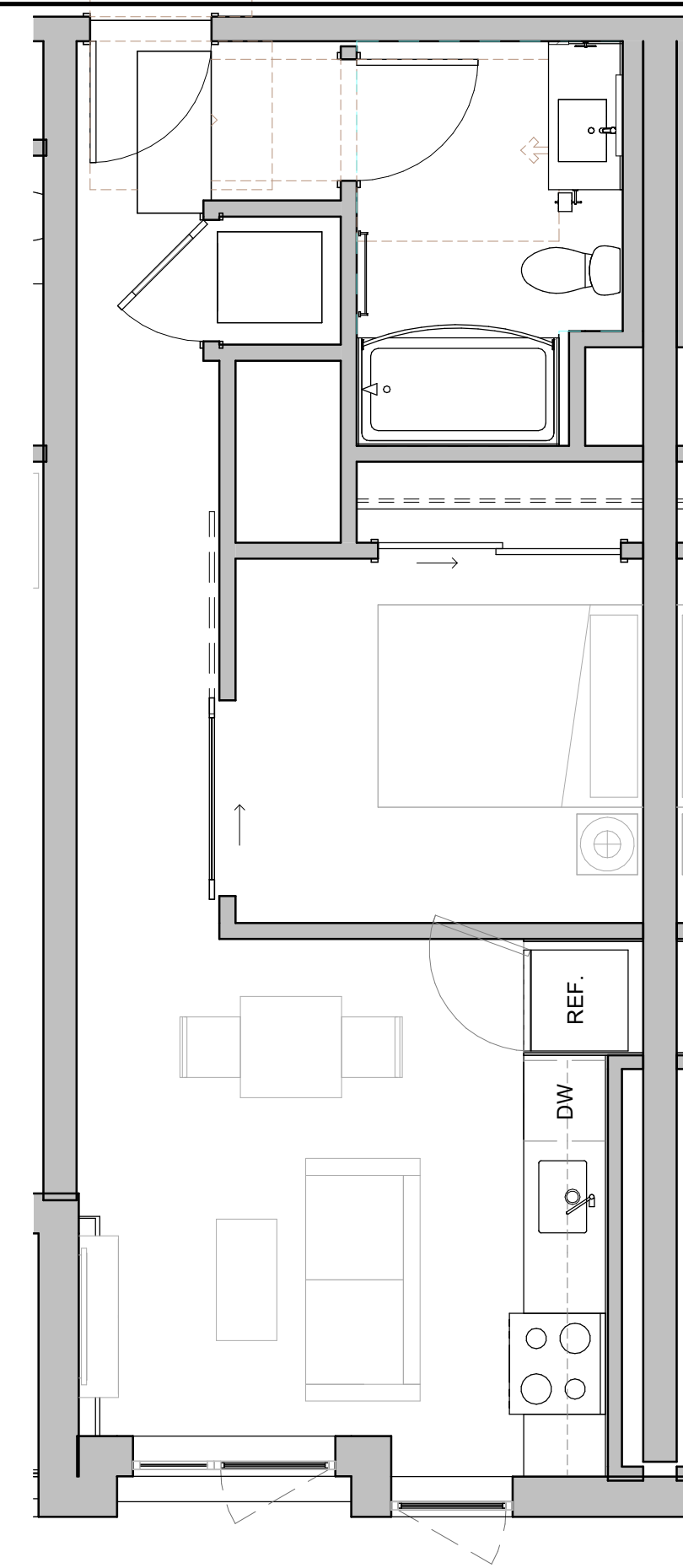




1 TYP. STUDIO 1  
1/4" = 1'-0"



2 TYP. STUDIO 2  
1/4" = 1'-0"

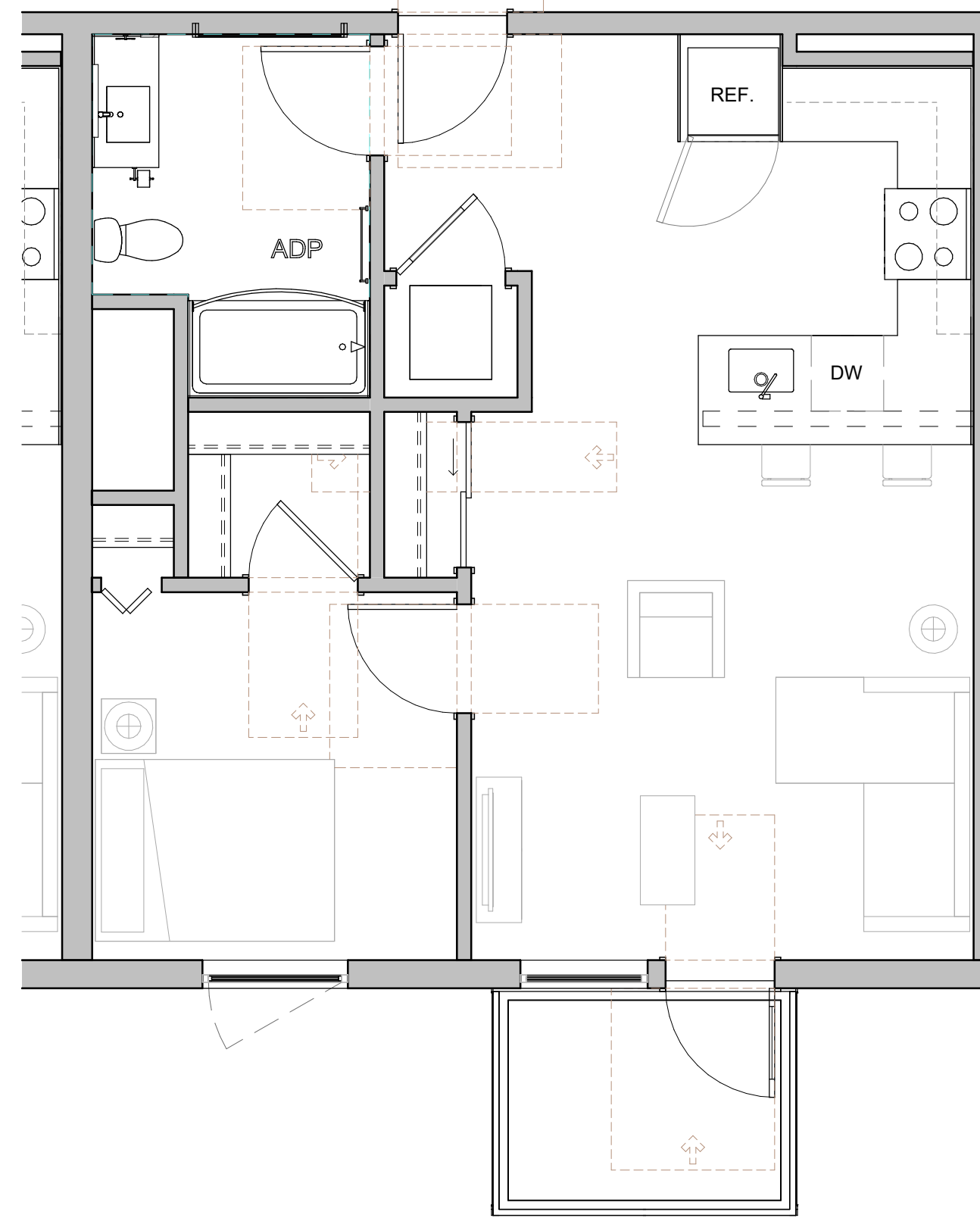


3 TYP. JR. 1BR  
1/4" = 1'-0"

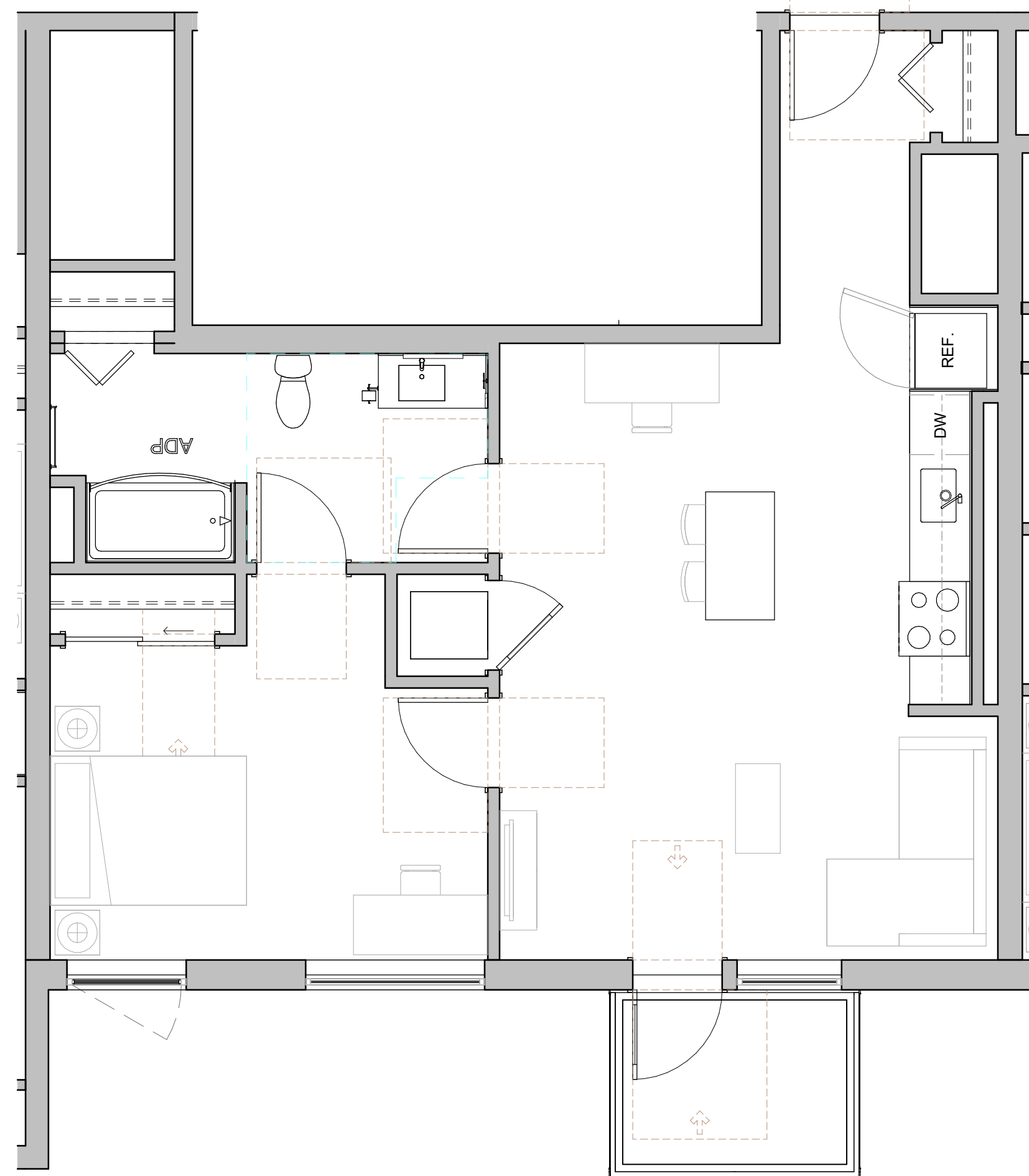
**UNIT SUMMARY**

UNIT TYPE	AREA	COUNT
STUDIO	340 SF - 492 SF	86
1BR	540 SF - 777 SF	95
1 BR JR.	479 SF - 580 SF	44
2BR	710 SF - 1,259 SF	95
3BR	1,211 SF - 1,246 SF	8
TOTAL:		328

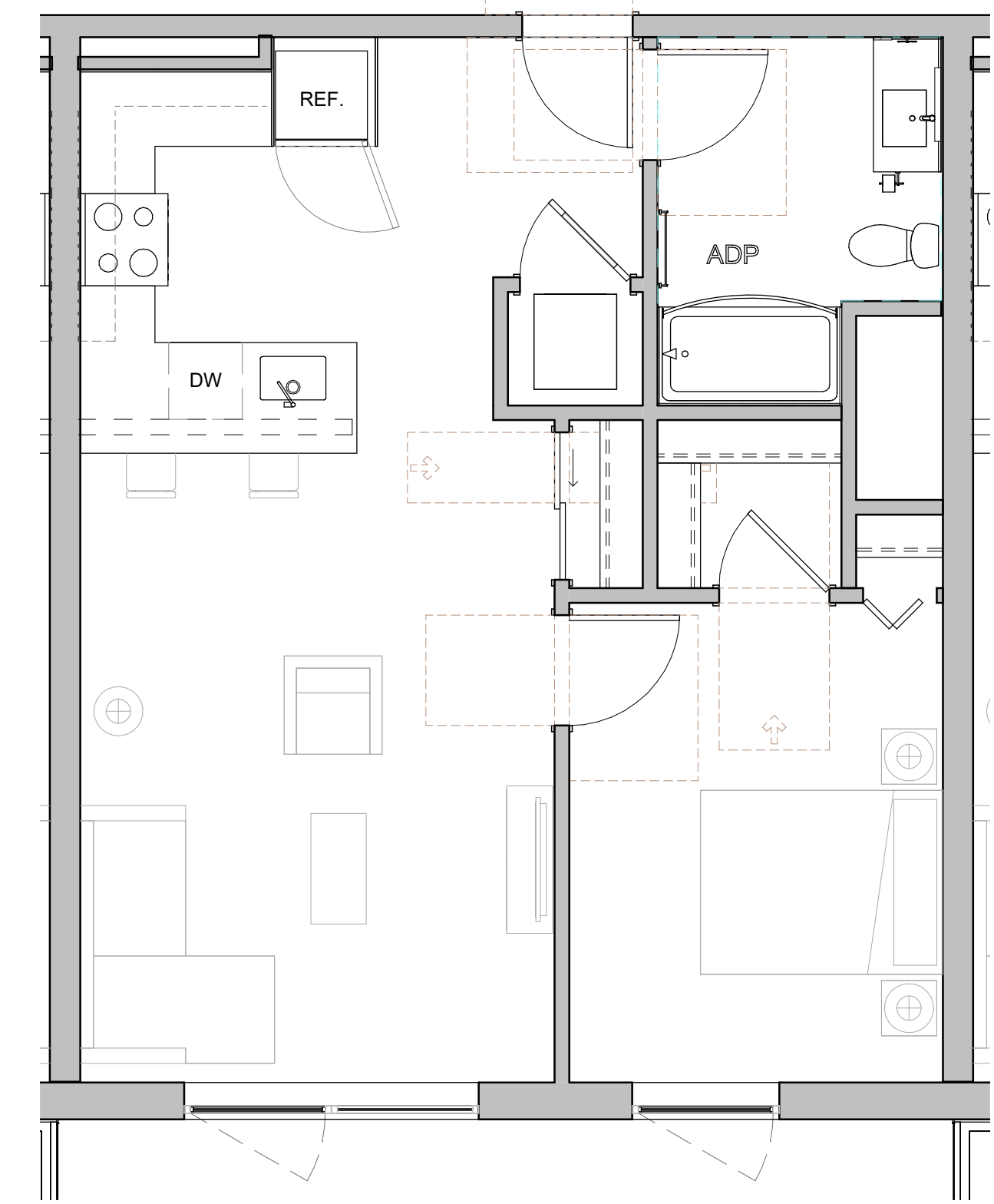
ALL UNITS TO INCLUDE ADEQUATE SPACE FOR THREE WASTE STREAM BIN STORAGE.



4 TYP. 1BR 1



5 TYP. 1BR 2



6 TYP. 1BR 3

PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
Architectural Control Package - Parcel 2  
Menlo Park, CA

SCALE: 1/4" = 1'-0"  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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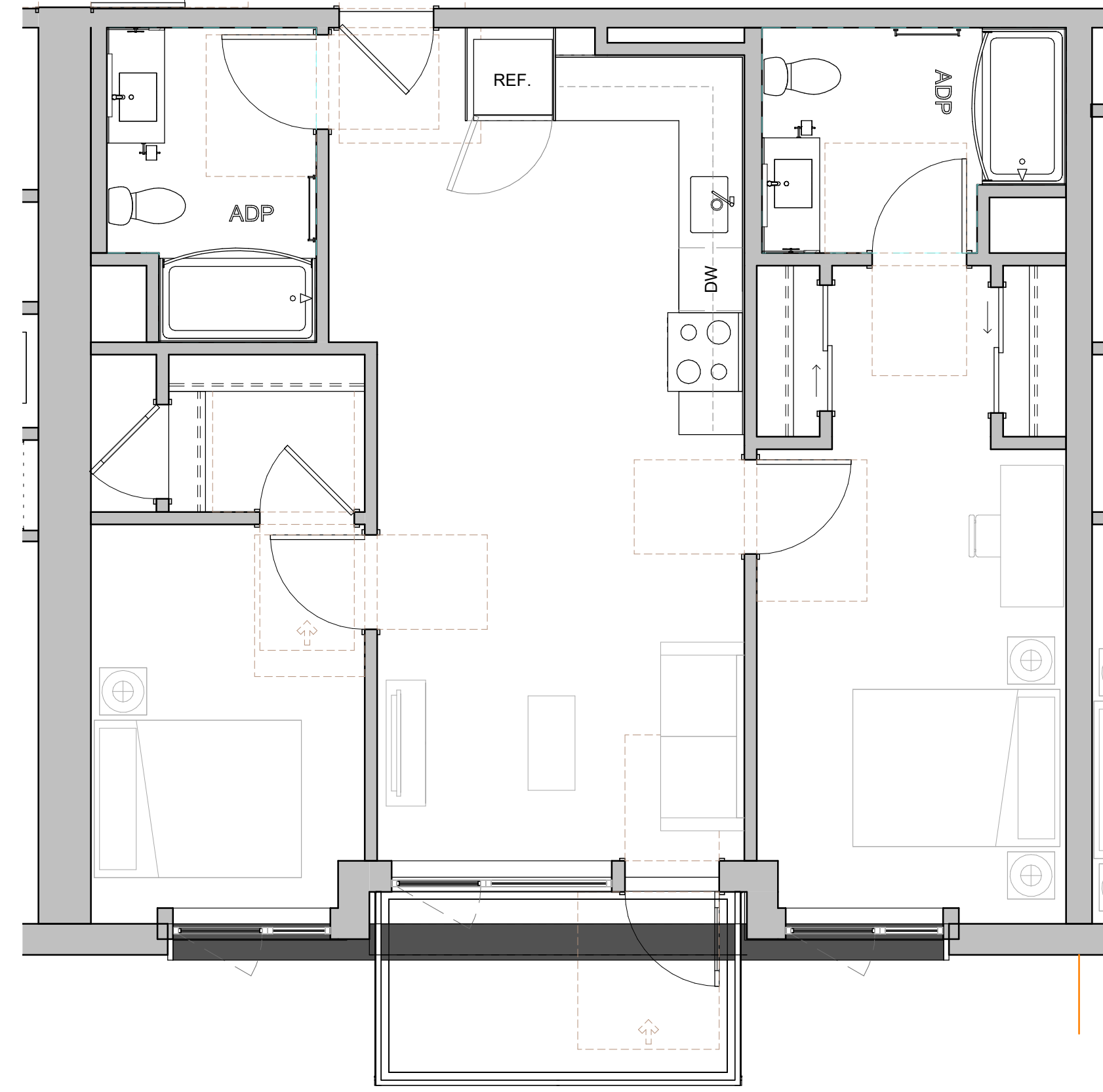
REVISIONS		
NO.	DATE	ISSUE

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**TYPICAL UNIT PLANS**

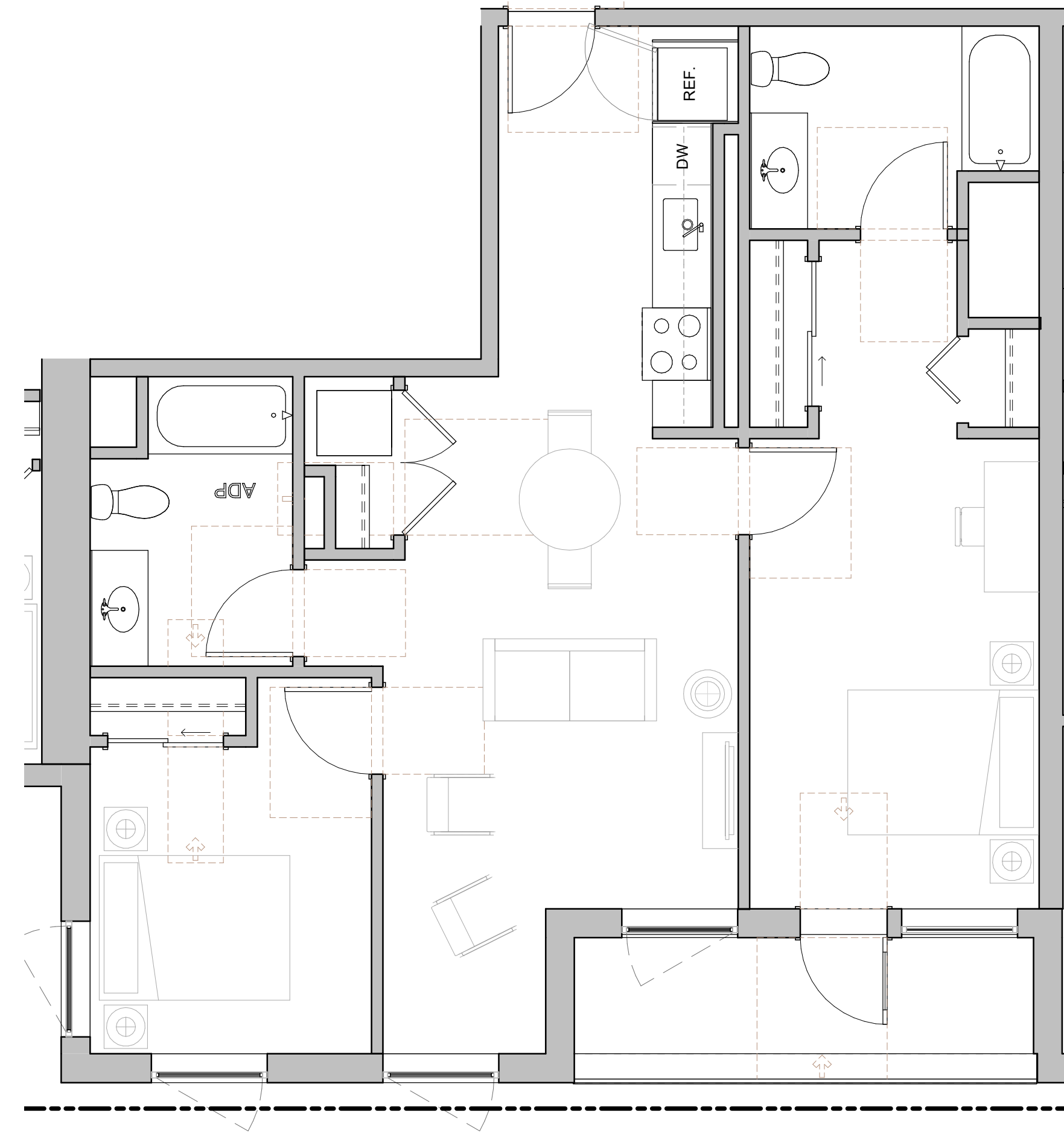
DRAWING NO:  
**\*A3.01**



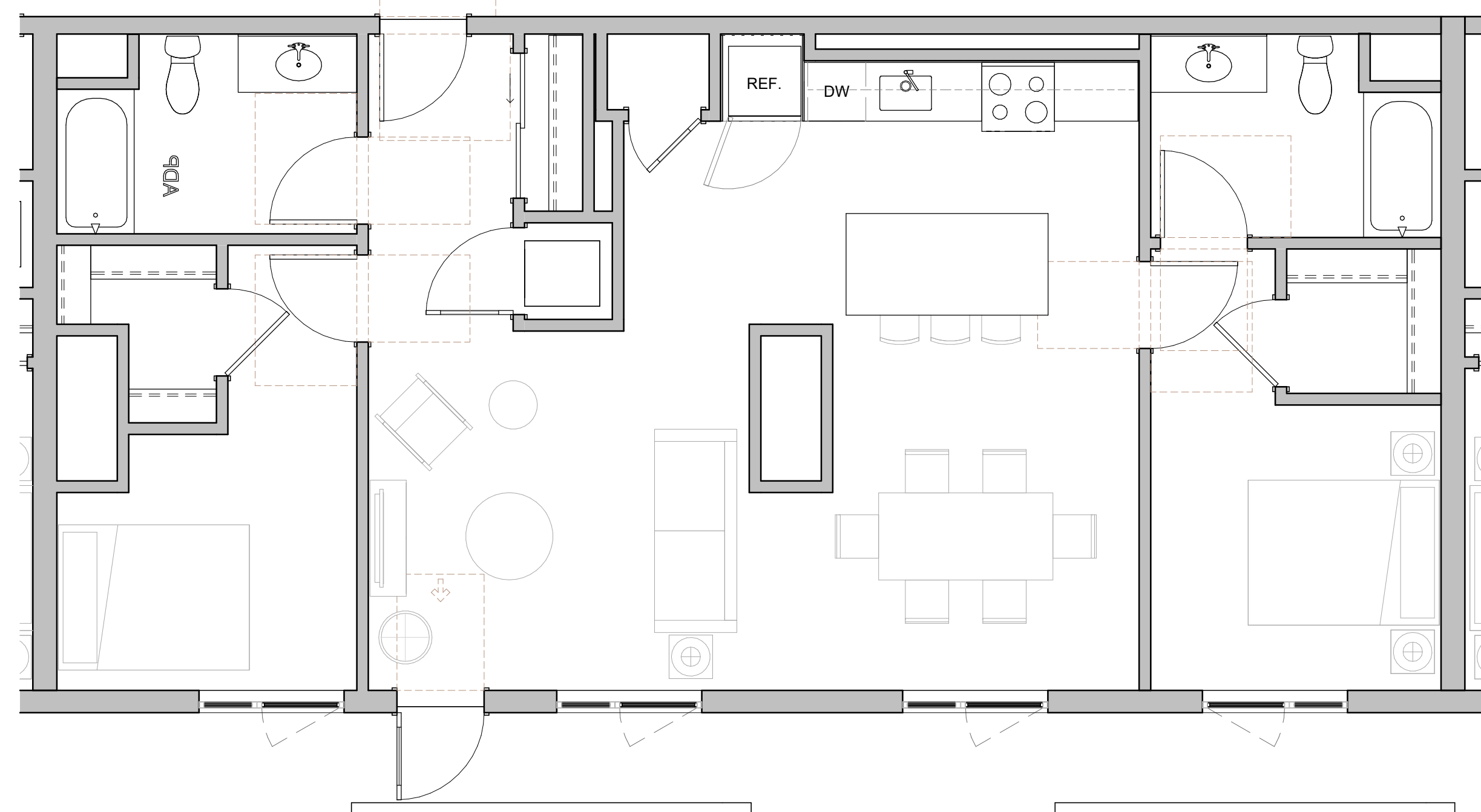
ALL UNITS TO INCLUDE ADEQUATE SPACE FOR THREE WASTE STREAM BIN STORAGE.



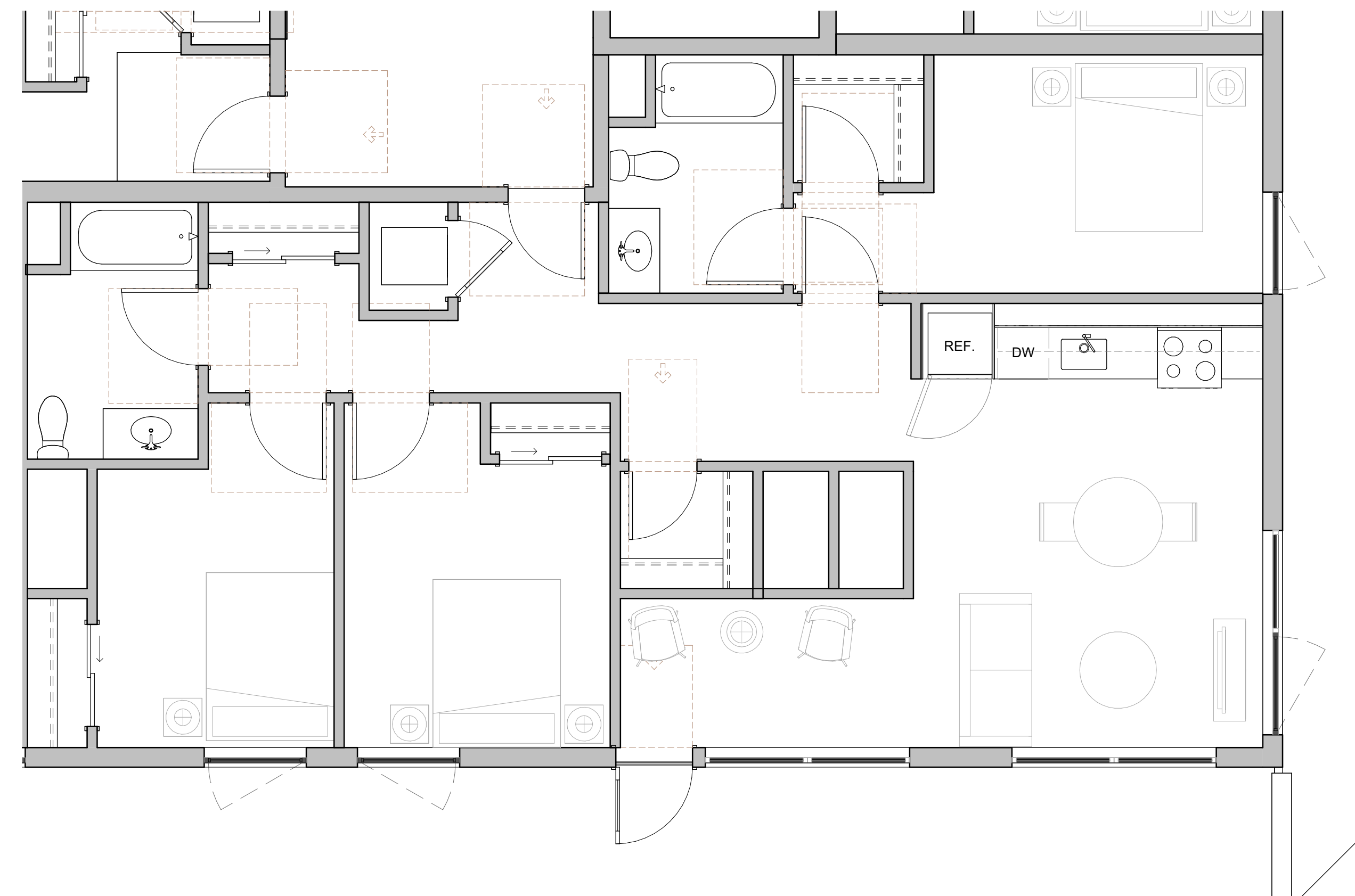
1 TYP. 2BR 1



2 TYP. 2BR 2



3 TYP. 2BR 3



4 TYP. 3BR

PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
Architectural Control Package - Parcel 2  
Menlo Park, CA

SCALE: 1/4" = 1'-0"  
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MILESTONES	
DATE	ISSUE
05/22/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:  
TYPICAL UNIT PLANS

DRAWING NO:  
\*A3.02



### GENERAL NOTES

- BIRD SAFE MEASURES ARE NOT DEPICTED IN THE FOLLOWING ELEVATIONS AND WILL FOLLOW IN A SUBSEQUENT DETAILED REPORT SUBMITTAL

### KEY NOTES - ELEVATIONS

- GLASSFIBER REINFORCED CONCRETE PANEL COLOR 1 - LIGHT GREY TONE
- GLASSFIBER REINFORCED CONCRETE PANEL COLOR 2 - MEDIUM GRAY TONE VERTICAL
- SMOOTH TROWELED STUCCO LESS THAN 50% OF BUILDING IN COMPLIANCE WITH ZONING ORDINANCE 16.45.120(6)F
- BRICK MASONRY VENER TAN COLOR
- GLASSFIBER REINFORCED CONCRETE PANEL -COLOR 3 - WHITE TONE
- WOOD TONE METAL SIDING
- DECORATIVE SCREEN / PANELS TYPE-1
- WINDOW FRAMES - ARCHITECTURAL BRONZE COLOR, WHITE, OR TAN
- ARCHITECTURAL CONCRETE - BOARDFORM AESTHETIC
- ARCADE COLUMNS - MEDIUM GRAY TONE
- PAINTED MURAL ON CONCRETE WALL
- METAL CAPPED WINDOW POST - WOOD TONE
- GLAZING PER WILLOW VILLAGE BIRD-SAFE DESIGN STANDARDS, TBD
- MECHANICAL SCREENING PER MENLO PARK MUNICIPAL CODE 16.08.095, TYP. - SOLID METAL PANEL WHERE REQUIRED FOR ACOUSTIC PERFORMANCE, OTHERWISE PERFORATED METAL PANEL
- SCULPTURAL WOOD SCREENING
- GLASS WIND SCREEN WITH BIRD-SAFE TREATMENT



**1** NORTH ELEVATION - MAIN ST.  
1" = 20'-0"

PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
Architectural Control Package - Parcel 2  
Menlo Park, CA

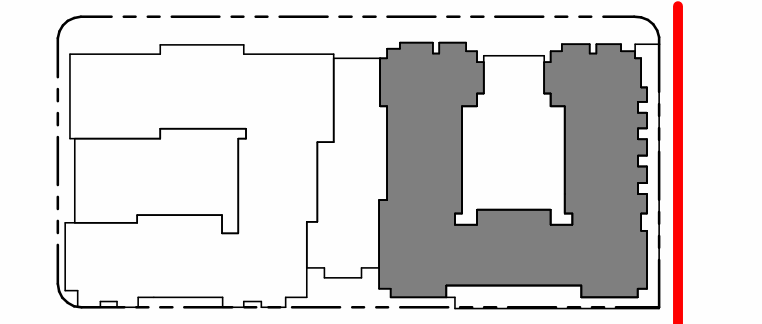
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MILESTONES	
DATE	ISSUE
05/22/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:  
**BUILDING ELEVATION - NORTH**

DRAWING NO:  
**\*A4.01**





## GENERAL NOTES

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## KEY NOTES - ELEVATIONS

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- 1B GLASSFIBER REINFORCED CONCRETE PANEL COLOR 2 - MEDIUM GRAY TONE VERTICAL
- 1C SMOOTH TROWELED STUCCO LESS THAN 50% OF BUILDING IN COMPLIANCE WITH ZONING ORDINANCE 16.45.120(6)F
- 1D BRICK MASONRY VENEER TAN COLOR
- 2B GLASSFIBER REINFORCED CONCRETE PANEL -COLOR 3 - WHITE TONE
- 3 WOOD TONE METAL SIDING
- 4 DECORATIVE SCREEN / PANELS TYPE-1
- 5 WINDOW FRAMES - ARCHITECTURAL BRONZE COLOR, WHITE, OR TAN
- 6 ARCHITECTURAL CONCRETE - BOARDFORM AESTHETIC
- 7 ARCADE COLUMNS - MEDIUM GRAY TONE
- 8 PAINTED MURAL ON CONCRETE WALL
- 9 METAL CAPPED WINDOW POST - WOOD TONE
- 10 GLAZING PER WILLOW VILLAGE BIRD-SAFE DESIGN STANDARDS, TBD
- 11 MECHANICAL SCREENING PER MENLO PARK MUNICIPAL CODE 16.08.095, TYP. - SOLID METAL PANEL WHERE REQUIRED FOR ACOUSTIC PERFORMANCE, OTHERWISE PERFORATED METAL PANEL
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**1 EAST ELEVATION - WEST ST.**  
1" = 20'-0"

PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
Architectural Control Package - Parcel 2  
Menlo Park, CA

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### MILESTONES

DATE	ISSUE
05/22/2023	ACP

### REVISIONS

NO.	DATE	ISSUE

DRAWING TITLE:  
**BUILDING ELEVATION - EAST**

DRAWING NO:  
**\*A4.02**



**GENERAL NOTES**

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**KEY NOTES - ELEVATIONS**

- 1A GLASSFIBER REINFORCED CONCRETE PANEL COLOR 1 - LIGHT GREY TONE
- 1B GLASSFIBER REINFORCED CONCRETE PANEL COLOR 2 - MEDIUM GRAY TONE VERTICAL
- 1C SMOOTH TROWELED STUCCO LESS THAN 50% OF BUILDING IN COMPLIANCE WITH ZONING ORDINANCE 16.45.120(6)F
- 1D BRICK MASONRY VENEER TAN COLOR
- 2B GLASSFIBER REINFORCED CONCRETE PANEL -COLOR 3 - WHITE TONE
- 3 WOOD TONE METAL SIDING
- 4 DECORATIVE SCREEN / PANELS TYPE-1
- 5 WINDOW FRAMES - ARCHITECTURAL BRONZE COLOR, WHITE, OR TAN
- 6 ARCHITECTURAL CONCRETE - BOARDFORM AESTHETIC
- 7 ARCADE COLUMNS - MEDIUM GRAY TONE
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- 12 SCULPTURAL WOOD SCREENING
- 13 GLASS WIND SCREEN WITH BIRD-SAFE TREATMENT



**1** SOUTH ELEVATION - PARK ST.  
1" = 20'-0"

PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
Architectural Control Package - Parcel 2  
Menlo Park, CA

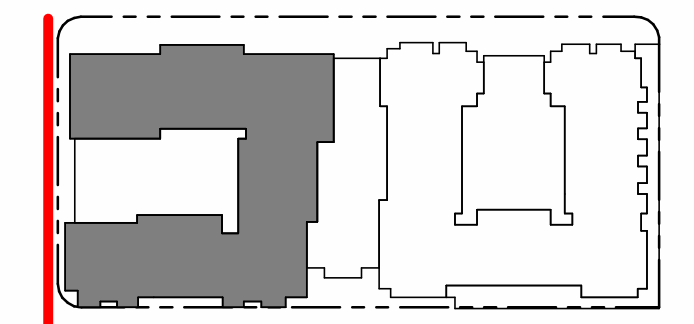
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NO.	DATE	ISSUE

DRAWING TITLE:  
**BUILDING ELEVATION - SOUTH**

DRAWING NO:  
**\*A4.03**





**GENERAL NOTES**

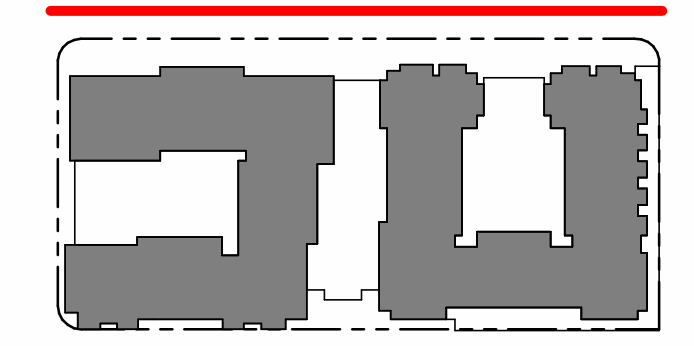
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- 1D BRICK MASONRY VENEER TAN COLOR
- 2B GLASSFIBER REINFORCED CONCRETE PANEL -COLOR 3 - WHITE TONE
- 3 WOOD TONE METAL SIDING
- 4 DECORATIVE SCREEN / PANELS TYPE-1
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- 13 GLASS WIND SCREEN WITH BIRD-SAFE TREATMENT



**1 WEST ELEVATION - WILLOW ROAD**  
1" = 20'-0"



PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
Architectural Control Package - Parcel 2  
Menlo Park, CA

SCALE: As indicated  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY, OR BEAR CALIBRATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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NO.	DATE	ISSUE

DRAWING TITLE:  
**BUILDING ELEVATION - WEST**

DRAWING NO:  
**\*A4.04**



**GENERAL NOTES**

- BIRD SAFE MEASURES ARE NOT DEPICTED IN THE FOLLOWING ELEVATIONS AND WILL FOLLOW IN A SUBSEQUENT DETAILED REPORT SUBMITTAL

**KEY NOTES - ELEVATIONS**

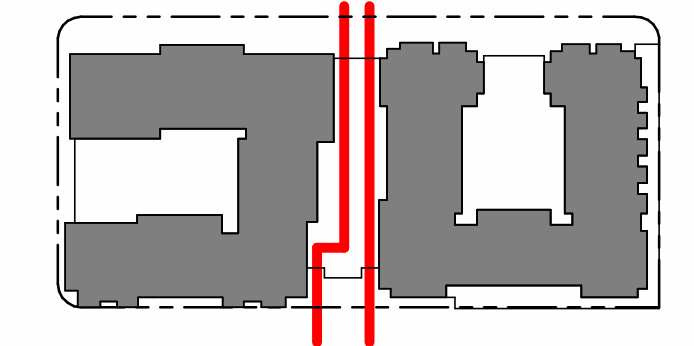
- 1A GLASSFIBER REINFORCED CONCRETE PANEL COLOR 1 - LIGHT GREY TONE
- 1B GLASSFIBER REINFORCED CONCRETE PANEL COLOR 2 - MEDIUM GRAY TONE VERTICAL
- 1C SMOOTH TROWELED STUCCO LESS THAN 50% OF BUILDING IN COMPLIANCE WITH ZONING ORDINANCE 16.45.120(6)F
- 1D BRICK MASONRY VENEER TAN COLOR
- 2B GLASSFIBER REINFORCED CONCRETE PANEL -COLOR 3 - WHITE TONE
- 3 WOOD TONE METAL SIDING
- 4 DECORATIVE SCREEN / PANELS TYPE-1
- 5 WINDOW FRAMES - ARCHITECTURAL BRONZE COLOR, WHITE, OR TAN
- 6 ARCHITECTURAL CONCRETE - BOARDFORM AESTHETIC
- 7 ARCADE COLUMNS - MEDIUM GRAY TONE
- 8 PAINTED MURAL ON CONCRETE WALL
- 9 METAL CAPPED WINDOW POST - WOOD TONE
- 10 GLAZING PER WILLOW VILLAGE BIRD-SAFE DESIGN STANDARDS, TBD
- 11 MECHANICAL SCREENING PER MENLO PARK MUNICIPAL CODE 16.08.095, TYP. - SOLID METAL PANEL WHERE REQUIRED FOR ACOUSTIC PERFORMANCE, OTHERWISE PERFORATED METAL PANEL
- 12 SCULPTURAL WOOD SCREENING
- 13 GLASS WIND SCREEN WITH BIRD-SAFE TREATMENT



**1** CENTRAL COURTYARD - NORTH ELEVATION  
1" = 20'-0"



**2** CENTRAL COURTYARD - SOUTH ELEVATION  
1" = 20'-0"



PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
Architectural Control Package - Parcel 2  
Menlo Park, CA

SCALE: As indicated  
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DATE	ISSUE
05/22/2023	ACP

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NO.	DATE	ISSUE

DRAWING TITLE:  
**BUILDING ELEVATION - COURTYARD**

DRAWING NO:  
**\*A4.05**



**GENERAL NOTES**

- BIRD SAFE MEASURES ARE NOT DEPICTED IN THE FOLLOWING ELEVATIONS AND WILL FOLLOW IN A SUBSEQUENT DETAILED REPORT SUBMITTAL

**KEY NOTES - ELEVATIONS**

- GLASSFIBER REINFORCED CONCRETE PANEL COLOR 1 - LIGHT GREY TONE
- GLASSFIBER REINFORCED CONCRETE PANEL COLOR 2 - MEDIUM GRAY TONE VERTICAL
- SMOOTH TROWELED STUCCO LESS THAN 50% OF BUILDING IN COMPLIANCE WITH ZONING ORDINANCE 16.45.120(6)F
- BRICK MASONRY VENEER TAN COLOR
- GLASSFIBER REINFORCED CONCRETE PANEL -COLOR 3 - WHITE TONE
- WOOD TONE METAL SIDING
- DECORATIVE SCREEN / PANELS TYPE-1
- WINDOW FRAMES - ARCHITECTURAL BRONZE COLOR, WHITE, OR TAN
- ARCHITECTURAL CONCRETE - BOARDFORM AESTHETIC
- ARCADE COLUMNS - MEDIUM GRAY TONE
- PAINTED MURAL ON CONCRETE WALL
- METAL CAPPED WINDOW POST - WOOD TONE
- GLAZING PER WILLOW VILLAGE BIRD-SAFE DESIGN STANDARDS, TBD
- MECHANICAL SCREENING PER MENLO PARK MUNICIPAL CODE 16.08.095, TYP. - SOLID METAL PANEL WHERE REQUIRED FOR ACOUSTIC PERFORMANCE, OTHERWISE PERFORATED METAL PANEL
- SCULPTURAL WOOD SCREENING
- GLASS WIND SCREEN WITH BIRD-SAFE TREATMENT



**1 MARKET BLDG COURTYARD - NORTH ELEVATION**  
1" = 20'-0"



**2 MARKET BLDG COURTYARD - EAST ELEVATION**  
1" = 20'-0"



**3 MARKET BLDG COURTYARD - SOUTH ELEVATION**  
1" = 20'-0"



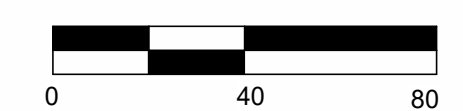
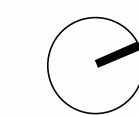
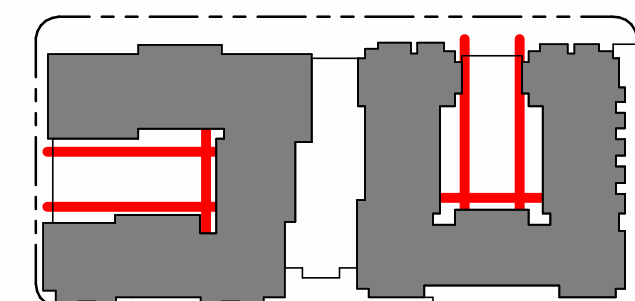
**6 PARK BLDG COURTYARD - WEST ELEVATION**  
1" = 20'-0"



**4 PARK BLDG COURTYARD - NORTH ELEVATION**  
1" = 20'-0"



**5 PARK BLDG COURTYARD - EAST ELEVATION**  
1" = 20'-0"



**WILLOW VILLAGE**  
 Architectural Control Package - Parcel 2  
 Menlo Park, CA

SCALE: As indicated  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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NO.	DATE	ISSUE

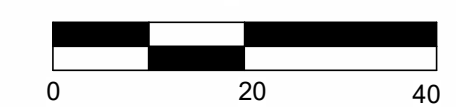
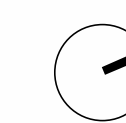
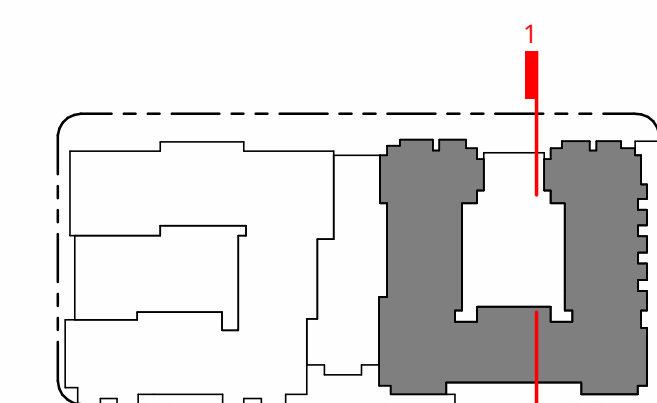
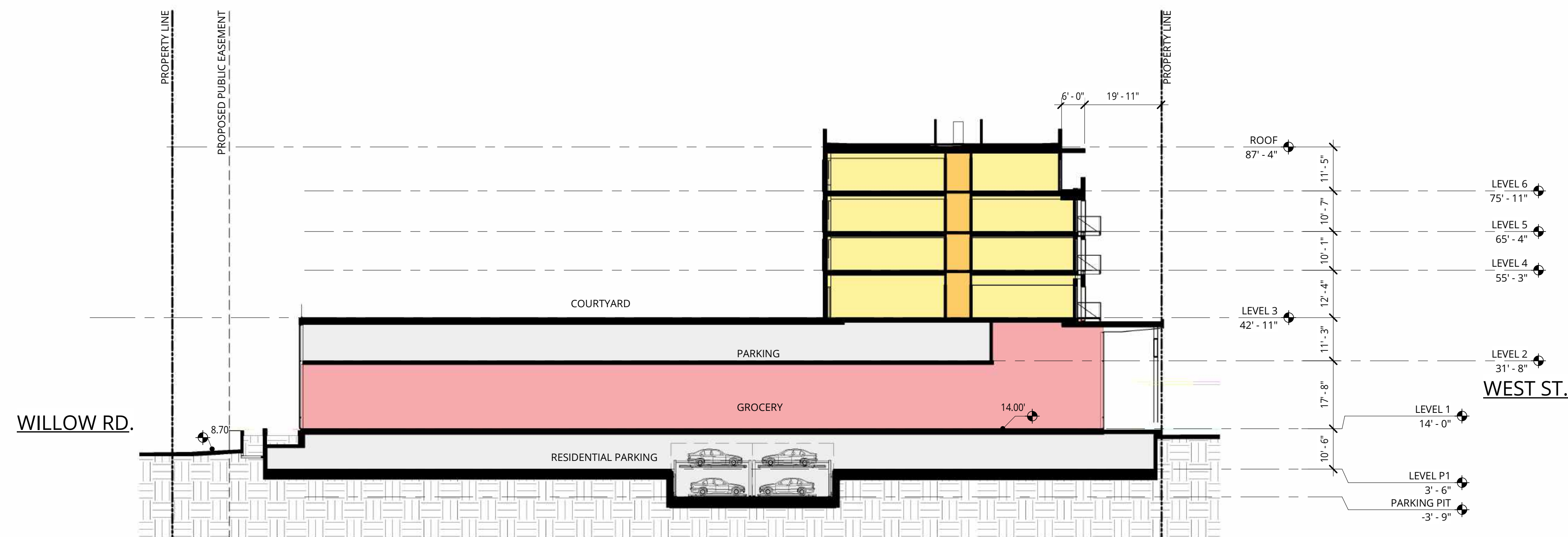
DRAWING TITLE:  
**BUILDING ELEVATION - COURTYARD**

DRAWING NO:  
**\*A4.06**



**LEGEND**

- RESIDENTIAL
- RETAIL
- CIRCULATION
- ELEVATOR
- RESIDENT COMMON AREA
- SERVICE
- PARKING
- OUTDOOR
- POOL
- GREEN ROOF



SCALE: As indicated  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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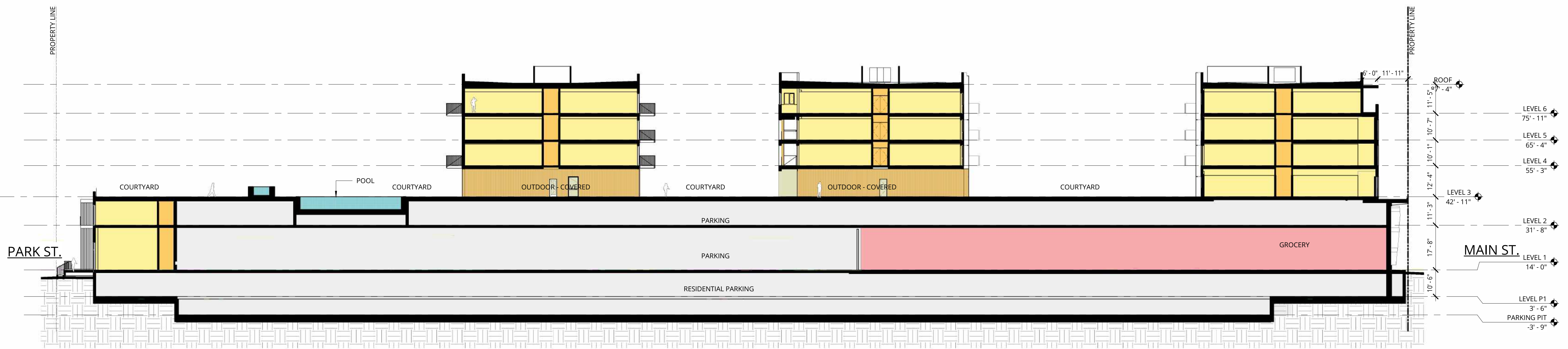
REVISIONS

NO.	DATE	ISSUE



**LEGEND**

- RESIDENTIAL
- RETAIL
- CIRCULATION
- ELEVATOR
- RESIDENT COMMON AREA
- SERVICE
- PARKING
- OUTDOOR
- POOL
- GREEN ROOF



**SECTION - SOUTH-NORTH**

1" = 20'-0"

**PENINSULA INNOVATION PARTNERS**

**WILLOW VILLAGE**  
Architectural Control Package - Parcel 2  
Menlo Park, CA

SCALE: As indicated  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

**MILESTONES**

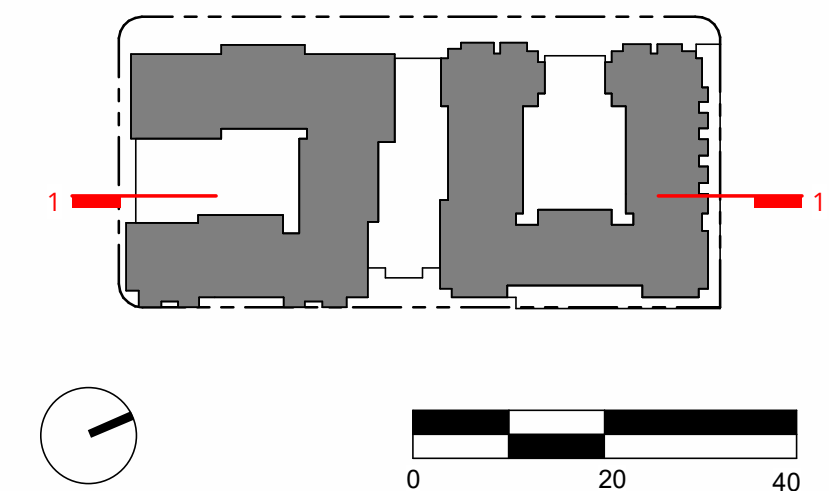
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**BUILDING SECTIONS**

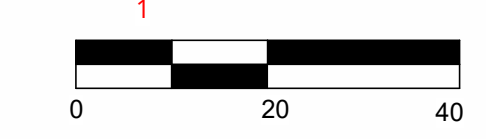
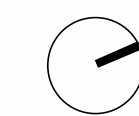
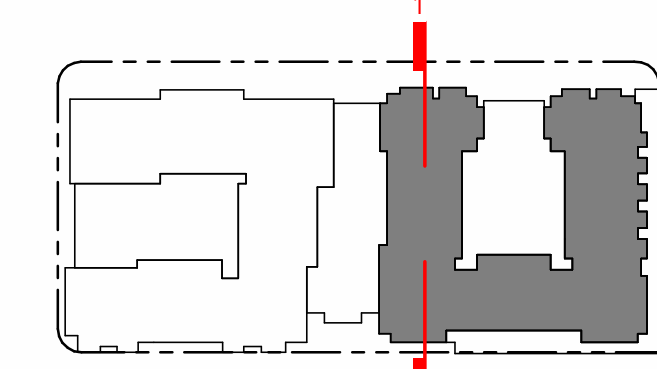
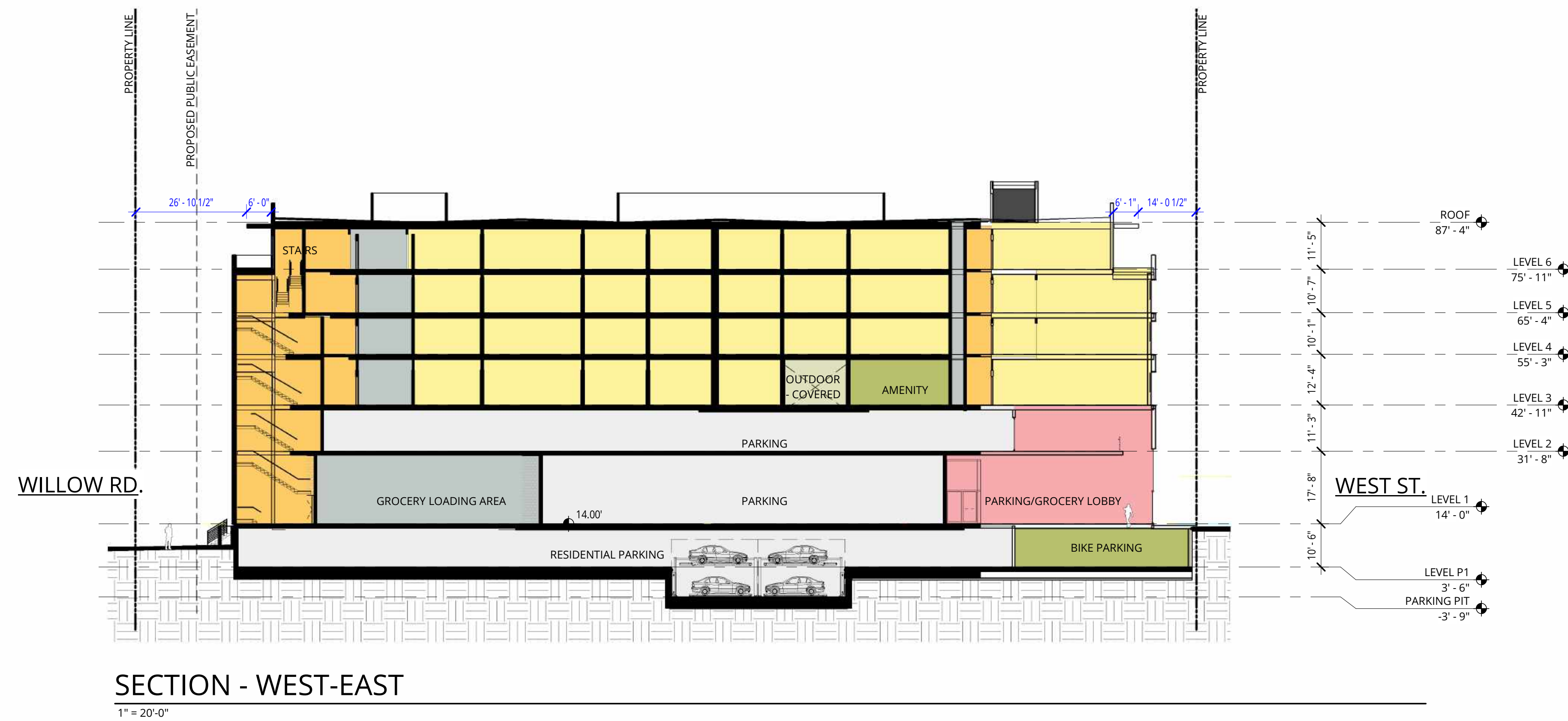
DRAWING NO:  
**\*A5.02**





LEGEND

- RESIDENTIAL
- RETAIL
- CIRCULATION
- ELEVATOR
- RESIDENT COMMON AREA
- SERVICE
- PARKING
- OUTDOOR
- POOL
- GREEN ROOF



**WILLOW VILLAGE**  
Architectural Control Package - Parcel 2  
Menlo Park, CA

SCALE: As indicated  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
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REVISIONS		
NO.	DATE	ISSUE

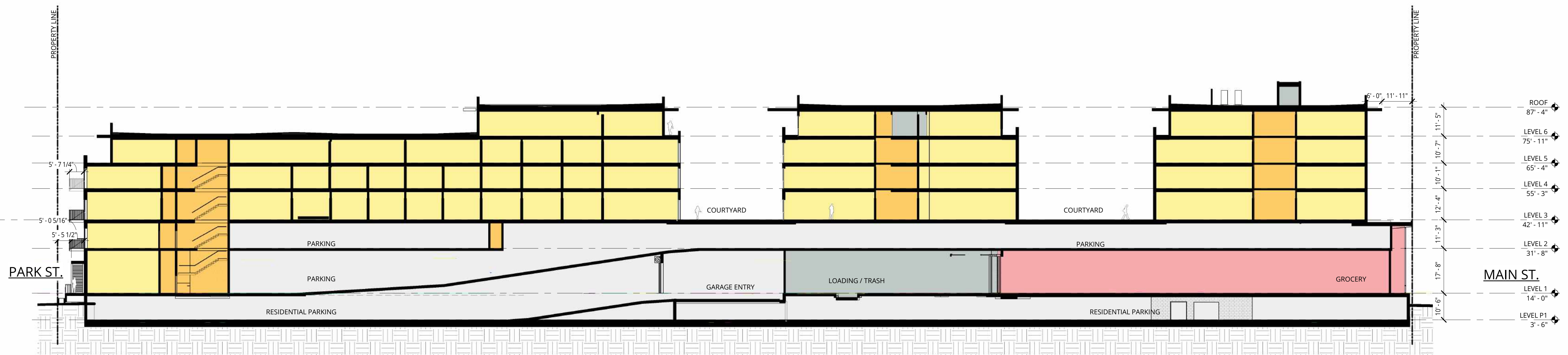
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**BUILDING SECTIONS**

DRAWING NO:  
**\*A5.03**



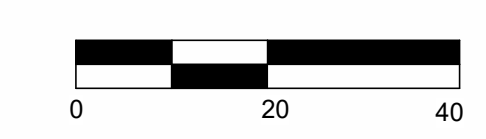
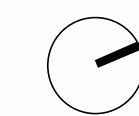
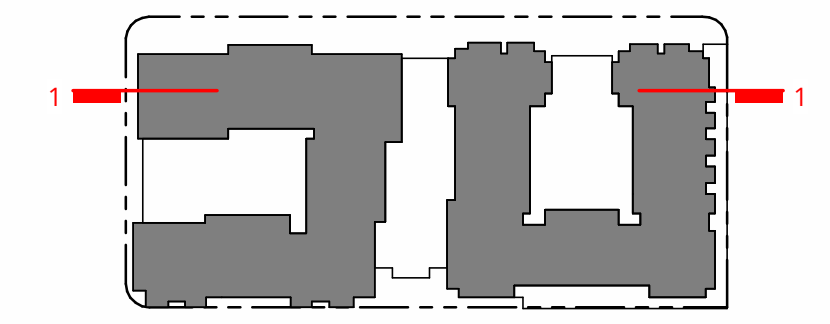
**LEGEND**

- RESIDENTIAL
- RETAIL
- CIRCULATION
- ELEVATOR
- RESIDENT COMMON AREA
- SERVICE
- PARKING
- OUTDOOR
- POOL
- GREEN ROOF



**SECTION - SOUTH - NORTH**

1" = 20'-0"



PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
Architectural Control Package - Parcel 2  
Menlo Park, CA

SCALE: As indicated  
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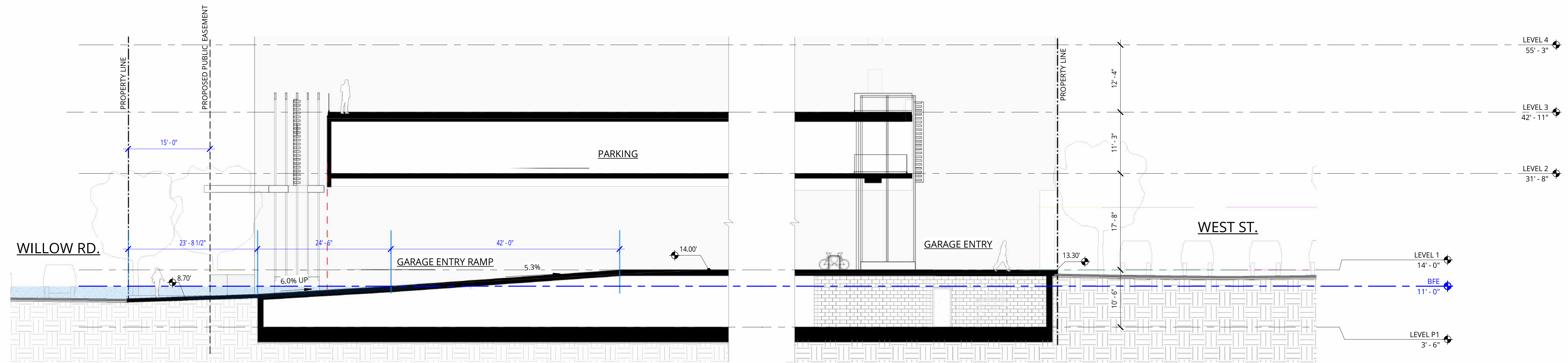
**REVISIONS**

NO.	DATE	ISSUE

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**BUILDING SECTIONS**

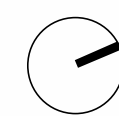
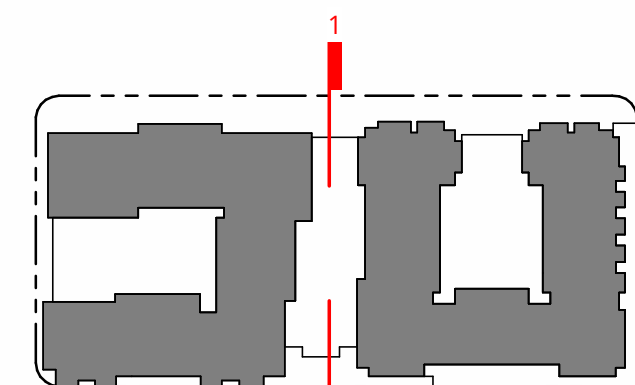
DRAWING NO:  
**\*A5.04**





SECTION AT GARAGE ENTRY

1" = 10'-0"



SCALE: 1" = 10'-0"  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

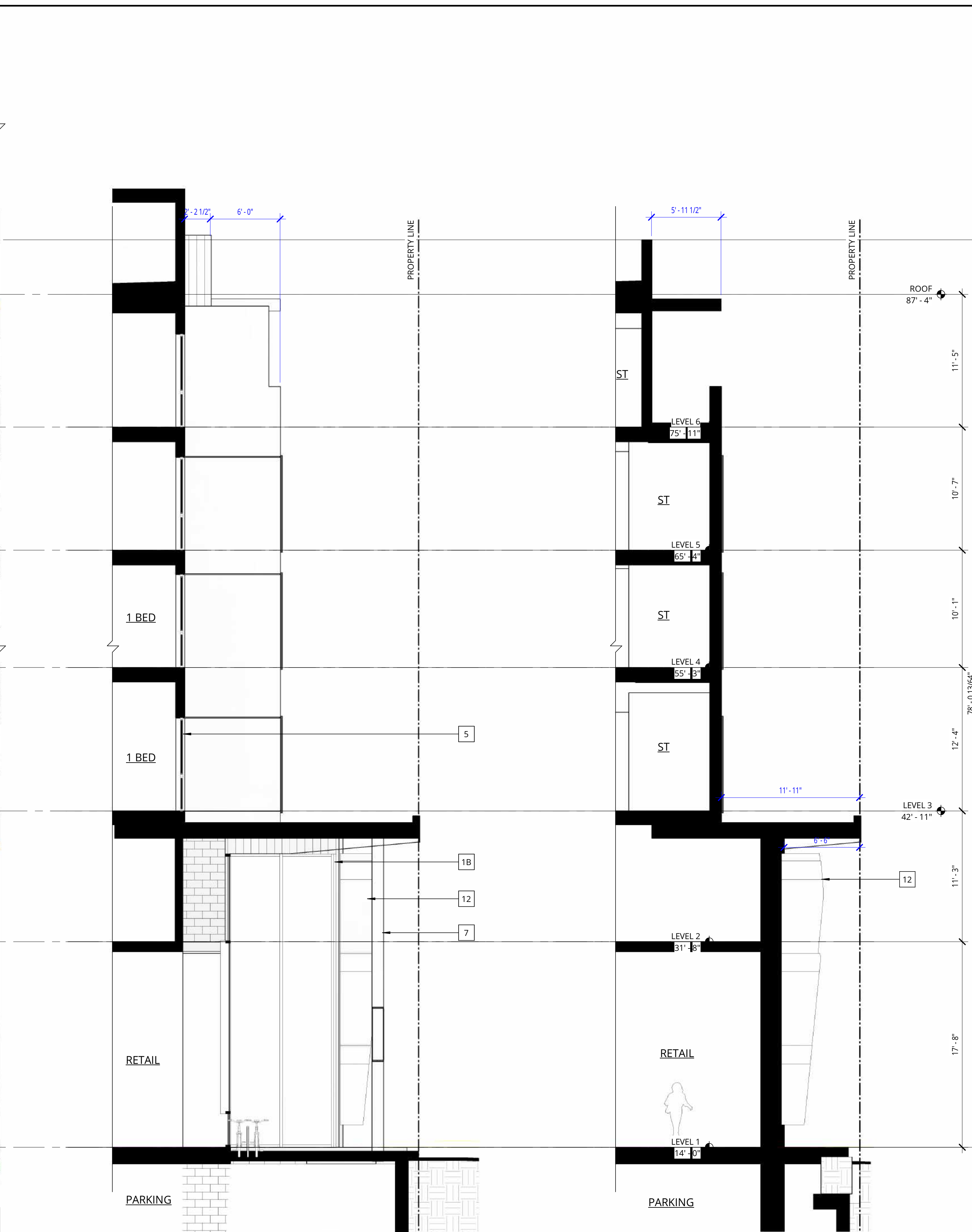
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DATE	ISSUE
05/22/2023	ACP

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NO.	DATE	ISSUE





**1** NORTH ELEVATION - MAIN ST.  
3/16" = 1'-0"

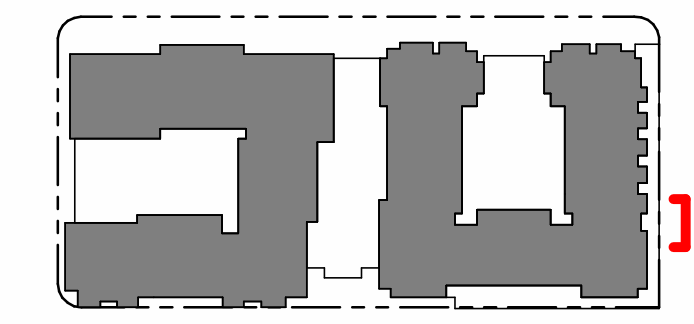


**2** SECTION - MAIN @ MARKET WALK  
3/16" = 1'-0"

**3** SECTION - MAIN @ GROCERY  
3/16" = 1'-0"

**KEY NOTES - ELEVATIONS / SECTIONS**

- 1A GLASSFIBER REINFORCED CONCRETE PANEL COLOR 1 - LIGHT GREY TONE
- 1B GLASSFIBER REINFORCED CONCRETE PANEL COLOR 2 - MEDIUM GRAY TONE VERTICAL
- 1C SMOOTH TROWELED STUCCO LESS THAN 50% OF BUILDING IN COMPLIANCE WITH ZONING ORDINANCE 16.45.120(6)F
- 1D BRICK MASONRY VENEER TAN COLOR
- 2B GLASSFIBER REINFORCED CONCRETE PANEL -COLOR 3 - WHITE TONE
- 3 WOOD TONE METAL SIDING
- 4 DECORATIVE SCREEN / PANELS TYPE-1
- 5 WINDOW FRAMES - ARCHITECTURAL BRONZE COLOR, WHITE, OR TAN
- 6 ARCHITECTURAL CONCRETE - BOARDFORM AESTHETIC
- 7 ARCADE COLUMNS - MEDIUM GRAY TONE
- 8 PAINTED MURAL ON CONCRETE WALL
- 9 METAL CAPPED WINDOW POST - WOOD TONE
- 10 GLAZING PER WILLOW VILLAGE BIRD-SAFE DESIGN STANDARDS, TBD
- 11 MECHANICAL SCREENING PER MENLO PARK MUNICIPAL CODE 16.08.095, TYP. - SOLID METAL PANEL WHERE REQUIRED FOR ACOUSTIC PERFORMANCE, OTHERWISE PERFORATED METAL PANEL
- 12 SCULPTURAL WOOD SCREENING
- 13 GLASS WIND SCREEN WITH BIRD-SAFE TREATMENT



**WILLOW VILLAGE**  
 Architectural Control Package - Parcel 2  
 Menlo Park, CA

SCALE: As indicated  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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DATE	ISSUE
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NO.	DATE	ISSUE

DRAWING TITLE:  
**PARTIAL SECTION & ELEVATION MARKET FACADE**

DRAWING NO:  
**\*A5.60**



**KEY NOTES - ELEVATIONS / SECTIONS**

- 1A GLASSFIBER REINFORCED CONCRETE PANEL COLOR 1 - LIGHT GREY TONE
- 1B GLASSFIBER REINFORCED CONCRETE PANEL COLOR 2 - MEDIUM GRAY TONE VERTICAL
- 1C SMOOTH TROWELED STUCCO LESS THAN 50% OF BUILDING IN COMPLIANCE WITH ZONING ORDINANCE 16.45.120(6)F
- 1D BRICK MASONRY VENEER TAN COLOR
- 2B GLASSFIBER REINFORCED CONCRETE PANEL -COLOR 3 - WHITE TONE
- 3 WOOD TONE METAL SIDING
- 4 DECORATIVE SCREEN / PANELS TYPE-1
- 5 WINDOW FRAMES - ARCHITECTURAL BRONZE COLOR, WHITE, OR TAN
- 6 ARCHITECTURAL CONCRETE - BOARDFORM AESTHETIC
- 7 ARCADE COLUMNS - MEDIUM GRAY TONE
- 8 PAINTED MURAL ON CONCRETE WALL
- 9 METAL CAPPED WINDOW POST - WOOD TONE
- 10 GLAZING PER WILLOW VILLAGE BIRD-SAFE DESIGN STANDARDS, TBD
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- 12 SCULPTURAL WOOD SCREENING
- 13 GLASS WIND SCREEN WITH BIRD-SAFE TREATMENT

PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
Architectural Control Package - Parcel 2  
Menlo Park, CA

SCALE: As indicated  
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DATE	ISSUE
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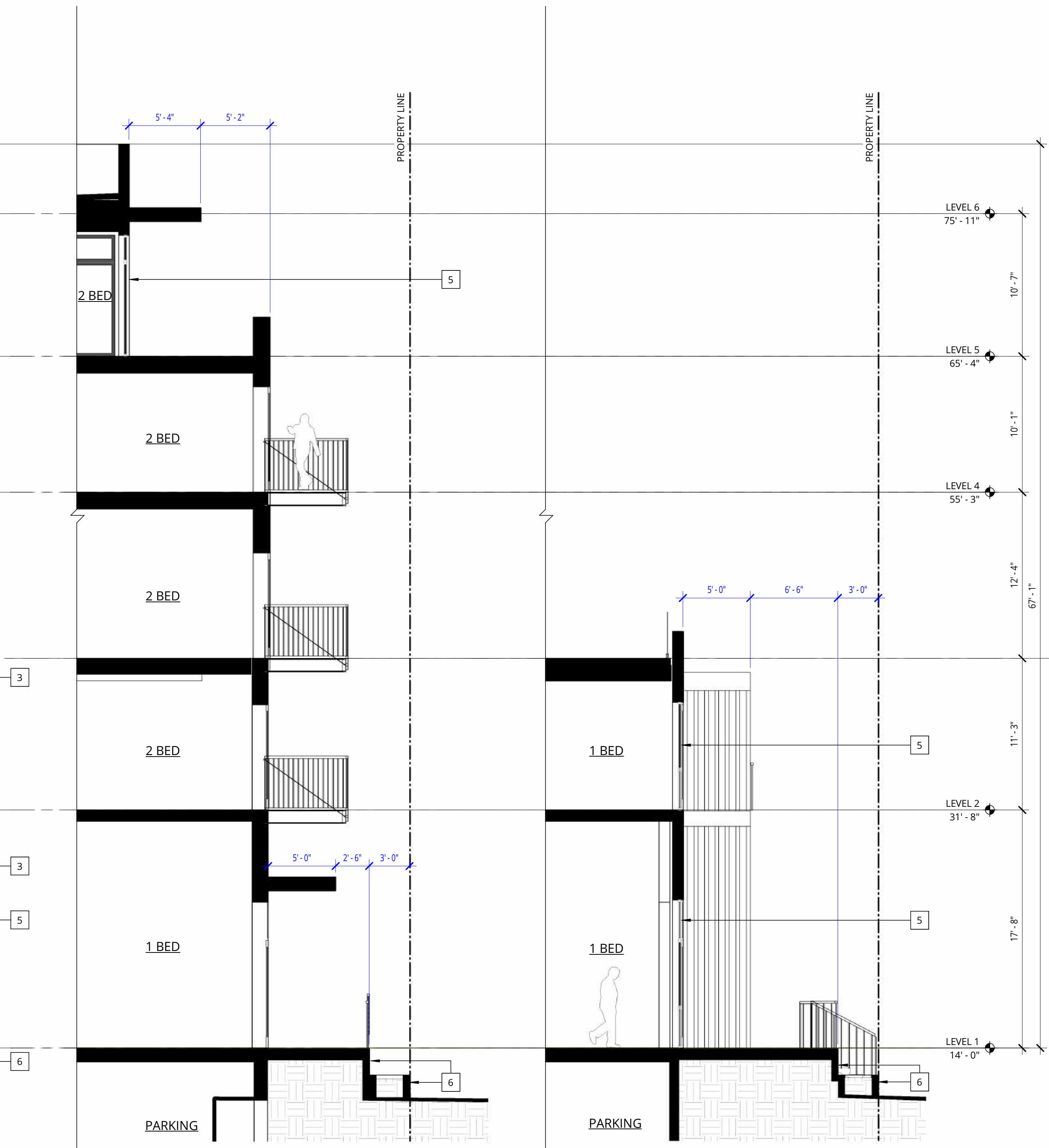
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NO.	DATE	ISSUE

DRAWING TITLE:  
**PARTIAL SECTION & ELEVATION SOUTH UNITS**

DRAWING NO:  
**\*A5.61**

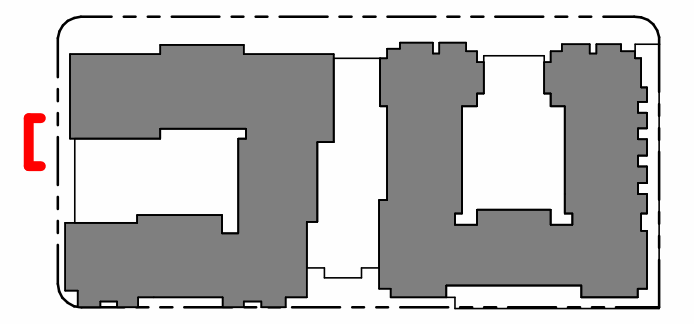


**1** SOUTH ELEVATION - PARK ST.  
3/16" = 1'-0"



**2** SECTION - PARK @ WILLOW  
3/16" = 1'-0"

**3** SECTION - PARK @ COURTYARD  
3/16" = 1'-0"



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### KEY NOTES - ELEVATIONS / SECTIONS

- 1A GLASSFIBER REINFORCED CONCRETE PANEL COLOR 1 - LIGHT GREY TONE
- 1B GLASSFIBER REINFORCED CONCRETE PANEL COLOR 2 - MEDIUM GRAY TONE VERTICAL
- 1C SMOOTH TROWELED STUCCO LESS THAN 50% OF BUILDING IN COMPLIANCE WITH ZONING ORDINANCE 16.45.120(6)F
- 1D BRICK MASONRY VENEER TAN COLOR
- 2B GLASSFIBER REINFORCED CONCRETE PANEL -COLOR 3 - WHITE TONE
- 3 WOOD TONE METAL SIDING
- 4 DECORATIVE SCREEN / PANELS TYPE-1
- 5 WINDOW FRAMES - ARCHITECTURAL BRONZE COLOR, WHITE, OR TAN
- 6 ARCHITECTURAL CONCRETE - BOARDFORM AESTHETIC
- 7 ARCADE COLUMNS - MEDIUM GRAY TONE
- 8 PAINTED MURAL ON CONCRETE WALL
- 9 METAL CAPPED WINDOW POST - WOOD TONE
- 10 GLAZING PER WILLOW VILLAGE BIRD-SAFE DESIGN STANDARDS, TBD
- 11 MECHANICAL SCREENING PER MENLO PARK MUNICIPAL CODE 16.08.095, TYP. - SOLID METAL PANEL WHERE REQUIRED FOR ACOUSTIC PERFORMANCE, OTHERWISE PERFORATED METAL PANEL
- 12 SCULPTURAL WOOD SCREENING
- 13 GLASS WIND SCREEN WITH BIRD-SAFE TREATMENT

PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
Architectural Control Package - Parcel 2  
Menlo Park, CA

SCALE: As indicated  
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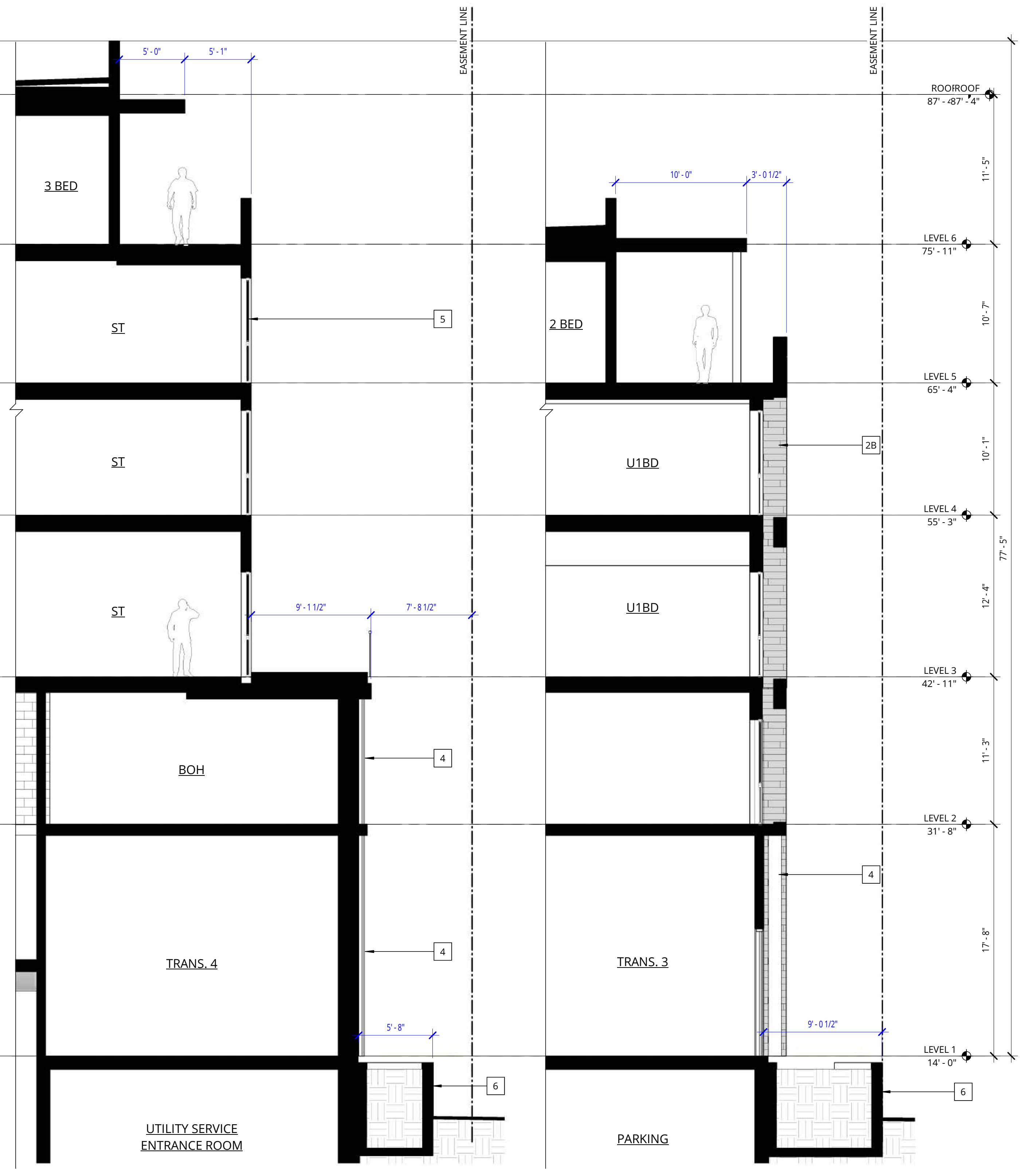
REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:  
**PARTIAL SECTION & ELEVATION WILLOW**

