

Willow Village

Architectural Control Package - Parcel 1 - Town Square

03/10/2023

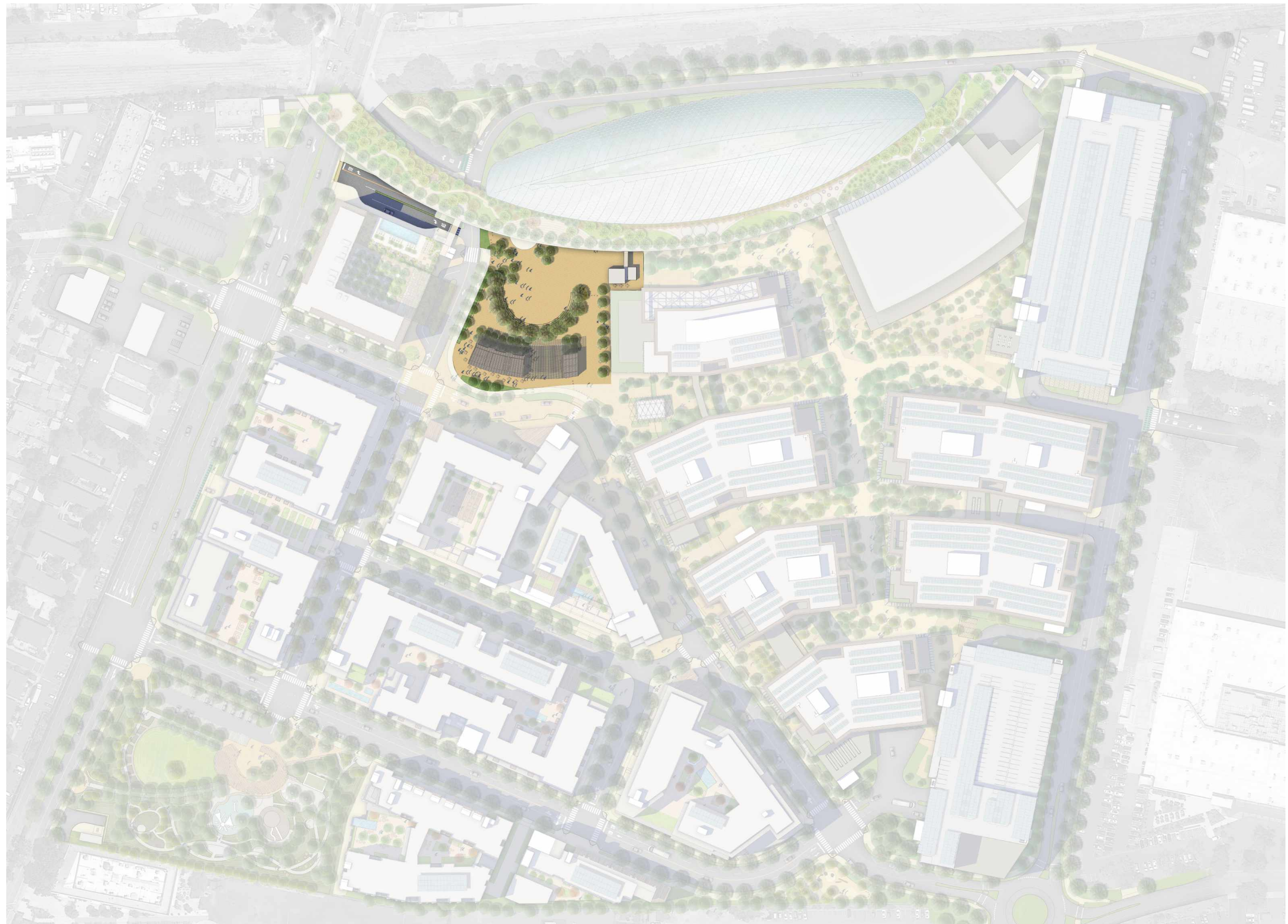


Peninsula Innovation Partners
Menlo Park, CA

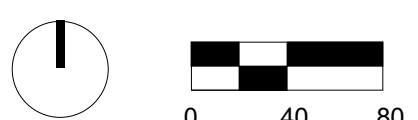
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1 ILLUSTRATIVE MASTERPLAN CONTEXT PLAN
1" = 80'-0"



WILLOW VILLAGE
Architectural Control Package - Parcel 1 - Town Square
Menlo Park, CA

SCALE: 1" = 80'-0"
NOTE: THIS DRAWING IS 80% A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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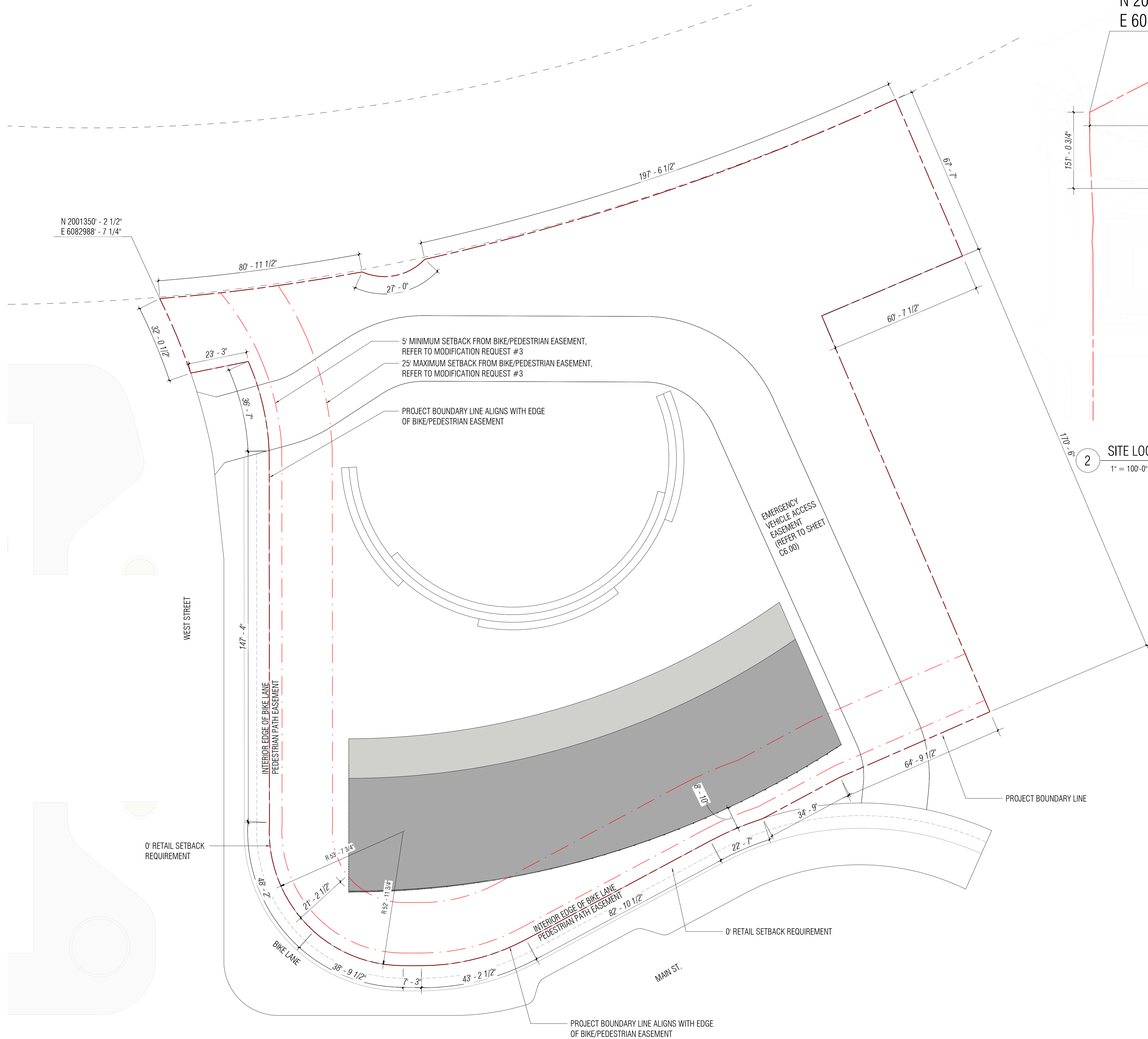
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DRAWING TITLE:
WILLOW VILLAGE TOWN SQUARE
Illustrative Masterplan Context Plan

DRAWING NO:
A0.01

PENINSULA INNOVATION PARTNERS

1 SITE PLAN
1" = 20'-0"



2 SITE LOCATION PLAN
1" = 100'-0"

N 2001601' - 5 3/4"
E 6082784' - 11 1/4"

N 2001350' - 2 1/2"
E 6082988' - 7 1/4"

PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 - Town Square
Menlo Park, CA

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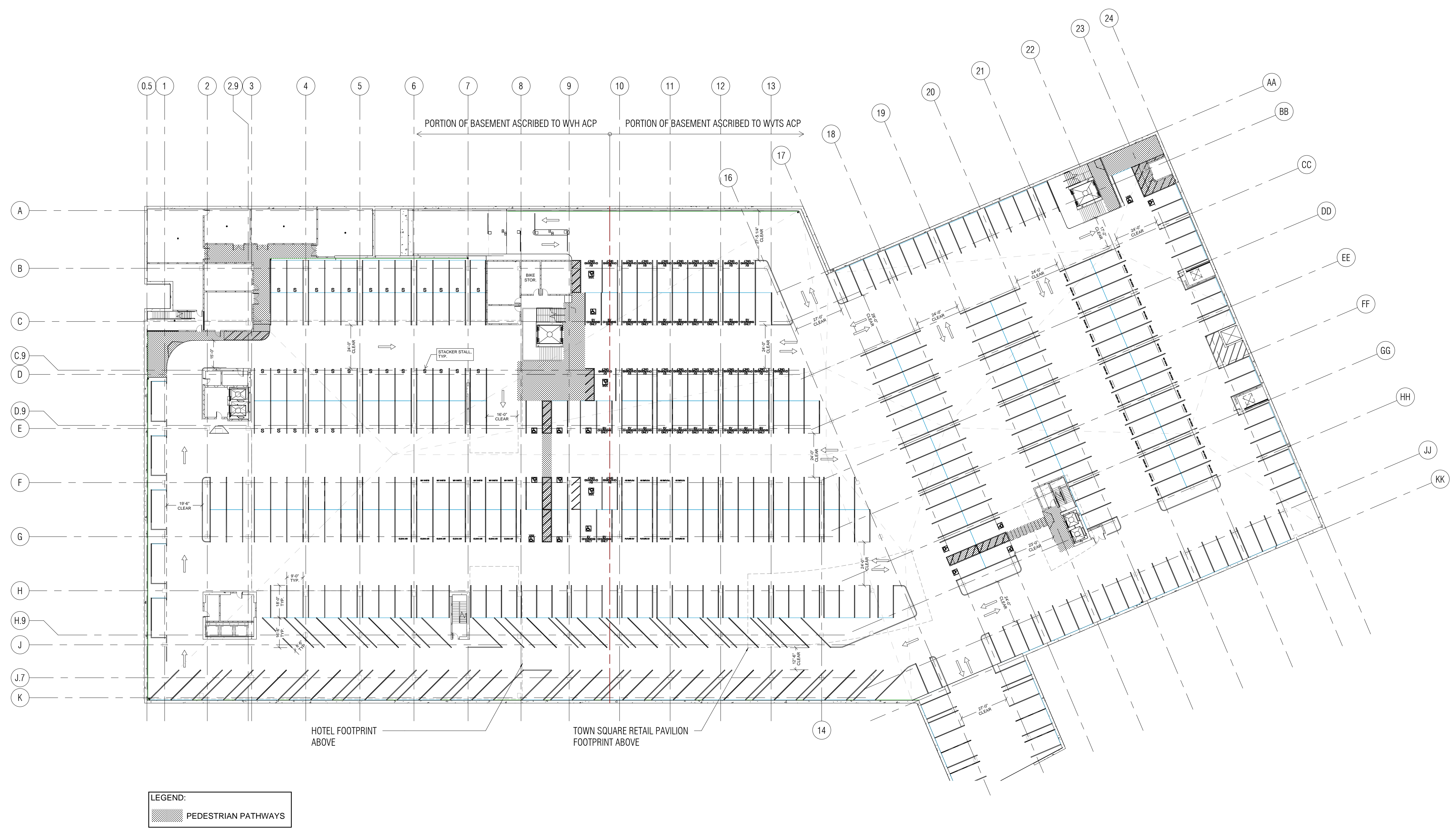
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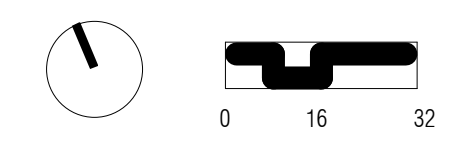
DRAWING TITLE:
WILLOW VILLAGE TOWN SQUARE
Site Plan

DRAWING NO:
A1.01

1 TOWN SQUARE - BASEMENT LEVEL PLAN
1/32" = 1'-0"



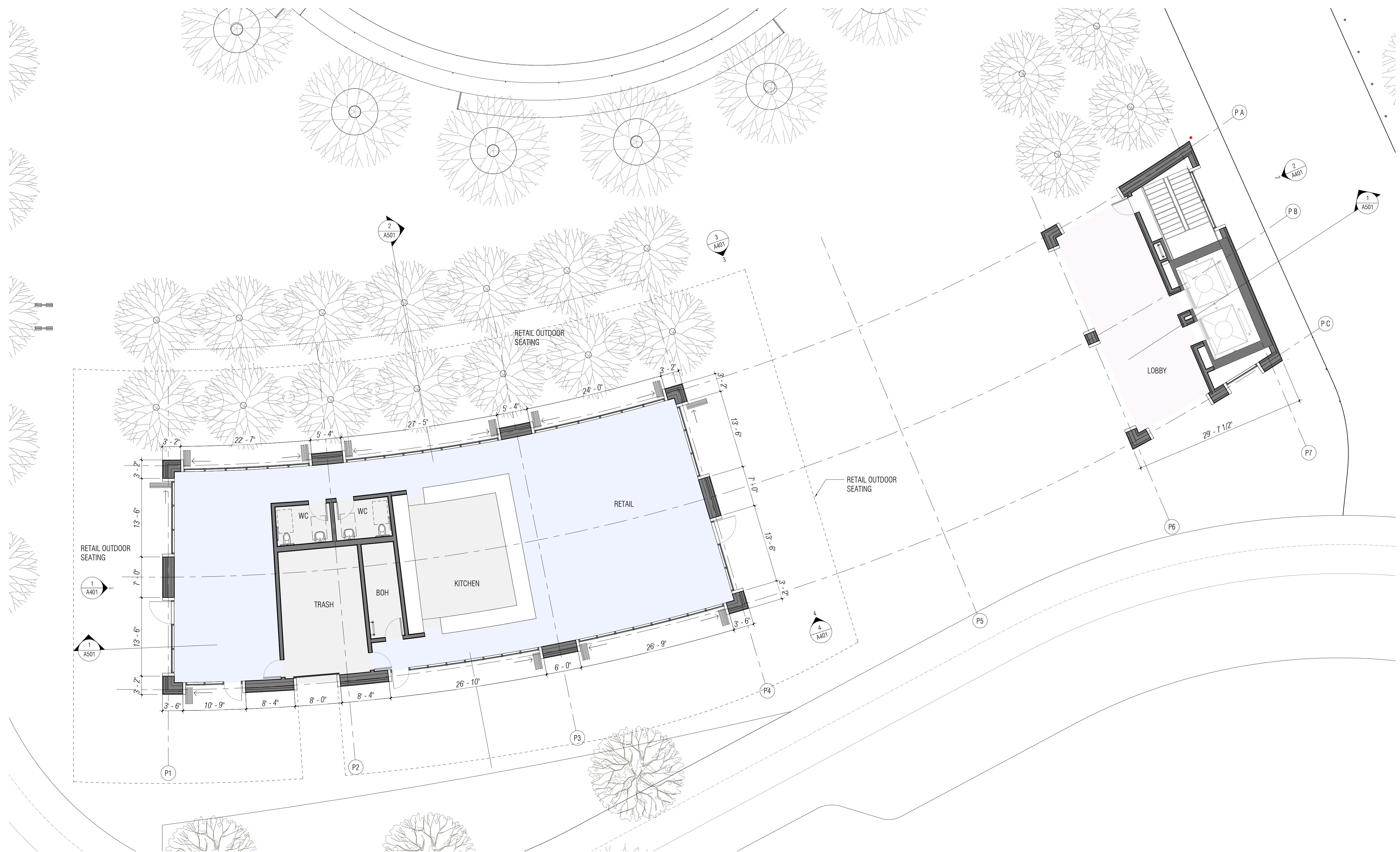
LEGEND:
 PEDESTRIAN PATHWAYS



SCALE: 1/32" = 1'-0"
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR SEE CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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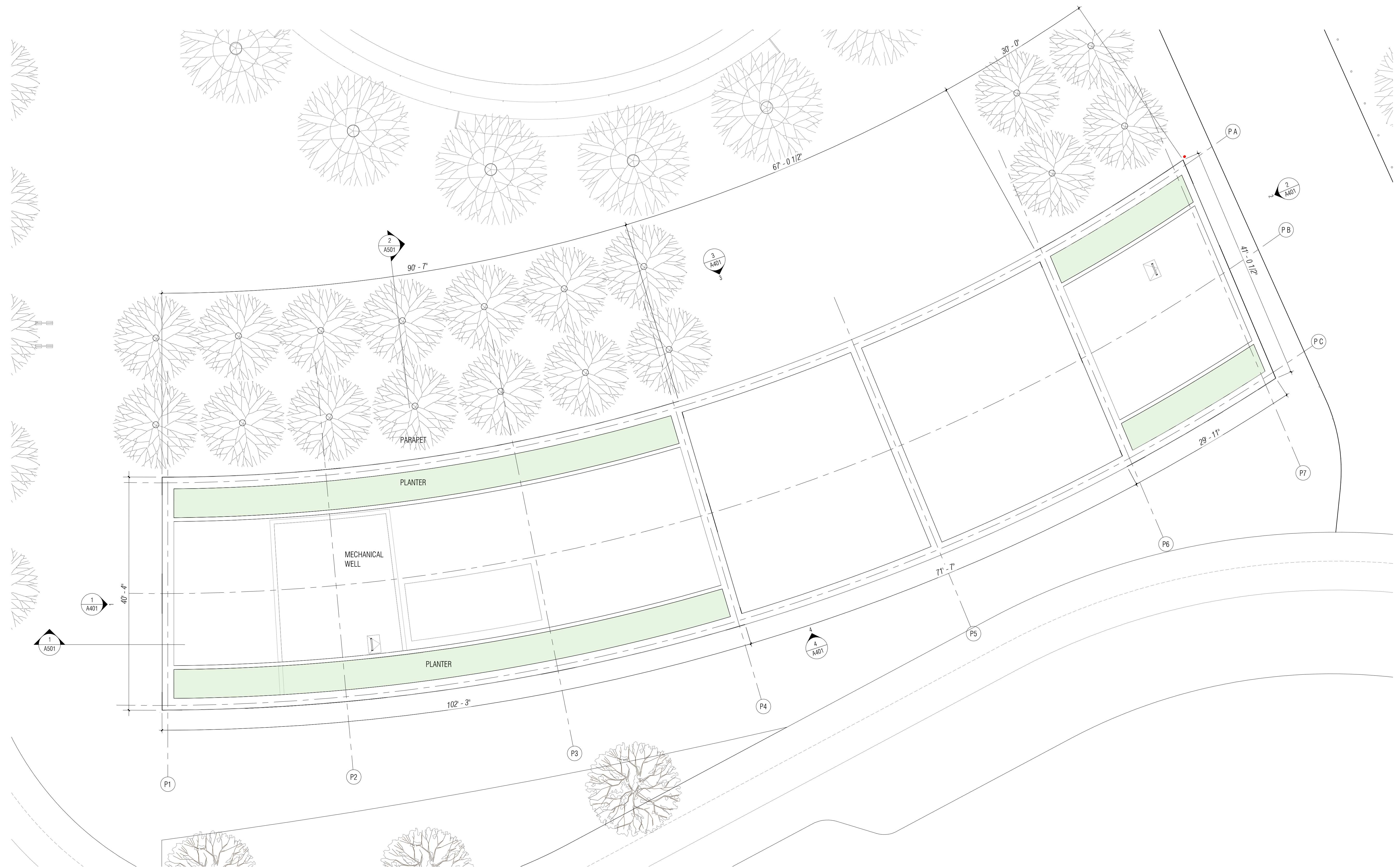
1 TOWN SQUARE PAVILION LEVEL 1 PLAN
1/8" = 1'-0"

SCALE: 1/8" = 1'-0"
NOTE: THIS DRAWING IS B2/A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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1 TOWN SQUARE PAVILION PLANTER & MECHANICAL WELL PLAN
1/8" = 1'-0"

PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 - Town Square
Menlo Park, CA

SCALE: 1/8" = 1'-0"
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. FOR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

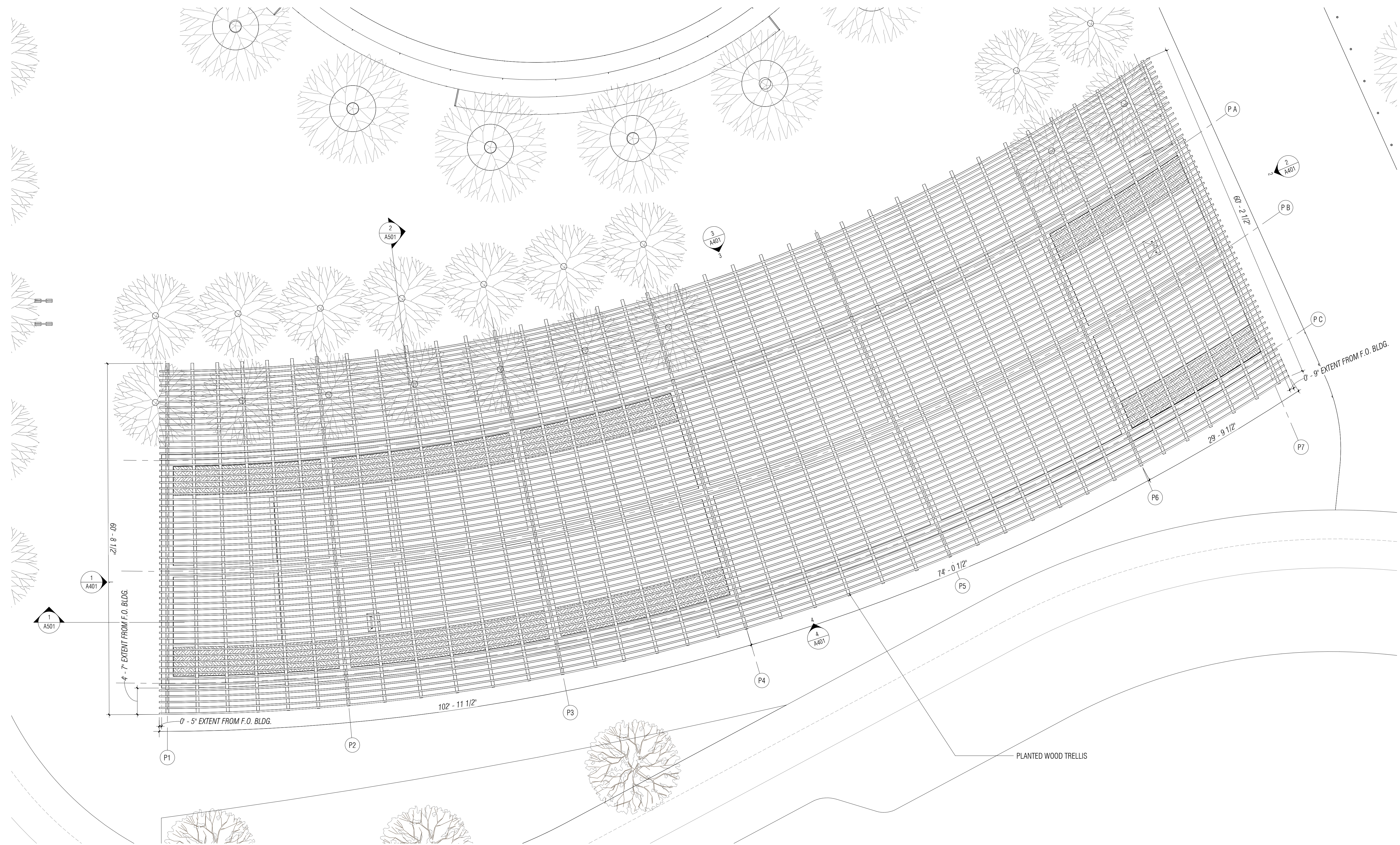
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DRAWING TITLE:
WILLOW VILLAGE TOWN SQUARE
Floor Plan - Planter & Mechanical Well

DRAWING NO:
A2.02

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2 TOWN SQUARE PAVILION ROOF PLAN
1/8" = 1'-0"



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WILLOW VILLAGE
Architectural Control Package - Parcel 1 - Town Square
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SCALE: 1/8" = 1'-0"
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DRAWING TITLE:
WILLOW VILLAGE TOWN SQUARE
Roof Plan

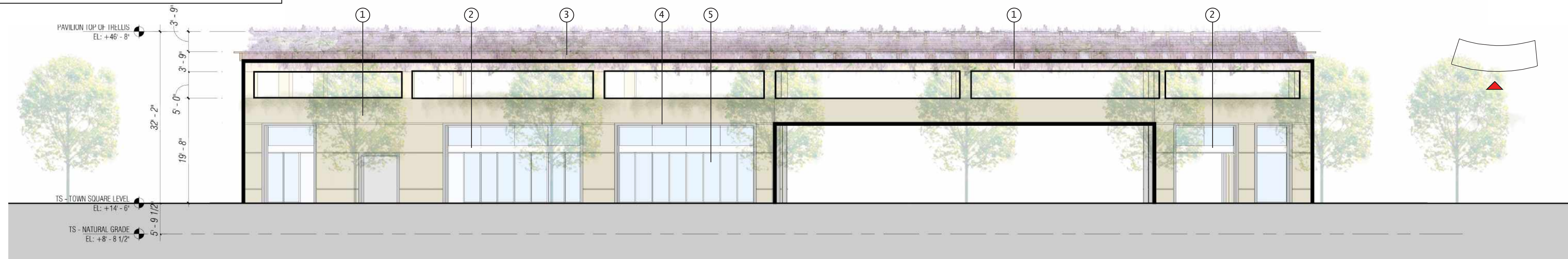
DRAWING NO:
A2.03

Material Legend	
Key Value	Keynote Text
1	GFRC or Panelized Cement Board
2	Off-White Color Metal Panel
3	Engineered Wood Trellis
4	Extruded Aluminum
5	Operable Folding Glass Partition

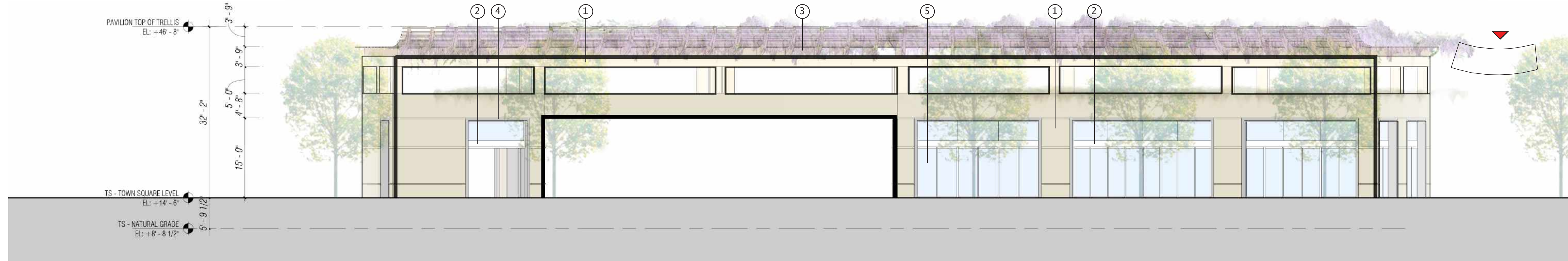
FOR BIRD FRIENDLY COMPLIANCE INFORMATION:
REFER TO SHEET A9.15
AND
THE BIRD FRIENDLY COMPLIANCE SUMMARY REPORT
ISSUED UNDER SEPARATE COVER



