

Willow Village

Architectural Control Package - Parcel 1 (Portion)

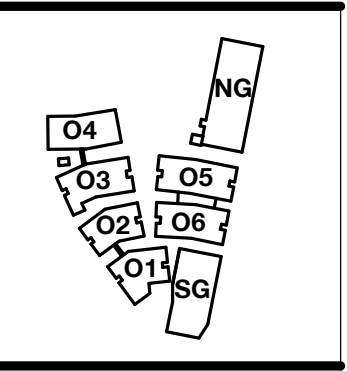
March 10, 2023



Peninsula Innovation Partners
Menlo Park, CA

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PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

SCALE: 1" = 100'-0"
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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DATE	ISSUE
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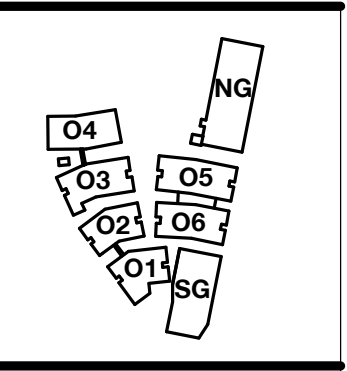
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DRAWING TITLE:
Illustrative Context Plan

DRAWING NO:
A0.01



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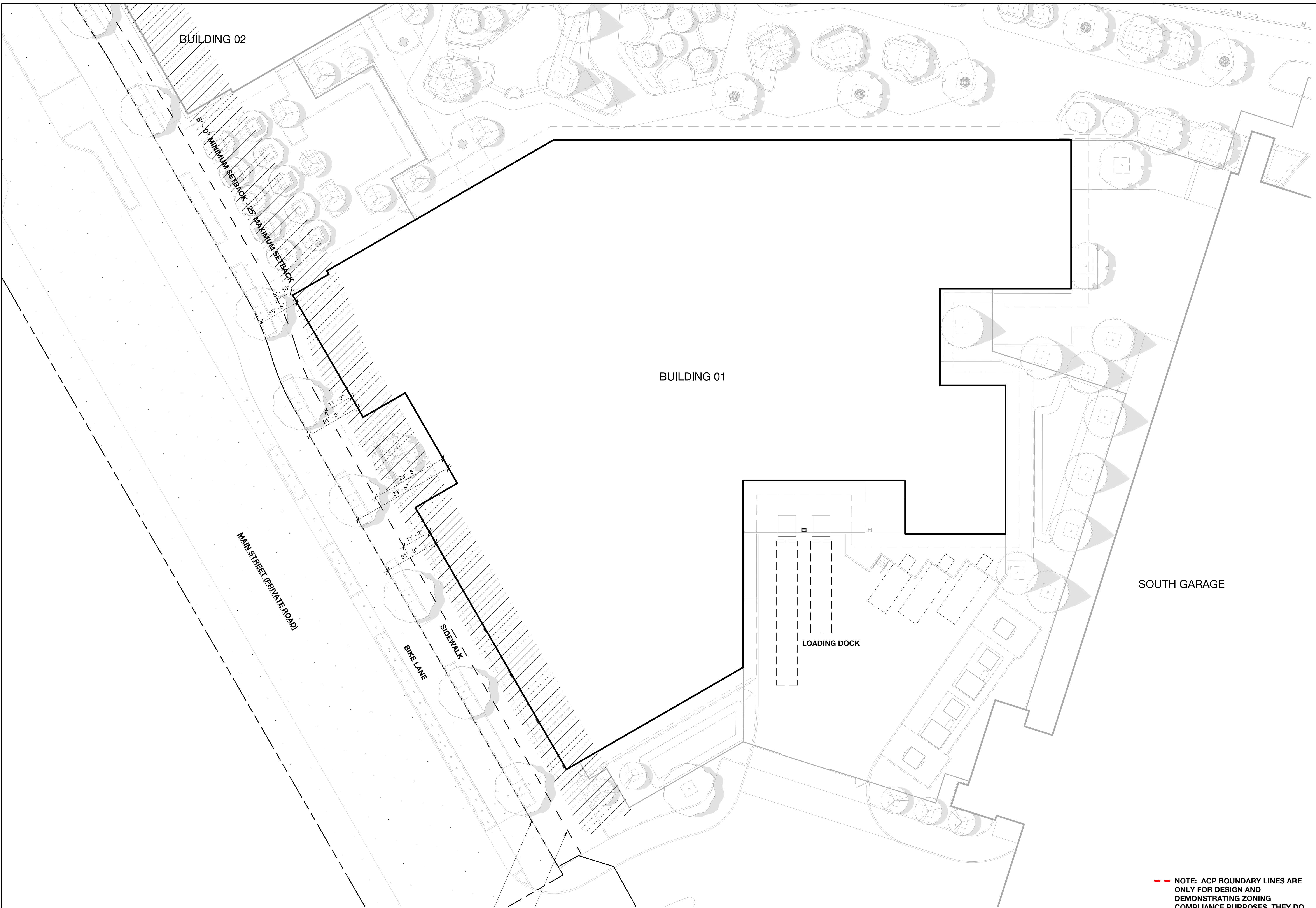
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Proposed Site Plan

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A1.01.1

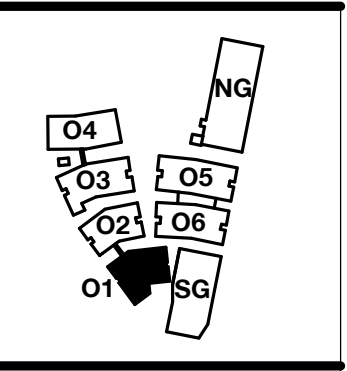
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PROPERTY LINE
 PROPOSED EASEMENT LINE

ALL IMPROVEMENTS SHOWN OUTSIDE OF THE PARCEL BOUNDARY AND WITHIN THE PROPOSED PUBLIC EASEMENT WILL BE A PART OF THE PUBLIC REALM PLANS AND HAVE BEEN SHOWN FOR REFERENCE ONLY.

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 Site Plan - Building 01

DRAWING NO:
A1.02.1

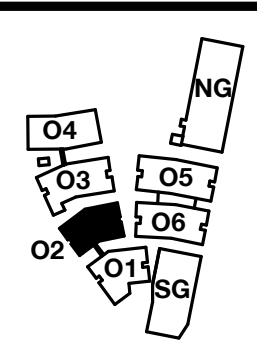
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PROPERTY LINE
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DRAWING TITLE:
 Site Plan - Building 02

DRAWING NO:
A1.02.2

PENINSULA INNOVATION PARTNERS

BUILDING 04

BUILDING 03

BUILDING 02

SP1
CAMPUS ENTRY - LOBBY 3
(SECURITY PAVILION 1)

SEE USE PERMIT #1

MAIN STREET (PRIVATE ROAD)

BIKE LANE

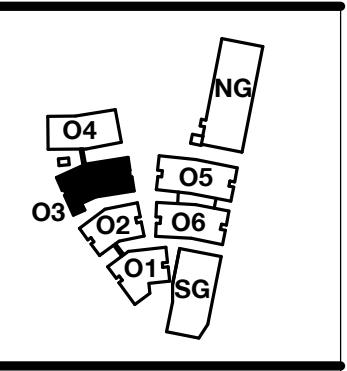
SIDEWALK

PROPERTY LINE

PROPOSED EASEMENT LINE

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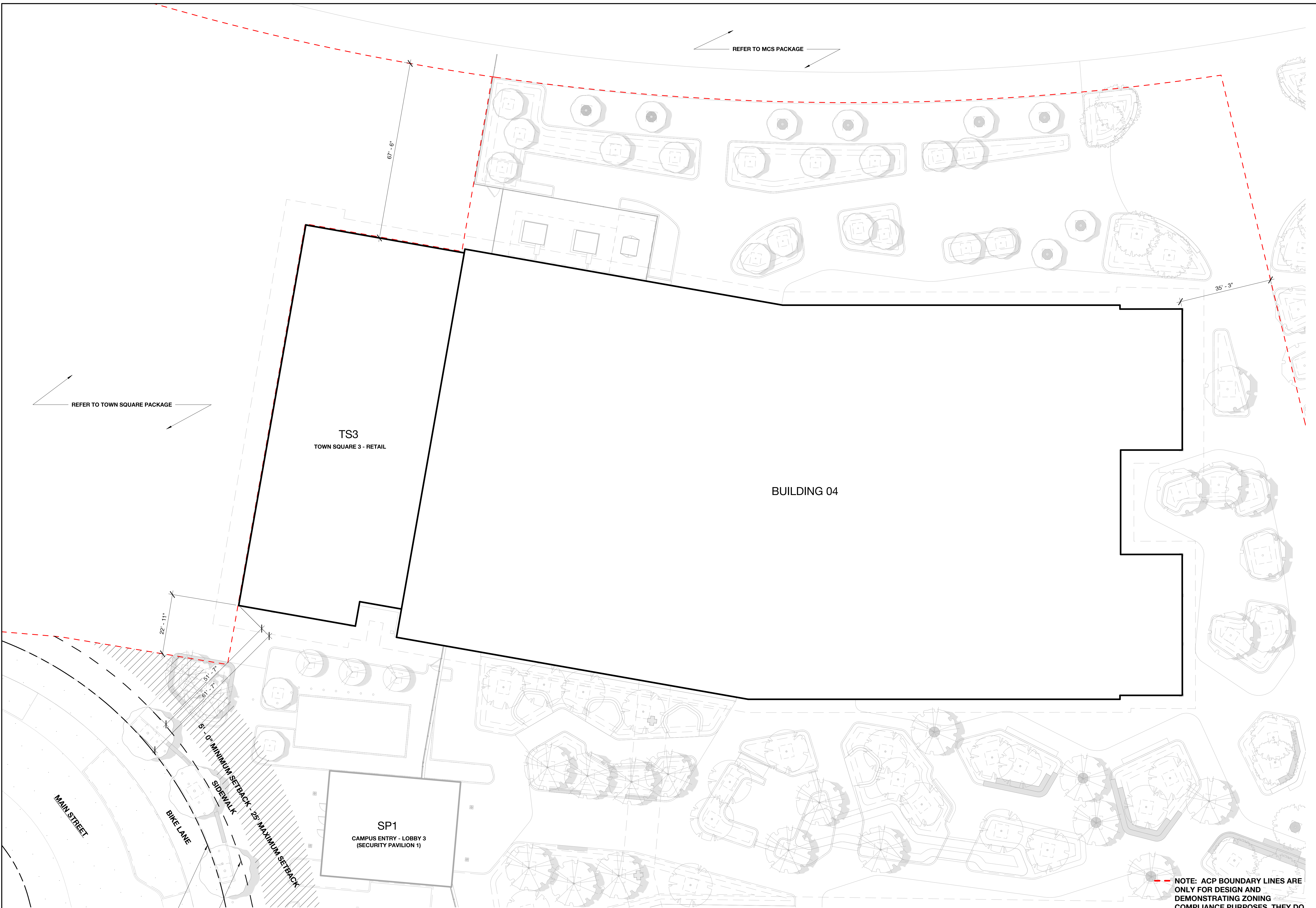
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Site Plan - Building 03

DRAWING NO:
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REFER TO TOWN SQUARE PACKAGE

REFER TO MCS PACKAGE

TS3
TOWN SQUARE 3 - RETAIL

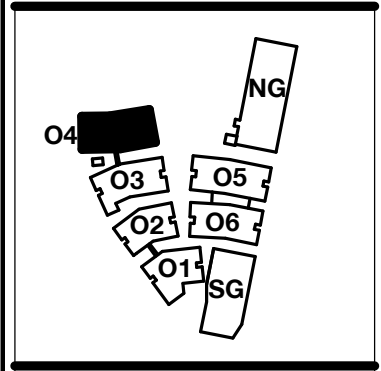
BUILDING 04

SP1
CAMPUS ENTRY - LOBBY 3
(SECURITY PAVILION 1)

PROPERTY LINE
PROPOSED EASEMENT LINE

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Menlo Park, CA

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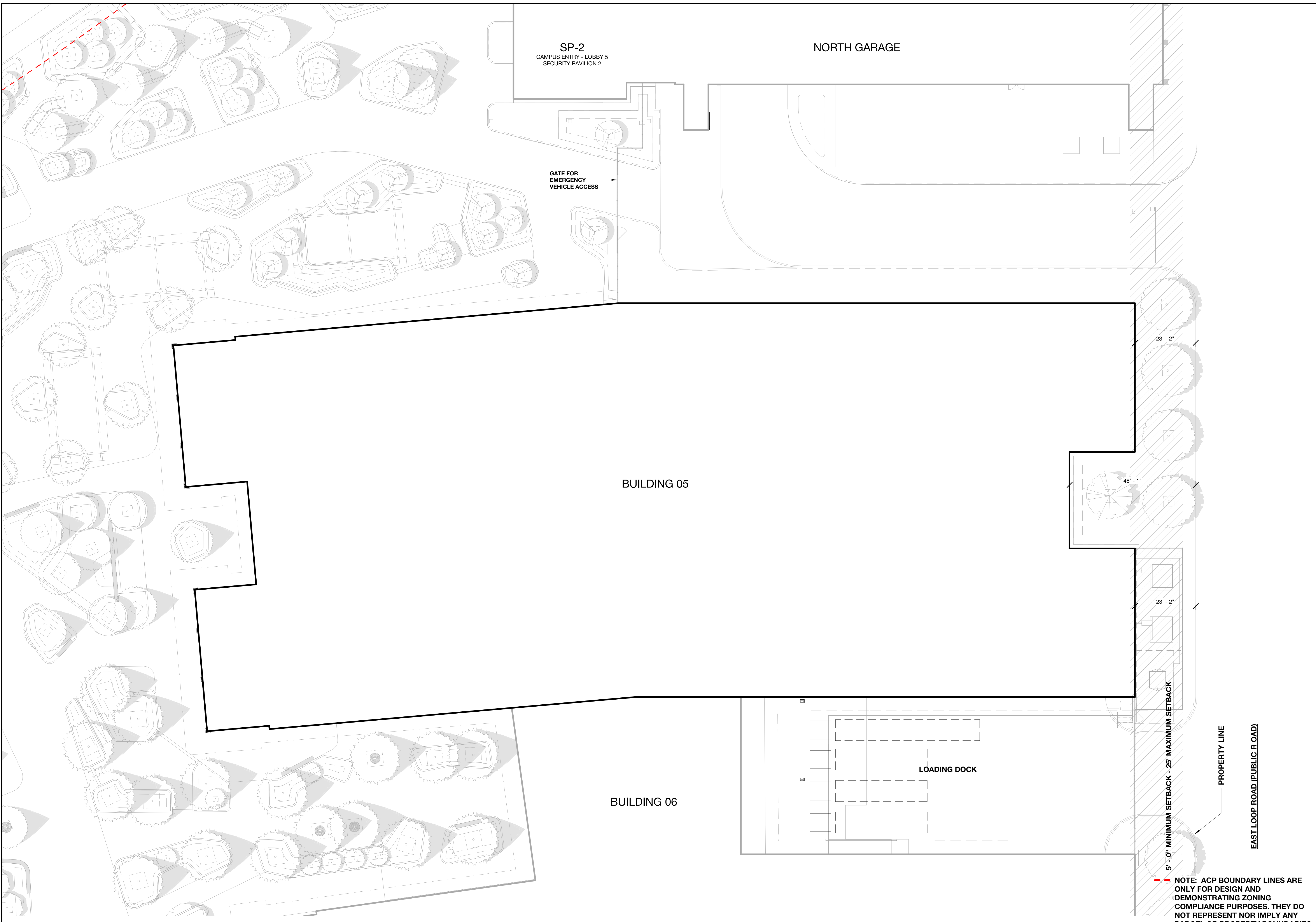
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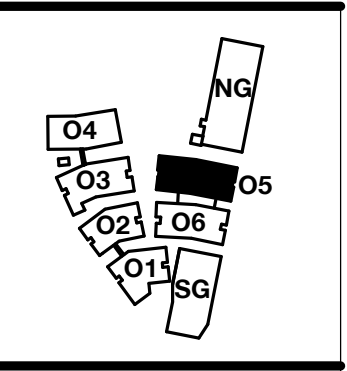
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 Site Plan - Building 05

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A1.02.5

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BUILDING 05

LOADING DOCK

BUILDING 06

BUILDING 02

BUILDING 01

SOUTH GARAGE

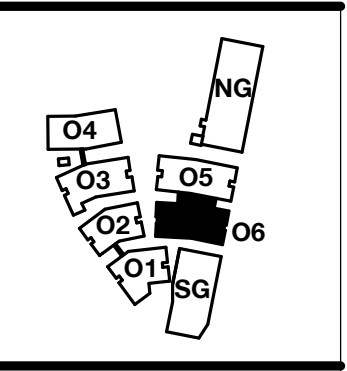
EAST LOOP ROAD (PUBLIC ROAD)

5'-0" MINIMUM SETBACK - 25' MAXIMUM SETBACK

PROPERTY LINE

GATE FOR EMERGENCY VEHICLE ACCESS

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 Menlo Park, CA

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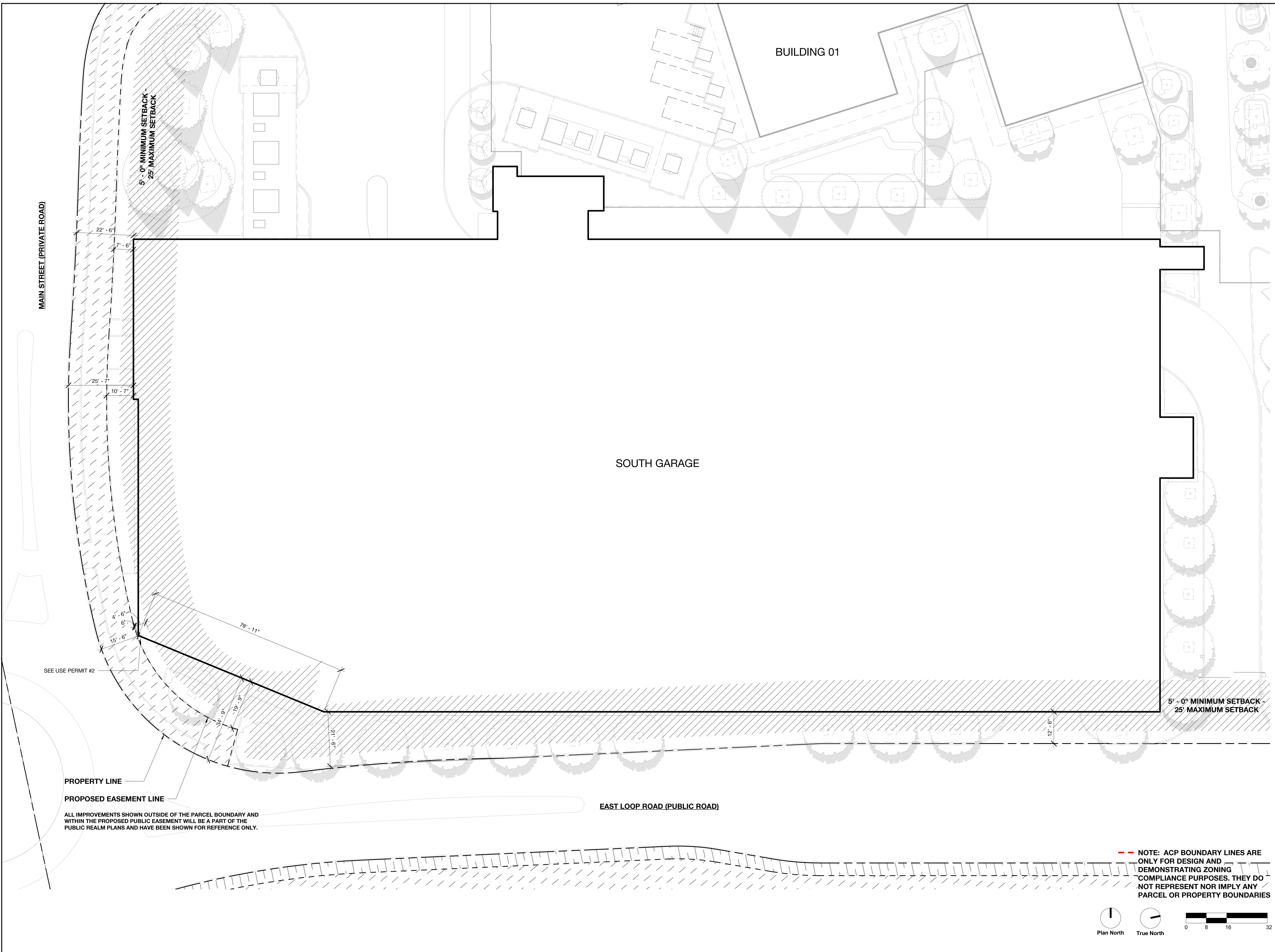
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DRAWING TITLE:
 Site Plan - Building 06

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MAIN STREET (PRIVATE ROAD)

BUILDING 01

SOUTH GARAGE

EAST LOOP ROAD (PUBLIC ROAD)

5'-0" MINIMUM SETBACK
25' MAXIMUM SETBACK

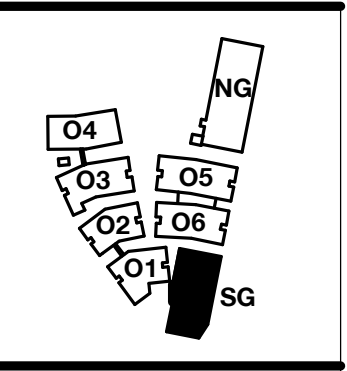
5'-0" MINIMUM SETBACK
25' MAXIMUM SETBACK

SEE USE PERMIT #2

PROPERTY LINE
PROPOSED EASEMENT LINE

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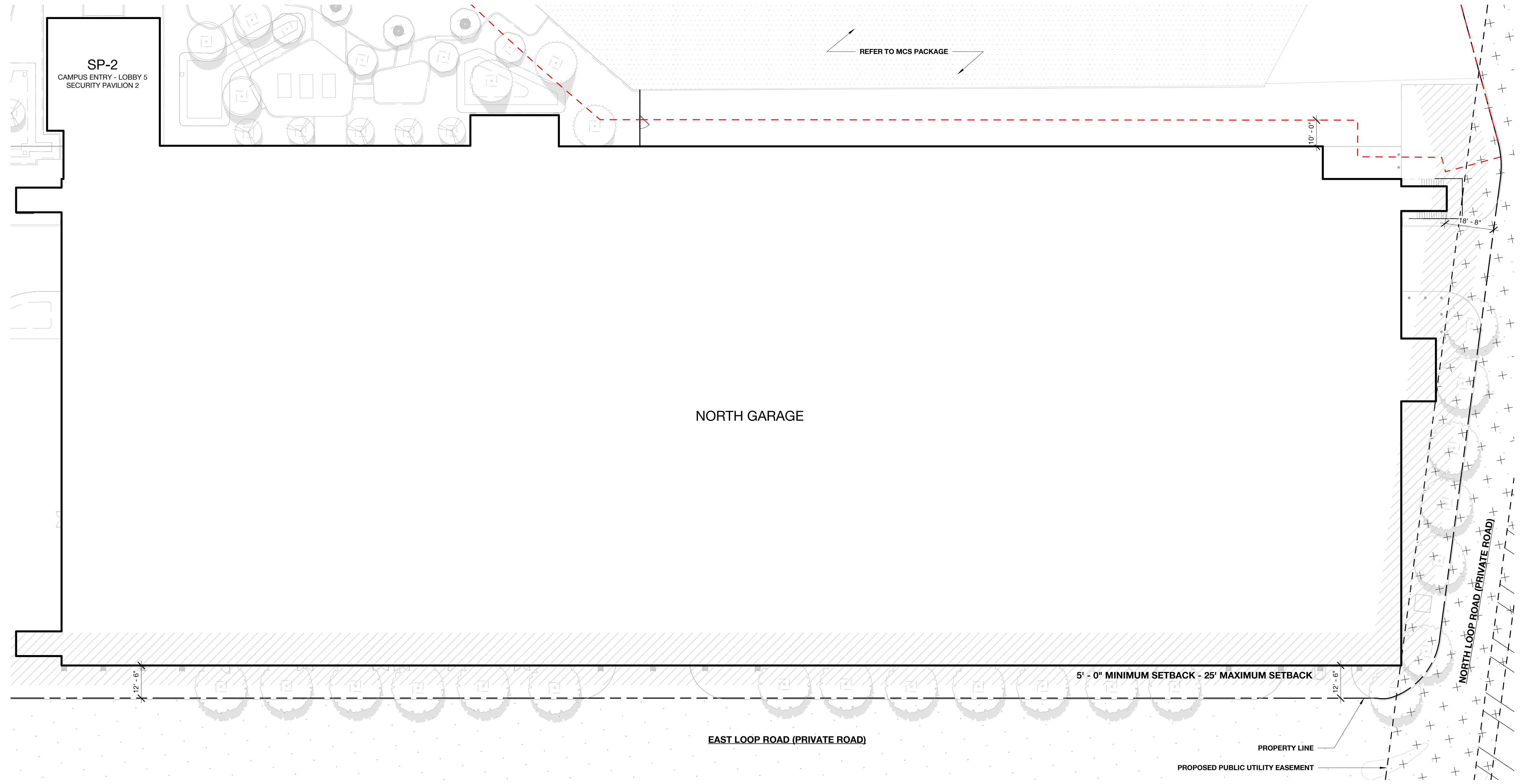
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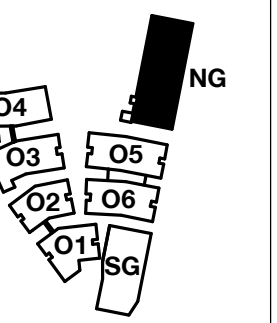
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Site Plan - South Garage

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Site Plan - North Garage

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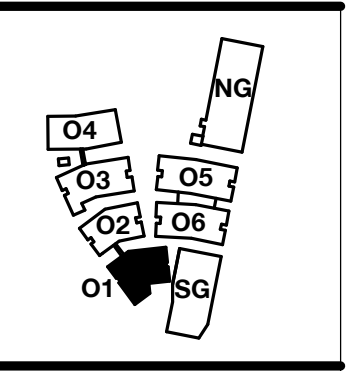
PROPERTY LINE
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LEGEND	
SWATCH	USE
[Yellow]	Office
[Light Green]	Lobby
[Light Blue]	Service
[Light Purple]	Terrace
[Light Brown]	Green Roof



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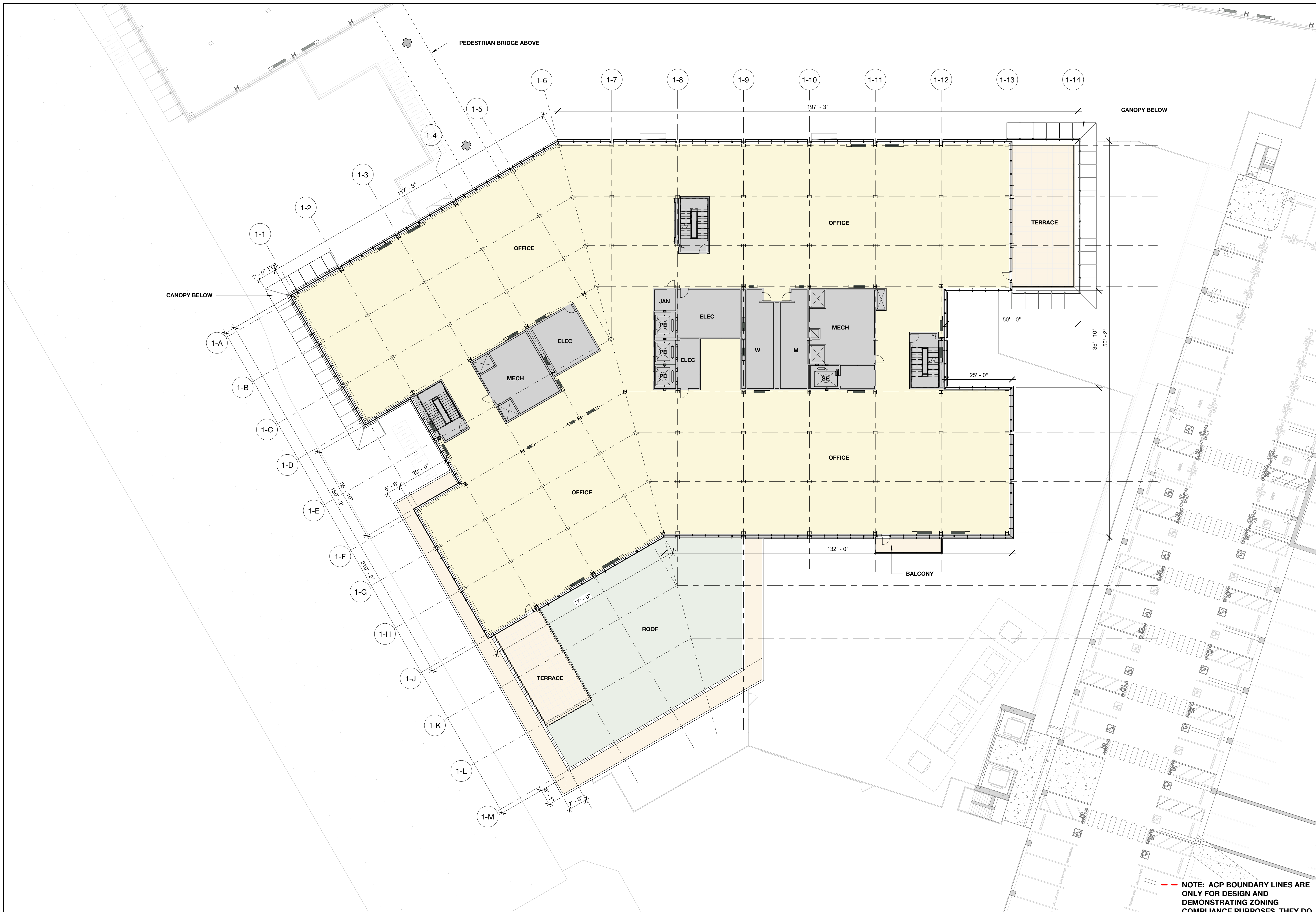
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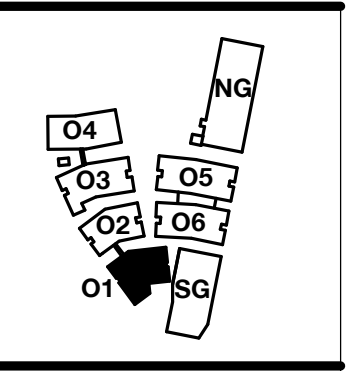
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Building 01 - Level 1
Floor Plan

DRAWING NO:
A2.01.1



LEGEND	
SWATCH	USE
[Light Yellow]	Office
[Light Green]	Lobby
[Light Blue]	Service
[Light Orange]	Terrace
[Light Purple]	Green Roof



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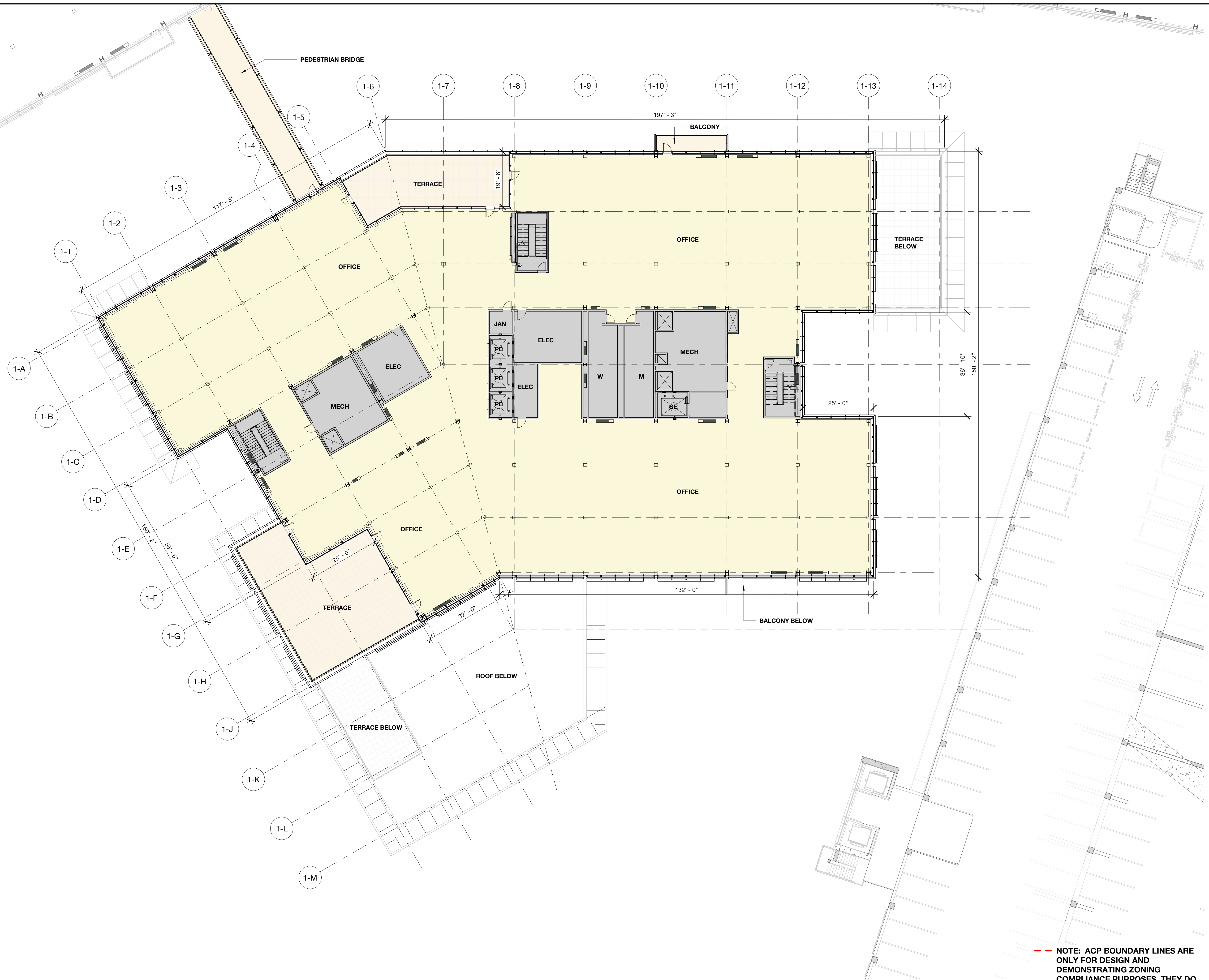
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 Building 01 - Level 2
 Floor Plan

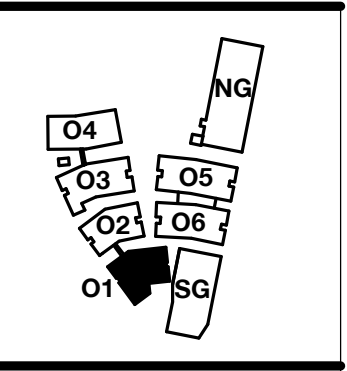
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LEGEND	
SWATCH	USE
[Yellow]	Office
[Light Green]	Lobby
[Grey]	Service
[Light Orange]	Terrace
[Green]	Green Roof

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 Menlo Park, CA

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NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

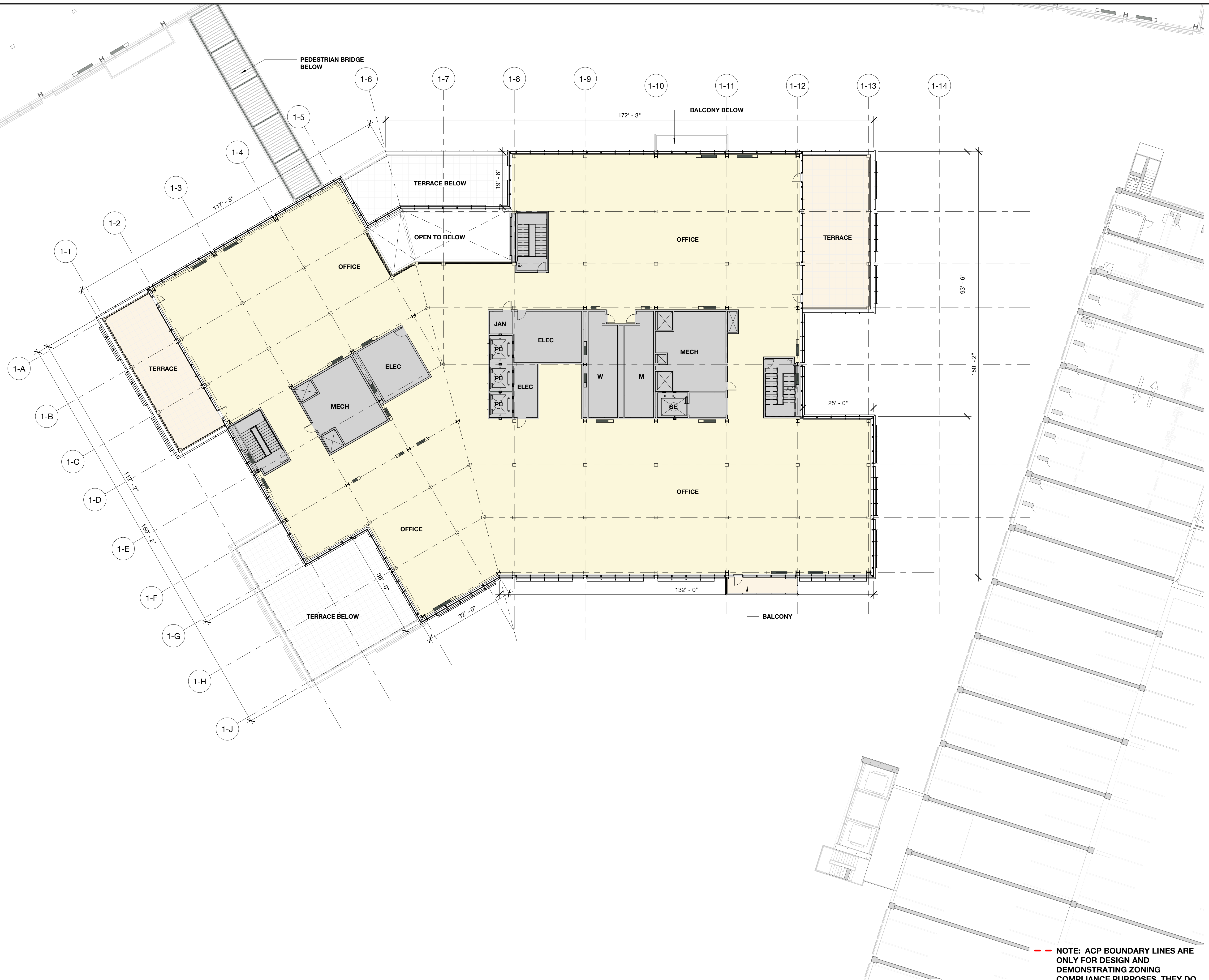
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DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
 Building 01 - Level 3
 Floor Plan

DRAWING NO:
A2.01.3

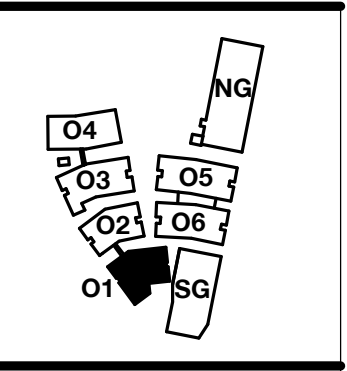
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LEGEND	
SWATCH	USE
[Light Yellow]	Office
[Light Orange]	Lobby
[Light Grey]	Service
[Light Green]	Terrace
[Dark Green]	Green Roof



--- NOTE: ACP BOUNDARY LINES ARE ONLY FOR DESIGN AND DEMONSTRATING ZONING COMPLIANCE PURPOSES. THEY DO NOT REPRESENT NOR IMPLY ANY PARCEL OR PROPERTY BOUNDARIES



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

SCALE: As indicated
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

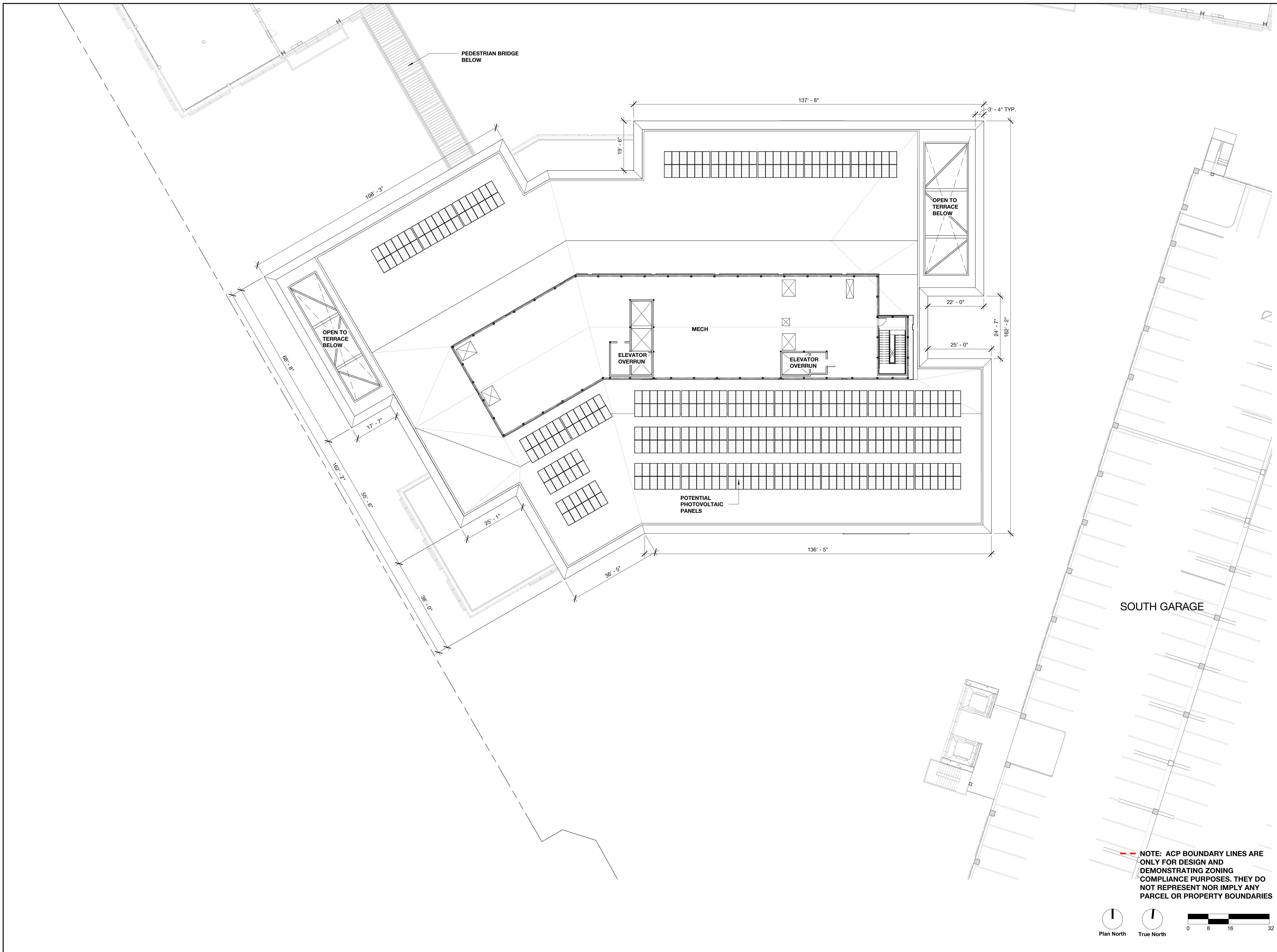
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DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

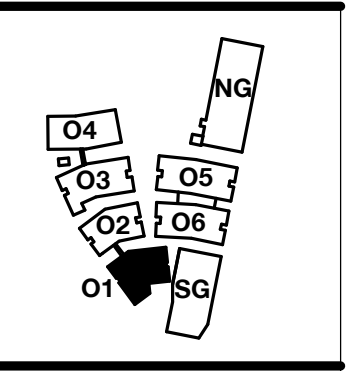
DRAWING TITLE:
 Building 01 - Level 4
 Floor Plan

DRAWING NO:
A2.01.4

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PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

SCALE: As indicated
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MILESTONES	
DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
Building 01 - Roof Plan

DRAWING NO:
A2.01.5

3/9/2023 1:36:59 PM



PROPERTY LINE
 PROPOSED EASEMENT LINE
 ALL IMPROVEMENTS SHOWN OUTSIDE OF THE PARCEL BOUNDARY AND WITHIN THE PROPOSED PUBLIC EASEMENT WILL BE A PART OF THE PUBLIC REALM PLANS AND HAVE BEEN SHOWN FOR REFERENCE ONLY.

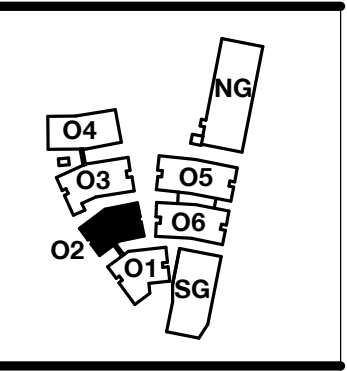
LEGEND

SWATCH	USE
[Light Yellow]	Office
[Light Gray]	Lobby
[Medium Gray]	Service
[Light Green]	Terrace
[Dark Green]	Green Roof

--- NOTE: ACP BOUNDARY LINES ARE ONLY FOR DESIGN AND DEMONSTRATING ZONING COMPLIANCE PURPOSES. THEY DO NOT REPRESENT NOR IMPLY ANY PARCEL OR PROPERTY BOUNDARIES

Plan North True North

0 8 16 32



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

SCALE: As indicated
 NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES

DATE	ISSUE
03/10/2023	ACP

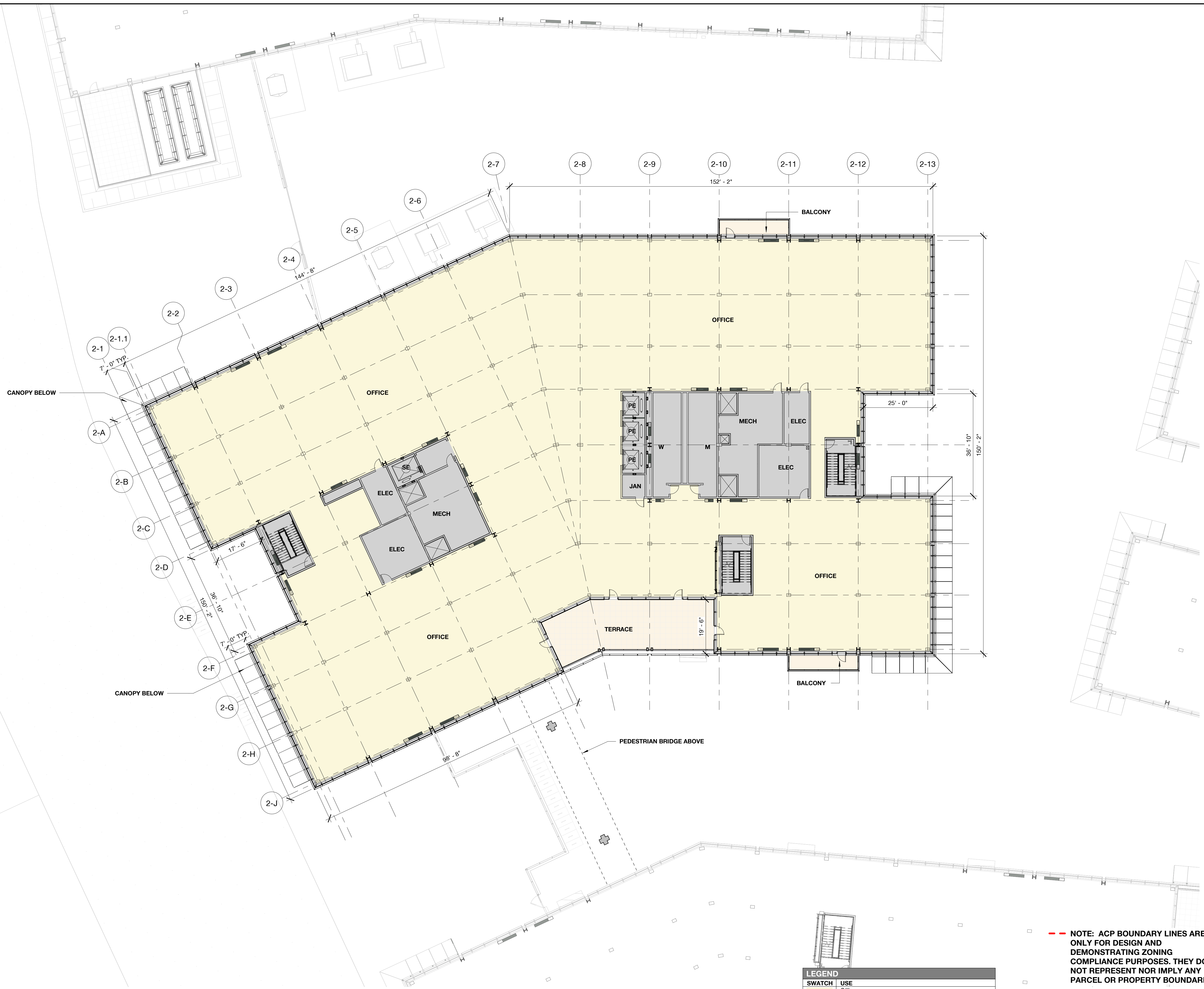
REVISIONS

NO.	DATE	ISSUE
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DRAWING TITLE:
 Building 02 - Level 1
 Floor Plan

DRAWING NO:
A2.02.1

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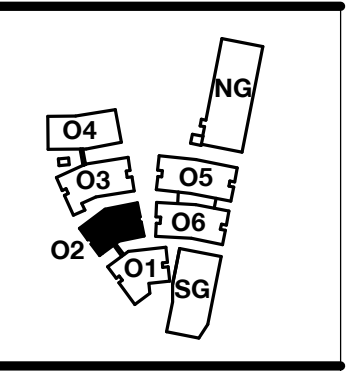


LEGEND	
SWATCH	USE
[Yellow]	Office
[Grey]	Lobby
[Light Grey]	Service
[Orange]	Terrace
[Light Orange]	Green Roof

--- NOTE: ACP BOUNDARY LINES ARE ONLY FOR DESIGN AND DEMONSTRATING ZONING COMPLIANCE PURPOSES. THEY DO NOT REPRESENT NOR IMPLY ANY PARCEL OR PROPERTY BOUNDARIES

Plan North True North

0 8 16 32



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

SCALE: As indicated
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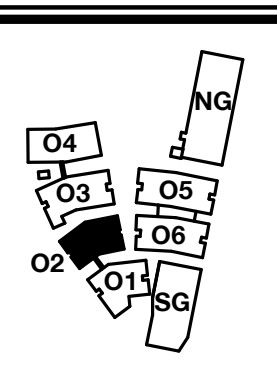
MILESTONES	
DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
Building 02 - Level 2
 Floor Plan

DRAWING NO:
A2.02.2

3/9/2023 1:38:02 PM



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

SCALE: As indicated
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MILESTONES	
DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
Building 02 - Level 3
 Floor Plan

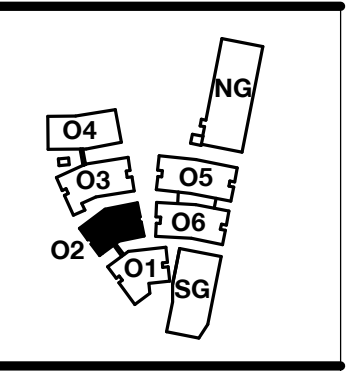
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A2.02.3

3/9/2023 1:38:32 PM



LEGEND	
SWATCH	USE
[Yellow]	Office
[Light Blue]	Lobby
[Grey]	Service
[Light Orange]	Terrace
[Green]	Green Roof

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PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

SCALE: As indicated
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MILESTONES	
DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
 Building 02 - Level 4
 Floor Plan

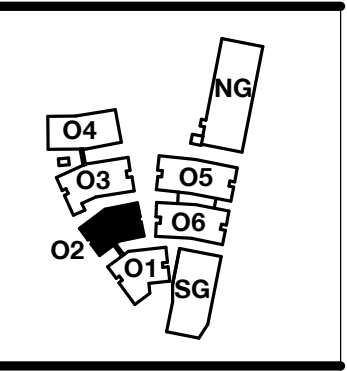
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LEGEND	
SWATCH	USE
[Yellow Swatch]	Office
[Light Yellow Swatch]	Lobby
[Grey Swatch]	Service
[Orange Swatch]	Terrace
[Green Swatch]	Green Roof



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

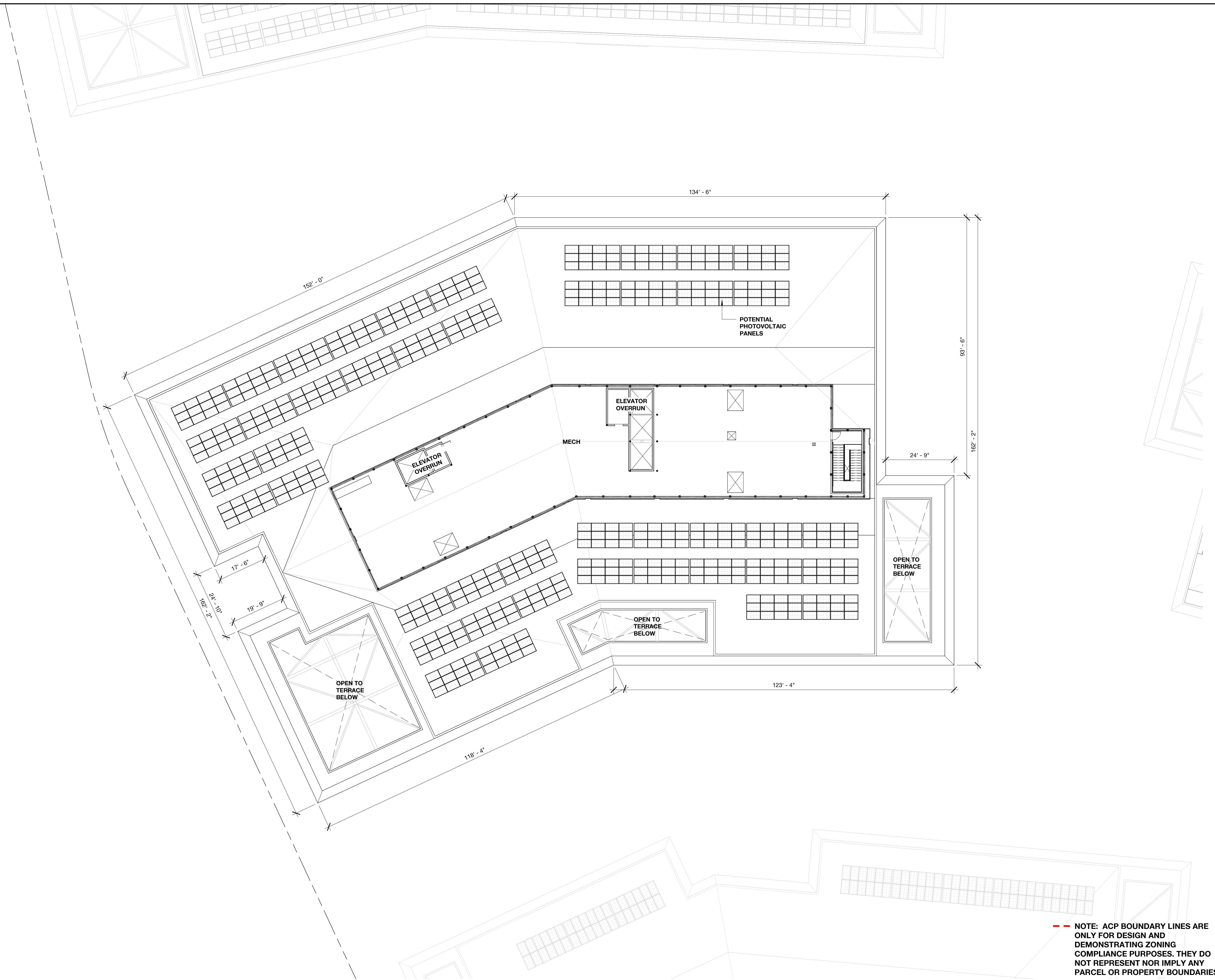
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MILESTONES	
DATE	ISSUE
03/10/2023	ACP

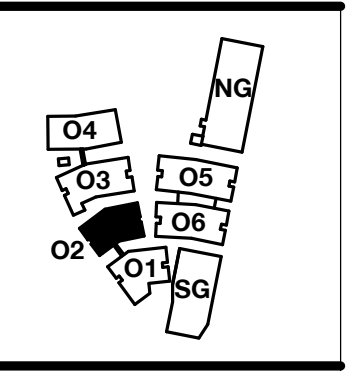
REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
 Building 02 - Level 5
 Floor Plan

DRAWING NO:
A2.02.5



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PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

SCALE: As indicated
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MILESTONES	
DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
Building 02 - Roof Plan

DRAWING NO:
A2.02.6

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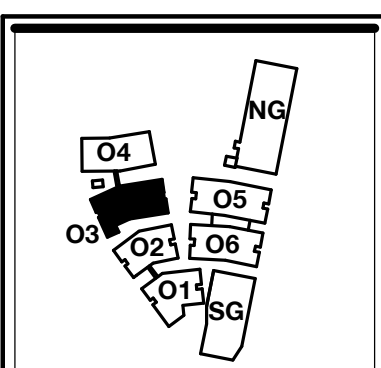
PROPERTY LINE

PROPOSED EASEMENT LINE

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LEGEND	
SWATCH	USE
[Yellow Swatch]	Office
[Light Green Swatch]	Lobby
[Light Blue Swatch]	Service
[Light Purple Swatch]	Terrace
[Light Orange Swatch]	Green Roof

NOTE: ACP BOUNDARY LINES ARE ONLY FOR DESIGN AND DEMONSTRATING ZONING COMPLIANCE PURPOSES. THEY DO NOT REPRESENT NOR IMPLY ANY PARCEL OR PROPERTY BOUNDARIES



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 (Portion)
Menlo Park, CA

SCALE: As indicated
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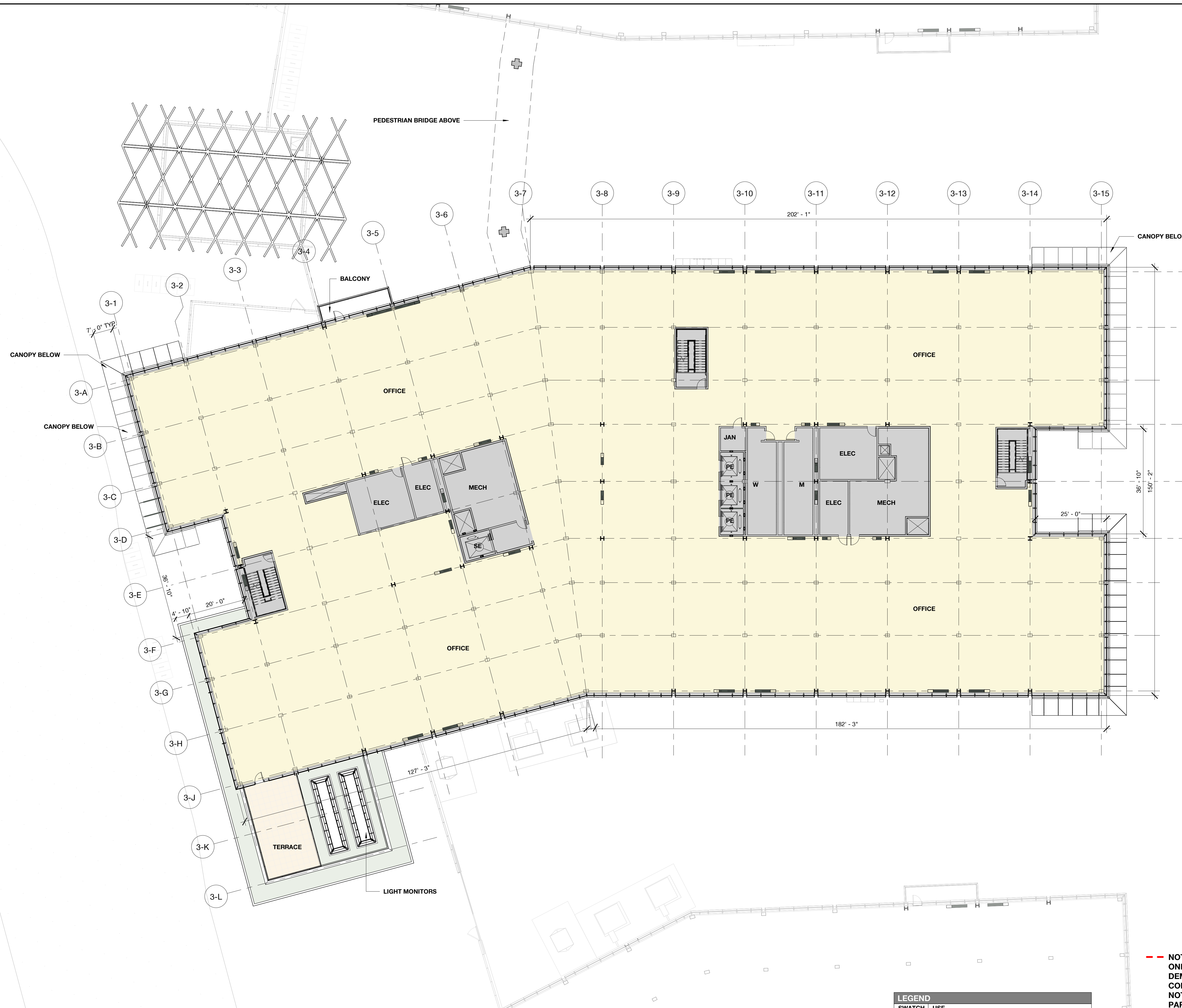
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DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
Building 03 - Level 1
Floor Plan

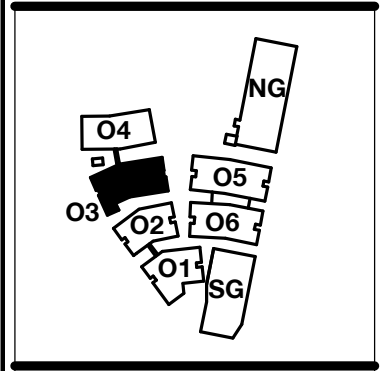
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LEGEND	
SWATCH	USE
[Yellow]	Office
[Light Green]	Lobby
[Grey]	Service
[Light Blue]	Terrace
[Dark Green]	Green Roof

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PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

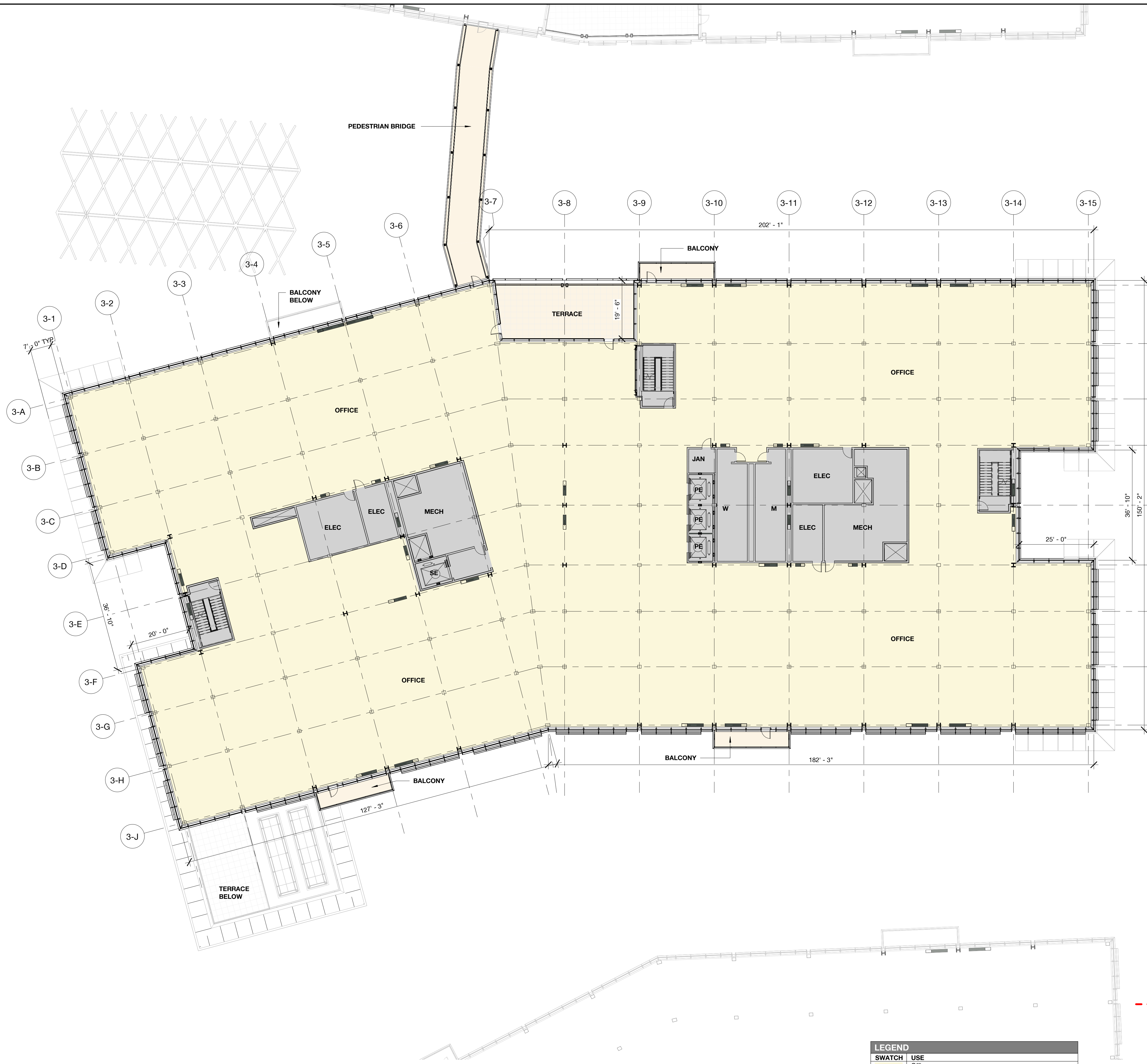
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MILESTONES	
DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

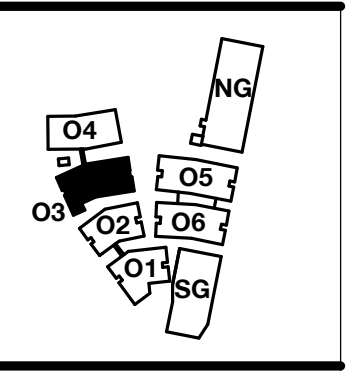
DRAWING TITLE:
 Building 03 - Level 2
 Floor Plan

DRAWING NO:
A2.03.2



LEGEND	
SWATCH	USE
[Yellow]	Office
[Light Blue]	Lobby
[Grey]	Service
[Orange]	Terrace
[Light Green]	Green Roof

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PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

SCALE: As indicated
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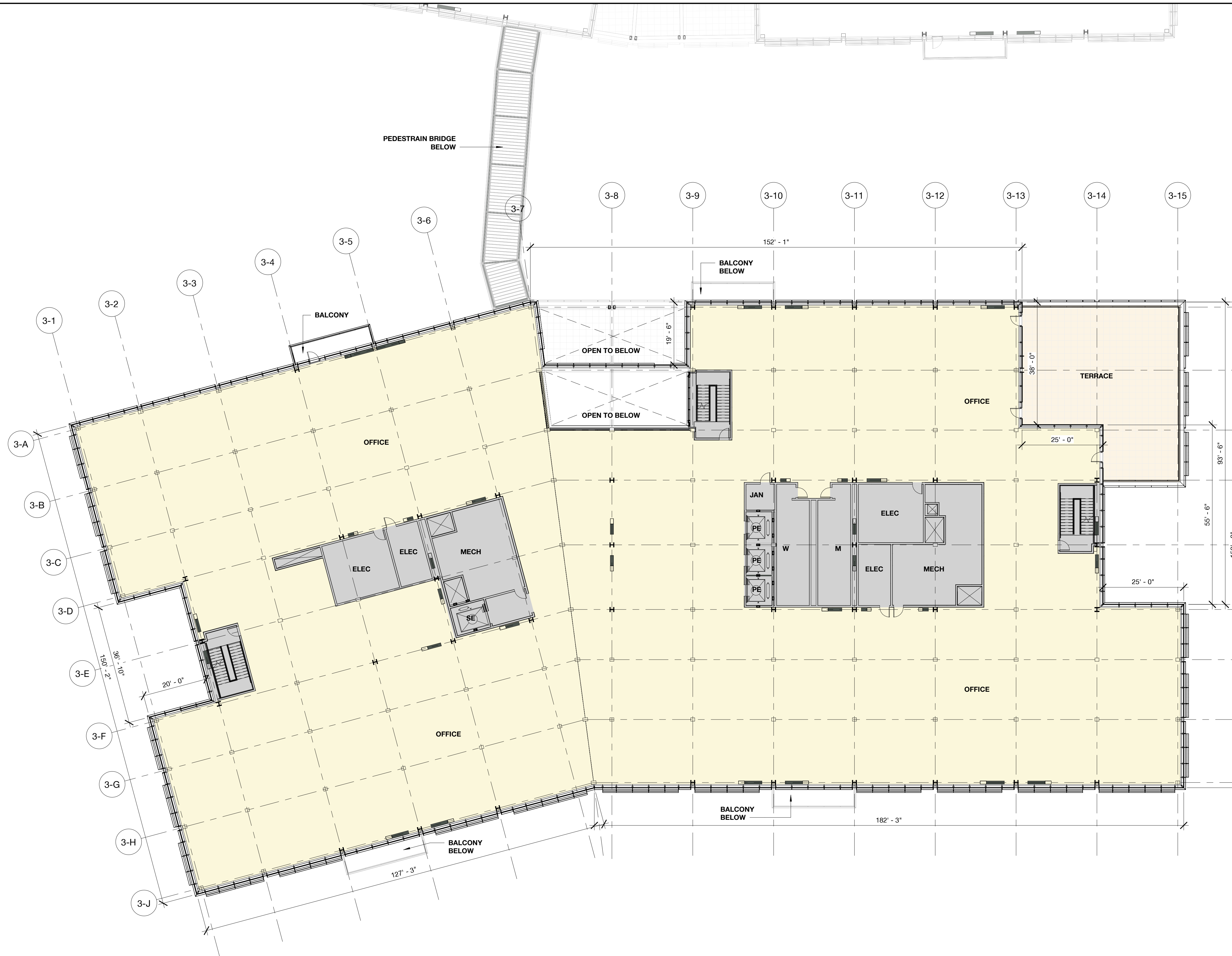
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DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
 Building 03 - Level 3
 Floor Plan

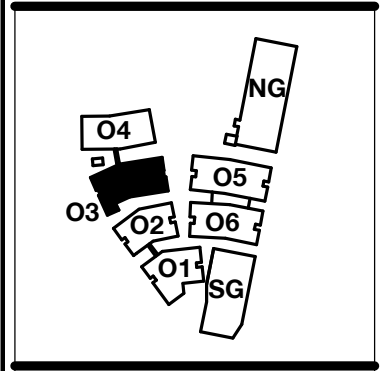
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A2.03.3

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LEGEND	
SWATCH	USE
[Yellow]	Office
[Grey]	Lobby
[Light Grey]	Service
[Orange]	Terrace
[White]	Green Roof

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PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

SCALE: As indicated
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MILESTONES	
DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
 Building 03 - Level 4
 Floor Plan

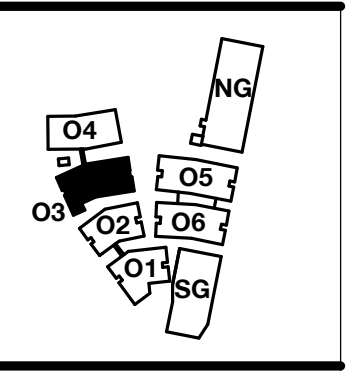
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LEGEND	
SWATCH	USE
[Light Yellow]	Office
[Light Orange]	Lobby
[Light Grey]	Service
[Light Tan]	Terrace
[Green]	Green Roof

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PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

SCALE: As indicated
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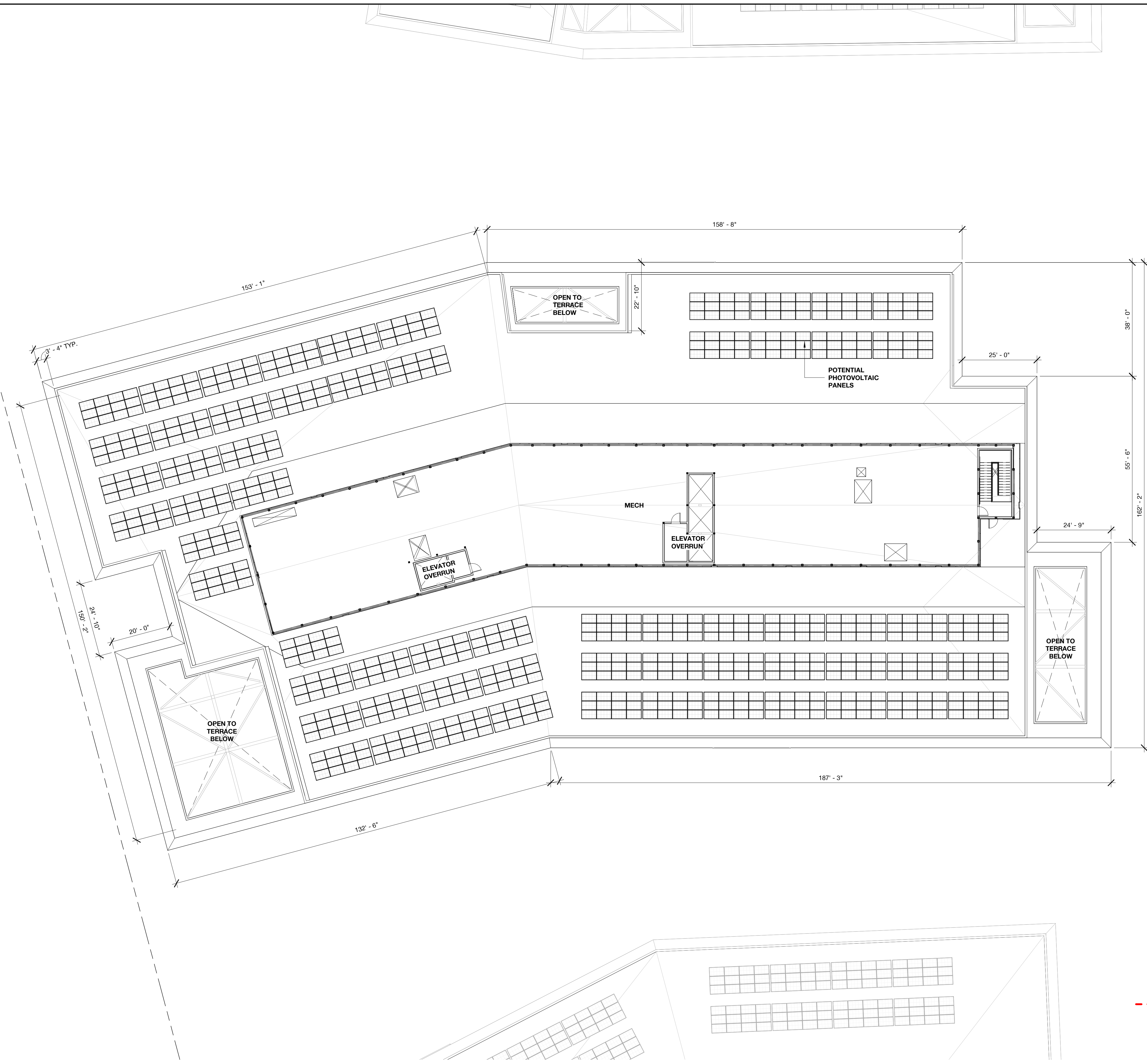
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03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

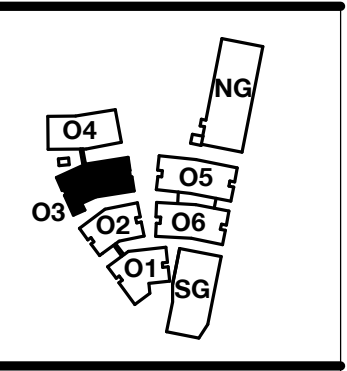
DRAWING TITLE:
 Building 03 - Level 5
 Floor Plan

DRAWING NO:
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PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 (Portion)
Menlo Park, CA

SCALE: As indicated
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MILESTONES	
DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
Building 03 - Roof Plan

DRAWING NO:
A2.03.6

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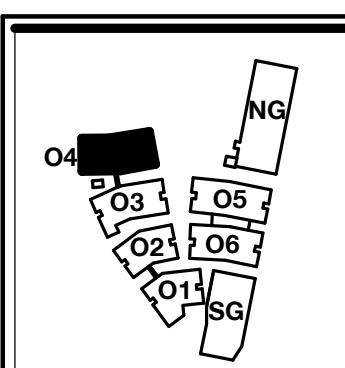
PROPERTY LINE
PROPOSED EASEMENT LINE

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LEGEND	
SWATCH	USE
[Yellow Swatch]	Office
[Green Swatch]	Lobby
[Grey Swatch]	Service
[Light Green Swatch]	Terrace
[Dark Green Swatch]	Green Roof



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PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 (Portion)
Menlo Park, CA

SCALE: As indicated
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MILESTONES	
DATE	ISSUE
03/10/2023	ACP

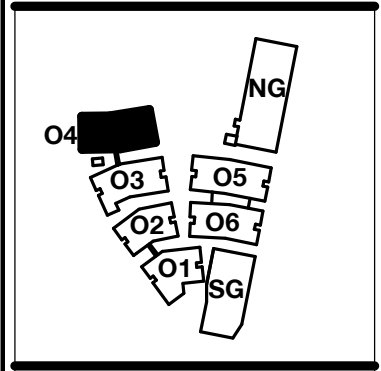
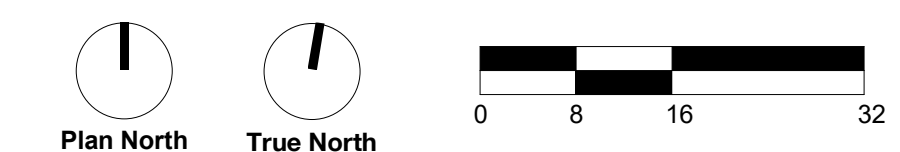
REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
Building 04 - Level 1
Floor Plan

DRAWING NO:
A2.04.1



LEGEND	
SWATCH	USE
[Light Yellow]	Office
[Light Green]	Lobby
[Light Blue]	Service
[Light Orange]	Terrace
[Light Purple]	Green Roof



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

SCALE: As indicated
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MILESTONES	
DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

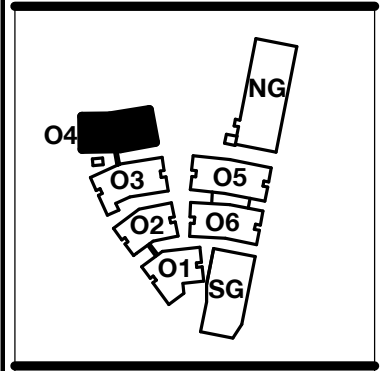
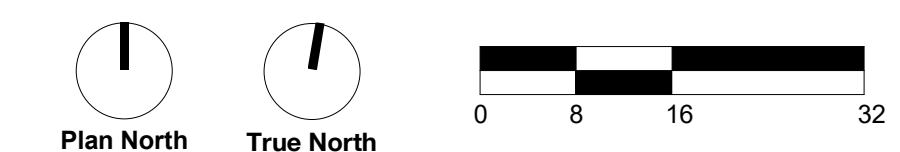
DRAWING TITLE:
 Building 04 - Level 2
 Floor Plan

DRAWING NO:
A2.04.2



LEGEND	
SWATCH	USE
[Light Yellow]	Office
[Light Blue]	Lobby
[Light Green]	Service
[Light Orange]	Terrace
[Light Purple]	Green Roof

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PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

SCALE: As indicated
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MILESTONES	
DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

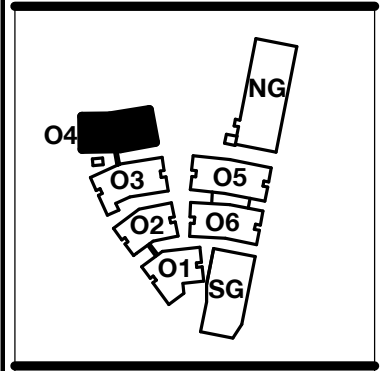
DRAWING TITLE:
 Building 04 - Level 3
 Floor Plan

DRAWING NO:
A2.04.3



LEGEND	
SWATCH	USE
[Yellow]	Office
[Light Blue]	Lobby
[Light Green]	Service
[Light Orange]	Terrace
[Light Purple]	Green Roof

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PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

SCALE: As indicated
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03/10/2023	ACP

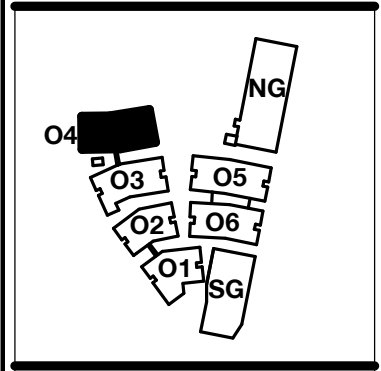
REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
 Building 04 - Level 4
 Floor Plan

DRAWING NO:
A2.04.4



LEGEND	
SWATCH	USE
[Yellow]	Office
[Light Blue]	Lobby
[Light Green]	Service
[Light Orange]	Terrace
[Light Purple]	Green Roof



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

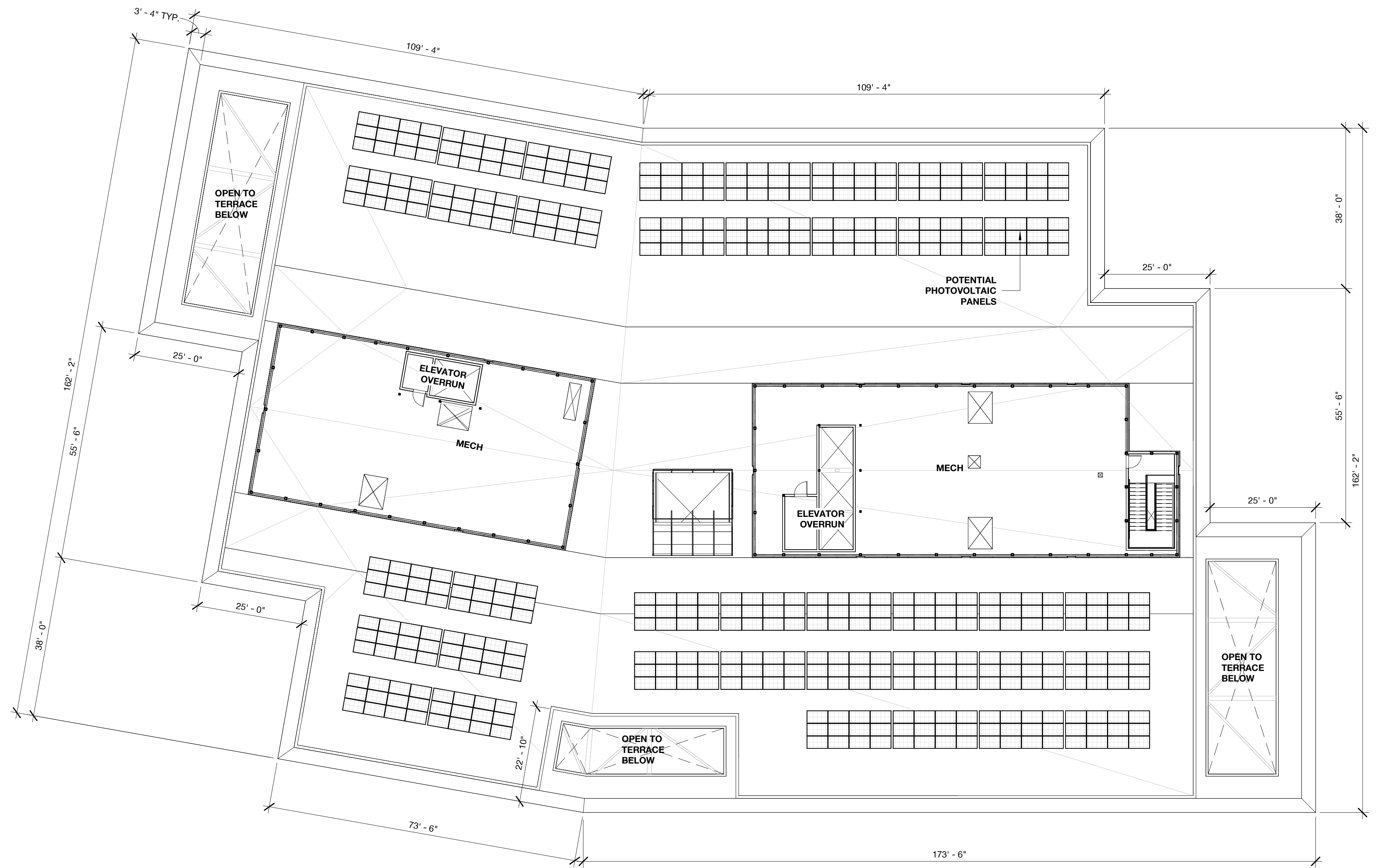
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MILESTONES	
DATE	ISSUE
03/10/2023	ACP

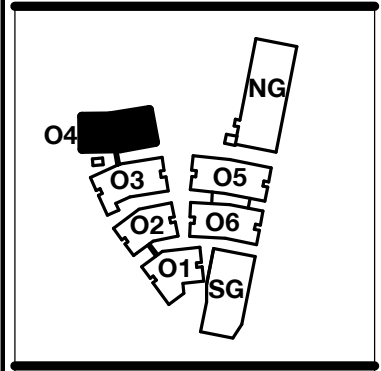
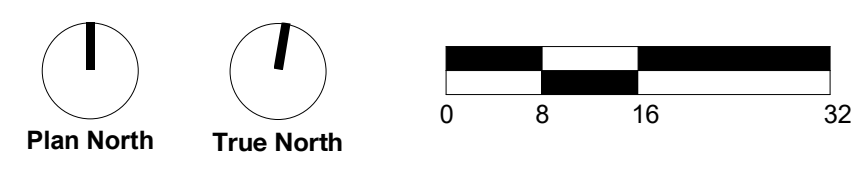
REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
 Building 04 - Level 5
 Floor Plan

DRAWING NO:
A2.04.5



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PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 (Portion)
Menlo Park, CA

SCALE: As indicated
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. FOR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

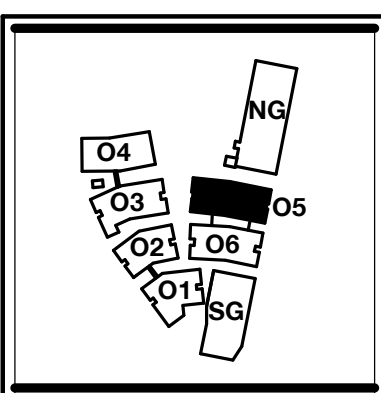
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DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
Building 04 - Roof Plan

DRAWING NO:
A2.04.6

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PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

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MILESTONES	
DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

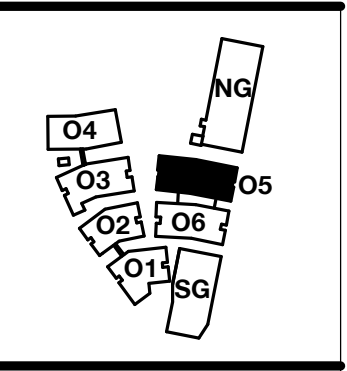
DRAWING TITLE:
Building 05 - Level 1
 Floor Plan

DRAWING NO:
A2.05.1



LEGEND	
SWATCH	USE
[Yellow Swatch]	Office
[Grey Swatch]	Lobby
[Light Grey Swatch]	Service
[White Swatch]	Terrace
[Green Swatch]	Green Roof

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PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

SCALE: As indicated
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MILESTONES	
DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
 Building 05 - Level 2
 Floor Plan

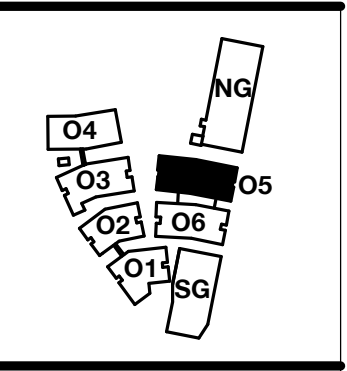
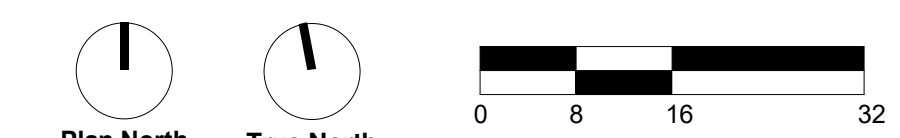
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A2.05.2

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LEGEND	
SWATCH	USE
[Yellow]	Office
[Light Green]	Lobby
[Light Blue]	Service
[Light Purple]	Terrace
[Light Orange]	Green Roof

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PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

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MILESTONES	
DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
 Building 05 - Level 3
 Floor Plan

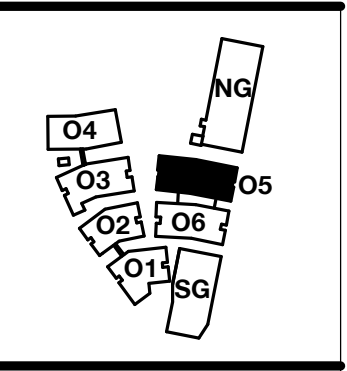
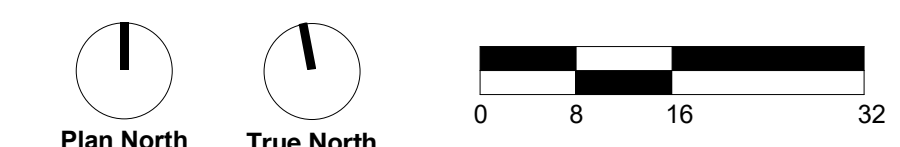
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3/9/2023 1:45:46 PM



LEGEND	
SWATCH	USE
[Yellow]	Office
[Grey]	Lobby
[Light Grey]	Service
[Orange]	Terrace
[White]	Green Roof

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PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

SCALE: As indicated
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MILESTONES	
DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

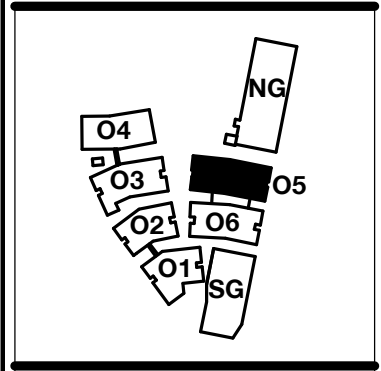
DRAWING TITLE:
 Building 05 - Level 4
 Floor Plan

DRAWING NO:
A2.05.4



LEGEND	
SWATCH	USE
[Yellow Swatch]	Office
[Grey Swatch]	Lobby
[Light Orange Swatch]	Service
[Light Orange Swatch]	Terrace
[Green Swatch]	Green Roof

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PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

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MILESTONES	
DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
 Building 05 - Level 5
 Floor Plan

DRAWING NO:
A2.05.5

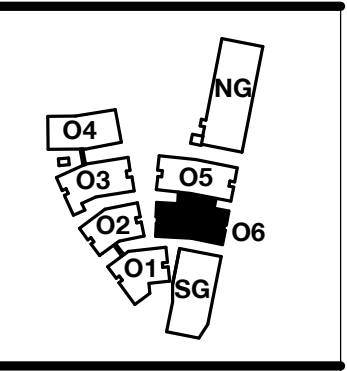
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LEGEND	
SWATCH	USE
[Light Yellow]	Office
[Light Gray]	Lobby
[Medium Gray]	Service
[Dark Gray]	Terrace
[Green]	Green Roof



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PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

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MILESTONES	
DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
 Building 06 - Level 1
 Floor Plan

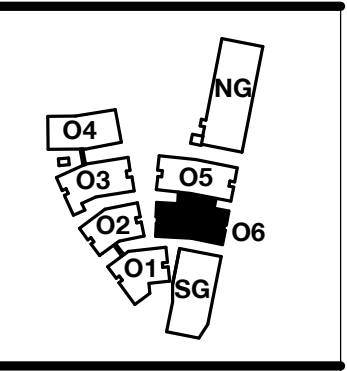
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LEGEND	
SWATCH	USE
[Yellow Swatch]	Office
[Light Blue Swatch]	Lobby
[Grey Swatch]	Service
[Light Green Swatch]	Terrace
[Dark Green Swatch]	Green Roof

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PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

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MILESTONES	
DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
 Building 06 - Level 2
 Floor Plan

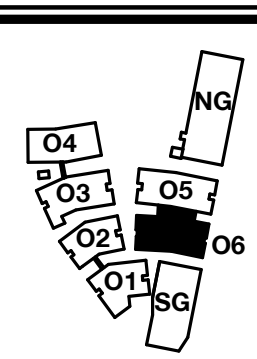
DRAWING NO:
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LEGEND	
SWATCH	USE
[Yellow]	Office
[Grey]	Lobby
[Light Grey]	Service
[Light Green]	Terrace
[Green]	Green Roof

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PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 (Portion)
Menlo Park, CA

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MILESTONES	
DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
Building 06 - Level 3
Floor Plan

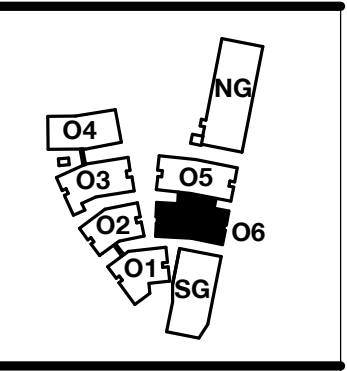
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LEGEND	
SWATCH	USE
[Yellow]	Office
[Grey]	Lobby
[Light Grey]	Service
[Light Orange]	Terrace
[Green]	Green Roof

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PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

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MILESTONES	
DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
 Building 06 - Level 4
 Floor Plan

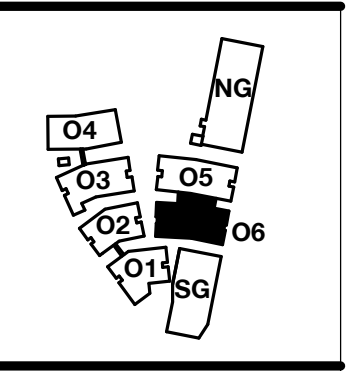
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A2.06.4

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LEGEND	
SWATCH	USE
[Yellow]	Office
[Light Blue]	Lobby
[Light Green]	Service
[Light Orange]	Terrace
[Light Purple]	Green Roof

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PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

SCALE: As indicated
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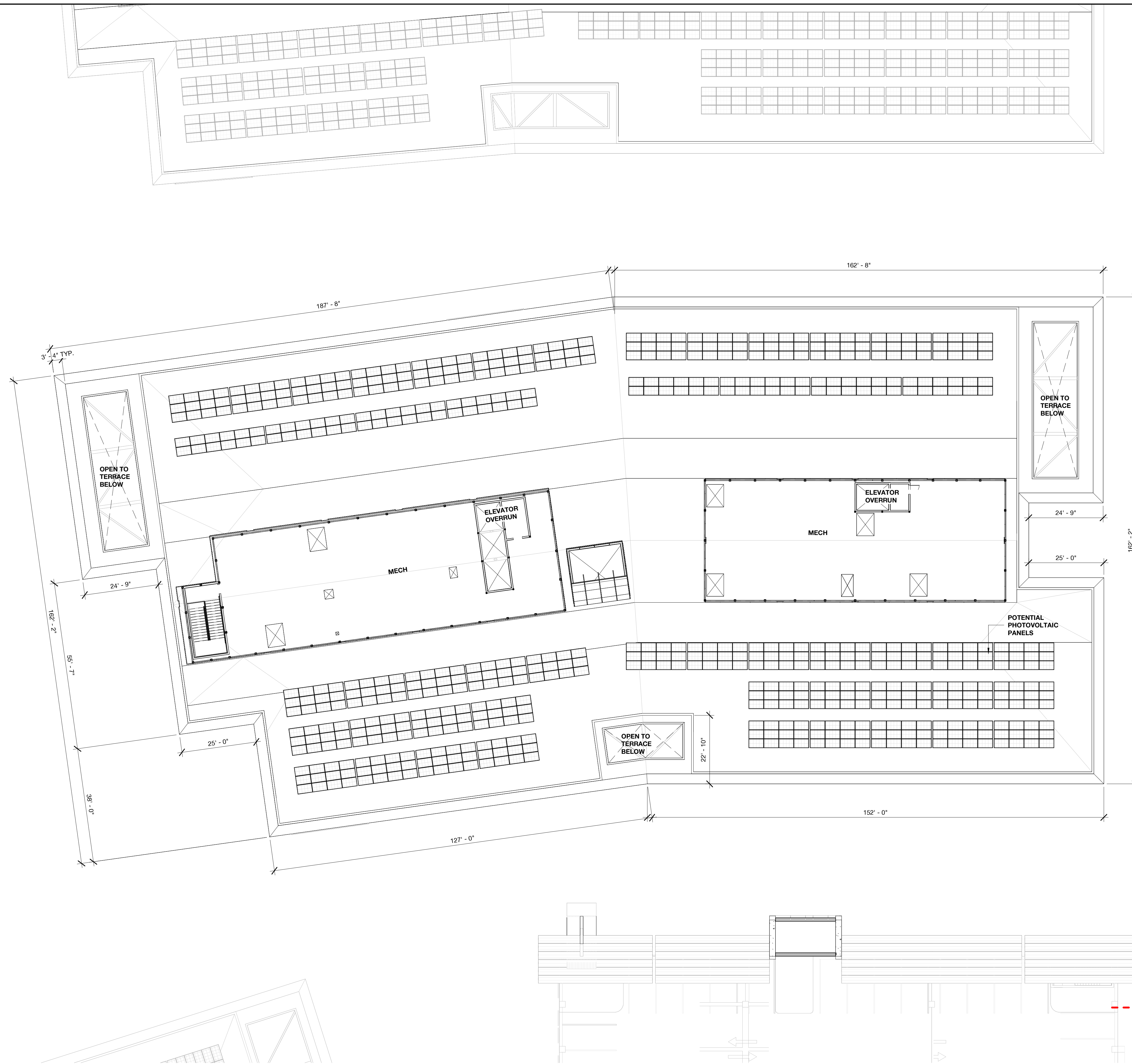
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03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

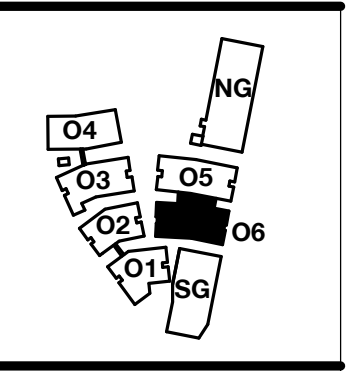
DRAWING TITLE:
 Building 06 - Level 5
 Floor Plan

DRAWING NO:
A2.06.5

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PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

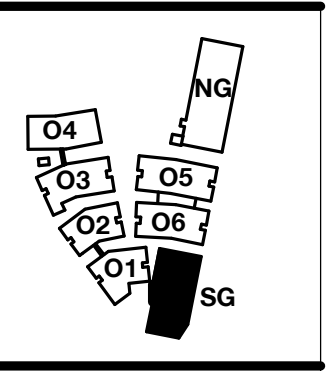
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MILESTONES	
DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
Building 06 - Roof Plan

DRAWING NO:
A2.06.6



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

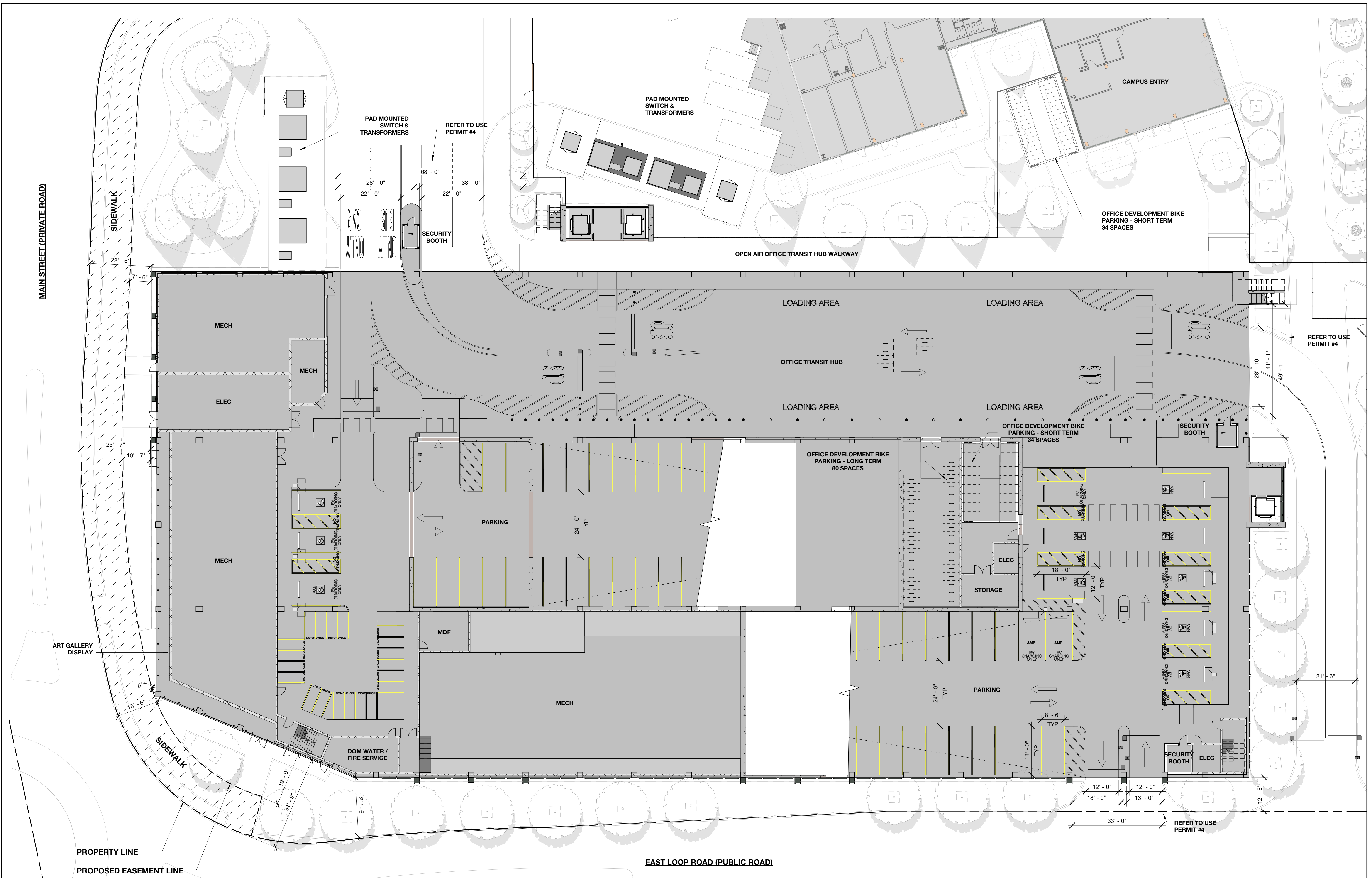
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MILESTONES	
DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
 South Garage - Level 1
 Floor Plan

DRAWING NO:
A2.07.1



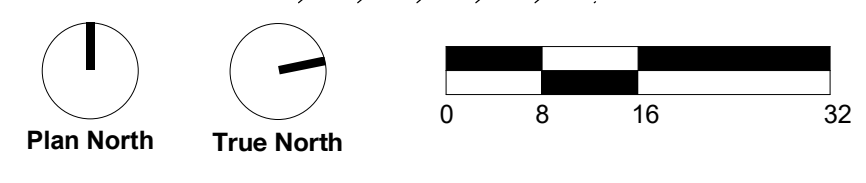
ALL IMPROVEMENTS SHOWN OUTSIDE OF THE PARCEL BOUNDARY AND WITHIN THE PROPOSED PUBLIC EASEMENT WILL BE A PART OF THE PUBLIC REALM PLANS AND HAVE BEEN SHOWN FOR REFERENCE ONLY.

ACP_SOUTH GARAGE PARKING SCHEDULE	
Type	Count
EV Future	132
EV HC Ambulatory	8
EV HC Standard	8
EV HC Van	3
EV Standard	245
Expectant Mother	14
HC Standard	20
HC Van	4
Standard	844
Vanpool	20
TOTAL:	1298

ACP_SG LEVEL 1 PARKING SCHEDULE	
Type	Count
EV HC Ambulatory	2
EV HC Standard	3
EV HC Van	3
HC Standard	1
HC Van	4
Standard	91
TOTAL:	104

GROSS AREA - SG	
Level	Area
SG LEVEL 1	74,813 SF
SG LEVEL 2	45,547 SF
SG LEVEL 3	75,858 SF
SG LEVEL 4	75,117 SF
SG LEVEL 5	75,117 SF
SG LEVEL 6	62,213 SF
SG LEVEL 7	57,496 SF
TOTAL	466,162 SF

--- NOTE: ACP BOUNDARY LINES ARE ONLY FOR DESIGN AND DEMONSTRATING ZONING COMPLIANCE PURPOSES. THEY DO NOT REPRESENT NOR IMPLY ANY PARCEL OR PROPERTY BOUNDARIES

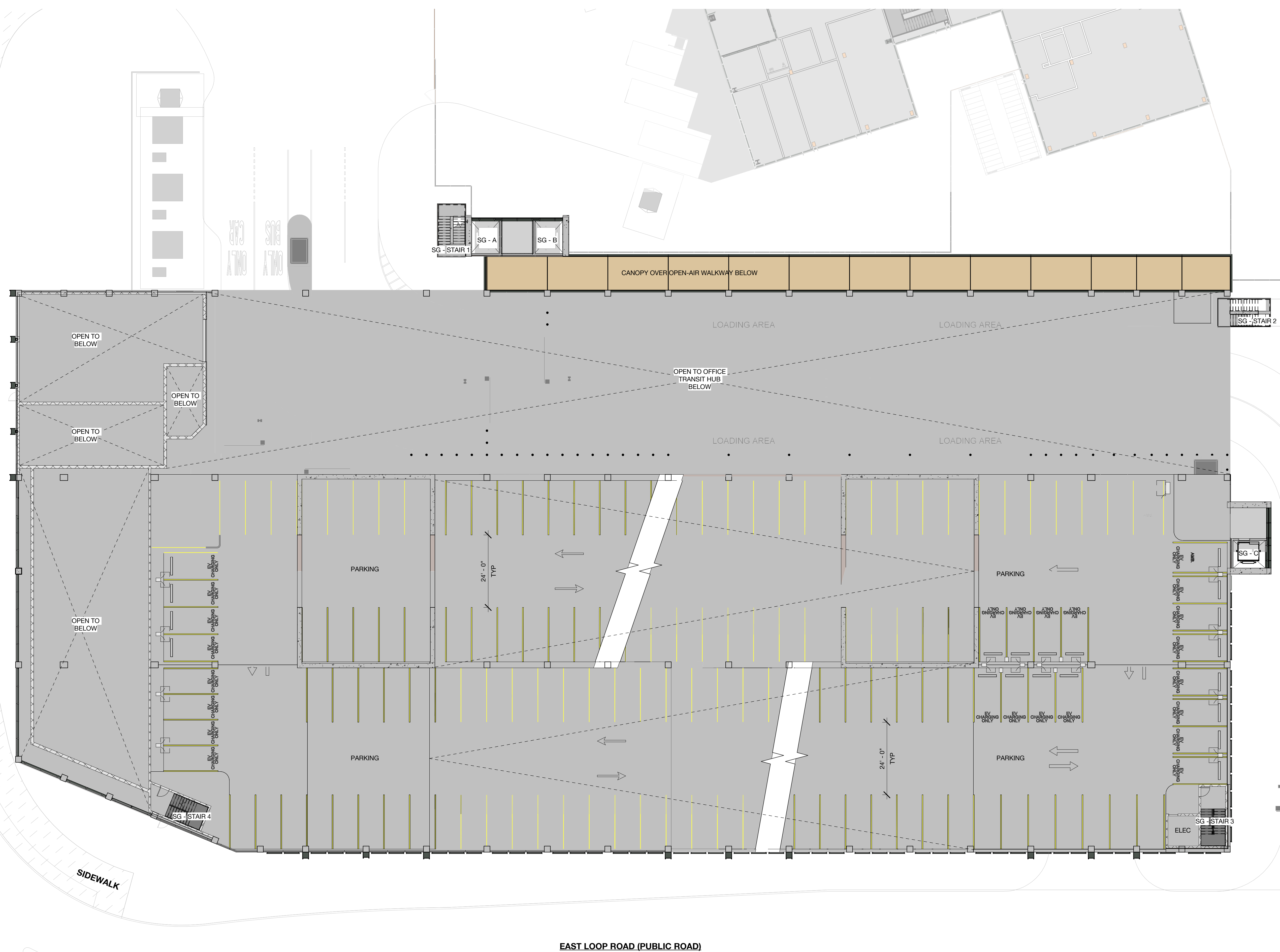


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MAIN STREET (PRIVATE ROAD)

SIDEWALK



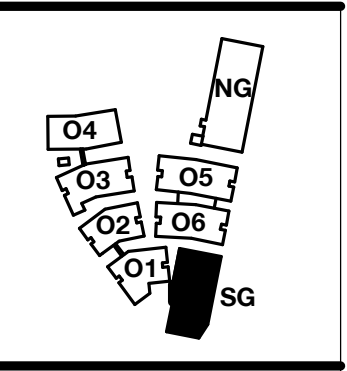
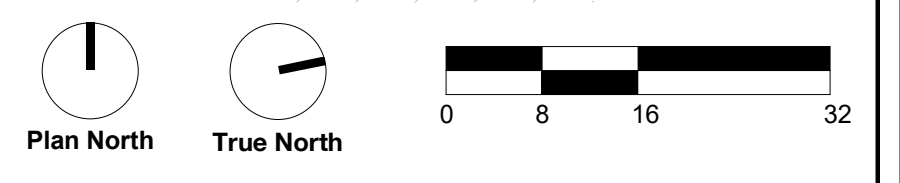
EAST LOOP ROAD (PUBLIC ROAD)

ACP_SOUTH GARAGE PARKING SCHEDULE	
Type	Count
EV Future	132
EV HC Ambulatory	8
EV HC Standard	8
EV HC Van	3
EV Standard	245
Expectant Mother	14
HC Standard	20
HC Van	4
Standard	844
Vanpool	20
TOTAL:	1298

ACP_SG LEVEL 2 PARKING SCHEDULE	
Type	Count
EV Future	13
EV HC Ambulatory	2
EV Standard	2
Standard	127
TOTAL:	144

GROSS AREA - SG	
Level	Area
SG LEVEL 1	74,813 SF
SG LEVEL 2	45,547 SF
SG LEVEL 3	75,858 SF
SG LEVEL 4	75,117 SF
SG LEVEL 5	75,117 SF
SG LEVEL 6	62,213 SF
SG LEVEL 7	57,496 SF
TOTAL	466,162 SF

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PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 (Portion)
Menlo Park, CA

SCALE: As indicated
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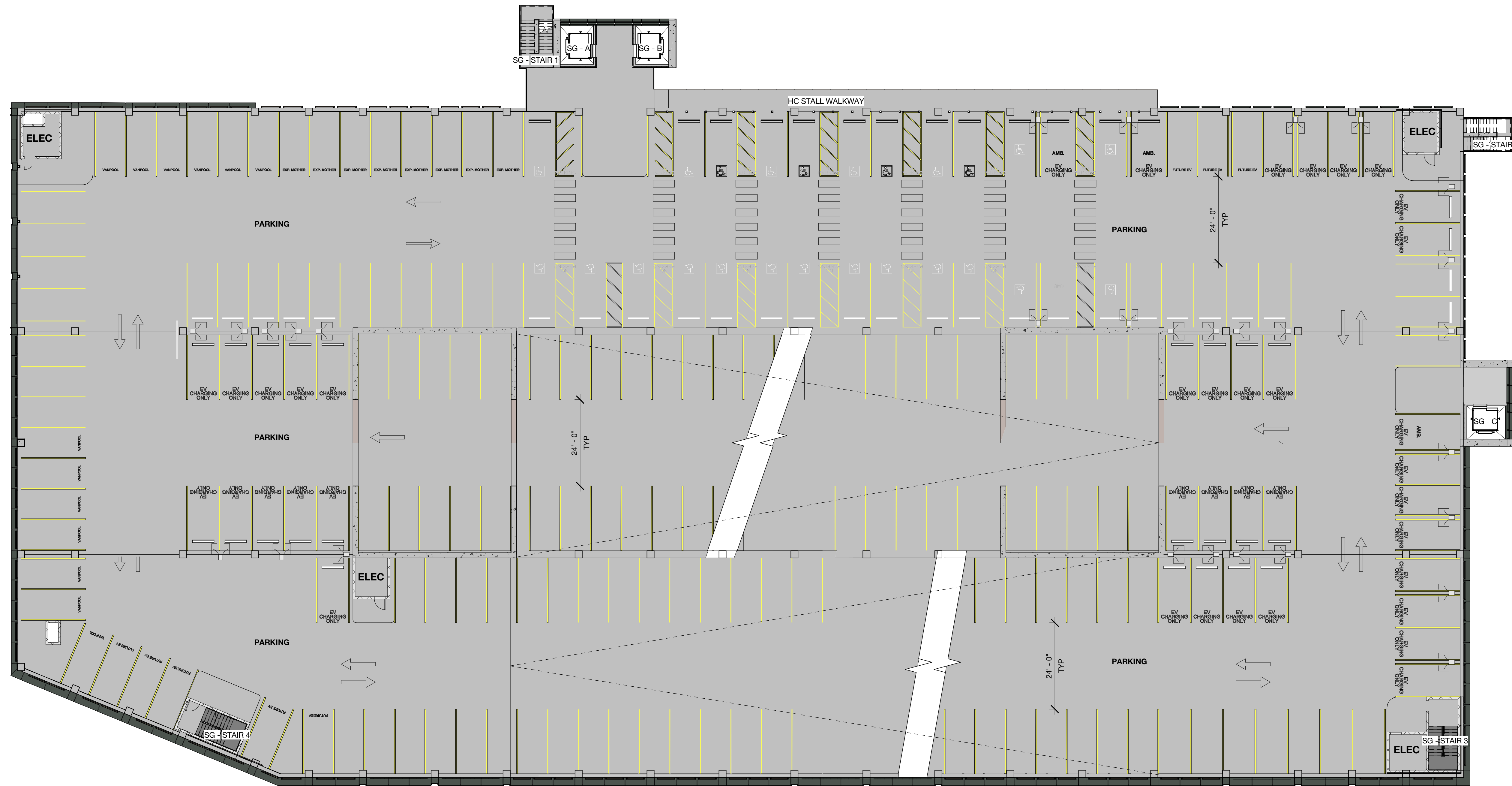
MILESTONES	
DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
South Garage - Level 2
Floor Plan

DRAWING NO:
A2.07.2

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ACP_SOUTH GARAGE PARKING SCHEDULE

Type	Count
EV Future	132
EV HC Ambulatory	8
EV HC Standard	8
EV HC Van	3
EV Standard	245
Expectant Mother	14
HC Standard	20
HC Van	4
Standard	844
Vanpool	20
TOTAL:	1298

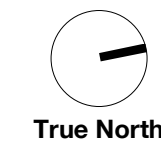
ACP_SG LEVEL 3 PARKING SCHEDULE

Type	Count
EV Future	7
EV HC Ambulatory	4
EV HC Standard	5
EV Standard	31
Expectant Mother	14
HC Standard	19
Standard	127
Vanpool	20
TOTAL:	227

GROSS AREA - SG

Level	Area
SG LEVEL 1	74,813 SF
SG LEVEL 2	45,547 SF
SG LEVEL 3	75,858 SF
SG LEVEL 4	75,117 SF
SG LEVEL 5	75,117 SF
SG LEVEL 6	62,213 SF
SG LEVEL 7	57,496 SF
TOTAL	466,162 SF

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SCALE: As indicated
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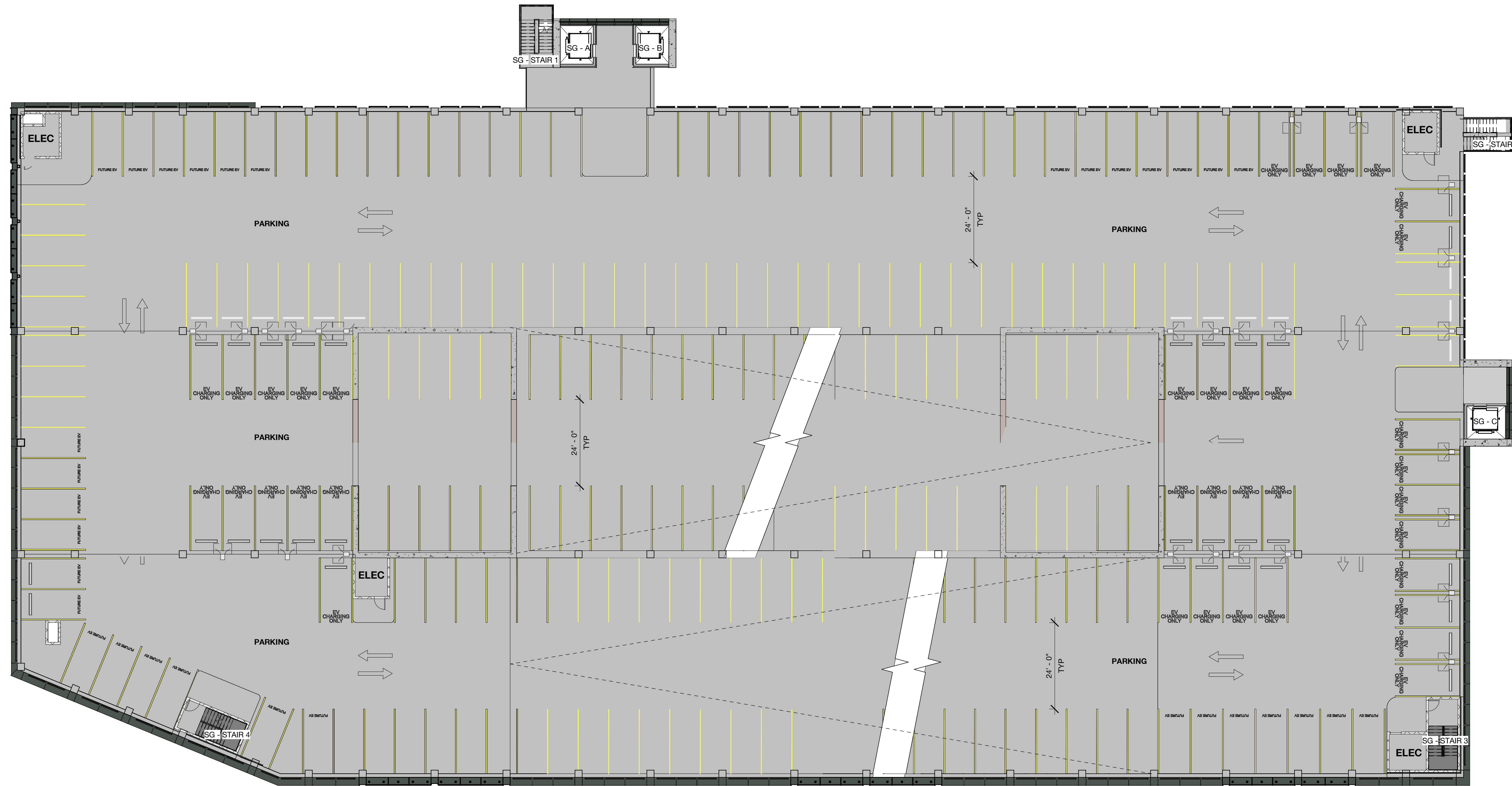
MILESTONES

DATE	ISSUE
03/10/2023	ACP

REVISIONS

NO.	DATE	ISSUE

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ACP_SOUTH GARAGE PARKING SCHEDULE

Type	Count
EV Future	132
EV HC Ambulatory	8
EV HC Standard	8
EV HC Van	3
EV Standard	245
Expectant Mother	14
HC Standard	20
HC Van	4
Standard	844
Vanpool	20
TOTAL:	1298

ACP_SG LEVEL 4 PARKING SCHEDULE

Type	Count
EV Future	28
EV Standard	53
Standard	158
TOTAL:	239

GROSS AREA - SG

Level	Area
SG LEVEL 1	74,813 SF
SG LEVEL 2	45,547 SF
SG LEVEL 3	75,858 SF
SG LEVEL 4	75,117 SF
SG LEVEL 5	75,117 SF
SG LEVEL 6	62,213 SF
SG LEVEL 7	57,496 SF
TOTAL	466,162 SF

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MILESTONES

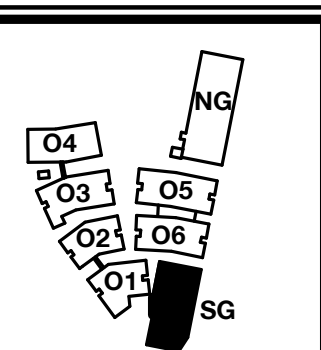
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03/10/2023	ACP

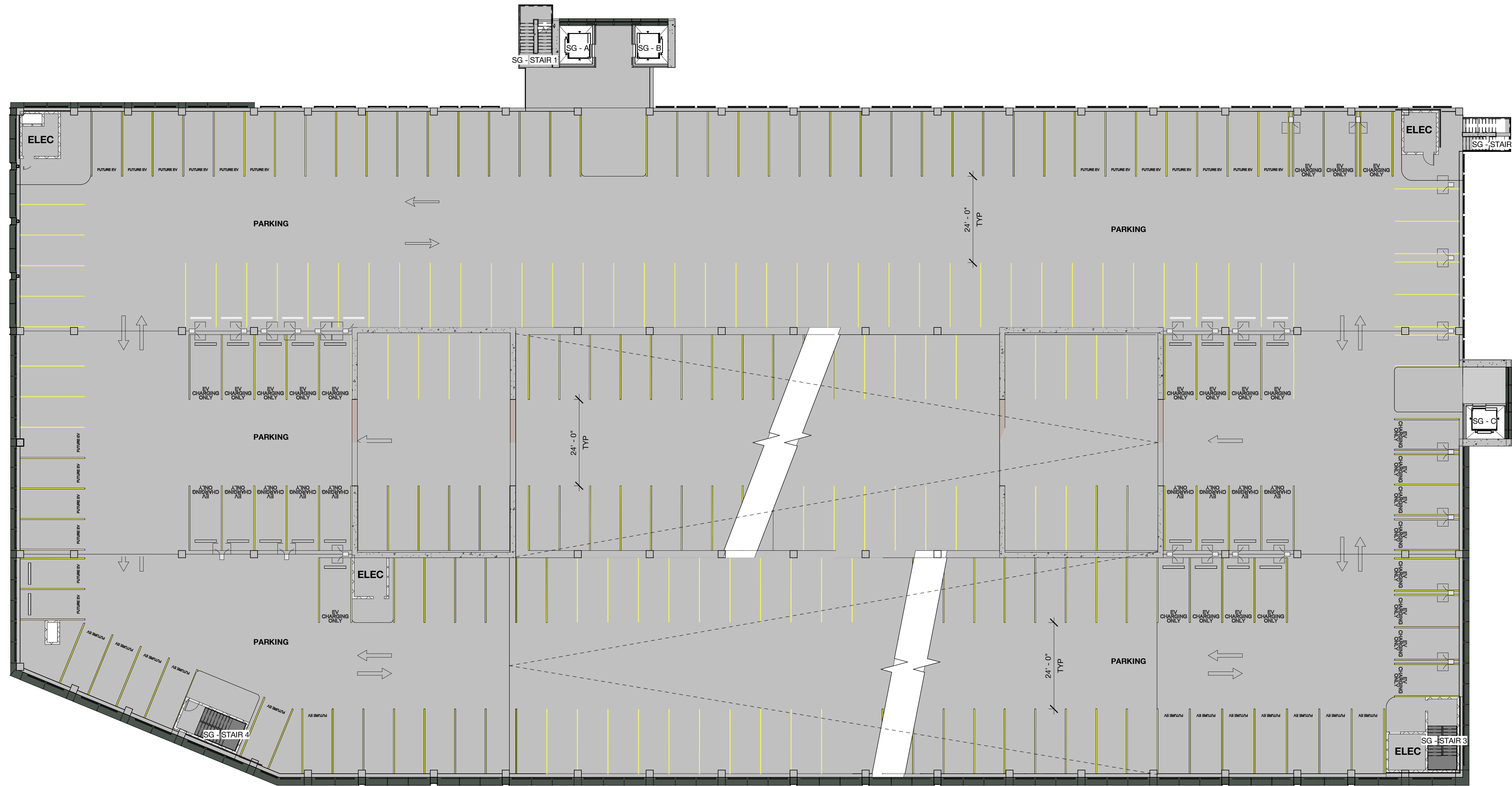
REVISIONS

NO.	DATE	ISSUE

DRAWING TITLE:
 South Garage - Level 4
 Floor Plan

DRAWING NO:
A2.07.4





ACP_SOUTH GARAGE PARKING SCHEDULE

Type	Count
EV Future	132
EV HC Ambulatory	8
EV HC Standard	8
EV HC Van	3
EV Standard	245
Expectant Mother	14
HC Standard	20
HC Van	4
Standard	844
Vanpool	20
TOTAL:	1298

ACP_SG LEVEL 5 PARKING SCHEDULE

Type	Count
EV Future	28
EV Standard	53
Standard	158
TOTAL:	239

GROSS AREA - SG

Level	Area
SG LEVEL 1	74,813 SF
SG LEVEL 2	45,547 SF
SG LEVEL 3	75,858 SF
SG LEVEL 4	75,117 SF
SG LEVEL 5	75,117 SF
SG LEVEL 6	62,213 SF
SG LEVEL 7	57,496 SF
TOTAL	466,162 SF

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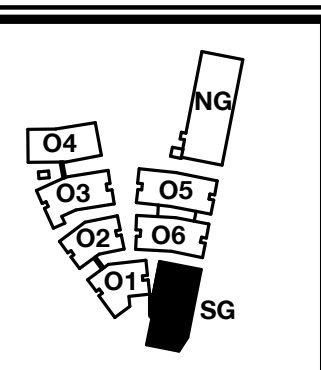
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MILESTONES

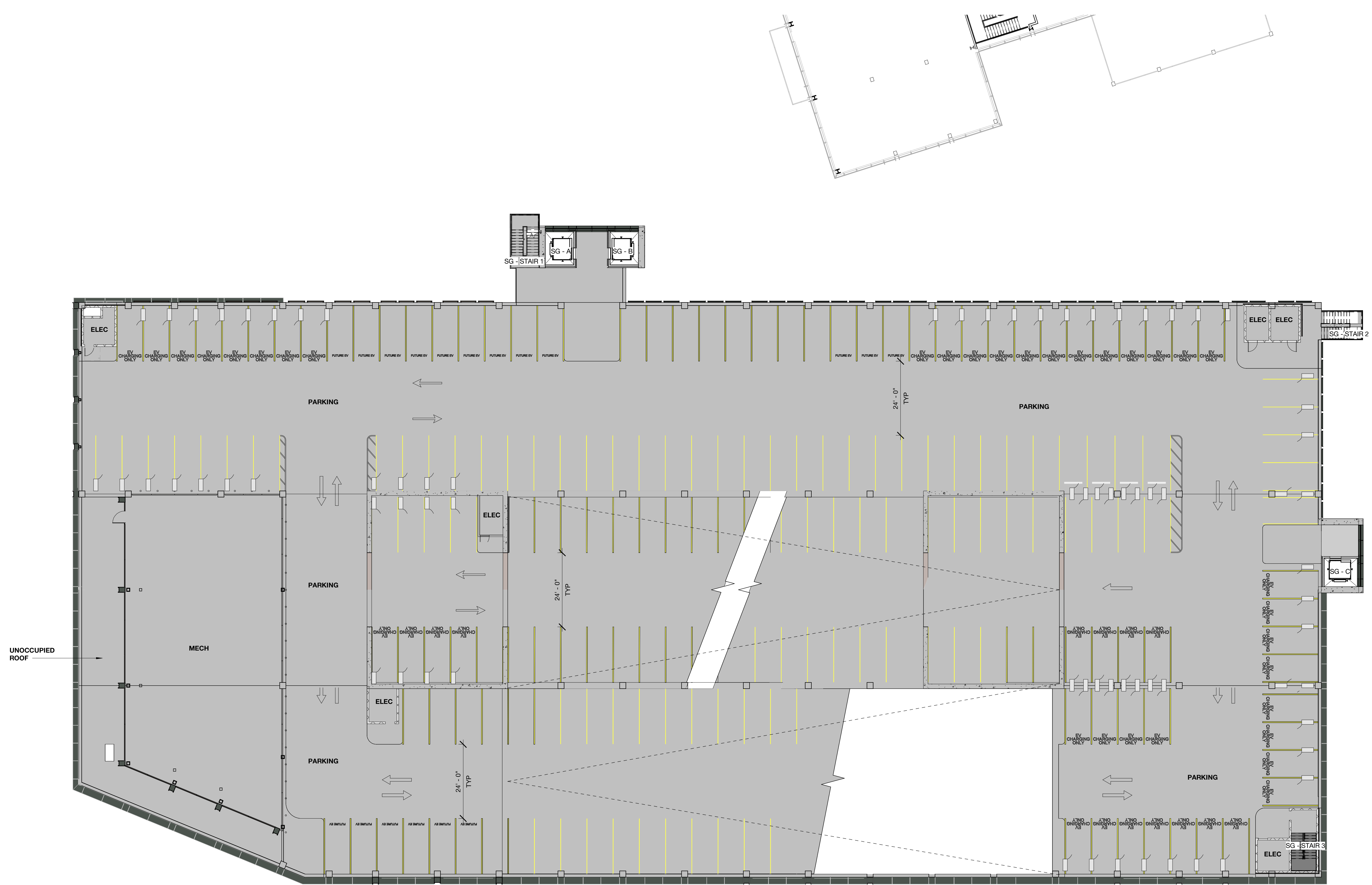
DATE	ISSUE
03/10/2023	ACP

REVISIONS

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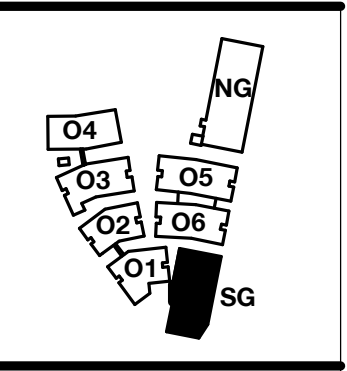


ACP_SOUTH GARAGE PARKING SCHEDULE	
Type	Count
EV Future	132
EV HC Ambulatory	8
EV HC Standard	8
EV HC Van	3
EV Standard	245
Expectant Mother	14
HC Standard	20
HC Van	4
Standard	844
Vanpool	20
TOTAL:	1298

ACP_SG LEVEL 6 PARKING SCHEDULE	
Type	Count
EV Future	28
EV Standard	53
Standard	90
TOTAL:	171

GROSS AREA - SG	
Level	Area
SG LEVEL 1	74,813 SF
SG LEVEL 2	45,547 SF
SG LEVEL 3	75,658 SF
SG LEVEL 4	75,117 SF
SG LEVEL 5	75,117 SF
SG LEVEL 6	62,213 SF
SG LEVEL 7	57,496 SF
TOTAL	466,162 SF

--- NOTE: ACP BOUNDARY LINES ARE ONLY FOR DESIGN AND DEMONSTRATING ZONING COMPLIANCE PURPOSES. THEY DO NOT REPRESENT NOR IMPLY ANY PARCEL OR PROPERTY BOUNDARIES



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

SCALE: As indicated
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR SEE CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

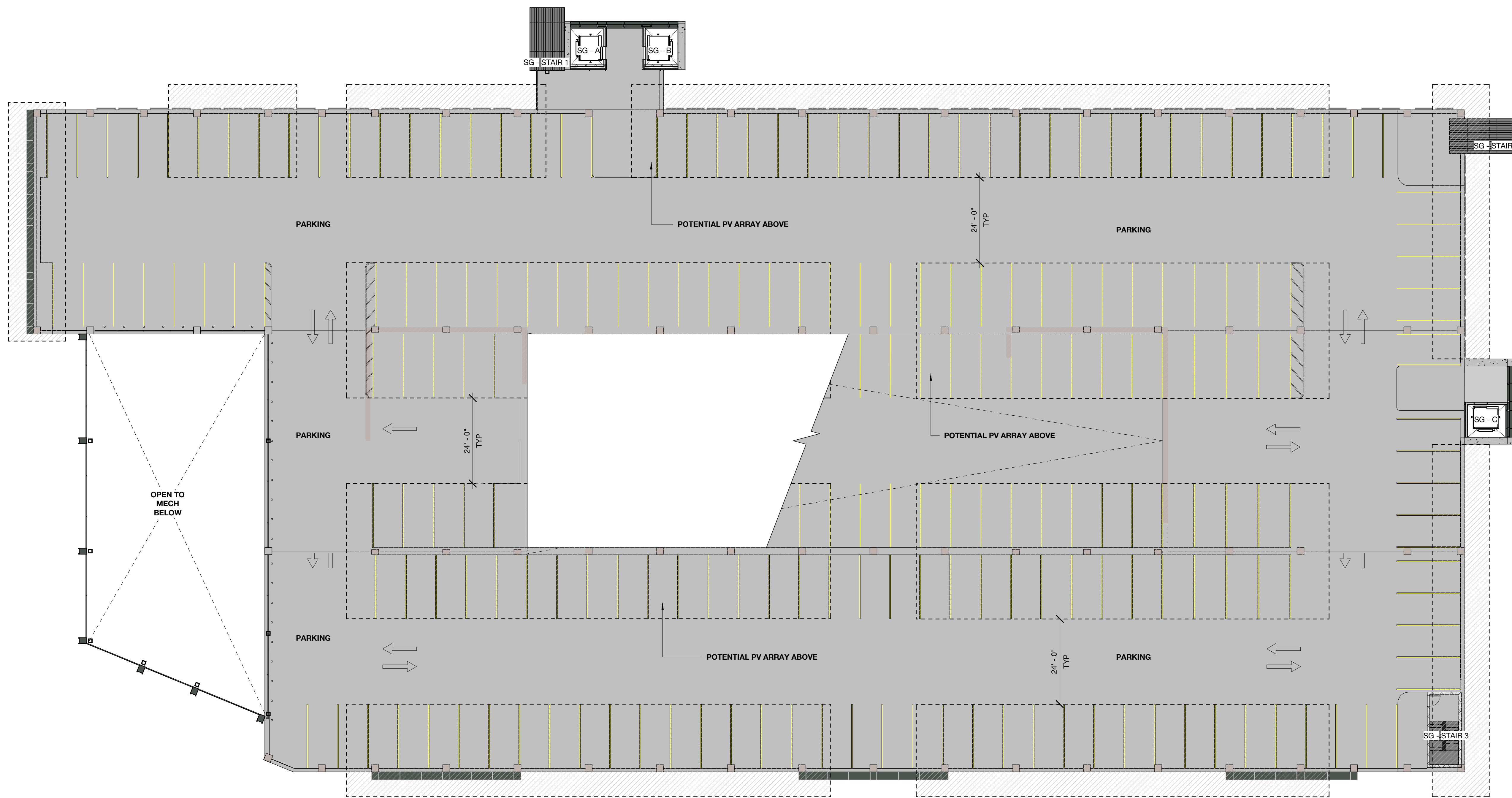
MILESTONES	
DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
 South Garage - Level 6
 Floor Plan

DRAWING NO:
A2.07.6

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ACP_SOUTH GARAGE PARKING SCHEDULE

Type	Count
EV Future	132
EV HC Ambulatory	8
EV HC Standard	8
EV HC Van	3
EV Standard	245
Expectant Mother	14
HC Standard	20
HC Van	4
Standard	844
Vanpool	20
TOTAL:	1298

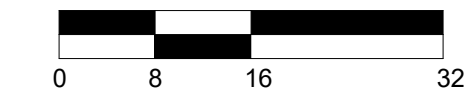
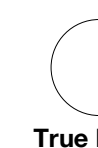
ACP_SG LEVEL 7 PARKING SCHEDULE

Type	Count
EV Future	28
EV Standard	53
Standard	93
TOTAL:	174

GROSS AREA - SG

Level	Area
SG LEVEL 1	74,813 SF
SG LEVEL 2	45,547 SF
SG LEVEL 3	75,858 SF
SG LEVEL 4	75,117 SF
SG LEVEL 5	75,117 SF
SG LEVEL 6	62,213 SF
SG LEVEL 7	57,496 SF
TOTAL	466,162 SF

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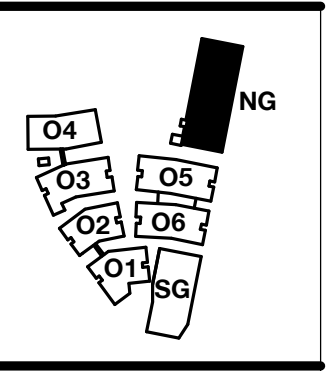
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WILLOW VILLAGE
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 Menlo Park, CA

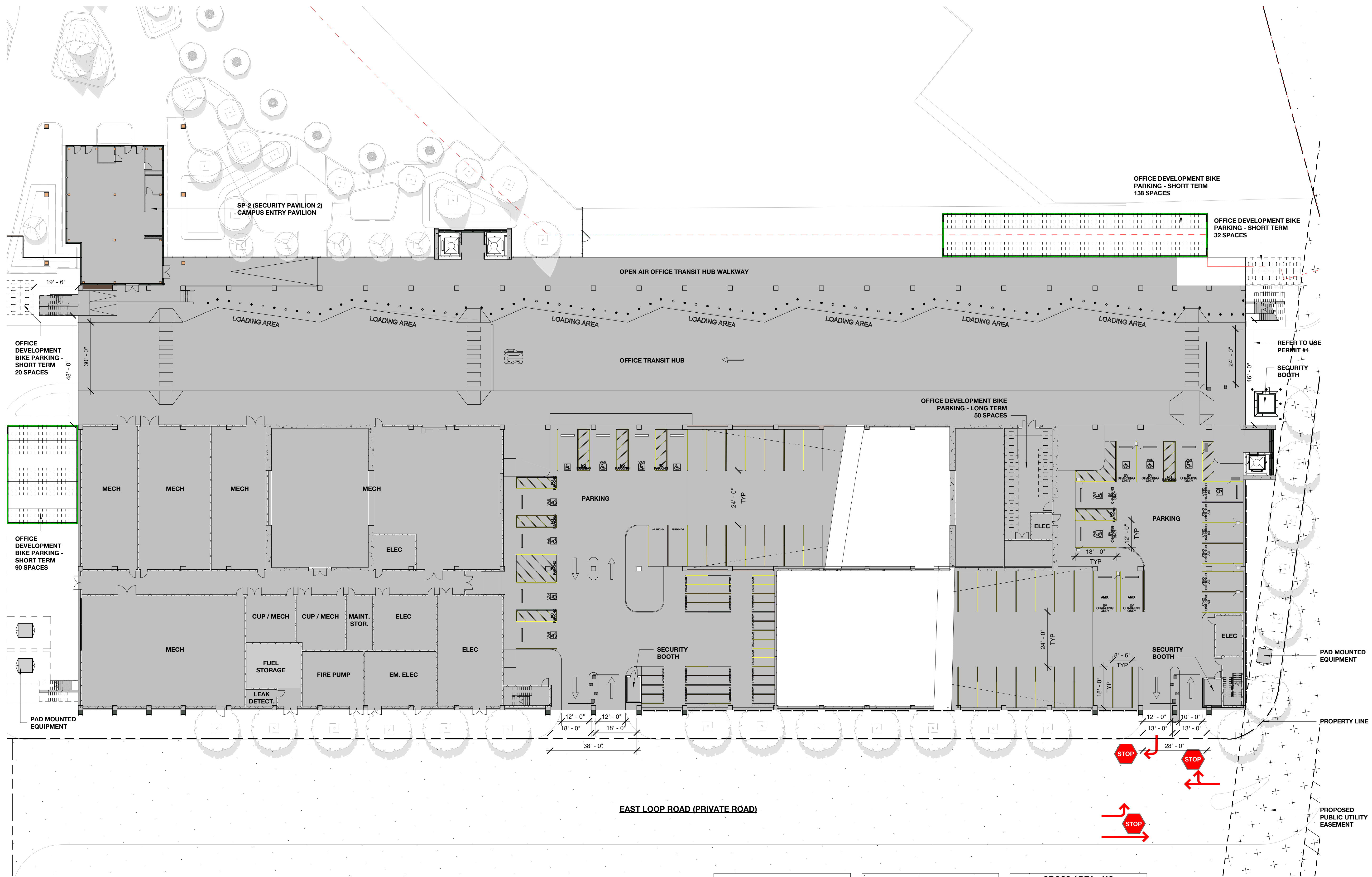
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DRAWING TITLE:
 North Garage - Level 1
 Floor Plan

DRAWING NO:
A2.08.1



ACP_NORTH GARAGE PARKING SCHEDULE	
Type	Count
EV Future	204
EV HC Ambulatory	11
EV HC Standard	11
EV HC Van	4
EV Standard	4
EV Standard	382
Expectant Mother	21
HC Standard	25
HC Van	6
Standard	1311
Vanpool	31
TOTAL:	2006

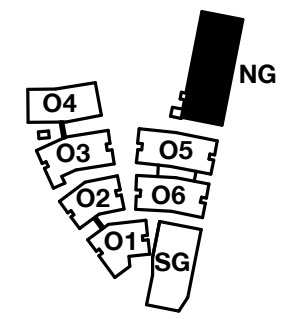
ACP_NG LEVEL 1 PARKING SCHEDULE	
Type	Count
EV Future	2
EV HC Standard	2
EV HC Van	4
EV Standard	6
HC Standard	2
HC Van	6
Standard	90
TOTAL:	112

GROSS AREA - NG	
Level	Area
NG LEVEL 1	99,060 SF
NG LEVEL 2	42,103 SF
NG LEVEL 3	37,971 SF
NG LEVEL 4	96,673 SF
NG LEVEL 5	96,673 SF
NG LEVEL 6	85,814 SF
NG LEVEL 7	96,503 SF
NG LEVEL 8	83,708 SF
TOTAL	698,506 SF

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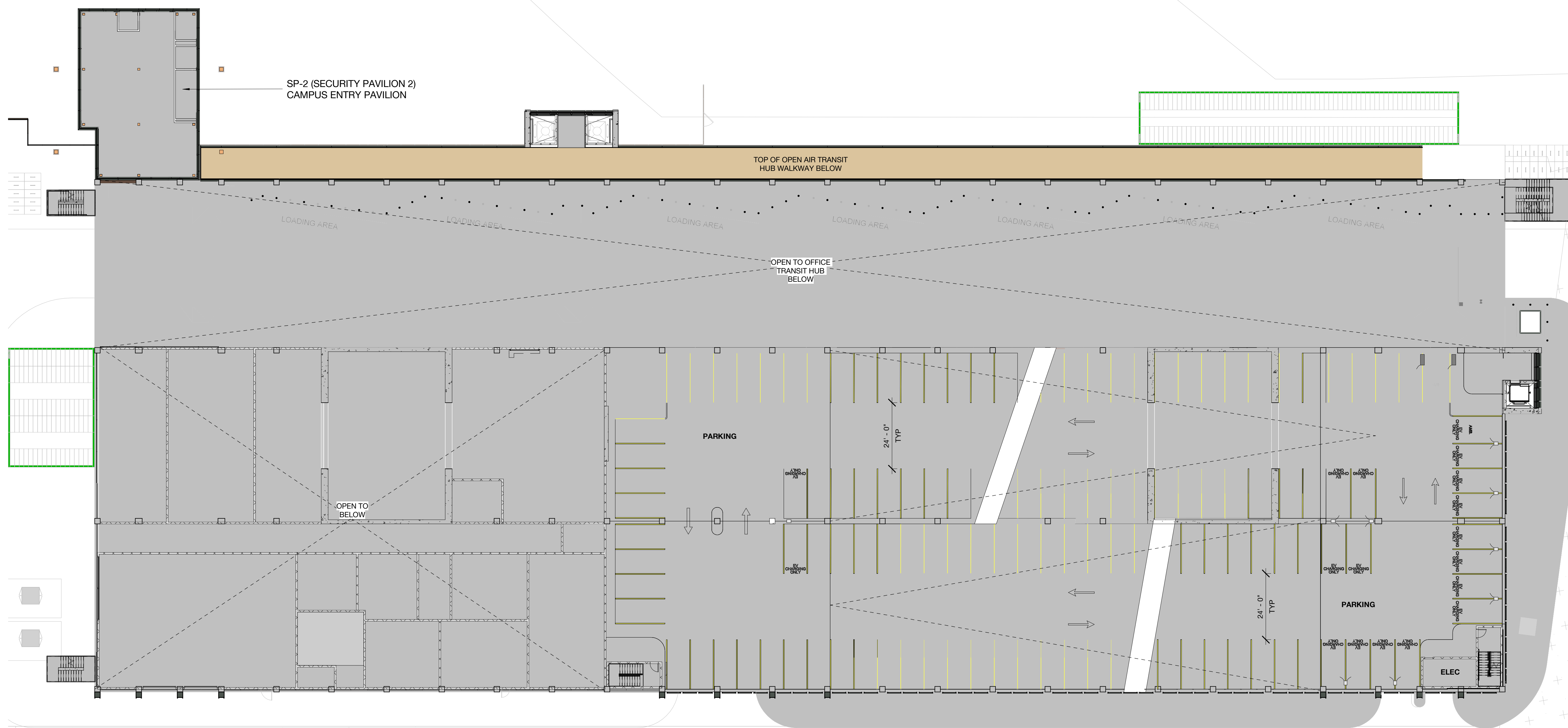
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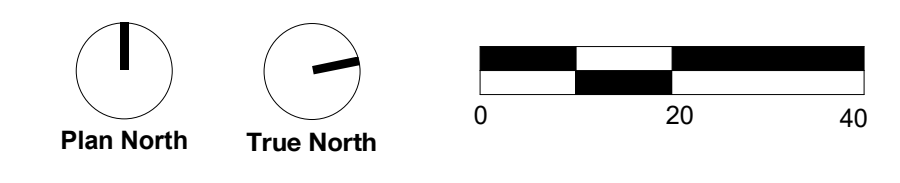


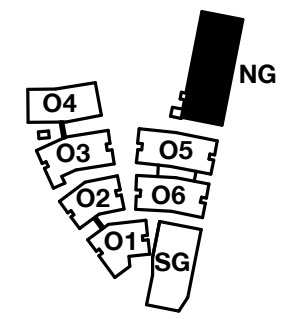
ACP NORTH GARAGE PARKING SCHEDULE	
Type	Count
EV Future	204
EV HC Ambulatory	11
EV HC Standard	11
EV HC Van	4
EV Standard	382
Expectant Mother	21
HC Standard	25
HC Van	6
Standard	1311
Vanpool	31
TOTAL:	2006

ACP NG LEVEL 2 PARKING SCHEDULE	
Type	Count
EV Future	22
EV HC Ambulatory	2
EV Standard	7
Standard	95
TOTAL:	126

GROSS AREA - NG	
Level	Area
NG LEVEL 1	99,060 SF
NG LEVEL 2	42,103 SF
NG LEVEL 3	97,971 SF
NG LEVEL 4	96,673 SF
NG LEVEL 5	96,673 SF
NG LEVEL 6	85,814 SF
NG LEVEL 7	96,503 SF
NG LEVEL 8	83,708 SF
TOTAL	698,506 SF

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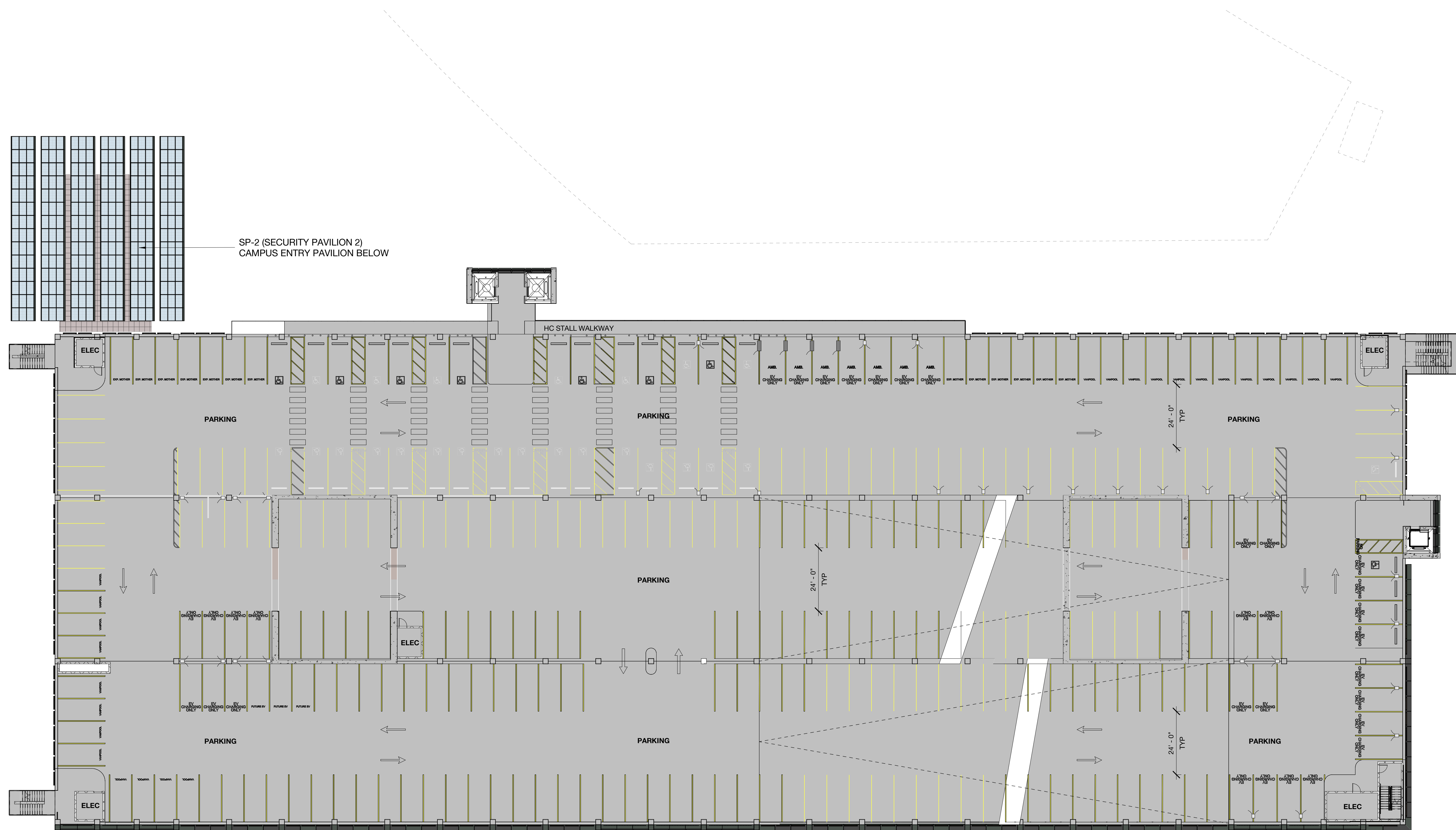
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DRAWING TITLE:
North Garage - Level 3
Floor Plan

DRAWING NO:
A2.08.3



ACP NORTH GARAGE PARKING SCHEDULE

Type	Count
EV Future	204
EV HC Ambulatory	11
EV HC Standard	11
EV Standard	52
EV HC Van	4
EV Standard	382
Expectant Mother	21
HC Standard	25
HC Van	6
Standard	1311
Vanpool	31
TOTAL:	2006

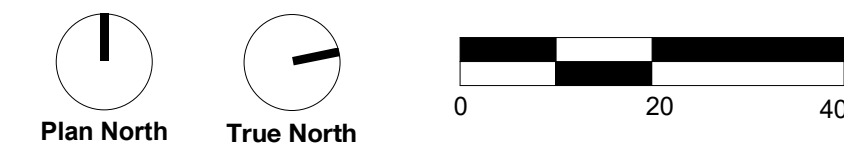
ACP NG LEVEL 3 PARKING SCHEDULE

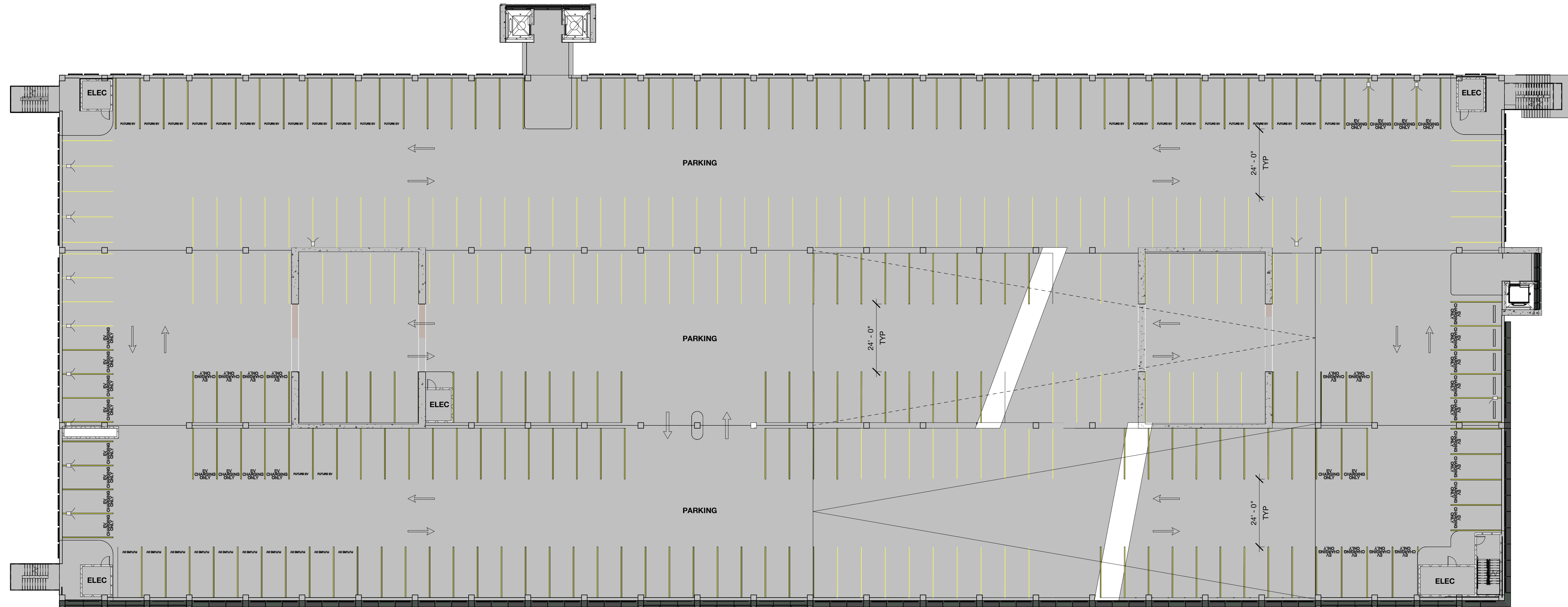
Type	Count
EV HC Ambulatory	9
EV HC Standard	9
EV Standard	52
Expectant Mother	21
HC Standard	23
Standard	155
Vanpool	31
TOTAL:	300

GROSS AREA - NG

Level	Area
NG LEVEL 1	99,060 SF
NG LEVEL 2	42,103 SF
NG LEVEL 3	97,971 SF
NG LEVEL 4	96,673 SF
NG LEVEL 5	96,673 SF
NG LEVEL 6	85,814 SF
NG LEVEL 7	96,503 SF
NG LEVEL 8	83,708 SF
TOTAL	698,506 SF

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ACP_NORTH GARAGE PARKING SCHEDULE

Type	Count
EV Future	204
EV HC Ambulatory	11
EV HC Standard	11
EV HC Van	4
EV Standard	382
Expectant Mother	21
HC Standard	25
HC Van	6
Standard	1311
Vanpool	31
TOTAL:	2006

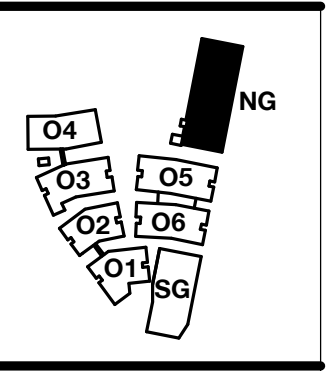
ACP_NG LEVEL 4 PARKING SCHEDULE

Type	Count
EV Future	35
EV Standard	65
Standard	215
TOTAL:	315

GROSS AREA - NG

Level	Area
NG LEVEL 1	99,060 SF
NG LEVEL 2	42,103 SF
NG LEVEL 3	97,971 SF
NG LEVEL 4	96,673 SF
NG LEVEL 5	96,673 SF
NG LEVEL 6	85,814 SF
NG LEVEL 7	96,503 SF
NG LEVEL 8	83,708 SF
TOTAL	698,506 SF

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PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 (Portion)
Menlo Park, CA

SCALE: As indicated
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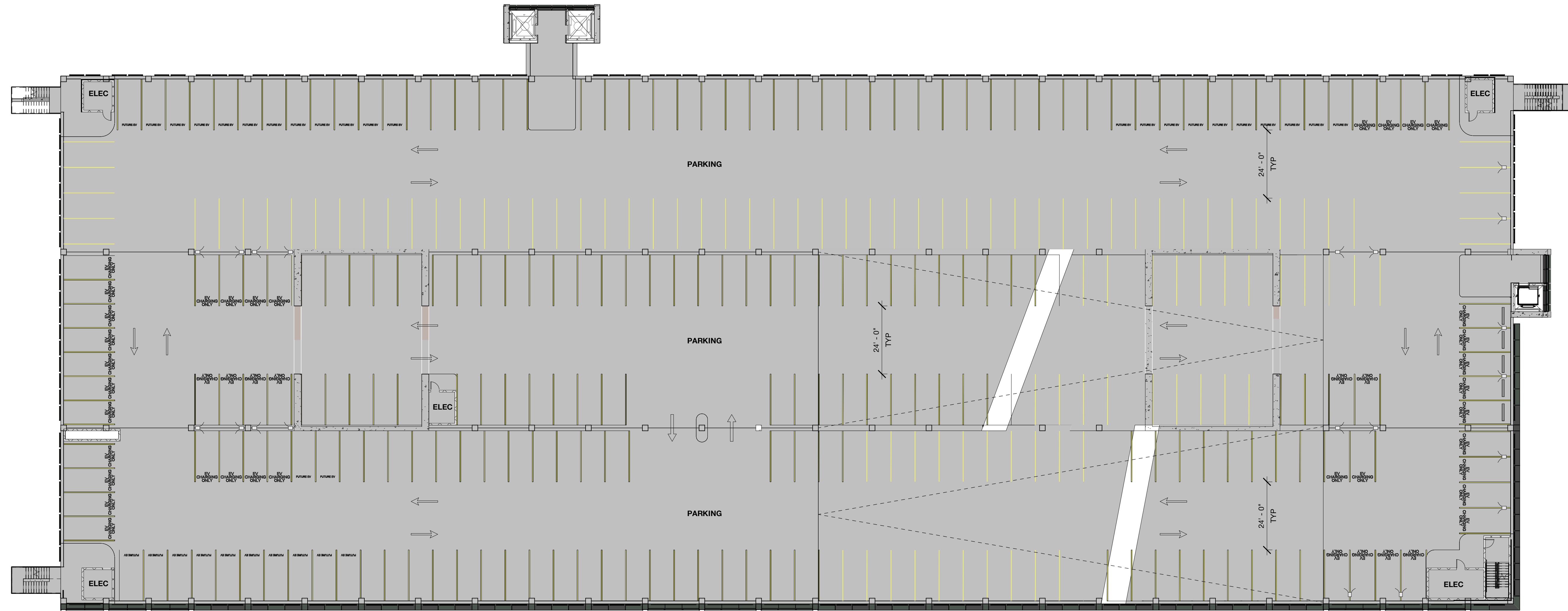
DATE	ISSUE
03/10/2023	ACP

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DRAWING TITLE:
North Garage - Level 4
Floor Plan

DRAWING NO:
A2.08.4



ACP_NORTH GARAGE PARKING SCHEDULE

Type	Count
EV Future	204
EV HC Ambulatory	11
EV HC Standard	11
EV HC Van	4
EV Standard	382
Expectant Mother	21
HC Standard	25
HC Van	6
Standard	1311
Vanpool	31
TOTAL:	2006

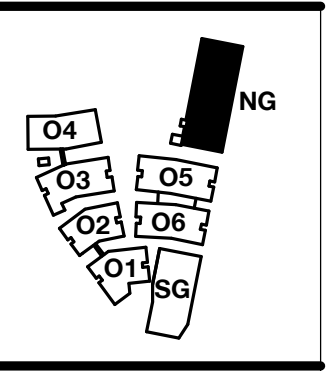
ACP_NG LEVEL 5 PARKING SCHEDULE

Type	Count
EV Future	35
EV Standard	65
Standard	215
TOTAL:	315

GROSS AREA - NG

Level	Area
NG LEVEL 1	99,060 SF
NG LEVEL 2	42,103 SF
NG LEVEL 3	97,971 SF
NG LEVEL 4	96,673 SF
NG LEVEL 5	96,673 SF
NG LEVEL 6	85,814 SF
NG LEVEL 7	96,503 SF
NG LEVEL 8	83,708 SF
TOTAL	698,506 SF

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PENINSULA INNOVATION PARTNERS

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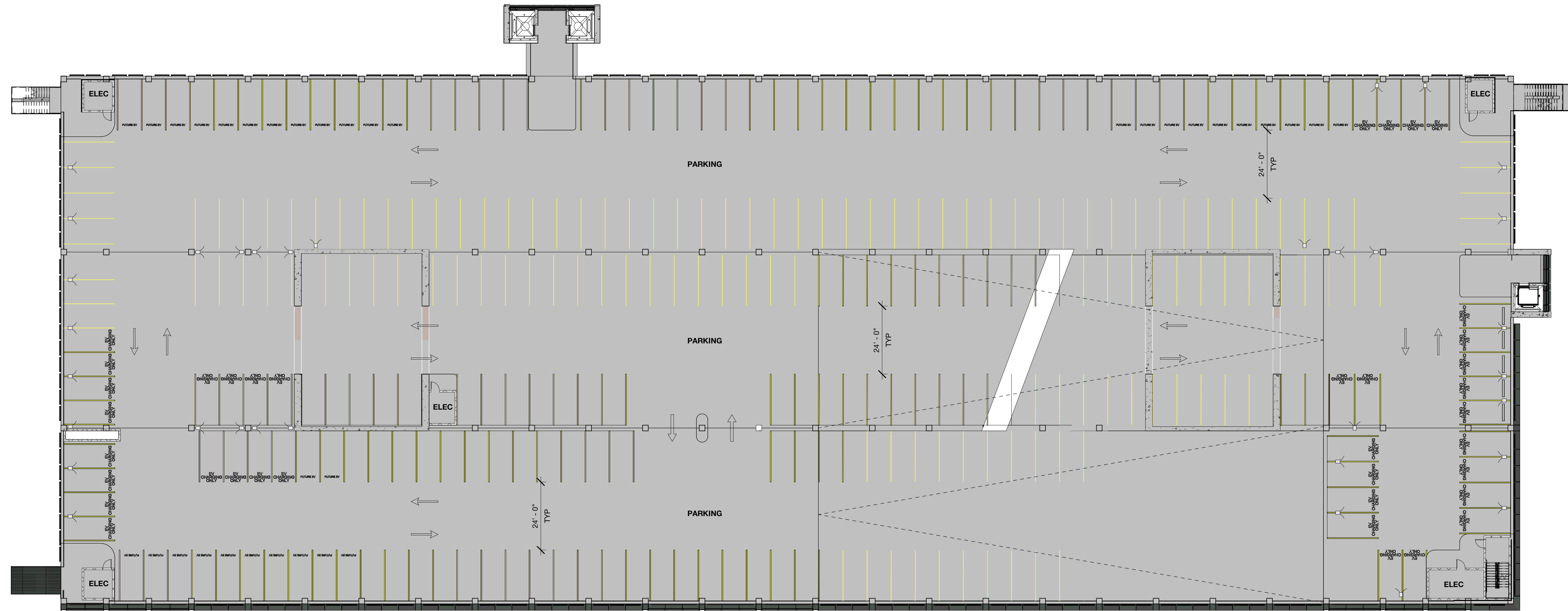
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03/10/2023	ACP

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DRAWING TITLE:
North Garage - Level 5
Floor Plan

DRAWING NO:
A2.08.5



ACP_NORTH GARAGE PARKING SCHEDULE

Type	Count
EV Future	204
EV HC Ambulatory	11
EV HC Standard	11
EV HC Van	4
EV Standard	382
Expectant Mother	21
HC Standard	25
HC Van	6
Standard	1311
Vanpool	31
TOTAL:	2006

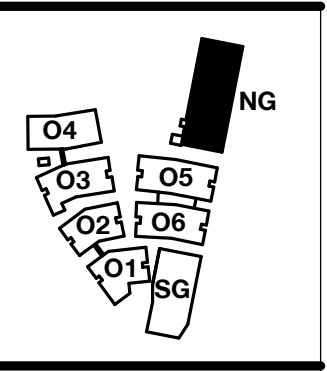
ACP_NG LEVEL 6 PARKING SCHEDULE

Type	Count
EV Future	44
EV Standard	57
Standard	172
TOTAL:	273

GROSS AREA - NG

Level	Area
NG LEVEL 1	99,060 SF
NG LEVEL 2	42,103 SF
NG LEVEL 3	97,971 SF
NG LEVEL 4	96,673 SF
NG LEVEL 5	96,673 SF
NG LEVEL 6	85,814 SF
NG LEVEL 7	96,503 SF
NG LEVEL 8	83,708 SF
TOTAL	698,506 SF

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PENINSULA INNOVATION PARTNERS

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Menlo Park, CA

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MILESTONES

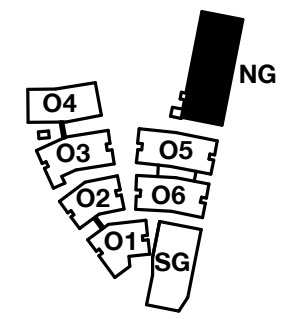
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DRAWING TITLE:
North Garage - Level 6
Floor Plan

DRAWING NO:
A2.08.6



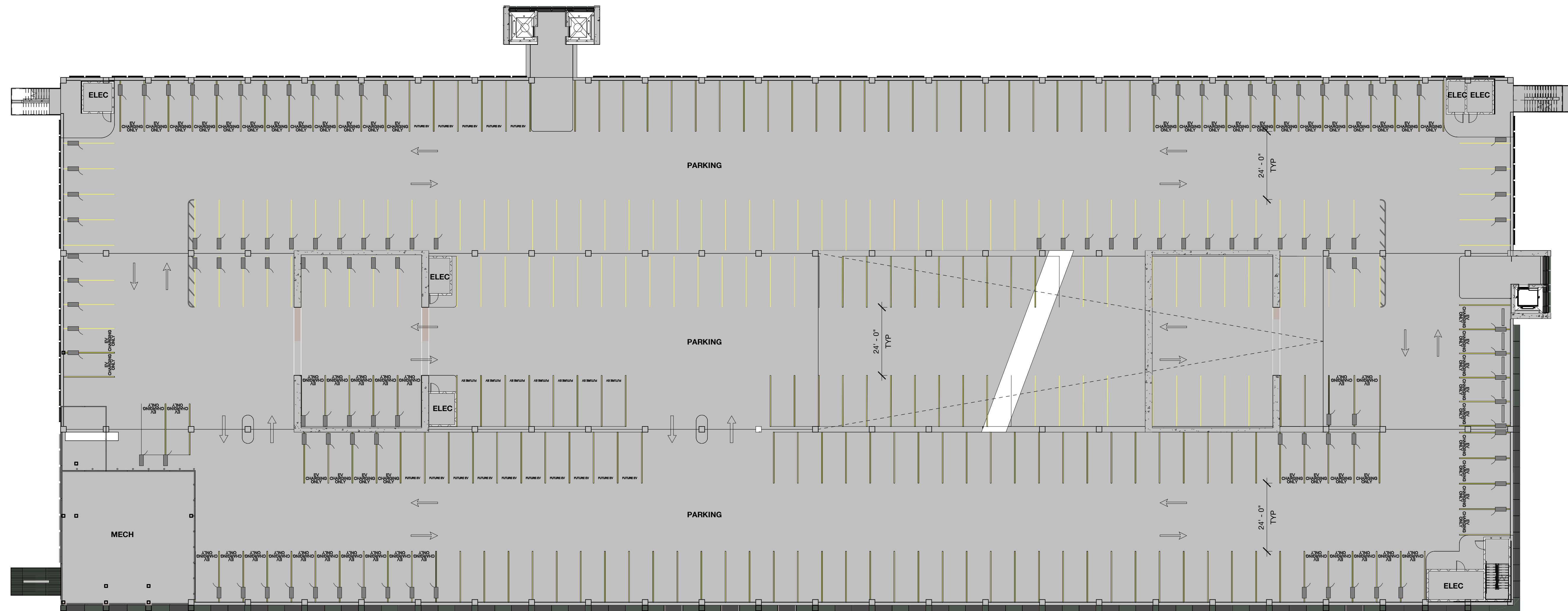
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DRAWING TITLE:
North Garage - Level 7
Floor Plan