DRAWING NO:  
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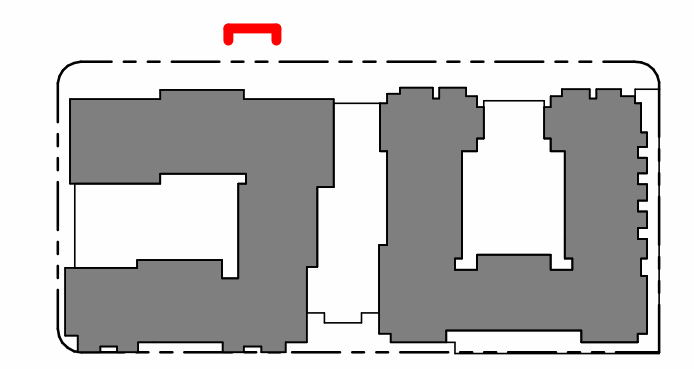


**1 WEST ELEVATION - WILLOW ROAD**  
3/16" = 1'-0"



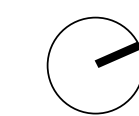
**2 SECTION - WILLOW @ TRANSFORMERS 1**  
3/16" = 1'-0"

**3 SECTION - WILLOW @ TRANSFORMERS 2**  
3/16" = 1'-0"



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PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
 Architectural Control Package - Parcel 2  
 Menlo Park, CA

SCALE:  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. OR SIZE CALIBRATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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DATE	ISSUE
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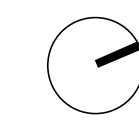
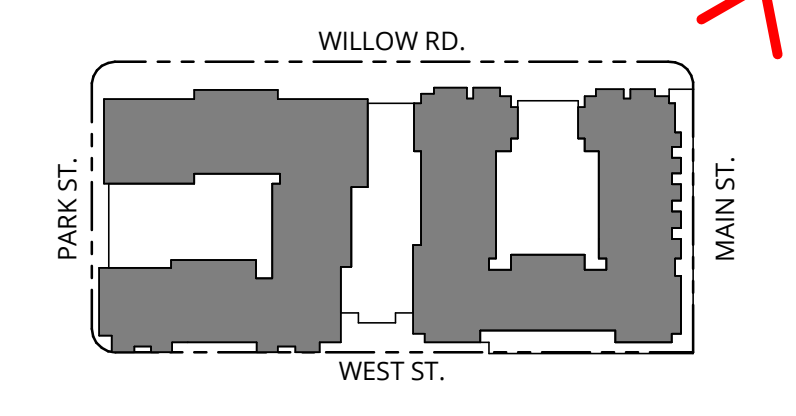
REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:  
**PERSPECTIVE - SW CORNER**

DRAWING NO:  
**\*A6.01**



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PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
 Architectural Control Package - Parcel 2  
 Menlo Park, CA

SCALE:  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

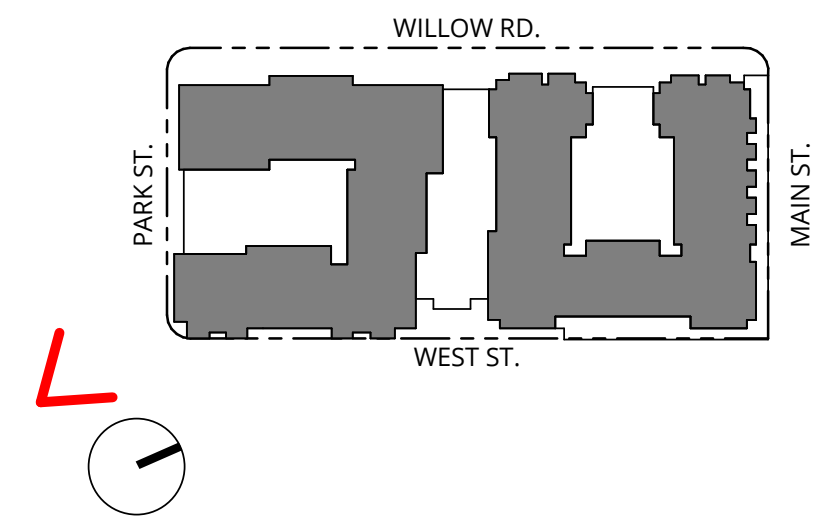
MILESTONES	
DATE	ISSUE
05/22/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:  
**PERSPECTIVE - NW CORNER**

DRAWING NO:  
**\*A6.02**





PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
 Architectural Control Package - Parcel 2  
 Menlo Park, CA

SCALE:  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. OR SIZE CALIBRATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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DATE	ISSUE
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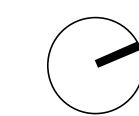
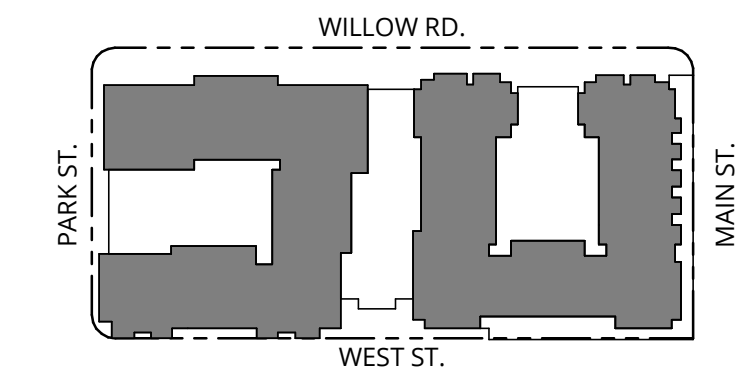
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**PERSPECTIVE - SE CORNER**

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PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
Architectural Control Package - Parcel 2  
Menlo Park, CA

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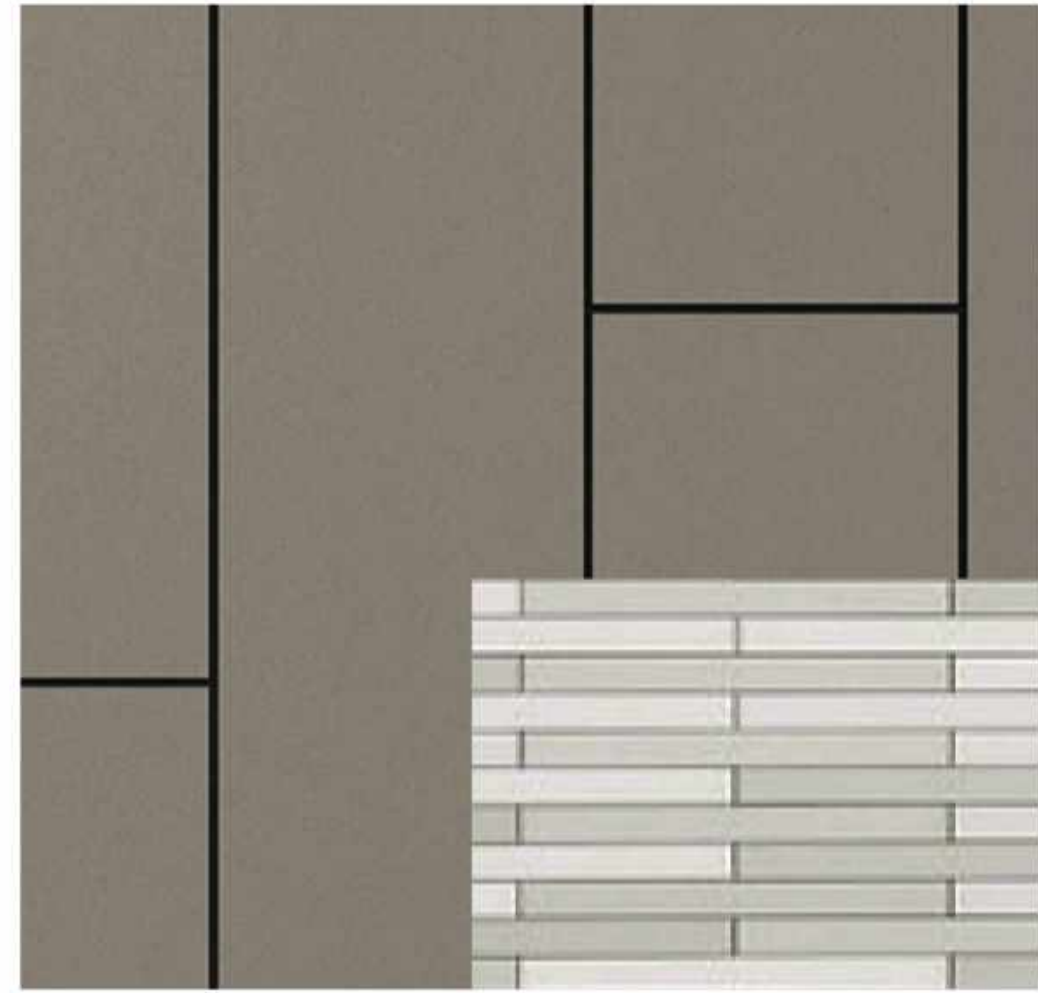
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**PERSPECTIVE - NE  
CORNER**

DRAWING NO:  
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1: Glassfiber Reinforced Concrete Panel



7: Wood Details, Soffits, and Trim



2: Glassfiber Reinforced Concrete Panel



7: Wood Details, Soffits, and Trim



3: Wood Tone Metal Siding



5: Window Frame Color - Bronze/Tan/White



7: Wood Details, Soffits and Trims



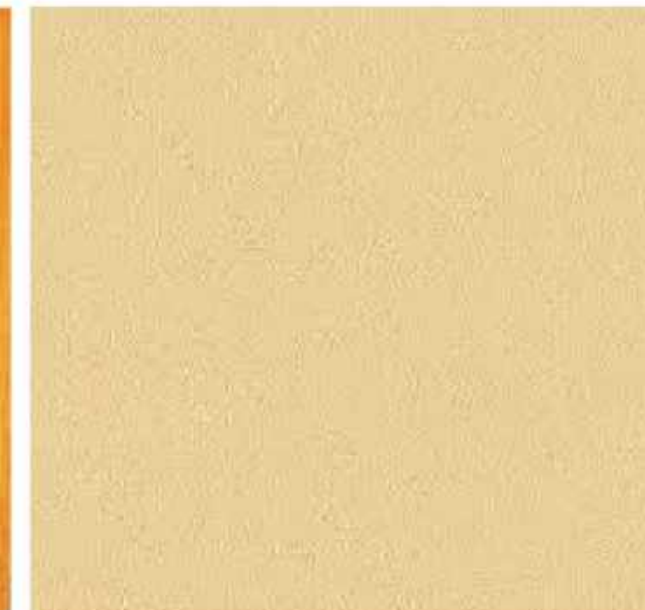
6: Architectural Concrete



4: Metal Screening



4: Metal Screening



8: Smooth Trowel Stucco - Tan Tone



10: Brick Masonry Veneer



8: Smooth Trowel Stucco - Medium Tone



9: Roof Mechanical Screen - Aluminum

Parcel 2 Preliminary Exterior Materials

1: Glassfiber Reinforced Concrete Panel  
Panel Color No1 - Light Gray tone  
Panel Color No2 - Medium Gray tone  
Manufacturer TBD (reference image attached) Similar to OKO Skin

2: Glassfiber Reinforced Concrete Panel  
Color No1 - Medium Tan tone  
Color No2 - Light Tan tone  
Manufacturer TBD (reference image attached) Similar to OKO Skin

3: Wood Tone Metal Siding  
Panel Color - Tan Tone  
Manufacturer TBD (reference image attached)

4: Metal Screening  
Rust/Dark Bronze/Cor-ten Steel Tones  
Manufacturer TBD (reference image attached)

5: Window Frames  
Architectural Bronze/Tan/White Color  
Manufacturer TBD (reference image attached)

6: Architectural Concrete  
Boardform Aesthetic form  
Manufacturer TBD (reference image attached)

7: Wood or Wood-Like Composite Material  
Details, Soffits and Trim  
Framing Members and Trim  
Framing Members at Screens  
4" Tongue and Groove Plank  
Supplier TBD (reference image attached)

8: Smooth Trowel Stucco  
Interior facing courtyard walls  
Light/Medium Gray and Tan Tones  
Supplier TBD (reference image attached)

9: Roof Mechanical Screen - Aluminum

10: Brick Masonry Veneer  
Medium Tan Tone Color  
Manufacturer TBD (reference image attached)

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**R-MU Development Regulations**

Note: Projects within the plan area will follow the standards prescribed for bonus level development.

Requirement	Reference	Standard	Proposal / Notes	Compliance
Minimum Setback at Street	16.45.050	Minimum linear feet building can be sited from property line adjacent to street: 0'	Proposed project maintains a minimum setback of 0'. See ground floor setback diagram. There is a Public Service Easement along the Willow Road property line.	Complies
	16.45.120(1)	Measured from property line, or if there is a public access easement, from the back of the easement.		
Maximum Setback at Street	16.45.050	Maximum linear feet building can be sited from property line adjacent to street: 25'	Proposed project only sets back further than 25' at the West St. garage entry. See response to Build-To-Area Requirement below.	Complies
	16.45.120(1)			
Minimum interior side and rear setbacks	16.45.050	Minimum linear feet building can be sited from interior and rear property lines: 10'  See 16.45.120(5) when paseo is required. Interior side setback may be reduced to zero feet for the entire building mass where there is retail frontage.		N/A
Height	16.45.050	Average Height Limit: 52.5 ft, Maximum Height Limit: 70'  "Height" is defined as average height of all buildings on one site, where a maximum height cannot be exceeded. Maximum height does not include roof-mounted equipment and utilities or parapets used to screen mechanical equipment. The maximum height allowed for rooftop mechanical equipment is 14' except for elevator towers and associated equipment, which may be 20'. Properties within the flood zone or subject to flooding and sea level rise are allowed a 10' increase in height and maximum height.	Proposed project is in a flood zone therefore: Average height limit is 52.5' + 10' = 62.5' Maximum height limit is 70'+10' = 80' Proposed maximum height is 78'-2" Proposed average height is 60.82' Please see Building Height Analysis Plan on A9.05.	Complies

**R-MU Parking Standards**

Requirement	Reference	Standard	Proposal / Notes	Compliance
Residential Units Car Parking	16.45.080, WVMP 2.1(A)	Per WVMP Section 2.1(A) residential parking will be provided at one space per unit, superseding 16.45.080 Parking Requirements.	Please see Parking Count Diagram on A9.14	Complies
Residential Units Bike Parking	16.45.080, 16.45.120(7) and best practice standards in Association of Pedestrian and Bicycle Professionals Bicycle Parking Guidelines	Minimum 1.5 long term bike parking space per unit; 10% additional short-term for guests	Please see Parking Count Diagram on A9.14	Complies
Retail and Eating/Drinking Establishments Car...	16.45.080, WVMP 2.1(A)	Minimum 2.5 spaces/1,000 sq. ft. Maximum 3.3 spaces/1,000 sq. ft.	Please see Parking Count Diagram on A9.14	Complies
Retail and Eating/Drinking Establishments Bike Parking	16.45.080, 16.45.120(7) and best practice standards in Association of Pedestrian and Bicycle Professionals Bicycle Parking Guidelines	1 per 5,000sf of gross floor area. 20% for long term and 80% for short term.	Please see Parking Count Diagram on A9.14	Complies

**R-MU Design Standards**

All new construction in R-MU districts is subject to architectural control. Design standards may be modified subject to approval of a use permit or a conditional development permit. Projects within the plan area will follow the standards prescribed for bonus level development.

Reference	Standard	Proposal / Notes	Compliance
<b>Relationship to the Street</b>			
16.45.120(1)	<b>Build-To Area Requirement</b>	Minimum percentage of street frontage between the minimum and maximum setback lines.  If fronting a Local Street: 40%.  If fronting a Boulevard, Thoroughfare, Mixed Use Collector, or Neighborhood Street: 60% minimum.	Please see Building Frontage and Setbacks diagram on A9.16  Complies
	<b>Frontage Landscaping</b>	Percentage of area between property line and face of building devoted to ground cover and vegetation. Setback areas adjacent to active ground floor uses are excepted.  If fronting a Local Street: Minimum 40%, 50% of which shall provide on-site infiltration of stormwater runoff.  If fronting a Boulevard, Thoroughfare, Mixed Use Collector, or Neighborhood Street then 25% minimum, 50% of which should provide on-site infiltration of stormwater runoff.	Please see Building Frontage and Setbacks diagram on A9.16  Complies
	<b>Frontage Uses</b>	Allowable frontage uses. Nonresidential uses shall be a minimum of 50' in depth.  If fronting a Local Street: No restrictions	Nonresidential uses comply. All non-landscaped setback areas provide pedestrian circulation or access to vehicle, bike parking, or access to retail. Please see Building Frontage and Setbacks diagram on A9.16  Complies
	<b>Surface Parking Along Street Frontage</b>	Permitted if set back appropriately. The maximum percentage of linear frontage of property adjacent to the street allowed to be off-street surface parking:  If fronting a Local Street: Maximum of 35%  If fronting a Boulevard, Thoroughfare, Mixed Use Collector, or Neighborhood Street then Maximum of 25%.	No surface parking is proposed.  Complies
	<b>Minimum Surface Parking Setback</b>	Minimum dimension property line to surface parking: 20'.	No surface parking is proposed.  Complies
<b>Building Mass and Scale</b>			
16.45.120(2)	<b>Base Height</b>	The maximum height of a building at the minimum setback at street or before the building steps back the minimum horizontal distance required. Properties within the flood zone or subject to flooding and sea level rise are allowed a 10' increase.  Base height: 45'	Please see Stepback Diagrams on A9.07 and A9.08.  Project will request a modification.
	<b>Minimum Stepback</b>	The horizontal distance a building's upper story(ies) must be set back above the base height.  10' for a minimum of 75% of the building face along public streets.  Per 16.08.100 excavation into a required setback shall not be permitted unless a use permit for this purpose is obtained from the planning commission.	Please see Stepback Diagrams on A9.07 and A9.08.  Project will request a modification.
	<b>Building Projections</b>	The maximum depth of allowable building projections, such as balconies or bay windows, from the required stepback for portions of the building above the ground floor: 6'	Building projections are dimensioned on the sections, please see A5.01-A5.04  Complies.
	<b>Major Building Modulations</b>	A break in the building plane from the ground level to the top of the building's base height. Required on facades facing publicly...  Minimum of one recess of 15' wide by 10' deep per 200' of facade length.	Please see Modulation Diagrams on A9.09 and A9.10  Project will request a modification.
	<b>Minor Building Modulations</b>	Required on facades facing publicly accessible spaces. Parking is not allowed in the recess.  Minimum recess of 5' wide by 5' deep per 50' of facade length. Building Projections spaced no more than 50' apart with a minimum depth of 3' and width of 5' may satisfy this requirement in lieu of a recess.	Please see Modulation Diagrams on A9.09 and A9.10  Project will request a modification.

Reference	Standard	Proposal / Notes	Compliance
<b>Ground Floor Exterior</b>			
16.45.120(3)	<b>Building Entrances</b>	Minimum ratio of entrances to building length along a public street or paseo. One entrance every 100 feet of building length along a public street or paseo is required, minimum one along each length. Entrances at a building corner may be used to satisfy that requirement for both frontages. Stairs must be located in locations convenient to building users.	Please see Building Entrance Diagram on A9.11  Project will request a modification.
	<b>Ground Floor Transparency</b>	The minimum percentage of the ground floor facade (finished floor to ceiling) that must provide visible transparency. Windows shall not be opaque or mirrored. For the purpose of this chapter, "commercial" is defined as uses enumerated in this chapter, except office and research and development.  30% for residential uses, 50% for commercial uses.	Please see Ground Floor Transparency Diagram on A9.13  Complies
	<b>Minimum Ground Floor Height Along Street Frontage</b>	The minimum height between the ground-level finished floor to the second-level finished floor along the street. Where individual residential units' entries face a street finish floor shall be elevated 24" minimum above sidewalk level.  10' for residential uses; 15' for commercial uses.	Proposed finish floor level of residential units facing streets is 24" above sidewalk level. Minimum height is 10' for residential units. Minimum height for commercial use is over 15'.  Complies
	<b>Garage Entrances</b>	Width of garage door entry/door along street frontage. Garage entrances must be separated by a minimum of 100 feet to ensure all entrances/exits are not grouped together or resulting in an entire stretch of sidewalk unsafe and undesirable for pedestrians.  Maximum 12' opening for one-way entrance; maximum 24' opening for two-way entrance.	Please see Garage Entrance Diagram on A9.12  Project will request a modification.
	<b>Awnings, Signs, and Canopies</b>	The maximum depth of awnings, signs, and canopies that project horizontally from the face of the building. Horizontal projections shall not extend into the public right-of-way. A minimum vertical clearance of 8' from finished grade to the bottom of the projection is required.  Maximum depth: 7'	Building projections are dimensioned on the sections, please see A5.01-A5.04  Complies
<b>Open Space</b>			
16.45.120(6)	<b>B</b>	Quasi-Public and Private Open Spaces include patios, balconies, roof terraces, and courtyards.	
	<b>C</b>	i. Residential developments shall provide 100sf of common open space or 80sf of private open space per unit. Private open space shall have a minimum dimension of 6' by 6'. This counts towards the required 25% lot area of open space.  ii. In the case of a mix of private and common open space, common open space shall be provided at a ratio of 1.25sf for each 1sf of private open space that is not provide.  iii. For projects with more than 100 units, a common space with a minimum dimension of 40' and a minimum area of 1,600sf shall be provided.	Proposed project includes a mix of common open space and private open space. Please see Open Space Summary on Sheet A9.06. Public Open Space is documented in the Master Plan plan set.  Complies  Complies
	<b>D</b>	i. Open Space shall interface with adjacent buildings via direct connections through doors, windows, and entryways.  ii. Open Space shall be integrated as part of the building modulation and articulation to enhance building facade and should be sited and designed to be appropriate for the size of the development and accommodate different activities, groups, and...  iii. Open Space shall include: sustainable stormwater features, a minimum landscaping bed no less than 3' in length or width and 5' in depth for infiltration planting, and native species able to grow to their maximum size without shearing.	All proposed open space has direct connections to the building through windows or doors.  Project will comply.  Please see Landscape sheets L.1.11-L.1.13, L.1.31-L.1.33, and L.2.01-L.3.03.  Complies  Complies
	<b>E</b>	All exterior landscaping counts towards open space requirements.	Applies to 25% total open space requirement. See A9.06.  Complies
	<b>Building Design</b>		
16.45.120(6)	<b>A</b>	Main building entrances shall face the street or a publicly accessible courtyard. Building and/or frontage landscaping shall bring the human scale to the edges of the street. Retail banking frontage shall be parallel to the street.	Main building entrance for retail faces Main Street. Main building entrance for north residential building faces West Street. Main building entrance for south residential building faces Park Street. Main entrances for parking occur on Willow Road and West Street.  Complies
	<b>B</b>	Utilities including meters, backflow prevention devices, etc., shall be concealed or integrated into the building design to the extent feasible, as determined by the public works director.	Project will comply. Please see L.2.10 for proposed backflow device screening.  Complies
	<b>C</b>	Projects shall include dedicated, screened, and easily accessible space for recycling, compost, and solid waste storage and collection.	Trash room will be internal, fully hidden from public view.  Complies
	<b>D</b>	Trash and storage shall be enclosed and attractively screened from public view.	Complies
	<b>E</b>	Materials and colors of utility, trash, and storage enclosures shall match or be compatible with the primary building.	All proposed utility, trash, and storage enclosures will be internal to the building.  Complies
	<b>F</b>	Building materials shall be durable and high quality to ensure adaptability and reuse over time. Glass paneling and windows shall be used to invite outdoor views and introduce natural light into interior spaces. Stucco shall not be used on more than fifty per-cent (50%) of the building facade. When stucco is used, it must be smooth troweled.	Project will comply. See proposed materials and colors on A7.01. Stucco area calculations are provided on A9.17 and A9.17B  Complies
	<b>G</b>	Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four foot minimum height modulation to break visual monotony and create a visually interesting skyline as seen from public streets. The variation of the roofline's horizontal distance should match the required modulations and setbacks.	Please see Roof Modulation Diagram on A9.15  Project will request a modification.
	<b>H</b>	Rooftop elements, including stair and elevator towers, shall be concealed in a manner that incorporates building color and architectural and structural design.	Please see rendered elevations on A4.01-A4.04, and 3D views on 6.01-A6.04 for proposed penthouse visibility, materiality, and color.  Complies
	<b>I</b>	Roof-mounted equipment shall meet the requirements of section 16.08.095  Section 16.08.95: Mechanical equipment, such as air conditioning equipment, ventilation fans, vents, ducting, or similar equipment, may be placed on the roof of a building; provided, that such equipment shall be screened from view as observed at an eye level horizontal to the top of the roof-mounted equipment, except for the SP-ECD district which has unique screening requirements, and all sounds emitted by such equipment shall not exceed fifty (50) decibels at a distance of fifty (50) feet from such equipment.	Roof mounted equipment will comply. Please see keynotes notes on A2.06-A2.07  Complies

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Access and Parking				
16.45.120(7)	A	Shared entrances to parking for nonresidential and residential uses shall be used where possible.	Proposed project has two parking entries that serve both residential and nonresidential uses.	Complies
	B	Service access and loading docks shall be located on local or interior access streets and to the rear of buildings, and shall not be located along a publicly accessible open space.	Retail loading dock is interior to the building and accessed through the internal parking garage. Service and loading to residential uses are internal and accessed through the parking garage.	Complies
	C	Above ground garages shall be screened or located behind buildings that are along public streets.	Ground floor level parking is internal to the building and masked by residential uses and screens	Complies
	D	Garage and surface parking access shall be screened or set behind buildings located along a publicly accessible open space...		Complies
	E	Surface parking lots shall be buffered from adjacent buildings by a minimum 6' of paved pathway or landscaped area.		Complies
	F	Surface parking lots shall be screened with landscaping features including a 20' deep landscaped area measured from the proper...	No surface parking is proposed.	Complies
	G	Surface parking lots shall be planted with at least one tree for every eight parking spaces. See planting diagram.		Complies
	H	Surface parking can be located along a paseo for a maximum of 40% of a paseo's length.		Complies
	I	Short-term bicycle parking shall be located within 50' of lobby or main entrance. Long-term bicycle parking facilities shall protect... i. Consistent with the latest edition of the Association of Pedestrian and Bicycle Professionals Bicycle Parking Guide ii. Designed to accommodate standard 6' bicycles iii. Paved or hardscaped iv. Accessed by an aisle in the front or rear of parked bicycles of at least 5'. v. At least 5' from vehicle parking spaces vi. At least 30" of clearance in all directions from any obstructions vii. Lit with no less than 1 foot candle of illumination at ground level viii. Space efficient bicycle parking such as double decker lift-assist and vertical bicycle racks are also permitted.	See Parking Count Diagram on A9.14.	Complies
	J	Pedestrian access shall be provided with a minimum hardscape width of 6' from sidewalks to all building entries, parking areas, and publicly accessible open spaces, and shall be clearly marke...	Pedestrian access is directly off of sidewalk.	Complies
	K	Entries to parking areas and other important destinations shall be clearly identified for all travel modes with such wayfinding features as marked crossings, lighting, and clear signage.	Project will comply.	Complies

**R-MU Green and Sustainable Building**

Requirement	Reference	Standard	Proposal / Notes	Compliance
Green Building	16.45.130(1)A-C	LEED Gold BD+C required for buildings over 100,000 gsf. Required to enroll in EPA Energy Star Building Portfolio Manager and submit documentation of compliance as required by the city.	Project will comply.	Complies
Energy	16.45.130(2)A	New construction projects will meet 100% of energy demand (electricity and natural gas) through any combination of the following measures: i. On-site energy generation ii. Purchase of 100% renewable electricity through Peninsula Clean Energy or Pacific Gas and Electric Company in an amount equal to the annual energy demand of the project. iii. Purchase and installation of local renewable energy generation within the city of Menlo Park in an amount equal to the annual energy demand of the project. iv. Purchase of certified renewable energy credits and/or certified renewable energy offsets annually in an amount equal to the annual energy demand of the project. If a local amendment to the California Energy Code is approved by the California Energy Commission (CEC), the following provision...	Project will comply.	Complies

Water Use Efficiency and Recycled Water	16.45.130(3)A	Single pass cooling systems shall be prohibited in all new buildings.	Project will comply.	Complies
	16.45.130(3)B	All new buildings shall be built and maintained without the use of well water.	Project will comply.	Complies
	16.45.130(3)C	All buildings 250,000sf or more in gross floor area shall prepare and submit a proposed water budget and accompanying calculations following the methodology approved by the city. The water budget shall account for the potable water demand reduction resulting from the use of an alternative water source for all city approved nonpotable applications. The water budget and calculations shall be reviewed and approved by the city's public works director prior to certification of occupancy and the building owner shall submit compliance data at intervals following occupation.	Project will comply.	Complies
	16.45.130(3)D	All buildings shall be dual plumbed for the internal use of recycled water.	Project will comply.	Complies
	16.45.130(3)E	All new buildings 250,000sf or more in gross floor area shall use an alternate water source for all city approved nonpotable applications. An alternative source may include, but is not limited to, treated nonpotable water such as graywater. If the city has not designated a recycled water purveyor and/or municipal recycled water is not available prior to planning project approval, applicants may propose conservation measures to meet the requirements of this section subject to approval of the city council.	Project will comply.	Complies
	16.45.130(3)F	Potable water shall not be used for dust control on construction projects.	Project will comply.	Complies
	16.45.130(3)G	Potable water shall not be used for decorative features unless the water recirculates.	Project will comply.	Complies
Hazard Mitigation and Sea Level Rise Resiliency	16.45.130(4)A	Per the Willow Village Master plan, minimum first floor finished floor level shall be 13' above sea level, which is consistent with 16.45.130(4)A requirement of 2' above Base Flood Elevation (BFE). Garage entrances will be graded to be above the 11' BFE.	Proposed ground floor level is 13'-3" above sea level. See Driveway Sections on A5.50	Complies
	16.45.130(4)B	Prior to building permit issuance all new buildings shall pay any required fee or proportionate fair share for the funding of sea level rise projects, if applicable.	Project will comply.	Complies
Waste Management	16.45.130(5)A	Applicants shall submit a zero-waste management plan to the city to show how they will reduce, recycle, and compost waste from the demolition, construction, and occupancy phases of the building. For the purposes of this chapter "zero waste" is defined as 90% overall diversion of nonhazardous materials from landfill and incineration wherein discarded materials are reduced, reused, recycled, or composted.	Project will comply.	Complies
Bird Friendly Design	16.45.130(6)A	No more than 10% of façade surface area shall have non-bird-friendly glazing.	Site specific bird safe report will be submitted under separate future cover.	Complies
	16.45.130(6)B	Bird-friendly glazing includes but is not limited to opaque glass, covering the outside surface of the glass with patterns, paneled glass with fenestration, frit, or etching patterns, and external screens over nonreflective glass. Highly reflected glass is not permitted.	Site specific bird safe report will be submitted under separate future cover.	Complies
	16.45.130(6)C	Occupancy sensors or other switch control devices shall be installed on nonemergency lights and shall be programmed to shut off during nonwork hours and between 10pm and sunrise.	Site specific bird safe report will be submitted under separate future cover.	Complies
	16.45.130(6)D	Placement of buildings shall avoid the potential funneling of flight paths towards a building façade.	Site specific bird safe report will be submitted under separate future cover.	Complies
	16.45.130(6)E	Glass skyways or walkways, freestanding (see-through) glass walls and handrails, and transparent building corners shall not be allowed.	Site specific bird safe report will be submitted under separate future cover.	Complies
	16.45.130(6)F	Transparent glass shall not be allowed at the rooflines of buildings, including in conjunction with roof decks, patios, and green roofs.	Site specific bird safe report will be submitted under separate future cover.	Complies
	16.45.130(6)G	Use of rodenticides shall not be allowed	Project will comply	Complies
	16.45.130(6)H	A project may receive a waiver from one or more of the items listed in subsections (6)A-F of this section, subject to submittal of a site specific evaluation from a qualified biologist and review and approval by the planning commission.	Not applicable.	N/A

**General Zoning Requirements**

Requirement	Reference	Standard	Proposal / Notes	Compliance
Solar Access	16.65.010	Neither architectural control nor a building permit shall be granted for the construction of a structure if such construction shall cause said structure to penetrate the solar envelope as established for the parcel on which the structure is located.	Project fits within the envelope established by the Master Plan.	Complies
Electric Vehicle Charging Stations	12.18.030 CGBC 4.106.4.2	Adopts amended California Green Building Code Section 4.106.4. Per 4.106.4.2: 10% of total number parking spaces at multifamily dwellings shall be electric vehicle charging spaces capable of supporting future electric vehicle charging stations, rounded up.	Please see Parking Count Diagram on A9.14.	Complies

PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE  
Architectural Control Package - Parcel 2  
Menlo Park, CA

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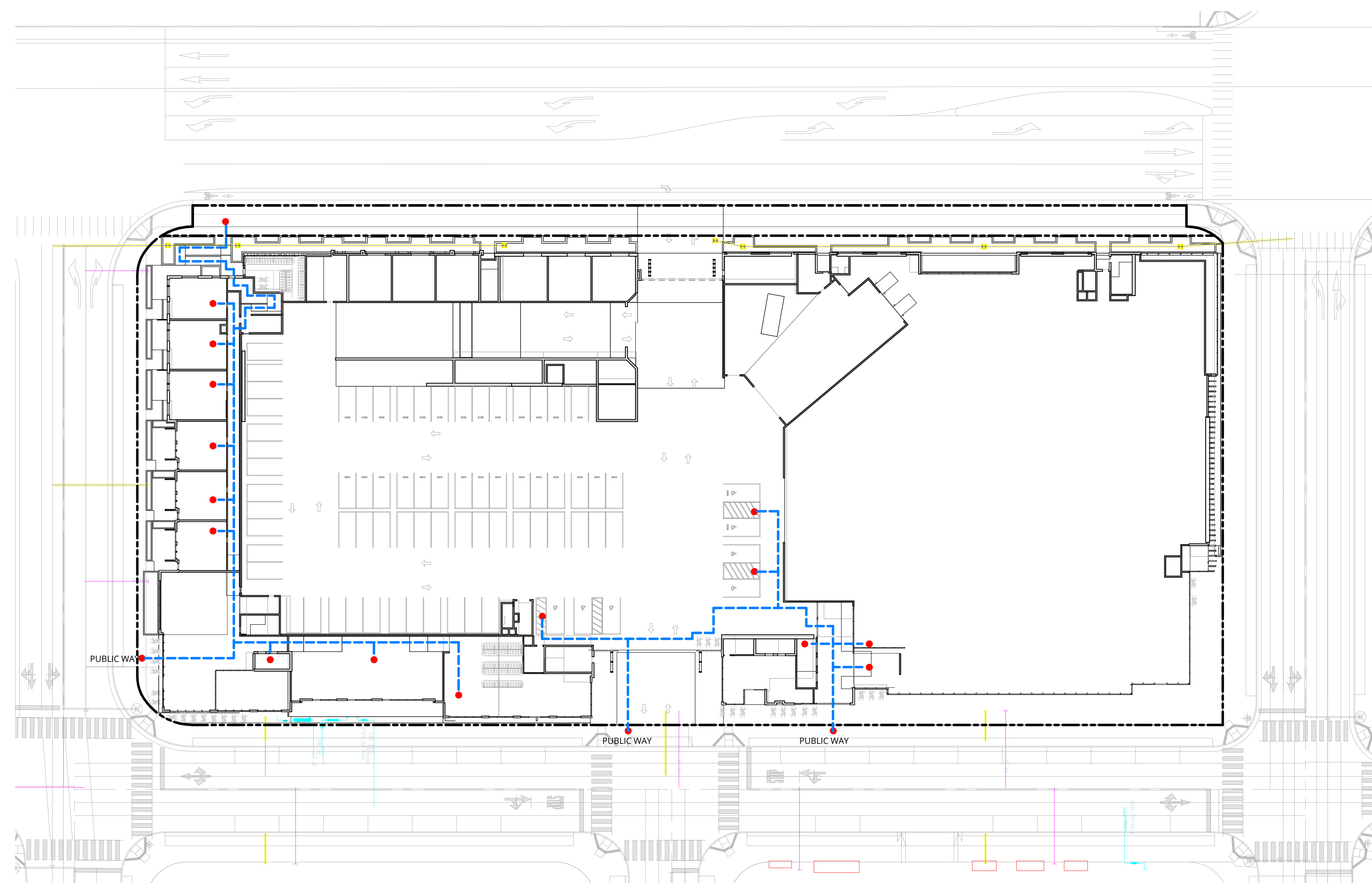
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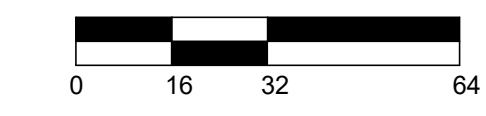
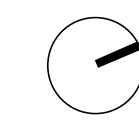
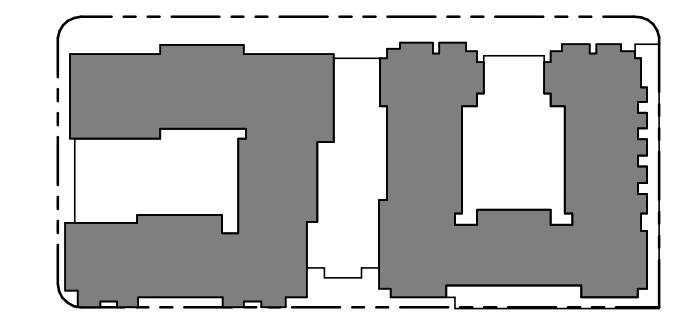
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--- ACCESSIBLE PATH OF TRAVEL



**ACCESSIBILITY DIAGRAM**

1/32" = 1'-0"



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PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
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

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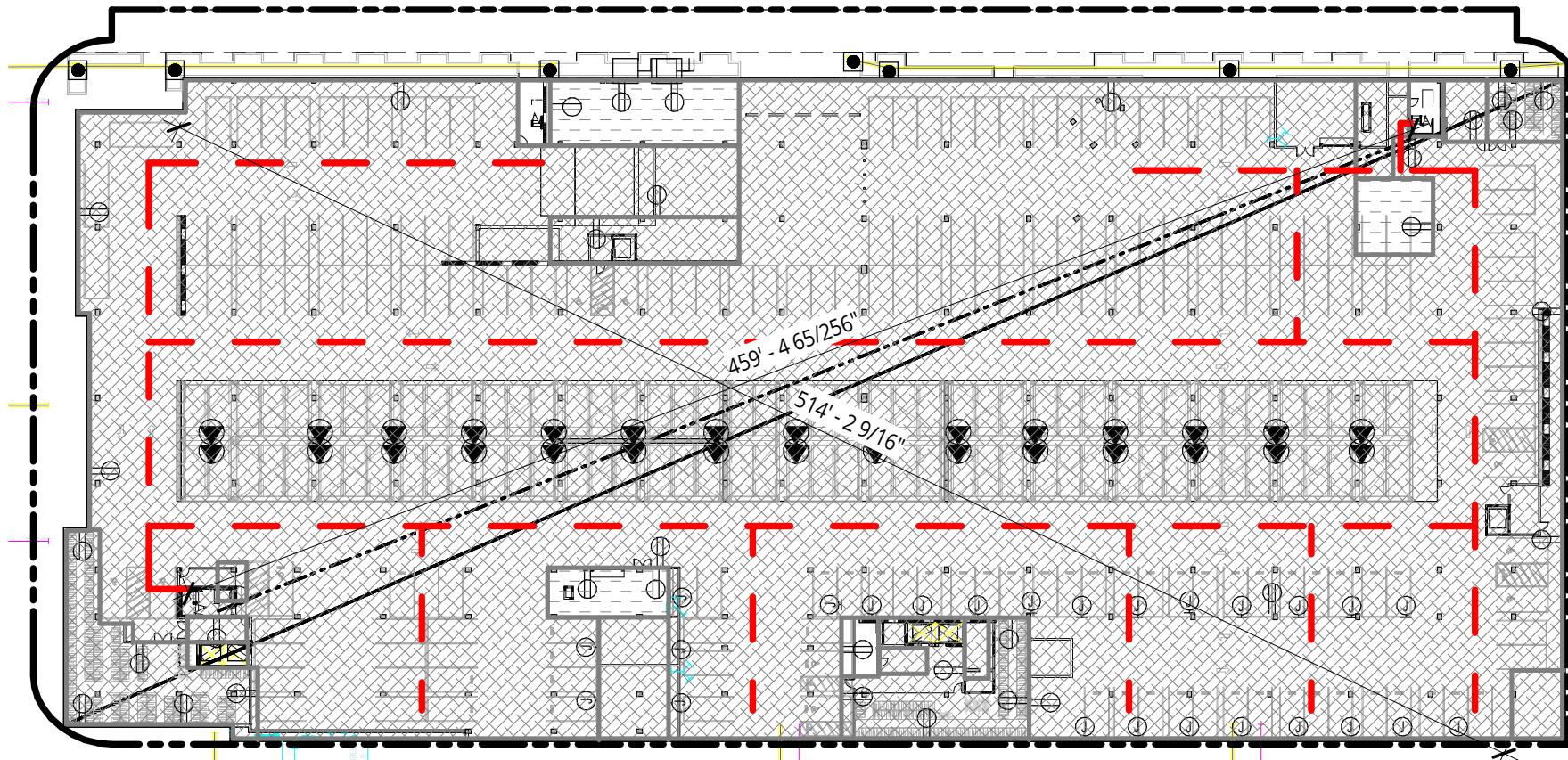
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DRAWING NO:  
**\*A9.01**

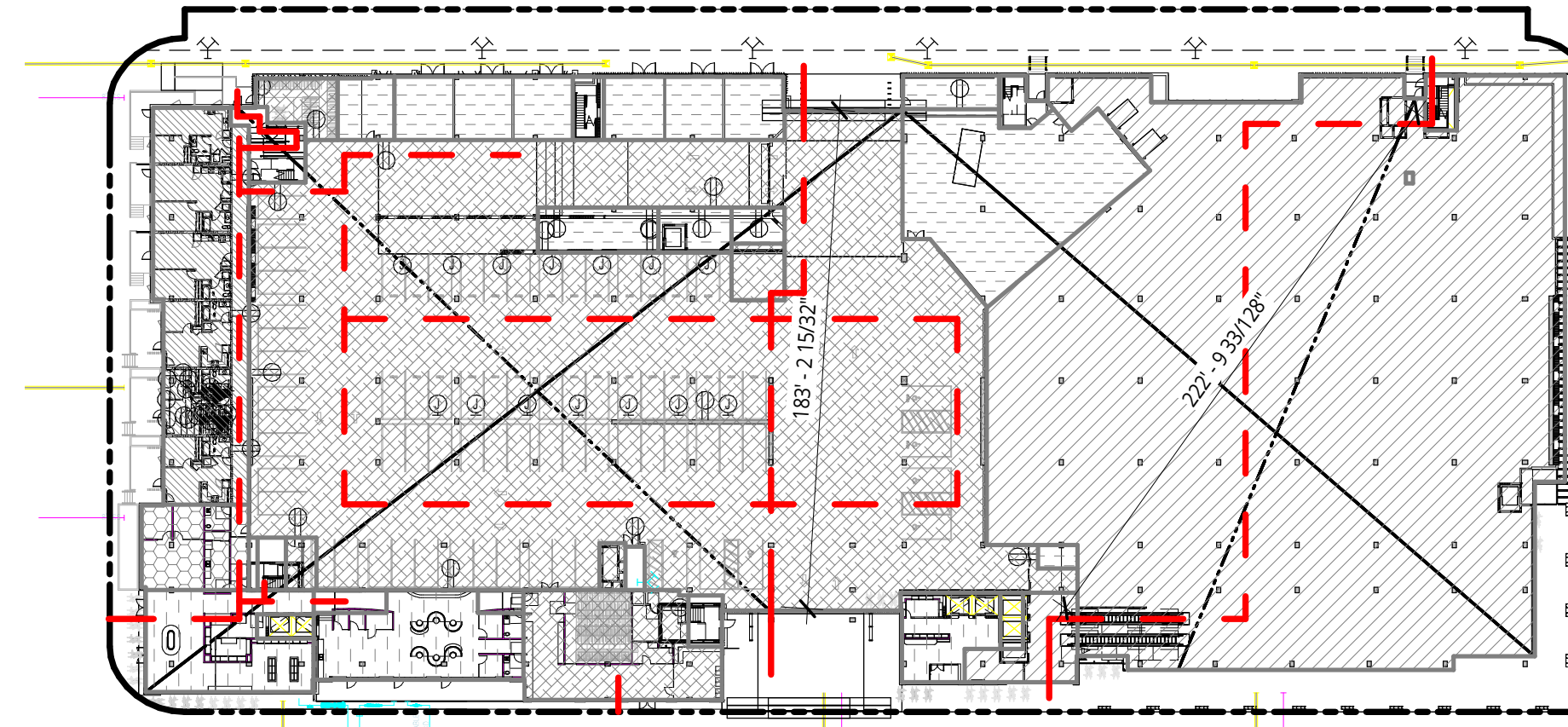


LEGEND

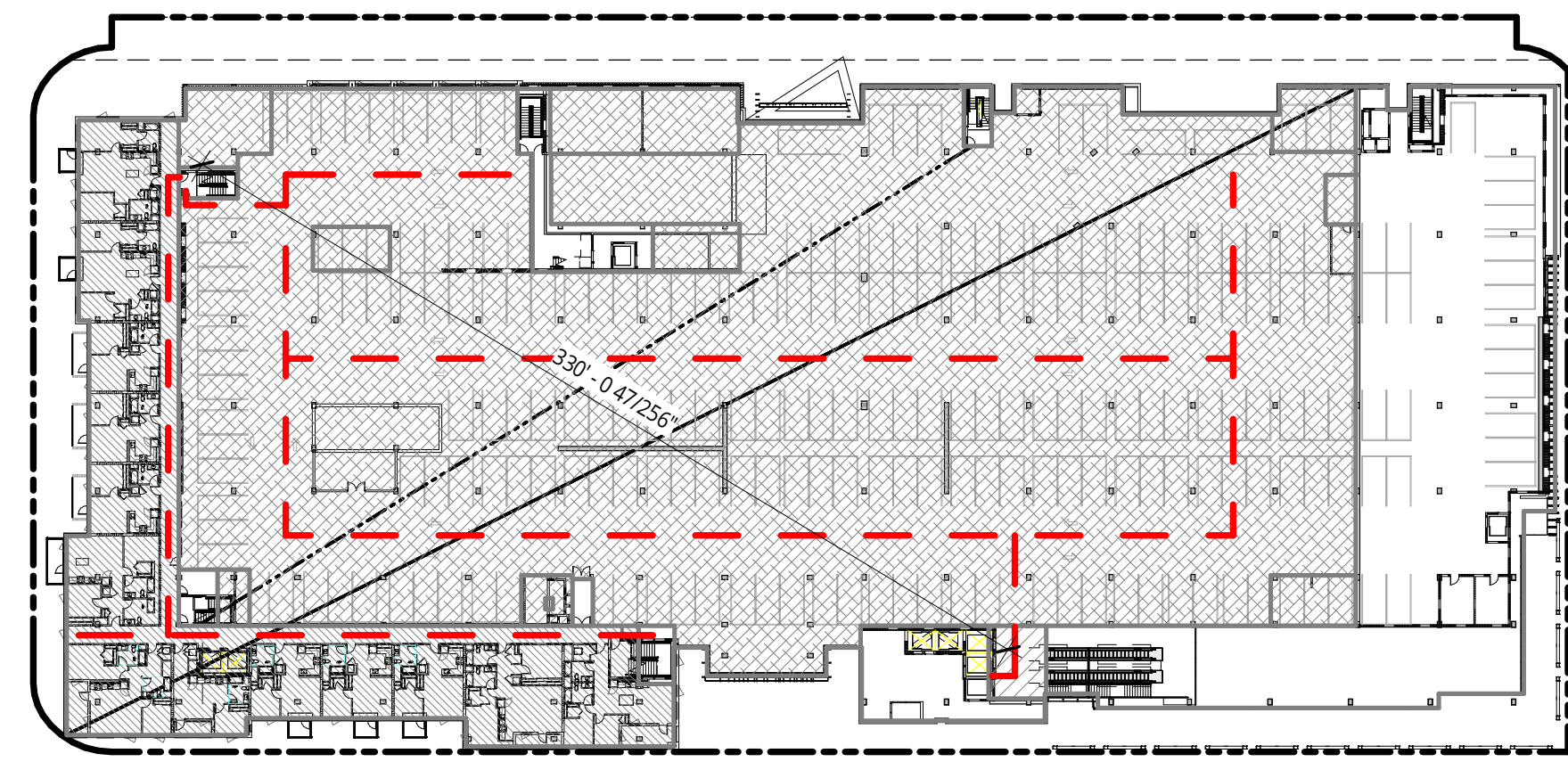
-  A-3
-  B
-  M
-  R-2
-  S-1
-  S-2
-  U
-  EXIT PATH OF TRAVEL



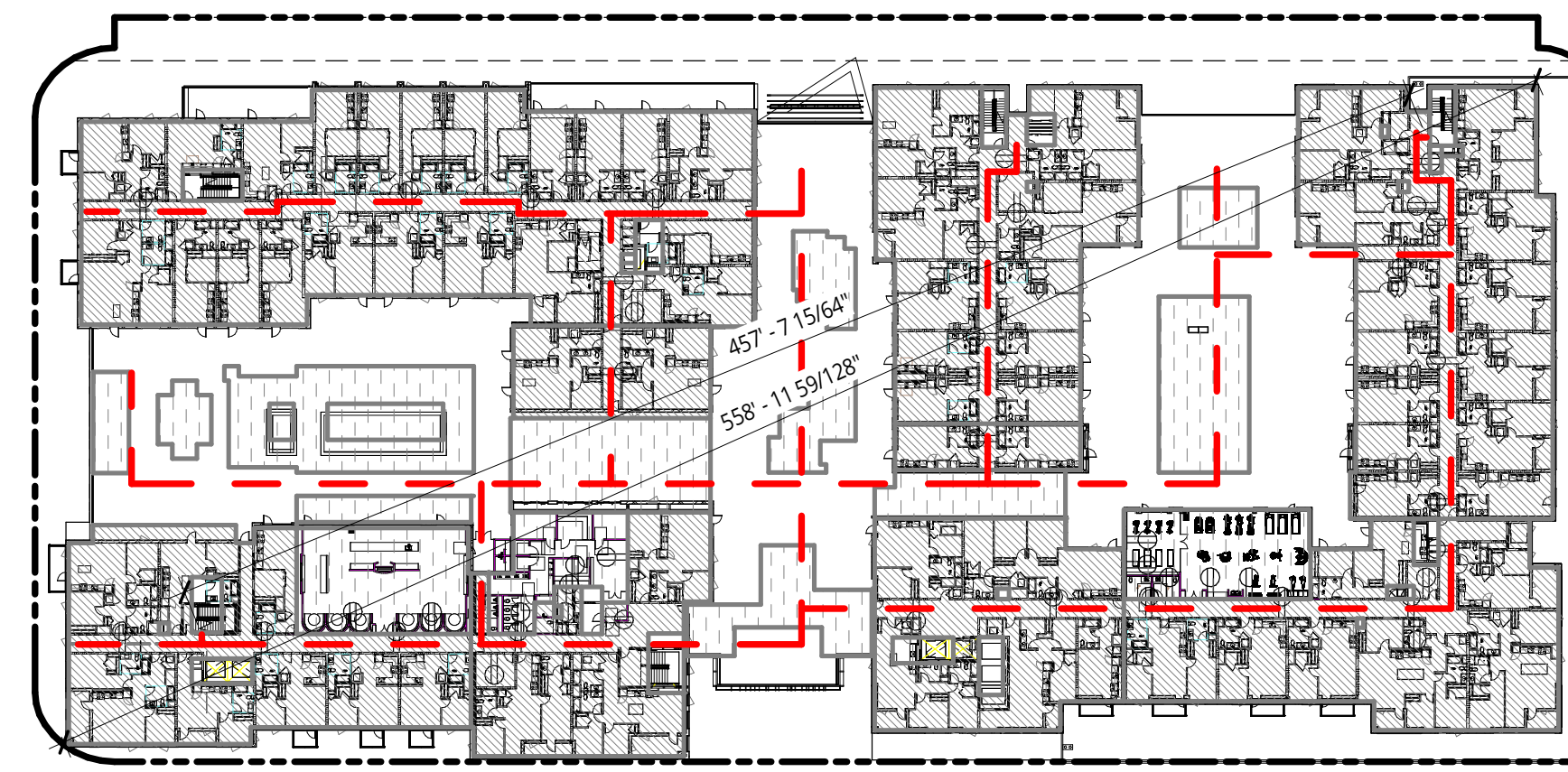
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1" = 60'-0"



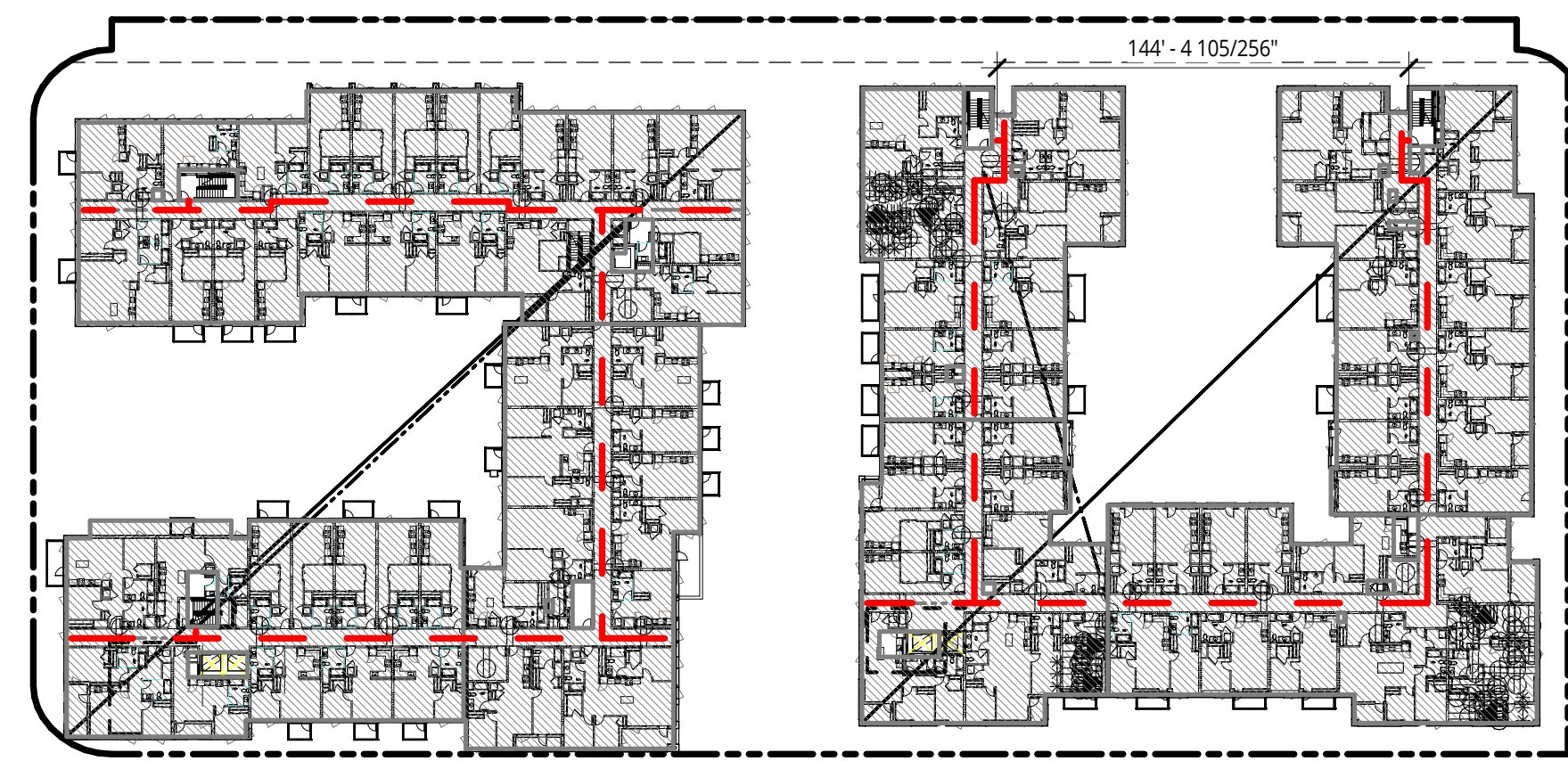
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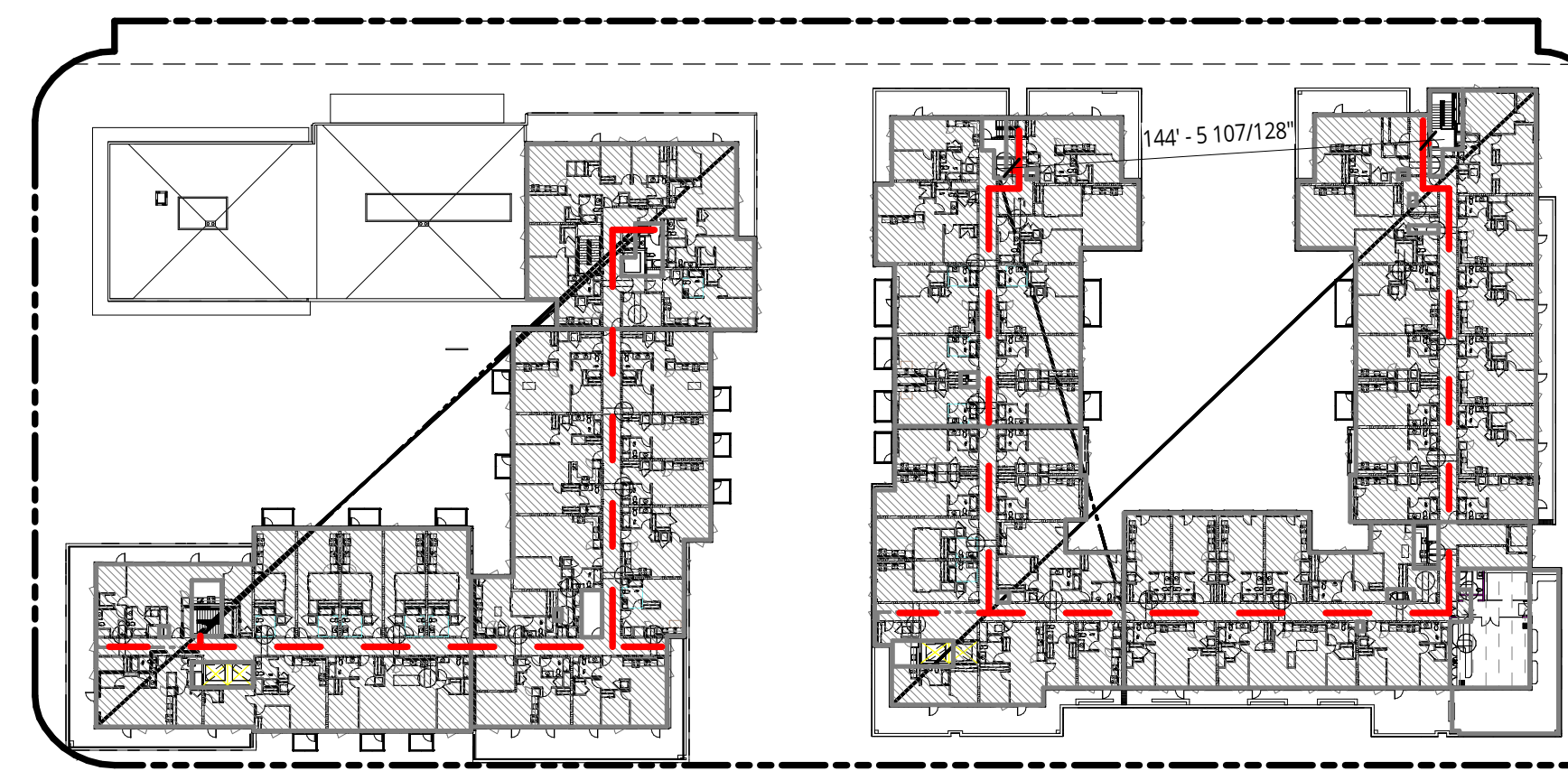
**2** LEVEL 2  
1" = 60'-0"



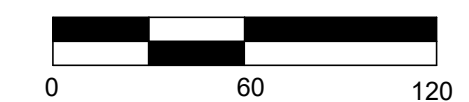
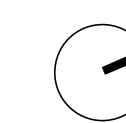
**3** LEVEL 3  
1" = 60'-0"



**4** LEVELS 4 - 5  
1" = 60'-0"



**6** LEVEL 6  
1" = 60'-0"



PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
Architectural Control Package - Parcel 2  
Menlo Park, CA

SCALE: As indicated  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

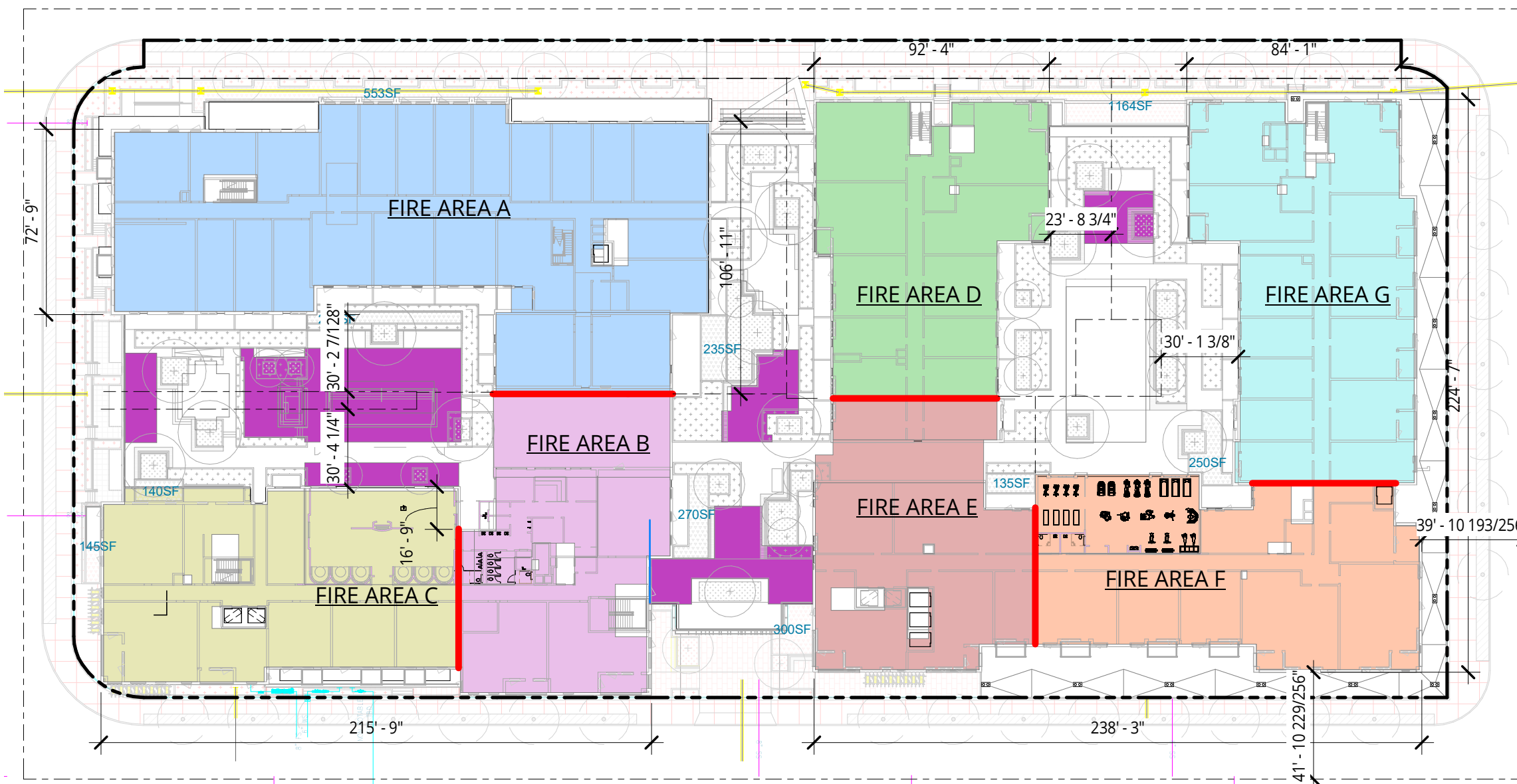
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DATE	ISSUE
05/22/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

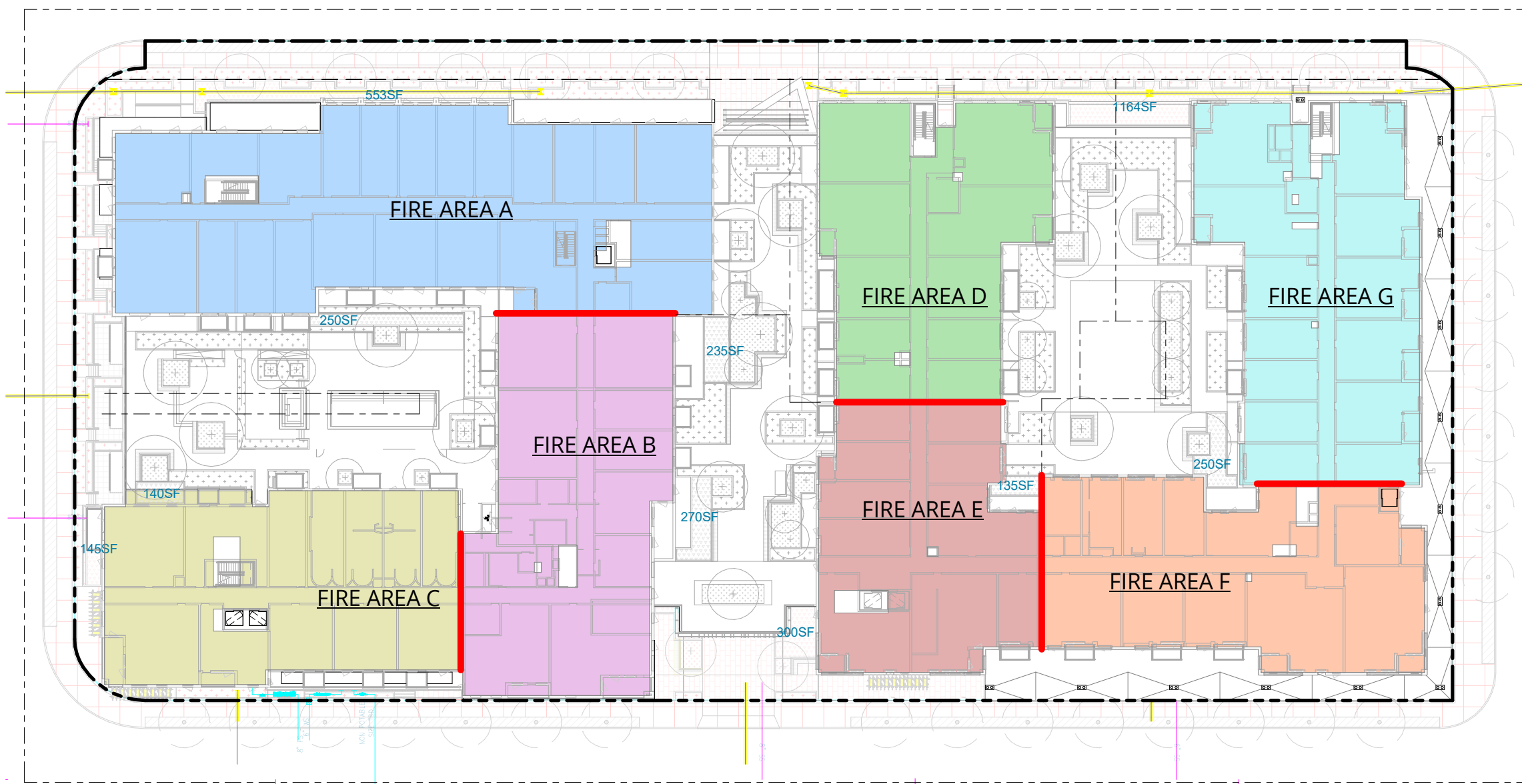
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**EXITING PLAN**

DRAWING NO:  
**\*A9.02**

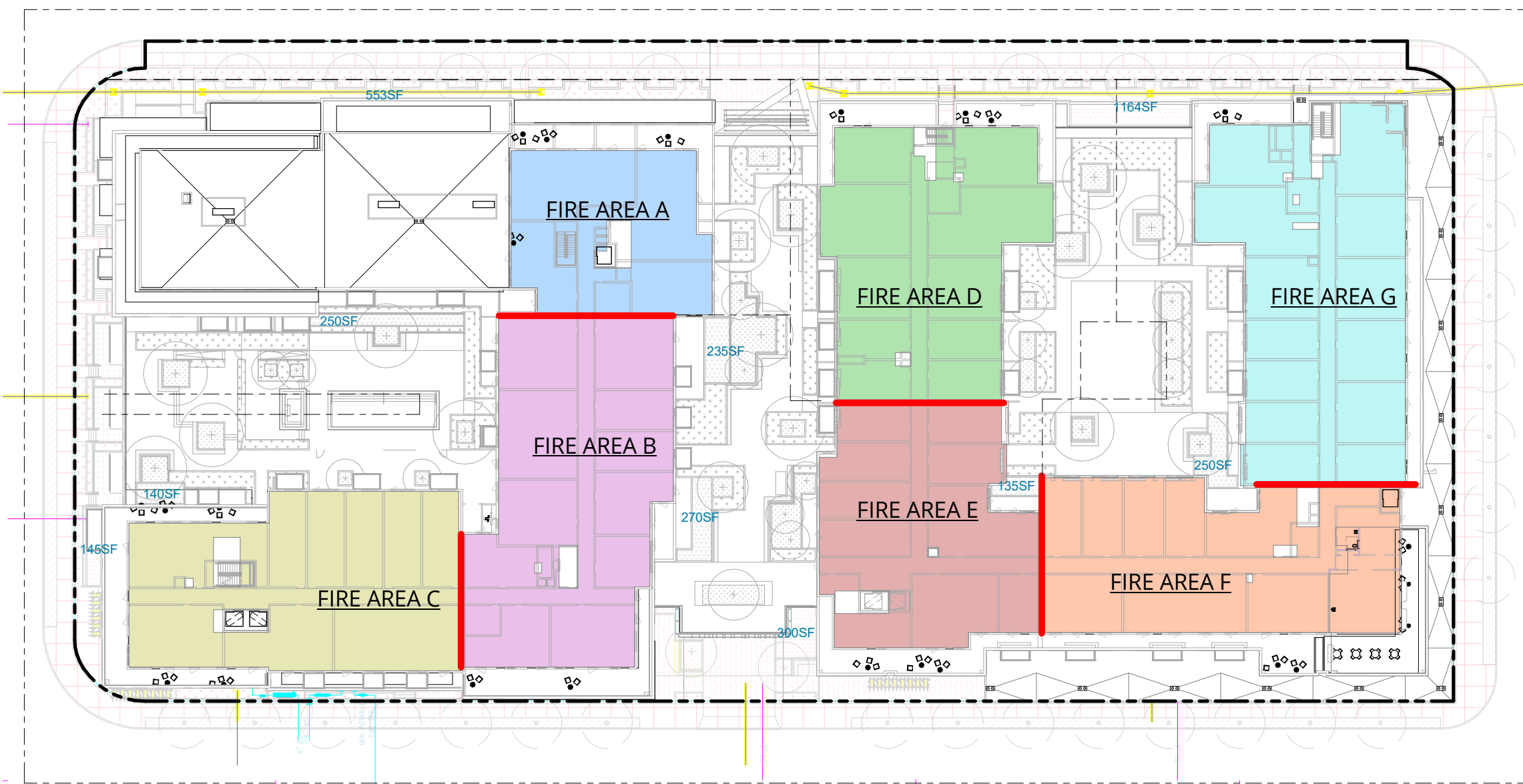




**LEVEL 3 - AREA SEPARATION PLAN**  
1" = 50'-0"



**LEVELS 4-5 - AREA SEPARATION PLAN**  
1" = 50'-0"



**LEVEL 6 - AREA SEPARATION PLAN**  
1" = 50'-0"

<b>FIRE AREA A</b>	<b>TYPE -IIIA - CBC 2019</b>
<b>OCCUPANCY TYPE</b>	R-2
<b>FRONTAGE INCREASE</b> If	PER CBC SECTION 506.3.3 [EQUATION 5-5] $If = [F/P - 0.25] W/30$ $W = (35' + 42' + 30' + 30') / 4 = 34.25 > 30'$ $W = 30'$ $F = 551$ $P = 636$ $If = [551 / 636 - 0.25] 30/30 = .616$
<b>ALLOWABLE AREA PER STORY</b> Aa	PER CBC SECTION 506.2.3 [EQUATION 5-2] $Aa = [At + (NS \times If) \times Sa]$ $Aa = [24,000 + (24,000 \times .616)] \times 1$ $Aa = 38,784$
<b>ALLOWABLE AREA PER STORY</b> Sa = 2	PER CBC SECTION 506.2.3 [EQUATION 5-2] $Aa = [At + (NS \times If) \times Sa]$ $Aa = [24,000 + (24,000 \times .616)] \times 2$ $Aa = 77,568$
<b>TOTAL ACTUAL AREA</b>	TOTAL ACTUAL AREA = 56,535 TOTAL AREA NOT TO EXCEED RATIO OF 1 TOTAL ACTUAL AREA / BUILDING MAX ALLOWABLE AREA $56,535 / 77,568 = 0.73 < 1$

<b>FIRE AREA B</b>	<b>TYPE -IIIA - CBC 2019</b>
<b>OCCUPANCY TYPE</b>	A-3
<b>FRONTAGE INCREASE</b> If	NOT USED
<b>ALLOWABLE AREA PER STORY</b> Aa	PER CBC SECTION 506.2.3 [EQUATION 5-2] $Aa = [At + (NS \times If) \times Sa]$ $Aa = [17,000 + (17,000 \times 0)] \times 1$ $Aa = 17,000$
<b>ALLOWABLE AREA PER STORY</b> Sa = 2	PER CBC SECTION 506.2.3 [EQUATION 5-2] $Aa = [At + (NS \times If) \times Sa]$ $Aa = [17,000 + (17,000 \times 0)] \times 2$ $Aa = 34,000$
<b>TOTAL ACTUAL AREA</b>	TOTAL ACTUAL AREA = 26,140 TOTAL AREA NOT TO EXCEED RATIO OF 1 TOTAL ACTUAL AREA / BUILDING MAX ALLOWABLE AREA $26,140 / 34,000 = 0.77 < 1$

<b>FIRE AREA C</b>	<b>TYPE -IIIA - CBC 2019</b>
<b>OCCUPANCY TYPE</b>	R-2 (S-2) OCC. AREA < 10% OF TOTAL FLOOR AREA
<b>FRONTAGE INCREASE</b> If	PER CBC SECTION 506.3.3 [EQUATION 5-5] $If = [F/P - 0.25] W/30$ $W = (31' + 30' + 33') / 3 = 31.3 > 30'$ $W = 30'$ $F = 439$ $P = 537$ $If = [439 / 537 - 0.25] 30/30 = 0.566$
<b>ALLOWABLE AREA PER STORY</b> Aa	PER CBC SECTION 506.2.3 [EQUATION 5-2] $Aa = [At + (NS \times If) \times Sa]$ $Aa = [24,000 + (24,000 \times .566)] \times 1$ $Aa = 37,584$
<b>ALLOWABLE AREA PER STORY</b> Sa = 2	PER CBC SECTION 506.2.3 [EQUATION 5-2] $Aa = [At + (NS \times If) \times Sa]$ $Aa = [24,000 + (24,000 \times .566)] \times 2$ $Aa = 75,168$
<b>TOTAL ACTUAL AREA</b>	TOTAL ACTUAL AREA = 54,831 TOTAL AREA NOT TO EXCEED RATIO OF 1 TOTAL ACTUAL AREA / BUILDING MAX ALLOWABLE AREA $54,831 / 75,168 = 0.73 < 1$

<b>FIRE AREA D</b>	<b>TYPE -IIIA - CBC 2019</b>
<b>OCCUPANCY TYPE</b>	R-2
<b>FRONTAGE INCREASE</b> If	NOT USED
<b>ALLOWABLE AREA PER STORY</b> Aa	PER CBC SECTION 506.2.3 [EQUATION 5-2] $Aa = [At + (NS \times If) \times Sa]$ $Aa = [24,000 + (24,000 \times 0)] \times 1$ $Aa = 24,000$
<b>ALLOWABLE AREA PER STORY</b> Sa = 2	PER CBC SECTION 506.2.3 [EQUATION 5-2] $Aa = [At + (NS \times If) \times Sa]$ $Aa = [24,000 + (24,000 \times 0)] \times 2$ $Aa = 48,000$
<b>TOTAL ACTUAL AREA</b>	TOTAL ACTUAL AREA = 39,159 TOTAL AREA NOT TO EXCEED RATIO OF 1 TOTAL ACTUAL AREA / BUILDING MAX ALLOWABLE AREA $39,159 / 48,000 = 0.82 < 1$

<b>FIRE AREA E</b>	<b>TYPE -IIIA - CBC 2019</b>
<b>OCCUPANCY TYPE</b>	A-3
<b>FRONTAGE INCREASE</b> If	NOT USED
<b>ALLOWABLE AREA PER STORY</b> Aa	PER CBC SECTION 506.2.3 [EQUATION 5-2] $Aa = [At + (NS \times If) \times Sa]$ $Aa = [17,000 + (17,000 \times 0)] \times 1$ $Aa = 17,000$
<b>ALLOWABLE AREA PER STORY</b> Sa = 2	PER CBC SECTION 506.2.3 [EQUATION 5-2] $Aa = [At + (NS \times If) \times Sa]$ $Aa = [17,000 + (17,000 \times 0)] \times 2$ $Aa = 34,000$
<b>TOTAL ACTUAL AREA</b>	TOTAL ACTUAL AREA = 17,031 TOTAL AREA NOT TO EXCEED RATIO OF 1 TOTAL ACTUAL AREA / BUILDING MAX ALLOWABLE AREA $17,031 / 34,000 = 0.50 < 1$

<b>FIRE AREA F</b>	<b>TYPE -IIIA - CBC 2019</b>
<b>OCCUPANCY TYPE</b>	R-2 (S-2) OCC. AREA < 10% OF TOTAL FLOOR AREA
<b>FRONTAGE INCREASE</b> If	PER CBC SECTION 506.3.3 [EQUATION 5-5] $If = [F/P - 0.25] W/30$ $W = (42' + 40' + 30') / 3 = 37.3' > 30'$ $W = 30'$ $F = 390$ $P = 591$ $If = [390 / 591 - 0.25] 30/30 = 0.41$
<b>ALLOWABLE AREA PER STORY</b> Aa	PER CBC SECTION 506.2.3 [EQUATION 5-2] $Aa = [At + (NS \times If) \times Sa]$ $Aa = [24,000 + (24,000 \times 0)] \times 1$ $Aa = 33,838$
<b>ALLOWABLE AREA PER STORY</b> Sa = 2	PER CBC SECTION 506.2.3 [EQUATION 5-2] $Aa = [At + (NS \times If) \times Sa]$ $Aa = [24,000 + (24,000 \times 0)] \times 2$ $Aa = 67,675$
<b>TOTAL ACTUAL AREA</b>	TOTAL ACTUAL AREA = 52,896 TOTAL AREA NOT TO EXCEED RATIO OF 1 TOTAL ACTUAL AREA / BUILDING MAX ALLOWABLE AREA $52,896 / 67,675 = 0.782 < 1$

<b>FIRE AREA G</b>	<b>TYPE -IIIA - CBC 2019</b>
<b>OCCUPANCY TYPE</b>	R-2
<b>FRONTAGE INCREASE</b> If	NOT USED
<b>ALLOWABLE AREA PER STORY</b> Aa	PER CBC SECTION 506.2.3 [EQUATION 5-2] $Aa = [At + (NS \times If) \times Sa]$ $Aa = [24,000 + (24,000 \times 0)] \times 1$ $Aa = 24,000$
<b>ALLOWABLE AREA PER STORY</b> Sa = 2	PER CBC SECTION 506.2.3 [EQUATION 5-2] $Aa = [At + (NS \times If) \times Sa]$ $Aa = [24,000 + (24,000 \times 0)] \times 2$ $Aa = 48,000$
<b>TOTAL ACTUAL AREA</b>	TOTAL ACTUAL AREA = 45,386 TOTAL AREA NOT TO EXCEED RATIO OF 1 TOTAL ACTUAL AREA / BUILDING MAX ALLOWABLE AREA $45,386 / 48,000 = 0.946 < 1$