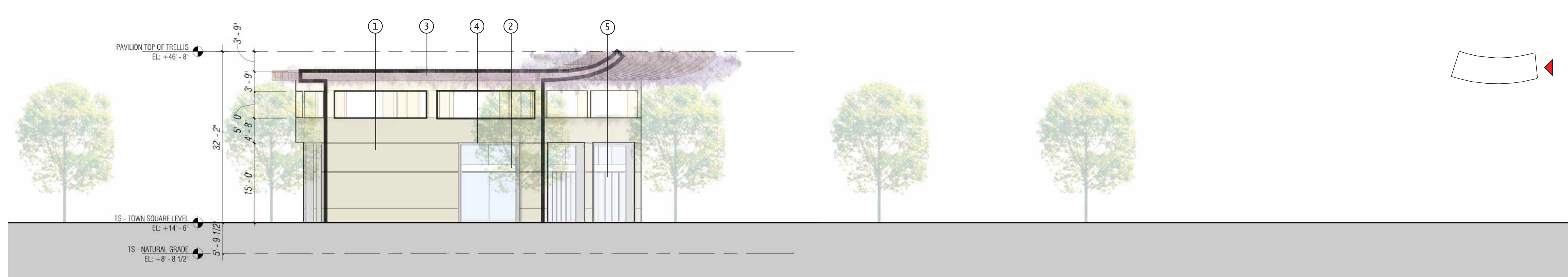
4 PAVILION - WEST ELEVATION
3/32" = 1'-0"



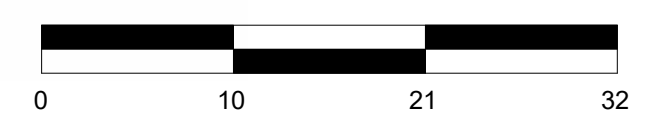
3 PAVILION - SOUTH ELEVATION
3/32" = 1'-0"



2 PAVILION - NORTH ELEVATION
3/32" = 1'-0"



1 PAVILION - EAST ELEVATION
3/32" = 1'-0"



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WILLOW VILLAGE
Architectural Control Package - Parcel 1 - Town Square
Menlo Park, CA
PENINSULA INNOVATION PARTNERS

SCALE:
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. FOR SIZE CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

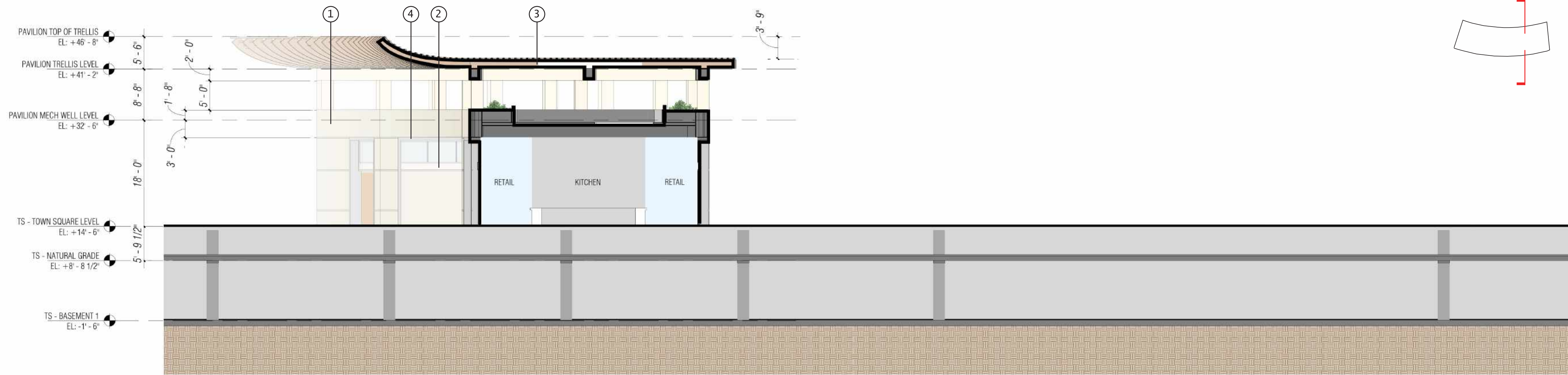
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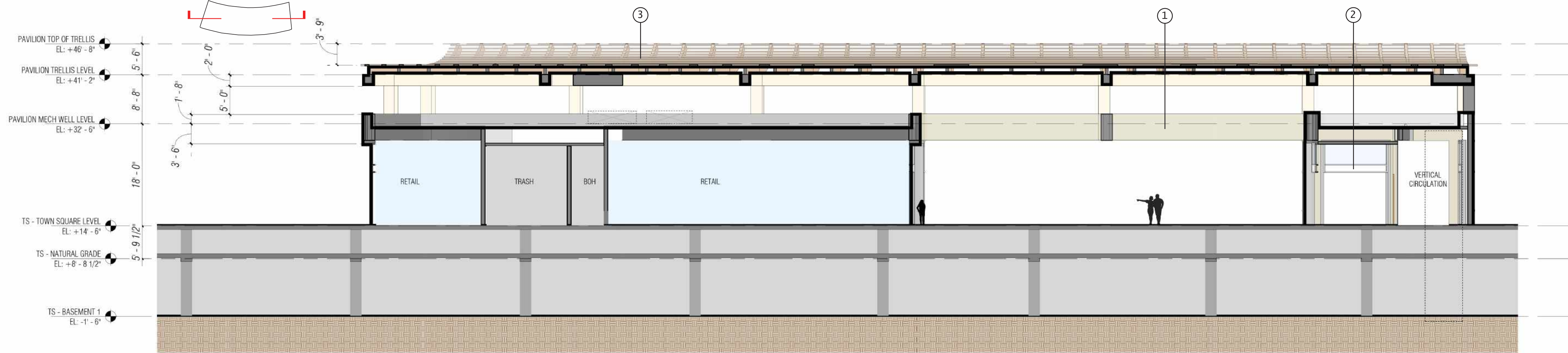
DRAWING TITLE:
WILLOW VILLAGE TOWN SQUARE
Building Elevations

DRAWING NO:
A4.01

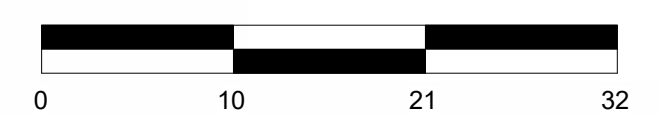
Material Legend	
Key Value	Keynote Text
1	GFRC or Panelized Cement Board
2	Off-White Color Metal Panel
3	Engineered Wood Trellis
4	Extruded Aluminum
5	Operable Folding Glass Partition



2 PAVILION - SECTION
3/32" = 1'-0"



1 PAVILION - LONGITUDINAL SECTION
3/32" = 1'-0"



SCALE: 3/32" = 1'-0"
NOTE: THIS DRAWING IS TO BE USED AS A GUIDE ONLY. DO NOT SCALE. DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. SEE SPECIFICATIONS FOR MATERIALS AND FINISHES. MEASUREMENTS THAT ARE NOT INDICATED.

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VIEW FROM WEST ST EDGE



VIEW FROM WEST ST AND MAIN ST INTERSECTION

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 Architectural Control Package - Parcel 1 - Town Square
 Menlo Park, CA

SCALE:
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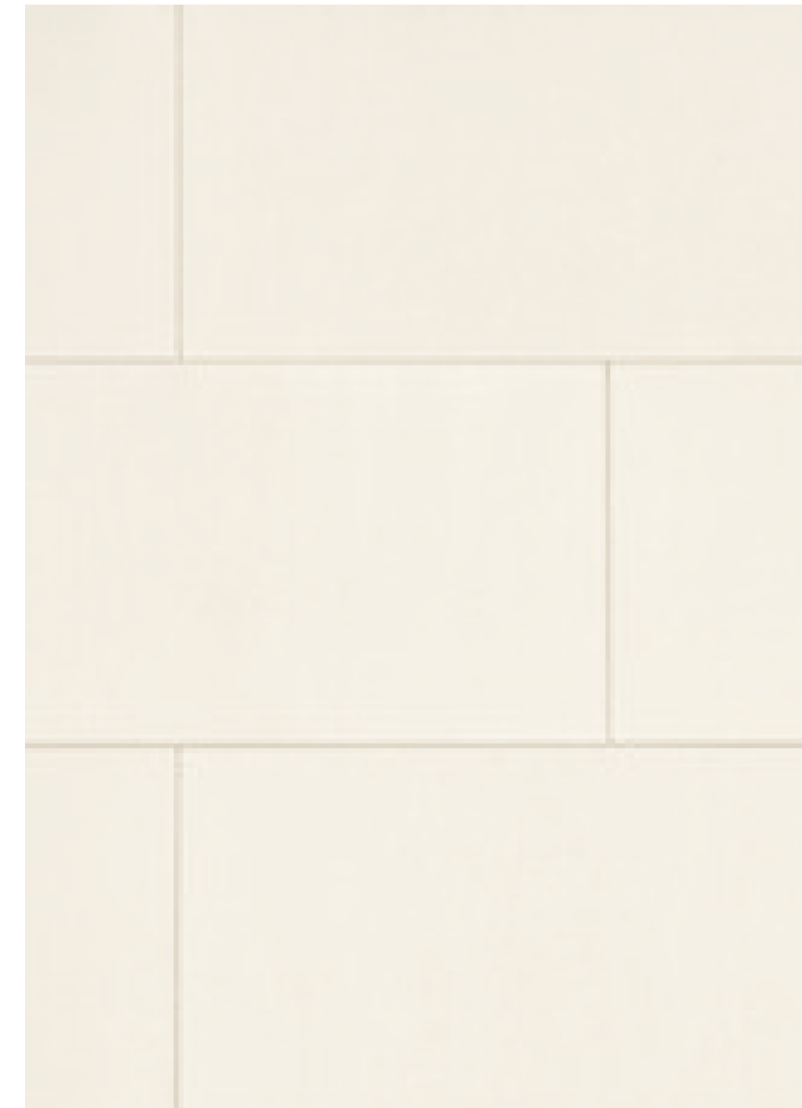
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DRAWING TITLE:
WILLOW VILLAGE TOWN SQUARE
 Perspectives

DRAWING NO:
A6.01



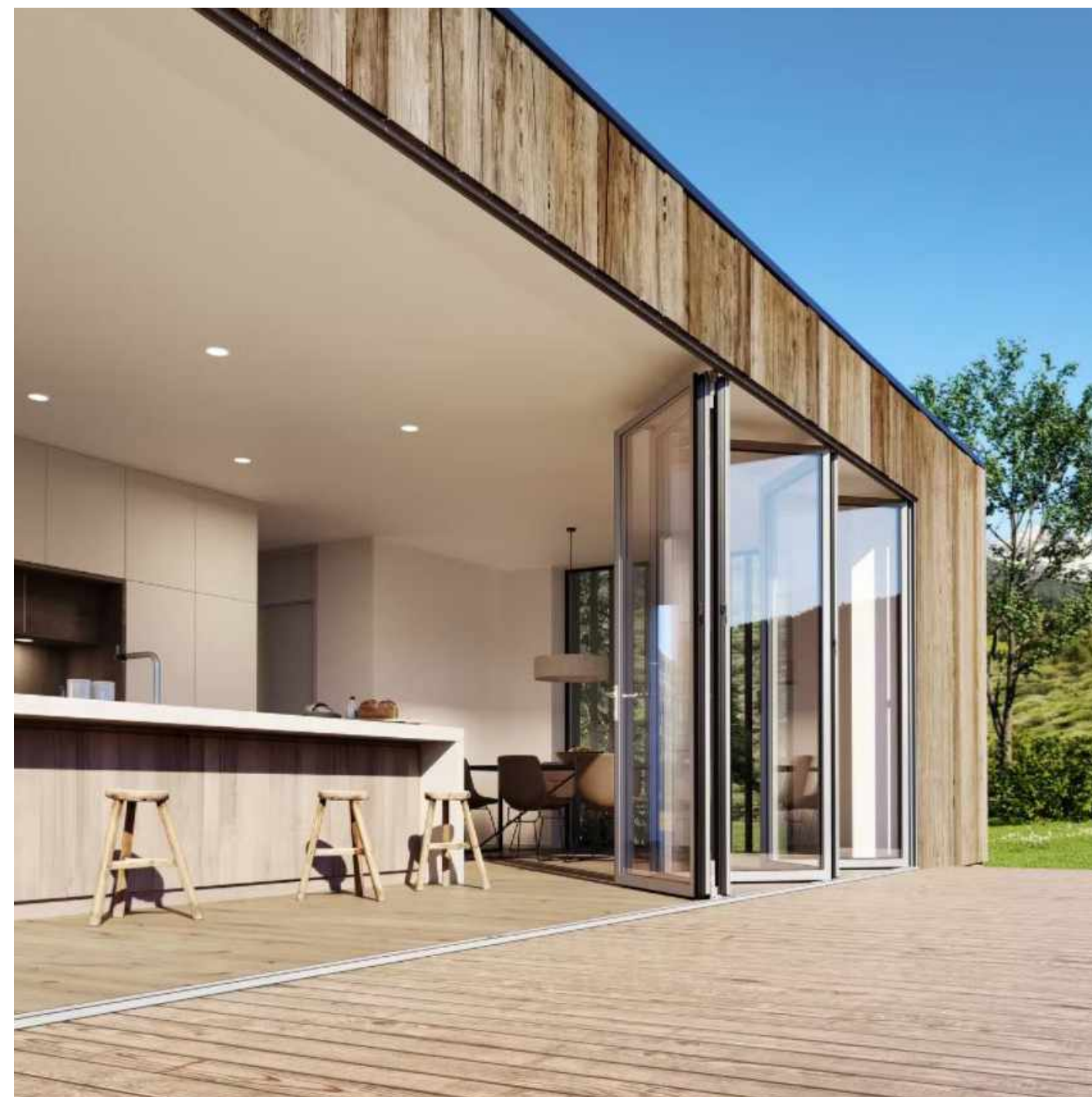
GFRC or Panelized Cement Board



GFRC or Panelized Cement Board



Engineered Wood Trellis, Species TBD, Earth Tone Color Stain Finish



Operable Folding Glass Panels



Vision glass



Metallic Grey Aluminum Mullions



Bronze Finish Aluminum Spandrel Panels

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O Green and Sustainable Building

Requirement	Reference	Standard	Proposal / Notes	Compliance
Green Building	16.43.140(1)A	Green Building: Any new construction, addition or alteration of a building shall be required to comply with Table 16.43.140(1)(B). 100,001 sq. ft. and above must be designed to meet LEED Gold BD+C Required to enroll in EPA Energy Star Building Portfolio Manager and submit documentation of compliance as required by the city. The electric vehicle charging spaces requirements in Section 16.72.010 apply.	N/A	N/A
Energy	16.43.140(2)A	New construction projects will meet 100% of energy demand (electricity and natural gas) through any combination of the following measures: i. On-site energy generation ii. Purchase of 100% renewable electricity through Peninsula Clean Energy or Pacific Gas and Electric Company in an amount equal to the annual energy demand of the project. iii. Purchase and installation of local renewable energy generation within the city of Menlo Park in an amount equal to the annual energy demand of the project. iv. Purchase of certified renewable energy credits and/or certified renewable energy offsets annually in an amount equal to the annual energy demand of the project. If a local amendment to the California Energy Code is approved by the California Energy Commission (CEC), the following provision becomes mandatory: The project will meet one hundred percent (100%) of energy demand (electricity and natural gas) through a minimum of thirty percent (30%) of the maximum feasible on-site energy	See Plans and Masterplan Documents	Complies
Water Use Efficiency and Recycled Water	16.43.140(3)A	Single pass cooling systems shall be prohibited in all new buildings.		Complies
	16.43.140(3)B	All new buildings shall be built and maintained without the use of well water.		Complies
	16.43.140(3)C	All buildings 250,000sf or more in gross floor area shall prepare and submit a proposed water budget and accompanying calculations following the methodology approved by the city. The water budget shall account for the potable water demand reduction resulting from the use of an alternative water source for all city approved nonpotable applications. The water budget and calculations shall be reviewed and approved by the city's public works director prior to certification of occupancy and the building owner shall submit compliance data at intervals following occupation.	N/A	N/A
	16.43.140(3)D	All buildings shall be dual plumbed for the internal use of recycled water.		Complies
	16.43.140(3)E	All new buildings 250,000sf or more in gross floor area shall use an alternate water source for all city approved nonpotable applications. An alternative source may include, but is not limited to, treated nonpotable water such as graywater. If the city has not designated a recycled water purveyor and/or municipal recycled water is not available prior to planning project approval, applicants may propose conservation measures to meet the requirements of this section subject to approval of the city council.	N/A	N/A
	16.43.140(3)F	Potable water shall not be used for dust control on construction projects.		Complies
	16.43.140(3)G	Potable water shall not be used for decorative features unless the water recirculates.		Complies
Hazard Mitigation and Sea Level Rise Resiliency	16.43.140(4)A	Per the Willow Village Master plan, minimum first floor finished floor level shall be 13' above sea level, which is consistent with 16.45.130(4)A requirement of 2' above Base Flood Elevation (BFE). Garage entrances will be graded to be above the 1' BFE.	See Plans	Complies
	16.43.140(4)B	Prior to building permit issuance all new buildings shall pay any required fee or proportionate fair share for the funding of sea level rise projects, if applicable.		
Waste Management	16.43.140(5)A	Applicants shall submit a zero-waste management plan to the city to show how they will reduce, recycle, and compost waste from the demolition, construction, and occupancy phases of the building. For the purposes of this chapter "zero waste" is defined as 90% overall diversion of nonhazardous materials from landfill and incineration wherein discarded materials are reduced, reused, recycled, or composted. Zero-waste plan elements shall include the property owner's assessment of the types of waste to be generated during demolition, construction and occupancy, and a plan to collect, sort and transport materials to uses other than landfill and incineration.	See Plans and Msterplan Documents	Complies
Bird Friendly Design	16.43.140(6)A	No more than 10% of façade surface area shall have non-bird-friendly glazing.		
	16.43.140(6)B	Bird-friendly glazing includes but is not limited to opaque glass, covering the outside surface of the glass with patterns, panned glass with fenestration, frit, or etching patterns, and external screens over nonreflective glass. Highly reflected glass is not permitted.		
	16.43.140(6)C	Occupancy sensors or other switch control devices shall be installed on nonemergency lights and shall be programmed to shut off during nonwork hours and between ten (10) p.m. and sunrise.		
	16.43.140(6)D	Placement of buildings shall avoid the potential funneling of flight paths towards a building façade.	Site specific bird safe report will be submitted under separate future cover	
	16.43.140(6)E	Glass skyways or walkways, freestanding (see-through) glass walls and handrails, and transparent building corners shall not be allowed.		
	16.43.140(6)F	Transparent glass shall not be allowed at the rooflines of buildings, including in conjunction with roof decks, patios, and green roofs.		
	16.43.140(6)G	Use of rodenticides shall not be allowed		
16.43.140(6)H	A project may receive a waiver from one (1) or more of the items listed in subsections (6)(A) to (6)(G) of this section, subject to the submittal of a site specific evaluation from a qualified biologist and review and approval by the planning commission.			

General Zoning Requirements

Requirement	Reference	Standard	Proposal / Notes	Compliance
Solar Access	16.65.010	Neither architectural control nor a building permit shall be granted for the construction of a structure if such construction shall cause said structure to penetrate the solar envelope as established for the parcel on which the structure is located.	See Plans, Diagrams, and Calculations	Complies
Electric Vehicle Charging Stations	12.18.030 CGBC 4.106.4.2	Adopts amended California Green Building Code Section 4.106.4. Per 4.106.4.2: 10% of total number parking spaces at multifamily dwellings shall be electric vehicle charging spaces capable of supporting future electric vehicle charging stations, rounded up.	See Plans, Diagrams, and Calculations	Complies

PENINSULA INNOVATION PARTNERS

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Menlo Park, CA

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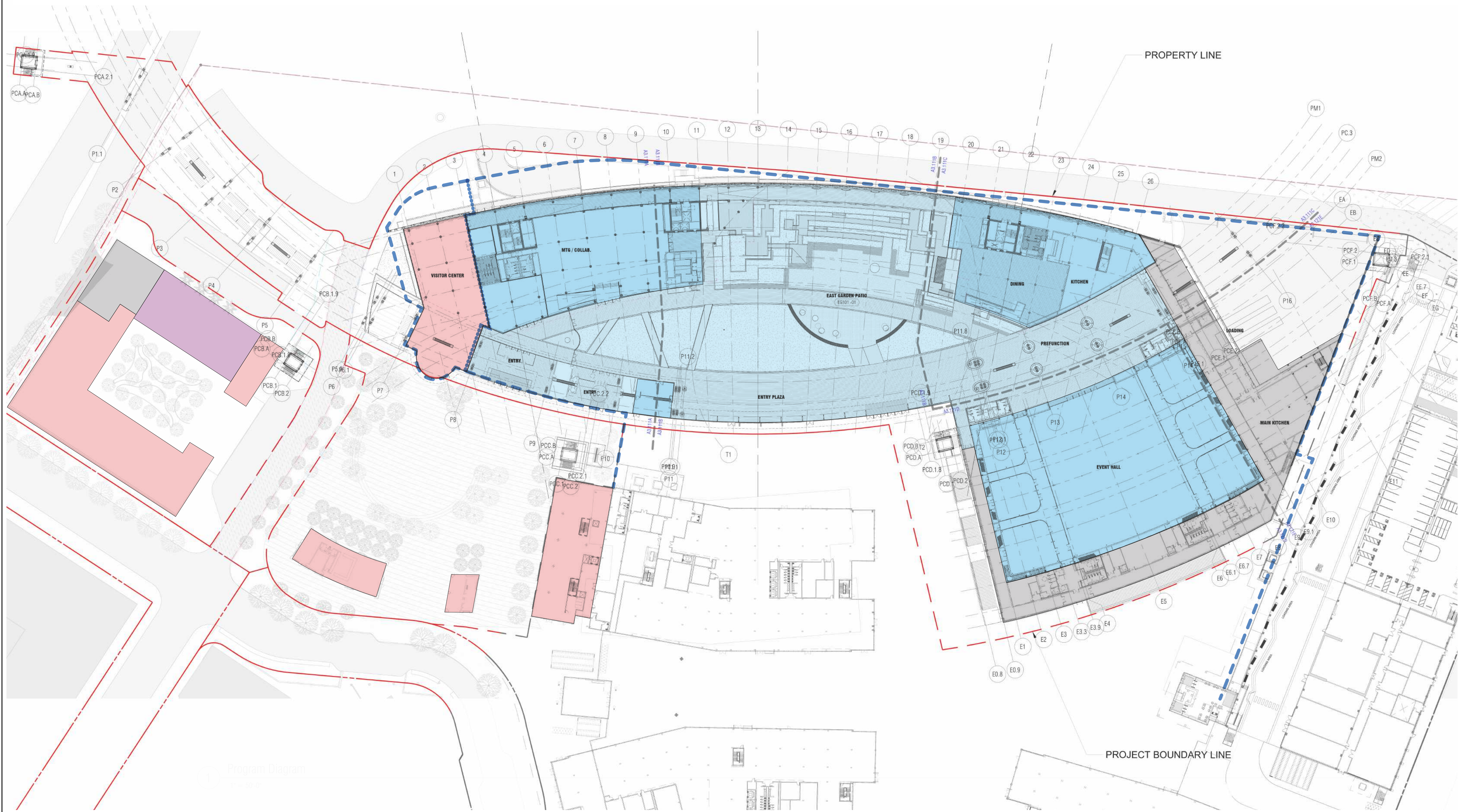
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DRAWING TITLE:
WILLOW VILLAGE TOWN SQUARE
Zoning Code Compliance (cont.)

DRAWING NO:
A8.02

KEY

- PRIVATE
- PRIVATE - AMENITY
- PRIVATE - HOTEL
- PRIVATE - BOH
- PUBLICLY ACCESSIBLE
- SECURITY LINE
- SECURITY SEPARATION LINE



WILLOW VILLAGE
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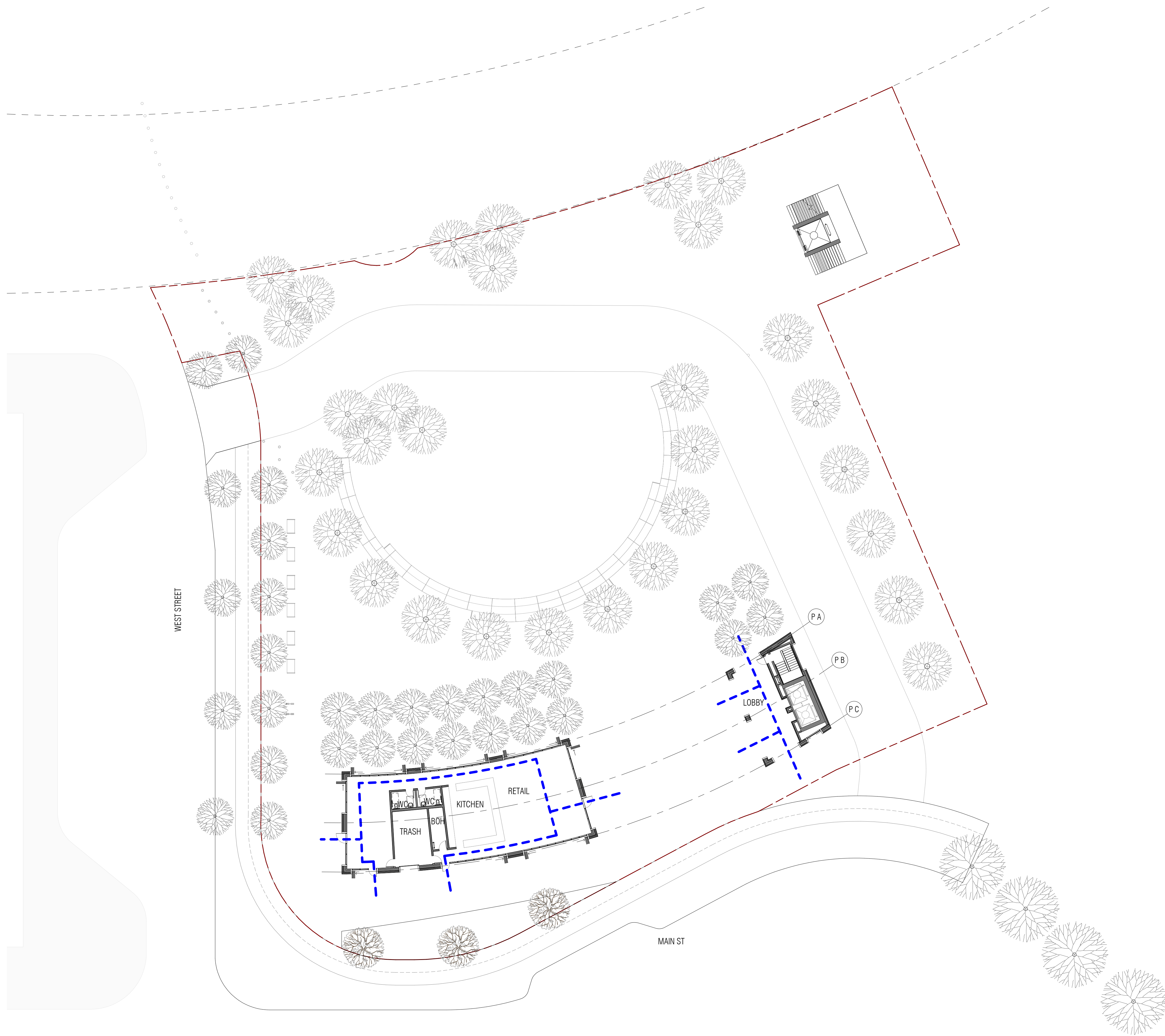
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DRAWING TITLE:
WILLOW VILLAGE TOWN SQUARE
 Program Diagram

DRAWING NO:
A9.00

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1 TOWN SQUARE PAVILION LEVEL 1
1" = 20'-0"



