# Willow Village Architectural Control Package - Parcel 1 - Town Square



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03/10/2023



## Peninsula Innovation Partners

Menlo Park, CA

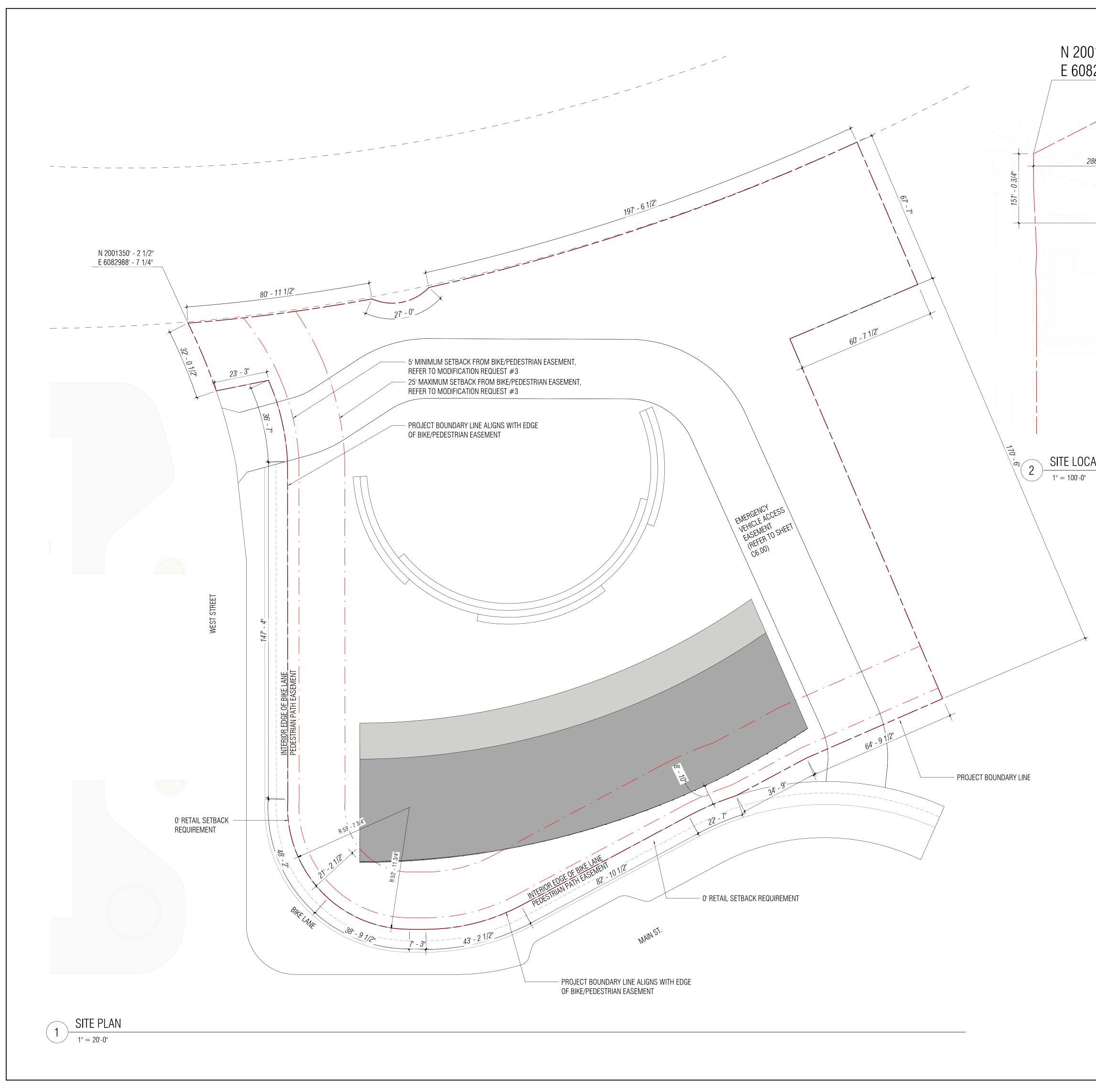
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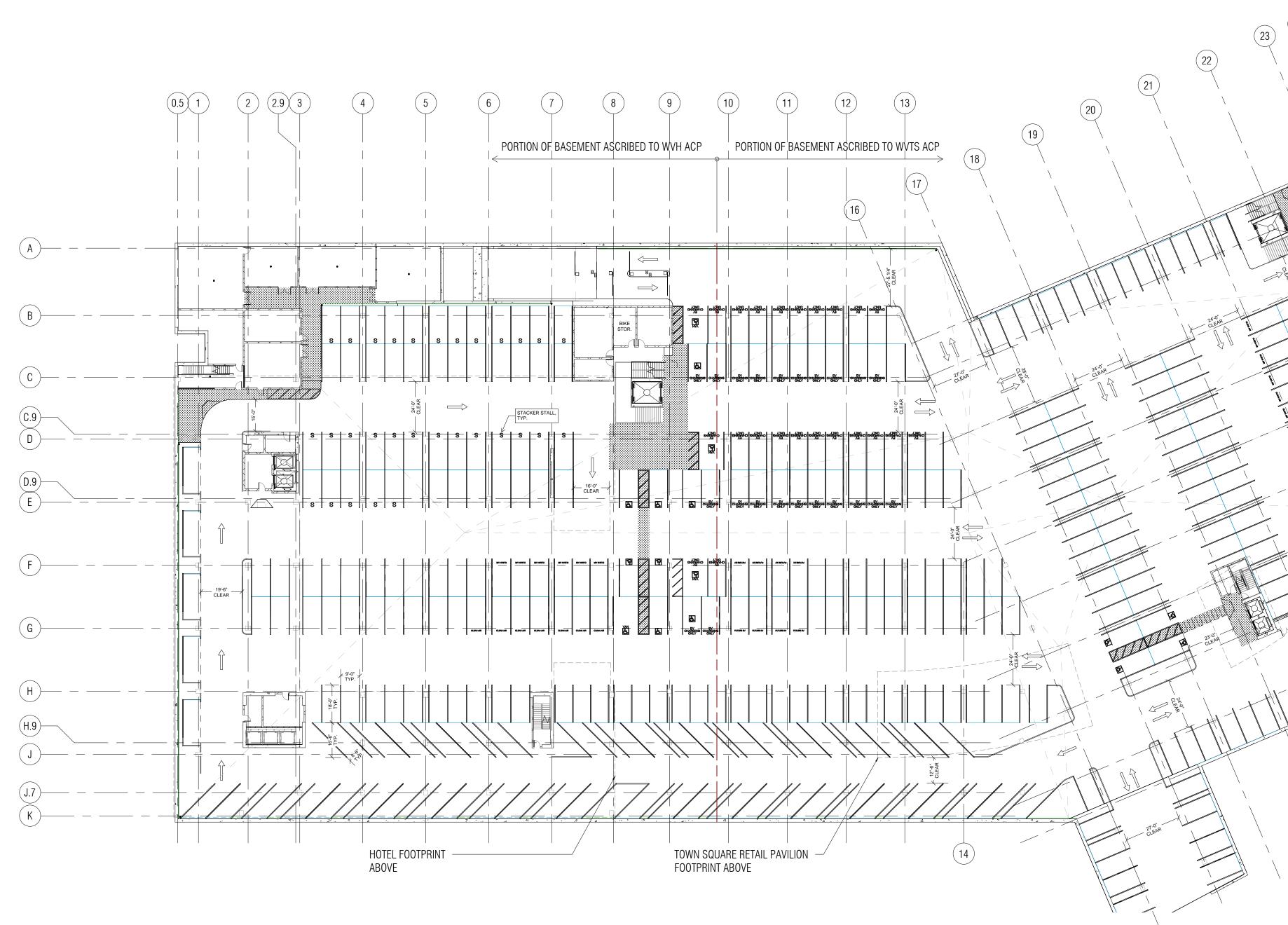
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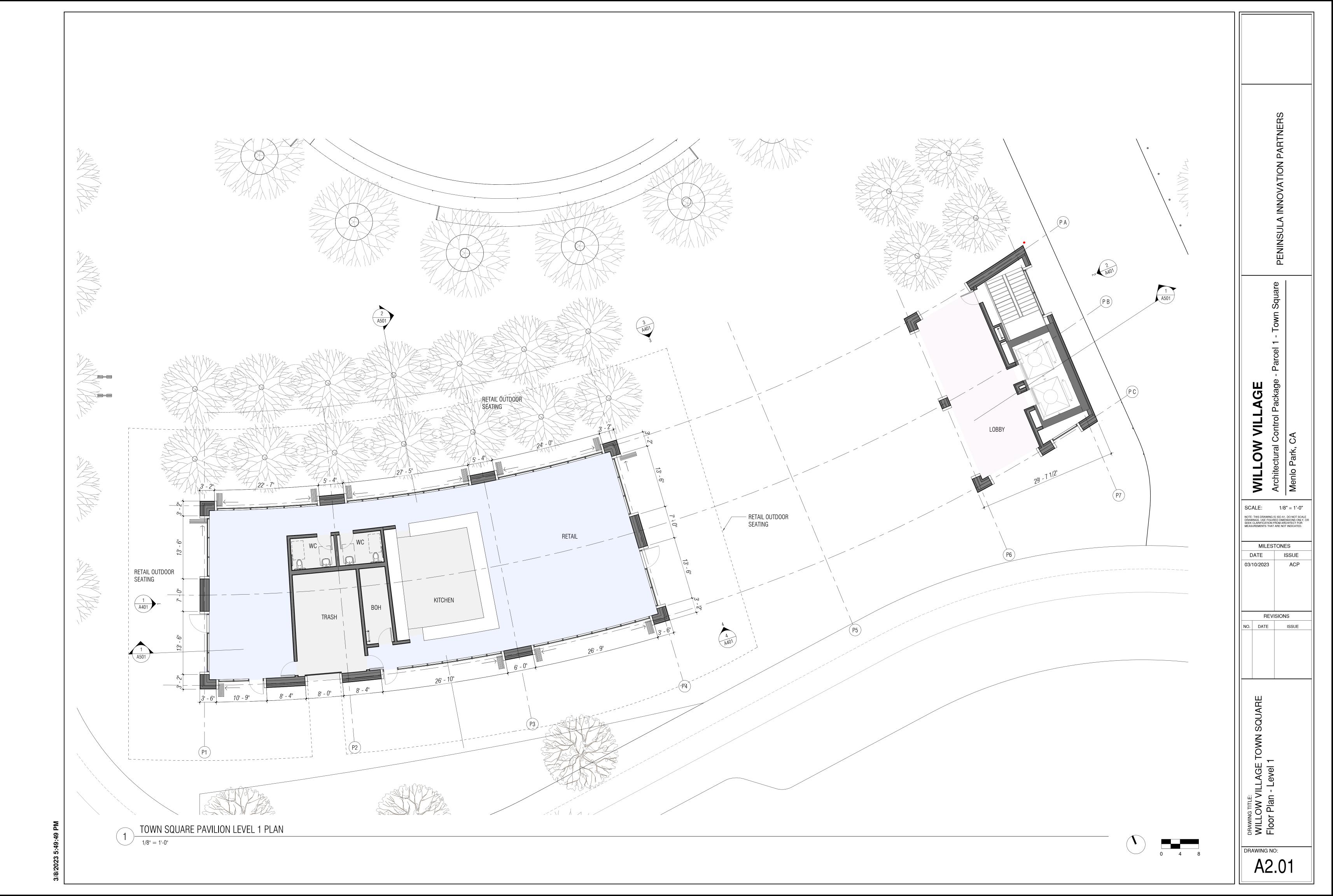
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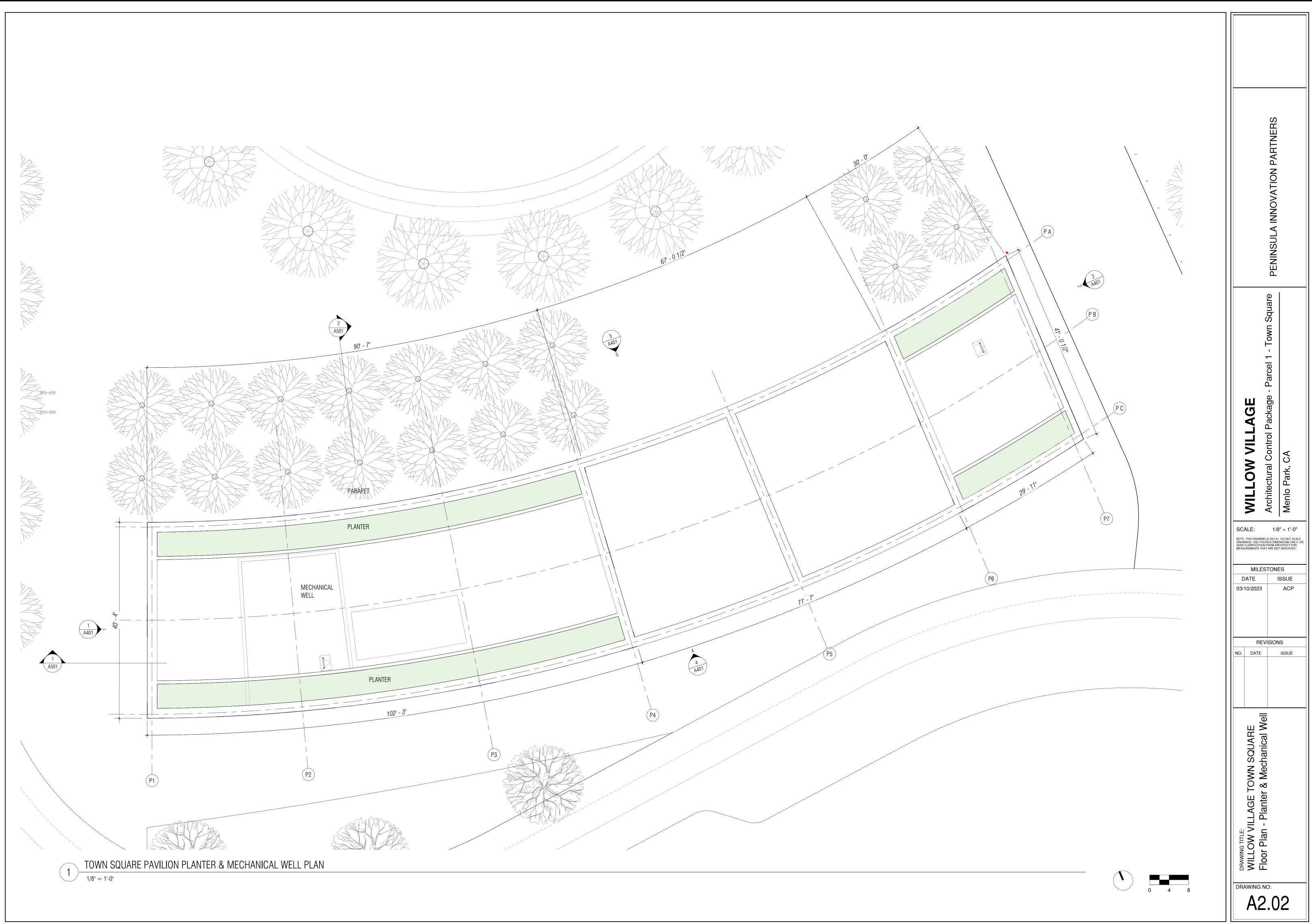


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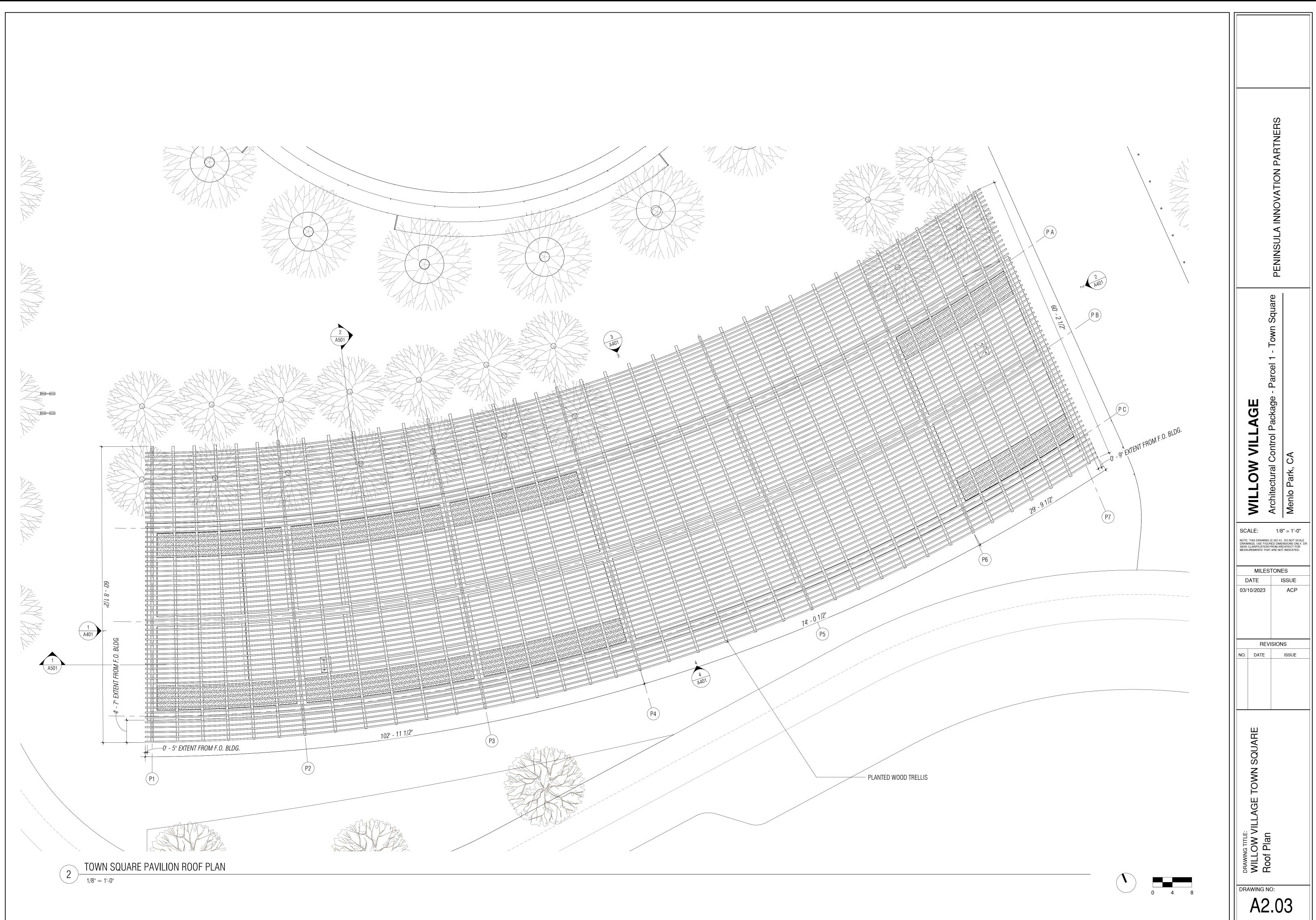


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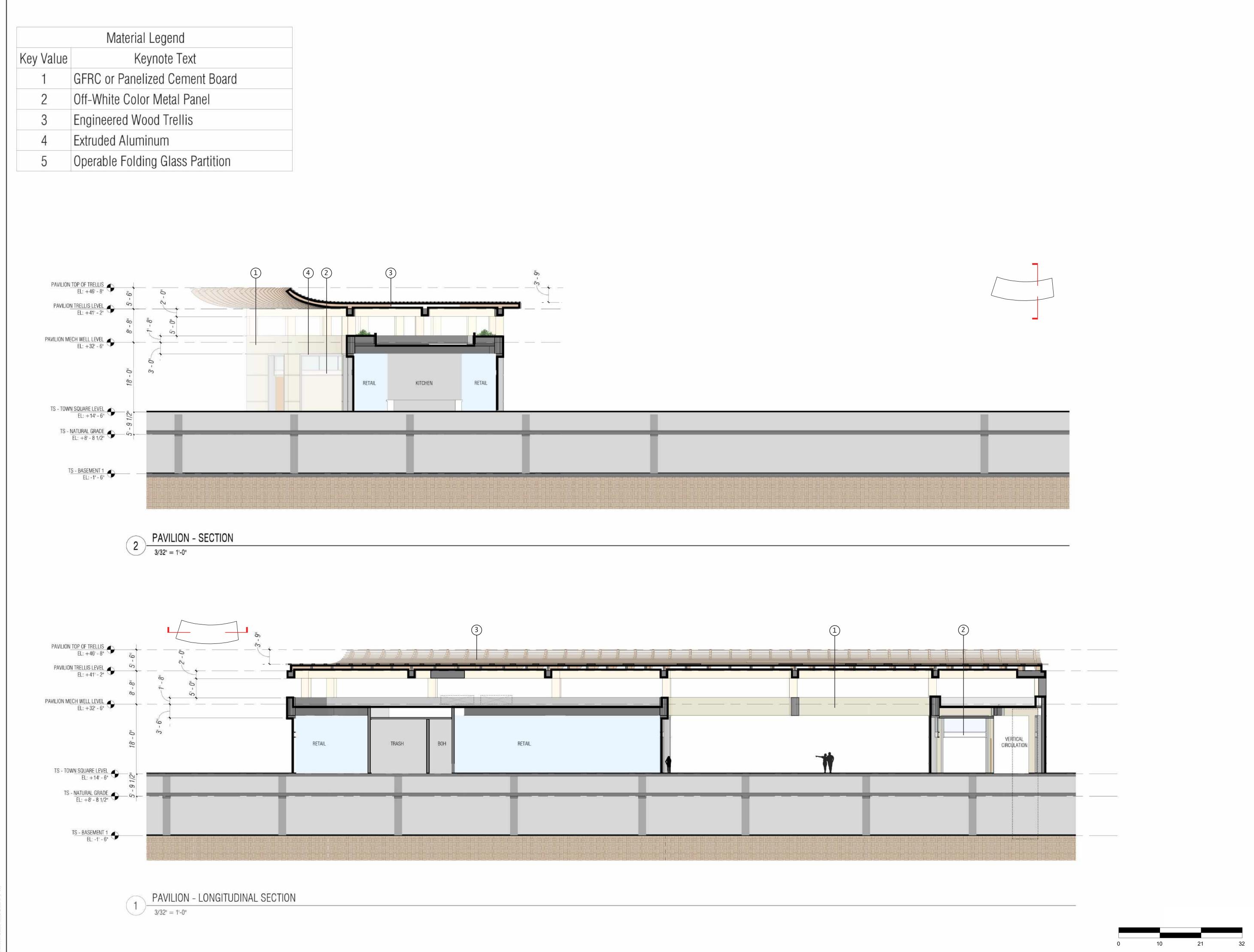
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VIEW FROM WEST ST EDGE



VIEW FROM WEST ST AND MAIN ST INTERSECTION

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GFRC or Panelized Cement Board



Engineered Wood Trellis, Species TBD, Earth Tone Color Stain Finish





GFRC or Panelized Cement Board





Operable Folding Glass Panels

Vision glass



Metallic Grey Aluminum Mullions



Bronze Finish Aluminum Spandrel Panels

PENINSULA INNOVATION PARTNERS
WILLOW VILLAGE Architectural Control Package - Parcel 1 - Town Square Menlo Park, CA
SCALE:         NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE         DRAWINGS. USE FIGURED DIMENSIONS ONLY, OR         SEEK CLARIFICATION FROM ARCHITECT FOR         MEASUREMENTS THAT ARE NOT INDICATED.         MILESTONES         DATE       ISSUE         03/10/2023       ACP
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## Project Willow Base Zone: O