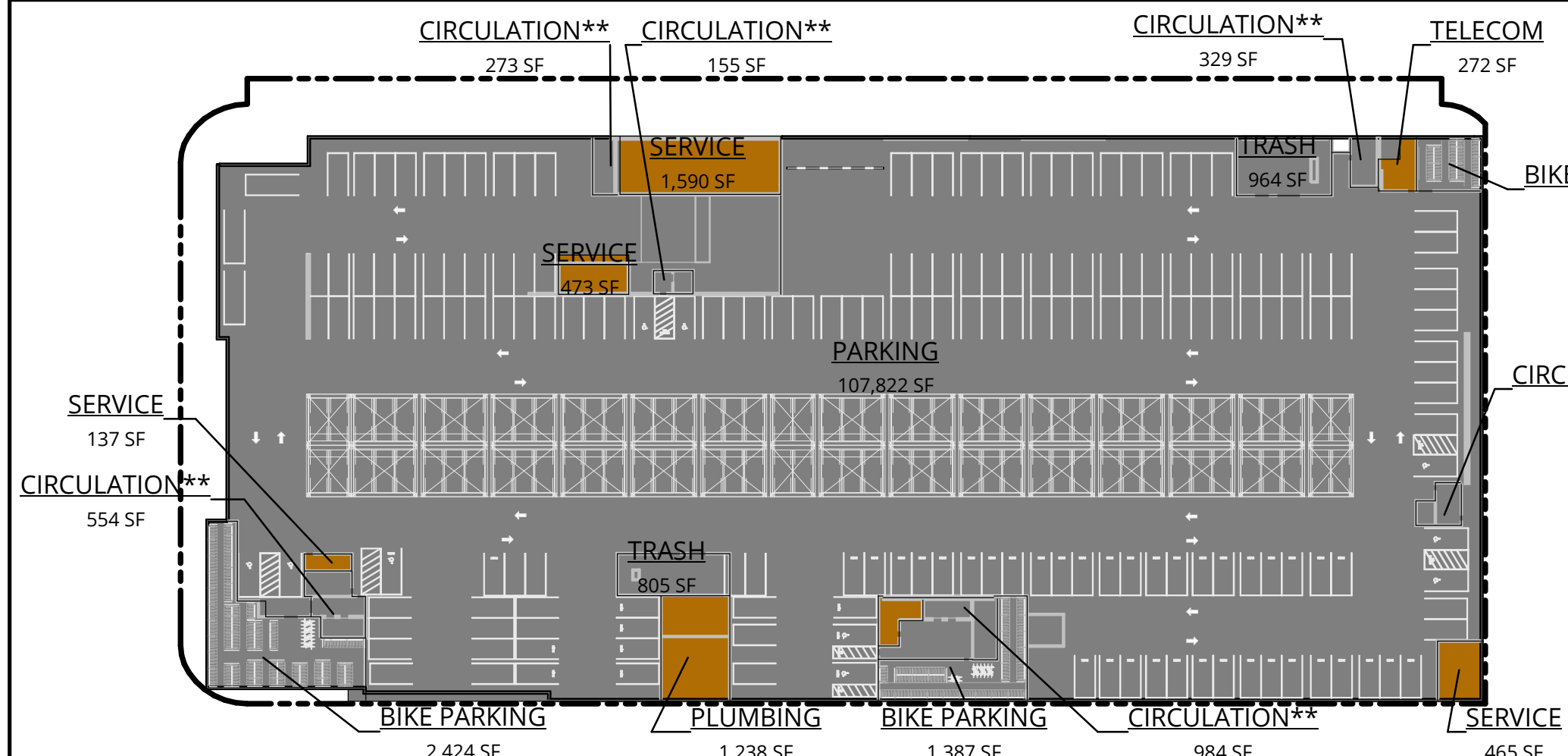
SCALE: 1" = 50'-0"  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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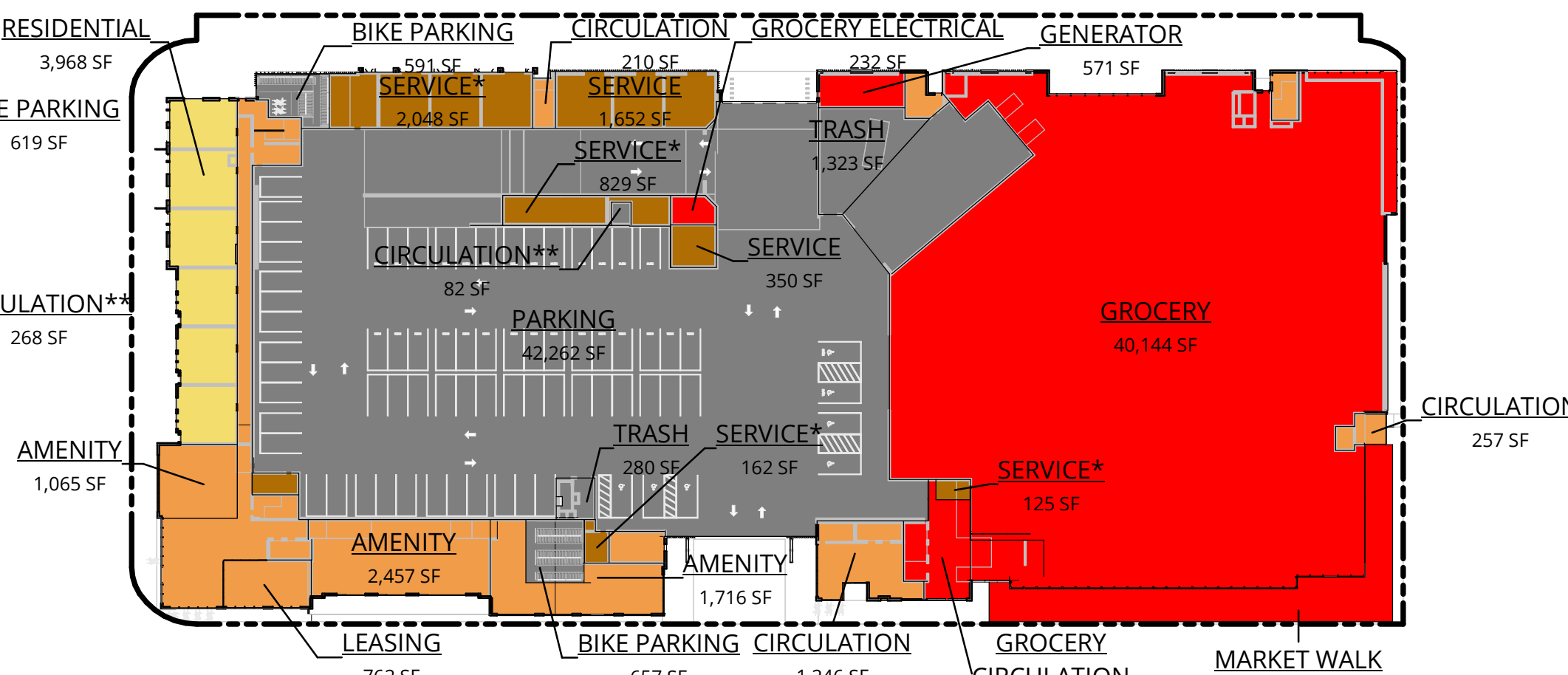






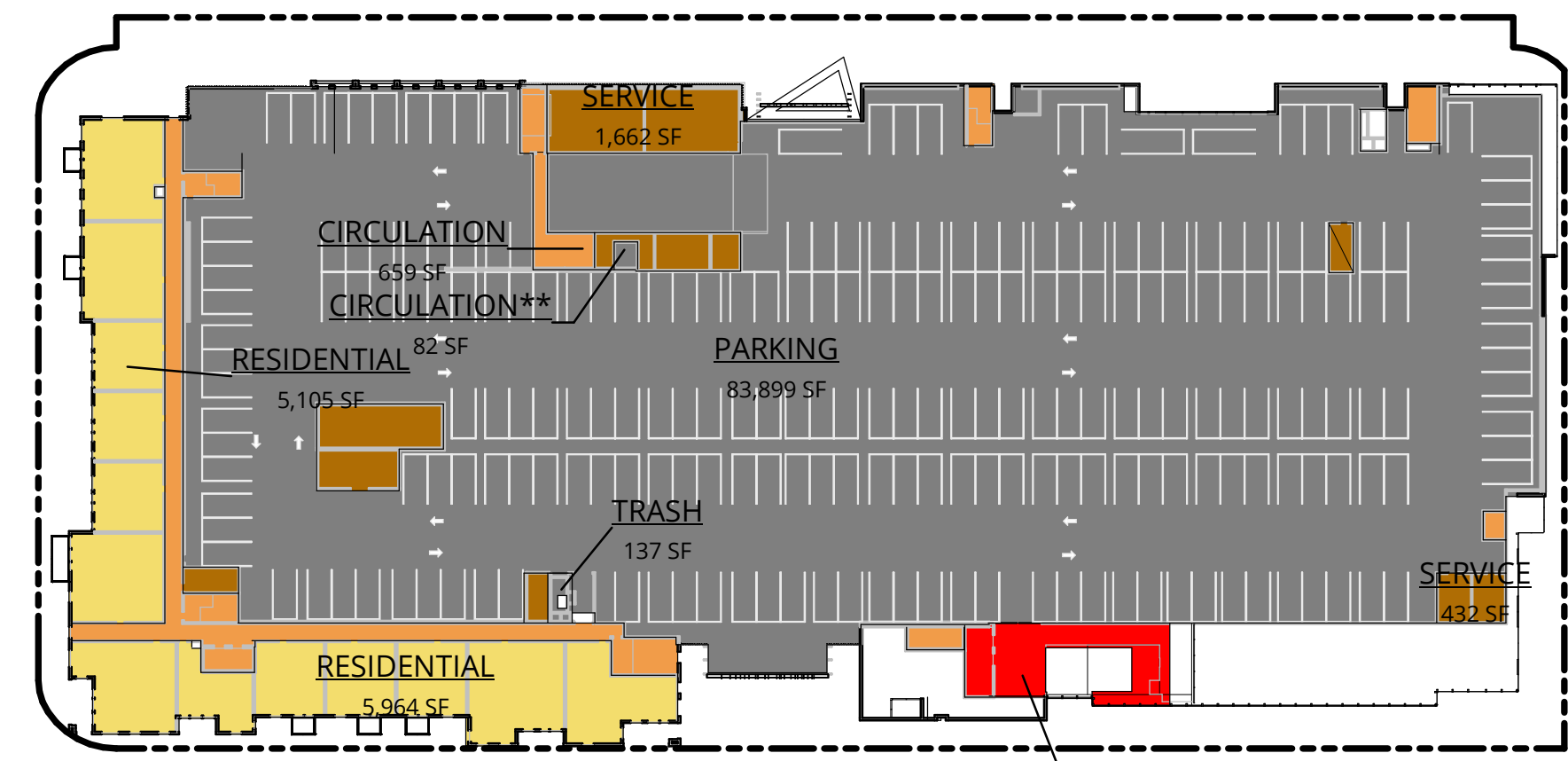
1 GFA - LEVEL P1

1" = 60'-0"



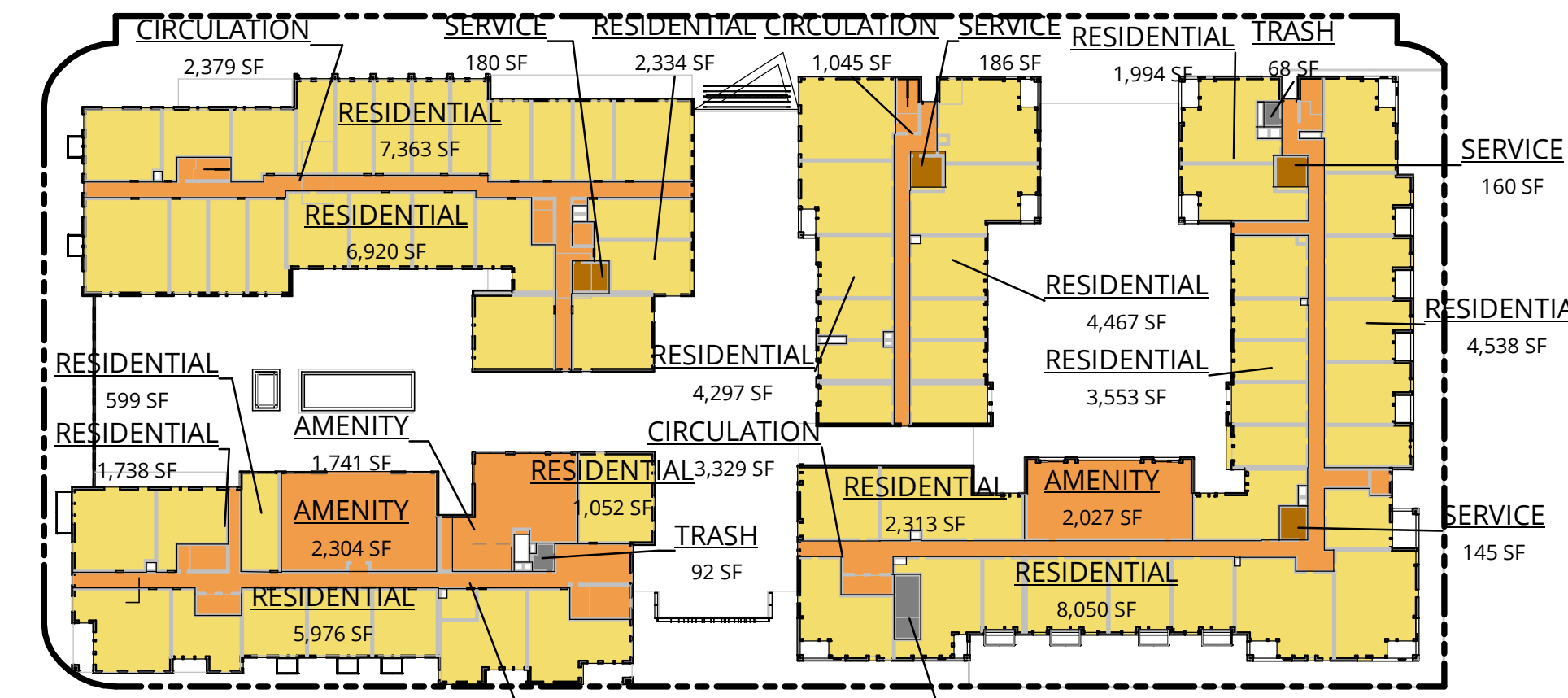
2 GFA - LEVEL 1

1" = 60'-0"



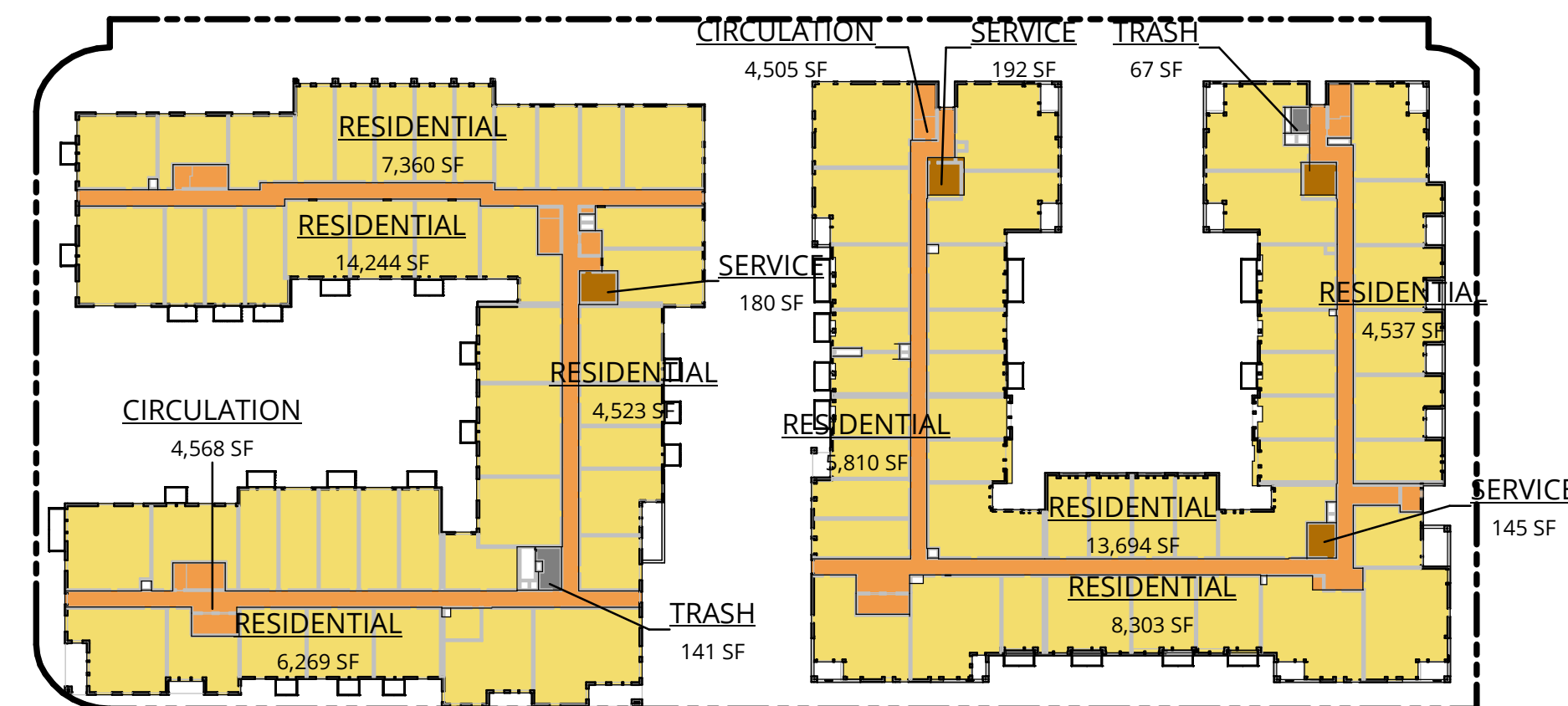
3 GFA - LEVEL 2

1" = 60'-0"



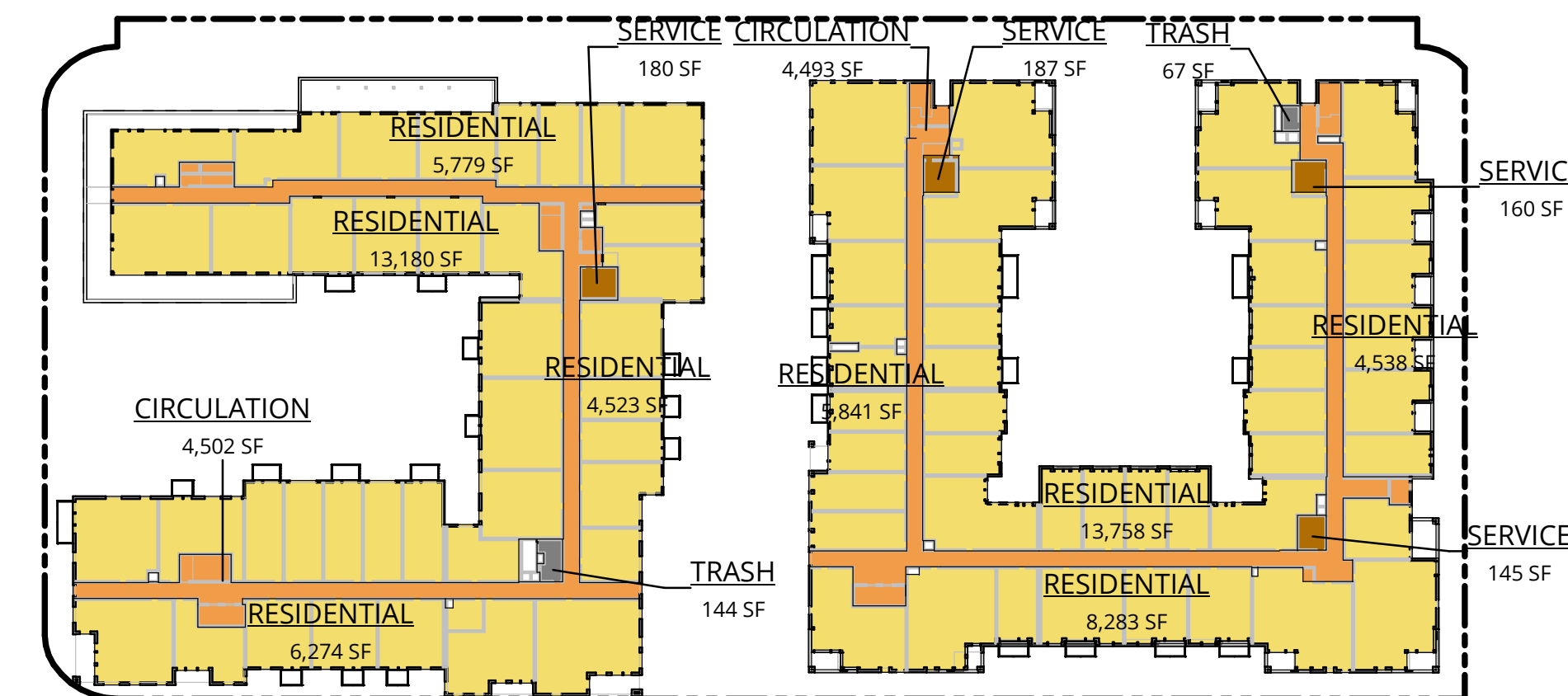
4 GFA - LEVEL 3

1" = 60'-0"



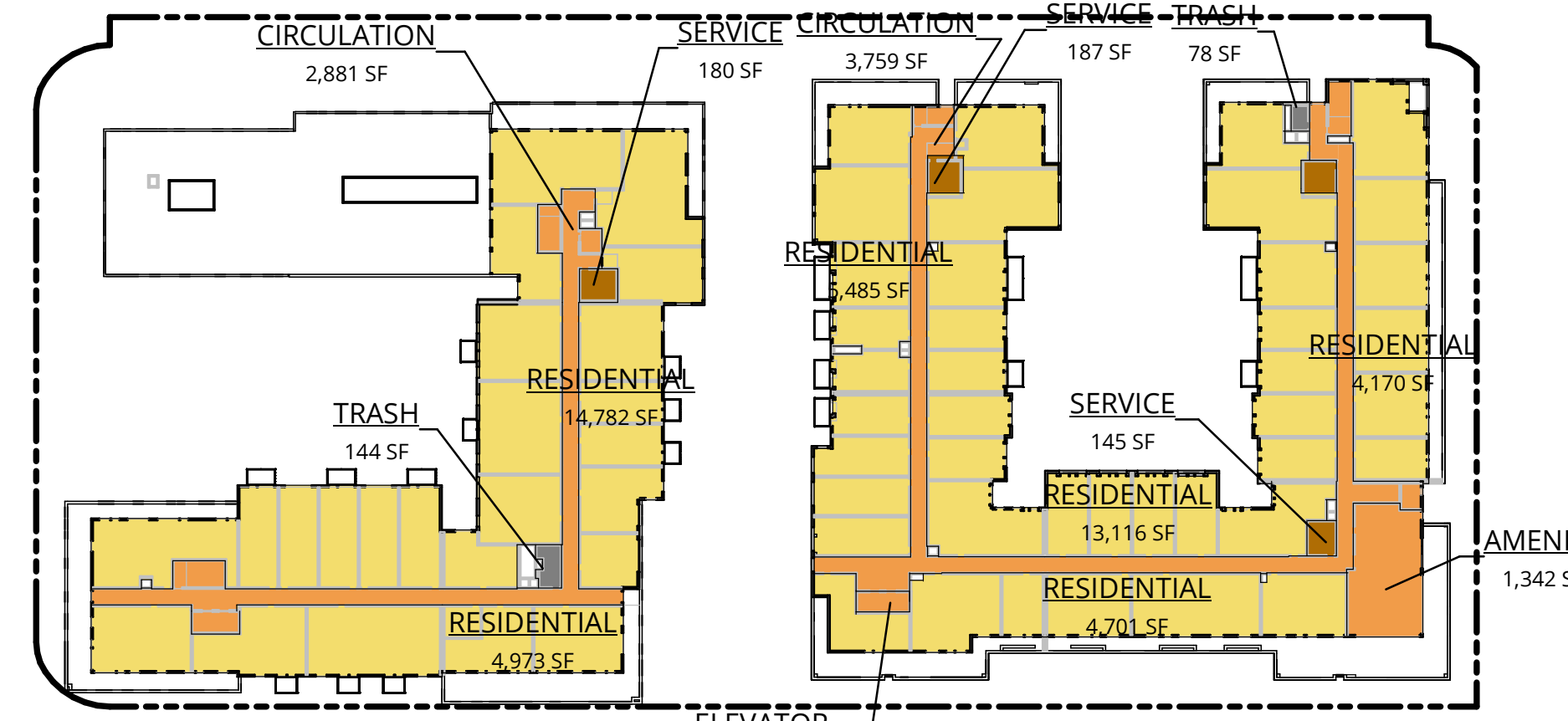
5 GFA - LEVEL 4

1" = 60'-0"



6 GFA - LEVEL 5

1" = 60'-0"



7 GFA - LEVEL 6

1" = 60'-0"

GROSS FLOOR AREA (GFA)	
Name	Area

**EXCLUDED FROM GFA PER ZONING CODE**

LEVEL P1	
BIKE PARKING	4,430 SF
CIRCULATION**	2,563 SF
PARKING	107,822 SF
TRASH	1,769 SF
<b>TOTAL</b>	<b>116,584 SF</b>

LEVEL 1	
BIKE PARKING	1,248 SF
CIRCULATION**	82 SF
LOADING	2,815 SF
PARKING	42,262 SF
SERVICE*	3,164 SF
TRASH	1,603 SF
<b>TOTAL</b>	<b>51,174 SF</b>

LEVEL 2	
CIRCULATION**	82 SF
PARKING	83,899 SF
TRASH	137 SF
<b>TOTAL</b>	<b>84,118 SF</b>

LEVEL 3	
ELEVATOR OVERRUN	254 SF
TRASH	159 SF
<b>TOTAL</b>	<b>413 SF</b>

LEVEL 4	
TRASH	208 SF
<b>TOTAL</b>	<b>208 SF</b>

LEVEL 5	
TRASH	212 SF
<b>TOTAL</b>	<b>212 SF</b>

LEVEL 6	
TRASH	222 SF
<b>TOTAL</b>	<b>222 SF</b>

EXCLUDED FROM GFA PER ZONING CODE	
<b>TOTAL</b>	<b>252,931 SF</b>

GROSS FLOOR AREA (GFA)	
Name	Area

**INCLUDED IN GFA PER ZONING CODE**

LEVEL P1	
PLUMBING	1,238 SF
SERVICE	2,930 SF
TELECOM	272 SF
<b>TOTAL</b>	<b>4,439 SF</b>

LEVEL 1	
AMENITY	5,238 SF
CIRCULATION	5,980 SF
GENERATOR	571 SF
GROCERY	40,144 SF
GROCERY CIRCULATION	1,078 SF
GROCERY ELECTRICAL	232 SF
LEASING	762 SF
MARKET WALK	3,272 SF
RESIDENTIAL	3,968 SF
SERVICE	2,184 SF
<b>TOTAL</b>	<b>63,431 SF</b>

LEVEL 2	
CIRCULATION	4,685 SF
GROCERY CIRCULATION	1,470 SF
RESIDENTIAL	11,069 SF
SERVICE	4,329 SF
<b>TOTAL</b>	<b>21,554 SF</b>

LEVEL 3	
AMENITY	6,071 SF
CIRCULATION	9,414 SF
RESIDENTIAL	55,196 SF
SERVICE	671 SF
<b>TOTAL</b>	<b>71,351 SF</b>

LEVEL 4	
CIRCULATION	9,073 SF
RESIDENTIAL	64,740 SF
SERVICE	676 SF
<b>TOTAL</b>	<b>74,490 SF</b>

LEVEL 5	
CIRCULATION	8,995 SF
RESIDENTIAL	62,177 SF
SERVICE	672 SF
<b>TOTAL</b>	<b>71,844 SF</b>

LEVEL 6	
AMENITY	1,342 SF
CIRCULATION	7,002 SF
ELEVATOR	155 SF
RESIDENTIAL	47,228 SF
SERVICE	672 SF
<b>TOTAL</b>	<b>56,399 SF</b>

INCLUDED IN GFA PER ZONING CODE	
<b>TOTAL</b>	<b>363,508 SF</b>
<b>TOTAL GFA:</b>	<b>616,438 SF</b>

**LEGEND**

- RESIDENTIAL
- CIRCULATION / LOBBY / COMMON AREA
- RETAIL
- CIRCULATION
- UTILITY/SERVICE
- EXCLUDED FROM GFA

\*UTILITY SPACES GENERATE NOISE, BUT ARE ONLY PERMITTED TO BE EXCLUDED FROM GROSS FLOOR AREA UP TO 1% OF THE MAXIMUM PERMITTED GROSS FLOOR AREA PER 16.04.325(C)(2). ASTERISKS INDICATE A SERVICE SPACE CHOSEN TO REPRESENT THIS MAXIMUM PERMITTED EXCLUDED AREA  
 \*\*CIRCULATION ON LEVEL P1 IS EXCLUSIVELY USED TO ACCESS PARKING AND IS THEREFORE EXCLUDED PER 16.03.325(C)(3)

GROSS FLOOR AREA (GFA) SUBTOTALS		
Name	Area	Zoning Code:

**EXCLUDED FROM GFA PER ZONING CODE**

<b>RESIDENTIAL</b>		
BIKE PARKING	5,677 SF	EXCLUDED PER 16.04.325(C)(3)
CIRCULATION**	2,727 SF	EXCLUDED PER 16.04.325(C)(3)
PARKING	107,822 SF	EXCLUDED PER 16.04.325(C)(3)
SERVICE*	3,164 SF	EXCLUDED PER 16.04.325(C)(2)
TRASH	2,988 SF	EXCLUDED PER 16.04.325(C)(6)
<b>RESIDENTIAL</b>	<b>122,378 SF</b>	
<b>RETAIL</b>		
ELEVATOR OVERRUN	254 SF	EXCLUDED PER 16.04.325(C)(1)
LOADING	2,815 SF	EXCLUDED PER 16.04.325(C)(3)
PARKING	126,161 SF	EXCLUDED PER 16.04.325(C)(3)
TRASH	1,323 SF	EXCLUDED PER 16.04.325(C)(6)
<b>RETAIL</b>	<b>130,553 SF</b>	
<b>EXCLUDED FROM GFA PER ZONING CODE</b>	<b>252,931 SF</b>	

GROSS FLOOR AREA (GFA) SUBTOTALS		
Name	Area	Zoning Code:

**INCLUDED IN GFA PER ZONING CODE**

<b>RESIDENTIAL</b>		
AMENITY	12,651 SF	INCLUDED PER 16.04.325(A)
CIRCULATION	45,150 SF	INCLUDED PER 16.04.325(A)
ELEVATOR	155 SF	EXCLUDED PER 16.04.325(C)(3)
LEASING	762 SF	INCLUDED PER 16.04.325(A)
PLUMBING	1,238 SF	INCLUDED PER 16.04.325(B)(4)
RESIDENTIAL	244,378 SF	INCLUDED PER 16.04.325(A)
SERVICE	12,134 SF	INCLUDED PER 16.04.325(B)(4)
TELECOM	272 SF	INCLUDED PER 16.04.325(B)(4)
<b>RESIDENTIAL</b>	<b>316,740 SF</b>	

GROSS FLOOR AREA (GFA) SUBTOTALS		
Name	Area	Zoning Code:

**RETAIL**

GENERATOR	571 SF	INCLUDED PER 16.04.325(B)(4)
GROCERY	40,144 SF	INCLUDED PER 16.04.325(A)
GROCERY CIRCULATION	2,548 SF	INCLUDED PER 16.04.325(A)
GROCERY ELECTRICAL	232 SF	INCLUDED PER 16.04.325(B)(4)
MARKET WALK	3,272 SF	INCLUDED PER 16.04.325(A)
<b>RETAIL</b>	<b>46,768 SF</b>	
<b>INCLUDED IN GFA PER ZONING CODE</b>	<b>363,508 SF</b>	
<b>TOTAL GFA</b>	<b>616,438 SF</b>	

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PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE  
Architectural Control Package - Parcel 2  
Menlo Park, CA

SCALE: 1" = 60'-0"  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM PROJECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

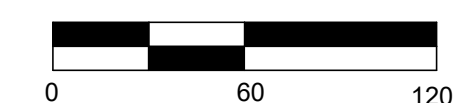
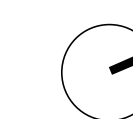
MILESTONES	
DATE	ISSUE
05/22/2023	ACP

REVISIONS

NO.	DATE	ISSUE

DRAWING TITLE:  
SQUARE FOOTAGE PLANS

DRAWING NO:  
**\*A9.04**





## BUILDING HEIGHT

### Menlo Park Municipal Code 16.04.330 Definitions

Except as otherwise provided in this chapter, "height of structure" means the vertical distance from the average level of the highest and lowest points of the natural grade of the portion of the lot covered by the structure to the topmost point of the structure, excluding elevator equipment rooms, ventilating and air conditioning equipment and chimneys. (Ord. 938 § 1 (part), 2005; Ord. 822 § 2 (part), 1991; Prior code § 30.232)

### Menlo Park Municipal Code 16.45.050 Development Regulations

Height: 52.5 feet; Maximum Height: 70 feet  
A parapet used to screen mechanical equipment is not included in the height or maximum height. The maximum allowed height for rooftop mechanical equipment is 14 feet, except for elevator towers and associated equipment, which may be 20 feet.

Properties within the flood zone or subject to flooding and sea level rise are allowed a 10-foot increase in height and maximum height.

**Proposal / Notes:** This project is subject to flooding and sea level rise, and therefore qualifies for the 10-foot increase in height and maximum height. See below for calculations.

## BUILDING HEIGHT CALCUATIONS

Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE. to roof)	Roof Height (Nat. to roof)	Footprint (SF)	Roof Height x Footprint
3	9.19	14.00	4.81	28.92	33.73	39,799.00	1,342,420.27
4	9.19	14.00	4.81	41.25	46.06	205.00	9,442.30
5	9.19	14.00	4.81	51.33	56.14	2,855.00	160,279.70
6	9.19	14.00	4.81	61.92	66.73	17,207.00	1,148,223.11
Roof	9.19	14.00	4.81	73.33	78.14	57,317.00	4,478,750.38
Total						117,383.00	7,139,115.76
<b>Weighted Average Height (ft)</b>						60.82	
<b>Proposed Maximum Height (ft)</b>						78.14	



## BUILDING HEIGHT KEY



## ROOF PLAN - BUILDING HEIGHT DIAGRAM

1/32" = 1'-0"



PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
Architectural Control Package - Parcel 2  
Menlo Park, CA

SCALE: As indicated  
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NO.	DATE	ISSUE

DRAWING TITLE:  
**BUILDING HEIGHT ANALYSIS PLAN**

DRAWING NO:  
**\*A9.05**

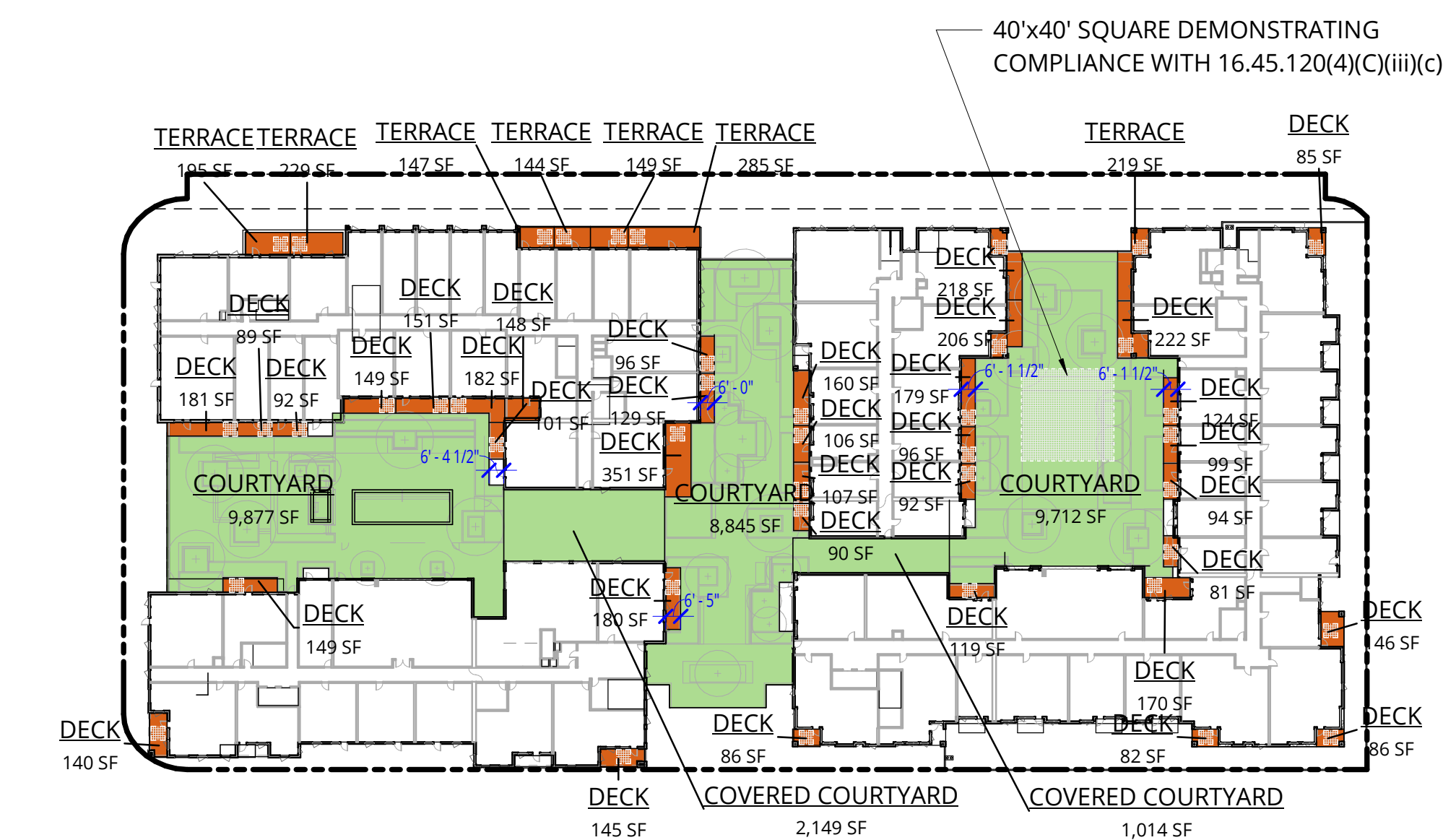




**1 OPEN SPACE - LEVEL 1**  
1" = 60'-0"



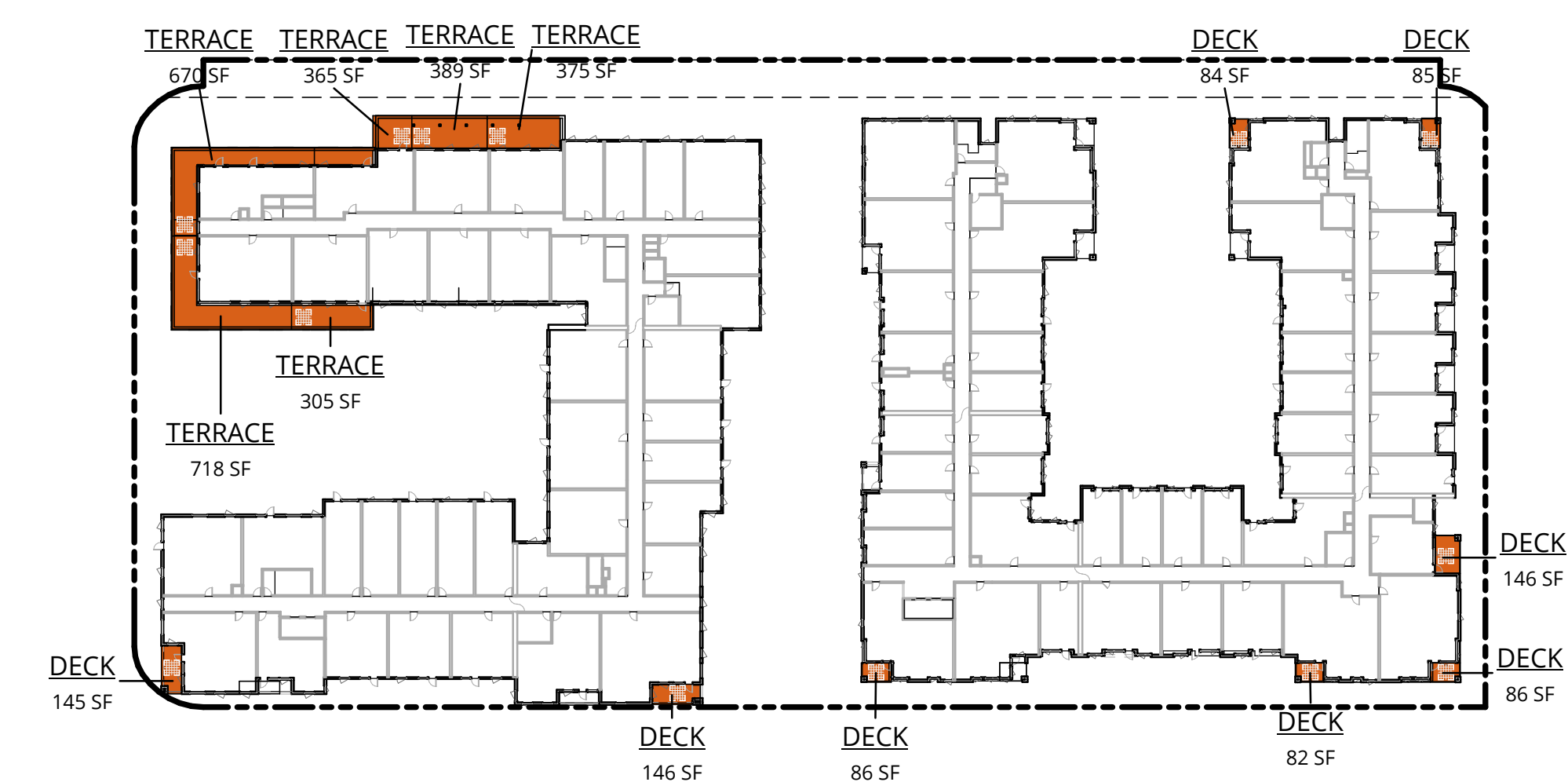
**2 OPEN SPACE - LEVEL 2**  
1" = 60'-0"



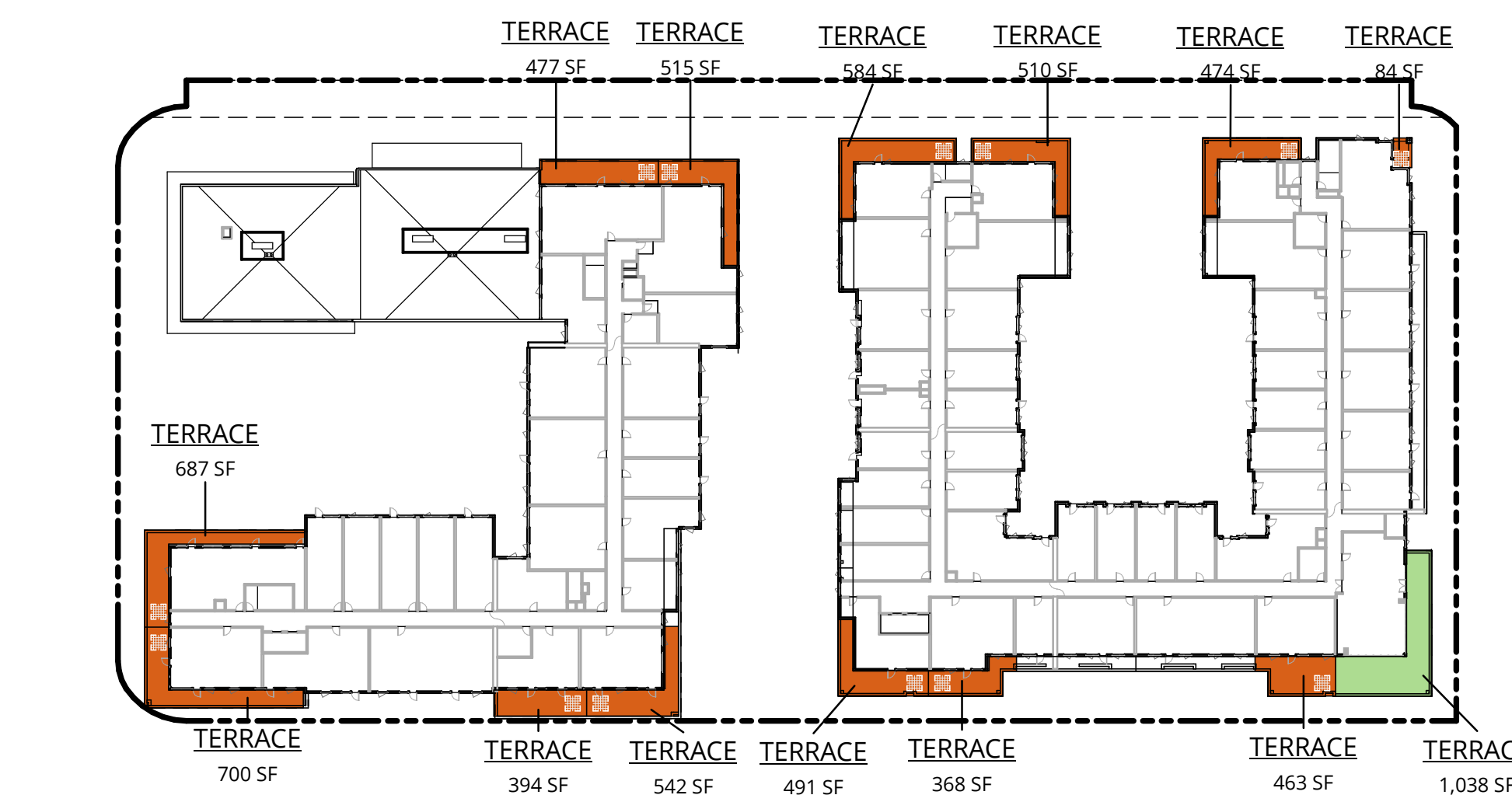
**3 OPEN SPACE - LEVEL 3**  
1" = 60'-0"



**4 OPEN SPACE - LEVEL 4**  
1" = 60'-0"



**5 OPEN SPACE - LEVEL 5**  
1" = 60'-0"



**6 OPEN SPACE - LEVEL 6**  
1" = 60'-0"

**LEGEND**

- 6'x6' BOX TO SHOW MINIMUM DIMENSION COMPLIANCE WITH 16.45.120(4)(C)(i), TYP.
- PRIVATE OPEN SPACE
- RESIDENT COMMON OPEN SPACE

**OPEN SPACE**

**Menlo Park Municipal Code 16.45.120(4) Open Space**  
(C) Residential developments shall have a minimum of common open space and private open space. These requirements are counted towards the minimum amount of open space equal to twenty-five percent (25%) of the total lot area.

(i) One hundred (100) square feet of open space per unit shall be created as common open space or a minimum of eighty (80) square feet of open space per unit created as private open space, where private open space shall have a minimum dimension of six (6) feet by six (6) feet;

(ii) In the case of a mix of private and common open space, such common open space shall be provided at a ratio equal to one and one-quarter (1.25) square feet for each one (1) square foot of private open space that is not provided.

(iii) Depending on the number of dwelling units, common open space shall be provided to meet the following criteria:  
c. One hundred one (101) or more units: minimum of one (1) space, forty (40) feet minimum dimension (one thousand six hundred (1,600) square feet total, minimum).

(D) All open spaces shall:  
(i) Interface with adjacent buildings via direct connections through doors, windows, and entryways;  
(ii) Be integrated as part of building modulation and articulation to enhance building facade and should be sited and designed to be appropriate for the size of the development and accommodate different activities, groups and both active and passive uses;  
(iii) Incorporate landscaping design that includes:  
a. Sustainable stormwater features;  
b. A minimum landscaping bed no less than three (3) feet in length or width and five (5) feet in depth for infiltration planting;  
c. Native species able to grow to their maximum size without shearing.

(E) All exterior landscaping counts towards open space requirements.

**Proposal / Notes:** See open space calculations provided below.

**Open Space Summary**

Lot Area: 137,540 SF 100%

Open Space	Area	% of Total Lot Area
Private Open Space:	18,626 SF	14%
Common Open Space:	32,635 SF	24%
<b>Total:</b>	<b>51,261 SF</b>	<b>37%</b>
<b>Minimum Required:</b>		<b>25%</b>

Total provided is greater than minimum required. Therefore project complies.

Public Open Space: 0 SF 0%

**Private and Common Open Space...**

Min. Private Open Space/Unit:	80 SF
Min. Common Open Space/Unit:	100 SF

Min. area of Common Open Space required to replace (1) square foot of Private Open Space that is not provided: 1.25 SF

Provided Private Open Space	Unit Count	Area/Unit	Total Area
Units with 80SF+ of Private Open Space:	86	Varies - Always >80SF	18,626 SF
<b>Total:</b>			<b>18,626 SF</b>

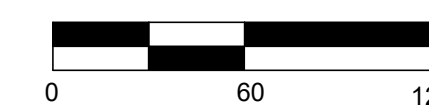
Required Common Open Space	Unit Count	Area/Unit	Total Area
Units without Private Open Space:	242	100 SF	24,200 SF
<b>Total Required:</b>			<b>24,200 SF</b>
<b>Common Open Space Provided:</b>			<b>32,635 SF</b>

Total provided is greater than minimum required. Therefore project complies.

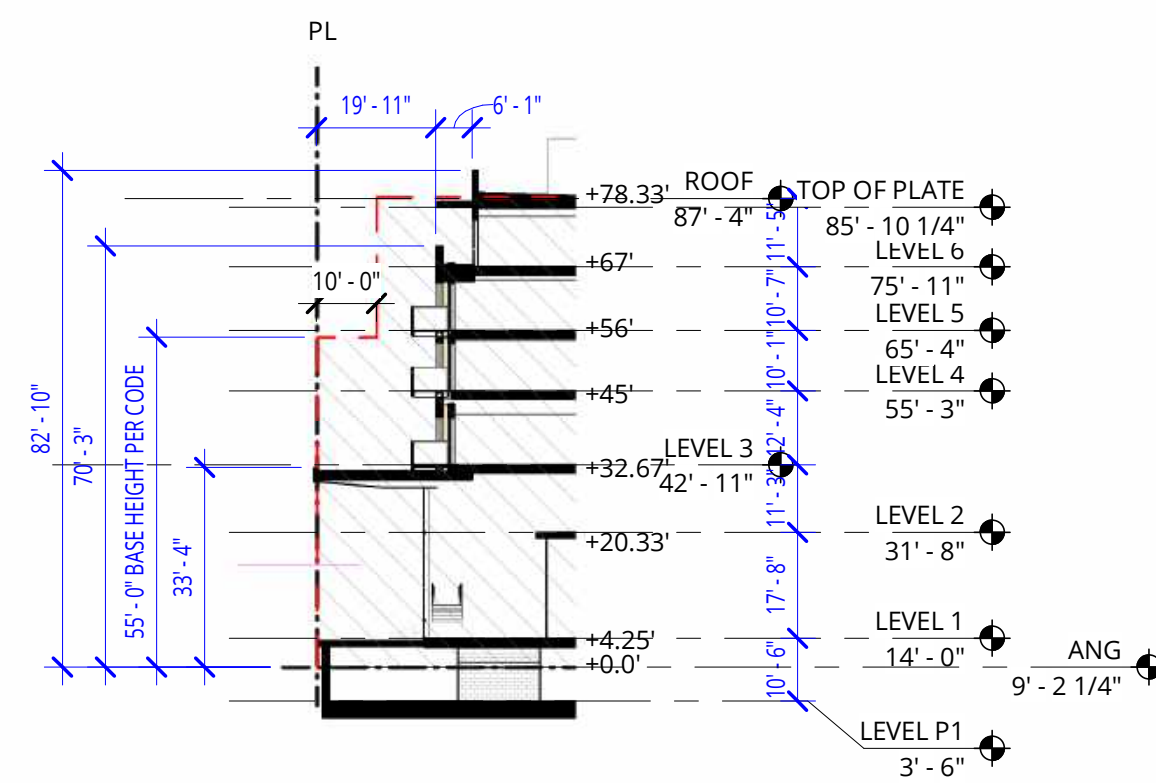
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NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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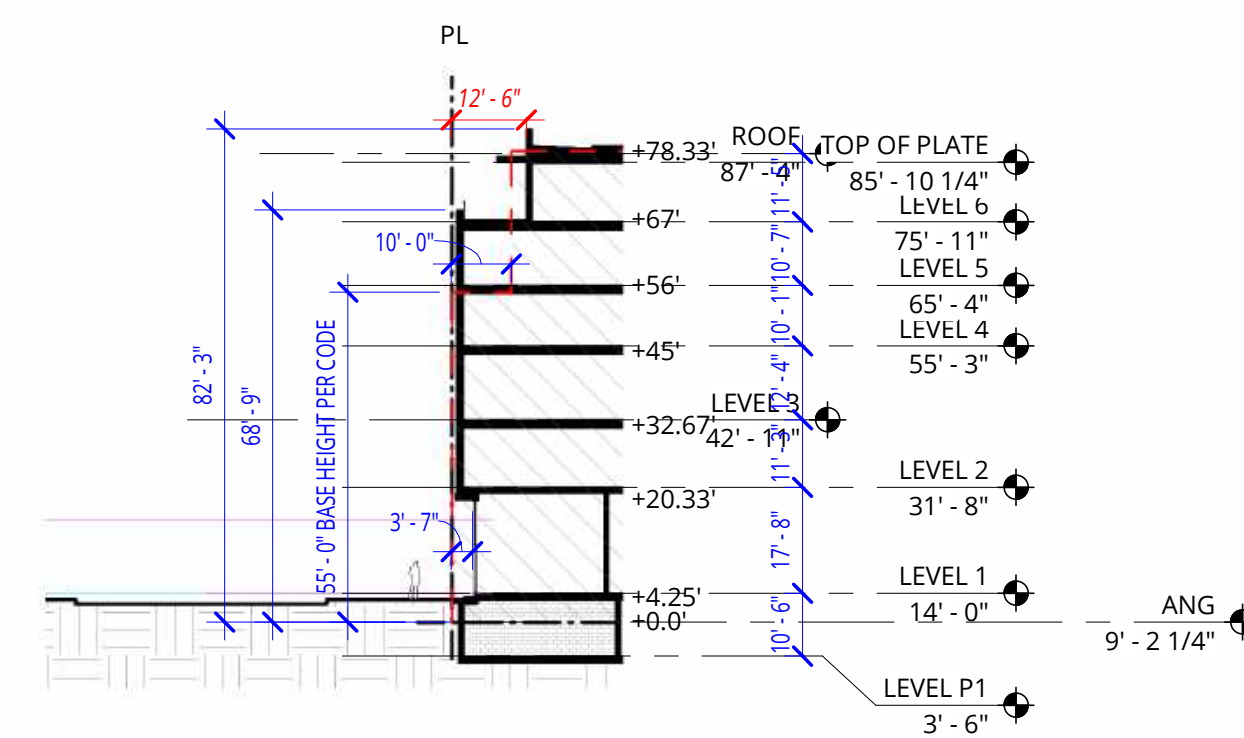
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NO.	DATE	ISSUE



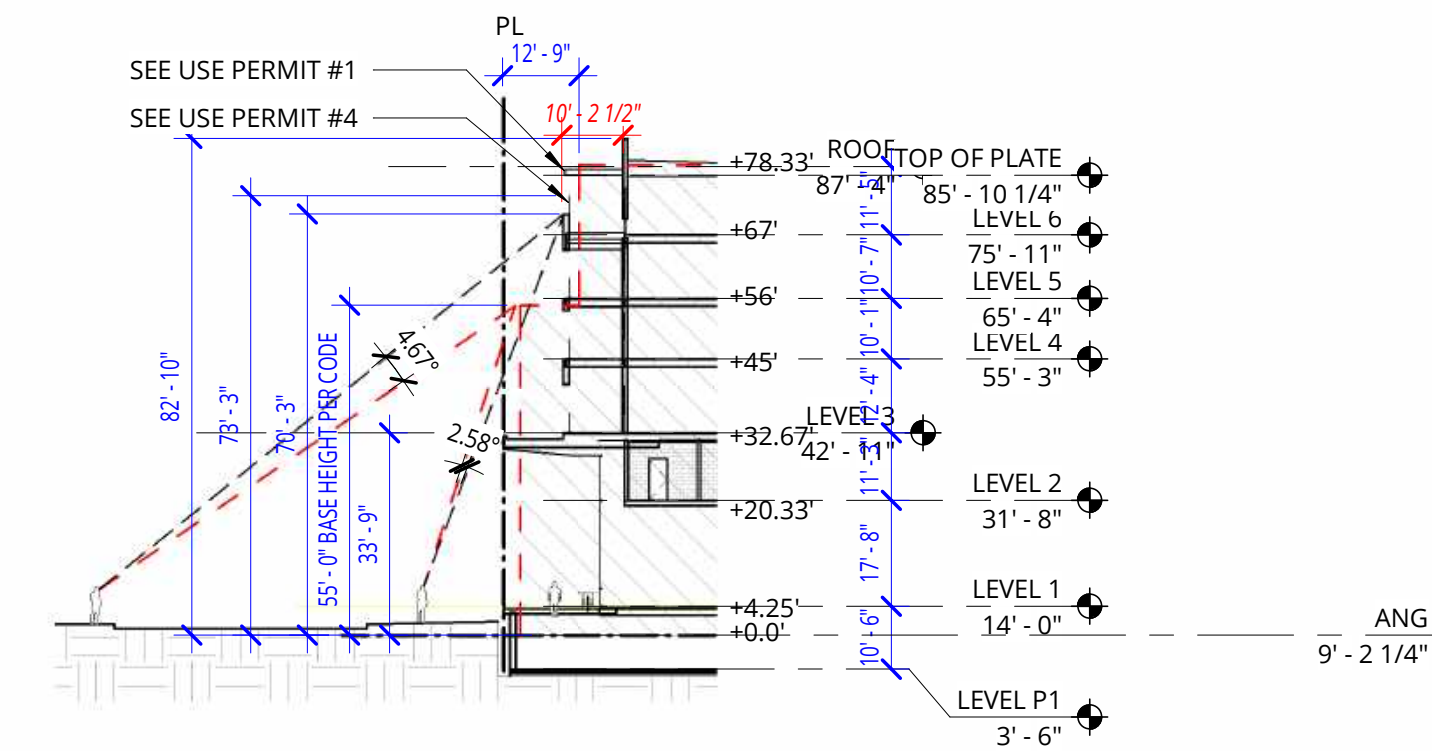




**A** BASE HT. / STEPBACK - WEST MARKET WALK  
1/32" = 1'-0"



**B** BASE HT. / STEPBACK - WEST BIKE ROOM  
1/32" = 1'-0"



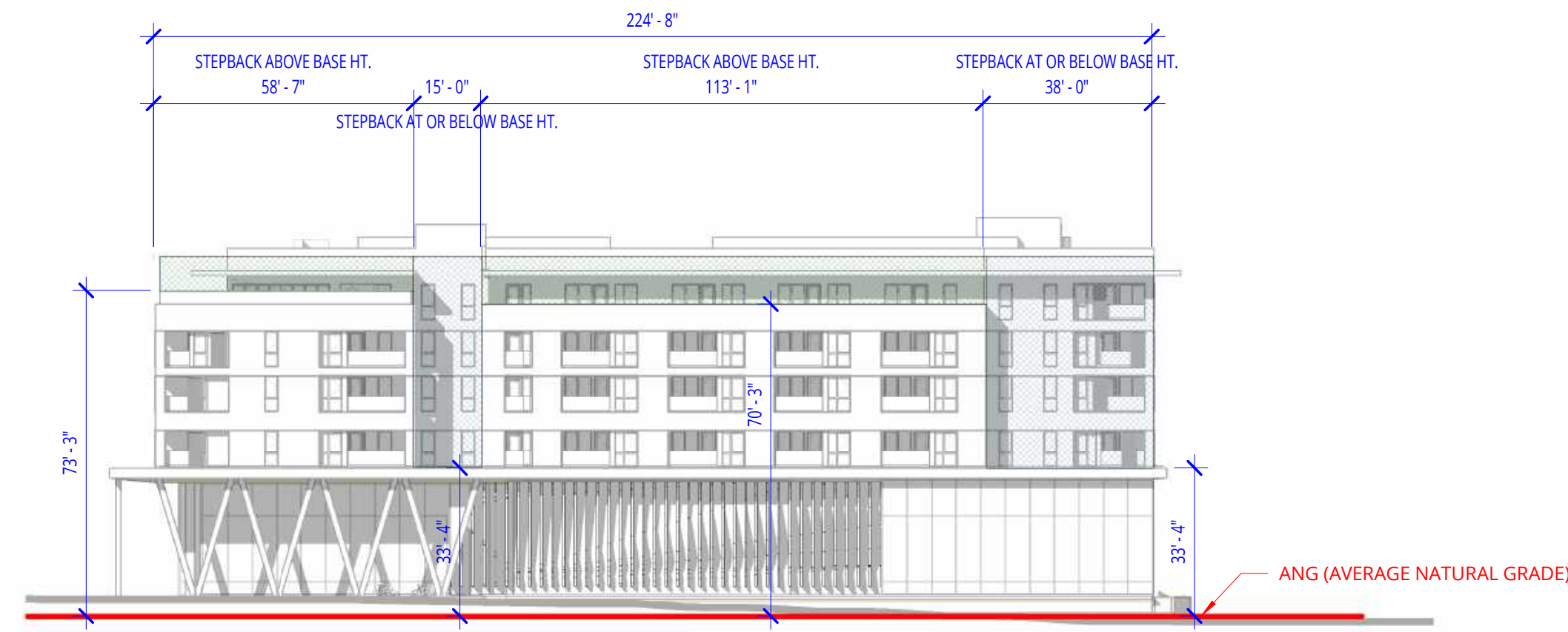
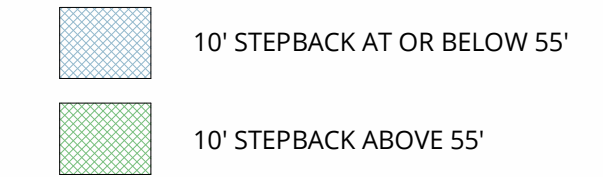
**C** BASE HT. / STEPBACK - NORTH MARKET WALK  
1/32" = 1'-0"

**BUILDING MASS & SCALE**

**16.45.120(2) Minimum Stepback**  
The horizontal distance a building's upper story(ies) must be set back above the base height. 10' for a minimum of 75% of the building face along public streets. Per 16.08.100 excavation into a required setback shall not be permitted unless a use permit for this purpose is obtained from the planning commission.

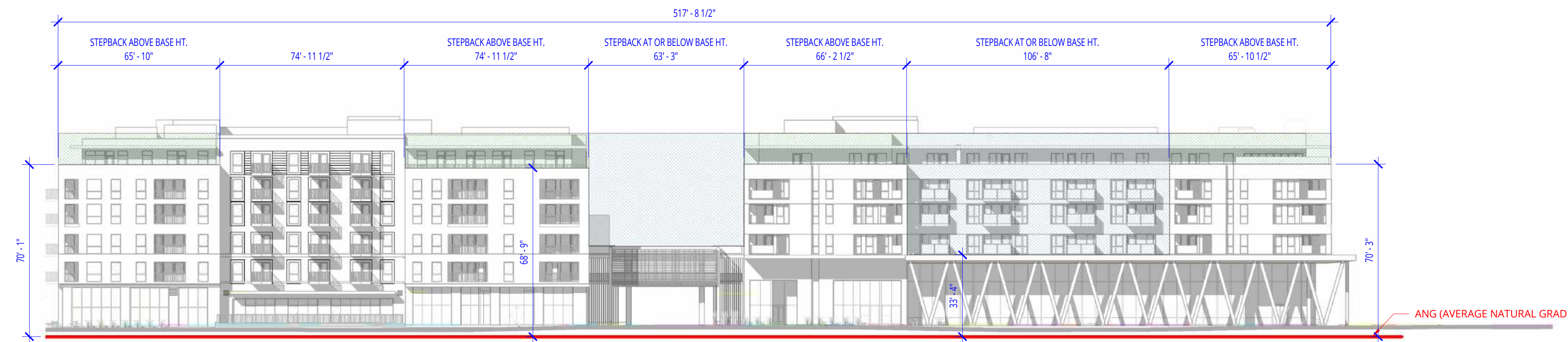
**16.45.120(2) Major Building Modulations**  
Definition: A major modulation is a break in the building plane from the ground level to the top of the building's base height that provides visual variety, reduces large building volumes, and provides spaces for entryways and publicly accessible spaces. Modulation Required: Minimum of one recess of 15 feet wide by 10 feet deep per 200 feet of facade length. Additional Notes: Modulation is required on the building facade(s) facing publicly accessible spaces (streets, open space, and paseos). Parking is not allowed in the modulation recess. When more than 50% of an existing building facade that faces a publicly accessible space is altered, it must comply with these modulation requirements.

**16.45.120(2) Minor Building Modulations**  
Required on façades facing publicly accessible spaces. Parking is not allowed in the recess. Minimum recess of 5' wide by 5' deep per 50' of façade length. Building Projections spaced no more than 50' apart with a minimum depth of 3' and width of 5' may satisfy this requirement in lieu of a recess.



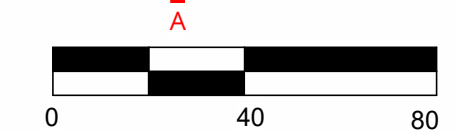
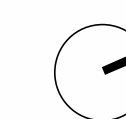
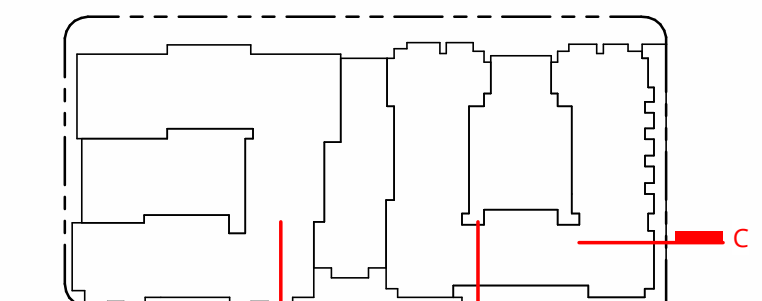
CODE COMPLYING STEPBACK 23.6% OF THE ELEVATION  
STEPBACKS ABOVE THE BASE HEIGHT 76.4% OF THE ELEVATION

**2** NORTH ELEVATION - MAIN STREET



CODE COMPLYING STEPBACK 32.8% OF THE ELEVATION  
STEPBACKS ABOVE THE BASE HEIGHT 52.7% OF THE ELEVATION

**4** EAST ELEVATION - WEST ST.  
1/32" = 1'-0"



PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
Architectural Control Package - Parcel 2  
Menlo Park, CA

SCALE: As indicated  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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NO.	DATE	ISSUE

DRAWING TITLE:  
**BASE HEIGHT / STEPBACK  
DIAGRAMS**

DRAWING NO:  
**\*A9.07**

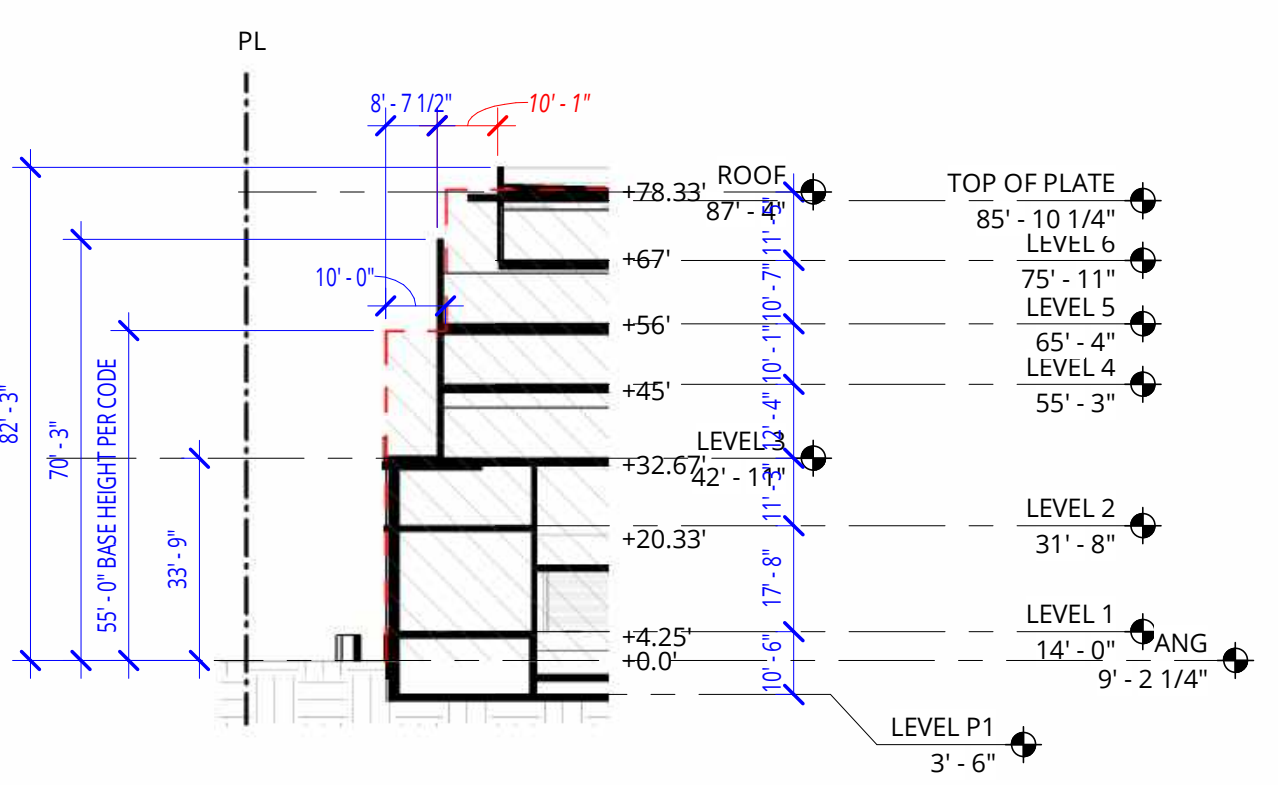


# BUILDING MASS & SCALE

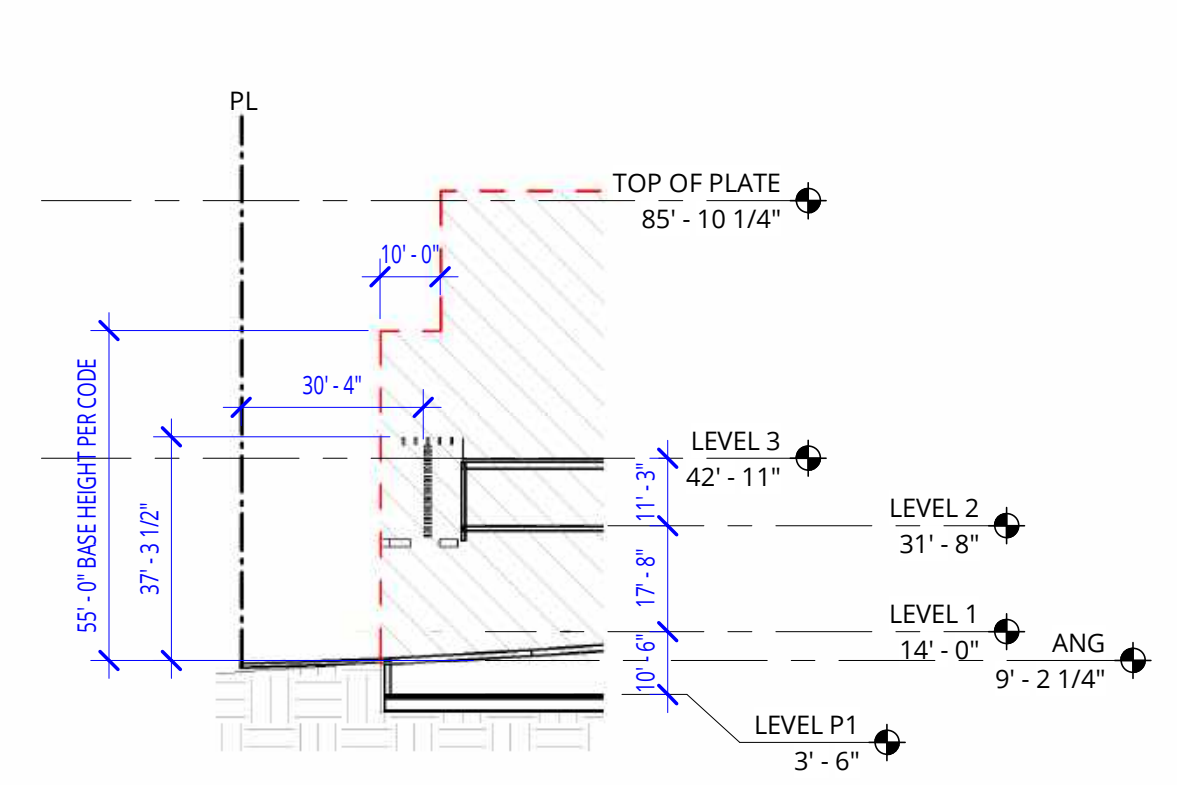
**16.45.120(2) Minimum Stepback**  
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 Per 16.08.100 excavation into a required setback shall not be permitted unless a use permit for this purpose is obtained from the planning commission.

**16.45.120(2) Major Building Modulations**  
 Definition: A major modulation is a break in the building plane from the ground level to the top of the building's base height that provides visual variety, reduces large building volumes, and provides spaces for entryways and publicly accessible spaces.  
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 Additional Notes: Modulation is required on the building facade(s) facing publicly accessible spaces (streets, open space, and paseos). Parking is not allowed in the modulation recess. When more than 50% of an existing building facade that faces a publicly accessible space is altered, it must comply with these modulation requirements.

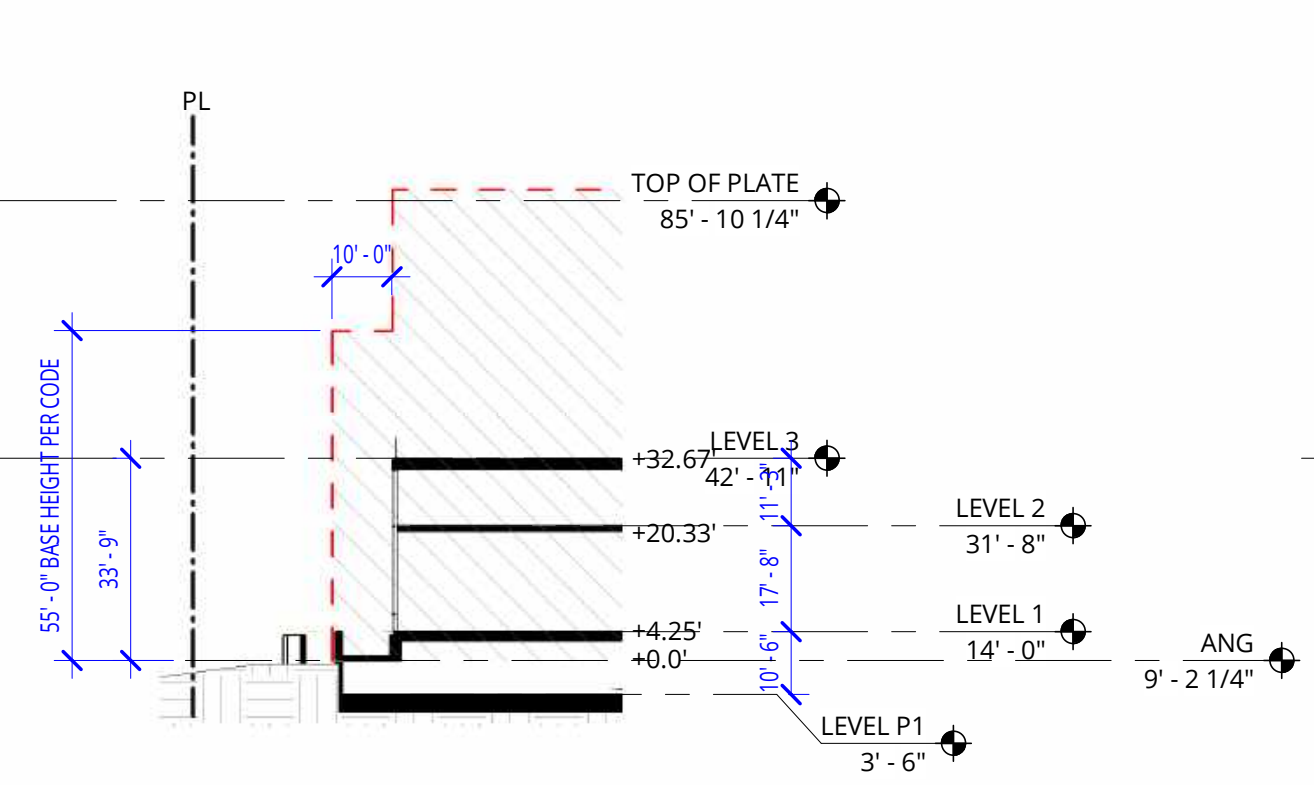
**16.45.120(2) Minor Building Modulations**  
 Required on facades facing publicly accessible spaces. Parking is not allowed in the recess.  
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 Building Projections spaced no more than 50' apart with a minimum depth of 3' and width of 5' may satisfy this requirement in lieu of a recess.