DRAWING NO:
A2.08.7

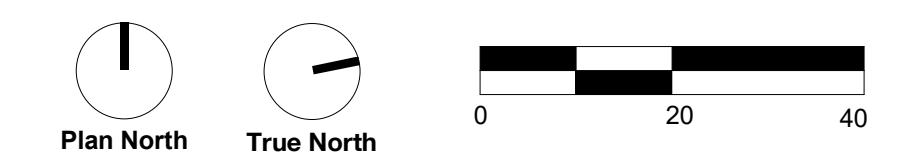


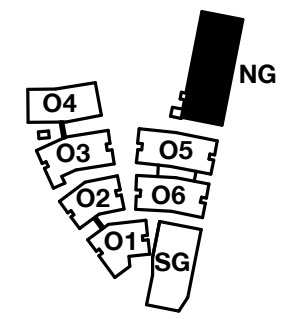
ACP_NORTH GARAGE PARKING SCHEDULE	
Type	Count
EV Future	204
EV HC Ambulatory	11
EV HC Standard	11
EV HC Van	4
EV Standard	382
Expectant Mother	21
HC Standard	25
HC Van	6
Standard	1311
Vanpool	31
TOTAL:	2006

ACP_NG LEVEL 7 PARKING SCHEDULE	
Type	Count
EV Future	32
EV Standard	65
Standard	205
TOTAL:	302

GROSS AREA - NG	
Level	Area
NG LEVEL 1	99,060 SF
NG LEVEL 2	42,103 SF
NG LEVEL 3	97,971 SF
NG LEVEL 4	96,673 SF
NG LEVEL 5	96,673 SF
NG LEVEL 6	85,814 SF
NG LEVEL 7	96,503 SF
NG LEVEL 8	83,708 SF
TOTAL	698,506 SF

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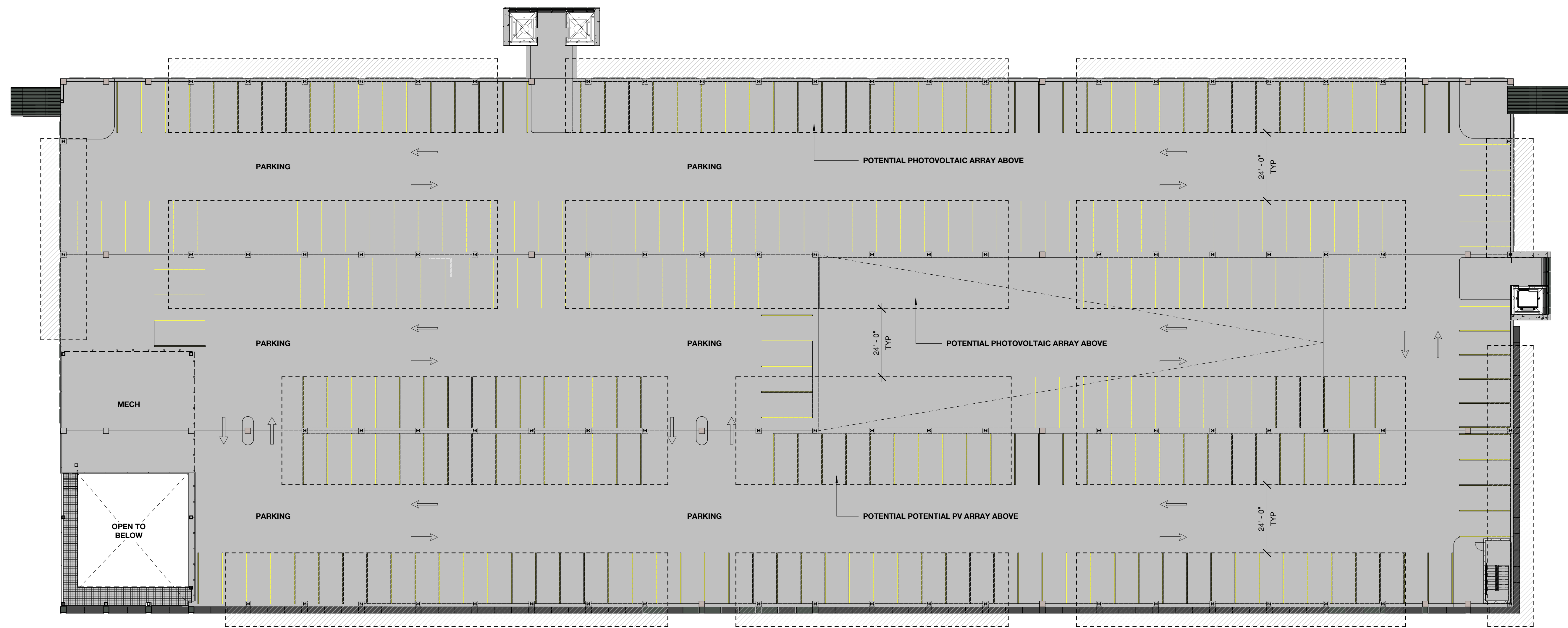
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DRAWING TITLE:
 North Garage - Level 8
 Floor Plan

DRAWING NO:
A2.08.8



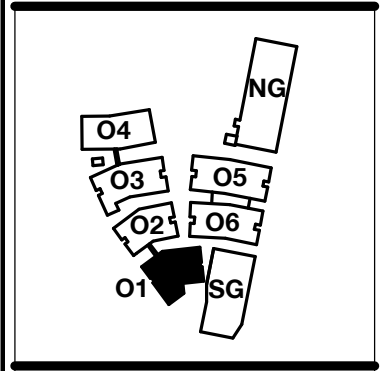
ACP_NORTH GARAGE PARKING SCHEDULE	
Type	Count
EV Future	204
EV HC Ambulatory	11
EV HC Standard	11
EV HC Van	4
EV Standard	382
Expectant Mother	21
HC Standard	25
HC Van	6
Standard	1311
Vanpool	31
TOTAL:	2006

ACP_NG LEVEL 8 PARKING SCHEDULE	
Type	Count
EV Future	34
EV Standard	65
Standard	164
TOTAL:	263

GROSS AREA - NG	
Level	Area
NG LEVEL 1	99,060 SF
NG LEVEL 2	42,103 SF
NG LEVEL 3	97,971 SF
NG LEVEL 4	96,673 SF
NG LEVEL 5	96,673 SF
NG LEVEL 6	85,814 SF
NG LEVEL 7	96,503 SF
NG LEVEL 8	83,708 SF
TOTAL	698,506 SF

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PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
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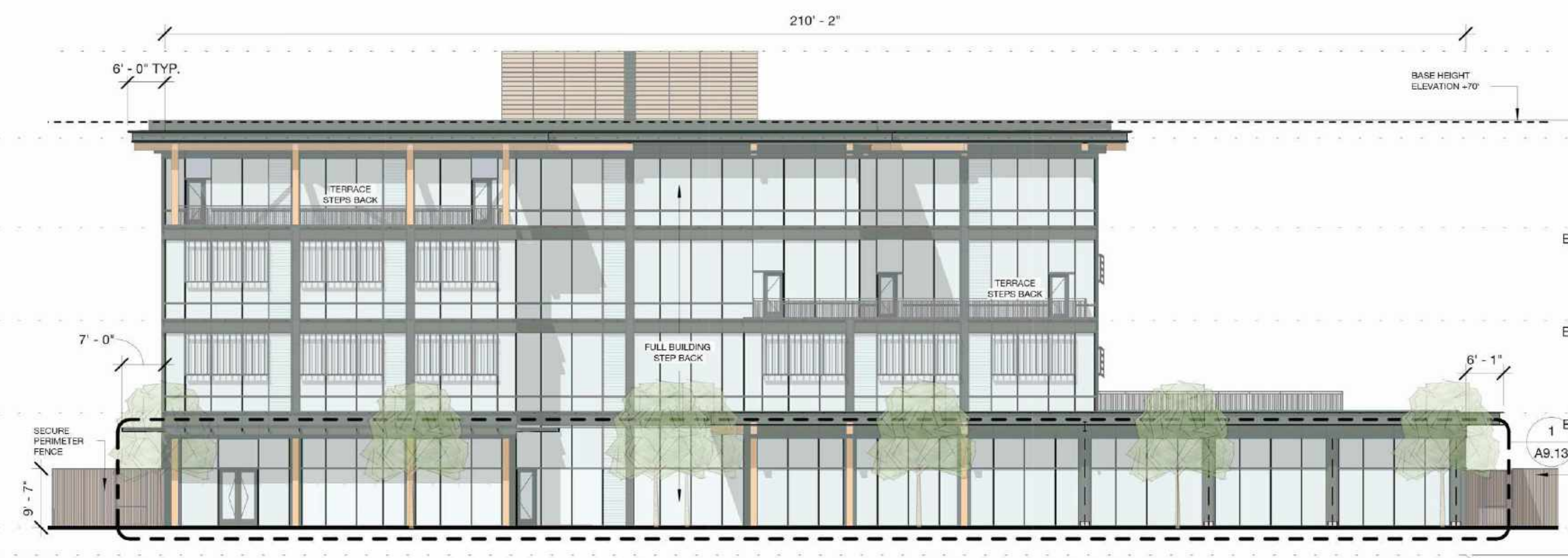
SCALE: 3/4" = 1'-0"
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DRAWING TITLE:
Building 01 - Elevations

DRAWING NO:
A4.04.1



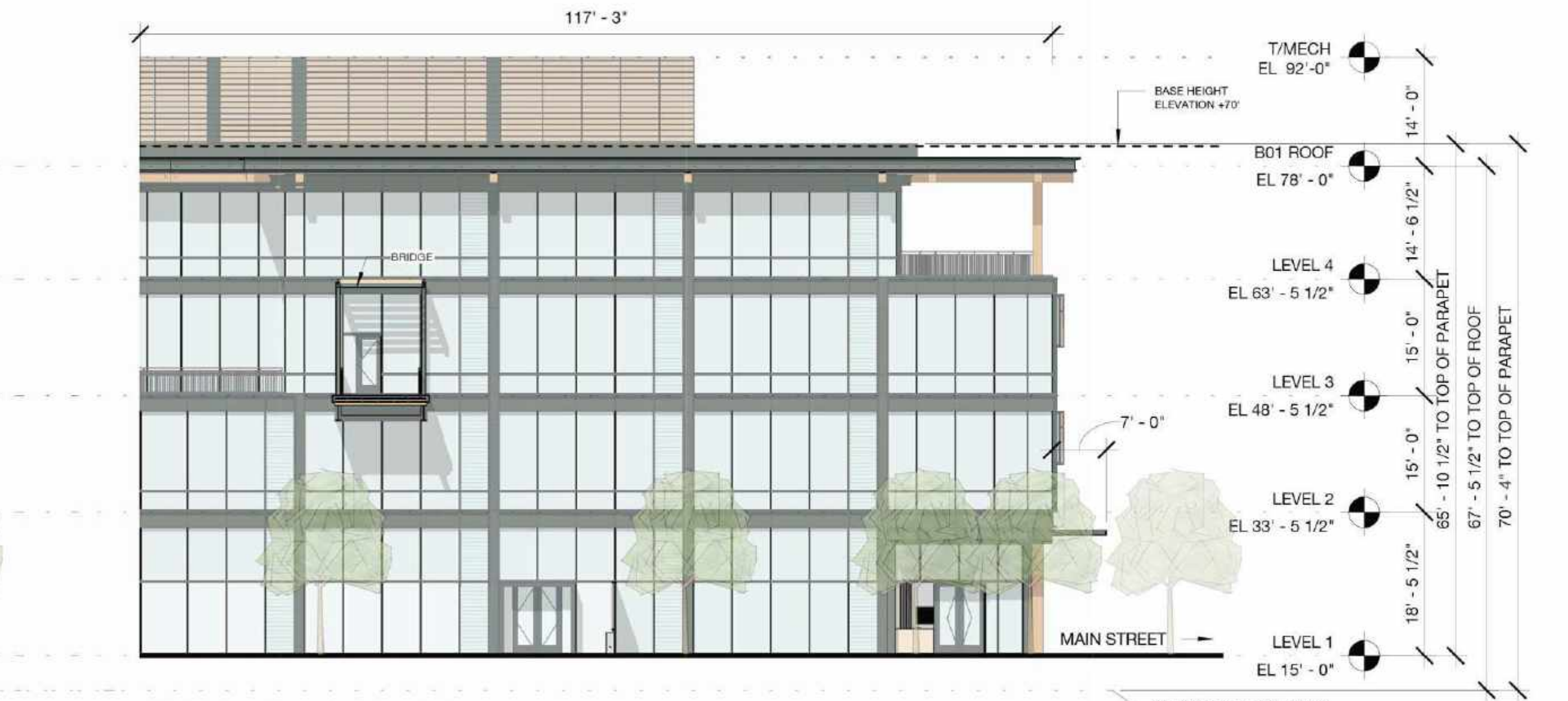
2 Building 01 - West Elevation - Main Street
 1/16" = 1'-0"



1 Building 01 - East Elevation
 1/16" = 1'-0"



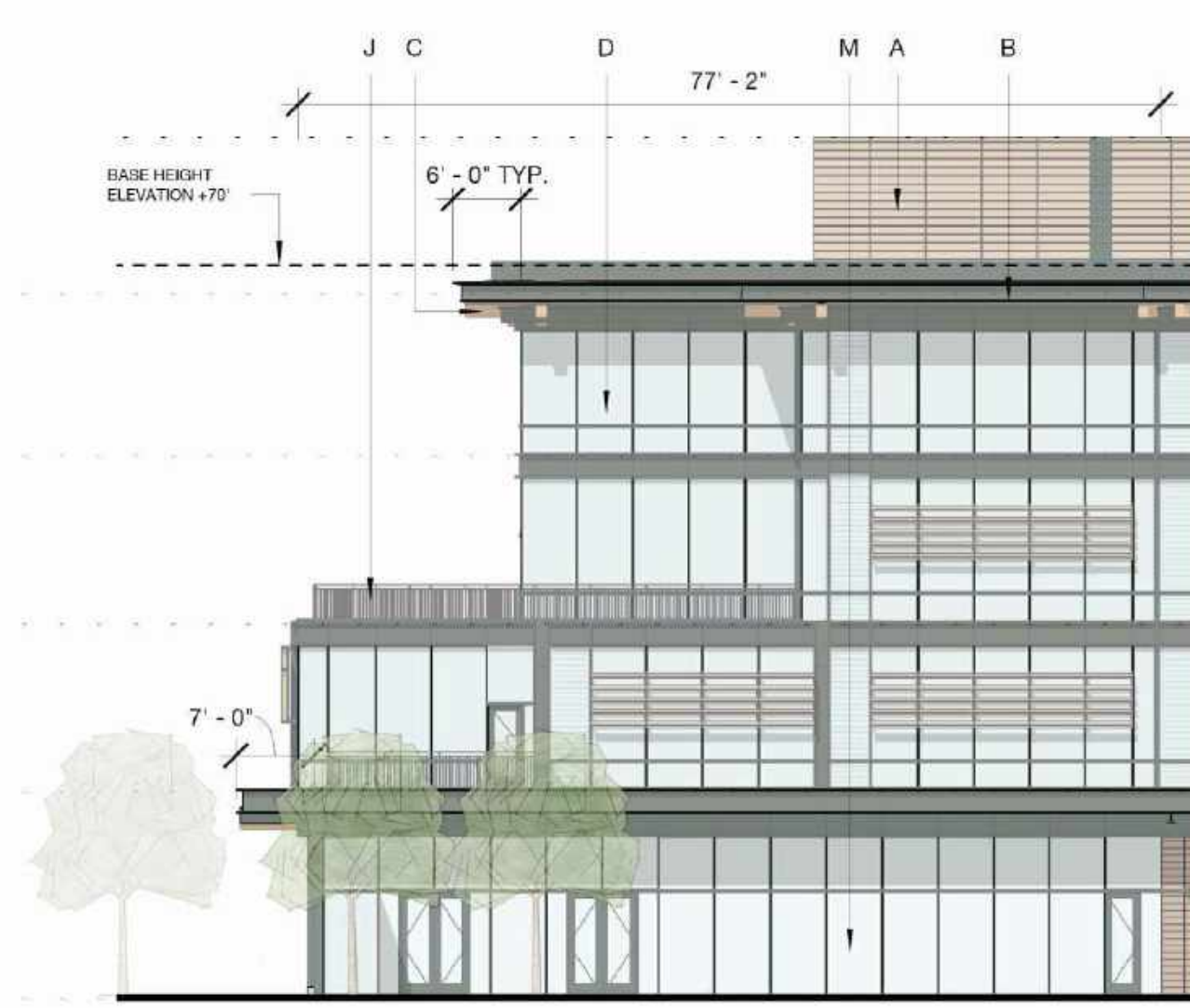
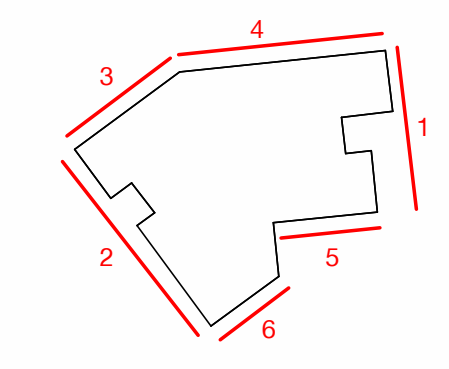
4 Building 01 - North Elevation B
 1/16" = 1'-0"



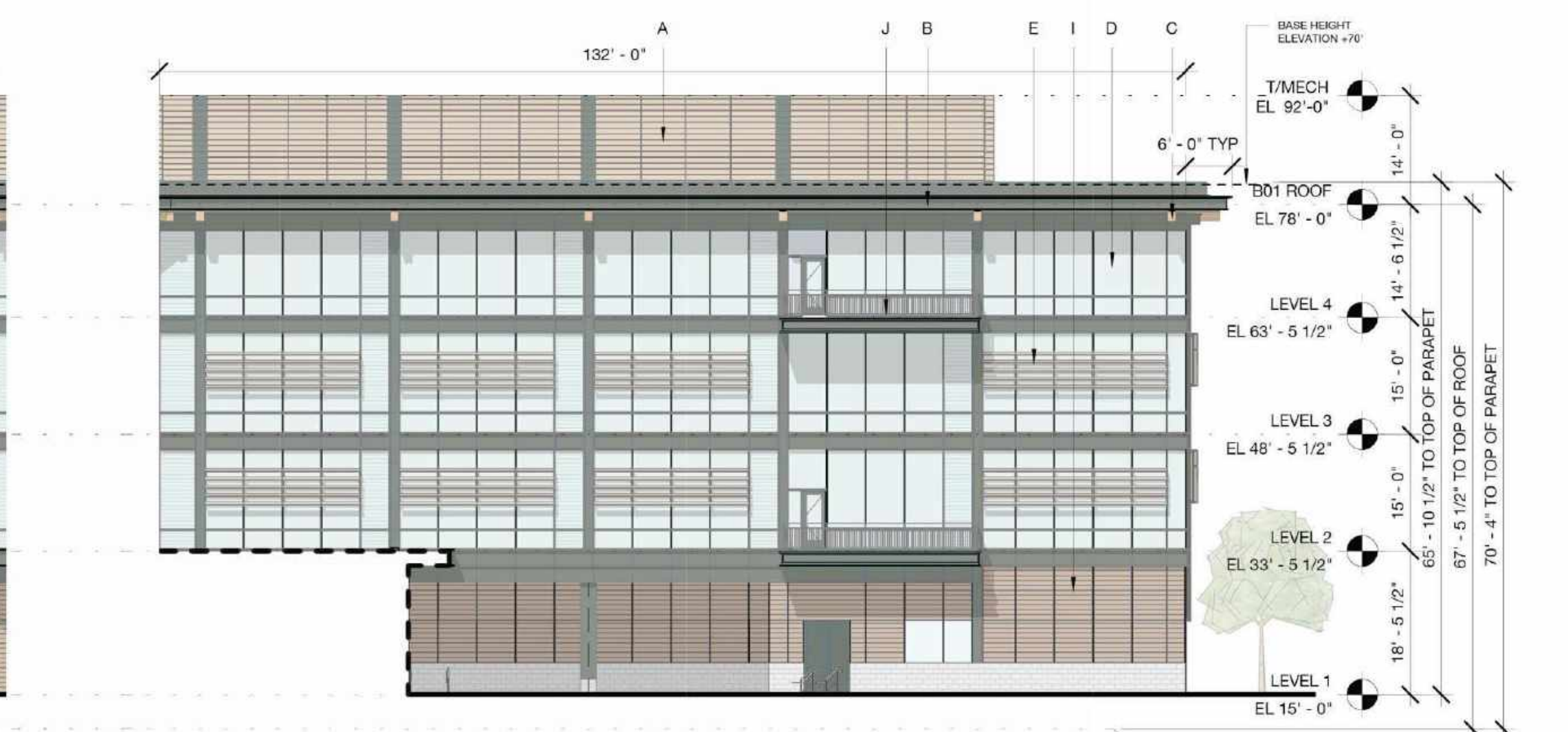
3 Building 01 - North Elevation A
 1/16" = 1'-0"

NOTES:
 See pages A9.41 - A9.49B for Bird Safe Design Diagrams

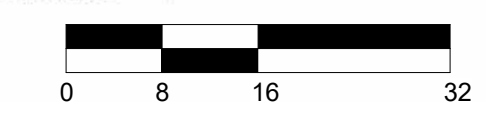
- A - PAINTED METAL + METAL PANEL
- B - PAINTED METAL + METAL PANEL
- C - EXPOSED HEAVY TIMBER STRUCTURE
- D - TYPICAL VISION GLASS
- E - ARCHITECTURAL LOUVER - PAINTED TO MATCH ADJACENT MATERIAL
- F - GLASS CANOPY
- G - SIGHT PROOF MECH LOUVER
- H - EXPOSED STEEL PAINTED TO MATCH PAINTED METAL PANEL
- I - FIBER CEMENT BOARD
- J - PAINTED METAL GUARDRAIL
- K - PERFORATED METAL PANEL GUARDRAIL
- L - SCREEN COLORED TO MATCH MATERIAL "1"
- M - VISION GLASS - LEVEL 1 & PAVILIONS SP-1 AND SP-2
- N - CAST-IN-PLACE CONCRETE



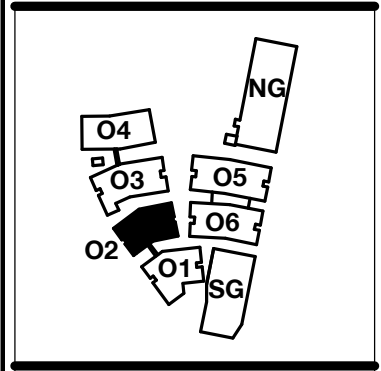
6 Building 01 - South Elevation B
 1/16" = 1'-0"



5 Building 01 - South Elevation A
 1/16" = 1'-0"



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PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
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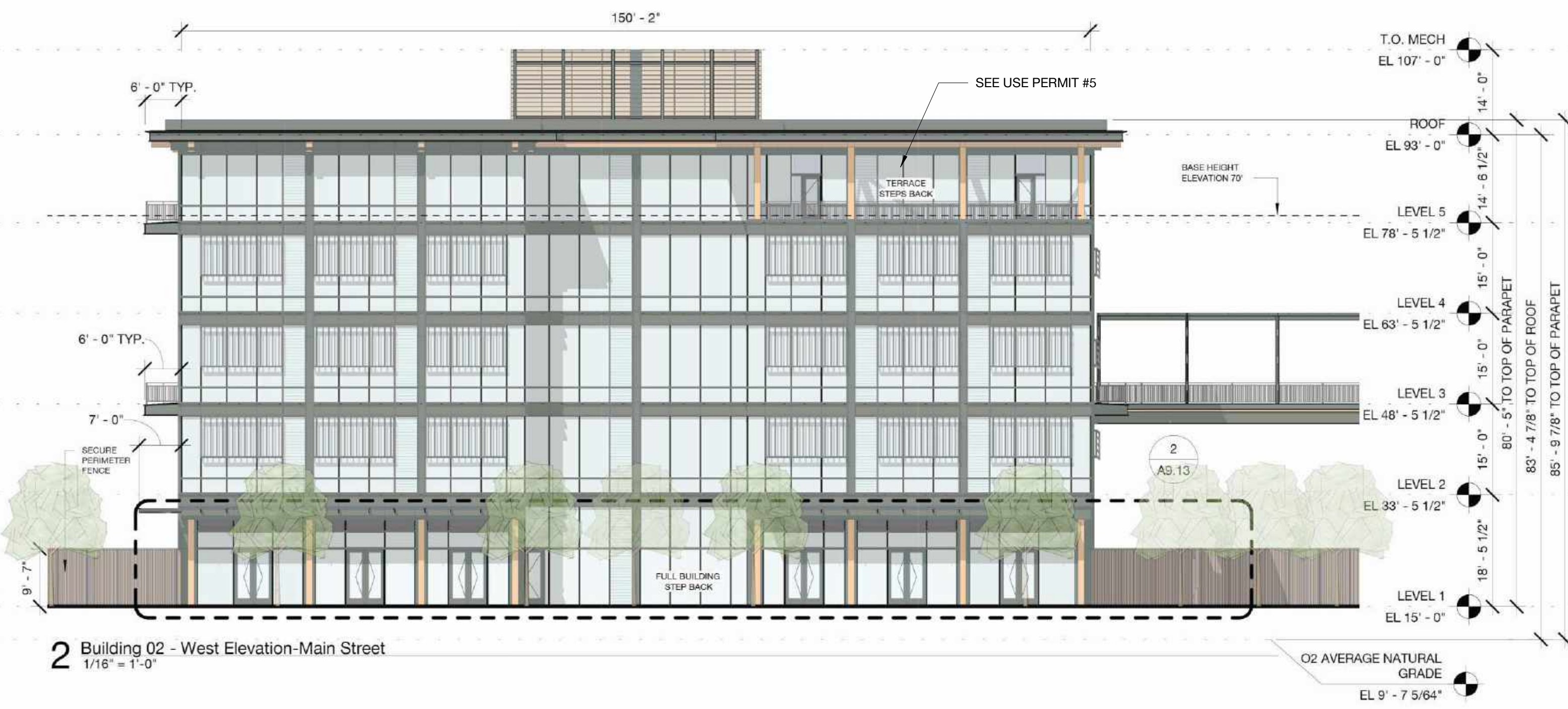
SCALE: 3/4" = 1'-0"
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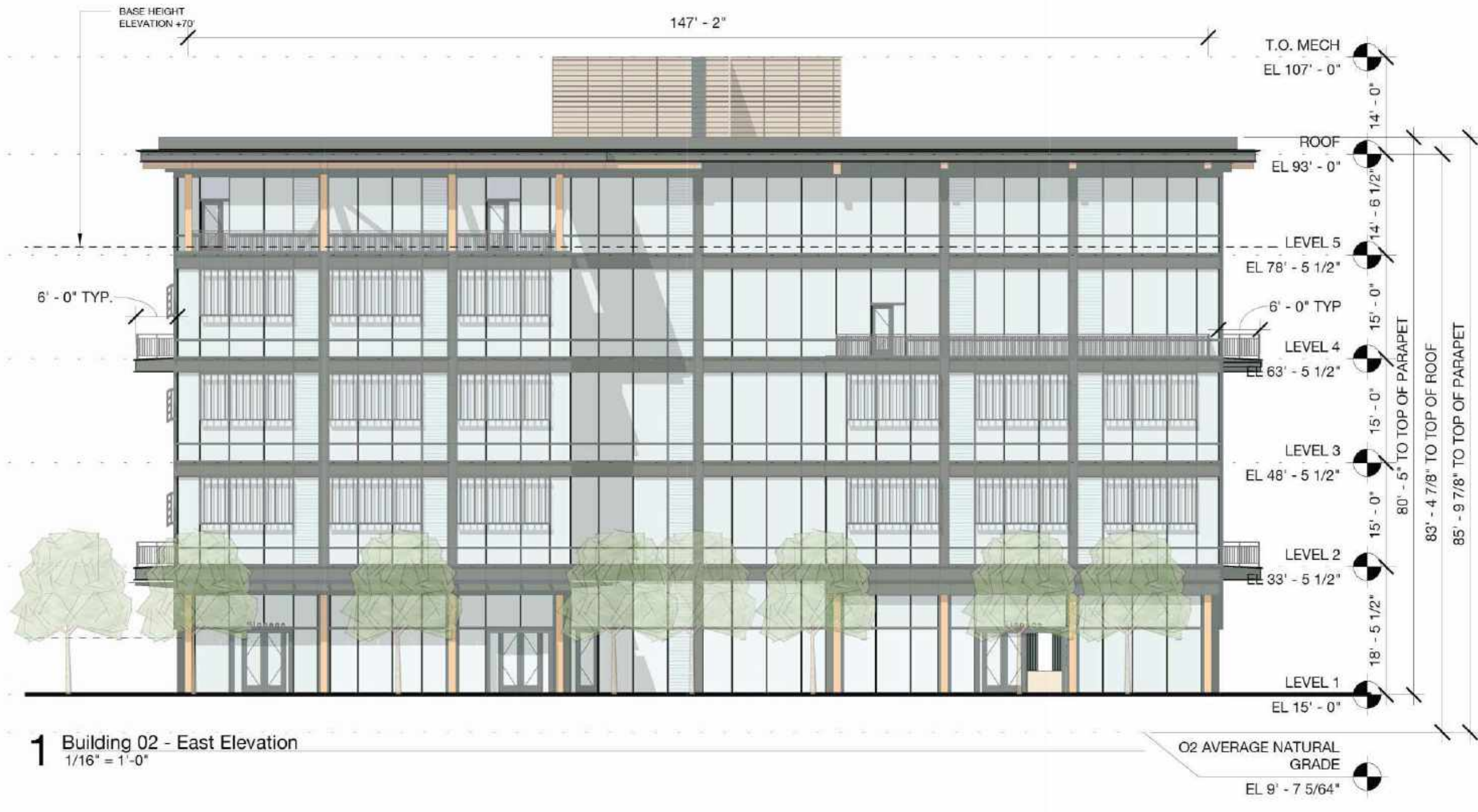
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NO.	DATE	ISSUE

DRAWING TITLE:
Building 02 - Elevations

DRAWING NO:
A4.04.2



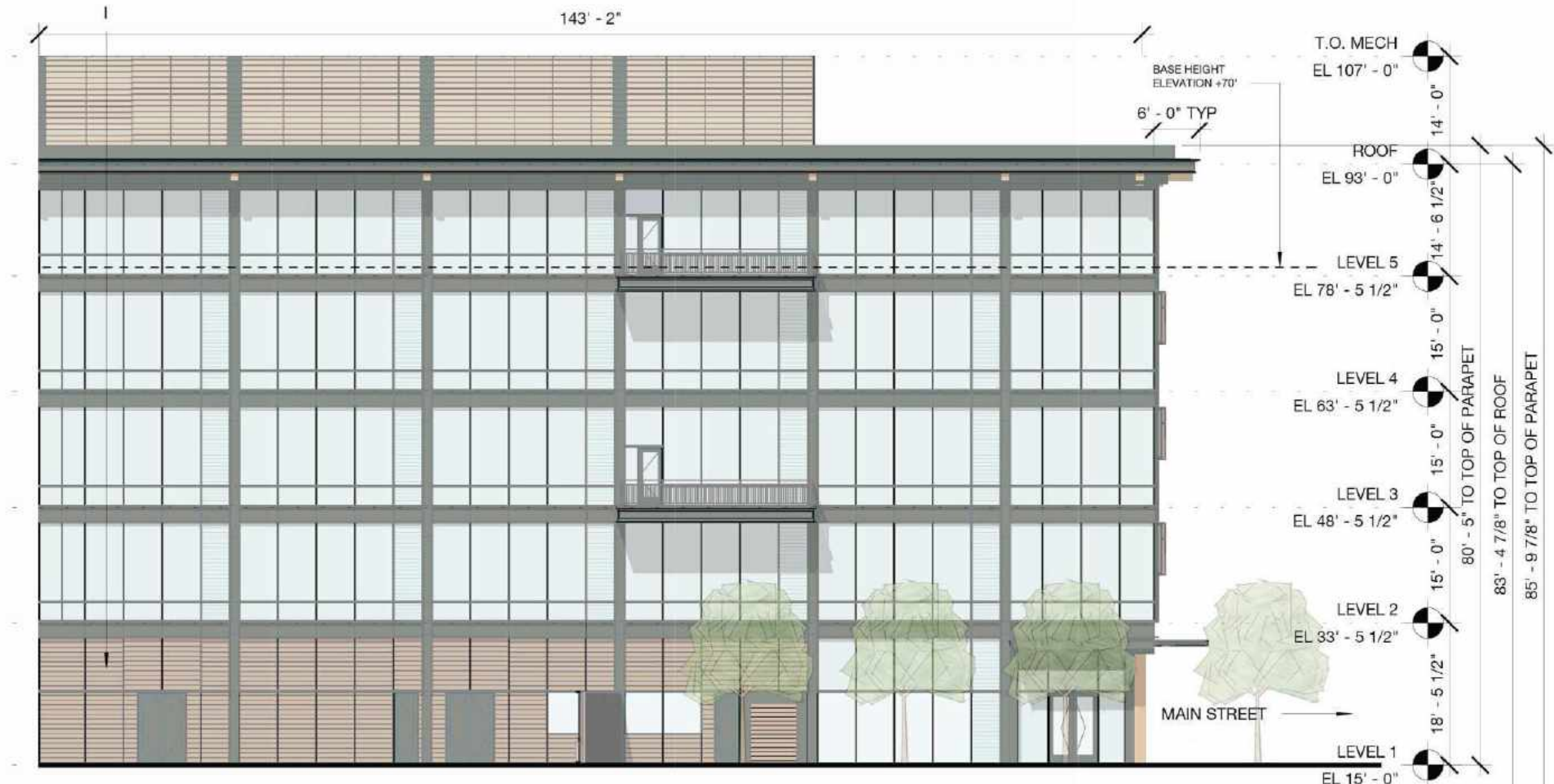
2 Building 02 - West Elevation - Main Street
 1/16" = 1'-0"



1 Building 02 - East Elevation
 1/16" = 1'-0"

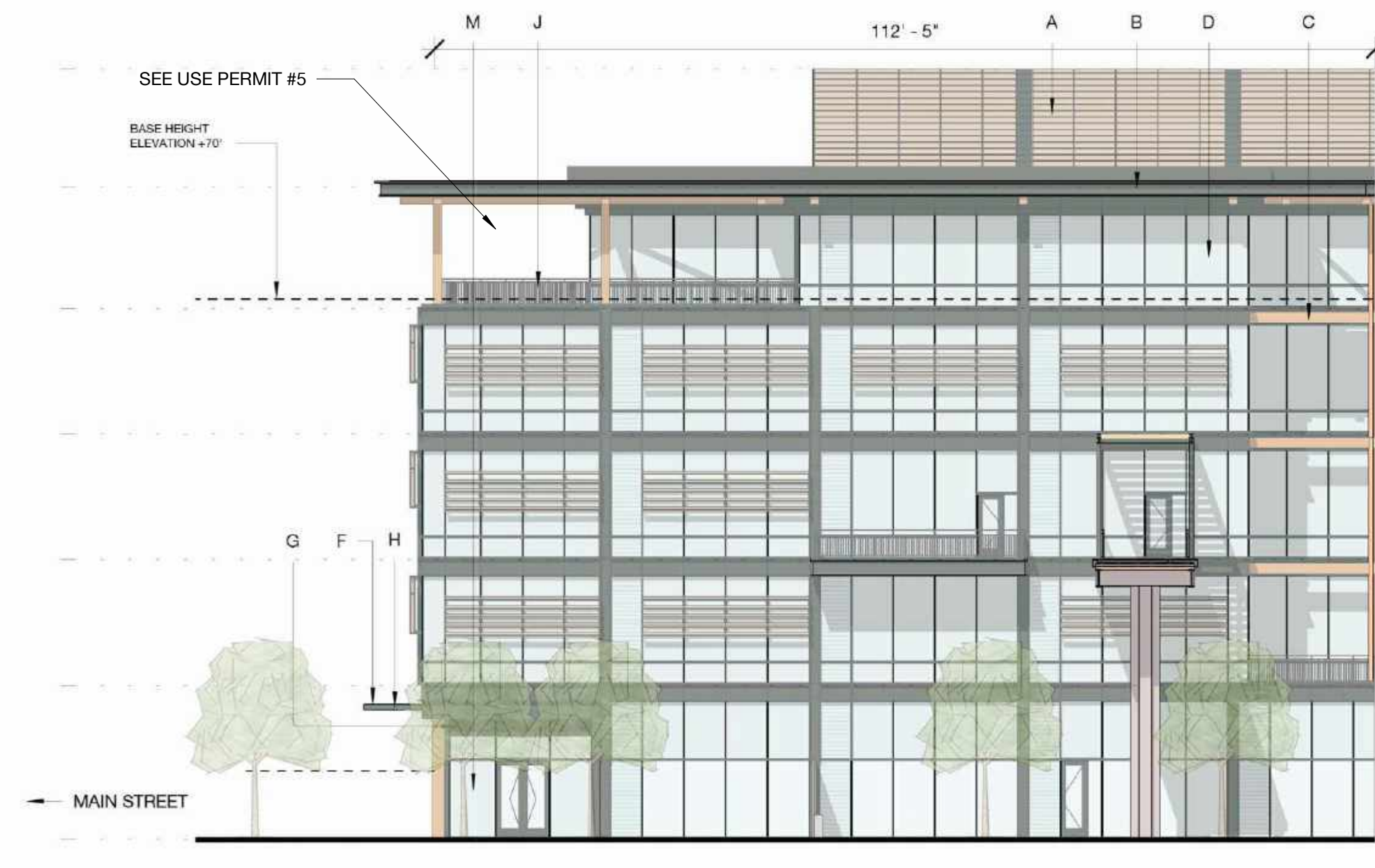


4 Building 02 - North Elevation B
 1/16" = 1'-0"

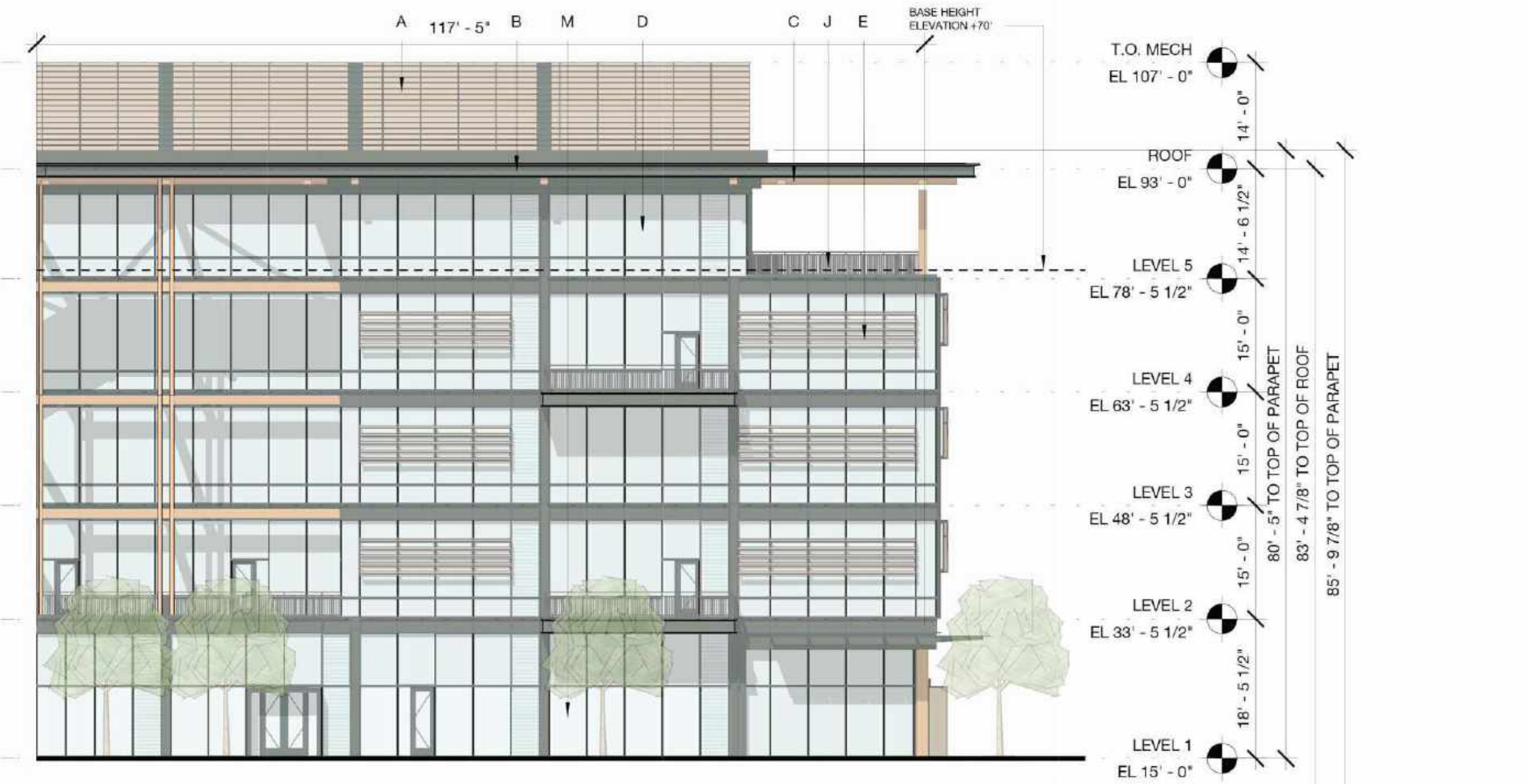


3 Building 02 - North Elevation A
 1/16" = 1'-0"

- NOTES:
 See pages A9.41 - A9.49B for Bird Safe Design Diagrams
- A - PAINTED METAL + METAL PANEL
 - B - PAINTED METAL + METAL PANEL
 - C - EXPOSED HEAVY TIMBER STRUCTURE
 - D - TYPICAL VISION GLASS
 - E - ARCHITECTURAL LOUVER - PAINTED TO MATCH ADJACENT MATERIAL
 - F - GLASS CANOPY
 - G - SIGHT PROOF MECH LOUVER
 - H - EXPOSED STEEL PAINTED TO MATCH PAINTED METAL PANEL
 - I - FIBER CEMENT BOARD
 - J - PAINTED METAL GUARDRAIL
 - K - PERFORATED METAL PANEL GUARDRAIL
 - L - SCREEN COLORED TO MATCH MATERIAL 1"
 - M - VISION GLASS - LEVEL 1 & PAVILIONS SP-1 AND SP-2
 - N - CAST-IN-PLACE CONCRETE

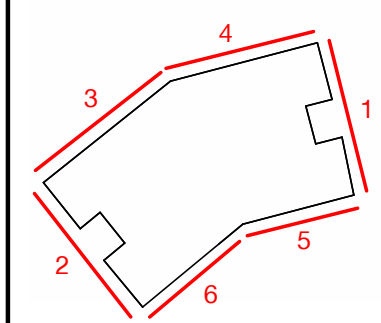


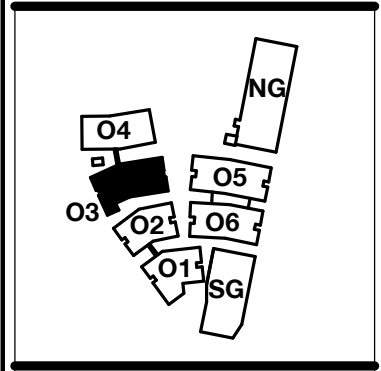
6 Building 02 - South Elevation B
 1/16" = 1'-0"



5 Building 02 - South Elevation A
 1/16" = 1'-0"

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PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

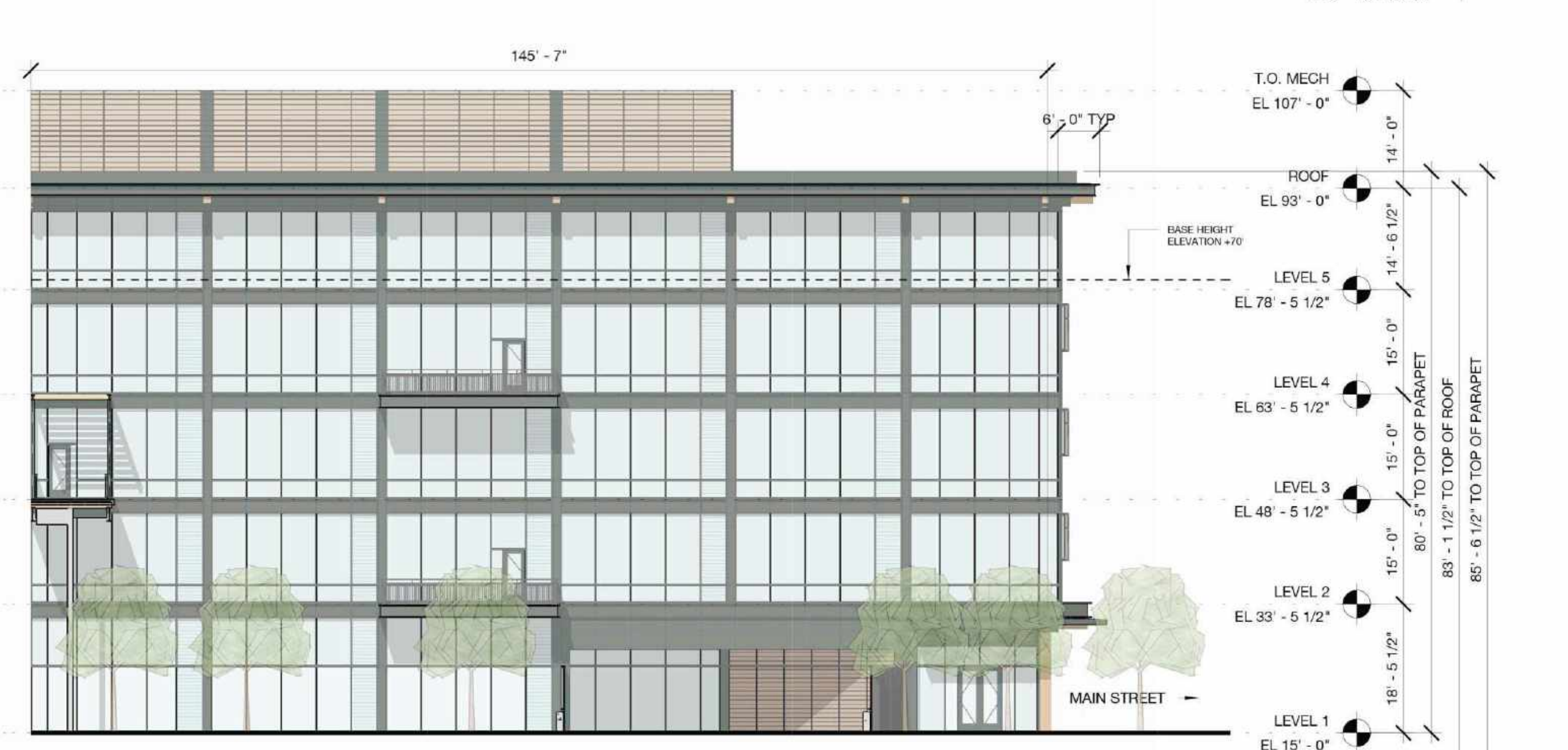
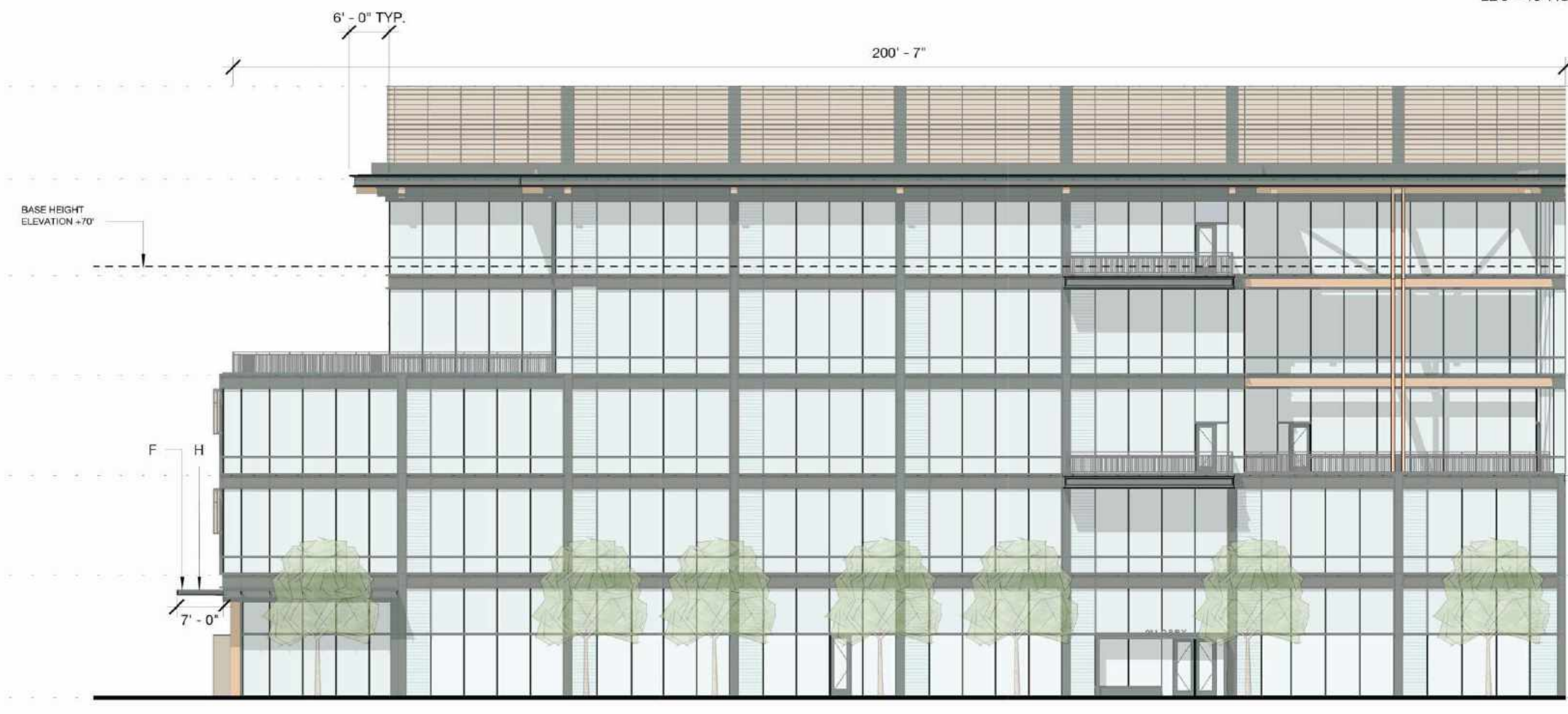
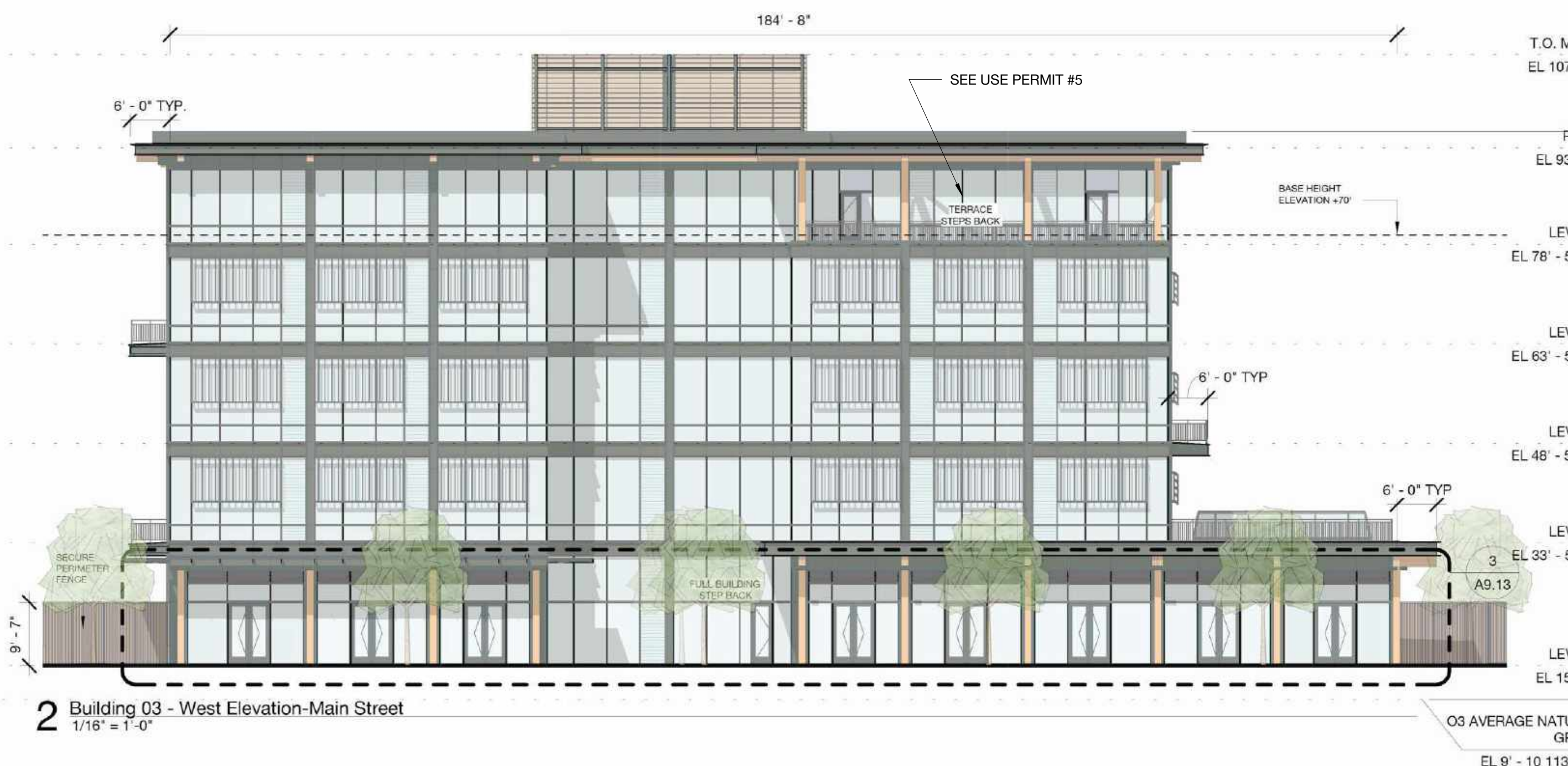
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 NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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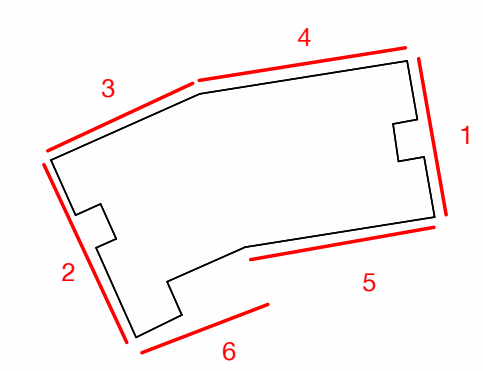
DRAWING TITLE:
Building 03 - Elevations

DRAWING NO:
A4.04.3

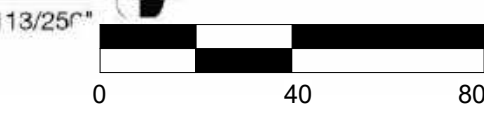


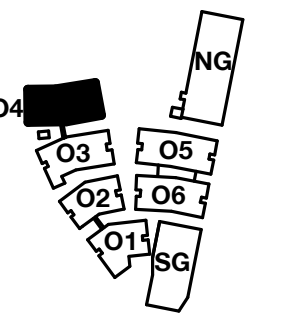
NOTES:
 See pages A9.41 - A9.49B for Bird Safe Design Diagrams

- A - PAINTED METAL + METAL PANEL
- B - PAINTED METAL + METAL PANEL
- C - EXPOSED HEAVY TIMBER STRUCTURE
- D - TYPICAL VISION GLASS
- E - ARCHITECTURAL LOUVER - PAINTED TO MATCH ADJACENT MATERIAL
- F - GLASS CANOPY
- G - SIGHT PROOF MECH LOUVER
- H - EXPOSED STEEL PAINTED TO MATCH PAINTED METAL PANEL
- I - FIBER CEMENT BOARD
- J - PAINTED METAL GUARDRAIL
- K - PERFORATED METAL PANEL GUARDRAIL
- L - SCREEN COLORED TO MATCH MATERIAL "I"
- M - VISION GLASS - LEVEL 1 & PAVILIONS SP-1 AND SP-2
- N - CAST-IN-PLACE CONCRETE



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PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
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Menlo Park, CA

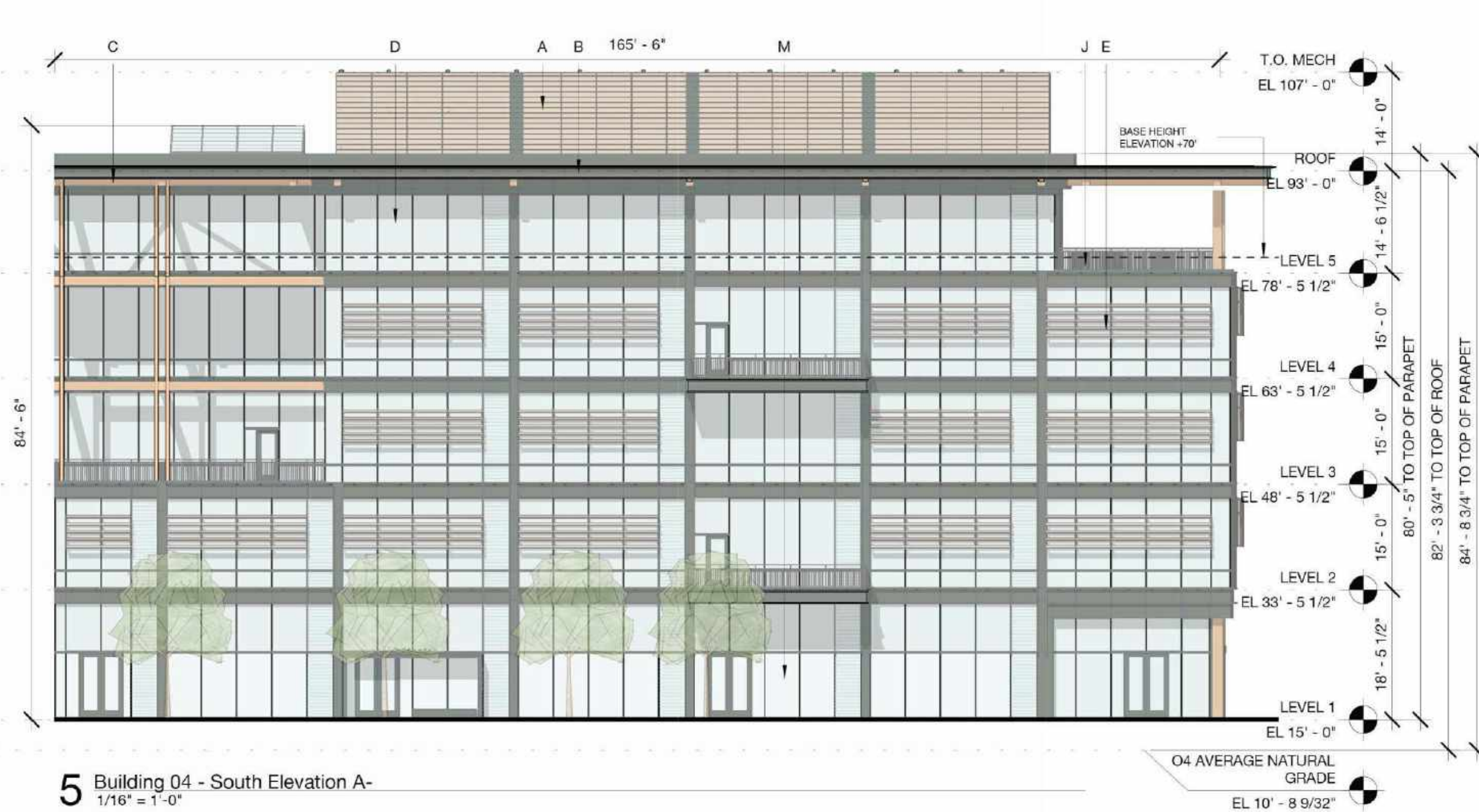
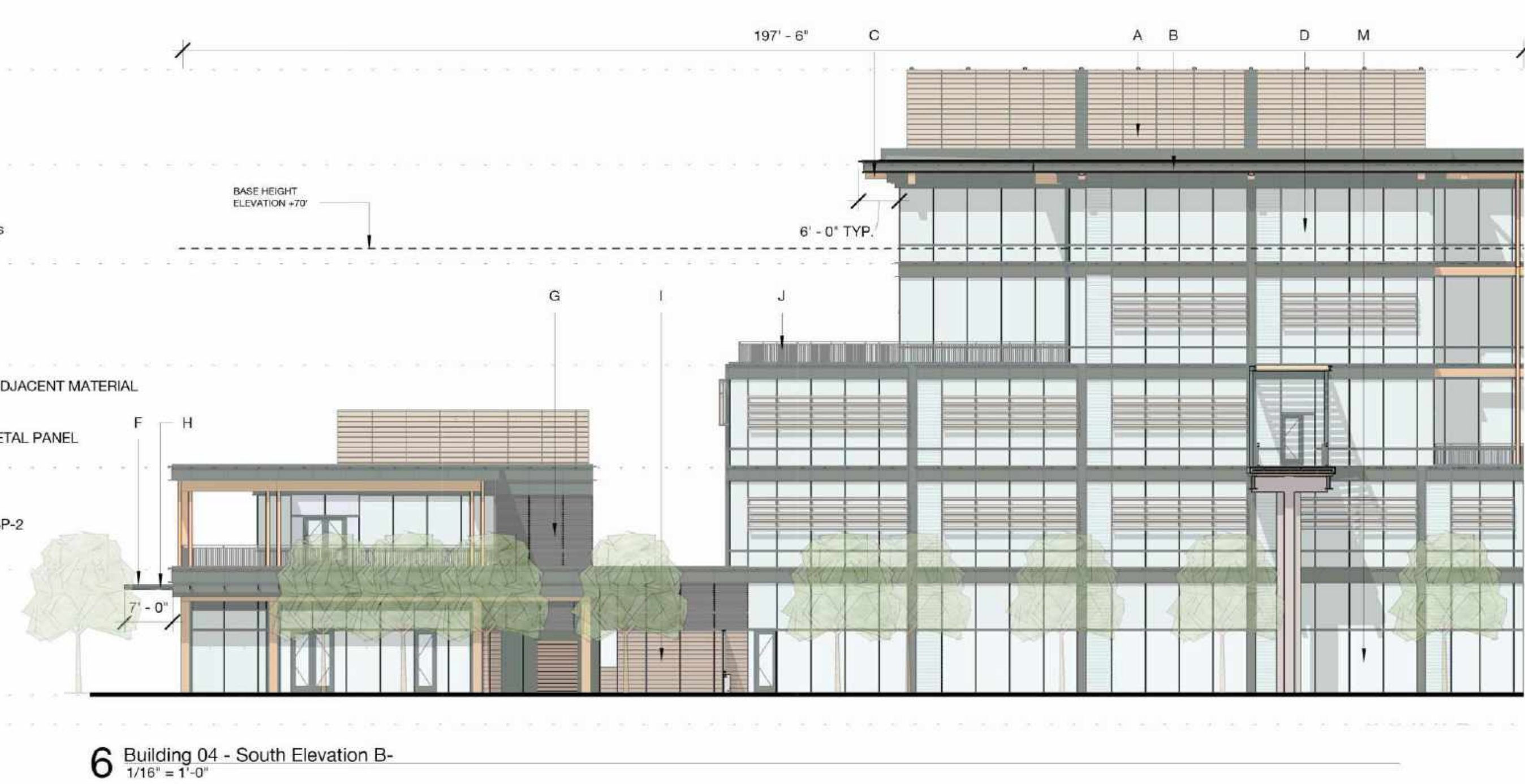
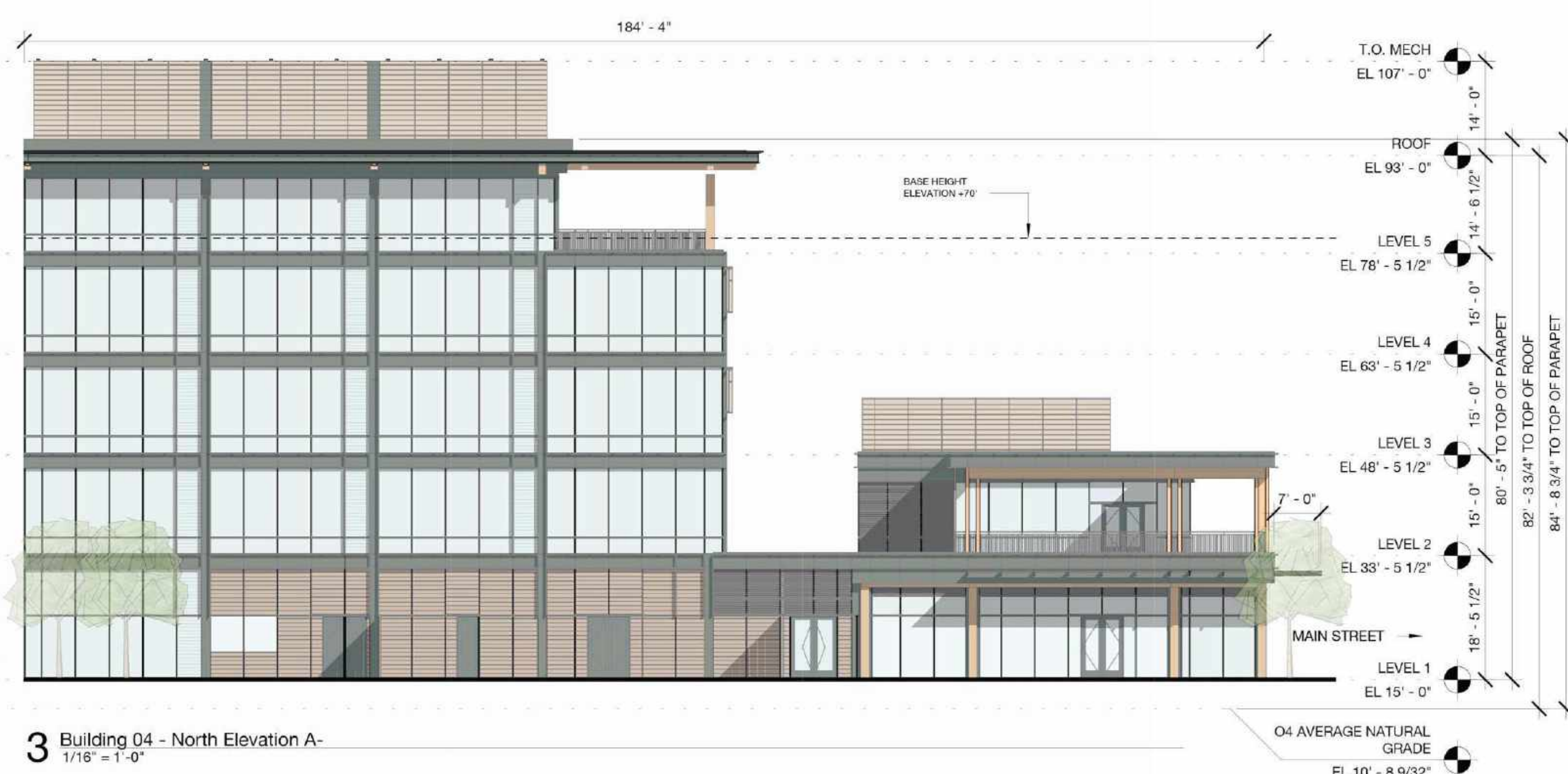
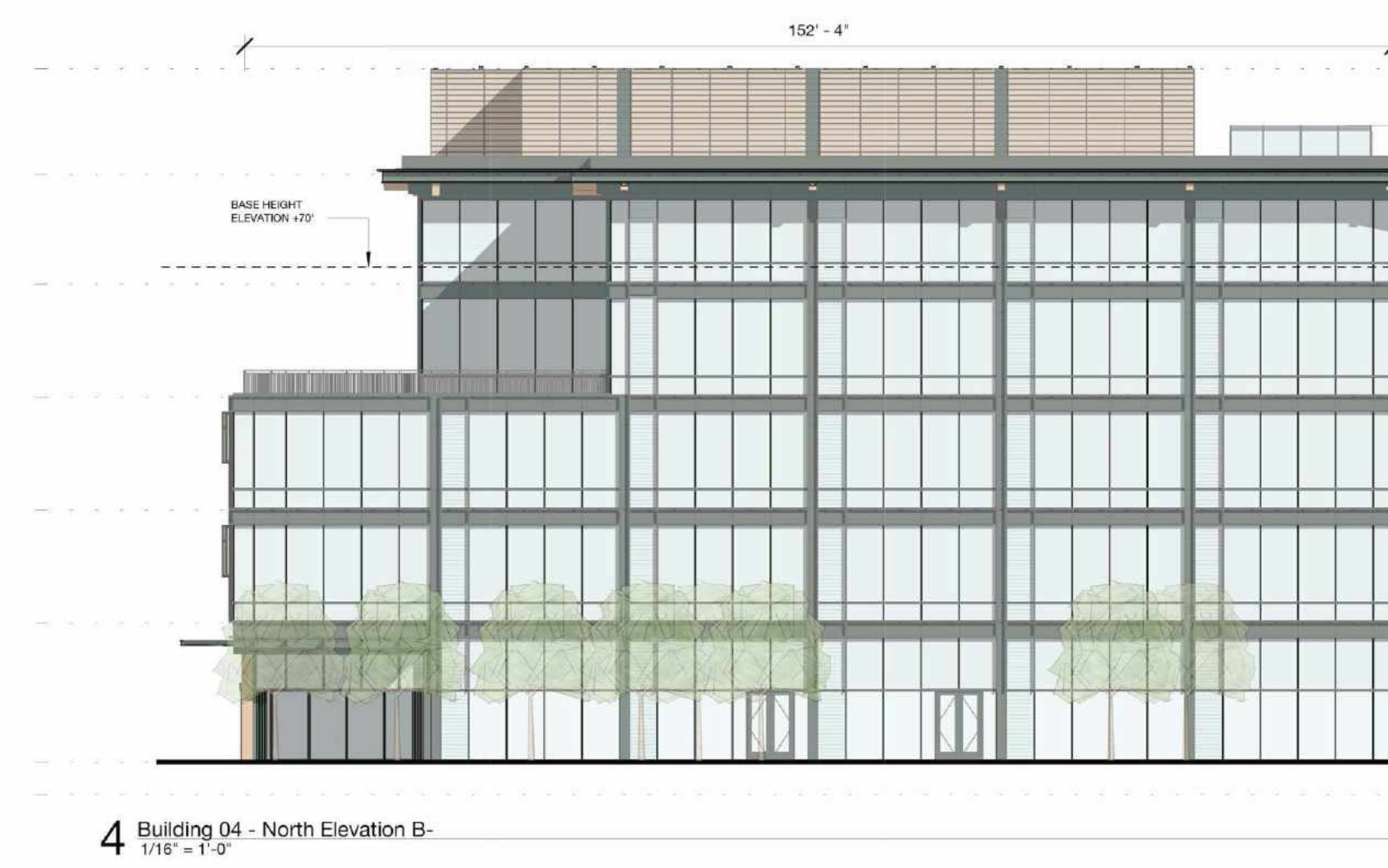
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NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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DATE	ISSUE
03/10/2023	ACP

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NO.	DATE	ISSUE
1	30 JUL 21	100% SCHEMATIC DESIGN R4

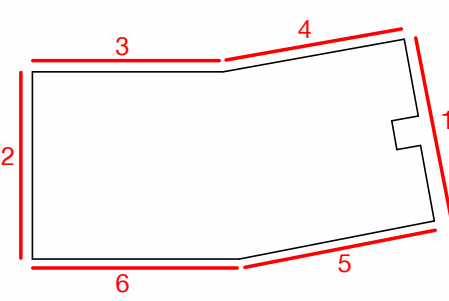
DRAWING TITLE:
Building 04 - Elevations

DRAWING NO:
A4.04.4

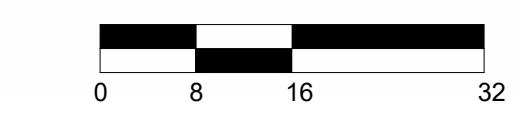


NOTES:
See pages A9.41 - A9.49B for Bird Safe Design Diagrams

- A - PAINTED METAL + METAL PANEL
- B - PAINTED METAL + METAL PANEL
- C - EXPOSED HEAVY TIMBER STRUCTURE
- D - TYPICAL VISION GLASS
- E - ARCHITECTURAL LOUVER - PAINTED TO MATCH ADJACENT MATERIAL
- F - GLASS CANOPY
- G - SIGHT PROOF MECH LOUVER
- H - EXPOSED STEEL PAINTED TO MATCH PAINTED METAL PANEL
- I - FIBER CEMENT BOARD
- J - PAINTED METAL GUARDRAIL
- K - PERFORATED METAL PANEL GUARDRAIL
- L - SCREEN COLORED TO MATCH MATERIAL "1"
- M - VISION GLASS - LEVEL 1 & PAVILIONS SP-1 AND SP-2
- N - CAST-IN-PLACE CONCRETE



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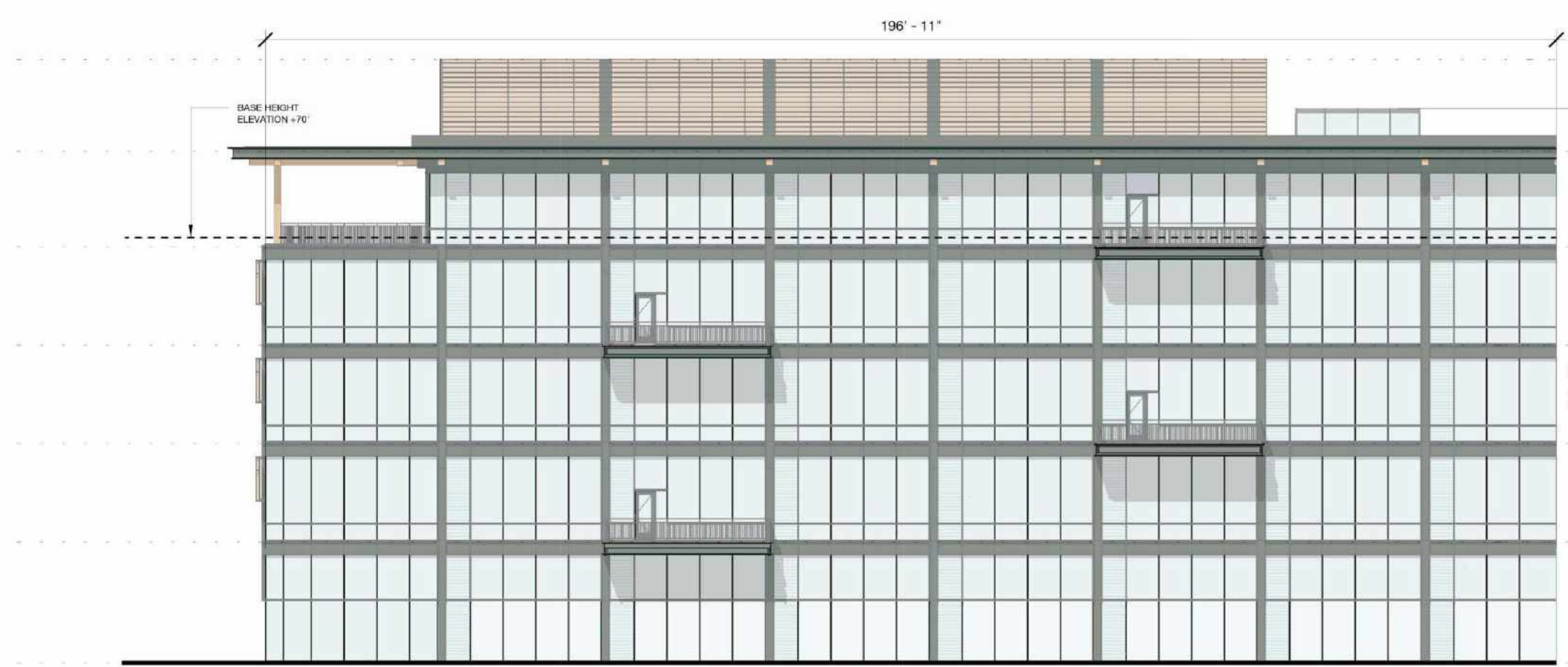




2 Building 05 - West Elevation-
1/16" = 1'-0"



1 Building 05 - East Elevation-East Loop Road
1/16" = 1'-0"



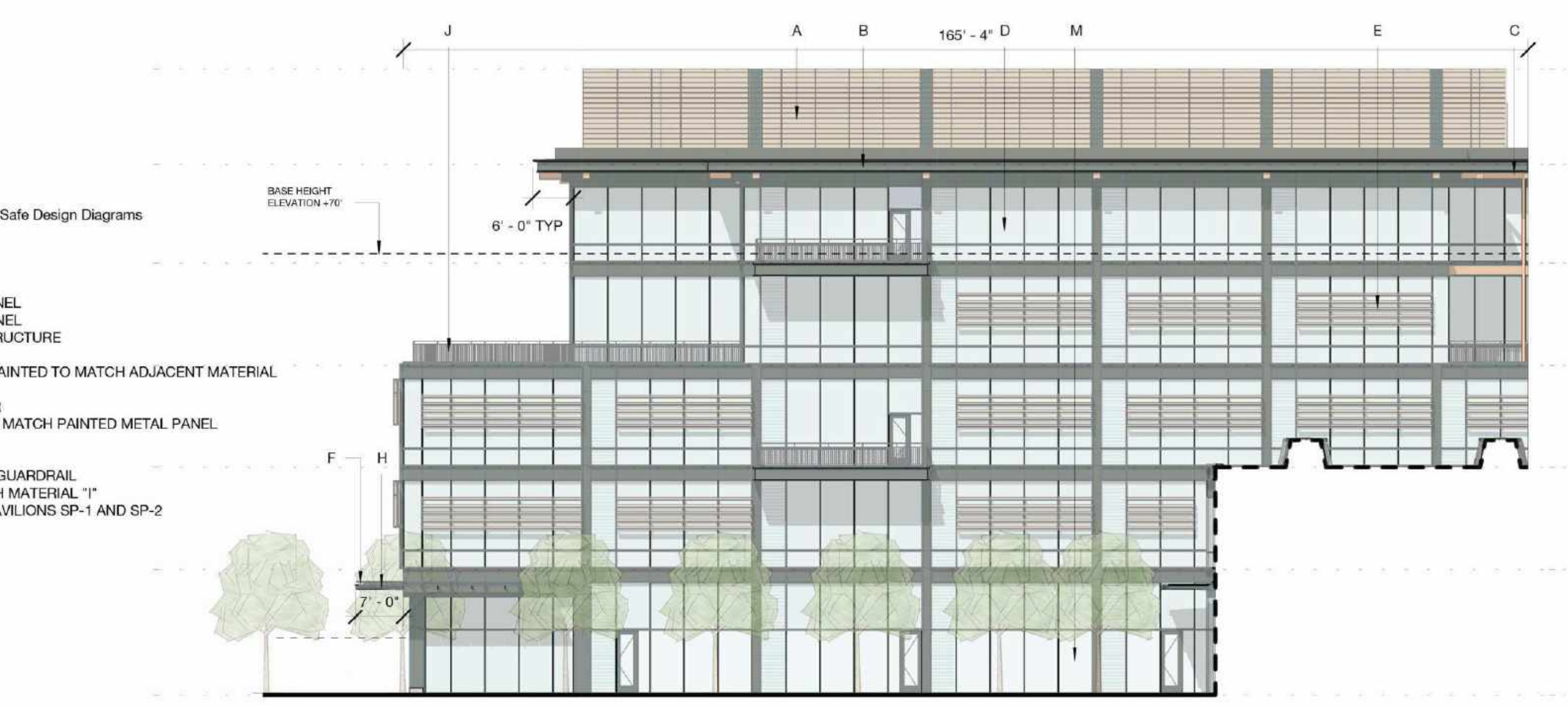
4 Building 05 - North Elevation B-
1/16" = 1'-0"



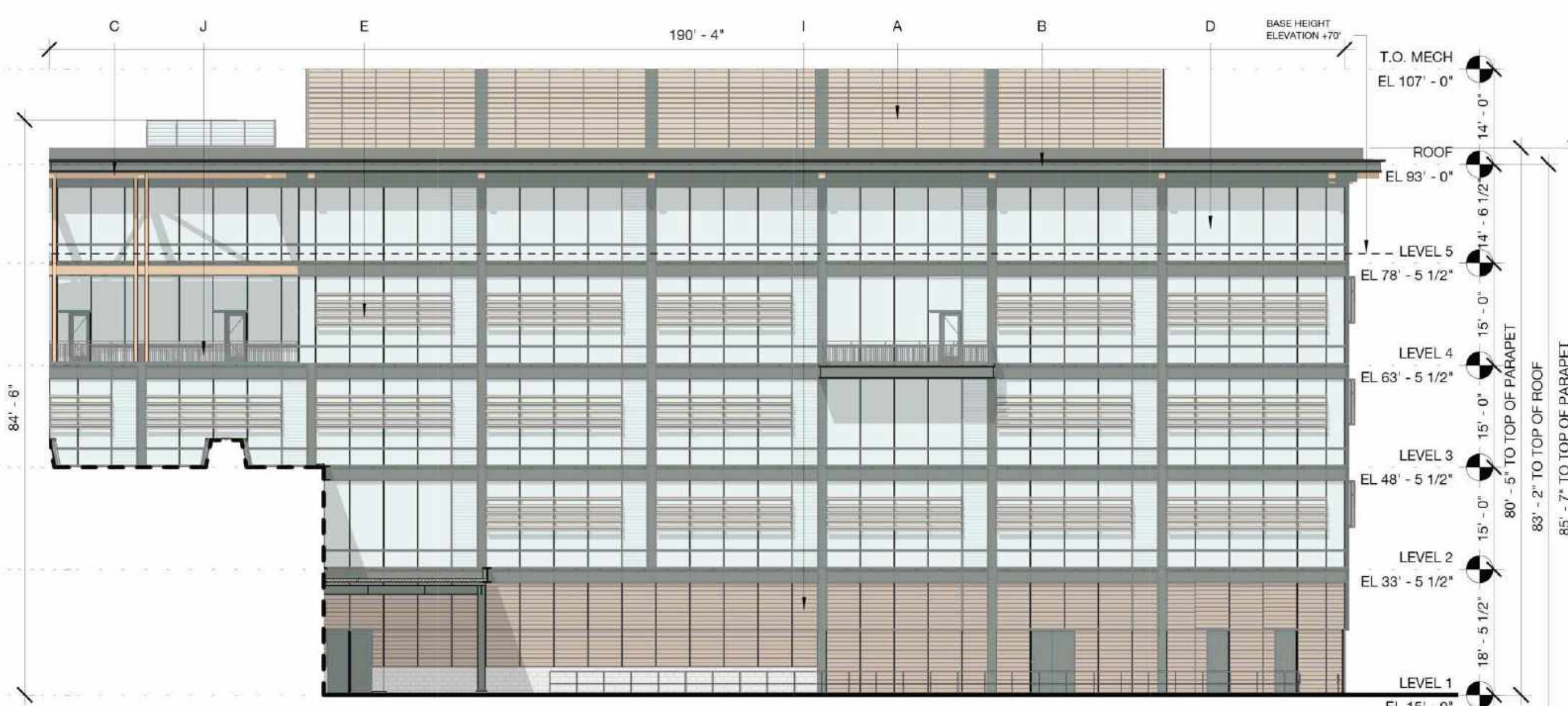
3 Building 05 - North Elevation A-
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NOTES:
See pages A9.41 - A9.49B for Bird Safe Design Diagrams

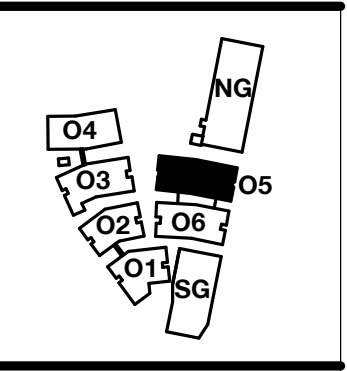
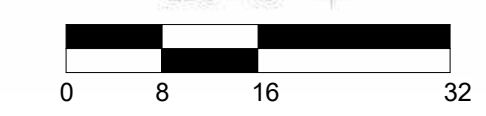
- A - PAINTED METAL + METAL PANEL
- B - PAINTED METAL + METAL PANEL
- C - EXPOSED HEAVY TIMBER STRUCTURE
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- J - PAINTED METAL GUARDRAIL
- K - PERFORATED METAL PANEL GUARDRAIL
- L - SCREEN COLORED TO MATCH MATERIAL "1"
- M - VISION GLASS - LEVEL 1 & PAVILIONS SP-1 AND SP-2
- N - CAST-IN-PLACE CONCRETE



6 Building 05 - South Elevation B-
1/16" = 1'-0"



5 Building 05 - South Elevation A-
1/16" = 1'-0"



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 (Portion)
Menlo Park, CA

SCALE: 3/4" = 1'-0"
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

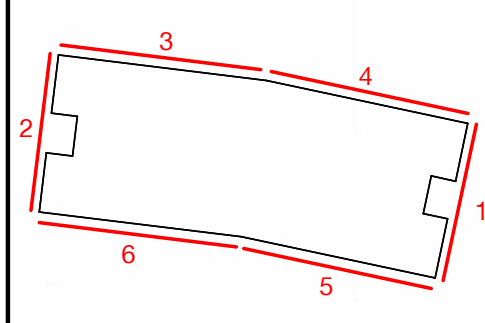
MILESTONES	
DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
Building 05 - Elevations

DRAWING NO:
A4.04.5

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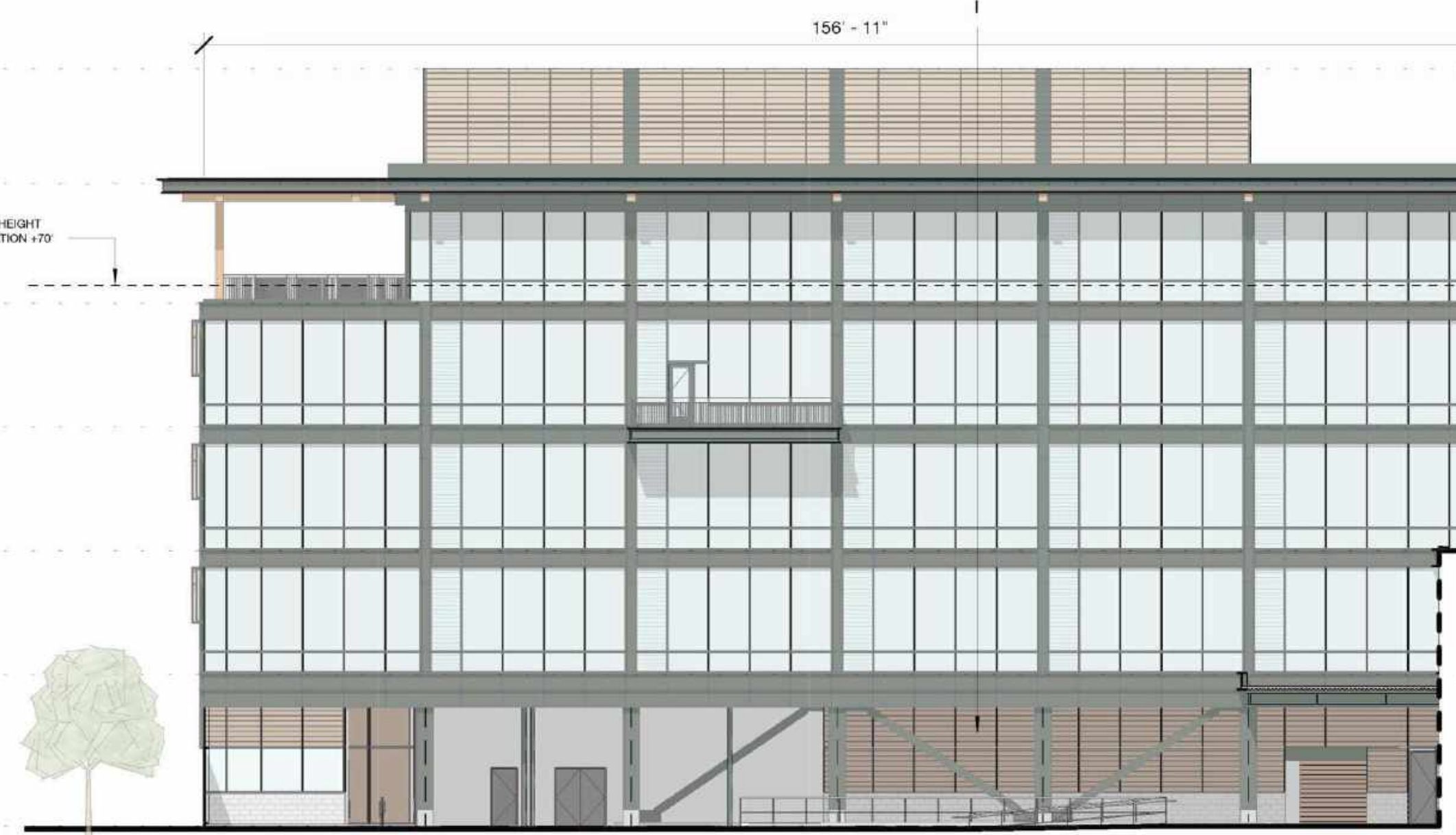




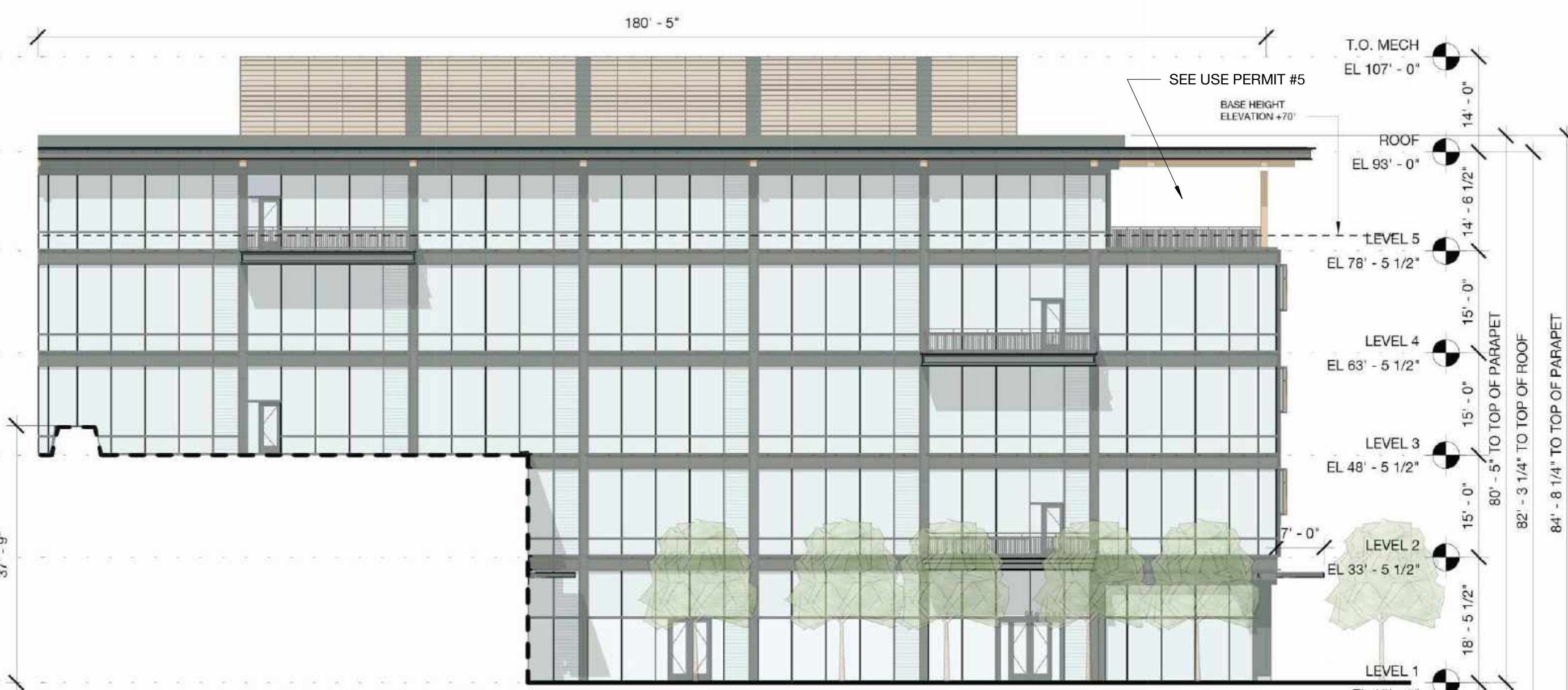
2 Building 06 - West Elevation-
1/16" = 1'-0"



1 Building 06 - East Elevation-1/16-East Loop Road
1/16" = 1'-0"



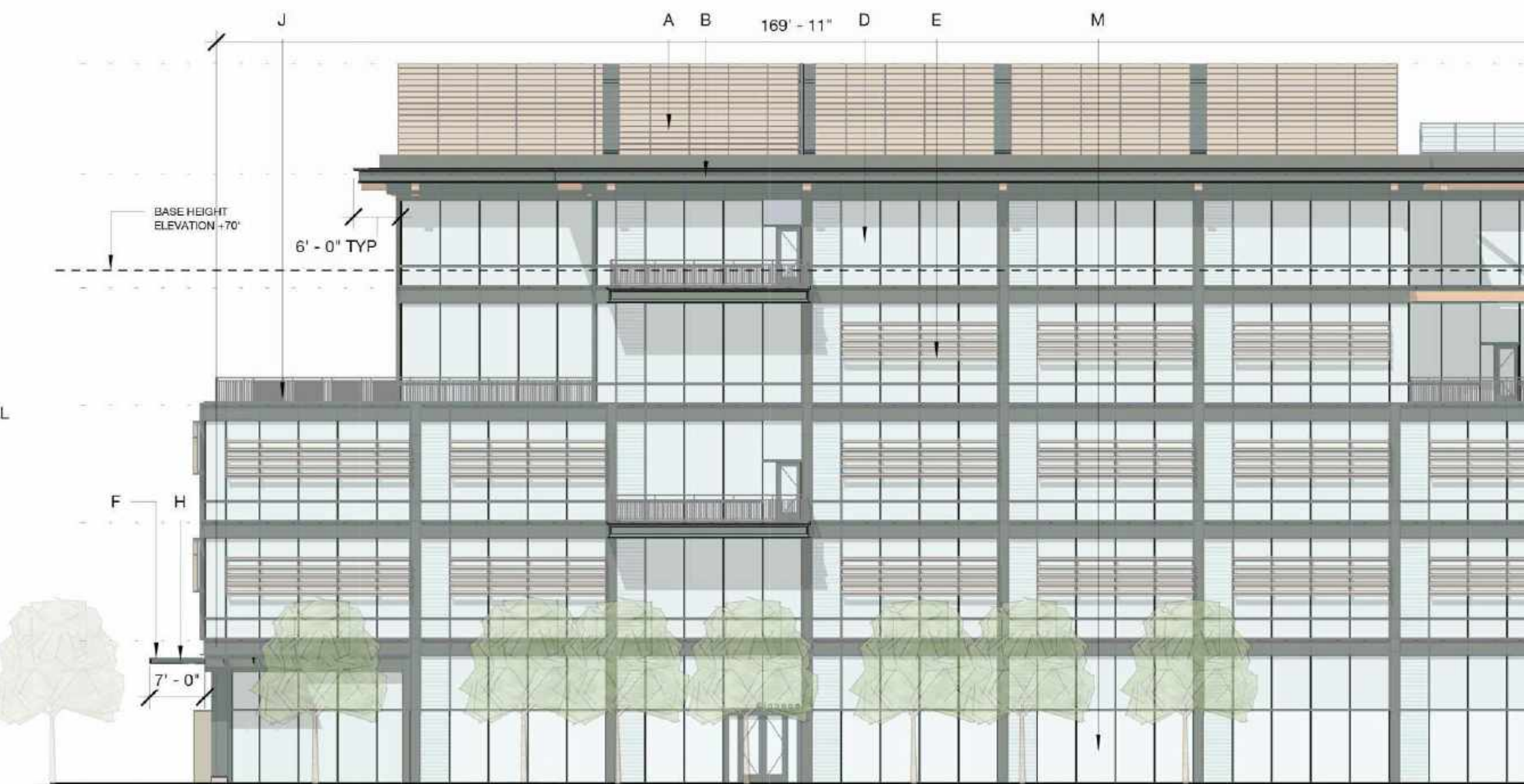
4 Building 06 - North Elevation B-
1/16" = 1'-0"



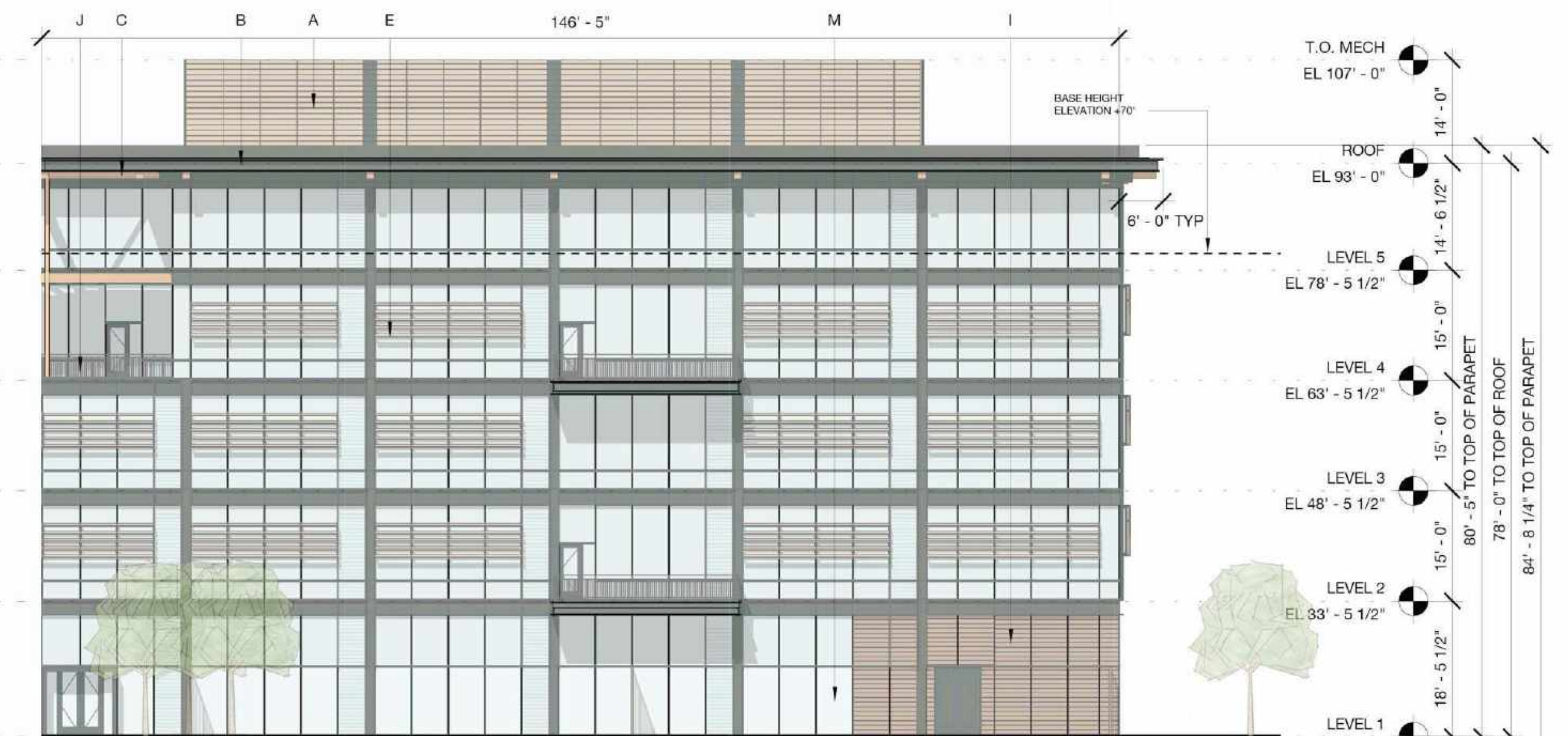
3 Building 06 - North Elevation A-
1/16" = 1'-0"

NOTES:
See pages A9.41 - A9.49B for Bird Safe Design Diagrams

- A - PAINTED METAL + METAL PANEL
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- N - CAST-IN-PLACE CONCRETE



6 Building 06 - South Elevation B-
1/16" = 1'-0"



5 Building 06 - South Elevation A-
1/16" = 1'-0"

PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 (Portion)
Menlo Park, CA

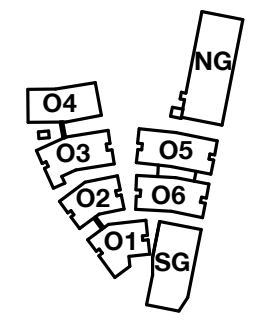
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NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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DATE	ISSUE
03/10/2023	ACP

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NO.	DATE	ISSUE

DRAWING TITLE:
Building 06 - Elevations

DRAWING NO:
A4.04.6



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

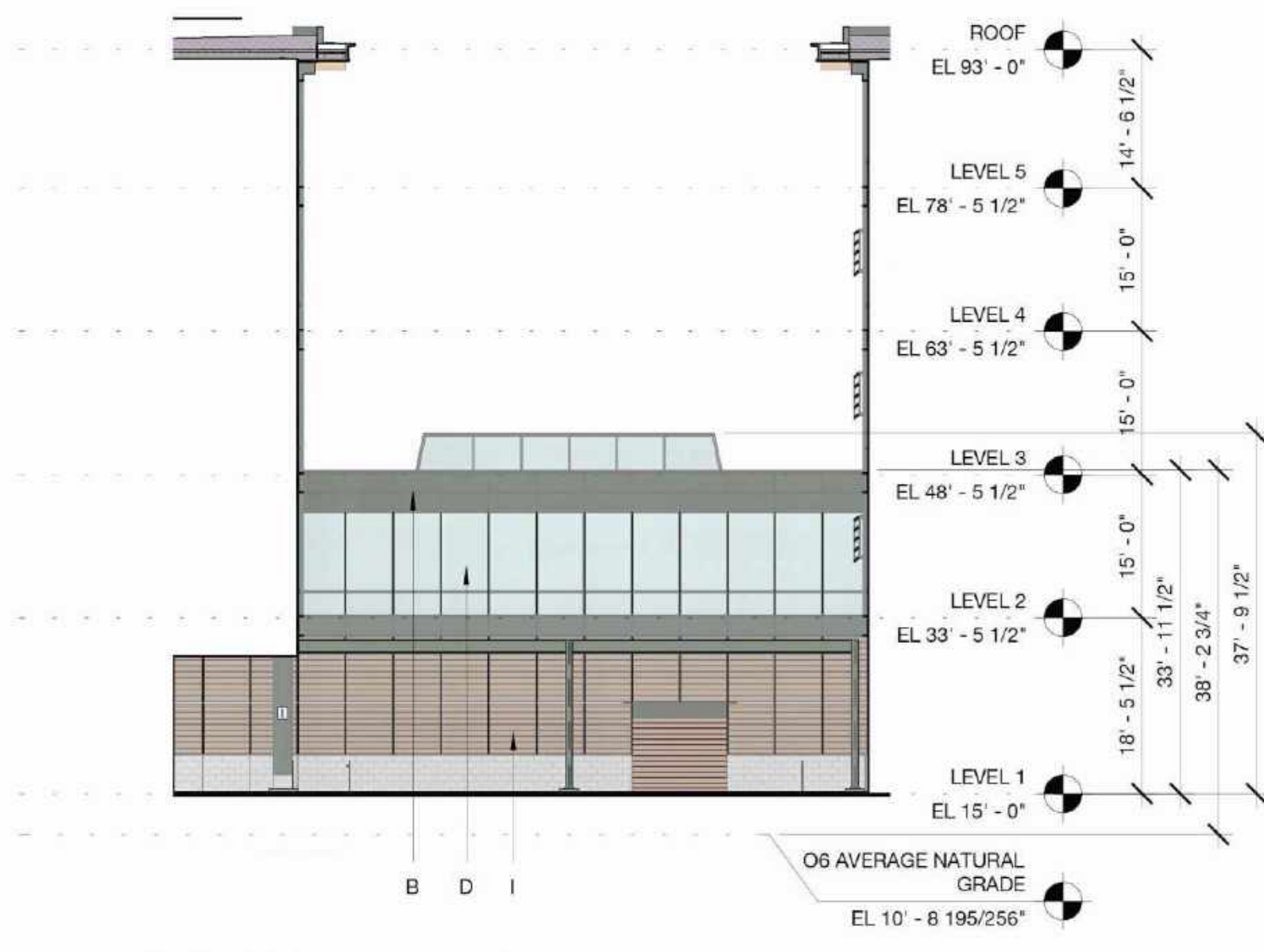
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NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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DATE	ISSUE
03/10/2023	ACP

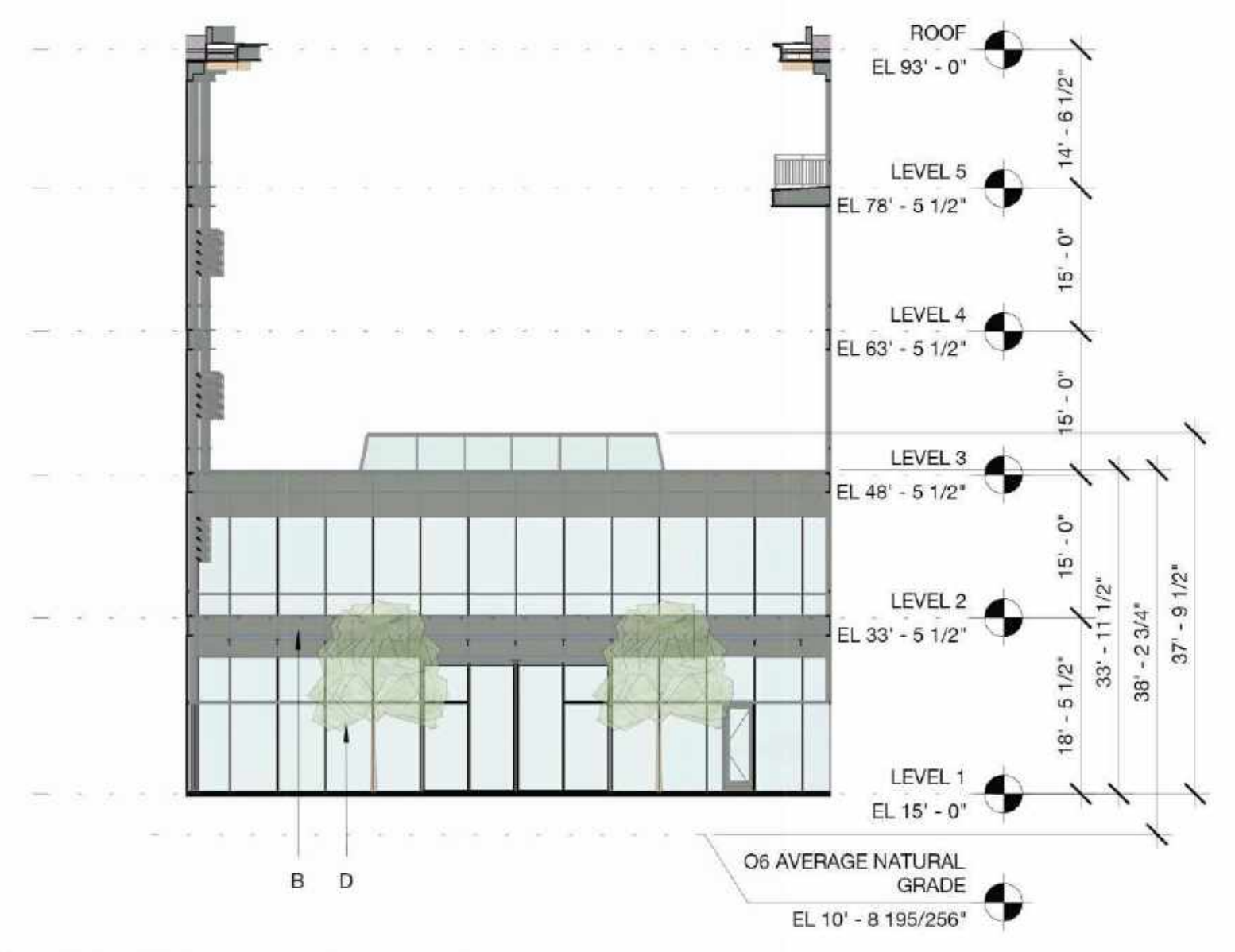
REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
Building 06 Connector - Elevations

DRAWING NO:
A4.04.7



4 Building 06 Connector - East Elevation
 1/16" = 1'-0"



3 Building 06 Connector - West Elevation
 1/16" = 1'-0"

- NOTES:
 See pages A9.41 - A9.49B for Bird Safe Design Diagrams
- A - PAINTED METAL + METAL PANEL
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 - K - PERFORATED METAL PANEL GUARDRAIL
 - L - SCREEN COLORED TO MATCH MATERIAL "I"
 - M - VISION GLASS - LEVEL 1 & PAVILIONS SP-1 AND SP-2
 - N - CAST-IN-PLACE CONCRETE



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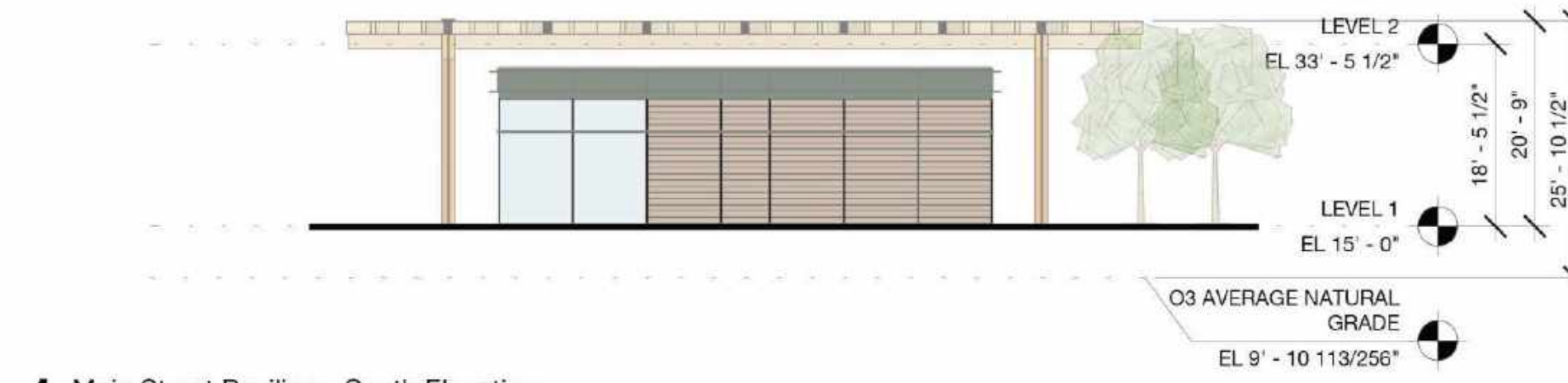
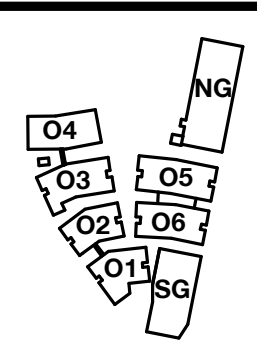
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NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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DATE	ISSUE
03/10/2023	ACP

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NO.	DATE	ISSUE

DRAWING TITLE:
Main Street Pavilion - Elevations

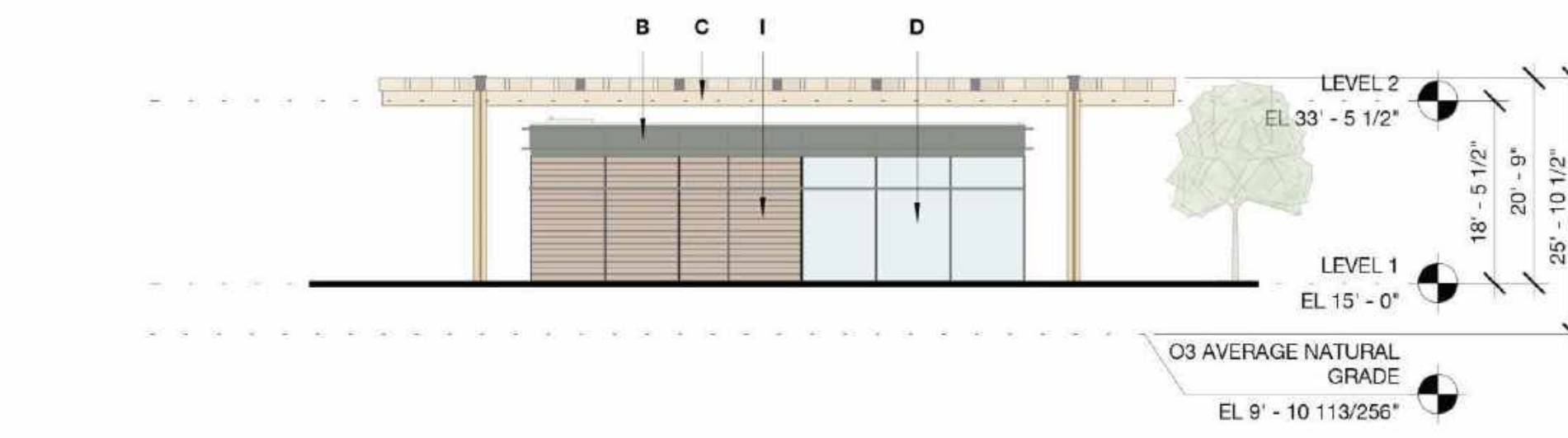
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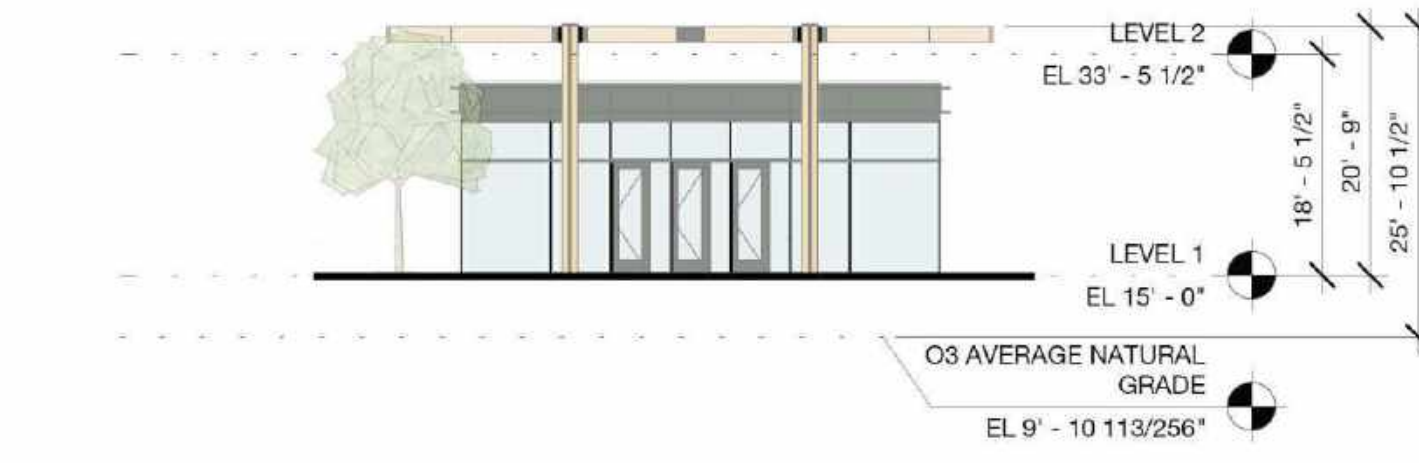
1 Main Street Pavilion - South Elevation
 1/16" = 1'-0"



2 Main Street Pavilion - East Elevation
 1/16" = 1'-0"

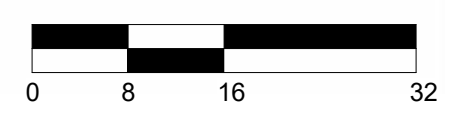


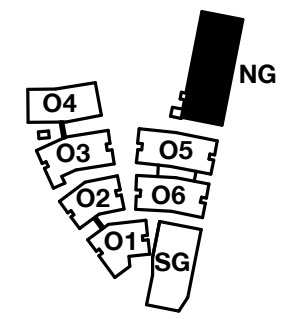
3 Main Street Pavilion - North Elevation
 1/16" = 1'-0"



5 Main Street Pavilion - West Elevation
 1/16" = 1'-0"

- NOTES:**
 See pages A9.41 - A9.49B for Bird Safe Design Diagrams
- A - PAINTED METAL + METAL PANEL
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 - L - SCREEN COLORED TO MATCH MATERIAL "I"
 - M - VISION GLASS - LEVEL 1 & PAVILIONS SP-1 AND SP-2
 - N - CAST-IN-PLACE CONCRETE





PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

SCALE: 3/4" = 1'-0"

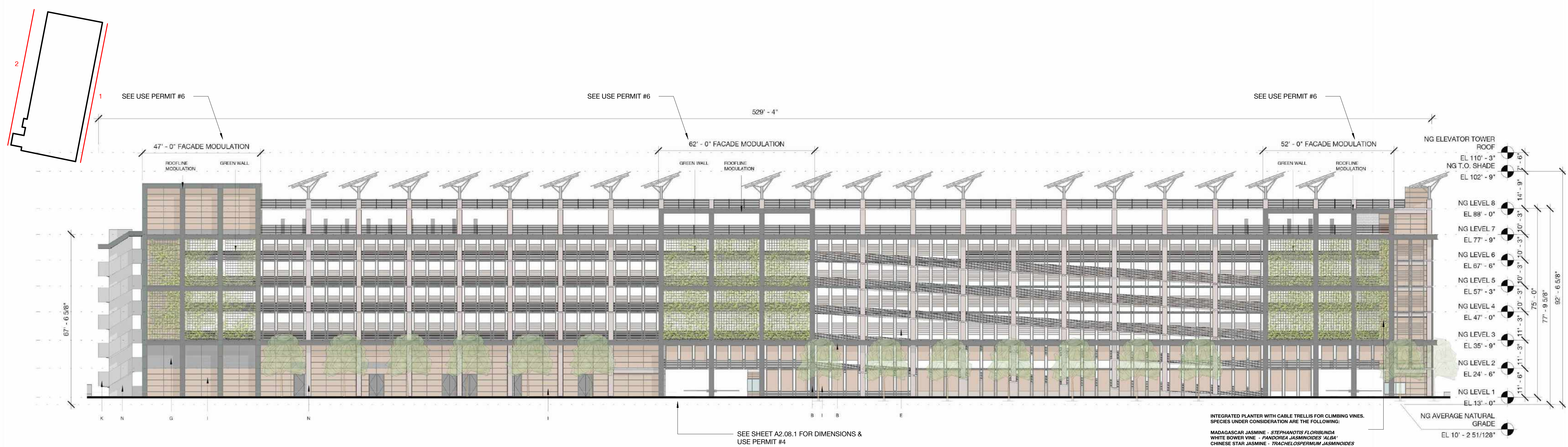
NOTE: THIS DRAWING IS ISO #1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. FOR SEE CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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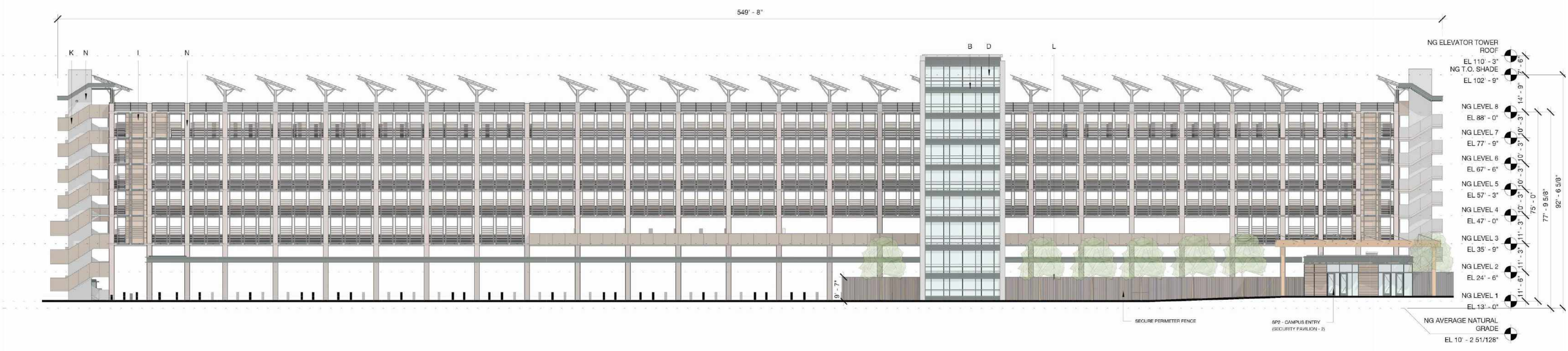
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DRAWING TITLE:
 North Garage - East and West Elevations

DRAWING NO:
A4.05.1



1 North Garage - East Elevation-East Loop Road
 1" = 20'-0"

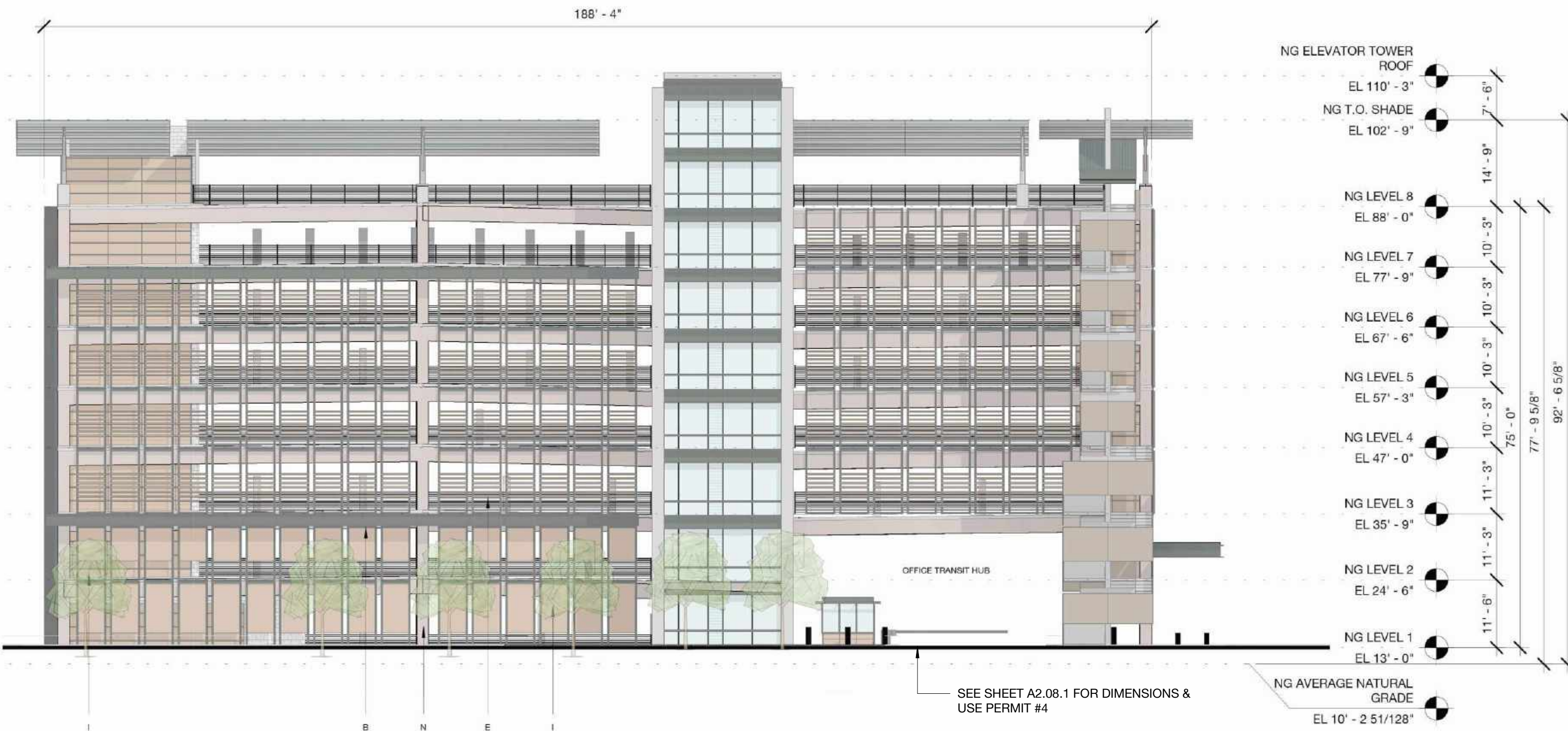
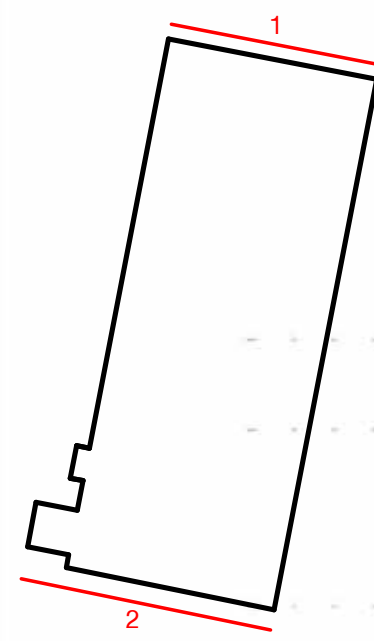


2 North Garage - West Elevation- Interior Campus
 1" = 20'-0"

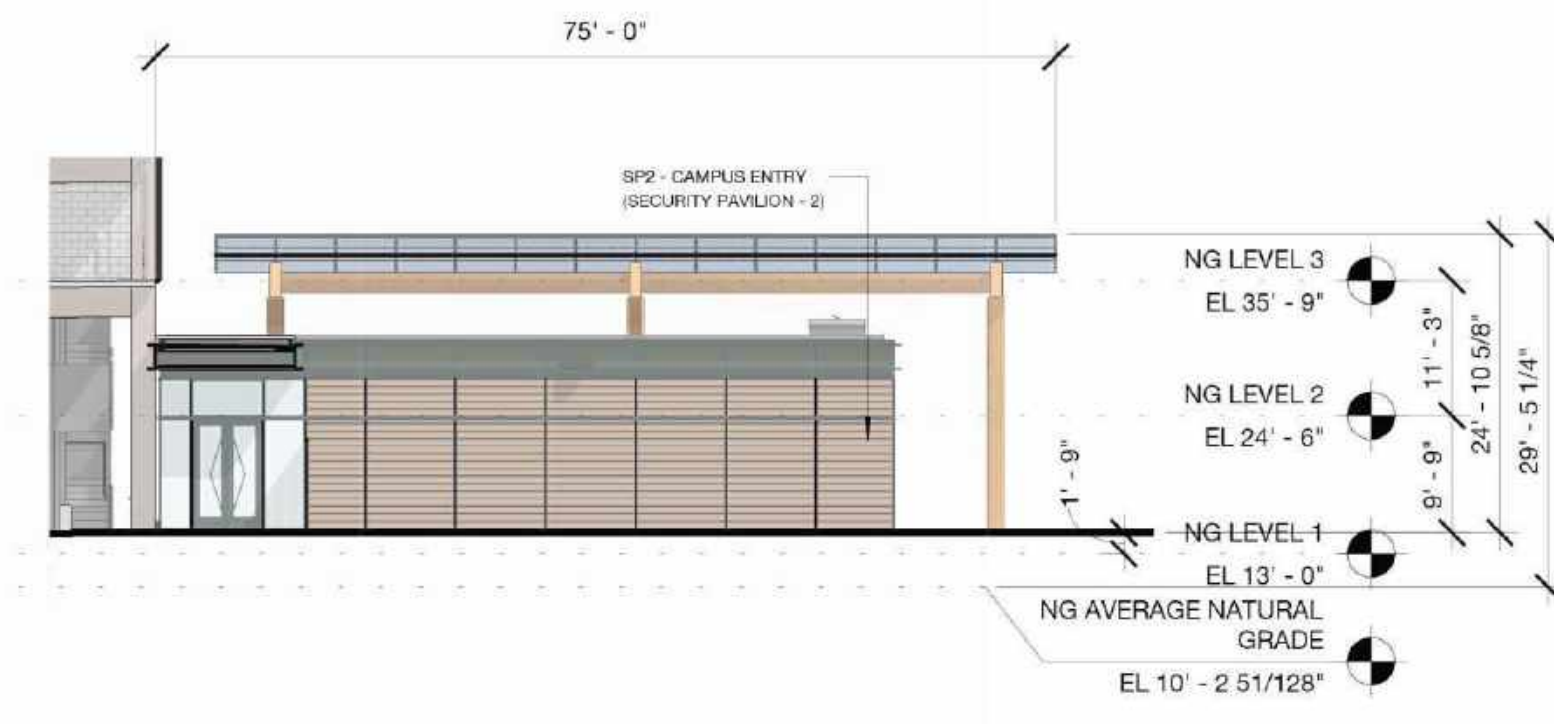
- NOTES:
 See pages A9.41 - A9.49B for Bird Safe Design Diagrams
- A - PAINTED METAL + METAL PANEL
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 - L - SCREEN COLORED TO MATCH MATERIAL "I"
 - M - VISION GLASS - LEVEL 1 & PAVILIONS SP-1 AND SP-2
 - N - CAST-IN-PLACE CONCRETE



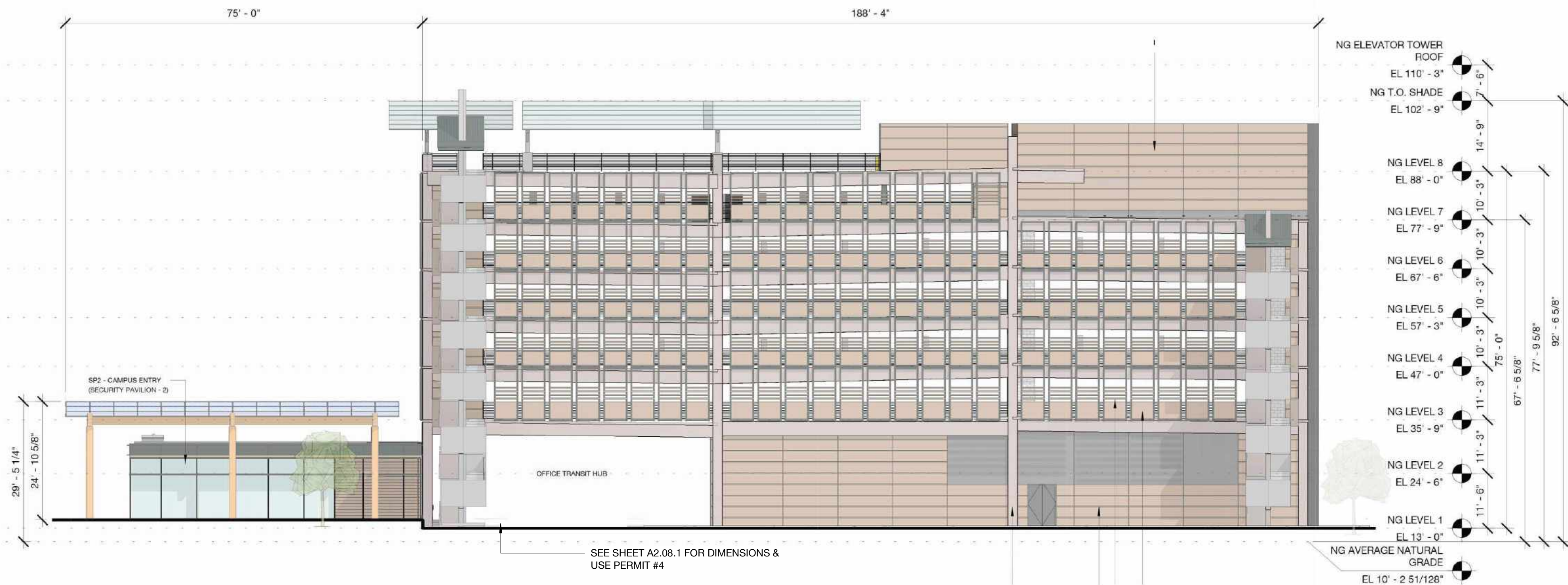
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1 North Garage - North Elevation-North Loop Road
1/16" = 1'-0"



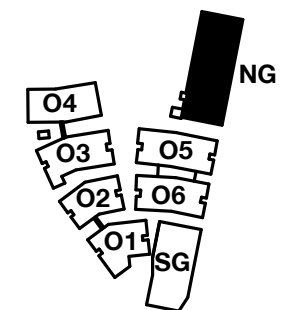
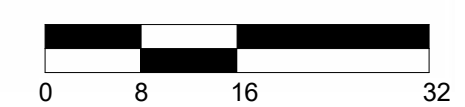
3 North Garage Pavilion - North Elevation
1/16" = 1'-0"



2 North Garage - South Elevation
1/16" = 1'-0"

NOTES:
See pages A9.41 - A9.49B for Bird Safe Design Diagrams

- A - PAINTED METAL + METAL PANEL
- B - PAINTED METAL + METAL PANEL
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PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE

Architectural Control Package - Parcel 1 (Portion)

Menlo Park, CA

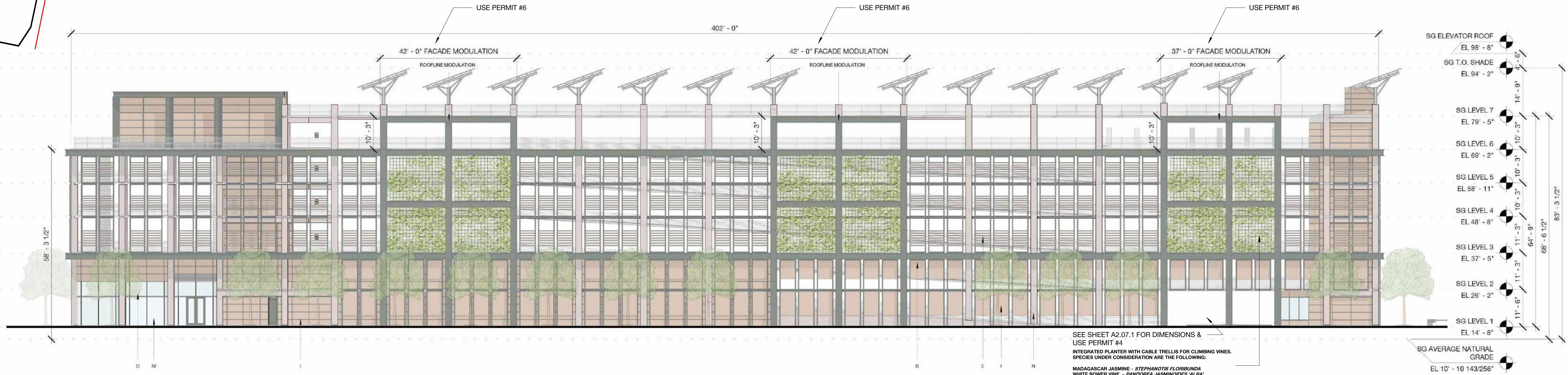
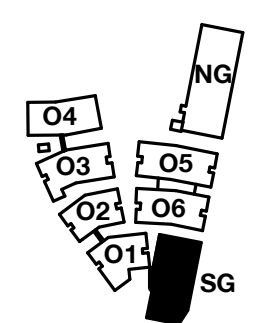
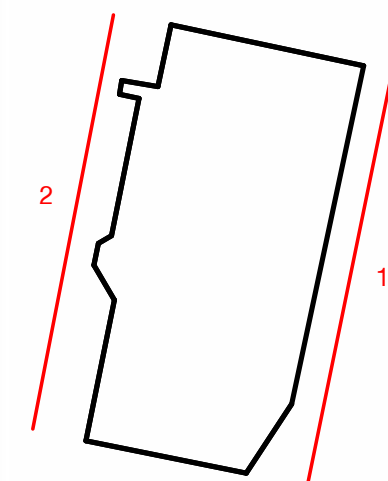
SCALE: 3/4" = 1'-0"
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
03/10/2023	ACP

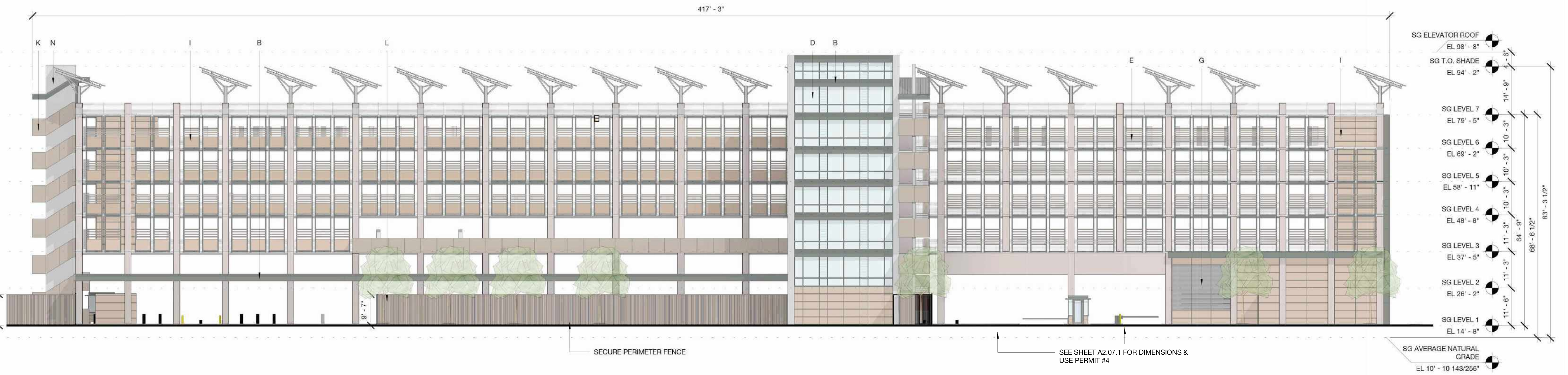
REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
North Garage - North and South Elevations

DRAWING NO:
A4.05.2



1 South Garage - East Elevation-East Loop Road
1/16" = 1'-0"



2 South Garage - West Elevation - Interior Campus
1/16" = 1'-0"

- NOTES:
See pages A9.41 - A9.49B for Bird Safe Design Diagrams
- A - PAINTED METAL + METAL PANEL
 - B - PAINTED METAL + METAL PANEL
 - C - EXPOSED HEAVY TIMBER STRUCTURE
 - D - TYPICAL VISION GLASS
 - E - ARCHITECTURAL LOUVER - PAINTED TO MATCH ADJACENT MATERIAL
 - F - GLASS CANOPY
 - G - SIGHT PROOF MECH LOUVER
 - H - EXPOSED STEEL PAINTED TO MATCH PAINTED METAL PANEL
 - I - FIBER CEMENT BOARD
 - J - PAINTED METAL GUARDRAIL
 - K - PERFORATED METAL PANEL GUARDRAIL
 - L - SCREEN COLORED TO MATCH MATERIAL "I"
 - M - VISION GLASS - LEVEL 1 & PAVILIONS SP-1 AND SP-2
 - N - CAST-IN-PLACE CONCRETE

PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 (Portion)
Menlo Park, CA

SCALE: 3/4" = 1'-0"
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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DATE	ISSUE
03/10/2023	ACP

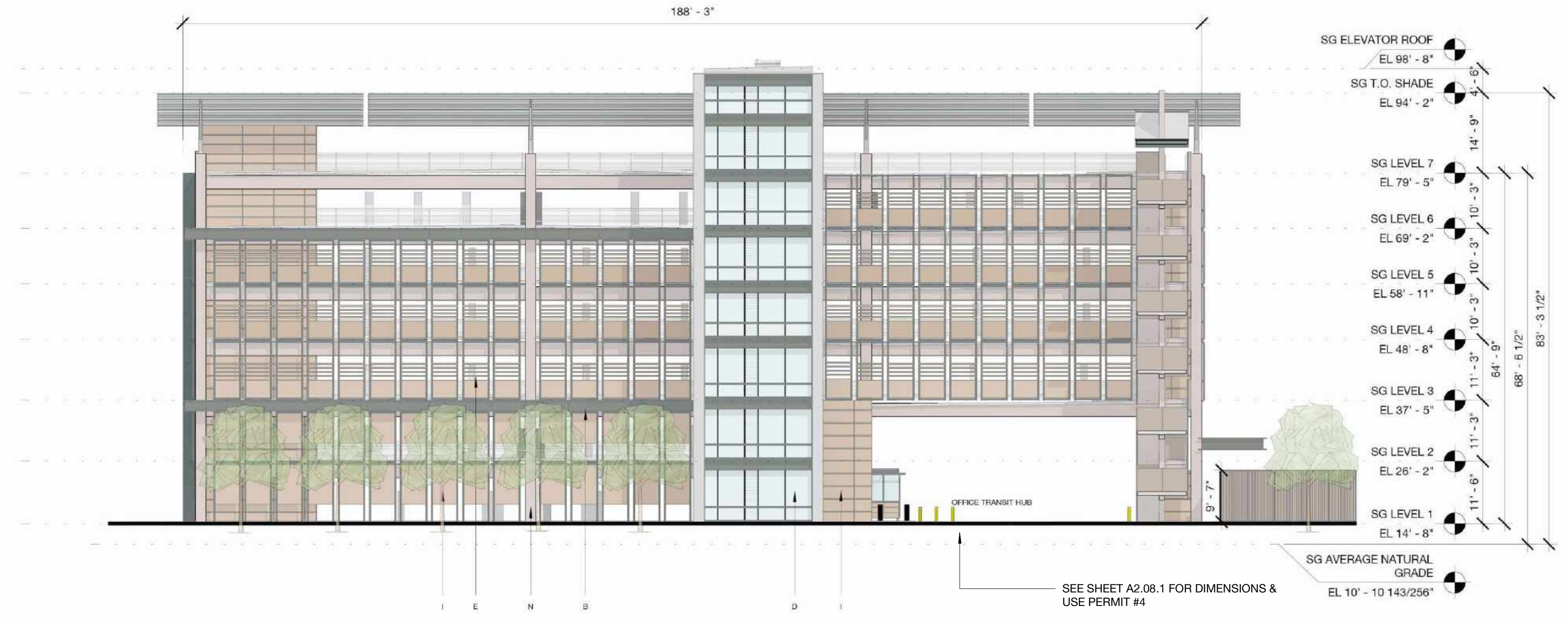
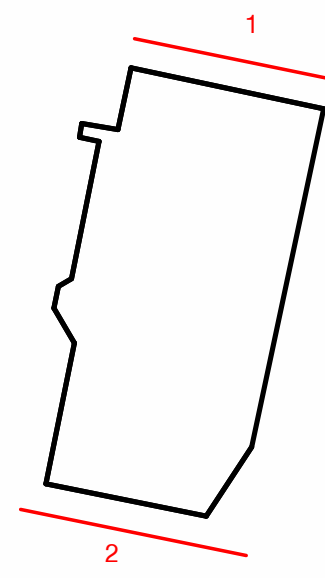
REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
South Garage - East and West Elevations

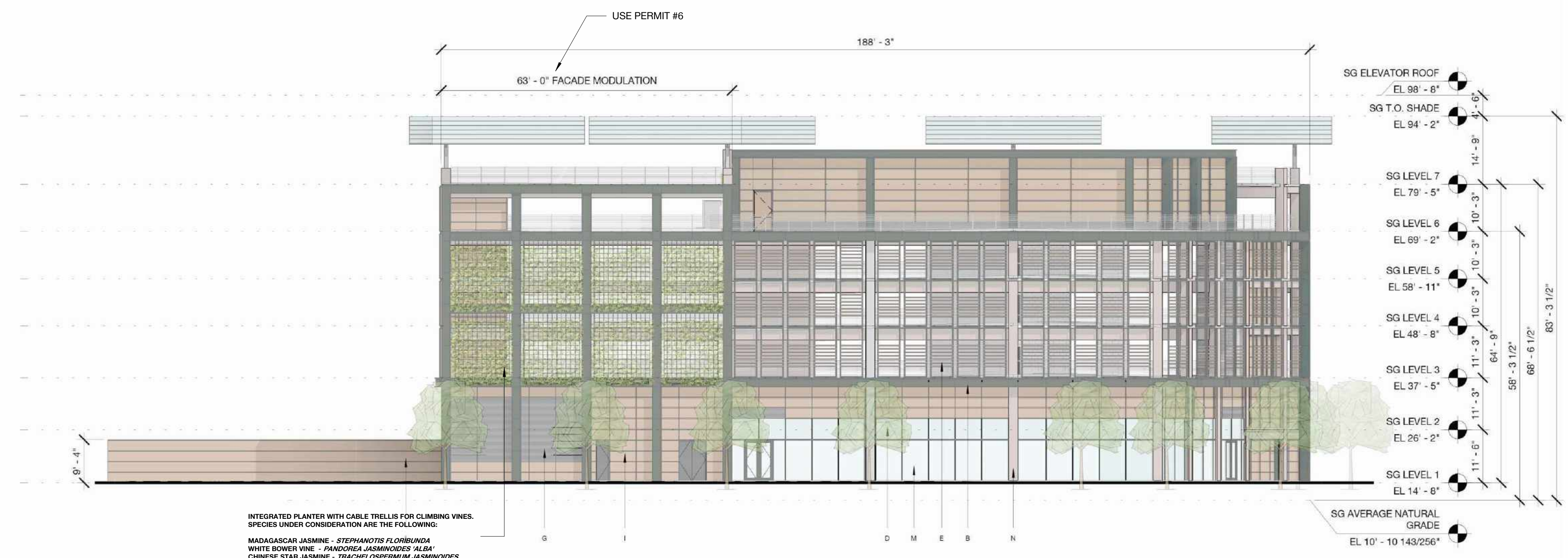
DRAWING NO:
A4.05.3

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1 South Garage - North Elevation
1/16" = 1'-0"

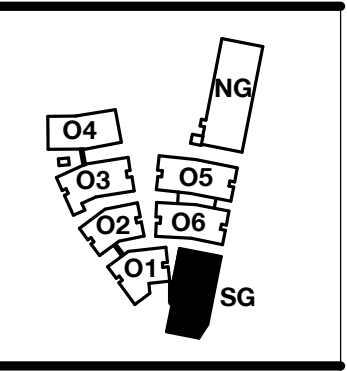
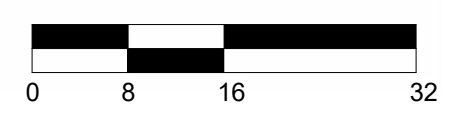


2 South Garage - South Elevation-Main Street
1/16" = 1'-0"

NOTES:
See pages A9.41 - A9.49B for Bird Safe Design Diagrams

- A - PAINTED METAL + METAL PANEL
- B - PAINTED METAL + METAL PANEL
- C - EXPOSED HEAVY TIMBER STRUCTURE
- D - TYPICAL VISION GLASS
- E - ARCHITECTURAL LOUVER - PAINTED TO MATCH ADJACENT MATERIAL
- F - GLASS CANOPY
- G - SIGHT PROOF MECH LOUVER
- H - EXPOSED STEEL PAINTED TO MATCH PAINTED METAL PANEL
- I - FIBER CEMENT BOARD
- J - PAINTED METAL GUARDRAIL
- K - PERFORATED METAL PANEL GUARDRAIL
- L - SCREEN COLORED TO MATCH MATERIAL "I"
- M - VISION GLASS - LEVEL 1 & PAVILIONS SP-1 AND SP-2
- N - CAST-IN-PLACE CONCRETE

INTEGRATED PLANTER WITH CABLE TRELLIS FOR CLIMBING VINES.
SPECIES UNDER CONSIDERATION ARE THE FOLLOWING:
MADAGASCAR JASMINE - *STEPHANOTIS FLORIBUNDA*
WHITE BOWER VINE - *PANDOREA JASMINOIDES 'ALBA'*
CHINESE STAR JASMINE - *TRACHELOSPERNUM JASMINOIDES*



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 (Portion)
Menlo Park, CA

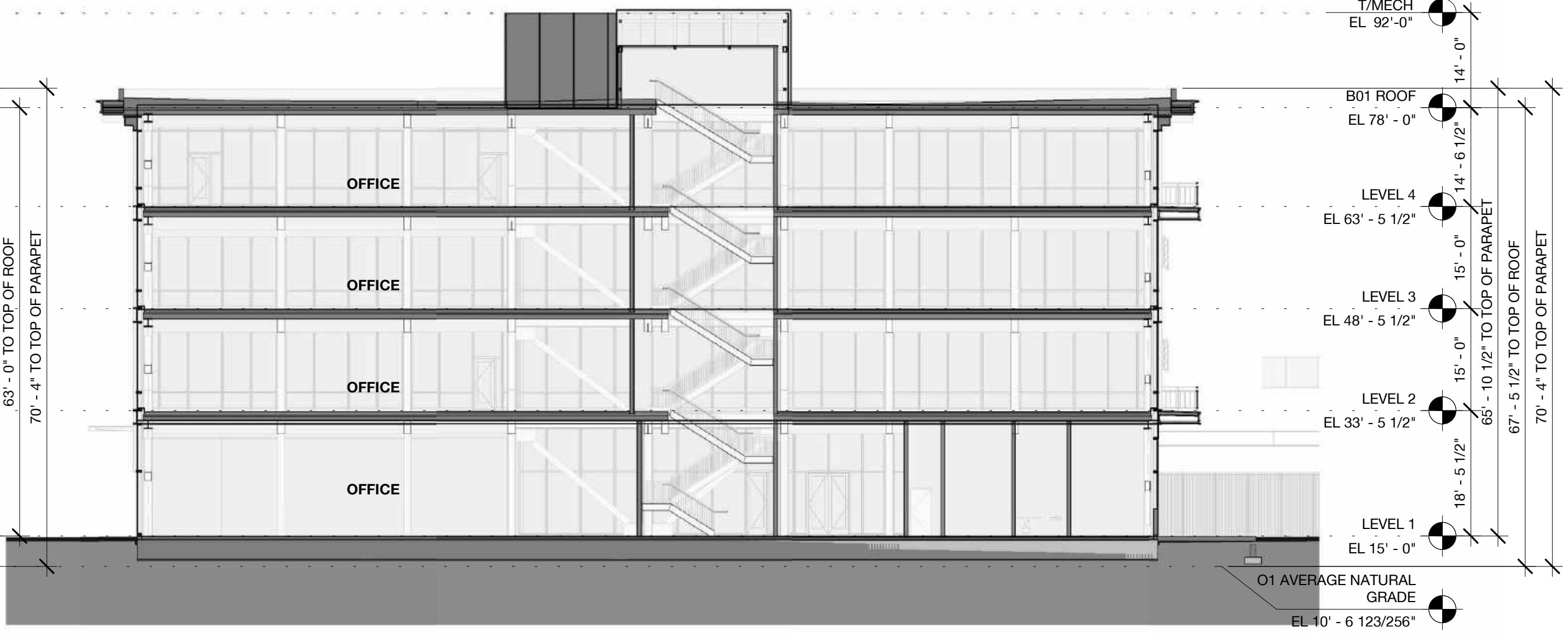
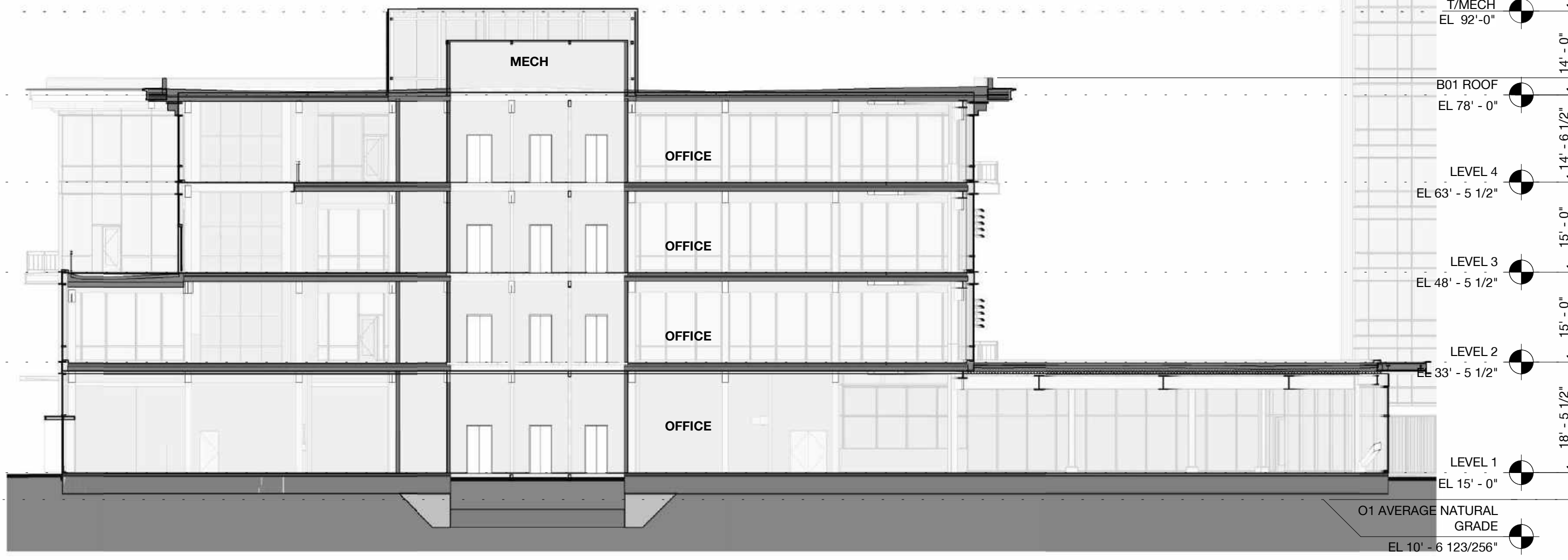
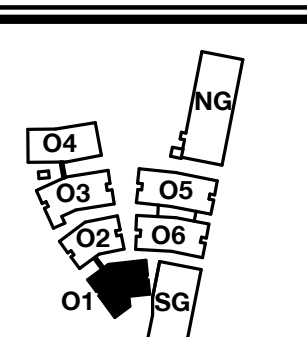
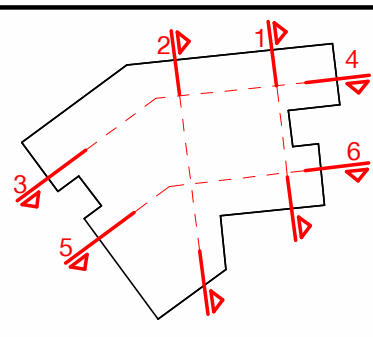
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NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
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REVISIONS		
NO.	DATE	ISSUE

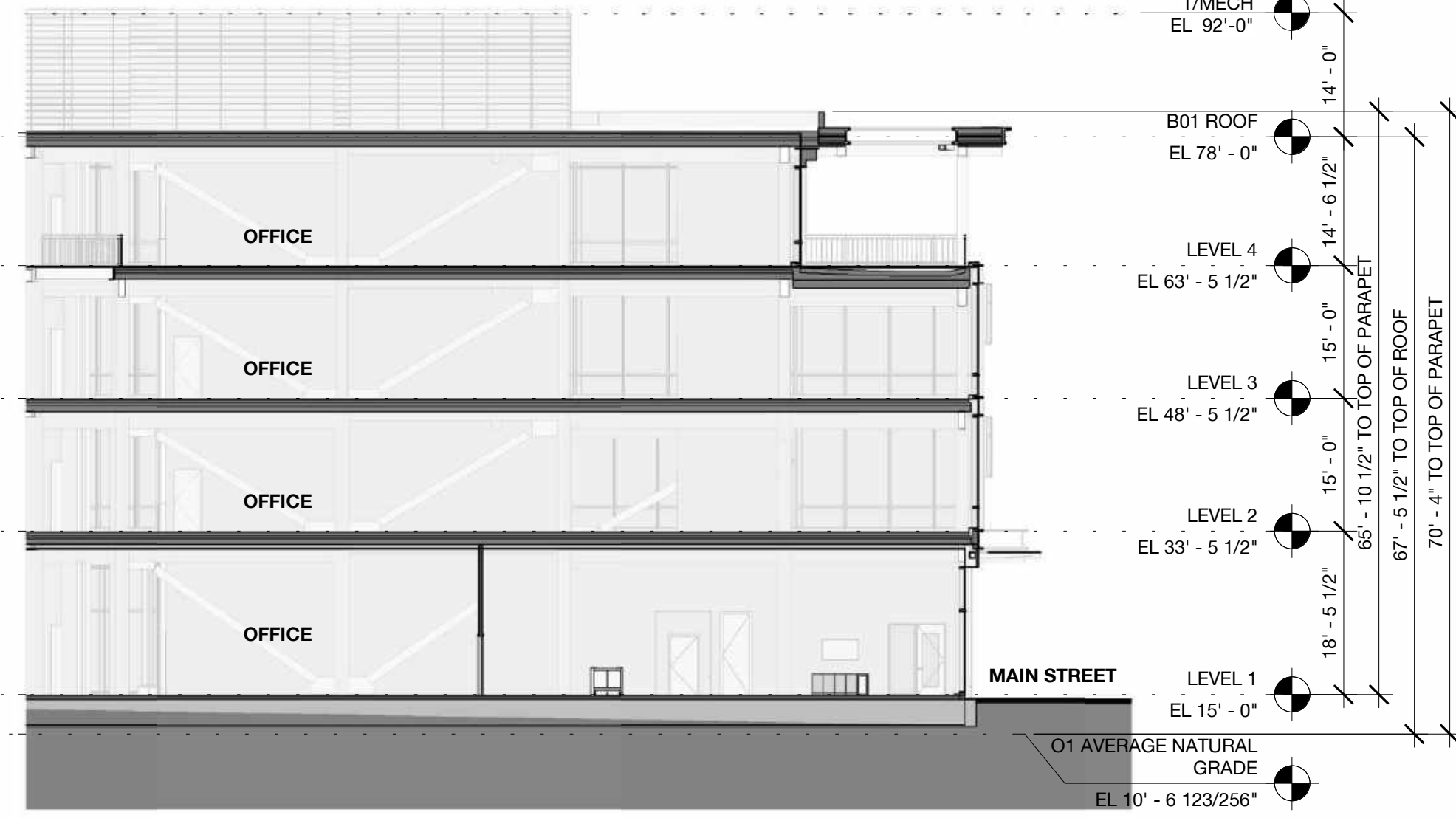
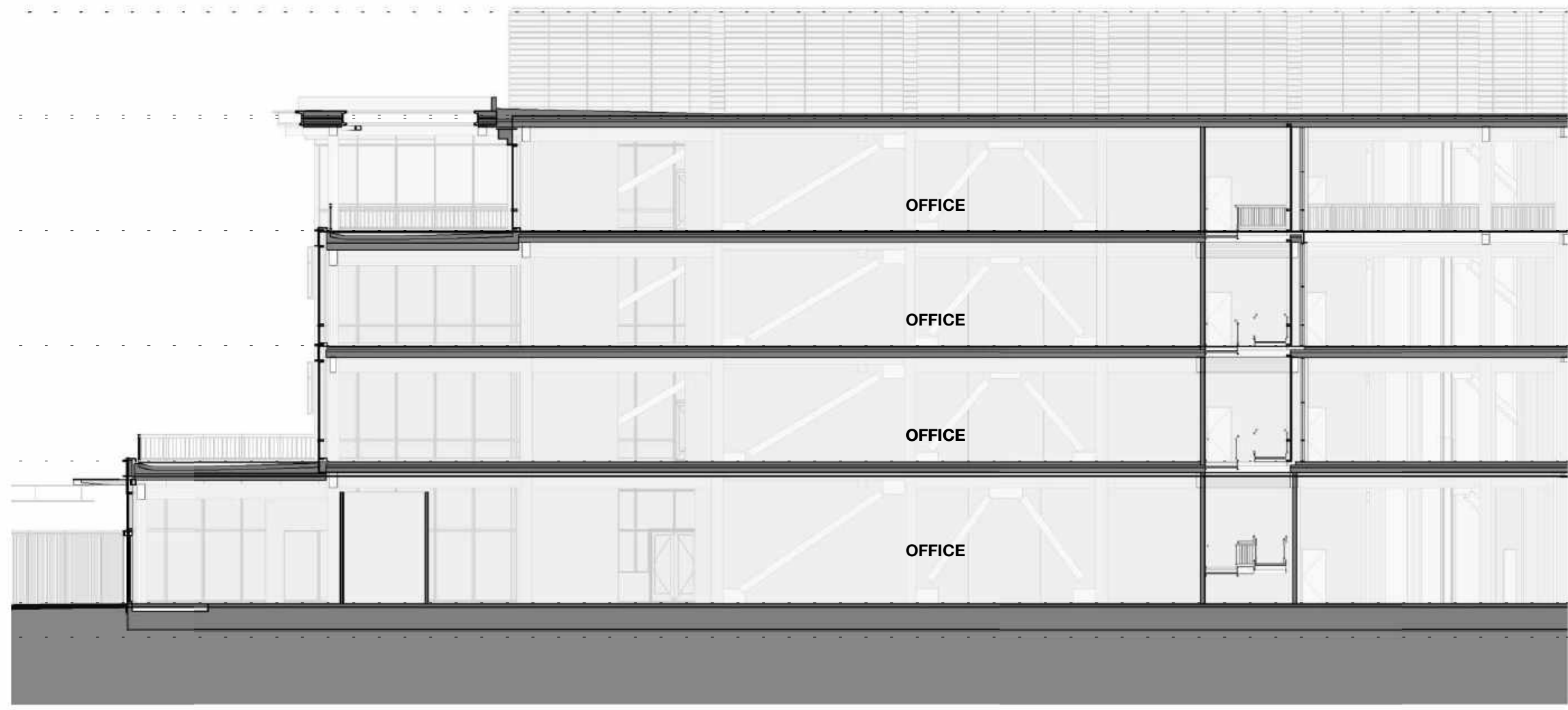
DRAWING TITLE:
South Garage - North and South Elevations

DRAWING NO:
A4.05.4



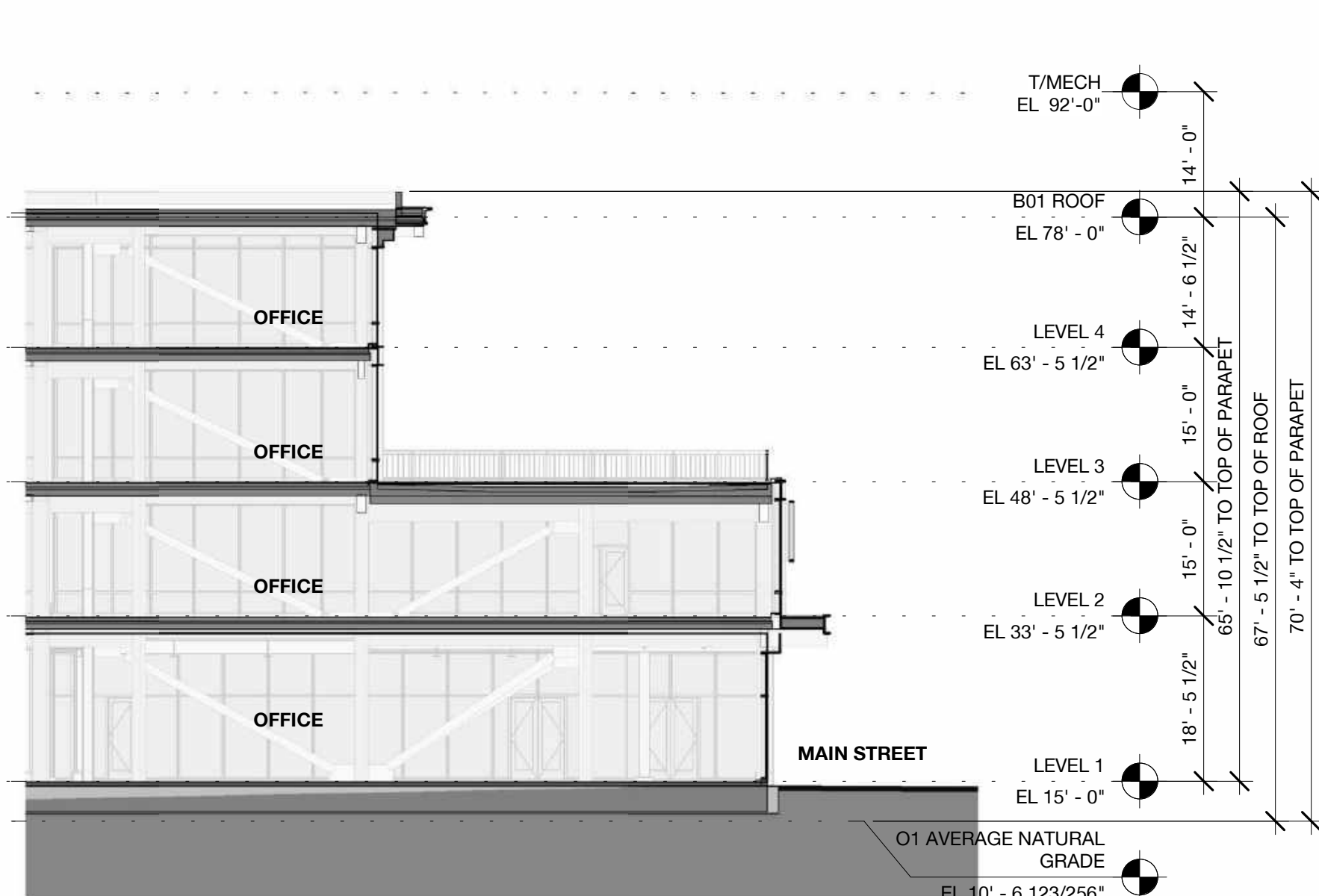
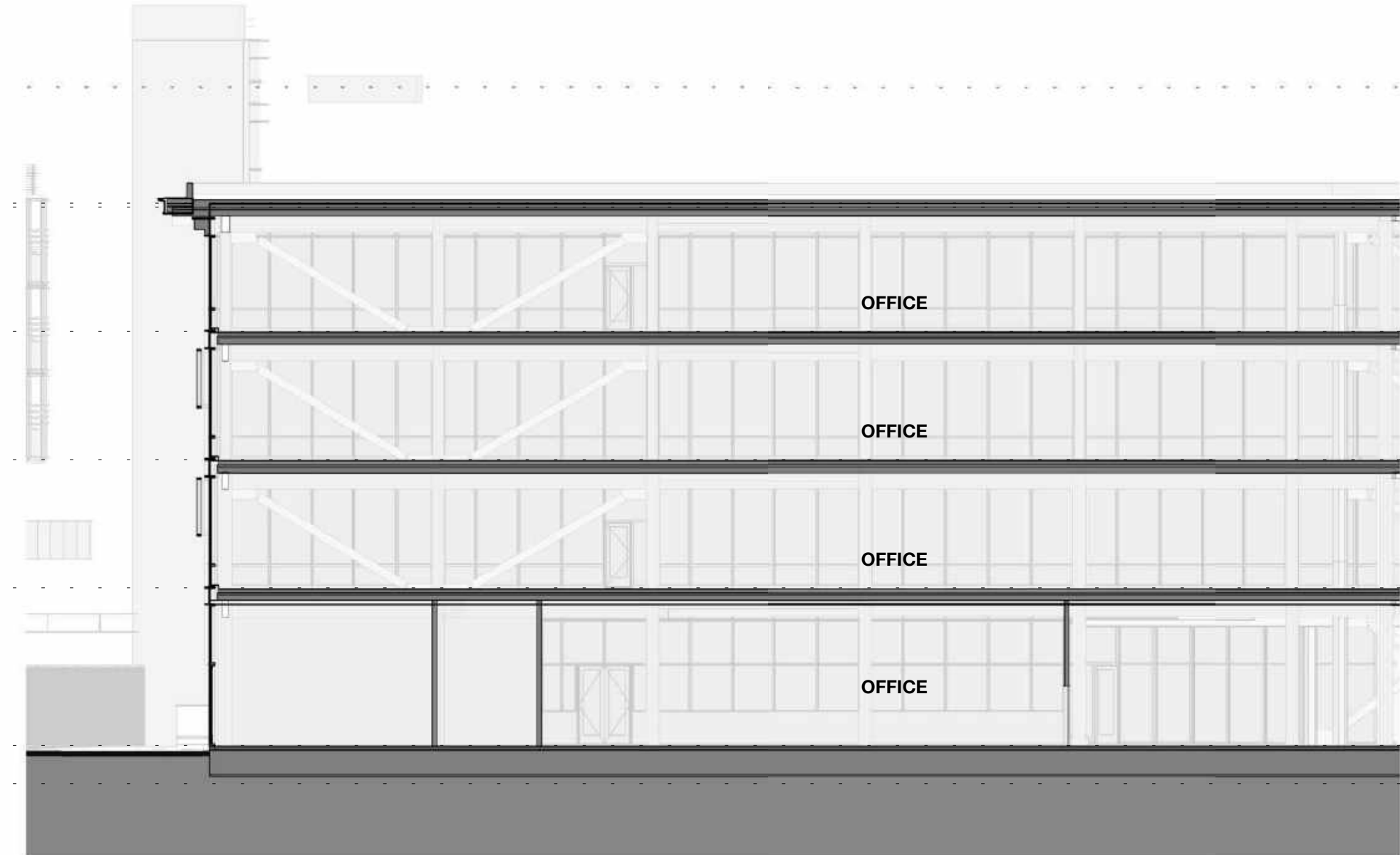
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1/16" = 1'-0"