Requirement	Reference	Standard	Proposal / Notes	Compliance
/linimum setback	16.43.050	Minimum linear feet building can be sited from property line adjacent to street: Base Level: 5'; Bonus Level 5'	See Plans and Diagrams	Complies
it street	16.45.130(1)	Measured from property line, or if there is a public access easement, from the back of the easement.	C C	- •
laximum setback	16.43.050	Maximum linear feet building can be sited from property line adjacent to street: 25'	See Plans and Diagrams	
t street	16.43.130(1)		Modification #3	Complies with Modificatio
inimum interior		Minimum linear feet building can be sited from interior and rear property lines: 10'	N/A	
ide and rear etbacks	16.43.050	See Section 16.43.130(5) when property is required to have a paseo. Interior side setback may be reduced to zero feet for the entire building mass where there is retail frontage.	Public Open Space	N/A
leight	16.43.050	Average Height: 67.5 feet Properties within the flood zone or subject to flooding and sea level rise are allowed a <u>10-foot increase in height</u> and maximum height.		
		Maximum height: 110 feet "Height" is defined as average height of all buildings on one site where a maximum height cannot be exceeded. Maximum height does not include roof-mounted equipment and utilities. A parapet used to screen mechanical equipment is not included in the height or maximum height. The maximum allowed height for rooftop mechanical equipment is 14 feet, except for elevator towers and associated equipment, which may be 20 feet.	See Plans and Diagrams	Complies
/inimum open pace requirement	16.43.050 16.43.130(4)	Minimum portion of the building site open and unobstructed by fully enclosed buildings. See Section 16.43.130(4) for open space requirements.	See Plans, Diagrams, Calculations and Masterplan Diagrams	Complies
O Master plann	ed projects	•		
Reference	o	Standard	Proposal / Notes	Compliance
		The purpose of a master planned project is to provide flexibility for creative design, more orderly development, and optimal use of open space, while maintaining and achieving the general plan vision for the Bayfront Area. Master planned projects for sites with the same zoning designation (O, LS or R-MU) in close proximity or for contiguous sites that have a mix of zoning designations (O or R-MU) that exceed fifteen (15) acres in size and that are held in common ownership (or held by wholly owned affiliated entities) and are proposed for development as a single project or single phased development project are permitted as a conditional use, provided that sites with mixed zoning are required to obtain a conditional development permit and enter into a development agreement. For master planned projects	See Plans, Diagrams, Calculations and Masterplan Diagrams: Open space calculated in the aggregate across the site.	Complies

Reference	Standard	Proposal / Notes
16.43.055	The purpose of a master planned project is to provide flexibility for creative design, more orderly development, and optimal use of open space, while maintaining and achieving the general plan vision for the Bayfront Area. Master planned projects for sites with the same zoning designation (O, LS or R-MU) in close proximity or for contiguous sites that have a mix of zoning designations (O or R-MU) that exceed fifteen (15) acres in size and that are held in common ownership (or held by wholly owned affiliated entities) and are proposed for development as a single project or single phased development project are permitted as a conditional use, provided that sites with mixed zoning are required to obtain a conditional development permit and enter into a development agreement. For master planned projects meeting these criteria, residential density, FAR and open space requirements and residential density, FAR and open space requirements at the bonus level, if applicable, may be calculated in the aggregate across the site provided the overall development proposed does not exceed what would be permitted if the site were developed in accordance with the zoning designation applicable to each portion of the site and the proposed project complies with all other design standards identified for the applicable zoning districts. (Ord. 1024 § 3 (part), 2016).	See Plans, Diagra Diagrams: Open s

## O Parking Standards

Requirement	Reference	Standard	Proposal / Notes	Compliance
Commercial Parking	16.43.090	Minimum 0.75 spaces per guest room ; Maximum 1.1 spaces per guest room	See Plans, Diagrams, Calculations and Masterplan Documents	Complies
Commercial Uses Bike Parking		1 per 5,000sf of gross floor area. 20% for long term and 80% for short term.	See Plans, Diagrams, Calculations and Masterplan Documents	Complies

## O Design Standards

All new construction in O districts is subject to architectural control. Design standards may be modified subject to approval of a use permit or a conditional development permit. Per the Willow Village Master Plan, projects within the plan area will follow the standards prescribed for bonus level development.

Reference		Standard	Proposal / Notes	Compliance
Relationship to t	he Street			
	Build-To Area Requirement	Minimum percentage of street frontage between the minimum and maximum setback lines. If fronting a Local Street: 40%.	See Plans and Diagrams	Complies with Use Permit
		If fronting a Boulevard, Thoroughfare, Mixed Use Collector, or Neighborhood Street: 60% minimum.	Refer to Use Permit 2, 3	
	Frontago	The percentage of the setback area (between the property line and the face of the building) devoted to ground cover and vegetation. Trees may or may not be within the landscaped area. Setback areas adjacent to active ground floor uses is excepted.	See Plans and Diagrams	
	Frontage Landscaping	If fronting a Local Street: Minimum of 25% (50% of which should provide on-site infiltration of stormwater runoff)		Complies with Use Permit
		If fronting a Boulevard, Thoroughfare, Mixed Use Collector, or Neighborhood Street then Minimum of 25% (50% of which should provide on-site infiltration of stormwater runoff)	Refer to Use Permit 1	
16.43.130(1)	Frontage Uses Surface Parking Along Street	Allowable frontage uses in order to support a positive integration of new buildings into the streetscape character If fronting a Local Street: No restrictions It fronting a Boulevard, Thoroughtare, Mixed Use Collector, or Neighborhood Street then setback areas parallel to street not used for frontage landscaping must provide pedestrian circulation, other publicly accessible open spaces, access to parking, bicycle parking, or other uses that the planning commission deems appropriate	N/A Public Open Space	N/A
		Permitted if set back appropriately. The maximum percentage of linear frontage of property adjacent to the street allowed to be off-street surface parking: If fronting a Local Street: Maximum of 35%	N/A Public Open Space	N/A
	Frontage	If fronting a Boulevard, Thoroughfare, Mixed Use Collector, or Neighborhood Street then Maximum of 25%.		
	Minimum Surface Parking Setback	Minimum dimension property line to surface parking: 20'.	N/A Public Open Space	N/A

Image:					
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Number         Non-state display bits in a securgit of any secure display bits in the secure display bits in	Building Mass and		horizontal distance required. Properties within the flood zone or subject to flooding and sea level rise are allowed a 10' increase.	See Plans and Diagrams	Complies
Bint of the second se	16.43.130(2)		10' for a minimum of 75% of the building face along public street(s), additional 10-ft above 75' A maximum of 25% of the building face along public streets may be excepted.	-	Complies
Image:		-	The maximum depth of allowable building projections, such as balconies or bay windows, from the required step back	See Plans, Elevations, Sections, and Diagrams	Complies
Building         End on the deficiency of a constant is applied in a graph of a constant is applied in a transmission of a constant is applied in a constant is appl	Ground Floor Evi	Building Modulations	A break in the building plane from the ground level to the top of the building's base height. Required on façades facing publicly accessible spaces. Parking is not allowed in the recess.		
Parameter         Weine of a loss of spin of s	Ground Floor Exte	Building	Entrances at building corner satisfy requirement for both frontages. Stairs must be conveniently located.	See Plans	Complies
Basebase Hateling         Basebase Property and Property andeProperty and Property and Property andeProperty and Pro		Transparency		See Plans, Diagrams, and Calculations	Complies
Amery         Amery <th< td=""><td></td><td>Ground Floor Height Along</td><td></td><td>Single story building</td><td>Complies</td></th<>		Ground Floor Height Along		Single story building	Complies
Autogetic         Search search search search         Search search search search         Original           1000000000000000000000000000000000000	16.43.130(3)	-	Maximum 12-foot opening for one-way entrance; maximum 24-foot opening for two-way entrance Garage entrances must be separated by a minimum of 100 feet to ensure all entrances/exits are not grouped together or resulting in an entire stretch of sidewalk unsafe and undesirable for pedestrians.		N/A
Image: Control of a particle is analysis in angles         Control of Contro Of Control of Control of Control of Control of Control o			Maximum depth: 7'	See Plans, Elevations, Sections, and Diagrams	Complies
Ke 3.500     Ke 3.500				See Plans	Complies
Bit Add Table 1         Computer source and the spectra protein data image range of the spectra protein control in the spectra the spectra	Open Space	A	<ul> <li>landscaping and hardscape that provides seating and places to rest, places for gathering, passive and/or active recreation, pedestrian circulation, or other similar use. Must contain:</li> <li>(i) Contain site furnishings, art, or landscaping</li> <li>(ii) Be on the ground floor or podium level</li> <li>(iii) Be at least partially visible from a public right-of-way such as a street or paseo</li> </ul>	See Plans	Complies
H.4.1360/1         Product Section		В	Quasi-public and private open spaces, which may or may not be accessible to the public, include patios, balconies,	See Plans and Diagrams	Complies
Image: state of the s	16.43.130(4)	с	<ul> <li>All open spaces shall:</li> <li>(i) Interface with adjacent buildings via direct connections through doors, windows, and entryways</li> <li>(ii) Be integrated as part of building modulation and articulation to enhance building facade and should be sited and designed to be appropriate for the size of the development and accommodate different activities, groups and both active and passive uses;</li> <li>(iii) Incorporate landscaping design that includes: <ul> <li>a. Sustainable stormwater features;</li> </ul> </li> </ul>		
Building Dualger         Man outging participance shell flox the larger of a proving accessible carefully accessible careful		D	c. Native species able to grow to their maximum size without shearing.	See Plans	Complies
A         data targets that any data that all both the data at the short Rotat Linging tarding parts in the start         Complex           B         Willing the short the short the data at the short Rotat Linging tarding parts in the short registery, campatel and hold waters short the short the data at the short the s	Building Design	-			
B         Circle added statics, we description by the public votes director.         Own fails         Complex set added statics, we may an added static static static static statics, we may added static static statics, we may added statics, we were statics, were statics, we were statics, we		Α	shall bring the human scale to the edges of the street. Retail building frontage shall be parallel to the street.		
Applied contents         State Parts and Diagrams         Complies           0         Train and comprise that and comprise of the enders of all interview sciences from public with the prints yuliary         Site Parts and Diagrams         Complies           16.4.1.100(1)         Matchine and colored of all interview sciences and with the train constructions and interview sciences and with the prints yuliary of another the first years and public years		B	the extent feasible, as determined by the public works director.		
E         Materials and colors of utility, least, and storage enclosures shall match to be computed with the princip basis         Set Parts         Complex basis           18.43.100(1)         F         Sublement shall be determent on the part and type careful by the matches added by the parts of parts				-	· · · · ·
A.3.1960)         Rulling metals data to doubted top happing is submarked and top happing and informations of submark in the submark of the balang functions. We make submark in the submark interport information of submark informations of submark informating submark informations of submark informating of subma		E		See Plans	· · · · ·
A         Boolines and covers adjacent is sized-barring facades shall vary across a hulding, leducing a faut (4) fool minimum height madiation to beak stual roosclary and media shall by there is in which y there is in the public barring facades is the stuarts of the minimum height madiation to the varies of the varies	16.43.130(6)	F	Building materials shall be durable and high quality to ensure adaptability and reuse over time. Glass paneling and windows shall be used to invite outdoor views and introduce natural light into interior spaces. Stucco shall not be used		
Pin         and activitudinal and shortunal design.         Complex           I         Rod-mounted supportent shall meads augument, such as all conditioning supportent, such as all conditioning supportent. Such as all conditioning supportent shall be sourced for the SUCO district which as all conditioning supportent. The problem control is all conditioning supportent. The problem control is all conditioned in the top of the north-mounted supportent. The problem control is all conditioned in the top of the north-mounted supportent. The problem control is all conditioned in the top of the north-mounted supportent shall be accessed for (SO) decides at a support shall method.         NA           A         Service access and loading provide controls and and supportent shall be accessed for (SO) decides at all conditioned supportent shall be accessed for (SO) decides at all conditioned and provide controls and provide provide control and provide control and and provide c		G	Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four (4) foot minimum height modulation to break visual monotony and create a visually interesting skyline as seen from public streets (see	See Plans, Elevations, Sections, Modification #2	Complies with CDP (Section 4.5.2) Complies with Modification
I         Rod-municid capitrment shall mode the requirements of section 10.08.006         Section 10.08.005 Mechanical applications, sech as of constraining exploring tables descreted from view as a section 10.08.006         See Plans         Complies           0         Species 10.08.005 Mechanical applications and all sources entities provided, that such equipment shall not exceed fibr (50) detables at a discusse of all sources and all sources entities provided in the sources of the SPE-ECRO distance with regulations of the sources of the sources of the SPE-ECRO distance with regulations of the sources of the sources of the SPE-ECRO distance with regulations of the sources of the s		н		See Plans	Complies
B         Service access and bading docks shall be located on a point of interior access streets and to the rear of buildings, and shall not be located along a publicly accessible space.         N/A. Building is surrounded on 4 sides by publicly accessible space.           C         Aboveground garages shall be screened or located behind buildings that are along public streets.         N/A         N/A           D         Garage and urface parking lots shall be screened or set behind buildings to are along public streets.         N/A         Complies           E         Surface parking lots shall be buffered from adjacent buildings by a minimum six (b) foet of paved pathway or landscaped area.         N/A         N/A           F         Surface parking lots shall be screened with indicacing features such as trees, planters. and vegetation, individing a tree parking lots shall be buffered from adjacent of or equired setback area for surface parking.         N/A         N/A           G         Surface parking lots shall be planted with at least one tree for every eight parking spaces. See planting diagram.         N/A         N/A           H         Surface parking lots shall be loated with SP of forby or main ertrans. Long-lemm blyche parking facilities is all or the street pasce with a street or every eight parking spaces.         See Plants, Diagrams, Calculations, and Masterplan documents         N/A           H         Surface parking lots shall be forter or rear or plarked bioly or anal entrans. Long-lemm blyche parking facilities is all or the form or an ininterior locaked room or encloaure.         N/A		1	Section 16.08.95: Mechanical equipment, such as air conditioning equipment, ventilation fans, vents, ducting, or similar equipment, may be placed on the roof of a building; provided, that such equipment shall be screened from view as observed at an eye level horizontal to the top of the roof-mounted equipment, except for the SP-ECR/D district which has unique screening requirements, and all sounds emitted by such equipment shall not exceed fifty (50) decibels at a		Complies
B         Service access and bading docks shall be located on a point of interior access streets and to the rear of buildings, and shall not be located along a publicly accessible space.         N/A. Building is surrounded on 4 sides by publicly accessible space.           C         Aboveground garages shall be screened or located behind buildings that are along public streets.         N/A         N/A           D         Garage and urface parking lots shall be screened or set behind buildings to are along public streets.         N/A         Complies           E         Surface parking lots shall be buffered from adjacent buildings by a minimum six (b) foet of paved pathway or landscaped area.         N/A         N/A           F         Surface parking lots shall be screened with indicacing features such as trees, planters. and vegetation, individing a tree parking lots shall be buffered from adjacent of or equired setback area for surface parking.         N/A         N/A           G         Surface parking lots shall be planted with at least one tree for every eight parking spaces. See planting diagram.         N/A         N/A           H         Surface parking lots shall be loated with SP of forby or main ertrans. Long-lemm blyche parking facilities is all or the street pasce with a street or every eight parking spaces.         See Plants, Diagrams, Calculations, and Masterplan documents         N/A           H         Surface parking lots shall be forter or rear or plarked bioly or anal entrans. Long-lemm blyche parking facilities is all or the form or an ininterior locaked room or encloaure.         N/A		Α	Shared entrances to retail and office uses shall be used where possible.		N/A
C         Abovegound garages shall be screened or located behind buildings that are along public streets.         NA         NA           D         Garage and surface parking lacess shall be screened or set behind buildings that are along a publicly accessible open indices shall be streened with landscaped area.         NA         Complies           E         Surface parking lots shall be screened with landscaping features such as trees, planters, and vegetation, including a true screened vice.         NA         NIA           F         Surface parking lots shall be screened with landscaping features such as trees, planters, and vegetation, including a diageant, and adjacent buildings that area not devoted to driveways shall be landscaped. Trees shall be planted at a rate of one (100) equate features of resultice access assement adjacent to the street or passos. The portion of this area not devoted to driveways shall be landscaped. Trees shall be planted at a rate of one (100) equate feat of required settack area for surface parking.         NIA         NIA           G         Surface parking lots shall be planted with at least one tree for every eight parking spaces. See planting diagram.         NIA         NIA         NIA           H         Surface parking lots shall be planted with a discled priving a passos length.         NIA         NIA         NIA           18.43.130(7)         I         Stord-term blocket against beft and inclement weather, and consist of a fully encleded.         Stord-term blocket against beft and inclement weather, and consist of a fully encleded in locactions that are convertient and functional for cyc		В	Service access and loading docks shall be located on local or interior access streets and to the rear of buildings, and		
U         space or pases.         U         space or pases.         U         N/A         Complete           E         Surface parking lots shall be buffered from adjacent buildings by a minimum six (6) feet of paved pathway or landscaped area.         N/A         N/A         N/A           F         Surface parking lots shall be screened with landscaping features such as trees, planters, and vegetation, including a diacents is under computed of invexing shall be carees assement adjacent to the street or paseos. The portion of this area not devoted to diveways shall be landscaped. Trees shall be planted at ratio of one (1) per four hundred (400) square field of required sebaska. Kare for surface parking.         N/A         N/A           G         Surface parking lots shall be planted with at least one tree for every eight parking spaces. See planting diagram.         N/A         N/A           H         Surface parking lots shall be planted with 30° of obby or main entrance. Long-term bicycle parking facilities         N/A         N/A           Is .43.130(7)         I         Short-tree to garking lots shall be planted with 30° of obby or main entrance. Long-term parking shall be created with 30° of obby or main entrance. Long-term parking shall be created with 30° of obby or main entrance. Long-term parking shall be created with 30° of obby or main entrance. Long-term parking shall be created with 30° of obby or main entrance. Long-term parking shall be created with 30° of obby or main entrance. Long-term parking shall be created with 30° of obby or main entrance. Long-term parking shall be created with 30° of obby or eastreated as a shall proby or east on a problem accease s					
1       isingscaped area.       N/A         F       Surface parking lots shall be created with landscaping features such as trees, planters, and vegetation, including a twenty (20) foot deep landscaped area along sidewalks, as measured from the property line or public access easement adjacent to the street or paseos. The portion of this area not devoted to driveways shall be landscaped. Trees shall be planted at a ratio of one (1) per four hundred (400) square feet of required setback area for surface parking.       N/A       N/A         G       Surface parking lots shall be planted with at least one tree for every eight parking spaces. See planting diagram.       N/A       N/A         H       Surface parking lots shall be planted with at least one tree for every eight parking spaces. See planting diagram.       N/A       N/A         16.43.130(7)       H       Surface parking lots shall be planted with a flex on et ree for every eight parking spaces. See planting diagram.       N/A       N/A         16.43.130(7)       Short-term bicycle parking shall be located within 50° of lobby or main entrance. Long-term bicycle parking facilities shall protect against threet and inclement weather, and consist of a flux enclosed, weather-resistant locker with key locking mechanism or an interior locked noon or enclosure. Long-term parking shall be provided in locations that are convenient and functional for cycliss. Elscycle parking shall be:		E	space or paseo. Surface parking lots shall be buffered from adjacent buildings by a minimum six (6) feet of paved pathway or		
G       Surface parking lots shall be planted with at least one tree for every eight parking spaces. See planting diagram.       N/A       N/A         H       Surface parking can be located along a pase for a maximum of 40% of a pase o's length.       N/A       N/A         I       Short-term bicycle parking shall be located within 50° of lobby or main entrance. Long-term bicycle parking facilities shall protect against thet and inclement weather, and consist of a fully enclosed, weather-resistant locker with key locking mechanism or an interior locker dorom or enclosure. Long-term parking shall be coated within so' or closure. Long-term parking shall be provided in locations that are convenient and functional for cyclists. Bicycle parking shall be: <ul> <li>i. Consistent with the latest edition of the Association of Pedestrian and Bicycle Professionals Bicycle Parking Guide</li> <li>ii. Paved or hardscaped</li> <li>iv. A coessed by an aisle in the front or rear of parked bicycles of at least 5'.</li> <li>v. A tleast 30° of clearance in all directions from any obstructions</li> <li>vii. Lit with no less shall be provided with a minimum hardscape with of 6' from sidewalks to all building entries, parking areas, and publicly accessible open spaces, and shall be clearly marked with signage directing pedestrians to common destinations.</li> </ul> See Plans, Diagrams, Calculations, and Masterplan documents		F	Surface parking lots shall be screened with landscaping features such as trees, planters, and vegetation, including a twenty (20) foot deep landscaped area along sidewalks, as measured from the property line or public access easement adjacent to the street or paseos. The portion of this area not devoted to driveways shall be landscaped. Trees shall be		
H       Surface parking can be located along a paseo for a maximum of 40% of a paseo's length.       N/A       N/A         16.43.130(7)       Short-term bicycle parking shall be located within 50' of lobby or main entrance. Long-term bicycle parking facilities shall protect against theft and inclement weather, and consist of a fully enclosed, weather-resistant locker with key locking mechanism or an interior locket room or enclosure. Long-term parking shall be provided in locations that are convenient and functional for cyclists. Bicycle parking shall be: <ol> <li>Consistent with the latest edition of the Association of Pedestrian and Bicycle Professionals Bicycle Parking Guide ii. Designed to accommodate standard 6' bicycles iii. Paved or hardscaped iv. Accessed by an aisle in the front or rear of parked bicycles of at least 5'. v. at least 5' from vehicle parking spaces vi. Lit with no less than 1 foot candle of illumination at ground level vii. Space efficient bicycle parking such as double decker lift-assist and vertical bicycle racks are also permitted.       See Plans, Diagrams, Calculations, and Masterplan documents       Complies         J       Pedestrian access shall be provided with a minimum hardscape width of 6' from sidewalks to all building entries, parking areas, and publicly accessible open spaces, and shall be clearly marked with signage directing pedestrians to common destinations.       See Plans       See Plans       Complies         J       Pedestrian access shall be clearly identified for all travel modes with such common destinations.       See Plans       See Plans       Complies</li></ol>		G		N/A	N/A
16.43.130(7)       shall protect against theft and inclement weather, and consist of a fully enclosed, weather-resistant locker with key locking mechanism or an interior locked room or enclosure. Long-term parking shall be provided in locations that are convenient and functional for cyclists. Bicycle parking shall be: <ol> <li>Consistent with the latest edition of the Association of Pedestrian and Bicycle Professionals Bicycle Parking Guide</li> <li>Paved or hardscaped</li> <li>Accessed by an aisle in the front or rear of parked bicycles of at least 5'.</li> <li>At least 5' from vehicle parking spaces</li> <li>Accessed by an aisle in the front or rear of parked bicycles of at least 5'.</li> <li>At least 5' from vehicle parking spaces</li> <li>At least 50' of clearance in all directions from any obstructions</li> <li>At least 50' of clearance in all directions for any costructions</li> <li>Lit with no less than 1 foot candle of illumination at ground level</li> <li>Space efficient bicycle parking such as double decker lift-assist and vertical bicycle racks are also permitted.</li> <li>Pedestrian access shall be provided with a minimum hardscape width of 6' from sidewalks to all building entries, parking areas, and publicly accessible open spaces, and shall be clearly identified for all travel modes with such</li> <li>See Plans and Masterplan Documents</li> <li>Complies</li> </ol>		н	Surface parking can be located along a paseo for a maximum of 40% of a paseo's length.		
J       parking areas, and publicly accessible open spaces, and shall be clearly marked with signage directing pedestrians to common destinations.       See Plans       Complies         K       Entries to parking areas and other important destinations shall be clearly identified for all travel modes with such       See Plans and Masterplan Documents       Complies	16.43.130(7)	1	<ul> <li>shall protect against theft and inclement weather, and consist of a fully enclosed, weather-resistant locker with key locking mechanism or an interior locked room or enclosure. Long-term parking shall be provided in locations that are convenient and functional for cyclists. Bicycle parking shall be: <ul> <li>i. Consistent with the latest edition of the Association of Pedestrian and Bicycle Professionals Bicycle Parking Guide</li> <li>ii. Designed to accommodate standard 6' bicycles</li> <li>iii. Paved or hardscaped</li> <li>iv. Accessed by an aisle in the front or rear of parked bicycles of at least 5'.</li> <li>v. at least 5' from vehicle parking spaces</li> <li>vi. At least 30" of clearance in all directions from any obstructions</li> <li>vii. Lit with no less than 1 foot candle of illumination at ground level</li> <li>viii. Space efficient bicycle parking such as double decker lift-assist and vertical bicycle racks are also permitted.</li> </ul> </li> </ul>	÷ .	Complies with Masterplan
Entries to parking areas and other important destinations shall be clearly identified for all travel modes with such		J	parking areas, and publicly accessible open spaces, and shall be clearly marked with signage directing pedestrians to	See Plans	Complies
		ĸ	common destinations. Entries to parking areas and other important destinations shall be clearly identified for all travel modes with such	See Plans and Masternian Documents	·