Key

— — — — — Accessible Path to Public Sidewalk



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 Peninsula Innovation Partners
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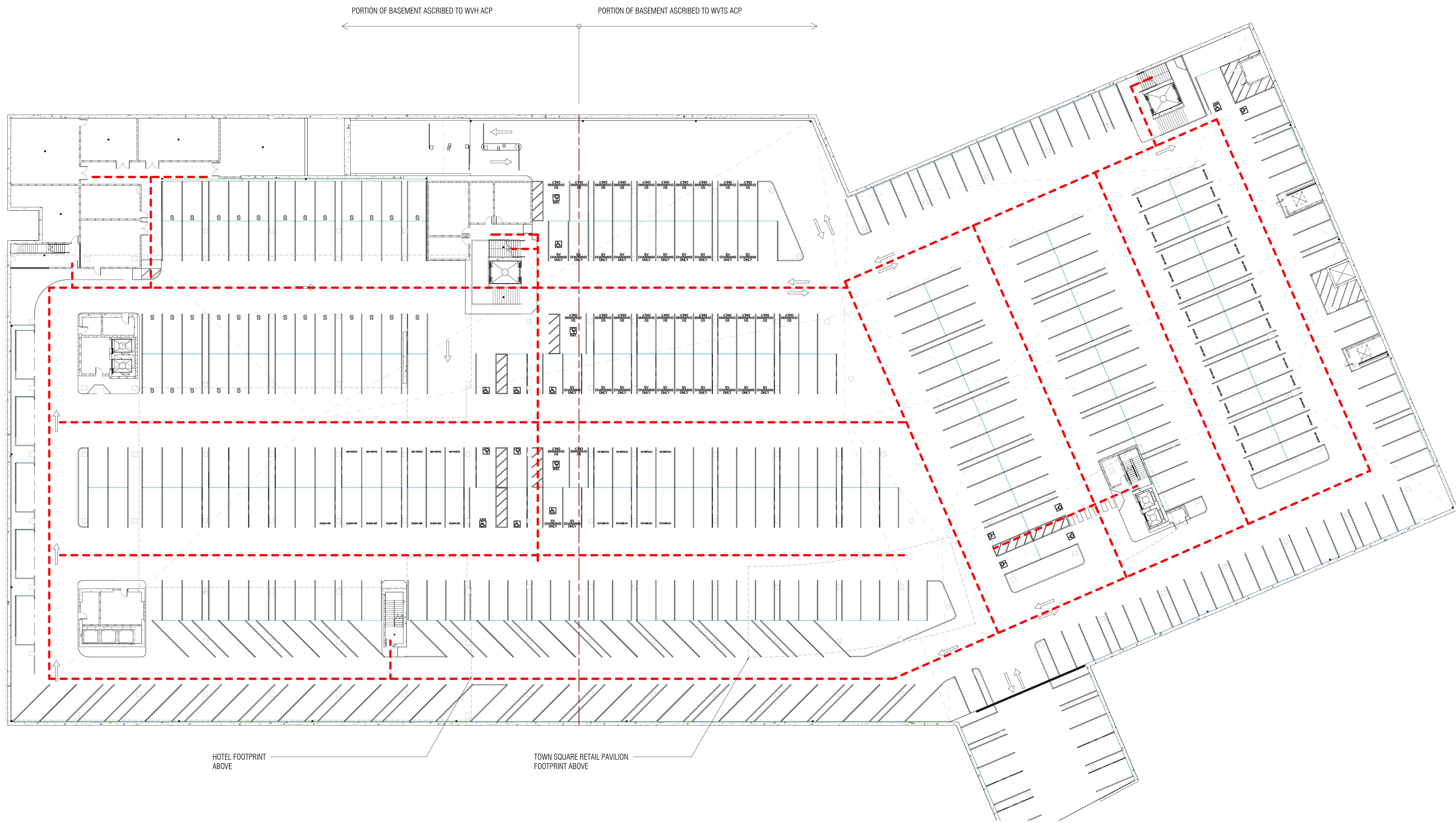
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DRAWING TITLE:
WILLOW VILLAGE TOWN SQUARE
 Accessibility Plan

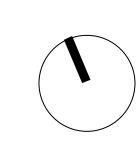
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1 TOWN SQUARE - BASEMENT LEVEL PLAN

3/64" = 1'-0"



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 Menlo Park, CA

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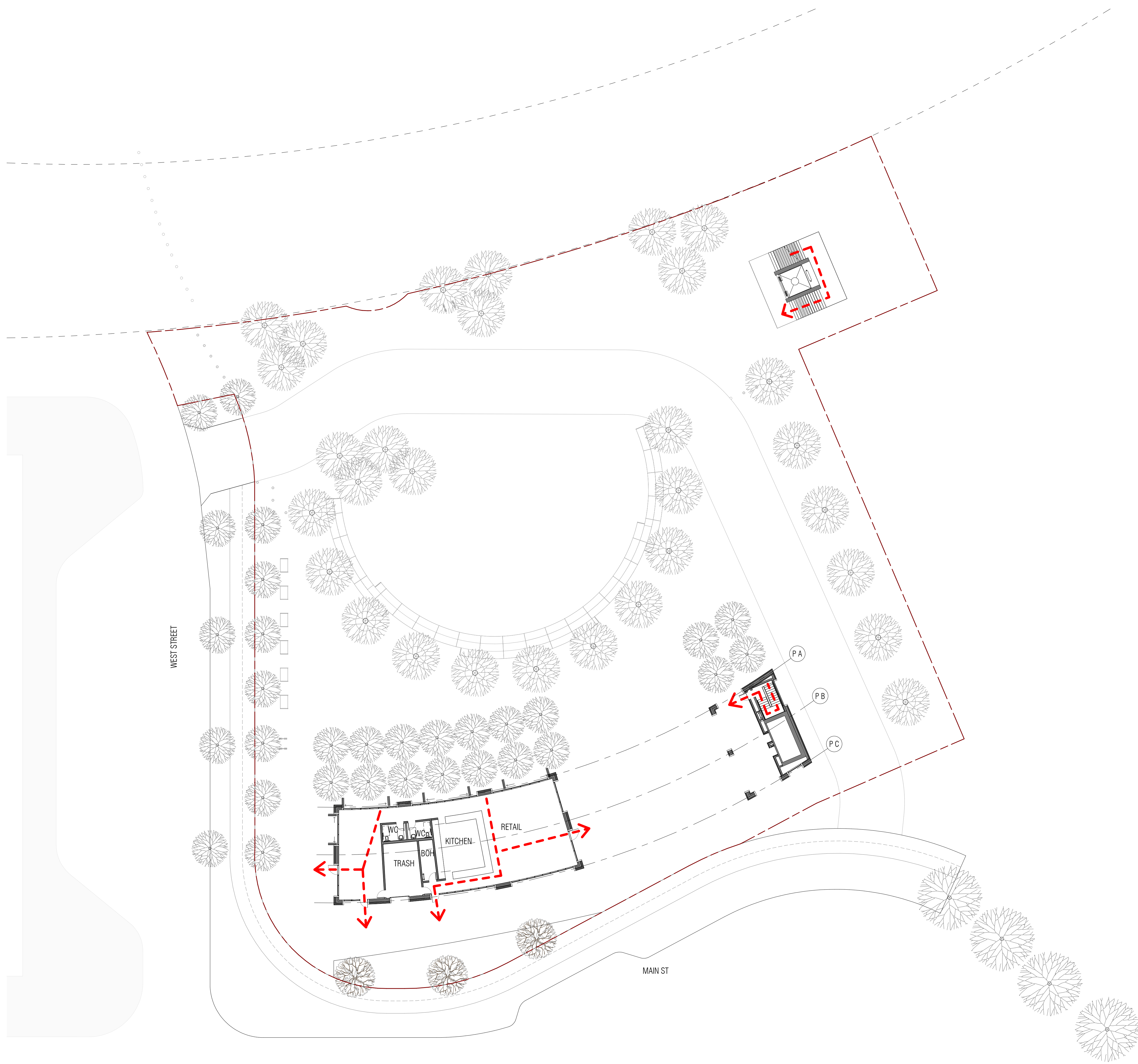
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DRAWING TITLE:
WILLOW VILLAGE TOWN SQUARE
 Exiting Plan - Basement

DRAWING NO:
A9.02a

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1 TOWN SQUARE PAVILION - LEVEL 1
1" = 20'-0"



Key

Exit Path of Travel

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 - Town Square
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WILLOW VILLAGE TOWN SQUARE
 Exiting Plan - Level 1

DRAWING NO:
A9.02b



ACP - TS - GFA - Included	
Name	Area

TS - TOWN SQUARE LEVEL	
TS Circulation -	1191.02 SF
TS Retail SF	3586.55 SF
	4777.56 SF

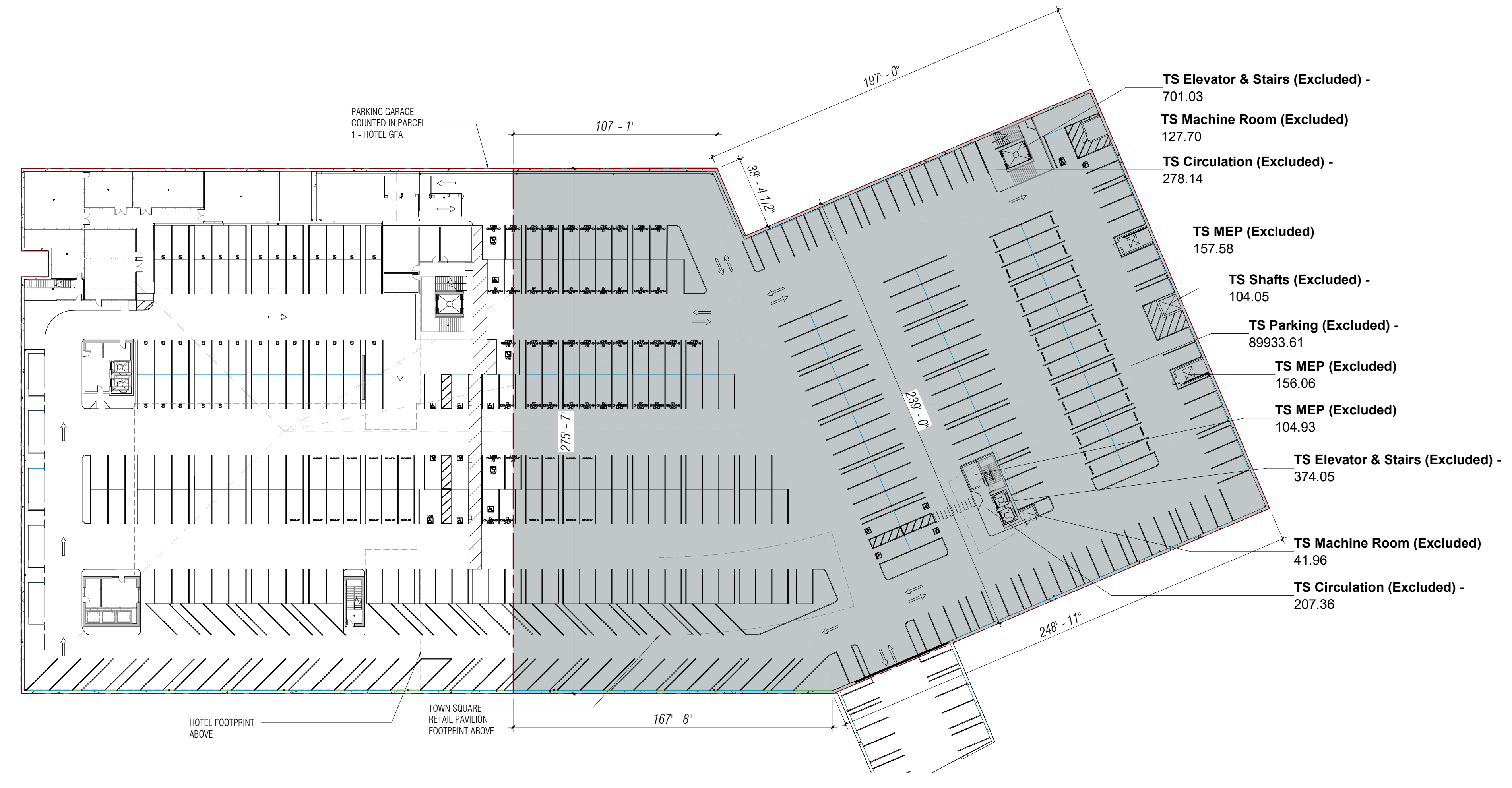
ACP - TS - GFA - Excluded	
Name	Area

TS - BASEMENT 1	
TS Circulation (Excluded) -	485.51 SF
TS Elevator & Stairs (Excluded) -	1075.08 SF
TS Machine Room (Excluded)	169.66 SF
TS MEP (Excluded)	418.57 SF
TS Parking (Excluded) -	89933.61 SF
TS Shafts (Excluded) -	104.05 SF
	92186.48 SF

Key

- Retail
- Circulation/Lobby/Common Area
- Excluded From GFA

2 TOWN SQUARE PAVILION - LEVEL 1
1" = 40'-0"



1 TOWN SQUARE PAVILION - BASEMENT
1" = 40'-0"

SCALE: As indicated
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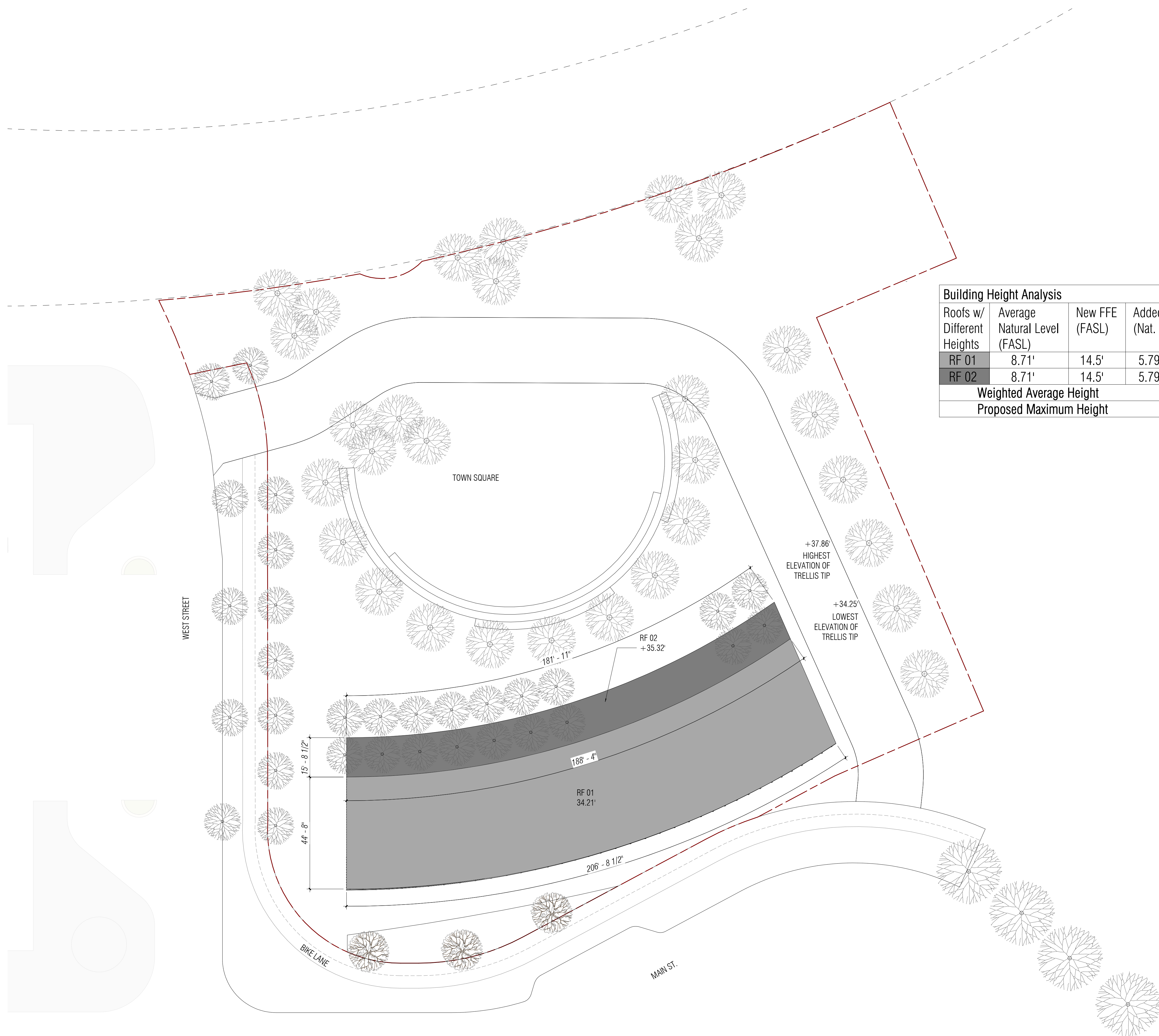
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NO.	DATE	ISSUE

DRAWING TITLE:
WILLOW VILLAGE TOWN SQUARE
 Square Footage Plan

DRAWING NO:
A9.04

3/8/2023 5:50:17 PM

1 TOWN SQUARE PAVILION - ROOF
1" = 20'-0"



Building Height Analysis							
Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE. To roof)	Roof Height (Nat. To roof)	Footprint (SF)	Roof Height x Footprint
RF 01	8.71'	14.5'	5.79'	28.42'	34.21'	8,858.00	303,032.18
RF 02	8.71'	14.5'	5.79	29.53'	35.32'	2,905.00	102,604.60
Weighted Average Height						34.48'	
Proposed Maximum Height						29.53'	

WILLOW VILLAGE
Architectural Control Package - Parcel 1 - Town Square
Menlo Park, CA

SCALE: 1" = 20'-0"
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
WILLOW VILLAGE TOWN SQUARE
Building Height Analysis Plan

DRAWING NO:
A9.05



3/8/2023 5:50:20 PM

1 TOWN SQUARE PAVILION - LEVEL 1
1" = 20'-0"



OPEN SPACE SUMMARY	
OPEN SPACE	AREA (FT ²)
OPEN SPACE (PUBLICLY ACCESSIBLE)	52,408
AT-GRADE OPEN SPACE (NO PUBLIC ACCESS)	9,621
TOTAL	62,029

SCALE: 1" = 20'-0"
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY, OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

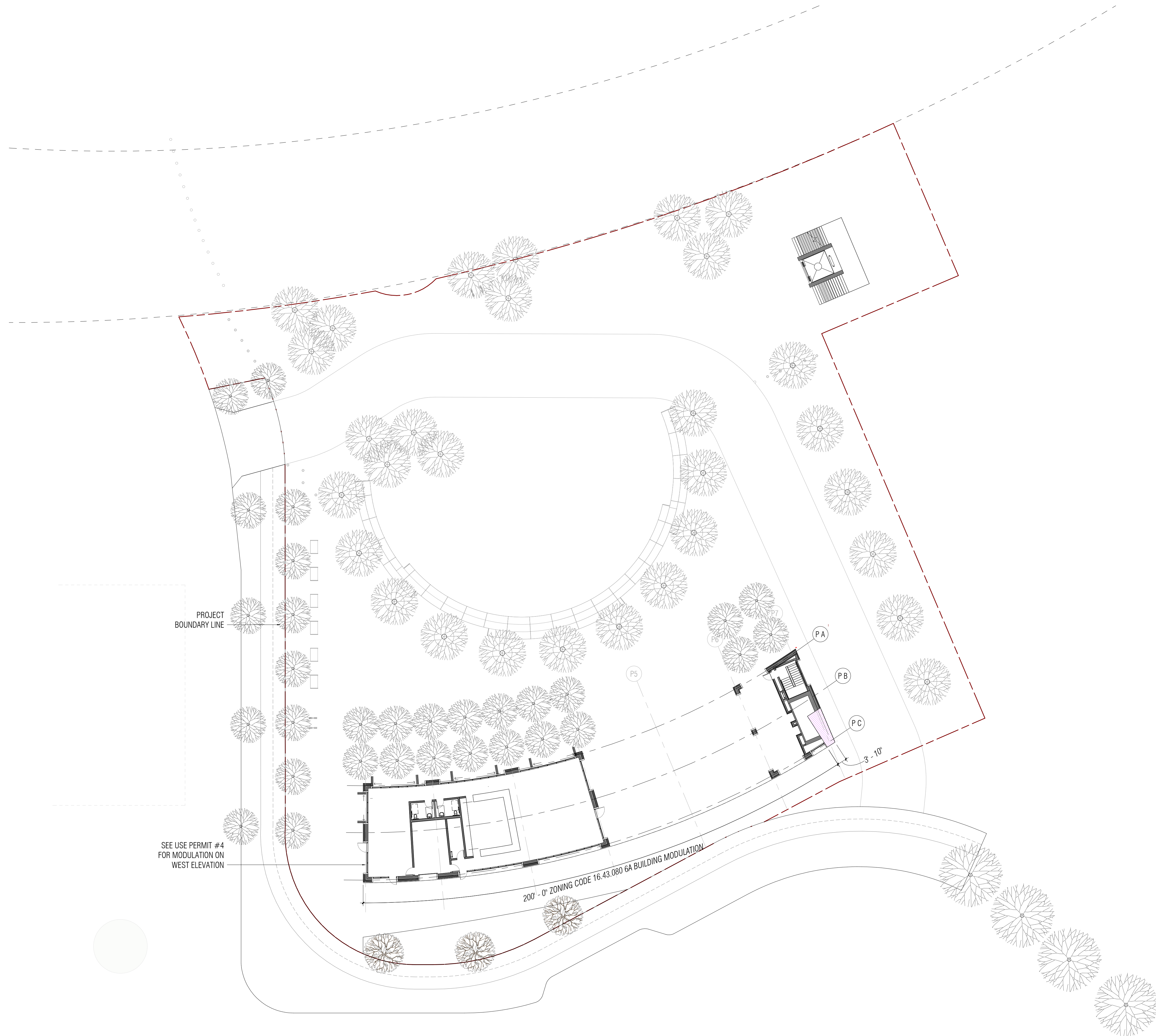
MILESTONES	
DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE



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1 TOWN SQUARE PAVILION - LEVEL 1
1" = 20'-0"



Key

Modulation (Major) Non-Compliant Area
(Zoning Code 16.43.080 6A)

PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 - Town Square
Menlo Park, CA

SCALE: As indicated
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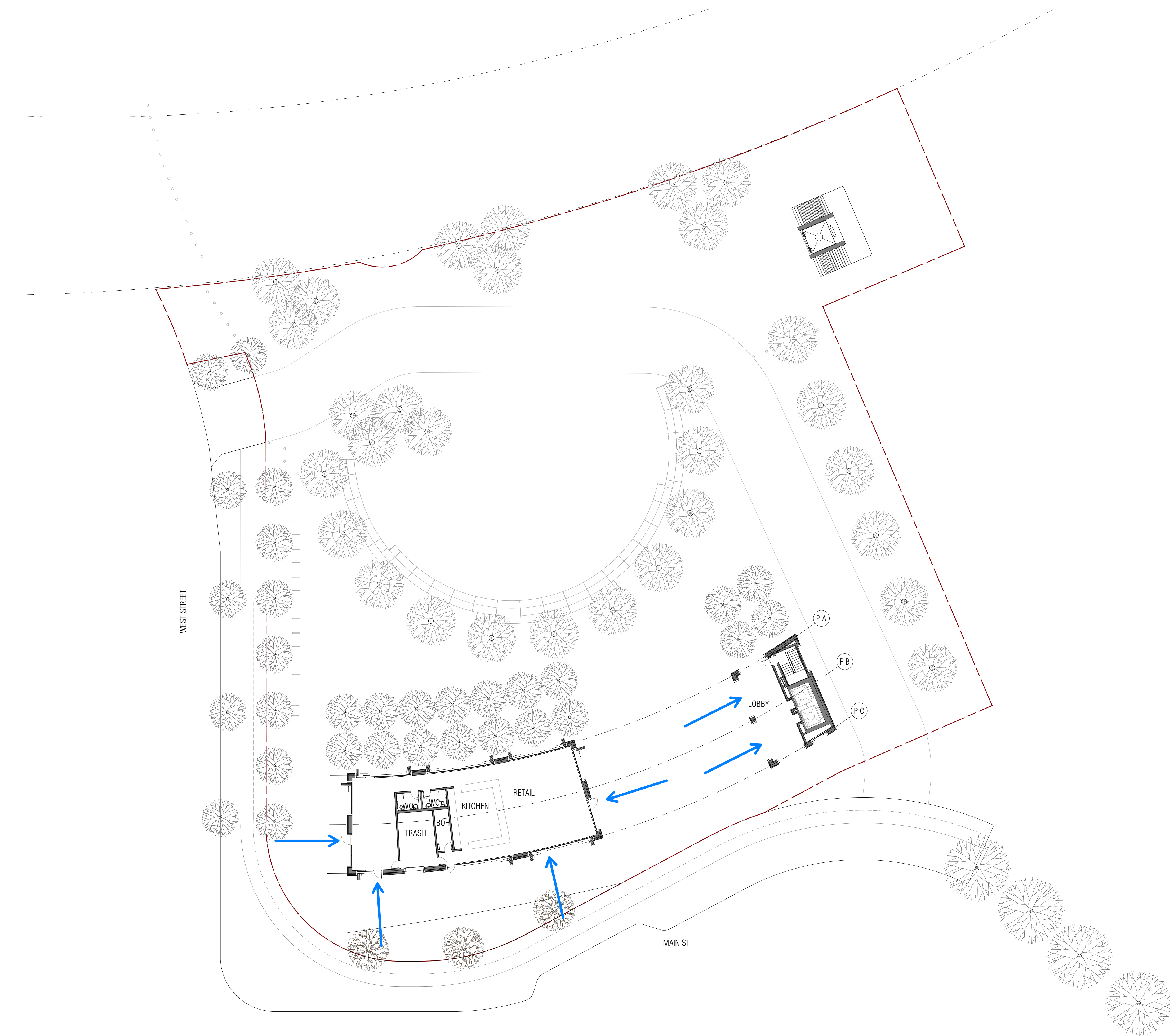
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WILLOW VILLAGE TOWN SQUARE
Modulation Diagram - Plan

DRAWING NO:
A9.09

3/8/2023 5:50:23 PM

1

TOWN SQUARE PAVILION LEVEL 1
1" = 20'-0"



Key

Building Entrances

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 - Town Square
 Peninsula Innovation Partners
 Menlo Park, CA

SCALE: 1" = 20'-0"
 NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES

DATE	ISSUE
03/10/2023	ACP

REVISIONS

NO.	DATE	ISSUE

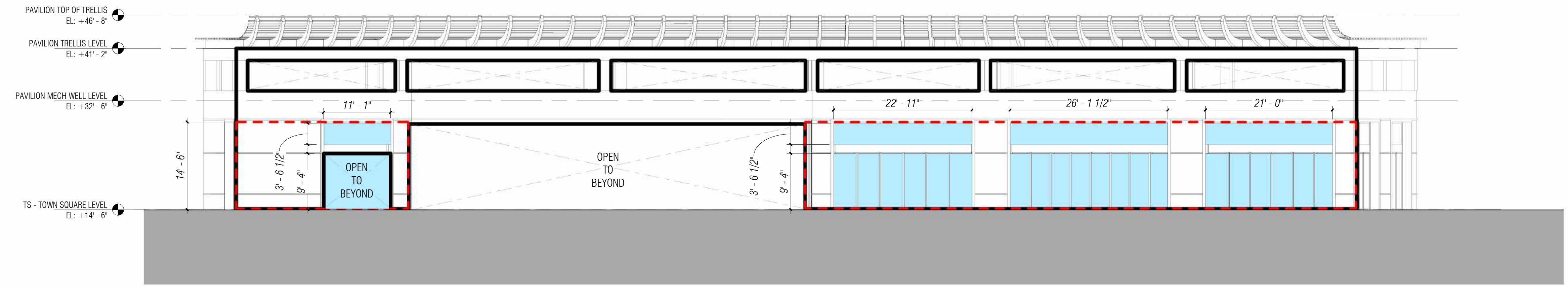
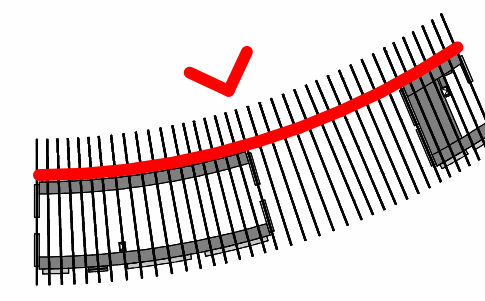
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WILLOW VILLAGE TOWN SQUARE
 Building Entrance Diagram

DRAWING NO:

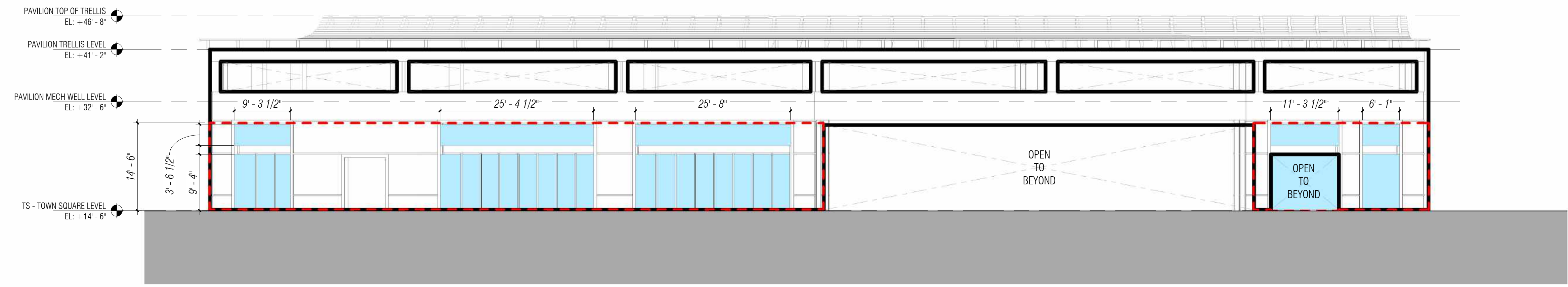
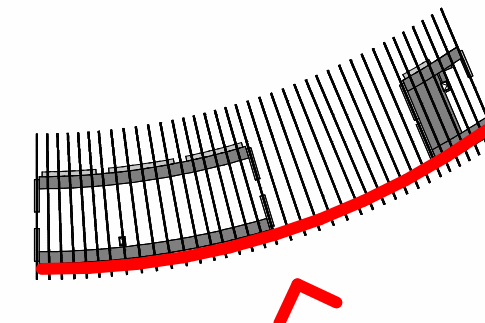
A9.11

Level 1 Transparency Analysis					
	East (sf)*	West (sf)	North (sf)*	South (sf)	Total (sf)
Level 1 Area	599	593	1,713	1,869.5	4,774.5
Level 1 Transparent Area	131.5	308.5	993	952	2,385
% of Level 1 Transparent Area	22% (n/a)	52% complies	58% (n/a)	51% complies	50%

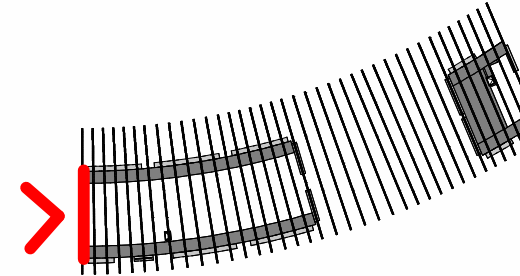
*East and North elevation not counted towards total transparency analysis.