1 Building 01 - Transverse Section 2 - 1/16
1/16" = 1'-0"



4 Building 01 - Longitudinal Section 1B - 1/16
1/16" = 1'-0"

3 Building 01 - Longitudinal Section 1A - 1/16
1/16" = 1'-0"



6 Building 01 - Longitudinal Section 2B - 1/16
1/16" = 1'-0"

5 Building 01 - Longitudinal Section 2A - 1/16
1/16" = 1'-0"



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 (Portion)
Menlo Park, CA

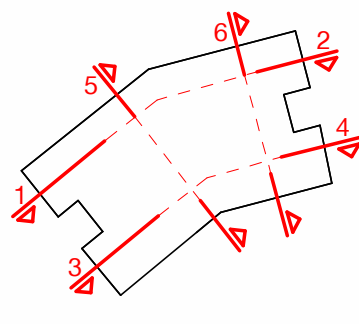
SCALE: As indicated
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
Building 01 - Sections

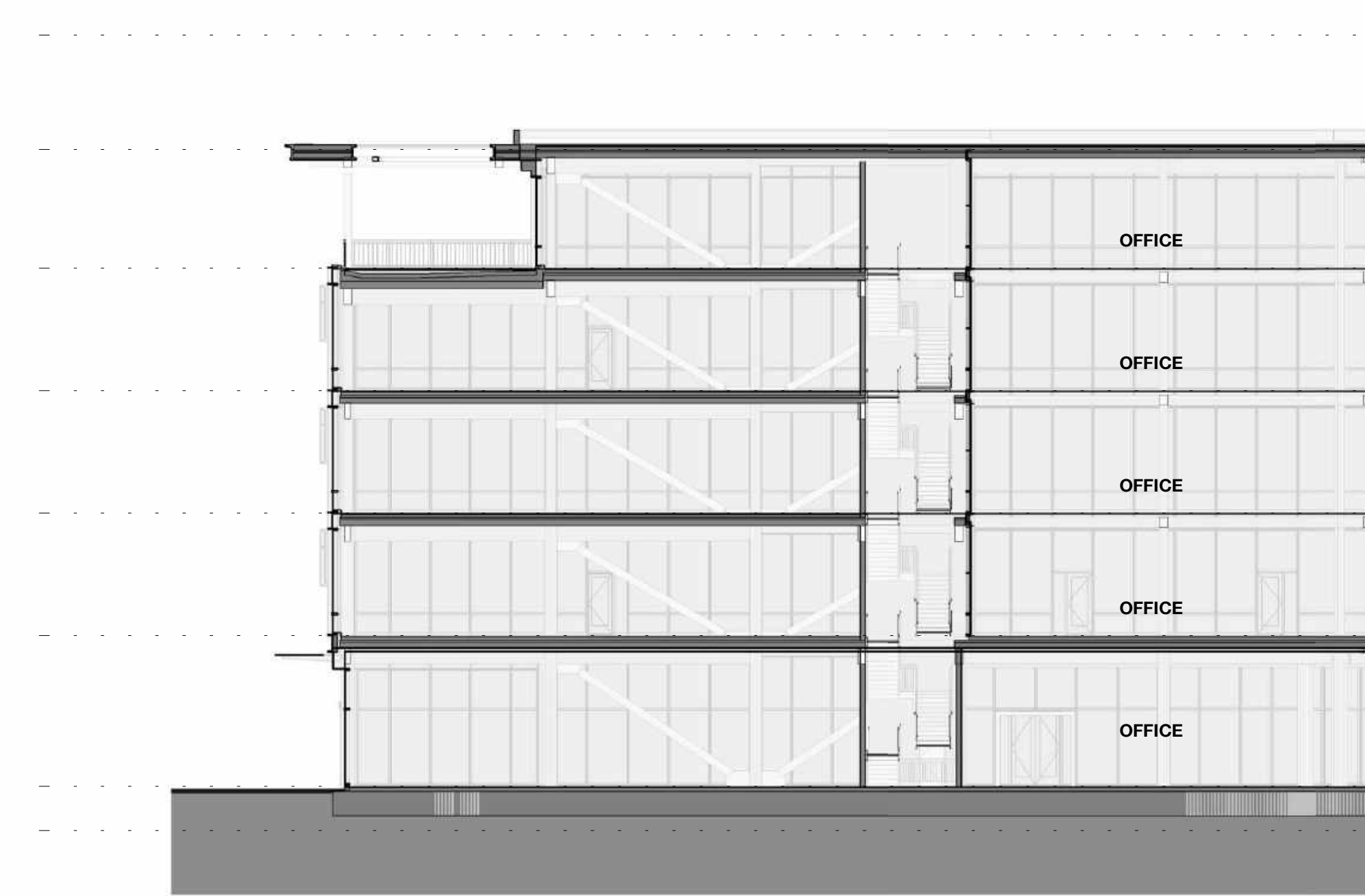
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A5.01



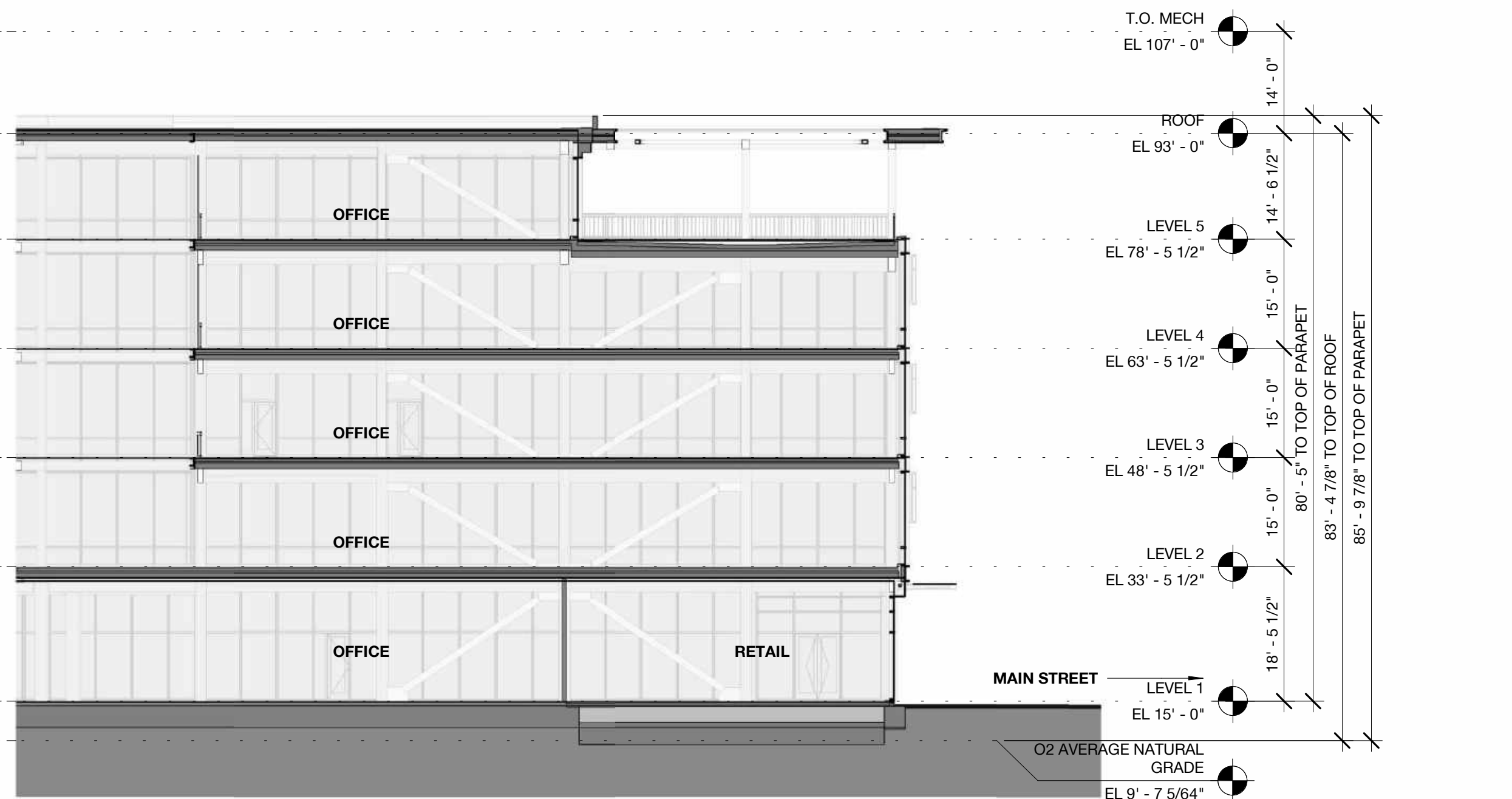
2 Building 02 - Longitudinal Section 1B - 1/16
1/16" = 1'-0"



1 Building 02 - Longitudinal Section 1A - 1/16
1/16" = 1'-0"



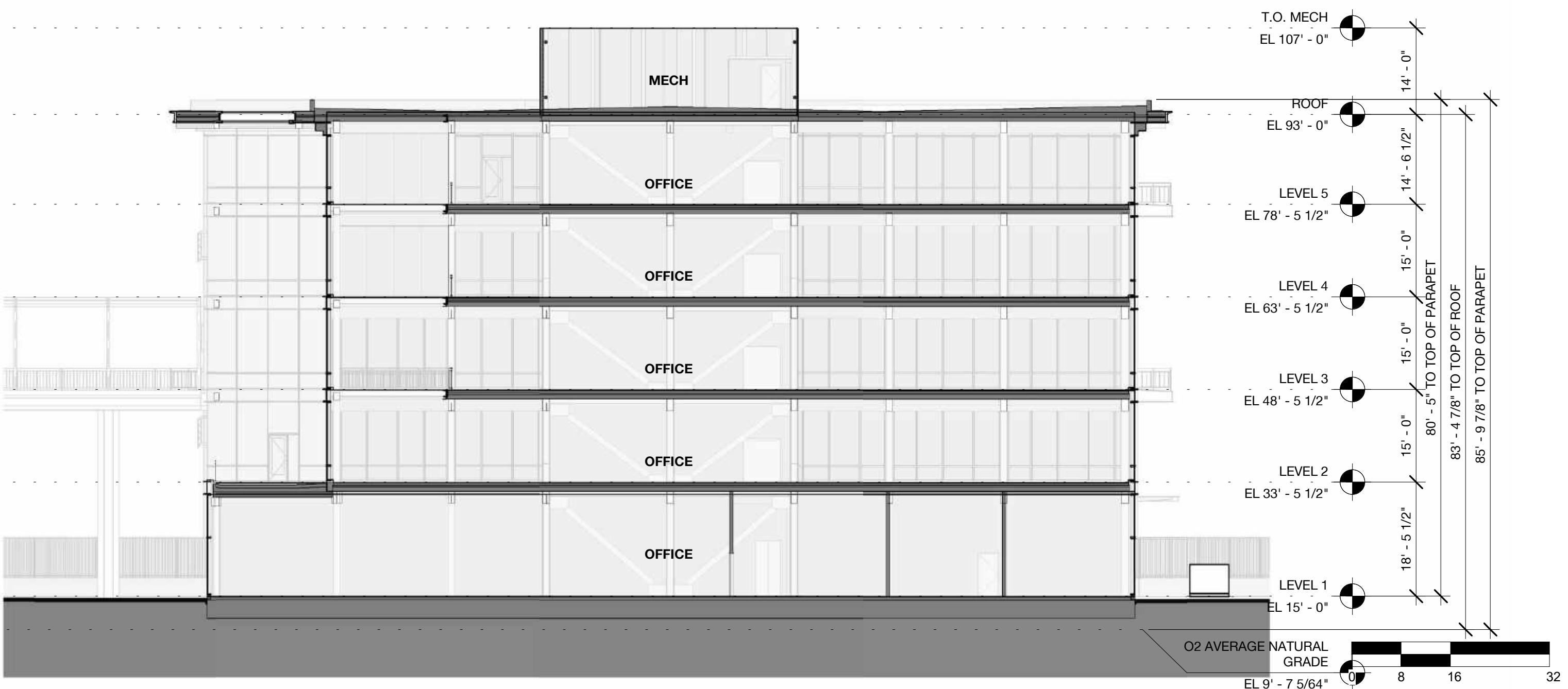
4 Building 02 - Longitudinal Section 2B - 1/16
1/16" = 1'-0"



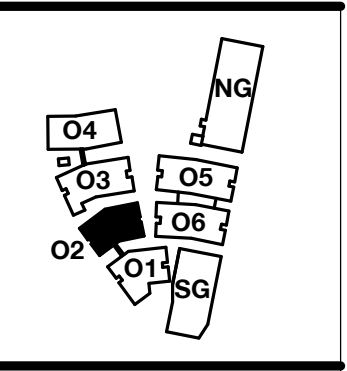
3 Building 02 - Longitudinal Section 2A - 1/16
1/16" = 1'-0"



6 Building 02 - Transverse Section 2 - 1/16
1/16" = 1'-0"



5 Building 02 - Transverse Section 1 - 1/16
1/16" = 1'-0"



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 (Portion)
Menlo Park, CA

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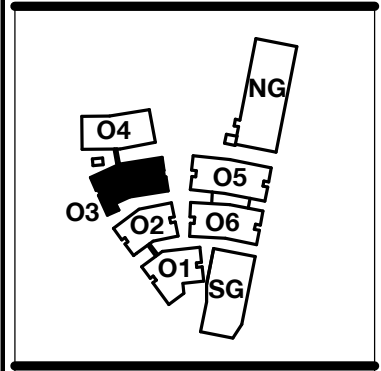
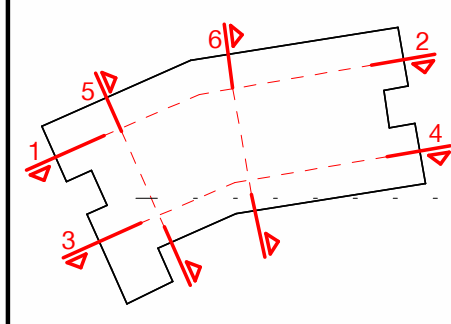
MILESTONES	
DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
Building 02 - Sections

DRAWING NO:
A5.02

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PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
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DATE	ISSUE
03/10/2023	ACP

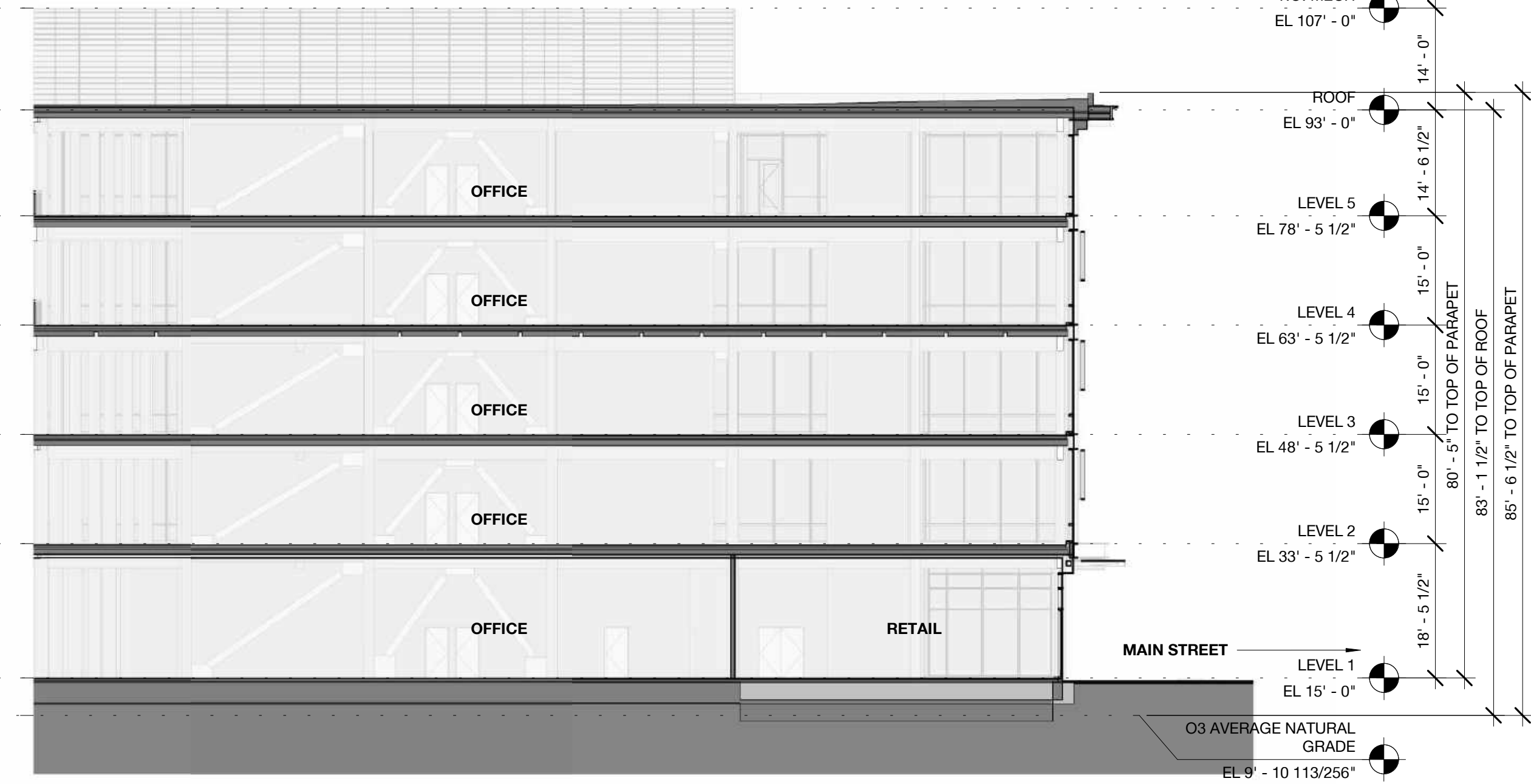
REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
Building 03 - Sections

DRAWING NO:
A5.03



2 Building 03 - Longitudinal Section 1B - 1/16
 1/16" = 1'-0"



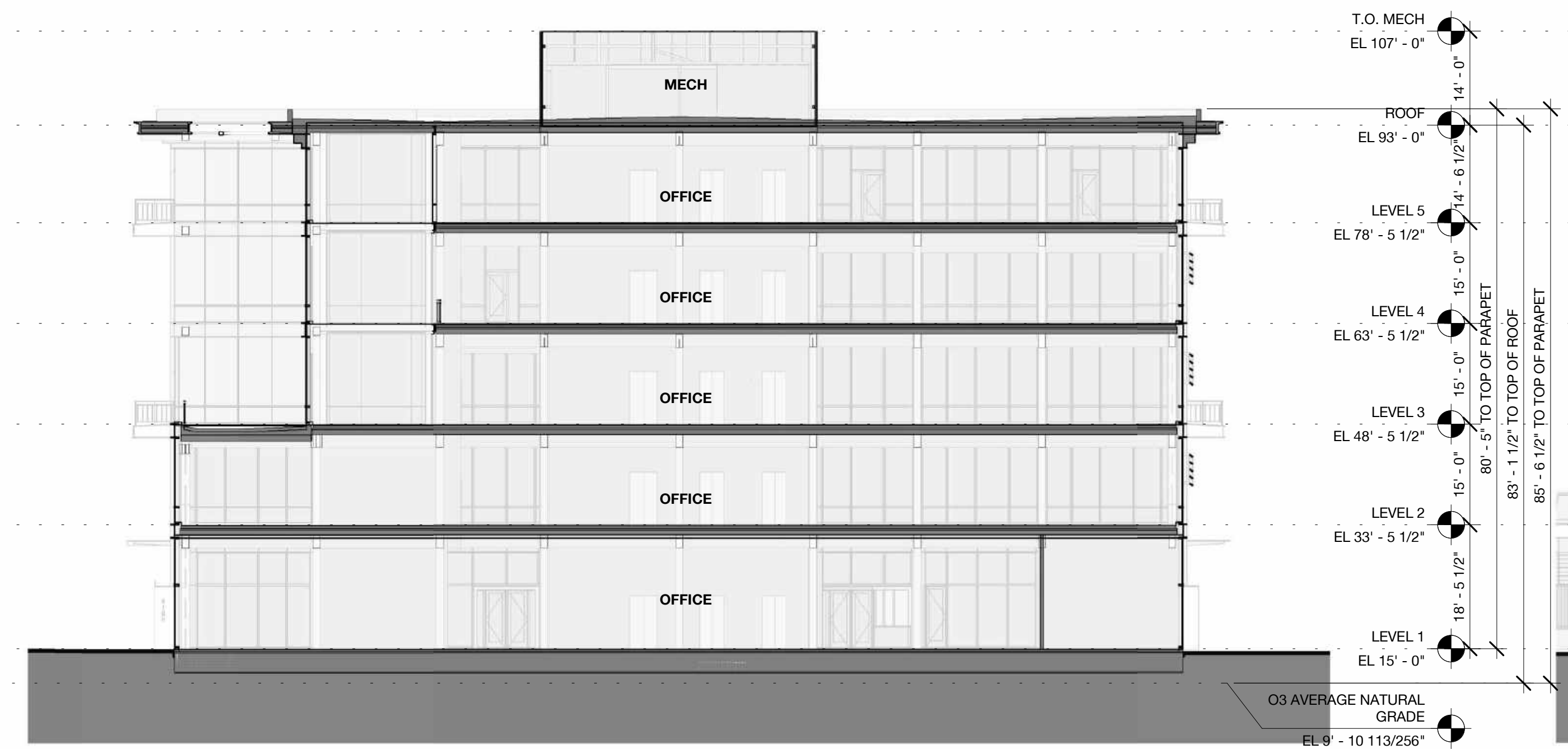
1 Building 03 - Longitudinal Section 1A - 1/16
 1/16" = 1'-0"



4 Building 03 - Longitudinal Section 2B - 1/16
 1/16" = 1'-0"



3 Building 03 - Longitudinal Section 2A - 1/16
 1/16" = 1'-0"

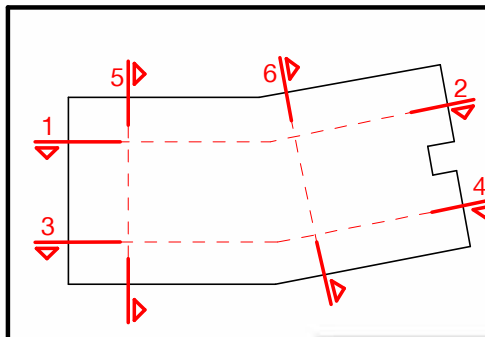


6 Building 03 - Transverse Section 2 - 1/16
 1/16" = 1'-0"

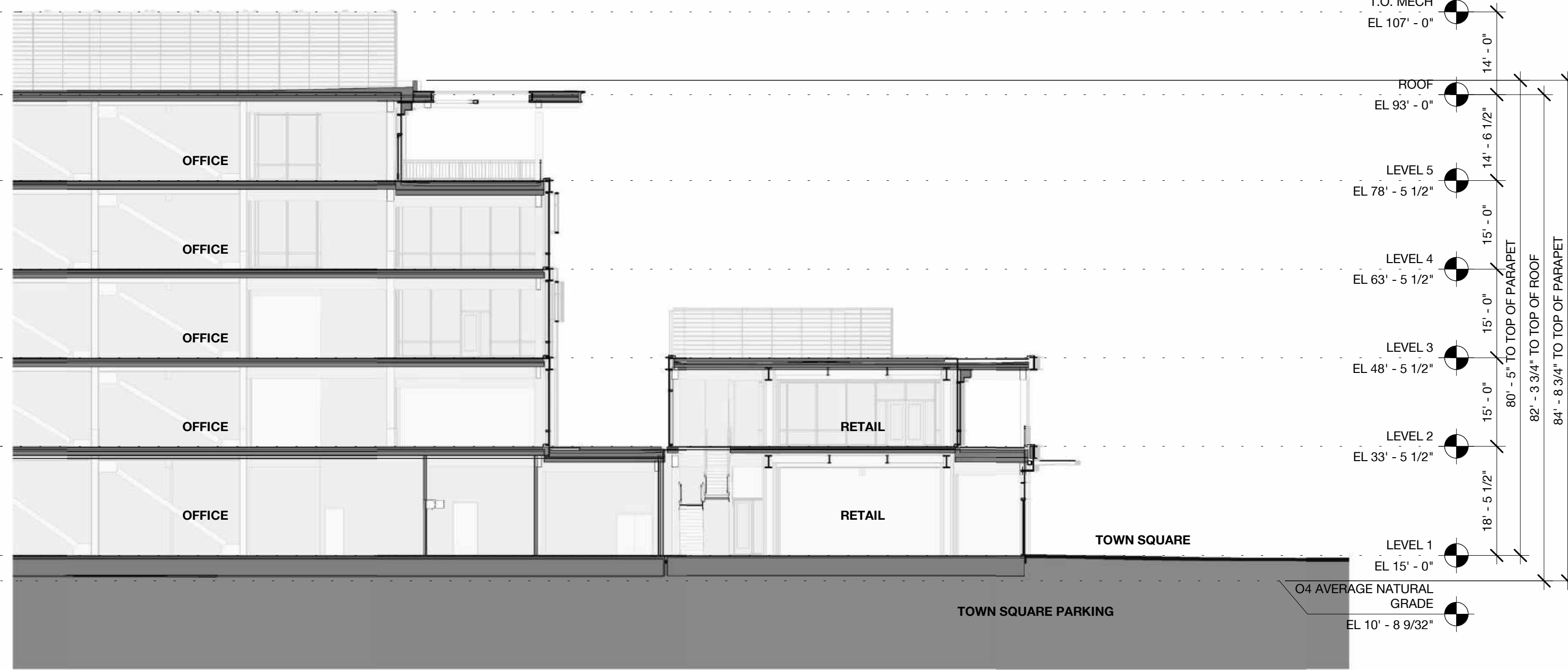


5 Building 03 - Transverse Section 1 - 1/16
 1/16" = 1'-0"

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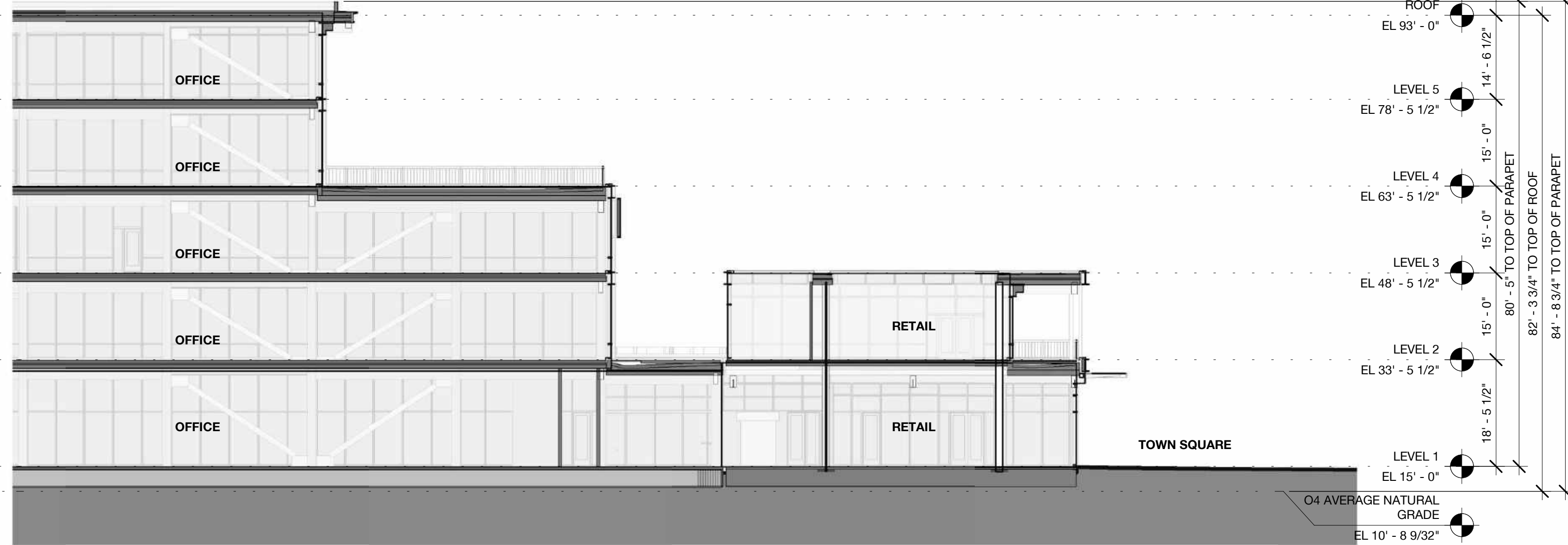
2 Building 04 - Longitudinal Section 1B - 1/16
1/16" = 1'-0"



1 Building 04 - Longitudinal Section 1A - 1/16
1/16" = 1'-0"



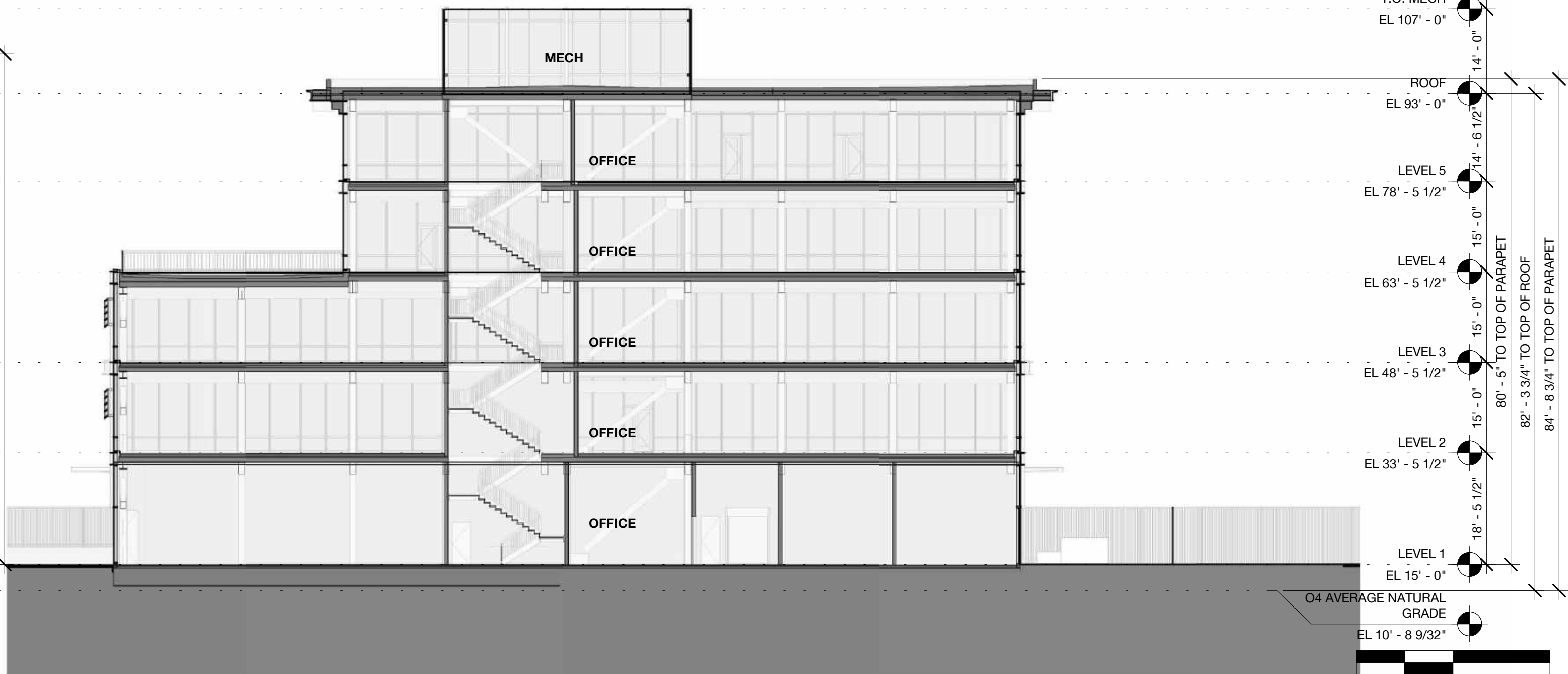
4 Building 04 - Longitudinal Section 2B - 1/16
1/16" = 1'-0"



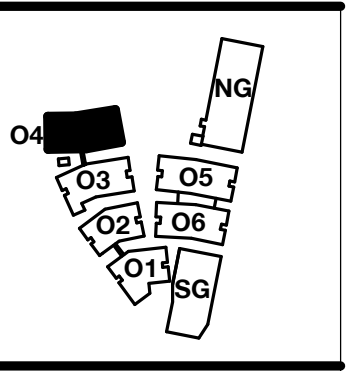
3 Building 04 - Longitudinal Section 2A - 1/16
1/16" = 1'-0"



6 Building 04 - Transverse Section 2 - 1/16
1/16" = 1'-0"



5 Building 04 - Transverse Section 1 - 1/16
1/16" = 1'-0"



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 (Portion)
Menlo Park, CA

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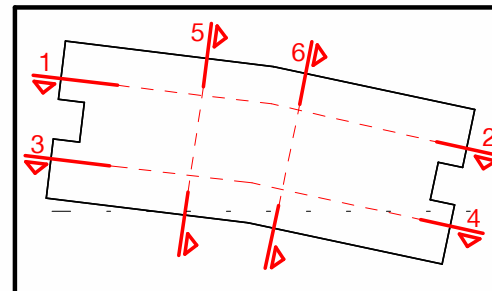
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DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

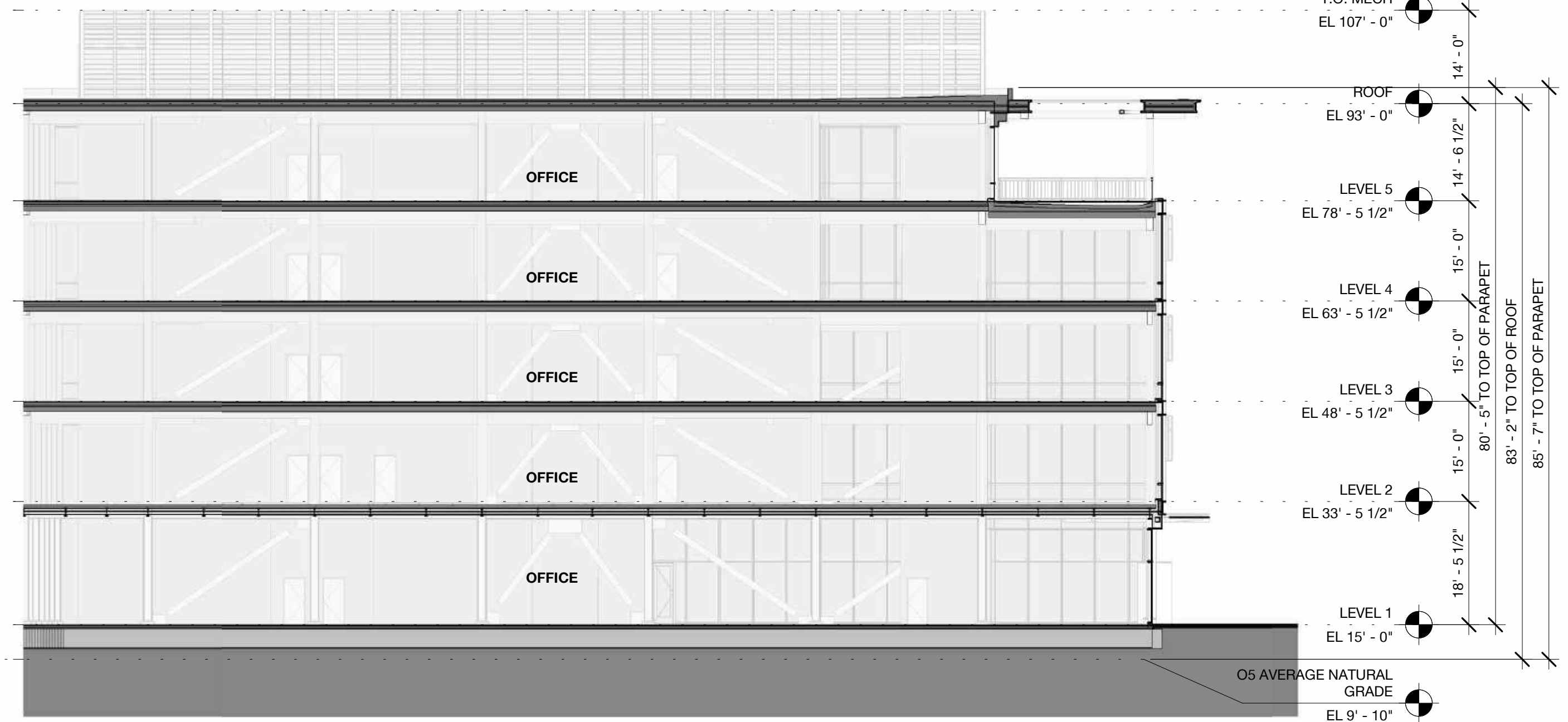
DRAWING TITLE:
Building 04 - Sections

DRAWING NO:
A5.04

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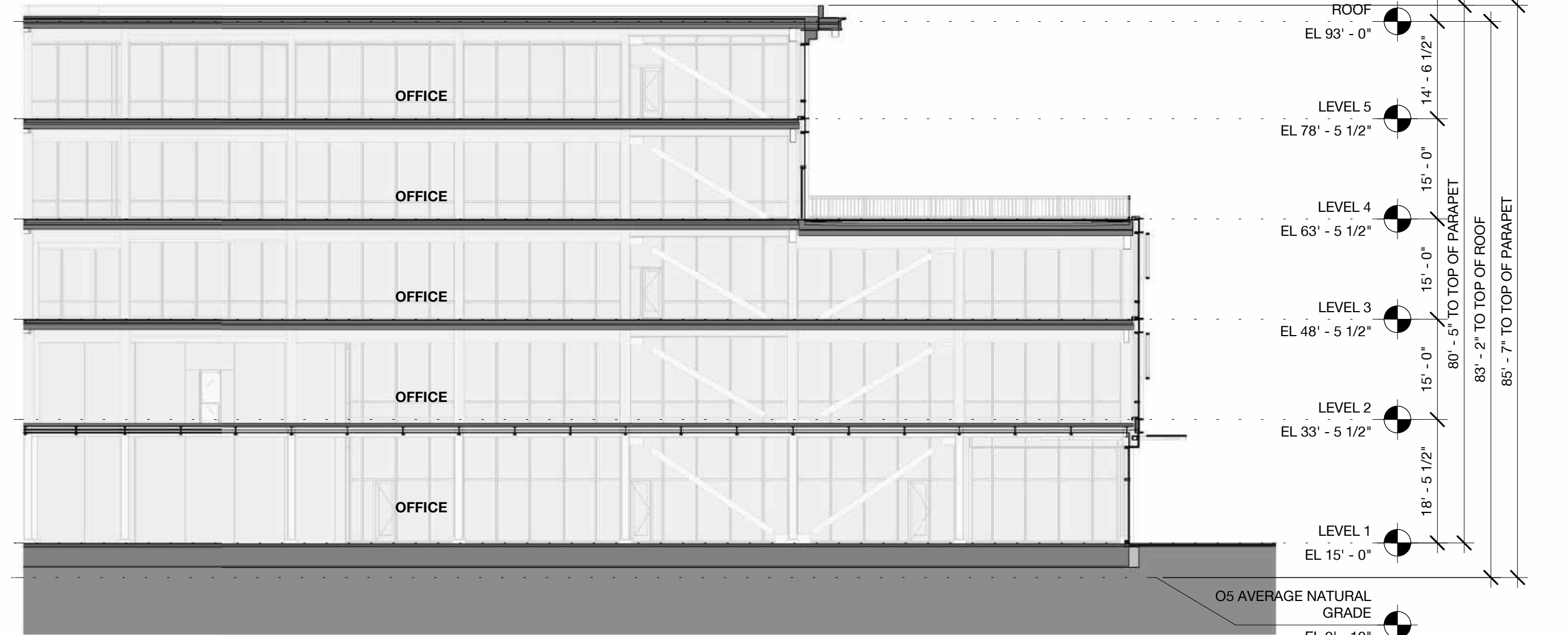
2 Building 05 - Longitudinal Section 1B - 1/16
1/16" = 1'-0"



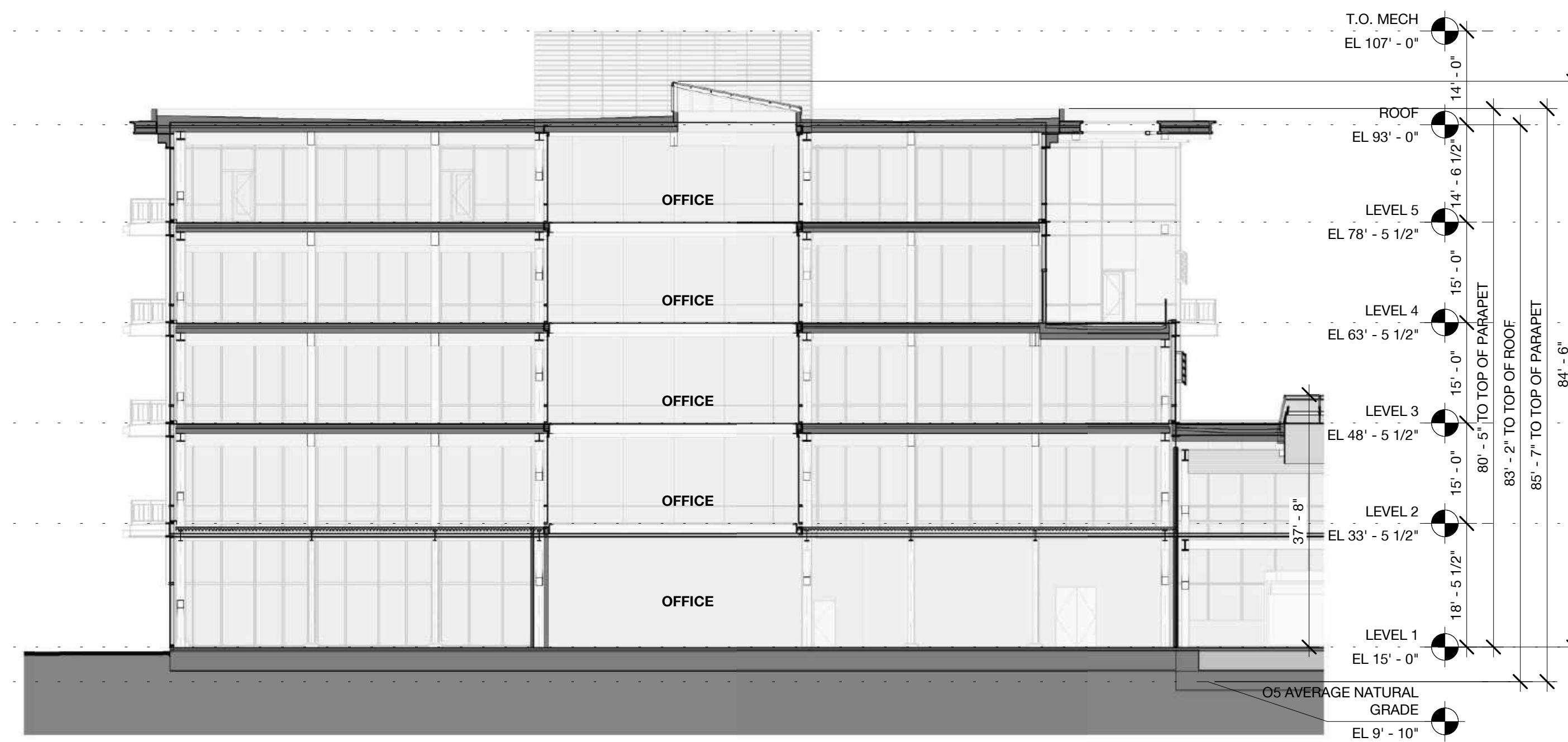
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1/16" = 1'-0"



4 Building 05 - Longitudinal Section 2B - 1/16
1/16" = 1'-0"



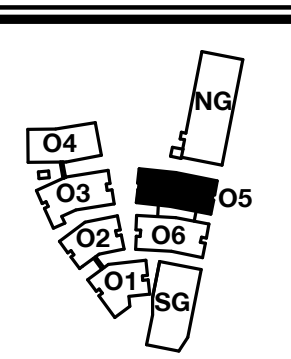
3 Building 05 - Longitudinal Section 2A - 1/16
1/16" = 1'-0"



6 Building 05 - Transverse Section 2 - 1/16
1/16" = 1'-0"



5 Building 05 - Transverse Section 1 - 1/16
1/16" = 1'-0"



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 (Portion)
Menlo Park, CA

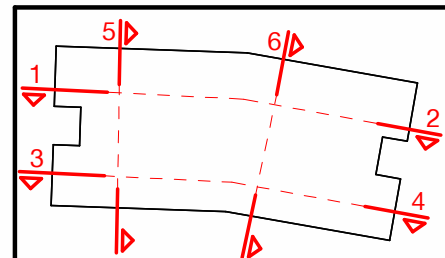
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REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
Building 05 - Sections

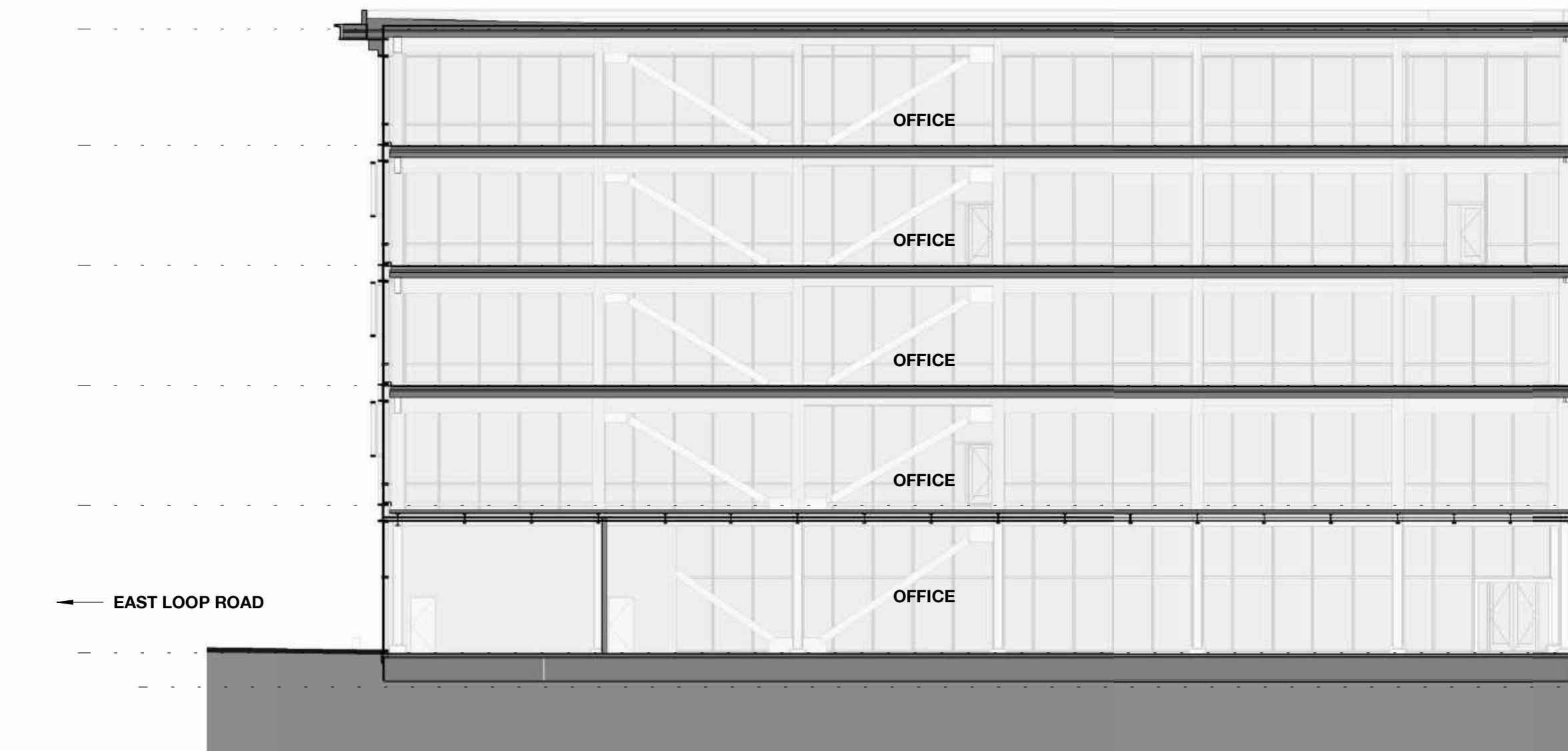
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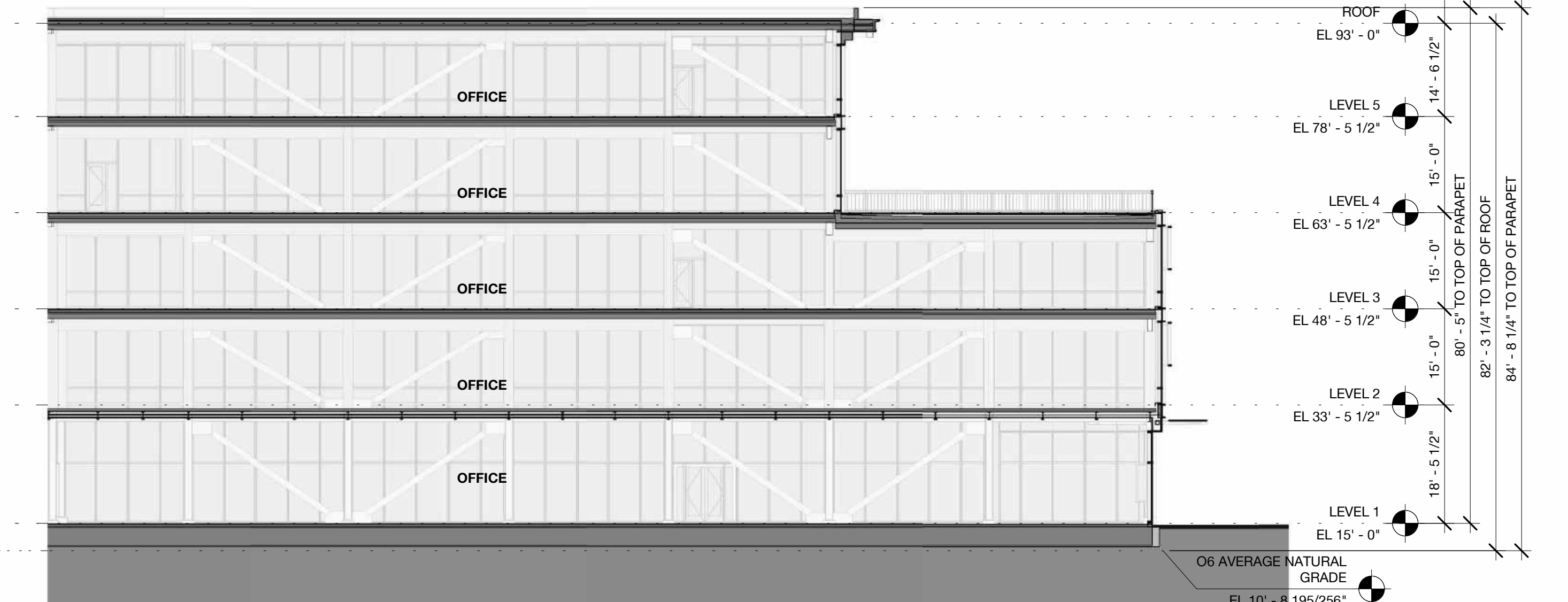
2 Building 06 - Longitudinal Section 1B - 1/16
1/16" = 1'-0"



1 Building 06 - Longitudinal Section 1A - 1/16
1/16" = 1'-0"



4 Building 06 - Longitudinal Section 2B - 1/16
1/16" = 1'-0"



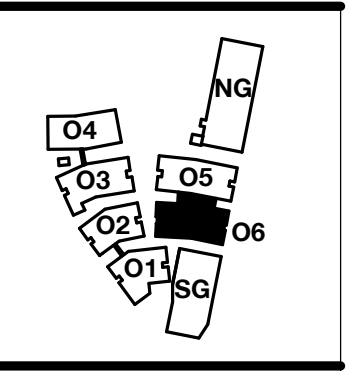
3 Building 06 - Longitudinal Section 2A - 1/16
1/16" = 1'-0"



6 Building 06 - Transverse Section 2 - 1/16
1/16" = 1'-0"



5 Building 06 - Transverse Section 1 - 1/16
1/16" = 1'-0"



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 (Portion)
Menlo Park, CA

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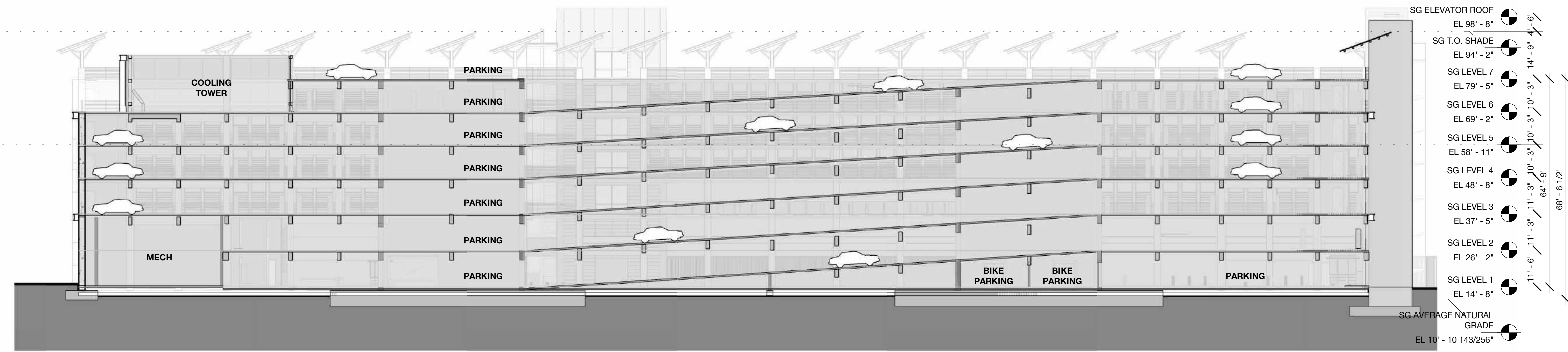
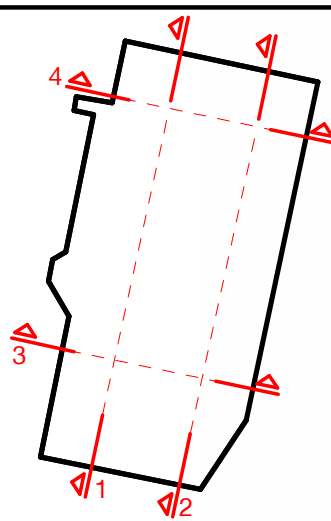
MILESTONES	
DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

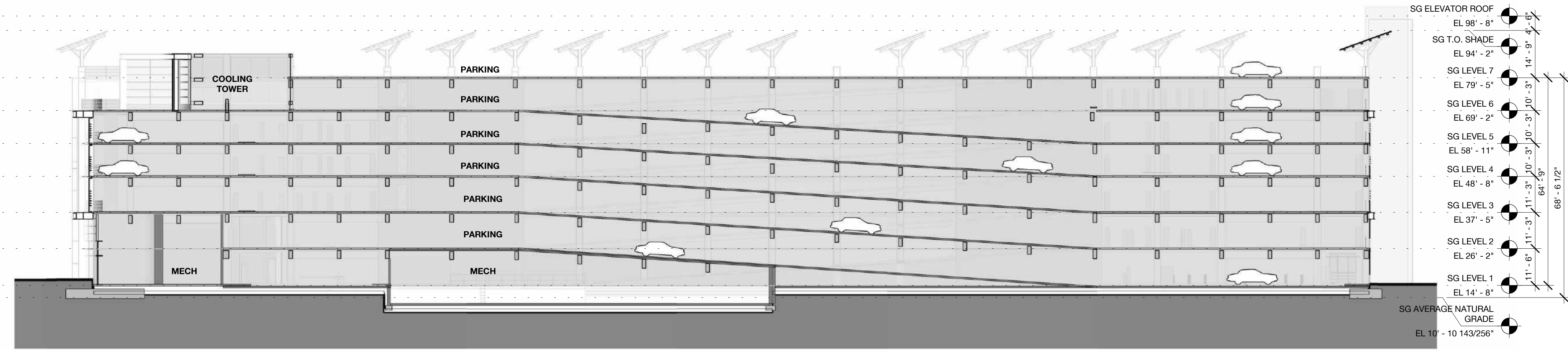
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Building 06 - Sections

DRAWING NO:
A5.06

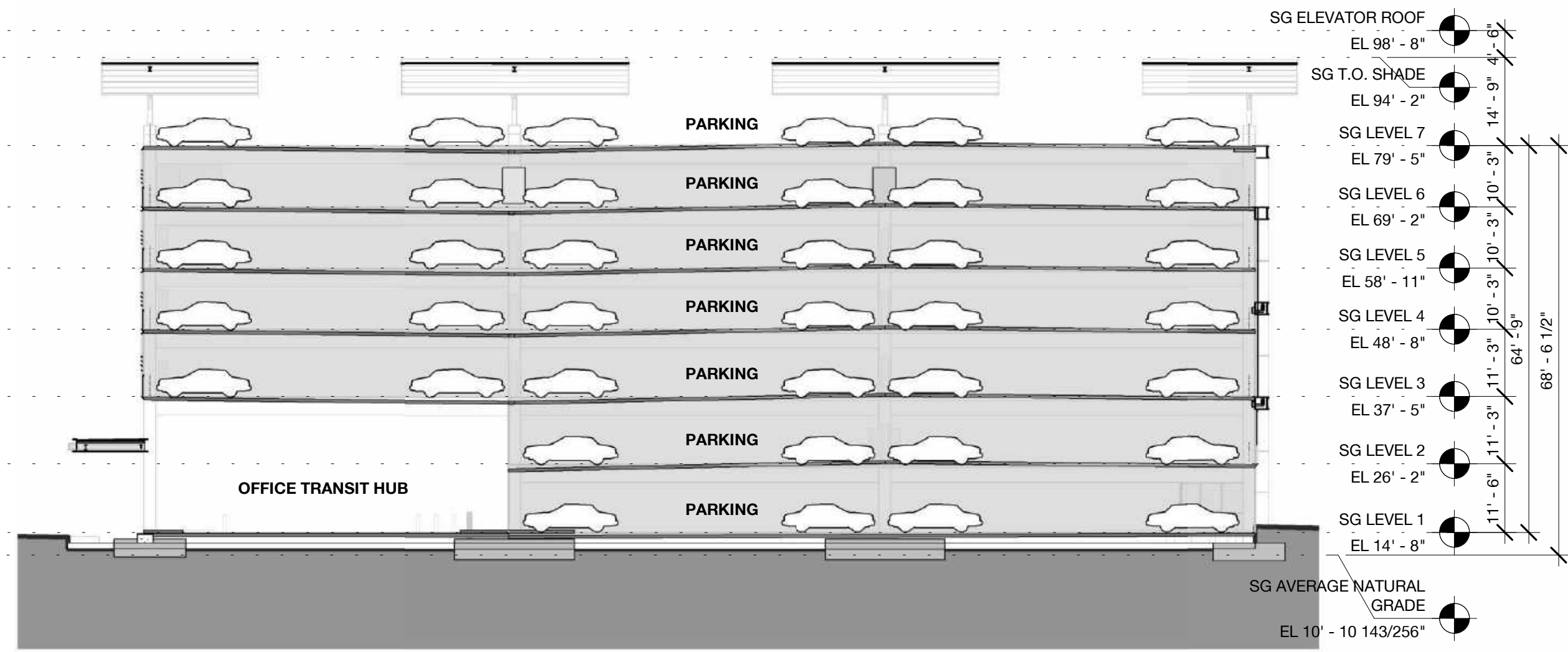
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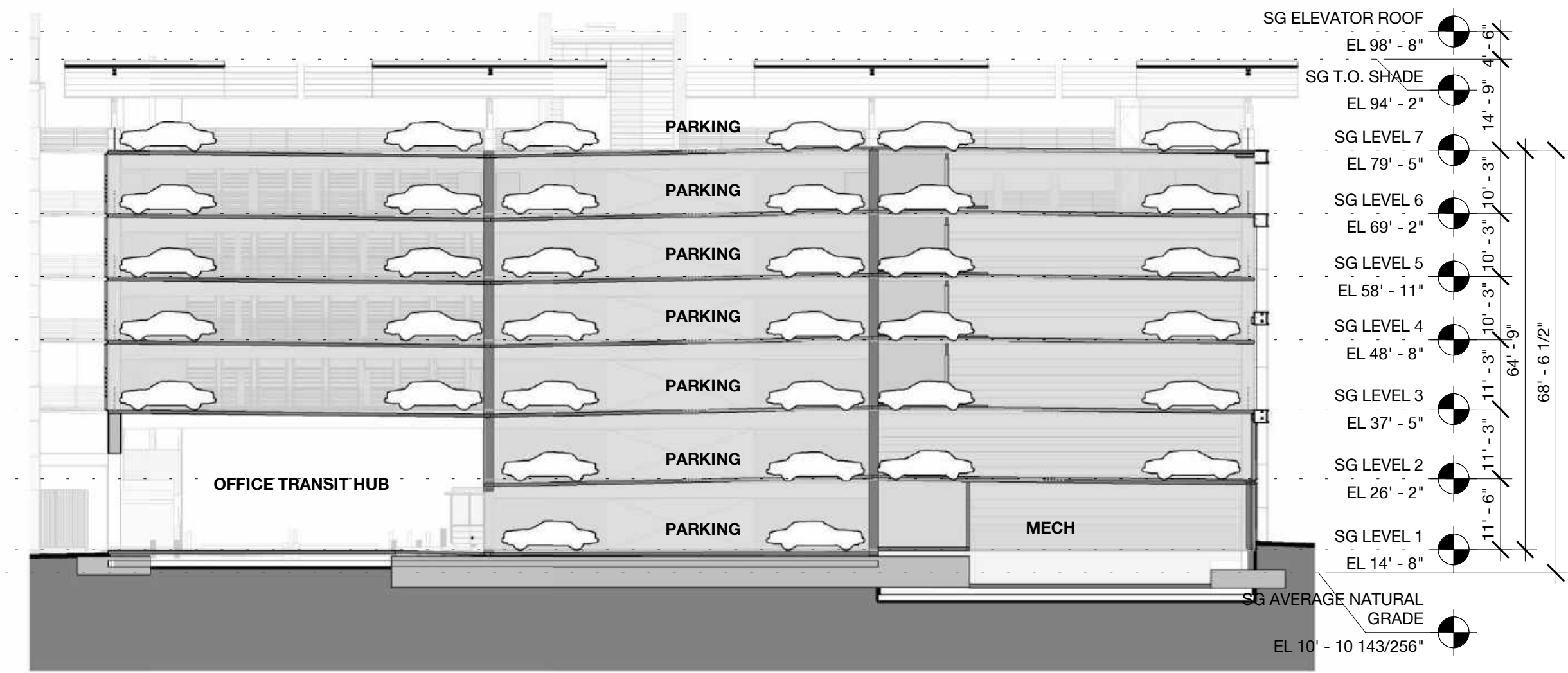
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1" = 20'-0"



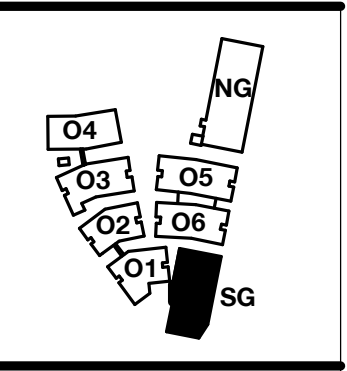
2 South Garage - Longitudinal Section 2
1" = 20'-0"



4 South Garage - Transverse Section 2
1" = 20'-0"



3 South Garage - Transverse Section 1
1" = 20'-0"



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 (Portion)
Menlo Park, CA

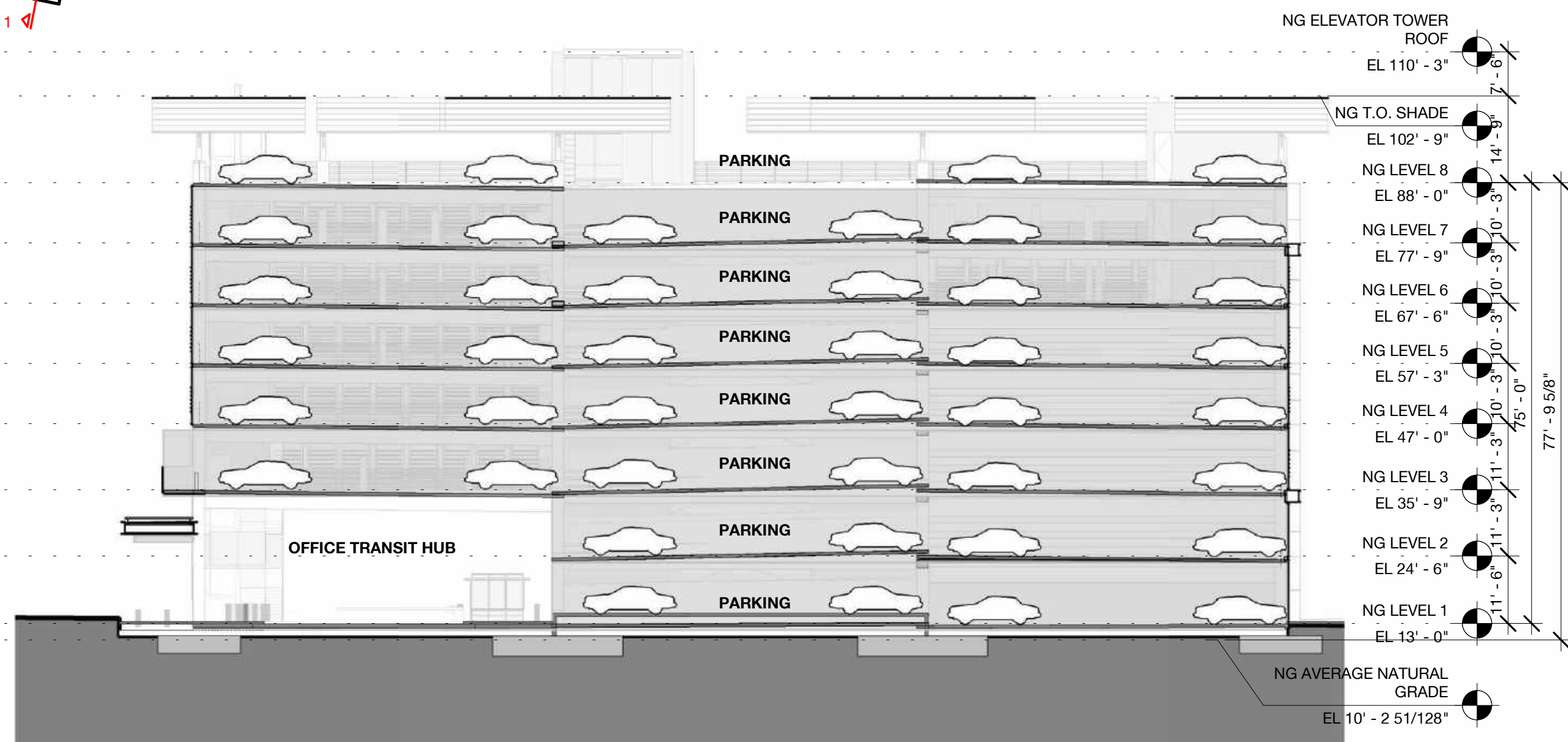
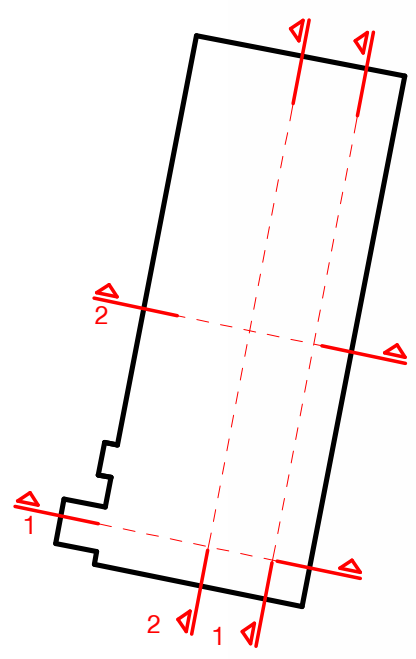
SCALE: As indicated
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEE CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
03/10/2023	ACP

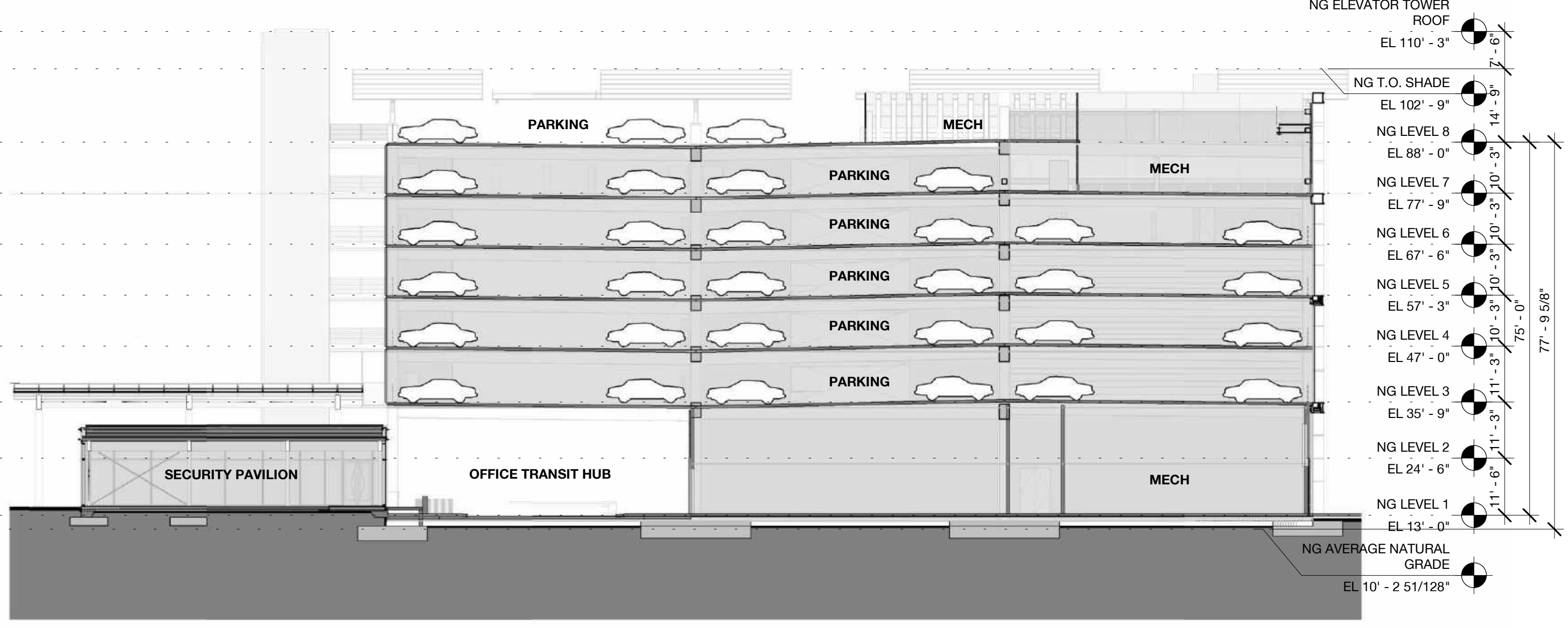
REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
South Garage - Sections

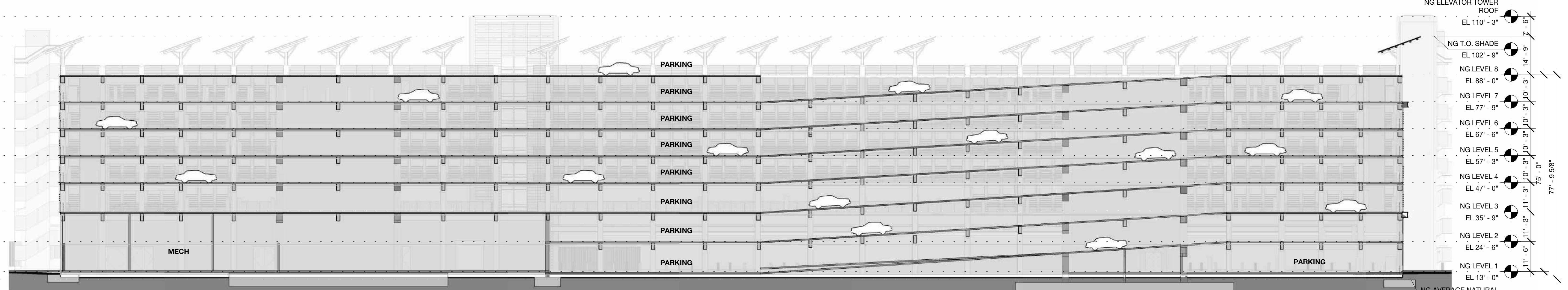
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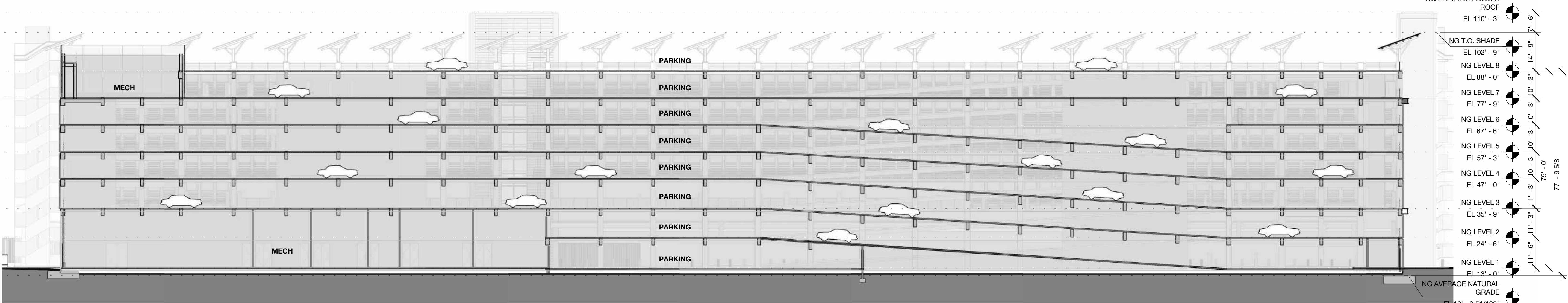
1 North Garage - Transverse Section 1
1" = 20'-0"



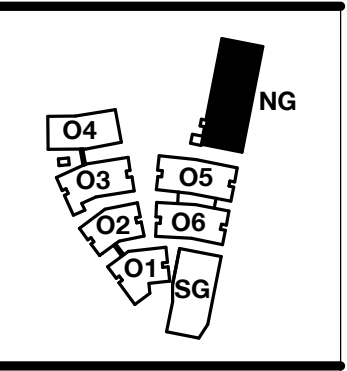
2 North Garage - Transverse Section 2
1" = 20'-0"



3 North Garage - Longitudinal Section 2
1" = 20'-0"



4 North Garage - Longitudinal Section 1
1" = 20'-0"



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 (Portion)
Menlo Park, CA

SCALE: As indicated
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MILESTONES	
DATE	ISSUE
03/10/2023	ACP

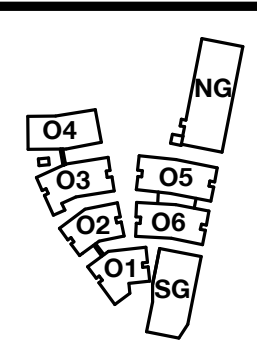
REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
North Garage - Sections

DRAWING NO:
A5.08

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PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

SCALE:
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

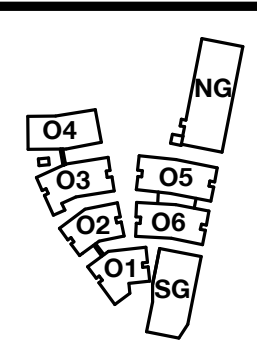
MILESTONES	
DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
Perspective - Entry

DRAWING NO:
A6.01

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PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

SCALE:
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
03/10/2023	ACP

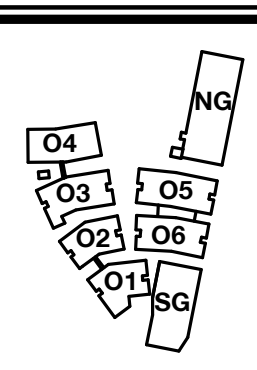
REVISIONS		
NO.	DATE	ISSUE

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Perspective - Main Street

DRAWING NO:
A6.02



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PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE

Architectural Control Package - Parcel 1 (Portion)
Menlo Park, CA

SCALE:
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

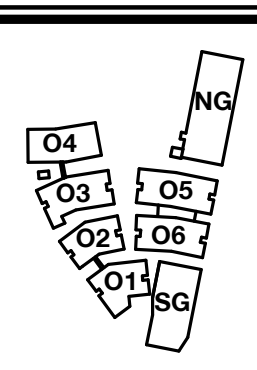
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DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
Perspective - Central
Campus Path

DRAWING NO:
A6.03

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PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 (Portion)
Menlo Park, CA

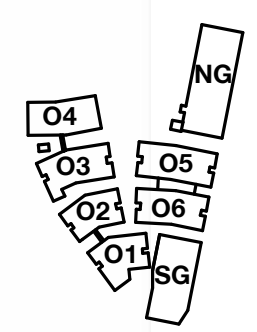
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MILESTONES	
DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
Perspective - Town Square Pavilion 3

DRAWING NO:
A6.04



R - WOOD DECK

I - FIBER CEMENT BOARD

P - WOOD AESTHETIC SOFFIT
 ALT. COMPOSITE METAL PANEL

H - EXPOSED STEEL
 PAINTED TO MATCH
 PAINTED METAL PANEL

Q - CONCRETE PAVER

N - CAST IN PLACE
 CONCRETE

B - PAINTED METAL +
 METAL PANEL

A - PAINTED METAL +
 METAL PANEL



C - HEAVY TIMBER STRUCTURE

D - TYPICAL VISION GLASS
 LEVEL 2 - LEVEL 5
 ACID ETCH PATTERN TO MEET BIRD-
 FRIENDLY STANDARDS

M - VISION GLASS
 LEVEL 1 & PAVILIONS SP-1 AND SP-2
 ACID ETCH PATTERN AT SP-1, SP-2 AND
 SOME LOCATIONS AT LEVEL 1 TO MEET
 BIRD-FRIENDLY STANDARDS

BIRD-FRIENDLY GLAZING SHALL HAVE THE
 FOLLOWING SPECIFICATIONS:
 a. VERTICAL ELEMENTS OF THE WINDOW
 PATTERNS SHOULD BE AT LEAST 0.25 INCH
 WIDE AT A MAXIMUM SPACING OF FOUR
 INCHES AND/OR HAVE HORIZONTAL
 ELEMENTS AT LEAST 0.125 INCH WIDE AT A
 MAXIMUM SPACING OF TWO INCHES;
 OR
 b. BIRD-SAFE GLAZING SHALL HAVE A THREAT
 FACTOR LESS THAN OR EQUAL TO 30.

PROJECT GLAZING WILL HAVE A VISIBLE
 REFLECTANCE OF 15% OR LOWER.

EITHER DOTS OR LINES ARE APPROVED.

SCALE:
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE.
 DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR
 USER CLARIFICATION FROM ARCHITECT FOR
 MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
03/10/2023	ACP

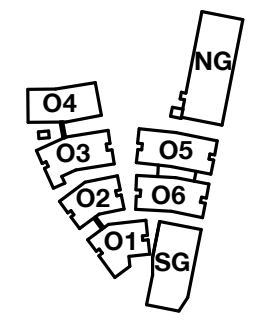
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NO.	DATE	ISSUE

DRAWING TITLE:

Materials and Color
 Board

DRAWING NO:

A7.00



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE

Architectural Control Package - Parcel 1 (Portion)
Menlo Park, CA

SCALE:

NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. FOR USER CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES

DATE	ISSUE
03/10/2023	ACP

REVISIONS

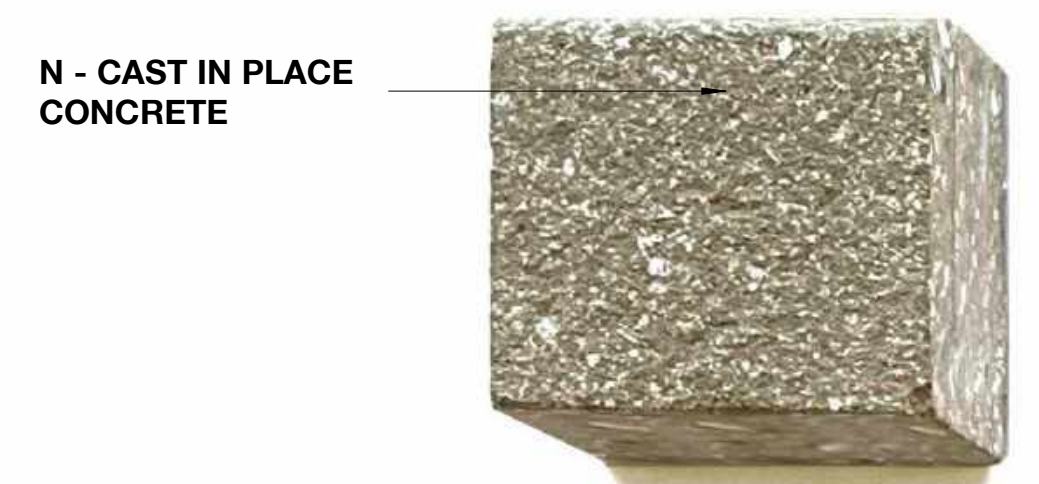
NO.	DATE	ISSUE

DRAWING TITLE:

Materials and Color Board

DRAWING NO:

A7.01

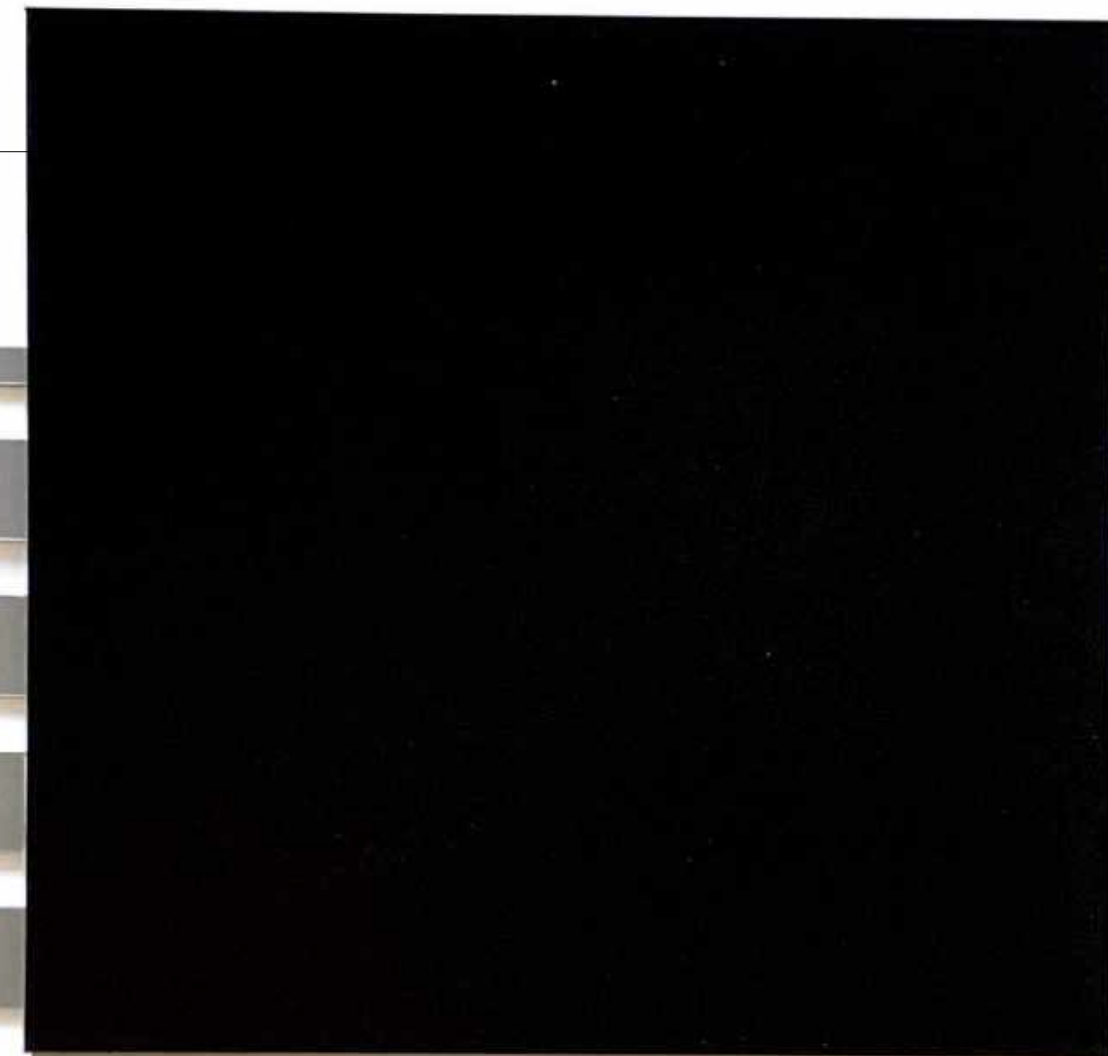


N - CAST IN PLACE CONCRETE

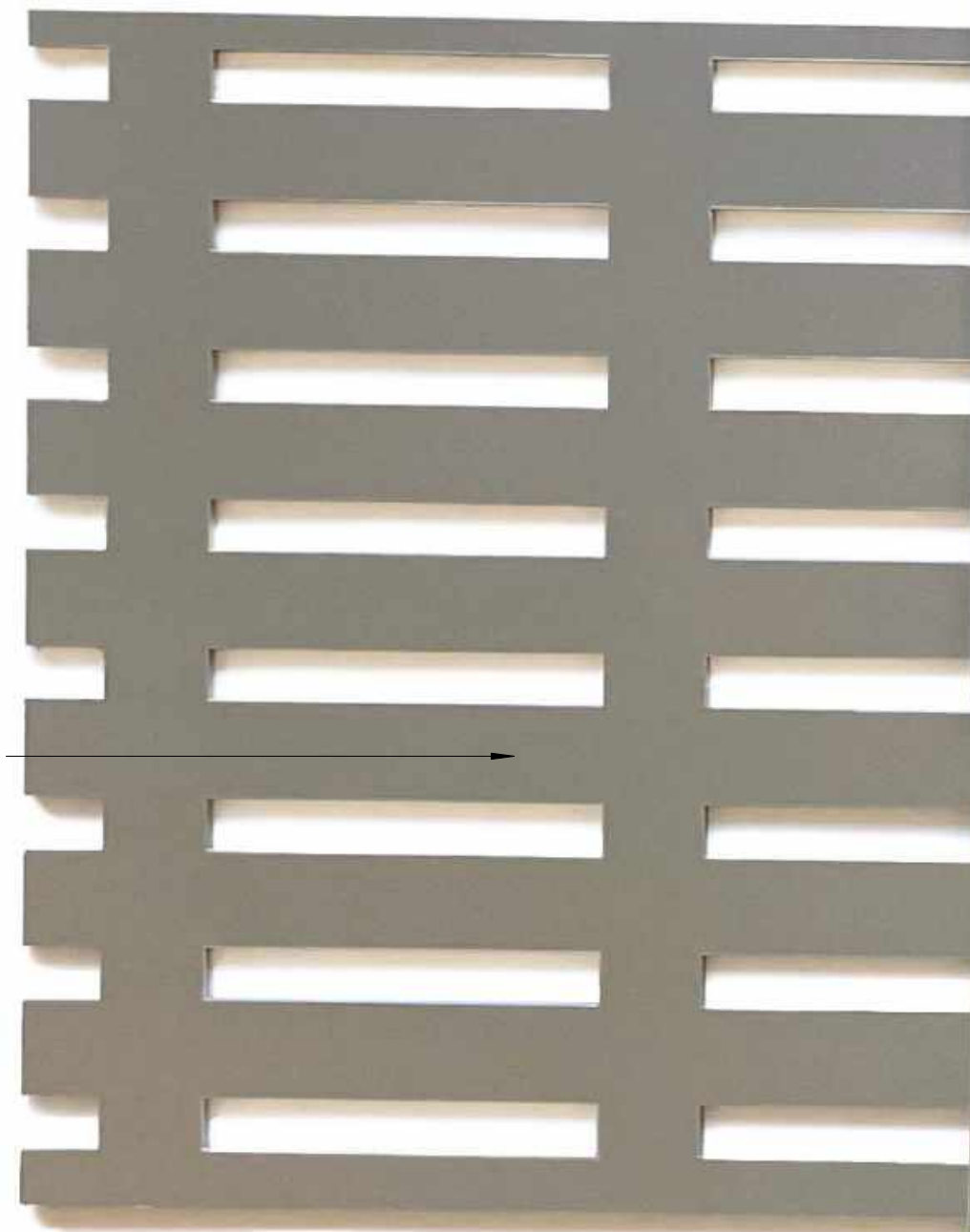


I - FIBER CEMENT BOARD

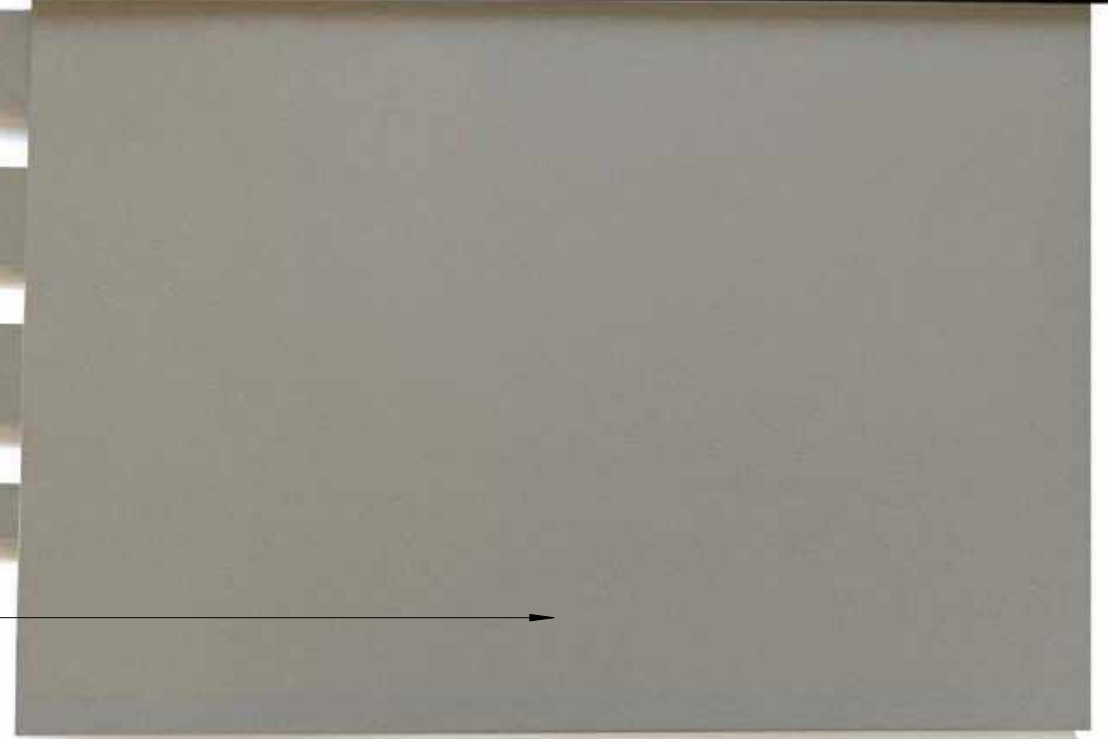
B - PAINTED METAL + METAL PANEL



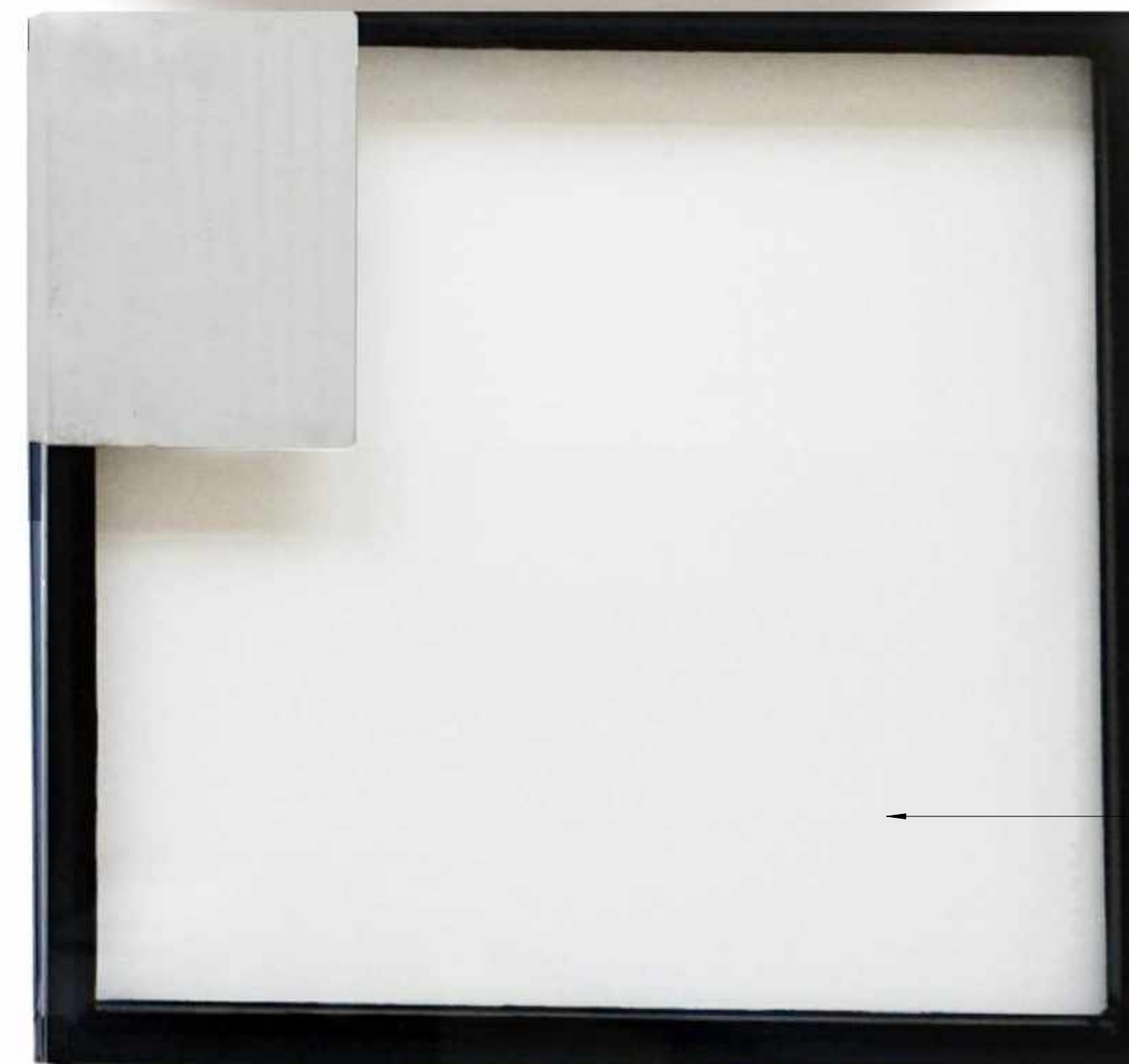
K - PERFORATED METAL PANEL GUARDRAIL



A - PAINTED METAL + METAL PANEL



D - TYPICAL VISION GLASS
ACID ETCH PATTERN TO MEET BIRD-FRIENDLY STANDARDS



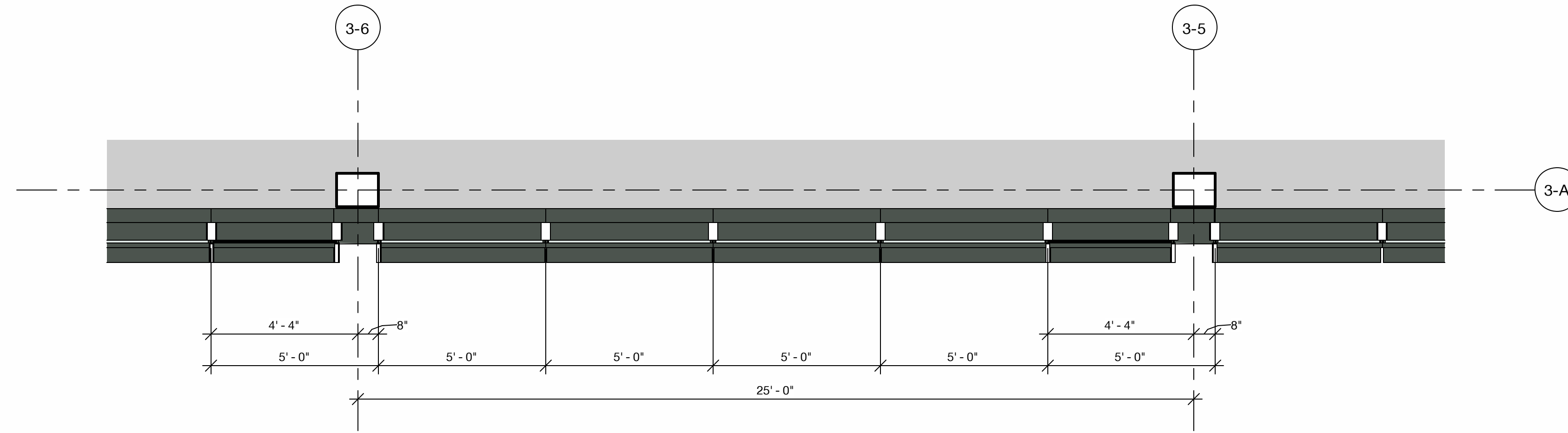
M - VISION GLASS
LEVEL 1
ACID ETCH PATTERN AT SOME LOCATIONS AT LEVEL 1 TO MEET BIRD-FRIENDLY STANDARDS

BIRD-FRIENDLY GLAZING SHALL HAVE THE FOLLOWING SPECIFICATIONS:
a. VERTICAL ELEMENTS OF THE WINDOW PATTERNS SHOULD BE AT LEAST 0.25 INCH WIDE AT A MAXIMUM SPACING OF FOUR INCHES AND/OR HAVE HORIZONTAL ELEMENTS AT LEAST 0.125 INCH WIDE AT A MAXIMUM SPACING OF TWO INCHES;
OR
b. BIRD-SAFE GLAZING SHALL HAVE A THREAT FACTOR LESS THAN OR EQUAL TO 30.

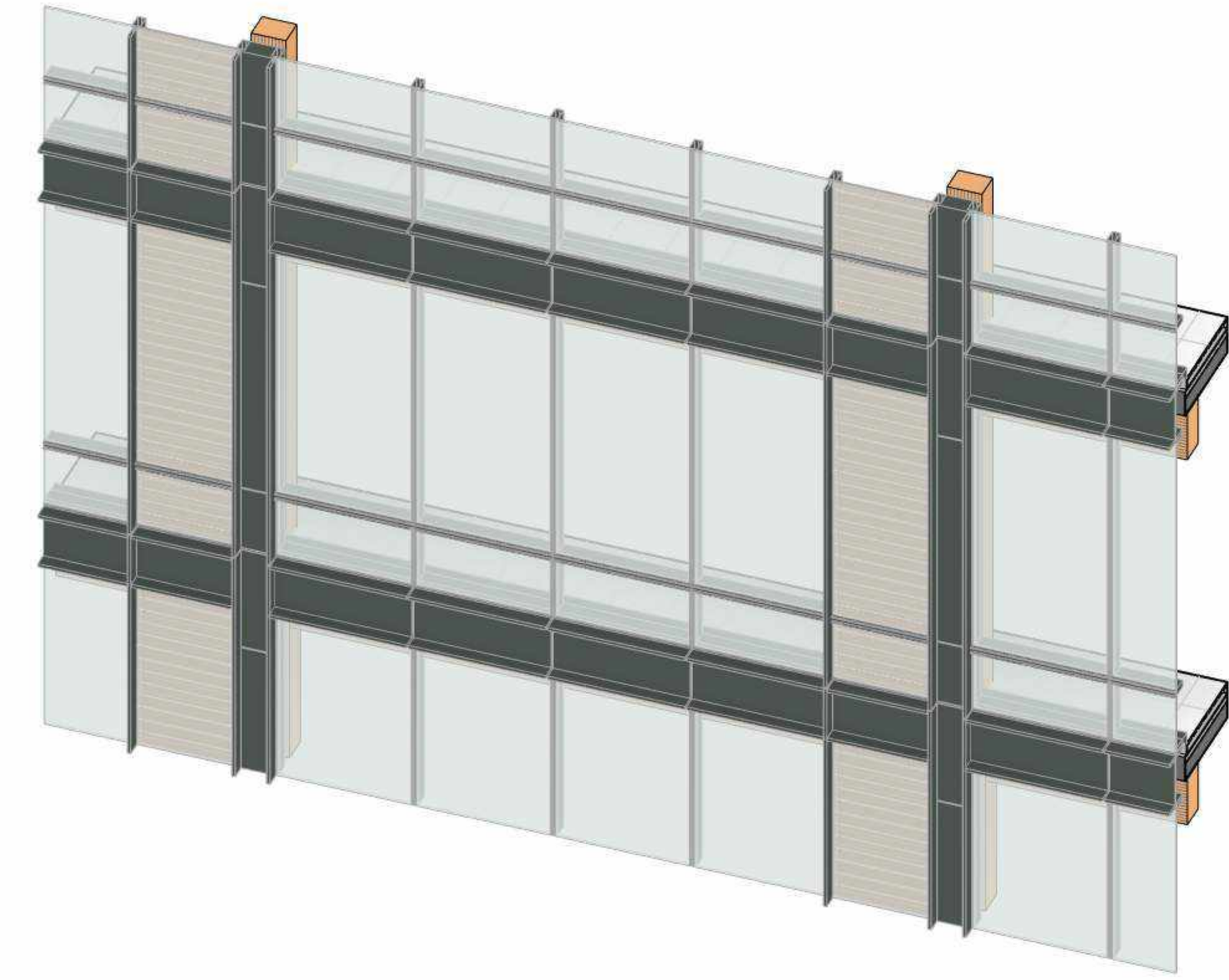
PROJECT GLAZING WILL HAVE A VISIBLE REFLECTANCE OF 15% OR LOWER.

EITHER DOTS OR LINES ARE APPROVED.

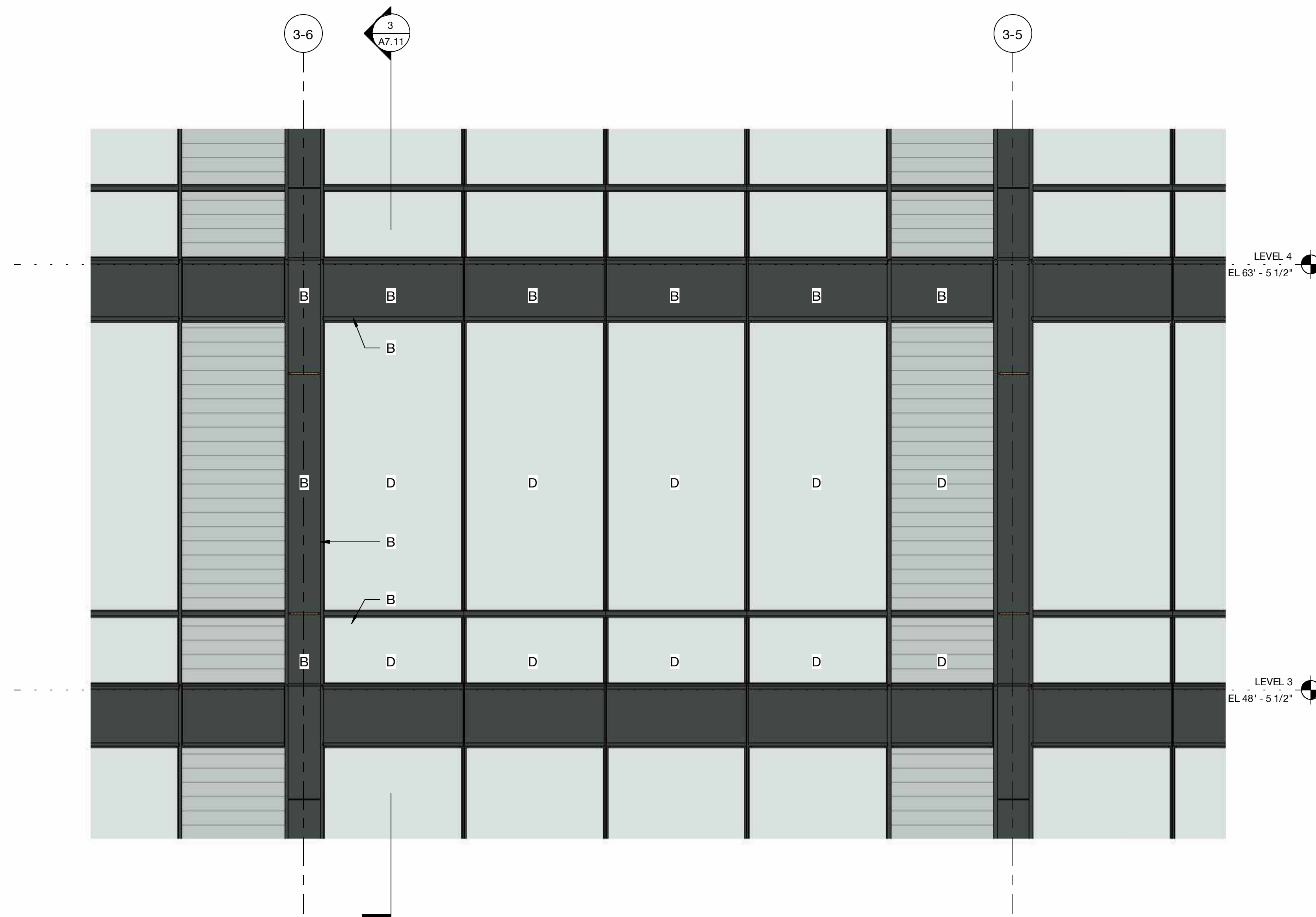
- A - PAINTED METAL + METAL PANEL
- B - PAINTED METAL + METAL PANEL
- C - EXPOSED HEAVY TIMBER STRUCTURE
- D - TYPICAL VISION GLASS
- E - ARCHITECTURAL LOUVER - PAINTED TO MATCH ADJACENT MATERIAL
- F - GLASS CANOPY
- G - SIGHT PROOF MECH LOUVER
- H - EXPOSED STEEL PAINTED TO MATCH PAINTED METAL PANEL
- I - FIBER CEMENT BOARD
- J - PAINTED METAL GUARDRAIL
- K - PERFORATED METAL PANEL GUARDRAIL
- L - SCREEN COLORED TO MATCH MATERIAL "I"
- M - VISION GLASS - LEVEL 1 & PAVILIONS SP-1 AND SP-2
- N - CAST-IN-PLACE CONCRETE



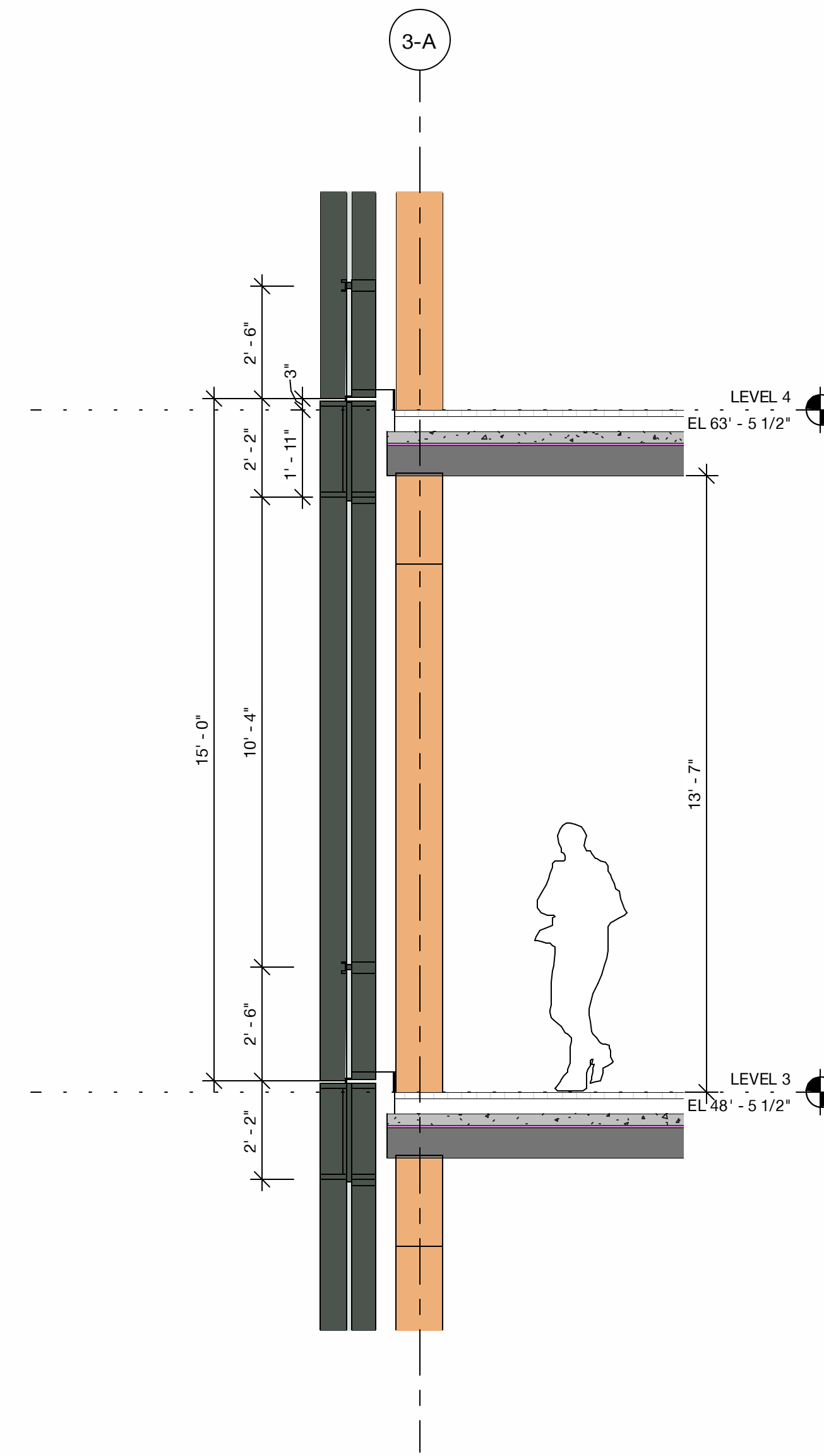
1 Typical Office Enclosure - Plan
3/8" = 1'-0"



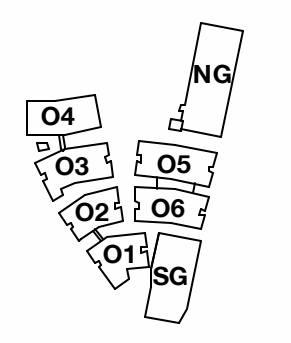
4 Typical Office Enclosure - Axon



2 Typical Office Enclosure - Elevation
3/8" = 1'-0"



3 Typical Office Enclosure - Section
3/8" = 1'-0"



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 (Portion)
Menlo Park, CA

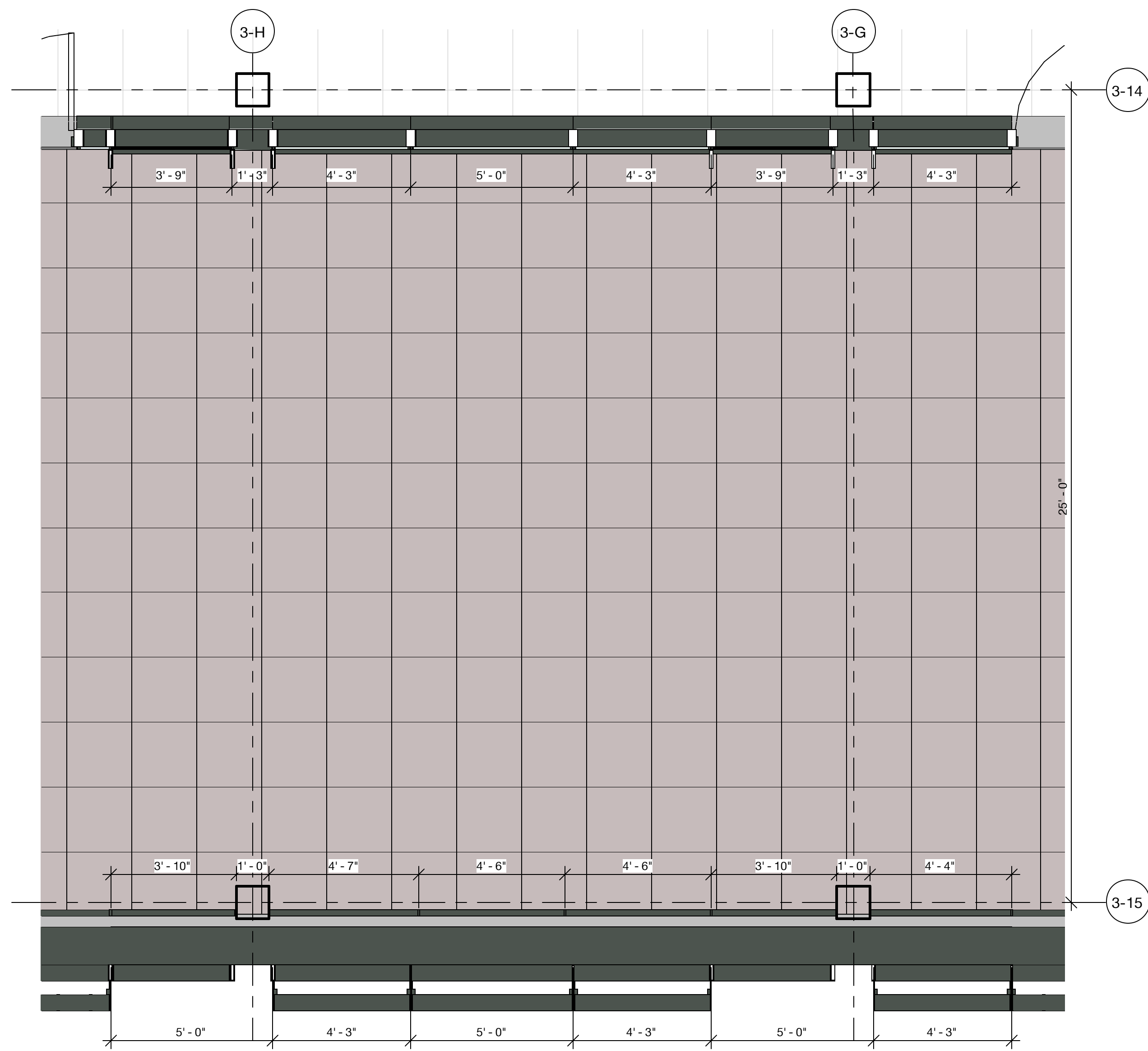
SCALE: 3/8" = 1'-0"
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY, OR DATA CALLOUTS FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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DATE	ISSUE
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NO.	DATE	ISSUE

DRAWING TITLE:
Typical Office Enclosure

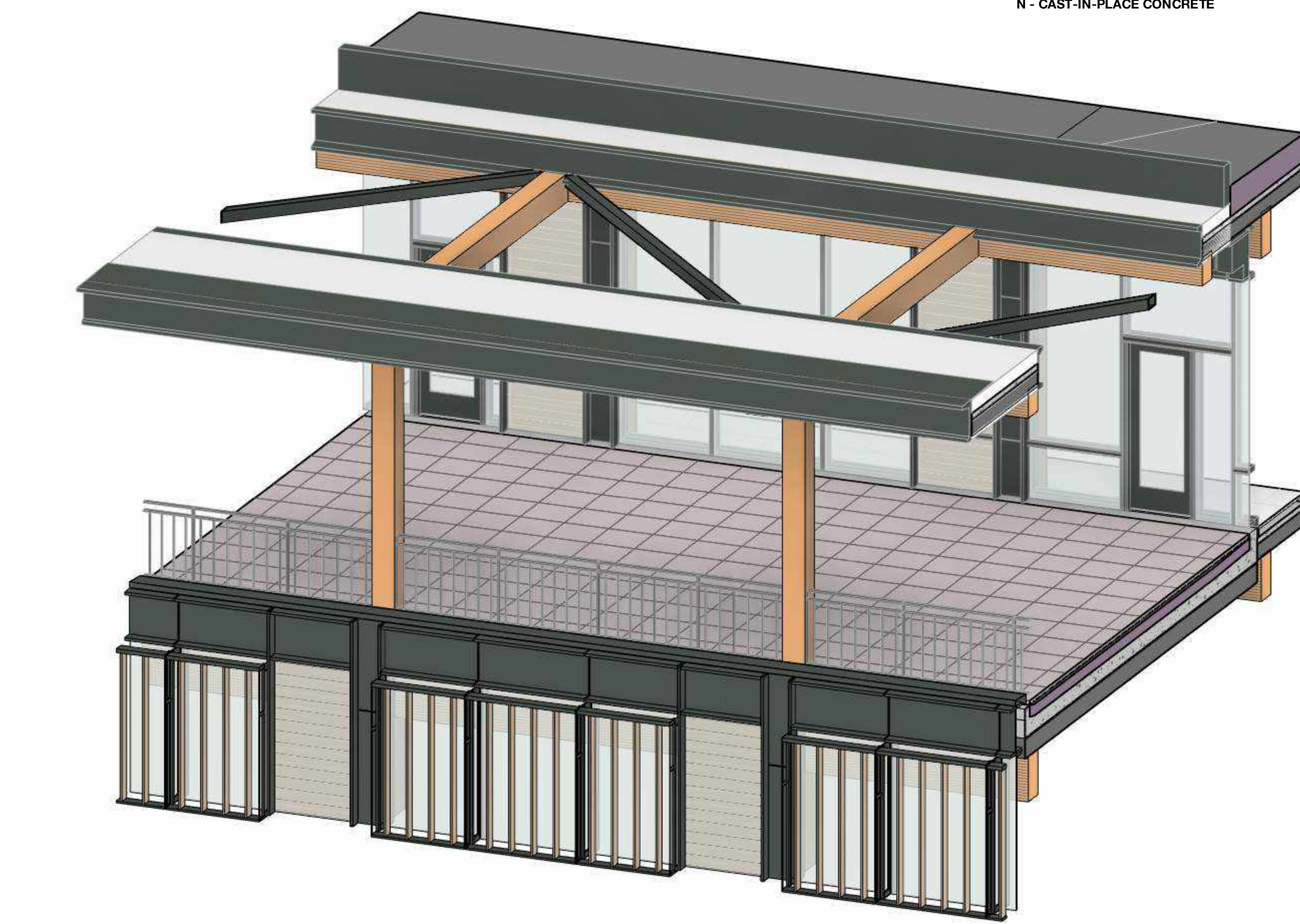
DRAWING NO:
A7.11



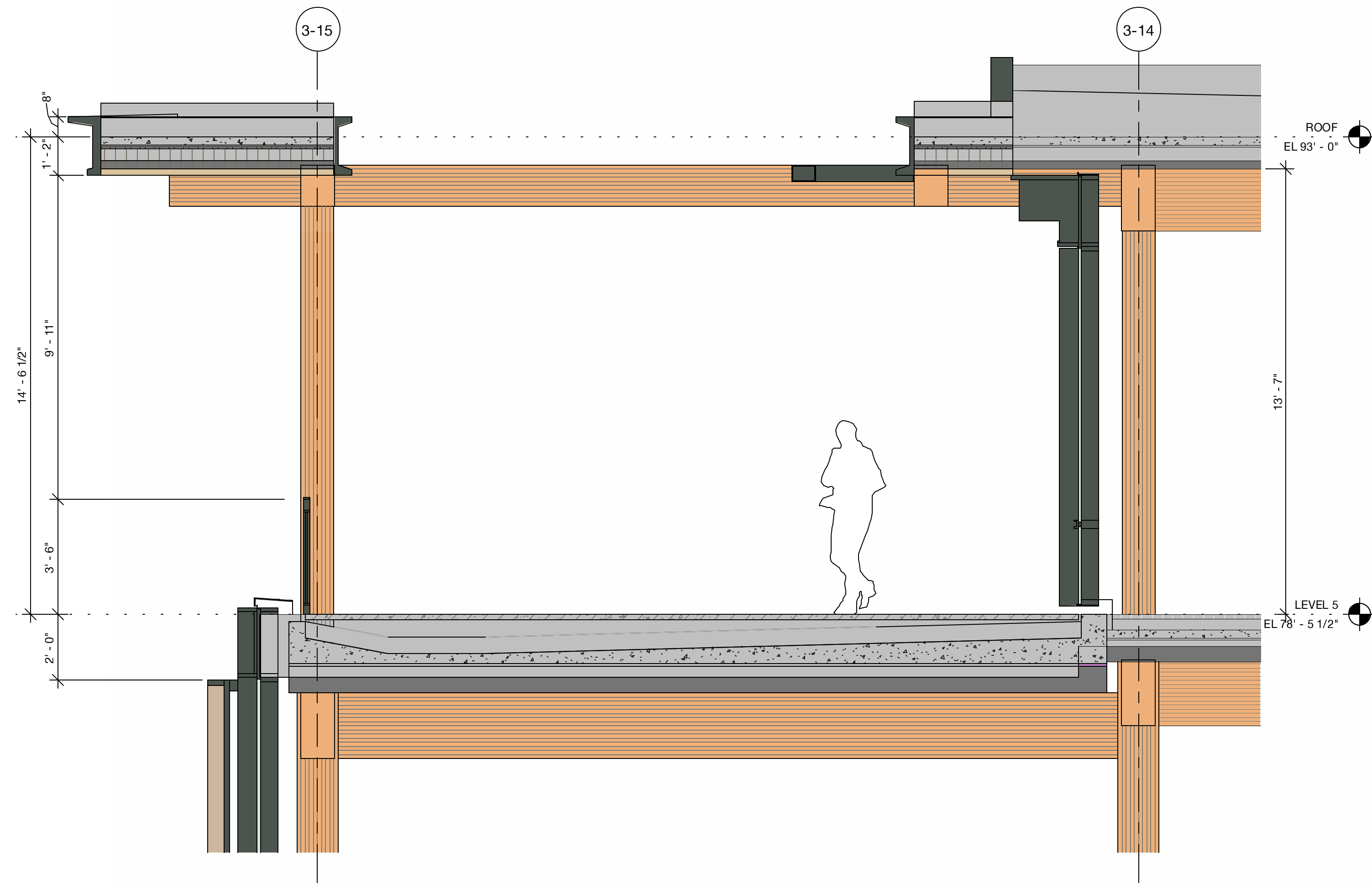
1 Typical Office Enclosure at Terrace - Plan
3/8" = 1'-0"



2 Typical Office Enclosure at Terrace - Elevation
3/8" = 1'-0"

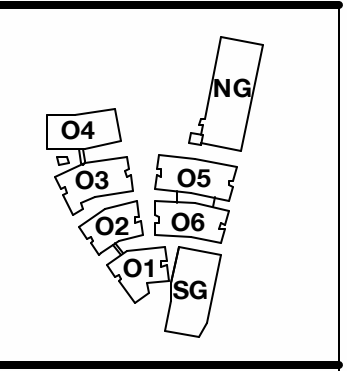


4 Typical Office Enclosure at Terrace - Axon



3 Typical Office Enclosure at Terrace - Section
3/8" = 1'-0"

- A - PAINTED METAL + METAL PANEL
- B - PAINTED METAL + METAL PANEL
- C - EXPOSED HEAVY TIMBER STRUCTURE
- D - TYPICAL VISION GLASS
- E - ARCHITECTURAL LOUVER - PAINTED TO MATCH ADJACENT MATERIAL
- F - GLASS CANOPY
- G - SIGHT PROOF MECH LOUVER
- H - EXPOSED STEEL PAINTED TO MATCH PAINTED METAL PANEL
- I - FIBER CEMENT BOARD
- J - PAINTED METAL GUARDRAIL
- K - PERFORATED METAL PANEL GUARDRAIL
- L - SCREEN COLORED TO MATCH MATERIAL "I"
- M - VISION GLASS - LEVEL 1 & PAVILIONS SP-1 AND SP-2
- N - CAST-IN-PLACE CONCRETE



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 (Portion)
Menlo Park, CA

SCALE: 3/8" = 1'-0"
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

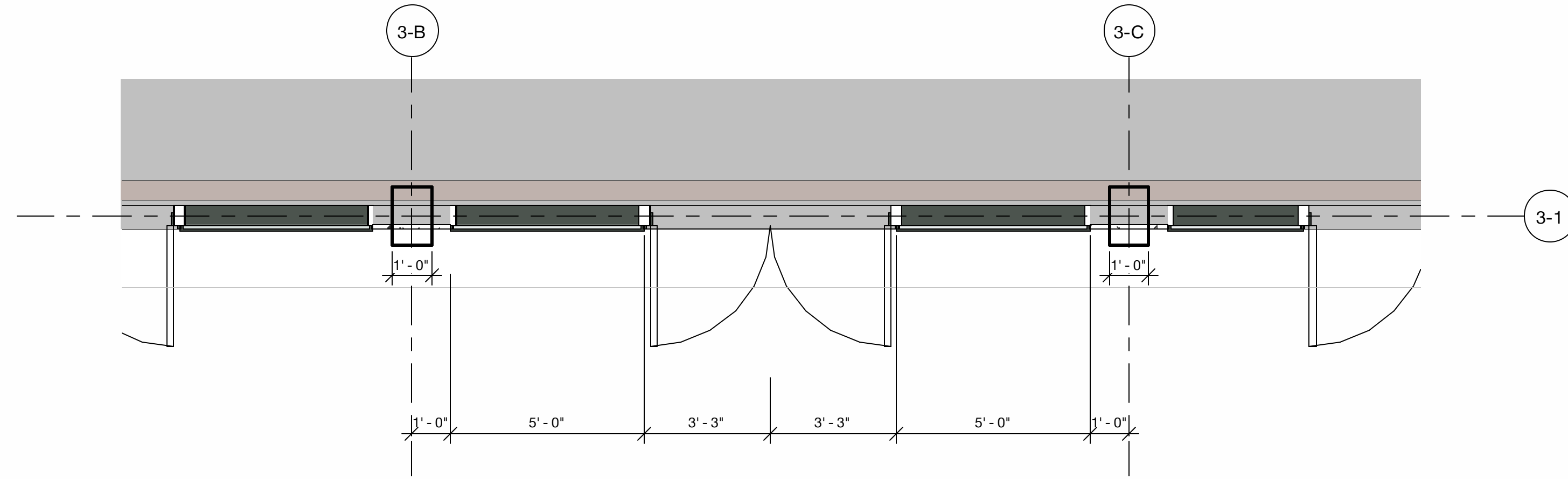
MILESTONES	
DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
Typical Office Enclosure
at Terrace

DRAWING NO:
A7.12

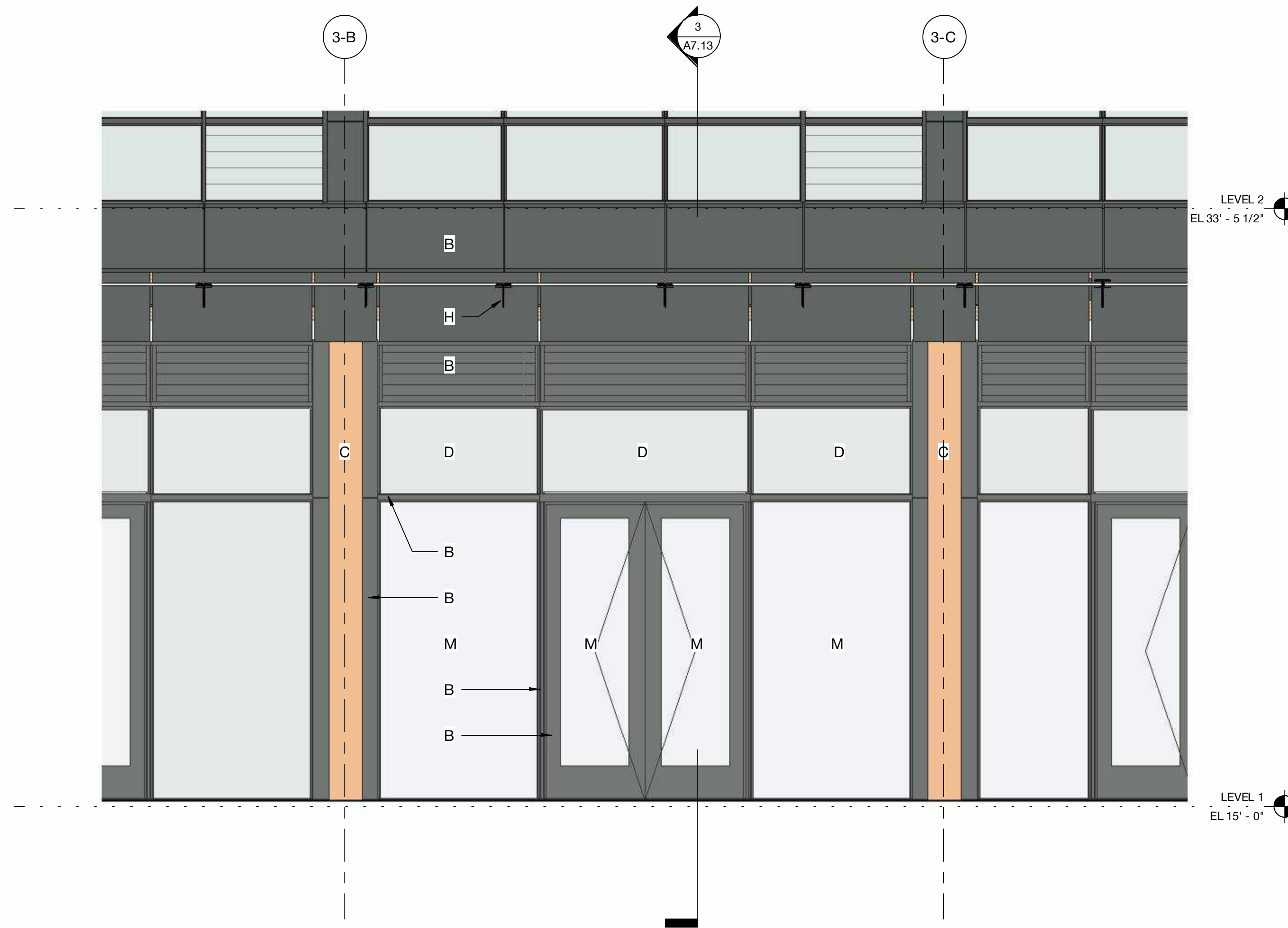
- A - PAINTED METAL + METAL PANEL
- B - PAINTED METAL + METAL PANEL
- C - EXPOSED HEAVY TIMBER STRUCTURE
- D - TYPICAL VISION GLASS
- E - ARCHITECTURAL LOUVER - PAINTED TO MATCH ADJACENT MATERIAL
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- L - SCREEN COLORED TO MATCH MATERIAL "I"
- M - VISION GLASS - LEVEL 1 & PAVILIONS SP-1 AND SP-2
- N - CAST-IN-PLACE CONCRETE



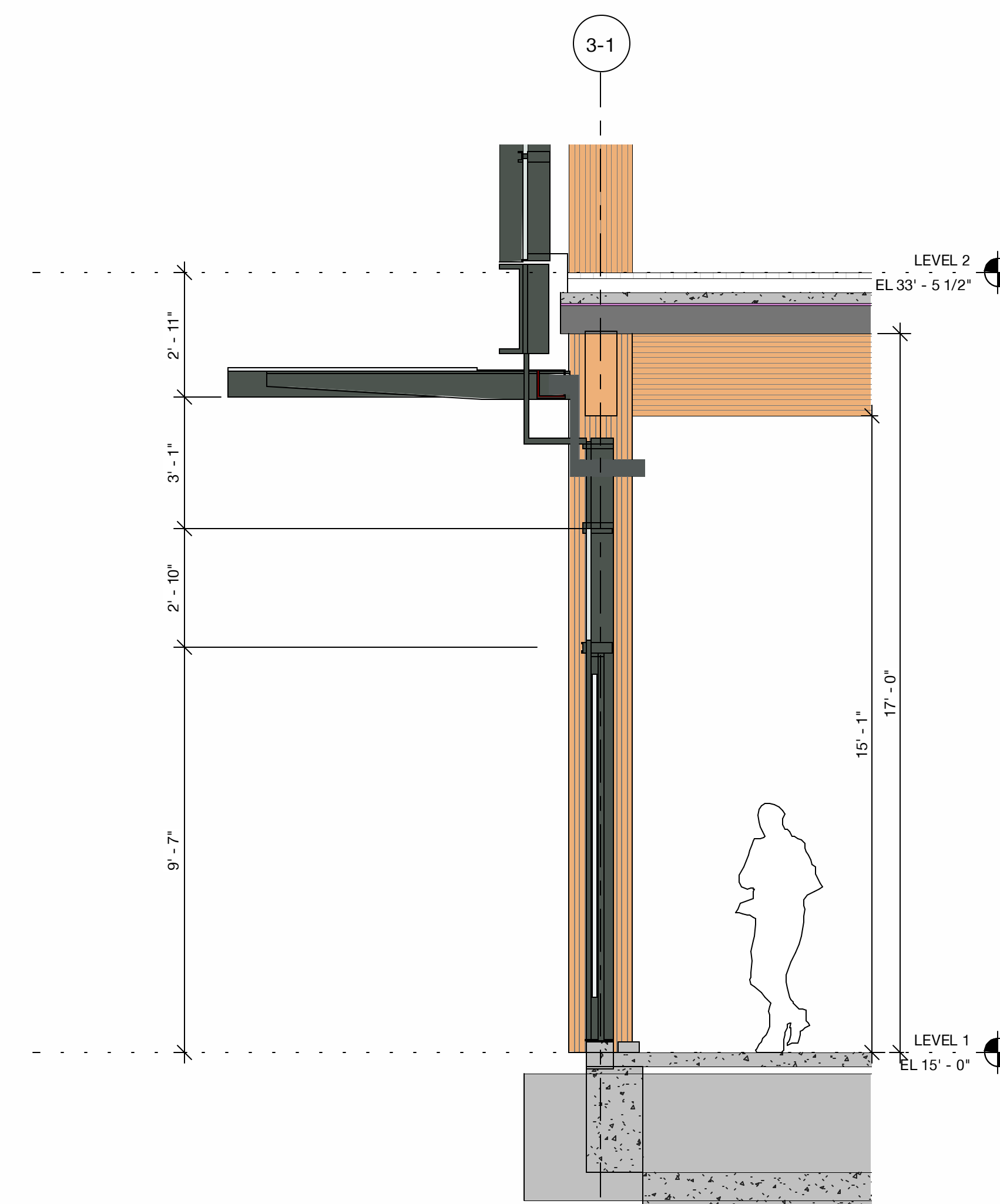
1 Ground Level Enclosure - Plan
3/8" = 1'-0"



4 Ground Level Enclosure - Axon
3/8" = 1'-0"



2 Ground Level Enclosure - Elevation
3/8" = 1'-0"



3 Ground Level Enclosure - Section
3/8" = 1'-0"

PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 (Portion)
Menlo Park, CA

SCALE: 3/8" = 1'-0"
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY, OR DATA CALLOUTS FROM PROJECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

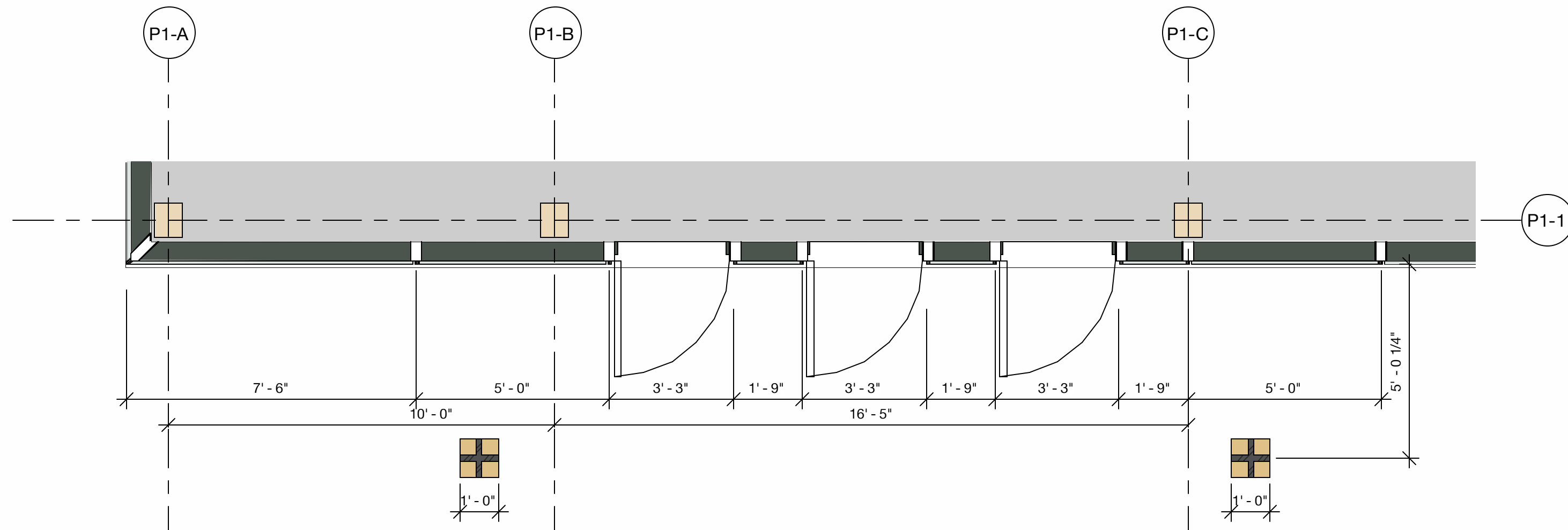
MILESTONES	
DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
Ground Level Enclosure
at Main Street

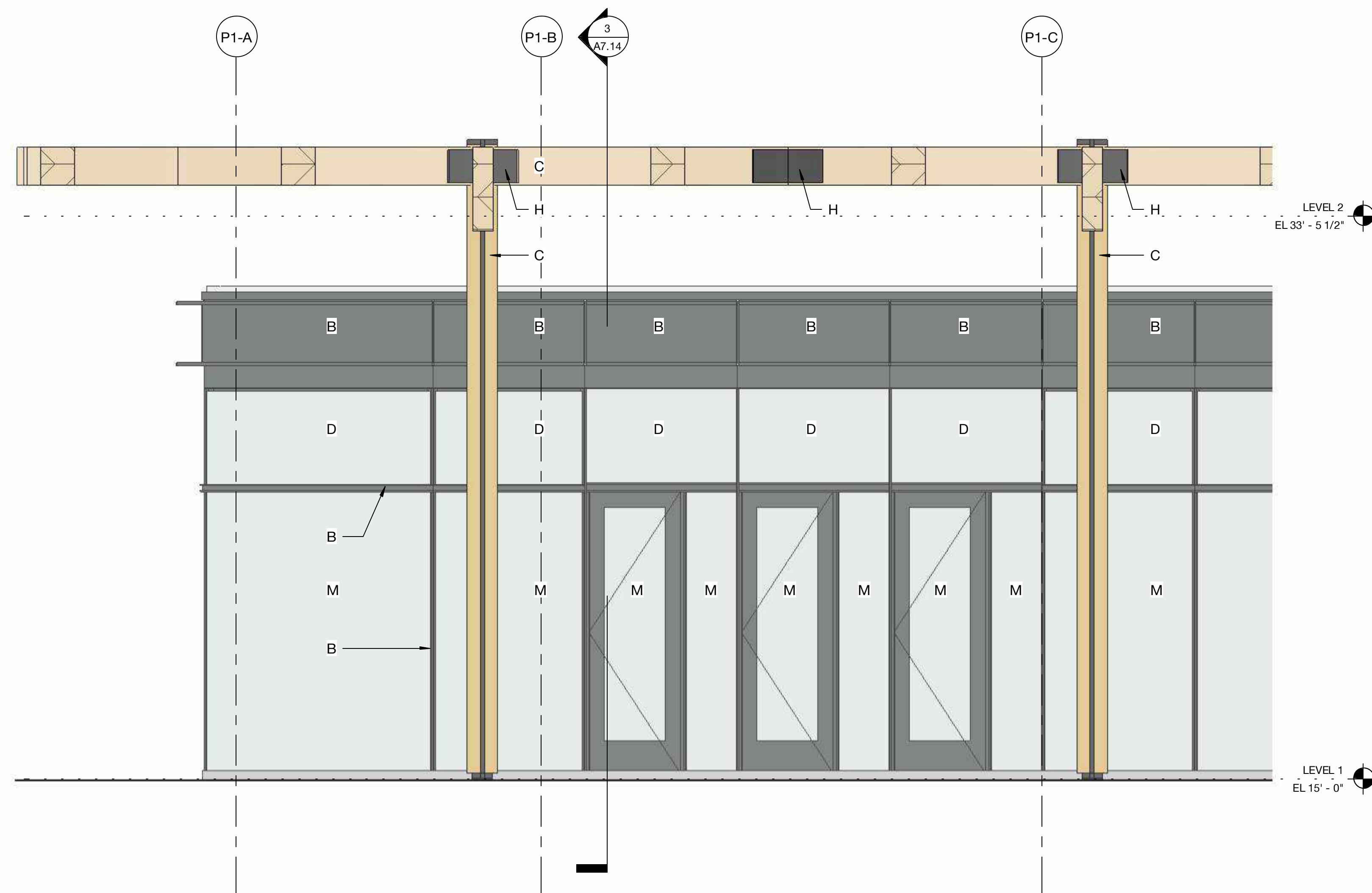
DRAWING NO:
A7.13

- A - PAINTED METAL + METAL PANEL
- B - PAINTED METAL + METAL PANEL
- C - EXPOSED HEAVY TIMBER STRUCTURE
- D - TYPICAL VISION GLASS
- E - ARCHITECTURAL LOUVER - PAINTED TO MATCH ADJACENT MATERIAL
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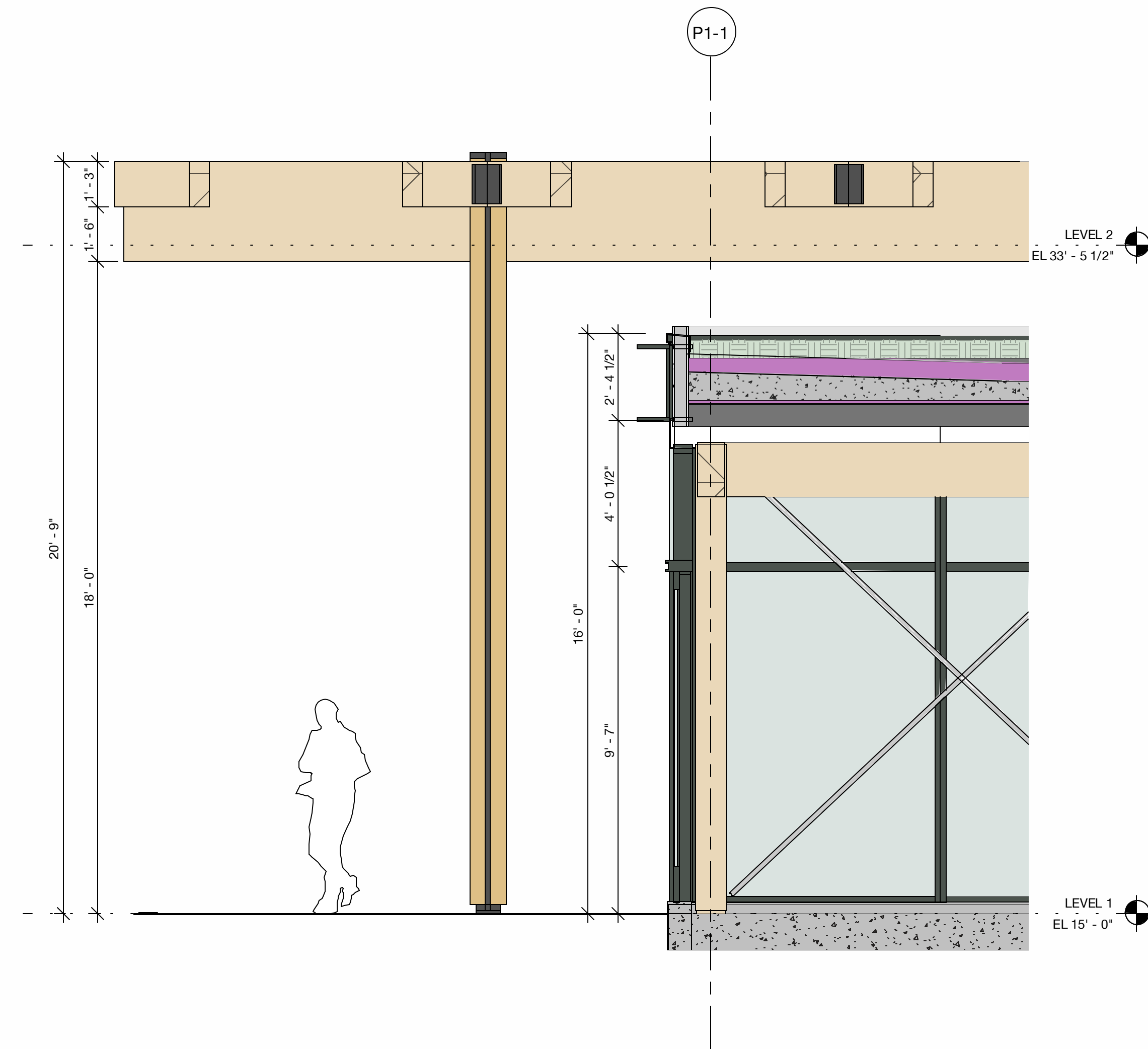


1 Entry Pavilion Enclosure - Plan
3/8" = 1'-0"

4 Entry Pavilion Enclosure - Axon
3/8" = 1'-0"



2 Entry Pavilion Enclosure - Elevation
3/8" = 1'-0"



3 Entry Pavilion Enclosure - Section
3/8" = 1'-0"

PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 (Portion)
Menlo Park, CA

SCALE: 3/8" = 1'-0"
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

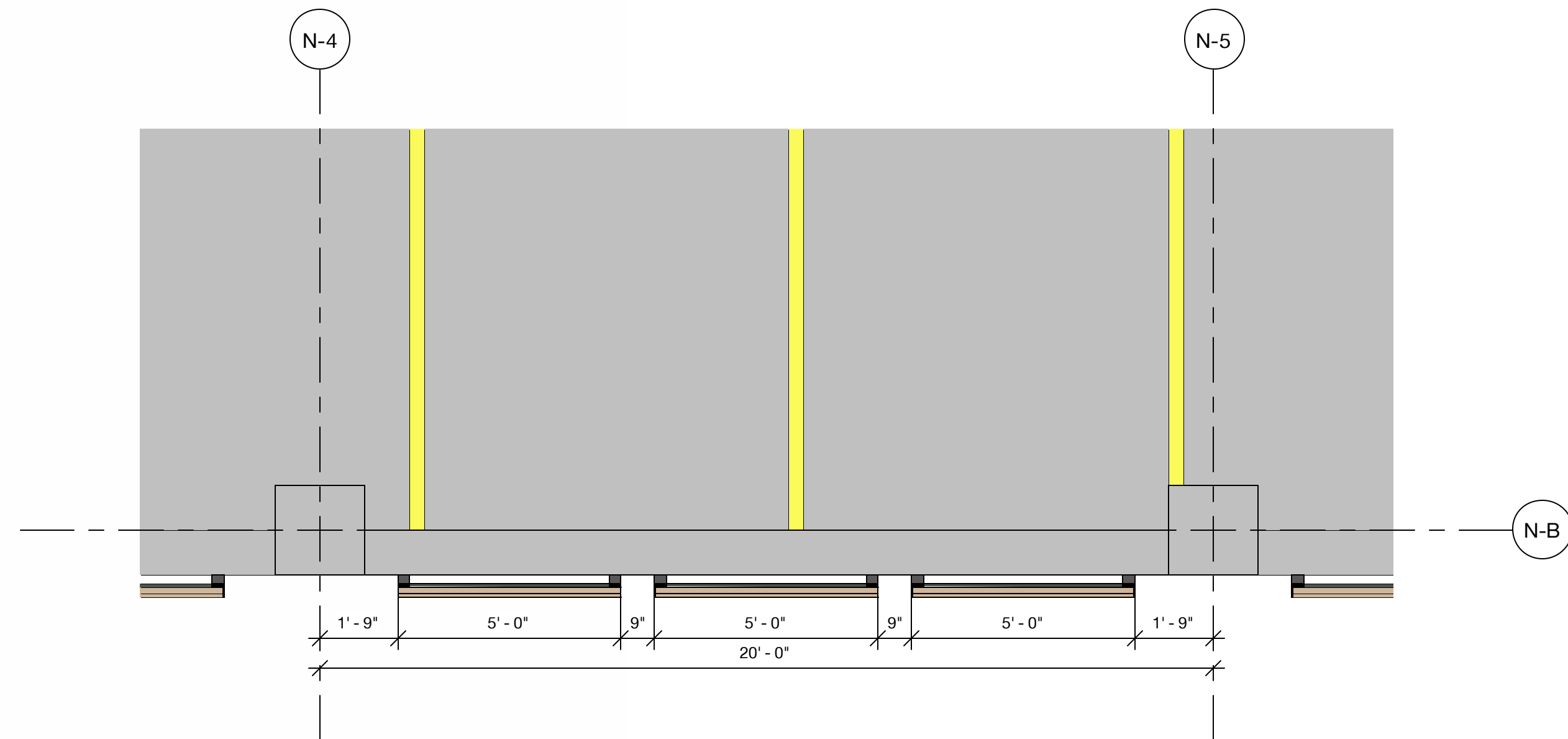
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DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

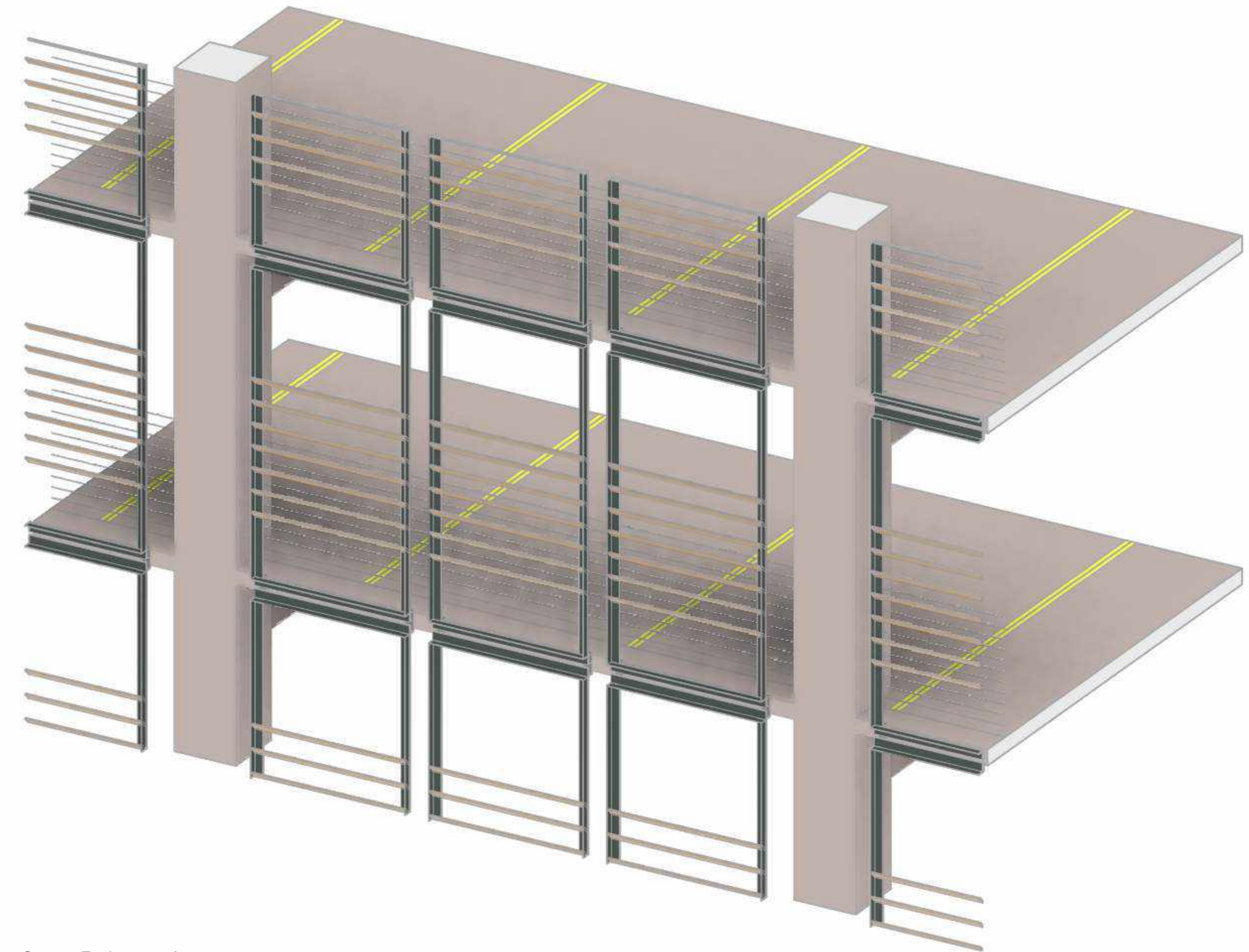
DRAWING TITLE:
Entry Pavilion Enclosure

DRAWING NO:
A7.14

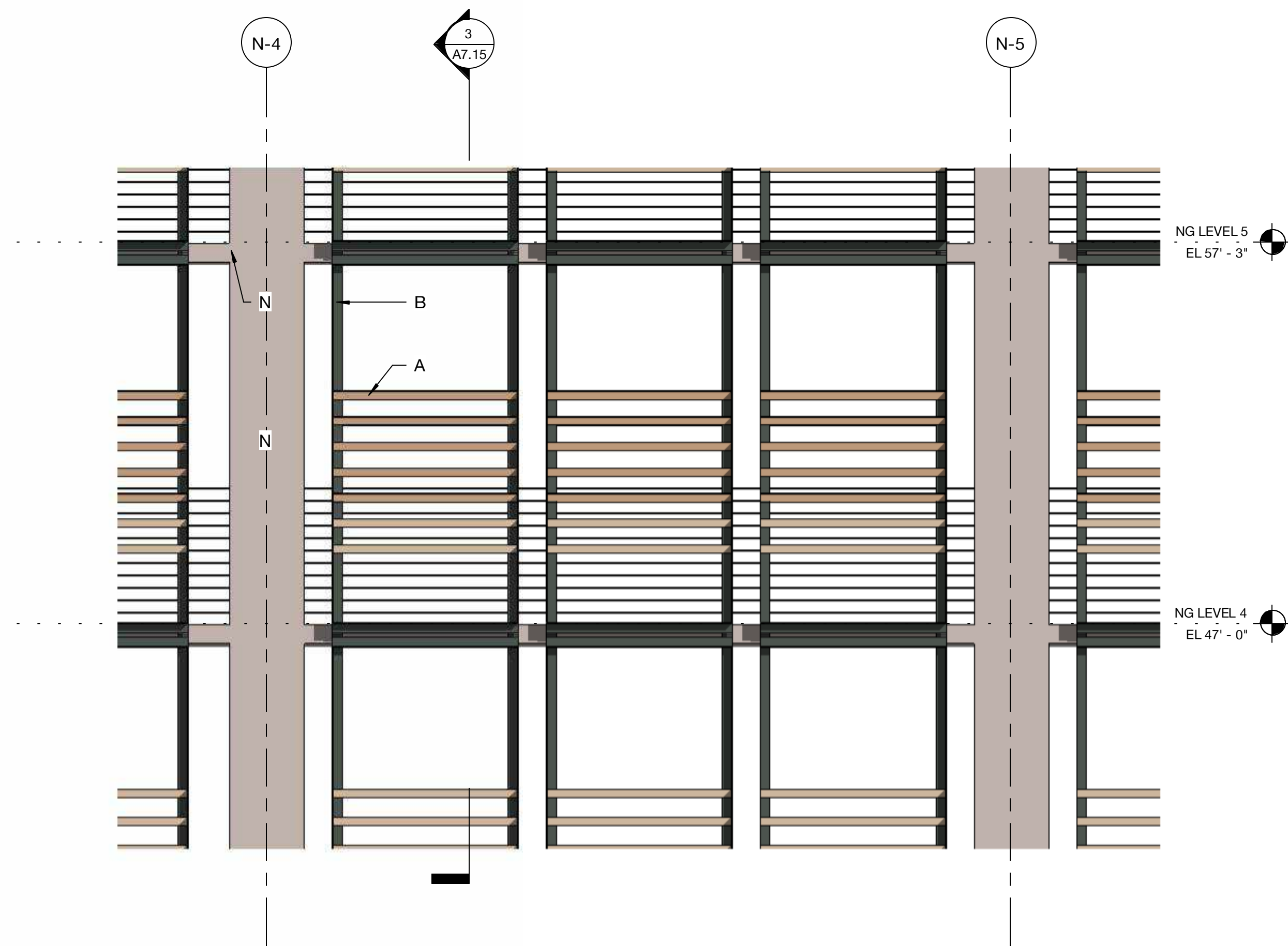
- A - PAINTED METAL + METAL PANEL
- B - PAINTED METAL + METAL PANEL
- C - EXPOSED HEAVY TIMBER STRUCTURE
- D - TYPICAL VISION GLASS
- E - ARCHITECTURAL LOUVER - PAINTED TO MATCH ADJACENT MATERIAL
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- N - CAST-IN-PLACE CONCRETE



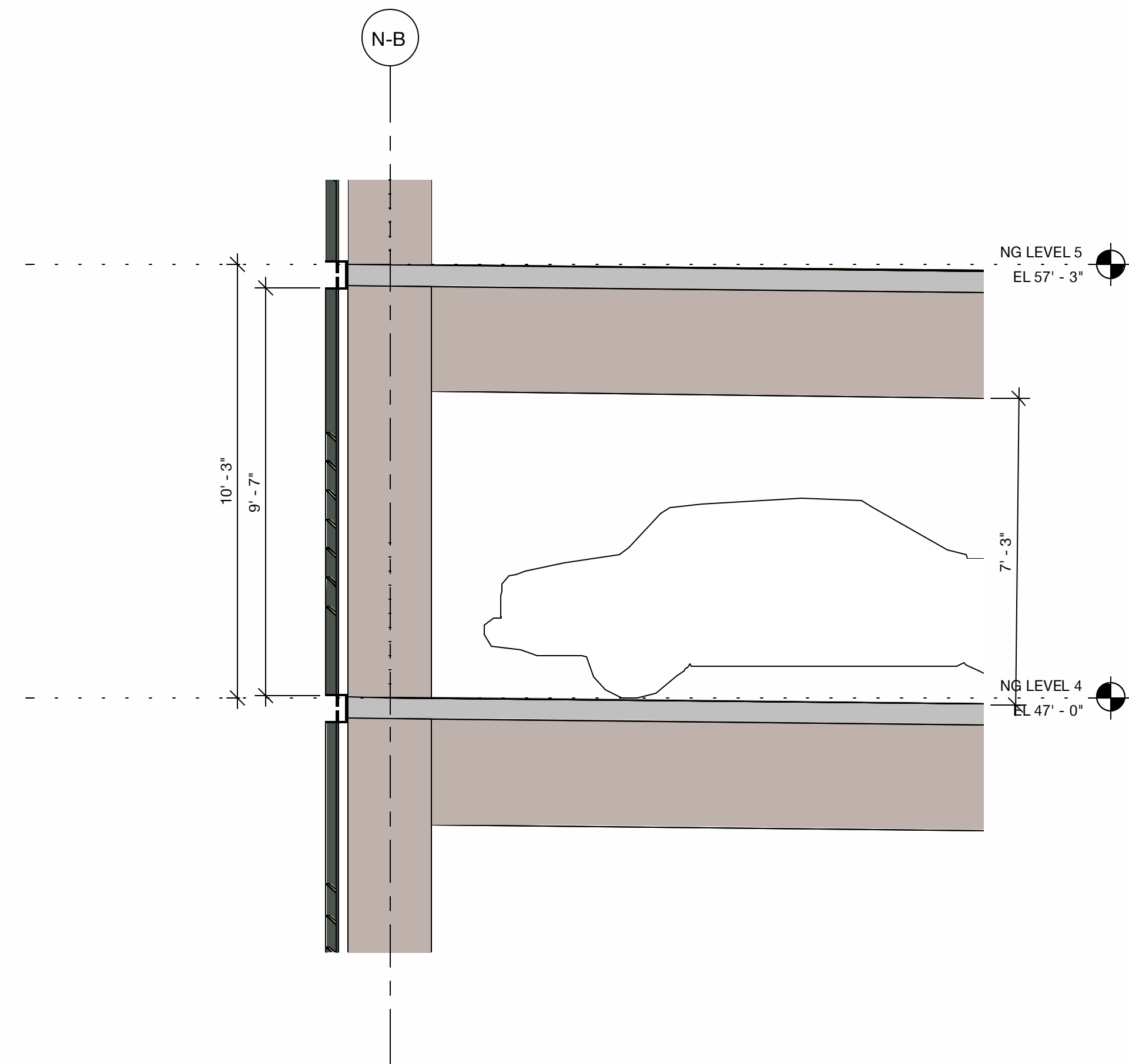
1 Garage Enclosure - Plan
3/8" = 1'-0"



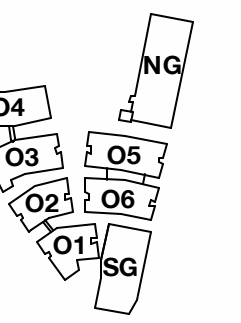
4 Garage Enclosure - Axon



2 Garage Enclosure - Elevation
3/8" = 1'-0"



3 Garage Enclosure - Section
3/8" = 1'-0"



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 (Portion)
Menlo Park, CA

SCALE: 3/8" = 1'-0"
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES

DATE	ISSUE
03/10/2023	ACP

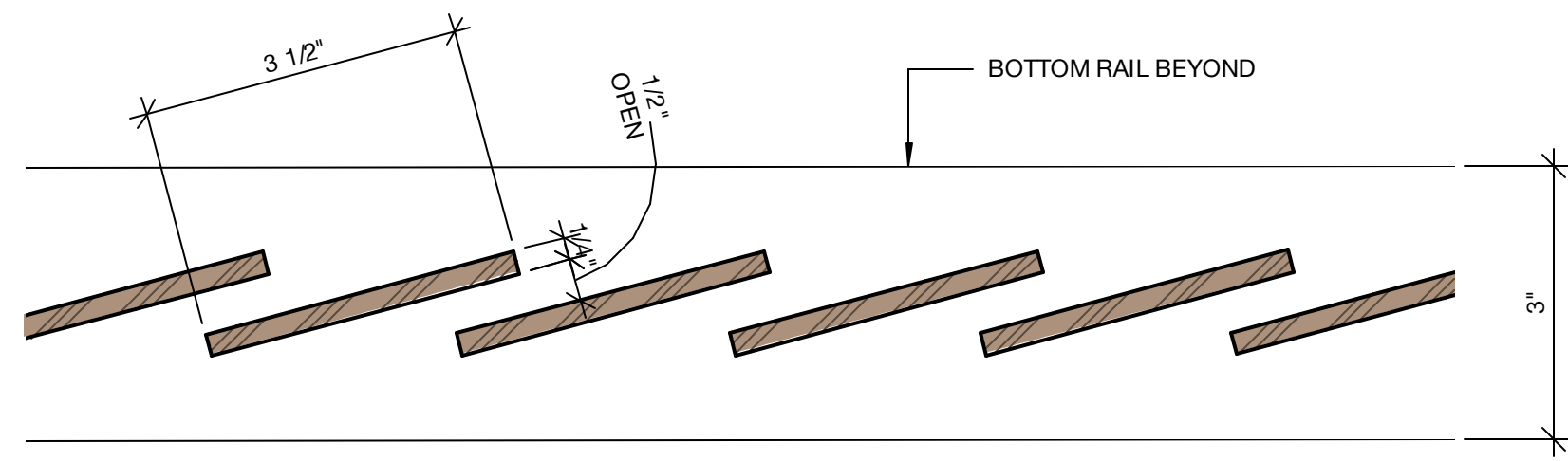
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NO.	DATE	ISSUE

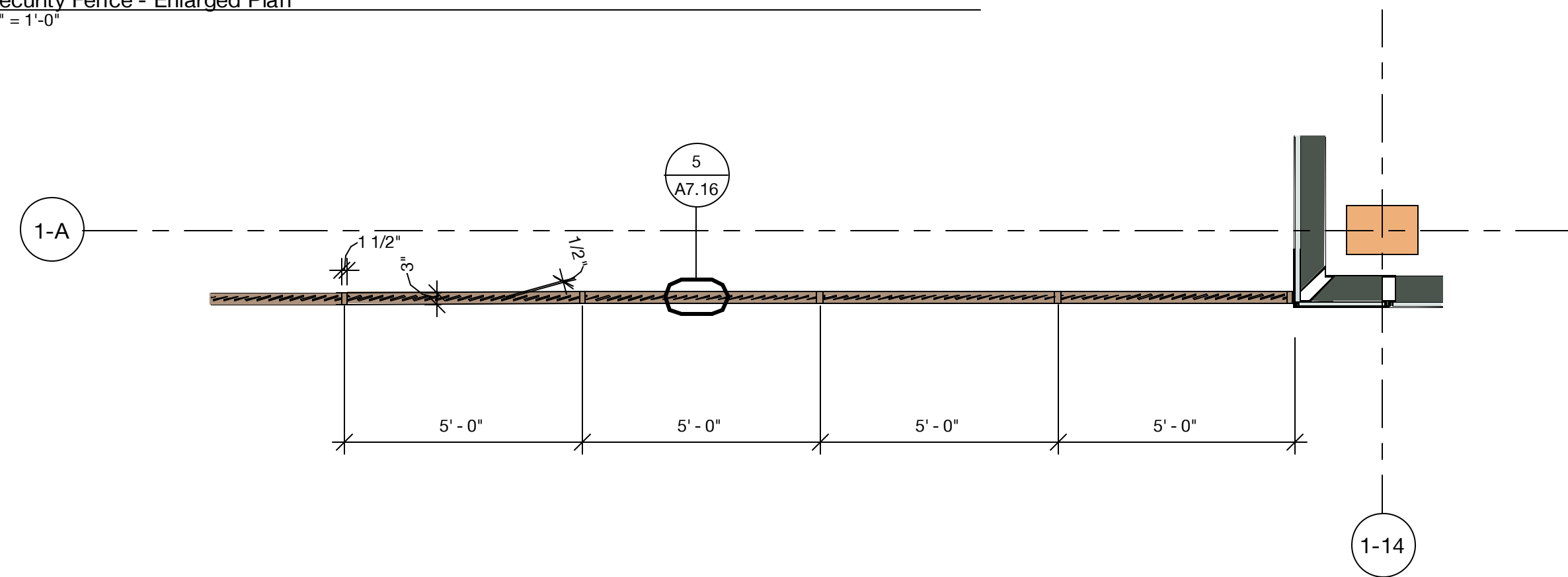
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Garage Enclosure

DRAWING NO:
A7.15

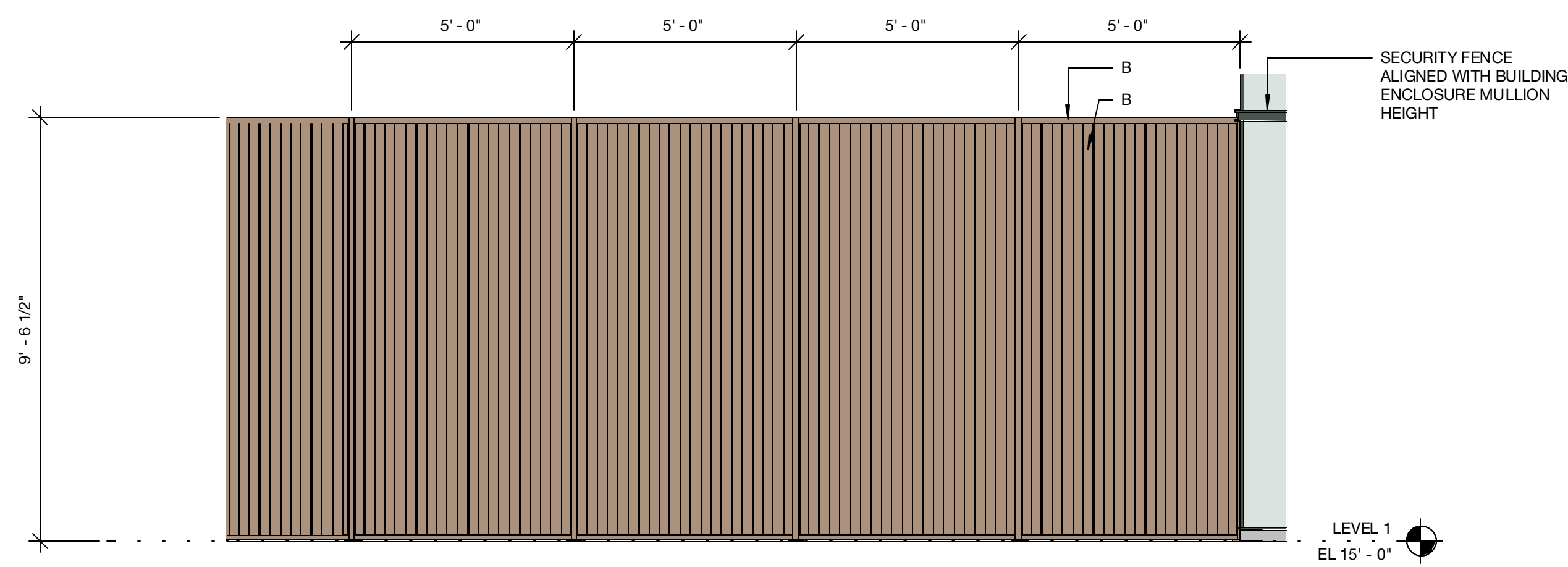
- A - PAINTED METAL + METAL PANEL
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- C - EXPOSED HEAVY TIMBER STRUCTURE
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- N - CAST-IN-PLACE CONCRETE



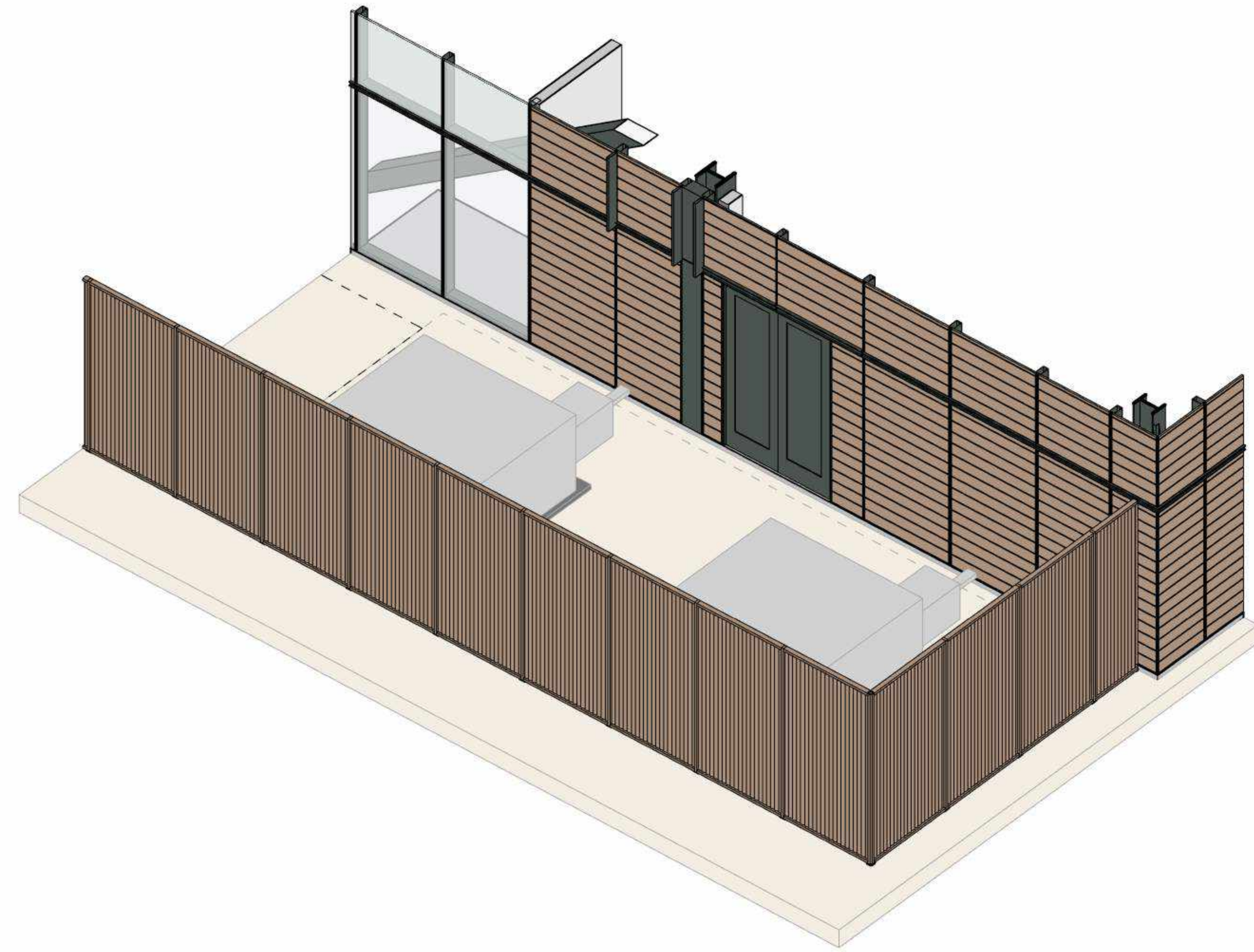
5 Security Fence - Enlarged Plan
6" = 1'-0"



2 Security Fence - Plan
3/8" = 1'-0"



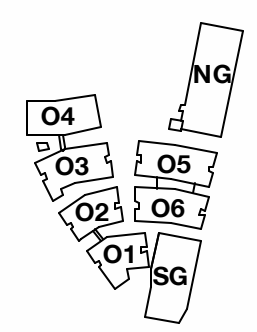
1 Security Fence - Elevation
3/8" = 1'-0"



3 Security Fence - Axon



4 Security Fence - Overall Site Plan
1" = 160'-0"



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 (Portion)
Menlo Park, CA

SCALE: As indicated
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY, OR DIMENSIONS INDICATED FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
Security Fence

DRAWING NO:
A7.16

Willow Village - Office Parcel 1 (Portion)
Base Zone: O

O Development Regulations

Note: Per the Willow Village Master Plan, projects within the plan area will follow the standards prescribed for bonus level development.