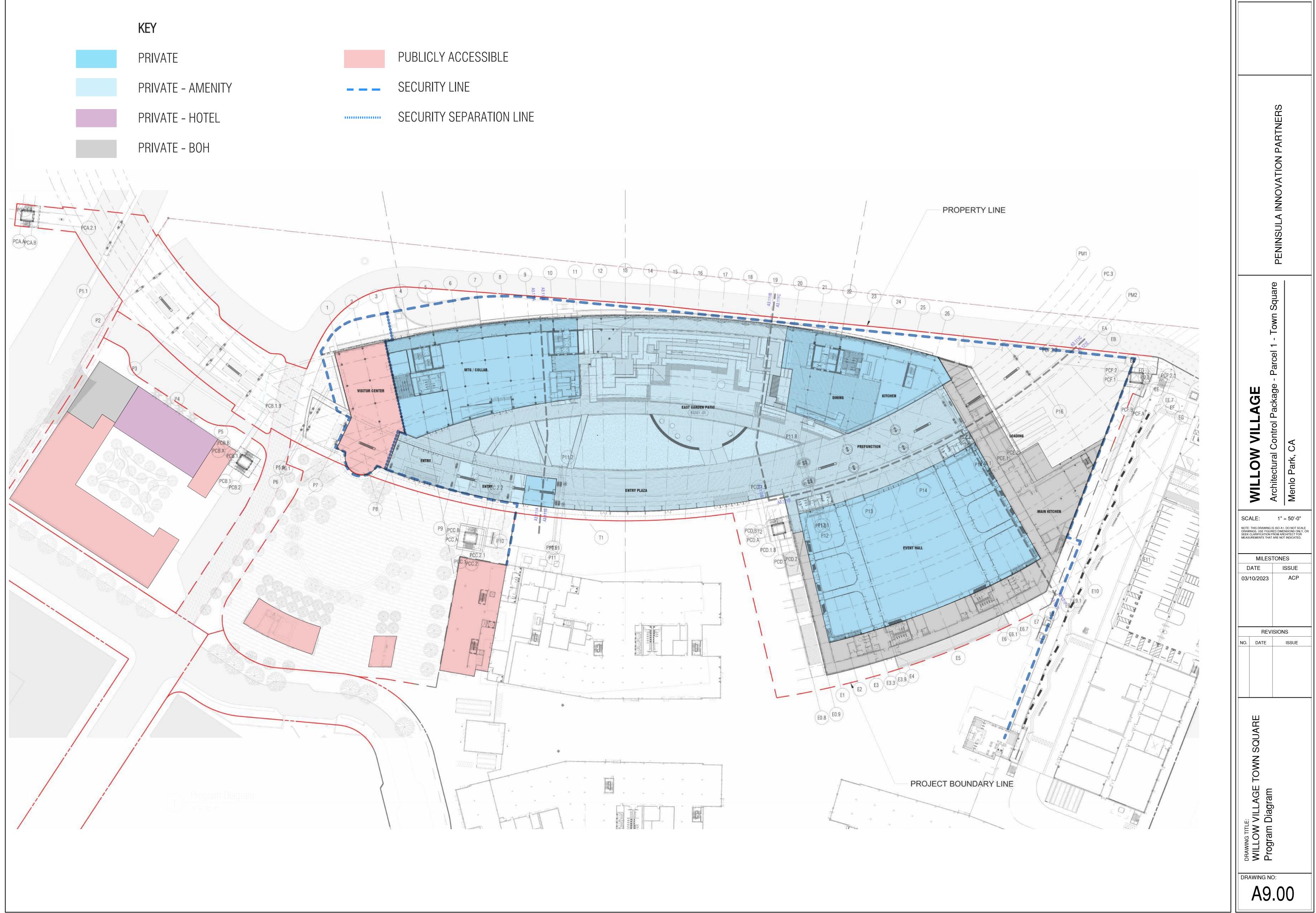
O Green and Sustainable Build	lina
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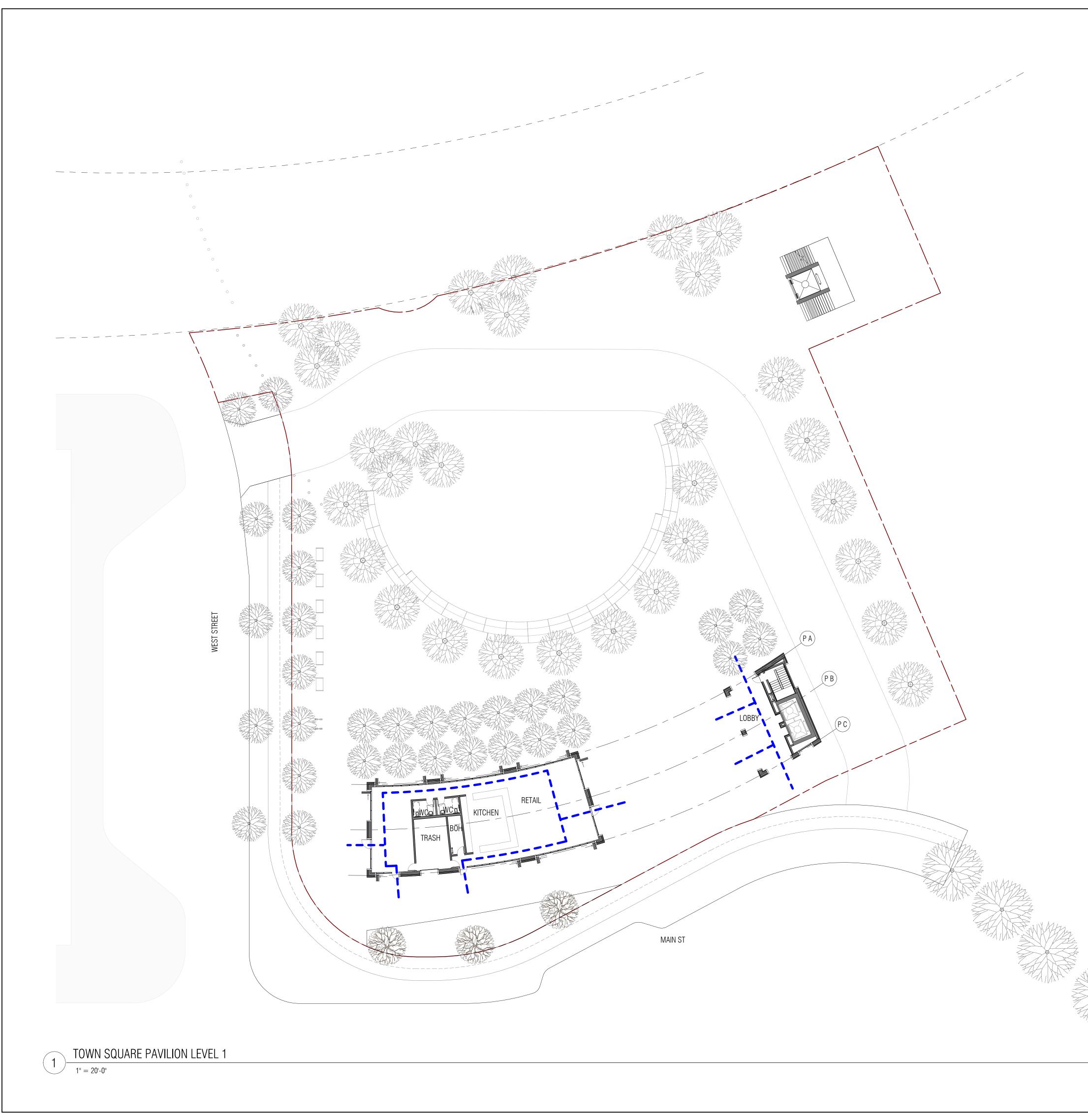
Requirement	stainable Build Reference		Proposal / Notes	Compliance
Green Building	16.43.140(1)A	6.43.140(1)(A       Green Building: Any new construction, addition or alteration of a building shall be required to comply with Table         16.43.140(1)(B):       100,001 sq. ft. and above must be designed to meet LEED Gold BD+C         Required to enroll in EPA Energy Star Building Portfolio Manager and submit documentation of compliance as required by the city.       N/A		N/A
Energy	The electric vehicle charging spaces requirements in Section 16.72.010 apply.         New construction projects will meet 100% of energy demand (electricity and natural gas) through any combination of the following measures: <ol> <li>On-site energy generation</li> <li>Purchase of 100% renewable electricity through Peninsula Clean Energy or Pacific Gas and Electric Company in an amount equal to the annual energy demand of the project.</li> <li>Purchase and installation of local renewable energy generation within the city of Menlo Park in an amount equal to the annual energy demand of the project.</li> <li>Purchase of certified renewable energy credits and/or certified renewable energy offsets annually in an amount equal to the annual energy demand of the project.</li> <li>If a local amendment to the California Energy Code is approved by the California Energy Commission (CEC), the following provision becomes mandatory: The project will meet one hundred percent (100%) of energy demand (electricity and natural gas) through a minimum of thirty percent (30%) of the maximum feasible on-site energy</li></ol>		Complies	
	16.43.140(3)A	Single pass cooling systems shall be prohibited in all new buildings.		Complies
Water Use Efficiency and Recycled Water	16.43.140(3)B 16.43.140(3)C	All new buildings shall be built and maintained without the use of well water. All buildings 250,000sf or more in gross floor area shall prepare and submit a proposed water budget and accompanying calculations following the methodology approved by the city. The water budget shall account for the potable water demand reduction resulting from the use of an alternative water source for all city approved nonpotable applications. The water budget and calculations shall be reviewed and approved by the city's public works director prior to certification of occupancy and the building owner shall submit compliance data at intervals following occupation.	N/A	Complies N/A
	16.43.140(3)D	All buildings shall be dual plumbed for the internal use of recycled water.		Complies
	16.43.140(3)E	All new buildings 250,000sf or more in gross floor area shall use an alternate water source for all city approved nonpotable applications. An alternative source may include, but is not limited to, treated nonpotable water such as graywater. If the city has not designated a recycled water purveyor and/or municipal recycled water is not available prior to planning project approval, applicants may propose conservation measures to meet the requirements of this section subject to approval of the city council.	N/A	N/A
	16.43.140(3)F	Potable water shall not be used for dust control on construction projects.		Complies
	16.43.140(3)G	Potable water shall not be used for decorative features unless the water recirculates.		Complies
Hazard Mitigation and Sea Level	16.43.140(4)A	Per the Willow Village Master plan, minimum first floor finished floor level shall be 13' above sea level, which is consistent with 16.45.130(4)A requirement of 2' above Base Flood Elevation (BFE). Garage entrances will be graded to be above the 11' BFE.	See Plans	Complies
Rise Resiliency	16.43.140(4)B	Prior to building permit issuance all new buildings shall pay any required fee or proportionate fair share for the funding of sea level rise projects, if applicable.		
Waste Management	16.43.140(5)A	Applicants shall submit a zero-waste management plan to the city to show how they will reduce, recycle, and compost waste from the demolition, construction, and occupancy phases of the building. For the purposes of this chapter "zero waste" is defined as 90% overall diversion of nonhazardous materials from landfill and incineration wherein discarded materials are reduced, reused, recycled, or composted. Zero-waste plan elements shall include the property owner's assessment of the types of waste to be generated during demolition, construction and occupancy, and a plan to collect, sort and transport materials to uses other than landfill and incineration.	See Plans and Msterplan Documents	Complies
Bird Friendly	16.43.140(6)A	No more than 10% of façade surface area shall have non-bird-friendly glazing.		
	16.43.140(6)B	Bird-friendly glazing includes but is not limited to opaque glass, covering the outside surface of the glass with patterns, paned glass with fenestration, frit, or etching patterns, and external screens over nonreflective glass. Highly reflected glass is not permitted.		
	16.43.140(6)C	Occupancy sensors or other switch control devices shall be installed on nonemergency lights and shall be programmed to shut off during nonwork hours and between ten (10) p.m. and sunrise.	Site specific bird safe report will be submitted under	
Design	16.43.140(6)D	Placement of buildings shall avoid the potential funneling of flight paths towards a building façade.	separate future cover	
	16.43.140(6)B	Glass skyways or walkways, freestanding (see-through) glass walls and handrails, and transparent building corners shall not be allowed.		
	16.43.140(6)C	Transparent glass shall not be allowed at the rooflines of buildings, including in conjunction with roof decks, patios, and green roofs.		
	16.43.140(6)D	Use of rodenticides shall not be allowed		
		A project may receive a waiver from one (1) or more of the items listed in subsections (6)(A) to (F) of this section,		

General Zoning Requirements

Requirement	Requirement Reference Standard		Proposal / Notes	Compliance
Solar Access         16.65.010         shall cause said structure to penetrate the solar envelope as established for the parcel on which the structure to penetrate the solar envelope as established for the parcel on which the structure to penetrate the solar envelope as established for the parcel on which the structure to penetrate the solar envelope as established for the parcel on which the structure to penetrate the solar envelope as established for the parcel on which the structure to penetrate the solar envelope as established for the parcel on which the structure to penetrate the solar envelope as established for the parcel on which the structure to penetrate the solar envelope as established for the parcel on which the structure to penetrate the solar envelope as established for the parcel on which the structure to penetrate the solar envelope as established for the parcel on which the structure to penetrate the solar envelope as established for the parcel on which the structure to penetrate the solar envelope as established for the parcel on which the structure to penetrate the solar envelope as established for the parcel on which the structure to penetrate the solar envelope as established for the parcel on which the structure to penetrate the solar envelope as established for the parcel on which the structure to penetrate the solar envelope as established for the parcel on which the structure to penetrate the solar envelope as established for the parcel on which the structure to penetrate the solar envelope as established for the parcel on which the structure to penetrate the solar envelope as established for the parcel on which the structure to penetrate the solar envelope as established for the penetrate the penetrate the penetrate the penetrate the penet		Neither architectural control nor a building permit shall be granted for the construction of a structure if such construction shall cause said structure to penetrate the solar envelope as established for the parcel on which the structure is located.	See Plans, Diagrams, and Calculations	Complies
Electric Vehicle Charging Stations	12.18.030 CGBC 4.106.4.2	Adopts amended California Green Building Code Section 4.106.4. Per 4.106.4.2: 10% of total number parking spaces at multifamily dwellings shall be electric vehicle charging spaces capable of supporting future electric vehicle charging stations, rounded up.	See Plans, Diagrams, and Calculations	Complies

Zoning Code Compliance (cont.)	DRAWING		03/10/202 RI NO. DATE	MEASUREMENTS			
A. DO NOT SCAL ENSIONS ONLY, CONTECT FOR ISSUE ACP		Zoning Code Compliance (cont.)	EVISIO		Architectural Control Package - Parcel 1 - Town Square	ENINSULA INNOVATION PARTNERS	
	)2		NS	ENSIONS ONLY, OR RCHITECT FOR IT INDICATED.			



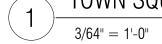


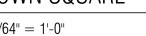
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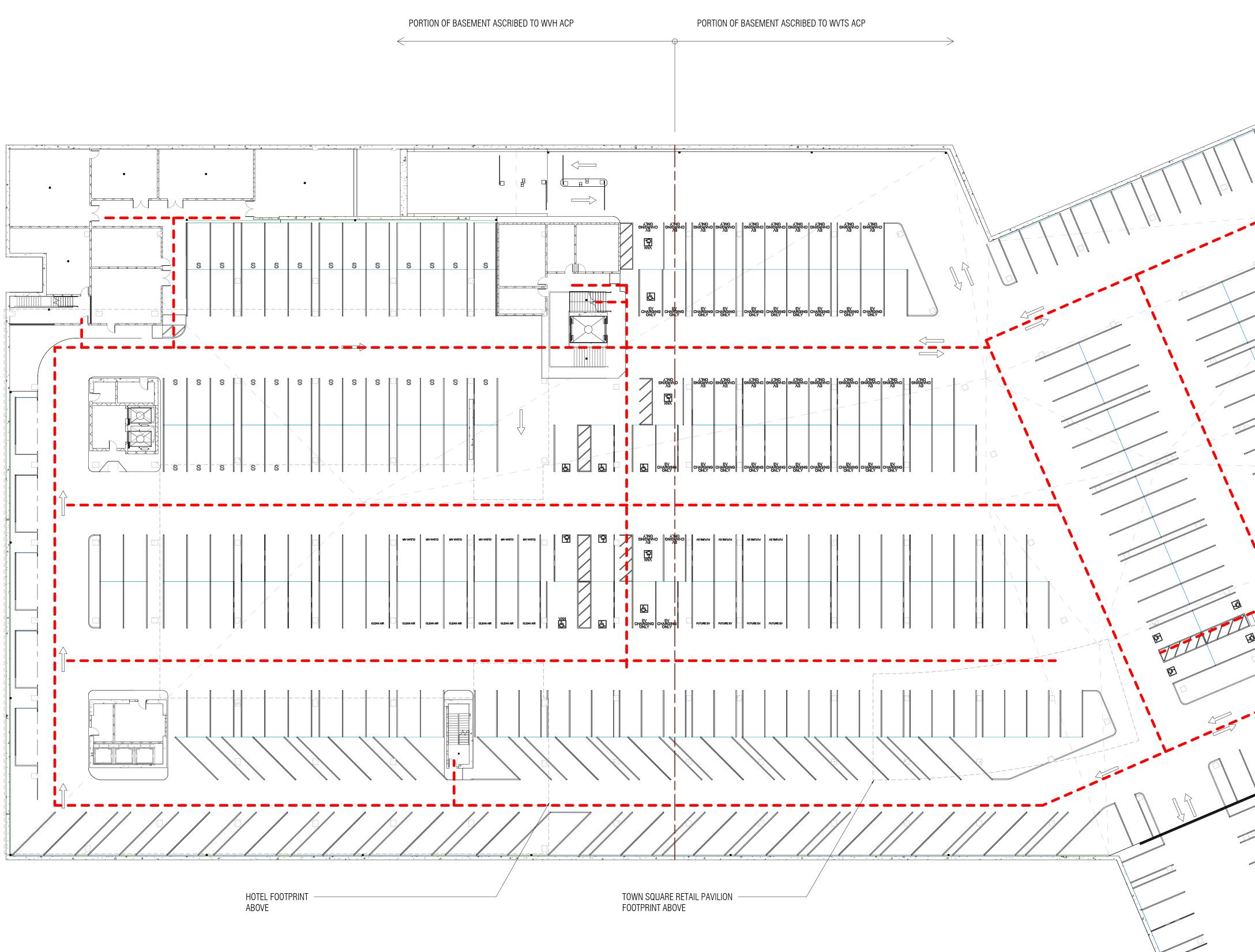
Path to Public Sidewalk	PENINSULA INNOVATION PARTNERS
	MILESTONES Menlo Park, CA Milestones - Parcel 1 - Town Square Menlo Park, CA Menlo Park, CA
	REVISIONS NO. DATE ISSUE DRAWING NOT DRAWING NO: AGGESSIDIIITA NITHON DRAWING NO: AGG. AGG. AGG. AGG. AGG. AGG. AGG. AGG.