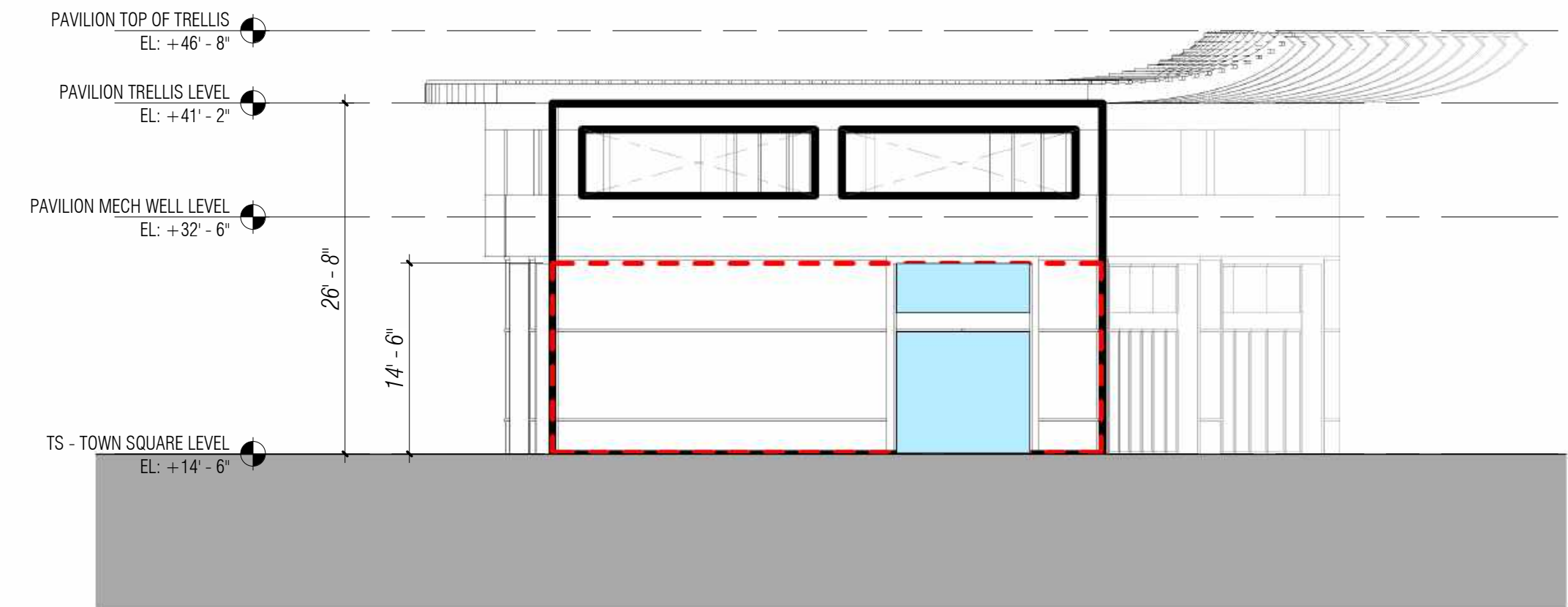
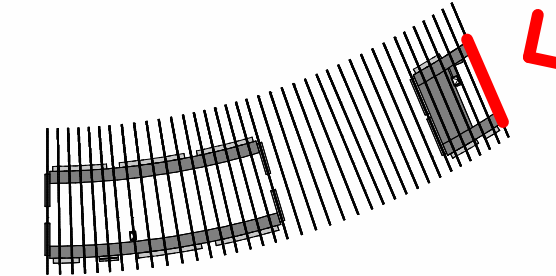
4 PAVILION - NORTH ELEVATION (FROM TOWN SQUARE)
3/32" = 1'-0"



3 PAVILION - SOUTH ELEVATION (FROM MAIN STREET)
3/32" = 1'-0"



2 PAVILION - WEST ELEVATION - (FROM WEST STREET)
3/32" = 1'-0"

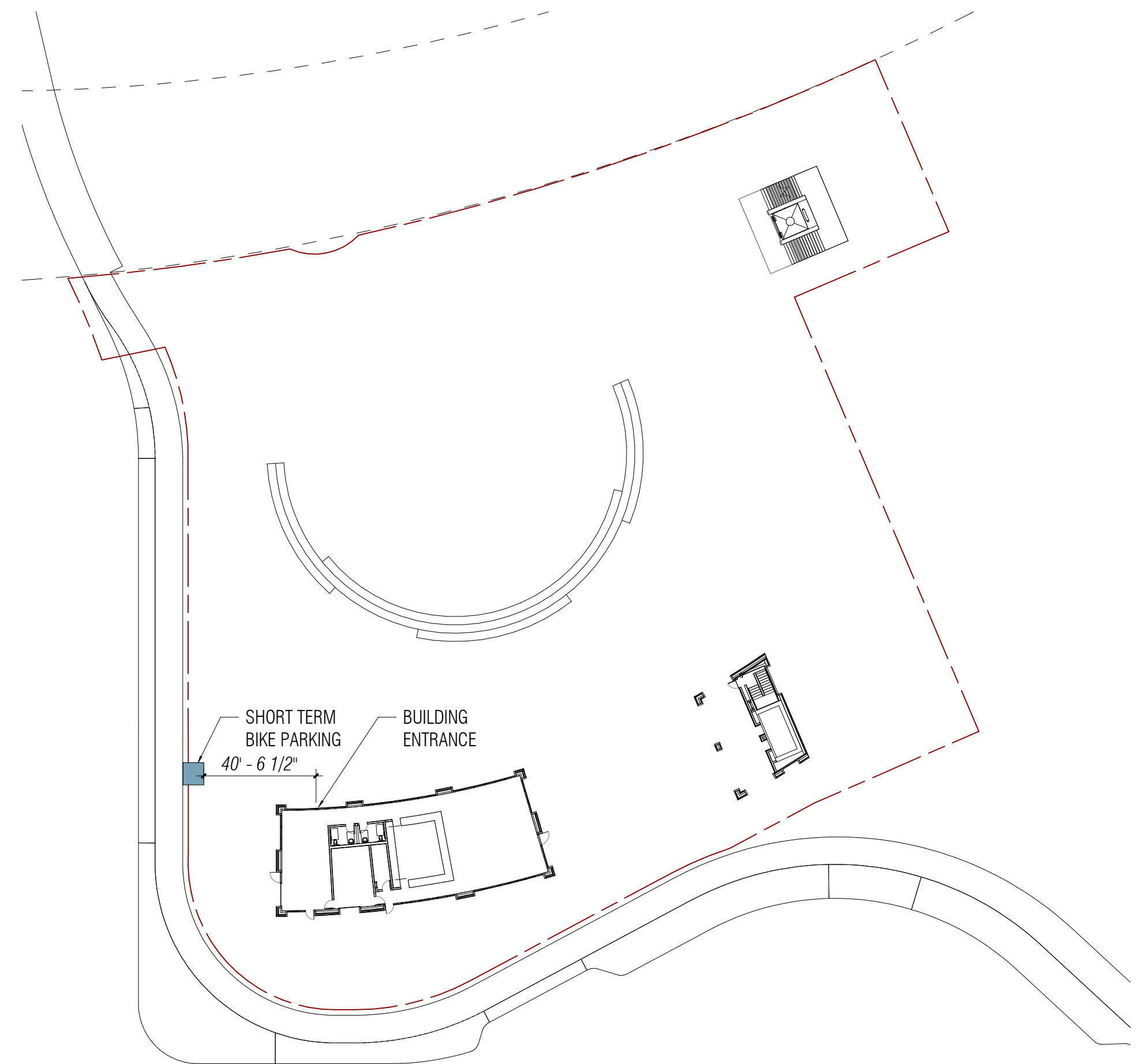


1 PAVILION - EAST ELEVATION (FROM TOWN SQUARE)
3/32" = 1'-0"

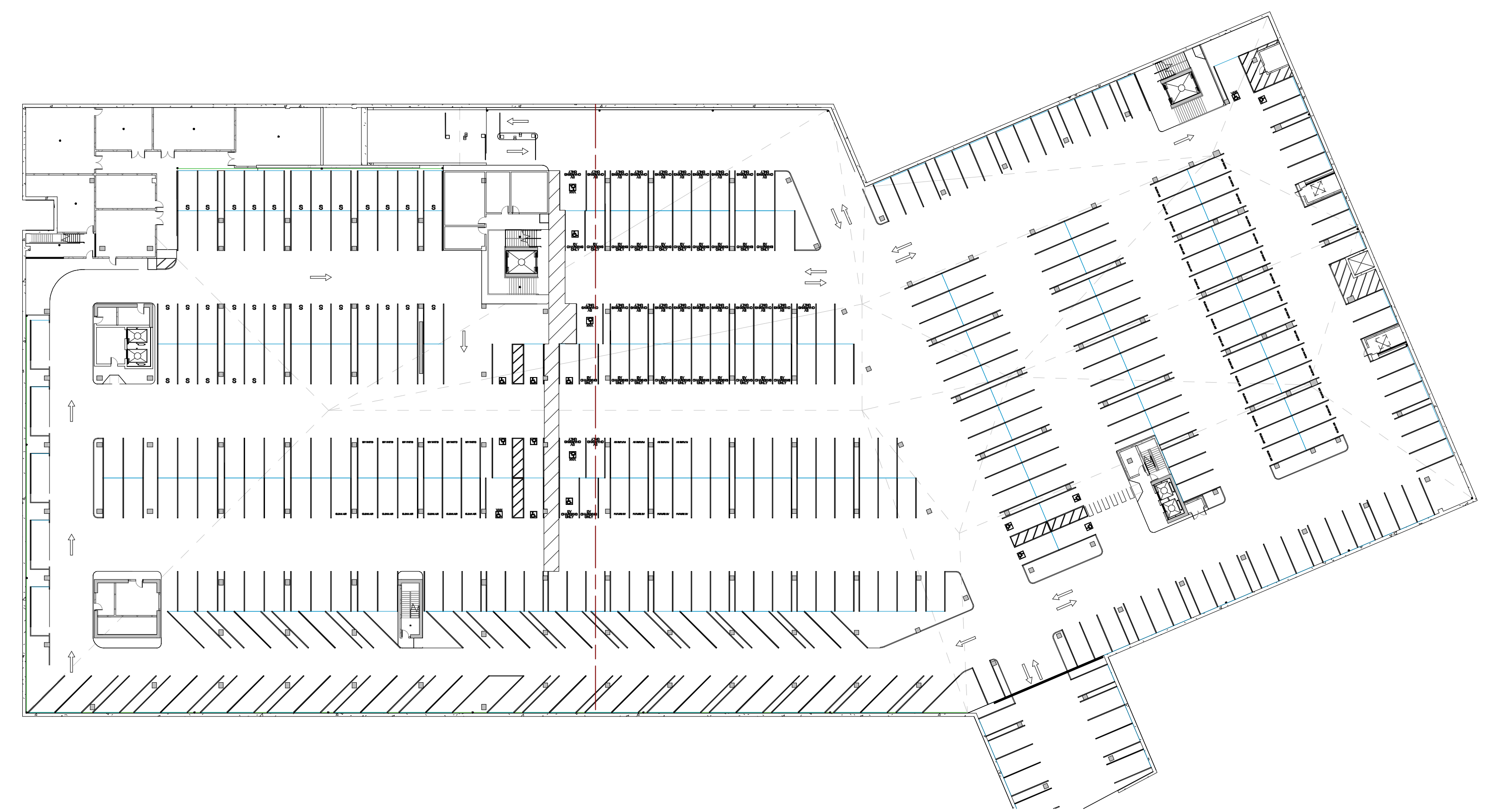
SCALE: As indicated
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1 TOWN SQUARE PAVILION - LEVEL 1
1" = 40'-0"



2 TOWN SQUARE PAVILION - BASEMENT
1" = 40'-0"

Town Square Parking		
16.43.090 Parking Standards		
Retail	Minimum Spaces (Per 1,000 Sq. Ft)	Maximum Spaces (Per 1,000 Sq. Ft.)
	2.5	3.3
Retail 4,777.56 SF	13 Spaces Minimum	17 Spaces Maximum

Town Square EVSE Spaces					
Per Menlo Park Municipal Code 12.18.110					
A minimum of 15% of total required number of parking stalls are to be EV Spaces with installed EVSE in 10% of the total required number of parking stalls, with a minimum of 1, in charging space(s).					
	Total Spaces	EV Spaces Calculation	Required EV Spaces	EVSE Spaces Calculation	Required EVSE Spaces
Retail	13	13x15%=1.95	2	13x10%=1.3	2

Basement Parking Schedule				
Level	Type	Spaces per Parking Unit	Count	Total Space Count
Basement	Ev Future 8.5*18	1	15	15
Basement	EV HC Ambulatory 9x18	1	2	2
Basement	EV HC Standard 9x18	1	2	2
Basement	EV HC Van 12x18	1	1	1
Basement	EV Standard 8.5x18	1	29	29
Basement	HC Standard 9x18	1	7	7
Basement	HC Van 12x18	1	3	3
Basement	Standard 8.5x18	1	208	208
Grand Total				267

Bike Parking Schedule*				
	Area	Short Term	Long Term	Total
Retail*	4,777.56	1	0	1

*20% long term and 80% short term for retail.

PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 - Town Square
Menlo Park, CA

SCALE: 1" = 40'-0"
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DATE	ISSUE
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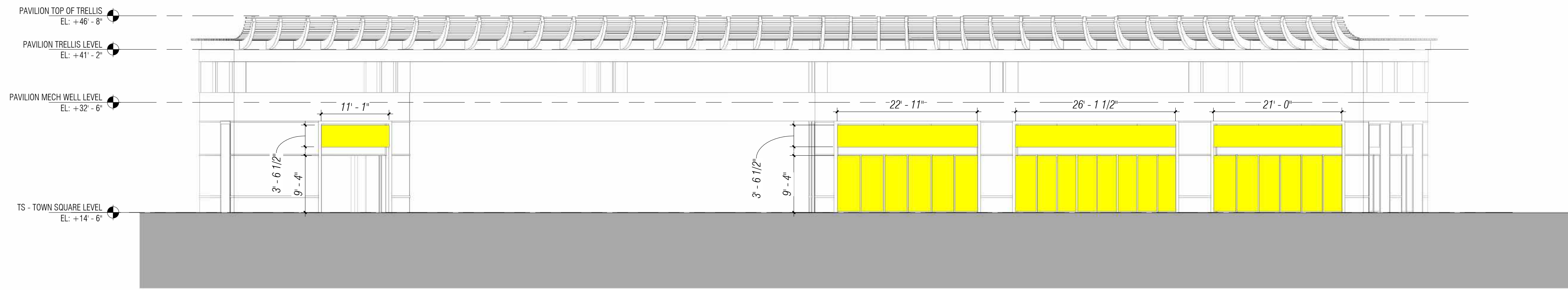
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DRAWING TITLE:
WILLOW VILLAGE TOWN SQUARE
Parking Count Diagram

DRAWING NO:
A9.14

Key

- Bird-Friendly Glazing:
 - Vertical Elements of the window patterns will be at least 0.25 inches wide at a maximum spacing of 4 inches and/or have horizontal elements at least 0.125 inches wide at a maximum spacing of 2 inches OR
 - Bird Safe Glazing shall have a Threat Factor ≤ 30
 - AND
 - Visible Reflectance $\leq 15\%$
- Percentage of Total Facade are to have Non Bird-Friendly Glazing = 0%



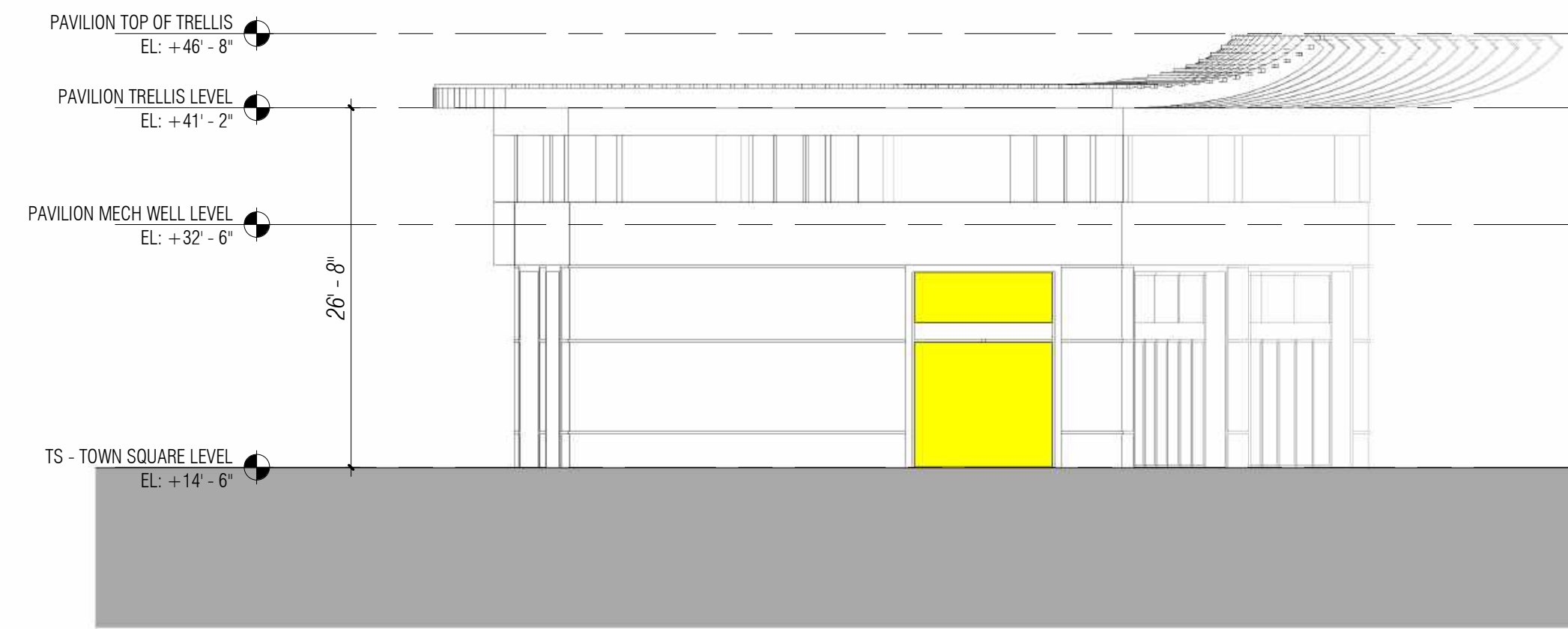
4 PAVILION - NORTH ELEVATION (FROM TOWN SQUARE)
3/32" = 1'-0"



3 PAVILION - SOUTH ELEVATION (FROM MAIN STREET)
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2 PAVILION - WEST ELEVATION - (FROM WEST STREET)
3/32" = 1'-0"

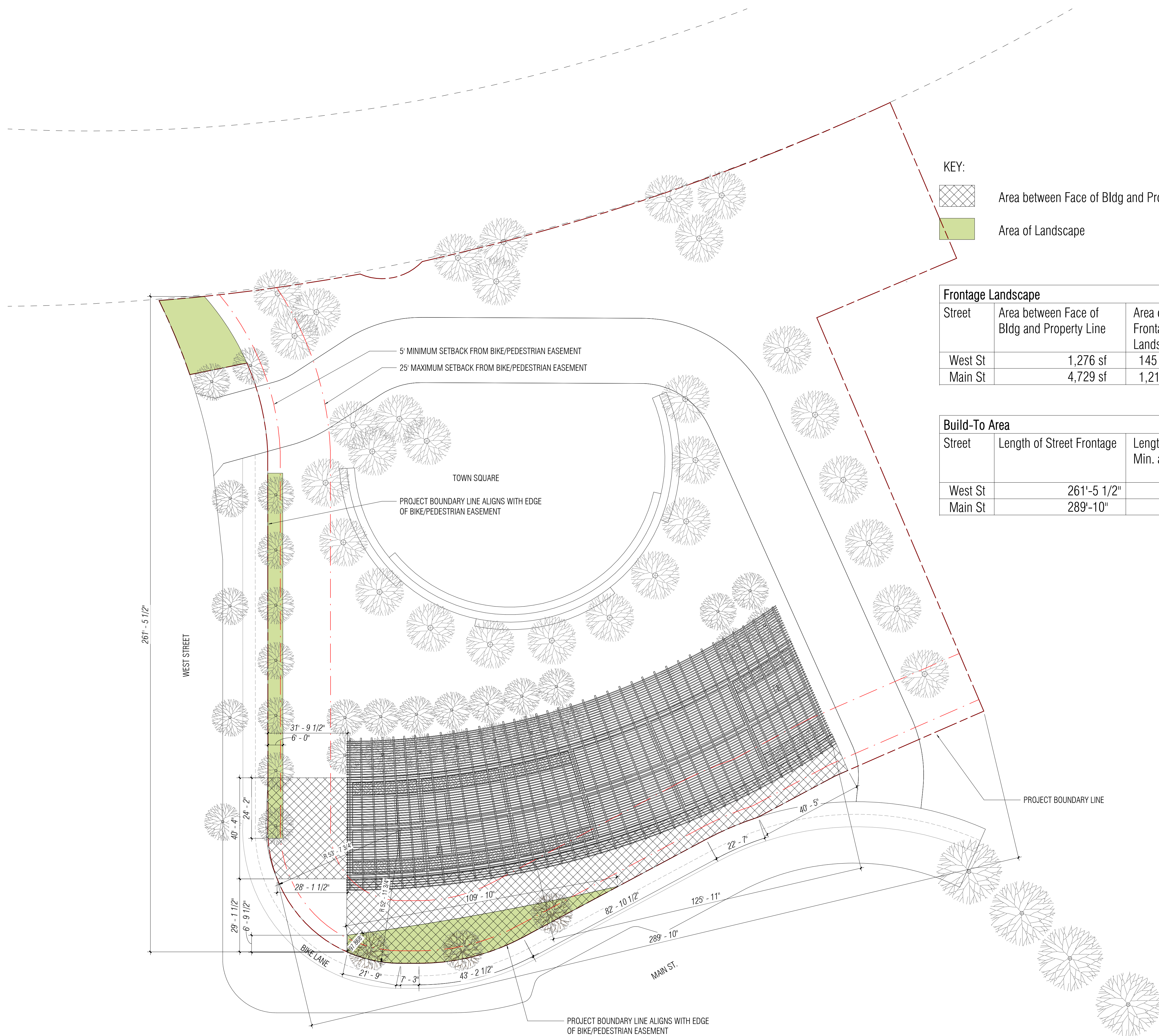


1 PAVILION - EAST ELEVATION (FROM TOWN SQUARE)
3/32" = 1'-0"

SCALE: As indicated
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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KEY:

Area between Face of Bldg and Property Line

Area of Landscape

Frontage Landscape			
Street	Area between Face of Bldg and Property Line	Area of Frontage Landscape	% Area Frontage Landscape
West St	1,276 sf	145 sf	11.4%*
Main St	4,729 sf	1,218 sf	25.8%

Build-To Area			
Street	Length of Street Frontage	Length of Building between Min. and Max. setbacks	% of building between Min. and Max. setbacks
West St	261'-5 1/2"	0'	0%**
Main St	289'-10"	125'-11"	43.4%***

* Use Permit 1
** Use Permit 2
*** Use Permit 3

1 TOWN SQUARE PAVILION - FRONTAGE AND BUILD-TO AREA DIAGRAMS
1" = 20'-0"

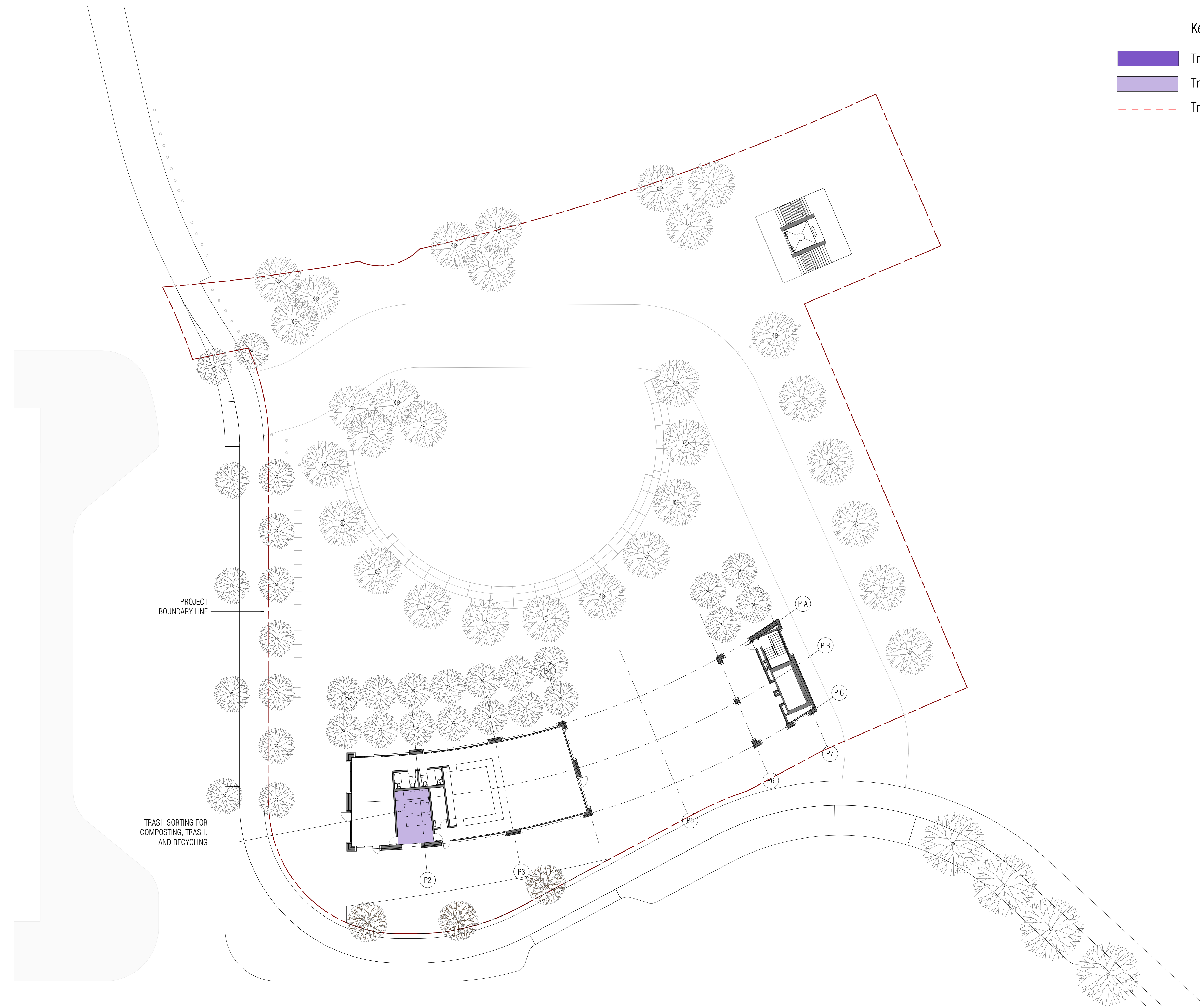
SCALE: 1" = 20'-0"
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3 TOWN SQUARE PAVILION - LEVEL 1
1" = 20'-0"



- Key
- Trash Rooms
 - Trash Collection Area
 - Trash Circulation

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 - Hotel
 Menlo Park, CA

SCALE: As indicated
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR SIZE CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
08/17/2021	ACP

REVISIONS		
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DRAWING TITLE:
 Willow Village Hotel
 Refuse, Recycling and Zero Waste
 Diagram

DRAWING NO:
A9.20

PENINSULA INNOVATION PARTNERS

BASIS OF SURVEY

BASIS OF BEARINGS

THE BEARING OF NORTH 22°05'00" EAST, BEING THE EASTERLY RIGHT-OF-WAY LINE OF WILLOW ROAD (STATE ROAD 84), AS SHOWN ON THE MAP ENTITLED, "MENLO INDUSTRIAL CENTER", FILED FOR RECORD AT THE OFFICE OF THE COUNTY RECORDER OF THE COUNTY OF SAN MATEO, ON OCTOBER 1, 1979, IN VOLUME 99 OF MAPS, AT PAGES 81 THROUGH 83 WAS USED AS THE BASIS FOR ALL BEARING SHOWN HERON.