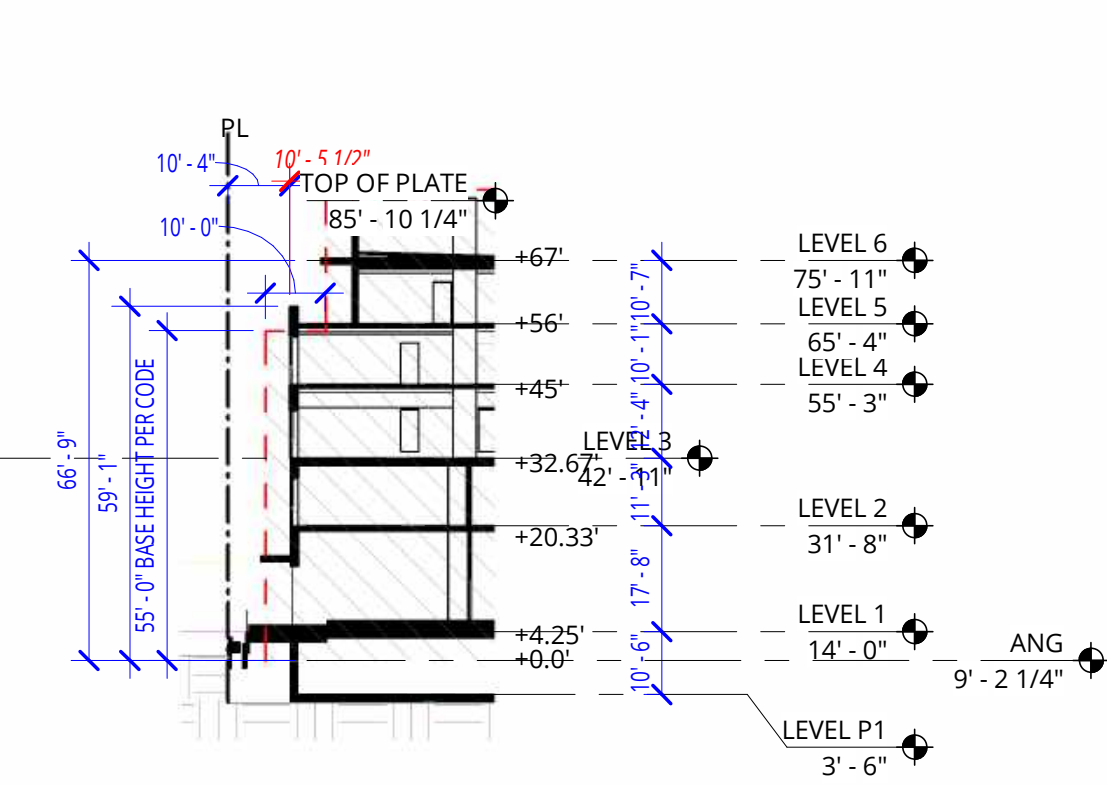
**D** BASE HT. / STEPBACK - WILLOW UNITS  
 1/32" = 1'-0"



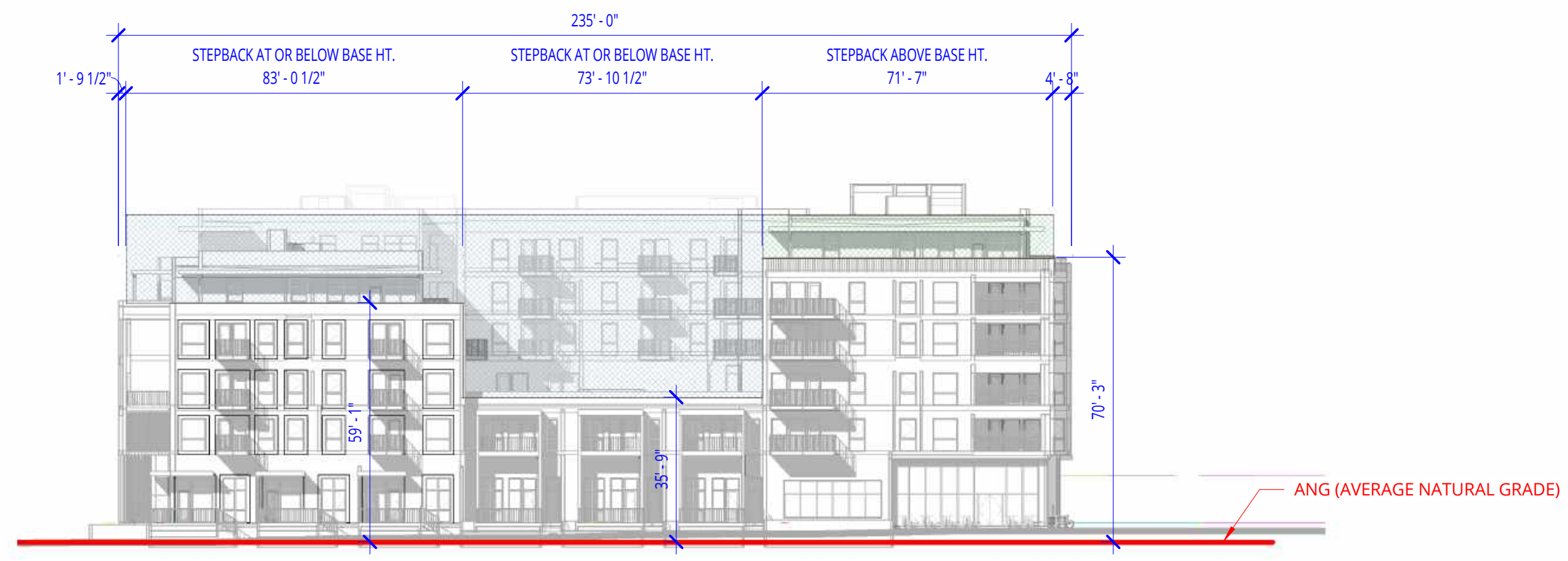
**E** BASE HT. / STEPBACK - WILLOW DRIVEWAY  
 1/32" = 1'-0"



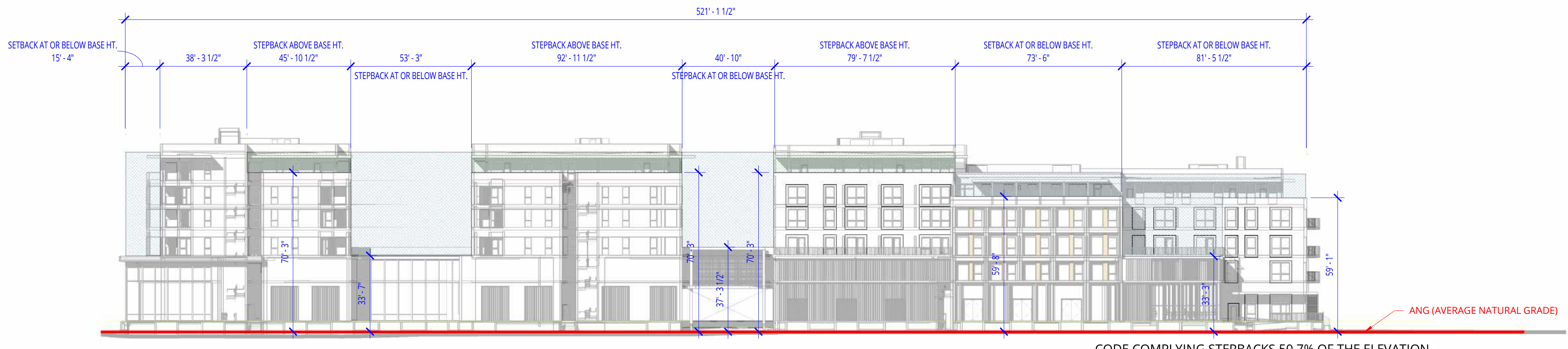
**F** BASE HT. / STEPBACK - WILLOW COURTYARD  
 1/32" = 1'-0"



**G** BASE HT. / STEPBACK - PARK FLATS  
 1/32" = 1'-0"



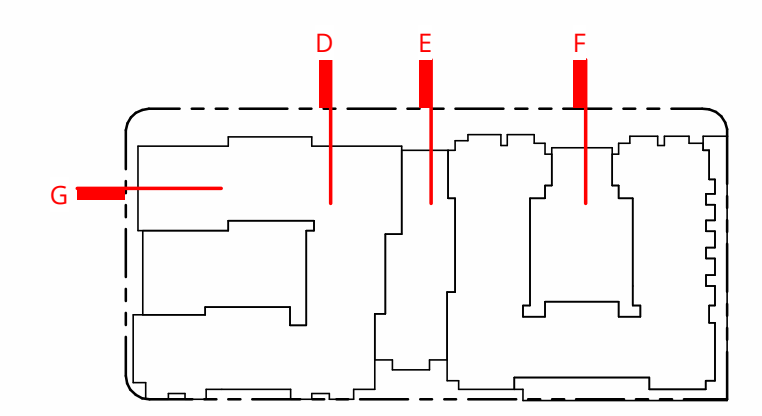
**1** SOUTH ELEVATION - PARK ST.  
 1/32" = 1'-0"  
 CODE COMPLYING STEPBACK 66.8% OF THE ELEVATION  
 STEPBACKS ABOVE THE BASE HEIGHT 30.5% OF THE ELEVATION



**3** WEST ELEVATION - WILLOW ROAD  
 1/32" = 1'-0"  
 CODE COMPLYING STEPBACKS 50.7% OF THE ELEVATION  
 STEPBACKS ABOVE THE BASE HEIGHT 41.9% OF THE ELEVATION

## LEGEND

- 10' STEPBACK AT OR BELOW 55'
- 10' STEPBACK ABOVE 55'



PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
 Architectural Control Package - Parcel 2  
 Menlo Park, CA

SCALE: As indicated  
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DRAWING TITLE:  
**BASE HEIGHT / STEPBACK DIAGRAMS**

DRAWING NO:  
**\*A9.08**



# BUILDING MASS & SCALE

**16.45.120(2) Minimum Stepback**  
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PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
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 Menlo Park, CA

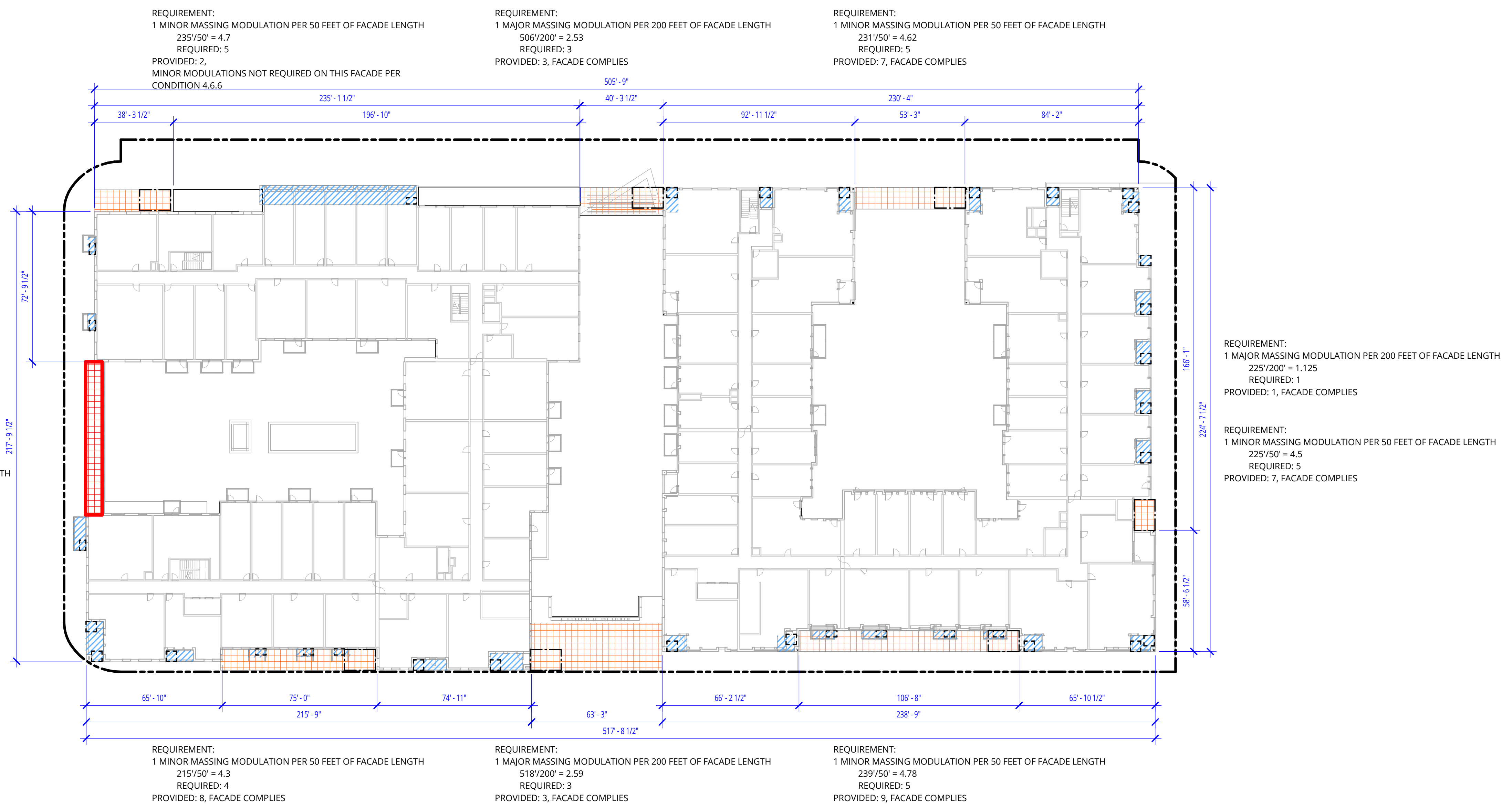
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DRAWING TITLE:  
**MODULATION DIAGRAM - PLAN**

DRAWING NO:  
**\*A9.09**



**LEGEND**

- PROPOSED MAJOR BUILDING MODULATION
- PROPOSED MINOR BUILDING MODULATION  
SEE USE PERMIT #2 RE: MODULATION DEFINITION
- MAJOR BUILDING MODULATION MIN. WIDTH: 15'
- MINOR BUILDING MODULATION MIN. WIDTH: 5'
- APPROVED ADJUSTMENT
- NO BUILDING MASS ABOVE PODIUM LEVEL

## 1 ZONING DIAGRAM - MODULATION - PLAN

1/32" = 1'-0"

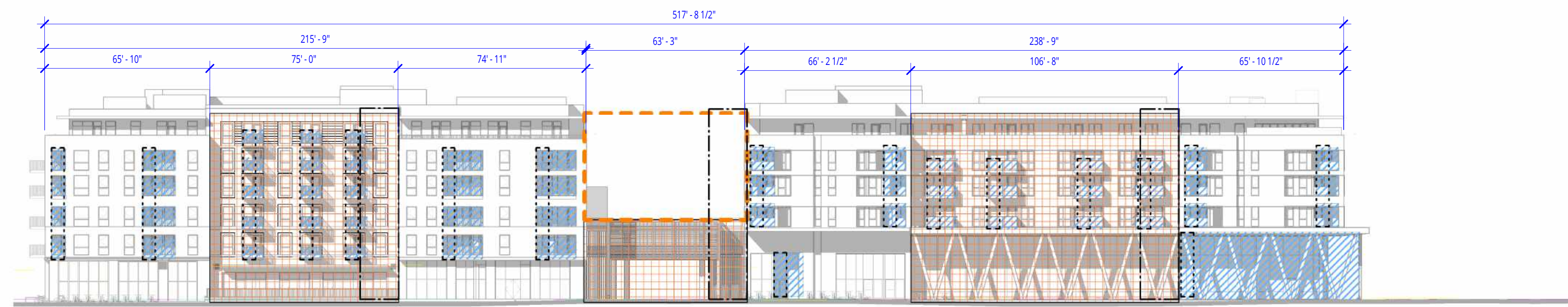


# BUILDING MASS & SCALE

**16.45.120(2) Minimum Stepback**  
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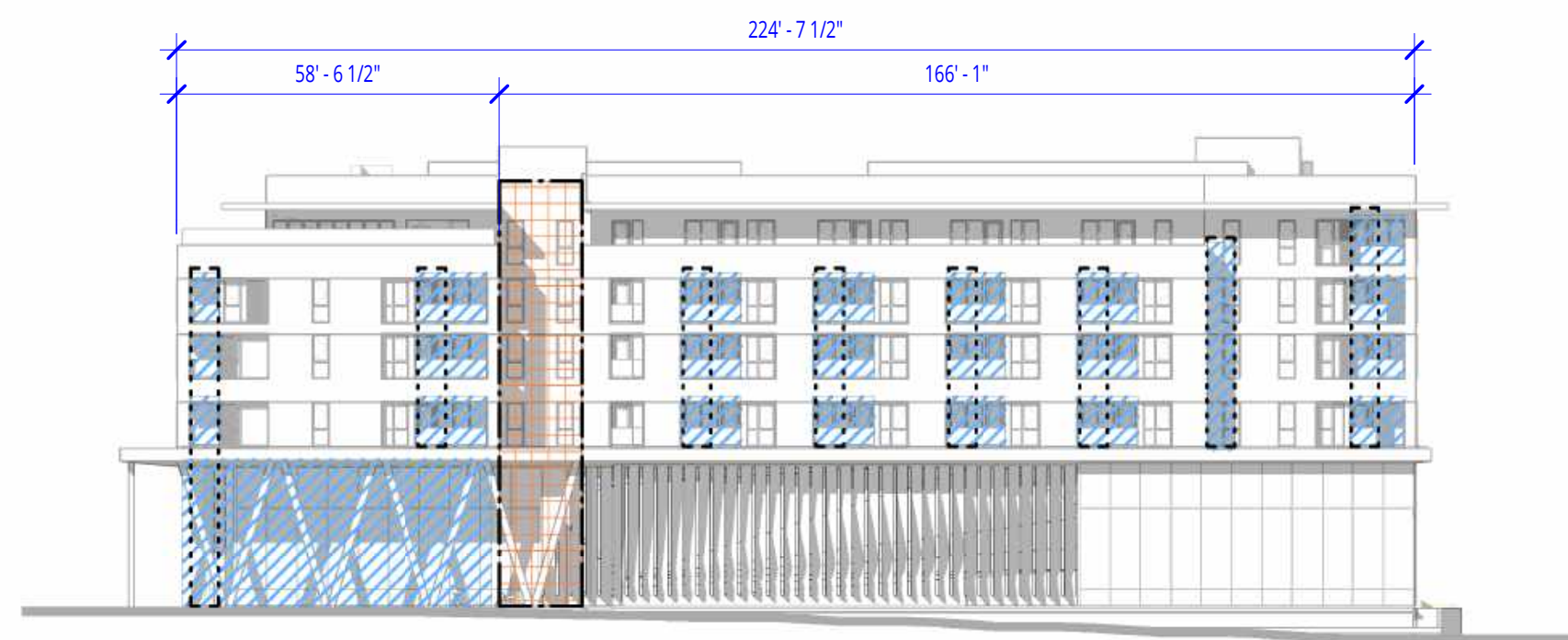
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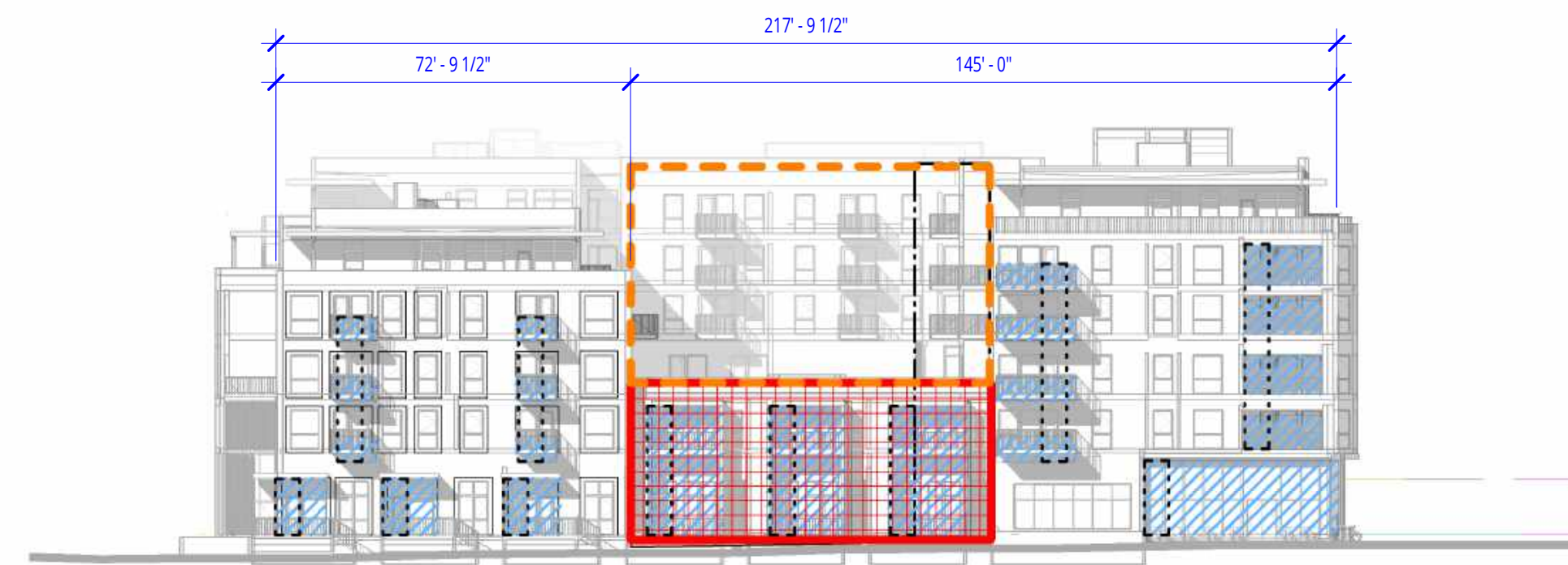


SEE Z3.03 FOR REQUIRED AND PROVIDED MODULATION COUNTS

**1 EAST ELEVATION - WEST ST.**  
 1/32" = 1'-0"



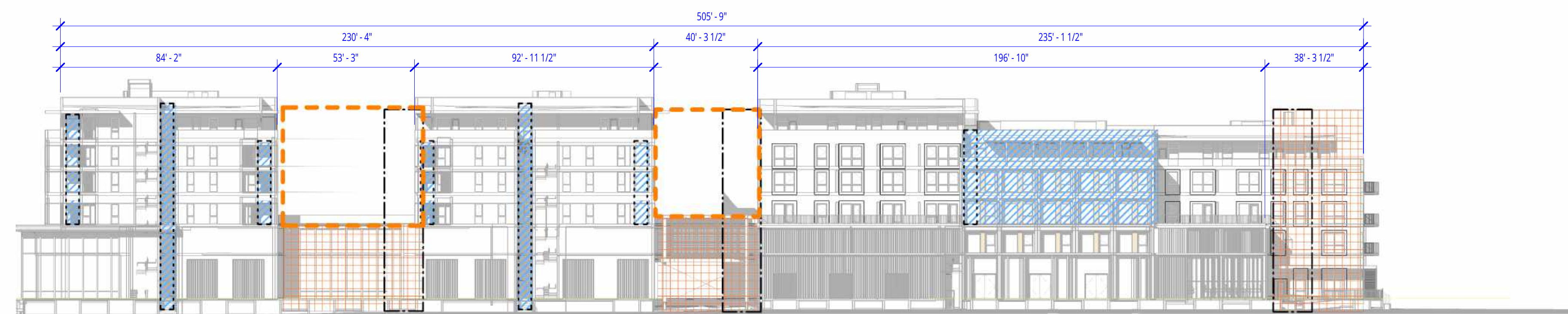
**2 NORTH ELEVATION - MAIN ST.**  
 1/32" = 1'-0"



**3 SOUTH ELEVATION - PARK ST.**  
 1/32" = 1'-0"

## LEGEND

- PROPOSED MAJOR BUILDING MODULATION
- PROPOSED MINOR BUILDING MODULATION  
SEE USE PERMIT #2 RE: MODULATION DEFINITION
- MAJOR BUILDING MODULATION MIN. WIDTH: 15'
- MINOR BUILDING MODULATION MIN. WIDTH: 5'
- APPROVED ADJUSTMENT
- NO BUILDING MASS ABOVE PODIUM LEVEL



**4 WEST ELEVATION - WILLOW ROAD**  
 1/32" = 1'-0"

PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
 Architectural Control Package - Parcel 2  
 Menlo Park, CA

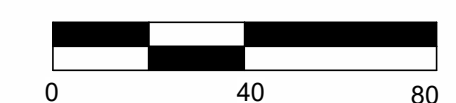
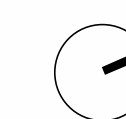
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DRAWING TITLE:  
**MODULATION DIAGRAM - ELEVATION**

DRAWING NO:  
**\*A9.10**



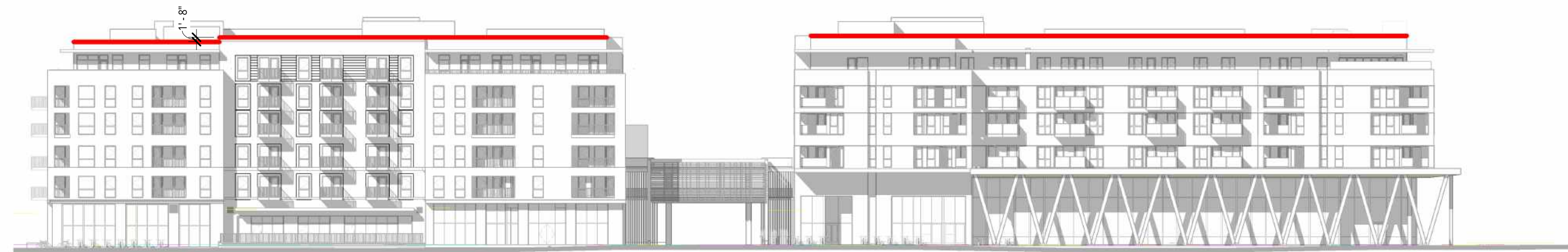


# ROOF MODULATION

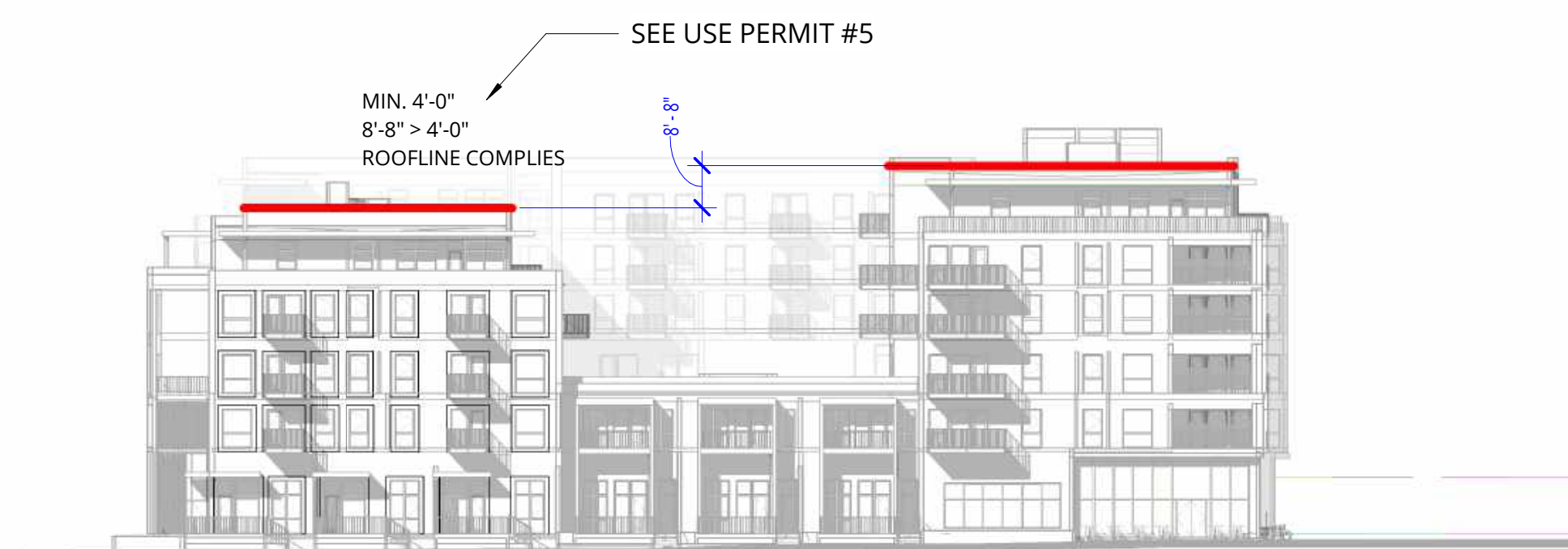
16.45.120(6) G Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four foot minimum height modulation to break visual monotony and create a visually interesting skyline as seen from public streets. The variation of the roofline's horizontal distance should match the required modulations and setbacks.



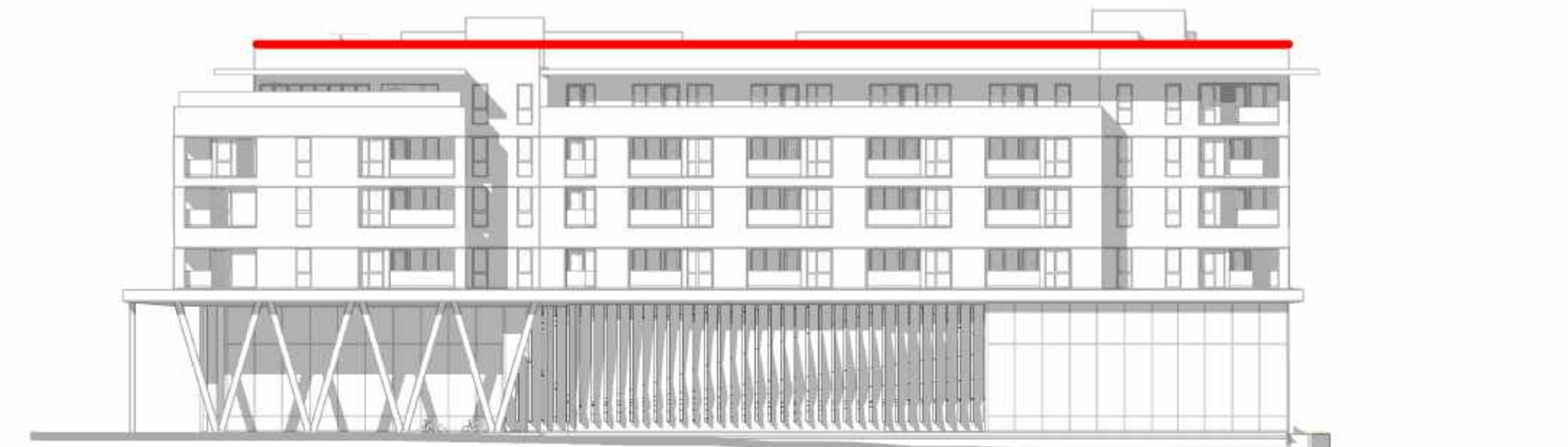
**1** WEST ELEVATION - WILLOW ROAD  
1/32" = 1'-0"



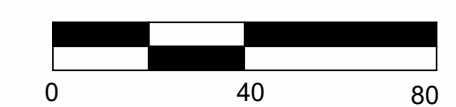
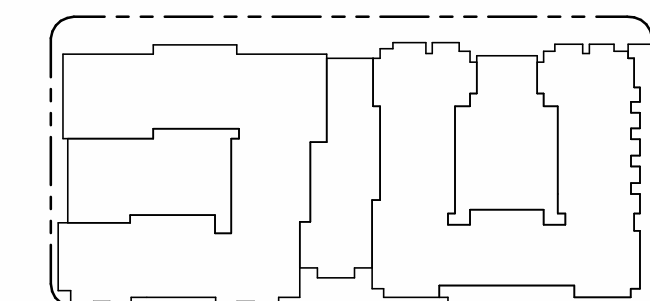
**2** EAST ELEVATION - WEST ST.  
1/32" = 1'-0"



**3** SOUTH ELEVATION - PARK ST.  
1/32" = 1'-0"



**4** NORTH ELEVATION - MAIN STREET  
1/32" = 1'-0"



PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
Architectural Control Package - Parcel 2  
Menlo Park, CA

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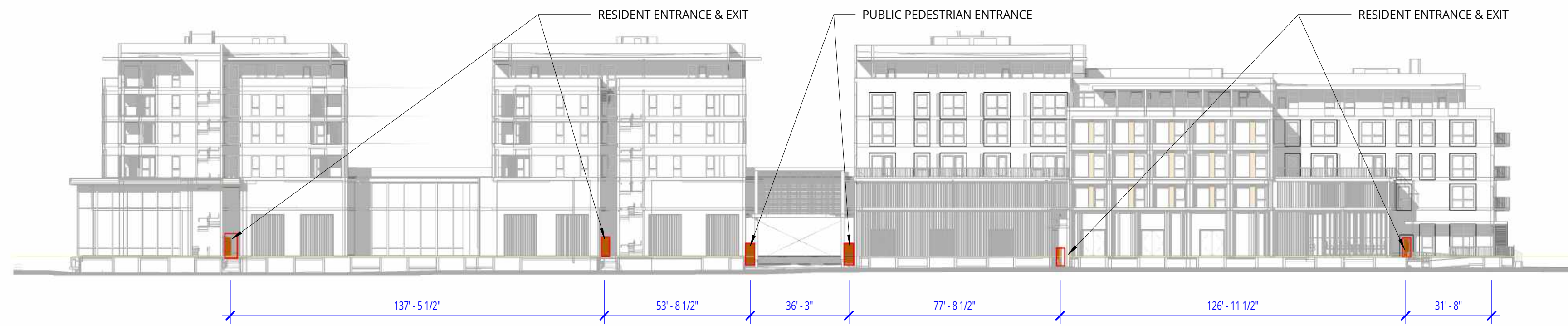
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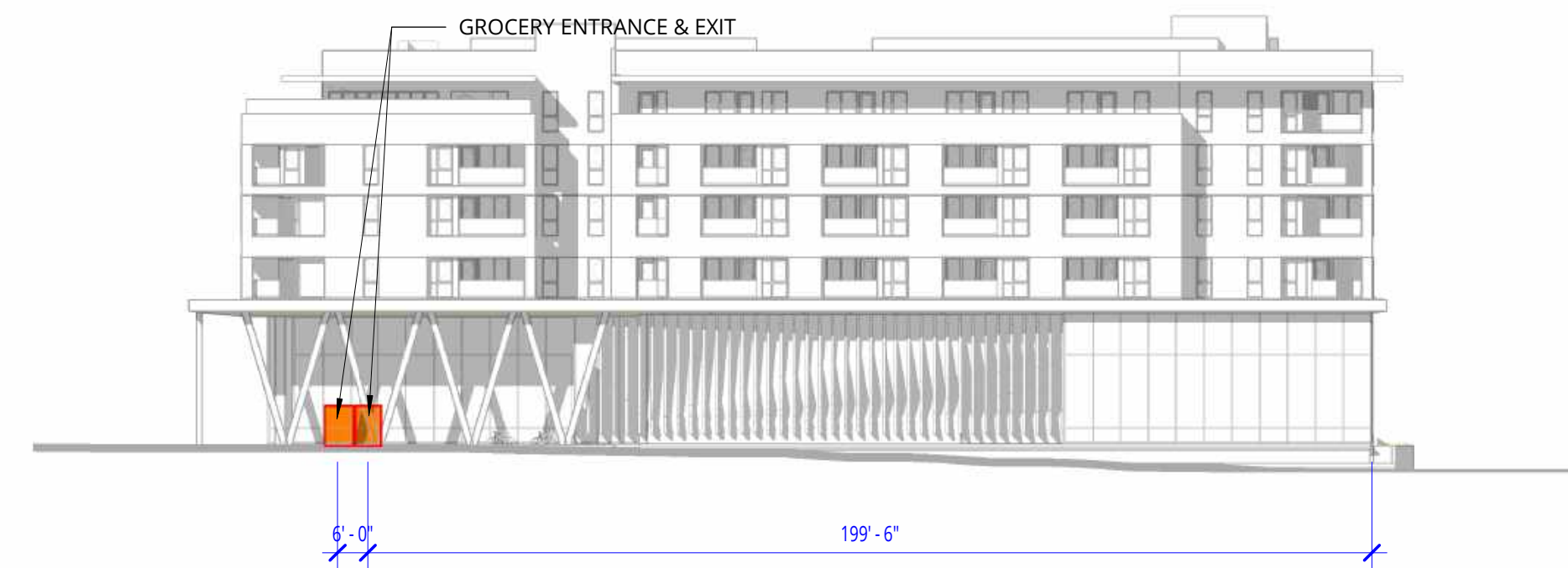
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**MODULATION DIAGRAM - ROOF**

DRAWING NO:  
**\*A9.10B**

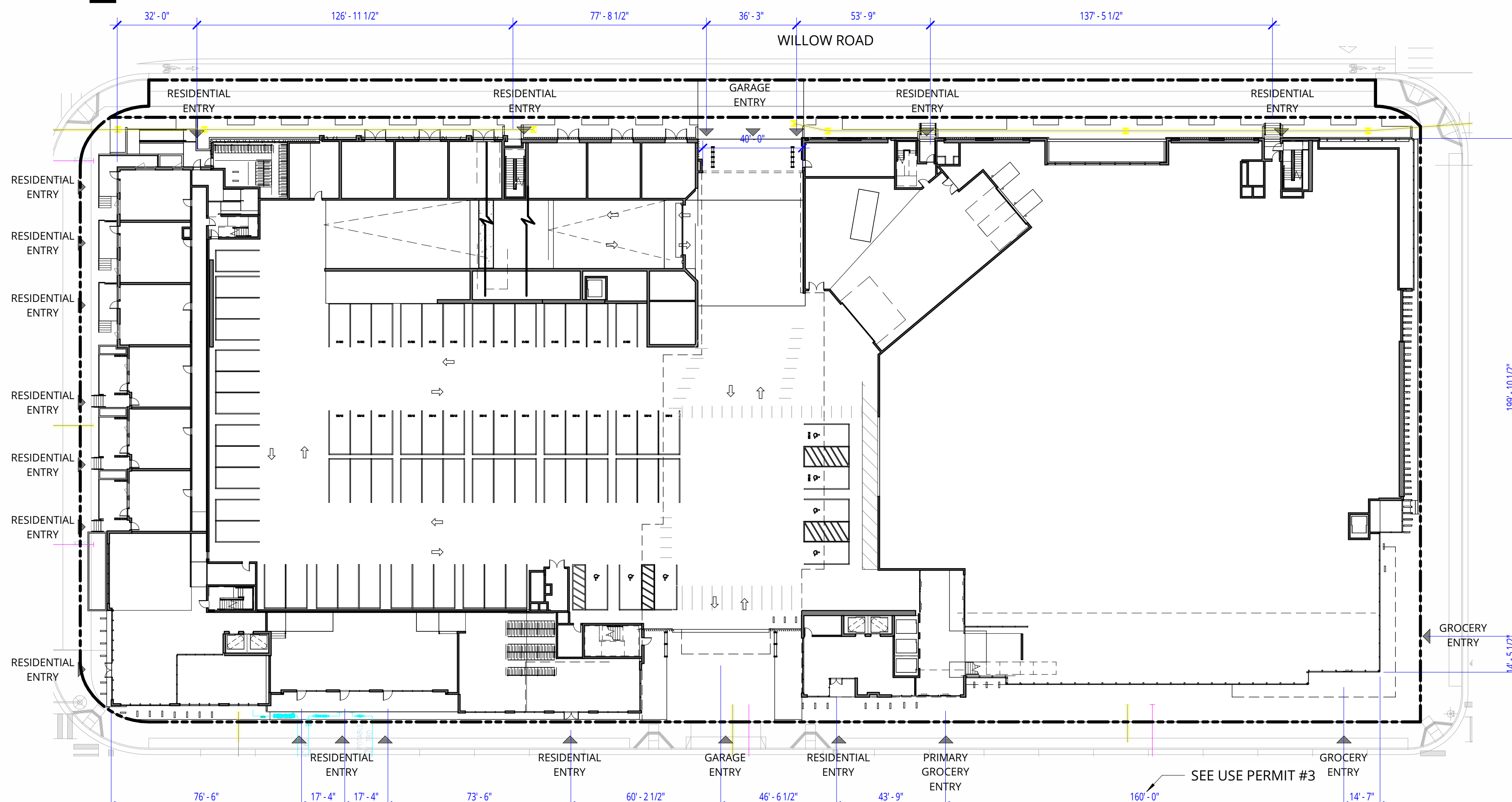




**1 WEST ELEVATION - WILLOW ROAD**  
1/32" = 1'-0"



**2 NORTH ELEVATION - MAIN ST.**  
1/32" = 1'-0"



**3 LEVEL 1 FLOOR PLAN - BUILDING ENTRIES**  
1/32" = 1'-0"

**GROUND FLOOR EXTERIOR**

**16.45.120(3) Building Entrances**  
Minimum ratio of entrances to building length along a public street or paseo. One entrance every 100 feet of building length along a public street or paseo is required, minimum one along each length. Entrances at a building corner may be used to satisfy that requirement for both frontages. Stairs must be located in locations convenient to building users.

**Description /** Ground floor residential units will all have entrances and ground floor lobby, leasing, common use spaces, parking and retail all have separate entrances spaced as per requirements.

PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
Architectural Control Package - Parcel 2  
Menlo Park, CA

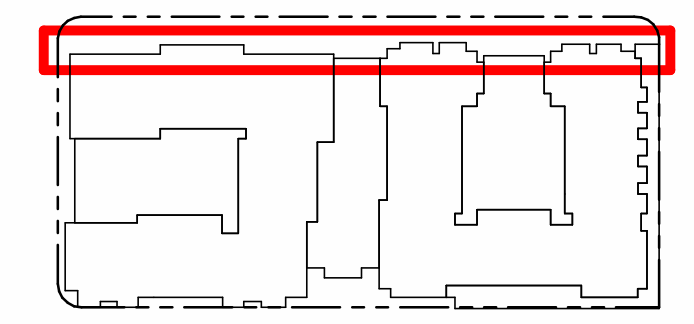
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DRAWING TITLE:  
**BUILDING ENTRANCE DIAGRAM**

DRAWING NO:  
**\*A9.11**







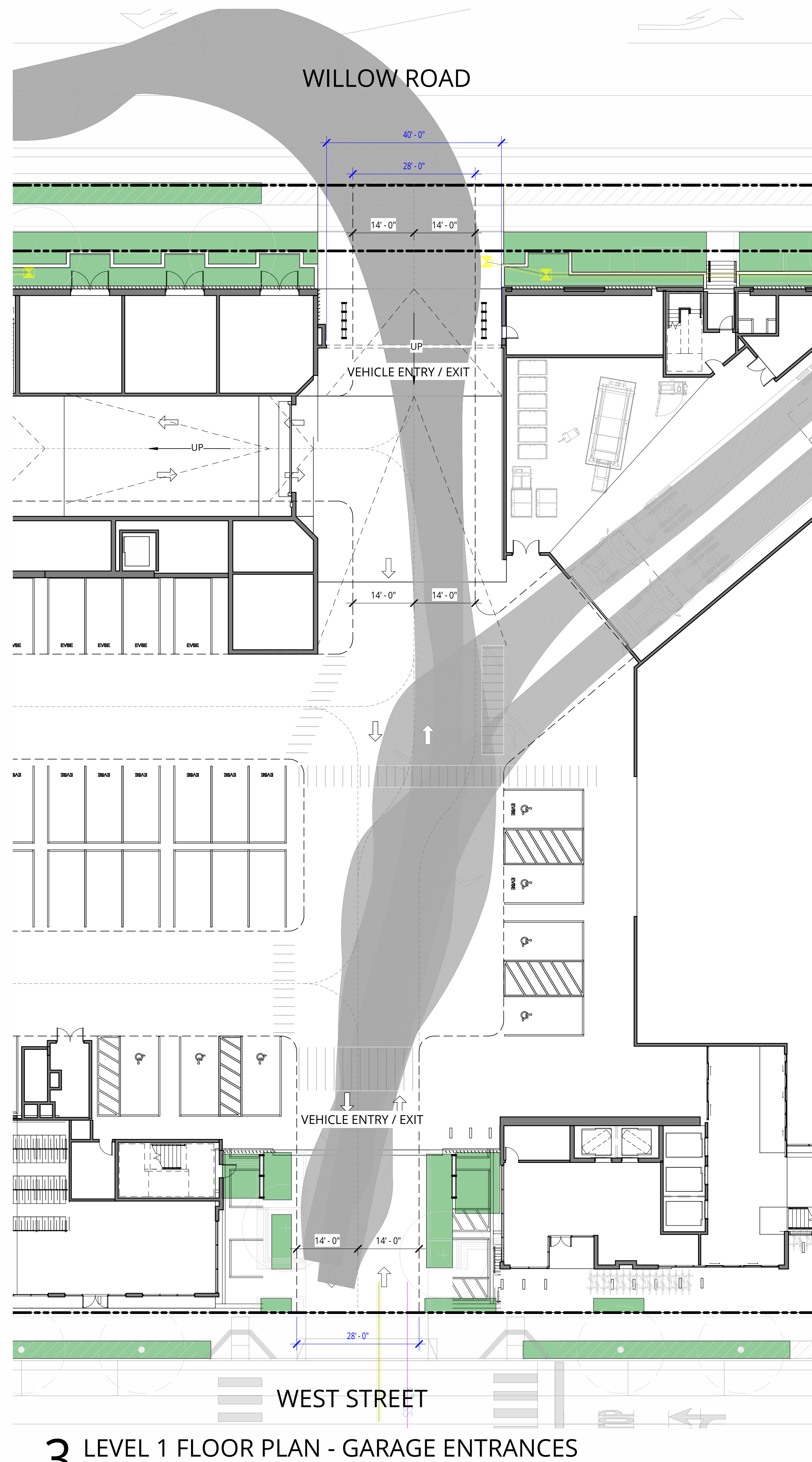
**1 WEST ELEVATION - WILLOW ROAD - GARAGE ENTRANCE**

1/16" = 1'-0"



**2 EAST ELEVATION - WEST ST. - GARAGE ENTRANCE**

1/16" = 1'-0"



**3 LEVEL 1 FLOOR PLAN - GARAGE ENTRANCES**

1/16" = 1'-0"

**GROUND FLOOR EXTERIOR**

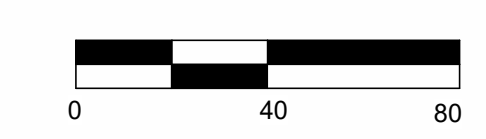
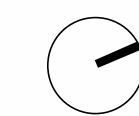
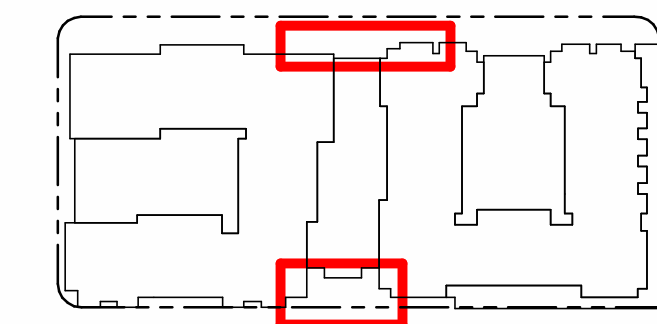
**16.45.120(3) Garage Entrances**  
Width of garage door entry/door along street frontage. Garage entrances must be separated by a minimum of 100 feet to ensure all entrances/exits are not grouped together or resulting in an entire stretch of sidewalk unsafe and undesirable for pedestrians.

**Description /**  
**Garage at Willow Road:** Parcel 2 Building proposes two garage openings off of Willow Road - 1. Loading Entry at 32' width, and 2. Parking Garage Entry/Exit at 28' width, limited to Right in Right out traffic flow.  
**Garage at West Street:** Parcel 2 Building proposes a Parking Garage Entry/Exit at 36' width.

**Request /**  
**Garage at Willow Road:** The sizing and separation of Loading and Vehicles are based on Traffic Engineering Recommendations to prevent backup on Willow Road. The Loading Entry proposes a garage door with translucent glazing. The vehicle entry/exit would not have a door and would allow both commercial and residential entry/exit. The expected use of Loading Garage Entry would be limited to an approximate of 2 times per day as entry only and therefore would have limited impact to the pedestrian realm. The garage opening is articulated with warm materials and signage, as such is an integrated part of the façade design.

**Garage at West Street:** The proposed garage opening West street is for vehicle entry/exit for both commercial and residential traffic. The commercial use of the garage suggests that a wider entry would be a convenience for drivers unfamiliar with the garage. The design proposed allows for a large buffered area to the right and left of the garage opening to allow for pedestrian stopping areas, the idea being that the garage entry would not feel unwelcoming or intimidated at the pedestrian level. Much like the Willow garage opening, the West Street garage opening is detailed with warm materials and is fully integrated into the overall design of the façade and to the seating above at the podium level. The location of the Garage Opening is at the terminus of Center Street and is designed to act as both a visual and actual Gateway to the building.

The garage opening along Willow would be aligned with the garage opening along West Street, allowing daylight and interesting views through the building. Additionally, both garage entries are aligned to a break in the massing above which further emphasizes the purposeful design around the garage openings.



**WILLOW VILLAGE**  
 Architectural Control Package - Parcel 2  
 Menlo Park, CA

SCALE: As indicated  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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DATE	ISSUE
05/22/2023	ACP

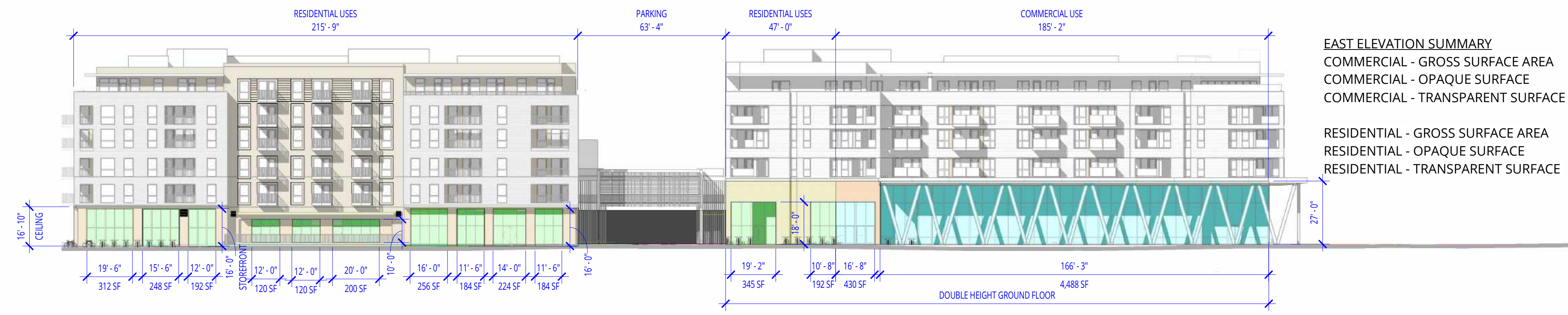
REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:  
**GARAGE ENTRANCE DIAGRAM**

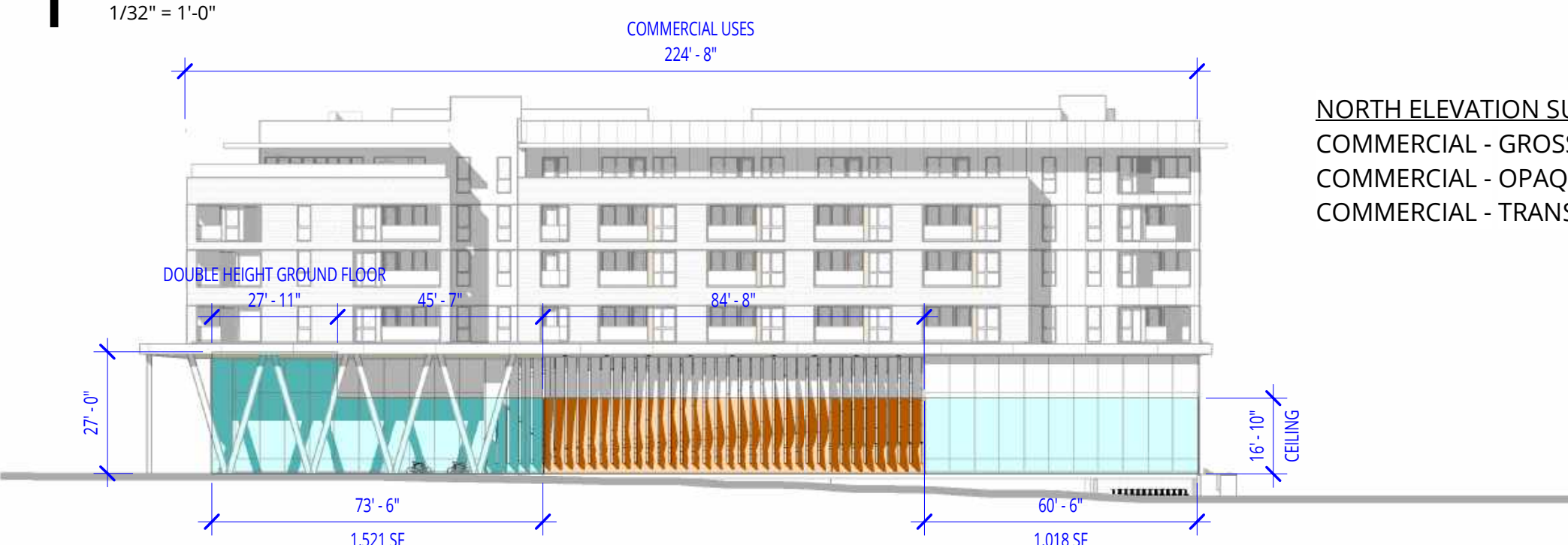
DRAWING NO:  
**\*A9.12**



# GROUND FLOOR EXTERIOR



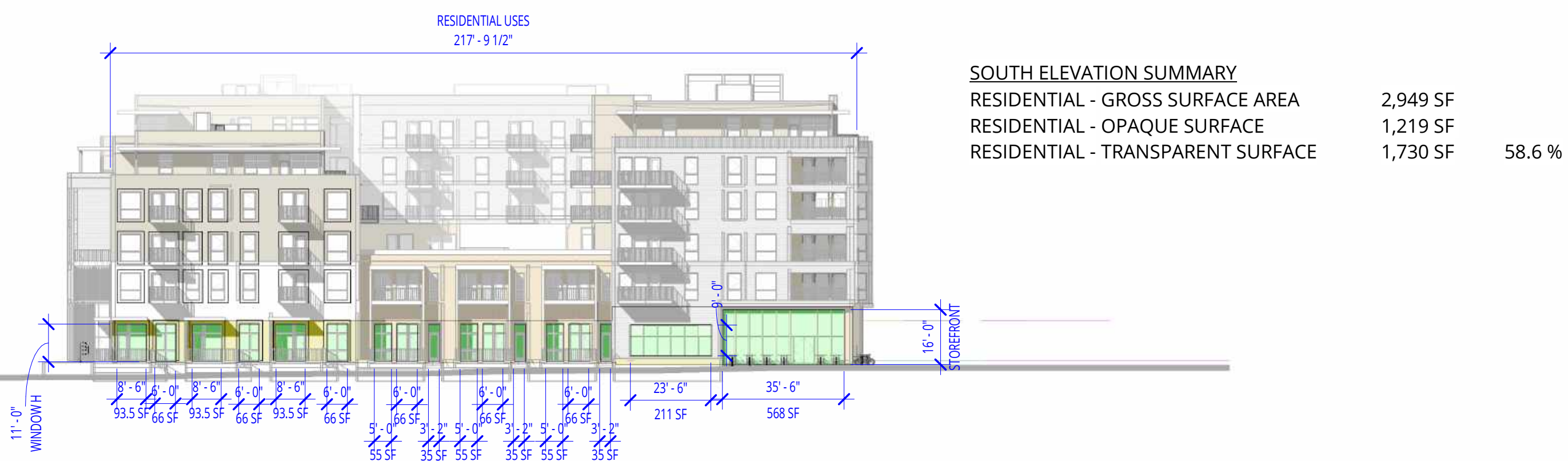
## 1 EAST ELEVATION - WEST ST.



## 2 NORTH ELEVATION - NEW HAMILTON AVE.



## 3 WEST ELEVATION - WILLOW ROAD



## 4 SOUTH ELEVATION - PARK ST.

**16.45.120(3) Ground Floor Transparency**  
 The minimum percentage of the ground floor façade (finished floor to ceiling) that must provide visible transparency. Windows shall not be opaque or mirrored. For the purpose of this chapter, "commercial" is defined as uses enumerated in this chapter, except office and research and development.

30% for residential uses, 50% for commercial uses.

**Description / The proposed percentage of commercial glazing along Willow Road is 55.6%, vs. the required 50%**  
**The proposed percentage of residential glazing along Willow Road is 30%, satisfying the required 30%**

**Request / Commercial Glazing:** The parking garage along Willow is being activated with the use of "fins" as an architectural feature that allows a views and light into the garage. The spacing and angle of the fins is designed such that these views are playful and interactive to both the pedestrian and vehicular experience. Willow Parcel 2 proposes that these areas be allowed to be a substitute for for glazing, as the activation and views proposed with this language meet the intent of glazing along Willow.

### LEGEND

- COMMERCIAL - TRANSPARENT SURFACE
- COMMERCIAL - OPAQUE SURFACE
- RESIDENTIAL - TRANSPARENT SURFACE
- RESIDENTIAL - OPAQUE SURFACE
- EXEMPTED - SERVICE/UTILITY/EGRESS STAIR/PARKING

PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
 Architectural Control Package - Parcel 2  
 Menlo Park, CA

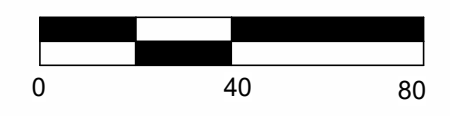
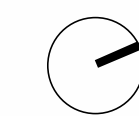
SCALE: As indicated  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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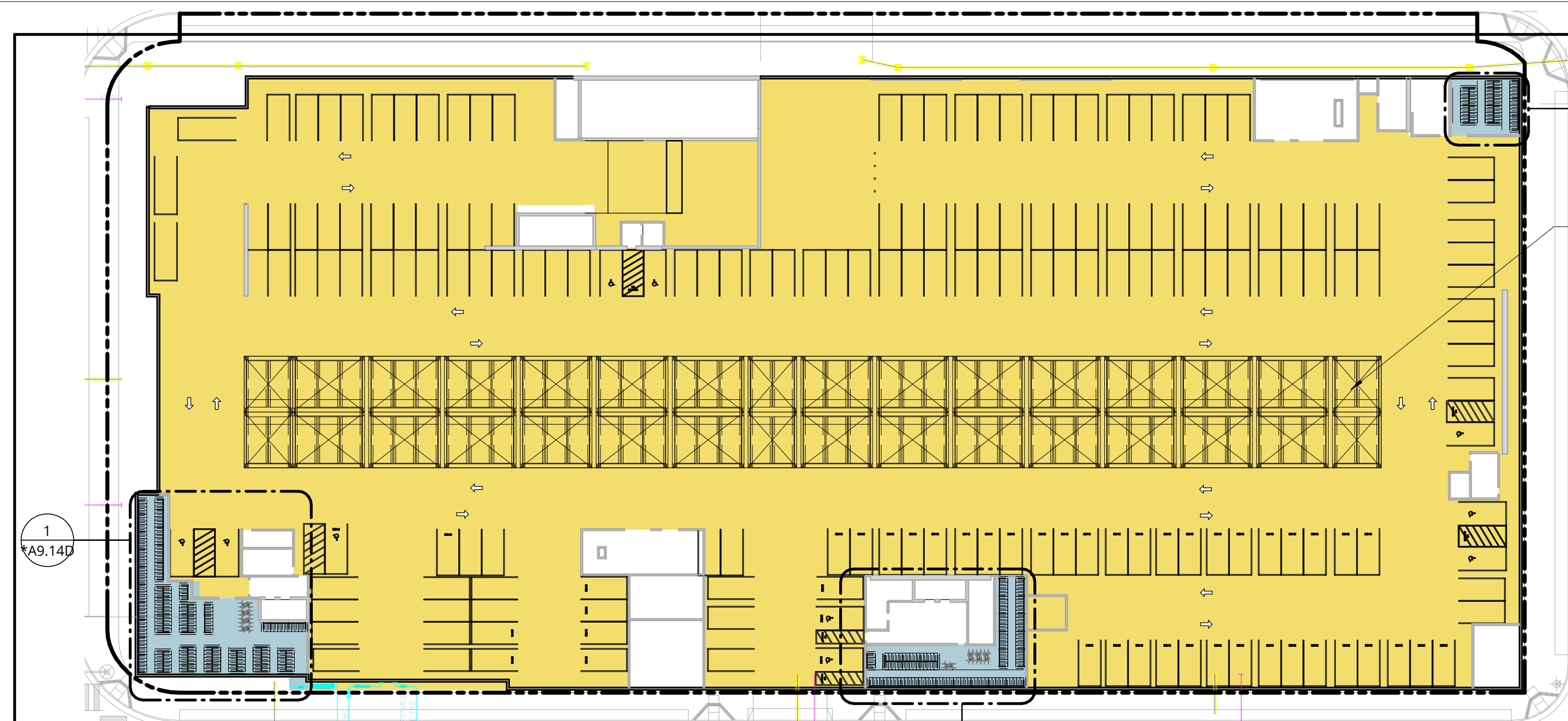
REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:  
**GROUND FLOOR  
 TRANSPARENCY DIAGRAM**

DRAWING NO:  
**\*A9.13**

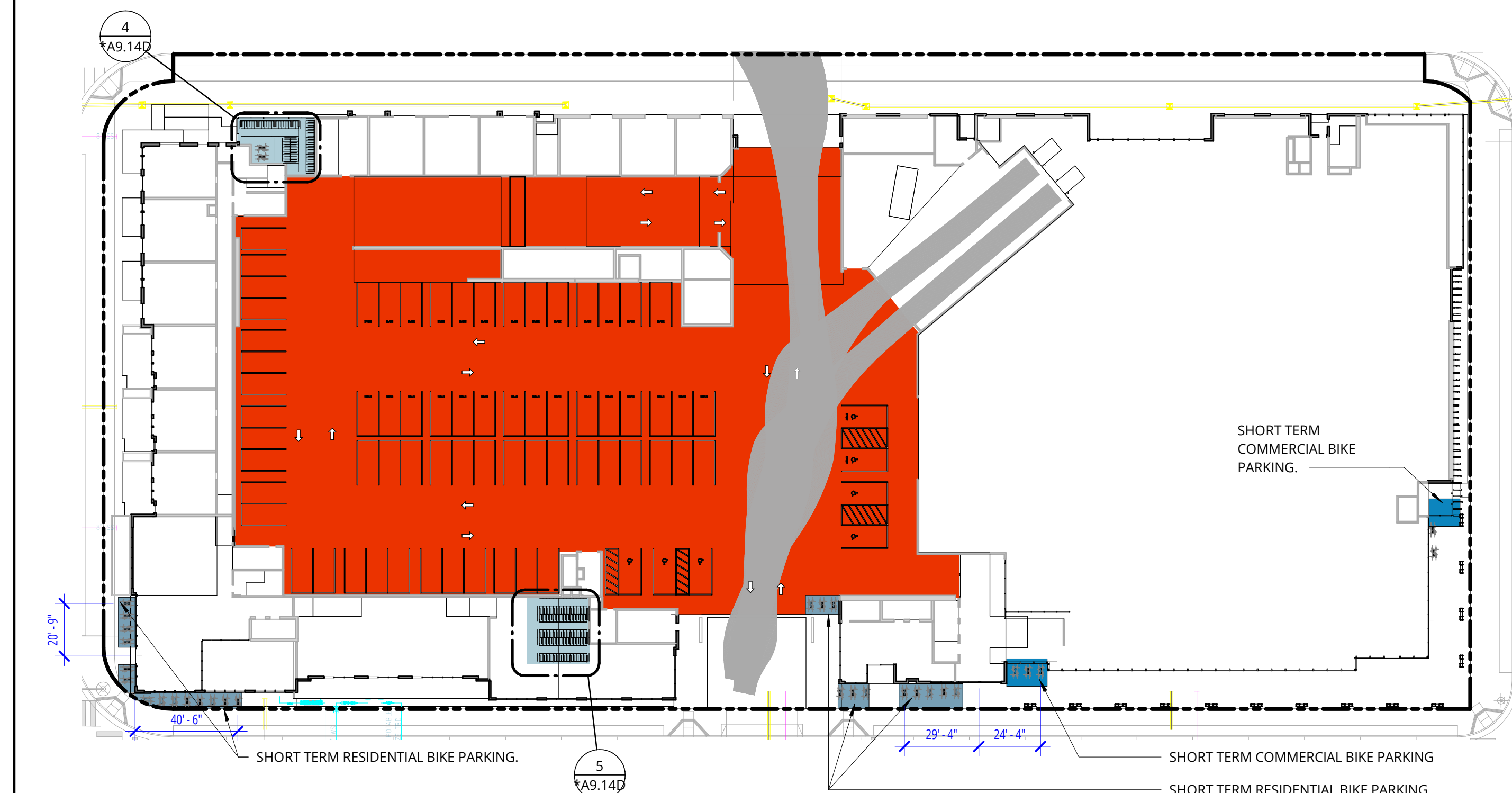






# P1 PARKING - LEVEL P1

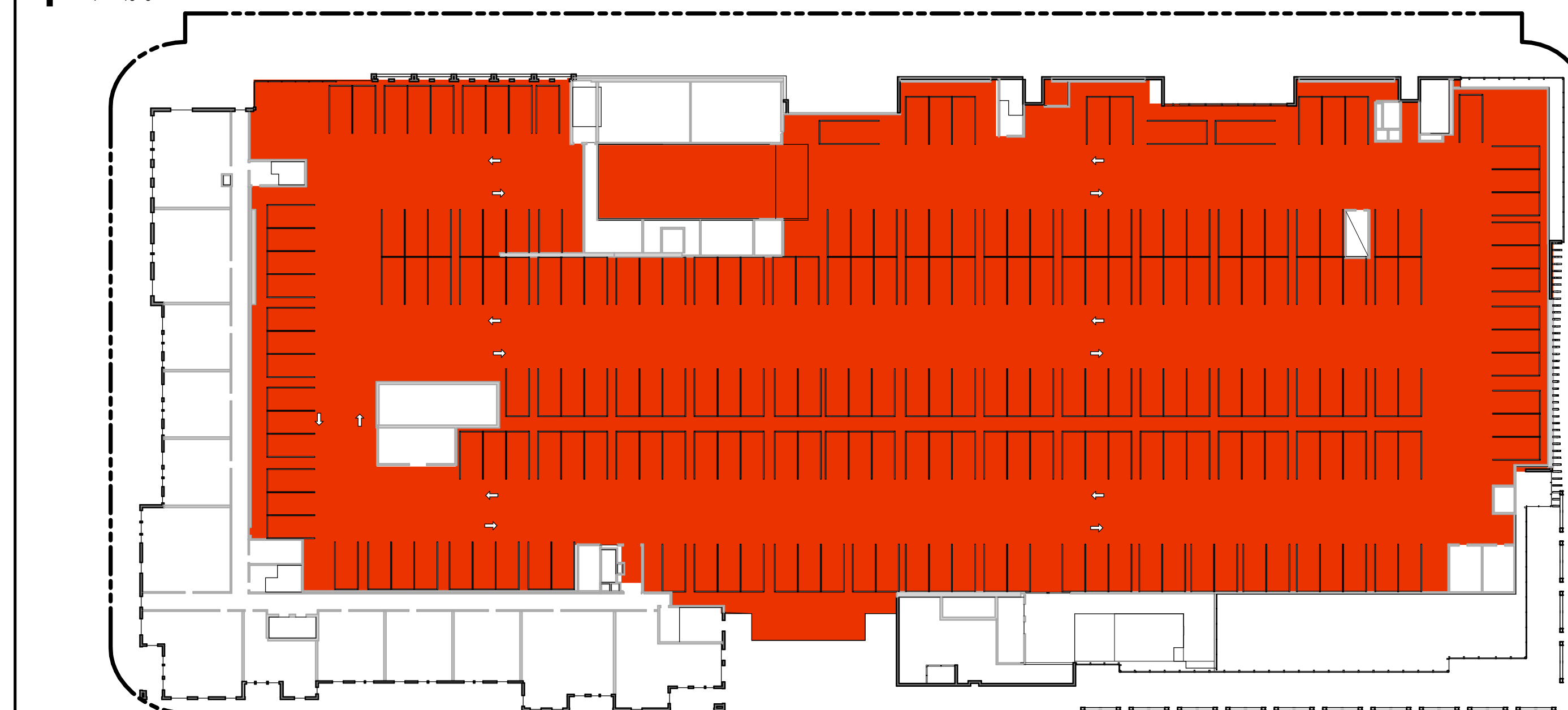
1" = 40'-0"



# 1 PARKING - LEVEL 1

1" = 40'-0"

DIMENSIONS INDICATE DISTANCE FROM FURTHEST BIKE RACK IN GROUPING TO BUILDING ENTRY



# 2 PARKING - LEVEL 2

1" = 40'-0"

- RESIDENTIAL CAR PARKING
- COMMERCIAL CAR PARKING
- COMMERCIAL LONG TERM BICYCLE PARKING
- COMMERCIAL SHORT TERM BICYCLE PARKING
- RESIDENTIAL LONG TERM BICYCLE PARKING
- RESIDENTIAL SHORT TERM BICYCLE PARKING

### RETAIL PARKING

16.45.080 Parking standards		
Retail	Minimum Spaces (Per Unit or 1,000 Sq. Ft.)	Maximum Spaces (Per Unit or 1,000 Sq. Ft.)
	2.5	3.3
Retail 39,288SF	99 spaces Min	130 spaces Max**

\*\*Refer to Masterplan plan set for parking allocation

_CAR PARKING SCHEDULE_COMMERCIAL				
Level	Type Comments	Spaces per Parking Unit	Count	Total Space Count
<b>LEVEL 1</b>				
LEVEL 1	ACCESSIBLE 9 X 18	1	3	3
LEVEL 1	ACCESSIBLE - VAN	1	4	4
LEVEL 1	STANDARD 8.5 X 17.5	1	69	69
				76
<b>LEVEL 2</b>				
LEVEL 2	PARALLEL 8.5 X 22	1	3	3
LEVEL 2	STANDARD 8.5 X 17.5	1	221	221
				224
Grand total				300

### COMMERCIAL BIKE PARKING

16.45.080 Parking standards		
Retail	Minimum Spaces Per Unit - Long Term 1 per 5,000 sq. ft. of gross floor area - 20%	Minimum Spaces Per Unit - Short Term 1 per 5,000 sq. ft. of gross floor area - 80%
Retail 39,288SF	2 Min - Long Term	7 Min - Short Term

_BIKE PARKING SCHEDULE_COMMERCIAL					
Level	Parking Type	Parking Duration	Spaces per Parking Unit	Count	Total Parking Capacity
<b>RETAIL</b>					
LEVEL 1	RETAIL	LONG TERM	2	1	2
					2
LEVEL 1	RETAIL	SHORT TERM	2	4	8
					8
Grand total					10

### RESIDENTIAL EVSE (ELECTRIC VEHICLE SUPPLY EQUIPMENT) SPACES

PER MENLO PARK MUNICIPAL CODE 12.18.030 & 12.18.050:  
FOR EACH DWELLING UNIT, INSTALL A LISTED RACEWAY AND WIRING TO ACCOMMODATE A 208/240-VOLT DEDICATED BRANCH CIRCUIT AND INSTALL EVSE IN 15 PERCENT OF THE TOTAL NUMBER OF REQUIRED ELECTRIC VEHICLE CHARGING SPACES (EV SPACES) ASSOCIATED WITH THE BUILDING CALCULATIONS FOR THE REQUIRED NUMBER OF EV SPACES SHALL BE ROUNDED UP TO THE NEAREST WHOLE NUMBER

	TOTAL SPACES	DWELLING UNITS	EVSE SPACES CALC	REQUIRED EVSE SPACES
RESIDENTIAL:	352	327	327x15%=49.05	50

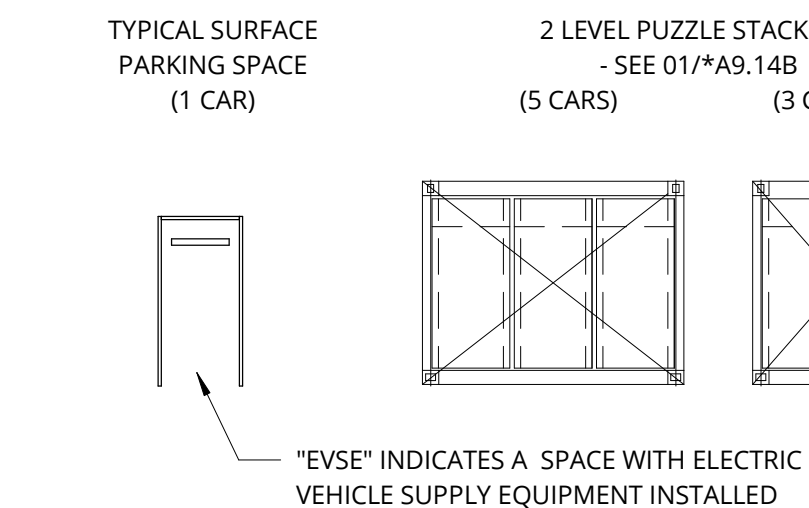
### NONRESIDENTIAL EVSE (ELECTRIC VEHICLE SUPPLY EQUIPMENT) SPACES

PER TABLE 5.106.5.3.3 AS AMENDED BY MENLO PARK MUNICIPAL CODE 12.18.110:  
FOR NEW CONSTRUCTION BUILDINGS GREATER THAN 9,999 SQ. FT. THE NUMBER OF EV CHARGING SPACES REQUIRED IS 15% OF TOTAL NUMBER OF REQUIRED PARKING STALLS AND INSTALL EVSE IN 10% OF THE TOTAL REQUIRED NUMBER OF PARKING STALLS, WITH A MINIMUM OF 1, IN CHARGING SPACE(S).

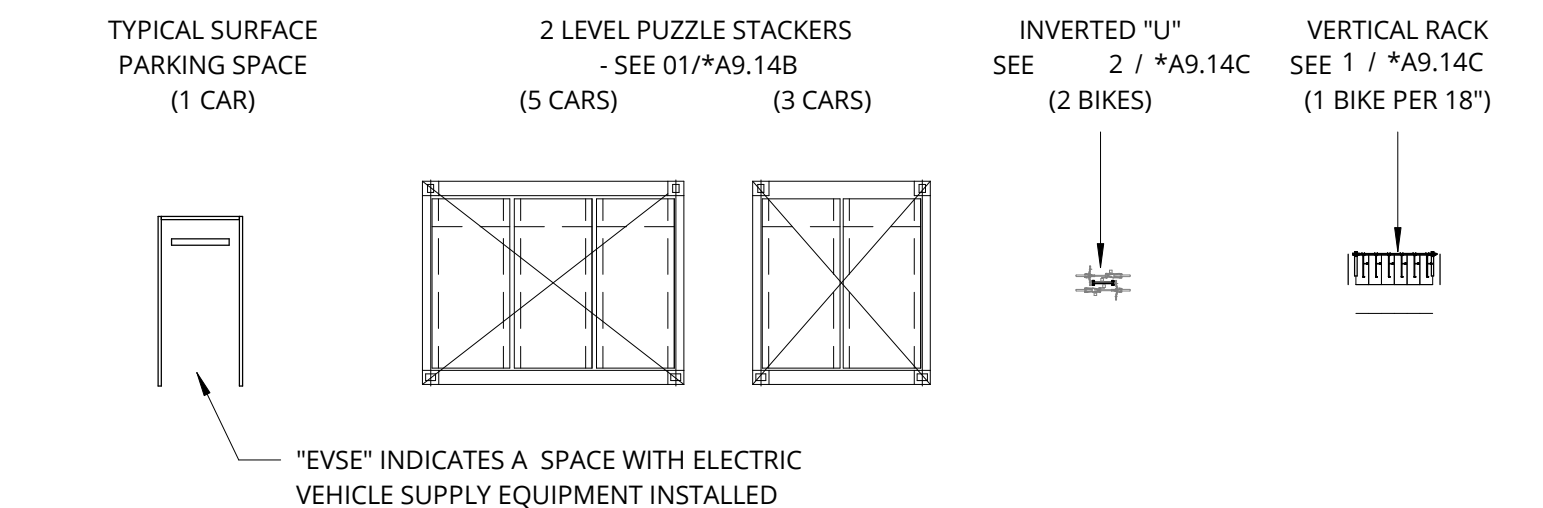
	TOTAL SPACES	EV CHARGING SPACES CALC	REQUIRED EV CHARGING SPACES	EVSE SPACES CALC	REQUIRED EVSE SPACES
PUBLIC:	300	300x15%=45	45	300x10%=30	30

PROPOSED EVSE SPACES ARE INDICATED WITH AN "EVSE" TAG AT THE FRONT OF THE SPACE ON A2.00 - A2.02

### CAR PARKING TYPES



### BIKE PARKING TYPES



### RESIDENTIAL PARKING

16.45.080 Parking standards		
Residential units	Minimum Spaces (Per Unit or 1,000 Sq. Ft.)	Maximum Spaces (Per Unit or 1,000 Sq. Ft.)
	1 per Unit	1.5 per Unit
Proposed Units 327	327 spaces Min	491 spaces Max

_CAR PARKING SCHEDULE_RESIDENTIAL				
Level	Type Comments	Spaces per Parking Unit	Count	Total Space Count
<b>PARKING PIT</b>				
PARKING PIT	PUZZLE 2W X 2H	3	6	18
PARKING PIT	PUZZLE 3W X 2H	5	26	130
				148
<b>LEVEL P1</b>				
LEVEL P1	ACCESSIBLE 9 X 18	1	2	2
LEVEL P1	ACCESSIBLE - VAN	1	8	8
LEVEL P1	PARALLEL 8.5 X 22	1	3	3
LEVEL P1	STANDARD 8.5 X 17.5	1	171	171
				184
Grand total				332

### RESIDENTIAL BIKE PARKING

16.45.080 Parking standards		
Residential units	Minimum Spaces Per Unit - Long Term 1.5 per Unit	Minimum Spaces Per Unit - Short Term 10% additional
Proposed Units 327	491 spaces Min - Long Term	50 spaces additional - Short Term

_BIKE PARKING SCHEDULE_RESIDENTIAL				
Building	Parking Type	Parking Duration	Count	Total Parking Capacity
<b>RESIDENTIAL</b>				
LEVEL 1 - BIKE ROOM 1	RESIDENTIAL	LONG TERM	3	56
LEVEL 1 - BIKE ROOM 2	RESIDENTIAL	LONG TERM	5	50
LEVEL P1 - BIKE ROOM 1	RESIDENTIAL	LONG TERM	16	212
LEVEL P1 - BIKE ROOM 2	RESIDENTIAL	LONG TERM	9	136
LEVEL P1 - BIKE ROOM 3	RESIDENTIAL	LONG TERM	3	38
				492
	RESIDENTIAL	SHORT TERM	25	50
				50
Grand total				542

WILLOW VILLAGE  
 Architectural Control Package - Parcel 2  
 Menlo Park, CA

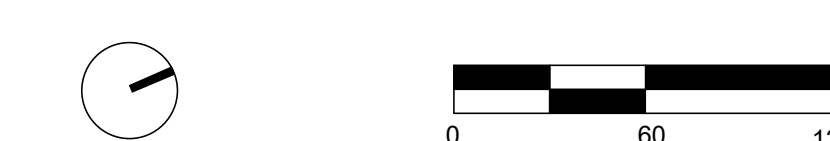
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NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. OR USE CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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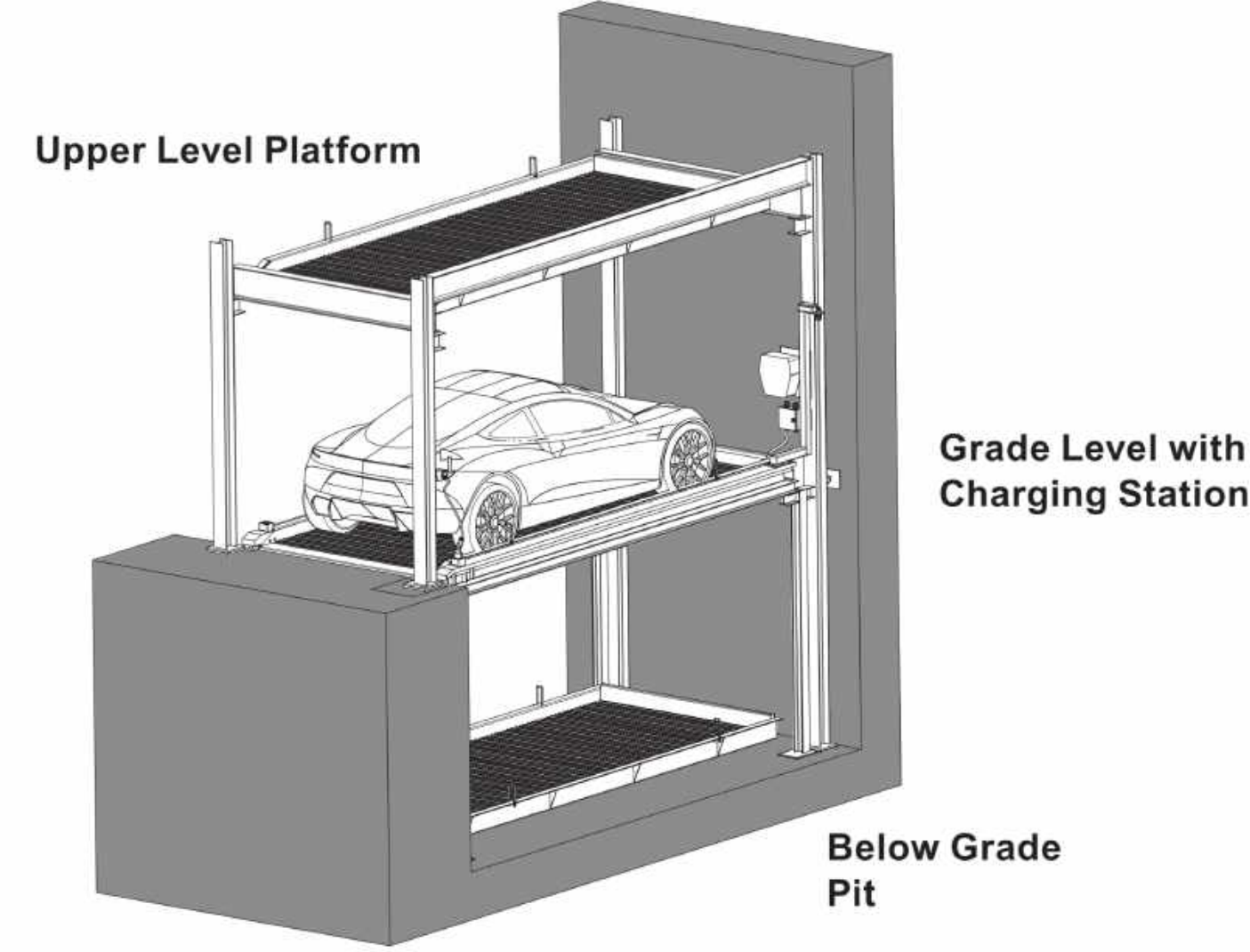
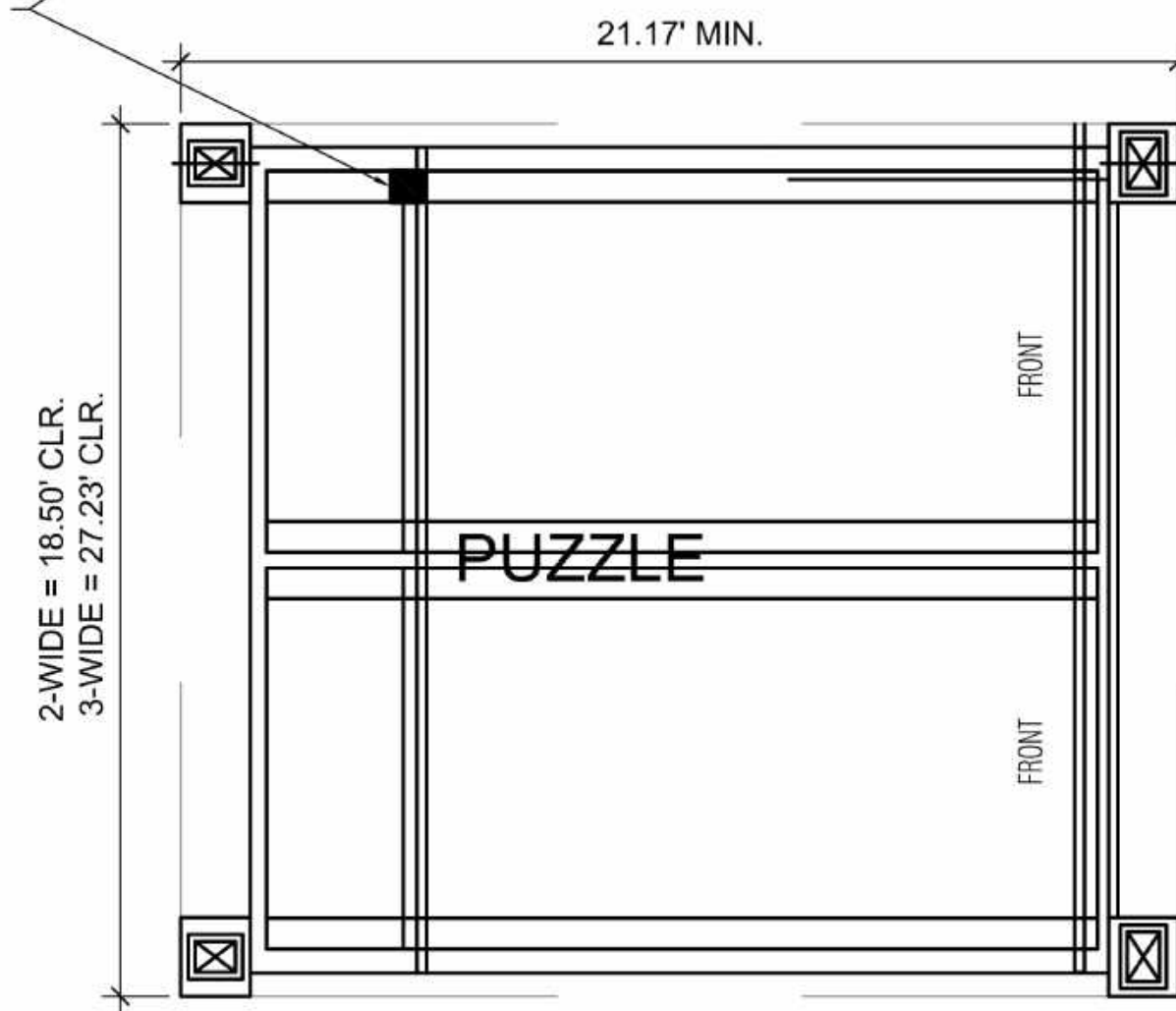
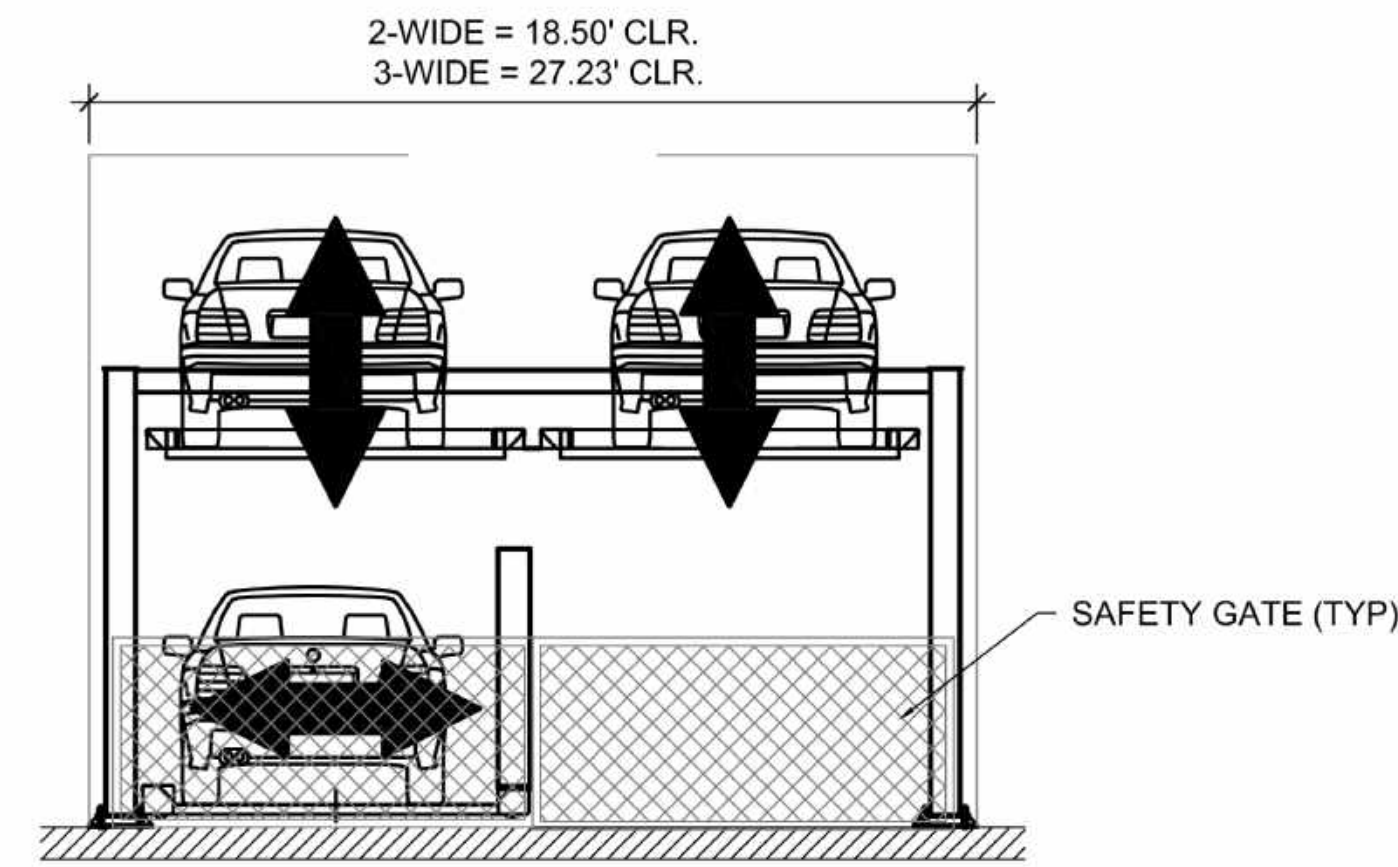
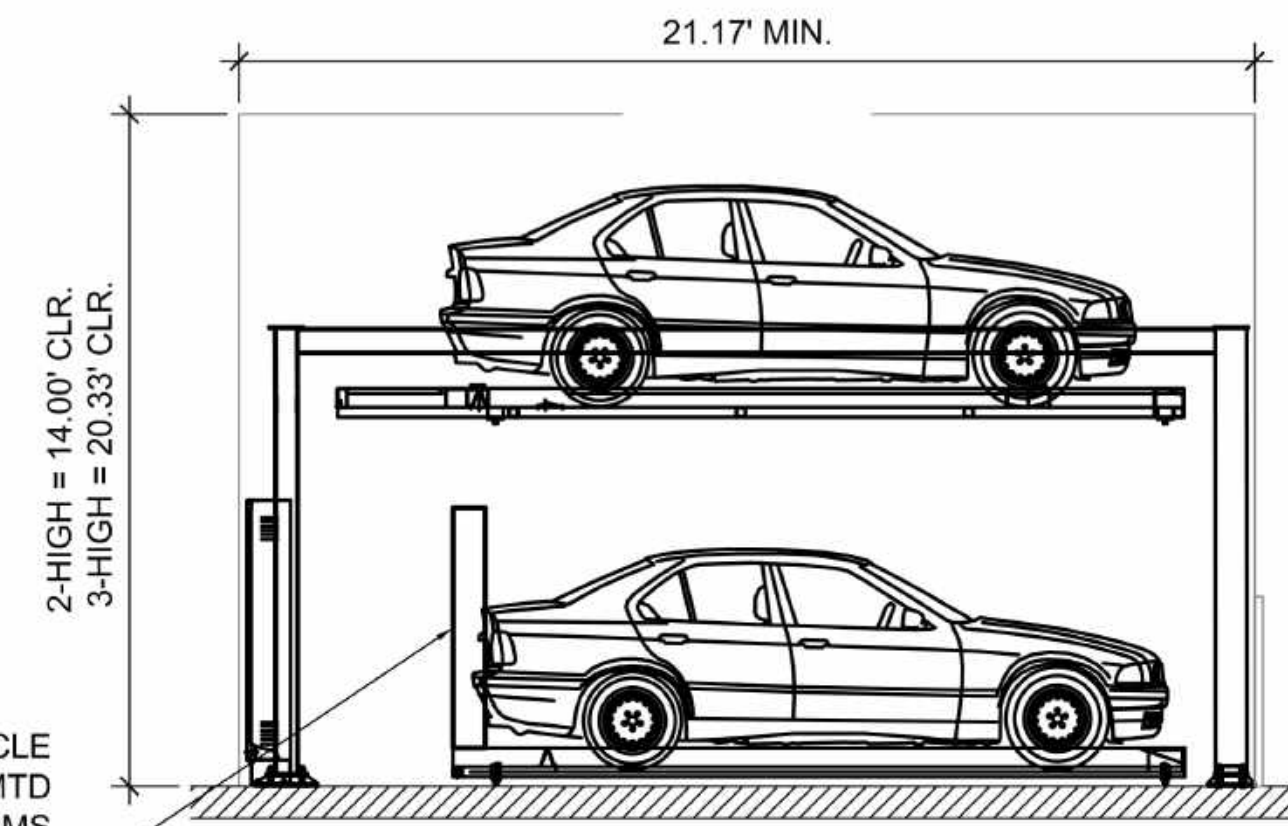
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 PARKING COUNT DIAGRAM