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	REVISIONS NO. DATE ISSUE
	DRAWING TITLE: WILLOW VILLAGE TOWN SQUARE Exiting Plan - Level 1
0 10 20	DRAWING NO: A9.02b

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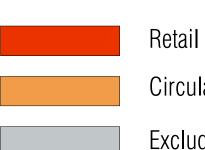
Key

Exit Path of Travel



TOWN SQUARE PAVILION - BASEMENT

ACP - TS -	GFA - Included
Name	Area
TS - TOWN SQUARE LEVEL	
TS Circulation -	1191.02 SF
TS Retail SF	3586.55 SF
	4777.56 SF
ACP - TS -	GFA - Excluded
Nie iere e	A
Name	Area
	Area
TS - BASEMENT 1	Area 485.51 SF
TS - BASEMENT 1 TS Circulation (Excluded) -	
TS - BASEMENT 1 TS Circulation (Excluded) - TS Elevator & Stairs (Excluded) -	485.51 SF
TS - BASEMENT 1 TS Circulation (Excluded) - TS Elevator & Stairs (Excluded) - TS Machine Room (Excluded)	485.51 SF 1075.08 SF
TS - BASEMENT 1 TS Circulation (Excluded) - TS Elevator & Stairs (Excluded) - TS Machine Room (Excluded) TS MEP (Excluded)	485.51 SF 1075.08 SF 169.66 SF
Name TS - BASEMENT 1 TS Circulation (Excluded) - TS Elevator & Stairs (Excluded) - TS Machine Room (Excluded) TS MEP (Excluded) TS Parking (Excluded) - TS Shafts (Excluded) -	485.51 SF 1075.08 SF 169.66 SF 418.57 SF



Circulation/Lobby/Common Area

Excluded From GFA

TS Shafts (Excluded) -

TS Parking (Excluded) -

TS MEP (Excluded) 156.06

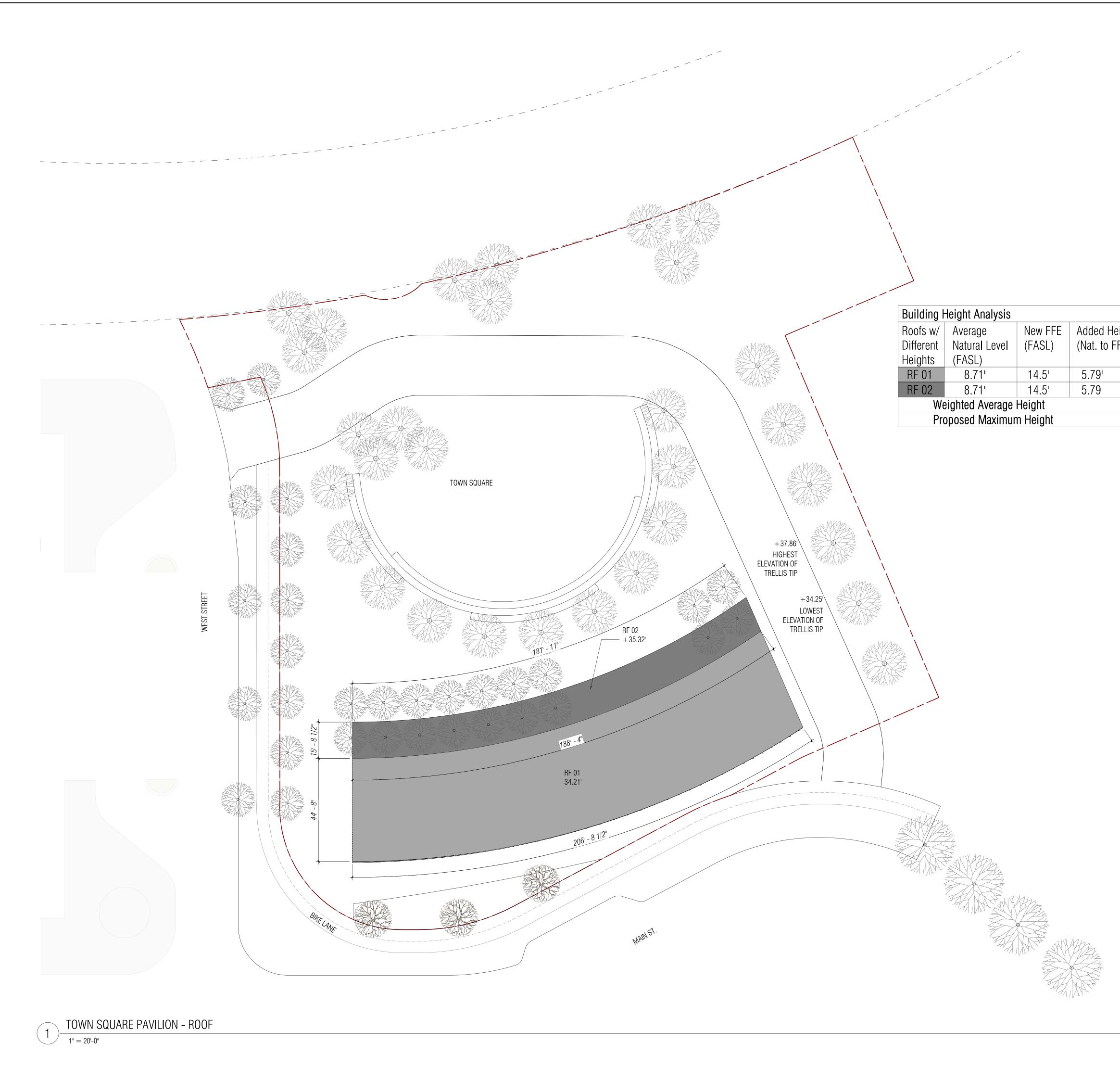
TS MEP (Excluded) 104.93

> TS Elevator & Stairs (Excluded) -374.05

TS Machine Room (Excluded) 41.96

TS Circulation (Excluded) -207.36

	BENINSULA INNOVATION PARTNERS		
WILLOW VILLAGE	Architectural Control Package - Parcel 1 - Town Square	Menlo Park, CA	
MIL DATE 03/10/202	ESTONE	NSIONS ONLY, OR CHITECT FOR INDICATED.	
DRAWING	Square Footage Plan	4	

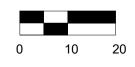


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FE	Added Height	Roof Height	Roof Height	Footprint	Roof Height x
)	(Nat. to FFE)	(FFE. To roof)	(Nat. To roof)	(SF)	Footprint
	5.79'	28.42'	34.21'	8,858.00	303,032.18
	5.79	29.53'	35.32'	2,905.00	102,604.60
		34	.48'		
t				29	.53'

	are PENINSULA INNOVATION PARTNERS		
WILLOW VILLAGE	Architectural Control Package - Parcel 1 - Town Square	Menlo Park, CA	
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	Building Height Analysis Plan		
		5	





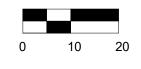


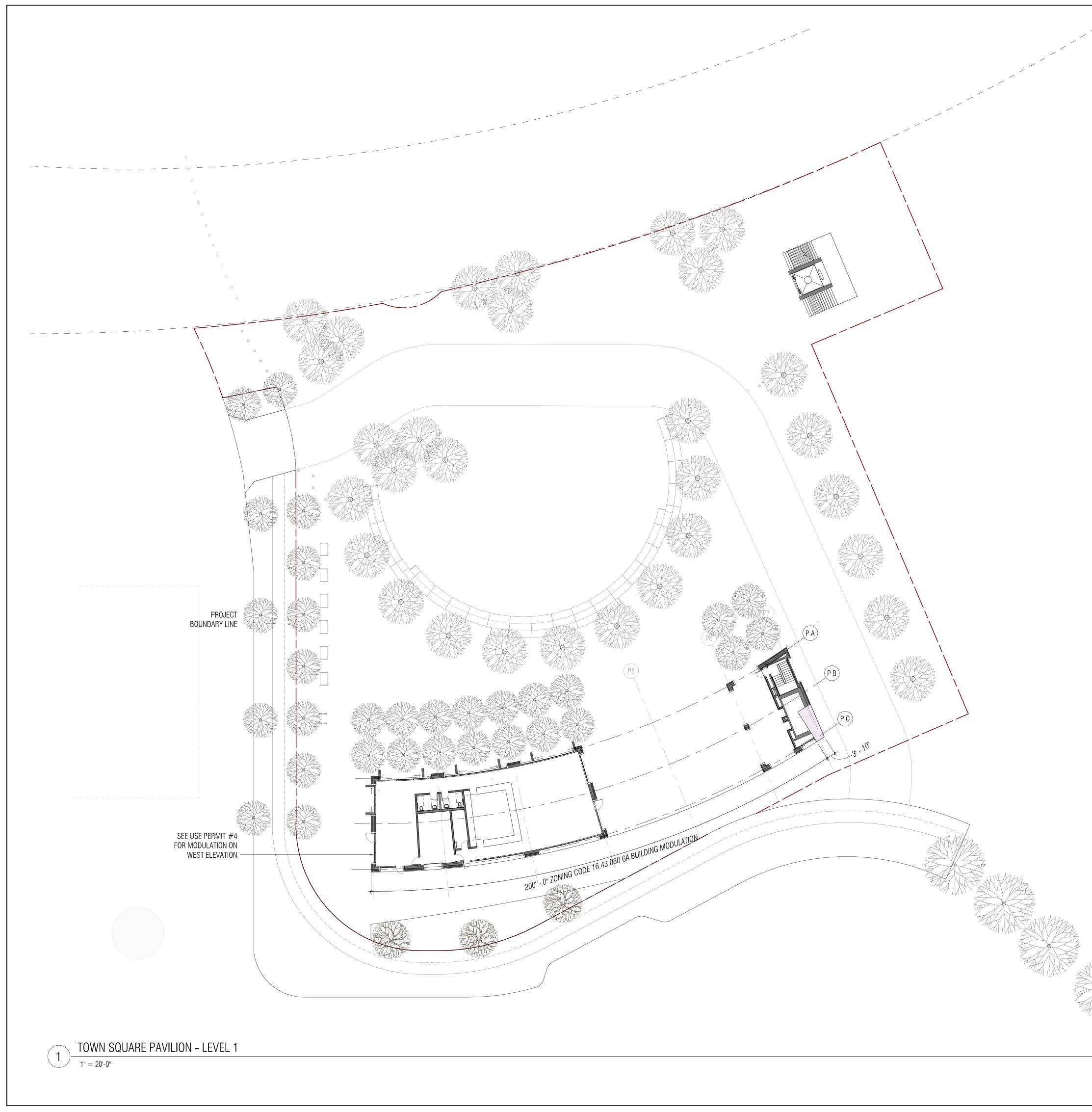
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PEN SPACE SUMMARY	
OPEN SPACE	AREA (FT <sup>2</sup> )
SPACE (PUBLICLY SSIBLE)	52,408
RADE OPEN SPACE UBLIC ACCESS)	9,621
TOTAL	62,029

	PENINSULA INNOVATION PARTNERS
WILLOW VILLAGE	Menlo Park, CA
DRAWINGS. USE FIGURI SEEK CLARIFICATION FI MEASUREMENTS THAT	ARE NOT INDICATED.
MILEST DATE 03/10/2023	ONES ISSUE ACP
REVI NO. DATE	SIONS
DRAWING TITLE: WILLOW VILLAGE TOWN SQUARE Open Space Plan	
DRAWING NO	.06







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Key

Modulation (Major) Non-Compliant Area (Zoning Code 16.43.080 6A)

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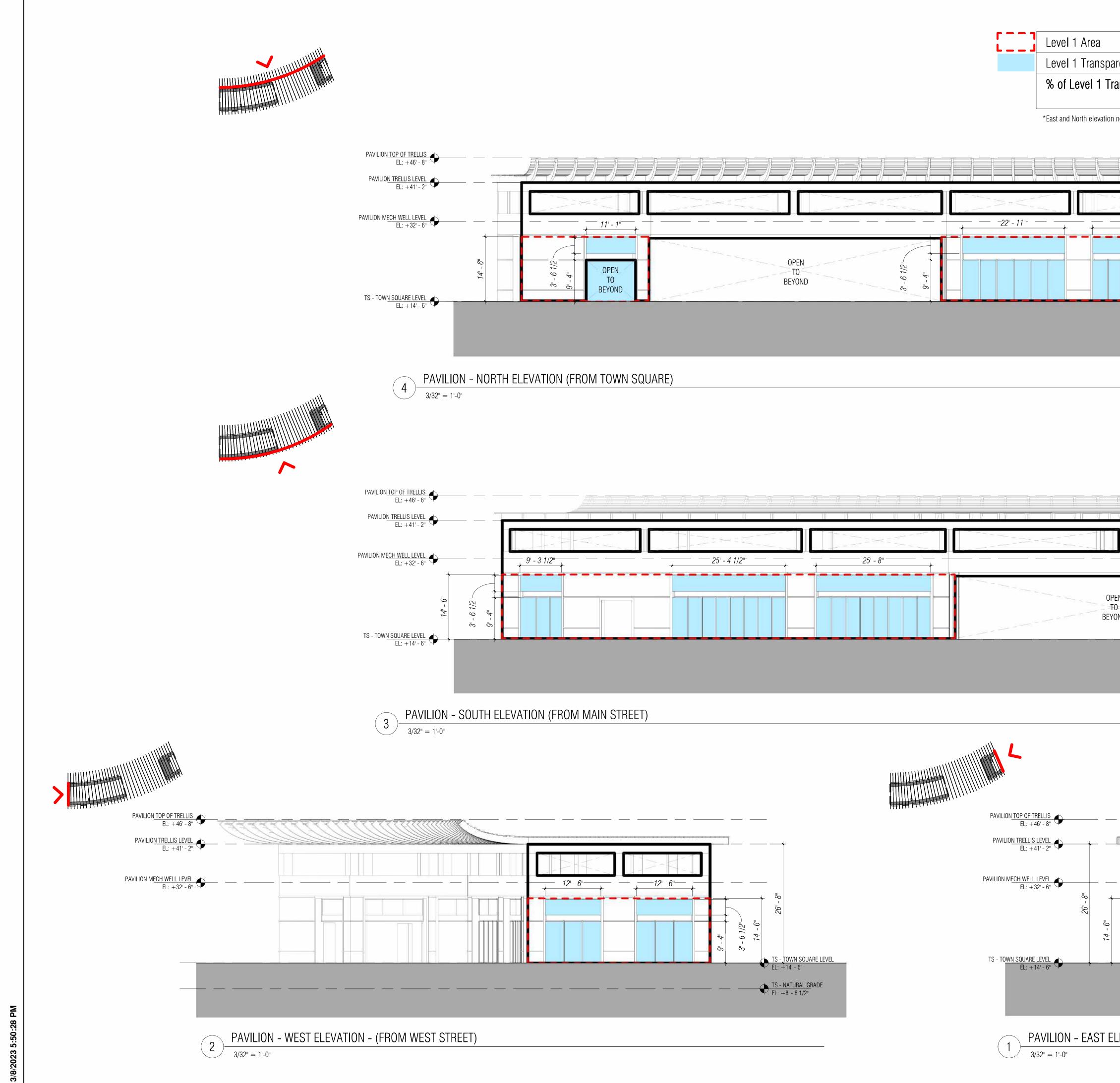


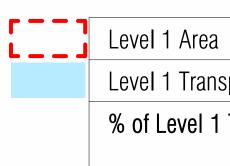
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Key	
←	Building Entrances

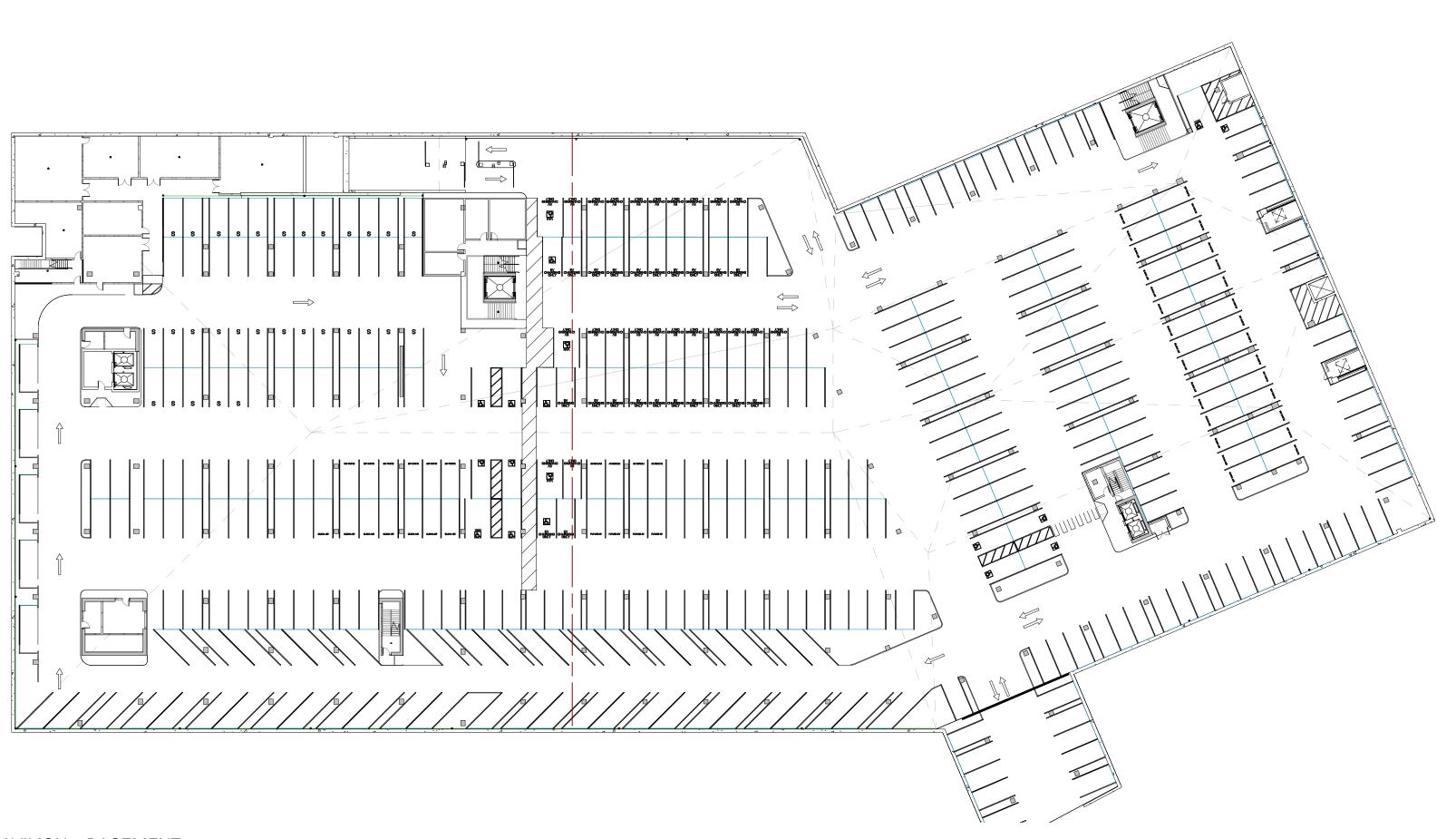
			PENINSULA INNOVATION PARTNERS		
	WILLOW VILLAGE		Architectural Control Package - Parcel 1 - Town Square	Menlo Park, CA	
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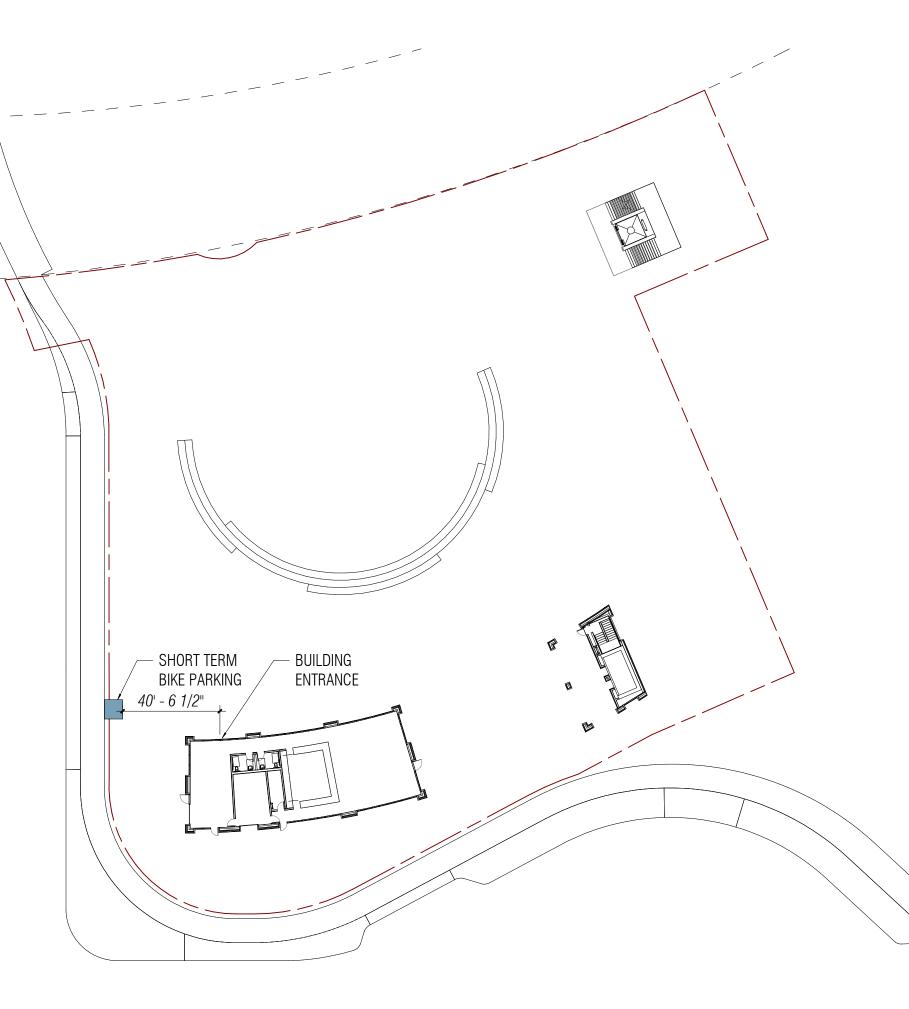






 $2 \qquad TOWN SQUARE PAVILION - BASEMENT \\ 1" = 40'-0"$ 





Town Square Parking 16.43.090 Parking Standards Retail

Retail 4,777.56

## Town Square EVSE Spaces

A minimum of 15% of total required number of parking stalls are to be EV Spaces with installed EVSE in 10% of the total required number of parking stalls, with a minimum of 1, in charging space(s).

	Total	EV Spaces	Required	EVSE Spaces	Required
	Spaces	Calculation	EV Spaces	Calculation	EVSE Spaces
Retail	13	13x15%=1.95	2	13x10%=1.3	2

Basement Parking Schedule				
Level	Туре	Spaces per Parking Unit	Count	Total Space Count
Basement	Ev Future 8.5*18	1	15	15
Basement	EV HC Ambulatory 9x18	1	2	2
Basement	EV HC Standard 9x18	1	2	2
Basement	EV HC Van 12x18	1	1	1
Basement	EV Standard 8.5x18	1	29	29
Basement	HC Standard 9x18	1	7	7
Basement	HC Van 12x18	1	3	3
Basement	Standard 8.5x18	1	208	208
	Grand Total			267

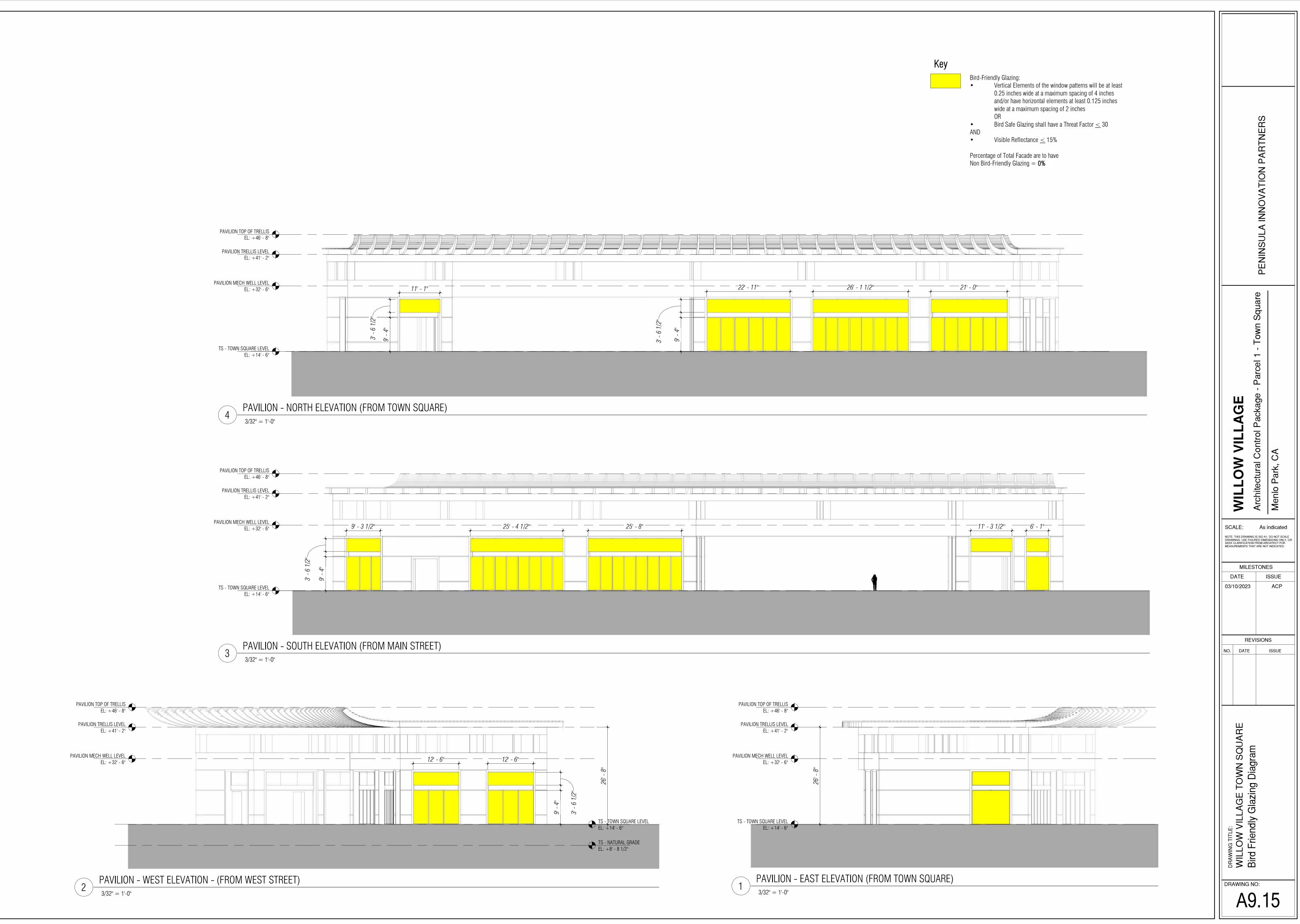
	Bike F	Parking Sche	dule*	
	Area	Short Term	Long Term	Total
Retail*	4,777.56	1	0	1