Requirement	Reference	Standard	Proposal / Notes	Compliance
Minimum Setback at Street	16.43.050	Minimum linear feet building can be sited from property line adjacent to street. Base Level: 5', Bonus Level 5'	Proposed project maintains the minimum setback. See ground floor diagrams.	Project Complies
	16.43.130(1)	Measured from property line, or if there is a public access easement, from the back of the easement.		
Maximum Setback at Street	16.43.050	Maximum linear feet building can be sited from property line adjacent to street: 25'	See A1.02 series	Project Complies
	16.43.130(1)			
Minimum interior side and rear setbacks	16.43.050	Minimum linear feet building can be sited from interior and rear property lines: 10'	See A1.02 series No paseo is required.	Project Complies
	16.43.130(1)	See Section 16.43.130(5) when property is required to have a paseo. Interior side setback may be reduced to zero feet for the entire building mass where there is retail frontage.		
Height	16.43.050	Average Height: 67.5 feet Properties within the flood zone or subject to flooding and sea level rise are allowed a 10-foot increase in height and maximum height. Maximum height: 110 feet	Average height with 10-foot increase = 77.5 feet from natural grade Maximum height + 10-foot increase = 120 feet from natural grade	Project Complies
	16.43.130(4)	"Height" is defined as average height of all buildings on one site where a maximum height cannot be exceeded. Maximum height does not include roof-mounted equipment and utilities. A parapet used to screen mechanical equipment is not included in the height or maximum height. The maximum allowed height for rooftop mechanical equipment is 14 feet, except for elevator towers and associated equipment, which may be 20 feet.		
Minimum open space requirement	16.43.050	Minimum portion of the building site open and unobstructed by fully enclosed buildings.	See A9.06 Bonus Level = 30% Open space calculated in aggregate per section 16.43.055	Project Complies
	16.43.130(4)	See Section 16.43.130(4) for open space requirements.		

O Master Planned Projects

Requirement	Reference	Standard	Proposal / Notes	Compliance
Master Planned Projects	16.43.055	The purpose of a master planned project is to provide flexibility for creative design, more orderly development, and optimal use of open space, while maintaining and achieving the general plan vision for the Bayfront Area. Master planned projects for sites with the same zoning designation (O, LS or R-MU) in close proximity or for contiguous sites that have a mix of zoning designations (O or R-MU) that exceed fifteen (15) acres in size and that are held in common ownership (or held by wholly owned affiliated entities) and are proposed for development as a single project or single phased development project are permitted as a conditional use, provided that sites with mixed zoning are required to obtain a conditional development permit and enter into a development agreement. For master planned projects meeting these criteria, residential density, FAR and open space requirements and residential density, FAR and open space requirements at the bonus level, if applicable, may be calculated in the aggregate across the site provided the overall development proposed does not exceed what would be permitted if the site were developed in accordance with the zoning designation applicable to each portion of the site and the proposed project complies with all other design standards identified for the applicable zoning districts. (Ord. 1024 § 3 (part), 2016)	Open space calculated in the aggregate across the site. See A9.06 for open space summary for office.	Project Complies

O Parking Standards

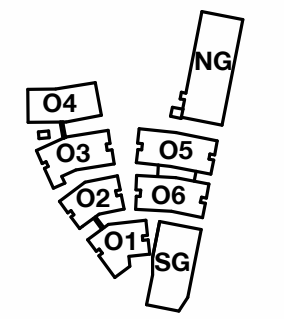
Requirement	Reference	Standard	Proposal / Notes	Compliance
Office Parking	16.43.090	Minimum 2 Spaces / 1000 Sq. Ft.; Maximum 3 spaces / 1000 Sq. Ft.	3,304 parking spaces provided South Garage = 1,290 parking stalls North Garage = 2,006 parking stalls	Project Complies
Office Development Bike Parking	16.43.090 16.43.130(7) and best practice standards in Association of Pedestrian and Bicycle Professionals Bicycle Parking Guidelines	Minimum 1 per 5,000 sq. ft. of gross floor area. Min. 2 spaces. For office and research development: 80% for long-term and 20% for short-term	approx. 1,126,631 SF GFA = 226 Short-term = 45 Long-term = 181 Project provides 550 short-term, and 181 long-term. 130 long-term spaces are provided in the garages and at least 51 long-term spaces are provided between office buildings 01-06 See A9.14	Project Complies
Commercial Uses Bike Parking		Minimum 1 per 5,000sqf of gross floor area. Min. 2 spaces. 20% for long term and 80% for short term.	approx. 30,041 SF GFA = 6 Short-term = 5 Long-term = 1 Project provides at least 5 short-term. Project provides 6 long-term to accommodate requirement for Office & MCS - See A9.14	Project Complies

O Design Standards

All new construction in O districts is subject to architectural control. Design standards may be modified subject to approval of a use permit or a conditional development permit. Per the Willow Village Master Plan, projects within the plan area will follow the standards prescribed for bonus level development.

Reference	Standard	Proposal / Notes	Compliance
Relationship to the Street			
16.43.130(1)	Build-To Area Requirement	Minimum percentage of street frontage between the minimum and maximum setback lines. If fronting a Local Street: 40%. If fronting a Boulevard, Thoroughfare, Mixed Use Collector, or Neighborhood Street: 60% minimum.	See A9.15.1-A9.15.3 Project Complies
	Frontage Landscaping	The percentage of the setback area (between the property line and the face of the building) devoted to ground cover and vegetation. Trees may or may not be within the landscaped area. Setback areas adjacent to active ground floor uses is exempted. If fronting a Local Street: Minimum of 25% (50% of which should provide on-site infiltration of stormwater runoff) If fronting a Boulevard, Thoroughfare, Mixed Use Collector, or Neighborhood Street then Minimum of 25% (50% of which should provide on-site infiltration of stormwater runoff)	See A9.16.1-A9.16.3 Project Complies

16.43.130(1)	Frontage Uses	Allowable frontage uses in order to support a positive integration of new buildings into the streetscape character. If fronting a Local Street: No restrictions. If fronting a Boulevard, Thoroughfare, Mixed Use Collector, or Neighborhood Street then setback areas parallel to street not used for frontage landscaping must provide pedestrian circulation, other publicly accessible open spaces, access to parking, bicycle parking, or other uses that the planning commission deems appropriate. Commercial uses shall be a minimum of 50 feet in depth. Publicly accessible open space is further defined and regulated in Section 16.43.130(4)	See Level 1 Floor Plans, and Landscape Plans	Project Complies
	Surface Parking Along Street Frontage	Permitted if set back appropriately. The maximum percentage of linear frontage of property adjacent to the street allowed to be off-street surface parking: If fronting a Local Street: Maximum of 35% If fronting a Boulevard, Thoroughfare, Mixed Use Collector, or Neighborhood Street then Maximum of 25%.	No surface parking is proposed.	N/A
	Minimum Surface Parking Setback	Minimum dimension property line to surface parking: 20'.	No surface parking is proposed.	N/A
Building Mass and Scale				
16.43.130(2)	Base Height	The maximum height of a building at the minimum setback at street or before the building steps back the minimum horizontal distance required. Properties within the flood zone or subject to flooding and sea level rise are allowed a 10' increase. Base height: 45' + 10' increase = 55'	See Elevations and Diagrams Modification Request 2	Complies with Modification Request.
	Minimum Stepback	The horizontal distance a building's upper story(ies) must be set back above the base height. 10' for a minimum of 75% of the building face along public streets. A maximum of 25% of the building face along public streets may be exceeded.	See Elevations and Diagrams Modification Request 1	Complies with Modification Request.
	Building Projections	The maximum depth of allowable building projections, such as balconies or bay windows, from the required step back for portions of the building above the ground floor: 6'	See Sections and Elevations	Project Complies
	Building Modulations	A break in the building plane from the ground level to the top of the building's base height. Required on facades facing publicly accessible spaces. Parking is not allowed in the recess. One every 200 feet, with a minimum of one per facade	See Plans and Diagrams Modification Request 6	Complies with Modification Request.
Ground Floor Exterior				
16.43.130(3)	Building Entrances	Minimum ratio of entrances to building length along a public street or paseo. One entrance per public street frontage. Entrances at building corner satisfy requirement for both frontages. Stairs must be conveniently located.	See Plans and Diagrams Modification Request 5	Complies with Modification Request.
	Ground Floor Transparency	The minimum percentage of the ground floor facade (finished floor to ceiling) that must provide visible transparency. Windows shall not be opaque or mirrored, 50%	See Elevations	Project Complies
	Minimum Ground Floor Height Along Street Frontage	The minimum height between the ground-level finished floor to the second-level finished floor along the street. 15' minimum	See Sections	Project Complies
	Garage Entrances	Width of garage door entry/door along street frontage. Maximum 12-foot opening for one-way entrance, maximum 24-foot opening for two-way entrance. Garage entrances must be separated by a minimum of 100 feet to ensure all entrances/exits are not grouped together or resulting in an entire stretch of sidewalk unsafe and undesirable for pedestrians.	See Plans	Project Complies
	Awnings, Signs, and Canopies	The maximum depth of awnings, signs, and canopies that project horizontally from the face of the building. Horizontal projections shall not extend into the public right-of-way. A minimum vertical clearance of 8' from finished grade to the bottom of the projection is required. Horizontal projections shall not extend into the public right-of-way. A minimum vertical clearance of 8' from finished grade to the bottom of the projection is required.	See Plans and Elevations	Project Complies
Open Space				
16.43.130(4)	A	(i) Contain site furnishings, art, or landscaping (ii) Be on the ground floor or podium level (iii) Be at least partially visible from a public right-of-way such as a street or paseo (iv) Have a direct, accessible pedestrian connection to a public right-of-way or easement.	See Plans and A9.06	Project Complies
	B	Quasi-public and private open spaces, which may or may not be accessible to the public, include patios, balconies, roof terraces, and courtyards.	See Plans and A9.06	Project Complies
	C	All open spaces shall: (i) Interface with adjacent buildings via direct connections through doors, windows, and entryways (ii) Be integrated as part of building modulation and articulation to enhance building facade and should be sited and designed to be appropriate for the size of the development and accommodate different activities, groups and both active and passive uses; (iii) Incorporate landscaping design that includes: a. Sustainable stormwater features; b. A min. landscaping bed no less than 3' L or W and 5' D for infiltration planting; c. Native species able to grow to their maximum size without shearing.	See Plans and A9.06	Project Complies
	D	All exterior landscaping counts towards open space requirements.	See Plans and A9.06	Project Complies



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 (Portion)
Menlo Park, CA

SCALE:
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DRAWING TITLE:
Zoning Code Compliance

DRAWING NO:
A8.01

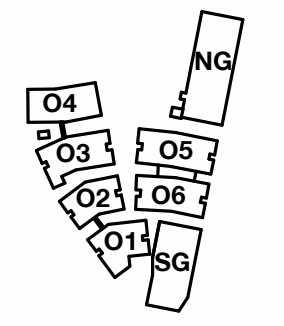
Building Design				
16.43.130(6)	A	Main building entrances shall face the street or a publicly accessible courtyard. Building and/or frontage landscaping shall bring the human scale to the edges of the street. Retail building frontage shall be parallel to the street.	See Level 1 Floor Plans	Project Complies
	B	Utilities, including meters, backflow prevention devices, etc., shall be concealed or integrated into the building design to the extent feasible, as determined by the public works director.	See Level 1 Floor Plans and Elevations	Project Complies
	C	Projects shall include dedicated, screened, and easily accessible space for recycling, compost, and solid waste storage and collection.	All recycling, compost, and waste stored inside buildings and screened from view.	Project Complies
	D	Trash and storage shall be enclosed and attractively screened from public view.	All recycling, compost, and waste stored inside buildings and screened from view.	Project Complies
	E	Materials and colors of utility, trash, and storage enclosures shall match or be compatible with the primary building.	All recycling, compost, and waste stored inside buildings.	Project Complies
	F	Building materials shall be durable and high quality to ensure adaptability and reuse over time. Glass paneling and windows shall be used to invite outdoor views and introduce natural light into interior spaces. Stucco shall not be used on more than fifty percent (50%) of the building facade. When stucco is used, it must be smooth troweled.	See Material Board A7.00 & A7.01 No Stucco Included	Project Complies
	G	Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four (4) foot minimum height modulation to break visual monotony and create a visually interesting skyline as seen from public streets (see Figure 6). The variation of the roofline's horizontal distance should match the required modulations and step backs.	See Plans and Diagrams Modification Request 3	Complies with Modification Request.
	H	Rooftop elements, including stair and elevator towers, shall be concealed in a manner that incorporates building color and architectural and structural design.	See Elevations and Renderings	Project Complies
	I	Roof-mounted equipment shall meet the requirements of section 16.08.095 Section 16.08.095: Mechanical equipment, such as air conditioning equipment, ventilation fans, vents, ducting, or similar equipment, may be placed on the roof of a building, provided, that such equipment shall be screened from view as observed at an eye level horizontal to the top of the roof-mounted equipment, except for the SP-ECR/D district which has unique screening requirements, and all sounds emitted by such equipment shall not exceed fifty (50) decibels at a distance of fifty (50) feet from such equipment.	See Elevations	Project Complies

Access and Parking				
16.43.130(7)	A	Shared entrances to retail and office uses shall be used where possible.	Entries to campus are located adjacent to retail within publicly accessible courtyards.	Project Complies
	B	Service access and loading docks shall be located on local or interior access streets, and to the rear of buildings, and shall not be located along a publicly accessible open space.	See Plans	Project Complies
	C	Aboveground garages shall be screened or located behind buildings that are along public streets.	See Plans and Diagrams Modification Request 4	Complies with Modification Request.
	D	Garage and surface parking access shall be screened or set behind buildings located along a publicly accessible open space or paseo.	See Plans	Project Complies
	E	Surface parking lots shall be buffered from adjacent buildings by a minimum six (6) feet of paved pathway or landscaped area.	No surface parking is proposed.	N/A
	F	Surface parking lots shall be screened with landscaping features such as trees, planters, and vegetation, including a twenty (20) foot deep landscaped area along sidewalks, as measured from the property line or public access easement adjacent to the street or paseos. The portion of this area not devoted to driveways shall be landscaped. Trees shall be planted at a ratio of one (1) per four hundred (400) square feet of required setback area for surface parking.	No surface parking is proposed.	N/A
	G	Surface parking lots shall be planted with at least one tree for every eight parking spaces. See planting diagram.	No surface parking is proposed.	N/A
	H	Surface parking can be located along a paseo for a maximum of 40% of a paseo's length.	No surface parking is proposed.	N/A
	I	Short-term bicycle parking shall be located within 50' of lobby or main entrance. Long-term bicycle parking facilities shall protect against theft and inclement weather, and consist of a fully enclosed, weather-resistant locker with key locking mechanism or an interior locked room or enclosure. Long-term parking shall be provided in locations that are convenient and functional for cyclists. Bicycle parking shall be: i. Consistent with the latest edition of the Association of Pedestrian and Bicycle Professionals Bicycle Parking Guide ii. Designed to accommodate standard 6' bicycles iii. Paved or hardscaped iv. Accessed by an aisle in the front or rear of parked bicycles of at least 5'. v. At least 5' from vehicle parking spaces vi. At least 30" of clearance in all directions from any obstructions vii. Lit with no less than 1 foot candle of illumination at ground level viii. Space efficient bicycle parking such as double decker lift-assist and vertical bicycle racks are also permitted.	See Sheet A9.14	Project Complies
	J	Pedestrian access shall be provided with a minimum hardscape width of 6' from sidewalks to all building entries, parking areas, and publicly accessible open spaces, and shall be clearly marked with signage directing pedestrians to common destinations.		Project Complies
	K	Entries to parking areas and other important destinations shall be clearly identified for all travel modes with such wayfinding features as marked crossings, lighting, and clear signage.		Project Complies

O Green and Sustainable Building				
Requirement	Reference	Standard	Proposal / Notes	Compliance
Green Building	16.43.140(1)A	Green Building: Any new construction, addition or alteration of a building shall be required to comply with Table 16.43.140(1)(B): 100,001 sq. ft. and above must be designed to meet LEED Gold BD+C Required to enroll in EPA Energy Star Building Portfolio Manager and submit documentation of compliance as required by the city. The electric vehicle charging spaces requirements in Section 16.72.010 apply.		Project Complies

Energy	16.43.140(2)A	New construction projects will meet 100% of energy demand (electricity and natural gas) through any combination of the following measures: i. On-site energy generation ii. Purchase of 100% renewable electricity through Peninsula Clean Energy or Pacific Gas and Electric Company in an amount equal to the annual energy demand of the project. iii. Purchase and installation of local renewable energy generation within the city of Menlo Park in an amount equal to the annual energy demand of the project. iv. Purchase of certified renewable energy credits and/or certified renewable energy offsets annually in an amount equal to the annual energy demand of the project. If a local amendment to the California Energy Code is approved by the California Energy Commission (CEC), the following provision becomes mandatory: The project will meet one hundred percent (100%) of energy demand (electricity and natural gas) through a minimum of thirty percent (30%) of the maximum feasible on-site energy generation, as determined by an on-site renewable energy feasibility study and any combination of the measures in subsections (2)(A)(i) to (iv) of this section. The on-site renewable energy feasibility study shall demonstrate the following cases at a minimum: a. Maximum on-site generation potential. b. Solar feasibility for roof and parking areas (excluding roof mounted HVAC equipment). c. Maximum solar generation potential solely on the roof area.		Project Complies	
		16.43.140(3)A	Single pass cooling systems shall be prohibited in all new buildings.	Project Complies	
		16.43.140(3)B	All new buildings shall be built and maintained without the use of well water.	Project Complies	
Water Use Efficiency and Recycled Water	16.43.140(3)C	All buildings 250,000sf or more in gross floor area shall prepare and submit a proposed water budget and accompanying calculations following the methodology approved by the city. The water budget shall account for the potable water demand reduction resulting from the use of an alternative water source for all city approved nonpotable applications. The water budget and calculations shall be reviewed and approved by the city's public works director prior to certification of occupancy and the building owner shall submit compliance data at intervals following occupation.		Project Complies	
		16.43.140(3)D	All buildings shall be dual plumbed for the internal use of recycled water.	Complies	
		16.43.140(3)E	All new buildings 250,000sf or more in gross floor area shall use an alternate water source for all city approved nonpotable applications. An alternative source may include, but is not limited to, treated nonpotable water such as graywater. If the city has not designated a recycled water purveyor and/or municipal recycled water is not available prior to planning project approval, applicants may propose conservation measures to meet the requirements of this section subject to approval of the city council.		Complies
			16.43.140(3)F	Potable water shall not be used for dust control on construction projects.	Project Complies
			16.43.140(3)G	Potable water shall not be used for decorative features unless the water recirculates.	Project Complies
Hazard Mitigation and Sea Level Rise Resiliency	16.43.140(4)A	Per the Willow Village Master plan, minimum first floor finished floor level shall be 15' above sea level, which is consistent with 16.43.140(4)A requirement of 2' above Base Flood Elevation (BFE). Garage entrances will be graded to be above the 11' BFE.		Project Complies	
		16.43.140(4)B	Prior to building permit issuance all new buildings shall pay any required fee or proportionate fair share for the funding of sea level rise projects, if applicable.	Project Complies	
Waste Management	16.45.130(5)A	Applicants shall submit a zero-waste management plan to the city to show how they will reduce, recycle, and compost waste from the demolition, construction, and occupancy phases of the building. For the purposes of this chapter "zero waste" is defined as 90% overall diversion of nonhazardous materials from landfill and incineration wherein discarded materials are reduced, reused, recycled, or composted.		Project Complies	
Bird Friendly Design	16.43.140(6)A	No more than 10% of facade surface area shall have non-bird-friendly glazing.		Project Complies	
		Bird-friendly glazing includes but is not limited to opaque glass, covering the outside surface of the glass with patterns, paneled glass with fenestration, frit, or etching patterns, and external screens over nonreflective glass. Highly reflective glass is not permitted.		Project Complies	
		Occupancy sensors or other switch control devices shall be installed on nonemergency lights and shall be programmed to shut off during nonwork hours and between ten (10) p.m. and sunrise.		Project Complies	
		Placement of buildings shall avoid the potential funneling of flight paths towards a building facade.	Site specific bird safe report will be submitted under separate future cover	Project Complies	
		Glass skyways or walkways, freestanding (see-through) glass walls and handrails, and transparent building corners shall not be allowed.		Project Complies	
		Transparent glass shall not be allowed at the rooflines of buildings, including in conjunction with roof decks, patios and green roofs.		Project Complies	
		Use of rodenticides shall not be allowed.		Project Complies	
		A project may receive a waiver from one (1) or more of the items listed in subsections (6)(A) to (F) of this section, subject to the submittal of a site specific evaluation from a qualified biologist and review and approval by the planning commission. (Ord. 1050 § 8, 2018; Ord. 1024 § 3 (part), 2016)		Project Complies	

General Zoning Requirements				
Requirement	Reference	Standard	Proposal / Notes	Compliance
Solar Access	16.65.010	Neither architectural control nor a building permit shall be granted for the construction of a structure if such construction shall cause said structure to penetrate the solar envelope as established for the parcel on which the structure is located.	Project will comply.	Project Complies
Electric Vehicle Charging Stations	12.18.030	Adopts amended California Green Building Code Section 4.106.4.		
	12.18.110	Number of Required EV Charging Spaces to meet min. 15% of total required parking stalls and install EVSE in 10% of the total required parking stalls, with a min. of 1, in charging space(s).	Project will comply.	Project Complies



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 (Portion)
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SCALE:
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Zoning Code Compliance

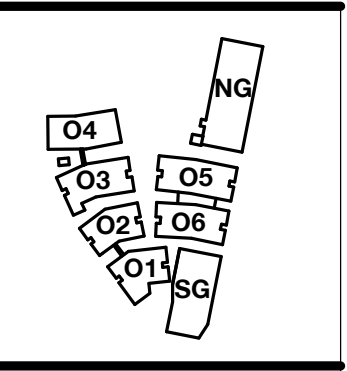
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LEGEND

←····· ACCESSIBLE PATH TO PUBLIC SIDEWALK

True North



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WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
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SCALE: 1" = 80'-0"
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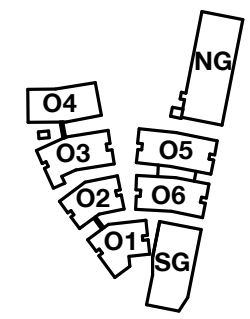
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LEGEND

←····· EXIT PATH OF TRAVEL

True North



PENINSULA INNOVATION PARTNERS

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 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

SCALE: 1" = 80'-0"
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MILESTONES

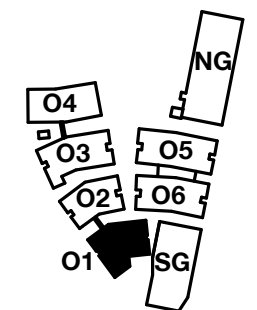
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Exiting Plan

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A9.02



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GROSS FLOOR AREA - O1 INCLUSIONS

Name	Area
LEVEL 1	
OFFICE	39,781 SF
MECH	39,781 SF
LEVEL 2	
OFFICE	34,380 SF
MECH	34,380 SF
LEVEL 3	
OFFICE	31,185 SF
MECH	31,185 SF
LEVEL 4	
OFFICE	27,709 SF
MECH	27,709 SF
INCLUDED IN GFA PER ZONING CODE	133,055 SF

GROSS FLOOR AREA - O1 EXCLUSIONS

Name	Area
LEVEL 1	
MECH	1,372 SF
	1,372 SF
LEVEL 2	
MECH	1,170 SF
VENT SHAFT	232 SF
	1,402 SF
LEVEL 3	
MECH	1,170 SF
VENT SHAFT	232 SF
	1,402 SF
LEVEL 4	
MECH	1,170 SF
VENT SHAFT	232 SF
	1,402 SF
EXCLUDED IN GFA PER ZONING CODE	5,579 SF

GFA BY LAND USE LEGEND

SWATCH	USE
Blue	Office
Orange	Retail
Light Blue	Circulation / Lobby / Common Area
Light Green	Utility / Service
Grey	Excluded from GFA

GROSS FLOOR AREA - TOTAL EXCLUSIONS UNDER 1% AND 3% CALCS

RETAIL MECH - total exclusions in 1% and 3% calcs	1,312 SF
MECH - total exclusions in 1% and 3% calcs	45,665 SF
1% Exemption	9,759 SF
3% Exemption	35,906 SF

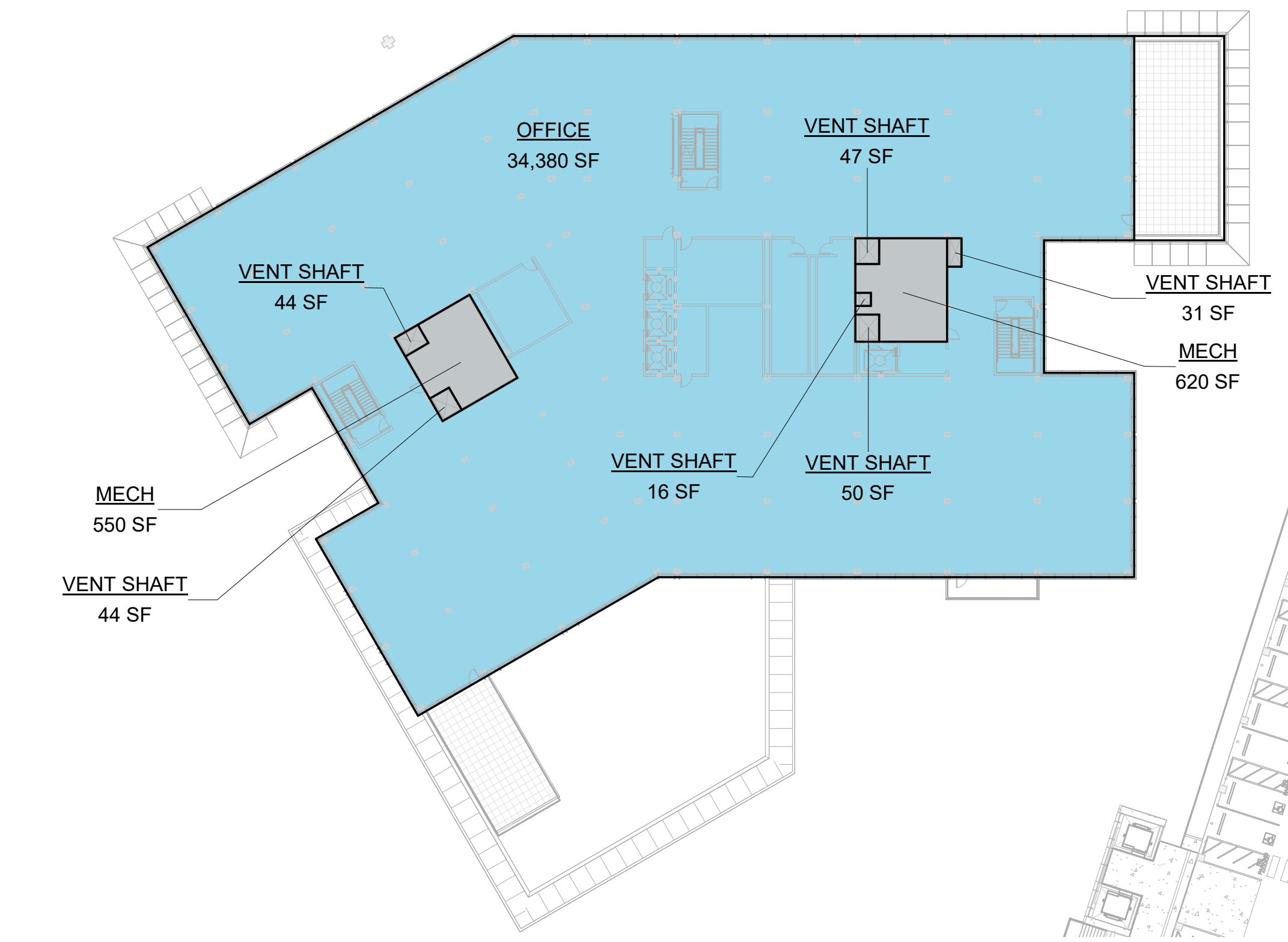
GROSS FLOOR AREA - TOTAL OFFICE CAMPUS

1,126,631 SF

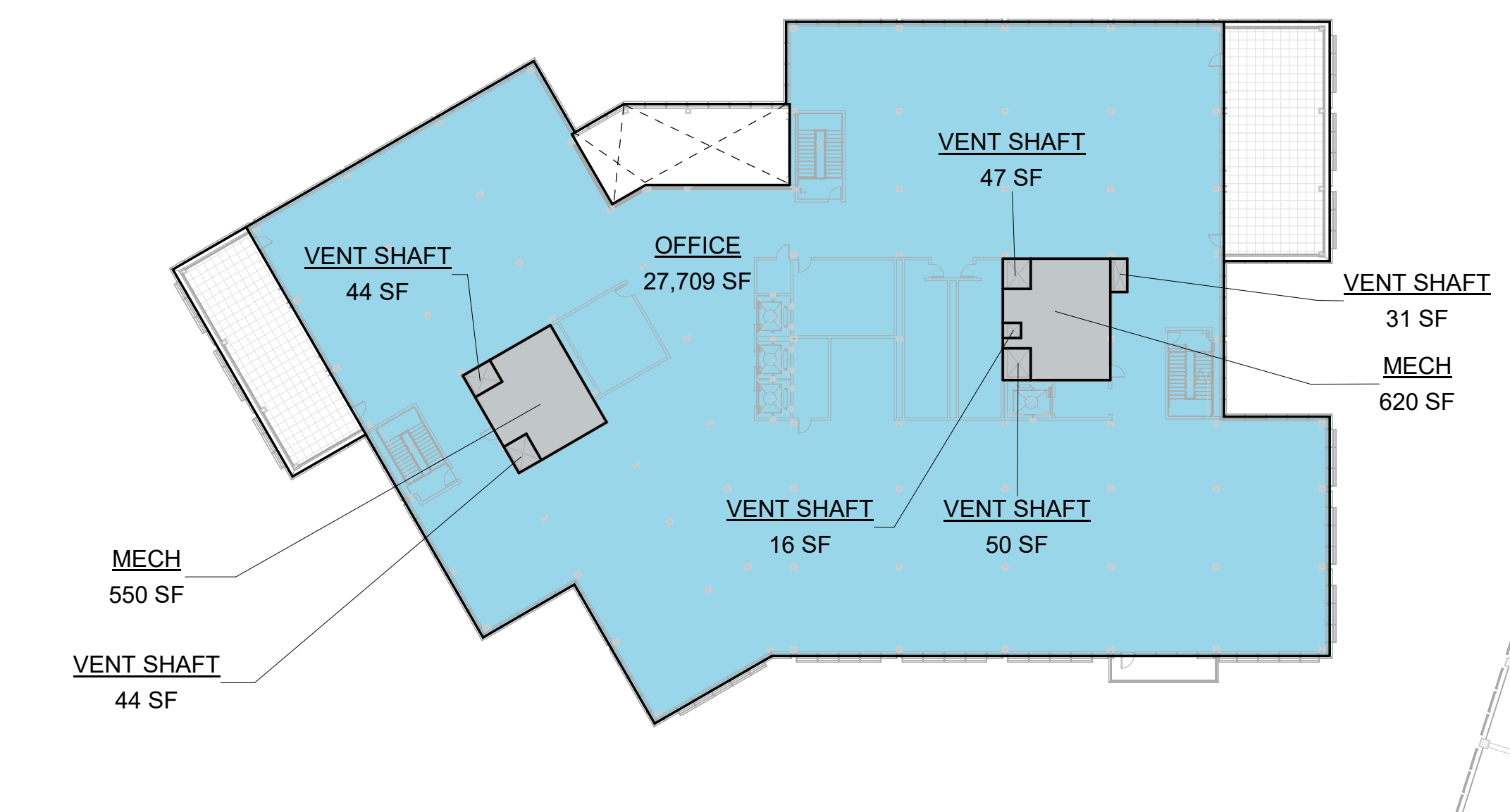
GROSS FLOOR AREA - TOTAL RETAIL

(Retail not counted in Office/Accessory GFA. See Master Plan CDP.)

30,041 SF



2 LEVEL 2 - 01
1/32" = 1'-0"

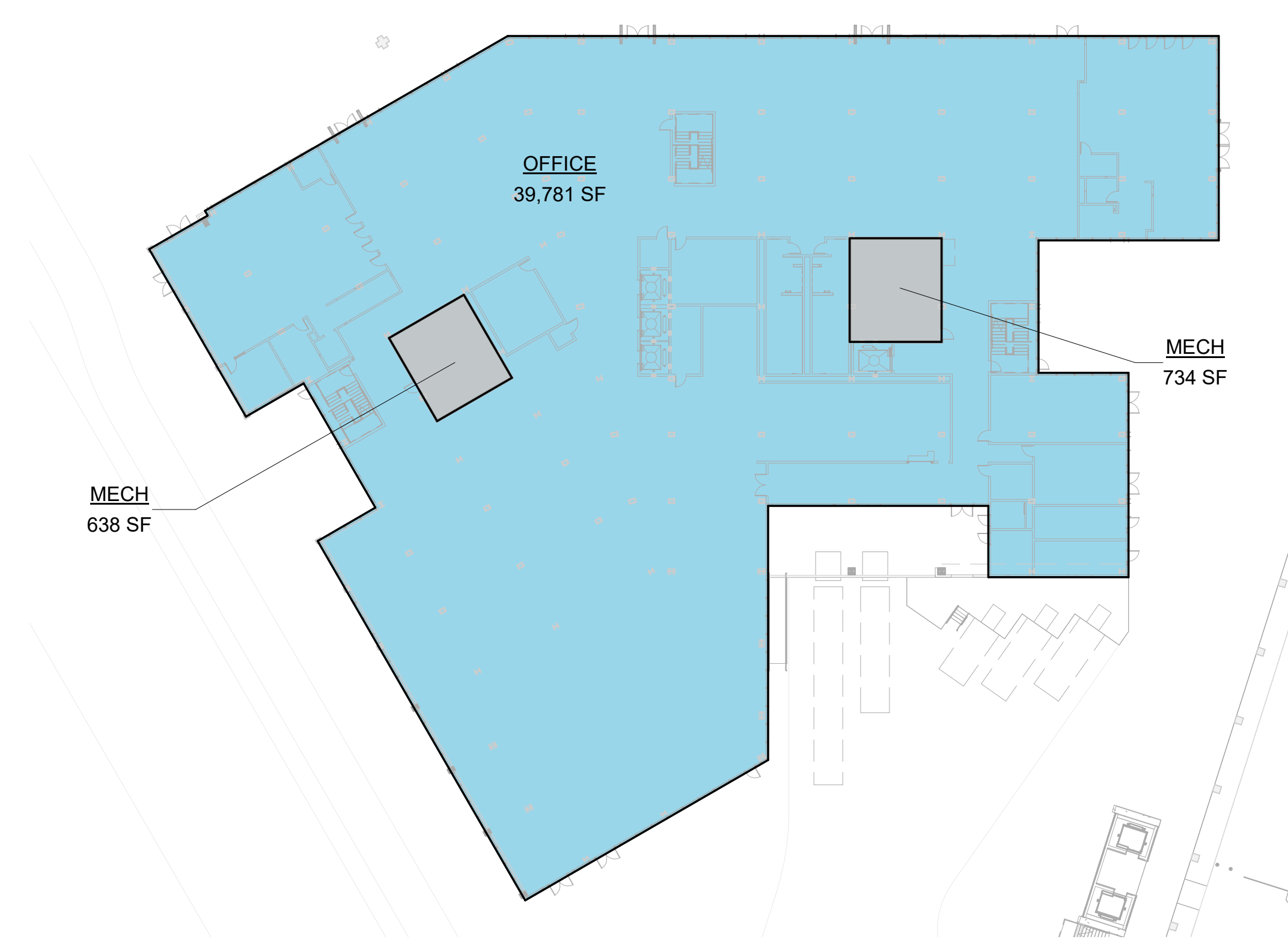


4 LEVEL 4 - 01
1/32" = 1'-0"

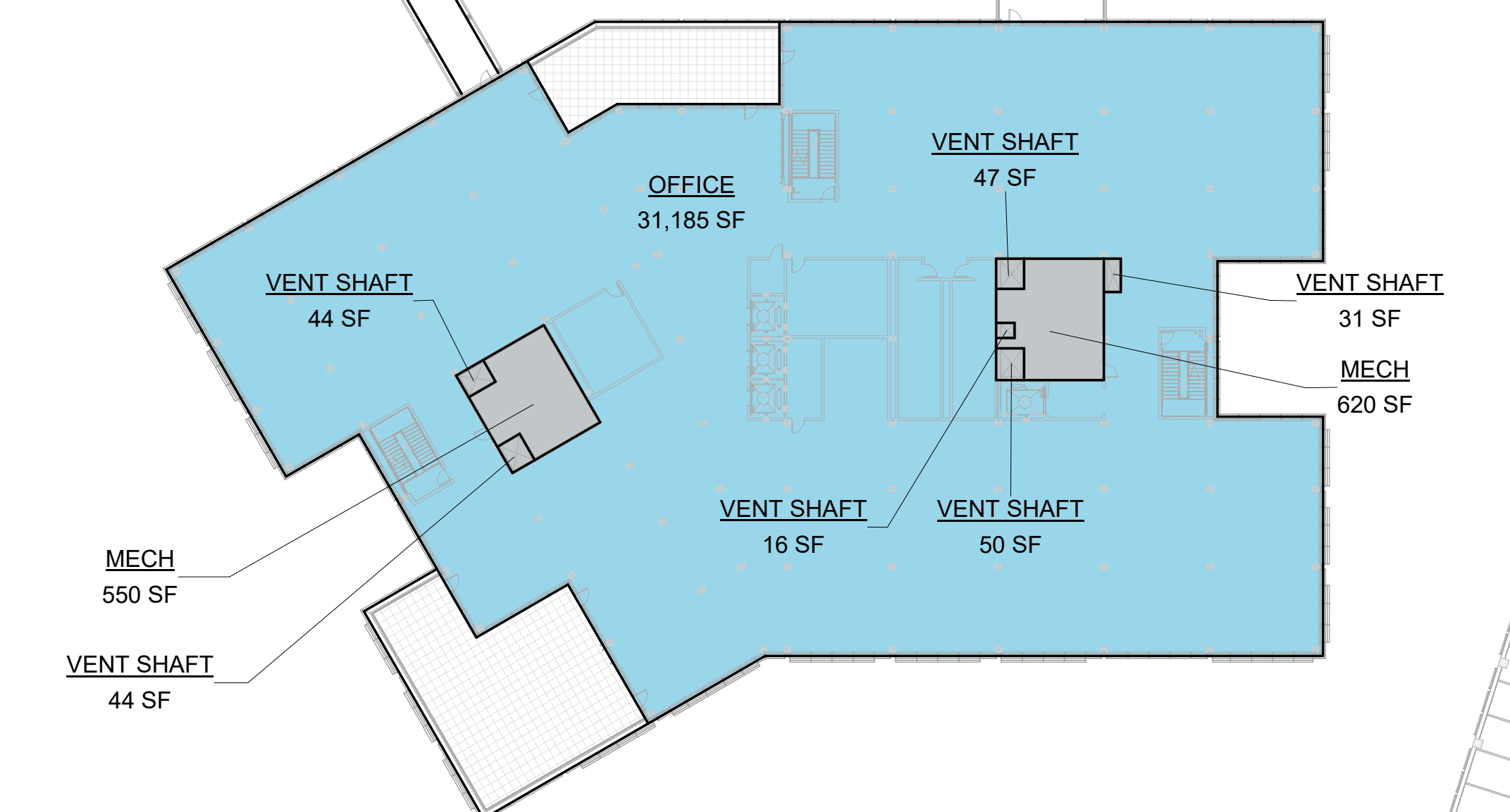
GROSS FLOOR AREA - TOTAL OFFICE CAMPUS SUMMARY

GROSS FLOOR AREA - O1		GROSS FLOOR AREA - O2		GROSS FLOOR AREA - O3		GROSS FLOOR AREA - O4	
Level	Area	Level	Area	Level	Area	Level	Area
LEVEL 1	39,781 SF	LEVEL 1	28,221 SF	LEVEL 1	36,615 SF	LEVEL 1	36,624 SF
LEVEL 2	34,380 SF	LEVEL 2	35,533 SF	LEVEL 2	46,141 SF	LEVEL 2	37,430 SF
LEVEL 3	31,185 SF	LEVEL 3	34,184 SF	LEVEL 3	45,259 SF	LEVEL 3	35,542 SF
LEVEL 4	27,709 SF	LEVEL 4	32,792 SF	LEVEL 4	42,040 SF	LEVEL 4	30,852 SF
TOTAL	133,055 SF	LEVEL 5	28,903 SF	LEVEL 5	38,173 SF	LEVEL 5	28,018 SF
		TOTAL	159,634 SF	TOTAL	208,229 SF	TOTAL	168,466 SF
GROSS FLOOR AREA - O5		GROSS FLOOR AREA - O6		GROSS FLOOR AREA - SG		GROSS FLOOR AREA - NG	
Level	Area	Level	Area	Level	Area	Level	Area
LEVEL 1	50,849 SF	LEVEL 1	46,624 SF	SG LEVEL 1	1,106 SF	NG LEVEL 1	3,570 SF
LEVEL 2	48,968 SF	LEVEL 2	44,696 SF	TOTAL	1,106 SF	TOTAL	3,570 SF
LEVEL 3	49,270 SF	LEVEL 3	44,008 SF				
LEVEL 4	45,039 SF	LEVEL 4	40,921 SF				
LEVEL 5	42,205 SF	LEVEL 5	38,087 SF				
TOTAL	236,331 SF	TOTAL	214,336 SF				
GROSS FLOOR AREA - PAVILION							
Level	Area						
LEVEL 1	1,905 SF						
TOTAL	1,905 SF						

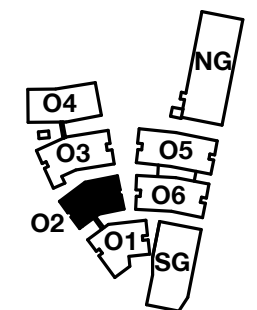
Space designated for Office use may include amenity uses, as defined in CDP Condition 3.1.4.1. Office uses and Accessory uses (as defined in CDP Condition 3.1.4.1) each can be located anywhere within the Campus District; space designated for Office use can be located in the MCS; and space designated for Accessory use can be located in the portions of the Campus District outside of the MCS.



1 LEVEL 1 - 01
1/32" = 1'-0"



3 LEVEL 3 - 01
1/32" = 1'-0"



SCALE: As indicated
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. FOR USER CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES

DATE	ISSUE
03/10/2023	ACP

REVISIONS

NO.	DATE	ISSUE

GROSS FLOOR AREA - O2 INCLUSIONS	
Name	Area
LEVEL 1 OFFICE	28,221 SF
LEVEL 2 OFFICE	28,221 SF
LEVEL 3 OFFICE	35,533 SF
LEVEL 4 OFFICE	34,184 SF
LEVEL 5 OFFICE	32,792 SF
OFFICE	28,903 SF
OFFICE	28,903 SF
INCLUDED IN GFA PER ZONING CODE	159,634 SF

GROSS FLOOR AREA - O2 EXCLUSIONS	
Name	Area
LEVEL 1 MECH	1,412 SF
TRASH	938 SF
TRASH	2,350 SF
LEVEL 2 MECH	1,170 SF
VENT SHAFT	294 SF
VENT SHAFT	1,464 SF
LEVEL 3 MECH	1,170 SF
VENT SHAFT	294 SF
VENT SHAFT	1,464 SF
LEVEL 4 MECH	1,170 SF
VENT SHAFT	294 SF
VENT SHAFT	1,464 SF
LEVEL 5 MECH	1,170 SF
VENT SHAFT	294 SF
VENT SHAFT	1,464 SF
EXCLUDED FROM GFA PER ZONING CODE	8,208 SF

GROSS FLOOR AREA - O2 RETAIL INCLUSIONS*	
Name	Area
LEVEL 1 RETAIL	6,679 SF
RETAIL	6,679 SF
RETAIL	6,679 SF
INCLUDED IN GFA PER ZONING CODE	6,679 SF

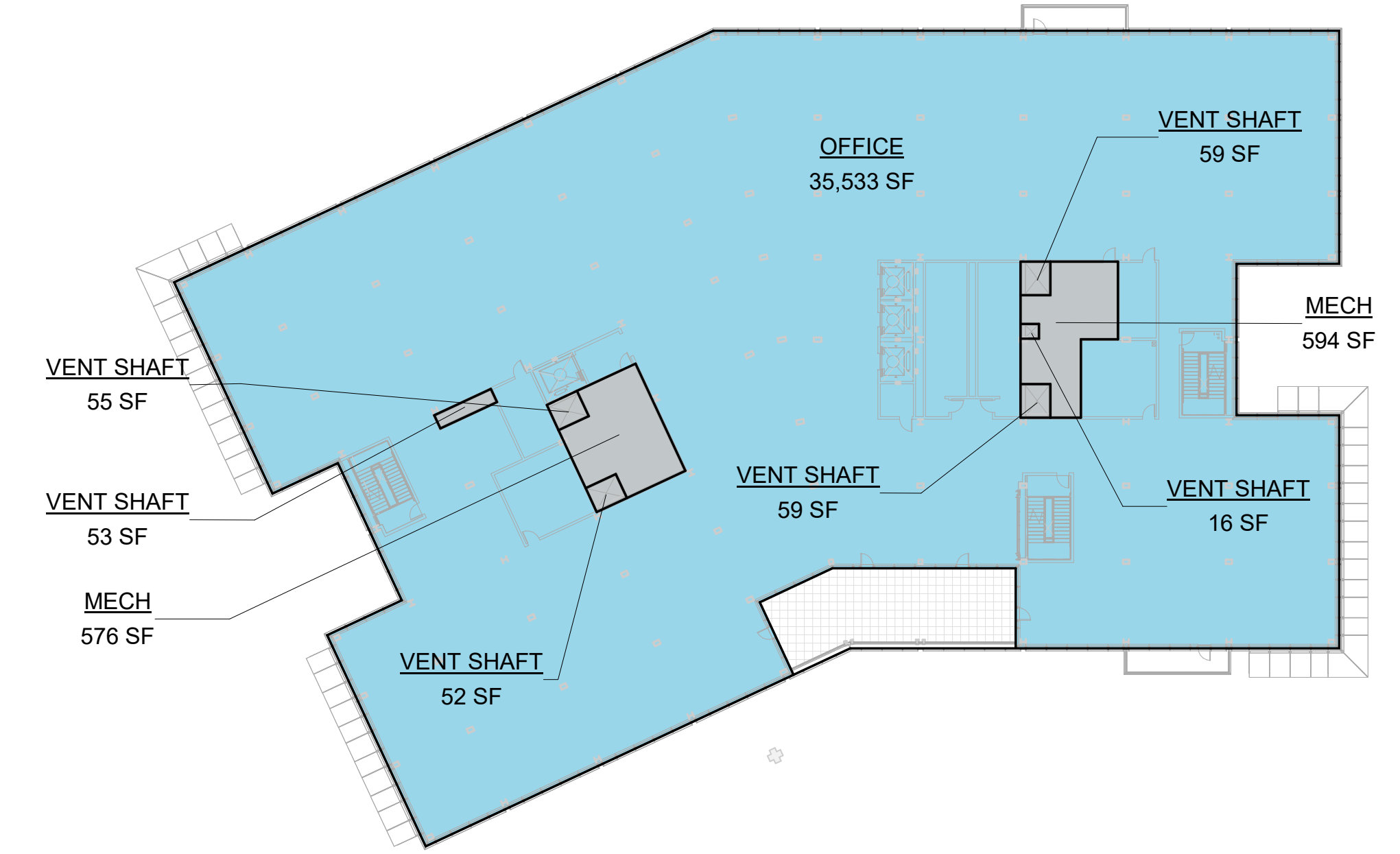
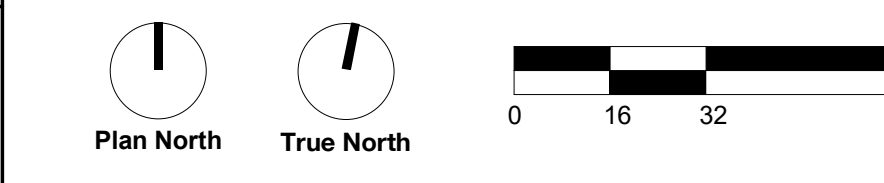
GROSS FLOOR AREA - O2 RETAIL EXCLUSIONS*	
Name	Area
LEVEL 1 RETAIL TRASH	327 SF
RETAIL TRASH	327 SF
RETAIL TRASH	327 SF
EXCLUDED FROM GFA PER ZONING CODE	327 SF

GFA BY LAND USE LEGEND	
SWATCH	USE
[Blue]	Office
[Red]	Retail
[Grey]	Circulation / Lobby / Common Area
[Light Blue]	Utility / Service
[White]	Excluded from GFA

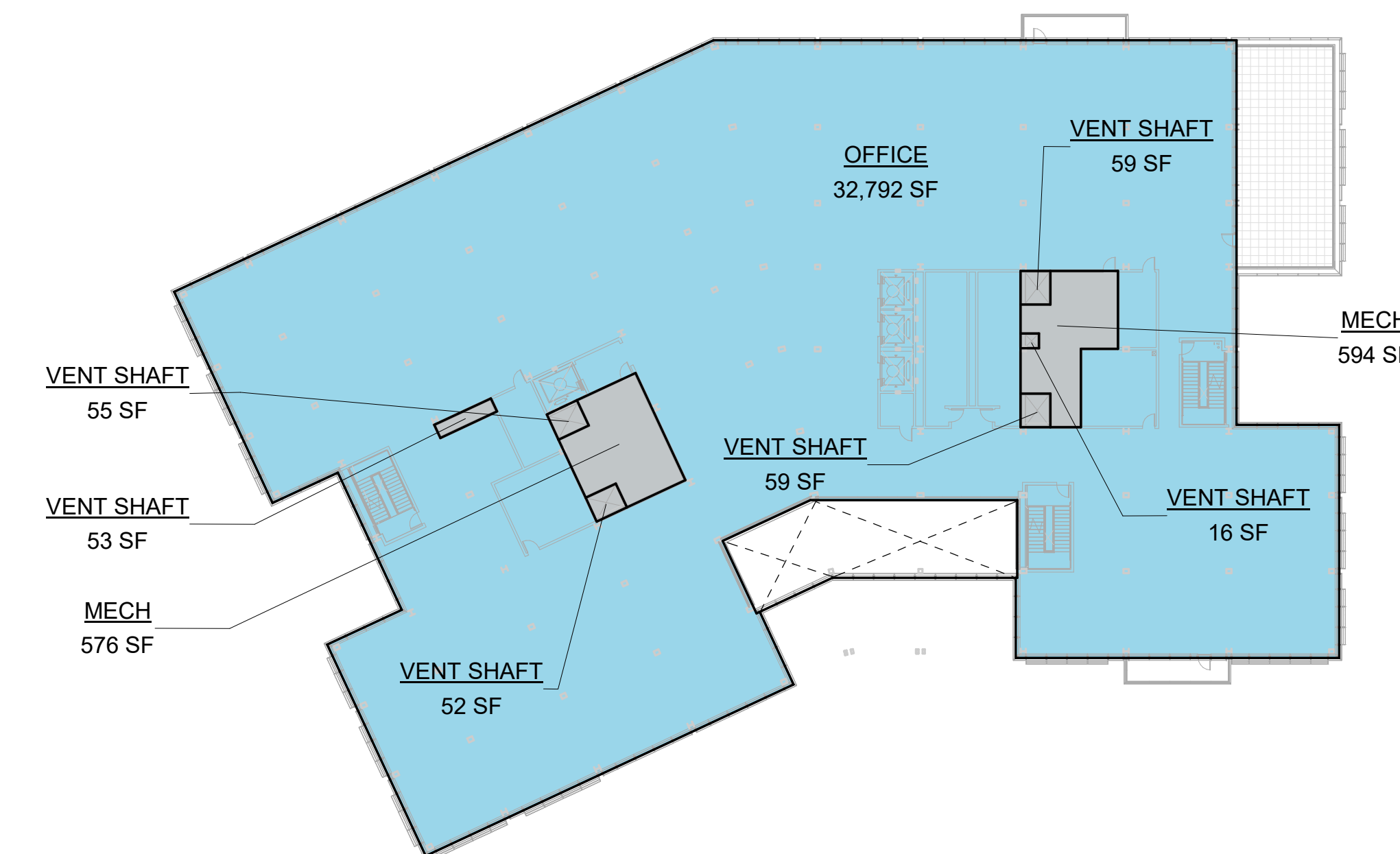
GROSS FLOOR AREA - TOTAL EXCLUSIONS UNDER 1% AND 3% CALCS	
RETAIL MECH - total exclusions in 1% and 3% calcs	1,312 SF
MECH - total exclusions in 1% and 3% calcs	45,665 SF
1% Exemption	9,759 SF
3% Exemption	35,906 SF

GROSS FLOOR AREA - TOTAL OFFICE CAMPUS	
1,126,631 SF	

GROSS FLOOR AREA - TOTAL RETAIL (Retail not counted in Office/Accessory GFA. See Master Plan CDP.)	
30,041 SF	



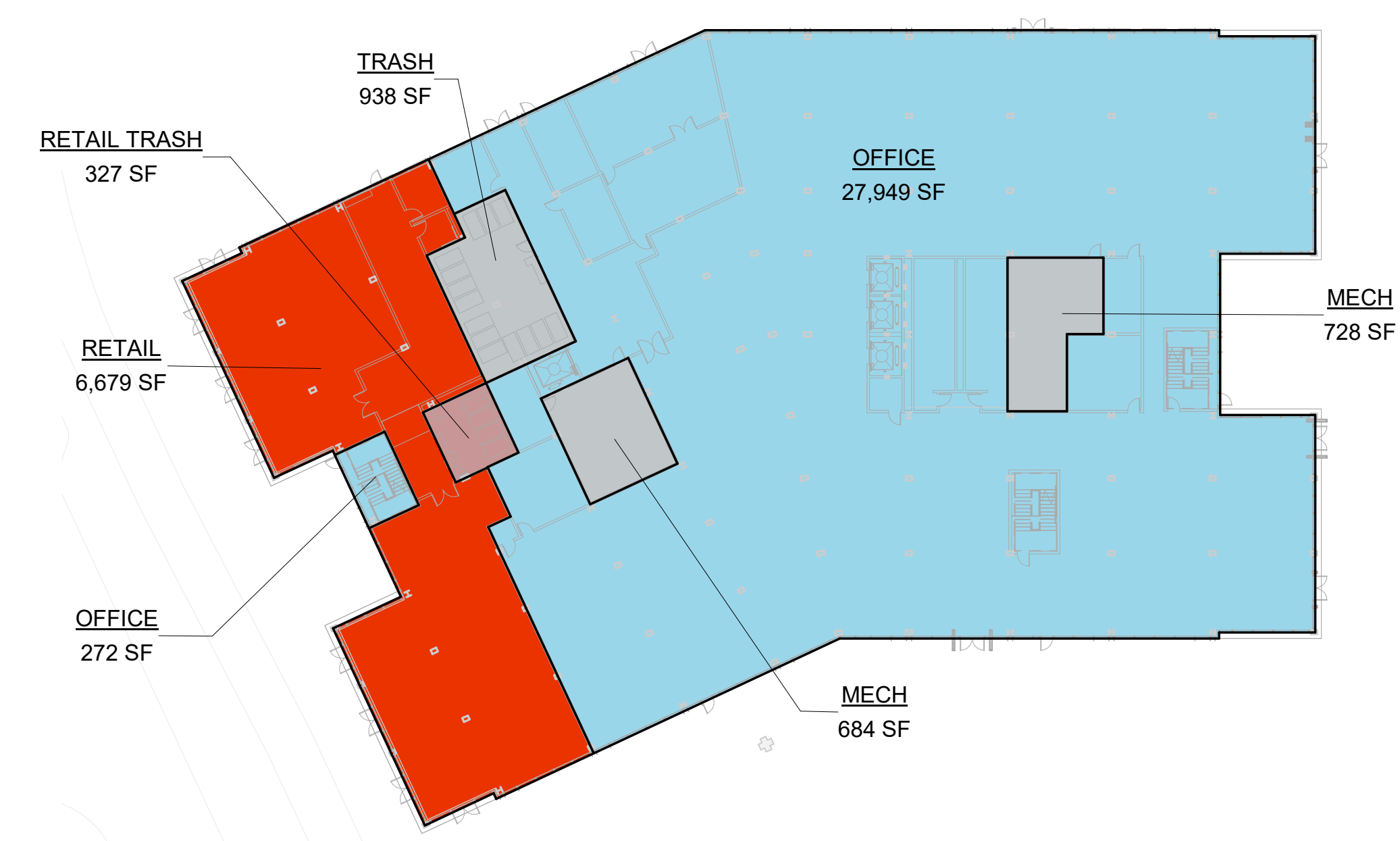
2 LEVEL 2 - O2
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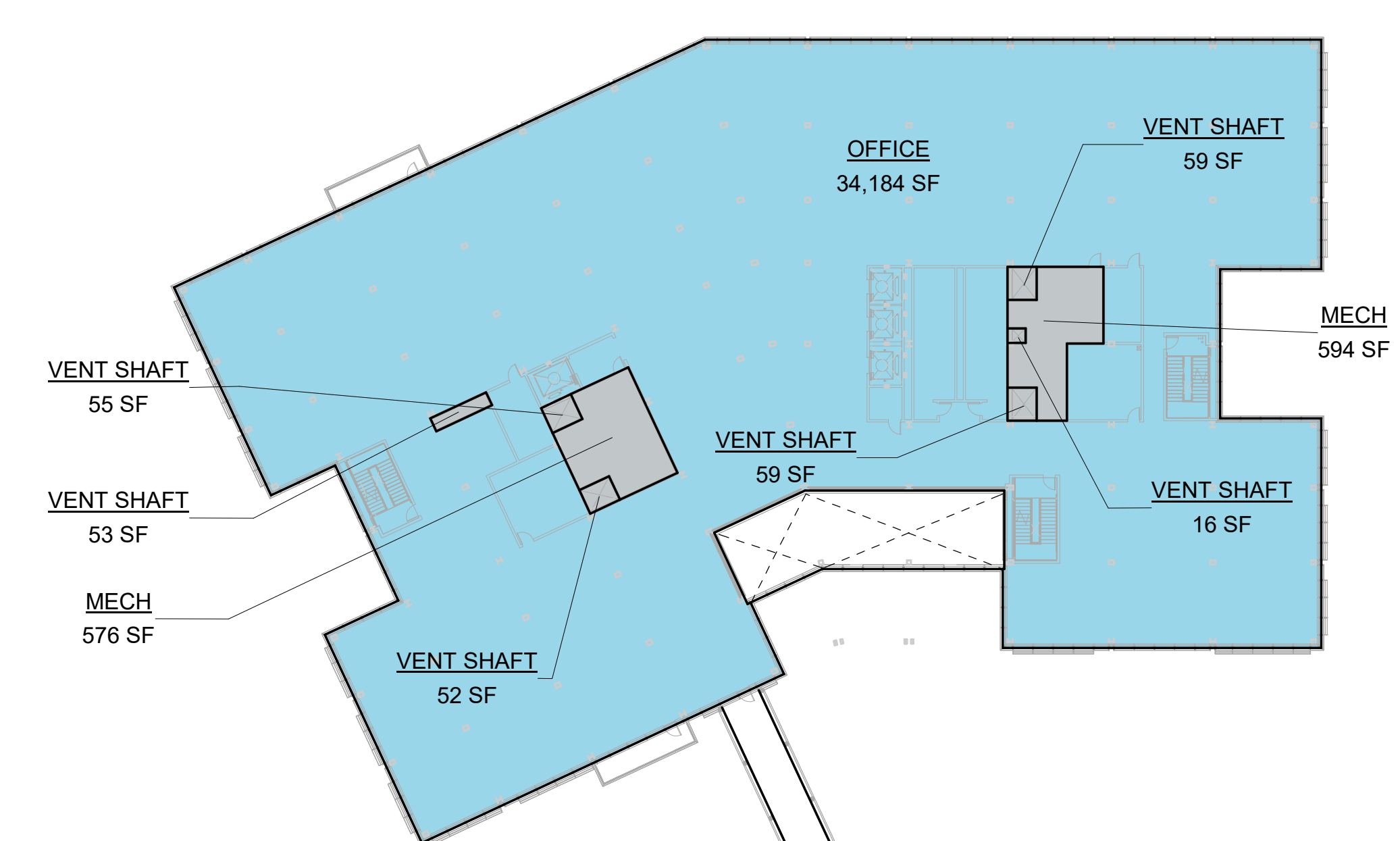
4 LEVEL 4 - O2
1/32" = 1'-0"

GROSS FLOOR AREA - TOTAL OFFICE CAMPUS SUMMARY							
GROSS FLOOR AREA - O1		GROSS FLOOR AREA - O2		GROSS FLOOR AREA - O3		GROSS FLOOR AREA - O4	
Level	Area	Level	Area	Level	Area	Level	Area
LEVEL 1	39,781 SF	LEVEL 1	28,221 SF	LEVEL 1	36,615 SF	LEVEL 1	36,624 SF
LEVEL 2	34,380 SF	LEVEL 2	35,533 SF	LEVEL 2	46,141 SF	LEVEL 2	37,430 SF
LEVEL 3	31,185 SF	LEVEL 3	34,184 SF	LEVEL 3	45,259 SF	LEVEL 3	35,542 SF
LEVEL 4	27,709 SF	LEVEL 4	32,792 SF	LEVEL 4	42,040 SF	LEVEL 4	30,852 SF
TOTAL	133,055 SF	LEVEL 5	28,903 SF	LEVEL 5	38,173 SF	LEVEL 5	28,018 SF
		TOTAL	159,634 SF	TOTAL	208,229 SF	TOTAL	168,466 SF
GROSS FLOOR AREA - O5		GROSS FLOOR AREA - O6		GROSS FLOOR AREA - SG		GROSS FLOOR AREA - NG	
Level	Area	Level	Area	Level	Area	Level	Area
LEVEL 1	50,849 SF	LEVEL 1	46,624 SF	SG LEVEL 1	1,106 SF	NG LEVEL 1	3,570 SF
LEVEL 2	48,968 SF	LEVEL 2	44,696 SF	TOTAL	1,106 SF	TOTAL	3,570 SF
LEVEL 3	49,270 SF	LEVEL 3	44,008 SF				
LEVEL 4	45,039 SF	LEVEL 4	40,921 SF				
LEVEL 5	42,205 SF	LEVEL 5	38,087 SF				
TOTAL	236,331 SF	TOTAL	214,336 SF				
GROSS FLOOR AREA - PAVILION							
Level	Area						
LEVEL 1	1,905 SF						
TOTAL	1,905 SF						

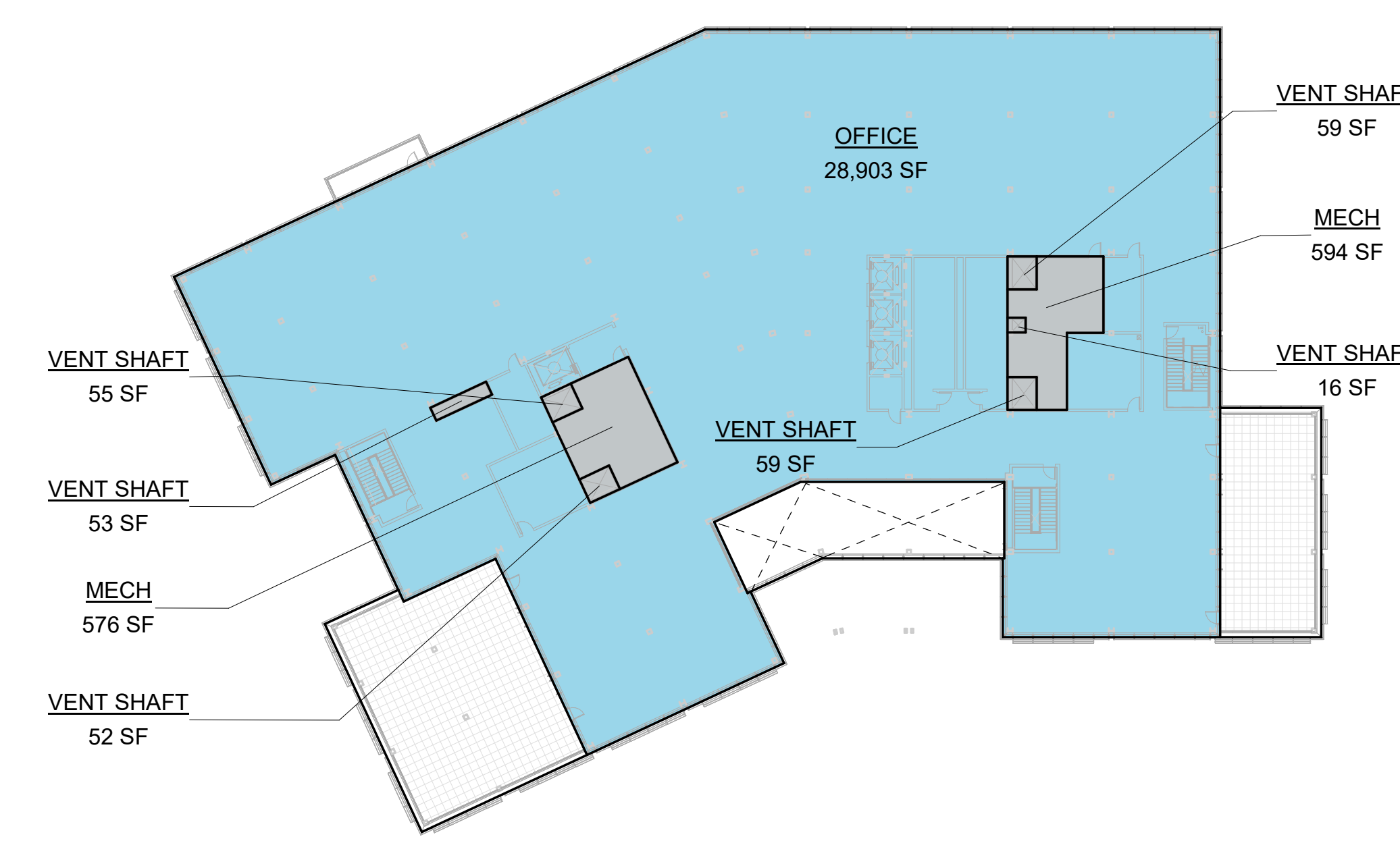
Space designated for Office use may include amenity uses, as defined in CDP Condition 3.1.4.1. Office uses and Accessory uses (as defined in CDP Condition 3.1.4.1) each can be located anywhere within the Campus District; space designated for Office use can be located in the MCS; and space designated for Accessory use can be located in the portions of the Campus District outside of the MCS.



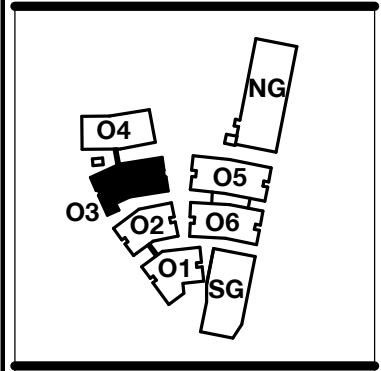
1 LEVEL 1 - O2
1/32" = 1'-0"



3 LEVEL 3 - O2
1/32" = 1'-0"



5 LEVEL 5 - O2
1/32" = 1'-0"



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

SCALE: As indicated
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FEET DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
Square Footage Plan - Building 03

DRAWING NO:
A9.04.3

GROSS FLOOR AREA - O3 INCLUSIONS	
Name	Area
LEVEL 1 OFFICE	36,615 SF
LEVEL 2 OFFICE	36,615 SF
LEVEL 3 OFFICE	46,141 SF
LEVEL 4 OFFICE	45,259 SF
LEVEL 5 OFFICE	42,040 SF
LEVEL 5 OFFICE	38,173 SF
INCLUDED IN GFA PER ZONING CODE	208,229 SF

GROSS FLOOR AREA - O3 EXCLUSIONS	
Name	Area
LEVEL 1 MECH	1,592 SF
LEVEL 1 TRASH	959 SF
LEVEL 2 MECH	2,552 SF
LEVEL 2 MECH	1,378 SF
LEVEL 2 VENT SHAFT	283 SF
LEVEL 3 MECH	1,661 SF
LEVEL 4 MECH	1,378 SF
LEVEL 4 VENT SHAFT	283 SF
LEVEL 5 MECH	1,661 SF
LEVEL 5 MECH	1,378 SF
LEVEL 5 VENT SHAFT	283 SF
EXCLUDED IN GFA PER ZONING CODE	9,197 SF

GROSS FLOOR AREA - O3 RETAIL INCLUSIONS*	
Name	Area
LEVEL 1 RETAIL	8,555 SF
INCLUDED IN GFA PER ZONING CODE	8,555 SF

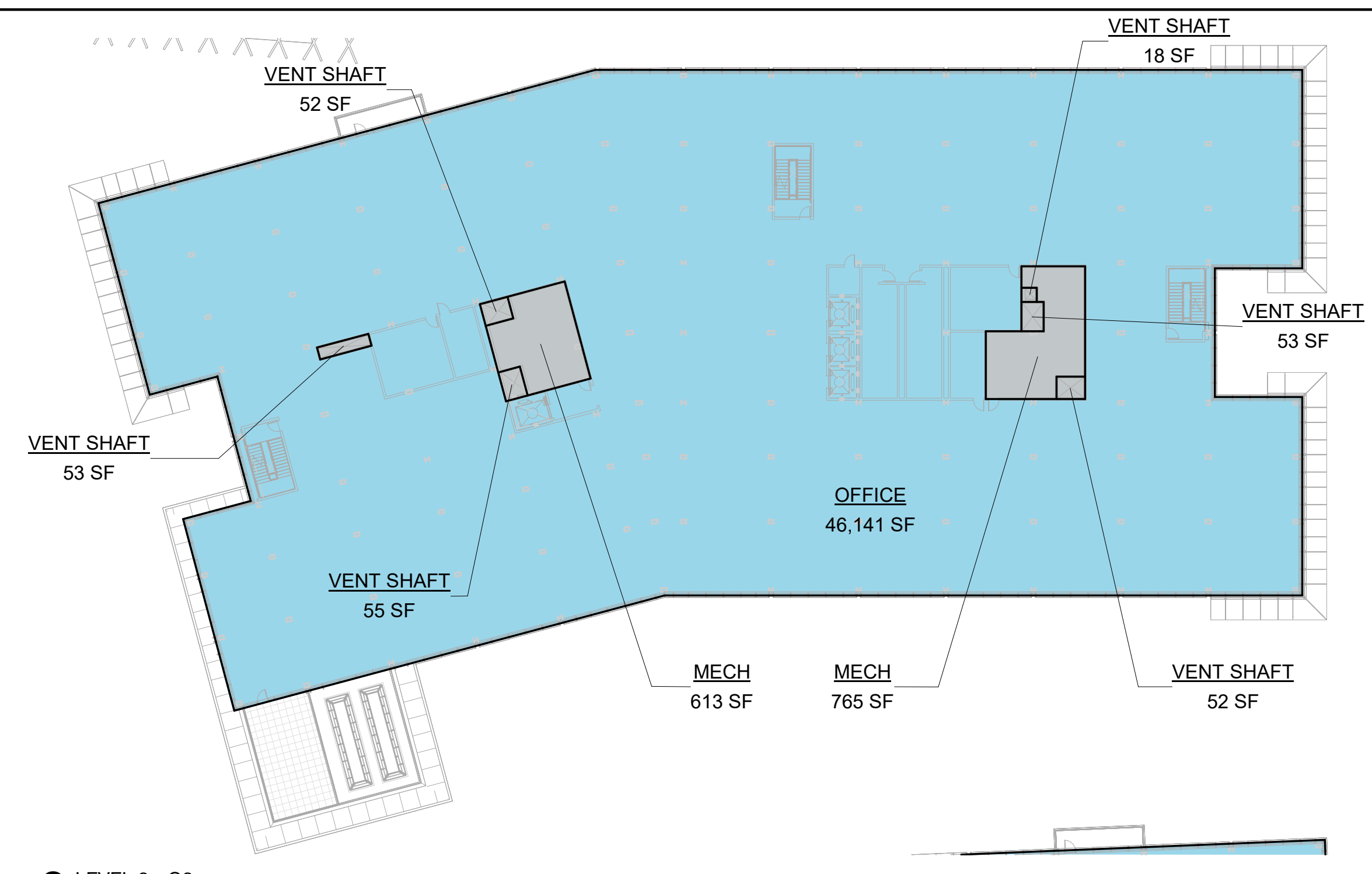
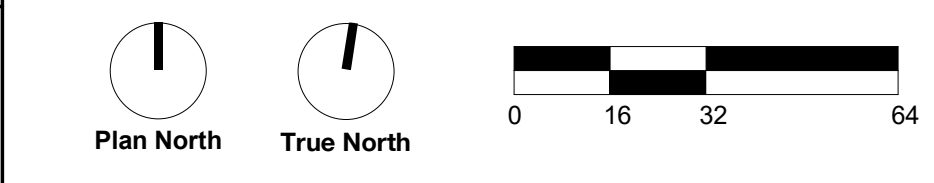
GROSS FLOOR AREA - O3 RETAIL EXCLUSIONS*	
Name	Area
LEVEL 1 RETAIL TRASH	477 SF
EXCLUDED FROM GFA PER ZONING CODE	477 SF

GFA BY LAND USE LEGEND	
SWATCH	USE
	Office
	Retail
	Circulation / Lobby / Common Area
	Utility / Service
	Excluded from GFA

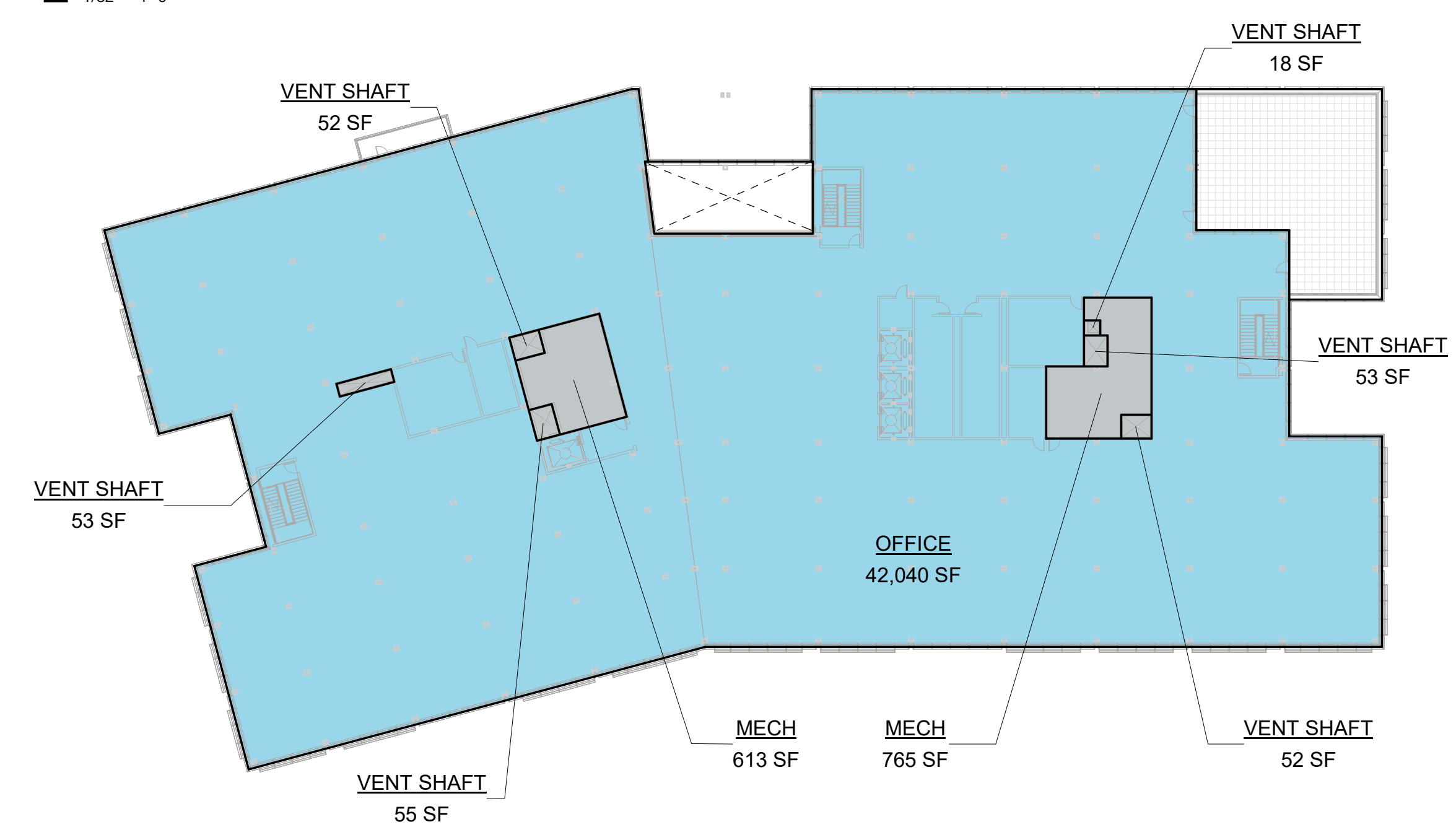
GROSS FLOOR AREA - TOTAL EXCLUSIONS UNDER 1% AND 3% CALCS	
RETAIL MECH - total exclusions in 1% and 3% calcs	1,312 SF
MECH - total exclusions in 1% and 3% calcs	45,665 SF
1% Exemption	9,759 SF
3% Exemption	35,906 SF

GROSS FLOOR AREA - TOTAL OFFICE CAMPUS	
1,126,631 SF	

GROSS FLOOR AREA - TOTAL RETAIL (Retail not counted in Office/Accessory GFA. See Master Plan CDP.)	
30,041 SF	



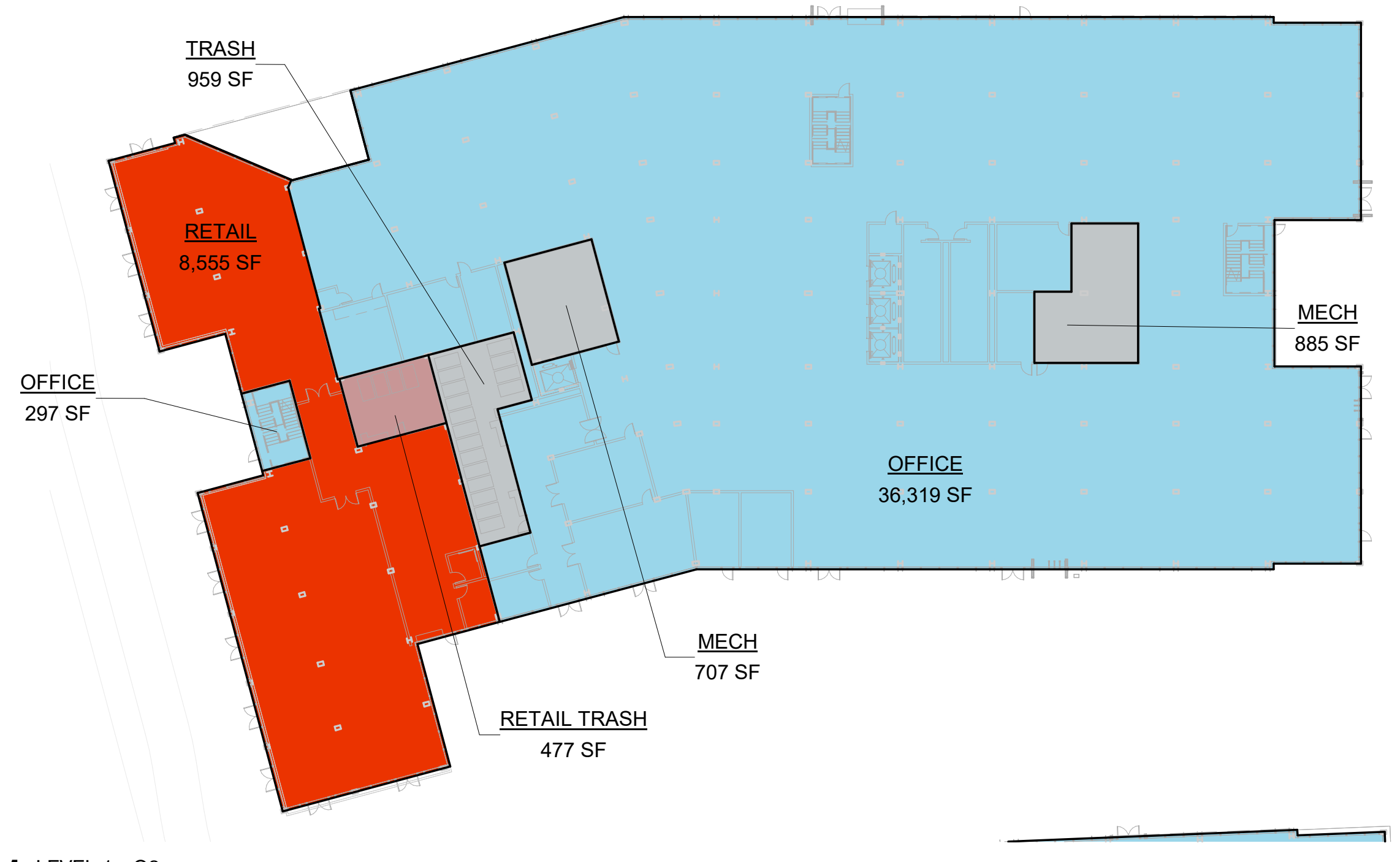
2 LEVEL 2 - O3
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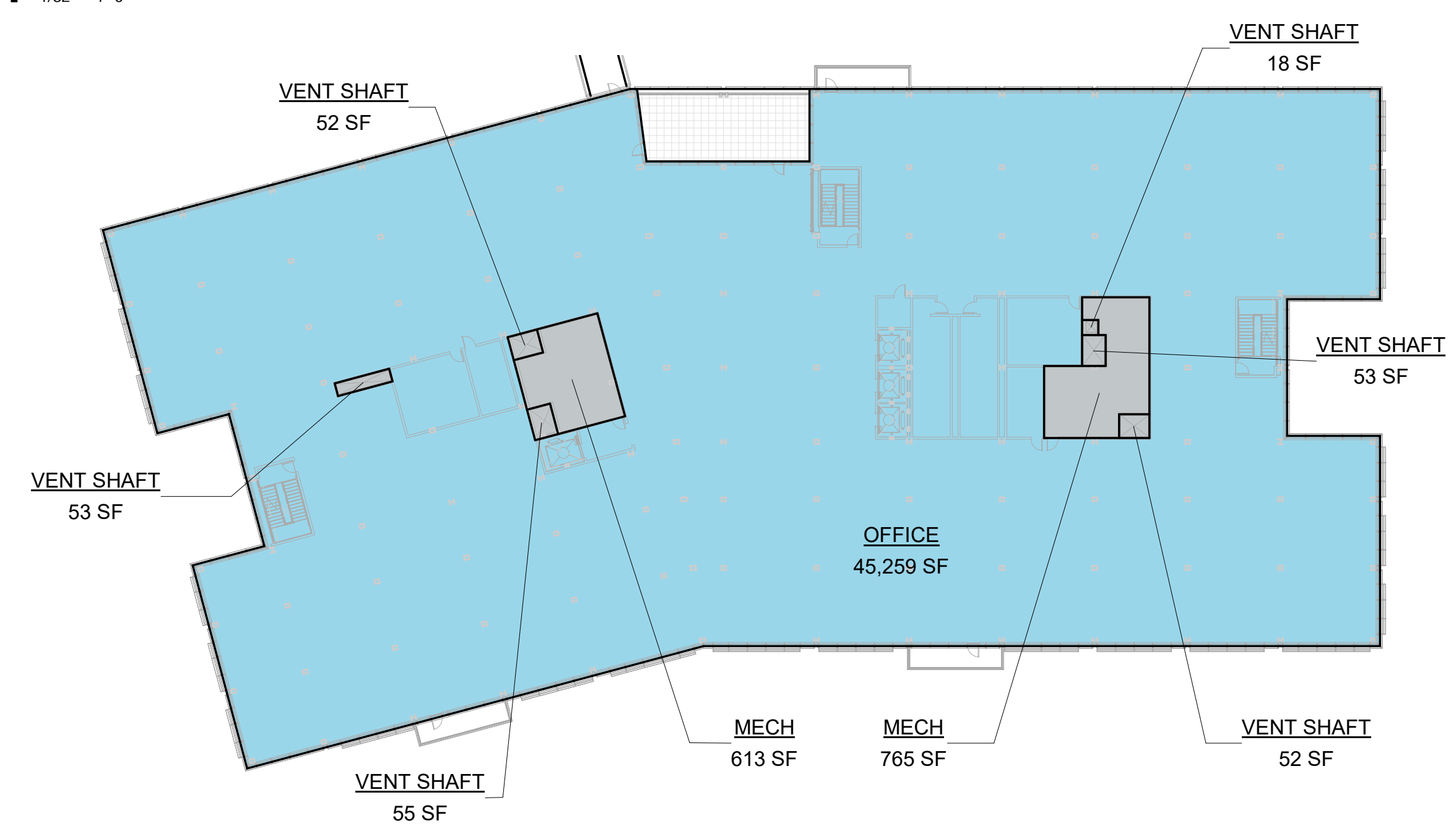
4 LEVEL 4 - O3
 1/32" = 1'-0"

GROSS FLOOR AREA - TOTAL OFFICE CAMPUS SUMMARY							
GROSS FLOOR AREA - O1		GROSS FLOOR AREA - O2		GROSS FLOOR AREA - O3		GROSS FLOOR AREA - O4	
Level	Area	Level	Area	Level	Area	Level	Area
LEVEL 1	39,781 SF	LEVEL 1	28,221 SF	LEVEL 1	36,615 SF	LEVEL 1	36,624 SF
LEVEL 2	34,380 SF	LEVEL 2	35,533 SF	LEVEL 2	46,141 SF	LEVEL 2	37,430 SF
LEVEL 3	31,185 SF	LEVEL 3	34,184 SF	LEVEL 3	45,259 SF	LEVEL 3	35,542 SF
LEVEL 4	27,709 SF	LEVEL 4	32,792 SF	LEVEL 4	42,040 SF	LEVEL 4	30,852 SF
TOTAL	133,055 SF	LEVEL 5	28,903 SF	LEVEL 5	38,173 SF	LEVEL 5	28,018 SF
		TOTAL	159,634 SF	TOTAL	208,229 SF	TOTAL	168,466 SF
GROSS FLOOR AREA - O5		GROSS FLOOR AREA - O6		GROSS FLOOR AREA - SG		GROSS FLOOR AREA - NG	
Level	Area	Level	Area	Level	Area	Level	Area
LEVEL 1	50,849 SF	LEVEL 1	46,624 SF	SG LEVEL 1	1,106 SF	NG LEVEL 1	3,570 SF
LEVEL 2	48,968 SF	LEVEL 2	44,696 SF	TOTAL	1,106 SF	TOTAL	3,570 SF
LEVEL 3	49,270 SF	LEVEL 3	44,008 SF				
LEVEL 4	45,039 SF	LEVEL 4	40,921 SF				
LEVEL 5	42,205 SF	LEVEL 5	38,087 SF				
TOTAL	236,331 SF	TOTAL	214,336 SF				
GROSS FLOOR AREA - PAVILION							
Level	Area						
LEVEL 1	1,905 SF						
TOTAL	1,905 SF						

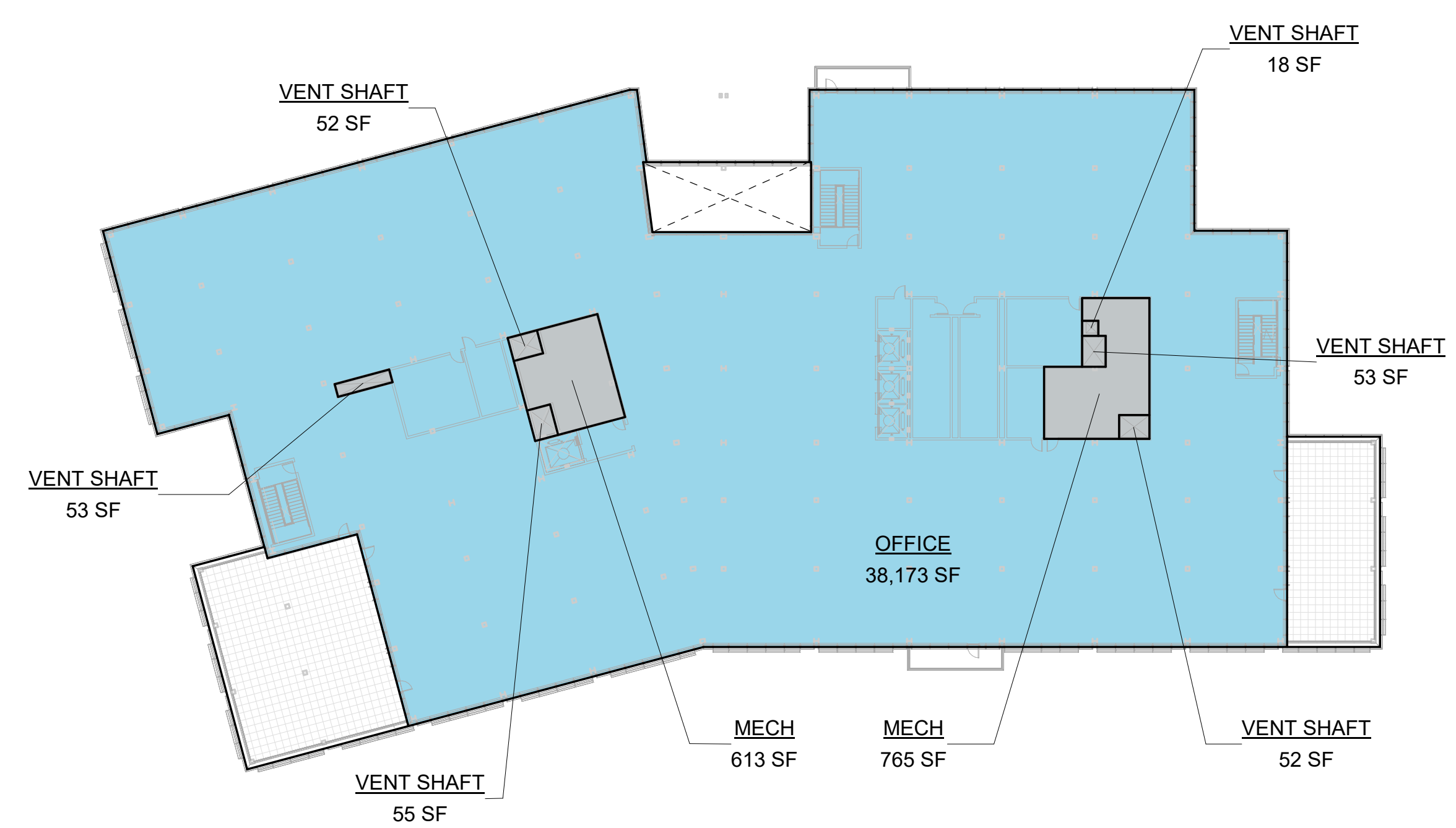
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1 LEVEL 1 - O3
 1/32" = 1'-0"

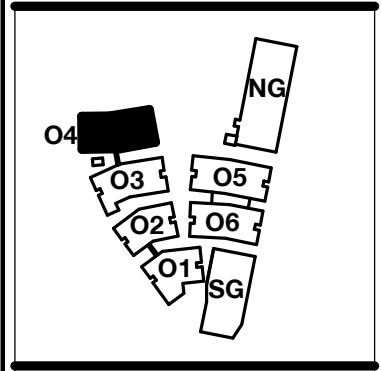


3 LEVEL 3 - O3
 1/32" = 1'-0"



5 LEVEL 5 - O3
 1/32" = 1'-0"

3/9/2023 2:38:40 PM



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

SCALE: As indicated
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES

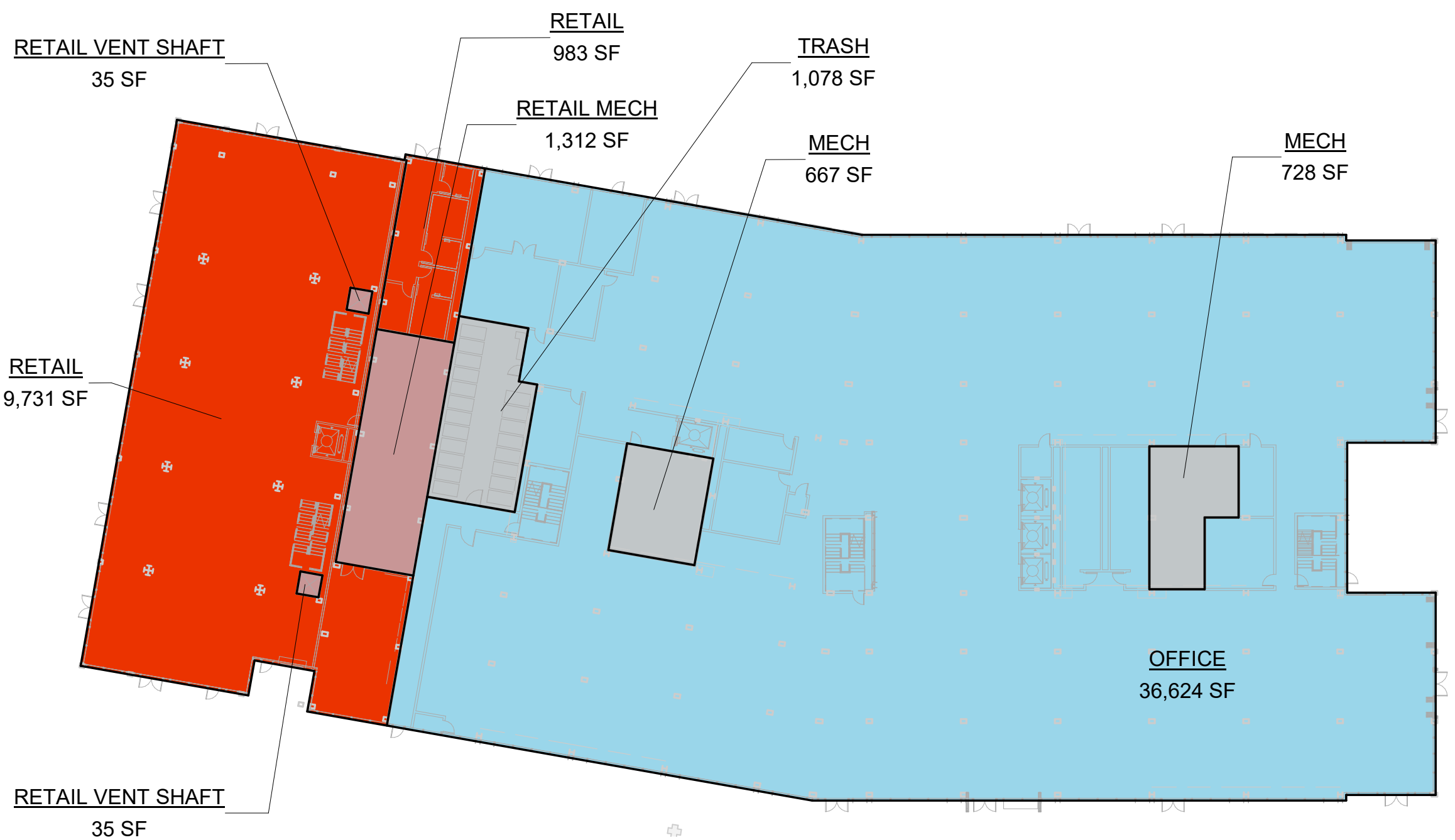
DATE	ISSUE
03/10/2023	ACP

REVISIONS

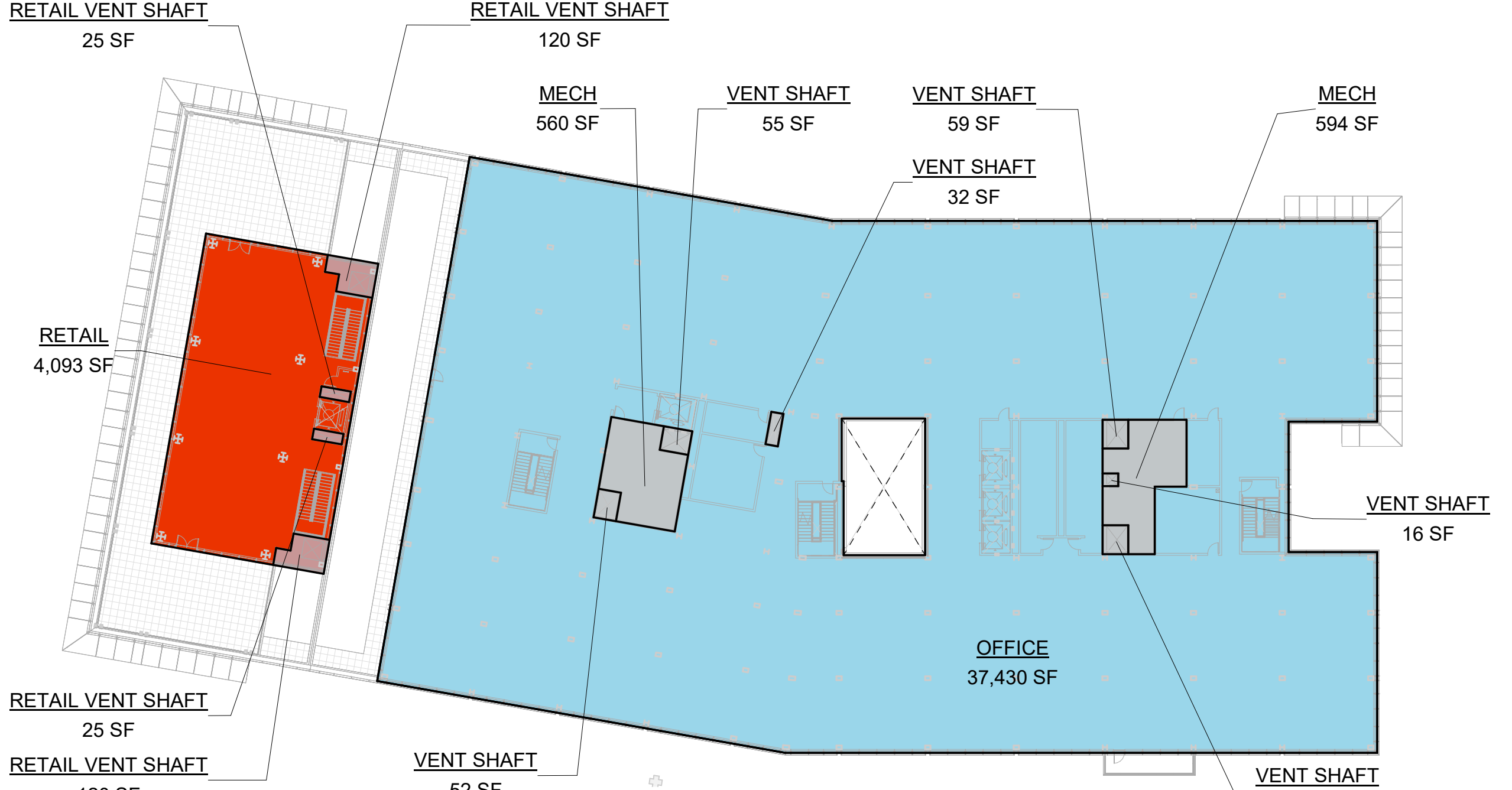
NO.	DATE	ISSUE

DRAWING TITLE:
Square Footage Plan - Building 04

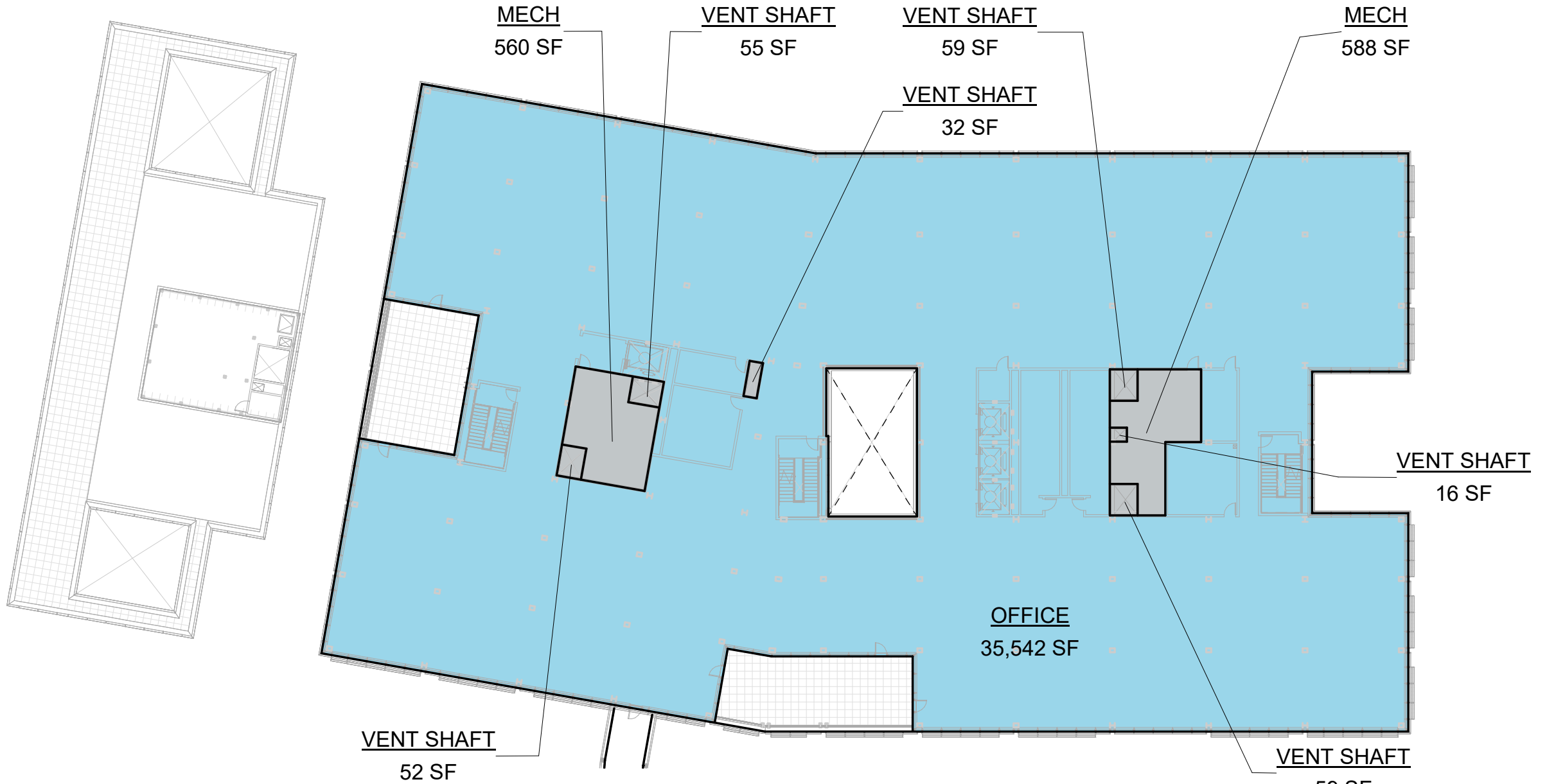
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A9.04.4



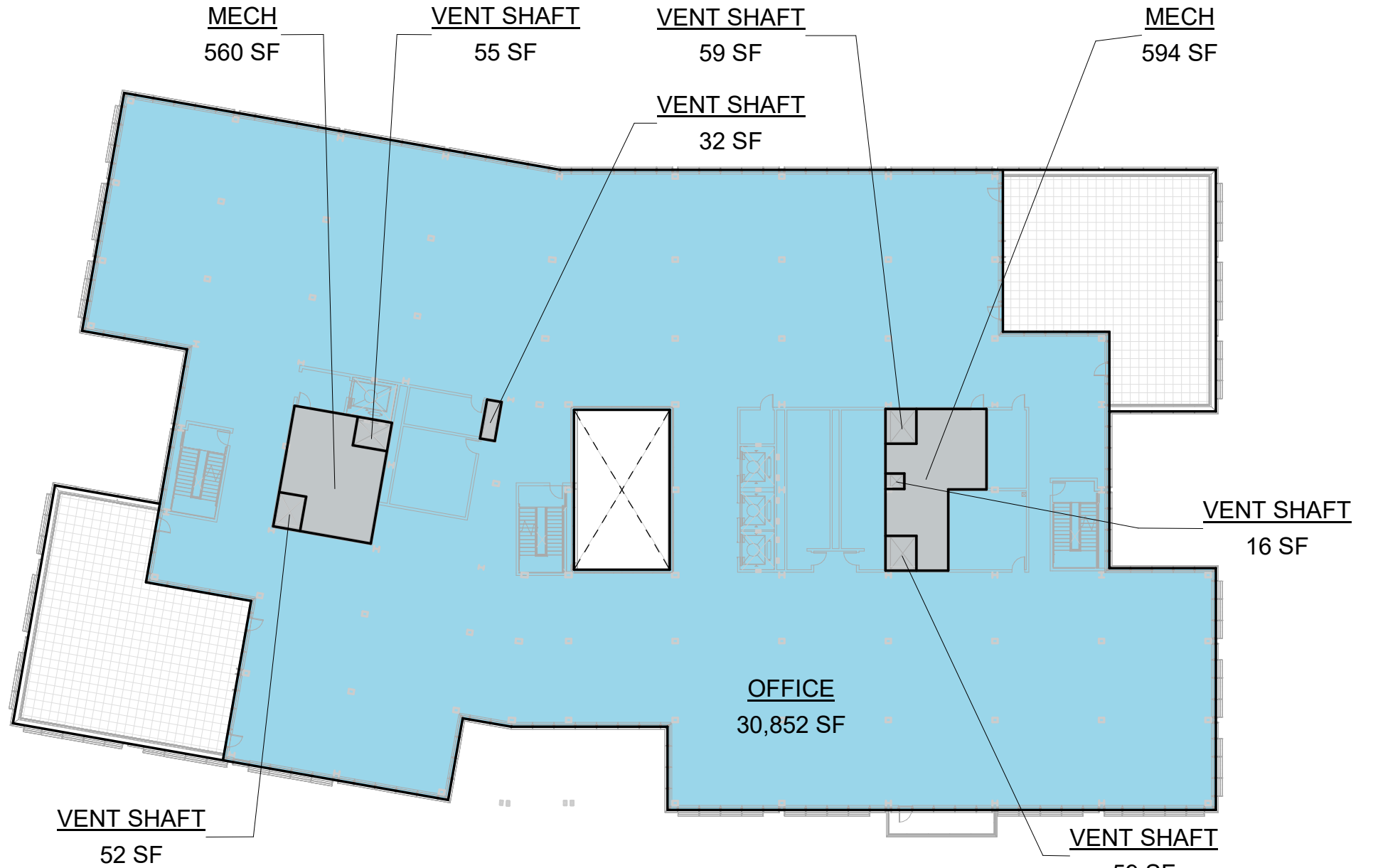
1 LEVEL 1 - O4
 1/32" = 1'-0"



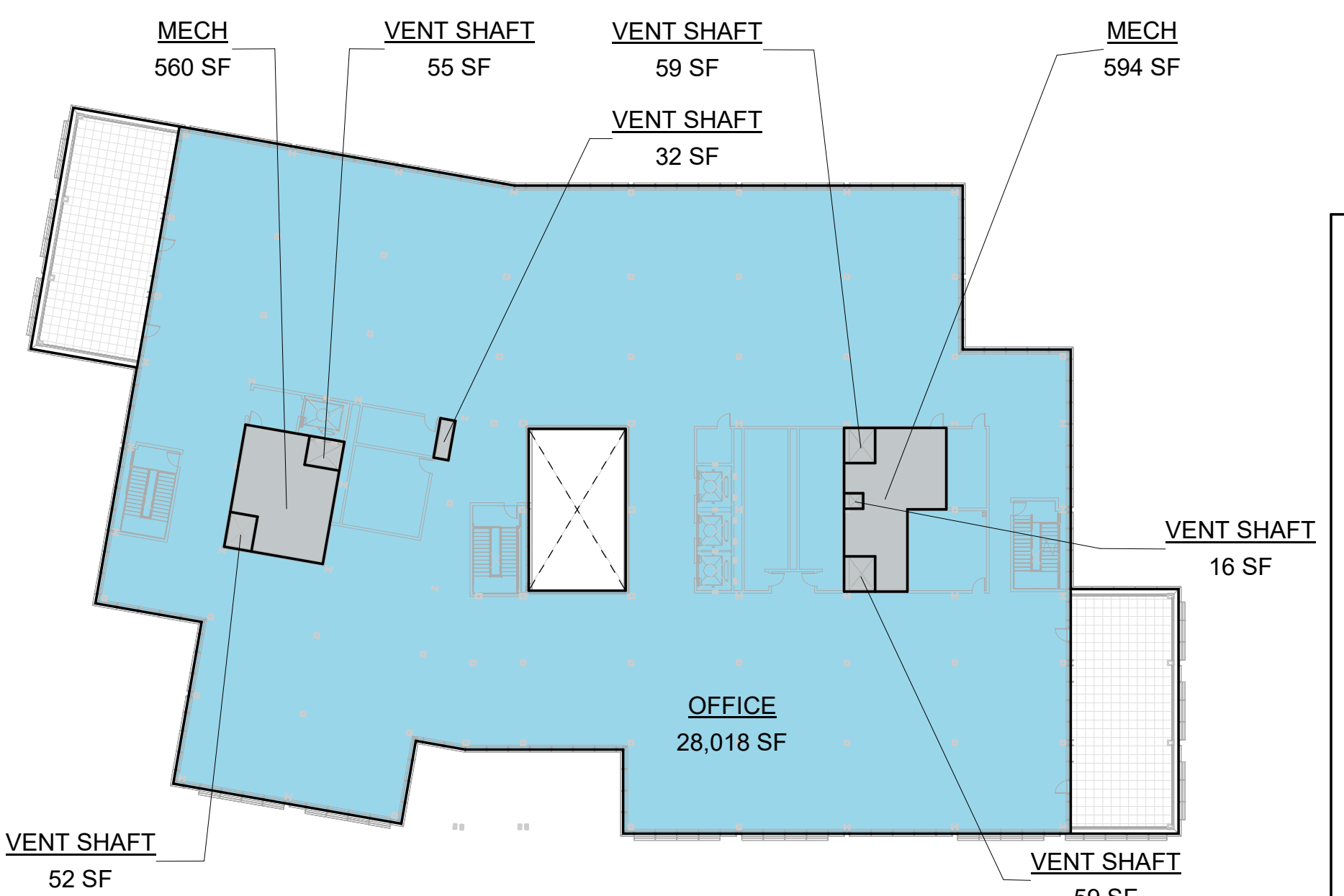
2 LEVEL 2 - O4
 1/32" = 1'-0"



3 LEVEL 3 - O4
 1/32" = 1'-0"



4 LEVEL 4 - O4
 1/32" = 1'-0"



5 LEVEL 5 - O4
 1/32" = 1'-0"

GROSS FLOOR AREA - O4 INCLUSIONS

Name	Area
LEVEL 1 OFFICE	36,624 SF
LEVEL 2 OFFICE	37,430 SF
LEVEL 3 OFFICE	35,542 SF
LEVEL 4 OFFICE	30,852 SF
LEVEL 5 OFFICE	28,018 SF
INCLUDED IN GFA PER ZONING CODE	168,466 SF

GROSS FLOOR AREA - O4 EXCLUSIONS

Name	Area
LEVEL 1 MECH	1,395 SF
LEVEL 1 TRASH	1,078 SF
LEVEL 1 TRASH	2,473 SF
LEVEL 2 MECH	1,154 SF
LEVEL 2 VENT SHAFT	273 SF
LEVEL 2 VENT SHAFT	1,427 SF
LEVEL 3 MECH	1,148 SF
LEVEL 3 VENT SHAFT	273 SF
LEVEL 3 VENT SHAFT	1,422 SF
LEVEL 4 MECH	1,154 SF
LEVEL 4 VENT SHAFT	273 SF
LEVEL 4 VENT SHAFT	1,427 SF
LEVEL 5 MECH	1,154 SF
LEVEL 5 VENT SHAFT	273 SF
LEVEL 5 VENT SHAFT	1,427 SF
EXCLUDED IN GFA PER ZONING CODE	8,176 SF

GROSS FLOOR AREA - O4 RETAIL INCLUSIONS*
*Retail area not counted in Office GFA. See Master Plan CDP.

Name	Area
LEVEL 1 RETAIL	9,731 SF
LEVEL 1 RETAIL	983 SF
LEVEL 1 RETAIL	10,714 SF
LEVEL 2 RETAIL	4,093 SF
LEVEL 2 RETAIL	4,693 SF
INCLUDED IN GFA PER ZONING CODE	14,807 SF

GROSS FLOOR AREA - O4 RETAIL EXCLUSIONS*
*Retail area not counted in Office GFA. See Master Plan CDP.

Name	Area
LEVEL 1 RETAIL MECH	1,312 SF
LEVEL 1 RETAIL VENT SHAFT	35 SF
LEVEL 1 RETAIL VENT SHAFT	1,383 SF
LEVEL 2 RETAIL VENT SHAFT	120 SF
LEVEL 2 RETAIL VENT SHAFT	25 SF
LEVEL 2 RETAIL VENT SHAFT	120 SF
LEVEL 2 RETAIL VENT SHAFT	25 SF
LEVEL 2 RETAIL VENT SHAFT	291 SF
EXCLUDED FROM GFA PER ZONING CODE	1,674 SF

GFA BY LAND USE LEGEND

SWATCH	USE
Blue	Office
Red	Retail
Light Blue	Circulation / Lobby / Common Area
Light Green	Utility / Service
Grey	Excluded from GFA

GROSS FLOOR AREA - TOTAL EXCLUSIONS UNDER 1% AND 3% CALCS

RETAIL MECH - total exclusions in 1% and 3% calcs	1,312 SF
MECH - total exclusions in 1% and 3% calcs	45,665 SF
1% Exemption	9,759 SF
3% Exemption	35,906 SF

GROSS FLOOR AREA - TOTAL OFFICE CAMPUS

1,126,631 SF

GROSS FLOOR AREA - TOTAL RETAIL
(Retail not counted in Office/Accessory GFA. See Master Plan CDP.)

30,041 SF

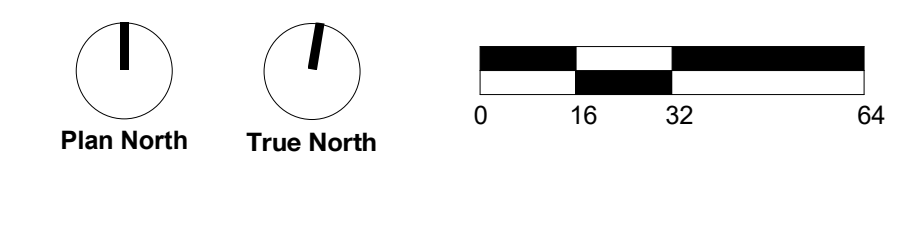
GROSS FLOOR AREA - TOTAL OFFICE CAMPUS SUMMARY

GROSS FLOOR AREA - O1		GROSS FLOOR AREA - O2		GROSS FLOOR AREA - O3		GROSS FLOOR AREA - O4	
Level	Area	Level	Area	Level	Area	Level	Area
LEVEL 1	39,781 SF	LEVEL 1	28,221 SF	LEVEL 1	36,615 SF	LEVEL 1	36,624 SF
LEVEL 2	34,380 SF	LEVEL 2	35,533 SF	LEVEL 2	46,141 SF	LEVEL 2	37,430 SF
LEVEL 3	31,185 SF	LEVEL 3	34,184 SF	LEVEL 3	45,259 SF	LEVEL 3	35,542 SF
LEVEL 4	27,709 SF	LEVEL 4	32,792 SF	LEVEL 4	42,040 SF	LEVEL 4	30,852 SF
TOTAL	133,055 SF	TOTAL	159,634 SF	TOTAL	208,229 SF	TOTAL	168,466 SF

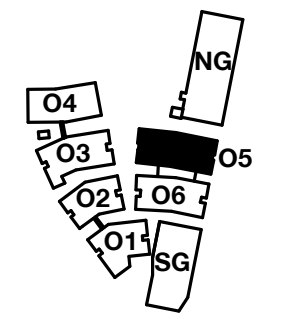
GROSS FLOOR AREA - O5		GROSS FLOOR AREA - O6		GROSS FLOOR AREA - SG		GROSS FLOOR AREA - NG	
Level	Area	Level	Area	Level	Area	Level	Area
LEVEL 1	50,849 SF	LEVEL 1	46,624 SF	SG LEVEL 1	1,106 SF	NG LEVEL 1	3,570 SF
LEVEL 2	48,968 SF	LEVEL 2	44,696 SF	TOTAL	1,106 SF	TOTAL	3,570 SF
LEVEL 3	49,270 SF	LEVEL 3	44,008 SF				
LEVEL 4	45,039 SF	LEVEL 4	40,921 SF				
LEVEL 5	42,205 SF	LEVEL 5	38,087 SF				
TOTAL	236,331 SF	TOTAL	214,336 SF				

GROSS FLOOR AREA - PAVILION	
Level	Area
LEVEL 1	1,905 SF
TOTAL	1,905 SF

Space designated for Office use may include amenity uses, as defined in CDP Condition 3.1.4.1. Office uses and Accessory uses (as defined in CDP Condition 3.1.4.1) each can be located anywhere within the Campus District; space designated for Office use can be located in the MCS; and space designated for Accessory use can be located in the portions of the Campus District outside of the MCS.



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SCALE: As indicated
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FEET/DIMENSIONS ONLY. USE CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

GROSS FLOOR AREA - O5 INCLUSIONS	
Name	Area
LEVEL 1 OFFICE	50,849 SF
LEVEL 2 OFFICE	48,968 SF
LEVEL 3 OFFICE	49,270 SF
LEVEL 4 OFFICE	45,039 SF
LEVEL 5 OFFICE	42,205 SF
INCLUDED IN GFA PER ZONING CODE	236,331 SF

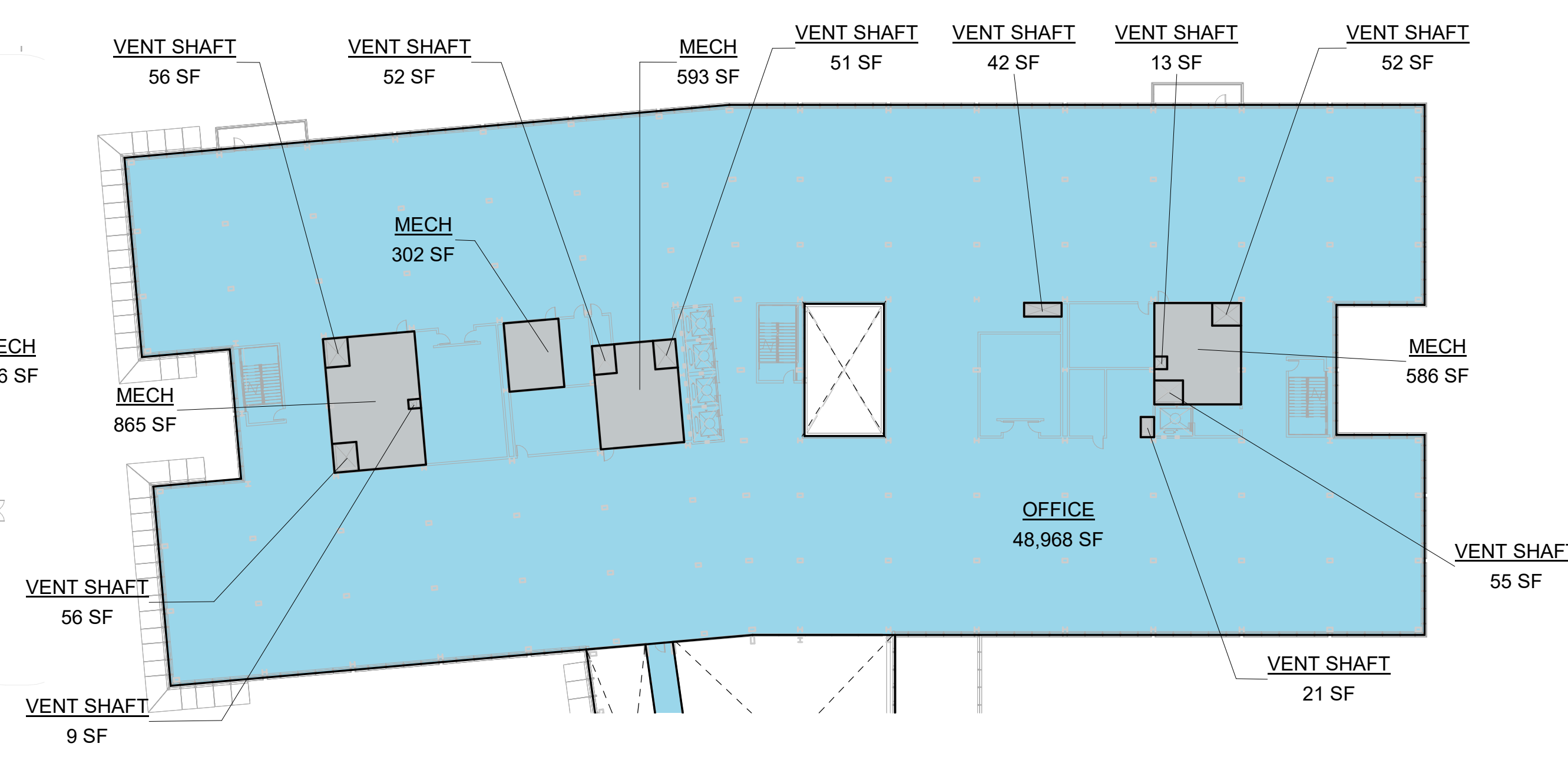
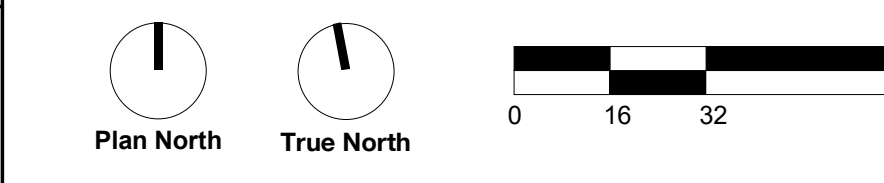
GROSS FLOOR AREA - O5 EXCLUSIONS	
Name	Area
LEVEL 1 MECH	1,402 SF
LEVEL 2 MECH	2,345 SF
LEVEL 3 MECH	2,043 SF
LEVEL 4 MECH	2,043 SF
LEVEL 5 MECH	2,043 SF
VENT SHAFT	408 SF
VENT SHAFT	2,451 SF
EXCLUDED IN GFA PER ZONING CODE	11,509 SF

GFA BY LAND USE LEGEND	
SWATCH	USE
	Office
	Retail
	Circulation / Lobby / Common Area
	Utility / Service
	Excluded from GFA

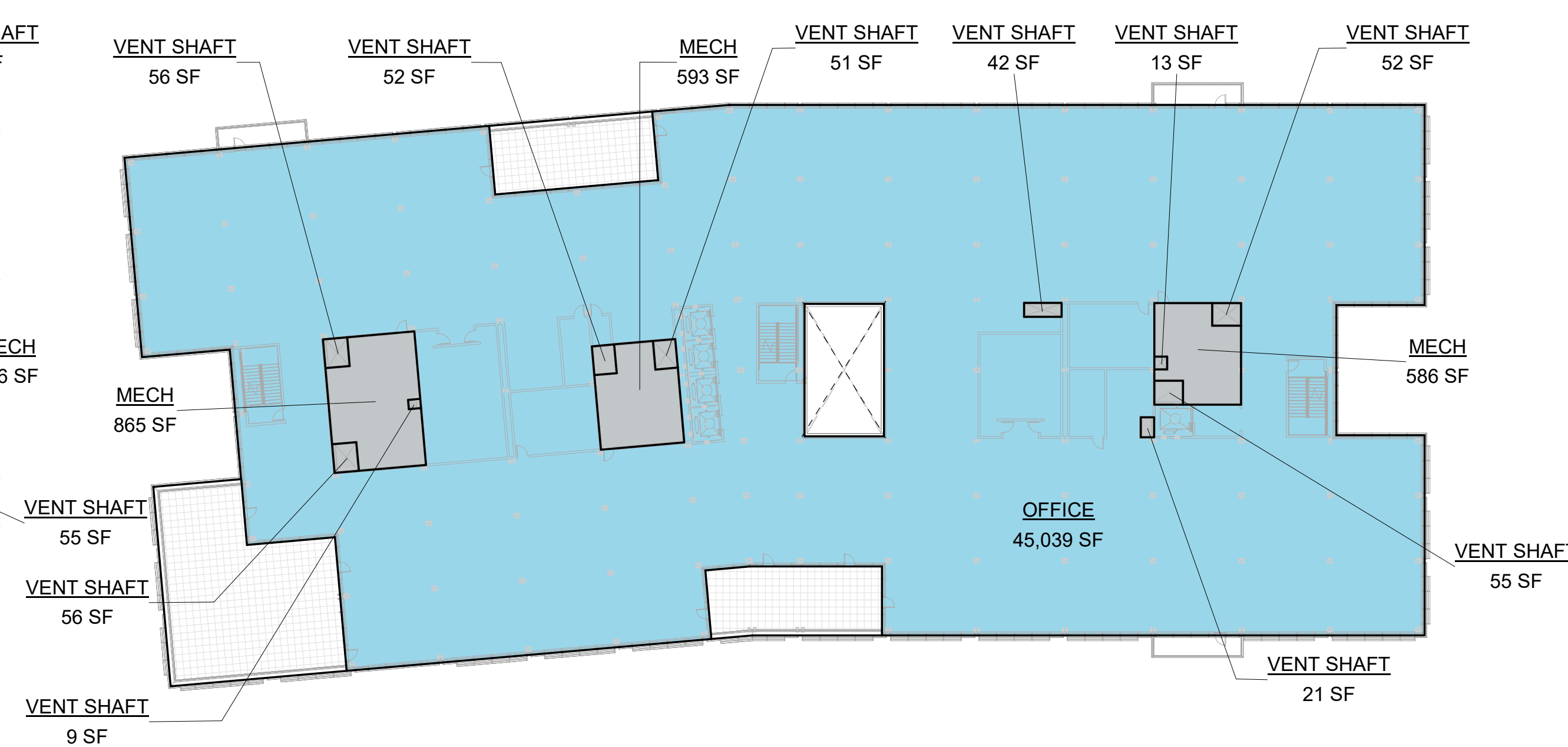
GROSS FLOOR AREA - TOTAL EXCLUSIONS UNDER 1% AND 3% CALCS	
RETAIL MECH - total exclusions in 1% and 3% calcs	1,312 SF
MECH - total exclusions in 1% and 3% calcs	45,665 SF
1% Exemption	9,759 SF
3% Exemption	35,906 SF

GROSS FLOOR AREA - TOTAL OFFICE CAMPUS	
1,126,631 SF	

GROSS FLOOR AREA - TOTAL RETAIL (Retail not counted in Office/Accessory GFA. See Master Plan CDP.)	
30,041 SF	



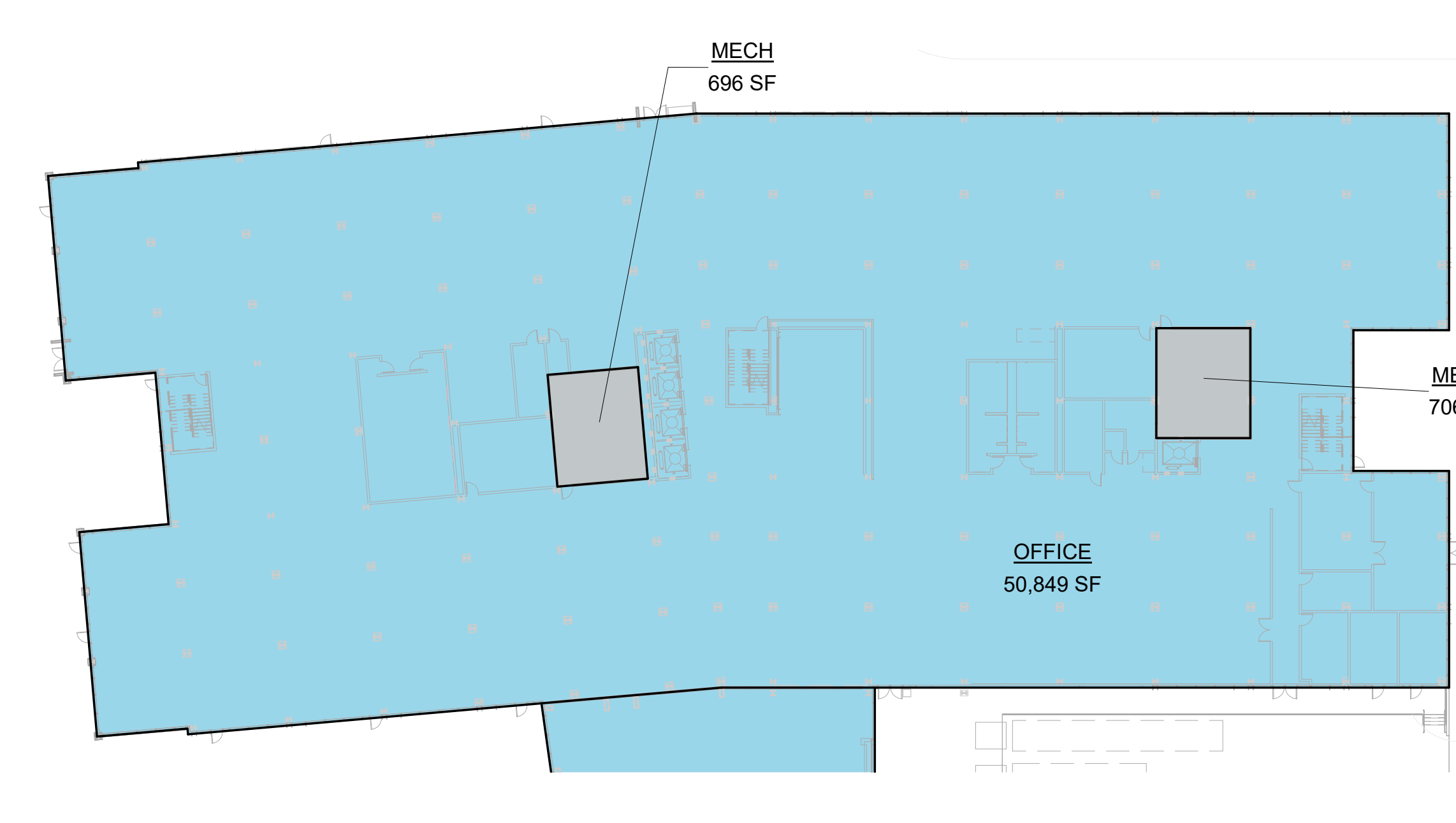
2 LEVEL 2 - O5
 1/32" = 1'-0"



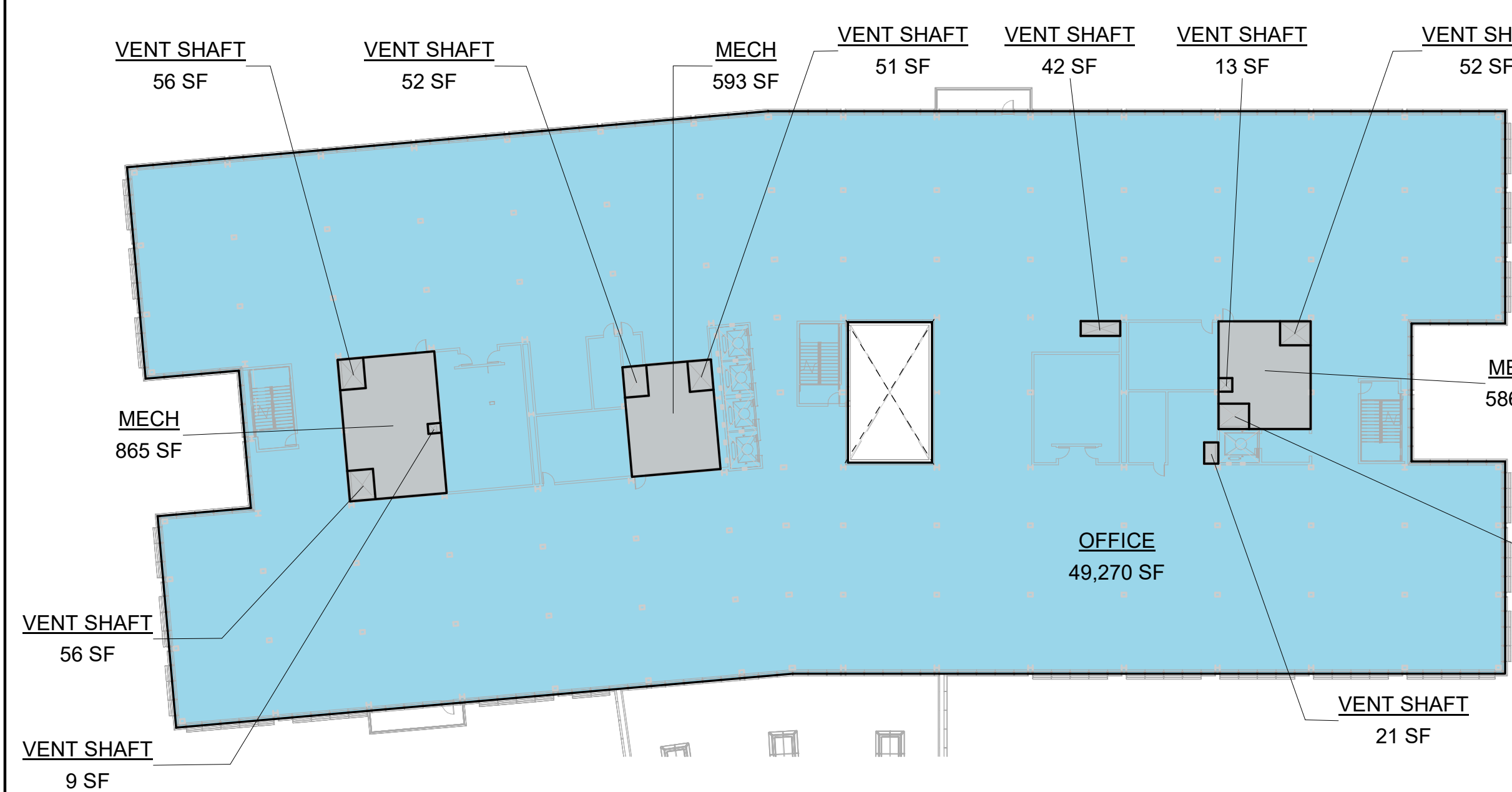
4 LEVEL 4 - O5
 1/32" = 1'-0"

GROSS FLOOR AREA - TOTAL OFFICE CAMPUS SUMMARY							
GROSS FLOOR AREA - O1		GROSS FLOOR AREA - O2		GROSS FLOOR AREA - O3		GROSS FLOOR AREA - O4	
Level	Area	Level	Area	Level	Area	Level	Area
LEVEL 1	39,781 SF	LEVEL 1	28,221 SF	LEVEL 1	36,615 SF	LEVEL 1	36,624 SF
LEVEL 2	34,380 SF	LEVEL 2	35,533 SF	LEVEL 2	46,141 SF	LEVEL 2	37,430 SF
LEVEL 3	31,185 SF	LEVEL 3	34,184 SF	LEVEL 3	45,259 SF	LEVEL 3	35,542 SF
LEVEL 4	27,709 SF	LEVEL 4	32,792 SF	LEVEL 4	42,040 SF	LEVEL 4	30,852 SF
LEVEL 5	28,903 SF	LEVEL 5	28,903 SF	LEVEL 5	38,173 SF	LEVEL 5	28,018 SF
TOTAL	133,055 SF	TOTAL	159,634 SF	TOTAL	208,229 SF	TOTAL	168,466 SF
GROSS FLOOR AREA - O5		GROSS FLOOR AREA - O6		GROSS FLOOR AREA - SG		GROSS FLOOR AREA - NG	
Level	Area	Level	Area	Level	Area	Level	Area
LEVEL 1	50,849 SF	LEVEL 1	46,624 SF	SG LEVEL 1	1,106 SF	NG LEVEL 1	3,570 SF
LEVEL 2	48,968 SF	LEVEL 2	44,696 SF	TOTAL	1,106 SF	TOTAL	3,570 SF
LEVEL 3	49,270 SF	LEVEL 3	44,008 SF				
LEVEL 4	45,039 SF	LEVEL 4	40,921 SF				
LEVEL 5	42,205 SF	LEVEL 5	38,087 SF				
TOTAL	236,331 SF	TOTAL	214,336 SF				
GROSS FLOOR AREA - PAVILION							
Level	Area						
LEVEL 1	1,905 SF						
TOTAL	1,905 SF						

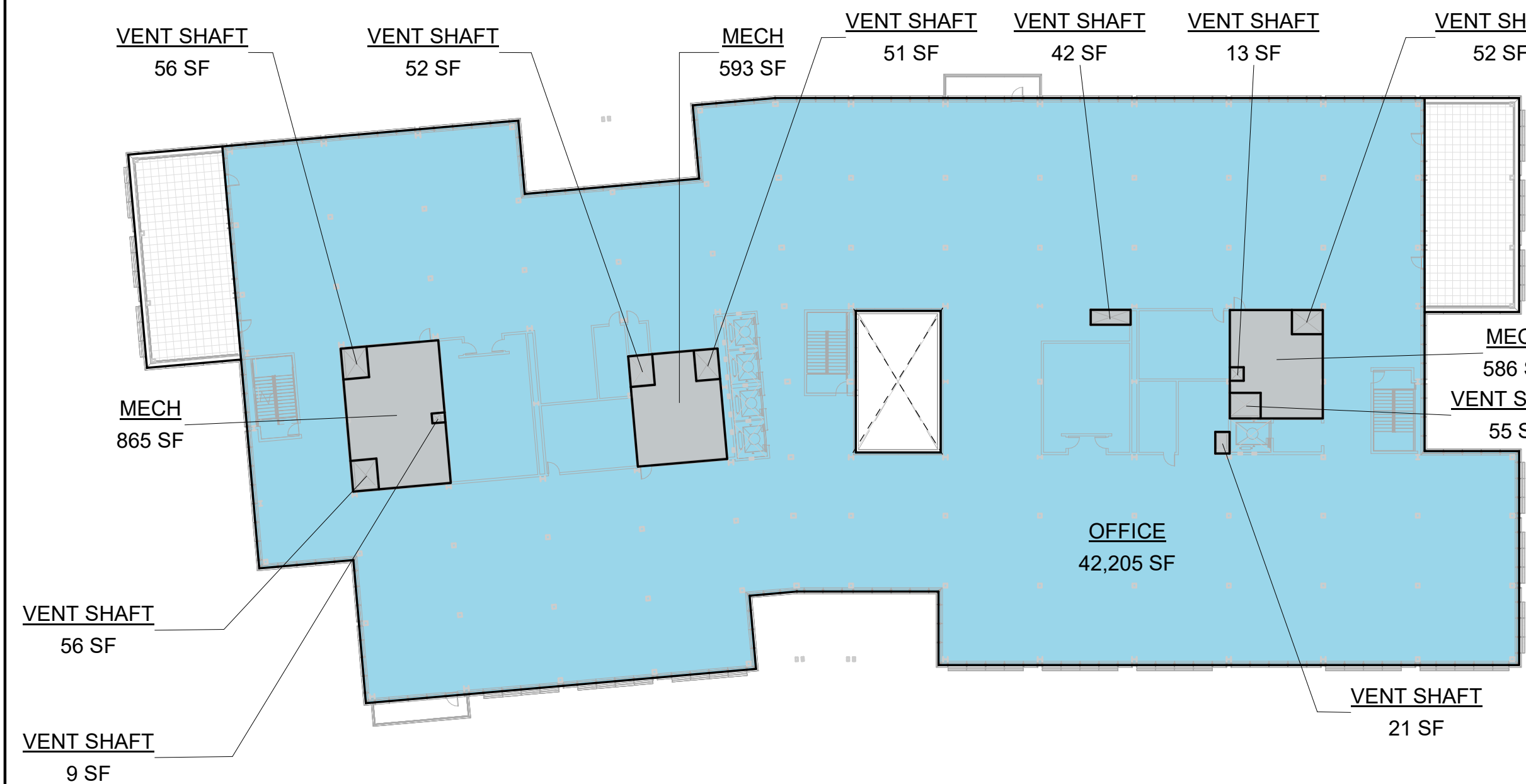
Space designated for Office use may include amenity uses, as defined in CDP Condition 3.1.4.1. Office uses and Accessory uses (as defined in CDP Condition 3.1.4.1) each can be located anywhere within the Campus District; space designated for Office use can be located in the MCS; and space designated for Accessory use can be located in the portions of the Campus District outside of the MCS.



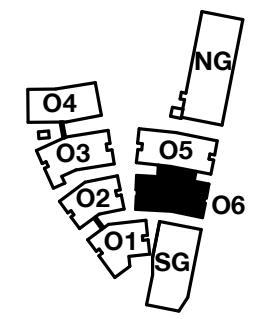
1 LEVEL 1 - O5
 1/32" = 1'-0"



3 LEVEL 3 - O5
 1/32" = 1'-0"



5 LEVEL 5 - O5
 1/32" = 1'-0"



SCALE: As indicated
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES

DATE	ISSUE
03/10/2023	ACP

REVISIONS

NO.	DATE	ISSUE

GROSS FLOOR AREA - O6 INCLUSIONS	
Name	Area
LEVEL 1 OFFICE	46,624 SF
LEVEL 2 OFFICE	44,696 SF
LEVEL 3 OFFICE	44,008 SF
LEVEL 4 OFFICE	40,921 SF
LEVEL 5 OFFICE	38,087 SF
INCLUDED IN GFA PER ZONING CODE	214,336 SF

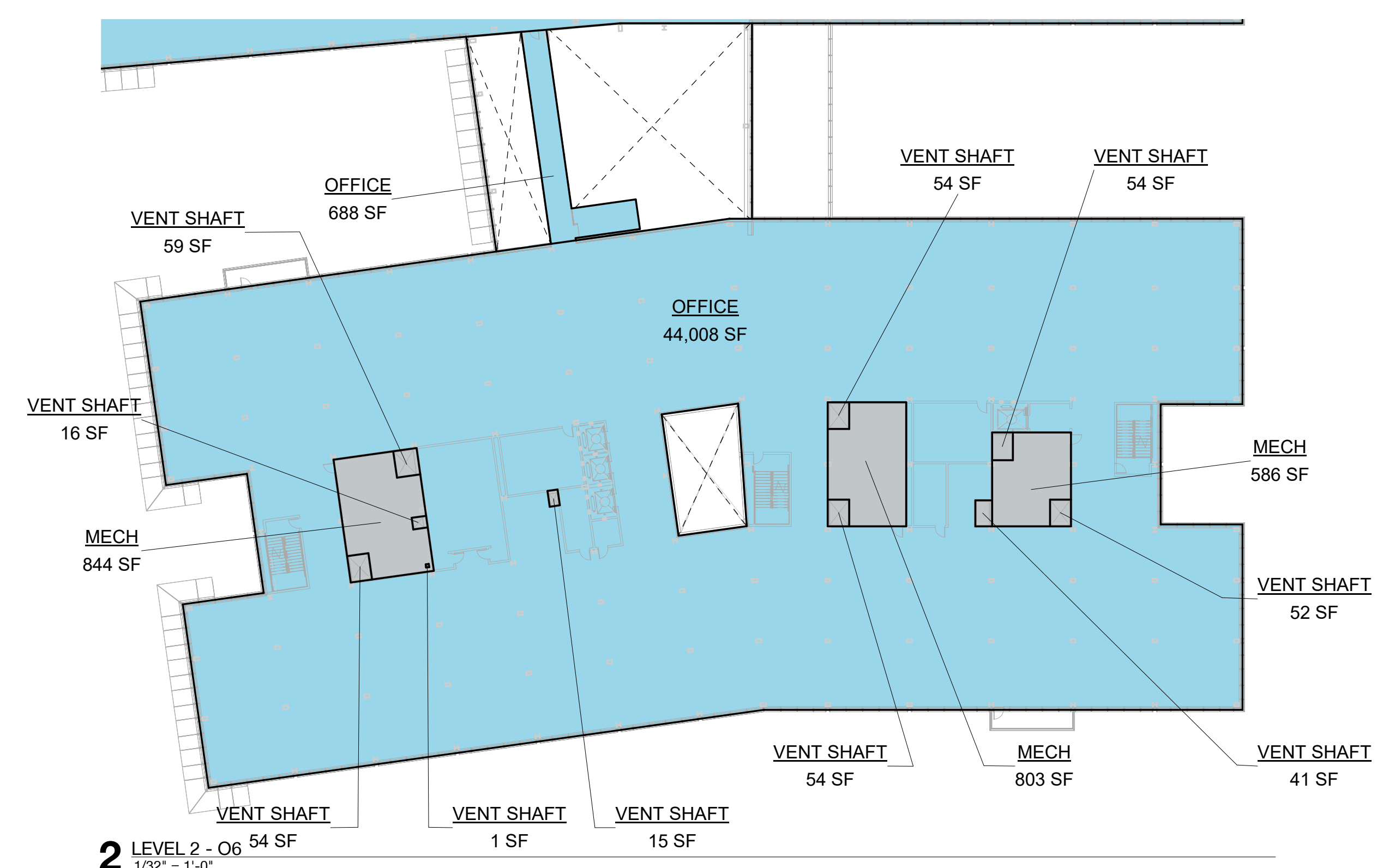
GROSS FLOOR AREA - O6 EXCLUSIONS	
Name	Area
LEVEL 1 MECH	2,581 SF
LEVEL 1 TRASH	3,224 SF
LEVEL 2 MECH	2,234 SF
LEVEL 2 VENT SHAFT	399 SF
LEVEL 3 MECH	2,234 SF
LEVEL 3 VENT SHAFT	399 SF
LEVEL 4 MECH	2,234 SF
LEVEL 4 VENT SHAFT	399 SF
LEVEL 5 MECH	2,234 SF
LEVEL 5 VENT SHAFT	399 SF
EXCLUDED IN GFA PER ZONING CODE	16,336 SF

GFA BY LAND USE LEGEND	
SWATCH	USE
	Office
	Retail
	Circulation / Lobby / Common Area
	Utility / Service
	Excluded from GFA

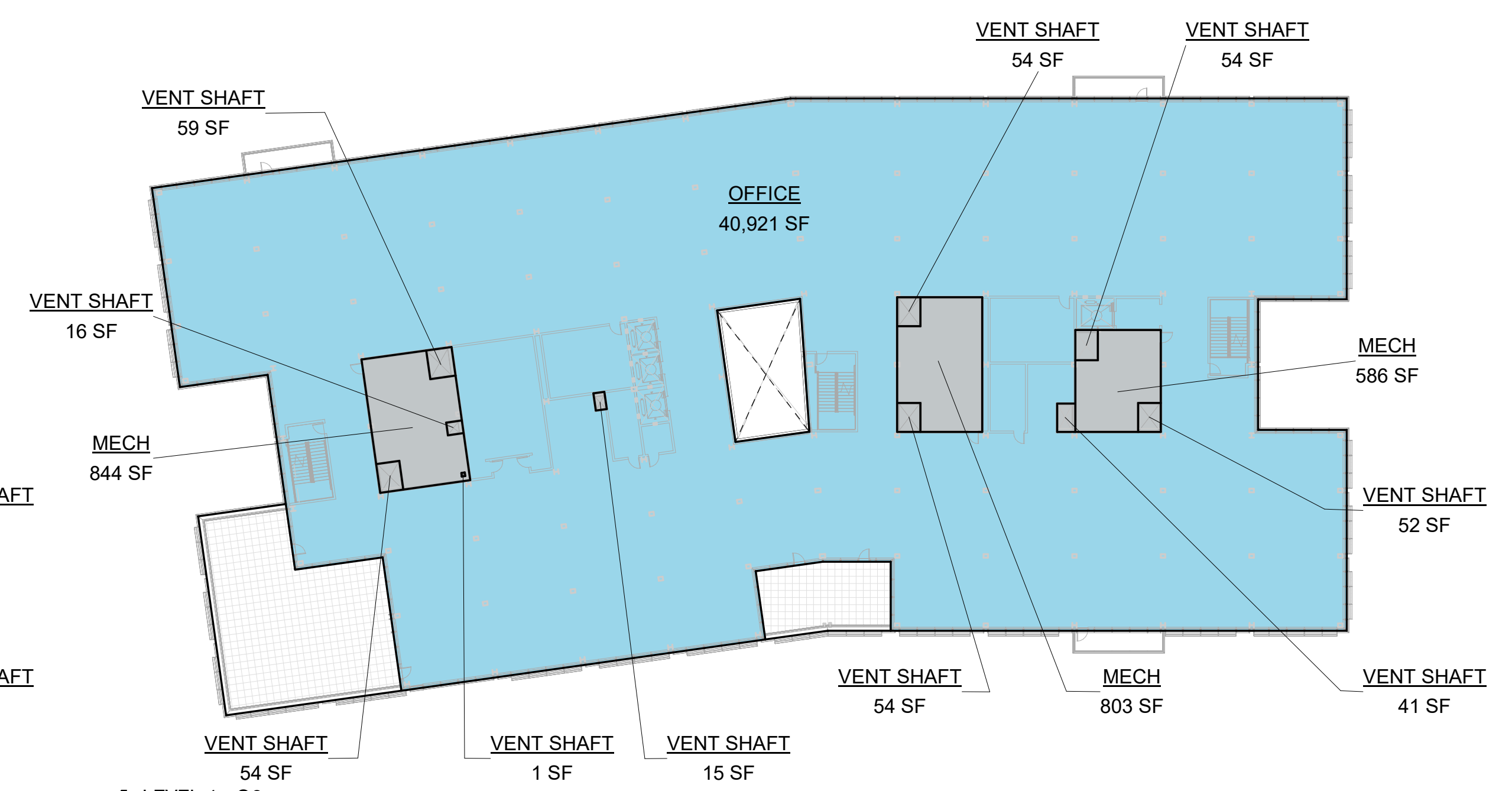
GROSS FLOOR AREA - TOTAL EXCLUSIONS UNDER 1% AND 3% CALCS	
RETAIL MECH - total exclusions in 1% and 3% calcs	1,312 SF
MECH - total exclusions in 1% and 3% calcs	45,665 SF
1% Exemption	9,759 SF
3% Exemption	35,906 SF

GROSS FLOOR AREA - TOTAL OFFICE CAMPUS	
1,126,631 SF	

GROSS FLOOR AREA - TOTAL RETAIL (Retail not counted in Office/Accessory GFA. See Master Plan CDP.)	
30,041 SF	



2 LEVEL 2 - O6
 1/32" = 1'-0"

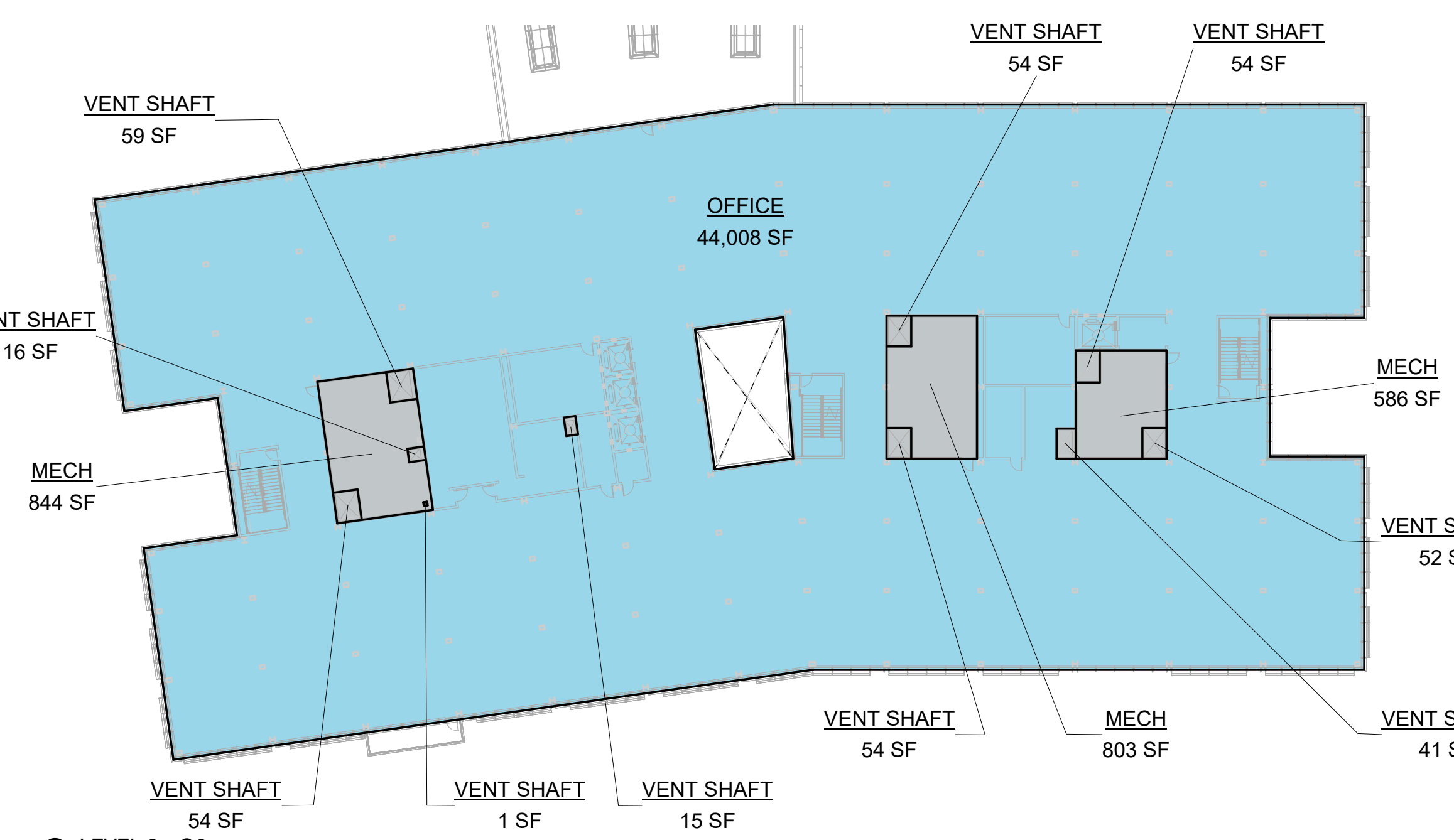


4 LEVEL 4 - O6
 1/32" = 1'-0"

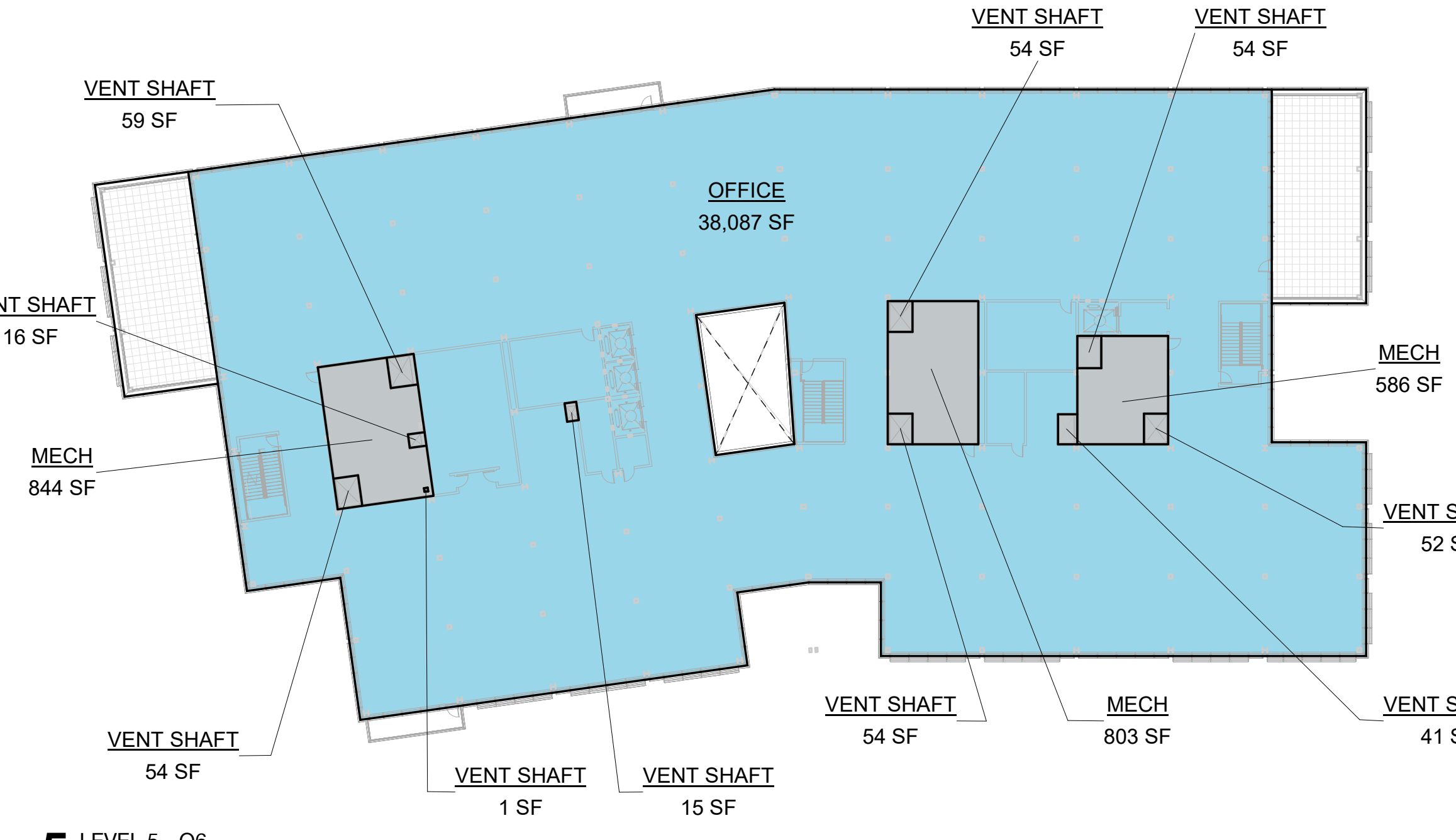
GROSS FLOOR AREA - TOTAL OFFICE CAMPUS SUMMARY							
GROSS FLOOR AREA - O1		GROSS FLOOR AREA - O2		GROSS FLOOR AREA - O3		GROSS FLOOR AREA - O4	
Level	Area	Level	Area	Level	Area	Level	Area
LEVEL 1	39,781 SF	LEVEL 1	28,221 SF	LEVEL 1	36,615 SF	LEVEL 1	36,624 SF
LEVEL 2	34,380 SF	LEVEL 2	35,533 SF	LEVEL 2	46,141 SF	LEVEL 2	37,430 SF
LEVEL 3	31,185 SF	LEVEL 3	34,184 SF	LEVEL 3	45,259 SF	LEVEL 3	35,542 SF
LEVEL 4	27,709 SF	LEVEL 4	32,792 SF	LEVEL 4	42,040 SF	LEVEL 4	30,852 SF
TOTAL	133,055 SF	LEVEL 5	28,903 SF	LEVEL 5	38,173 SF	LEVEL 5	28,018 SF
		TOTAL	159,634 SF	TOTAL	208,229 SF	TOTAL	168,466 SF
GROSS FLOOR AREA - O5		GROSS FLOOR AREA - O6		GROSS FLOOR AREA - SG		GROSS FLOOR AREA - NG	
Level	Area	Level	Area	Level	Area	Level	Area
LEVEL 1	50,849 SF	LEVEL 1	46,624 SF	SG LEVEL 1	1,106 SF	NG LEVEL 1	3,570 SF
LEVEL 2	48,968 SF	LEVEL 2	44,696 SF	TOTAL	1,106 SF	TOTAL	3,570 SF
LEVEL 3	49,270 SF	LEVEL 3	44,008 SF				
LEVEL 4	45,039 SF	LEVEL 4	40,921 SF				
LEVEL 5	42,205 SF	LEVEL 5	38,087 SF				
TOTAL	236,331 SF	TOTAL	214,336 SF				
GROSS FLOOR AREA - PAVILION				<small>Space designated for Office use may include amenity uses, as defined in CDP Condition 3.1.4.1. Office uses and Accessory uses (as defined in CDP Condition 3.1.4.1) each can be located anywhere within the Campus District; space designated for Office use can be located in the MCS; and space designated for Accessory use can be located in the portions of the Campus District outside of the MCS.</small>			
Level	Area	Level	Area	Level	Area	Level	Area
LEVEL 1	1,905 SF	LEVEL 1	1,905 SF				
TOTAL	1,905 SF	TOTAL	1,905 SF				



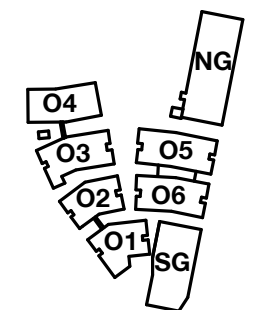
1 LEVEL 1 - O6
 1/32" = 1'-0"



3 LEVEL 3 - O6
 1/32" = 1'-0"



5 LEVEL 5 - O6
 1/32" = 1'-0"



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

SCALE: As indicated
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR USER CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
Square Footage Plan - Pavilion

DRAWING NO:
A9.04.7

GROSS FLOOR AREA - PAVILION INCLUSIONS

Name	Area
LEVEL 1	
OFFICE	1,905 SF
INCLUDED IN GFA PER ZONING CODE	1,905 SF

GROSS FLOOR AREA - PAVILION EXCLUSIONS

Name	Area
LEVEL 1	
MECH	95 SF
EXCLUDED IN GFA PER ZONING CODE	95 SF

SWATCH	USE
	Office
	Retail
	Circulation / Lobby / Common Area
	Utility / Service
	Excluded from GFA

GROSS FLOOR AREA - TOTAL EXCLUSIONS UNDER 1% AND 3% CALCS

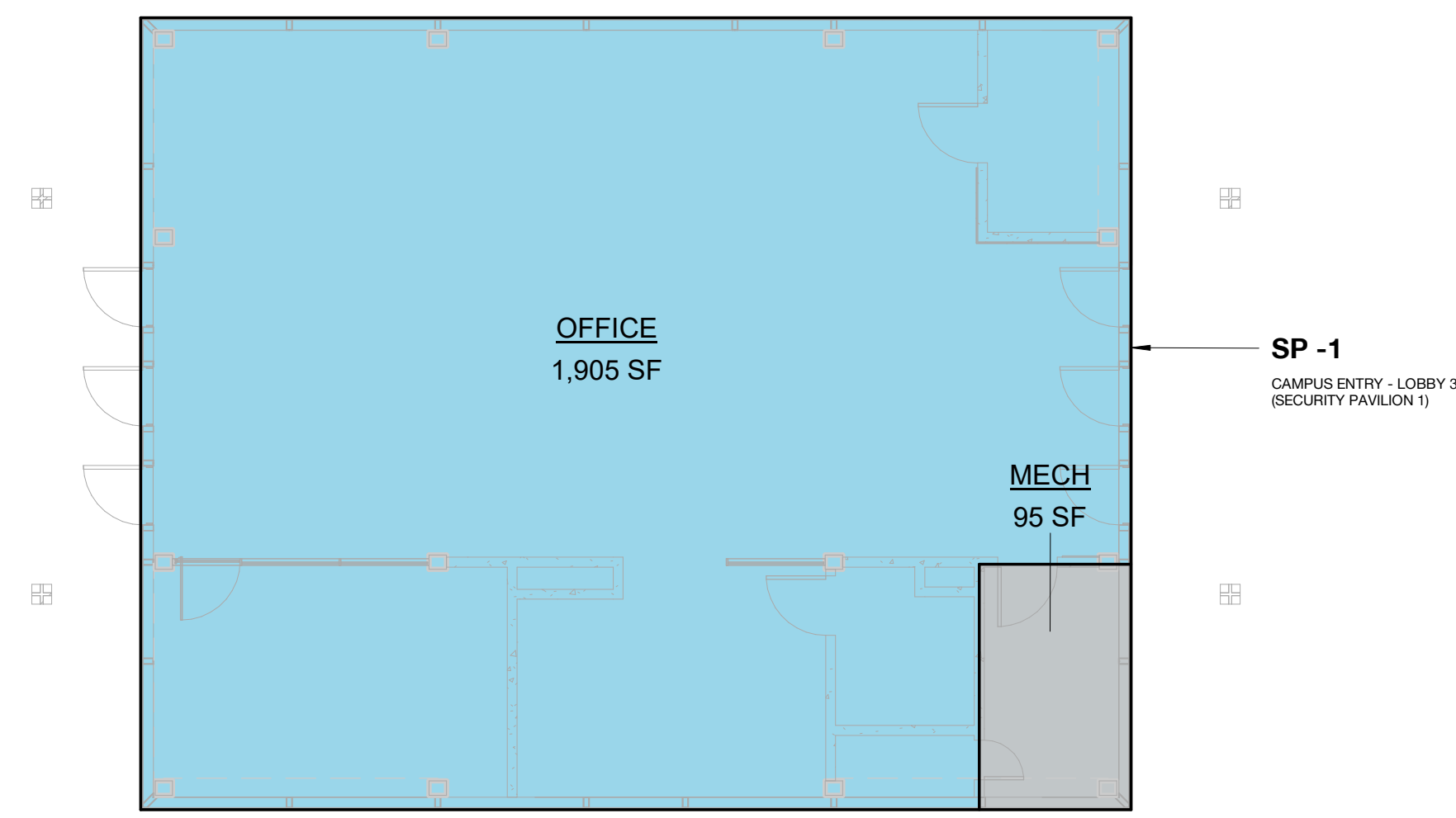
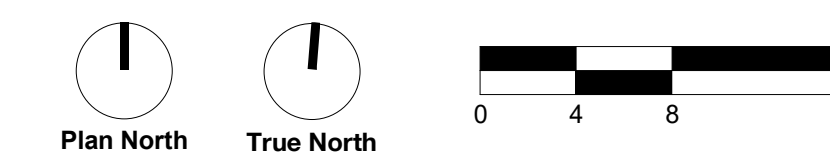
RETAIL MECH - total exclusions in 1% and 3% calcs	1,312 SF
MECH - total exclusions in 1% and 3% calcs	45,665 SF
1% Exemption	9,759 SF
3% Exemption	35,906 SF

GROSS FLOOR AREA - TOTAL OFFICE CAMPUS

1,126,631 SF

GROSS FLOOR AREA - TOTAL RETAIL
 (Retail not counted in Office/Accessory GFA. See Master Plan CDP.)