DRAWING NO:  
**\*A9.14**





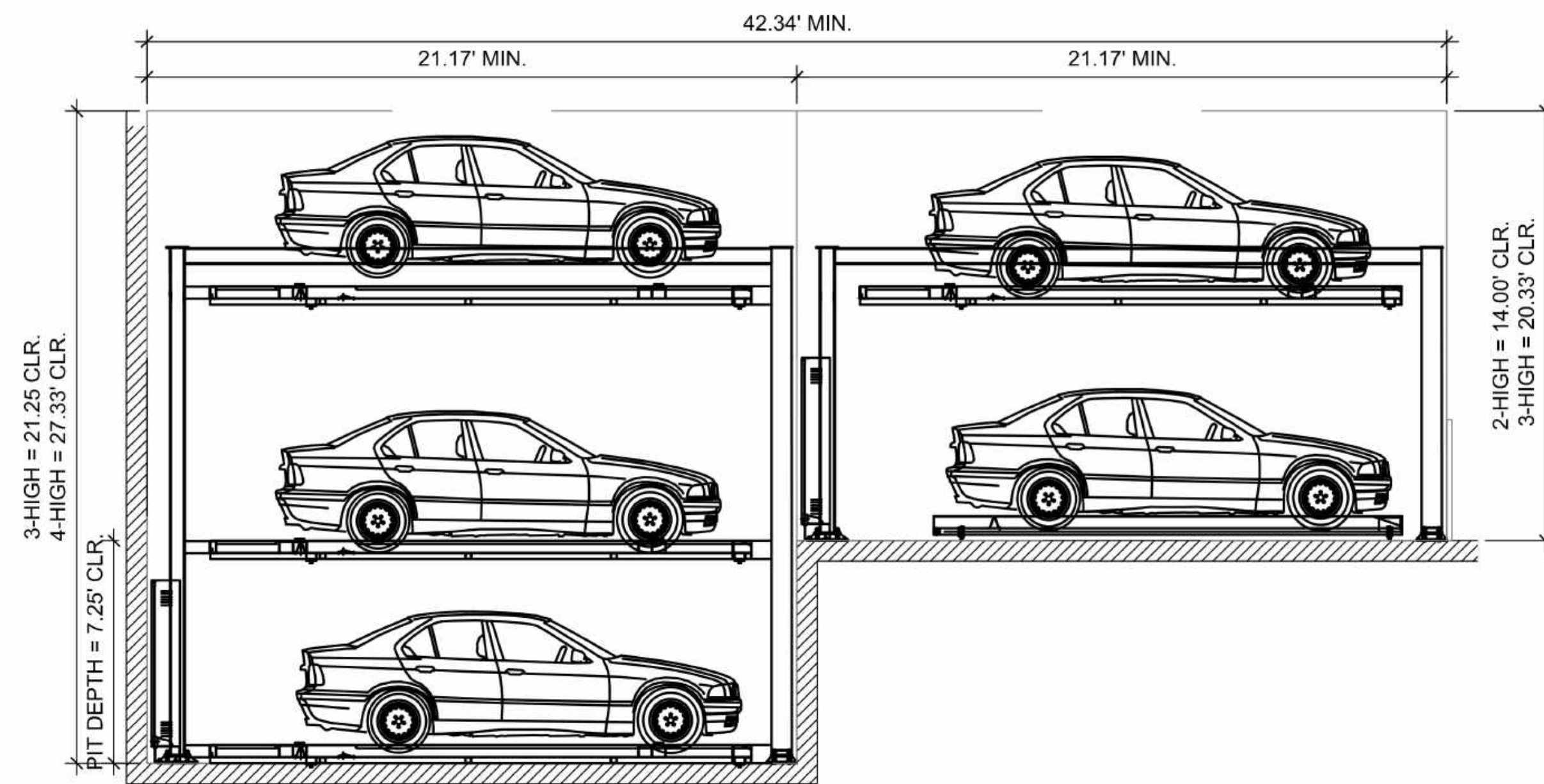
INTEGRATED ELECTRICAL VEHICLE CHARGING STATION (EVCS) MTD TO POST OF GRADE LEVEL PLATFORMS & TRAVELS WITH PLATFORMS (TYP)



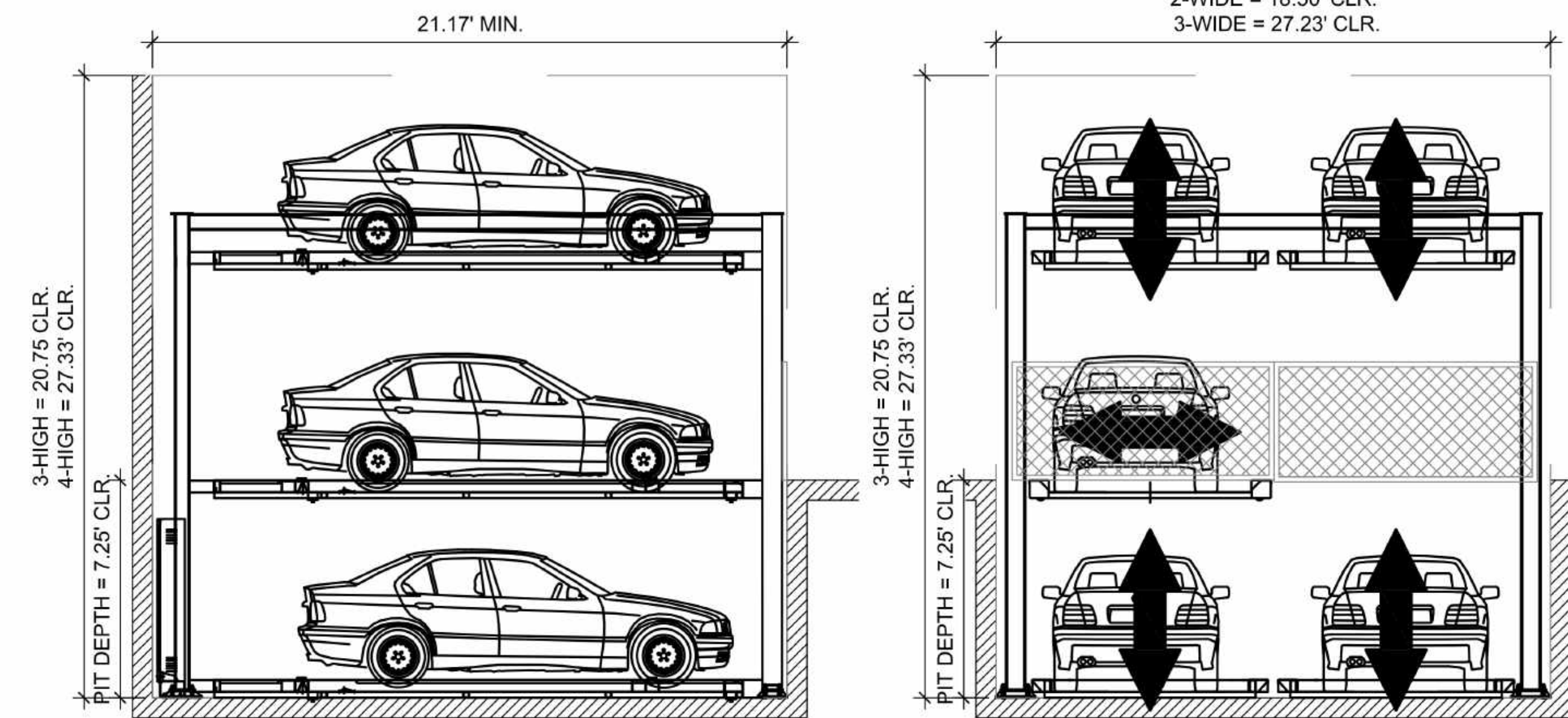
03 PUZZLE PARKING DETAIL  
SCALE: 1/4" = 1'-0"

GENERAL OPERATIONAL NOTES:

1. SELF-PARKING SYSTEM
2. EACH MODULE REQUIRES EMPTY STACK TO ALLOW FOR SHIFTING OF PLATFORMS DURING STORAGE AND RETRIEVAL OPERATION
3. SYSTEM SUPPLIED WITH SAFETY GATES, SAFETY INTERLOCK DEVICES AND SENSORS FOR SAFE OPERATION
4. TYPICAL VEHICLE STORAGE OPERATION:
  - 4.1. USER REQUESTS PLATFORM VIA KEY PAD, RFID, REMOTE CONTROL OR MOBILE APP
  - 4.2. SYSTEM SHIFTS PLATFORMS VERTICAL & HORIZONTAL AS REQUIRED TO PRESENT REQUESTED PLATFORM AT GRADE LEVEL
  - 4.3. DRIVER MOVES VEHICLE ONTO PLATFORM, ENGAGES BRAKE AND SHUTS OFF VEHICLE
  - 4.4. DRIVER EXITS VEHICLE AND ENTERS COMMANDS VIA KEY PAD, RFID, REMOTE CONTROL OR MOBILE APP
  - 4.5. SAFETY GATE CLOSES
  - 4.6. NEWLY LOADED PLATFORM SHIFTS INTO SPECIFIED STORAGE POSITION
5. TYPICAL VEHICLE RETRIEVAL OPERATION
  - 5.1. USER REQUESTS PLATFORM/VEHICLE VIA KEY PAD, RFID, REMOTE CONTROL OR MOBILE APP
  - 5.2. SYSTEM SHIFTS PLATFORMS VERTICAL & HORIZONTAL AS REQUIRED TO PRESENT REQUESTED PLATFORM AT GRADE LEVEL
  - 5.3. SAFETY GATE OPENS WHEN PLATFORM IS IN POSITION
  - 5.4. DRIVER MOVES VEHICLE OFF OF PLATFORM
  - 5.5. SAFETY GATE CLOSES
  - 5.6. SYSTEMS RETURNS TO NEUTRAL



02 TANDEM PUZZLE PARKING  
SCALE: 1/4" = 1'-0"



01 PUZZLE PARKING w/PIT DETAIL  
SCALE: 1/4" = 1'-0"

PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
Architectural Control Package - Parcel 2  
Menlo Park, CA

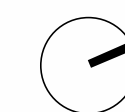
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NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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DRAWING TITLE:  
HWA LIFT EXHIBIT

DRAWING NO:  
\*A9.14B

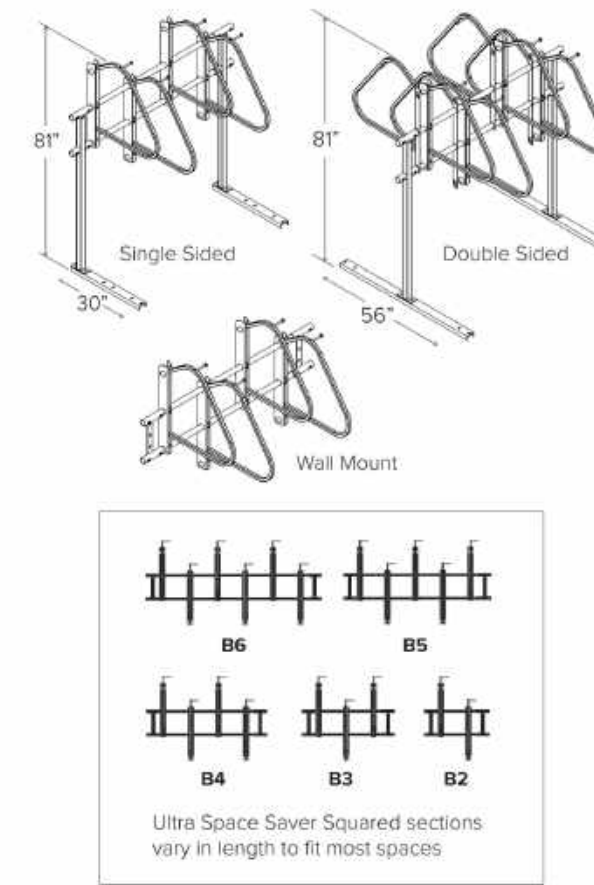




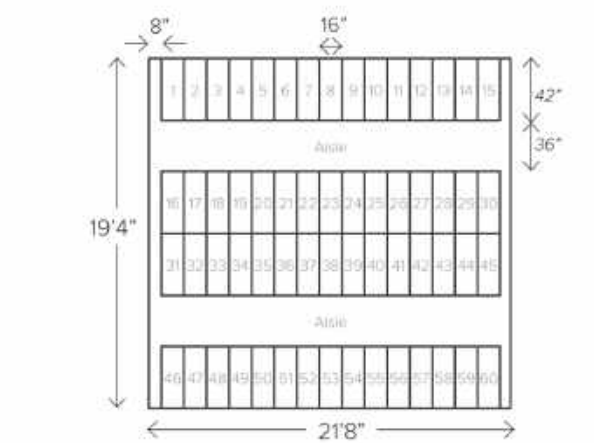


Ultra Space Saver Squared OR EQUIVALENT

Submittal Sheet



- CAPACITY** Modular construction  
1 bike per arm
- MATERIALS**  
**Hanger:** 1" square tube with steel slider head with tamperproof locking bolts.  
**Upright:** 2" square tube.  
**Feet:** AISI C3 x 41 galvanized steel channel.  
**Crossbeams:** 2" sched. 40 galvanized pipe.
- FINISHES**
- Black Powder Coat (Interior Use)**  
Our interior powder coat finish assures a high level of adhesion and durability for indoor use by following these steps:  
1. Sandblast  
2. Final thick TGIC polyester powder coat
  - Black Powder Coat (Exterior Use) Additional Cost**  
Our exterior powder coat finish assures a high level of adhesion and durability for outdoor or exposed air-use by following these steps:  
1. Sandblast  
2. Epoxy primer electrostatically applied  
3. Final thick TGIC polyester powder coat
- MOUNT OPTIONS**
- Floor mount**  
Ultra Space Saver Squared have steel channel feet (20" for single sided and 56" for double sided units) which must be anchored to the floor.
  - Wall mount**  
A wall mounted unit which contains special brackets is also available for CMU or solid concrete walls. Cannot be used on sheetrock without additional support.



As a general guideline, the above space can fit approximately 60 bicycles.

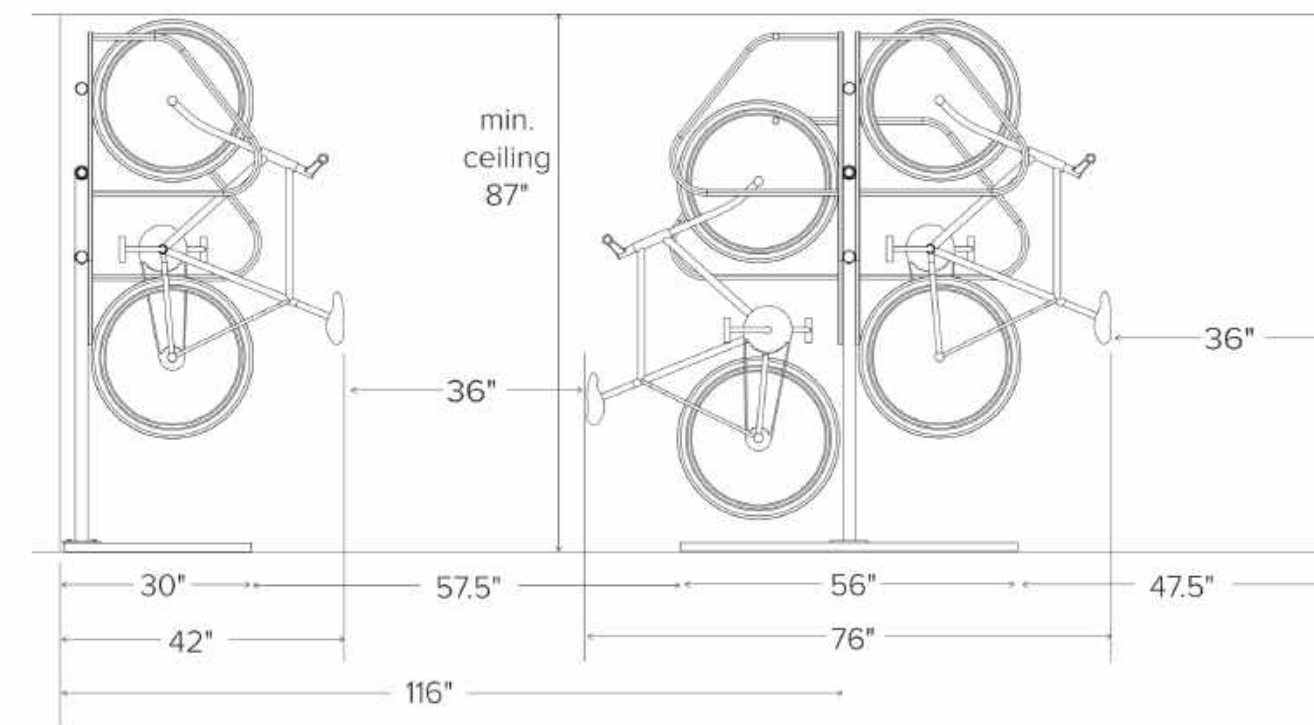
The Ultra Space Saver Squared parks one bike every 16" with a typical bike extending out 42" from the wall.

- WHEEL STOPS**
- Include wheel stops**  
Optional wheel stops are available for an additional cost



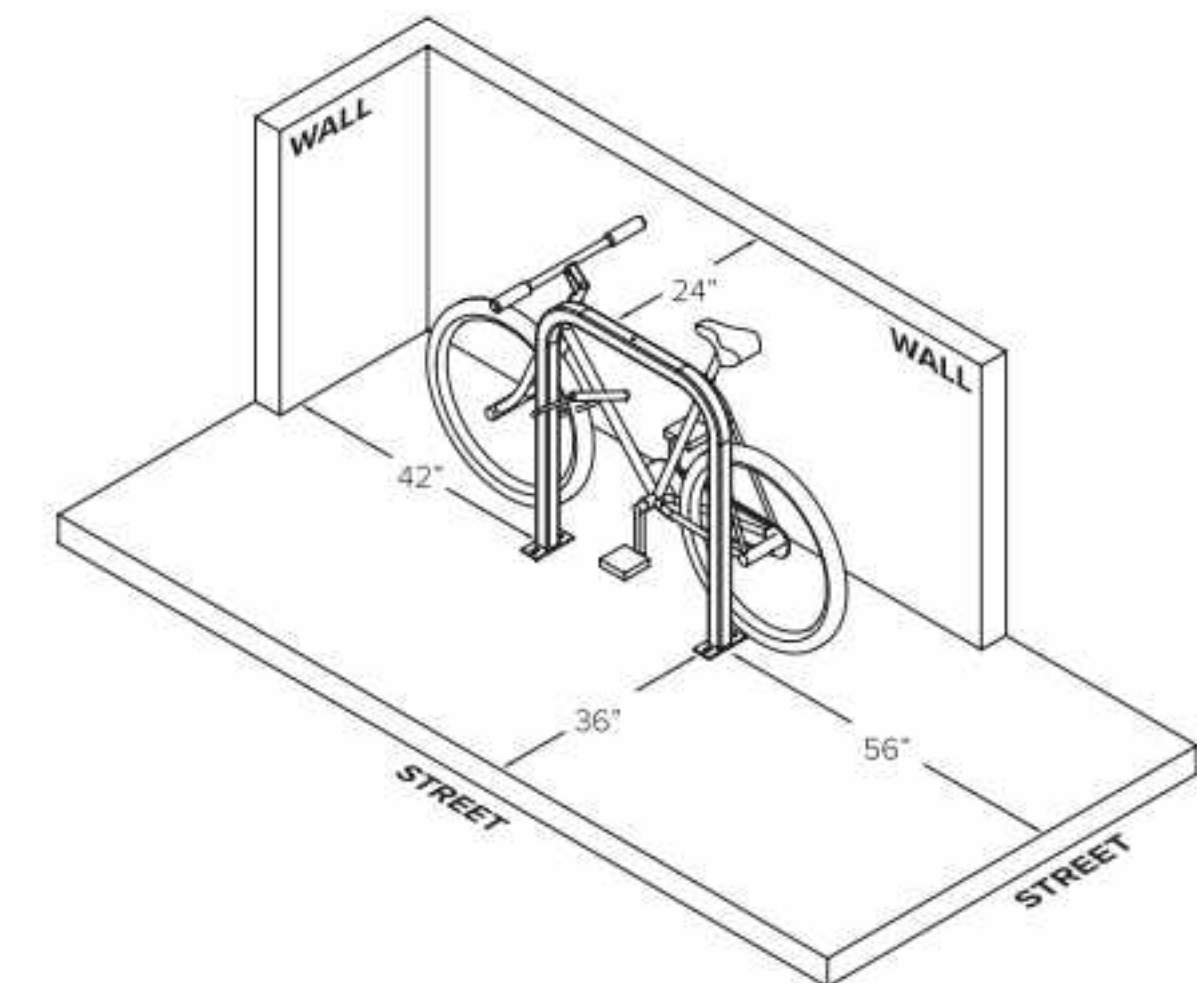
Ultra Space Saver Squared OR EQUIVALENT

Setbacks



Downtown Rack OR EQUIVALENT

Setbacks



PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
 Architectural Control Package - Parcel 2  
 Menlo Park, CA

SCALE: 12" = 1'-0"  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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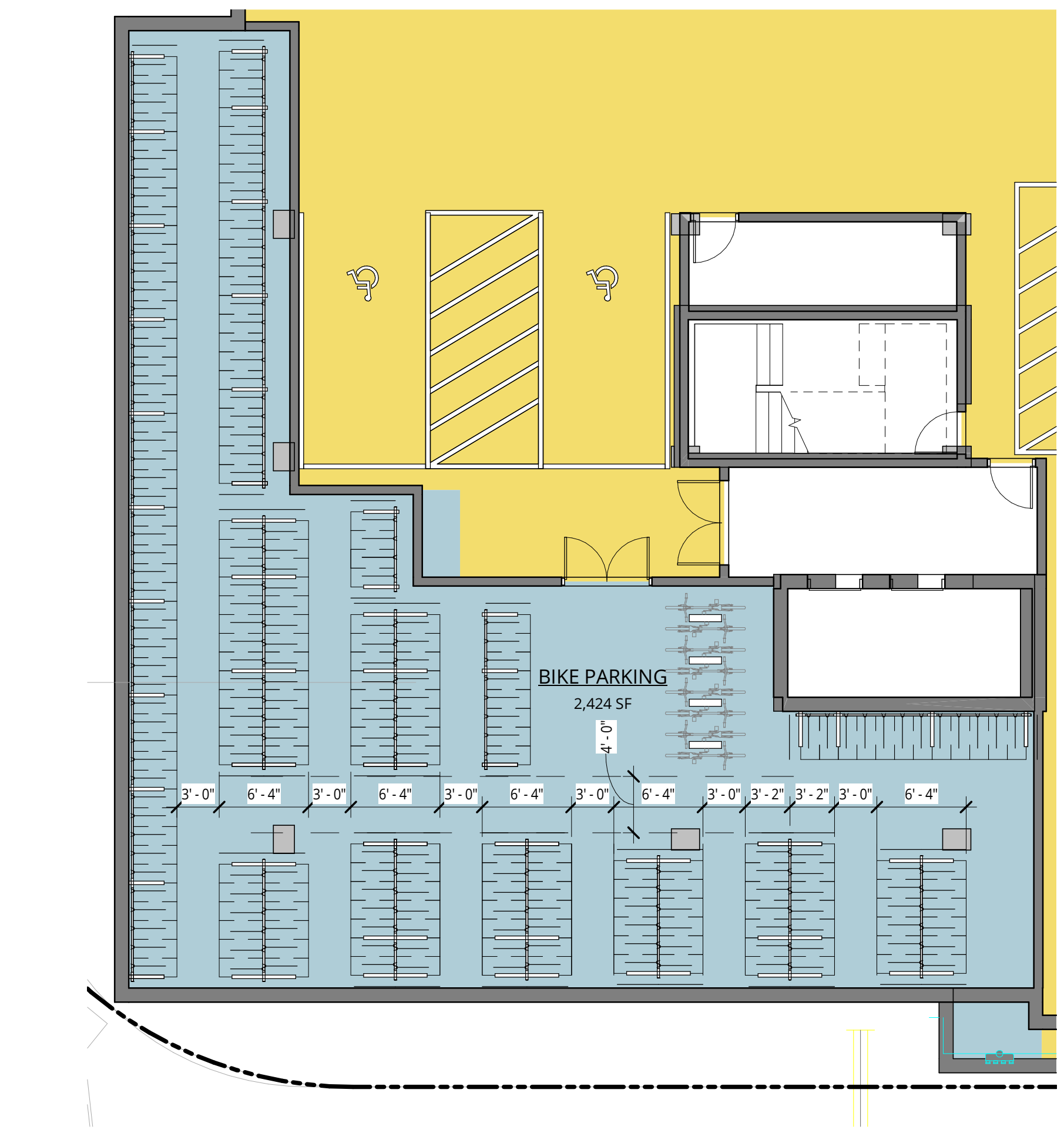
DRAWING TITLE:  
**BIKE PARKING DESIGN**

DRAWING NO:  
**\*A9.14C**

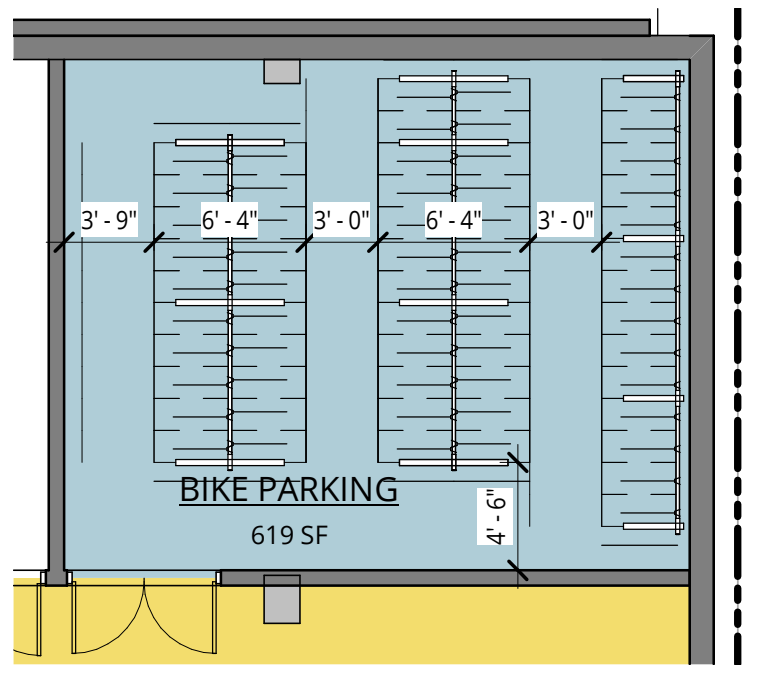
**1** VERTICAL BIKE PARKING  
 12" = 1'-0"

**2** INVERTED "U" BIKE PARKING  
 12" = 1'-0"

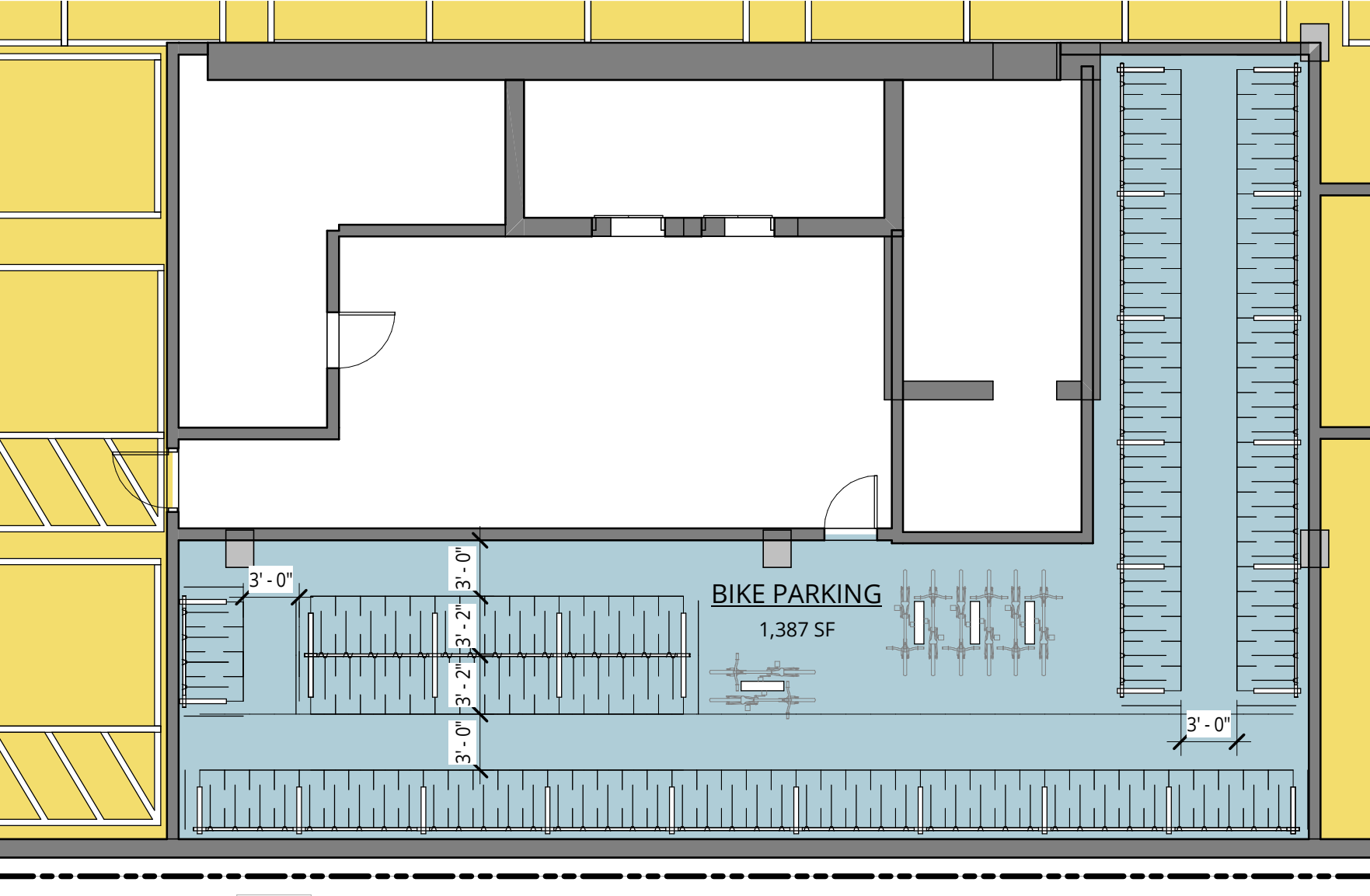




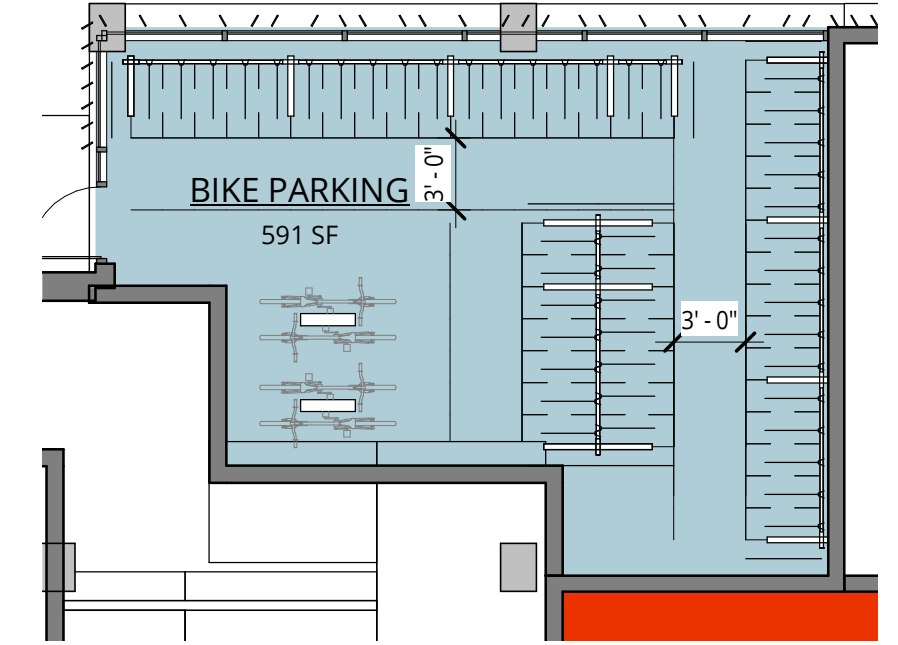
**1** LEVEL P1 - BIKE ROOM 1  
1/8" = 1'-0"



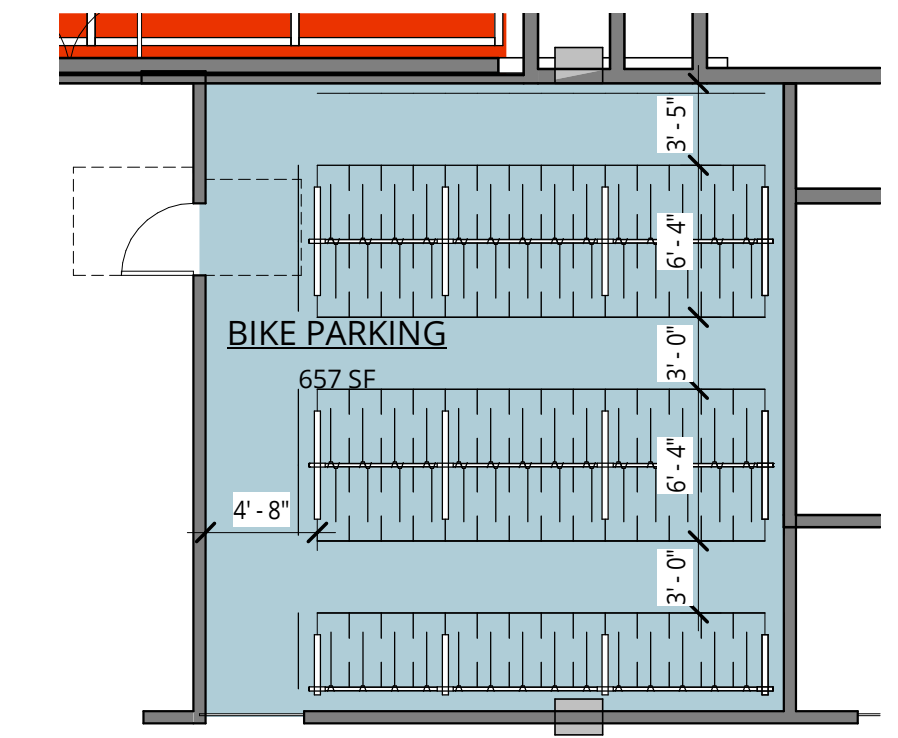
**2** LEVEL P1 - BIKE ROOM 3  
1/8" = 1'-0"



**3** LEVEL P1 - BIKE ROOM 2  
1/8" = 1'-0"

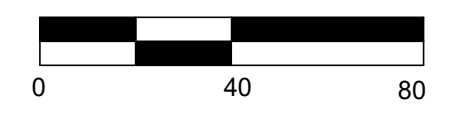
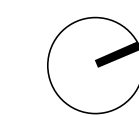


**4** LEVEL 1 - BIKE ROOM 2  
1/8" = 1'-0"



**5** LEVEL 1 - BIKE ROOM 1  
1/8" = 1'-0"

6/14/2023 7:02:59 PM



PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
Architectural Control Package - Parcel 2  
Menlo Park, CA

SCALE: 1/8" = 1'-0"  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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NO.	DATE	ISSUE

DRAWING TITLE:  
**BIKE PARKING PLANS**

DRAWING NO:  
**\*A9.14D**



# LEGEND

**YELLOW** ONE OF THE SPECIFICATIONS FOR THE BIRD-FRIENDLY GLAZING BELOW TO BE USED ON THE YELLOW AREAS OF THE BUILDING:

(1) VERTICAL ELEMENTS OF THE WINDOW PATTERNS SHOULD BE AT LEAST 0.25 INCHES WIDE AT A MAXIMUM SPACING OF FOUR INCHES AND/OR HAVE HORIZONTAL ELEMENTS AT LEAST 0.125 INCHES WIDE AT A MAXIMUM SPACING OF TWO INCHES;  
OR  
(2) BIRD-SAFE GLAZING SHALL HAVE A THREAT FACTOR LESS THAN OR EQUAL TO 30. IN ADDITION, ALL GLAZING IS REQUIRED TO HAVE A VISIBLE REFLECTANCE OF 15% OR LOWER.  
OR  
(3) THE COMBINATION OF THE TREATMENT AND THE SCREEN THAT MEET THE SPECIFICATIONS IN (1)&(2) (E.G., BY SPACING THE FRIT IN BETWEEN THE SCREEN PANELS)

UP TO 10% OF EACH YELLOW AREA IS PERMITTED TO HAVE NON-BIRD-FRIENDLY GLAZING

THE YELLOW TREATED AREAS ON THE EAST AND WEST ELEVATIONS ARE NOT REQUIRED.

**ORANGE** 100% TREATED BIRD-FRIENDLY GLAZING

ONE OF THE SPECIFICATIONS FOR THE BIRD-FRIENDLY GLAZING BELOW TO BE USED ON THE YELLOW AREAS OF THE BUILDING:

(1) VERTICAL ELEMENTS OF THE WINDOW PATTERNS SHOULD BE AT LEAST 0.25 INCHES WIDE AT A MAXIMUM SPACING OF FOUR INCHES AND/OR HAVE HORIZONTAL ELEMENTS AT LEAST 0.125 INCHES WIDE AT A MAXIMUM SPACING OF TWO INCHES;  
OR  
(2) BIRD-SAFE GLAZING SHALL HAVE A THREAT FACTOR LESS THAN OR EQUAL TO 30. IN ADDITION, ALL GLAZING IS REQUIRED TO HAVE A VISIBLE REFLECTANCE OF 15% OR LOWER.  
OR  
(3) THE COMBINATION OF THE TREATMENT AND THE SCREEN THAT MEET THE SPECIFICATIONS IN (1)&(2) (E.G., BY SPACING THE FRIT IN BETWEEN THE SCREEN PANELS)

**BLUE** SPECIFICATIONS FOR THE BIRD-FRIENDLY GLAZING TO BE USED ON THE BLUE AREAS (FREE-STANDING GLASS RAILINGS):

(1) FREE-STANDING GLASS RAILINGS WILL BE 100% TREATED WITH A BIRD-SAFE GLAZING TREATMENT  
(2) ALL GLAZING ON FREE-STANDING GLASS RAILINGS ON THE BUILDINGS IS REQUIRED TO HAVE A THREAT FACTOR LESS THAN OR EQUAL TO 15. IN ADDITION, ALL BIRD-FRIENDLY GLAZING IS REQUIRED TO HAVE A VISIBLE REFLECTANCE OF 15% OR LOWER.

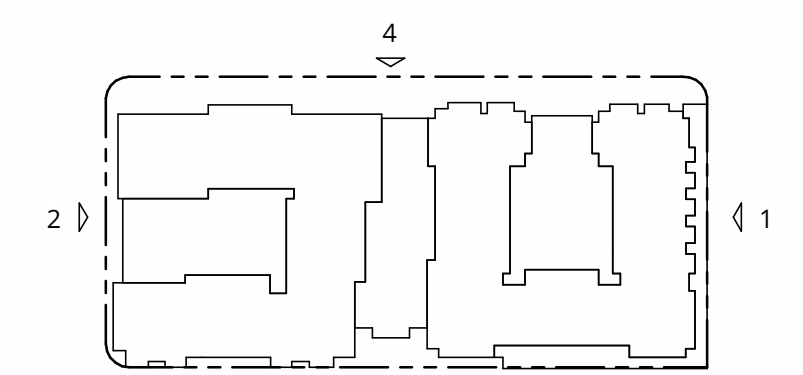
BUILDING'S TOTAL FACADE SURFACE AREA = **162,688 SF**  
 TOTAL GLAZING = **57,641 SF**  
 TOTAL NON BIRD SAFETY GLAZING = **48,705 SF**  
 TOTAL BIRD SAFETY GLAZING = **8,936 SF**

**THE PERCENTAGE OF THE PARCEL 2 BUILDING'S TOTAL FACADE SURFACE AREA THAT WILL HAVE NON-BIRD-SAFETY GLAZING = 48,705/162,688 = 29.9%**

**\*\*WAIVER REQUIRED DUE TO THE LACK OF INTERIOR OCCUPANCY SENSOR CONTROL OF LIGHTING IN THE INDIVIDUAL UNITS\*\***

# GENERAL NOTES

- THE PROJECT WILL IMPLEMENT THE LIGHTING MEASURES PROVIDED IN THE WILLOW VILLAGE MASTER PLAN BIRD SAFE DESIGN ASSESSMENT INCLUDING THE LIGHTING DESIGN PRINCIPLES IN SECTION 6.2.1, MITIGATION MEASURE 6 IN SECTION 6.3.1.2, MITIGATION MEASURE 13 IN SECTION 6.3.4.2, AND CITY OCCUPANCY SENSOR (EITHER VIA COMPLIANCE WITH CITY LIGHTING REQUIREMENTS OR THE IMPLEMENTATION OF THE PROPOSED ALTERNATIVE CITY MEASURES IN SECTION 6.2.2). A SUBSEQUENT REPORT PREPARED BY A QUALIFIED BIOLOGIST WILL ACCOMPANY THE PROJECT'S BUILDING PERMIT SUBMITTAL TO DOCUMENT COMPLIANCE OF THE LIGHTING DESIGN FOR PARCEL 2 WITH THESE REQUIREMENTS.



**1 NORTH ELEVATION - MAIN ST.**  
1/32" = 1'-0"



**2 SOUTH ELEVATION - PARK ST.**  
1/32" = 1'-0"



**3 EAST ELEVATION - WEST ST.**  
1/32" = 1'-0"

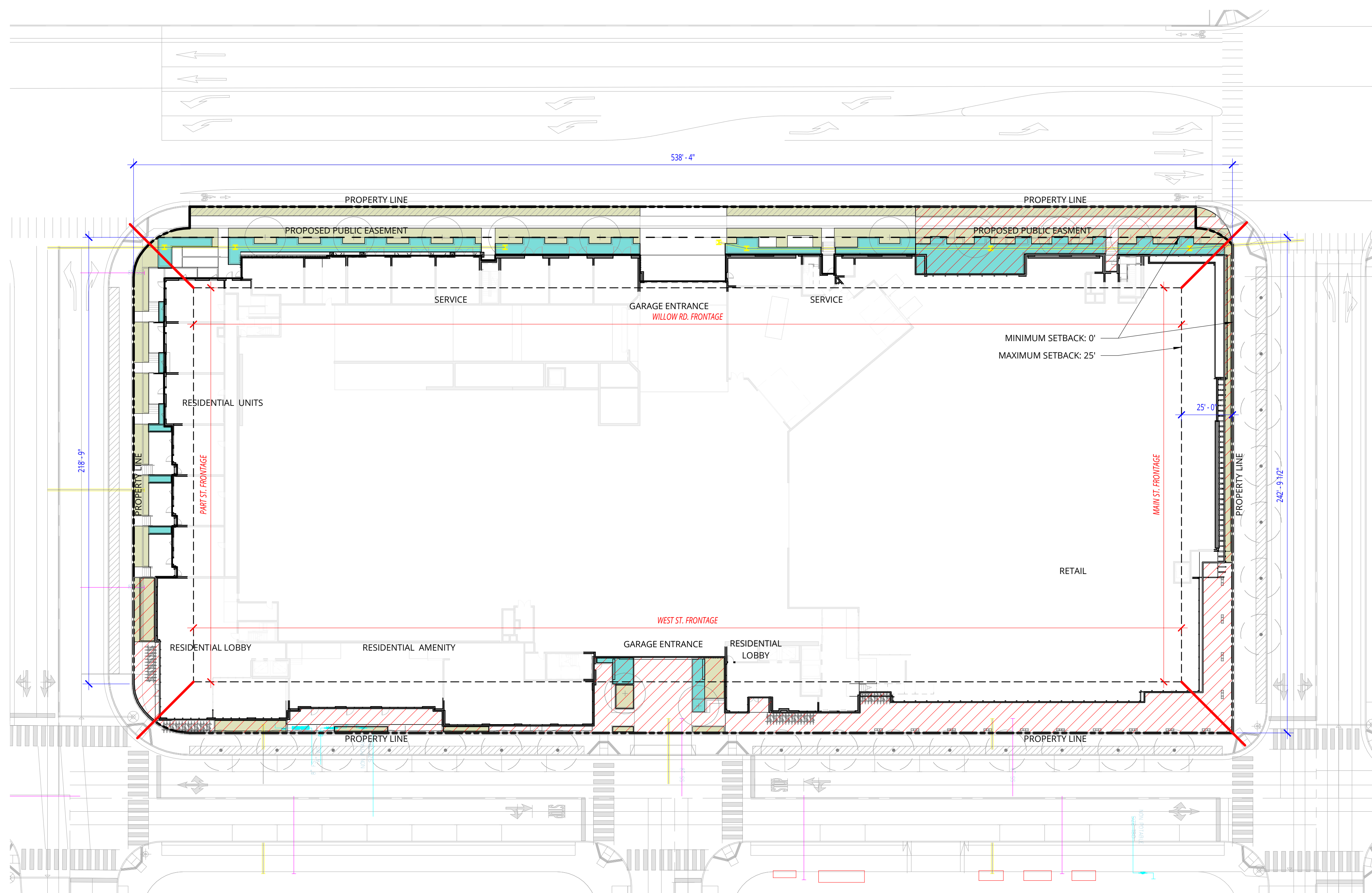


**4 WEST ELEVATION - WILLOW ROAD**  
1/32" = 1'-0"

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**BUILDING FRONTAGE & SETBACKS**

1/32" = 1'-0"

**FRONTAGE & SETBACKS**

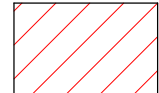


**16.45.120(1) Build-To Area Requirement**  
 Definition: The minimum building frontage at the ground floor or podium level, as a percentage of the street frontage length, that must be located within the area of the lot between the minimum and maximum setback lines parallel to the street.  
 Bonus Level Fronting a Boulevard, Thoroughfare, Mixed Use Collector, or Neighborhood Street: Minimum 60% of street frontage

**16.45.050 Bonus Level Minimum Setback at Street: 0 feet**  
**16.45.050 Bonus Level Maximum Setback at Street: 25 feet**  
 Setbacks shall be measured from the property line. In instances where there will be a public access easement, measure the setback from the back of the easement.

**16.45.120(1) Frontage Landscaping**  
 Definition: The percentage of the setback area devoted to ground cover and vegetation. Trees may or may not be within the landscaped area. For this requirement, the setback area is the area between the property line and the face of the building.  
 Bonus Level Fronting a Boulevard, Thoroughfare, Mixed Use Collector, or Neighborhood Street: Minimum of 25% (50% of which should provide on-site infiltration of stormwater runoff)  
 Additional Notes: Setback areas adjacent to active ground floor uses, including lobbies, retail, and eating and drinking establishments are exempted.

**16.45.120(1) Frontage Uses**  
 Definition: Allowable frontage uses in order to support a positive integration of new buildings into the streetscape character.  
 Bonus Level Fronting a Boulevard, Thoroughfare, Mixed Use Collector, or Neighborhood Street: Setback areas parallel to street not used for frontage landscaping must provide pedestrian circulation (e.g., entryways, stairways, accessible ramps), other publicly accessible open spaces (e.g., plazas, gathering areas, outdoor seating areas), access to parking, bicycle parking, or other uses that the planning commission deems appropriate  
 Additional Notes: Nonresidential uses shall be a minimum of 50 feet in depth. Publicly accessible open space is further defined and regulated in Section 16.45.120(4).

**LEGEND**

-  SETBACK AREA EXCEPTED FROM FRONTAGE LANDSCAPING REQUIREMENT
-  PLANTER/LANDSCAPING - NON-STORMWATER INFILTRATION
-  STORMWATER INFILTRATION PLANTER

**Build-To Area Calculation**

Total Building Frontage (Excludin...	1,545 FT	<b>100%</b>
Building Frontage Not Between...	64 FT	<b>4%</b>
Maximum Allowed:		<b>40%</b>

Provided is less than maximum allowed.  
 Therefore project complies.

**Frontage Landscaping Calculation**

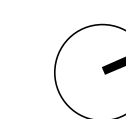
(Areas in square feet)	Willow Rd.	West St.	Main St.	Park St.
Setback Area:	13765	7543	1778	3537
Setback area excepted, adjacent to retail or lobby:	4148	5188	1778	773
Setback Area Included:	9616	0	0	2763
Frontage Landscaping in included Setback Area:	5093	0	0	1220
<b>Frontage Landscaping Percentage:</b>	<b>53%</b>	<b>n/a</b>	<b>n/a</b>	<b>44%</b>
Minimum Required:	25%	25%	25%	25%
<b>Frontage Complies:</b>	<b>Yes</b>	<b>Yes</b>	<b>Yes</b>	<b>Yes</b>

Infiltration Planter Area in included frontage landscaping:	Willow Rd.	West St.	Main St.	Park St.
	1854	0	0	239
<b>Infiltration Planter Area Percentage:</b>	<b>36%</b>	<b>n/a</b>	<b>n/a</b>	<b>20%</b>
Minimum Required:	12.5%	12.5%	12.5%	12.5%
<b>Frontage Complies:</b>	<b>Yes</b>	<b>Yes</b>	<b>Yes</b>	<b>Yes</b>

SCALE: As indicated  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

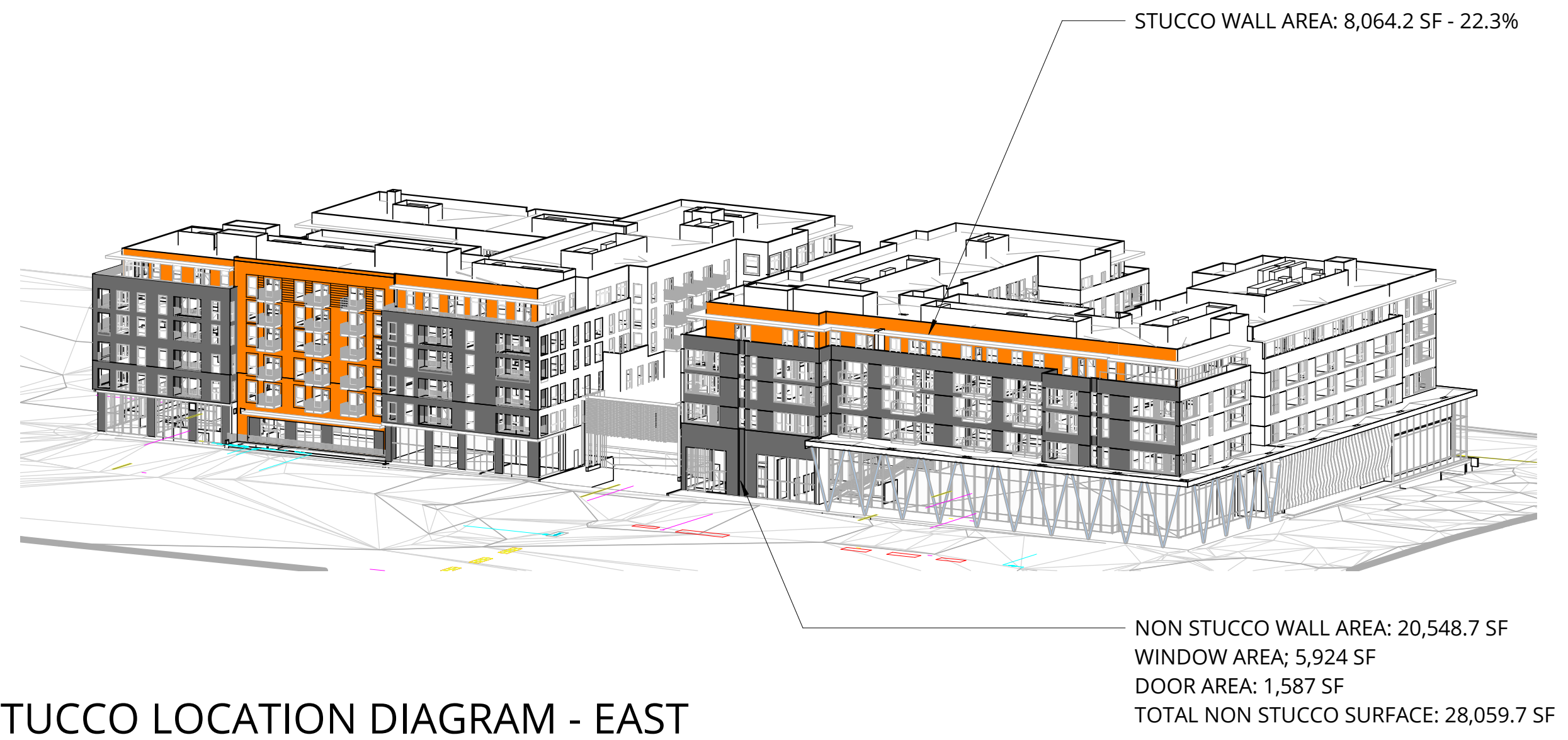
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DATE	ISSUE
05/22/2023	ACP

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NO.	DATE	ISSUE

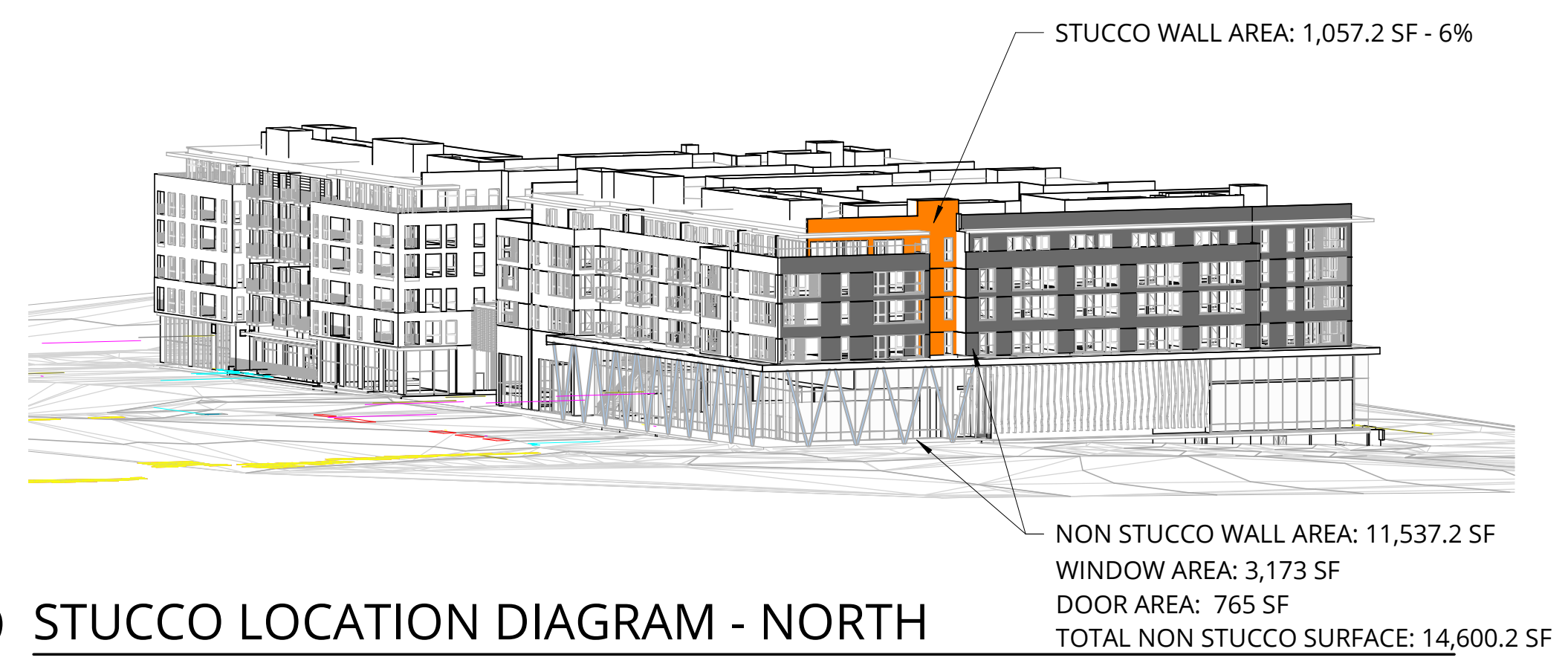




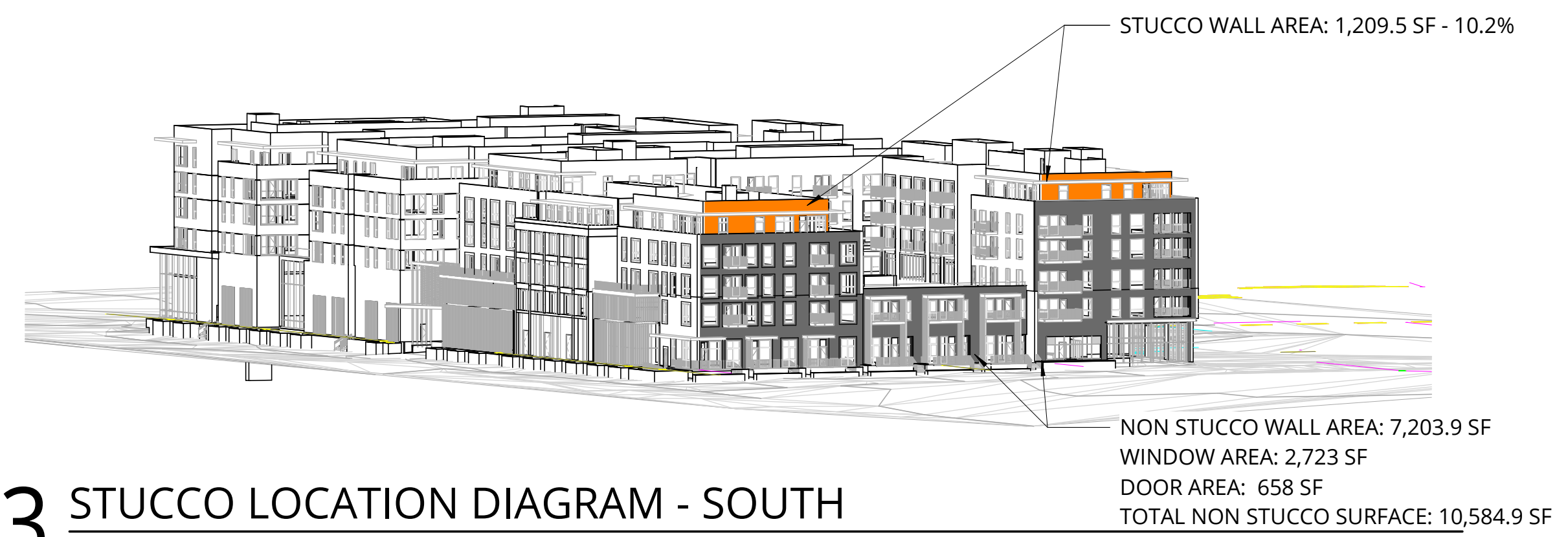
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■ CALCULATED NON STUCCO AREAS



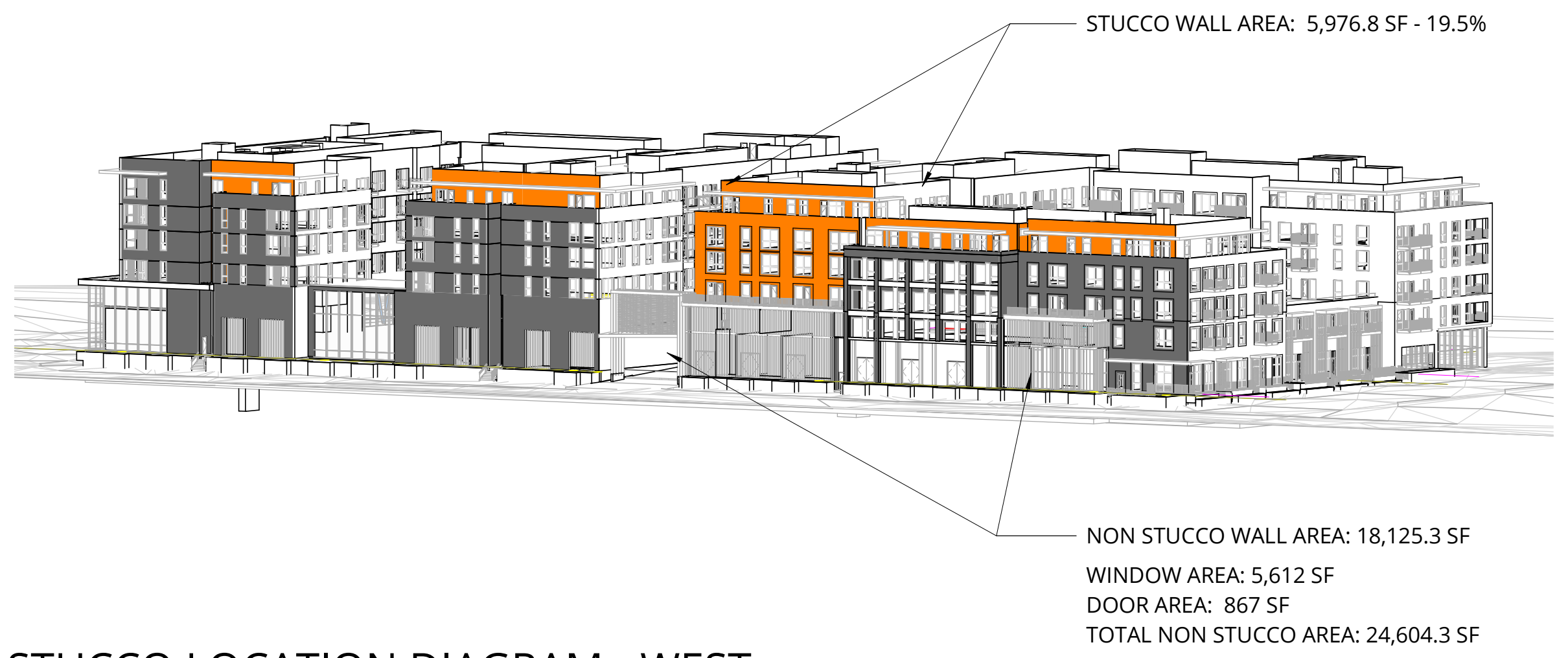
**1** STUCCO LOCATION DIAGRAM - EAST



**2** STUCCO LOCATION DIAGRAM - NORTH



**3** STUCCO LOCATION DIAGRAM - SOUTH



**4** STUCCO LOCATION DIAGRAM - WEST

PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
 Architectural Control Package - Parcel 2  
 Menlo Park, CA

SCALE: 1/2" = 1'-0"  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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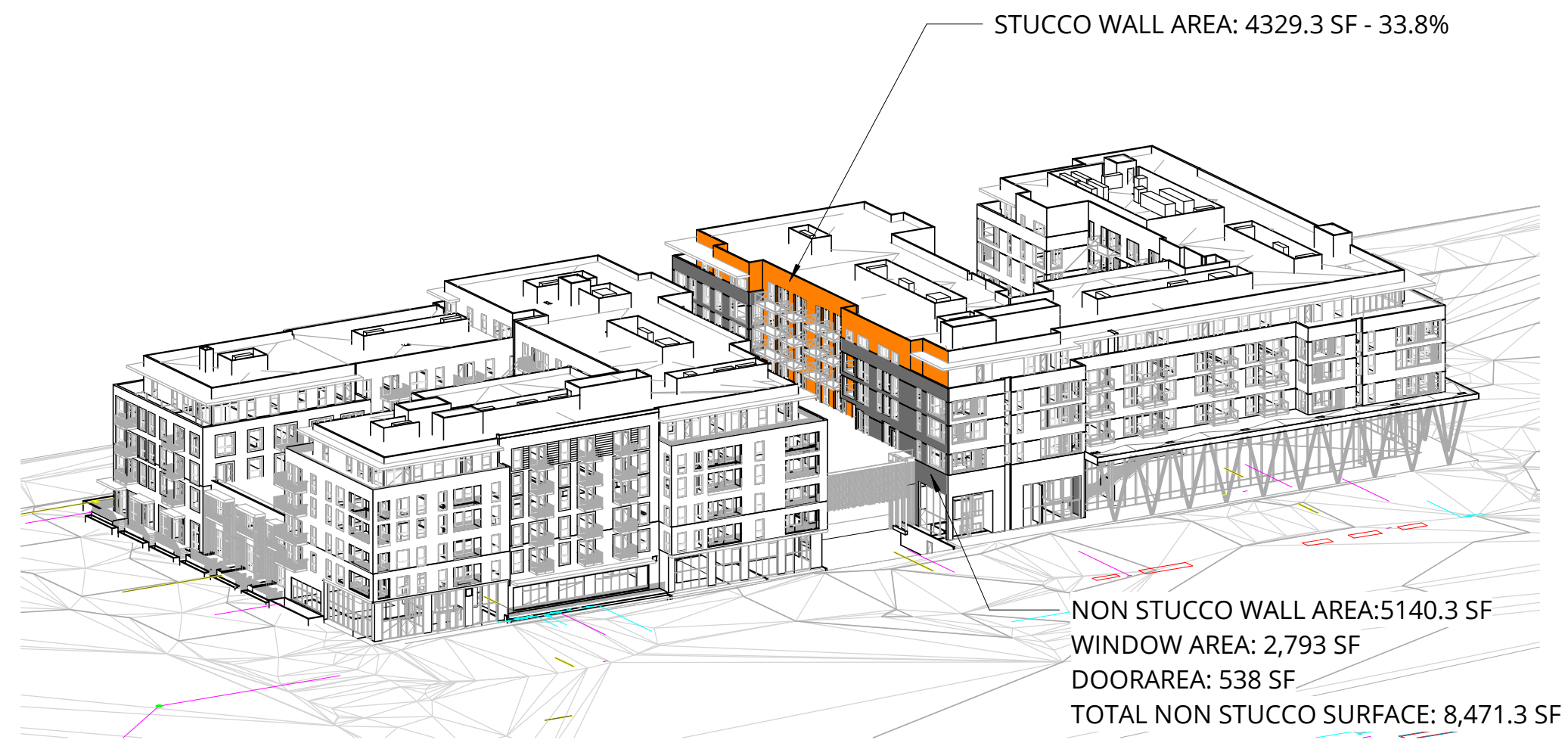
REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:  
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 CALCS AND DIAGRAMS**

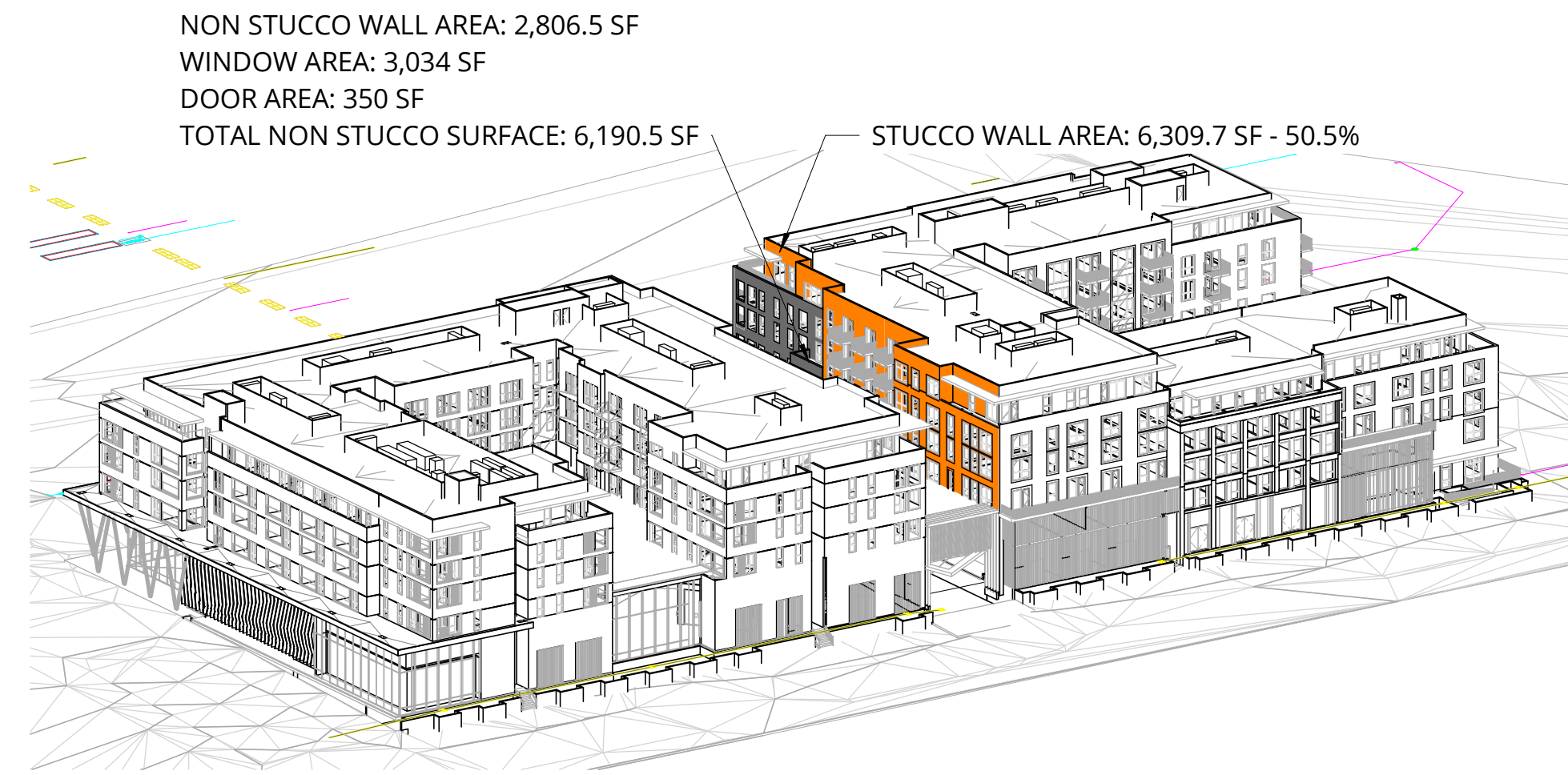
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**\*A9.17**



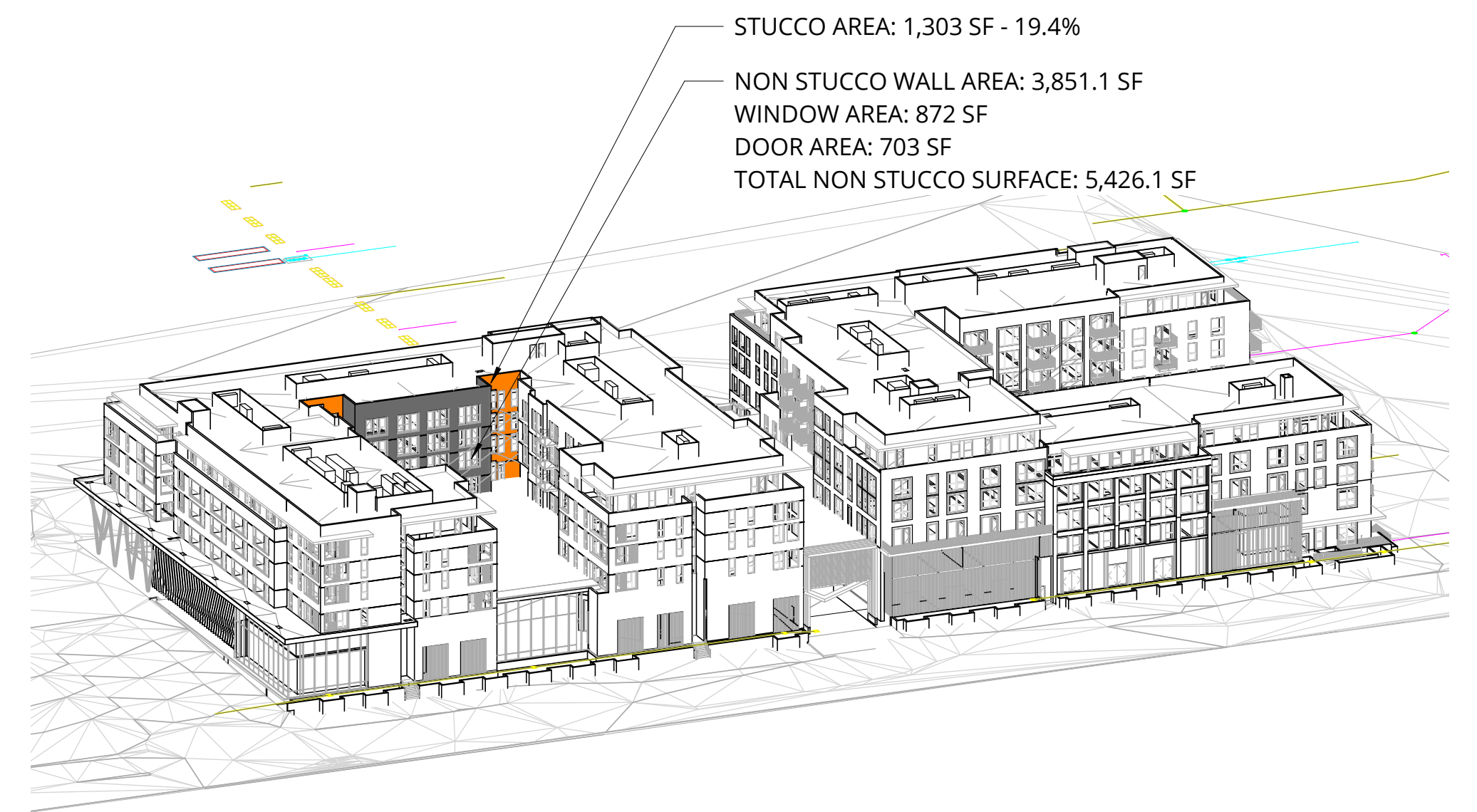
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■ CALCULATED NON STUCCO AREAS