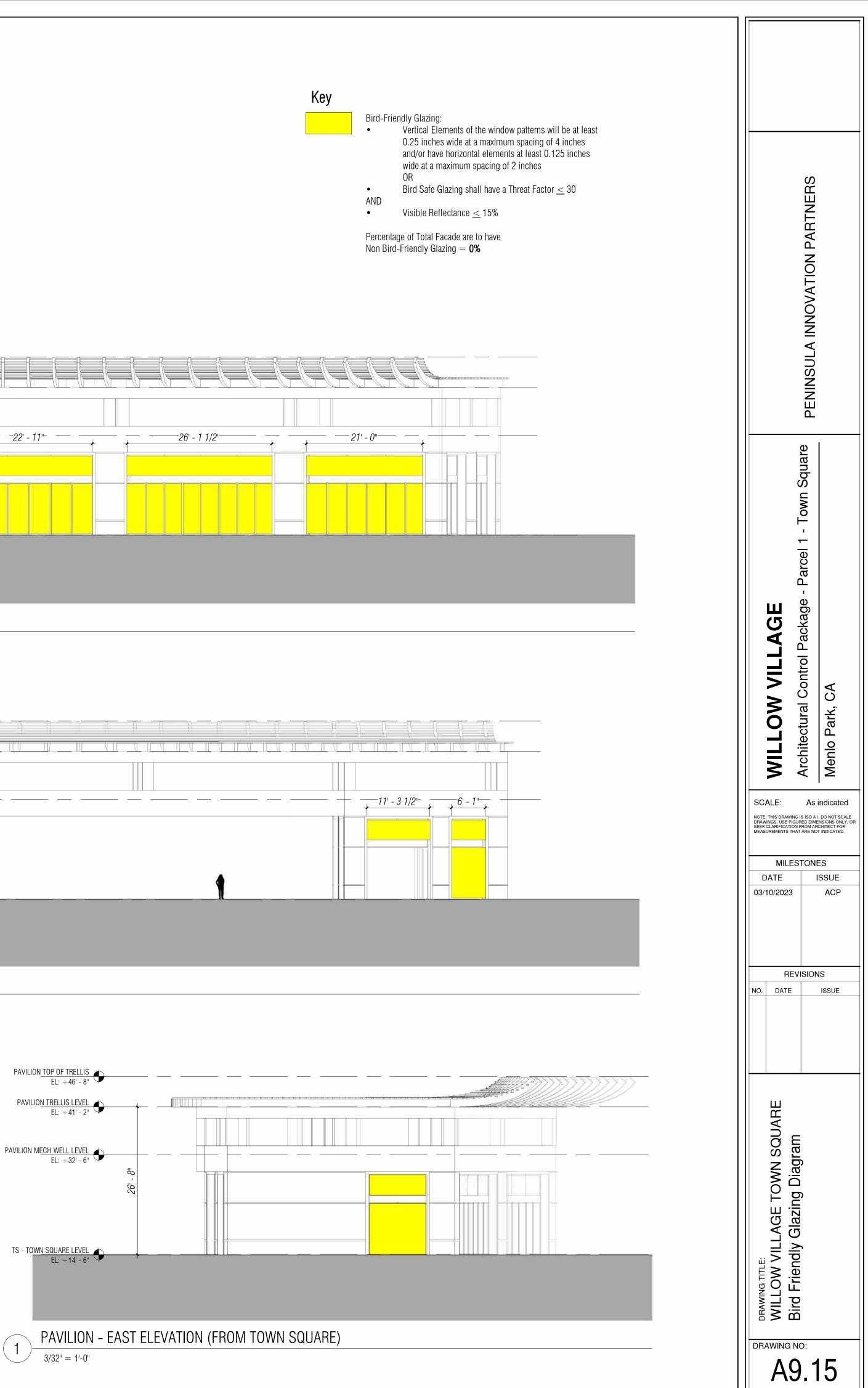
\*20% long term and 80% short term for retail.

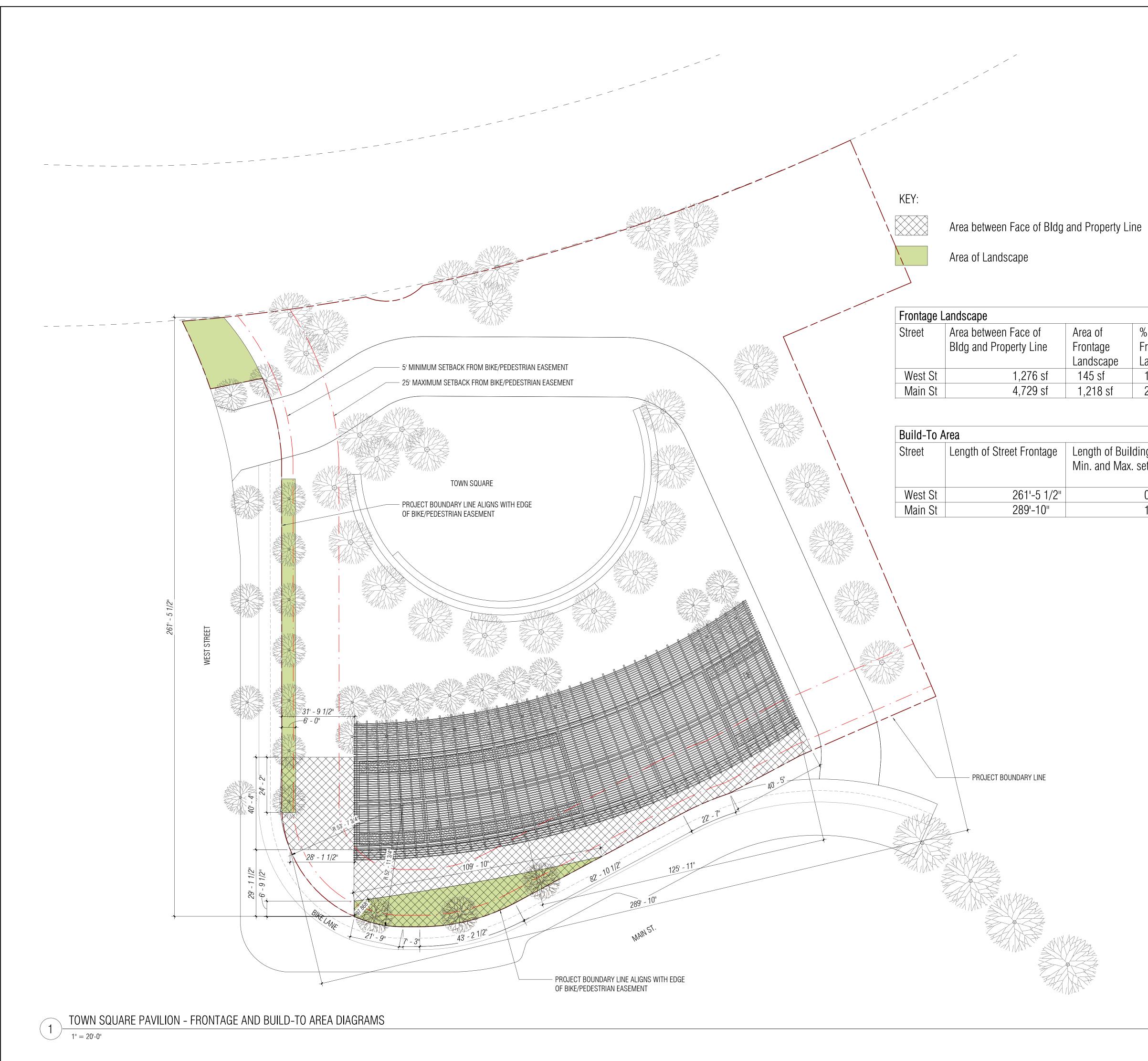
	Minimum Spaces (Per 1,000 Sq. Ft)	Maximum Spaces (Per 1,000 Sq. Ft.)
	2.5	3.3
6 SF	13 Spaces Minimum	17 Spaces Maximum

Per Menlo Park Municipal Code 12.18.110

	WILLOW VILLAGE TOWN SQUARE		SEEK CLARIFICAT	WILLOW VILLAGE		
NO: <b>9.1</b>	Parking Count Diagram	EVISION	ING IS ISO A1 IGURED DIME ION FROM AR THAT ARE NO	Architectural Control Package - Parcel 1 - Town Square	PENINSULA INNOVATION PARTNERS	
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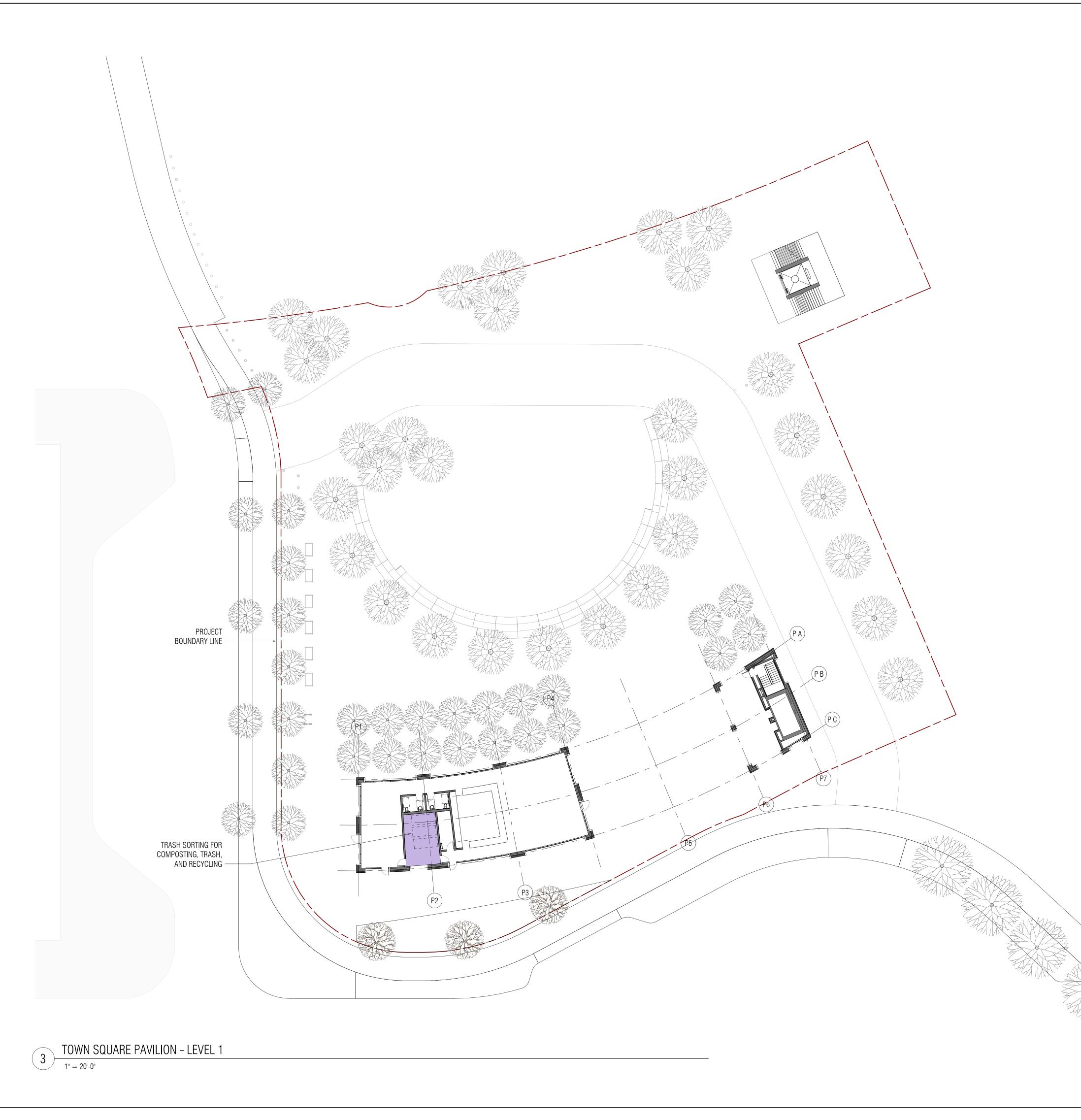
Area of	% Area
Frontage	Frontage
Landscape	Landscape
145 sf	11.4%*
1,218 sf	25.8%

je	Length of Building between Min. and Max. setbacks	% of building between Min. and Max. setbacks
/2"	0'	0%**
	125'-11"	43.4%***

*	Use	Permit 1
* *	Use	Permit 2
***	Use	Permit 3

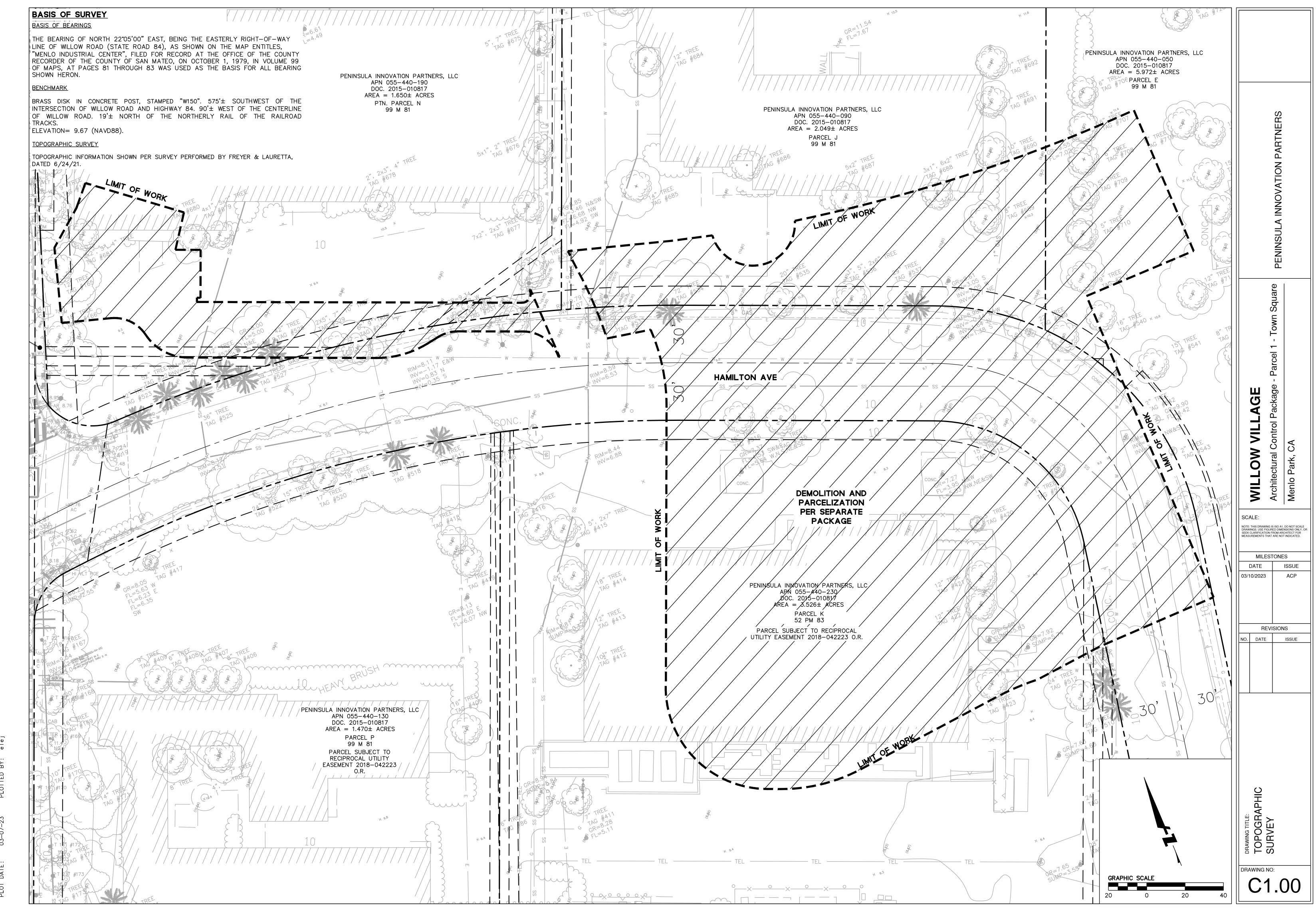
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	WILLOW VILLAGE TOWN SQU	DATE 03/10/2023	WILLOW VILLAGE		
		G IS ISO A1. BURED DIMEI N FROM ARC AT ARE NOT	Architectural Control Package - Parcel 1 - Town Square	<b>PENINSULA INNOVATION PARTNERS</b>	
6		INDICATED.	Menlo Park, CA		