30,041 SF



1 LEVEL 1 - SP1
 1/8" = 1'-0"

Note : See A9.04.9 Square Footage Plans for SP-2 (Security Pavilion 2)

GROSS FLOOR AREA - TOTAL OFFICE CAMPUS SUMMARY

GROSS FLOOR AREA - O1	
Level	Area
LEVEL 1	39,781 SF
LEVEL 2	34,380 SF
LEVEL 3	31,185 SF
LEVEL 4	27,709 SF
TOTAL	133,055 SF

GROSS FLOOR AREA - O2	
Level	Area
LEVEL 1	28,221 SF
LEVEL 2	35,533 SF
LEVEL 3	34,184 SF
LEVEL 4	32,792 SF
LEVEL 5	28,903 SF
TOTAL	159,634 SF

GROSS FLOOR AREA - O3	
Level	Area
LEVEL 1	36,615 SF
LEVEL 2	46,141 SF
LEVEL 3	45,259 SF
LEVEL 4	42,040 SF
LEVEL 5	38,173 SF
TOTAL	208,229 SF

GROSS FLOOR AREA - O4	
Level	Area
LEVEL 1	36,624 SF
LEVEL 2	37,430 SF
LEVEL 3	35,542 SF
LEVEL 4	30,852 SF
LEVEL 5	28,018 SF
TOTAL	168,466 SF

GROSS FLOOR AREA - O5	
Level	Area
LEVEL 1	50,849 SF
LEVEL 2	48,968 SF
LEVEL 3	49,270 SF
LEVEL 4	45,039 SF
LEVEL 5	42,205 SF
TOTAL	236,331 SF

GROSS FLOOR AREA - O6	
Level	Area
LEVEL 1	46,624 SF
LEVEL 2	44,696 SF
LEVEL 3	44,008 SF
LEVEL 4	40,921 SF
LEVEL 5	38,087 SF
TOTAL	214,336 SF

GROSS FLOOR AREA - SG	
Level	Area
SG LEVEL 1	1,106 SF
TOTAL	1,106 SF

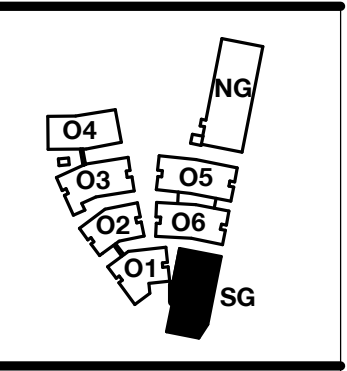
GROSS FLOOR AREA - NG	
Level	Area
NG LEVEL 1	3,570 SF
TOTAL	3,570 SF

GROSS FLOOR AREA - PAVILION	
Level	Area
LEVEL 1	1,905 SF
TOTAL	1,905 SF

Space designated for Office use may include amenity uses, as defined in CDP Condition 3.1.4.1. Office uses and Accessory uses (as defined in CDP Condition 3.1.4.1) each can be located anywhere within the Campus District; space designated for Office use can be located in the MCS; and space designated for Accessory use can be located in the portions of the Campus District outside of the MCS.

GROSS FLOOR AREA - SG INCLUSIONS	
Name	Area
SG LEVEL 1	
OFFICE	1,106 SF
OFFICE	1,106 SF
INCLUDED IN GFA PER ZONING CODE	1,106 SF

GROSS FLOOR AREA - SG EXCLUSIONS	
Name	Area
SG LEVEL 1	
BIKE PARKING	2,225 SF
PARKING	71,482 SF
SG LEVEL 2	
PARKING	45,547 SF
PARKING	45,547 SF
SG LEVEL 3	
PARKING	75,858 SF
PARKING	75,858 SF
SG LEVEL 4	
PARKING	75,117 SF
PARKING	75,117 SF
SG LEVEL 5	
PARKING	75,117 SF
PARKING	75,117 SF
SG LEVEL 6	
PARKING	62,213 SF
PARKING	62,213 SF
SG LEVEL 7	
PARKING	57,496 SF
PARKING	57,496 SF
EXCLUDED FROM GFA PER ZONING CODE	465,057 SF



WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA
 PENINSULA INNOVATION PARTNERS

SCALE: As indicated
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
03/10/2023	ACP

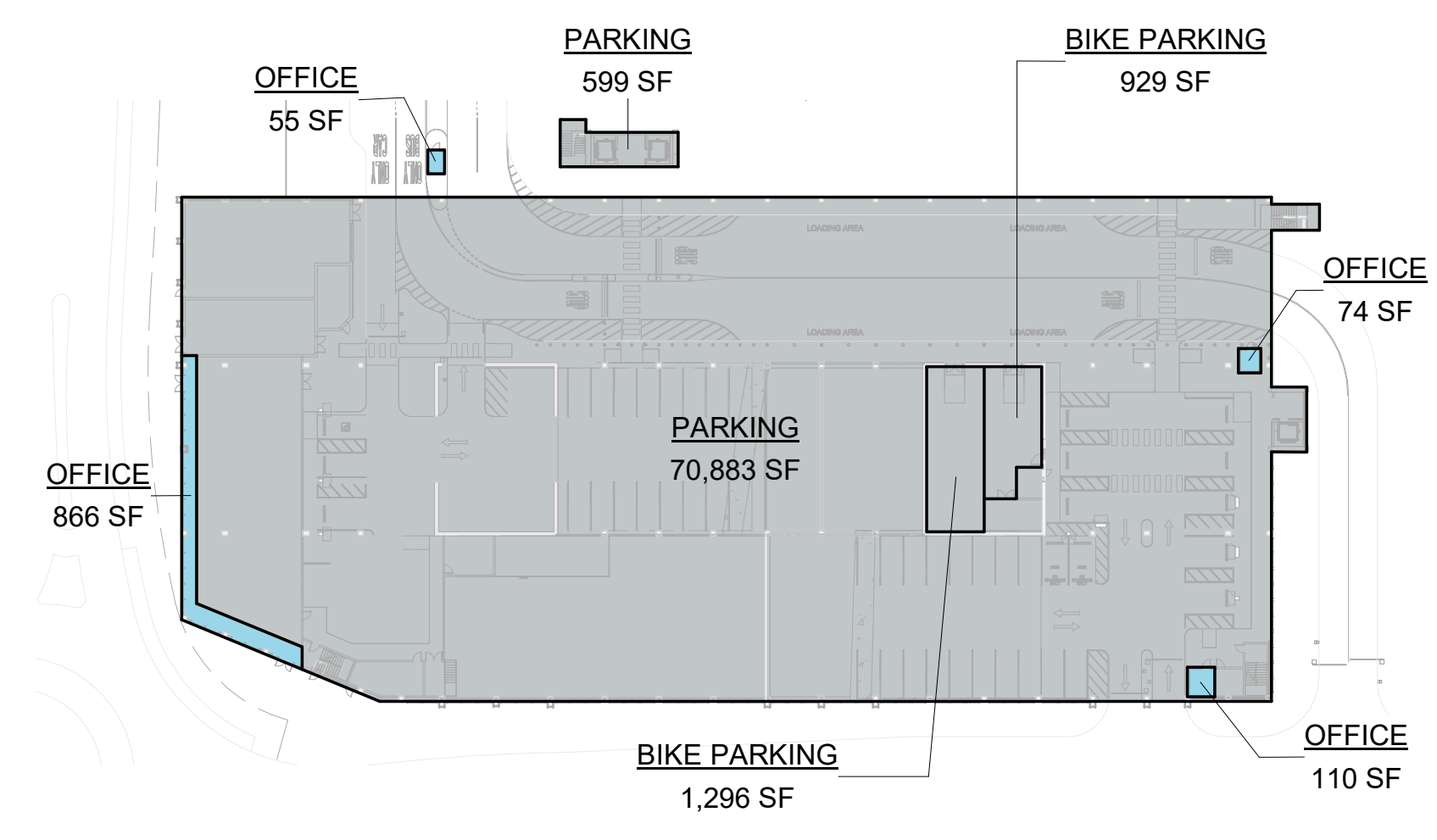
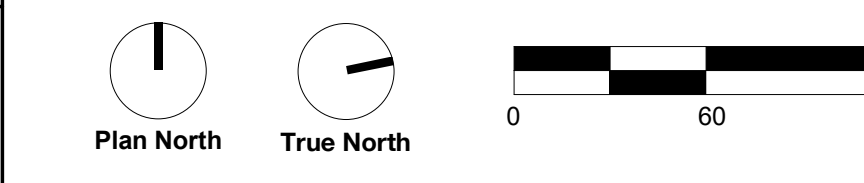
REVISIONS		
NO.	DATE	ISSUE

GFA BY LAND USE LEGEND	
SWATCH	USE
	Office
	Retail
	Circulation / Lobby / Common Area
	Utility / Service
	Excluded from GFA

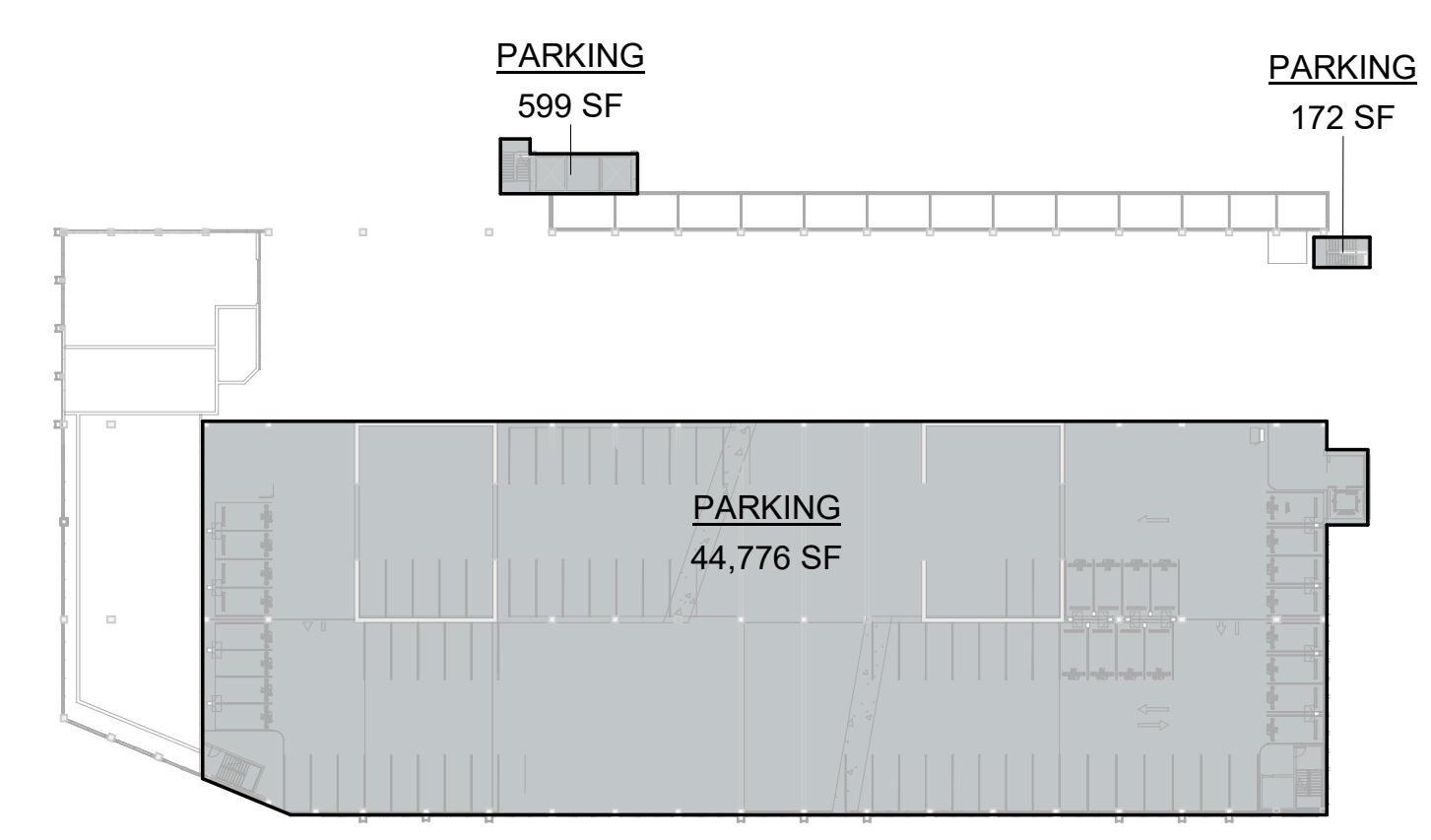
GROSS FLOOR AREA - TOTAL EXCLUSIONS UNDER 1% AND 3% CALCS	
RETAIL MECH - total exclusions in 1% and 3% calcs	1,312 SF
MECH - total exclusions in 1% and 3% calcs	45,665 SF
1% Exemption	9,759 SF
3% Exemption	35,906 SF

GROSS FLOOR AREA - TOTAL OFFICE CAMPUS
1,126,631 SF

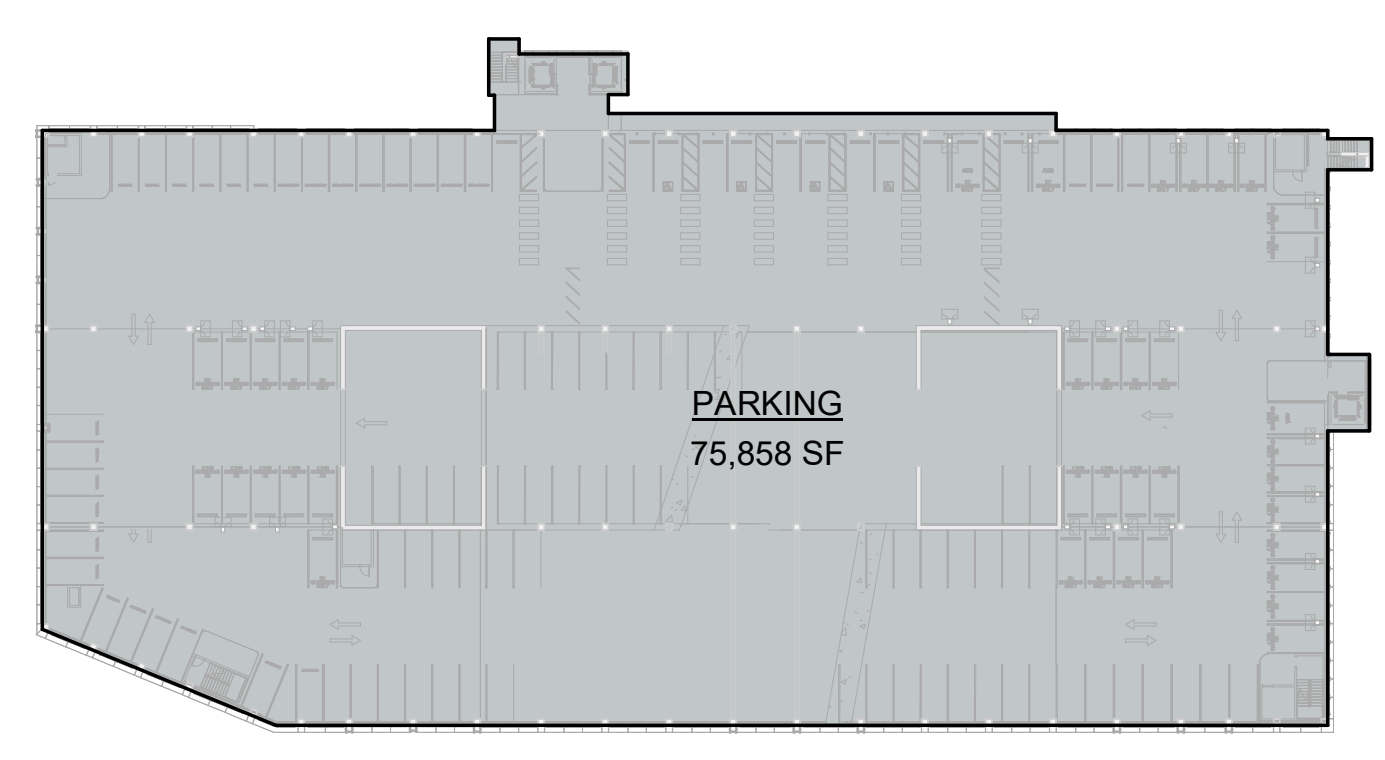
GROSS FLOOR AREA - TOTAL RETAIL
 (Retail not counted in Office/Accessory GFA. See Master Plan CDP.)
30,041 SF



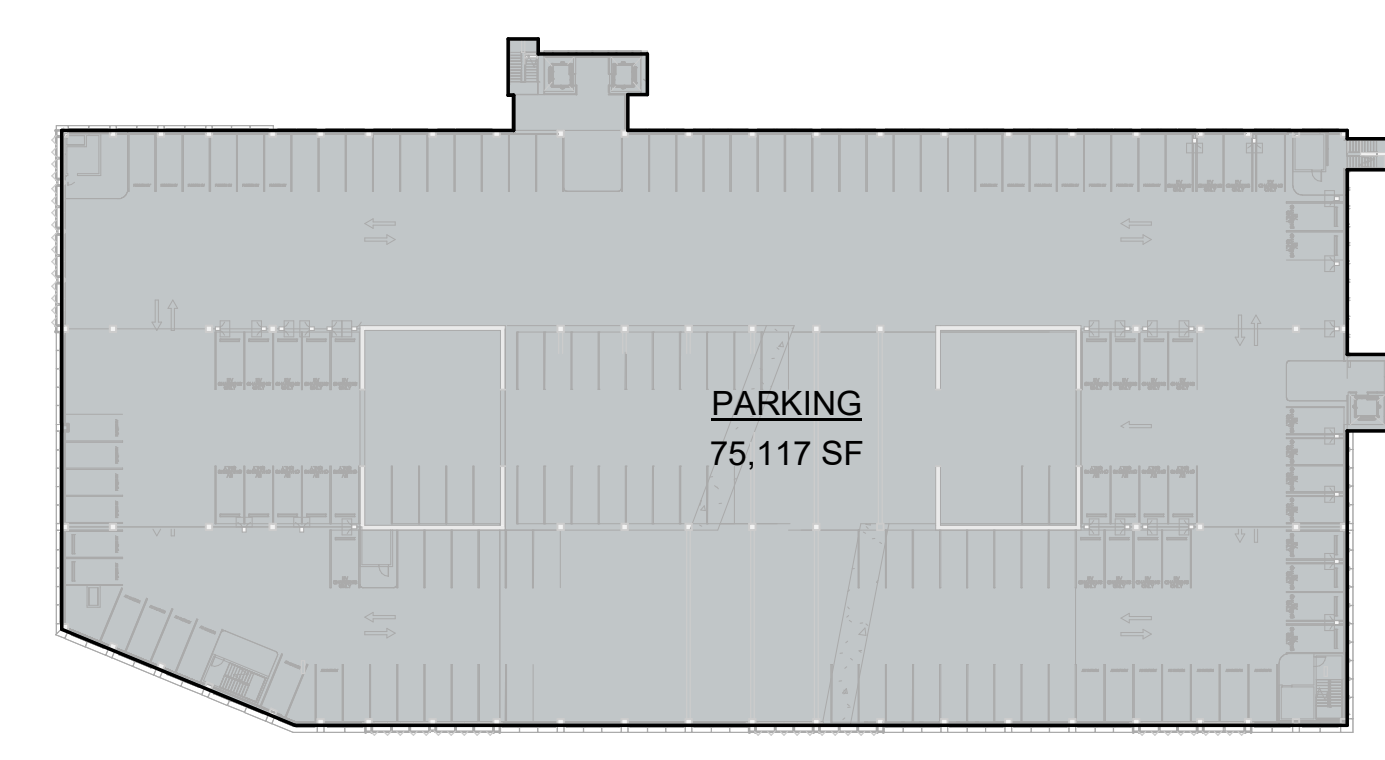
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 1" = 60'-0"



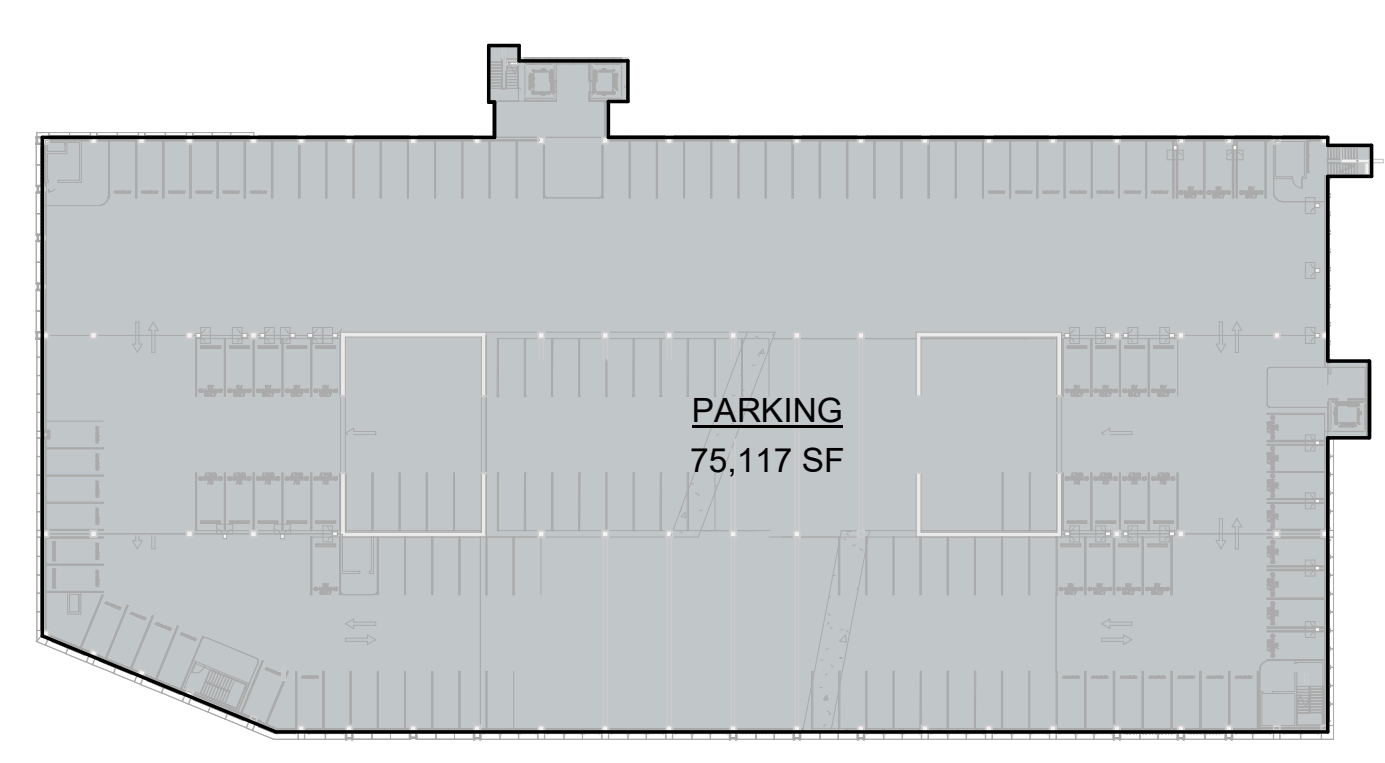
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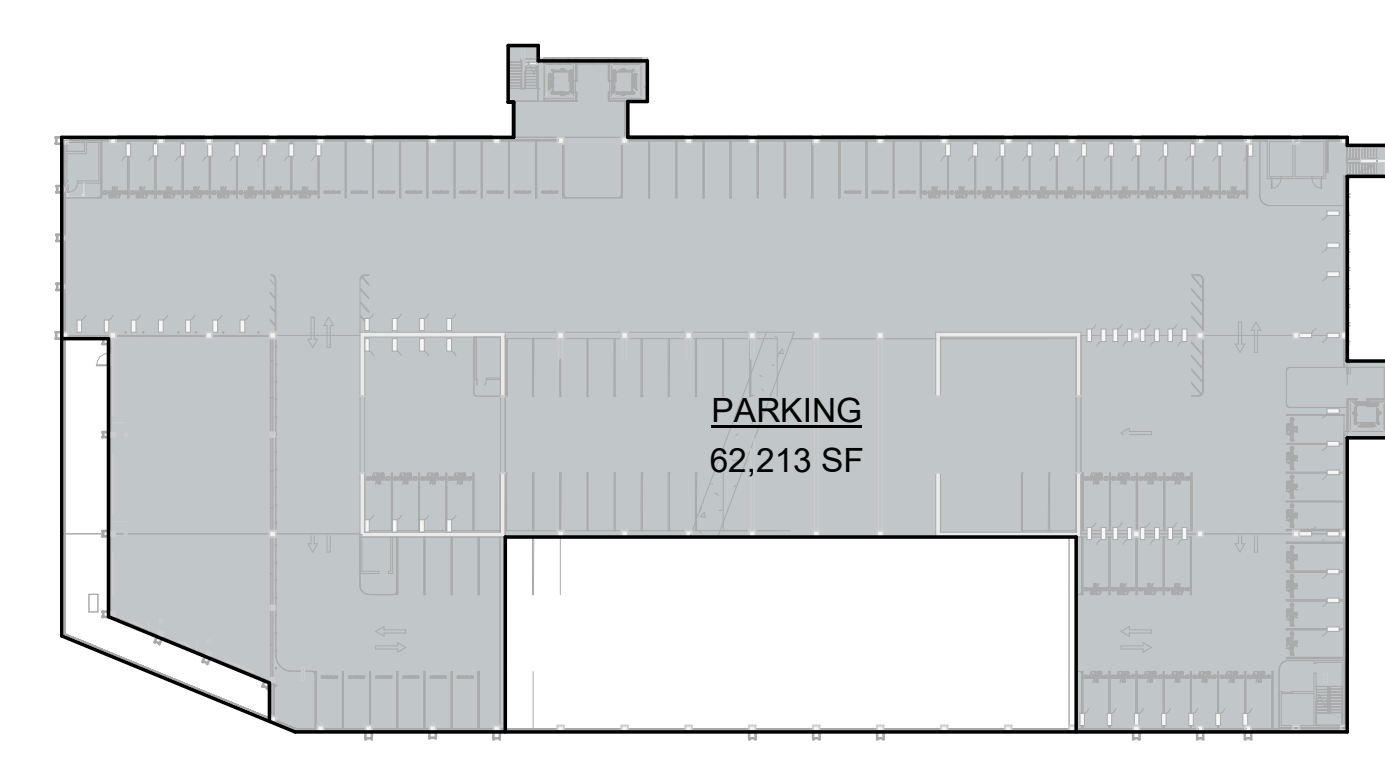
3 SG LEVEL 3 - GFA
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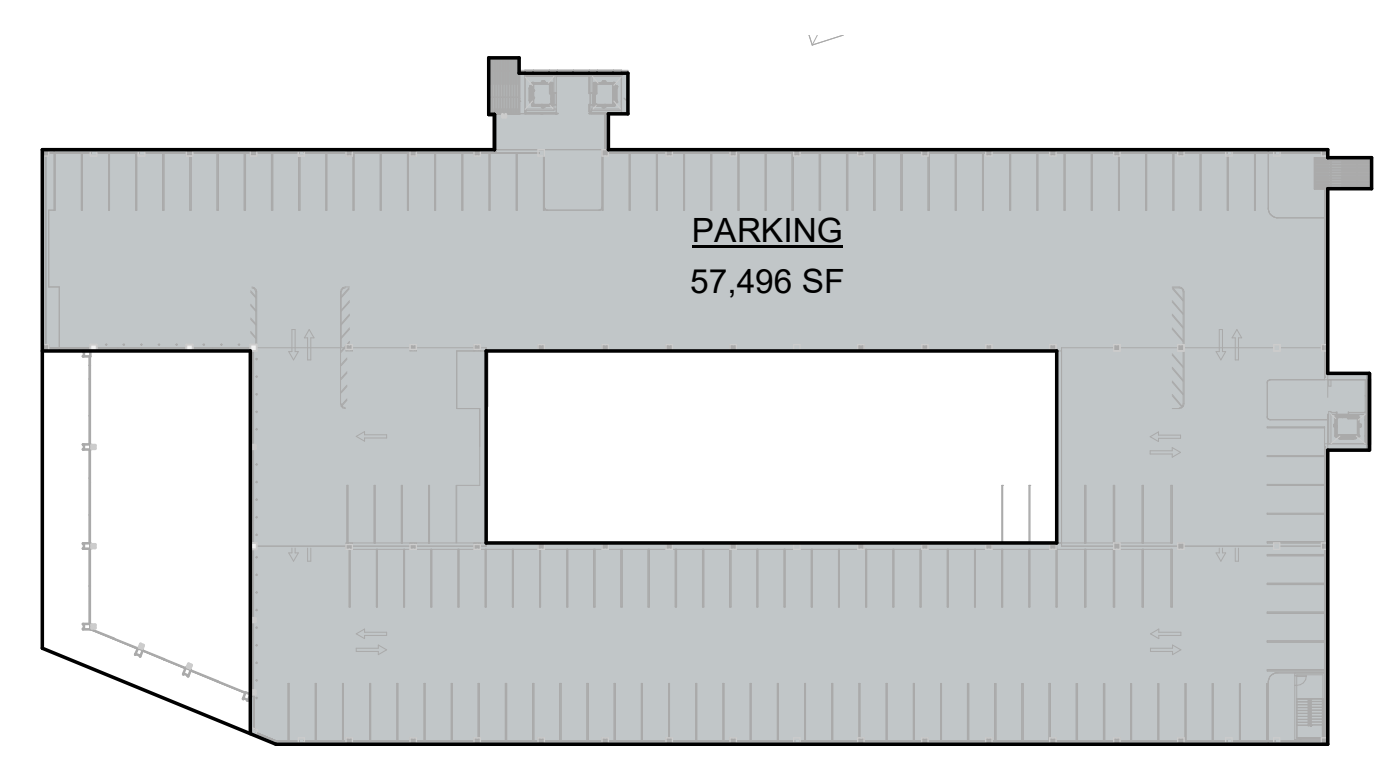
4 SG LEVEL 4 - GFA
 1" = 60'-0"



5 SG LEVEL 5 - GFA
 1" = 60'-0"



6 SG LEVEL 6 - GFA
 1" = 60'-0"



7 SG LEVEL 7 - GFA
 1" = 60'-0"

GROSS FLOOR AREA - TOTAL OFFICE CAMPUS SUMMARY

GROSS FLOOR AREA - O1		GROSS FLOOR AREA - O2		GROSS FLOOR AREA - O3		GROSS FLOOR AREA - O4	
Level	Area	Level	Area	Level	Area	Level	Area
LEVEL 1	39,781 SF	LEVEL 1	28,221 SF	LEVEL 1	36,615 SF	LEVEL 1	36,624 SF
LEVEL 2	34,380 SF	LEVEL 2	35,533 SF	LEVEL 2	46,141 SF	LEVEL 2	37,430 SF
LEVEL 3	31,185 SF	LEVEL 3	34,184 SF	LEVEL 3	45,259 SF	LEVEL 3	35,542 SF
LEVEL 4	27,709 SF	LEVEL 4	32,792 SF	LEVEL 4	42,040 SF	LEVEL 4	30,852 SF
LEVEL 5	133,055 SF	LEVEL 5	28,903 SF	LEVEL 5	38,173 SF	LEVEL 5	28,018 SF
TOTAL	199,000 SF	TOTAL	159,634 SF	TOTAL	208,229 SF	TOTAL	168,466 SF

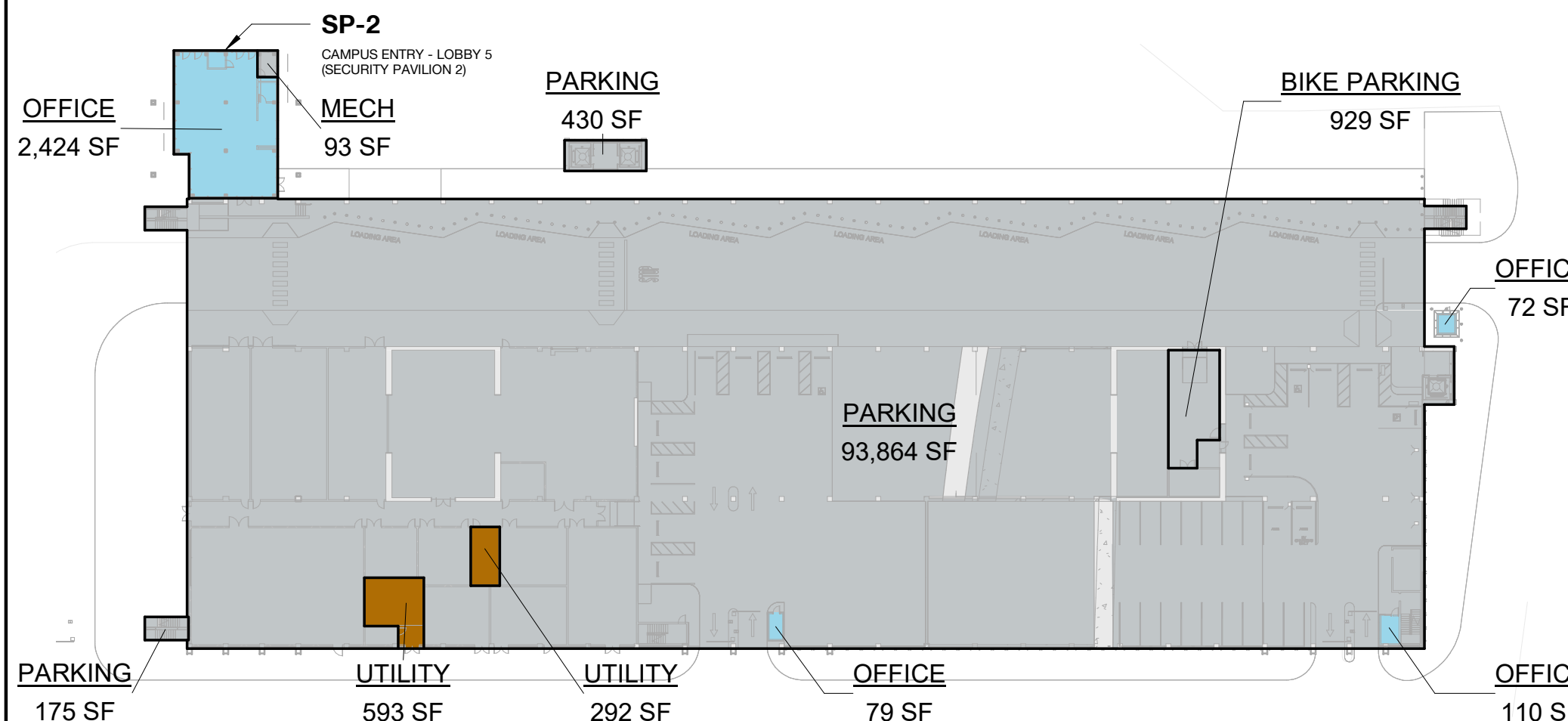
GROSS FLOOR AREA - O5		GROSS FLOOR AREA - O6		GROSS FLOOR AREA - SG		GROSS FLOOR AREA - NG	
Level	Area	Level	Area	Level	Area	Level	Area
LEVEL 1	50,849 SF	LEVEL 1	46,624 SF	SG LEVEL 1	1,106 SF	NG LEVEL 1	3,570 SF
LEVEL 2	48,968 SF	LEVEL 2	44,696 SF	TOTAL	1,106 SF	TOTAL	3,570 SF
LEVEL 3	49,270 SF	LEVEL 3	44,008 SF				
LEVEL 4	45,039 SF	LEVEL 4	40,921 SF				
LEVEL 5	42,205 SF	LEVEL 5	38,087 SF				
TOTAL	236,331 SF	TOTAL	214,336 SF				

GROSS FLOOR AREA - PAVILION	
Level	Area
LEVEL 1	1,905 SF
TOTAL	1,905 SF

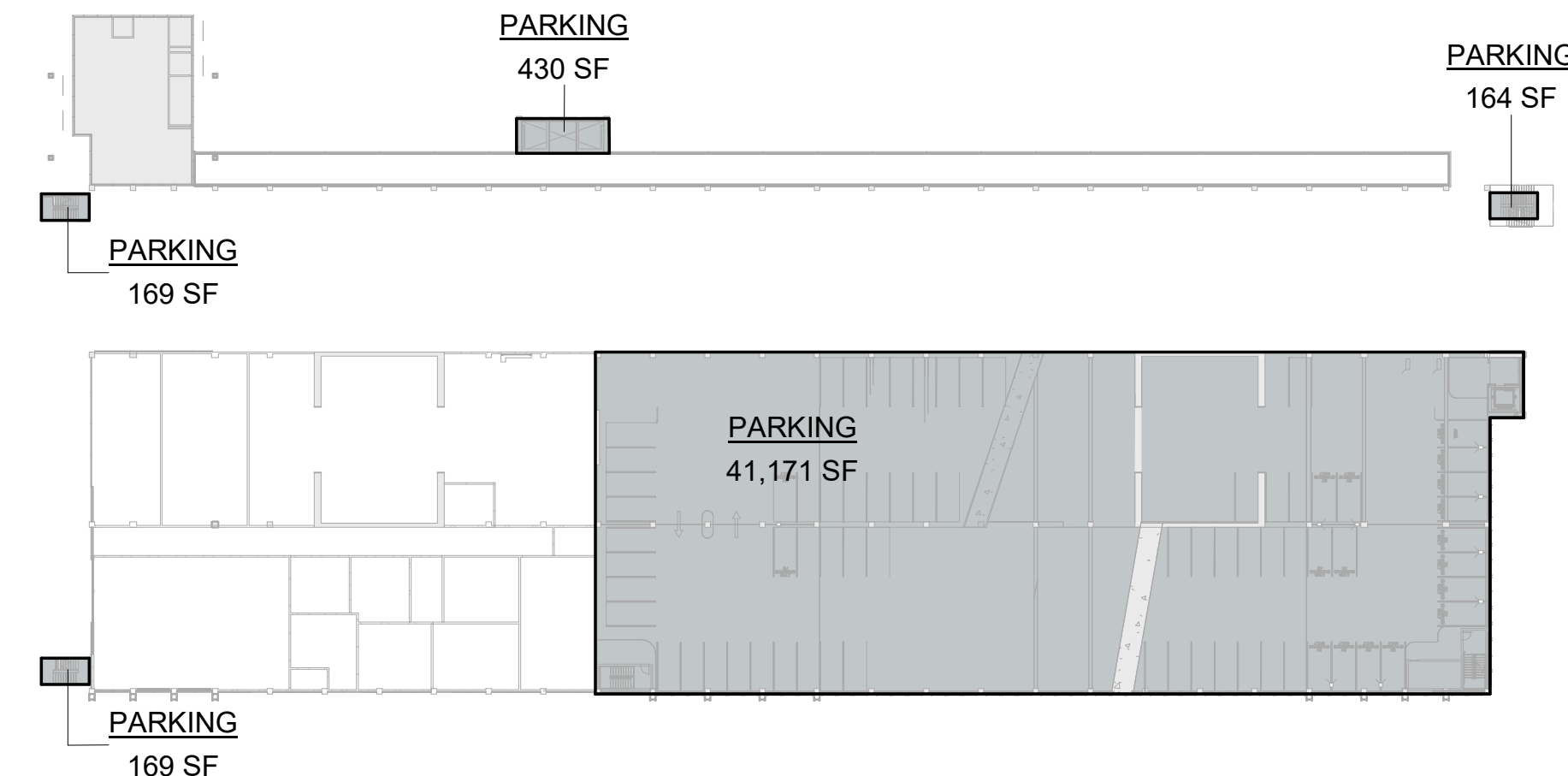
Space designated for Office use may include amenity uses, as defined in CDP Condition 3.1.4.1. Office uses and Accessory uses (as defined in CDP Condition 3.1.4.1) each can be located anywhere within the Campus District; space designated for Office use can be located in the MCS; and space designated for Accessory use can be located in the portions of the Campus District outside of the MCS.

3/9/2023 2:43:53 PM

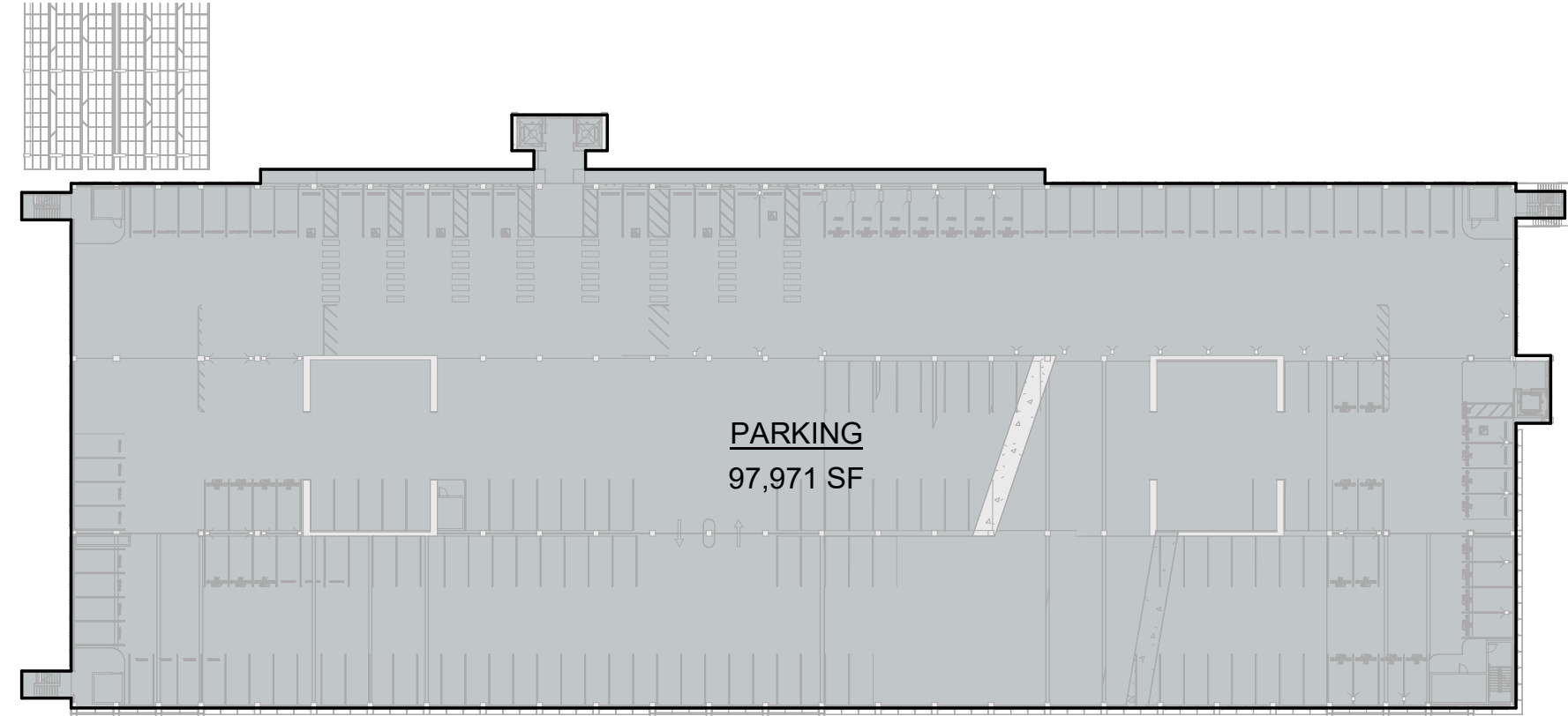
DRAWING TITLE:
 Square Footage Plan -
 South Garage
 DRAWING NO:
A9.04.8



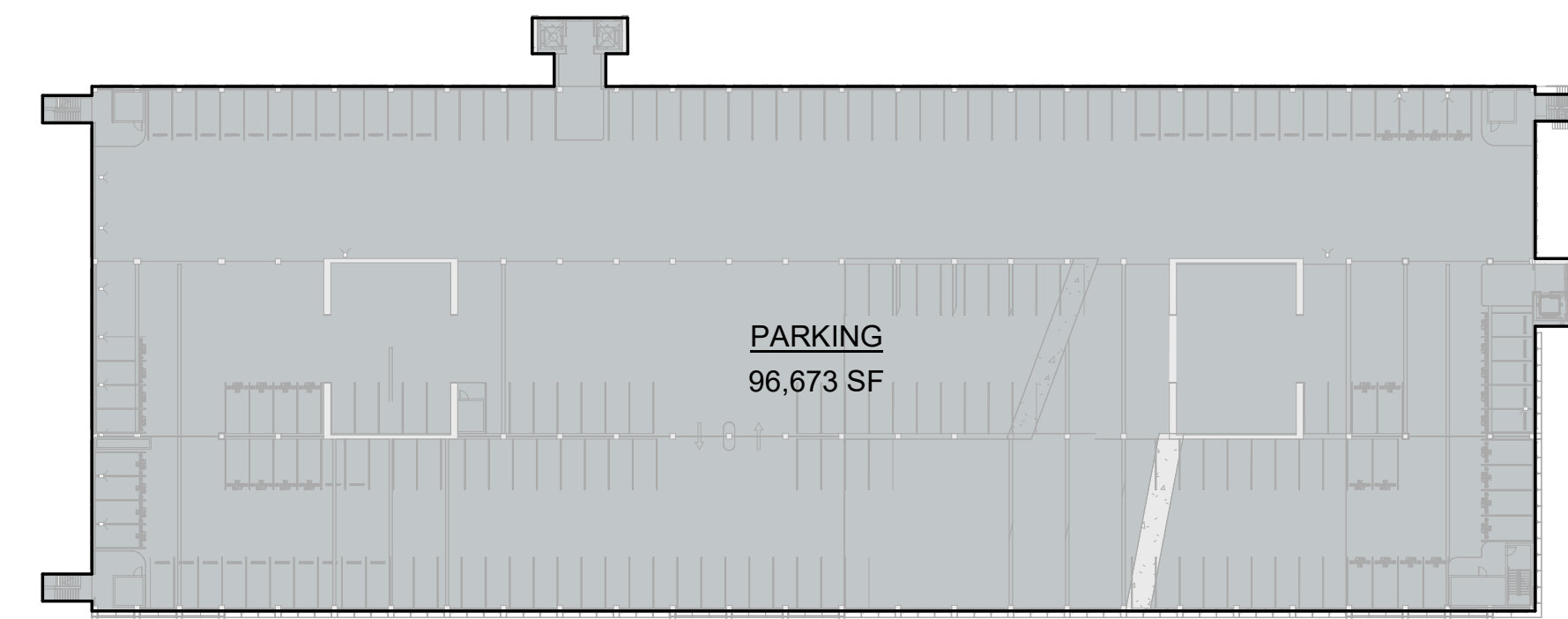
1 NG LEVEL 1 - GFA
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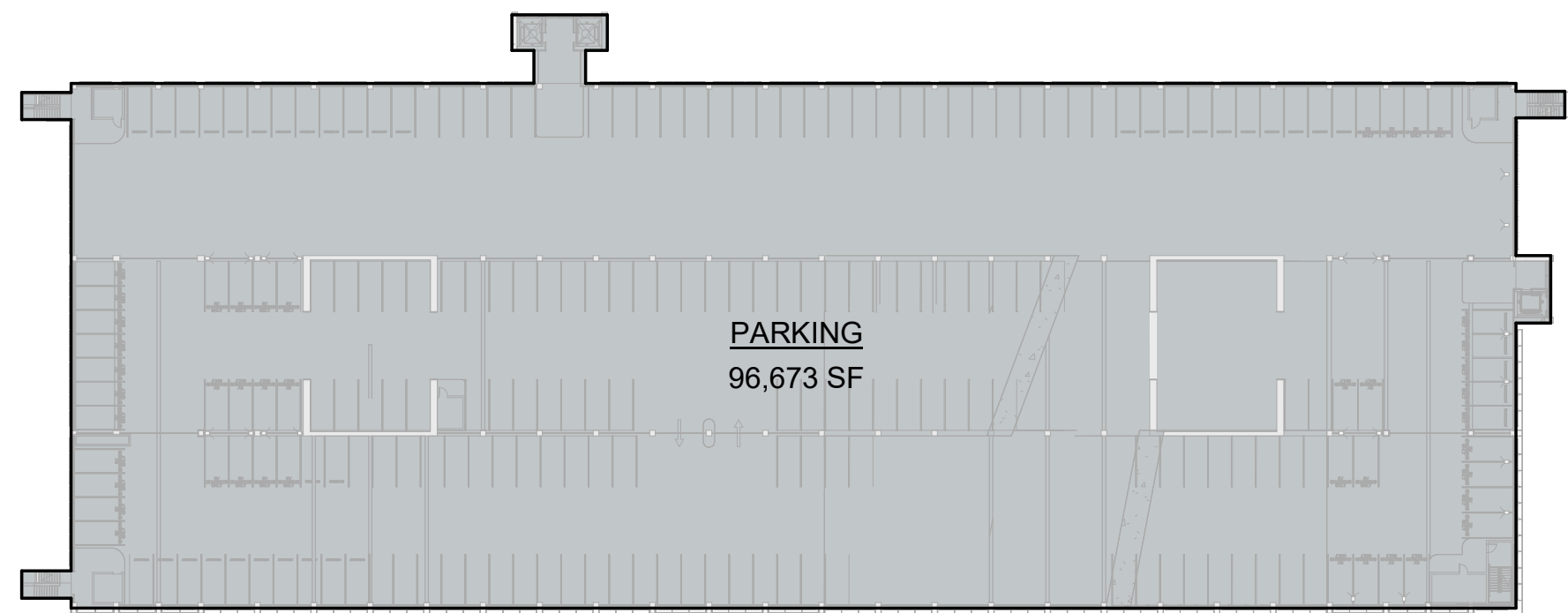
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1" = 60'-0"



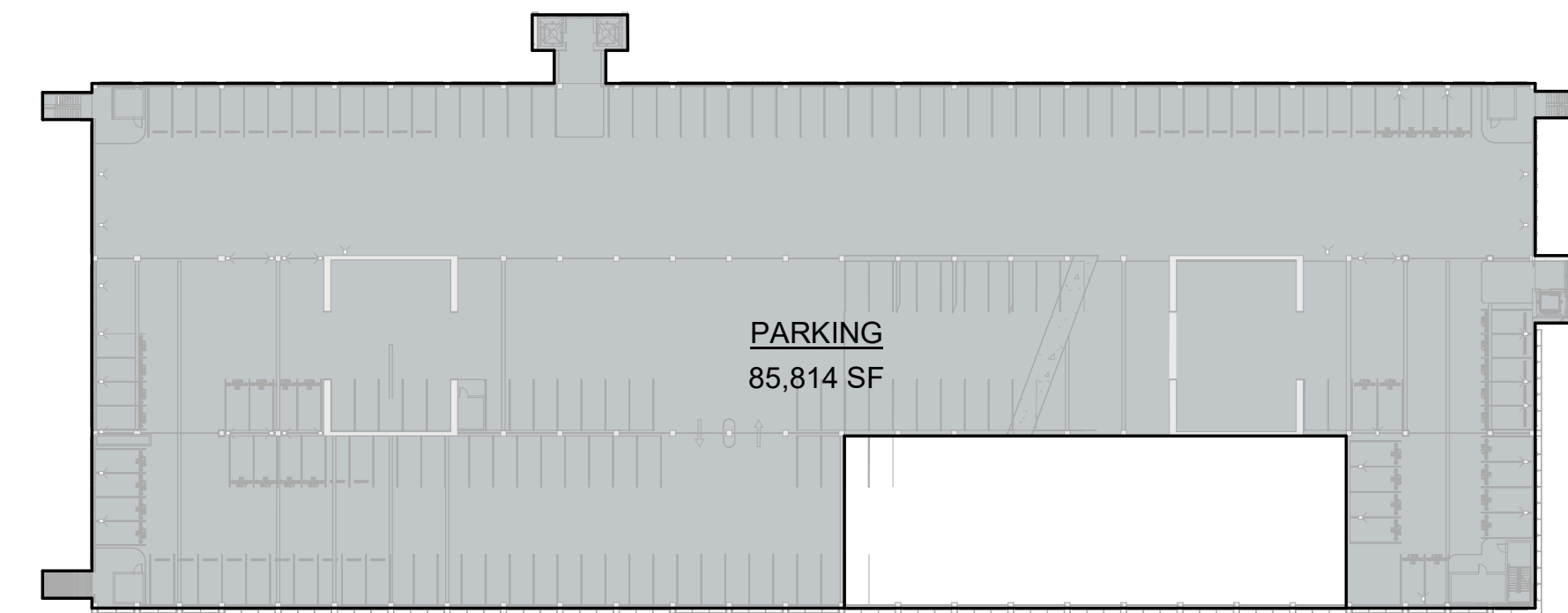
3 NG LEVEL 3 - GFA
1" = 60'-0"



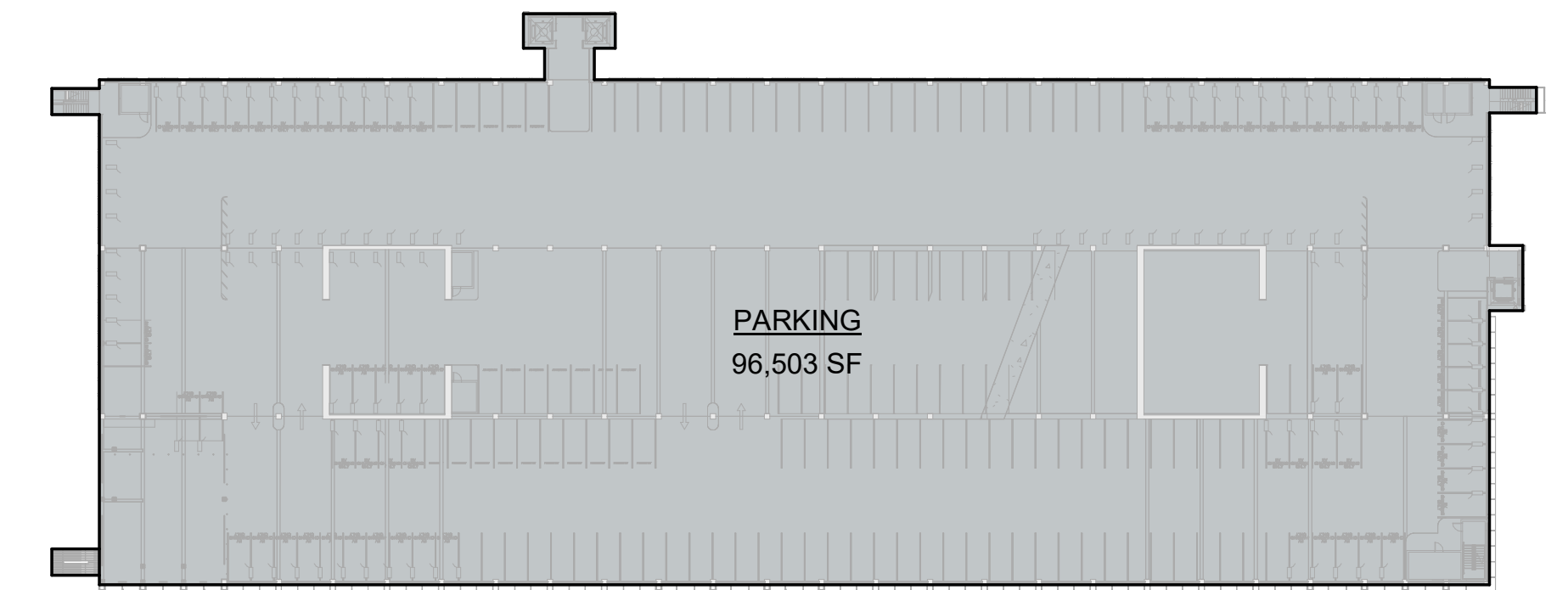
4 NG LEVEL 4 - GFA
1" = 60'-0"



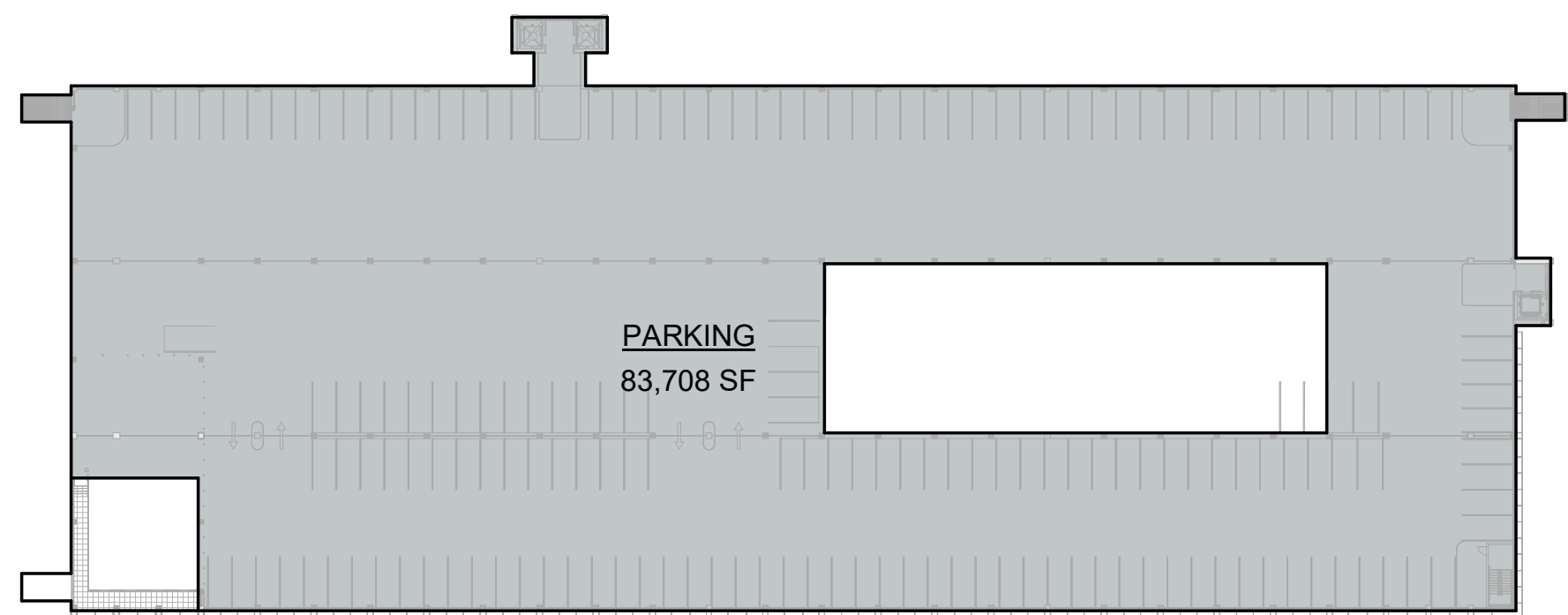
5 NG LEVEL 5 - GFA
1" = 60'-0"



6 NG LEVEL 6 - GFA
1" = 60'-0"



7 NG LEVEL 7 - GFA
1" = 60'-0"



8 NG LEVEL 8 - GFA
1" = 60'-0"

GROSS FLOOR AREA - NG INCLUSIONS	
Name	Area
NG LEVEL 1	
OFFICE	2,685 SF
UTILITY	885 SF
INCLUDED IN GFA PER ZONING CODE	3,570 SF

GROSS FLOOR AREA - NG EXCLUSIONS	
Name	Area
NG LEVEL 1	
BIKE PARKING	929 SF
MECH	93 SF
PARKING	94,469 SF
	95,491 SF
NG LEVEL 2	
PARKING	42,103 SF
	42,103 SF
NG LEVEL 3	
PARKING	97,971 SF
	97,971 SF
NG LEVEL 4	
PARKING	96,673 SF
	96,673 SF
NG LEVEL 5	
PARKING	96,673 SF
	96,673 SF
NG LEVEL 6	
PARKING	85,814 SF
	85,814 SF
NG LEVEL 7	
PARKING	96,503 SF
	96,503 SF
NG LEVEL 8	
PARKING	83,708 SF
	83,708 SF
EXCLUDED FROM GFA PER ZONING CODE	694,937 SF

SWATCH	USE
[Blue]	Office
[Red]	Retail
[Orange]	Circulation / Lobby / Common Area
[Green]	Utility / Service
[Grey]	Excluded from GFA

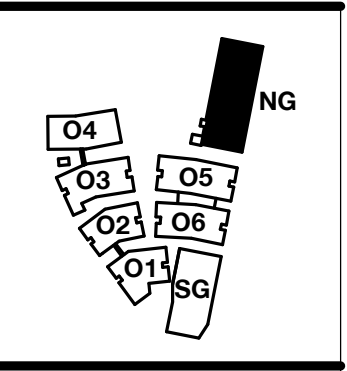
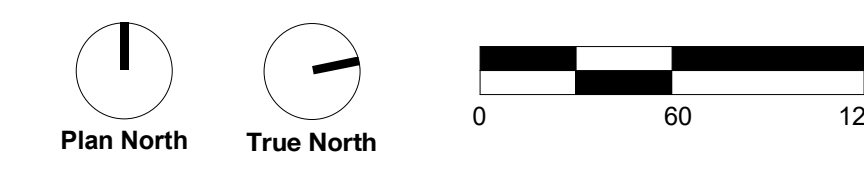
GROSS FLOOR AREA - TOTAL OFFICE CAMPUS SUMMARY							
GROSS FLOOR AREA - O1		GROSS FLOOR AREA - O2		GROSS FLOOR AREA - O3		GROSS FLOOR AREA - O4	
Level	Area	Level	Area	Level	Area	Level	Area
LEVEL 1	39,781 SF	LEVEL 1	28,221 SF	LEVEL 1	36,615 SF	LEVEL 1	36,624 SF
LEVEL 2	34,380 SF	LEVEL 2	35,533 SF	LEVEL 2	46,141 SF	LEVEL 2	37,430 SF
LEVEL 3	31,185 SF	LEVEL 3	34,184 SF	LEVEL 3	45,259 SF	LEVEL 3	35,542 SF
LEVEL 4	27,709 SF	LEVEL 4	32,792 SF	LEVEL 4	42,040 SF	LEVEL 4	30,852 SF
TOTAL	133,055 SF	LEVEL 5	28,903 SF	LEVEL 5	38,173 SF	LEVEL 5	28,018 SF
		TOTAL	159,634 SF	TOTAL	208,229 SF	TOTAL	168,466 SF
GROSS FLOOR AREA - O5		GROSS FLOOR AREA - O6		GROSS FLOOR AREA - SG		GROSS FLOOR AREA - NG	
Level	Area	Level	Area	Level	Area	Level	Area
LEVEL 1	50,849 SF	LEVEL 1	46,624 SF	SG LEVEL 1	1,106 SF	NG LEVEL 1	3,570 SF
LEVEL 2	48,968 SF	LEVEL 2	44,696 SF	TOTAL	1,106 SF	TOTAL	3,570 SF
LEVEL 3	49,270 SF	LEVEL 3	44,008 SF				
LEVEL 4	45,039 SF	LEVEL 4	40,921 SF				
LEVEL 5	42,205 SF	LEVEL 5	38,087 SF				
TOTAL	236,331 SF	TOTAL	214,336 SF				
GROSS FLOOR AREA - PAVILION							
Level	Area						
LEVEL 1	1,905 SF						
TOTAL	1,905 SF						

GROSS FLOOR AREA - TOTAL EXCLUSIONS UNDER 1% AND 3% CALCS	
RETAIL MECH - total exclusions in 1% and 3% calcs	1,312 SF
MECH - total exclusions in 1% and 3% calcs	45,665 SF
1% Exemption	9,759 SF
3% Exemption	35,906 SF

GROSS FLOOR AREA - TOTAL OFFICE CAMPUS
1,126,631 SF

GROSS FLOOR AREA - TOTAL RETAIL
30,041 SF

Space designated for Office use may include amenity uses, as defined in CDP Condition 3.1.4.1. Office uses and Accessory uses (as defined in CDP Condition 3.1.4.1) each can be located anywhere within the Campus District; space designated for Office use can be located in the MCS; and space designated for Accessory use can be located in the portions of the Campus District outside of the MCS.



WILLOW VILLAGE
Architectural Control Package - Parcel 1 (Portion)
Menlo Park, CA

SCALE: As indicated
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR USER CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
Square Footage Plan - North Garage

DRAWING NO:
A9.04.9

OFFICE BUILDING HEIGHT ANALYSIS
Parcel # 1(Portion)

Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE. to roof)	Roof Height (Nat. to roof)	Footprint (SF)	Roof Height x Footprint
O1-Roof	10.54	15.00	4.46	63.00	67.46	35,382.96	2,386,934.48
O1-2	10.54	15.00	4.46	18.46	22.92	6,291.93	144,211.04
O1-3	10.54	15.00	4.46	33.46	37.92	2,471.31	93,712.08
O1-4	10.54	15.00	4.46	48.46	52.92	1,328.35	70,296.28
Total						45,474.55	2,695,153.87
Bldg 1 - Weighted Average Height (ft)							59.3
Bldg 1 - Proposed Maximum Height (ft)							67.5

Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE. to roof)	Roof Height (Nat. to roof)	Footprint (SF)	Roof Height x Footprint
O2-Roof	9.59	15.00	5.41	78.00	83.41	38,331.65	3,197,242.93
O2-2	9.59	15.00	5.41	18.46	23.87	494.41	11,801.57
O2-4	9.59	15.00	5.41	48.46	53.87	1,190.81	64,148.93
O2-5	9.59	15.00	5.41	63.46	68.87	2,326.03	160,193.69
Total						42,342.90	3,433,387.11
Bldg 2 - Weighted Average Height (ft)							81.1
Bldg 2 - Proposed Maximum Height (ft)							83.4

Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE. to roof)	Roof Height (Nat. to roof)	Footprint (SF)	Roof Height x Footprint
O3-Skylight	9.87	15.00	5.13	23.29	28.42	290.88	8,206.81
O3-Roof	9.87	15.00	5.13	78.00	83.13	47,869.94	3,979,428.11
O3-2	9.87	15.00	5.13	18.46	23.59	1,084.81	25,590.67
O3-3	9.87	15.00	5.13	33.46	38.59	361.14	13,936.39
O3-4	9.87	15.00	5.13	48.46	53.59	2,030.41	108,809.67
O3-5	9.87	15.00	5.13	63.46	68.59	2,283.24	156,607.43
Total						53,920.42	4,292,639.09
Bldg 3 - Weighted Average Height (ft)							79.6
Bldg 3 - Proposed Maximum Height (ft)							83.1

Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE. to roof)	Roof Height (Nat. to roof)	Footprint (SF)	Roof Height x Footprint
T3-3-Roof	10.69	15.00	4.31	33.46	37.77	7,486.66	282,771.15
T3-2	10.69	15.00	4.31	18.46	22.77	5,044.07	114,853.47
O4-Skylight	10.69	15.00	4.31	84.5	88.81	390.35	34,666.98
O4-Roof	10.69	15.00	4.31	78.00	82.31	36,149.30	2,975,448.88
O4-3	10.69	15.00	4.31	33.46	37.77	1,019.60	38,510.29
O4-4	10.69	15.00	4.31	48.46	52.77	4,060.77	214,286.83
O4-5	10.69	15.00	4.31	63.46	67.77	1,490.40	101,004.41
Total						55,641.15	3,761,542.02
Bldg 4 - Weighted Average Height (ft)							67.6
Bldg 4 - Proposed Maximum Height (ft)							82.3

Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE. to roof)	Roof Height (Nat. to roof)	Footprint (SF)	Roof Height x Footprint
O5-Skylight	9.83	15.00	5.17	84.5	89.67	372.11	33,367.10
O5-Roof	9.83	15.00	5.17	78.00	83.17	53,014.85	4,409,245.07
O5-4	9.83	15.00	5.17	48.46	53.63	2,763.04	148,181.84
O5-5	9.83	15.00	5.17	63.46	68.63	1,533.21	105,224.20
Total						57,683.21	4,696,018.22
Bldg 5 - Weighted Average Height (ft)							81.4
Bldg 5 - Proposed Maximum Height (ft)							83.2

Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE. to roof)	Roof Height (Nat. to roof)	Footprint (SF)	Roof Height x Footprint
O6-Skylight	10.73	15.00	4.27	84.5	88.77	364.11	32,322.04
O6-Roof	10.73	15.00	4.27	78.00	82.27	48,205.59	3,965,873.89
O6-3	10.73	15.00	4.27	33.46	37.73	4,718.23	178,018.82
O6-Connector	10.73	15.00	4.27	37.75	42.02	4,718.23	198,260.02
O6-4	10.73	15.00	4.27	48.46	52.73	2,304.73	121,528.41
O6-5	10.73	15.00	4.27	63.46	67.73	1,367.06	92,590.97
Total						61,677.95	4,588,594.16
Bldg 6 - Weighted Average Height (ft)							74.4
Bldg 6 - Proposed Maximum Height (ft)							82.3

Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE. to roof)	Roof Height (Nat. to roof)	Footprint (SF)	Roof Height x Footprint
NG-T/PV	10.20	13.00	2.80	89.75	92.55	51,077.53	4,727,225.40
NG-8 STAIR	10.20	13.00	2.80	86.46	89.26	373.88	33,372.53
NG-8 CATWALK	10.20	13.00	2.80	78.75	81.55	571.29	46,588.70
NG-8	10.20	13.00	2.80	77.80	77.80	48,738.40	3,791,847.52
NG-7 STAIR	10.20	13.00	2.80	65.83	68.63	171.97	11,802.30
NG-7	10.20	13.00	2.80	64.75	67.55	1,649.47	111,421.70
NG-4	10.20	13.00	2.80	34.00	36.80	170.76	6,283.97
NG-3	10.20	13.00	2.80	22.75	25.55	54.00	1,379.70
NG-WALKWAY	10.20	13.00	2.80	17.46	20.26	1,557.67	31,558.39
SP2	10.20	14.75	4.55	24.83	29.38	4,787.24	140,649.11
Total						109,152.21	8,902,129.32
NG - Weighted Average Height (ft)							81.6
NG - Proposed Maximum Height (ft)							92.6

Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE. to roof)	Roof Height (Nat. to roof)	Footprint (SF)	Roof Height x Footprint
SG-T/PV	10.88	14.67	3.79	79.50	83.29	37,073.68	3,087,866.81
SG-STAIR	10.88	14.67	3.79	76.11	79.90	236.26	18,877.17
SG-7	10.88	14.67	3.79	64.75	68.54	36,653.02	2,512,197.99
SG-6	10.88	14.67	3.79	54.50	58.29	7,234.53	421,700.75
SG-WALKWAY	10.88	14.67	3.79	15.79	19.58	1,301.84	25,490.03
Total						82,499.33	6,066,132.75
SG - Weighted Average Height (ft)							73.5
SG - Proposed Maximum Height (ft)							83.3

Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE. to roof)	Roof Height (Nat. to roof)	Footprint (SF)	Roof Height x Footprint
SP1	9.87	15.00	5.13	20.75	25.88	4,074.18	105,439.78
Total						4,074.18	105,439.78
SP1 - Weighted Average Height (ft)							25.9
SP1 - Proposed Maximum Height (ft)							25.9

Grand Total						512,465.9	38,541,036.33
Total Campus - Weighted Average Height (ft)							75.2

16.04.330 Height of structure.	Except as otherwise provided in this chapter, "height of structure" means the vertical distance from the <u>average level of the highest and lowest points of the natural grade</u> of the portion of the lot covered by the structure to the topmost point of the structure, excluding elevator equipment rooms, ventilating and air conditioning equipment and chimneys. (Ord. 938 § 1 (part), 2005; Ord. 822 § 2 (part), 1991; Prior code § 30.232)
16.43.050 Development regulations.	Height: 67.5 feet; Maximum height: 110 feet A parapet used to screen mechanical equipment is not included in the height or maximum height. The maximum allowed height for rooftop mechanical equipment is 14 feet, except for elevator towers and associated equipment, which may be 20 feet. Properties within the flood zone or subject to flooding and sea level rise are allowed a 10-foot increase in height and maximum height.

TABLE ABBREVIATIONS

- FASL = FEET ABOVE SEA LEVEL
- FFE = FINISHED FLOOR ELEVATION
- NAT. = NATURAL GRADE
- NG = NORTH GARAGE
- SG = SOUTH GARAGE
- SP1 & SP2 = SECURITY PAVILION 1 & 2
- T/PV = TOP OF PHOTOVOLTAIC PANELS

SCALE:
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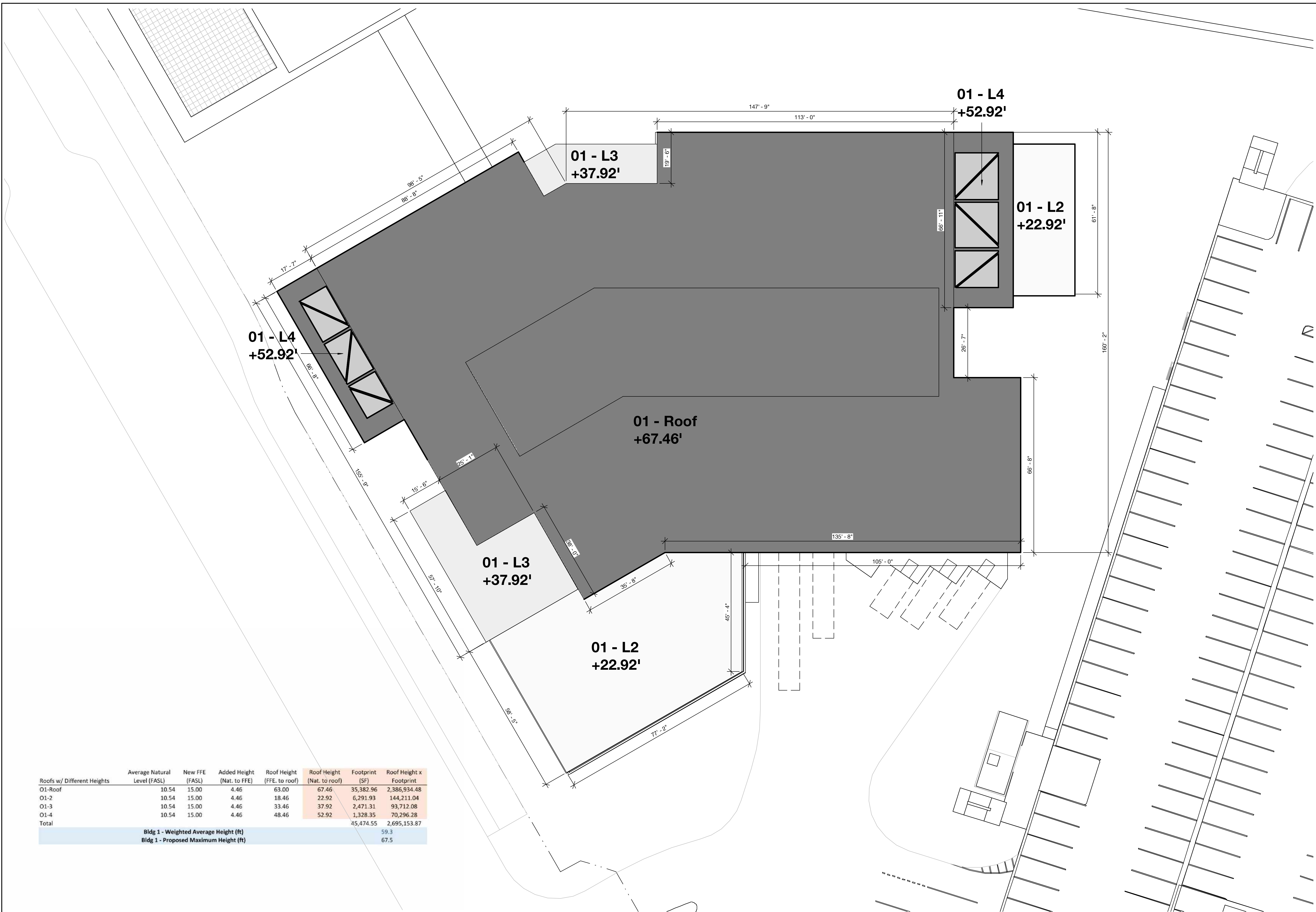
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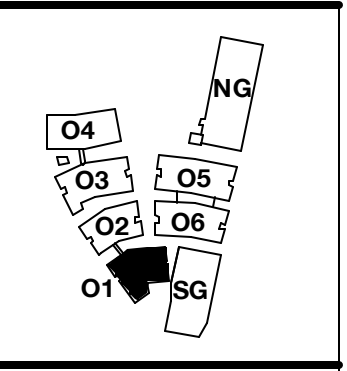
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Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE, to roof)	Roof Height (Nat. to roof)	Footprint (SF)	Roof Height x Footprint
O1-Roof	10.54	15.00	4.46	63.00	67.46	35,382.96	2,386,934.48
O1-2	10.54	15.00	4.46	18.46	22.92	6,291.93	144,211.04
O1-3	10.54	15.00	4.46	33.46	37.92	2,471.31	93,712.08
O1-4	10.54	15.00	4.46	48.46	52.92	1,328.35	70,296.28
Total						45,474.55	2,695,153.87
Bldg 1 - Weighted Average Height (ft)							59.3
Bldg 1 - Proposed Maximum Height (ft)							67.5



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

SCALE: 1/16" = 1'-0"
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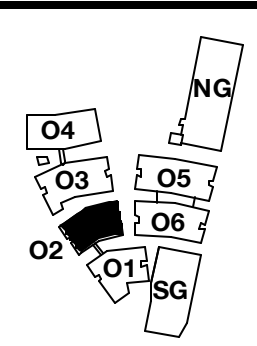
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03/10/2023	ACP

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NO.	DATE	ISSUE

DRAWING TITLE:
Building Height Analysis
 Plan - 01

DRAWING NO:
A9.05.1





PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

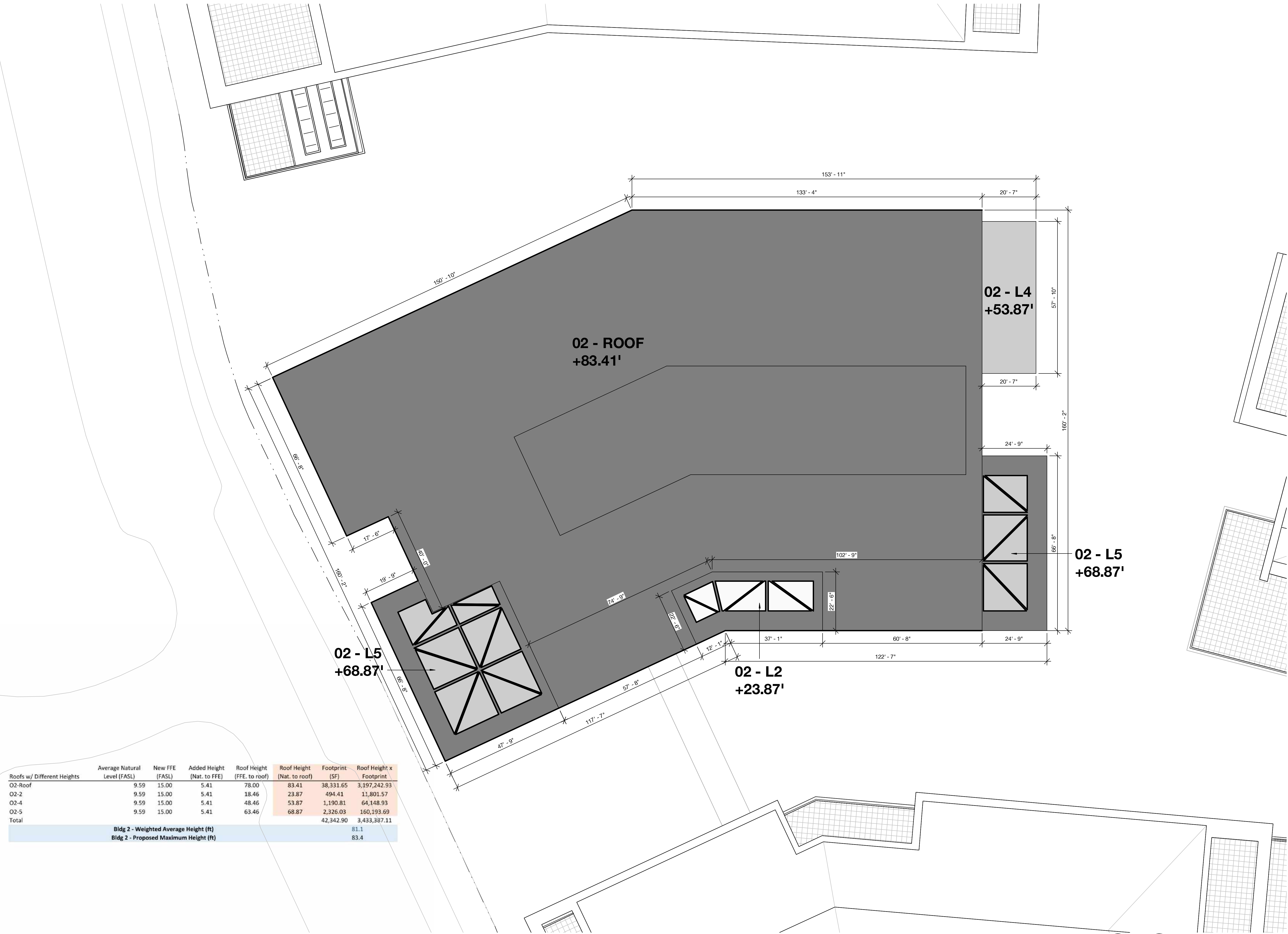
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DRAWING TITLE:
Building Height Analysis
 Plan - 02

DRAWING NO:
A9.05.2

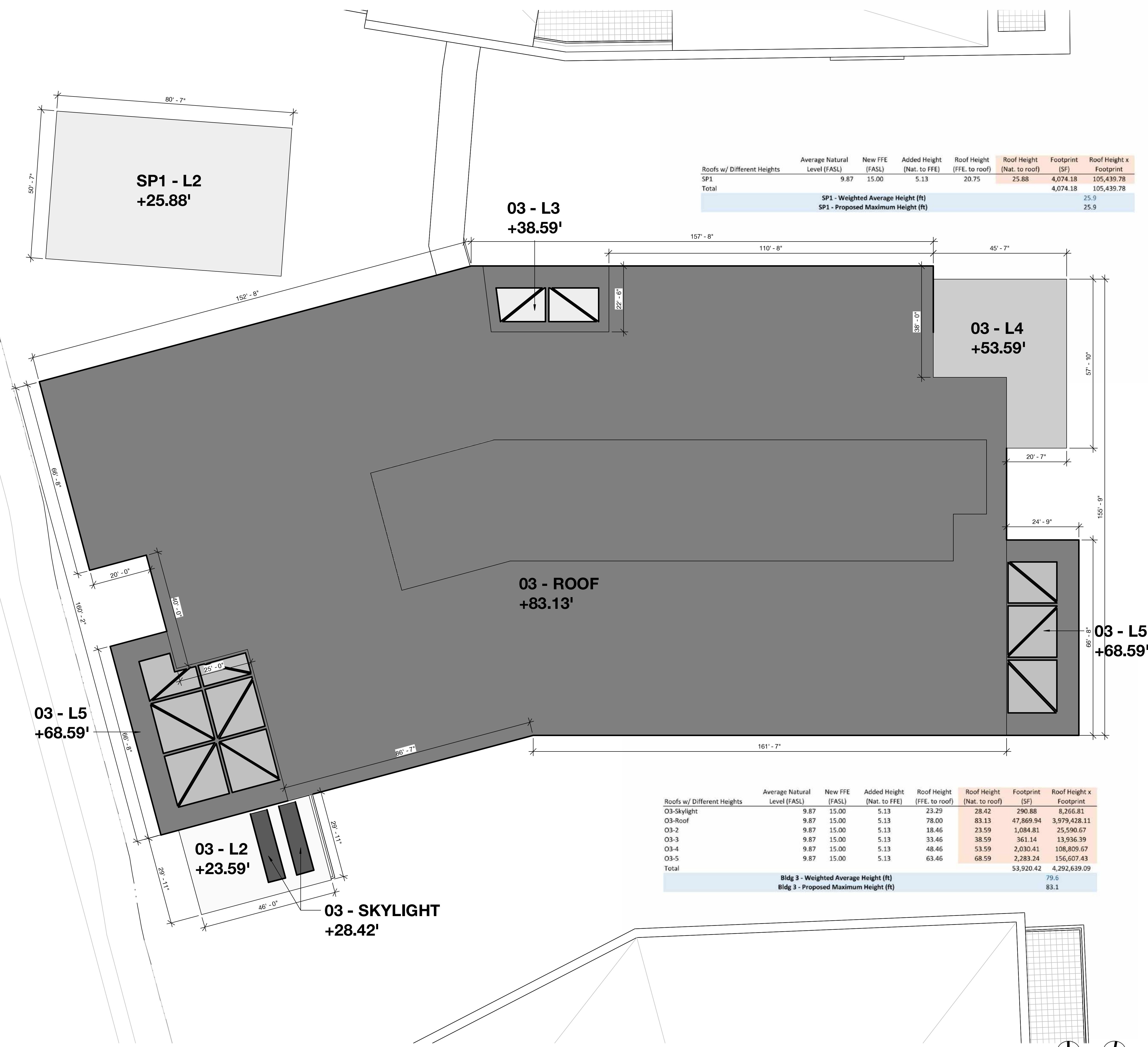


Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE, to roof)	Roof Height (Nat. to roof)	Footprint (SF)	Roof Height x Footprint
O2-Roof	9.59	15.00	5.41	78.00	83.41	38,331.65	3,197,242.93
O2-2	9.59	15.00	5.41	18.46	23.87	494.41	11,801.57
O2-4	9.59	15.00	5.41	48.46	53.87	1,190.81	64,148.93
O2-5	9.59	15.00	5.41	63.46	68.87	2,326.03	160,193.69
Total						42,342.90	3,433,387.11
Bldg 2 - Weighted Average Height (ft)							81.1
Bldg 2 - Proposed Maximum Height (ft)							83.4

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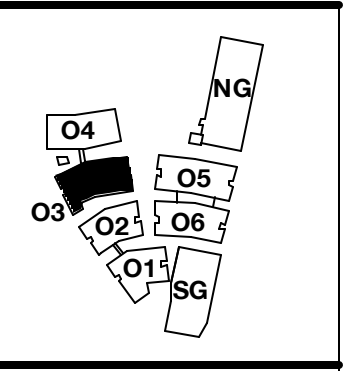


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Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE. to roof)	Roof Height (Nat. to roof)	Footprint (SF)	Roof Height x Footprint
SP1	9.87	15.00	5.13	20.75	25.88	4,074.18	105,439.78
Total						4,074.18	105,439.78
SP1 - Weighted Average Height (ft)							25.9
SP1 - Proposed Maximum Height (ft)							25.9

Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE. to roof)	Roof Height (Nat. to roof)	Footprint (SF)	Roof Height x Footprint
03-Skylight	9.87	15.00	5.13	23.29	28.42	290.88	8,266.81
03-Roof	9.87	15.00	5.13	78.00	83.13	47,869.94	3,979,428.11
03-2	9.87	15.00	5.13	18.46	23.59	1,084.81	25,590.67
03-3	9.87	15.00	5.13	33.46	38.59	361.14	13,936.39
03-4	9.87	15.00	5.13	48.46	53.59	2,030.41	108,809.67
03-5	9.87	15.00	5.13	63.46	68.59	2,283.24	156,607.43
Total						53,920.42	4,292,639.09
Bldg 3 - Weighted Average Height (ft)							79.6
Bldg 3 - Proposed Maximum Height (ft)							83.1



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

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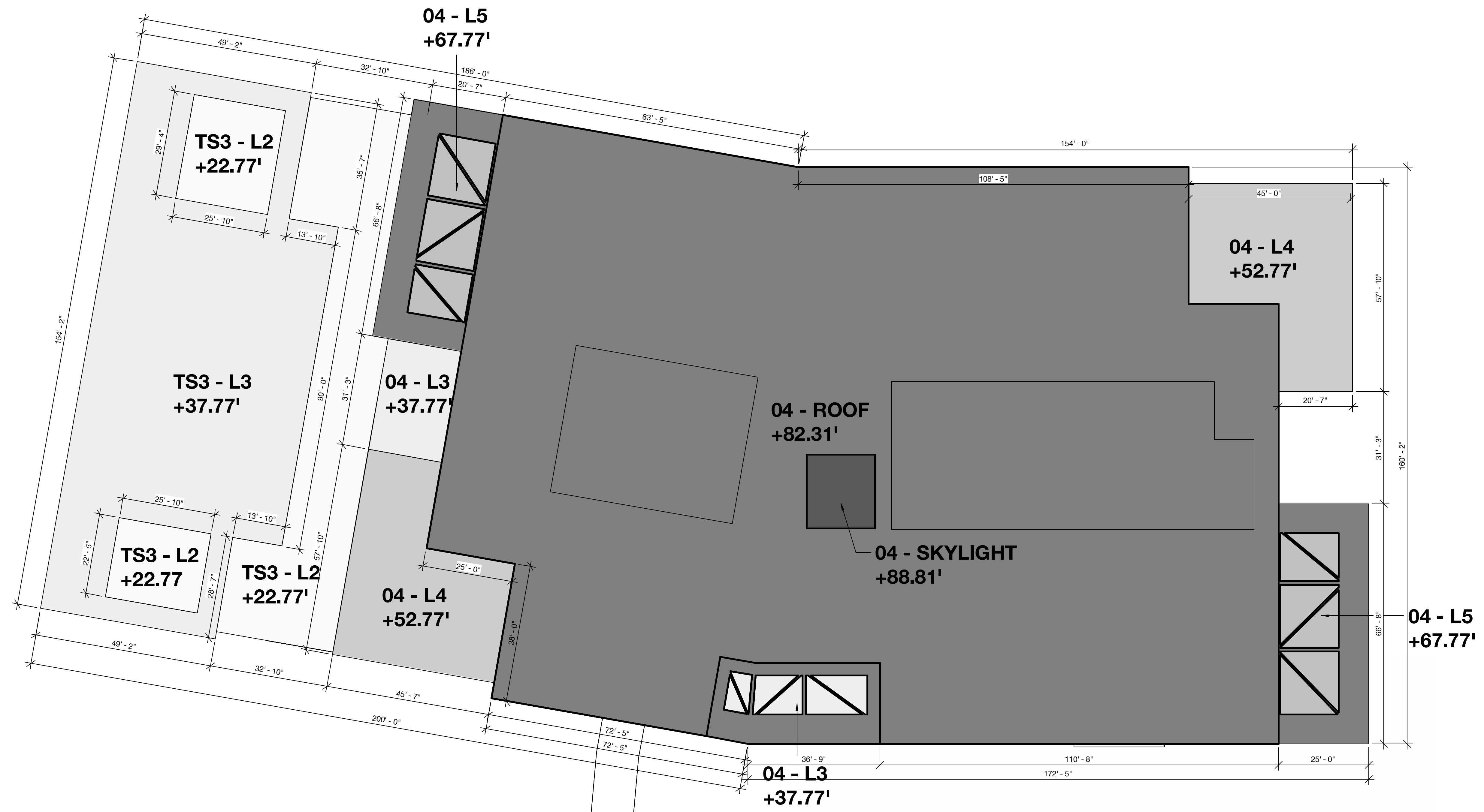
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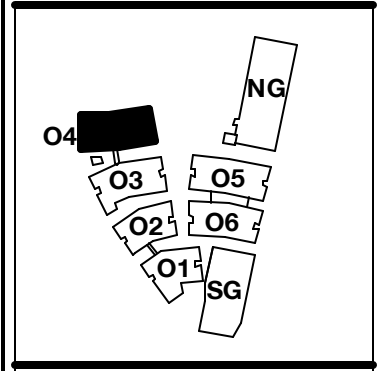
DRAWING TITLE:
Building Height Analysis
 Plan - 03

DRAWING NO:
A9.05.3





Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE. to roof)	Roof Height (Nat. to roof)	Footprint (SF)	Roof Height x Footprint
TS3-Roof	10.69	15.00	4.31	33.46	37.77	7,486.66	282,771.15
TS3-2	10.69	15.00	4.31	18.46	22.77	5,044.07	114,853.47
04-Skylight	10.69	15.00	4.31	84.5	88.81	390.35	34,666.98
04-Roof	10.69	15.00	4.31	78.00	82.31	36,149.30	2,975,448.88
04-3	10.69	15.00	4.31	33.46	37.77	1,019.60	38,510.29
04-4	10.69	15.00	4.31	48.46	52.77	4,060.77	214,286.83
04-5	10.69	15.00	4.31	63.46	67.77	1,490.40	101,004.41
Total						55,641.15	3,761,542.02
Bldg 4 - Weighted Average Height (ft)							67.6
Bldg 4 - Proposed Maximum Height (ft)							82.3



PENINSULA INNOVATION PARTNERS

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 Menlo Park, CA

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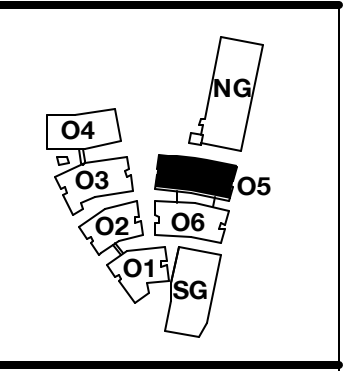
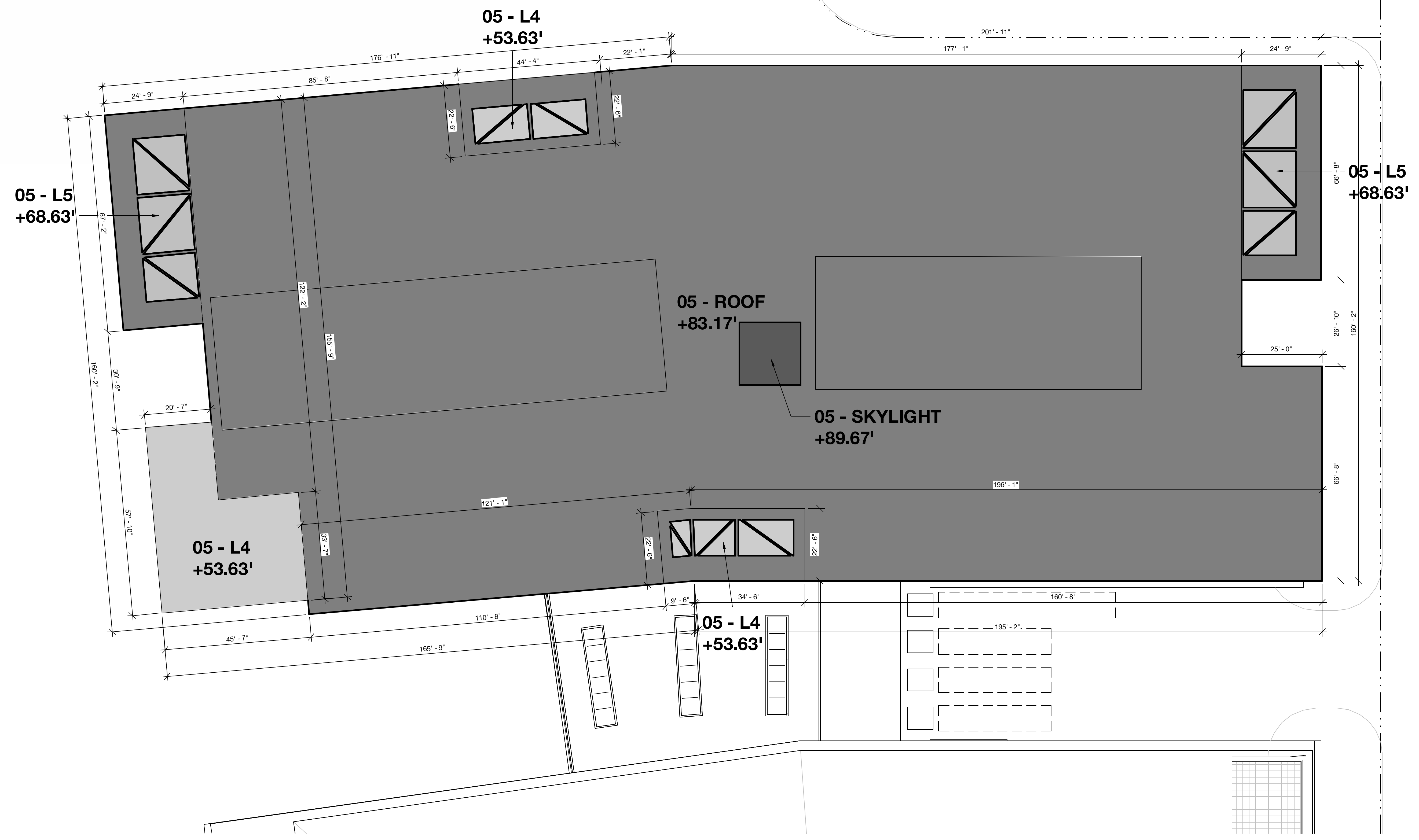
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DRAWING TITLE:
Building Height Analysis
 Plan - 04

DRAWING NO:
A9.05.4

Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE. to roof)	Roof Height (Nat. to roof)	Footprint (SF)	Roof Height x Footprint
O5-Skylight	9.83	15.00	5.17	84.5	89.67	372.11	33,367.10
O5-Roof	9.83	15.00	5.17	78.00	83.17	53,014.85	4,409,245.07
O5-4	9.83	15.00	5.17	48.46	53.63	2,763.04	148,181.84
O5-5	9.83	15.00	5.17	63.46	68.63	1,533.21	105,224.20
Total						57,683.21	4,696,018.22
Bldg 5 - Weighted Average Height (ft)							81.4
Bldg 5 - Proposed Maximum Height (ft)							83.2



PENINSULA INNOVATION PARTNERS

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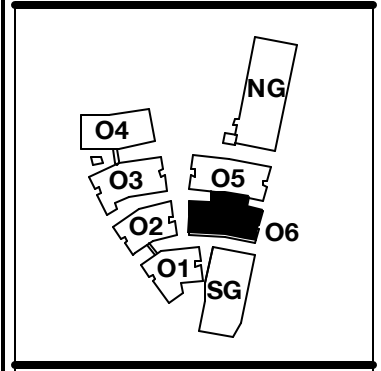
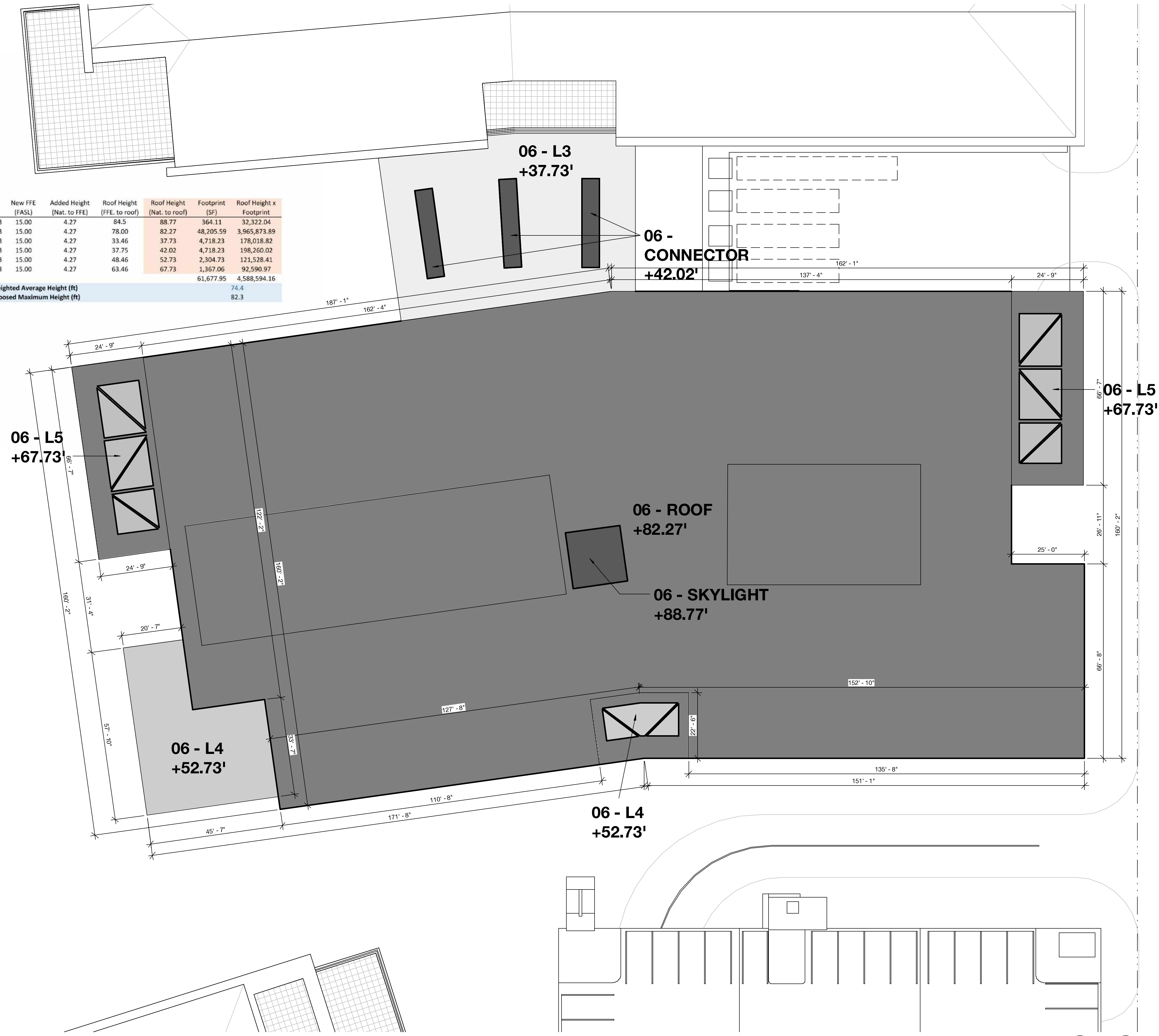
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Building Height Analysis
 Plan - 05

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Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE. to roof)	Roof Height (Nat. to roof)	Footprint (SF)	Roof Height x Footprint
O6-Skylight	10.73	15.00	4.27	84.5	88.77	364.11	32,322.04
O6-Roof	10.73	15.00	4.27	78.00	82.27	48,205.59	3,965,873.89
O6-3	10.73	15.00	4.27	33.46	37.73	4,718.23	178,018.82
O6-Connector	10.73	15.00	4.27	37.75	42.02	4,718.23	198,260.02
O6-4	10.73	15.00	4.27	48.46	52.73	2,304.73	121,528.41
O6-5	10.73	15.00	4.27	63.46	67.73	1,367.06	92,590.97
Total						61,677.95	4,588,594.16
Bldg 6 - Weighted Average Height (ft)							74.4
Bldg 6 - Proposed Maximum Height (ft)							82.3



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

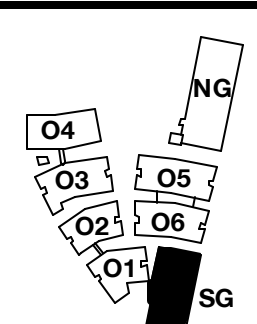
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NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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DATE	ISSUE
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DRAWING TITLE:
Building Height Analysis
 Plan - 06

DRAWING NO:
A9.05.6



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

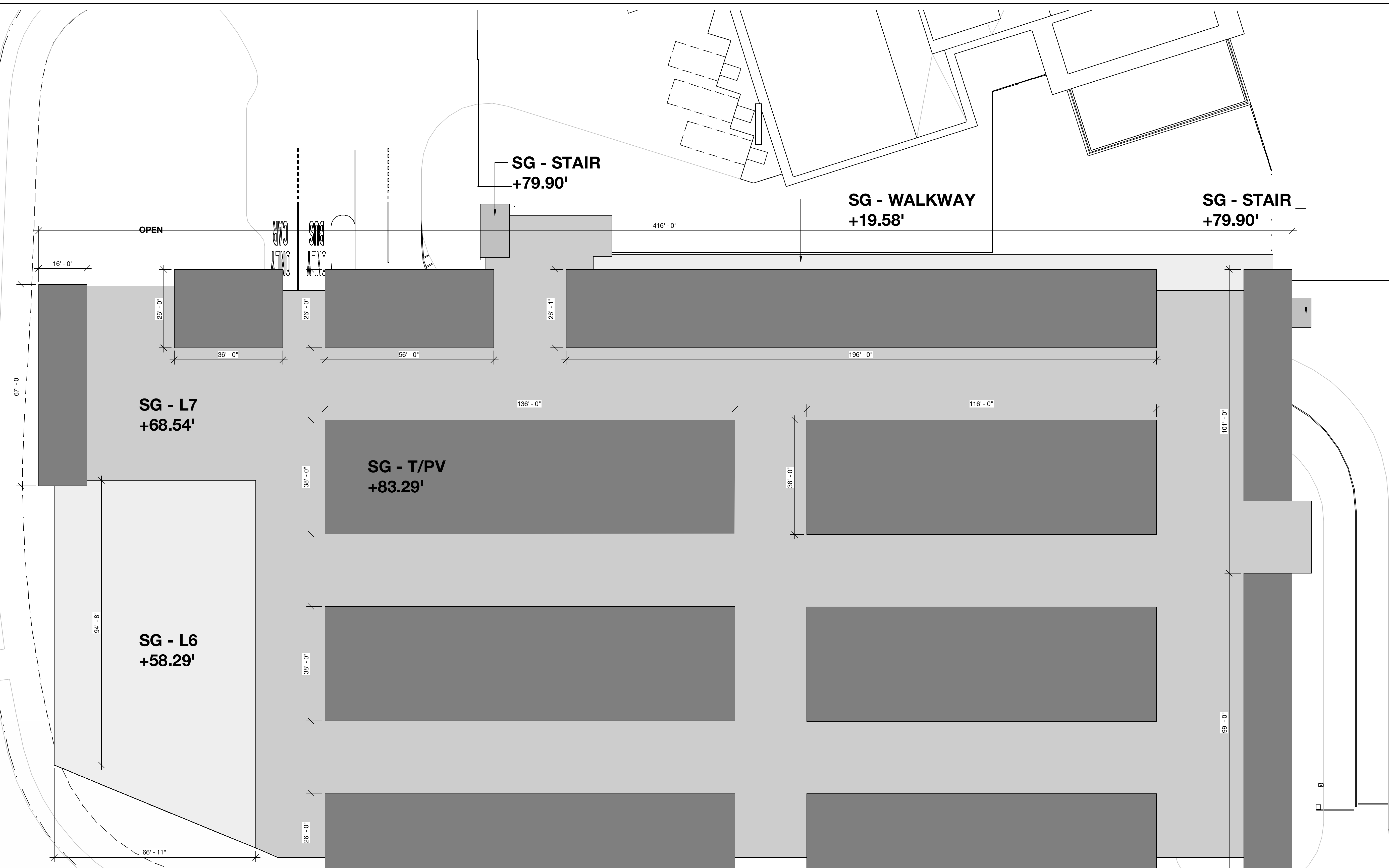
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DATE	ISSUE
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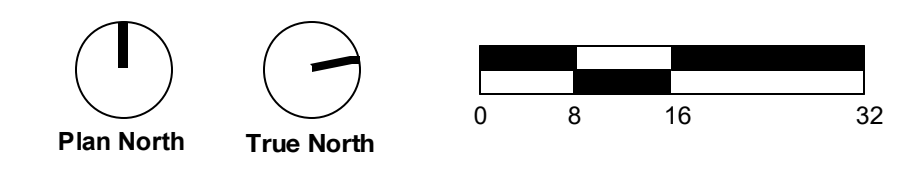
DRAWING TITLE:
Building Height Analysis
 Plan - South Garage

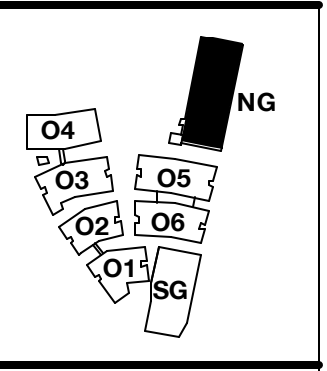
DRAWING NO:
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Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE. to roof)	Roof Height (Nat. to roof)	Footprint (SF)	Roof Height x Footprint
SG-T/PV	10.88	14.67	3.79	79.50	83.29	37,073.68	3,087,866.81
SG-STAIR	10.88	14.67	3.79	76.11	79.90	236.26	18,877.17
SG-7	10.88	14.67	3.79	64.25	68.54	36,653.02	2,512,197.99
SG-6	10.88	14.67	3.79	54.50	58.29	7,234.53	421,700.75
SG-WALKWAY	10.88	14.67	3.79	15.79	19.58	1,301.84	25,490.03
Total						82,499.33	6,066,132.75
		SG - Weighted Average Height (ft)					73.5
		SG - Proposed Maximum Height (ft)					83.3

2/16/2023 7:33:50 PM





PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

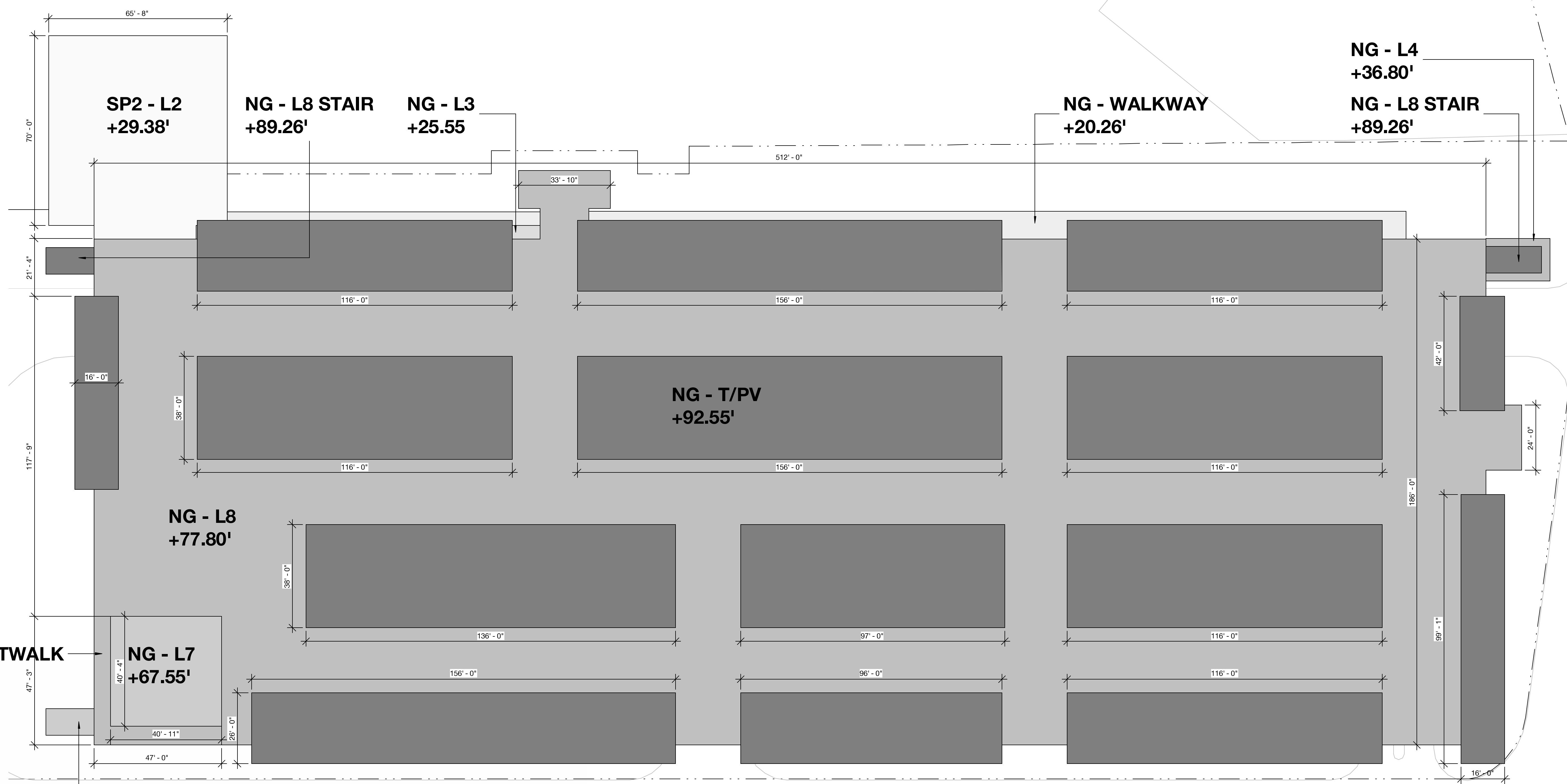
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NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEE CALLOUTS FOR DIMENSIONS. DIMENSIONS FOR MEASUREMENTS THAT ARE NOT INDICATED.

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DATE	ISSUE
03/10/2023	ACP

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NO.	DATE	ISSUE

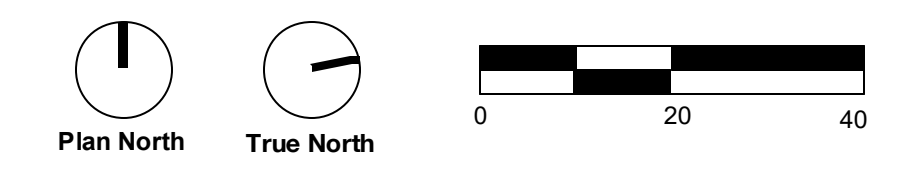
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**Building Height Analysis
 Plan - North Garage**

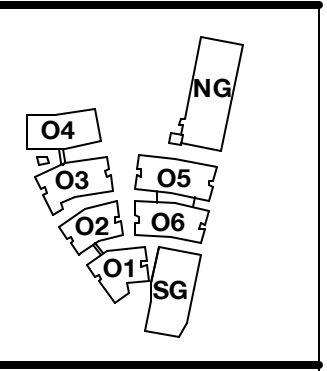
DRAWING NO:
A9.05.8



**NG - L7 STAIR
 +68.63'**

Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE. to roof)	Roof Height (Nat. to roof)	Footprint (SF)	Roof Height x Footprint
NG-T/PV	10.20	13.00	2.80	89.75	92.55	51,077.53	4,727,225.40
NG-8 STAIR	10.20	13.00	2.80	86.46	89.26	373.88	33,372.53
NG-8 CATWALK	10.20	13.00	2.80	78.75	81.55	571.29	46,588.70
NG-8	10.20	13.00	2.80	75.00	77.80	48,738.40	3,791,847.52
NG-7 STAIR	10.20	13.00	2.80	65.83	68.63	171.97	11,802.30
NG-7	10.20	13.00	2.80	64.75	67.55	1,649.47	111,421.70
NG-4	10.20	13.00	2.80	34.00	36.80	170.76	6,283.97
NG-3	10.20	13.00	2.80	22.75	25.55	54.00	1,379.70
NG-WALKWAY	10.20	13.00	2.80	17.46	20.26	1,557.67	31,558.39
SP2	10.20	14.75	4.55	24.83	29.38	4,787.24	140,649.11
Total						109,152.21	8,902,129.32
	NG - Weighted Average Height (ft)						81.6
	NG - Proposed Maximum Height (ft)						92.6





PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

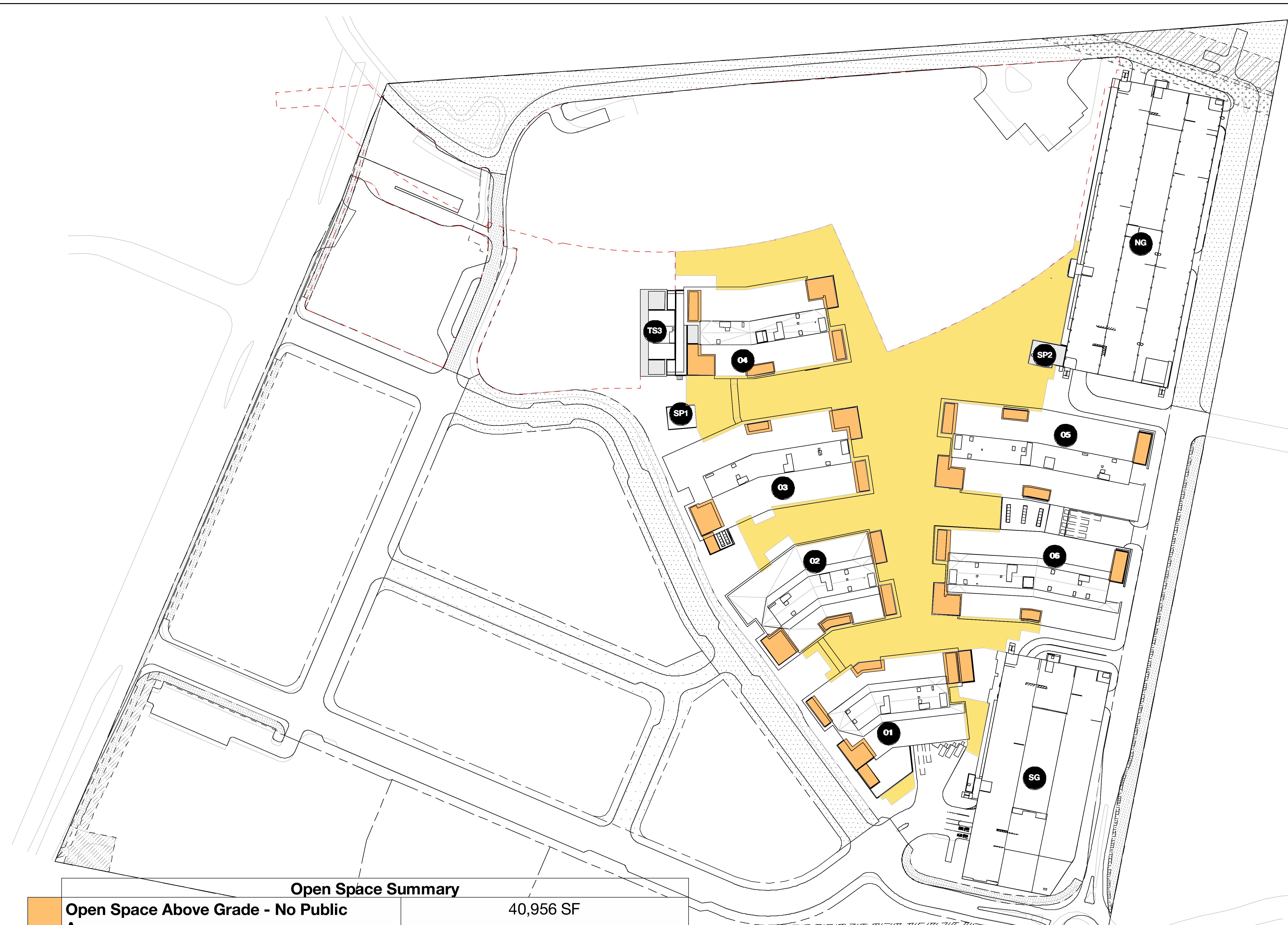
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NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

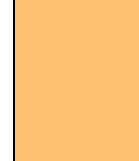

MILESTONES	
DATE	ISSUE
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NO.	DATE	ISSUE

DRAWING TITLE:
 Open Space Plan

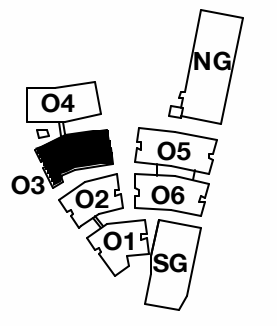
DRAWING NO:
A9.06



Open Space Summary	
 Open Space Above Grade - No Public Access	40,956 SF
 Open Space at Grade - No Public Access	204,961 SF
Grand total	245,916 SF

--- NOTE: ACP BOUNDARY LINES ARE ONLY FOR DESIGN AND DEMONSTRATING ZONING COMPLIANCE PURPOSES. THEY DO NOT REPRESENT NOR IMPLY ANY PARCEL OR PROPERTY BOUNDARIES





PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

SCALE: 1" = 20'-0"
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES

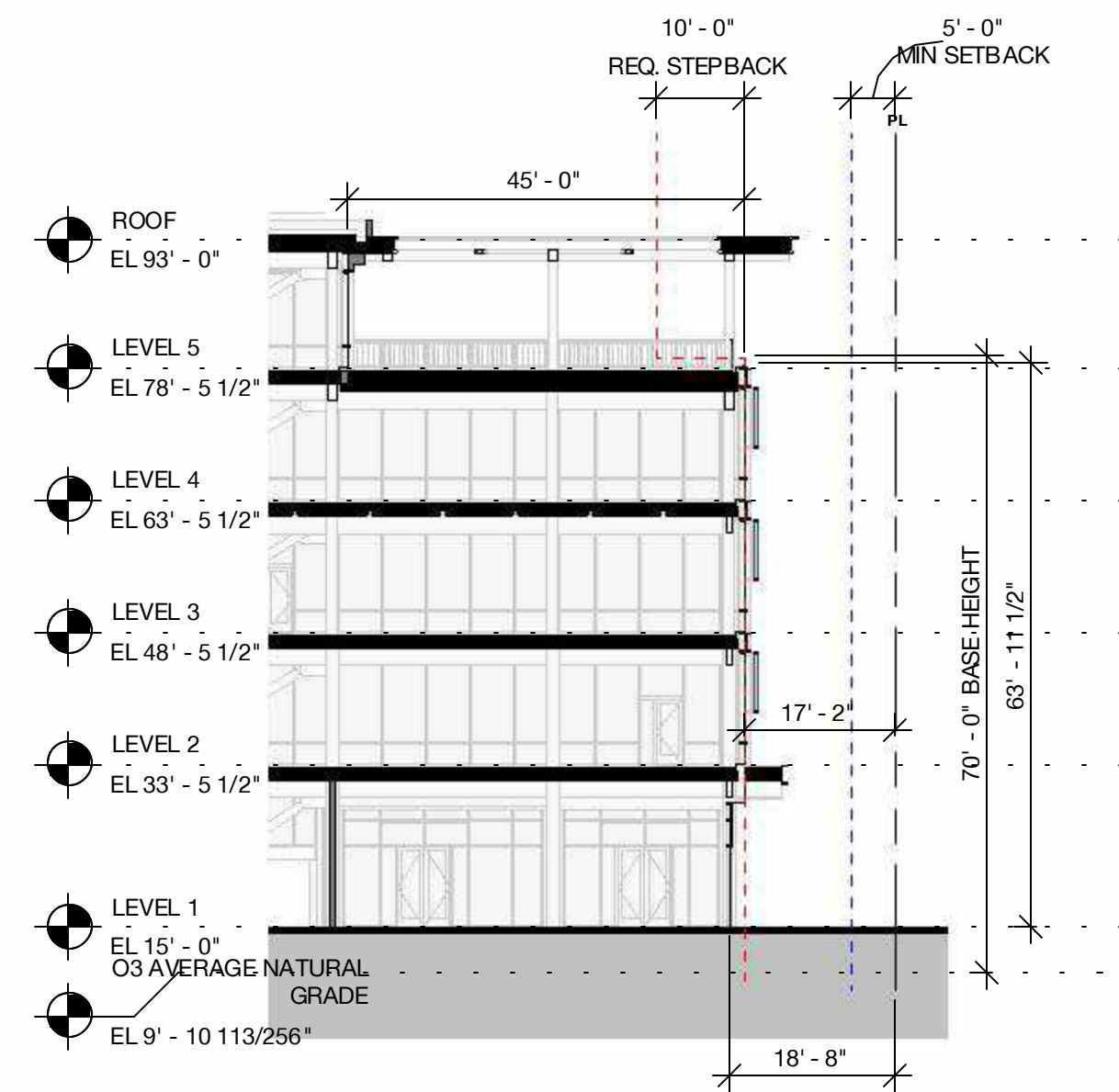
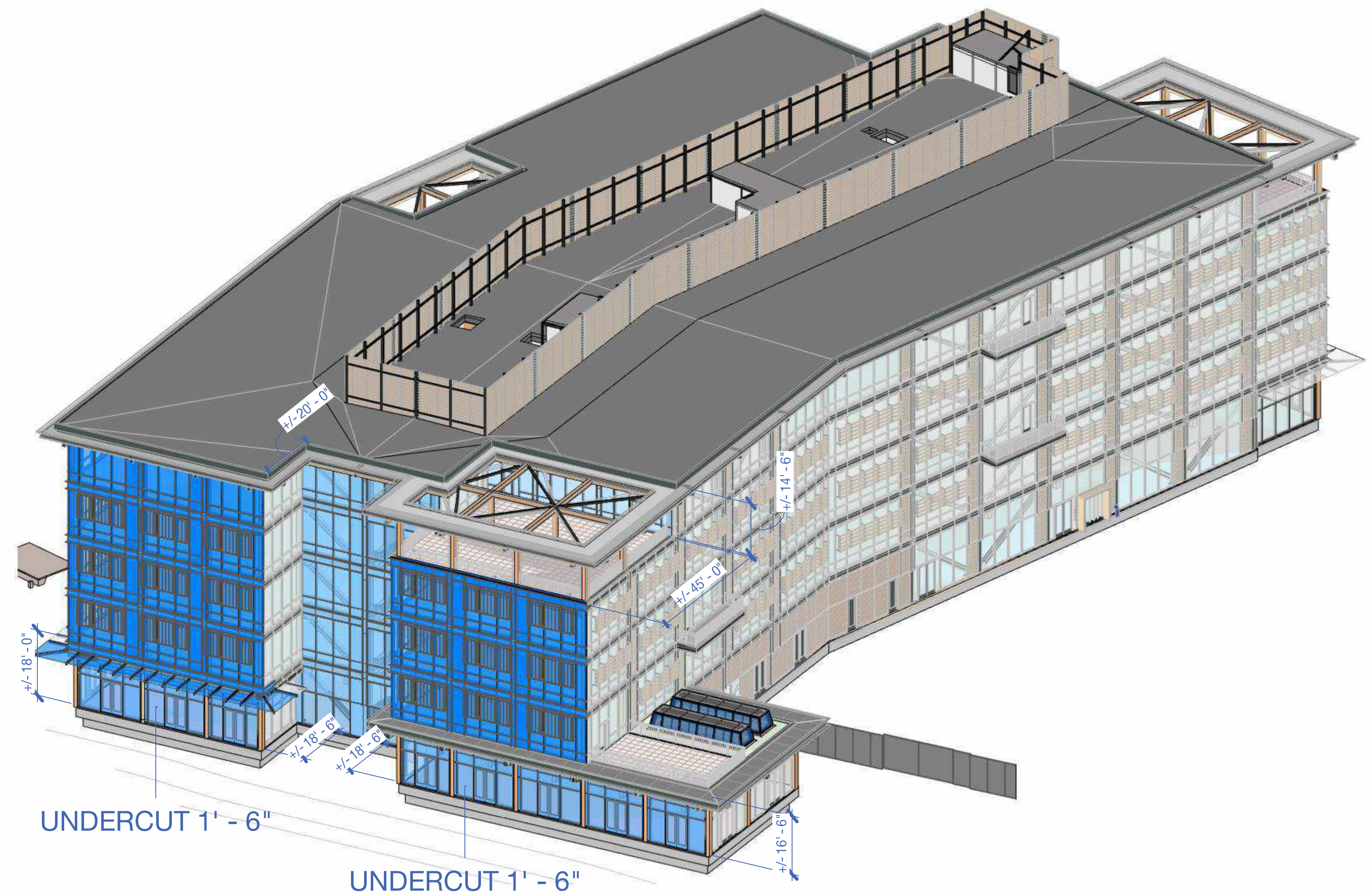
DATE	ISSUE
03/10/2023	ACP

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NO.	DATE	ISSUE

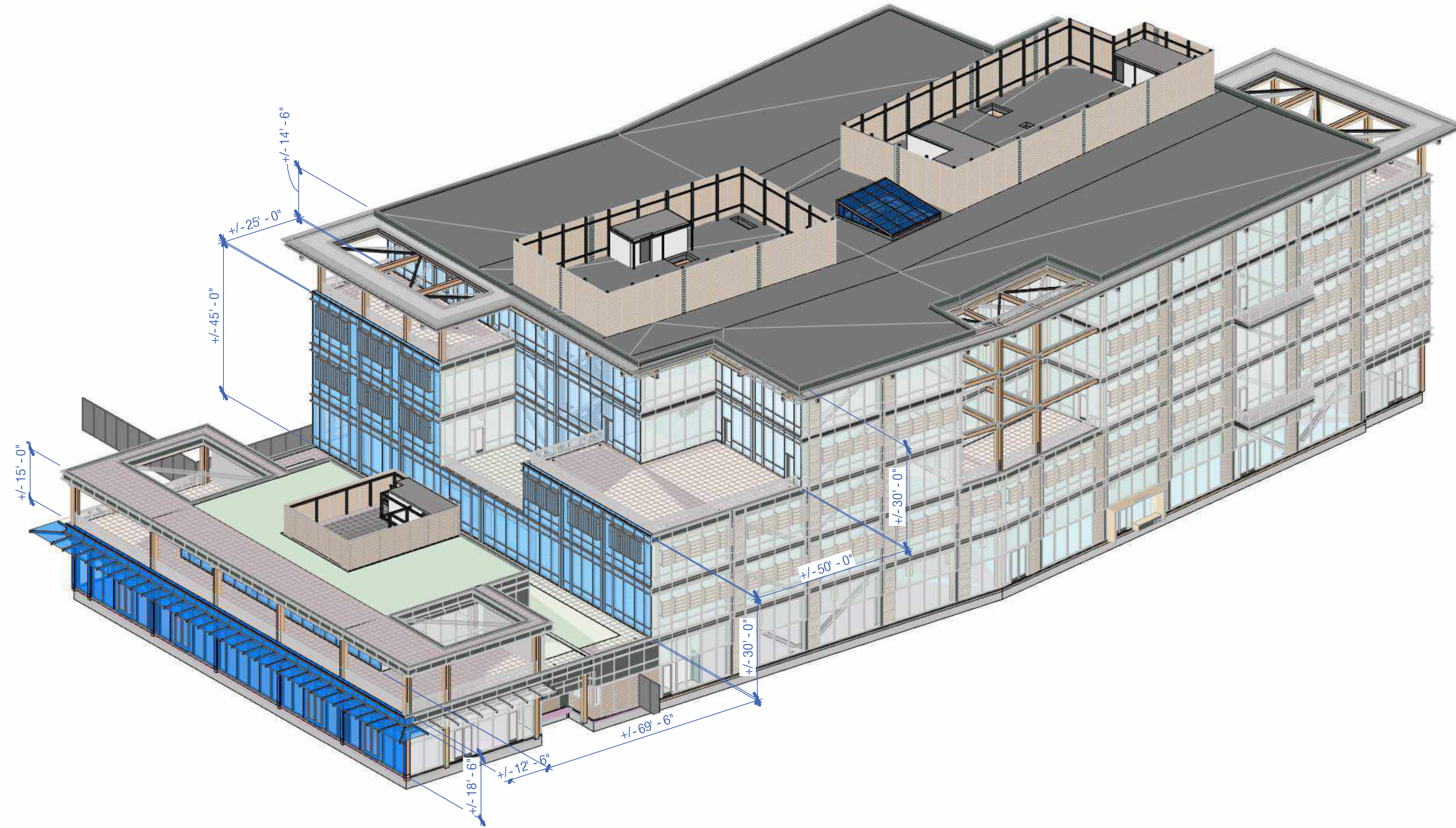
DRAWING TITLE:
**Modulation and Stepback
 Diagram - Building 03**

DRAWING NO:
A9.07.3

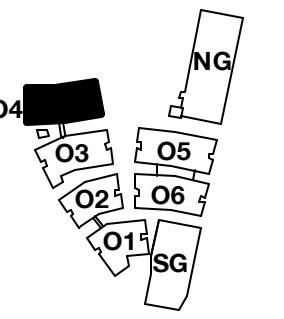


1 Building 3 - Section
 1" = 20'-0"

Note:
 1. Diagram provided to demonstrate building modulation and stepbacks.



Note:
1. Diagram provided to demonstrate building modulation and stepbacks.



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 (Portion)
Menlo Park, CA

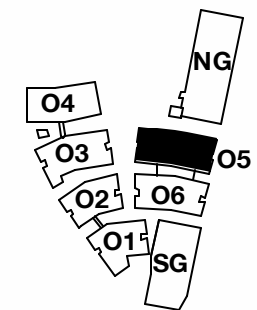
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NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
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03/10/2023	ACP

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DRAWING TITLE:
Modulation and Stepback
Diagram - Building 04

DRAWING NO:
A9.07.4



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

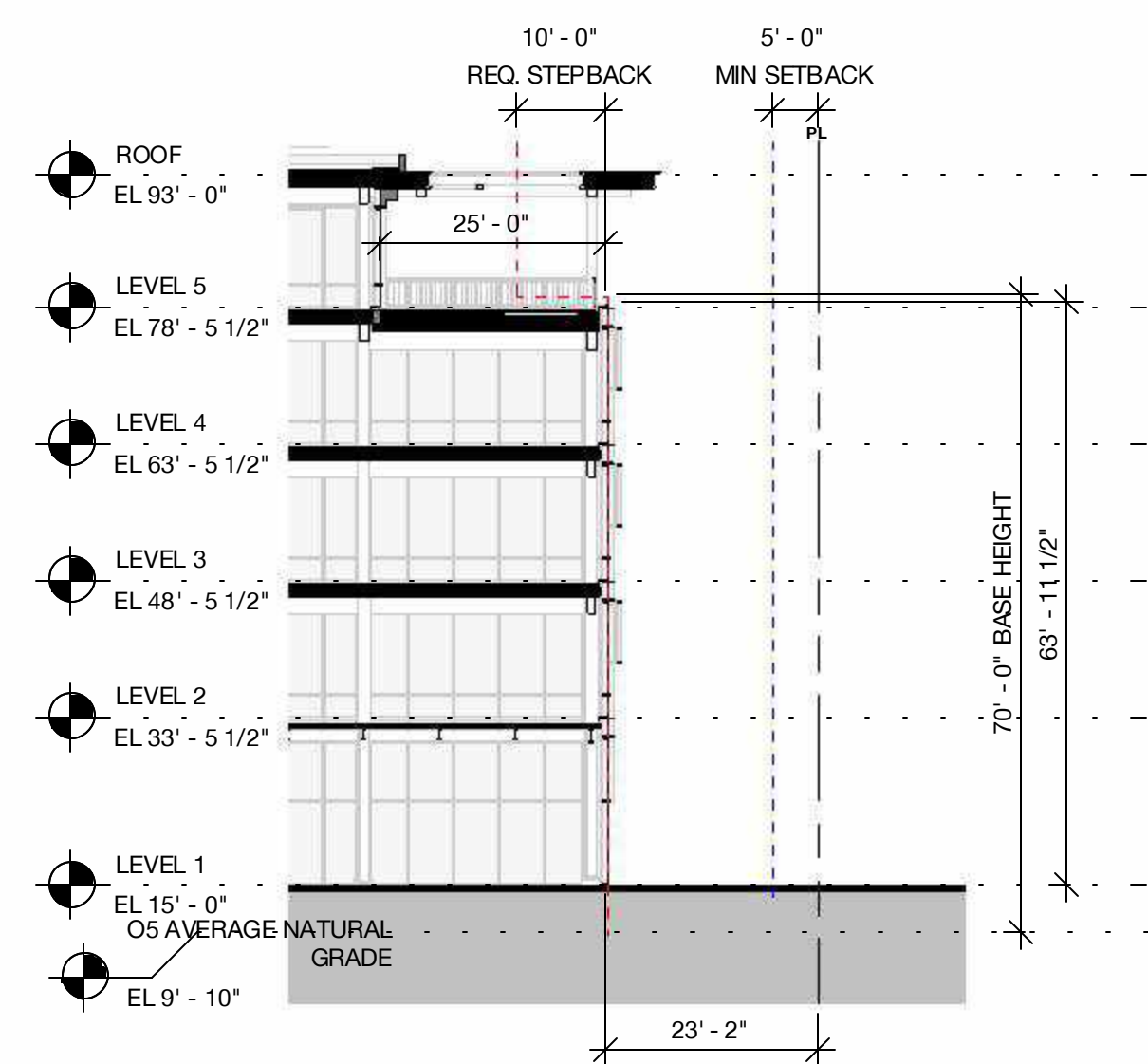
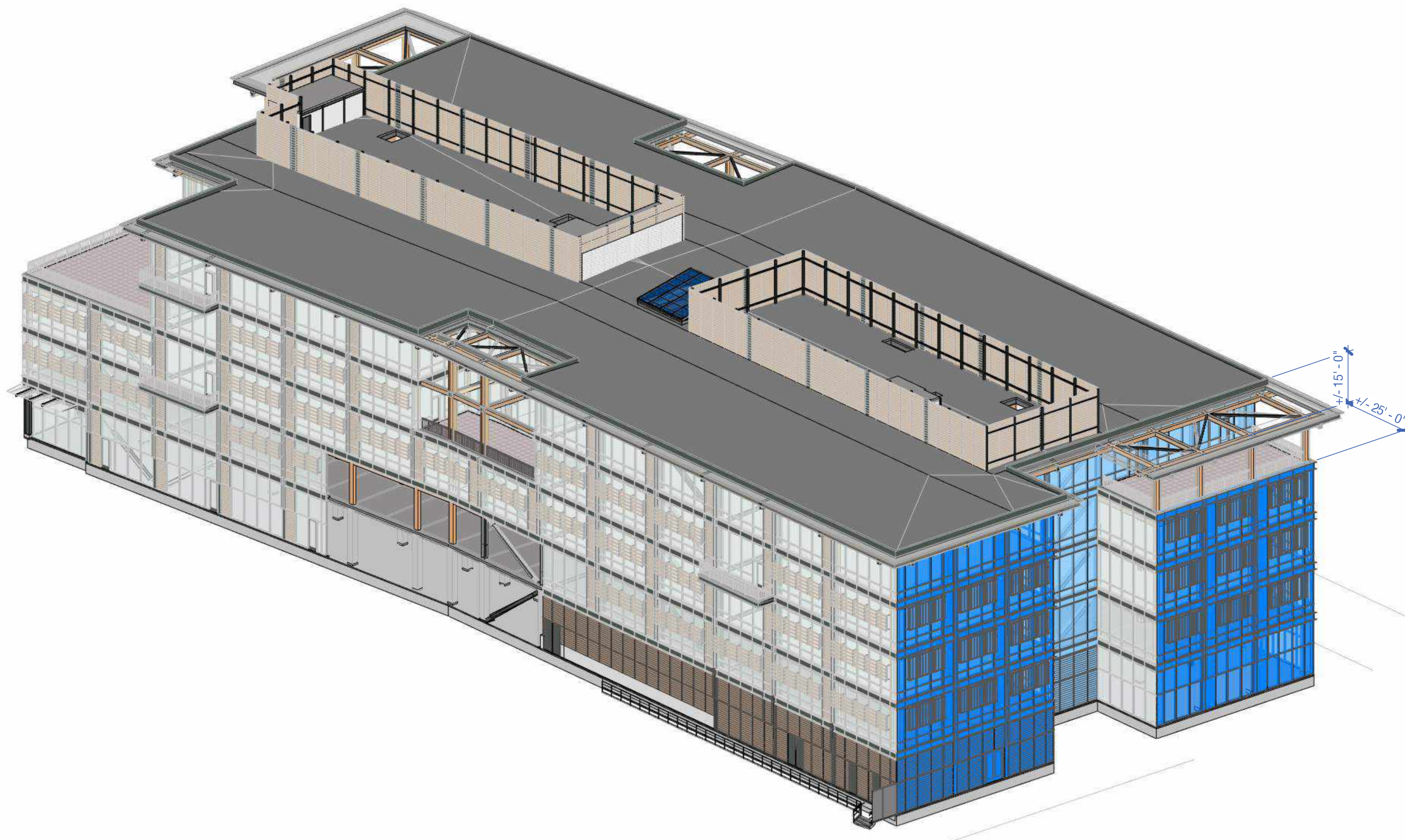
SCALE: 1" = 20'-0"
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY, OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
03/10/2023	ACP

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NO.	DATE	ISSUE

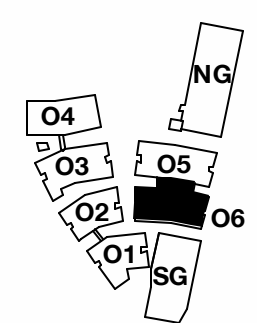
DRAWING TITLE:
**Modulation and Stepback
 Diagram - Building 05**

DRAWING NO:
A9.07.5



1 Building 5 - Section
 1" = 20'-0"

Note:
 1. Diagram provided to demonstrate building modulation and stepbacks.



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

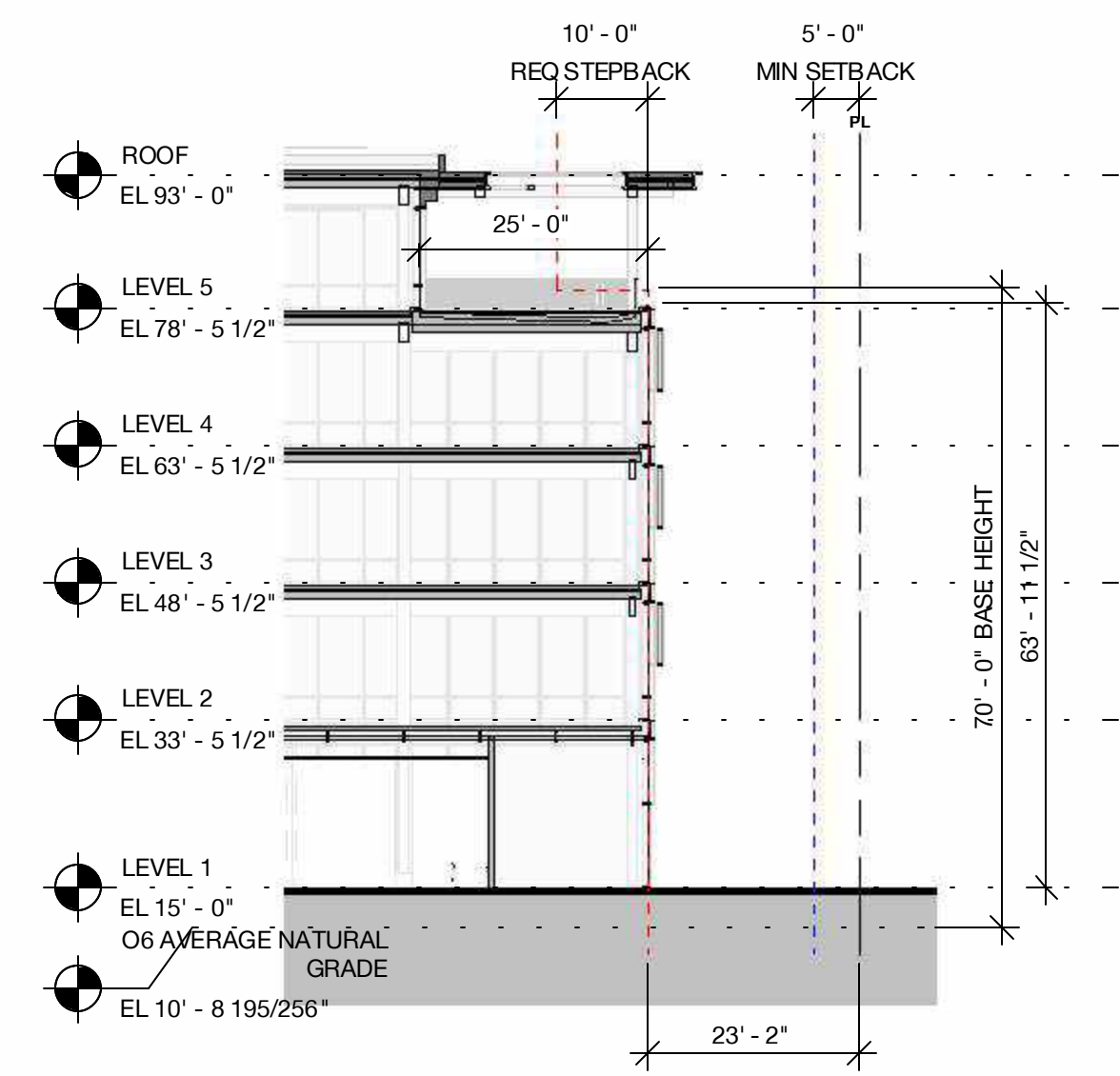
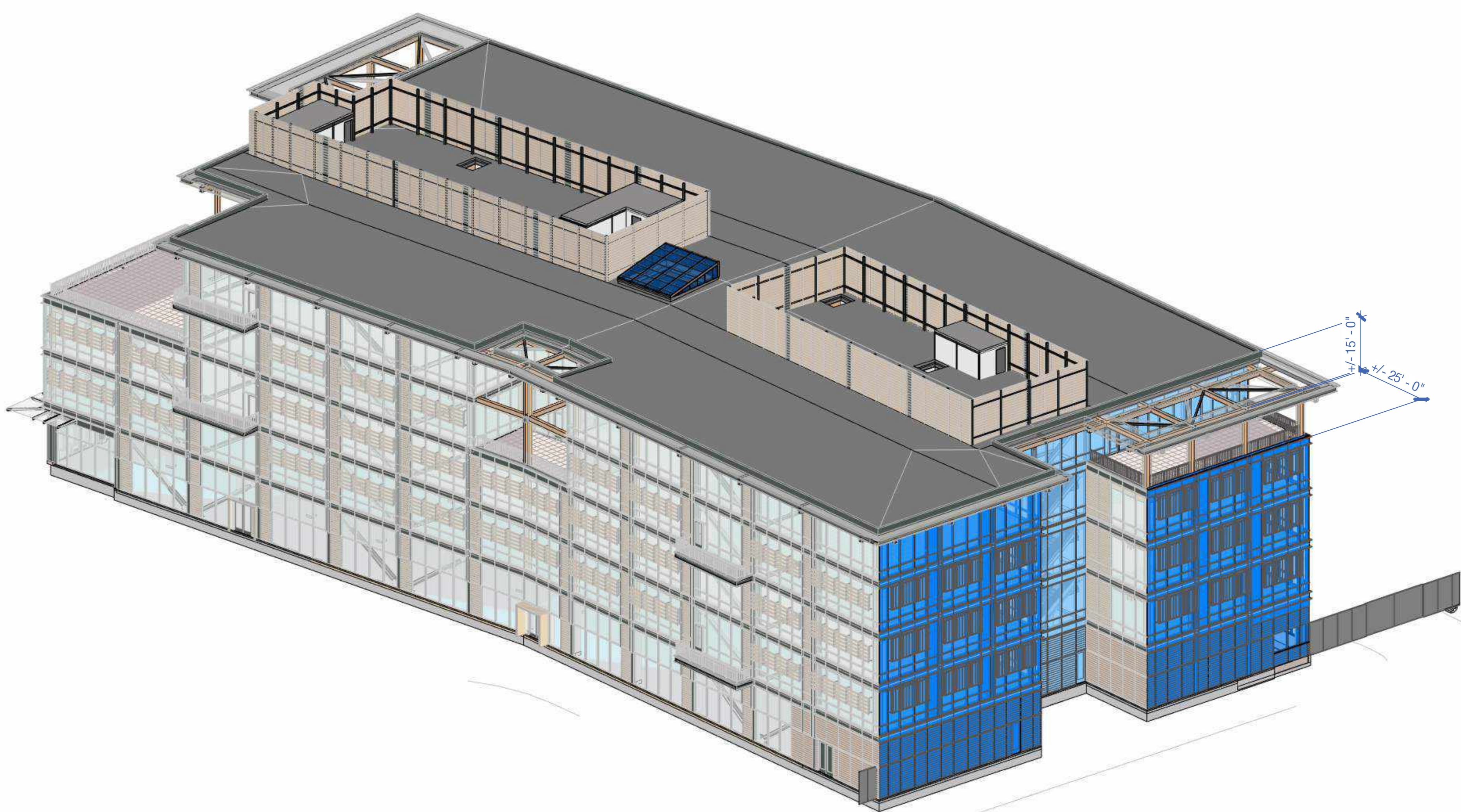
SCALE: 1" = 20'-0"
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY, OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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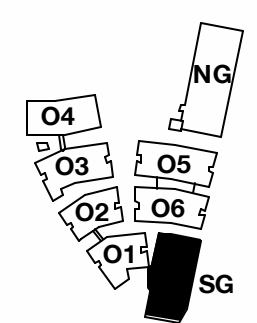
DRAWING TITLE:
**Modulation and Stepback
 Diagram - Building 06**

DRAWING NO:
A9.07.6



1 Building 6 - Section
 1" = 20'-0"

Note:
 1. Diagram provided to demonstrate building modulation and stepbacks.



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

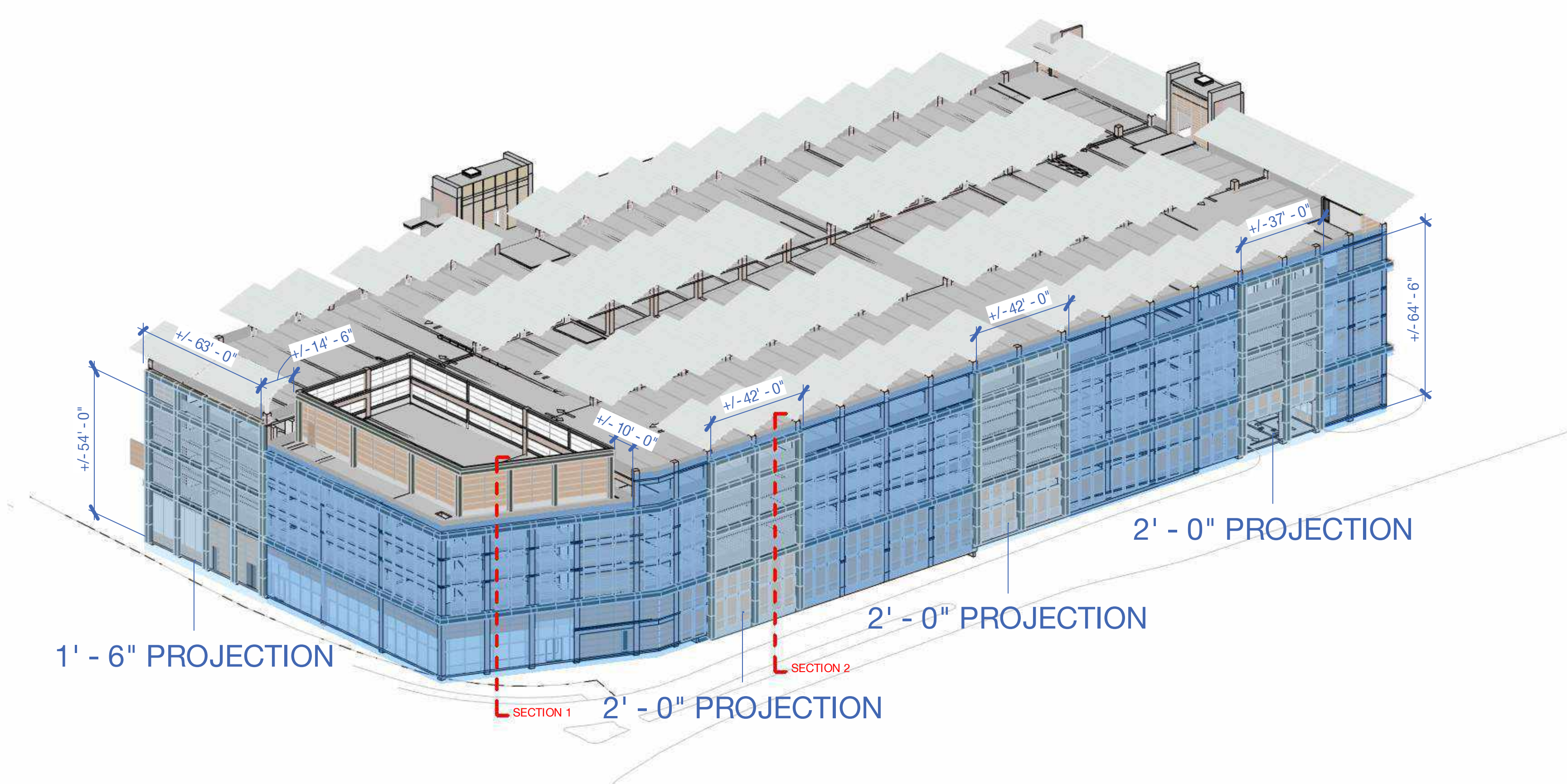
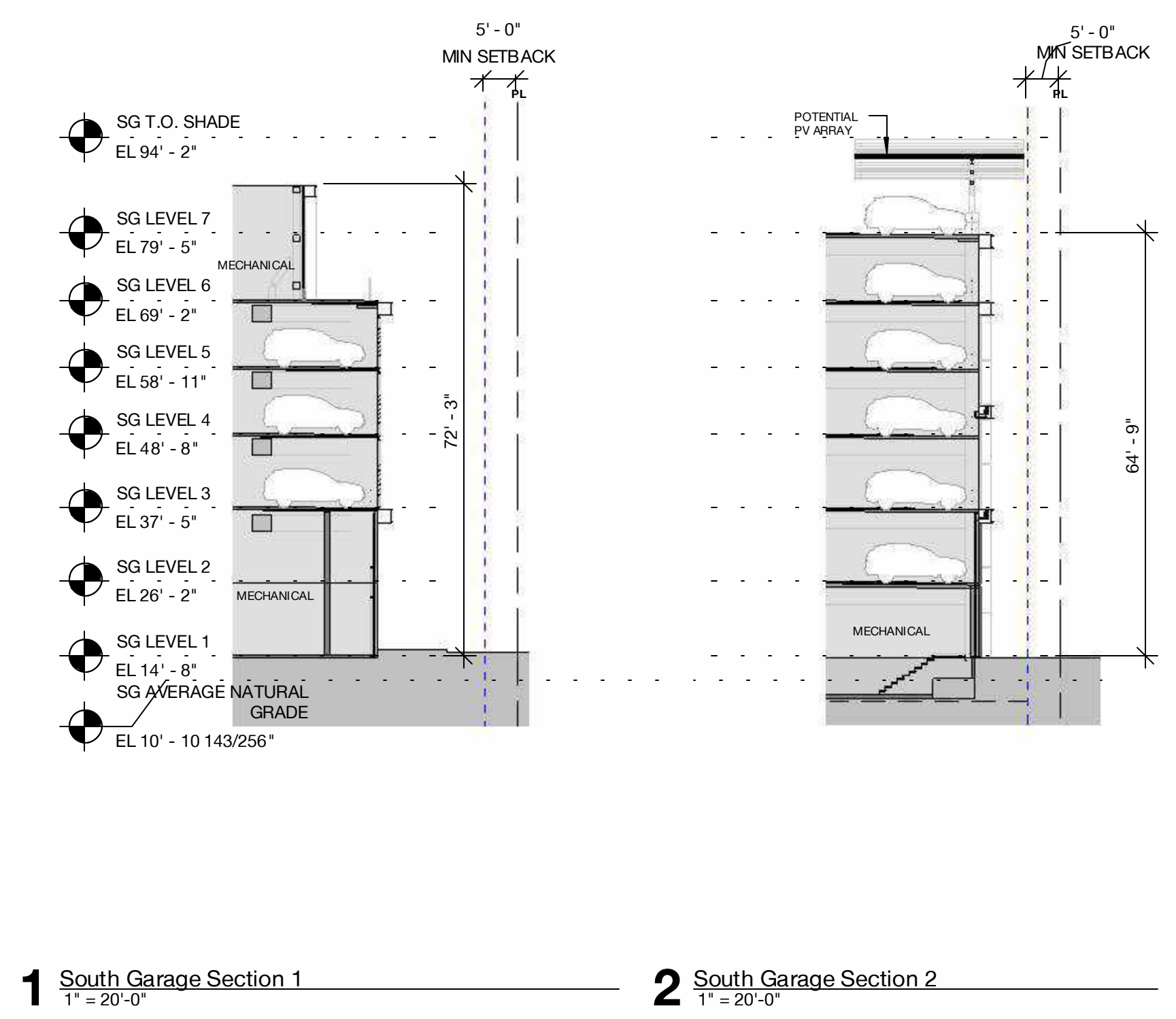
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NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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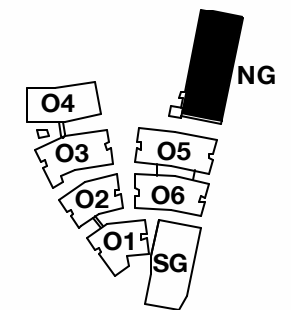
REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
**Modulation and Stepback
 Diagram - South Garage**

DRAWING NO:
A9.07.7



Note:
 1. Diagram provided to demonstrate building modulation and stepbacks.