BENCHMARK

BRASS DISK IN CONCRETE POST, STAMPED "W150". 575± SOUTHWEST OF THE INTERSECTION OF WILLOW ROAD AND HIGHWAY 84. 90± WEST OF THE CENTERLINE OF WILLOW ROAD. 19± NORTH OF THE NORTHERLY RAIL OF THE RAILROAD TRACKS. ELEVATION= 9.67 (NAVD88).

TOPOGRAPHIC SURVEY

TOPOGRAPHIC INFORMATION SHOWN PER SURVEY PERFORMED BY FREYER & LAURETTA, DATED 6/24/21.

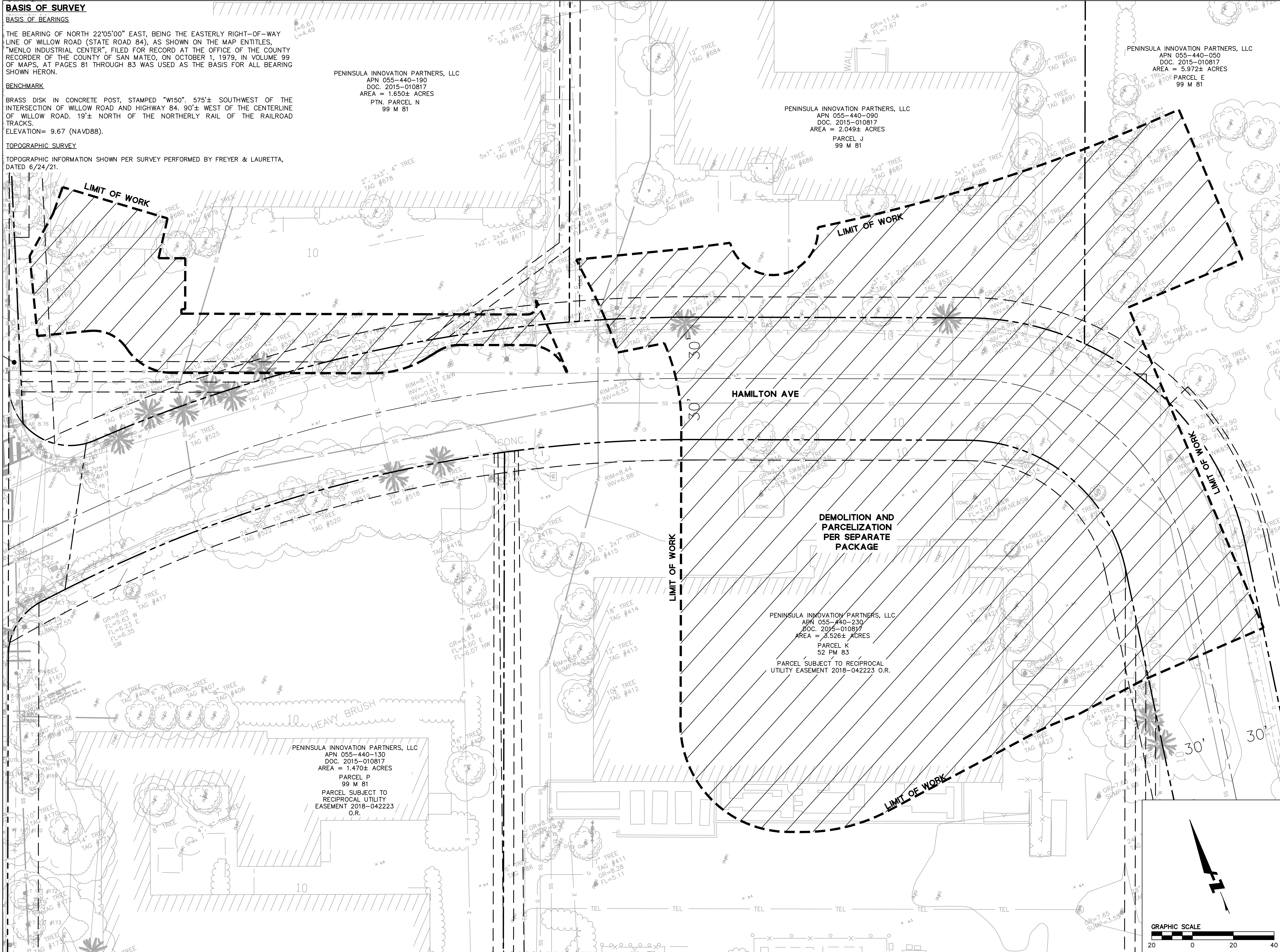
PENINSULA INNOVATION PARTNERS, LLC
 APN 055-440-190
 DOC. 2015-010817
 AREA = 1.650± ACRES
 PTN. PARCEL N
 99 M 81

PENINSULA INNOVATION PARTNERS, LLC
 APN 055-440-090
 DOC. 2015-010817
 AREA = 2.049± ACRES
 PARCEL J
 99 M 81

PENINSULA INNOVATION PARTNERS, LLC
 APN 055-440-050
 DOC. 2015-010817
 AREA = 5.972± ACRES
 PARCEL E
 99 M 81

PENINSULA INNOVATION PARTNERS, LLC
 APN 055-440-230
 DOC. 2015-010817
 AREA = 3.526± ACRES
 PARCEL K
 52 PM 83
 PARCEL SUBJECT TO RECIPROCAL UTILITY EASEMENT 2018-042223 O.R.

PENINSULA INNOVATION PARTNERS, LLC
 APN 055-440-130
 DOC. 2015-010817
 AREA = 1.470± ACRES
 PARCEL P
 99 M 81
 PARCEL SUBJECT TO RECIPROCAL UTILITY EASEMENT 2018-042223 O.R.



WILLOW VILLAGE
 Architectural Control Package - Parcel 1 - Town Square
 Menlo Park, CA

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 - Town Square
 Menlo Park, CA

SCALE:
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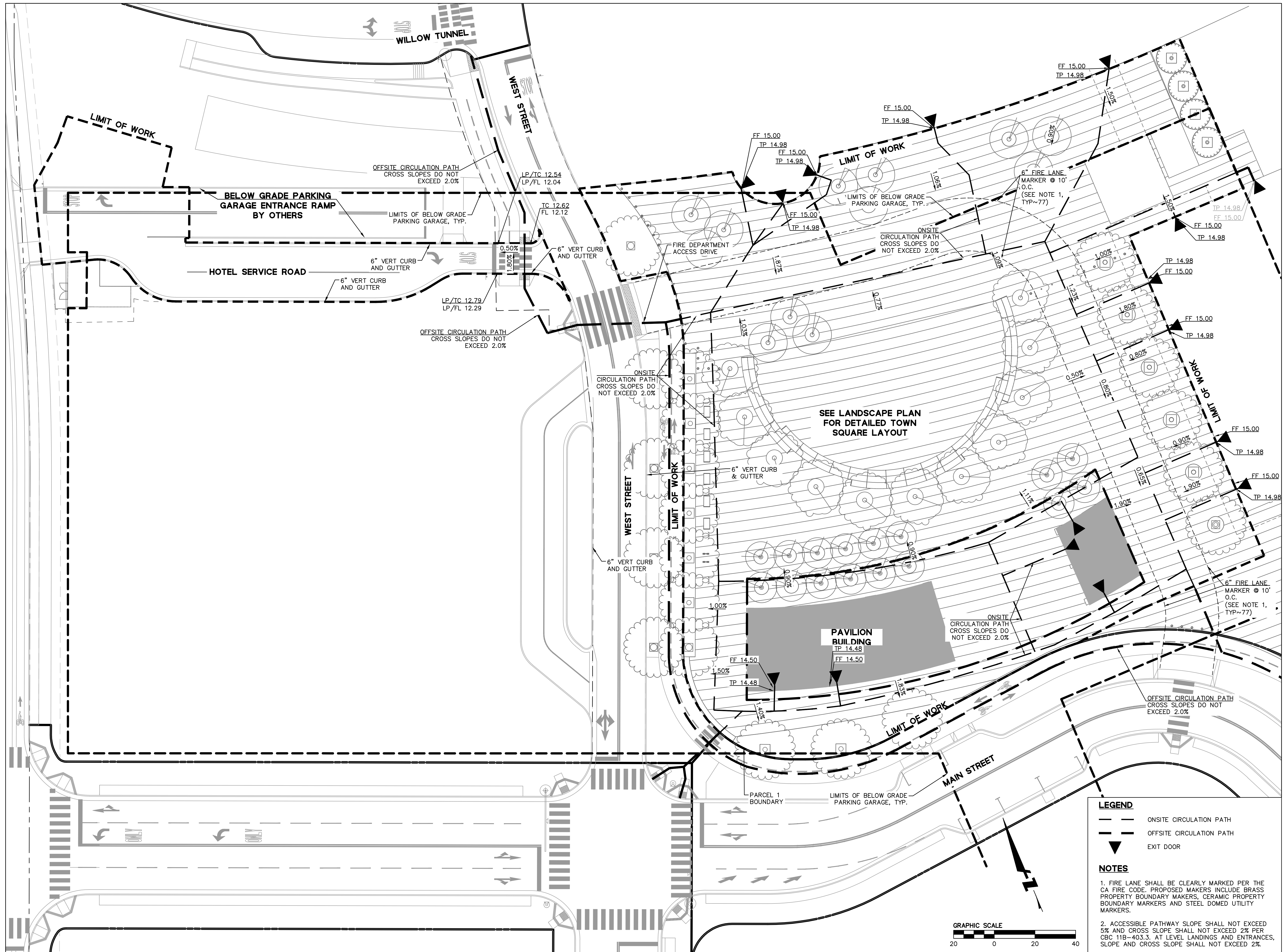
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DATE	ISSUE
03/10/2023	ACP

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DRAWING TITLE:
TOPOGRAPHIC SURVEY
 DRAWING NO:
C1.00

DRAWING NAME: \\Bk1-c\vol1\A\2015\157064-W\1\on_v\1\log\ENC\2-Home\1 - SD\SHEETS\Town_Square_Ent\Elements_Set\C1.00 EXISTING CONDITIONS.dwg
 PLOT DATE: 03-07-23 PLOTTED BY: etej

DRAWING NAME: \\Bk1-c\1\2015\157064_Willow_Village\1\log\ENG\2-Hotel\1 - SD\SHEETS\Town_Square_Ent\1\elements_Set\C1.01_CIRCULATION_PLAN.dwg
 PLOT DATE: 03-07-23 PLOTTED BY: etj



LEGEND

- ON-SITE CIRCULATION PATH
- ... OFF-SITE CIRCULATION PATH
- ▼ EXIT DOOR

NOTES

1. FIRE LANE SHALL BE CLEARLY MARKED PER THE CA FIRE CODE. PROPOSED MAKERS INCLUDE BRASS PROPERTY BOUNDARY MAKERS, CERAMIC PROPERTY BOUNDARY MARKERS AND STEEL DOMED UTILITY MARKERS.
2. ACCESSIBLE PATHWAY SLOPE SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL NOT EXCEED 2% PER CBC 11B-403.3. AT LEVEL LANDINGS AND ENTRANCES, SLOPE AND CROSS SLOPE SHALL NOT EXCEED 2%.

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 - Town Square
 Menlo Park, CA

PENINSULA INNOVATION PARTNERS

SCALE:
 NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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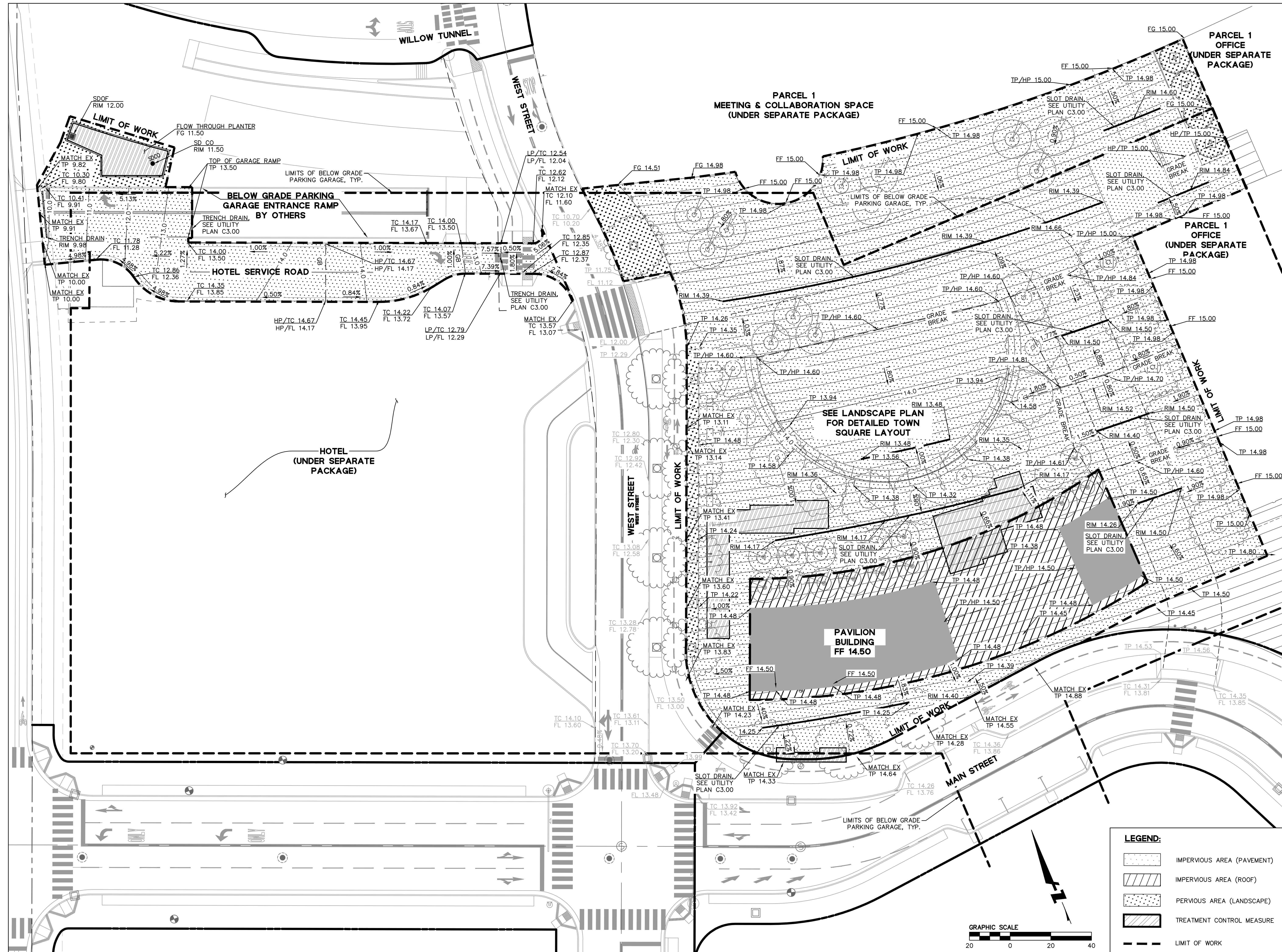
REVISIONS

NO.	DATE	ISSUE

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SITE CIRCULATION PLAN

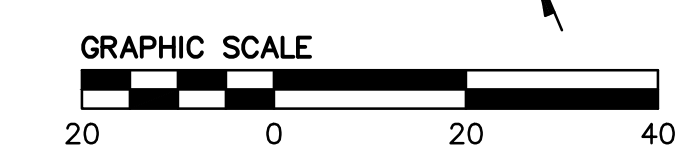
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DRAWING NAME: \\Bk1-c\vol1\2015\157064\W11\on_v1\log\ENC\2-Hote\1 - SD\SHEETS\Town_Square_Entr\Elements_Set\C2.00 GRADING PLAN.dwg
PLOT DATE: 03-07-23 PLOTTED BY: etj



LEGEND:

- IMPERVIOUS AREA (PAVEMENT)
- IMPERVIOUS AREA (ROOF)
- PERVIOUS AREA (LANDSCAPE)
- TREATMENT CONTROL MEASURE
- LIMIT OF WORK



WILLOW VILLAGE

Architectural Control Package - Parcel 1 - Town Square

Menlo Park, CA

PENINSULA INNOVATION PARTNERS

DRAWING TITLE: GRADING AND DRAINAGE PLAN

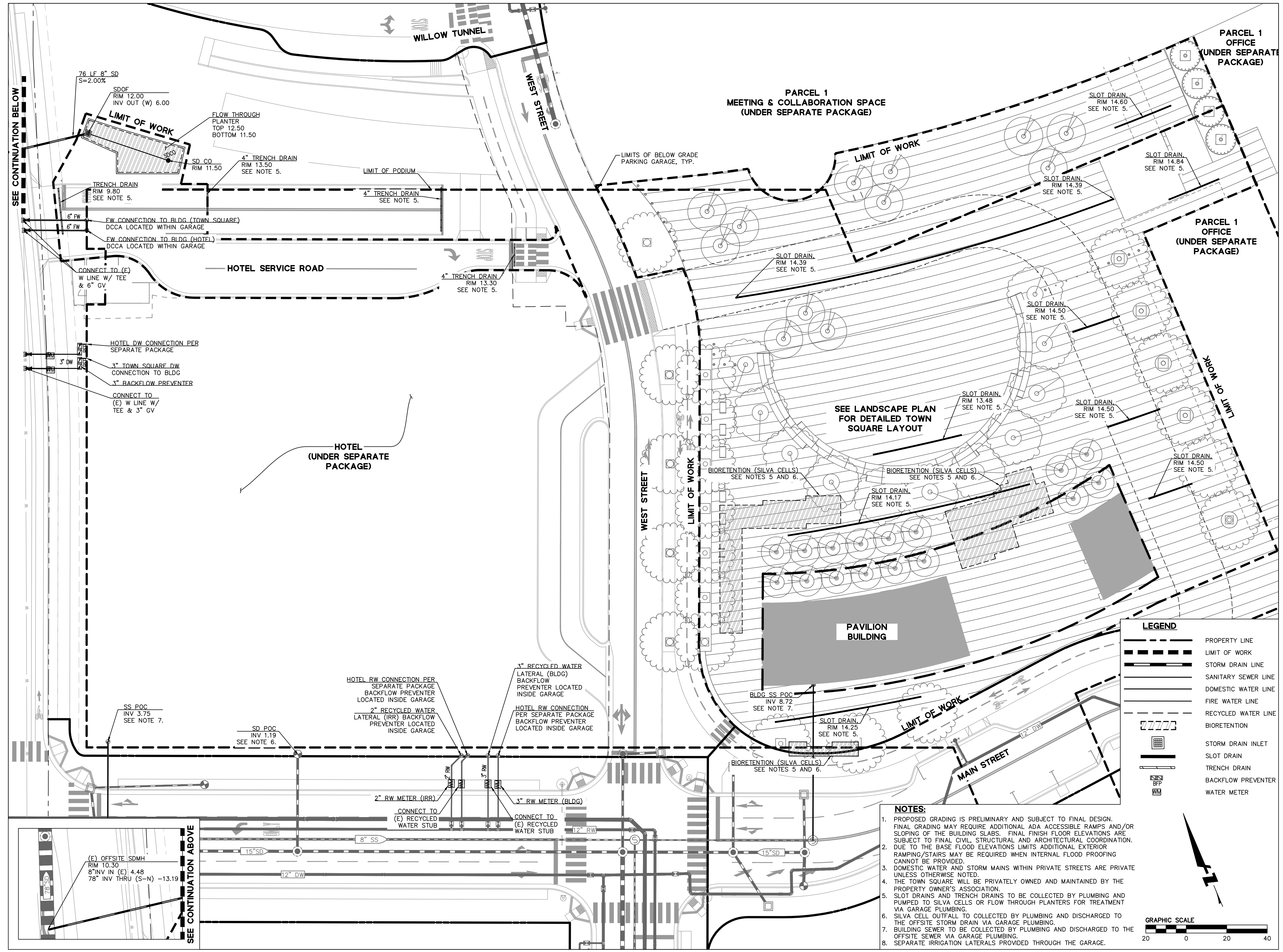
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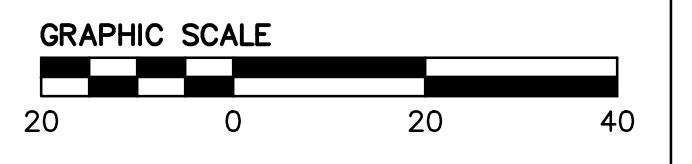
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PLOT DATE: 03-07-23 PLOTTED BY: etj



LEGEND

	PROPERTY LINE
	LIMIT OF WORK
	STORM DRAIN LINE
	SANITARY SEWER LINE
	DOMESTIC WATER LINE
	FIRE WATER LINE
	RECYCLED WATER LINE
	BIORETENTION
	STORM DRAIN INLET
	SLOT DRAIN
	TRENCH DRAIN
	BACKFLOW PREVENTER
	WATER METER

- NOTES:**
- PROPOSED GRADING IS PRELIMINARY AND SUBJECT TO FINAL DESIGN. FINAL GRADING MAY REQUIRE ADDITIONAL ADA ACCESSIBLE RAMPS AND/OR SLOPING OF THE BUILDING SLABS. FINAL FINISH FLOOR ELEVATIONS ARE SUBJECT TO FINAL CIVIL, STRUCTURAL AND ARCHITECTURAL COORDINATION. DUE TO THE BASE FLOOD ELEVATIONS LIMITS ADDITIONAL EXTERIOR RAMPING/STAIRS MAY BE REQUIRED WHEN INTERNAL FLOOD PROOFING CANNOT BE PROVIDED.
 - DOMESTIC WATER AND STORM MAINS WITHIN PRIVATE STREETS ARE PRIVATE UNLESS OTHERWISE NOTED.
 - THE TOWN SQUARE WILL BE PRIVATELY OWNED AND MAINTAINED BY THE PROPERTY OWNER'S ASSOCIATION.
 - SLOT DRAINS AND TRENCH DRAINS TO BE COLLECTED BY PLUMBING AND PUMPED TO SILVA CELLS OR FLOW THROUGH PLANTERS FOR TREATMENT VIA GARAGE PLUMBING.
 - SILVA CELL OUTFALL TO BE COLLECTED BY PLUMBING AND DISCHARGED TO THE OFFSITE STORM DRAIN VIA GARAGE PLUMBING.
 - BUILDING SEWER TO BE COLLECTED BY PLUMBING AND DISCHARGED TO THE OFFSITE SEWER VIA GARAGE PLUMBING.
 - SEPARATE IRRIGATION LATERALS PROVIDED THROUGH THE GARAGE.



WILLOW VILLAGE
Architectural Control Package - Parcel 1 - Town Square
Menlo Park, CA

PENINSULA INNOVATION PARTNERS

SCALE:
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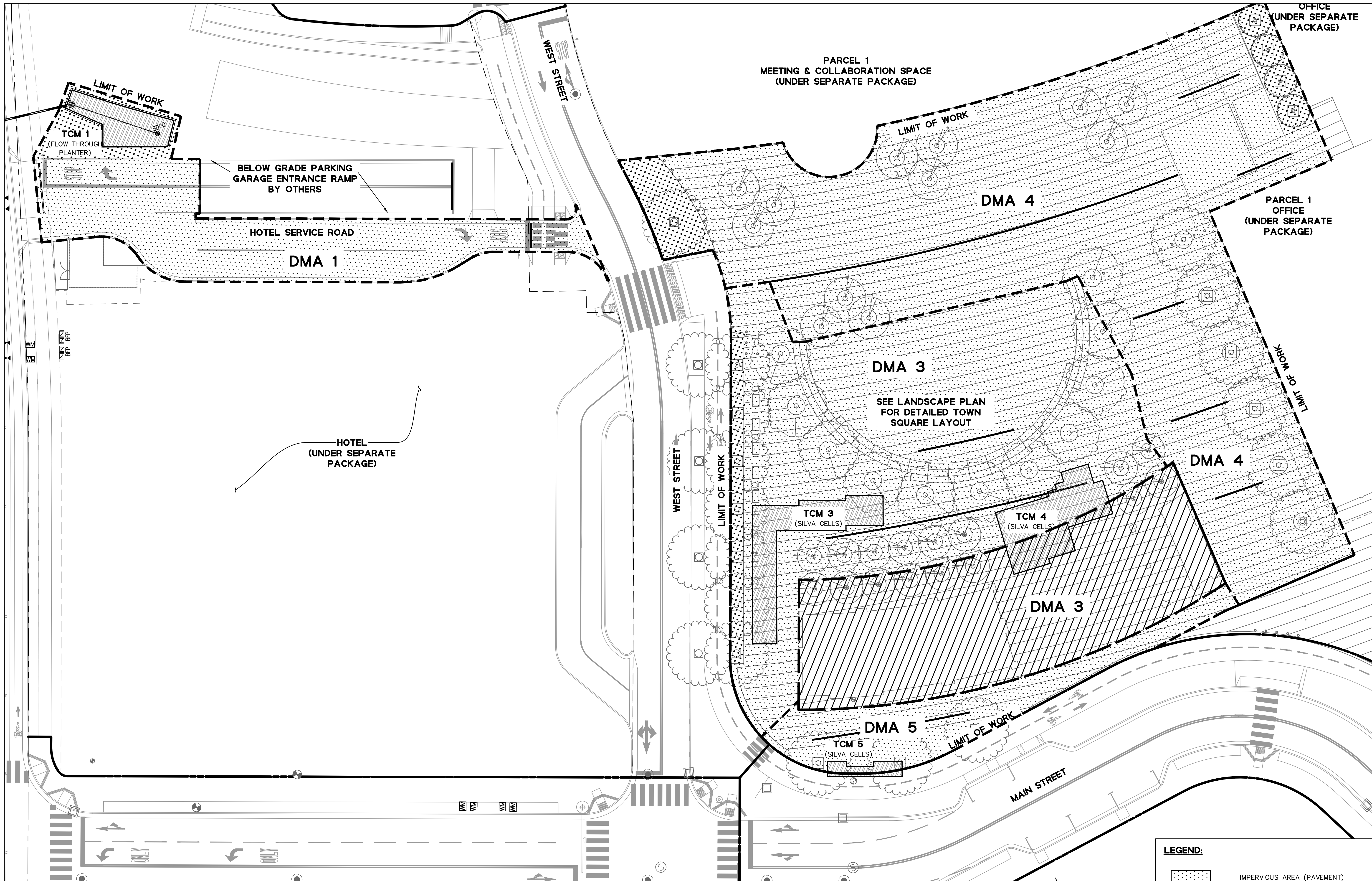
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DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
UTILITY PLAN