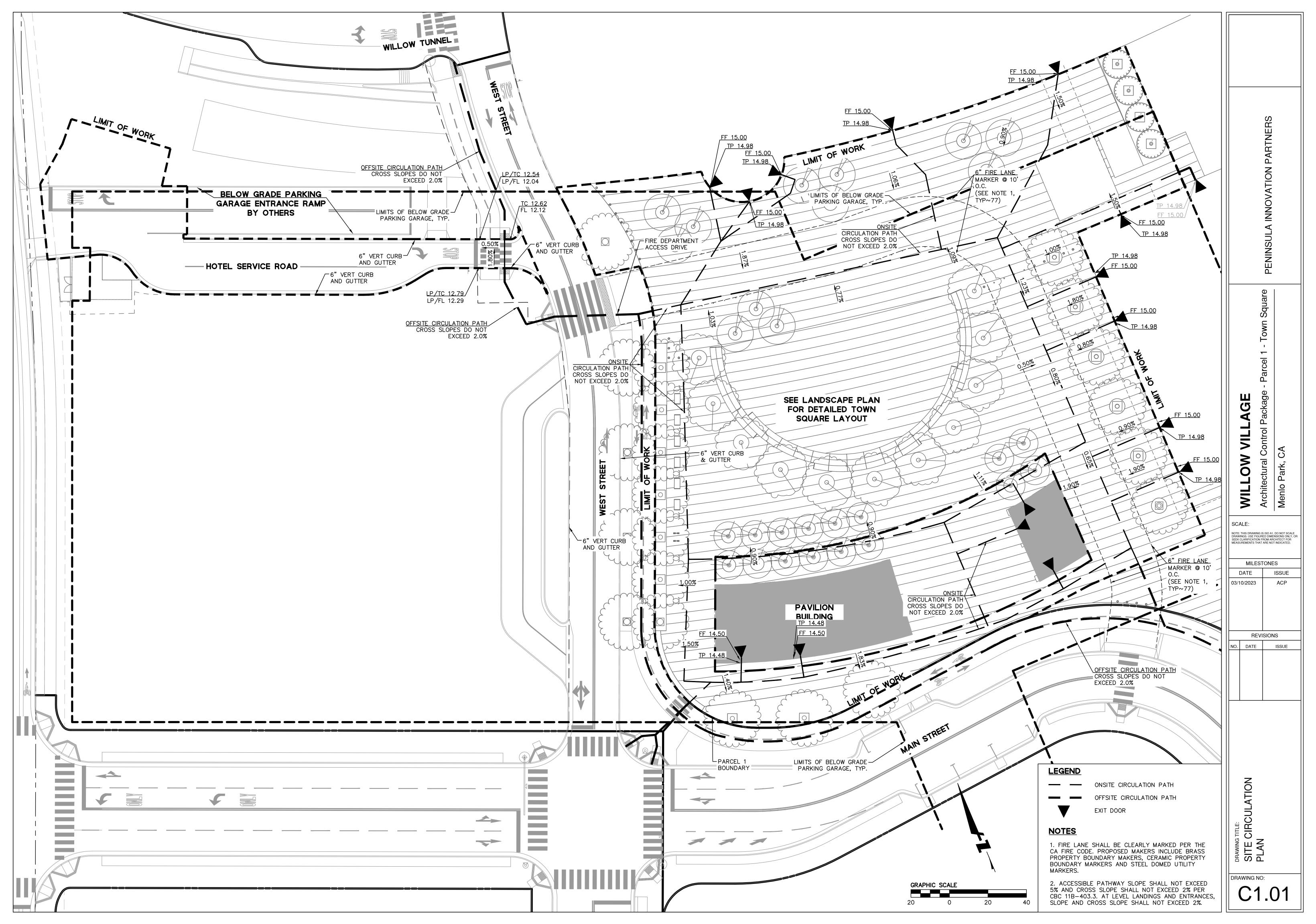


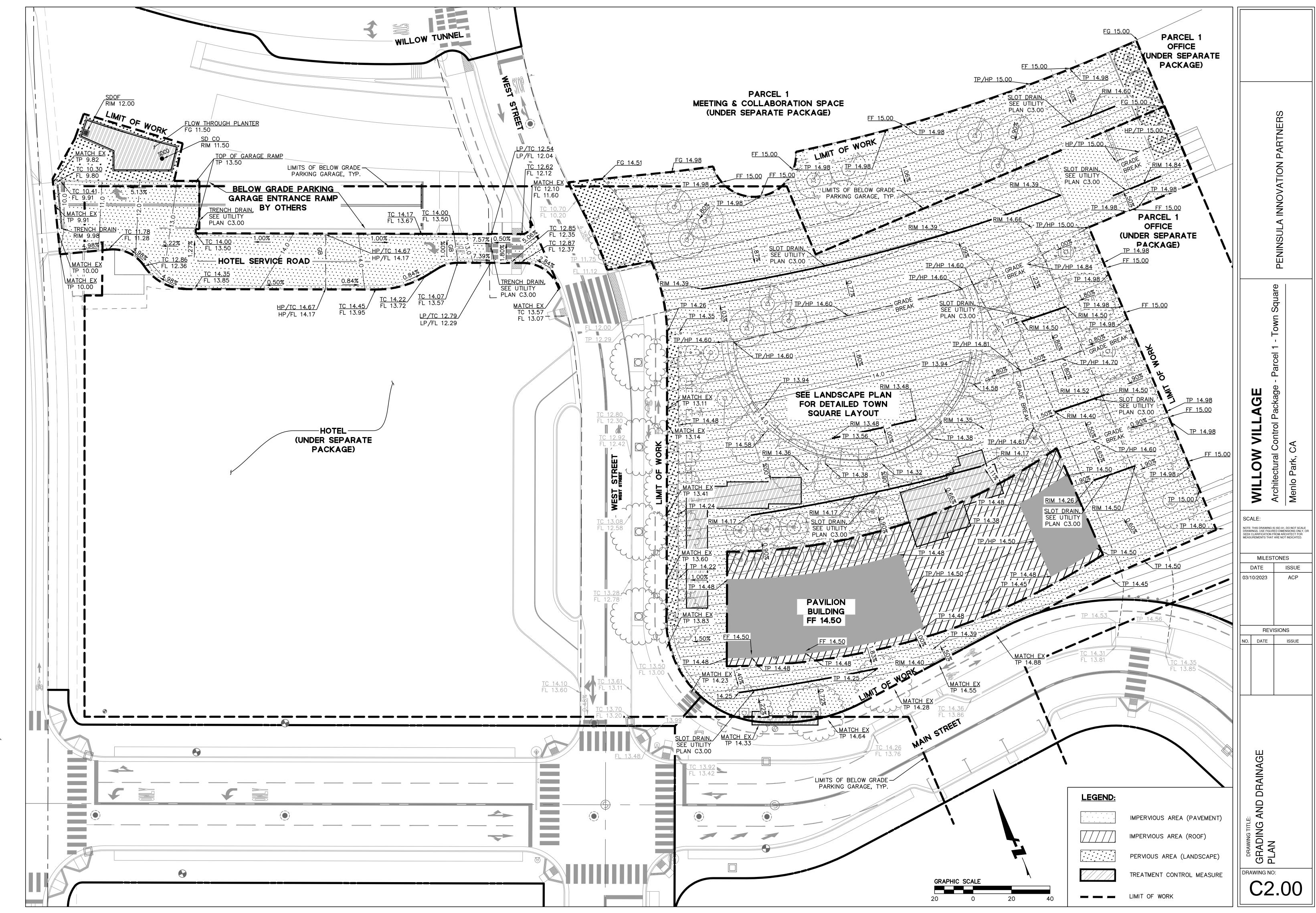
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Trash Rooms Trash Collection Area		
 Trash Circulation		TNERS
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		cel 1 - Ho
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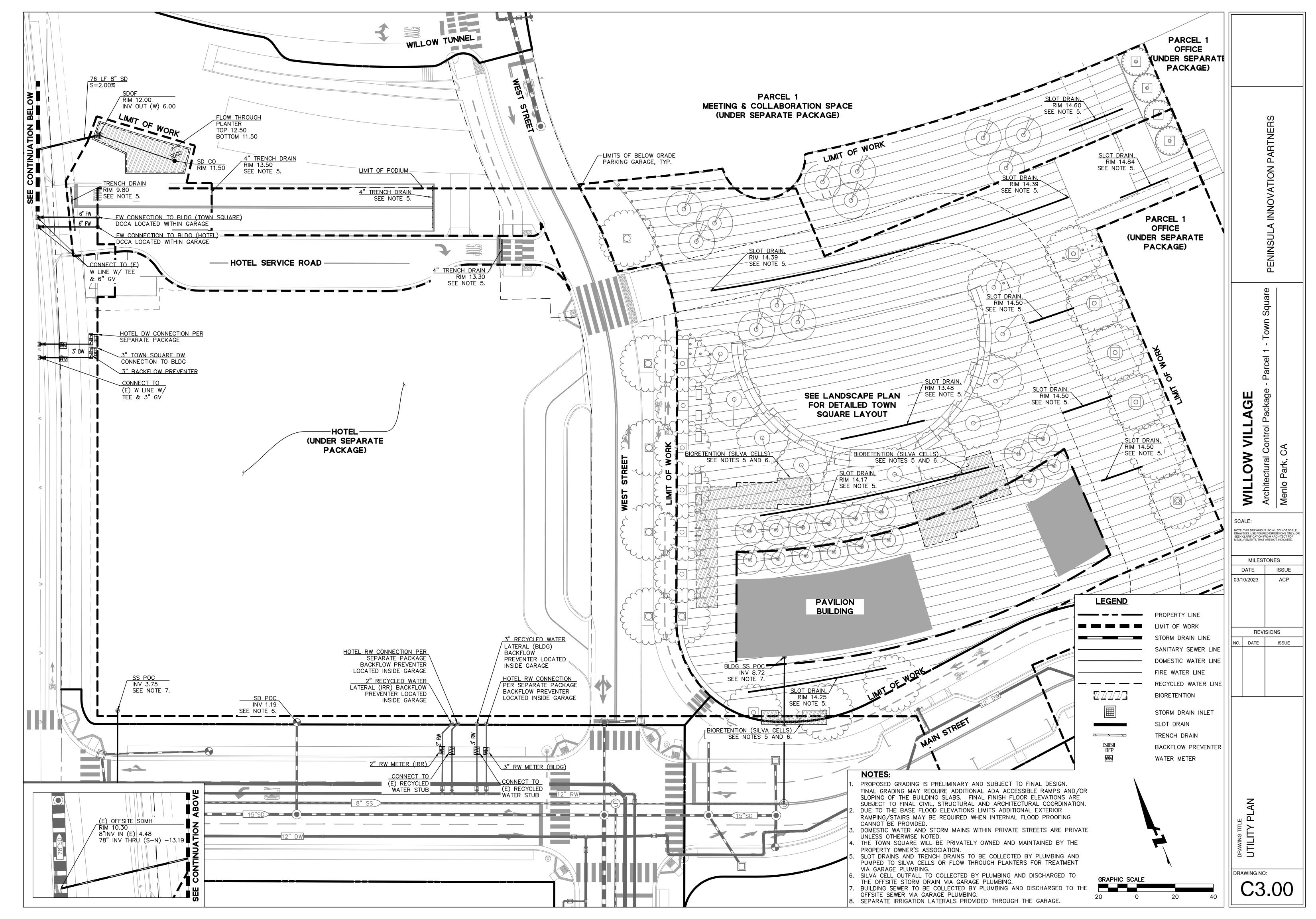






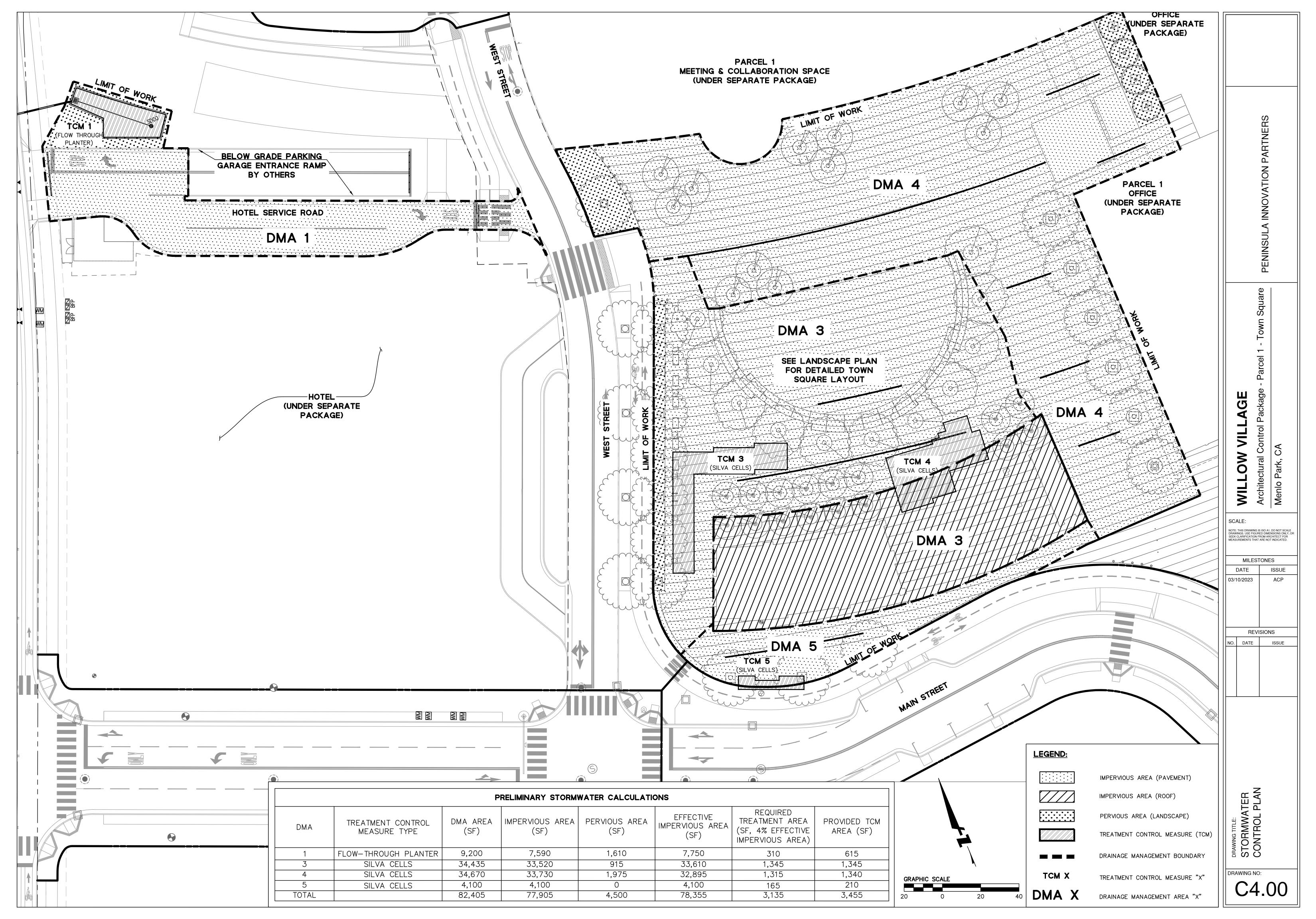


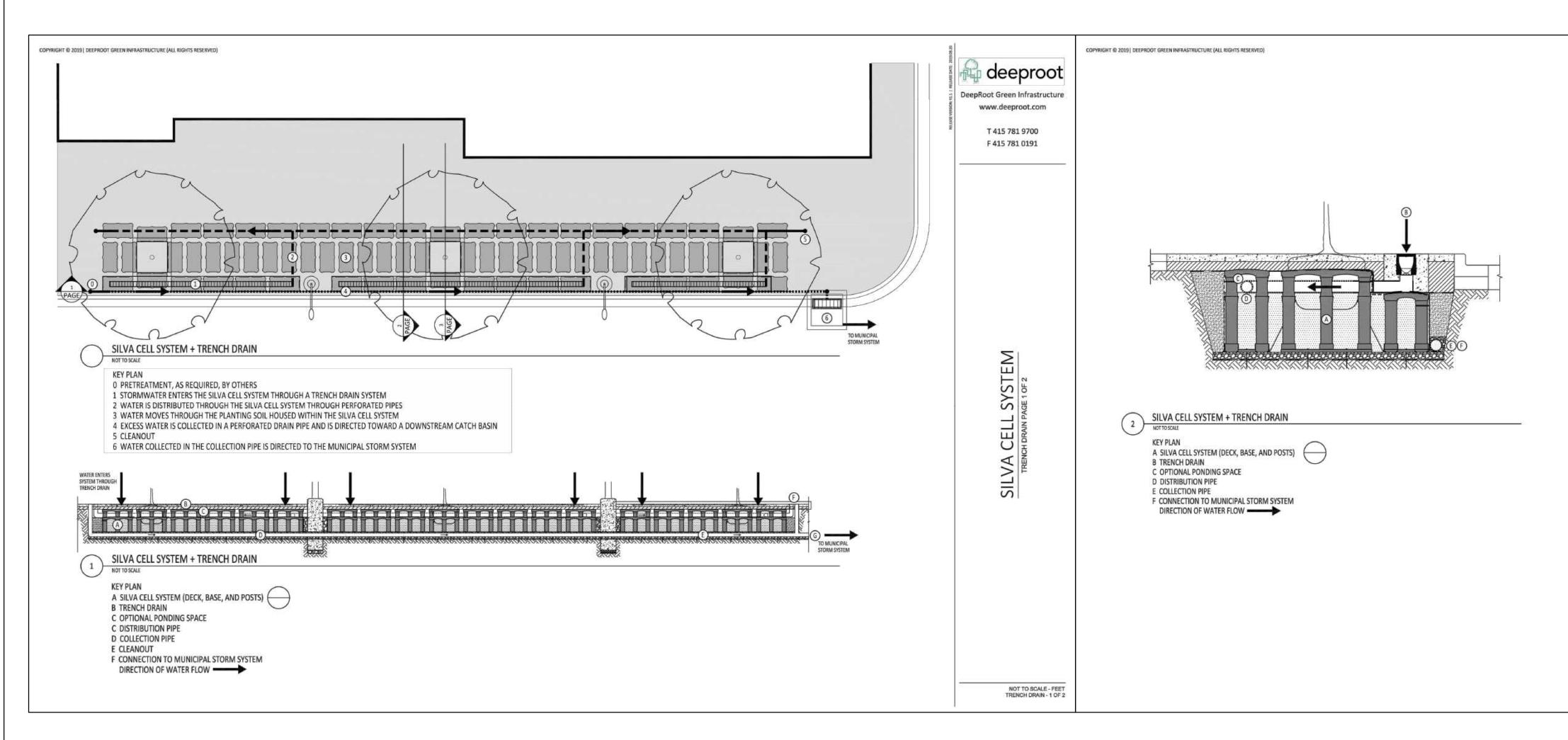
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### SILVA CELL SYSTEM WITH TRENCH DRAIN **1**

SCALE: NTS

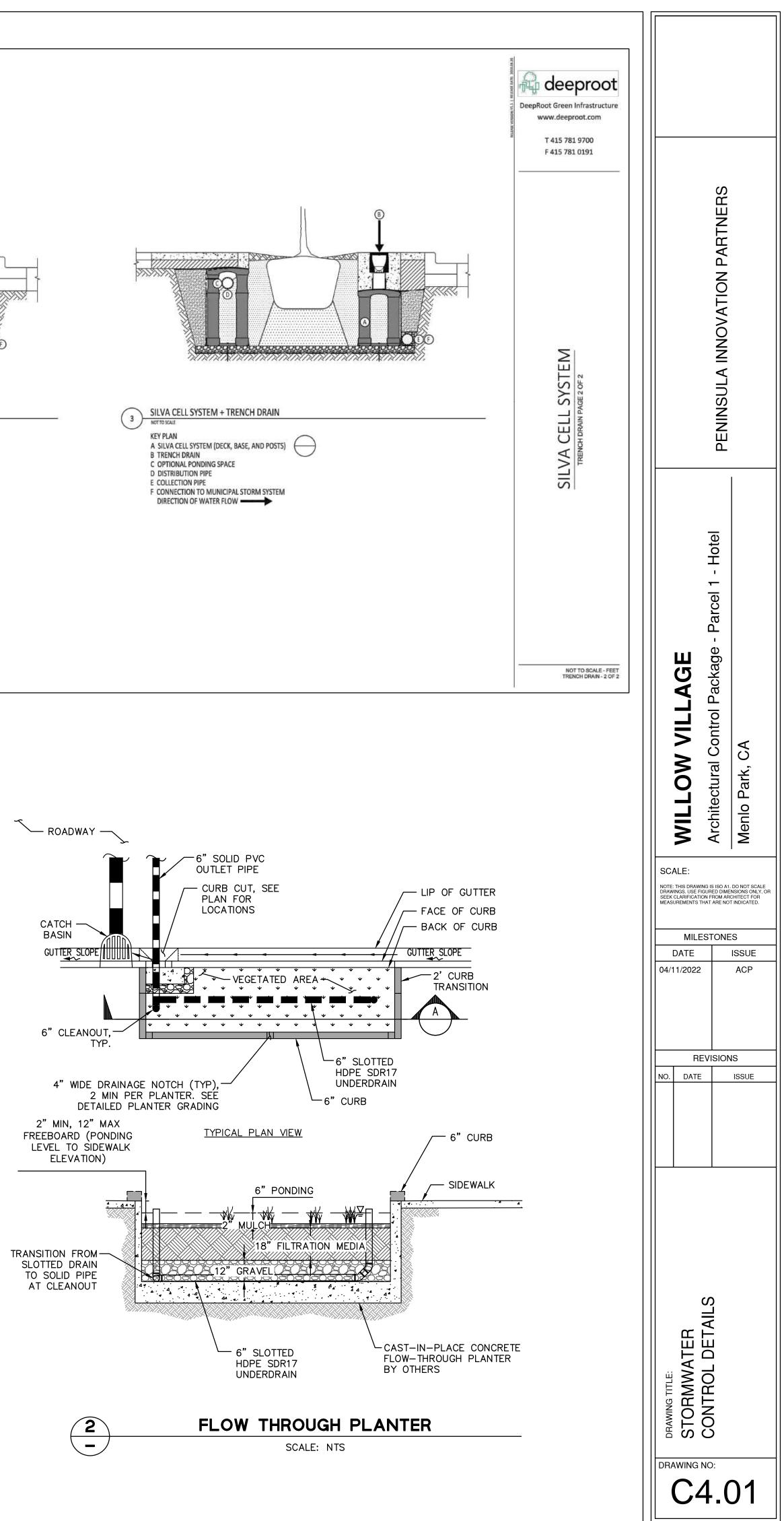
САТСН — BASIN 

6" CLEANOUT, —

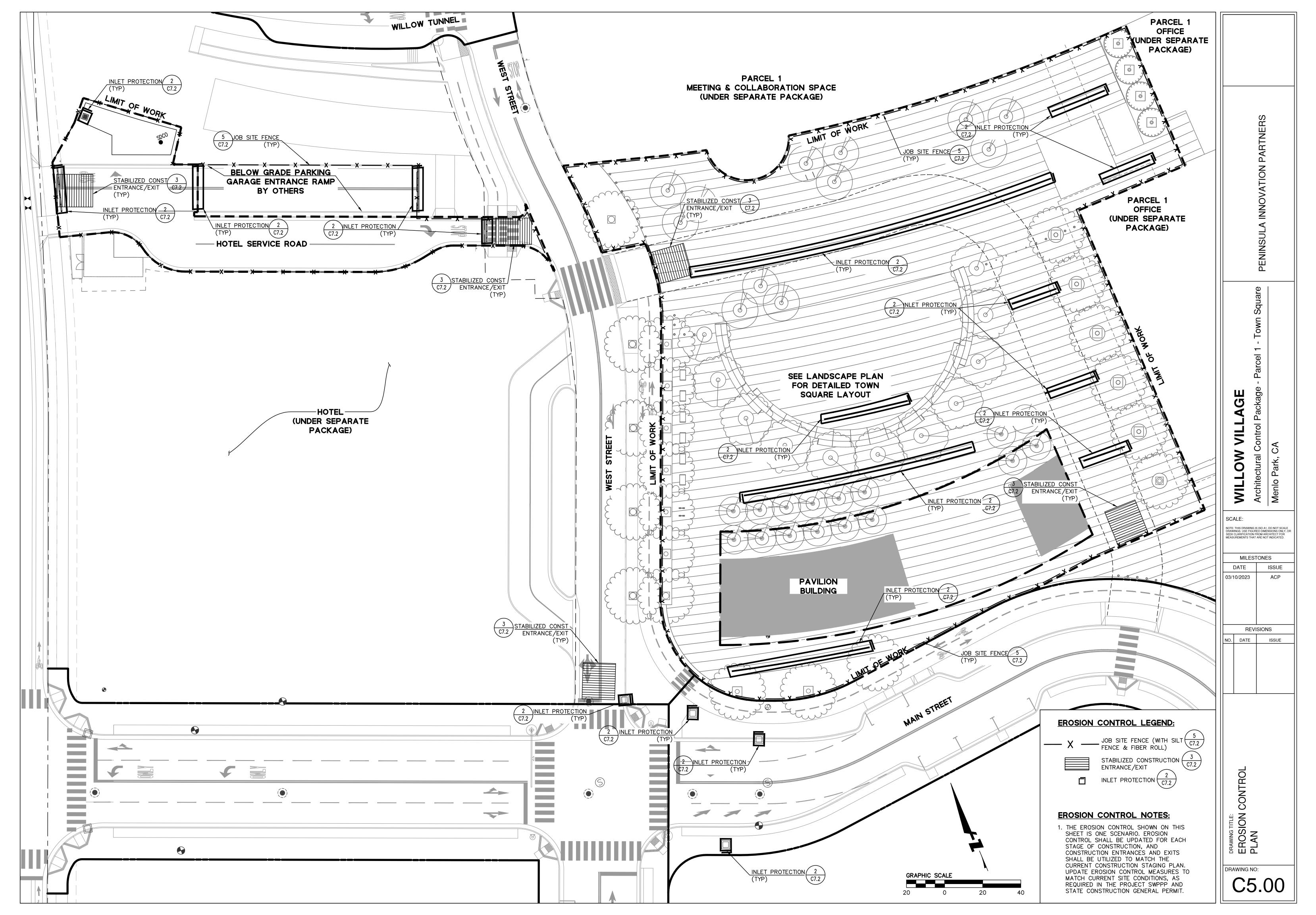
2" MIN, 12" MAX FREEBOARD (PONDING LEVEL TO SIDEWALK ELEVATION)

TRANSITION FROM-SLOTTED DRAIN TO SOLID PIPE AT CLEANOUT





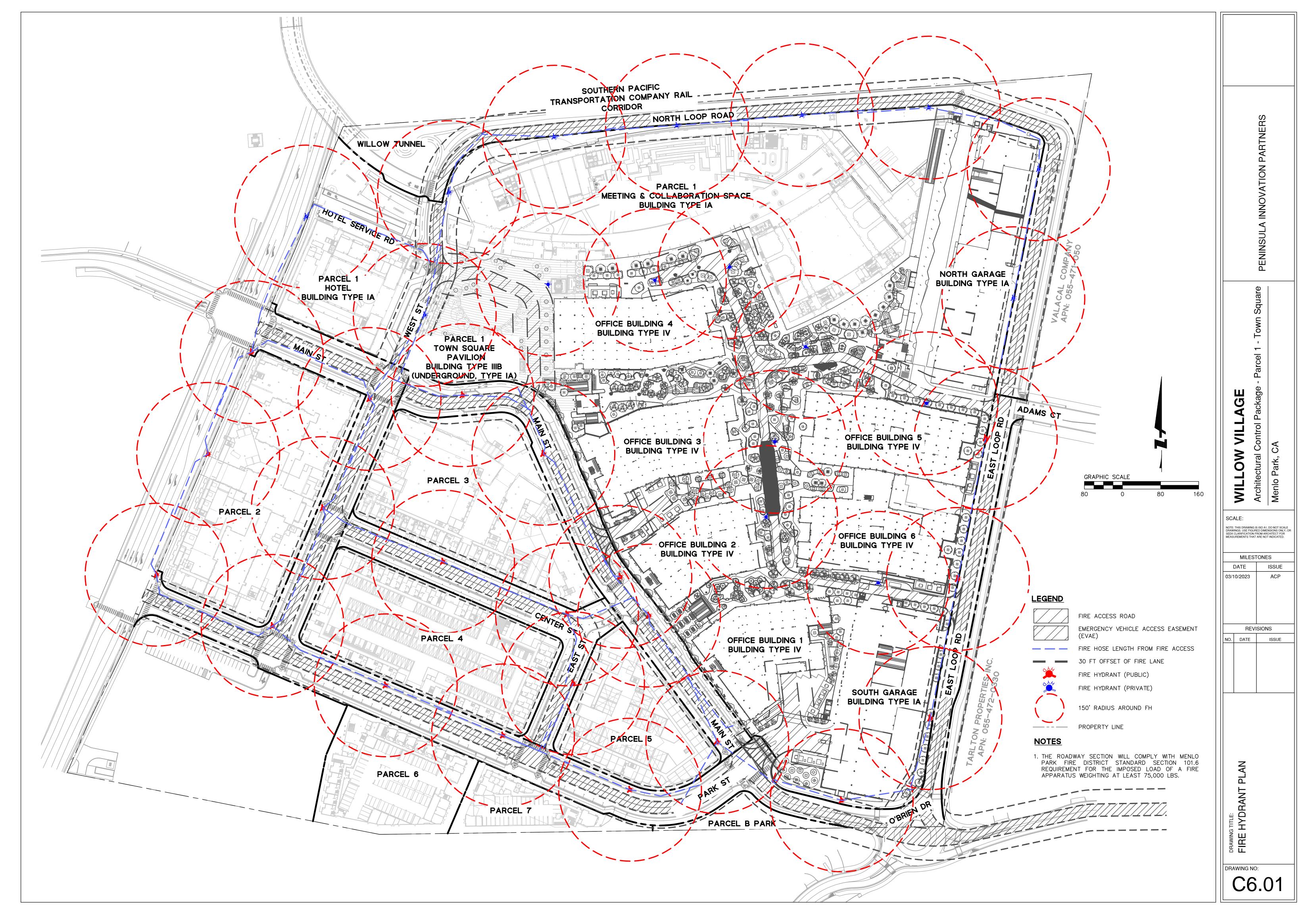
















Plaza (Unit Paver)