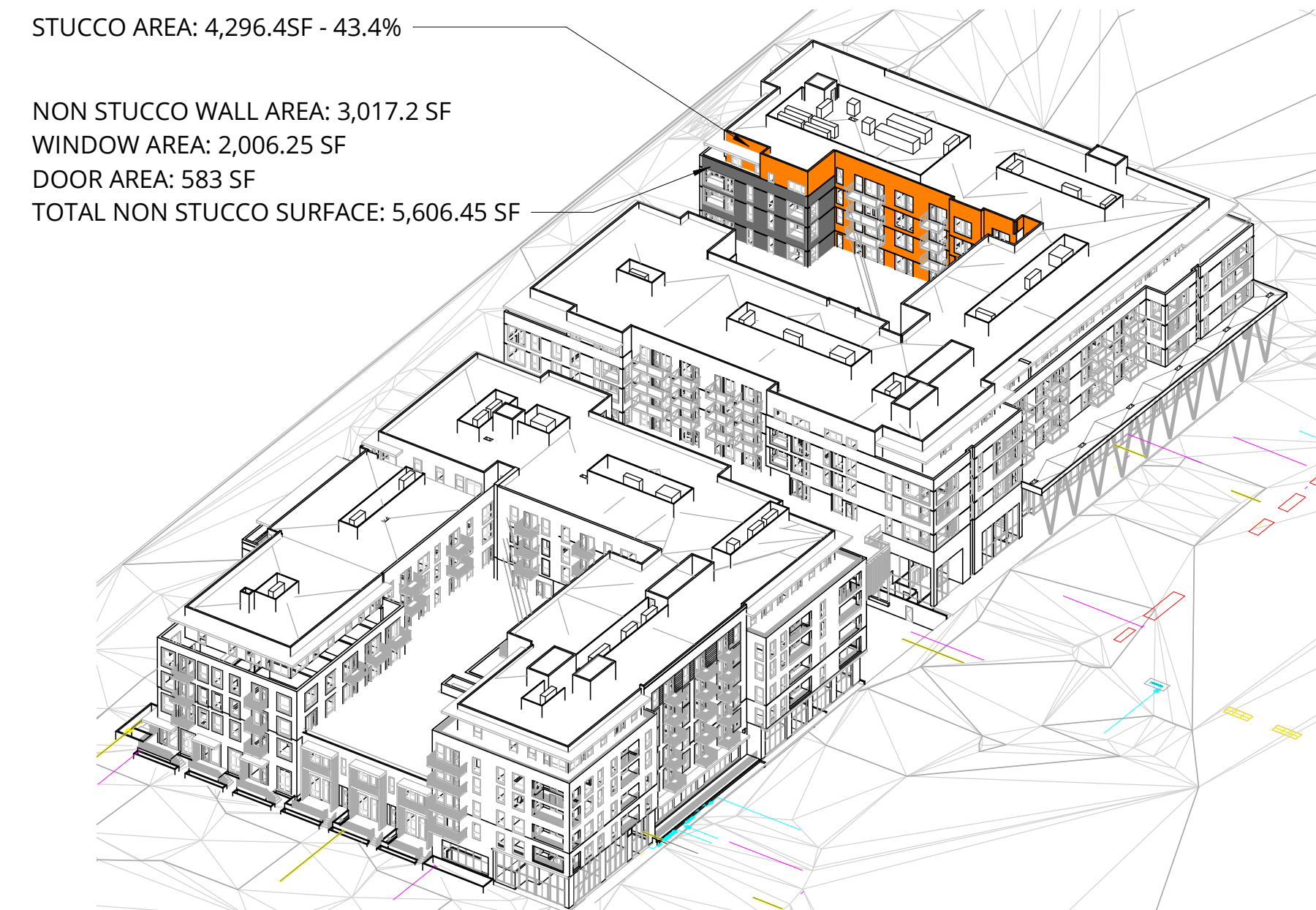
**1** STUCCO LOCATION - CENTER NORTH



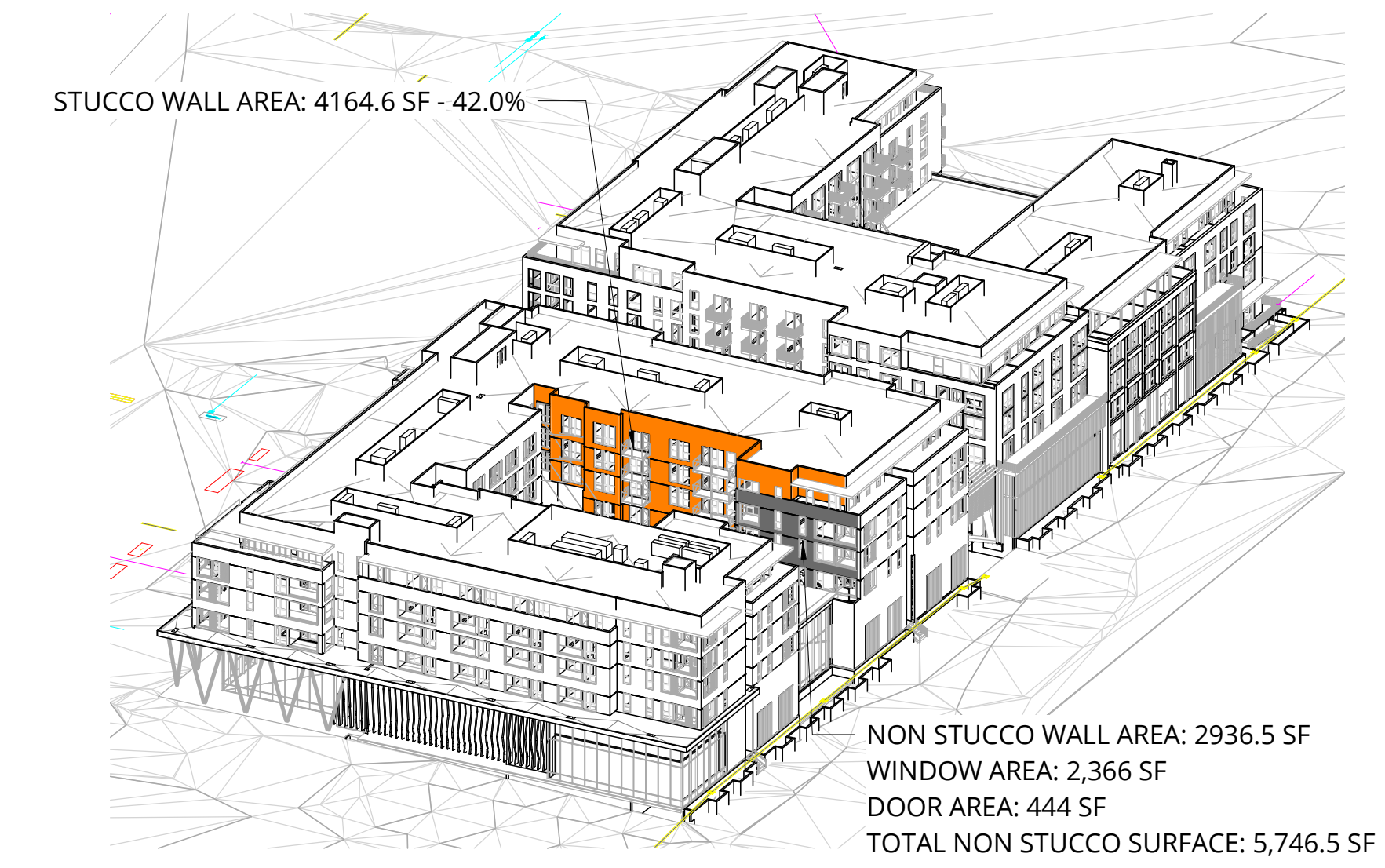
**2** STUCCO LOCATION - CENTER SOUTH



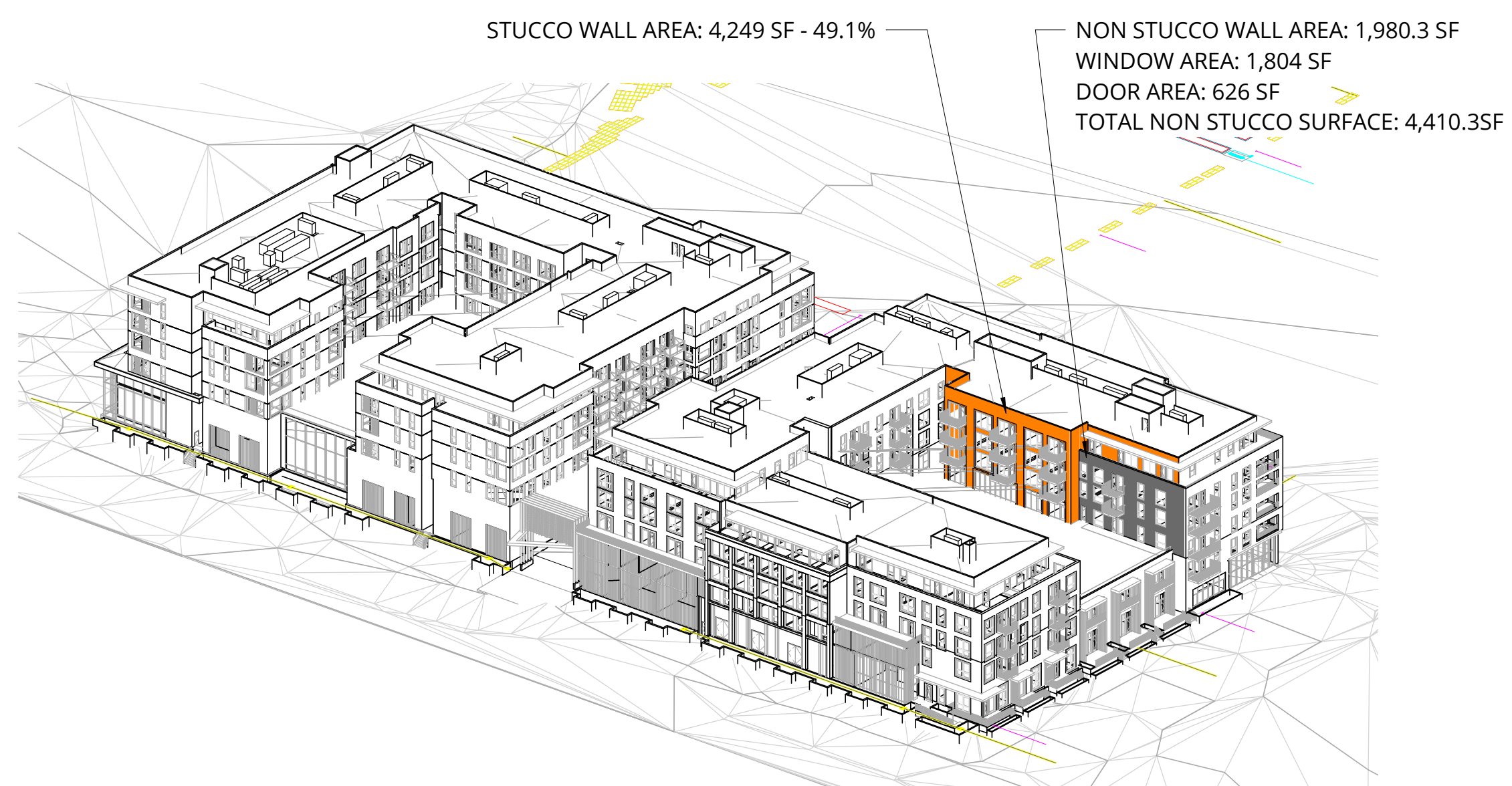
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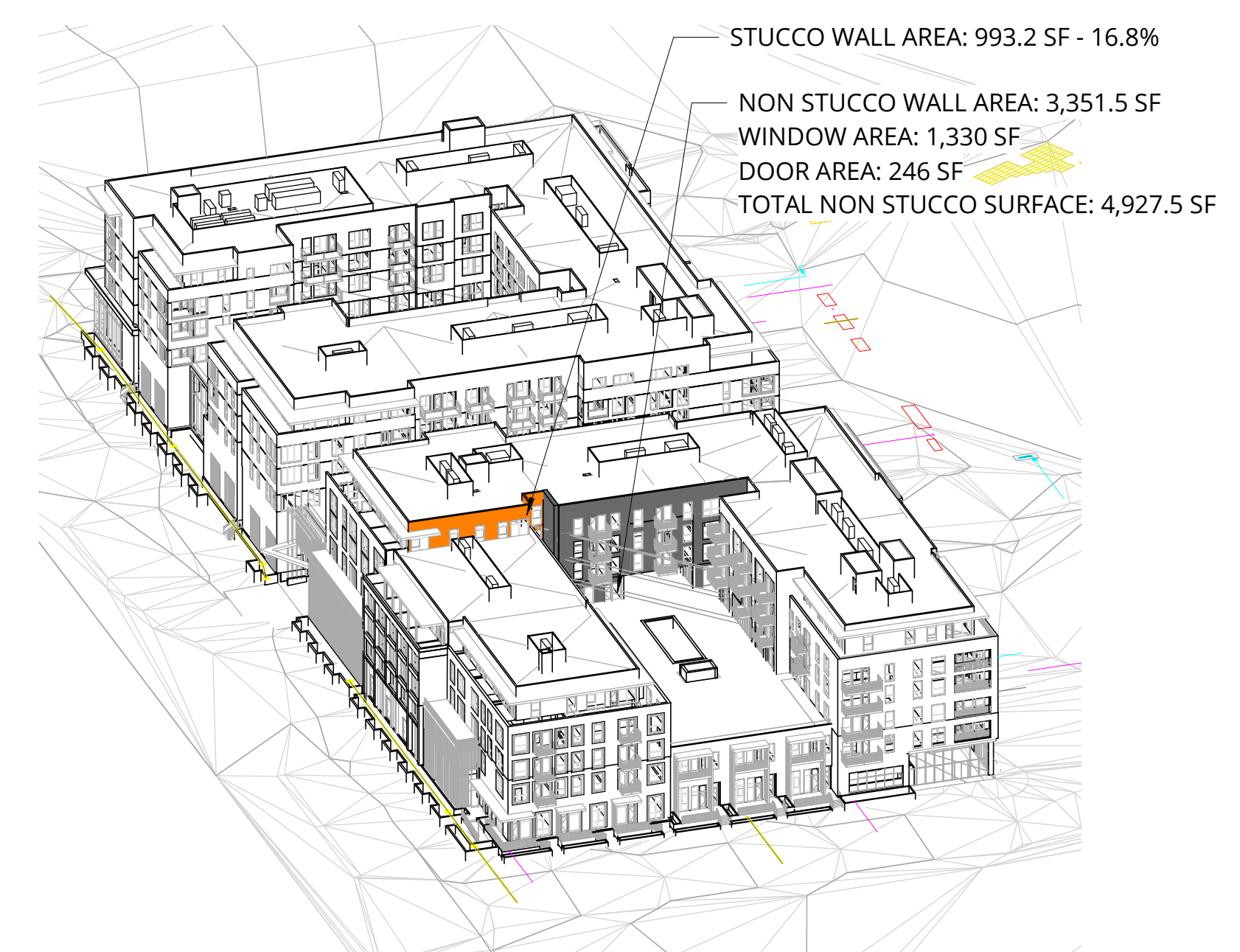
**4** STUCCO LOCATION - N COURT NORTH



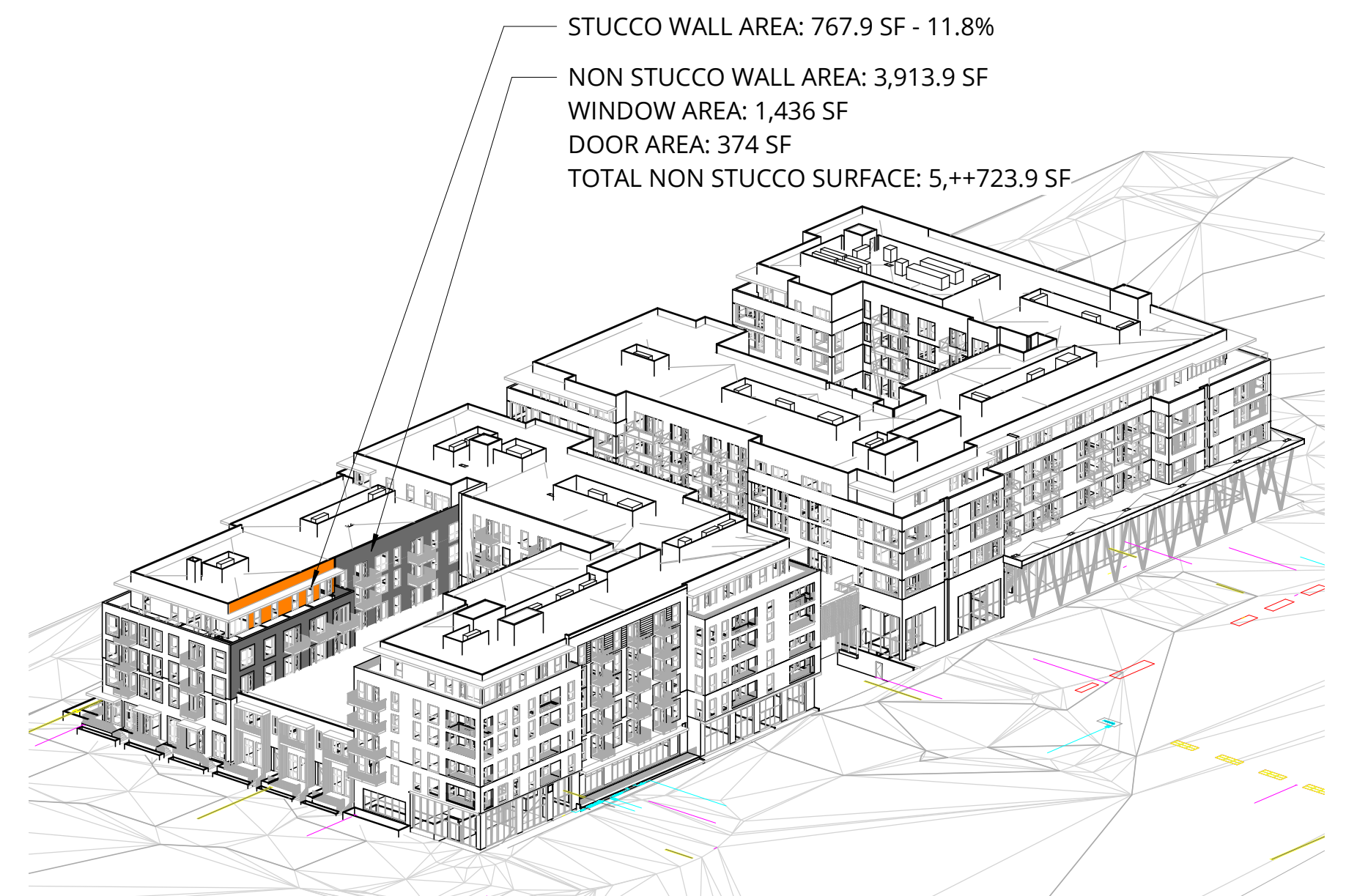
**5** STUCCO LOCATION - N COURT SOUTH



**6** STUCCO LOCATION - S COURT EAST



**7** STUCCO LOCATION - S COURT NORTH



**8** STUCCO LOCATION - S COURT WEST

6/14/2023 7:04:33 PM

PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
 Architectural Control Package - Parcel 2  
 Menlo Park, CA

SCALE: 1/2" = 1'-0"  
 NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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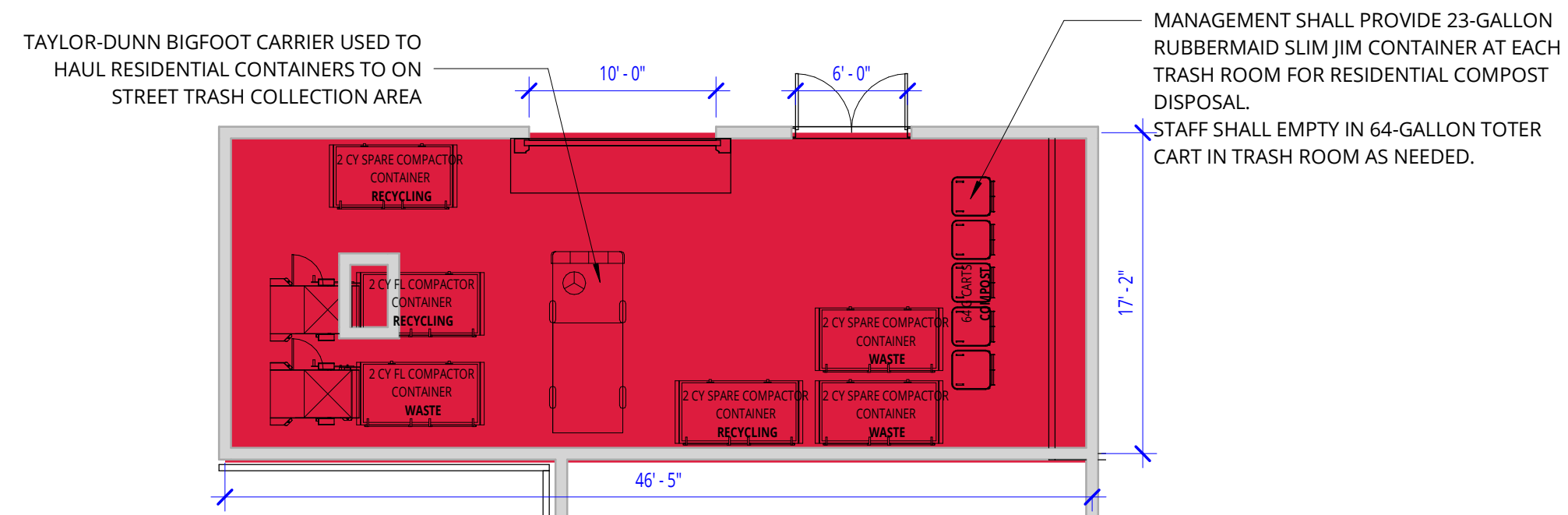
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CALCS AND DIAGRAM

DRAWING NO:  
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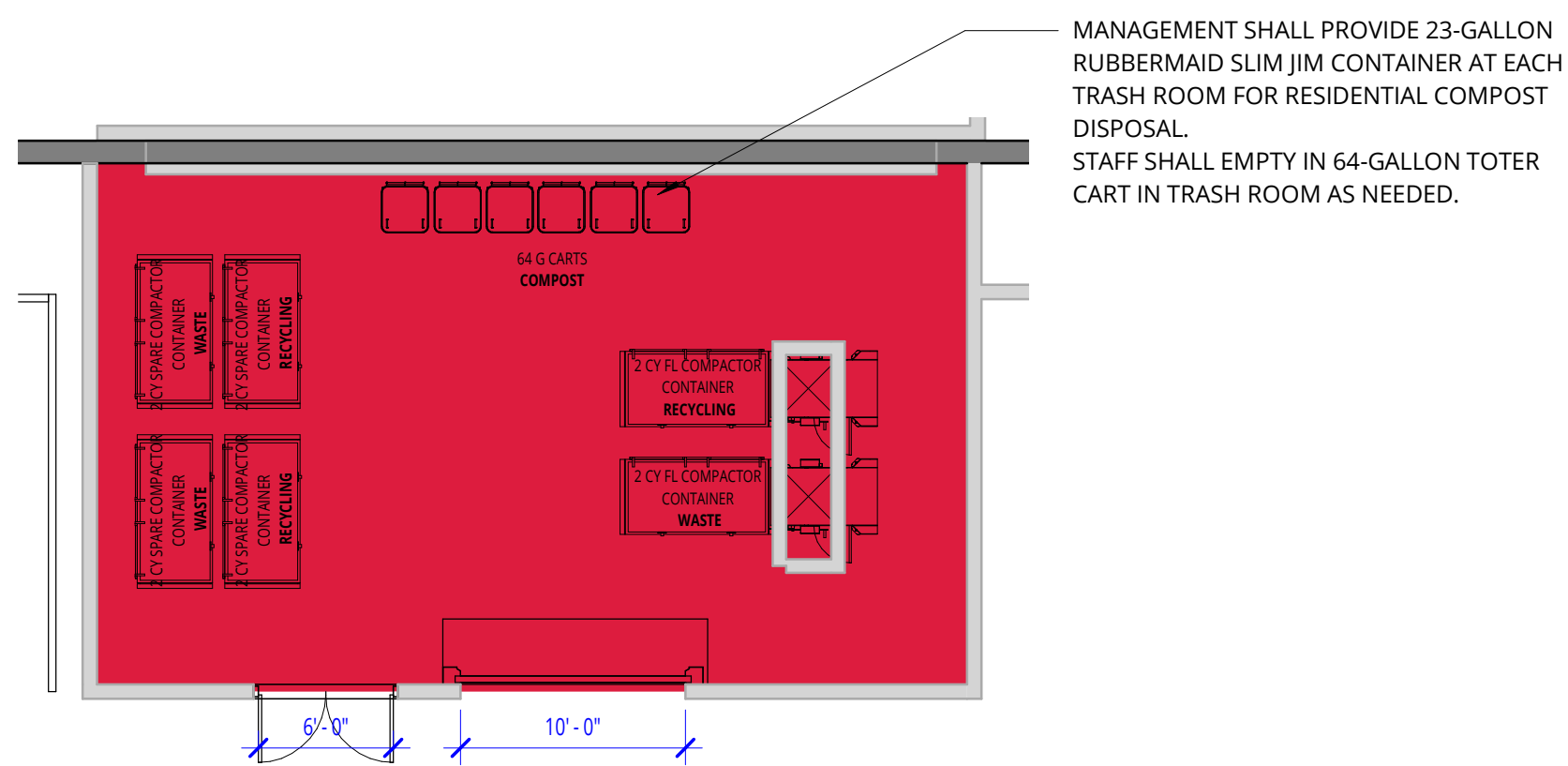




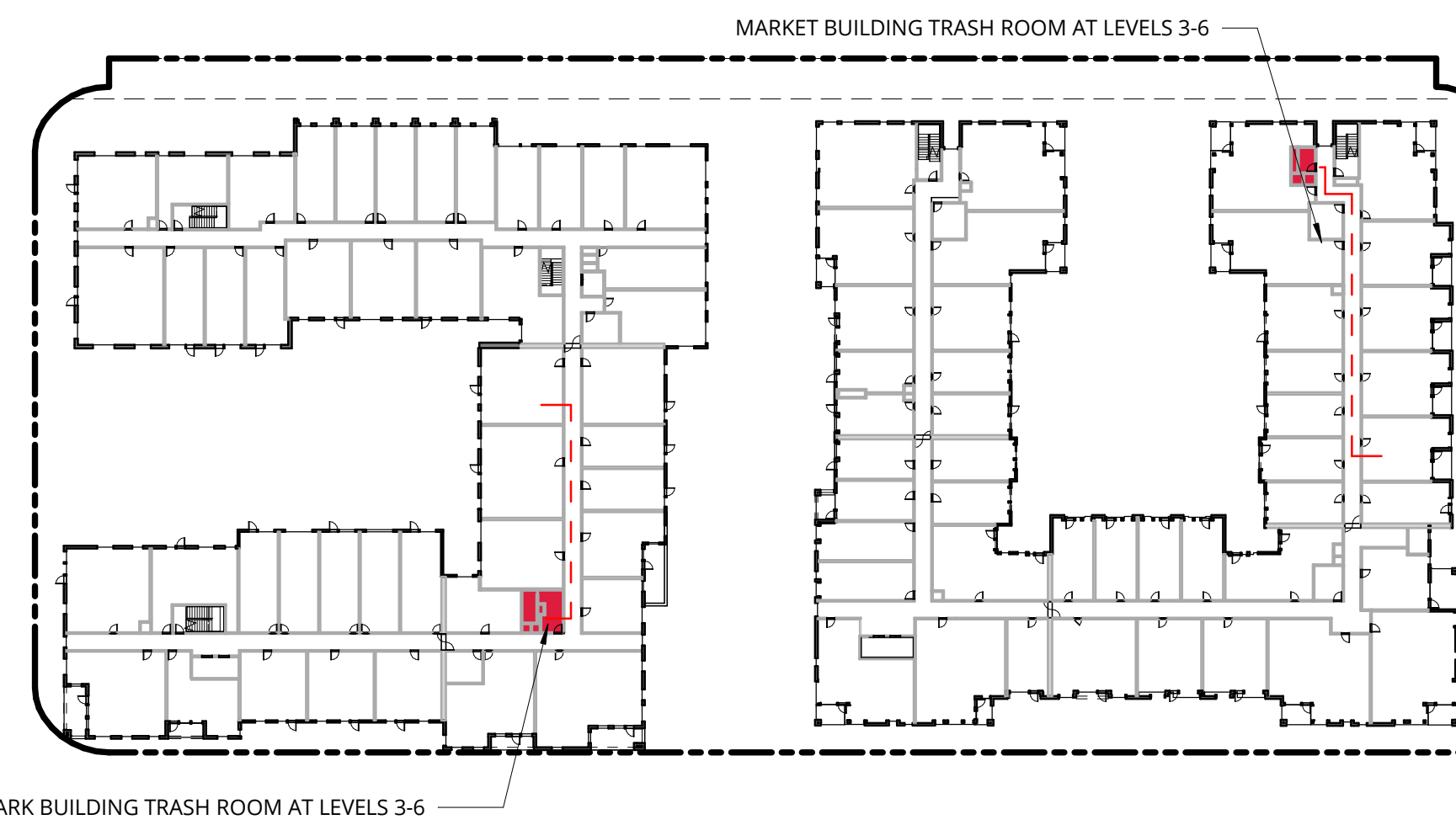
**6 GROCERY TRASH ROOM**  
3/32" = 1'-0"



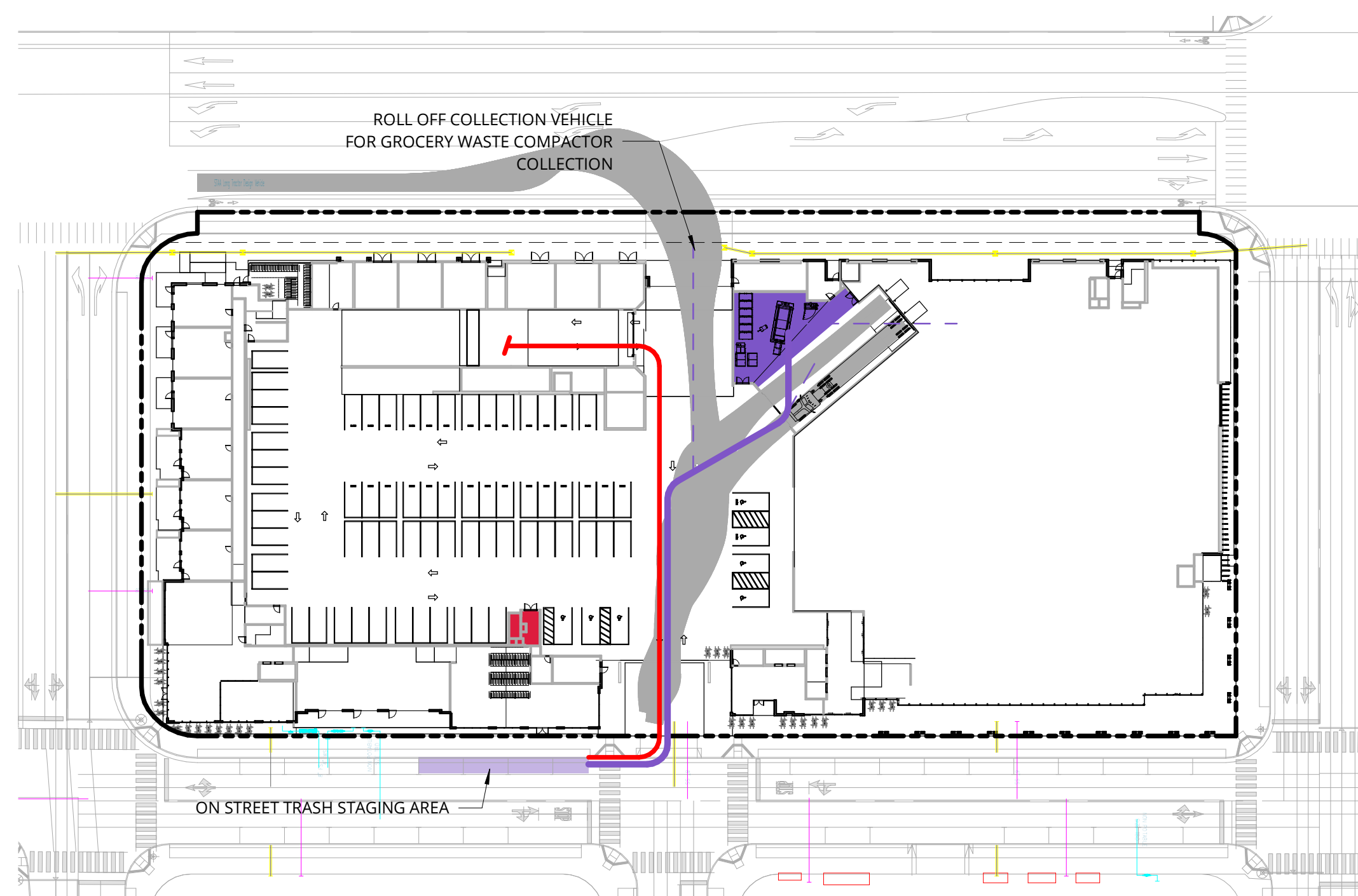
**5 PARK BLDG TRASH ROOM**  
1/8" = 1'-0"



**4 MARKET BLDG TRASH ROOM**  
1/8" = 1'-0"



**3 TRASH PLAN OVERALL LEVEL 4**  
1" = 60'-0"



**2 TRASH PLAN OVERALL LEVEL 1**  
1" = 60'-0"



**1 TRASH PLAN OVERALL LEVEL P1**  
1" = 60'-0"

**LEGEND**

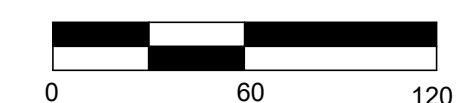
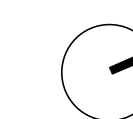
- RESIDENTIAL TRASH ROOM / CHUTE
- GROCERY TRASH ROOM
- TRASH COLLECTION AREA
- TRASH ROOM
- RESIDENTIAL TRASH CADDY ROUTE
- GROCERY TRASH CADDY ROUTE
- - - RESIDENTIAL TRASH CIRCULATION
- - - GROCERY TRASH CIRCULATION

**\*PRELIMINARY PLAN\***

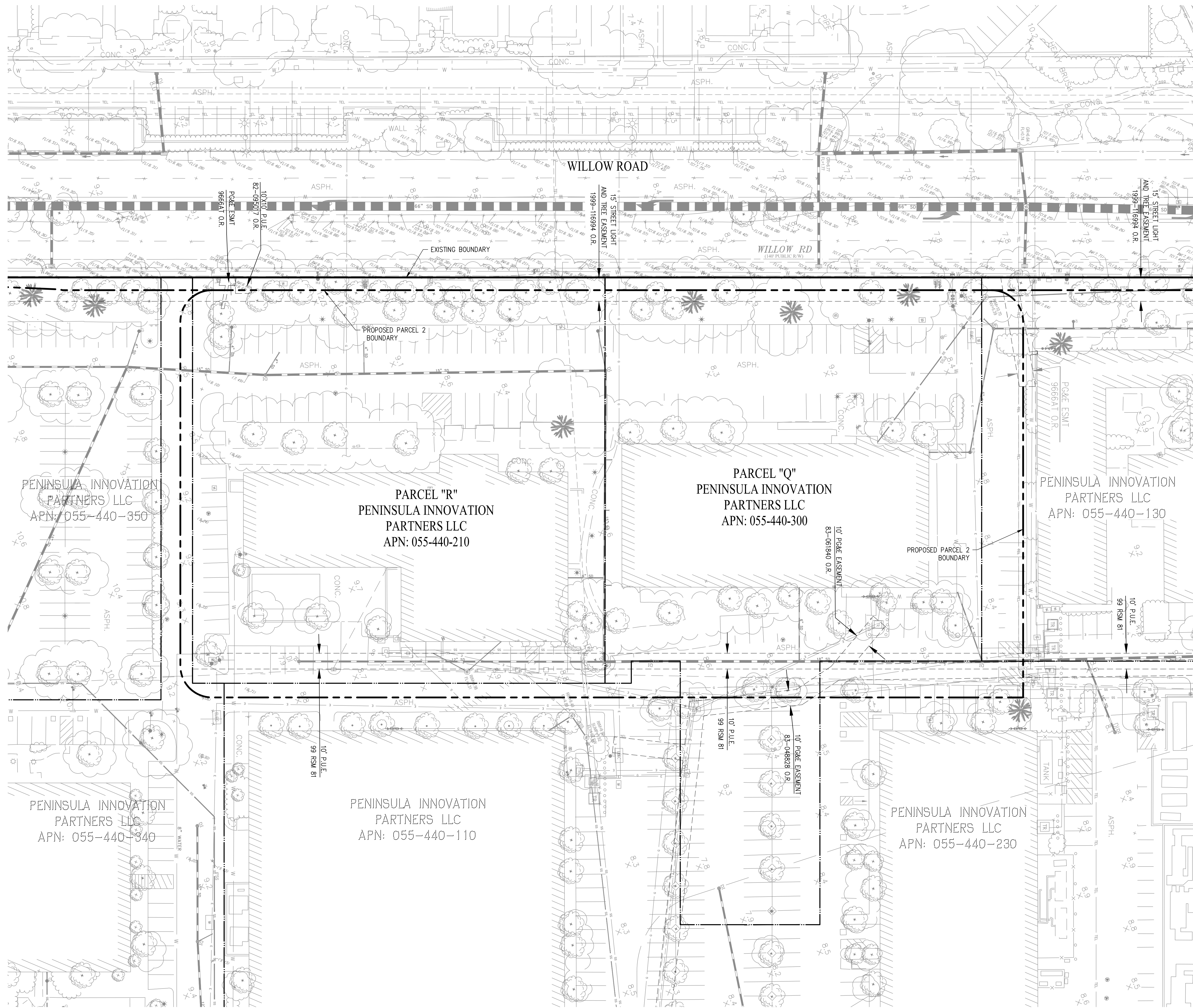
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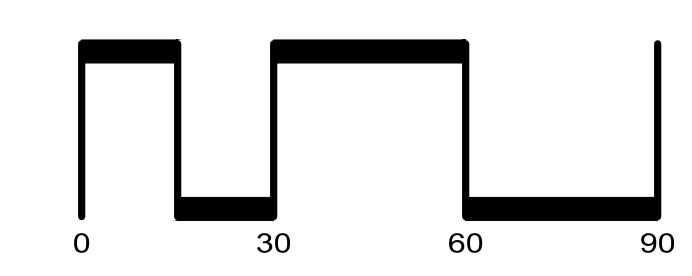
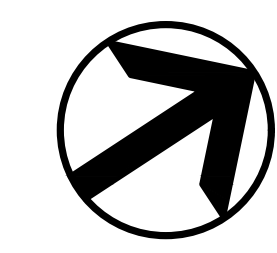


**LEGEND**

- EXISTING BOUNDARY LINE
- PROPOSED PARCEL BOUNDARY
- EXISTING PARCEL LINE
- EXISTING EASEMENT LINE
- EXISTING STORM DRAIN LINE
- EXISTING SANITARY SEWER LINE
- EXISTING TELEPHONE LINE
- EXISTING WATER LINE
- EXISTING ELECTRICAL LINE
- EXISTING GAS LINE
- EXISTING WATER LATERAL
- EXISTING STORM DRAIN MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING TREE
- EXISTING SANITARY SEWER CLEANOUT
- EXISTING BOLLARD
- EXISTING DRAINAGE INLET
- EXISTING AREA DRAIN
- EXISTING BUSH LINE
- EXISTING STORM DRAIN FIELD INLET
- EXISTING ELECTROLIER
- EXISTING WATER VALVE
- EXISTING WATER METER
- EXISTING UTILITY BOX
- EXISTING BACK FLOW PREVENTION DEVICE
- EXISTING TRASH AREA

AVERAGE NATURAL EXISTING GRADE: 9.19'

NOTE:  
TOPOGRAPHIC ELEVATIONS ARE TO BE ADJUSTED BY AN  
ELEVATION OF +0.23' PER THE FRYER & LAURETA, INC  
MEMORANDUM DATED JULY 13, 2020.



**WILLOW VILLAGE**  
Architectural Control Package - Parcel 2  
Menlo Park, CA

PENINSULA INNOVATION PARTNERS

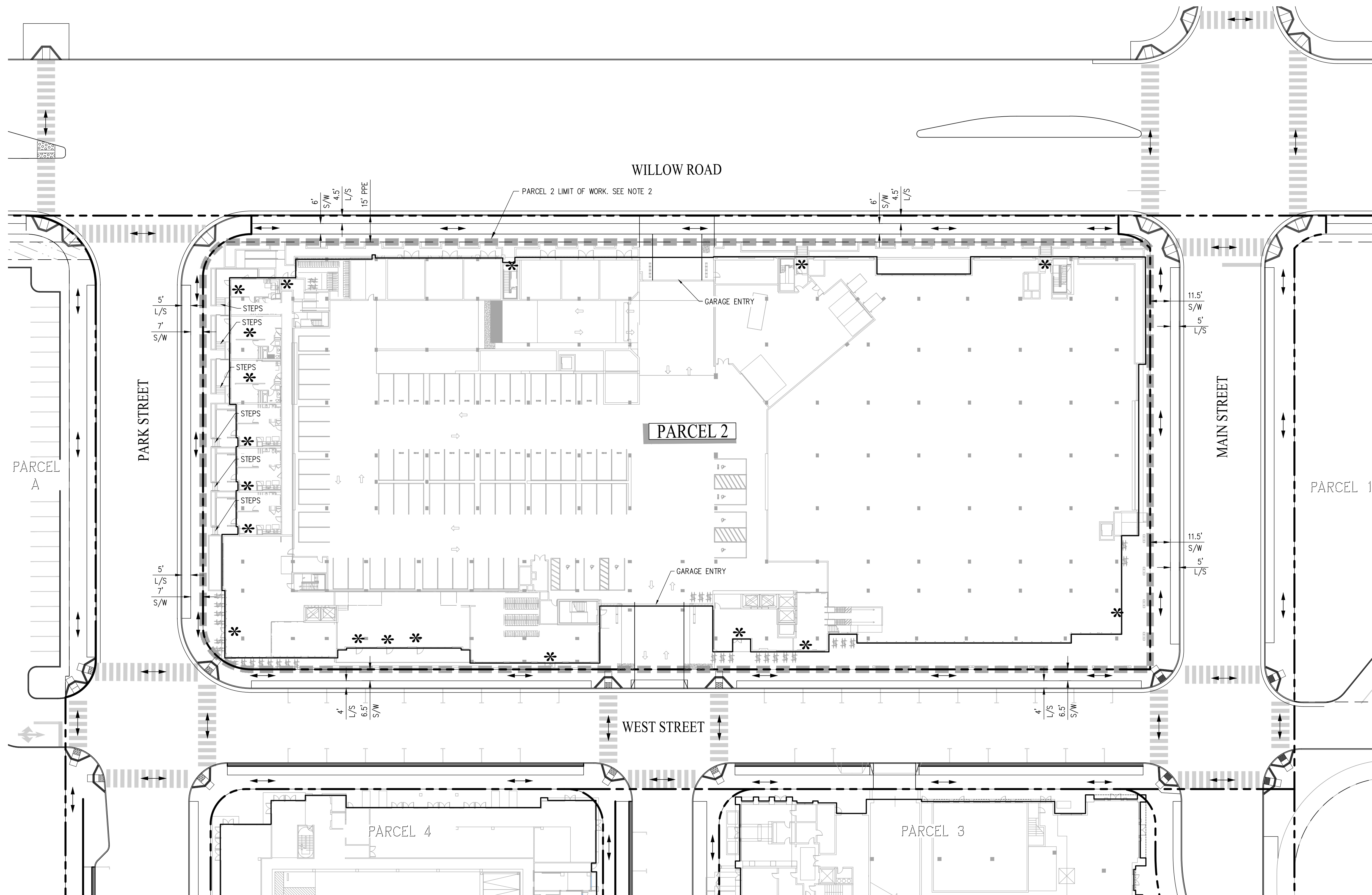
MILESTONES	
DATE	ISSUE
05/09/2023	ACP

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NO.	DATE	ISSUE

DRAWING TITLE:  
**TOPOGRAPHIC SURVEY**

DRAWING NO:  
**C1.00**





**LEGEND**

- PARCEL BOUNDARY
- LIMIT OF WORK
- EASEMENT LINE
- ACCESSIBLE PATH
- BUILDING ENTRY LOCATION
- LANDSCAPE
- PROPOSED PUBLIC EASEMENT
- SIDEWALK

- NOTES:**
- ACCESSIBLE PATHWAY SLOPE SHALL NOT EXCEED 5% AND CROSS SLOPE TO NOT EXCEED 2% PER CBC 11B-403.3. AT LEVEL LANDINGS AND ENTRANCES, SLOPE AND CROSS SLOPE TO NOT EXCEED 2%.
  - ALL IMPROVEMENTS SHOWN OUTSIDE OF THE PARCEL BOUNDARY AND WITHIN THE PROPOSED PUBLIC EASEMENT ALONG WILLOW ROAD WILL BE PART OF THE PUBLIC REALM PLANS AND HAVE BEEN SHOWN FOR REFERENCE ONLY.

SCALE: 1" = 30'

**MILESTONES**

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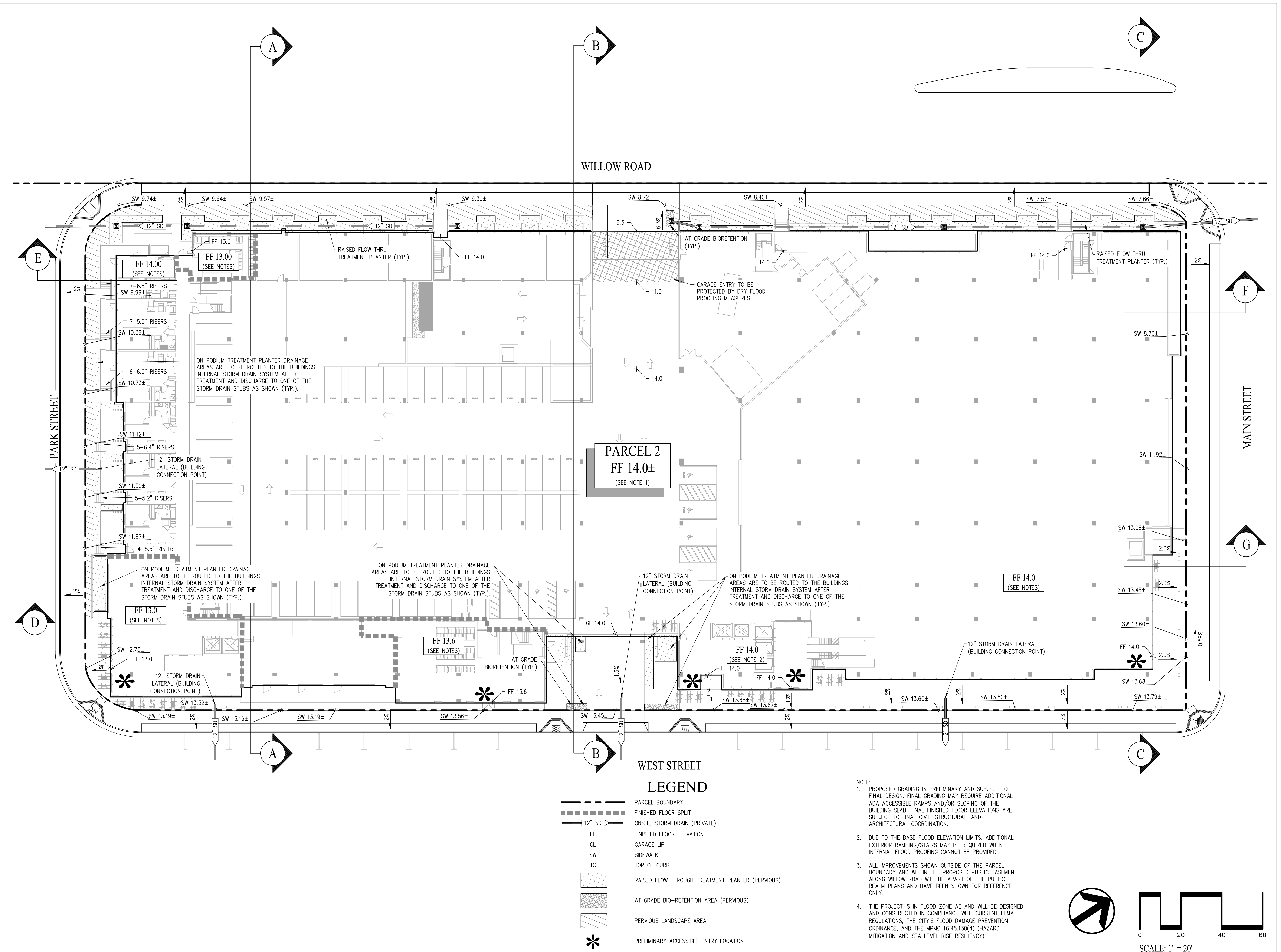
**REVISIONS**

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MILESTONES	
DATE	ISSUE
05/09/2023	ACP

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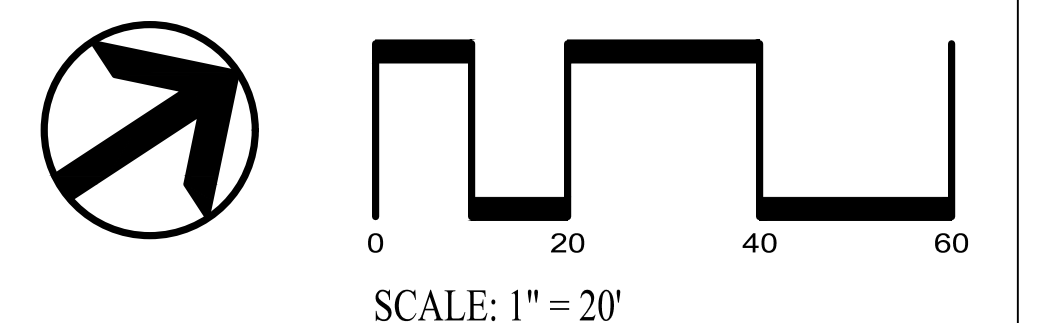


**WEST STREET LEGEND**

	PARCEL BOUNDARY
	FINISHED FLOOR SPLIT
	ONSITE STORM DRAIN (PRIVATE)
	FINISHED FLOOR ELEVATION
	GARAGE LIP
	SIDEWALK
	TOP OF CURB
	RAISED FLOW THROUGH TREATMENT PLANTER (PERVIOUS)
	AT GRADE BIO-RETENTION AREA (PERVIOUS)
	PERVIOUS LANDSCAPE AREA
	PRELIMINARY ACCESSIBLE ENTRY LOCATION

NOTE:

- PROPOSED GRADING IS PRELIMINARY AND SUBJECT TO FINAL DESIGN. FINAL GRADING MAY REQUIRE ADDITIONAL ADA ACCESSIBLE RAMPS AND/OR SLOPING OF THE BUILDING SLAB. FINAL FINISHED FLOOR ELEVATIONS ARE SUBJECT TO FINAL CIVIL, STRUCTURAL, AND ARCHITECTURAL COORDINATION.
- DUE TO THE BASE FLOOD ELEVATION LIMITS, ADDITIONAL EXTERIOR RAMPING/STAIRS MAY BE REQUIRED WHEN INTERNAL FLOOD PROOFING CANNOT BE PROVIDED.
- ALL IMPROVEMENTS SHOWN OUTSIDE OF THE PARCEL BOUNDARY AND WITHIN THE PROPOSED PUBLIC EASEMENT ALONG WILLOW ROAD WILL BE PART OF THE PUBLIC REALM PLANS AND HAVE BEEN SHOWN FOR REFERENCE ONLY.
- THE PROJECT IS IN FLOOD ZONE AE AND WILL BE DESIGNED AND CONSTRUCTED IN COMPLIANCE WITH CURRENT FEMA REGULATIONS, THE CITY'S FLOOD DAMAGE PREVENTION ORDINANCE, AND THE MPMC 16.45.130(4) (HAZARD MITIGATION AND SEA LEVEL RISE RESILIENCY).



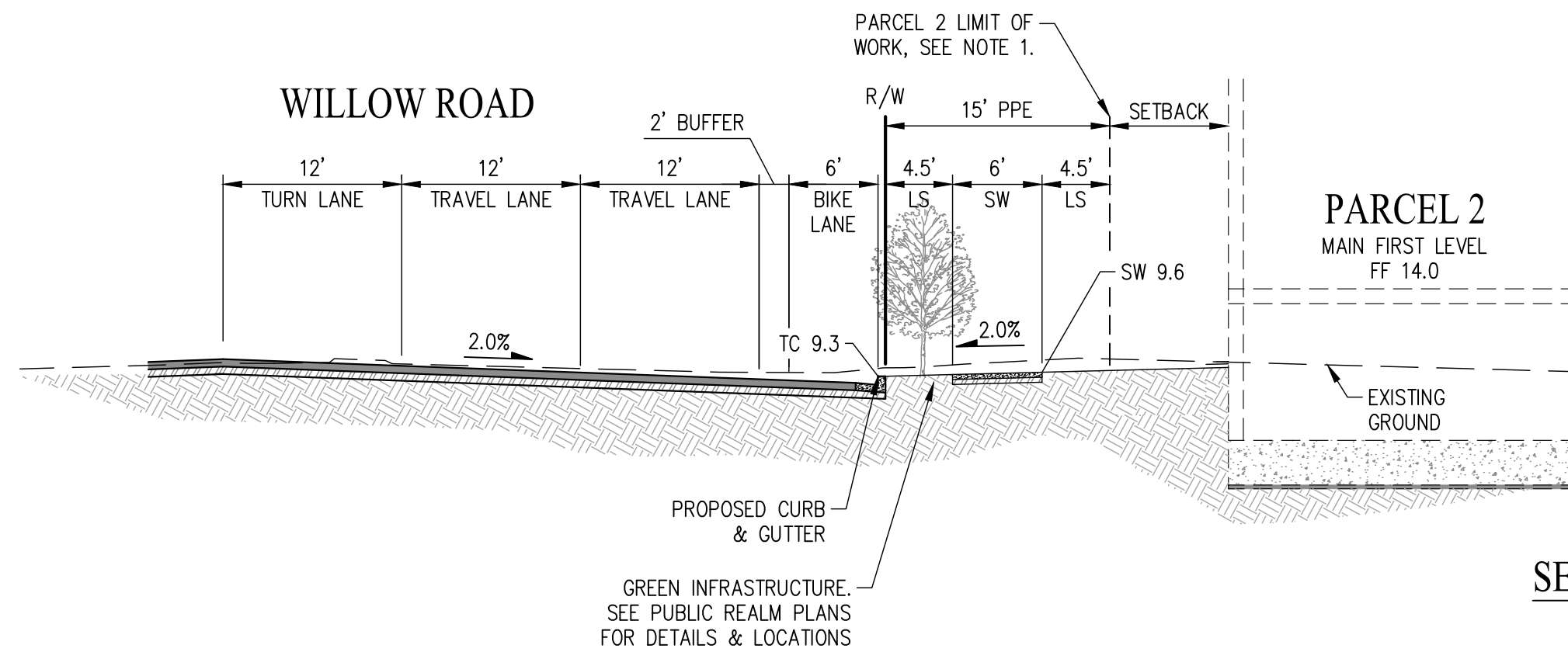


# ABBREVIATIONS

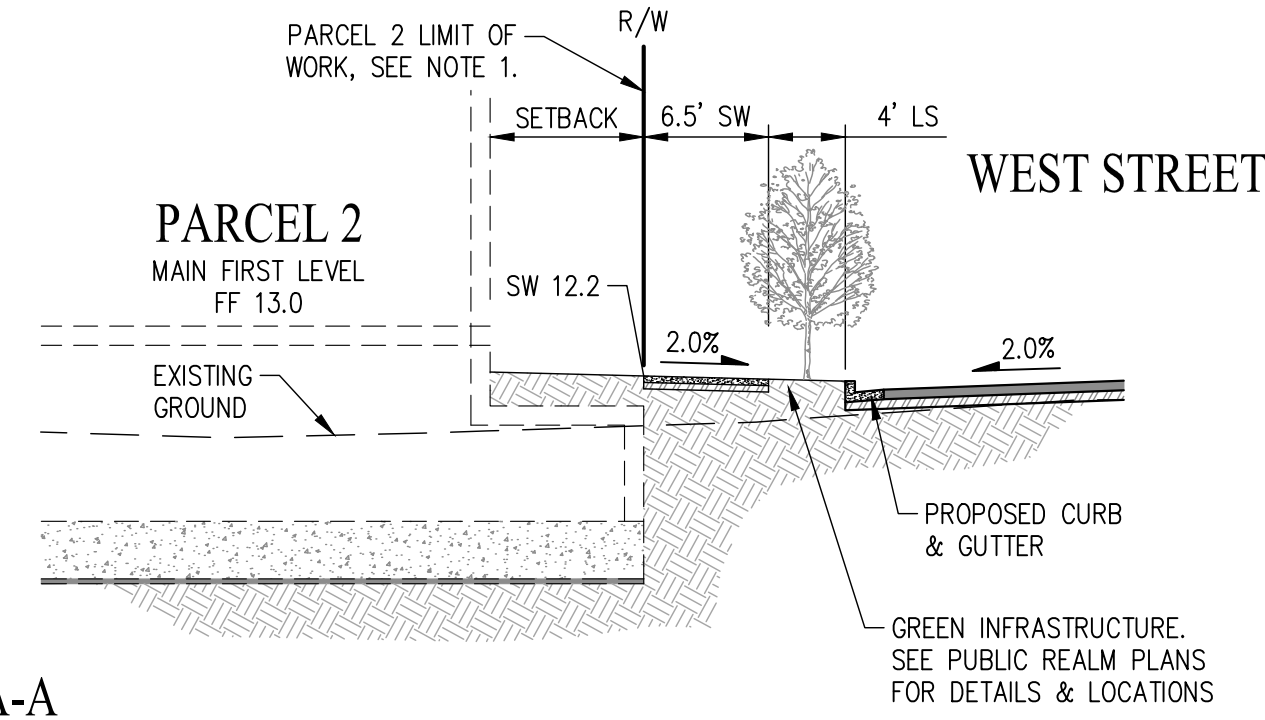
- EX EXISTING
- FF FINISHED FLOOR ELEVATION
- LS LANDSCAPE
- PPE PROPOSED PUBLIC EASEMENT
- R/W RIGHT OF WAY
- SW SIDEWALK
- TC TOP OF CURB

## NOTES:

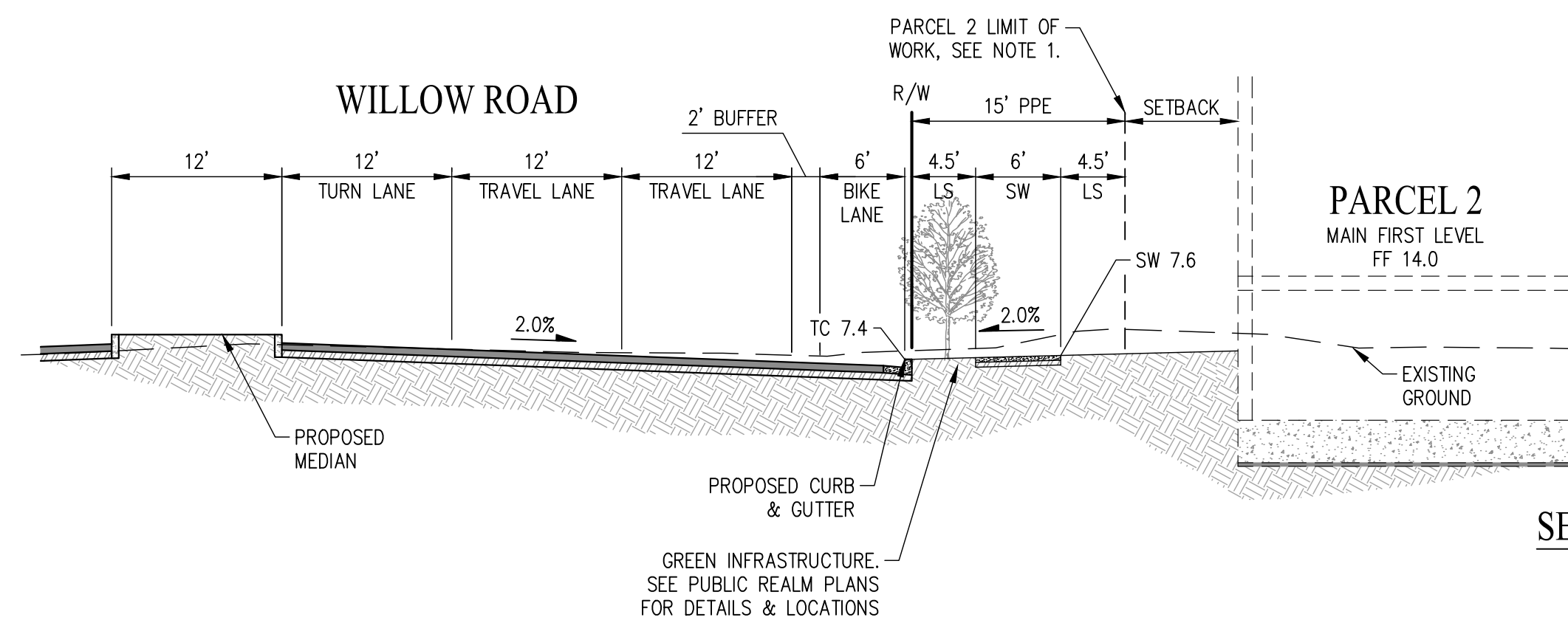
1. ALL IMPROVEMENTS SHOWN OUTSIDE OF THE PARCEL BOUNDARY AND WITHIN THE PROPOSED PUBLIC EASEMENT ALONG WILLOW ROAD WILL BE APART OF THE PUBLIC REALM PLANS AND HAVE BEEN SHOWN FOR REFERENCE ONLY.



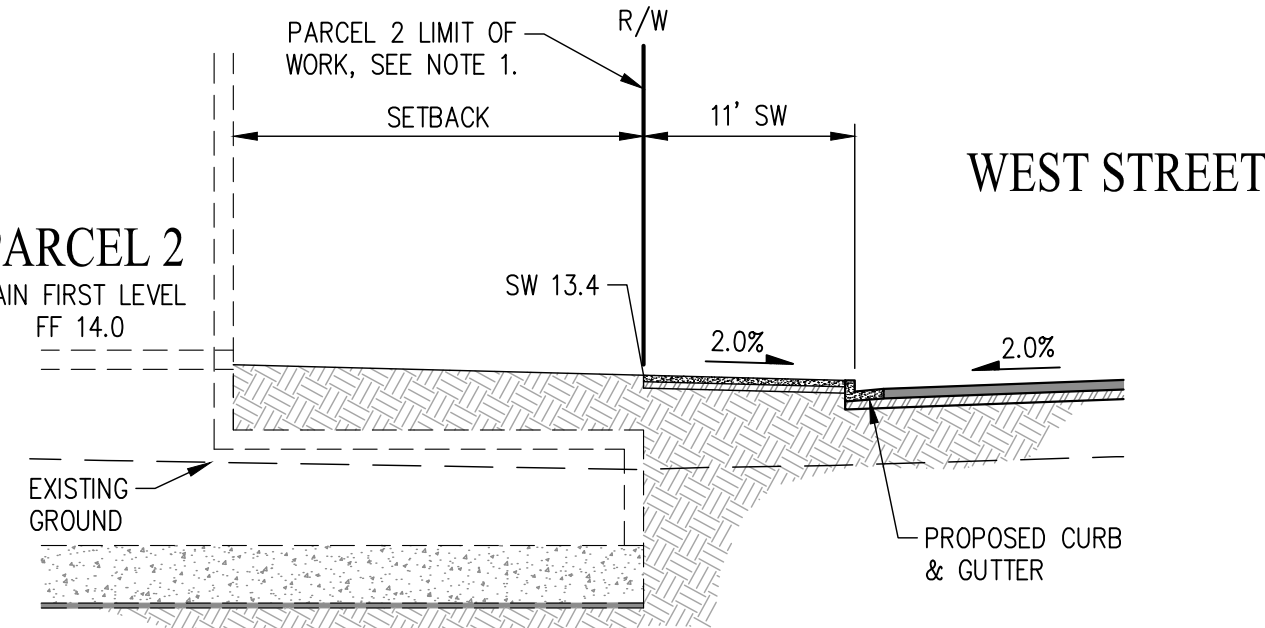
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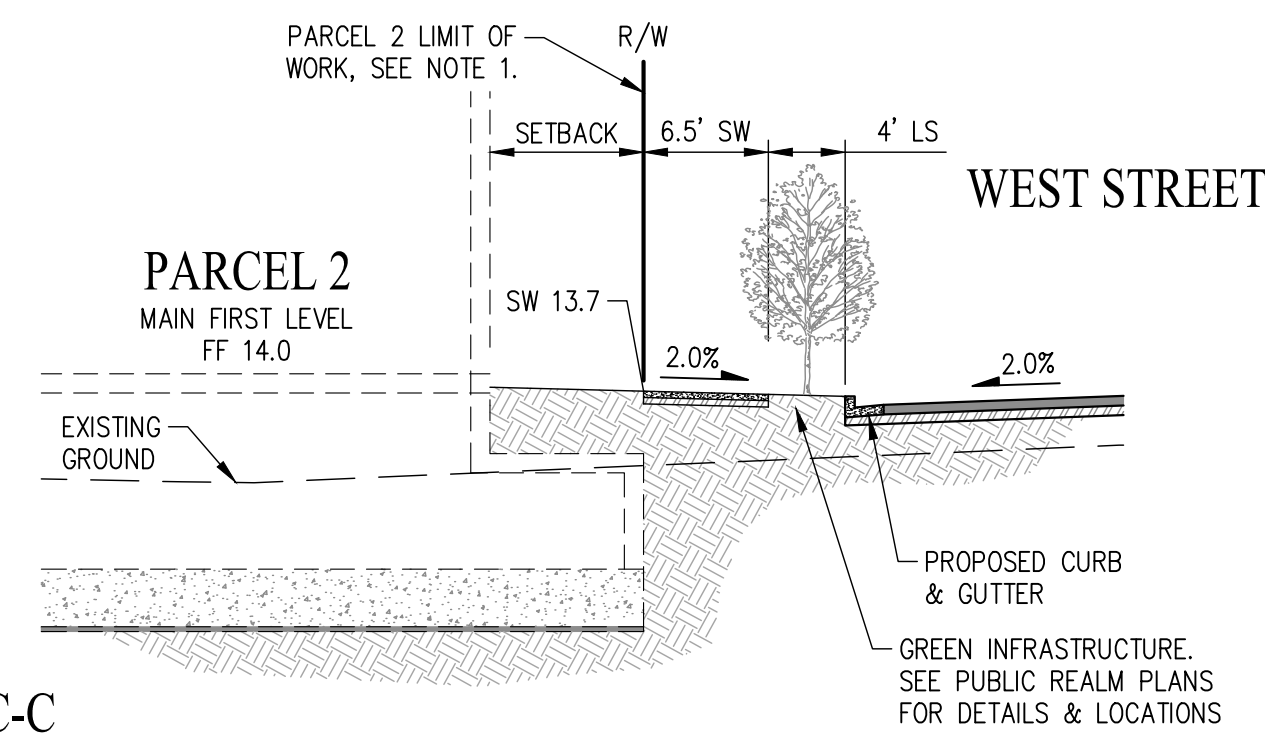
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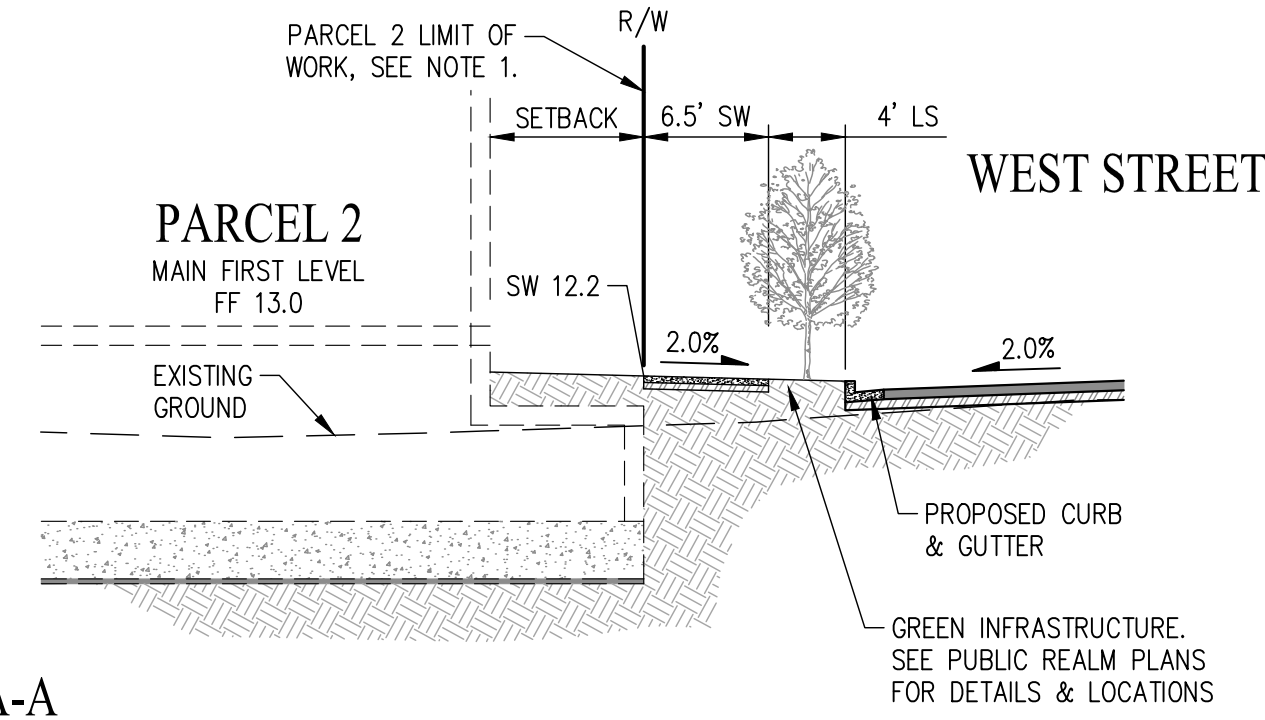
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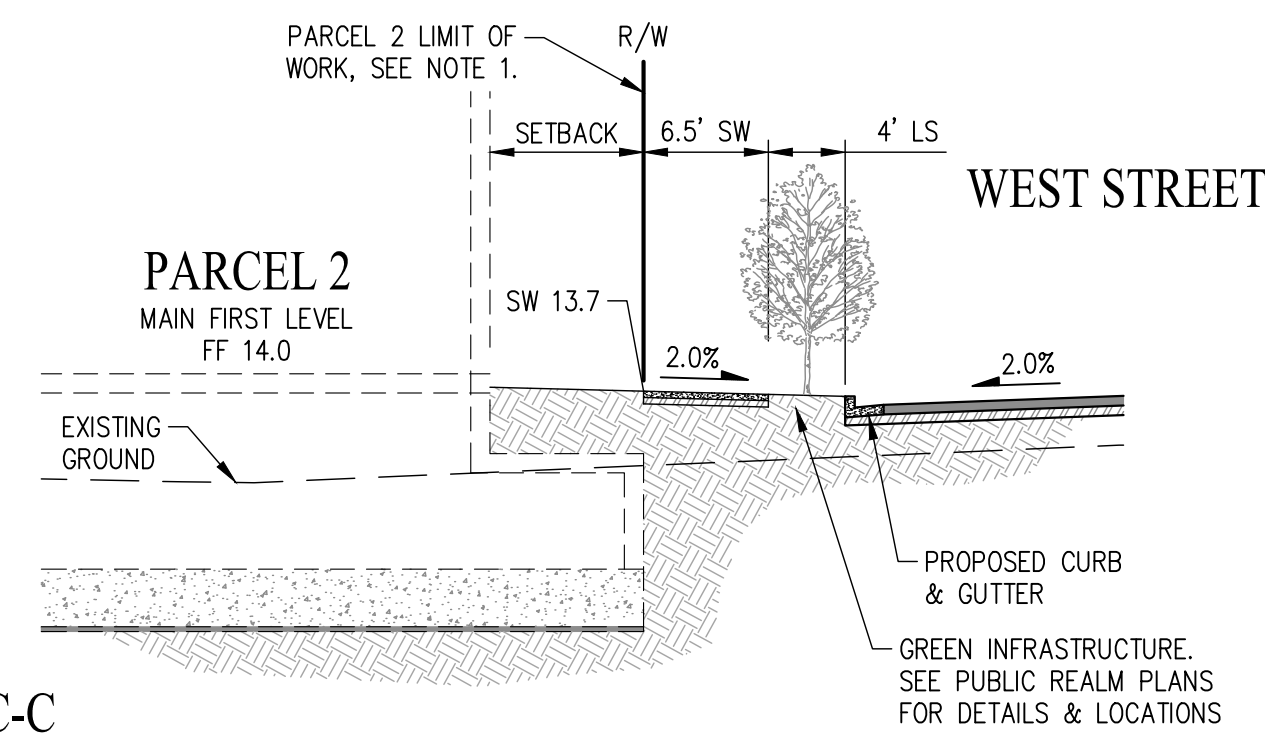
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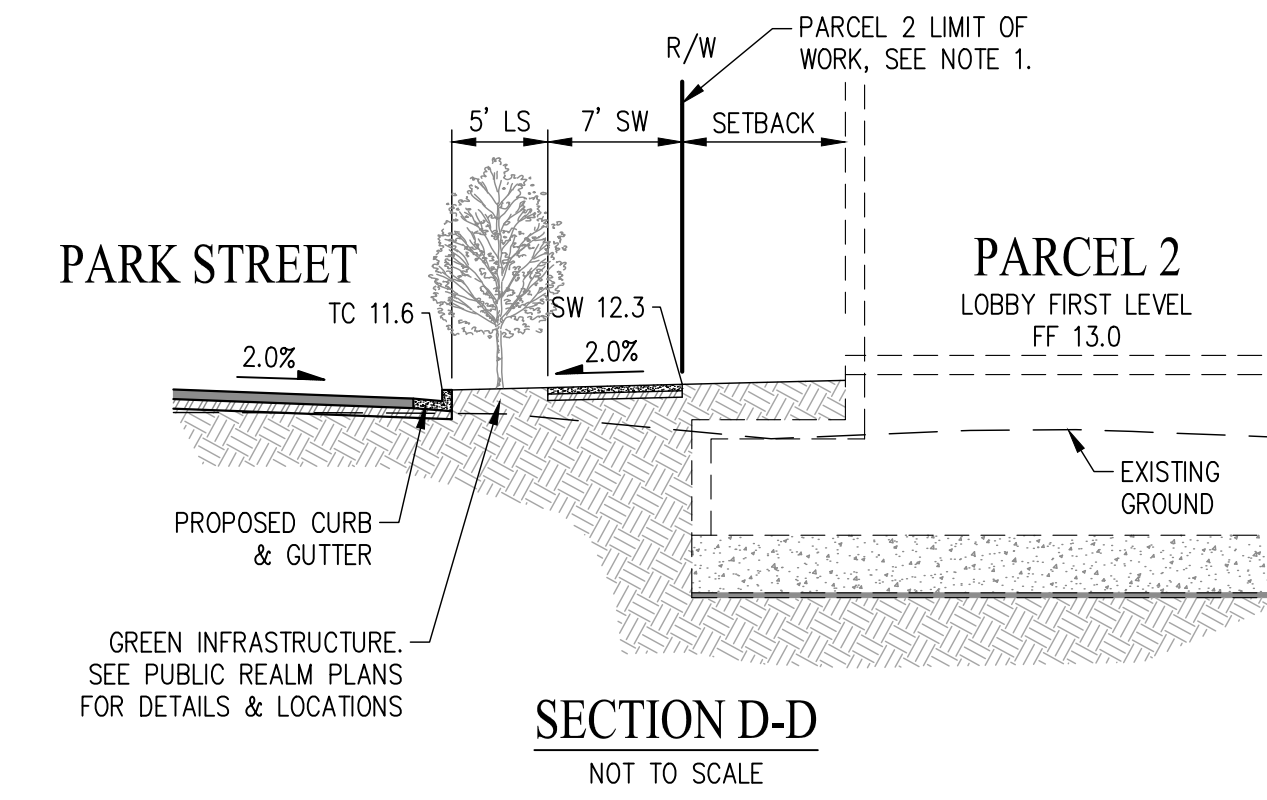
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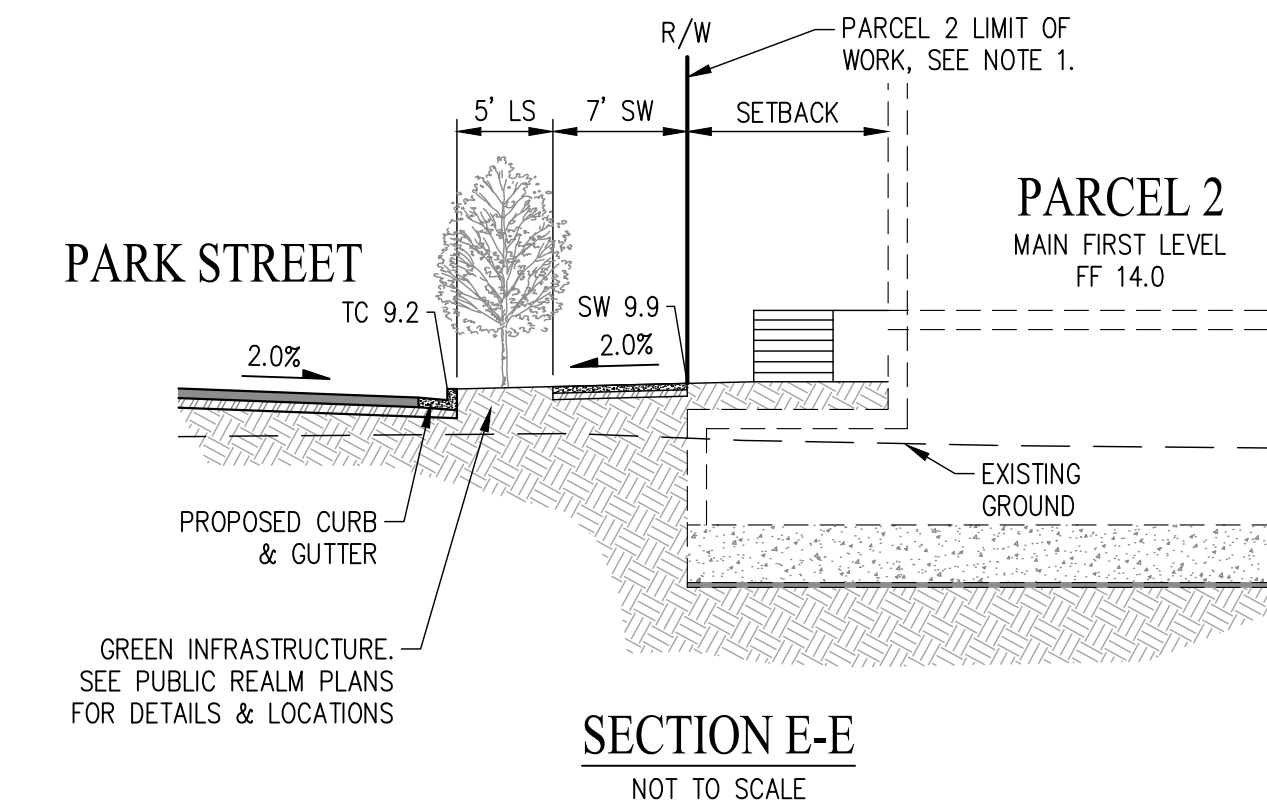
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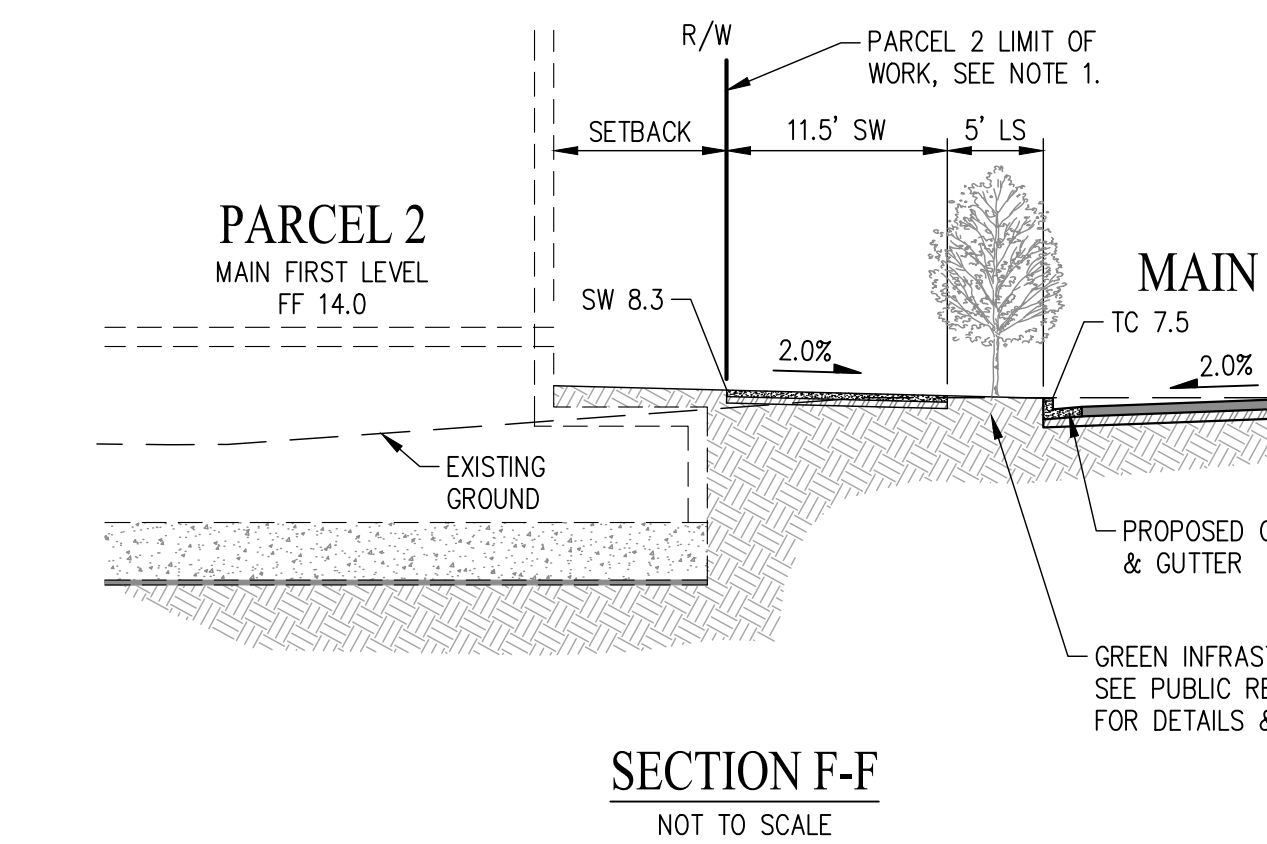
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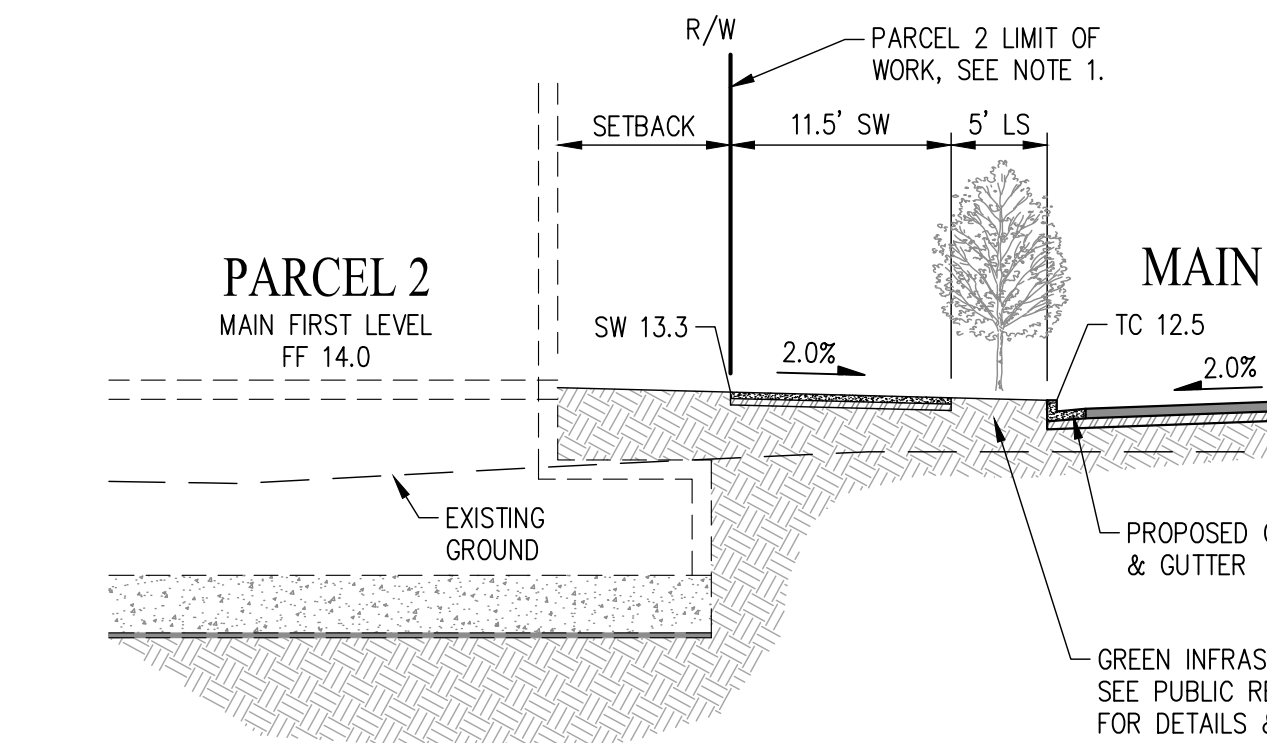
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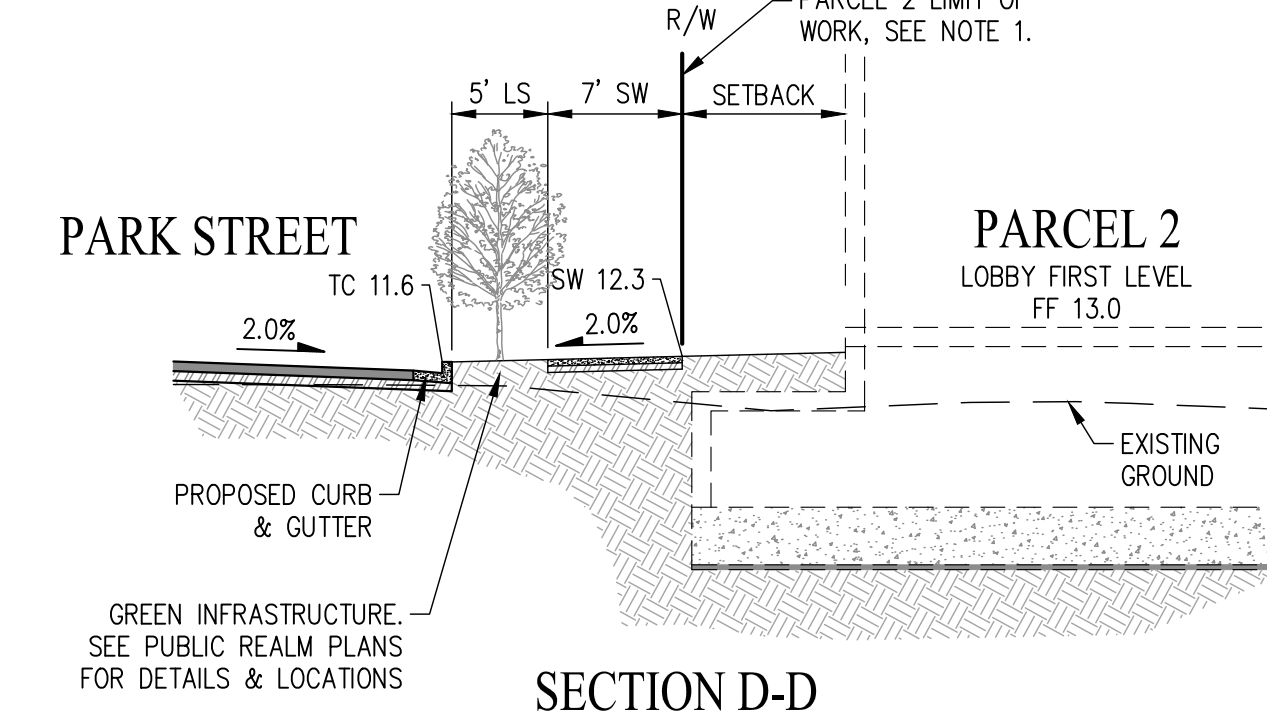
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NOT TO SCALE