DRAWING NO:
C3.00

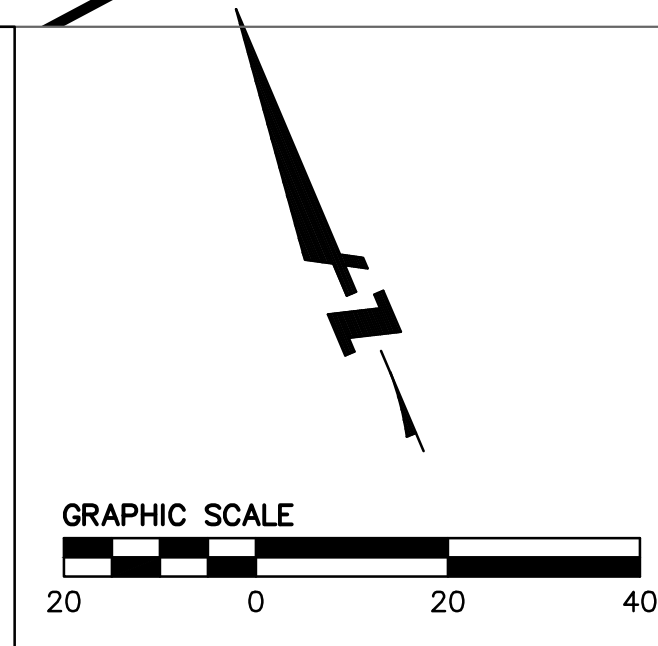
DRAWING NAME: \\Bk1-c\vol\157064\Willow_Village\log\ENG\2-Hotel\1 - SD\SHEETS\Town_Square_Ent\Elements_Set\C4.00 STORMWATER CONTROL PLAN.dwg
PLOT DATE: 03-07-23 PLOTTED BY: etj



PRELIMINARY STORMWATER CALCULATIONS							
DMA	TREATMENT CONTROL MEASURE TYPE	DMA AREA (SF)	IMPERVIOUS AREA (SF)	PERVIOUS AREA (SF)	EFFECTIVE IMPERVIOUS AREA (SF)	REQUIRED TREATMENT AREA (SF, 4% EFFECTIVE IMPERVIOUS AREA)	PROVIDED TCM AREA (SF)
1	FLOW-THROUGH PLANTER	9,200	7,590	1,610	7,750	310	615
3	SILVA CELLS	34,435	33,520	915	33,610	1,345	1,345
4	SILVA CELLS	34,670	33,730	1,975	32,895	1,315	1,340
5	SILVA CELLS	4,100	4,100	0	4,100	165	210
TOTAL		82,405	77,905	4,500	78,355	3,135	3,455

LEGEND:

- IMPERVIOUS AREA (PAVEMENT)
- IMPERVIOUS AREA (ROOF)
- PERVIOUS AREA (LANDSCAPE)
- TREATMENT CONTROL MEASURE (TCM)
- DRAINAGE MANAGEMENT BOUNDARY
- TCM X** TREATMENT CONTROL MEASURE "X"
- DMA X** DRAINAGE MANAGEMENT AREA "X"



WILLOW VILLAGE
Architectural Control Package - Parcel 1 - Town Square
Menlo Park, CA

PENINSULA INNOVATION PARTNERS

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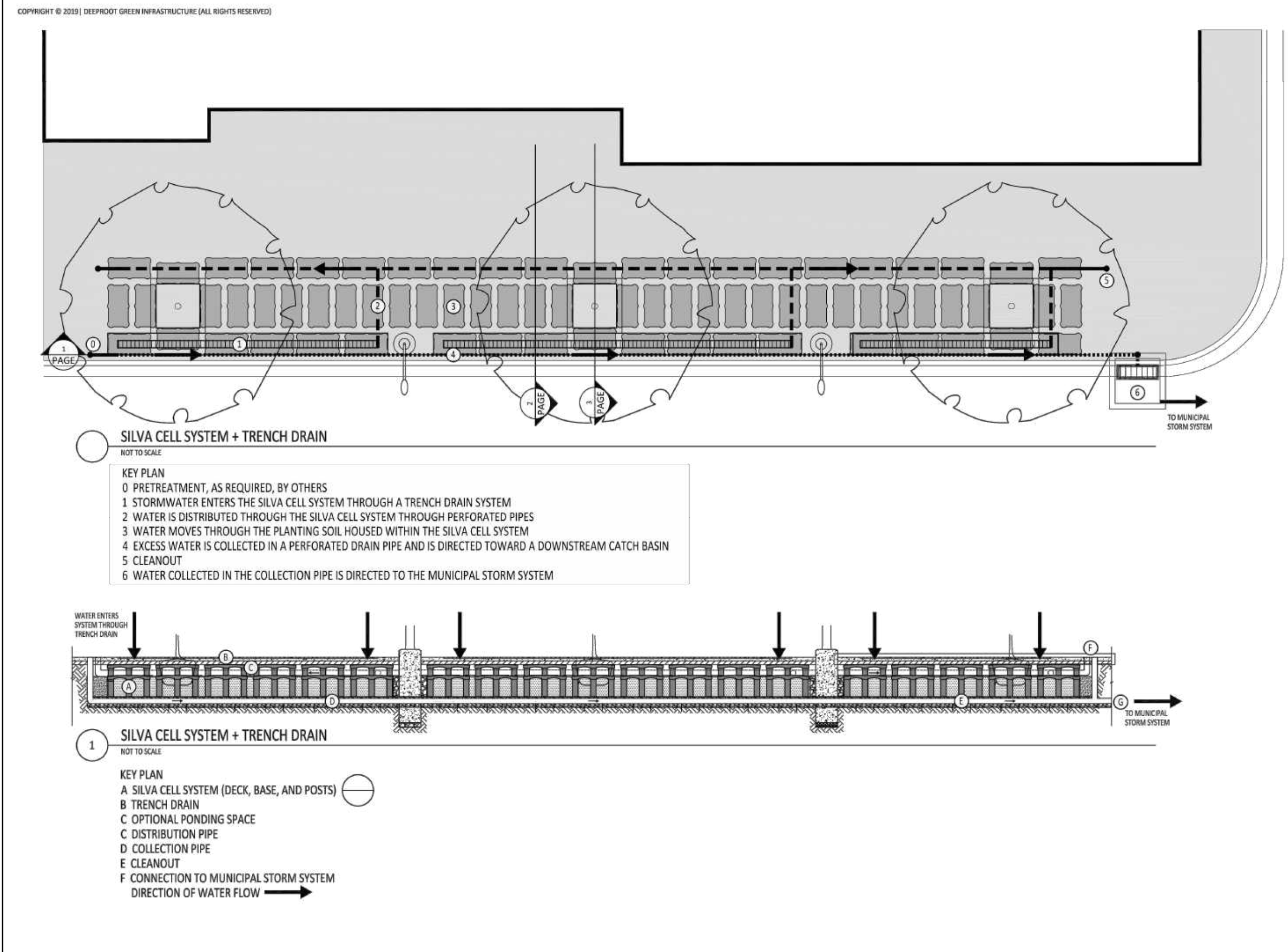
MILESTONES	
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03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
STORMWATER CONTROL PLAN

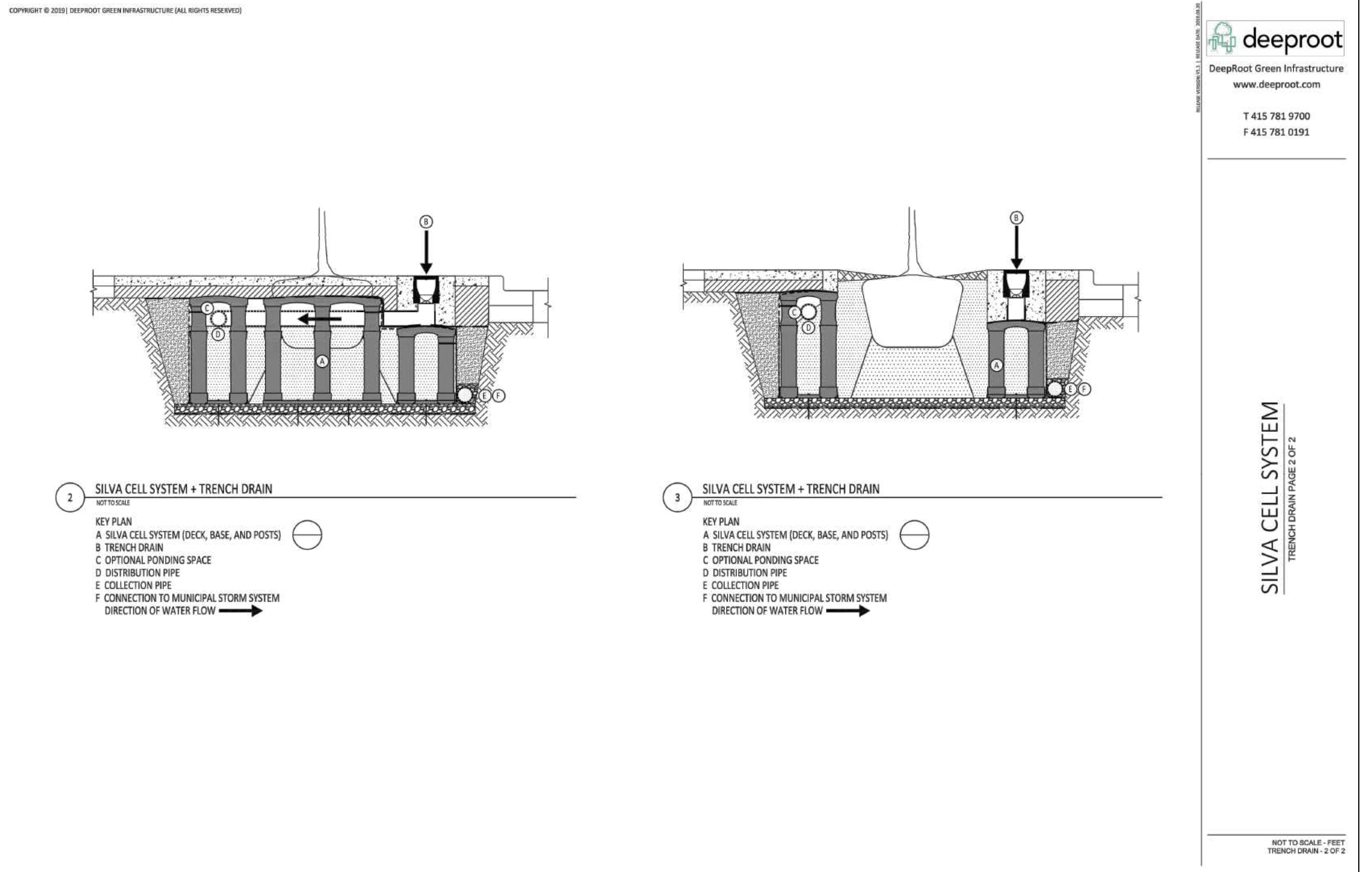
DRAWING NO:
C4.00

DRAWING NAME: \\Bk1-c\vol\A\2015\157064_Willow_Village\ENG\2-Home\1 - SD\SHEETS\Town_Squor_e_Ent\Elements_Set\C4.01 STORMWATER CONTROL DETAILS.dwg
PLOT DATE: 03-07-23 PLOTTED BY: etej



deeproot
DeepRoot Green Infrastructure
www.deeproot.com
T 415 781 9700
F 415 781 0191

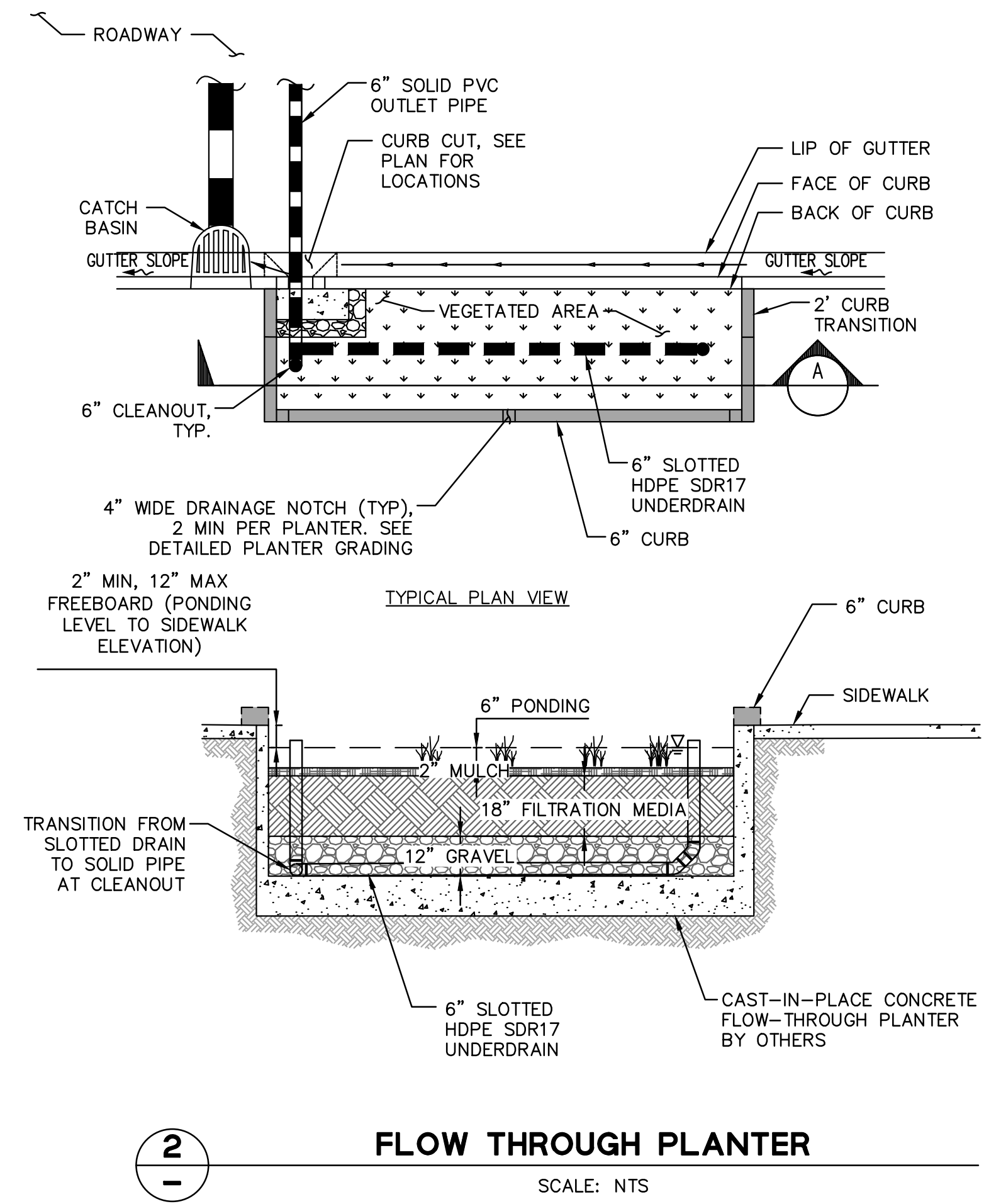
SILVA CELL SYSTEM
TRENCH DRAIN PAGE 1 OF 2



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SILVA CELL SYSTEM
TRENCH DRAIN PAGE 2 OF 2

1
SILVA CELL SYSTEM WITH TRENCH DRAIN
SCALE: NTS



WILLOW VILLAGE
Architectural Control Package - Parcel 1 - Hotel
Menlo Park, CA

SCALE:
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE REQUIRED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES

DATE	ISSUE
04/11/2022	ACP

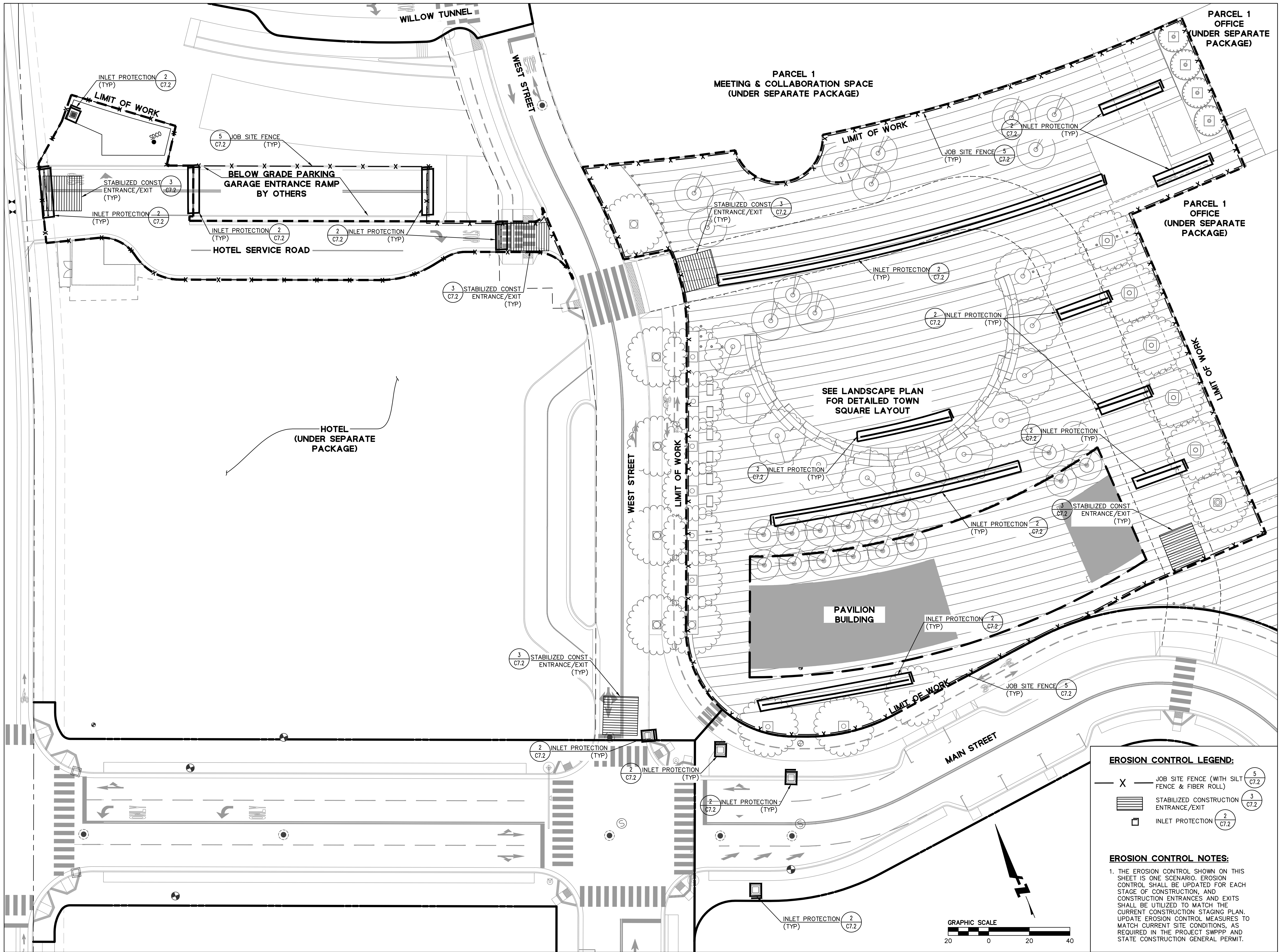
REVISIONS

NO.	DATE	ISSUE

DRAWING TITLE:
STORMWATER CONTROL DETAILS

DRAWING NO:
C4.01

DRAWING NAME: \\Bk1-c\vol\2015\157064_Willow_Village\log\ENG\2-Hotel\1 - SD\SHEETS\Town_Square_Ent\Elements_Set\C5.00 EROSION CONTROL PLAN.dwg
PLOT DATE: 03-07-23 PLOTTED BY: etj



EROSION CONTROL LEGEND:

- X — JOB SITE FENCE (WITH SILT FENCE & FIBER ROLL) (5 C7.2)
- [Hatched Box] — STABILIZED CONSTRUCTION ENTRANCE/EXIT (3 C7.2)
- [Circle with Number] — INLET PROTECTION (2 C7.2)

EROSION CONTROL NOTES:

- THE EROSION CONTROL SHOWN ON THIS SHEET IS ONE SCENARIO. EROSION CONTROL SHALL BE UPDATED FOR EACH STAGE OF CONSTRUCTION, AND CONSTRUCTION ENTRANCES AND EXITS SHALL BE UTILIZED TO MATCH THE CURRENT CONSTRUCTION STAGING PLAN. UPDATE EROSION CONTROL MEASURES TO MATCH CURRENT SITE CONDITIONS, AS REQUIRED IN THE PROJECT SWPPP AND STATE CONSTRUCTION GENERAL PERMIT.



WILLOW VILLAGE
Architectural Control Package - Parcel 1 - Town Square
Menlo Park, CA

PENINSULA INNOVATION PARTNERS

SCALE:
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES

DATE	ISSUE
03/10/2023	ACP

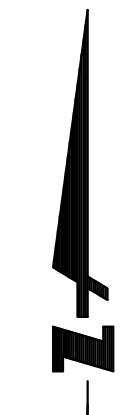
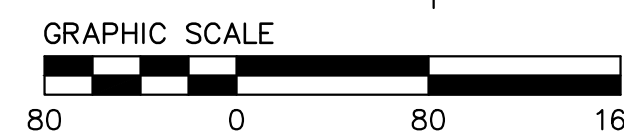
REVISIONS

NO.	DATE	ISSUE

DRAWING TITLE:
EROSION CONTROL PLAN

DRAWING NO:
C5.00

DRAWING NAME: \\Bk1-c\vol1\2015\157064.Willow_Village\ENR\2-Hotel\1 - SD\SHEETS\Town_Square_Entr\Elements_Set\C6.00 FIRE ACCESS PLAN.dwg
 PLOT DATE: 03-07-23 PLOTTED BY: etj



LEGEND

- FIRE ACCESS ROAD
- EMERGENCY VEHICLE ACCESS EASEMENT (EVAE)
- FIRE HOSE LENGTH FROM FIRE ACCESS
- 30 FT OFFSET OF FIRE LANE
- FIRE HYDRANT (PUBLIC)
- FIRE HYDRANT (PRIVATE)
- 150' RADIUS AROUND FH
- PROPERTY LINE

NOTES

1. THE ROADWAY SECTION WILL COMPLY WITH MENLO PARK FIRE DISTRICT STANDARD SECTION 101.6 REQUIREMENT FOR THE IMPOSED LOAD OF A FIRE APPARATUS WEIGHTING AT LEAST 75,000 LBS.

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 - Town Square
 Peninsula Innovation Partners
 Menlo Park, CA

SCALE:
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

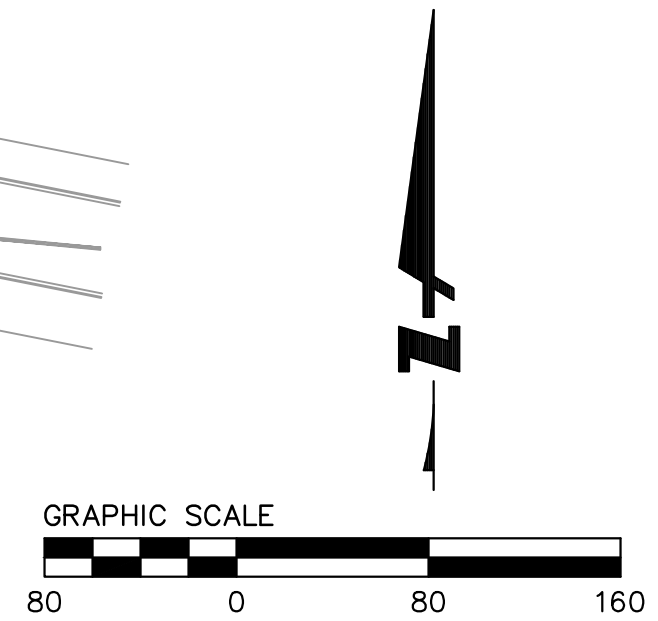
MILESTONES	
DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
FIRE ACCESS PLAN

DRAWING NO:
C6.00

DRAWING NAME: \\Bk1-c\vol\A\2015\157064.Willow_Village\ENR\2-Home\1 - SD\SHEETS\Town_Square_Elements_Set\C6.01 FIRE HYDRANT PLAN.dwg
 PLOT DATE: 03-07-23 PLOTTED BY: etej



- LEGEND**
- FIRE ACCESS ROAD
 - EMERGENCY VEHICLE ACCESS EASEMENT (EVAE)
 - FIRE HOSE LENGTH FROM FIRE ACCESS
 - 30 FT OFFSET OF FIRE LANE
 - FIRE HYDRANT (PUBLIC)
 - FIRE HYDRANT (PRIVATE)
 - 150' RADIUS AROUND FH
 - PROPERTY LINE
- NOTES**
1. THE ROADWAY SECTION WILL COMPLY WITH MENLO PARK FIRE DISTRICT STANDARD SECTION 101.6 REQUIREMENT FOR THE IMPOSED LOAD OF A FIRE APPARATUS WEIGHING AT LEAST 75,000 LBS.

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 - Town Square
 Menlo Park, CA

SCALE:
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. OR SEE CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
FIRE HYDRANT PLAN

DRAWING NO:
C6.01

PENINSULA INNOVATION PARTNERS

Architectural Control Package - Parcel 1 - Town Square
 Menlo Park, CA

03/10/2023 ACP

REVISIONS

FIRE HYDRANT PLAN

C6.01



SCALE:
 NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE.
 DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR
 BEST CLARIFICATION FROM ARCHITECT FOR
 MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
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NO.	DATE	ISSUE



Plaza (Unit Paver)



Concrete Seating Bench



Concrete Seating Steps



Tree Grate



Security Bollard



Retractable Bollard

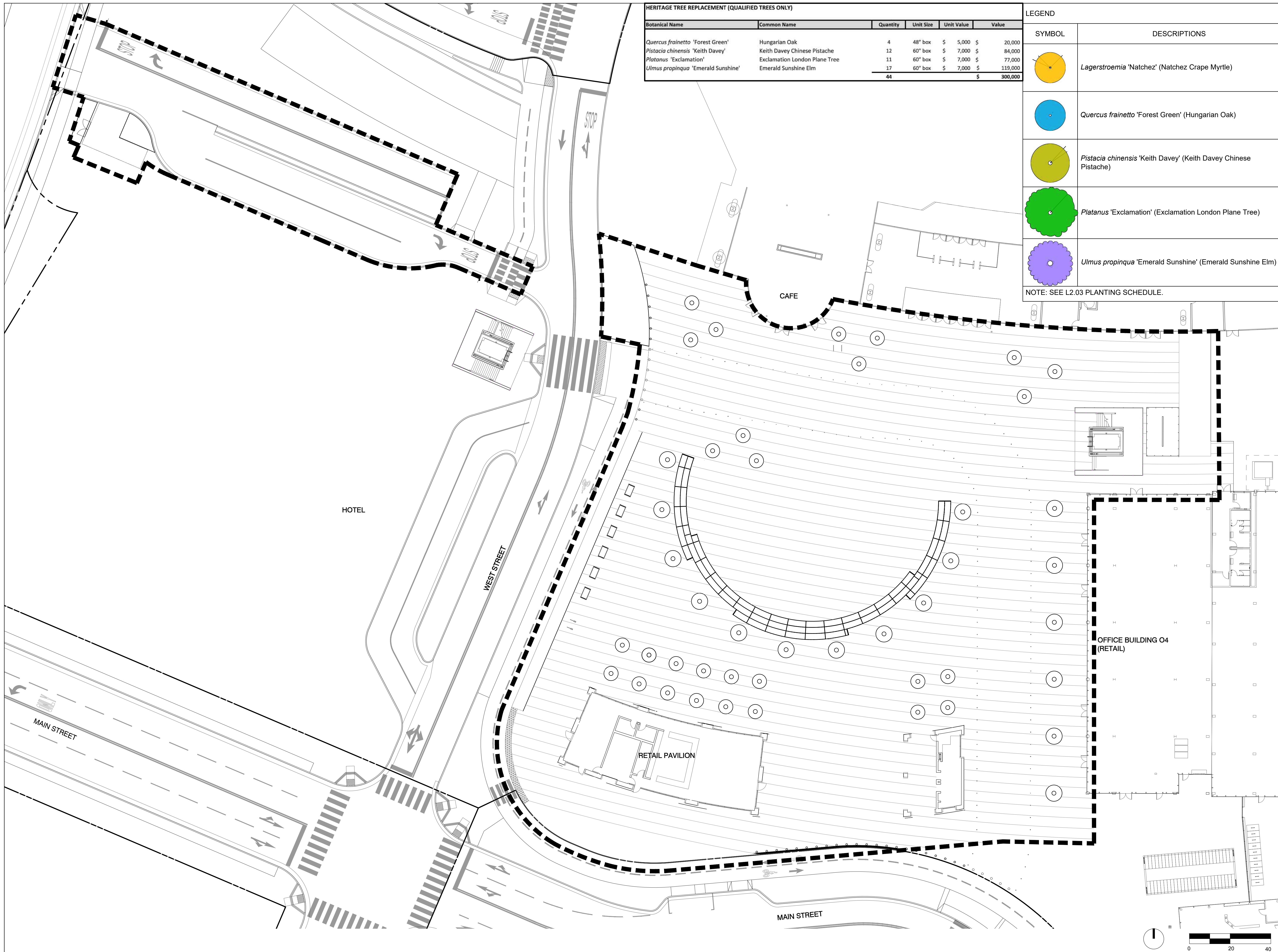


Bike Rack

SCALE:
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE



HERITAGE TREE REPLACEMENT (QUALIFIED TREES ONLY)					
Botanical Name	Common Name	Quantity	Unit Size	Unit Value	Value
<i>Quercus frainetto</i> 'Forest Green'	Hungarian Oak	4	48" box	\$ 5,000	\$ 20,000
<i>Pistacia chinensis</i> 'Keith Davey'	Keith Davey Chinese Pistache	12	60" box	\$ 7,000	\$ 84,000
<i>Platanus</i> 'Exclamation'	Exclamation London Plane Tree	11	60" box	\$ 7,000	\$ 77,000
<i>Ulmus propinqua</i> 'Emerald Sunshine'	Emerald Sunshine Elm	17	60" box	\$ 7,000	\$ 119,000
		44			\$ 300,000

LEGEND	
SYMBOL	DESCRIPTIONS
	<i>Lagerstroemia</i> 'Natchez' (Natchez Crape Myrtle)
	<i>Quercus frainetto</i> 'Forest Green' (Hungarian Oak)
	<i>Pistacia chinensis</i> 'Keith Davey' (Keith Davey Chinese Pistache)
	<i>Platanus</i> 'Exclamation' (Exclamation London Plane Tree)
	<i>Ulmus propinqua</i> 'Emerald Sunshine' (Emerald Sunshine Elm)

NOTE: SEE L2.03 PLANTING SCHEDULE.