Tree Grate

Concrete Seating Bench

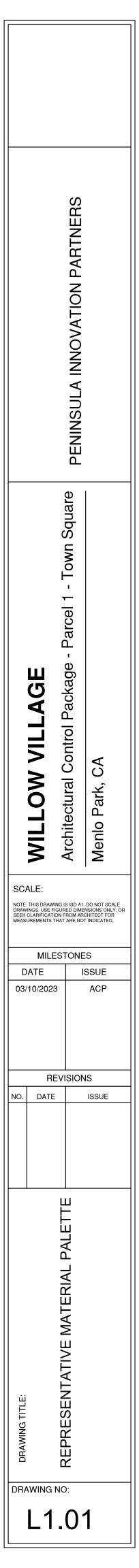


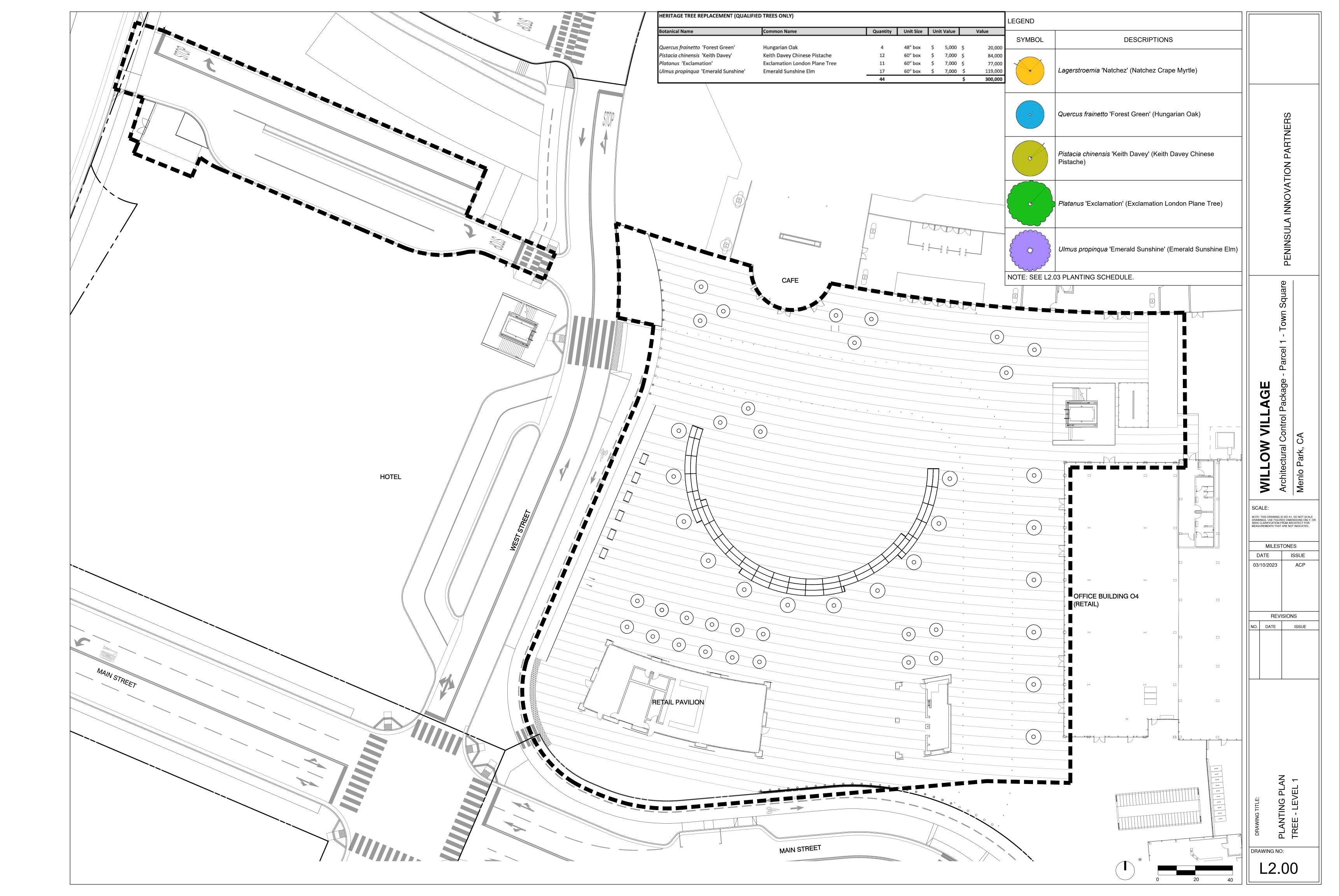


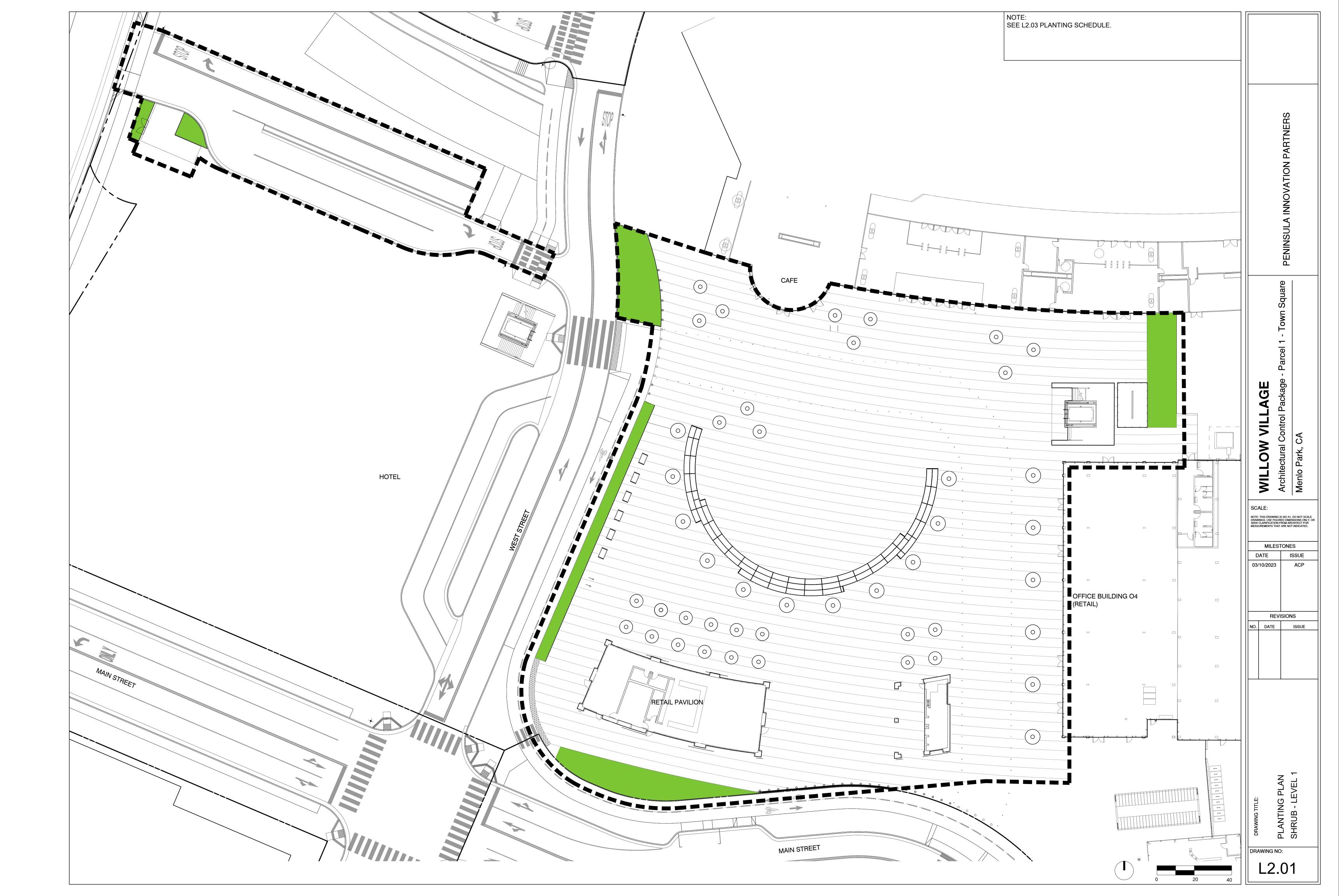
Retractable Bollard

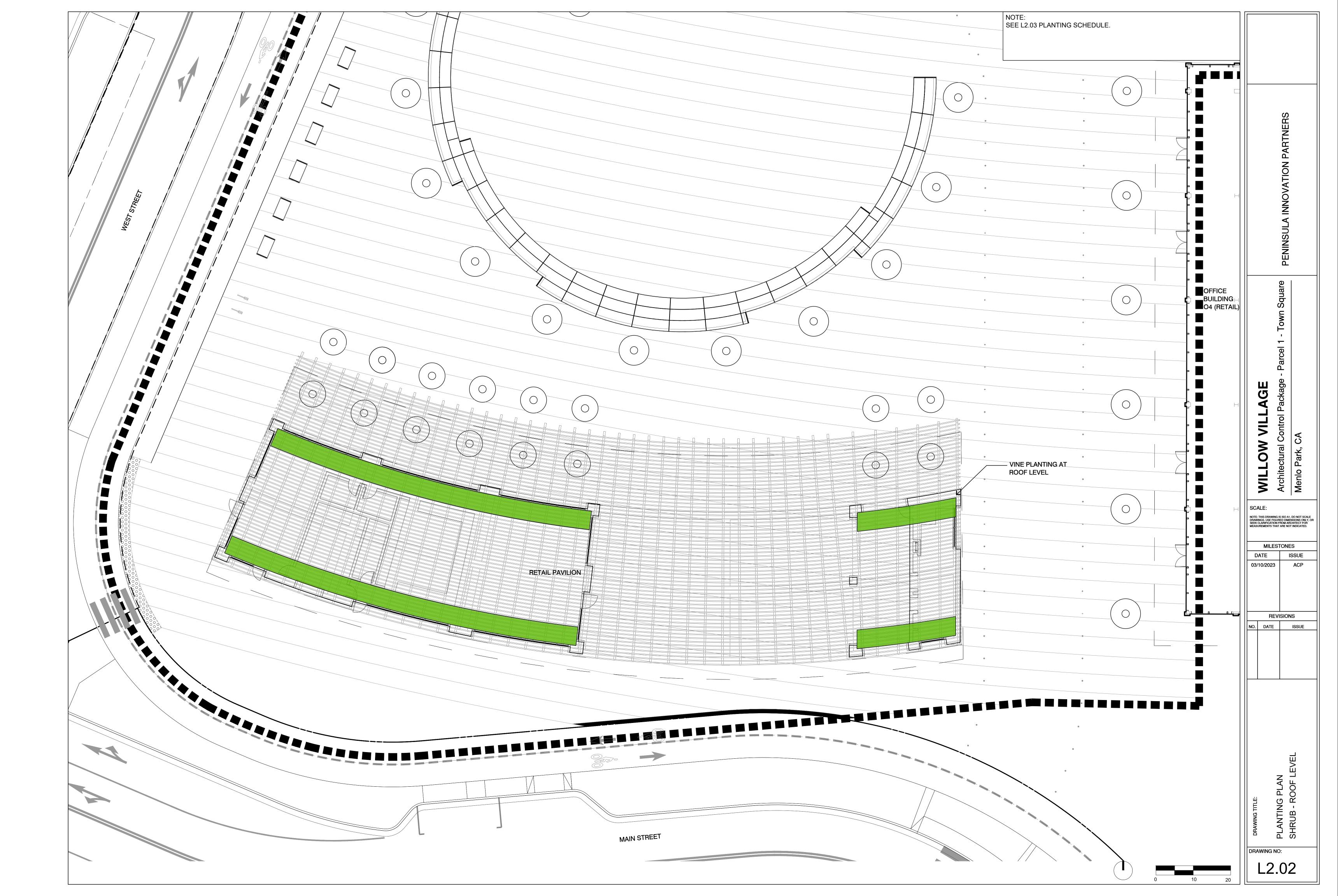
Concrete Seating Steps

Bike Rack



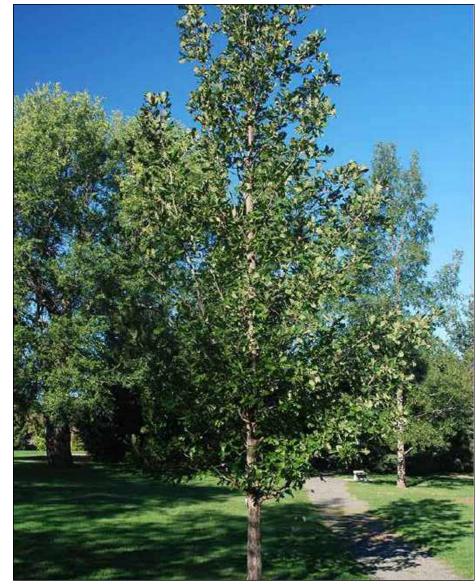




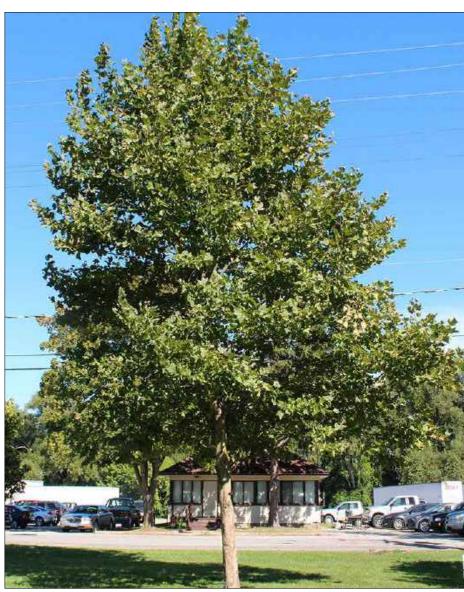




*Lagerstroemia 'Natchez'* (Natchez Crape Myrtle)



*Quercus frainetto* 'Forest Green' (Hungarian Oak)



*Platanus* x *acerifolia* 'Exclamation' (Exclamation London Plane Tree)



*Ulmus propinqua* 'Emerald Sunshine' (Emerald Sunshine Elm)

## WATER USE ESTIMATION-WILLOW TOWN SQUARE

WATER TYPE	BOTADI E	1							
	POTABLE	-							
SITE ETO=	39								
REGULAR LANDSCAPE	AREAS								
HYDROZONE #	HYDROZONE NAME	PLANT WATER USE TYPE	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY	ETAF (PF/IE)	AREA (SQ. FT) (HA)	ETAF X AREA (HA)	ETV (GAL/
1	SHRUBS/GROUND COVER	LOW	0.3	DRIP	0.81	0.370	2,735	1,013	24,4
2	SHRUBS/GROUND COVER	MOD	0.5	DRIP	0.81	0.617	4,198	2,591	62,6
						TOTALS	6,933	3,604	87,1
SPECIAL LANDSCAPE	AREAS								
HYDROZONE #	HYDROZONE NAME	10							
ALL	RECYCLED WATER	1				1	6,933		
						TOTALS	6,933		
				-	55 57 - 57				
	GALLONS/Y		167,640						
MAWA	ACRE FEET/	/R	0.51			MAWA FORMUL			
	HCF/YR		224.12		MAXIMUM	APPLIED WATER ALLO GALLONS PER YEA			ESTIMA
					MAWA =	(ETo)(0.62)[(LA x 0.45)	+ (0.55 x SLA)]		
	GALLONS/Y	R	87,152	]	ETo = REFER	RENCE EVAPOTRANS	PIRATION		ETo = l
ETWU	ACRE FEET/	/R	0.27		0.55= ET ADJ	JUSTMENT FACTOR			PF = P
	HCF/YR		116.51		LA=LANDSCA	APED AREA (SQUARE	EFEET)		HA = H
			2		0.62 = CONV	ERSION FACTOR (GA	LLONS/SQ.FT/YR)	(	0.62 =
SITE IRRIGATION EFFICIENCY	SITE PLANT FACTOR	MAWA COMPLIANT							IE = IR
81.0%	0.42	YES							IE = IR
		1							
ETAF ( REGULAR LANDSCA	Calculations PE AREAS								
TOTAL ETAF x AREA	3,604								
TOTAL AREA	6,933								
AVG. ETAF	51.99%								



*Pistacia chinensis* 'Keith Davey' (Keith Davey Chinese Pistache)

YMBOL	BOTANIC NAME	COMMON NAME	QUANTITY	SIZE	WUCOLS	CA NATIVE
REES						
o	Lagerstroemia 'Natchez'	Natchez Crape Myrtle	16	48" box	Low	
o'	Quercus frainetto 'Forest Green'	Hungarian Oak	4	48" box	Med	
0	Pistacia chinensis 'Keith Davey'	Keith Davey Chinese Pistache	12	60" box	Low	
	Platanus 'Exclamation'	Exclamation London Plane Tree	11	60" box	Med	
	Ulmus propinqua 'Emerald Sunshine'	Emerald Sunshine Elm	17	60" box	Med	
YMBOL	BOTANIC NAME	COMMON NAME		SIZE	WUCOLS	CA NATIVE
IRUBS, F	PERENNIALS, AND GROUND COVERS					
	Achillea millefolium	Common Yarrow		1 gal	Low	x
	Anigozanthos sp.	Kagaroo Paw		5 gal	Low	
	Arctostaphylos sp.	Manzanita		5 / 15 gal	Low	x
	Baccharis pilularis 'Emerald Carpet'	Dwarf Coyote Bush		1 gal	Low	
	Ceanothus sp.	Ceanothus		5 gal	Low	x
	Cercis occidentalis	Western Redbud		15 gal	Very Low	x
	Cistus sp.	Rockrose		5 gal	Low	
	Dietes bicolor	Fortnight Lily		5 gal	Low	
	Euphorbia rigida	Narrow-leaved Spurge		1 gal	Low	
	Fremontodendron californicum	Flannel Bush		15 gal	Very Low	x
	Heteromeles arbutifolia	Toyon		15 gal	Low	x
	Lantana sp.	Trailing Lantana		1 gal	Low	
	Phormium sp.	New Zealand Flax		5 gal	Low	
	Rhamnus californica	California Coffeeberry		5 gal	Low	x
	Rosmarinus officinalis	Rosemary		5 gal	Low	
	Salvia sp.	Sage		5 gal	Low	
RASSES				1	1	1
	Carex praegracilis	Cailfornia Field Sedge		1 gal	Med	x
	Carex divulsa	Berkeley Sedge		1 gal	Low	
	Festuca mairei	Maire's Fescue		1 gal	Low	
				1 gal	Low	
	Helictotrichon sempervirens	Blue Oat Grass			1	1
	Helictotrichon sempervirens Muhlenbergia capillaris	Blue Oat Grass Pink Muhly Grass		1 gal	Low	
/INE				1 gal	Low	

32.75 83.77	39%
93 77	
03.11	61%
116.51	100%
	100%
	100%
FORMULA	
ISE (ETWU) G	GALLONS PER YEA
)(.62)(ETAF	10000
	FORMULA

PLANT FACTOR FOR HYDROZONES

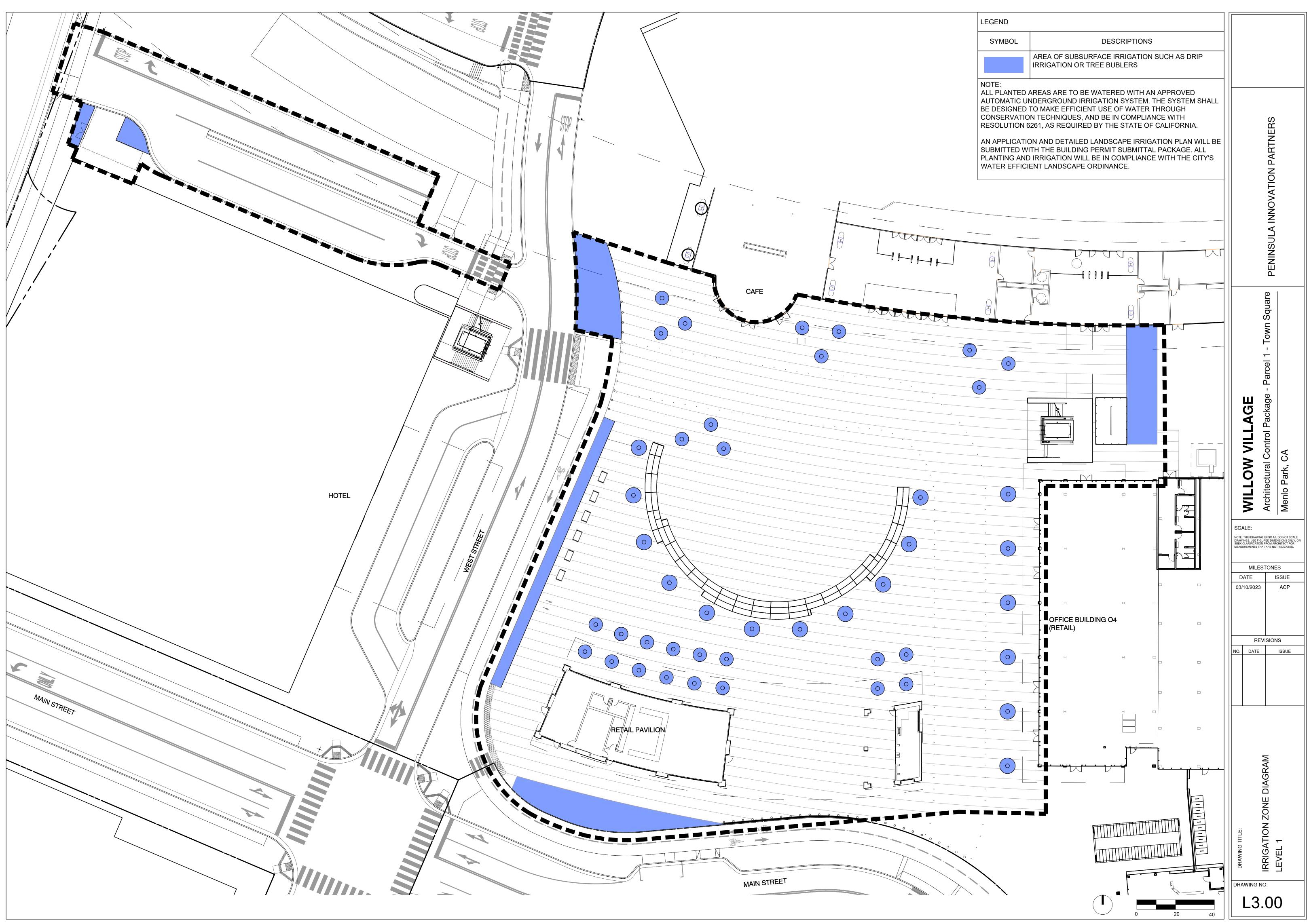
HYDROZONE AREA (SQ.FT)