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

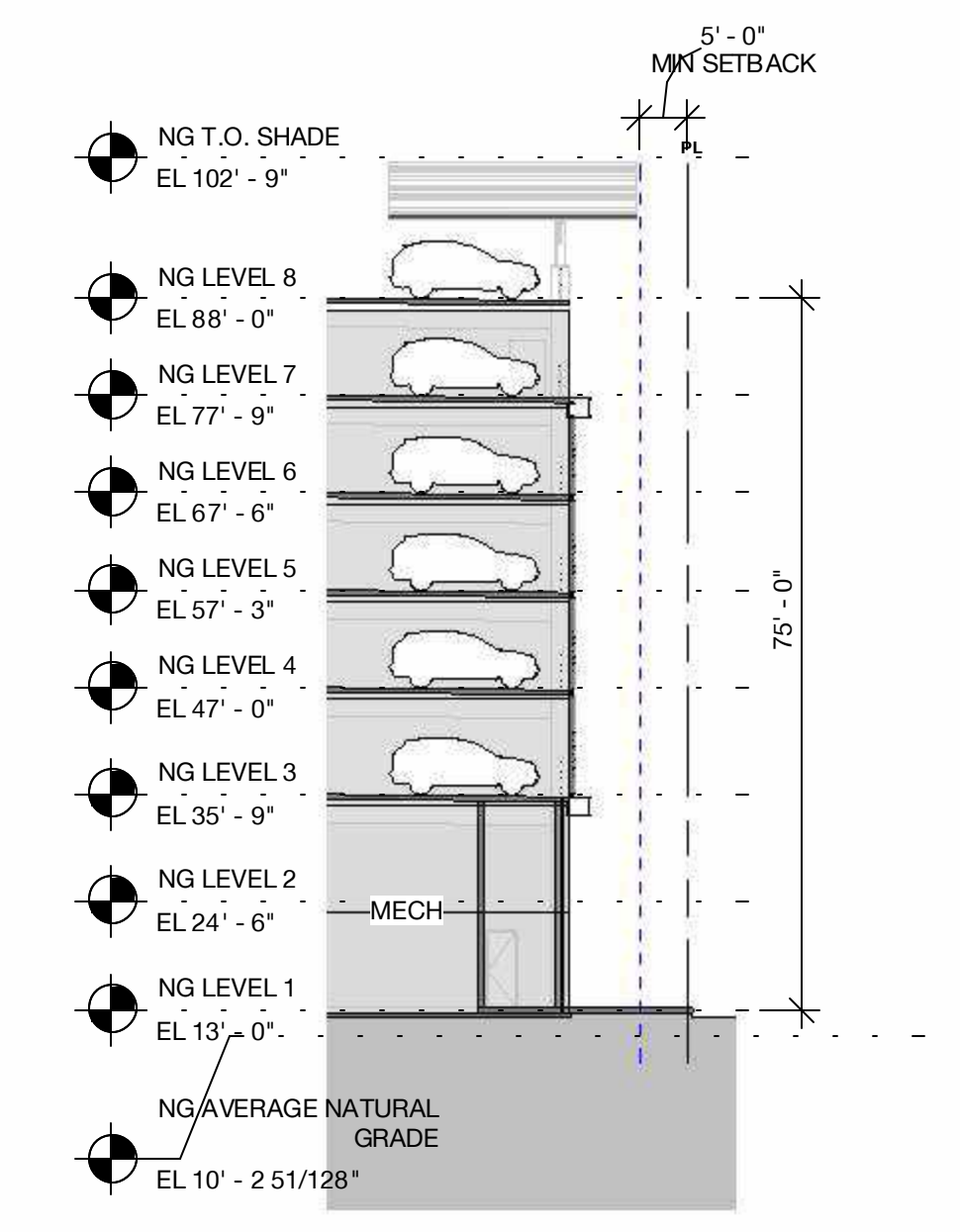
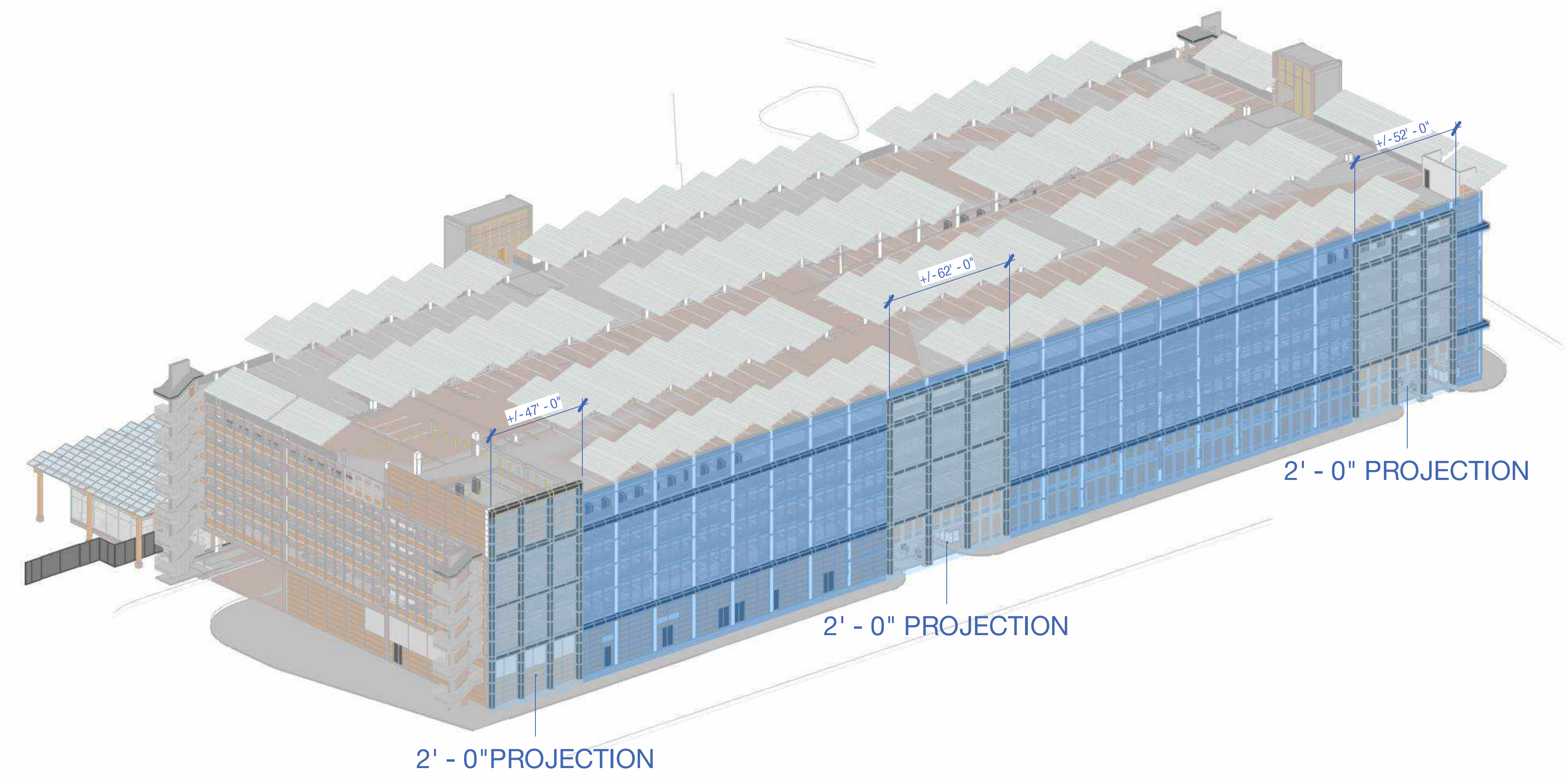
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NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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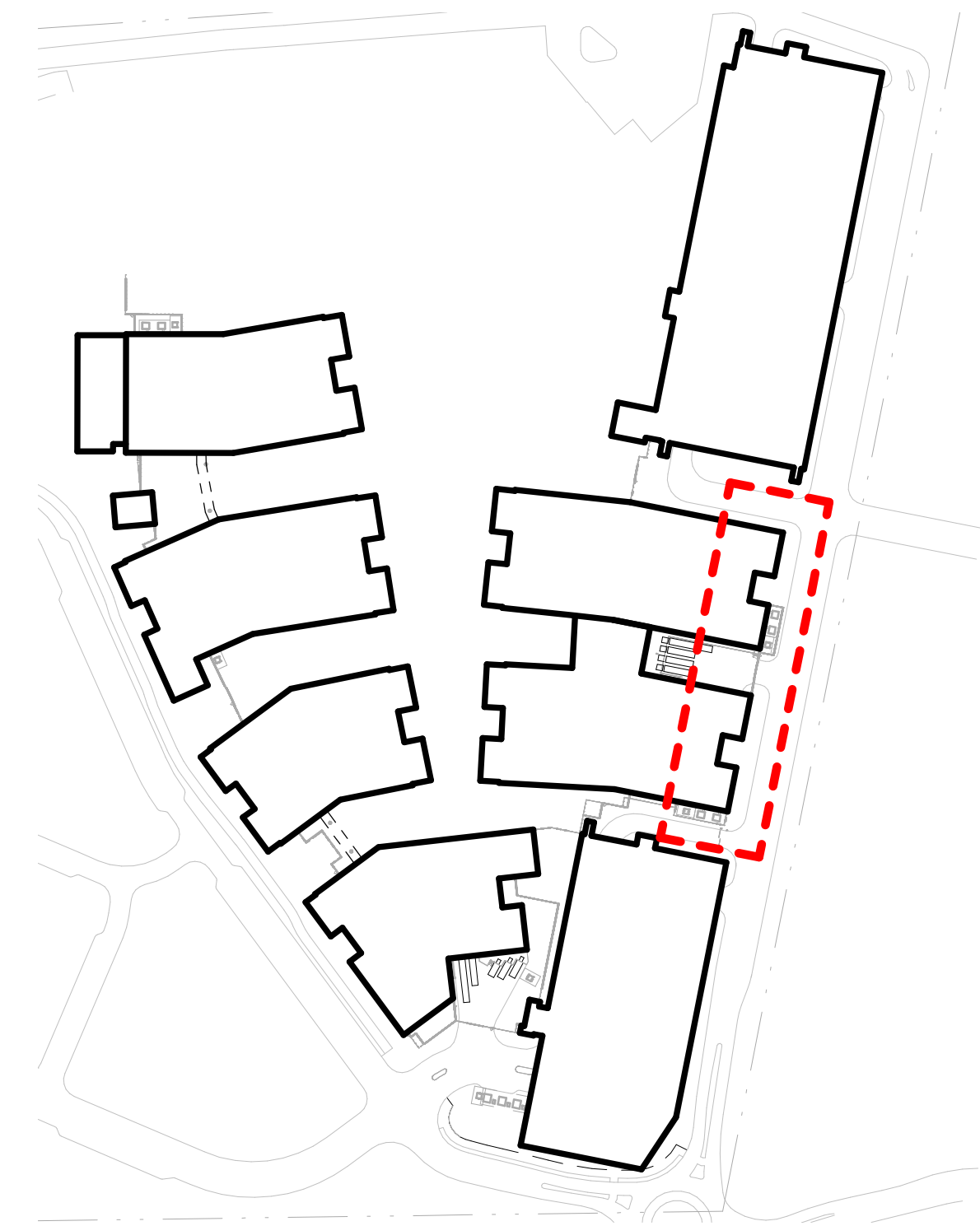
DRAWING TITLE:
**Modulation and Stepback
 Diagram - North Garage**

DRAWING NO:
A9.07.8

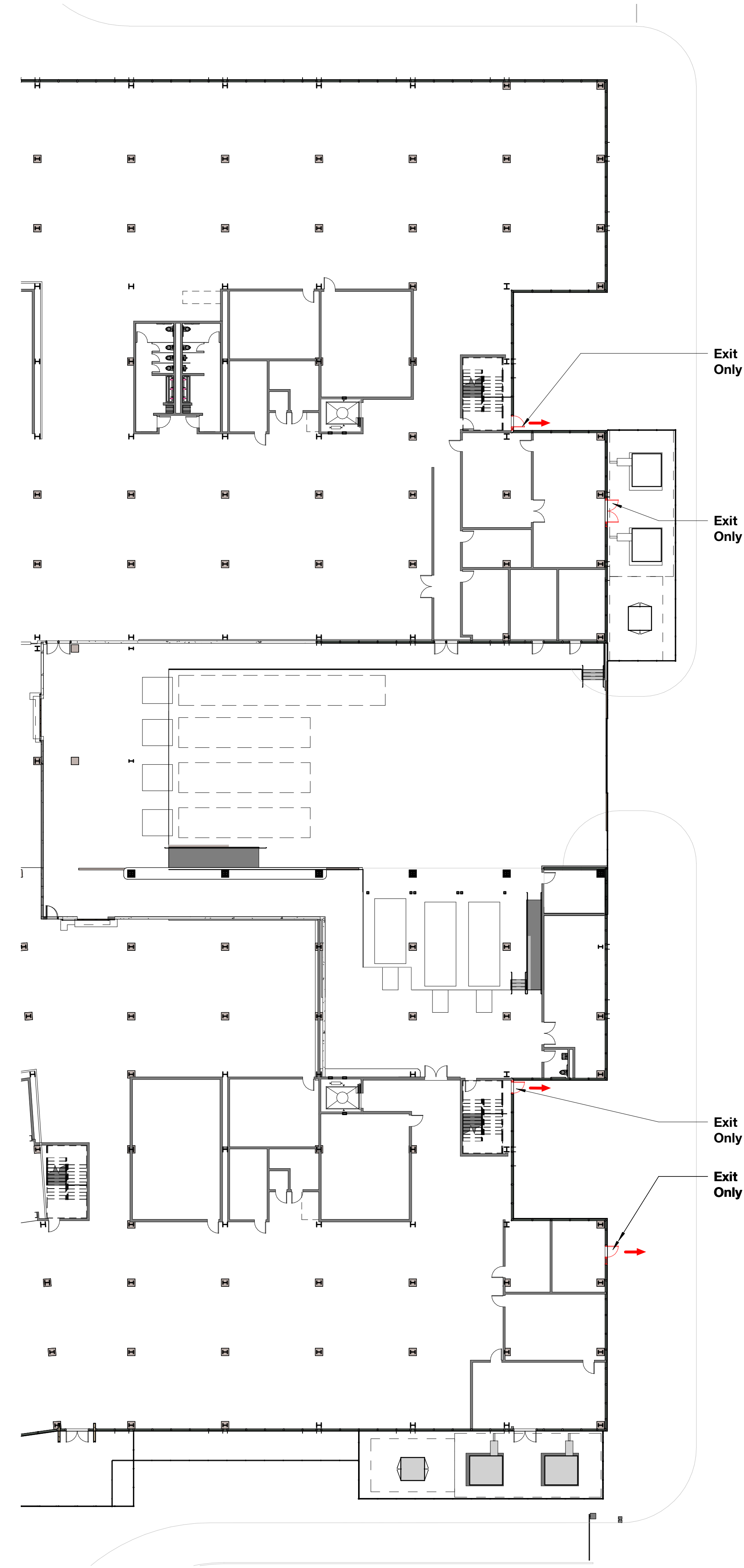


1 North Garage - Section 1
 1" = 20'-0"

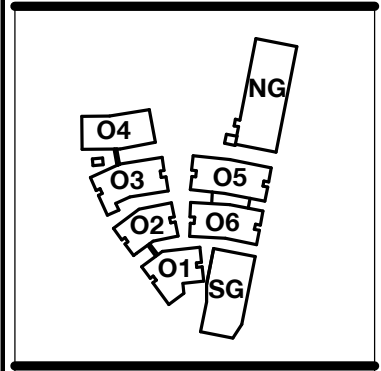
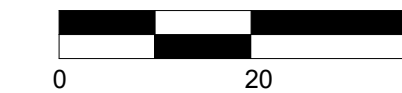
Note:
 1. Diagram provided to demonstrate building modulation and stepbacks.



3 Overall Site Plan Level 1 Entrance Diagram
1" = 200'-0"



1 Building 05 and 06 - Level 1 - Entrance Diagram
1" = 20'-0"



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 (Portion)
Menlo Park, CA

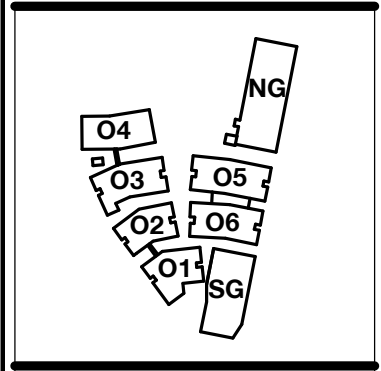
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DRAWING TITLE:
Building Entrance Diagram

DRAWING NO:
A9.11



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

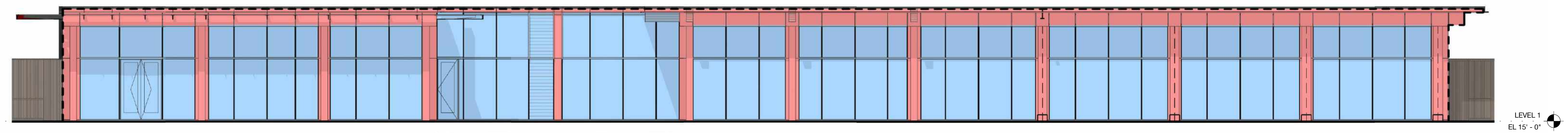
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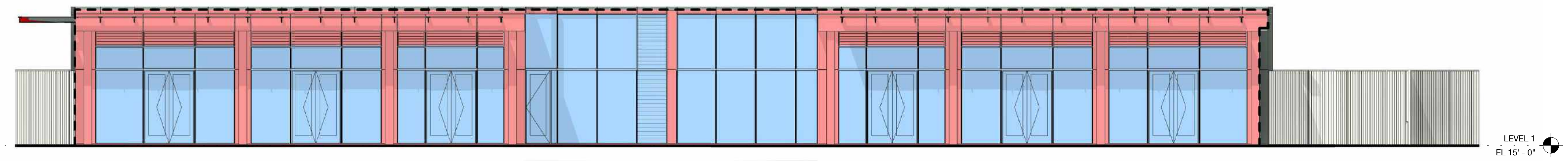
DRAWING TITLE:
 Ground Floor Transparency Diagram

DRAWING NO:
A9.13



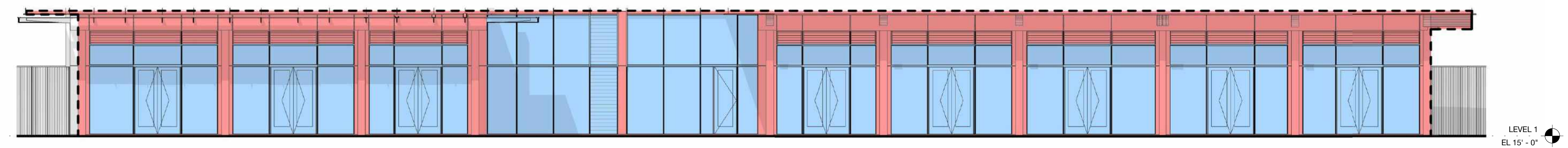
1 Building 01 - West Elevation - Main St - Ground Floor Transparency Diagram
 1/8" = 1'-0"

BUILDING 01 - ALONG MAIN ST
 + TOTAL AREA BETWEEN FINISHED FLOOR AND CEILING HEIGHT = 3,598 SF
 TRANSPARENT AREA = 2,758 SF (76%)



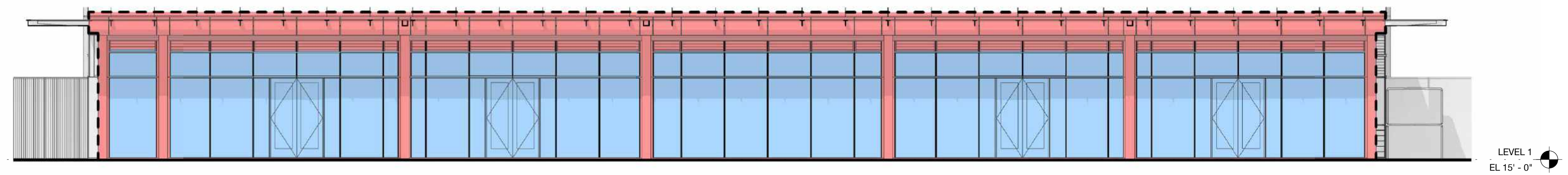
2 Building 02 - West Elevation - Ground Floor Transparency Diagram
 1/8" = 1'-0"

BUILDING 02- ALONG MAIN ST
 + TOTAL AREA BETWEEN FINISHED FLOOR AND CEILING HEIGHT = 2,551 SF
 TRANSPARENT AREA = 1,755 SF (68%)



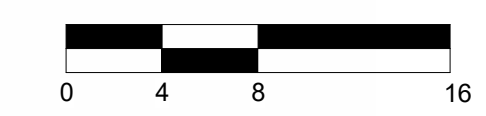
3 Building 03 - West Elevation - Ground Floor Transparency Diagram
 1/8" = 1'-0"

BUILDING 03 - ALONG MAIN ST
 + TOTAL AREA BETWEEN FINISHED FLOOR AND CEILING HEIGHT = 3,161 SF
 TRANSPARENT AREA = 2,151 SF (68%)



4 Building 04 - West Elevation - Ground Floor Transparency Diagram
 1/8" = 1'-0"

BUILDING 04 - ALONG MAIN ST
 + TOTAL AREA BETWEEN FINISHED FLOOR AND CEILING HEIGHT = 2,534 SF
 TRANSPARENT AREA = 1,709 SF (67%)



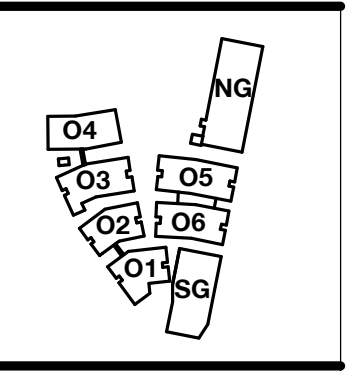
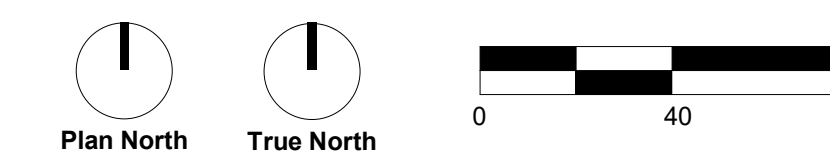
3/9/2023 2:52:14 PM



Please refer to Sheet G4.12 in the master plan CDP for the short term bicycle parking details. Long term bicycle parking shall consist of a fully enclosed, weather resistant locker with key locking mechanism or an interior room or enclosure, and provided in locations that are convenient and functional for cyclists.

PARKING BY LAND USE LEGEND		
SWATCH	USE	
[Light Blue Swatch]	Office Car Parking*	3,304
[Red Swatch]	Commercial Car Parking	0
[Dark Blue Swatch]	Commercial Bicycle Parking	74
[Light Blue Swatch]	Short Term Bicycle Parking	550
[Light Blue Swatch]	Long Term Bicycle Parking	130

*Office Car Parking includes 1,008 EV and EV ready spaces



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

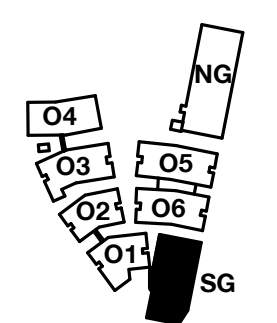
SCALE: As indicated
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DRAWING TITLE:
Parking Count Diagram - Office Bike Parking

DRAWING NO:
A9.14



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

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DRAWING TITLE:
Parking Count Diagram - South Garage

DRAWING NO:
A9.14.7

ACP_SOUTH GARAGE PARKING SCHEDULE	
Type	Count
EV Future	132
EV HC Ambulatory	8
EV HC Standard	8
EV HC Van	3
EV Standard	245
Expectant Mother	14
HC Standard	20
HC Van	4
Standard	844
Vanpool	20
TOTAL:	1298

Total EV Parking: 396

ACP_SG LEVEL 1 PARKING SCHEDULE	
Type	Count
EV HC Ambulatory	2
EV HC Standard	3
EV HC Van	3
HC Standard	1
HC Van	4
Standard	91
TOTAL:	104

ACP_SG LEVEL 2 PARKING SCHEDULE	
Type	Count
EV Future	13
EV HC Ambulatory	2
EV Standard	2
Standard	127
TOTAL:	144

ACP_SG LEVEL 3 PARKING SCHEDULE	
Type	Count
EV Future	7
EV HC Ambulatory	4
EV HC Standard	5
EV Standard	31
Expectant Mother	14
HC Standard	19
Standard	127
Vanpool	20
TOTAL:	227

ACP_SG LEVEL 4 PARKING SCHEDULE	
Type	Count
EV Future	28
EV Standard	53
Standard	158
TOTAL:	239

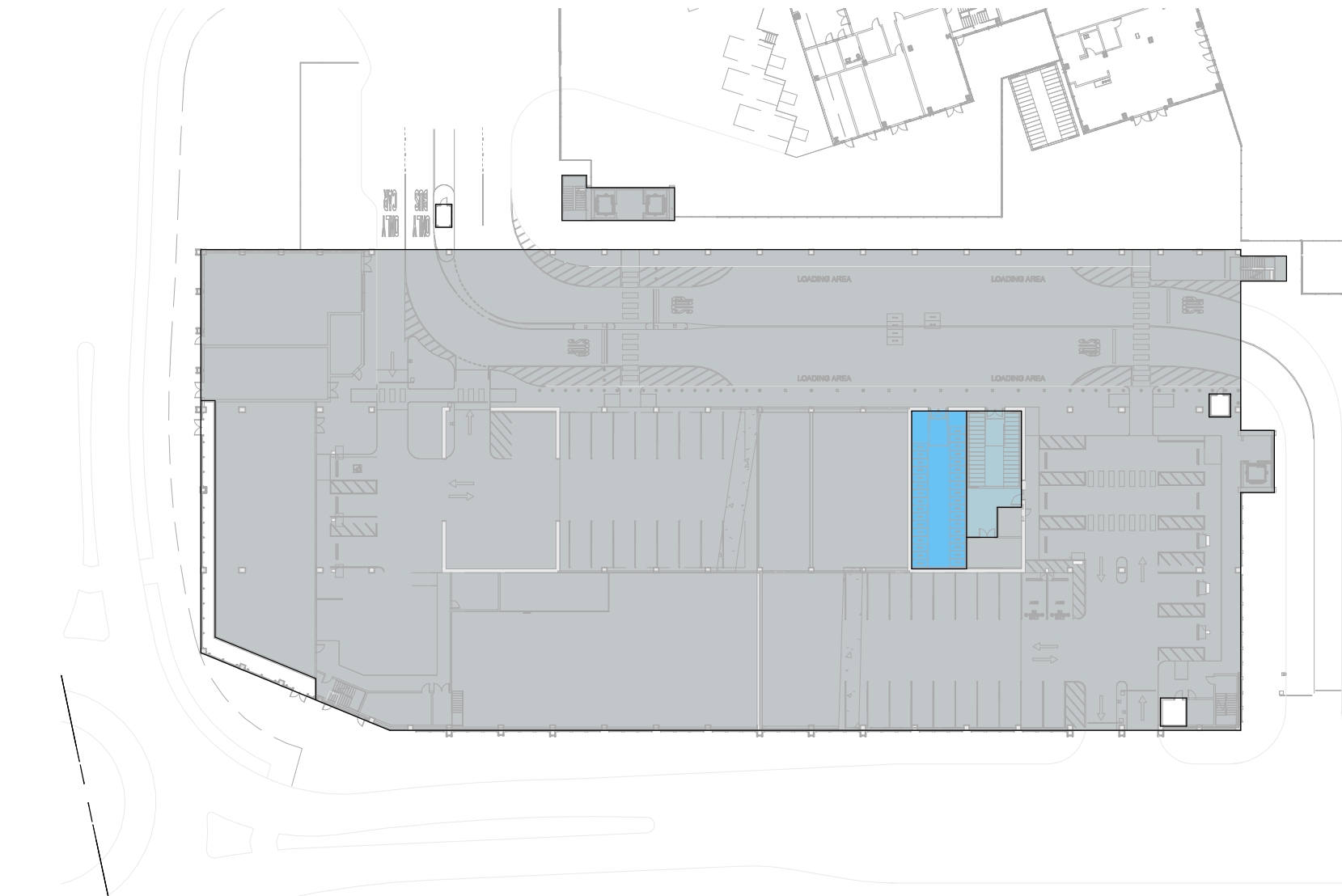
ACP_SG LEVEL 5 PARKING SCHEDULE	
Type	Count
EV Future	28
EV Standard	53
Standard	158
TOTAL:	239

ACP_SG LEVEL 6 PARKING SCHEDULE	
Type	Count
EV Future	28
EV Standard	53
Standard	90
TOTAL:	171

ACP_SG LEVEL 7 PARKING SCHEDULE	
Type	Count
EV Future	28
EV Standard	53
Standard	93
TOTAL:	174

PARKING BY LAND USE LEGEND		
SWATCH	USE	COUNT
	Office Car Parking*	3,304
	Commercial Car Parking	0
	Commercial Bicycle Parking	74
	Short Term Bicycle Parking	550
	Long Term Bicycle Parking	130

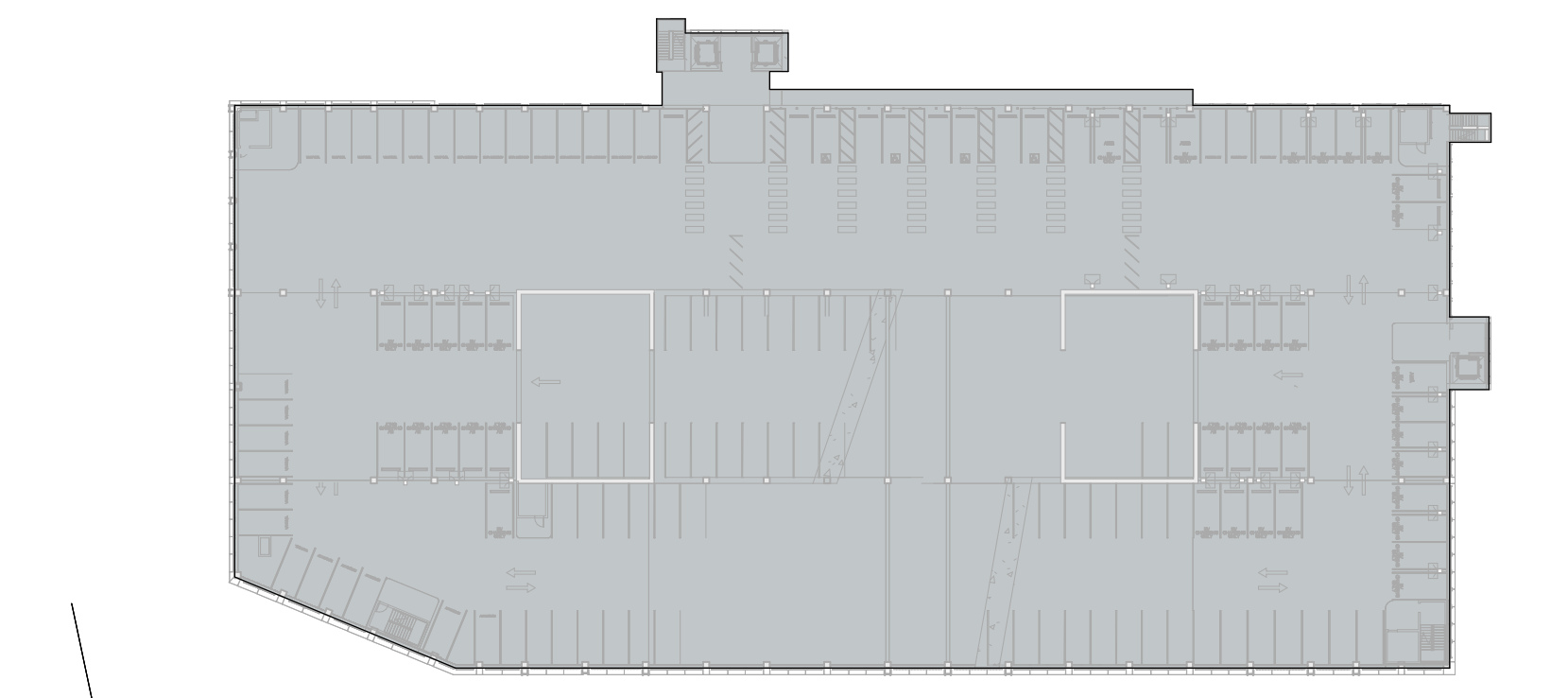
*Office Car Parking includes 1,008 EV and EV ready spaces



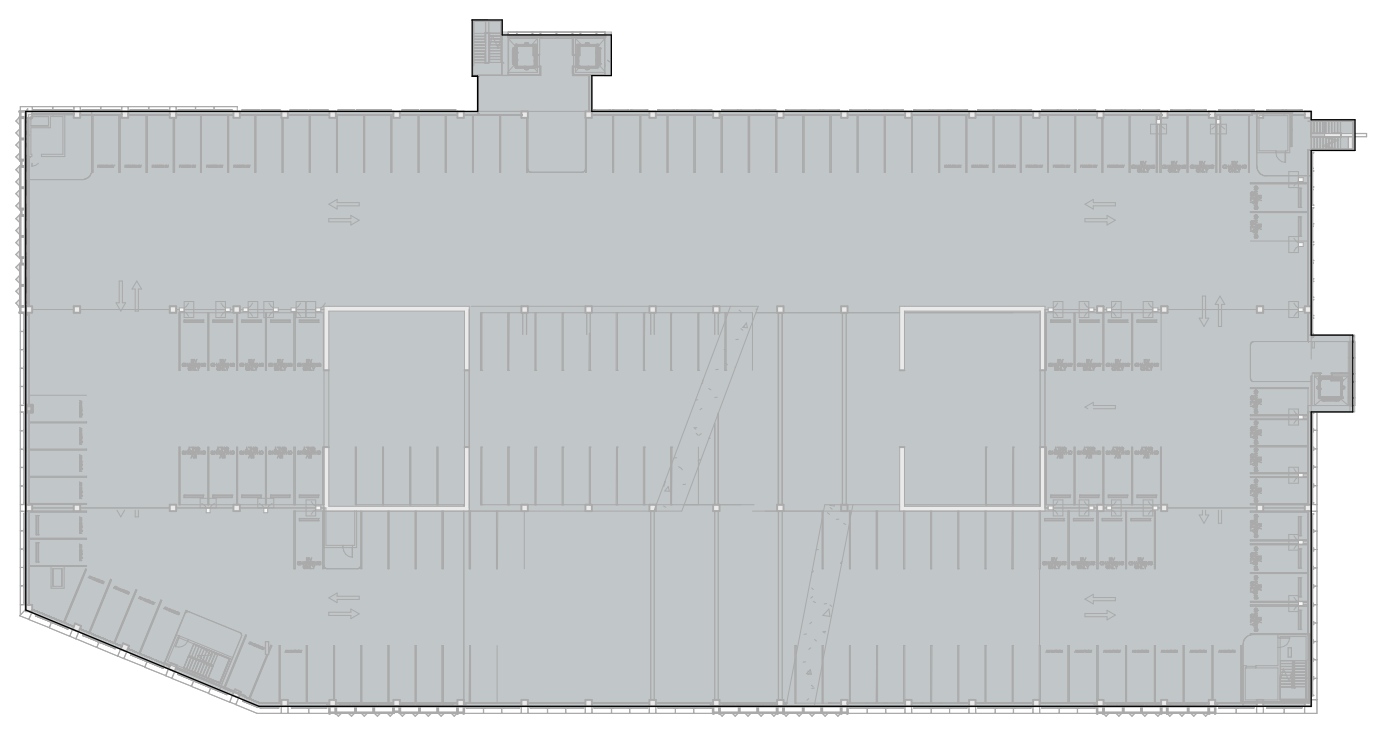
1 SG LEVEL 1 - PARKING
 1" = 60'-0"



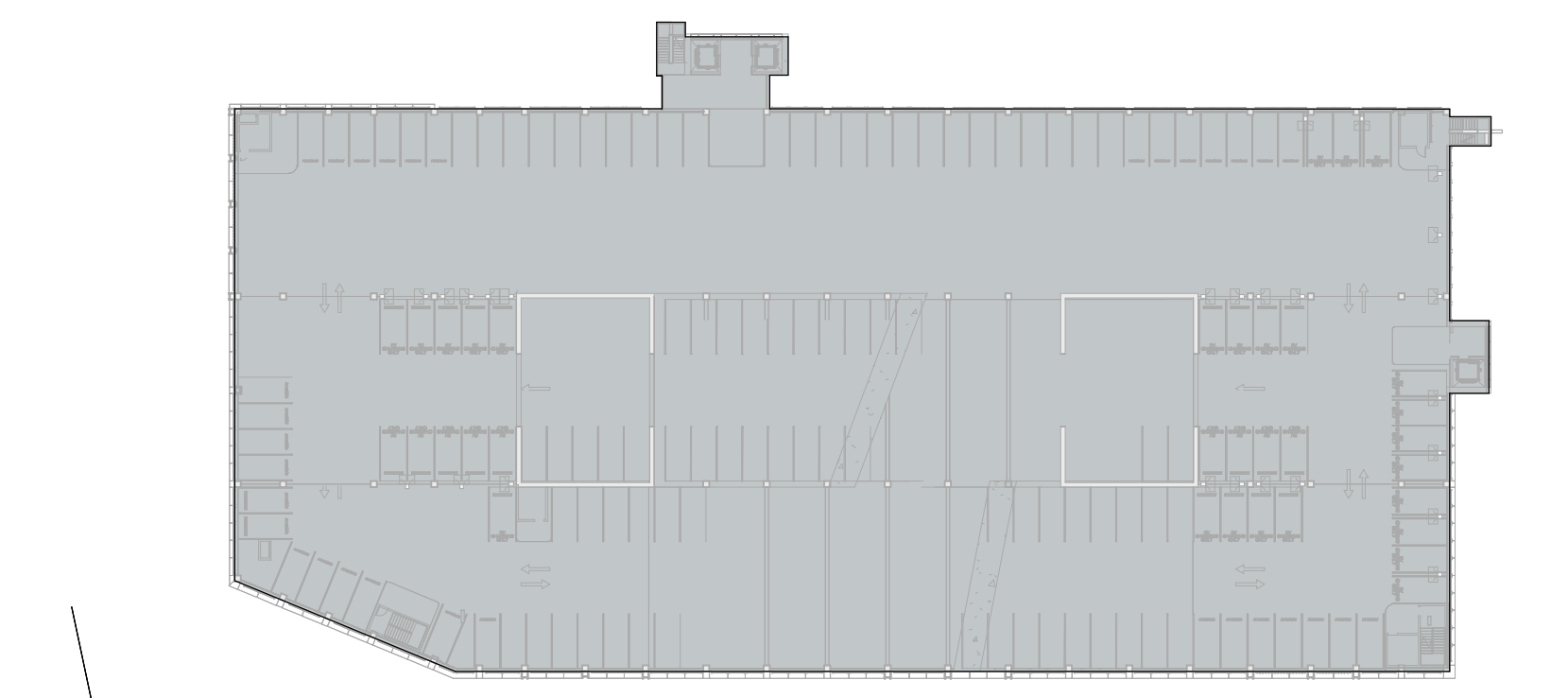
2 SG LEVEL 2 - PARKING
 1" = 60'-0"



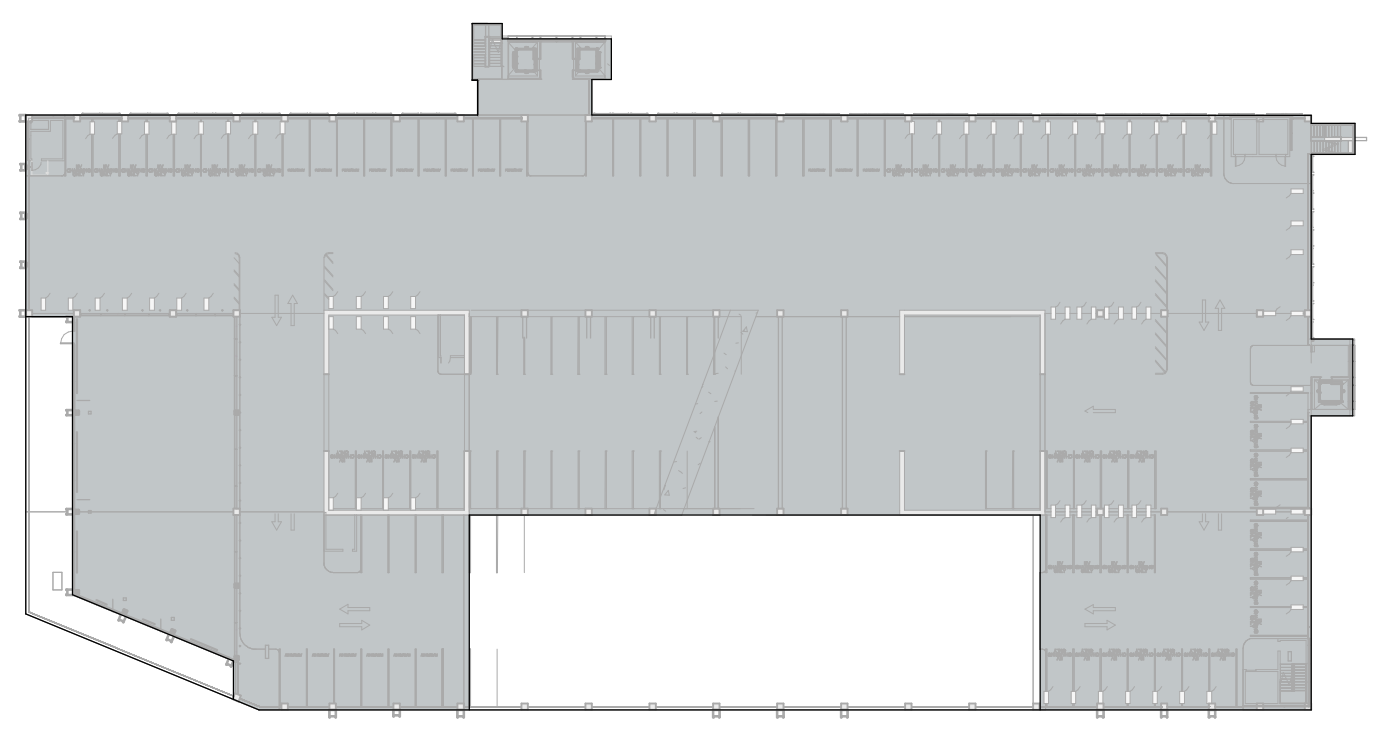
3 SG LEVEL 3 - PARKING
 1" = 60'-0"



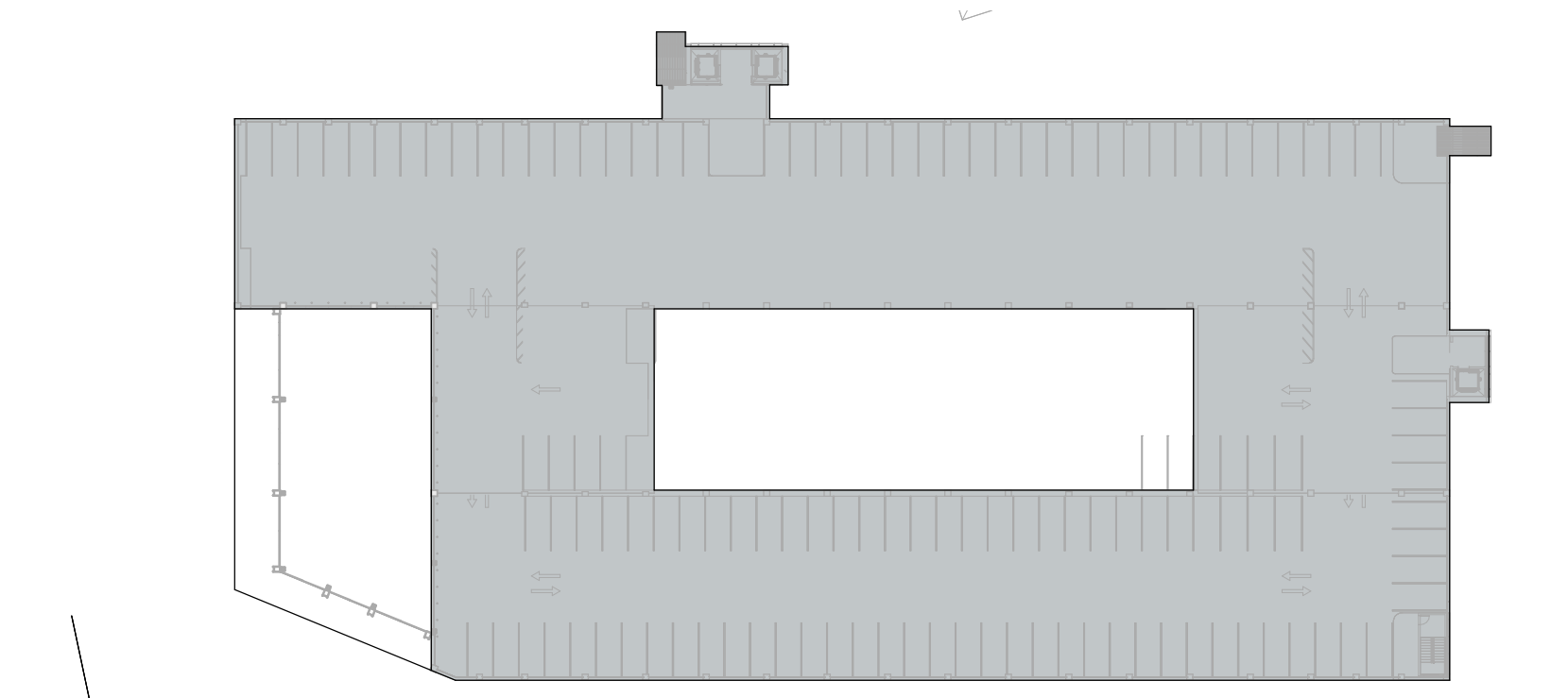
4 SG LEVEL 4 - PARKING
 1" = 60'-0"



5 SG LEVEL 5 - PARKING
 1" = 60'-0"

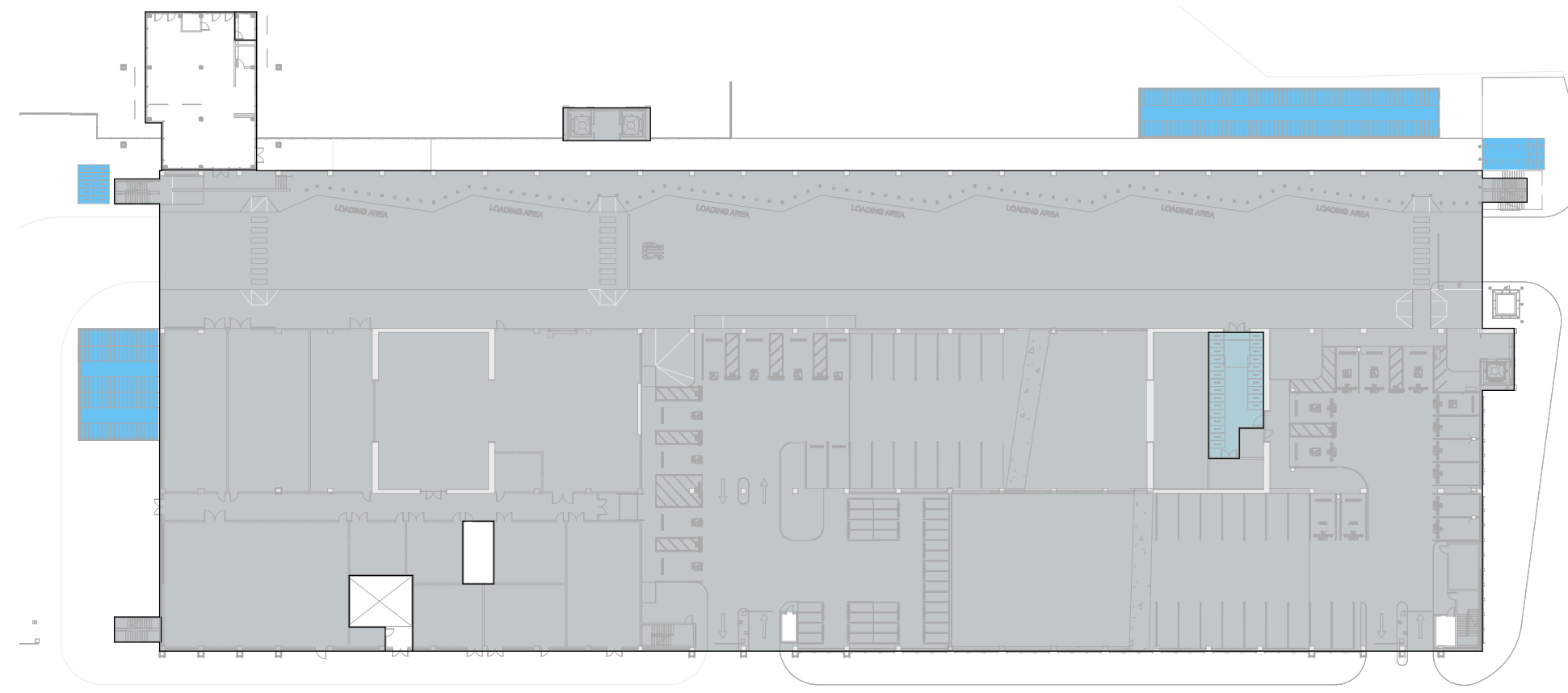


6 SG LEVEL 6 - PARKING
 1" = 60'-0"

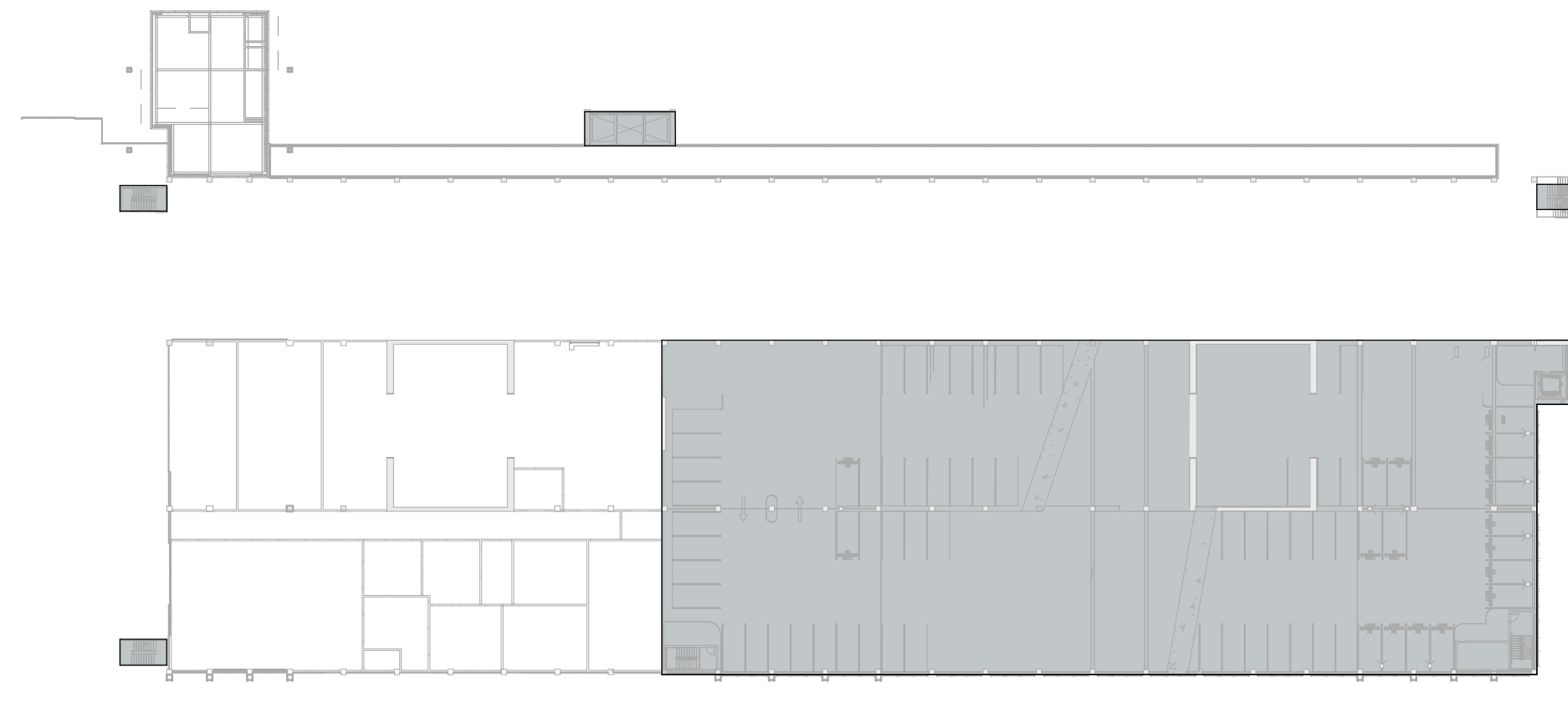


7 SG LEVEL 7 - PARKING
 1" = 60'-0"

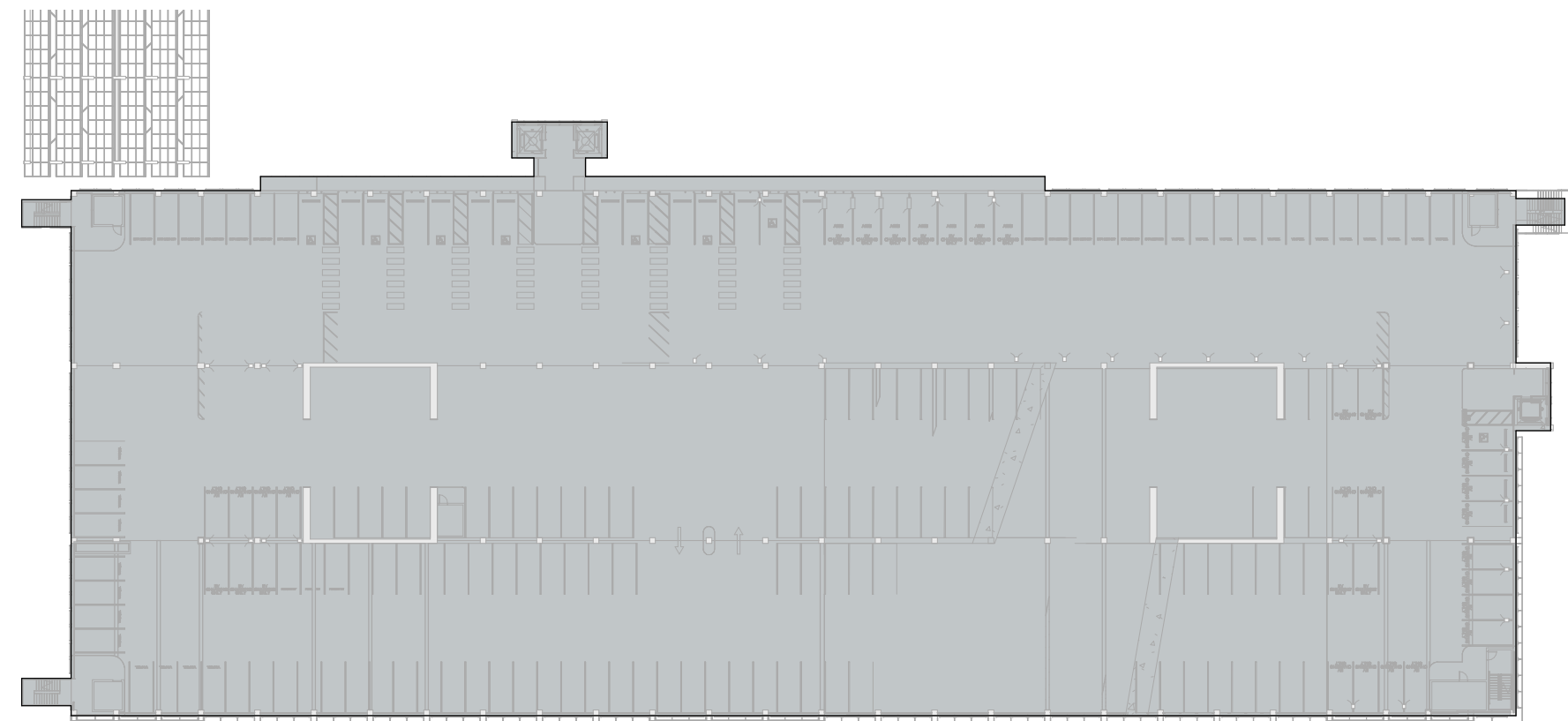
3/9/2023 2:53:31 PM



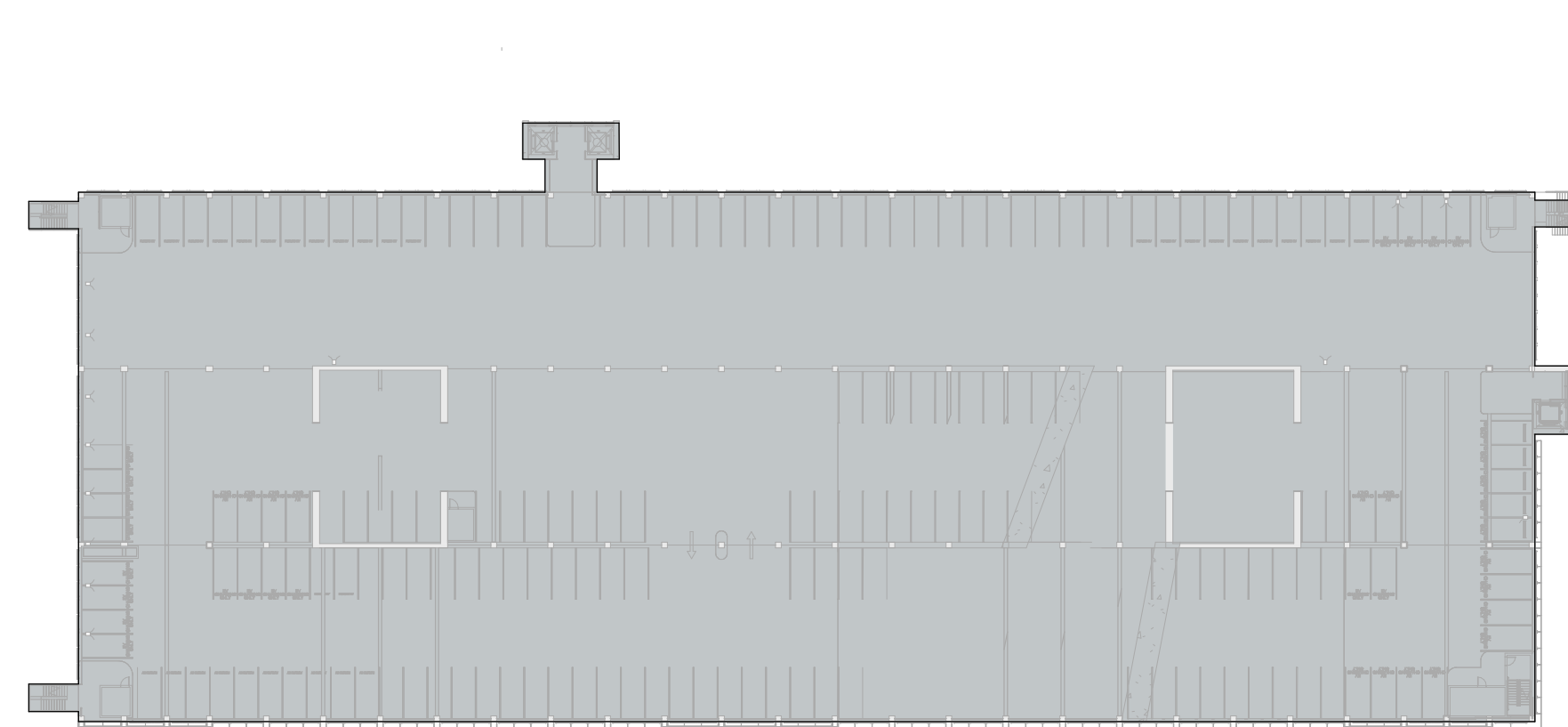
1 NG LEVEL 1 - PARKING
1" = 60'-0"



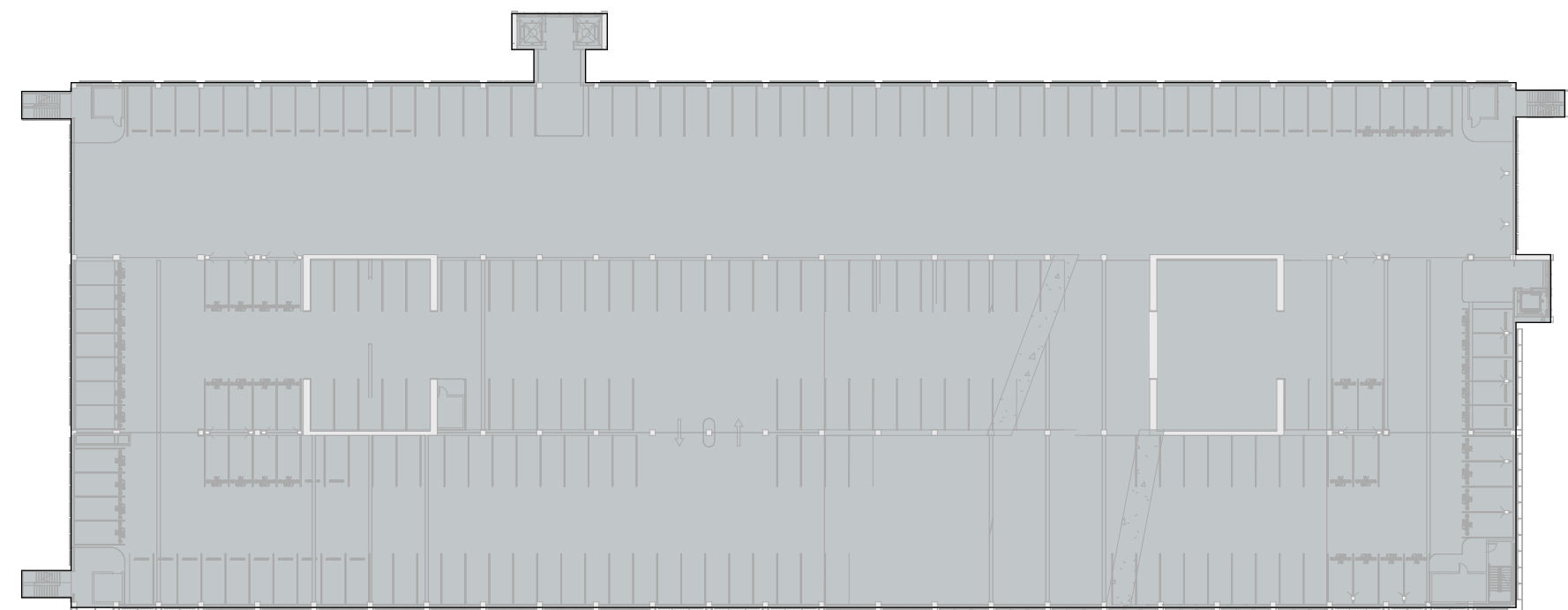
2 NG LEVEL 2 - PARKING
1" = 60'-0"



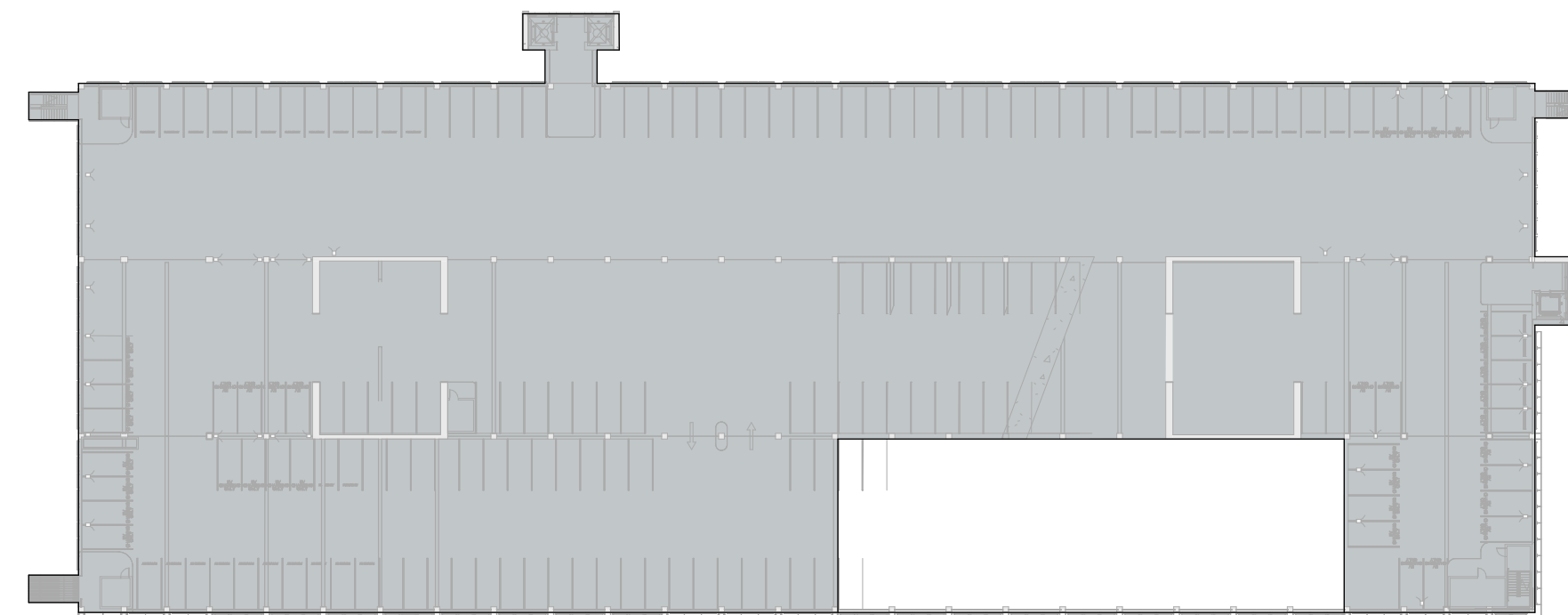
3 NG LEVEL 3 - PARKING
1" = 60'-0"



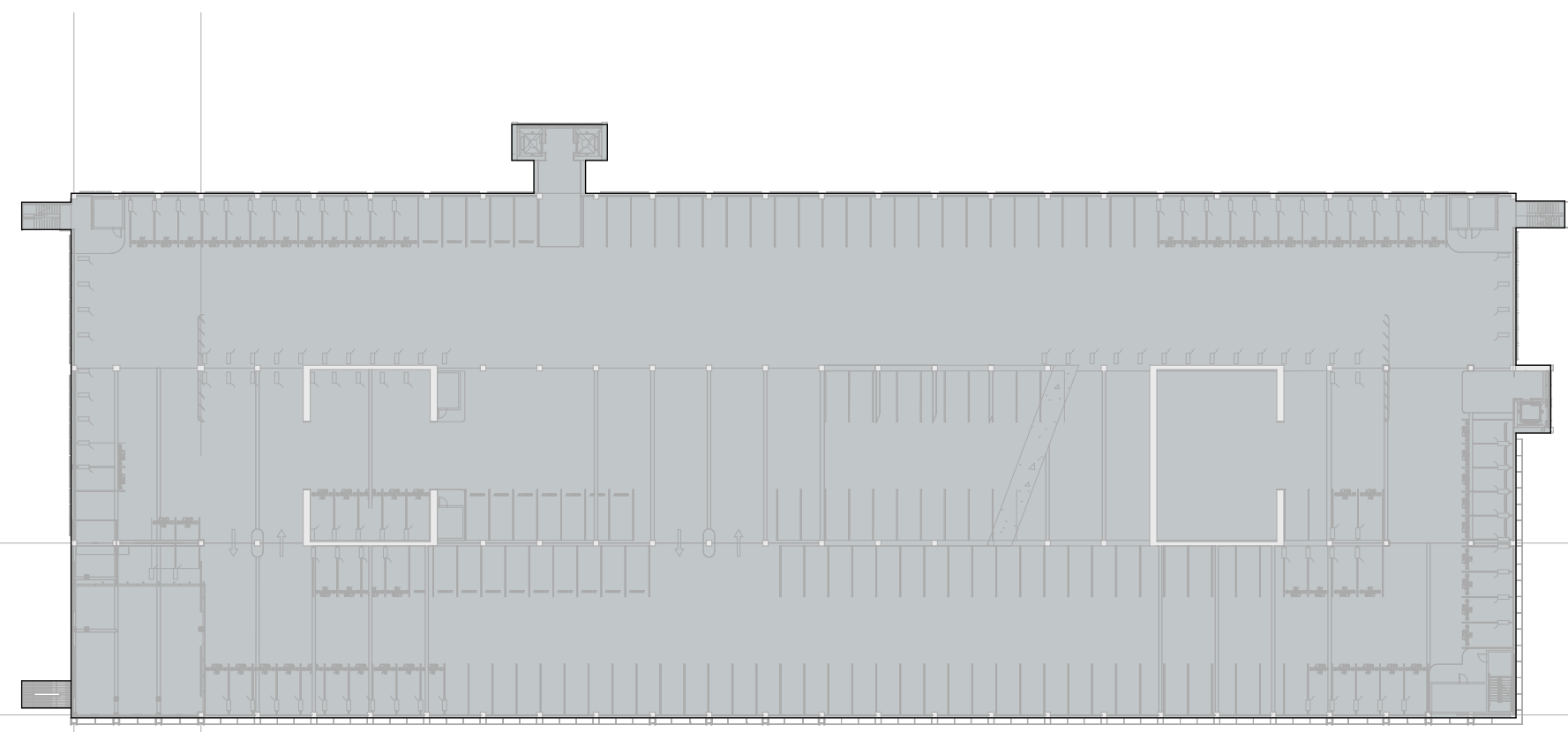
4 NG LEVEL 4 - PARKING
1" = 60'-0"



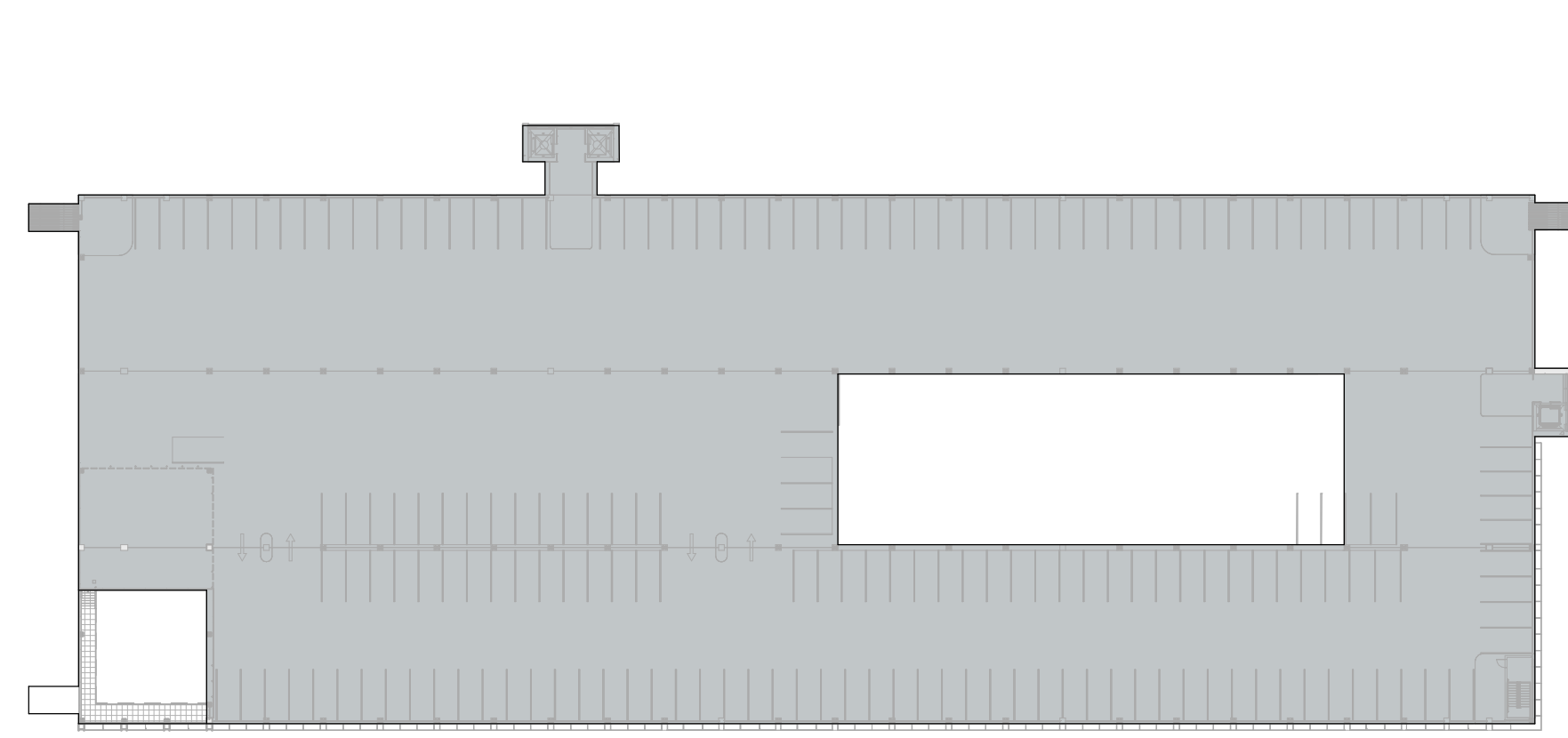
5 NG LEVEL 5 - PARKING
1" = 60'-0"



6 NG LEVEL 6 - PARKING
1" = 60'-0"



7 NG LEVEL 7 - PARKING
1" = 60'-0"



8 NG LEVEL 8 - PARKING
1" = 60'-0"

Total EV Parking: 612

ACP_NORTH GARAGE PARKING SCHEDULE	
Type	Count
EV Future	204
EV HC Ambulatory	11
EV HC Standard	11
EV HC Van	4
EV Standard	382
Expectant Mother	21
HC Standard	25
HC Van	6
Standard	1311
Vanpool	31
TOTAL:	2006

ACP_NG LEVEL 1 PARKING SCHEDULE	
Type	Count
EV Future	2
EV HC Standard	2
EV HC Van	4
EV Standard	6
HC Standard	2
HC Van	6
Standard	90
TOTAL:	112

ACP_NG LEVEL 2 PARKING SCHEDULE	
Type	Count
EV Future	22
EV HC Ambulatory	2
EV Standard	7
Standard	95
TOTAL:	126

ACP_NG LEVEL 3 PARKING SCHEDULE	
Type	Count
EV HC Ambulatory	9
EV HC Standard	9
EV Standard	52
Expectant Mother	21
HC Standard	23
Standard	155
Vanpool	31
TOTAL:	300

ACP_NG LEVEL 4 PARKING SCHEDULE	
Type	Count
EV Future	35
EV Standard	65
Standard	215
TOTAL:	315

ACP_NG LEVEL 5 PARKING SCHEDULE	
Type	Count
EV Future	35
EV Standard	65
Standard	215
TOTAL:	315

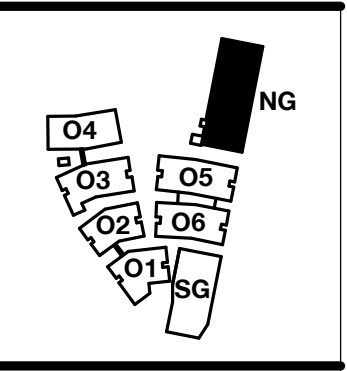
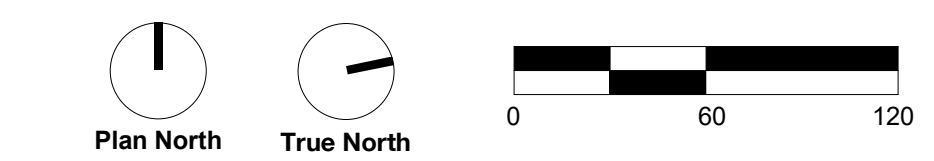
ACP_NG LEVEL 6 PARKING SCHEDULE	
Type	Count
EV Future	44
EV Standard	57
Standard	172
TOTAL:	273

ACP_NG LEVEL 7 PARKING SCHEDULE	
Type	Count
EV Future	32
EV Standard	65
Standard	205
TOTAL:	302

ACP_NG LEVEL 8 PARKING SCHEDULE	
Type	Count
EV Future	34
EV Standard	65
Standard	164
TOTAL:	263

PARKING BY LAND USE LEGEND		
SWATCH	USE	COUNT
[Swatch]	Office Car Parking*	3,304
[Swatch]	Commercial Car Parking	0
[Swatch]	Commercial Bicycle Parking	74
[Swatch]	Short Term Bicycle Parking	550
[Swatch]	Long Term Bicycle Parking	130

*Office Car Parking includes 1,008 EV and EV ready spaces



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 (Portion)
Menlo Park, CA

SCALE: As indicated
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR SEE CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

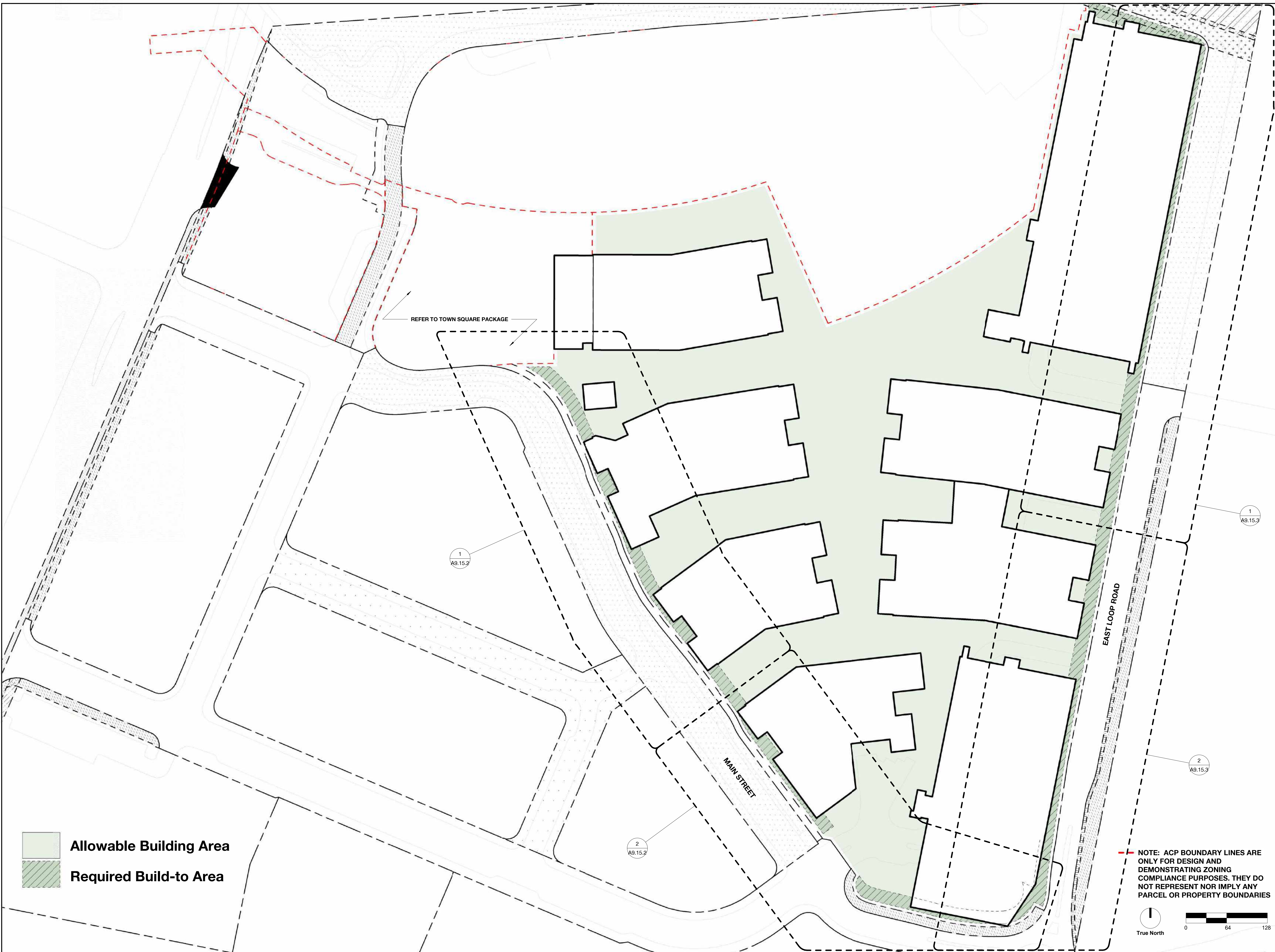
MILESTONES	
DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
Parking Count Diagram - North Garage

DRAWING NO:
A9.14.8

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Allowable Building Area
 Required Build-to Area

REFER TO TOWN SQUARE PACKAGE

1
A9.15.2

2
A9.15.2

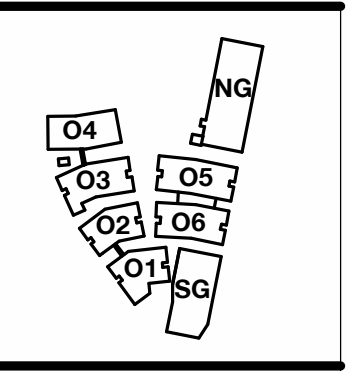
1
A9.15.3

2
A9.15.3

EAST LOOP ROAD

MAIN STREET

--- NOTE: ACP BOUNDARY LINES ARE ONLY FOR DESIGN AND DEMONSTRATING ZONING COMPLIANCE PURPOSES. THEY DO NOT REPRESENT NOR IMPLY ANY PARCEL OR PROPERTY BOUNDARIES



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

SCALE: As indicated

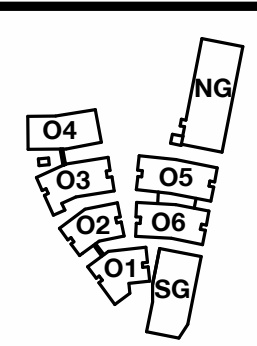
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. FOR USER CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
 Build-to Area Requirement

DRAWING NO:
A9.15.1



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

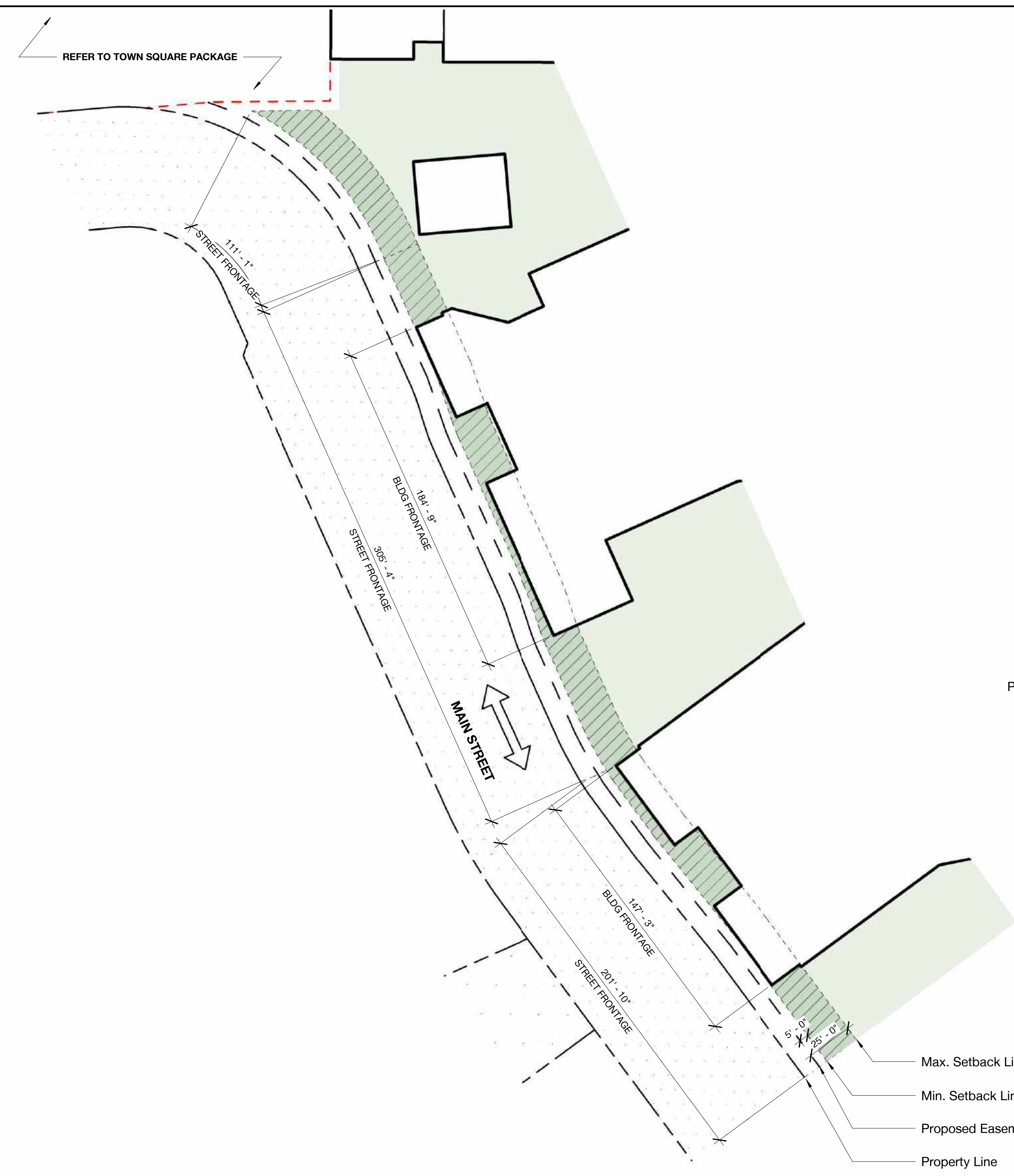
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MILESTONES	
DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
 Build-to Area Requirement - Main St

DRAWING NO:
A9.15.2



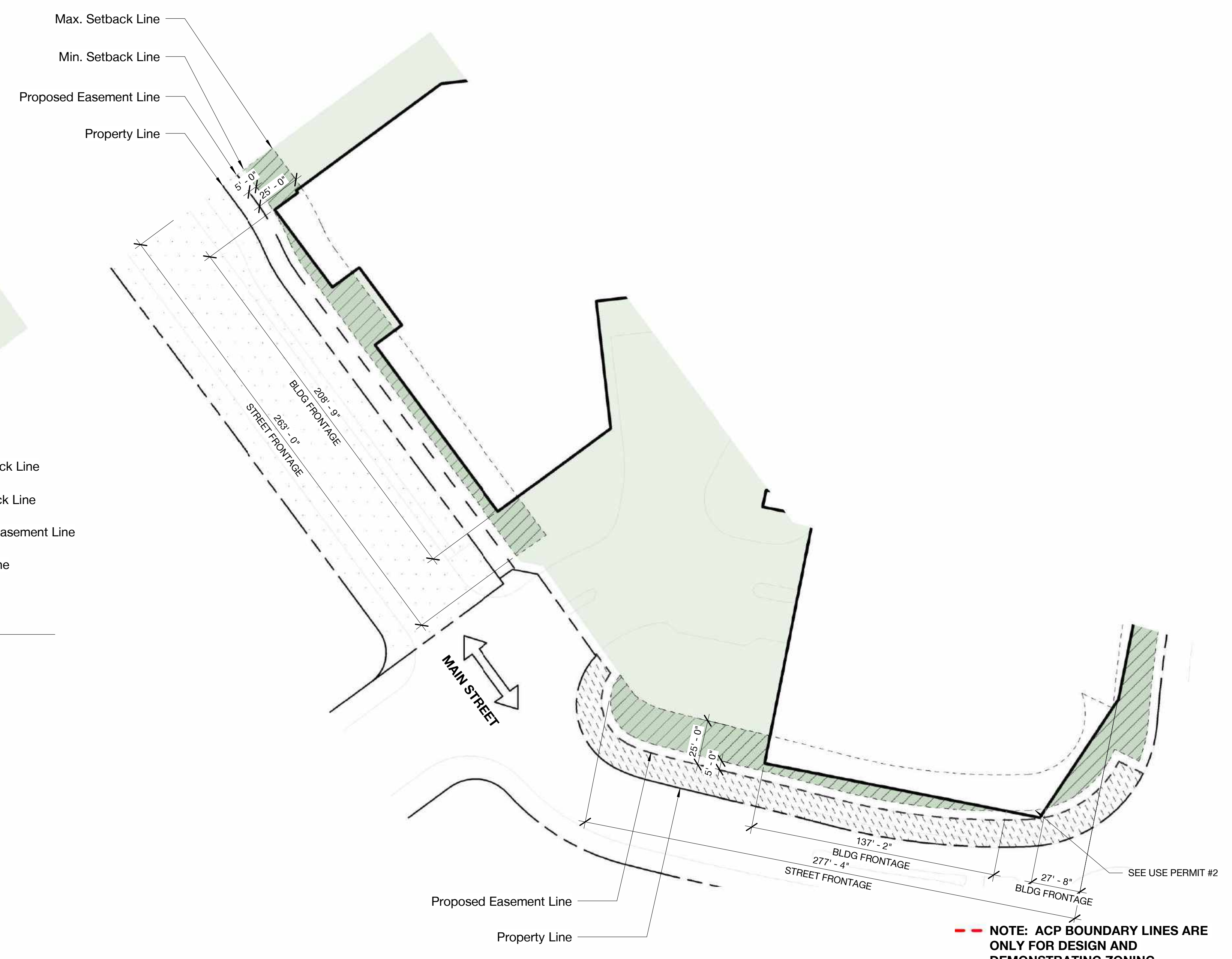
1 Build-to Area Requirement - Main St North
 1" = 40'-0"

Allowable Building Area (Solid Green)

Required Build-to Area (Hatched Green)

Main St

1,158' - 7"	Street Frontage Length
705' - 7"	Building Frontage Length within Build-to Area
60	% of street frontage 60% min.



2 Build-to Area Requirement - - Main St South
 1" = 40'-0"



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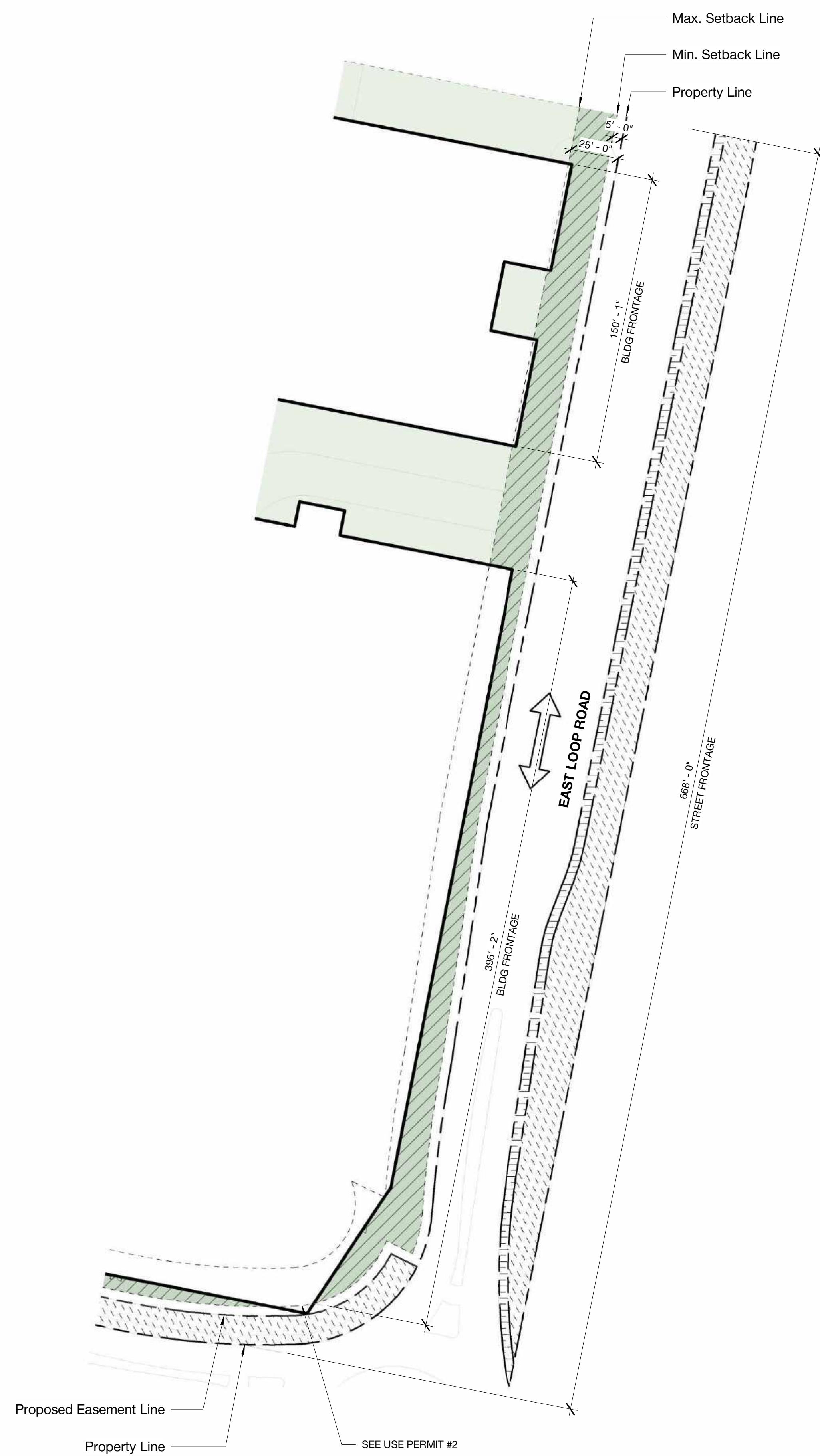
Allowable Building Area
 Required Build-to Area

East Loop Rd

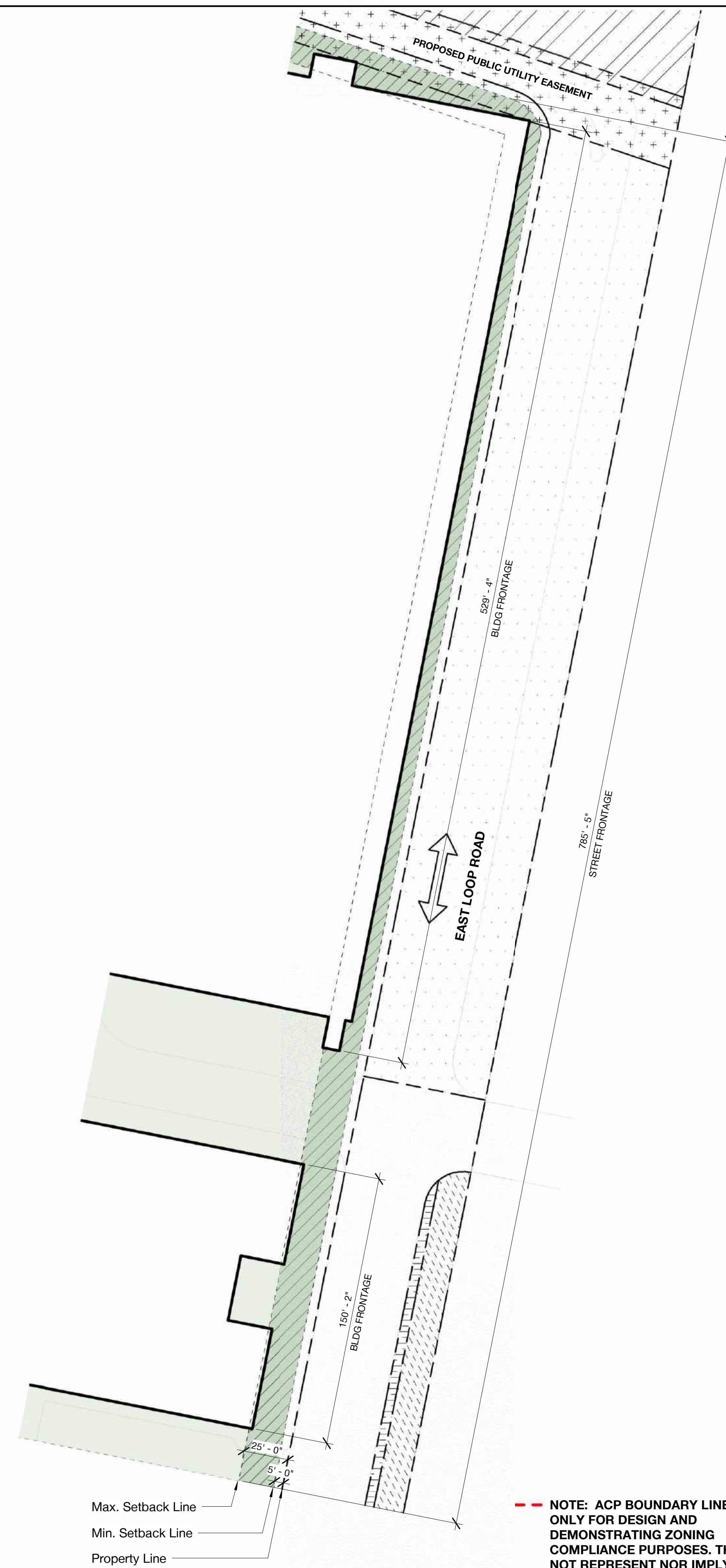
1,453' - 5" Street Frontage Length

1,225' - 9" Building Frontage Length within Build-to Area

84 % of street frontage
60% min.

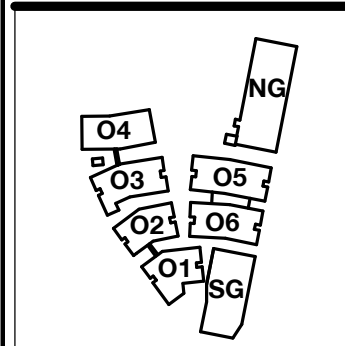


2 Build-to Area Requirement - East Loop Rd South
1" = 40'-0"



1 Build-to Area Requirement - East Loop Rd North
1" = 40'-0"

--- NOTE: ACP BOUNDARY LINES ARE ONLY FOR DESIGN AND DEMONSTRATING ZONING COMPLIANCE PURPOSES. THEY DO NOT REPRESENT NOR IMPLY ANY PARCEL OR PROPERTY BOUNDARIES



WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

SCALE: As indicated
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MILESTONES	
DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
 Build-to Area Requirement - East Loop Rd

DRAWING NO:
A9.15.3

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- Setback Area
- Setback Area Devoted to Vegetation
- Setback Area Adjacent to Active Use

REFER TO TOWN SQUARE PACKAGE

1
A9.16.2

2
A9.16.2

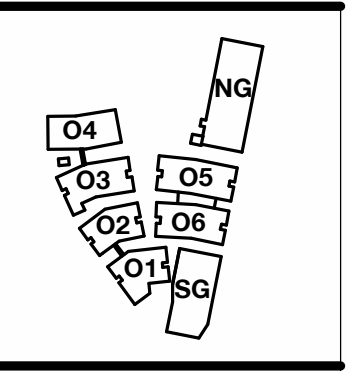
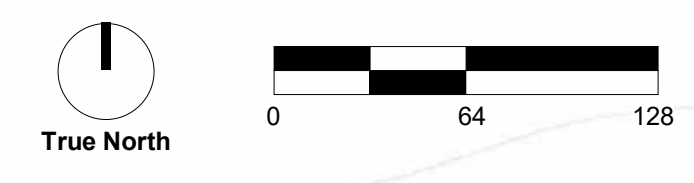
1
A9.16.3

2
A9.16.3

EAST LOOP ROAD

MAIN STREET

NOTE: ACP BOUNDARY LINES ARE ONLY FOR DESIGN AND DEMONSTRATING ZONING COMPLIANCE PURPOSES. THEY DO NOT REPRESENT NOR IMPLY ANY PARCEL OR PROPERTY BOUNDARIES



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

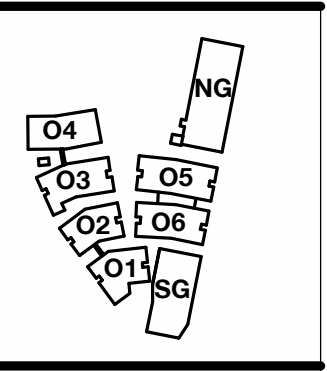
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NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR USER CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
03/10/2023	ACP

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NO.	DATE	ISSUE

DRAWING TITLE:
Frontage Landscaping

DRAWING NO:
A9.16.1



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

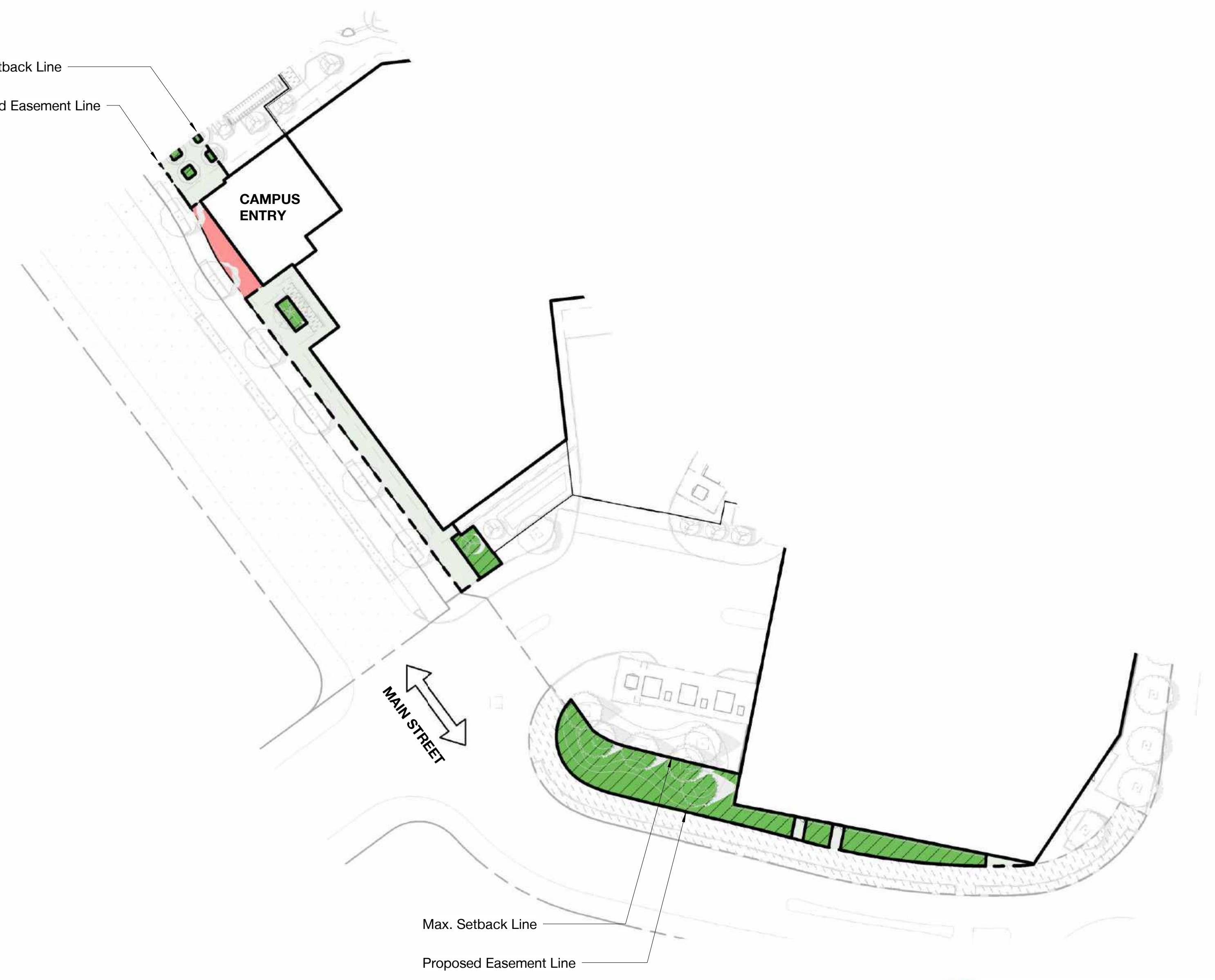
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NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. FOR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
 Frontage Landscaping -
 Main St

DRAWING NO:
A9.16.2



1 Frontage Landscaping - Main St North
 1" = 40'-0"

- Setback Area**
- Setback Area Devoted to Vegetation**
- Setback Area Adjacent to Active Use**

Main St	
12,249	total setback area (SF)
5,033	total setback area vegetation (SF)
41	% of setback area 25% min.




2 Frontage Landscaping - Main St South
 1" = 40'-0"

NOTE: ACP BOUNDARY LINES ARE ONLY FOR DESIGN AND DEMONSTRATING ZONING COMPLIANCE PURPOSES. THEY DO NOT REPRESENT NOR IMPLY ANY PARCEL OR PROPERTY BOUNDARIES

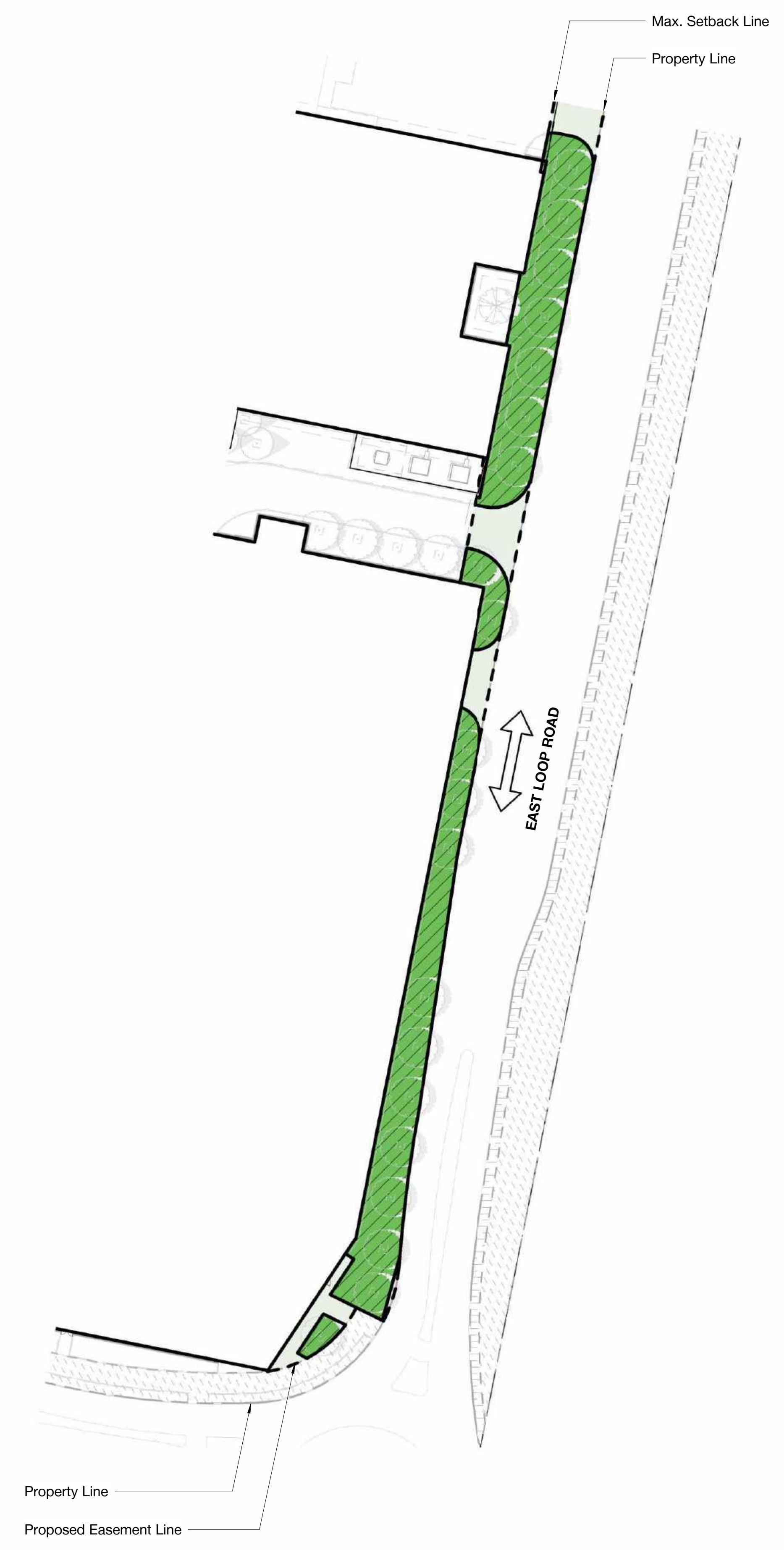


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-  **Setback Area**
-  **Setback Area Devoted to Vegetation**
-  **Setback Area Adjacent to Active Use**

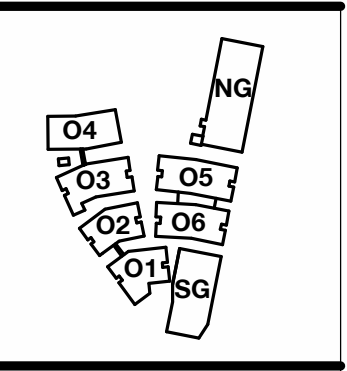
East Loop Rd	
25,341	total setback area (SF)
19,614	total setback area vegetation (SF)
77	% of setback area 25% min.



2 Frontage Landscaping - East Loop Rd South
1" = 40'-0"



1 Frontage Landscaping - East Loop Rd North
1" = 40'-0"



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 (Portion)
Menlo Park, CA

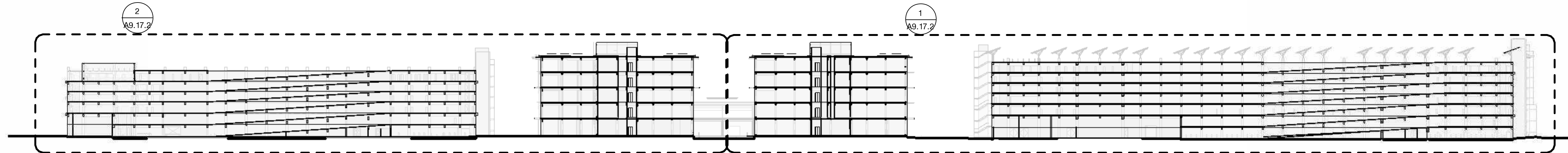
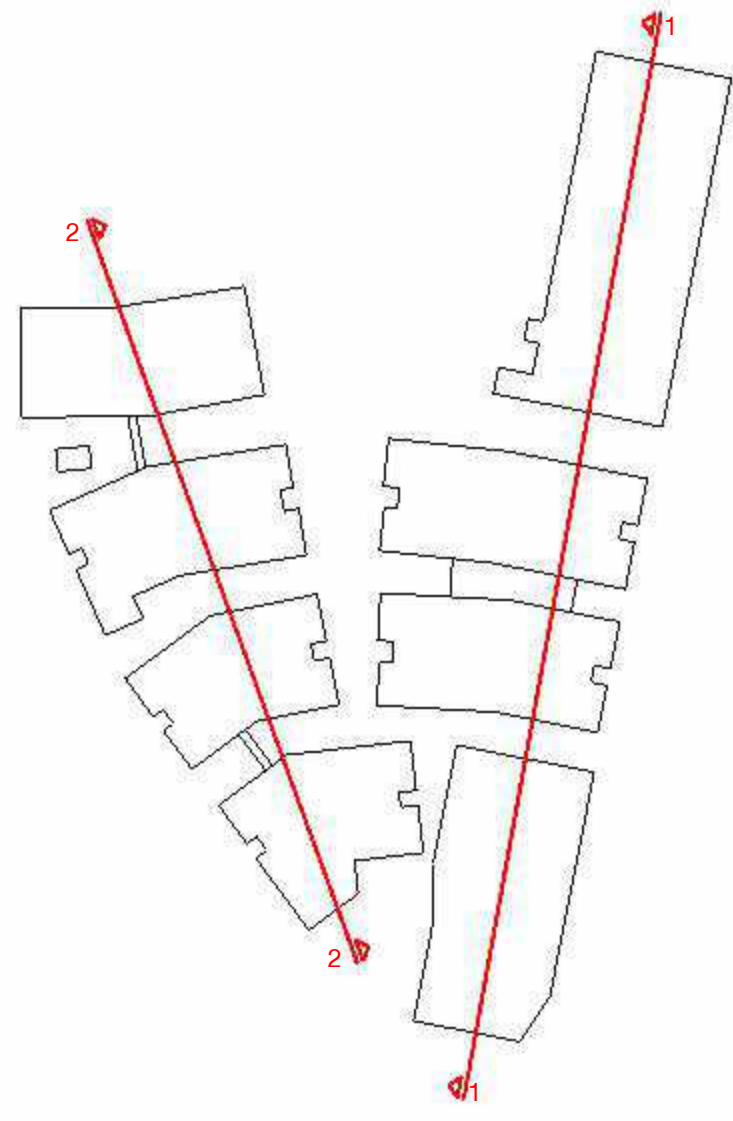
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DATE	ISSUE
03/10/2023	ACP

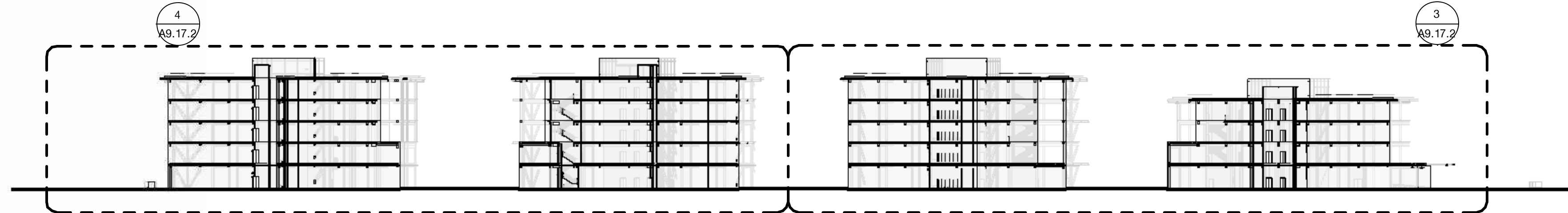
REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
Frontage Landscaping -
East Loop Rd

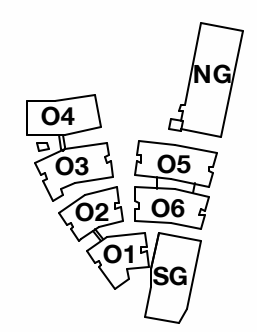
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A9.16.3



1 North South Site Section - East Loop Road - 1/60'
1" = 60'-0"



2 North South Site Section - Main Street - 1/60'
1" = 60'-0"



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 (Portion)
Menlo Park, CA

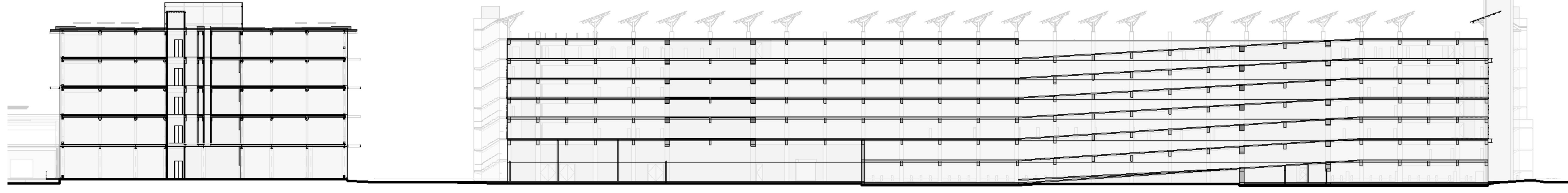
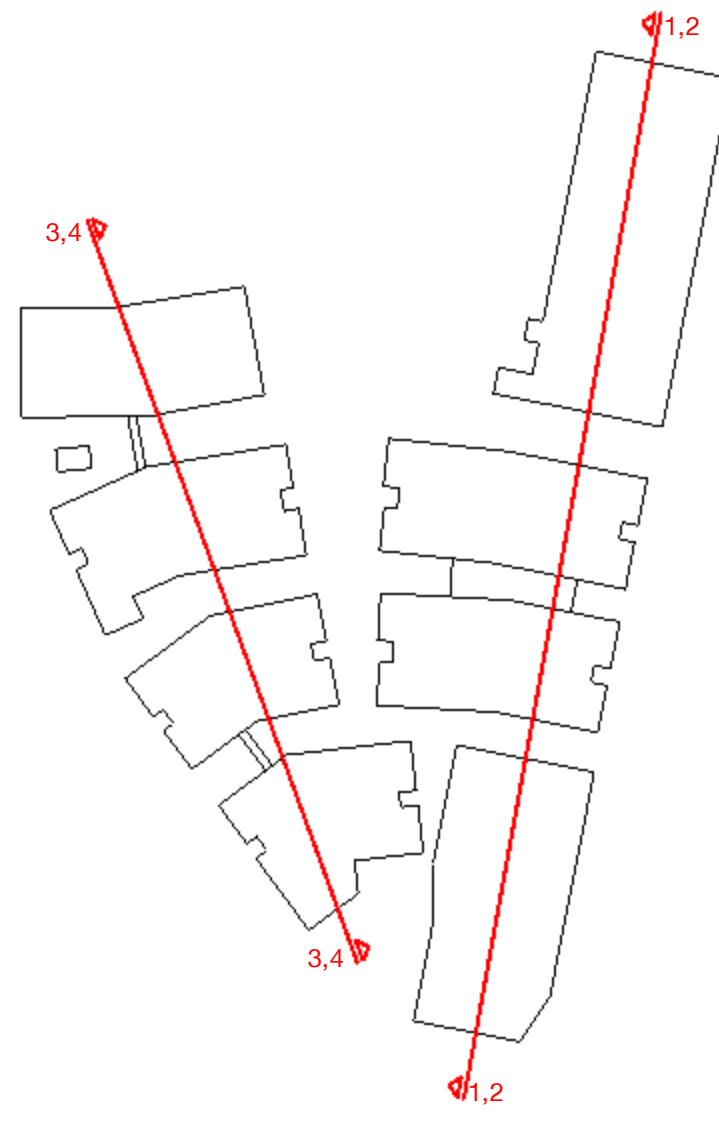
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NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY, OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
03/10/2023	ACP

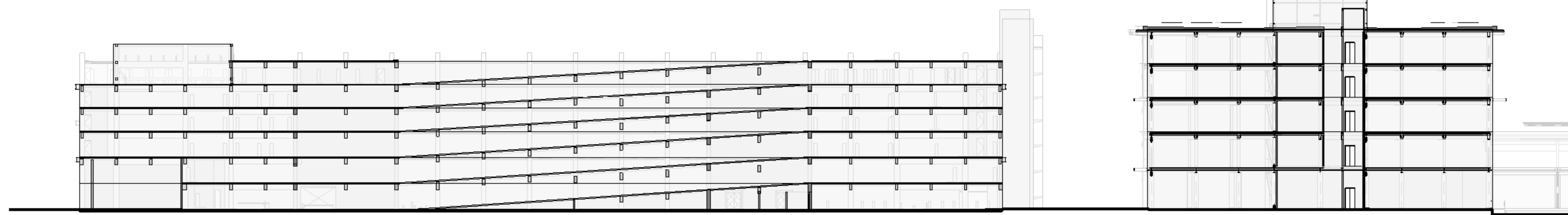
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NO.	DATE	ISSUE

DRAWING TITLE:
Site Sections

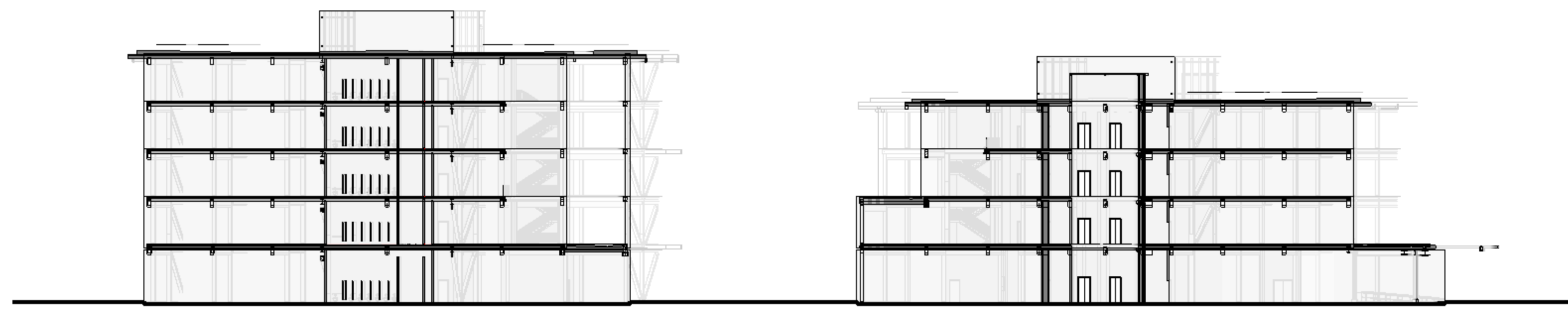
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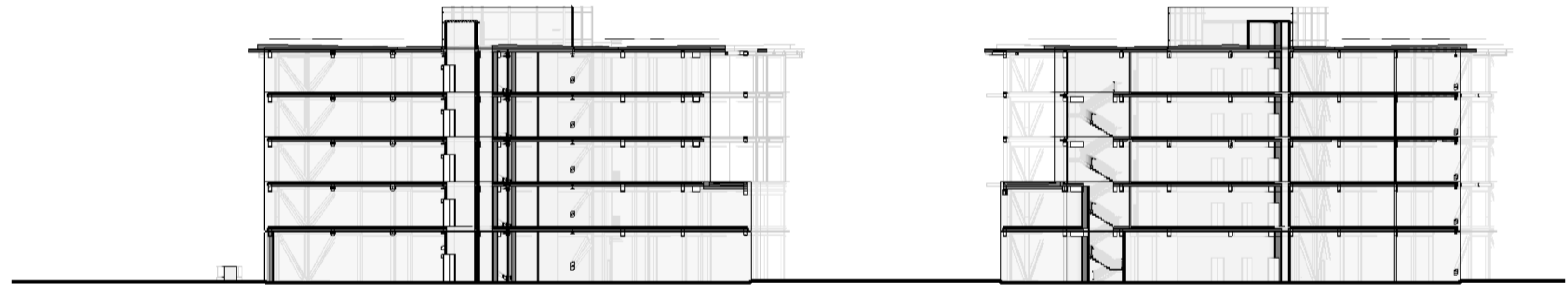
1 North South Site Section - Main Street A - 1/30'
1" = 30'-0"



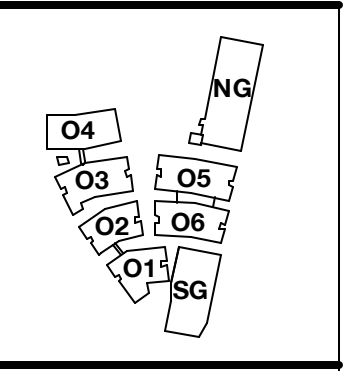
2 North South Site Section - Main Street B - 1/30'
1" = 30'-0"



3 North South Site Section - Main Street A - 1/30'
1" = 30'-0"



4 North South Site Section - Main Street B - 1/30'
1" = 30'-0"



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 (Portion)
Menlo Park, CA

SCALE: As indicated
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY, OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

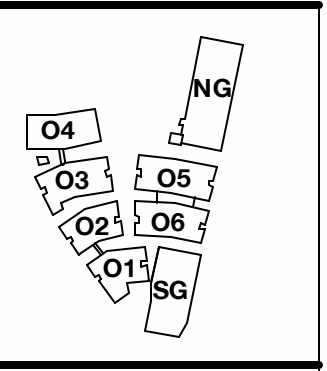
MILESTONES	
DATE	ISSUE
03/10/2023	ACP

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NO.	DATE	ISSUE

DRAWING TITLE:
Site Sections

DRAWING NO:
A9.17.2





PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

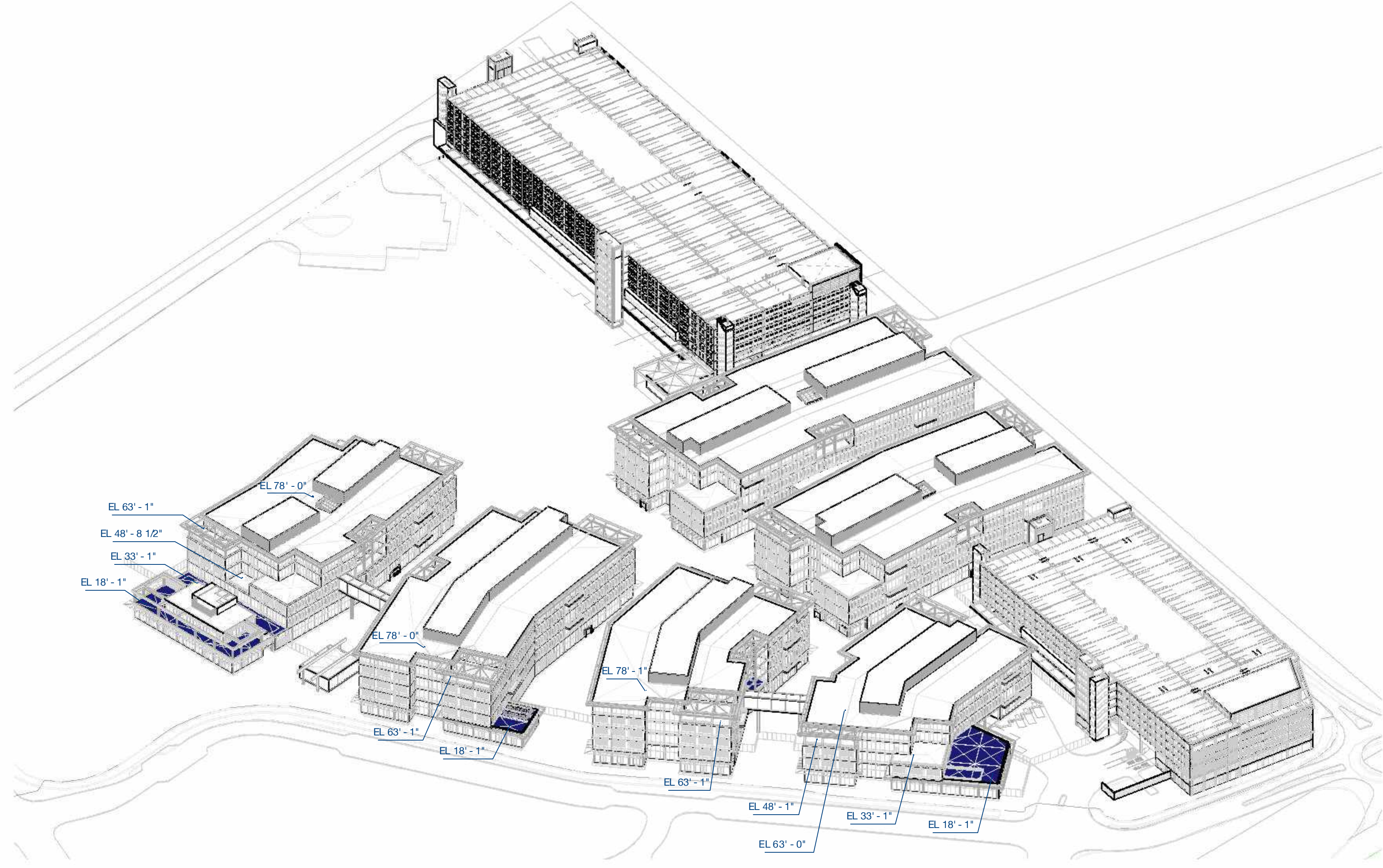
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MILESTONES	
DATE	ISSUE
03/10/2023	ACP

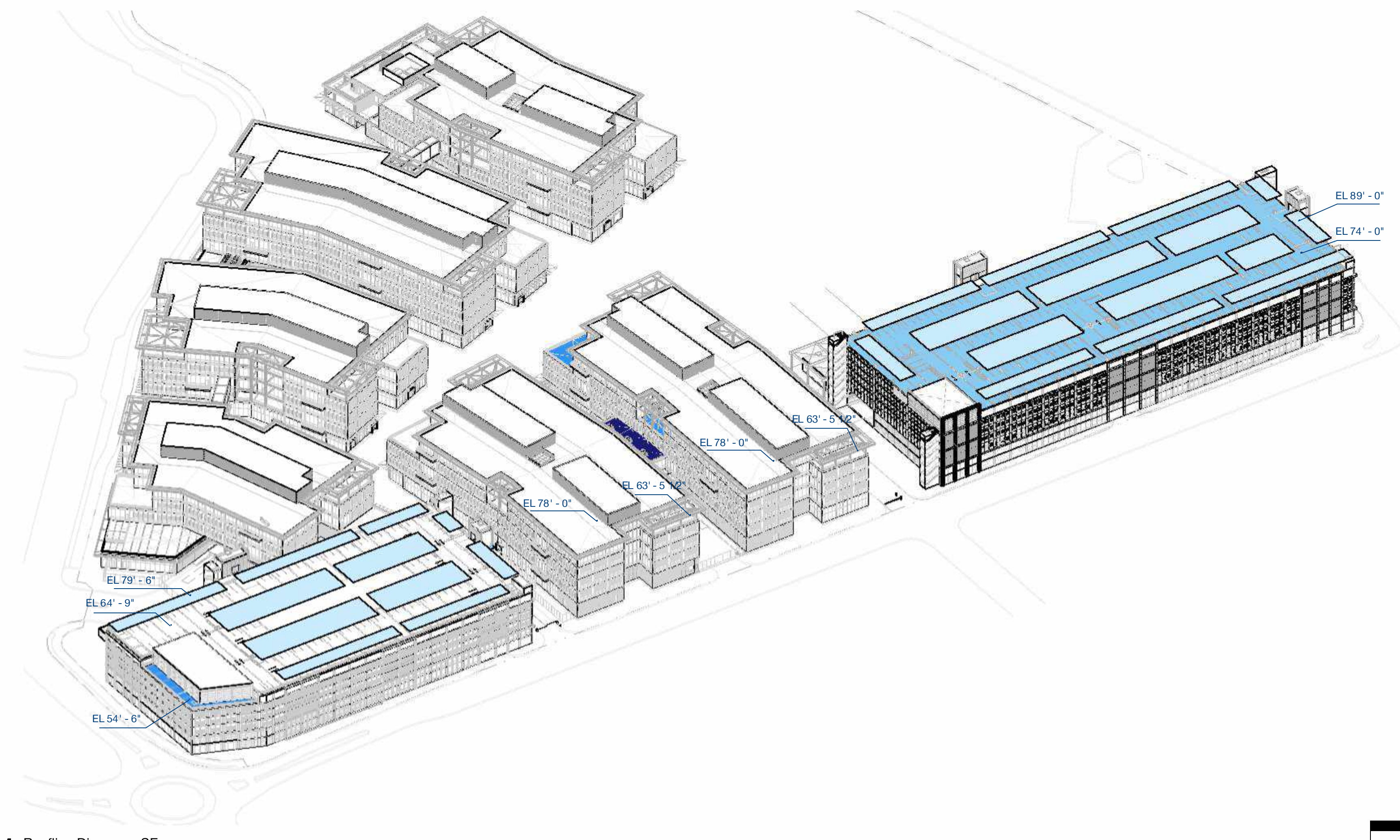
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NO.	DATE	ISSUE

DRAWING TITLE:
Roofline Diagram

DRAWING NO:
A9.18



2 Roofline Diagram - SW

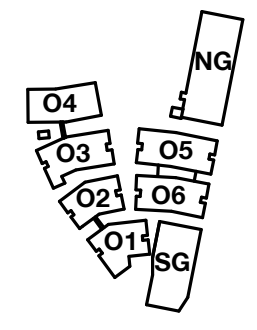
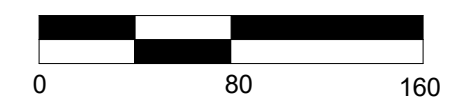
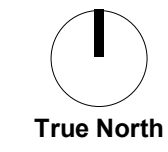


1 Roofline Diagram - SE





1 Garbage Removal Site Plan - Level 1
 1" = 80'-0"



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

SCALE: 1" = 80'-0"
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES

DATE	ISSUE
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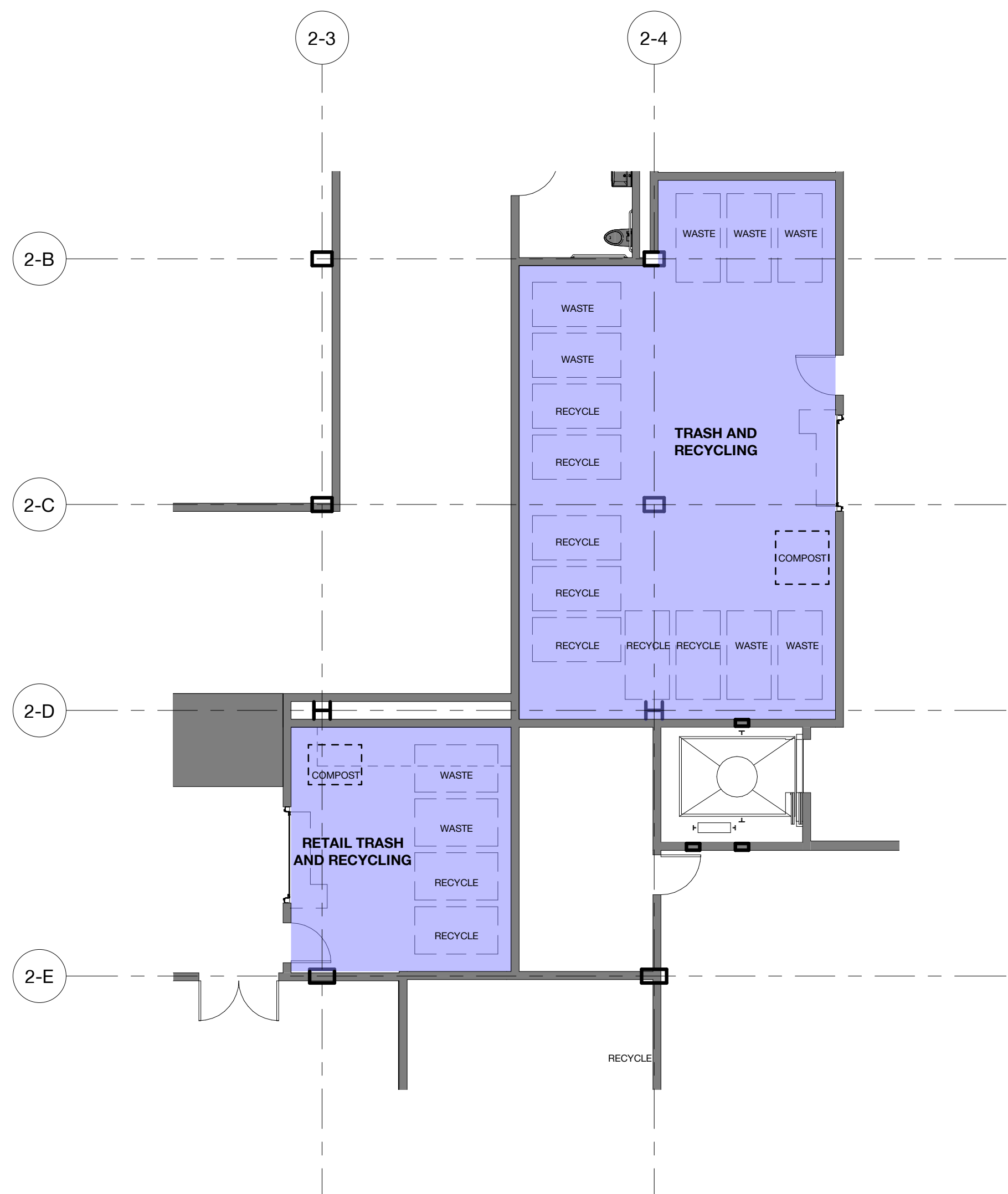
REVISIONS

NO.	DATE	ISSUE

DRAWING TITLE:
 Refuse, Recycling, and
 Zero Waste Diagram

DRAWING NO:

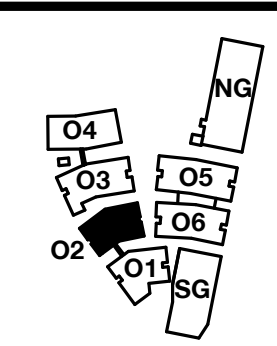
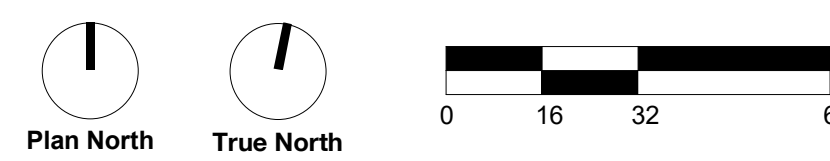
A9.20



2 Building 02 - Level 1 - Trash Removal - Enlarged Plan
1/8" = 1'-0"



1 Building 02 - Level 1 - Trash Removal
1/32" = 1'-0"



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 (Portion)
Menlo Park, CA

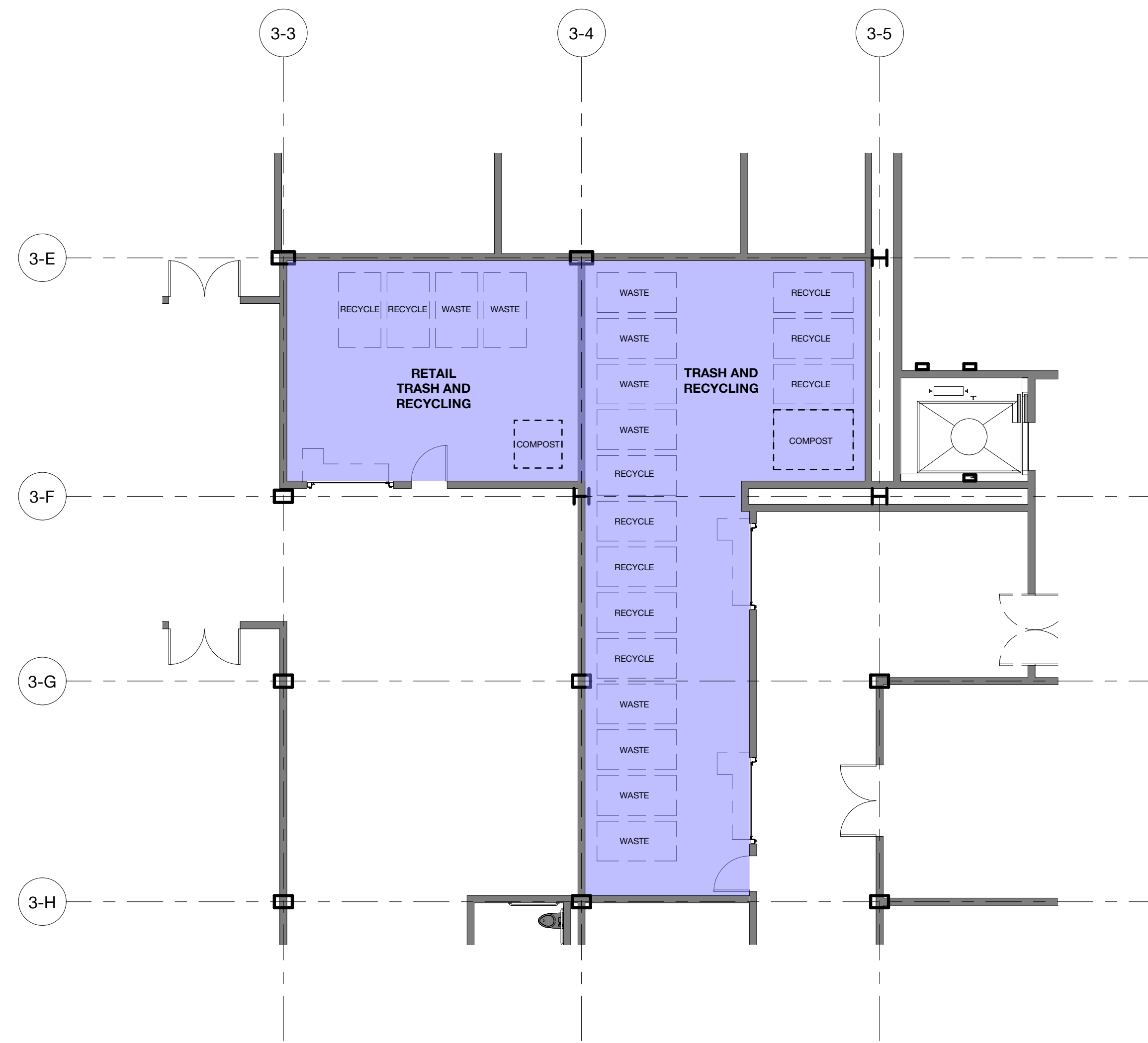
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MILESTONES	
DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
Refuse, Recycling, and
Zero Waste Diagram -
Building 02

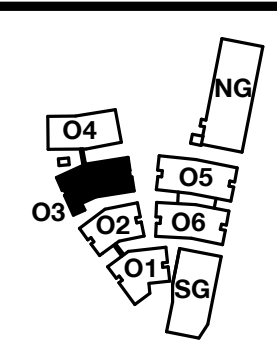
DRAWING NO:
A9.20.1



2 Building 03 - Level 1 Trash Removal - Enlarged Plan
1/8" = 1'-0"



1 Building 03 - Level 1 Trash Removal
1/32" = 1'-0"



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 (Portion)
Menlo Park, CA

SCALE: As indicated
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY, OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

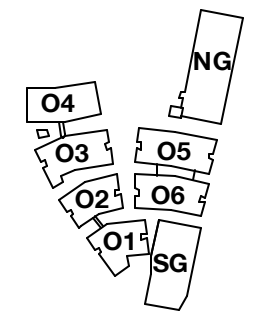
MILESTONES	
DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
Refuse, Recycling, and
Zero Waste Diagram -
Building 03

DRAWING NO:
A9.20.2

THE PROJECT WILL IMPLEMENT THE LIGHTING MEASURES PROVIDED IN THE *WILLOW VILLAGE MASTER PLAN BIRD SAFE DESIGN ASSESSMENT* INCLUDING THE LIGHTING DESIGN PRINCIPLES IN SECTION 6.2.1; MITIGATION MEASURES 6-9 IN SECTION 6.3.1.2, SPECIFIC TO THE NORTH GARAGE, PAVILIONS, AND OFFICE BUILDING 04; MITIGATION MEASURE 6 IN SECTION 6.3.1.2 AND 13 IN SECTION 6.3.4.2, SPECIFIC TO OFFICE BUILDINGS 01, 02, 03, 06 AND 06, AS WELL AS THE SOUTH GARAGE; AND CITY OCCUPANCY SENSOR (EITHER VIA COMPLIANCE WITH CITY LIGHTING REQUIREMENTS OR THE IMPLEMENTATION OF THE PROPOSED ALTERNATIVE CITY MEASURES IN SECTION 6.2.2). A SUBSEQUENT REPORT PREPARED BY A QUALIFIED BIOLOGIST WILL ACCOMPANY THE PROJECT'S BUILDING PERMIT SUBMITTAL TO DOCUMENT COMPLIANCE OF THE LIGHTING DESIGN FOR THE OFFICE CAMPUS WITH THESE REQUIREMENTS.



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

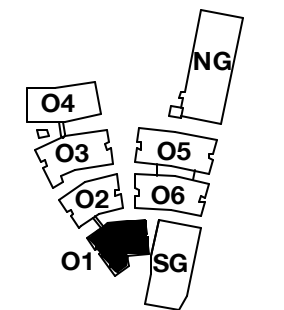
SCALE:
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DRAWING TITLE:
 Bird-Safe Lighting Design Requirements

DRAWING NO:
A9.40



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

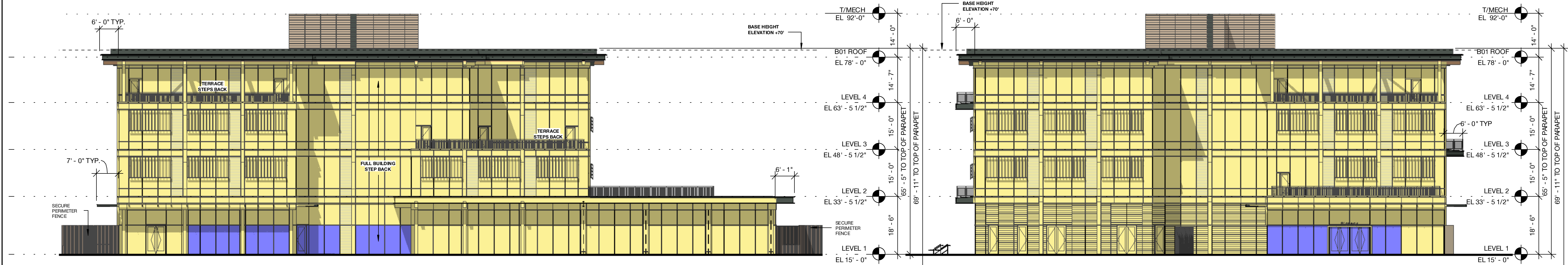
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DRAWING TITLE:
 Bird-Safe Design
 Diagrams - Building 01

DRAWING NO:
A9.41

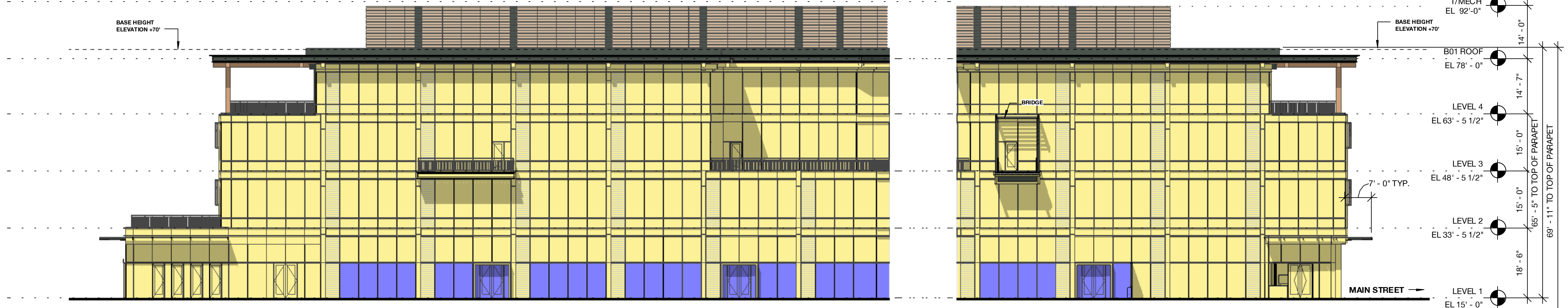


2 Building 01 - West Elevation - Bird Design Diagram
 1/16" = 1'-0"

TOTAL AREA: 10,435 SF
 BIRD FRIENDLY FACADE: 9,648 SF | 94.4%
 NON-BIRD FRIENDLY FACADE: 887 SF | 5.6%

1 Building 01 - East Elevation - Bird Design Diagram
 1/16" = 1'-0"

TOTAL AREA: 9,344 SF
 BIRD FRIENDLY FACADE: 8,862 SF | 95.9%
 NON-BIRD FRIENDLY FACADE: 482 SF | 4.1%



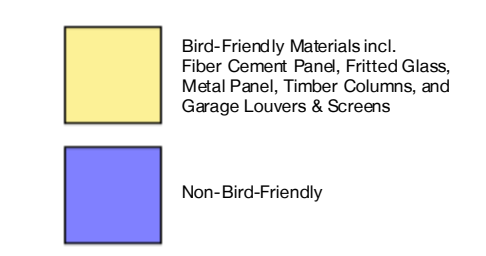
4 Building 01 - North Elevation B - Bird Design Diagram
 1/16" = 1'-0"

TOTAL AREA: 17,093 SF
 BIRD FRIENDLY FACADE: 15,653 SF | 91.8%
 NON-BIRD FRIENDLY FACADE: 1,440 SF | 8.2%

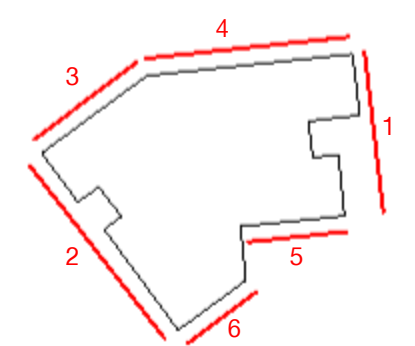
3 Building 01 - North Elevation A - Bird Design Diagram
 1/16" = 1'-0"

TOTAL AREA: 9,344 SF
 BIRD FRIENDLY FACADE: 8,862 SF | 95.9%
 NON-BIRD FRIENDLY FACADE: 482 SF | 4.1%

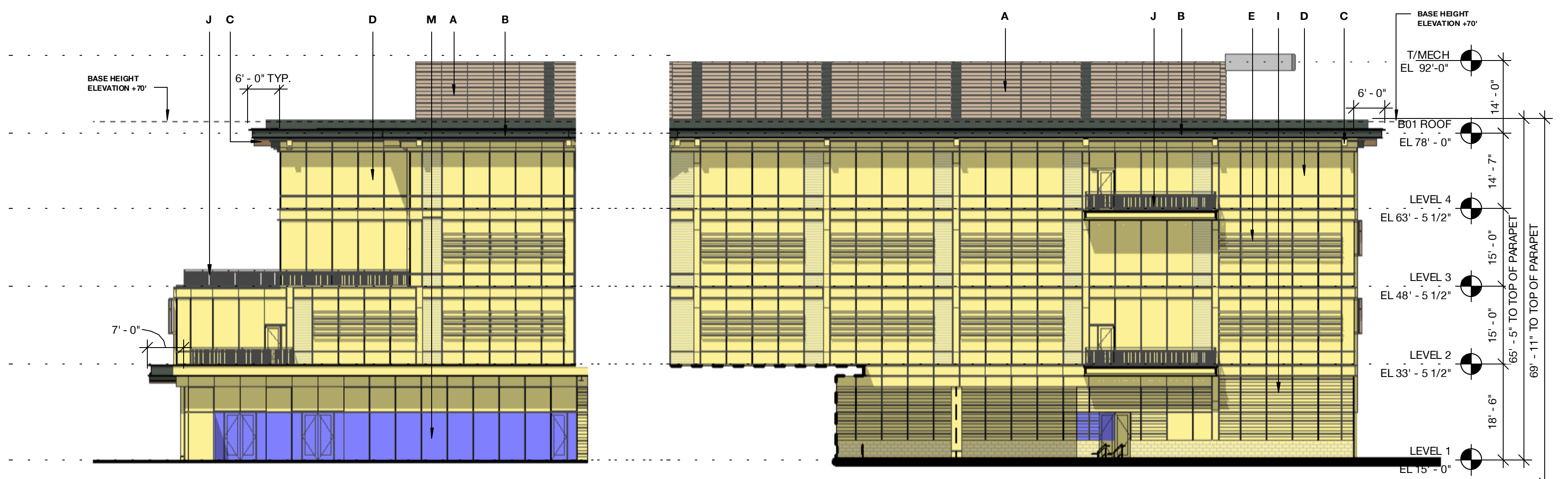
HATCH LEGEND



- A - PAINTED METAL + METAL PANEL
- B - PAINTED METAL + METAL PANEL
- C - EXPOSED HEAVY TIMBER STRUCTURE
- D - TYPICAL VISION GLASS
- E - ARCHITECTURAL LOUVER - PAINTED TO MATCH ADJACENT MATERIAL
- F - GLASS CANOPY
- G - SIGHT PROOF MECH LOUVER
- H - EXPOSED STEEL PAINTED TO MATCH PAINTED METAL PANEL
- I - FIBER CEMENT BOARD
- J - PAINTED METAL GUARDRAIL
- K - PERFORATED METAL PANEL GUARDRAIL
- L - SCREEN COLORED TO MATCH MATERIAL "H"
- M - VISION GLASS - LEVEL 1 & PAVILIONS SP-1 AND SP-2
- N - CAST-IN-PLACE CONCRETE



BUILDING 01 TOTALS
 TOTAL AREA: 48,685 SF
 BIRD FRIENDLY FACADE: 45,611 SF | 93.7%
 NON-BIRD FRIENDLY FACADE: 3,074 SF | 6.3%



6 Building 01 - South Elevation B - Bird Design Diagram
 1/16" = 1'-0"

TOTAL AREA: 11,853 SF
 BIRD FRIENDLY FACADE: 11,348 SF | 94.1%
 NON-BIRD FRIENDLY FACADE: 705 SF | 5.9%

5 Building 01 - South Elevation A - Bird Design Diagram
 1/16" = 1'-0"

TOTAL AREA: 9,344 SF
 BIRD FRIENDLY FACADE: 8,862 SF | 95.9%
 NON-BIRD FRIENDLY FACADE: 482 SF | 4.1%



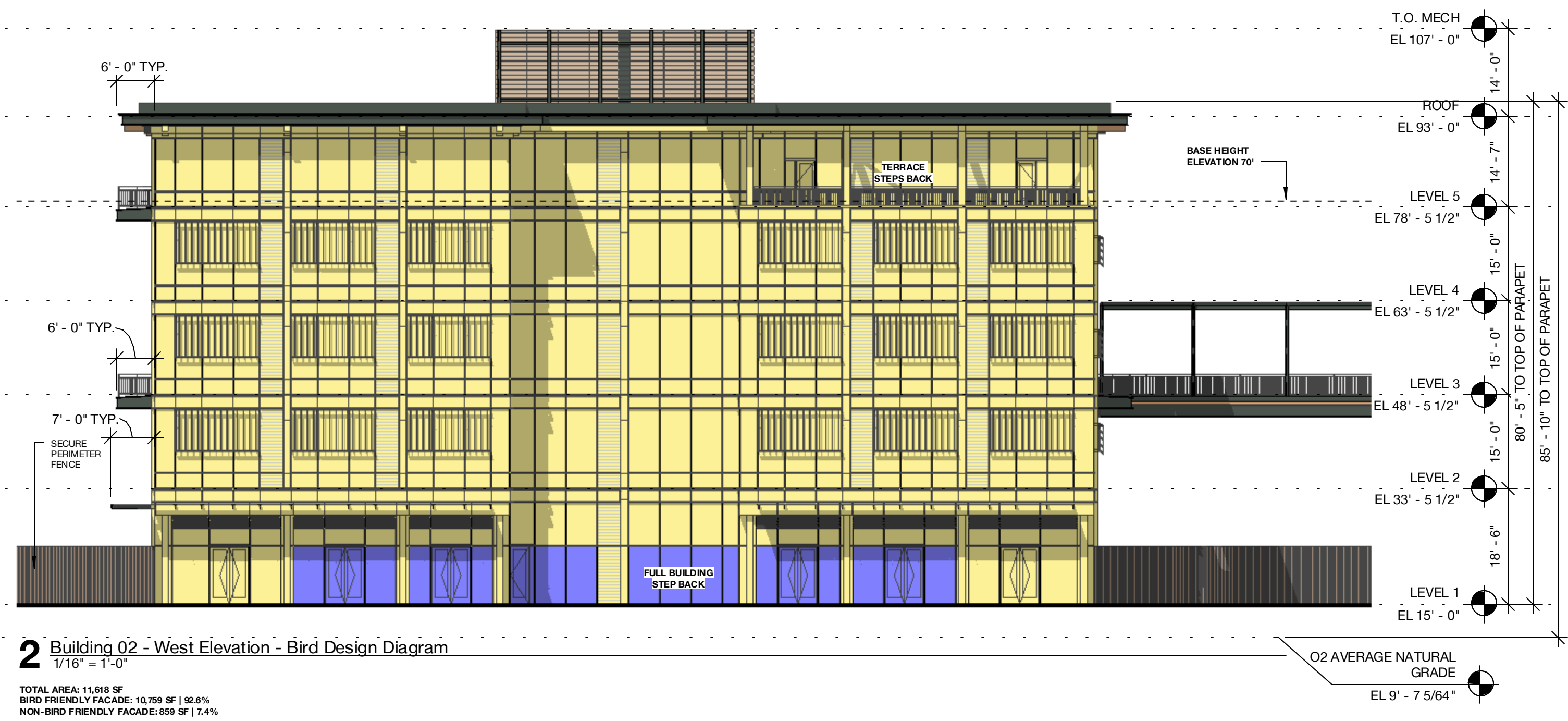
SCALE: As indicated
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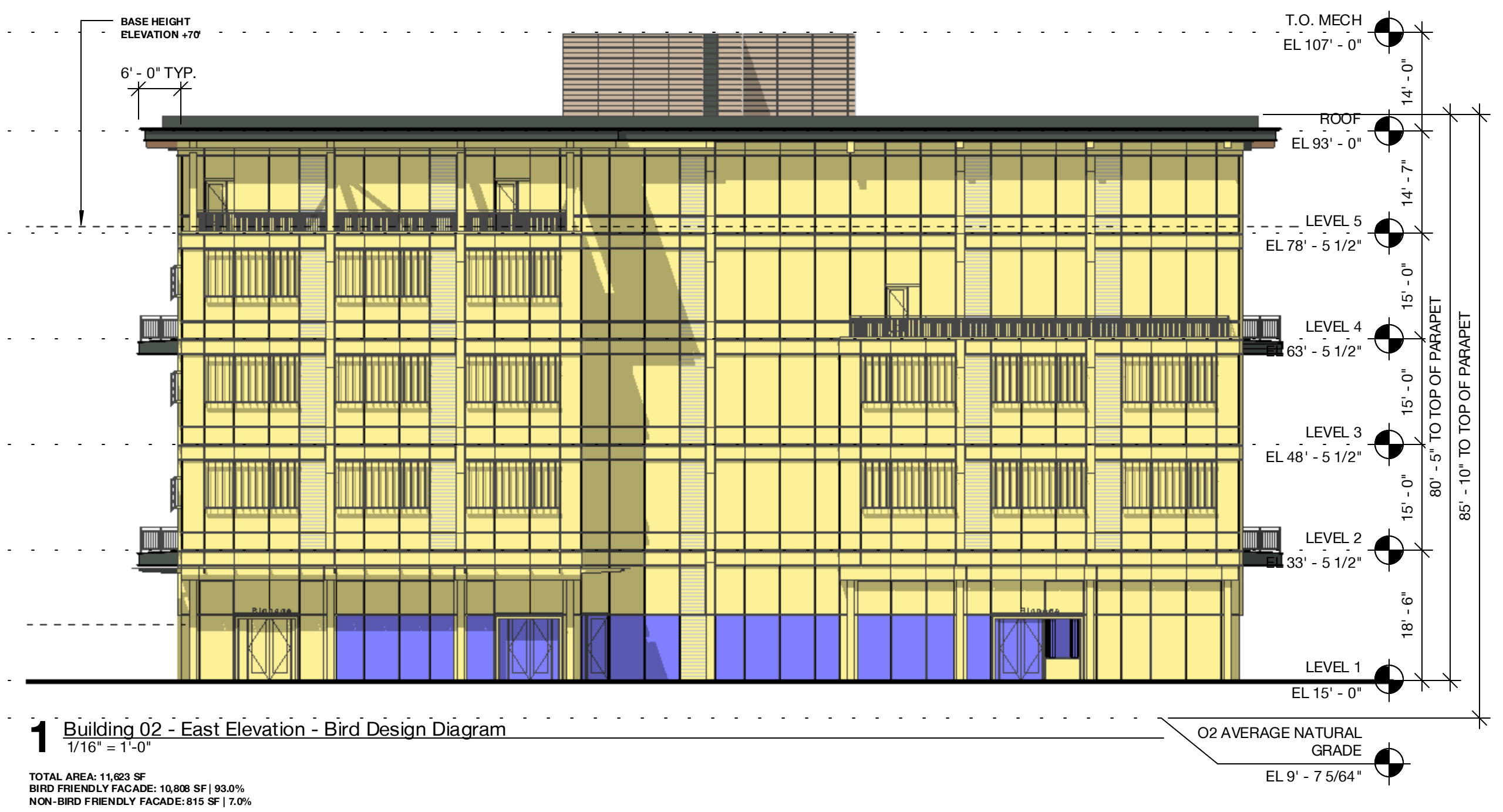
DRAWING TITLE:
Bird-Safe Design Diagrams - Building 02

DRAWING NO:
A9.42



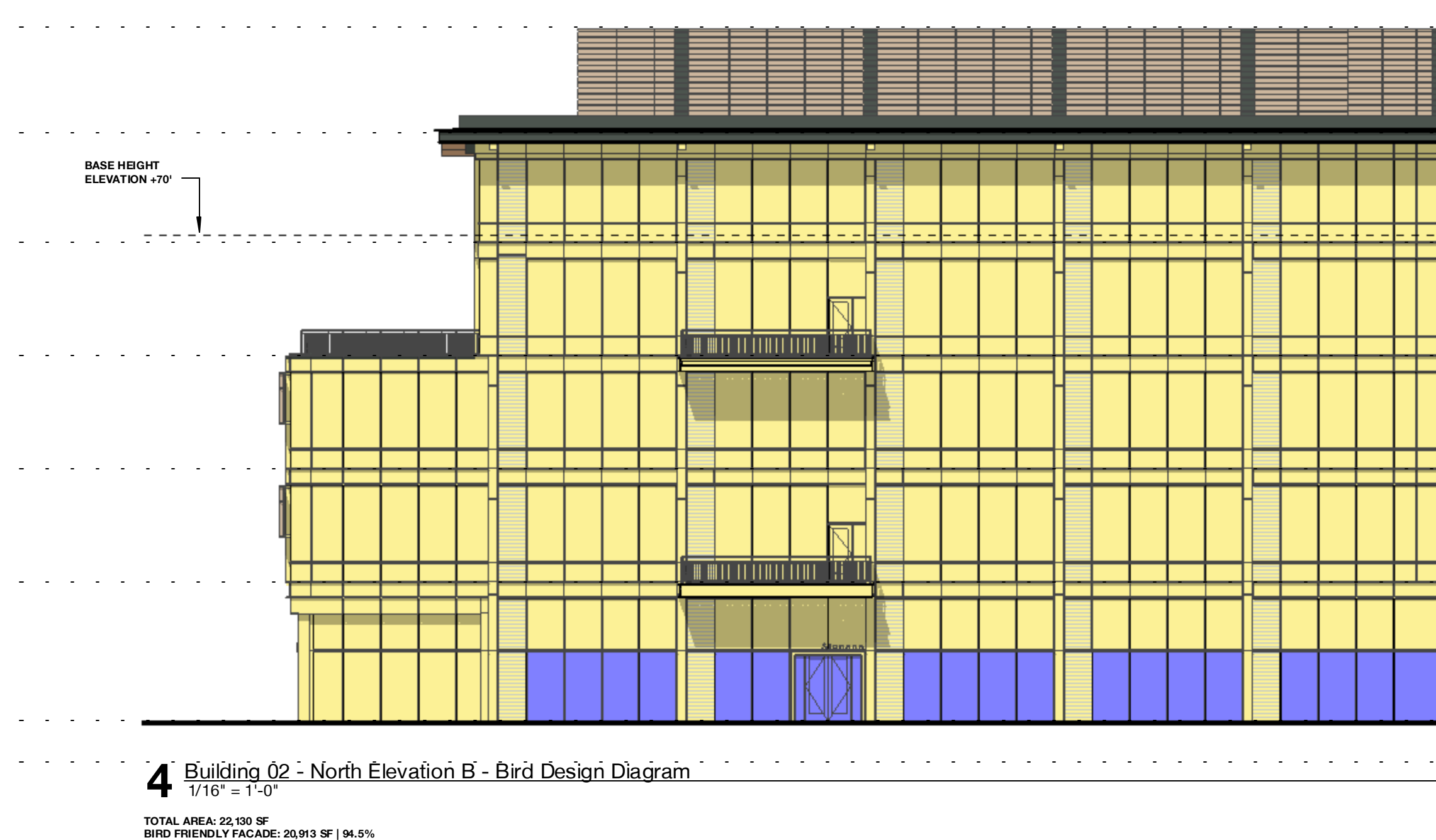
2 Building 02 - West Elevation - Bird Design Diagram
 1/16" = 1'-0"

TOTAL AREA: 11,918 SF
 BIRD FRIENDLY FACADE: 10,759 SF | 90.2%
 NON-BIRD FRIENDLY FACADE: 859 SF | 7.4%



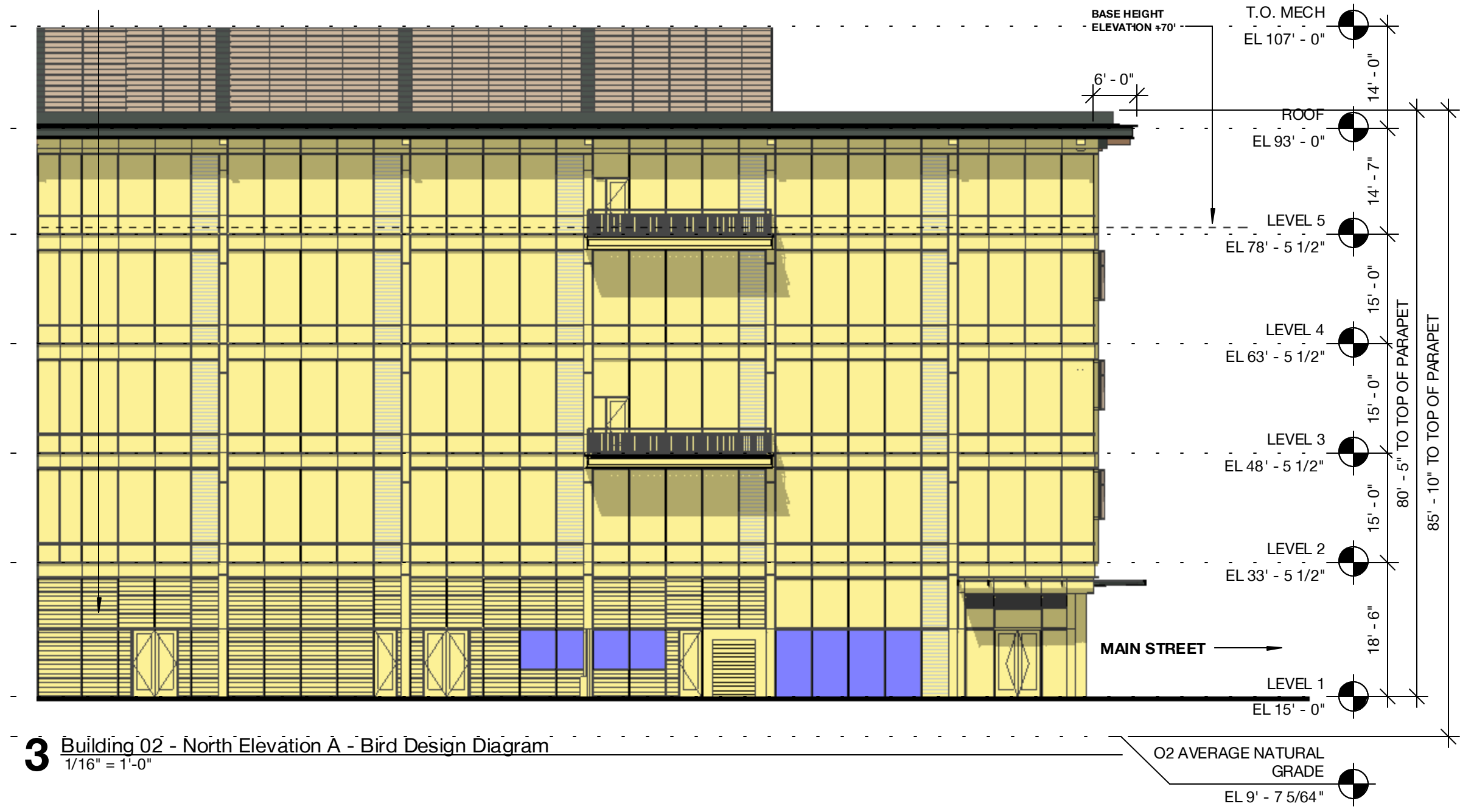
1 Building 02 - East Elevation - Bird Design Diagram
 1/16" = 1'-0"

TOTAL AREA: 11,923 SF
 BIRD FRIENDLY FACADE: 10,808 SF | 91.0%
 NON-BIRD FRIENDLY FACADE: 815 SF | 7.0%



4 Building 02 - North Elevation B - Bird Design Diagram
 1/16" = 1'-0"

TOTAL AREA: 22,130 SF
 BIRD FRIENDLY FACADE: 20,913 SF | 94.5%
 NON-BIRD FRIENDLY FACADE: 1,217 SF | 5.5%

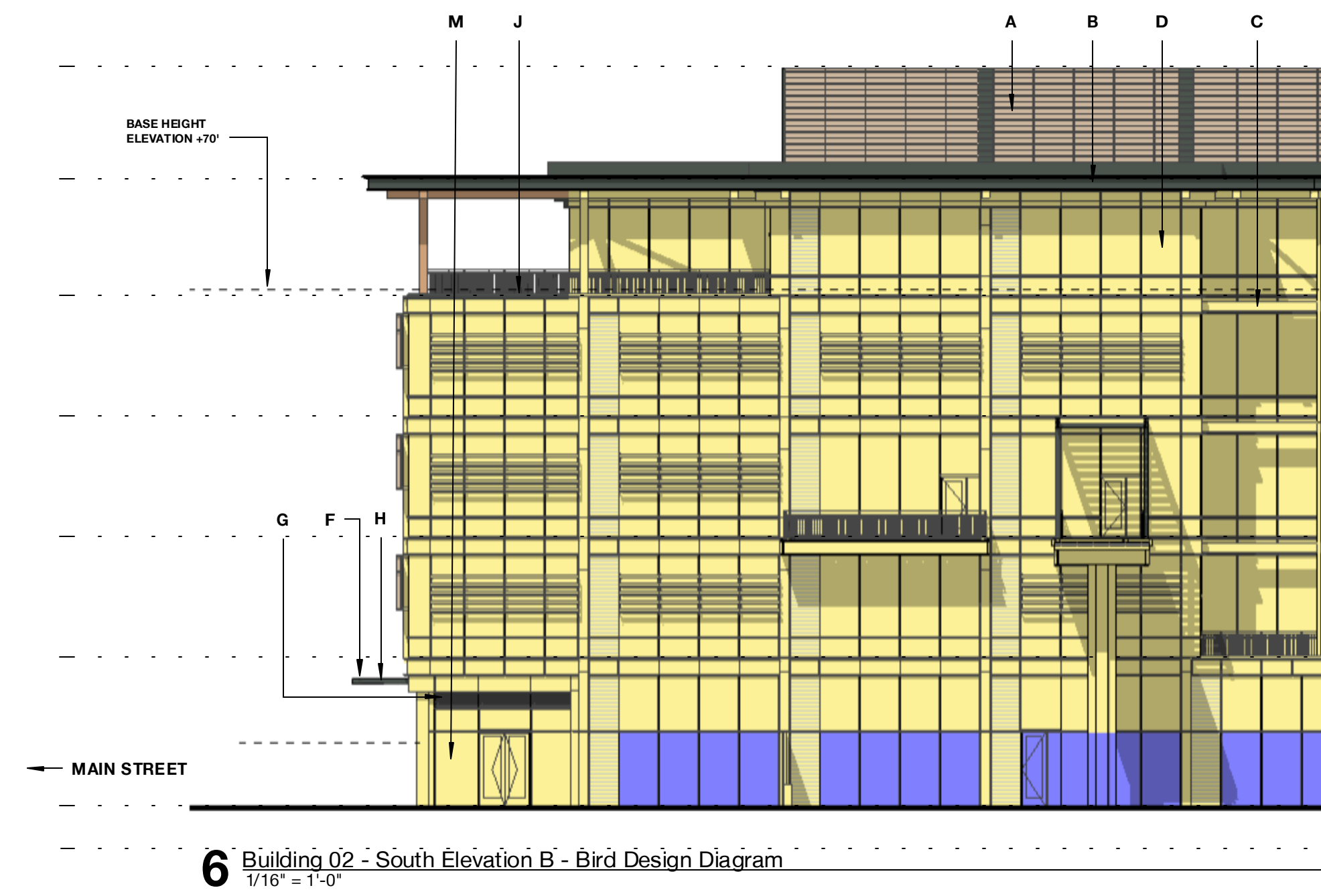


3 Building 02 - North Elevation A - Bird Design Diagram
 1/16" = 1'-0"

TOTAL AREA: 11,923 SF
 BIRD FRIENDLY FACADE: 10,808 SF | 91.0%
 NON-BIRD FRIENDLY FACADE: 815 SF | 7.0%

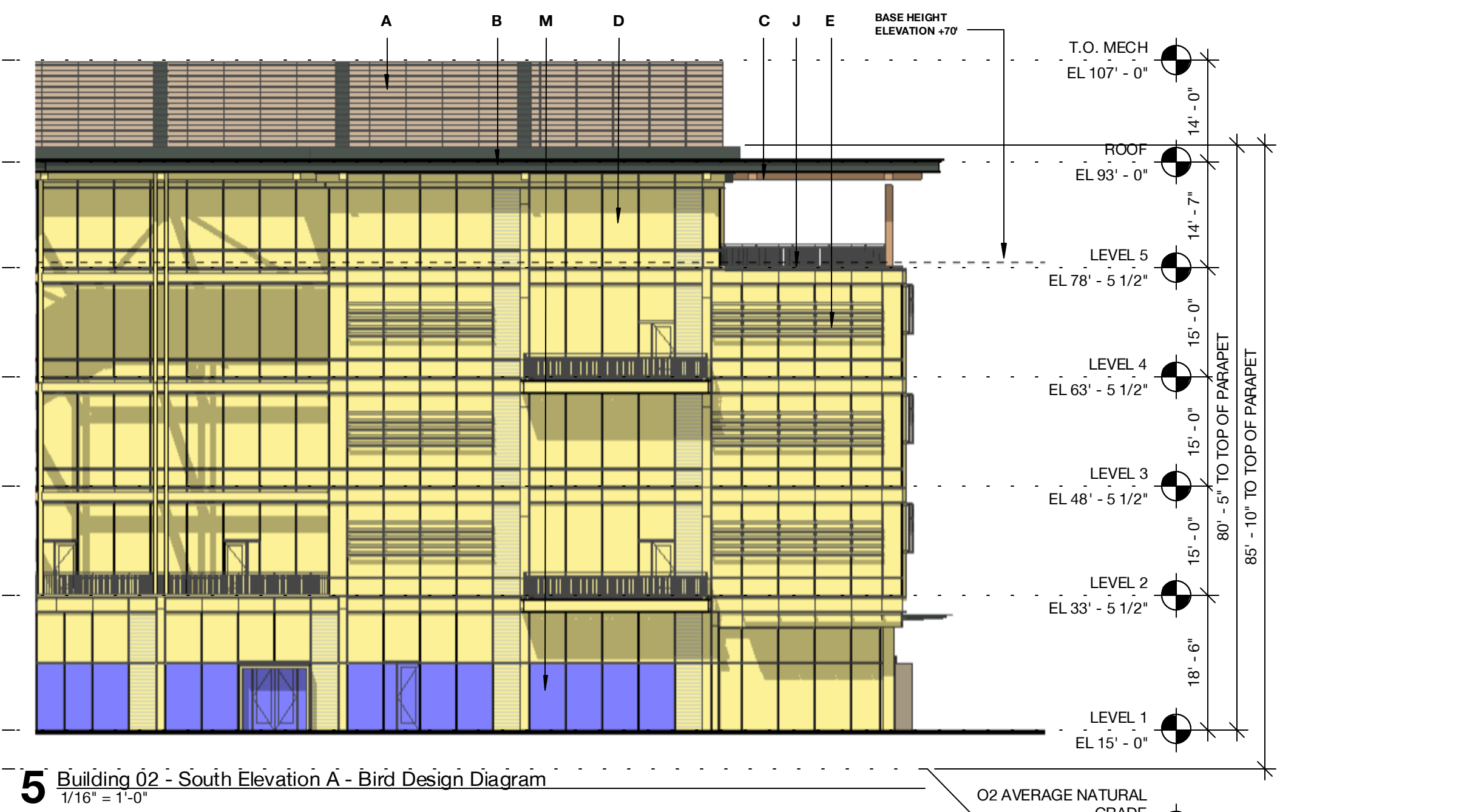
HATCH LEGEND

- Bird-Friendly Materials Incl. Fiber Cement Panel, Fritted Glass, Metal Panel, Timber Columns, and Garage Louvers & Screens.
- Non-Bird-Friendly
- A - PAINTED METAL + METAL PANEL
- B - PAINTED METAL + METAL PANEL
- C - EXPOSED HEAVY TIMBER STRUCTURE
- D - TYPICAL VISION GLASS
- E - ARCHITECTURAL LOUVER - PAINTED TO MATCH ADJACENT MATERIAL
- F - GLASS CANOPY
- G - SIGHT PROOF MECH LOUVER
- H - EXPOSED STEEL PAINTED TO MATCH PAINTED METAL PANEL
- I - FIBER CEMENT BOARD
- J - PAINTED METAL GUARDRAIL
- K - PERFORATED METAL PANEL GUARDRAIL
- L - SCREEN COLORED TO MATCH MATERIAL "M"
- M - VISION GLASS - LEVEL 1 & PAVILIONS SP-1 AND SP-2
- N - CAST-IN-PLACE CONCRETE