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 - Town Square
 Menlo Park, CA

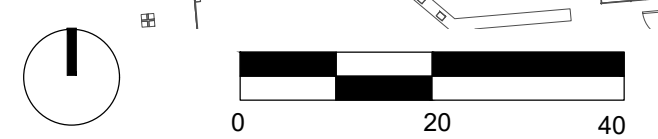
SCALE:
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
03/10/2023	ACP

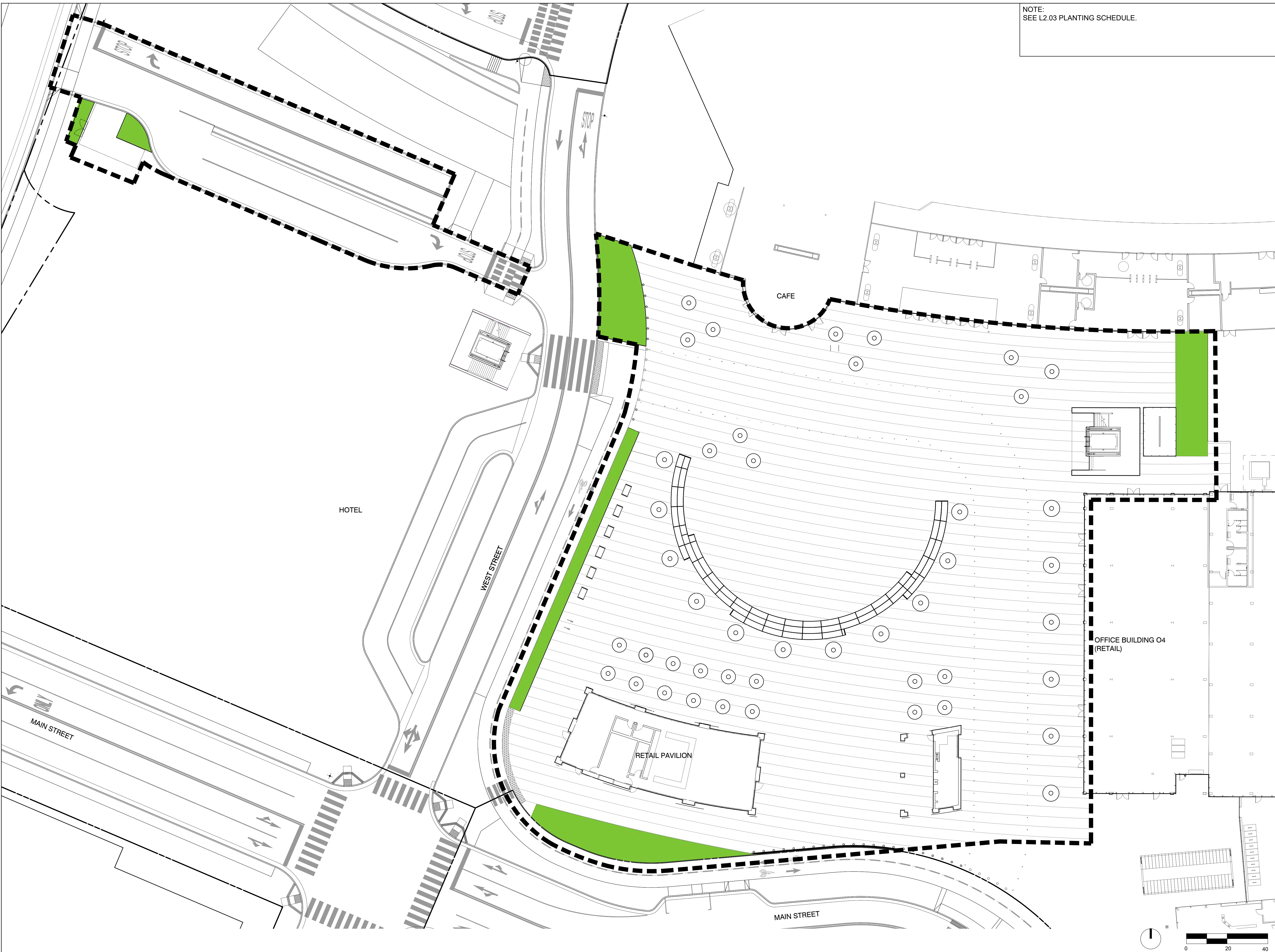
REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
PLANTING PLAN
TREE - LEVEL 1

DRAWING NO:
L2.00



NOTE:
SEE L2.03 PLANTING SCHEDULE.



WILLOW VILLAGE
 Architectural Control Package - Parcel 1 - Town Square
 Menlo Park, CA

SCALE:
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. OR SEE CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

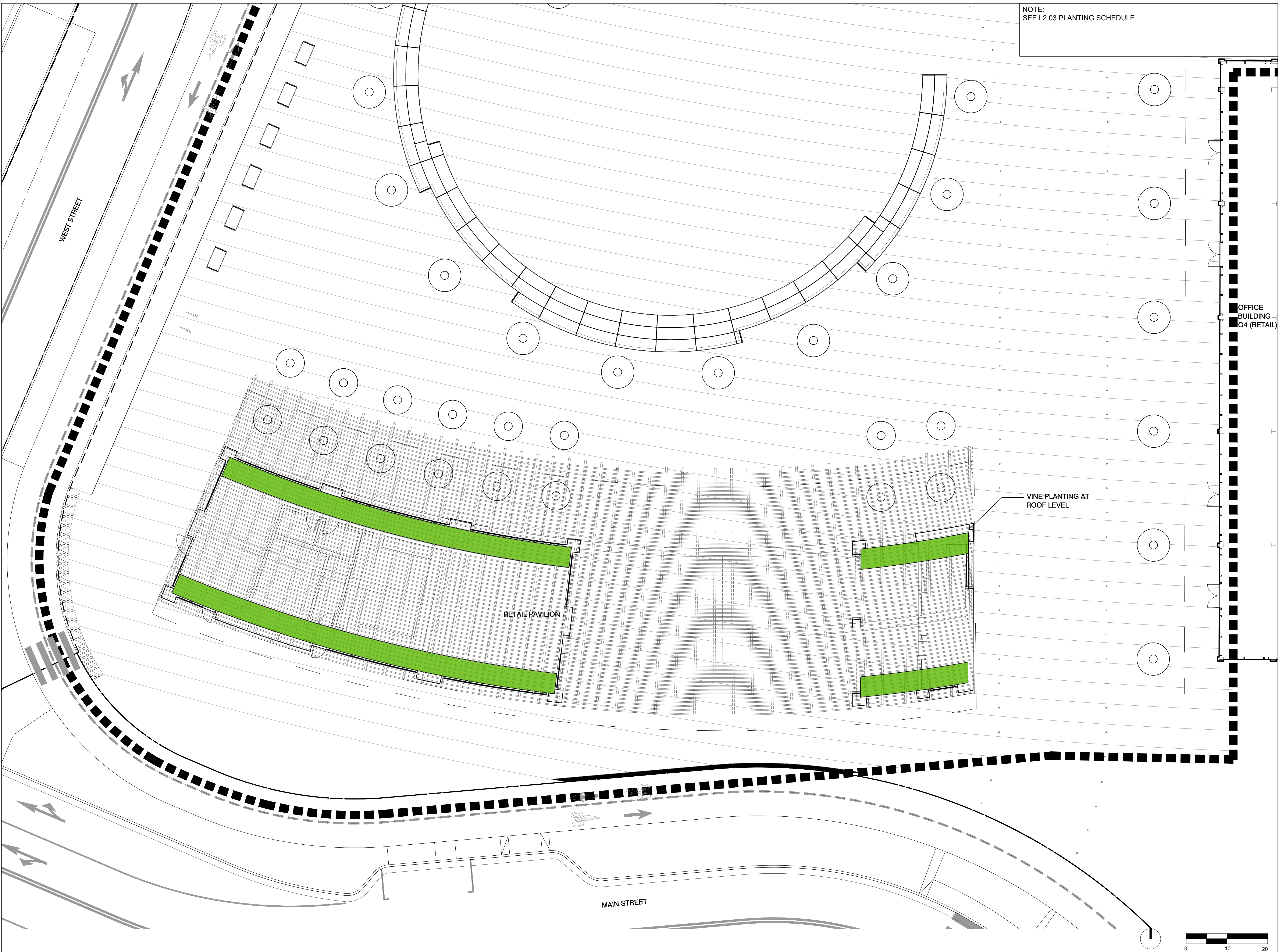
MILESTONES	
DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
PLANTING PLAN
 SHRUB - LEVEL 1

DRAWING NO:
L2.01

NOTE:
SEE L2.03 PLANTING SCHEDULE.



WILLOW VILLAGE
Architectural Control Package - Parcel 1 - Town Square
Menlo Park, CA

SCALE:
NOTE: THIS DRAWING IS 2D A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
**PLANTING PLAN
SHRUB - ROOF LEVEL**

DRAWING NO:
L2.02



Lagerstroemia 'Natchez'
(Natchez Crape Myrtle)



Quercus frainetto 'Forest Green'
(Hungarian Oak)



Pistacia chinensis 'Keith Davey'
(Keith Davey Chinese Pistache)



Platanus x acerifolia 'Exclamation'
(Exclamation London Plane Tree)



Ulmus propinqua 'Emerald Sunshine'
(Emerald Sunshine Elm)

WATER USE ESTIMATION-WILLOW TOWN SQUARE

WATER TYPE	POTABLE
SITE ETO=	39

REGULAR LANDSCAPE AREAS												
HYDROZONE #	HYDROZONE NAME	PLANT WATER USE TYPE	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY	ETAF (PF/IE)	AREA (SQ. FT) (HA)	ETAF X AREA (HA)	ETWU (GAL/YR)	ACRE FEET/ YEAR	HCF/ YEAR	PERCENTAGE OF LANDSCAPE
1	SHRUBS/GROUND COVER	LOW	0.3	DRIP	0.81	0.370	2,735	1,013	24,493	0.08	32.75	39%
2	SHRUBS/GROUND COVER	MOD	0.5	DRIP	0.81	0.617	4,198	2,591	62,659	0.19	83.77	61%
TOTALS							6,933	3,604	87,152	0.27	116.51	100%

SPECIAL LANDSCAPE AREAS												
HYDROZONE #	HYDROZONE NAME	PLANT WATER USE TYPE	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY	ETAF (PF/IE)	AREA (SQ. FT) (HA)	ETAF X AREA (HA)	ETWU (GAL/YR)	ACRE FEET/ YEAR	HCF/ YEAR	PERCENTAGE OF LANDSCAPE
ALL	RECYCLED WATER					1	6,933					100%
TOTALS							6,933					100%

MAWA	GALLONS/YR	167,640
	ACRE FEET/YR	0.51
	HCF/YR	224.12

ETWU	GALLONS/YR	87,152
	ACRE FEET/YR	0.27
	HCF/YR	116.51

SITE IRRIGATION EFFICIENCY	SITE PLANT FACTOR	MAWA COMPLIANT
81.0%	0.42	YES

ETAF Calculations	
REGULAR LANDSCAPE AREAS	
TOTAL ETAF x AREA	3,604
TOTAL AREA	6,933
AVG. ETAF	51.99%

MAWA FORMULA	
MAXIMUM APPLIED WATER ALLOWANCE (MAWA) GALLONS PER YEAR	
MAWA = (ET _o)(0.62)[(LA x 0.45) + (0.55 x SLA)]	

ETWU FORMULA	
ESTIMATED TOTAL WATER USE (ETWU) GALLONS PER YEAR	
ETWU = (ET _o)(.62)(ETAF x LA)	

ET_o = REFERENCE EVAPOTRANSPIRATION
 0.55 = ET ADJUSTMENT FACTOR
 LA = LANDSCAPED AREA (SQ. FEET)
 0.62 = CONVERSION FACTOR (GALLONS/SQ. FT/YR)

ET_o = REFERENCE EVAPOTRANSPIRATION
 PF = PLANT FACTOR FOR HYDROZONES
 HA = HYDROZONE AREA (SQ. FT)
 0.62 = CONVERSION FACTOR (GALLONS/SQ. FT/YR)

IE = IRRIGATION EFFICIENCY (0.81)-BUBBLER/DRIP
 IE = IRRIGATION EFFICIENCY (0.75)-ROTORS/SPRAY

SYMBOL	BOTANIC NAME	COMMON NAME	QUANTITY	SIZE	WUCOLS	CA NATIVE
TREES						
	<i>Lagerstroemia 'Natchez'</i>	Natchez Crape Myrtle	16	48" box	Low	
	<i>Quercus frainetto 'Forest Green'</i>	Hungarian Oak	4	48" box	Med	
	<i>Pistacia chinensis 'Keith Davey'</i>	Keith Davey Chinese Pistache	12	60" box	Low	
	<i>Platanus 'Exclamation'</i>	Exclamation London Plane Tree	11	60" box	Med	
	<i>Ulmus propinqua 'Emerald Sunshine'</i>	Emerald Sunshine Elm	17	60" box	Med	

SYMBOL	BOTANIC NAME	COMMON NAME	SIZE	WUCOLS	CA NATIVE
SHRUBS, PERENNIALS, AND GROUND COVERS					
	<i>Achillea millefolium</i>	Common Yarrow	1 gal	Low	x
	<i>Anigozanthos sp.</i>	Kagaroo Paw	5 gal	Low	
	<i>Arctostaphylos sp.</i>	Manzanita	5 / 15 gal	Low	x
	<i>Baccharis pilularis 'Emerald Carpet'</i>	Dwarf Coyote Bush	1 gal	Low	
	<i>Ceanothus sp.</i>	Ceanothus	5 gal	Low	x
	<i>Cercis occidentalis</i>	Western Redbud	15 gal	Very Low	x
	<i>Cistus sp.</i>	Rockrose	5 gal	Low	
	<i>Dietsa bicolor</i>	Fortnight Lily	5 gal	Low	
	<i>Euphorbia rigida</i>	Narrow-leaved Spurge	1 gal	Low	
	<i>Fremontodendron californicum</i>	Flannel Bush	15 gal	Very Low	x
	<i>Heteromeles arbutifolia</i>	Toyon	15 gal	Low	x
	<i>Lantana sp.</i>	Trailing Lantana	1 gal	Low	
	<i>Phormium sp.</i>	New Zealand Flax	5 gal	Low	
	<i>Rhamnus californica</i>	California Coffeeberry	5 gal	Low	x
	<i>Rosmarinus officinalis</i>	Rosemary	5 gal	Low	
	<i>Salvia sp.</i>	Sage	5 gal	Low	

GRASSES					
	<i>Carex praegracilis</i>	California Field Sedge	1 gal	Med	x
	<i>Carex divulsa</i>	Berkeley Sedge	1 gal	Low	
	<i>Festuca mairei</i>	Maire's Fescue	1 gal	Low	
	<i>Helictotrichon sempervirens</i>	Blue Oat Grass	1 gal	Low	
	<i>Muhlenbergia capillaris</i>	Pink Muhly Grass	1 gal	Low	

VINE					
	<i>Bougainvillea 'Barbara Karst'</i>	Barbara Karst Bougainvillea	15 gal	Low	
	<i>Wisteria floribunda</i>	Japanese Wisteria	15 gal	Med	

PENINSULA INNOVATION PARTNERS
WILLOW VILLAGE
 Architectural Control Package - Parcel 1 - Town Square
 Menlo Park, CA

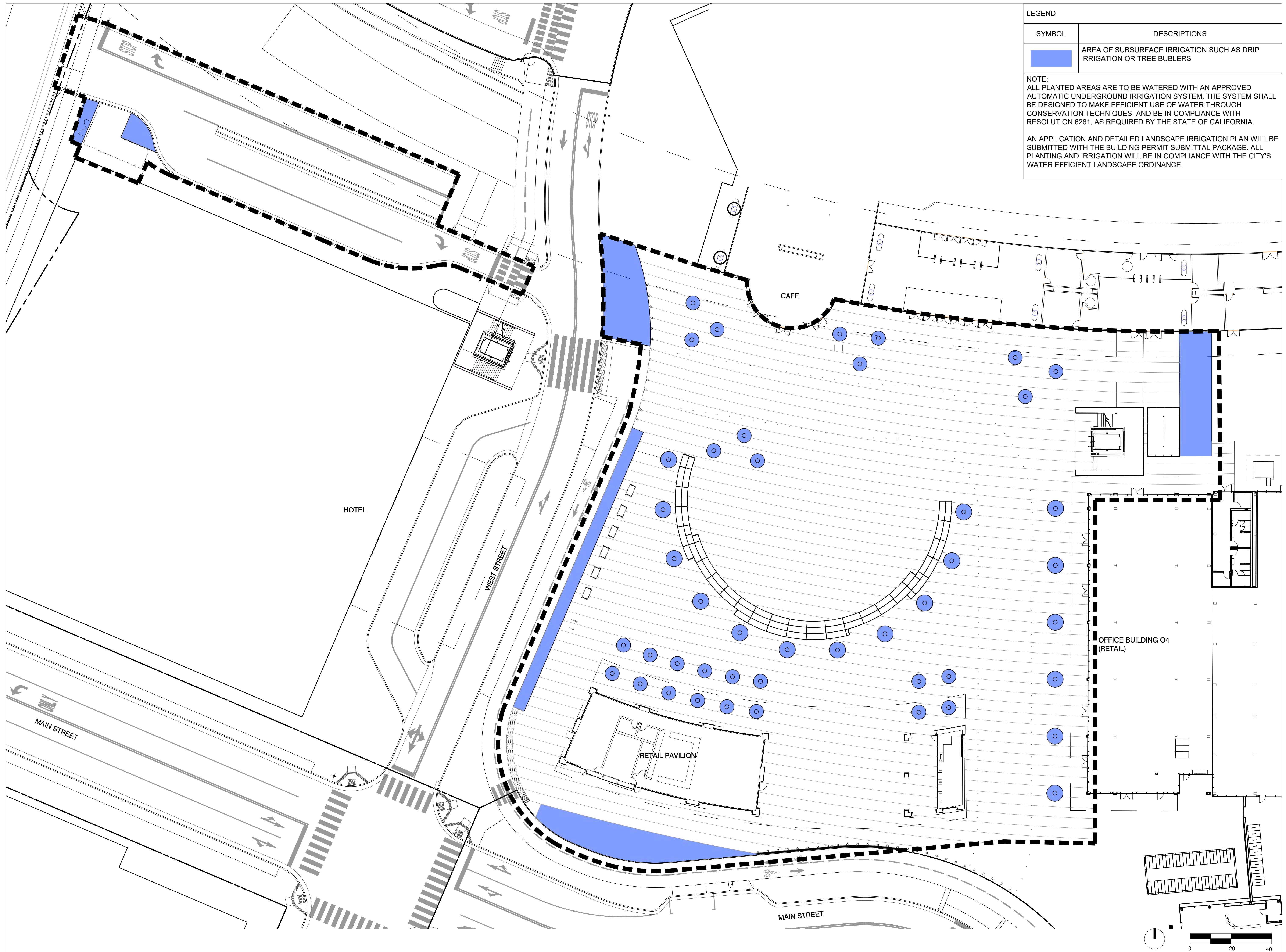
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 NOTE: THIS DRAWING IS 80% A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. OR SEE CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
PLANTING SCHEDULE

DRAWING NO:
L2.03



LEGEND

SYMBOL	DESCRIPTIONS
	AREA OF SUBSURFACE IRRIGATION SUCH AS DRIP IRRIGATION OR TREE BUBLERS

NOTE:
 ALL PLANTED AREAS ARE TO BE WATERED WITH AN APPROVED AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. THE SYSTEM SHALL BE DESIGNED TO MAKE EFFICIENT USE OF WATER THROUGH CONSERVATION TECHNIQUES, AND BE IN COMPLIANCE WITH RESOLUTION 6261, AS REQUIRED BY THE STATE OF CALIFORNIA.

AN APPLICATION AND DETAILED LANDSCAPE IRRIGATION PLAN WILL BE SUBMITTED WITH THE BUILDING PERMIT SUBMITTAL PACKAGE. ALL PLANTING AND IRRIGATION WILL BE IN COMPLIANCE WITH THE CITY'S WATER EFFICIENT LANDSCAPE ORDINANCE.

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 - Town Square
 Menlo Park, CA

PENINSULA INNOVATION PARTNERS

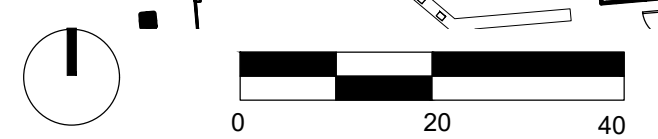
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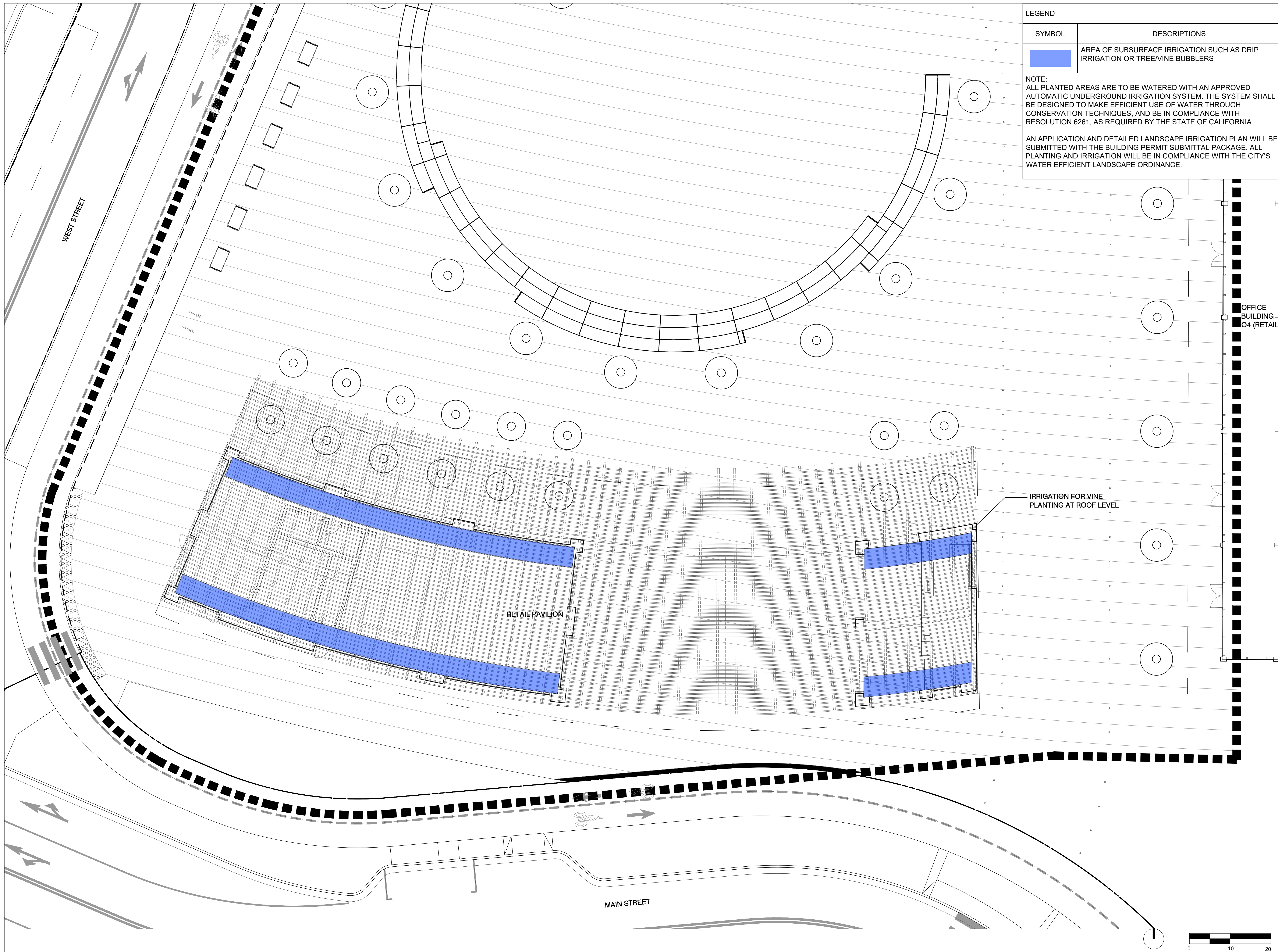
MILESTONES	
DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
**IRRIGATION ZONE DIAGRAM
 LEVEL 1**

DRAWING NO:
L3.00





LEGEND

SYMBOL	DESCRIPTIONS
	AREA OF SUBSURFACE IRRIGATION SUCH AS DRIP IRRIGATION OR TREE/VINE BUBBLERS

NOTE:
 ALL PLANTED AREAS ARE TO BE WATERED WITH AN APPROVED AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. THE SYSTEM SHALL BE DESIGNED TO MAKE EFFICIENT USE OF WATER THROUGH CONSERVATION TECHNIQUES, AND BE IN COMPLIANCE WITH RESOLUTION 6261, AS REQUIRED BY THE STATE OF CALIFORNIA.

AN APPLICATION AND DETAILED LANDSCAPE IRRIGATION PLAN WILL BE SUBMITTED WITH THE BUILDING PERMIT SUBMITTAL PACKAGE. ALL PLANTING AND IRRIGATION WILL BE IN COMPLIANCE WITH THE CITY'S WATER EFFICIENT LANDSCAPE ORDINANCE.