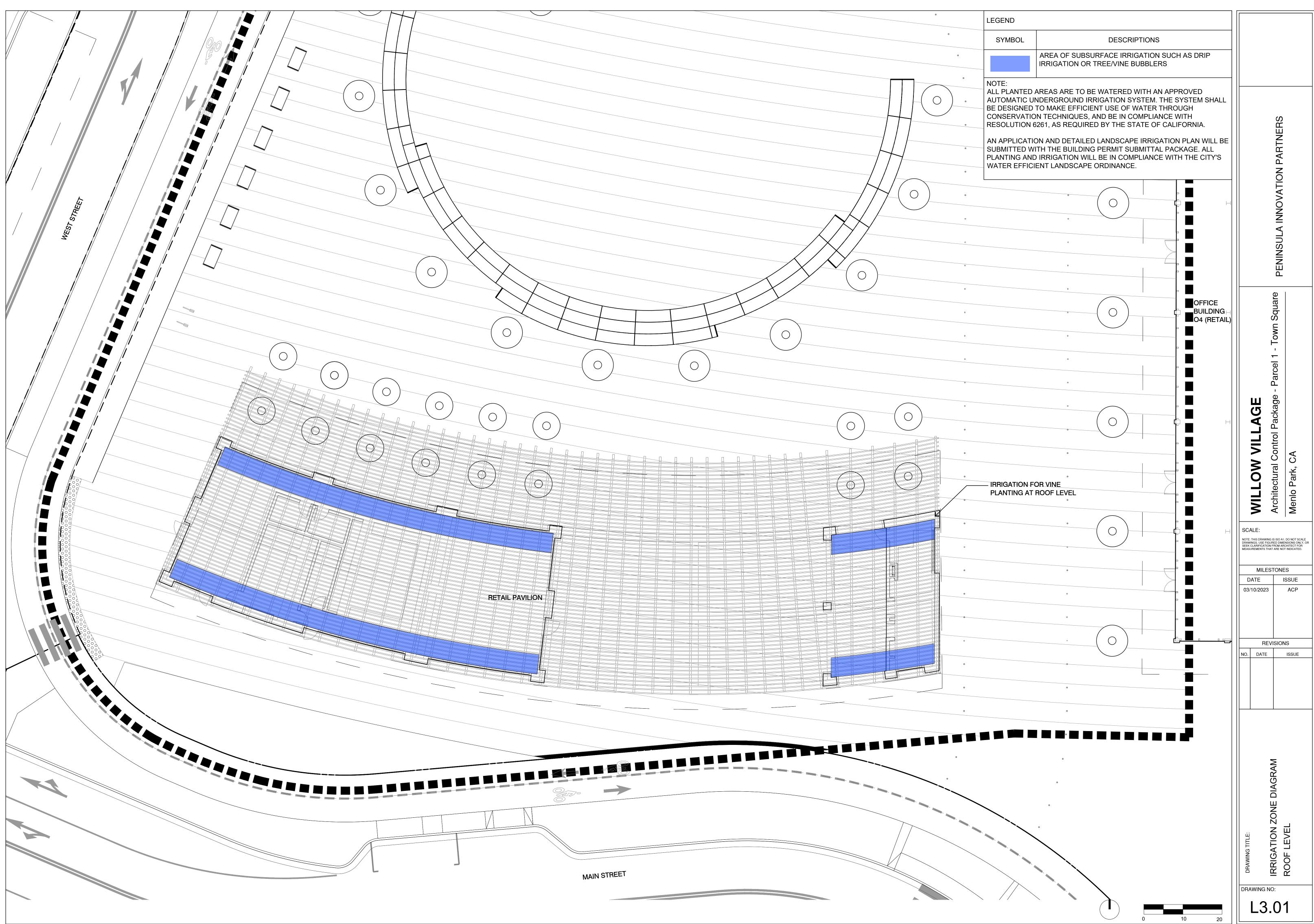
= CONVERSION FACTOR (GALLONS/SQ.FT/YR)

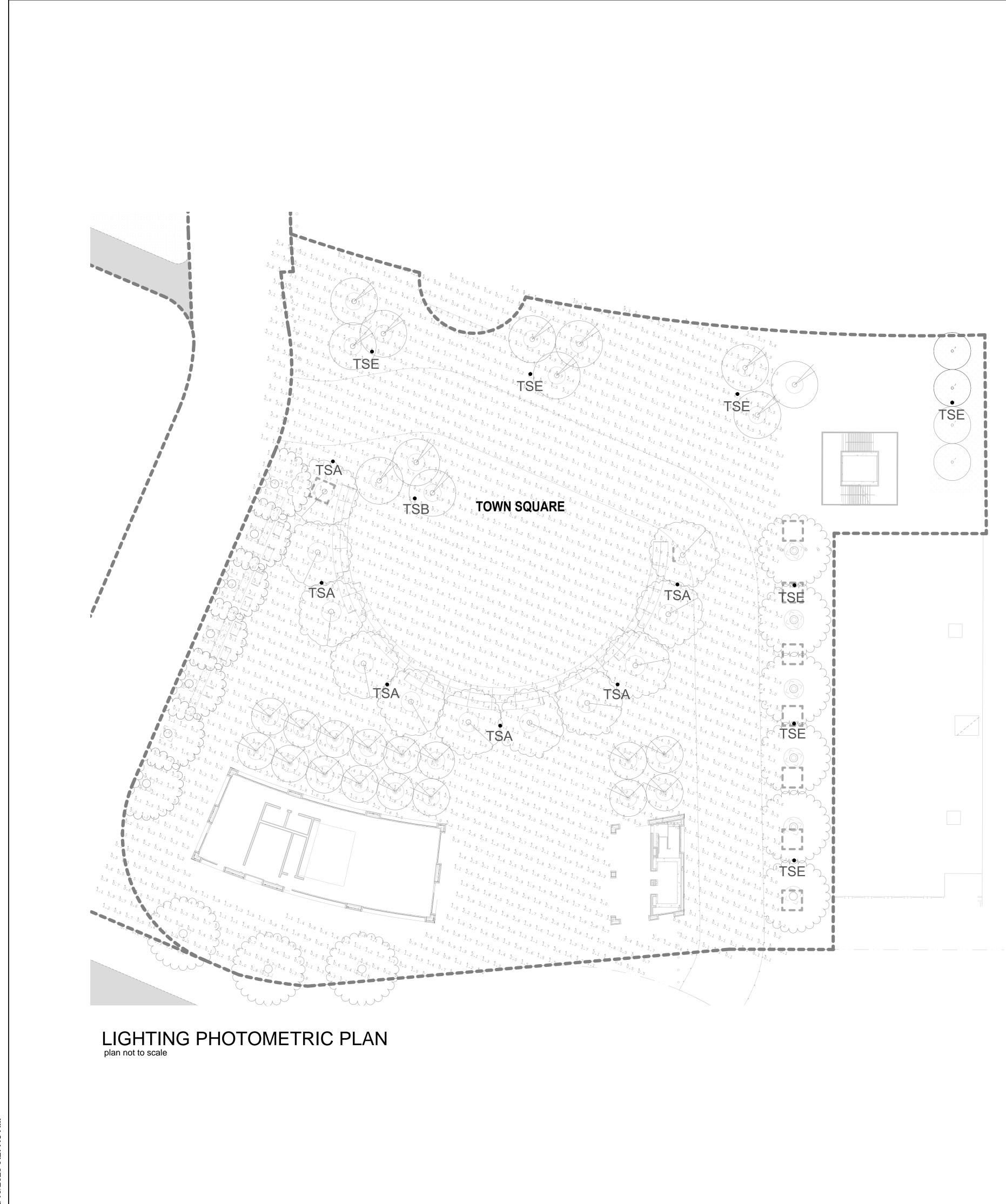
RRIGATION EFFICIENCY (0.81)-BUBBLER/DRIP

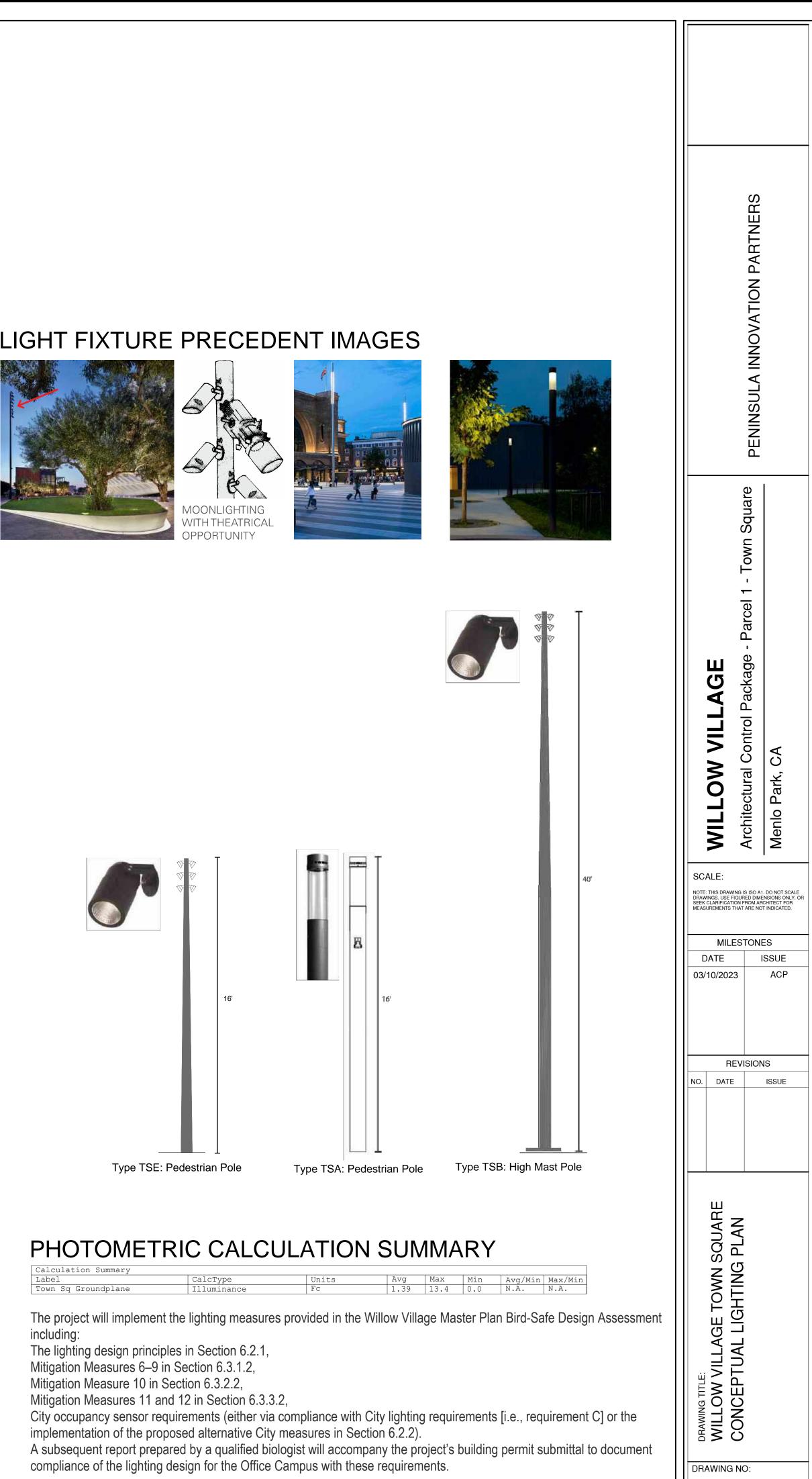
RRIGATION EFFICIENCY (0.75)-ROTORS/SPRAY

DRAWING NO:













LG1.00

## Parcel 1 – Town Square - Modification #3 <u>Maximum Setback</u>

## **Modification**

Allow Modification to Zoning Code Section 16.43.050, 16.43.130(1) Allow maximum setback from back of public easement to be 32'-0" along West St and Main St.

### Code Requirements

16.43.050 Design Standards – Maximum Setback <u>Maximum Setback</u>

<u>Definition</u>: Maximum linear feet building can be sited from property line adjacent to street <u>Base Level</u>: 25 feet

Bonus Level: 25 feet

<u>Notes/Additional Requirements:</u> Setbacks shall be measured from the property line. In instances where there will be a public access easement, measure the setback from the back of the easement. See build-to requirements in Section 16.43.130 (1)

## Subject Site and Proposed Building Description

The Willow Village Town Square is a publicly accessible landscaped and hardscaped outdoor amenity space that will serve as a gathering place and event plaza for the general public at ground level. The Town Square is built over a parking garage that serves the hotel, retail, and general visitor populations. At plaza level along the southern Main Street edge will be a one story retail Pavilion. The eastern and northern edges of Town Square are defined by Office Building 4 and the MCS building while West St and the Hotel air rights parcel define the western boundary.

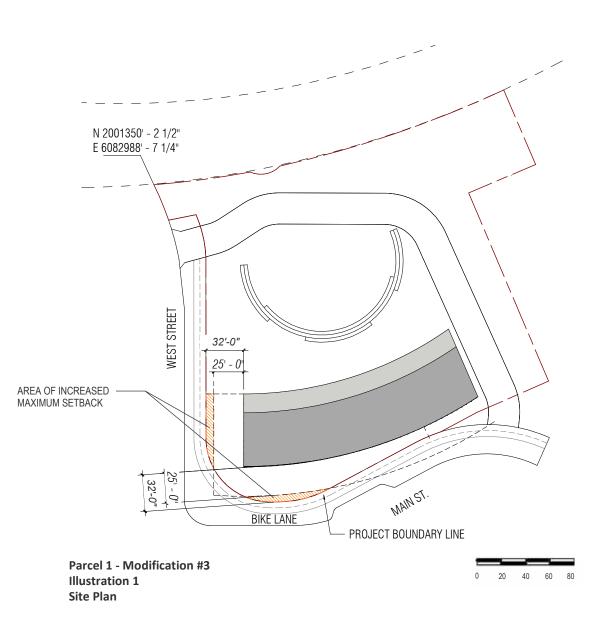
The architecture of the pavilion features a planted wood trellis roofline with a generous cantilevered curving geometry that relates to the Hotel drop off canopy across West Street. The Retail pavilion will have a slight curve in plan that gives shape to the Town Square plaza's center, a large semi-circular event space with built in steps that also serve as seating elements. Plantings will be used to define the edges creating spaces for smaller group gatherings. Several seating areas are provided for the retail amenities of the pavilion and the adjacent bordering buildings activating the Town Square plaza all times of day.

The project proposes a Modification to the zoning requirement for a maximum setback of 25'-0" from property line adjacent to a street to be up to 32'-0" for the corner of West St and Main St. The proposed siting of the building allows for the ease of the public to access the Town Square Plaza, both visually and physically. We believe that the building location as proposed substantially meets the intent of the zoning, i.e., to maintain an active and attractive street edge at public rights of way.

<u>Modifications</u> Modifications to any Adjustment may be considered according to CDP Section x governing Substantially Consistent Modifications and Minor Modifications.

## Attachments

Illustrative Attachment Exhibit Parcel 1 - Modification #3, Illustration 1, Site Plan



6/2023 9:02:55 /

## Parcel 1 - Town Square - Modification #2 <u>Building Modulations - Roofline</u>

## **Modification**

### Allow Modification to Zoning Code Section 16.43.130(6.G) Buildings less than 3 storeys may have a consistent roofline without modulation.

## Code Requirements

16.43.130 Design Standards - - Building Mass and Scale\_

<u>Building Modulations</u> <u>Definition</u>: Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four (4) foot minimum height modulation to break visual monotony and create a visually interesting skyline as seen from public streets. The variation of the roofline's horizontal distance should match the required modulations and step backs.

<u>Base Level</u>: 4'-0" height modulation <u>Bonus Level</u>: 4'-0" height modulation

Bonus Level Fronting a Boulevard, Thoroughfare, Mixed Use Collector, or Neighborhood Street: 4'-0" height

modulation <u>Notes/Additional Requirements:</u> Modulation is required on the building facade(s) facing publicly accessible spaces

(streets, open space, and paseos). When more than 50% of an existing building facade that faces a publicly accessible space is altered, it must comply with these modulation requirements. Subject Site and Proposed Building Description

The Willow Village Town Square is a publicly accessible landscaped and hardscaped outdoor amenity space that will serve as a gathering place and event plaza for the general public at ground level. The Town Square is built over a parking garage that serves the hotel, retail, and general visitor populations. At plaza level along the southern Main Street edge will be a one story retail Pavilion. The eastern and northern edges of Town Square are defined by Office Building 4 and the MCS building while West St and the Hotel air rights parcel define the western boundary.

The architecture of the pavilion features a planted wood trellis roofline with a generous cantilevered curving geometry that relates to the Hotel drop off canopy across West Street. The Retail pavilion will have a slight curve in plan that gives shape to the Town Square plaza's center, a large semi-circular event space with built in steps that also serve as seating elements. Plantings will be used to define the edges creating spaces for smaller group gatherings. Several seating areas are provided for the retail amenities of the pavilion and the adjacent bordering buildings activating the Town Square plaza all times of day.

The project proposes a Modification to the zoning requirement for a roofline height modulation of 4'-0" minimum, in the pavilion Main Street facade. The proposed roof as designed has a planted wood trellis over an open colonnade above the parapet line. The play of light and shadow, surface and void that will result from the design is the dominant visual interest of the retail pavilion architecture. We believe that the roofline as designed substantially meets the intent of the zoning, i.e., to avoid visual monotony and create a visually interestingskyline.

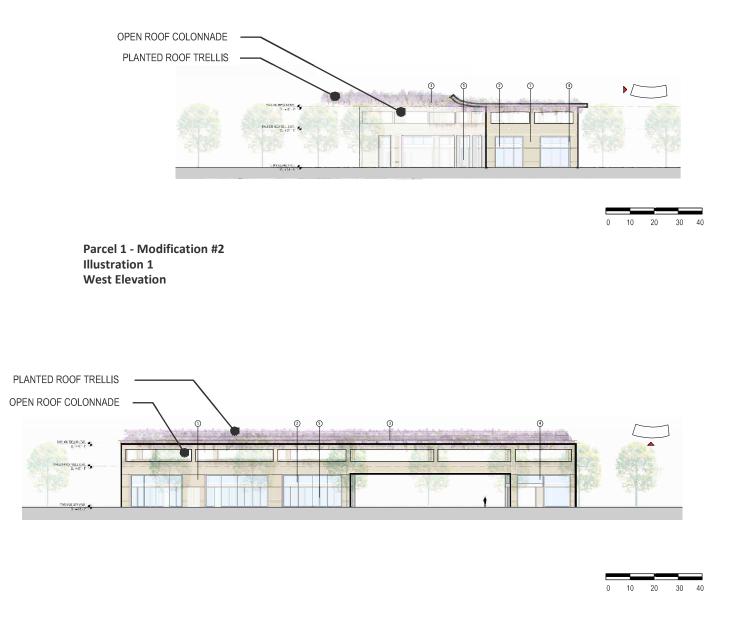
### **Modifications**

Modifications to any Adjustment may be considered according to CDP Section x governing Substantially Consistent Modifications and Minor Modifications.

### Attachments Illustrative Attachment Exhibit

Parcel 1 - Modification #2, Illustration 1, West Elevation

Parcel 1 - Modification #2, Illustration 2, South Elevation



Parcel 1 - Modification #2 Illustration 2 South Elevation

## Parcel 1 - Town Square - Modification #1 **Building Modulations Modification** PARTNERS Allow Modification to Zoning Code Section 16.43.130(2) Allow 75'-0" maximum length ground floor pedestrian pass-through at grade level along Main Street façade, with a minimum of one per facade. Code Requirements 16.43.130 Design Standards - Building Mass and Scale\_ **Building Modulations** <u>Definition</u>: A building modulation is a break in the building plane from the ground level to the top of the building's INNOVATION base height that provides visual variety, reduces large building volumes and provides spaces for entryways and publicly accessible spaces. Base Level: One every 200 feet, with a minimum of one per facade Bonus Level: One every 200 feet, with a minimum of one per facade Bonus Level Fronting a Boulevard, Thoroughfare, Mixed Use Collector, or Neighborhood Street: One every 200 feet, with a minimum of one per facade Notes/Additional Requirements: Modulation is required on the building facade(s) facing publicly accessible spaces (streets, open space, and paseos). Parking is not allowed in the modulation recess. When more than 50% of an existing building facade that faces a publicly accessible space is altered, it must comply with these $\triangleleft$ modulation requirements. ENINSUL Subject Site and Proposed Building Description The Willow Village Town Square is a publicly accessible landscaped and hardscaped outdoor amenity space that will serve as a gathering place and event plaza for the general public at ground level. The Town Square is built over a parking garage that serves the hotel, retail, and general visitor populations. At plaza level along the southern Main Street edge will be a one story retail Pavilion. The eastern and northern edges of Town Square are defined by Office Building 4 and the MCS building while West St and the Hotel air rights parcel define the western boundary. The architecture of the pavilion features a planted wood trellis roofline with a generous cantilevered curving Square geometry that relates to the Hotel drop off canopy across West Street. The Retail pavilion will have a slight curve in plan that gives shape to the Town Square plaza's center, a large semi-circular event space with built in steps that also serve as seating elements. Plantings will be used to define the edges creating spaces for smaller group gatherings. Several seating areas are provided for the retail amenities of the pavilion and the adjacent bordering buildings activating the Town Square plaza all times of day. Town The project proposes a Modification to the zoning requirement for a full building height modulation every 200', with a minimum of one per facade, in the Pavilion's Main Street facade. The proposed facade as designed has a large through-building passageway from Main St to the Town Square central plaza. The passageway provides - I. ample views as well as access through the plaza from Main St. It occurs within 200' from either edge of the pavilion and will be approximately 70'-0" in length. We believe that the façade as designed substantially meets Parcel the intent of the zoning, i.e., to avoid monotonous long facades. **Modifications** Modifications to any Adjustment may be considered according to CDP Section x governing Substantially Consistent Modifications and Minor Modifications. **Attachments** ш õ Illustrative Attachment Exhibit Parcel 1 - Modification #1, Illustration 1, Site Plan - View Corridors from Main St. VILLAG Parcel 1 - Modification #1, Illustration 2, South Elevation Ω 0 Б $\triangleleft$ S ×0 Park **WIL** Arch SCALE: NOTE: THIS DRAWING IS ISO A1. DO NOT SCALI DRAWINGS. USE FIGURED DIMENSIONS ONLY SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED. MILESTONES DATE ISSUE ACP 03/10/2023 REVISIONS NO. DATE ISSUE Parcel 1 - Modification #1 **Illustration 1** 0 20 40 60 80 Ш Site Plan - View Corridors from Main St. SQU ΖĘ TOW LAGE MODI $\Box$ 0 10 20 30 40 Parcel 1 - Modification #1 Illustration 2 **South Elevation** DRAWING NO:

A9.31