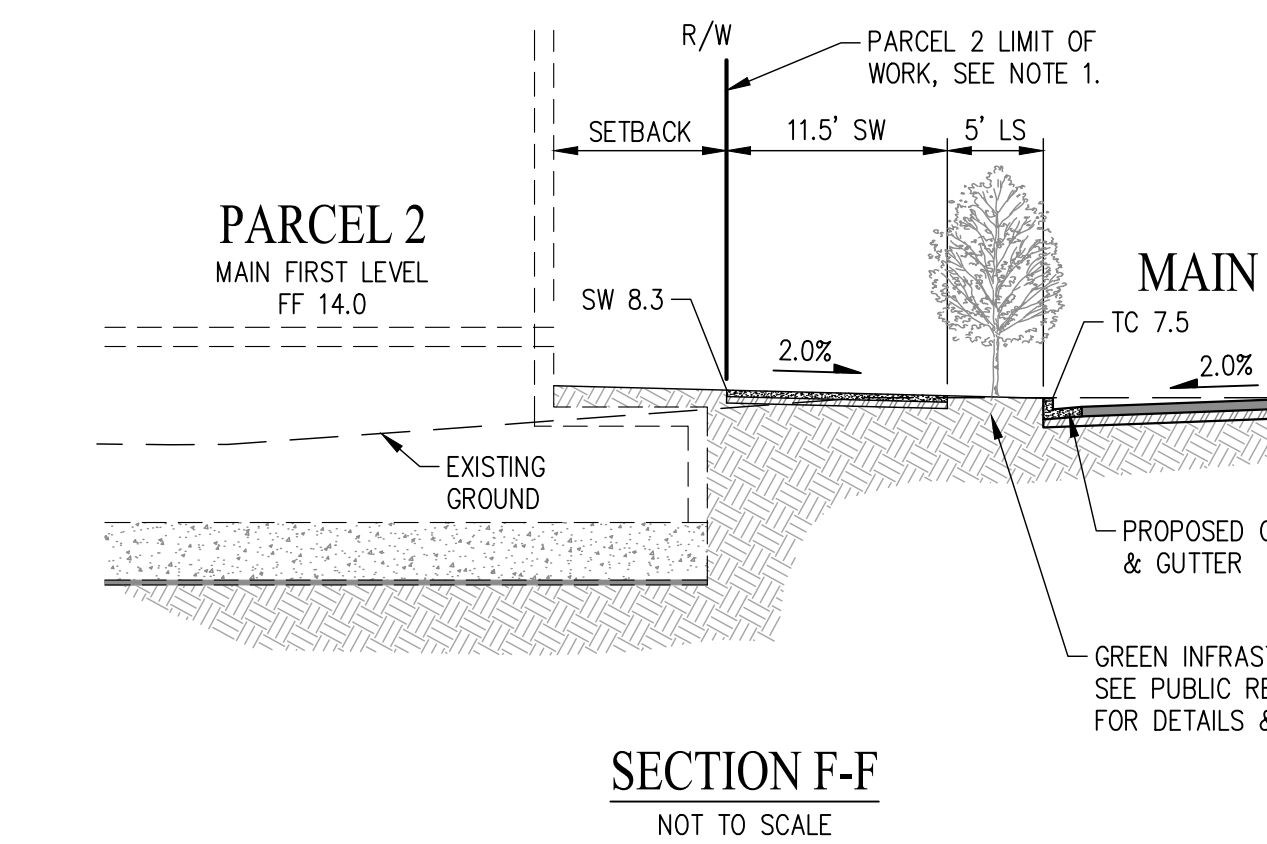
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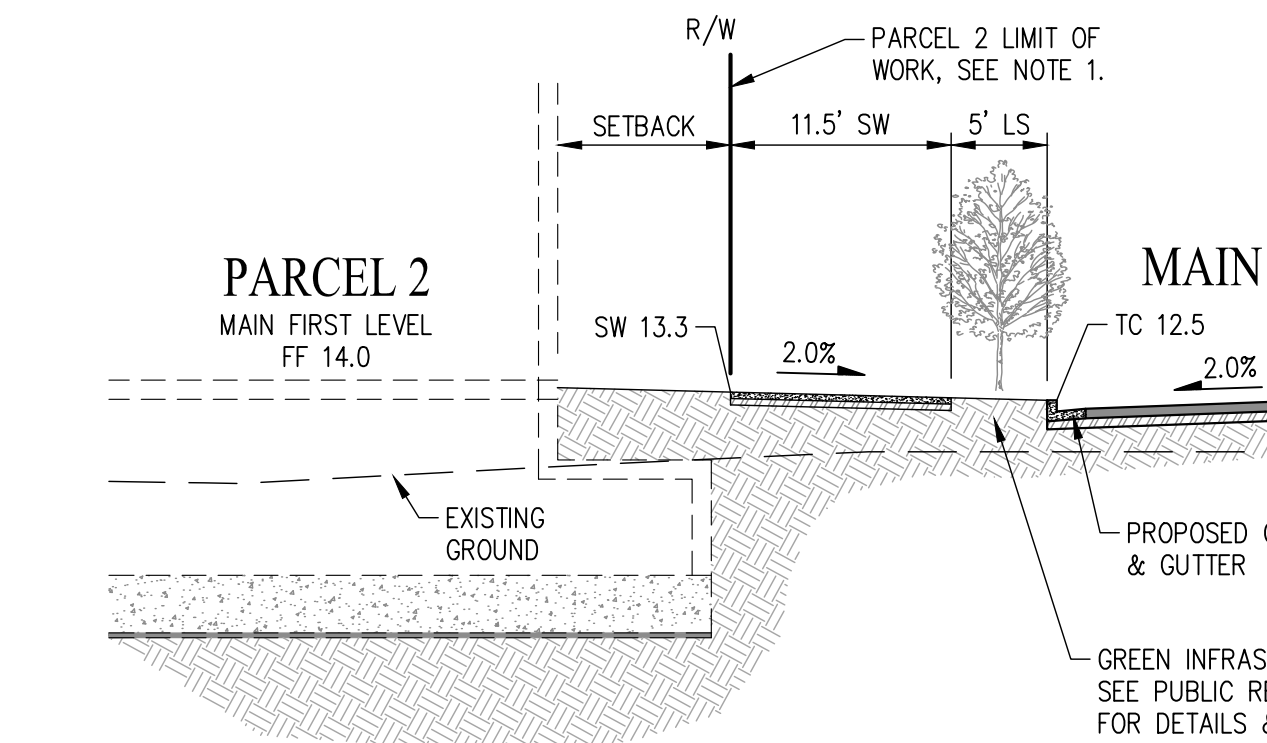
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NOT TO SCALE



**SECTION E-E**  
NOT TO SCALE



**SECTION F-F**  
NOT TO SCALE



**SECTION G-G**  
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PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE  
Architectural Control Package - Parcel 2  
Menlo Park, CA

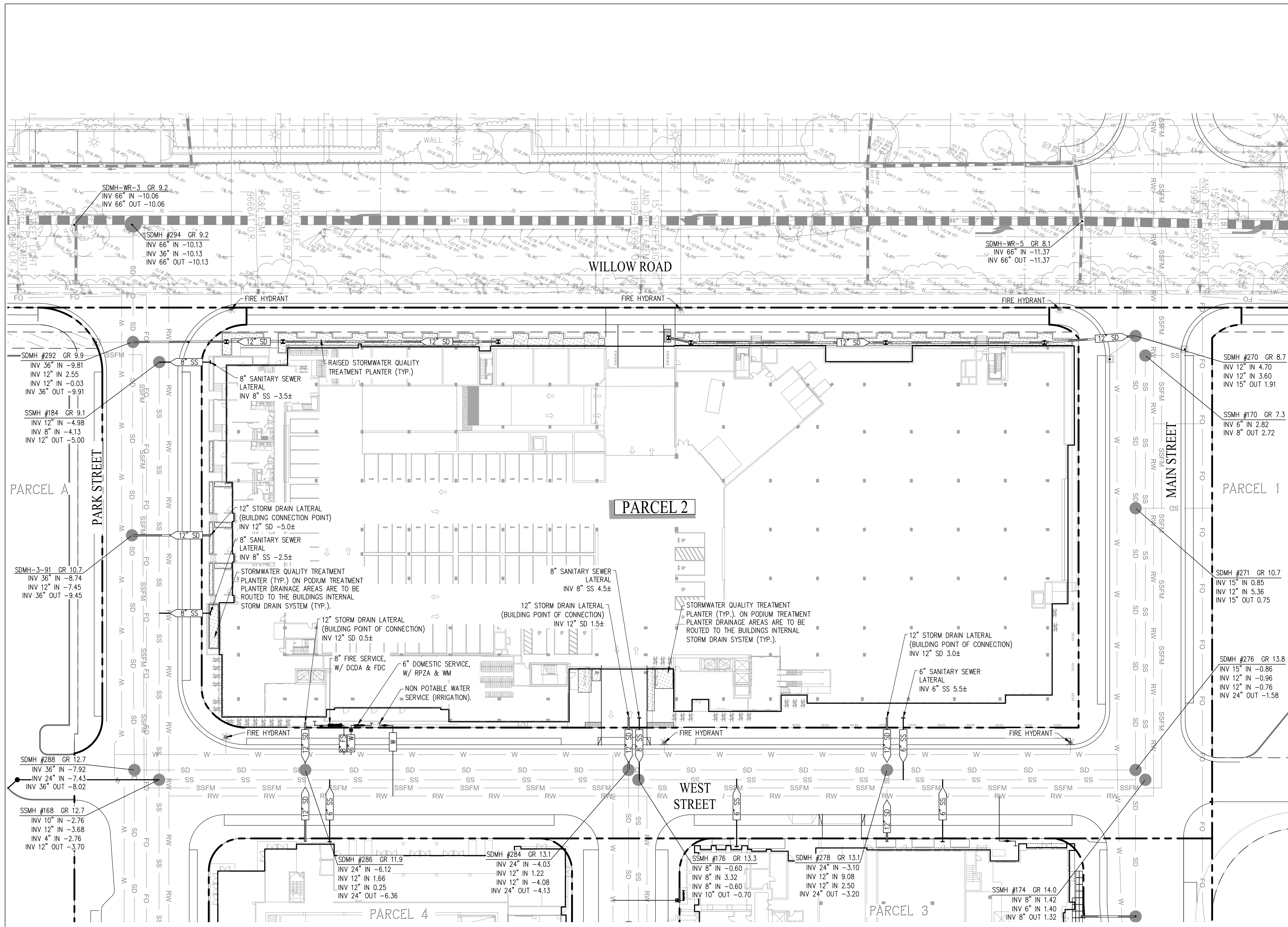
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GRADING SECTIONS

DRAWING NO:  
**C2.01**





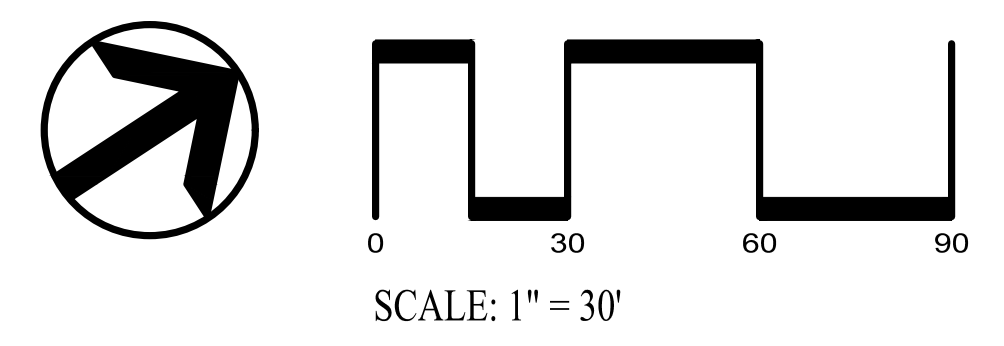
**LEGEND:**

- PROPERTY LINE
- 8" SS SANITARY SEWER LATERAL (PRIVATE)
- 12" SD STORM DRAIN (PRIVATE)
- 8" W WATER LATERAL (PRIVATE)
- RW OFFSITE RECLAIMED WATER MAIN (PUBLIC)
- W OFFSITE WATER MAIN (PUBLIC)
- SD OFFSITE SANITARY SEWER (PUBLIC)
- SSFM OFFSITE SEWER FORCE MAIN (PUBLIC)
- SS OFFSITE STORM DRAIN (PUBLIC)
- FO OFFSITE FIBRE OPTIC LINE (PUBLIC)
- JT OFFSITE UNDERGROUND JOINT TRENCH (PUBLIC)
- SDMH STORM DRAIN FIELD INLET (PRIVATE) SEE NOTE 5.
- MANHOLE (PUBLIC)
- ⊕ FIRE HYDRANT (PUBLIC)
- ⊕ FIRE DEPARTMENT CONNECTION (PRIVATE)
- ⊕ WATER METER (PUBLIC)
- ⊕ REDUCED PRESSURE ZONE DEVICE (PRIVATE)
- ⊕ DOUBLE CHECK DETECTOR ASSEMBLY (PRIVATE)
- ⊕ NON POTABLE WATER SERVICE (PRIVATE)
- ⊕ RAISED FLOW THRU TREATMENT PLANTER (PRIVATE)
- ⊕ AT GRADE BIO-RETENTION AREA (PRIVATE)

**ABBREVIATIONS:**

- DCDA DOUBLE CHECK DETECTOR BACKFLOW ASSEMBLY
- EX EXISTING
- FO FIBER OPTIC
- FDC FIRE DEPARTMENT CONNECTION
- FH FIRE HYDRANT
- FS FIRE SERVICE
- GR GRATE
- INV INVERT
- PL PROPERTY LINE
- RPZA REDUCED PRESSURE ZONE BACKFLOW ASSEMBLY
- SD STORM DRAIN
- SDFI STORM DRAIN FIELD INLET
- SS SANITARY SEWER
- SSMH SANITARY SEWER MANHOLE
- TC TOP OF CURB
- W WATER

- NOTES:**
- UTILITY LAYOUT AS SHOWN IS PRELIMINARY AND SUBJECT TO FINAL ENGINEERING DESIGN.
  - ALL BUILDING STORM DRAIN, WATER, AND SEWER POINT OF CONNECTIONS ARE SUBJECT TO FINAL BUILDING PLUMBING DESIGN. THE STORM DRAIN CONNECTION POINTS SHOWN STUBBING INTO THE BUILDING ARE TO COLLECT THE RUNOFF FROM THE DRAINAGE TREATED ON THE PODIUM DECK'S STORMWATER PLANTERS.
  - PROPOSED SANITARY SEWER AND STORM DRAIN INVERT ELEVATIONS, GRATE ELEVATIONS, AND SIZES ARE PRELIMINARY AND SUBJECT TO FINAL DESIGN.
  - ALL IMPROVEMENTS SHOWN OUTSIDE OF THE PARCEL BOUNDARY AND WITHIN THE PROPOSED PUBLIC EASEMENT ALONG WILLOW ROAD WILL BE APART OF THE PUBLIC REALM PLANS AND HAVE BEEN SHOWN FOR REFERENCE ONLY.
  - FULL TRASH CAPTURE DEVICES AS APPROVED BY THE WATERBOARD ARE TO BE PROVIDED ON ALL FIELD INLETS AND WILL BE DETAILED ON THE PROJECTS CONSTRUCTION DOCUMENTS.



**PENINSULA INNOVATION PARTNERS**  
  
**WILLOW VILLAGE**  
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**MILESTONES**

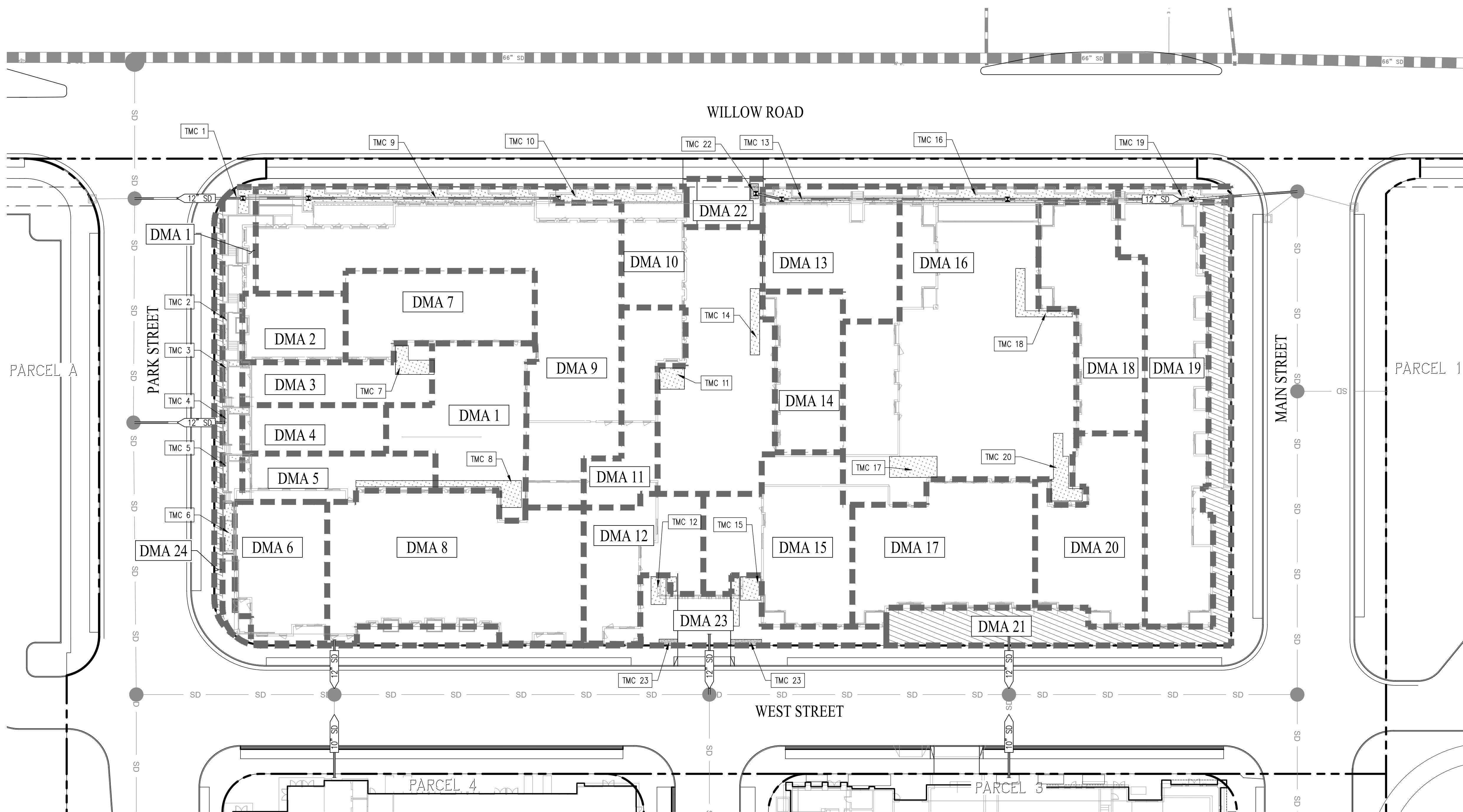
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**UTILITY PLAN**  
  
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**C3.00**





**LEGEND**

- PROPERTY BOUNDARY
- OFFSITE STORM DRAIN (PUBLIC)
- PROPOSED STORM DRAIN (PRIVATE)
- PROPOSED DOWNSPOUT
- PROPOSED MANHOLE (PUBLIC)
- PROPOSED CATCH BASIN (PRIVATE)
- PROPOSED FIELD INLET (PRIVATE)
- RUNOFF DIRECTION
- RAISED FLOW THRU TREATMENT PLANTER (PRIVATE)
- AT GRADE BIO-RETENTION AREA (PRIVATE)
- SELF TREATING GREEN ROOF
- DRAINAGE MANAGEMENT AREA LABEL
- DRAINAGE MANAGEMENT AREA BOUNDARY
- TCM TREATMENT CONTROL MEASURE

- NOTES**
- BIO-RETENTION SHALL BE PROVIDED ON PODIUM DECK IN PROPOSED PLANTER AREAS. WATER WILL BE HARDPIPED VIA DOWNSPOUT AND DISCHARGE DIRECTLY INTO THESE PLANTER AREAS. WATER WILL INFILTRATE THROUGH THE BIO-RETENTION MEDIA AND COLLECT IN THE SUBDRAIN WHICH WILL DIRECT WATER OFF THE PODIUM DECK.
  - STORM DRAIN LAYOUT AND DMA TREATMENT AREAS ARE SUBJECT TO CHANGE WITH FINAL SITE GRADING AND DRAINAGE PLAN. EXACT DOWNSPOUT LOCATIONS ARE UNKNOWN.
  - BIO-RETENTION AREAS HAVE BEEN DESIGNED PER THE SAN MATEO COUNTY C.3 GUIDANCE MANUAL.
  - BIO-RETENTION AREAS HAVE BEEN SIZED USING THE 4% SIZING METHOD PER CHAPTER 5 OF THE SAN MATEO COUNTY C.3 GUIDANCE MANUAL.
  - ALL IMPROVEMENTS SHOWN OUTSIDE OF THE PARCEL BOUNDARY AND WITHIN THE PROPOSED PUBLIC EASEMENT ALONG WILLOW ROAD WILL BE PART OF THE PUBLIC REALM PLANS AND HAVE BEEN SHOWN FOR REFERENCE ONLY.
  - ALL ON PODIUM TREATMENT PLANTER DRAINAGE AREAS ARE TO BE ROUTED TO THE BUILDINGS INTERNAL STORM DRAIN SYSTEM AFTER TREATMENT AND DISCHARGE TO ONE OF THE STORM DRAIN STUBS AS SHOWN.

PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
 Architectural Control Package - Parcel 2  
 Menlo Park, CA

**MILESTONES**

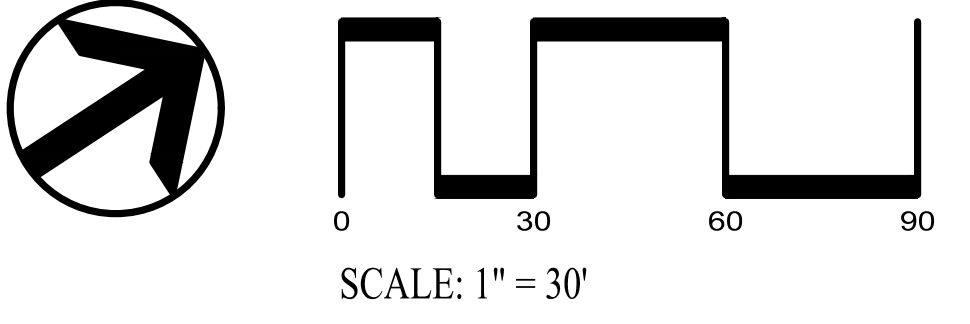
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DRAWING TITLE:  
**STORMWATER CONTROL PLAN**

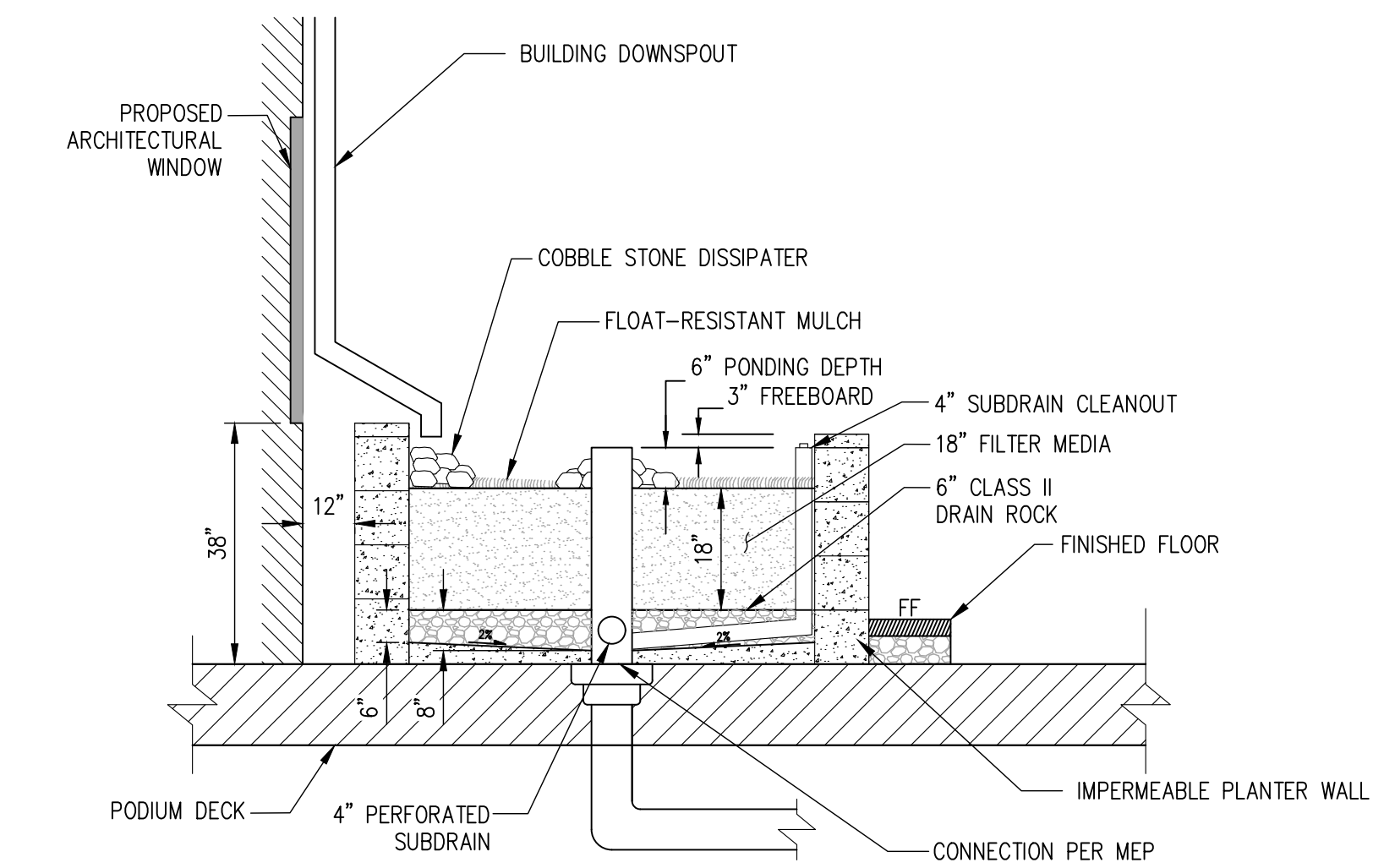
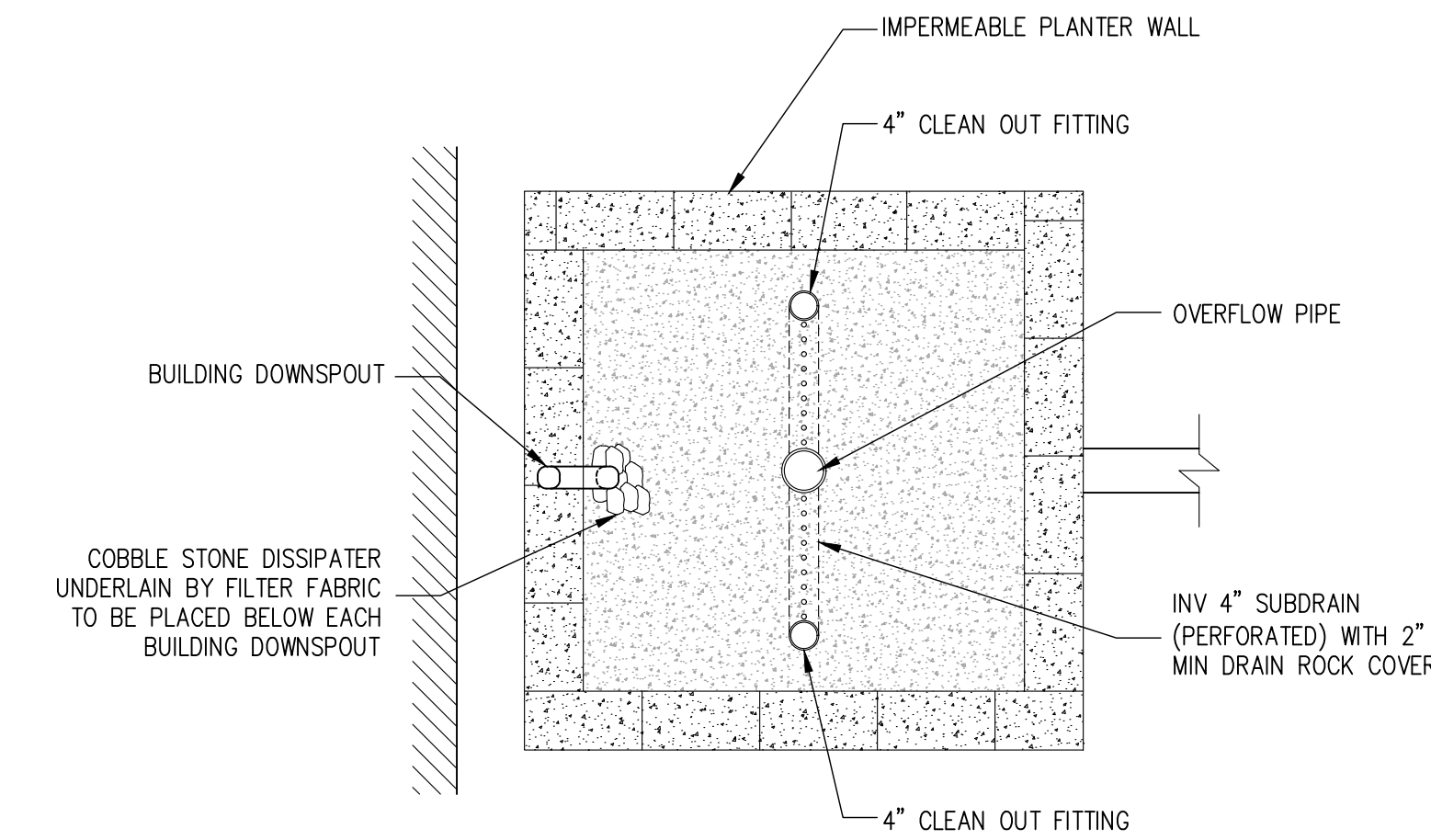
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**C4.00**





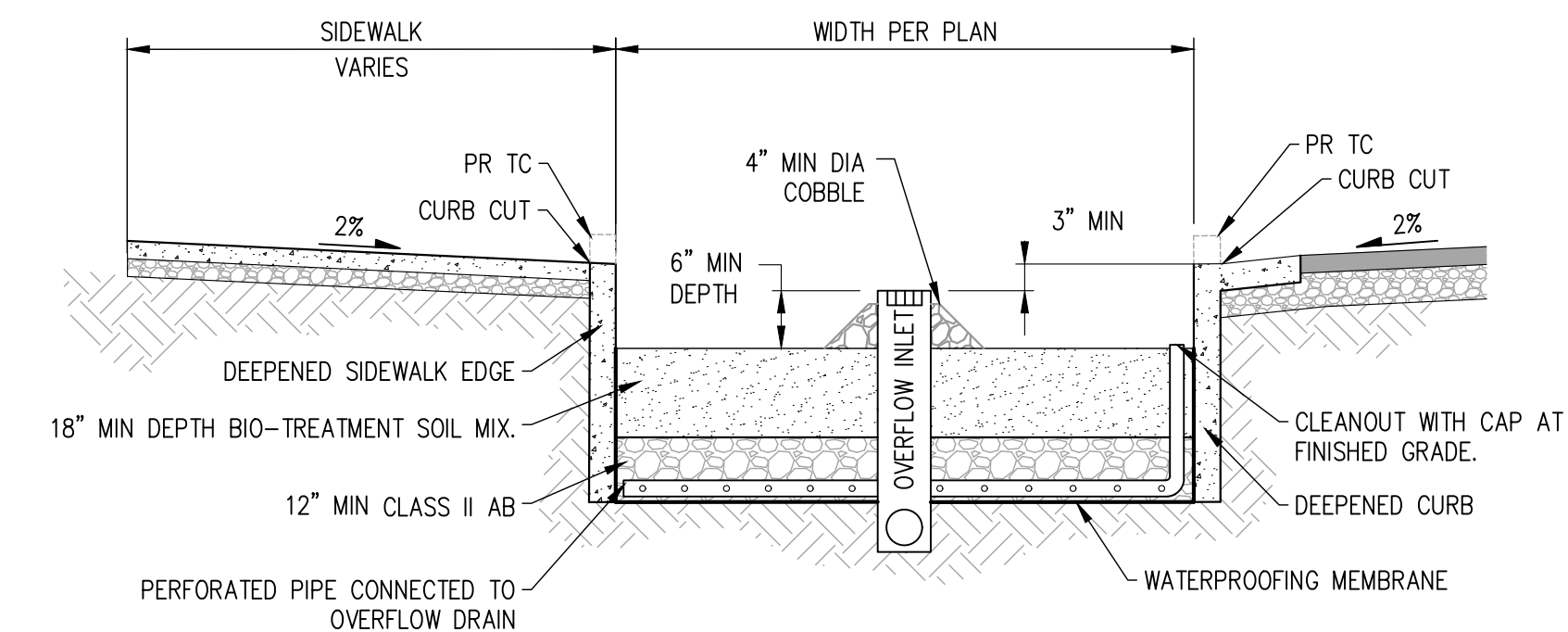
TREATMENT CONTROL MEASURE CALCULATION SUMMARY TABLE

DMA AREA	TCM #	TREATMENT TYPE	DMA AREA (SF)	IMPERVIOUS AREA (SF)	PERVIOUS AREA (SF)	EFFECTIVE IMPERVIOUS AREA (SF)	SIZING METHOD	REQUIRED BIO-RETENTION AREA	PROVIDED BIO-RETENTION AREA (SF)
1	1	FLOW-THROUGH PLANTER	3,550	3,365	185	3,384	4%	135	135
2	2	FLOW-THROUGH PLANTER	1,989	1,989	0	1,989	4%	80	80
3	3	FLOW-THROUGH PLANTER	2,393	1,875	518	1,927	4%	77	77
4	4	FLOW-THROUGH PLANTER	1,850	1,850	0	1,850	4%	74	74
5	5	FLOW-THROUGH PLANTER	2,261	1,904	357	1,940	4%	78	78
6	6	FLOW-THROUGH PLANTER	3,343	3,343	0	3,343	4%	134	134
7	7	FLOW-THROUGH PLANTER	4,095	4,095	0	4,095	4%	164	164
8	8	FLOW-THROUGH PLANTER	9,730	9,730	0	9,730	4%	389	389
9	9	FLOW-THROUGH PLANTER	16,052	15,291	761	15,367	4%	615	615
10	10	FLOW-THROUGH PLANTER	9,525	9,144	381	9,182	4%	367	367
11	11	FLOW-THROUGH PLANTER	2,941	2,941	0	2,941	4%	118	118
12	12	FLOW-THROUGH PLANTER	3,776	3,776	0	3,776	4%	151	151
13	13	FLOW-THROUGH PLANTER	4,425	4,248	177	4,266	4%	171	171
14	14	FLOW-THROUGH PLANTER	3,160	3,160	0	3,160	4%	126	126
15	15	FLOW-THROUGH PLANTER	5,763	5,763	0	5,763	4%	231	231
16	16	FLOW-THROUGH PLANTER	16,850	16,176	674	16,243	4%	650	650
17	17	FLOW-THROUGH PLANTER	6,229	6,229	0	6,229	4%	249	249
18	18	FLOW-THROUGH PLANTER	3,934	3,934	0	3,934	4%	157	157
19	19	FLOW-THROUGH PLANTER	8,470	7,834	636	7,898	4%	316	316
20	20	FLOW-THROUGH PLANTER	4,922	4,922	0	4,922	4%	197	197
21	21	SELF TREATING AREA	5,607	0	5607	N/A	SELF TREATING	N/A	N/A
22	22	BIO-RETENTION	1,028	861	167	878	4%	35	35
23	23	BIO-RETENTION	2,068	1,589	479	1,637	4%	65	65
24	24	SELF-RETAINING	950	150	800	230	SELF TREATING	N/A	N/A
		TOTAL	124,911	114,169	10,742	114,683	-	4,578	4578



TYPICAL FLOW-THRU PLANTER SECTION

TCM 1-20  
NOT TO SCALE



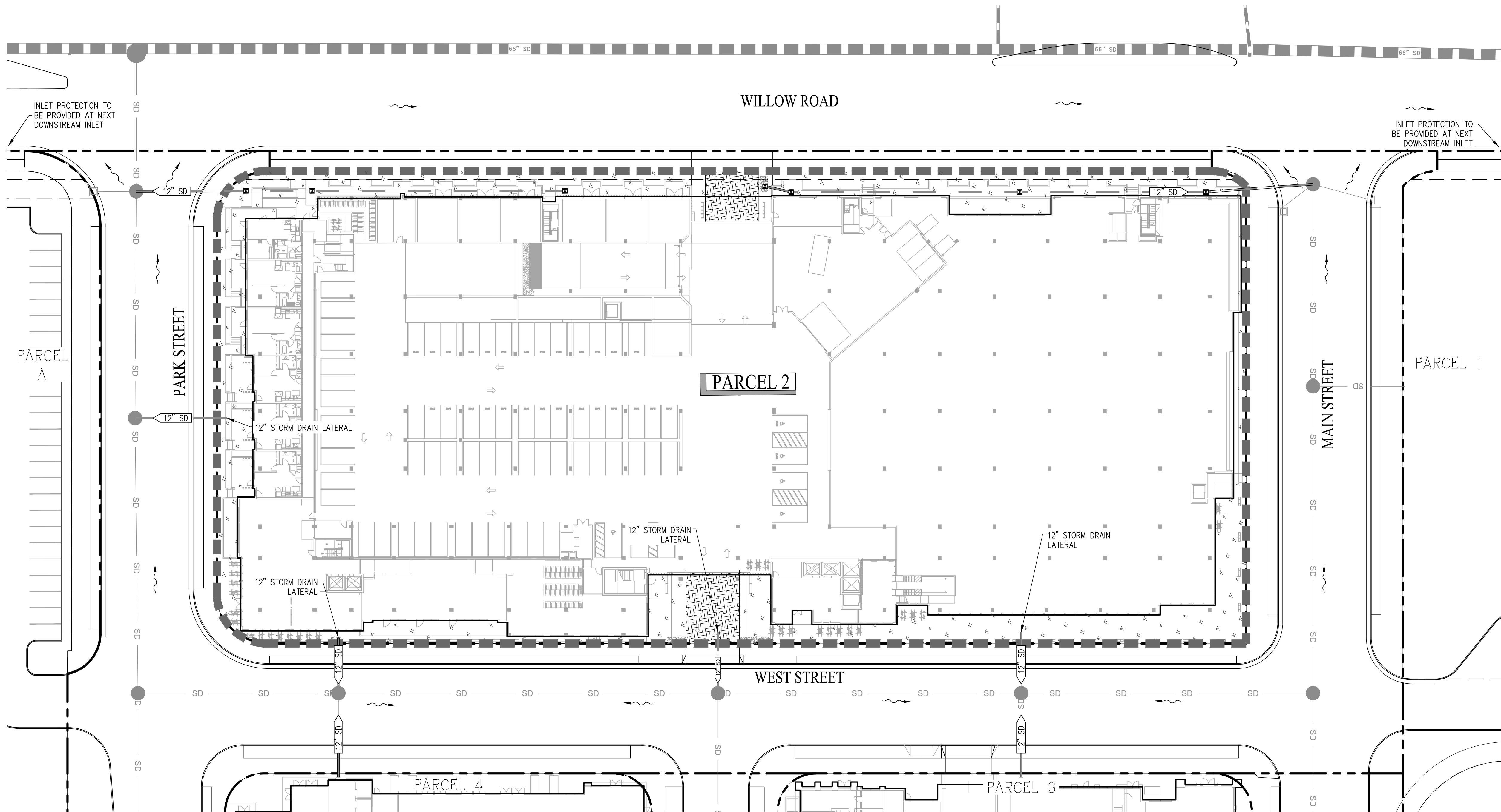
TYPICAL ENTRY DRIVE BIO-RETENTION DETAIL

TCM 22, 23  
NOT TO SCALE

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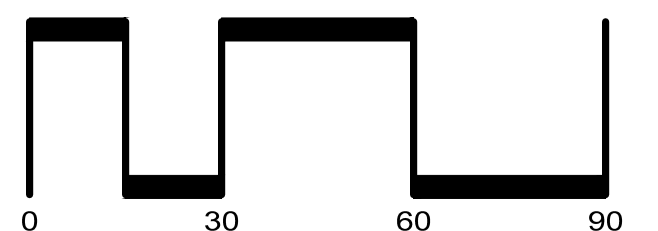
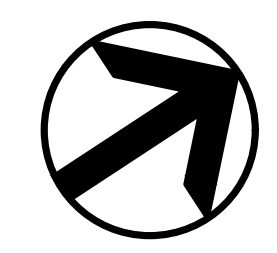




**LEGEND**

- DIRECTION OF FLOW WITH STORM DRAIN INSTALLED
- FIELD INLET PROTECTION
- CURB INLET PROTECTION
- SILT FENCE
- FIBER ROLL
- HYDROSEED MIX OR HYDROMULCH
- STABILIZED CONSTRUCTION ENTRANCE/EXIT
- FIELD INLET
- CURB CUT/SLOT DRAIN
- PROPOSED STORM DRAIN (PRIVATE)
- EXISTING STORM DRAIN (PUBLIC)
- MANHOLE (PUBLIC)

NOTE:  
 1. ALL IMPROVEMENTS SHOWN OUTSIDE OF THE PARCEL BOUNDARY AND WITHIN THE PROPOSED PUBLIC EASEMENT ALONG WILLOW ROAD WILL BE PART OF THE PUBLIC REALM PLANS AND HAVE BEEN SHOWN FOR REFERENCE ONLY.



SCALE: 1" = 30'

PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
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MILESTONES

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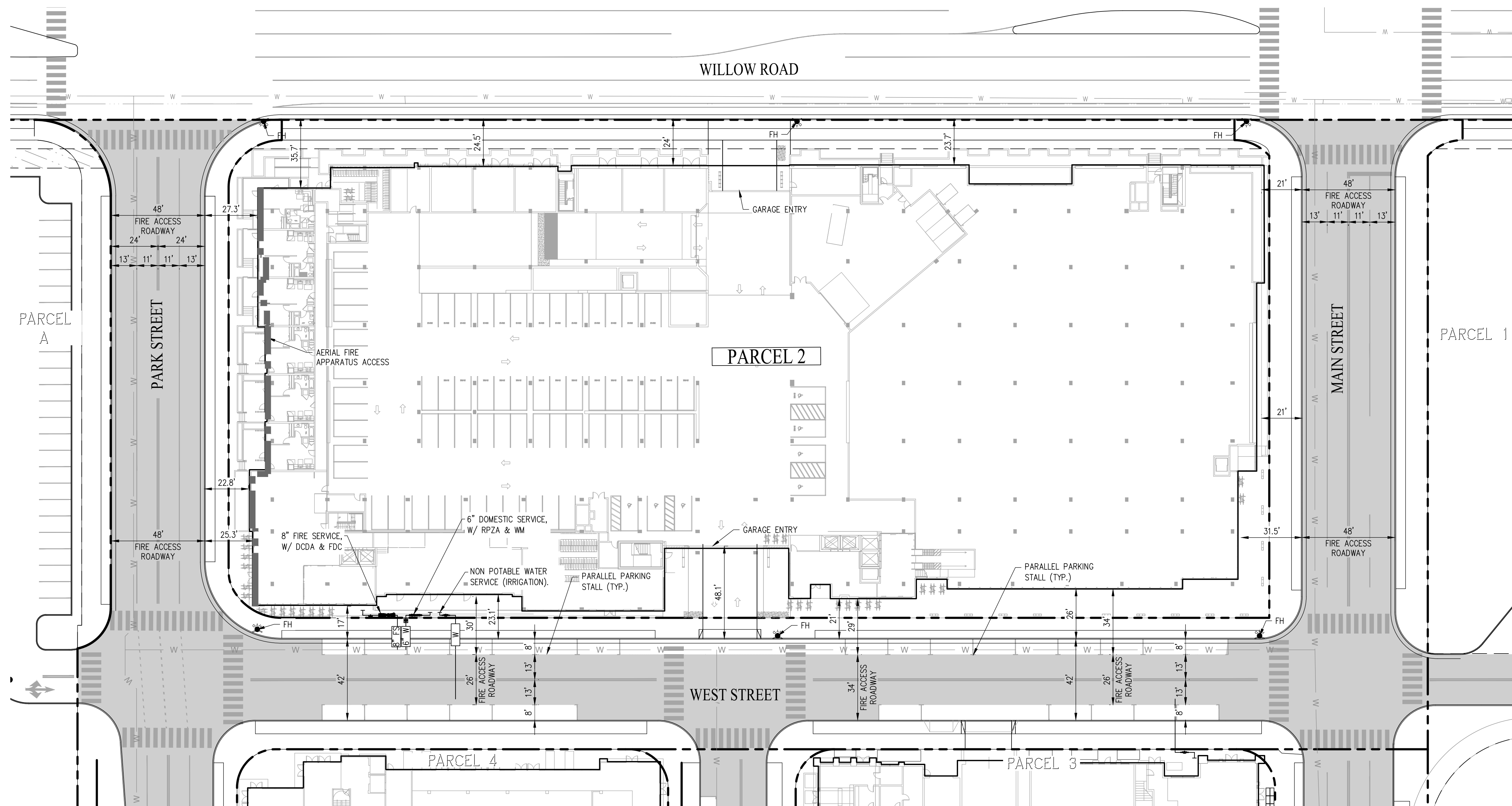
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**EROSION CONTROL PLAN**

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**C5.00**





- LEGEND:**
- PROPERTY LINE
  - AERIAL FIRE APPARATUS ACCESS
  - OFFSITE WATER MAIN (PUBLIC)
  - 
  - FIRE HYDRANT (PUBLIC)
  - FIRE DEPARTMENT CONNECTION (PRIVATE)
  - WATER METER (PUBLIC)
  - REDUCED PRESSURE ZONE DEVICE (PRIVATE)
  - DOUBLE CHECK DETECTOR ASSEMBLY (PRIVATE)
  - NON POTABLE WATER SERVICE (PRIVATE)
  - PARALLEL PARKING STALL
  - FIRE ACCESS ROADWAY

- ABBREVIATIONS:**
- DCDA DOUBLE CHECK DETECTOR BACKFLOW ASSEMBLY
  - FDC FIRE DEPARTMENT CONNECTION
  - FH FIRE HYDRANT
  - FS FIRE SERVICE
  - RPZA REDUCED PRESSURE ZONE BACKFLOW ASSEMBLY
  - TYP TYPICAL
  - WM WATER METER

**NOTE:**

- ALL IMPROVEMENTS SHOWN OUTSIDE OF THE PARCEL BOUNDARY AND WITHIN THE PROPOSED PUBLIC EASEMENT ALONG WILLOW ROAD WILL BE APART OF THE PUBLIC REALM PLANS AND HAVE BEEN SHOWN FOR REFERENCE ONLY.

**WILLOW VILLAGE**  
 Architectural Control Package - Parcel 2  
 Menlo Park, CA

**MILESTONES**

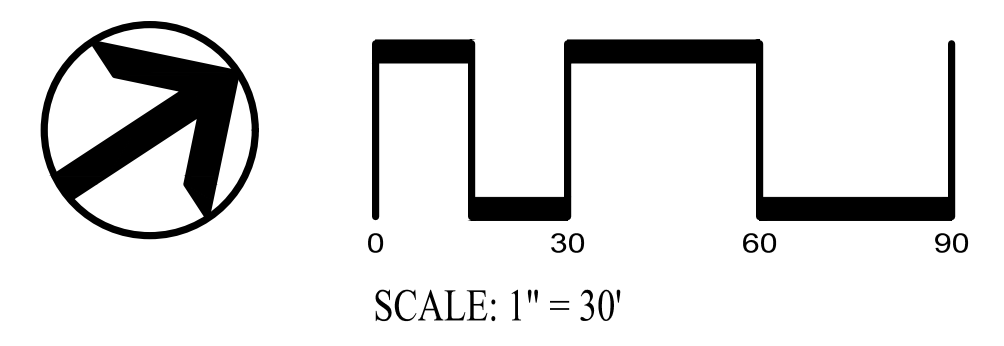
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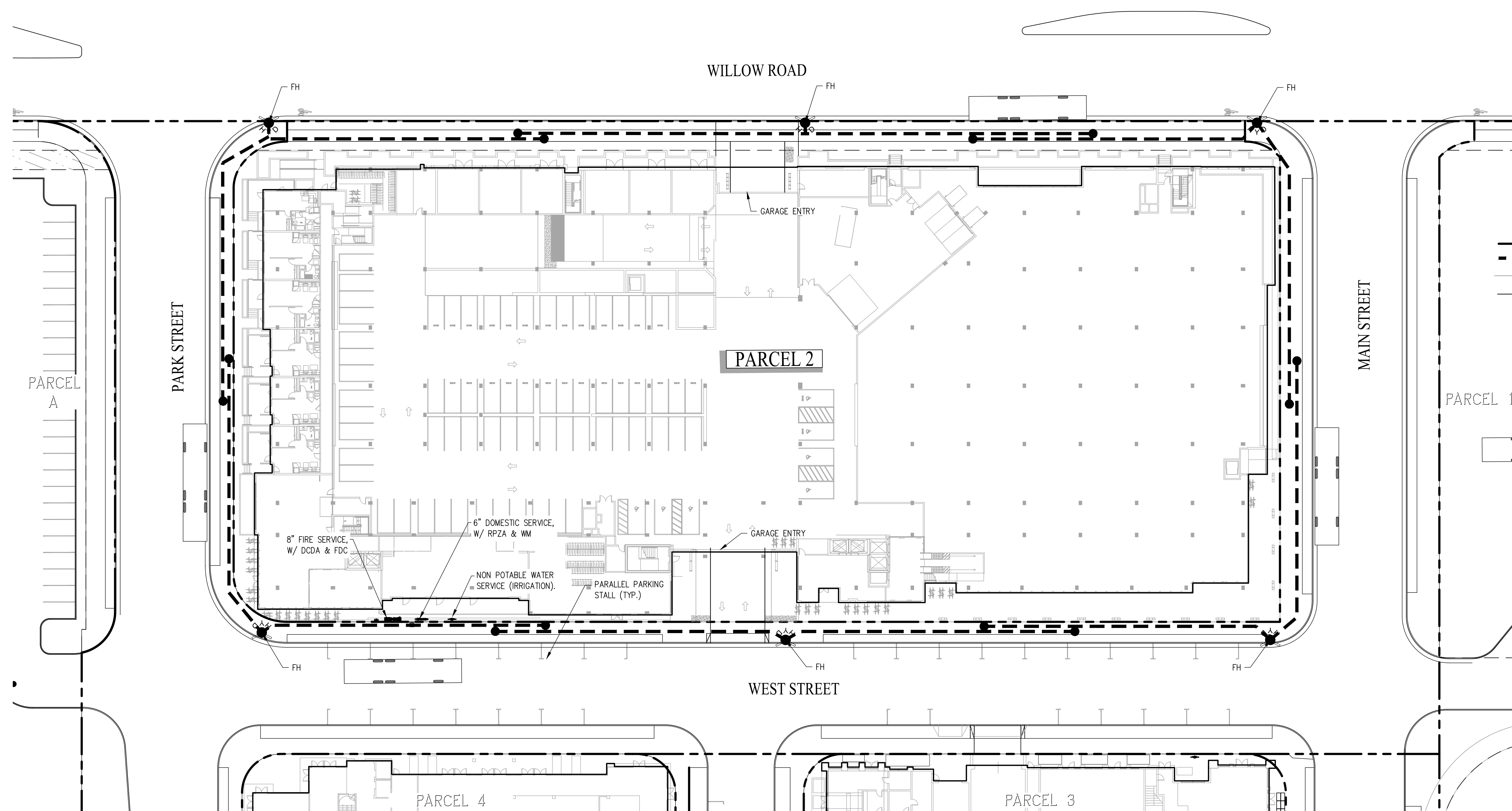
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**FIRE ACCESS PLAN**

DRAWING NO:  
**C6.00**







**LEGEND:**

- PROPERTY LINE
- 150' FIRE HYDRANT HOSE PULL
- OFFSITE WATER MAIN (PUBLIC)
- WATER LATERAL (PRIVATE)
- FIRE HYDRANT (PUBLIC)
- FIRE DEPARTMENT CONNECTION (PRIVATE)
- WATER METER (PUBLIC)
- REDUCED PRESSURE ZONE DEVICE (PRIVATE)
- DOUBLE CHECK DETECTOR ASSEMBLY (PRIVATE)
- NON POTABLE WATER SERVICE (PRIVATE)
- PARALLEL PARKING STALL
- FIRE TRUCK APPARATUS

**ABBREVIATIONS:**

- DCDA DOUBLE CHECK DETECTOR BACKFLOW ASSEMBLY
- FDC FIRE DEPARTMENT CONNECTION
- FH FIRE HYDRANT
- FS FIRE SERVICE
- RPZA REDUCED PRESSURE ZONE BACKFLOW ASSEMBLY
- TYP TYPICAL
- WM WATER METER
- W WATER

**NOTE:**

- ALL IMPROVEMENTS SHOWN OUTSIDE OF THE PARCEL BOUNDARY AND WITHIN THE PROPOSED PUBLIC EASEMENT ALONG WILLOW ROAD WILL BE PART OF THE PUBLIC REALM PLANS AND HAVE BEEN SHOWN FOR REFERENCE ONLY.

PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
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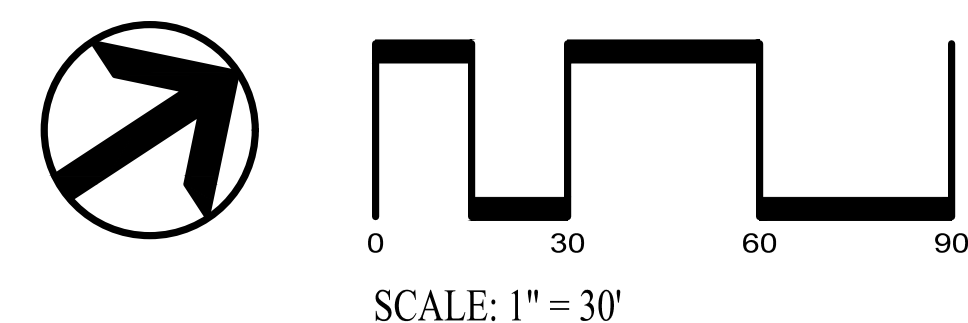
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**FIRE HYDRANT PLAN**  
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**C6.01**







**WILLOW VILLAGE**  
 Architectural Control Package - Parcel X  
 Menlo Park, CA

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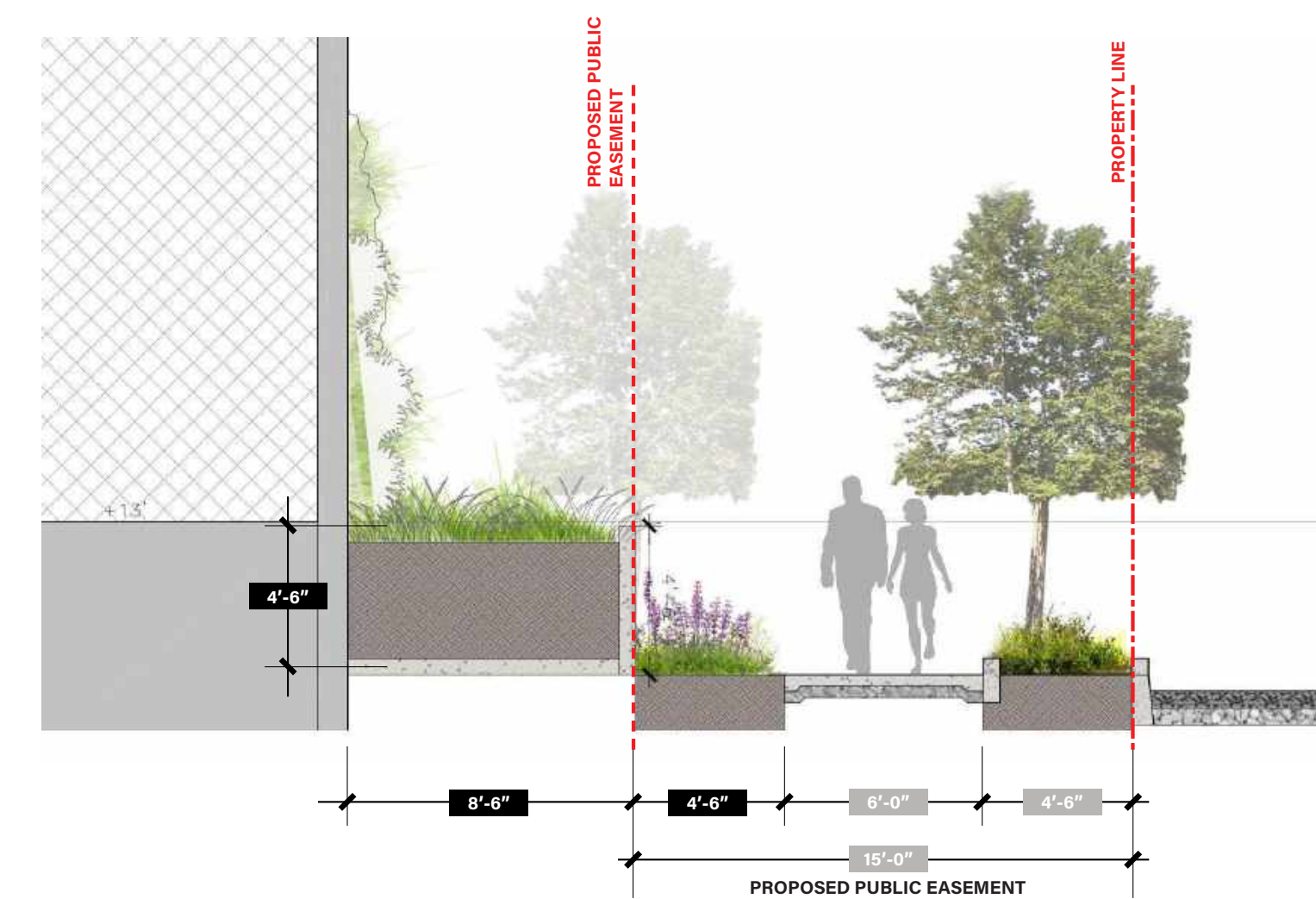
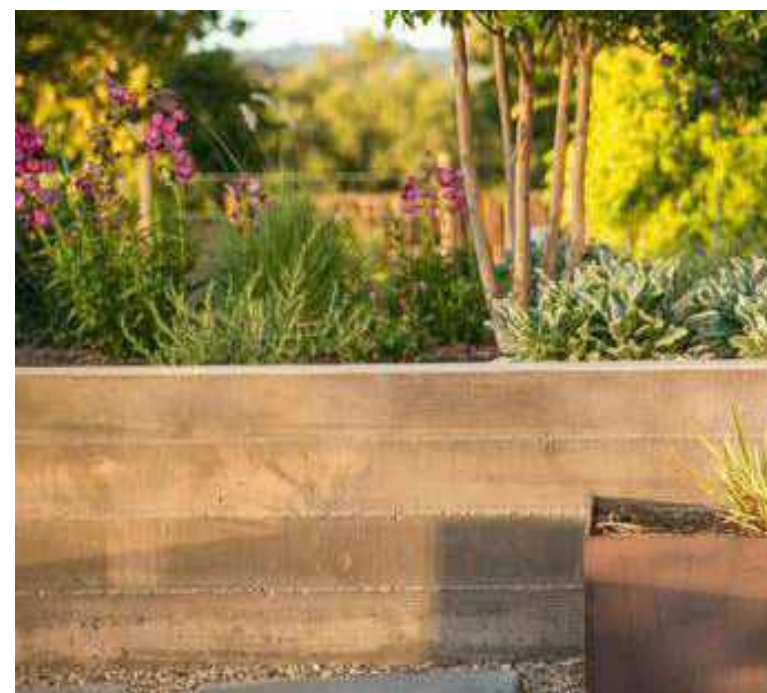
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DRAWING TITLE:  
**ILLUSTRATIVE PLAN  
 LEVEL 1**

DRAWING NO.:  
**L110**





WILLOW RD - SECTION

SCALE: 1"=10'-0"

NOTE: CHARACTER IMAGES FOR REFERENCE ONLY

PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
Architectural Control Package - Parcel X  
Menlo Park, CA

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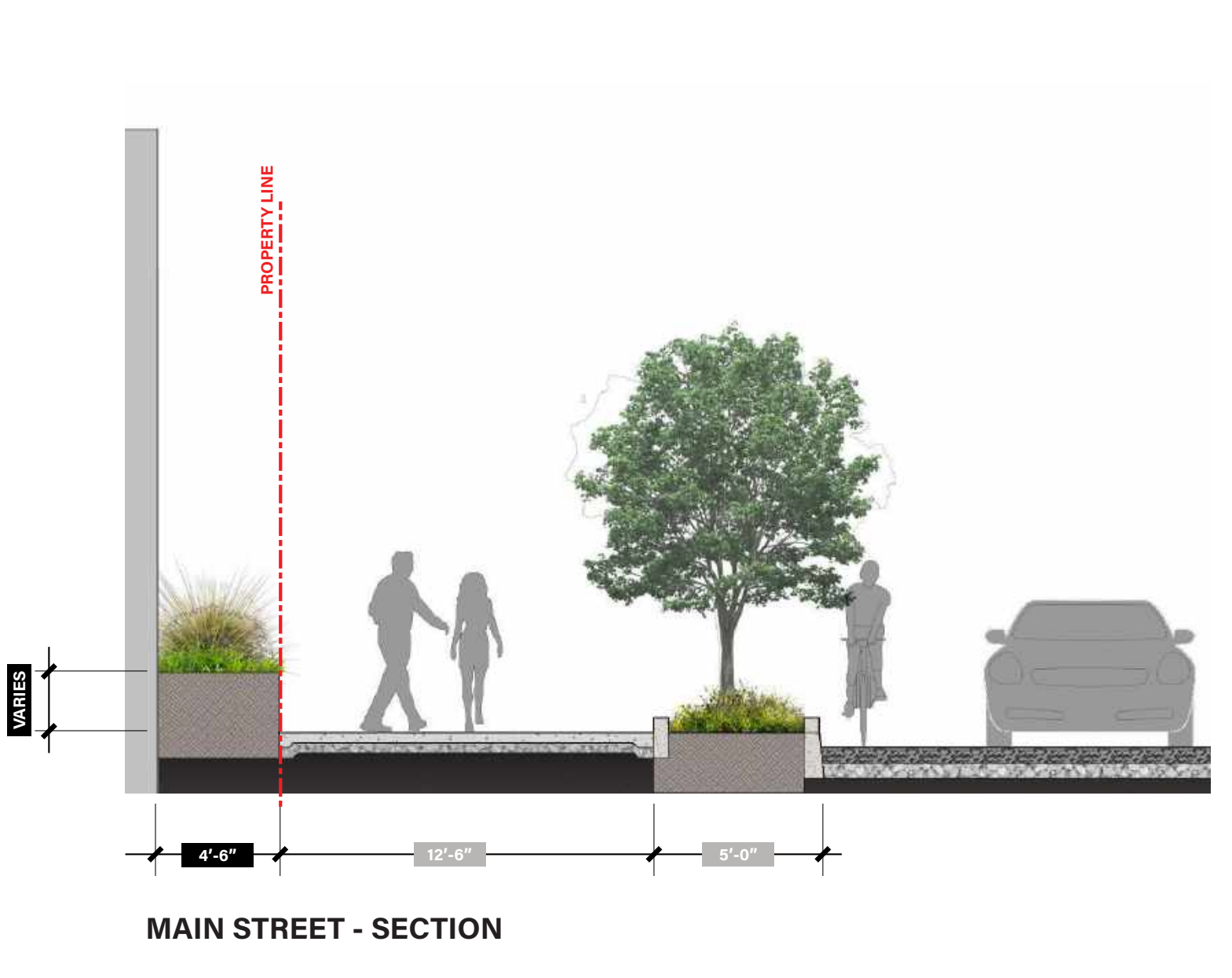
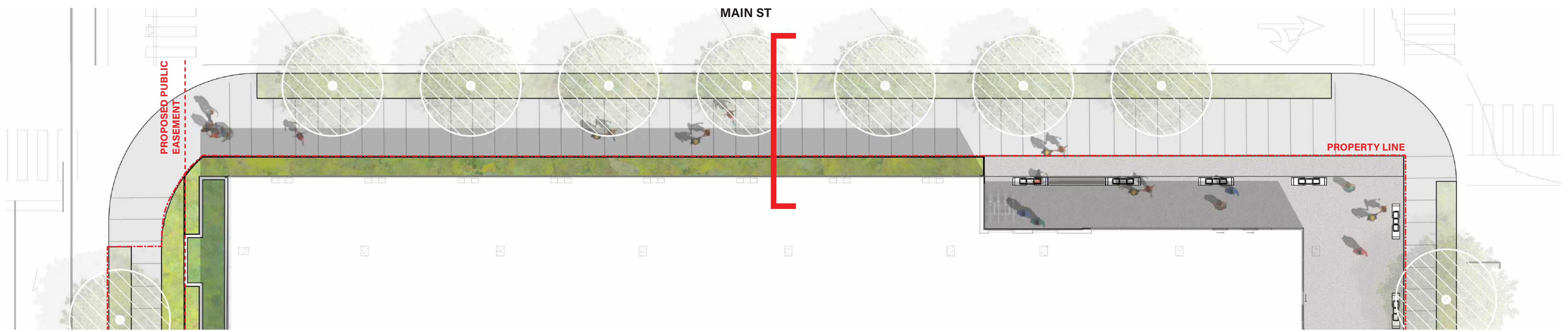
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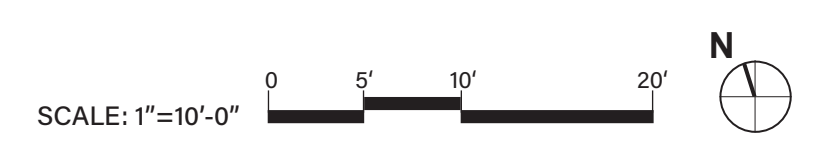
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**LEVEL 1 ENLARGEMENT**  
WILLOW RD

DRAWING NO.:  
**L111**





NOTE: LANDSCAPE REFERENCE IMAGES



PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
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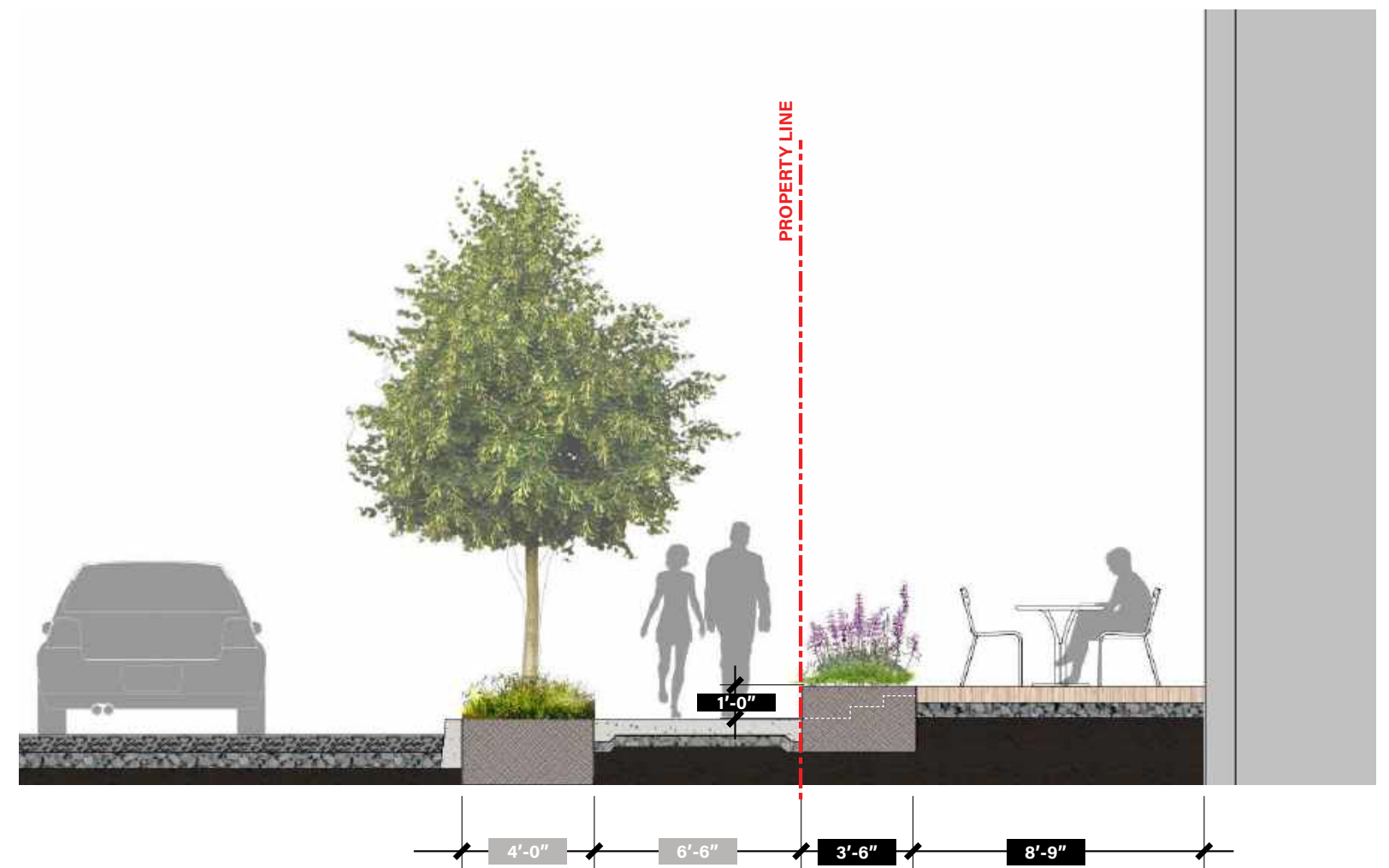
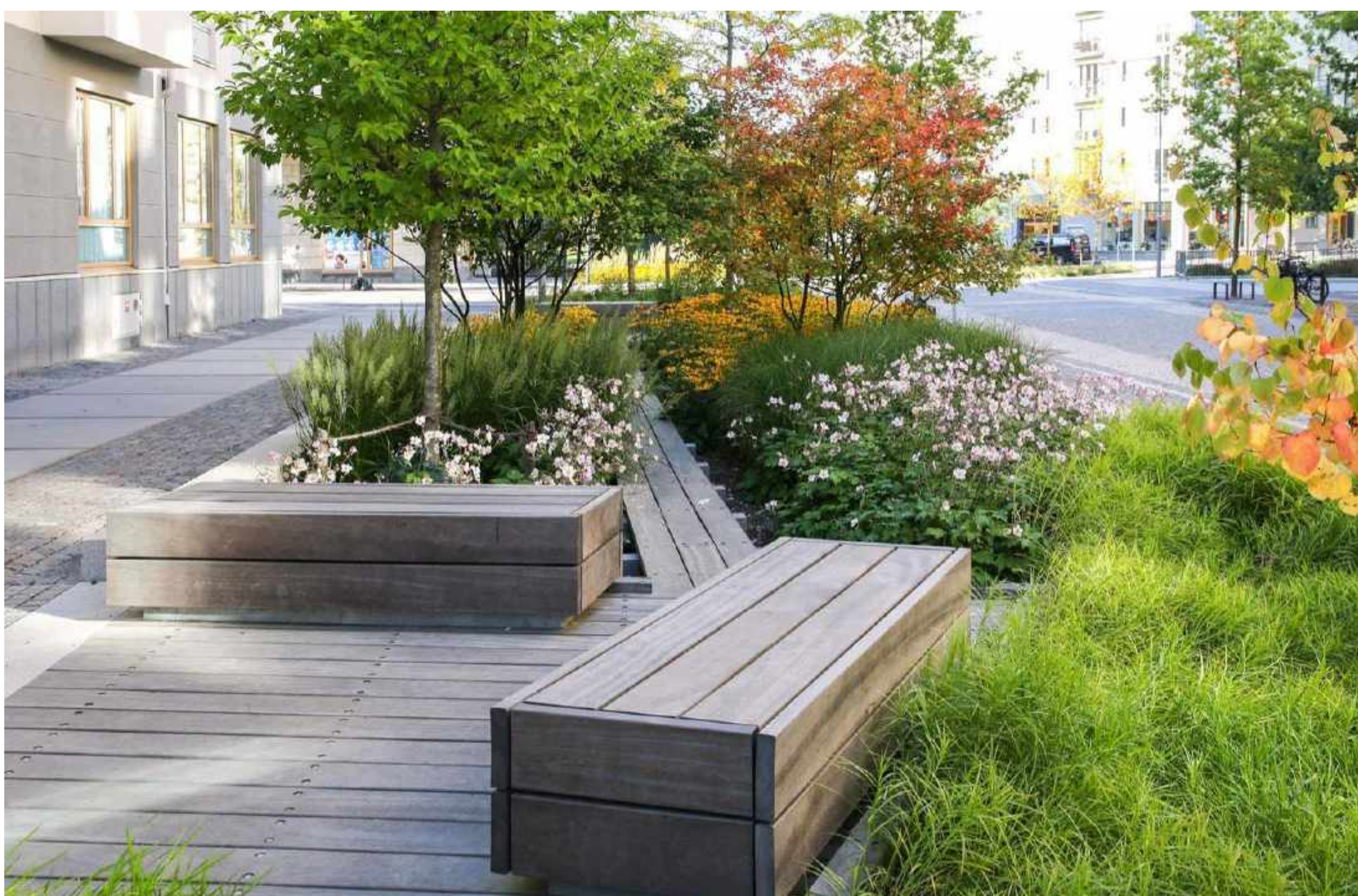
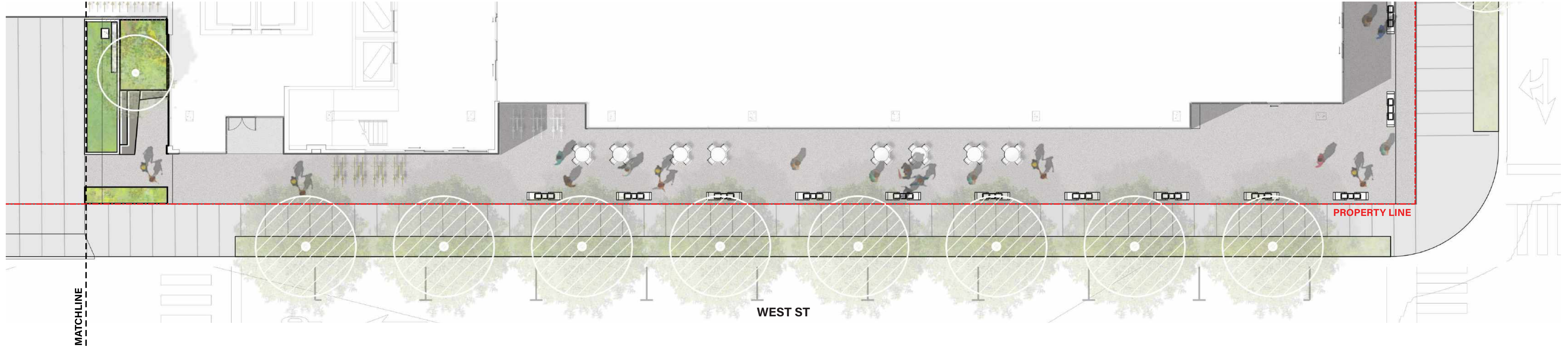
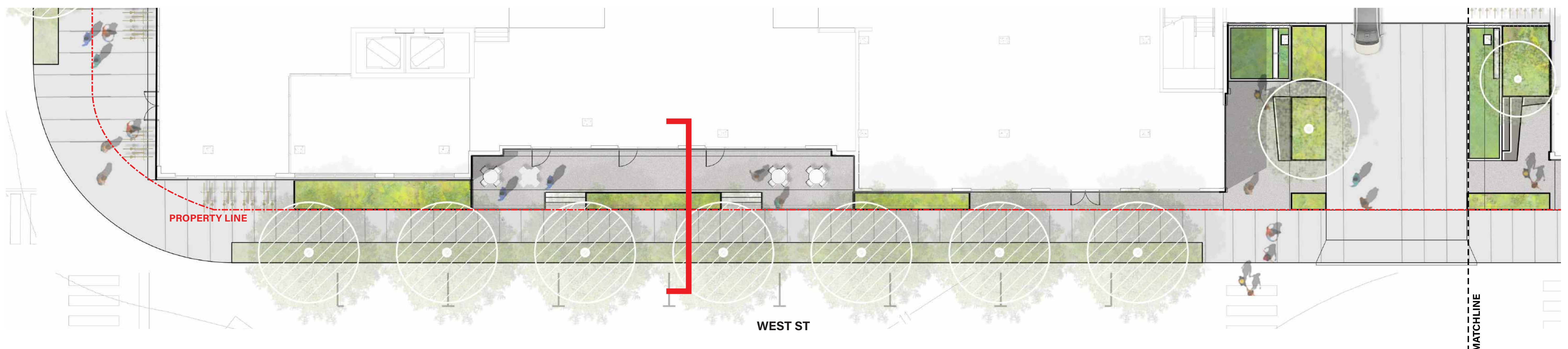
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 NEW HAMILTON AVE  
 & PARK ST**

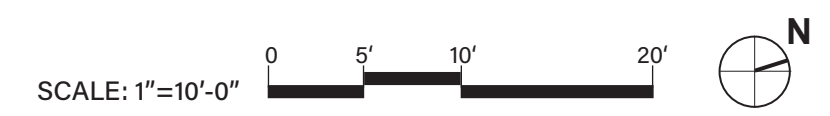
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WEST STREET - SECTION

NOTE: LANDSCAPE REFERENCE IMAGES



PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
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**LEVEL 1 ENLARGEMENT**  
**WEST ST**

DRAWING NO.:  
**L113**





PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
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 Menlo Park, CA

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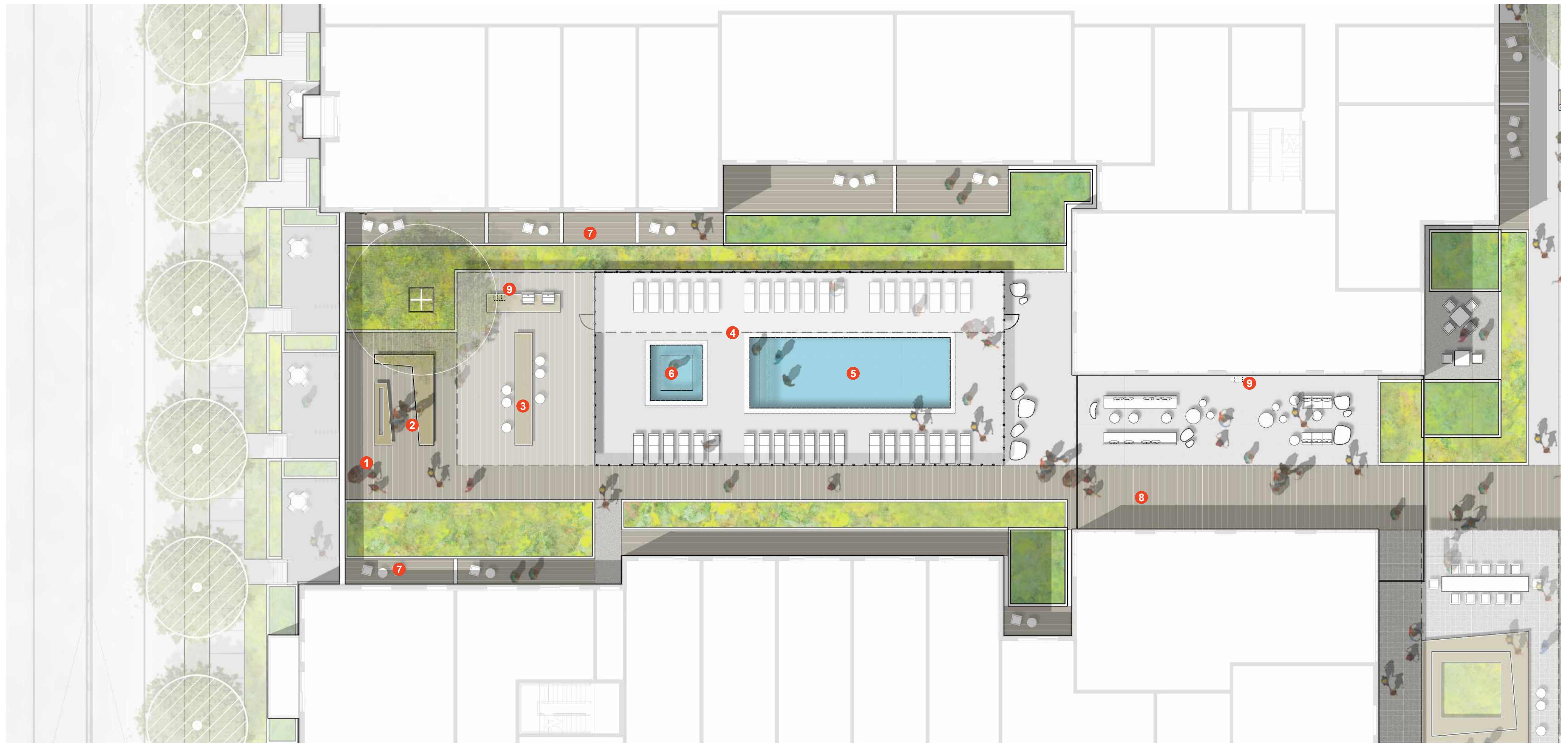
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**ILLUSTRATIVE PLAN**  
**LEVEL 3**

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**L1.30**





PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
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 Menlo Park, CA

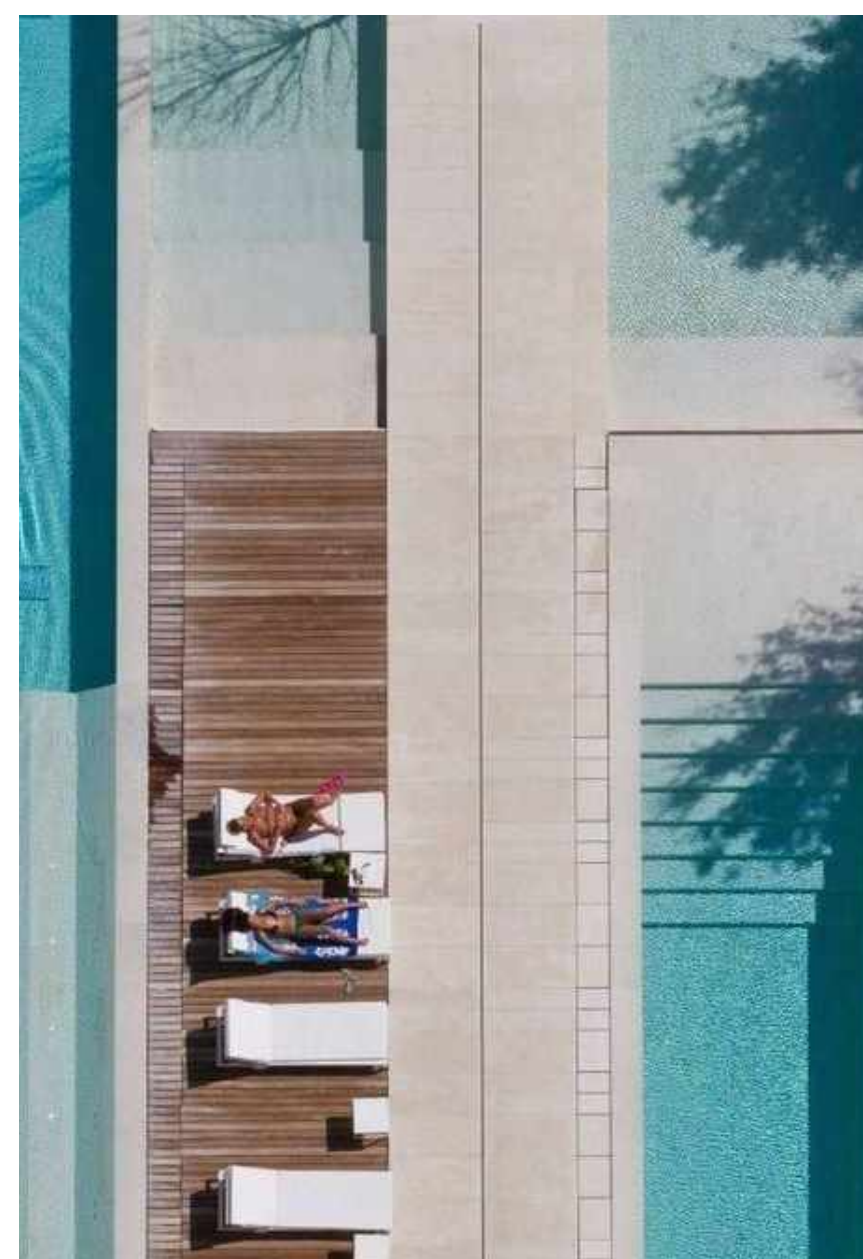
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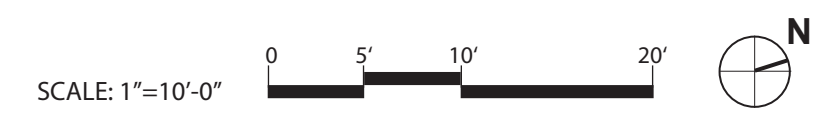
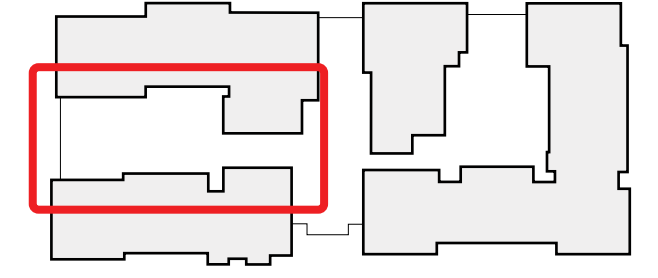
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**LEVEL 3 ENLARGEMENT**  
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DRAWING NO:  
**L1.31**

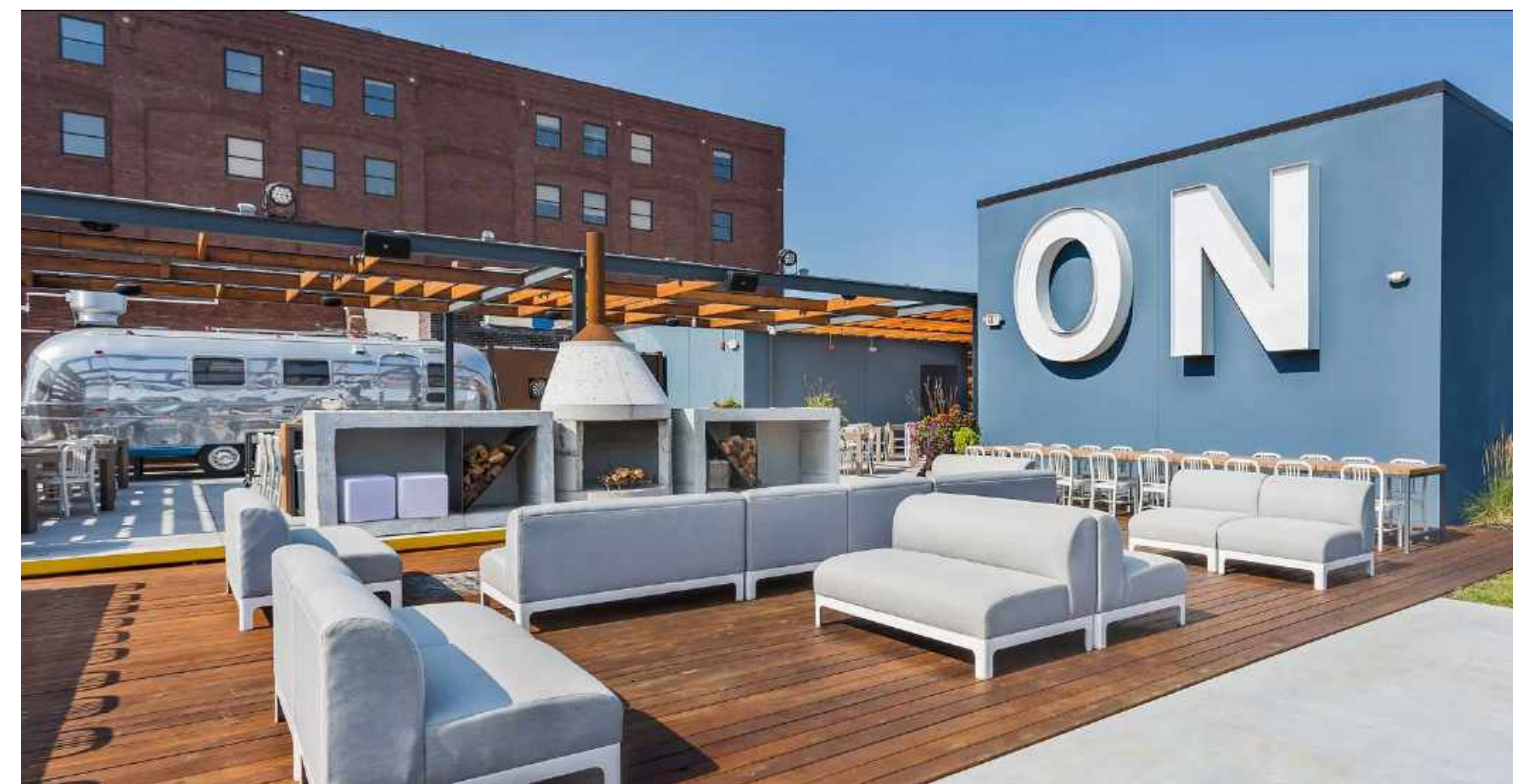


NOTE: LANDSCAPE REFERENCE IMAGES

- LEGEND**
- 1 PARK VIEW TERRACE
  - 2 FIRE PIT & BENCH
  - 3 BBQ & DINING TABLE
  - 4 POOL TRELLIS
  - 5 POOL
  - 6 HOT TUB
  - 7 PRIVATE PATIOS W/ PLANTING
  - 8 CONNECT BOARDWALK
  - 9 THREE WASTE BIN SYSTEM



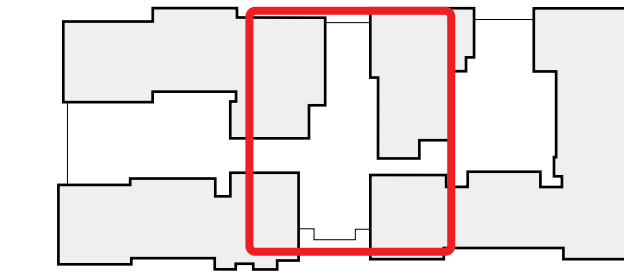




NOTE: LANDSCAPE REFERENCE IMAGES

LEGEND

- 1 LOUNGE TERRACE
- 2 SECLUDED TERRACE
- 3 BBQ COUNTER
- 4 SOCIAL TERRACE
- 5 DINING TABLE
- 6 GAMING TERRACE
- 7 PRIVATE PATIO W/ PLANTING
- 8 CONNECT BOARDWALK
- 9 THREE WASTE BIN SYSTEM



SCALE: 1"=10'-0"

SCALE:  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE.  
DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR  
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MEASUREMENTS THAT ARE NOT INDICATED.