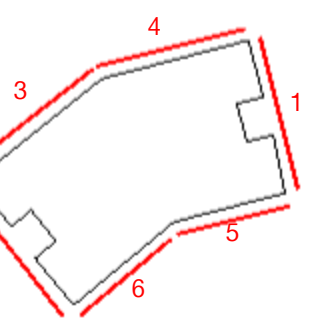
6 Building 02 - South Elevation B - Bird Design Diagram
 1/16" = 1'-0"

TOTAL AREA: 17,300 SF
 BIRD FRIENDLY FACADE: 16,060 SF | 93.2%
 NON-BIRD FRIENDLY FACADE: 1,244 SF | 7.2%

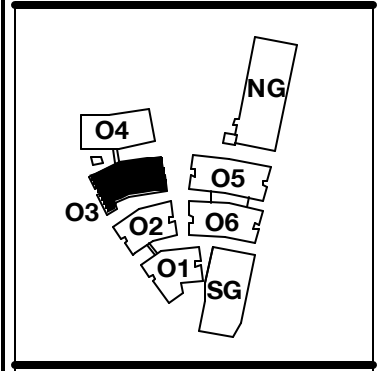


5 Building 02 - South Elevation A - Bird Design Diagram
 1/16" = 1'-0"

TOTAL AREA: 17,300 SF
 BIRD FRIENDLY FACADE: 16,060 SF | 93.2%
 NON-BIRD FRIENDLY FACADE: 1,244 SF | 7.2%



BUILDING 02 TOTALS
 TOTAL AREA: 62,671 SF
 BIRD FRIENDLY FACADE: 58,436 SF | 93.2%
 NON-BIRD FRIENDLY FACADE: 4,235 SF | 6.8%



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

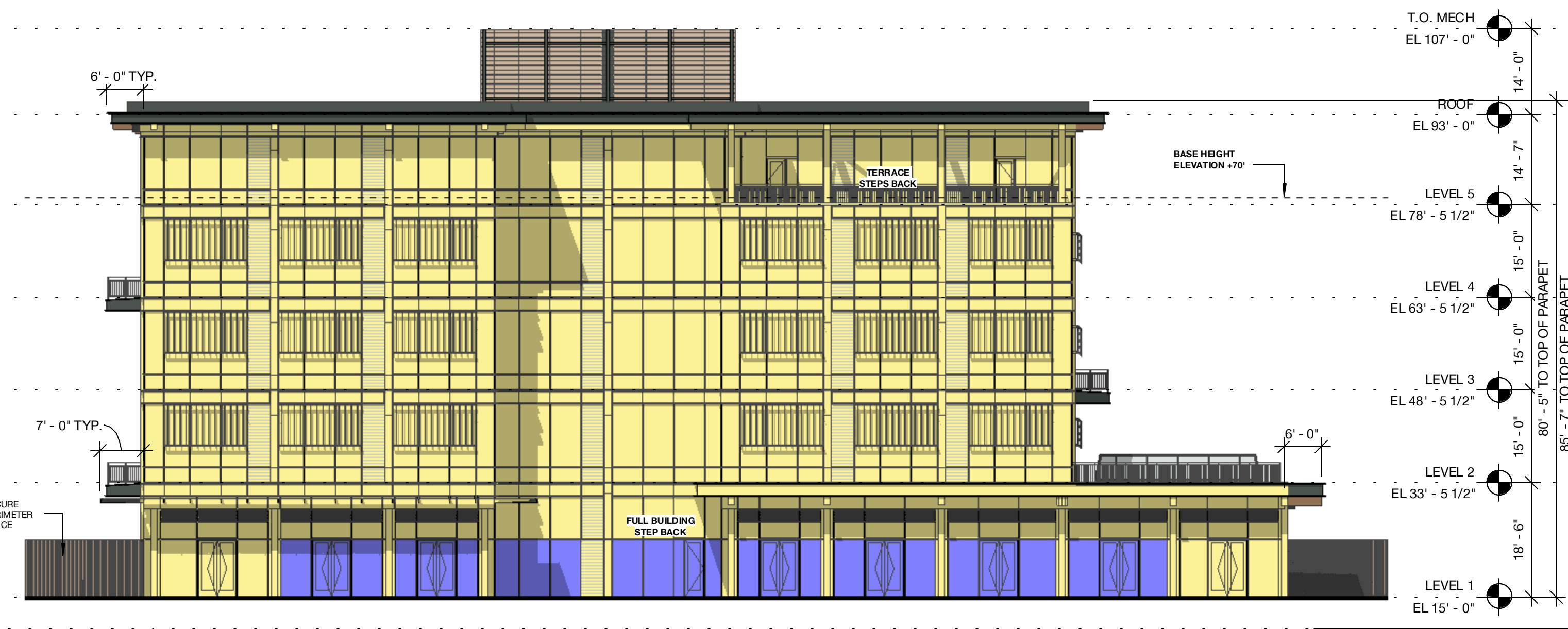
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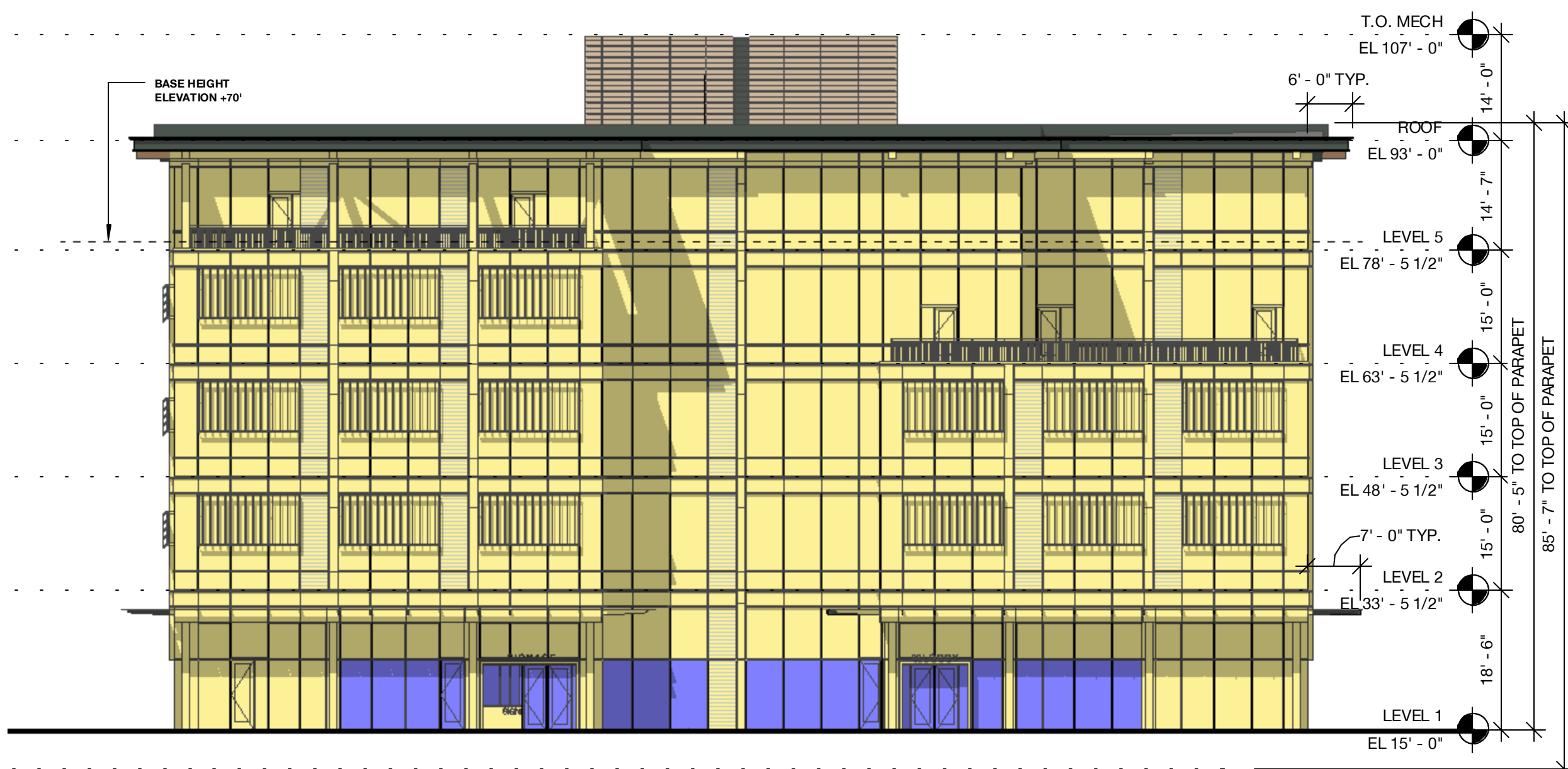
DRAWING TITLE:
 Bird-Safe Design
 Diagrams - Building 03

DRAWING NO:
A9.43



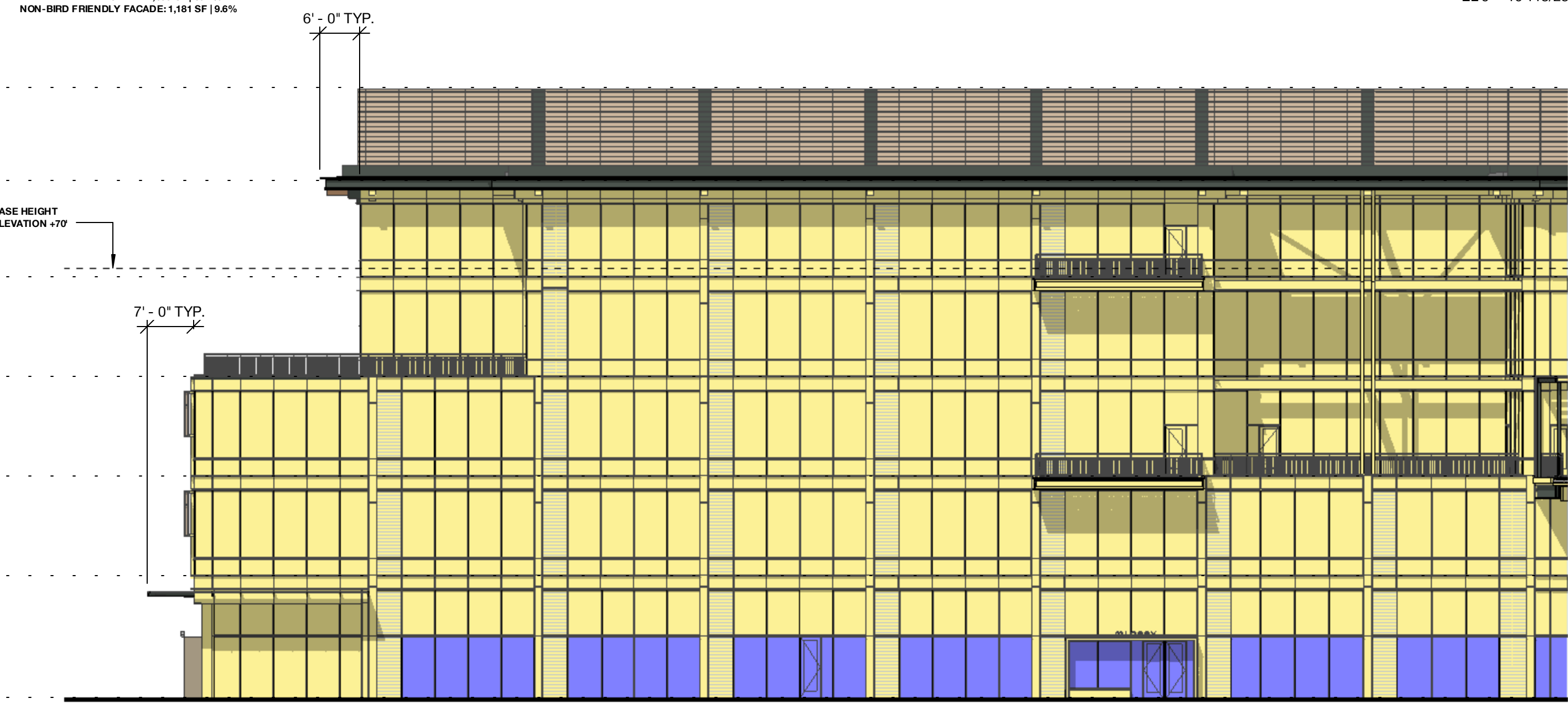
2 Building 03 - West Elevation - Main Street - Bird Diagram
 1/16" = 1'-0"

TOTAL AREA: 12,249 SF
 BIRD FRIENDLY FACADE: 11,089 SF | 90.4%
 NON-BIRD FRIENDLY FACADE: 1,161 SF | 9.6%



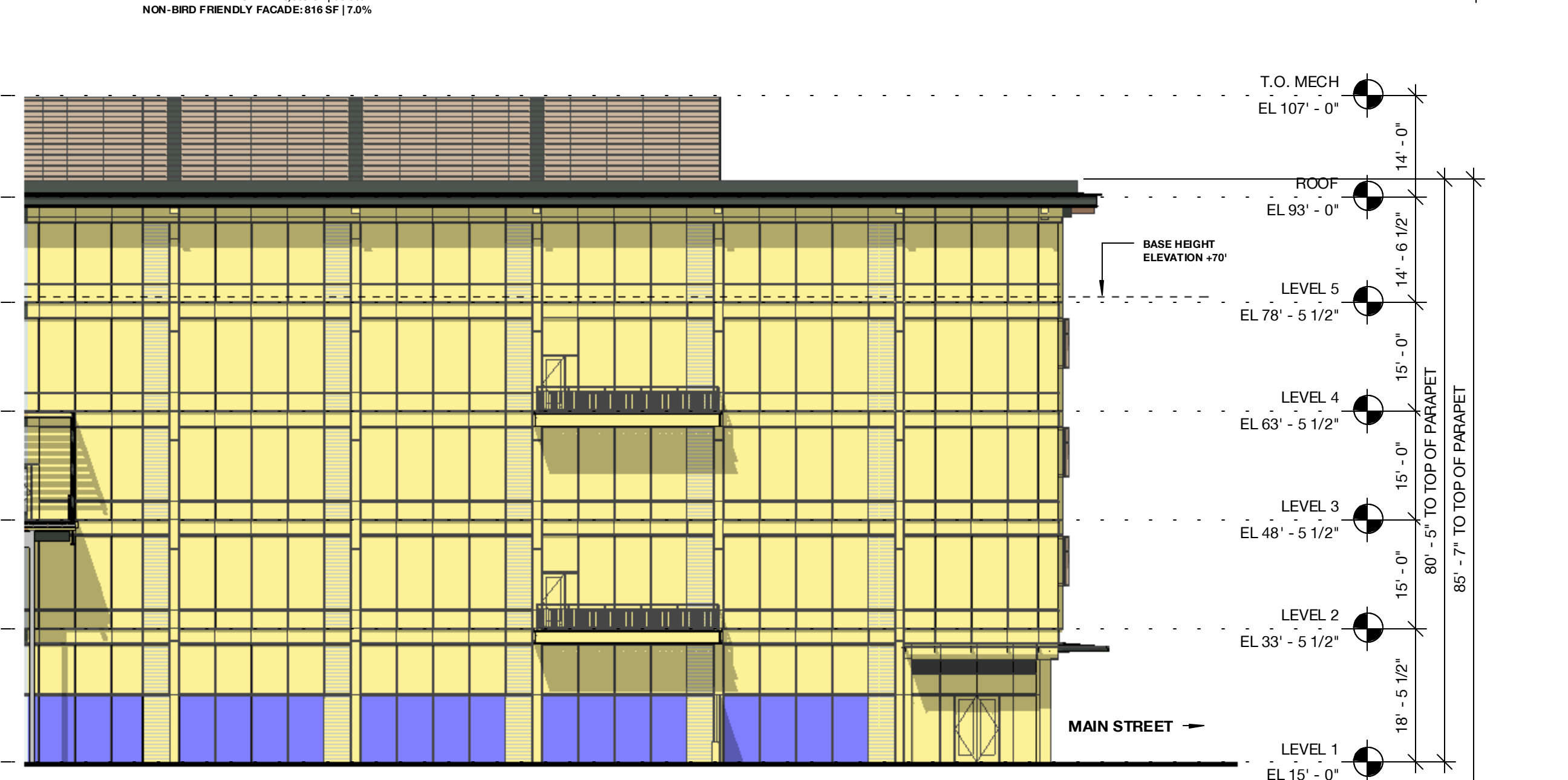
1 Building 03 - East Elevation - Bird Diagram
 1/16" = 1'-0"

TOTAL AREA: 11,619 SF
 BIRD FRIENDLY FACADE: 10,803 SF | 93.0%
 NON-BIRD FRIENDLY FACADE: 816 SF | 7.0%



4 Building 03 - North Elevation B - Bird Diagram
 1/16" = 1'-0"

TOTAL AREA: 26,110 SF
 BIRD FRIENDLY FACADE: 23,234 SF | 89.1%
 NON-BIRD FRIENDLY FACADE: 2,876 SF | 10.9%



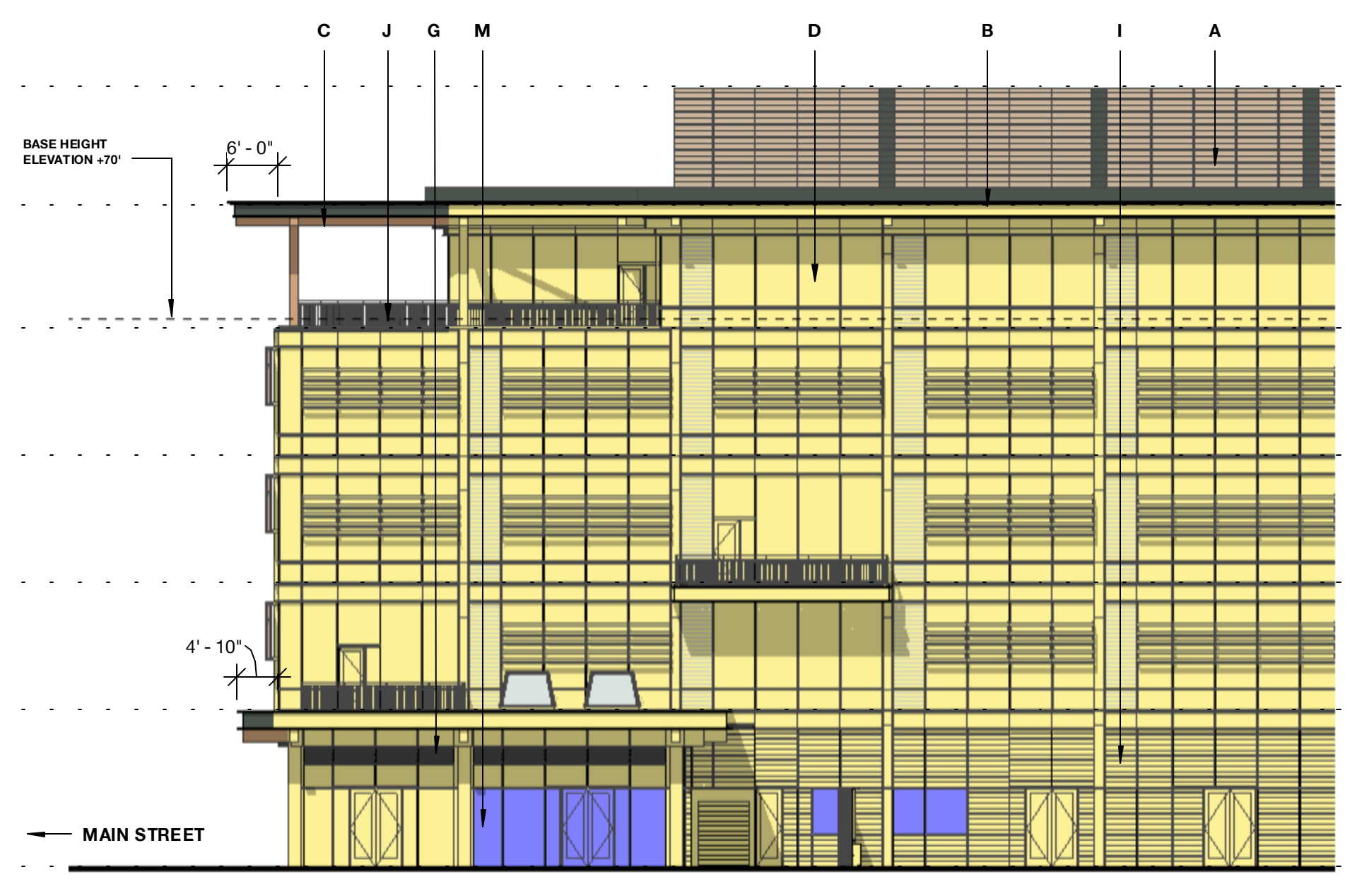
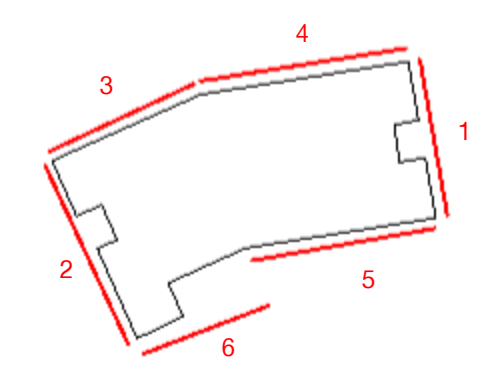
3 Building 03 - North Elevation A - Main Street - Bird Diagram
 1/16" = 1'-0"

TOTAL AREA: 10,113/256"

HATCH LEGEND

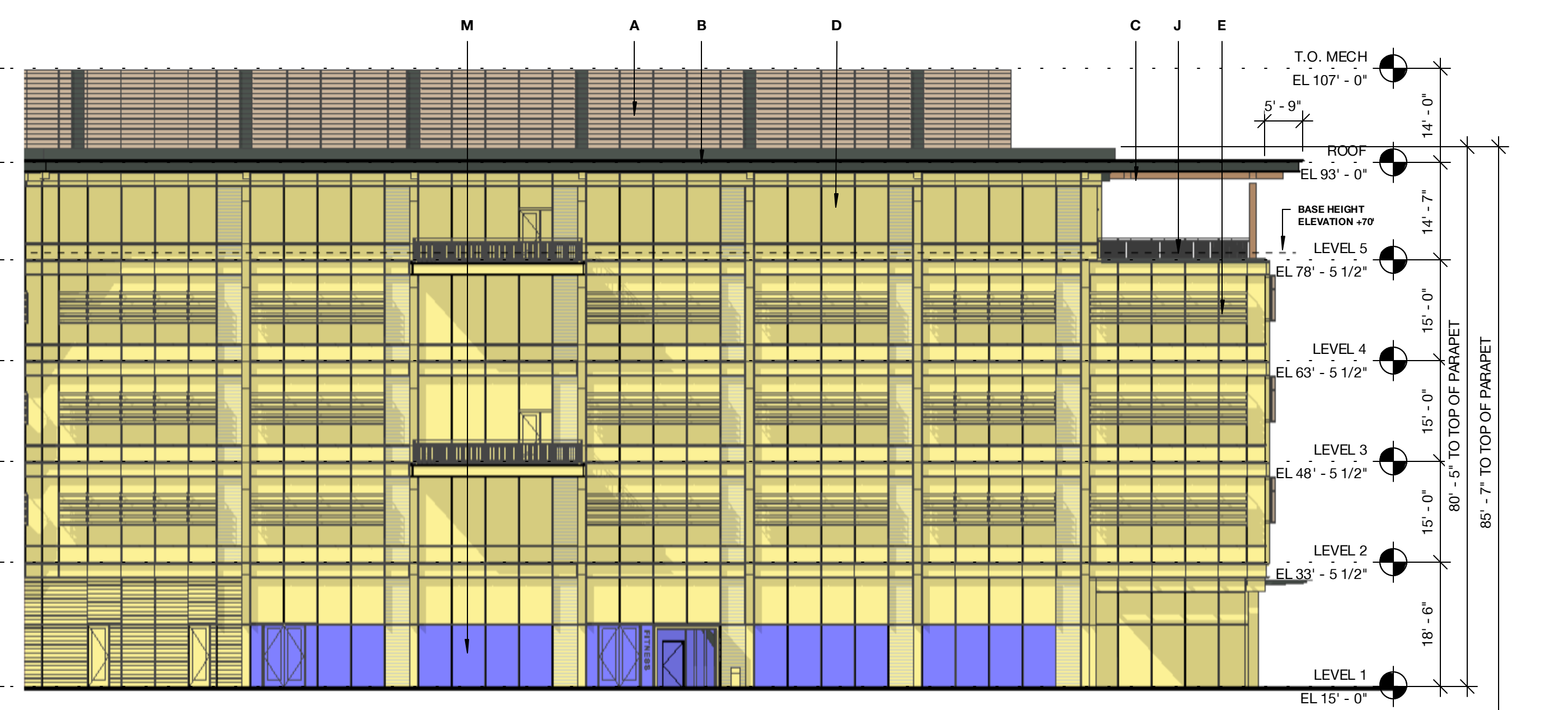
- Bird-Friendly Materials incl. Fiber Cement Panel, Fitted Glass, Metal Panel, Timber Columns, and Garage Louvers & Screens
- Non-Bird-Friendly

- A - PAINTED METAL + METAL PANEL
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- C - EXPOSED HEAVY TIMBER STRUCTURE
- D - TYPICAL VISION GLASS
- E - ARCHITECTURAL LOUVER - PAINTED TO MATCH ADJACENT MATERIAL
- F - GLASS CANOPY
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- J - PAINTED METAL GUARDRAIL
- K - PERFORATED METAL PANEL GUARDRAIL
- L - SCREEN COLORED TO MATCH MATERIAL "M"
- M - VISION GLASS - LEVEL 1 & PAVILIONS SP-1 AND SP-2
- N - CAST-IN-PLACE CONCRETE



6 Building 03 - South Elevation B - Bird Diagram
 1/16" = 1'-0"

TOTAL AREA: 23,386 SF
 BIRD FRIENDLY FACADE: 22,246 | 95.1%
 NON-BIRD FRIENDLY FACADE: 1,140 SF | 4.9%



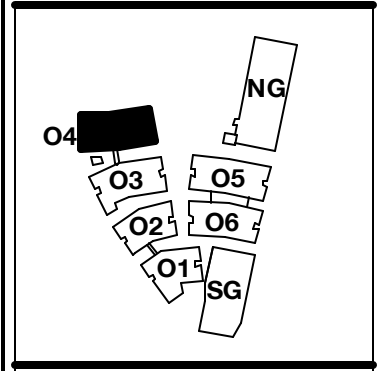
5 Building 03 - South Elevation A - Bird Diagram
 1/16" = 1'-0"

TOTAL AREA: 10,113/256"

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BUILDING 03 TOTALS
 TOTAL AREA: 73,364 SF
 BIRD FRIENDLY FACADE: 68,051 SF | 92.8%
 NON-BIRD FRIENDLY FACADE: 5,313 SF | 7.2%





PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

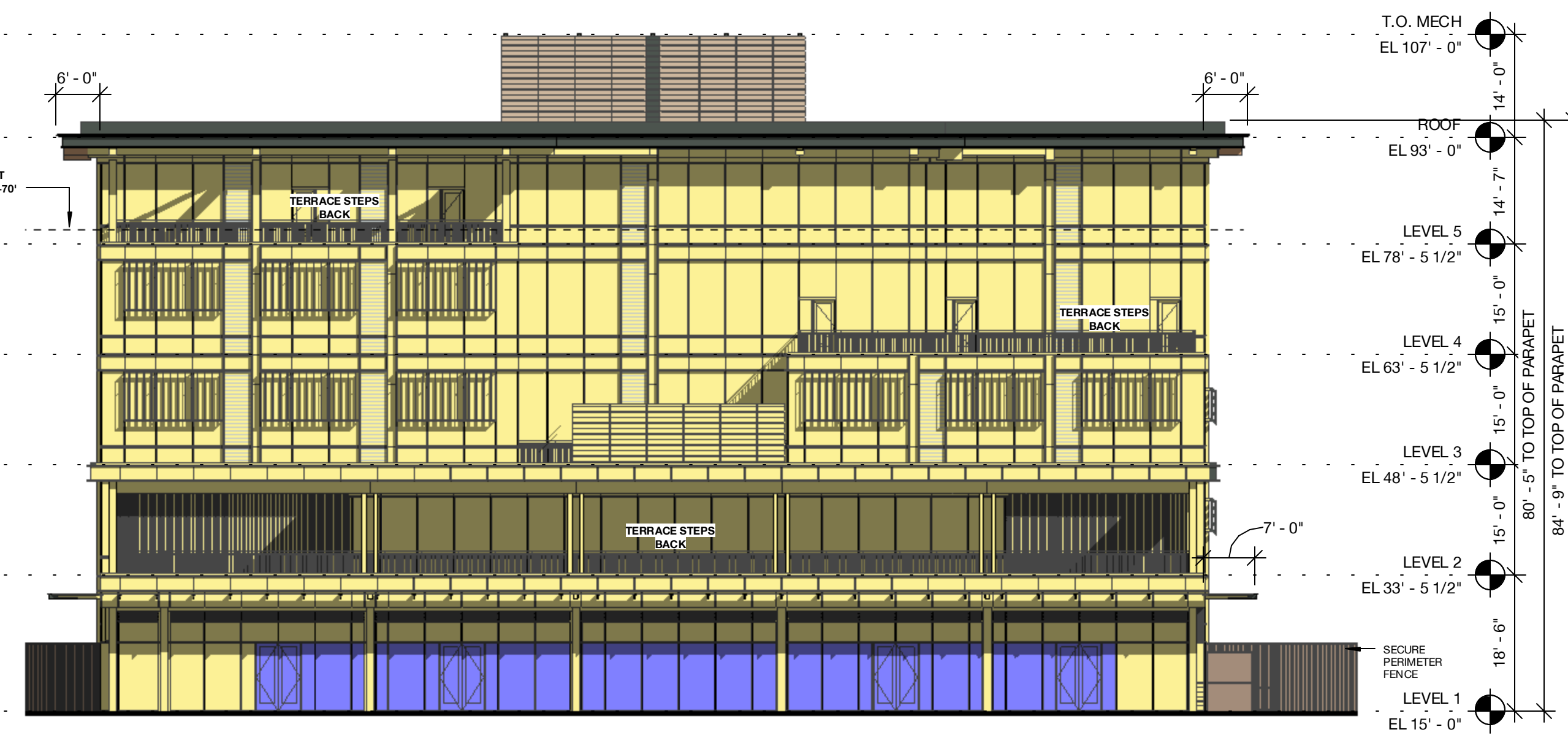
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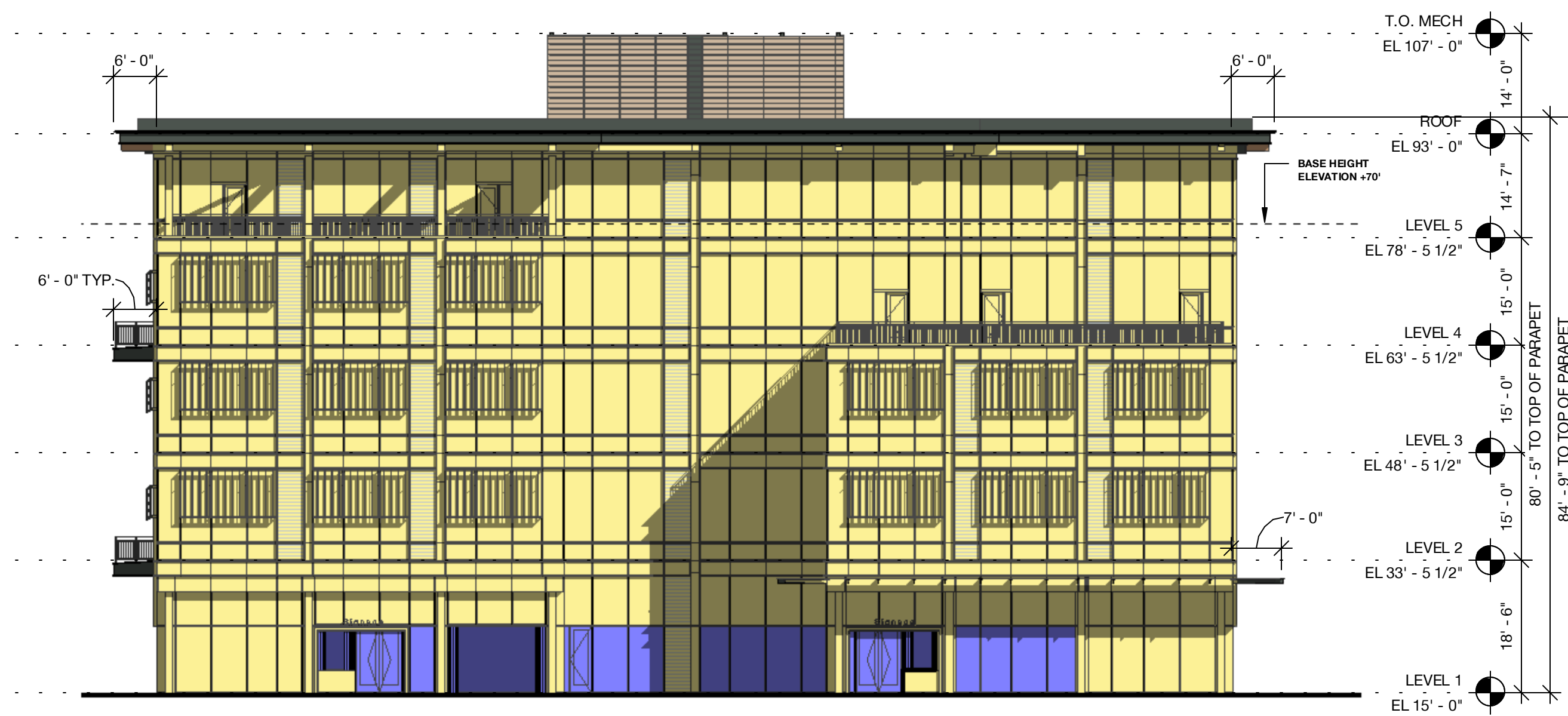
DRAWING TITLE:
 Bird-Safe Design
 Diagrams - Building 04

DRAWING NO:
A9.44



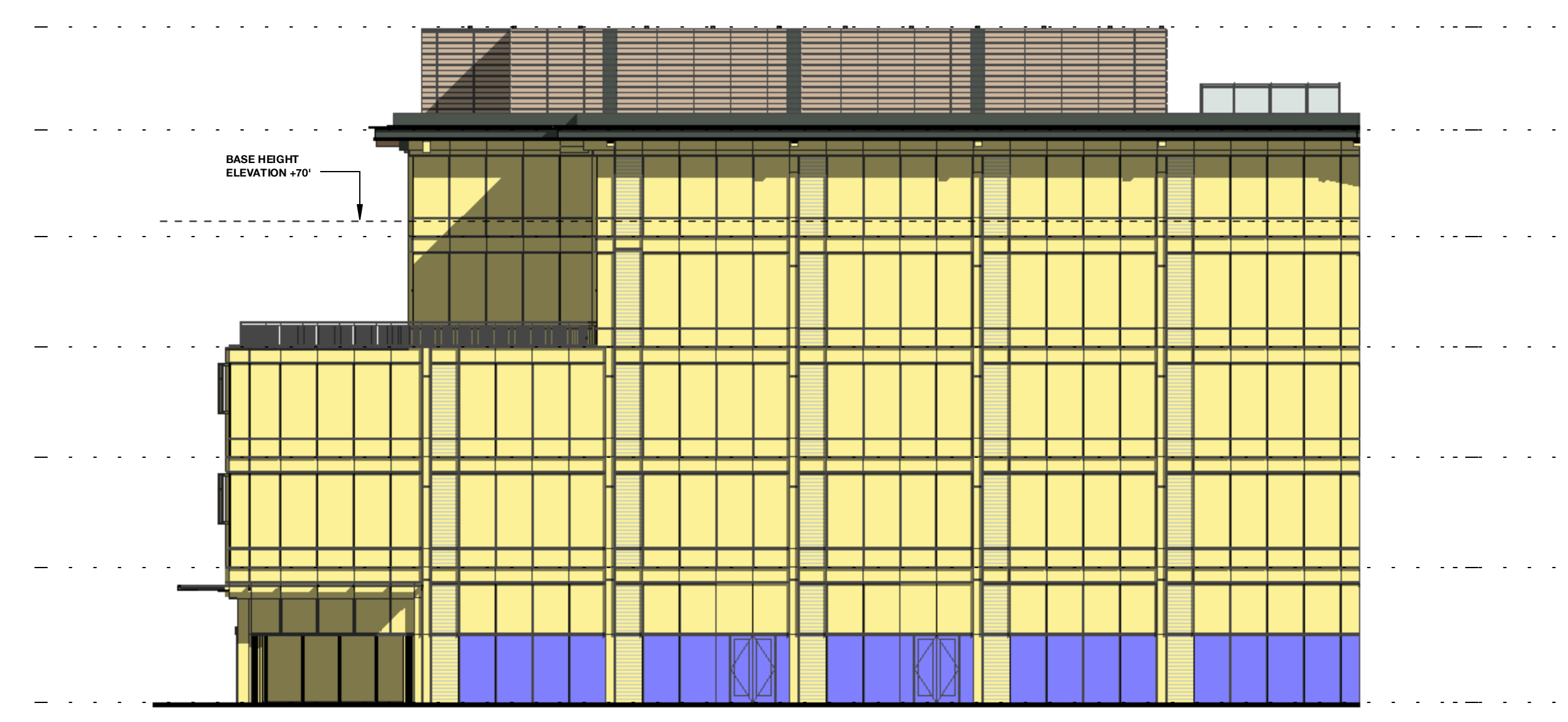
2 Building 04 - West Elevation - Bird Design Diagram
 1/16" = 1'-0"

TOTAL AREA: 11,623 SF
 BIRD FRIENDLY FACADE: 13,357 SF | 91.1%
 NON-BIRD FRIENDLY FACADE: 1,256 SF | 8.9%



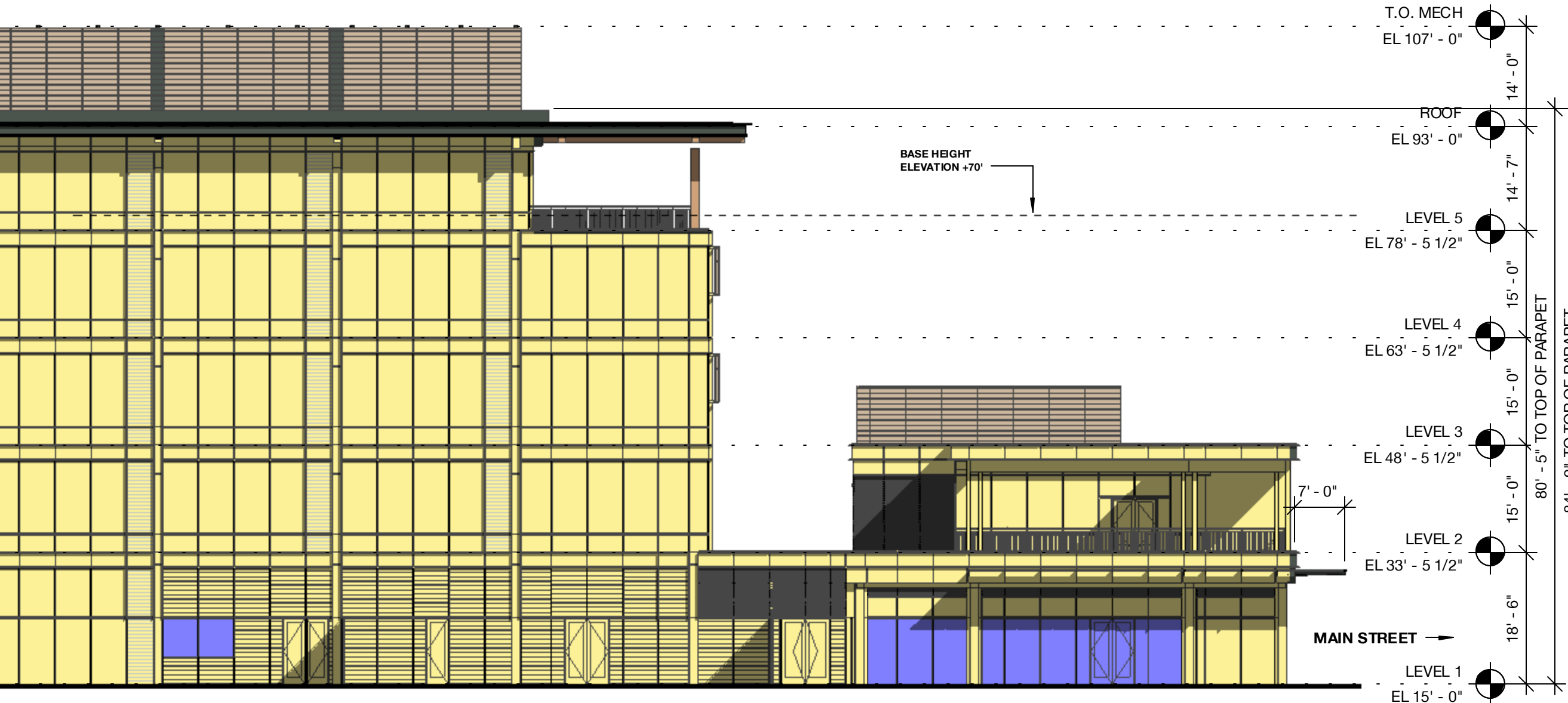
1 Building 04 - East Elevation - Bird Design Diagram
 1/16" = 1'-0"

TOTAL AREA: 11,604 SF
 BIRD FRIENDLY FACADE: 13,801 SF | 93.1%
 NON-BIRD FRIENDLY FACADE: 803 SF | 6.9%



4 Building 04 - North Elevation B - Bird Design Diagram
 1/16" = 1'-0"

TOTAL AREA: 20,931 SF
 BIRD FRIENDLY FACADE: 19,317 SF | 92.3%
 NON-BIRD FRIENDLY FACADE: 1,614 SF | 7.7%



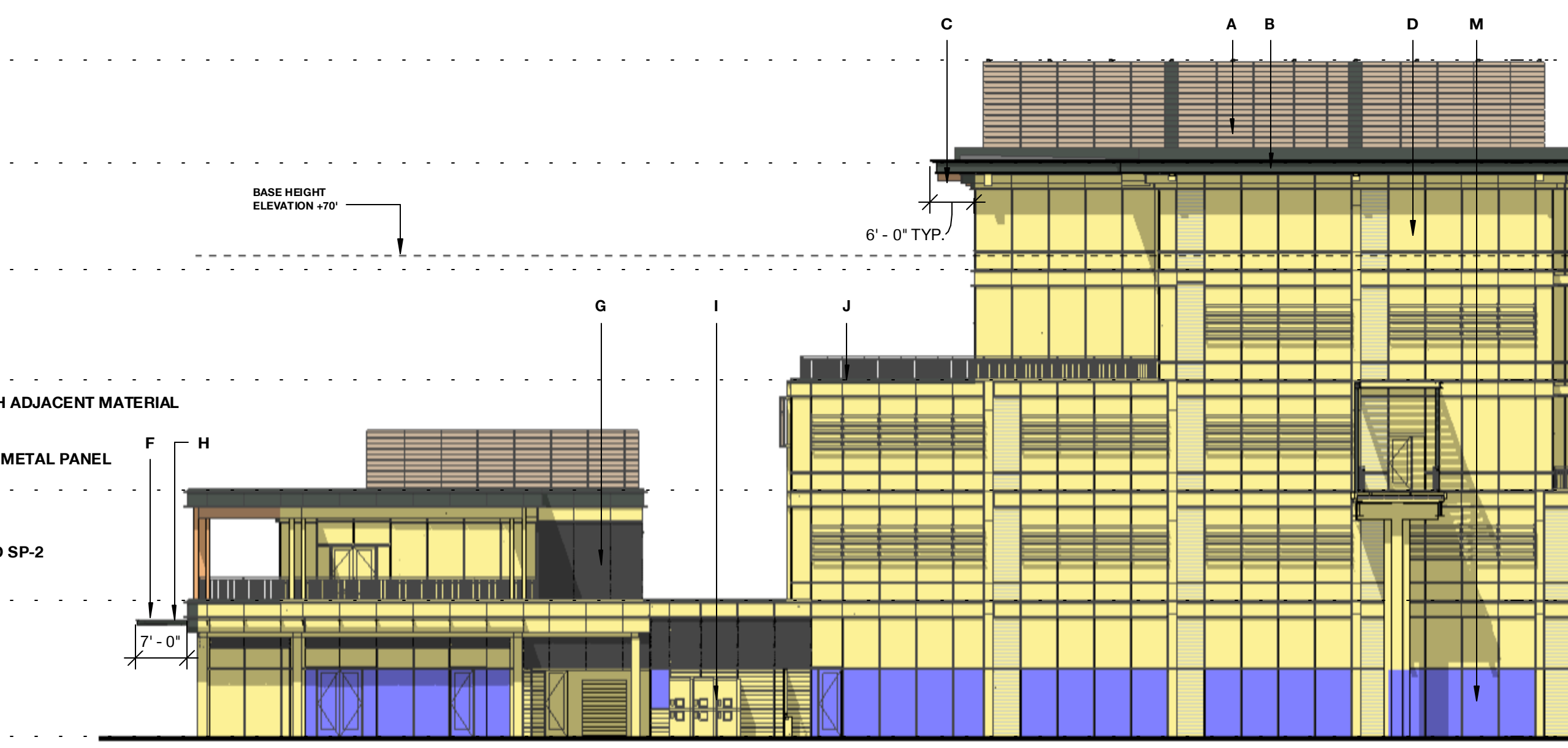
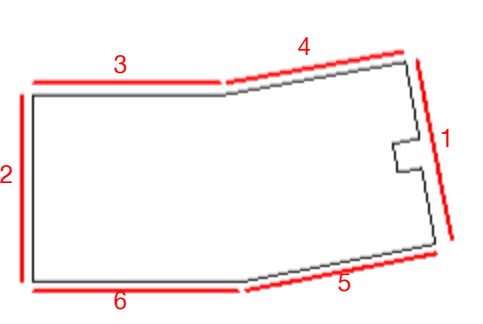
3 Building 04 - North Elevation A - Bird Design Diagram
 1/16" = 1'-0"

TOTAL AREA: 20,931 SF
 BIRD FRIENDLY FACADE: 19,317 SF | 92.3%
 NON-BIRD FRIENDLY FACADE: 1,614 SF | 7.7%

HATCH LEGEND

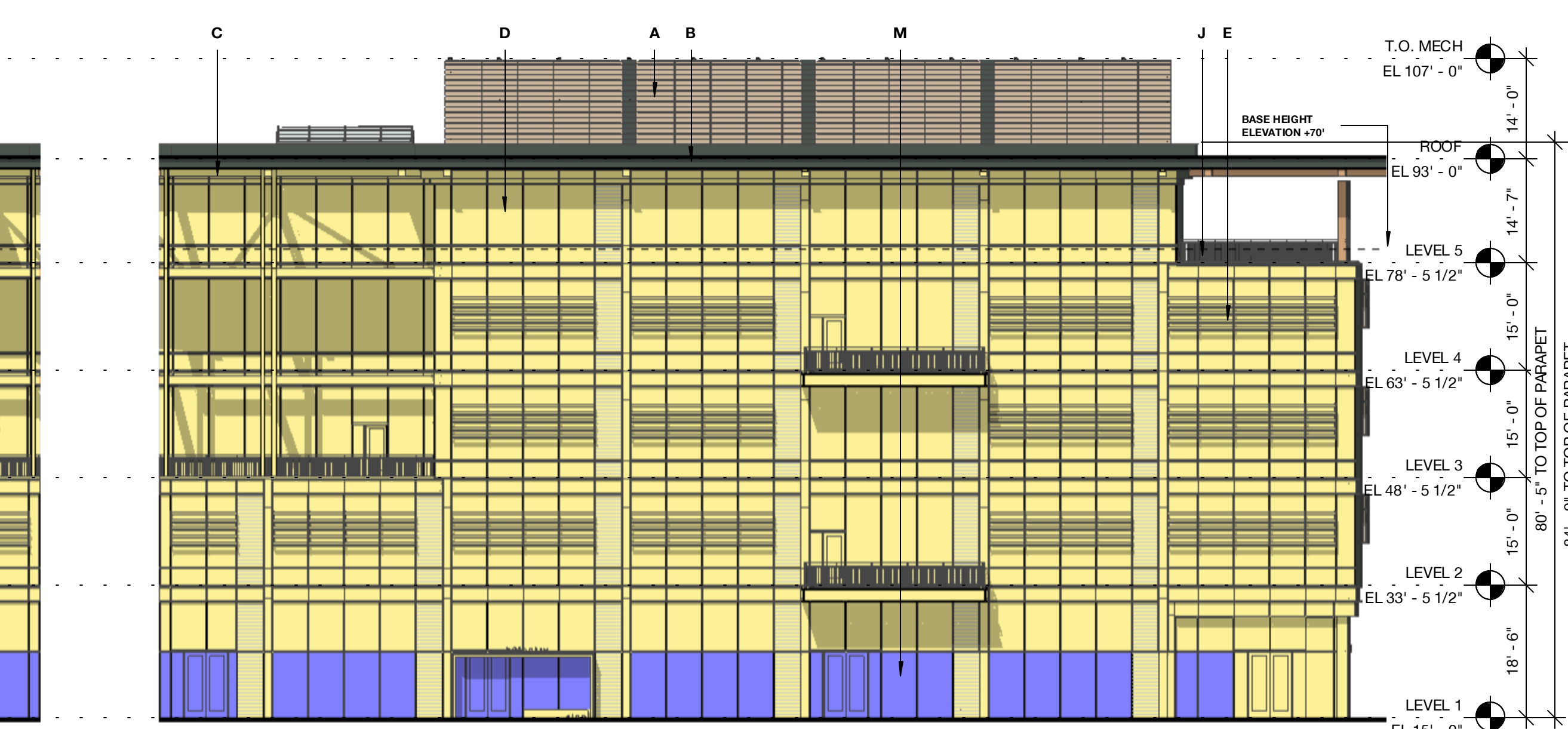


- A - PAINTED METAL + METAL PANEL
- B - PAINTED METAL + METAL PANEL
- C - EXPOSED HEAVY TIMBER STRUCTURE
- D - TYPICAL VISION GLASS
- E - ARCHITECTURAL LOUVER - PAINTED TO MATCH ADJACENT MATERIAL
- F - GLASS CANOPY
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- K - PERFORATED METAL PANEL GUARDRAIL
- L - SCREEN COLORED TO MATCH MATERIAL "M"
- M - VISION GLASS - LEVEL 1 & PAVILIONS SP-1 AND SP-2
- N - CAST-IN-PLACE CONCRETE



6 Building 04 - South Elevation B - Bird Design Diagram
 1/16" = 1'-0"

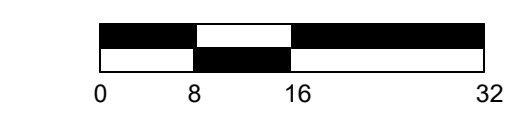
TOTAL AREA: 22,866 SF
 BIRD FRIENDLY FACADE: 20,856 SF | 91.2%
 NON-BIRD FRIENDLY FACADE: 2,228 SF | 9.8%



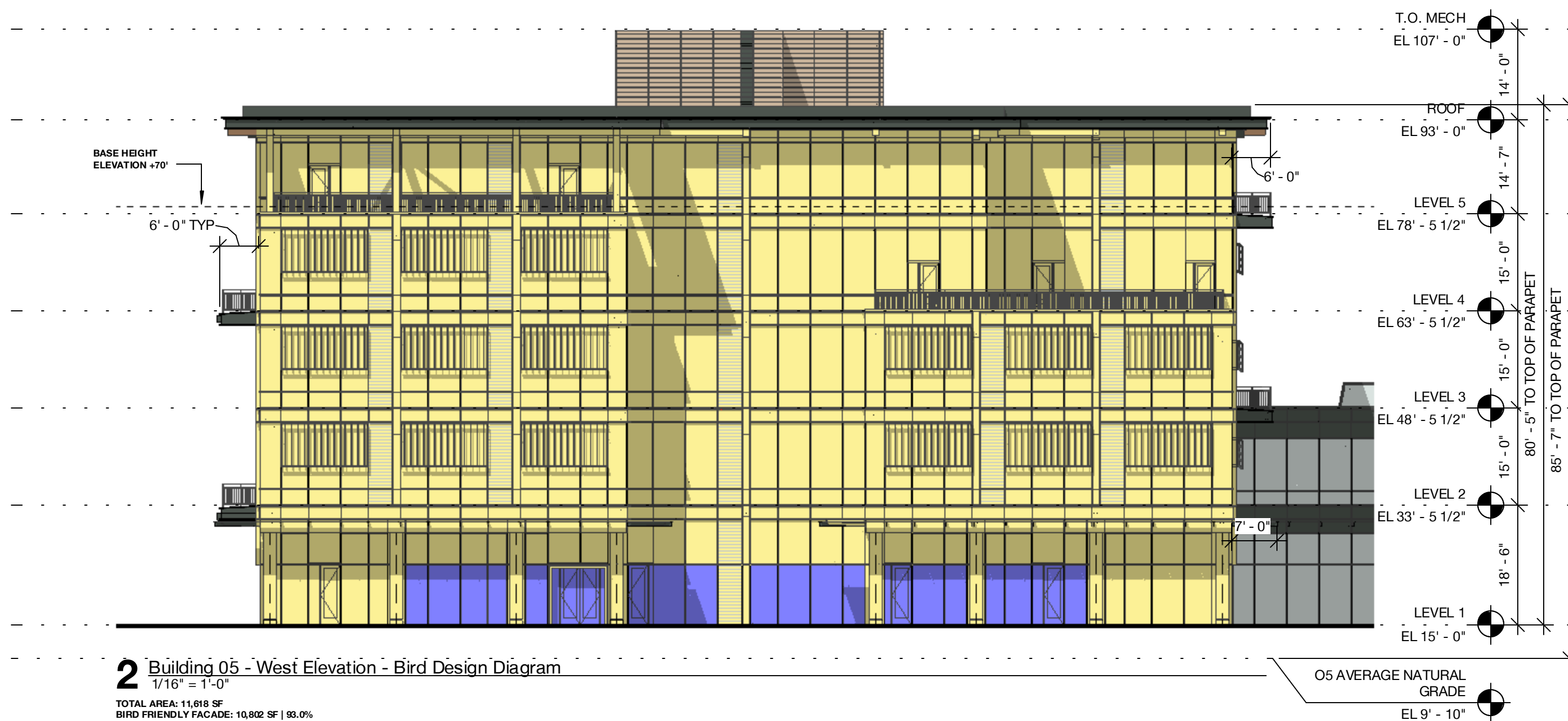
5 Building 04 - South Elevation A - Bird Design Diagram
 1/16" = 1'-0"

TOTAL AREA: 22,866 SF
 BIRD FRIENDLY FACADE: 20,856 SF | 91.2%
 NON-BIRD FRIENDLY FACADE: 2,228 SF | 9.8%

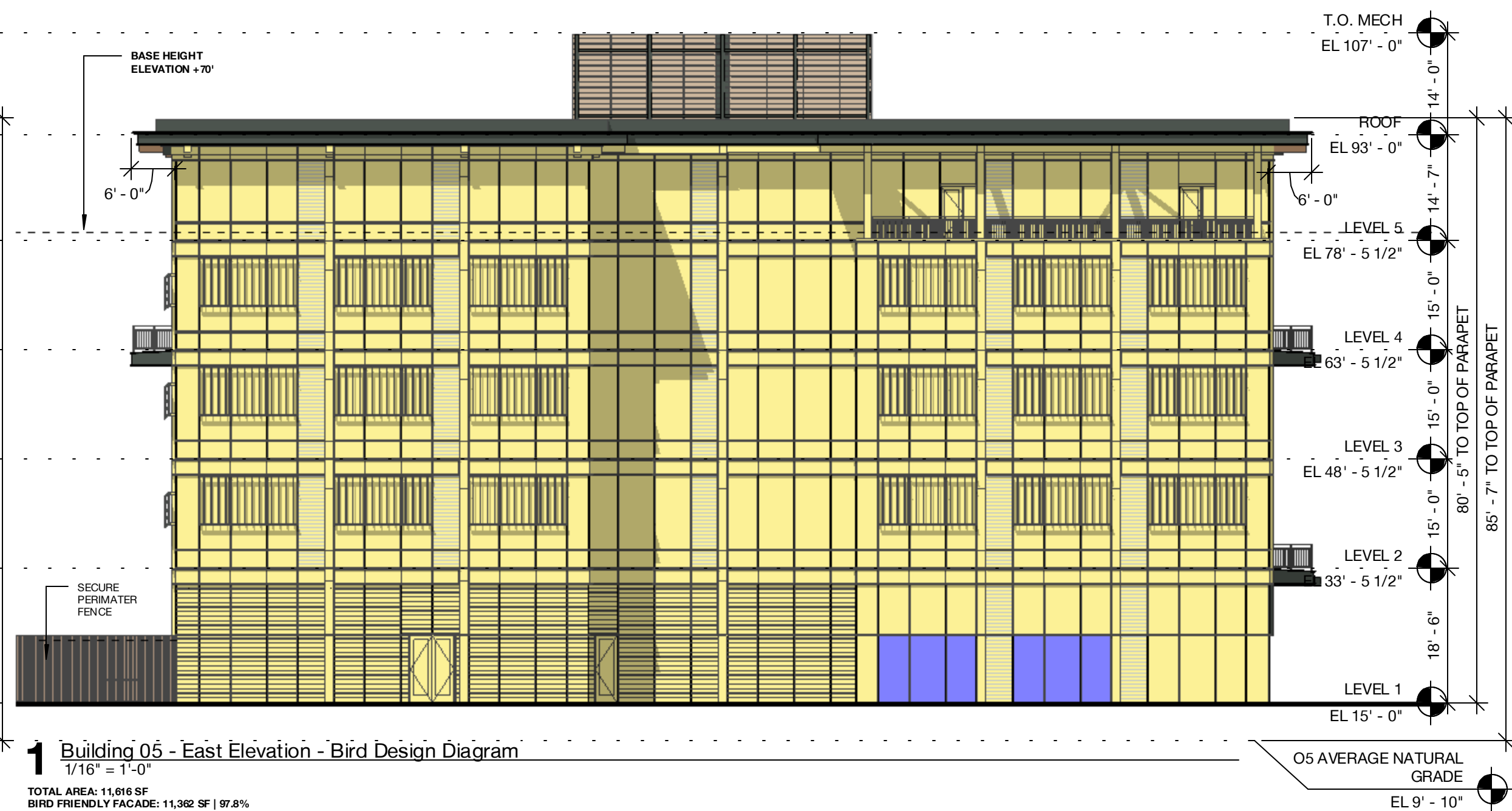
BUILDING 04 TOTALS
 TOTAL AREA: 67,024 SF
 BIRD FRIENDLY FACADE: 61,336 SF | 91.5%
 NON-BIRD FRIENDLY FACADE: 5,688 SF | 8.5%



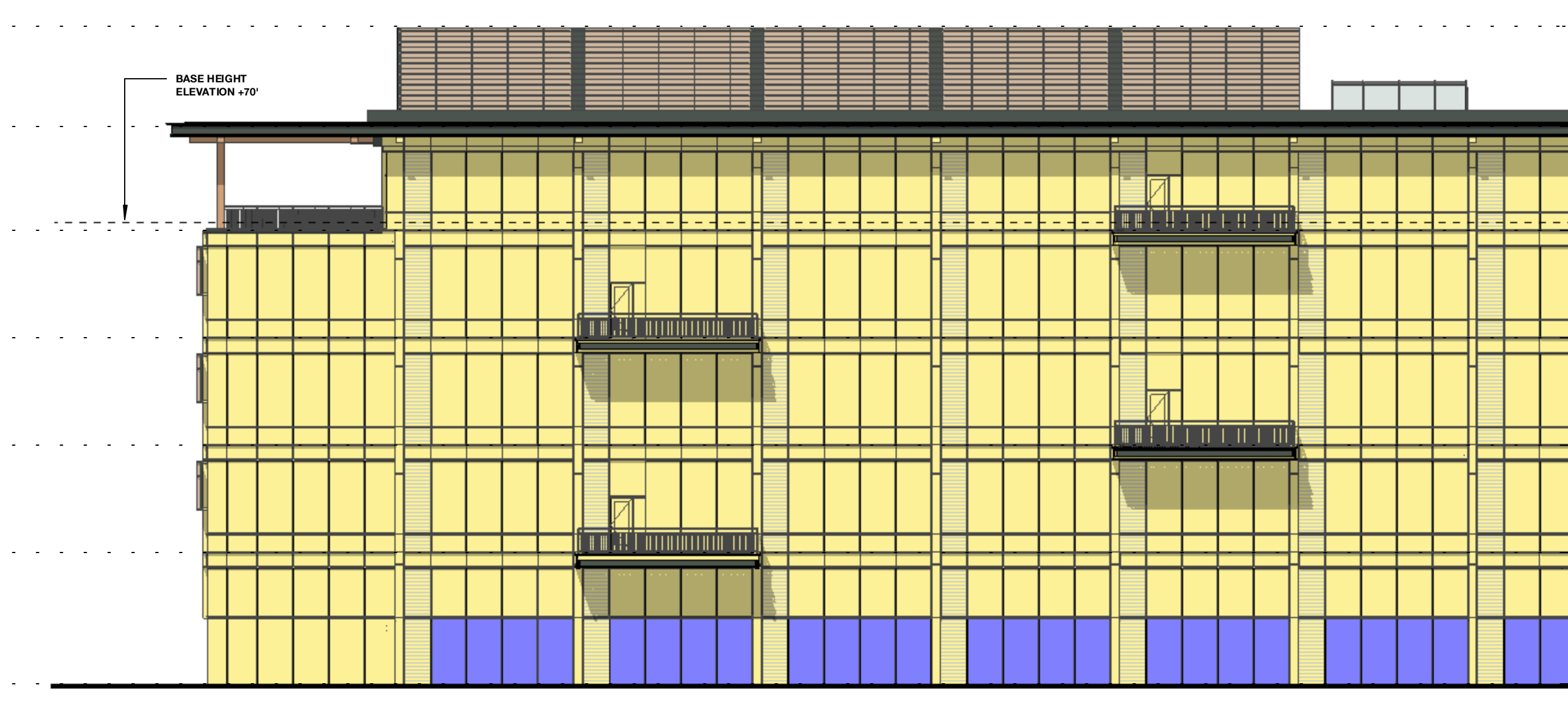
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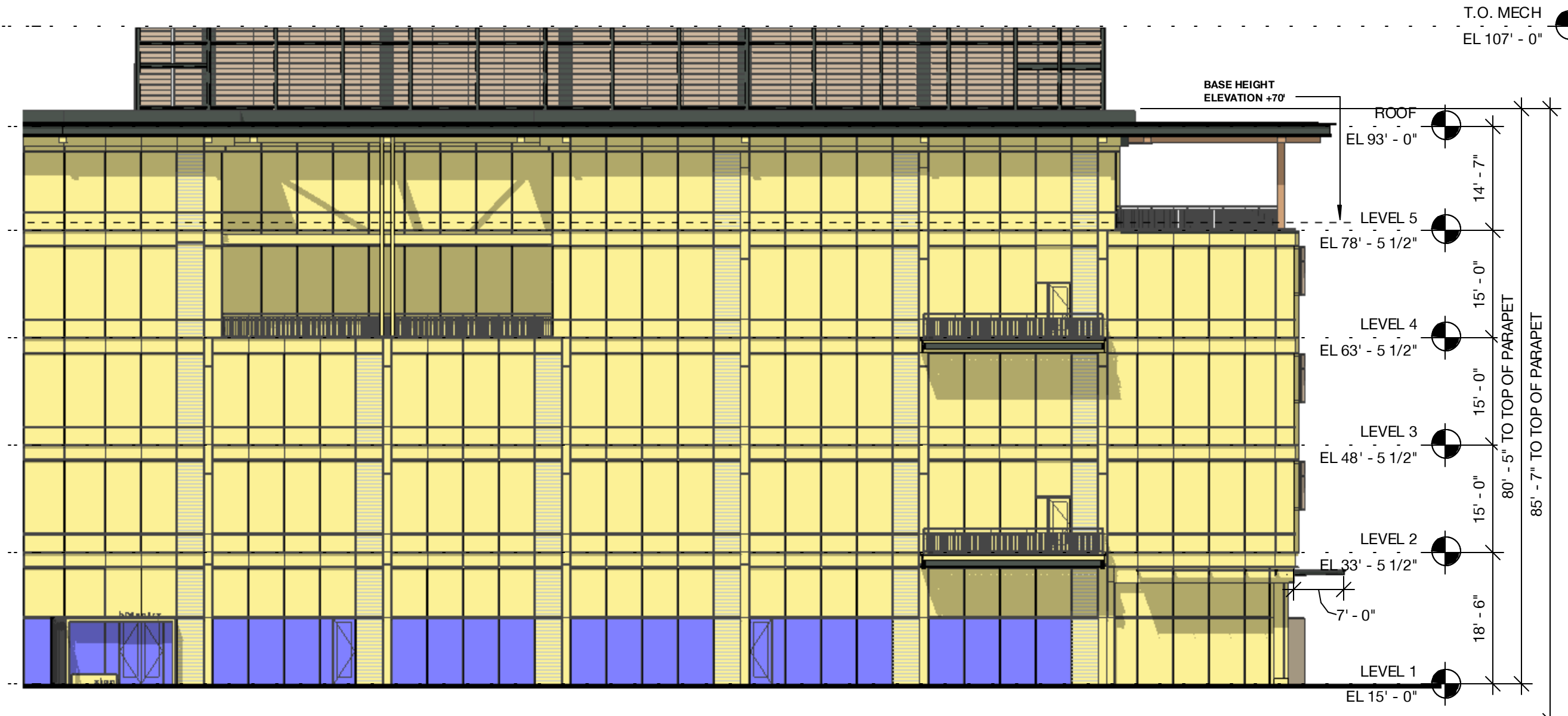
2 Building 05 - West Elevation - Bird Design Diagram
 1/16" = 1'-0"
 TOTAL AREA: 11,918 SF
 BIRD FRIENDLY FACADE: 10,802 SF | 90.6%
 NON-BIRD FRIENDLY FACADE: 816 SF | 7.0%



1 Building 05 - East Elevation - Bird Design Diagram
 1/16" = 1'-0"
 TOTAL AREA: 11,918 SF
 BIRD FRIENDLY FACADE: 11,362 SF | 97.8%
 NON-BIRD FRIENDLY FACADE: 254 SF | 2.2%



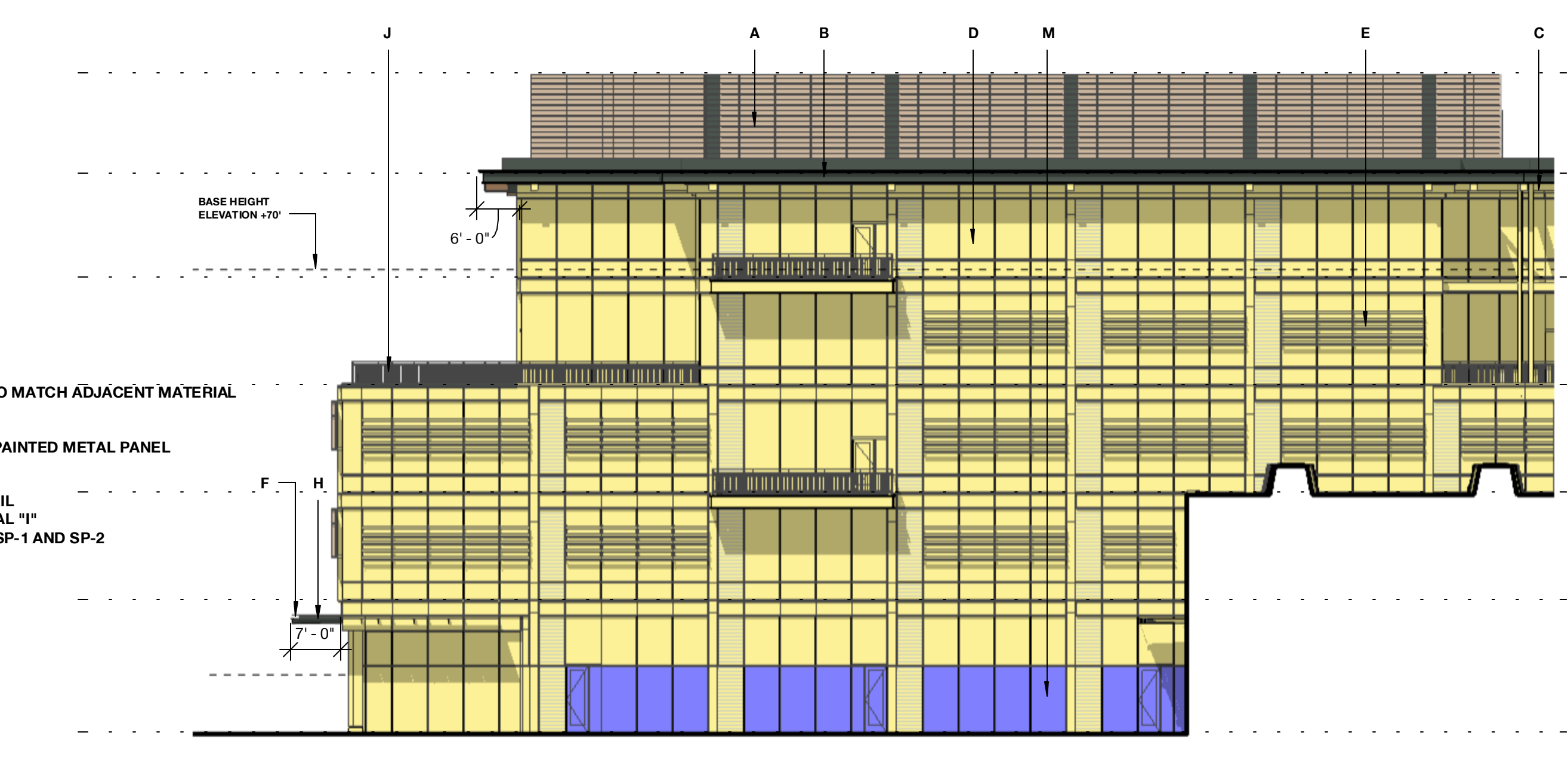
4 Building 05 - North Elevation B - Bird Design Diagram
 1/16" = 1'-0"
 TOTAL AREA: 27,721 SF
 BIRD FRIENDLY FACADE: 25,389 SF | 91.6%
 NON-BIRD FRIENDLY FACADE: 2,332 SF | 8.4%



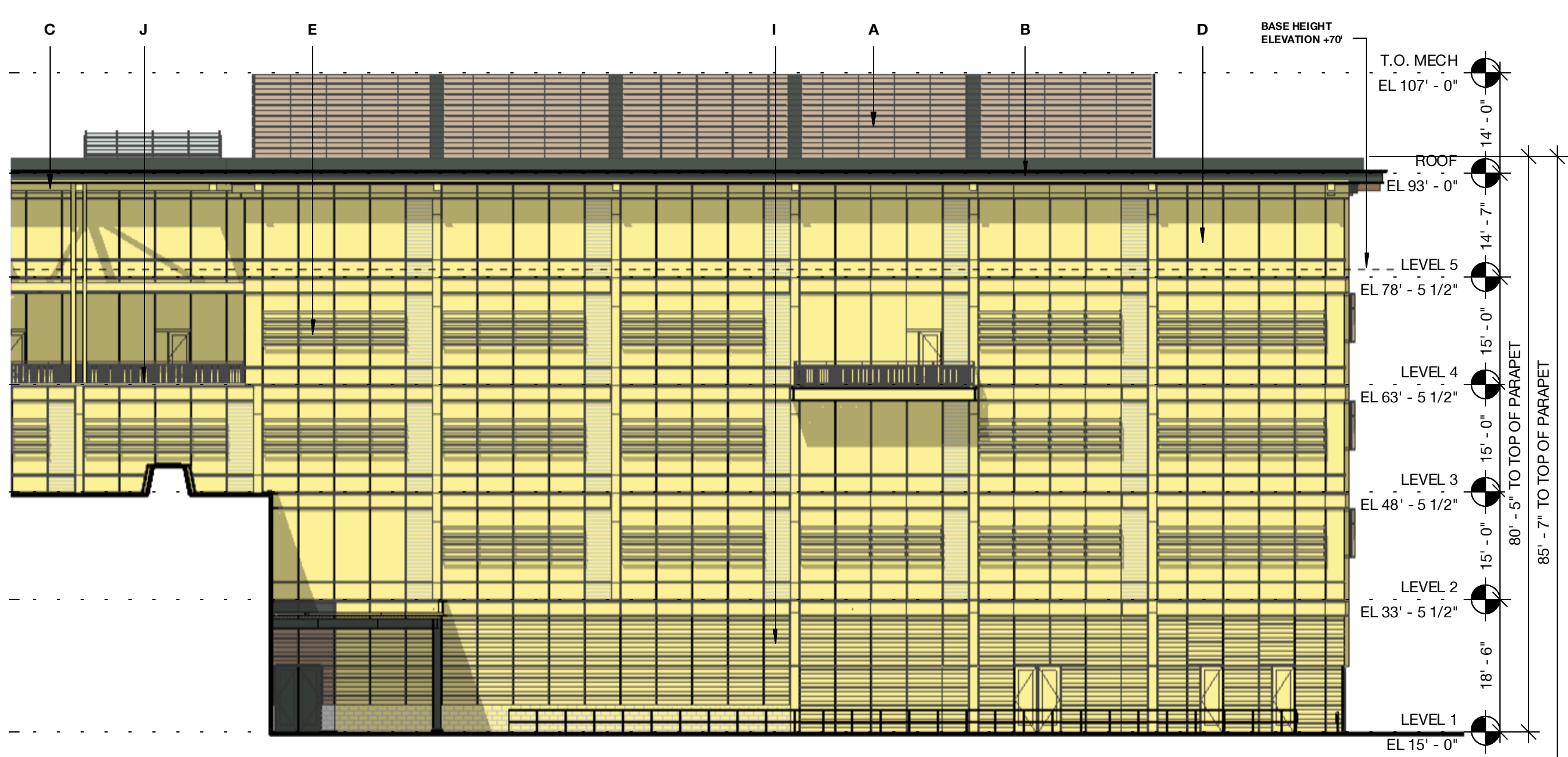
3 Building 05 - North Elevation A - Bird Design Diagram
 1/16" = 1'-0"

HATCH LEGEND

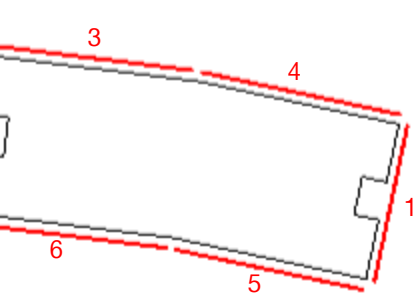
- Bird-Friendly Materials Incl. Fiber Cement Panel, Fritted Glass, Metal Panel, Timber Columns, and Garage Louvers & Screens
- Non-Bird-Friendly
- A - PAINTED METAL + METAL PANEL
- B - PAINTED METAL + METAL PANEL
- C - EXPOSED HEAVY TIMBER STRUCTURE
- D - TYPICAL VISION GLASS
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- N - CAST-IN-PLACE CONCRETE



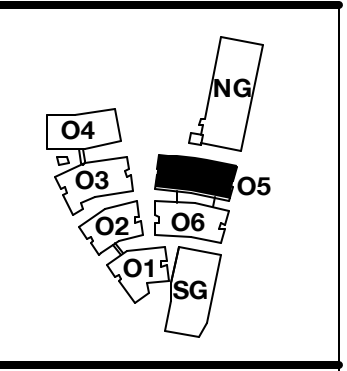
6 Building 05 - South Elevation B - Bird Design Diagram
 1/16" = 1'-0"
 TOTAL AREA: 23,619 SF
 BIRD FRIENDLY FACADE: 22,943 SF | 97.1%
 NON-BIRD FRIENDLY FACADE: 676 SF | 2.9%



5 Building 05 - South Elevation A - Bird Design Diagram
 1/16" = 1'-0"



BUILDING 05 TOTALS
 TOTAL AREA: 74,574 SF
 BIRD FRIENDLY FACADE: 70,496 SF | 94.5%
 NON-BIRD FRIENDLY FACADE: 4,078 SF | 5.5%



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

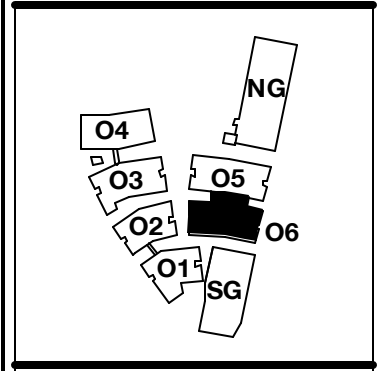
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DRAWING TITLE:
 Bird-Safe Design
 Diagrams - Building 05

DRAWING NO:
A9.45



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

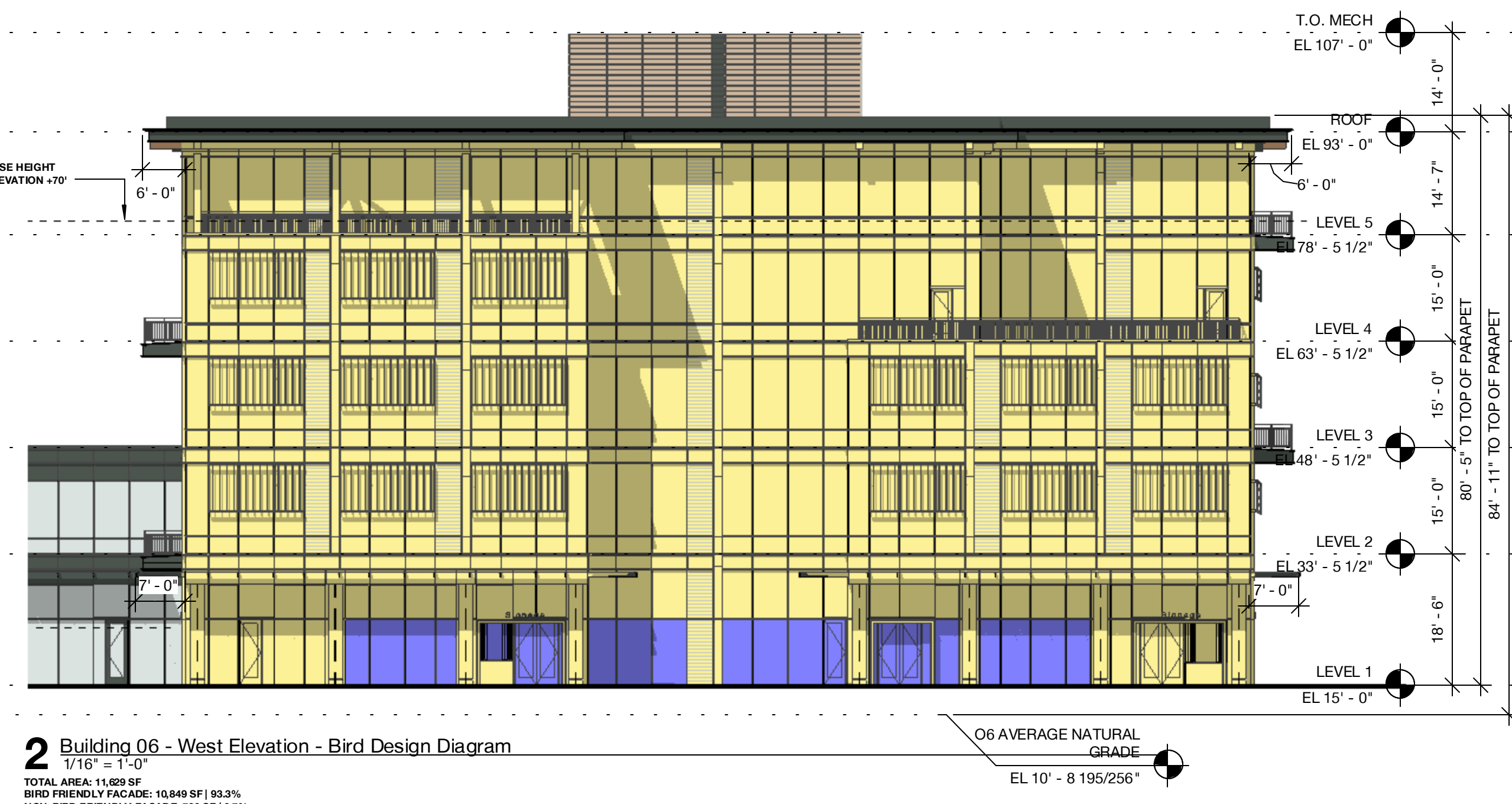
SCALE: As indicated
 NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM PROJECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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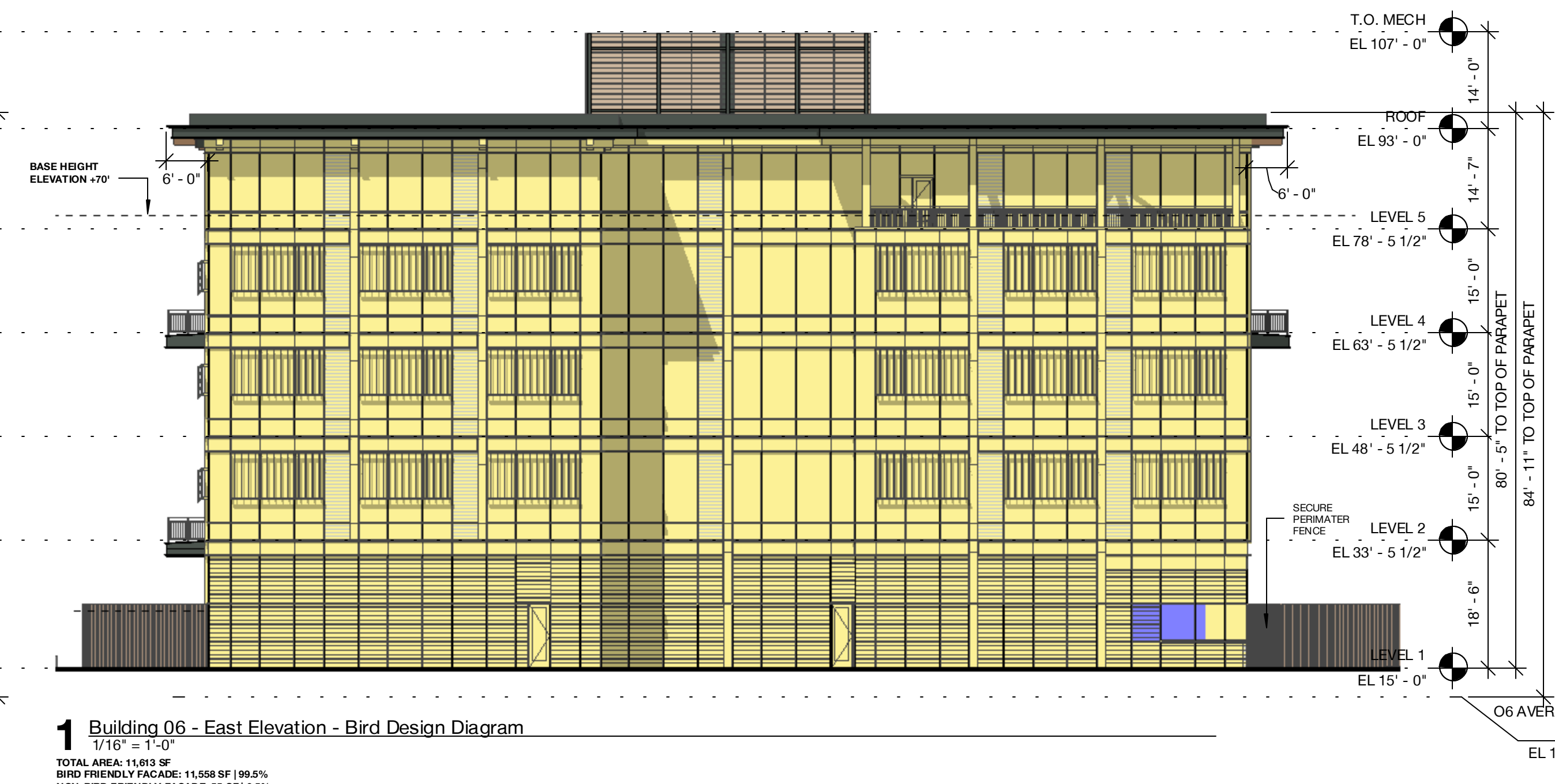
REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
 Bird-Safe Design
 Diagrams - Building 06

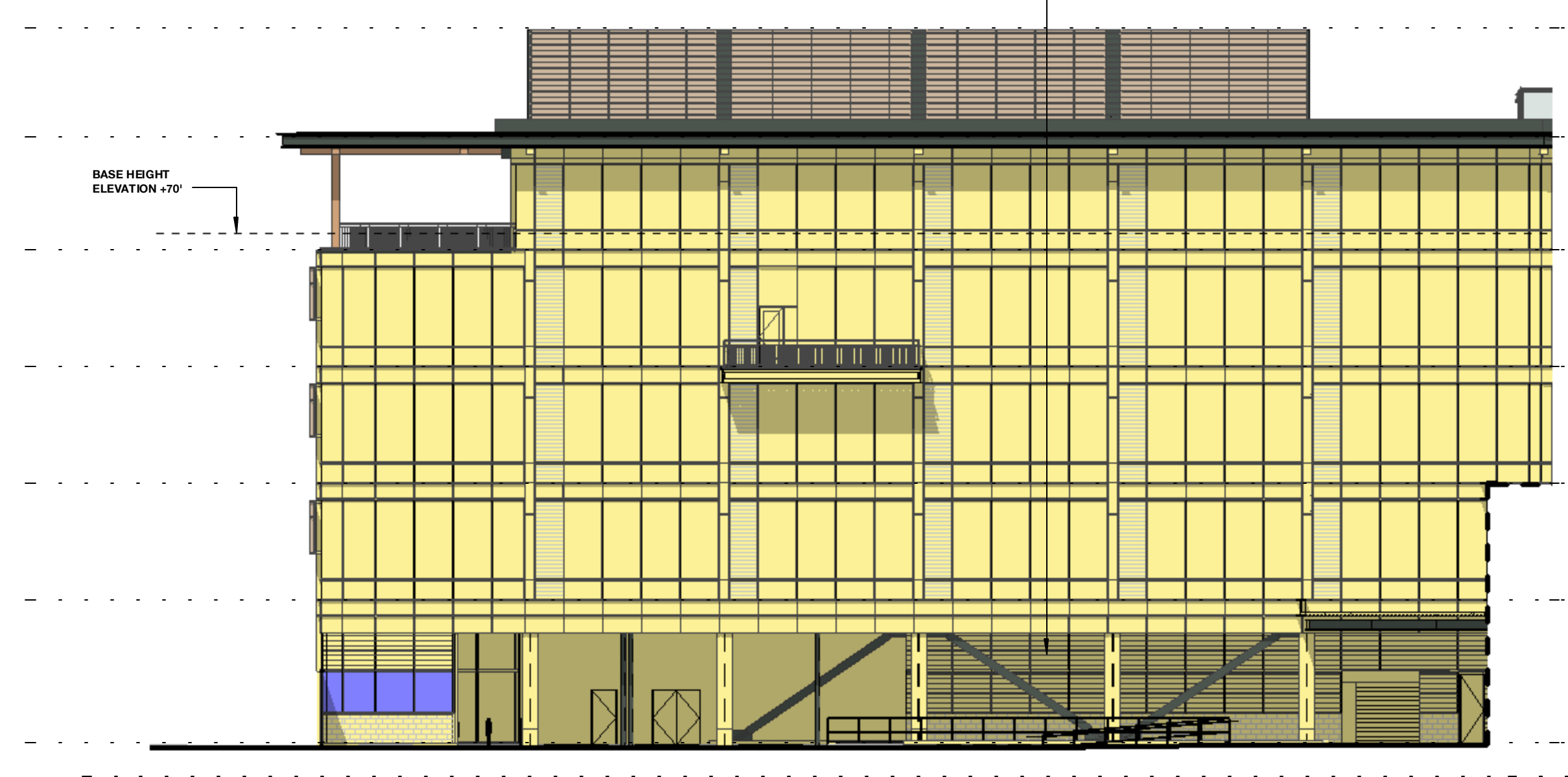
DRAWING NO:
A9.46



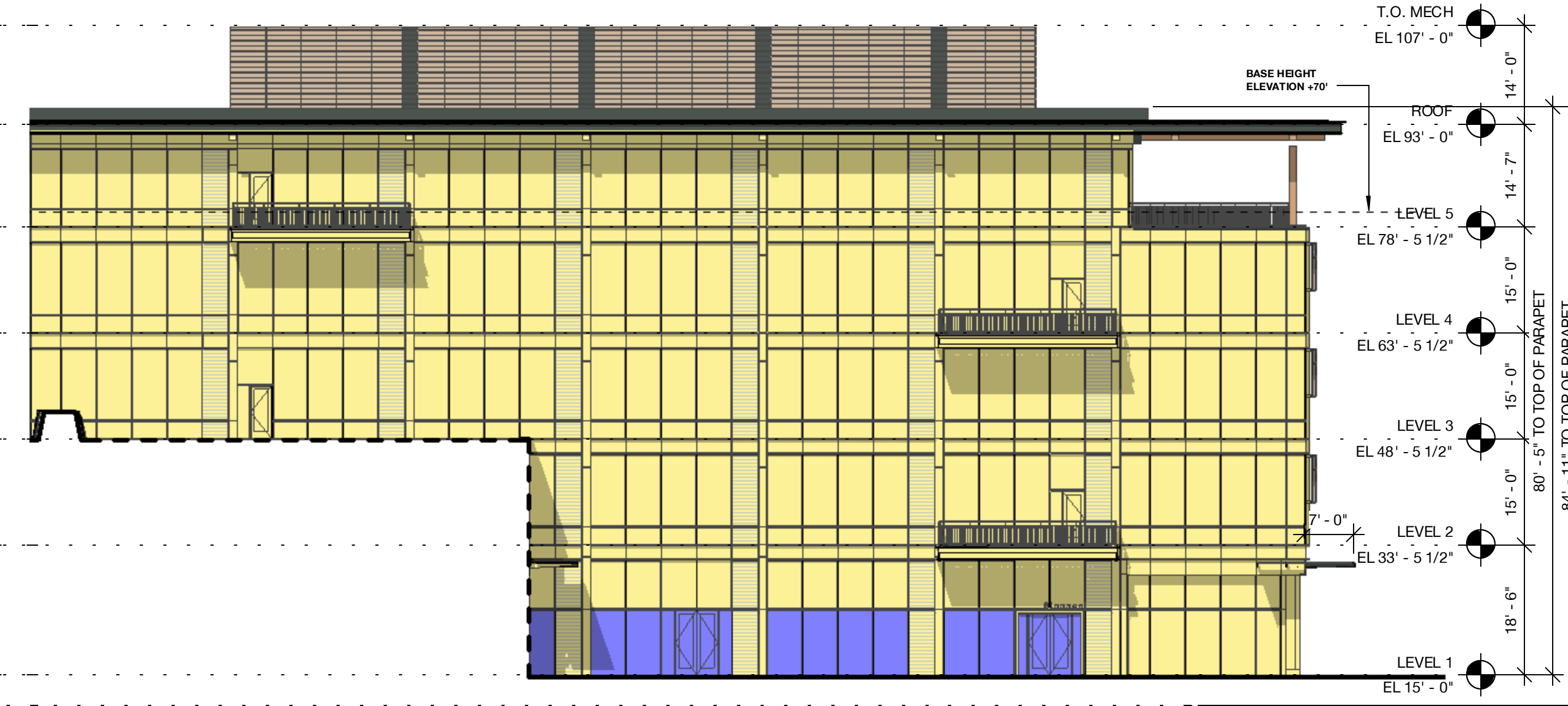
2 Building 06 - West Elevation - Bird Design Diagram
 1/16" = 1'-0"
 TOTAL AREA: 11,629 SF
 BIRD FRIENDLY FACADE: 10,849 SF | 93.3%
 NON-BIRD FRIENDLY FACADE: 780 SF | 6.7%



1 Building 06 - East Elevation - Bird Design Diagram
 1/16" = 1'-0"
 TOTAL AREA: 11,813 SF
 BIRD FRIENDLY FACADE: 11,538 SF | 98.0%
 NON-BIRD FRIENDLY FACADE: 275 SF | 2.3%



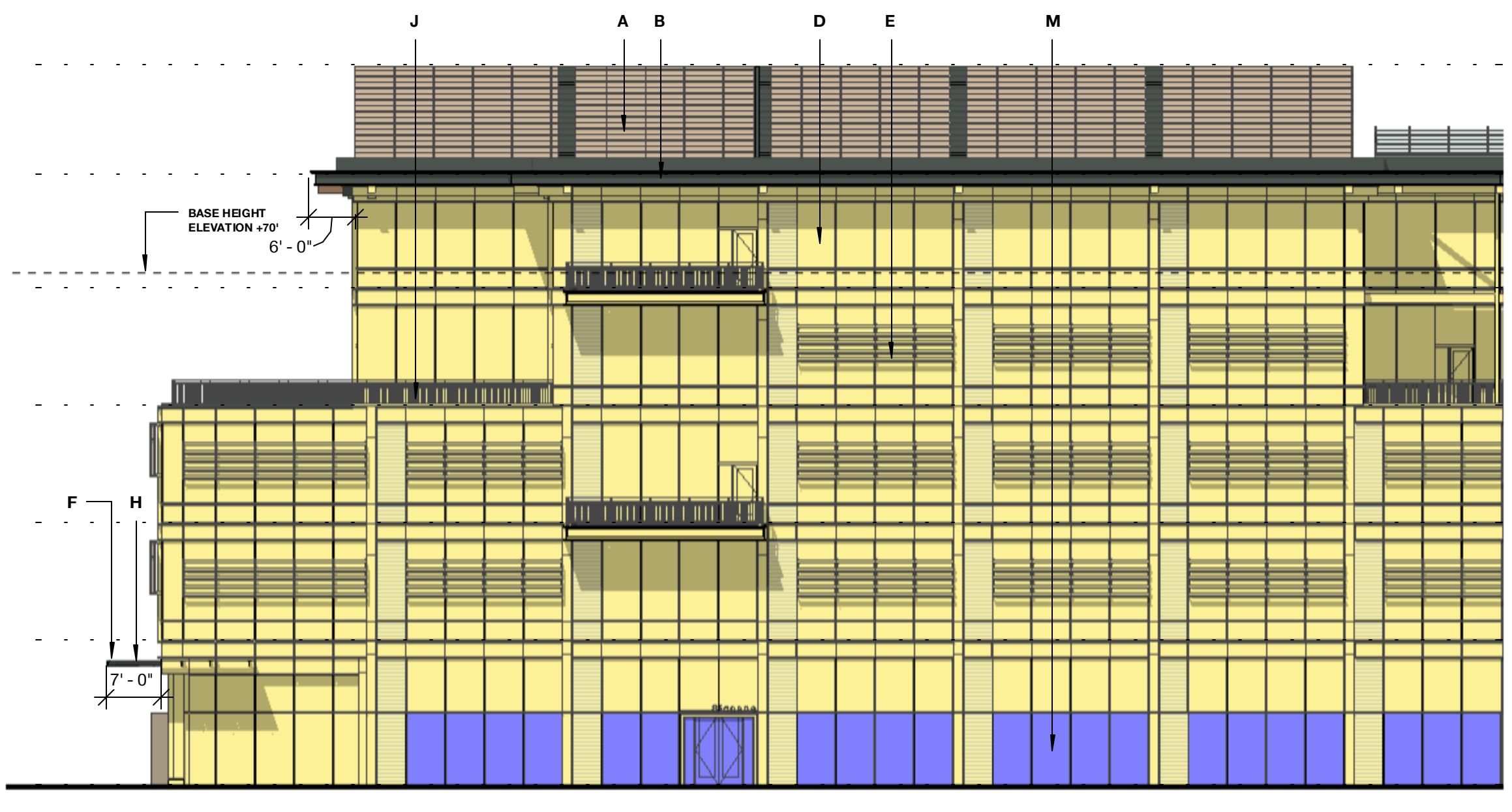
4 Building 06 - North Elevation B - Bird Design Diagram
 1/16" = 1'-0"
 TOTAL AREA: 22,806 SF
 BIRD FRIENDLY FACADE: 22,188 SF | 97.1%
 NON-BIRD FRIENDLY FACADE: 618 SF | 2.9%



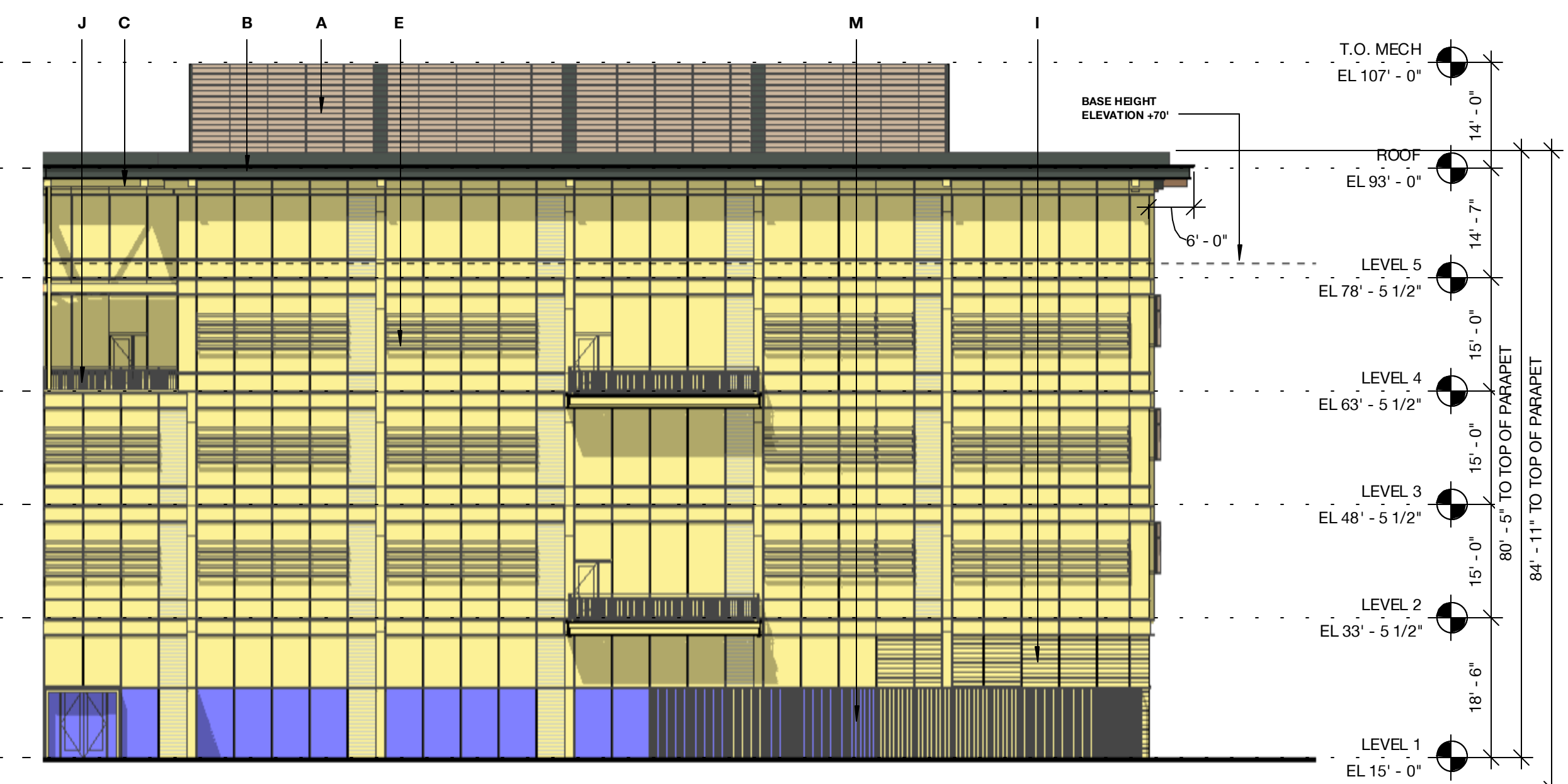
3 Building 06 - North Elevation A - Bird Design Diagram
 1/16" = 1'-0"
 TOTAL AREA: 11,813 SF
 BIRD FRIENDLY FACADE: 11,538 SF | 98.0%
 NON-BIRD FRIENDLY FACADE: 275 SF | 2.3%

HATCH LEGEND

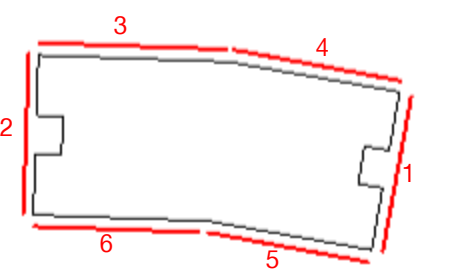
- Bird-Friendly Materials Incl. Fiber Cement Panel, Fritted Glass, Metal Panel, Timber Columns, and Garage Louvers & Screens.
- Non-Bird-Friendly
- A - PAINTED METAL + METAL PANEL
- B - PAINTED METAL + METAL PANEL
- C - EXPOSED HEAVY TIMBER STRUCTURE
- D - TYPICAL VISION GLASS
- E - ARCHITECTURAL LOUVER - PAINTED TO MATCH ADJACENT MATERIAL
- F - GLASS CANOPY
- G - SIGHT PROOF MECH LOUVER
- H - EXPOSED STEEL PAINTED TO MATCH PAINTED METAL PANEL
- I - FIBER CEMENT BOARD
- J - PAINTED METAL GUARDRAIL
- K - PERFORATED METAL PANEL GUARDRAIL
- L - SCREEN COLORED TO MATCH MATERIAL "H"
- M - VISION GLASS - LEVEL 1 & PAVILIONS SP-1 AND SP-2
- N - CAST-IN-PLACE CONCRETE



6 Building 06 - South Elevation B - Bird Design Diagram
 1/16" = 1'-0"
 TOTAL AREA: 20,768 SF
 BIRD FRIENDLY FACADE: 21,071 SF | 102.0%
 NON-BIRD FRIENDLY FACADE: 1,894 SF | 9.1%

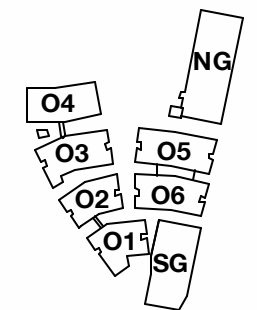


5 Building 06 - South Elevation A - Bird Design Diagram
 1/16" = 1'-0"
 TOTAL AREA: 11,813 SF
 BIRD FRIENDLY FACADE: 11,538 SF | 98.0%
 NON-BIRD FRIENDLY FACADE: 275 SF | 2.3%



BUILDING 06 TOTALS
 TOTAL AREA: 69,872 SF
 BIRD FRIENDLY FACADE: 66,474 SF | 95.1%
 NON-BIRD FRIENDLY FACADE: 3,398 SF | 4.9%

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PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

SCALE: 1/16" = 1'-0"

NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES

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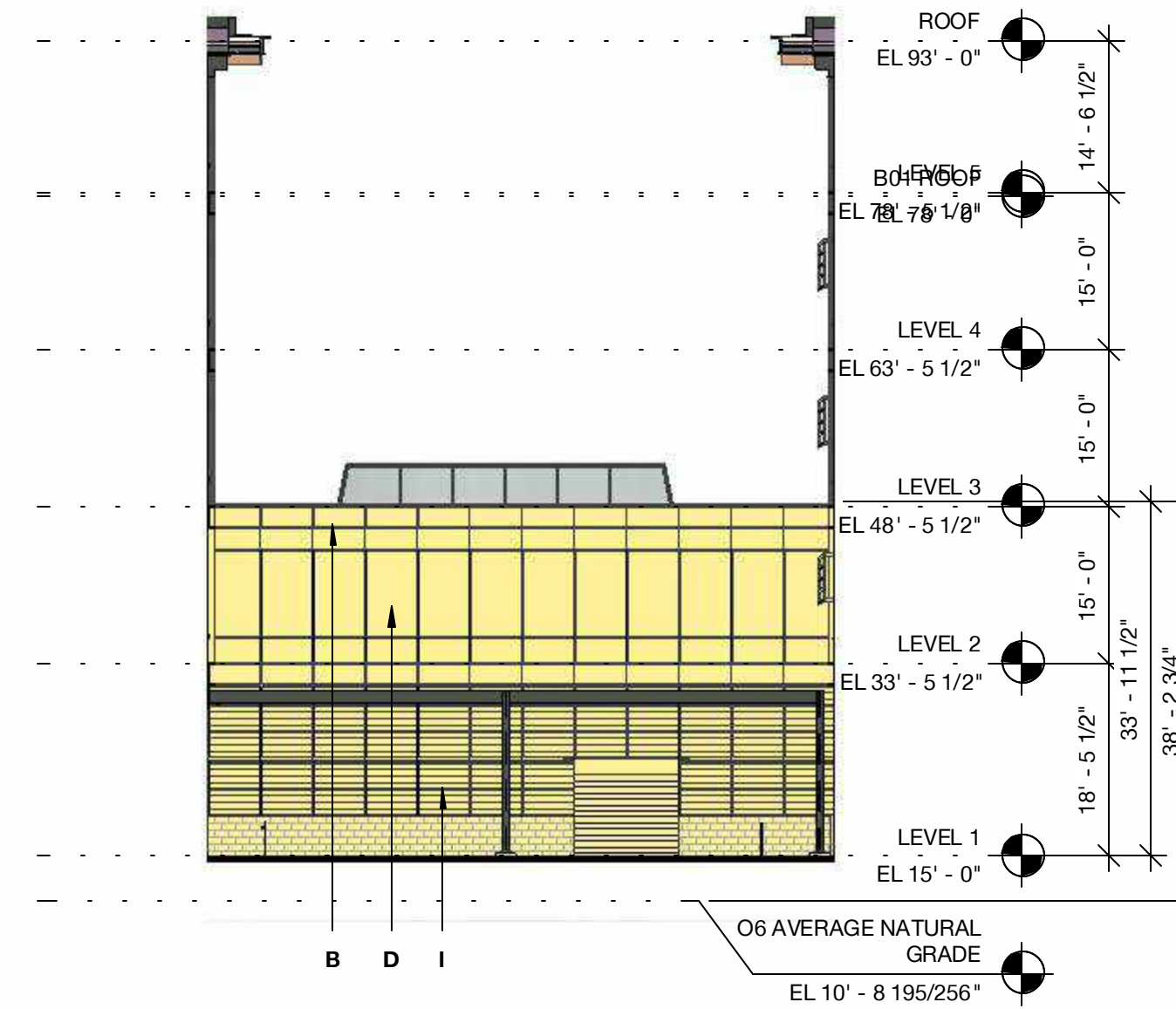
REVISIONS

NO.	DATE	ISSUE

DRAWING TITLE:
 Bird-Safe Design
 Diagrams - Building 06
 Connector

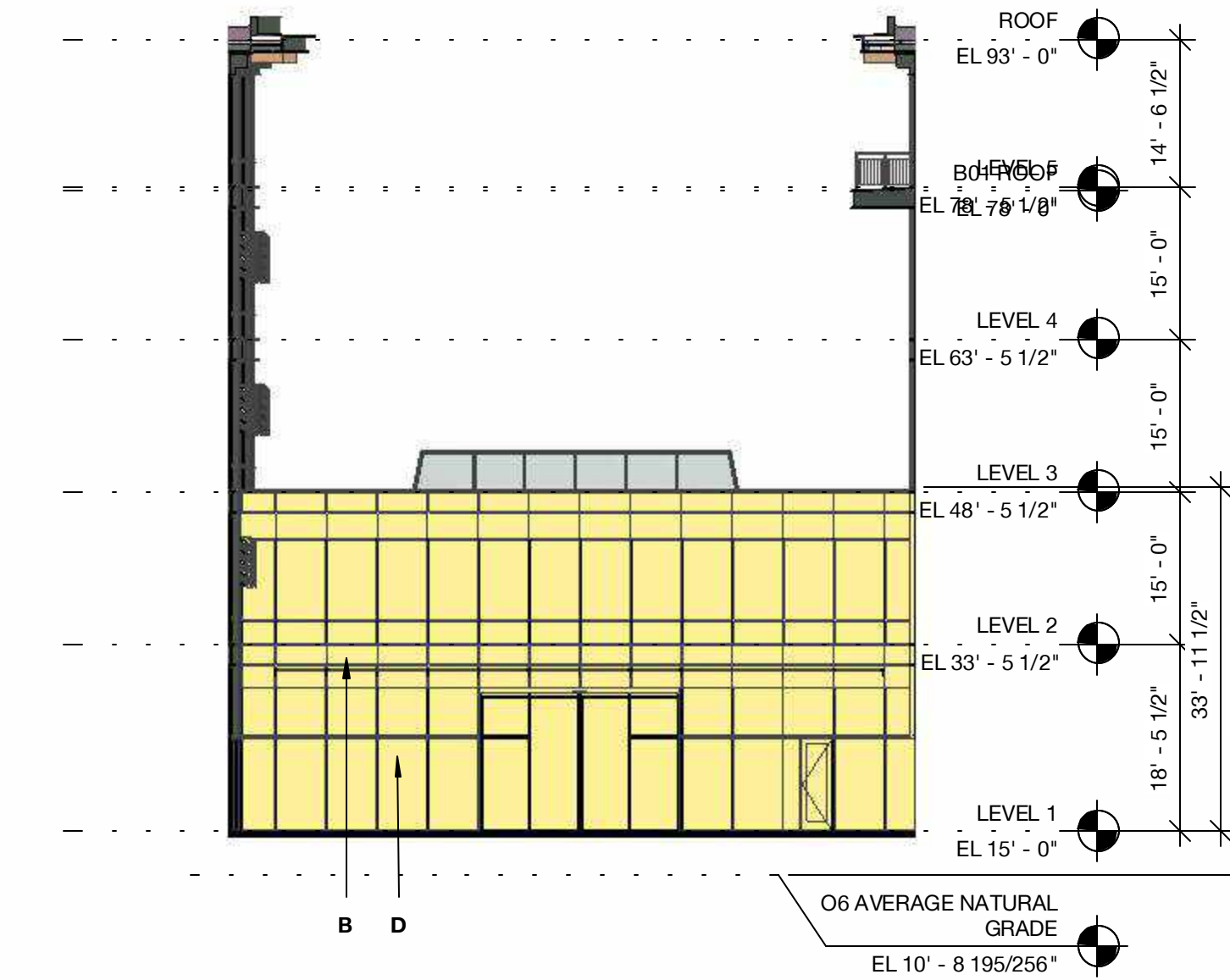
DRAWING NO:

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4 Building 06 Connector - East Elevation - Bird Design Diagram
 1/16" = 1'-0"

TOTAL AREA: 2,004 SF
 BIRD FRIENDLY FACADE: 2,004 SF | 100.0%
 NON-BIRD FRIENDLY FACADE: 0 SF | 0.0%



3 Building 06 Connector - West Elevation - Bird Design Diagram
 1/16" = 1'-0"

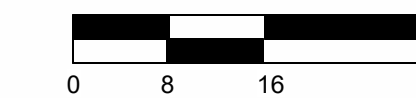
TOTAL AREA: 2,229 SF
 BIRD FRIENDLY FACADE: 2,229 SF | 100.0%
 NON-BIRD FRIENDLY FACADE: 0 SF | 0.0%

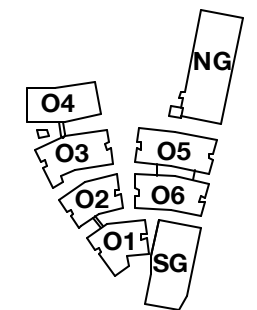
HATCH LEGEND



- A - PAINTED METAL + METAL PANEL
- B - PAINTED METAL + METAL PANEL
- C - EXPOSED HEAVY TIMBER STRUCTURE
- D - TYPICAL VISION GLASS
- E - ARCHITECTURAL LOUVER - PAINTED TO MATCH ADJACENT MATERIAL
- F - GLASS CANOPY
- G - SIGHT PROOF MECH LOUVER
- H - EXPOSED STEEL PAINTED TO MATCH PAINTED METAL PANEL
- I - FIBER CEMENT BOARD
- J - PAINTED METAL GUARDRAIL
- K - PERFORATED METAL PANEL GUARDRAIL
- L - SCREEN COLORED TO MATCH MATERIAL "M"
- M - VISION GLASS - LEVEL 1 & PAVILIONS SP-1 AND SP-2
- N - CAST-IN-PLACE CONCRETE

BUILDING 06 CONNECTOR TOTALS
 TOTAL AREA: 4,227 SF
 BIRD FRIENDLY FACADE: 4,227 SF | 100.0%
 NON-BIRD FRIENDLY FACADE: 0 SF | 0.0%





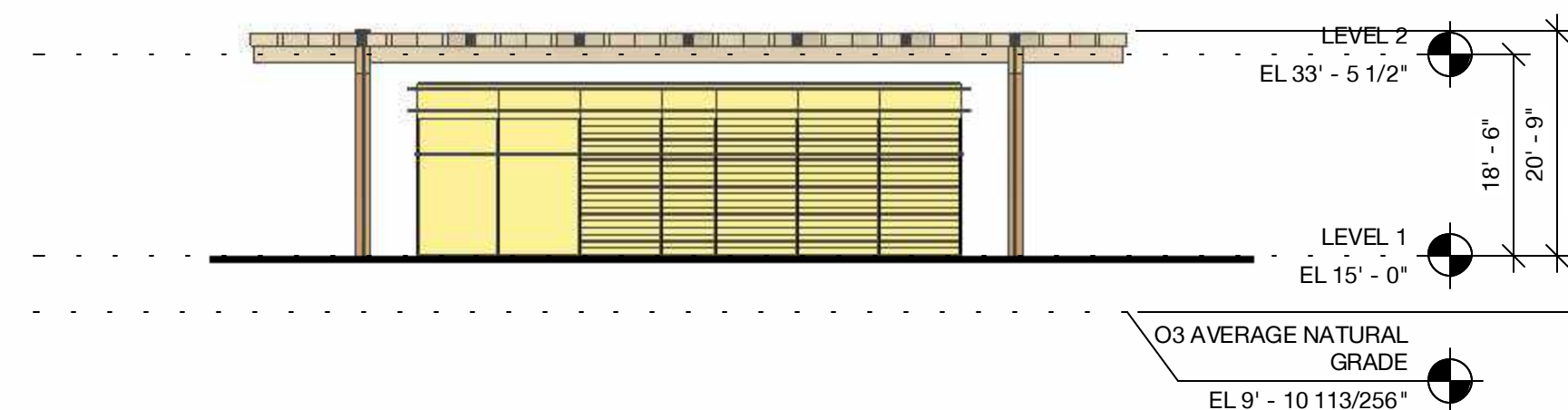
SCALE: 1/16" = 1'-0"
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY, OR SEE CALLOUTS FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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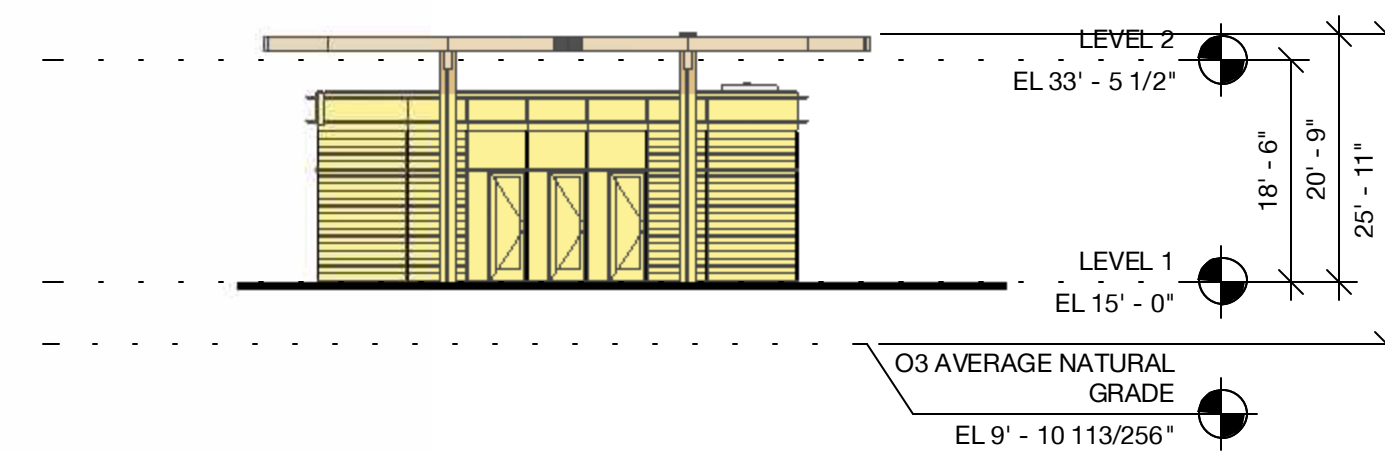
REVISIONS

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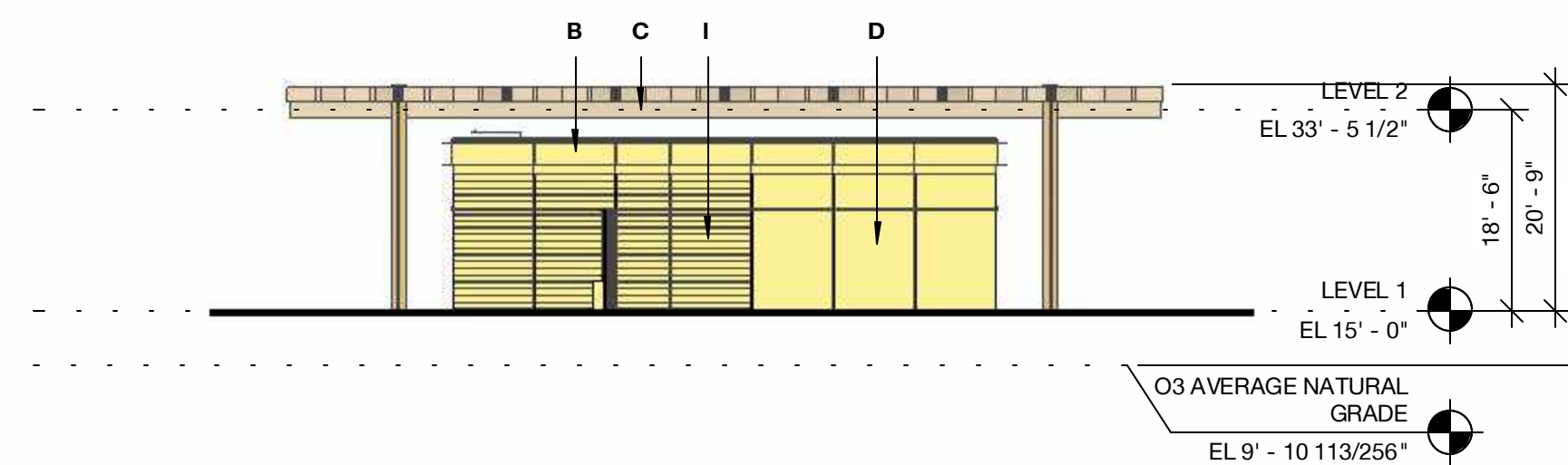
1 Main Street Pavilion - South Elevation - Bird Design Diagram
 1/16" = 1'-0"

TOTAL AREA: 800 SF
 BIRD FRIENDLY FACADE: 800 SF | 100.0%
 NON-BIRD FRIENDLY FACADE: 0 SF | 0.0%



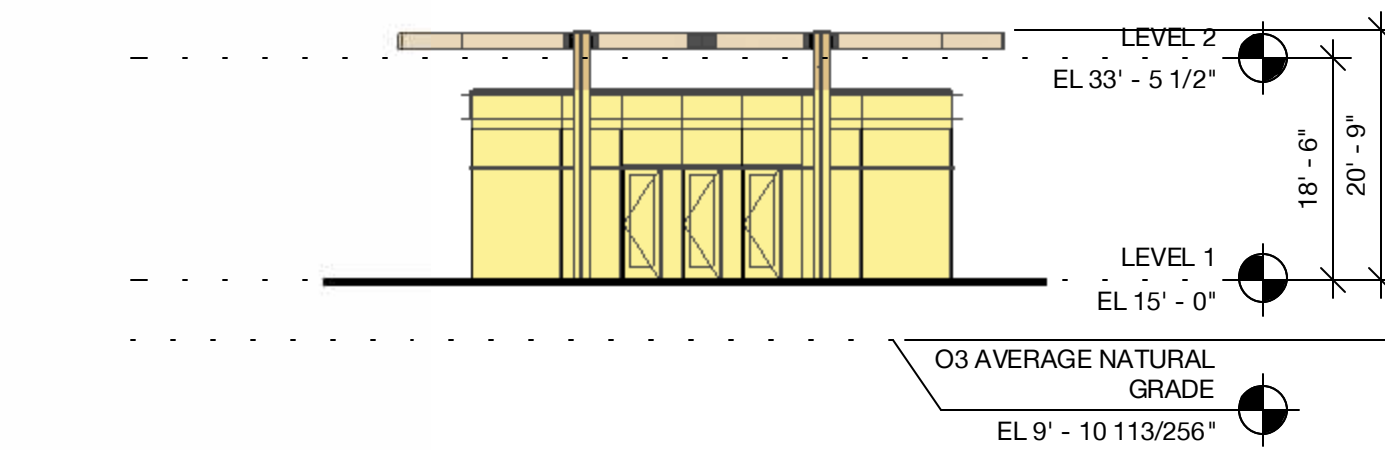
2 Main Street Pavilion - East Elevation - Bird Design Diagram
 1/16" = 1'-0"

TOTAL AREA: 640 SF
 BIRD FRIENDLY FACADE: 640 SF | 100.0%
 NON-BIRD FRIENDLY FACADE: 0 SF | 0.0%



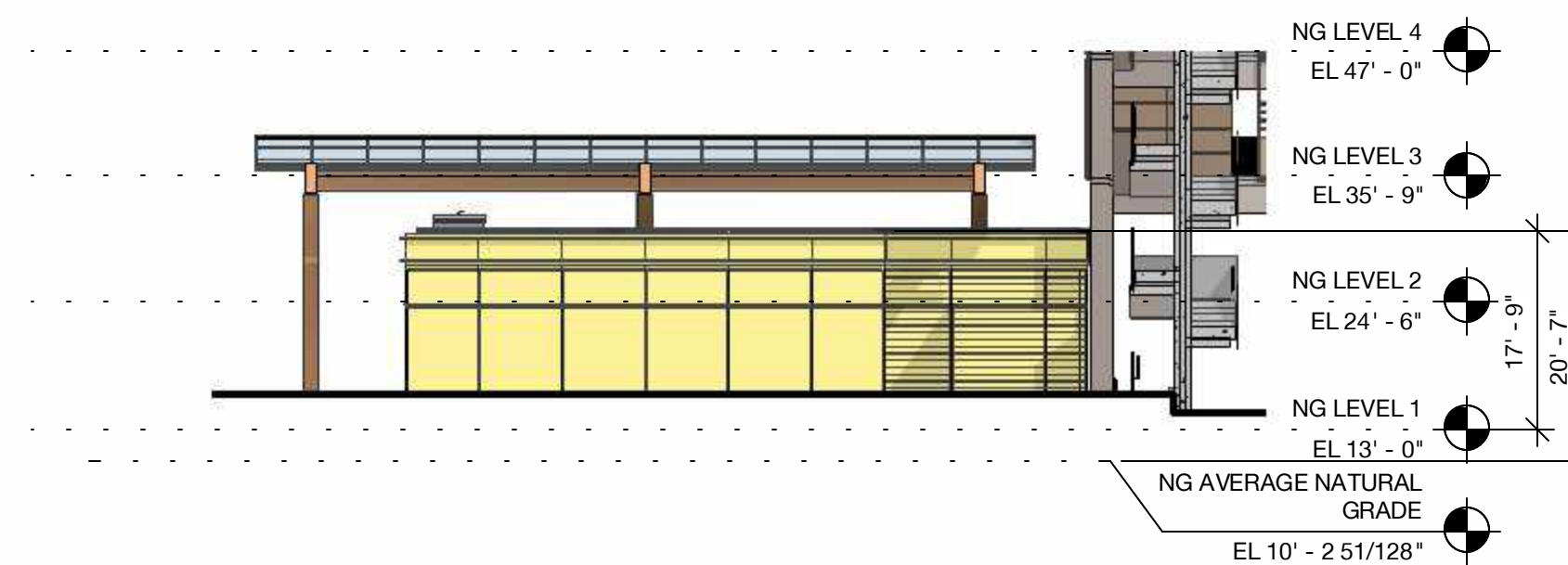
3 Main Street Pavilion - North Elevation - Bird Design Diagram
 1/16" = 1'-0"

TOTAL AREA: 800 SF
 BIRD FRIENDLY FACADE: 800 SF | 100.0%
 NON-BIRD FRIENDLY FACADE: 0 SF | 0.0%



4 Main Street Pavilion - West Elevation - Bird Design Diagram
 1/16" = 1'-0"

TOTAL AREA: 640 SF
 BIRD FRIENDLY FACADE: 640 SF | 100.0%
 NON-BIRD FRIENDLY FACADE: 0 SF | 0.0%



5 North Garage Pavilion - South Elevation - Bird Design Diagram
 1/16" = 1'-0"

TOTAL AREA: 979 SF
 BIRD FRIENDLY FACADE: 979 SF | 100.0%
 NON-BIRD FRIENDLY FACADE: 0 SF | 0.0%



6 North Garage Pavilion - East Elevation - Bird Design Diagram
 1/16" = 1'-0"

NOTE: THE NORTH GARAGE PAVILION EAST ELEVATION FACES INWARD TOWARDS THE NORTH GARAGE, OBSTRUCTED FROM EXTERIOR VIEW, AND THEREFORE IS NOT INCLUDED IN THE BIRD-FRIENDLY AREA CALCULATION.

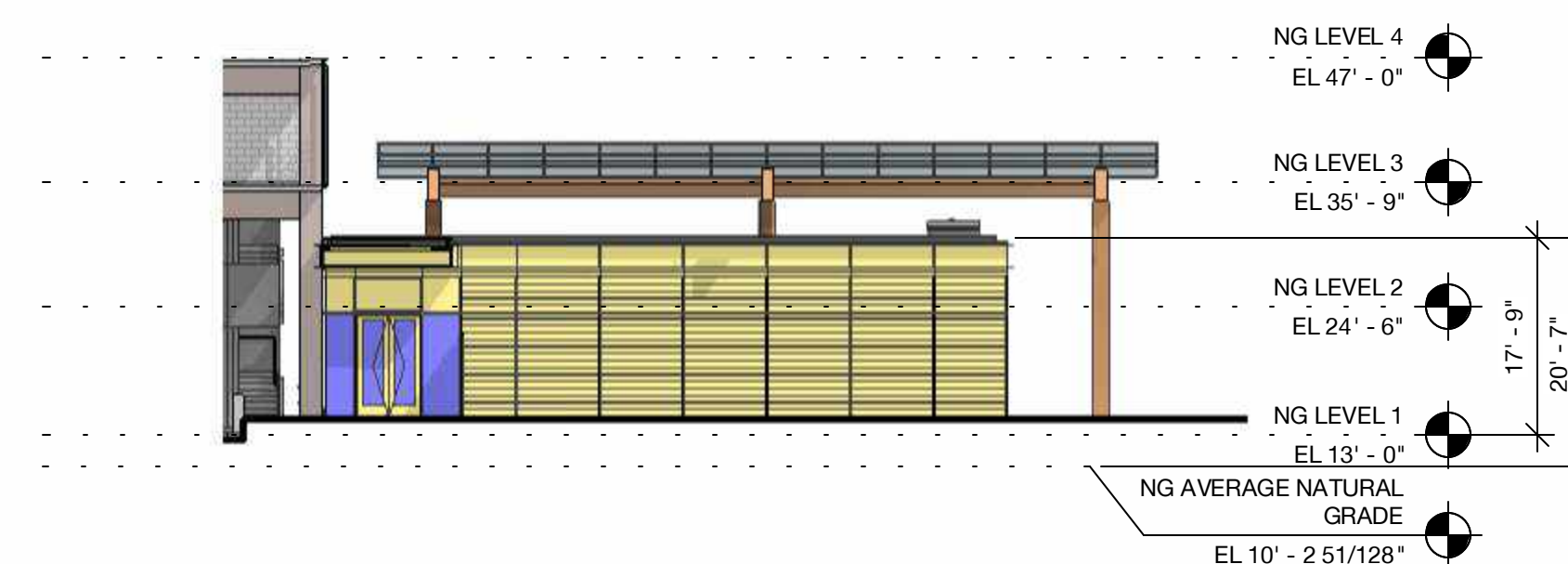
HATCH LEGEND



- A - PAINTED METAL + METAL PANEL
- B - PAINTED METAL + METAL PANEL
- C - EXPOSED HEAVY TIMBER STRUCTURE
- D - TYPICAL VISION GLASS
- E - ARCHITECTURAL LOUVER - PAINTED TO MATCH ADJACENT MATERIAL
- F - GLASS CANOPY
- G - SIGHT PROOF MECH LOUVER
- H - EXPOSED STEEL PAINTED TO MATCH PAINTED METAL PANEL
- I - FIBER CEMENT BOARD
- J - PAINTED METAL GUARDRAIL
- K - PERFORATED METAL PANEL GUARDRAIL
- L - SCREEN COLORED TO MATCH MATERIAL "M"
- M - VISION GLASS - LEVEL 1 & PAVILIONS SP-1 AND SP-2
- N - CAST-IN-PLACE CONCRETE

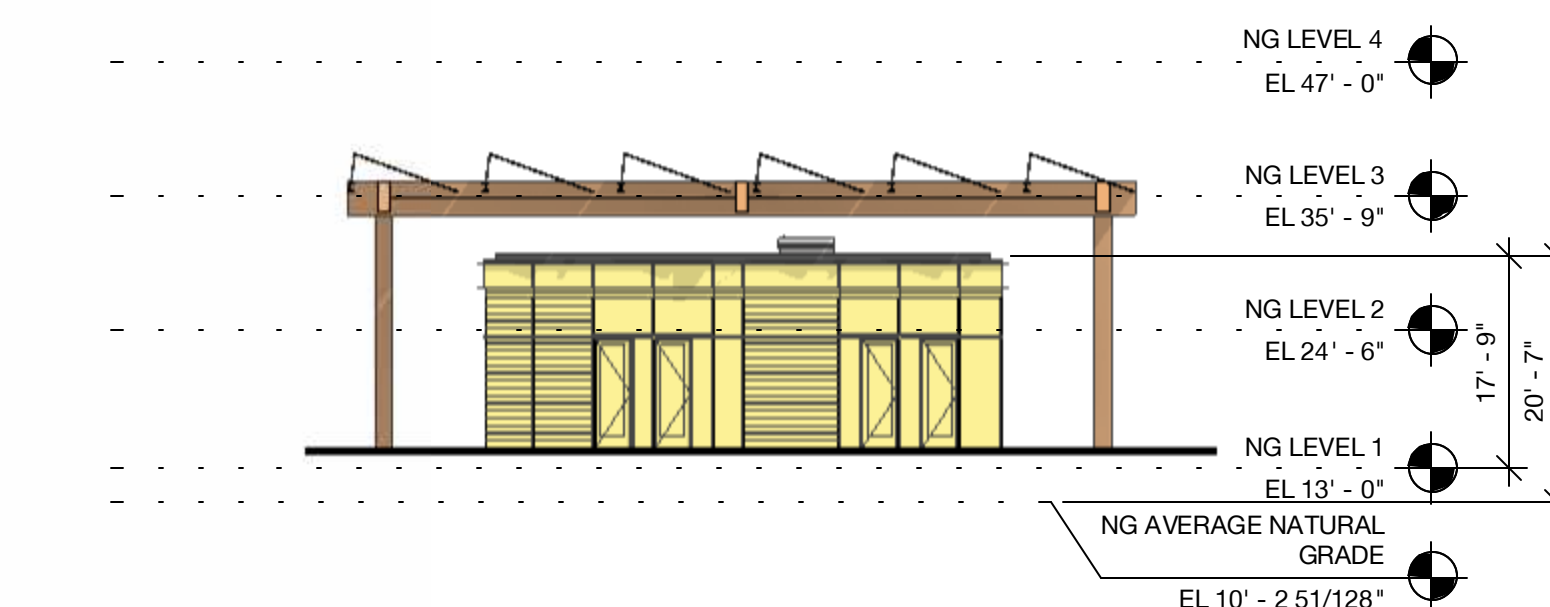
MAIN ST PAVILION TOTALS
 TOTAL AREA: 2,880 SF
 BIRD FRIENDLY FACADE: 2,880 SF | 100.0%
 NON-BIRD FRIENDLY FACADE: 0 SF | 0.0%

NORTH GARAGE PAVILION TOTALS
 TOTAL AREA: 2,646 SF
 BIRD FRIENDLY FACADE: 2562 SF | 96.8%
 NON-BIRD FRIENDLY FACADE: 84 SF | 3.2%



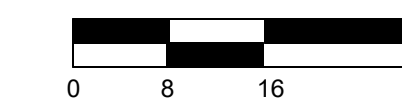
7 North Garage Pavilion - North Elevation - Bird Design Diagram
 1/16" = 1'-0"

TOTAL AREA: 979 SF
 BIRD FRIENDLY FACADE: 895 SF | 91.4%
 NON-BIRD FRIENDLY FACADE: 85.2 SF | 8.6%



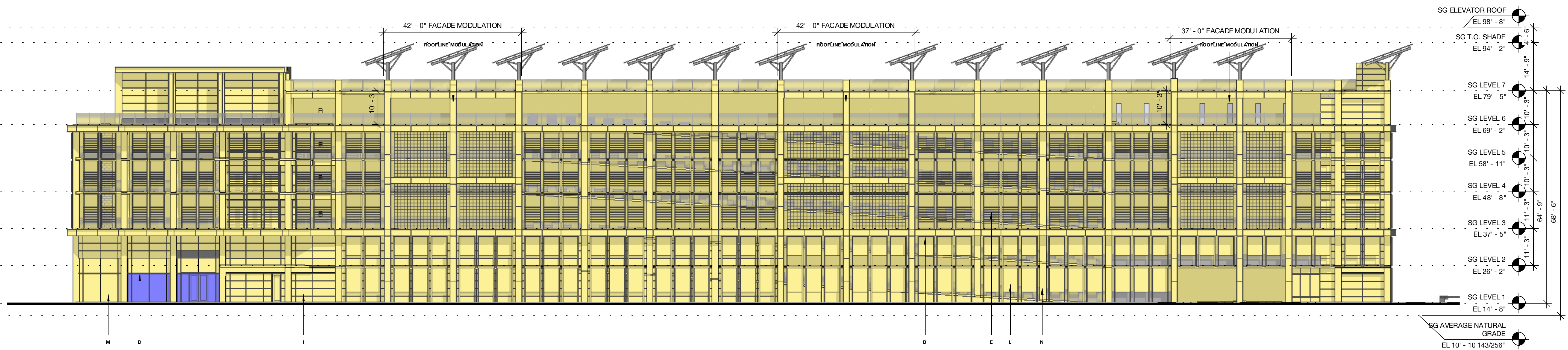
8 North Garage Pavilion - West Elevation - Bird Design Diagram
 1/16" = 1'-0"

TOTAL AREA: 688 SF
 BIRD FRIENDLY FACADE: 688 SF | 100.0%
 NON-BIRD FRIENDLY FACADE: 0 SF | 0.0%



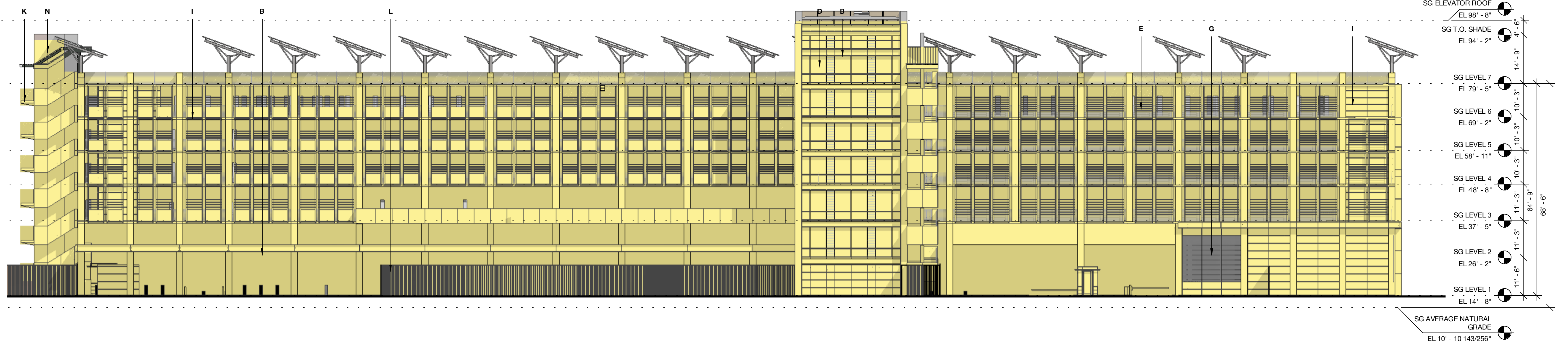
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1 South Garage - East Elevation - Bird Design Diagram
 1/16" = 1'-0"

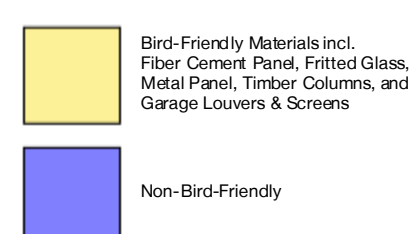
TOTAL AREA: 27,983 SF
 BIRD FRIENDLY FACADE: 27,438 SF | 98.1%
 NON-BIRD FRIENDLY FACADE: 237 SF | 0.9%



2 South Garage - West Elevation - Bird Design Diagram
 1/16" = 1'-0"

TOTAL AREA: 28,420 SF
 BIRD FRIENDLY FACADE: 28,420 SF | 100.0%
 NON-BIRD FRIENDLY FACADE: 0 SF | 0.0%

HATCH LEGEND



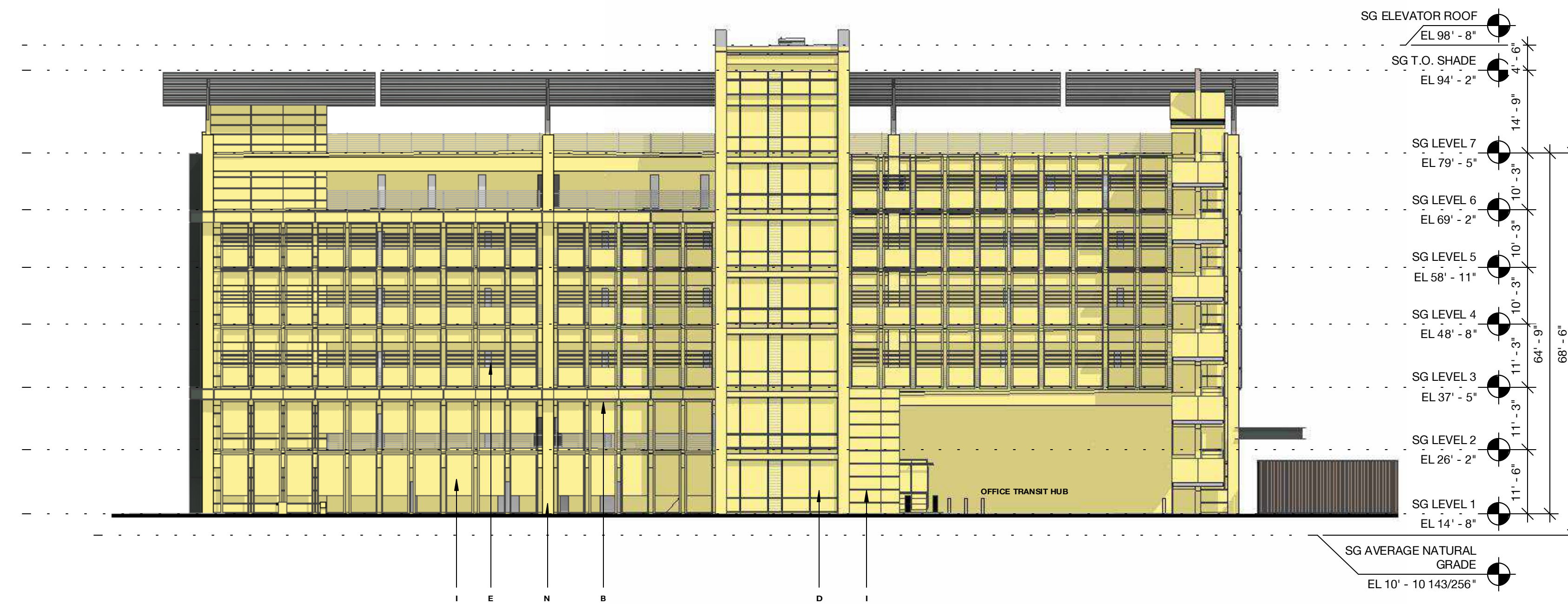
- A - PAINTED METAL + METAL PANEL
- B - PAINTED METAL + METAL PANEL
- C - EXPOSED HEAVY TIMBER STRUCTURE
- D - TYPICAL VISION GLASS
- E - ARCHITECTURAL LOUVER - PAINTED TO MATCH ADJACENT MATERIAL
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- M - VISION GLASS - LEVEL 1 & PAVILIONS SP-1 AND SP-2
- N - CAST-IN-PLACE CONCRETE

SOUTH GARAGE TOTALS
 TOTAL AREA: 81,335 SF
 BIRD FRIENDLY FACADE: 80,414 SF | 98.9%
 NON-BIRD FRIENDLY FACADE: 921 SF | 1.1%



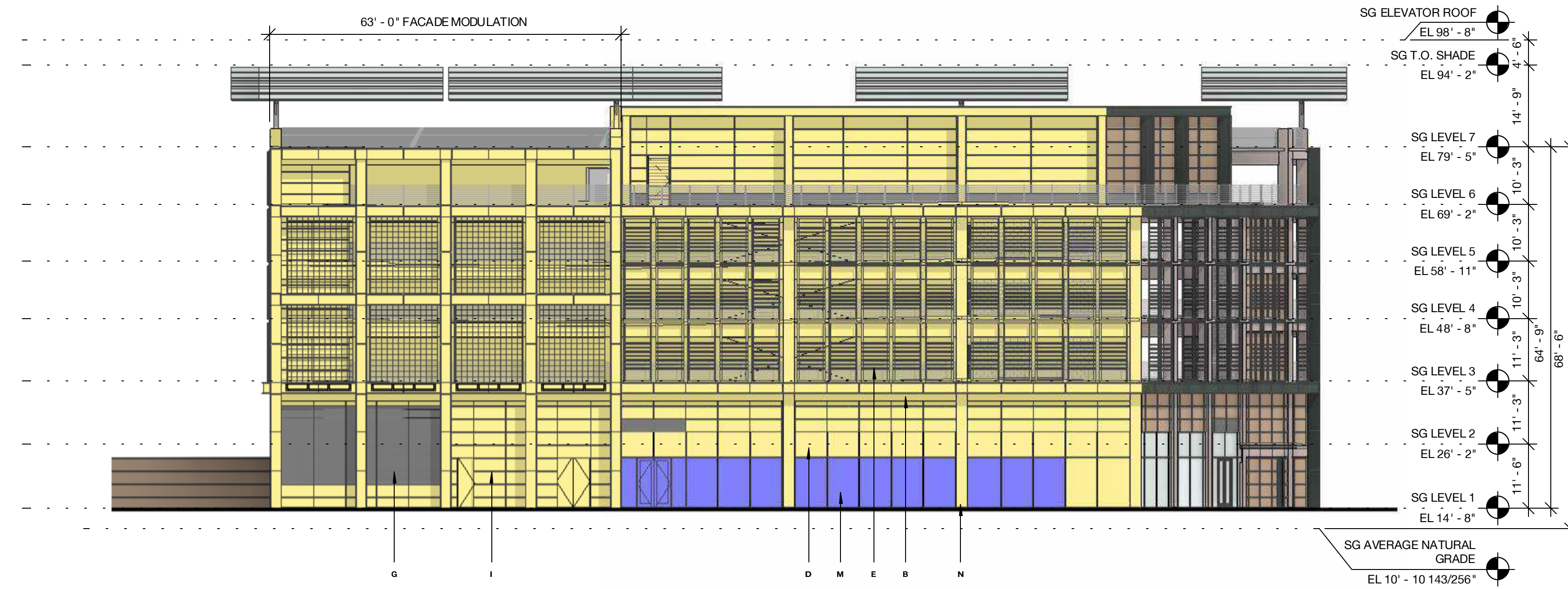
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1 South Garage - North Elevation - Bird Design Diagram
 1/16" = 1'-0"

TOTAL AREA: 13,296 SF
 BIRD FRIENDLY FACADE: 13,296 SF | 100.0%
 NON-BIRD FRIENDLY FACADE: 0 SF | 0.0%



2 South Garage - South Elevation - Bird Design Diagram
 1/16" = 1'-0"

TOTAL AREA: 10,964 SF
 BIRD FRIENDLY FACADE: 10,270 SF | 93.6%
 NON-BIRD FRIENDLY FACADE: 792 SF | 7.2%

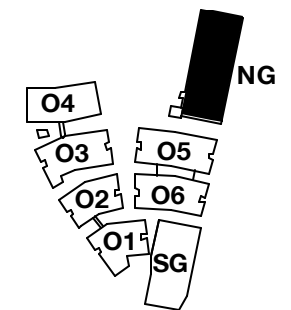
HATCH LEGEND

- Bird-Friendly Materials Incl. Fiber Cement Panel, Fritted Glass, Metal Panels, Timber Columns, and Garage Louvers & Screens
- Non-Bird-Friendly

- A - PAINTED METAL + METAL PANEL
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SOUTH GARAGE TOTALS
 TOTAL AREA: 81,335 SF
 BIRD FRIENDLY FACADE: 80,414 SF | 98.9%
 NON-BIRD FRIENDLY FACADE: 921 SF | 1.1%





PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

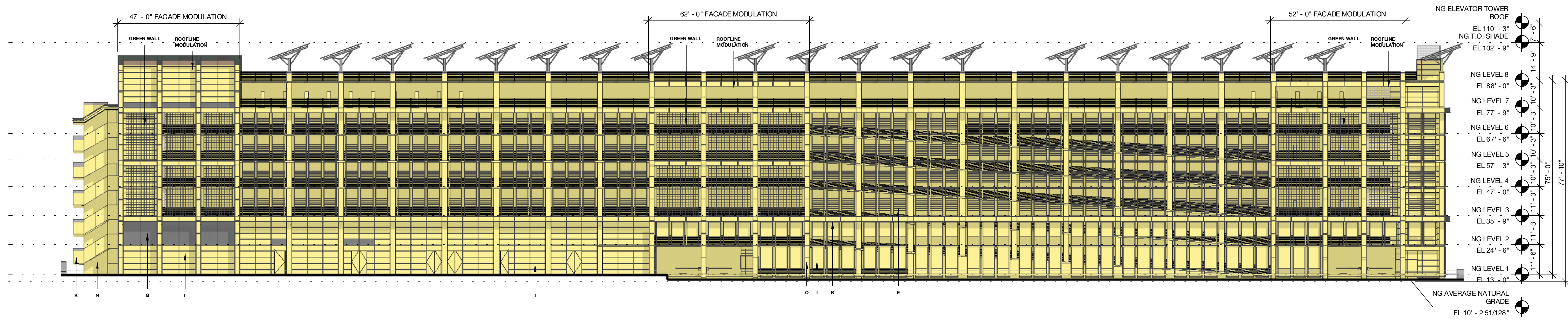
SCALE: As indicated
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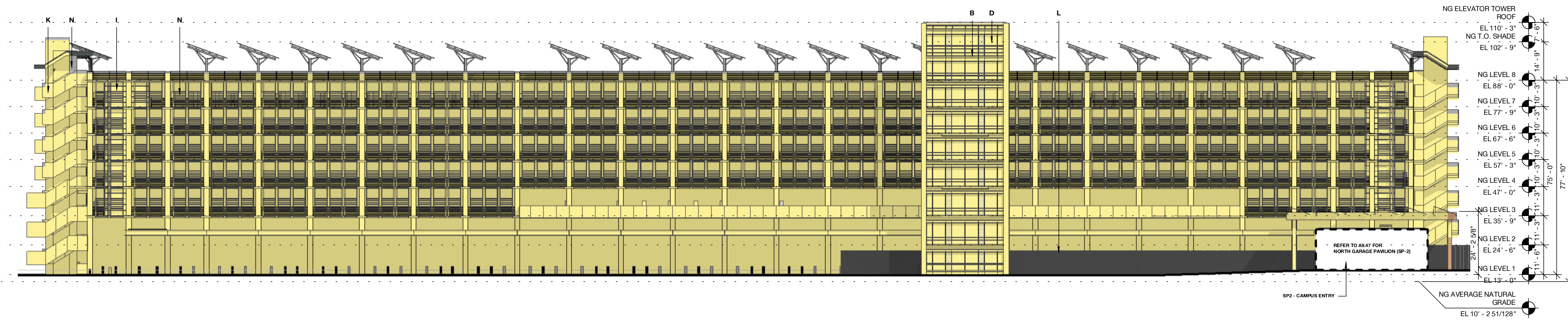
DRAWING TITLE:
 Bird-Safe Design
 Diagrams - North Garage
 - East and West

DRAWING NO:
A9.49A



1 North Garage - East Elevation - Bird Design Diagram
 1" = 20'-0"

TOTAL AREA: 41,519 SF
 BIRD FRIENDLY FACADE: 41,519 SF | 100.0%
 NON-BIRD FRIENDLY FACADE: 0 SF | 0.0%



2 North Garage - West Elevation - Bird Design Diagram
 1" = 20'-0"

TOTAL AREA: 43,299 SF
 BIRD FRIENDLY FACADE: 43,299 SF | 100.0%
 NON-BIRD FRIENDLY FACADE: 0 SF | 0.0%

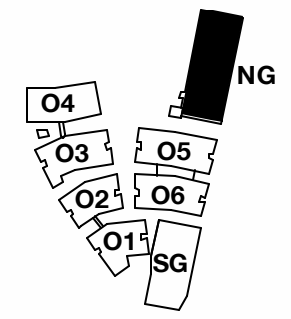
HATCH LEGEND

- Bird-Friendly Materials incl:
Fiber Cement Panel, Frosted Glass,
Metal Panel, Timber Columns, and
Garage Louvers & Screens
- Non-Bird-Friendly
- A - PAINTED METAL + METAL PANEL
- B - PAINTED METAL + METAL PANEL
- C - EXPOSED HEAVY TIMBER STRUCTURE
- D - TYPICAL VISION GLASS
- E - ARCHITECTURAL LOUVER - PAINTED TO MATCH ADJACENT MATERIAL
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- M - VISION GLASS - LEVEL 1 & PAVILIONS SP-1 AND SP-2
- N - CAST-IN-PLACE CONCRETE

NORTH GARAGE TOTALS
 TOTAL AREA: 115,241 SF
 BIRD FRIENDLY FACADE: 115,241 SF | 100.0%
 NON-BIRD FRIENDLY FACADE: 0 SF | 0.0%



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PENINSULA INNOVATION PARTNERS

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 Menlo Park, CA

SCALE: 1/16" = 1'-0"

MILESTONES

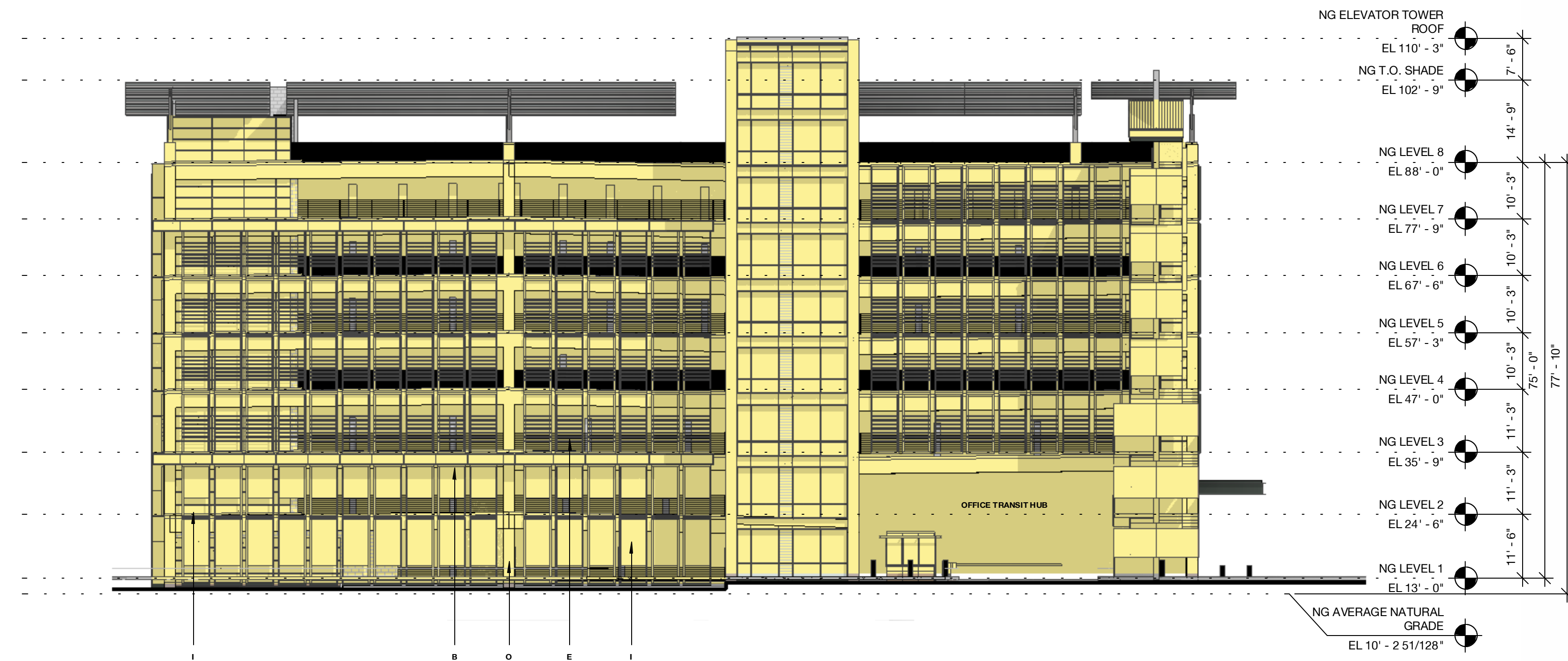
DATE	ISSUE
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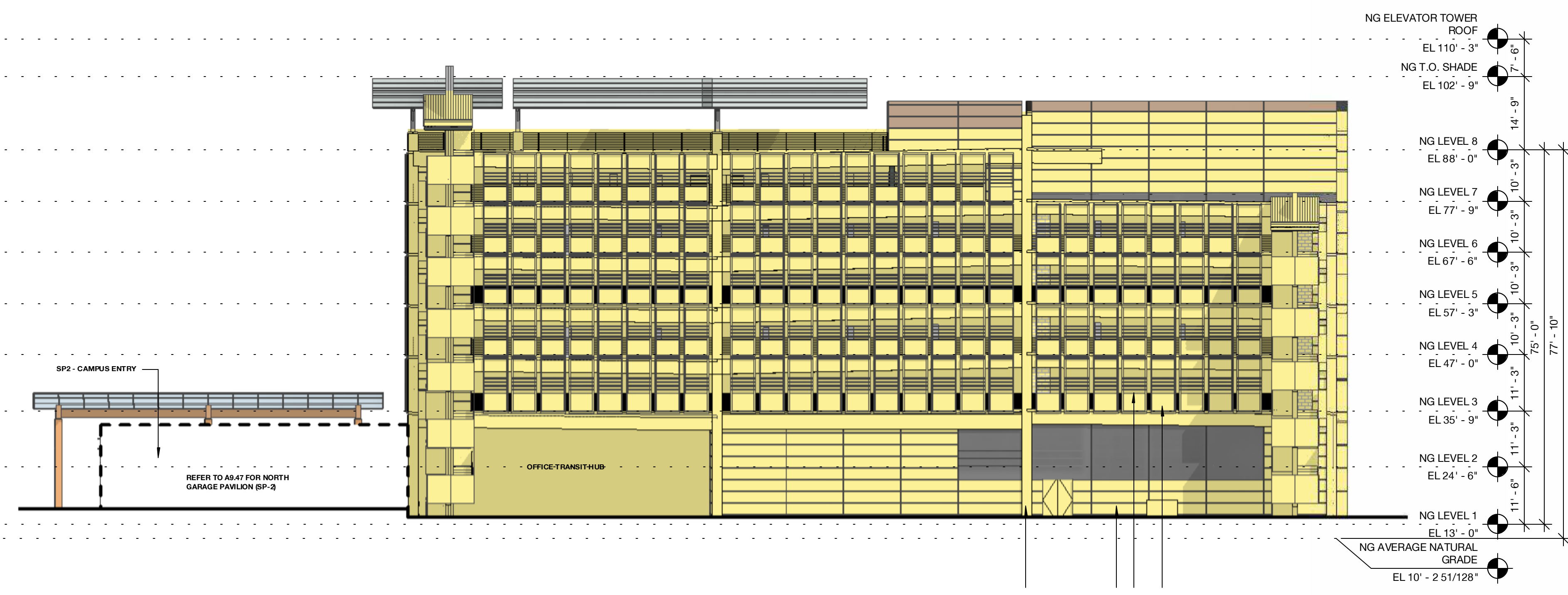
DRAWING TITLE:
 Bird-Safe Design
 Diagrams - North Garage
 - North and South

DRAWING NO:
A9.49B



1 North Garage - North Elevation - Bird Design Diagram
 1/16" = 1'-0"

TOTAL AREA: 15,483 SF
 BIRD FRIENDLY FACADE: 15,483 SF | 100.0%
 NON-BIRD FRIENDLY FACADE: 0 SF | 0.0%



2 North Garage - South Elevation - Bird Design Diagram
 1/16" = 1'-0"

TOTAL AREA: 14,940 SF
 BIRD FRIENDLY FACADE: 14,940 SF | 100.0%
 NON-BIRD FRIENDLY FACADE: 0 SF | 0.0%

HATCH LEGEND

- Bird-Friendly Materials Incl. Fiber Cement Panel, Fritted Glass, Metal Panels, Timber Columns, and Garage Louvers & Screens
- Non-Bird-Friendly
- A - PAINTED METAL + METAL PANEL
- B - PAINTED METAL + METAL PANEL
- C - EXPOSED HEAVY TIMBER STRUCTURE
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- M - VISION GLASS - LEVEL 1 & PAVILIONS SP-1 AND SP-2
- N - CAST-IN-PLACE CONCRETE

NORTH GARAGE TOTALS
 TOTAL AREA: 115,241 SF
 BIRD FRIENDLY FACADE: 115,241 SF | 100.0%
 NON-BIRD FRIENDLY FACADE: 0 SF | 0.0%



SHEET NOTES

1. TOPOGRAPHIC SURVEY PERFORMED BY FREYER & LAURETA DATED 06/24/2021.

BASIS OF SURVEY



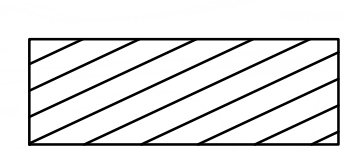
BASIS OF BEARINGS

THE BEARING OF NORTH 10° 07' 20" EAST TAKEN ON THE MONUMENT LINE OF HAMILTON AVENUE AS SHOWN ON THAT CERTAIN SUBDIVISION MAP OF MENLO INDUSTRIAL CENTER FILED FOR RECORD ON OCTOBER 1, 1979, IN BOOK 99 OF SUBDIVISION MAPS AT PAGE 81, OFFICIAL RECORDS OF SAN MATEO COUNTY WAS TAKEN AS THE BASIS FOR ALL BEARINGS SHOWN HEREON.

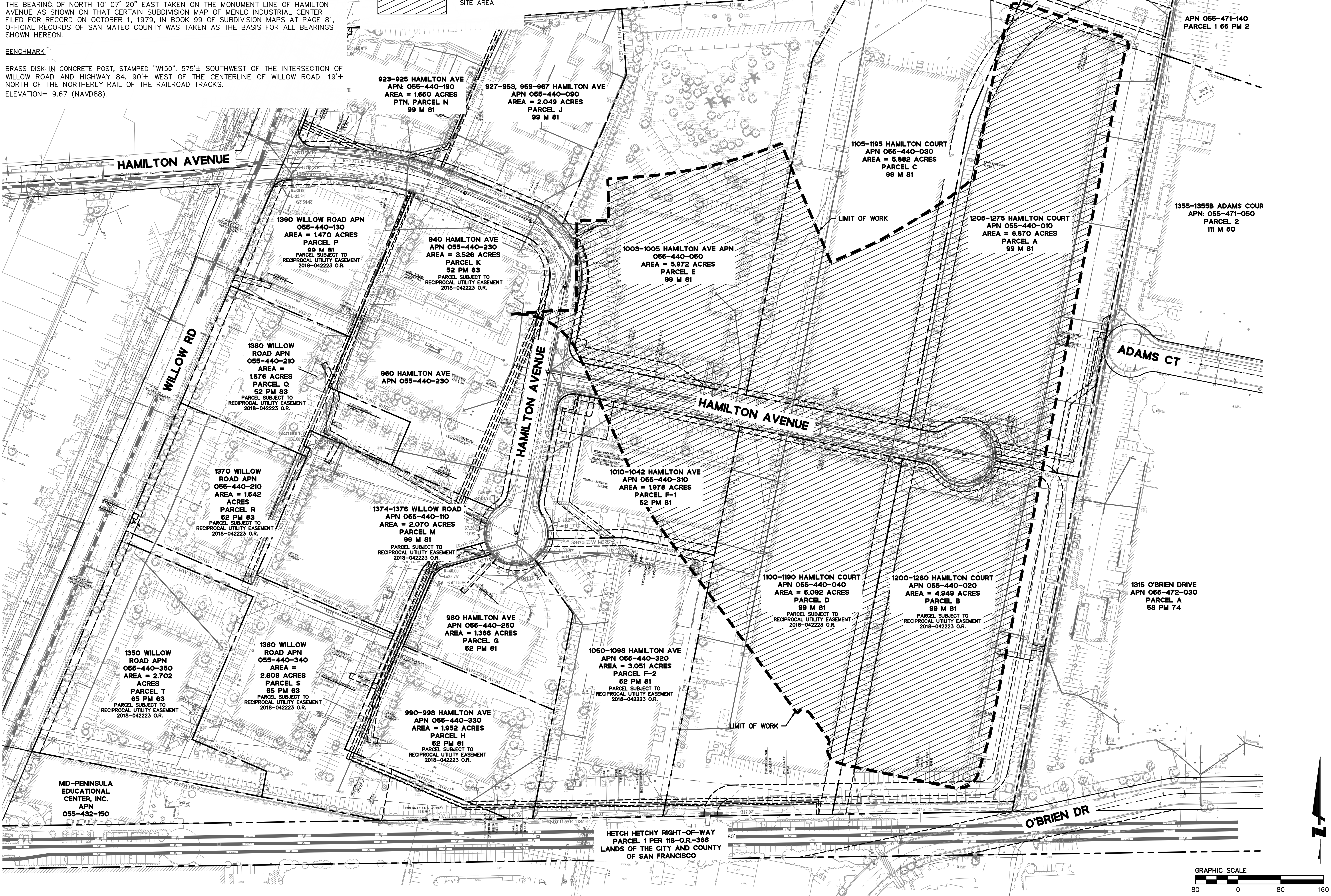
BENCHMARK

BRASS DISK IN CONCRETE POST, STAMPED "W150", 575'± SOUTHWEST OF THE INTERSECTION OF WILLOW ROAD AND HIGHWAY 84, 90'± WEST OF THE CENTERLINE OF WILLOW ROAD, 19'± NORTH OF THE NORTHERLY RAIL OF THE RAILROAD TRACKS. ELEVATION= 9.67 (NAVD88).