IRRIGATION FOR VINE PLANTING AT ROOF LEVEL

OFFICE BUILDING O4 (RETAIL)

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 - Town Square
 Menlo Park, CA

PENINSULA INNOVATION PARTNERS

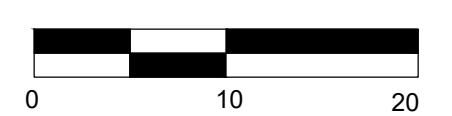
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MILESTONES	
DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
**IRRIGATION ZONE DIAGRAM
 ROOF LEVEL**

DRAWING NO:
L3.01



SCALE:
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. FOR SEE CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

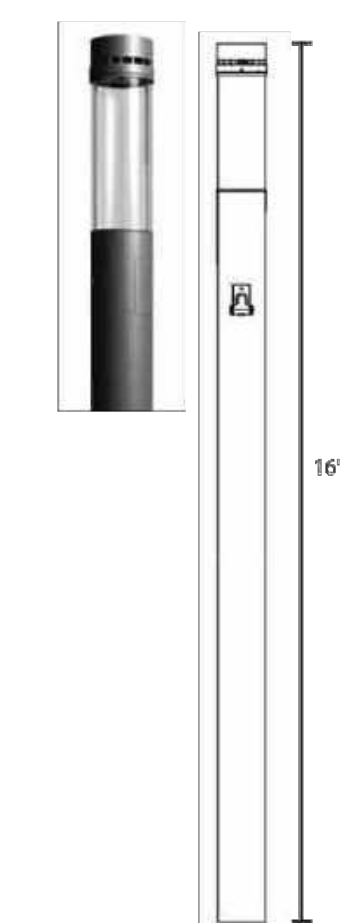
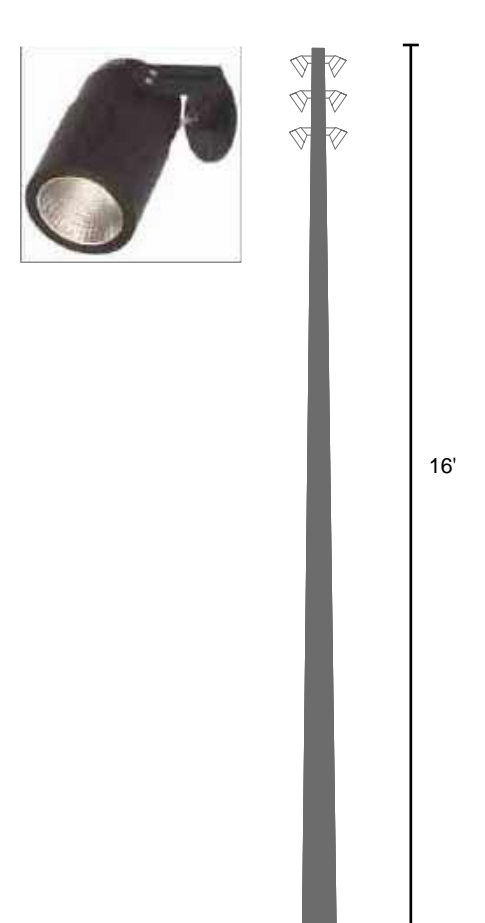
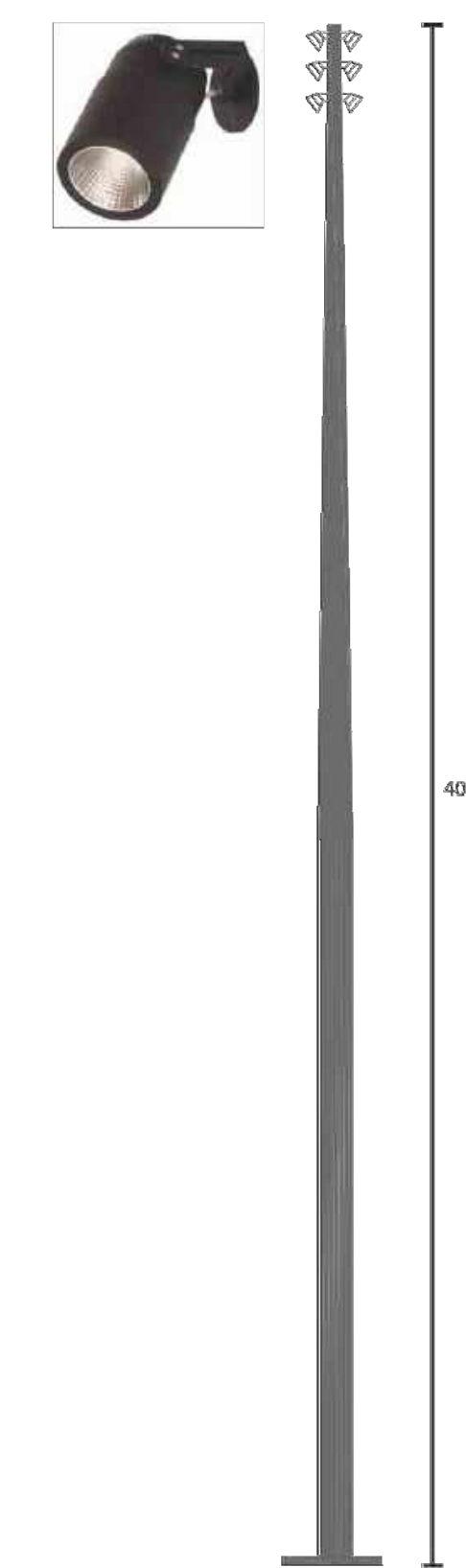
MILESTONES	
DATE	ISSUE
03/10/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
WILLOW VILLAGE TOWN SQUARE CONCEPTUAL LIGHTING PLAN

DRAWING NO:
LG1.00

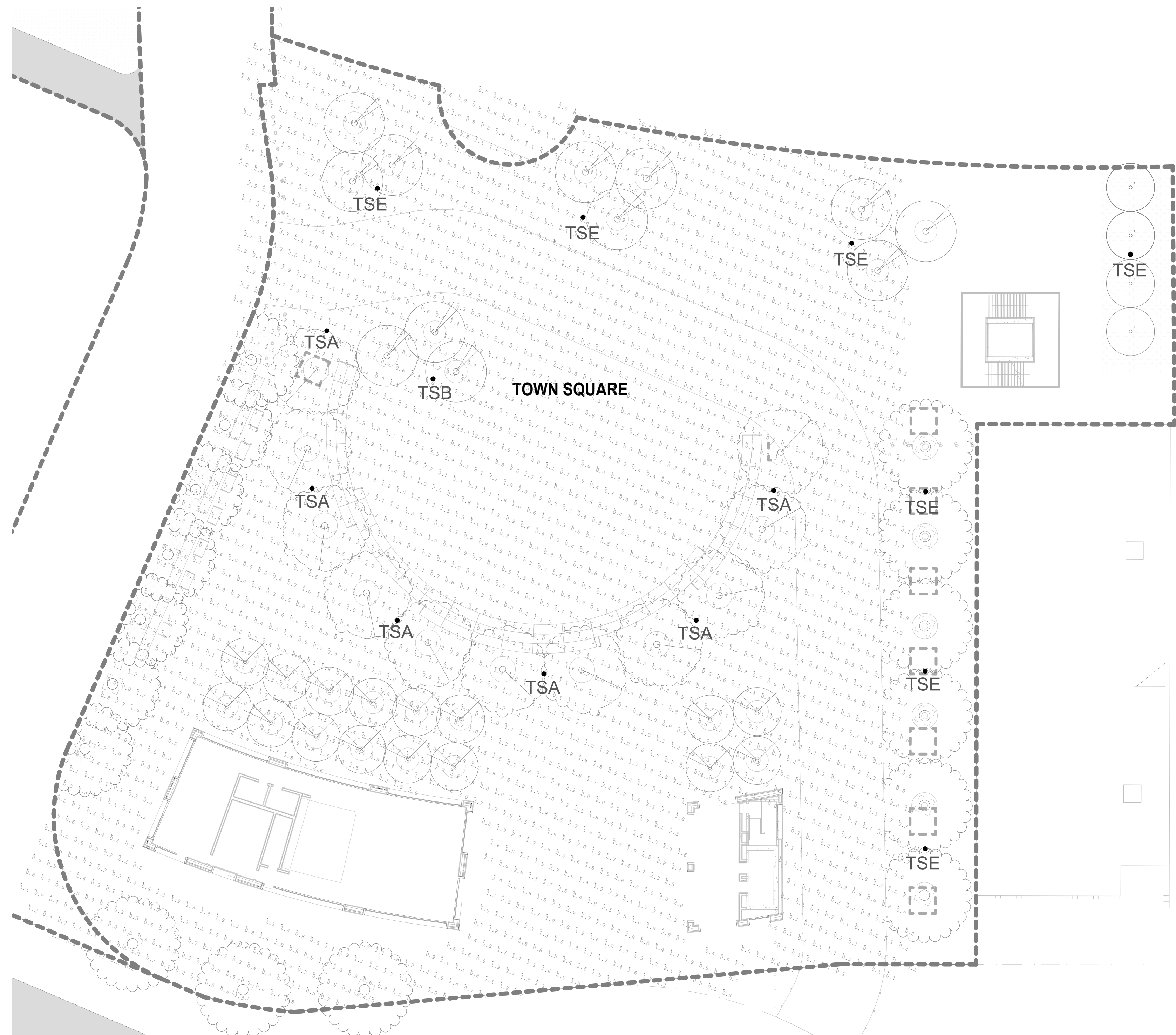
LIGHT FIXTURE PRECEDENT IMAGES



Type TSE: Pedestrian Pole

Type TSA: Pedestrian Pole

Type TSB: High Mast Pole



LIGHTING PHOTOMETRIC PLAN
plan not to scale

PHOTOMETRIC CALCULATION SUMMARY

Calculation Summary	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Town Sq Groundplane	Illuminance	Fc	1.39	13.4	0.0	N.A.	N.A.

The project will implement the lighting measures provided in the Willow Village Master Plan Bird-Safe Design Assessment including:
 The lighting design principles in Section 6.2.1,
 Mitigation Measures 6-9 in Section 6.3.1.2,
 Mitigation Measure 10 in Section 6.3.2.2,
 Mitigation Measures 11 and 12 in Section 6.3.3.2,
 City occupancy sensor requirements (either via compliance with City lighting requirements [i.e., requirement C] or the implementation of the proposed alternative City measures in Section 6.2.2).
 A subsequent report prepared by a qualified biologist will accompany the project's building permit submittal to document compliance of the lighting design for the Office Campus with these requirements.

Parcel 1 – Town Square - Modification #3
Maximum Setback

Modification

Allow Modification to Zoning Code Section 16.43.050, 16.43.130(1)

Allow maximum setback from back of public easement to be 32'-0" along West St and Main St.

Code Requirements

16.43.050 Design Standards – Maximum Setback

Maximum Setback

Definition: Maximum linear feet building can be sited from property line adjacent to street

Base Level: 25 feet

Bonus Level: 25 feet

Notes/Additional Requirements: Setbacks shall be measured from the property line. In instances where there will be a public access easement, measure the setback from the back of the easement. See build-to requirements in Section 16.43.130 (1)

Subject Site and Proposed Building Description

The Willow Village Town Square is a publicly accessible landscaped and hardscaped outdoor amenity space that will serve as a gathering place and event plaza for the general public at ground level. The Town Square is built over a parking garage that serves the hotel, retail, and general visitor populations. At plaza level along the southern Main Street edge will be a one story retail Pavilion. The eastern and northern edges of Town Square are defined by Office Building 4 and the MCS building while West St and the Hotel air rights parcel define the western boundary.

The architecture of the pavilion features a planted wood trellis roofline with a generous cantilevered curving geometry that relates to the Hotel drop off canopy across West Street. The retail pavilion will have a slight curve in plan that gives shape to the Town Square plaza's center, a large semi-circular event space with built in steps that also serve as seating elements. Plantings will be used to define the edges creating spaces for smaller group gatherings. Several seating areas are provided for the retail amenities of the pavilion and the adjacent bordering buildings activating the Town Square plaza all times of day.

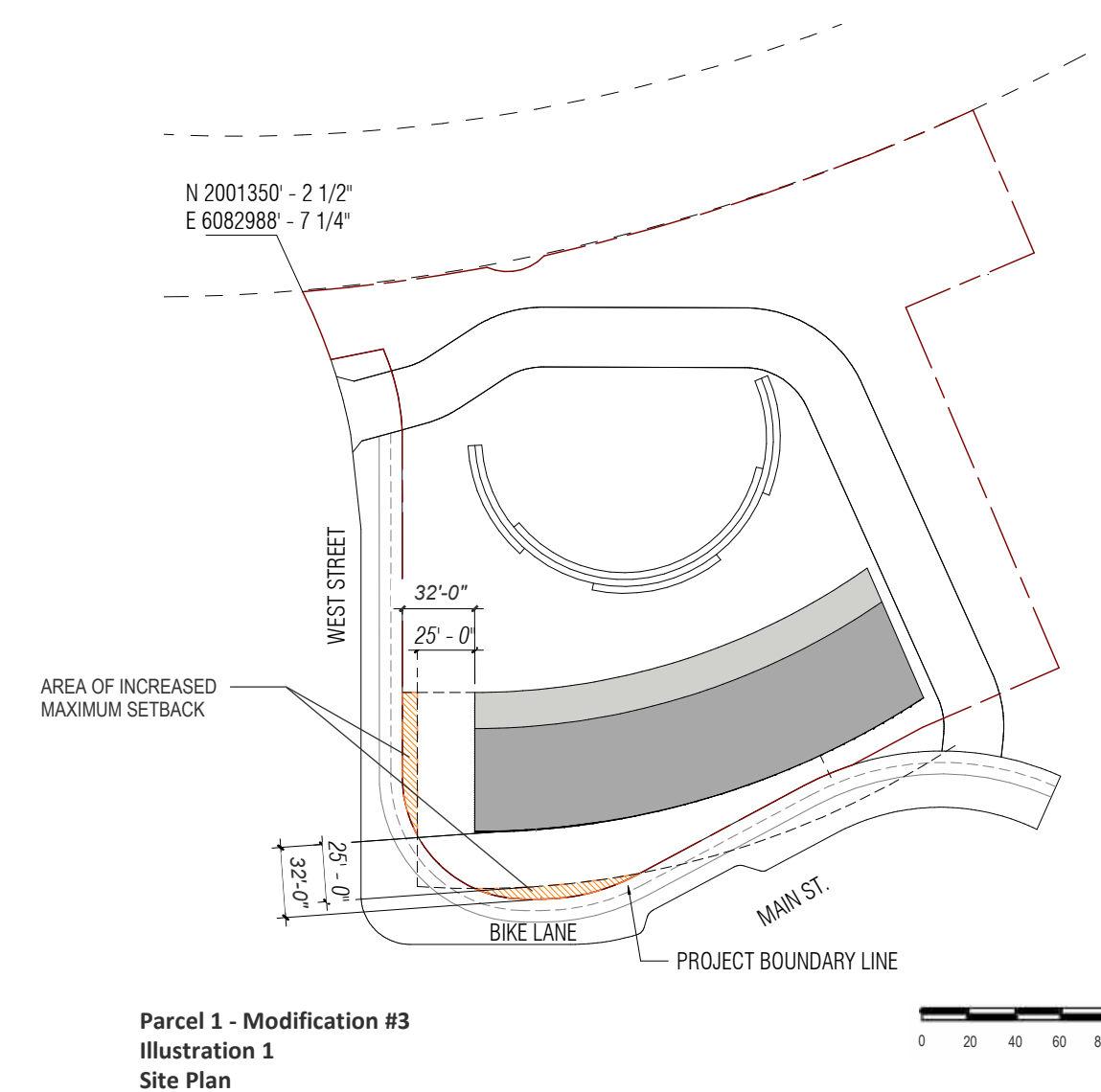
The project proposes a Modification to the zoning requirement for a maximum setback of 25'-0" from property line adjacent to a street to be up to 32'-0" for the corner of West St and Main St. The proposed siting of the building allows for the ease of the public to access the Town Square Plaza, both visually and physically. We believe that the building location as proposed substantially meets the intent of the zoning, i.e., to maintain an active and attractive street edge at public rights of way.

Modifications

Modifications to any Adjustment may be considered according to CDP Section x governing Substantially Consistent Modifications and Minor Modifications.

Attachments

Illustrative Attachment Exhibit
 Parcel 1 - Modification #3, Illustration 1, Site Plan



Parcel 1 - Modification #3
 Illustration 1
 Site Plan

Parcel 1 - Town Square - Modification #2
Building Modulations - Roofline

Modification

Allow Modification to Zoning Code Section 16.43.130(6.G)

Buildings less than 3 storeys may have a consistent roofline without modulation.

Code Requirements

16.43.130 Design Standards - - Building Mass and Scale.

Building Modulations

Definition: Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four (4) foot minimum height modulation to break visual monotony and create a visually interesting skyline as seen from public streets. The variation of the roofline's horizontal distance should match the required modulations and step backs.

Base Level: 4'-0" height modulation

Bonus Level: 4'-0" height modulation

Bonus Level Fronting a Boulevard, Thoroughfare, Mixed Use Collector, or Neighborhood Street: 4'-0" height modulation

Notes/Additional Requirements: Modulation is required on the building facade(s) facing publicly accessible spaces (streets, open space, and paseos). When more than 50% of an existing building facade that faces a publicly accessible space is altered, it must comply with these modulation requirements.

Subject Site and Proposed Building Description

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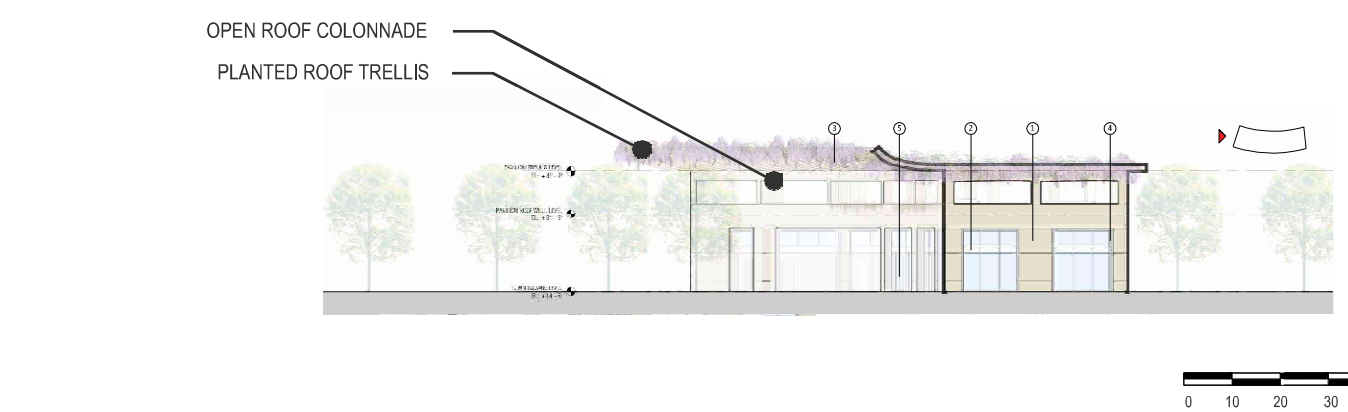
The project proposes a Modification to the zoning requirement for a roofline height modulation of 4'-0" minimum, in the pavilion Main Street facade. The proposed roof as designed has a planted wood trellis over an open colonnade above the parapet line. The play of light and shadow, surface and void that will result from the design is the dominant visual interest of the retail pavilion architecture. We believe that the roofline as designed substantially meets the intent of the zoning, i.e., to avoid visual monotony and create a visually interesting skyline.

Modifications

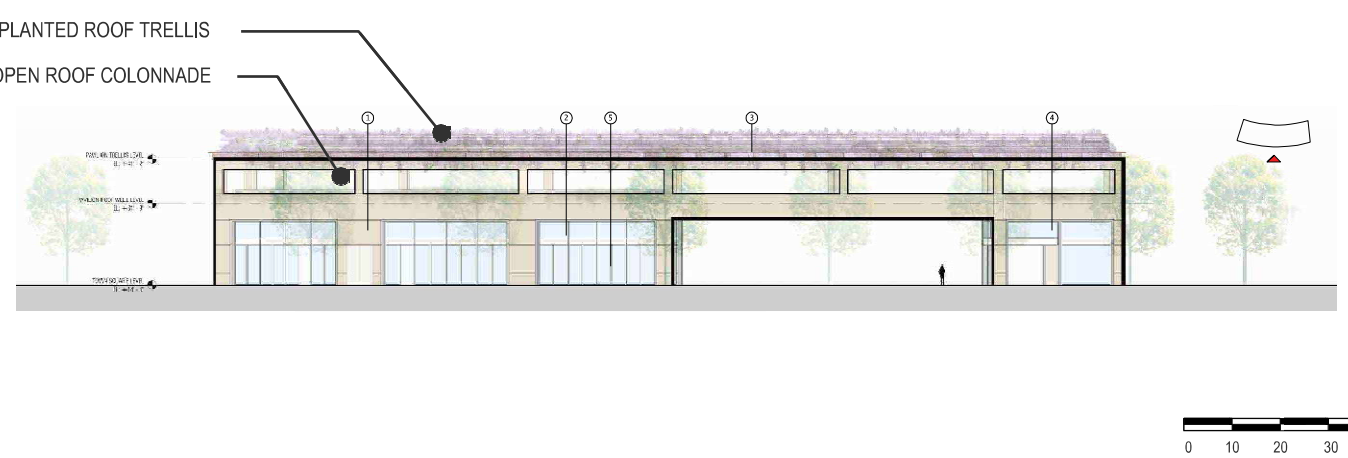
Modifications to any Adjustment may be considered according to CDP Section x governing Substantially Consistent Modifications and Minor Modifications.

Attachments

Illustrative Attachment Exhibit
 Parcel 1 - Modification #2, Illustration 1, West Elevation
 Parcel 1 - Modification #2, Illustration 2, South Elevation



Parcel 1 - Modification #2
 Illustration 1
 West Elevation



Parcel 1 - Modification #2
 Illustration 2
 South Elevation

Parcel 1 - Town Square - Modification #1
Building Modulations

Modification

Allow Modification to Zoning Code Section 16.43.130(2)

Allow 75'-0" maximum length ground floor pedestrian pass-through at grade level along Main Street facade, with a minimum of one per facade.

Code Requirements

16.43.130 Design Standards - Building Mass and Scale.

Building Modulations

Definition: A building modulation is a break in the building plane from the ground level to the top of the building's base height that provides visual variety, reduces large building volumes and provides spaces for entryways and publicly accessible spaces.

Base Level: One every 200 feet, with a minimum of one per facade

Bonus Level: One every 200 feet, with a minimum of one per facade

Bonus Level Fronting a Boulevard, Thoroughfare, Mixed Use Collector, or Neighborhood Street: One every 200 feet, with a minimum of one per facade

Notes/Additional Requirements: Modulation is required on the building facade(s) facing publicly accessible spaces (streets, open space, and paseos). Parking is not allowed in the modulation recess. When more than 50% of an existing building facade that faces a publicly accessible space is altered, it must comply with these modulation requirements.

Subject Site and Proposed Building Description

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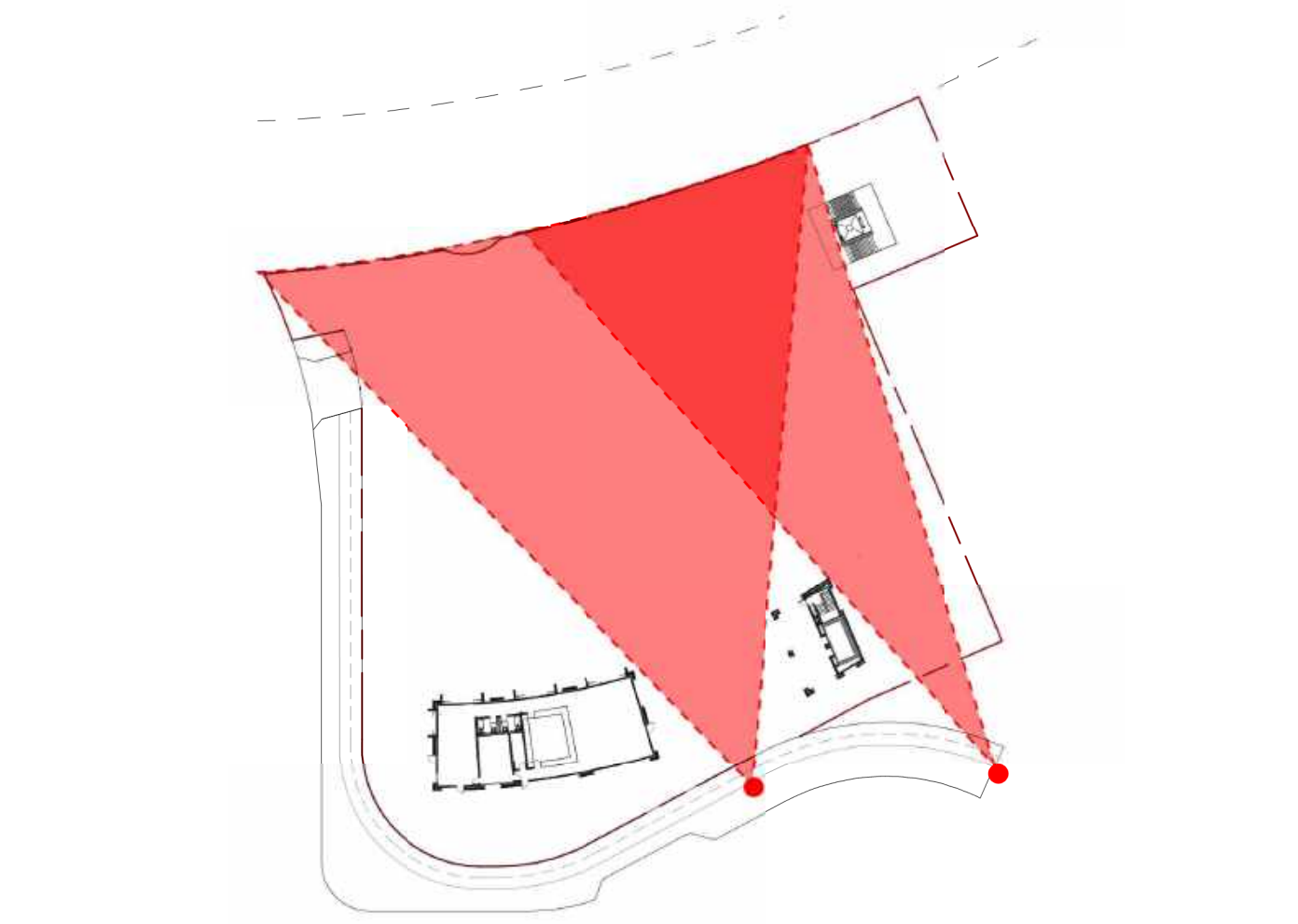
The project proposes a Modification to the zoning requirement for a full building height modulation every 200', with a minimum of one per facade, in the Pavilion's Main Street facade. The proposed facade as designed has a large through-building passageway from Main St to the Town Square central plaza. The passageway provides ample views as well as access through the plaza from Main St. It occurs within 200' from either edge of the pavilion and will be approximately 70'-0" in length. We believe that the facade as designed substantially meets the intent of the zoning, i.e., to avoid monotonous long facades.

Modifications

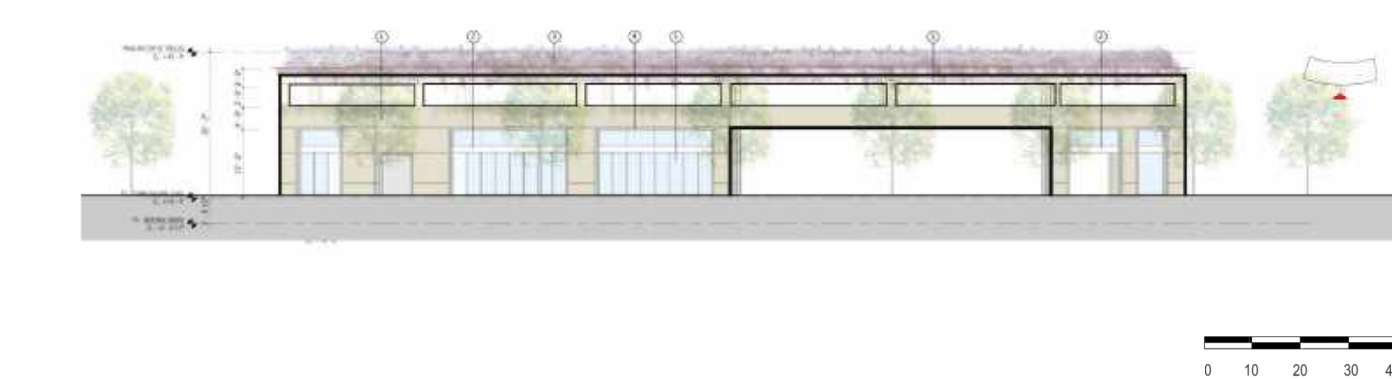
Modifications to any Adjustment may be considered according to CDP Section x governing Substantially Consistent Modifications and Minor Modifications.

Attachments

Illustrative Attachment Exhibit
 Parcel 1 - Modification #1, Illustration 1, Site Plan - View Corridors from Main St.
 Parcel 1 - Modification #1, Illustration 2, South Elevation



Parcel 1 - Modification #1
 Illustration 1
 Site Plan - View Corridors from Main St.



Parcel 1 - Modification #1
 Illustration 2
 South Elevation

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 - Town Square
 Menlo Park, CA

SCALE:
 NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE REQUIRED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES

DATE	ISSUE
03/10/2023	ACP

REVISIONS

NO.	DATE	ISSUE
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DRAWING TITLE:
WILLOW VILLAGE TOWN SQUARE
APPROVED MODIFICATIONS

DRAWING NO:

A9.31