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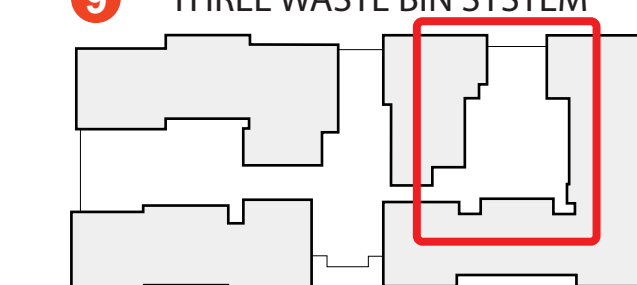




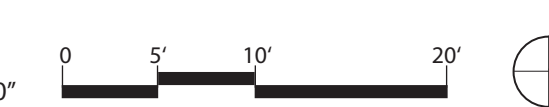
NOTE: LANDSCAPE REFERENCE IMAGES

LEGEND

- 1 ACTIVITY LAWN
- 2 TERRACE SEATING
- 3 GARDEN PLANTING
- 4 FEATURE TREE
- 5 SEATING W/ PAVILION
- 6 PLANTING EDGE
- 7 PRIVATE PATIO W/ PLANTING
- 8 CONNECT BOARDWALK
- 9 THREE WASTE BIN SYSTEM



SCALE: 1"=10'-0"



**WILLOW VILLAGE**  
 Architectural Control Package - Parcel X  
 Menlo Park, CA

SCALE:  
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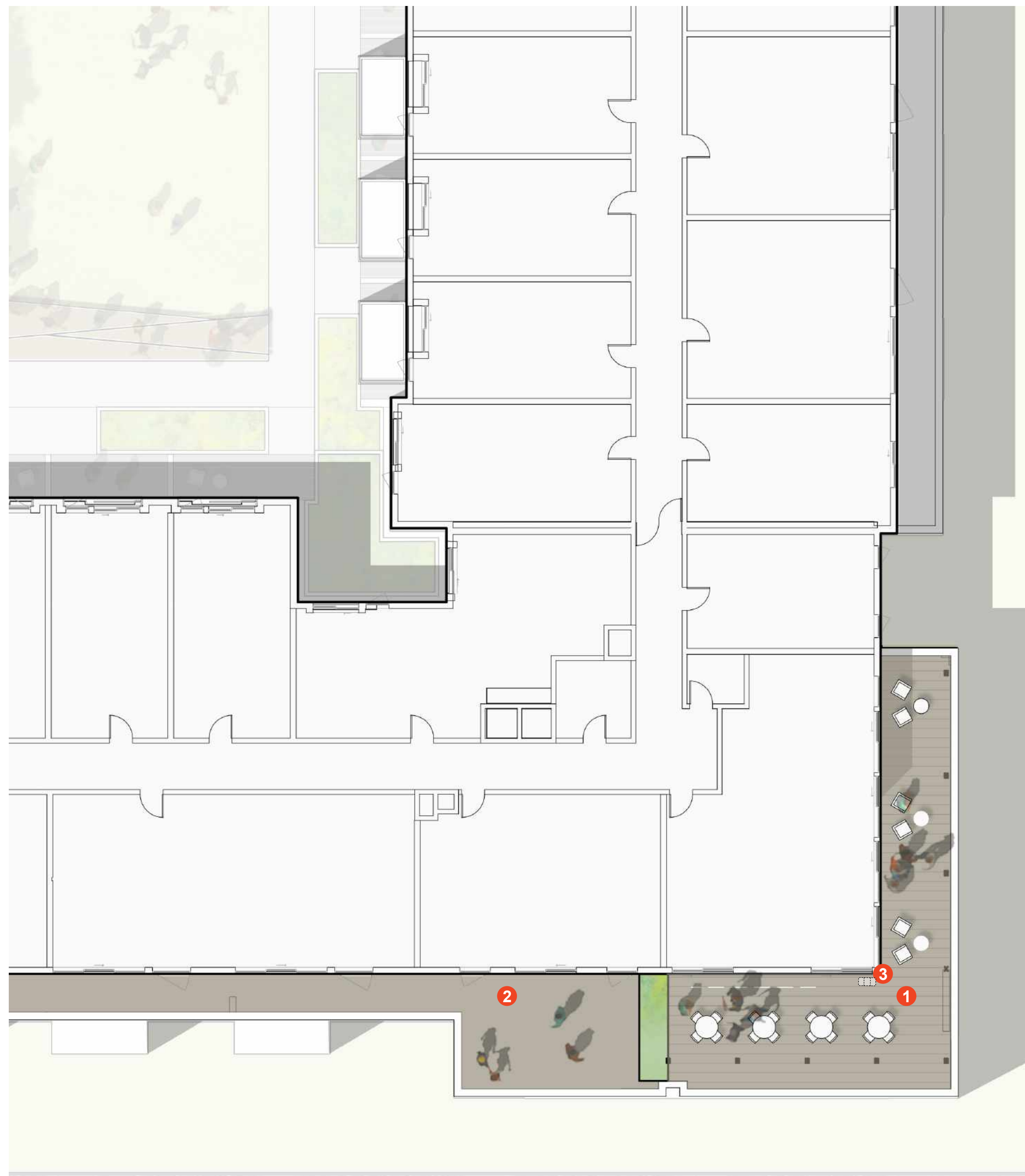
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DRAWING TITLE:  
**LEVEL 3 ENLARGEMENT**  
 03

DRAWING NO.:  
**L1.33**

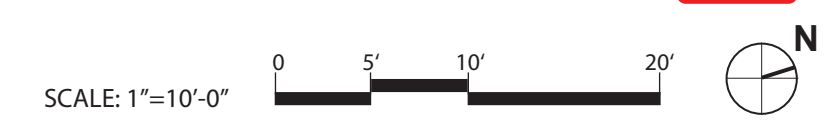
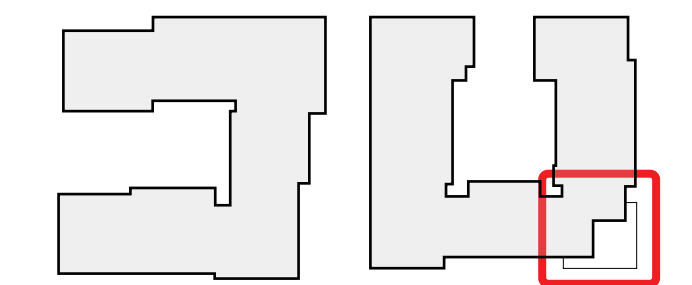




NOTE: LANDSCAPE REFERENCE IMAGES

LEGEND

- 1 ROOF AMENITY DECK
- 2 PRIVATE DECK
- 3 THREE WASTE BIN SYSTEM



PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
 Architectural Control Package - Parcel X  
 Menlo Park, CA

SCALE:  
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DRAWING TITLE:  
**LEVEL 6 ENLARGEMENT**

DRAWING NO.:  
**L1.60**





**WILLOW VILLAGE**  
 Architectural Control Package - Parcel X  
 Menlo Park, CA

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**STREETSCAPE PLANTING**



Muhlenbergia Dubia  
Pine Muhly



Cistus ladanifer  
Gum Rockrose



Salvia sonomensis Bee's Bliss \*  
Bee's Bliss Sage



Ceanothus maritimus \*  
Maritime Ceanothus



Salvia rosmarinus  
Rosemary



Aristida purpurea \*  
Purple three-awn

**LID PLANTING**



Alkali Sacaton \*  
Sporobolus airoides



Myrica californica \*  
Pacific Wax myrtle



Achillea millefolium 'coronation gold' \*  
Common Yarrow



Calycanthus occidentalis \*  
Spice Bush

\* CALIFORNIA NATIVE

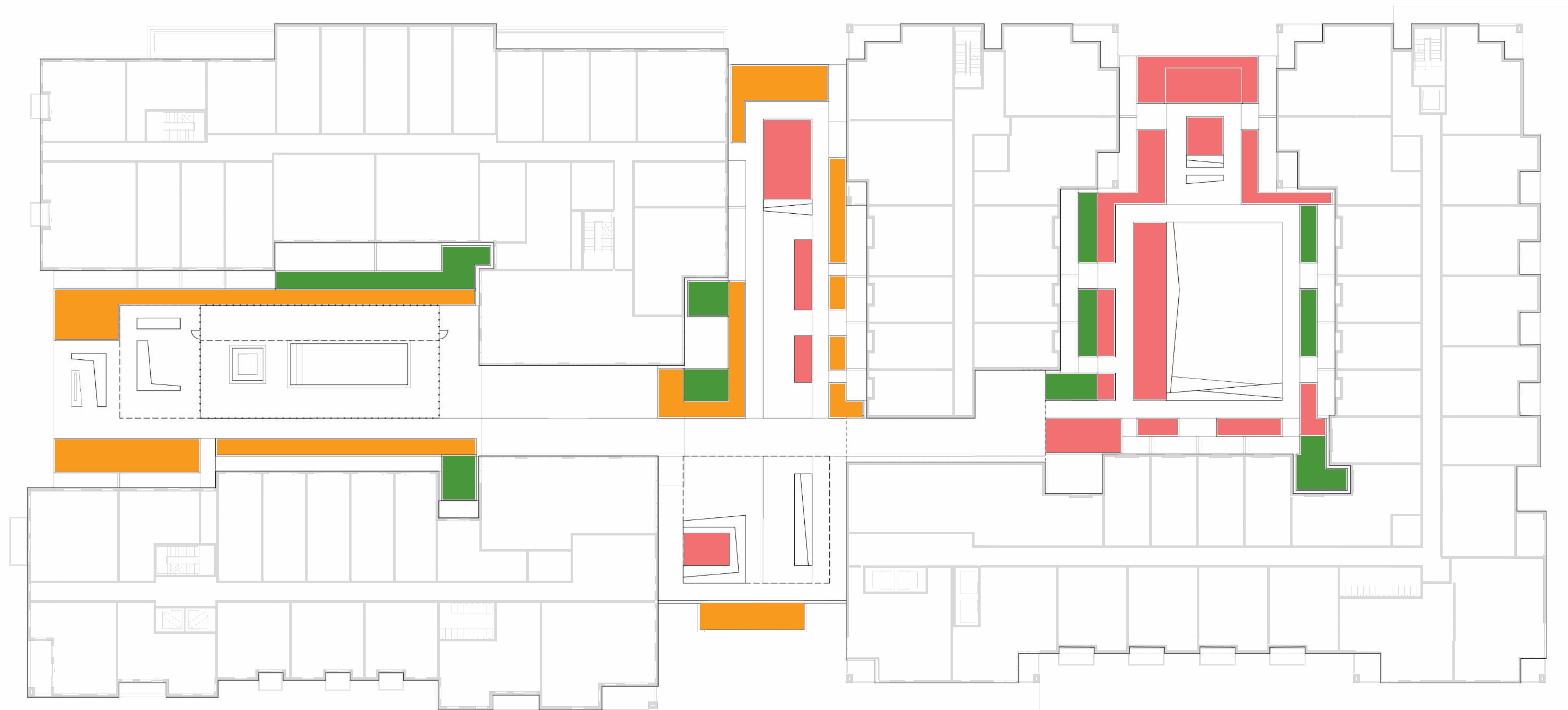
SCALE: 1"=20'-0"



DRAWING TITLE:  
**PLANTING PLAN  
 UNDERSTORY  
 LEVEL 1**

DRAWING NO:  
**L2.10**





**ROOF PODIUM PALETTE 1**



*Verbena lilacina* \*  
Purple Cedros Island Verbena



*Arctostaphylos manzanita* \*

**ROOF PODIUM PALETTE 2**



*Arctostaphylos John Dourley* \*  
John Dourley Manzanita



*Aristida purpurea* \*  
Purple three-awn



*Bouteloua gracilis* Blonde Ambition \*  
Mosquito Grass



*Carpenteria californica* \*  
Tree Anemone

**ROOFDECK 3 ROOF PODIUM PALETTE 3**



*Ceanothus thyrsiflorus* \*  
Blue blossom ceanothus



*Rosmarinus officinalis* 'Tuscan Blue



*Daphne x transatlantica*  
Eternal Fragrance



*Festuca mairei* \*  
Mt. Atlas Fescue

\* CALIFORNIA NATIVE

SCALE: 1"=20'-0"



**WILLOW VILLAGE**  
Architectural Control Package - Parcel X  
Menlo Park, CA

SCALE:  
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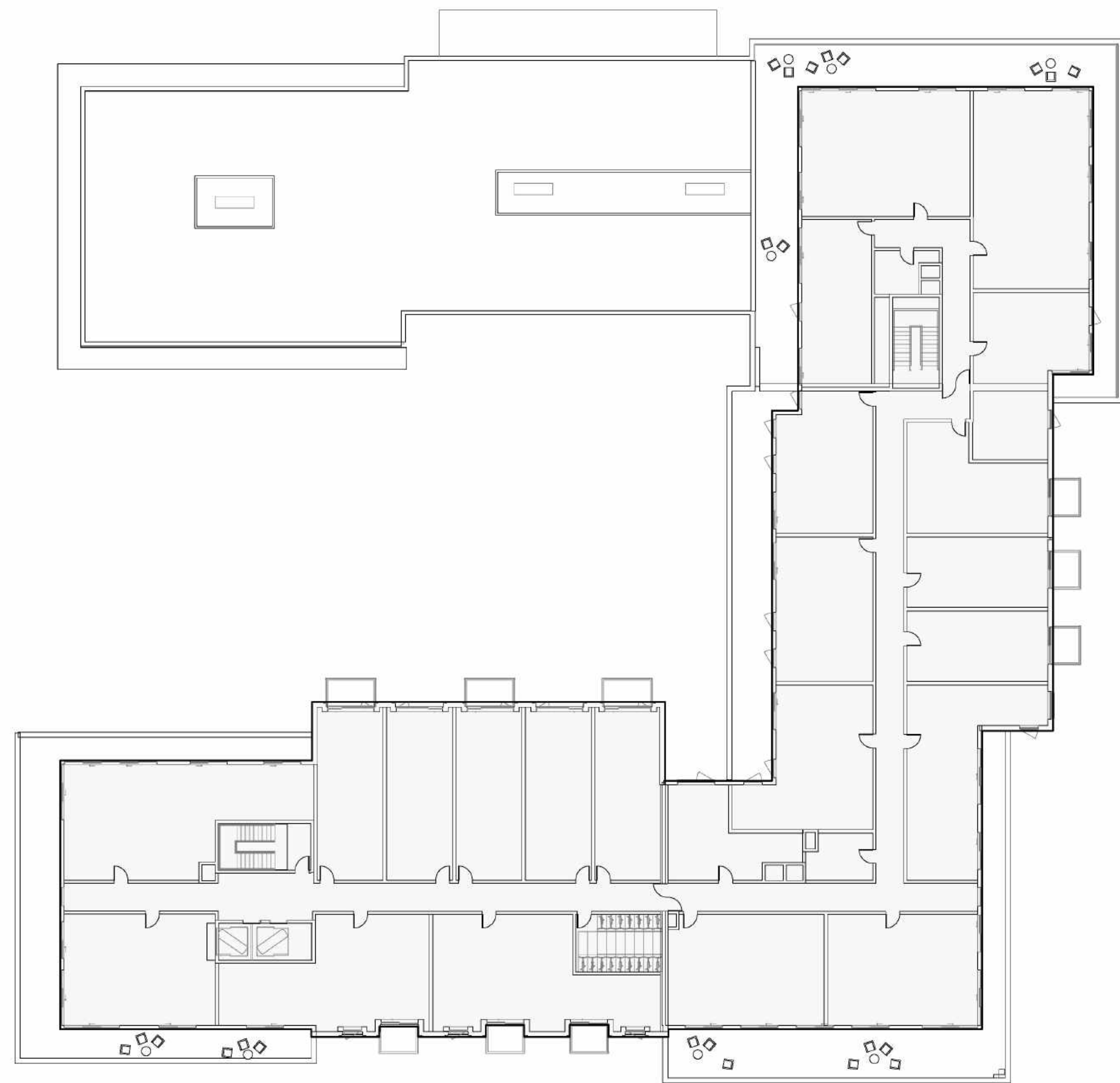
REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:  
**PLANTING PLAN  
UNDERSTORY  
LEVEL 3**

DRAWING NO:  
**L2.30**

PENINSULA INNOVATION PARTNERS





**PATIO UNDERSTORY**



Agave attenuata  
Foxtail Agave



Lessingia filaginifolia \*  
California Dune Aster



Kniphofia uvaria hybrids  
Red-hot Poker



Olea europaea 'Little Ollie'  
Dwarf Olive

\* CALIFORNIA NATIVE

SCALE: 1"=20'-0"



SCALE:  
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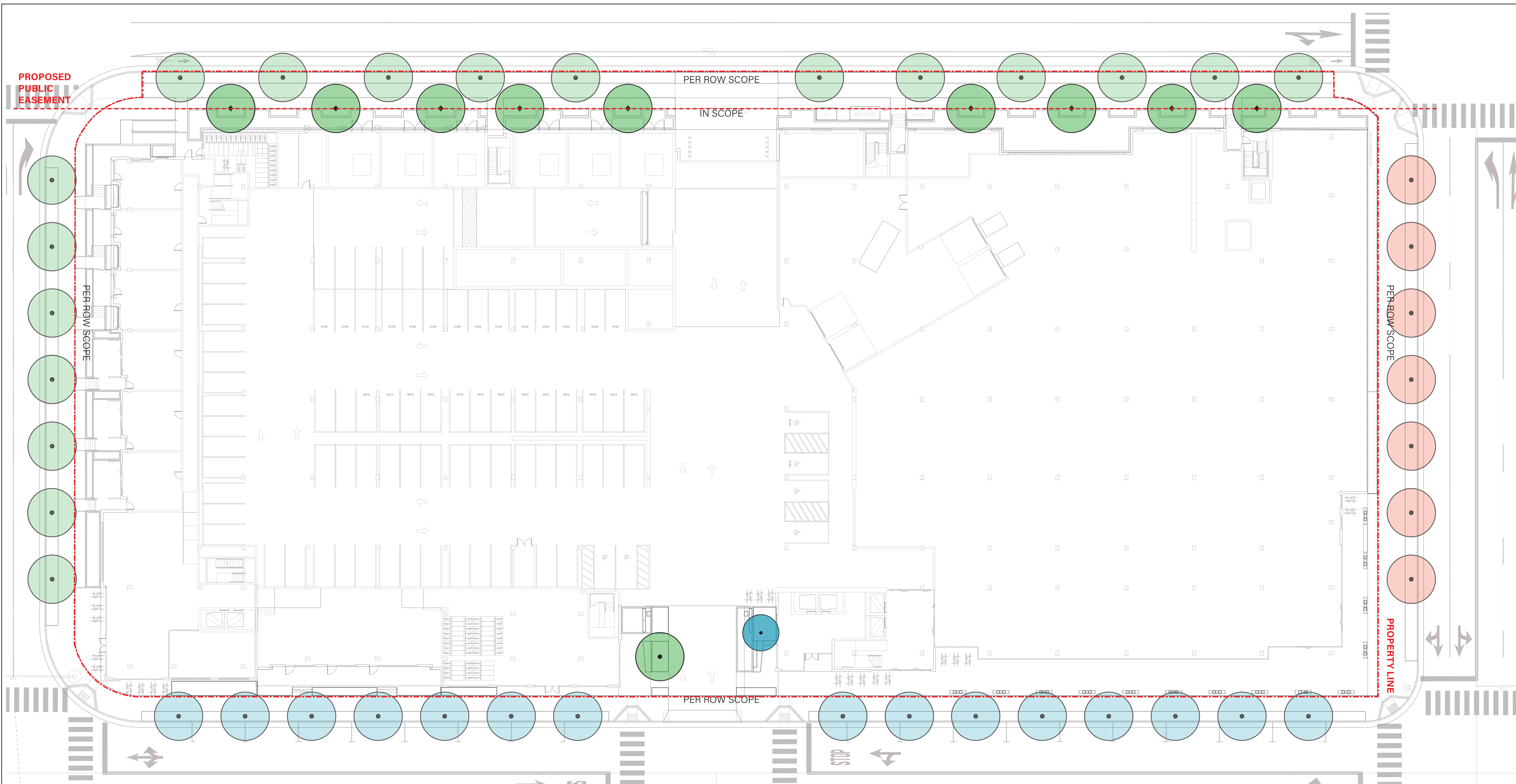
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HERITAGE TREE REPLACEMENT (QUALIFIED TREES ONLY)

Botanical Name	Common Name	Quantity	Unit Size	Unit Value	Value
Platanus acerifolia	London Plane	0	24" box	\$ 400	\$ -
Quercus suber	Cork Oak	10	36" box	\$ 1,200	\$ 12,000
Lyonothamnus floribundus	Catalina Ironwood	3	48" box	\$ 5,000	\$ 15,000
Quercus agrifolia	Coast Live Oak	10	48" box	\$ 5,000	\$ 50,000
Quercus virginiana	Southern Live Oak	3	60" box	\$ 7,000	\$ 21,000
		1	60" box	\$ 7,000	\$ 7,000
		0	72" box	\$ 10,000	\$ -
		0	84" box	\$ 12,000	\$ -
		0	96" box	\$ 15,000	\$ -
		0	108" box	\$ 17,000	\$ -
		0	120" box	\$ 20,000	\$ -
		<b>27</b>		<b>\$</b>	<b>105,000</b>



Platanus x acerifolia  
London Plane  
36" Box



Magnolia  
Magnolia Tree  
36" Box



Magnolia  
Magnolia Tree  
(PER ROW SCOPE)



Zelkova serrata  
Japanese Zelkova  
(PER ROW SCOPE)



Platanus x acerifolia  
London Plane  
(PER ROW SCOPE)

\* CALIFORNIA NATIVE

SCALE: 1"=20'-0"



**WILLOW VILLAGE**  
Architectural Control Package - Parcel X  
Menlo Park, CA

SCALE:  
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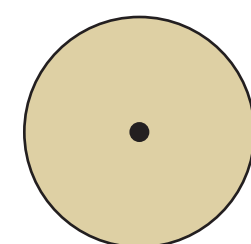
REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:  
**PLANTING PLAN**  
**TREE**  
**LEVEL 1**

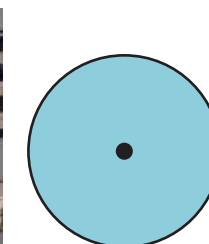
DRAWING NO:  
**L3.10**

PENINSULA INNOVATION PARTNERS

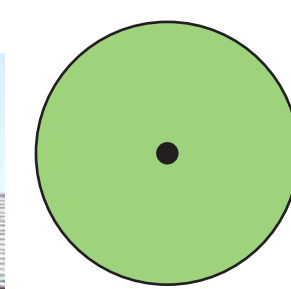




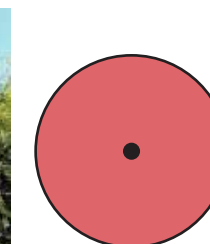
*Quercus agrifolia* \*  
Coast Live Oak  
60" Box



*Olea europaea swan hill*  
Swan Hill Olive



*Quercus virginiana*  
Southern Live Oak  
60" Box



*Quercus suber*  
Cork Oak  
48" Box



*Acca sellowiana*  
Pineapple Guava



*Ceanothus* \*  
California lilacs



*Prunus ilicifolia* \*  
Hollyleaf cherry



*Lyonothamnus floribundus* \*  
Catalina Ironwood  
48" Box



*Myrica californica* \*  
Pacific Wax myrtle



*Cercis canadensis*  
Redbud

\* CALIFORNIA NATIVE

SCALE: 1"=20'-0"



PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
Architectural Control Package - Parcel X  
Menlo Park, CA

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DRAWING TITLE:  
**PLANTING PLAN**  
**TREE**  
**LEVEL 3**

DRAWING NO.:

**L3.30**





**PENINSULA INNOVATION PARTNERS**

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**WILLOW VILLAGE**  
Architectural Control Package - Parcel X  
Menlo Park, CA

---

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**IRRIGATION ZONING DIAGRAM LEVEL 1**

---

DRAWING NO: **L4.10**

**Water Efficient Landscape Worksheet**

*Use drop down menus or type in values in white cells only. Results appear in Yellow or Red highlighted cells below.*

**Site Information**

Project Name → Willow Parcel 2  
 Project Location → Menlo Park, CA  
 Site Type → Commercial  
 Annual Eto (inches/yr) → 43  
 Allowed ETAF: 0.45

Hydrozone or Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Hydrozone Area (sq-ft)	ETAF x Area	Estimated Total Water Use (gal./yr.)	
<b>Regular Landscape Areas</b>								
1- L1 Low	0.3	Low	Drip	0.85	0.4	3,668	1,295	
2- L1 Mod.	0.4	Mod./Ave.	Drip	0.85	0.5	3,827	1,801	
3- L2 Low	0.3	Low	Drip	0.85	0.4	6,971	2,460	
4- L2 Mod.	0.4	Mod./Ave.	Drip	0.85	0.5	1,773	884	
5- L2 High	0.8	High	Drip	0.85	0.9	592	557	
6- L6 Mod.	0.4	Mod./Ave.	Drip	0.85	0.5	369	174	
7								
8								
<b>SUBTOTAL →</b>						<b>17,200</b>	<b>7,121</b>	<b>189,847</b>
<b>Special Landscape Areas</b>								
9								
10								
11								
12								
<b>SUBTOTAL →</b>						<b>0</b>	<b>0</b>	<b>0</b>
<b>Estimated Total Water Use (ETWU) →</b>						<b>189,847</b>	<b>206,348</b>	
<b>Maximum Allowed Water Allowance (MAWA) →</b>								

ETAF Calculations		
Regular Landscape Areas	Total ETAF x Area	7,121
	Total Area	17,200
	Average ETAF	0.41
All Landscape Areas	Total ETAF x Area	7,121
	Total Area	17,200
	Site-wide ETAF	0.41

**Notes:**

\*Adapted from California Code of Regulations Title 23, Division 2, Chapter 2.7. Model Water Efficient Landscape Ordinance

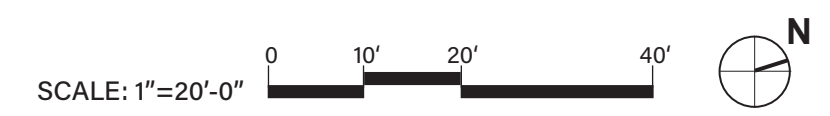
- WATER USAGE LEGEND**
- KEY** WUCOLS CATEGORY
- LOW - 3,668 SF (49%)
  - MEDIUM - 3,827 SF (51%)
  - HIGH - 0 SF (0%)

\*Based upon total landscape area of 8,506sf

All planted areas are to be watered with an approved automatic underground irrigation system. Potable irrigation water will be delivered by drip irrigation devices. The system shall be designed to make efficient use of water through conservation techniques, and be in compliance with resolution 6261, as required by the State of California.

An application and detailed landscape irrigation plan will be submitted with the building permit submittal package. All planting and irrigation will be in compliance with the city's Water Efficient Landscape Ordinance.

The final construction documents will provide the contractor with and understanding of the design intent for the maintenance of the design intent for the maintenance of the planting areas regarding care and pruning of the site. The maintenance contractor shall furnish all labor, equipment materials and supervision required to properly maintain the landscaped areas in an attractive condition and as described in the project maintenance specifications.







**WATER USAGE LEGEND**

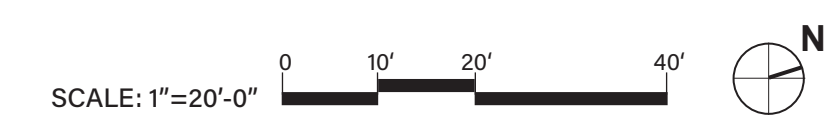
KEY	WUCOLS CATEGORY
<span style="color: lightblue;">■</span>	LOW - 6,971 SF (80%)
<span style="color: blue;">■</span>	MEDIUM - 1,773 SF (20%)
<span style="color: darkblue;">■</span>	HIGH - 0 SF (0%)

\*Based upon total landscape area of 8,317 sf

All planted areas are to be watered with an approved automatic underground irrigation system. Potable irrigation water will be delivered by drip irrigation devices. The system shall be designed to make efficient use of water through conservation techniques, and be in compliance with resolution 6261, as required by the State of California.

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SCALE:  
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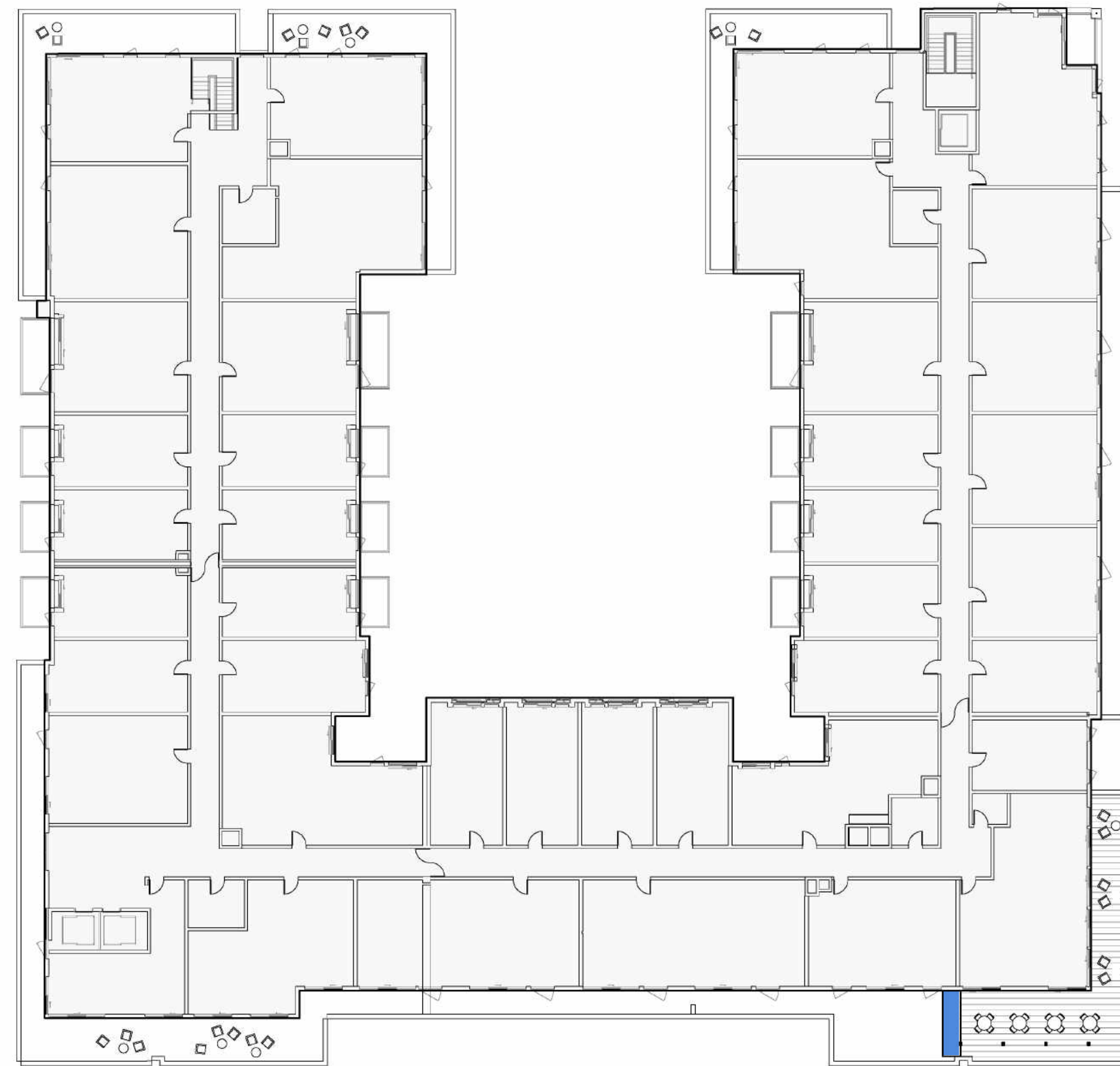
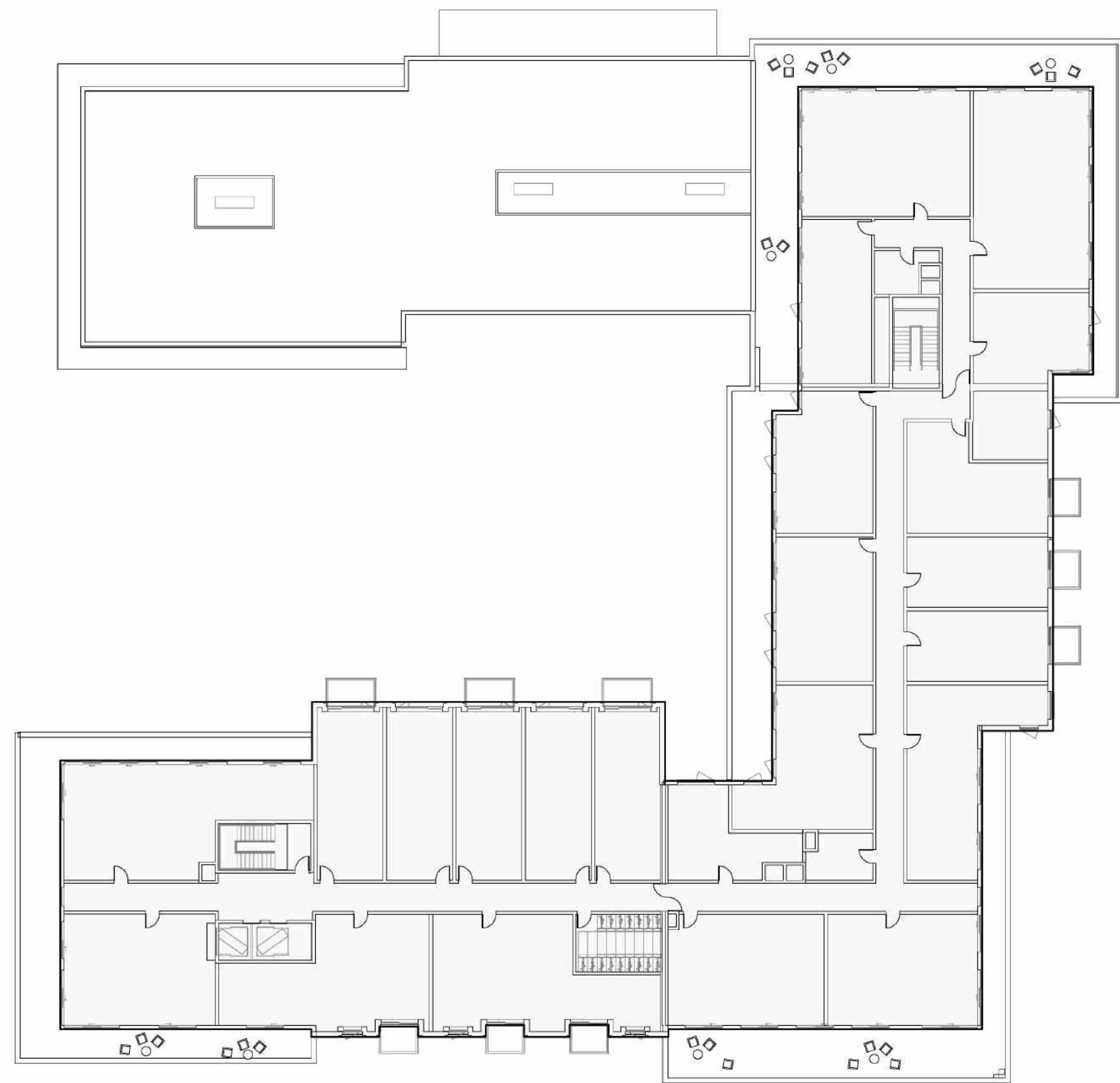
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**WATER USAGE LEGEND**

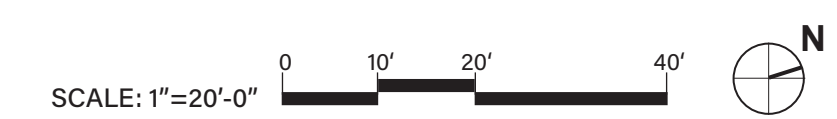
KEY	WUCOLS CATEGORY
	LOW - 0 SF (0%)
	MEDIUM - 369 SF (100%)
	HIGH - 0 SF (0%)

\*Based upon total landscape area of 8,317 sf

All planted areas are to be watered with an approved automatic underground irrigation system. Potable irrigation water will be delivered by drip irrigation devices. The system shall be designed to make efficient use of water through conservation techniques, and be in compliance with resolution 6261, as required by the State of California.

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# LEED NC v4 SCORECARD

## WILLOW VILLAGE MIXED-USE PARCEL 2

	YES	LIKELY	MAYBE	NO	Phase	Overlap	Credit Name	Points Available	
IP	1				D		<b>Integrative Process</b> - In design phases, achieve synergies between building, energy AND water related systems	1	
	1	<b>Totals</b>							1
LOCATION & TRANSPORTATION	16				D		<b>LEED for Neighborhood Development Location</b> - Locate within LEED ND certified development site boundary	16	
	1				D		<b>Sensitive Land Protection</b> - Develop on previously developed land or follow criteria for non-sensitive	1	
	2				D		<b>High Priority Site</b> - Locate project on infill location in historic district, priority designation or brownfield	2	
	4				D		<b>Surrounding Density &amp; Diverse Uses</b> - Site within 1/4 mile of surrounding density criteria and/or a 1/2 mile of diverse uses	5	
	5				D		<b>Access to Quality Transit</b> - Locate functional entries within 1/4 mile of existing transit or 1/2 mile of planned transit services	5	
	1				D	MP	<b>Bicycle Facilities</b> - Provide a bike network and storage areas	1	
	1				D		<b>Reduced Parking Footprint</b> - Don't exceed minimum local code requirements for parking capacity	1	
7	16	<b>Totals</b>							16
SUSTAINABLE SITES	REQUIRED				C	T24,MP	<b>Prereq 1 Construction Activity Pollution Prevention</b> - Implement an erosion control plan, per the EPA CGP v2012	NA	
	1				D		<b>Site Assessment</b> - Complete site survey including: topography, hydrology, climate, vegetation, soils, human use, human health	1	
	2				D		<b>Site Development - Protect or Restore Habitat</b> - On-site restoration OR financial support	2	
	1				D		<b>Open Space</b> - Provide outdoor space greater than or equal to 30% of total site area, 25% of which is vegetated	1	
	3				D		<b>Rainwater Management</b> - Manage runoff for at least the 85th percentile of local rainfall events	3	
2				D		<b>Heat Island Reduction</b> - Meet nonroof and roof criteria OR place a minimum of 75% parking spaces under cover	2		
1				D	T24	<b>Light Pollution Reduction</b> - Backlight-uplight-glare method or calculation method, exterior luminaires and signage req's	1		
5	5	<b>Totals</b>							10
WATER	REQUIRED				D	T24	<b>Prereq 1 Outdoor Water Use Reduction</b> - Permanent non-irrigated landscape OR reduce water use 30% for peak water month	N/A	
					D	T24	<b>Prereq 2 Indoor Water Use Reduction</b> - Reduce aggregate water use by 20% for fixtures and fittings	N/A	
					D		<b>Prereq 3 Building-Level Water Metering</b> - Install permanent water meters that measure potable water use, share data with USGBC	N/A	
	2				D	T24,MP	<b>Credit Outdoor Water Use Reduction</b> - Reduce water use no irrigation or reduced irrigation 50% - 100%	2	
	6				D	T24	<b>Credit Indoor Water Use Reduction</b> - Reduce fixture and fitting water use by 25% - 50%	6	
	2				D		<b>Credit Cooling Tower Water Use</b> - Conduct a one-time potable water analysis, measure control parameters in Table 1	2	
1				D		<b>Credit Water Metering</b> - Meters for 2 or more water subsystems: irrigation, indoor plumbing, hot water, boiler, reclaimed water, or other	1		
9	2	<b>Totals</b>							11
ENERGY & ATMOSPHERE	REQUIRED				C	T24	<b>Prereq 1 Fundamental Commissioning and Verification</b> - Commissioning for ASHRAE 0-2005 and 1.1-2007	N/A	
					D	T24	<b>Prereq 2 Minimum Energy Performance</b> - Whole building energy simulation OR ASHRAE 50% Design Guide OR ABCPG	N/A	
					D	T24	<b>Prereq 3 Building-Level Energy Metering</b> - Use building-level energy meters or submeters that can aggregate building-level data	N/A	
					D	T24	<b>Prereq 4 Fundamental Refrigerant Management</b> - Do not use CFC-based refrigerants in HVAC&R systems, or have a phase out plan	N/A	
	3				C		<b>Credit Enhanced Commissioning</b> - Implement systems commissioning or monitor-based commissioning	6	
	8				D	T24	<b>Credit Optimize Energy Performance</b> - Whole building energy simulation or follow ASHRAE Advanced Energy Design Guide	18	
	1				D		<b>Credit Advanced Energy Metering</b> - Install advanced energy metering for whole building and individual energy sources	1	
	2				C		<b>Credit Demand Response</b> - Participate in existing demand response program or provide infrastructure for demand response programs	2	
	1				D	MP	<b>Credit LEED v4.1 Renewable Energy</b> - Use on-site or offsite renewable energy to offset green house gas emissions for annual energy use	5	
	1				D		<b>Credit Enhanced Refrigerant Management</b> - Refrigerants with ODP of 0 and GWP of less than 50 OR calculate refrigerant impact	1	
13	20	<b>Totals</b>							33

	YES	LIKELY	MAYBE	NO	Phase	Overlap	Credit Number	Credit Name	Points Available
MATERIALS & RESOURCES	REQUIRED				D	T24	Prereq	<b>Storage and Collection of Recyclables</b> - Dedicated areas for waste collection, collection and storage	N/A
					D	MP	Prereq	<b>Construction and Demolition Waste Management Planning</b> - Establish C&D waste diversion goals	N/A
3					C		Credit	<b>Building Life-Cycle Impact Reduction</b> - Historic building reuse, renovate blighted buildings OR whole building LCA	5
1					C		Credit	<b>LEED v4.1: Building Product Disclosure and Optimization - Environmental Product Declarations</b>	2
1					C		Credit	<b>LEED v4.1: Building Product Disclosure and Optimization - Material Ingredients</b>	2
1					C		Credit	<b>LEED v4.1: Building Product Disclosure and Optimization - Sourcing of Raw Materials</b>	2
2					C	MP	Credit	<b>C&amp;D Waste Management</b> - Divert 50% (3 streams), 75% (4 streams) OR 2.5 lbs. waste per square foot	2
8	5	<b>Totals</b>							13

	YES	LIKELY	MAYBE	NO	Phase	Overlap	Credit Number	Credit Name	Points Available
INDOOR ENVIRONMENTAL QUALITY	REQUIRED				D	T24	Prereq	<b>Minimum Indoor Air Quality Performance</b> - Meet ASHRAE 62.1-2010	N/A
					D	T24	Prereq	<b>Environmental Tobacco Smoke Control</b> - Prohibit smoking indoors, restrict outdoor smoking within 25 feet	N/A
	2				D	T24	Credit	<b>Enhanced Indoor Air Quality Strategies</b> - Comply with enhanced IAQ strategies	2
	3				C		Credit	<b>LEED v4.1: Low-Emitting Materials</b> - Achieve level of compliance for product categories or use budget calculation method	3
	1				C	T24	Credit	<b>Construction IAQM Plan</b> - Implement IAQMP & protect materials and equipment during construction	1
	1				C		Credit	<b>Indoor Air Quality Assessment</b> - Before and during occupancy flush-out OR conduct baseline IAQ testing	2
	1				D		Credit	<b>Thermal Comfort</b> - Meet requirements for ASHRAE 55-2010	1
	1				D		Credit	<b>Interior Lighting</b> - Lighting Controls for 90% plus individual occupant spaces & four lighting quality strategies	2
	1				D		Credit	<b>Daylight</b> - Install glare control devices, spatial daylight autonomy, illuminance calculations OR daylight floor area measurement	3
	1				D		Credit	<b>Quality Views</b> - Vision glazing for 75% of regularly occupied floor area, with at least two kinds of view types	1
1				D		Credit	<b>Acoustic Performance</b> - Meet requirements for HVAC noise, sound isolation, reverberation time, & sound masking	1	
10	6	<b>Totals</b>							16

	YES	LIKELY	MAYBE	NO	Phase	Overlap	Credit Number	Credit Name	Points Available
INNOVATION*	1				D		Credit	<b>ID - Parksmart Measures</b>	1
	1				D		Credit	<b>Pilot - Integrative Analysis of Building Materials</b>	1
	1				D		Credit	<b>ID - WELL Feature 87 Beauty and Design I</b>	1
	1				D		Credit	<b>ID - Green Education</b>	1
	1				D	MP	Credit	<b>Bird Collision Deterrence or EP point</b>	1
	1				C		Credit	<b>LEED Accredited Professional</b>	1
6	<b>Totals</b>							6	

\*Innovation in Design includes Exemplary Performance credits

	YES	LIKELY	MAYBE	NO	Phase	Overlap	Credit Number	Credit Name	Points Available
REGIONAL**	1				D		Credit	<b>Optimize Energy Performance</b>	1
	1				D		Credit	<b>Sourcing of Raw Materials</b>	1
	1				D		Credit	<b>Building Life-Cycle Impact Reduction</b>	1
	1				D		Credit	<b>Indoor Water Use Reduction</b>	1
	1				D		Credit	<b>Access to Quality Transit</b>	1
3	3	<b>Totals</b>							4

\*\*only 4 Regional Credits are Applicable

Confirmed Certification Level:	Points Available
Confirmed + Likely Certification Level:	GOLD
Confirmed + Likely + Maybe Certification Level:	Gold
Confirmed Points:	62
Confirmed + Likely Points:	62
Confirmed + Likely + Maybe Points:	62

PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE  
Architectural Control Package - Parcel 2  
Menlo Park, CA

SCALE:  
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## Parcel 2 – Modification #1

### Base Height & Stepback

#### Modification Request

##### Allow modifications to Zoning Code Section 16.45.120(2) to:

Allow for (i) Maximum base height (including 10-foot increase within the flood zone) to be 71 feet above average natural grade and (ii) roof trusses within stepback areas. Roof trusses within the stepback area shall be included in the calculation of height (maximum and average) for the building.

#### Code Requirements

16.45.120(2) Building Mass and Scale

**Base Height:** The maximum height of a building at the minimum setback at street or before the building steps back the minimum horizontal distance required. Bonus Level Fronting a Local Street or a Boulevard, Thoroughfare, Mixed Use Collector, or Neighborhood Street: 45'. Properties within the flood zone or subject to flooding and sea level rise are allowed a 10' increase. Maximum Base Height for Project: 45' + 10' increase = 55'

**Building Projections:** The maximum depth of allowable building projections from the required stepback for portions of the building above the ground floor: 6'

#### Subject Site and Proposed Building Description

Parcel 2 spans two City blocks in length and one City block in width. The proposed building design is characterized by varying stepbacks and setbacks that create an overall impression of distinct adjacent masses, rather than one monolithic mass. Stepbacks occur around the building for private and shared terraces. There are large podium level stepbacks on Willow Road, Park Street, and West Street where courtyards open up to the street. There are stepbacks at levels 5 and 6 around the rest of the building to provide relief and articulation.

Parcel 2 proposes the use of a *non-required building setback* that ranges from 4' to 35' to achieve the same results as the *required minimum setback* in the following ways:

- Providing a greater volume of space between the upper stories of buildings.
- Providing allowance for more light at the pedestrian level.

In addition,

- Stepbacks provide a perceived lower building height. Parcel 2 [in areas of a building setback] proposes to place the required Stepback one level higher than the otherwise maximum base height, thus achieving comparable view angles to a compliant setback profile.
- Varying levels of stepbacks allow relief from the monotony of standard development over the long frontage lengths of this block.

Parcel 2 Design seeks to achieve a highly articulated massing with variable stepback heights at each elevation, so as to not read as 'prescriptive' and yet to meet the intent of the setback requirement in the zoning code. For Parcel 2, the applicant requests that the required stepback base height be allowed to increase from Level 5 (about 56' above existing grade) to Level 6 (about 70'-0" above existing grade) as a holistic design consideration rather than in specific conditions, in order to establish a consistent rhythm the variability will occur within. Without the modification, the Parcel 2 frontages have code complying stepbacks on an average of 43% of their length (see attached exhibit for details). If the modification is approved, they will have complying stepbacks on an average of 92% of their length.

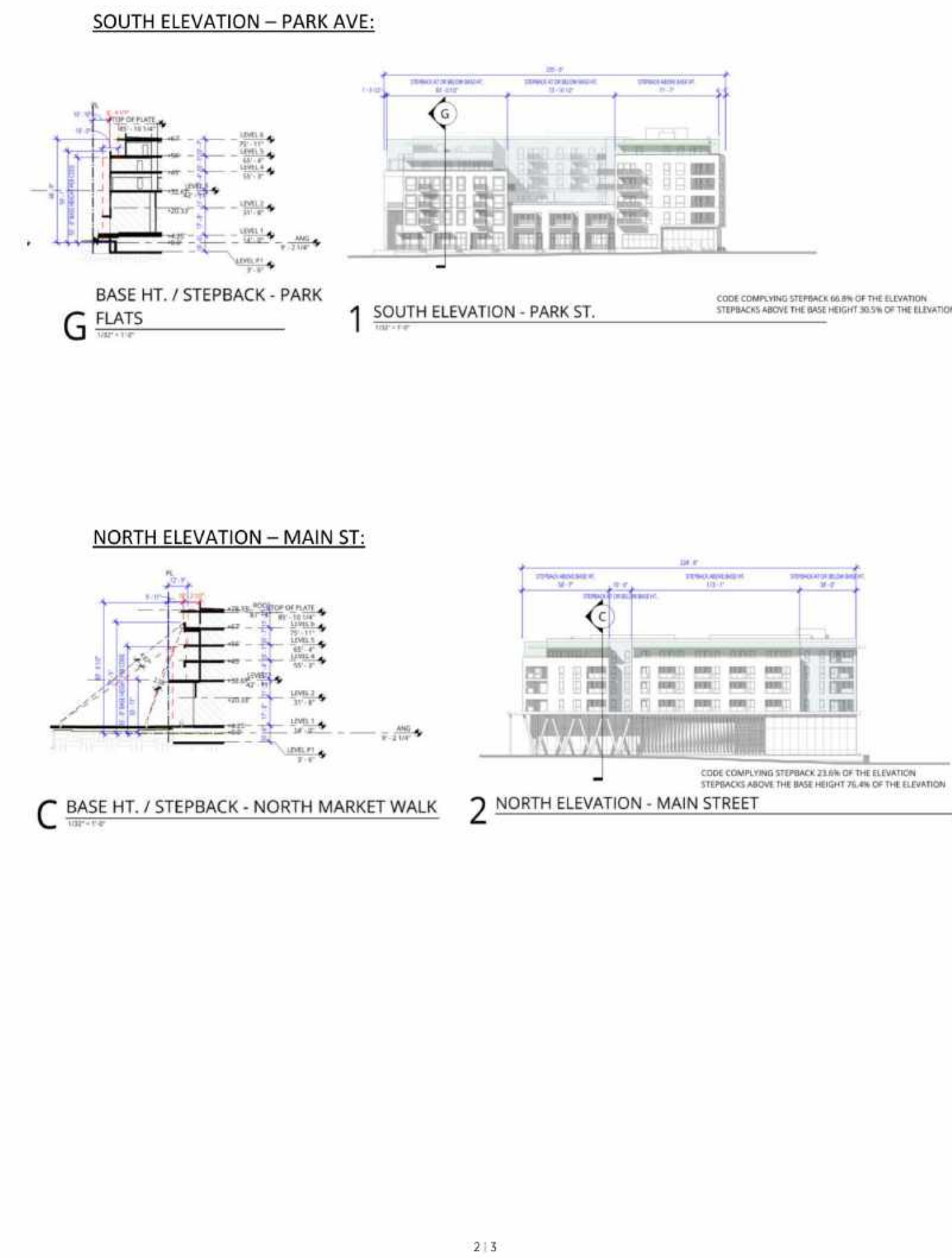
The Parcel 2 Design also proposes to include a condition on Level 6 at the northeast corner, where a trellis supported on posts extends from the stepped back exterior wall into the stepback area more than the 6' maximum allowed by 16.45.120(2) Building Projections. This is done to increase variation of the roofline when viewed from the ground, highlight the corner of the building, and improve conditions on the 6<sup>th</sup> floor roof deck at that corner.

#### Attachments

Illustrative Modification Exhibit #1 Attached.

1 | 3

## Parcel 2 – Illustrative Modification Exhibit #1



2 | 3

3 | 3

## PARCEL 2 – Modification #2

### Major Building Modulations

#### Modification Request

##### Allow modifications to Zoning Code Section 16.45.120(2) to:

Major modulation on Park Street to be a minimum of 8 feet deep.

#### Code Requirements

16.45.120(2) Building Mass and Scale

#### Major Building Modulations

A major modulation is a break in the building plane from the ground level to the top of the building's base height that provides visual variety, reduces large building volumes, and provides spaces for entryways and publicly accessible spaces.

**Modulation Required:** Minimum of one recess of 15 feet wide by 10 feet deep per 200 feet of facade length  
**Additional Notes:** Modulation is required on the building facade(s) facing publicly accessible spaces (streets, open space, and paseos). Parking is not allowed in the modulation recess. When more than 50% of an existing building facade that faces a publicly accessible space is altered, it must comply with these modulation requirements.

#### Subject Site and Proposed Building Description

Parcel 2 spans two City blocks in length and one City block in width. The proposed building design is characterized by varying stepbacks, setbacks, and modulations that create an overall impression of distinct adjacent masses rather than one monolithic mass. On the South Elevation, facing Park Street, this design manifests as one tall building mass at the corner with Willow Road, a short mass in the middle of the block that is set back, and a taller building mass at the corner with West Street. The articulation of the southern facade is based on this massing concept along with the residential unit layout and street activation with stoops to these units.

The recessed center portion is 74 feet wide and set back 8 feet from the massing element at the West Street corner, which provides visual relief but is less than the 10 feet required by the major building modulation code section. To reinforce its role as a massing break, this center portion is only two stories high; the courtyard opens to Park Street at the podium level above, providing a 74 foot wide by 145 feet deep massing relief modulation extending from the podium level to the full height of the building.

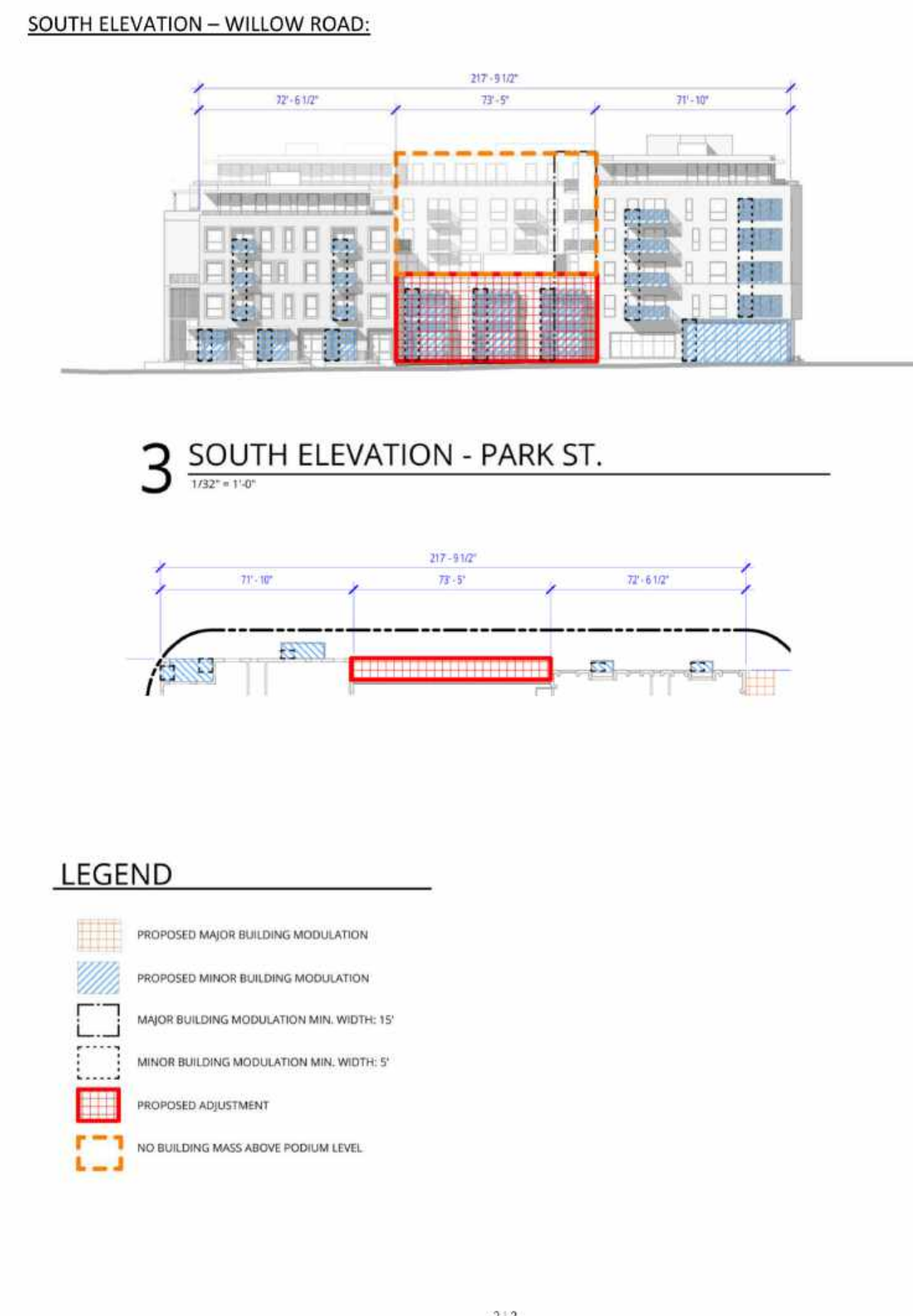
The Parcel 2 design proposes to satisfy the major modulation requirement for the south elevation along Park Avenue with this 8' deep and 74' wide massing modulation that increases in depth to 145 feet at the podium level. The Parcel 2 building design is highly articulated and modulated on all frontages. The request to consider the shallower massing break, in combination with the much deeper break above, as meeting the major modulation requirement along Park Street is intended to allow relief from the monotony of standard development; to permit the application of new and desirable development techniques.

#### Attachments

Illustrative Modification Exhibit #2 Attached.

1 | 2

## Parcel 2 – Illustrative Modification Exhibit #2



2 | 2

## PARCEL 2 – Modification #3

### Garage Entrances

#### Modification Request

##### Allow modifications to Zoning Code Section 16.45.120(3) to:

Two-way garage entrances may be up to 30 feet wide.

#### Code Requirements

16.45.120(3) Ground Floor Exterior

#### Garage Entrances

Width of garage entry/door along street frontage.

Bonus Level Fronting a Local Street or Boulevard, Thoroughfare, Mixed Use-Collector, or Neighborhood Street: Maximum 12-foot opening for one-way entrance; maximum 24-foot opening for two-way entrance

#### Subject Site and Proposed Building Description

Parcel 2 spans two city blocks in length and one city block in width. It is bisected on each long side by two-way entrances to a parking garage that serves residents, public retail visitors, and commercial loading associated with the grocery store. Both garage openings are proposed to be 28 feet in width, wider than the code limit of 24 feet for a two-way entrance. The garage entrances will be clear openings, not closed off by doors, allowing for an unimpeded extension of the public realm into the shared commercial drive.

The proposed garage openings are for vehicle entry/exit for both commercial and residential traffic. The commercial use of the garage suggests that a wider entry would be a convenience for drivers unfamiliar with the garage and make it possible for a WB-70 delivery truck to enter the garage off of Willow Road, meaning the building can avoid a separate loading dock access off Willow, which would disrupt the pedestrian experience much more than the proposed minor modification of the code requirement. The design proposed allows for a large buffered area to the right and left of the garage opening to create a small pedestrian plaza, the idea being that the garage entry would not feel unwelcoming or intimidating at the pedestrian level. Much like the Willow Road garage opening, the West Street garage opening is detailed with warm materials and is fully integrated into the overall design of the facade and to the seating above at the podium level. The garage opening on West Street is located at the terminus of Center Street and is designed to act as both a visual and actual gateway to the building. The garage opening along Willow Road would be aligned with the garage opening along West Street, allowing daylight and interesting views through the building. Additionally, both garage entries are aligned to a break in the massing above, which further emphasizes the purposeful design around the garage openings.

#### Attachments

Illustrative Modification Exhibit #3 Attached.

1 | 2

PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE  
 Architectural Control Package - Parcel 2  
 Menlo Park, CA

#### SCALE:

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Parcel 2 – Illustrative Modification Exhibit #3



2 | 2

PARCEL 2 –Modification #4

Building Entrances

Modification Request

Allow modifications to Zoning Code Section 16.45.120(3) to:

Spacing can be up to 138 feet between two building entrances and up to 200 feet from corner to building entrance.

Code Requirements  
16.45.120(3) Ground Floor Exterior

Building Entrances

The minimum ratio of entrances to building length along a public street or paseo. One entrance every 100 feet of building length along a public street or paseo. A minimum of one is required along each length. Entrances at a building corner may be used to satisfy this requirement for both frontages. Stairs must be in locations convenient to building users.

Subject Site and Proposed Building Description

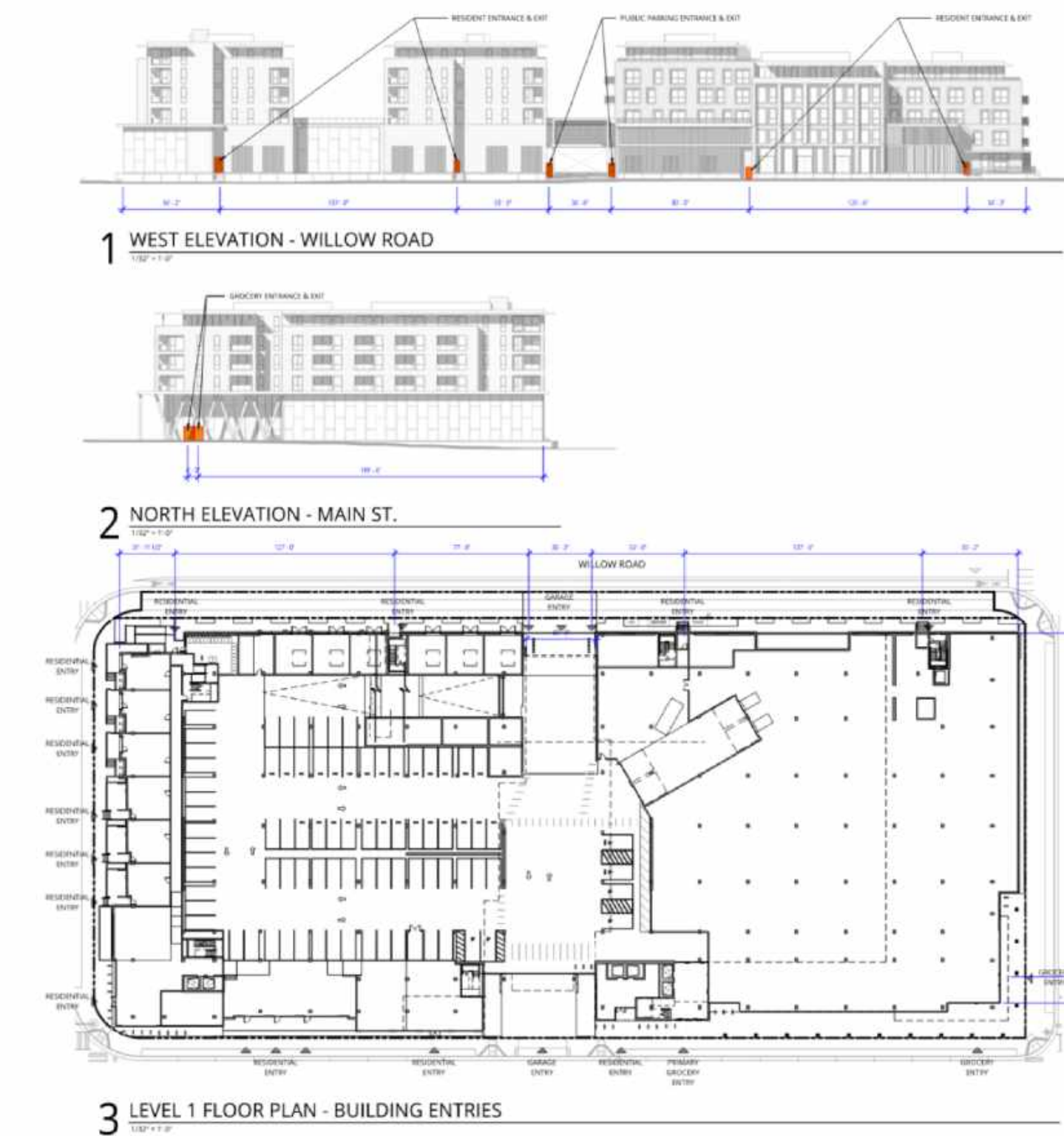
Parcel 2 spans two city blocks in length and one city block in width. It is bisected on each long side by entrances to a parking garage that serves residents, public retail visitors, and commercial loading associated with the grocery store. The perimeter of the building includes portions with commercial grocery store use, residential ground floor units, resident common areas, and service/utility access points. The residential portions of the ground floor include regular building entrances within 100' of each other whether for lobby access, individual unit access, or resident common area access. Retail frontages on West Street and on Main Street near the corner with West Street have frequent entrances as well, but to avoid disruptions to the operational requirements of the grocery store, the western end of Main Street and the northern part of the Willow Road frontage do not have entrances every 100 feet. The proposed design also groups the transformers that are required to face rights of way together on the western elevation, facing Willow Road, to maximize transparency and activation on the other streets which are more pedestrian oriented. This, in combination with the grade differential of the site creates a stretch of the Willow Road frontage where it is not useful or efficient to locate an entrance in between transformer rooms. This section of the Willow Road façade is activated through wall art, architectural "fins," feature glazed architectural elements, and landscaping to make sure that frontage feels engaged with the building.

Attachments

Illustrative Modification Exhibit #4 Attached.

1 | 2

Parcel 2 – Illustrative Modification Exhibit #4



2 | 2

PARCEL 2 –Modification #5

Roof Modulation

Modification Request

Allow modifications to Zoning Code Section 16.45.120(6)(G) to:

Roof modulation not required for the West Street and Main Street elevations.

Code Requirements  
16.45.120(6)(G)

Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a 4-foot minimum height modulation to break visual monotony and create a visually interesting skyline as seen from public streets. The variation of the roofline's horizontal distance should match the required modulations and setbacks.

Subject Site and Proposed Building Description

Parcel 2 spans two city blocks in length and one city block in width. The massing of the proposed building resembles two U-shaped buildings separated by a roughly street-width gap above a shared podium. The podium is bisected by open garage entrances on each long side, aligned with the gap between the masses above. A portion of the southwest corner which is one story lower than the rest of the building provides the required 4' minimum height modulation in the rooflines for the Willow Road and Park Street elevations, while also providing a transition in scale from the lower-density development patterns to the south and west of the project site.

The West Street and Main Street elevations have rooflines that are more consistent to match the increased density within Willow Village and enhance the urban village character of the public space in the development. Horizontal modulations, setbacks, the massing gap, and a variety of overhang and trellis conditions ensure that the roofline will be visually interesting and not appear monotonous to pedestrians on nearby public streets.

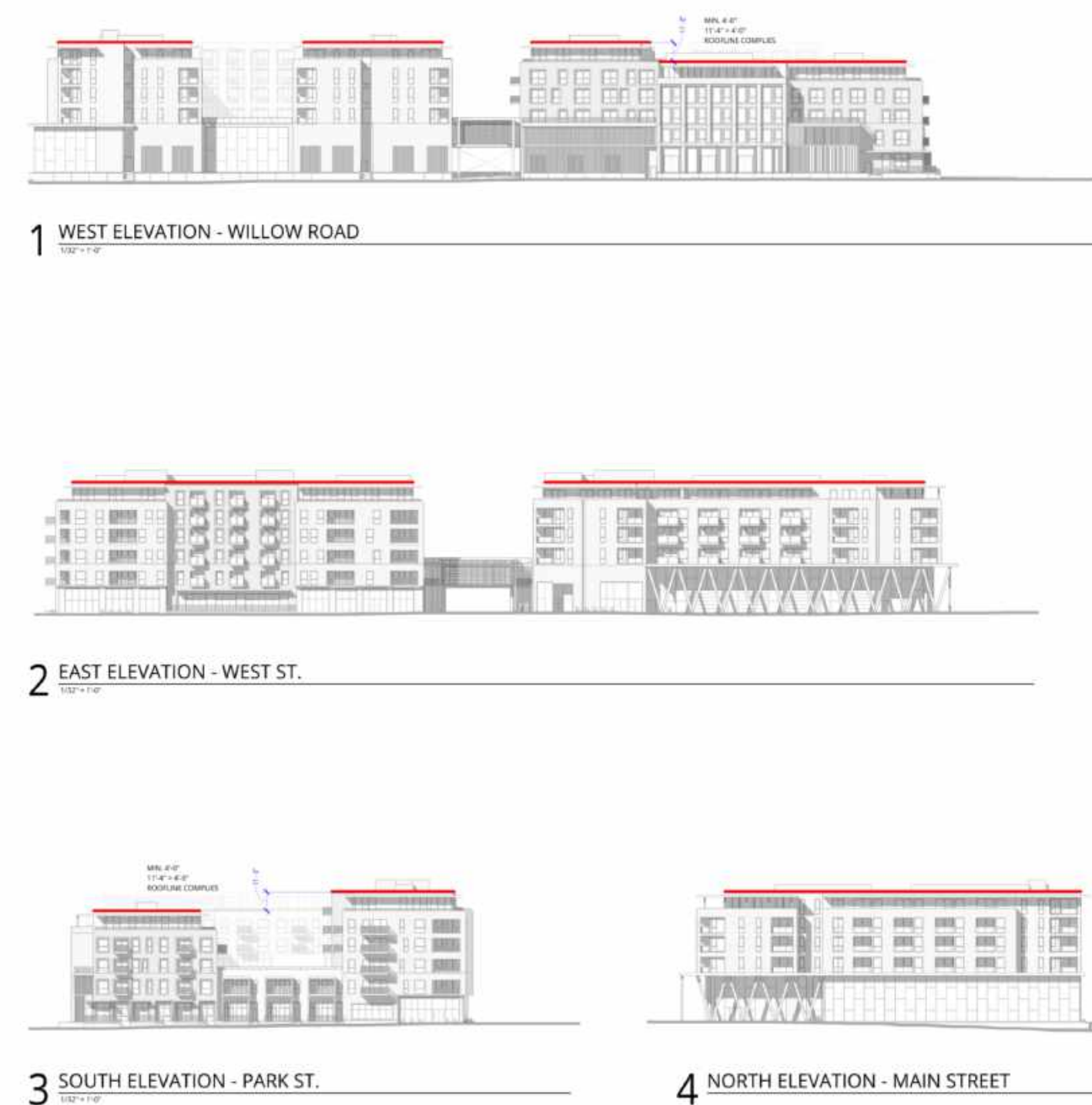
For Parcel 2, the applicant requests that the requirement for a 4-foot roof modulation on the West Street and Main Street elevations be waived, in recognition of the transitional role Parcel 2 plays in the overall form of Willow Village as well as the other design measures that have been taken to make sure those elevations will be visually stimulating and interesting for people walking by.

Attachments

Illustrative Modification Exhibit #5 Attached.

1 | 2

Parcel 2 – Illustrative Modification Exhibit #5



2 | 2

PARCEL 2 –Modification #6

Minor Modulation

Modification Request

Allow modifications to Zoning Code Section 16.45.120(2) to:

No façade minor modulations are required on the Willow Road elevation.

Code Requirements  
16.45.120(2)

Minimum recess of 5' wide by 5' deep per 50' of façade length. Building Projections spaced no more than 50' apart with a minimum depth of 3' and width of 5' may satisfy this requirement in lieu of a recess.

Subject Site and Proposed Building Description

Parcel 2 spans two city blocks in length and one city block in width. The massing of the proposed building resembles two U-shaped buildings separated by a roughly street-width gap above a shared podium. The podium is bisected by open garage entrances on each long side, aligned with the gap between the masses above. The proposed building design is characterized by varying setbacks, modulations that create an overall impression of distinct adjacent masses rather than one monolithic mass. To strengthen this concept the proposed design complies with the minor modulation requirement through varying strategies at different locations around the building. These include vertically aligned projecting or recessed balconies as well as unoccupied notches in the exterior building wall.

As part of the overall strategy based on breaking down the large scale of the block through a variety of architectural expression, the southern half of the Willow Road elevation uses massing shifts to reduce the perceived scale of the mass. There are setbacks provided in different locations at the 3<sup>rd</sup>, 5<sup>th</sup>, and 6<sup>th</sup> floors. There are horizontal shifts in the massing above the podium which are expressed all the way down to the ground. In some places the podium level is expressed on the façade and in some places it is not. The dynamic composition created by these massing moves relies on the clean (though richly textured) planes of the building faces for its impact. Introducing smaller notches or balconies, whether projecting or recessed, would disguise the impact of the massing moves and result in a mass that looked more homogenous. Therefore, the parcel proposes that the requirement for a minor modulation for every 50' of façade length be waived for the southern half of the Willow Road elevation.

Attachments

Illustrative Modification Exhibit #6 Attached.

1 | 2

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Parcel 2 – Illustrative Modification Exhibit #6



4 WEST ELEVATION - WILLOW ROAD

LEGEND

- PROPOSED WINDOW BUILDING MODIFICATION
- PROPOSED WINDOW BUILDING MODIFICATION
- WINDOW BUILDING MODIFICATION WITH WINDOW
- WINDOW BUILDING MODIFICATION WITH WINDOW
- PROPOSED ADJUSTMENT
- NO BUILDING MODIFICATION

PENINSULA INNOVATION PARTNERS

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