LEGEND

-  PROPERTY LINE
-  LIMIT OF WORK
-  SITE AREA

SOUTHERN PACIFIC TRANSPORTATION COMPANY RAIL CORRIDOR



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 - Office
Menlo Park, CA

SCALE:
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE PROVIDED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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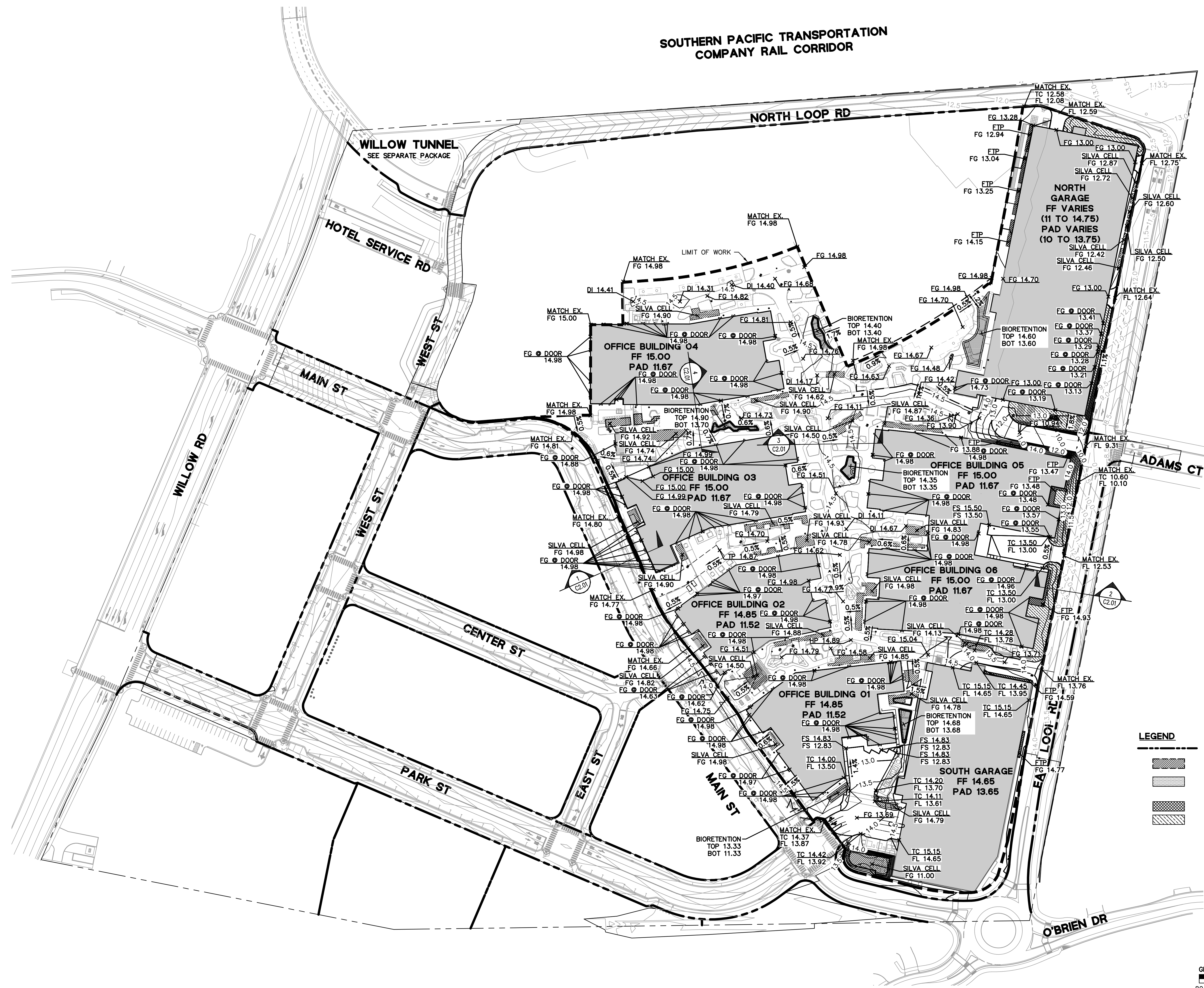
DRAWING TITLE:
TOPOGRAPHIC SURVEY

DRAWING NO:
C1.00



HETCH HETCHY RIGHT-OF-WAY
PARCEL 1 PER 118-O.R.-366
LANDS OF THE CITY AND COUNTY
OF SAN FRANCISCO

SOUTHERN PACIFIC TRANSPORTATION
COMPANY RAIL CORRIDOR



LEGEND

- PROPERTY LINE
- BELOW GRADE SILVA CELLS
- BIORETENTION AREA, SEE SHEET C2.0 FOR GRADING, SEE LANDSCAPE FOR PLANTING AND HARDSCAPE DETAILS
- FLOW-THROUGH PLANTER, FTP
- SELF TREATING



WILLOW VILLAGE
Architectural Control Package - Parcel 1 - Office
Menlo Park, CA

PENINSULA INNOVATION PARTNERS

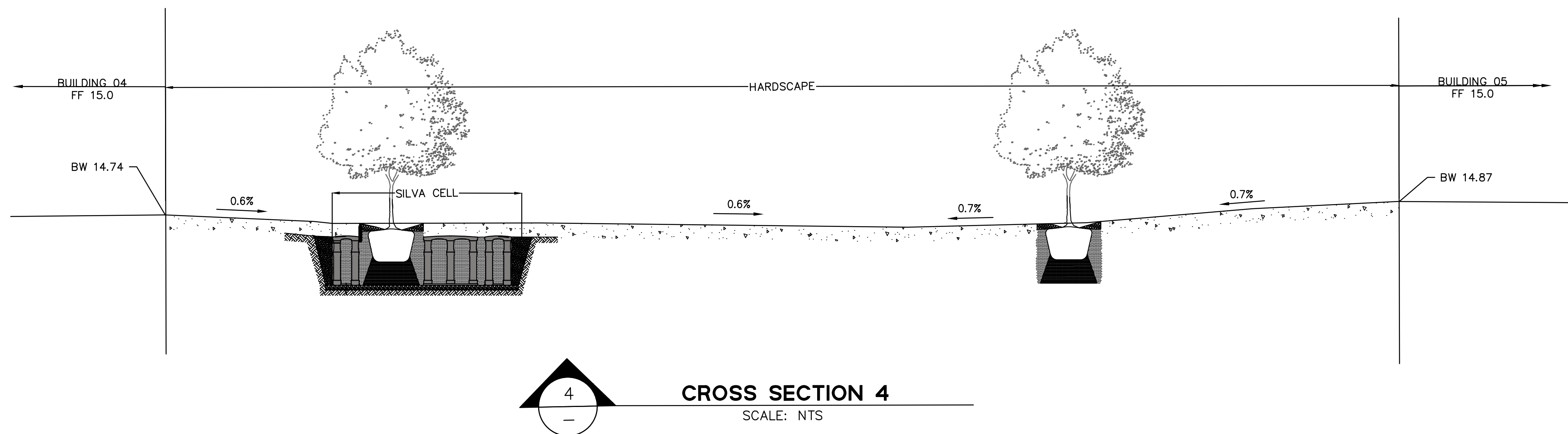
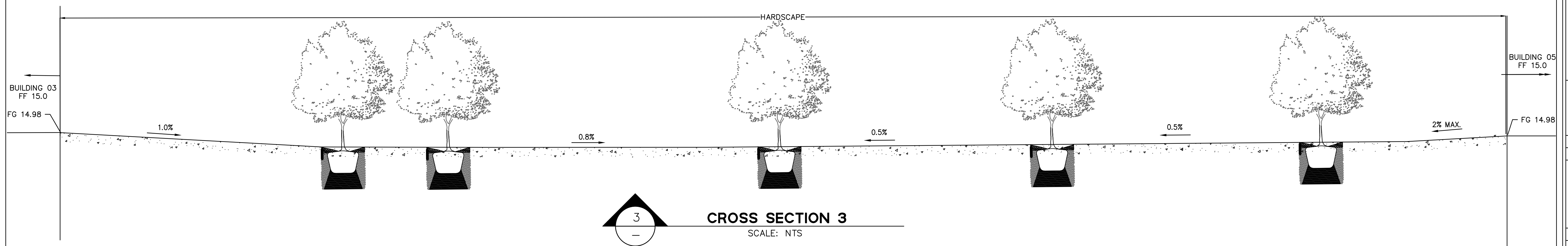
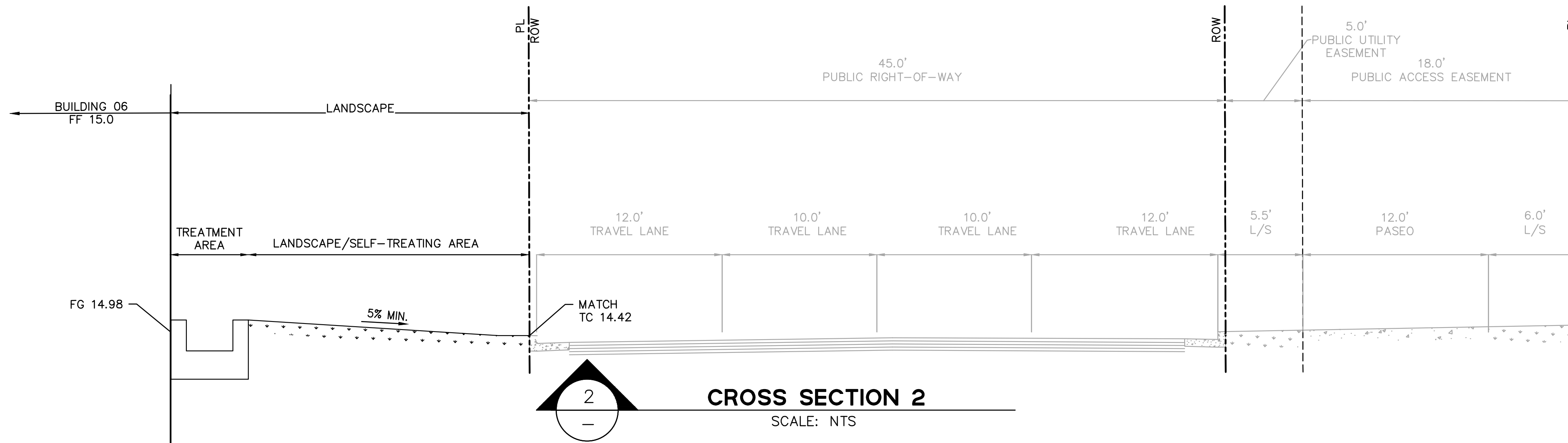
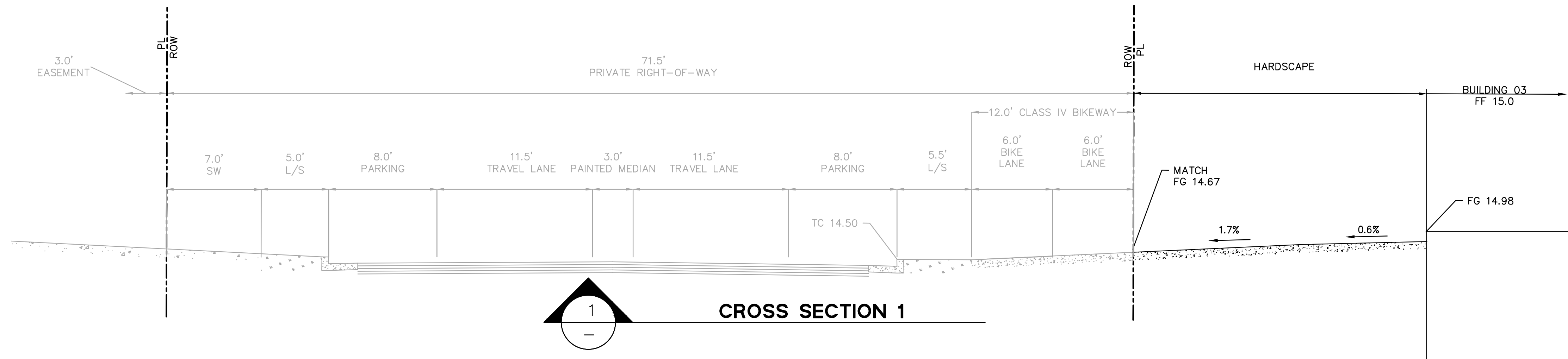
SCALE:
NOTE: THIS DRAWING IS NOT A 1"=100' SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY, OR USE CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
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NO.	DATE	ISSUE

DRAWING TITLE:
GRADING AND DRAINAGE PLAN

DRAWING NO:
C2.00



SCALE:
NOTE: THIS DRAWING IS 50% A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

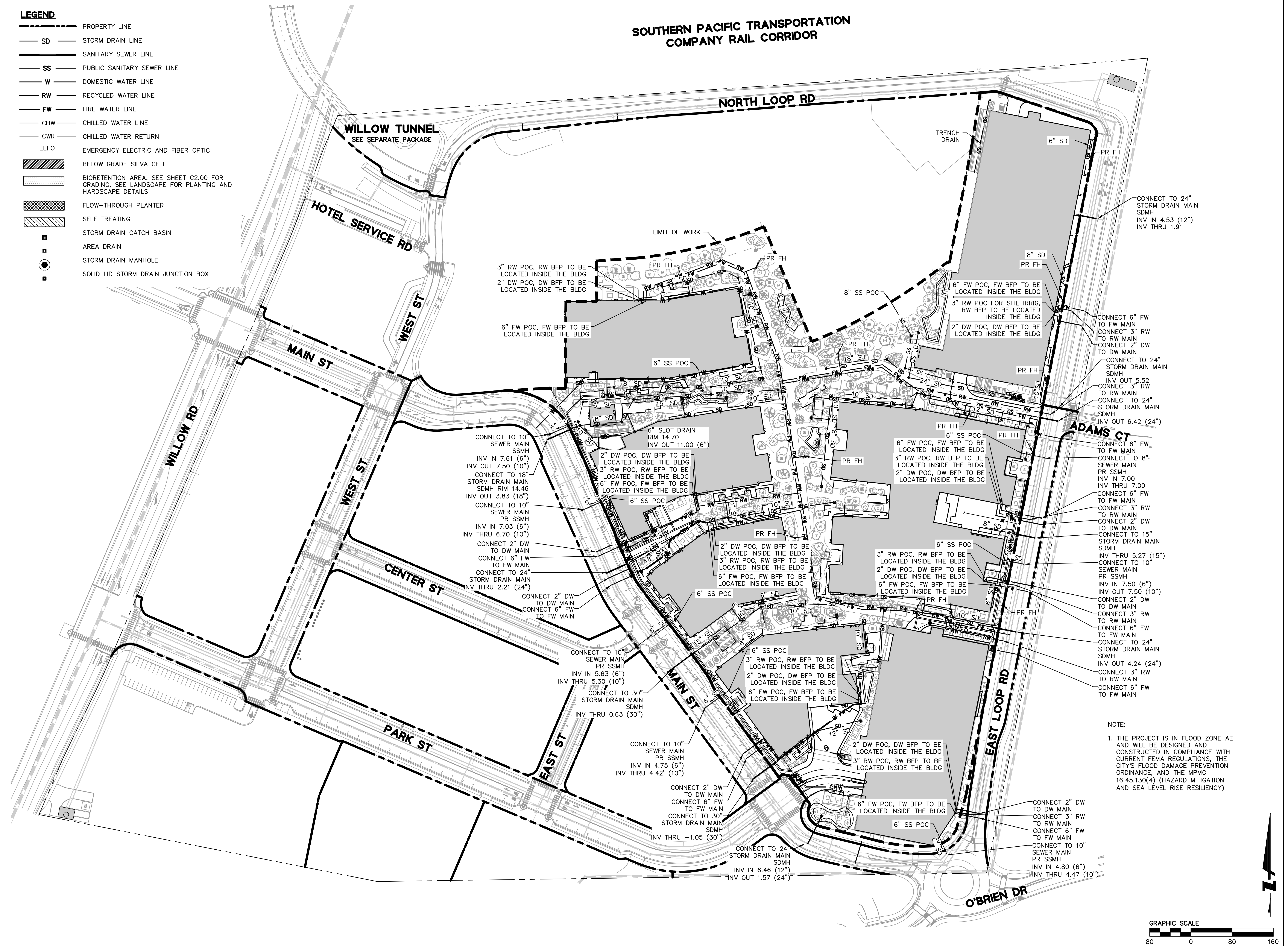
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DATE	ISSUE
03/10/2023	ACP

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NO.	DATE	ISSUE

**SOUTHERN PACIFIC TRANSPORTATION
COMPANY RAIL CORRIDOR**

LEGEND

	PROPERTY LINE
	STORM DRAIN LINE
	SANITARY SEWER LINE
	PUBLIC SANITARY SEWER LINE
	DOMESTIC WATER LINE
	RECYCLED WATER LINE
	FIRE WATER LINE
	CHILLED WATER LINE
	CHILLED WATER RETURN
	EMERGENCY ELECTRIC AND FIBER OPTIC
	BELOW GRADE SILVA CELL
	BIORETENTION AREA. SEE SHEET C2.00 FOR GRADING, SEE LANDSCAPE FOR PLANTING AND HARDSCAPE DETAILS
	FLOW-THROUGH PLANTER
	SELF TREATING
	STORM DRAIN CATCH BASIN
	AREA DRAIN
	STORM DRAIN MANHOLE
	SOLID LID STORM DRAIN JUNCTION BOX



WILLOW VILLAGE
 Architectural Control Package - Parcel 1 - Office
 Peninsula Innovation Partners
 Menlo Park, CA

SCALE:
 NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DIMENSIONS USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES

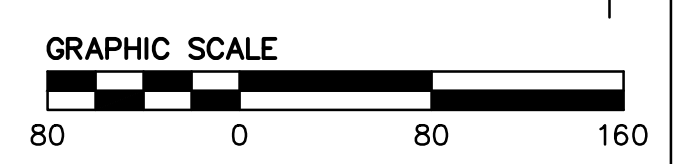
DATE	ISSUE
03/10/2023	ACP

REVISIONS

NO.	DATE	ISSUE

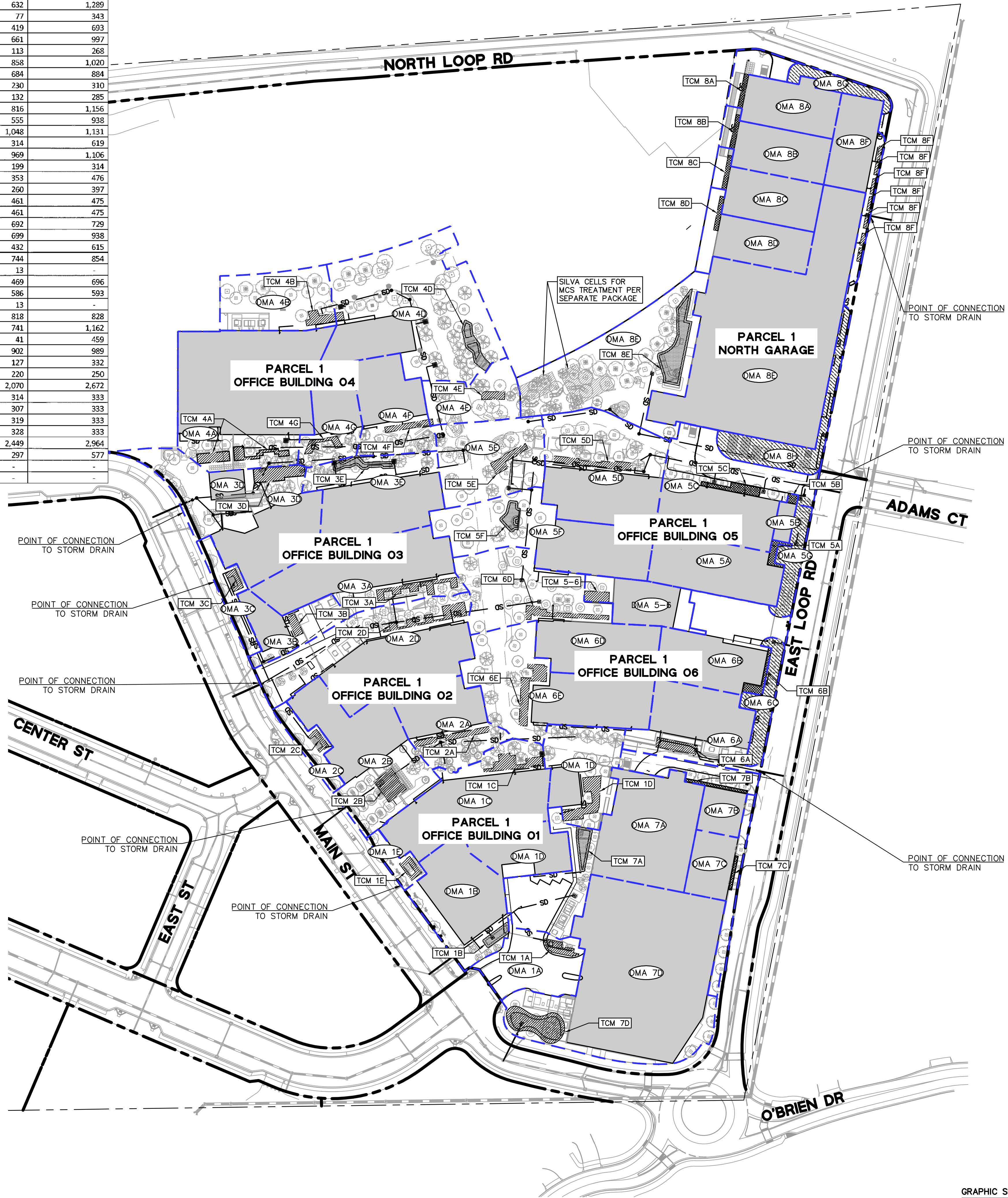
NOTE:
 1. THE PROJECT IS IN FLOOD ZONE AE AND WILL BE DESIGNED AND CONSTRUCTED IN COMPLIANCE WITH CURRENT FEMA REGULATIONS, THE CITY'S FLOOD DAMAGE PREVENTION ORDINANCE, AND THE MPMC 16.45.130(4) (HAZARD MITIGATION AND SEA LEVEL RISE RESILIENCY)

DRAWING TITLE:
UTILITY PLAN
 DRAWING NO:
C3.00



**SOUTHERN PACIFIC TRANSPORTATION
COMPANY RAIL CORRIDOR**

DMA	TCM	TOTAL AREA (SF)	IMPERVIOUS AREA (SF)	PERVIOUS AREA (SF)	EFFECTIVE IMPERVIOUS AREA (SF)	TREATMENT CONTROL MEASURE	SIZING MEETHOD	TREATMENT REQUIRED AREA (SF)	TOTAL PROVIDED AREA (SF)
1A	1A	11,404	10,739	665	10,806	SILVA CELL	FLOW/VOLUME	325	524
1B	1B	17,509	15,161	2,348	15,396	BIORETENTION	FLOW/VOLUME	462	583
1C	1C	22,997	21,360	1,637	21,523	SILVA CELL	FLOW/VOLUME	647	977
1D	1D	23,387	20,769	2,618	21,031	SILVA CELL	FLOW/VOLUME	632	1,289
1E	1E	2,787	2,523	264	2,549	SILVA CELL	FLOW/VOLUME	77	343
2A	2A	15,004	13,840	1,165	13,956	SILVA CELL	FLOW/VOLUME	419	693
2B	2B	23,369	21,853	1,515	22,005	SILVA CELL	FLOW/VOLUME	661	997
2C	2C	4,150	3,717	433	3,760	SILVA CELL	FLOW/VOLUME	113	268
2D	2D	31,426	28,237	3,189	28,556	SILVA CELL	FLOW/VOLUME	858	1,020
3A	3A	23,845	22,638	1,208	22,758	SILVA CELL	FLOW/VOLUME	684	884
3B	3B	8,682	7,546	1,136	7,660	SILVA CELL	FLOW/VOLUME	230	310
3C	3C	4,804	4,338	467	4,384	SILVA CELL	FLOW/VOLUME	132	285
3D	3D	31,341	26,696	4,645	27,160	SILVA CELL	FLOW/VOLUME	816	1,156
3E	3E	20,680	18,249	2,432	18,492	BIO-RETENTION	FLOW/VOLUME	555	938
4A	4A	38,305	34,518	3,787	34,896	SILVA CELL	FLOW/VOLUME	1,048	1,131
4B	4B	13,647	10,111	3,536	10,464	SILVA CELL	FLOW/VOLUME	314	619
4D	4D	39,025	31,514	7,512	32,265	BIO-RETENTION	FLOW/VOLUME	969	1,106
4E	4E	9,250	6,340	2,910	6,631	SILVA CELL	FLOW/VOLUME	199	314
4F	4F	13,218	11,604	1,615	11,765	SILVA CELL	FLOW/VOLUME	353	476
4G	4G	9,980	8,514	1,466	8,661	SILVA CELL	FLOW/VOLUME	260	397
5A	5A	18,719	14,971	3,748	15,346	FLOW-THROUGH PLANTER	FLOW/VOLUME	461	475
5B	5B	18,719	14,971	3,748	15,346	FLOW-THROUGH PLANTER	FLOW/VOLUME	461	475
5C	5C	25,336	22,777	2,559	23,033	FLOW-THROUGH PLANTER	FLOW/VOLUME	692	729
5D	5D	25,854	22,971	2,883	23,259	SILVA CELL	FLOW/VOLUME	699	938
5E	5E	17,099	14,066	3,033	14,369	SILVA CELL	FLOW/VOLUME	432	615
5F	5F	23,850	20,460	3,390	20,799	BIO-RETENTION	FLOW/VOLUME	744	854
5G	5G	4,439	-	4,439	444	SELF-TREATING	-	13	-
6A	6A	17,374	15,409	1,965	15,606	SILVA CELL	FLOW/VOLUME	469	696
6B	6B	23,530	19,053	4,477	19,500	FLOW-THROUGH PLANTER	FLOW/VOLUME	586	593
6C	6C	4,456	-	4,456	446	SELF-TREATING	-	13	-
6D	6D	30,730	26,842	3,887	27,231	SILVA CELL	FLOW/VOLUME	818	828
6E	6E	26,849	24,418	2,431	24,661	SILVA CELL	FLOW/VOLUME	741	1,162
5-6	5-6	1,572	1,337	235	1,361	SILVA CELL	FLOW/VOLUME	41	459
7A	7A	33,607	29,627	3,980	30,025	BIORETENTION PLANTER	FLOW/VOLUME	902	989
7B	7B	9,775	4,005	2,271	4,232	FLOW-THROUGH PLANTER	FLOW/VOLUME	127	332
7C	7C	9,813	7,050	2,763	7,326	FLOW-THROUGH PLANTER	FLOW/VOLUME	220	250
7D	7D	56,287	51,245	5,042	51,750	SILVA CELLS	FLOW/VOLUME	2,070	2,672
8A	8A	10,753	10,420	333	10,453	FLOW-THROUGH PLANTER	FLOW/VOLUME	314	333
8B	8B	10,525	10,192	333	10,226	FLOW-THROUGH PLANTER	FLOW/VOLUME	307	333
8C	8C	10,905	10,572	333	10,605	FLOW-THROUGH PLANTER	FLOW/VOLUME	319	333
8D	8D	11,203	10,870	333	10,904	FLOW-THROUGH PLANTER	FLOW/VOLUME	328	333
8E	8E	89,877	80,578	9,298	81,508	BIO-RETENTION	FLOW/VOLUME	2,449	2,964
8F	8F	11,226	9,721	1,506	9,871	SILVA CELL	FLOW/VOLUME	297	577
8G	-	3,156	-	3,156	316	SELF-TREATING	-	-	-
8H	-	8,267	-	8,267	827	SELF-TREATING	-	-	-



LEGEND

	DMA BOUNDARY
	PROPERTY LINE
	STORM DRAIN
	BIORETENTION PLANTER
	SILVA CELL
	FLOW-THROUGH PLANTER
	SELF TREATING

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 - Office
 Menlo Park, CA

SCALE:
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MILESTONES

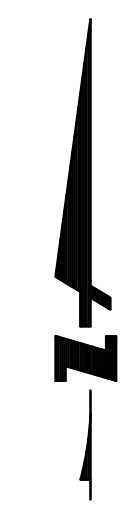
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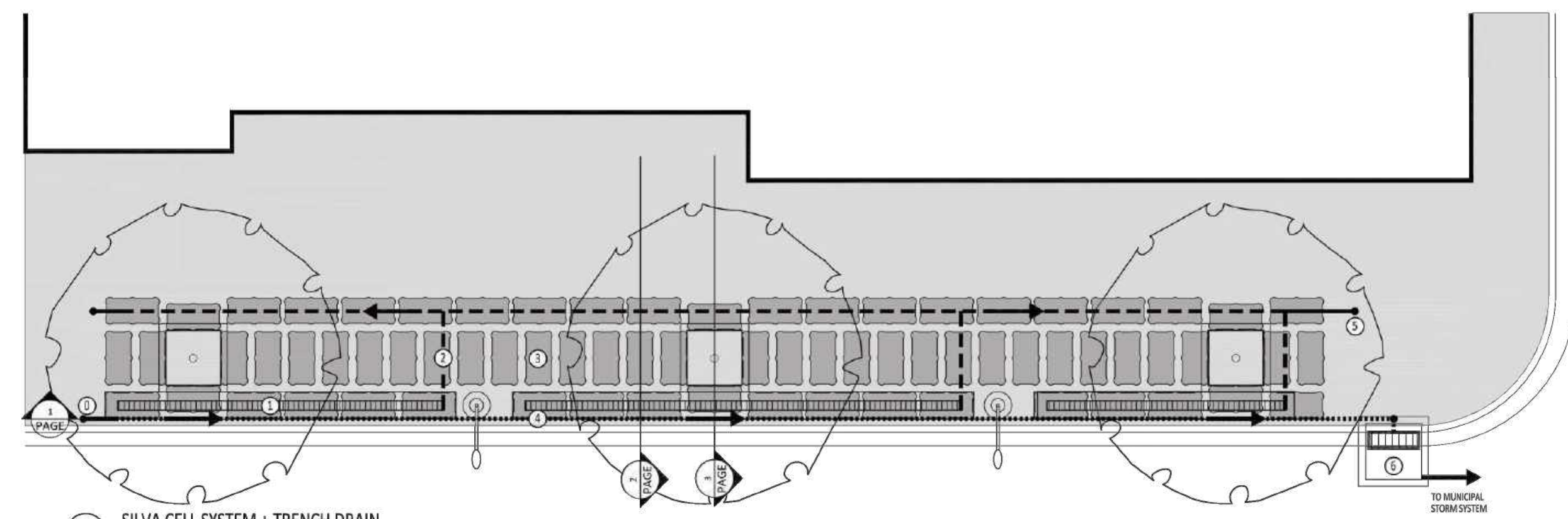
REVISIONS

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DRAWING TITLE:
**STORMWATER
 MANAGEMENT PLAN**

DRAWING NO:
C4.00



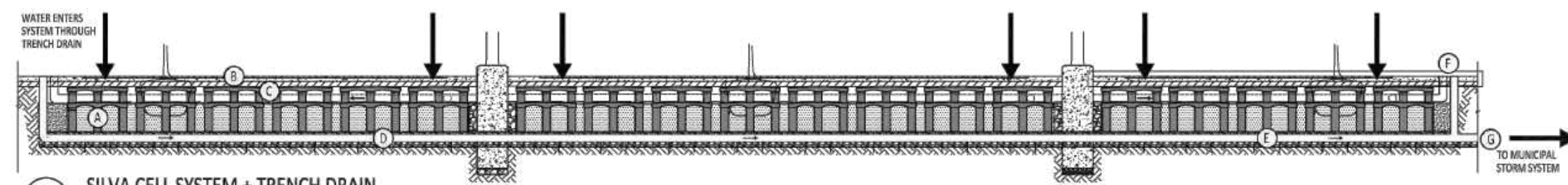


SILVA CELL SYSTEM + TRENCH DRAIN

NOT TO SCALE

KEY PLAN

- 0 PRETREATMENT, AS REQUIRED, BY OTHERS
- 1 STORMWATER ENTERS THE SILVA CELL SYSTEM THROUGH A TRENCH DRAIN SYSTEM
- 2 WATER IS DISTRIBUTED THROUGH THE SILVA CELL SYSTEM THROUGH PERFORATED PIPES
- 3 WATER MOVES THROUGH THE PLANTING SOIL HOUSED WITHIN THE SILVA CELL SYSTEM
- 4 EXCESS WATER IS COLLECTED IN A PERFORATED DRAIN PIPE AND IS DIRECTED TOWARD A DOWNSTREAM CATCH BASIN
- 5 CLEANOUT
- 6 WATER COLLECTED IN THE COLLECTION PIPE IS DIRECTED TO THE MUNICIPAL STORM SYSTEM



SILVA CELL SYSTEM + TRENCH DRAIN

NOT TO SCALE

KEY PLAN

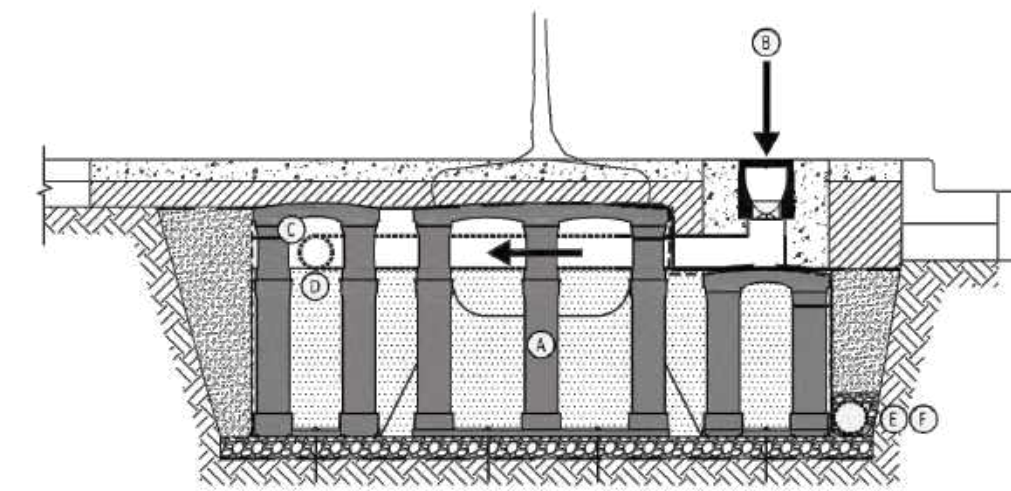
- A SILVA CELL SYSTEM (DECK, BASE, AND POSTS)
- B TRENCH DRAIN
- C OPTIONAL PONDING SPACE
- D DISTRIBUTION PIPE
- E COLLECTION PIPE
- F CLEANOUT
- G CONNECTION TO MUNICIPAL STORM SYSTEM

DIRECTION OF WATER FLOW

SILVA CELL SYSTEM

TRENCH DRAIN PAGE 1 OF 2

NOT TO SCALE - FEET
TRENCH DRAIN - 1 OF 2



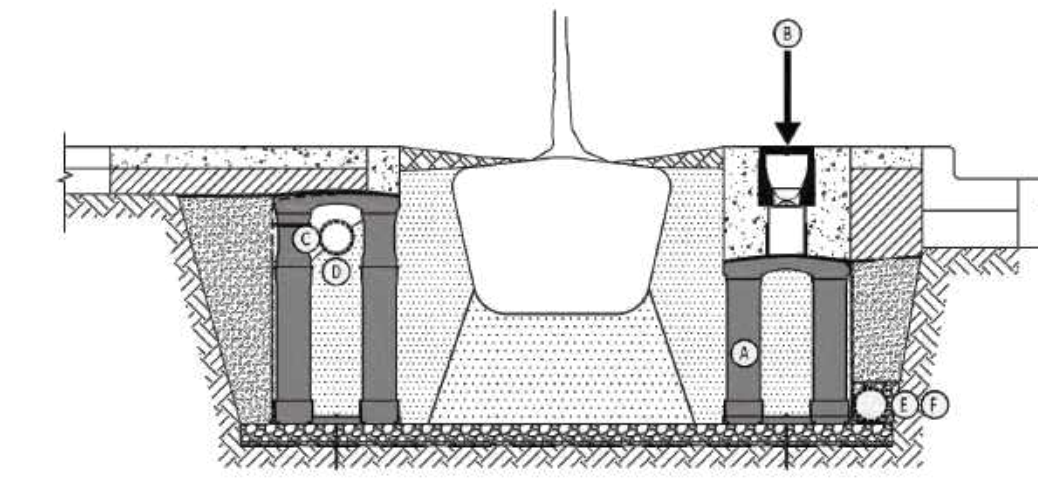
SILVA CELL SYSTEM + TRENCH DRAIN

NOT TO SCALE

KEY PLAN

- A SILVA CELL SYSTEM (DECK, BASE, AND POSTS)
- B TRENCH DRAIN
- C OPTIONAL PONDING SPACE
- D DISTRIBUTION PIPE
- E COLLECTION PIPE
- F CONNECTION TO MUNICIPAL STORM SYSTEM

DIRECTION OF WATER FLOW



SILVA CELL SYSTEM + TRENCH DRAIN

NOT TO SCALE

KEY PLAN

- A SILVA CELL SYSTEM (DECK, BASE, AND POSTS)
- B TRENCH DRAIN
- C OPTIONAL PONDING SPACE
- D DISTRIBUTION PIPE
- E COLLECTION PIPE
- F CONNECTION TO MUNICIPAL STORM SYSTEM

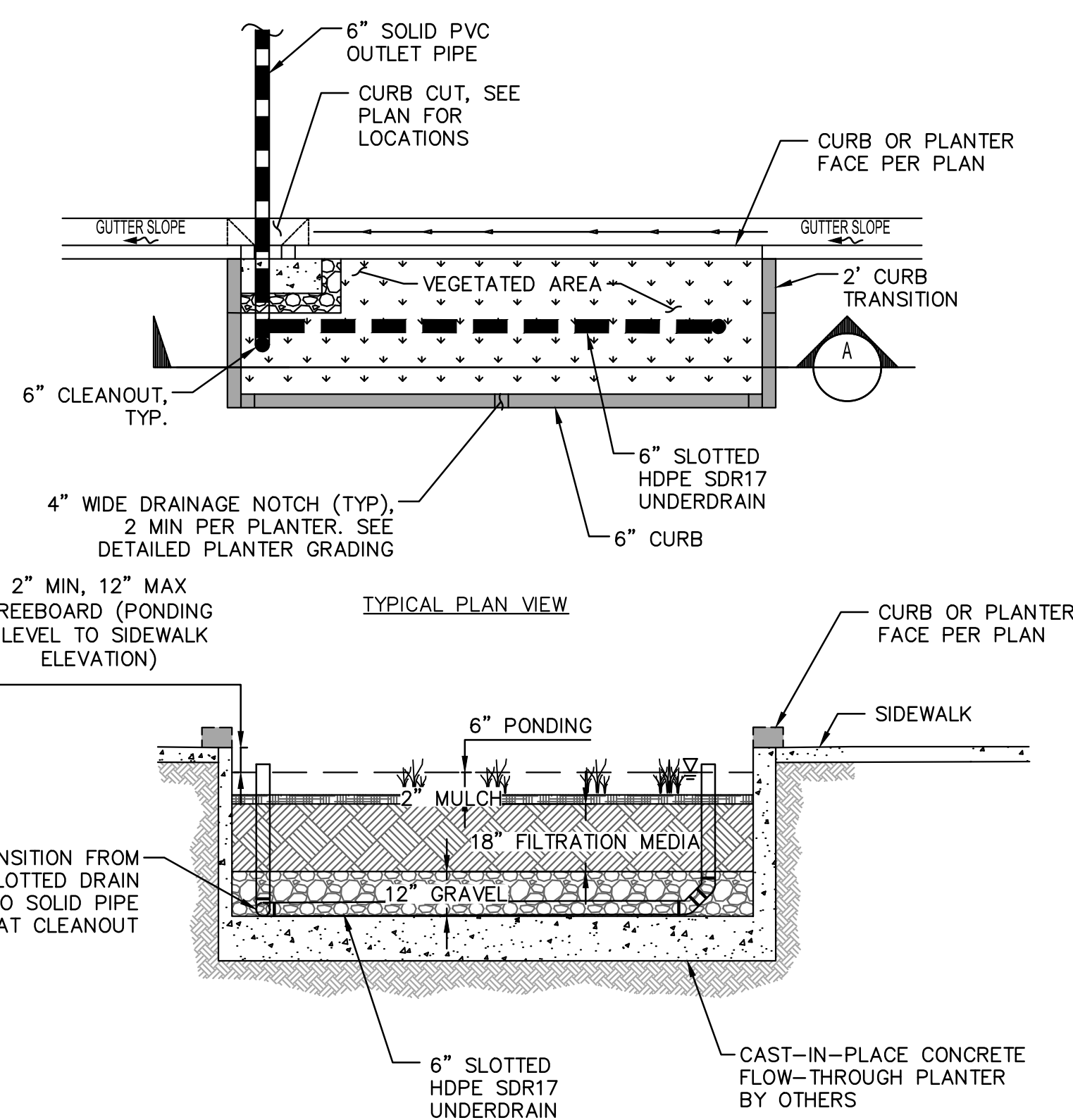
DIRECTION OF WATER FLOW

SILVA CELL SYSTEM

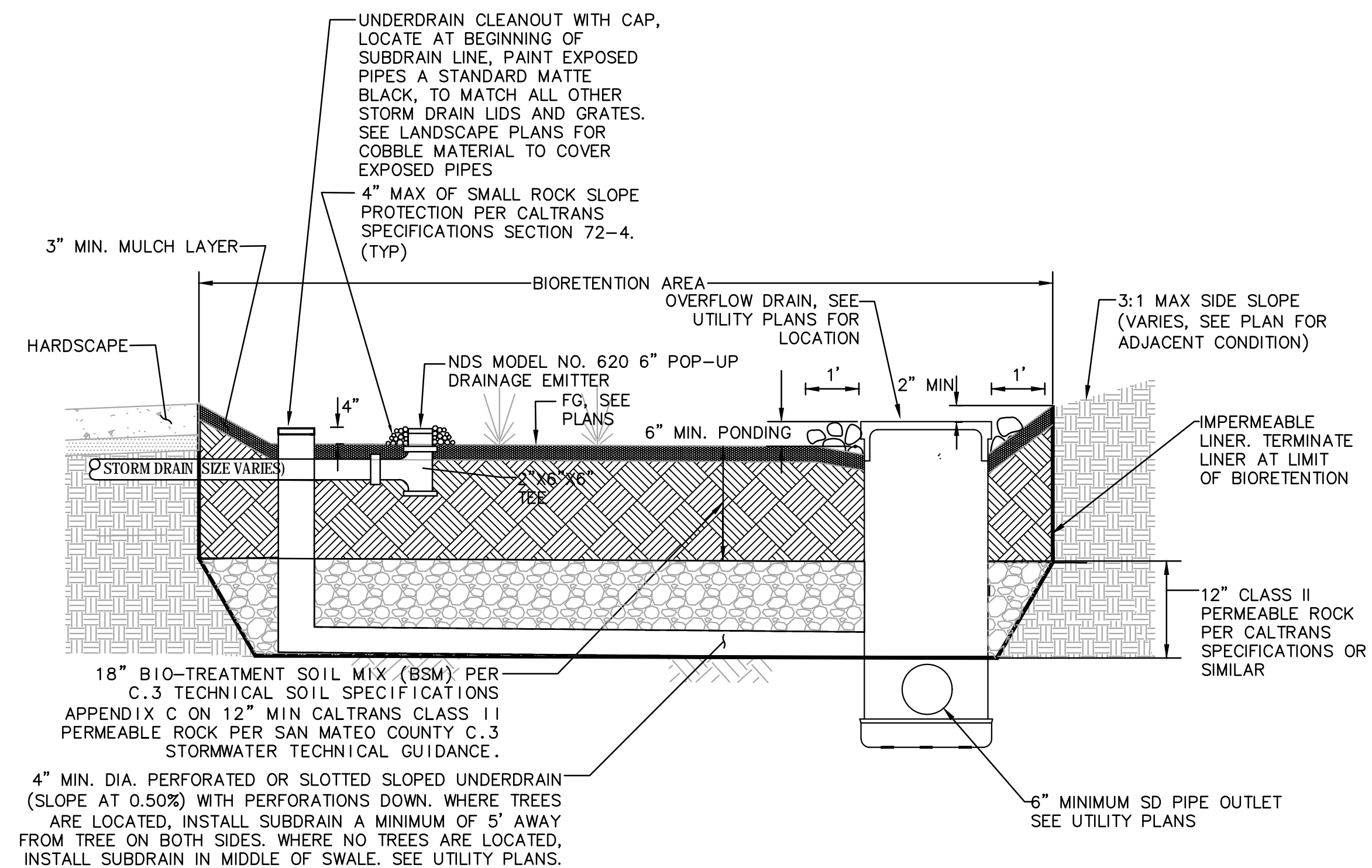
TRENCH DRAIN PAGE 2 OF 2

NOT TO SCALE - FEET
TRENCH DRAIN - 2 OF 2

1 SILVA CELL SYSTEM



2 FLOW THROUGH PLANTER



- NOTES:
- ALL BIORETENTION SOILS USED, SHALL BE PER C.3 TECHNICAL SOIL SPECIFICATIONS APPENDIX C ON 12" MIN CALTRANS CLASS II PERMEABLE ROCK PER SAN MATEO COUNTY C.3 STORMWATER TECHNICAL GUIDANCE.
 - PLACE COBBLE FLUSH WITH CHANNEL SURFACE AROUND ALL STRUCTURES WITHIN BIORETENTION AREA (OUTFALL, OVERFLOW DRAIN, SIGNS, LIGHT POSTS, IRRIGATION BOXES, ETC.).

3 BIORETENTION AREA

SCALE:
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**SOUTHERN PACIFIC TRANSPORTATION
COMPANY RAIL CORRIDOR**

NORTH LOOP RD

WILLOW TUNNEL
SEE SEPARATE PACKAGE

HOTEL SERVICE RD

STABILIZED
CONSTRUCTION
ENTRANCE

FIBER ROLLS, TYP
JOB SITE FENCE, TYP

MAIN ST

WEST ST

STABILIZED CONSTRUCTION
ENTRANCE (TO BE INSTALLED
ONCE SOILS ARE EXPOSED)

ADAMS CT

WILLOW RD

WEST ST

EAST LOOP RD

STABILIZED
CONSTRUCTION
ENTRANCE

CENTER ST

STABILIZED CONSTRUCTION
ENTRANCE (TO BE INSTALLED
ONCE SOILS ARE EXPOSED)

EAST ST

MAIN ST

STABILIZED
CONSTRUCTION
ENTRANCE

FIBER ROLLS, TYP
JOB SITE FENCE, TYP


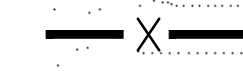
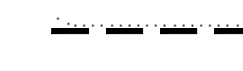

PARK ST

O'BRIEN DR

EROSION CONTROL NOTES:

1. CONTRACTORS TO INSPECT, MAINTAIN, REPLACE ALL BMP'S THROUGHOUT CONSTRUCTION.
2. CONTRACTOR TO ALTER AND ADD ADDITIONAL BMP'S AS JOB SITE CONDITIONS CHANGE.

LEGEND:

-  STABILIZED CONSTRUCTION ENTRANCE
-  JOB SITE FENCE
-  FIBER ROLLS
-  INLET SEDIMENT BARRIER



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
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Menlo Park, CA

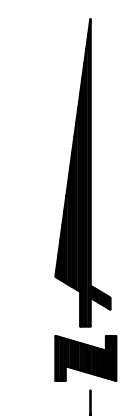
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DRAWING TITLE:
**EROSION CONTROL
PLAN**

DRAWING NO:
C5.00





WILLOW VILLAGE
 Architectural Control Package - Parcel 1 - Office
 Menlo Park, CA

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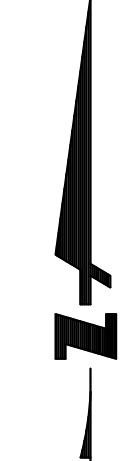
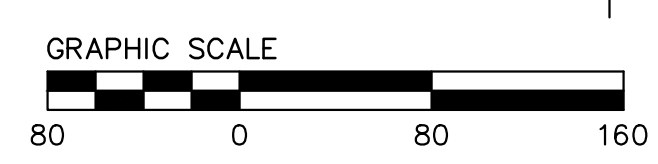
DRAWING TITLE:
FIRE ACCESS PLAN

DRAWING NO:
C6.00

PENINSULA INNOVATION PARTNERS

VALACAL COMPANY
 APN: 055-471-050

TARLTON PROPERTIES INC.
 APN: 055-472-0330



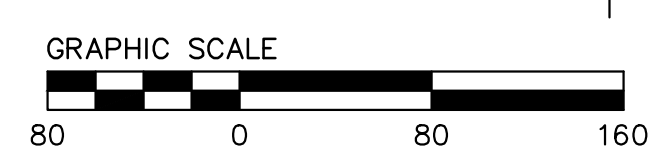


LEGEND

- FIRE ACCESS ROAD
- EMERGENCY VEHICLE ACCESS EASEMENT (EVAE)
- FIRE HOSE LENGTH FROM FIRE ACCESS
- 30 FT OFFSET OF FIRE LANE
- FIRE HYDRANT (PUBLIC)
- FIRE HYDRANT (PRIVATE)
- 150' RADIUS AROUND FH
- PROPERTY LINE

NOTES

1. THE ROADWAY SECTION WILL COMPLY WITH MENLO PARK FIRE DISTRICT STANDARD SECTION 101.6 REQUIREMENT FOR THE IMPOSED LOAD OF A FIRE APPARATUS WEIGHING AT LEAST 75,000 LBS.



WILLOW VILLAGE
 Architectural Control Package - Parcel 1 - Office
 Menlo Park, CA

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DRAWING TITLE:
FIRE HYDRANT PLAN

DRAWING NO:
C6.01

PENINSULA INNOVATION PARTNERS



SHEET INDEX

- L0.00 LANDSCAPE ORIENTATION PLAN

- L1.100 BUILDING 01 - LVL 01 LANDSCAPE PLAN
- L1.200 BUILDING 02 - LVL 01 LANDSCAPE PLAN
- L1.300 BUILDING 03 - LVL 01 LANDSCAPE PLAN
- L1.400 BUILDING 04 - LVL 01 LANDSCAPE PLAN
- L1.500 BUILDING 05 - LVL 01 LANDSCAPE PLAN
- L1.600 BUILDING 06 - LVL 01 LANDSCAPE PLAN
- L1.700 SOUTH GARAGE - LVL 01 LANDSCAPE PLAN
- L1.800 NORTH GARAGE - LVL 01 LANDSCAPE PLAN

- L2.000 PLAN ENLARGEMENTS
- L2.100 PLAN ENLARGEMENTS

- L3.000 PERSPECTIVE RENDERINGS
- L3.100 SECTIONS

- L4.000 OVERALL IRRIGATION DIAGRAM

HERITAGE TREE REPLACEMENT (QUALIFIED TREES ONLY)

Botanical Name	Common Name	Quantity	Unit Size	Unit Value	Value
LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE'	SLENDER SILHOUETTE SWEET GUM	0	24" box	\$ 400	\$ -
LOPHOSTEMON CONFERTUS	BRISBANE BOX	16	36" box	\$ 1,200	\$ 19,200
TILIA TOMENTOSA	SILVER LINDEN	51	48" box	\$ 5,000	\$ 255,000
PISTACIA ATLANTICA X INTEGERRIMA	RED PLUSH PISTACHE	4	48" box	\$ 5,000	\$ 20,000
PLATANUS X ACERIFOLIA 'MORTON CIRCLE' TM	EXCLAMATION! LONDON PLANE TREE	70	48" box	\$ 5,000	\$ 350,000
TIPUJANA	TIPU TREE	20	48" box	\$ 5,000	\$ 100,000
ARBUTUS X 'MARINA'	MARINA STRAWBERRY TREE	34	48" box	\$ 5,000	\$ 170,000
ULMUS PROPINQUA 'JFS-BIEBERICH' TM	EMERALD SUNSHINE ELM	6	48" box	\$ 5,000	\$ 30,000
TILIA TOMENTOSA	SILVER LINDEN	24	48" box	\$ 5,000	\$ 120,000
QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	22	60" box	\$ 7,000	\$ 154,000
ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE SAWLEAF ZELKOVA	16	60" box	\$ 7,000	\$ 112,000
QUERCUS FRAINETTO 'FOREST GREEN'	FOREST GREEN OAK	20	60" box	\$ 7,000	\$ 140,000
CUPRESSUS MACROCARPA	MONTEREY CYPRESS	11	60" box	\$ 7,000	\$ 77,000
QUERCUS RUGOSA	NETLEAF OAK	17	60" box	\$ 7,000	\$ 119,000
QUERCUS X BIMUNDORUM 'JFS-KW1QX' TM / TIPUJANA	STREETSPHERE OAK	15	60" box	\$ 7,000	\$ 105,000
ULMUS PROPINQUA 'JFS-BIEBERICH' TM	EMERALD SUNSHINE ELM	33	60" box	\$ 7,000	\$ 231,000
PLATANUS X ACERIFOLIA 'MORTON CIRCLE' TM	EXCLAMATION! LONDON PLANE TREE	25	72" box	\$ 10,000	\$ 250,000
ARBUTUS X 'MARINA'	MARINA STRAWBERRY TREE	6	72" box	\$ 10,000	\$ 60,000
QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	5	72" box	\$ 10,000	\$ 50,000
QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	10	72" box	\$ 10,000	\$ 100,000
		20	72" box	\$ 10,000	\$ 200,000
		5	84" box	\$ 12,000	\$ 60,000
		0	120" box	\$ 20,000	\$ -
		430			\$ 2,722,200

PENINSULA INNOVATION PARTNERS
WILLOW VILLAGE
 Entitlement Package - Parcel 1 (Portion), & 8
 Menlo Park, CA

SCALE: As indicated
NOTE: THIS DRAWING IS 2D A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO	DATE	ISSUE

DRAWING TITLE
LANDSCAPE ORIENTATION PLAN

DRAWING NO.
L0.000

LEGEND

- PP1 POUR-IN-PLACE CONCRETE PAVING (ON GRADE)
- PP2 CONCRETE UNIT PAVER (ON GRADE)
- VP1 POUR-IN-PLACE CONCRETE PAVING (EVA LANE)
- VP2 CONCRETE UNIT PAVER (EVA LANE)
- ST1 STONE PAVING
- WD1 WOOD DECK
- BO1 FIXED BIKE RACK
- BO2 STRIPED BIKE PARKING
- FB1 FIXED BENCH TYPE 1
- FB2 FIXED BENCH TYPE 2
- FB3 FIXED BENCH TYPE 3
- FE1 FENCE

T1 TREE SPECIES

- T1 *Tilia tomentosa*
- T2 *Tipuana*
- T3 **Platanus 'Exclamation'*
- T4 **Arbutus x marina*
- T5 *Quercus 'Street Spire' (fastigate)*
- T6 *Pistacia atlantica x integerrima*
- T7 *Brisbane Box, Lophostemon confertus*
- T8 *Quercus virginiana*
- T9 *Quercus frainetto 'Forest Green'*
- T10 *Ulmus propinqua 'Emerald Sunshine'*
- T11 *Liquidambar 'Slender Silhouette'*
- T12 *Zelkova serrata 'Green Vase'*

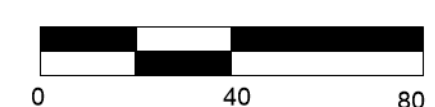
P01 ORNAMENTAL PLANTING SPECIES

- *Salvia clevelandii* spp.
- *Ceanothus* spp.
- Olea 'Little Ollie'*
- Nepeta faassenii* Six Hills Giant'
- Miscanthus* spp.
- Westringia fruticosa* Wynyabbie Gem'
- *Baccharis pilularis* Twin Peaks'
- *Achillea millefolium*
- *Salvia* spp.
- *Rhamnus californica*
- Cistus* spp.
- *Arctostaphylos* spp.
- *Coreopsis* spp.
- *Carex* spp.
- *Sedum* spp.
- Nepeta* spp.
- *Verbena* spp.
- *Agave* spp.

P02 BIO-RETENTION PLANTING SPECIES

- *Achillea millefolium* spp.
- *Myrica californica*
- *Cornus* spp.
- Chondropetalum tectorum*
- *Bouteloua gracilis*
- *Sambucus racemosa*
- *Rosa californica*

* denotes California Native





1 BUILDING 02 - LVL 01 LANDSCAPE PLAN
 L1.200 0'-1" = 20'-0"

LEGEND

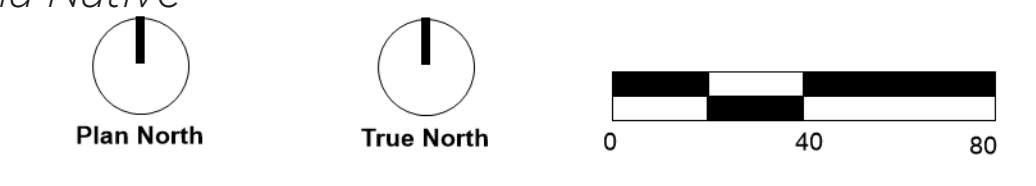
- PP1 POUR-IN-PLACE CONCRETE PAVING (ON GRADE)
- PP2 CONCRETE UNIT PAVER (ON GRADE)
- VP1 POUR-IN-PLACE CONCRETE PAVING (EVA LANE)
- VP2 CONCRETE UNIT PAVER (EVA LANE)
- ST1 STONE PAVING
- WD1 WOOD DECK
- BO1 FIXED BIKE RACK
- BO2 STRIPED BIKE PARKING
- FB1 FIXED BENCH TYPE 1
- FB2 FIXED BENCH TYPE 2
- FB3 FIXED BENCH TYPE 3
- FE1 FENCE

- T1 TREE SPECIES**
- T1 *Tilia tomentosa*
 - T2 *Tipuana*
 - T3 **Platanus 'Exclamation'*
 - T4 **Arbutus x marina*
 - T5 *Quercus 'Street Spire' (fastigate)*
 - T6 *Pistacia atlantica x integerrima*
 - T7 *Brisbane Box, Lophostemon confertus*
 - T8 *Quercus virginiana*
 - T9 *Quercus frainetto 'Forest Green'*
 - T10 *Ulmus propinqua 'Emerald Sunshine'*
 - T11 *Liquidambar 'Slender Silhouette'*
 - T12 *Zelkova serrata 'Green Vase'*

- P01 ORNAMENTAL PLANTING SPECIES**
- *Salvia clevelandii spp.*
 - *Ceanothus spp.*
 - Olea 'Little Ollie'*
 - Nepeta faassenii Six Hills Giant'*
 - Miscanthus spp.*
 - Westringia fruticosa Wynyabbie Gem'*
 - *Baccharis pilularis Twin Peaks'*
 - *Achillea millefolium*
 - *Salvia spp.*
 - *Rhamnus californica*
 - Cistus spp.*
 - *Arctostaphylos spp.*
 - *Coreopsis spp.*
 - *Carex spp.*
 - *Sedum spp.*
 - Nepeta spp.*
 - *Verbena spp.*
 - *Agave spp.*

- P02 BIO-RETENTION PLANTING SPECIES**
- *Achillea millefolium spp.*
 - *Myrica californica*
 - *Cornus spp.*
 - Chondropetalum tectorum*
 - *Bouteloua gracilis*
 - *Sambucus racemosa*
 - *Rosa californica*

* denotes California Native



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MILESTONES

DATE	ISSUE
02/17/2023	ACP

REVISIONS

NO.	DATE	ISSUE



1 BUILDING 03 - LVL 01 LANDSCAPE PLAN
 L1.300 0'-1" = 20'-0"

LEGEND

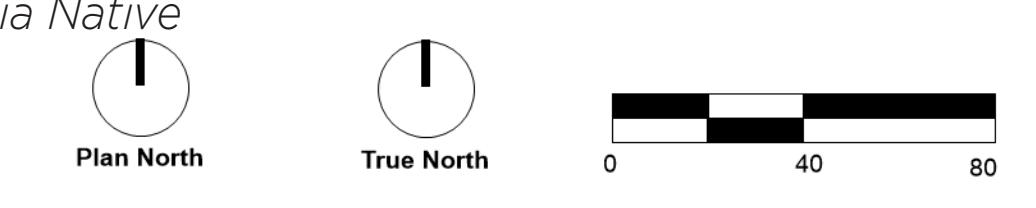
- PP1 POUR-IN-PLACE CONCRETE PAVING (ON GRADE)
- PP2 CONCRETE UNIT PAVER (ON GRADE)
- VP1 POUR-IN-PLACE CONCRETE PAVING (EVA LANE)
- VP2 CONCRETE UNIT PAVER (EVA LANE)
- ST1 STONE PAVING
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- BO1 FIXED BIKE RACK
- BO2 STRIPED BIKE PARKING
- FB1 FIXED BENCH TYPE 1
- FB2 FIXED BENCH TYPE 2
- FB3 FIXED BENCH TYPE 3
- FE1 FENCE

- T1 TREE SPECIES
- T1 *Tilia tomentosa*
 - T2 *Tipuana*
 - T3 **Platanus 'Exclamation'*
 - T4 **Arbutus x marina*
 - T5 *Quercus 'Street Spire' (fastigate)*
 - T6 *Pistacia atlantica x integerrima*
 - T7 *Brisbane Box, Lophostemon confertus*
 - T8 *Quercus virginiana*
 - T9 *Quercus frainetto 'Forest Green'*
 - T10 *Ulmus propinqua 'Emerald Sunshine'*
 - T11 *Liquidambar 'Slender Silhouette'*
 - T12 *Zelkova serrata 'Green Vase'*
- P01 ORNAMENTAL PLANTING SPECIES

- *Salvia clevelandii spp.*
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- Olea 'Little Ollie'*
- Nepeta faassenii Six Hills Giant'*
- Miscanthus spp.*
- Westringia fruticosa Wynyabbie Gem'*
- *Baccharis pilularis Twin Peaks'*
- *Achillea millefolium*
- *Salvia spp.*
- *Rhamnus californica*
- Cistus spp.*
- *Arctostaphylos spp.*
- *Coreopsis spp.*
- *Carex spp.*
- *Sedum spp.*
- Nepeta spp.*
- *Verbena spp.*
- *Agave spp.*

- P02 BIO-RETENTION PLANTING SPECIES
- *Achillea millefolium spp.*
 - *Myrica californica*
 - *Cornus spp.*
 - Chondropetalum tectorum*
 - *Bouteloua gracilis*
 - *Sambucus racemosa*
 - *Rosa californica*

* denotes California Native



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MILESTONES	
DATE	ISSUE
02/17/2023	ACP

REVISIONS		
NO.	DATE	ISSUE



LEGEND

- PP1 POUR-IN-PLACE CONCRETE PAVING (ON GRADE)
- PP2 CONCRETE UNIT PAVER (ON GRADE)
- VP1 POUR-IN-PLACE CONCRETE PAVING (EVA LANE)
- VP2 CONCRETE UNIT PAVER (EVA LANE)
- ST1 STONE PAVING
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- BO1 FIXED BIKE RACK
- BO2 STRIPED BIKE PARKING
- FB1 FIXED BENCH TYPE 1
- FB2 FIXED BENCH TYPE 2
- FB3 FIXED BENCH TYPE 3
- FE1 FENCE

T1 TREE SPECIES

- T1 *Tilia tomentosa*
- T2 *Tipuana*
- T3 **Platanus 'Exclamation'*
- T4 **Arbutus x marina*
- T5 *Quercus 'Street Spire' (fastigate)*
- T6 *Pistacia atlantica x integerrima*
- T7 *Brisbane Box, Lophostemon confertus*
- T8 *Quercus virginiana*
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- T10 *Ulmus propinqua 'Emerald Sunshine'*
- T11 *Liquidambar 'Slender Silhouette'*
- T12 *Zelkova serrata 'Green Vase'*

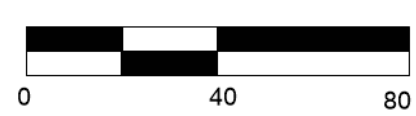
PO1 ORNAMENTAL PLANTING SPECIES

- *Salvia clevelandii spp.*
- *Ceanothus spp.*
- Olea 'Little Ollie'*
- Nepeta faassenii Six Hills Giant'*
- Miscanthus spp.*
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- *Baccharis pilularis Twin Peaks'*
- *Achillea millefolium*
- *Salvia spp.*
- *Rhamnus californica*
- Cistus spp.*
- *Arctostaphylos spp.*
- *Coreopsis spp.*
- *Carex spp.*
- *Sedum spp.*
- Nepeta spp.*
- *Verbena spp.*
- *Agave spp.*

PO2 BIO-RETENTION PLANTING SPECIES

- *Achillea millefolium spp.*
- *Myrica californica*
- *Cornus spp.*
- Chondropetalum tectorum*
- *Bouteloua gracilis*
- *Sambucus racemosa*
- *Rosa californica*

* denotes California Native



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Entitlement Package - Parcel 1 (Portion), & 8
Menlo Park, CA

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MILESTONES	
DATE	ISSUE
02/17/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
BUILDING 04
LVL 01
LANDSCAPE PLAN

DRAWING NO:
L1.400

LEGEND

- PP1 POUR-IN-PLACE CONCRETE PAVING (ON GRADE)
- PP2 CONCRETE UNIT PAVER (ON GRADE)
- VP1 POUR-IN-PLACE CONCRETE PAVING (EVA LANE)
- VP2 CONCRETE UNIT PAVER (EVA LANE)
- ST1 STONE PAVING
- WD1 WOOD DECK
- BO1 FIXED BIKE RACK
- BO2 STRIPED BIKE PARKING
- FB1 FIXED BENCH TYPE 1
- FB2 FIXED BENCH TYPE 2
- FB3 FIXED BENCH TYPE 3
- FE1 FENCE

T1 TREE SPECIES

- T1 *Tilia tomentosa*
- T2 *Tipuana*
- T3 **Platanus 'Exclamation'*
- T4 **Arbutus x marina*
- T5 *Quercus 'Street Spire' (fastigate)*
- T6 *Pistacia atlantica x integerrima*
- T7 *Brisbane Box, Lophostemon confertus*
- T8 *Quercus virginiana*
- T9 *Quercus frainetto 'Forest Green'*
- T10 *Ulmus propinqua 'Emerald Sunshine'*
- T11 *Liquidambar 'Slender Silhouette'*
- T12 *Zelkova serrata 'Green Vase'*

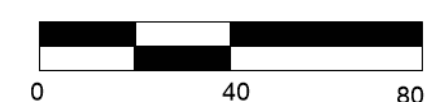
P01 ORNAMENTAL PLANTING SPECIES

- *Salvia clevelandii* spp.
- *Ceanothus* spp.
- Olea 'Little Ollie'*
- Nepeta faassenii Six Hills Giant'*
- Miscanthus* spp.
- Westringia fruticosa Wynyabbie Gem'*
- *Baccharis pilularis Twin Peaks'*
- *Achillea millefolium*
- *Salvia* spp.
- *Rhamnus californica*
- Cistus* spp.
- *Arctostaphylos* spp.
- *Coreopsis* spp.
- *Carex* spp.
- *Sedum* spp.
- Nepeta* spp.
- *Verbena* spp.
- *Agave* spp.

P02 BIO-RETENTION PLANTING SPECIES

- *Achillea millefolium* spp.
- *Myrica californica*
- *Cornus* spp.
- Chondropetalum tectorum*
- *Bouteloua gracilis*
- *Sambucus racemosa*
- *Rosa californica*

* denotes California Native





LEGEND

- PP1 POUR-IN-PLACE CONCRETE PAVING (ON GRADE)
- PP2 CONCRETE UNIT PAVER (ON GRADE)
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- T1 *Tilia tomentosa*
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- *Sedum* spp.
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- *Verbena* spp.
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P02 BIO-RETENTION PLANTING SPECIES

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- *Cornus* spp.
- Chondropetalum tectorum*
- *Bouteloua gracilis*
- *Sambucus racemosa*
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MILESTONES	
DATE	ISSUE
02/17/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

LEGEND

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- *Coreopsis* spp.
- *Carex* spp.
- *Sedum* spp.
- Nepeta* spp.
- *Verbena* spp.
- *Agave* spp.

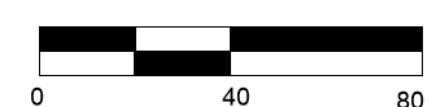
P03 VINE SPECIES

- Stephanotis floribunda* - Madagascar Jasmine
- Pandorea jasminoides 'Alba'* - White Bower Vine
- Trachelospermum Jasminoides* - Chinese Star Jasmine

P02 BIO-RETENTION PLANTING SPECIES

- *Achillea millefolium* spp.
- *Myrica californica*
- *Cornus* spp.
- Chondropetalum tectorum*
- *Bouteloua gracilis*
- *Sambucus racemosa*
- *Rosa californica*

* denotes California Native



LEGEND

- PP1 POUR-IN-PLACE CONCRETE PAVING (ON GRADE)
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- FE1 FENCE

T1 TREE SPECIES

- T1 *Tilia tomentosa*
- T2 *Tipuana*
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- T11 *Liquidambar 'Slender Silhouette'*
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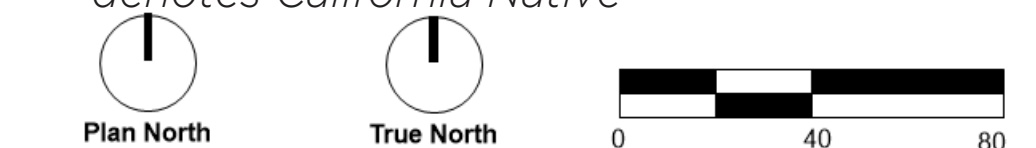
P01 ORNAMENTAL PLANTING SPECIES

- **Salvia clevelandii* spp.
- **Ceanothus* spp.
- Olea 'Little Ollie'*
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- Miscanthus* spp.
- Westringia fruticosa* Wynyabbie Gem'
- **Baccharis pilularis* Twin Peaks'
- **Achillea millefolium*
- **Salvia* spp.
- **Rhamnus californica*
- Cistus* spp.
- **Arctostaphylos* spp.
- **Coreopsis* spp.
- **Carex* spp.
- **Sedum* spp.
- Nepeta* spp.
- **Verbena* spp.
- **Agave* spp.

P02 BIO-RETENTION PLANTING SPECIES

- **Achillea millefolium* spp.
- **Myrica californica*
- **Cornus* spp.
- Chondropetalum tectorum*
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- **Sambucus racemosa*
- **Rosa californica*

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P03 VINE SPECIES

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PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Entitlement Package - Parcel 1 (Portion), & 8
Menlo Park, CA

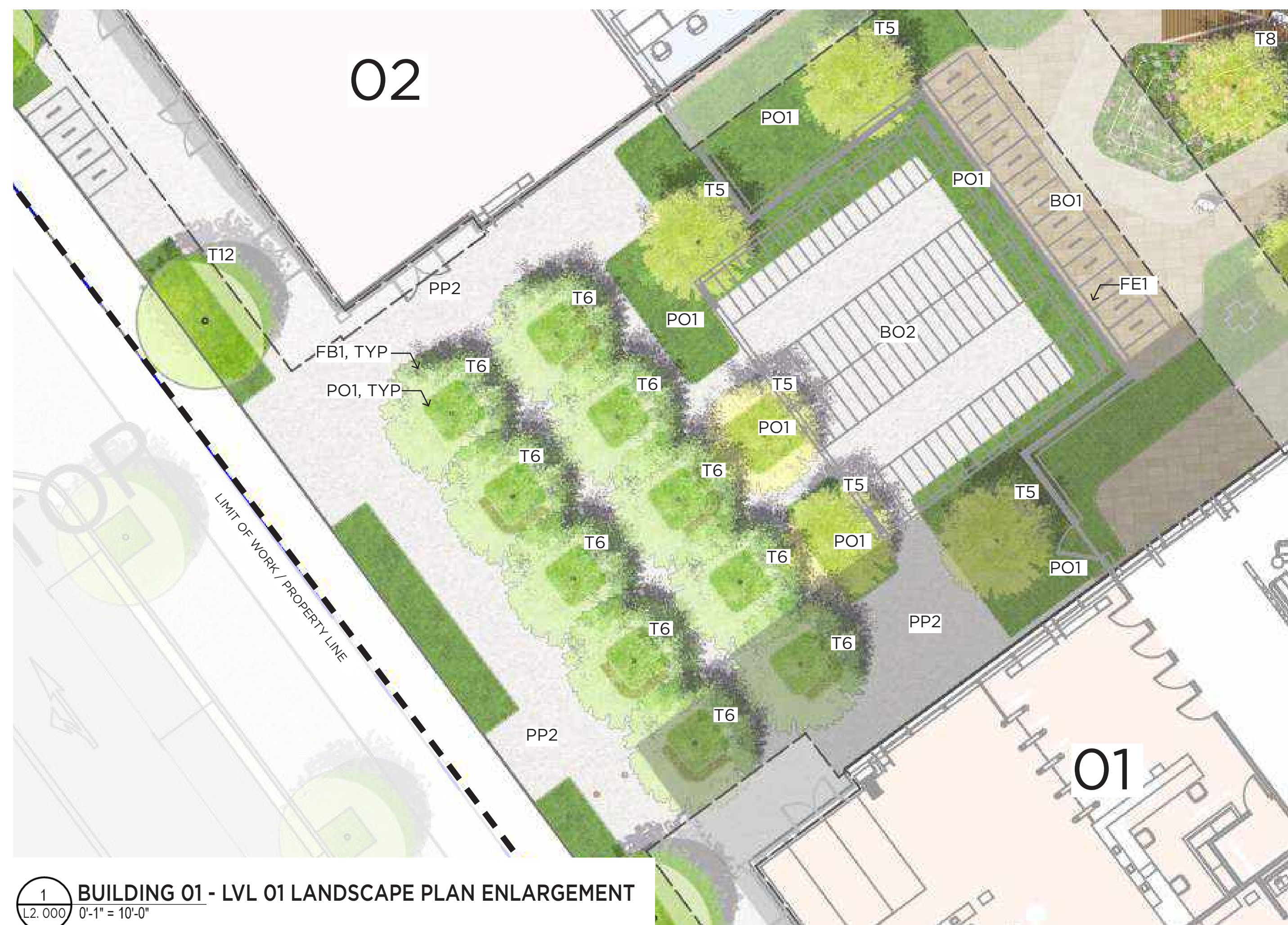
SCALE: As indicated
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MILESTONES	
DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO	DATE	ISSUE

DRAWING TITLE
NORTH GARAGE
LVL 01
LANDSCAPE PLAN

DRAWING NO.
L1.800



1 BUILDING 01 - LVL 01 LANDSCAPE PLAN ENLARGEMENT
L2.000 0'-1" = 10'-0"



2 BUILDING 02 - LVL 01 LANDSCAPE PLAN ENLARGEMENT
L2.000 0'-1" = 10'-0"

LEGEND

- PP1 POUR-IN-PLACE CONCRETE PAVING (ON GRADE)
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- FE1 FENCE

T1 TREE SPECIES

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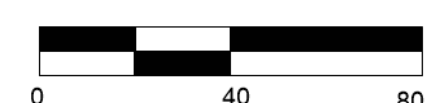
PO1 ORNAMENTAL PLANTING SPECIES

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- Miscanthus* spp.
- Westringia fruticosa* Wynyabbie Gem'
- **Baccharis pilularis* Twin Peaks'
- **Achillea millefolium*
- **Salvia* spp.
- **Rhamnus californica*
- Cistus* spp.
- **Arctostaphylos* spp.
- **Coreopsis* spp.
- **Carex* spp.
- **Sedum* spp.
- Nepeta* spp.
- **Verbena* spp.
- **Agave* spp.

PO2 BIO-RETENTION PLANTING SPECIES

- **Achillea millefolium* spp.
- **Myrica californica*
- **Cornus* spp.
- Chondropetalum tectorum*
- **Bouteloua gracilis*
- **Sambucus racemosa*
- **Rosa californica*

* denotes California Native



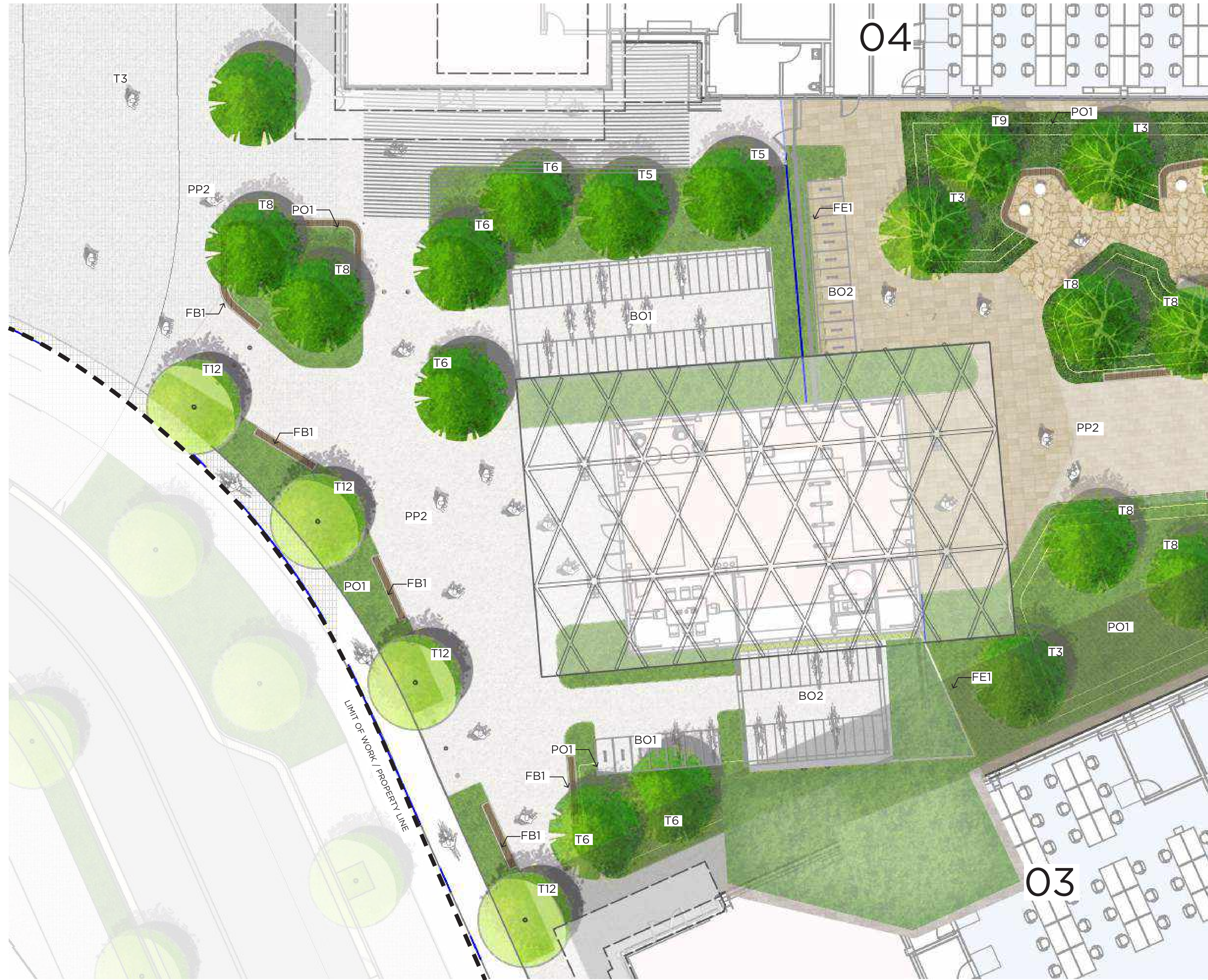
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NOTE: THIS DRAWING IS 2D AND DOES NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. ON SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES

DATE	ISSUE
02/17/2023	ACP

REVISIONS

NO.	DATE	ISSUE



1 BUILDING 03 - LVL 01 LANDSCAPE PLAN ENLARGEMENT
 L2.100 0'-1" = 10'-0"

LEGEND

- PP1 POUR-IN-PLACE CONCRETE PAVING (ON GRADE)
- PP2 CONCRETE UNIT PAVER (ON GRADE)
- VP1 POUR-IN-PLACE CONCRETE PAVING (EVA LANE)
- VP2 CONCRETE UNIT PAVER (EVA LANE)
- ST1 STONE PAVING
- WD1 WOOD DECK
- BO1 FIXED BIKE RACK
- BO2 STRIPED BIKE PARKING
- FB1 FIXED BENCH TYPE 1
- FB2 FIXED BENCH TYPE 2
- FB3 FIXED BENCH TYPE 3
- FE1 FENCE

T1 TREE SPECIES

- T1 *Tilia tomentosa*
- T2 *Tipuana*
- T3 **Platanus 'Exclamation'*
- T4 **Arbutus x marina*
- T5 *Quercus 'Street Spire' (fastigate)*
- T6 *Pistacia atlantica x integerrima*
- T7 *Brisbane Box, Lophostemon confertus*
- T8 *Quercus virginiana*
- T9 *Quercus frainetto 'Forest Green'*
- T10 *Ulmus propinqua 'Emerald Sunshine'*
- T11 *Liquidambar 'Slender Silhouette'*
- T12 *Zelkova serrata 'Green Vase'*

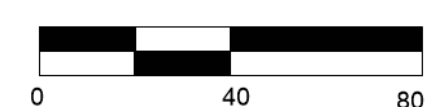
P01 ORNAMENTAL PLANTING SPECIES

- *Salvia clevelandii spp.*
- *Ceanothus spp.*
- Olea 'Little Ollie'*
- Nepeta faassenii Six Hills Giant'*
- Miscanthus spp.*
- Westringia fruticosa Wynyabbie Gem'*
- *Baccharis pilularis Twin Peaks'*
- *Achillea millefolium*
- *Salvia spp.*
- *Rhamnus californica*
- Cistus spp.*
- *Arctostaphylos spp.*
- *Coreopsis spp.*
- *Carex spp.*
- *Sedum spp.*
- Nepeta spp.*
- *Verbena spp.*
- *Agave spp.*

P02 BIO-RETENTION PLANTING SPECIES

- *Achillea millefolium spp.*
- *Myrica californica*
- *Cornus spp.*
- Chondropetalum tectorum*
- *Bouteloua gracilis*
- *Sambucus racemosa*
- *Rosa californica*

* denotes California Native



SCALE: As indicated
NOTE: THIS DRAWING IS 2D AND DOES NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. ON SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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DATE	ISSUE
02/17/2023	ACP

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NO.	DATE	ISSUE



1 BUILDING 01 - LVL 01 LANDSCAPE PERSPECTIVE RENDERING
L3,000



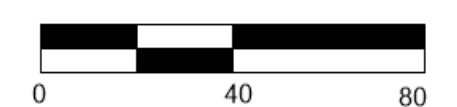
2 BUILDING 01 - LVL 01 LANDSCAPE PERSPECTIVE RENDERING
L3,000



3 BUILDING 01 - LVL 01 LANDSCAPE PERSPECTIVE RENDERING
L3,000



4 BUILDING 01 - LVL 01 LANDSCAPE PERSPECTIVE RENDERING
L3,000



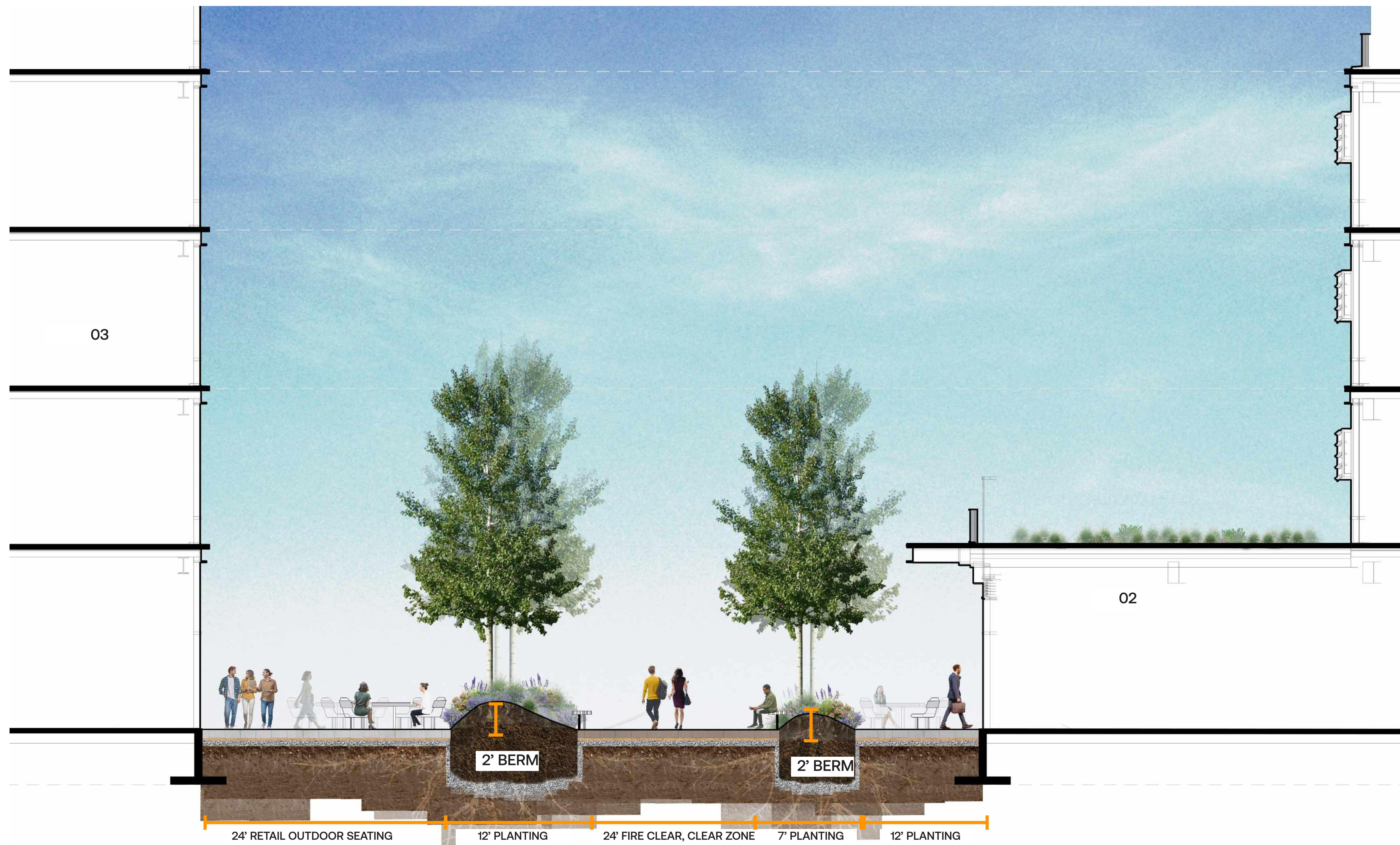
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03

02

2' BERM

2' BERM

24' RETAIL OUTDOOR SEATING AND DINING

12' PLANTING

24' FIRE CLEAR, CLEAR ZONE

7' PLANTING

12' PLANTING

1
L3.100 BUILDING 02 - LVL 01 LANDSCAPE PLAN SECTION



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Entitlement Package - Parcel 1 (Portion), & 8
Menlo Park, CA

SCALE: As indicated
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. OR SEE CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO	DATE	ISSUE

DRAWING TITLE
SECTIONS

DRAWING NO.
L3.100



WATER USAGE LEGEND (WUCOLS)

- LOW - 90,900 SF
- MEDIUM - 34,136 SF
- HIGH - 0 SF

MILESTONES

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03/10/2023	ACP

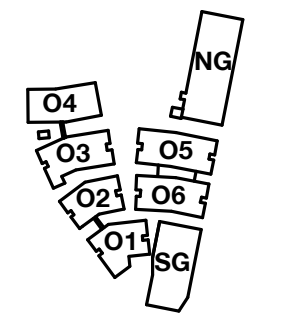
REVISIONS

NO	DATE	ISSUE



LEED NC v4 SCORECARD

WILLOW VILLAGE OFFICE CAMPUS BLDGS 01-06



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 (Portion)
Menlo Park, CA

SCALE:
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE REQUIRED DIMENSIONS ONLY. OR SEE CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
LEED Checklist

DRAWING NO:
S1.00

2/15/2023 7:42:06 PM

IP	YES	LIKELY	MAYBE	NO	Phase	Credit Name	Points Available
1					D	Integrative Process - In design phases, achieve synergies between building, energy AND water related systems	1
1						Totals	1
LOCATION & TRANSPORTATION							
1					D	LEED for Neighborhood Development Location - Locate within LEED ND certified development site boundary	16
1					D	Sensitive Land Protection - Develop on previously developed land or follow criteria for non-sensitive	1
2					D	High Priority Site - Locate project on infill location in historic district, priority designation or brownfield	2
4					D	Surrounding Density & Diverse Uses - Site within 1/4 mile of surrounding density criteria and/or a 1/2 mile of diverse uses	5
5					D	Access to Quality Transit - Locate functional entries within 1/4 mile of existing transit or 1/2 mile of planned transit services	5
1					D	Bicycle Facilities - Provide a bike network and storage areas	1
1					D	Reduced Parking Footprint - Don't exceed minimum local code requirements for parking capacity	1
1					D	LEED v4.1: Electric Vehicles - 5% of spaces or 20% discount for parking and electric car charging OR liquid, gas or battery facilities	1
7						Totals	16
SUSTAINABLE SITES							
REQUIRED		C	Construction Activity Pollution Prevention - Implement an erosion control plan, per the EPA CGP v2012			NA	
1		D	Site Assessment - Complete site survey including: topography, hydrology, climate, vegetation, soils, human use, human health			1	
2		D	Site Development - Protect or Restore Habitat - On-site restoration OR financial support			2	
1		D	Open Space - Provide outdoor space greater than or equal to 30% of total site area, 25% of which is vegetated			1	
1		D	Rainwater Management - Manage runoff for at least the 85th percentile of local rainfall events			3	
2		D	Heat Island Reduction - Meet nonroof and roof criteria OR place a minimum of 75% parking spaces under cover			2	
1		D	Light Pollution Reduction - Backlight-uplight-glare method or calculation method, exterior luminaires and signage req's			1	
8						Totals	10
WATER							
REQUIRED		D	Outdoor Water Use Reduction - Permanent non-irrigated landscape OR reduce water use 30% for peak water month			N/A	
REQUIRED		D	Indoor Water Use Reduction - Reduce aggregate water use by 20% for fixtures and fittings			N/A	
REQUIRED		D	Building-Level Water Metering - Install permanent water meters that measure potable water use, share data with USGBC			N/A	
2		D	Outdoor Water Use Reduction - Reduce water use no irrigation or reduced irrigation 50% - 100%			2	
6		D	Indoor Water Use Reduction - Reduce fixture and fitting water use by 25% - 50%			6	
2		D	Cooling Tower Water Use - Conduct a one-time potable water analysis, measure control parameters in Table 1			2	
1		D	Water Metering - Meters for 2 or more water subsystems: irrigation, indoor plumbing, hot water, boiler, reclaimed water, or other			1	
11						Totals	11
ENERGY & ATMOSPHERE							
REQUIRED		C	Fundamental Commissioning and Verification - Commissioning for ASHRAE 0-2005 and 1.1-2007			N/A	
REQUIRED		D	Minimum Energy Performance - Whole building energy simulation OR ASHRAE 50% Design Guide OR ABCPG			N/A	
REQUIRED		D	Building-Level Energy Metering - Use building-level energy meters or submeters that can aggregate building-level data			N/A	
REQUIRED		D	Fundamental Refrigerant Management - Do not use CFC-based refrigerants in HVAC&R systems, or have a phase out plan			N/A	
4		C	Enhanced Commissioning - Implement systems commissioning or monitor-based commissioning			6	
10		D	LEED v4.1: Optimize Energy Performance - Whole building energy simulation or follow ASHRAE Advanced Energy Design Guide			18	
1		D	Advanced Energy Metering - Install advanced energy metering for whole building and individual energy sources			1	
2		C	Demand Response - Participate in existing demand response program or provide infrastructure for demand response programs			2	
5		D	LEED v4.1 Renewable Energy - Use on-site or offsite renewable energy to offset green house gas emissions for annual energy use			5	
1		D	Enhanced Refrigerant Management - Refrigerants with ODP of 0 and GWP of less than 50 OR calculate refrigerant impact			1	
20						Totals	33

IP	YES	LIKELY	MAYBE	NO	Phase	Credit Name	Points Available
RAW MATERIALS & RESOURCES							
REQUIRED		D	Storage and Collection of Recyclables - Dedicated areas for waste collection, collection and storage			N/A	
REQUIRED		D	Construction and Demolition Waste Management Planning - Establish C&D waste diversion goals			N/A	
3					C	Building Life-Cycle Impact Reduction - Historic building reuse, renovate blighted buildings OR whole building LCA	5
2					C	LEED v4.1: Building Product Disclosure and Optimization - Environmental Product Declarations	2
2					C	LEED v4.1: Building Product Disclosure and Optimization - Material Ingredients	2
1					C	LEED v4.1: Building Product Disclosure and Optimization - Sourcing of Raw Materials	2
2					C	C&D Waste Management - Divert 50% (3 streams), 75% (4 streams) OR 2.5 lbs. waste per square foot	2
10						Totals	13
INDOOR ENVIRONMENTAL QUALITY							
REQUIRED		D	Minimum Indoor Air Quality Performance - Meet ASHRAE 62.1-2010			N/A	
REQUIRED		D	Environmental Tobacco Smoke Control - Prohibit smoking indoors, restrict outdoor smoking within 25 feet			N/A	
3					D	Enhanced Indoor Air Quality Strategies - Comply with enhanced IAQ strategies	2
1					C	LEED v4.1: Low-Emitting Materials - Achieve level of compliance for product categories or use budget calculation method	3
1					C	Construction IAQM Plan - Implement IAQMP & protect materials and equipment during construction	1
1					D	Indoor Air Quality Assessment - Before and during occupancy flush-out. OR conduct baseline IAQ testing	2
1					D	Thermal Comfort - Meet requirements for ASHRAE 55-2010	1
1					D	Interior Lighting - Lighting Controls for 90% plus individual occupant spaces & four lighting quality strategies	2
2					D	Daylight - Install glare control devices, spatial daylight autonomy, illuminance calculations OR daylight floor area measurement	3
1					D	Quality Views - Vision glazing for 75% of regularly occupied floor area, with at least two kinds of viewtypes	1
1					D	Acoustic Performance - Meet requirements for HVAC noise, sound isolation, reverberation time, & sound masking	1
11						Totals	16
INNOVATION							
1					D	EBOM Starter Kit: Green Cleaning & IPM	1
1					D	Integrative Analysis of Building Materials	1
1					D	ID - ParksMart Measures	1
1					D	Green Education	1
1					C	TBD: Bird-Friendly Design; Resilience; Circular Product Selection, etc.	1
1					C	LEED Accredited Professional	1
6						Totals	6
<i>*Innovation in Design includes Exemplary Performance credits</i>							
REGIONAL							
1					D	Optimize Energy Performance	1
1					D	Sourcing of Raw Materials	1
1					D	Building Life-Cycle Impact Reduction	1
1					D	Indoor Water Use Reduction	1
1					D	Access to Quality Transit	1
1					D	Rainwater Management	1
4						Totals	4
<i>**Only 4 Regional Credits are Applicable</i>							

Confirmed Certification Level: **GOLD**
 Confirmed + Likely Certification Level: **GOLD**
 Confirmed + Likely + Maybe Certification Level: **Gold**

Confirmed Points: **78**
 Confirmed + Likely Points: **78**
 Confirmed + Likely + Maybe Points: **78**

Parcel 1 Office – Modification Request #1
Minimum Stepback

Adjustment Request

Allow Modifications to Zoning Code Section 16.43.130(2) to:

No setbacks required for office garages; stepback required at a height not to exceed 70 feet for 30% of office building facades.

Code Requirements

16.43.130(2): Building Mass and Scale. Minimum Stepback.

Minimum Stepback: The horizontal distance a building's upper story(ies) must set back above the base height. Bonus Level Fronting a Boulevard, Thoroughfare, Mixed Use Collector, or Neighborhood Street: 10 feet for a minimum of 75% of the building face along public street(s).

A maximum of 25% of the building face along public streets may be excepted from this standard in order to provide architectural variation.

Subject Site Description

Parcel 1 spans from O'Brien Street to North Loop Road, between Main Street and East Loop Road. The Campus District is organized to respond to the pedestrian-focused, mixed-use development along Main Street and vehicular friendly East Loop Road. Two garages are located on East Loop Road to allow efficient traffic diversion away from Main Street. Office buildings are positioned on an east-west axis to optimize solar orientation, placing short facades on the street frontage and publicly accessible courtyards between the buildings. The design features setbacks, stepbacks, and variation in height from 1 to 5 stories.

Two office buildings and the smaller of the two garages are located on the portion of East Loop Road that is proposed to be a public street, between Adams Court and O'Brien Street. All structures are sited beyond the minimum required setback of 5'-0" and adhere to the maximum required setback of 25'-0" for the required street frontage.

The office buildings are modulated to reduce bulk and create variation along the frontage through stepbacks above the base height of 55' and whole building setbacks. All office buildings feature facade modulation through a full building setback for approximately 30% of the public facing facade, and stepbacks at multiple levels for approximately 30%.

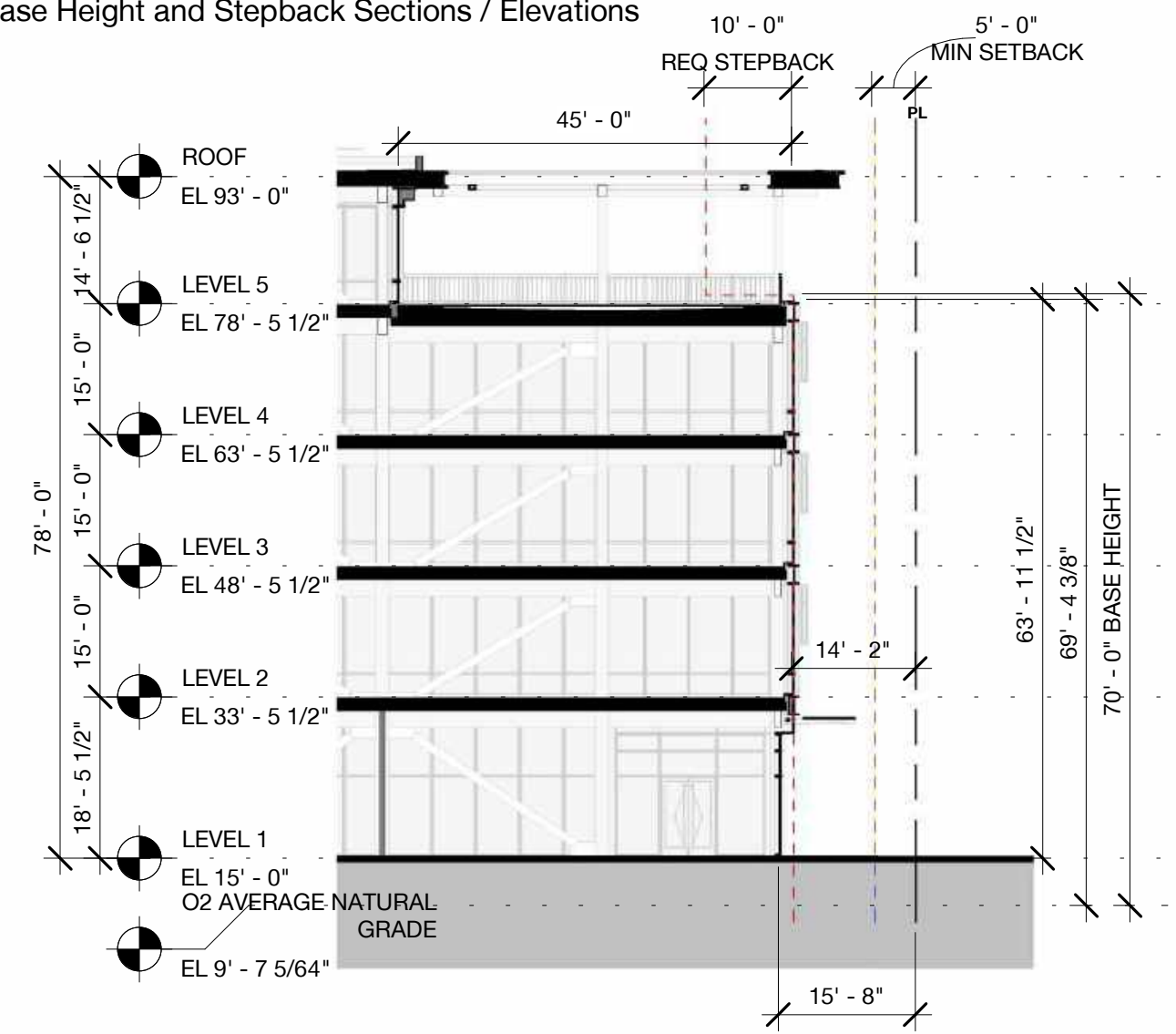
The garages are designed to maximize efficiency of the parking and structural layouts in order to keep the height and scale of the structures low. The south garage steps back above the base height of 55' at the southwest corner facing the O'Brien intersection. The structure is not proposed to stepback above the base height of 55' along the east facade facing East Loop Road due to the significant impact a stepback would have on the efficiency and function of the garage. The south garage has been designed with a facade expression that creates a base, middle, and top composition to break down the scale of the structure, and facade modulation to reduce visual monotony. The modulated projections are treated with a green screen of climbing vines that will create a varied roofline along the garage and enhance the lush and climate appropriate landscape that has been proposed along East Loop Road.

Modifications:

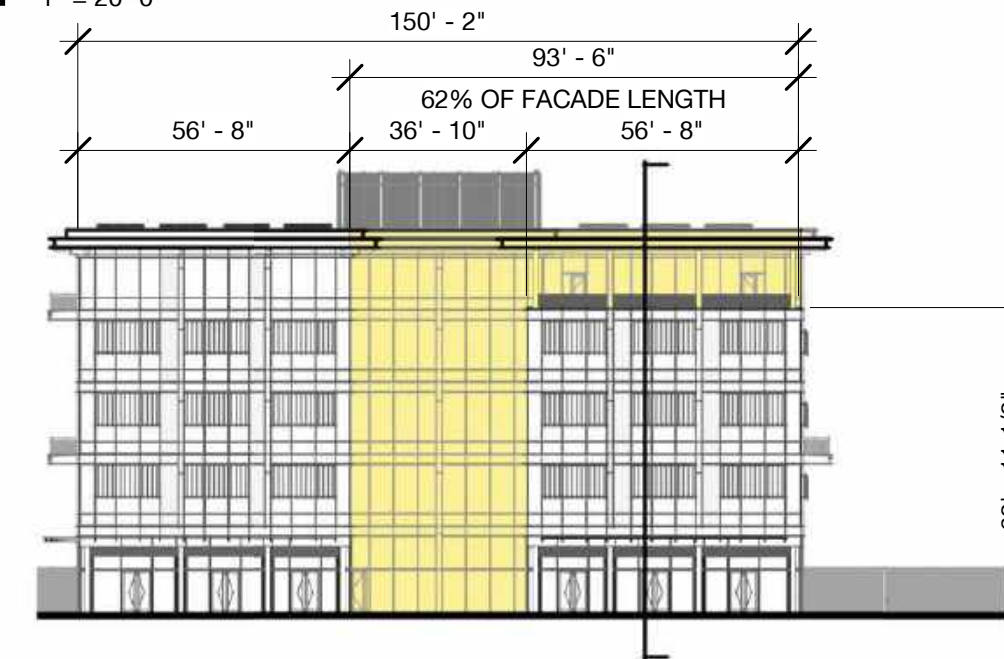
Modifications to any adjustment may be considered according to Section x governing Substantially Consistent Modifications and Minor Modifications.

Attachments: Illustrative modification Exhibit A-F: Base Height and Stepback Sections / Elevations

Illustrative Modification Exhibit A:
 Base Height and Stepback Sections / Elevations

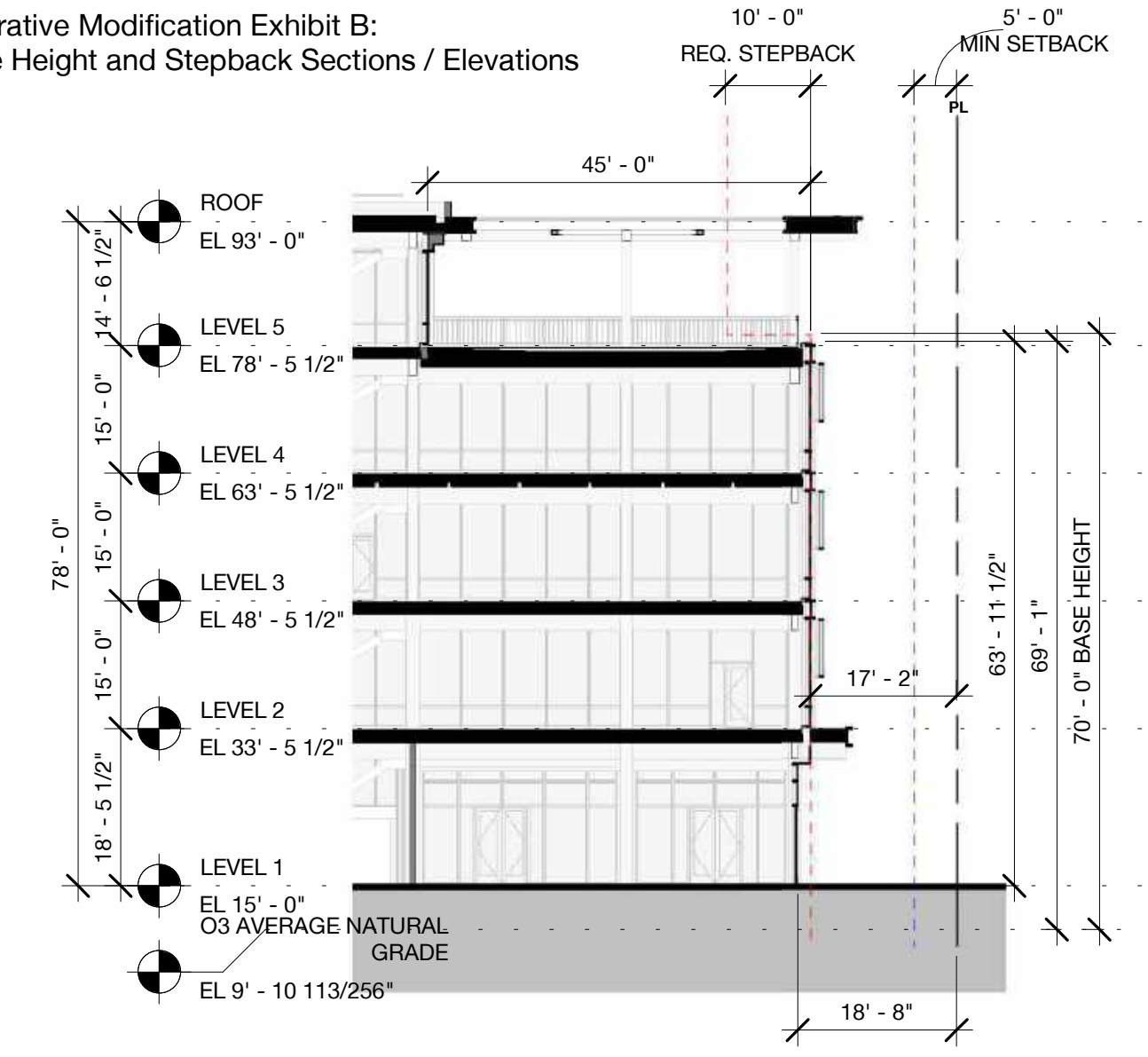


1 Building 2 - Section
 1" = 20'-0"

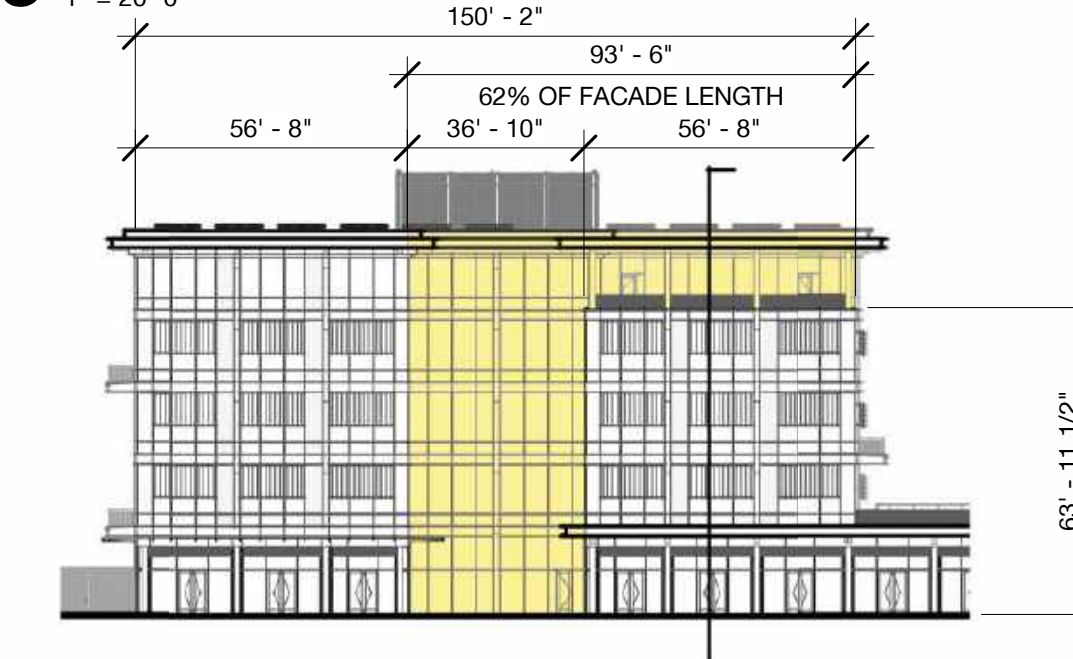


2 Building 2 - Elevation - Main Street
 1" = 40'-0"

Illustrative Modification Exhibit B:
 Base Height and Stepback Sections / Elevations

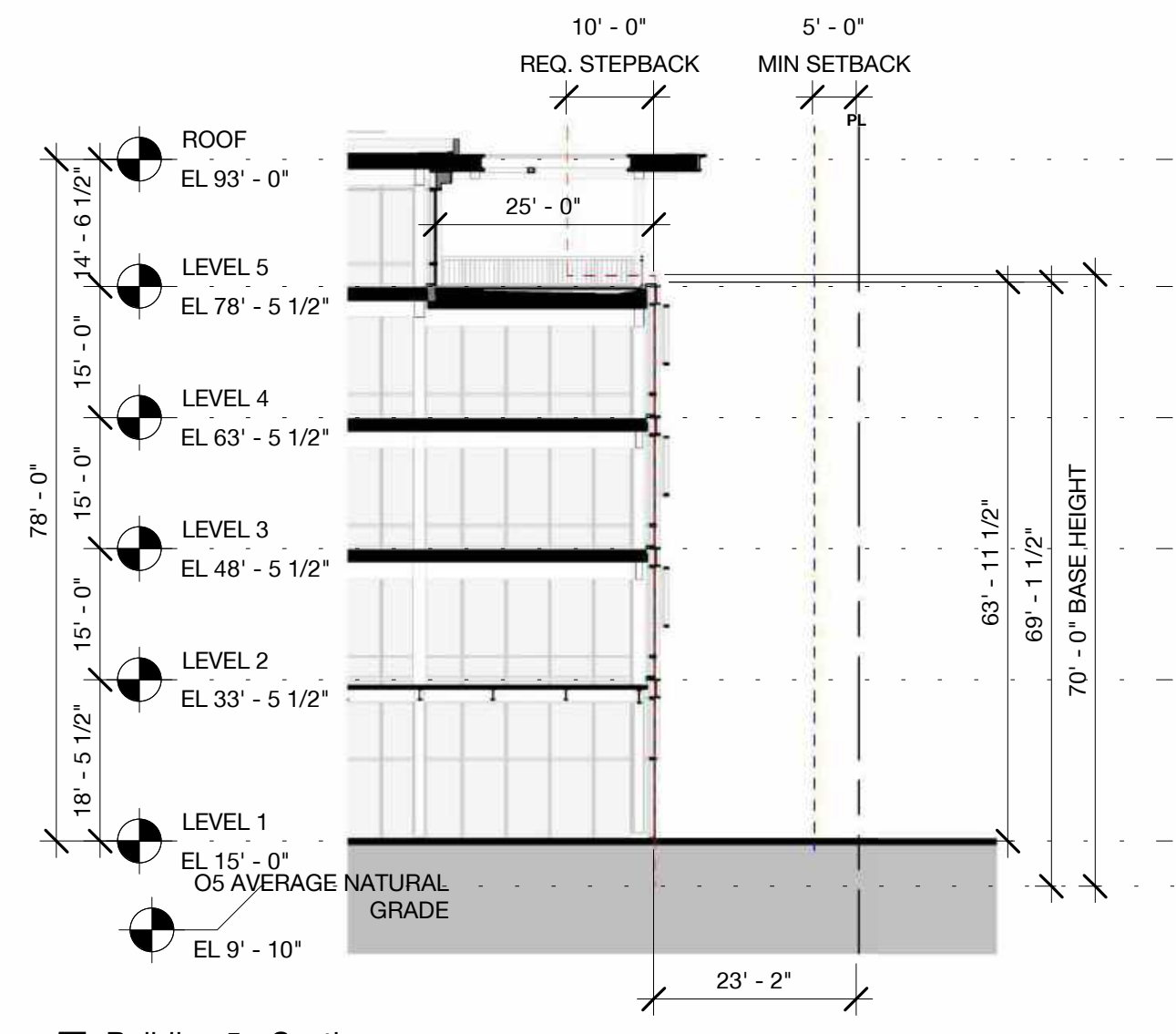


3 Building 3 - Section
 1" = 20'-0"

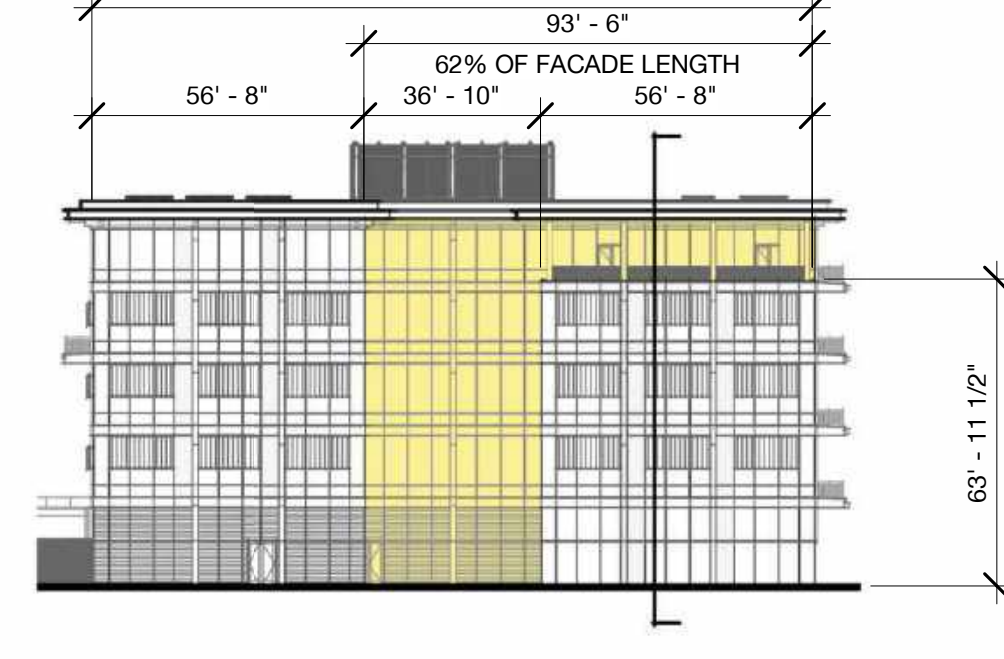


4 Building 3 - Elevation - Main Street
 1" = 40'-0"

Illustrative Modification Exhibit C:
 Base Height and Stepback Sections / Elevations

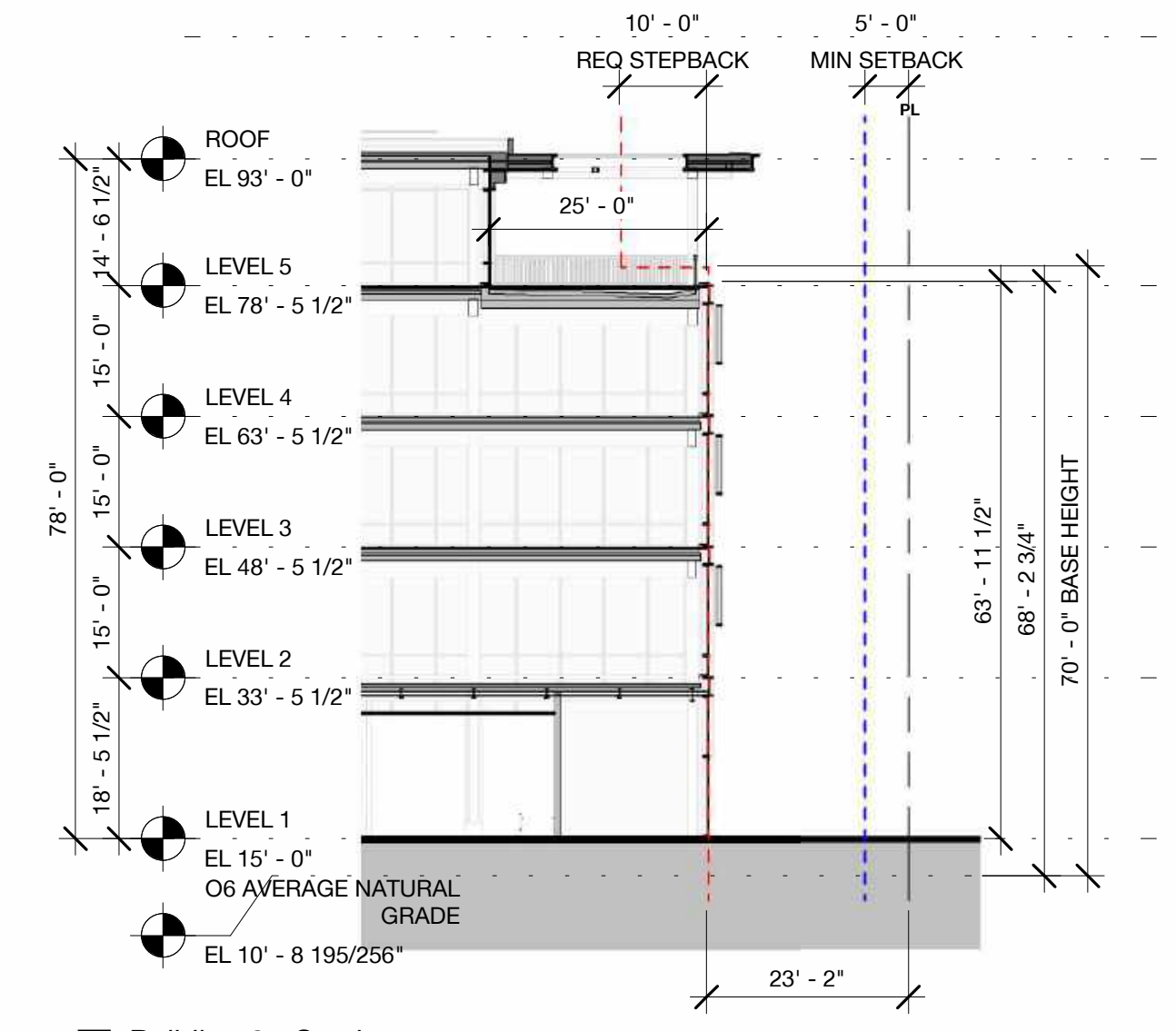


5 Building 5 - Section
 1" = 20'-0"

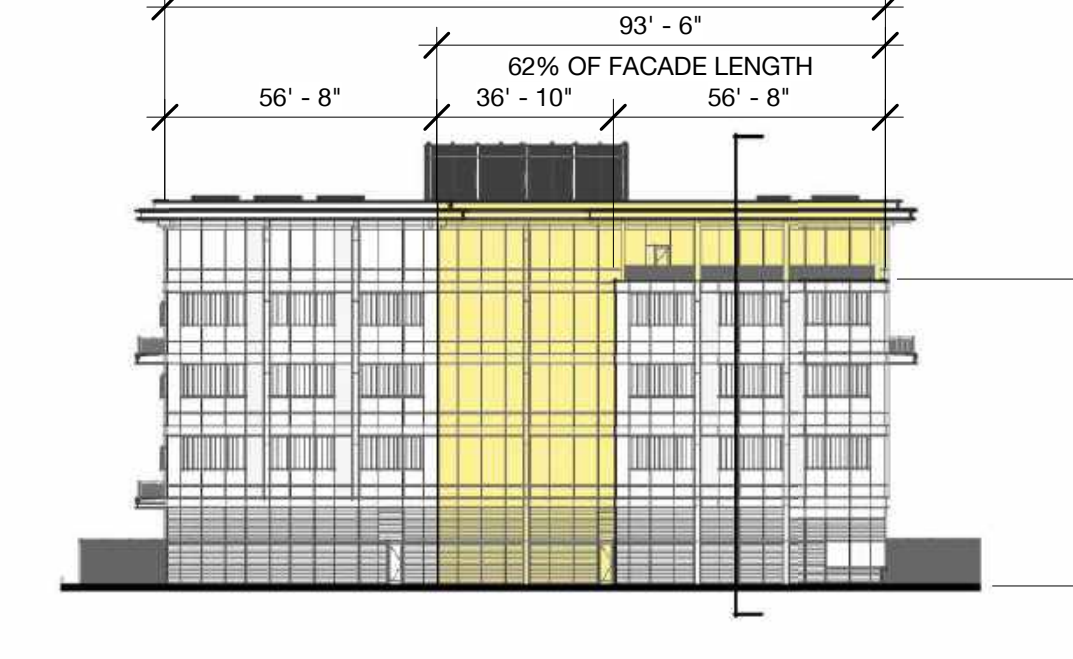


6 Building 5 - Elevation - East Loop Road
 1" = 40'-0"

Illustrative Modification Exhibit D:
 Base Height and Stepback Sections / Elevations



7 Building 6 - Section
 1" = 20'-0"



8 Building 6 - East Elevation - East Loop Road
 1" = 40'-0"

FACADE SETBACK
 STEPBACK
 MIN SETBACK

Parcel 1 Office – Modification Request #2
Base Height

Adjustment Request

Allow Modifications to Zoning Code Section 16.43.130(2) to:

For office buildings 02, 03, 05 and 06, setbacks required at a height not to exceed 70 feet; garages not required to have setbacks or a base height.

Code Requirements

16.43.130(2): Building Mass and Scale. Base Height.

The maximum height of a building at the minimum setback at street or before the building steps back the minimum horizontal distance required. Properties within the flood zone or subject to flooding and sea level rise are allowed a 10' increase.

Base Height = 55'

Subject Site Description

Parcel 1 spans from O'Brien Street to North Loop Road, between Main Street and East Loop Road. The Campus District is organized to respond to the pedestrian-focused, mixed-use development along Main Street and vehicular friendly East Loop Road. Two garages are located on East Loop Road to allow efficient traffic diversion away from Main Street. Office buildings are positioned on an east-west axis to optimize solar orientation, placing short facades on the street frontage and publicly accessible courtyards between the buildings. The design features setbacks, stepbacks, and variation in height from 1 to 5 stories.

Office buildings 02, 03, 05, 06, South Garage and North Garage do not comply with the 55' base height measured from natural grade. Office buildings 01 and 04 comply. All buildings on the office campus are sited beyond the minimum setback to create a more generous open space which will enhance the active use along the street edge. The office buildings are modulated to reduce bulk and create variation along the frontage. Each office building features facade modulation through a full building setback for approximately 30% of the public facing facade, and stepbacks at multiple levels for approximately 30%. The garages feature facade modulation along East Loop Road at a minimum of 1 per 200 feet or less as prescribed by code.

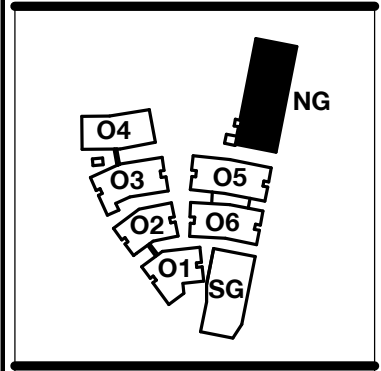
Stepping back at 55' for both office buildings and the garages would create a considerable inefficiency of the interior programs resulting in longer and taller buildings.

Modifications:

Modifications to any adjustment may be considered according to Section x governing Substantially Consistent Modifications and Minor Modifications.

Attachments:

Illustrative modification Exhibits A-F: Base Height and Stepback Sections / Elevation



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

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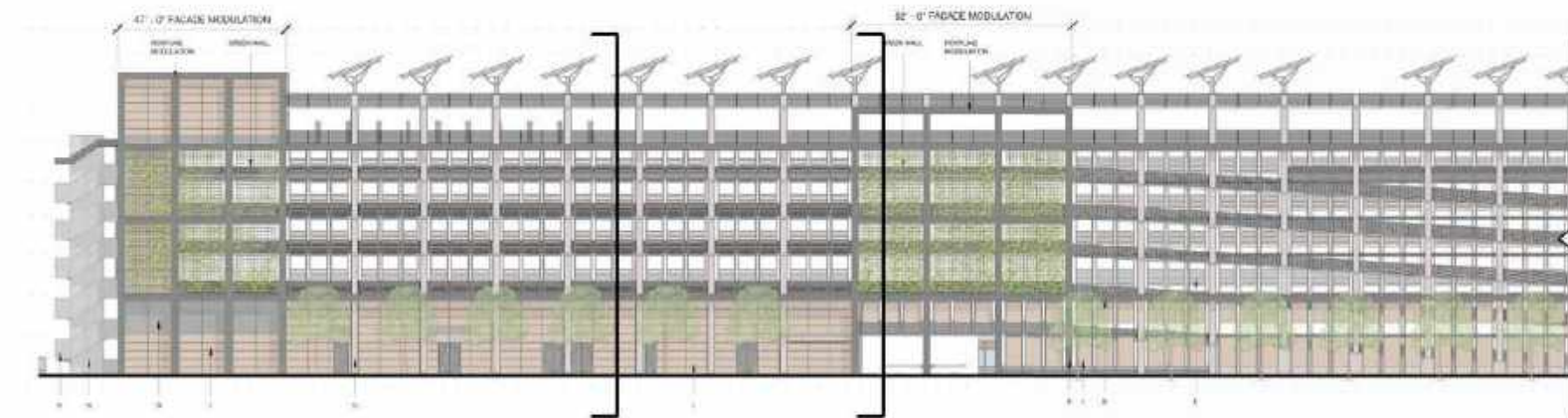
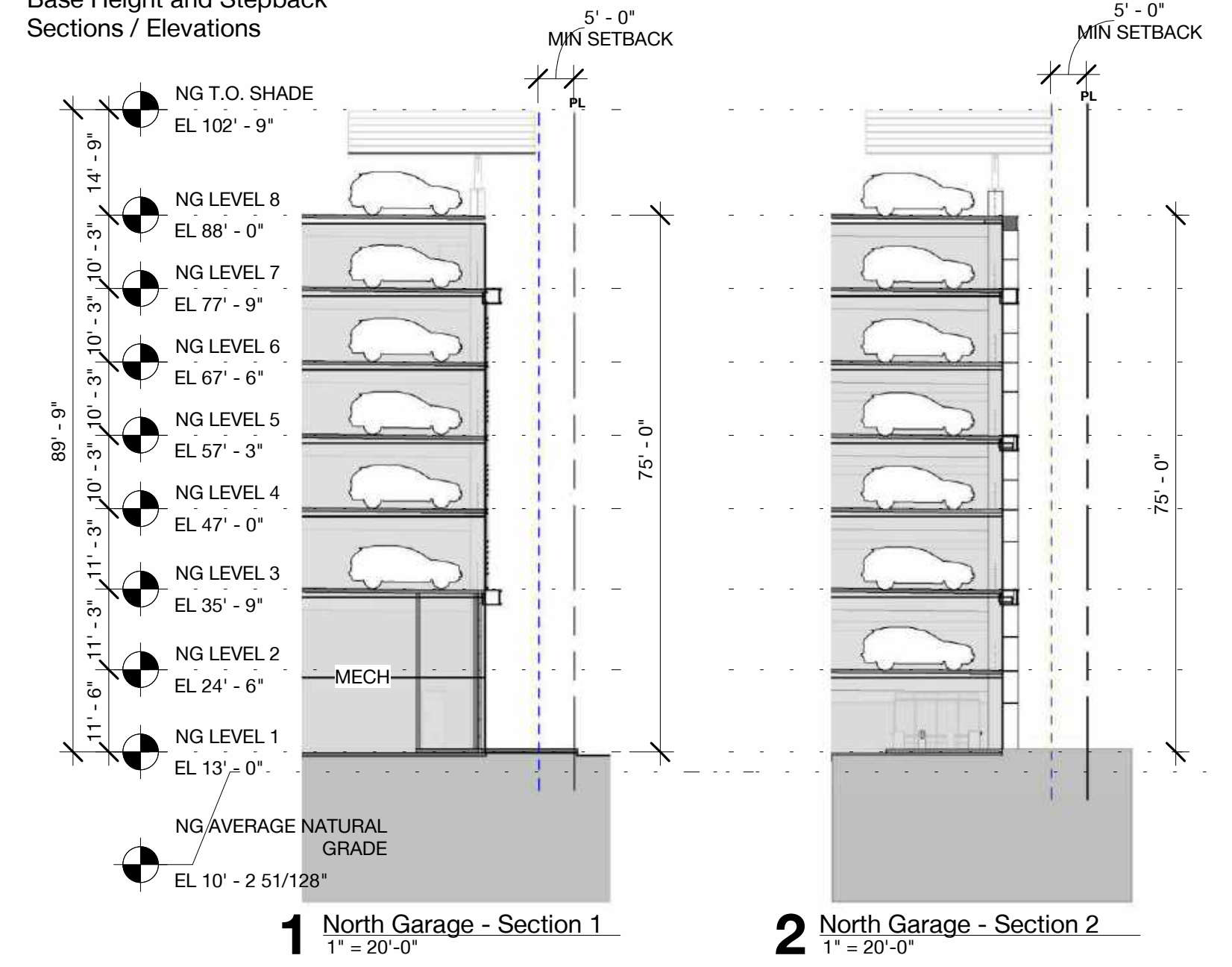
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DATE	ISSUE
03/10/2023	ACP

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NO.	DATE	ISSUE

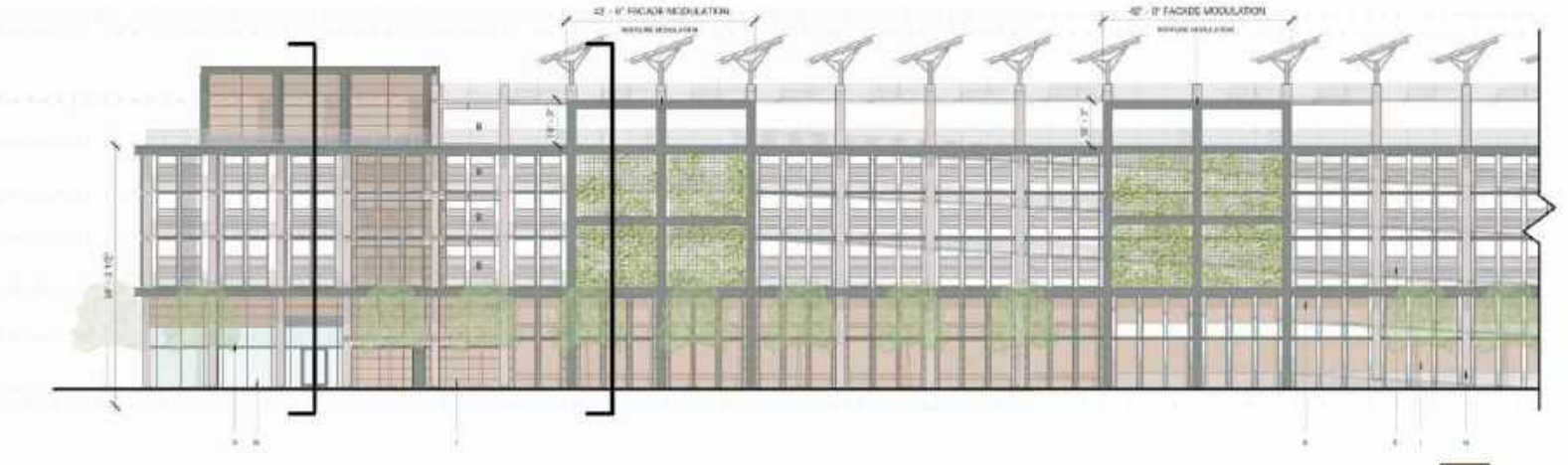
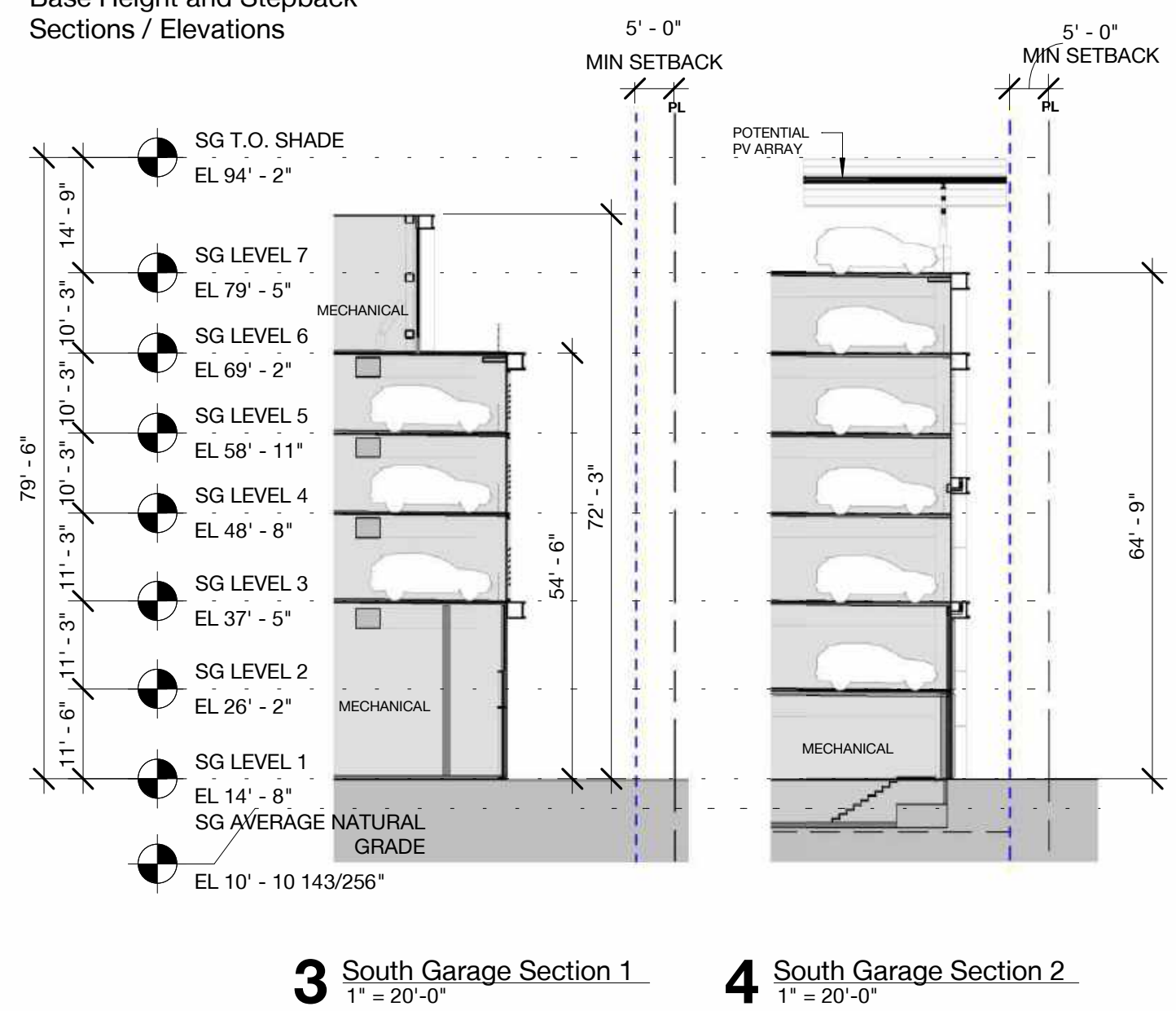
DRAWING TITLE:
Approved Modifications

DRAWING NO:
APP1.01

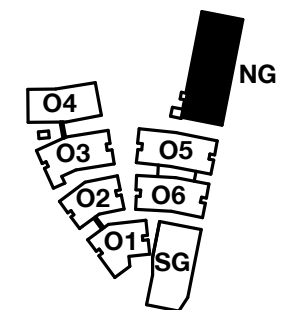
Illustrative Modification Exhibit E:
Base Height and Stepback
Sections / Elevations



Illustrative Modification Exhibit F:
Base Height and Stepback
Sections / Elevations



- FACADE SETBACK
- STEPBACK
- MIN SETBACK



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 (Portion)
Menlo Park, CA

SCALE: As indicated
NOTE: THIS DRAWING IS SO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
Approved Modifications

DRAWING NO:
APP1.02

Parcel 1 Office – Modification Request #3

Roofline

Adjustment Request

Allow Modifications to Zoning Code Section 16.43.130(6)(G) to:

Office buildings may have a consistent roofline without modulation.

Code Requirements

16.43.130(6) Building Design.

(G) Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four (4) foot minimum height modulation to break visual monotony and create a visually interesting skyline as seen from public streets (see Figure 6). The variation of the roofline's horizontal distance should match the required modulations and step backs.

Subject Site Description

Parcel 1 spans from O'Brien Street to North Loop Road, between Main Street and East Loop Road. The Campus District is organized to respond to the pedestrian-focused, mixed-use development along Main Street and vehicular friendly East Loop Road. Two garages are located on East Loop Road to allow efficient traffic diversion away from Main Street. Office buildings are positioned on an east-west axis to optimize solar orientation, placing short facades on the street frontage and publicly accessible courtyards between the buildings. The design features setbacks, stepbacks, and variation in height from 1 to 5 stories.

Office buildings O2, O3, O4, O5, and O6 have a consistent rooftop canopy that does not vary in height. Office building O1 follows a similar aesthetic and is one story shorter. The consistent roofline is designed to provide passive shading that is essential in reducing solar heat gain and energy usage for each building. It is the most effective way to reduce energy consumption related to thermal comfort. In addition to mitigating solar heat gain, the canopies are designed to assist with the bird friendly design standards by creating overhangs on all facades.

The roofs of the office buildings are designed to celebrate the timber construction typology and contribute to biophilic design that can be seen from the street through exposed heavy timber columns and wood soffits.

Variation is provided along the street frontage by stepping the buildings from a single-story pavilion to terraces at various levels from 2 to 4 stories which carve away mass of the office buildings.

The north garage and south garage comply through the design of a rooftop solar array and façade modulation. Both structures are designed to feature PV arrays at the top of the structures that will create a scalloped canopy (informed by the optimal solar angle for the site) at the rooftop and reinforce the idea of a distinct base, middle, and top. Façade modulation on the south and west facades also creates a varied expression and reduces visual monotony along Main Street and East Loop Road.

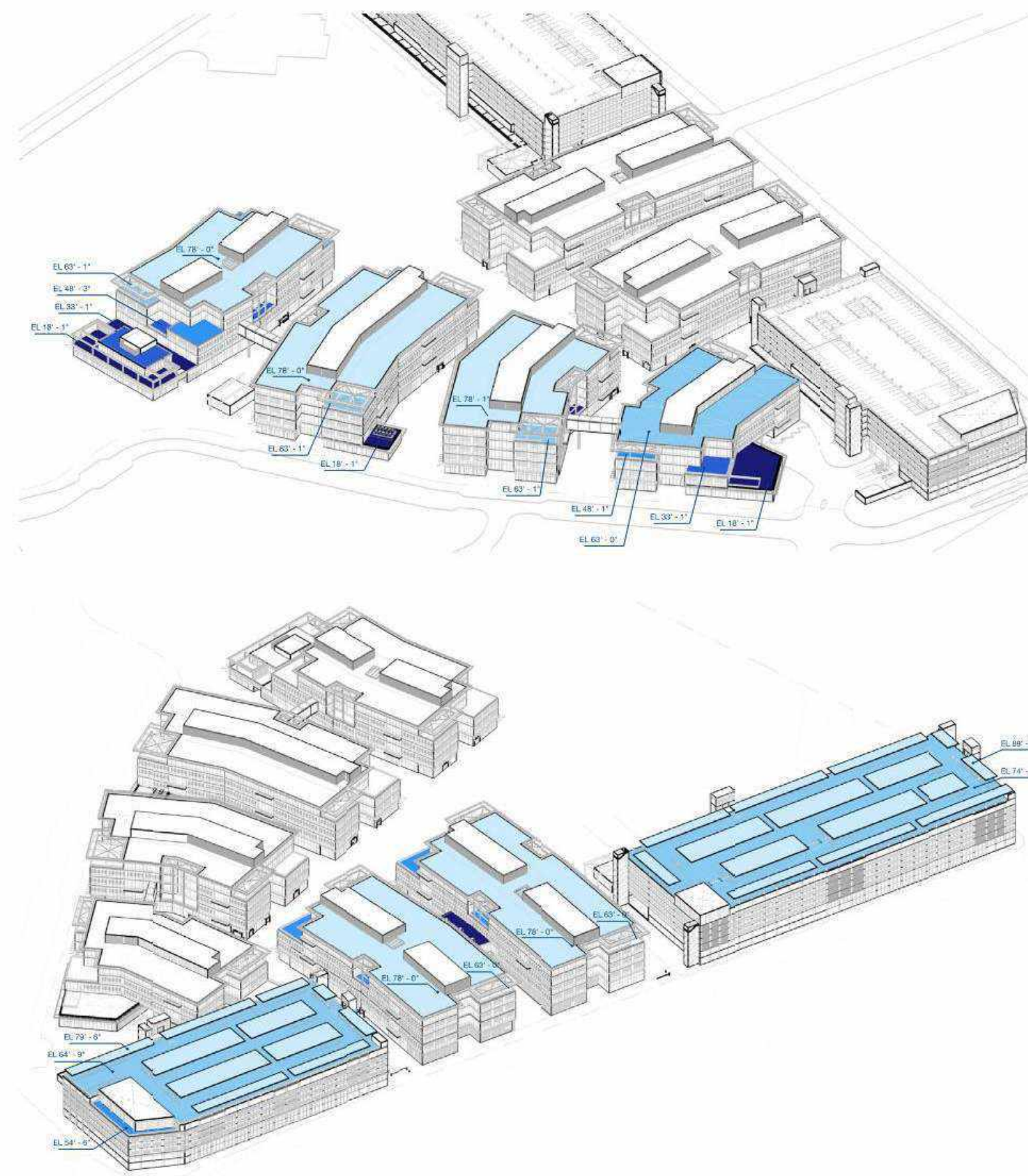
Modifications:

Modifications to any adjustment may be considered according to Section x governing Substantially Consistent Modifications and Minor Modifications.

Attachments:

Illustrative Modification Exhibit G: Roofline Modulation

Illustrative Modification Exhibit G: Roofline Modulation



Parcel 1 Office – Modification Request #4

Aboveground Garages

Adjustment Request

Allow Modifications to Zoning Code Section 16.43.130(7) to:

No requirement for above ground garages to be screened or located behind buildings.

Code Requirements

16.43.130(7) Aboveground Garages.

Aboveground garages shall be screened or located behind buildings that are along public streets.

Subject Site Description

Parcel 1 spans from O'Brien Street to North Loop Road, between Main Street and East Loop Road. The Campus District is organized to respond to the pedestrian-focused, mixed-use development along Main Street and vehicular friendly East Loop Road. Two garages are located on East Loop Road to allow efficient traffic diversion away from Main Street. Office buildings are positioned on an east-west axis to optimize solar orientation, placing short facades on the street frontage and publicly accessible courtyards between the buildings. The design features setbacks, stepbacks, and variation in height from 1 to 5 stories.

The South Garage is sited at the south side of the campus for efficient traffic flow along East Loop Road and to allow Office Buildings O5 and O6 to front East Loop Road and create visual breaks along the street edge. The mass of the South Garage has been designed to setback 15' for approximately 50% of the façade at the southeast corner of Main Street facing the adjacent neighborhood. The setback reduces to 10' as it wraps the corner on East Loop Road.

The facades of the garages are designed to be broken into a base, middle, and top composition to reduce bulk and create visual interest. Parking levels below 67' are screened with an architectural louvered panel and broken up with a full building facade modulation which incorporates a green screen. Façade articulation is created through changes in material and the introduction of a projection over level 1 that reduces the scale of the garage along the pathway at Main Street.

The base or ground floor along Main Street features façade transparency for 50% of the street frontage and wraps the southeast corner facing the O'Brien intersection. Trees and plantings line the mixed-use pathway on Main Street to soften the pedestrian experience and create a lush, climate appropriate landscape.

Modifications:

Modifications to any adjustment may be considered according to Section x governing Substantially Consistent Modifications and Minor Modifications.

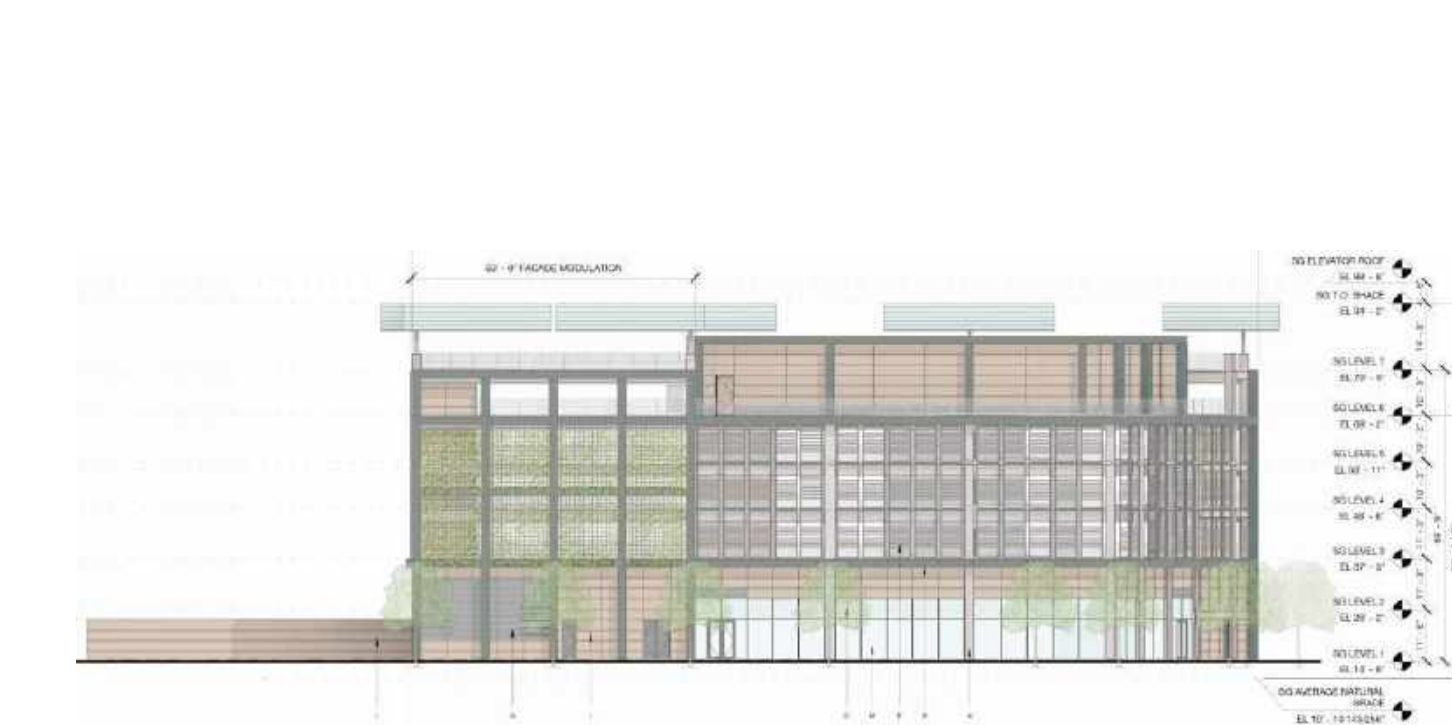
Attachments:

Illustrative Modification Exhibits H & I: Above Ground Garages

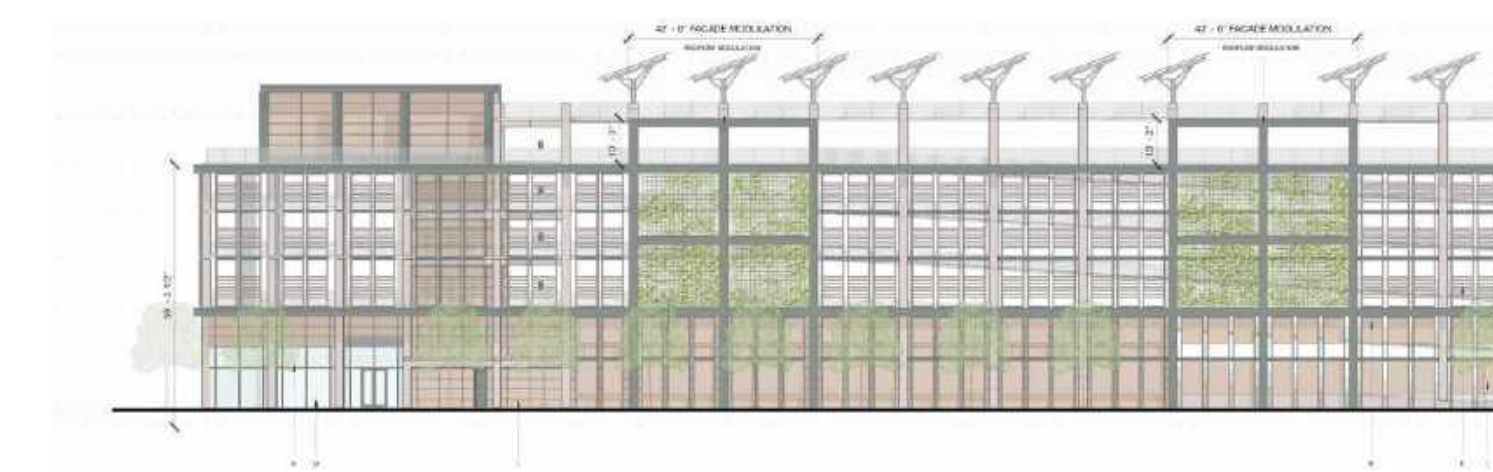
Illustrative Modification Exhibit H: Above Ground Garages



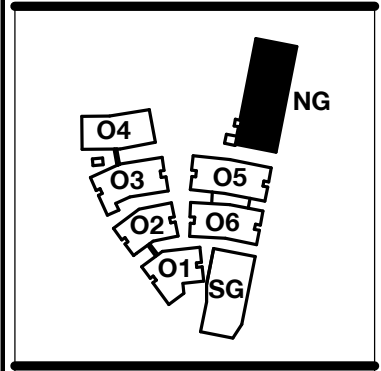
Illustrative Modification Exhibit I: Above Ground Garages



1 - South Elevation - Main Street



2 - East Elevation - East Loop Road



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 (Portion)
Menlo Park, CA

SCALE: 1" = 1'-0"
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE REQUIRED DIMENSIONS ONLY. FOR USER CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
Approved Modifications

DRAWING NO:
APP1.03

Parcel 1 Office – Modification Request #5
Building Entrances

Adjustment Request
Allow Modifications to Zoning Code Section 16.43.130(3) to:

No building entrances required for office buildings along East Loop Road and South Garage.

Code Requirements
 16.43.130(3) Ground Floor Exterior, Building Entrances.

Minimum ratio of entrances to building length along a public street or paseo. One entrance per public street frontage. Entrances at building corner satisfy requirement for both frontages. Stairs must be conveniently located.

Subject Site Description

Parcel 1 spans from O'Brien Street to North Loop Road, between Main Street and East Loop Road. The Campus District is organized to respond to the pedestrian-focused, mixed-use development along Main Street and vehicular friendly East Loop Road. Two garages are located on East Loop Road to allow efficient traffic diversion away from Main Street. Office buildings are positioned on an east-west axis to optimize solar orientation, placing short facades on the street frontage and publicly accessible courtyards between the buildings. The design features setbacks, stepbacks, and variation in height from 1 to 5 stories.

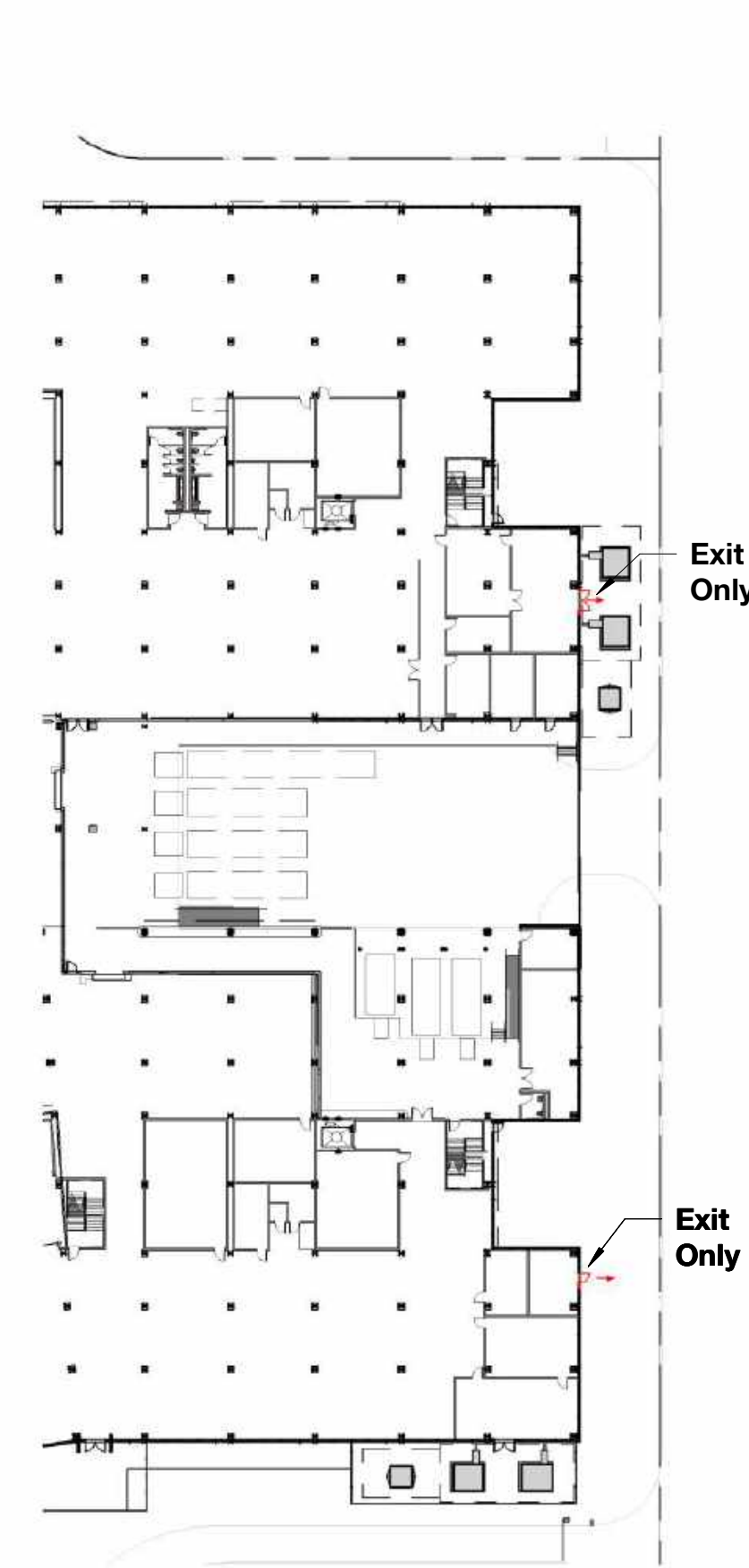
Office buildings O5 and O6 feature façade transparency and landscaping along East Loop Road. No building entries are provided on East Loop Road as all pedestrian entries into the campus are located along Main Street or through the garages.

The South Garage features ground floor transparency at the southeast corner of Main Street. Façade articulation is created through the change in material and the introduction of a projection over level 1 to reduce the scale of the garage along the pathway. No building entry is provided due to the mechanical program beyond.

Modifications:
 Modifications to any adjustment may be considered according to Section x governing Substantially Consistent Modifications and Minor Modifications.

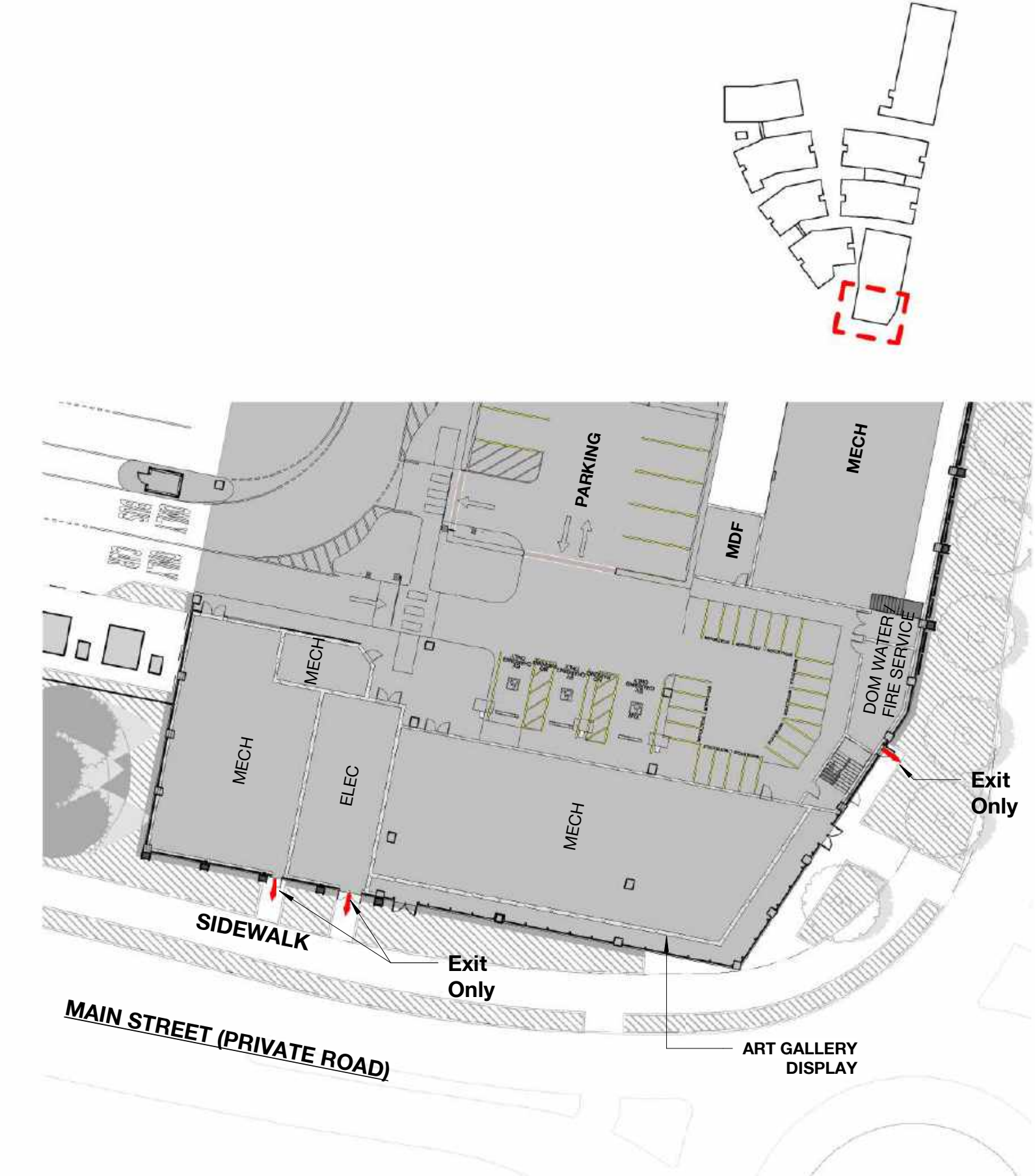
Attachments:
 Illustrative Modification Exhibits J & K: Building Entrance

Illustrative Modification Exhibit J: Building Entrance



1 Building 05 and 06 - Level 1 - Entrance Diagram
 1" = 50'-0"

Illustrative Modification Exhibit K: Building Entrance



2 SG - Level 1 - Building Entrance Diagram
 1/32" = 1'-0"

Illustrative Modification Exhibit L:
 Building Modulational

Parcel 1 Office – Modification Request #6
Building Modulational

Adjustment Request
Allow Modifications to Zoning Code Section 16.43.130(2) to:

Allow garage facades along East Loop Road and Main Street to have a minimum modulation of one per 200 feet.

Code Requirements
 16.43.130(2) Building Mass and Scale, Building Modulation.

A building modulation is a break in the building plane from the ground level to the top of the building's base height that provides visual variety, reduces large building volumes and provides spaces for entryways and publicly accessible spaces.

One every 200 feet, with a minimum of one per façade. Modulation is required on the building facade(s) facing publicly accessible spaces (streets, open space, and paseos). Parking is not allowed in the modulation recess.

Subject Site Description

Parcel 1 spans from O'Brien Street to North Loop Road, between Main Street and East Loop Road. The Campus District is organized to respond to the pedestrian-focused, mixed-use development along Main Street and vehicular friendly East Loop Road. Two garages are located on East Loop Road to allow efficient traffic diversion away from Main Street. Office buildings are positioned on an east-west axis to optimize solar orientation, placing short facades on the street frontage and publicly accessible courtyards between the buildings. The design features setbacks, stepbacks, and variation in height from 1 to 5 stories.

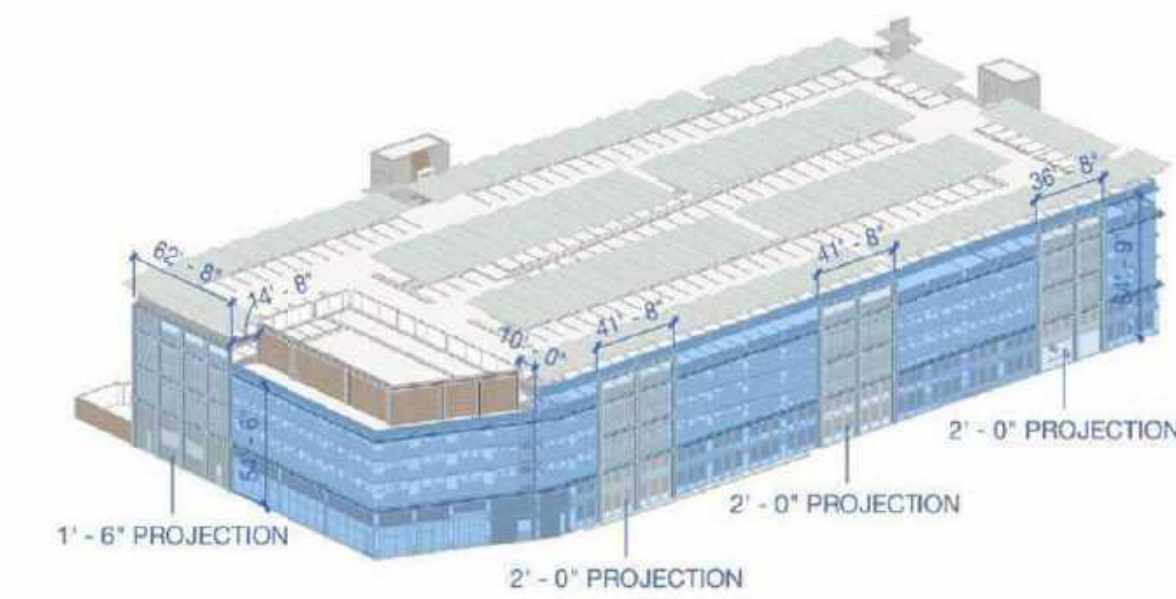
The South Garage and North Garage feature three façade articulations on East Loop Road that range in width from approximately 37 feet to 62 feet in length. Articulations are nominally 2 feet deep and span from the ground level to the topmost level of both garages. An additional articulation is located on the south side of the South Garage on Main Street. Each articulation features a cable system that will support climbing vegetation from levels 2-6 on the North Garage and levels 2-5 on the South Garage.

While section 16.43.130(2) does not specify a width and depth for the required offset or recesses, the city comments have noted that a 15-foot by 10-foot recess or offset would be required every 200 feet, and an adjustment should be requested.

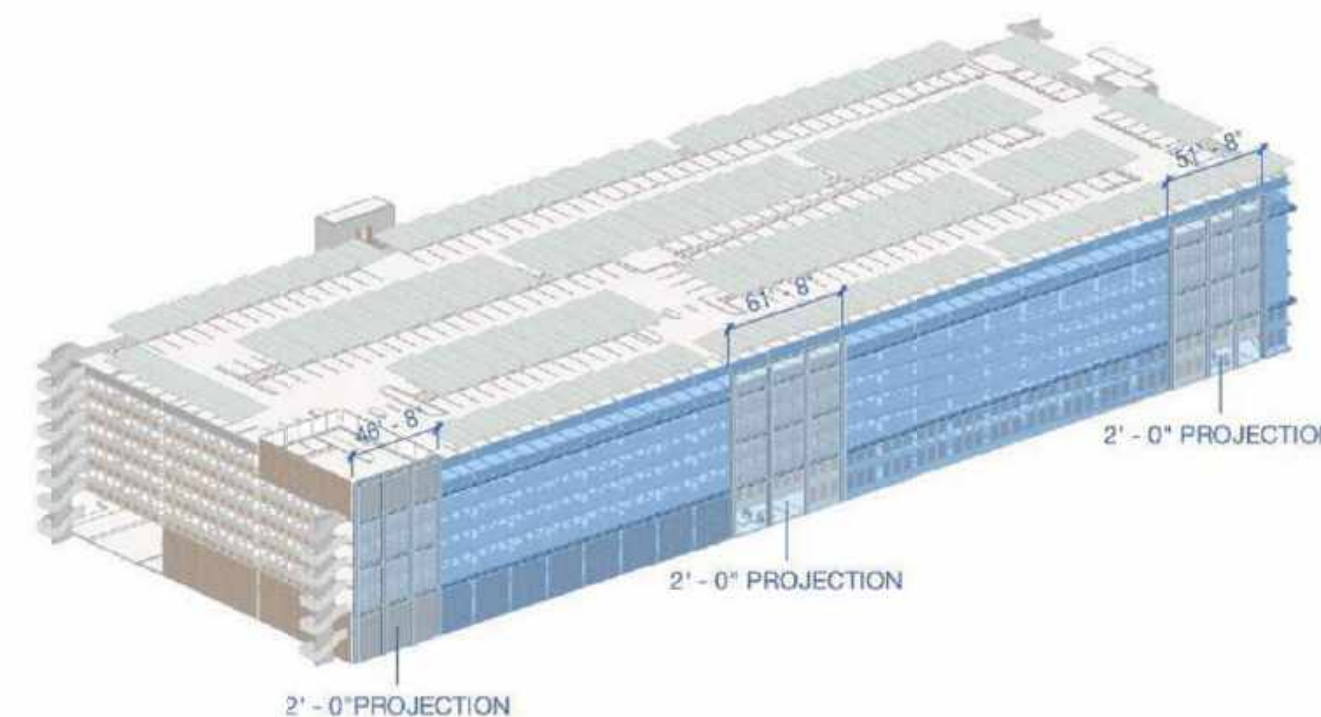
The garages are designed to maximize the efficiency of the parking and structural layouts to keep the height and scale of the structures low. The structure is not proposed to incorporate recesses of the size requested due to the significant impact a recess would have on the efficiency and function of the garage. Similarly, an offset is not incorporated due to the limitation of the required setbacks on East Loop Road and Main Street.

Modifications:
 Modifications to any adjustment may be considered according to Section x governing Substantially Consistent Modifications and Minor Modifications.

Attachments:
 Illustrative Modification Exhibit L: Building Modulational



South Garage Modulation Diagram



North Garage Modulation Diagram

PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion)
 Menlo Park, CA

SCALE: As indicated
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE REQUIRED DIMENSIONS ONLY. FOR USER CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

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Approved Modifications

DRAWING NO:
APP1.04